

**Project #22-017  
Reeder Warehouse  
Located at 815 West 1455 N**

**REPORT SUMMARY...**

*Project Name:* Reeder Warehouse  
*Proponent / Owner:* Courtney Wallace / Mark Reeder Holdings LLC  
*Project Address:* 815 West 1455 N  
*Request:* Design Review Permit  
*Current Zoning:* Industrial Park (IP)  
*Type of Action:* Quasi-Judicial  
*Hearing Date:* March 24, 2022  
*Submitted By:* Tanya Rice, Planner II

**RECOMMENDATION**

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #22-017, Reeder Warehouse Building in the Industrial Park (IP) zone located at 815 West 1455 North, TIN #04-193-0001.

*Current Land use adjoining the subject property*

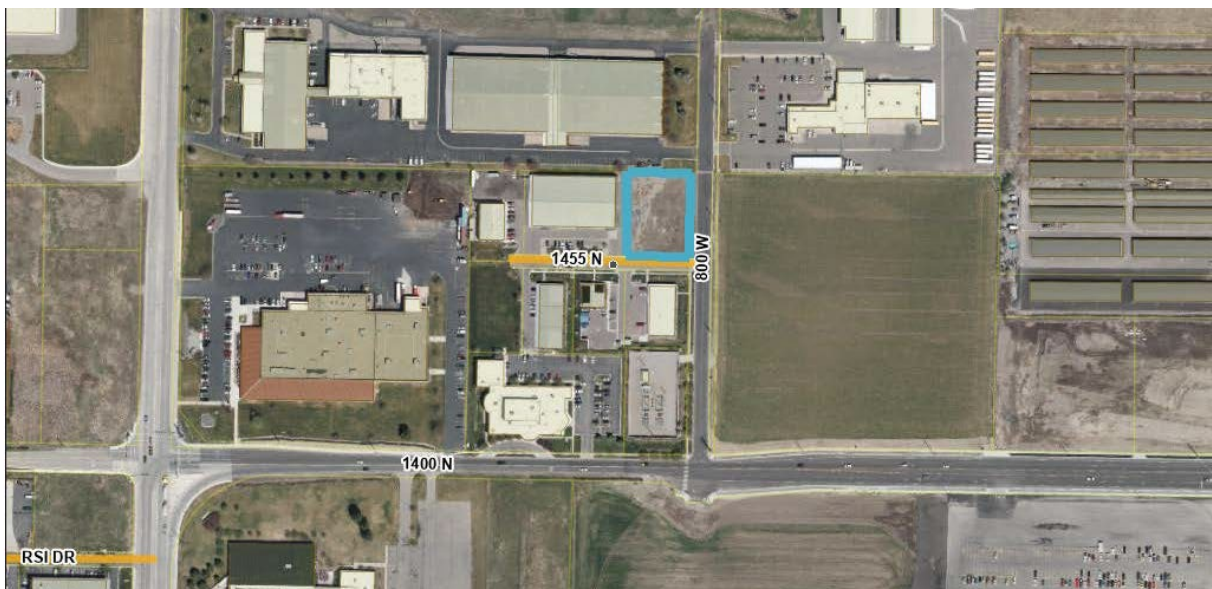
<i>North:</i>	IP: Industrial Uses	<i>East:</i>	IP: Vacant Lot
<i>South:</i>	IP: Industrial Uses	<i>West:</i>	IP: Industrial Uses

**DESIGN REVIEW PERMIT**

The LDC 17.43 requires a Design Review Permit approval for new developments to ensure high-quality design, layout and neighborhood compatibility. The Planning Commission may approve or conditionally approve a Design Review Permit upon substantiating findings in conformance with Title 17 of the LDC.

***Project Proposal***

This is a proposal for one 12,000 SF metal industrial building to be used as two 6,000 warehouse lease spaces. The parcel is a relatively flat .74-acre undeveloped lot located adjacent to 800 West and accessible from 1455 North, a private road.



Site Location – 815 West 1455 N

### Land Use

The LDC Use Table 17.11.030 permits a wide range of commercial and industrial uses in the IP zone including office space, warehousing, manufacturing, services and storage.

### Setbacks

The LDC requirements for setbacks in the IP zone are as follows:

Front (Bld. Height 0'-40'):	20'
Sides:	20'
Rear:	10'
Parking Front	20'

The following setbacks are proposed (as measured from the exterior property lines of the project site, at closest points):

Front (South):	+60'
Side (East)	30'
Side (West)	20'
Rear (North):	10'
Parking Front (South):	20'

As proposed, the project setbacks comply with the requirements in the LDC.

### Lot Coverage

The LDC 17.10.130 limits lot coverage to a maximum of 50% (building footprint). The 12,000 SF building on the approximately .74 acre site results in a lot coverage of 37%. As shown, the proposed lot coverage complies with the LDC.



Site Plan

## Access & Circulation

Vehicular access to the project site is proposed from 1455 North, a private roadway serving seven parcels. Access into the site will be through a cross access easement shared with the adjacent property to the west.

The LDC 17.30 requires new developments to include safe and convenient pedestrian circulation from building entrances to one another and to adjacent streets, parking areas and other outdoor gathering areas. The proposed site plan includes a sidewalk connection from the front of the building to the parking lot and the 800 West sidewalk. An emergency door on the east side of the building is proposed without a sidewalk connection. A walkway shall be constructed to connect this entrance to the 800 West sidewalk and other building entrances. With the addition of this sidewalk, the project complies with the requirements in the LDC.

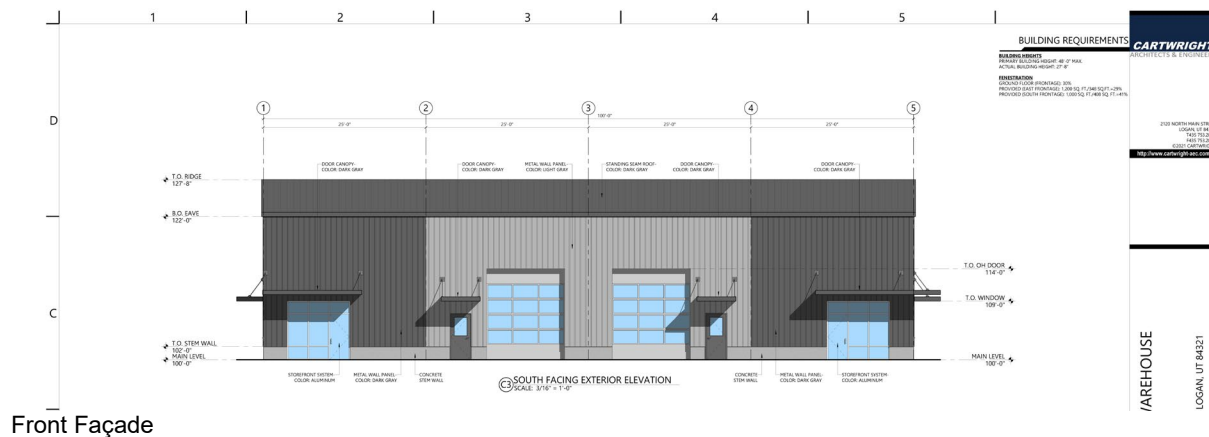
## Parking

The LDC 17.31.040 requires one parking stall per 2,500 SF of industrial machinery & equipment sales and service. Based on a 12,000 SF building, five stalls are required for this project. The project is proposing 9 parking stalls which meets the minimum parking requirements.

## Building Orientation & Design

The LDC 17.12.060 requires new buildings in the IP district to be well-designed with high-quality materials. Blank walls exceeding 40 linear feet are prohibited and ground floor street-facing facades shall have a minimum of 30% transparency. Acceptable wall-breaks include windows, balconies, wall articulation or changes in color and materials. The proposed building is one large structure with a standing seam roof. The proposed building material is metal siding with alternating tones of grey. The facades show wall-breaks and other features at the minimum 40 linear foot increments. The building's southern façade facing 1455 North is shown with 41% transparency and the 800 West facing façade is shown with 29% transparency, just under the 30% LDC standard. Staff recommends the Commission use their discretion to allow for 29% fenestration. As conditioned with 29% fenestration on the east façade, the building design meets the requirements in the LDC.

The LDC 17.10.030 limits base building height to 48' in the IP zone. The highest point of both the store and the canopy is 28'. As proposed, the project complies with the requirements in the LDC.



### ***Open Space and Landscaping***

The LDC requires 10% open space and an additional 10% useable outdoor space in the IP zone. The LDC generally describes open space as native vegetation or landscaped areas, while useable outdoor space could consist of additional landscaping, decks, patios and walkways, but shall not include parking, driveways and most storm-water facilities. Storm-water facilities may qualify as outdoor and open space if they are designed in a way that is incorporated into the landscape. The .74-acre site would require 3,223 SF of both open space and usable outdoor space for a total of 6,446 SF. The project proposal includes conceptual open space and usable outdoor areas totaling approximately 9,488 SF (30%). As conditioned with minimum open space, the project complies with the LDC.

The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land for industrial projects. For this .74-acre site, 15 trees and 37 shrubs/flowers/ornamental grasses are required. A variety of plants species are required, and 25% of the plant material is required to be evergreen species.

Plant material is also required to be planted around the perimeter of the building where feasible. A 3-foot landscape bed shall be placed along the building's south façade. In addition, the stormwater area proposed along 800 West shall be incorporated into the final landscape plan. As conditioned with a detailed performance landscaping plan, the project complies with the requirements of the LDC.

### ***Trash Enclosures***

LDC 17.30.080 requires solid waste receptacles, recycling bins, refuse storage and similar uses be enclosed and screened from view. A closure needs to be constructed proposed dumpster location. As conditioned, the onsite waste location meets the requirements of the LDC.

### ***Lighting***

The LDC 17.30.090 requires adequate and appropriate site lighting that increases nighttime visibility, adds aesthetic quality, and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits pole height to 32 feet and luminaire fixtures to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot-candles, so areas are sufficiently safe, but not excessively bright. Exterior lighting has not yet been submitted. As conditioned, the project meets the requirements of the LDC.

### ***Staff Summary***

The proposed project is compatible with the surrounding land use and architecture. As conditioned, meet the requirements for development in the IP zone.

### **AGENCY AND CITY DEPARTMENT COMMENTS**

Comments were solicited from the following departments or agencies:

• Water	• Fire
• Environmental	

### **PUBLIC COMMENTS**

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

## **PUBLIC NOTIFICATION**

Legal notices were published in the Herald Journal on 3/12/22 and the Utah Public Meeting website & Logan City website on 3/14/22. Public notices were mailed to all property owners within 300 feet of the project site on 3/07/22.

## **RECOMMENDED CONDITIONS OF APPROVAL – DESIGN REVIEW**

*This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.*

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. Pedestrian walkways shall be constructed to connect all building entrances and the 800 West sidewalk.
3. Planning commission permits 29% fenestration on the east façade of the building.
4. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
  - Minimum of 6,446 SF of both open space and usable outdoor space shall be provided.
  - A total number 15 trees and 37 shrubs, perennials and grasses shall be provided.
  - Minimum of 3 tree species are required.
  - A minimum of 25% of plant material shall be evergreen trees and shrubs.
  - Street trees shall be provided every thirty (30) feet on center and outside of site-distance triangles near intersections or driveway access points or otherwise determined by the City Forrester.
  - Plant materials shall be placed around the perimeter of the buildings where feasible in a 3' minimum planting strip.
  - Storm water detention area(s) shall be incorporated into the landscape.
5. Exterior lighting shall be concealed source, down-cast and reviewed and approved prior to the issuance of a building permit and shall comply with current LDC regulations.
6. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the LDC.
7. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the LDC.
8. Surface storm-water retention and detention facilities shall be located in areas away from public streets and buffered from view or incorporated into the landscape.
9. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
  - a. *Water—contact 716-9627*
    - Each unit's water main needs to have a RP (ASSE1013) installed and tested on the water main after the water meter, as it enters the building before any branch offs or possible connections inside or outside of building. So, each unit is independently controlled and protected. Properly sized drain required to serve the backflow assemblies dump port.
    - All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
    - Fire suppression systems that connect to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
    - All points of use of water must comply with the 2018 IPC and State of Utah Amendments and the Utah Admin Code 309-305 during and after construction.
    - Project shall comply with all current plumbing codes, Utah State Amendments and the Utah Division of Drinking Water rules and regulations including, but not

limited to, those pertaining to backflow protection and cross connection prevention.

*b. Environmental — contact 716-9760*

- Dumpster placement meets requirements

*c. Engineering— contact 716-9153*

- No comments at this time. A civil, grading, and utilities review will be performed at the time of building permit application.

*d. Light and Power —contact 716-9722*

- Requires 1-Line Diagram, A Logan City Load Data Sheet, A digital site plan in Auto CAD (DWG) Format.
- PUE's Public Utility Easement 10' Easement on all property lines that face a roadway, and a 5' easement on all other property lines.
- Contact Matt for power location and a meeting on site.

**RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT**

*The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:*

1. The conditioned project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, materials, landscaping, and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The conditioned project provides adequate landscaping and screening in conformance with Title 17.
4. The conditioned project provides adequate off-street parking.
5. 1455 N and 600 W provides access and are adequate in size and design to sufficiently handle automobile traffic related to the land use.
6. The project meets the goals and objectives of the IP designation within the Logan General Plan by providing services near high-capacity roadways and is designed in way for easy circulation of both pedestrian and vehicles.
7. The project met the minimum public noticing requirements of the LDC and the Municipal Code.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.





# APPLICATION FOR PROJECT REVIEW

For Staff Only <input checked="" type="checkbox"/> <b>Planning Commission</b>		<input type="checkbox"/> and Use Appeal Board		<input type="checkbox"/> Administrative Review
Date Received <b>2/14/22</b>	Planner	Zone/Neighborhood <b>IP / BRIDGER</b>	Scheduled Meeting Date <b>MAR. 24</b>	Application Number <b>PC 22-017</b>
Type of Application (Check all that apply):				
<input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Zone Change <input type="checkbox"/> Other				
PROJECT NAME <b>READER WAREHOUSE</b>				
PROJECT ADDRESS <b>815 W 1455 N</b>			COUNTY PLAT TAX ID # <b>04-193-0001</b>	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER <b>COURTNEY WALLACE</b>			PHONE # <b>435-512-7643</b>	
MAILING ADDRESS <b>2120 N. MAIN ST.</b>	CITY <b>N.LOGAN</b>	STATE <b>UT</b>	ZIP <b>84341</b>	
EMAIL ADDRESS <b>courtneyw@cartwright-aec.com</b>				
PROPERTY OWNER OF RECORD <b>MARK REEDER HOLDINGS LLC</b>			PHONE #	
MAILING ADDRESS <b>88 N. 850 E.</b>	CITY <b>PROVIDENCE</b>	STATE <b>UT</b>	ZIP <b>84332</b>	
EMAIL ADDRESS <b>sales@powertoolsuperstore.com</b>				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed)  This project is a new 12,000 sq. ft. metal building that can be used as (2) 6,000 sq. ft. lease spaces. The design of the building will fit into the surrounding area. The new building will use a shared drive access with the building to the West.			Total Lot Size (acres) <b>0.74</b>	
			Size of Proposed New Building (square feet) <b>12,000</b>	
			Number of Proposed New Units/Lots <b>1</b>	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.			Signature of Property Owner's Authorized Project Representative  <b>Courtney Wallace-Project Manager</b>	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner  <b>Mark Reeder-Owner</b>	

**APPLICATION MUST BE ACCURATE AND COMPLETE**

**NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -**

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## BUILDING REQUIREMENTS

**BUILDING HEIGHTS**  
PRIMARY BUILDING HEIGHT: 48'-0" MAX.  
ACTUAL BUILDING HEIGHT: 27'-8"

**FENESTRATION**  
GROUND FLOOR (FRONTAGE): 30%  
PROVIDED (EAST FRONTAGE): 1,200 SQ. FT./348 SQ.FT.=29%  
PROVIDED (SOUTH FRONTAGE): 1,000 SQ. FT./408 SQ. FT.=41%

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ARCHITECTS & ENGINEERS

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REEDER WAREHOUSE

1455 N. 815 W. LOGAN, UT 84321

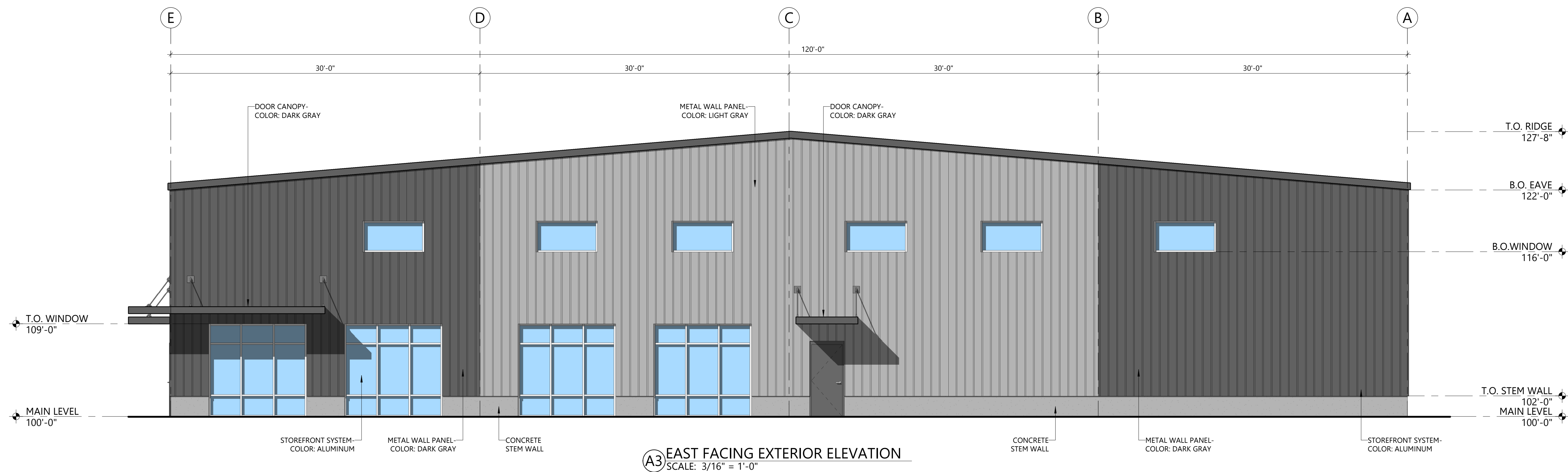
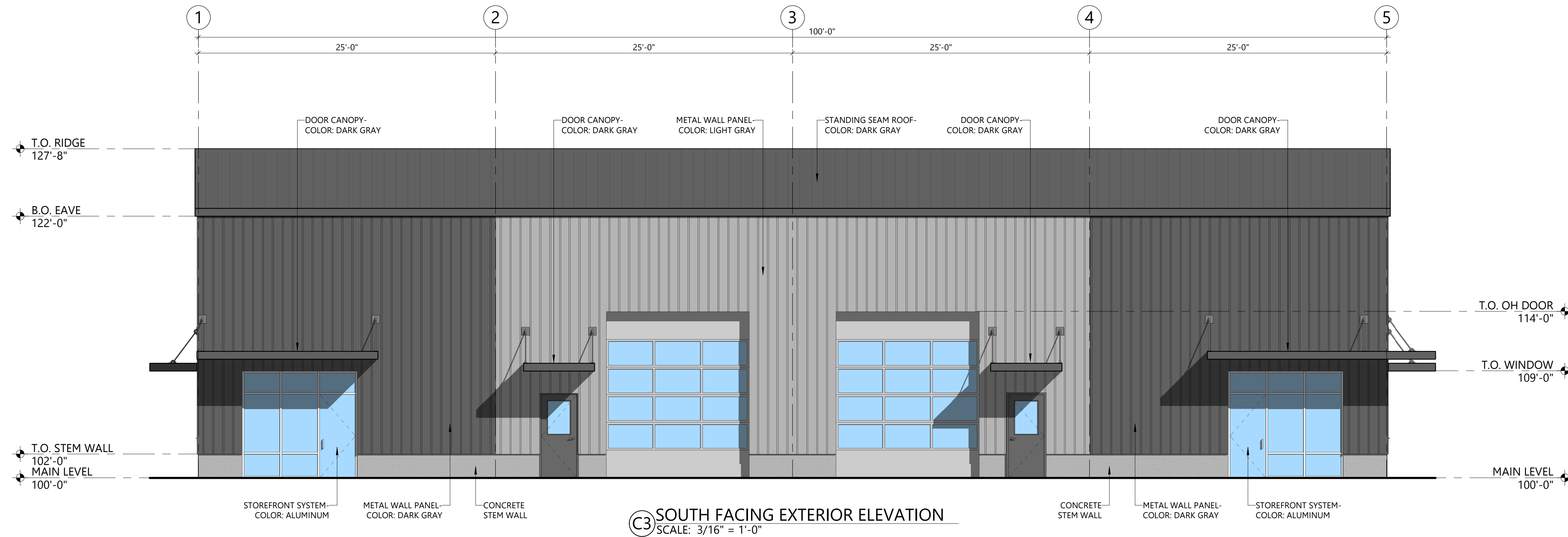
CARTWRIGHT PROJECT # 122007  
DATE: 02/09/22  
DRAWN BY: CW  
CHECKED BY: CW  
APPROVED BY: CW

REVISIONS  
DATE DESCRIPTION

EXTERIOR  
ELEVATIONS

A201

DESIGN REVIEW



1

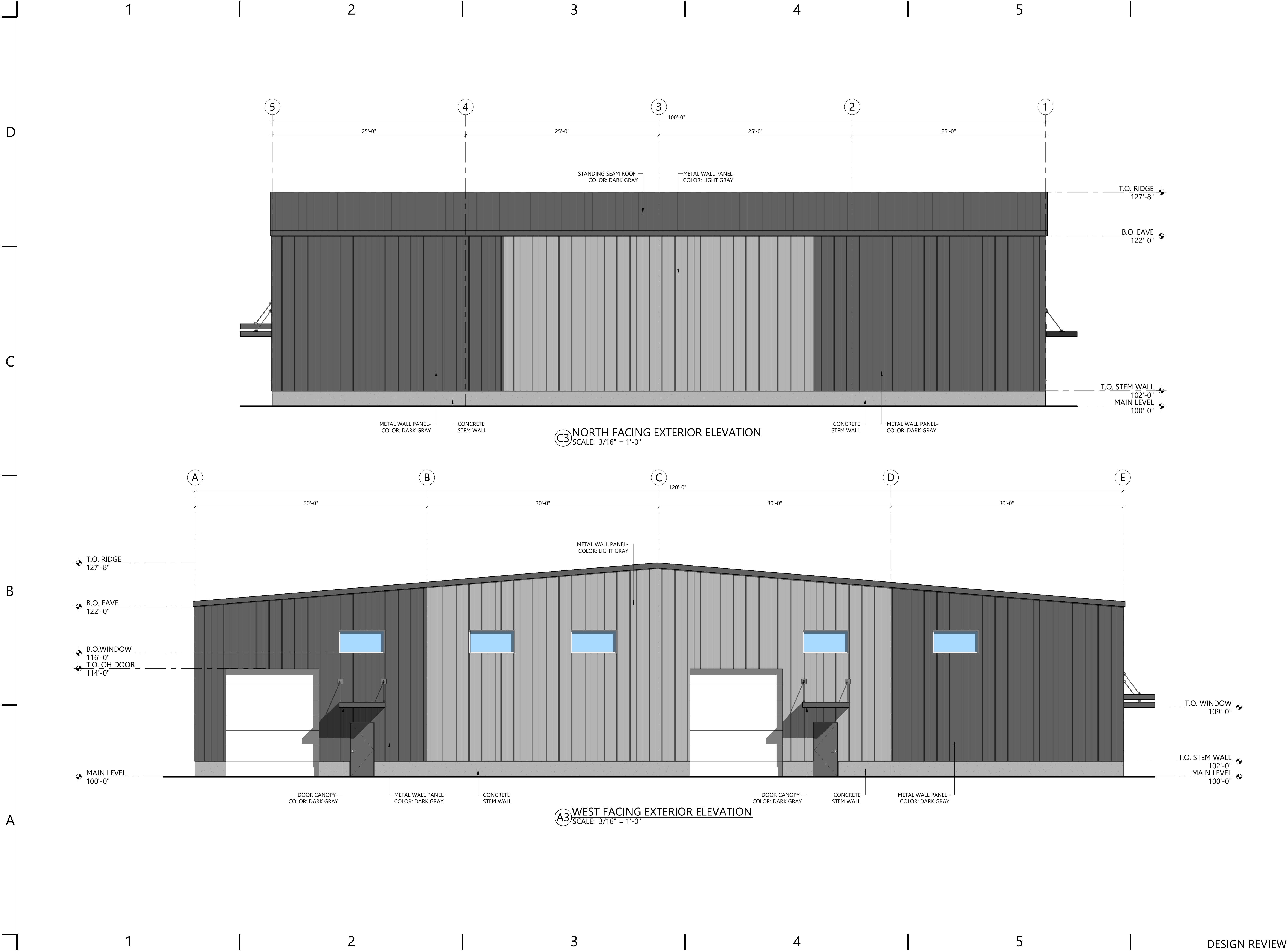
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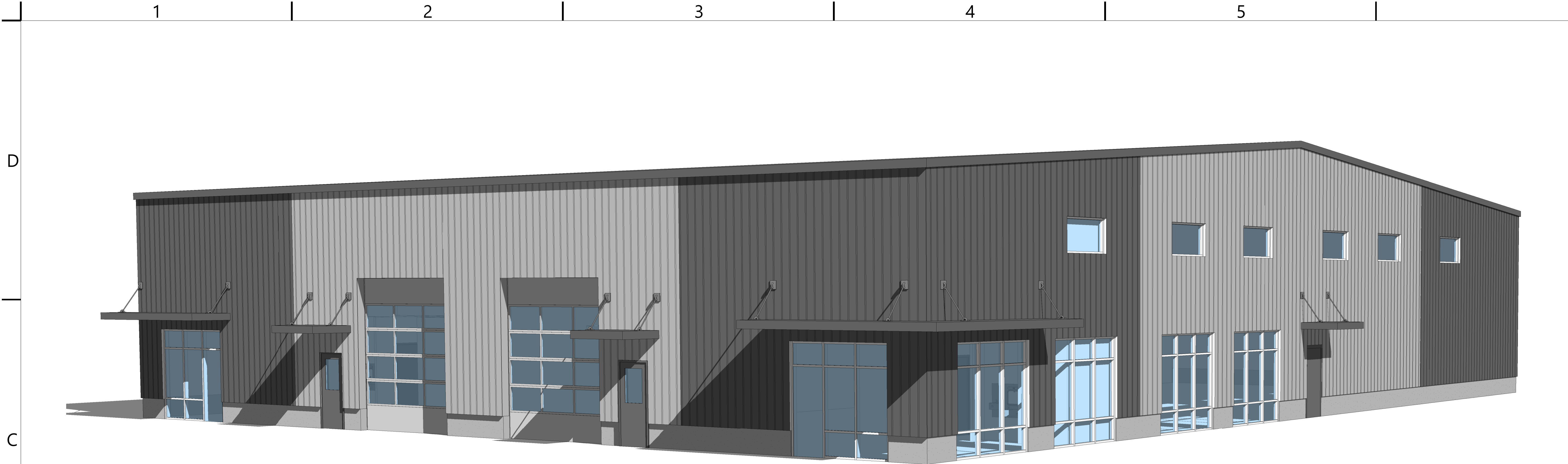
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DATE:		02/09/22
DRAWN BY:		CW
CHECKED BY:		CW
APPROVED BY:		CW

REVISIONS	
DATE	DESCRIPTION

EXTERIOR ELEVATIONS

A202

DESIGN REVIEW



C3 SOUTHEAST FACING PERSPECTIVE ELEVATION  
SCALE:



A3 NORTHWEST FACING PERSPECTIVE ELEVATION  
SCALE:

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REVISIONS	
DATE	DESCRIPTION

PERSPECTIVE  
ELEVATIONS

A203

DESIGN REVIEW

2/14/2022 10:34:30 AM





**A3 SITE PLAN**  
SCALE: 1/16" = 1'-0"

SITE REQUIREMENTS

- LOT COVERAGE**  
MAXIMUM COVERAGE: 50%  
PROVIDED COVERAGE: 37%
- BUILDING SETBACKS**  
SOUTH (FRONT): 20'-0" MIN.  
PROVIDED: 83'-6 3/4"  
EAST (SIDE): 20'-0" MIN.  
PROVIDED: 30'-0"  
NORTH (REAR): 10'-0" MIN.  
PROVIDED: 10'-0"  
WEST (SIDE COMMON WALL): 0'-0" MIN.  
PROVIDED: 20'-0"
- PARKING REQUIREMENTS**  
INDUSTRIAL MACHINERY & EQUIPMENT SALES & SERVICES  
(1) PER 2,500 SQ. FT.  
STALLS REQUIRED: 12,000/2,500=5 STALLS REQUIRED  
STALLS PROVIDED: 9
- LANDSCAPE REQUIREMENTS**  
LOT SIZE: 0.74 ACRES (32,234 SQ. FT.)  
OPEN SPACE REQUIRED: 10%  
OPEN SPACE PROVIDED: 5,990 SQ. FT.=19%  
USABLE OPEN SPACE REQUIRED: 10%  
USABLE OPEN SPACE PROVIDED: 3,498 SQ. FT.=11%  
TREES REQUIRED: 20 PER ACRE (15 TREES REQUIRED)  
TREES PROVIDED: 15  
SHRUBS REQUIRED: 50 PER ACRE (37 SHRUBS REQUIRED)  
SHRUBS PROVIDED: 41

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CARTWRIGHT PROJECT #	122007
DATE:	02/09/22
DRAWN BY:	CW
CHECKED BY:	CW
APPROVED BY:	CW

REVISIONS	
DATE	DESCRIPTION

ARCHITECTURAL  
SITE PLAN

AS101