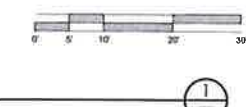


NO. 2021 20/0221 438337M



SITE LEGEND	
[Symbol]	DESCRIPTION
[Symbol]	PROPERTY LINE
[Symbol]	SETBACK LINE
[Symbol]	CONTOUR 10' A.S.L.
[Symbol]	CONTOUR 5' A.S.L.
[Symbol]	PAVING

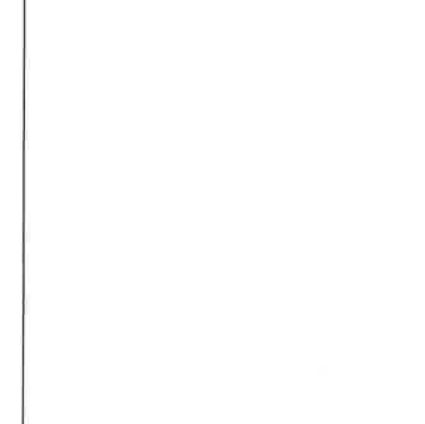
GENERAL INFORMATION	
SITE AREA	3.9 ACRES
OPEN SPACE	35.6 %
USE	RECREATION - 1
ZONE	HISTORIC DISTRICT

PARKING CALCULATIONS FOR PEAK USE	
OFFICE	28
STAGE	5
STAGE VIEWING	47
PLAZA	4
PLAZA	4
TOTAL REQUIRED	112
EXISTING PARKING ON THE BLOCK	100

SCHEDULES	
AREA BY FOOTPRINT	
Historical Bld	8,229 SF
PLAZA	7,670 SF
STAGE	2,472 SF
STAGE VIEWING	1,407 SF
GRAND TOTAL	19,778 SF

GROSS AREA BY USE	
Historical Bld	10,542 SF
PLAZA	13,447 SF
STAGE	13,447 SF

TRACKS AL PERIOD	
FRONT	0
SIDE	0
REAR	0
PARKING	10



FOOTPRINT AREAS	
STAGE	2472 SF
STAGE VIEWING	1407 SF
PLAZA	7670 SF
HISTORICAL BLD	8229 SF
RINK	5065 SF



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FAX: 801.589.1421  
WWW.THINKARCH.COM

This plan is intended to be used in conjunction with the project description and other documents. It is not to be used as a contract document. The client is responsible for providing accurate information and for obtaining all necessary permits. The architect is not responsible for any errors or omissions in this plan or for any consequences arising therefrom.

LOGAN CITY MAIN STREET ICE SKATE AND PLAZA

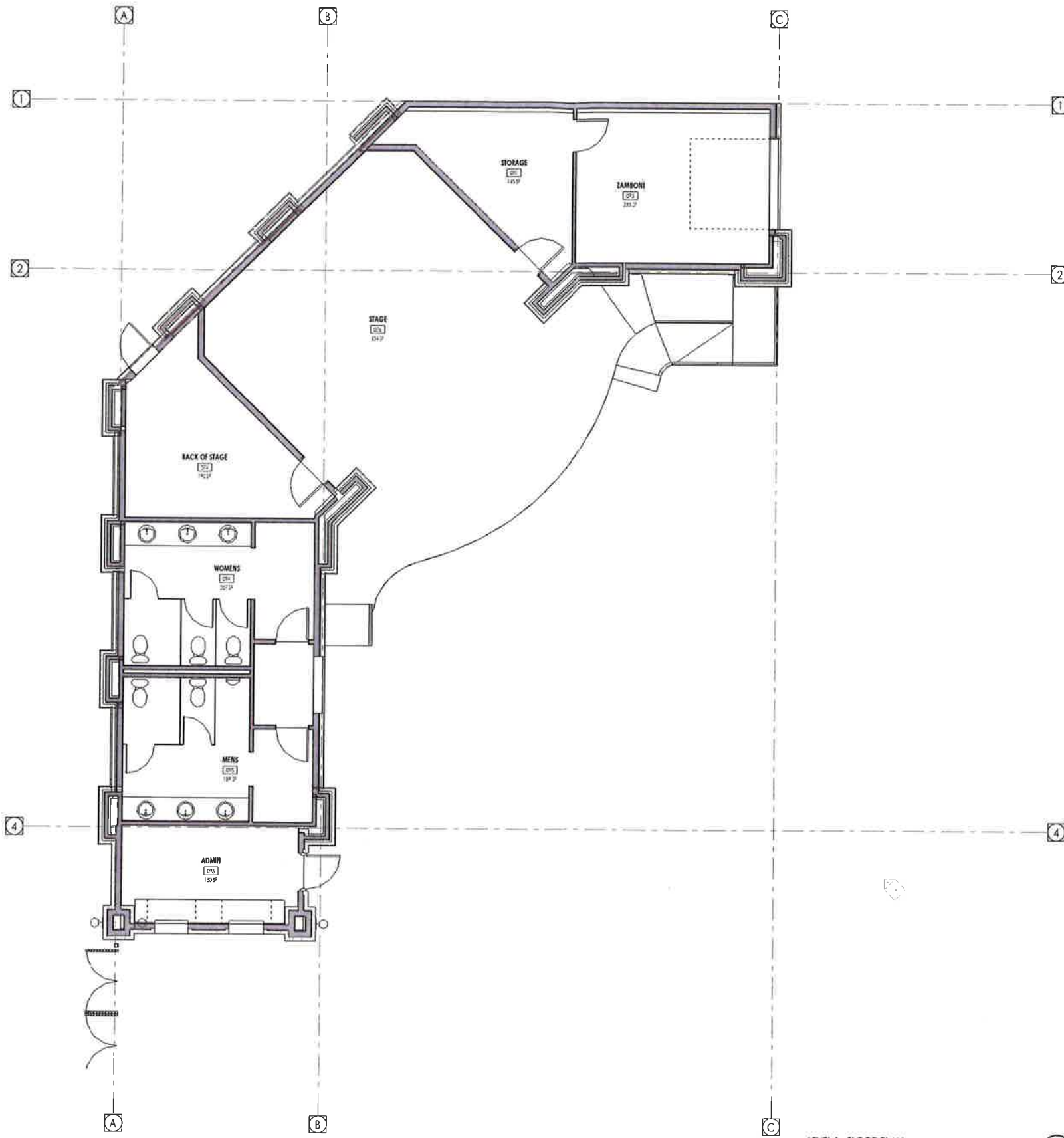
55 North Main  
Logan, Utah

PROJECT NO. 20-028  
DATE: 3/5/2021

SHEET TITLE  
SITE PLAN

SHEET NUMBER  
A101

DESIGN REVIEW

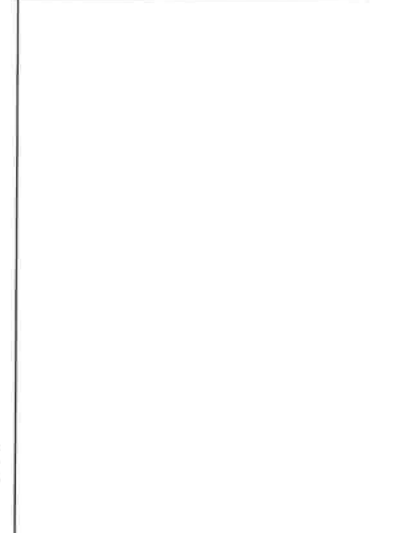


FLOOR PLAN LEGEND	
MATCH PATTERN	DESCRIPTION
[Pattern]	FOURTH FLOOR CORE
[Pattern]	WOOD STUD WALL
[Pattern]	CMU WALL
[Pattern]	DOOR CASE

FLOOR PLAN MATERIAL LEGEND	
MATCH PATTERN	DESCRIPTION
[Pattern]	CARPET PER DIA
[Pattern]	TILE FLOOR
[Pattern]	EXTERIOR CONCRETE SLAB
[Pattern]	ASPHALT ROOFING

- FLOOR PLAN GENERAL NOTES**
1. ALL DIMENSIONS ARE TO INTERIOR FACE UNLESS OTHERWISE NOTED.
  2. CEILING HEIGHTS ARE AS SHOWN FROM FIN FLOOR OR CONCRETE - SEE SECTIONS.
  3. REFER TO ENLARGED PLANS FOR ALL INTERIOR WALLS, WINDOW TYPES, DOORS, AND FINISHES.
  4. REFER TO ENLARGED PLANS FOR ALL DECK FINISHES.
  5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
  6. ALL TOPPING GLAZES MUST BE FLOOR TO ROOF COMPLETE AND BUILDING CODE COMPLIANT.
  7. SEE SHEET A103 FOR PROJECT GENERAL NOTES AND SHEET A104 FOR PROJECT KEY NOTES. REFER ALL NOTES TO THIS SHEET FOR CLARIFICATION.
  8. COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEET WALL PLANS FOR LOCATION OF COLUMN, BEAM, DEEP WALLS, ETC.
  9. COORDINATE WITH BUILDING DEPARTMENT FOR ALL EXTERIOR FINISHES.
  10. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING TO MEET ALL DATA REQUIREMENTS.
  11. ALL EXTERIOR WALLS ARE ASSUMED TO BE 24" STUD WALLS UNLESS SHOWN OTHERWISE.
  12. ALL INTERIOR WALLS ARE ASSUMED TO BE 5/8" GYPSUM BOARD UNLESS SHOWN OTHERWISE.
  13. ALL ROOF FINISHES TO MEET ALL BUILDING CODE REQUIREMENTS TO ALLOW FOR ALL DOWNFALL. REFER TO EXTERIOR WALLS AND ROOF FINISHES FOR FURTHER INFORMATION.

FLOOR PLAN KEY NOTES	
Space/Room Keynote	Individual Keynote
[Symbol]	[Symbol]



SYMBOL LEGEND			
[Symbol]	PROPOSED VIEW	[Symbol]	4' TO 8' DEEP CURB CUTS
[Symbol]	BUILDING OR TAG	[Symbol]	4' TO 8' DEEP CURB CUTS
[Symbol]	BUILDING SECTION	[Symbol]	PROPOSED CURB CUT LOCATION
[Symbol]	WALL SECTION	[Symbol]	PROPOSED CURB CUT LOCATION
[Symbol]	SPECIFICATION KEYNOTE	[Symbol]	CEILING HEIGHT
[Symbol]	FUNCTIONAL KEYNOTE	[Symbol]	NEW EXTERIOR LIGHT
[Symbol]	DOOR FRAME TAG	[Symbol]	EXISTING EXTERIOR LIGHT
[Symbol]	WINDOW FRAME TAG	[Symbol]	EXISTING EXTERIOR LIGHT
[Symbol]	WALL LINE	[Symbol]	1" TO 2" SHOE DEPTH
[Symbol]	DETAIL HEAD	[Symbol]	WALL FINISH
[Symbol]	CEILING LINE	[Symbol]	CEILING FINISH
[Symbol]	FINISHED CEILING HEIGHT	[Symbol]	BATHROOM VENT EXHAUST
[Symbol]	REVISION TAG	[Symbol]	TRUCK DRIVE
		[Symbol]	CEILING FINISH
		[Symbol]	24" FLOOR DEPTH
		[Symbol]	12" TO 18" DEPTH CURB CUT
		[Symbol]	12" TO 18" DEPTH CURB CUT
		[Symbol]	12" TO 18" DEPTH CURB CUT

LEVEL 1 - FLOOR PLAN  
SEE A104



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757 So. Highpoint Parkway, Suite 302  
Logan, Utah 84301  
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FX: 435-381-1425  
www.thinkpk.com

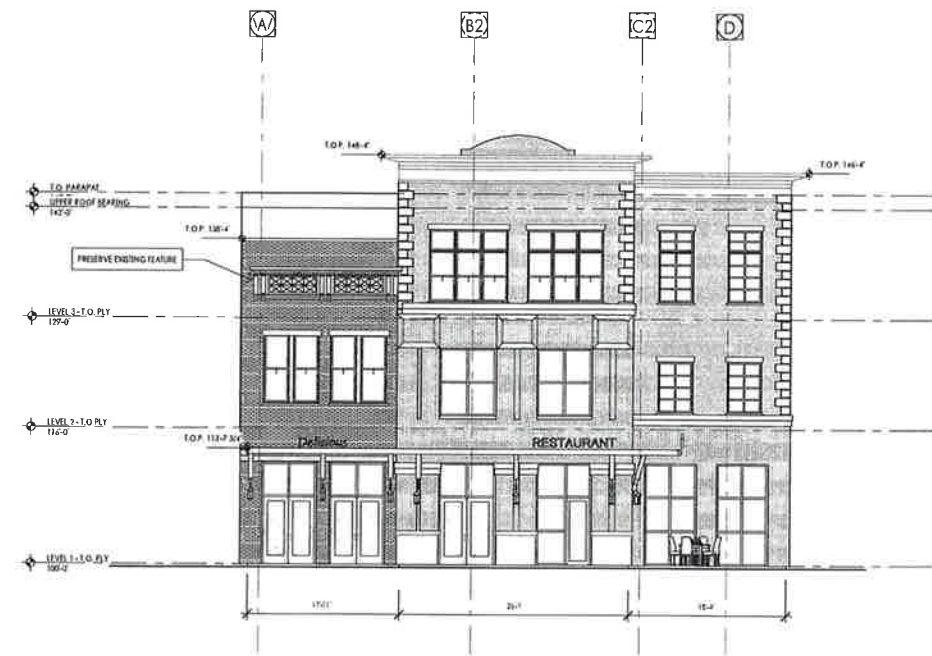
The design and construction of this project was a collaborative effort between the architect, engineer, and contractor. The architect is responsible for the design and the contractor is responsible for the construction. The engineer is responsible for the structural design and the contractor is responsible for the construction of the structural elements. The architect, engineer, and contractor are all responsible for the overall quality and safety of the project.

LOGAN CITY MAIN STREET ICE SKATE AND PLAZA  
STAGE BUILDING  
55 North Main  
Logan, Utah

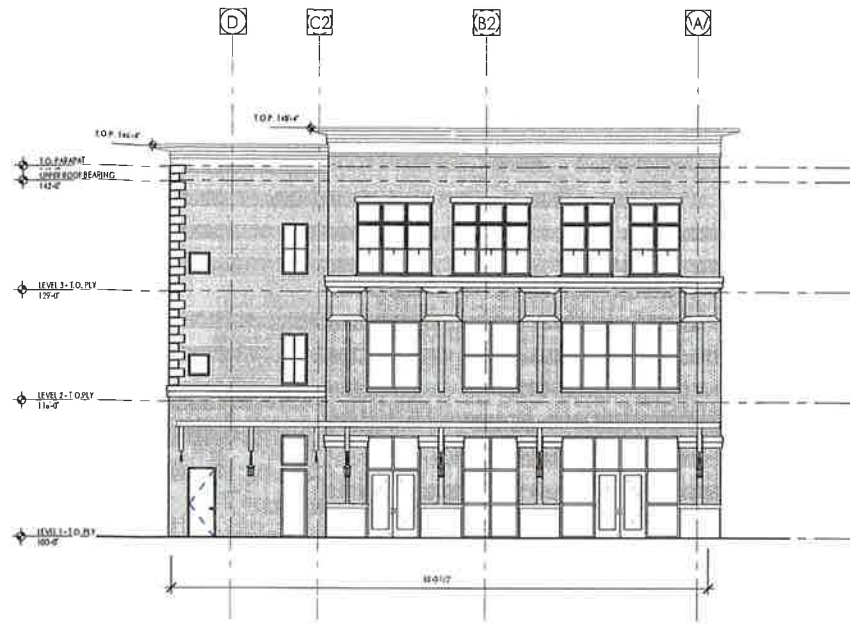
PROJECT NO. 20-028  
DATE: 3/5/2021

DESIGN REVIEW  
SHEET TITLE  
STAGE BUILDING  
FLOOR PLAN  
SHEET NUMBER  
**A103**

NO DATE 2/10/21 10:03 AM



EAST ELEVATION  
1/8" = 1'-0" (1) ASD

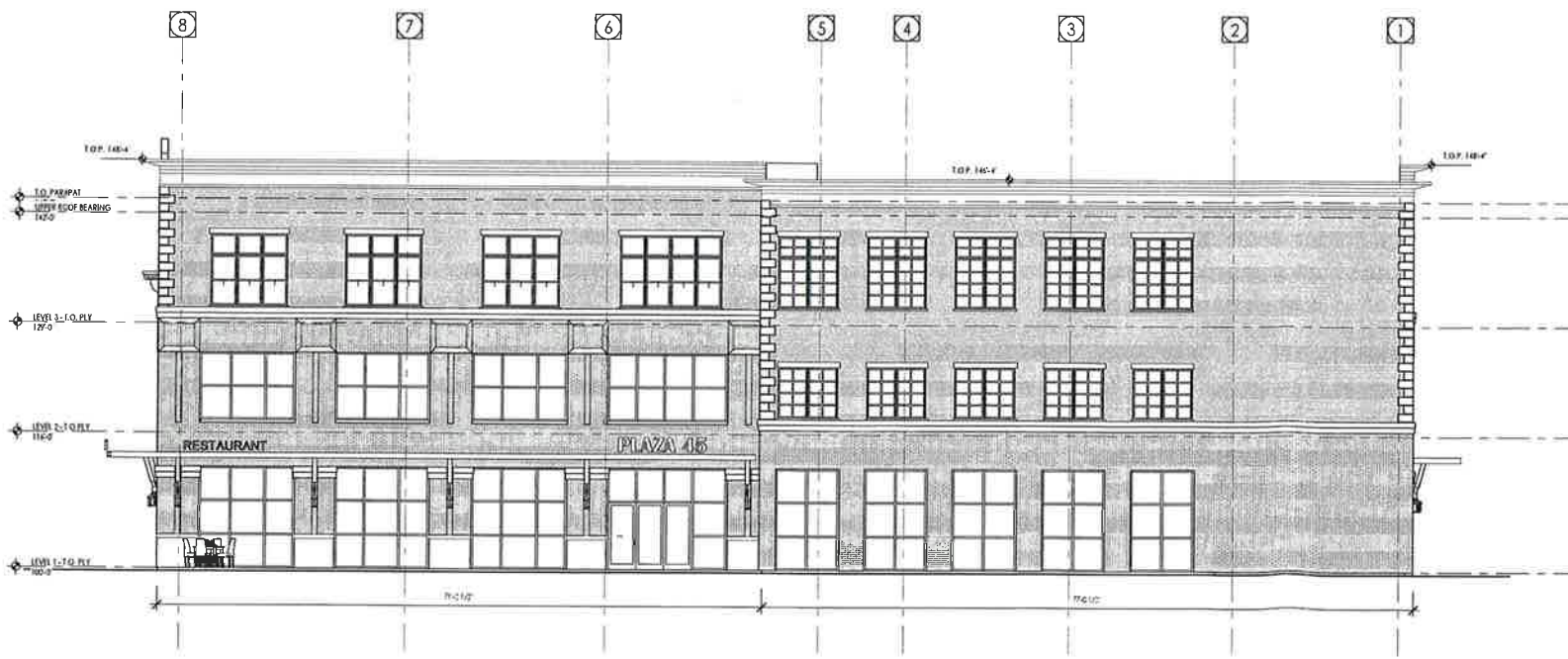


WEST ELEVATION  
1/8" = 1'-0" (2) ASD

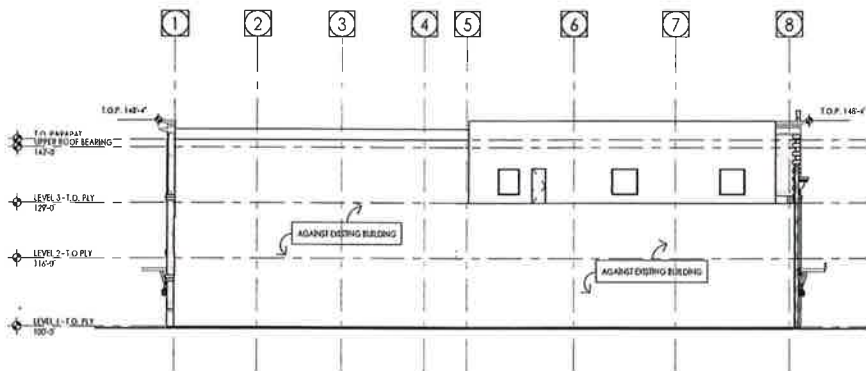
ELEVATION / SECTION MATERIAL LEGEND	
MATCH PATTERNS	DESCRIPTION
[Pattern]	PLASTER - EXTERIOR SEE SPECIFICATIONS FOR THE L.A. #101508 SELECTED BRICK TO MATCH EXISTING BUILDING
[Pattern]	ADHESIVE - EXTERIOR SEE SPECIFICATIONS FOR THE L.A. #101508 SELECTED BRICK TO MATCH EXISTING BUILDING
[Pattern]	ADHESIVE - INTERIOR SEE SPECIFICATIONS FOR THE L.A. #101508 SELECTED BRICK TO MATCH EXISTING BUILDING
[Pattern]	CONCRETE SEE SPECIFICATIONS FOR TYPE #101508
[Pattern]	ROOFING SEE SPECIFICATIONS FOR THE EXTERIOR AND COLOR

NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAIL AND ANNOTATIONS REGARDING EACH ITEM MATERIAL

KEYWORD INSTRUCTIONS



NORTH ELEVATION  
1/8" = 1'-0" (3) ASD



SOUTH ELEVATION  
1/8" = 1'-0" (4) ASD



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799 So. Harwood Parkway, Suite 300  
Salt Lake City, UT 84143  
Tel: 801.339.0335  
Fax: 801.339.1433  
www.think-ec.com

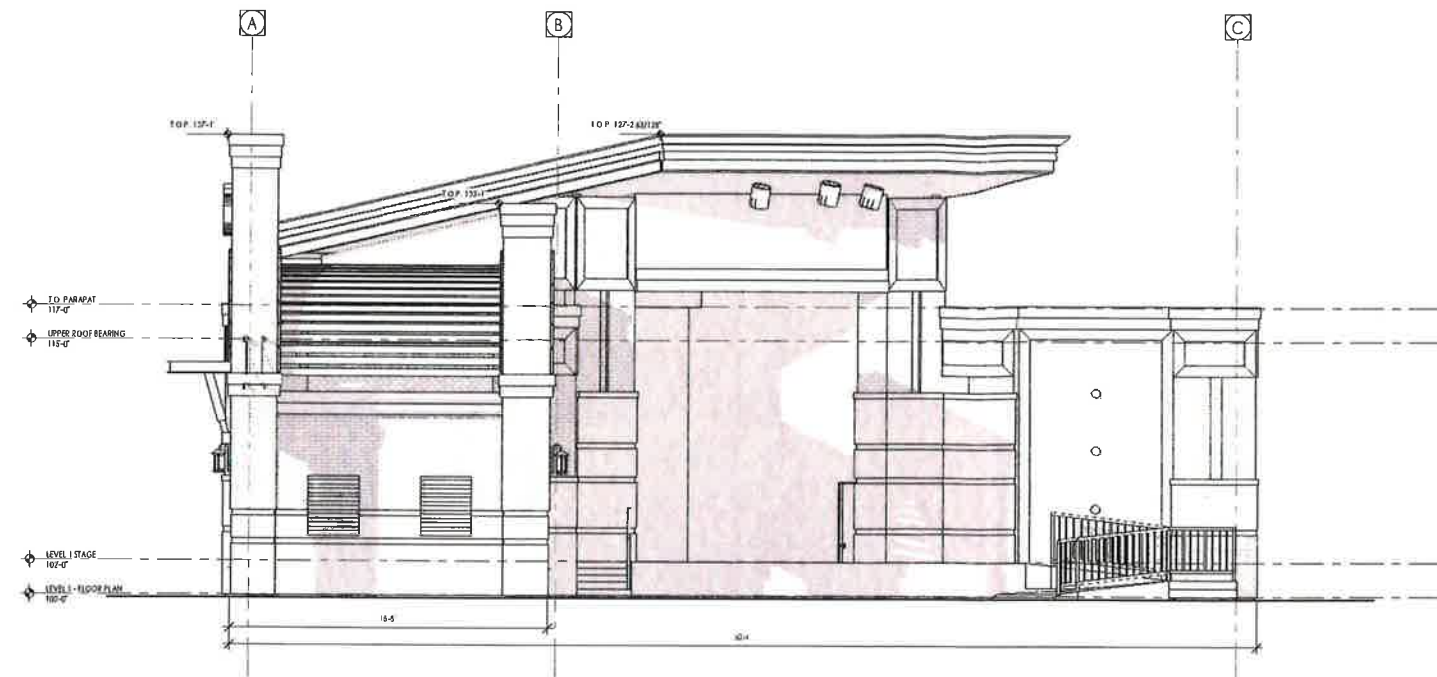
The design and construction of this project is subject to the requirements of the City of Logan, Utah, and the State of Utah. The design and construction of this project is subject to the requirements of the City of Logan, Utah, and the State of Utah. The design and construction of this project is subject to the requirements of the City of Logan, Utah, and the State of Utah.

LOGAN CITY MAIN STREET ICE SKATE AND PLAZA  
EXISTING BUILDINGS 45/41  
55 North Main  
Logan, Utah

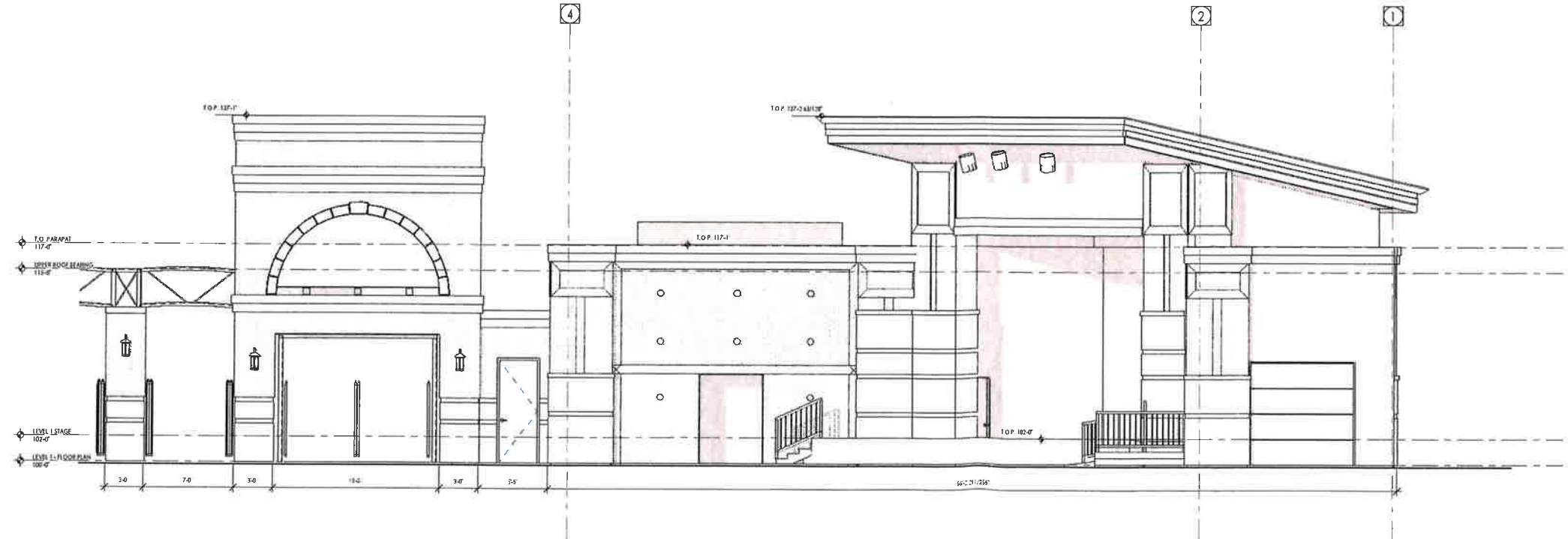
PROJECT NO. 20-028  
DATE: 3/5/2021

DESIGN REVIEW  
EXTERIOR ELEVATIONS

DESIGN NUMBER  
A201



SOUTH ELEVATION  
1/8" = 1'-0" (1)



EAST ELEVATION  
1/8" = 1'-0" (2)

ELEVATION / SECTION MATERIAL LEGEND	
MATCH PATTERNS	DESCRIPTION
[Pattern]	PLANK 45 BRCK 1/8" BEP SEE SPECIFICATIONS FOR TYPE, LVL, AND FINISH SELECTED SPEC TO MATCH EXISTING BUILDING
[Pattern]	MDL BRCK 1/8" BEP SEE SPECIFICATIONS FOR TYPE, LVL, AND FINISH SELECTED SPEC TO MATCH EXISTING BUILDING
[Pattern]	HE BRCK ACCENT 1/8" BEP SEE SPECIFICATIONS FOR TYPE, LVL, AND FINISH SELECTED SPEC TO MATCH EXISTING BUILDING
[Pattern]	CASH FLOOR SEE SPECIFICATIONS FOR TYPE AND FINISH
[Pattern]	ROOFING SEE SPECIFICATIONS FOR TYPE, PATTERN AND COLOR

NOTE: REFER TO INTERNAL SPECIFICATIONS DOCUMENTS FOR PERMITTED INSULATION TYPES AND RATES FOR EACH MATERIAL.

KEYNOTE INSTRUCTIONAL



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7737 So. Highroad Parkway, Suite 323  
Dove, Utah 84304  
ph: 801.389.2055  
fax: 801.389.2055  
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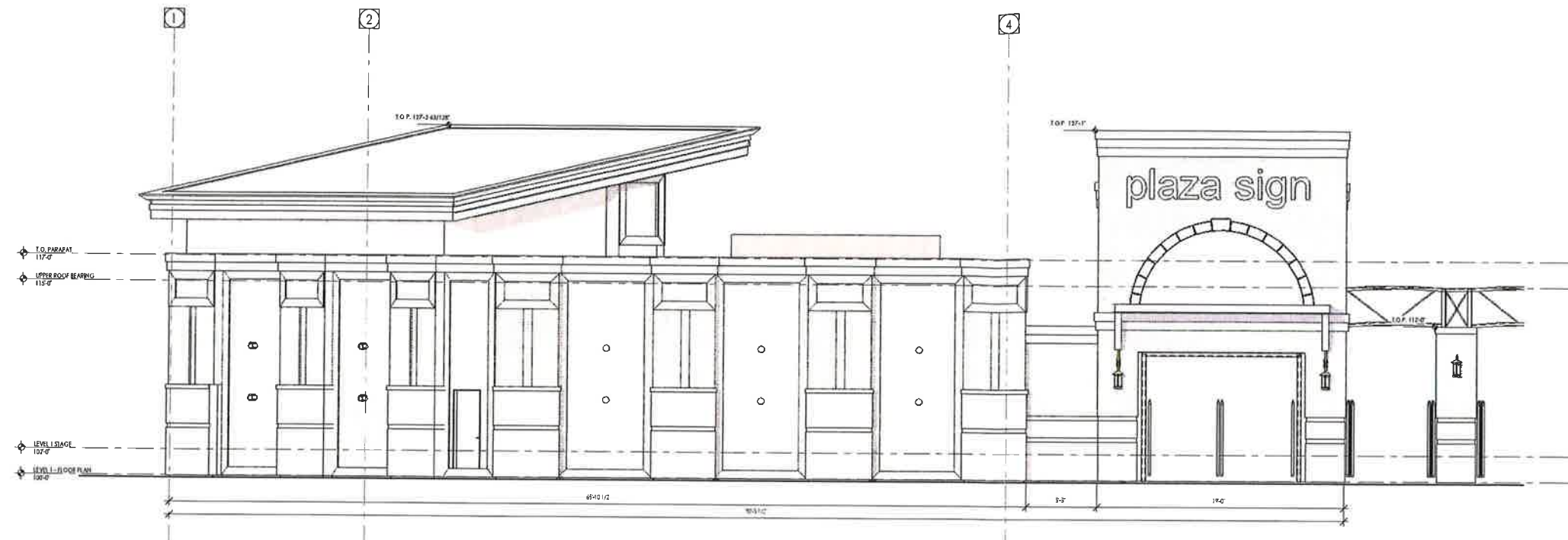
The design and construction of this project is the result of a collaborative effort between the architect and the client. The architect is responsible for the design and construction of the building, while the client is responsible for the financing and operation of the building. The architect and client agree to hold each other harmless for any claims, damages, or expenses, including reasonable attorneys' fees, arising out of or in connection with the design and construction of this project.

LOGAN CITY MAIN STREET ICE SKATE AND PLAZA  
STAGE BUILDING  
55 North Main  
Logan, Utah

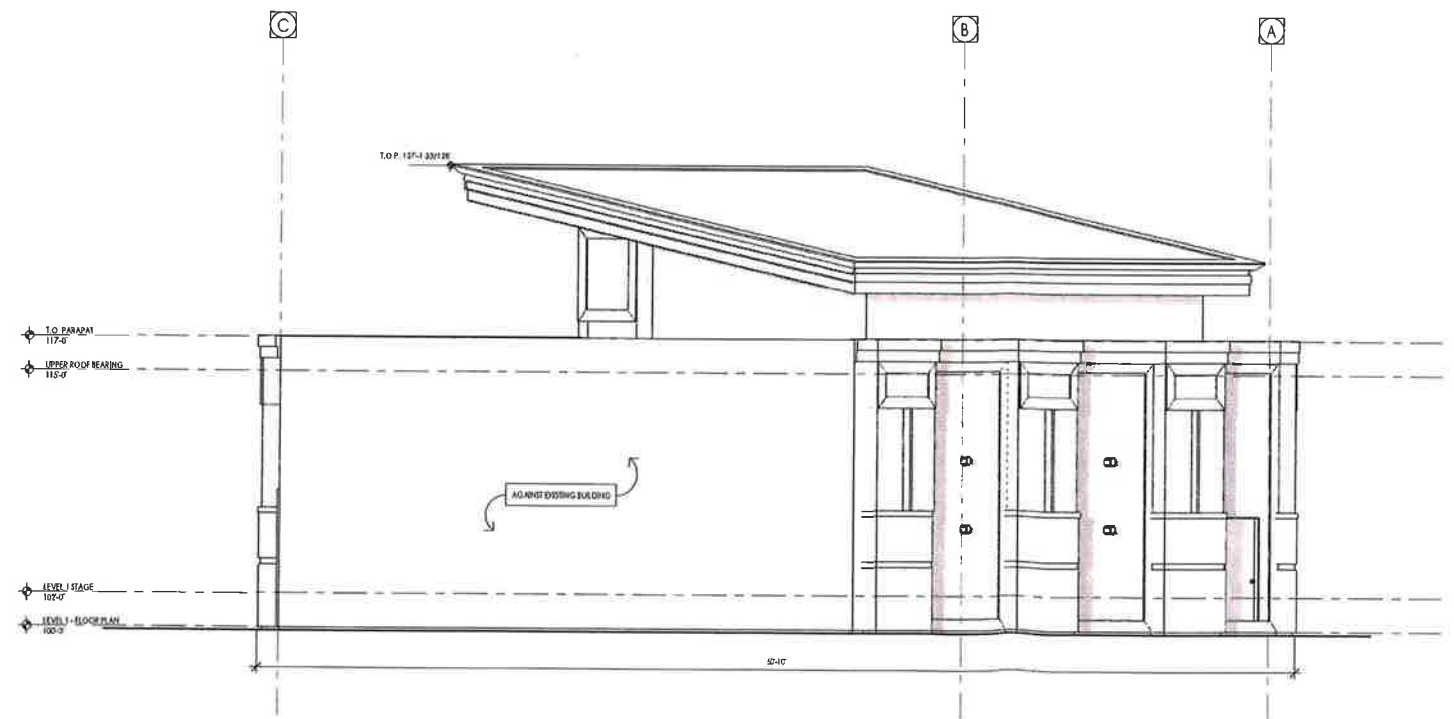
PROJECT NO. 20-028  
DATE: 3/5/2021  
REVISIONS:

SHEET TITLE  
EXTERIOR ELEVATIONS

DESIGN REVIEW  
A202



WEST ELEVATION  
1/4" = 1'-0" 1



NORTH ELEVATION  
1/4" = 1'-0" 2

ELEVATION / SECTION MATERIAL LEGEND	
MATCH FACTOR	DESCRIPTION
[Symbol]	PLAZA BRICK VENEER SEE SPECIFICATIONS FOR TYPE, LAY, AND FINISH SELECTED BRICK TO MATCH EXISTING BUILDING
[Symbol]	ARCH BRICK VENEER SEE SPECIFICATIONS FOR TYPE, LAY, AND FINISH SELECTED BRICK TO MATCH EXISTING BUILDING
[Symbol]	1/2" BRICK ACCENT VENEER SEE SPECIFICATIONS FOR TYPE, LAY, AND FINISH SELECTED BRICK TO MATCH EXISTING BUILDING
[Symbol]	CAST STONE SEE SPECIFICATIONS FOR TYPE AND FINISH
[Symbol]	ROOF TPO SEE SPECIFICATIONS FOR TYPE, PATTERN AND COLOR

NOTE: REFER TO MATERIAL SPECIFICATION DOCUMENTS FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL.

KEYNOTE INSTRUCTACIONAL



Architecture  
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7727 So. Highpoint Parkway, Suite 202  
Sandy, Utah 84074  
PH: 303.389.0555  
FX: 801.389.1423  
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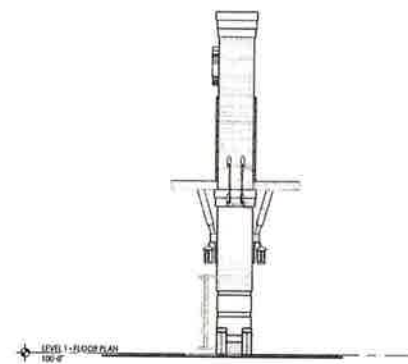
Professional seal and stamp area for the architect, including name and registration details.

LOGAN CITY MAIN STREET ICE SKATE AND PLAZA  
STAGE BUILDING  
55 North Main  
Logan, Utah

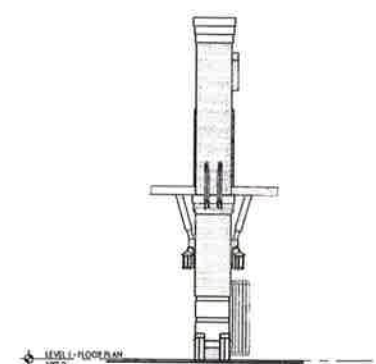
PROJECT NO. 20-028  
DATE 3/5/2021

EXTERIOR ELEVATIONS

DESIGN REVIEW SHEET NUMBER  
A203



NORTH ELEVATION  
3/4" = 1'-0"

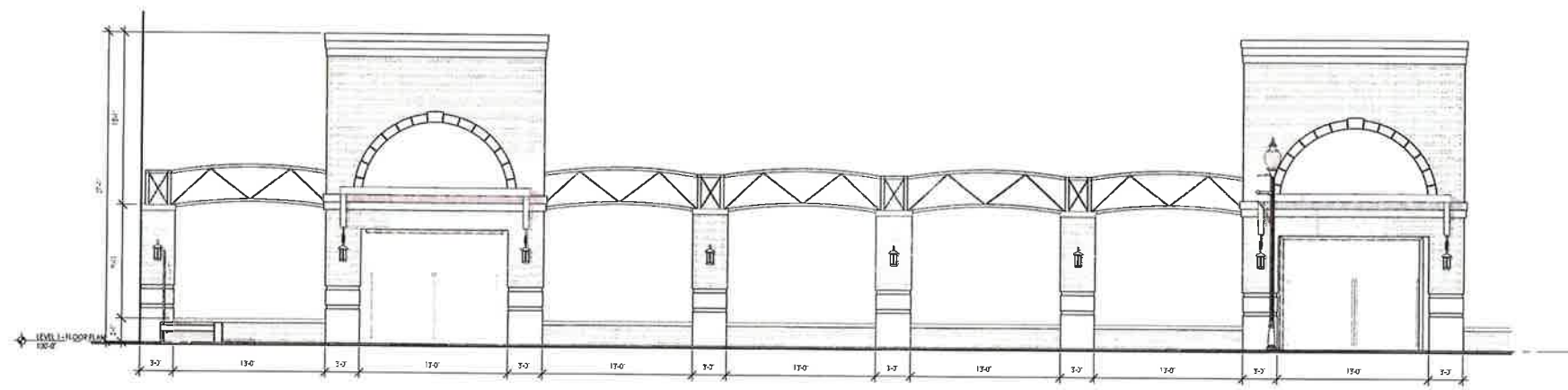


SOUTH ELEVATION  
3/4" = 1'-0"

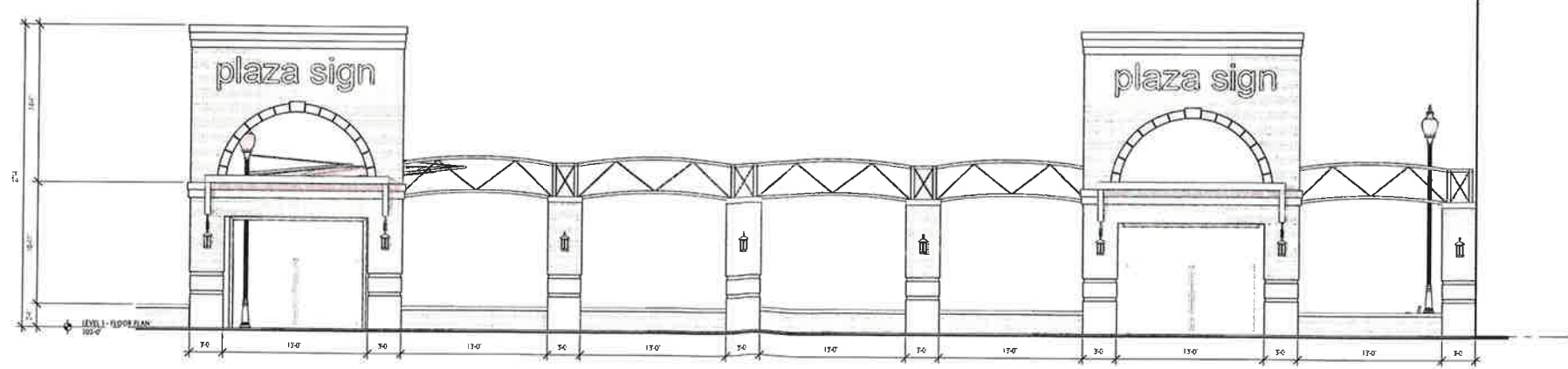
MATERIAL	DESCRIPTION
[Symbol]	FLY ASH BRICK - VENEER SEE SPECIFICATIONS FOR TYPE, LA, AND FINISH SELECTED BRICK TO MATCH EXISTING BUILDING
[Symbol]	MOURE BRICK - VENEER SEE SPECIFICATIONS FOR TYPE, LA, AND FINISH SELECTED BRICK TO MATCH EXISTING BUILDING
[Symbol]	RED BRICK - ACCENT VENEER SEE SPECIFICATIONS FOR TYPE, LA, AND FINISH SELECTED BRICK TO MATCH EXISTING BUILDING
[Symbol]	CUT STONE SEE SPECIFICATIONS FOR TYPE AND FINISH
[Symbol]	ROOF IRON SEE SPECIFICATIONS FOR TYPE, PATTERN AND COLOR

NOTE: PREP TO MATERIAL SPECIFICATION DOCUMENT FOR DETAILED  
CONSTRUCTION REQUIREMENTS FOR EACH MATERIAL.

SEE MORE INSTRUCTIONS



EAST GATE WEST ELEVATION  
3/16" = 1'-0"



EAST GATE EAST ELEVATION  
3/16" = 1'-0"



Architecture  
Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

797 So. Highpoint Parkway, Suite 300  
Salt Lake City, UT 84143  
ph: 801.381.0333  
fax: 801.381.1433  
www.pkthink.com

The design, construction and/or construction management services provided by the firm are subject to the terms and conditions of the professional services agreement between the firm and the client. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The firm is not responsible for any delays or cost overruns caused by the client or third parties. The firm is not responsible for any damage to property or persons caused by the construction or use of the project. The firm is not responsible for any environmental impacts or other liabilities associated with the project. The firm is not responsible for any other matters not specifically mentioned in this agreement.

LOGAN CITY MAIN STREET ICE SKATE AND PLAZA  
MAIN STREET PLAZA MONUMENTS

55 North Main  
Logan, Utah

PROJECT NO. 20-028  
DATE: 3/5/2021  
REVISED:

EXTERIOR ELEVATIONS

DESIGN REVIEW  
A204



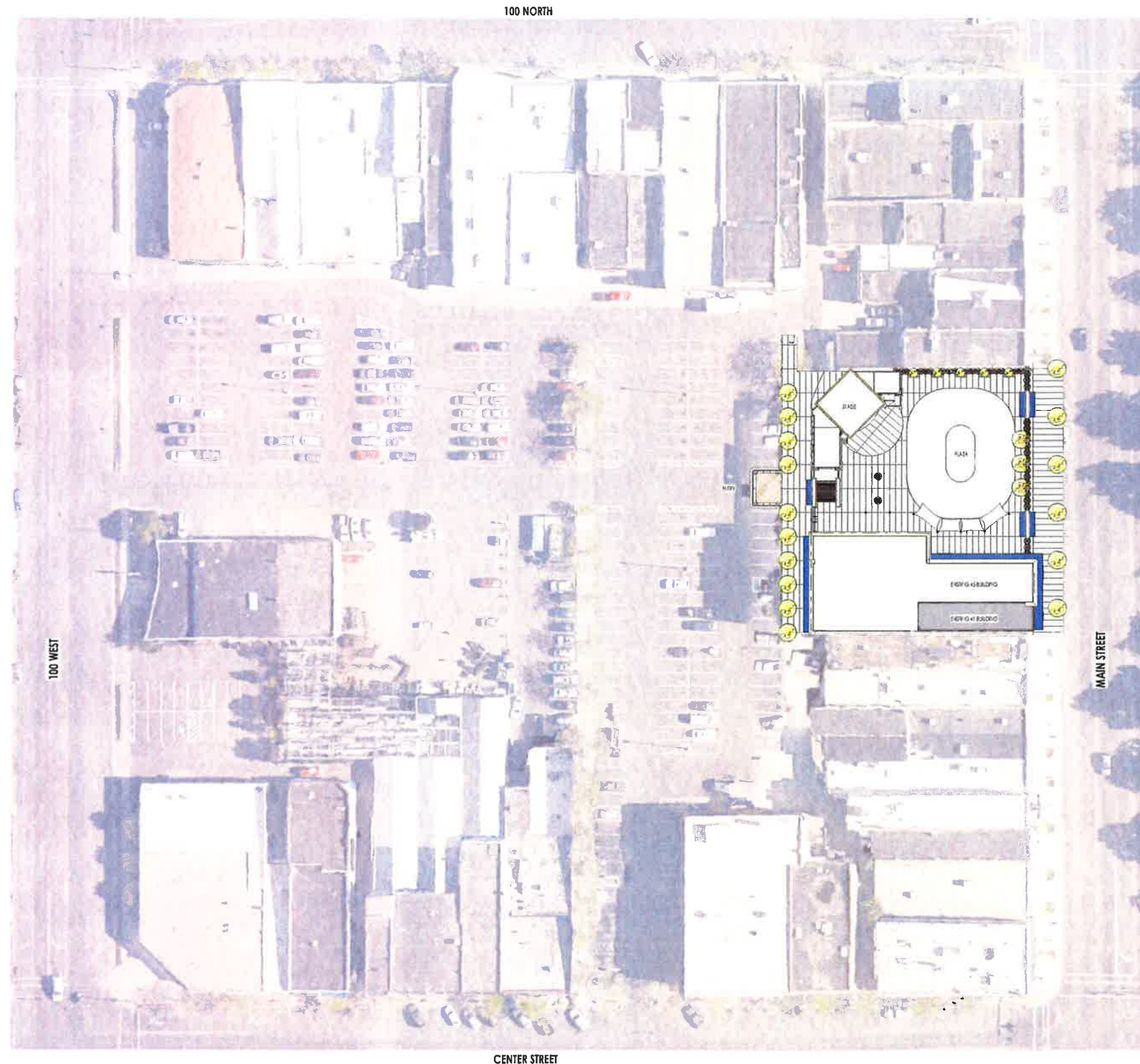
ARIAL VIEW WITH WINTER ICE RINK



ARIAL VIEW WITH SUMMER CONCERT



ARIAL VIEW WITH WINTER ICE RINK

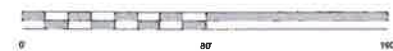


100 NORTH

100 WEST

MAIN STREET

CENTER STREET



OVERALL SITE  
1" = 80'



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Landscape Architecture  
Land Planning  
Construction Management

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Sandy, Utah 84074  
PH: 801.289.0233  
FX: 801.281.4143  
WWW.THINKPK.COM

For all projects, the architect shall be responsible for obtaining all necessary permits and approvals from the appropriate governmental agencies. The architect shall be responsible for coordinating with all other professionals involved in the project. The architect shall be responsible for providing all necessary information to the contractor. The architect shall be responsible for providing all necessary information to the contractor. The architect shall be responsible for providing all necessary information to the contractor.

LOGAN CITY MAIN STREET ICE SKATE AND PLAZA

55 North Main  
Logan, Utah

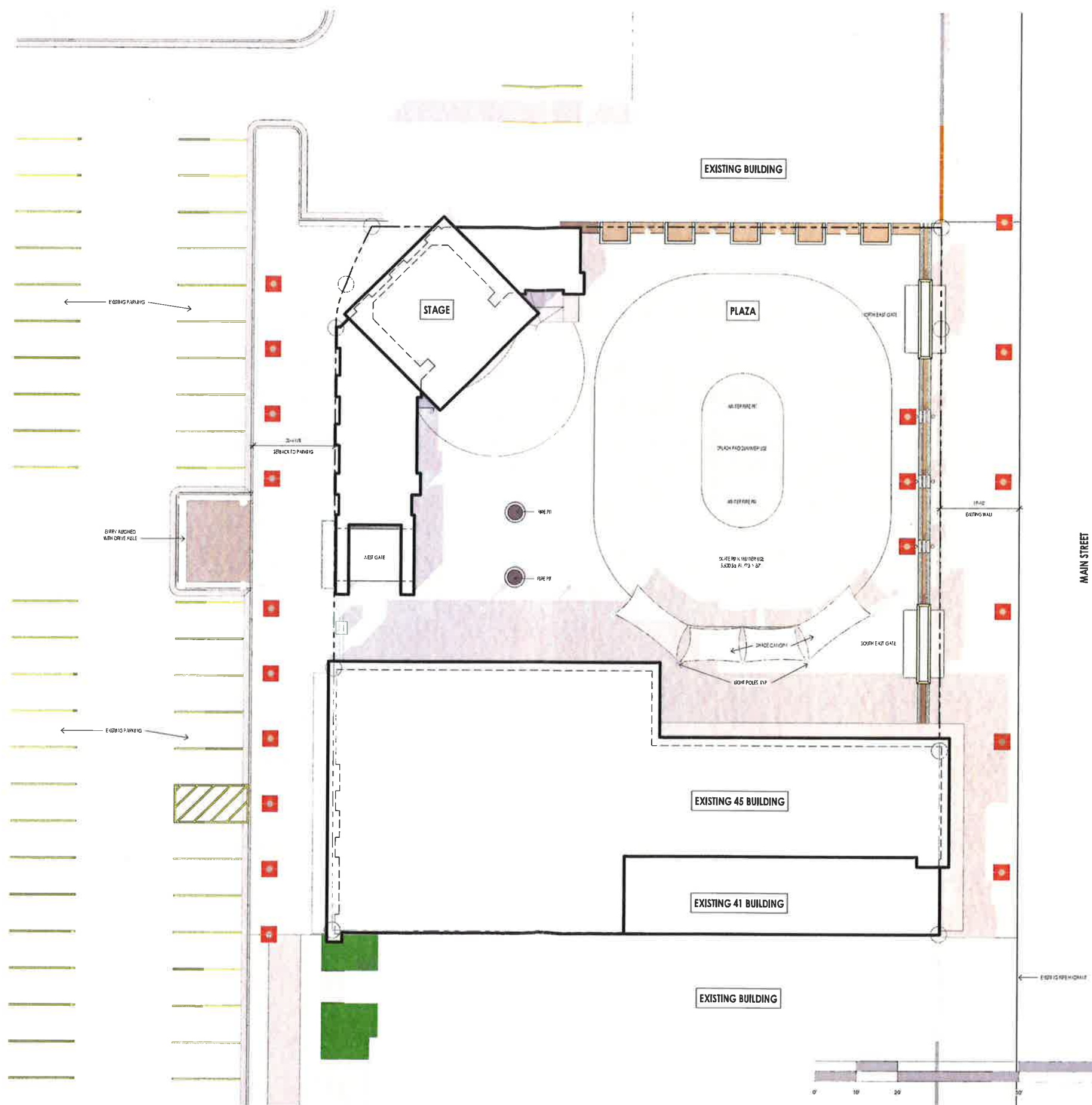
PROJECT NO. 20-028  
DATE: 3/5/2021  
REVISION:

SHEET TITLE  
OVERALL SITE

SHEET NUMBER  
D000

DESIGN REVIEW





SITE LEGEND	
LINE PATTERN	DESCRIPTION
(Dashed line)	PROPERTY LINE
(Dashed line)	SEPARATION LINE
(Dashed line)	COLOR MAP A/UP
(Dashed line)	COLOR MAP B/UP

**GENERAL INFORMATION**  
 SITE AREA: 5+ ACRES  
 OVERSPACE: 33+ %  
 ZONE: TDM (CD) (R) (1)  
 HISTORIC DISTRICT

PARKING CALCULATIONS FOR PEAK USE			
OFFICE	23	130 SQ FT	
STAGE	5	500 SQ FT	
STAGE VIEWING	27	500 SQ FT	
PLAZA	4	2,000 SQ FT	
<b>TOTAL REQUIRED</b>	<b>59</b>	<b>2,180 SQ FT</b>	
<b>EXISTING PARKING ON SITE BLOCK</b>	<b>300</b>		

SEPARATION AS PER IBC	
FRONT	0
SIDE	0
REAR	0
PARKING	10



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 Springville, UT 84661  
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 FAX: 801.349.1104  
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**LOGAN CITY MAIN STREET ICE SKATE AND PLAZA**

55 North Main  
 Logan, Utah

PROJECT NO. 20-028  
 DATE: 3/5/2021

SHEET TITLE  
**COLOR SITE PLAN**

DESIGN REVIEW  
 SHEET NUMBER  
**D001**



Architecture  
 Architecture  
 Interior Design  
 Landscape Architecture  
 Land Planning  
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 Sandy, Utah 84070  
 PH: 801.269.0255  
 FX: 801.269.1475  
[www.thinkpk.com](http://www.thinkpk.com)

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LOGAN CITY MAIN STREET ICE SKATE AND PLAZA

55 North Main  
 Logan, Utah

PROJECT NO. 20-028  
 DATE: 3/5/2021  
 REVISIONS:

SHEET TITLE  
 EXTERIOR VIEWS

SHEET NUMBER  
 D201

DESIGN REVIEW



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7727 So Highroad Parkway, Suite 202  
Sandwich, MA 01983  
or 100 North Main  
Logan, UT 84301  
Tel: 435.338.1423  
www.thinkarc.com

The design team has prepared these renderings to illustrate the proposed project and to provide a visual representation of the project. These renderings are not to be used for any other purpose without the written consent of the design team. The design team is not responsible for any errors or omissions in these renderings.



LOGAN CITY MAIN STREET ICE SKATE AND PLAZA

55 North Main  
Logan, Utah

PROJECT NO. 20-028  
DATE: 3/5/2021

REVISION

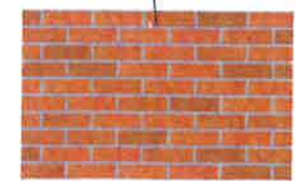
SHEET TITLE  
EXTERIOR RENDERINGS  
& MATERIALS

SHEET NUMBER  
D202

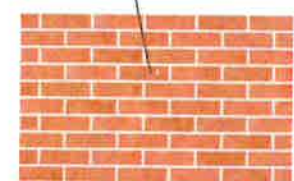
DESIGN REVIEW



Call Home  
Sofa



Moroccan Red  
Moroccan Brick



Terrill Collis  
Moroccan Brick



Midnight  
Moroccan Brick



Architecture  
 Architecture  
 Interior Design  
 Landscape Architecture  
 Land Planning  
 Construction Management

7777 So Highways Parkway, Suite 300  
 Sparks, Utah 84304  
 801.383.2823  
 801.383.2823  
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LOGAN CITY MAIN STREET ICE SKATE AND PLAZA

55 North Main  
 Logan, Utah

PROJECT NO. 20-028  
 DATE: 3/5/2021  
 REVISION:

SHEET TITLE  
 EXTERIOR RENDERINGS

DESIGN REVIEW  
 SHEET APPROVAL  
 D203



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

777 So. Highnoon Parkway, Suite 100  
Cottonwood, Utah 84304  
PH: 435.388.5555  
FX: 435.388.1433  
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LOGAN CITY MAIN STREET ICE SKATE AND PLAZA

55 North Main  
Logan, Utah

PROJECT NO. 20-028  
DATE: 3/5/2021

SHEET TITLE  
EXTERIOR RENDERINGS

DESIGN REVIEW  
SHEET NUMBER  
D204



Architecture  
 Architecture  
 Interior Design  
 Landscape Architecture  
 Land Planning  
 Construction Management

7975 Six Highway Parkway, Suite 200  
 Sandy, Utah 84070  
 Phone: 801.388.2222  
 Fax: 801.388.2222  
 www.thinkpk.com

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LOGAN CITY MAIN STREET ICE SKATE AND PLAZA

55 North Main  
 Logan, Utah

PROJECT NO. 20-028  
 DATE: 3/5/2021  
 REVISION:

SHEET TITLE  
 EXTERIOR RENDERINGS

DESIGN REVIEW  
 SHEET NUMBER  
 D205

ELEVATION / SECTION MATERIAL LEGEND	
MATCH PATTERNS	DESCRIPTION
	PLAZA-45 BRICK-1/2" X 6" SEE SPECIFICATIONS FOR TYPE, L.A.I. AND FINISH SELECTED BRICK TO MATCH EXISTING BUILDING
	1/2" X 6" BRICK-1/2" X 6" SEE SPECIFICATIONS FOR TYPE, L.A.I. AND FINISH SELECTED BRICK TO MATCH EXISTING BUILDING
	1/2" X 6" BRICK-1/2" X 6" SEE SPECIFICATIONS FOR TYPE, L.A.I. AND FINISH SELECTED BRICK TO MATCH EXISTING BUILDING
	CASERONE SEE SPECIFICATIONS FOR TYPE AND FINISH

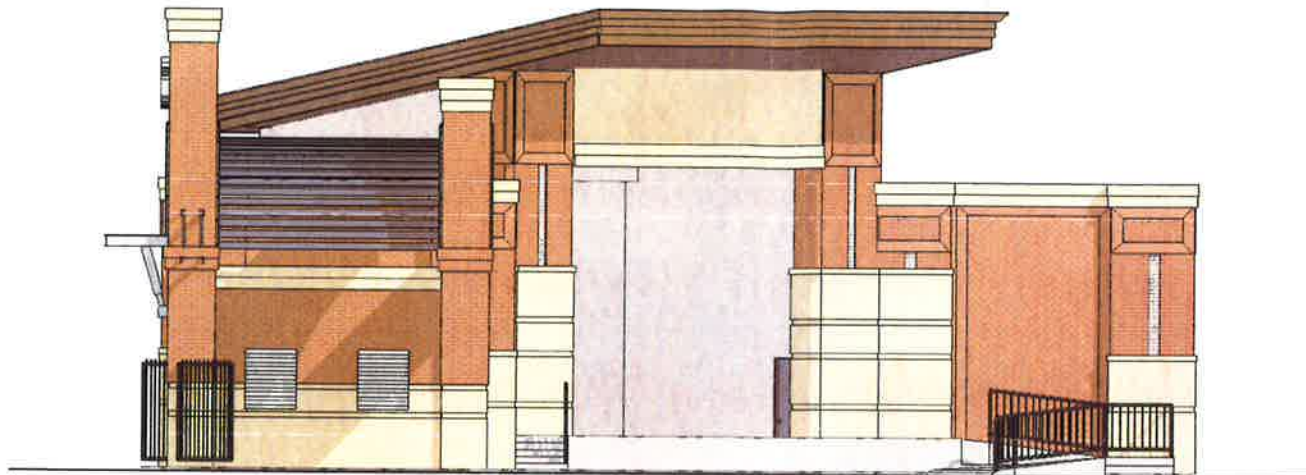
NOTE: REFER TO GENERAL SPECIFICATIONS OCCURRING FOR DETAILS FORWARD REGARDING EACH FINISH MATERIAL



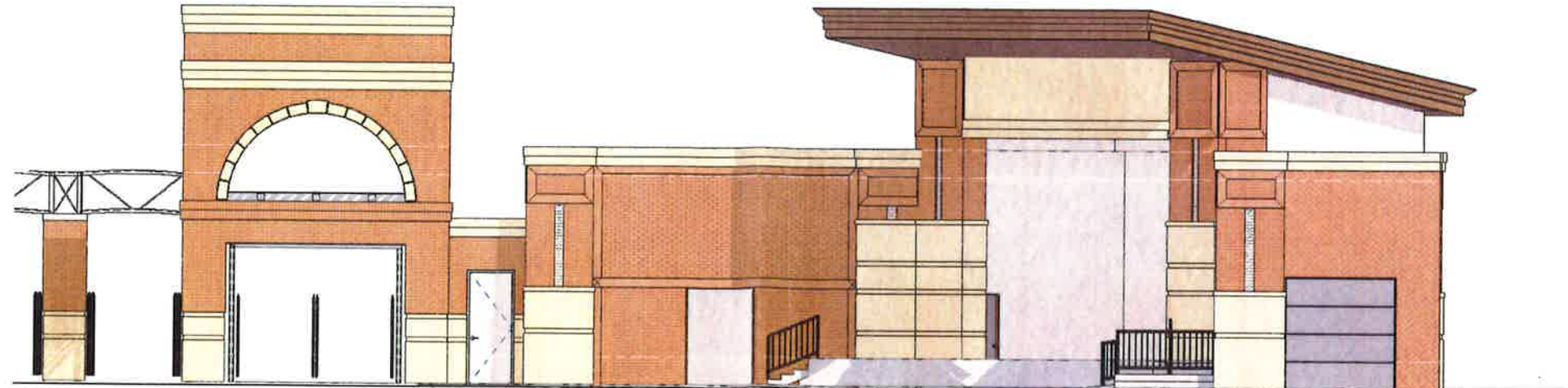
**Architecture**  
 Architecture  
 Interior Design  
 Landscape Architecture  
 Land Planning  
 Construction Management

799 So. Highroad Parkway, Suite 303  
 Ogden, Utah 84403  
 ph: 801.249.0255  
 fx: 801.249.1423  
 www.thinkpkc.com

Professional seal and registration information for the architect, including name, number, and state of Utah.



SOUTH PRESENTATION  
 1/4" = 1'-0"




EAST PRESENTATION  
 1/4" = 1'-0"

LOGAN CITY MAIN STREET ICE SKATE AND PLAZA  
 STAGE BUILDING  
 55 North Main  
 Logan, Utah

PROJECT NO. 20-028  
 DATE: 3/5/2021

STAGE BUILDING  
 ELEVATIONS

SHEET NUMBER  
 D206

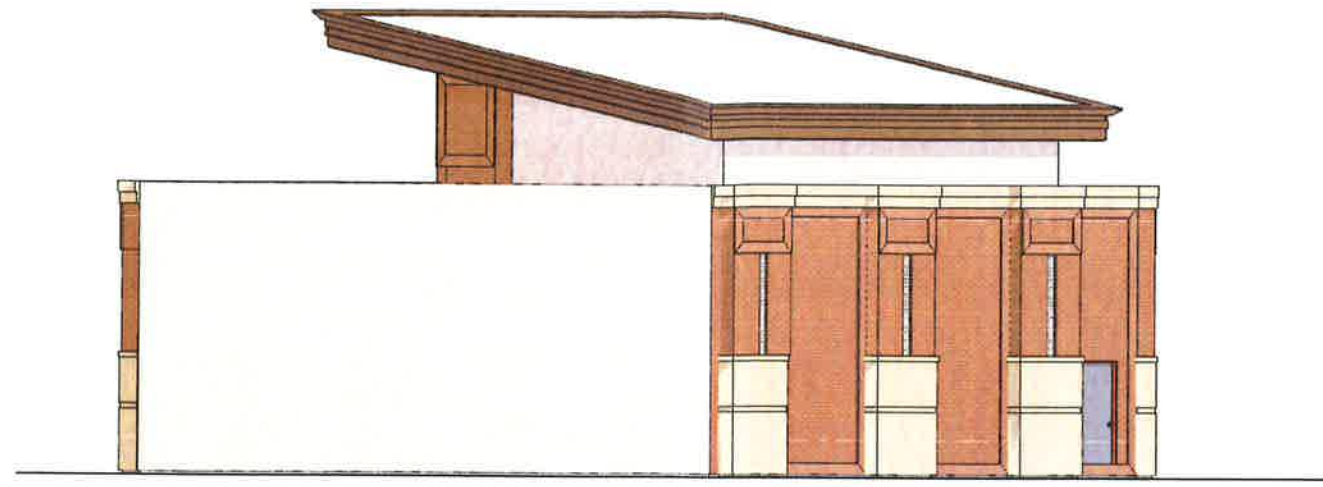
ELEVATION / SECTION MATERIAL LEGEND	
MATCH MATERIAL	DESCRIPTION
	PLAZA 43 BRICK V&H BR SEE SPECIFICATIONS FOR TYPE, LAY, AND FINISH SELECTED BRICK TO MATCH EXISTING BUILDING
	MOVIE BRICK V&H BR SEE SPECIFICATIONS FOR TYPE, LAY, AND FINISH SELECTED BRICK TO MATCH EXISTING BUILDING
	NEW BRICK ACCENT V&H BR SEE SPECIFICATIONS FOR TYPE, LAY, AND FINISH SELECTED BRICK TO MATCH EXISTING BUILDING
	CAP STONE SEE SPECIFICATIONS FOR TYPE AND FINISH
NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR COORDINATION REGARDING EACH FINISH MATERIAL.	



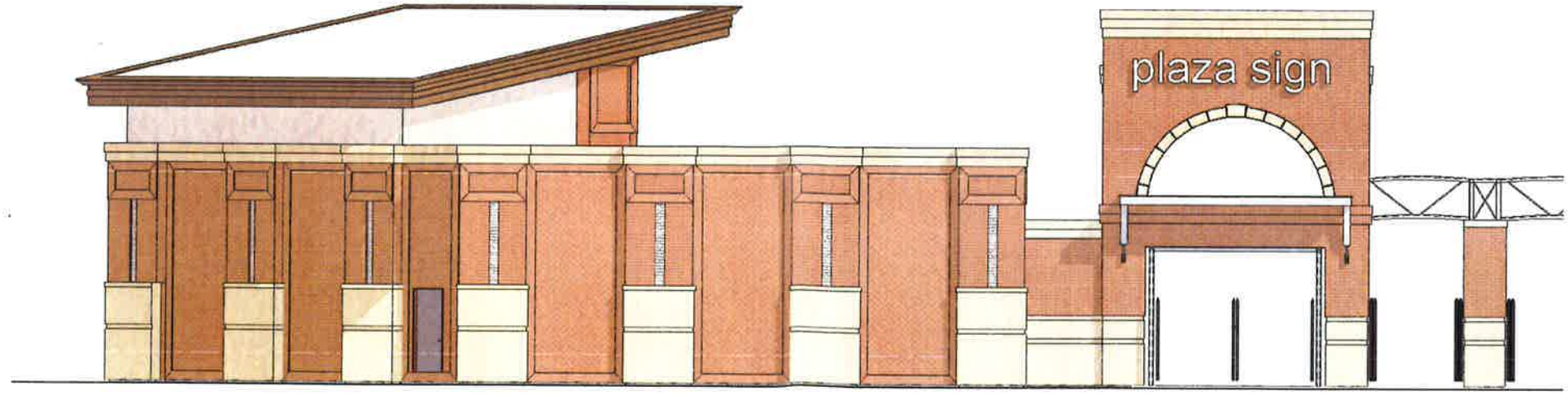
**Architecture**  
Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

700 So. Highways Parkway, Suite 303  
St. George, Utah 84774  
PH: 435.389.0255  
FAX: 435.389.7455  
www.thinkpk.com

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NORTH PRESENTATION  
1/4" = 1'-0"



WEST PRESENTATION  
1/4" = 1'-0"



LOGAN CITY MAIN STREET ICE SKATE AND PLAZA  
STAGE BUILDING  
55 North Main  
Logan, Utah

PROJECT NO. 20-028  
DATE: 3/5/2021  
REVISION:

SHEET TITLE  
STAGE BUILDING  
ELEVATIONS

DESIGN REVIEW  
D207



ELEVATION / SECTION MATERIAL LEGEND	
	PLAZA 45 BRICK - 18" BRICK SEE SPECIFICATIONS FOR TILE, LAM, ALUMINUM SELECTED BRICK TO MATCH EXISTING BUILDING
	EXISTING BRICK - 18" BRICK SEE SPECIFICATIONS FOR TILE, LAM, ALUMINUM SELECTED BRICK TO MATCH EXISTING BUILDING
	18" BRICK - 18" BRICK SEE SPECIFICATIONS FOR TILE, LAM, ALUMINUM SELECTED BRICK TO MATCH EXISTING BUILDING
	CAST BRICK SEE SPECIFICATIONS FOR TILE AND BRICK
NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL.	



**Think**  
Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

1027 So Highpoint Parkway, Suite 300  
Salt Lake City, UT 84143  
PH: 313.242.5253  
WWW.THINKARCH.COM

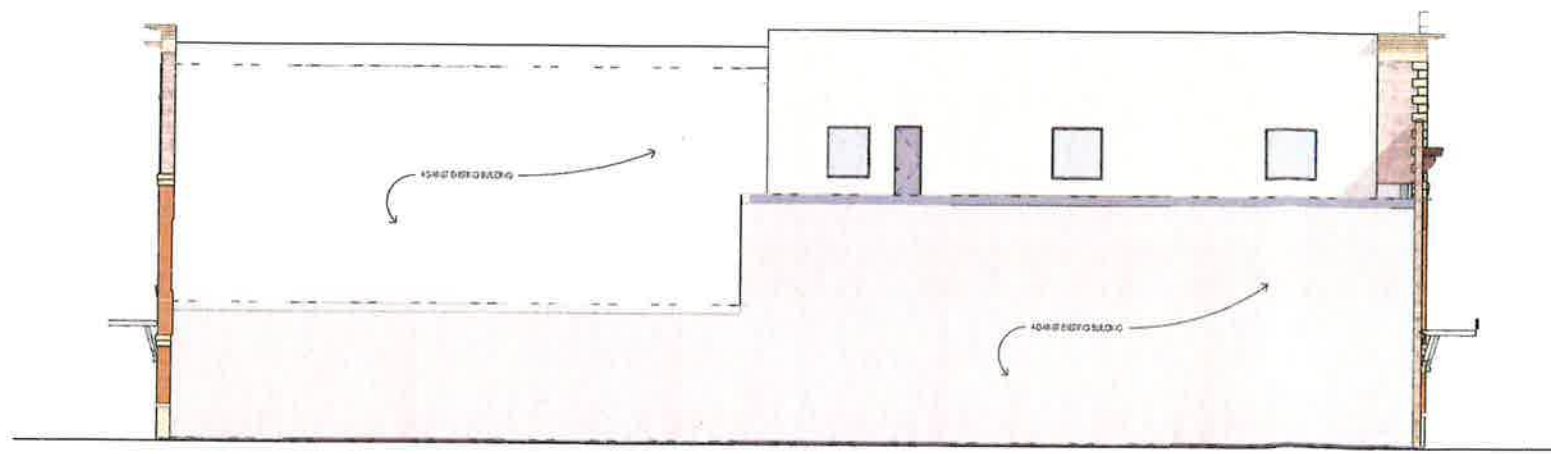
For design and construction documents, the architect is not responsible for the accuracy of the information provided by the client or other sources. The architect is not responsible for the accuracy of the information provided by the client or other sources. The architect is not responsible for the accuracy of the information provided by the client or other sources.



45 / 41 NORTH ELEVATION  
1/8" = 1'-0" 2  
0328



45 / 41 EAST ELEVATION  
1/8" = 1'-0" 1  
0328



45 / 41 SOUTH ELEVATION  
1/8" = 1'-0" 3  
0328



45 / 41 WEST ELEVATION  
1/8" = 1'-0" 4  
0328

LOGAN CITY MAIN STREET ICE SKATE AND PLAZA  
EXISTING BUILDINGS 45/41  
55 North Main  
Logan, Utah

PROJECT NO. 20-028  
DATE: 3/5/2021  
PERIOD:

SHEET TITLE  
PLAZA 45 / 41  
BUILDINGS

DESIGN REVIEW  
D208

PER DATE: 2/16/2021 8:43:17 PM

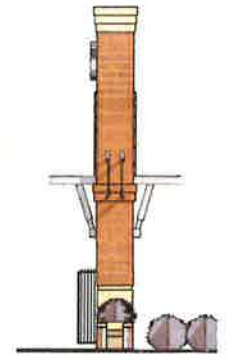
ELEVATION / SECTION MATERIAL LEGEND	
MATCH PATTERNS	DESCRIPTION
	PLAZA AS BRICK VENEER SEE SPECIFICATIONS FOR FACE, LAY, AND FINISH SELECTED BRICK TO MATCH EXISTING BUILDING
	AD-16 BRICK VENEER SEE SPECIFICATIONS FOR FACE, LAY, AND FINISH SELECTED BRICK TO MATCH EXISTING BUILDING
	16W BRICK ACCENT VENEER SEE SPECIFICATIONS FOR FACE, LAY, AND FINISH SELECTED BRICK TO MATCH EXISTING BUILDING
	CASUAL ZONE SEE SPECIFICATIONS FOR FACE AND FINISH

NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL.

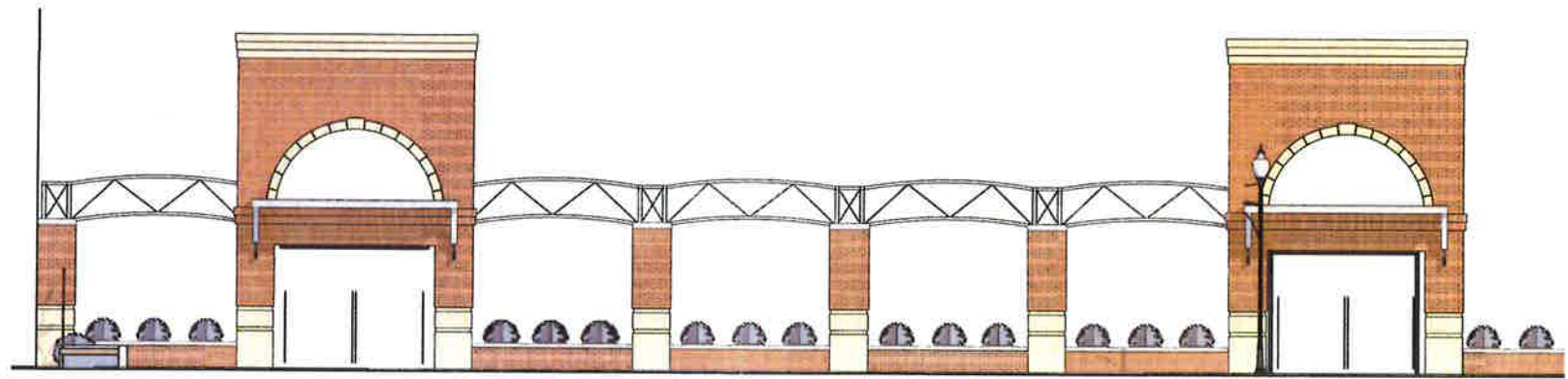
**pk**  
**Think**  
Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

707 So. High Street, Suite 303  
Druid Park, UT 84304  
PH: 801.328.2255  
WWW.PK-ARCH.COM

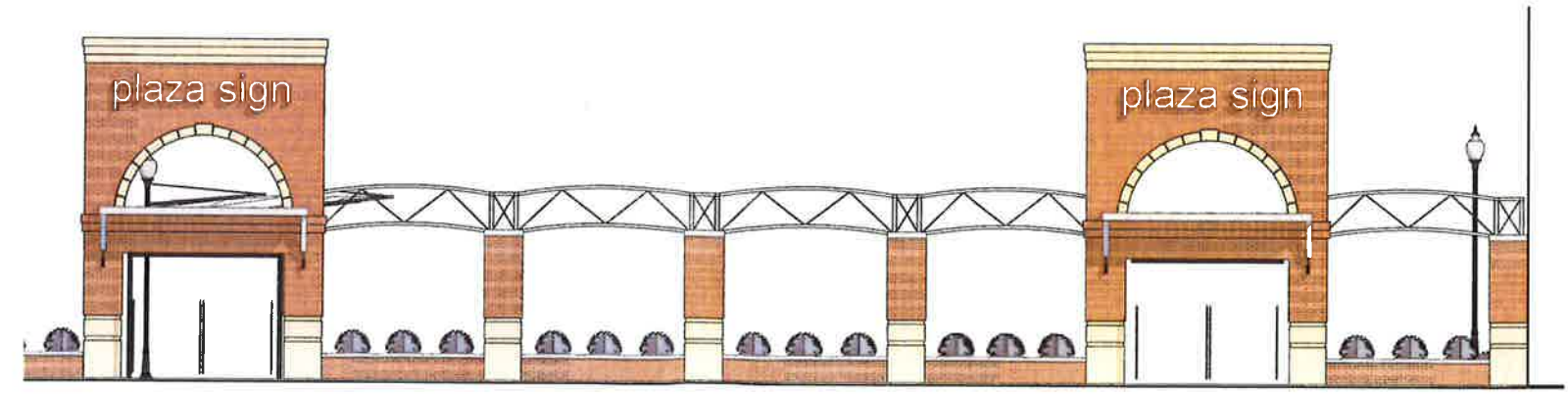
PERMITTING: THE ARCHITECTURE AND ENGINEERING PROFESSIONS BOARD OF UTAH (AEPB) HAS REVIEWED AND APPROVED THESE PLANS FOR CONSTRUCTION PERMITS. THE AEPB'S REVIEW IS LIMITED TO TECHNICAL ASPECTS OF THE PLANS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED. THE ARCHITECT ASSUMES FULL RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.



NORTH PRESENTATION 3  
3/16" = 1'-0"



WEST PRESENTATION 2  
3/16" = 1'-0"



EAST PRESENTATION 1  
3/16" = 1'-0"

LOGAN CITY MAIN STREET ICE SKATE AND PLAZA  
MAIN STREET PLAZA MONUMENTS  
55 North Main  
Logan, Utah

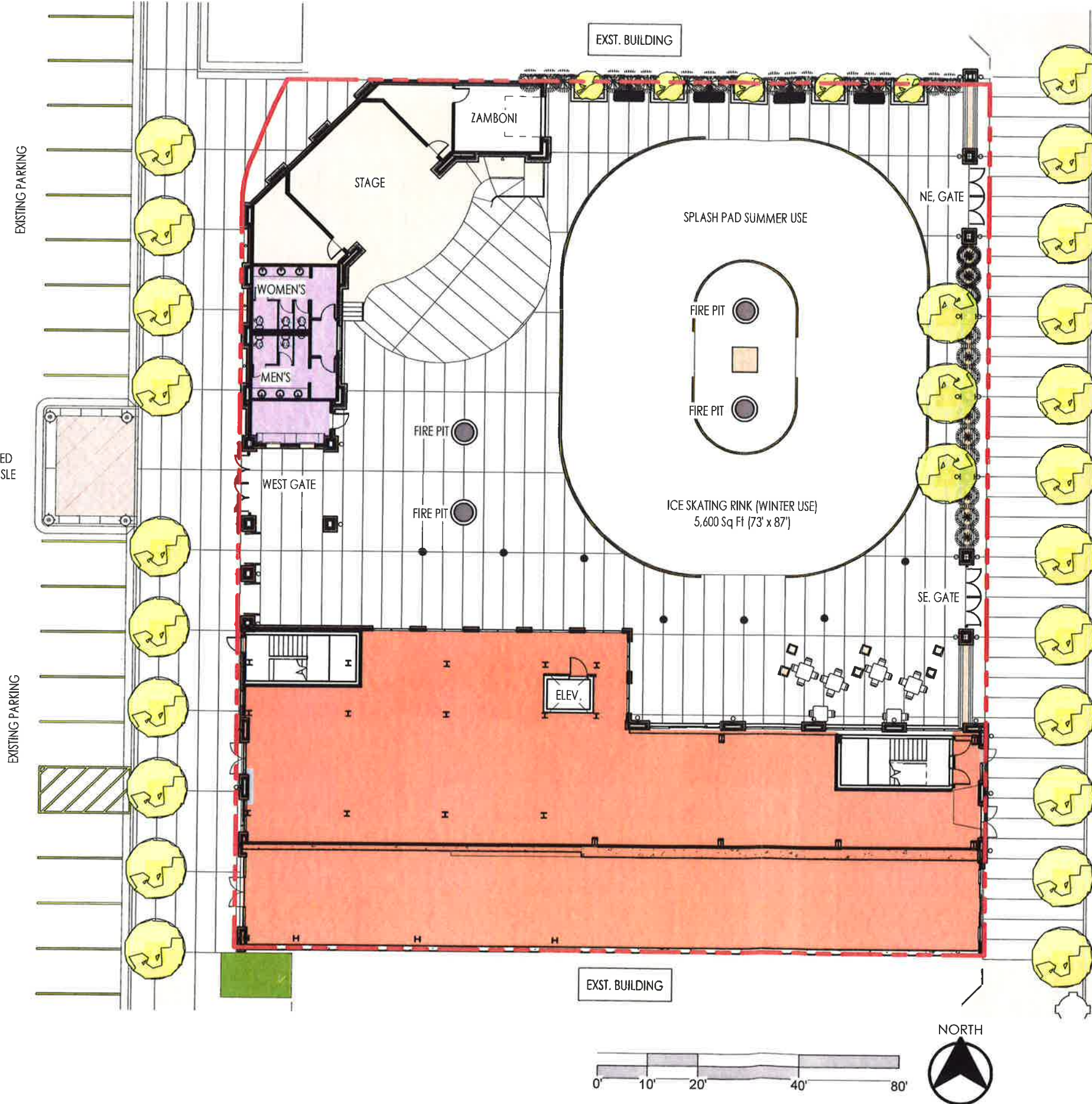
PROJECT NO. 20-028  
DATE: 3/5/2021  
REVISION

SHEET TITLE  
MONUMENT  
ELEVATIONS

SHEET NUMBER  
D209

DESIGN REVIEW

3/2/2021 10:58:40 AM



AREA BY USE	
Building Name	Area
RINK	5,600 ft <sup>2</sup>
STAGE	1,700 ft <sup>2</sup>
Grand total	7,300 ft <sup>2</sup>



**Architecture**  
 Architecture  
 Interior Design  
 Landscape Architecture  
 Land Planning

7927 SO. HIGHPOINT PARKWAY  
 SUITE 8300  
 SANDY, UTAH 84094  
 ph. 801.269.0055  
 www.thinkpk.com

The design shown and described herein is based on all available information and is subject to change without notice. It is not intended to be a contract. It is the responsibility of the client to verify all information and to provide all necessary data. The design is not to be used for construction without the approval of the architect. The architect is not responsible for any errors or omissions in the design or for any consequences arising therefrom.

LOGAN CITY MAIN STREET ICE SKATE AND PLAZA

55 North Main  
 Logan, Utah

PROJECT NO. 20-028

DATE: 3/2/2021

REVISIONS:

SHEET TITLE:  
 LEVEL 1

SHEET NUMBER:

**D001**

LEVEL 1 - PRESENTATION  
 1" = 20'-0"

DESIGN REVIEW

# ALTA / NSPS LAND TITLE SURVEY

## SURVEYOR'S CERTIFICATE

TO LOGAN CITY, NORTHERN TITLE COMPANY, AND FIRST AMERICAN TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 4, 7a, 7b, 7c, 7d, 8, 9, 10b, 11, 18, AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 8, 2021.

DATE OF PLAT OR MAP: 1/14/21



## LEGAL DESCRIPTIONS

06-025-0009 (47 NORTH MAIN ST.)  
PART OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 12 NORTH, RANGE 1 EAST, SALT LAKE MERIDIAN, DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHEAST CORNER OF LOT B, BLOCK 14, PLAT "A", LOGAN CITY SURVEY;  
THENCE S125°54'W 20.00 FEET;  
THENCE N88°38'14"W 69.50 FEET;  
THENCE N125°54'E 20.00 FEET;  
THENCE S88°38'14"E 69.50 FEET TO THE POINT OF BEGINNING.

06-025-0011 (41 NORTH MAIN ST.)  
PART OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 12 NORTH, RANGE 1 EAST, SALT LAKE MERIDIAN, DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT S125°54'W 20.00 FEET FROM THE NORTHEAST CORNER OF LOT B, BLOCK 14, PLAT "A", LOGAN CITY SURVEY;  
THENCE S125°54'W 45.00 FEET;  
THENCE N88°38'14"W 148.50 FEET;  
THENCE N125°54'E 64.24 FEET (65.00 FEET BY RECORD);  
THENCE S88°38'14"E 79.00 FEET;  
THENCE S125°54'W 20.00 FEET;  
THENCE S88°38'14"E 69.50 FEET TO THE POINT OF BEGINNING.

06-028-0015 (67 NORTH MAIN ST.)  
PART OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 12 NORTH, RANGE 1 EAST, SALT LAKE MERIDIAN, DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT N125°54'E 84.00 FEET FROM THE SOUTHEAST CORNER OF LOT 7, BLOCK 14, PLAT "A", LOGAN CITY SURVEY;  
THENCE N88°38'14"W 148.50 FEET;  
THENCE NORTHERLY 11.02 FEET (11 FEET BY RECORD) ALONG A CURVE CONCAVE TO THE EAST WITH A RADIUS OF 23.80 FEET AND A LONG CHORD BEARING N14°41'32"E 10.92 FEET;  
THENCE NORTHEASTERLY 15.65 FEET ALONG A CURVE CONCAVE TO THE NORTHWEST WITH A RADIUS OF 133.00 FEET (134.5 FEET BY RECORD) AND A LONG CHORD BEARING N24°34'57"E 15.64 FEET;  
THENCE S88°38'14"E 139.85 FEET;  
THENCE S125°54'W 25.00 FEET TO THE POINT OF BEGINNING.

06-028-0016 (55 NORTH MAIN ST.)  
PART OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 12 NORTH, RANGE 1 EAST, SALT LAKE MERIDIAN, DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTHEAST CORNER OF LOT 7, BLOCK 14, PLAT "A", LOGAN CITY SURVEY;  
THENCE N88°38'14"W 148.50 FEET;  
THENCE N125°54'E 84.00 FEET;  
THENCE S88°38'14"E 148.50 FEET;  
THENCE S125°54'W 84.00 FEET TO THE POINT OF BEGINNING.

## SURVEY NARRATIVE

THIS SURVEY WAS ORDERED BY KIRK JENSEN FOR THE PURPOSE LOCATING THE BOUNDARIES OF THE SUBJECT PARCELS AND TO INVESTIGATE POTENTIAL ENCRoACHMENTS. LOGAN CITY OFFSET STREET MONUMENTS WERE USED TO RE-ESTABLISH MAIN STREET AND 100 NORTH STREET. POSSESSION LINES OVER A ROAD AREA WERE USED TO DETERMINE BOUNDARIES BETWEEN ADJOINING PARCELS.

NO MAJOR DISCREPANCIES WERE FOUND.

LEAD EXPANSION NAILS WITH WASHERS STAMPED "S.C. EARL PLS 318575" WERE SET AT THE CORNERS INDICATED HEREON, EXCEPTIONS NOTED.

## GENERAL NOTES

- NO PARKING STALLS ON SUBJECT PROPERTIES.
- THERE IS ONE BUILDING ON EACH PARCEL AS SHOWN.
- THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED.
- THERE IS AT LEAST ONE PARTY WALL BETWEEN BUILDINGS AS LABELED (EXCEPTIONS 19 AND 20.) IT IS SUSPECTED THAT THERE MAY BE OTHER PARTY WALLS BETWEEN THE SUBJECT PARCELS OWNED BY LOGAN CITY, ESPECIALLY AT 45 N. MAIN.

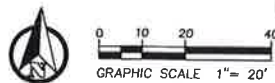
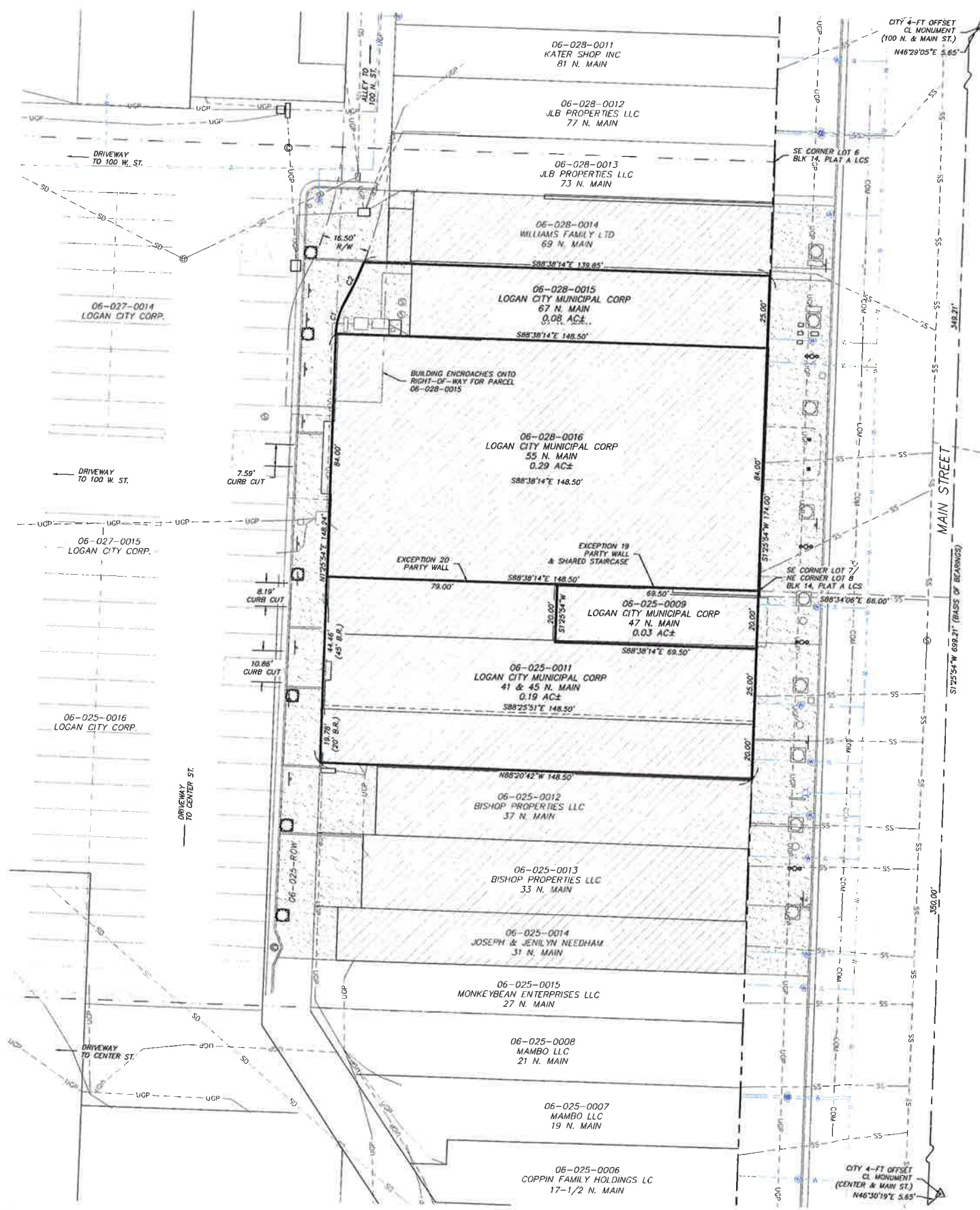
## LEGEND

- △ LOGAN CITY GIS MONUMENT
- FOUND SURVEY MONUMENT
- SET SURVEY MONUMENT
- ⊕ FIRE HYDRANT
- ⊗ SANITARY SEWER MANHOLE
- ⊙ STORM DRAIN MANHOLE
- ⊖ WATER VALVE
- ⊕ WATER METER
- STORM DRAIN BOX
- ⊕ UTILITY POLE
- TRASH RECEPTACLE
- SURVEY CONTROL LINE
- BOUNDARY
- PUBLIC RIGHT-OF-WAY
- STREET CENTERLINE
- EASEMENT LINE
- MINIMUM BUILDING SETBACK
- PARCEL LINE
- EDGE OF ASPHALT
- FENCE
- ▭ ASPHALT
- ▭ CONCRETE
- ▭ BUILDING
- ▭ LANDSCAPE AREA
- OVERHEAD CANOPY
- WATER PIPELINE
- SEWER PIPELINE
- SD — STORM DRAIN PIPELINE
- GAS — NATURAL GAS
- CON — BURIED POWER



VICINITY MAP

CURVE TABLE					
CURVE	LENGTH	RADIUS	Δ	CH. BEARING	CHORD
C1	11.02'	23.80'	26°31'16"	N14°41'32"E	10.92'
C2	15.65'	133.00'	6°44'54"	N24°34'57"E	15.64'



1/14/2021 8:39 AM Z:\2020 PROJECTS\620-2003 LOGAN CITY - EMPORIUM ALTA SURVEY\ACAD SURVEY\BOUNDARY\620-2003 ALTA SURVEY - CURRENT.DWG

SE4 S33 T12N R1E SLM

EMPORIUM & PLAZA 45  
PARCELS 06-025-0009, -0011, 06-028-0015, -0016  
LOGAN, UT 84321

ALTA / NSPS SURVEY  
FOR  
LOGAN CITY



Cache & Landmark  
Engineers  
Surveyors  
Planners  
95 Golf Course Rd.  
Suite 101  
Logan, UT 84321  
435.713.0099

DATE: 14 JANUARY 2021  
SCALE: 1" = 20'  
CALCULATED BY: S. EARL  
CHECKED BY: S. CROOKSTON  
APPROVED BY: S. EARL  
PROJECT NUMBER: 620-2003

# ALTA / NSPS LAND TITLE SURVEY



## TITLE EXCEPTIONS

PARCELS 06-025-0011, 06-028-0015, 06-028-0016  
 TITLE INSURANCE COMMITMENT NUMBER: NT-77216, COMMITMENT DATE: APRIL 8, 2016 AT 7:00AM  
 SCHEDULE B, SECTION 2  
 THE FOLLOWING IS A LIST OF TITLE POLICY EXCEPTIONS PERTINENT TO THIS SURVEY AS THEY APPEAR IN SCHEDULE B - SECTION 2 OF THE ABOVE-REFERENCED TITLE COMMITMENT.

**THE FOLLOWING AFFECT PARCEL 06-025-0011**  
 EXCEPTION 3. REDEVELOPMENT PLAN, VIA ENTRY 467887, RECORDED IN BOOK 332 PAGE 491 ON APRIL 2, 1984. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 4. RESOLUTION, VIA ENTRY 553645, RECORDED IN BOOK 514 PAGE 313 ON JANUARY 24, 1992. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 6. CERTIFICATE OF DECISION, VIA ENTRY 653378, RECORDED IN BOOK 731 PAGE 874 ON JANUARY 7, 1997. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 7. MEMORANDUM OF AGREEMENT, VIA ENTRY 764976, RECORDED IN BOOK 1022 PAGE 932 ON JULY 11, 2001. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 8. MEMORANDUM OF AGREEMENT TO COMMUNICATIONS SITE LEASE AGREEMENT, VIA ENTRY 981430, RECORDED IN BOOK 1495 PAGE 1616 ON DECEMBER 24, 2007. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 9. CERTIFICATE OF DECISION, VIA ENTRY 774521, RECORDED IN BOOK 1056 PAGE 243 ON NOVEMBER 16, 2001. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 10. DOWNTOWN REDEVELOPMENT PROJECT, VIA ENTRY 845076, RECORDED IN BOOK 1268 PAGE 1647 ON OCTOBER 29, 2003. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 11. ADOPTION OF AMENDED DOWNTOWN REDEVELOPMENT PROJECT AREA, VIA ENTRY 988472, RECORDED IN BOOK 1550 PAGE 1382 ON JANUARY 27, 2009. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 12. FINANCE STATEMENT, VIA ENTRY 881076, RECORDED IN BOOK 1336 PAGE 213 ON JANUARY 11, 2005. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 13. CONTINUATION OF FINANCE STATEMENT, VIA ENTRY 1002710, RECORDED IN BOOK 1583 PAGE 237 ON JULY 18, 2009. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 14. LESSOR'S AGREEMENT, VIA ENTRY 891180, RECORDED IN BOOK 1354 PAGE 840 ON MAY 26, 2005. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 15. DEED OF TRUST, VIA ENTRY 981021, RECORDED IN BOOK 1535 PAGE 1781 ON SEPTEMBER 25, 2006. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 16. DEED OF TRUST, VIA ENTRY 660708, RECORDED IN BOOK 749 PAGE 605 ON MAY 19, 1997. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 SUBORDINATION AGREEMENT, VIA ENTRY 981022, RECORDED IN BOOK 1535 PAGE 1784 ON SEPTEMBER 25, 2006. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.

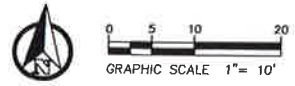
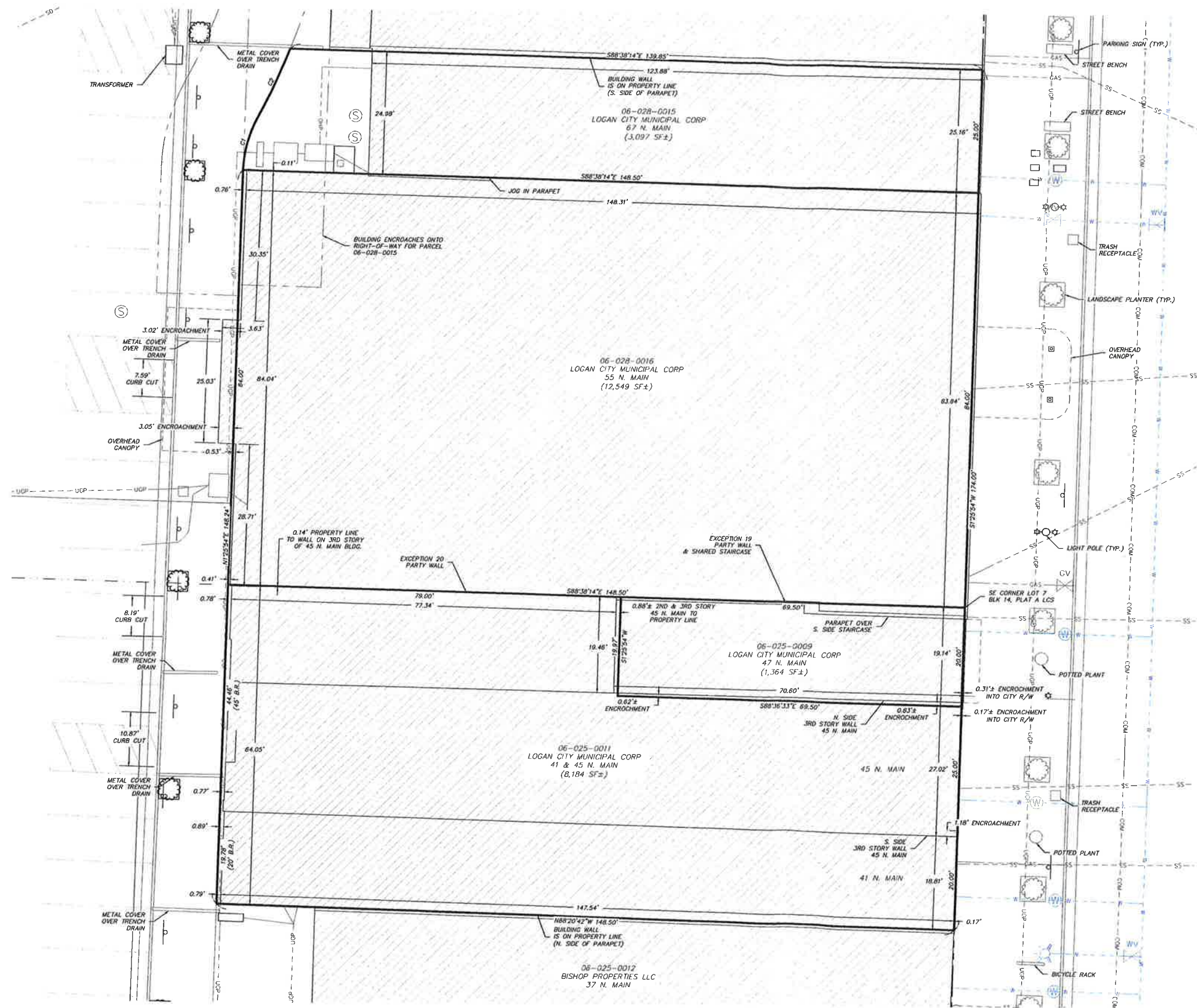
**THE FOLLOWING AFFECT PARCEL 06-028-0016**  
 EXCEPTION 19. PARTY WALL AGREEMENT, VIA ENTRY 194756, RECORDED IN BOOK 16 PAGE 389 ON APRIL 14, 1942. SURVEY FINDINGS: AFFECTS WALL, STAIRWAY AND FLUES BETWEEN 06-025-0009 AND 06-028-0016. PARAPET WALL ALONG SOUTH AND WEST SIDE OF STAIRWAY AS PLATTED HEREON.  
 EXCEPTION 20. PARTY WALL AGREEMENT, VIA ENTRY 194757, RECORDED IN BOOK 16 PAGE 391 ON APRIL 14, 1942. SURVEY FINDINGS: AFFECTS WALL BETWEEN 06-025-0011 AND 06-028-0016. AS PLATTED.

**THE FOLLOWING AFFECT PARCELS 06-025-0011 AND 06-028-0016**  
 EXCEPTION 21. REDEVELOPMENT PLAN, VIA ENTRY 467887, RECORDED IN BOOK 332 PAGE 491 ON APRIL 2, 1984. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 22. RESOLUTION, VIA ENTRY 553645, RECORDED IN BOOK 514 PAGE 313 ON JANUARY 24, 1992. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 23. DEED OF TRUST, VIA ENTRY 660708, RECORDED IN BOOK 749 PAGE 605 ON MAY 19, 1997. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 24. MEMORANDUM OF AGREEMENT, VIA ENTRY 764976, RECORDED IN BOOK 1022 PAGE 932 ON JULY 11, 2001. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 25. MEMORANDUM OF AGREEMENT TO COMMUNICATIONS SITE LEASE AGREEMENT, VIA ENTRY 981430, RECORDED IN BOOK 1495 PAGE 1616 ON DECEMBER 24, 2007. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 26. DOWNTOWN REDEVELOPMENT PROJECT, VIA ENTRY 845076, RECORDED IN BOOK 1268 PAGE 1647 ON OCTOBER 29, 2003. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 27. ADOPTION OF AMENDED DOWNTOWN REDEVELOPMENT PROJECT AREA, VIA ENTRY 988472, RECORDED IN BOOK 1550 PAGE 1382 ON JANUARY 27, 2009. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 28. CERTIFICATE OF APPROPRIATENESS, VIA ENTRY 957548, RECORDED IN BOOK 1488 PAGE 248 ON OCTOBER 25, 2007. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.

**THE FOLLOWING AFFECT PARCELS 06-025-0011 AND 06-028-0016**  
 EXCEPTION 29. DEED OF TRUST, VIA ENTRY 1027866, RECORDED IN BOOK 1633 PAGE 1554 ON AUGUST 30, 2010. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.

**THE FOLLOWING AFFECT PARCEL 06-025-0009**  
 TITLE INSURANCE COMMITMENT NUMBER: NT-91346, COMMITMENT DATE: FEBRUARY 4, 2019 AT 8:00AM  
 SCHEDULE B, SECTION 2  
 THE FOLLOWING IS A LIST OF TITLE POLICY EXCEPTIONS PERTINENT TO THIS SURVEY AS THEY APPEAR IN SCHEDULE B - SECTION 2 OF THE ABOVE-REFERENCED TITLE COMMITMENT.

EXCEPTION 3. REDEVELOPMENT PLAN, VIA ENTRY 467887, RECORDED IN BOOK 332 PAGE 491 ON APRIL 2, 1984. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 4. RESOLUTION, VIA ENTRY 553645, RECORDED IN BOOK 514 PAGE 313 ON JANUARY 24, 1992. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 6. DOWNTOWN REDEVELOPMENT PROJECT, VIA ENTRY 845076, RECORDED IN BOOK 1268 PAGE 1647 ON OCTOBER 29, 2003. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.  
 EXCEPTION 7. ADOPTION OF AMENDED DOWNTOWN REDEVELOPMENT PROJECT AREA, VIA ENTRY 988472, RECORDED IN BOOK 1550 PAGE 1382 ON JANUARY 27, 2009. SURVEY FINDINGS: AFFECTS. NOT PLATTED. BLANKET IN NATURE.



1/14/2021 8:53 AM Z:\2020 PROJECTS\620-2003 LOGAN CITY - EMPORIUM ALTA SURVEY\ACAD SURVEY\BOUNDARY\620-2003 BUILDING DETAIL (CURRENT).DWG

SE4 S33 T12N R1E SLM

BUILDING DETAIL

ALTA / NSPS SURVEY FOR LOGAN CITY

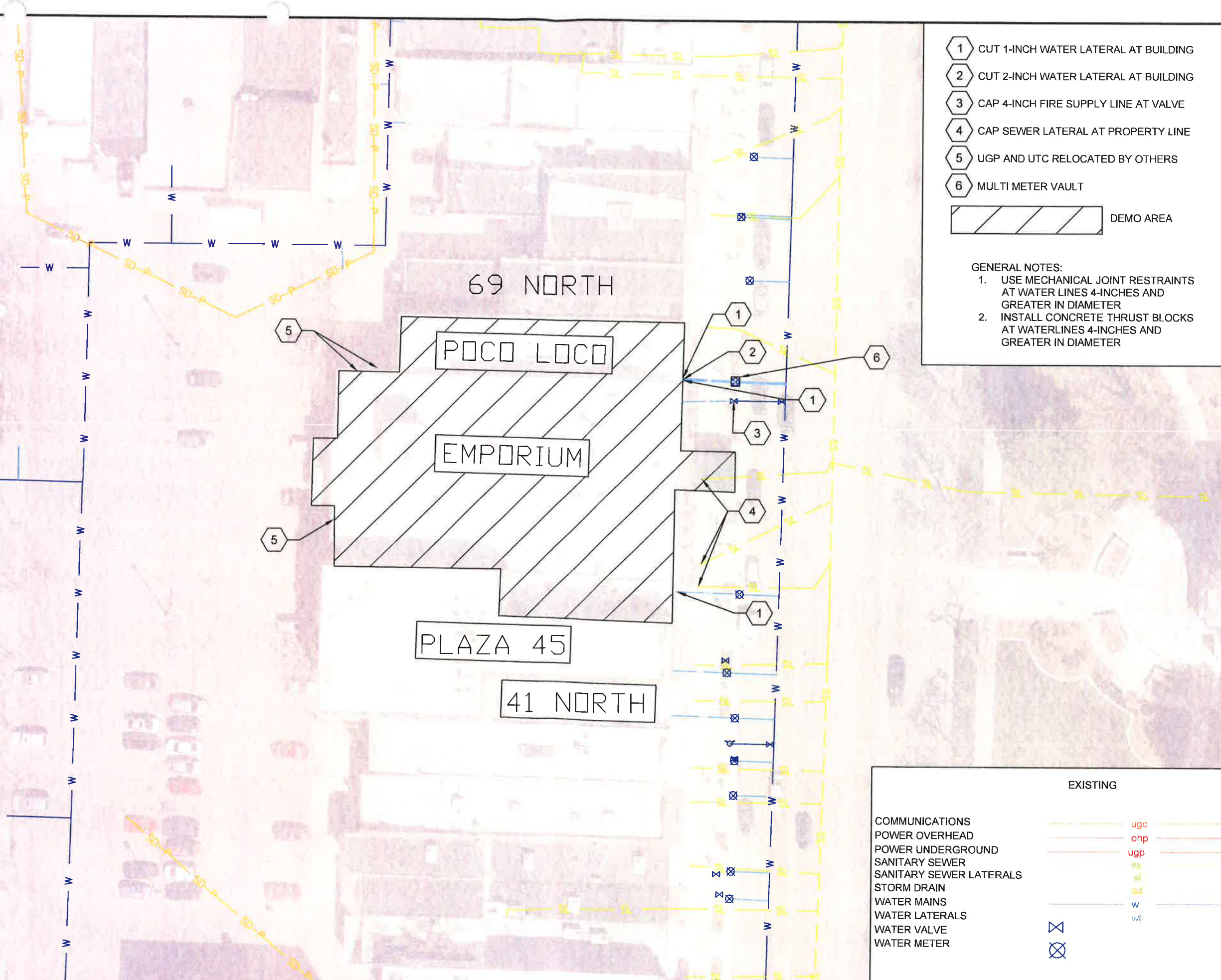
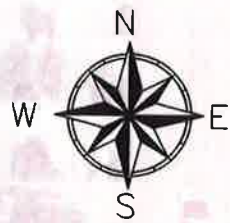
SHEET DESCRIPTION:

Cache & Landmark  
 Engineers  
 Surveyors  
 Planners

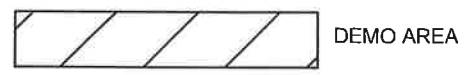
95 Golf Course Rd.  
 Suite 101  
 Logan, UT 84321  
 435.713.0099

DATE: 14 JANUARY 2021  
 SCALE: 1" = 10'  
 CALCULATED BY: S. EARL  
 CHECKED BY: S. CROOKSTON  
 APPROVED BY: S. EARL  
 PROJECT NUMBER: 620-2003

2 / 2



- 1 CUT 1-INCH WATER LATERAL AT BUILDING
- 2 CUT 2-INCH WATER LATERAL AT BUILDING
- 3 CAP 4-INCH FIRE SUPPLY LINE AT VALVE
- 4 CAP SEWER LATERAL AT PROPERTY LINE
- 5 UGP AND UTC RELOCATED BY OTHERS
- 6 MULTI METER VAULT



GENERAL NOTES:  
 1. USE MECHANICAL JOINT RESTRAINTS AT WATER LINES 4-INCHES AND GREATER IN DIAMETER  
 2. INSTALL CONCRETE THRUST BLOCKS AT WATERLINES 4-INCHES AND GREATER IN DIAMETER

EXISTING	
COMMUNICATIONS	ugc
POWER OVERHEAD	ohp
POWER UNDERGROUND	ugp
SANITARY SEWER	ss
SANITARY SEWER LATERALS	ssl
STORM DRAIN	sd
WATER MAINS	w
WATER LATERALS	wl
WATER VALVE	
WATER METER	

 LOGAN CITY ENGINEERING 290 NORTH 100 WEST LOGAN, UTAH 84321	<b>EMPORIUM BUILDING DEMOLITION</b>  <b>UTILITY SHEET</b>	SHEET NO: <b>UT-01</b>	 0' 15' 40' 1" = 40' SCALE
DESIGNED: _____ DRAFTER: TUCKERSON CHECKED: _____	DATE: 29-Jan-21 ENG #: ENG18008	REVISION BLOCK: BIDDING	