



**Project #21-017  
Aggie Estates  
626 East 800 North**

**REPORT SUMMARY...**

*Project Name:* Aggie Estates  
*Proponent / Owner:* Jordan Leishman, Aggie Estates LLC  
*Project Address:* 626 East 800 North  
*Request:* Design Review Permit  
*Current Zoning:* Campus Residential (CR)  
*Type of Action:* Quasi-Judicial  
*Hearing Date:* April 22, 2021  
*Submitted By:* Tanya Rice, Planner II

**RECOMMENDATION**

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #21-017, Aggie Estates, in the Campus Residential (CR) zone located at approximately 626 East 800 North, TIN #05-039-0017.

*Current Land use adjoining the subject property*

<i>North:</i>	CR: Residential Uses	<i>East:</i>	CR: Residential Uses
<i>South:</i>	CR: Residential Uses	<i>West:</i>	CR: Residential Uses

***Project Proposal***

This proposal includes the demolition of two (2) residential structures and the construction of one (1) new multi-family student housing structure on 0.25 acres. The proposed three-story building has six (6) 3-story dwelling units. Each unit will have four bedrooms for a total of 24 bedrooms. The proposal includes a four-car garage on the ground floor of each unit and landscaping areas throughout the site. The property is accessed by one entrance on 800 North.

***Land Use & Density***

The Land Development Code (LDC) 17.07.110 permits residential density at no more than 40 dwelling units per acre or no more than 240 occupants per acre in the CR zone. Up to six (6) occupants per dwelling unit (no more than two (2) per bedroom) may be permitted in the CR zone. The .25-acre site proposed with six (6) units would have the density of 23 units per acre. As proposed the project meets maximum density in the LDC.

***Setbacks***

The Land Development Code (LDC) requirements for setbacks in the CR zone are as follows (as measured from property lines):

Front: 10'  
Side: 8'  
Rear: 10'  
Parking (front): 10'  
Parking (side/rear): 5'

The following setbacks are proposed (as measured from property lines):

Front (north): 10'  
Side (east): 10'  
Side (west): 20'  
Rear (south): 10'  
Parking (front): NA

Parking (side/rear): NA

As proposed, setbacks meet the requirements in the LDC.

### ***Lot Coverage & Building Frontage***

The LDC 17.7.110 establishes a maximum lot coverage of 60% (building(s) footprint in relation to overall lot size) and a minimum building frontage of 75% (percentage of building width to overall lot width at front setback) in the CR zone. The submitted project shows a lot coverage of 47% and a building frontage of 56%. As submitted the lot coverage complies with the LDC but the frontage is about 20% below the minimum. With the subject property being long and narrow (approximately 75' x 148.6'), staff finds the proposed reduced frontage appropriate for the shape and size of the lot. The Planning Commission will need to determine if reduced building frontage along 800 North is considered justified as per LDC 17.43.080I in this circumstance. If the Planning Commission determines that the proposed frontage is justified, the project meets the lot coverage and building frontage requirements in the LDC.

### ***Parking Requirements***

The LDC 17.07.110 requires 1 parking stall per occupant in the CR zone. The project plans show that there will be 24 beds and 24 parking places (tandem stalls allowing 4 stalls in each of the 6 garages), meeting the minimum parking requirement. The LDC 17.31.040 requires bike parking for multi-family student housing projects. For a project of this size, bike racks would need to accommodate 12 bicycles. As proposed, with tandem parking approved with 4 stalls in each garage, the project meets the auto and bike parking requirements in the LDC.

### ***Building Design, Site Layout & Pedestrian Circulation***

The LDC 17.09.040 requires multi-family buildings to have minimum variations, interesting façade design, a mix of materials and articulation for aesthetically pleasing projects. The code requires building orientation that creates inviting architecture from the adjacent street, surface parking lots located in subordinate locations and prominent and convenient pedestrian circulation for better walkability. The proposed project shows the side of the building facing 800 North, front doors facades oriented towards to the side of the property (east) with convenient sidewalk connections to 800 North, acceptable façade design and generous articulation. The code does allow deviations in building orientation when it is considered impractical to orient the building to the street if mitigating actions like strategic landscaping and inviting articulations are proposed. The Planning Commission will need to determine if the building orientation towards the street is considered justified in this circumstance. If the Planning Commission determines proposed building orientation is justified, the project meets the building design, site layout and pedestrian circulations requirements in the LDC.

### ***Building Heights***

With the exception of properties located adjacent to NR zoning, the CR zone allows building heights up to 55'. This site is not adjacent to NR zones and would be allowed full building height allowances. Proposed building height is 39' and in compliance with the LDC as proposed.

### ***Open Space***

The LDC 17.07.110 requires 20% open space and an additional 10% useable outdoor space in the CR zone. The LDC 17.35 generally describes open space as vegetation or landscaped areas, while useable outdoor space is typically decks, patios and other similar outdoor amenities. The 0.25-acre property would be required 2,285 SF of open space and 1,124 SF of usable outdoor space for a combined total 3,409 SF of open area. The proposed conceptual landscape plan shows approximately 3,900 SF of open area meeting the requirement in the LDC.

### ***Landscaping***

The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC

requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land for multi-family residential projects. As conditioned with a detailed landscaping plan meeting minimum open space area and plant numbers, the project complies with the LDC.

### **Lighting**

The LDC 17.37.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

### **AGENCY AND CITY DEPARTMENT COMMENTS**

Comments were solicited from the following departments or agencies:

• Fire	• Water
• Engineering	

### **PUBLIC COMMENTS**

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

### **PUBLIC NOTIFICATION**

Legal notices were published in the Herald Journal on 4/10/21, posted on the City's website and the Utah Public Meeting website on 4/10/21, and mailed to property owners within 300 feet on 4/5/21.

### **RECOMMENDED CONDITIONS OF APPROVAL**

*This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.*

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. This permit authorizes 6 apartments and a total of 24 bedrooms. In no case shall occupancy exceed more than four (4) individuals per apartment or one individual (1) per bedroom based on the parking provided.
3. A performance landscaping plan, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
  - a) Open Space and Useable Outdoor areas shall total a minimum of 3,409 SF.
  - b) For the CR zone, at least 20 trees and 50 shrubs/perennials per acre of project area shall be provided.
  - c) Additional landscaping to mitigate the side building orientation along the frontage of 800 N.
  - d) Street trees shall be provided where they currently do not exist at every 30 feet on center along 800 North.
4. All trash receptacles shall be visually screened or buffered from public streets.
5. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
6. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
7. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
8. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.

9. Surface storm-water retention and detention facilities shall be located in areas away from public streets and buffered from view.
10. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
  - a. *Environmental—contact 716-9153*
    - Residential carts will be provided. Residents will need to pull their cans out to 800 N for collection
  - b. *Engineering —contact 716-9160*
    - Provide storm water detention/retention per Logan City Standards.
    - Provide water shares or in-lieu fee for water share increase for new development
    - Existing sewer and water services shall be capped at City utility main unless being reused for new development
    - Provide fixture count analysis and flows to determine if existing 1" meter is capable of supporting 6-residential units. Most likely the 1" meter will need to be upsized to a 2" meter for indoor use. The existing 1" meter could be used for irrigation only.
    - If a fire line is required by the Fire Marshall, provide City with Private Water Utility Agreement
    - New sewer line not shown on Site Plan, must be sized for maximum flow from units and cannot be located under the proposed stormwater system.
  - c. *Water —contact 716-9627*
    - All three-story tall (above finish grade) residential buildings must have a minimum DC (ASSE1015) installed and tested on the water main/s as it/they enters the building/s before any branch offs or possible connections.
    - All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. No dual source feed systems ever allowed to be connected together at any given time. Logan Cities prior approval is needed for a "swing joint system".
    - Installation criteria is a tested RP assembly & swing joint. This must be inspected and passed by Logan City's backflow inspector and passed. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
    - Fire suppression systems that are connected to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
    - All points of use of water must comply with the 2018 IPC and State of Utah Amendments and the UAC 309-305 during and after construction.
    - Project shall comply with all current plumbing codes, Utah State Amendments, Utah Division of Drinking Water rules and regulations including, but not limited to, those pertaining to backflow protection and cross connection prevention.

#### **RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT**

*The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:*

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, site layout, materials, landscaping, and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project provides required off-street parking.
4. The project meets the goals and objectives of the CR designation within the Logan General Plan by providing student housing near the University.
5. The proposed project complies with maximum height, density and building design, open

space standards and is in conformance with Title 17.

6. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
7. 800 North provides access and is adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.



# APPLICATION FOR PROJECT REVIEW

☒ Planning Commission    ☐ Land Use Appeal Board    ☐ Administrative Review

Date Received <b>3-22-21</b>	Received By	Scheduled Meeting Date <b>Apr. 22</b>	Zone	Application Number <b>PC 21-017</b>
<p style="text-align: center;">Type of Application (<u>Check all that apply</u>):</p> <div style="display: flex; flex-wrap: wrap;"> <div style="width: 50%;"><input checked="" type="checkbox"/> Design Review</div> <div style="width: 50%;"><input type="checkbox"/> Conditional Use</div> <div style="width: 50%;"><input type="checkbox"/> Subdivision</div> <div style="width: 50%;"><input type="checkbox"/> Zone Change</div> <div style="width: 50%;"><input type="checkbox"/> Code Amendment</div> <div style="width: 50%;"><input type="checkbox"/> Appeal</div> <div style="width: 50%;"><input type="checkbox"/> Other</div> <div style="width: 50%;"><input type="checkbox"/> Administrative Design Review</div> </div>				
PROJECT NAME <b>Aggie Estates</b>				
PROJECT ADDRESS <b>626 E 800 N Logan, UT 84321</b>			COUNTY PLAT TAX ID # <b>05-039-0017</b>	
AUTHORIZED AGENT FOR PROPERTY OWNER ( <u>Must</u> be accurate and complete)			MAIN PHONE #	
MAILING ADDRESS		CITY	STATE	ZIP
EMAIL ADDRESS				
PROPERTY OWNER OF RECORD ( <u>Must</u> be listed) <b>Aggie Estates LLC (Jordan Leishman)</b>			MAIN PHONE # <b>(435)770-6911</b>	
MAILING ADDRESS		CITY	STATE	ZIP
<b>PO Box 755</b>		<b>Millville</b>	<b>Utah</b>	<b>84326</b>
EMAIL ADDRESS <b>jordleishman@gmail.com</b>				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed)  <b>6 new student Housing units.</b>			Total Lot Size (acres) <b>.258</b>	
			Size of Proposed New Building (square feet) <b>11,026 SF</b>	
			Number of Proposed New Units/Lots <b>6</b>	
			- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.			Signature of Property Owner's Authorized Agent	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner 	





# Project Proposal

Prepared for: Logan City

Prepared by: Jordan Leishman

March 22, 2021

## Project Description

I am proposing the demotion of the existing older home at 626 E 800 N Logan, UT 84321 (Parcel ID 05-039-0017) in the campus residential zone and the building of the following 6 unit town home project designed for student housing.

The proposed new project will be built on .258 acres

Total Square Footage: 11,026

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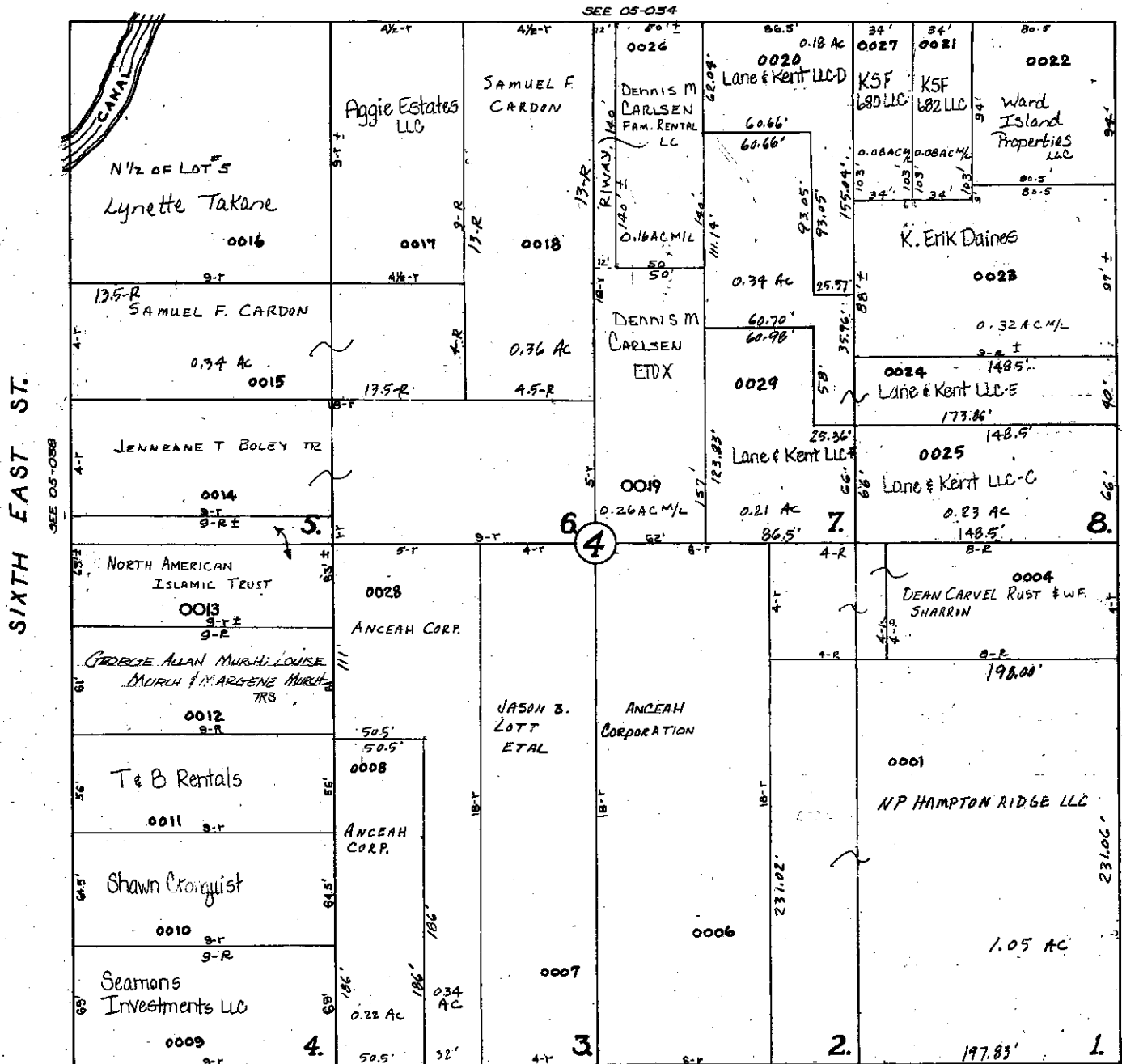
SE<sup>4</sup> Section 27 Township 12 North, Range 1 East

*Scale 1 Inch = 50 Feet*

TAX UNIT 27

BLOCK 4, PLAT "E" LOGAN CITY

EIGHTH NORTH ST.



SEVENTH NORTH ST.

SEE 06-052











E 800 N

05-039-0016

05-039-0017

05-039-0018

05-039-0026

05-039-0024

05-039-0020

05-039-0015

05-039-0019

05-039-0029







Scale: 1" = 10'  
10' 20'

#### LEGEND

- Primary Boundary Line
- Secondary Boundary Line
- Other property Line
- Fence Line
- Existing Water
- Existing Storm Sewer
- Existing Power
- Existing Edge of Asphalt
- Existing Power Pole
- Existing Tels Box
- Existing Fire Hydrant
- Section Corner
- Street Monument
- Found Survey Point
- Set 5/8" by 24" Rebar with Cap

Know what's below.  
Call 800 before you dig.

BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER, INC.  
www.bluestakes.org  
1-800-662-4111

NOTE:  
This survey shows visible  
improvements and improvements  
that were provided by Logan City.  
There are other utilities within the  
area that are not shown herein.

#### NARRATIVE

The purpose of this survey was to establish and set the property corners of the parcel as shown and described herein. The survey was ordered by Jordan Leishman. The control used to establish the property corners was the existing Logan City Survey Southeast Quarter of Section 27, Township 12 North, Range 1 East, Salt Lake Base & Meridian. The basis of bearing is a line from Logan G5 Monument Number 228 to Number 225, which bears North 01°53'09" East Utah Coordinate System 1983 North Zone.

#### Parcel A

##### AS-SURVEYED BOUNDARY

A Part of the Southeast Quarter of Section 27, Township 12 North, Range 1 East of the Salt Lake Base and Meridian and a Part of Lot 6, Block 4, Plat 1 of the Logan City Survey.

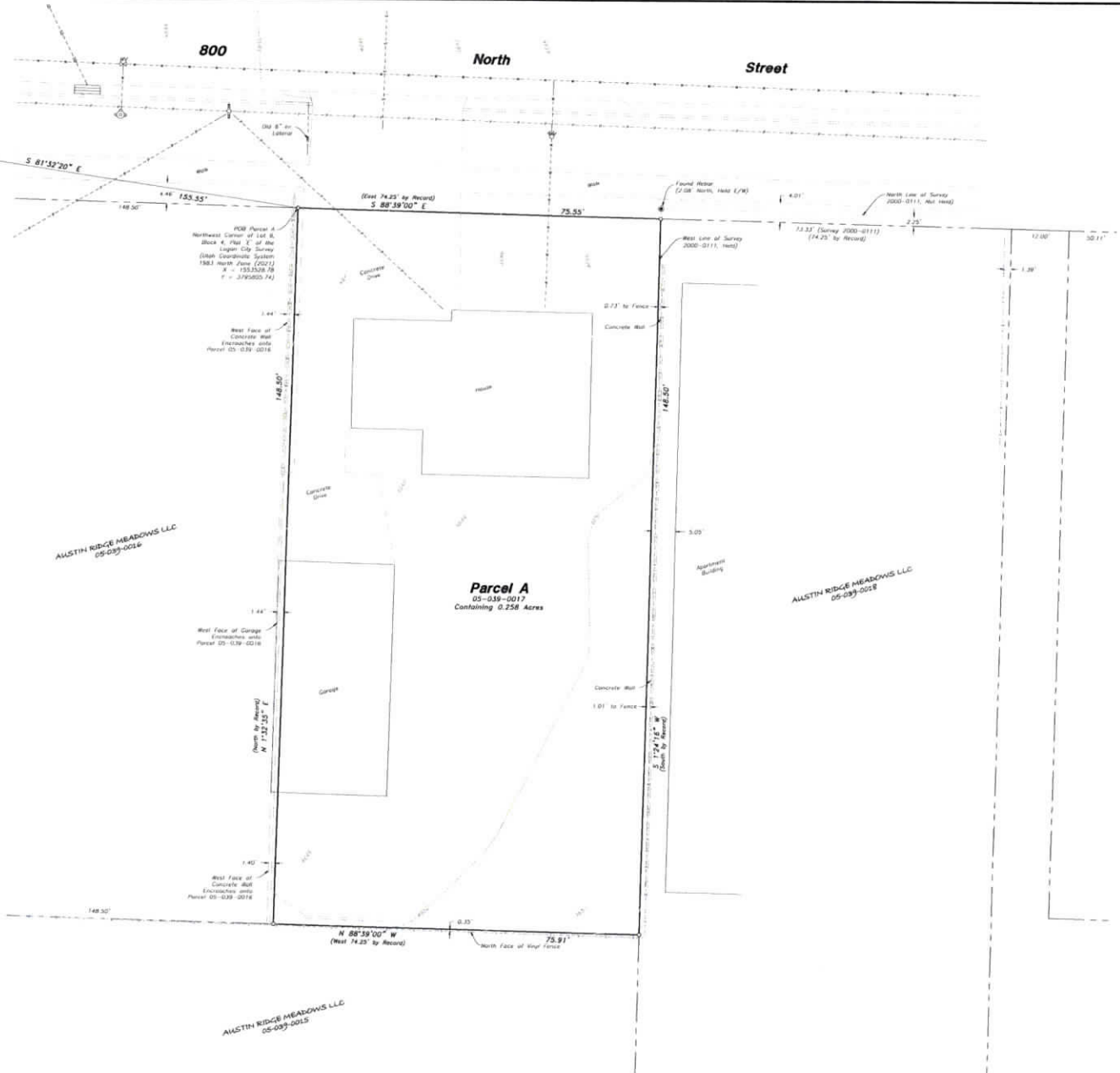
Beginning at the Northwest Corner of said Lot 6 and RUNNING THENCE South 88°39'00" East 75.55 Feet (East 74.25 Feet by Record) Along the North Line of said Lot 6 to the West Line of Survey Record 2000-0111; Thence South 01°24'16" West (South by Record) 146.50 Feet; Thence North 88°39'00" West 75.51 Feet (West 74.25 Feet by Record) to the West Line of said Lot 6; Thence North 01°32'35" East (North by Record) 146.50 Feet to the Point of Beginning. Containing 0.258 Acres.

#### SURVEY CERTIFICATE

I, Clinton G. Hansen, do hereby certify that I am a Registered Land Surveyor, and that I hold Certificate No. 788136 as prescribed by the Laws of the State of Utah, and that I have made and/or Supervised the survey of the property shown and described herein, and that this plat is a true and correct representation of said survey to the best of my knowledge and belief.



March 5, 2021  
Date



Property/Topographic Survey for  
**Jordan Leishman**

808 East 800 North  
Logan, Utah 84301  
A Part of the Southeast Quarter of Section 27,  
Township 12 North, Range 1 East, S.L.B.M.

Job Number: 21-115  
Drawn By: CGL  
Date: 3/4/21  
Scale: 1"=10'  
File: 21-115.DWG

Revision  
No. Date By

# MEMORANDUM



To: Bill Young, City Engineer  
Craig Humphries, Fire Marshall  
File

From: Joe Hawkes, P.E.  
450 N 1000 W  
Logan, UT 84321

Date: March 15, 2021

RE: 626 E 800 N Jordan's Place – Fire Flow Analysis

Logan City has developed a calibrated water model that is used to evaluate the ability to deliver water in accordance to Utah State Code (R309-105-9. Minimum Water Pressure). In accordance with these rules, we are required to meet the following requirements for new development:

1. Pressures not less than 20 psi during conditions of fire flow and fire demand experienced during peak day demand.
2. Pressures not less than 30 psi during peak instantaneous demand (without fire flows)
3. Pressures not less than 40 psi during peak day demand (without fire flows)
4. The addition of new development cannot reduce the residual pressure at any service connection in the system to below 20 psi under any conditions.

Table 1 summarizes our peaking factors and demands for the referenced project used in the impact evaluation.

**Table 1 - Summary of Model Parameters**

Description	Value	Source
Peak Day Factor	1.8	Culinary Water System Master Plan (CWSMP), April 2007, pg 2-9.
Peak Hour	2.4	CWSMP, April 2007, pg 2-9.
Instantaneous Peak Factor	3.5	Review of system wide SCADA.
Lowest Water Demand Factor	0.5	Review of system wide SCADA
Fire Flow Required	2,000 gpm	Estimated (Actual per IFC Table B105.1)
Water Demand of Project	(not provided)	Estimated Average Day

The evaluation assumes that all of the flows come directly off of the existing City water system at the given locations. This evaluation does not include any losses in hydrant lines, service lines, fire lines, private lines, or any piping other than the City's distribution system.

## Results

Tables 2 through 3 summarize the modeled results at the identified fire hydrants.



**Table 2 - Results at Hydrant FH02222 at 614 E 800 N**

Condition (@ J17942)	Flow (gpm)	Pressure (psi)
Peak Day	NA	94 (static)
Fire Flows*	2,000	87
Maximum Available Flows	7,036	20

\* Fire flows are additive with Peak Day flows for total flow at the farthest point affecting the proposed development. Negative pressures represent a flow that is not possible under the analyzed conditions.

**Table 3 - Results at Hydrant FH02229 at 653 E 800 N**

Condition (@ J67414)	Flow (gpm)	Pressure (psi)
Peak Day	NA	91 (static)
Fire Flows*	2,000	70
Maximum Available Flows	3,814	20

\* Fire flows are additive with Peak Day flows for total flow at the farthest point affecting the proposed development. Negative pressures represent a flow that is not possible under the analyzed conditions.

Tables 4 through 5 summarize the modeled results available at the waterlines.

**Table 4 - Results at Existing 8" Waterline at 614 E 800 N**

Condition (@ J17944)	Flow (gpm)	Pressure (psi)
Peak Day	NA	96 (static)
Fire Flows*	2,000	90
Maximum Available Flows	8,356	20

\* Fire flows are additive with Peak Day flows for total flow at the farthest point affecting the proposed development. Negative pressures represent a flow that is not possible under the analyzed conditions.

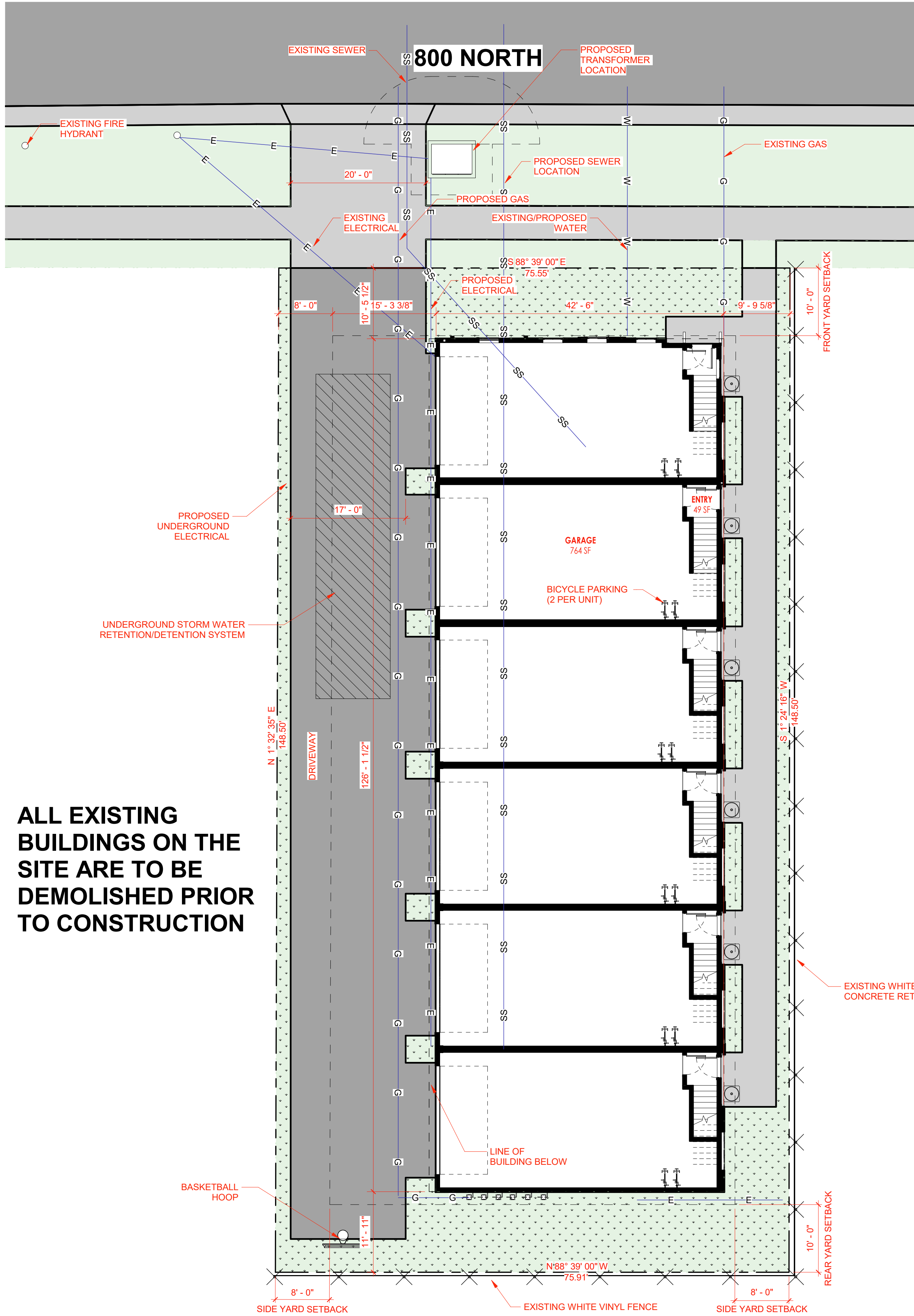
**Table 5 - Results at Existing 8" Waterline at 653 E 800 N**

Condition (@ J18278)	Flow (gpm)	Pressure (psi)
Peak Day	NA	91 (static)
Fire Flows*	2,000	78
Maximum Available Flows	4,969	20

\* Fire flows are additive with Peak Day flows for total flow at the farthest point affecting the proposed development. Negative pressures represent a flow that is not possible under the analyzed conditions.

This information provides three points from which the developer's consultant can create a pressure versus flow curve to match the actual values. The actual design fire flow must be obtained from the Fire Marshall prior to completing the hydraulic analysis. Figure 1 shows the locations of this fire flow analysis.





ALL EXISTING BUILDINGS ON THE SITE ARE TO BE DEMOLISHED PRIOR TO CONSTRUCTION

1 SITE PLAN.  
1" = 10'-0"

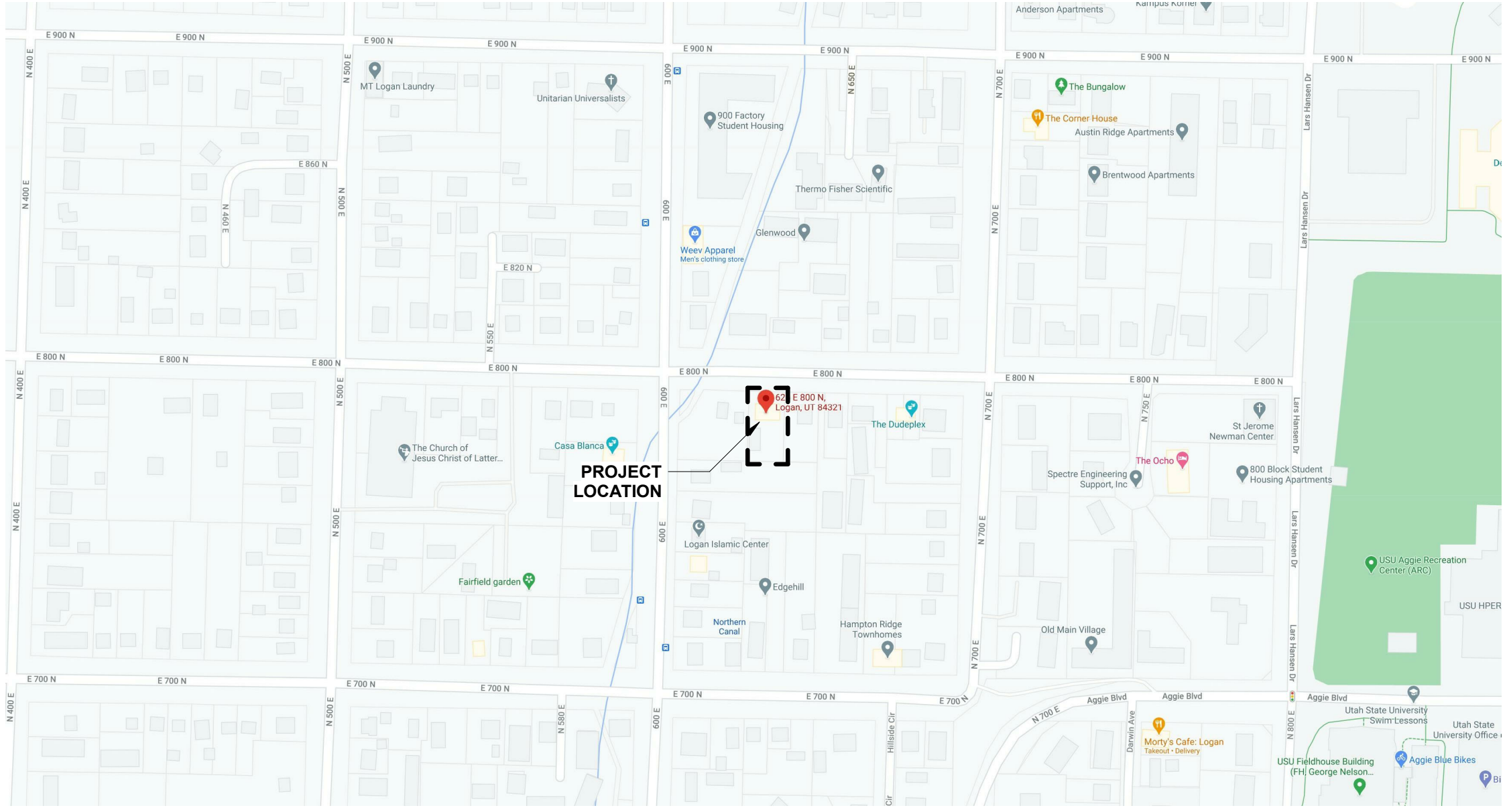
### SITE LEGEND

**SITE AREA**  
11,245 SF

**OPEN SPACE**  
2,285 SF/11,245 SF = 20.3% (20% MIN)

**USABLE OPEN SPACE**  
1075 SF GREEN SPACE + 540 SF BALCONY / 11,245 SF = 14.4% (10% MIN)

- PROPERTY LINE
- BUILDING OFFSET LINE
- CONCRETE
- ASPHALT
- LANDSCAPING



### ZONING ANALYSIS

ZONE: CR - CAMPUS RESIDENTIAL		
RESIDENTIAL DENSITY UNITS/ACRE	REQUIRED 40 (MAX)	PROPOSED 23 UNITS/ACRE
LOT COVERAGE MAX LOT COVERAGE % OF BLD. WIDTH @ FRONT	60% 75% (MIN)	47% 56% DUE TO FIRE REQ
SETBACKS FRONT SIDE - NON-COMMON WALL REAR	10' 8' 10'	
PARKING REQUIREMENTS STALLS PER OCCUPANT FRONT SETBACK LOCATION SIDE/REAR SETBACK	1 10' REAR/SIDE 5'	1
LAND SET ASIDES OPEN SPACE USEABLE OUTDOOR SPACE	20% 10%	21.8% 15.7%
BUILDING FORM MAX BUILDING HEIGHT	55'	38'-7"
TRANSPARENCY GRND FLR FRONTAGES (STREET FACING)	25% (MIN)	27%

### SHEET INDEX.

- A.001 SITE PLAN
- A.100 FLOOR PLANS
- A.200 ELEVATIONS
- 3 Grand total: 3

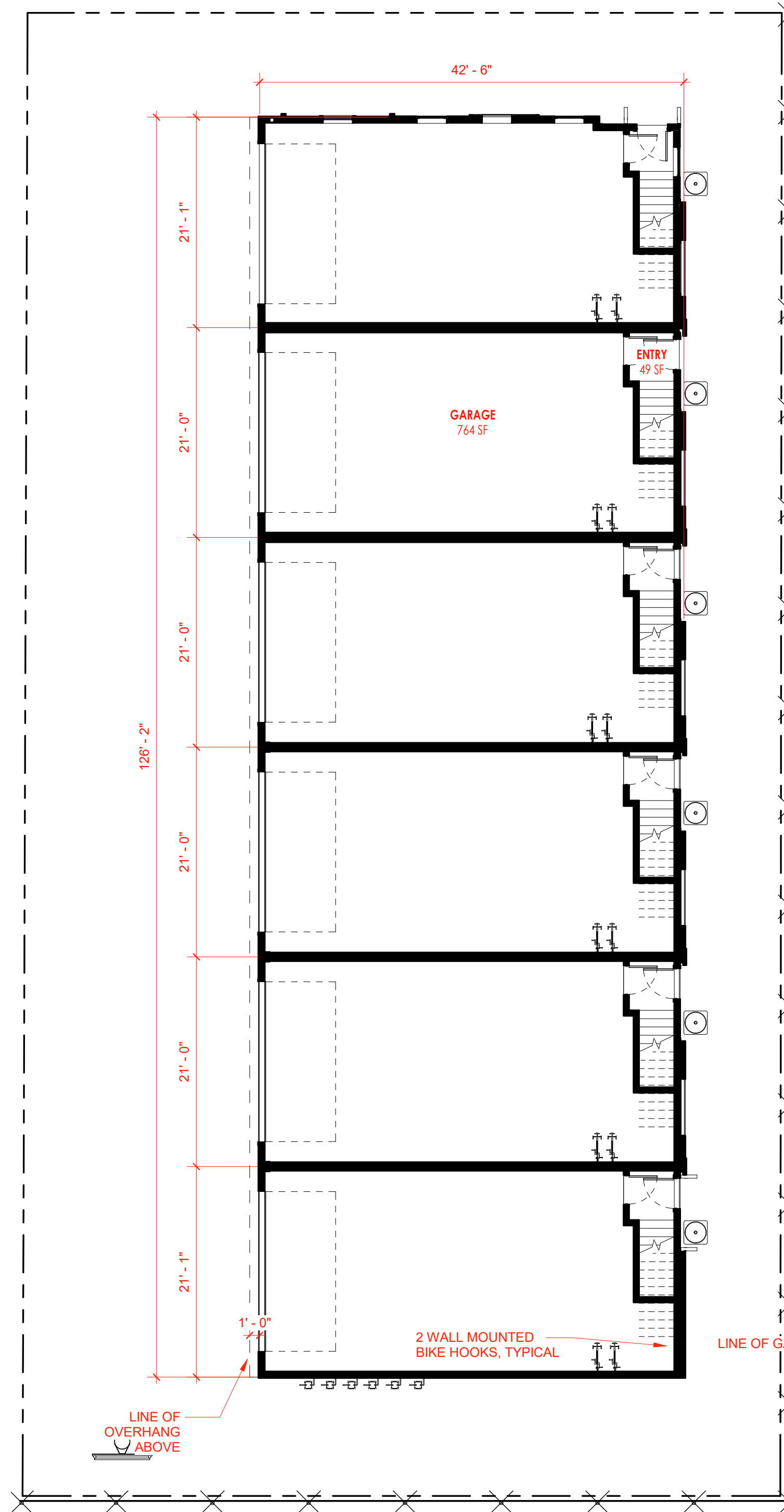
# AGGIE ESTATE

No.	Date	Description
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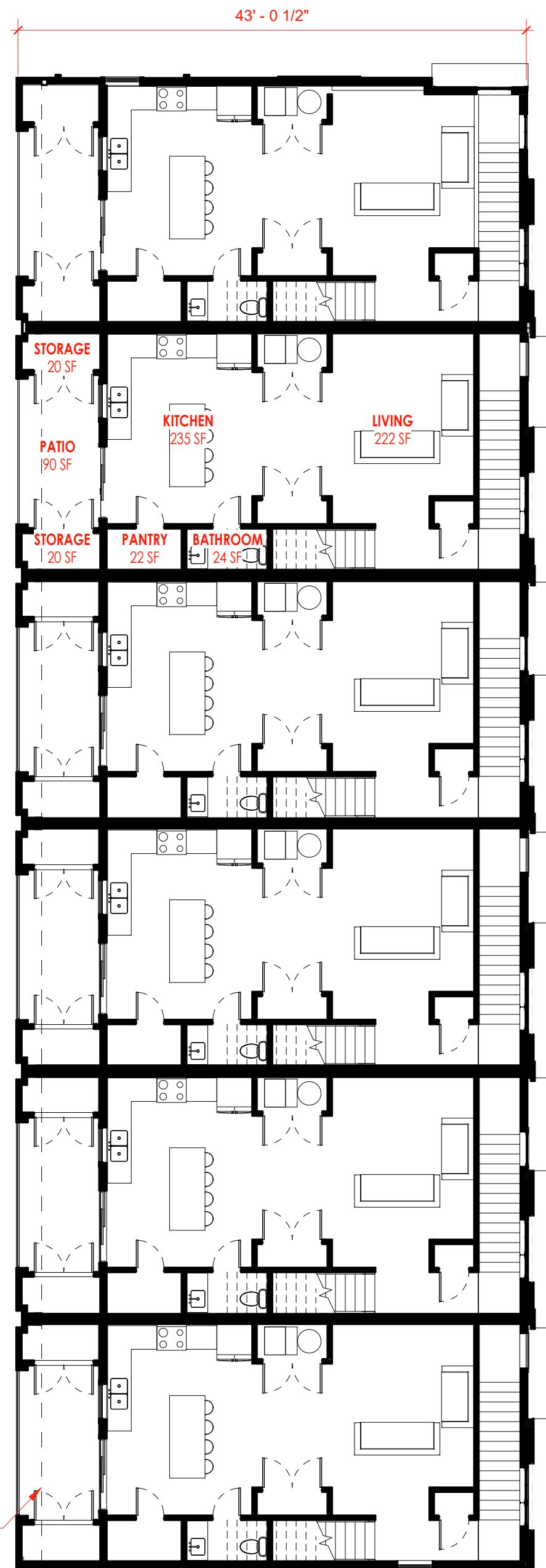
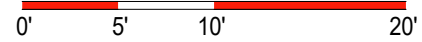
PROFESSIONAL SEAL:

OWNER:	JORDAN LEISHMAN
PROJECT ADDRESS:	626 EAST 800 NORTH LOGAN, UT 84323
ARCH PROJECT #:	16-05
A.C.D.L.:	JDH
PHASE:	DESIGN REVIEW
PUBLISH DATE:	DD MONTH YYYY
SHEET SCALE:	As indicated
SHEET NAME:	SITE PLAN

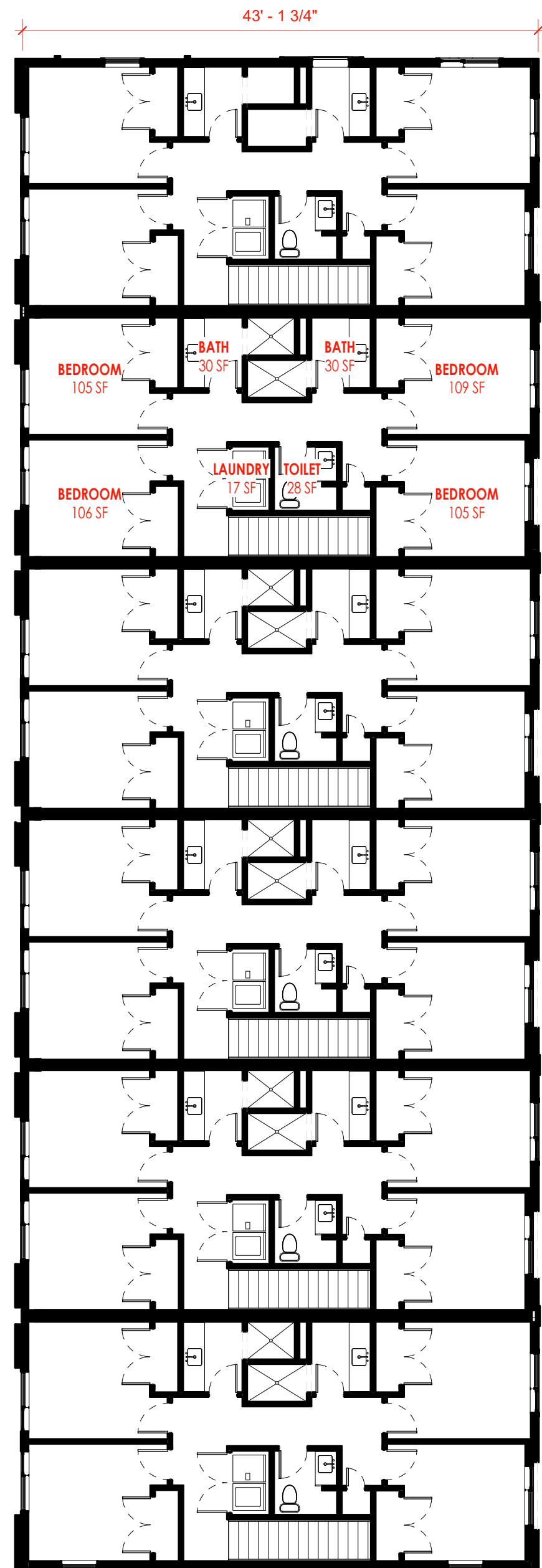
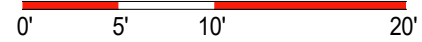




43 LEVEL 1 PLAN.  
1" = 10'-0"



42 LEVEL 2 PLAN.  
1" = 10'-0"



41 LEVEL 3 PLAN.  
1" = 10'-0"



# AGGIE ESTATE

No.	Date	Description
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PROFESSIONAL SEAL

OWNER:	JORDAN LEISHMAN
PROJECT ADDRESS:	626 EAST 800 NORTH LOGAN, UT 84323
ARCH PROJECT #:	16-05
A.C.B.L.:	JDH
PHASE:	DESIGN REVIEW
PUBLISH DATE:	DD MONTH YYYY
SHEET SCALE:	1" = 10'-0"
SHEET NAME:	FLOOR PLANS



1 EAST ELEVATION.  
1/8" = 1'-0"

0' 4' 8' 16'



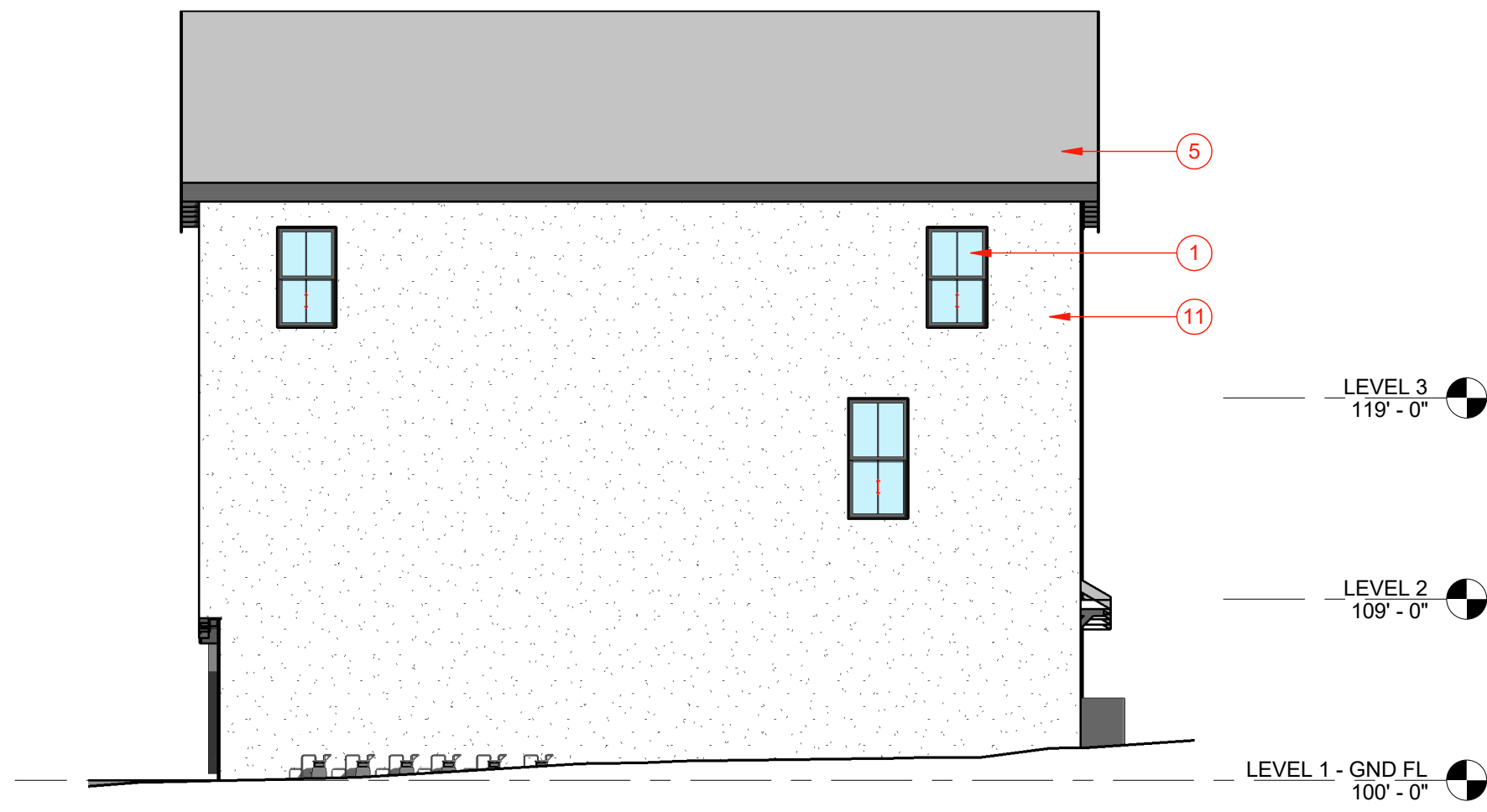
2 WEST ELEVATION.  
1/8" = 1'-0"

0' 4' 8' 16'



3 NORTH ELEVATION.  
1/8" = 1'-0"

0' 4' 8' 16'



4 SOUTH ELEVATION.  
1/8" = 1'-0"

0' 4' 8' 16'

## KEYNOTES

- 1 OPERABLE WINDOW
- 2 WINDOW
- 3 ENTRY DOOR
- 4 GARAGE DOOR
- 5 ASPHALT SHINGLE ROOF
- 6 FIBER CEMENT SIDING - DARK GREY
- 7 FIBER CEMENT SIDING - GREY
- 8 FIBER CEMENT SIDING - WHITE
- 10 STUCCO SIDING SYSTEM - GREY
- 11 STUCCO SIDING SYSTEM - WHITE
- 12 GUARD RAILING

# AGGIE ESTATE

REVISIONS		
No.	Date	Description

PROFESSIONAL SEAL

OWNER:	JORDAN LEISHMAN
PROJECT ADDRESS:	626 EAST 800 NORTH LOGAN, UT 84323
ARCH PROJECT #:	16-05
A.C.R.L.:	JDH
PHASE:	DESIGN REVIEW
PUBLISH DATE:	DD MONTH YYYY
SHEET SCALE:	1/8" = 1'-0"
SHEET NAME:	ELEVATIONS

SHEET NUMBER:

**A.200**

DIVELEPT DESIGN LLC ©2020

4/12/2021 11:50:03 AM