

Project #21-016
100 West Rezone
Located at approx. 721 South 100 West

REPORT SUMMARY...

Project Name: 100 West Rezone
Proponent/Owner: Craig Adams / Logan 100 West, LLC
Project Address: 721 South 100 West
Request: Rezone from MR-20 to MR-30
Current Zoning: MR-20
Date of Hearing: April 22, 2021
Type of Action: Legislative
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission recommend **approval** to the Municipal Council for a rezone of approximately 2.07 acres of property located at 721 South 100 West (TIN# 02-063-0035) from Mixed Residential Medium (MR-20) to Mixed Residential High (MR-30)

Land use adjoining the subject property

<i>North:</i>	NR-6: Residential Uses	<i>East:</i>	COM: Commercial Uses
<i>South:</i>	COM: Commercial Uses	<i>West:</i>	MR-12: Residential Uses

PROJECT

The proponent is requesting to rezone a 2.07 acre parcel from Mixed Residential Medium (MR-20) to Mixed Residential High (MR-30). This area was part of the Logan Gateway project that included a large four-story 68,000 SF office building and four small commercial pad sites near Main Street. The original 7.8-acre property site was divided into two areas when the 100 West street right-of-way extended south over the Logan River. In addition to the commercial development approvals in 2019, the applicant requested and successfully rezoned the project site from Mixed Use (MU) to a combination of Commercial (COM) and MR-20. That resulted in the current configuration of approximately 5 acres of COM and 2 acres of MR-20.



Figure 1 shows the subject property

GENERAL PLAN

The Future Land Use Plan (FLUP), adopted in 2008, identifies this property as Mixed Use Center (MUC). The General Plan, a nonregulatory visioning plan describes MUC areas as having concentrations of commercial and office uses with residential uses integrated. MUC developments are required to have both residential and commercial components designed in a compact dense form for people to live, work, and play within a walkable center. The plan describes MR areas as intended to provide a range of housing options for all stages of life and all levels of income. New developments should provide a diversity of housing types that are located near employment centers and commercial service areas for better walkability and transportation alternatives. Structures in this designation will range in density up to 30 units per acre and designed similar to Logan's traditional block pattern. The General Plan does not describe or distinguish the differences between MR-20 and MR-30.

LAND DEVELOPMENT CODE

The Land Development Code (LDC) regulates land uses and entitles properties with specific development allowances. The MR-20 zone allows for multi-family residential housing projects at a maximum density of 20 dwelling units per acre of land. Building heights are limited to 45 feet and front yard setbacks are set at 10 feet. Open space and outdoor space are required to total 30% of the project site.

The MR-30 zone allows for multi-family residential housing projects at a maximum density of 30 dwelling units per acre of land. Building heights are limited to 55 feet and front yard setbacks are set at 10 feet. Open space and outdoor space are required to total 30% of the project site.

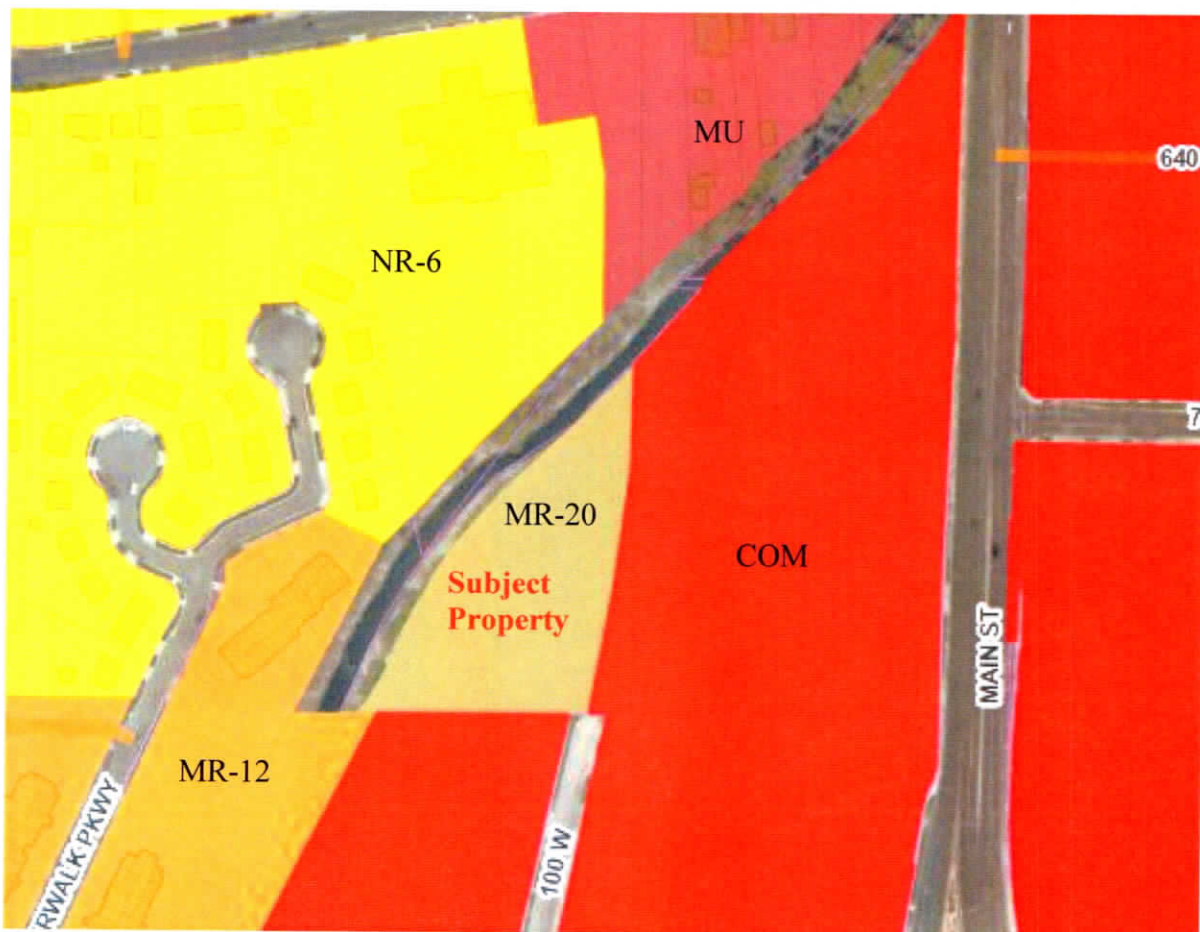


Figure 2 shows the existing zoning

STAFF SUMMARY

Originally designated as MUC in the FLUP and subsequently zoned MU, the intent of this project site was a development that included both commercial and higher density residential land uses. Although similar to MU zoning in density and development pattern, COM does not require residential and is more automobile oriented by nature. The MR-30 zoning district is similar to MU in density, height and development pattern with the exception of required commercial uses. The landowner requested MR-20 in 2019 but the MR-30 is actual closer to the FLUP designation of MU and will allow more residential units in an area of town that is located centrally, near high capacity utilities and infrastructure. Efficient, well-designed, centrally located higher density housing will continue to relieve pressure on suburban and rural agricultural areas farther outside of town, increase housing supply, provide diverse housing types and reduce miles driven. With housing supply at historic lows and housing demand at historic highs more efficient housing units will help satisfy demand, improve affordability and increase supply. The river along the west border of the property along with enhanced setbacks required in the LDC will create adequate buffers to soften the additional 10-units per acre (max. density for MR-20 = 41 units & MR-30 = 62 units) and design compatibility with the surrounding diverse mixture of structures and land use. The planned trail extension along the river through this property will increase recreation and alternative transportation options for area residents and employees.

AGENCY AND CITY DEPARTMENT COMMENTS

No comments have been received.

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 4/10/21 and the Utah Public Meeting website on 4/10/21. Public notices were mailed to all property owners within 300 feet of the project site on 4/5/21.

RECOMMENDED FINDINGS FOR APPROVAL

The Planning Commission bases its decision on the following findings supported in the administrative record for this project:

1. The Logan City FLUP identifies the area as MU and the MR-30 zone is similar in nature and density to MU.
2. This area is positioned along 100 West, a street that is planned for expansion to the south with high capacity infrastructure.
3. Infill and redevelopment are more efficient ways to handle population growth and reduce pressure on rural/suburban sprawl.
4. Centrally located, higher density housing developments reduce vehicle miles driven, increase housing supply and affordability.
5. Design incompatibles can be mitigated through Design Review processes.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

☒ Planning Commission ☐ Land Use Appeal Board ☐ Administrative Review

Date Received 3-22-21	Received By RH	Scheduled Meeting Date Apr. 22	Zone MR-20	Application Number PC 21-016
Type of Application (Check all that apply): <input type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Zone Change <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Other <input type="checkbox"/> Administrative Design Review				
PROJECT NAME Logan 100 West, LLC Logan 100 West Rezone				
PROJECT ADDRESS see attached 721 South 100 West			COUNTY PLAT TAX ID # 02-063-0035	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) Craig Adams			MAIN PHONE # 435-754-7887	
MAILING ADDRESS 255 South Main Street, Suite 100		CITY Logan	STATE Utah	ZIP 84321
EMAIL ADDRESS mhendrix@triiigroup.com, mjewell@triiigroup.com, bdursteler@triiigroup.com				
PROPERTY OWNER OF RECORD (Must be listed) Logan 100 West, LLC			MAIN PHONE # 435-754-7887	
MAILING ADDRESS 1047 South 100 West, Suite 220		CITY Logan	STATE Utah	ZIP 84321
EMAIL ADDRESS mhendrix@triiigroup.com, mjewell@triiigroup.com, bdursteler@triiigroup.com				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) See attach sheet titled "Logan City Rezone Request Information sheet" (MR-20 to MR-30) - NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -			Total Lot Size (acres) 2.07 Size of Proposed New Building (square feet) see attached Number of Proposed New Units/Lots See attached	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.			Signature of Property Owner's Authorized Agent 	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner 	

Council workshop : May 4, 2021
Council hearing: May 18, 2021

Logan City Rezone Request Information Sheet

Property: Cache County parcel number 02-063-0035, more particularly described as, *parcel west of road Beginning at a point which lies South 41°11'44" West, 83.90 feet and South 36°25'03" West, 194.10 feet and South 42°29'00" West, 48.25 feet and South 45°22'06" West, 143.97 feet and South 56°13'29" West, 19.81 feet and South 89°09'45" West, 37.53 feet and South 43°16'39" West 151.71 feet from a historical point of beginning on the West right of way line of Highway 89 and the Southline of the Logan River, said historical point of beginning also being East 595.91 feet and South 418.69 feet from the West Quarter Corner of Section 4, Township 11 North, Range 1 East, Salt Lake Base and Meridian; thence South 0°19'23" East along the Westright of way line of the proposed 100 West Street, 75.21 feet; thence along a curve to the right, continuing along said right of way, with a radius of 517.75 feet and a length of 114.79 feet, having a long chord bearing South 6°01'43" West and a length of 114.56 feet; thence South 12°22'49" West, 270.95 feet to the South Boundary Line of the development; thence South 89°58'14" West, 306.82 feet to the East bank of the Logan River, thence following the bank of the river the following 6 courses 1) North 25°01'11" East 128.62 feet; 2) North 31°14'06" East 82.72 feet; 3) North 36°37'25" East, 58.52 feet; 4) North 42°31'28" East, 105.81 feet; 5) North 56°20'09" East, 126.46 feet; 6) North 43°16'39" East, 98.51 feet to the point of beginning. CONT 2.07 AC M/B*

Property History: The above referenced property was recently rezoned to MR-20. While evaluating and reviewing our project plans we realized that our original thought process was to request MR-30, not MR-20. We would like to correct our oversight and request that it be rezoned to MR-30.

Our Proposed Plan: Our vision is to create a charming and peaceful place for Logan residents in all stages of life to call home. These multi family homes will be located in downtown Logan along the Logan River which gives the residents the convenience of being downtown with a more secluded and quiet feel. This is truly a prime location to live because it is within walking distance of various places of employment, restaurants, Walmart, and so much more. We are committed to bettering the lives of individuals in our community by providing not just livable housing, but a comfortable, practical, and attractive home. In order to do this we plan to include 2 buildings (roughly 40,000 sq. ft. each) with 30 units in each building.

What we are asking: Mixed Residential Medium ("MR-20") to Mixed Residential High ("MR-30")

How our plan fits with Logan City's General Plan and Code:

From the General Plan, Chapter 3.3 *(Our comments are in italics)*

1. **"Mixed Residential (MR) areas will provide a range of housing options for all stages of life and levels of income—including students, single adults, both young and mature families, and retirees. New developments will provide a diversity of housing types to meet these needs."**

This project will contain beautifully designed multi family homes that overlook the Logan River. There will be a community area along the river, so that residents can enjoy the river and outdoors. What once was a large area of dirt will be an amazing landscaped area that attracts people who desire a comfortable, welcoming, and vibrant home. These units will be made available to individuals in any stage of life and level of income. Various floor plans will give residents options and the ability to choose the best layout for their circumstances.

2. **"MR areas are located near employment centers, service areas—allowing residents to be within walking distance of many services and/or employment centers—and where transportation choices are (or will be) available. This form of housing will contribute to efficient, sustainable development of the valley, which preserves the open lands surrounding Logan and minimizes traffic congestion."**

There are roughly 14 different food establishments, 1 Walmart, 3 financial institutions, 1 gym, 2 mobile phone stores, The Driver License Division, various health care providers, churches, several hotels, convenience stores, bus stops, numerous places of employment and much more within a 1 mile radius. This project is located in a prime downtown location that will encourage residents to walk, bike, and/or utilize public transportation, which will both minimize traffic congestion and maximize healthy, efficient and sustainable lifestyles among our community.

3. **"Structures in this zone will range from small single-family homes to townhouses and apartments developed at 15-30 dwelling units per acre."**

2 buildings (roughly 40,000 sq. ft. each) with 30 units in each building.

From the General Plan, Chapter 5.2.1 (Our comments are in italics)

1. **"Logan's increase in per capita land consumption can be attributed to suburban, large-lot development (sprawl), combined with 'leapfrog' development (jumping out into undeveloped land rather than growing incrementally). Sprawl and leapfrog development consume land voraciously, make the intervening agricultural land unsuitable for agricultural uses and increase the cost of infrastructure (construction and maintenance) through longer road and utility extensions. Sprawl and leapfrog development also increase air pollution because travel time increases."**

This development is located in town and will not contribute to the issue of "sprawl and leapfrog development".

From the General Plan, Chapter 5.2.2 (Our comments are in italics)

1. **Growth Management Policies ...** 2. **The City encourages efficient use of infrastructure by developing and redeveloping lands in and near existing utilities and roads.** 3. **The City prefers compact development to more efficiently use available developable land.** 4. **The City supports higher density development in specific areas within its boundaries to reduce the pressure to sprawl into adjacent lands with important natural, visual, and agricultural resources.**

Growth Management Directives... 2. Encourage compact development that conserves lands for beneficial purposes... 4. Encourage infill development and redevelopment to take advantage of underutilized land.

This project is located on main street and the particular piece of land has been underutilized for years. The project will support the policies and directives cited above because of the location and previous uses for this land.

From the City of Logan Land Development Code, Chapter 17.37.020. (Our comments are in italics)

1. **“...Structures in this zone should include a mixture of housing types including a variety of townhouses, apartments and stacked housing developed at 30 dwelling units per acre.”**

This piece of land is 2.07 acres and we plan to develop 2 buildings (roughly 40,000 sq. ft. each) with 30 units in each building. The land was recently rezoned to MR-20, and as our team further reviewed the project we recognized that our original intention was to request that it be rezoned to MR-30. Unfortunately, we had a miscommunication on our end and requested MR20. We would like to correct our oversight and request that this parcel be rezoned to MR30 as the density of the parcel and mass size of this project are aligned.

Conclusion:

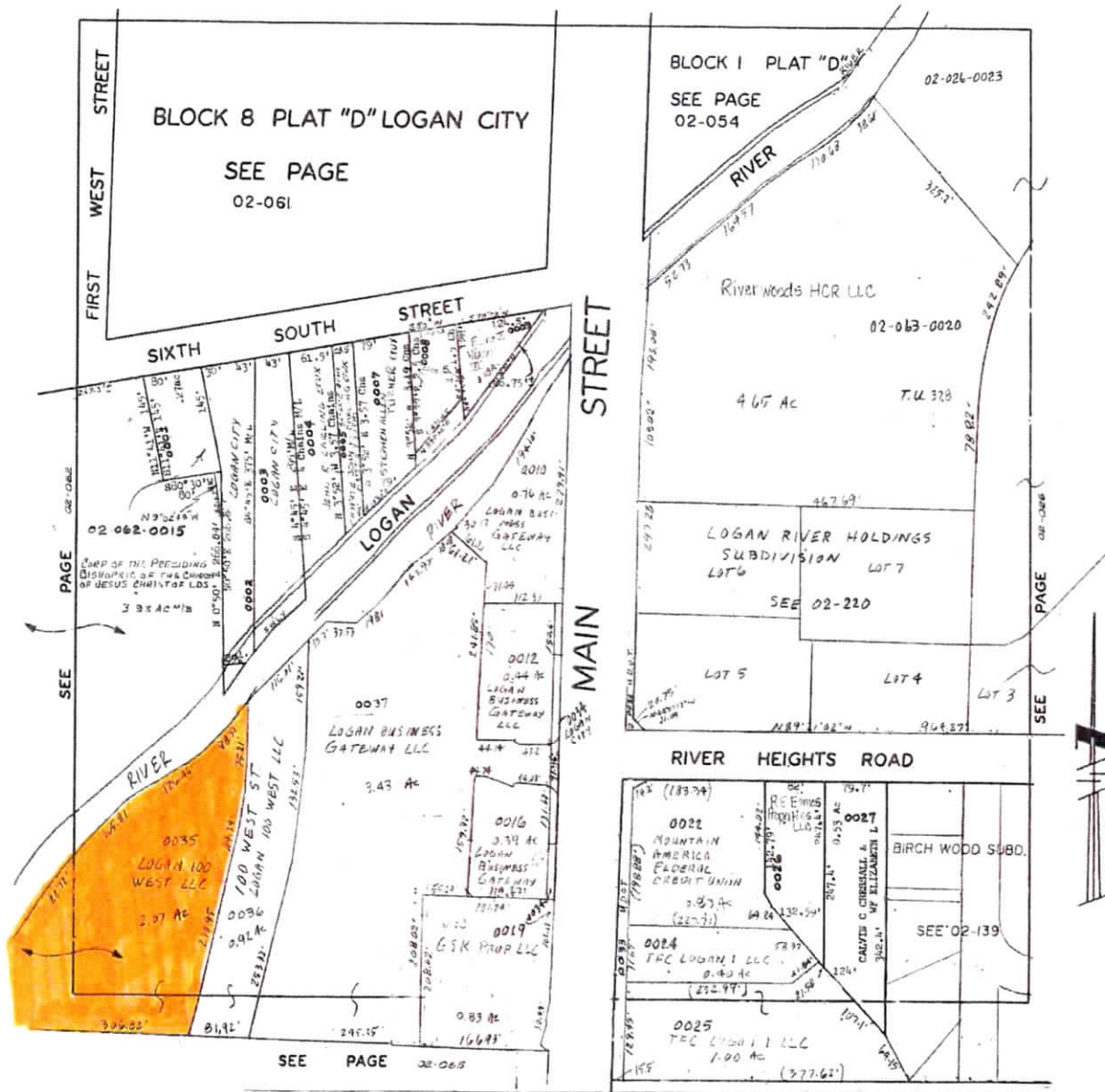
We appreciate and value your work and time spent in assisting us with this project. We are grateful for City Officials and Council Members who are willing and eager to learn about new ideas. It has been a pleasure to work with you thus far and we look forward to meeting and discussing our request and plans further on April 22, 2021. Should you have any questions or concerns please do not hesitate to contact us at 435-754-7887 or mhendrix@triiogroup.com.

Plat Maps for Parcel 02-063-0035

Section 4 Township 11 North Range 1 East
NE⁴ of SE⁴ Scale 1 Inch = 100 FEET

02-063

PT BLOCK 5 PLAT "B" PROVIDENCE FARM SVY—WEST OF MAIN TO RIVER
PT BLOCK 6 PLAT "C" PROVIDENCE FARM SVY—EAST OF MAIN









Parcel #02-063-0035 in 2021 - Cache County CORE

Owner(s)

History



LOGAN 100 WEST LLC (12/27/2019 - Present) (Vesting: 1229908)

Owner(s)

History

LOGAN 100 WEST LLC, (12/27/2019 - Present) (Vesting: 1229908)

Property Address

LOGAN

Current Owner Mailing Address

1047 S 100 W STE 220
LOGAN, UT 84321-6789

i Tax District: LOGAN SOUTH MAIN RDA A-3(327)

i Tax Status: Taxable

i Parcel History: PT 02-063-0013 10/19;

i Legal Description: parcel west of road Beginning at a point which lies South 41°11'44" West, 83.90 feet and South 36°25'03" West, 194.10 feet and South 42°29'00" West, 48.25 feet and South 45°22'06" West, 143.97 feet and South 56°13'29" West, 19.81 feet and South 89°09'45" West, 37.53 feet and South 43°16'39" West 151.71 feet from a historical point of beginning on the West right of way line of Highway 89 and the Southline of the Logan River, said historical point of beginning also being East 595.91 feet and South 418.69 feet from the West Quarter Corner of Section 4, Township 11 North, Range 1 East, Salt Lake Base and Meridian; thence South 0°19'23" East along the Westright of way line of the proposed 100 West Street, 75.21 feet; thence along a curve to the right, continuing along said right of way, with a radius of 517.75 feet and a length of 114.79 feet, having a long chord bearing South 6°01'43" West and a length of 114.56 feet; thence South 12°22'49" West, 270.95 feet to the South Boundary Line of the development; thence South 89°58'14" West, 306.82 feet to the East bank of the Logan River, thence following the bank of the river the following 6 courses 1) North 25°01'11" East 128.62 feet; 2) North 31°14'06" East 82.72 feet; 3) North 36°37'25" East, 58.52 feet; 4) North 42°31'28" East, 105.81 feet; 5) North 56°20'09" East, 126.46 feet; 6) North 43°16'39" East, 98.51 feet to the point of beginning. CONT 2.07 AC M/B

i Acres: 2.07

i Water Rights: NO

Year

Amount

2020

\$5,790.32

Backtax Total Past Due

\$5,790.32

Taxation Term

Amount

Prior Year Taxes (2020)

\$5,551.92

The Assessor has not certified values for this year. Please refer to a previous year for an estimate.