

Attachment 3 – Manufactured Homes / Mobile Homes

Factory Built Home Requirements

This section is intended to provide definition and clarity for homes that are manufactured and moved to a parcel of land in La Plata County, including recreational vehicles and yurts used as residences. La Plata County has enforced building codes and required building permits for the construction of buildings since 1973. Manufactured units described in this code are defined as residential occupancies and are required to comply with La Plata County land use codes and building codes.

Manufactured Homes

Colorado law defines a “manufactured home” as any pre-constructed building unit or combination of pre-constructed building units, without motive power, where such unit or units are manufactured in a factory or at a location other than a residential site of the completed home, which is designed and commonly used for the occupancy by persons for residential purposes, in either temporary or permanent locations, and which unit or units are not licensed as a recreational vehicle. Manufactured home includes mobile homes, manufactured homes built to the HUD Standards, and factory-built units built to the Building Code standards adopted by the Colorado Division of Housing. (Colorado Division of Housing Resolution No. 38, CRS 24-32-3301).

Factory-built residential structure (modular) means a factory built home constructed to the building codes adopted by the Colorado Division of Housing (and La Plata County), designed to meet the snow load requirement for the site and to be installed on a permanent foundation. This does not include homes constructed to the Federal Manufactured Home Construction and Safety Standards (HUD) nor does this include any home designed as a mobile home. (Colorado Division of Housing Resolution No. 38; CRS § 24-32-3302(20).)

Manufactured homes are built to the HUD standards and Colorado Division of Housing standards, constructed on a permanent frame and axel assembly, and designed for transport to placement location. These homes may be block set per manufacturer’s instructions; if manufacturer’s instructions are not available then County standards apply. Manufactured homes built to the HUD standards may also be placed on foundation systems per the County Minimum Manufactured Home Foundation Detail. Manufactured homes built to the HUD standards and Colorado Division of Housing standards are not modular homes (see below).

Mobile home means a manufactured home built prior to the adoption of the 1976 Federal Manufactured Home Construction and Safety Standards (HUD). These homes may be block set per County standards. Mobile homes may also be placed on foundation systems per the County Minimum Manufactured Home Foundation Detail.

Tiny Homes are 400 square feet or less and meet the La Plata County guidelines for construction Section 18-37. Tiny homes may be mounted on a moveable frame (tiny homes on wheels – THOW) or constructed on a permanent foundation. Tiny homes mounted on a moveable frame may be block set per County standards.

Other Types of Factory Built Residential Structures

Recreational vehicles are typically constructed to the Recreational Vehicle Industry Association (RVIA) standard, mounted on a moveable frame, and may be block set to County standards or placed on a permanent foundation. Once use and occupancy of an RV exceeds 90 days recreational vehicles must comply with all land use and building code regulations of La Plata County.

Park model homes are a special subset of recreational vehicles that are constructed for the purpose of permanent placement in a park or on a residential site. Park Model Homes must be placed on a permanent foundation or follow the temporary block set requirements. Park Model Homes must also comply with all Building Code and Land Use Regulations.

Yurts are typically walled or tent structures designed for use as temporary use. Yurts that are intended for permanent use and occupancy must meet the requirements of the building codes. This includes, but is not limited to, the design and function of the deck supporting the yurt, installation of sanitation facilities, structure snow load, egress and energy code standards, and other requirements of the code.

Additional Code Requirements for Factory Built Homes

Colorado law and La Plata County codes require sewage disposal systems be provided for all residential structures that are constructed or placed on private lands in the County. Where available, residential units must be connected to central sewer systems.

The requirements provided in Chapter 18 of the La Plata County Code apply to all Factory Built Homes.

NOTICE

NEW COLORADO LAW FOR ALL MANUFACTURED HOME INSTALLATIONS

In the year 2001 the Colorado State Legislature enacted a law which governs the installation of all manufactured homes in the State of Colorado. The law is intended to provide minimum installation or set-up standards for all new or used manufactured and modular homes that are set or placed on private lands or in manufactured home parks. The law also requires manufactured homes to be installed following the manufactured home installation requirements or the “Colorado Division of housing Alternate Installation Guide”. All installation work must be performed by “Certified Installers” and the installation work must be performed by “State Certified Installers” and installation inspected by a “State Certified Manufactured Home Inspector” (some exceptions apply to home and property owners). This Colorado law went into effect September 1, 2001, therefore, it may be necessary to have a “Certified Installer” install your manufactured home and the installation inspected by a “Certified Inspector”.

At this time La Plata County does not participate in the “Colorado State Manufactured Home Installation and Inspection Program”. La Plata County will continue to issue La Plata County Building Permits and perform inspections in accordance with laws and minimum standards that have been adopted by La Plata County since 1980. La Plata County’s minimum regulations may not totally comply with State of Colorado regulations.

La Plata County Building Department
211 Rock Point Dr.
Durango, CO 81301
970-382-6250

Butch Knowlton
Director of Building Department
La Plata County

Installation Requirements For Mobile Homes In La Plata County & Mobile Home Parks

La Plata County Mobile Home set-up fee \$150.00. For Mobile Homes on a permanent foundation the Permit Fee will be \$250.00. La Plata County Building Department - 211 Rock Point Dr. Durango, CO 81301 (970) 382-6250.

OTHER PERMITS THAT MAY BE REQUIRED:

Sewer & Water Authorization – Colorado State Law requires permits for the installation of any sewage disposal system and the drilling and use of any well water right. Because of these laws La Plata County regulations require authorization or proof of compliance with State laws and local sanitation and water district regulations. Therefore signatures and authorization must be obtained from the appropriate agencies regulating the sewage disposal and water supply or in lieu of signatures, copies of sewage disposal permits, well permits, tap agreements between the owners and municipal or private sewer system management or district, water system district. This section must be completed before a building permit will be issued. (Garages, barns, sheds, mobile homes in parks etc. are exempted).

Locations for obtaining signatures for individual sewer disposal systems and water wells are as follows:

Sewer Systems- San Juan Basin Public Health Dept. 289 Sawyer Drive Suite 300 Bodo Industrial Park, Durango Colorado 81301 (970) 247-5702

Well Permit- Colorado Division of Water Resources 166 Rock Point Dr. Durango Colorado 81301 (970) 247-1845

These signatures will not guarantee availability of water and sewer but only insure compliance with applicable regulations.

Electrical- The State of Colorado requires electrical permits on all electrical installations in the State. Colorado Law further allows home owners to do their own wiring (except in mobile home parks). (Installation following the current adopted Electrical Code with Amendments). **If the installation is done by someone other than the home owner, that someone must be a Licensed Colorado Electrical Contractor and they must obtain the Electrical Permits.** Permits and information can be obtained at the State Electrical Board website or 1560 Broadway suite 1350, Denver CO 80202, (303) 894-2300.

Plumbing – Like the Electrical, the State of Colorado and La Plata County has enacted regulations, governing the installation of all plumbing in the State and La Plata County. The law is structured like the Electrical Regulations allowing the home owner to do their own plumbing installations. **If the installation is done by someone other than the homeowner, that someone must be a Licensed Colorado Master Plumber.** At this time separate Plumbing permits are not required. If gas yard line is installed or extended a separate permit will be required for the yard line. All plumbing installations must be inspected as required by code.

Driveway, Culverts and Access Permits – Permits and approvals of driveway or access must be obtained from La Plata County Engineering Department, 1060 Main Ave. Durango Co 81301, (970) 382-6363. In the event the driveway has not been installed in accordance with the appropriate La Plata County Standards a “Certificate of Occupancy” (final inspection approval for occupancy of the structure) will be denied.

Utility Permit – For excavation and / or installation of any utility within La Plata County right-of-way, a permit must be obtained from and approved by La Plata County Engineering Department, 1060 Main Ave. Durango Co 81301, (970) 382-6363.

Note: Always consider the possibility of under ground utilities before you dig. Call 811 for utility notification

INSPECTION REQUIREMENTS

San Juan Basin Public Health Department - Sewer system must have final inspection before Certificate of Occupancy is issued.

La Plata County Engineering Department – Drive access onto County Road and drive way permit must have final inspection.

La Plata county Building Department – Blocking, sewer, interior gas line, exterior gas line, steps, landings and guardrails, Address space number posted, all must have a final inspection. 970-382-6250

Colorado State Electrical inspection – electrical installation. 303-894-2300

BLOCKING

Piers less than 36" in height shall be constructed of open or closed cell concrete blocks 8"x16" (open cells placed vertically) installed with the 16" dimension perpendicular to the I-Beam/frame rail. The piers shall be covered with a 2"x8"x16" wood cap. A solid 4"x16"x16" Pad consisting of cement or 2 – 4"x8"x16" solid blocks placed on a firm undisturbed soil, free of grass & organic matter.

For piers in excess of 36" you will need to consult the Building Department

The piers shall be a minimum of 2 4"x8"x14' solid blocks and 1 8'x8"x16' block including a 2"x8" wooden cap. Note (see Pier Detail Below.)

A minimum of 12" clearance under frame rail is required by code.

SPACING FOR PIER SUPPORT

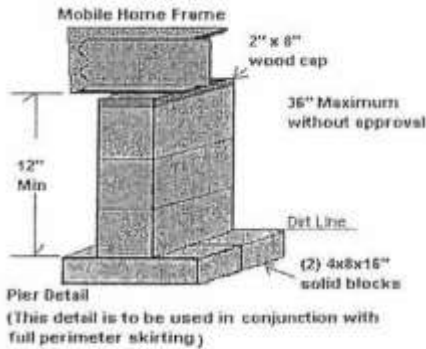
Spacing shall be as recommended by manufacturer.

If unavailable use this chart for reference

10 feet wide	10 feet or less
12 feet wide	8 feet or less
14 feet wide	6 feet or less

18"x24" access opening required

Ventilation of enclosed crawlspace beneath mobile/manufactured homes must be provided at a rate of 1 sq. foot of ventilation opening of floor area. Ventilation openings must be screened. Fully ventilated shirting shall be acceptable.



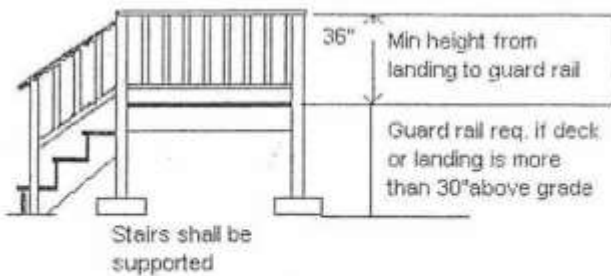
PORCHES AND LANDINGS

Porches or landings with stairs must be provided for each doorway / exit in the mobile home. Stairs and porch landings must be of substantial construction. Porch minimum size must be 36" wide and 48" long. Stairs width minimum 36". Max rise of stairs is 7 3/4" with a minimum run of 10". When the floor level of porch is 30" or more above grade, the porch must be provided with a handrail and guardrails. Stairs handrails are 34" to 38" high above nose of tread.

Stair guard rails 36" high with intermediate rail or ornamental pattern arranged in a manner so a 4" sphere cannot pass through.

For a roof cover or deck larger than 5' by 5' a separate permit is required.

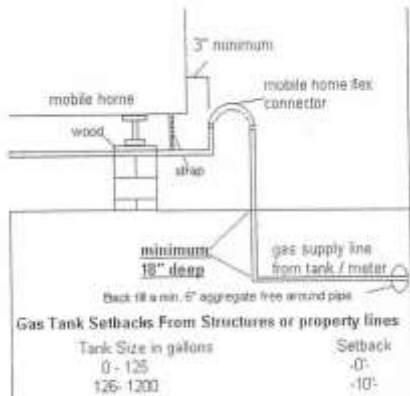
PORCH LANDING / ACCESS



1. A gripable hand rail shall be necessary if 4 or more steps are installed.

2. Ballisters shall be a maximum of 4" between

GAS LINE



Gas line flex connector – Mobile home to supply line

The flexible gas line between the mobile home and the gas supply line or the supply line and the L.P. tank shall be a minimum of 5/8" inside diameter tin lined copper, or an approved AGA or UL listed mobile home flex connector. If the supply line has been installed with P.E. pipe, an approved anodeless gas riser must be installed. All of the above shall be of the capacity to handle the B.T.U. load of the home. The stub out from under home through the skirting shall not be reduced in size from that installed by the manufacturer. If in doubt use the calculation table 12-1 in the currently adopted fuel gas code. This connection shall be made a minimum of 3" from wall line and not more than 6" unsupported from wall line of the home and skirting.

A gas shutoff valve shall be installed on the riser for the home, if the system requires a pressure regulator at the home. Discharge from relief valves shall be in open air and shall not be less than five feet horizontally away from any opening into a building which is below such discharge. This regulator must be protected from physical damage. Such as Rain, snow, or ice interfering in the operation of the device. Regulators shall be located within 5' of any ignition source.

Gas supply line from tank or meter to mobile / manufactured home . (Yard Line)

Line must be a minimum of 1/2" PE Plastic (for two stage systems) or 3/4" plastic coated steel pipe. All changes in direction on steel shall be done with fittings. **NO** field bending allowed. Pipe wrap tape and primer shall be used on all joints or damaged spots on pipe to protect the steel from exposure to the earth.

There shall be no underground gas supply lines run under mobile / manufactured homes.

All gas supply lines run underground shall emerge outside the perimeter of the Mobile / Manufactured home wall line and skirting a minimum of three inches. Gas supply lines shall be installed at a depth no less than 18". The trench shall not be backfilled until the gas line has been tested and inspected including bedding (sand) or aggregate free soil in the ditch. 18 Gauge tracer wire or tape must be installed with all plastic gas pipes.

PRESSURE TESTING

Pressure test for low pressure supply lines and interior piping shall be minimum of 10# for 15 minutes using a 15# gauge with 1/4" increments. Gas cocks shall be removed from lines before low pressure test. After passing the above inspection, you must connect and test with soap and water the appliances and gas connection to yard line or meter, also change the appliance orifices. You must then call for a "Green Tag Inspection". The tag is to be placed on the gas piping at the point where the gas supply is to be located, if the Inspector finds the system is in compliance with the codes.

On two stage systems (The yard line) pressure test shall be 60# for 30 minutes using a 100 # gauge. NOTE Gas connectors and uncoated lines must maintain 6" Clearance above Grade. "IMPORTANT" All Plumbing installations must be inspected as required by code. The coordination if the inspection, the connection (reconnection) of the appliance to the gas piping, the changing of the appliance orifices and the gas company setting the meter and turning on the gas must be planned in advance.

SUPPORT REQUIREMENTS FOR GAS LINES

1/2" every (6')

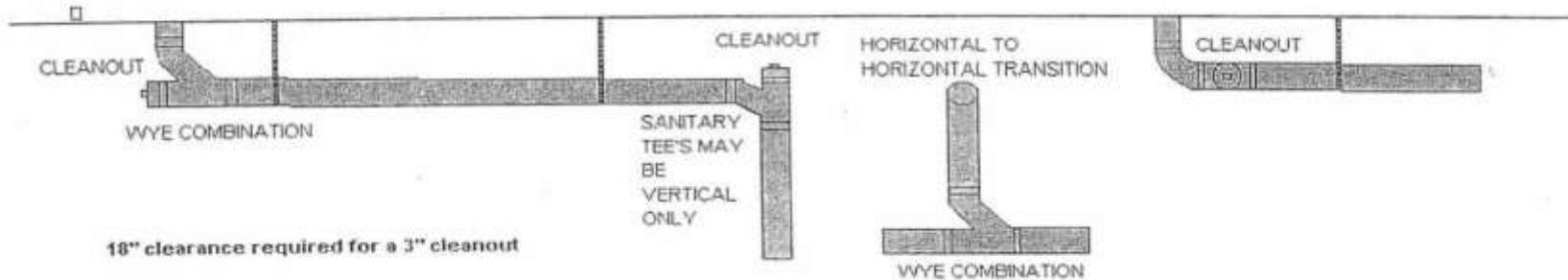
3/4" and 1" every (8')

1 1/4" and larger every (10')

Approved Drain Line Connections For Mobile-Homes In La Plata County

(to be used when repiping of the mobile is nessasary)

MOBILE HOME FLOOR LINE



TRANSITION OF DIFFERENT MATERIAL (PVC TO ABS) ON DRAIN LINES

Transitions may be made two ways.

1. By using a flexible transition adapter (Rubber coupling or No Hub Band).
2. By using male and female threaded fittings together with appropriate pipe thread sealing compound.

Do not mix ABS or PVC piping and fittings. NO ALL PURPOSE GLUE MAY BE USED.

All sewer drain line piping under home shall be Schedule 40 PVC or ABS pipe and Fittings.

SUPPORT OF DRAIN LINE AND GRADING OF PIPES

All drain lines must be supported at a maximum of **four feet** between straps starting at the upper most end and continuing throughout the entire line. The **minimum** grade or slope of the drain line is equal to **one quarter of an inch per foot** along the entire length of the line.

Connection from drain line to sewer line shall be made water tight, by means of a glue joint or a rubber coupling, and / or a no hub band, (coupling).

CLEAN OUTS AND CHANGES IN DIRECTION

All horizontal drain lines in excess of five feet in length shall have a line size clean out installed at the upper most end. The drawings above indicate the correct location of the clean outs. All horizontal turns shall be (long turn) 90 degrees or combination Wye and one eighth bend fittings, **Vertical** tees may be sanitary tees. **No** sanitary tees in the horizontal position.

**DEPARTMENT OF LOCAL AFFAIRS
Division of Housing**

RESOLUTION NO. 38 – MANUFACTURED HOUSING INSTALLATIONS

8 CCR 1302-7

BE IT RESOLVED BY THE STATE HOUSING BOARD OF THE STATE OF COLORADO;

THAT PURSUANT TO '24-32-3301 et seq C.R.S. as amended, the State Housing Board of the State of Colorado (the "Housing Board") repeals and readopts Resolution #38, Manufactured Housing Installations; and

THAT PURSUANT TO '24-32-3301 et seq C.R.S. as amended, the State Housing Board adopts the nationally recognized codes as cited in SCHEDULE "B" as the "Colorado Manufactured Housing Installation Code" that are the Division of Housing responsibility; and

THAT PURSUANT TO '24-32-3301 et seq C.R.S. as amended the State Housing Board states the basis and purpose of these rule changes is to update the current minimum construction and safety code for "Manufactured Housing Installations"; and

THAT PURSUANT TO '24-32-3301 et seq C.R.S. as amended, the State Housing Board establishes standards, to the extent allowed by the state constitution, Article 50 of the "State Personnel System Act", and the rules promulgated by the Personnel Board, for private inspection and certification entities to perform the Colorado Division of Housing' certification and inspection of Manufactured Housing Installations; and

THAT PURSUANT TO '24-32-3301 et seq C.R.S. as amended, the State Housing Board states that "Manufactured Housing Installation" installers shall have the option to contract with the Colorado Division of Housing or an authorized inspection agency to perform inspection and certification functions where a local jurisdiction does not have exclusive inspection agency rights; and

THAT PURSUANT TO '24-32-3301 et seq C.R.S. as amended, the State Housing Board establishes minimum training standards for installers and inspectors; and

The Colorado Housing Board repeals and readopts these rules and regulations to be administered and enforced by the Colorado Division of Housing (Division).

LA PLATA COUNTY

PERMANENT FOUNDATIONS FOR

MANUFACTURED HOMES

Most lenders and Financial Institutions will not finance Manufactured homes unless the Manufactured home is placed on a “Permanent Foundation”.

To qualify as a permanent foundation meeting County standards; two things are required;

1) The foundation system supporting the Manufactured Home must be protected from frost upheaval and; 2) There must be an attachment between the foundation system and the Manufactured Home.

To obtain a Building Permit for ta Manufactured Home w/Permanent Foundation, you will need to submit a foundation plan which shows how the frost protection and attachment is accomplished. A Manufactured Home is supported by piers located underneath the frame rails and key locations on marriage walls and exterior walls, the perimeter wall if used cannot support the Manufactured Home , although the perimeter wall may provide the frost protection if it has required depth (32” below finished grade). The perimeter wall can also be used to provide the required attachment between the Manufactured Home frame and foundation.

Attached are two examples of foundation plans for a Manufactured Home with a permanent foundation; one using piers only; the other uses both piers and a perimeter wall. You will need to obtain information from your Manufactured Home Dealer as to the precise location of all the interior piers. Double wide units may have additional piers located along the marriage wall to support weight from above.

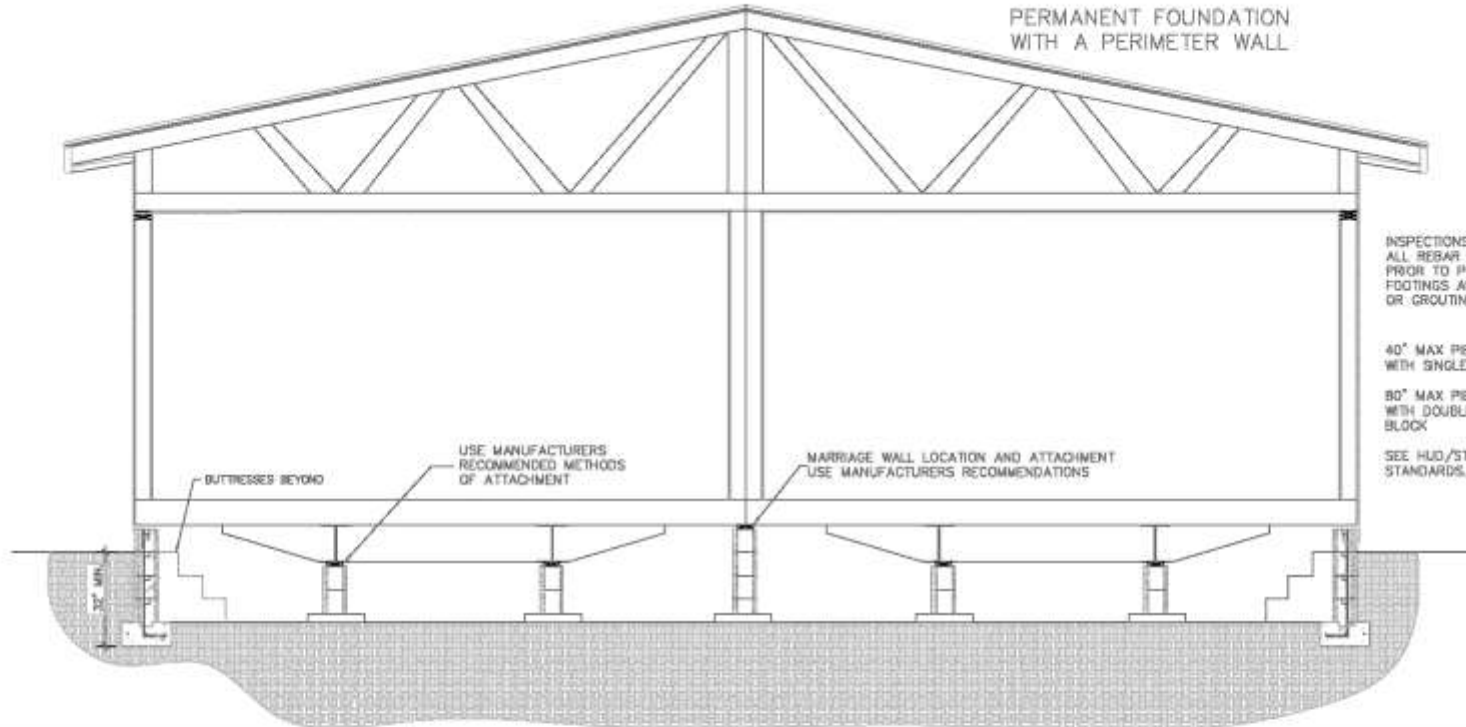
If a perimeter wall is used crawl space access and ventilation are required. If earth is placed against one side of the perimeter wall, the wall will need to be buttressed at twelve feet (12 ft.) intervals to resist the earth pressure.

The attached foundation plans apply to typical installations; basements or difficult site conditions may warrant special engineering.

You must always follow the Manufactures installation instructions; therefore, you need to get the installation procedures from your Manufactured Home Dealer.

MANUFACTURED HOME PERMANENT FOUNDATION DETAILS

PERMANENT FOUNDATION WITH A PERIMETER WALL



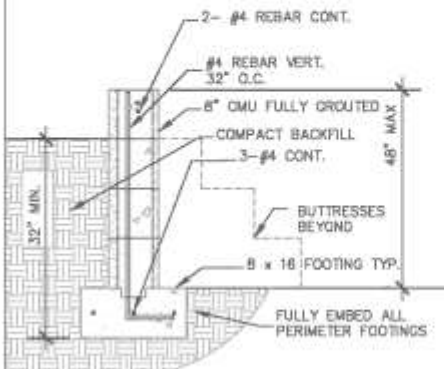
INSPECTIONS REQUIRED FOR ALL REBAR INSTALLATION PRIOR TO POURING OF FOOTINGS AND STEM WALLS OR GROUTING OF BLOCK.

40' MAX PER HEIGHT BUILT WITH SINGLE BLOCKS

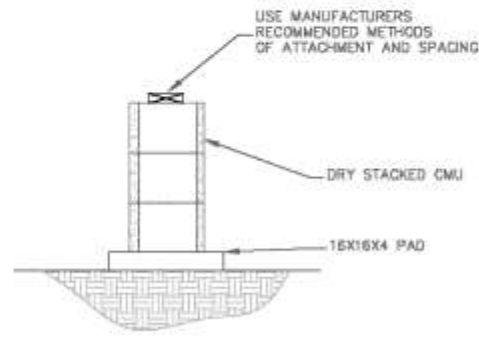
80' MAX PER HEIGHT BUILT WITH DOUBLE INTERLOCKED BLOCK

SEE HUD/STATE STANDARDS.

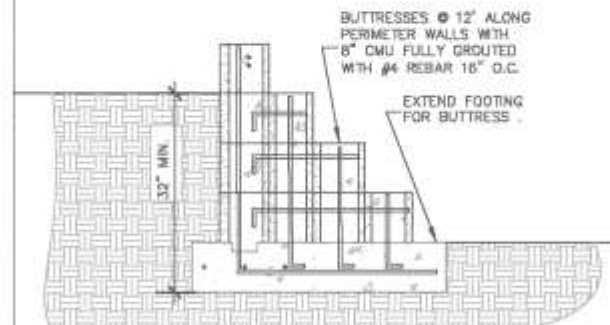
PERIMETER FOUNDATION WITH BUTTRESSES BEYOND



DRY STACK PIERS AND MARRIAGE WALL FOUNDATIONS

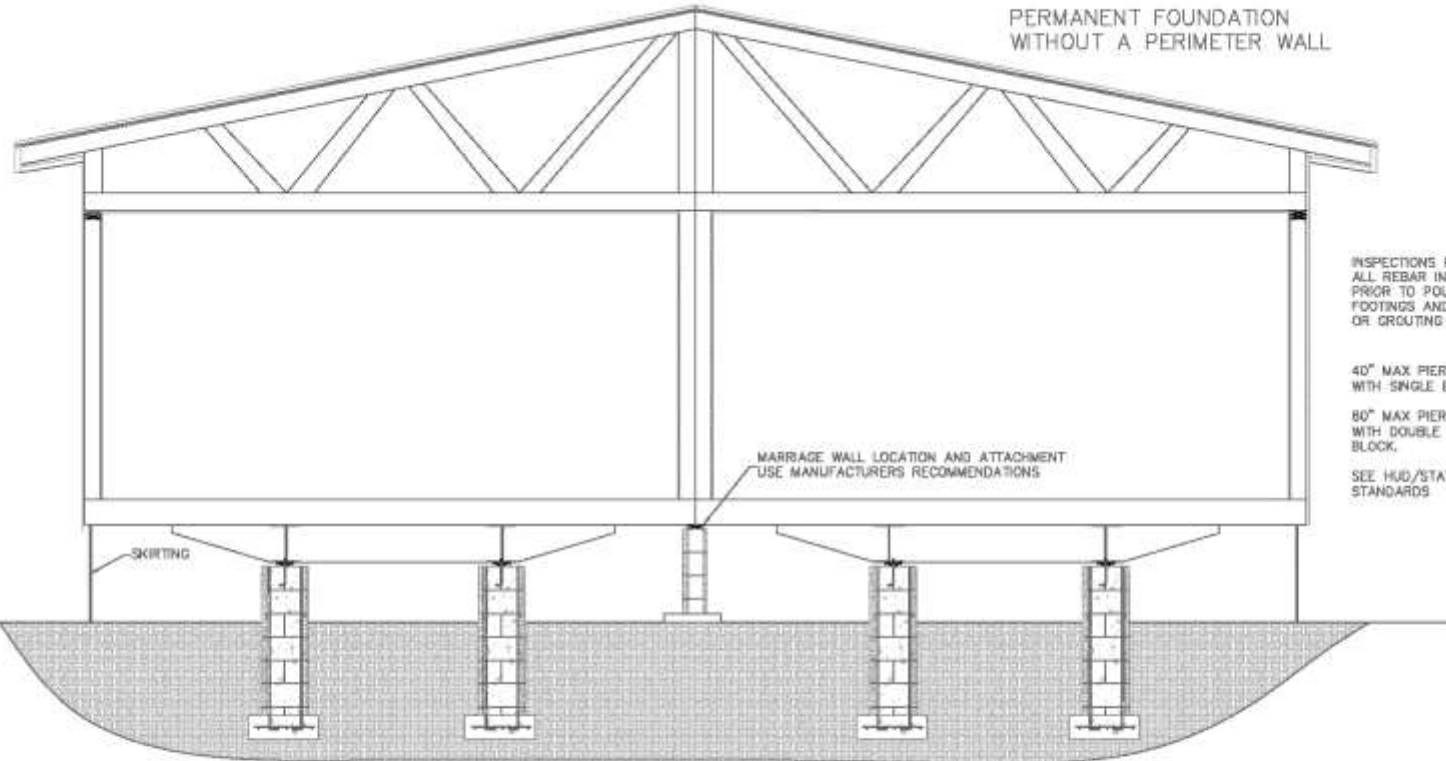


PERIMETER FOUNDATION WITH BUTTRESSES



MANUFACTURED HOME PERMANENT FOUNDATION DETAILS

PERMANENT FOUNDATION WITHOUT A PERIMETER WALL



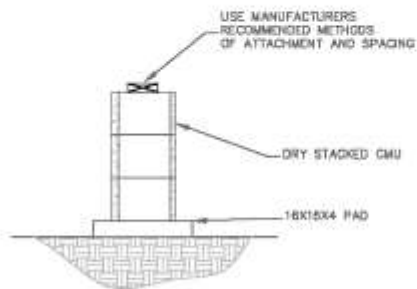
INSPECTIONS REQUIRED FOR ALL REBAR INSTALLATION PRIOR TO POURING OF FOOTINGS AND STEM WALLS OR GROUTING OF BLOCK.

40" MAX PIER HEIGHT BUILT WITH SINGLE BLOCKS

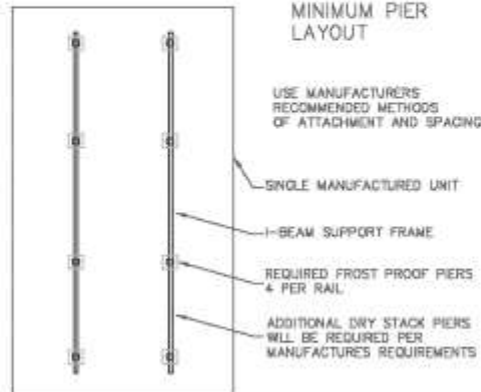
60" MAX PIER HEIGHT BUILT WITH DOUBLE INTERLOCKED BLOCK.

SEE HUD/STATE STANDARDS

DRY STACK PIERS AND MARRIAGE WALL FOUNDATIONS



MINIMUM PIER LAYOUT



PERMANENT FOUNDATION PIERS

