

**PLANNING COMMISSION**  
**AGENDA**  
**July 25, 2022**  
**Regular Meeting - Huntington Woods City Hall**  
**26815 Scotia**  
**7:00 p.m.**

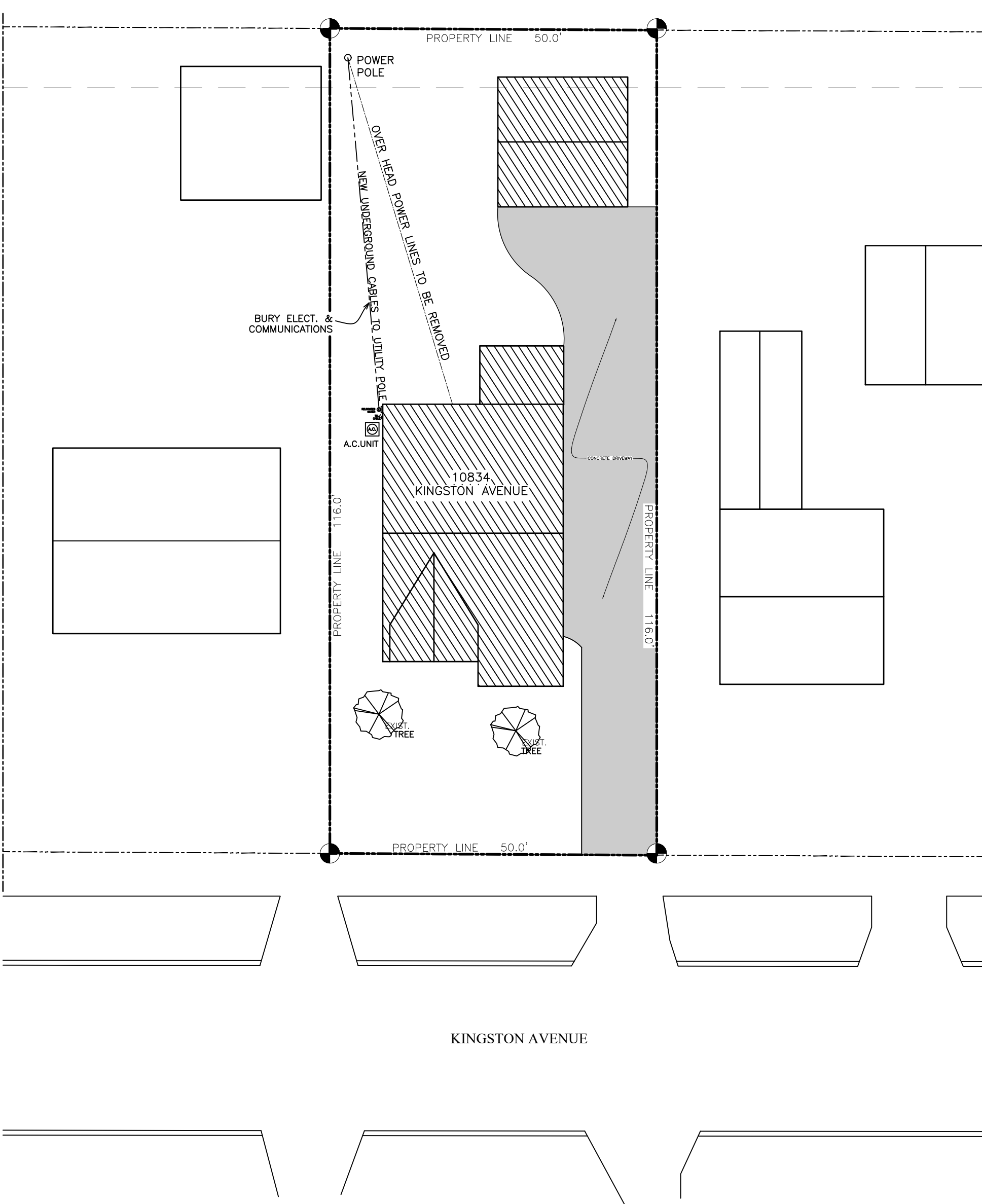
1. Call to Order
2. Roll Call
3. Approval of Agenda
4. Approval of Minutes: June 27, 2022
5. Master Plan adoption hearing
6. Matter of Site Plan review of an addition to the Holmes / McGuire Residence 10834 Kingston
6. Matter of Site Plan review of an addition to the Myers Residence 13120 Sherwood
- 7) Public Participation

Comments are invited on each Agenda item when that item comes up for consideration. Matters not listed on the Agenda may be addressed under "Public Participation. Plans/Documents may be viewed on the city website [hwmi.org](http://hwmi.org) one week prior to the Meeting or available at City Hall. Comments or questions contact Hank Berry at 248-581-2637 or email [hberry@hwmi.org](mailto:hberry@hwmi.org).



# HOLMES & MAGUIRE RESIDENCE RENOVATION

10834 KINGSTON AVE.  
HUNTINGTON WOODS, MI 48070



 **SITE PLAN**  
SCALE - 1"= 10'

## PROPERTY DESCRIPTION

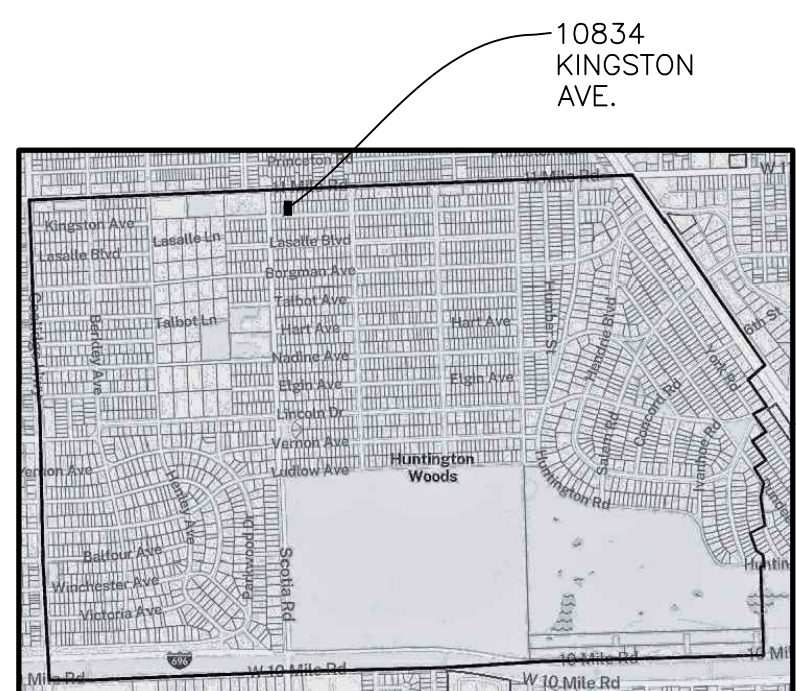
Parcel ID: 2520201018  
IN: 48070, CENSUS TRACT 1880, HUNTINGTON WOODS,  
MI, OAKLAND COUNTY, MI

**SITE DATA**

SUBDIVISION HUNTINGTON WOODS  
ZONED R-1D (SINGLE FAMILY / RESIDENTIAL)  
SITE AREA Parcel Sq Ft: 6238 Sq.Ft.  
Acres: 0.143

## EXISTING RESIDENCE

FIRST FLOOR LIVING AREA	1,117 SF.
SECOND FLOOR LIVING AREA	446 SF.
TOTAL LIVING AREA	1,563 SF.
GARAGE	588 SF.



 **LOCATION MAP**  
NTS

**SITE SURVEY**  
SCALE - AS NOTED

## INDEX TO DRAWINGS PHASE I

- C-1 COVER SHEET - DRAWING INDEX, LOCATION MAP, SITE PLAN, PROPERTY DESCRIPTION, SITE DATA, ROOF PLAN, SITE SURVEY
- S-1 SITE PLAN
- GS-1 GENERAL SPECIFICATIONS, NOTES & LEGENDS
- A/D-1 EXISTING FLOOR PLANS, ROOF PLAN & DEMOLITION PLANS
- A-2 EXISTING ELEVATIONS
- A-3 PROPOSED FLOOR PLANS & PROPOSED ROOF PLAN
- A-4 SECTION
- A-5 SECTION & DETAILS
- A-6 SECTION
- A-7 PROPOSED ELEVATIONS
- S-1 STRUCTURAL PLAN / ROOF FRAMING PLAN / SCHEDULES
- E/L-1 ELECTRICAL / LIGHTING PLANS



Programming  
Design  
Construction

25890 CONCORD  
HUNTINGTON WOODS  
MICHIGAN 48070  
TEL. (248) 543-1105  
FAX (248) 543-5049

Project

## HOLMES & MAGUIRE RESIDENCE RENOVATIONS

10834 KINGSTON AVE.  
HUNTINGTON WOODS  
MICHIGAN 48070

Sheet

COVER SHEET: PROJECT TITLE,  
SHEET INDEX, SITE DATA,  
SQUARE FOOT CALCULATIONS,  
SITE PLAN, LOCATION MAP  
ENGINEERED SITE SURVEY

## Revisions

no.:	date:	by:

Issued for:      Date:

☒ preliminary      04-27-22

☒ bidding      06-09-22

☒ permit      06-09-22

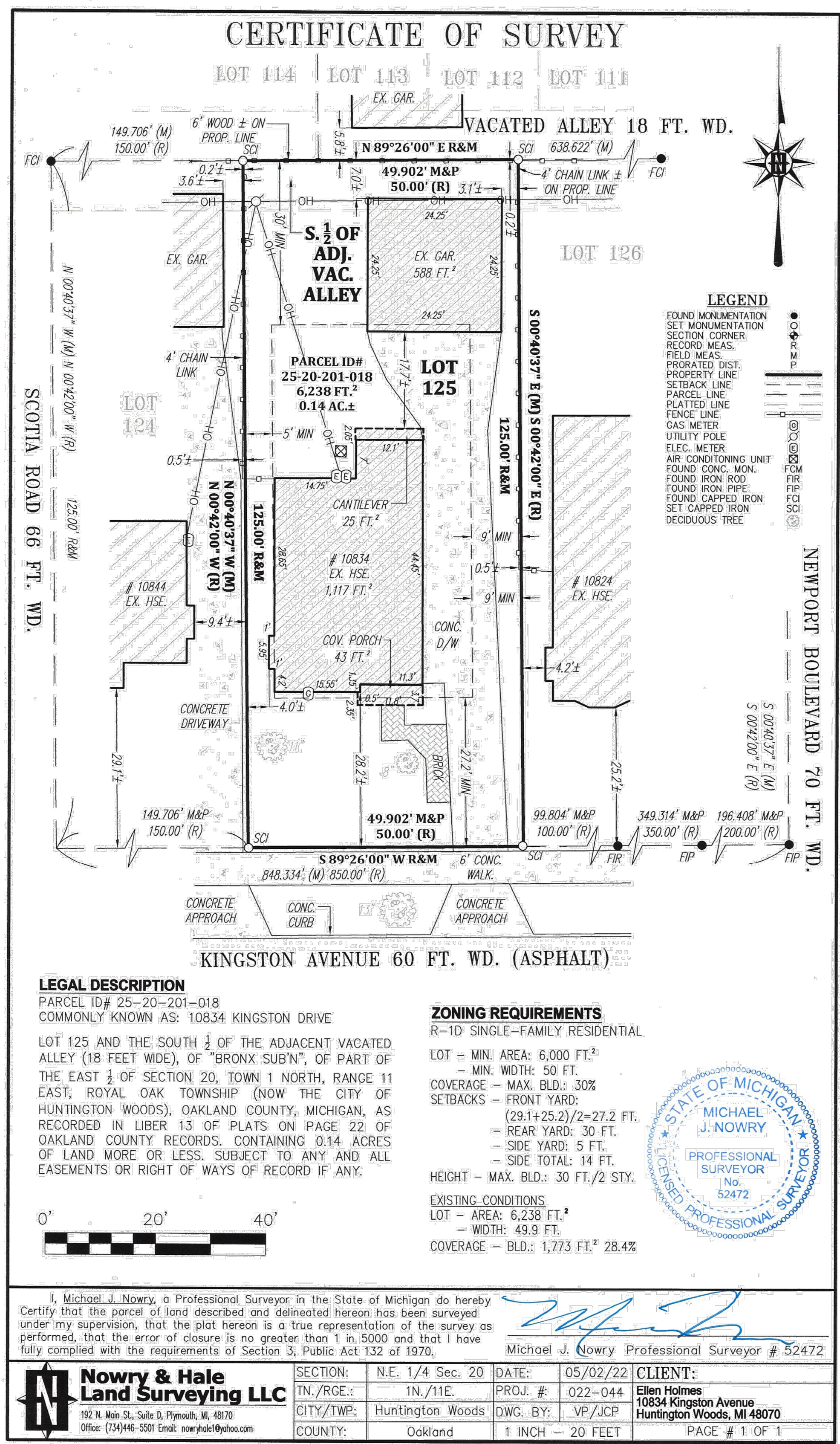
☐ construction       

Do Not Scale - Use Figured Dimensions

Scale AS NOTED  
Drawn P.J.O.  
Checked M.A.O.  
Approved  

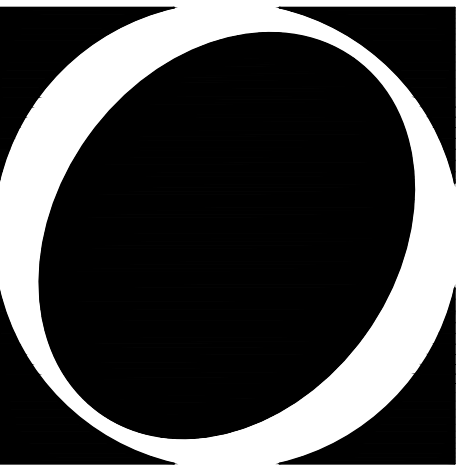
Project no. 22007

Sheet no. C/S-1









O S T R O W S K I  
D E S I G N G R O U P, L L C

Programming  
Design  
Construction

25890 CONCORD  
HUNTINGTON WOODS  
MICHIGAN 48070  
TEL. (248) 543-1105  
FAX (248) 543-5049

Project

HOLMES-MAGUIRE  
RESIDENCE  
RENOVATIONS

10834 KINGSTON AVE.  
HUNTINGTON WOODS  
MICHIGAN 48070

Sheet

EXISTING FLOOR  
PLANS  
DEMOLITION  
PLANS

Revisions

no.:	date:	by:

Issued for:	Date:
■ preliminary	03-29-22
■ bidding	06-13-22
■ permit	06-13-22
□ construction	

Do Not Scale - Use Figured Dimensions

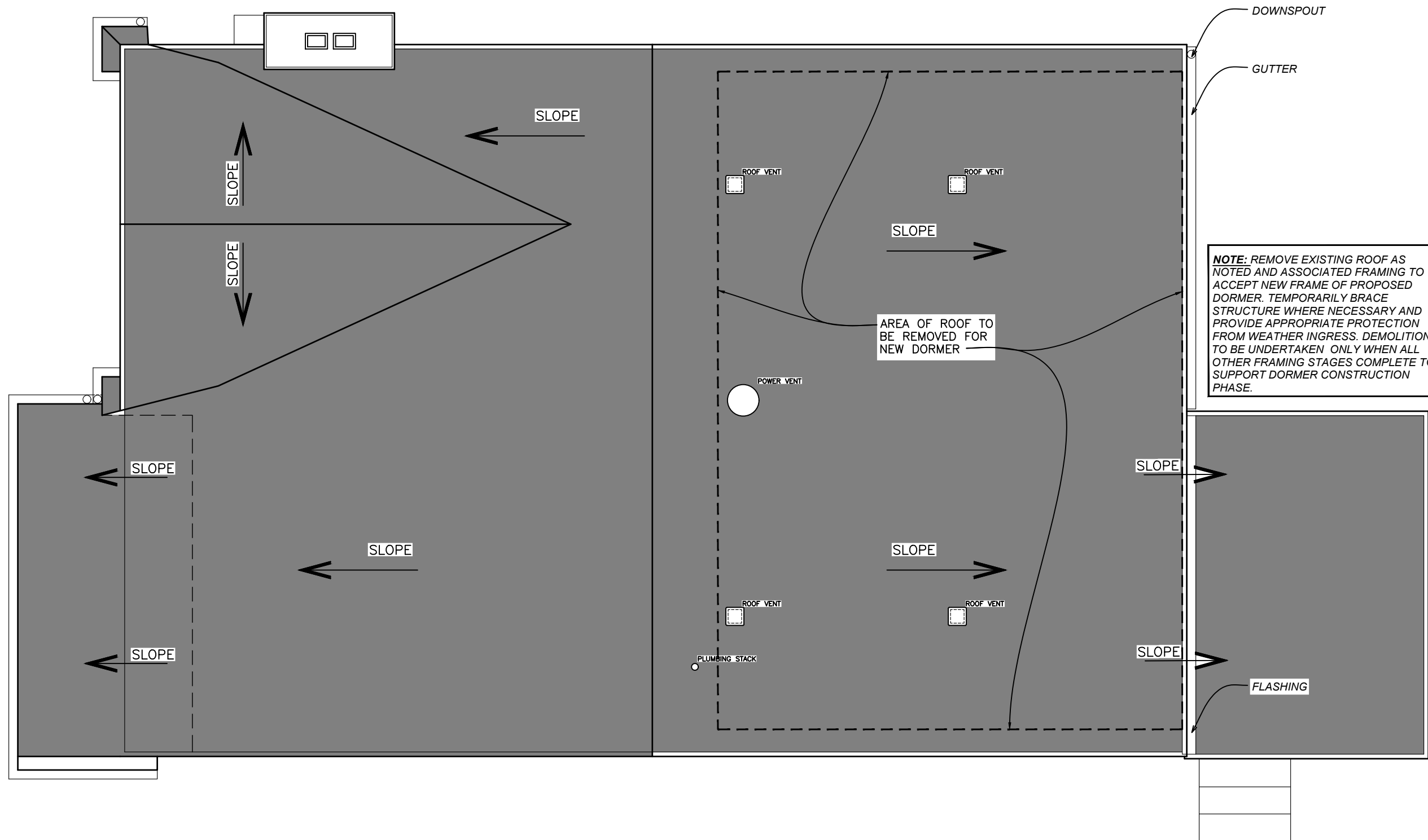
Scale	1/4" = 1'-0"
Drawn	---
Checked	M.A.O.
Approved	

Project no.

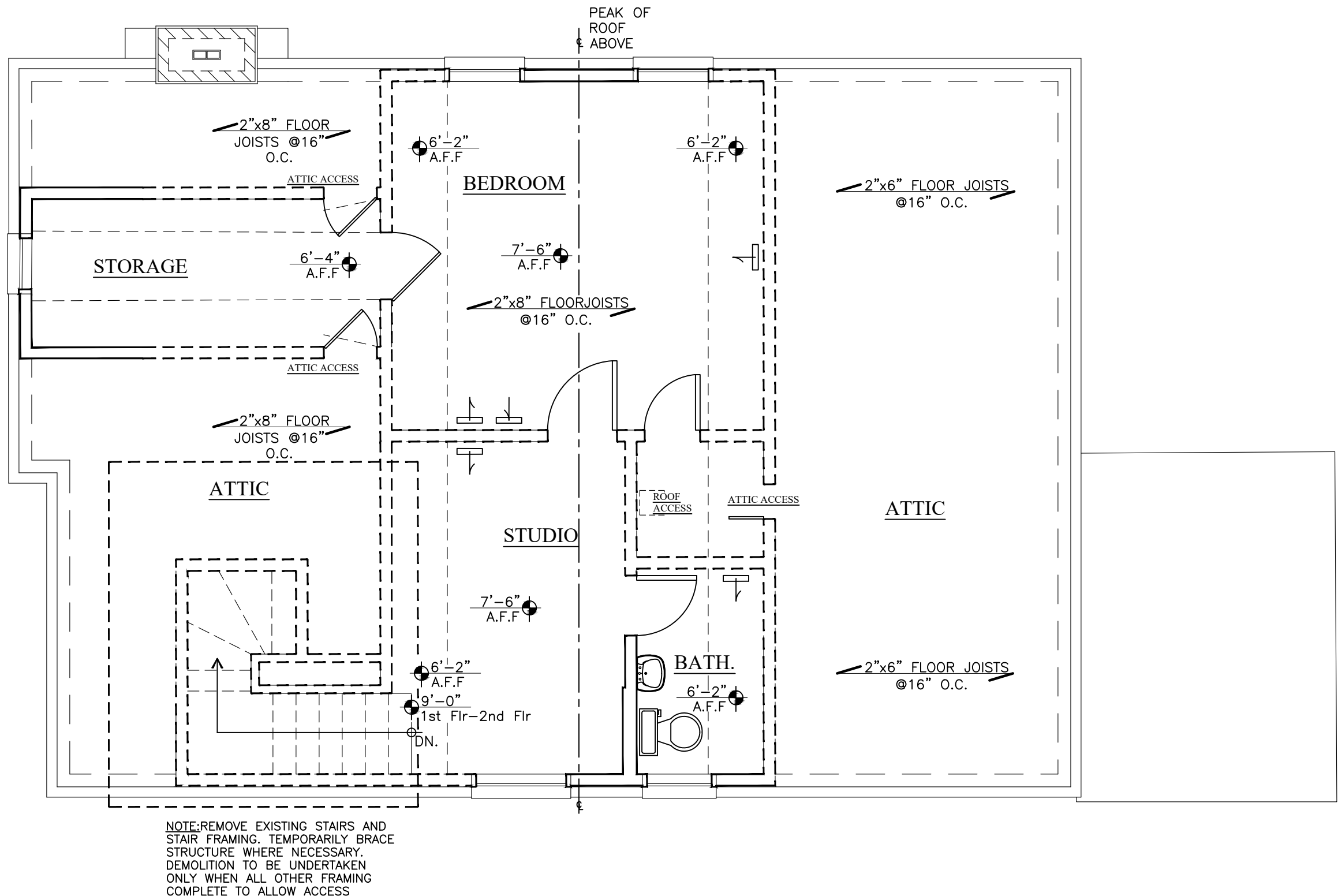
22007

Sheet no.

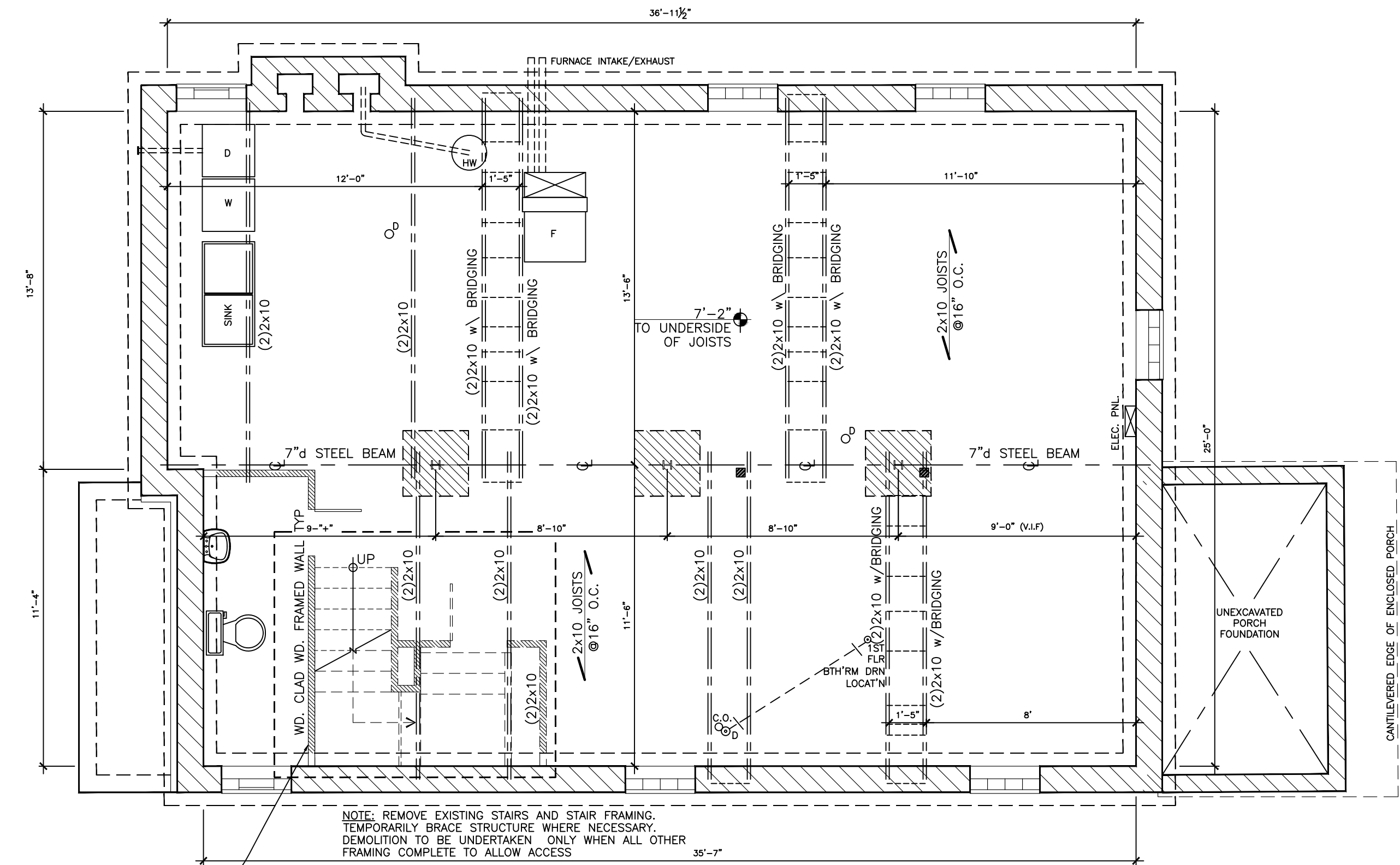
A/D-1



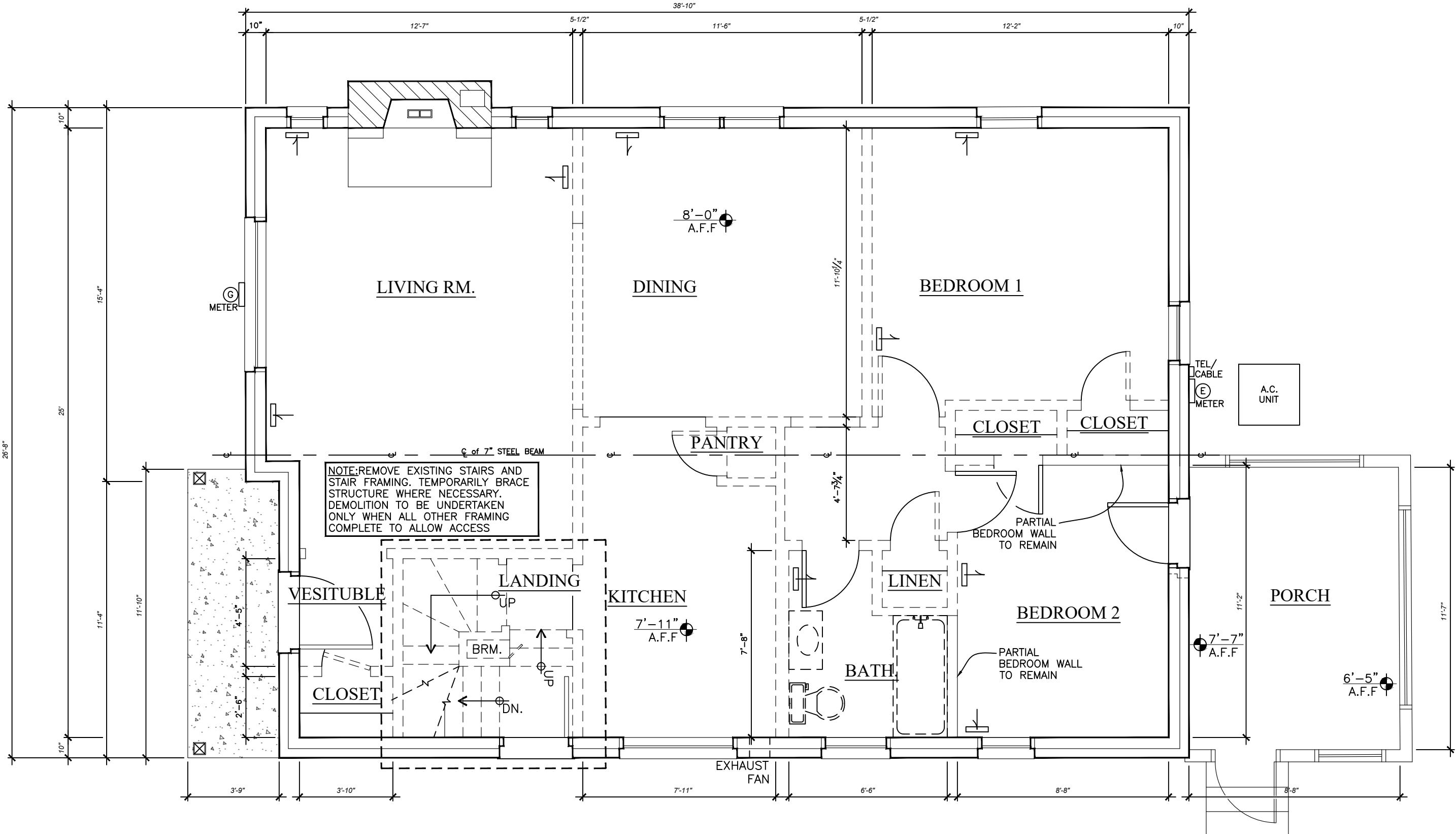
ROOF PLAN - AS BUILT  
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN - AS BUILT  
SCALE: 1/4" = 1'-0"



BASEMENT PLAN - AS BUILT  
SCALE: 1/4" = 1'-0"

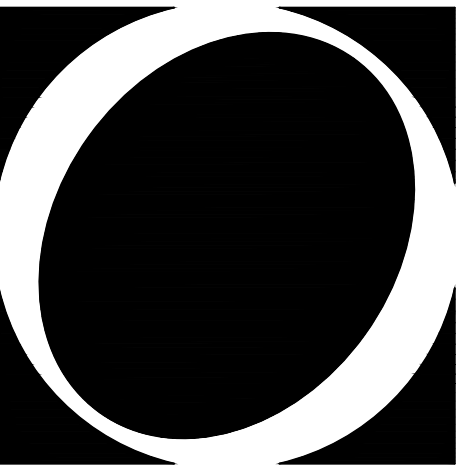


FIRST FLOOR PLAN - AS BUILT  
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

1. TEMPORARILY BRACE STRUCTURE WHERE NECESSARY. PROTECT ENTIRE STRUCTURE FROM WATER, WIND AND WEATHER UNTIL NEW CONSTRUCTION IS IN PLACE.
2. REMOVE ALL INTERIOR WALLS, CEILINGS, MILLWORK AND CASEWORK, ELECTRICAL AND PHONE RECEPTACLES AND LIGHT SWITCHES WHERE REQUIRED; TERMINATE ALL WIRING PER CODE, PER PLAN.
3. PATCH AND REPAIR EXISTING WALLS TO REMAIN, SMOOTH FOR NEW WALL FINISH.
4. STRUCTURALLY BRACE ALL OPENINGS UNTIL PERMANENT HEADERS AND OTHER FRAMING ARE INSTALLED OR UNTIL NEW WALLS ARE IN PLACE.
5. ALL ABANDONED PLUMBING AND ELECTRICAL WORK IS TO BE REMOVED TO A POINT BEHIND OR WITHIN FINISHED FLOOR, WALL OR CEILING SURFACES PER LOCAL CODES.
6. REMOVE DOORS, FRAMES AND CASINGS WHERE SHOWN ON DEMOLITION PLAN AND PROPERLY DISPOSE OF.
7. REMOVE ALL FLOORING AS REQUIRED AND WHERE SHOWN ON DRAWINGS.
8. DASHED LINES REPRESENT ITEMS TO BE REMOVED.
9. SOLID LINES REPRESENT ITEMS TO REMAIN UNLESS NOTED OTHERWISE.





O S T R O W S K I  
D E S I G N   G R O U P , L L C

Programming  
Design  
Construction

25890 CONCORD  
HUNTINGTON WOODS  
MICHIGAN 48070  
TEL. (248) 543-1105  
FAX (248) 543-5049

Project

HOLMES-McGUIRE  
RESIDENCE  
RENOVATIONS

10834 KINGSTON AVE.  
HUNTINGTON WOODS  
MICHIGAN 48070

Sheet

EXISTING ELEVATIONS

Revisions

no.:	date:	by:

Issued for:	Date:
■ preliminary	03-29-22
■ bidding	03-25-22
■ permit	06-13-22
□ construction	

Do Not Scale – Use Figured Dimensions

Scale	1/4" = 1'-0"
Drawn	PJO
Checked	MAO
Approved	

Project no.

22007

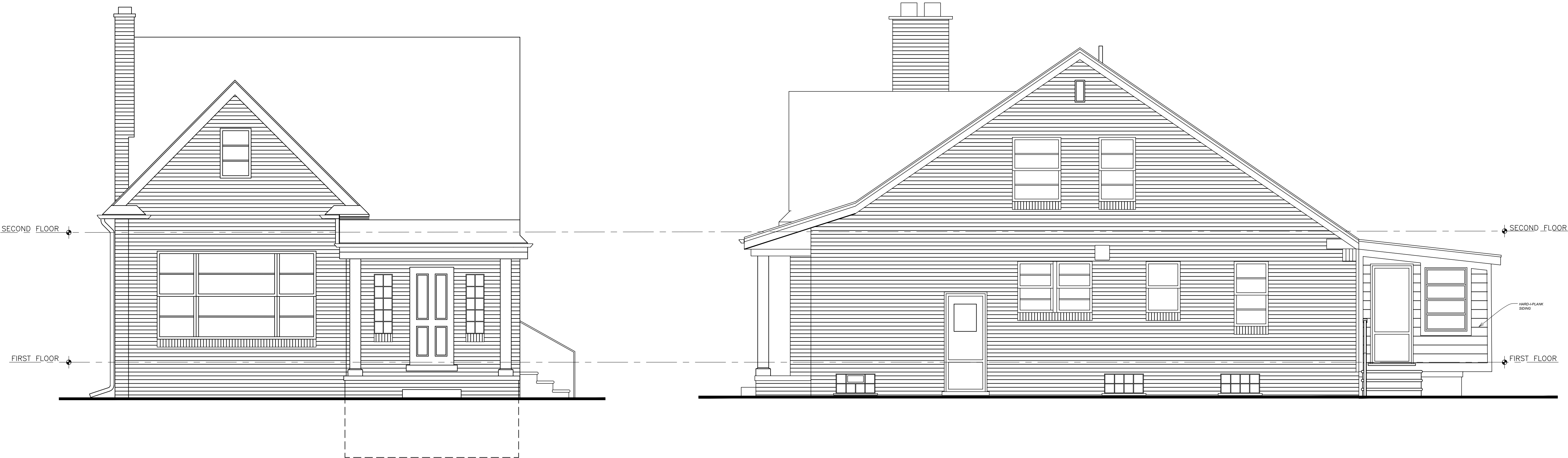
Sheet no.

A-2



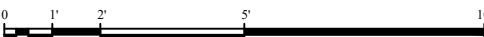
NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

WEST ELEVATION  
SCALE: 1/4" = 1'-0"

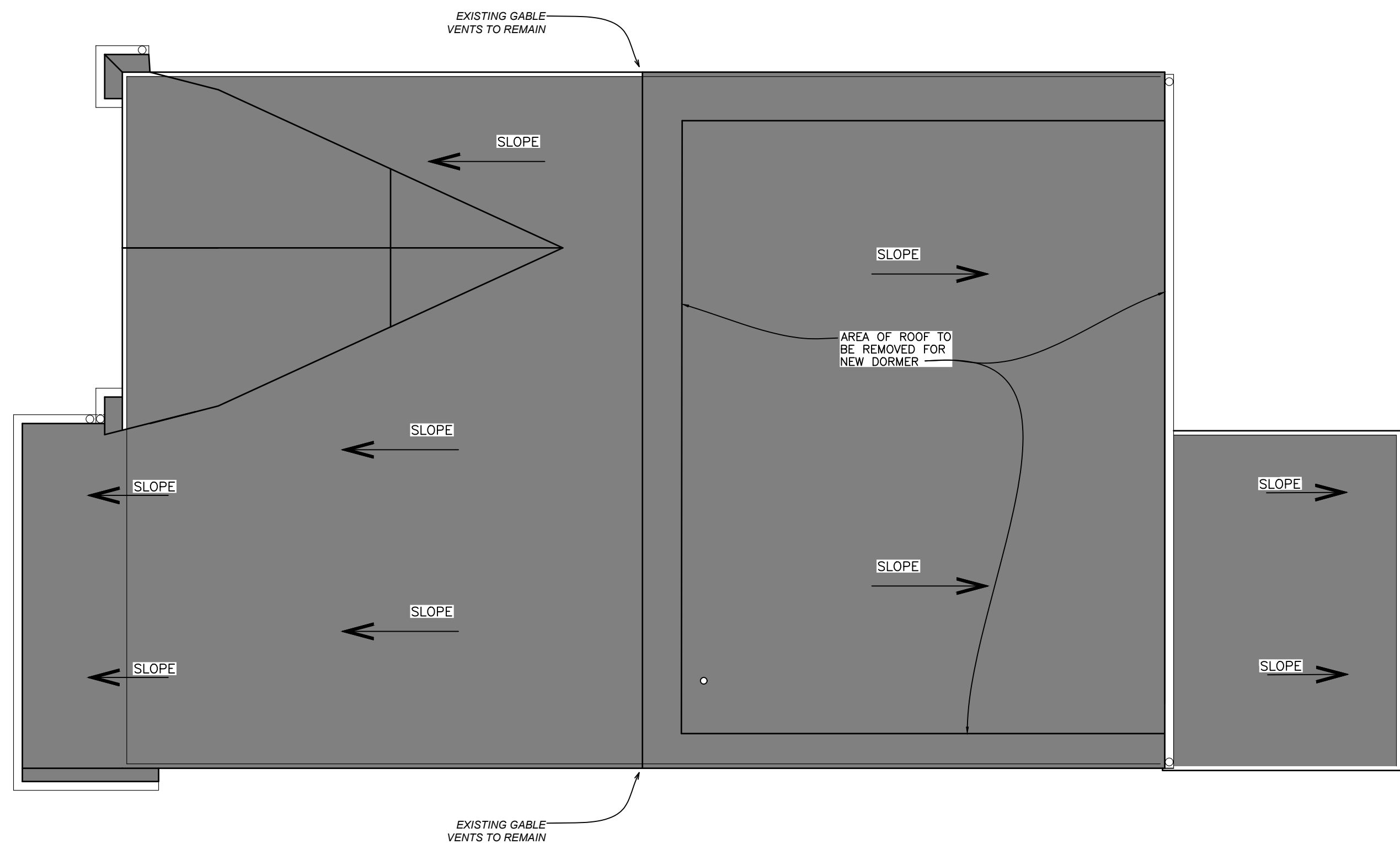


SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

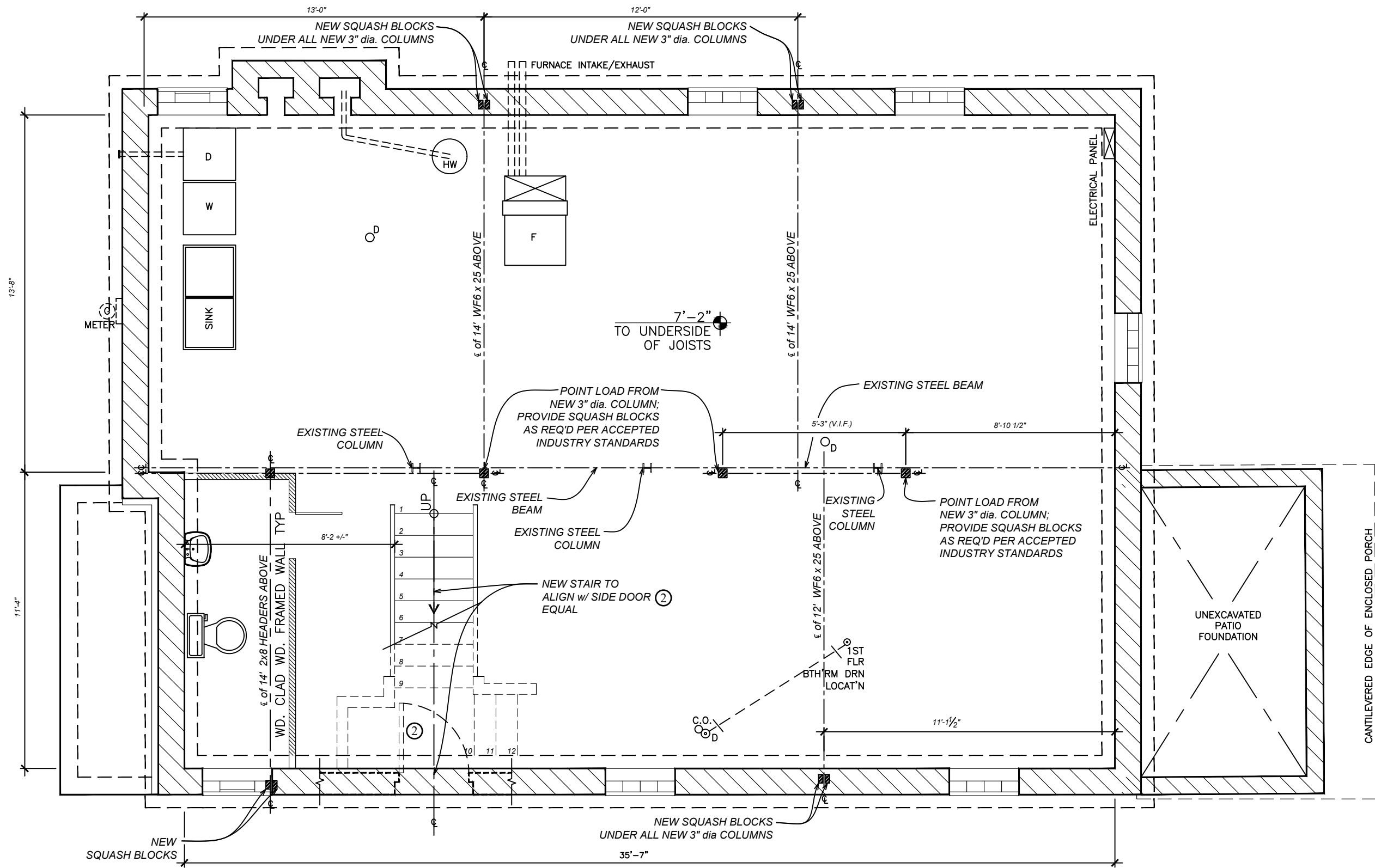
EAST ELEVATION  
SCALE: 1/4" = 1'-0"



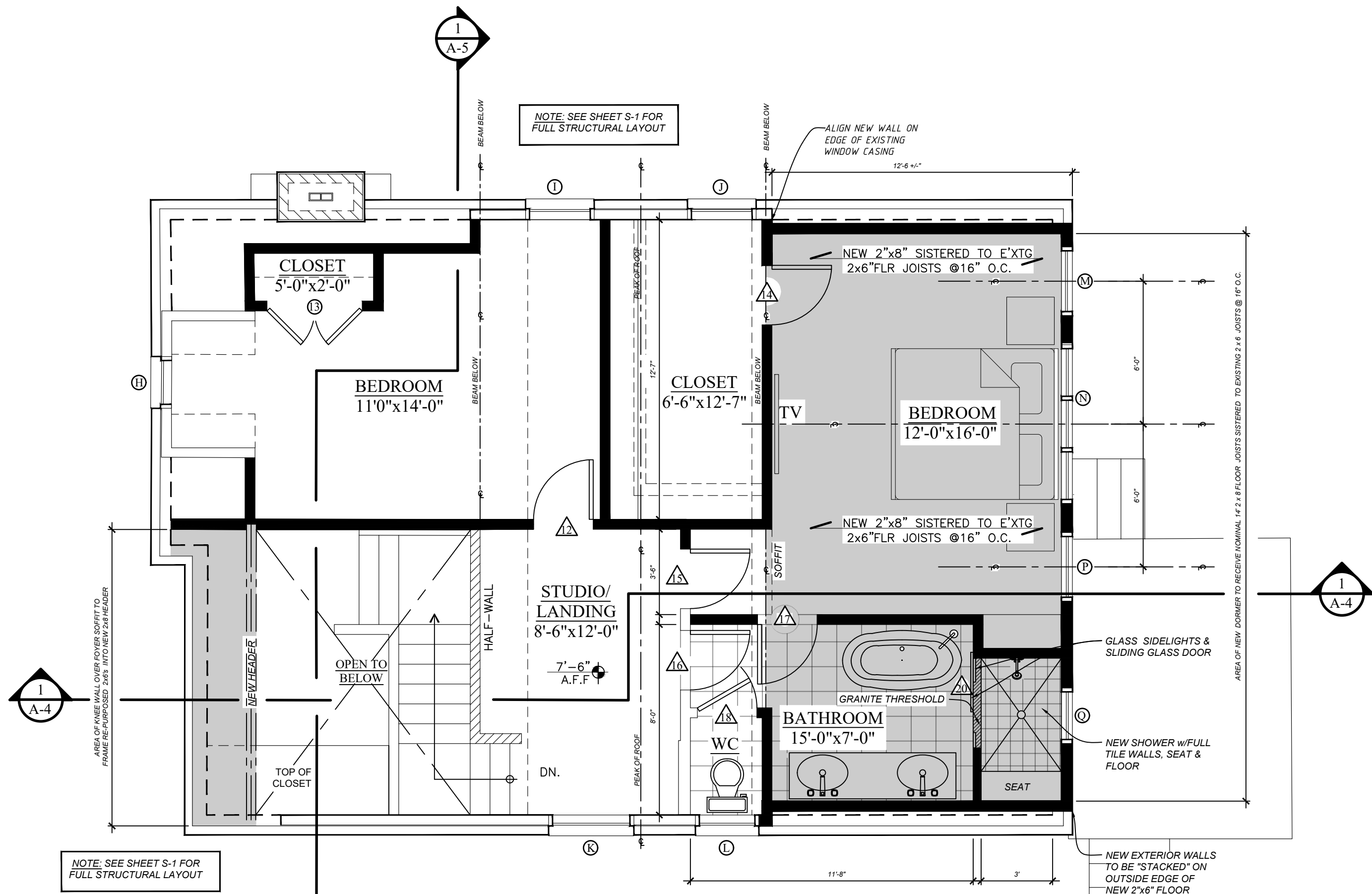




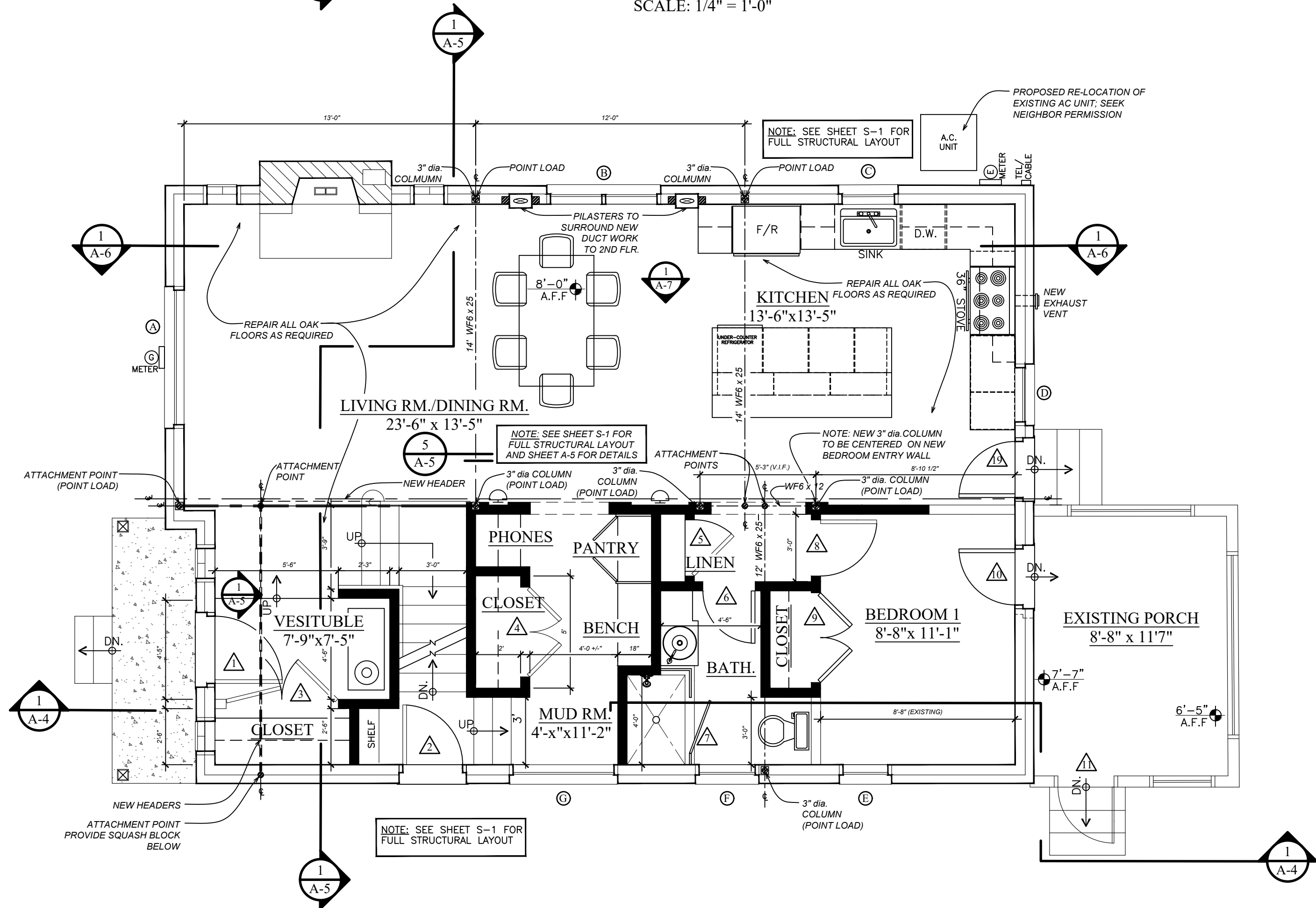
ROOF PLAN - PROPOSED  
SCALE: 1/4" = 1'-0"



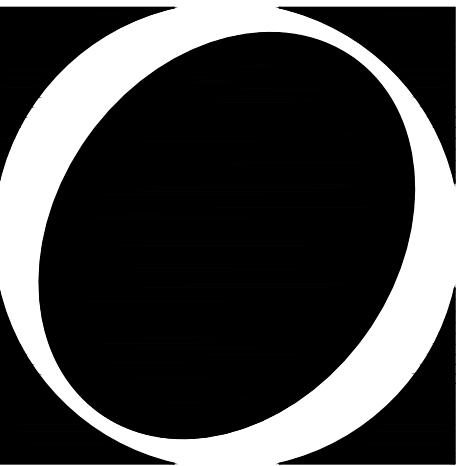
BASEMENT PLAN - PROPOSED  
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN - PROPOSED  
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN - PROPOSED  
SCALE: 1/4" = 1'-0"



O S T R O W S K I  
D E S I G N G R O U P, L L C

Programming  
Design  
Construction

25890 CONCORD  
HUNTINGTON WOODS  
MICHIGAN 48070  
TEL. (248) 543-1105  
FAX (248) 543-5049

Project

HOLMES & MAGUIRE  
RESIDENCE  
RENOVATIONS

10834 KINGSTON AVE.  
HUNTINGTON WOODS  
MICHIGAN 48070

Sheet

PROPOSED FLOOR  
PLANS & ROOF PLAN

Revisions

no.:	date:	by:

Issued for:	Date:
■ preliminary	04-27-22
■ bidding	06-13-22
■ permit	06-13-22
□ construction	

Do Not Scale - Use Figured Dimensions

Scale	1/4" = 1'-0"
Drawn	PJO
Checked	MAO
Approved	

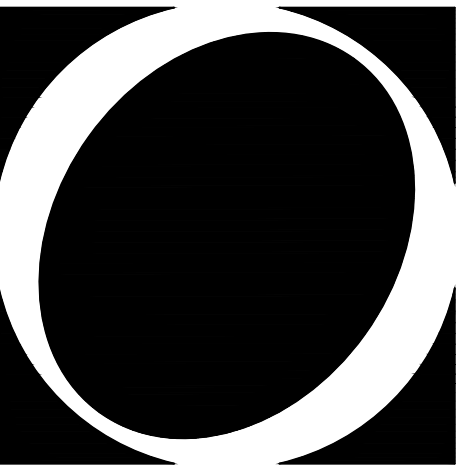
Project no.

22007

Sheet no.

A-3





O S T R O W S K I  
D E S I G N G R O U P, L L C

Programming  
Design  
Construction

25890 CONCORD  
HUNTINGTON WOODS  
MICHIGAN 48070  
TEL. (248) 543-1105  
FAX (248) 543-5049

Project

HOLMES-MAGUIRE  
RESIDENCE  
RENOVATIONS

10834 KINGSTON AVE.  
HUNTINGTON WOOD  
MICHIGAN 48070

Sheet

SECTION

Revisions

no.:	date:	by:

Issued for:	Date:
■ preliminary	05-17-22
■ bidding	06-09-22
■ permit	06-13-22
□ construction	

Do Not Scale - Use Figured Dimensions

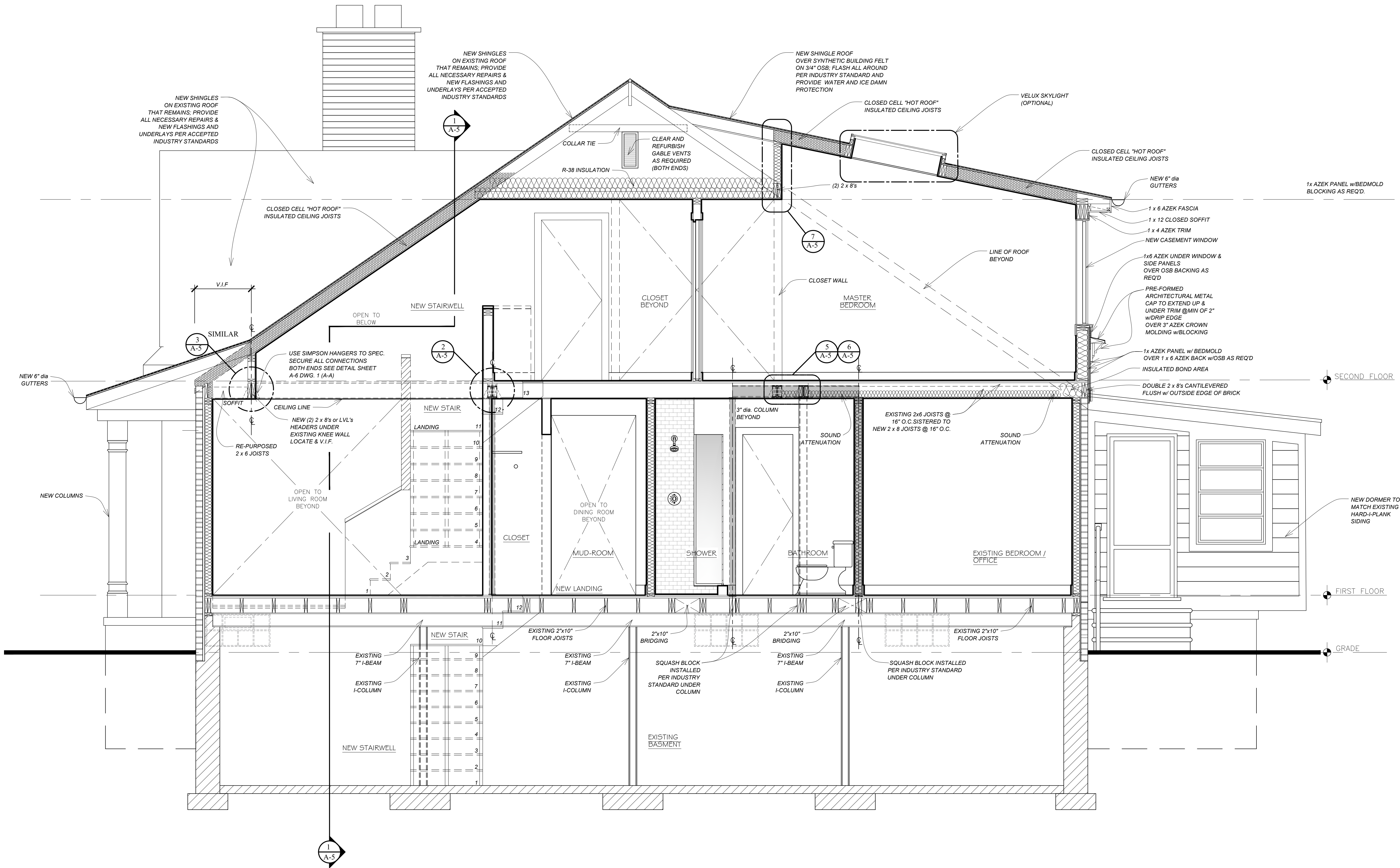
Scale	AS NOTED
Drawn	PJO
Checked	MAO
Approved	

Project no.

22007

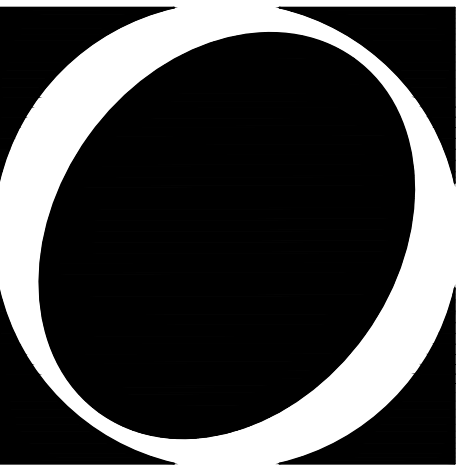
Sheet no.

A-4



SECTION LOOKING WEST  
SCALE: 1/2" = 1'-0"





OSTROWSKI  
DESIGN GROUP, LLC

Programming  
Design  
Construction

25890 CONCORD  
HUNTINGTON WOODS  
MICHIGAN 48070  
TEL. (248) 543-1105  
FAX (248) 543-5049

Project

HOLMES-MAGUIRE  
RESIDENCE  
RENOVATIONS

10834 KINGSTON AVE.  
HUNTINGTON WOOD  
MICHIGAN 48070

Sheet

SECTION &  
DETAILS

Revisions

no.:	date:	by:

Issued for:	Date:
■ preliminary	06-09-22
■ bidding	06-09-22
■ permit	06-13-22
□ construction	

Do Not Scale - Use Figured Dimensions

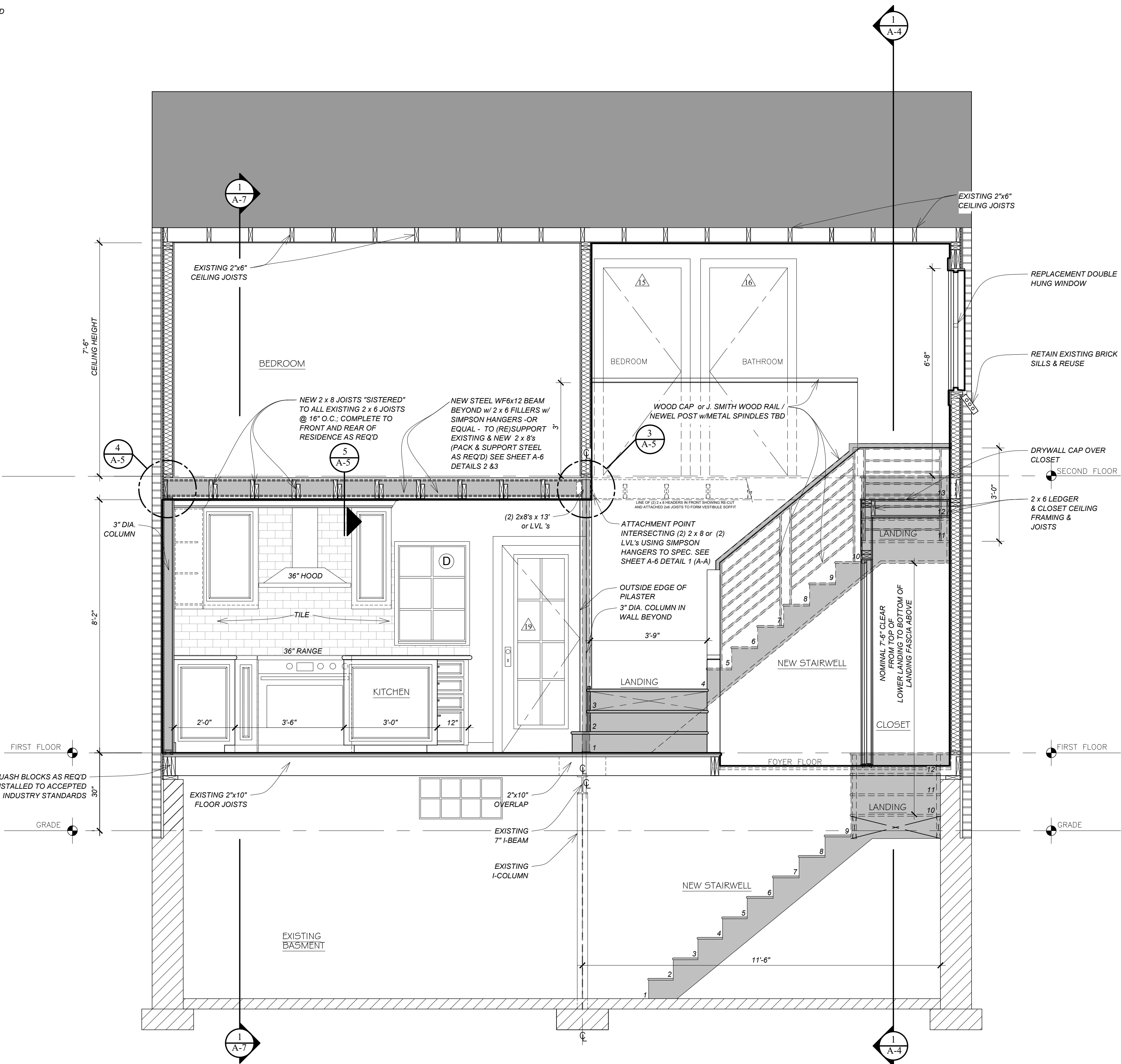
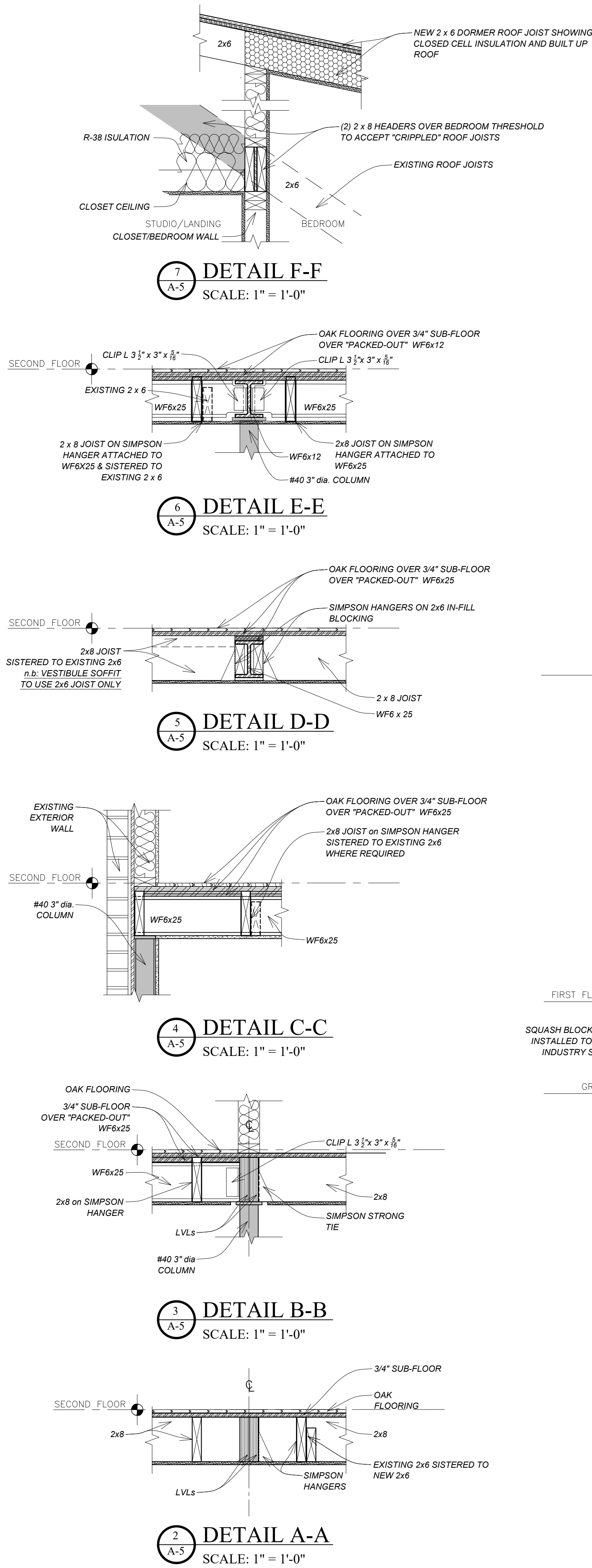
Scale	AS NOTED
Drawn	PJO
Checked	---
Approved	---

Project no.

22007

Sheet no.

A-5



1  
A-5  
INTERIOR SECTION-ELEVATION LOOKING NORTH  
SCALE: 1/2" = 1'-0"





Programming  
Design  
Construction

25890 CONCORD  
HUNTINGTON WOODS  
MICHIGAN 48070  
TEL. (248) 543-1105  
FAX (248) 543-5049

Project

# HOLMES-MAGUIRE RESIDENCE RENOVATIONS

10834 KINGSTON AVE.  
HUNTINGTON WOOD  
MICHIGAN 48070

Sheet

## SECTION

## Revisions

no.:            date:                                  by:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

---

---

---

---

Issued for:            Date:

05-17-22

- preliminary 99-17-22
- bidding 06-09-22

06 13 22

06-13-22  
 permit☐ construction \_\_\_\_\_

Do Not Scale – Use Figured Dimensions

Scale AS NOTED

---

Drawn PJ0

Checked MAO

Checked \_\_\_\_\_  
Approved \_\_\_\_\_

Approved \_\_\_\_\_

Project no. \_\_\_\_\_

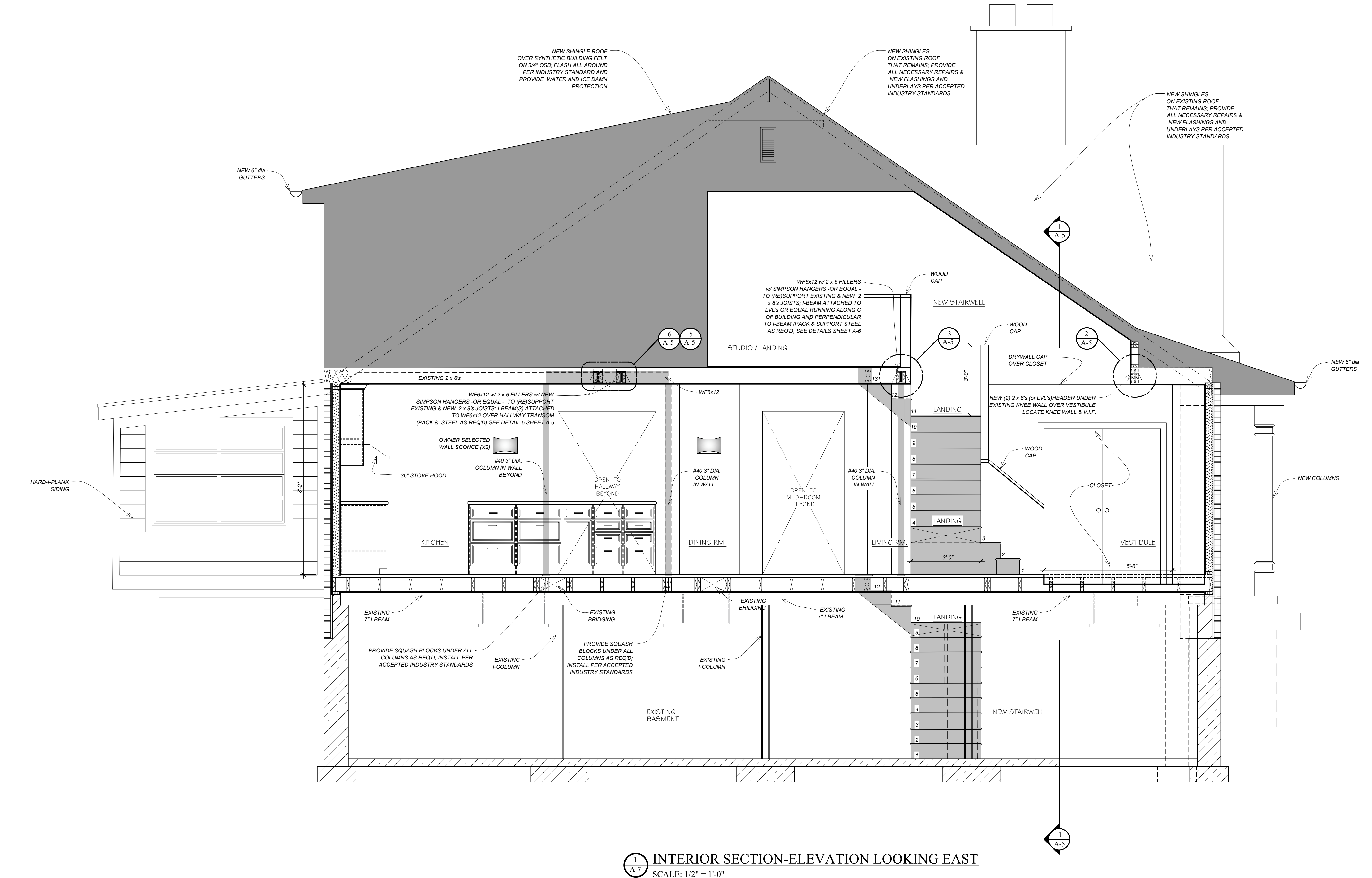
00005

22007

Sheet no. \_\_\_\_\_

Sheet no. \_\_\_\_\_

A-6

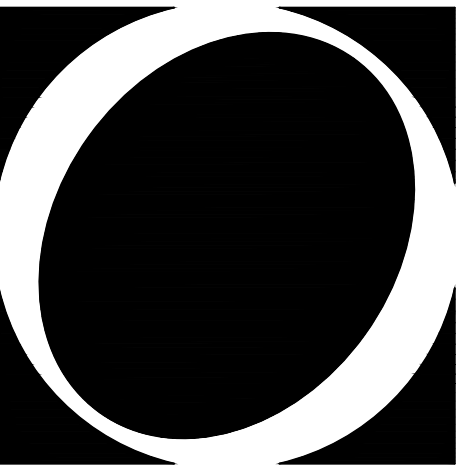
 $\lambda=0$  $\lambda = 0$ 

1  
A-7

INTERIOR SECTION-ELEVATION LOOKING EAST

SCALE: 1/2" = 1'-0"





O S T R O W S K I  
D E S I G N G R O U P, L L C

Programming  
Design  
Construction

25890 CONCORD  
HUNTINGTON WOODS  
MICHIGAN 48070  
TEL. (248) 543-1105  
FAX (248) 543-5049

Project

HOLMES-McGUIRE  
RESIDENCE  
RENOVATIONS

10834 KINGSTON AVE.  
HUNTINGTON WOODS  
MICHIGAN 48070

Sheet

PROPOSED  
ELEVATIONS

Revisions

no.:	date:	by:

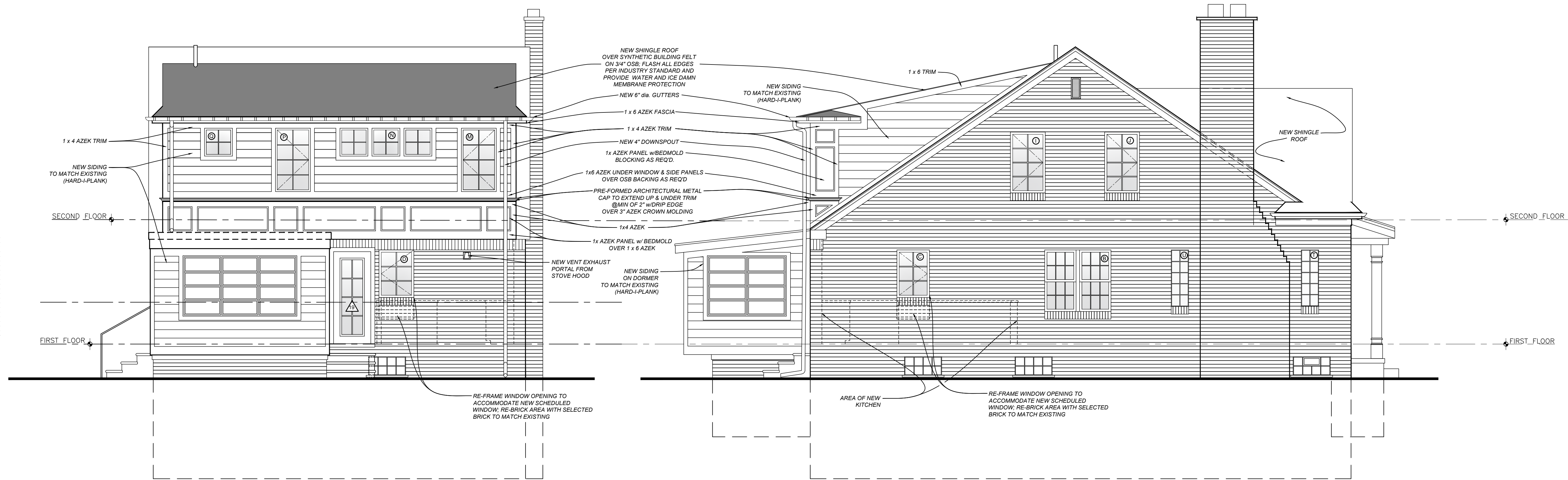
Issued for:	Date:
■ preliminary	03-29-22
■ bidding	03-25-22
■ permit	06-03-22
□ construction	

Do Not Scale - Use Figured Dimensions

Scale	1/4" = 1'-0"
Drawn	PJO
Checked	MAO
Approved	

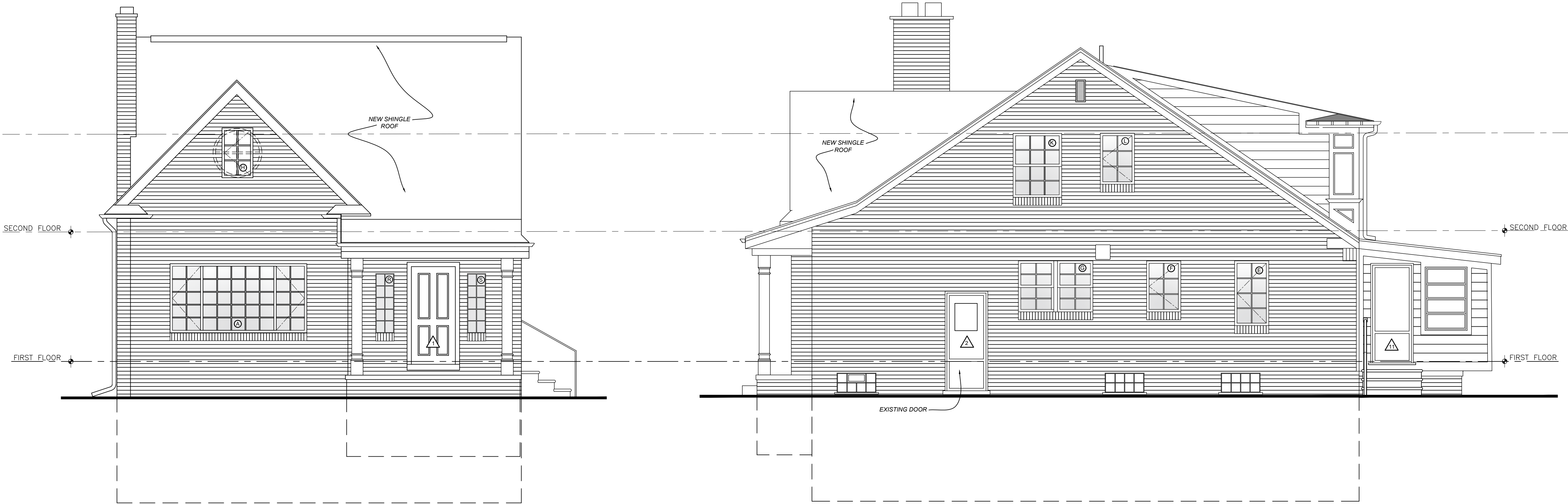
Project no.  
**22007**

Sheet no.  
**A-7**



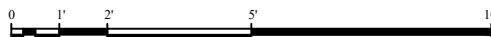
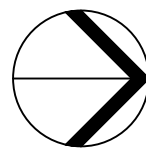
NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

WEST ELEVATION  
SCALE: 1/4" = 1'-0"

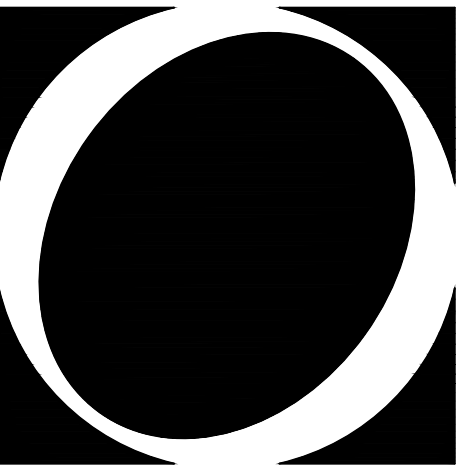


SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

EAST ELEVATION  
SCALE: 1/4" = 1'-0"







O S T R O W S K I  
DESIGN GROUP, LLC

Programming  
Design  
Construction

25890 CONCORD  
HUNTINGTON WOODS  
MICHIGAN 48070  
TEL. (248) 543-1105  
FAX (248) 543-5049

Project

HOLMES-McGUIRE  
RESIDENCE  
RENOVATIONS

10834 KINGSTON AVE.  
HUNTINGTON WOODS  
MICHIGAN 48070

Sheet

ELECTRICAL PLANS  
LIGHTING PLANS

Revisions

no.:	date:	by:

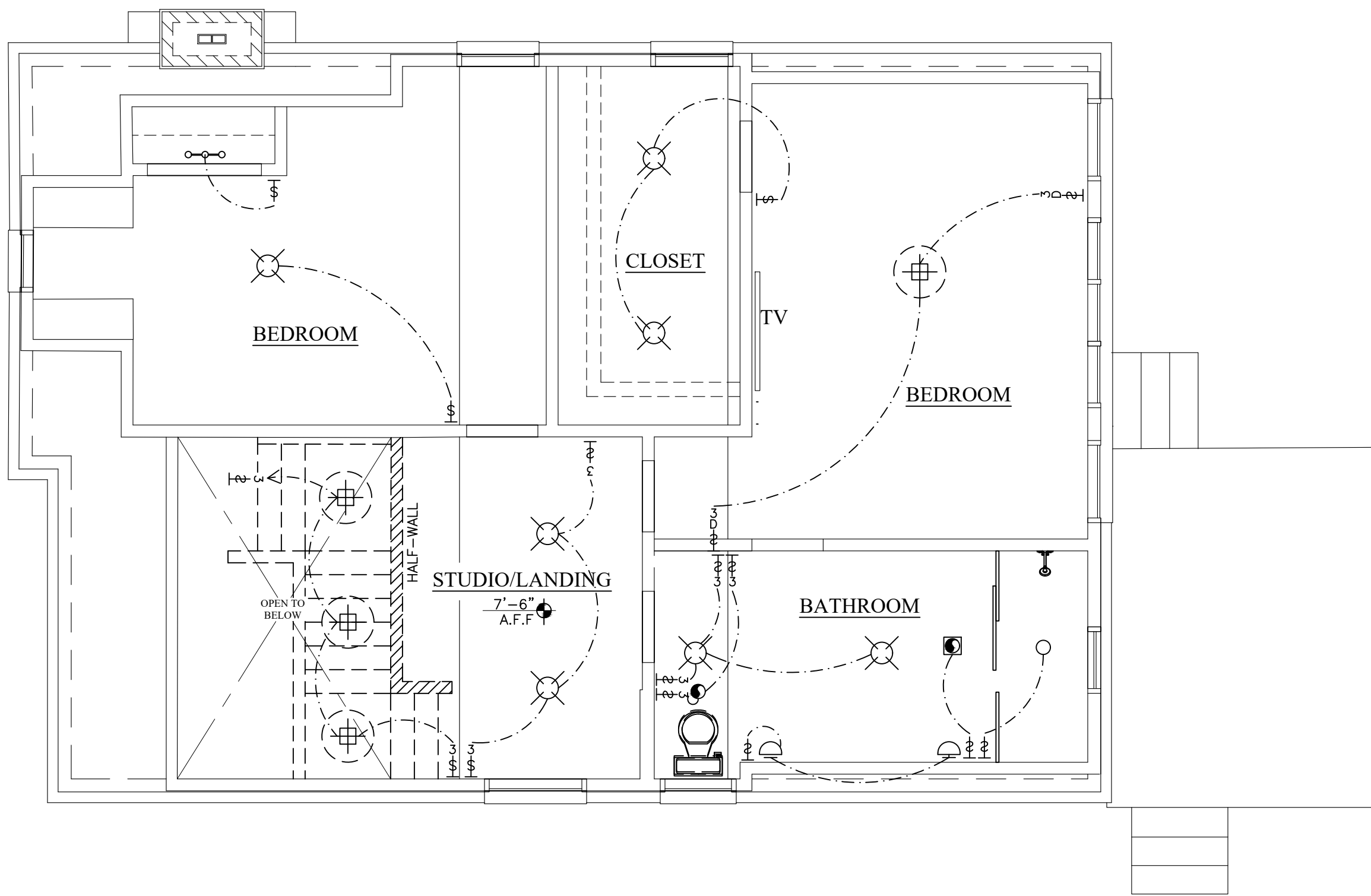
Issued for:	Date:
■ preliminary	03-29-22
■ bidding	04-21-22
■ permit	06-13-22
□ construction	

Do Not Scale - Use Figured Dimensions

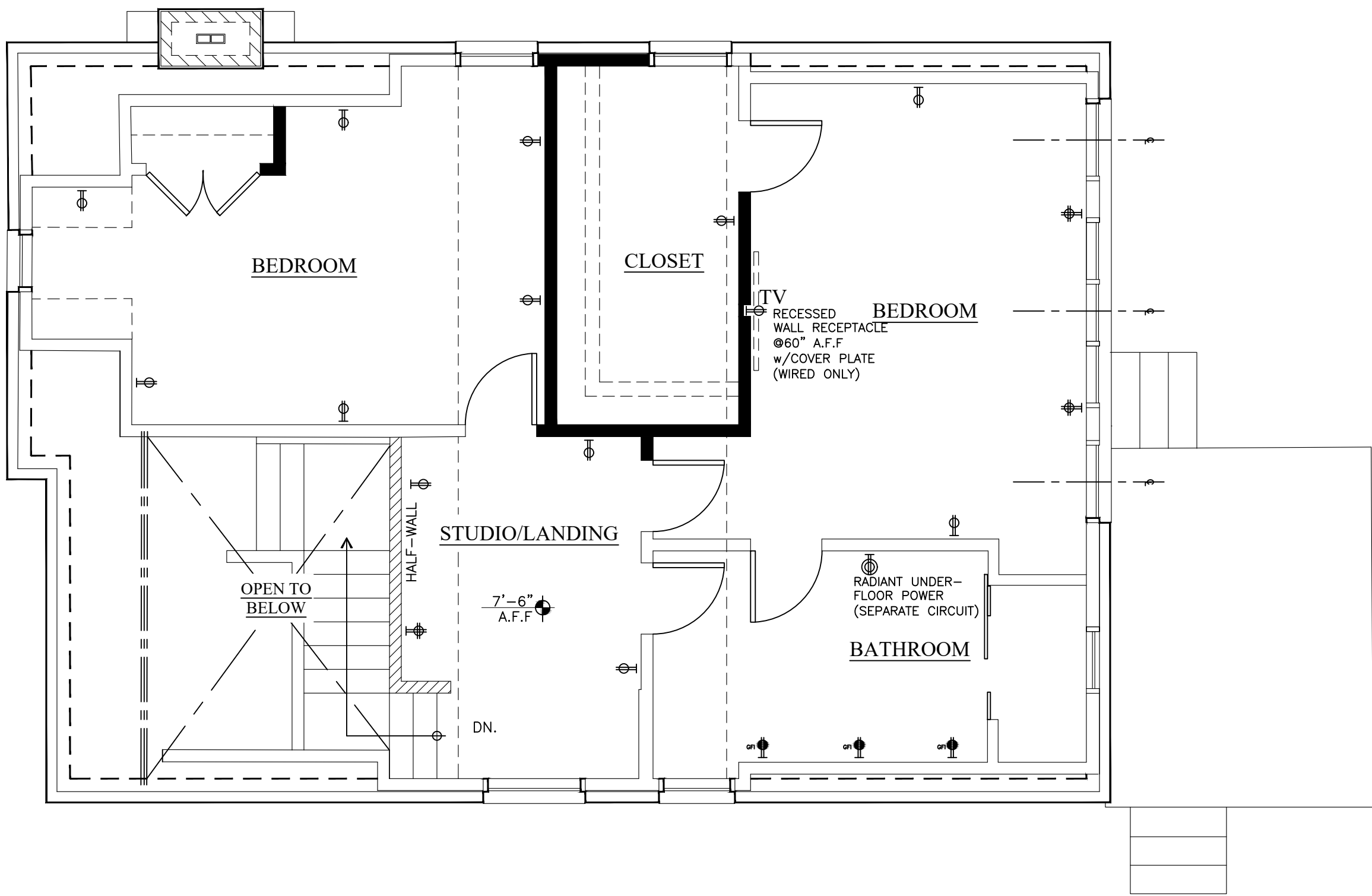
Scale	1/4" = 1'-0"
Drawn	PJO
Checked	MAO
Approved	

Project no.  
22007

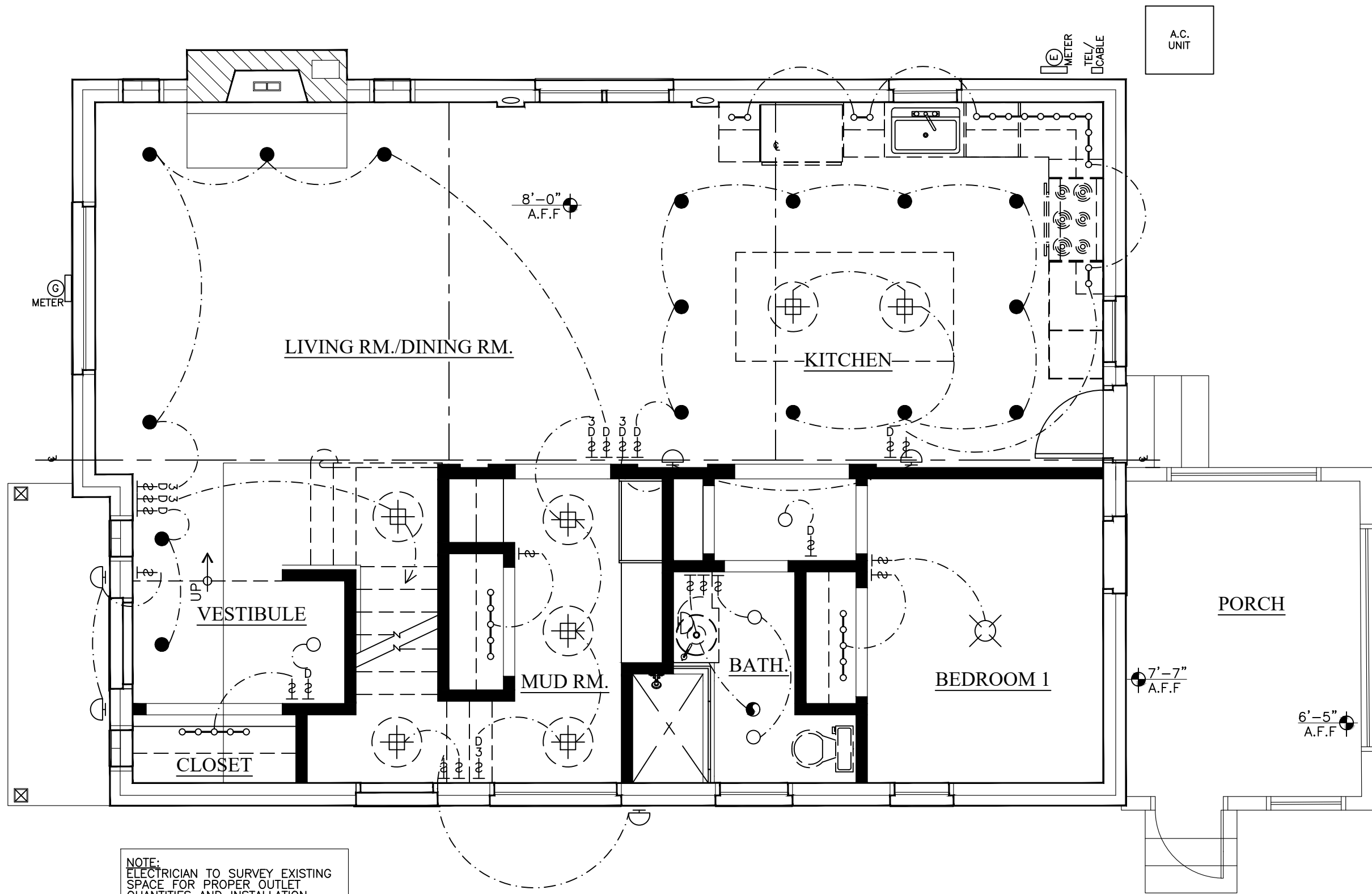
Sheet no.  
E/L-1



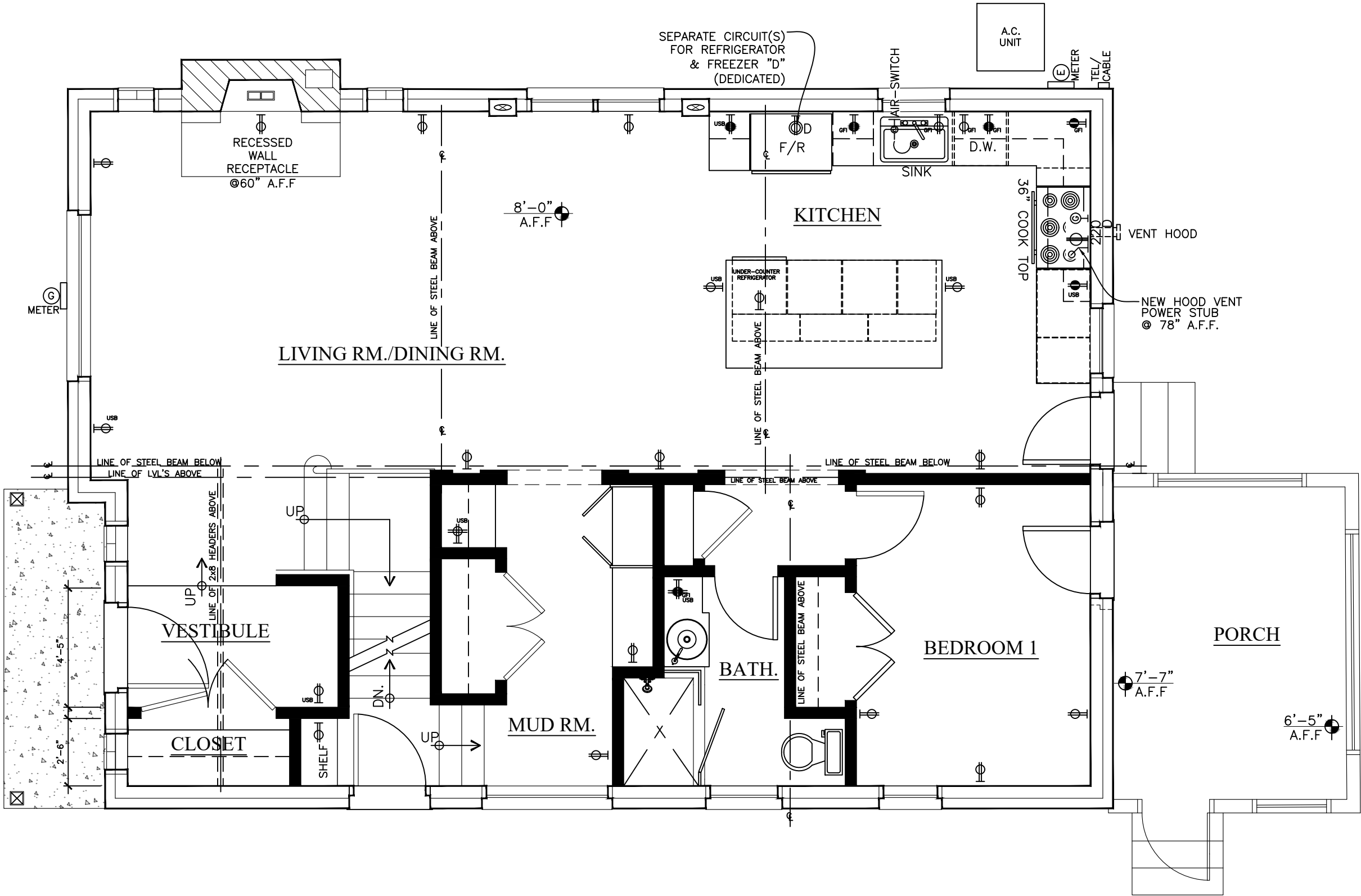
SECOND FLOOR LIGHTING PLAN  
SCALE: 1/4" = 1'-0"



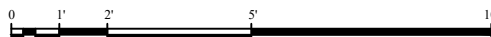
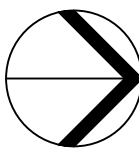
SECOND FLOOR ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

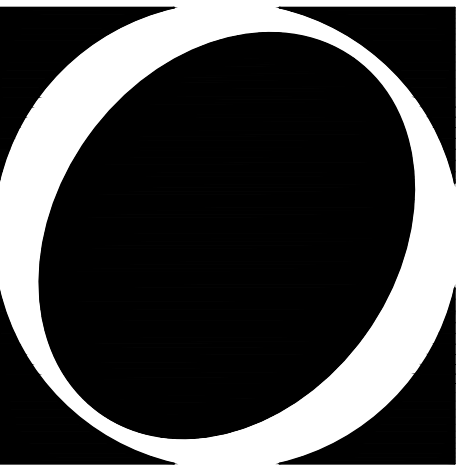


FIRST FLOOR LIGHTING PLAN  
SCALE: 1/4" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"





O S T R O W S K I  
DESIGN GROUP, LLC

Programming  
Design  
Construction

25890 CONCORD  
HUNTINGTON WOODS  
MICHIGAN 48070  
TEL. (248) 543-1105  
FAX (248) 543-5049

Project

HOLMES-McGUIRE  
RESIDENCE  
RENOVATIONS

10834 KINGSTON AVE.  
HUNTINGTON WOODS  
MICHIGAN 48070

Sheet

STRUCTURAL PLAN  
ROOF FRAMING PLAN  
& SCHEDULES

Revisions

no.:	date:	by:

Issued for:	Date:
■ preliminary	06-09-22
■ bidding	06-09-22
■ permit	06-09-22
□ construction	

Do Not Scale - Use Figured Dimensions

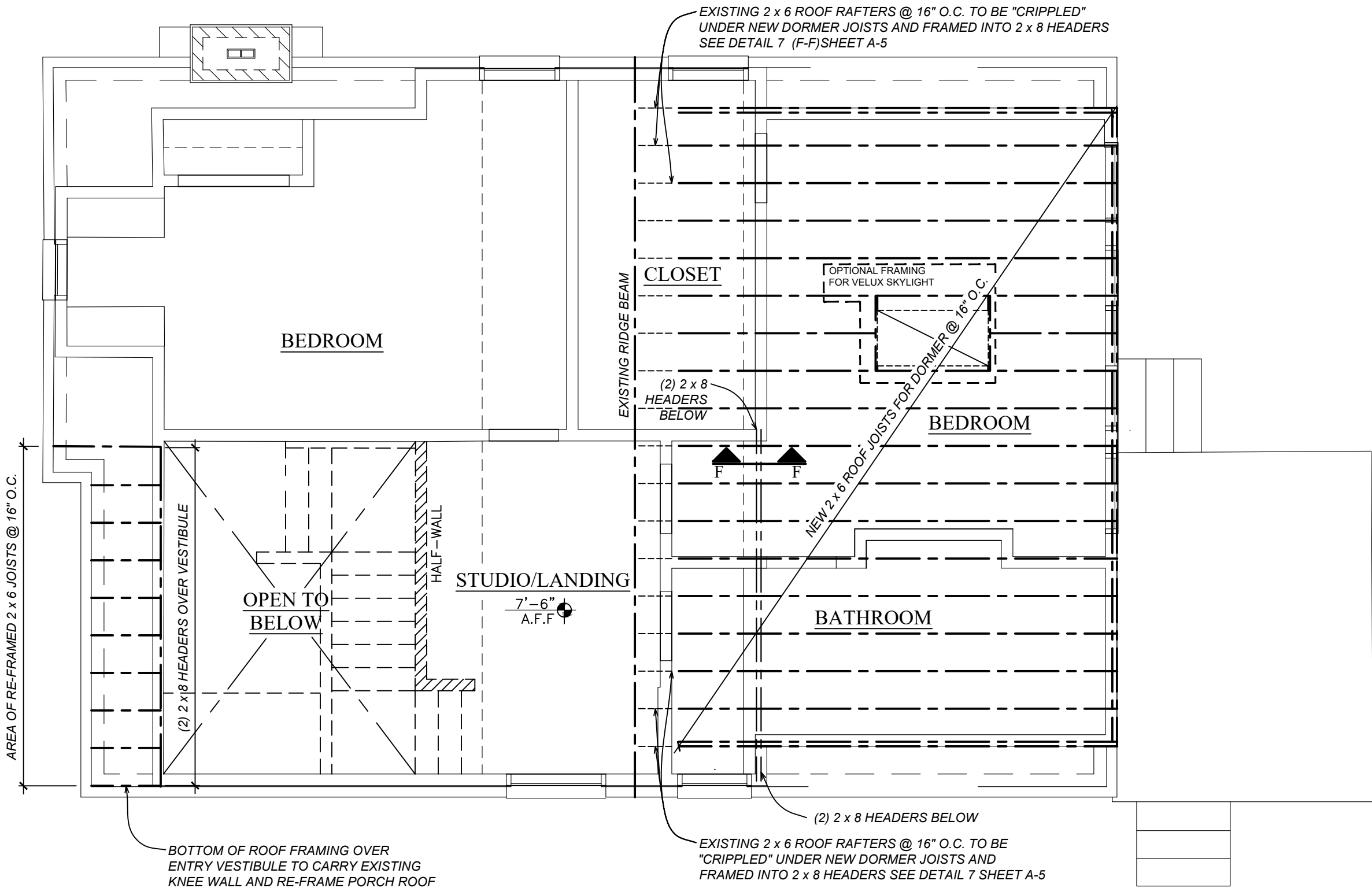
Scale	1/4" = 1'-0"
Drawn	PJO
Checked	---
Approved	---

Project no.

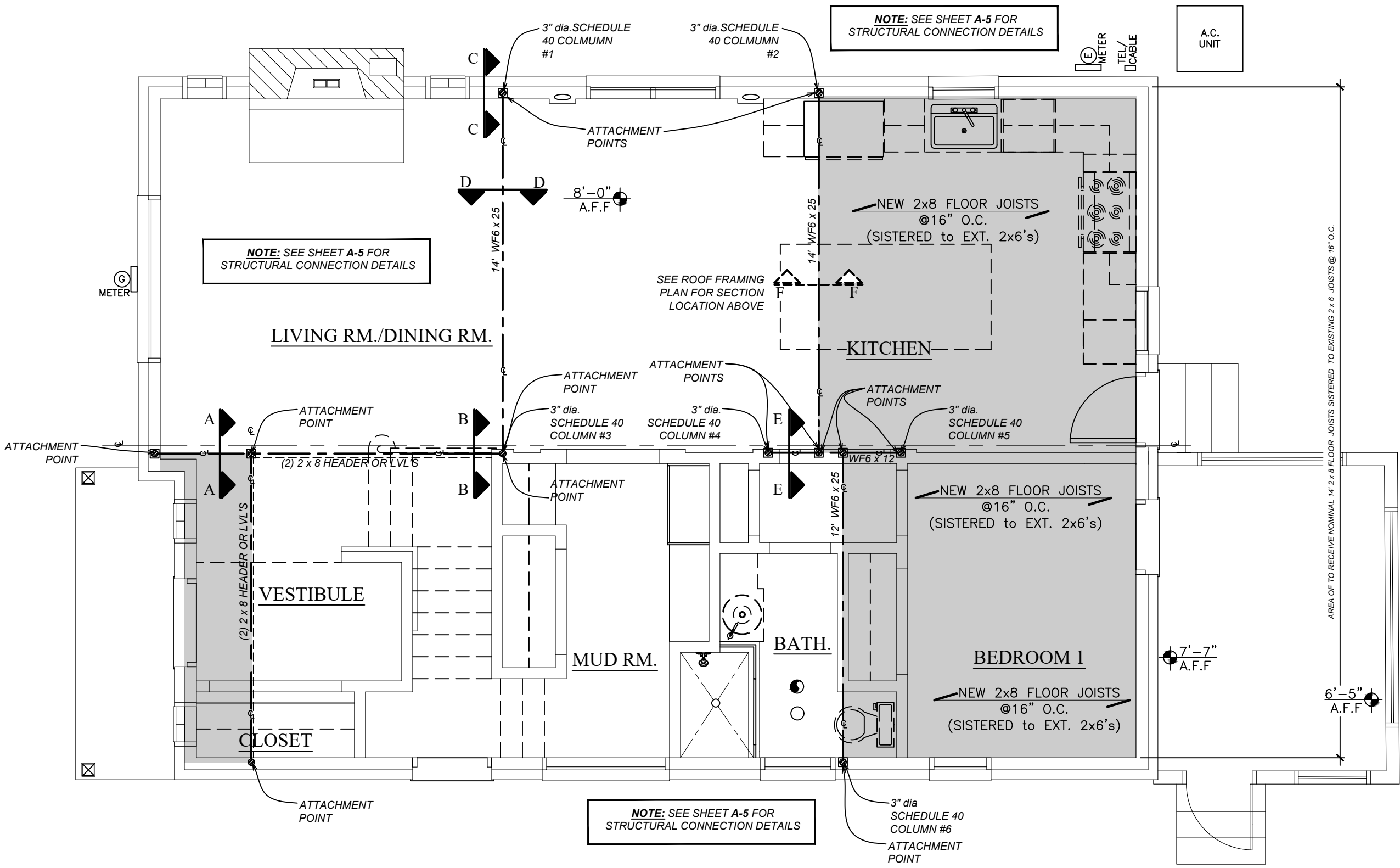
22007

Sheet no.

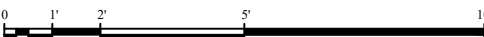
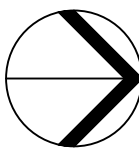
S-1



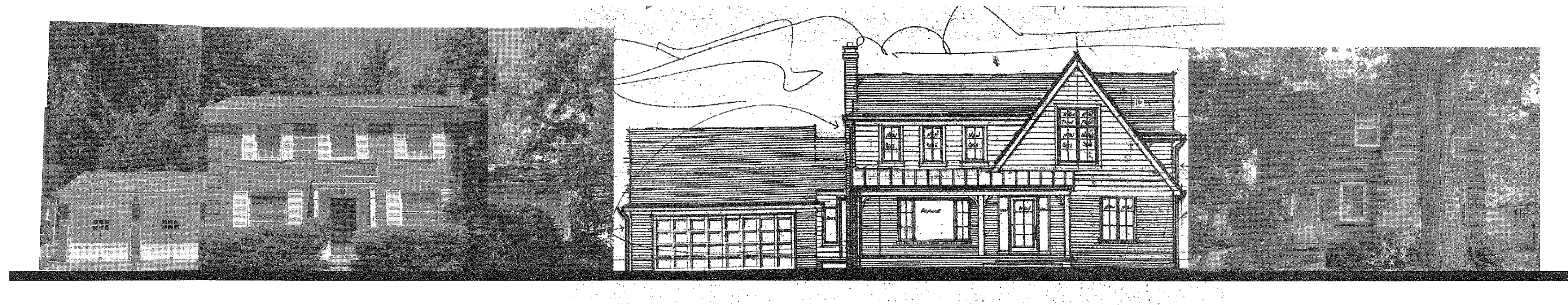
ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"



STRUCUTRAL FRAMING PLAN  
SCALE: 1/4" = 1'-0"





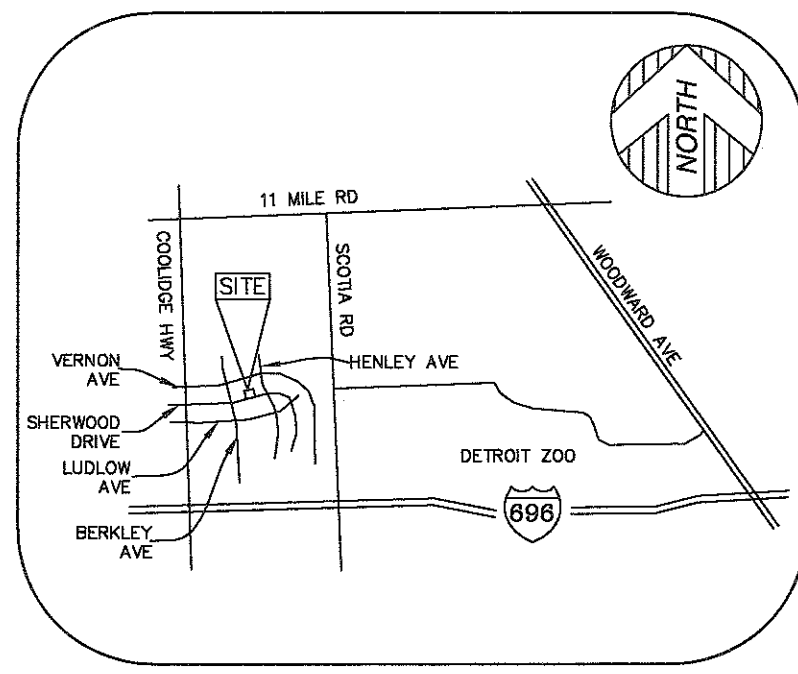


13130 SHERWOOD

13120 SHERWOOD

13116 SHERWOOD





VICINITY MAP  
(NOT TO SCALE)

PARCEL AREA

11,087± SQUARE FEET = 0.25± ACRES

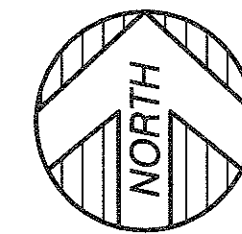
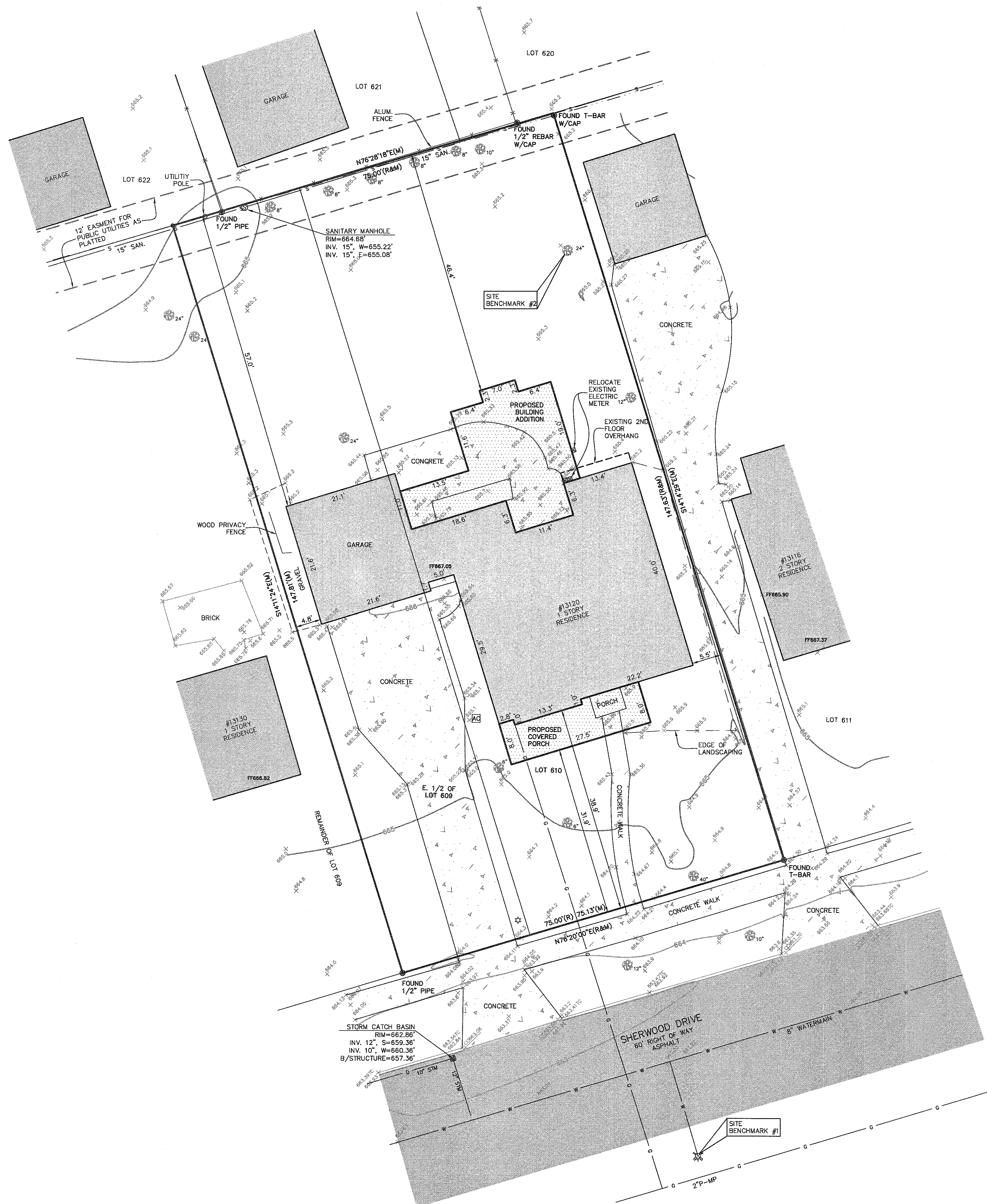
BENCHMARK

SITE BENCHMARK #1  
CITY OF HUNTINGTON WOODS BENCHMARK #80, HYDRANT ARROW.  
ELEVATION = 665.77' (NAVD 88)

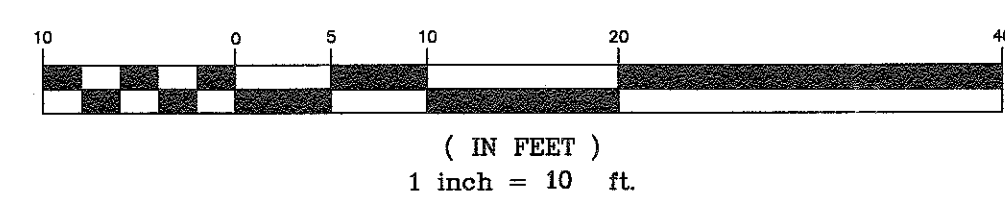
SITE BENCHMARK #2  
MAG NAIL IS WEST SIDE OF 24" TREE, N.E. SIDE OF SITE.  
ELEVATION = 667.17' (NAVD 88)

LEGEND

●	SET 1/2" REBAR WITH CAP P.S. 47976
⊙	FOUND MONUMENT (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
⊕	GROUND ELEVATION
⊙	UTILITY POLE
⊙	SANITARY MANHOLE
⊙	SQUARE CATCH BASIN
⊙	FIRE HYDRANT
⊙	AIR CONDITIONING UNIT
⊙	DECIDUOUS TREE (AS NOTED)
⊙	CONIFEROUS TREE (AS NOTED)
---	PARCEL BOUNDARY LINE
---	PLATTED LOT LINE
---	EASEMENT (AS NOTED)
---	BUILDING
---	BUILDING OVERHANG
---	CONCRETE CURB
---	EDGE OF CONCRETE (CONC.)
---	EDGE OF BRICK
---	EDGE OF GRAVEL
---	FENCE (AS NOTED)
---	OVERHEAD UTILITY LINE
---	GAS LINE
---	SANITARY LINE
---	STORM LINE
---	WATER LINE
---	MINOR CONTOUR LINE
---	MAJOR CONTOUR LINE
---	BUILDING AREA
---	ASPHALT
---	CONCRETE



GRAPHIC SCALE



PROPERTY DESCRIPTION

THE LAND SITUATED IN THE CITY OF HUNTINGTON WOODS, COUNTY OF OAKLAND, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

EAST 1/2 OF LOT 609 AND ALL OF LOT 610 McGIVERIN-HALDEMAN'S HUNTINGTON WOODS MANOR

SURVEYOR'S NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

2. A CURRENT TITLE POLICY HAS NOT BEEN FURNISHED AT TIME OF SURVEY. THEREFORE EASEMENTS AND/OR ENCUMBRANCES AFFECTING SUBJECT PARCEL MAY NOT BE SHOWN.

ZONING REGULATIONS

RT-C ONE FAMILY DISTRICT

\*MINIMUM LOT AREA - 7,000 SQUARE FEET  
\*MINIMUM LOT WIDTH - 50 FEET

\*MIN. YARD SETBACK -  
FRONT - 30 FEET  
LEAST ONE SIDE - 5 FEET  
TOTAL TWO SIDES - 14 FEET  
REAR - 35 FEET

\*MAXIMUM HEIGHT - 2 STORIES/30 FEET

NOTE: ALL ZONING INFORMATION IS TAKEN FROM THE CITY OF HUNTINGTON WOODS WEBSITE. ALL ZONING INFORMATION MUST BE VERIFIED FOR COMPLETENESS WITH CURRENT ZONING REGULATIONS.

SURVEYOR'S CERTIFICATION

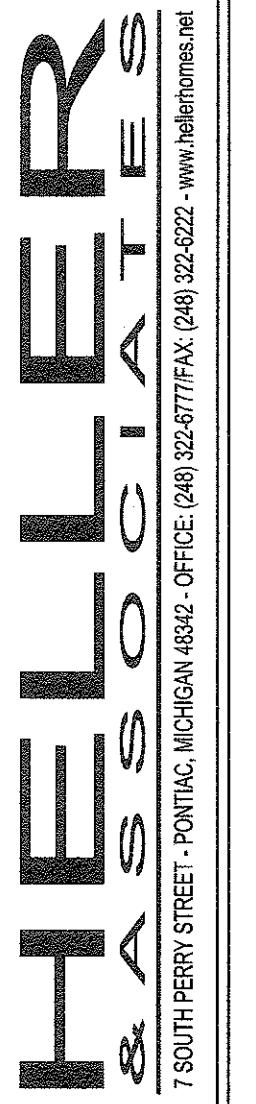
I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED. THE ELEVATIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY AND THE DRAWING HEREON DELINEATED IS A CORRECT REPRESENTATION OF THE SAME.

DRAFT

ANTHONY T. SYCKO, JR., P.S.  
PROFESSIONAL SURVEYOR  
MICHIGAN LICENSE NO. 47976  
22556 GRATIOT AVE., EASTPOINTE, MI 48021  
TSycko@kemtec-survey.com

DATE	BY	REVISION	DESCRIPTION
07/01/22	JD		
07/06/22	ATS		
JULY 06, 2022			
PROJECT NO.	22-01674		
SCALE	1" = 10'		





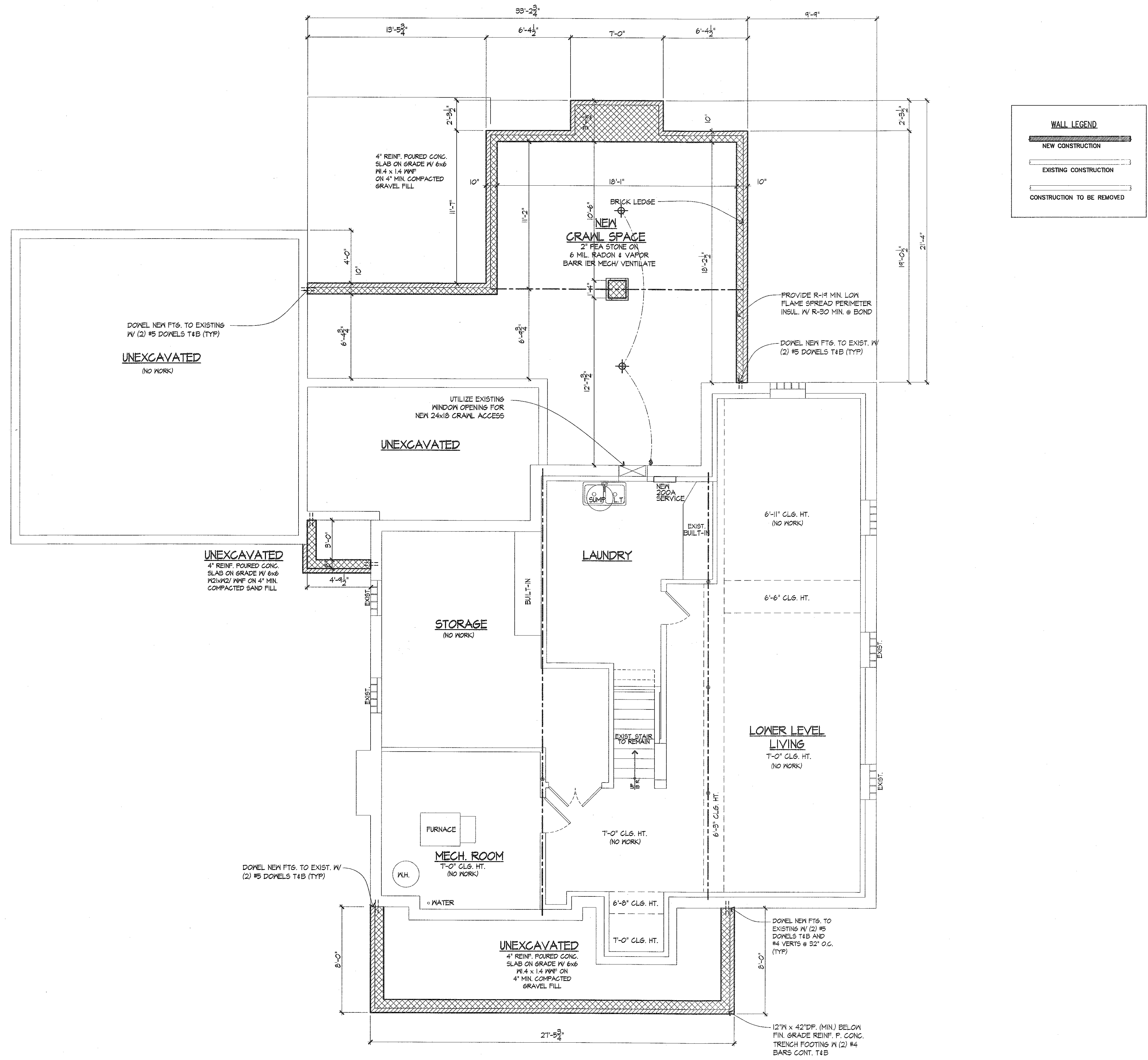
**MYERS RESIDENCE**  
13120 SHERWOOD HUNTINGTON WOODS, MI 48070

FOUNDATION/  
MAIN LEVEL  
FRAMING PLAN

COPYRIGHT 2022

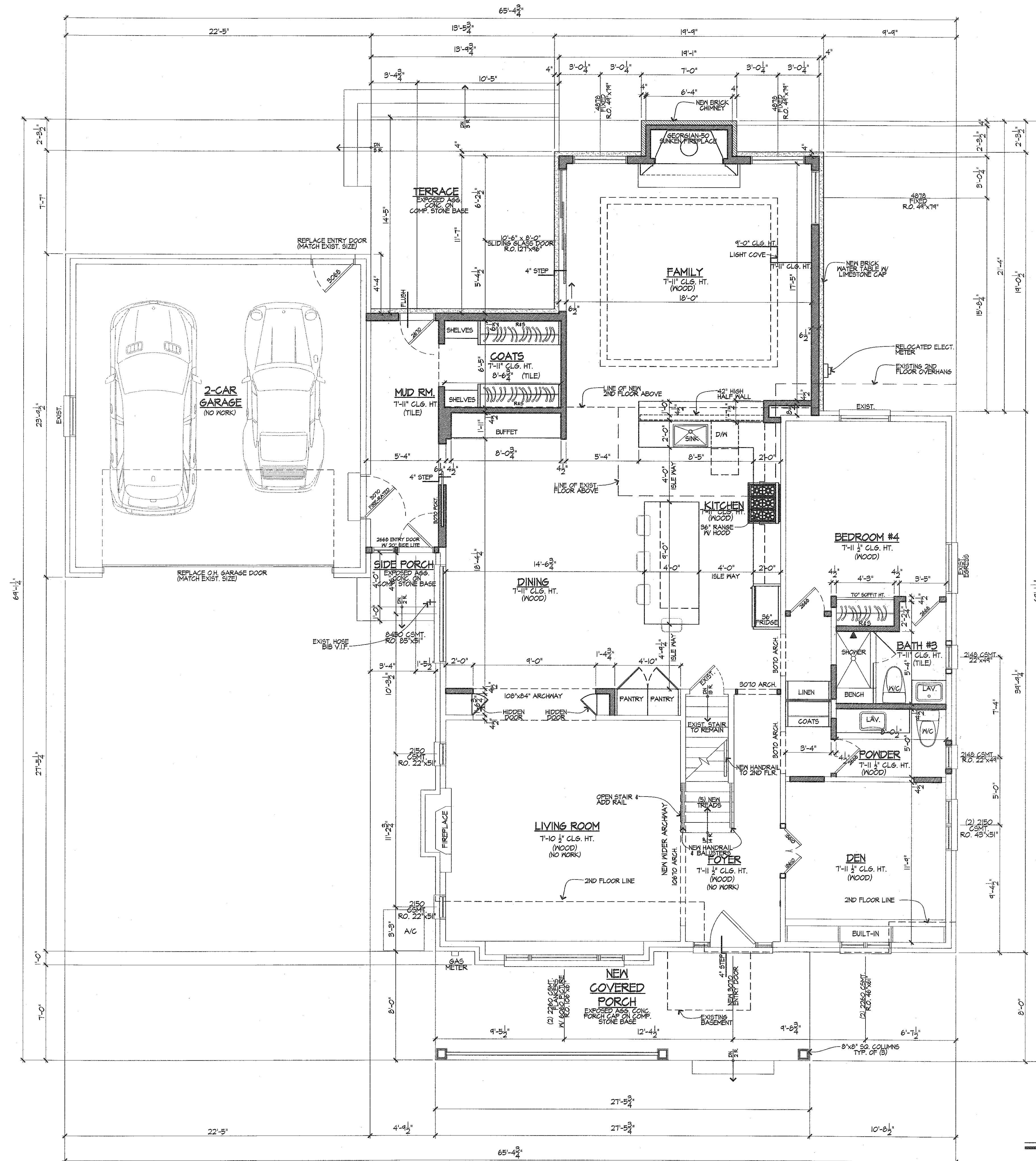
REVISIONS:
11-10-21
04-20-22
04-25-22
04-26-22
05-02-22
05-03-22

PAGE NO. #  
**S-100**

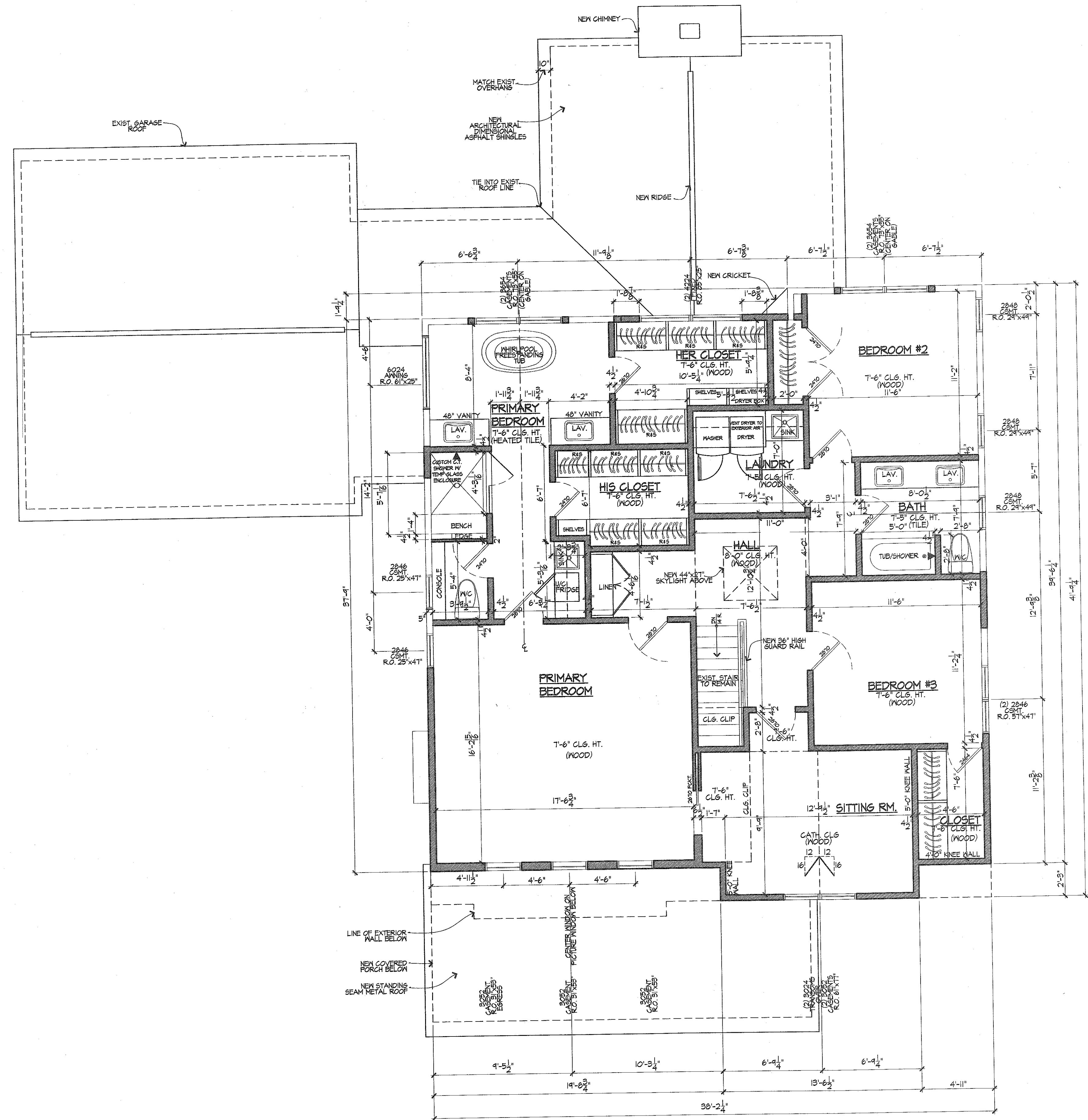


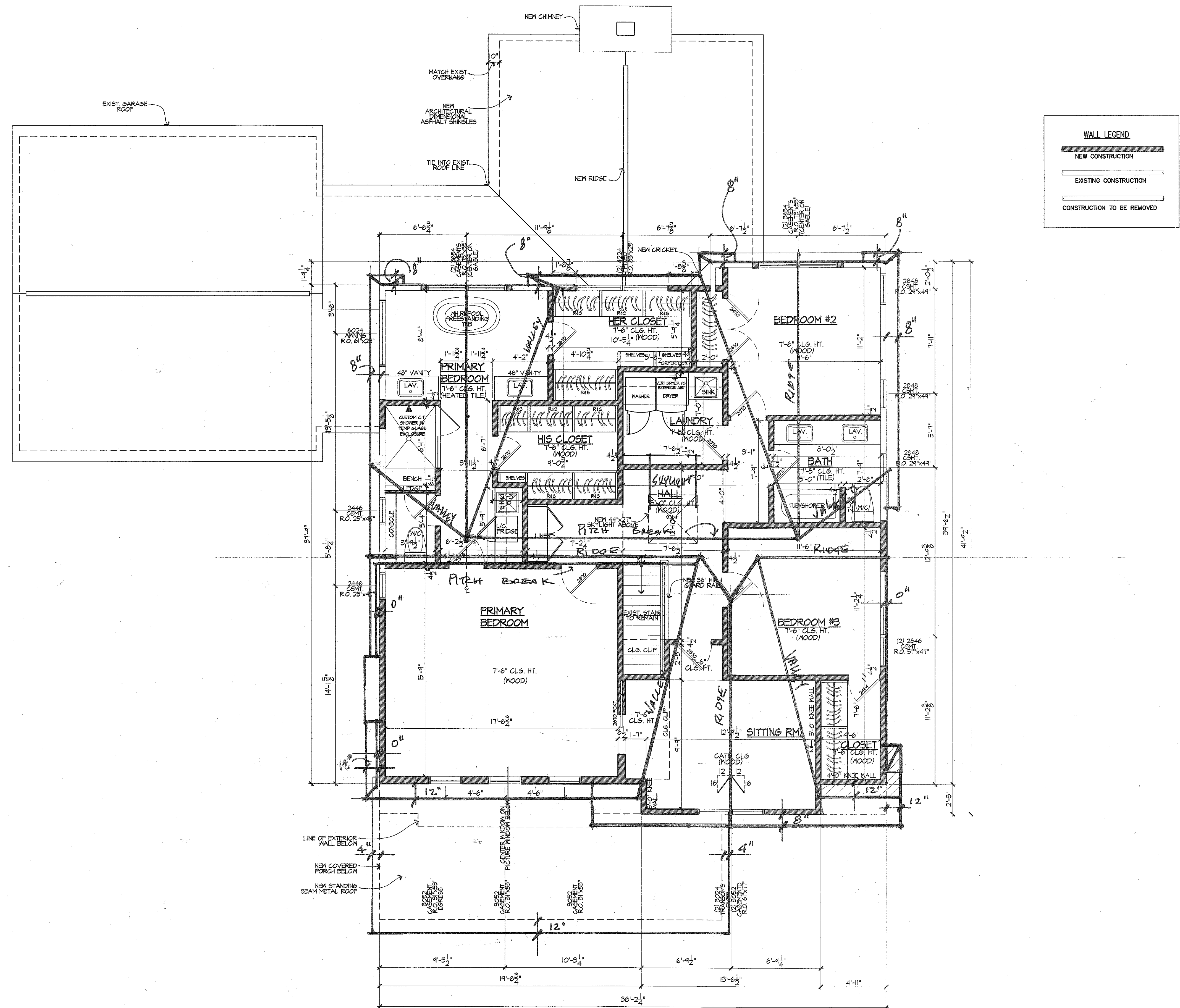
FOUNDATION/ MAIN LEVEL FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

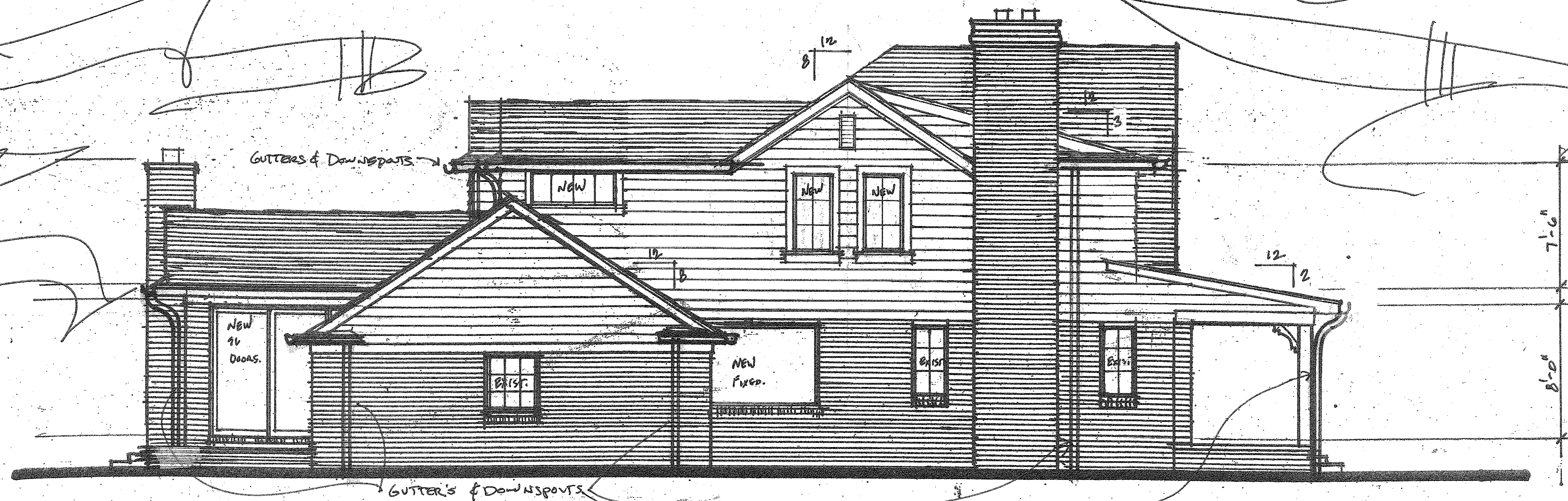












LEFT SIDE ELEVATION



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



HELLER  
& ASSOCIATES  
DESIGN + BUILD

HELLER  
& ASSOCIATES  
7 SOUTH PERRY STREET - PONTIAC, MICHIGAN 48302 - OFFICE (248) 322-8771 FAX (248) 322-8222 - www.hellerandassociates.net

MRS. RESIDENCE  
3120 SHERWOOD  
PONTIAC, MICHIGAN 48302

FRONT & LEFT  
COPYRIGHT

DRAWN BY:

B. HELLER

D. ABATE

REVISIONS:

6.27.22

PAGE NO. #

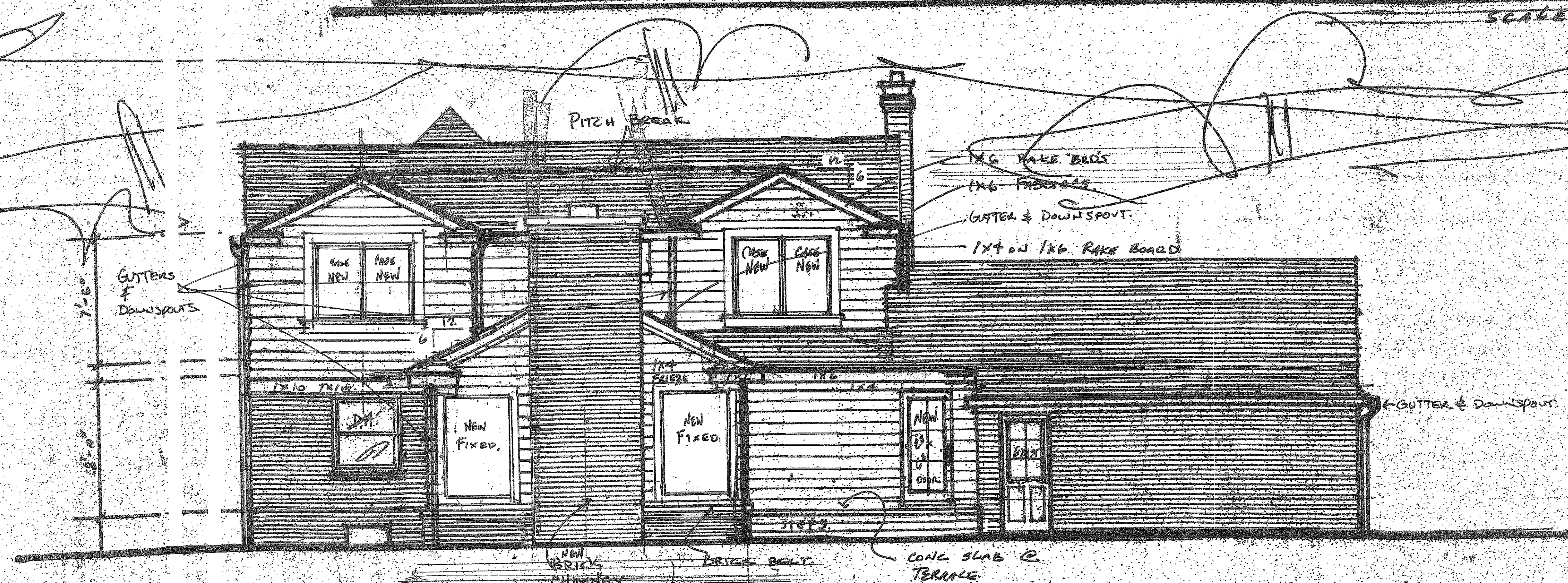
A-3





## RIGHT SIDE ELEVATION

Scale 1/8" = 1'-0"



## REAR ELEVATION

Scale 1/8" = 1'-0"



**HELLER ASSOCIATES**  
 DESIGN + BUILD  
 1 SOUTH STREET - PORTLAND, ME 04101-1101  
 TEL: 207.774.1101 FAX: 207.774.1102

MYERS RESIDENCE  
 13120 SHERWOOD  
 HUNTINGTON WOODS MI 48070

Hand-drawn  
 COPYRIGHT 2021

DRAWN BY:  
 B. HELLER  
 D. ABATE  
 REVISIONS:

6.27.22

PAGE NO. #  
 A-4



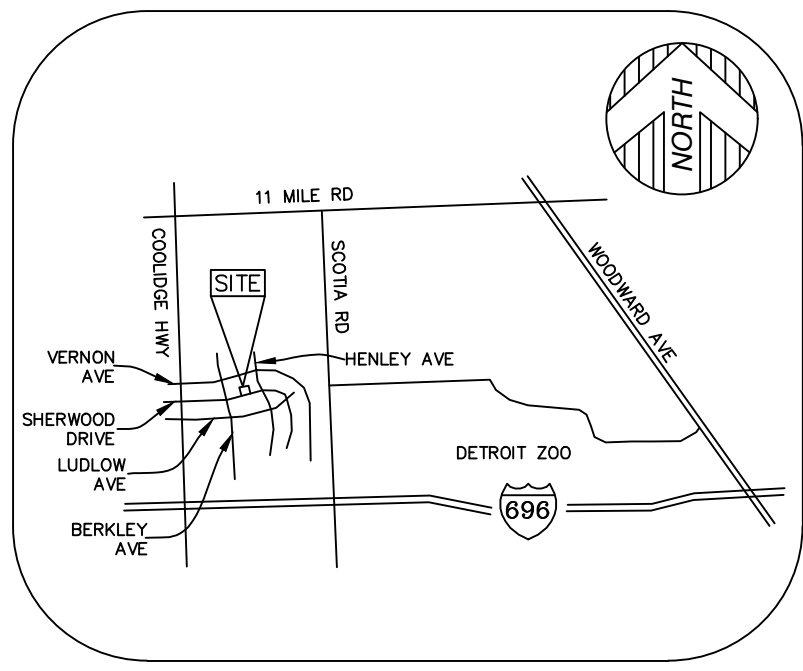


13130 SHERWOOD

13120 SHERWOOD

13116 SHERWOOD



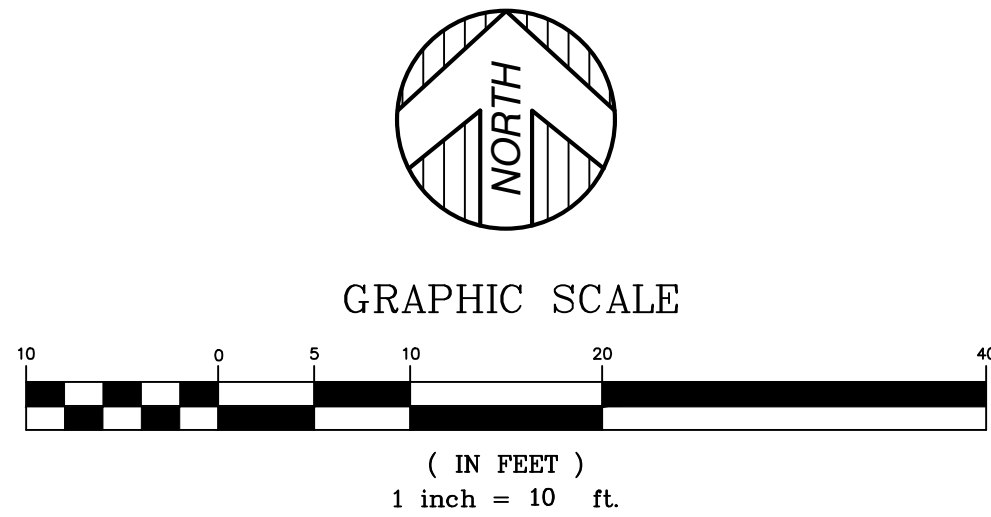
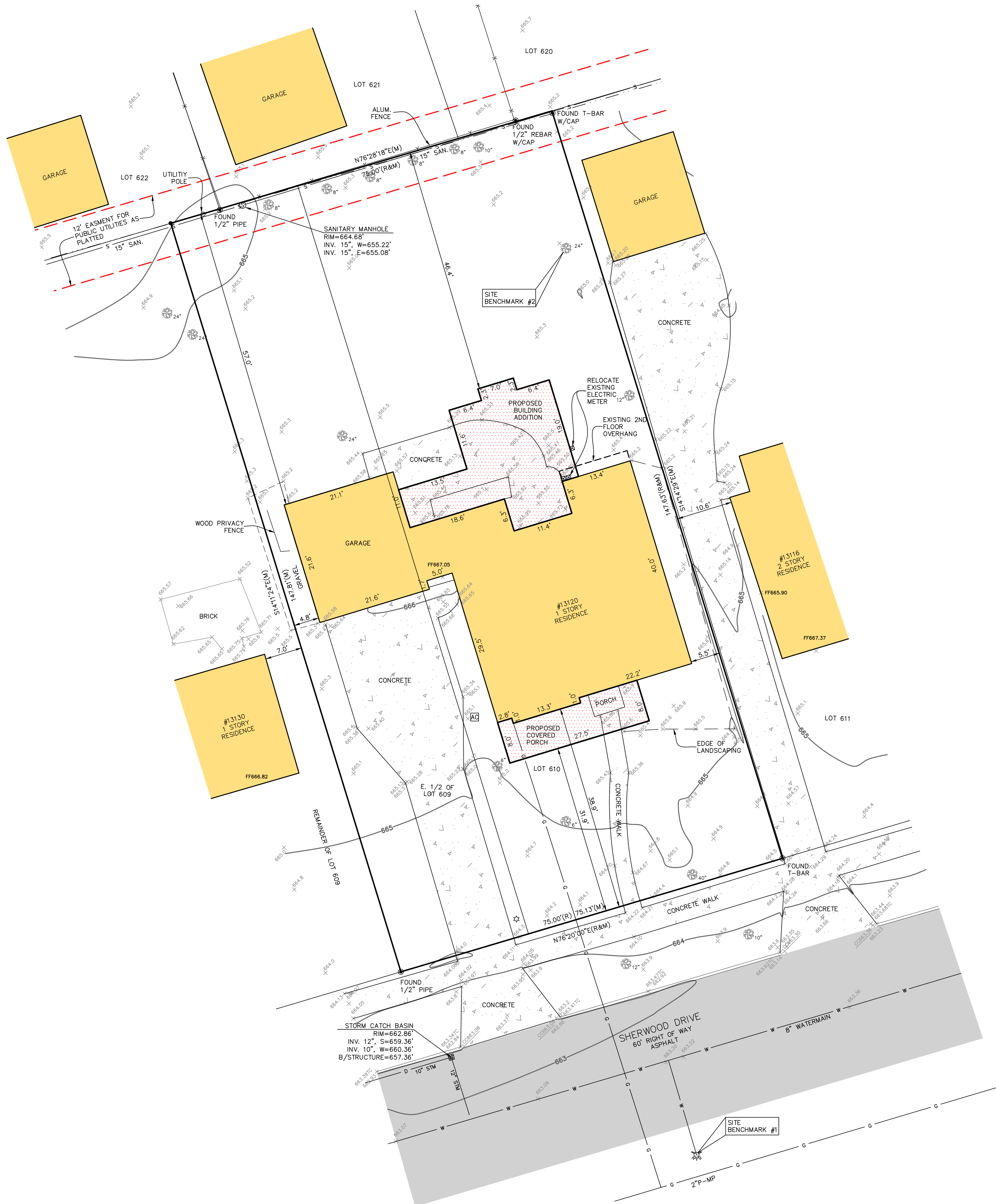


VICINITY MAP  
(NOT TO SCALE)

PARCEL AREA  
11,087± SQUARE FEET = 0.25± ACRES

BENCHMARK  
SITE BENCHMARK #1  
CITY OF HUNTINGTON WOODS BENCHMARK #80, HYDRANT ARROW.  
ELEVATION = 665.77' (NAVD 88)  
SITE BENCHMARK #2  
MAG NAIL IS WEST SIDE OF 24" TREE, N.E. SIDE OF SITE.  
ELEVATION = 667.17' (NAVD 88)

LEGEND	
●	SET 1/2" REBAR WITH CAP P.S. 47976
⊙	FOUND MONUMENT (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(W)	MEASURED DIMENSION
X 0.00	GROUND ELEVATION
○	UTILITY POLE
⊙	SANITARY MANHOLE
⊠	SQUARE CATCH BASIN
⊠	FIRE HYDRANT
⊠	AIR CONDITIONING UNIT
⊠	DECIDUOUS TREE (AS NOTED)
⊠	CONIFEROUS TREE (AS NOTED)
---	PARCEL BOUNDARY LINE
---	PLATTED LOT LINE
---	EASEMENT (AS NOTED)
---	BUILDING
---	BUILDING OVERHANG
---	CONCRETE CURB
---	EDGE OF CONCRETE (CONC.)
---	EDGE OF BRICK
---	EDGE OF GRAVEL
---	FENCE (AS NOTED)
---	OVERHEAD UTILITY LINE
---	GAS LINE
---	SANITARY LINE
---	STORM LINE
---	WATER LINE
---	MINOR CONTOUR LINE
---	MAJOR CONTOUR LINE
---	BUILDING AREA
---	ASPHALT
---	CONCRETE



PROPERTY DESCRIPTION  
THE LAND SITUATED IN THE CITY OF HUNTINGTON WOODS, COUNTY OF OAKLAND, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:  
EAST 1/2 OF LOT 609 AND ALL OF LOT 610 MCGIVERIN-HALDEMAN'S HUNTINGTON WOODS MANOR

SURVEYOR'S NOTES  
1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.  
2. A CURRENT TITLE POLICY HAS NOT BEEN FURNISHED AT TIME OF SURVEY, THEREFORE EASEMENTS AND/OR ENCUMBRANCES AFFECTING SUBJECT PARCEL MAY NOT BE SHOWN.

ZONING REGULATIONS  
R1C- ONE FAMILY DISTRICT  
\*MINIMUM LOT AREA - 7,000 SQUARE FEET  
\*MINIMUM LOT WIDTH - 50 FEET  
\*MIN. YARD SETBACK -  
FRONT - 30 FEET  
LEAST ONE SIDE - 5 FEET  
TOTAL TWO SIDES - 14 FEET  
REAR - 35 FEET  
\*MAXIMUM HEIGHT - 2 STORIES/30 FEET  
NOTE: ALL ZONING INFORMATION IS TAKEN FROM THE CITY OF HUNTINGTON WOODS WEBSITE. ALL ZONING INFORMATION MUST BE VERIFIED FOR COMPLETENESS WITH CURRENT ZONING REGULATIONS.

SURVEYOR'S CERTIFICATION  
I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED. THE ELEVATIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY AND THE DRAWING HEREON DELINEATED IS A CORRECT REPRESENTATION OF THE SAME.  
ANTHONY T. SYCKO, JR., P.S.  
MICHIGAN LICENSE NO. 47976  
22556 GRATIOT AVE., EASTPOINTE, MI 48021  
TSycko@kemttec-survey.com

BOUNDARY/TOPOGRAPHIC SURVEY  
PREPARED FOR: HELLER & ASSOCIATES - PONTIAC  
13120 SHERWOOD, HUNTINGTON WOODS, MICHIGAN,  
PART OF SECTION 20,  
TOWN 1 NORTH, RANGE 11 EAST

DATE	BY	REVISION	DESCRIPTION
07/01/22	JO		
07/06/22	ATS		
JULY 06, 2022	JO	1	SET-BACK DIM'S FOR NEIGHBORING HOUSES ADDED
22-01674			