PLANNING COMMISSION AGENDA

July 25, 2022

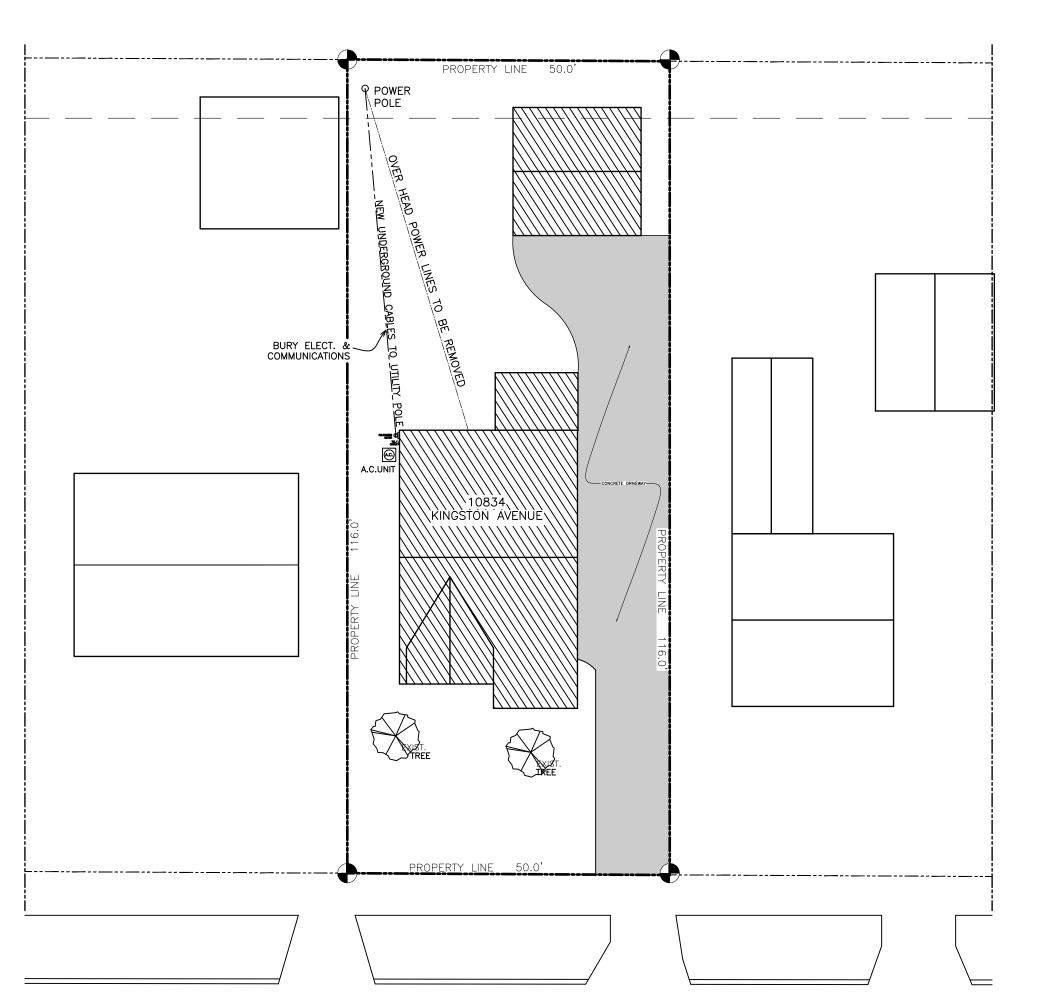
Regular Meeting - Huntington Woods City Hall 26815 Scotia 7:00 p.m.

- 1. Call to Order
- 2. Roll Call
- 3. Approval of Agenda
- 4. Approval of Minutes: June 27, 2022
- 5. Master Plan adoption hearing
- 6. Matter of Site Plan review of an addition to the Holmes / Mcguire Residence 10834 Kingston
- 6. Matter of Site Plan review of an addition to the Myers Residence 13120 Sherwood
- 7) Public Participation

Comments are invited on each Agenda item when that item comes up for consideration. Matters not listed on the Agenda may be addressed under "Public Partipation. Plans/Documents may be viewed on the city website hwmi.org one week prior to the Meeting or available at City Hall. Comments or questions contact Hank Berry at 248-581-2637 or email hberry@hwmi.org.

HOLMES & MAGUIRE RESIDENCE RENOVATION

10834 KINGSTON AVE. HUNTINGTON WOODS, MI 48070



PROPERTY DESCRIPTION Parcel ID: 2520201018

IN: 48070, CENSUS TRACT 1880, HUNTINGTON WOODS, MI, OAKLAND COUNTY, MI

SITE DATA

SUBDIVISION
ZONED
SITE AREA

HUNTINGTON WOODS

R-1D (SINGLE FAMILY / RESIDENTIAL)

Parcel Sq Ft: 6238 Sq.Ft.

EXISTING RESIDENCE

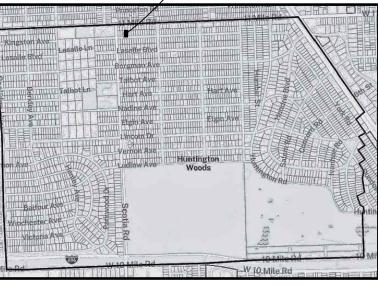
FIRST FLOOR LIVING AREA 1,117 SF.

SECOND FLOOR LIVING AREA 446 SF.

TOTAL LIVING AREA 1,563 SF.

GARAGE 588 SF.

10834 KINGSTON AVE.





LOCATION MAP

SITE PLAN
SCALE - 1"= 10'

KINGSTON AVENUE

SITE SURVEY
SCALE - AS NOTED

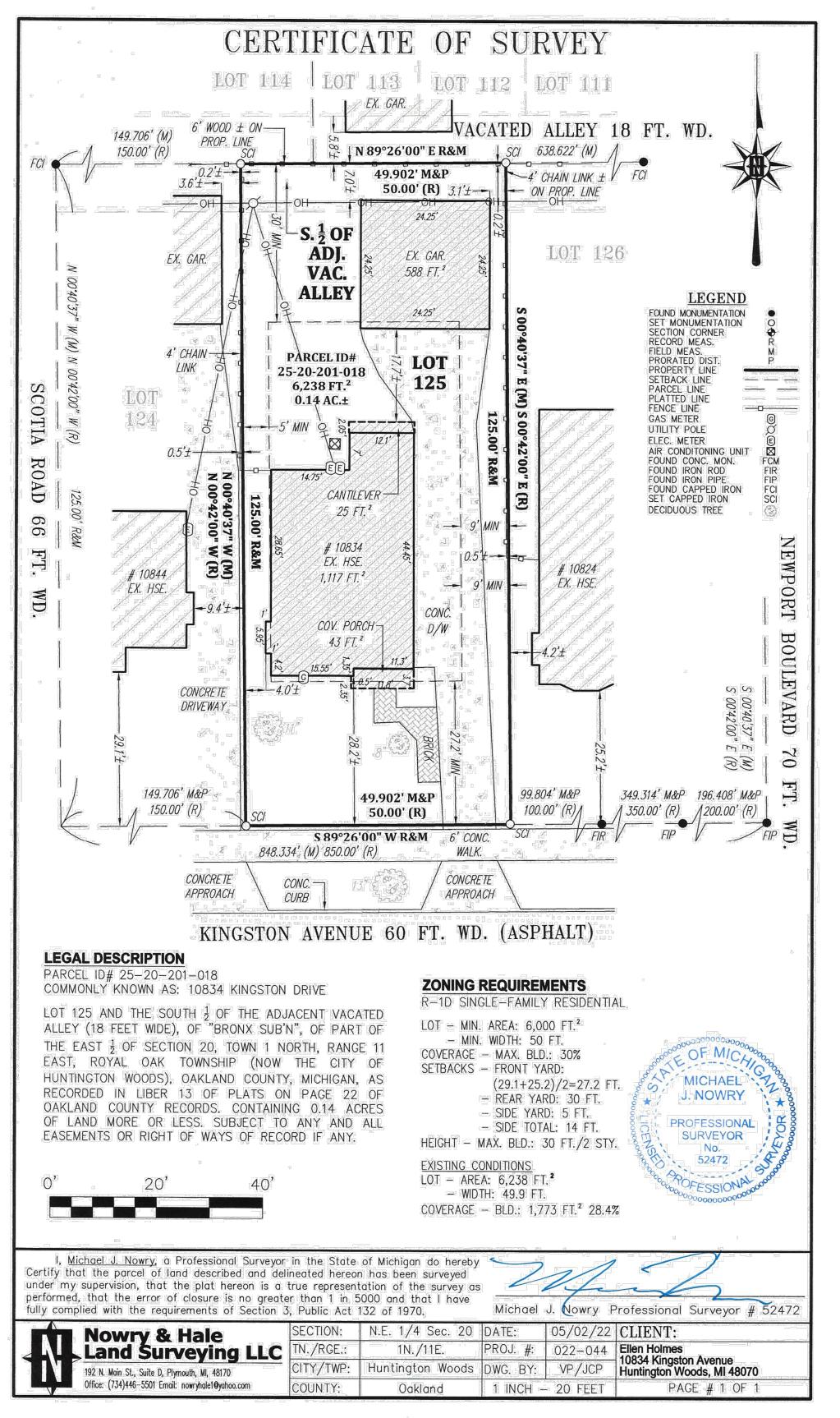
INDEX TO DRAWINGS PHASE I

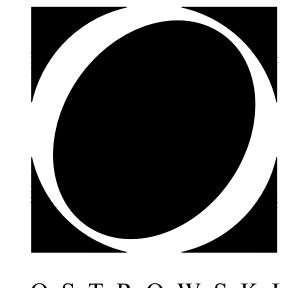
- C-1 COVER SHEET DRAWING INDEX, LOCATION MAP, SITE PLAN, PROPERTY DESCRIPTION, SITE DATA, ROOF PLAN, SITE
- S-1 SITE PLAN
- GS-1 GENERAL SPECIFICATIONS, NOTES & LEGENDS
- A/D-1 EXISTING FLOOR PLANS, ROOF PLAN & DEMOLITION PLANS
- A-2 EXISTING ELEVATIONS
- A-3 PROPOSED FLOOR PLANS & PROPOSED ROOF PLAN
- 4-4 SECTION
- A-6 SECTION
- A-7 PROPOSED ELEVATIONS

A-5 SECTION & DETAILS

S-1 STRUCTURAL PLAN ROOF FRAMING PLAN / SCHEDULES

E/L-1 ELECTRICAL / LIGHTING PLANS





O S T R O W S K I DESIGN GROUP, LLC

Programming

Construction

25890 CONCORD HUNTINGTON WOODS MICHIGAN 48070 TEL. (248) 543-1105 FAX (248) 543-5049

Project

HOLMES & MAGUIRE RESIDENCE RENOVATIONS

10834 KINGSTON AVE. HUNTINGTON WOODS MICHIGAN 48070

Shee

COVER SHEET: PROJECT TITLE, SHEET INDEX, SITE DATA, SQUARE FOOT CALCULATIONS, SITE PLAN, LOCATION MAP ENGINEERED SITE SURVEY

no.:	date:	by
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	_	
	_	

Issued for:	Date:
preliminary	04-27-22
■ bidding	06-09-22
permit	06-09-22
☐ construction	

Do Not Scale — Use Figured Dimensions

Scale
Drawn
Checked
Approved

As NOTED

P.J.O.

M.A.O.

Project no.

22007

Sheet no.

C/S-1

GENERAL CONDITIONS

1. SCOPE OF WORK:

EACH CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY AS REQUIRED BY THE DRAWINGS AND SPECIFICATIONS, TO PROVIDE A COMPLETE AND FINISHED SPACE. THIS INCLUDES ALL ARCHITECTURAL, ELECTRICAL, PLUMBING, HEATING AND VENTILATING TRADES.

FIELD FAMILIARIZATION:

EACH CONTRACTOR SHALL EXAMINE THE SITE, FIELD VERIFY ALL DIMENSIONS AND FIELD CONDITIONS. CONTRACTOR IS TO BECOME FAMILIAR WITH CONDITIONS AFFECTING THE CONSTRUCTION PRIOR TO SUBMITTING A BID. FAILURE TO DO SO SHALL NOT BE CONSIDERED A JUST CAUSE FOR FUTURE

APPLICABLE CODES:

THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT ALL APPLICABLE STATE LAWS, MUNICIPAL ORDINANCES, CODES AND RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER CONSTRUCTION OF THE PROJECT SHALL APPLY TO THE CONTRACT THROUGHOUT: AND THEY WILL BE DEEMED TO BE INCLUDED IN THE CONTRACT THE SAME AS THOUGH HEREIN WRITTEN OUT IN FULL

PERMITS:

EACH CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED.

COST BREAKDOWN:

A. EACH CONTRACTOR SHALL PROVIDE GENERAL COST BREAKDOWNS FOR ALL CONSTRUCTION CATEGORIES (I.E. DEMOLITION, CARPENTRY, MILLWORK, ELECTRICAL, ETC.) AND UNIT BREAKDOWNS FOR ALL ITEMS (I.E. ELECTRICAL: DUPLEX OUTLETS, PHONE OUTLETS, CONDUIT RUNS, QUAD OUTLETS, 2x4 FLUORESCENTS, 75 WATT DOWNLIGHTS, ETC.). PROVIDE UNIT COSTS AND QUANTITIES FOR ALL ITEMS IN ALL CATEGORIES.

B. EACH CONTRACTOR SHALL PROVIDE UNIT COSTS TO ARCHITECT FOR EACH MATERIAL AND INSTALLATION PRIOR TO COMMENCEMENT OF WORK.

6. VOLUNTARY ALTERNATES:

THE ARCHITECT / DESIGNER IS THE SOLE JUDGE OF CONSTRUCTION MATERIAL SUBSTITUTIONS. ALL SUBSTITUTIONS SHALL BE ON AN "OR EQUAL" BASIS AND MAY ONLY BE USED WITH THE WRITTEN APPROVAL FROM THE CLIENT OR ARCHITECT / DESIGNER LINEESS OTHERWISE SPECIFIED. THE QUALITY OF ALL MATERIALS AND WORKMANSHIP SPECIFIED FOR ALTERNATES SHALL BE THE SAME AS THAT SPECIFIED FOR WORK OF SIMILAR TYPE AND CHARACTER THROUGHOUT THE BUILDING. QUALITIES SPECIFIED ARE MINIMUM REQUIREMENTS. THE CLIENT IS THE SOLE JUDGE OF QUALITY, SUITABILITY, COLORS AND / OR FINISHES. SUBSTITUTIONS MADE WITHOUT WRITTEN APPROVAL BY EITHER ARCHITECT, DESIGNER, OR CLIENT ARE AT THE CONTRACTOR'S RISK.

THE DOCUMENTS:

A. IN CASE OF CONFLICT BETWEEN DRAWINGS OR DRAWINGS AND FIELD CONDITIONS, THE CONTRACTOR SHALL NOT PROCEED WITH THAT PART OF THE WORK UNTIL THE DISCREPANCY HAS BEEN CLARIFIED BY THE ARCHITECT.

B. IN CASE OF CONFLICT, LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE

C. MOST CURRENTLY DATED DRAWINGS SHALL SUPERSEDE ALL PREVIOUSLY DATED DRAWINGS.

D. DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN. IF DIMENSIONAL CONFLICT ARISES BETWEEN DOCUMENTS AND / OR FIELD CONDITIONS, CONTACT ARCHITECT / DESIGNER IMMEDIATELY.

E. GENERAL CONTRACTOR SHALL COORDINATE WITH SUBCONTRACTORS VERIFICATION OF FINAL DIMENSIONS FOR FINISH WORK IN ACCORDANCE WITH THE ARCHITECT'S CONSTRUCTION DOCUMENTS.

F. EACH CONTRACTOR SHALL NOTIFY ARCHITECT / DESIGNER OF ANY CONDITIONS HE FINDS WHERE IN HIS JUDGEMENT IT WOULD BE DESIRABLE TO MODIFY THE REQUIREMENTS TO PRODUCE THE BEST

G. EACH CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, AS REQUIRED, TO THE ARCHITECT / DESIGNER FOR APPROVAL PRIOR TO FABRICATION AND / OR INSTALLATION. COMMENCEMENT OF FABRICATION PRIOR TO ARCHITECT / DESIGNER'S APPROVAL SHALL BE DONE AT CONTRACTOR' RISK.

8. COORDINATING AND EXPEDITING:

IT SHALL BE THE FULL RESPONSIBILITY OF THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER TO COORDINATE AND EXPEDITE ALL PHASES OF ARCHITECTURAL, MECHANICAL (PLUMBING, HEATING, AND VENTILATING) AND ELECTRICAL WORK REGARDLESS OF WHETHER THE OWNER AWARDS SEPARATE CONTRACTS FOR ANY TRADES, BRANCHES OF ITEMS OF WORK AND EQUIPMENT. ALL OTHER TRADES, SUBCONTRACTORS AND / OR SEPARATE CONTRACTORS SHALL COOPERATE FULLY WITH THE GENERAL CONTRACTOR.

9. TEMPORARY UTILITIES, SERVICES, PROTECTION AND CLEANUP:

A. THE GENERAL CONTRACTOR AND / OR SUBCONTRACTORS SHALL PROVIDE AND PAY FOR THE COLLECTION OF DEBRIS AS REQUIRED IN CONNECTION WITH THE WORK OF CONSTRUCTION AND INSTALLATION. CONTRACTORS' CONSTRUCTION MATERIALS. TOOLS. EQUIPMENT AND DEBRIS SHALL BE PURPOSE BY THE OWNER. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE A TEMPORARY LIGHTING AND POWER SYSTEM FOR THE WORK OF ALL TRADES DURING CONSTRUCTION AND SHALL REMOVE SAME PRIOR TO THE COMPLETION OF THE PROJECT

B. CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE THE SAFETY OF THE WORKERS AND GENERAL PUBLIC PER OSHA REQUIREMENTS AND OTHER REGULATORY AGENCIES DURING THE CONSTRUCTION PHASE.

C. WORK IN PLACE THAT IS SUBJECT TO INJURY BECAUSE OF OPERATIONS BEING CARRIED ON THERE, SHALL BE COVERED, BOARDED UP, OR SUBSTANTIALLY ENCLOSED WITH ADEQUATE PROTECTION. ALL FORMS OF PROTECTION SHALL BE CONSTRUCTED IN A MANNER SUCH THAT, UPON COMPLETION, THE ENTIRE WORK WILL BE DELIVERED TO THE TENANT IN PRIOR WHOLE AND LINBLEMISHED CONDITION. WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REPLACED WITH NEW WORK AT THE EXPENSE OF THE CONTRACTOR.

D. THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER SHALL BE RESPONSIBLE FOR FINAL CLEAN-UP OF THE ENTIRE CONTRACT AREA. THIS INCLUDES BEFORE FINISHERS (PAINTERS, CARPET MECHANICS, ETC.) AND AFTER FINISHERS. ALL WASTE MATERIALS SHALL BE DISPOSED OF IN PROPER RECEPTACLES.

10. CERTIFICATE OF OCCUPANCY:

THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER MUST SECURE A CERTIFICATE OF OCCUPANCY FROM THE JURISDICTIONAL AUTHORITIES BY THE DATE OF COMPLETION AS SPECIFIED IN THE CONTRACT AND WILL DELIVER A COPY OF THE CERTIFICATE TO THE TENANT.

11. AS-BUILTS:

IF AS-BUILT DRAWINGS ARE REQUESTED, THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER SHALL PROVIDE ONE (1) COMPLETE SET OF MARKED-UP BLUEPRINTS TO THE ARCHITECT, AND ONE (1) COMPLETE SET TO THE DESIGNER FOR THE RECORD.

12. GUARANTY—WARRANTY:

THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER SHALL AND HEREBY DOES GUARANTEE AND EACH SUB-CONTRACTOR SHALL AND HEREBY DOES WARRANT THAT ALL WORK FOR THIS PROJECT, UNDER THE CONTRACT, SHALL BE FREE FROM DEFECTS OF FAULTY LABOR AND / OR MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF SAME.

SPECIAL CONDITIONS

ITEM USED ITEM

1. EXISTING CONDITIONS:

THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN ALREADY EXISTING STRUCTURE. AS SUCH, THE EXISTING BUILDING AND ITS PRESENT CONDITION STAND AS CONSTRUCTION DOCUMENTS OF EQUAL IMPORTANCE TO THE PLANS AND SPECIFICATION. CONTRACTORS, BY SUBMITTING A BID, ARE ASSUMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITIONS OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED IN THE OTHER CONSTRUCTION DOCUMENTS. ABSOLUTELY NO CLAIMS FOR EXTRA COST WILL BE CONSIDERED FOR EXISTING CONDITIONS VISIBLE OR REASONABLY INFERABLE FROM A CAREFUL EXAMINATION OF THE EXISTING BUILDING.

2. GENERAL CONSTRUCTION:

A. GENERAL CONTRACTOR IS RESPONSIBLE TO PATCH AND REPAIR EXISTING WALLS, CEILINGS AND ROOF AS REQUIRED TO PROVIDE A SMOOTH SURFACE, FREE FROM DEFECTS, READY FOR FINISHING, THIS INCLUDES ALL DAMAGE CAUSED BY EXISTING FINISH REMOVAL. PREVIOUS DAMAGE, EQUIPMENT REMOVAL AND DAMAGE BY OTHER TRADES.

B. ALL CONSTRUCTION SHALL BE NON-STRUCTURAL. THERE SHALL BE NO CHANGES OR ALTERATIONS TO BUILDING SUPERSTRUCTURE.

C. CONTRACTOR SHALL CONTACT ARCHITECT / DESIGNER AT THE TIME PARTITIONS ARE CAULKED FOR APPROVAL OF LAYOUT.

> D. ALL NEW PARTITIONS SHALL BE CONSTRUCTED OF METAL STUDS WITH TAPED, SPACKLED, SANDED AND SEALED GYPSUM BOARD READY TO RECEIVE FINAL FINISH. PROVIDE WOOD BLOCKING WHEREVER MILLWORK ATTACHES TO PARTITION. ALL WOOD (BLOCKING, FRAMING, UNDERLAYMENT, ETC.) SHALL BE FIRE RETARDENT.

- E. ALL NEW WALLS SHALL BE CONSTRUCTED OF WOOD STUDS WITH TAPED, SPACKLED, SANDED AND SEALED GYPSUM BOARD READY TO RECEIVE FINAL FINISH. PROVIDE WOOD BLOCKING WHEREVER MILLWORK ATTACHES TO WALL
- F. UNLESS NOTED OTHERWISE, ALL GYPSUM BOARD SHALL RECEIVE TWO (2) COATS OF FINISH PAINT, PREP AND PRIME ALL SURFACES AS NECESSARY
- G. PROVIDE NECESSARY SHEATHING, SHORING, BRACING AND ALL TEMPORARY SUPPORTS AS REQUIRED DURING EXCAVATIONS TO PROPERLY SUPPORT SIDES OF EXCAVATIONS.
- H. PROPERLY VENTILATE ROOF SO THERE IS A CROSS VENTILATION WITH ROOF VENTS AND SOFFIT VENTS PER SECTION 1210.1.1. CONTINUOUS ROOF RIDGE VENT SHALL BE BY MID-AMERICA BUILDING PRODUCTS, PLYMOUTH, MI. PROVIDE AN UNDERLAYMENT OF 15# FELT UNDER SHINGLES AND A LAYER OF <u>W.R. GRACE</u> ICE AND WATER SHIELD FROM EAVE TO A MINIMUM OF 48" INSIDE OF THE EXTERIOR WALL LINE PER SECTION 1507.2.3. SEE WALL SECTIONS FOR ICE SHIELD DETAIL.
- I. PROPERLY VENT CRAWL SPACES PER STATE MECHANICAL CODE.

J. FIREPLACE SHALL BE CONSTRUCTED OF NON-COMBUSTABLE MATERIAL. HEARTH SHALL EXTEND OUT 20" BEYOND OPENING AND 12" OVER EACH SIDE OF OPENING.

3. MECHANICAL AND ELECTRICAL CONSTRUCTION:

A. MECHANICAL CONTRACTOR SHALL PROVIDE THE MINIMUM "OUTDOOR VENTILATION AIR SCHEDULE" REQUIRED FOR ALL ROOMS & SPACES WITHIN ALL PROJECT AREAS. THE MINIMUM OUTDOOR VENTILATION AIR VOLUME IS ESTABLISHED BY THE MAXIMUM OCCUPANT LOAD AS SPECIFIED IN TABLE 403.3 M.M.C. THE MINIMUM OUTDOOR VENTILATION AIR VOLUME SHALL BE MAINTAINED DURING ALL OCCUPIED HOURS. 403.3 M.M.C.

B. MECHANICAL CONTRACTOR SHALL PROVIDE AN "AIR BALANCE SCHEDULE" THAT STATES TOTAL EXHAUST AIR FLOW VOLUMES, TOTAL SUPPLY AIR FLOW VOLUMES, TOTAL RETURN AIR FLOW VOLUMES & TOTAL OUTDOOR VENTILATION AIR VOLUMES, IN CUBIC FEET PER MINUTE, FOR THE ENTIRE PROJECT AREA, WITH REGARD TO THE MINIMUM OUTDOOR AIR REQUIREMENTS AS SPECIFIED ABOVE & SUPPLY AIR & EXHAUST EQUIPMENT. 106.3.1 & 403,

- C. CONTRACTOR SHALL BE RESPONSIBLE FOR ENGINEERING AND CONSTRUCTION, TESTING AND BALANCING OF THE HVAC SYSTEMS, PER CODE. ARCHITECT / DESIGNER SHALL APPROVE HVAC LAYOUT. CONTRACTOR SHALL SUPPLY ARCHITECT / DESIGNER W/ CUT SHEET OF EXHAUST FAN AND DIFFUSER GRILLES,
- D. CONTRACTOR SHALL REVIEW FINAL LOCATIONS OF ALL THERMOSTATS WITH THE ARCHITECT / DESIGNER PRIOR TO INSTALLATION. ALL HVAC CONTROLS (INCLUDING THERMOSTATS) SHALL BE LOCATED NOT MORE THAN 48" ABOVE FLOOR. 307.1 M.M.C.
- E. ALL PLUMBING SHALL CONFORM TO THE CURRENT MICHIGAN PLUMBING CODE.
- F. ALL NEW PLUMBING SHALL BE TESTED AND INSPECTED PRIOR TO COVERING.
- G. ALL PIPING SYSTEMS SHALL BE FIELD VERIFIED FOR COMPLIANCE TO THE CODE.
- H. ALL BUILT-IN PLUMBING FIXTURES SHALL BE SUPPLIED AND INSTALLED BY PLUMBING CONTRACTOR. PLUMBING CONTRACTOR TO SUPPLY ALL NECESSARY INFORMATION FOR CUTOUTS TO BE PERFORMED BY CABINET CONTRACTOR.
- I. PLUMBING CONTRACTOR SHALL PROVIDE PLUMBING RISER DIAGRAMS FOR ALL NEW WORK. THE ABOVE MENTIONED DIAGRAMS SHALL BE INCLUDED IN THE ORIGINAL SET OF DRAWINGS BY THE ARCHITECT PRIOR TO APPLICATION FOR PERMITS.
- J. ALL NON BUILT-IN PLUMBING FIXTURES SHALL BE SUPPLIED AND INSTALLED BY PLUMBING CONTRACTOR.

K. ALL REQUIRED SPRINKLER PLANS AND SHOP DRAWINGS SHALL BE SUPPLIED BY THE CONTRACTOR AND APPROVED BY LOCAL FIRE MARSHAL AND BY THE ARCHITECT / DESIGNER WHEN AND WHERE REQUIRED, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF SPRINKLER HEADS WHERE NECESSARY, COMPLYING WITH ALL FEDERAL AND LOCAL CODES.

- L. SPRINKLER HEADS SHALL BE LOCATED BY OWNER'S DIRECTION.
- M. CONTRACTOR IS RESPONSIBLE FOR THE CALCULATIONS AND IMPLEMENTATION OF ALL ELECTRICAL CIRCUITRY AS REQUIRED TO COMPLY WITH ALL LOCAL AND NATIONAL CODES AND REGULATIONS.
- N. BATHROOM EXHAUST FANS SHALL BE VENTED TO EXTERIOR. (90 CFM).
- O. PROVIDE ELECTRICALLY POWERED SMOKE DETECTORS ON EACH LEVEL. UNITS ARE TO BE WIRED SO IF ONE SOUNDS, THEY ALL SOUND. ALL SHALL HAVE BATTERY BACKUP PER SECTION 9193.2 AND 9195.
 - P. MECHANICAL CONTRACTOR SHALL PLACE SOUND BOOTS AT ALL AIR RETURN OPENINGS AT ROOMS REQUIRING SOUND ISOLATION. SEE ARCHITECTURAL / MECHANICAL PLANS.

4. CONCRETE WORK:

- A. CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE. PLACE ALL CONCRETE WITHOUT ADDING WATER TO THE TRANSIT MIX CONCRETE. SLUMP =3"-4".
- B. ALL CONCRETE SHALL ACHIEVE COMPRESSIVE STRENGTH OF I'C = 4000psi AT 28 DAY TEST. EXTERIOR CONCRETE SHALL BE AIR ENTRAINED 5% PLUS OR MINUS 1%.
- C. ALL POURED CONCRETE FOOTINGS SHALL EXTEND TO A MINIMUM DEPTH OF 42" BELOW PROPOSED FINISHED GRADE, AND SHALL BEAR ON VIRGIN, UNDISTURBED SOIL. ADDITIONAL DEPTH MAY BE REQUIRED AS DICTATED BY SOIL CONDITIONS. ALLOWABLE SOIL BEARING PRESSURE OF 3000 psf IS ASSUMED FOR FOOTING SIZES SHOWN ON DRAWINGS. VERIFICATION OF ALLOWABLE SOIL BEARING CAPACITY OF 3000 psf AT EACH JOB SITE IS THE RESPONSIBILITY OF THE CONTRACTOR. QUESTIONABLE SOIL CONDITIONS ARE TO BE INVESTIGATED BY A QUALIFIED SOILS ENGINEER.
- D. PROVIDE ALL NECESSARY UNDERPINNING AND BRACING AS REQUIRED TO PROPERLY INSTALL NEW FOOTINGS.

E. ALL POURED CONCRETE WALLS WITH 7'-O" OR MORE BACKFILL SHALL BE REINFORCED WITH #5 BARS AT 16" O.C. VERTICALLY AND WITH ONE #5 BAR TOP AND BOTTOM OF WALL HORIZONTALLY. REINFORCING SHALL BE GRADE 60 WITH AN ALLOWABLE BENDING STRESS OF 24,000 psi.

F. ALL POURED CONCRETE WALLS WITH A BRICK LEDGE GREATER THAN 4'-0" HIGH SHALL BE REINFORCED WITH #5 BARS @ 24" O.C. VERTICALLY AND WITH ONE #5 BAR TOP AND BOTTOM HORIZONTALLY.

- G. ALL POURED CONCRETE WALLS ARE TO BE BACKFILLED WITH SANDY-TYPE SOIL AND BE WELL BRACED UNTIL CONCRETE IS THOROUGHLY CURED AND ADDITIONAL WEIGHT OF THE BUILDING IS IN PLACE. DO NOT USE FROZEN MATERIALS.
- H. ALL REINFORCING SHALL CONFORM TO ASTM A-615 GRADE 60, FABRICATED AND ERECTED ACCORDING TO ACI STANDARDS.
- I. ALL CONCRETE FLATWORK SHALL BE PLACED ON 4" OF COMPACTED SAND.
- J. WELDED WIRE FABRIC SHALL BE FURNISHED IN FLAT SHEET AND SHALL CONFORM TO ASTM A-185 AND SHALL HAVE A MINIMUM SIDE AND END LAP OF 8".
- K. ALL NON-MOVING CONCRETE OR CONCRETE TO BLOCK JOINTS TO RECEIVE ENCAPSULATED HYDROPHILIC MATERIAL TO CREATE A CONTROLLED MOISTURE ACTIVATED COMPRESSION SEAL. USE SILKA "SWELLSTOP" OR EQUIVALENT ESPECIALLY WHERE NEW CRAWL SPACE FOUNDATION WALLS ABUT TO EXISTING BASEMENT AND CONCRETE AND/OR CONCRETE WALLS.

SPECIAL CONDITIONS (CONTINUED)

ITEM USED ITEM

MASONRY WALLS:

- A. MASONRY WALLS SHALL BE CONSTRUCTED IN LIFTS OF 4'-0" HIGH SO THAT VERTICAL REINFORCING MAY BE PLACED PROPERLY AND THEN CONCRETE PLACED IN THE VOID CONTAINING THE REINFORCEMENT.
- B. VERTICAL REINFORCEMENT IN MASONRY WALLS SHALL BE PLACED IN PROPER LOCATIONS AND SHALL PROJECT ABOVE THE TOP OF THE MASONRY LIFT A DISTANCE OF 18 INCHES, SO THAT THE REINFORCING IN THE SUCCEEDING LIFT WILL LAP THE LOWER REINFORCING.
- C. ALL MASONRY UNITS BELOW GRADE MUST BE GROUTED SOLID WITH CONCRETE GROUT, EVEN IN VOIDS NOT CONTAINING REINFORCEMENT. AGGREGATE IN GROUT MUST BE PEA
- D. PROVIDE WATERPROOFING ASPHALTIC PARGING COATING BELOW GRADE ON BASEMENT AND/OR CRAWL SPACE WALLS. PLASTER AND TAR ALL BRICK BELOW GRADE.
- E. ALL BRICK VENEER WALLS SHALL HAVE ADJUSTABLE WIRE TIES, CORROSION RESISTANT, AT 16" O.C. HORIZONTALLY AND 24" O.C. VERTICALLY. PROVIDE WEEP HOLES WITH APPROPRIATE FLASHING AS NECESSARY 6. STRUCTURAL STEEL WORK:
- A. ALL STRUCTURAL STEEL SHALL BE DESIGNED, FABRICATED AND CONSTRUCTED IN ACCORDANCE WITH THE AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS OR THE AISC LOAD AND RESISTANCE FACTOR DESIGN SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS.

MEMBERS. THE SHOP DRAWINGS SHALL INCLUDE CONNECTION DETAILS FOR ALL

C. ALL COLD-FORMED STRUCTURAL STEEL MEMBERS SHALL BE DESIGNED AND INSTALLED N ACCORDANCE WITH THE AISI <u>SPECIFICATIONS FOR DESIGN OF COLD-FORMED STEEL</u>

B. COMPLETE SHOP FABRICATION DRAWINGS SHALL BE PREPARED FOR STRUCTURAL STEEL

STRUCTURAL MEMBERS. D. COLD-FORMED STRUCTURAL STEEL MEMBERS SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME OR LOGO AND PART NUMBER AS REQUIRED BY CODE E. STEEL JOISTS AND JOIST GIRDER STRUCTURAL MEMBERS SHALL BE DESIGNED AND

CONSTRUCTED IN ACCORDANCE WITH SJI <u>STANDARD SPECIFICATIONS</u>, <u>LOAD TABLES AND WEIGHTS TABLES FOR STEEL JOISTS AND JOIST GIRDERS</u>.

A. ROOF TRUSS DESIGN BY TRUSS MANUFACTURER SHALL CONFORM TO ALL MINIMUM DESIGN LOAD REQUIREMENTS. BRACE ROOF TRUSSES AS RECOMMENDED BY MANUFACTURER. MANUFACTURER SHALL FURNISH SHOP DRAWINGS OF TRUSS LAYOUT TO THE ARCHITECT PRIOR TO FABRICATION OF THE TRUSSES. **ROOF TRUSSES:**

7 p.s.f.

10 p.s.f.

LIVE LOAD TOP CHORD: DEAD LOAD BOTTOM CHORD: DEAD LOAD

- B. ROOF TRUSS FRAMING INDICATED ON DRAWINGS IS OUR ASSUMED LAYOUT. TRUSS MANUFACTURER SHALL REVIEW THE DRAWINGS AND INDICATE TO ARCHITECT, PRIOR TO FABRICATION, ANY CHANGE IN STRUCTURE TO ACCOMMODATE TRUSSES.
- C. FLOOR TRUSS FRAMING ON DRAWINGS IS DESIGNED FOR CARPET, WOOD OR CERAMIC TILE FLOOR FINISHES. IF THE FLOOR MATERIAL CHANGES, NOTIFY THE ARCHITECT IMMEDIATELY FOR A STRUCTURAL RE-DESIGN OF THE FLOOR SYSTEM TO ACCOMMODATE
- D. PROVIDE 31/2"x6"x1/16" STEEL ANGLE AT ALL LINTEL AND BRICK CANTILEVER LOCATIONS. ATTACH ANGLE TO HEADER OR TRUSS WITH 36" DIAMETER x 2" ANCHOR BOLTS AT 16" ON CENTER OR AS NOTED OTHERWISE.

8. WOOD CONSTRUCTION:

- A. ALL HEADERS AND FLOOR JOISTS TO BE #2 OR BETTER DOUGLAS FIR WITH 1"x3" CROSS BRIDGING 8'-0" O.C.
- B. WHERE JOISTS HANG FROM BEAMS, WALLS OR OTHER SUPPORTS, NO JOIST ANGLES ARE ALLOWED. USE ONLY JOIST HANGERS. C. ALL ENGINEERED WOOD FLOOR TRUSSES SHALL BE #1 DENSE SS WITH 2x6
- CONTINUOUS STRONG BACK BRACING ON BOTTOM CHORD AT 8'-0" O.C. (MINIMUM 2 PER SPAN) WELL NAILED TO TRUSSES.
- D. DOUBLE EVERY THIRD JOIST UNDER ALL CERAMIC TILE OR STONE FLOORS. VERIFY AREAS OF DROPPED FLOORS FOR CERAMIC TILE OR STONE FLOORING WITH BUILDER AND
- E. ALL MICROLLAM AND PARALLAM BEAMS & HEADERS SHALL BE BY "TRUS JOIST MAC MILLAN" AND ARE TO BE JOINED TOGETHER PER MANUFACTURER'S SPECIFICATIONS. F. BUILDER SHALL PROVIDE METAL DIAGONAL CORNER WIND BRACING PER CURRENT CODE "X" AND "K" SHAPED BRACINGS ARE ACCEPTABLE. PROVIDE METAL STRAPPED WINDBRACING AT EACH END OF EXTERIOR WALLS (TYPICAL).
- G. INSTALL DOUBLE FLOOR JOISTS UNDER ALL UPPER FLOOR LEVEL PARALLEL PARTITIONS.
- H. NAILING SCHEDULE FOR PLYWOOD SHEATHING: 10d NAILS AT 6" ON CENTER, AT DIAPHRAGM BOUNDARY AND ALONG END SUPPORTING MEMBERS, 10d NAILS AT 12" ON CENTER ALONG INTERMEDIATE FRAMING MEMBERS.
- I. ALL LUMBER AND FRAMING TECHNIQUES SHALL CONFORM WITH APPLICABLE SECTIONS OF THE LATEST SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENERS. ALL WORK SHALL CONFORM WITH THE TRUSS PLATE INSTITUTE, AMERICAN PLYWOOD ASSOCIATION, TRUSS JOIST MACMILLAN AND THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- J. ALL BUILT-UP WOOD POSTS, BEAMS AND GIRDERS SHALL BE NAILED AND/OR BOLTED

9. RAILINGS AND STAIRS:

- A. ALL HANDRAILS, GUARDRAILS, BALUSTERS, HEADROOM, RISERS AND TREADS SHALL MEET CURRENT CODES. HANDRAIL HEIGHTS SHALL BE 34-36" ABOVE NOSING. GUARDRAIL HEIGHT FOR STAIRS SHALL BE 36" ABOVE NOSING. GUARD RAILS AT CHANGES IN ELEVATIONS GREATER THAN 30" SHALL BE INSTALLED PER CODE.
- B. HANDRAIL GRIP SIZE SHALL NOT EXCEED A MINIMUM HORIZONTAL CROSS-SECTION DIMENSION OF 25%". SEE CODE ADOPTION FOR OTHER APPROVED SHAPES.
- C. BALCONY GUARDS SHALL BE BALUSTERS SPACED NO FARTHER THAN 4" APART PER

SECTION 10213. 10. WINDOWS AND DOORS:

- A. ALL WINDOW AND DOOR NUMBERS REFER TO ____PELLA_____ WINDOWS AND DOORS. IF ALTERNATE MANUFACTURER IS USED, ALL SIZES AND SHAPES SHALL MATCH IN DIMENSION. EGRESS WINDOWS REQUIRED IN SLEEPING ROOMS SHALL BE:
 - 1. MIN. NET CLEAR OPENING: 5.7 SQ. FT. (2ND. FLOOR BEDROOM) 2. MIN. NET CLEAR OPENING: 5.0 SQ. FT. (1ST. FLOOR BEDROOM) MIN. NET CLEAR HEIGHT: 4. MIN. NET CLEAR WIDTH:
- B. AREAS THAT REQUIRE TEMPERED GLASS SHALL BE:

ALL OTHER AREAS AS REQUIRED BY CODE.

MAX. SILL HEIGHT:

1. FIXED AND MOVING PANELS OF SLIDING GLASS DOORS: SHOWER AND BATHTUB DOORS AND ENCLOSURES: 3. PANELS WITH A GLAZED AREA IN ACCESS OF 9 SQ.FT. WITH LOWEST EDGE LESS THAN 18" ABOVE THE FINISHED FLOOR LEVEL AND A TOP EDGE GREATER THAN 36" ABOVE THE FLOOR AND HAS ONE OR MORE WALKING SURFACES WITHIN 36" OF GLASS;

C. ALL EXTERIOR PERIMETER GLASS SHALL RECEIVE BUILDING STANDARD WINDOW

11. EXPANSION JOINTS:

- A. THE CONTRACTOR AND HIS MASONRY, STRUCTURAL STEEL, OR CONCRETE SUBCONTRACTORS SHALL BE RESPONSIBLE FOR EXPANSION JOINTS, CONTROL JOINTS AND CONSTRUCTION JOINTS NOT SPECIFICALLY SHOWN OR INDICATED ON THE DRAWINGS.
- B. EXPANSION JOINTS ARE NEEDED:

3. WHEN A NEW BUILDING ADJOINS AN EXISTING BUILDING;

5. WHEN INTERIOR AND EXTERIOR TEMPERATURES ARE EXCESSIVE.

- 1. WHERE A LONG LOW BUILDING ABUTS A MASSIVE EXISTING BUILDING; 2. AT ENDS OF A LONG LOW BUILDING BETWEEN TWO MASSIVE EXISTING BUILDINGS AND AT INTERVALS:
- C. THE CONTRACTOR SHALL GIVE TIMELY NOTICE TO THE ARCHITECT OR ENGINEER OF WHERE AND WHEN THIS WORK SHALL BE PERFORMED.

4. IN FREESTANDING BUILDINGS, THROUGH EXPANSION JOINTS ARE REQUIRED;

	EL	ECTRICAL /	MECHANICAL LEGEND
EM	ITEM USED	SYMBOL	DESCRIPTION
1	•	<u></u>	18" A.F.F. UNLESS NOTED OTHERWISE. "W"= WEATHERPROO
2	•	⊨⊕	DUPLEX 120V RECEPTACLE, WALL MOUNT; MOUNT OVER COUNTER
3	•	₩	QUADRAPLEX 120V RECEPTACLE, WALL MOUNT; MOUNT AT 18" A.F.F. UNLESS NOTED OTHERWISE
4	•	H	DUPLEX 120V RECEPTACLE, SEPARATE CIRCUIT
5	•	₩	210V RECEPTACLE, WALL MOUNT; REFER TO PLANS
6		+	DUPLEX 120V RECEPTACLE, FLOOR MOUNT
7		⊢	DUPLEX 120V RECEPTACLE, SEPARATE CIRCUIT. UNINTERUPTED POWER
8	•	USB	DUPLEX 120V RECEPTACLE w/3.6A USB (UNIVERSAL SERIAL BUS) DUAL TYPE A IN-WALL CHARGER W/ 15
9	•		AMP TAMPER-RESISTANT OUTLETS
10			
11			
12			
13	•	 8	SINGLE POLE SWITCH; "3" = THREE-WAY, "D" = DIMMER, "T" = TIMER
14		ŀ ⇔	SPLIT SWITCH: SEPARATE CONTROLLING OF TWO INSIDE & TWO OUTSIDE FLUORESCENT LAMPS
15	•		EMPTY J BOX WITH CONDUIT TO CEILING PLENUM
16			COMBINED VOICE/DATA BOX WITH CONDUIT TO CEILING PLENUM
17		D	DEDICATED OUTLET
18			FLOOR CORE QUADRAPLEX POWER & COMBINED VOICE/DATA BOX WITH IN-FLOOR CONDUIT
19			WALL MOUNTED QUADRAPLEX POWER & COMBINED VOICE/DATA BOX WITH CONDUIT TO CEILING PLENUM
20	•		CEILING FAN / LIGHT WITH REMOTE CONTROL FORWARD, REVERSE AND SPEED ADJUSTMENTS
21	•	SMOKE ALARM	CEILING-MOUNTED SMOKE ALARM.
22	•	⊢⊚	WALL-MOUNTED GAS OUTLET
23			CEILING RECESSED EXHAUST FAN / LIGHT
24	•	•	CEILING RECESSED EXHAUST FAN
25	•	GFI	GROUND—FAULT INTERRUPT
26		SP	CEILING-MOUNTED SPEAKER & GRILLE
27			2'x4' CEILING RECESSED FLUORESCENT LIGHT FIXTURE: W/ BLANK INTERIOR, ACRYLIC PRISMATIC LENS; W/ DIAGONAL SLASH, PARACUBE LENS; W/ GRID, PARALOUVER LENS
28			2'x2' CEILING RECESSED FLUORESCENT LIGHT FIXTURE: W/ BLANK INTERIOR, ACRYLIC PRISMATIC LENS; W/ DIAGONAL SLASH, PARACUBE LENS; W/ GRID, PARALOUVER LENS
29			1'x4' SURFACE-MOUNTED FLUORESCENT LIGHT FIXTURE WITH LENS
30		<u> </u>	FLUORESCENT STRIP LIGHTING WITHOUT LENS
31	•		UNDER-CABINET LIGHTING, ****LSSEH-SR-L.E.D.
32		<u>\times \times \</u>	INCANDESCENT/HALOGEN TRACK LIGHTING
33	•	J	JUNCTION BOX FOR LIGHT FIXTURE BY OWNER
34		0	CEILING-RECESSED DOWNLIGHT
35	•	•	CEILING-RECESSED ADJUSTABLE DOWNLIGHT, L.E.D.
36	•	×	CEILING SURFACE-MOUNTED LIGHT, L.E.D.
37	•		CEILING-MOUNTED SUSPENDED PENDANT LIGHT FIXTURE OR CHANDELIER, L.E.D.
38	•		L.E.D. LIGHT SCONCE
39	•	•	CEILING-RECESSED L.E.D. DOWNLIGHT
40		F	CEILING-RECESSED DOWNLIGHT, COMPACT FLUORESCENT
41			BATTERY PACK EMERGENCY LIGHT
42		$\vdash \otimes$	EXIT SIGN / LIGHT
43		•	SUSPENDED CABLE—TYPE LOW VOLTAGE UP AND DOWN LIGHTING
44	•	√°D	OUTDOOR SECURITY FLOODLIGHTING
45		N	NIGHTLIGHT
46	•		AIR SUPPLY GRILLE IN FLOOR, CEILING OR WALL
47	•		AIR RETURN GRILLE IN FLOOR, CEILING OR WALL
48		•	FIRE SUPPRESSION SPRINKLER HEAD
49	•	NOTE	AT ALL SWITCH & OUTLET GANG LOCATIONS, PROVIDE ONE COVER PLATE OVER ALL CONTROLS
50		$\qquad \qquad \longrightarrow$	SWITCH GANG LOCATION-USE (1) COVERPLATE OVER LUTRON SWITCHING DEVICES
51			X-RAY REMOTE CONTROL PANEL
52	•	E	EXISTING TO REMAIN
53			POWER STUB (2' OF EXPOSED "ROMEX" WHIP)

	RUCTION LEGEND	CONSTR		
	DESCRIPTION	SYMBOL	ITEM USED	ITEM NO.
	EXISTING WALLESS PARTITION BY LANGUAGE		•	1
	EXISTING PARTITION TO BE REMOVED		•	2
	NEW BRICK VENEER		•	3
	NEW CONCRETE BLOCK WALL W/ STEEL REINFORCING AS REQUIRED	******	•	4
TIONS, OSTR	NEW STUD WALL WITH BATT THERMAL OR SOUND INSULATION; NOTE: SYMBOL USED IN BUILDING SECTIONS, WALL SECTIONS & DETAILS ONLY.	3888888888	•	5
DESIGN (NEW EXTERIOR STUD WALL WITH BATT THERMAL INSULATION; NOTE: SYMBOL USED IN FLOOR PLANS ONLY.		•	6
GONLY.	NEW PARTITION: 1/2" OR 5/8" GYP. BD. EACH SIDE OF STUDS AT 16" O.C., UNLESS OTHERWISE NOTED; SYMBOL USED IN FLOOR PLANS ONLY.	<u></u>	•	7
Prog	NEW PARTITION, AS ITEM #7, TO UNDERSIDE OF CEILING GRID SYSTEM OR DRYWALL SUSPENDED CEILING.	A		8
Con	NEW PARTITION, AS ITEM #7, TO STRUCTURE ABOVE	B		9
	NEW PARTITION, AS ITEM #7, TO 6" ABOVE SUSPENDED CEILING; EXTEND EVERY 3RD STUD TO STRUCTURE ABOVE	©		10
25890 HUNTIN	NEW FIRE—RATED PARTITION TO STRUCTURE ABOVE	***************************************		11
MICH TEL. (2 FAX (2	NEW PARTITION, AS ITEM #11, 1 HOUR RATED: 5/8" FIRECODE "X" GYP. BD. EACH SIDE OF STUDS; FIRE SEAL AT TOP & BOTTOM OF PARTITION.			12
,	NEW PARTITION, AS ITEM #11, 2 HOUR RATED: 2 LAYERS 5/8" FIRECODE "X" GYP. BD. EACH SIDE OF STUDS; FIRE SEAL AT TOP & BOTTOM OF PARTITION.	Œ		13
Project	NEW PARTITION, NO ITEMS #7.5.0.10.1.1.2.1.3. WITH FULL-WALL SOUND ATTENUATION BLANKET; NOTE: SYMBOL USED IN FLOOR PLANS ONLY.	<i>T.I.I.I.I.III.</i> F)	•	14
	NEW FURRING ON MASONRY WALL: 1/2" GYP. BD. ON 1-1/2" TREATED WOOD OR METAL FURRING CHANNELS @ 16" O.C. W/ FULL CAVITY RIGID FOAM THERMAL INSULATION & VAPOR BARRIER INSIDE FACE			15
10834 KINGSTON . HUNTINGTON WOOD	FULL CAVITY RIGID FOAM THERMAL INSULATION			16
MICHIGAN 48070	GLASS LITE IN FRAME: MIN. 1/4" SAFETY GLASS; FOR LITES 18" OR LESS A.F.F., USE TEMPERED GLASS; GLASS COLOR AS NOTED ON DRAWINGS.			17
!	GLASS LITE IN FRAME: MIN. 3/4" DOUBLE— INSULATING; FOR LITES 18" OR LESS ABOVE FLOOR OR FINISHED GRADE, USE TEMPERED GLASS; COLOR AS NOTED ON DRAWINGS.		•	18
Sheet	DOOR BUMPERS (FLOOR OR WALL-MOUNTED)	0		19
	R-19 RATED FULL-WALL CELLULOSE INSULATION W/ VAPOR BARRIER INSIDE			20
GENERAL CO SPECIAL COI LEGENDS	R-38 RATED SPRAY-ON CLOSED-CELL FOAM INSULATION			21



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25890 CONCORD

Project

HOLMES & MAGUIRE RESIDENCE RENOVATIONS 10834 KINGSTON AVE. HUNTINGTON WOODS

Revisions

GENERAL CONDITIONS. SPECIAL CONDITIONS,

Issued for:	Date:
	Date:
■ preliminary	
	04-27-22

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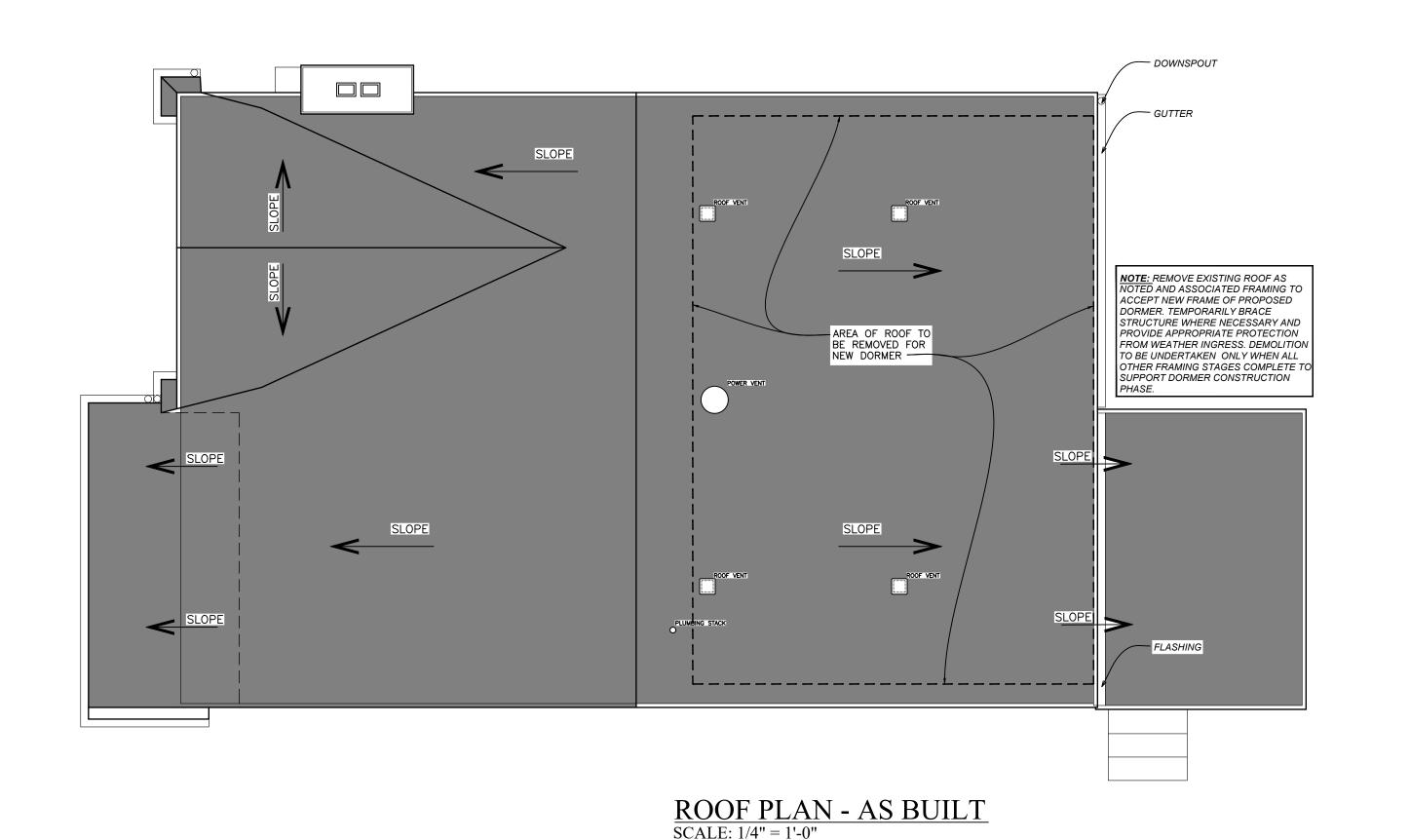
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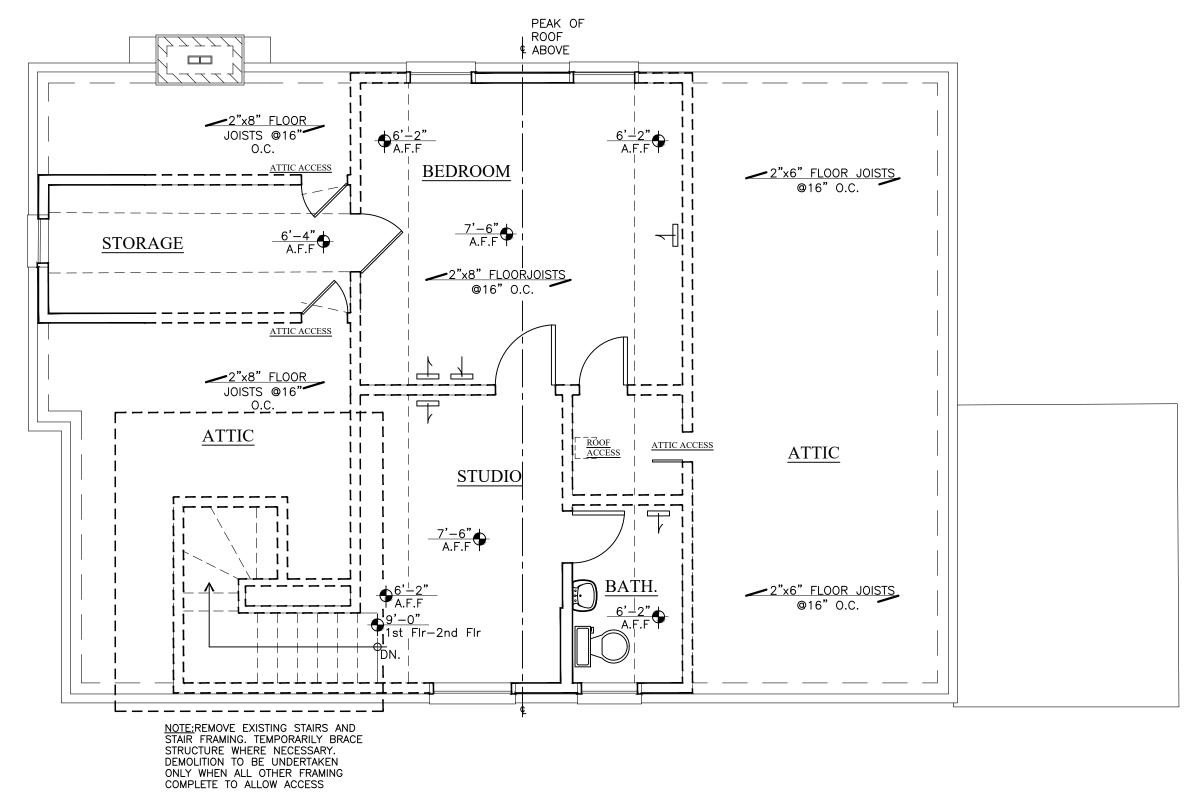
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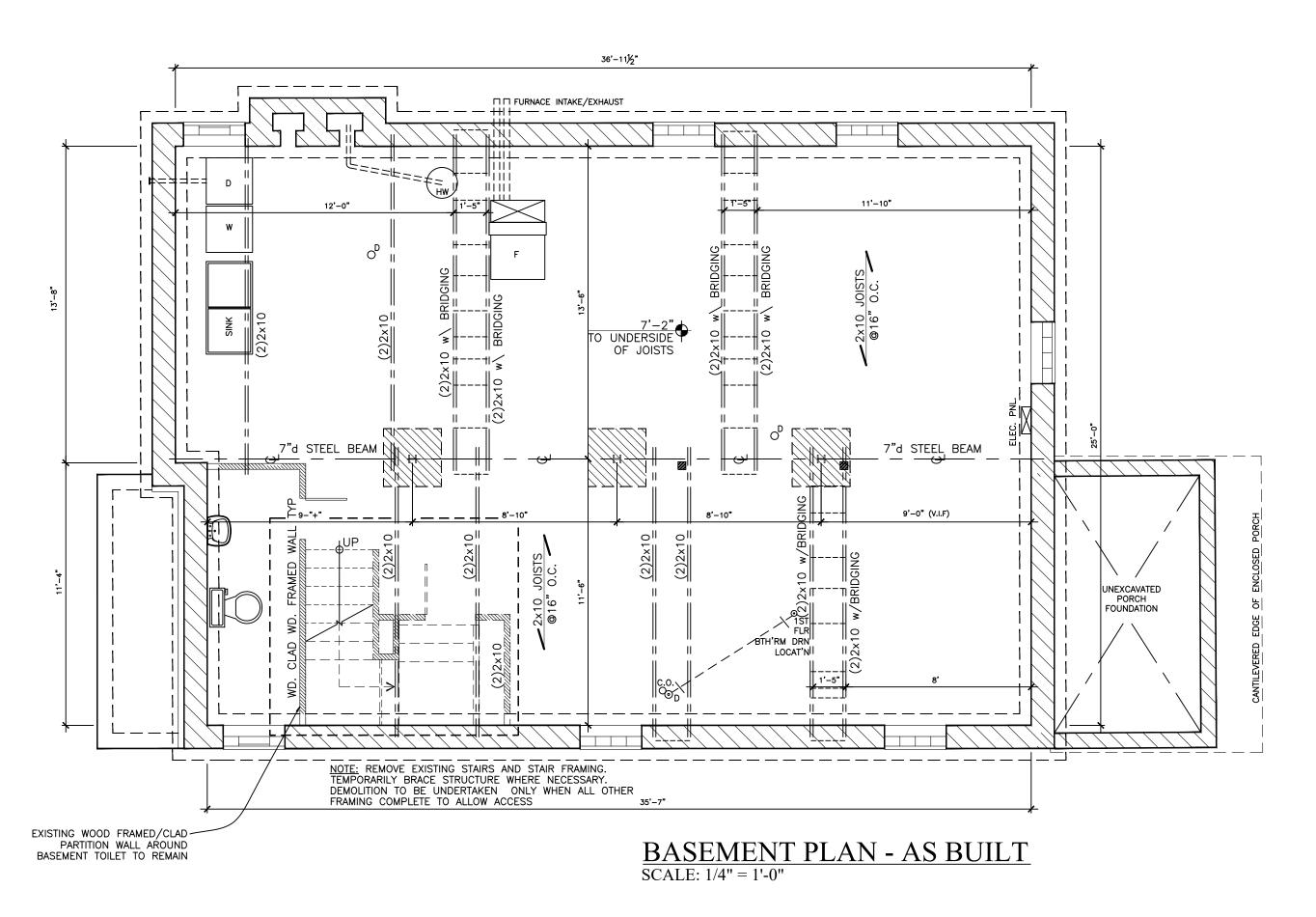
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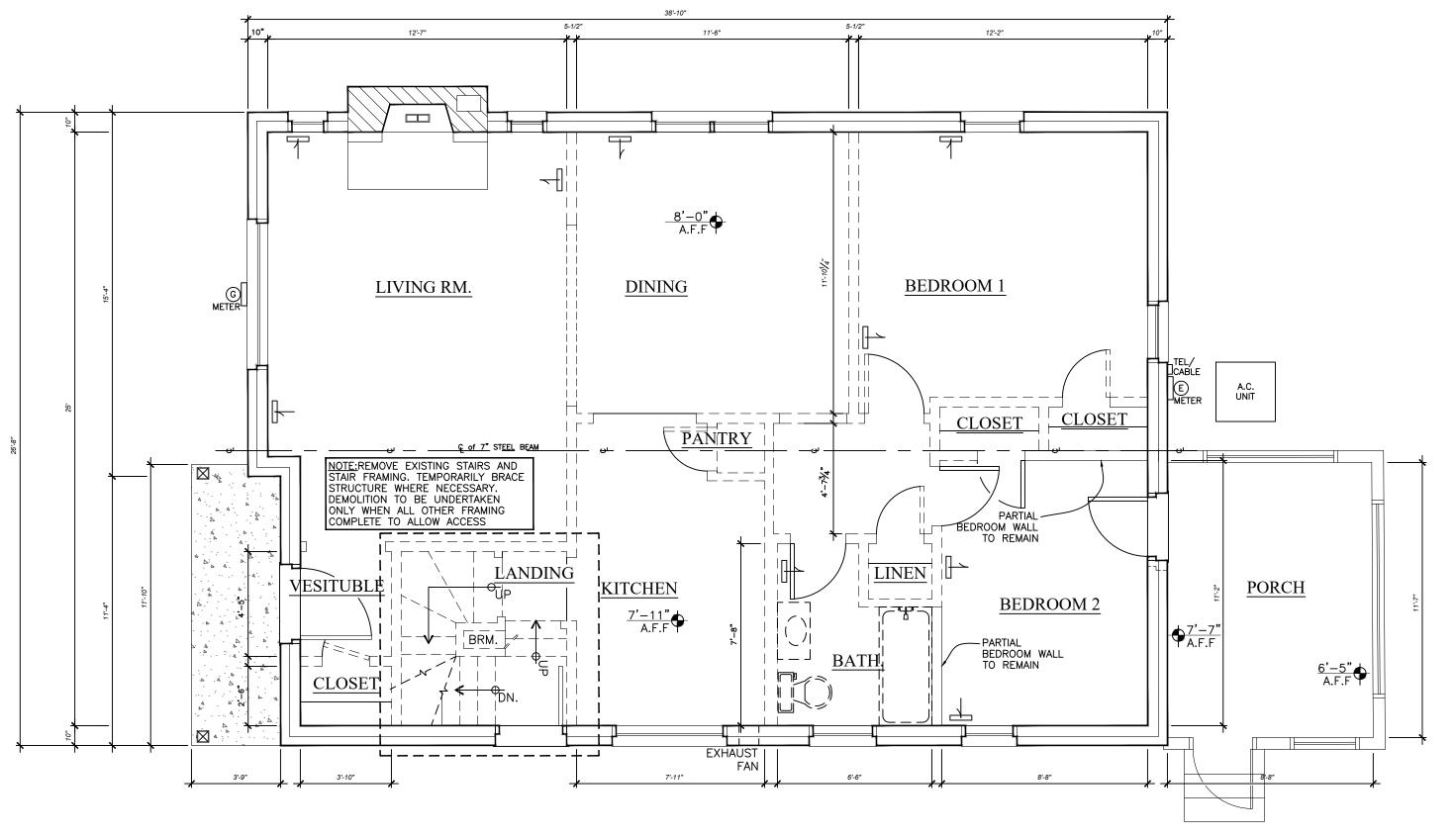
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SECOND FLOOR PLAN - AS BUILT SCALE: 1/4" = 1'-0"





FIRST FLOOR PLAN - AS BUILT SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

1. TEMPORARILY BRACE STRUCTURE WHERE NECESSARY. PROTECT ENTIRE STRUCTURE FROM WATER, WIND AND WEATHER UNTIL NEW CONSTRUCTION IS IN PLACE.

2. REMOVE ALL INTERIOR WALLS, CEILINGS, MILLWORK AND CASEWORK, ELECTRICAL AND PHONE RECEPTACLES AND LIGHT SWITCHES WHERE REQUIRED; TERMINATE ALL WIRING PER CODE, PER PLAN.

3. PATCH AND REPAIR EXISTING WALLS TO REMAIN, SMOOTH FOR NEW WALL FINISH.

4. STRUCTURALLY BRACE ALL OPENINGS 5. ALL ABANDONED PLUMBING AND UNTIL PERMANENT HEADERS AND OTHER FRAMING ARE INSTALLED OR UNTIL NEW WALLS ARE IN PLACE.

A POINT BEHIND OR WITHIN FINISHED FLOOR, WALL OR CEILING SURFACES PER LOCAL CODES.

6. REMOVE DOORS, FRAMES AND CASINGS 7. REMOVE ALL FLOORING AS REQUIRED ELECTRICAL WORK IS TO BE REMOVED TO WHERE SHOWN ON DEMOLITION PLAN AND AND WHERE SHOWN ON DRAWINGS.

9. SOLID LINES REPRESENT ITEMS TO REMAIN UNLESS NOTED OTHERWISE.

8.DASHED LINES REPRESENT ITEMS TO BE REMOVED.

22007

Sheet no.

Date:

03-29-22

06-13-22

06-13-22

1/4" = 1'-0"

Do Not Scale — Use Figured Dimensions

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HOLMES-MAGUIRE

RESIDENCE

RENOVATIONS

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HUNTINGTON WOODS MICHIGAN 48070

EXISTING FLOOR

Project

Sheet

PLANS

PLANS

Revisions

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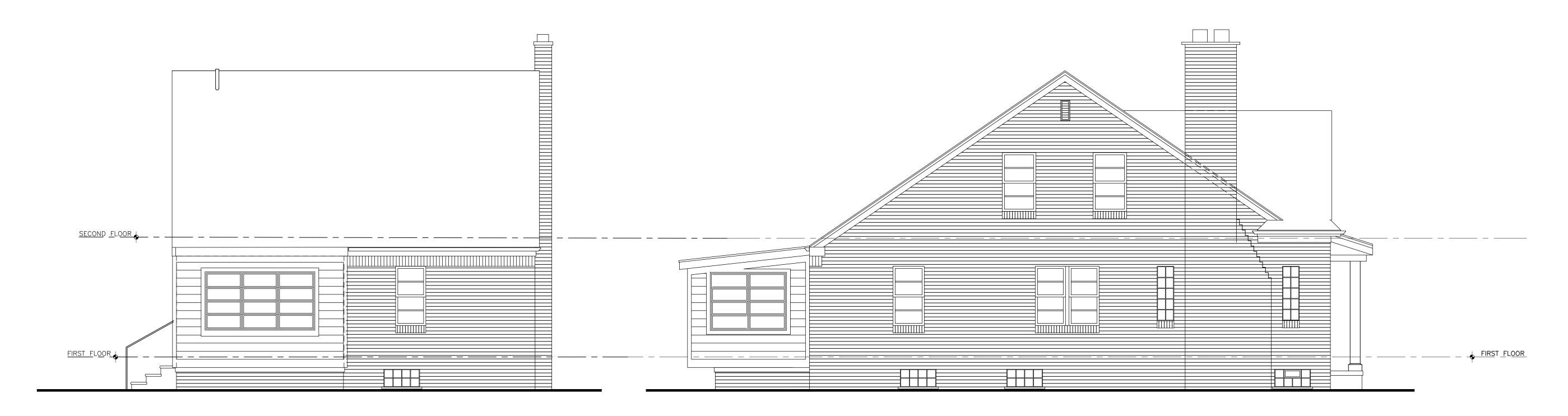
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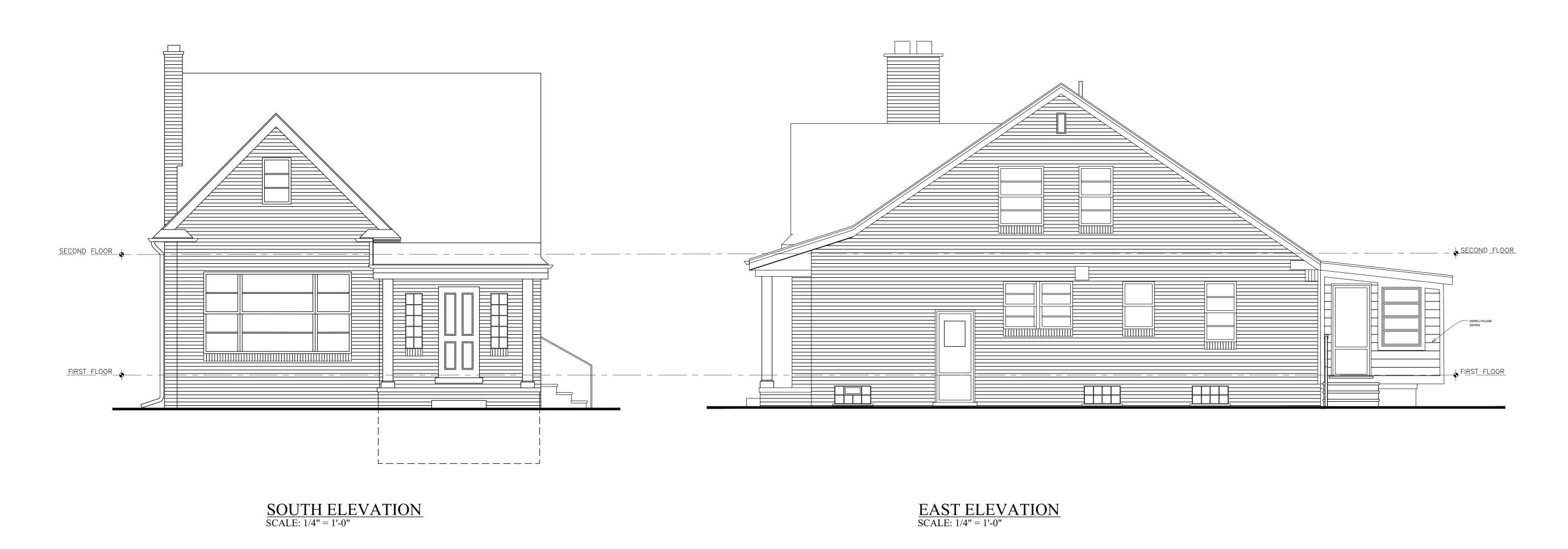
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DEMOLITION



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



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HOLMES-McGUIRE RESIDENCE RENOVATIONS

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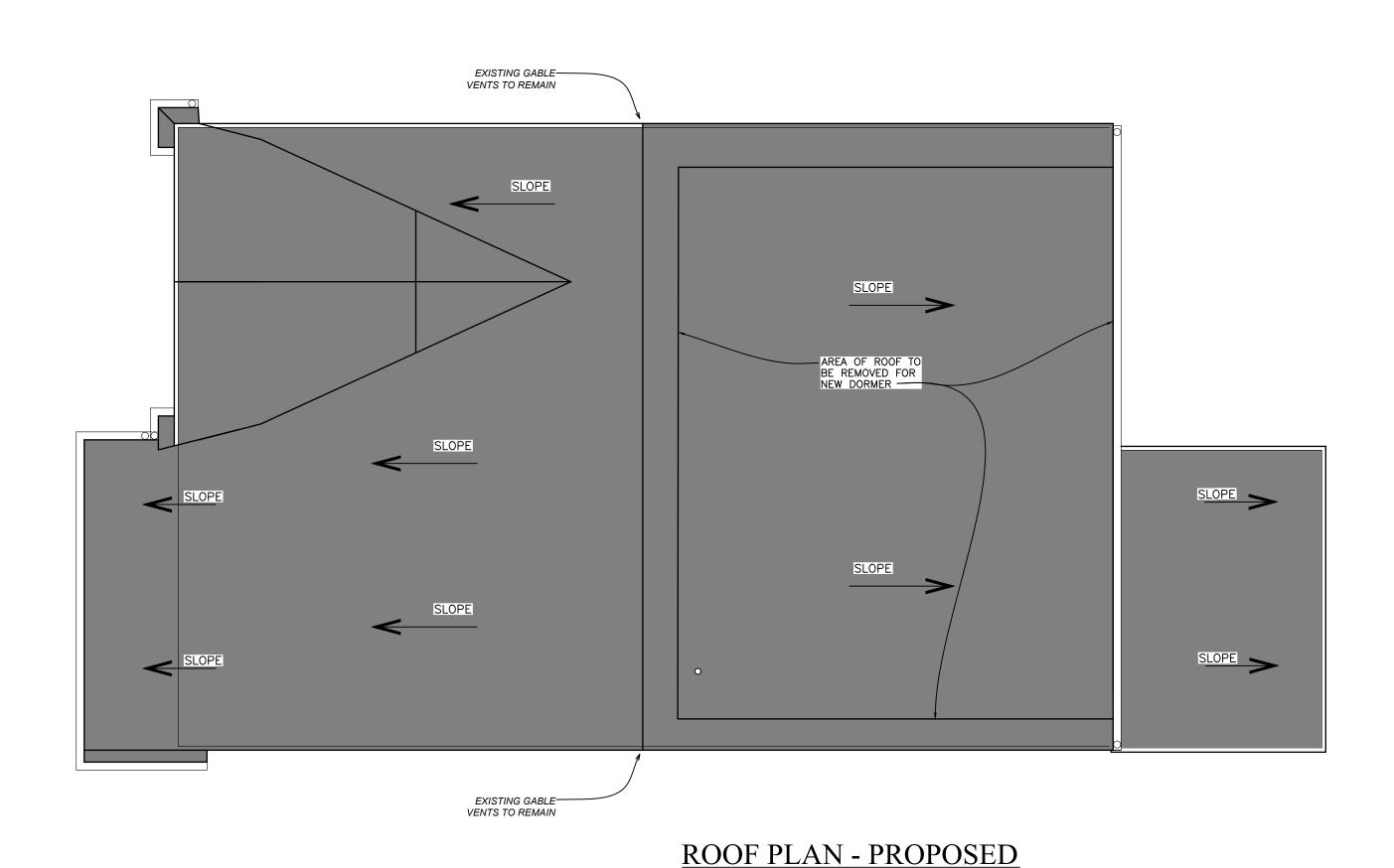
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EXISTING ELEVATIONS

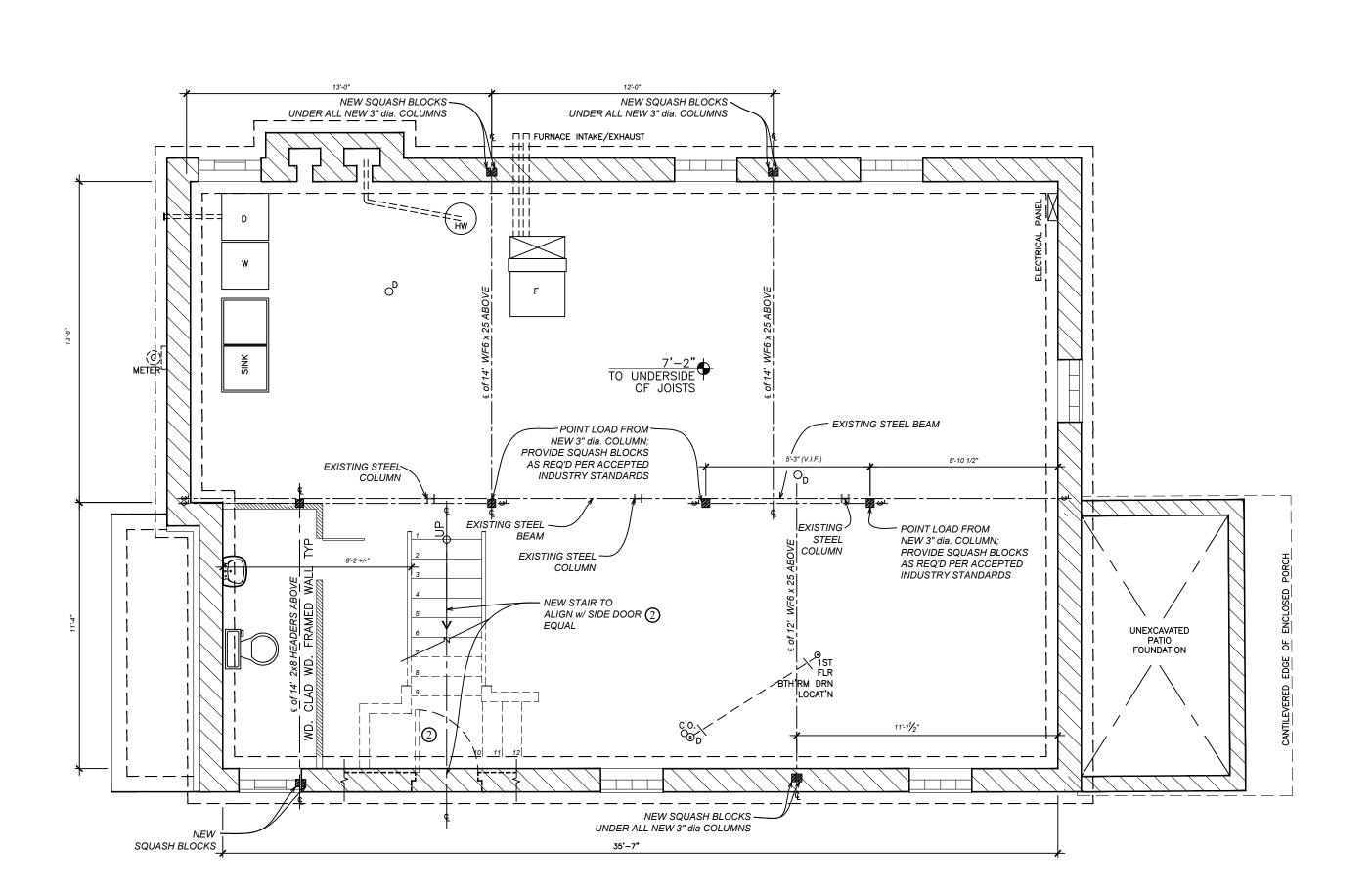
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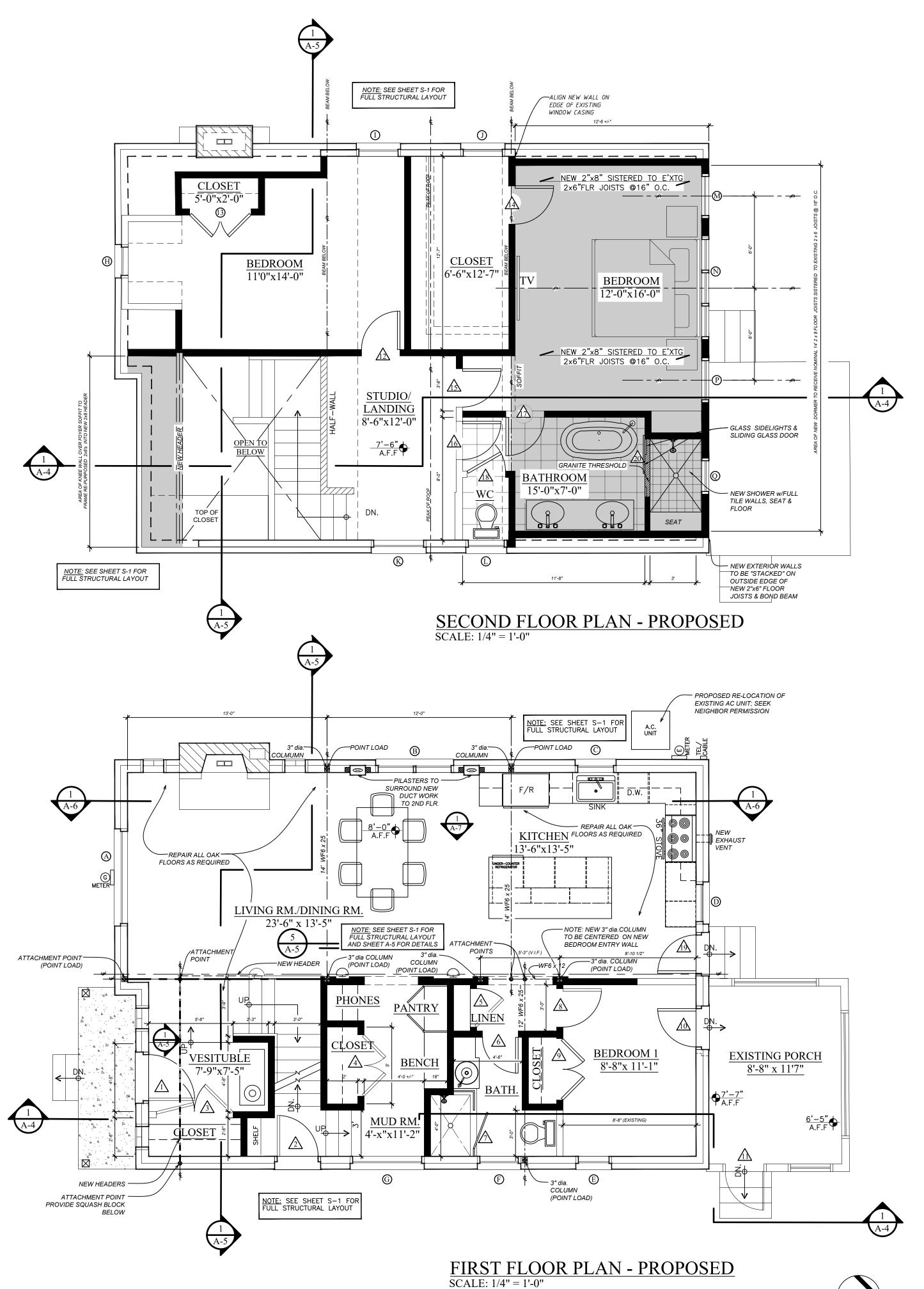
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SCALE: 1/4'' = 1'-0''



BASEMENT PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



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HOLMES & MAGUIRE

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RENOVATIONS

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HUNTINGTON WOODS

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PROPOSED FLOOR

PLANS & ROOF PLAN

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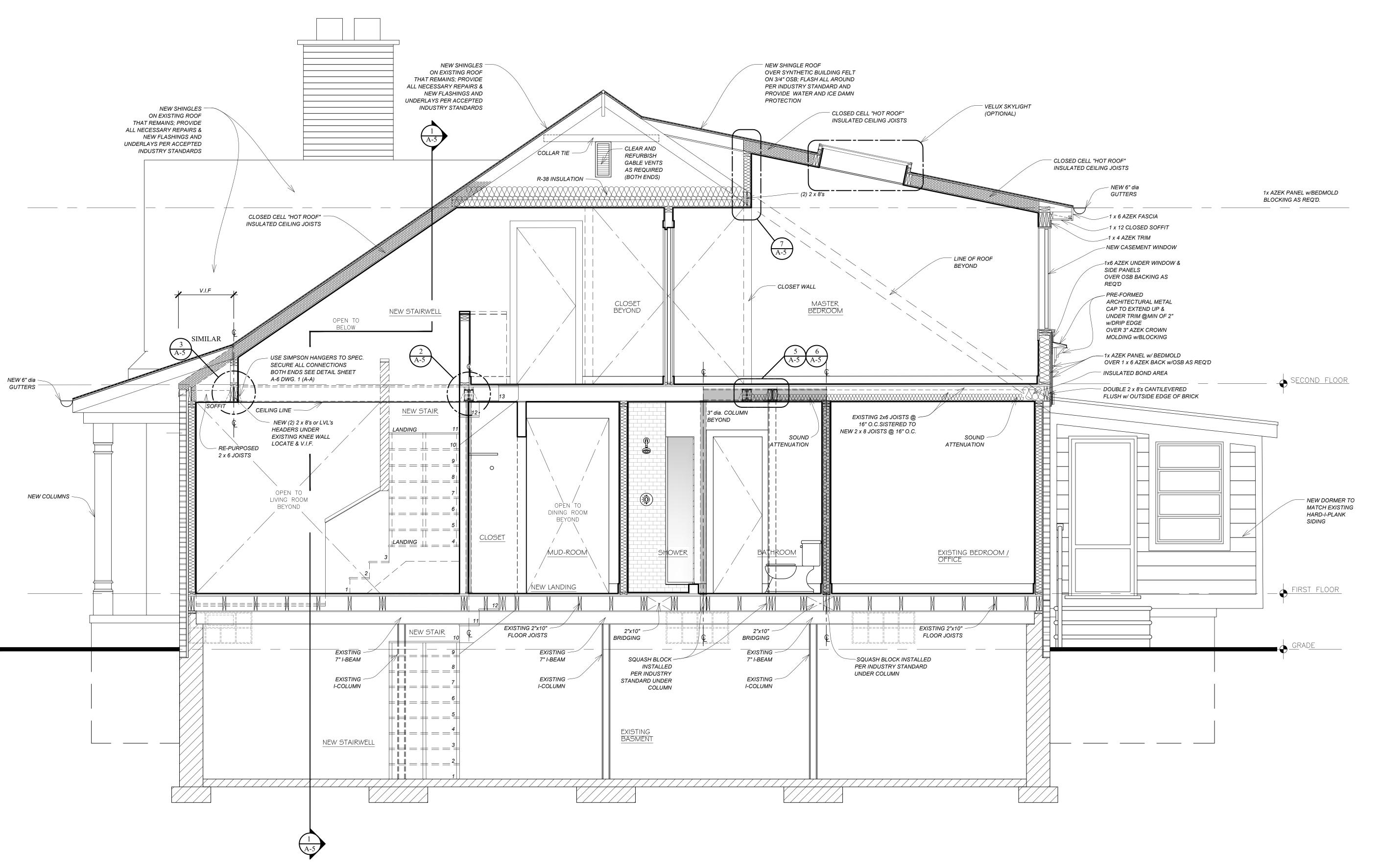
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06-13-22 06-13-22

1/4" = 1'-0"



SECTION LOOKING WEST
SCALE: 1/2" = 1'-0"

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HOLMES-MAGUIRE RESIDENCE RENOVATIONS

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SECTION

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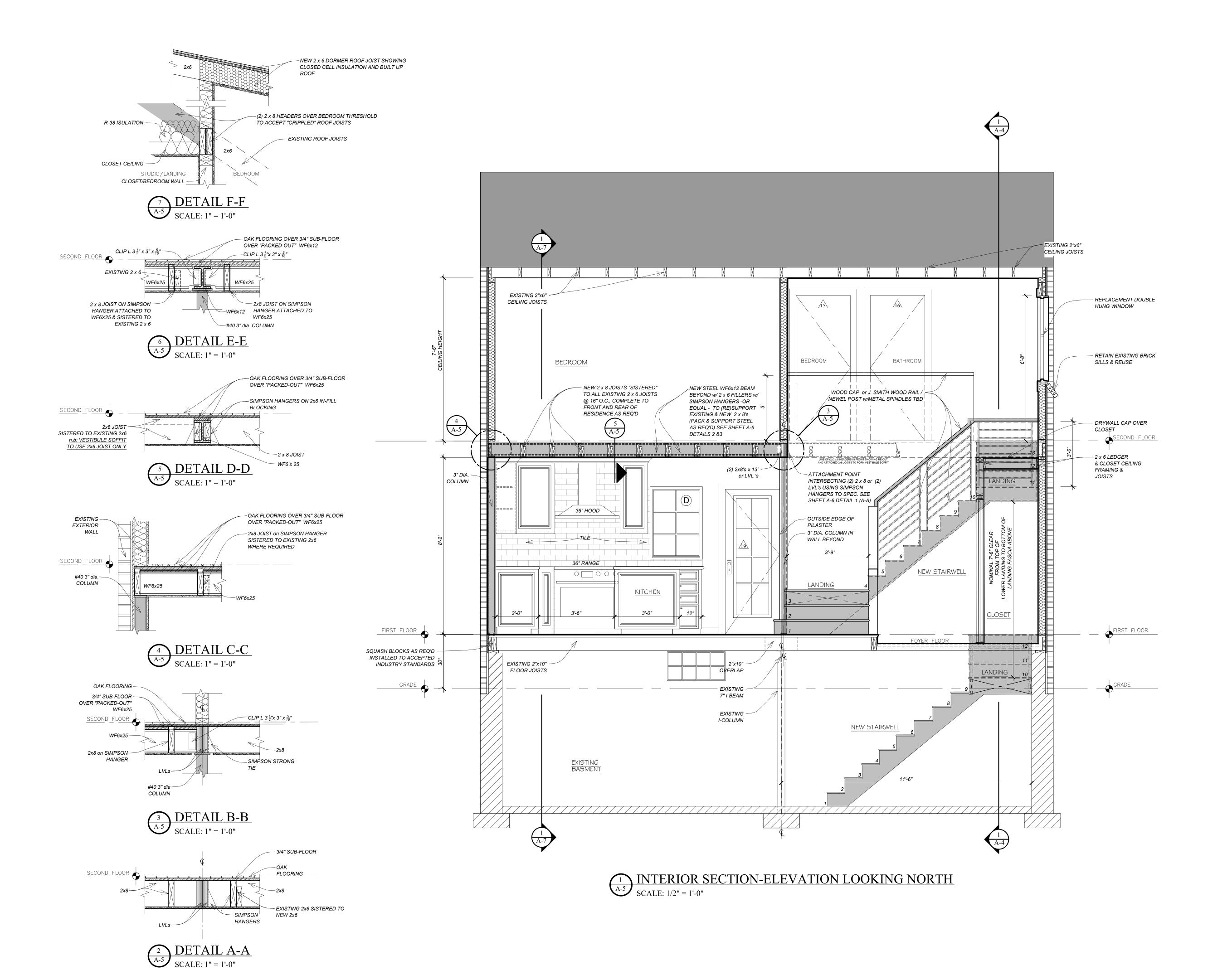
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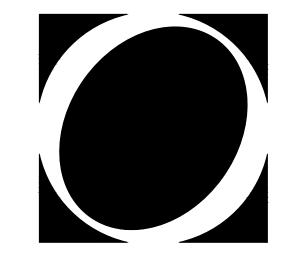
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HOLMES-MAGUIRE RESIDENCE RENOVATIONS

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SECTION & DETAILS

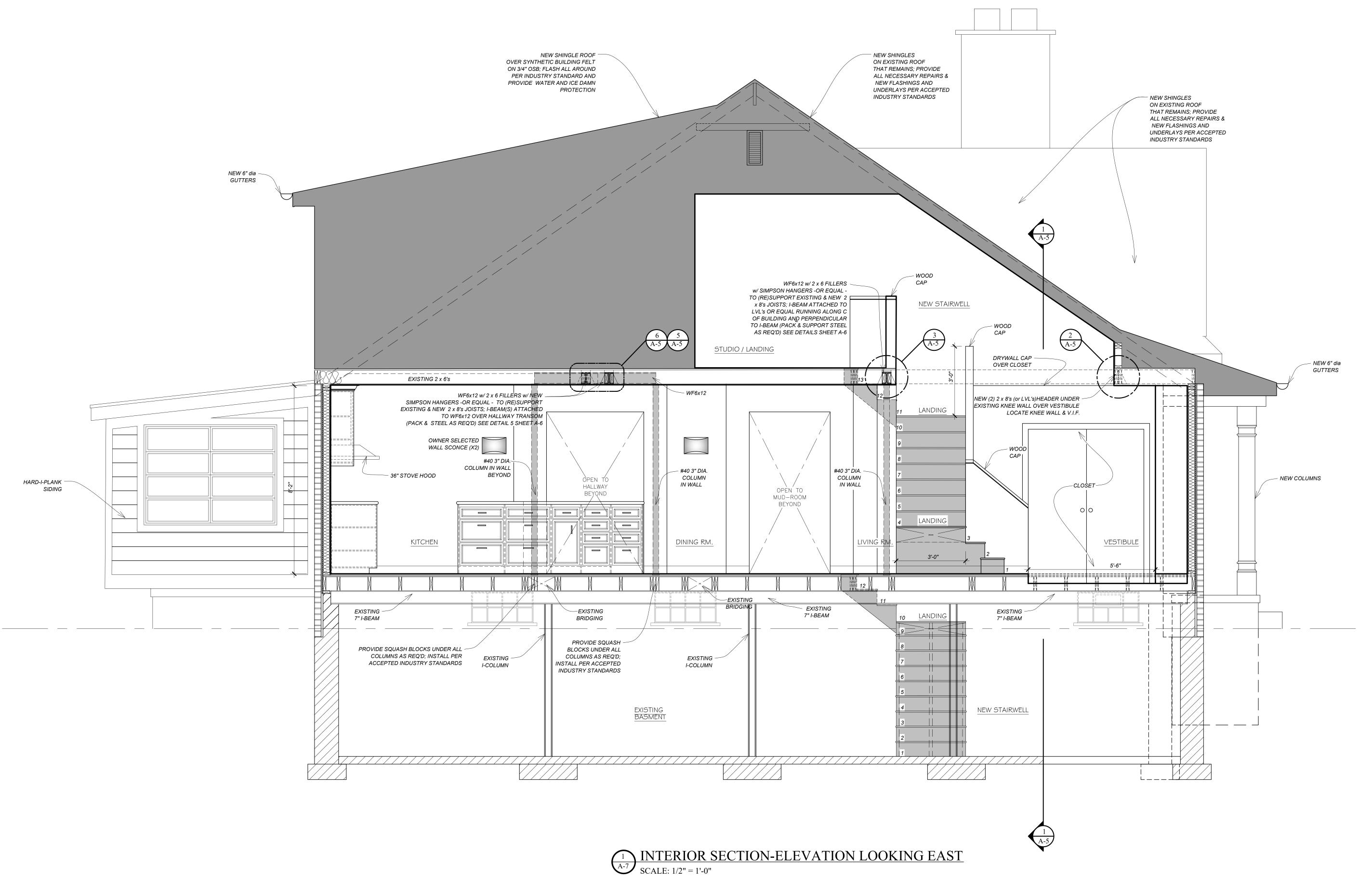
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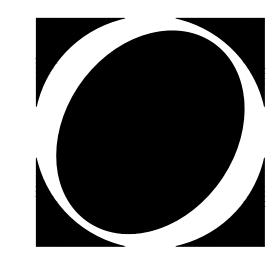
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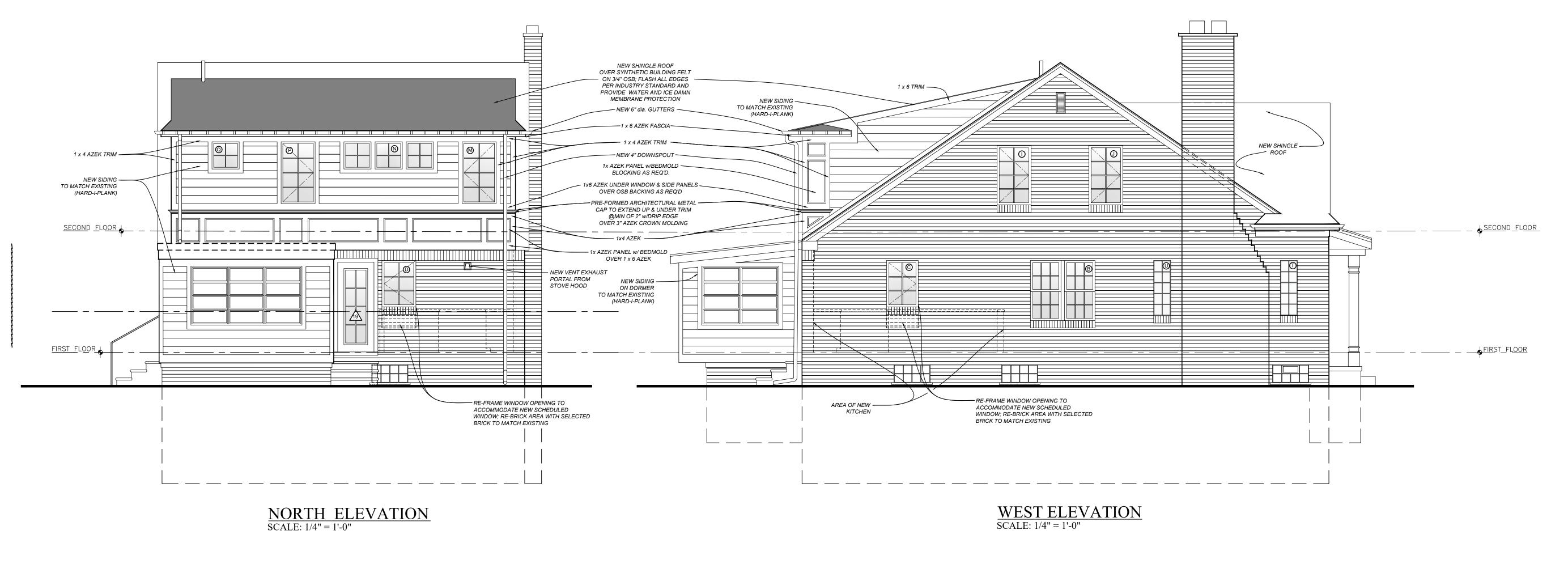
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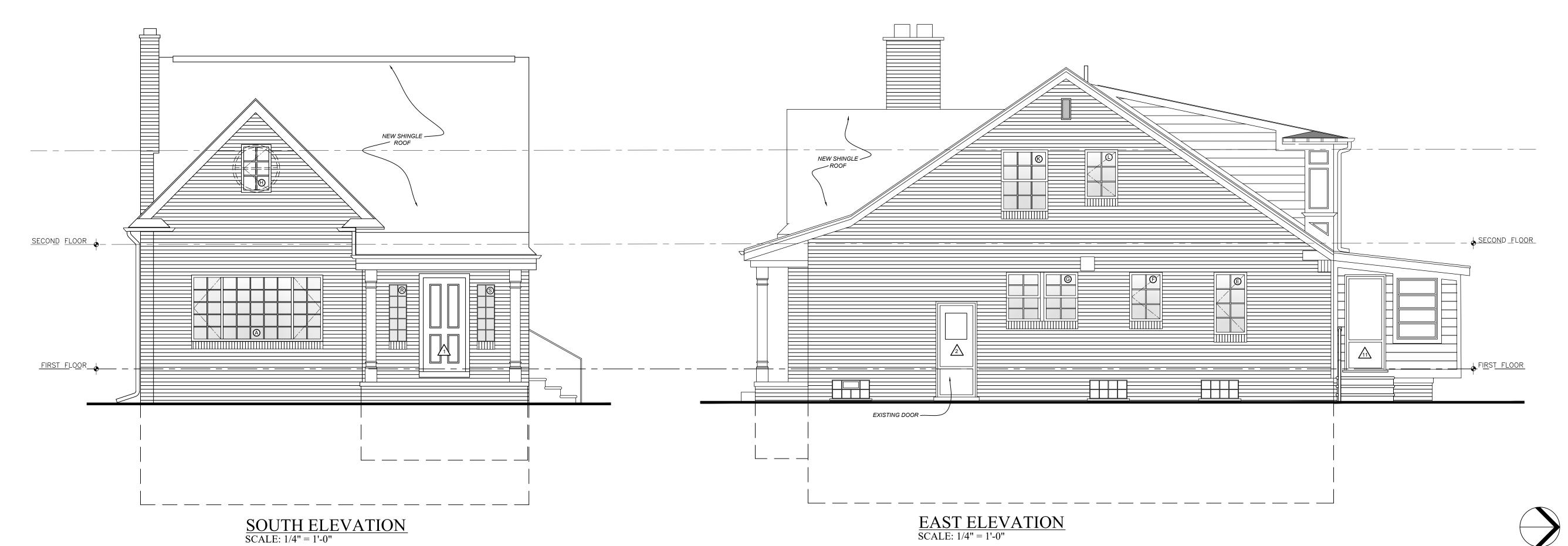
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HOLMES-McGUIRE RESIDENCE RENOVATIONS

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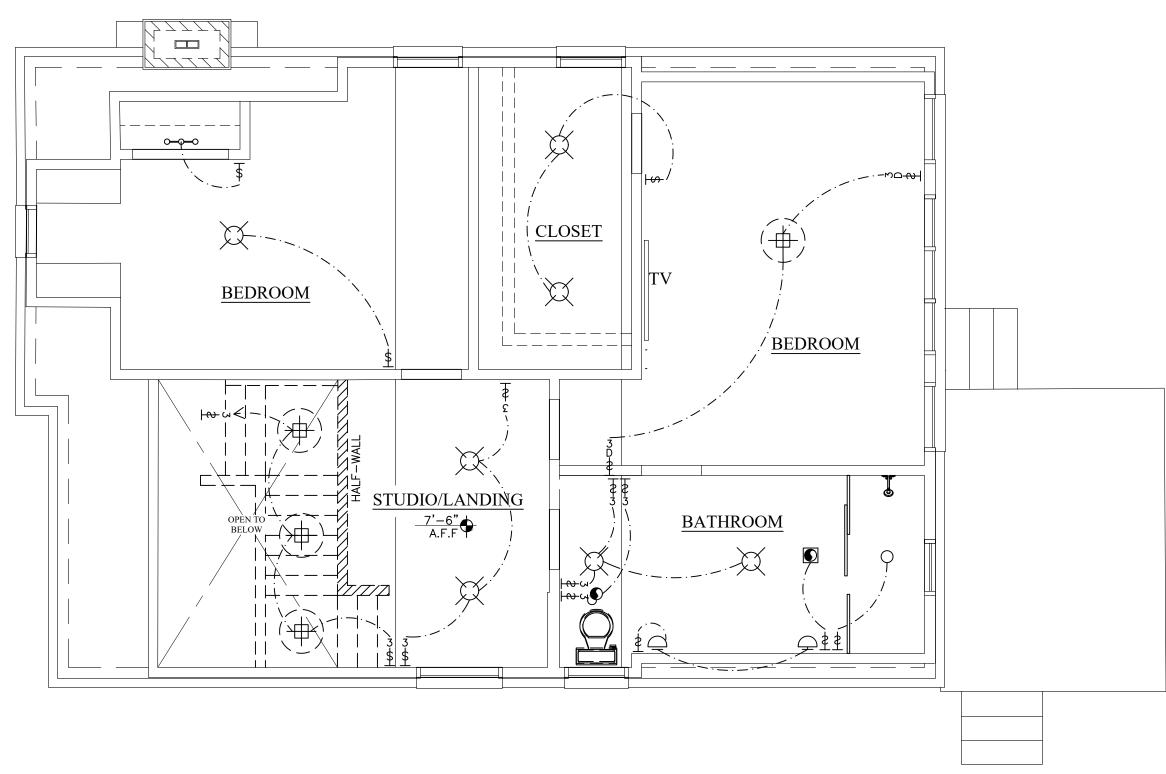
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PROPOSED ELEVATIONS

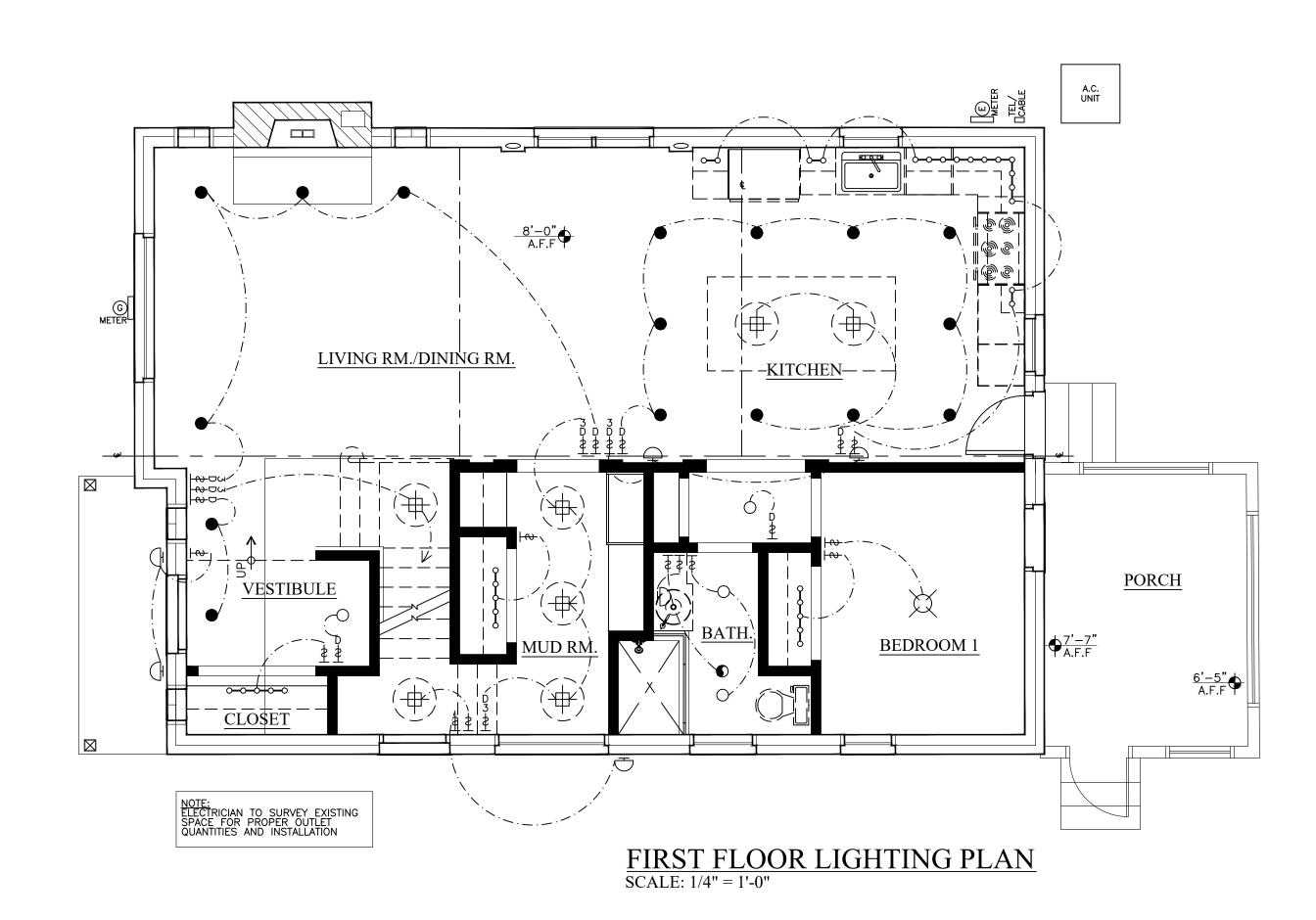
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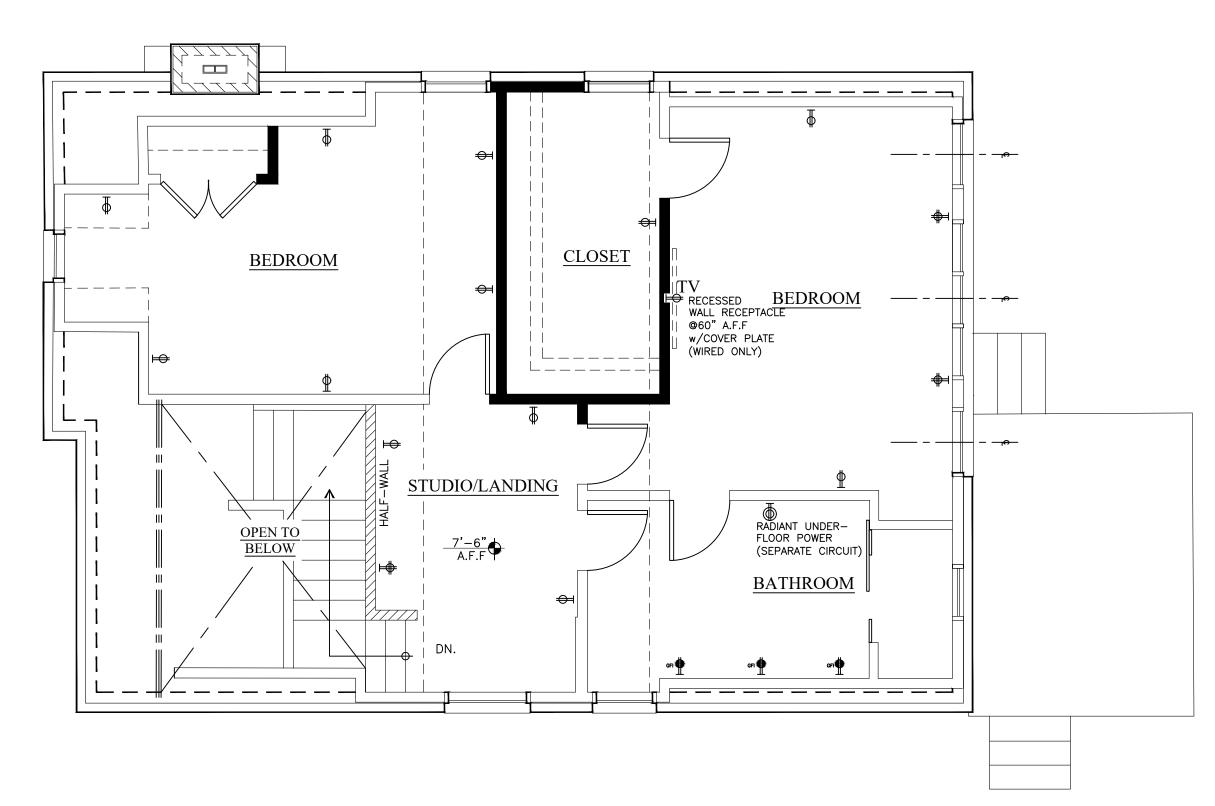
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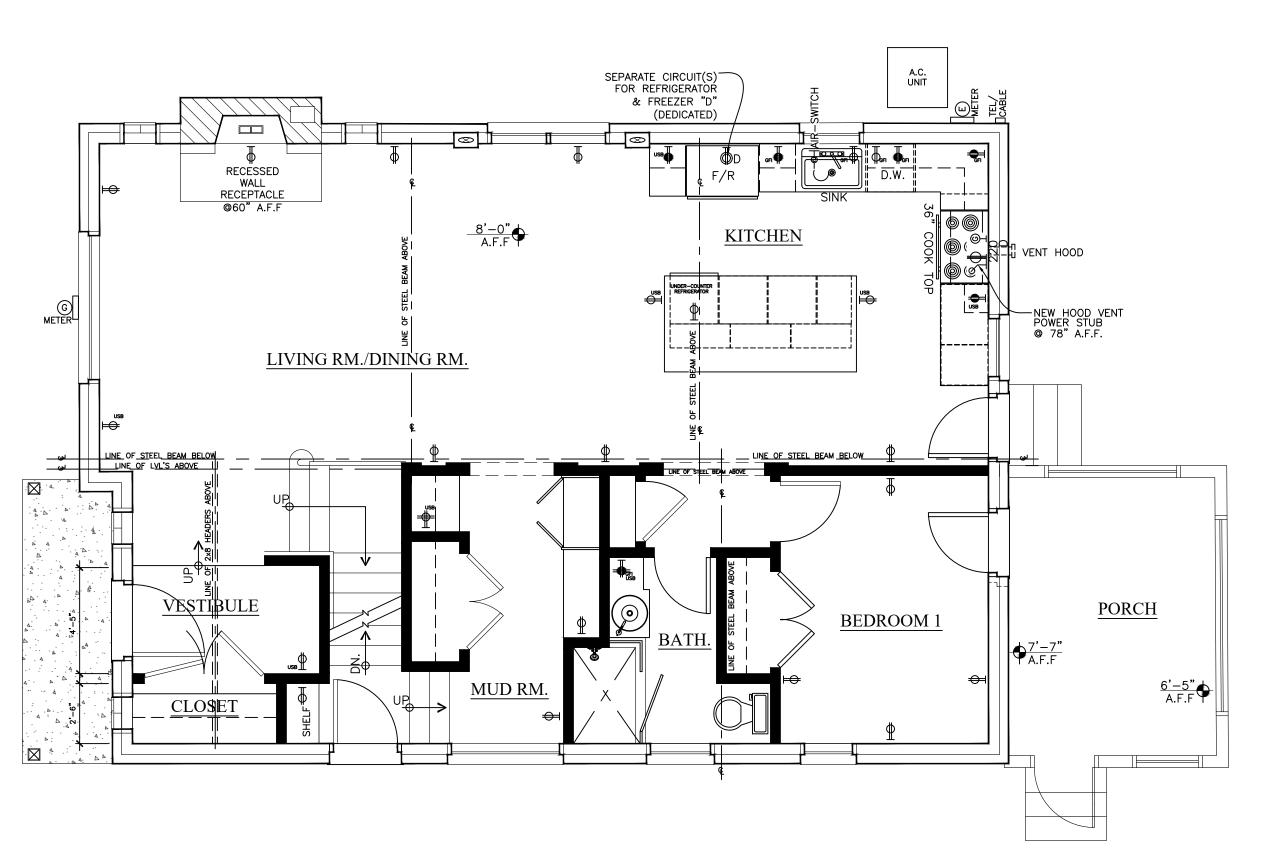


SECOND FLOOR LIGHTING PLAN
SCALE: 1/4" = 1'-0"

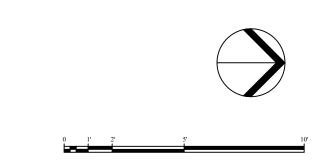


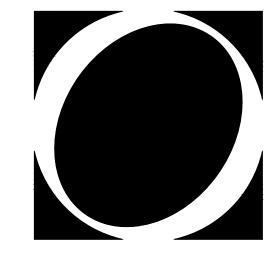


SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN SCALE: 1/4" = 1'-0"





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HOLMES-McGUIRE RESIDENCE RENOVATIONS

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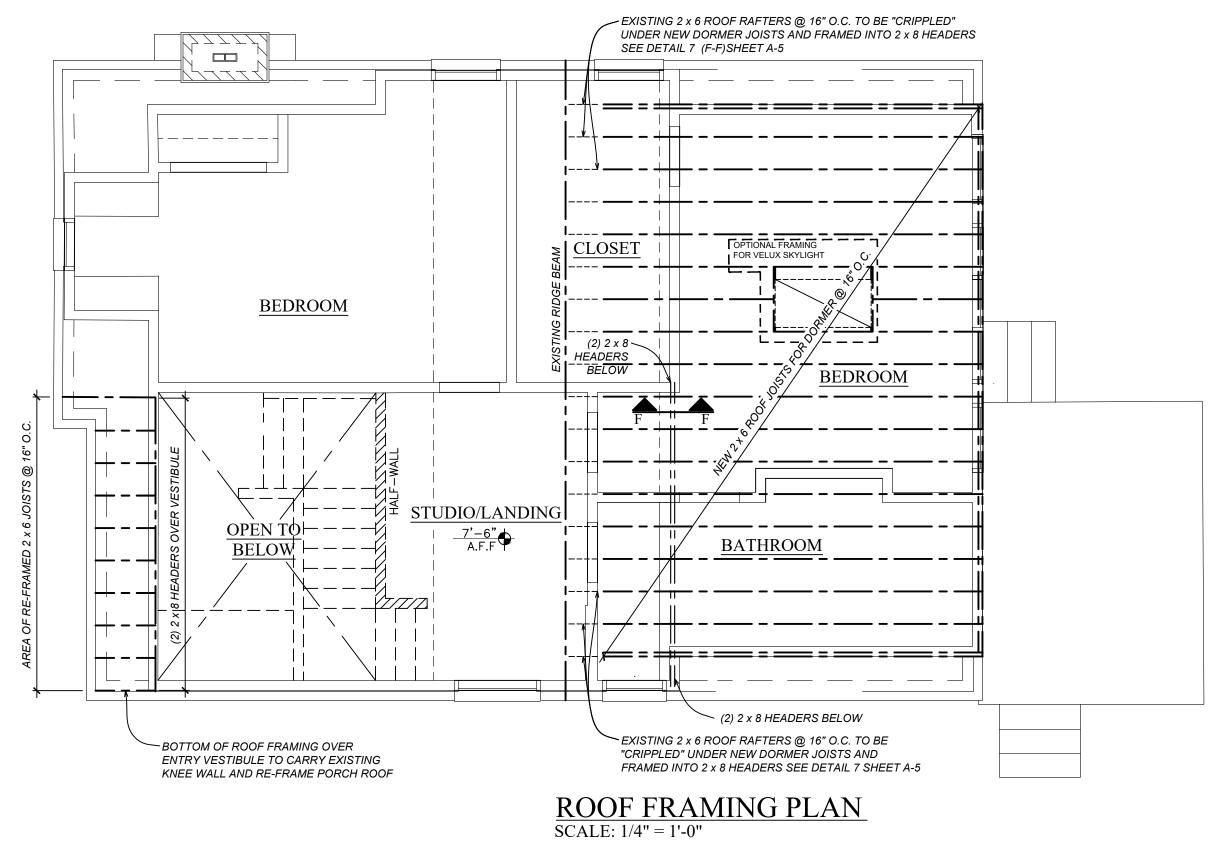
ELECTRICAL PLANS LIGHTING PLANS

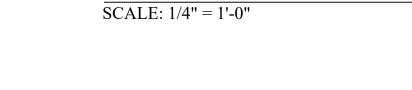
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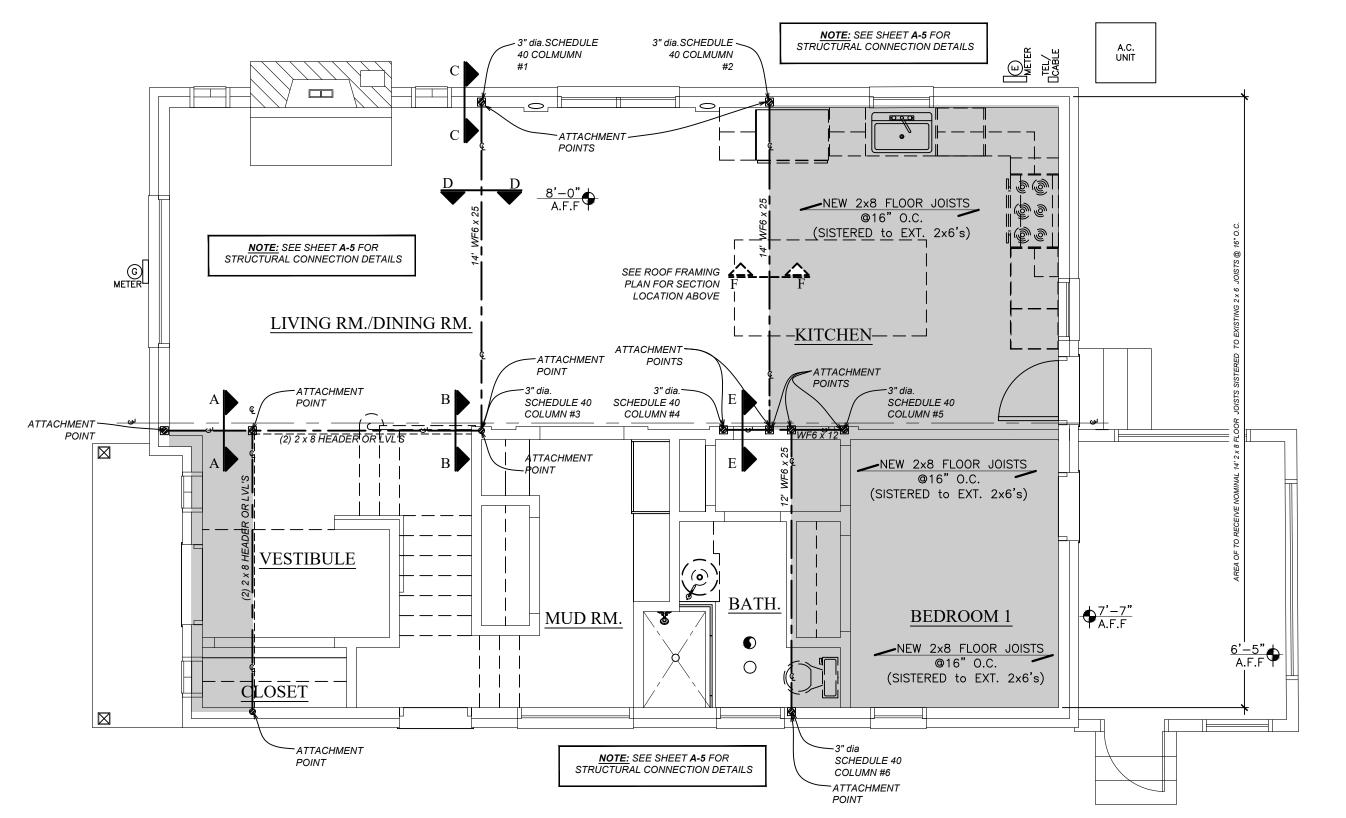
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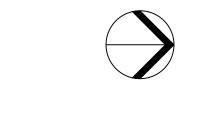
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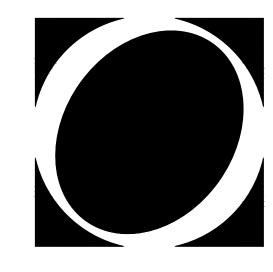






STRUCUTURAL FRAMING PLAN SCALE: 1/4" = 1'-0"





Programming Design

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Project

HOLMES-McGUIRE RESIDENCE RENOVATIONS

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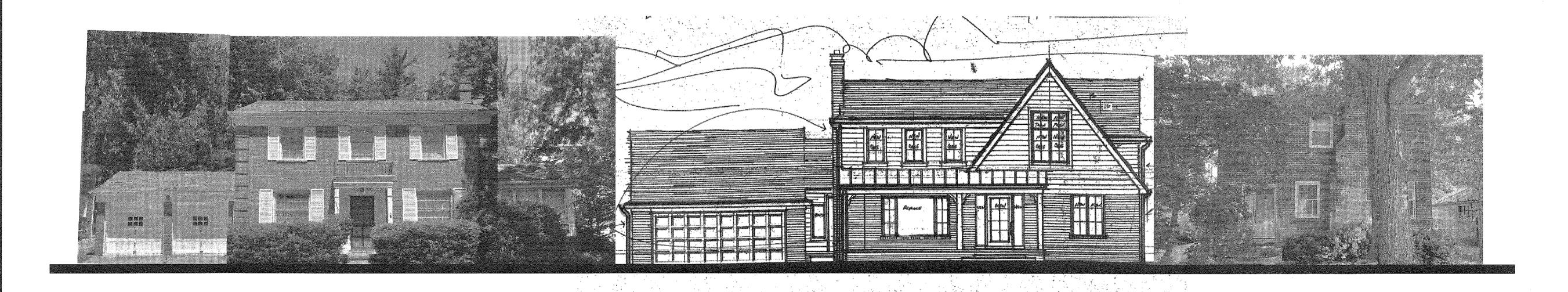
STRUCTURAL PLAN ROOF FRAMING PLAN & SCHEDULES

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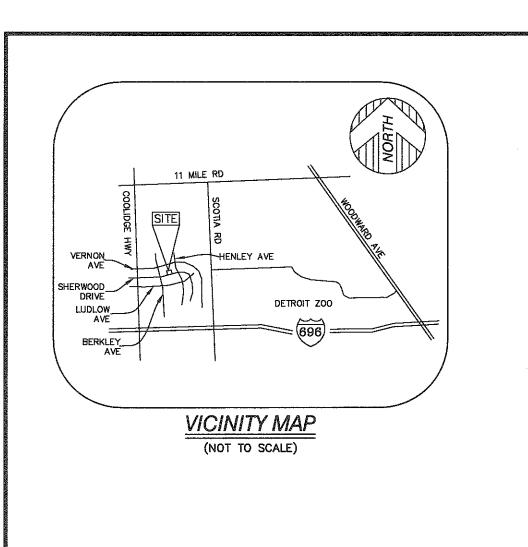


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13120 SHERWOOD

13116 SHERWOOD





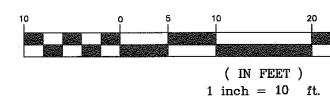
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GRAPHIC SCALE

OF COMPANIES

SURVEY - PONTIAC MICHIGAN,

1 OF 1 SHEETS



PROPERTY DESCRIPTION

THE LAND SITUATED IN THE CITY OF HUNTINGTON WOODS, COUNTY OF OAKLAND, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

EAST 1/2 OF LOT 609 AND ALL OF LOT 610 McGIVERIN—HALDEMAN'S HUNTINGTON WOODS MANOR

SURVEYOR'S NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

2. A CURRENT TITLE POLICY HAS NOT BEEN FURNISHED AT TIME OF SURVEY, THEREFORE EASEMENTS AND/OR ENCUMBRANCES AFFECTING SUBJECT PARCEL MAY NOT BE SHOWN.

ZONING REGULATIONS

R1C- ONE FAMILY DISTRICT

*MINIMUM LOT AREA - 7,000 SQUARE FEET
*MINIMUM LOT WIDTH - 50 FEET

*MIN. YARD SETBACK — FRONT — 30 FEET LEAST ONE SIDE — 5 FEET TOTAL TWO SIDES — 14 FEET REAR — 35 FEET

*MAXIMUM HEIGHT - 2 STORIES/30 FEET

NOTE: ALL ZONING INFORMATION IS TAKEN FROM THE CITY OF HUNTINGTON WOODS WEBSITE. ALL ZONING INFORMATION MUST BE

VERIFIED FOR COMPLETENESS WITH CURRENT ZONING REGULATIONS.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED. THE ELEVATIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY AND THE DRAWING HEREON DELINEATED IS A CORRECT REPRESENTATION OF THE SAME.

DRAFT

ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
TSycko@kemtec—survey.com

PARCEL AREA

11,087± SQUARE FEET = 0.25± ACRES

BENCHMARK

SITE BENCHMARK #1
CITY OF HUNINGTON WOODS BENCHMARK #80, HYDRANT ARROW.
ELEVATION = 665.77' (NAVD 88)

SITE BENCHMARK #2 MAG NAIL IS WEST SIDE OF 24" TREE, N.E. SIDE OF SITE. ELEVATION = 667.17' (NAVD 88)

LEGEND

SET 1/2" REBAR WITH CAP P.S. 47976

FOUND MONUMENT (AS NOTED)

(R&M) RECORD AND MEASURED DIMENSION

(R) RECORD DIMENSION

(M) MEASURED DIMENSION

O UTILITY POLE

S SANITARY MANHOLE

ED SQUARE CATCH BASIN

FIRE HYDRANT

AIR CONDITIONING UNIT

DECIDUOUS TREE (AS NOTED)

CONIFEROUS TREE (AS NOTED)

PARCEL BOUNDARY LINE

PARCEL BOUNDARY LINE
PLATTED LOT LINE
EASEMENT (AS NOTED)
BUILDING
PHILIDING OVERHANG

BUILDING OVERHANG

CONCRETE CURB

EDGE OF CONCRETE (CONC.)

EDGE OF BRICK

EDGE OF GRAVEL

X FENCE (AS NOTED)

OVERHEAD UTILITY LINE

G GAS LINE

G GAS LINE
S SANITARY LINE
D STORM LINE
WATER LINE
MINOR CONTOU
MAJOR CONTOU

MINOR CONTOUR LINE
MAJOR CONTOUR LINE
BUILDING AREA

ASFRACI

CONCRETE

RELOCATE
EXISTING
ELECTRIC
METER 12 ADDITION. EXISTING 2N -FLOOR OVERHANG WOOD PRIVACY_____FENCE 4 CONCRETE PROPOSED COVERED PORCH _EDGE OF LANDSCAPING FOUND: CONCRETE RIM=662.86' INV. 12", S=659.36' INV. 10", W=660.36' B/STRUCTURE=657.36

LOT 620

1/2" REBAR W/CAP

SITE BENCHMARK #

CONCRETE:

BENCHMARK

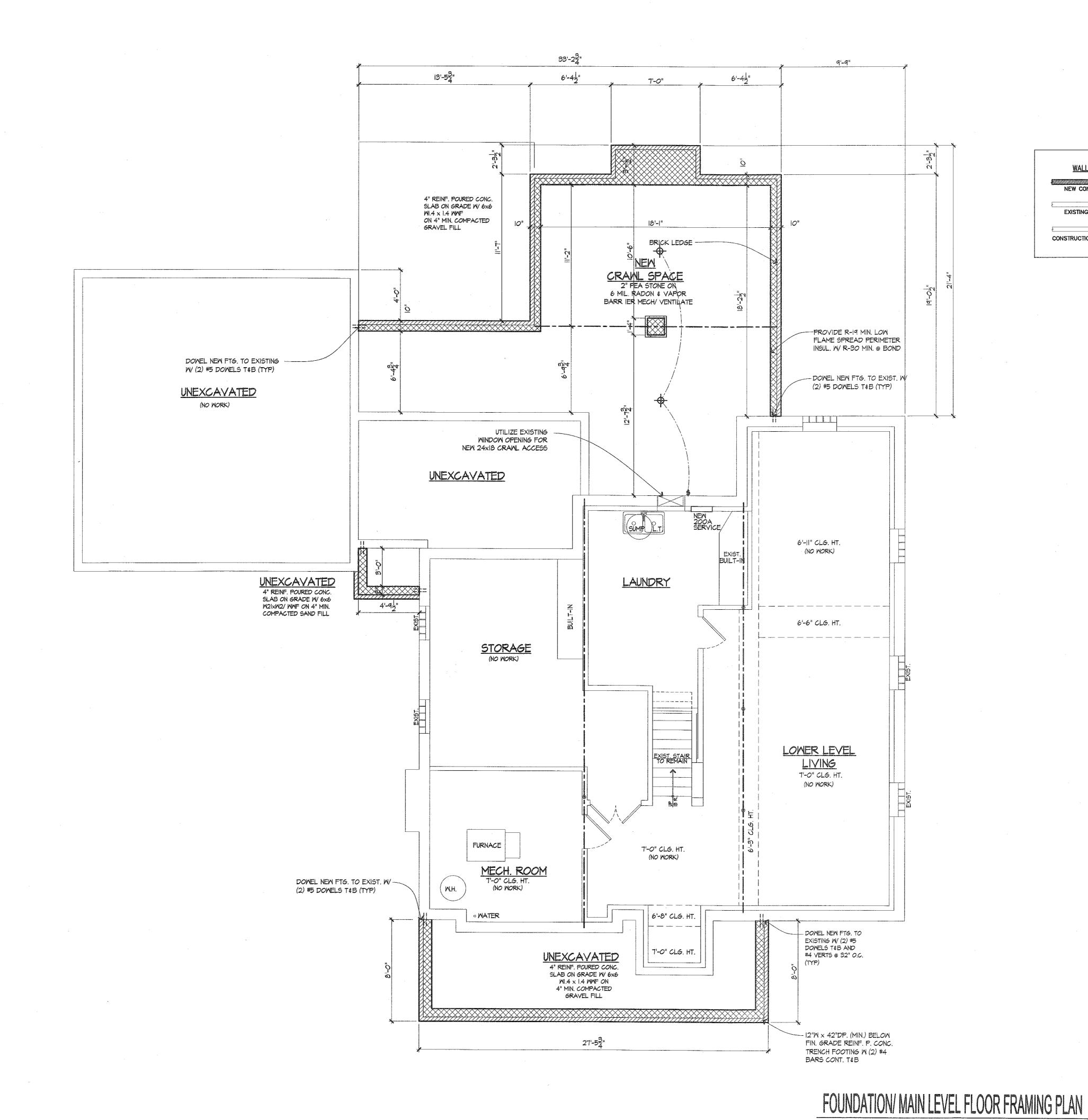
LOT 621

SANITARY MANHOLE RIM=664.68' INV. 15", W=655.22' INV. 15", E=655.08'

LOT 622

24"

FENCE



WALL LEGEND

NEW CONSTRUCTION

EXISTING CONSTRUCTION

CONSTRUCTION TO BE REMOVED

48070

& ASSOCIATES DESIGN + BUILD

FOUNDATION/ MAIN LEVEL FRAMING PLAN

DRAWN BY:
B. HELLER
D. ABATE

B. HELLER
D. ABATE
REVISIONS:
11-10-21

REVISIONS: 11-10-21 04-20-22 04-25-22 04-26-22 05-02-22 05-03-22

PAGE NO. #

SCALE: 1/4" = 1'-0"

MI 48070 13120

& ASSOCIATES DESIGN + BUILD

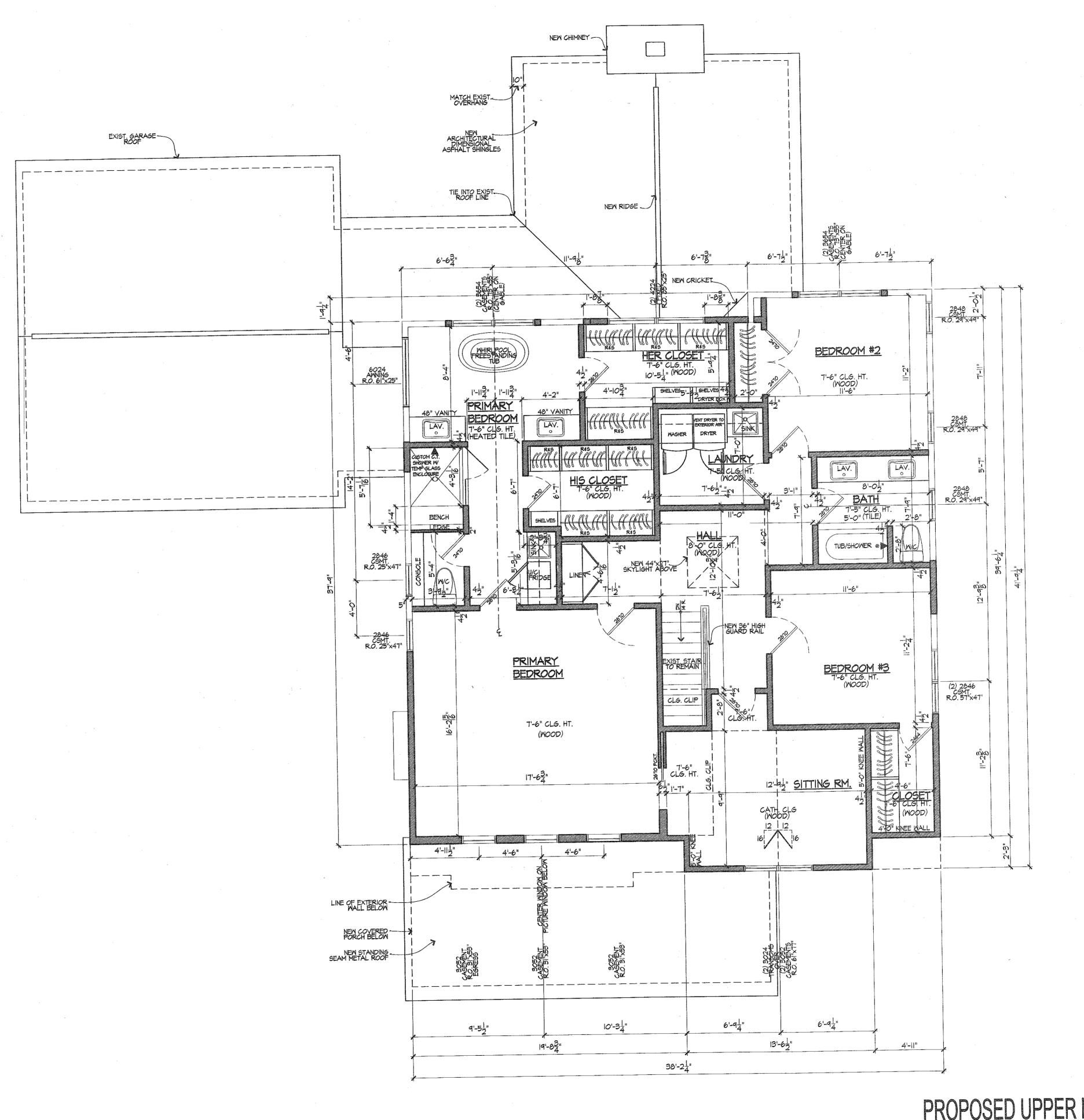
DRAWN BY:

B. HELLER D. ABATE

REVISIONS:

11-10-21 04-20-22 04-25-22 04-26-22 05-02-22 05-03-22

PAGE NO.#



WALL LEGEND EXISTING CONSTRUCTION CONSTRUCTION TO BE REMOVED

PROPOSED UPPER LEVEL PLAN

SCALE: 1/4" = 1'-0"

& ASSOCIATES DESIGN + BUILD

PAGE NO.# A-101

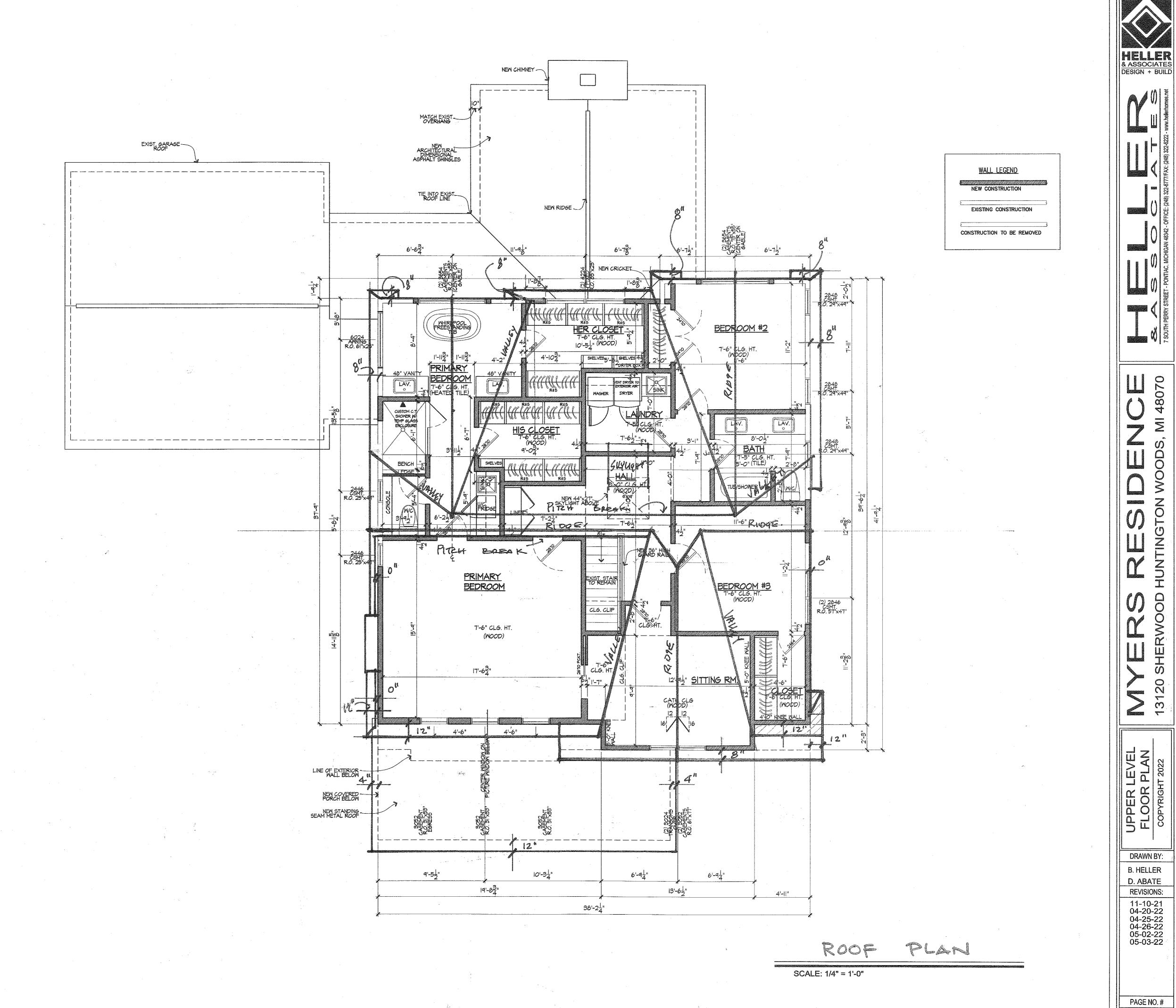
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DRAWN BY:

B. HELLER

D. ABATE REVISIONS:

11-10-21 04-20-22 04-25-22 04-26-22 05-02-22 05-03-22



A8070 13120 SHERWOOD

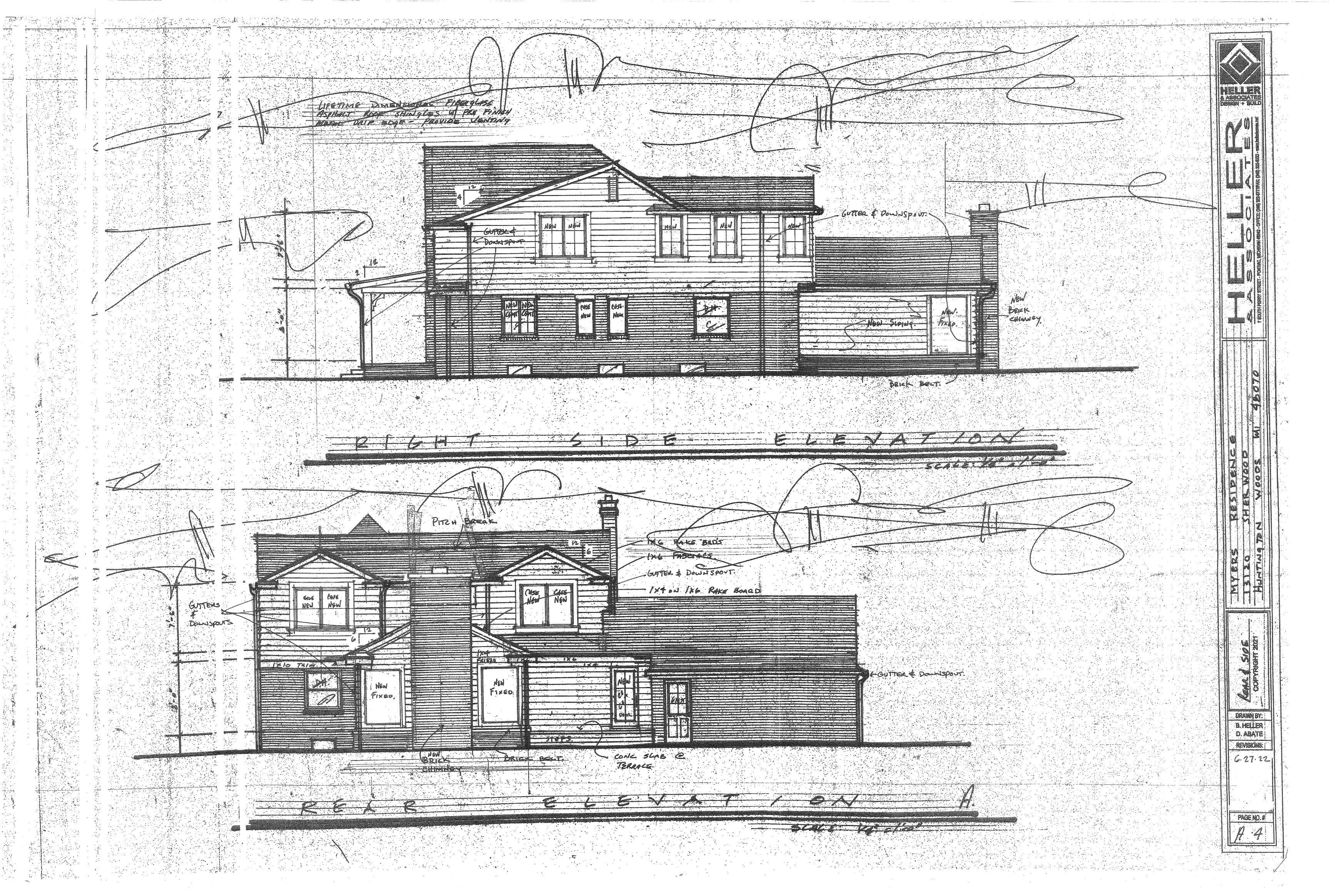
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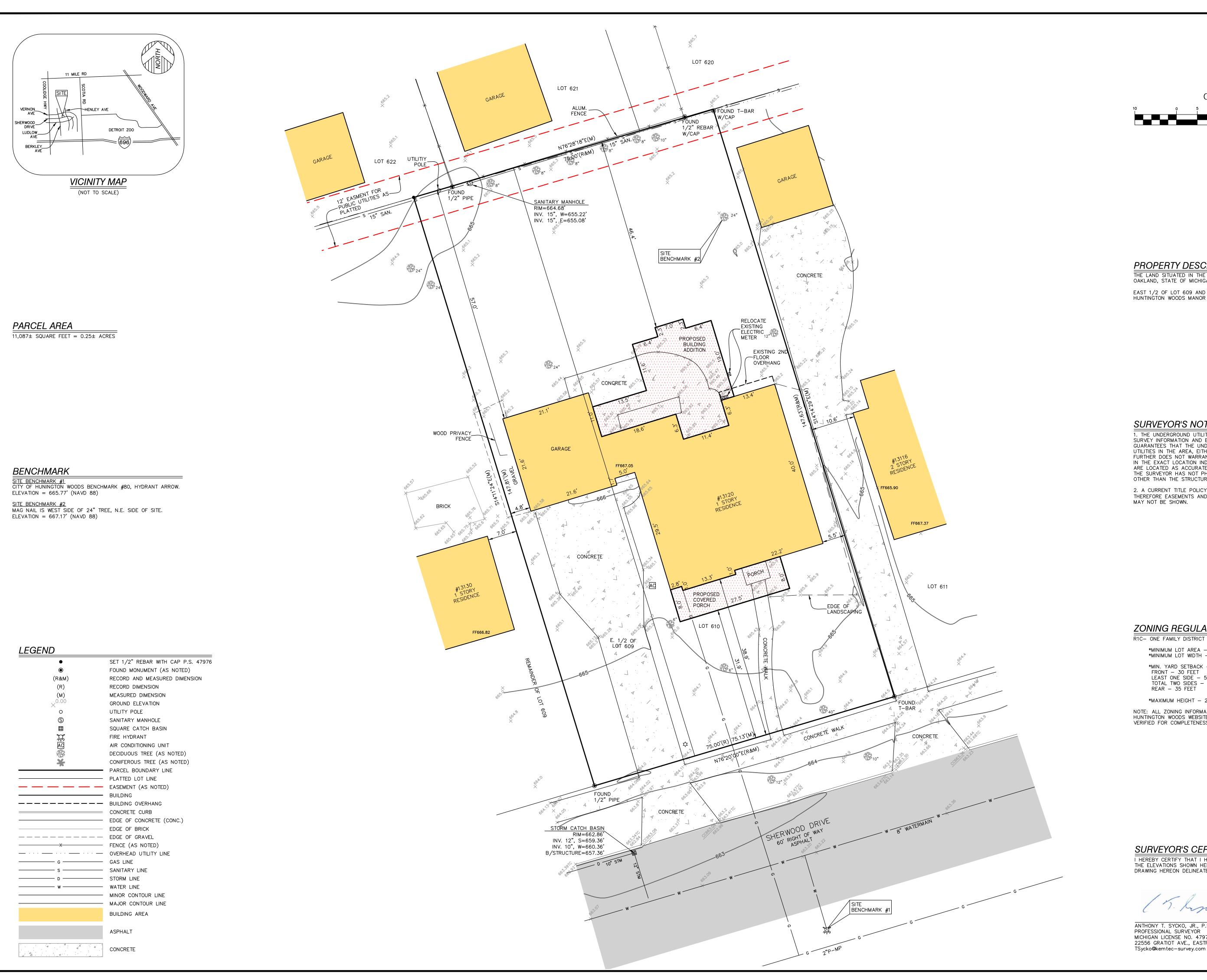


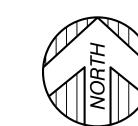




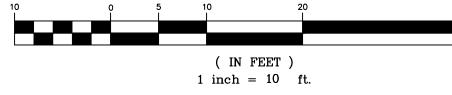
13130 SHERWOOD 13116 SHERWOOD 13116 SHERWOOD







GRAPHIC SCALE



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