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HUNTINGTON WOODS, MI 48070

CONSULTANTS:

CHAPMAN

26029 ALLOR

RESIDENCE

EXIST. N.SOUTH ELEVATIONS PHOTO

EXIST. N.NORTH ELEVATIONS PHOTO SCALE: NTS

EXIST. WEST ELEVATIONS PHOTO SCALE: NTS

PROJECT DATA:

BUILDING AUTHORITY: CITY OF HUNTINGTON WOODS

ZONING: R1-D (SINGLE FAMILY RESIDENTIAL)

SETBACKS:

= 25' MIN (29'-4" EXISTING)

= (5' MIN or 10% of lot width) = (14' MIN total or 25% of width)

= EXISTING MIN SIDE = 5'-0" & 8'-1" (UNCHANGED)

EXIST. EAST ELEVATIONS PHOTO

= TOTAL SIDE = 14'-1" (UNCHANGED) = 30' MIN (EXISTING = 72'-0") = 70'-0" PROPOSED

HEIGHT (MAX) = 30' MAX (1' add to side yard, per each 1' above 26') = (PROPOSED NEW = 26'-0" - EXISTING - UNCHANGED)

USE GROUP:

R - RESIDENTIAL USE GROUP

5B (WOOD FRAMED)

NEW BUILDING AREA (SF): PROJECT AREA: = 1,041 SF | MAX SF = 1,900 SF CHARACTER BONUS SF: SECOND FLOOR EXIST = 430 SF +150 ROOF HEIGHT MAX 26' TOTAL EXISTING

+ 250 ARCH. DETAILS + 150 FENESTRATION = 2,350 SF MAX PERMITTED

NEW FIRST FLOOR = 1,041 (EXIST) + 0 SF (NEW) = 1,041 SFNEW SECOND FLOOR = 430 (EXIST) + 518 SF (NEW) = 948 SFTOTAL NEW SF = 1,989 SF PROPOSED NEW

TOTAL ACCESSORY = 440 SF EXIST = 440 SF (MIN)

(440 SF MIN / 650 SF MAX per ordinance; 16'H MAX) = (SIDES) 3' MIN; (REAR) 6' MIN; 10' MIN FROM RESIDENCE SETBACKS

TOTAL LOT AREA: (47'-9" X 132') = 6,303 SF

TOTAL COVERAGE PERMITTED = 30% (6,303) = 1,891 SF MAX W/O VARIANCE

LOT COVERAGE CALCULATION: HOUSE AREA (1ST FLOOR): 1,041 SF + 128 SF PORCH + (440 GARAGE) = 1,609 SF

GARAGE (EXISTING): 440 SF = 440 SF TOTAL ACCESSORY AREA = 440 SF

TOTAL EXISTING LOT COVERAGE: 1,609 / 6,303 = 25.52%

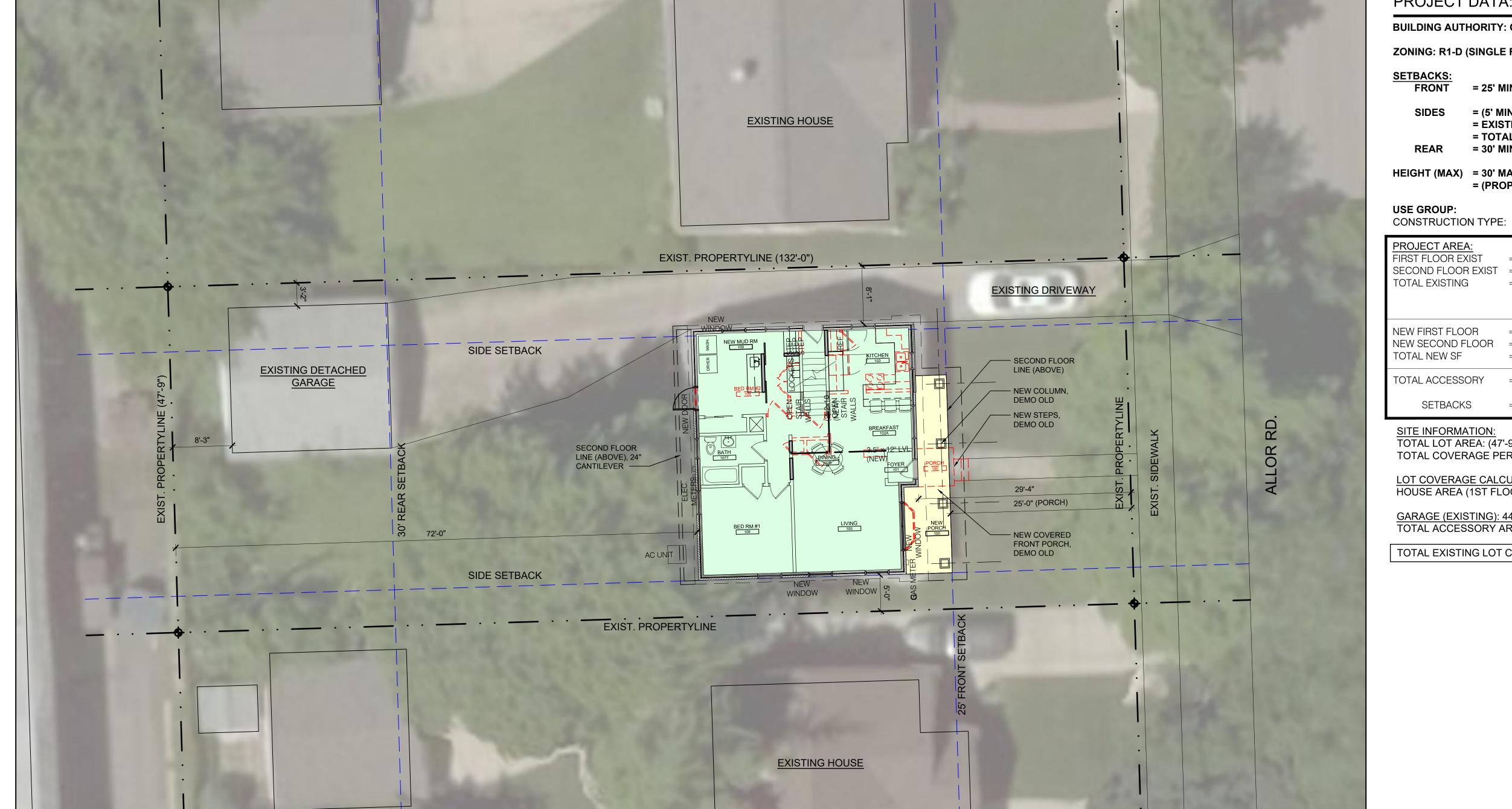
S ANDREW . J. DANAHER ARCHITECT OWNER REVIEW 06.17.21

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2019.0101

Sheet Title
SITE PLAN
EXISTING &
NEW WORK

Sheet Number



ARCHITECTURAL SITE PLAN - NEW
SCALE: 1/8"=1'-0"

INEQUINEINIS BI COIVII CINEINIS ENERGY CODE									
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT ^a U-FACTOR		WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT ^b WALL R-VALUE	SLAB° R-VALUE	CRAWL SPACE WALL R-VALUE
5A	0.35	0.60	38	20 or 13+5 °	13/17	30 d	10/13	10, 2ft	10/13

For SI: 1 foot = 304.8 mm

a. The fenestration U-factor column excludes skylights.

b. The first R-value applies to continuous insulation, the second to framing cavity insulation; either insulation meets the requirements.

c. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be of the footing or 2 feet, whichever is less, in zones 1-3 for

d. Or insulation sufficient to fill the framing cavity, R-19 minimum.

e. "13+5" means R-13 cavity insulation plus R-5 insulation sheathing. If structural sheathing covers 25% or less of the exterior, R-5 sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25% of exterior, structural sheathing shall be supplemented with insulated sheathing

f. The second R-value applies when more than half the insulation is on the interior.

NOTE: ALL BELOW GRADE INSULATION TO BE RIGID CLOSED CELL XPS BOARD OR SIMILAR APPROVED BELOW GRADE INSULATION.

GENERAL FLOOR PLAN NOTES:

- 1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- 2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- 3. WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- 4. ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
- 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- 6. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
- 7. PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
- 8. PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS: FLOOR, WALL, AND CEILING SURFACES AS REQUIRED ADJACENT TO AREAS BEING DEMOLISHED. REFER TO DEMOLITION DRAWINGS FOR MORE INFORMATION.
- 9. REINFORCE WALL AND PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS AND COUNTERTOPS.
- 10. THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES, COAT RACKS, CHART RACKS, CASEWORK, AND OTHER WALL MOUNTED ITEMS.
- 11. CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
- 12. ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
- 13. PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.

- 14. COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS; IE. CAMERAS, TV'S, SPEAKERS, SENSORS, SECURITY WIRING, VAULTS, ATM'S.
- 15. CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
- 16. CONTRACTOR TO FILL ANY AND ALL EQUIPMENT PENETRATIONS OR DEPRESSIONS INTO OR THROUGH THE EXISTING SLAB THAT WILL NOT BE UTILIZED TO FEED NEW EQUIPMENT (I.E. ABANDONED FLOOR CORES, IMPRESSION FROM PREVIOUS EQUIPMENT FLOOR PLATE REMOVAL). PENETRATIONS SHALL BE FILLED WITH NON-SHRINK GROUT. THE SIDES OF ANY EXISTING OPENINGS SHALL BE MODIFIED/TAPERED SO THAT THEY ARE WIDER AT THE TOP THAN AT THE BOTTOM. FOR LARGE OPENINGS, PROVIDE ONE (1) #5 BAR 2" UP FROM BOTTOM OF HOLE.
- 17. ALL WINDOWS AND DOORS TO BE INSTALLED PER MANUFACTURE SPECIFICATIONS AND REQUIREMENTS.
- 18. WALL FRAMING TO BE 2X6 (EXTERIOR) OR 2X4 (INTERIOR) AT 16" OC TYPICAL AND INSTALLED PLUMB AND SQUARE AS REQUIRED FOR A SQUARE WALL. ALL FLOOR JOISTS FRAMING TO BE INSTALLED AS INDICATED ON PLANS, ALTERNATES MAY BE ACCEPTABLE - COORDINATE WITH ARCHITECT.

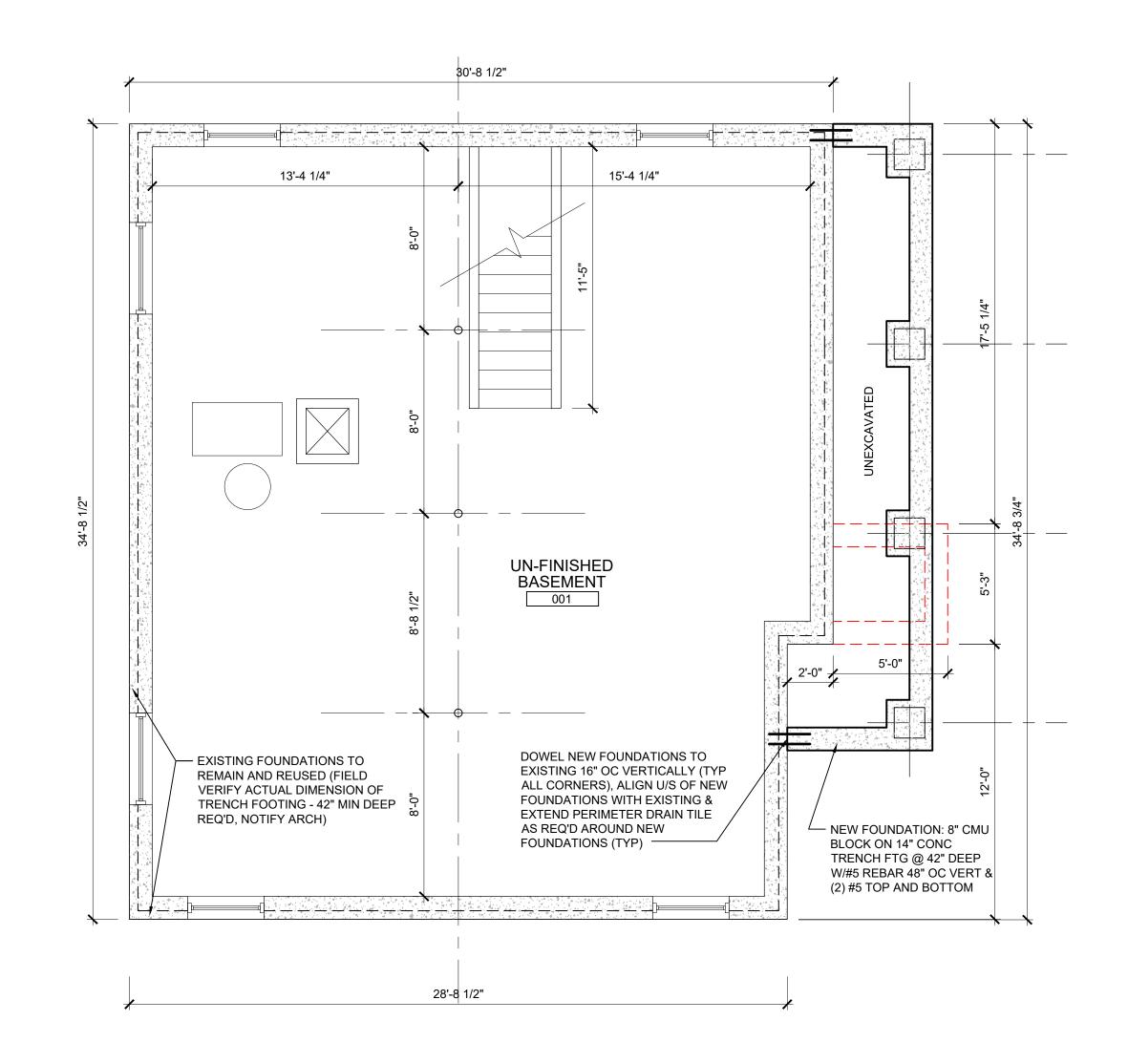
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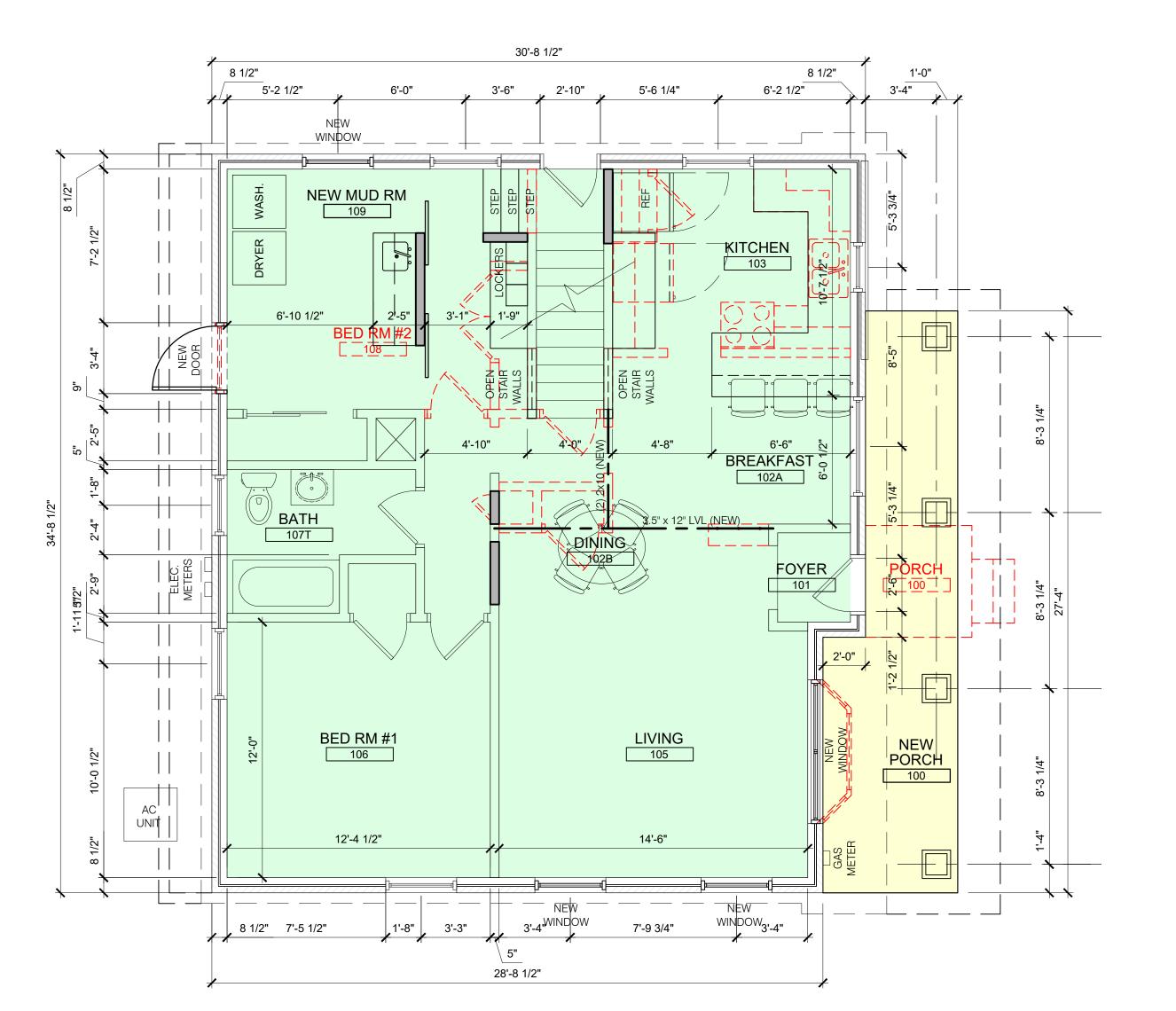
CHAPMAN RESIDENCE

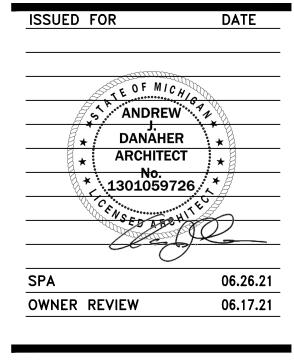
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Project: Date:

Job Number: 21.0123

Sheet Title FLOOR PLANS EXISTING & NEW WORK

Sheet Number

MAIN FLOOR PLAN - NEW
SCALE: 1/4"=1'-0"



SCALE : 1/4" =1'-0"

MECHANICAL NOTES:

- 1. DESIGN/BUILD HVAC CONTRACTOR SHALL COORDINATE EXISTING CONDITIONS WHEN DETERMINING TARGET CFM LEVELS FOR EACH ROOM.
- 2. CONTRACTOR SHALL VERIFY EXISTING MAIN.
- 3. ANY EXISTING THERMOSTAT(S) SHALL BE RELOCATED WITHIN NEW FLOOR PLAN
- 4. HVAC DESIGN/BUILD CONTRACTOR SHALL BE THE SOLE PROVIDER OF NEW VENTILATION SYSTEM WITHIN THE BUILDING. SYSTEM DESIGN SHALL UTILIZE EXISTING SUPPLY DUCT AT TENANT WALL / OR AS DEEMED NECESSARY BY MECHANICAL TRADES. DESIGN SHALL BE COORDINATED WITH THE OWNER FOR FINAL APPROVAL PRIOR TO ORDERING MATERIALS.

MECHANICAL PLANS ARE PROVIDED TO INDICATE DESIGN INTENT. DESIGN/BUILD MECHANICAL CONTRACTOR SHALL DEVELOP DETAILED SCOPE OF WORK TO INSURE OWNER HAS FULL CAPABILITY AND USE OF BUILDING. ALL NEW MATERIALS BROUGHT ONTO THE PROJECT SHALL MATCH EXISTING EQUIPMENT MANUFACTURERS, BUILDING STANDARDS, ETC.. ALL MECHANICAL WORK SHALL BE PER CURRENT MI MECHANICAL CODE & COORDINATED THROUGH GENERAL CONTRACTOR.

- PLAN. REFER TO DEMOLITION CEILING PLAN FOR FIXTURES TO BE REMOVED TO REMAIN FIXTURES.
- 3. NEW DEVICES AND COVER PLATES SHALL MATCH EXIST COLOR.
- 4. EXISTING OUTLETS TO REMAIN SHALL BE TESTED FOR PROPER WIRING AND GROUNDING.
- 5. ELECTRICAL CONTRACTOR TO INSTALL FIRE ALARM DEVICES, O2 & SMOKE

ELECTRICAL SCOPE IS PROVIDED TO INDICATE DESIGN INTENT. DESIGN/BUILD ELECTRICAL CONTRACTOR SHALL DEVELOP DETAILED SCOPE OF WORK TO INSURE OWNER HAS FULL CAPABILITY AND USE OF BUILDING. ALL NEW MATERIALS BROUGHT ONTO THE PROJECT SHALL MATCH EXISTING EQUIPMENT MANUFACTURERS, BUILDING STANDARDS, ETC.. FIELD COORDINATION AND/OR ASSISTANCE MAY NEED TO BE PROVIDED WITH OWNER PROVIDED VENDORS (EQUIPMENT, ELECTRONIC DOOR HARDWARE, SECURITY, FURNITURE, ETC.). ALL ELECTRICAL WORK SHALL MEET CURRENT MI ELECTRICAL CODE AND BE COORDINATED THROUGH GENERAL CONTRACTOR.

ELECTRICAL NOTES:

- 1. COORDINATE LIGHT FIXTURES SHOWN ON THIS SHEET WITH REFLECTED CEILING AND/OR RELOCATED AND REFLECTED CEILING PLAN FOR BALANCE OF EXISTING
- 2. ALL NEW FIXTURES SHALL MATCH BUILDING STANDARD AVANTE 2AV G 2 28T5 MDR MVOLT GEB10PS (LAMP COLOR SHALL MATCH EXISTING). HALLWAYS AND OPEN OFFICE LIGHT FIXTURES SHALL BE ON 3-WAY SWITCHES AS INDICATED. PROVIDE EMERGENCY LIGHTING AS REQUIRED BY CODE.
- DETECTORS AS REQUIRED BY RBC 2015 CODE.

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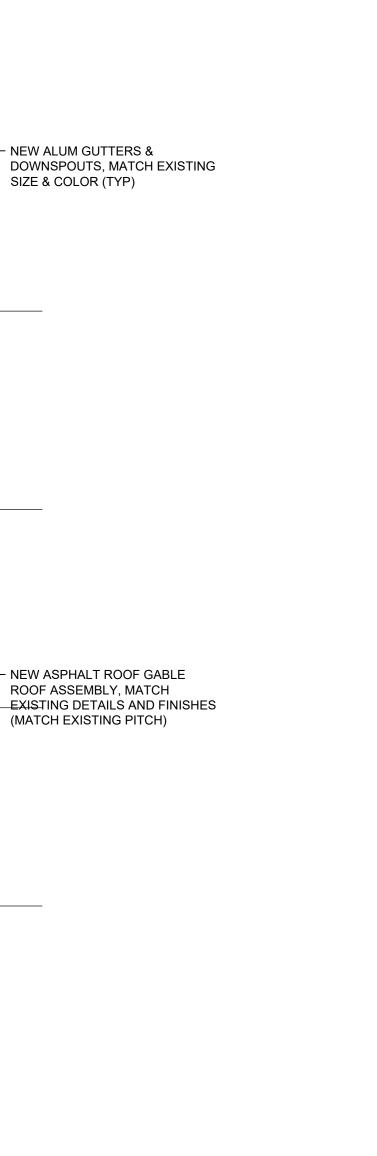
CLIENT:

CHAPMAN

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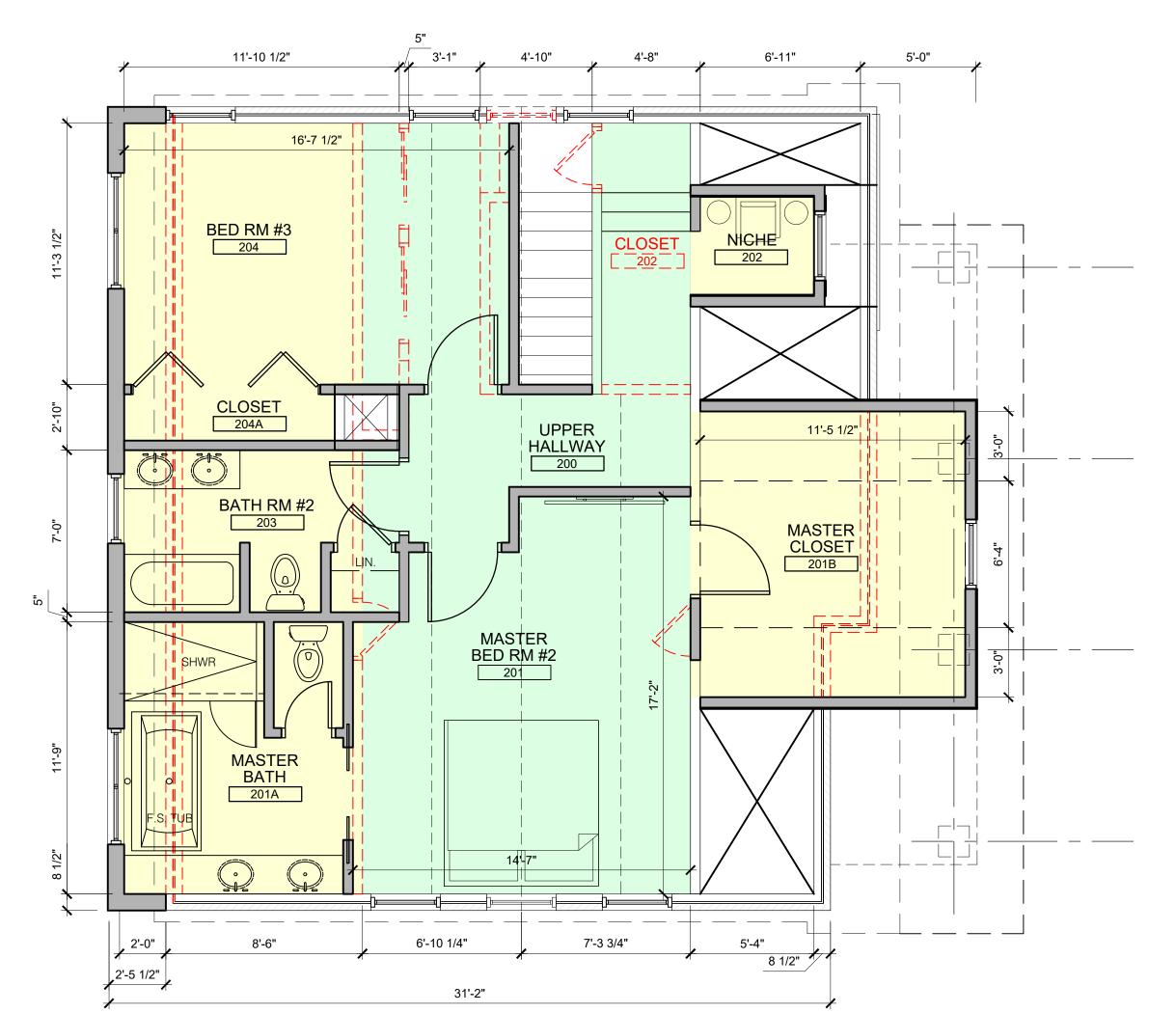
RESIDENCE

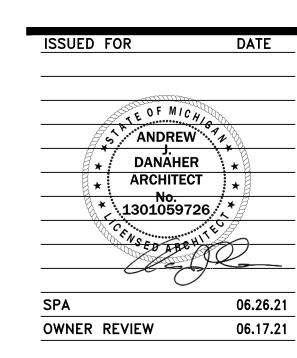
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- NEW ALUM GUTTERS &

SIZE & COLOR (TYP)





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Project: Date: Job Number: 21.0123

Sheet Title FLOOR PLANS EXISTING & NEW WORK

Sheet Number

A2.2



- LINE OF EXTERIOR WALL BELOW

EXIST ROOF

2X6 @ 16" OC

- NEW GABLE ROOF ASSEMBLY

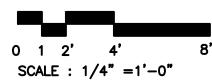
EXTEND 24" TO NEW SECOND

MATCH EXISTING FINISHES.

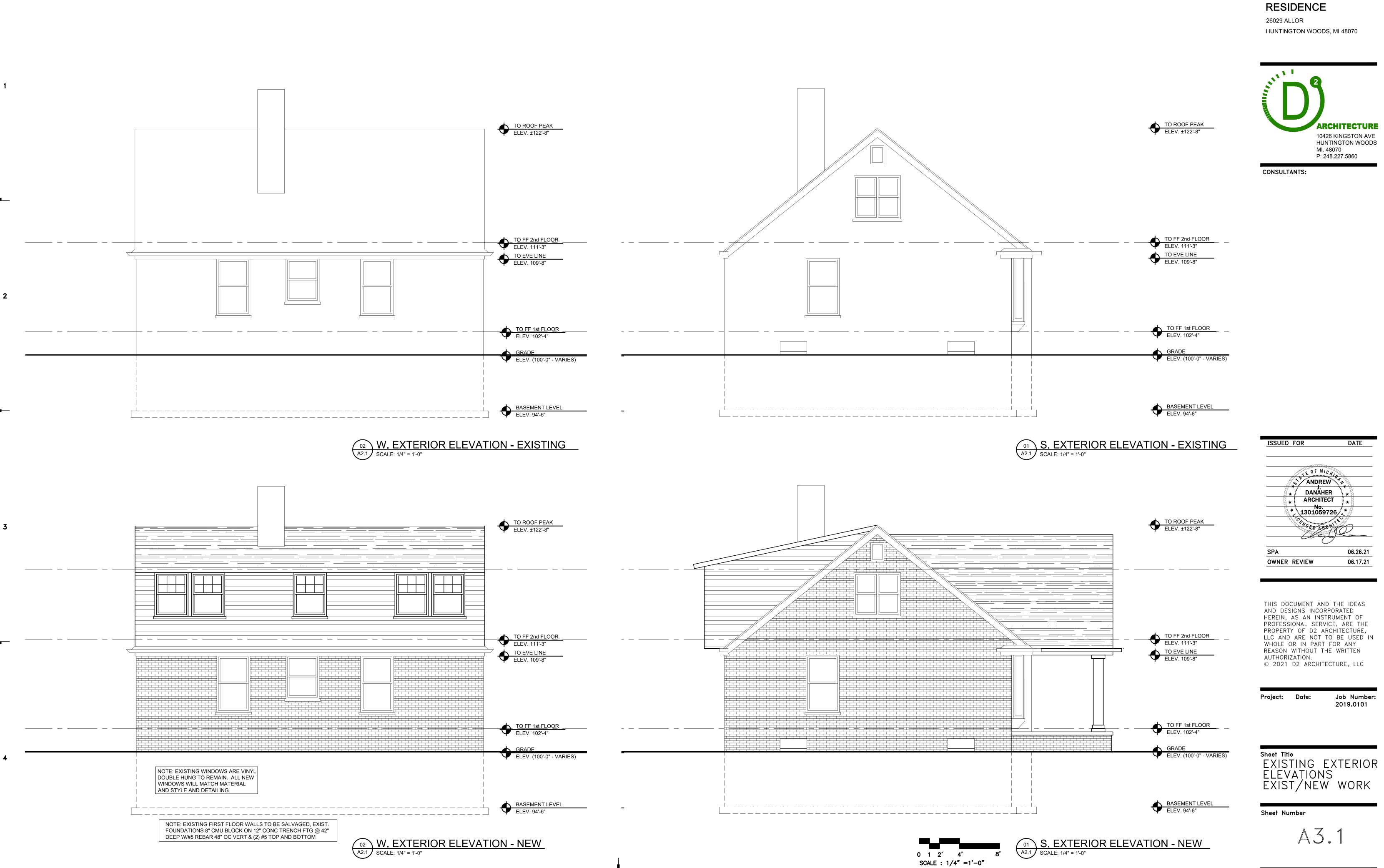
FLOOR OVERHANG, ASPHALT ROOF,

EXIST ROOF

2X6 @ 16" OC



UPPER FLOOR PLAN - NEW
SCALE: 1/4"=1'-0"



CLIENT:

CHAPMAN



06.26.21

Job Number: 2019.0101

