



SCALE: NTS



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PROJECT DATA:

**BUILDING AUTHORITY: CITY OF HUNTINGTON WOODS**

**ZONING: R1-D (SINGLE FAMILY RESIDENTIAL)**

**SETBACKS:**

**FRONT = 25' MIN (29'-4" EXISTING)**

**SIDES** = (5' MIN or 10% of lot width) = (14' MIN total or 25% of width)  
= EXISTING MIN SIDE = 5'-0" & 8'-1" (UNCHANGED)

**REAR** = 30' MIN (EXISTING = 72'-0") = 70'-0" PROPOSED

**HEIGHT (MAX) = 30' MAX (1' add to side yard, per each 1' above 26')  
= (PROPOSED NEW = 26'-0" - EXISTING - UNCHANGED)**

**USE GROUP:** R - RESIDENTIAL USE GROUP  
**CONSTRUCTION TYPE:** 5B (WOOD FRAMED)

<b>PROJECT AREA:</b> FIRST FLOOR EXIST = 1,041 SF SECOND FLOOR EXIST = 430 SF TOTAL EXISTING = 1,471 SF	<b>NEW BUILDING AREA (SF):</b> MAX SF = 1,900 SF CHARACTER BONUS SF: +150 ROOF HEIGHT MAX 26' +250 ARCH. DETAILS + 150 FENESTRATION = 2,350 SF MAX PERMITTED
NEW FIRST FLOOR = 1,041 (EXIST) + 0 SF (NEW) = 1,041 SF NEW SECOND FLOOR = 430 (EXIST) + 518 SF (NEW) = 948 SF TOTAL NEW SF = 1,989 SF PROPOSED NEW	
TOTAL ACCESSORY = 440 SF EXIST = 440 SF (MIN) (440 SF MIN / 650 SF MAX per ordinance; 16'H MAX) SETBACKS = (SIDES) 3' MIN; (REAR) 6' MIN; 10' MIN FROM RESIDENCE	

SITE INFORMATION:  
TOTAL LOT AREA: (47'-9" X 132') = 6,303 SF  
TOTAL COVERAGE PERMITTED = 30% (6,303) = 1,891 SF MAX W/O VARIANCE

LOT COVERAGE CALCULATION:  
HOUSE AREA (1ST FLOOR): 1,041 SF + 128 SF PORCH + (440 GARAGE) = 1,609 SF

GARAGE (EXISTING): 440 SF = 440 SF  
TOTAL ACCESSORY AREA = 440 SF

TOTAL EXISTING LOT COVERAGE: 1,609 / 6,303 = 25.52%

**ISSUED FOR** \_\_\_\_\_ **DATE** \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The seal is circular with "STATE OF MICHIGAN" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom. In the center, it reads:  
ANDREW  
J.  
DANAHEY  
ARCHITECT  
No.  
1301089726

\_\_\_\_\_

**OWNER REVIEW** \_\_\_\_\_ **06.17.21**

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Project:      Date:      Job Number:  
2019.0101

Sheet Title  
SITE PLAN  
EXISTING &  
NEW WORK

Sheet Number

SP 1.1





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MECHANICAL NOTES:

- DESIGN/BUILD HVAC CONTRACTOR SHALL COORDINATE EXISTING CONDITIONS WHEN DETERMINING TARGET CFM LEVELS FOR EACH ROOM.
- CONTRACTOR SHALL VERIFY EXISTING MAIN.
- ANY EXISTING THERMOSTAT(S) SHALL BE RELOCATED WITHIN NEW FLOOR PLAN LAYOUT.
- HVAC DESIGN/BUILD CONTRACTOR SHALL BE THE SOLE PROVIDER OF NEW VENTILATION SYSTEM WITHIN THE BUILDING. SYSTEM DESIGN SHALL UTILIZE EXISTING SUPPLY DUCT AT TENANT WALL / OR AS DEEMED NECESSARY BY MECHANICAL TRADES. DESIGN SHALL BE COORDINATED WITH THE OWNER FOR FINAL APPROVAL PRIOR TO ORDERING MATERIALS.

NOTE:  
MECHANICAL PLANS ARE PROVIDED TO INDICATE DESIGN INTENT. DESIGN/BUILD MECHANICAL CONTRACTOR SHALL DEVELOP DETAILED SCOPE OF WORK TO INSURE OWNER HAS FULL CAPABILITY AND USE OF BUILDING. ALL NEW MATERIALS BROUGHT ONTO THE PROJECT SHALL MATCH EXISTING EQUIPMENT MANUFACTURERS, BUILDING STANDARDS, ETC. ALL MECHANICAL WORK SHALL BE PER CURRENT MI MECHANICAL CODE & COORDINATED THROUGH GENERAL CONTRACTOR.

ELECTRICAL NOTES:

- COORDINATE LIGHT FIXTURES SHOWN ON THIS SHEET WITH REFLECTED CEILING PLAN. REFER TO DEMOLITION CEILING PLAN FOR FIXTURES TO BE REMOVED AND/OR RELOCATED AND REFLECTED CEILING PLAN FOR BALANCE OF EXISTING TO REMAIN FIXTURES.
- ALL NEW FIXTURES SHALL MATCH BUILDING STANDARD AVANTE 2AV G 2 28T5 MDR MVOLT GEB10PS (LAMP COLOR SHALL MATCH EXISTING). HALLWAYS AND OPEN OFFICE LIGHT FIXTURES SHALL BE ON 3-WAY SWITCHES AS INDICATED. PROVIDE EMERGENCY LIGHTING AS REQUIRED BY CODE.
- NEW DEVICES AND COVER PLATES SHALL MATCH EXIST COLOR.
- EXISTING OUTLETS TO REMAIN SHALL BE TESTED FOR PROPER WIRING AND GROUNDING.
- ELECTRICAL CONTRACTOR TO INSTALL FIRE ALARM DEVICES, O2 & SMOKE DETECTORS AS REQUIRED BY RBC 2015 CODE.

NOTE:  
ELECTRICAL SCOPE IS PROVIDED TO INDICATE DESIGN INTENT. DESIGN/BUILD ELECTRICAL CONTRACTOR SHALL DEVELOP DETAILED SCOPE OF WORK TO INSURE OWNER HAS FULL CAPABILITY AND USE OF BUILDING. ALL NEW MATERIALS BROUGHT ONTO THE PROJECT SHALL MATCH EXISTING EQUIPMENT MANUFACTURERS, BUILDING STANDARDS, ETC. FIELD COORDINATION AND/OR ASSISTANCE MAY NEED TO BE PROVIDED WITH OWNER PROVIDED VENDORS (EQUIPMENT, ELECTRONIC DOOR HARDWARE, SECURITY, FURNITURE, ETC.). ALL ELECTRICAL WORK SHALL MEET CURRENT MI ELECTRICAL CODE AND BE COORDINATED THROUGH GENERAL CONTRACTOR.

CLIENT:

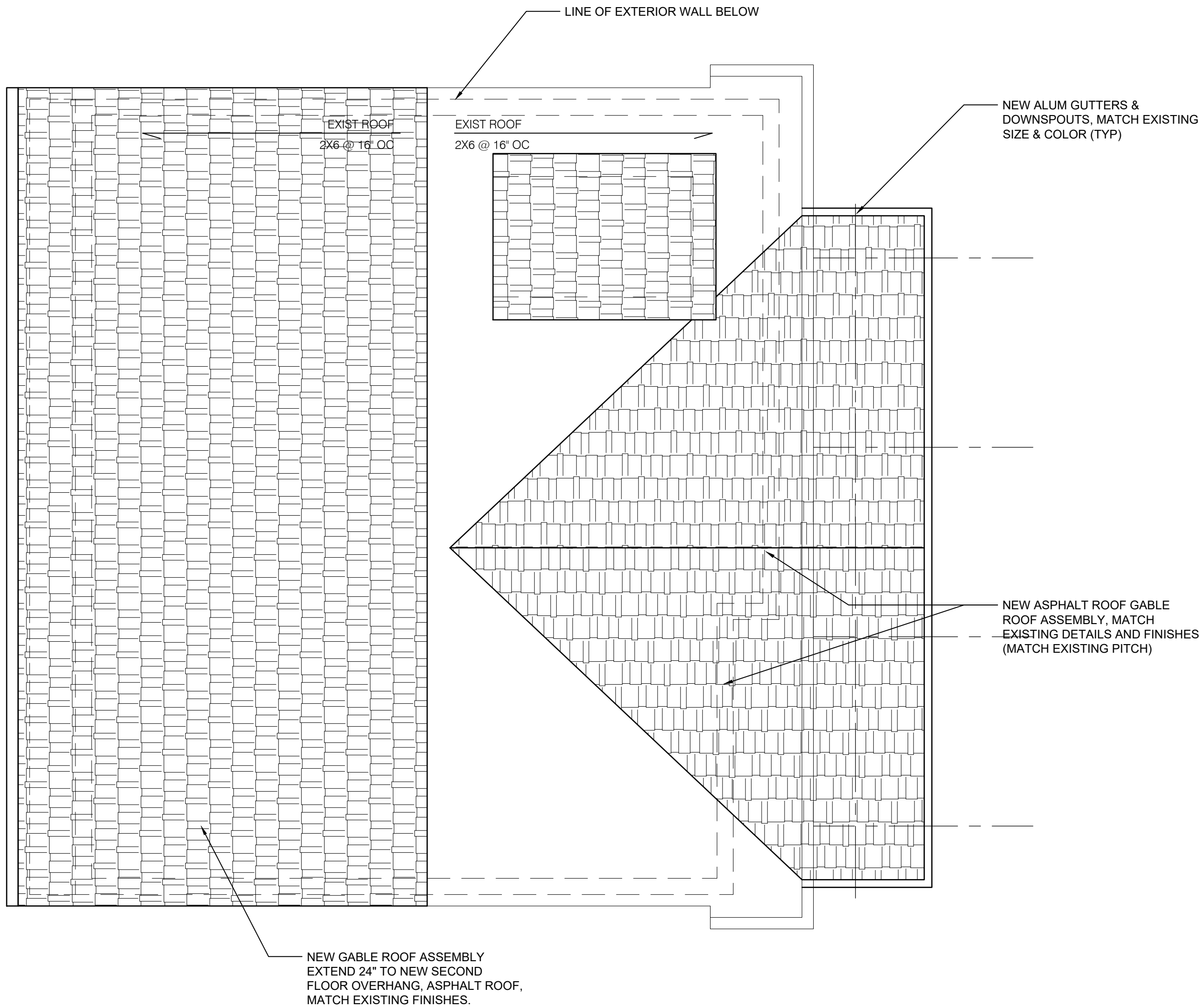
CHAPMAN  
RESIDENCE

26029 ALLOR  
HUNTINGTON WOODS, MI 48070

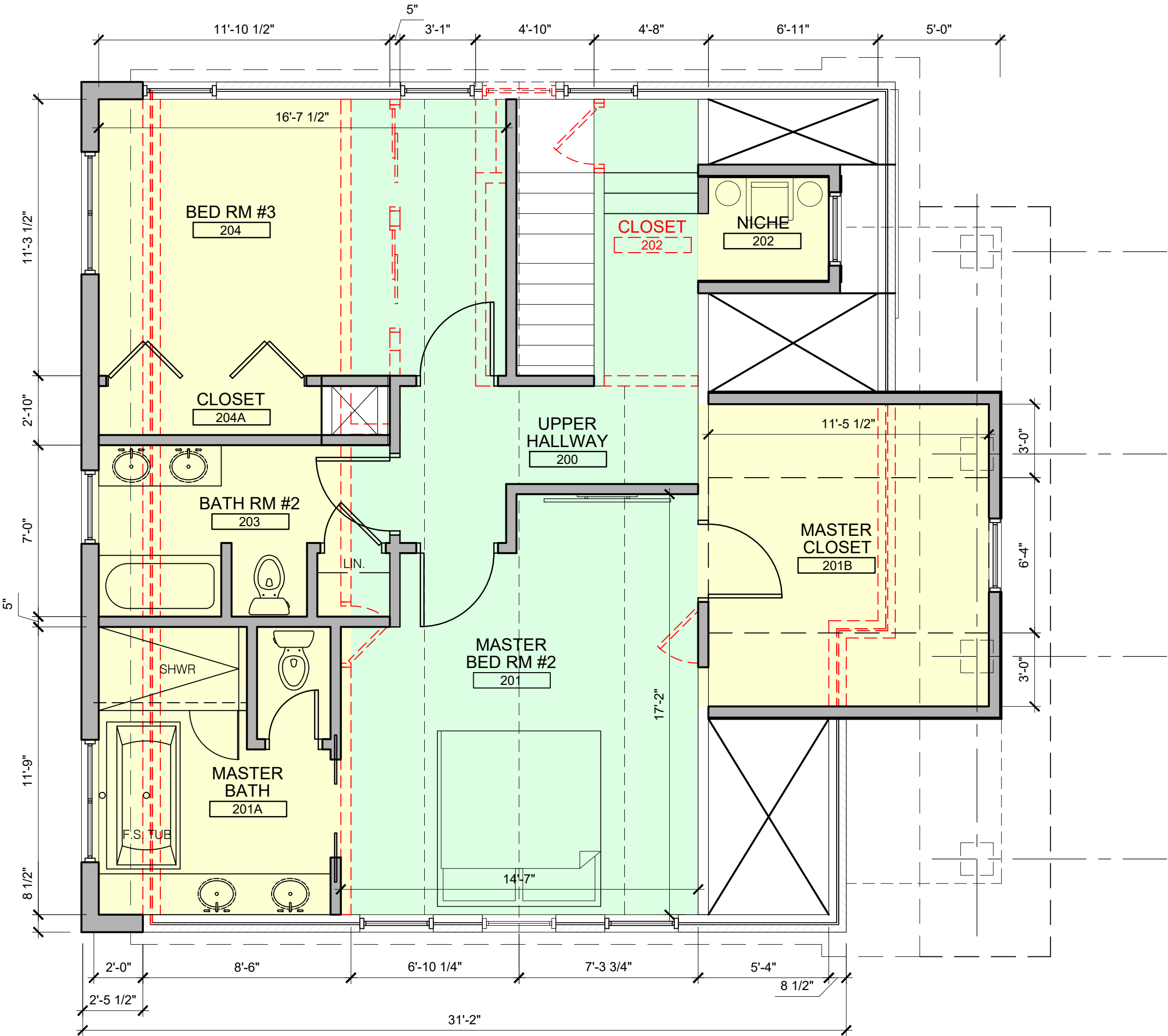


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P: 248.227.5860

CONSULTANTS:



ROOF PLAN - NEW  
SCALE: 1/4"=1'-0"  
0 1 2' 4' 8'  
SCALE : 1/4" =1'-0"



UPPER FLOOR PLAN - NEW  
SCALE: 1/4"=1'-0"  
0 1 2' 4' 8'  
SCALE : 1/4" =1'-0"

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SPA 06.26.21  
OWNER REVIEW 06.17.21

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Project: Date: Job Number: 21.0123

Sheet Title  
FLOOR PLANS  
EXISTING &  
NEW WORK

Sheet Number

A2.2



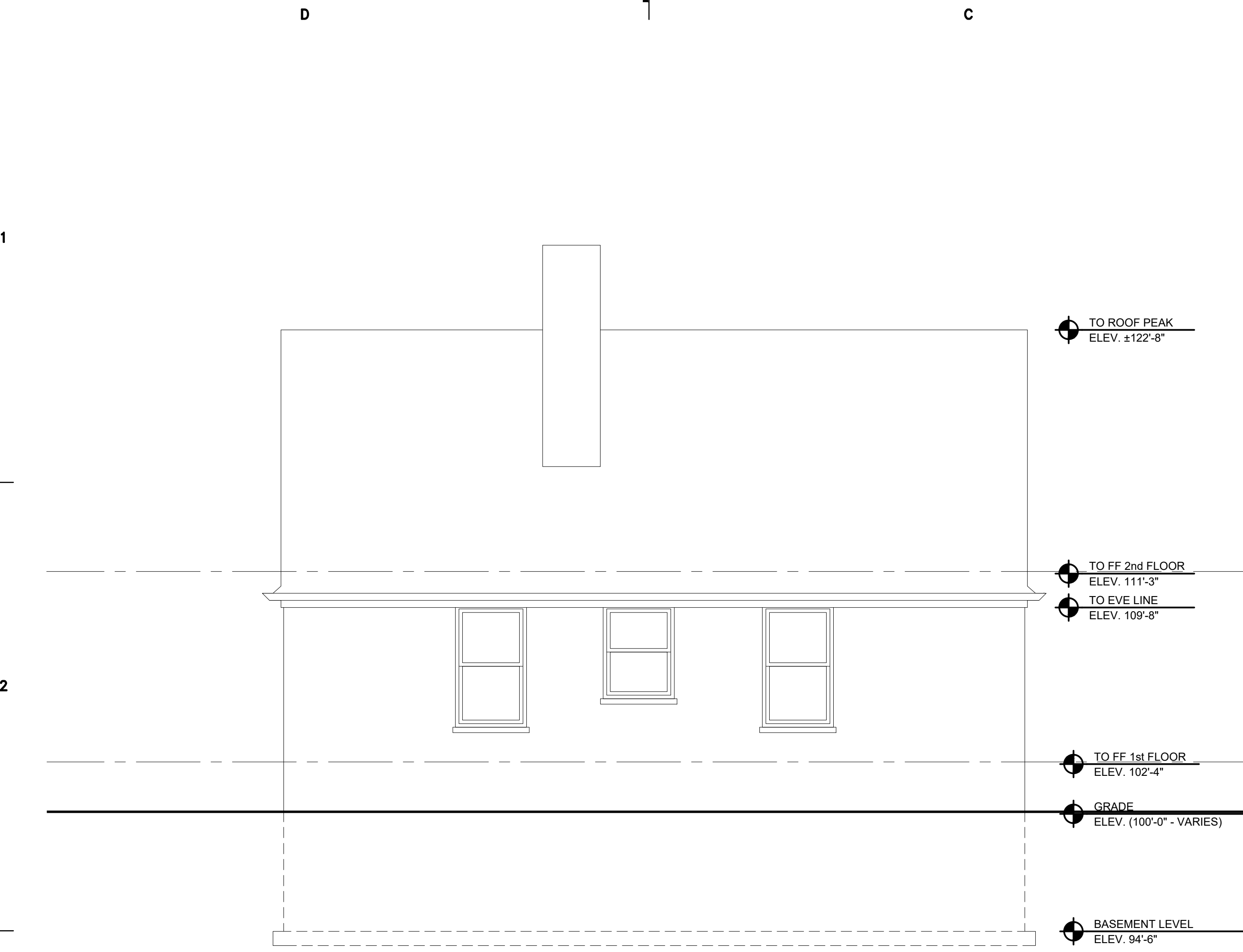
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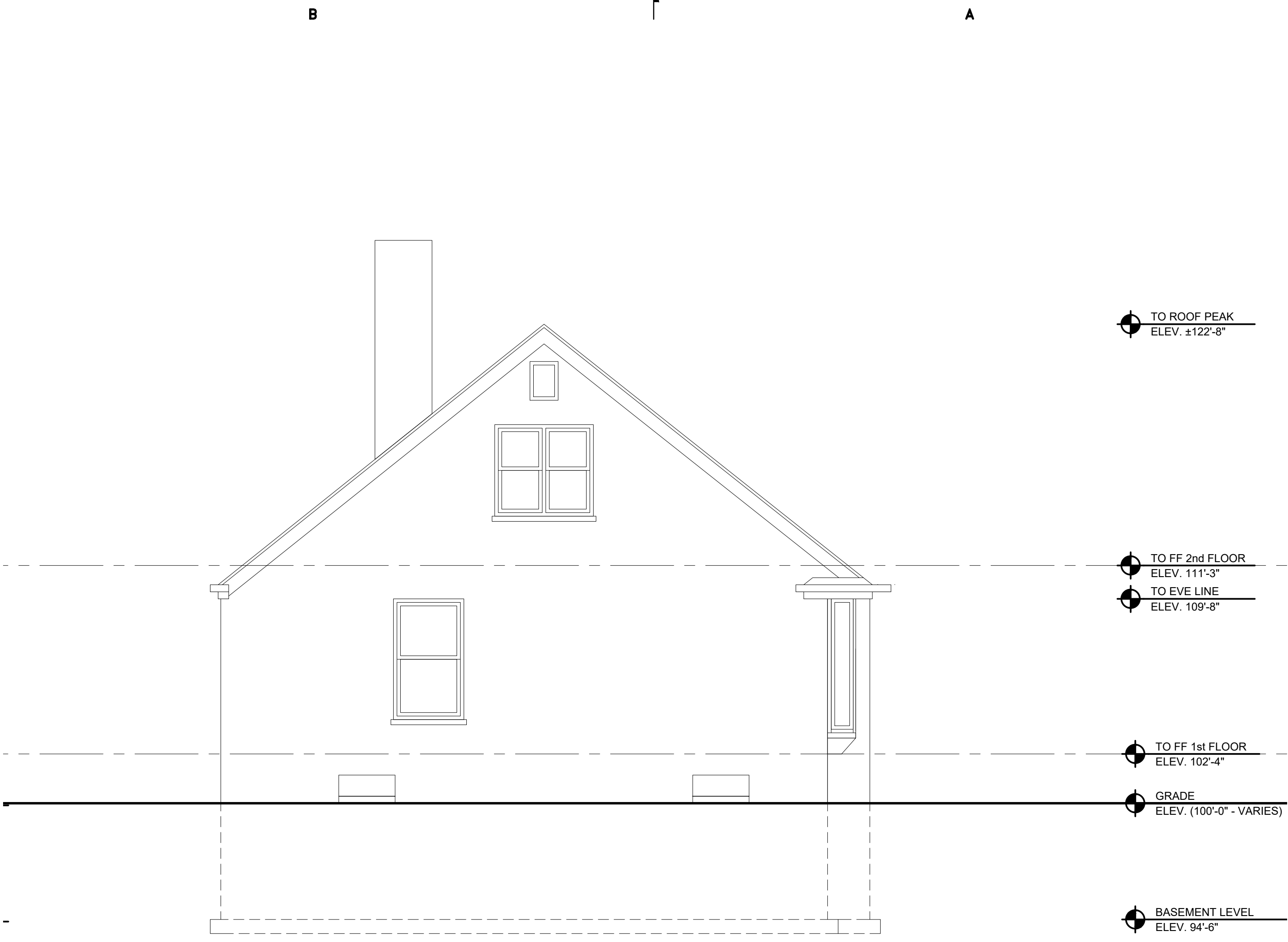
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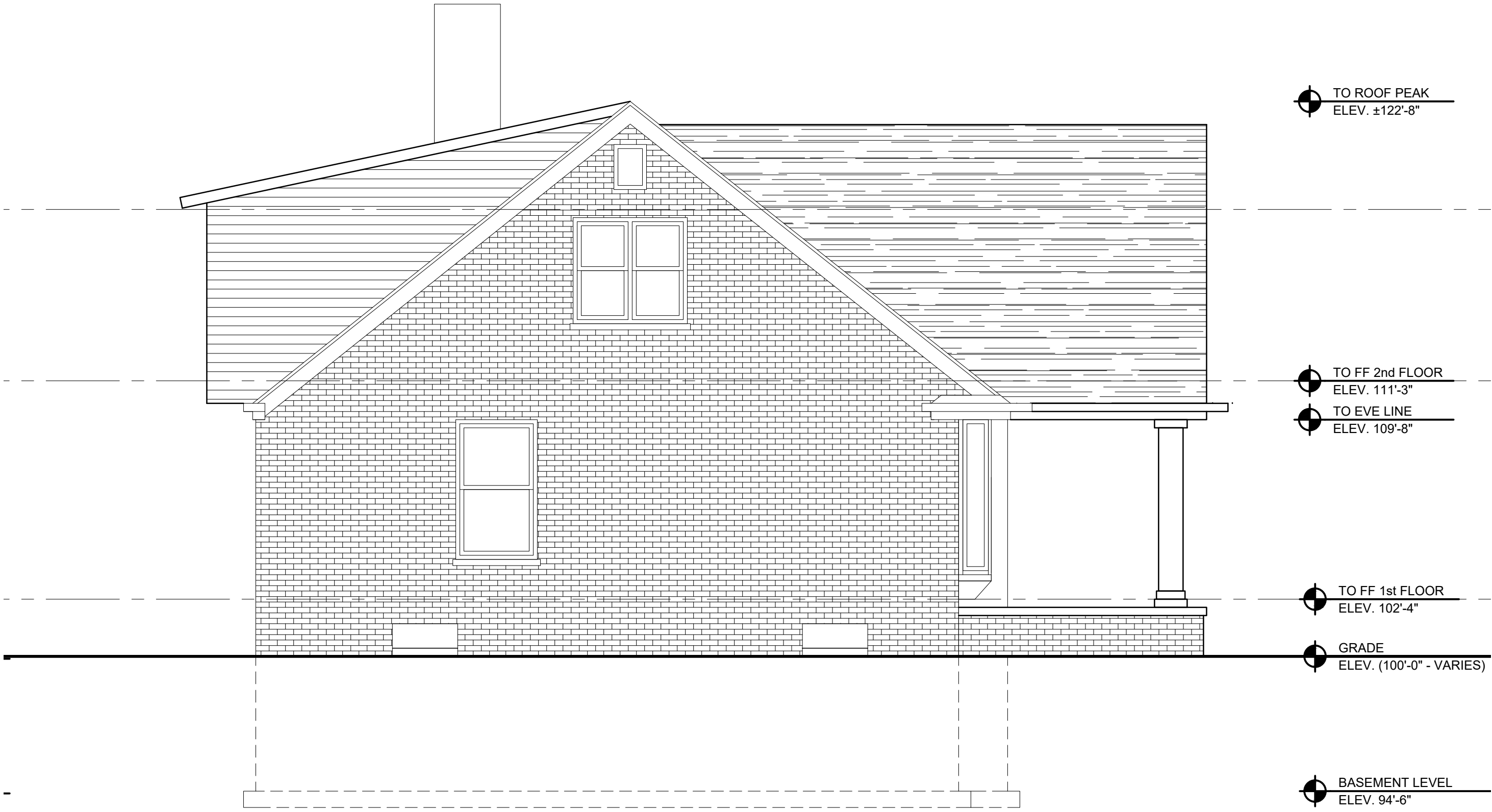
02  
A2.1  
W. EXTERIOR ELEVATION - EXISTING  
SCALE: 1/4" = 1'-0"



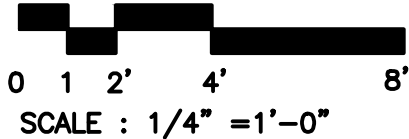
01  
A2.1  
S. EXTERIOR ELEVATION - EXISTING  
SCALE: 1/4" = 1'-0"



02  
A2.1  
W. EXTERIOR ELEVATION - NEW  
SCALE: 1/4" = 1'-0"



01  
A2.1  
S. EXTERIOR ELEVATION - NEW  
SCALE: 1/4" = 1'-0"



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Project: Date: Job Number: 2019.0101

Sheet Title  
EXISTING EXTERIOR  
ELEVATIONS  
EXIST/NEW WORK

Sheet Number

A3.1

CLIENT:

CHAPMAN  
RESIDENCE

26029 ALLOR  
HUNTINGTON WOODS, MI 48070



CONSULTANTS:

1

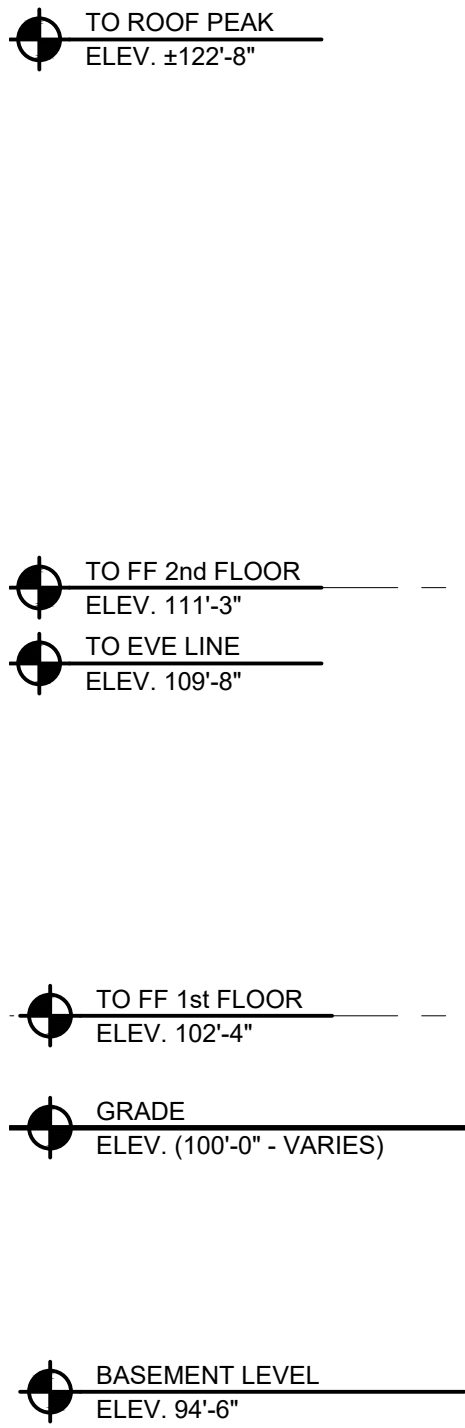
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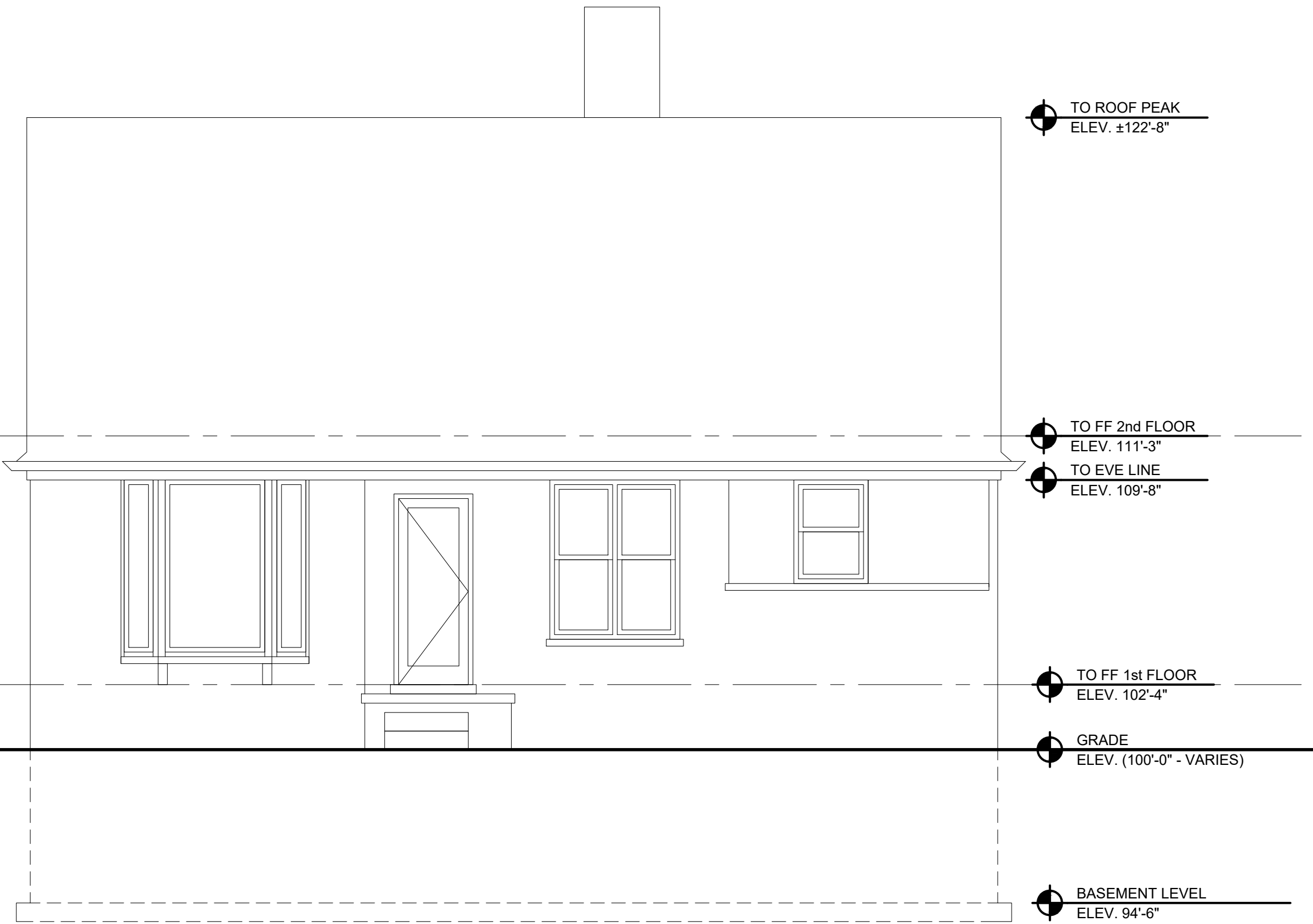
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A2.1 SCALE: 1/4" = 1'-0"



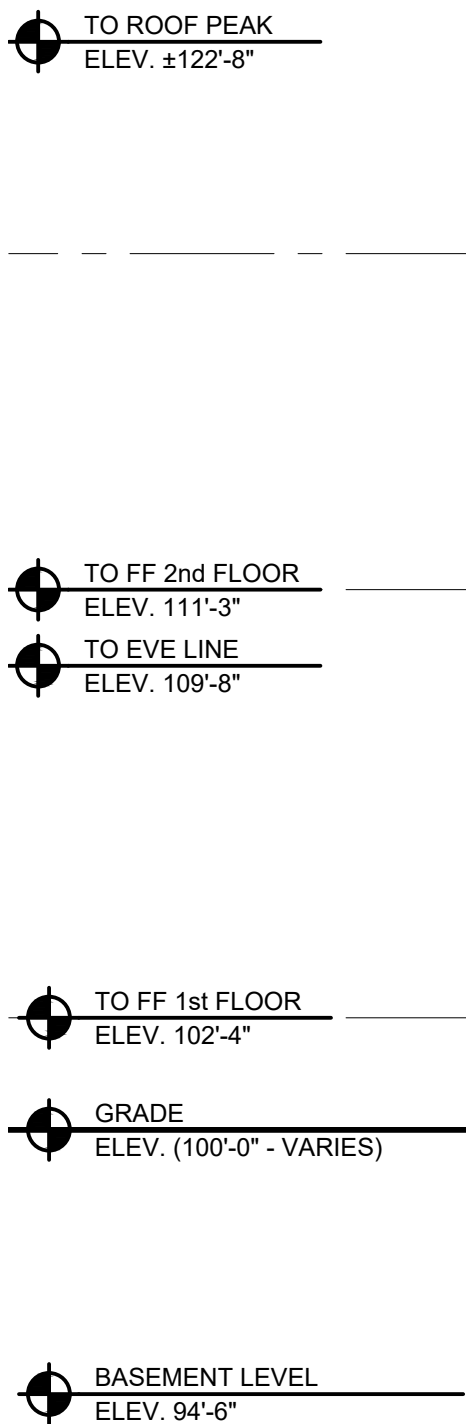
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A2.1 SCALE: 1/4" = 1'-0"

B

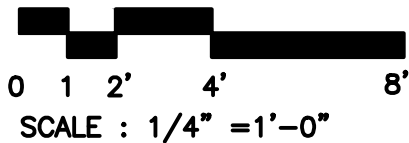
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01 W. EXTERIOR ELEVATION - EXISTING  
A2.1 SCALE: 1/4" = 1'-0"



01 W. EXTERIOR ELEVATION - NEW  
A2.1 SCALE: 1/4" = 1'-0"



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Sheet Title  
EXISTING EXTERIOR  
ELEVATIONS  
EXIST/NEW WORK

Sheet Number

A3.2