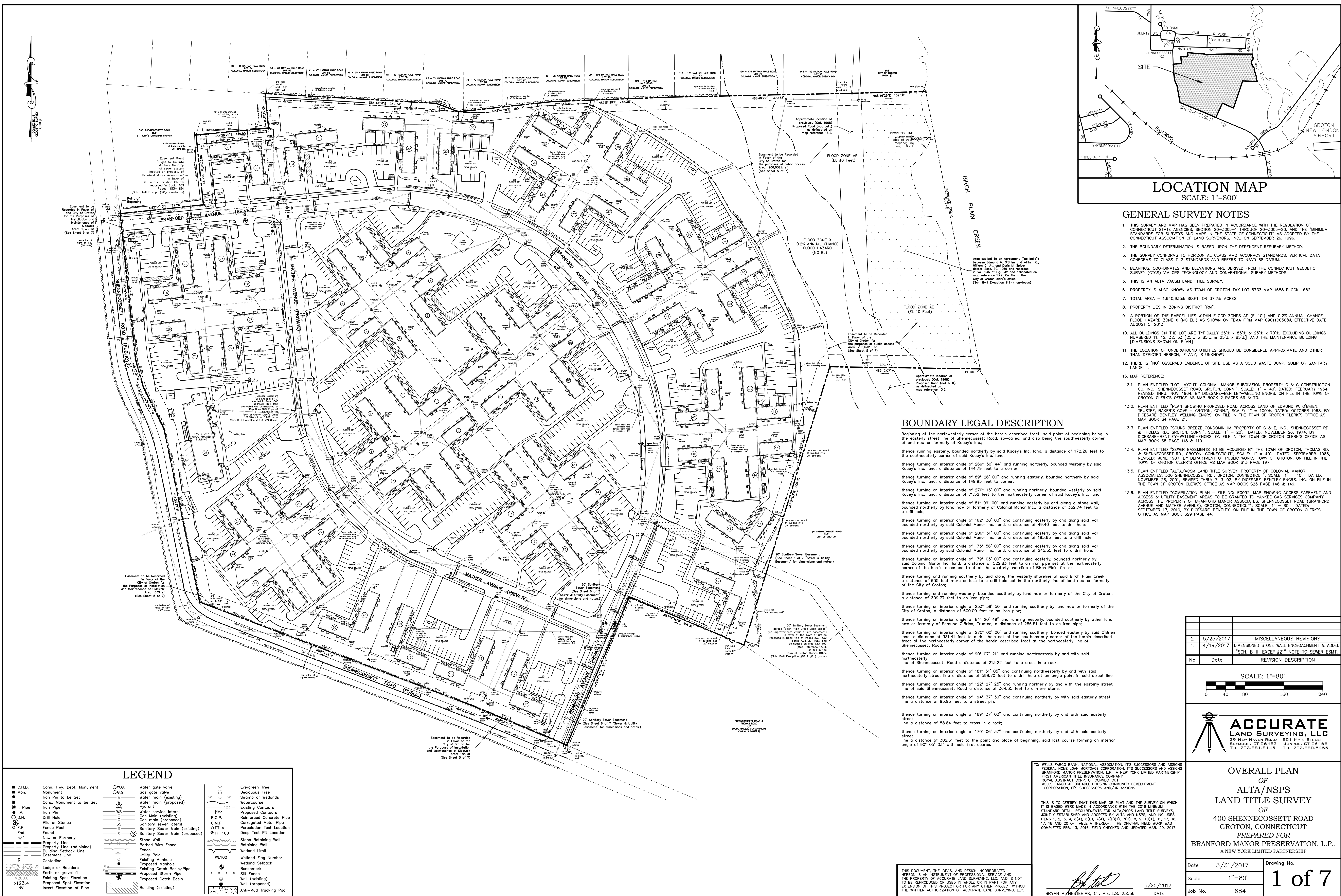


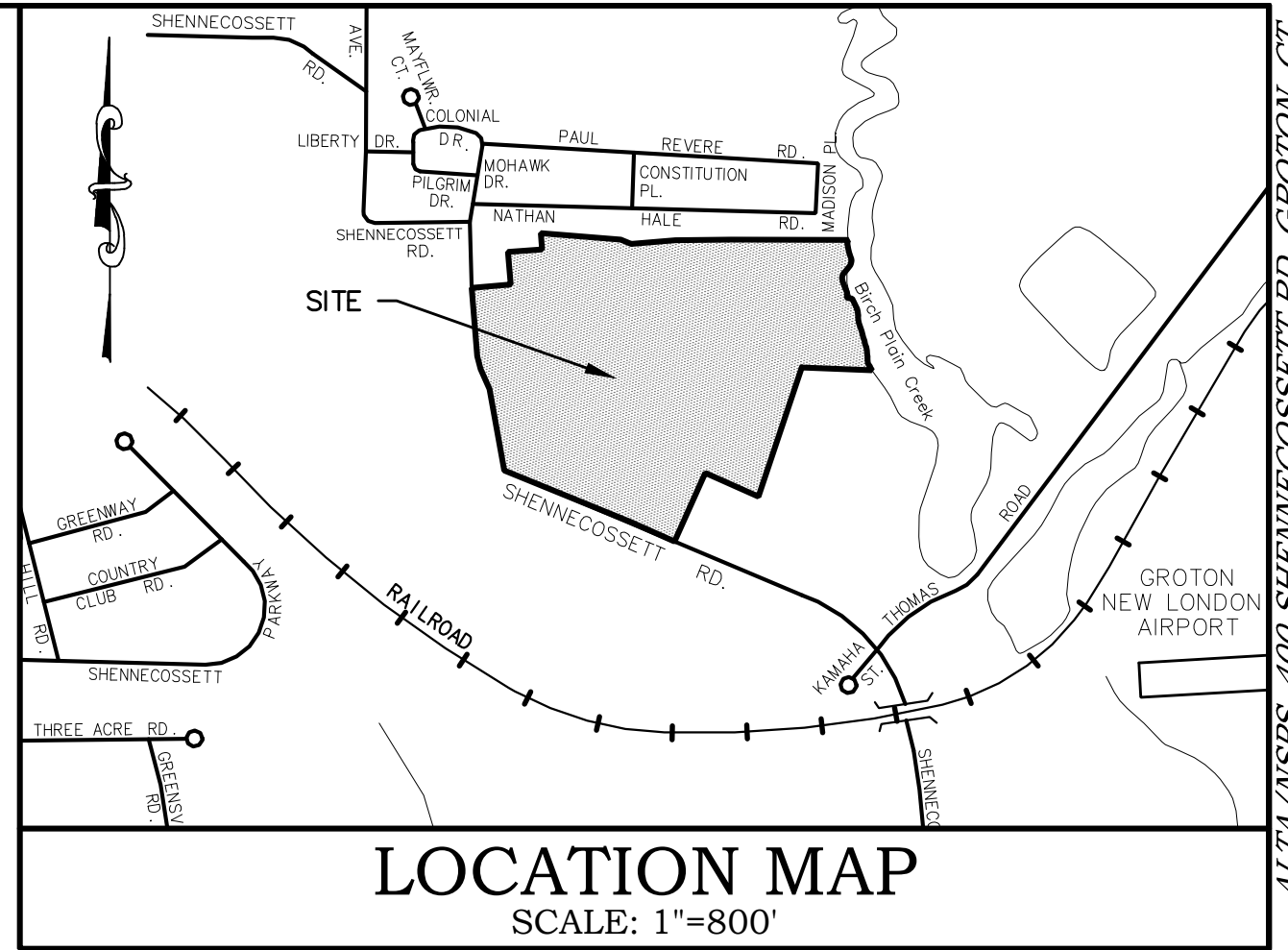
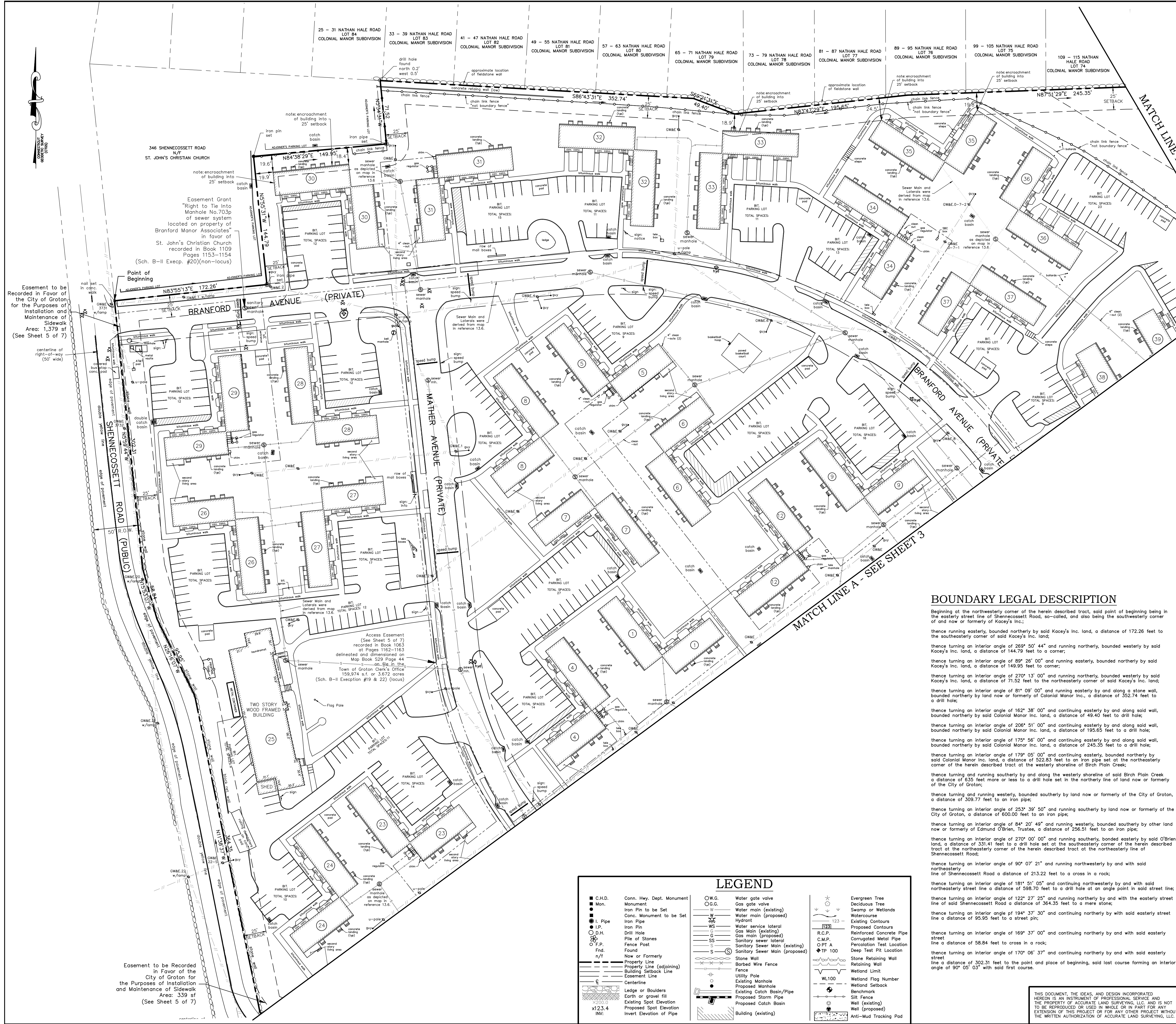


2.	5/25/2017	MISCELLANEOUS REVISIONS
1.	4/19/2017	DIMENSIONED STONE WALL ENROACHMENT & ADDED "SCH. B-II, EXCEPT #21" NOTE TO SEWER ESMIT.
No.	Date	REVISION DESCRIPTION
SCALE: 1"=80'		
OVERALL PLAN OF ALTA/NSPS LAND TITLE SURVEY OF 400 SHENNECOSSETT ROAD GROTON, CONNECTICUT PREPARED FOR BRANFORD MANOR PRESERVATION, L.P., A NEW YORK LIMITED PARTNERSHIP		
Date	3/31/2017	Drawing No.
Scale	1"=80'	1 of 7
Job No.	684	

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 10(A), 11, 13, 16, 17, 18 AND 20 OF TABLE A THEREOF. THE ORIGINAL FIELD WORK WAS COMPLETED FEB. 13, 2016, FIELD CHECKED AND UPDATED MAR. 29, 2017.

THIS DOCUMENT, THE IDEAS, AND DESIGN INCORPORATED HEREON IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND THE PROPERTY OF ACCURATE LAND SURVEYING, LLC. AND IS NOT TO BE REPRODUCED OR USED IN WHOLE OR IN PART FOR ANY EXTENSION OF THIS PROJECT OR FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ACCURATE LAND SURVEYING, LLC.

BRYAN P. NESTERAK, CT. P.E./L.S. 23556
5/25/2017
DATE



GENERAL SURVEY NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATION OF CONNECTICUT STATE AGENCIES, SECTION 20-300b-1 THROUGH 20-300b-20, AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1996.
- THE BOUNDARY DETERMINATION IS BASED UPON THE DEPENDENT RESURVEY METHOD.
- THE SURVEY CONFORMS TO HORIZONTAL CLASS A-2 ACCURACY STANDARDS. VERTICAL DATA CONFORMS TO CLASS T-2 STANDARDS AND REFERS TO NAVD 88 DATUM.
- BEARINGS, COORDINATES AND ELEVATIONS ARE DERIVED FROM THE CONNECTICUT GEODETIC SURVEY (CGTS) VIA GPS TECHNOLOGY AND CONVENTIONAL SURVEY METHODS.
- THIS IS AN ALTA /ACSM LAND TITLE SURVEY.
- PROPERTY IS ALSO KNOWN AS TOWN OF GROTON TAX LOT 5733 MAP 1688 BLOCK 1682.
- TOTAL AREA = 1,640,935± SQ.FT. OR 37.7± ACRES
- PROPERTY LIES IN ZONING DISTRICT "RM".
- A PORTION OF THE PARCEL LIES WITHIN FLOOD ZONES AE (EL10') AND 0.2% ANNUAL CHANCE FLOOD HAZARD ZONE X (NO EL.) AS SHOWN ON FEMA FIRM MAP 09010508A, EFFECTIVE DATE AUGUST 5, 2013.
- ALL BUILDINGS ON THE LOT ARE TYPICALLY 25'± x 85'± & 25'± x 70'±, EXCLUDING BUILDINGS NUMBERED 11, 12, 32, 33 [25'± x 85'± & 25'± x 85'±], AND THE MAINTENANCE BUILDING (DIMENSIONS SHOWN ON PLAN).
- THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND OTHER THAN DEPICTED HEREON, IF ANY, IS UNKNOWN.
- THERE IS "NO" OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- MAP REFERENCE:
 - PLAN ENTITLED "LOT LAYOUT, COLONIAL MANOR SUBDIVISION PROPERTY O & G CONSTRUCTION CO. INC., SHENNECOSSETT ROAD, GROTON, CONN.", SCALE: 1" = 40', DATED: FEBRUARY 1964, REVISED: NOV. 1964, BY DICESARE-BENTLEY-WELLING ENGRS. ON FILE IN THE TOWN OF GROTON CLERK'S OFFICE AS MAP BOOK 2 PAGES 69 & 70.
 - PLAN ENTITLED "PLAN SHOWING PROPOSED ROAD ACROSS LAND OF EDMUND W. O'BRIEN, TRUSTEE, BAKER'S GROVE - GROTON, CONN.", SCALE: 1" = 100', DATED: NOVEMBER 26, 1974, BY DICESARE-BENTLEY-WELLING-ENGRS. ON FILE IN THE TOWN OF GROTON CLERK'S OFFICE AS MAP BOOK 54 PAGE 21.
 - PLAN ENTITLED "SOUND BREEZE CONDOMINIUM PROPERTY OF G & E, INC., SHENNECOSSETT RD. & SHENNECOSSETT RD., GROTON, CONNECTICUT", SCALE: 1" = 40', DATED: SEPTEMBER 1986, REVISED: JUNE 1987, BY DEPARTMENT OF PUBLIC WORKS TOWN OF GROTON, ON FILE IN THE TOWN OF GROTON CLERK'S OFFICE AS MAP BOOK 513 PAGE 197.
 - PLAN ENTITLED "SEWER EASEMENTS TO BE ACQUIRED BY THE TOWN OF GROTON, THOMAS RD. & SHENNECOSSETT RD., GROTON, CONNECTICUT", SCALE: 1" = 40', DATED: NOVEMBER 28, 2001, REVISED THRU: 7-3-02, BY DICESARE-BENTLEY-ENGRS. INC. ON FILE IN THE TOWN OF GROTON CLERK'S OFFICE AS MAP BOOK 523 PAGE 148 & 149.
 - PLAN ENTITLED "COMPILATION PLAN - FILE NO. E0092, MAP SHOWING ACCESS EASEMENT AND ACCESS & UTILITY EASEMENT AREAS TO BE GRANTED TO YANKEE GAS SERVICES COMPANY ACROSS THE PROPERTY OF BRANFORD MANOR ASSOCIATES, SHENNECOSSETT ROAD (BRANFORD AVENUE AND MATHER AVENUE), GROTON, CONNECTICUT", SCALE: 1" = 80', DATED: SEPTEMBER 17, 2010, BY DICESARE-BENTLEY, ON FILE IN THE TOWN OF GROTON CLERK'S OFFICE AS MAP BOOK 529 PAGE 44.

BOUNDARY LEGAL DESCRIPTION

Beginning at the northwesterly corner of the herein described tract, said point of beginning being in the easterly street line of Shennecossett Road, so-called, and also being the southwesterly corner of and now or formerly of Kacey's Inc.;

thence running easterly, bounded northery by said Kacey's Inc. land, a distance of 172.26 feet to the southeasterly corner of said Kacey's Inc. land;

thence turning an interior angle of 259° 50' 44" and running northery, bounded westerly by said Kacey's Inc. land, a distance of 144.79 feet to a corner;

thence turning an interior angle of 89° 26' 00" and running easterly, bounded northery by said Kacey's Inc. land, a distance of 149.95 feet to a corner;

thence turning an interior angle of 270° 13' 00" and running northery, bounded westerly by said Kacey's Inc. land, a distance of 71.52 feet to the northeasterly corner of said Kacey's Inc. land;

thence turning an interior angle of 81° 09' 00" and running easterly by and along a stone wall, bounded northery by land now or formerly of Colonial Manor Inc., a distance of 352.74 feet to a drill hole;

thence turning an interior angle of 162° 38' 00" and continuing easterly by and along said wall, bounded northery by said Colonial Manor Inc. land, a distance of 49.40 feet to drill hole;

thence turning an interior angle of 206° 51' 00" and continuing easterly by and along said wall, bounded northery by said Colonial Manor Inc. land, a distance of 195.65 feet to a drill hole;

thence turning an interior angle of 175° 56' 00" and continuing easterly by and along said wall, bounded northery by said Colonial Manor Inc. land, a distance of 245.35 feet to a drill hole;

thence turning an interior angle of 179° 05' 00" and continuing easterly, bounded northery by said Colonial Manor Inc. land, a distance of 522.83 feet to an iron pipe set at the northeasterly corner of the herein described tract at the westerly shoreline of Birch Plain Creek;

thence turning and running southerly by and along the westerly shoreline of said Birch Plain Creek a distance of 635 feet more or less to a drill hole set in the northery line of land now or formerly of the City of Groton;

thence turning and running westerly, bounded southerly by land now or formerly of the City of Groton, a distance of 309.77 feet to an iron pipe;

thence turning an interior angle of 253° 39' 50" and running southerly by land now or formerly of the City of Groton, a distance of 600.00 feet to an iron pipe;

thence turning an interior angle of 84° 20' 49" and running westerly, bounded southerly by other land now or formerly of Edmund O'Brien, Trustee, a distance of 256.51 feet to an iron pipe;

thence turning an interior angle of 270° 00' 00" and running southerly, bounded easterly by said O'Brien land, a distance of 331.41 feet to a drill hole set at the southeasterly corner of the herein described tract at the northeasterly corner of the herein described tract at the northeasterly line of Shennecossett Road;

thence turning an interior angle of 90° 07' 21" and running northwesterly by and with said northwesterly line of Shennecossett Road a distance of 213.22 feet to a cross in a rock;

thence turning an interior angle of 181° 51' 05" and continuing northwesterly by and with said northwesterly street line a distance of 598.70 feet to a drill hole at an angle point in said street line;

thence turning an interior angle of 122° 27' 25" and running northery by and with the easterly street line of said Shennecossett Road a distance of 364.35 feet to a mere stone;

thence turning an interior angle of 194° 37' 30" and continuing northery by with said easterly street line a distance of 95.95 feet to a street pin;

thence turning an interior angle of 169° 37' 00" and continuing northery by and with said easterly street line a distance of 58.84 feet to cross in a rock;

thence turning an interior angle of 170° 06' 37" and continuing northery by and with said easterly street line a distance of 302.31 feet to the point and place of beginning, said last course forming an interior angle of 90° 05' 03" with said first course.

LEGEND

■ C.H.D. ● Mon. — Pipe — Iron Pin — D.H. — Fnd. — n/f	Conn. Hwy. Dept. Monument Iron Pin to be Set Conc. Monument to be Set Iron Pin Drill Hole Fence Post Found Now or Formerly Property Line (adjoining) Building Setback Line Easement Line Centerline Ledge or Boulder Earth or gravel fill Existing Spot Elevation Proposed Spot Elevation Invert Elevation of Pipe	— W.G. — W. — WS — G — SS — S — S	Water gate valve Gas gate valve Water main (existing) Water main (proposed) Hydrant Gas Main (existing) Gas main (proposed) Sanitary sewer lateral Sanitary sewer lateral (existing) Sanitary sewer main (proposed)	— Evergreen Tree — Deciduous Tree — Swamp or Wetlands — Watercourse — Existing Contours — Proposed Contours — Reinforced Concrete Pipe — Corrugated Metal Pipe — Percolation Test Location — Deep Test Pit Location — Wetland Limit — Wetland Flag Number — Wetland Setback — Benchmark — Silt Fence — Wall (existing) — Well (proposed) — Anti-Mud Tracking Pad
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TO: WELLS FARGO BANK, NATIONAL ASSOCIATION, ITS SUCCESSORS AND ASSIGNS
FEDERAL HOME LOAN MORTGAGE CORPORATION, ITS SUCCESSORS AND ASSIGNS
BRANFORD MANOR PRESERVATION, L.P., A NEW YORK LIMITED PARTNERSHIP
FIRST AMERICAN TITLE INSURANCE COMPANY
ROYAL ABSTRACT CORP. OF CONNECTICUT
WELLS FARGO AFFORDABLE HOUSING COMMUNITY DEVELOPMENT CORPORATION, ITS SUCCESSORS AND/OR ASSIGNS

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 10(A), 11, 13, 16, 17, 18 AND 20 OF TABLE A THEREOF. THE ORIGINAL FIELD WORK WAS COMPLETED FEB. 13, 2016, FIELD CHECKED AND UPDATED MAR. 29, 2017.

BRYAN P. NESTERAK, CT. P.E./L.S. 23556
5/25/2017
DATE

SCALE: 1"=50'

ACCURATE LAND SURVEYING, LLC
39 NEW HAVEN ROAD 501 MAIN STREET
SEYMOUR, CT 06483 MIDDLETOWN, CT 06456
TEL: 833.881.8145 TEL: 833.881.5455

NORTHWEST SECTION OF ALTA/NSPS LAND TITLE SURVEY OF 400 SHENNECOSSETT ROAD GROTON, CONNECTICUT PREPARED FOR BRANFORD MANOR PRESERVATION, L.P., A NEW YORK LIMITED PARTNERSHIP

Date	3/31/2017	Drawing No.	
Scale	1"=50'		
Job No.	684		

2 of 7

SCHEDULE B SECTION II (EXCEPTIONS)

Exceptions Per Schedule BII of First American Title Insurance Company Commitment No.: CTST279056-B having an Effective Date: February 28, 2017.

- (not plotted / unrelated to survey).
- Easements or claims of easements not shown by the public records, encroachments, violations, variations or adverse circumstances affecting the Title that would be disclosed by an accurate survey of the Land. (Blanket / none plotted)
- (not plotted / unrelated to survey).
- (not plotted / unrelated to survey).
- (not plotted / unrelated to survey).
- (not plotted / unrelated to survey).
- (not plotted / unrelated to survey).
- (not plotted / unrelated to survey).
- (not plotted / unrelated to survey).
- (not plotted / unrelated to survey).
- Easements, terms and conditions as set forth in an Agreement between the United States of America and the Borough of Groton dated October 2, 1857 and recorded in Volume 158 at Page 509 of the Groton Land Records. (blanket)
- Agreement dated September 30, 1969 and recorded in Volume 246 at Page 312 of the Groton Land Records (non-locus). (See sheet 4 of 7)
- Terms and conditions as set forth in a deed dated October 9, 1970 and recorded in Volume 252 at Page 438 of the Groton Land Records. (blanket)
- Easement in favor of the Town of Groton dated February 23, 1971 and recorded in Volume 254 at Page 668 of the Groton Land Records. (non-locus) (See sheet 6 of 7)
- Easement in favor of The Southern New England Telephone Company dated February 22, 1971 and recorded in Volume 254 at Page 698 of the Groton Land Records. (blanket) (See sheet 7 of 7)
- Permanent Easement in favor of the City of Groton Department of Utilities dated February 22, 1971 and recorded in Volume 255 at Page 167 of the Groton Land Records. (blanket) (See sheet 7 of 7)
- (not plotted / unrelated to survey).
- Easement in favor of the Town of Groton dated February 27, 1987 and recorded in Volume 439 at Page 225 of the Groton Land Records. (locus) (Rights released - See note: sheet 6 of 7)
- Easement Deed in favor of the Town of Groton dated August 27, 1987 and recorded in Volume 453 at Page 530 of the Groton Land Records. (locus). (See sheet 6 of 7)
- Gas Distribution Easement in favor of Yankee Gas Services Company dated November 8, 2010 and recorded in Volume 1063 at Page 1162 of the Groton Land Records. (locus). (See sheet 6 of 7)
- Easement Grant dated December 11, 2012 and recorded in Volume 1109 at Page 1153 of the Groton Land Records. (non-locus) (See sheet 1 of 7)
- Easements, wetland delineations and facts as shown on Map No. S13-197 on file in the Office of the Groton Town Clerk. (sewer easement-locus) (See sheet 6 of 7). Note: Wetlands delineated on said map do not affect subject parcel.
- Notes, facts and conditions as shown on Map No. S29-44 on file in the Office of the Groton Town Clerk. (locus) (See sheets 5 & 6 of 7)
- Rights of others in and to Birch Plain Creek, so-called, which abounds and/or flows through the subject premises and to such the subject premises as may be situated between the mean high water line thereof, as now or formerly established. (non-locus)

MATCH LINE A - SEE SHEET 2

MATCH LINE B - SEE SHEET 4

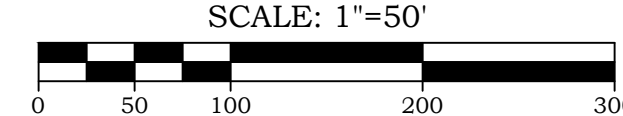
LOCATION MAP
SCALE: 1"=800'

GENERAL SURVEY NOTES

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- TOTAL AREA = 1,640,935± SQ.FT. OR 37.7± ACRES
- PROPERTY LIES IN ZONING DISTRICT "RM".
- A PORTION OF THE PARCEL LIES WITHIN FLOOD ZONES AE (EL'10") AND 0.2% ANNUAL CHANCE FLOOD HAZARD ZONE X (NO EL.) AS SHOWN ON FEMA MAP 09011C0508A, EFFECTIVE DATE AUGUST 5, 2013.
- ALL BUILDINGS ON THE LOT ARE TYPICALLY 25'± x 85'± & 25'± x 70'±, EXCLUDING BUILDINGS NUMBERED 11, 12, 32, 33 [25'± x 85'± & 25'± x 85'±], AND THE MAINTENANCE BUILDING [DIMENSIONS SHOWN ON PLAN].
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 - PLAN ENTITLED "PLAN SHOWING PROPOSED ROAD ACROSS LAND OF EDMUND W. O'BRIEN, TRUSTEE, BAKER'S COVE - GROTON, CONN.", SCALE: 1" = 100', DATED: OCTOBER 1968, BY DICESARE-BENTLEY-WELLING-ENGRS. ON FILE IN THE TOWN OF GROTON CLERK'S OFFICE AS MAP BOOK S4 PAGE 21.
 - PLAN ENTITLED "SOUND BREEZE CONDOMINIUM PROPERTY OF G & E, INC., SHENNECOSSETT RD. & SHENNECOSSETT RD., GROTON, CONNECTICUT", SCALE: 1" = 40', DATED: SEPTEMBER 1986, REVISED: JUNE 1987, BY DEPARTMENT OF PUBLIC WORKS TOWN OF GROTON, ON FILE IN THE TOWN OF GROTON CLERK'S OFFICE AS MAP BOOK S13 PAGE 197.
 - PLAN ENTITLED "SEWER EASEMENTS TO BE ACQUIRED BY THE TOWN OF GROTON, THOMAS RD. & SHENNECOSSETT RD., GROTON, CONNECTICUT", SCALE: 1" = 40', DATED: SEPTEMBER 1986, REVISED: NOVEMBER 28, 2001, REVISED THRU: 7-3-02, BY DICESARE-BENTLEY ENGRS. INC. ON FILE IN THE TOWN OF GROTON CLERK'S OFFICE AS MAP BOOK S23 PAGE 148 & 149.
 - PLAN ENTITLED "ALTA/ACSM LAND TITLE SURVEY, PROPERTY OF COLONIAL MANOR ASSOCIATES, 320 SHENNECOSSETT RD., GROTON, CONNECTICUT", SCALE: 1" = 40', DATED: NOVEMBER 28, 2001, REVISED THRU: 7-3-02, BY DICESARE-BENTLEY ENGRS. INC. ON FILE IN THE TOWN OF GROTON CLERK'S OFFICE AS MAP BOOK S23 PAGE 148 & 149.
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SITE STATISTICS MULTI-FAMILY RESIDENCE ZONE		
ZONING DISTRICT "RM"	REQUIRED	PROVIDED
BULK STATISTICS		
MIN. LOT AREA	30,119 ACRES (1,312,000 S.F.)	37.7± ACRES (1,640,935± S.F.)
MIN. LOT WIDTH	100'	>562.51'
MIN. BUILDING SETBACK (FRONT)	25'	>25'
MIN. BUILDING SETBACK (SIDE)	25'	>25' ALL BUILDINGS EXCEPT BLDGS. 30,33,35 (SEE SHEET 3) 44,46,47 (SEE SHEET 3)
MIN. BUILDING SETBACK (REAR)	25'	>25' ALL BLDGS. 2 STORY/335'
MAX. HEIGHT	35'	BUILDINGS: 185.08± S.E.
MAX. TOTAL COVERAGE	25% = 410,234± S.F.	TOTAL: <410,234± S.F.

No.	Date	REVISION DESCRIPTION
2.	5/25/2017	MISCELLANEOUS REVISIONS
1.	4/19/2017	DIMENSIONED STONE WALL ENCROACHMENT & ADDED "SCH. B-II, EXCEP.#21" NOTE TO SEWER ESMT.



SOUTHEAST SECTION
OF
ALTA/NSPS
LAND TITLE SURVEY
OF
400 SHENNECOSSETT ROAD
GROTON, CONNECTICUT
PREPARED FOR
BRANFORD MANOR PRESERVATION, L.P.,
A NEW YORK LIMITED PARTNERSHIP

Date	3/31/2017	Drawing No.
Scale	1"=50'	3 of 7
Job No.	684	

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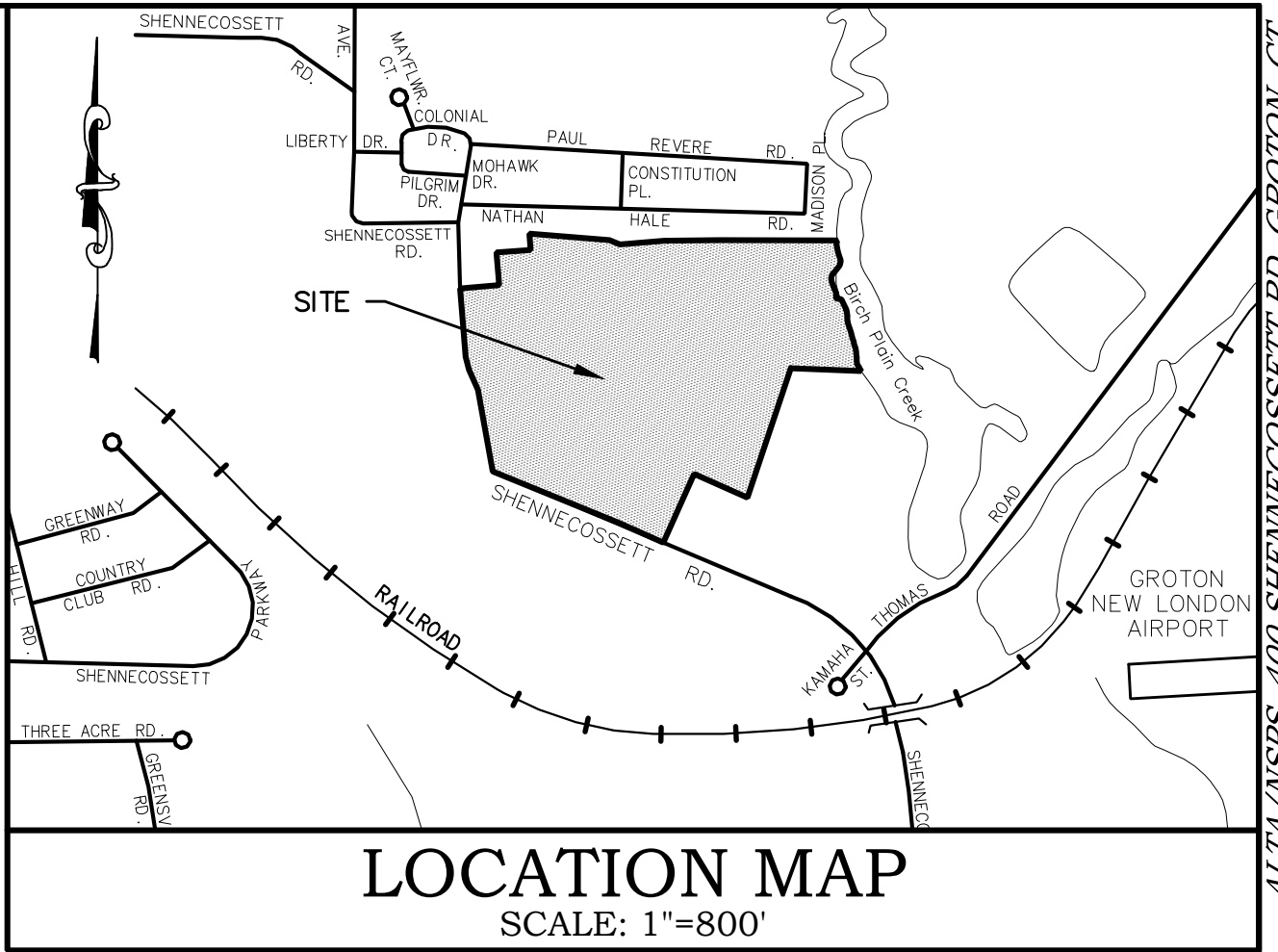
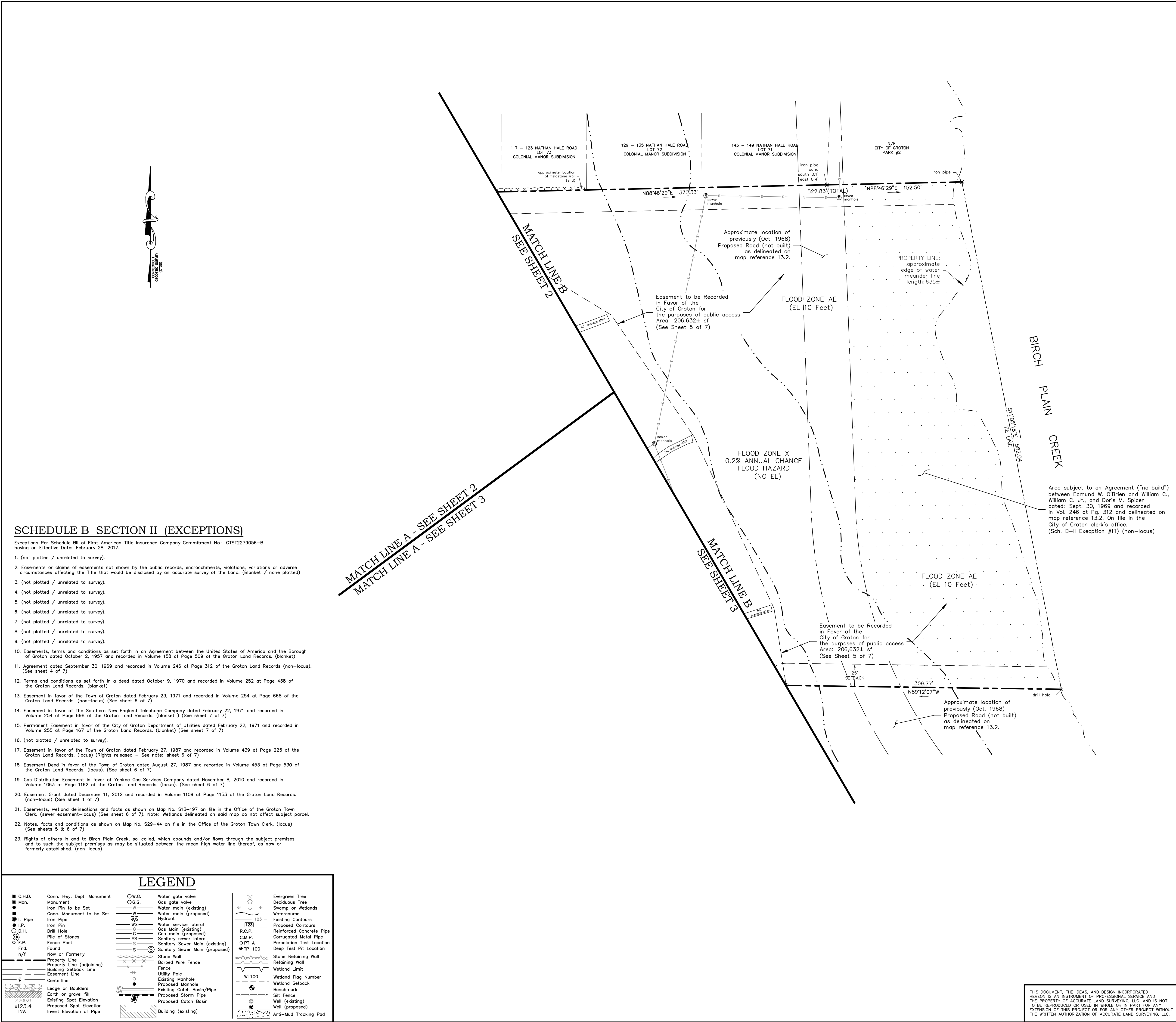
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BRYAN P. NESTERAK, C.T. P.E.L.S. 23556
5/25/2017
DATE

LEGEND	
■ C.H.D. ● Mon. ● Iron Pin to be Set ● Conc. Monument to be Set ● Iron Pin ● Drill Hole ● Pile of Stones ● F.P. ● Fnd. ● n/f	Conn. Hwy. Dept. Monument Iron Pin to be Set Conc. Monument to be Set Iron Pin Drill Hole Pile of Stones F.P. Fnd. n/f
— Property Line — Property Line (adjoining) — Building Setback Line — Easement Line — Centerline — Edge or Boulders — Earth or gravel fill — Existing Spot Elevation — Proposed Spot Elevation — Invert Elevation of Pipe	OW.G. O.G. W WS G G SS S S Stone Retaining Wall Barbed Wire Fence Fence Utility Pole Existing Manhole Proposed Manhole Existing Catch Basin/Pipe Proposed Storm Pipe Proposed Catch Basin Building (existing)
— Water gate valve — Gas gate valve — Water main (existing) — Water main (proposed) — Hydrant — Water service lateral — Gas Main (existing) — Gas main (proposed) — Sanitary sewer lateral — Sanitary Sewer Main (existing) — Sanitary Sewer Main (proposed) — Stone Retaining Wall — Retaining Wall — Wetland Limit — Wetland Flag Number — Existing Manhole — Proposed Manhole — Existing Catch Basin/Pipe — Proposed Storm Pipe — Proposed Catch Basin — Building (existing)	Evergreen Tree Deciduous Tree Swamp or Wetlands Watercourse Existing Contours Proposed Contours Reinforced Concrete Pipe Corrugated Metal Pipe Percolation Test Location Deep Test Pit Location Stone Retaining Wall Retaining Wall Wetland Limit Wetland Flag Number Existing Manhole Proposed Manhole Existing Catch Basin/Pipe Proposed Storm Pipe Proposed Catch Basin Building (existing)
— Anti-Mud Tracking Pad	— Anti-Mud Tracking Pad

Easement to be Recorded
in Favor of the
City of Groton for
the Purposes of Installation
and Maintenance of Sidewalk
and
(See Sheet 5 of 7)

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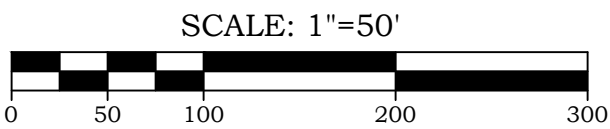
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- BEARINGS, COORDINATES AND ELEVATIONS ARE DERIVED FROM THE CONNECTICUT GEODETIC SURVEY (CTGS) VIA GPS TECHNOLOGY AND CONVENTIONAL SURVEY METHODS.
- THIS IS AN ALTA /ACSM LAND TITLE SURVEY.
- PROPERTY IS ALSO KNOWN AS TOWN OF GROTON TAX LOT 5733 MAP 1688 BLOCK 1682.
- TOTAL AREA = 1,640,935± SQ.FT. OR 37.7± ACRES
- PROPERTY LIES IN ZONING DISTRICT "RM".
- A PORTION OF THE PARCEL LIES WITHIN FLOOD ZONES AE (EL10') AND 0.2% ANNUAL CHANCE FLOOD HAZARD ZONE X (NO EL.) AS SHOWN ON FEMA FIRM MAP 09010C0508A, EFFECTIVE DATE AUGUST 5, 2013.
- ALL BUILDINGS ON THE LOT ARE TYPICALLY 25'± x 85'± & 25'± x 70'±, EXCLUDING BUILDINGS NUMBERED 11, 12, 32, 33 [25'± x 85'± & 25'± x 85'±], AND THE MAINTENANCE BUILDING [DIMENSIONS SHOWN ON PLAN].
- THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND OTHER THAN DEPICTED HEREON, IF ANY, IS UNKNOWN.
- THERE IS "NO" OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- MAP REFERENCE:
1. PLAN ENTITLED "LOT LAYOUT, COLONIAL MANOR SUBDIVISION PROPERTY O & G CONSTRUCTION CO. INC. SHENNECOSSETT ROAD, GROTON, CONN.", SCALE: 1" = 40', DATED: FEBRUARY 1964, REVISED THRU: NOV. 1964, BY DICESARE-BENTLEY-WELLING-ENGRS. ON FILE IN THE TOWN OF GROTON CLERK'S OFFICE AS MAP BOOK 2 PAGES 69 & 70.
2. PLAN ENTITLED "PLAN SHOWING PROPOSED ROAD ACROSS LAND OF EDMUND W. O'BRIEN, TRUSTEE, BAKER'S COVE - GROTON, CONN.", SCALE: 1" = 100', DATED: OCTOBER 1968, BY DICESARE-BENTLEY-WELLING-ENGRS. ON FILE IN THE TOWN OF GROTON CLERK'S OFFICE AS MAP BOOK S4 PAGE 21.
3. PLAN ENTITLED "SOUND BREEZE CONDOMINIUM PROPERTY OF G & E, INC., SHENNECOSSETT RD. & SHENNECOSSETT RD., GROTON, CONNECTICUT", SCALE: 1" = 40', DATED: SEPTEMBER 1988, REVISED: JUNE 1987, BY DEPARTMENT OF PUBLIC WORKS TOWN OF GROTON, ON FILE IN THE TOWN OF GROTON CLERK'S OFFICE AS MAP BOOK S13 PAGE 197.
4. PLAN ENTITLED "SEWER EASEMENTS TO BE ACQUIRED BY THE TOWN OF GROTON, THOMAS RD. & SHENNECOSSETT RD., GROTON, CONNECTICUT", SCALE: 1" = 40', DATED: SEPTEMBER 1988, REVISED: NOVEMBER 28, 2001, REVISED THRU: 7-3-02, BY DICESARE-BENTLEY-ENGRS. INC. ON FILE IN THE TOWN OF GROTON CLERK'S OFFICE AS MAP BOOK S23 PAGE 148 & 149.
5. PLAN ENTITLED "COMPILATION PLAN - FILE NO. E0092, MAP SHOWING ACCESS EASEMENT AND ACCESS & UTILITY EASEMENT AREAS TO BE GRANTED TO YANKEE GAS SERVICES COMPANY ACROSS THE PROPERTY OF BRANFORD MANOR ASSOCIATES, SHENNECOSSETT ROAD (BRANFORD AVENUE AND MATHER AVENUE), GROTON, CONNECTICUT", SCALE: 1" = 80', DATED: SEPTEMBER 17, 2010, BY DICESARE-BENTLEY, ON FILE IN THE TOWN OF GROTON CLERK'S OFFICE AS MAP BOOK S29 PAGE 44.

SITE STATISTICS MULTI-FAMILY RESIDENCE ZONE		
ZONING DISTRICT "RM"	REQUIRED	PROVIDED
BULK STATISTICS		
MIN. LOT AREA	30,119 ACRES (1,312,000 S.F.)	37.7± ACRES (1,640,935± S.F.)
MIN. LOT WIDTH	100'	>562.51'
MIN. BUILDING SETBACK (FRONT)	25'	>25'
MIN. BUILDING SETBACK (SIDE)	25'	>25' ALL BLDGS EXCEPT BLDGS: 30,33,35 (SEE SHEET 3) 44,46,47 (SEE SHEET 3)
MIN. BUILDING SETBACK (REAR)	25'	>25'
MAX. HEIGHT	35'	ALL BLDGS. 2 STORY/435'
MAX. TOTAL COVERAGE	25% = 410,234± S.F.	BUILDINGS: 185,084± S.F. TOTAL: <410,234± S.F.

2.	5/25/2017	MISCELLANEOUS REVISIONS
1.	4/19/2017	DIMENSIONED STONE WALL ENCROACHMENT & ADDED "SCH. B-II, EXCEP.#21" NOTE TO SEWER ESMT.

No.	Date	REVISION DESCRIPTION
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NORTHEAST SECTION

OF

ALTA/NSPS

LAND TITLE SURVEY

OF

400 SHENNECOSSETT ROAD

GROTON, CONNECTICUT

PREPARED FOR

BRANFORD MANOR PRESERVATION, L.P.,

A NEW YORK LIMITED PARTNERSHIP

Date	3/31/2017	Drawing No.
Scale	1"=50'	4 of 7
Job No.	684	

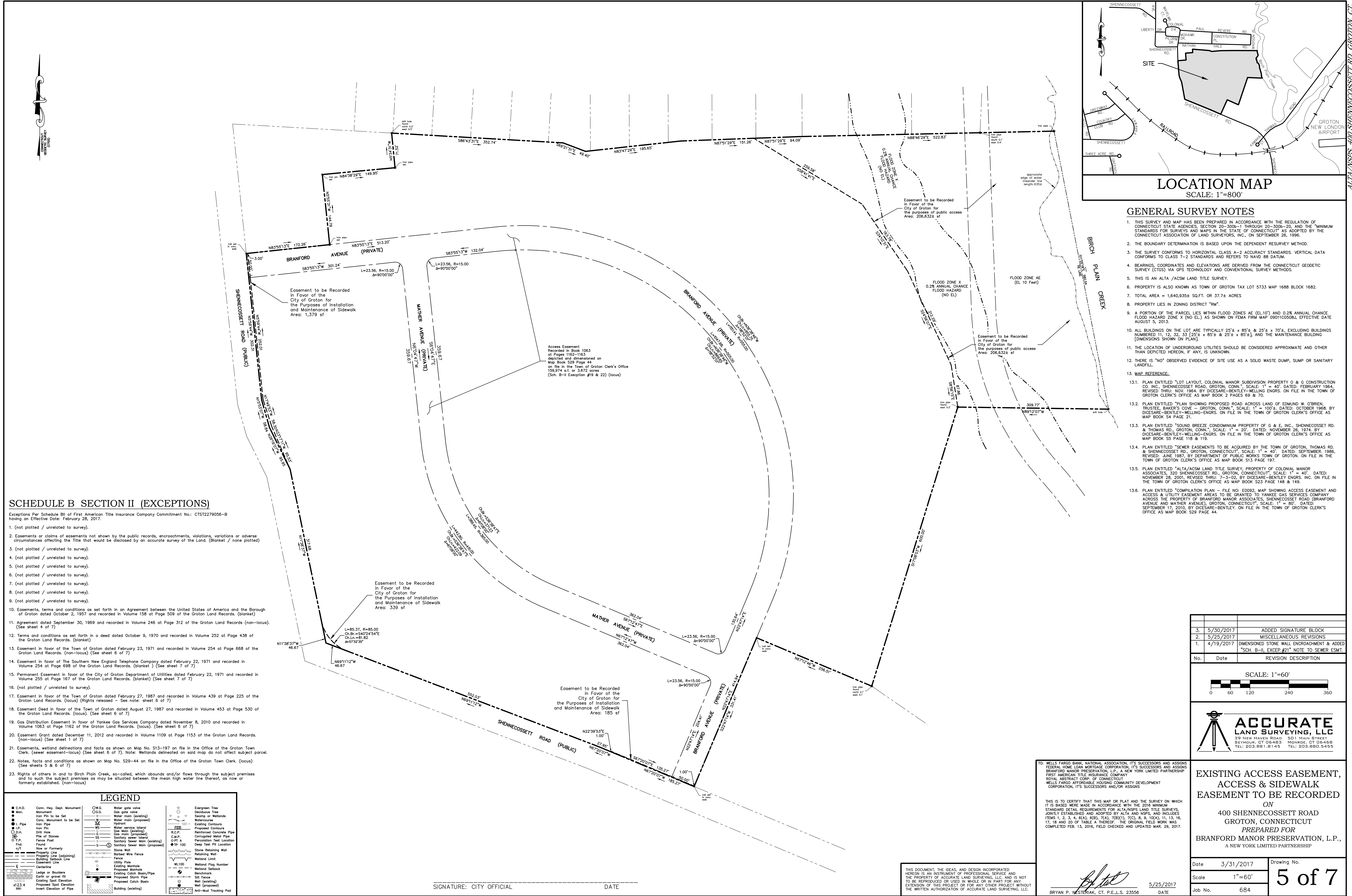
TO: WELLS FARGO BANK, NATIONAL ASSOCIATION, ITS SUCCESSORS AND ASSIGNS
FEDERAL HOME LOAN MORTGAGE CORPORATION, ITS SUCCESSORS AND ASSIGNS
BRANFORD MANOR PRESERVATION, L.P., A NEW YORK LIMITED PARTNERSHIP
FIRST AMERICAN TITLE INSURANCE COMPANY
ROYAL ABSTRACT CORP. OF CONNECTICUT
WELLS FARGO AFFORDABLE HOUSING COMMUNITY DEVELOPMENT CORPORATION, ITS SUCCESSORS AND/OR ASSIGNS

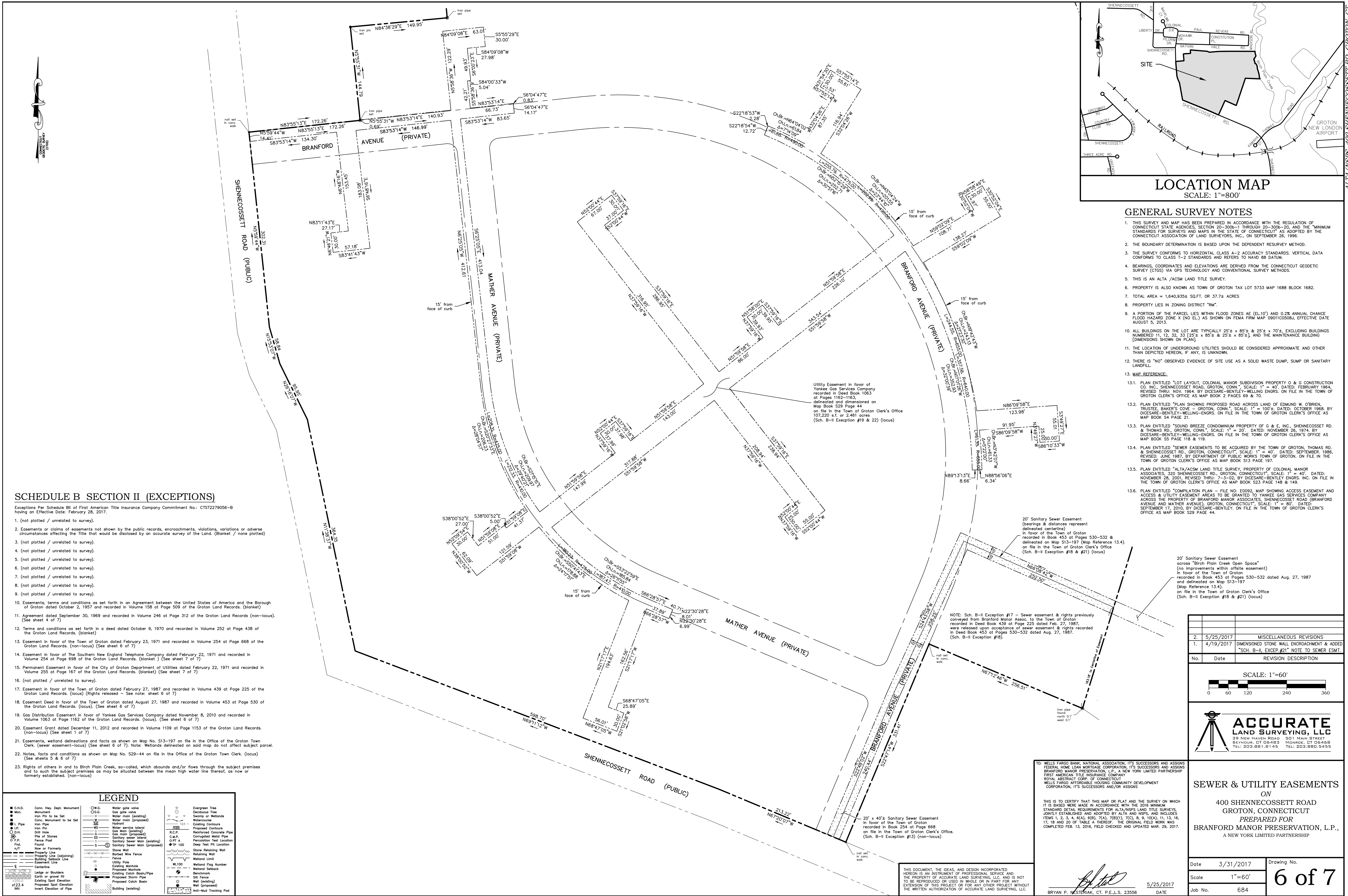
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 10(A), 11, 13, 16, 17, 18 AND 20 OF TABLE A THEREOF. THE ORIGINAL FIELD WORK WAS COMPLETED FEB. 13, 2016, FIELD CHECKED AND UPDATED MAR. 29, 2017.

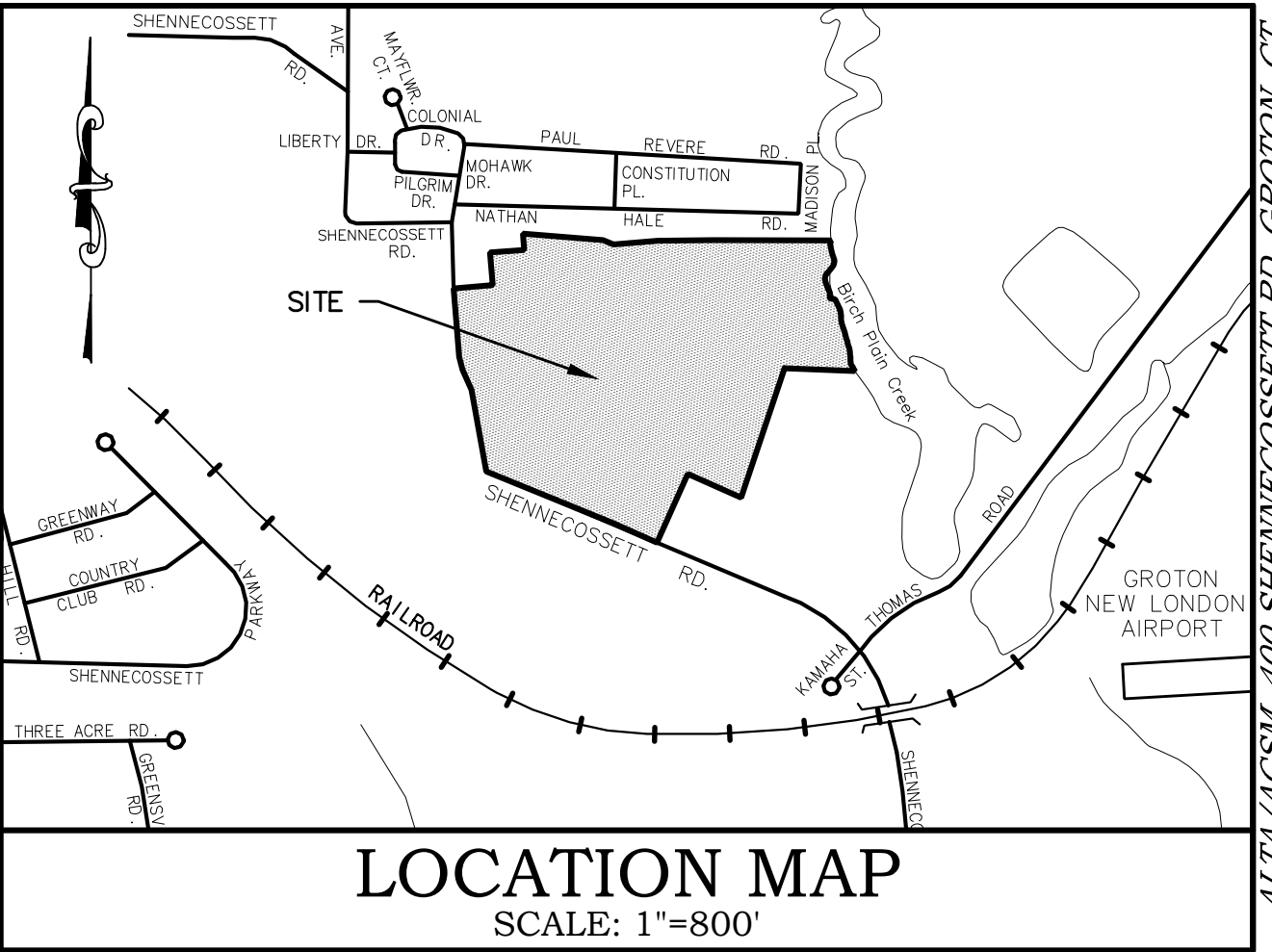
THIS DOCUMENT, THE IDEAS, AND DESIGN INCORPORATED HEREON IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND THE PROPERTY OF ACCURATE LAND SURVEYING, LLC. AND IS NOT TO BE REPRODUCED OR USED IN WHOLE OR IN PART FOR ANY EXTENSION OF THIS PROJECT OR FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ACCURATE LAND SURVEYING, LLC.

[Signature]
BRYAN P. NESTERAK, CT. P.E./L.S. 23556

5/25/2017
DATE







- ### SCHEDULE B SECTION II (EXCEPTIONS)
- Exceptions Per Schedule Bill of First American Title Insurance Company Commitment No.: CTST2279056-B having an Effective Date: February 28, 2017.
- (not plotted / unrelated to survey).
 - Easements or claims of easements not shown by the public records, encroachments, violations, variations or adverse circumstances affecting the Title that would be disclosed by an accurate survey of the Land. (Blanket / none plotted)
 - (not plotted / unrelated to survey).
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 - Easements, terms and conditions as set forth in an Agreement between the United States of America and the Borough of Groton dated October 2, 1957 and recorded in Volume 158 at Page 509 of the Groton Land Records. (blanket)
 - Agreement dated September 30, 1969 and recorded in Volume 246 at Page 312 of the Groton Land Records (non-locus). (See sheet 4 of 7)
 - Terms and conditions as set forth in a deed dated October 9, 1970 and recorded in Volume 252 at Page 438 of the Groton Land Records. (blanket)
 - Easement in favor of the Town of Groton dated February 23, 1971 and recorded in Volume 254 at Page 668 of the Groton Land Records. (non-locus) (See sheet 6 of 7)
 - Easement in favor of The Southern New England Telephone Company dated February 22, 1971 and recorded in Volume 254 at Page 698 of the Groton Land Records. (blanket) (See sheet 7 of 7)
 - Permanent Easement in favor of the City of Groton Department of Utilities dated February 22, 1971 and recorded in Volume 255 at Page 167 of the Groton Land Records. (blanket) (See sheet 7 of 7)
 - (not plotted / unrelated to survey).
 - Easement in favor of the Town of Groton dated February 27, 1987 and recorded in Volume 439 at Page 225 of the Groton Land Records. (locus) (Rights released - See note: sheet 6 of 7)
 - Easement Deed in favor of the Town of Groton dated August 27, 1987 and recorded in Volume 453 at Page 530 of the Groton Land Records. (locus). (See sheet 6 of 7)
 - Gas Distribution Easement in favor of Yankee Gas Services Company dated November 8, 2010 and recorded in Volume 1063 at Page 182 of the Groton Land Records. (locus). (See sheet 6 of 7)
 - Easement Grant dated December 11, 2012 and recorded in Volume 1109 at Page 1153 of the Groton Land Records. (non-locus) (See sheet 1 of 7)
 - Easements, wetland delineations and facts as shown on Map No. S13-197 on file in the Office of the Groton Town Clerk. (sewer easement-locus) (See sheet 6 of 7). Note: Wetlands delineated on said map do not affect subject parcel.
 - Notes, facts and conditions as shown on Map No. S29-44 on file in the Office of the Groton Town Clerk. (locus) (See sheets 5 & 6 of 7)
 - Rights of others in and to Birch Plain Creek, so-called, which abounds and/or flows through the subject premises and to such the subject premises as may be situated between the mean high water line thereof, as now or formerly established. (non-locus)

No.	Date	REVISION DESCRIPTION
2.	5/25/2017	MISCELLANEOUS REVISIONS
1.	4/19/2017	DIMENSIONED STONE WALL ENCROACHMENT & ADDED "SCH. B-II, EXCEP.#21" NOTE TO SEWER ESM.

SCALE: 1"=60'

0 30 60 120 180

ACCURATE LAND SURVEYING, LLC
39 NEW HAVEN ROAD 501 MAIN STREET
SEYMOUR, CT 06483 MONROE, CT 06468
TEL: 203.881.8145 TEL: 203.880.5455

TO: WELLS FARGO BANK, NATIONAL ASSOCIATION, ITS SUCCESSORS AND ASSIGNS
FEDERAL HOME LOAN MORTGAGE CORPORATION, ITS SUCCESSORS AND ASSIGNS
BRANFORD MANOR PRESERVATION, L.P., A NEW YORK LIMITED PARTNERSHIP
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BRYAN P. NESTERIAK, CT. P.E./L.S. 23556 DATE 5/25/2017

ELECTRIC & TELEPHONE UTILITIES
ON
ALTA/NSPS LAND TITLE SURVEY
OF
400 SHENNECOSSETT ROAD GROTON, CONNECTICUT
PREPARED FOR
BRANFORD MANOR PRESERVATION, L.P.,
A NEW YORK LIMITED PARTNERSHIP

Date	3/31/2017	Drawing No.
Scale	1"=60'	7 of 7
Job No.	684	