



**January 19, 2023**

**Planning Commission**

**Meeting**

**Information Packet**

## **AGENDA:**

1. Consideration to recommend approval of Conditional Use Permit Application for Ernie Beacham to own and operate Willow Brook, an event center for small (50-190 guests) gatherings at 628 South Quirk Street in the RR-1-21 zone
2. Consideration to recommend approval of Preliminary Plat for Hollywood Corner
3. Discussion for Lori Sipes to own and operate a daycare located at 167 McMichael Ave., in a R-1-8 zone
4. Discussion of revised Concept Plan for Worthington Ranch
5. Discussion of Concept Plan for Suds and Soda
6. Discussion for Amending Chapter 21 Minor Subdivision
7. Motion to elect Chair & Vice Chair for 2023
8. Report from City Council liaison Mayor Critchlow
9. Adjourn



# **AGENDA ITEM #1**

Consideration to recommend approval of Conditional Use Permit Application for Ernie Beacham to own and operate Willow Brook, an event center for small (50-190 guests) gatherings at 628 South Quirk Street in the RR-1-21 zone



## Planning and Zoning

336 W. Main Street • Grantsville, UT 84029

Phone: (435) 884-1674 • Fax: (435) 884-0426

CUP – 22-11.30

# Conditional Use Permit Summary and Recommendation

**Parcel ID:** 19-034-0-004B

**Meeting Date:** January 19, 2023 (for  
Consideration)

**Property Address:** 628 S. Quirk

**Current Zone:** R-1-21

**Applicant Name:** Ernie Beacham

**Request:** To own and operate Willow Brook, an event center for small (50-190 guests) gatherings

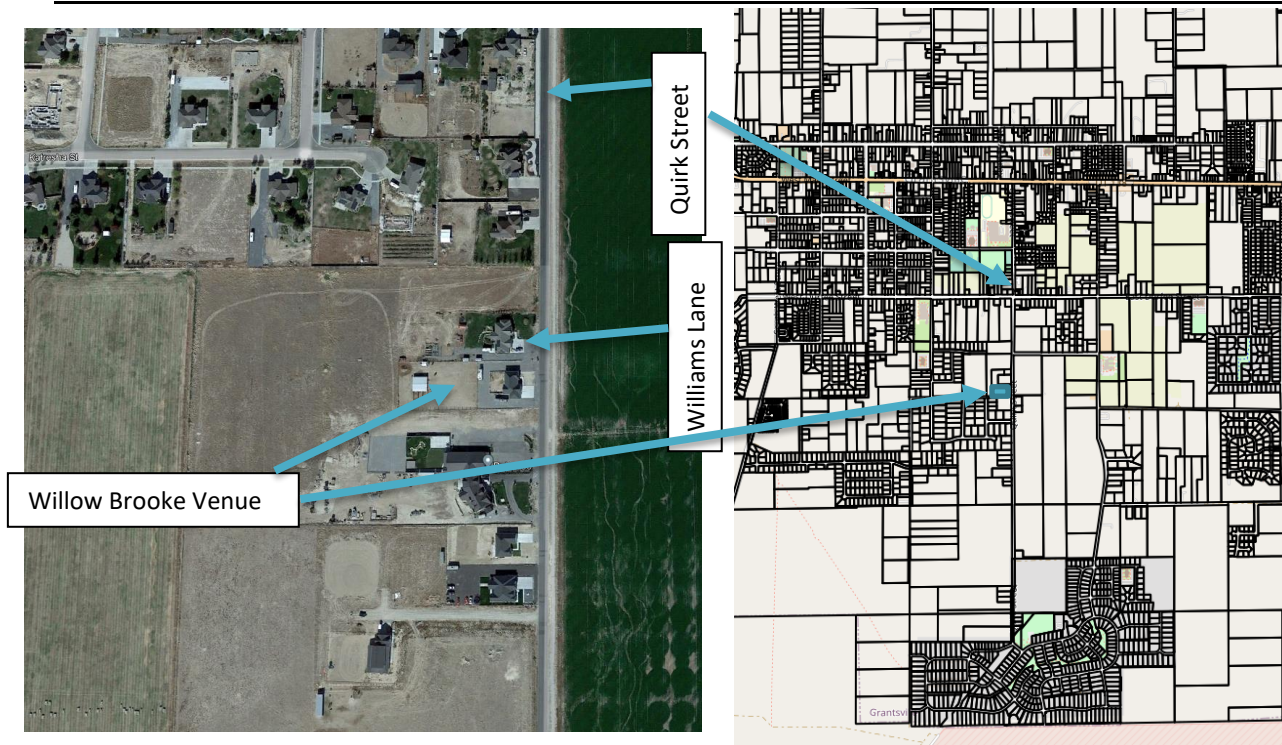
**Prepared by:** Cavett Eaton

**Planning Staff Recommendation:** Approval with Conditions

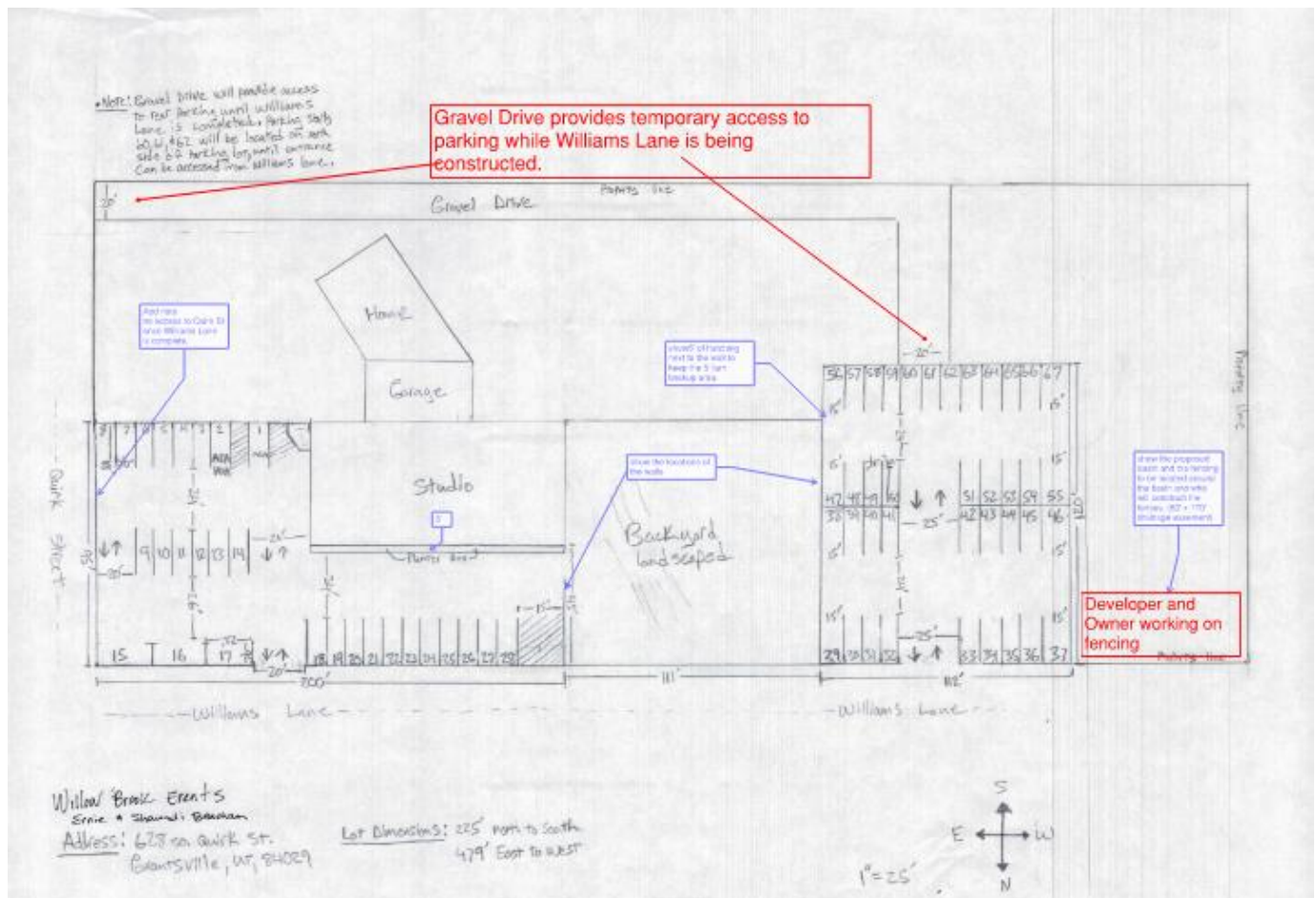
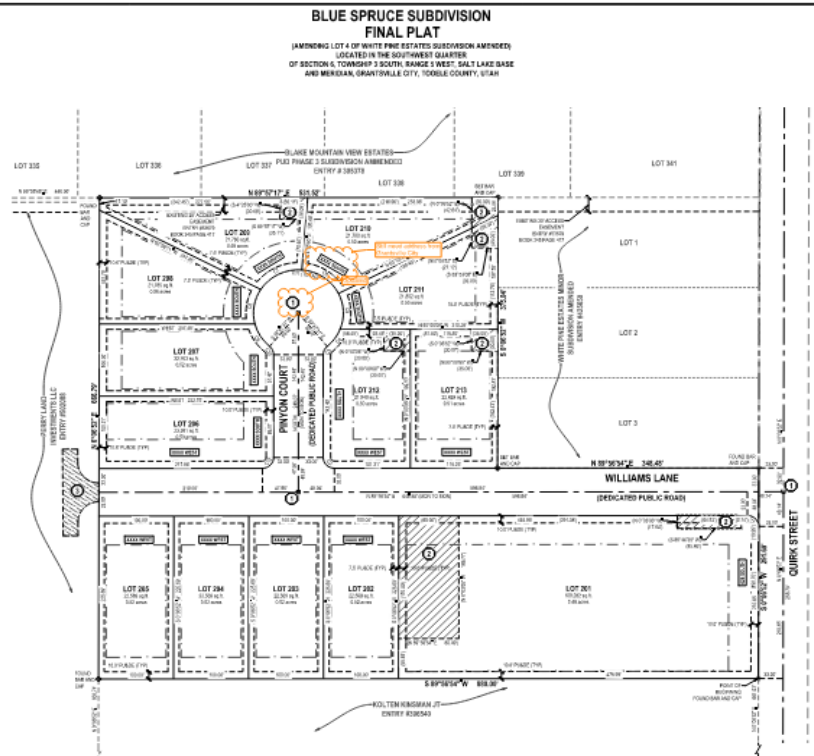
## PROJECT DESCRIPTION

Ernie Beacham is requesting a conditional use permit for an Event Venue for weddings, private parties, family gathering, and corporate events.

## SITE & VICINITY DESCRIPTION



The subject property is located in the Blue Spruce Subdivision Lot 201. The property is 2.49 acres in size. It is zoned R -1-21. Immediately adjoining properties along Quirk Street consist of single-family residences in the same R -1-21 zone on the South and RR-1 to the North. Property to the East is Agricultural land with the same R-1-21 zone. The Blue Spruce Subdivision has been approved by City Council.



## LAND USE CONSIDERATIONS (R-1-21, Community & Recreation Centers)

Requirement	Standard	Proposed	Compliance Verified
Event Parking	190 guests w/ 3 guests per car	67 Stalls Provided, 2 ADA	Add (1) ADA Parking Stall
Restroom Requirement	Current (2) unisex restrooms meet current ADA requirements for this occupancy rating.	Occupancy was reduced to 190 guests to accommodate engineering calculations.	Yes
Chapter 15 Residential And Multiple Residential Districts - <i>15.7 Codes And Symbols And Use Table 15.1</i>	RECREATION, CULTURAL & ENTERTAINMENT - Community & Recreation Centers – Permitted with Conditional Use Permit	Permitted as proposed with Conditional Use Permit	Yes

## GENERAL PLAN CONSIDERATIONS

### Goals + Policies + Land Use

Goal 3. Support a Mix of Land Uses. Grantsville desires a well-balanced, financially sound, and functional mix of agricultural, residential, commercial, open-space, recreational, and institutional land uses.

- Promote neighborhood commercial development in targeted areas, to preserve existing or planned residential development without detracting from the residential character of the community.

### Goals + Policies + Economic Development

Goal 3. Administrative Business Incentives. Grantsville is a business-friendly community that actively seeks ways to encourage business.

- All commercial and industrial developments will provide adequate buffer and screening treatments to protect the desirability and amenities of adjoining properties.

## ISSUES OF CONCERN/PROPOSED MITIGATION

**Occupancy** is an issue if this Venue is approved, and should be monitored. The applicant has reduced the occupancy limit to meet requirements for Restrooms and Parking. This is also relative to neighborhood response and previous Venue Rentals.

**Parking** on Quirk Street has been a problem in the past. There are concerns about future parking on Quirk Street and Williams Lane. The parking capacity has been increased to accommodate the requested 50 – 190 guest maximum. It is now in compliance.

**Noise** from event rental has been a problem in the past. Owner has assured City Staff that this will be addressed and not be a problem in the future.

## NEIGHBORHOOD RESPONSE

Comments both written, video and presented at public hearing centered on noise, parking and traffic congestion.

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## PLANNING COMMISSION RESPONSE

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After Discussion and Public Hearing on December 15<sup>th</sup>, Planning Commission suggested the owner review the comments and concerns made by residents, Planning Commissioners, and City Staff. The Conditional Use Permit process requires this application to return to Planning Commission for consideration. This is scheduled for January 19, 2023.

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## REVIEWING AGENCIES/PROFESSIONALS RESPONSE

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ENGINEERING FIRM: Ensign Engineering  
RECOMMENDATION:

DATE: November 11, 2022

Based on our review of the code it does not appear that using the existing building as a reception hall will change the use. The occupant load only has a minor reduction based on code change to the office use occupancy. The client has stated he does not want to construct additional ADA restrooms and would like to limit the number of occupants based on the available restrooms. The plumbing code states one men's fixture per 125 occupants, and one female fixture per 65 occupants.

- The client stated that the (2) unisex restrooms were installed and inspected with the original construction. These two should meet current ADA requirements.
- Section 1109.2 states all restrooms need to be accessible. The two restrooms on the mezzanine do not appear to have the required floor space to be ADA.
- The client stated that the facility is equipped with a dual height ADA drinking fountain, as well as a janitors' room with a mop sink, and exit lights at the exit doors.
- The client is applying for a maximum occupancy rating of 190 based off of the current number of plumbing fixtures and discussions with the building official.

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## PLANNING STAFF ANALYSIS

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Planning Staff has found that this application is cohesive with Zoning Requirements for R-1-21 and the Grantsville City General Plan. ADA requirements are in compliance under a 190-person occupancy maximum. The existing commercial use (Dance Studio) didn't seem to create reportable problems with neighbors, however Willow Brook Venue operations have.

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## PLANNING STAFF RECOMMENDATION

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Staff recommends that the Grantsville City Planning Commission makes a motion to grant approval of the conditional use permit for Willow Brook Venue to operate, under the following conditions:

1. Additional ADA (Handicap) Parking Stall be installed to meet ADA requirements for 190 occupants
2. Street parking on Quirk Street and Williams Lane is prohibited
3. Venue music and attendee noise to the surrounding neighborhood is to be controlled and monitored.
4. Any event anticipated to be held outside, even partially, will require a noise variance to be granted by City Council during a regularly scheduled meeting"
5. Any complaints received by Grantsville City may require a review of this Conditional Use Permit, which may result in revocation.



## APPURTENANT DOCUMENTS

## GRANTSVILLE CITY CONDITIONAL USE PERMIT APPLICATION

(Commercial Business)

DATE PAID \_\_\_\_\_  
HEARING DATE \_\_\_\_\_  
PERMIT # \_\_\_\_\_

Fec: \$250.00

Name Ernie Beacham Phone 435-840-2628Mailing Address 628 so. Quirk St., Grantsville, UT, 84029Address of Subject Property 628 so. Quirk St., Grantsville, UT, 84029Do You Own the Property? YesZoning and Total Acres Involved Residential 2.49 acres

Provide a Complete Description of Use Being Applied For (May require multiple sheets):

Rent Building for the purpose of weddings,  
parties, Family gathering, and events

## • ATTACH SITE PLAN WITH THE FOLLOWING (May Require Multiple Sheets):

- Vicinity map of area with North indicated.
- A plat or survey of parcel with legal description and actual dimensions of property.
- Size and location of all existing and proposed buildings or other structures.
- All driveways and exact number and size of all parking spaces.
- On-site drainage plans (all runoff must be kept onsite).
- Any other items as required by Zoning Administrator and/or Planning Commission.

- 
- ALSO, PROVIDE ENVELOPES, MAILING LABELS AND FIRST CLASS POSTAGE FOR ALL PROPERTY OWNERS WITHIN 300 FEET OF SUBJECT PROPERTY BOUNDARY, AND**
- 500

- 
- UDOT ENCROACHMENT PERMIT IF ACCESSING A STATE HIGHWAY.**

  
SIGNATURE OF APPLICANT\_\_\_\_\_  
SIGNATURE OF CO-APPLICANT

12/22, 9:31 AM

Revised Online Forms

# Conditional Use Permit – Home Occupation Application

Submitted by:

Submitted On: 2022-11-30 18:38:07

Submission IP: (76.76.245.1)

proxy-IP (see-IP)

Status: Open

## GRANTSVILLE CITY CONDITIONAL USE APPLICATION (Home Occupation)

FEE IS \$75.00 IF REVIEWED IN HOUSE, \$200.00 IF REVIEWED BY COMMISSION

\* Name

Ernie Beacham

\* Phone #

435-840-2628

\* Business Name

Willow Brook

\* Mailing Address

628 So. Quirk street, Grantsville, Utah, 84029

City, State, Zip

\* E-mail address of applicant

beacham42@hotmail.com

Do you own subject property?

Yes

Current zone of property:

residential

\* Complete detailed description of the type of business proposed

Rent Building for the purpose of weddings, parties, family gatherings, and events.

\* Hours of operation

9:00 a.m. to 10:00 p.m.

\* Expected number of clients per day

50 to 100, one to two days a week.

\* List of individuals who will be working in the business

Ernie Beacham and Shawndi Beacham

\* Storage of materials (tool, product, etc.), what &amp; where

N/A

**Required Items to be Submitted for In-House/Planning Commission Approval (Must be submitted separately to the Zoning Administrative Assistant):**

1. Approval letter from the owner of the property if you are renting or leasing.
2. Vicinity map of area with North indicated.
3. A site plan which includes actual dimensions of the property, the size and location of all existing buildings, and all driveways and areas for and number of parking spaces.

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1/2

**MEMORANDUM**

Structural Engineering  
Municipal Services  
Civil Engineering  
Land Surveying

**Date:** November 22, 2022

**To:** Earle Beacham  
628 Quirk Street  
Grantsville City, Utah 84029  
Transmitted Via Email: beacham.42@hotmail.com

**RE:** Beacham Dance Studio – Use Change  
Ensign Engineering Project No.: T1216H

The purpose of this memorandum is to review the existing building being used as a dance studio and the potential change of use to a reception center. This review is based on the design plans dated September 21, 2016 and that the building was design and constructed per the 2015 International Building Standards. The proposed change of use is based on the 2018 International Building Code.

**2015 IBC Dance Studio**

Occupancy Classification: A-3

Separated Uses: NA

Type of Construction: V-B

Importance Factors: Seismic: 1.0 Snow: 1.0 Wind: 1.0

Allowable Height: 40'-0"

Allowable Stories above Grade Plane: 1

Allowable Area: 6,000 sf

Plumbing Fixtures

Required

Men: 1 per 125 (1.2 Water Closets)

Women: 1 per 65 (2.27 Water Closets)

Lavatories: 1 per 200 (1 Men's, 1 Women's)

Drinking Fountains: 1 per 500 (1 Dual Ht. ADA)

Service Sink: 1

Actual Height: 25'-9"

Actual Stories: 1 w/ Mezzanine

Actual Area:

Main Floor: 5,260 sf

Mezzanine: 1,020 (620 sf is mechanical)

Occupant Load: 300 Total

Entry: 1,300 sf (1/100) 13 Occupants

Wood Dance Floor: 1,000 sf (1/50 gross) 20 Occupants

Viewing Area: 2,435 sf (1/7 Net) 261

Kitchen: 200 sf (1/200 gross) 1 Occupant

Restrooms: 145 sf NA

Storage: 180 sf (1/300 gross) 1 Occupant

Mezzanine: 4 Occupants

**SANDY**  
45 W 10000 S, STE 500  
Sandy, UT 84070  
P: 801.265.0529

**LAYTON**  
919 North 400 West  
Layton, UT 84041  
P: 801.547.1100

**CEDAR CITY**  
88 E Fiddler's Canyon Rd, STE 210  
Cedar City, UT 84721  
P: 435.865.1453

**TOOELE**  
169 N. Main St, Unit 1  
Tooele, UT 84074  
P: 435.843.3590

**RICHFIELD**  
225 N 100 E  
Richfield, UT 84701  
P: 435.896.2983

www.ensigneng.com

**GRANTSVILLE CITY CONDITIONAL USE PERMIT APPLICATION**

(Commercial Business)

DATE PAID \_\_\_\_\_  
HEARING DATE \_\_\_\_\_  
PERMIT # \_\_\_\_\_

Fee: \$250.00



**2018 IBC Reception Hall**

Occupancy Classification: A-3

Separated Uses: NA

Type of Construction: V-B

**Occupant Load: 296 Total**

Entry: 1,300 sf (1/150) 9 Occupants

Wood Dance Floor: 1,000 sf (1/50 gross) 20 Occupants

Viewing Area: 2,435 sf (1/7 Net) 261

Kitchen: 200 sf (1/200 gross) 1 Occupant

Restrooms: 145 sf NA

Storage: 180 sf (1/300 gross) 1 Occupant

Mezzanine: 4 Occupants

**Plumbing Fixtures Provided**

(2) Unisex ADA on the Main Floor with Lavatories

(1) Male on Mezzanine with Lavatory

(1) Female on Mezzanine with Lavatory

Based on our review of the code it does not appear that using the existing building as a reception hall will change the use. The occupant load only has a minor reduction based on code change to the office use occupancy. The client has stated he does not want to construct additional ADA restrooms and would like to limit the number of occupants based on the available restrooms. The plumbing code states one men's fixture per 125 occupants, and one female fixture per 65 occupants.

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- The client stated that the facility is equipped with a dual height ADA drinking fountain, as well as a janitors room with a mop sink, and exit lights at the exit doors.
- The client is applying for a maximum occupancy rating of 190 based off of the current number of plumbing fixtures and discussions with the building official.

If you have any questions concerning the information noted above, feel free to contact us at any time.



Cameron Duncan  
Project Manager

**To:** Grantsville Planning & Zoning/ City Council

**Re:** Willow Brook Venue (Quirk Street)

I am writing in opposition to the request for a change in zoning from Residential to Commercial.

This property has always been and should always be zoned residential. As a citizen of Grantsville City, I have always tried to obey the laws and do good by my neighbor. With all of the LOUD music, people screaming and yelling let alone the cars honking and the bright lights, and no room for parking. I can not enjoy my property, and I do not think that is right and/ or fair. I purchased my lot, built my home with the understanding that I would be able to enjoy my home and my backyard.

This structure was built knowing full well it was Residential, if they wanted something different then it should have been addressed BEFORE they built, building and then trying to push it through is not only wrong for the neighbors, but should be considered wrong by the Planning & Zoning who have made the ordinances. You as the Planning & Zoning/ City Council are the ones that we are relying on to hold people accountable for these ordinances.

I believe you have been sent video of 2 events that were held this summer, this should show you that there is no concern for the neighborhood or community as these were held illegally.

I would ask that you review the Grant Automotive issue and handle this the same way.

Thank you for your time & consideration,

To: Grantsville Planning and Zoning / City Council

Re: Willow Brook Venue

I am writing as a frustrated citizen. Once again, we have someone who has done what they wanted on their property, outside of zoning restrictions, and is now asking for forgiveness. We are seeing this happening a lot with event centers lately. This one is located on Quirk Street. It is an area where there is very heavy traffic and no parking. There is a new subdivision as well as a planned main road going through the area where people were parked for the events this last summer. These events were held even though they had not gone through the correct process with the city. They were very loud. You could hear people talking/yelling and loud music from blocks away. This is not in a commercial zone. It is located in a rural residential zone. I do not appreciate every night of the weekend being loud music and loud people in my backyard. When am I allowed to relax and enjoy my home? We have seen this same thing with the Allen Farms. No one is standing up to the "ask forgiveness later" mentality of the citizens of Grantsville.

I ask that you as the Planning and Zoning Commission and the City Council go back and look at how Grant Automotive was handled. He did the same thing and they shut it down. That is how it should be handled. The difference then was, two city council members that voted against it, lived in the area and did not want it in their neighborhood. If you guys took each situation and thought about how it would affect your life it was in your backyard. I am strictly saying, this is not a commercial zone and it should not be allowed to have a commercial event center operating in the middle of a residential zone. You zoned Main Street as the commercial area and it should stay that way. Make people follow your ordinances that YOU have put in place.

I as a citizen, even went and got my business license to sell on the internet. Hold people accountable for their actions. Everyone should be treated the same and should follow the ordinances and zoning maps. You are the ones held to the standard to make sure this happens.

I will also be sending videos that show the bright lights and sounds coming from two events this last summer. They were all held illegally, I believe without even having a business license to hold them. They have already opened a website to advertise and still do not have permission. This is not right.

I know they currently are operating a dance studio out of this building. I am not sure if they have a business license or have gone through the correct channels to have it approved. I will say, I am not happy with it but I have not had problems with the indoor events other than the bright lights for the parking areas they put out. The problem with this event center is the parking, the noise and the bright lights that affect the surrounding homes and animals that are located in a Rural Residential zone.

Once again, I ask you to review all the City Council minutes from the Grant Automotive issue. That is how it should be handled.

Thanks for your consideration.

## **AGENDA ITEM #2**

Consideration to recommend approval of  
Preliminary Plat for Hollywood Corner



## Planning and Zoning

336 W. Main Street • Grantsville, UT 84029

Phone: (435) 884-1674 • Fax: (435) 884-0426

CD-22-07.13

## Preliminary Plan Summary and Recommendation

Parcel ID:	01-074-0-0010	Meeting Date:	January 19, 2023
Property Address:	Not at this time	Current Zone/Proposed Zone	R-1-12

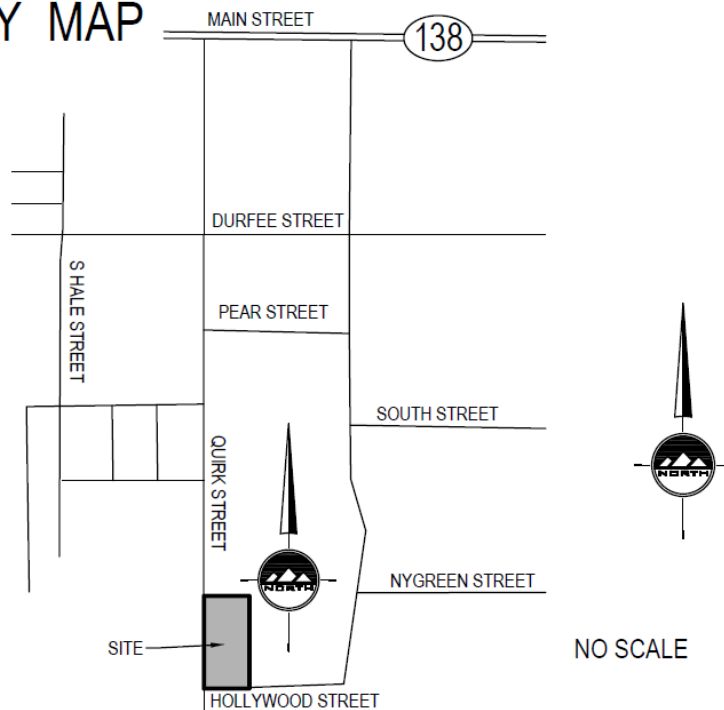
**Applicant Name:** The Coassolo Group  
**Request:** Consideration to recommend approval of Preliminary Plat for Hollywood Corner Subdivision  
**Prepared by:** Cavett Eaton  
**Planning Staff Recommendation:** Approval with recommendation from City Engineering

## PROJECT DESCRIPTION

Hollywood Corner Subdivision consisting of (30) ½ acre lots to be built at the corner of Quirk and Hollywood, zoned R-1-12.

## SITE & VICINITY DESCRIPTION

### VICINITY MAP






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## ISSUES OF CONCERN/PROPOSED MITIGATION

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Storm drain. Todd is working with Brett to address this with his Development Agreement and will have updated response.

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## NEIGHBORHOOD RESPONSE

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None at this time. Radius letters sent December 27, 2022.

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## PLANNING COMMISSION RESPONSE

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In the previous Planning Commission Meeting – Discussions were held regarding:

- 1) Streets Nygreen and Hollywood – Todd will be covering  $\frac{1}{2}$  (or more) of the cost of these streets on Hollywood Frontage. Todd is providing a 54' of right-of-way and may be giving more. Has given the City 10' for a walking trail.
- 2) The Development Agreement will cover the above issues.
- 3) Rocky Mountain Power is burying the power on the south frontage.
- 4) Handling of water retention for this property needs to be settled. Storm water is being collected and it is going to the neighbor's property. Something has to be put in writing to create a regional retention basin for this water drainage and a legal commitment that shows how this is going to be handled with Todd and the neighbor property owner.
- 5) Open space is either a fee in lieu of or combine to include the regional retention basin.

- 6) Parking and Access on Quirk was discussed. No access (driveways) on Quirk to any homes. Addresses for lots 102 and 103 need re-addressed to go on to Hollywood.

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### **PLANNING STAFF RECOMMENDATION**

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Planning Staff recommends approval of the Preliminary Plan for Hollywood Corner Subdivision with stipulations that the Water Retention issues continue to be discussed and worked out in the Development Agreement as well as right-of-way concessions. Issues with Lot Addressing to be changed by Developer ASAP.

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811

Know what's below.  
Call before you dig.

CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

BENCHMARK

NORTH QUARTER CORNER OF SECTION 7,  
TOWNSHIP 3 SOUTH, RANGE 5 WEST  
SALT LAKE BASE AND MERIDIAN  
(2.5" BRASS TOOELE COUNTY SURVEY  
MONUMENT ON 4" PIPE, DATED 1986)  
ELEV = 4599.95' (USED ELEVATION)  
4414.85' (TRUE ELEVATION)

# HOLLYWOOD CORNER SUBDIVISION

## HOLLYWOOD AND QUIRK STREET GRANTSVILLE CITY, UTAH

FOR REVIEW  
NOT FOR CONSTRUCTION

DATE PRINTED  
November 16, 2022

### INDEX OF DRAWINGS

1 OF 1	PLAT		
C-001	GENERAL NOTES	PP-4	RUTH COURT PLAN AND PROFILE
C-002	PRE-CONSTRUCTION GENERAL NOTES	PP-5	FROSTY LANE PLAN AND PROFILE
C-100	DEMOLITION PLAN	PP-6	GEORGE COURT PLAN AND PROFILE
C-200	SITE PLAN	PP-7	HOLLYWOOD STREET PLAN AND PROFILE
C-201	SITE PLAN STRIPPING PLAN	PP-8	HOLLYWOOD STREET PLAN AND PROFILE
C-300	GRADING AND DRAINAGE PLAN	PP-9	CHESTNUT PLAN AND PROFILE
C-301	DRAINAGE CALCULATIONS	PP-10	CHESTNUT PLAN AND PROFILE
C-400	UTILITY PLAN	PP-11	CHESTNUT PLAN AND PROFILE
C-500	EROSION CONTROL PLAN	PP-12	SANITARY SEWER PLAN AND PROFILE
PP-0	PLAN AND PROFILE KEY MAP	PP-13	STORM DRAIN PLAN AND PROFILE
PP-1	QUIRK STREET PLAN AND PROFILE	D-600	DETAILS
PP-2	QUIRK STREET PLAN AND PROFILE	D-601	DETAILS
PP-3	QUIRK STREET PLAN AND PROFILE	D-602	DETAILS

#### NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

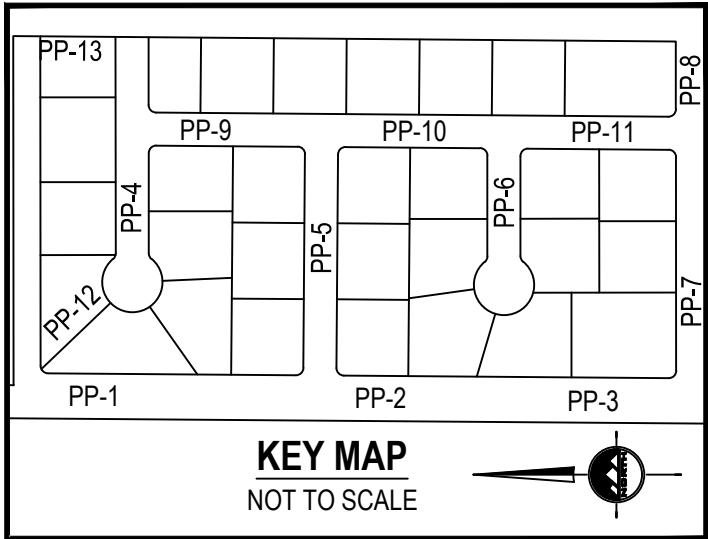
#### NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

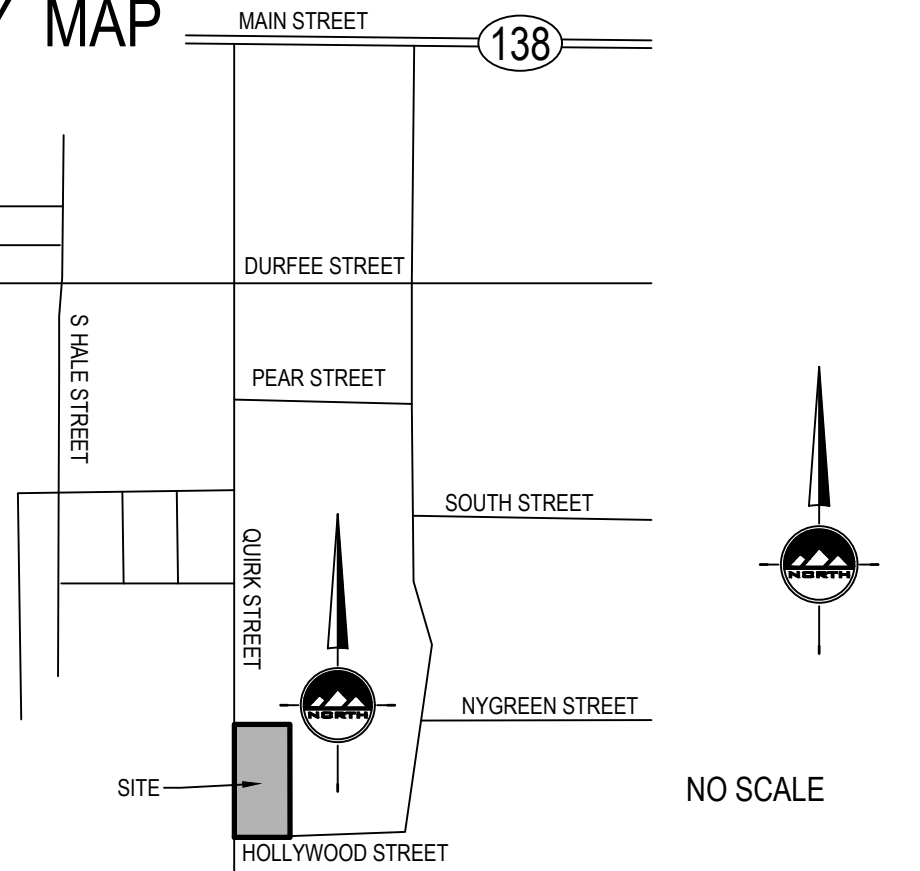
#### UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND I OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

### KEY MAP



### VICINITY MAP



### GENERAL NOTES

- ALL WORK SHALL CONFORM TO GRANTSVILLE CITY STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
- NORTH QUARTER CORNER OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 5 WEST SALT LAKE BASE AND MERIDIAN (2.5" BRASS TOOELE COUNTY SURVEY MONUMENT ON 4" PIPE, DATED 1986)  
ELEV = 4599.95' (USED ELEVATION)  
4414.85' (TRUE ELEVATION)

NOTES:

- APPROVED BY CITY COUNCIL ON: \_\_\_\_\_

- PRE-CONSTRUCTION MEETING DATE: \_\_\_\_\_

APPROVED FOR CONSTRUCTION ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

GRANTSVILLE CITY PUBLIC WORKS DIRECTOR

APPROVED BY CITY ENGINEER: GRANTSVILLE CITY, UTAH  
FOR PUBLIC IMPROVEMENTS ONLY (SHEETS \_\_\_\_\_)

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL OF THESE PLANS DOES NOT RELEASE THE DEVELOPER FROM RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION THE PUBLIC INTEREST REQUIRES A MODIFICATION OR A DEPARTURE FROM THE CITY SPECIFICATIONS, OR THE APPROVED PLANS, THE CITY SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION OR A DEPARTURE, AND TO SPECIFY THE MANNER WHICH THE SAME IS MADE.

HOLLYWOOD CORNER SUBDIVISION  
PRELIMINARY DESIGN  
HOLLYWOOD STREET AND QUIRK STREET  
GRANTSVILLE CITY, UTAH

For Review  
11/21/2022 4:05:52 PM

COVER

PROJECT NUMBER  
T1216G  
DRAWN BY  
C. CHILD  
PROJECT MANAGER  
C. CHILD  
PRINT DATE  
2022-10-12  
CHECKED BY  
J. CLEGG

C-000

WWW.ENSIGNENG.COM

FOR:  
THE COASSOLO GROUP, LLC  
PO BOX 190  
GRANTSVILLE CITY, UTAH 84029  
CONTACT:  
TODD CASTAGNO  
PHONE: 435-849-1485

#### TOOELE

169 N. Main Street, Unit 1  
Tooele, UT. 84074  
Phone: 435.843.3590

#### SALT LAKE CITY

Phone: 801.255.0529

#### LAYTON

Phone: 801.547.1100

#### CEDAR CITY

Phone: 435.866.1453

#### RICHFIELD

Phone: 435.896.2983

ENSIGN  
THE STANDARD IN ENGINEERING



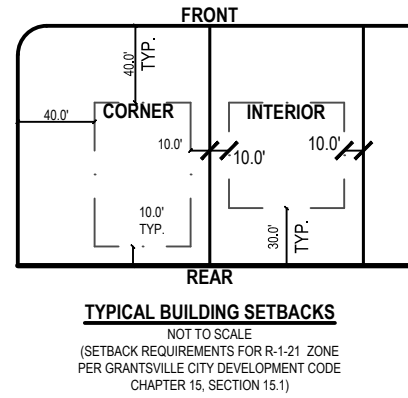
CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	15.00'	23.42'	89°28'33"	N45°12'53"E	21.12'
C2	15.00'	23.69'	90°29'02"	S44°48'20"E	21.30'
C3	15.00'	23.70'	90°31'27"	N44°47'07"W	21.31'
C4	15.00'	13.14'	50°12'29"	S64°50'55"W	12.73'
C5	60.00'	67.95'	64°53'08"	S72°11'14"W	64.37'
C6	60.00'	75.88'	72°27'36"	N39°08'24"W	70.92'
C7	60.00'	20.39'	19°28'16"	N6°49'32"E	20.29'
C8	60.00'	68.57'	65°28'51"	N49°18'06"E	64.90'
C9	60.00'	60.86'	58°07'07"	S68°53'55"E	58.29'
C10 (TOTAL)	60.00'	293.65'	280°24'59"	N0°02'51"W	76.80'
C11	15.00'	13.14'	50°12'29"	S64°50'36"E	12.73'
C12	15.00'	23.42'	89°28'33"	N45°12'53"E	21.12'
C13	15.00'	23.57'	90°02'26"	N44°32'36"W	21.22'
C14	15.00'	23.56'	90°00'00"	S45°26'11"W	21.21'
C15	15.00'	23.56'	90°00'00"	S44°33'49"E	21.21'
C16	15.00'	23.55'	89°57'34"	N45°27'24"E	21.21'
C17	15.00'	23.70'	90°32'26"	N44°47'37"W	21.31'
C18	15.00'	13.14'	50°12'29"	S64°49'56"W	12.73'
C19	60.00'	50.04'	47°46'50"	S63°37'06"W	48.60'
C20	60.00'	59.97'	57°16'16"	N63°51'21"W	57.51'
C21	60.00'	65.00'	62°04'08"	N41°11'09"W	61.87'
C22	60.00'	20.33'	19°25'00"	N36°33'25"E	20.24'
C23	60.00'	98.31'	93°52'45"	S86°47'42"E	87.68'
C23 (TOTAL)	15.00'	16.52'	63°06'22"	S31°59'22"W	15.70'
C24	15.00'	6.91'	26°23'37"	S76°44'22"W	6.85'
C24 (TOTAL)	60.00'	293.65'	280°24'59"	N0°03'50"W	76.80'
C25	15.00'	9.69'	37°01'31"	S58°22'05"E	9.53'
C26	15.00'	3.45'	13°10'59"	S83°28'20"E	3.44'
C27	15.00'	23.42'	89°27'34"	S45°12'23"W	21.11'
C28	15.00'	23.70'	90°31'27"	S44°47'07"E	21.31'

## HOLLYWOOD CORNER SUBDIVISION PRELIMINARY PLAT

LOCATED IN THE NORTHEAST QUARTER OF SECTION 7,  
TOWNSHIP 3 SOUTH, RANGE 5 WEST, SALT LAKE BASE AND MERIDIAN  
GRANTSVILLE, TOOELE COUNTY, UTAH

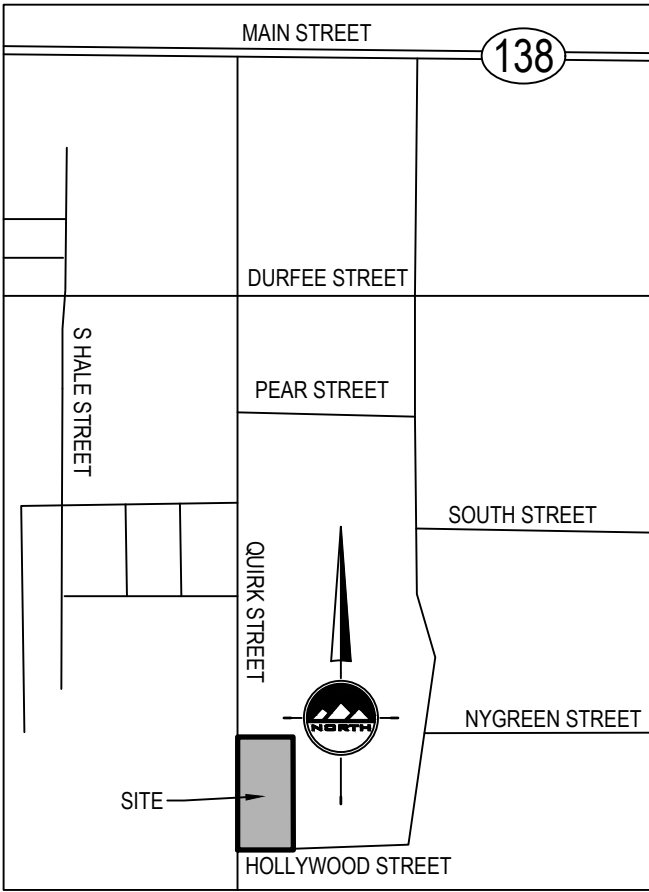
### KEYNOTES:

1. INSTALL STREET MONUMENT PER GRANTSVILLE CITY STANDARDS AND SPECIFICATIONS.
2. 20' STORM DRAIN EASEMENT HEREBY DEDICATED TO GRANTSVILLE CITY TO ALLOW CITY ACCESS AND TO BE MAINTAINED BY PROPERTY OWNER TO GRANTSVILLE CITY DRAINAGE BASIN STANDARDS.
3. 20' SANITARY SEWER & AND TRAIL ACCESS EASEMENT HEREBY DEDICATED TO GRANTSVILLE.
4. 20' TRAIL ACCESS EASEMENT HEREBY DEDICATED TO GRANTSVILLE.

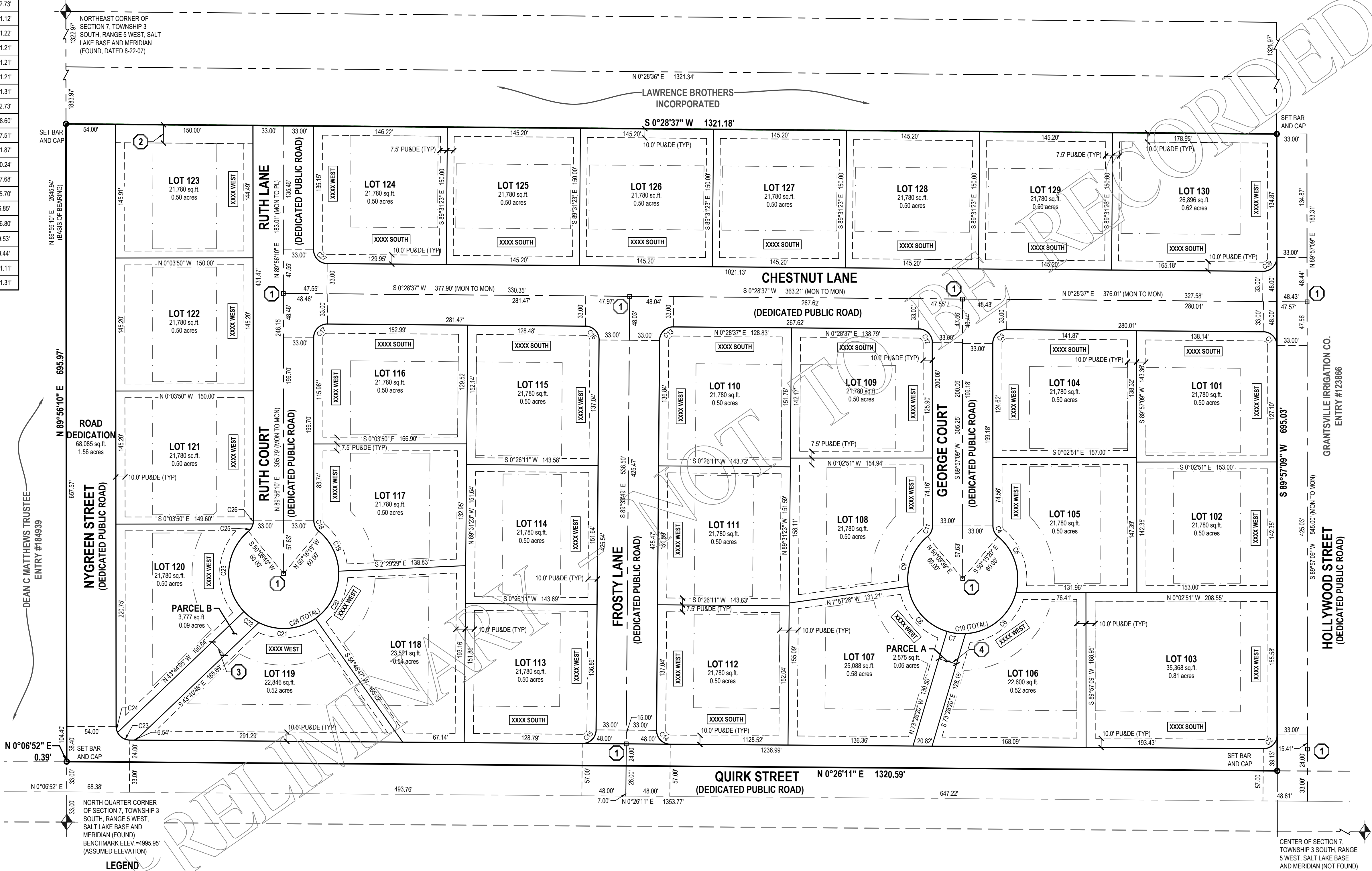


### NOTES

1. ALL PUBLIC STREETS ARE HEREBY DEDICATED TO GRANTSVILLE CITY AS RIGHT-OF-WAY ("R.O.W.") FOR PUBLIC USE.
2. NO DRIVEWAYS SHALL BE CONSTRUCTED SO AS TO SLOPE TOWARD ANY STRUCTURES WITHOUT WRITTEN PERMISSION FROM GRANTSVILLE CITY ENGINEER.
3. 5/8" X 24" REBAR AND CAP TO BE SET AT ALL LOT CORNERS UNLESS OTHERWISE INDICATED.
4. INDIVIDUAL LOT OWNERS ARE REQUIRED TO GRADE LOTS TO PREVENT DRAINAGE ONTO NEIGHBORING PROPERTIES.
5. NO DRIVEWAYS SHALL BE CONSTRUCTED AS TO ACCESS QUIRK OR FUTURE NYGREEN STREET.
6. NO SECONDARY ACCESS FROM NYGREEN STREET AND QUIRK STREETS FOR LOTS 103, 106, 107, 112, 113, 118, 119, 120, 121, 122, AND 123.



VICINITY MAP  
NOT TO SCALE



### SURVEYOR'S CERTIFICATE

I, Douglas J. Kinsman, do hereby certify that I am a Professional Land Surveyor, and that I hold License No. 334575, in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Act. I further certify that by authority of the owners I have completed a survey of the property described on this SUBDIVISION plat in accordance with Section 17-23-17, have verified all measurements, and have subdivided said tract of land into lots and streets, together with easements, hereafter to be known as

## HOLLYWOOD CORNER SUBDIVISION

and that the same has been correctly surveyed and monumented on the ground as shown on this plat.

### BOUNDARY DESCRIPTION

A parcel of land, situate in the Northeast Quarter of Section 7, Township 3 South, Range 5 West, Salt Lake Base and Meridian, said parcel also located in Grantsville, Tooele County, Utah, more particularly described as follows:

Beginning at a point which is located North 89°56'10" East 761.97 feet along the Section Line, and South 0°28'37" West 1321.18 feet from the North Quarter Corner of Section 7, Township 3 South, Range 5 West, Salt Lake Base and Meridian, and running:

thence South 89°57'09" West 695.03 feet to the East line of Quirk Street;  
thence North 0°26'11" East 1320.59 feet along the said East line of Quirk Street;  
thence North 0°06'52" East 0.39 feet along the said East line of Quirk Street;  
thence South 0°28'37" West 1321.18 feet to the Point of Beginning.

Parcel contains: 918,775 square feet, or 21.09 acres.

Date  
Douglas J. Kinsman  
License no. 334575

### OWNER'S DEDICATION

Know all men by these present that the undersigned are the owner(s) of the hereon described tract of land and hereby cause the same to be divided into lots and streets together with easements as set forth hereafter to be known as:

## HOLLYWOOD CORNER SUBDIVISION

The undersigned owner(s) hereby dedicate to Grantsville City all those parts or portions of said tract of land on said plat designated hereon as streets, the same to be used as public thoroughfares forever. The undersigned owner(s) also hereby convey to Grantsville City and to any and all public utility companies providing service to the hereon described tract a perpetual, non-exclusive easement over the public utility and drainage easements shown on this plat, the same to be used for sewer, water lines, appearances, fire facilities, drainage facilities and the installation, maintenance and operation of public utility service lines and facilities. The undersigned owners also hereby convey any other easements as shown and/or noted on this plat to the parties indicated and for the purposes shown hereon.

In witness whereof I / we have hereunto set my / our hand this \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_.

By: The Coassolo Group, LLC  
Todd Castagno, Managing Member

### LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH  
County of Tooele

J.S.S.

On the \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_,  
personally appeared before me, the undersigned Notary Public, in and for said County of \_\_\_\_\_ in  
the State of Utah, who after being duly sworn, acknowledged to me that He/She is the  
of \_\_\_\_\_  
Limited Liability Company and that He/She signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited  
Liability Company for the purposes therein mentioned and acknowledged to me that said Corporation executed the same.

MY COMMISSION EXPIRES: \_\_\_\_\_

\_\_\_\_\_  
NOTARY PUBLIC

## HOLLYWOOD CORNER SUBDIVISION PRELIMINARY PLAT

LOCATED IN THE NORTHEAST QUARTER OF SECTION 7,  
TOWNSHIP 3 SOUTH, RANGE 5 WEST, SALT LAKE BASE AND MERIDIAN  
GRANTSVILLE, TOOELE COUNTY, UTAH

### TOOELE COUNTY RECORDER

RECORDED # \_\_\_\_\_

STATE OF UTAH, COUNTY OF TOOELE, RECORDED AND FILED AT THE

REQUEST OF: \_\_\_\_\_

DATE: \_\_\_\_\_ TIME: \_\_\_\_\_

FEES: \_\_\_\_\_

TOOELE COUNTY RECORDER

### CITY FIRE DEPARTMENT APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE GRANTSVILLE CITY FIRE DEPT.

GRANTSVILLE CITY FIRE CHIEF

### GRANTSVILLE CITY PUBLIC WORKS APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE GRANTSVILLE CITY PUBLIC WORKS.

GRANTSVILLE CITY PUBLIC WORKS DIRECTOR

### PLANNING COMMISSION APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE GRANTSVILLE CITY PLANNING COMMISSION.

CHAIR, GRANTSVILLE CITY PLANNING COMMISSION

### TOOELE COUNTY SURVEY DEPARTMENT

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE TOOELE COUNTY SURVEY DEPARTMENT.

RECORD OF SURVEY FILE #XXXX-XXXX

TOOELE COUNTY SURVEY DEPT. DIRECTOR

### ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT  
AND IT IS IN ACCORDANCE WITH INFORMATION ON FILE IN  
THIS OFFICE.

GRANTSVILLE CITY ENGINEER

DATE

### TOOELE COUNTY TREASURER

I HEREBY CERTIFY THAT PROPERTY TAXES DUE AND OWNING HAVE BEEN  
PAID IN FULL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
FOR PARCEL NO. \_\_\_\_\_

TOOELE COUNTY TREASURER

### CITY MAYOR APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE GRANTSVILLE CITY MAYOR

GRANTSVILLE CITY MAYOR

ATTEST: GRANTSVILLE CITY RECORDER

### CITY ATTORNEY'S APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE GRANTSVILLE CITY ATTORNEY

GRANTSVILLE CITY ATTORNEY

### SHEET 1 OF 1

PROJECT NUMBER: T1216G

MANAGER: C. CHILD

DRAWN BY: C. CHILD

CHECKED BY: D. KINSMAN

DATE: 11/16/22

### DEVELOPER

THE COASSOLO GROUP, LLC

PO BOX 190

GRANTSVILLE, UTAH, 84029

TODD CASTAGNO

435-849-1485

### ENSIGN

150 North Main Street Unit 1

Tooele, Utah 84074

Phone: 435.843.3590

Fax: 435.578.0108

WWW.ENSIGNENG.COM

### TOOELE

150 North Main Street Unit 1

Tooele, Utah 84074

Phone: 435.843.3590

Fax: 435.578.0108

RICHLIF

Phone: 435.843.3590



GRANTSVILLE GENERAL NOTES

- ALL WORK DONE OR IMPROVEMENTS INSTALLED WITHIN GRANTSVILLE CITY INCLUDING BUT NOT LIMITED TO EXCAVATION, CONSTRUCTION, ROADWORK AND UTILITIES SHALL CONFORM TO THE GRANTSVILLE CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS, CITY MUNICIPAL CODE, THE LATEST EDITION OF THE APWA MANUAL OF STANDARD SPECIFICATIONS AND MANUAL OF STANDARD PLANS, THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY STATE OR FEDERAL REGULATIONS AND PERMIT REQUIREMENTS OF VARIOUS GOVERNING BODIES. THE CONTRACTOR IS RESPONSIBLE TO HAVE A COPY OF THESE SPECIFICATIONS AND TO KNOW AND CONFORM TO THE APPROPRIATE CODES, REGULATIONS, DRAWINGS, STANDARDS AND SPECIFICATIONS.
- THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR THE PROTECTION OF UTILITIES AND THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN ON THE PLANS OR NOT IN THE LOCATION SHOWN ON THE PLANS. THIS INCLUDES ALL SERVICE LATERALS OF ANY KIND. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCES, WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE OF THE SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES, SURVEY MONUMENTS AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CITY ENGINEER AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
- ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER AND PUBLIC WORKS DIRECTOR.
- PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
- CURB, GUTTER, AND SIDEWALK, FOUND TO BE UNACCEPTABLE PER CITY STANDARDS AND APWA SHALL BE REMOVED AND REPLACED.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE AS SHOWN ON PLANS.
- ANY SURVEY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER TOOELE COUNTY SURVEYORS REQUIREMENTS.
- ALL PRIVACY WALLS, NEW OR EXISTING, ARE ONLY SHOWN ON CIVIL PLANS FOR THE PURPOSE OF REVIEWING GRADING RELATIONSHIPS, FLOOD CONTROL AND SIGHT DISTANCE AT INTERSECTIONS. ALL WALLS SHALL HAVE A MINIMUM 2 FT X 2 FT X 30 INCH DEEP STOP FOOTINGS. BOTTOM OF ALL FOOTINGS ON ALL WALLS SHALL BE A MINIMUM OF 30 INCHES BELOW FINISHED GRADE. WALLS GREATER THAN 6 FEET REQUIRE A SEPARATE PERMIT AND INSPECTION BY THE BUILDING DEPARTMENT.
- ALL CONSTRUCTION MATERIALS PER APWA MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN CITY RIGHT OF WAY. GRANTSVILLE PUBLIC WORKS WILL APPROVE PIPE ZONE MATERIAL TO BE PLACED.
- REQUEST FOR INSPECTION BY THE GRANTSVILLE CITY ENGINEERING DEPT. SHALL BE MADE BY THE CONTRACTOR AT LEAST 48 HOURS BEFORE THE INSPECTION SERVICES WILL BE REQUIRED.
- WORK IN PUBLIC WAY, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC. PLEASE SEE CODE 17 GENERAL PROVISIONS FOR MORE DETAILS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION.
- POWER POLES AND/OR OTHER EXISTING FACILITIES NOT IN PROPER LOCATION BASED ON PROPOSED IMPROVEMENTS SHOWN HEREON WILL BE RELOCATED AT NO EXPENSE TO THE GRANTSVILLE CITY. POWER LINES AND ALL OTHER AERIAL UTILITIES ARE TO BE BURIED AND POLES REMOVED AS DETERMINED BY THE CITY ENGINEER.
- CURB AND GUTTER WITH A GRADE OF LESS THAN FOUR-TENTHS OF ONE PERCENT SHALL BE CONSTRUCTED BY FORMING. EACH JOINT SHALL BE CHECKED FOR A GRADE PRIOR TO CONSTRUCTION AND WATER TESTED AS SOON AS POSSIBLE AFTER CONSTRUCTION.
- CONTRACTOR TO FOLLOW GRANTSVILLE CITY NOISE ORDINANCE STANDARDS CODE ORDINANCE 2018-19
- CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES AS PER STATE LAW AS WELL AS PROVIDING A STORM WATER POLLUTION PREVENTION PLAN TO THE CITY.
- ALL CITY MAINTAINED UTILITIES INCLUDING: WATERLINE, FIRE HYDRANTS, STREETLIGHT WIRING, AND STORM DRAIN MUST BE IN PUBLIC RIGHT OF WAY OR IN RECORDED EASEMENTS.
- CONTRACTOR SHALL WORK GRANTSVILLE CITY REGULAR WORKING HOURS OF MONDAY THROUGH FRIDAY 7:00 AM TO 4:00 PM
- PRIOR TO 90% BOND RELEASE, A LEGIBLE AS-BUILT DRAWING MUST BE SUBMITTED TO THE GRANTSVILLE CITY STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER. AS-BUILTS MUST SHOW ALL CHANGES AND ACTUAL FIELD LOCATIONS OF STORM DRAINAGE, WATERLINES, IRRIGATION, STREET LIGHTING, AND POWER. AS-BUILTS WILL BE HELD TO THE SAME STANDARD AS APPROVED DESIGN DRAWINGS. NO "REDLINED PLANS" ALLOWED. IN THE ABSENCE OF CHANGES, COPIES OF THE APPROVED DRAWINGS WILL BE REQUIRED STATING "INSTALLED AS PER DRAWINGS". AS-BUILT DRAWINGS FOR NEW DEVELOPMENTS SHALL BE SUBMITTED TO THE CITY IN THE FOLLOWING FORMATS AND QUANTITIES PRIOR TO THE 90% BOND RELEASE: 1 DXF COPY, 1 PDF COPY, AND 1 GIS SHAPE FILE CONTAINING THE SAME.
- FILTER FABRIC WRAPPED AROUND AN INLET GRATE IS NOT AN ACCEPTABLE INLET SEDIMENT BARRIER. SEE GRANTSVILLE CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR DETAILS OF APPROVED STORM WATER BMPs WHICH SPECIFICALLY STATES THE UTILIZATION OF AN OIL WATER SNOUT SEPARATOR.
- ASPHALT PAVING IS NOT ALLOWED WITHOUT A WRITTEN EXCEPTION FROM THE ENGINEERING DEPARTMENT AND PUBLIC WORKS DEPARTMENT BELOW AN AMBIENT TEMPERATURE OF 50 DEGREES AND RISING.
- TO ENSURE PROPER PLANTING, PROTECTION AND IRRIGATION OF TREES, MITIGATING RISK OF TREE FAILURE OR FUTURE DAMAGE TO INFRASTRUCTURE, CONTRACTORS ARE REQUIRED TO FOLLOW THE STANDARDS AND SPECIFICATIONS OF THE ISA - INTERNATIONAL SOCIETY OF ARBORCULTURE.
- WHEN A PROPOSED DEVELOPMENT BORDERS A COLLECTOR, MINOR COLLECTOR OR ARTERIAL STREET AND IS REQUIRED TO CONSTRUCT COLLECTOR STREET FENCING ALONG THE BACK OF SIDEWALK, THE DEVELOPMENT SHALL ALSO BE REQUIRED PUT IN A CONCRETE MOW STRIP FROM THE BACK OF SIDEWALK TO UNDERNEATH THE FENCE PANELS. CONCRETE MOW STRIPS SHALL ALSO BE REQUIRED BETWEEN THE SIDEWALK AND FENCING ALONG THE REAR OF DOUBLE FRONTAGE LOTS.
- CONCRETE FOR ALL SURFACE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO: SIDEWALK, DRIVEWAY ENTRANCES, PEDESTRIAN RAMPS, CURB AND GUTTER, WATER WAYS, MANHOLE, VAULT AND VAULT COLLARS, AND ANY OTHER CAST IN PLACE SURFACE CONCRETE FEATURES SHALL BE CONSTRUCTED WITH MINIMUM 4,500 PSI CONCRETE.
- CULINARY WATER AND SEWER SERVICE LATERALS SHALL BE MARKED ON THE TOP BACK OF CURB AND LIP OF CURB AT THEIR ACTUAL LOCATION OF CROSSING THE CURB AND GUTTER. PINS OR STAMPS SHALL BE USED AND MUST BE INSTALLED WHILE THE CONCRETE IS STILL WET AND WILL READILY ACCEPT THE MARKER. GRINDING MARKING DUE TO DRY CEMENT IS NOT ALLOWED.

GRANTSVILLE CITY GRADING NOTES

- IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER AND CITY ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
- CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL GRADE THE PAVEMENT AREA SUBGRADE TO THE LINES (HORIZONTAL) AND ELEVATIONS (VERTICAL) SHOWN ON THE PLANS WITHIN A TOLERANCE OF 0.1" + TO 0.1" -.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GRANTSVILLE CITY ENGINEERING AND UTILITIES DEPARTMENT.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE DEVELOPER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE CITY ENGINEER. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.
- ALL GRADING WORK SHALL CONFORM TO THE SOILS REPORT AS PREPARED BY THE SOILS ENGINEER AND APPROVED BY THE CITY ENGINEER, AND AS SHOWN ON THESE PLANS.
- ALL QUALITY CONTROL TESTING SHALL BE PERFORMED BY AN INDEPENDENT LICENSED AND CERTIFIED THIRD-PARTY TESTING SERVICE.

GRANTSVILLE CITY TRAFFIC NOTES

- WHEN A DESIGNATED "SAFE ROUTE TO SCHOOL" IS ENCRoeACHED UPON BY A CONSTRUCTION WORK ZONE THE SAFE ROUTE SHALL BE MAINTAINED IN A MANNER ACCEPTABLE TO GRANTSVILLE CITY.
- IF THE IMPROVEMENTS NECESSITATE THE OBLITERATION, TEMPORARY OBSTRUCTION, TEMPORARY REMOVAL OR RELOCATION OF ANY EXISTING TRAFFIC PAVEMENT MARKING, SUCH PAVEMENT MARKING SHALL BE RESTORED OR REPLACED WITH LIKE MATERIALS TO THE SATISFACTION OF THE CITY ENGINEER, PUBLIC WORKS DIRECTOR OR DESIGNEE.
- THE STREET SIGN CONTRACTOR SHALL OBTAIN STREET NAMES AND BLOCK NUMBERING FROM THE PLANNING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL PERMANENT SIGNS SHOWN ON THE PLANS. STREET NAME SIGNS SHALL CONFORM IN THEIR ENTIRETY TO CURRENT CITY STANDARDS AND THE LATEST MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) MANUAL. ALL OTHER SIGNS SHALL BE STANDARD SIZE UNLESS OTHERWISE SPECIFIED ON THE PLANS. ALL SIGN POSTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT CITY STANDARDS AND THE LATEST MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) MANUAL.
- ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAYING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR PER APPROVED CONSTRUCTION DRAWINGS UNLESS APPROVED BY THE CITY ENGINEER & PUBLIC WORKS DIRECTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF APPLICABLE, IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.
- BEFORE ANY WORK IS STARTED IN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL INSTALL ALL ADVANCE WARNING SIGNS FOR THE CONSTRUCTION ZONE. THE CONTRACTOR SHALL INSTALL TEMPORARY STOP SIGNS AT ALL NEW STREET ENCROACHMENTS INTO EXISTING PUBLIC STREETS. ALL CONSTRUCTION SIGNING, BARRICAADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PER THE CURRENT EDITION ADOPTED BY UDOT AND BE APPROVED BY THE GRANTSVILLE CITY BEFORE CONSTRUCTION BEGINS. TRAFFIC CONTROL PLANS SHALL BE SUBMITTED AS PART OF THE ENGINEERING CONSTRUCTION PACKAGE AND APPROVED BY THE GRANTSVILLE CITY ENGINEER AND PUBLIC WORKS DIRECTOR.
- ALL SIGNS LARGER THAN 36" X 36" OR 1296 SQUARE INCHES PER SIGN POLE SHALL BE MOUNTED ON A SLIP BASE SYSTEM PER UDOT STANDARD DRAWING SN 108 (DETAIL DRAWING ATTACHED TO STANDARD DRAWINGS) WITH A 2" BAR BACKING. SIGNS OF THIS SIZE ARE NOT ALLOWED TO BE MOUNTED ON A YIELDING POLE.
- SIGN COMPONENTS SUCH AS SHEETING, EC FILM, INKS, LETTERS AND BORDERS ARE ALL REQUIRED TO BE FROM THE SAME MANUFACTURER. ONLY EC FILM MAY BE USED TO ACHIEVE COLOR. VINYL EC FILM IS NOT ACCEPTED.
- ALL NEW ROUNDABOUTS, CROSSWALKS, STOP BARS AND LEGENDS SHALL BE INSTALLED WITH PAINT AND GLASS BEAD.
- PAVING ASPHALT BINDER GRADE SHALL BE PG 58-28 UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. ASPHALT AGGREGATE SIZE SHALL BE 3/4 INCH FOR RESIDENTIAL AND COLLECTOR ROADS. NO MORE THAN 15% RAP (RECLAIMED ASPHALT PAVEMENT) BY WEIGHT WILL BE ALLOWED IN THE ASPHALT MIX DESIGN FOR THE PAVING OF PUBLIC AND PRIVATE STREETS. UP TO THE 15 PERCENT WILL BE ALLOWED WITH NO CHANGE IN THE SPECIFIC BINDER GRADE. THE ASPHALT MIX DESIGN SHALL HAVE NO MORE THAN 3% AIR VOIDS.
- POTHOLES: ALL POTHOLES MUST BE SAW CUT SQUARE AND HAVE A MINIMUM SIZE OF 1 SQUARE FOOT. WHEN REPAIRING A POTHOLE, SAND OR PEA GRAVEL MEETING GRANTSVILLE CITY STANDARDS SHALL BE PLACED OVER THE EXPOSED UTILITY TO A DEPTH OF 6 INCHES. FOLLOWING THE PEA GRAVEL WILL BE FLOWABLE FILL UP TO 1 INCH BELOW THE BOTTOM EDGE OF THE EXISTING ASPHALT. THE REMAINING PORTION OF THE HOLE SHALL BE FILLED WITH ASPHALT, WHICH WILL HAVE AN OVERALL THICKNESS OF THE EXISTING ASPHALT PLUS 1 INCH.
- ALL FILL WITHIN THE PUBLIC RIGHT OF WAY SHALL BE A-1-A TO A-3, WITH THE EXCEPTION OF TOP SOIL IN THE PARK STRIP FOR LANDSCAPING AND TRENCH BACKFILL. MATERIAL UNDER PAVEMENTS OR UNDER BACKFILL MATERIALS SHALL BE CLEAN, NONCLUMPING, GRANULAR AND FLOWABLE. 2" MINUS, A-1-A TO A-2-7 SOILS ACCORDING TO AASHTO 145 SOIL CLASSIFICATION SYSTEM. LIME TREATED FLOWABLE FILLS, IF APPROVED, SHALL HAVE A 28-DAY STRENGTH OF 65 PSI. 16" ALL TRAFFIC ROAD CLOSURES INVOLVING 1 OR MORE LANES OF TRAFFIC MUST RECEIVE PRIOR APPROVAL FROM THE CITY ENGINEER, PUBLIC WORKS DIRECTOR OR HIS/HER REPRESENTATIVE. VMS POMS BOARDS MUST BE PLACED A MINIMUM OF 7 DAYS IN ADVANCE OF ANY LANE CLOSURE ON COLLECTOR, MINOR COLLECTOR OR ARTERIAL STREET. VMS POMS BOARDS MUST ALSO BE PLACED IN ADVANCE OF ANY LANE CLOSURES ON A SUBDIVISION STREET PER THE CITY ENGINEERS DIRECTION.
- ROUNDABOUTS, INCLUDING THEIR INGRESS AND EGRESS, SHALL BE CONSTRUCTED WITH CONCRETE PAVEMENT. ENGINEER SHALL DESIGN CROSS SECTION AND SUBMIT TO THE CITY FOR REVIEW AND APPROVAL.

GRANTSVILLE CITY WATER NOTES

- THE FOLLOWING GRANTSVILLE CITY WATER NOTES ARE INTENDED FOR GENERAL WATER STANDARDS ONLY AND ARE NOT ALL INCLUSIVE. THE CITY HAS INCLUDED THE CULINARY WATER DESIGN AND CONSTRUCTION STANDARDS WITHIN THE CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- NO WORK SHALL BEGIN UNTIL THE WATER PLANS HAVE BEEN RELEASED FOR CONSTRUCTION BY THE ENGINEERING DEPARTMENT. FOLLOWING WATER PLAN APPROVAL, FORTY- EIGHT (48) HOUR NOTICE SHALL BE GIVEN TO THE ENGINEERING DEPARTMENT AND THE PUBLIC WORKS DEPARTMENT PRIOR TO THE START OF CONSTRUCTION. NOTICE MUST BE GIVEN BY 2:00 P.M. THE BUSINESS DAY PRIOR TO AN INSPECTION.
- ALL WORK WITHIN GRANTSVILLE CITY SHALL CONFORM TO GRANTSVILLE CITY STANDARDS AND SPECIFICATIONS, AWWA AND APWA.
- FOR RESIDENTIAL DEVELOPMENTS - THE DEVELOPER SHALL PURCHASE AND INSTALL METER BOXES AND SETTERS ACCORDING TO CITY STANDARDS ON NEWLY DEVELOPED LOTS AND REAL PROPERTY AT THE TIME OF WATER MAIN INSTALLATION. WATER METERS WILL BE SUPPLIED AND INSTALLED BY THE GRANTSVILLE UTILITIES DEPARTMENT (AT DEVELOPER'S EXPENSE). THE DEVELOPER SHALL ALSO PROVIDE THE SITE ADDRESS, LOT NUMBER, METER SIZE AND PAY METER FEES PRIOR TO BUILDING PERMIT APPROVAL. THE DEVELOPER SHOULD ALSO PAY FOR RENTAL OF A HYDRANT METER, AND/OR USE THE GRANTSVILLE CITY PUBLIC WATER STANDPIPE LOCATED BY THE PUBLIC WORKS BUILDING.
- FOR COMMERCIAL AND CONDOMINIUM DEVELOPMENTS - THE DEVELOPER SHALL PURCHASE AND INSTALL METER BOXES AND SETTERS ACCORDING TO CITY STANDARDS. THE SUPPLY OF WATER MAINS SHALL BE PROVIDED BY GRANTSVILLE CITY PUBLIC WORKS DEPARTMENT (AT DEVELOPER'S EXPENSE) AND INSTALLED BY DEVELOPER.
- ALL WATER FACILITIES SHALL BE FILLED, DISINFECTED, PRESSURE TESTED, FLUSHED, FILLED AND AN ACCEPTABLE WATER SAMPLE OBTAINED PRIOR TO COMMISSIONING THE NEW WATER LINE TO THE GRANTSVILLE CITY CULINARY WATER DISTRIBUTION SYSTEM.
- GRANTSVILLE CITY UTILITIES DEPARTMENT MUST APPROVE WATER SHUT DOWN WHICH MAY REQUIRE EVENING AND WEEKEND SHUT DOWN AS DEEMED NECESSARY, REQUIRING THE CONTRACTOR TO BE BILLED FOR OVERTIME. 48 HOUR NOTICE IS REQUIRED.
- WATER SUB-UT INSTALLATIONS WILL NOT BE CONSTRUED AS A COMMITMENT FOR WATER SERVICE.
- CONDITIONAL APPROVAL OF VALVED OUTLET (6" AND LARGER), IN THE EVENT THE WATER PLANS SHOW ONE OR MORE VALVED OUTLETS EXTENDING OUT OF PAVED AREAS, INSTALLATIONS OF THESE OUTLETS IS ACCEPTABLE, HOWEVER, IF THE OUTLETS ARE INCORRECTLY LOCATED OR NOT USED FOR ANY REASON WHEN THE PROPERTY IS DEVELOPED, THE DEVELOPER SHALL ABANDON THE OUTLETS AT THE CONNECTION TO THE ACTIVE MAIN IN ACCORDANCE WITH THE CITY STANDARDS AND AT THE DEVELOPER'S EXPENSE.
- ALL LINES TO BE PRESSURE TESTED ACCORDING TO GRANTSVILLE CITY AND AWWA STANDARDS AND CHLORINATED PRIOR TO USE AND FINAL ACCEPTANCE.
- ALL FITTINGS TO BE COATED WITH POLY FM GREASE AND WRAPPED WITH 8-MIL THICK POLYETHYLENE.
- NO OTHER UTILITY LINES MAY BE PLACED IN THE SAME TRENCH WITH WATER LINE UNLESS APPROVED BY THE CITY ENGINEER.
- ANY CONFLICT WITH EXISTING UTILITIES SHALL BE IMMEDIATELY CALLED TO THE ATTENTION OF THE CITY ENGINEER OR DESIGNEE.
- ALL WATER VAULTS WILL BE CONSTRUCTED PER GRANTSVILLE CITY STANDARD DRAWINGS AND SPECIFICATIONS. NO VAULTS ARE ALLOWED IN TRAFFIC AREAS WITHOUT PRIOR APPROVAL OF THE CITY ENGINEER.
- LANDSCAPING AND IRRIGATION ADJACENT TO VAULTS SHALL DRAIN AWAY FROM VAULTS.
- ONCE THE WATERLINE HAS BEEN TESTED, APPROVED AND CITY WATER IS FLOWING THROUGH THE PIPE, ONLY CITY PERSONNEL ARE AUTHORIZED TO SHUT DOWN AND CHARGE THE WATERLINE.
- MEGALUG FOLLOWING RING OR AN APPROVED EQUIVALENT SHALL BE USED ON ALL FITTINGS.
- APWA PLAN 562, CITY REQUIRES STAINLESS STEEL TIE-DOWN RESTRAINTS WITH TURNBUCKLES ONLY. 5/8" REBAR IS NOT ACCEPTABLE. MEGALUG FOLLOWERS REQUIRED ON ALL FITTINGS AND ALL DIMENSIONS OF THRUST BLOCKING STILL APPLY. THRUST BLOCKS MAY BE ELIMINATED IF HORIZONTAL TIE DOWN RESTRAINTS HAVE BEEN PRE-ENGINEERED AND RECEIVE PRIOR CITY APPROVAL.
- WATER MAINS WILL BE HOT TAPPED AS CALLED OUT ON THE APPROVED PLANS, UNDER SPECIAL CIRCUMSTANCES, WHEN A CONTRACTOR SUBMITS A REQUEST FOR A SHUTDOWN CONTRARY TO THE APPROVED PLANS AND THE REQUEST IS APPROVED AT THE DISCRETION OF THE CITY ENGINEER OR DESIGNEE. THE CONTRACTOR MUST PROVIDE 48-HOUR NOTICE TO NEIGHBORS AND THOSE AFFECTED. IF BUSINESSES ARE IMPACTED BY THE SHUTDOWN IT WILL BE DONE AFTER HOURS AND ALL OVERTIME FEES FOR CITY PERSONNEL, EQUIPMENT AND VEHICLES MUST BE PAID IN ADVANCE.
- CONTRACTORS ARE REQUIRED TO WRITE THE LOT NUMBER WITH A BLACK PERMANENT MARKER ON THE INSIDE OF THE WATER METER BARRELS AS THEY ARE INSTALLED.

GRANSTVILLE CITY FIRE DEPARTMENT NOTES

- ON ANY NEW HOME OR BUILDING INSTALLATION, ACCESSIBLE FIRE HYDRANTS SHALL BE INSTALLED BEFORE COMBUSTIBLE CONSTRUCTION COMMENCES AND SAID FIRE HYDRANTS SHALL BE IN GOOD WORKING ORDER WITH AN ADEQUATE WATER SUPPLY.
- CONTRACTOR SHALL CALL THE PUBLIC WORKS DEPARTMENT AND ENGINEERING DEPARTMENT FOR UNDERGROUND INSPECTION, PRESSURE AND FLUSH VERIFICATION OF ALL FIRE HYDRANTS AND FIRE LINES BEFORE BACK FILLING.
- PAINTING OF THE CURBS AND HYDRANT AND ANY WORK NECESSARY FOR PROTECTION OF HYDRANTS FROM PHYSICAL DAMAGE SHALL BE APPROVED BEFORE BEING CONSTRUCTED. HYDRA-FINDERS WILL BE INSTALLED PER GRANTSVILLE CITY STANDARDS DETAIL.
- A FLOW TEST MUST BE WITNESSED BY THE FIRE DEPARTMENT PRIOR TO OCCUPANCY FOR VERIFICATION OF REQUIRED ON-SITE WATER SUPPLY.
- ALL ON-SITE FIRE MAIN MATERIALS MUST BE U.L. LISTED AND A W.V.A. APPROVED.
- THE TURNING RADIUS FOR ANY FIRE APPARATUS ACCESS ROAD AND/OR FIRE LANE, PUBLIC OR PRIVATE, SHALL BE NOT LESS THAN FORTY-EIGHT FEET (48') OUTSIDE RADIUS EQUALING 96' OR LARGER AND TWENTY-TWO FEET (22') INSIDE RADIUS AND SHALL BE PAVED.
- A FIRE APPARATUS ROAD SHALL BE REQUIRED WHEN ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY IS LOCATED MORE THAN ONE HUNDRED FIFTY FEET (150') FROM FIRE DEPARTMENT VEHICLE ACCESS ROADS AND/OR FIRE LANES, PUBLIC OR PRIVATE, IN EXCESS OF ONE HUNDRED FIFTY FEET (150') IN LENGTH SHALL BE PROVIDED WITH AN APPROVED TURN AROUND AREA. CONTRACTOR/ENGINEER SHALL FOLLOW LATEST INTERNATIONAL FIRE CODE REGULATIONS AT ALL TIMES IN REGARDS TO DISTANCE.
- ACCESS ROADS SHALL BE MARKED BY PLACING APPROVED SIGNS AT THE START OF THE DESIGNATED FIRE LANE. ONE SIGN AT THE END OF THE FIRE LANE AND WIDTH SIGNS AT INTERVALS OF ONE-HUNDRED FEET (100') ALONG ALL DESIGNATED FIRE LANES. SIGNS TO BE PLACED ON BOTH SIDES OF AN ACCESS ROADWAY IF NEEDED TO PREVENT PARKING ON EITHER SIDE. SIGNS SHALL BE INSTALLED AT LEAST 5' MEASURED FROM THE BOTTOM EDGE OF THE SIGN TO THE NEAR EDGE OF PAVEMENT, WHERE PARKING OR PEDESTRIAN MOVEMENTS OCCUR. THE CLEARANCE TO THE BOTTOM OF THE SIGN SHALL BE AT LEAST 7'. THE CURB ALONG OR ON THE PAVEMENT OR CEMENT IF CURB IS NOT PRESENT, SHALL BE PAINTED WITH RED WEATHER RESISTANT PAINT IN ADDITION TO THE SIGNS.
- ELECTRICALLY CONTROLLED ACCESS GATES SHALL BE PROVIDED WITH AN APPROVED EMERGENCY VEHICLE DETECTOR/RECEIVER SYSTEM. SAID SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE GRANTSVILLE CITY F.D. APPROVAL. GATES ARE ONLY ALLOWED WITH PRIOR APPROVAL.
- ALL PRIVATE UNDERGROUND FIRE LINES THAT SERVICE AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE NO SMALLER THAN EIGHT (8) INCHES IN DIAMETER AND HAVE A POST INDICATOR VALVE (PIV) BETWEEN THE WATER MAIN AND THE BUILDING. IF A PIV ISN'T FEASIBLE DUE TO SITE CONSTRAINTS, A WATER INDICATOR VALVE (WIV) MAY BE USED WITH THE APPROVAL OF THE CITY ENGINEER OR FIRE CODE OFFICIAL. FOR A WAY TO BE ALLOWED, ANOTHER VALVE MUST BE INSTALLED ON THE FIRE SERVICE LINE BACK AT THE CONNECTION TO THE WATER MAIN, WHICH WILL BE MAINTAINED BY THE CITY AS PART OF ITS CULINARY WATER SYSTEM. ALL FIRE LINES MATERIAL SHALL BE DUCTILE IRON. (DUCTILE IRON FROM THE PIV TO THE BUILDING SHALL BE PERMITTED OR DUCTILE IRON FROM THE MAIN WATER LINE TO THE IRV).
- POST INDICATOR VALVES (PIV) SHALL BE BETWEEN 6 AND 40 FEET FROM BUILDINGS NOT EXCEEDING THREE STORIES OR EQUIVALENT IN HEIGHT AND BETWEEN 30 AND 40 FEET ON BUILDINGS IN EXCESS OF THREE OR MORE STORIES IN HEIGHT OR EQUIVALENT.
- ROADS AND ACCESSES SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS. SURFACE SHALL BE PAVED BEFORE THE APPLICATION OF COMBUSTIBLE MATERIAL.
- ALL NEW BUILDINGS EQUIPPED WITH A FIRE DEPARTMENT CONNECTION (FDC) MUST HAVE INLETS SECURED WITH KNOX BRAND LOCKING FDC CAP(S) WITH A SWIVEL COLLAR. ALL NEW BUILDINGS ARE ALSO REQUIRED TO HAVE A KNOX BRAND KEY LOCK BOX MOUNTED ON THE EXTERIOR BUILDING, SUCH THAT FIRE DEPARTMENT PERSONNEL MAY GAIN ACCESS IN CASE OF AN EMERGENCY.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AR	ACCESSIBLE ROUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
BMP	BEST MANAGEMENT PRACTICES
BOS	BOTTOM OF STEP
BVC	BEGIN VERTICAL CURVE
C	CURVE
CB	CATCH BASIN
CF	CURB FACE
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
CONT	CONTINUOUS
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
ELEC	ELEVATION
EVC	EDGE OF ASPHALT
EW	EACH WAY
EXIST	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE OR FLANGE
GB	GRADE BREAK
G8	GATE VALVE
HC	HANDICAP
HR	HIGH POINT
IRR	IRRIGATION
K	RATE OF VERTICAL CURVATURE
LD	LAND DRAIN
LF	LINEAR FEET
LP	LOW POINT
MH	MANHOLE
MIN	MINIMUM
MJ	MECHANICAL JOINT
NG	NATURAL GROUND
NO	NUMBER
OC	ON CENTER
OCEW	ON CENTER EACH WAY
OHP	OVERHEAD POWER
PC	POINT OF CURVATURE OR PRESSURE CLASS
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PIP	PLASTIC IRRIGATION PIPE
PIV	POST INDICATOR VALVE
PRO	POINT OF REVERSE CURVATURE
PT	PROPOSED
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RD	ROAD DRAIN
ROW	RIGHT OF WAY
S	SLOPE
SAN SWR	SANITARY SEWER
SD	STORM DRAIN
SEC	SECONDARY
SS	SANITARY SEWER
STA	STATION
SW	SIDEWALK
SWL	SECONDARY WATER LINE
TBC	TOP BACK OF CURB
TGS	TOP OF GRATE
TOA	TOP OF ASPHALT
TOC	TOP OF CONCRETE
TOF	TOP OF FOUNDATION
TOW	TOP OF WALL
TOS	TOP OF STEP
TYP	TYPICAL
VC	VERTICAL CURVE
WV	WALL INDICATOR VALVE
WL	WATER LINE

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

	SECTION CORNER		EXISTING EDGE OF ASPHALT
	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT		EXISTING STRIPING
	EXISTING REBAR AND CAP		PROPOSED STRIPING
	SET ENSIGN REBAR AND CAP		EXISTING FENCE
	EXISTING WATER METER		PROPOSED FENCE
	PROPOSED WATER METER		EXISTING FLOW LINE
	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
	PROPOSED WATER MANHOLE		GRADE BREAK
	EXISTING WATER BOX		EXISTING STORM DRAIN LINE
	EXISTING WATER VALVE		PROPOSED STORM DRAIN LINE
	PROPOSED WATER VALVE		ROOF DRAIN LINE
	EXISTING FIRE HYDRANT		CATCHMENTS
	PROPOSED FIRE HYDRANT		HIGHWATER LINE
	PROPOSED FIRE DEPARTMENT CONNECTION		EXISTING SANITARY SEWER
	EXISTING SECONDARY WATER VALVE		PROPOSED SANITARY SEWER LINE
	PROPOSED SECONDARY WATER VALVE		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION BOX		EXISTING LAND DRAIN LINE
	EXISTING IRRIGATION VALVE		PROPOSED LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		EXISTING SECONDARY WATER LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		PROPOSED SECONDARY WATER LINE
	EXISTING STORM DRAIN INLET BOX		PROPOSED SEC. WATER SERVICE LINE
	EXISTING STORM DRAIN CATCH BASIN		EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN CATCH BASIN		EXISTING IRRIGATION LINE
	EXISTING STORM DRAIN COMBO BOX		EXISTING OVERHEAD POWER LINE
	PROPOSED STORM DRAIN COMBO BOX		EXISTING ELECTRICAL LINE
	EXISTING STORM DRAIN CLEAN OUT		EXISTING GAS LINE
	EXISTING STORM DRAIN CULVERT		EXISTING TELEPHONE LINE
	PROPOSED STORM DRAIN CULVERT		ACCESSIBLE ROUTE
	TEMPORARY SAG INLET PROTECTION		SAW CUT LINE
	TEMPORARY IN-LINE INLET PROTECTION		STRAW WATTLE
	ROOF DRAIN		TEMPORARY BERM
	EXISTING ELECTRICAL MANHOLE		TEMPORARY SILT FENCE
	EXISTING ELECTRICAL BOX		LIMITS OF DISTURBANCE
	EXISTING TRANSFORMER		EXISTING GRAVEL
	EXISTING UTILITY POLE		EXISTING WALL
	EXISTING LIGHT		PROPOSED WALL
	PROPOSED LIGHT		EXISTING CONTOURS
	EXISTING GAS METER		PROPOSED 0.5' CONTOURS
	EXISTING GAS MANHOLE		BUILDABLE AREA WITHIN SETBACKS
	EXISTING GAS VALVE		PUBLIC DRAINAGE EASEMENT
	EXISTING TELEPHONE MANHOLE		EXISTING ASPHALT TO BE REMOVED
	EXISTING TELEPHONE BOX		PROPOSED ASPHALT
	EXISTING TRAFFIC SIGNAL BOX		EXISTING CURB AND GUTTER
	EXISTING CABLE BOX		PROPOSED CURB AND GUTTER
	EXISTING BOLLARD		PROPOSED REVERSE PAN CURB AND GUTTER
	PROPOSED BOLLARD		TRANSITION TO REVERSE PAN CURB
	EXISTING SIGN		TYPE D MOUNTABLE CURB AND GUTTER
	PROPOSED SIGN		CONCRETE TO BE REMOVED
	EXISTING SPOT ELEVATION		EXISTING CONCRETE
	PROPOSED SPOT ELEVATION		PROPOSED CONCRETE
	EXISTING FLOW DIRECTION		STAMPED CONCRETE
	EXISTING TREE		BUILDING TO BE REMOVED
	DENSE VEGETATION		EXISTING BUILDING
			PROPOSED BUILDING

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



TOOELE

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SALT LAKE CITY

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LAYTON

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CEDAR CITY

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RICHFIELD

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GRANTSVILLE PRECONSTRUCTION GENERAL NOTES

CHAIN OF COMMUNICATION

- FIRST CONTACT: CODY CHRISTENSEN PUBLIC WORKS INSPECTOR
- SECOND CONTACT: GLEN MILLWARD (WATER), MARKUS SEAT (SEWER), TRAVIS DANIELS (FIRE CHIEF), JASON SMITH (ASSISTANT FIRE CHIEF).

PLEASE COMMUNICATE THROUGH E-MAIL TO MAINTAIN A WRITTEN RECORD.

MAIN CONSTRUCTION CONTACT

- PROJECT FOREMAN:

CONSTRUCTION SCHEDULE

- CONSTRUCTION STARTS:
- PLEASE PROVIDE A CONSTRUCTION SCHEDULE. HELPS CITY TO PLAN FOR WHAT IS HAPPENING. PROVIDE TO JAMES AND HE WILL DISSEMINATE TO OTHERS.

PERMITTING

CONSTRUCTION STAKING

- SURVEYING & STAKING:
- WE ARE HAVING SOME ALIGNMENT ISSUES ON CITY UTILITIES PLEASE MAKE SURE YOU GET ADEQUATE STAKING.

GEOTECHNICAL

- DOES THE CONTRACTOR HAVE A COPY OF THE GEOTECHNICAL REPORT AND IS HE FAMILIAR WITH THE REQUIREMENTS?
- DOES THE CITY INSPECTOR HAVE A COPY OF THE GEOTECHNICAL REPORT AND IS HE FAMILIAR WITH THE REQUIREMENTS? THE CITY INSPECTORS WILL BE GIVEN A COPY.
- GEO-TECH SHALL MONITOR THE EXCAVATION AND DETERMINE THE LOCATIONS THAT REQUIRE ADDITIONAL GRANULAR SUB-BASE AND SPECIFY THE DEPTH REQUIRED. CITY WOULD LIKE A DRAWINGS SHOWING THE AREAS THAT REQUIRE ADDITIONAL WORK.
- WHO WILL DO SOILS, COMPACTION TESTING?

SUBMITTALS:

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR MATERIAL TO THE CITY FOR APPROVAL PRIOR TO PURCHASE OF MATERIALS AND INSTALLATION. THE CITY WANTS TO CHECK THAT THE MATERIALS MEET SPEC BEFORE THEY ARE ORDERED SO THEY DONT GET REJECTED WHEN THEY HAVE BEEN INSTALLED. SUBMIT TO CHRISTY MONTIERTH IN PUBLIC WORKS.
- THE CITY IS FINE WITH THE MATERIALS THAT HAVE PREVIOUSLY BEEN USED.

SEWER

- PIPE MATERIAL: PVC ASTM D-3034 SDR-35
- FOLLOW OSHA REQUIREMENTS FOR TRENCHING (4' VERTICAL WITH 1:1 SLOPING OR STEPPING OR USE TRENCH BOXES).
- SEWER LATERALS PER CITY STANDARD. (APWA 431).
- UTAH REQUIREMENT OF 10' HORIZONTAL SEPARATION BETWEEN SEWER AND WATER LATERALS.
- 18" MINIMUM VERTICAL SEPARATION BETWEEN WATER AND SEWER.
- CRUSHED ROCK ¾-INCH MINUS IN PIPE ZONE (3/8-INCH ROUNDED PEA GRAVEL IS NOT ALLOWED BY THE CITY).
- SEWER LATERALS. GRAVEL BEDDING TO BE EXTENDED TO DWELLING.
- NATIVE SOILS MAY BE USED ABOVE THE PIPE ZONE IF THEY ARE SUITABLE TO THE CITY AND CAN MEET COMPACTION REQUIREMENTS (BLENDING MAY BE REQUIRED).
- OFFSET TEES FOR SEWER LATERALS; GASKET TYPE.
- COMPACTION - 95% IN ROADS, 90% OFF-ROAD (ASTM D-1557, MODIFIED PROCTOR)
- INSTALLATION AS PER ASTM D-2321
- ALL PRECAST MANHOLES TO BE PROVIDED WITH RUBBER BOOTS AND STAINLESS-STEEL BANDS AT PIPE PENETRATIONS.
- INTERIOR PIPE PENETRATIONS IN ALL SEWER MANHOLES SHALL BE GROUTED.
- TRACER WIRE EXTENDING FROM MAIN TO LATERAL STUB ON ALL LATERALS AND EXTENDED TO SURFACE AT STUB MARKER. INCLUDE AN EXTRA 30-FEET TO EXTEND ALONG THE SERVICE TO THE DWELLING.
- STAMP (WHEN WET) OR PIN (DO NOT GRIND) GUTTER BOTH AT THE LIP AND TOP OF CURB AN "S" AT ALL SERVICE LATERALS (TWO PLACES FOR EACH SERVICE). MAKE SURE THESE ARE LOCATED ABOVE THE LATERALS IN THE PROPER LOCATIONS.
- EXTEND UTILITY LATERAL STUB MARKERS BEYOND THE 15-FOOT PU&DE (15-FEET BEHIND BACK OF WALK).
- END OF SEWER LATERALS SHALL BE PLUGGED.

TESTING:

- AIR TEST MANDATORY - CERTIFICATION REQUIRED.
- VACUUM TEST REQUIRED FOR THE MANHOLES.
- VIDEO INSPECTION AFTER FLUSHING - THE CITY DOES NOT NEED TO OBSERVE THE VIDEO INSPECTION. VIDEO RECORD TO BE PROVIDED FOR CITY REVIEW.
- PLEASE PROVIDE THE CITY 48 HOURS' NOTICE PRIOR TO TESTING.

EMERGENCY SERVICES

- INSTALL SILT FENCE FIVE FEET OUT AROUND FIRE HYDRANTS AND ELECTRICAL TRANSFORMERS AFTER THEIR INSTALLATION. THIS HELPS MAINTAIN A CLEAR SPACE AROUND THEM AND MAKES THEM VISIBLE IF EMERGENCY SERVICES ARE NEEDING TO FIND THEM DURING CONSTRUCTION.
- INSTALL TEMPORARY SIGNAGE AT THE BEGINNING OF WORK ON THE SITE.
- PARK ONLY ON ONE SIDE OF ACCESS ROADS SO EMERGENCY ACCESS IS CLEAR.
- COORDINATE WITH FIRE CHIEF FOR HIS INSPECTIONS. ROADS: FACE OF CURB TO FACE OF CURB IS PROPER DISTANCE AND HYDRANTS ARE PROPERLY PLACED. THE HEIGHT OF THE HYDRANTS WILL ALSO BE INSPECTED. 18" ABOVE GROUND FROM THE PUMPER NOZZLE.
- PAINT RED CURB TEN FEET EITHER DIRECTION FIRE HYDRANTS.

CULINARY WATER

- PIPE MATERIAL: PVC C900 DR18
- USE BEDDING SAND FOR BACKFILL IN THE PIPE ZONE (CITY NEEDS TO PREAPPROVE SAND BEDDING.) CITY WANTS CLEANED WASHED SAND. THE CITY WANTS A BUCKET AHEAD OF TIME SO THE CITY CAN WET IT AND SEE IF IT SETS UP LIKE CONCRETE OR NOT. IT CANT SET UP LIKE CONCRETE. THEY CAN PULL FROM THE STAKER PIT BUT THE SAND NEEDS TO BE WASHED. THE CITY CAN PROVIDE AN EXAMPLE FOR WHAT THEY ARE LOOKING FOR.
- WATER LATERALS SAND BEDDING NEEDS TO GO TO THE DWELLING.
- NATIVE SOILS MAY BE USED ABOVE THE PIPE ZONE IF THEY ARE SUITABLE TO THE CITY AND CAN MEET COMPACTION REQUIREMENTS (BLENDING MAY BE REQUIRED)
- VALVES SHALL BE CLUSTERED IN INTERSECTIONS
- VALVES & TEMP. BLOW-OFF ARE LOCATED AT THE DEAD-END MAIN OF PHASE LINES TO ALLOW FOR FLUSHING, ISOLATION AND CONTINUED SERVICE TO EXISTING CONNECTIONS WHEN FUTURE PHASES ARE CONSTRUCTED.
- METER AND SERVICES SHALL BE ¾-INCH POLYETHYLENE SDR11 IPS. INSTALL SERVICE LATERALS AND METERS WITHIN 5-FEET OF LOT LINES (AS CLOSE TO LOT LINE AS PRACTICABLE), ONE ON EACH SIDE OF COMMON LOT LINE (ALTERNATE WITH SECONDARY WATER).
- USE 150# CORP STOPS.
- 10' HORIZONTAL SEPARATION OF WATER AND SEWER LATERAL PER STATE REQUIREMENTS. WATER LATERAL TO BE LOCATED UPSLOPE OF SEWER LATERAL TO THE EXTENT PRACTICABLE.
- 18" MINIMUM VERTICAL SEPARATION BETWEEN WATER AND SEWER.
- 10' HORIZONTAL SEPARATION OF WATER AND STORMWATER.
- METER BARRELS SHALL BE 21-INCH DIAMETER WHITE CORRUGATED POLYETHYLENE
- METER TO BE INSTALLED 18 TO 22 INCHES BELOW THE LID.
- PLACE SAND AROUND THE WATER SERVICE SETTER BASES AND ABOVE TO STABILIZE SETTER AND PROVIDE INSULATION GRAVEL IS NOT ALLOWED.
- TAPPING SADDLES SHALL BE BRASS WITH DOUBLE STAINLESS STEEL OR BRASS STRAPS WRAPPED WITH POLY SOCK.
- USE DUAL CHECK AND HEAVY-DUTY ANGLE VALVES FOR ALL SERVICES.
- INSTALL TRACER WIRE AND LOCATING TAPE ABOVE WATER MAIN.
- INSTALL TRACER WIRE FROM MAIN CONNECTION THROUGH METER PIT TO STUB MARKER WITH 30' EXCESS TO EXTEND TO THE DWELLING.
- STAMP (WHEN WET) OR PIN (DO NOT GRIND) GUTTER BOTH AT THE LIP AND TOP OF CURB WITH A "W" AT ALL SERVICE LATERALS (2 PLACES EACH SERVICE). MAKE SURE THESE ARE LOCATED ABOVE THE LATERALS IN THE PROPER LOCATIONS.
- THRUST BLOCKS NEED TO BE INSPECTED BY THE CITY PRIOR TO BACKFILL. SIZE BASED ON TEST PRESSURES
- MAKE SURE FIRE HYDRANTS NEED TO BE INSTALLED TO THE PROPER HEIGHT TO HELP THE BREAK A WAY FUNCTION WORKS.
- HYDRO FINDERS MUST BE INSTALLED.

TESTING:

- HYDROSTATIC PRESSURE TEST: 200 PSI FOR A MINIMUM OF 2 HOURS FOR MAIN ONLY AND 150 PSI IF TESTING WITH TAPPING SADDLES AND CORPORATIONS IN PLACE - INSPECTOR (GLEN MILLWARD OR ASSIGNED CITY INSPECTOR) MUST BE PRESENT FOR THE ENTIRE DURATION OF THE TEST.

DISINFECTION:

- HYPOCHLORITE POWDER
- CHLORINE RESIDUALS WILL BE TESTED ONCE BY THE CITY, BUT ANY RETESTS WILL BE PERFORMED BY THE CONTRACTOR/DEVELOPER
- ONLY ONE SERIES OF BAC-T TESTING WILL BE PERFORMED BY THE CITY TO ACCEPT WATER LINES AND ANY RETESTS WILL BE PERFORMED BY THE CONTRACTOR/DEVELOPER (PRELIMINARY INVESTIGATIVE TESTS BY THE CONTRACTOR/DEVELOPER ARE ENCOURAGED) THE CITY NEEDS TO DO THE GRAB ON ANY SAMPLES.
  - PER AWWA C651, BAC-T TESTING SHALL BE COMPLETED FOR EVERY 1,200 FEET OF NEW WATER MAIN, AT THE END OF THE LINE, AND AT EACH BRANCH. TWO CONSECUTIVE SAMPLE SETS SHALL BE COLLECTED AT THE AFOREMENTIONED LOCATIONS AT LEAST 24 HOURS APART.

THE CITY WILL NOT SWING METER BOXES TO ACCOMMODATE THE DRIVEWAY. THINK ABOUT THE LATERAL LOCATIONS BEFORE LOCATING THE DWELLING.

STORM WATER

PIPE MATERIAL:

- REINFORCED CONCRETE (RCP) AND/OR ADS N-12-WT
- INSTALLATION AND COMPACTION TO FOLLOW MANUFACTURERS RECOMMENDATIONS.
- ALL CATCH BASIN BOXES INCLUDE A SUMP. FOR BOXES WITH SNOTS THE SUMP DEPTH IS BASED UPON THE SNOT MODEL. MANUFACTURES RECOMMENDATION. FOR ALL OTHER BOXES THE DEPTH IS 12" BELOW THE FLOW LINE OF THE PIPES.

FRANCHISE UTILITIES

- GAS: DOMINION
- POWER: ROCKY MOUNTAIN POWER
- CABLE: COMCAST
- PHONE: CENTURY LINK
- PLEASE INSTALL STUBS FOR FUTURE PHASES FOR FRANCHISED UTILITIES SO THAT NEW STREETS AND CONCRETE DONT HAVE TO BE CUT TO EXTEND TO A FUTURE PHASE.

SURFACE IMPROVEMENTS

PAVEMENT:

- ½" OR ¾-INCH ASPHALT AGGREGATE (1/2" IS THE CITY PREFERENCE). THE CITY STANDARD PAVEMENT SECTION IS 3-INCH ASPHALT ON 6-INCH UBC ON 8-INCH GRANULAR BORROW. (FABRIC)
- MARSHALL MIX REQUIRED PRIOR TO PAVING
- ROAD BASE AND CROSS-SECTION PER APPROVED DRAWINGS.
- PROVIDE PROPER SIGNAGE PER UTAH MUTCD.
- PROVIDE STOPS BARS AT STOP SIGNS.
- ADA TRUNCATED DOME INSERTS NEED TO BE YELLOW IN PED RAMPS. THE SPACING IS REQUIRED TO BE 2" TO FRONT OF RAMP AND NO MORE THAN 2" OFF THE SIDES OF THE WALKING PATH.
- INSTALL "NO PARKING" SIGNS IN TEMPORARY TURNAROUNDS. HOMEOWNERS ARE PARKING VEHICLES IN THEM.

CONCRETE:

- AIR TEST EVERY 50 YARDS UNLESS RESULTS ARE OUT OF SPEC (5% - 7%)
- 3 CYLINDERS EVERY 50 YARDS
- 4,500 PSI CONCRETE FOR ALL SURFACE IMPROVEMENTS.
- SIDEWALK SECTION IS 6" PCC ON 6" UBC.

EARTHWORK:

- PROVIDE COMPACTION AND SIEVE ANALYSIS ON ALL INITIAL PROCTORS AND NEW MATERIAL.
- COMPACTION TESTS EVERY 100 FEET OF PIPE TRENCH. VARY DEPTHS TO PROVIDE RESULTS THROUGHOUT STRATA.
- ROAD WORK AND BASE - BOTH SHOULDERS AND CENTERLINE WITH A MAXIMUM OF 200' BETWEEN

TESTS.

- PROOF ROLL TRENCHES, SUBGRADE, AND BASE
- MINIMUM OF FOUR COMPACTION TESTS AROUND EACH MANHOLE AND CLEANOUT.
- USE APWA DETAIL 255 FOR PIPE TRENCH PATCHING.

TESTING AND QA/QC

- 48-HOUR NOTICE IS REQUIRED PRIOR TO ANY TESTING. MAKE SURE THE TEST IS SCHEDULED.
- INSPECTOR(S) REPRESENTING THE CITY MUST BE PRESENT FOR ALL TESTING INCLUDING THOSE PERFORMED BY AN INDEPENDENT AGENCY.
- PUBLIC WORKS HOURS ARE 7 AM TO 3:30 PM MONDAY THROUGH FRIDAY. HOWEVER, THE CITY WILL WORK WITH CONTRACTOR IF CONTRACTOR IS WORKING OUTSIDE THESE HOURS.
- COMPACT FILL IN 8' LIFTS.

CONSTRUCTION WATER

- CONTRACTOR SHALL OBTAIN WATER FOR CONSTRUCTION FROM A CITY APPROVED FIRE HYDRANT USING A HYDRANT METER RENTED FROM THE CITY. THERE IS A \$1800 REFUNDABLE DEPOSIT FOR HYDRANT METERS AND A CHARGE OF \$6 PER 1000 GALLONS FOR ALL WATER USED. \$75 A MONTH RENTAL CHARGE.
- PLEASE DONT DAMAGE THE METERS AND DONT TAKE ANYTHING OFF THE METER.

EROSION CONTROL / STORM WATER SYSTEM PROTECTION

- MINIMIZE POTENTIAL FOR OFF-SITE RUN-OFF
- MINIMIZE DISTURBED AREAS.
- KEEP WORKING AREA WETTED TO MINIMIZE DUST
- PROVIDE SILT FENCE TO PREVENT SEDIMENT TRANSPORT DOWNSTREAM.
- CONTAIN ALL SEDIMENT ON SITE.
- MAINTAIN BMPS AS PER SWPPP.
- SWPPP TO BE ON-SITE AT ALL TIMES.
- PROOF OF COVERAGE UNDER UPDES REQUIRED
  - CITY WILL NEED A COPY OF THE NOI.
- THE CITY IS ON COMPLIANCE GO. MAKE SURE UPDATES ARE LOADED IN COMPLIANCE GO. ADD THE CITY PUBLIC WORKS E-MAIL CONTACT. HAVE A RSI AND PTOE ON SITE.
- THE CITY WILL CHECK WITH THE CONTRACTOR AFTER AN EVENT.
- THE CITY WILL SHARE INSPECTION REPORTS WITH THE CONTRACTOR.
- INSPECT AFTER RAINFALL AND OTHER EVENTS (WEATHER, AND CONSTRUCTION AROUND BMPS) THAT MAY AFFECT BMPS.
- MAKE SURE TO FOLLOW THE SWPPP AS SHOWN ON THE PLANS.
- PROVIDE VEGETATIVE COVER ON COMPLETED OR LONG-TERM TEMPORARY GRADING WITHIN 14 DAYS.
- PUT THE SWPPP SIGN ON SITE AND VISIBLE SO THE STATE CAN SEE IT ON A DRIVE BY.

CONSTRUCTION DEBRIS DISPOSAL

- MAINTAIN A WORK SITE THAT IS CLEAN AS POSSIBLE AND PROPERLY DISPOSE OF DEBRIS AND TRASH.
- NO GARBAGE PITS ALLOWED
- NO ON-SITE CONCRETE WASHOUT ALLOWED UNLESS HAULED FROM SITE AT END OF PROJECT OR OTHER PROVISIONS ARE MADE.

SITE SAFETY

- CONFORM TO OSHA STANDARDS.
- CLOSE TRENCHES AT NIGHT.
- SECURE OPEN TRENCHES AND PLUG LINES.

SECURITY

- SECURE CONSTRUCTION EQUIPMENT WHEN NOT IN USE.

SANITATION

- CLEAN AND PROPERLY MAINTAINED PORT-A-JOHN(S) ON SITE AT ALL TIMES.

HAZARDOUS MATERIAL STORAGE ON SITE

- IF THERE ARE HAZARDOUS MATERIALS ON SITE, MAKE SURE THE CITY HAS APPROVED IT AND THAT IT HAS SECONDARY CONTAINMENT. THE FIRE CHIEF NEEDS TO KNOW WHAT IS ON SITE, HOW IT IS SECURED AND WERE IT IS LOCATED.

SITE ACCESS

AS SHOWN ON THE SWPPP DONT DEViate FROM IT.

CONSTRUCTION OBSERVATION

- CITY PERSONNEL WILL INSPECT REGULARLY AS NEEDED.

CONSTRUCTION DRAWINGS

- KEEP AN ACCURATE SET OF AS-BUILTS.
- PROVIDE COPIES OF AS-BUILTS AT COMPLETION OF PROJECT PRIOR TO OCCUPANCY.
- MAKE SURE CHANGES IN AS-BUILTS ARE BUBBLED AND CLEAR AS WHAT CHANGES HAVE OCCURRED.
- CITY HAS STORM BASIN PLAN CERTIFICATION THE DESIGNING ENGINEER NEEDS TO SIGN AND STAMP.
- PROVIDE DIGITAL SET OF AS-BUILTS (PDF, DWG AND SHAPE FILES ARE REQUIRED.) FOR CITY PRIOR TO OCCUPANCY.
- CITY WILL PROVIDE A LIST OF ITEMS REQUIRED IN THE SHAPE FILE.
- BRAYDEE WILL PROVIDE REQUIREMENTS FOR THE CONSTRUCTION DRAWINGS.
- IF THERE ARE QUESTIONS ABOUT THE PLANS AND CONDITIONS ON THE GROUND FIRST REQUEST THE DESIGN ENGINEER'S INTERPRETATION AND BRING THAT INTERPRETATION TO THE CITY WHEN QUESTIONS COME UP. THE ONSITE INSPECTORS CANNOT MAKE APPROVALS TO CHANGES. DOCUMENT CHANGES.

CONSTRUCTION DRAWINGS:

DONT PRINT ANY PLANS UNTIL ALL OF THE CHANGES HAVE BEEN MADE AND YOU HAVE RECEIVED A COPY OF THE SIGNED PLANS FROM GRANTSVILLE CITY.

- PROVIDE DAN ENGLAND WITH ONE 24X36 AND FOUR 11X17S.

Name	Company Represented	Contact Information	Email
James Waltz	Grantsville City Public Works Director	435-849-1636	jwaltz@grantsvilleut.gov
Glen Millward	Grantsville City Water Dept.	435-849-3323	glenray88@hotmail.com
Markus Seat	Grantsville City Sewer and Storm Depts.	435-224-3261	mseat@grantsvilleut.gov
CODY CHRISTENSEN	Grantsville City Public Works Inspector	435-840-5567	cchristensen@grantsvilleut.gov
Lyle Perkins	Grantsville City Building Dept.	435-841-9388	lperkins@grantsvilleut.gov
Andy Jensen	Grantsville City Building Official	435-255-4431	ajensen@grantsvilleut.gov
CAVETT EATON	Grantsville City Planning and Zoning Dept.	435-884-3411	ceaton@grantsvilleut.gov
Dan England	Grantsville City City Engineer	435-884-1661	dengland@grantsvilleut.gov
Travis Daniels	Grantsville City Fire Chief	435-840-4335	firechief@grantsvilleut.gov
Shay Stark	Aqua Engineering Project Support	801-683-3731 801-520-1746	shay.stark@equaeng.com
Christy Montierth	Grantsville City PW Deputy Director	435-884-0671	cmontierth@grantsvilleut.gov
Jason Smith	Grantsville City Fire Marshall	801-598-7049	firemarshal@grantsvilleut.gov



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**LAYTON**  
Phone: 801.547.1100

**CEDAR CITY**  
Phone: 435.866.1453

**RICHFIELD**  
Phone: 435.896.2983

**WWW.ENSIGNENG.COM**

FOR:  
THE COASSOLO GROUP, LLC  
PO BOX 190  
GRANTSVILLE CITY, UTAH 84029  
CONTACT:  
TODD CASTAGNO  
PHONE: 435-849-1485

HOLLYWOOD CORNER SUBDIVISION  
PRELIMINARY DESIGN  
HOLLYWOOD STREET AND QUIRK STREET  
GRANTSVILE CITY, UTAH

For Review  
11/21/2022 4:05:59 PM

**PRECONSTRUCTION  
GENERAL NOTES**

PROJECT NUMBER  
T1216G  
PRINT DATE  
2022-11-16  
DRAWN BY  
C. CHILD  
CHECKED BY  
J. CLEGG  
PROJECT MANAGER  
C. CHILD

**C-002**



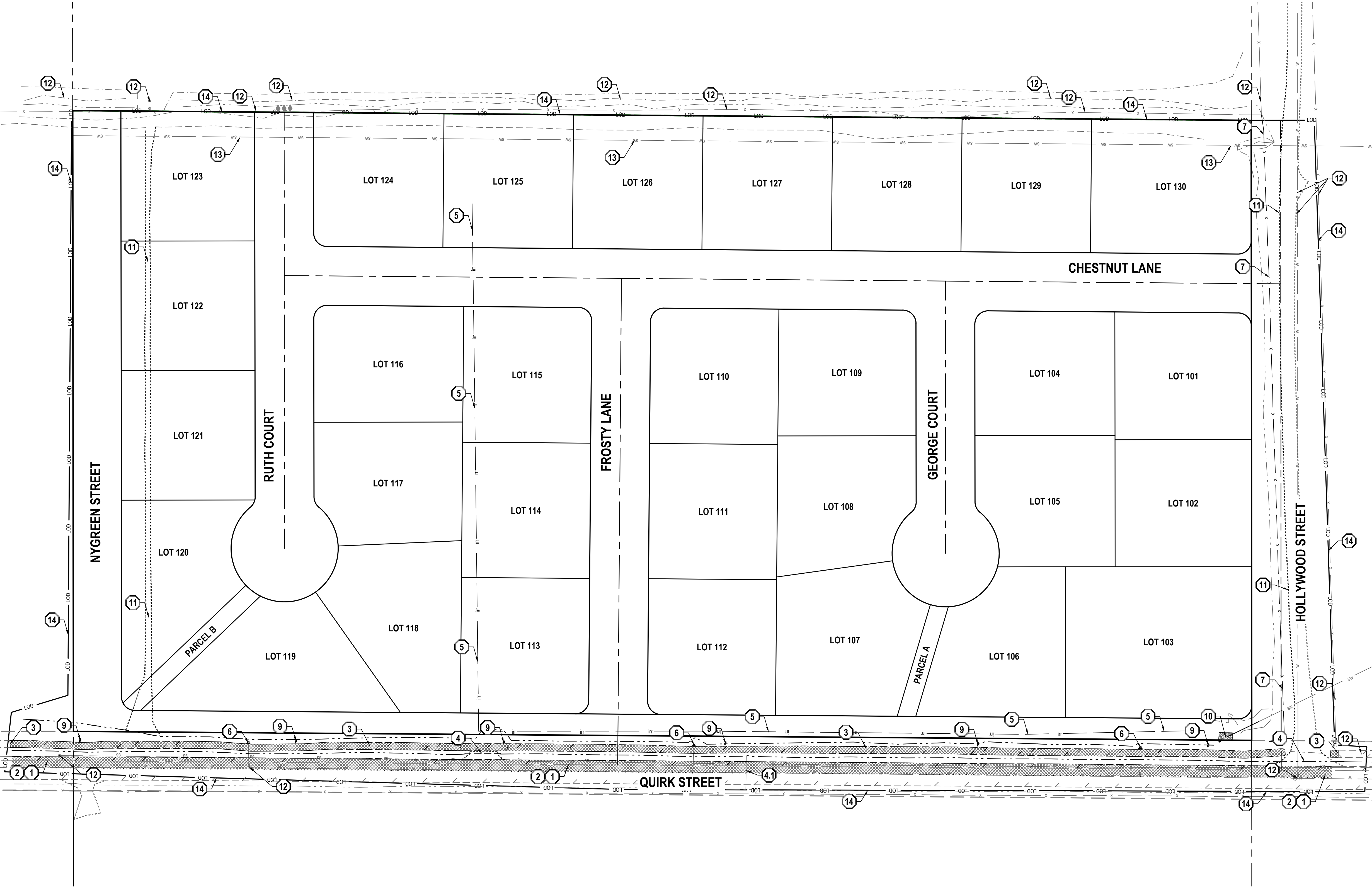
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BENCHMARK

NORTH QUARTER CORNER OF SECTION 7,  
TOWNSHIP 3 SOUTH, RANGE 5 WEST  
SALT LAKE BASE AND MERIDIAN  
(2.5" BRASS TOOEE COUNTY SURVEY  
MONUMENT ON 4" PIPE, DATED 1986)  
ELEV = 4599.95' (USED ELEVATION)  
4414.85' (TRUE ELEVATION)



- GENERAL NOTES
1.

ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3.

ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
4.

ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
5.

SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
6.

THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- SCOPE OF WORK:
- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1

SAWCUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.

2

REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT PAVEMENT.

3

SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING ASPHALT PATH. CONTRACTOR TO PROVIDE TRAIL ACCESS THROUGH CONSTRUCTION SITE.

4

REMOVE AND PROPERLY DISPOSE OF EXISTING STORM DRAIN PIPE.

4.1

REMOVE AND PROPERLY DISPOSE OF EXISTING GRAVEL FILLED STORM DRAIN PIPE.

5

REMOVE AND PROPERLY DISPOSE OF EXISTING PRIVATE IRRIGATION LINE.

6

REMOVE AND RELOCATE EXISTING FIRE HYDRANT.

7

REMOVE AND PROPERLY DISPOSE OF EXISTING FENCE.

8

REMOVE AND PROPERLY DISPOSE OF EXISTING SIGN.

9

REMOVE EXISTING POWER POLES AND OVERHEAD POWER LINES TO UNDERGROUND UTILITY LINES. COORDINATE WITH LOCAL POWER COMPANY.

10

REMOVE AND PROPERLY DISPOSE OF EXISTING STRUCTURES, CONCRETE SLABS, STAIRS, ETC., INCLUDING ALL ELECTRICAL APPURTENANCES, IN THIS AREA WHETHER OR NOT IDENTIFIED ON PLANS. WELL ABANDONMENT WILL BE PERMITTED THROUGH THE STATE. CONTRACTOR TO FILL IN ALL HOLES CREATED DURING DEMOLITION WITH STRUCTURAL FILL TO PROPER SUBGRADE ELEVATION.

11

REMOVE AND PROPERLY DISPOSE OF EXISTING GRAVEL ROAD.

12

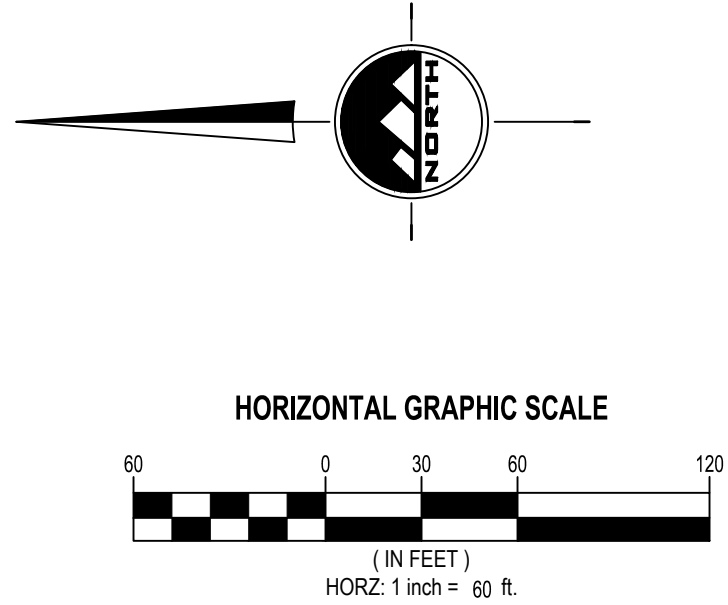
PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, SIGNS, ETC. (TYPICAL UNLESS OTHERWISE NOTED).

13

EXISTING 8" IRRIGATION LINE TO BE REMOVED AND REROUTED THROUGH SUBDIVISION SEE UTILITY PLAN FOR LAYOUT OF NEW IRRIGATION LINE.

14

LIMIT OF DISTURBANCE.



EN SIGN

THE STANDARD IN ENGINEERING

TOOELE

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FOR:  
THE COASSOLO GROUP, LLC  
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CONTACT:  
TODD CASTAGNO  
PHONE: 435-849-1485

HOLLYWOOD CORNER SUBDIVISION

PRELIMINARY DESIGN

HOLLYWOOD STREET AND QUIRK STREET

GRANTSVILLE CITY, UTAH

For Review

11/21/2022 4:05:59 PM

DEMOLITION PLAN

PROJECT NUMBER  
T1216G

PRINT DATE  
2022-11-04

DRAWN BY  
C. CHILD

CHECKED BY  
J. CLEGG

PROJECT MANAGER  
C. CHILD

C-100



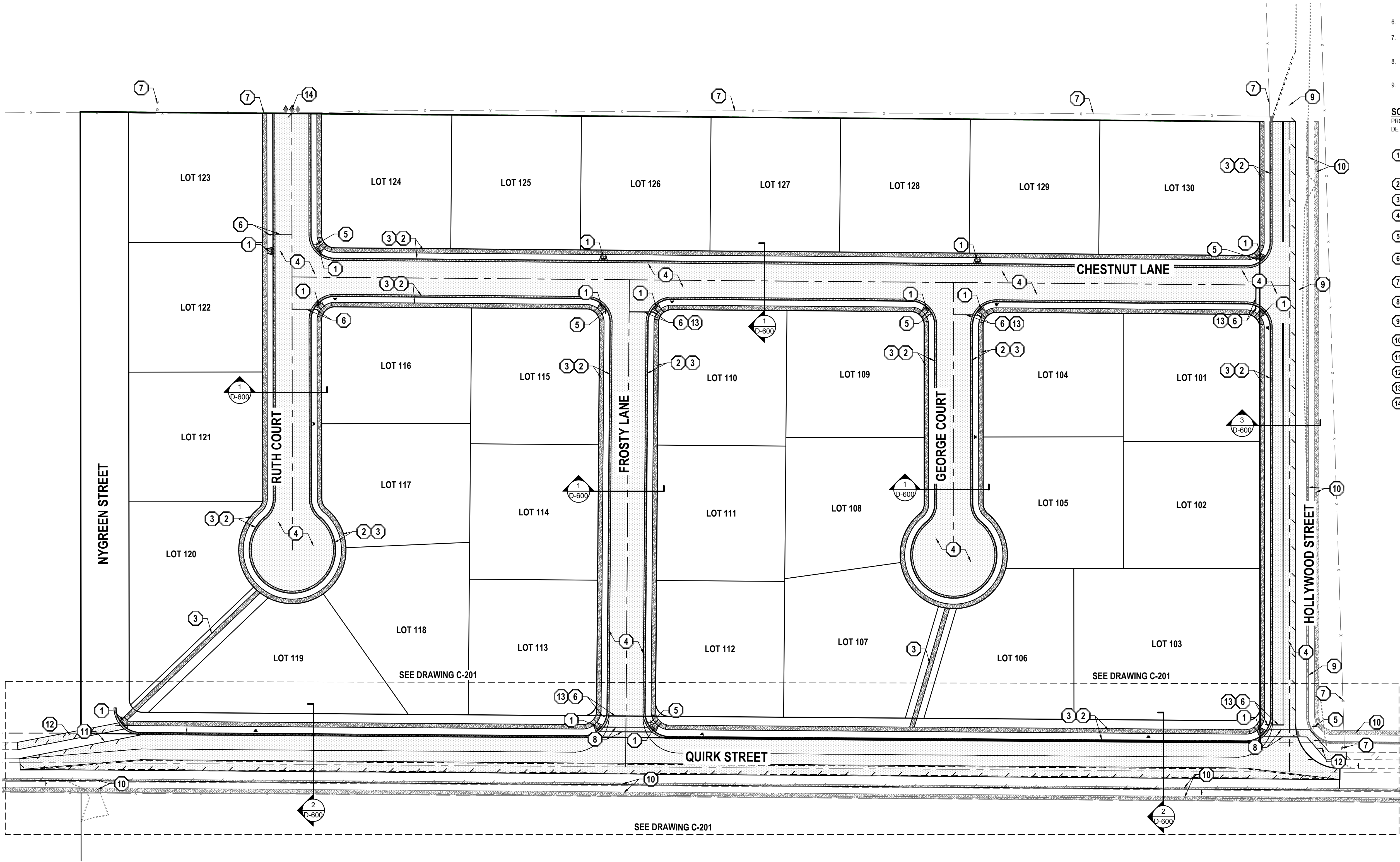
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BENCHMARK

NORTH QUARTER CORNER OF SECTION 7,  
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SALT LAKE BASE AND MERIDIAN  
(2.5" BRASS TOOEE COUNTY SURVEY  
MONUMENT ON 4" PIPE, DATED 1986)  
ELEV = 4599.95' (USED ELEVATION)  
4414.85' (TRUE ELEVATION)



- GENERAL NOTES
1.

ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2.

ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3.

SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4.

ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5.

ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6.

NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7.

THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
8.

GRADING PERMIT MUST BE OBTAINED FROM GRANTSVILLE CITY PRIOR TO DISTURBING ANY VEGETATION OR MOVING ANY SOIL. CONTACT THE CITY ENGINEER AT 435-884-1661.
9.

RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM GRANTSVILLE CITY PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY, OR ON ANY STATE ROADS.
- SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
1.

HANDICAP ACCESS RAMP TO BE CONSTRUCTED SIMILAR TO APIWA STANDARD PLAN NO. 235. CONTRACTOR TO FIELD FIT AND SHALL CONSTRUCT IN A WAY NOT EXCEED MAXIMUM SLOPES. INSTALL WITH DETECTABLE WARNING SURFACE PER GRANTSVILLE CITY STANDARDS AND APWA PLAN NO. 238 AND SPECIFICATIONS. COLOR PER GRANTSVILLE CITY STANDARDS.
2.

CONSTRUCT 2.5' TYPE A CURB AND GUTTER PER APIWA PLAN NO. 205 AND SPECIFICATIONS. (TYP.)
3.

CONSTRUCT 6" THICK, 5.0' SIDEWALK PER APWA PLAN NO. 231 AND SPECIFICATIONS. (TYP.)
4.

ASPHALT PAVEMENT; 3" THICK ASPHALTIC CONCRETE WITH 6" AGGREGATE BASE ON 8" OF SUBGRADE.
5.

INSTALL STREET INTERSECTION IDENTIFICATION PER GRANTSVILLE CITY STANDARDS AND SPECIFICATIONS AND MUTCD R1-1.
6.

INSTALL "STOP" SIGN PER MUTCD R1-1 AND 12" WIDE SOLID WHITE STOP BAR PER M.U.T.C.D. STANDARD PLANS.
7.

PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, SIGNS, ETC. (TYPICAL UNLESS OTHERWISE NOTED).
8.

12" WIDE SOLID CROSS WALK BAR PER M.U.T.C.D. STANDARD PLANS.
9.

TRANSITION BETWEEN PROPOSED ASPHALT AND EXISTING GRAVEL ROAD WITH NEW GRAVEL SECTION PER DETAIL 10D-800.
10.

FUTURE ROAD IMPROVEMENTS.
11.

TAPER TEMPORARY ASPHALT TIE-IN PER GRANTSVILLE CITY STANDARDS AND SPECIFICATIONS.
12.

10' WIDE, 3" THICK ASPHALT TRAIL WITH 8" SUBBASE.
13.

INSTALL "CROSS TRAFFIC DOES NOT STOP" SIGN PER MUTCD W4-4P.
14.

INSTALL END OF ROADWAY MARKERS PER MUTCD OM-1.
- NOTE: MAY CONTAIN KEYNOTES THAT ARE NOT USED ON THIS SHEET.

EN SIGN

THE STANDARD IN ENGINEERING

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HOLLYWOOD CORNER SUBDIVISION

PRELIMINARY DESIGN

HOLLYWOOD STREET AND QUIRK STREET

GRANTSVILLE CITY, UTAH

For Review

11/21/2022 4:05:59 PM

SITE PLAN

PROJECT NUMBER  
T1216G

PRINT DATE  
2022-11-09

DRAWN BY  
C. CHILD

CHECKED BY  
J. CLEGG

PROJECT MANAGER  
C. CHILD

C-200



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BENCHMARK

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PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE  
DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- 1

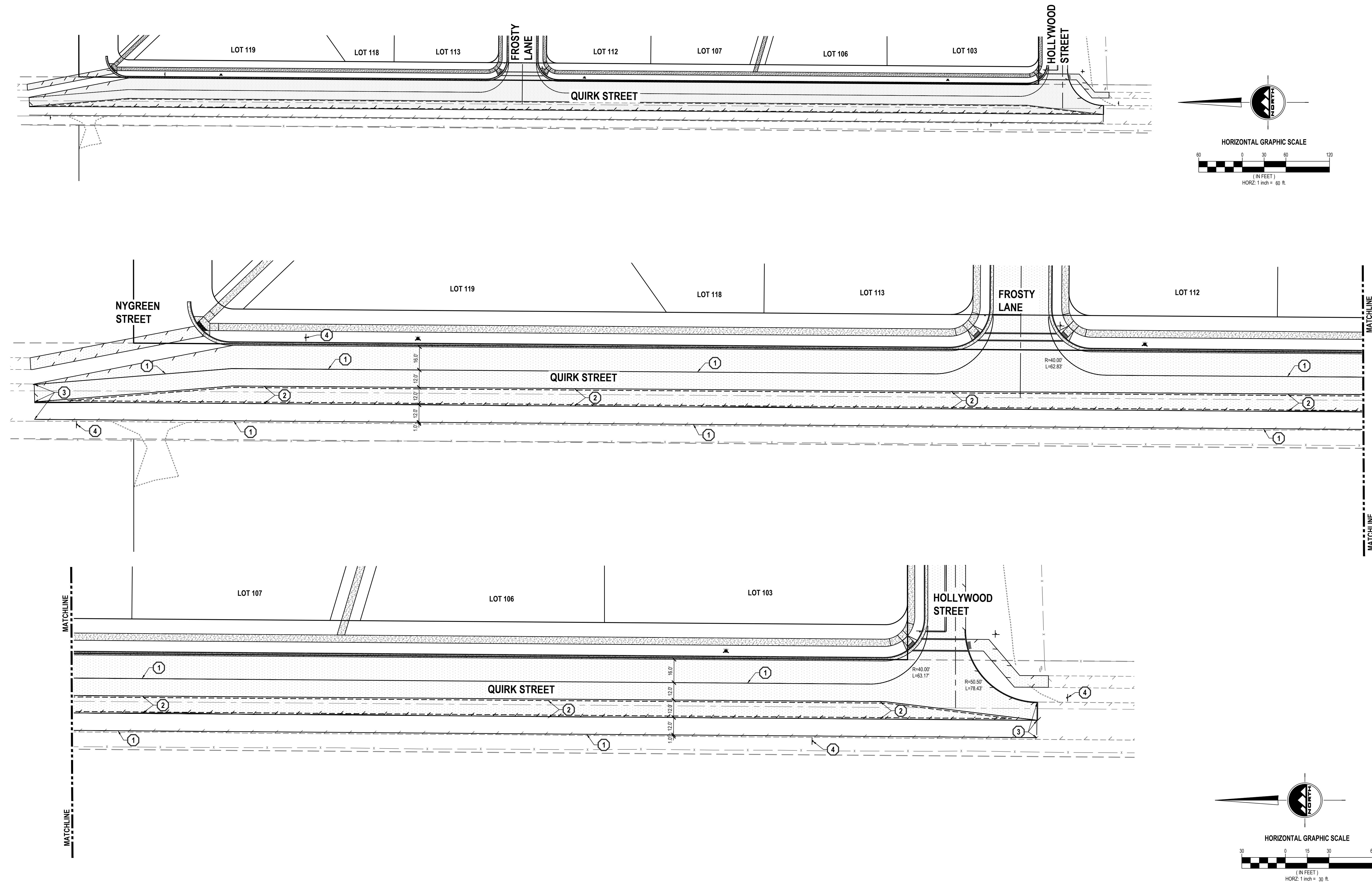
4" SOLID WHITE STRIPING
- 2

4" SOLID AND DASHED YELLOW STRIPING
- 3

END OF STRIPING
- 4

INSTALL HORIZONTAL ALIGNMENT SIGNS, MUTCD W4-1 AND W1-4R.

MAY CONTAIN KEYNOTES THAT ARE NOT USED ON THIS SHEET.



EN SIGN

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PRELIMINARY DESIGN

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GRANTSVILLE CITY, UTAH

For Review

11/21/2022 4:05:59 PM

SITE STRIPPING PLAN

PROJECT NUMBER  
T1216G

PRINT DATE  
2022-11-09

DRAWN BY  
C. CHILD

CHECKED BY  
J. CLEGG

PROJECT MANAGER  
C. CHILD

C-201



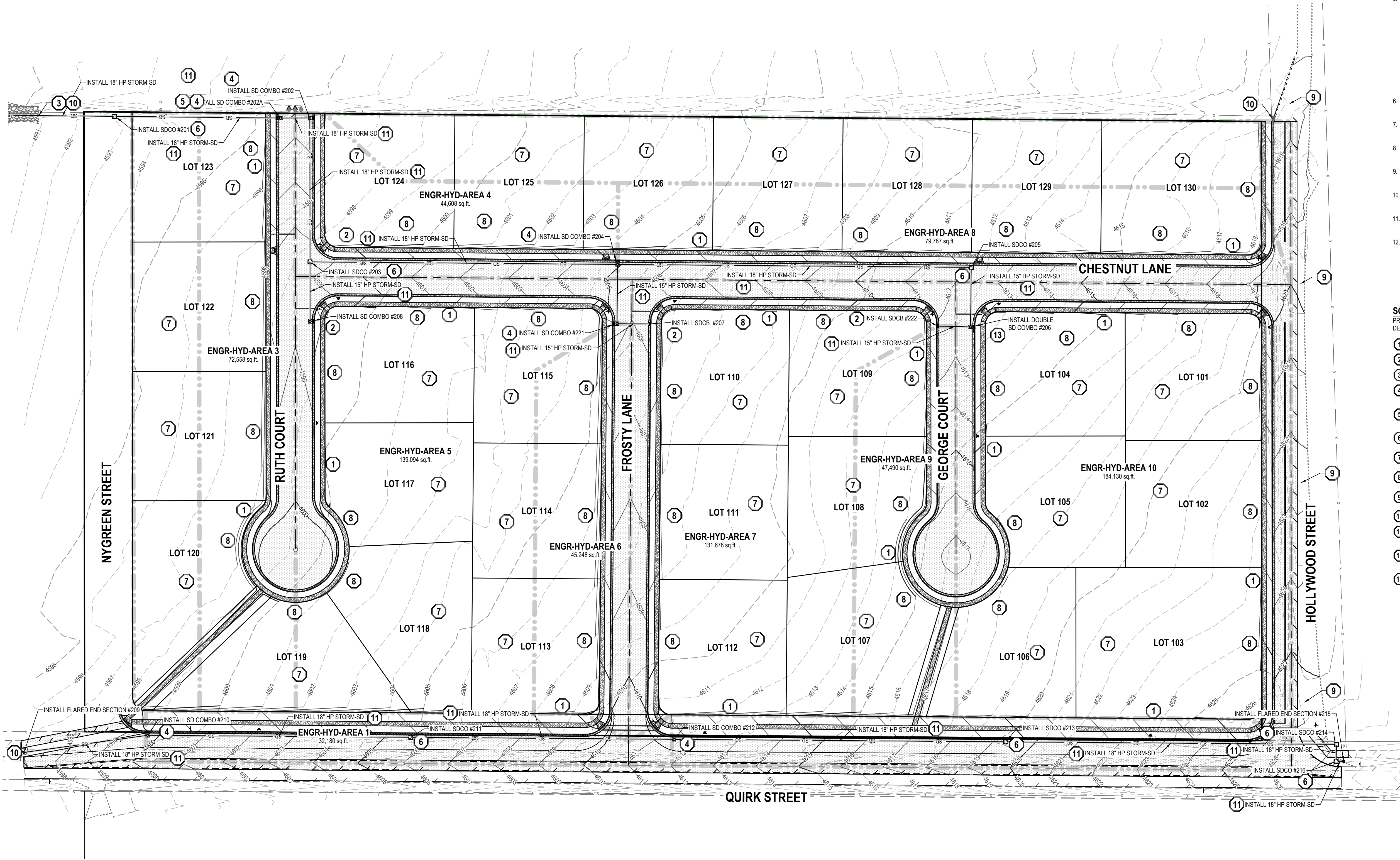
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ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2.

ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3.

ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
4.

THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
5.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
6.

ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
7.

ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
8.

THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
9.

NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
10.

THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
11.

GRADING PERMIT MUST BE OBTAINED FROM GRANTSVILLE CITY PRIOR TO DISTURBING ANY VEGETATION OR MOVING ANY SOIL. CONTACT THE CITY ENGINEER AT 435-884-1661.
12.

RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM GRANTSVILLE CITY PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY, OR ON ANY STATE ROADS.

- SCOPE OF WORK:
- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- 1

SLOPE TO EXISTING GROUND MAXIMUM 3:1 SLOPE.
- 2

CATCH BASIN PER CITY STANDARDS AND SPECIFICATIONS.
- 3

DAYLIGHT TO EXISTING GROUND.
- 4

COMBINATION INLET/CLEANOUT BOX PER CITY STANDARDS AND SPECIFICATIONS.
- 5

SNOT 18F OR APPROVED EQUAL. CUT PIPE FLUSH WITH STRUCTURAL WALL. ENSURE PIPE/STRUCTURE INTERFACE IS SMOOTH AND FREE OF DEBRIS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. INSTALL ON NORTH SIDE OF STORM DRAIN BOX.
- 6

CLEANOUT BOX PER APWA STANDARD PLAN NO. 330 AND SPECIFICATIONS.
- 7

INDIVIDUAL LOT OWNERS ARE REQUIRED TO GRADE LOTS TO PREVENT DRAINAGE ONTO NEIGHBORING PROPERTIES.
- 8

DRIVE WAY AND APPROACH TO BE INSTALLED BY LOT OWNER PER GRANTSVILLE CITY STANDARDS.
- 9

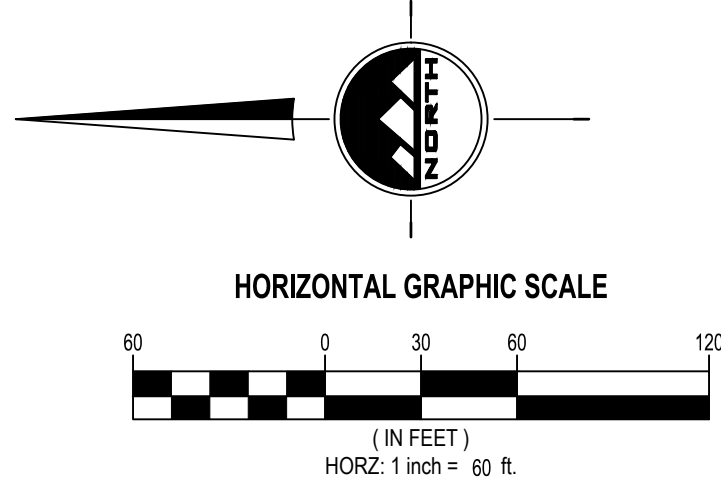
TRANSITION BETWEEN PROPOSED ASPHALT AND EXISTING GRAVEL ROAD WITH NEW GRAVEL SECTION PER DETAIL 10D-800.
- 10

OUTLET RIPRAP PER SHEET D-602.
- 11

INSTALLATION AND TRENCHING PER CITY STANDARDS AND SPECIFICATIONS. LENGTH AND SLOPE PER PLAN.
- 12

DUE TO THE ANGLE AT WHICH THE PIPES COME INTO THE STORM DRAIN BOXES AND SOFTWARE CONSTRAINTS, PIPES APPEAR TO BE COMING OUT CORNER. THIS IS NOT TRULY HOW THE PIPES ARE TO BE INSTALLED, THEY ARE TO BE INSTALLED IN THE SIDE OF STORM DRAIN BOXES.
- 13

DOUBLE COMBINATION INLET/CLEANOUT BOX PER CITY STANDARDS AND SPECIFICATIONS.
- NOTE: MAY CONTAIN KEYNOTES THAT ARE NOT USED ON THIS SHEET.



EN SIGN

THE STANDARD IN ENGINEERING

TOOELE

169 N. Main Street, Unit 1  
Tooele, UT. 84074  
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SALT LAKE CITY

Phone: 801.255.0529

LAYTON

Phone: 801.547.1100

CEDAR CITY

Phone: 435.865.1453

RICHFIELD

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FOR:  
THE COASSOLO GROUP, LLC  
PO BOX 190  
GRANTSVILLE CITY, UTAH 84029

CONTACT:  
TODD CASTAGNO  
PHONE: 435-849-1485

HOLLYWOOD CORNER SUBDIVISION

PRELIMINARY DESIGN

HOLLYWOOD STREET AND QUIRK STREET

GRANTSVILLE CITY, UTAH

For Review

11/21/2022 4:05:59 PM

GRADING PLAN

PROJECT NUMBER  
T1216G

PRINT DATE  
2022-11-16

DRAWN BY  
C. CHILD

CHECKED BY  
J. CLEGG

PROJECT MANAGER  
C. CHILD

C-300



Study Summary Statistics

No. of Lots	30
Roof SF/lot	2500
Drive SF/lot	1000
Total Lots Hardscape, SF	105000
Total Road Hardscape SF	159017
Total Hardscape SF	264017
Total Area, SF	674483
Landscaped Area, SF	610466
Weighted Average C	0.36

Retention Calculations (100-year storm)

Basin Tributary Area	874,483	SF
Runoff coefficient C:	0.361	
Basin Area	30,000	SF
Allowable Discharge Rate	-	cfs/acre
Total Discharge	-	cfs

Infiltration Rate per GSH Job No. 3218-002-21 0.67  
Rate = 45 minutes per inch = 1.33 in/hr

Time (min)	i (in/hr)	Cumulative Runoff to Basin (cf)	Infiltration (cf)	Required Storage (cf)
5	6.07	13,324	139	13,185
10	4.62	20,276	277	19,999
15	3.82	25,147	416	24,731
30	2.58	33,968	831	33,137
60	1.59	41,868	1,663	40,205
120	0.84	44,238	3,325	40,913
180	0.56	44,501	4,988	39,514
360	0.30	46,608	9,975	36,633
720	0.17	53,191	19,950	33,241
1440	0.10	61,354	39,900	21,454
		Required Detention:	40,913	
		Provided Detention:	1,540,000	

Catchment Calculations (10-year storm)

Time of Concentration: 30 min				
Rainfall Intensity I: 1.34 in/hr				
Mannings N: 0.013				
Catchment	Area (SF)	C	Flow (CFS)	Destination
1	32,180	0.361	0.361	210
2	38,086	0.361	0.437	212
3	72,558	0.361	0.813	202A
4	44,608	0.361	0.500	202
5	139,094	0.361	1.559	208
6	45,248	0.361	0.507	221
7	131,678	0.361	1.476	207
8	79,767	0.361	0.894	205
9	47,490	0.361	0.532	222
10	184,130	0.361	2.064	206

Pipe Design (10-year storm)

Pipe	Tributary Basins	Surface Flow (CFS)	Upstream Pipes	Pipe Flow (CFS)	Total Flow (CFS)	Pipe Slope	Diameter (IN)	Full Flow Capacity (CFS)	% of Full- Flow Capacity
222-206	9	0.532	None	0.000	0.532	0.85%	15	4.80	11.1%
205-206	10	2.084	222-206	0.532	2.596	0.86%	15	5.26	49.3%
204-205	-	0.000	205-206	2.596	2.596	1.74%	18	13.89	18.7%
207-221	7	1.476	None	0.000	1.476	0.52%	15	4.67	31.6%
204-221	6	0.507	207-221	1.476	1.983	1.23%	15	7.18	27.6%
203-204	8	0.894	204-205	4.579	5.473	1.94%	18	14.67	37.3%
203-208	5	1.559	None	0.000	1.559	0.50%	15	4.58	34.0%
202-203	4	0.500	203-208	7.032	7.532	1.85%	18	14.33	52.6%
202A-202	3	0.813	202-203	7.532	8.346	1.00%	18	10.53	79.2%
201-202A	-	0.000	202A-202	8.346	8.346	1.29%	18	11.96	69.6%
215-216	6	0.000	None	0.000	6.000	36.14%	18	63.32	9.5%
214-216	-	0.00	215-216	6.000	6.000	0.50%	18	7.45	80.6%
213-214	-	0.000	214-216	6.000	6.000	2.12%	18	15.34	39.1%
212-213	-	0.000	213-214	6.000	6.000	2.10%	18	15.26	39.3%
211-212	2	0.437	212-213	6.000	6.437	2.00%	18	14.90	43.2%
210-211	-	0.000	211-212	6.437	6.437	1.98%	18	14.82	43.4%
209-210	1	0.361	210-211	6.437	6.798	1.07%	18	10.90	62.4%



NOAA Atlas 14, Volume 1, Version 5  
Location name: Grantsville, Utah, USA\*  
Latitude: 40.5756°, Longitude: -112.4554°  
Elevation: 4427.09 ft\*\*  
\* source: ESRI Maps  
\*\* source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Sarah Dietz, Sarah Heim, Lillian Hiner, Kazungu Mataria, Deborah Martin, Sandra Pavlovic, Ibrahim Roy, Carl Trappak, Dale Umruh, Fenglin Yan, Michael Yekta, Tan Zhao, Geoffrey Bonner, Daniel Brewer, Li-Chuan Chen, Tye Parzybok, John Yatchew

NOAA, National Weather Service, Silver Spring, Maryland

PF\_tabular | PF\_graphical | Maps & aeriels

PF tabular

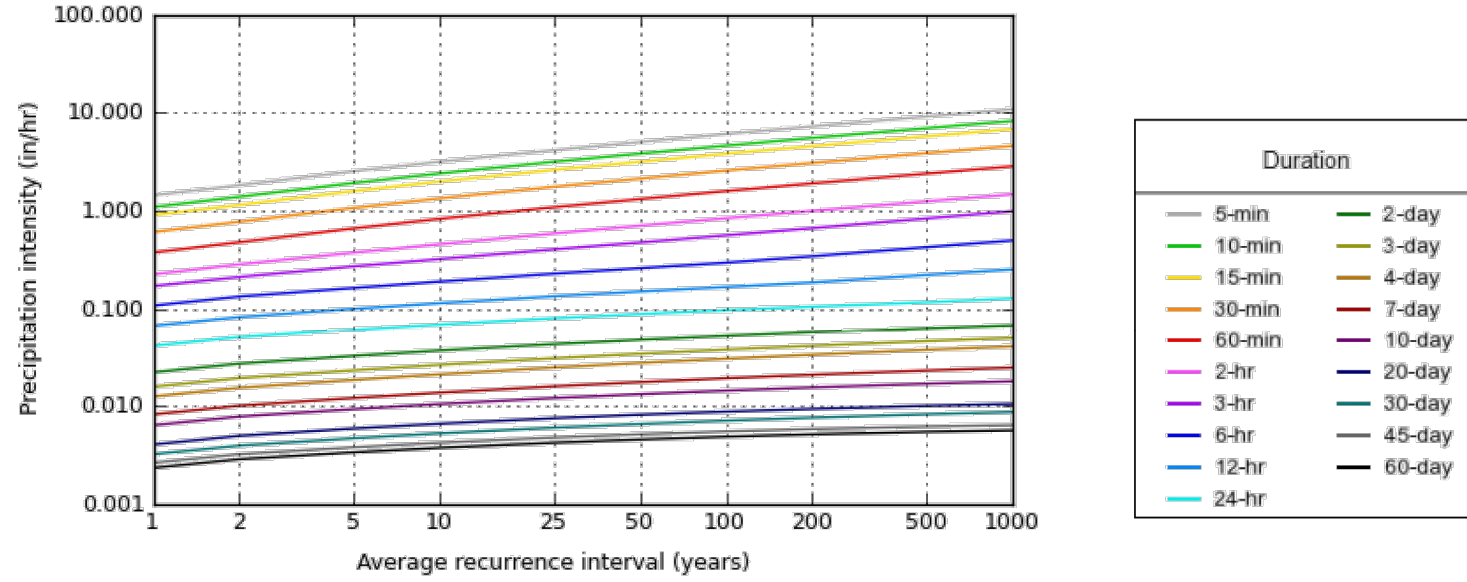
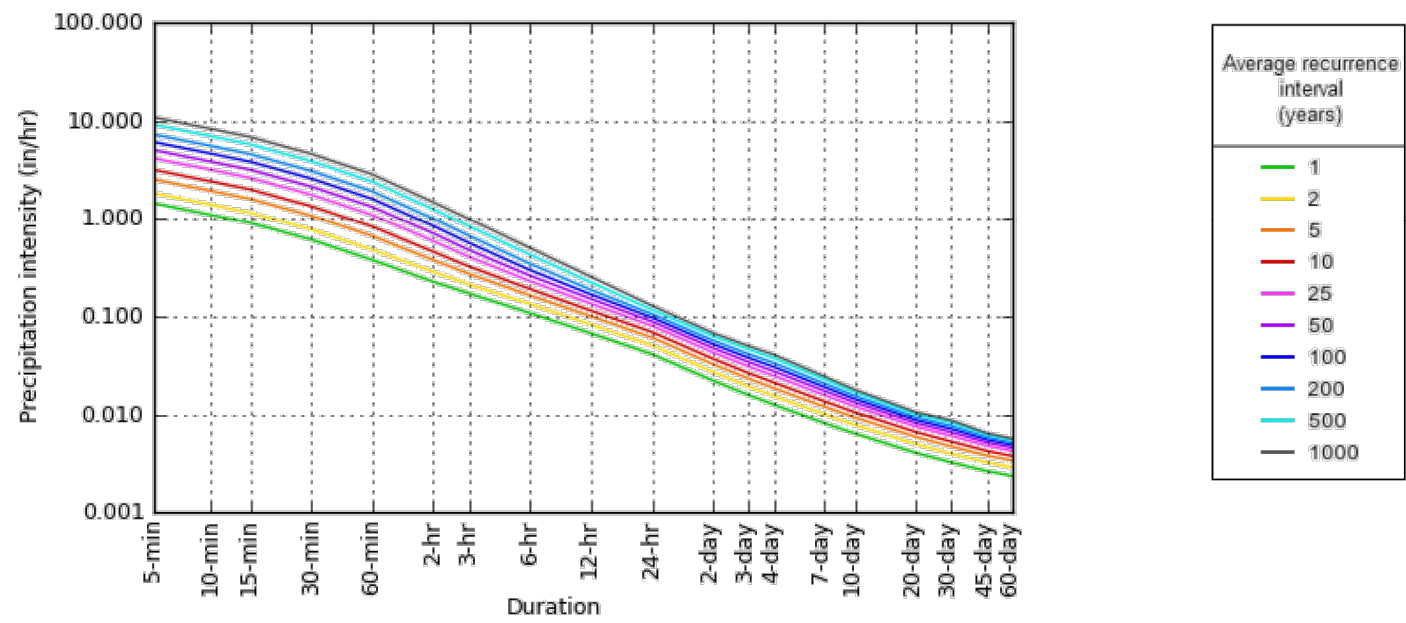
PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour) <sup>1</sup>										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	1.44 (1.26-1.63)	1.82 (1.63-2.09)	2.53 (2.24-2.88)	3.17 (2.78-3.59)	4.15 (3.58-4.74)	5.03 (4.22-5.78)	6.07 (4.98-7.07)	7.26 (5.76-8.59)	9.14 (6.91-11.0)	10.8 (7.88-13.3)
10-min	1.09 (0.960-1.24)	1.39 (1.24-1.59)	1.92 (1.70-2.19)	2.41 (2.12-2.73)	3.16 (2.72-3.61)	3.83 (3.22-4.40)	4.62 (3.79-5.38)	5.53 (4.38-6.54)	6.95 (5.26-8.38)	8.25 (6.00-10.1)
15-min	0.904 (0.796-1.02)	1.15 (1.02-1.32)	1.59 (1.41-1.81)	1.99 (1.75-2.26)	2.61 (2.25-2.98)	3.16 (2.66-3.64)	3.82 (3.13-4.44)	4.57 (3.62-5.40)	5.75 (4.34-6.92)	6.82 (4.96-8.36)
30-min	0.668 (0.534-0.890)	0.774 (0.690-0.896)	1.07 (0.950-1.22)	1.34 (1.18-1.52)	1.78 (1.52-2.00)	2.13 (1.79-2.45)	2.57 (2.12-2.98)	3.08 (2.44-3.84)	3.87 (3.24-4.66)	4.59 (3.34-5.83)
60-min	0.376 (0.331-0.427)	0.479 (0.427-0.548)	0.662 (0.588-0.754)	0.829 (0.729-0.941)	1.09 (0.938-1.24)	1.32 (1.11-1.52)	1.59 (1.30-1.85)	1.90 (1.51-2.25)	2.40 (1.81-2.89)	2.84 (2.07-3.48)
2-hr	0.225 (0.205-0.251)	0.285 (0.258-0.320)	0.375 (0.341-0.420)	0.456 (0.410-0.510)	0.588 (0.517-0.658)	0.706 (0.606-0.796)	0.840 (0.702-0.960)	0.998 (0.808-1.16)	1.25 (0.959-1.49)	1.47 (1.09-1.79)
3-hr	0.171 (0.158-0.189)	0.212 (0.194-0.235)	0.271 (0.250-0.299)	0.322 (0.293-0.355)	0.405 (0.361-0.445)	0.476 (0.416-0.536)	0.563 (0.481-0.646)	0.666 (0.554-0.781)	0.836 (0.662-1.00)	0.991 (0.751-1.20)
6-hr	0.108 (0.100-0.117)	0.134 (0.124-0.144)	0.163 (0.152-0.176)	0.190 (0.176-0.205)	0.229 (0.209-0.246)	0.260 (0.234-0.282)	0.296 (0.263-0.325)	0.344 (0.298-0.395)	0.426 (0.358-0.507)	0.499 (0.408-0.610)
12-hr	0.067 (0.063-0.072)	0.082 (0.077-0.089)	0.100 (0.094-0.108)	0.114 (0.106-0.123)	0.134 (0.124-0.146)	0.150 (0.138-0.164)	0.167 (0.151-0.184)	0.186 (0.165-0.207)	0.222 (0.192-0.253)	0.253 (0.214-0.306)
24-hr	0.041 (0.038-0.044)	0.051 (0.047-0.055)	0.061 (0.056-0.066)	0.069 (0.064-0.075)	0.080 (0.074-0.087)	0.088 (0.081-0.096)	0.097 (0.089-0.105)	0.105 (0.096-0.114)	0.117 (0.106-0.128)	0.128 (0.112-0.155)
2-day	0.022 (0.021-0.024)	0.027 (0.025-0.029)	0.033 (0.030-0.035)	0.037 (0.034-0.040)	0.043 (0.040-0.046)	0.047 (0.044-0.051)	0.052 (0.048-0.056)	0.057 (0.052-0.061)	0.063 (0.057-0.068)	0.068 (0.061-0.078)
3-day	0.016 (0.015-0.017)	0.019 (0.018-0.021)	0.023 (0.022-0.025)	0.026 (0.025-0.028)	0.031 (0.029-0.033)	0.034 (0.032-0.037)	0.038 (0.035-0.041)	0.041 (0.038-0.045)	0.046 (0.042-0.050)	0.050 (0.045-0.056)
4-day	0.013 (0.012-0.014)	0.015 (0.014-0.017)	0.018 (0.017-0.020)	0.021 (0.020-0.023)	0.025 (0.023-0.027)	0.028 (0.025-0.030)	0.030 (0.028-0.033)	0.033 (0.031-0.036)	0.037 (0.034-0.041)	0.041 (0.036-0.044)
7-day	0.008 (0.006-0.009)	0.010 (0.009-0.011)	0.012 (0.011-0.013)	0.014 (0.013-0.015)	0.016 (0.015-0.017)	0.018 (0.016-0.019)	0.019 (0.018-0.021)	0.021 (0.019-0.022)	0.023 (0.021-0.025)	0.025 (0.022-0.027)
10-day	0.006 (0.006-0.007)	0.008 (0.007-0.008)	0.009 (0.009-0.010)	0.011 (0.010-0.011)	0.012 (0.011-0.013)	0.013 (0.012-0.014)	0.014 (0.013-0.015)	0.015 (0.014-0.017)	0.017 (0.016-0.018)	0.018 (0.016-0.019)
20-day	0.004 (0.004-0.004)	0.005 (0.005-0.005)	0.006 (0.006-0.006)	0.007 (0.007-0.008)	0.008 (0.008-0.009)	0.008 (0.008-0.009)	0.009 (0.009-0.010)	0.009 (0.009-0.010)	0.010 (0.009-0.011)	0.011 (0.010-0.011)
30-day	0.003 (0.003-0.003)	0.004 (0.004-0.004)	0.005 (0.004-0.005)	0.005 (0.005-0.006)	0.006 (0.006-0.006)	0.007 (0.007-0.007)	0.007 (0.007-0.008)	0.008 (0.008-0.008)	0.008 (0.008-0.009)	0.009 (0.008-0.009)
45-day	0.003 (0.002-0.003)	0.003 (0.003-0.003)	0.004 (0.004-0.004)	0.004 (0.004-0.005)	0.005 (0.005-0.005)	0.005 (0.005-0.005)	0.006 (0.006-0.006)	0.006 (0.006-0.006)	0.006 (0.006-0.007)	0.006 (0.006-0.007)
60-day	0.002 (0.002-0.003)	0.003 (0.003-0.003)	0.003 (0.003-0.004)	0.004 (0.004-0.004)	0.004 (0.004-0.004)	0.004 (0.004-0.005)	0.005 (0.005-0.005)	0.005 (0.005-0.005)	0.005 (0.005-0.006)	0.006 (0.005-0.006)

<sup>1</sup> Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values.  
Please refer to NOAA Atlas 14 document for more information.

[Back to Top](#)

PF graphical

PDS-based intensity-duration-frequency (IDF) curves  
Latitude: 40.5756°, Longitude: -112.4554°



NOAA Atlas 14, Volume 1, Version 5

Created (GMT): Thu Jun 16 18:53:41 2022

[Back to Top](#)

Maps & aeriels

Small scale terrain

The Coassolo Group, LLC  
Job No. 3511-001-22  
Geotechnical Study - Proposed Hollywood Corner Subdivision  
May 16, 2022



The groundwater measurements presented are conditions at the time of the field exploration and may not be representative of other times or locations. Groundwater levels may vary seasonally and with precipitation, as well as other factors including irrigation. Evaluation of these factors is beyond the scope of this study. Groundwater levels may, therefore, be at shallower or deeper depths than those measured during this study, including during construction and over the life of the structure.

The extent and nature of any dewatering required during construction will be dependent on the actual groundwater conditions prevalent at the time of construction and the effectiveness of construction drainage to prevent run-off into open excavations.

5.3.1 Stormwater Percolation Test

A stormwater percolation test was performed at a depth of approximately 5 feet in the representative natural sandy clay soils at Test Pit TP-6. The measured percolation rate was 45 minutes per inch. This design percolation rate should be considered typical for the soils at the site.

5.3.2 Subdrain

The residential structures may have full or partial depth basements. Structures with subgrade levels will require subdrains. A subdrain system, if utilized, shall consist of a perimeter foundation/chimney subdrain and an under-slab subdrain. The perimeter subdrain would consist of a 4-inch diameter slotted or perforated PVC or other durable material pipe installed with an invert at least 18 inches below the top of the lowest adjacent slab. The drain pipe shall slope at least 0.25 percent to a suitable point of gravity discharge, such as an inside or outside sump. The 4-inch diameter slotted PVC pipe shall be encased in a one-half to three-quarter-inch clean gap-graded gravel extending 2 inches below laterally and continuously up at least 12 inches above the top of the lowest adjacent slab. The gravels must be separated from the adjacent soils with a geotextile fabric, such as Mirafi 140N or equivalent. Extending up from the top of the foundation subdrain to within 1 foot of final grade shall be a synthetic drain board or a zone of "free-draining" permeable fill, also separated from all adjacent soils with a geotextile fabric. Prior to the placement of the perimeter foundation subdrain, the outside subgrade walls shall be appropriately waterproofed.

In addition to the perimeter foundation/chimney subdrain, an under-slab drain is recommended. This shall consist of a minimum of 8 inches of "free-draining" one-half to three-quarter inch minus clean gap-graded gravel placed over properly prepared suitable natural subgrade soils and/or structural fill extending to suitable natural soil. The "free-draining" gravel shall be hydraulically connected to the perimeter drain. In addition, we recommend 4-inch diameter slotted PVC pipes be installed laterally and spaced approximately 50 feet apart beneath the below-grade level slab of the structure with an invert elevation of at least 12 inches below the top of the lowest adjacent slab. This subdrain would be similarly encased in the one-half to three-quarter-inch clean gap-graded gravel, separated from the natural soils with a geotextile fabric, extending up to the 6-inch layer of gravel underneath the at-grade slab. This subdrain line would discharge to the perimeter subdrain.



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Phone: 435.896.2983

[WWW.ENSIGNENG.COM](http://WWW.ENSIGNENG.COM)

FOR:  
THE COASSOLO GROUP, LLC  
PO BOX 190  
GRANTSVILLE CITY, UTAH 84029

CONTACT:  
TODD CASTAGNO  
PHONE: 435-849-1485

**HOLLYWOOD CORNER SUBDIVISION**  
**PRELIMINARY DESIGN**  
**HOLLYWOOD STREET AND QUIRK STREET**  
**GRANTSVILLE CITY, UTAH**

**For Review**  
11/21/2022 4:05:59 PM

**DRAINAGE**  
**CALCULATIONS**

PROJECT NUMBER  
T1216G  
DRAWN BY  
C. CHILD  
PROJECT MANAGER  
C. CHILD  
PRINT DATE  
2022-11-09  
CHECKED BY  
J. CLEGG

**C-301**



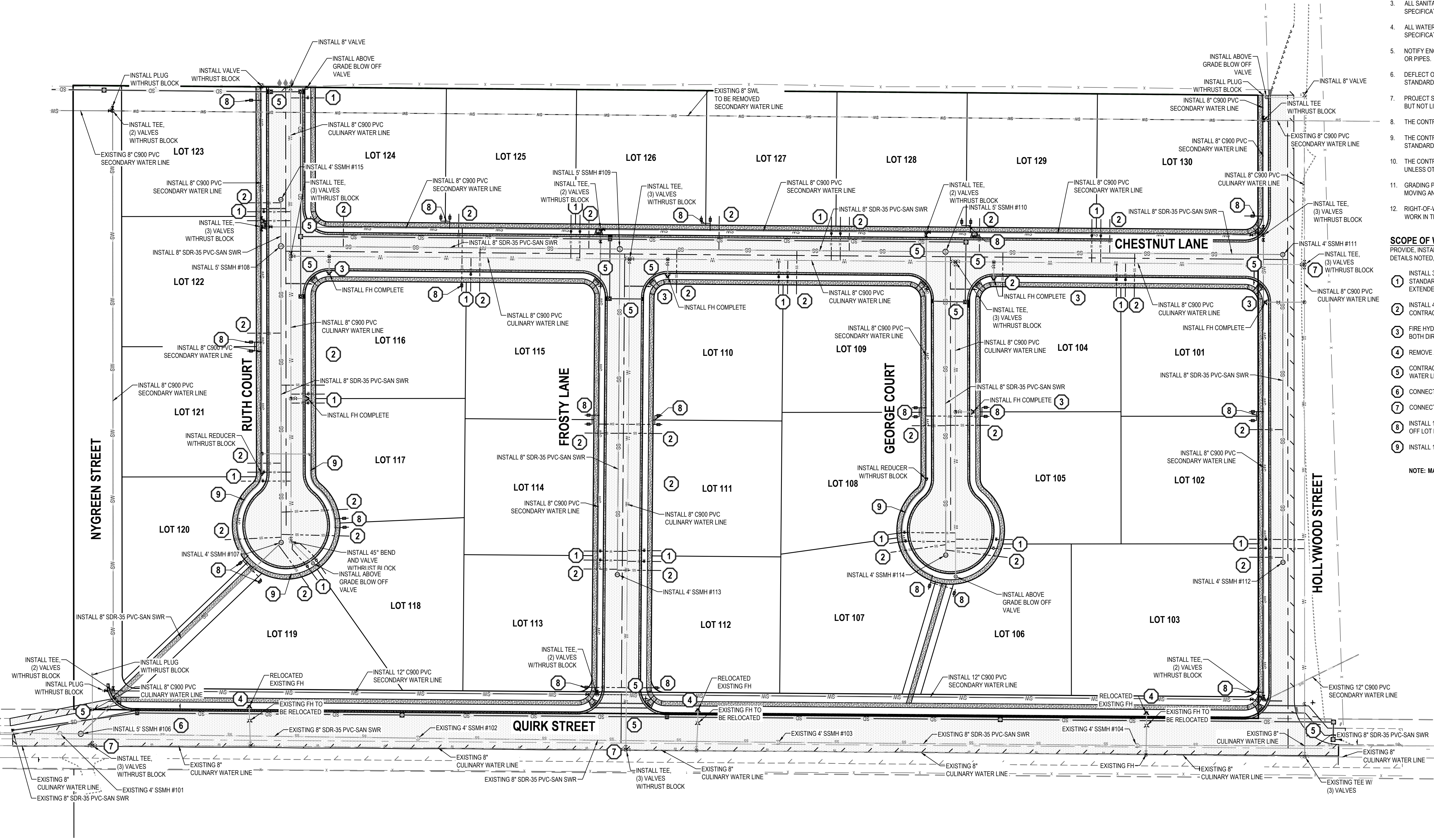
811

Know what's below.  
Call before you dig.

CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

BENCHMARK

NORTH QUARTER CORNER OF SECTION 7,  
TOWNSHIP 3 SOUTH, RANGE 5 WEST  
SALT LAKE BASE AND MERIDIAN  
(2.5" BRASS TOOLEE COUNTY SURVEY  
MONUMENT ON 4" PIPE, DATED 1986)  
ELEV = 4599.95' (USED ELEVATION)  
4414.85' (TRUE ELEVATION)



- GENERAL NOTES
1.

ALL WORK TO COMPLY WITH THE GRANTSVILLE CITY'S STANDARDS AND SPECIFICATIONS.
2.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3.

ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GRANTSVILLE CITY STANDARD PLANS AND SPECIFICATIONS.
4.

ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GRANTSVILLE CITY OR APWA STANDARD PLANS AND SPECIFICATIONS.
5.

NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
6.

DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GRANTSVILLE CITY'S STANDARDS AND SPECIFICATIONS.
7.

PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
8.

THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
9.

THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER GRANTSVILLE CITY'S STANDARDS AND SPECIFICATIONS.
10.

THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
11.

GRADING PERMIT MUST BE OBTAINED FROM GRANTSVILLE CITY PRIOR TO DISTURBING ANY VEGETATION OR MOVING ANY SOIL. CONTACT THE CITY ENGINEER AT 435-884-1681.
12.

RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM GRANTSVILLE CITY PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY, OR ON ANY STATE ROADS.

- SCOPE OF WORK:
- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1

INSTALL 3/4" HDPE SDR 9 CULINARY WATER SERVICE LATERAL AND 3/4" METER SET PER GRANTSVILLE CITY STANDARD PLAN, OUTSIDE OF METER LOCATED NO MORE THEN 5' FROM LOT CORNER, LATERAL TO BE EXTENDED 15' FROM BACKSIDE OF SIDEWALK.
- 2

INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.0% MINIMUM SLOPE PER APWA PLAN #431, CONTRACTOR TO MAINTAIN 18" OF SEPARATION BETWEEN INTERSECTING PIPE LINES. TYPICAL.
- 3

FIRE HYDRANT ASSEMBLY COMPLETE PER CITY STANDARDS AND SPECIFICATIONS, PAINT CURB RED 15' BOTH DIRECTIONS FROM HYDRANT.
- 4

REMOVE AND RELOCATE EXISTING FIRE HYDRANT.
- 5

CONTRACTOR TO MAINTAIN 18" OF SEPARATION BETWEEN INTERSECTING PIPE LINES. LOOP CULINARY WATER LINE PER GRANTSVILLE CITY AND APWA PLAN #543.1, #543.2, #562 STANDARDS AND SPECIFICATIONS.
- 6

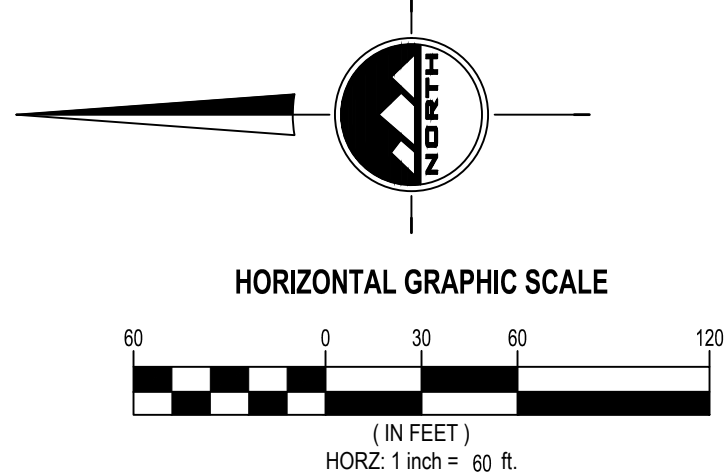
CONNECT TO EXISTING SEWER MAIN PER GRANTSVILLE CITY'S STANDARDS AND SPECIFICATIONS.
- 7

CONNECT TO EXISTING WATER MAIN PER GRANTSVILLE CITY'S STANDARDS AND SPECIFICATIONS.
- 8

INSTALL 1-1/2" SECONDARY WATER LATERAL, WITH 1" SECONDARY WATER SERVICE LATERAL, APPROX. 3' OFF LOT LINES, AND LOCATED AT OPPOSITE LOT CORNER AS CULINARY WATER SERVICE LATERAL, TYPICAL.
- 9

INSTALL 1-1/2" SECONDARY WATER LATERAL, TYPICAL.

NOTE: MAY CONTAIN KEYNOTES THAT ARE NOT USED ON THIS SHEET.



EN SIGN

THE STANDARD IN ENGINEERING

TOOLEE

169 N. Main Street, Unit 1  
Tooele, UT. 84074  
Phone: 435.843.3590

SALT LAKE CITY

Phone: 801.255.0529

LAYTON

Phone: 801.547.1100

CEDAR CITY

Phone: 435.865.1453

RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:  
THE COASSOLO GROUP, LLC  
PO BOX 190  
GRANTSVILLE CITY, UTAH 84029  
CONTACT:  
TODD CASTAGNO  
PHONE: 435-849-1485

HOLLYWOOD CORNER SUBDIVISION

PRELIMINARY DESIGN

HOLLYWOOD STREET AND QUIRK STREET

GRANTSVILLE CITY, UTAH

For Review

11/21/2022 4:05:59 PM

UTILITY PLAN

PROJECT NUMBER  
T1216G  
PRINT DATE  
2022-11-09  
DRAWN BY  
C. CHILD  
CHECKED BY  
J. CLEGG  
PROJECT MANAGER  
C. CHILD

C-400



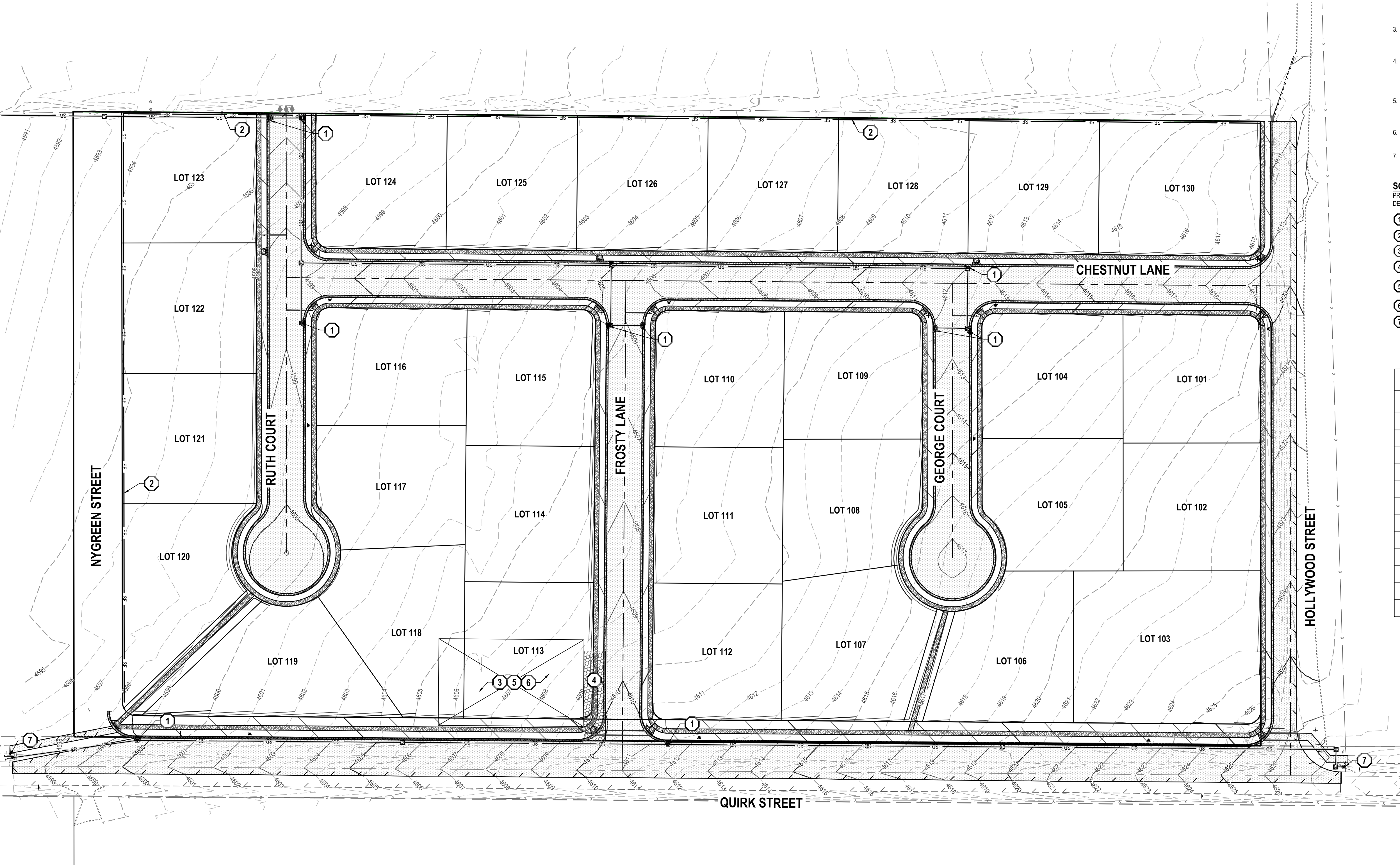
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PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

BENCHMARK

NORTH QUARTER CORNER OF SECTION 7,  
TOWNSHIP 3 SOUTH, RANGE 5 WEST  
SALT LAKE BASE AND MERIDIAN  
(2.5" BRASS TOOEE COUNTY SURVEY  
MONUMENT ON 4" PIPE, DATED 1986)  
ELEV = 4599.95' (USED ELEVATION)  
4414.85' (TRUE ELEVATION)



- GENERAL NOTES
1. THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMPs) AS NECESSARY. MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.

2. DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

3. RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.

4. DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.

5. VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMPs TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.

6. NOT ALL POSSIBLE BMPs HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.

7. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.
- SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. INLET PROTECTION PER DETAIL 4/D-600.

2. SILT FENCE PER DETAIL 5/D-600.

3. PORTABLE TOILET PER DETAIL 7/D-600.

4. VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 6/D-600.

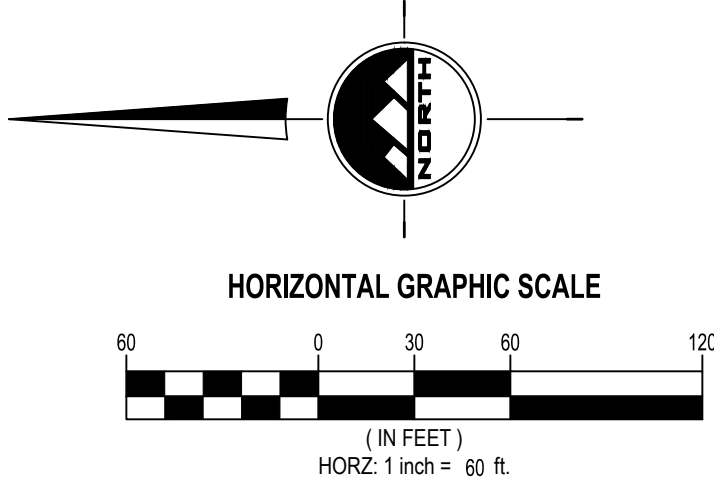
5. SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.

6. SUGGESTED STOCKPILE AREA.

7. STRAW WATTLE PER DETAIL 9/D-600.

NOTE: MAY CONTAIN KEYNOTES THAT ARE NOT USED ON THIS SHEET.

REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			



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TODD CASTAGNO  
PHONE: 435-849-1485

HOLLYWOOD CORNER SUBDIVISION

PRELIMINARY DESIGN

HOLLYWOOD STREET AND QUIRK STREET

GRANTSVILLE CITY, UTAH

For Review

11/21/2022 4:06:00 PM

EROSION CONTROL PLAN

PROJECT NUMBER  
T1216G

PRINT DATE  
2022-11-09

DRAWN BY  
C. CHILD

CHECKED BY  
J. CLEGG

PROJECT MANAGER  
C. CHILD

C-500



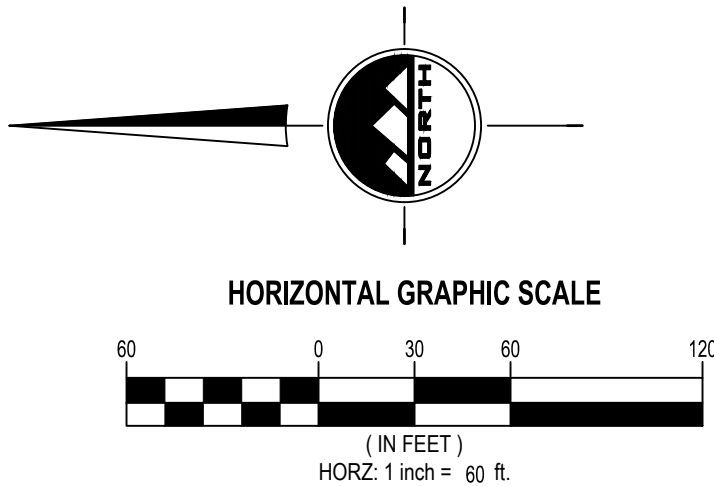
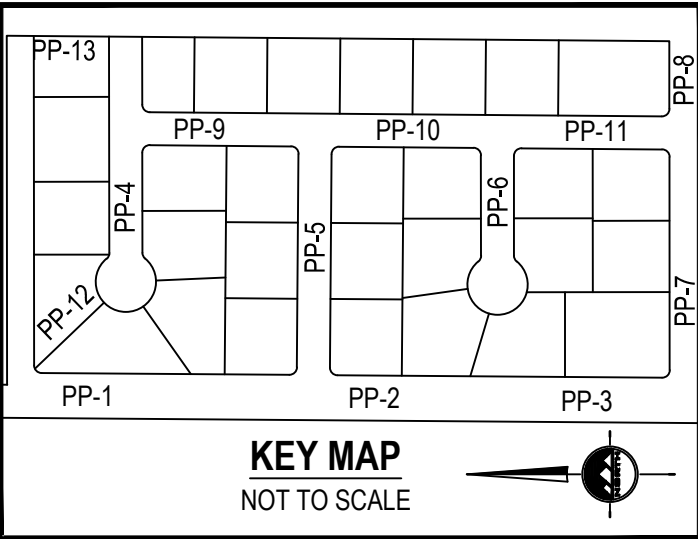
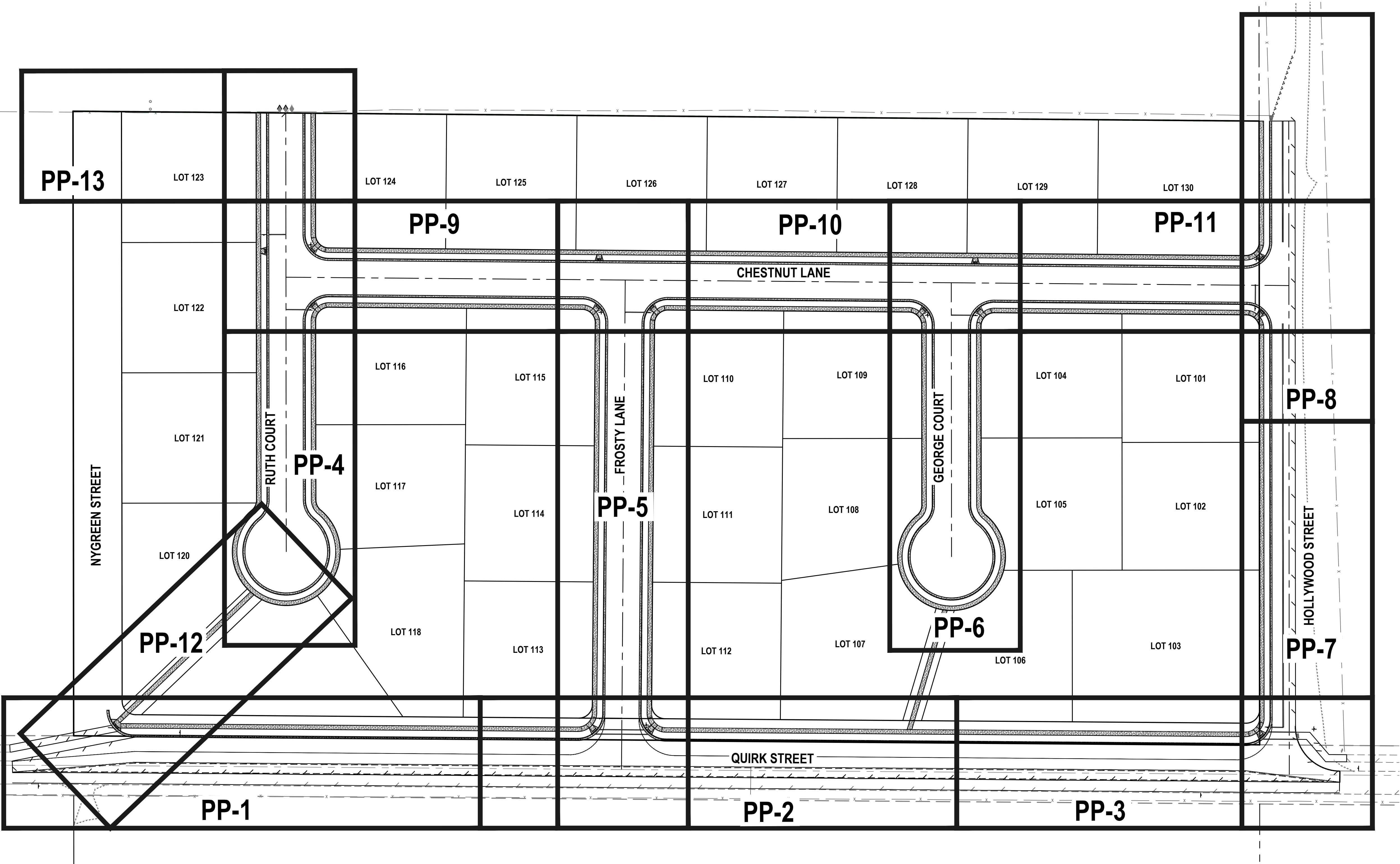
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BENCHMARK

NORTH QUARTER CORNER OF SECTION 7,  
TOWNSHIP 3 SOUTH, RANGE 5 WEST  
SALT LAKE BASE AND MERIDIAN  
(2.5" BRASS TOOEE COUNTY SURVEY  
MONUMENT ON 4" PIPE, DATED 1986)  
ELEV = 4599.95' (USED ELEVATION)  
4414.85' (TRUE ELEVATION)



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PRELIMINARY DESIGN

HOLLYWOOD STREET AND QUIRK STREET

GRANTSVILLE CITY, UTAH

For Review  
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PLAN AND PROFILES

PROJECT NUMBER  
T1216G

PRINT DATE  
2022-07-06

DRAWN BY  
C. CHILD

CHECKED BY  
J. CLEGG

PROJECT MANAGER  
C. CHILD

PP-0



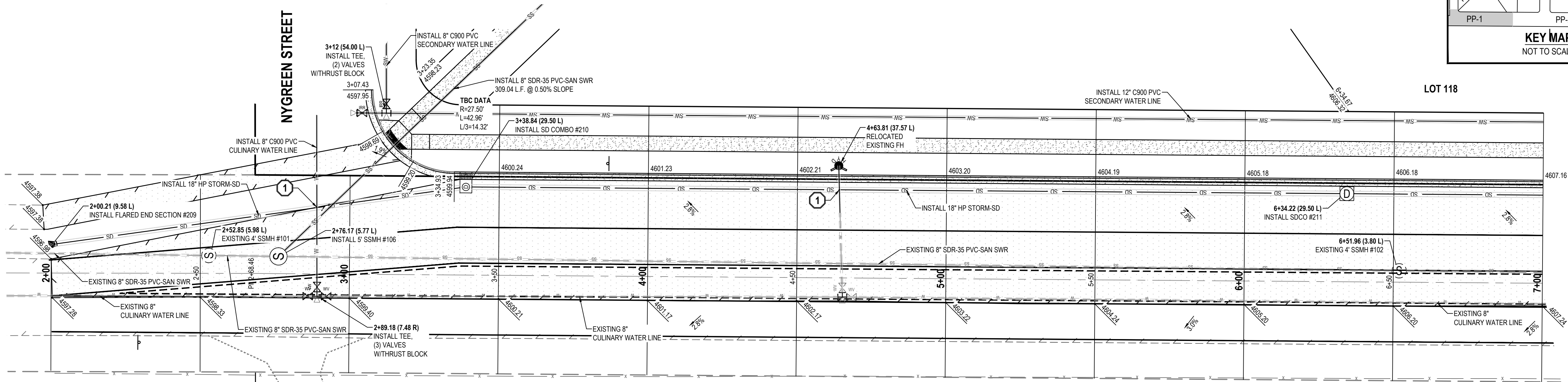
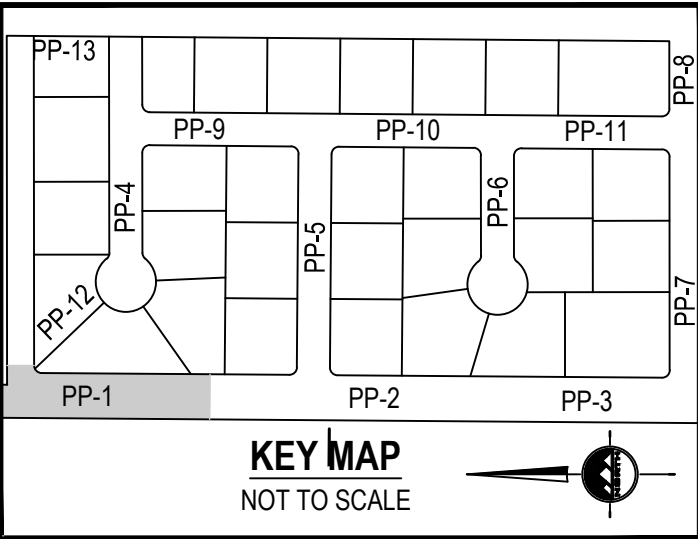
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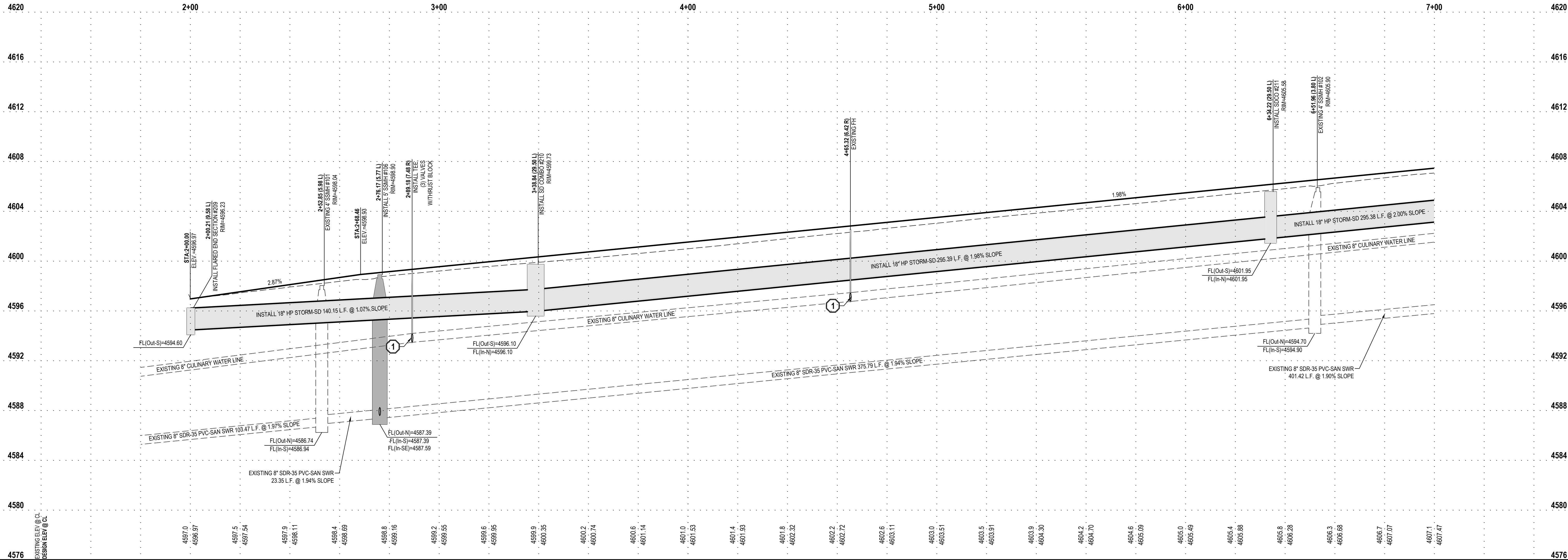
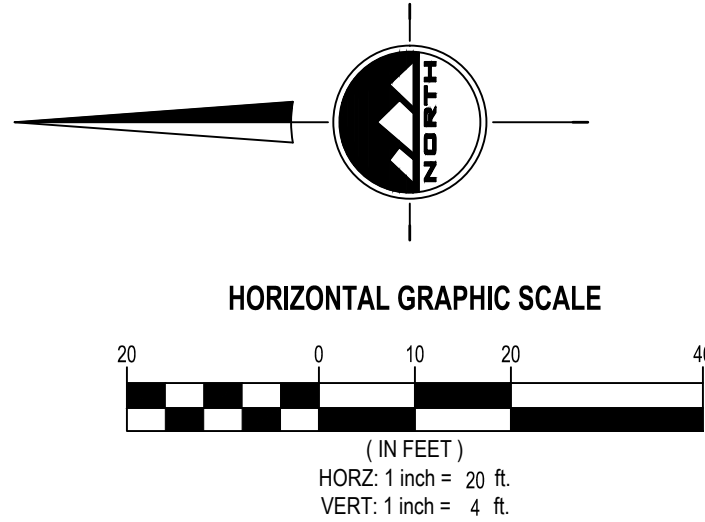
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SCOPE OF WORK:  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER  
THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS  
NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:  
1 CONTRACTOR TO MAINTAIN 18" OF SEPARATION BETWEEN INTERSECTING  
PIPE LINES. LOOP CULINARY WATER LINE PER GRANTSVILLE CITY AND APWA  
PLAN #543.1, #543.2, #562 STANDARDS AND SPECIFICATIONS.



QUIRK STREET



HOLLYWOOD CORNER SUBDIVISION  
PRELIMINARY DESIGN  
HOLLYWOOD STREET AND QUIRK STREET  
GRANTSVILLE CITY, UTAH

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PRINT DATE  
2022-07-06  
DRAWN BY  
C. CHILD  
CHECKED BY  
J. CLEGG  
PROJECT MANAGER  
C. CHILD

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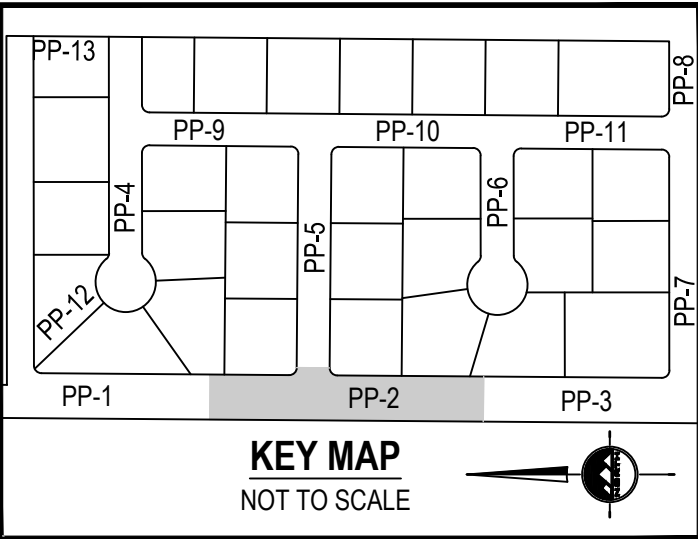
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CEDAR CITY

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Phone: 435.896.2983

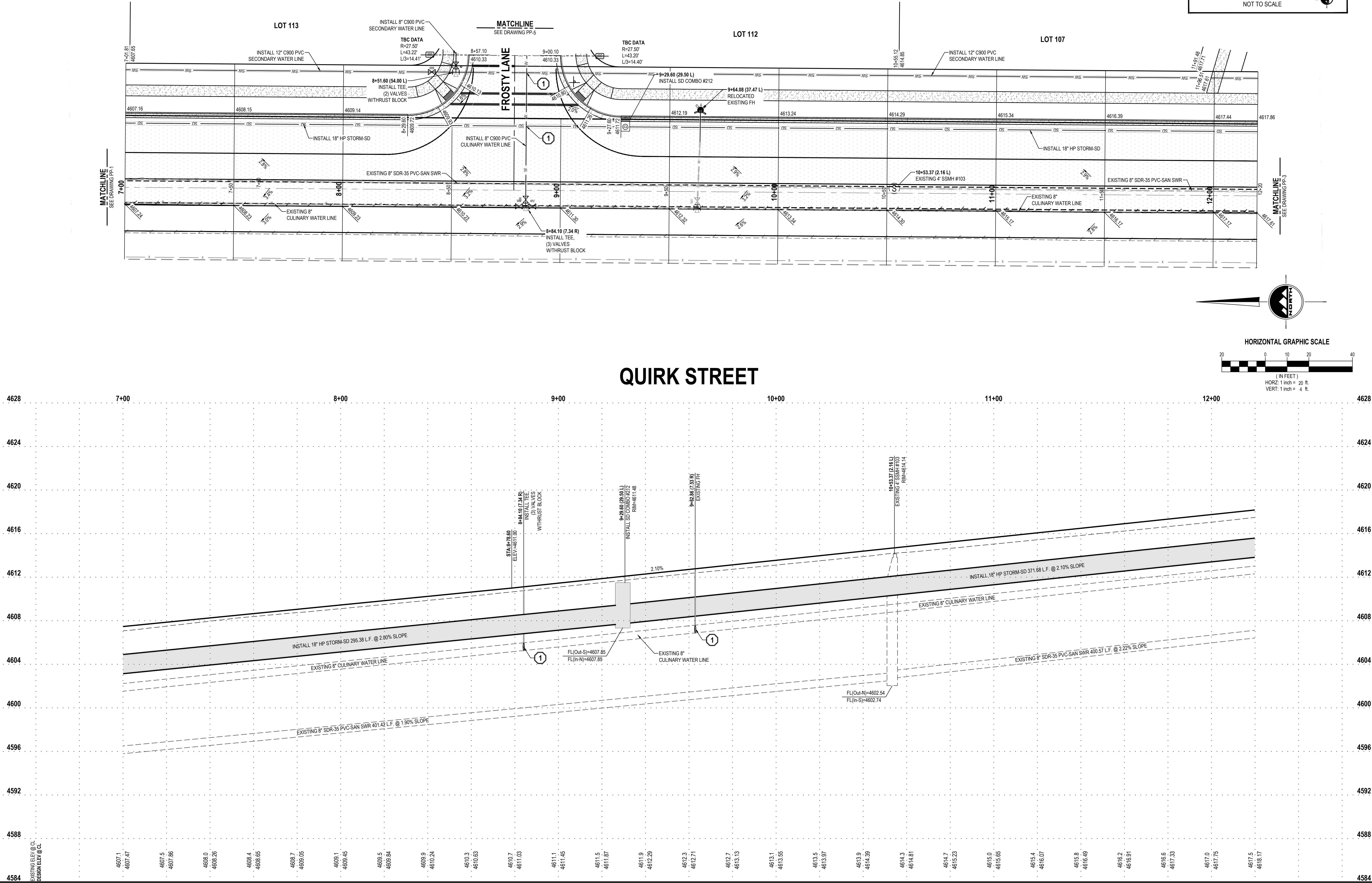
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FOR:  
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CONTACT:  
TODD CASTAGNO  
PHONE: 435-849-1485

**HOLLYWOOD CORNER SUBDIVISION  
PRELIMINARY DESIGN  
HOLLYWOOD STREET AND QUIRK STREET  
GRANTSVILLE CITY, UTAH**

**For Review**  
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**PLAN AND PROFILES**

PROJECT NUMBER  
T1216G  
PRINT DATE  
2022-06-30  
DRAWN BY  
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CHECKED BY  
J. CLEGG  
PROJECT MANAGER  
C. CHILD





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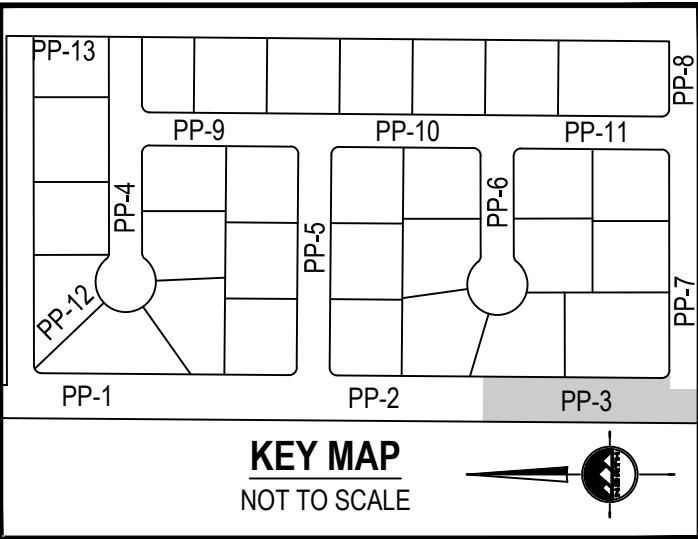
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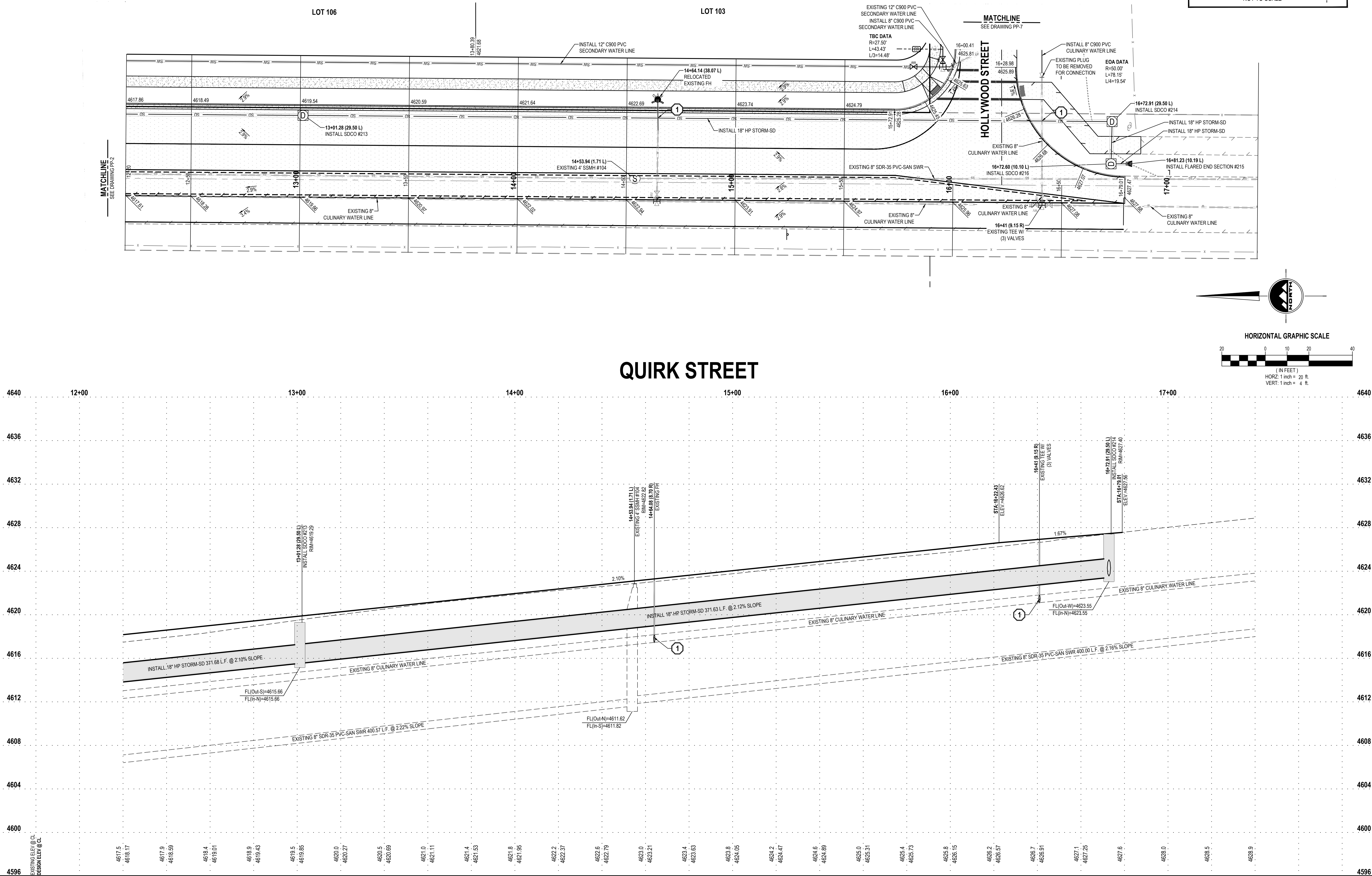
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PRELIMINARY DESIGN  
HOLLYWOOD STREET AND QUIRK STREET  
GRANTSVILLE CITY, UTAH**

**For Review**  
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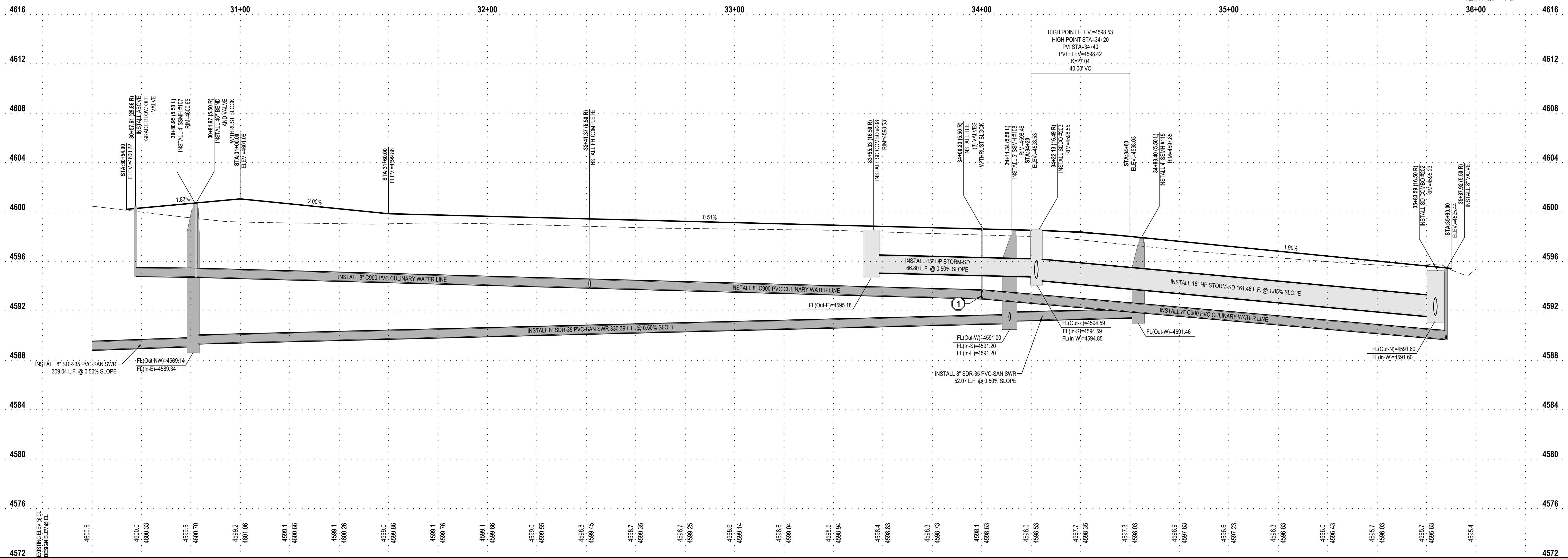
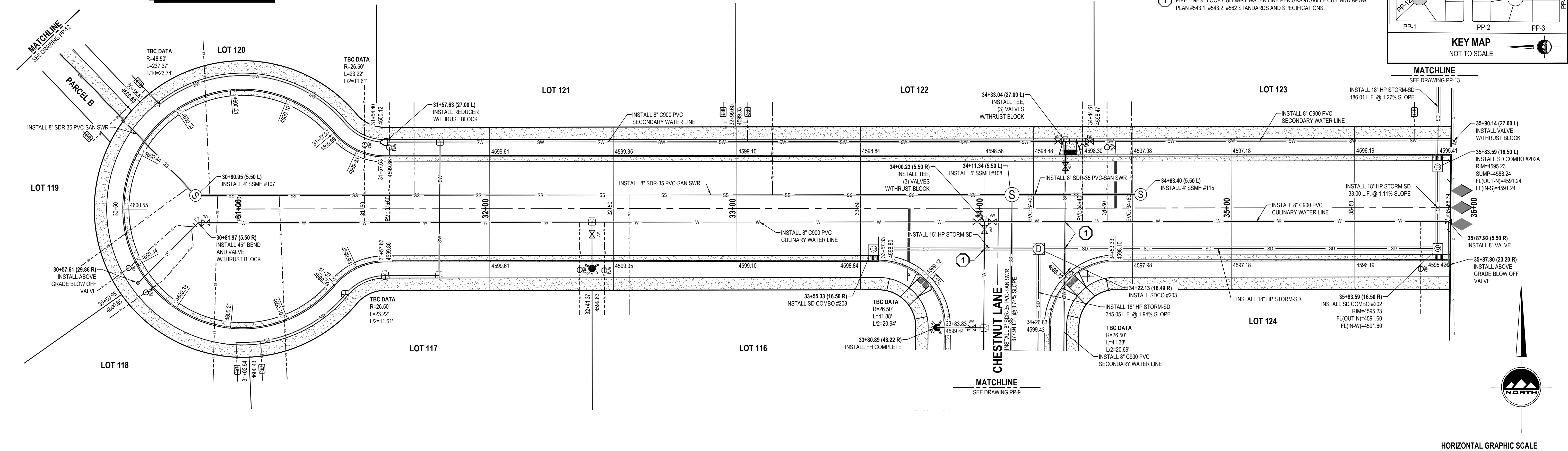
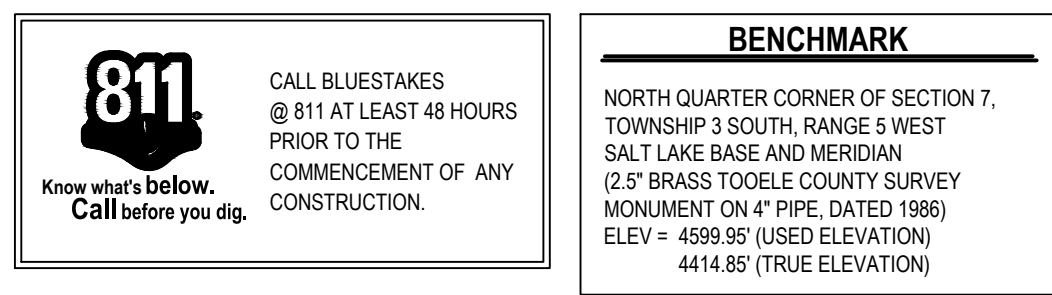
PLAN AND PROFILES

PROJECT NUMBER  
T1216G  
PRINT DATE  
2022-07-01  
DRAWN BY  
C. CHILD  
CHECKED BY  
J. CLEGG  
PROJECT MANAGER  
C. CHILD

PP-3







**HOLLYWOOD CORNER SUBDIVISION**  
**PRELIMINARY DESIGN**  
**HOLLYWOOD STREET AND QUIRK STREET**  
**GRANTSVILLE CITY, UTAH**

**For Review**  
11/21/2022 4:06:00 PM

## PLAN AND PROFILES

PROJECT NUMBER	PRINT DATE
T1216G	2022-08-31
DRAWN BY	CHECKED BY
C. CHILD	J. CLEGG
PROJECT MANAGER	
C. CHILD	

**PP-4**



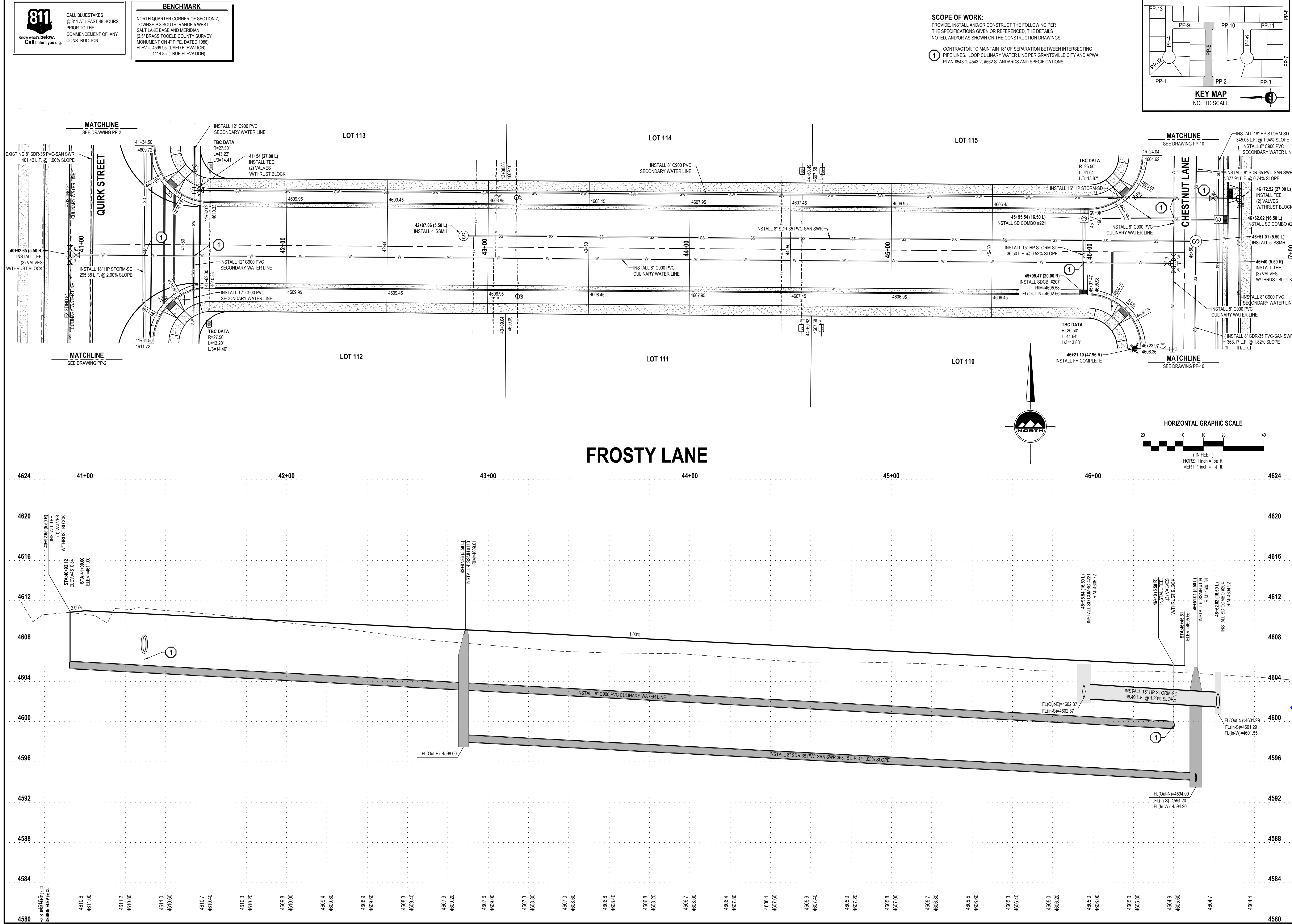
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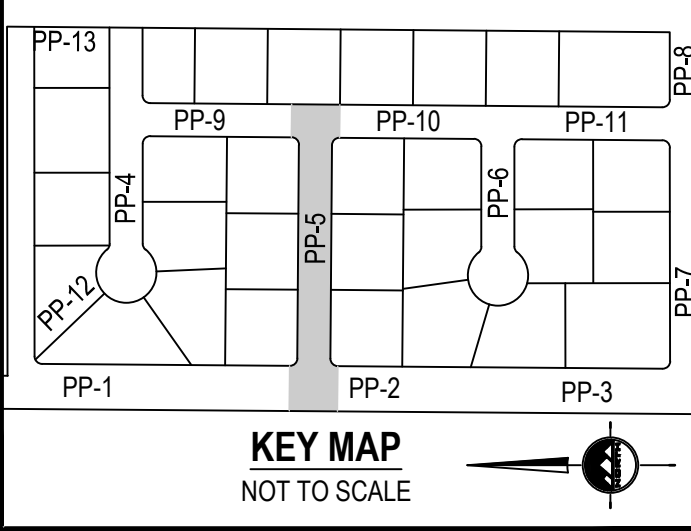
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BENCHMARK

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ELEV = 4599.95' (USED ELEVATION)  
4414.85' (TRUE ELEVATION)



**SCOPE OF WORK:**  
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EN SIGN

THE STANDARD IN ENGINEERING

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PO BOX 190  
GRANTSVILLE CITY, UTAH 84029

CONTACT:  
TODD CASTAGNO  
PHONE: 435-849-1485

HOLLYWOOD CORNER SUBDIVISION  
PRELIMINARY DESIGN  
HOLLYWOOD STREET AND QUIRK STREET  
GRANTSVILLE CITY, UTAH

For Review  
11/21/2022 4:06:00 PM

PLAN AND PROFILES

PROJECT NUMBER  
T1216G

PRINT DATE  
2022-08-31

DRAWN BY  
C. CHILD

CHECKED BY  
J. CLEGG

PROJECT MANAGER  
C. CHILD

PP-5



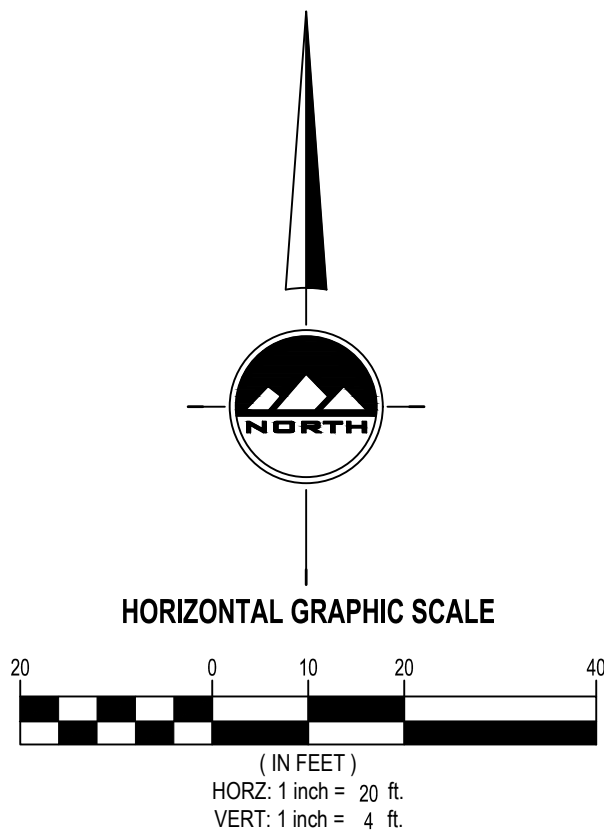
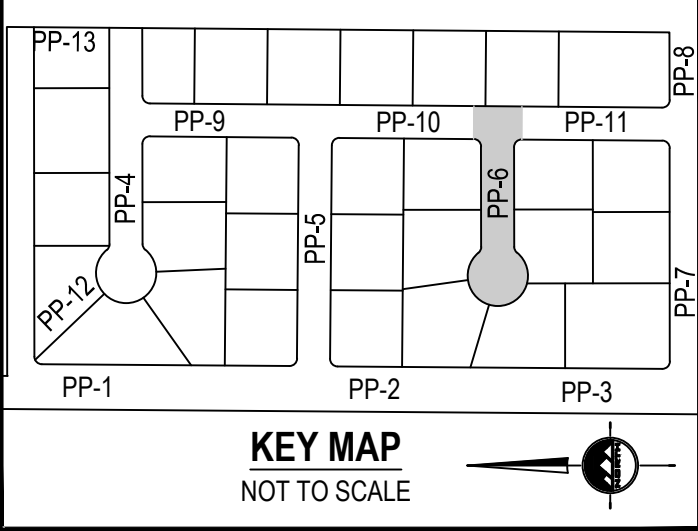
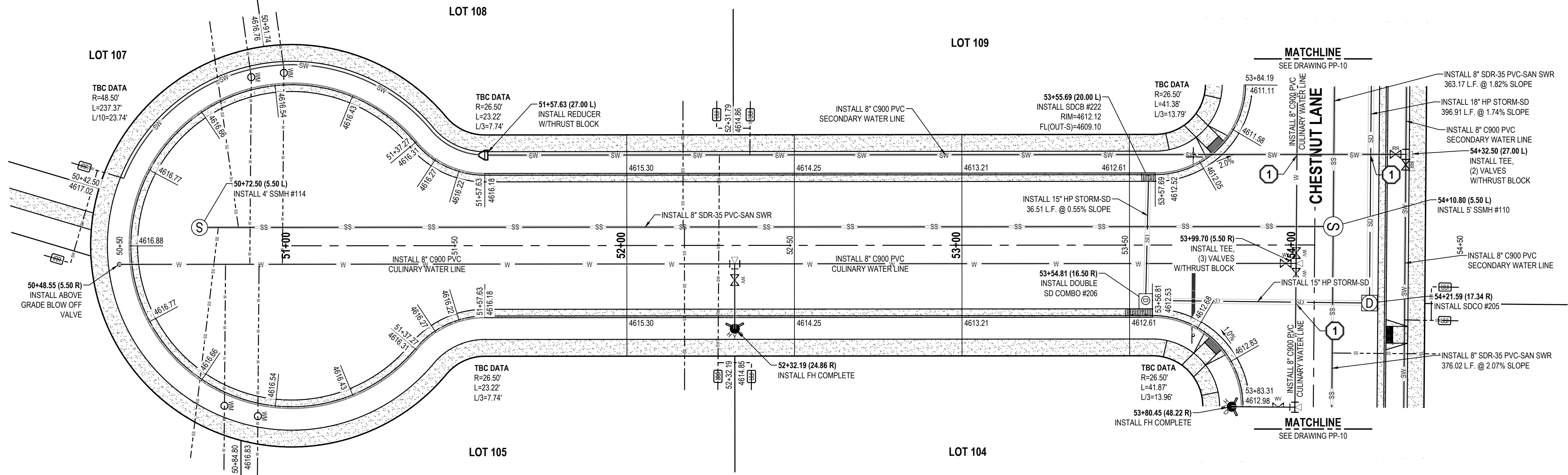
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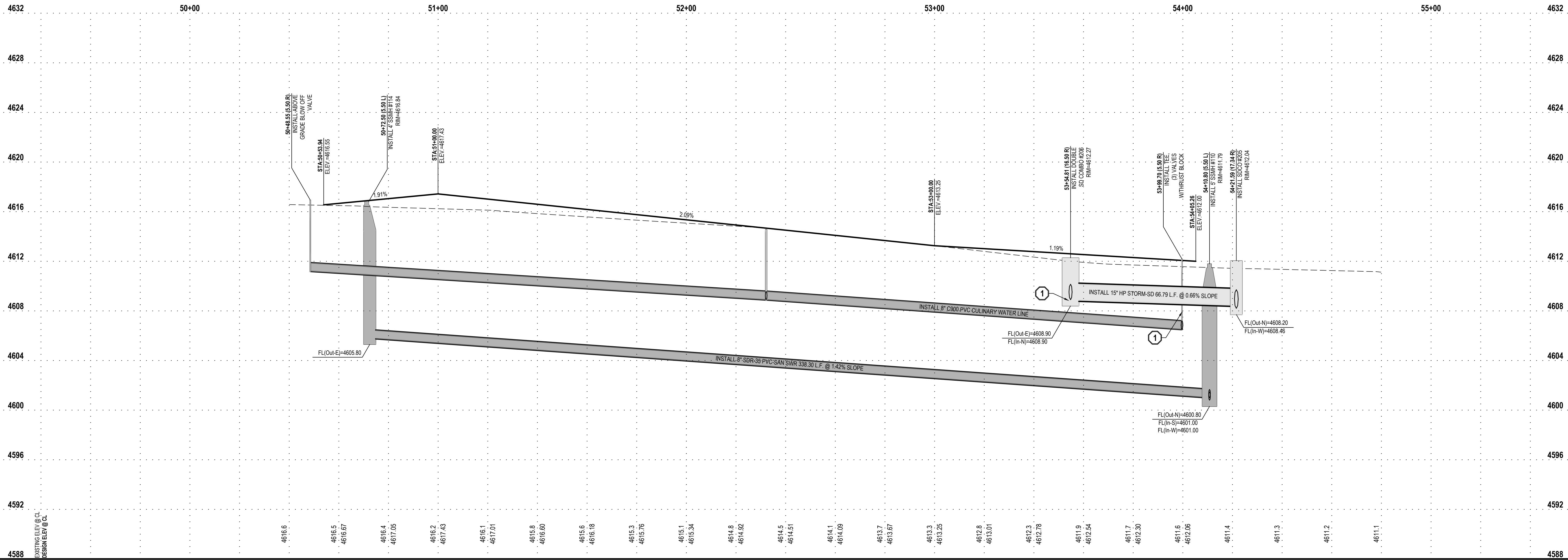
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BENCHMARK

NORTH QUARTER CORNER OF SECTION 7,  
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(2.5" BRASS TOOEE COUNTY SURVEY  
MONUMENT ON 4" PIPE, DATED 1986)  
ELEV = 4599.95' (USED ELEVATION)  
4414.85' (TRUE ELEVATION)



GEORGE COURT



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SALT LAKE CITY

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LAYTON

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CEDAR CITY

Phone: 435.866.1453

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THE COASSOLO GROUP, LLC  
PO BOX 190  
GRANTSVILLE CITY, UTAH 84029  
CONTACT:  
TODD CASTAGNO  
PHONE: 435-849-1485

HOLLYWOOD CORNER SUBDIVISION  
PRELIMINARY DESIGN  
HOLLYWOOD STREET AND QUIRK STREET  
GRANTSVILLE CITY, UTAH

For Review

11/21/2022 4:06:00 PM

PLAN AND PROFILES

PROJECT NUMBER  
T1216G  
PRINT DATE  
2022-08-31  
DRAWN BY  
C. CHILD  
CHECKED BY  
J. CLEGG  
PROJECT MANAGER  
C. CHILD

PP-6



811

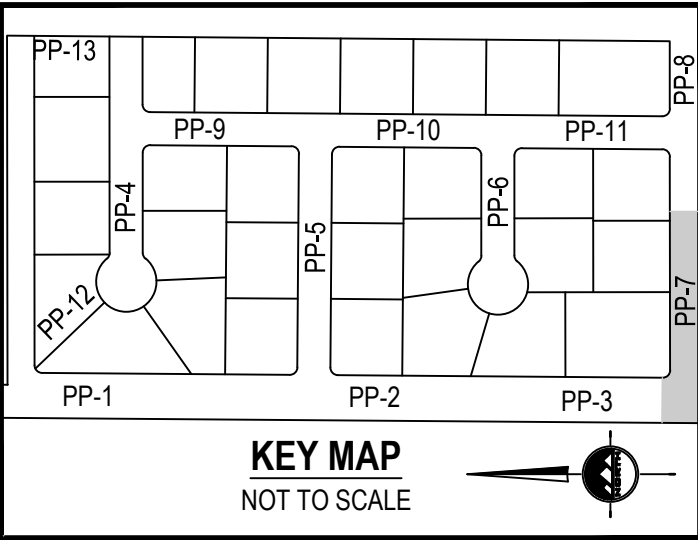
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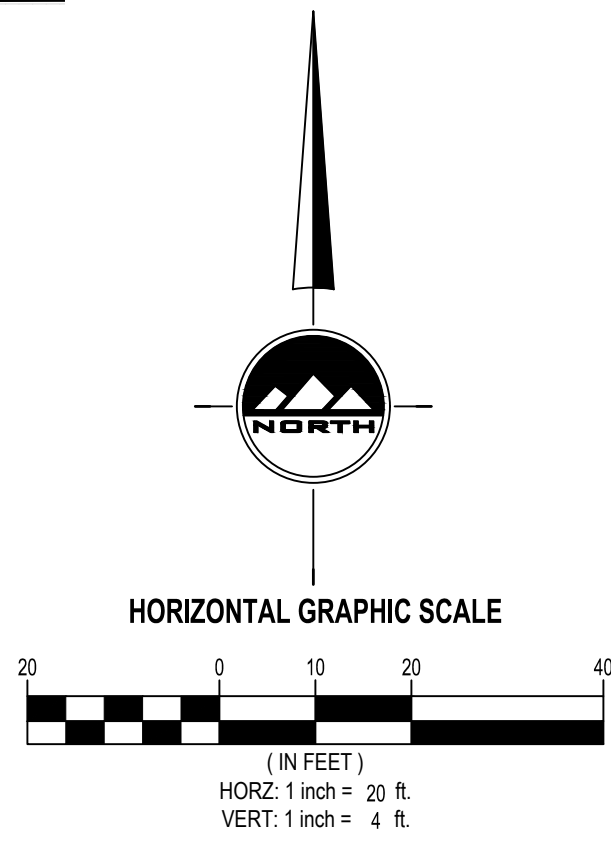
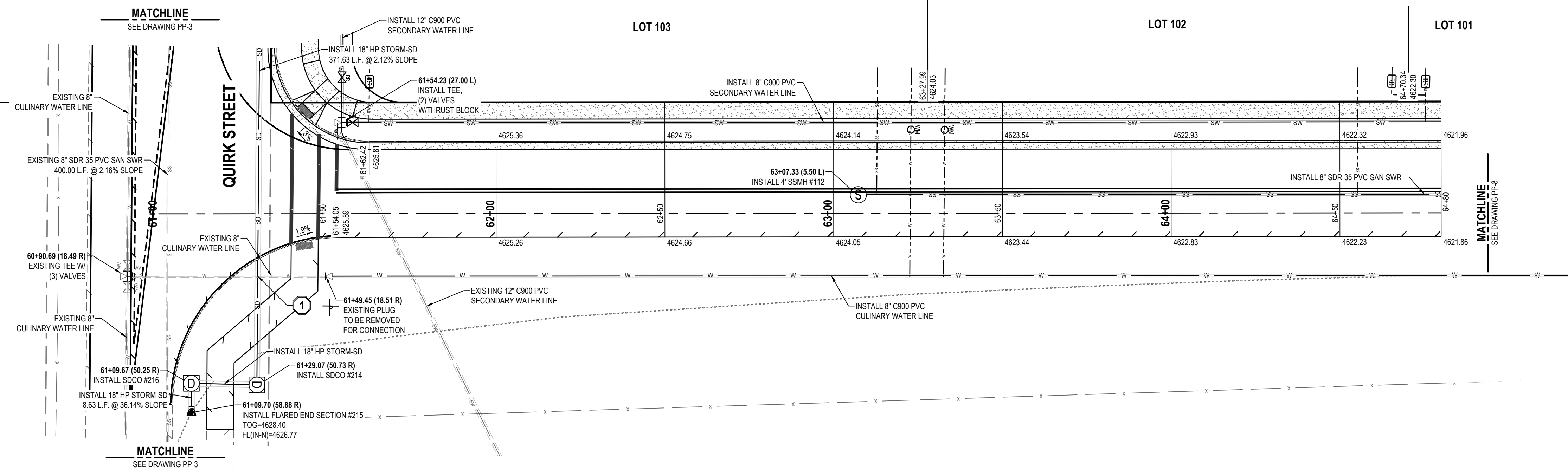
CEDAR CITY

Phone: 435.866.1453

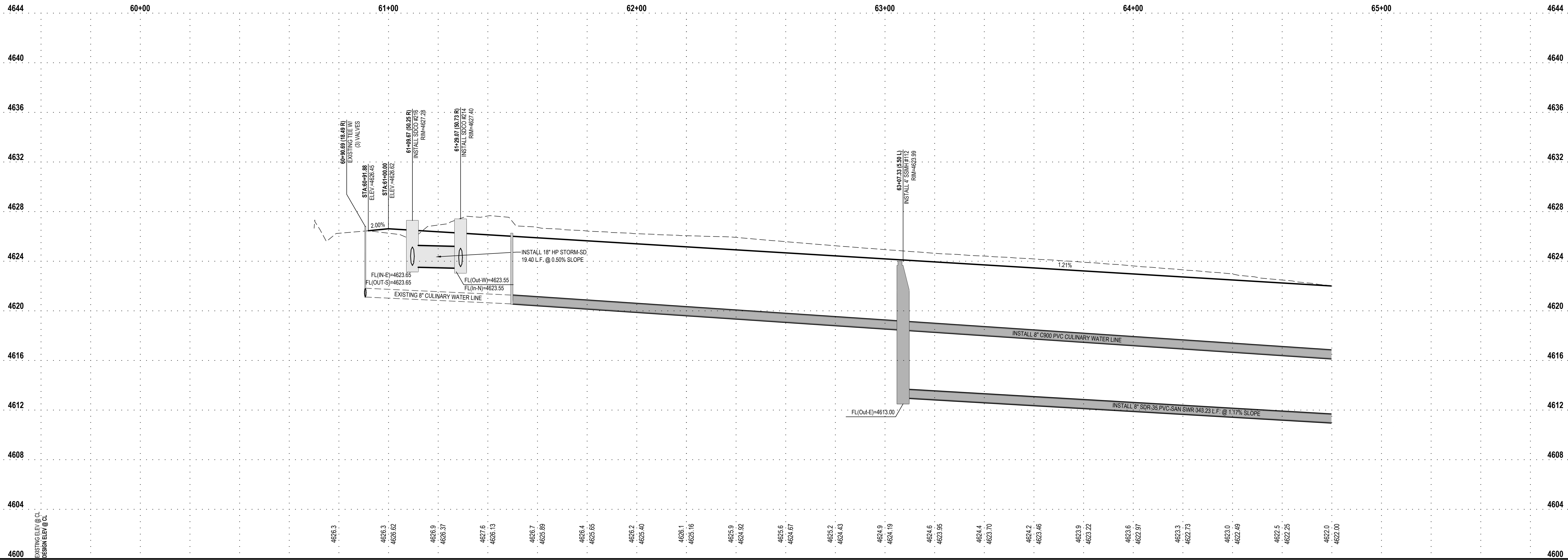
RICHFIELD

Phone: 435.896.2983

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CONTACT:  
TODD CASTAGNO  
PHONE: 435-849-1485



# HOLLYWOOD STREET



## HOLLYWOOD CORNER SUBDIVISION PRELIMINARY DESIGN HOLLYWOOD STREET AND QUIRK STREET GRANTSVILLE CITY, UTAH

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### PLAN AND PROFILES

PROJECT NUMBER  
T1216G  
PRINT DATE  
2022-08-31  
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C. CHILD  
CHECKED BY  
J. CLEGG  
PROJECT MANAGER  
C. CHILD

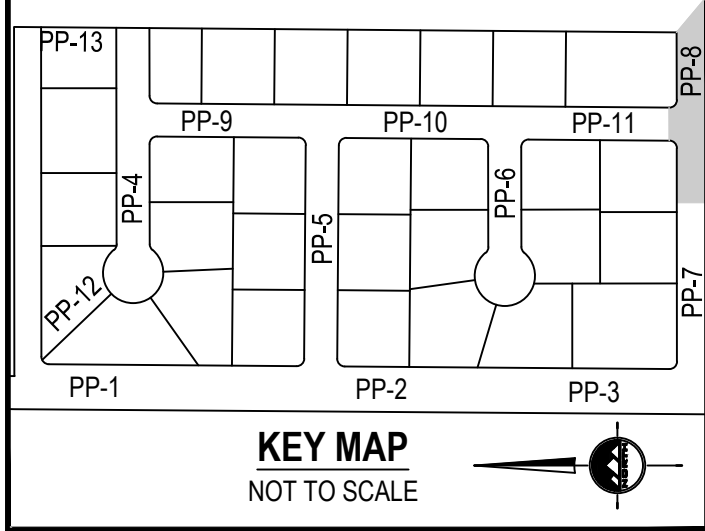
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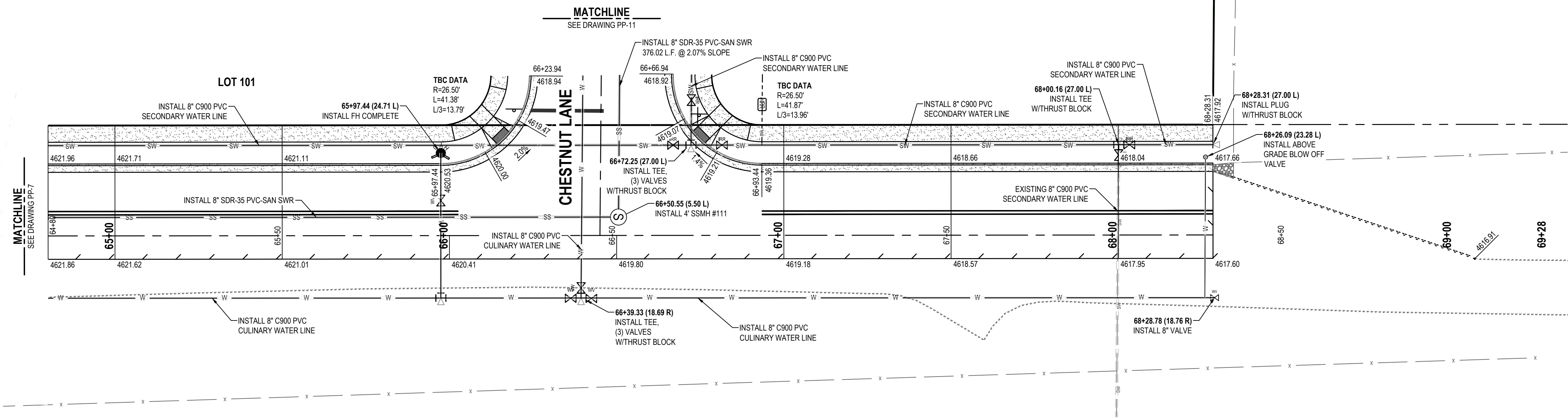
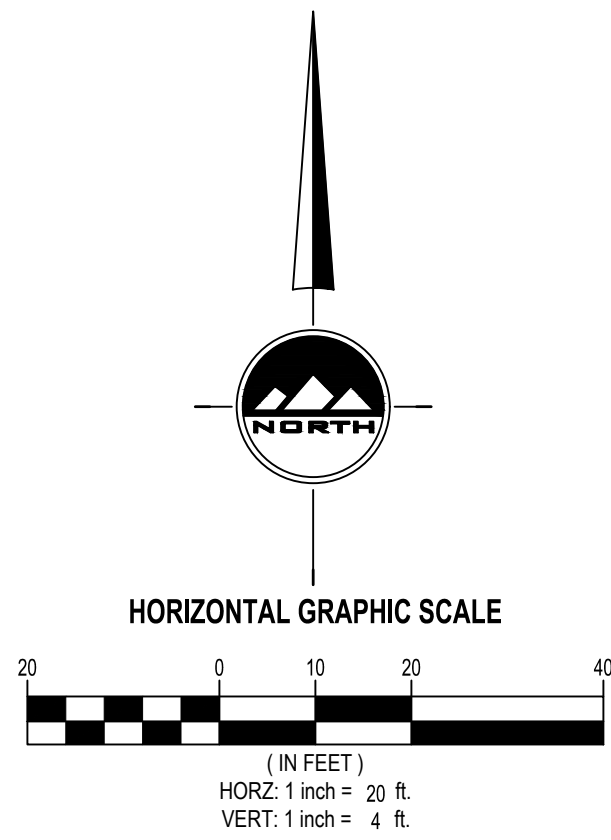
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GRANTSVILLE CITY, UTAH 84029  
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HOLLYWOOD CORNER SUBDIVISION

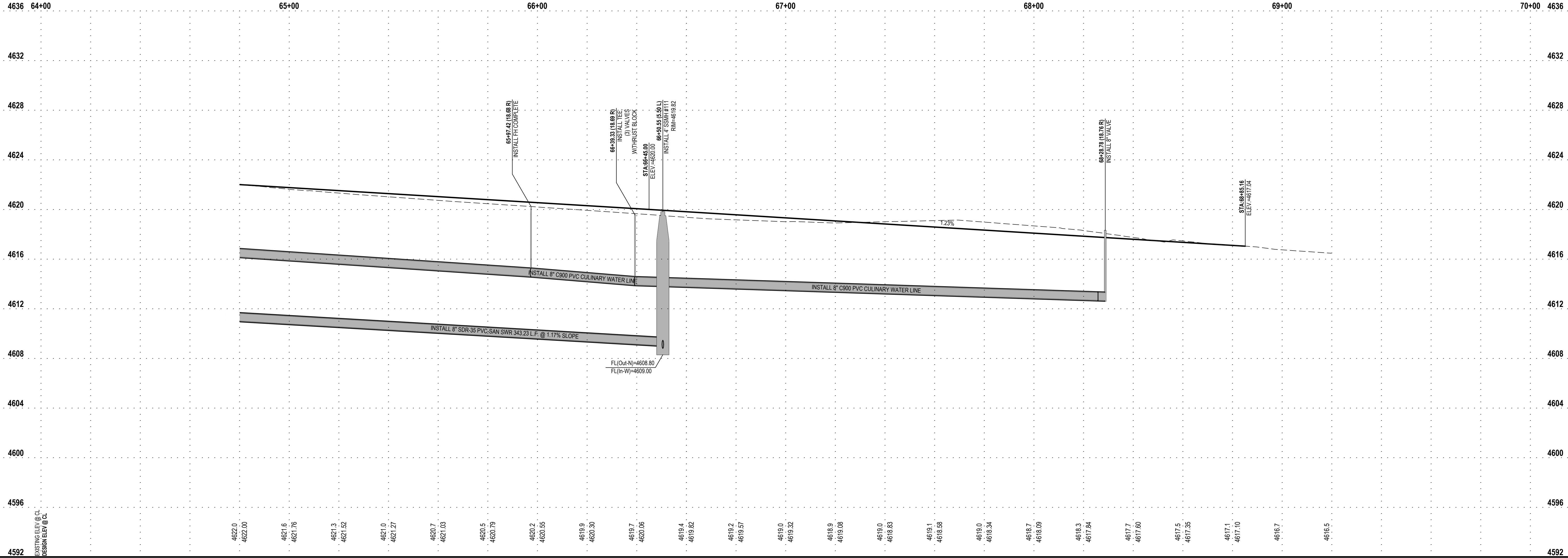
PRELIMINARY DESIGN

HOLLYWOOD STREET AND QUIRK STREET

GRANTSVILLE CITY, UTAH



HOLLYWOOD STREET



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11/21/2022 4:06:00 PM

PLAN AND PROFILES

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DRAWN BY  
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PROJECT MANAGER  
C. CHILD  
PRINT DATE  
2022-07-05  
CHECKED BY  
J. CLEGG



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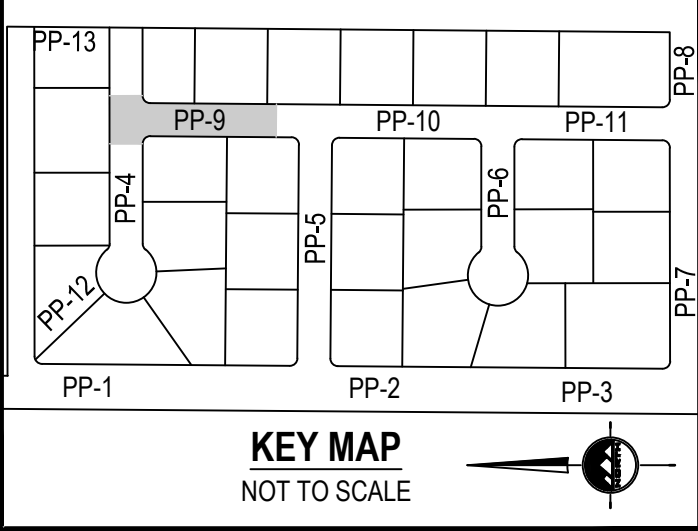
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CEDAR CITY

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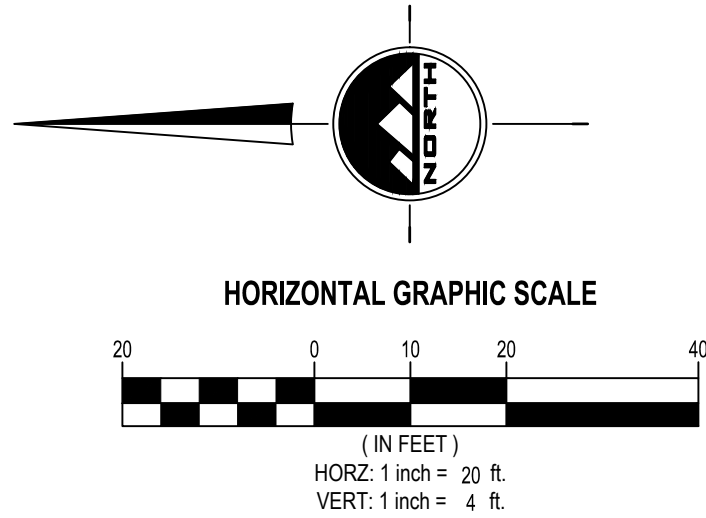
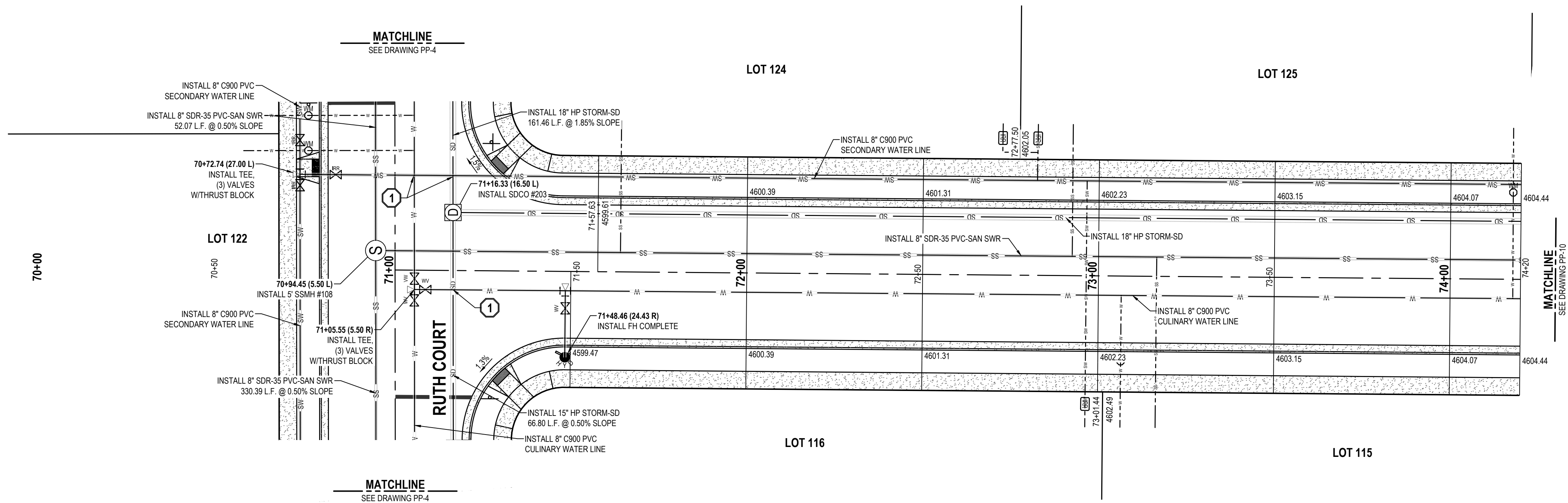
RICHFIELD

Phone: 435.896.2983

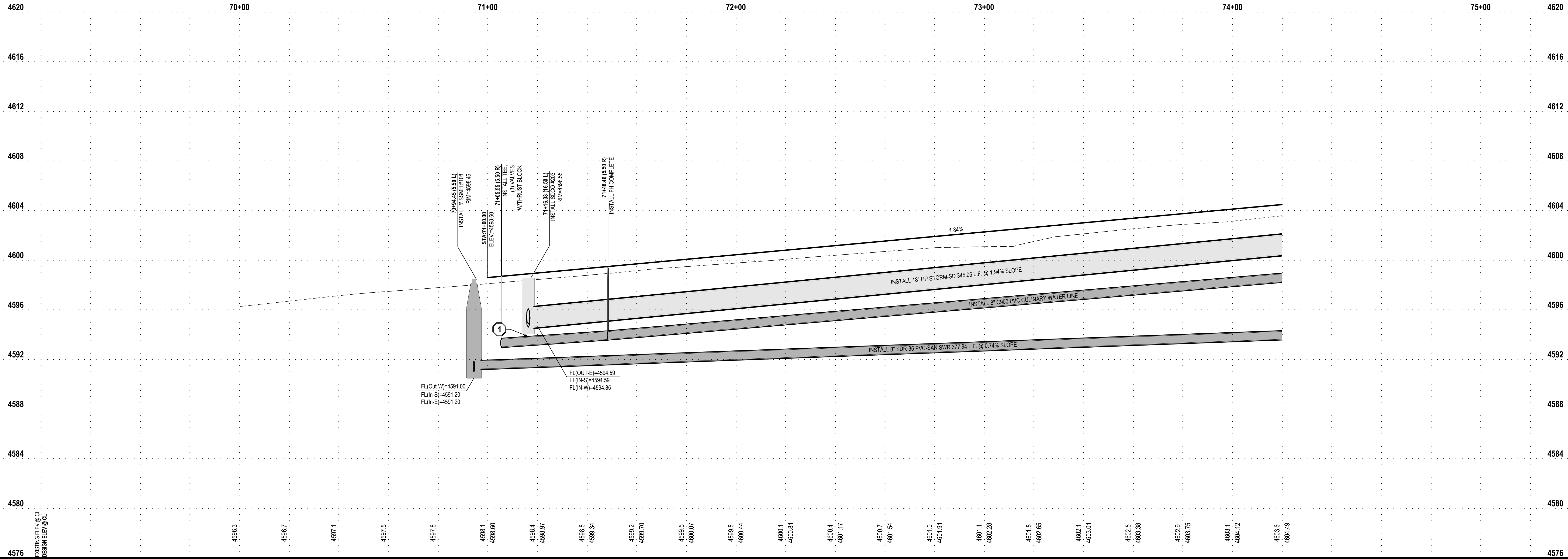
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## CHESTNUT LANE



**HOLLYWOOD CORNER SUBDIVISION**  
**PRELIMINARY DESIGN**  
**HOLLYWOOD STREET AND QUIRK STREET**  
**GRANTSVILLE CITY, UTAH**

**For Review**  
11/21/2022 4:06:00 PM

**PLAN AND PROFILES**

PROJECT NUMBER  
T1216G

PRINT DATE  
2022-07-05

DRAWN BY  
C. CHILD

CHECKED BY  
J. CLEGG

PROJECT MANAGER  
C. CHILD

**PP-9**



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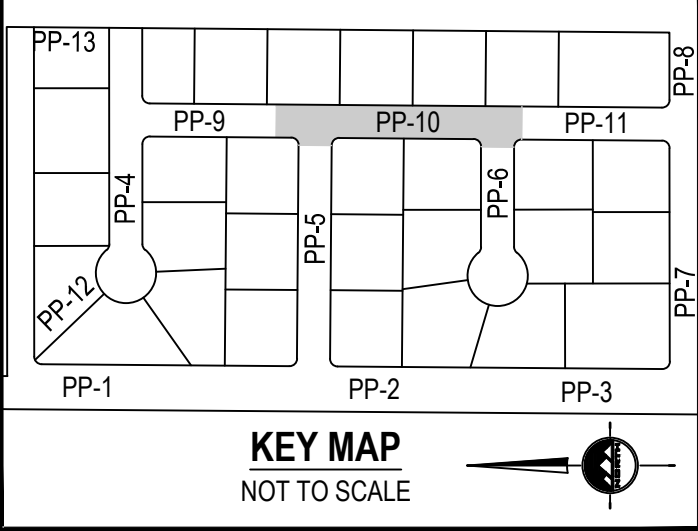
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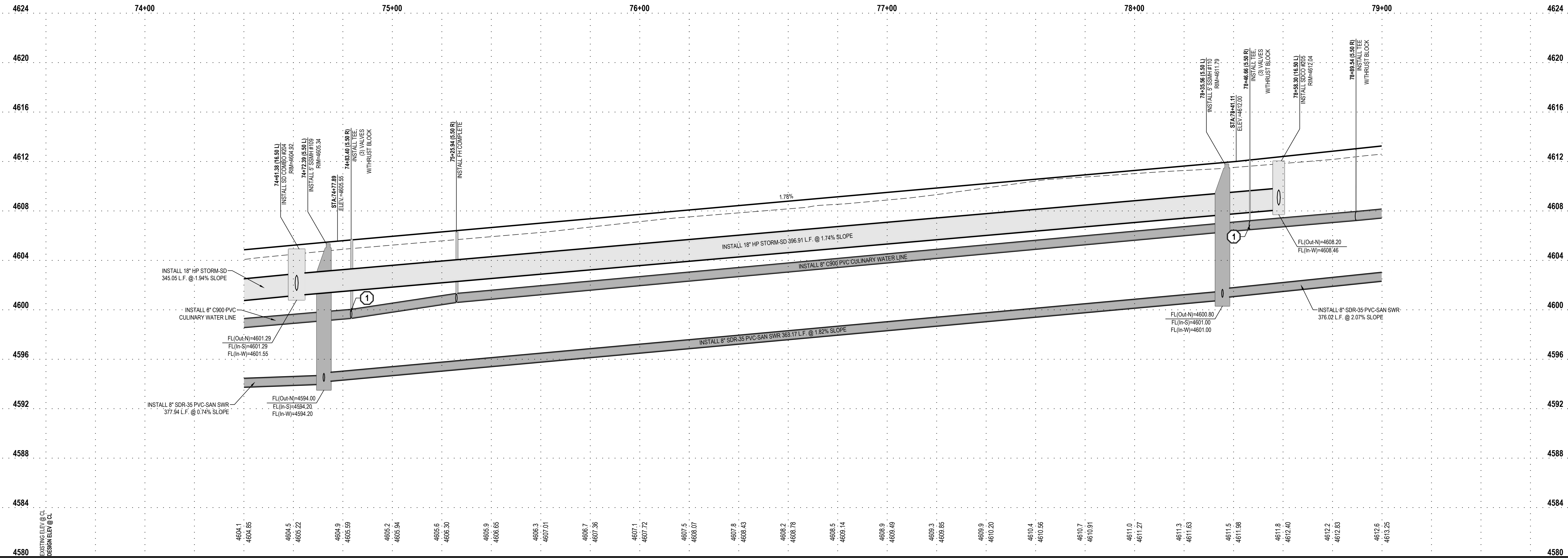
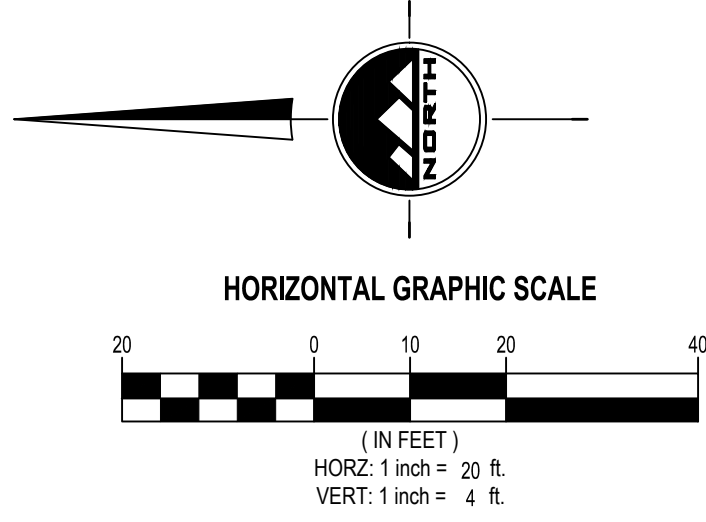
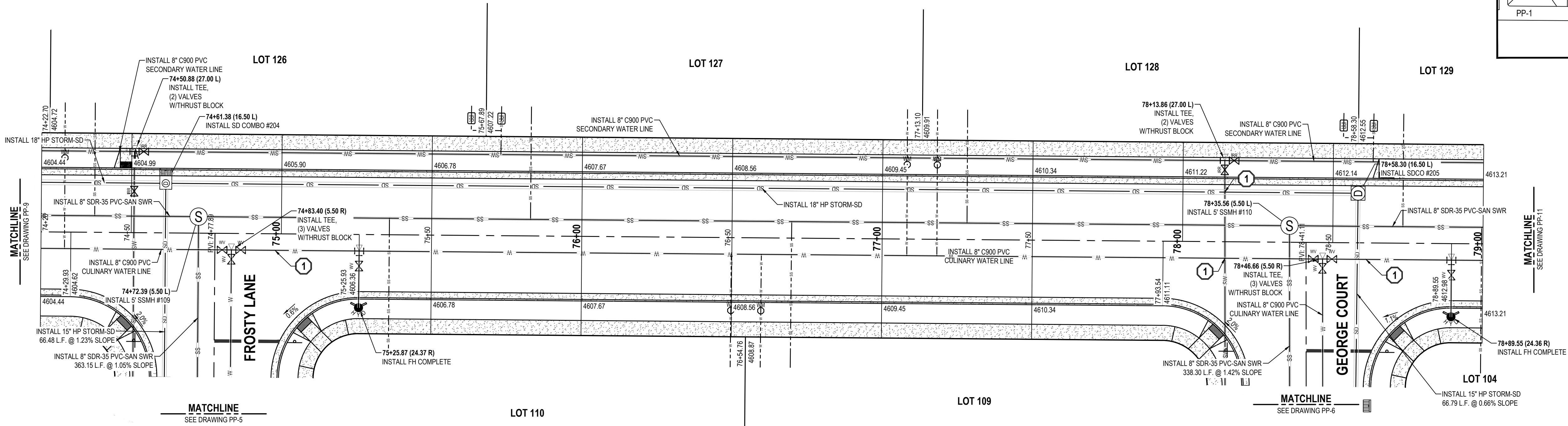
PRINT DATE  
2022-10-11

DRAWN BY  
C. CHILD

CHECKED BY  
J. CLEGG

PROJECT MANAGER  
C. CHILD

PP-10



EXISTING ELEV @ C.  
DESIGN ELEV @ C.



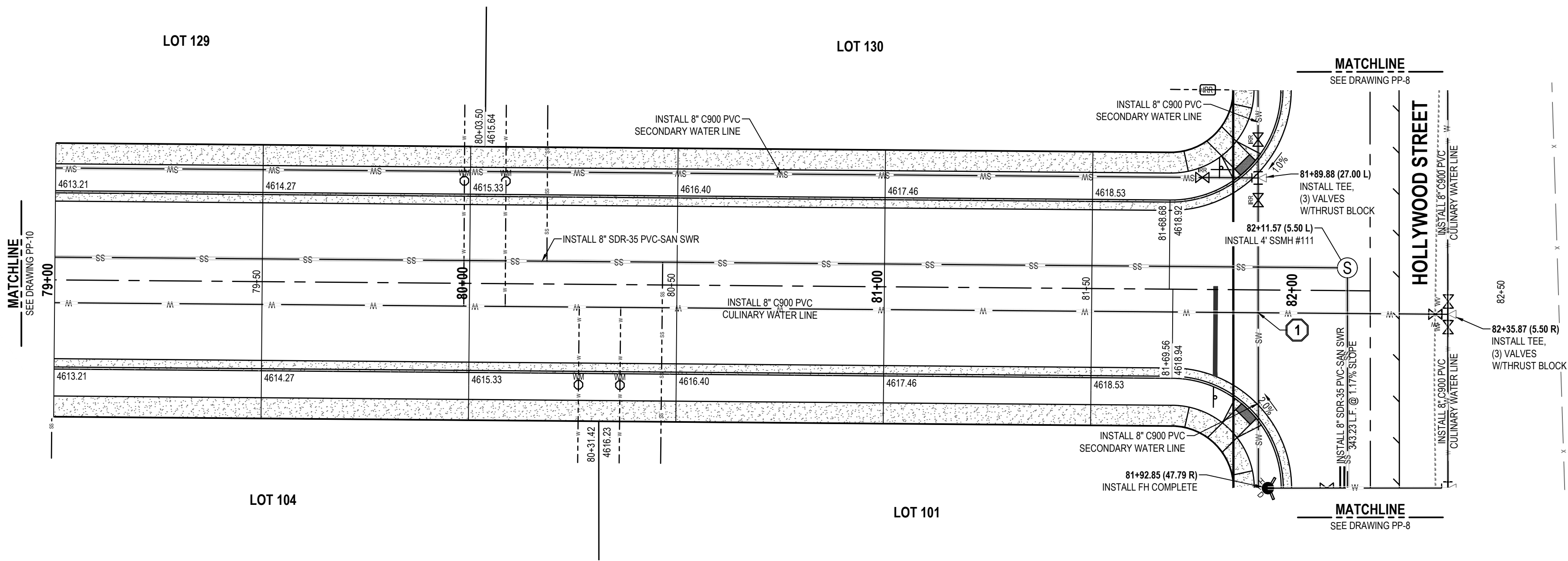
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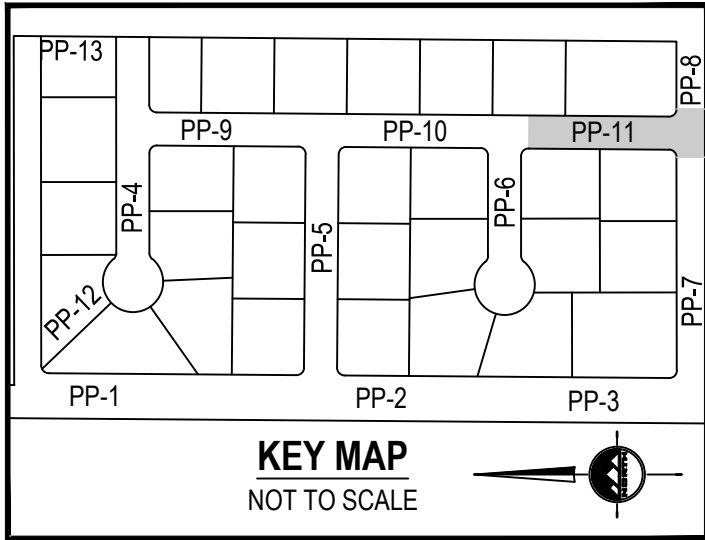
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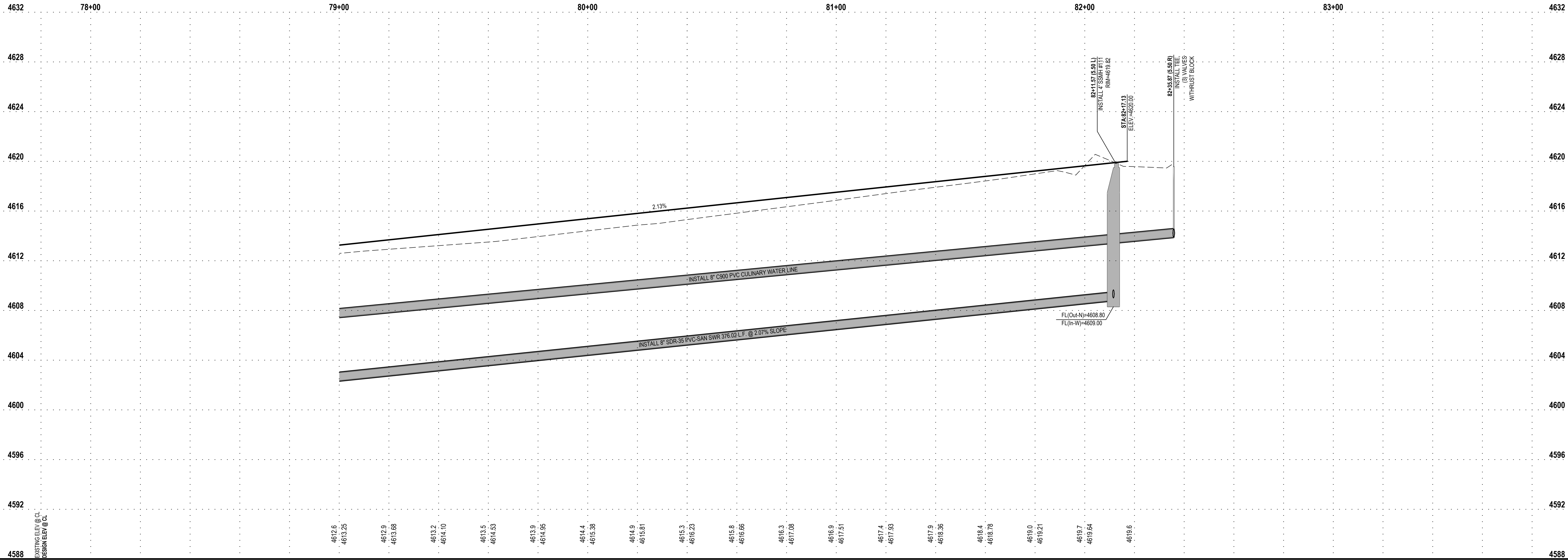
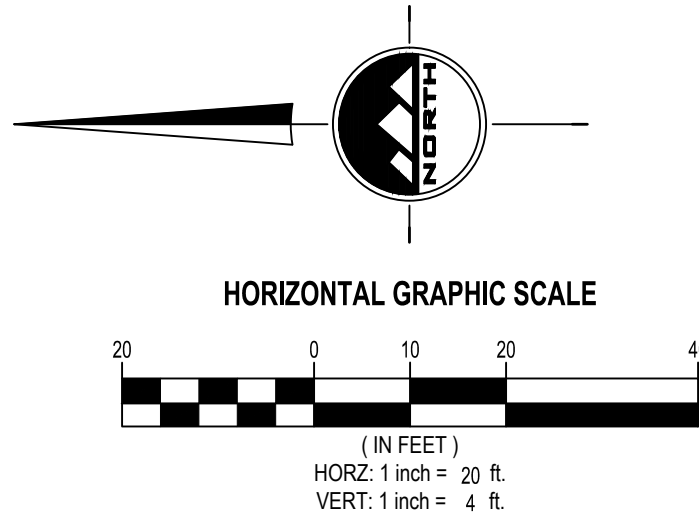
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PRELIMINARY DESIGN  
HOLLYWOOD STREET AND QUIRK STREET  
GRANTSVILLE CITY, UTAH**

**For Review**  
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CHECKED BY  
J. CLEGG  
PROJECT MANAGER  
C. CHILD

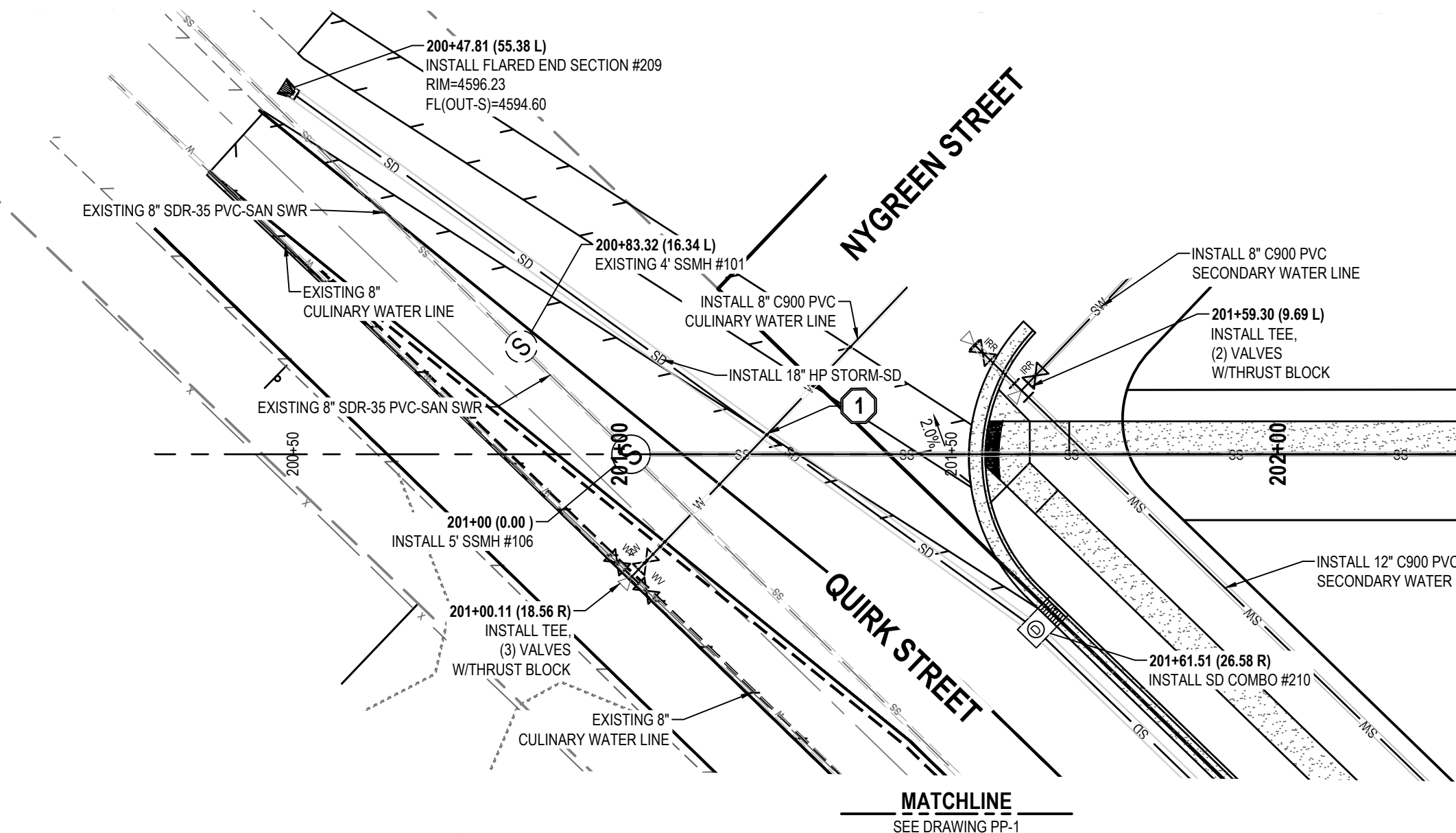
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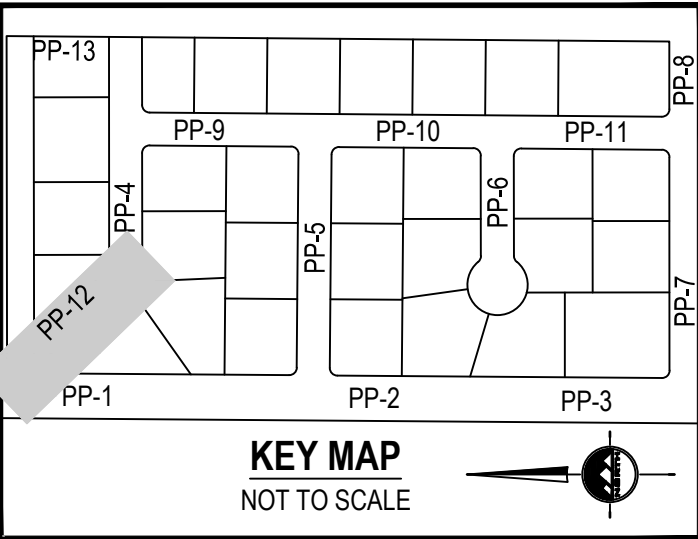
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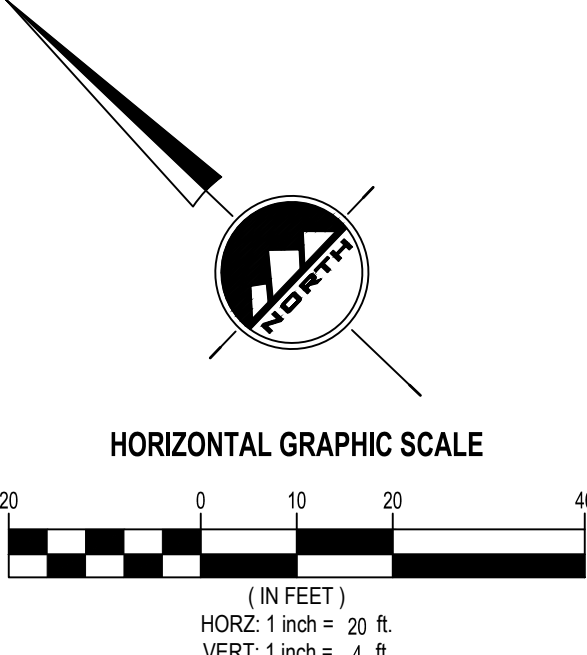
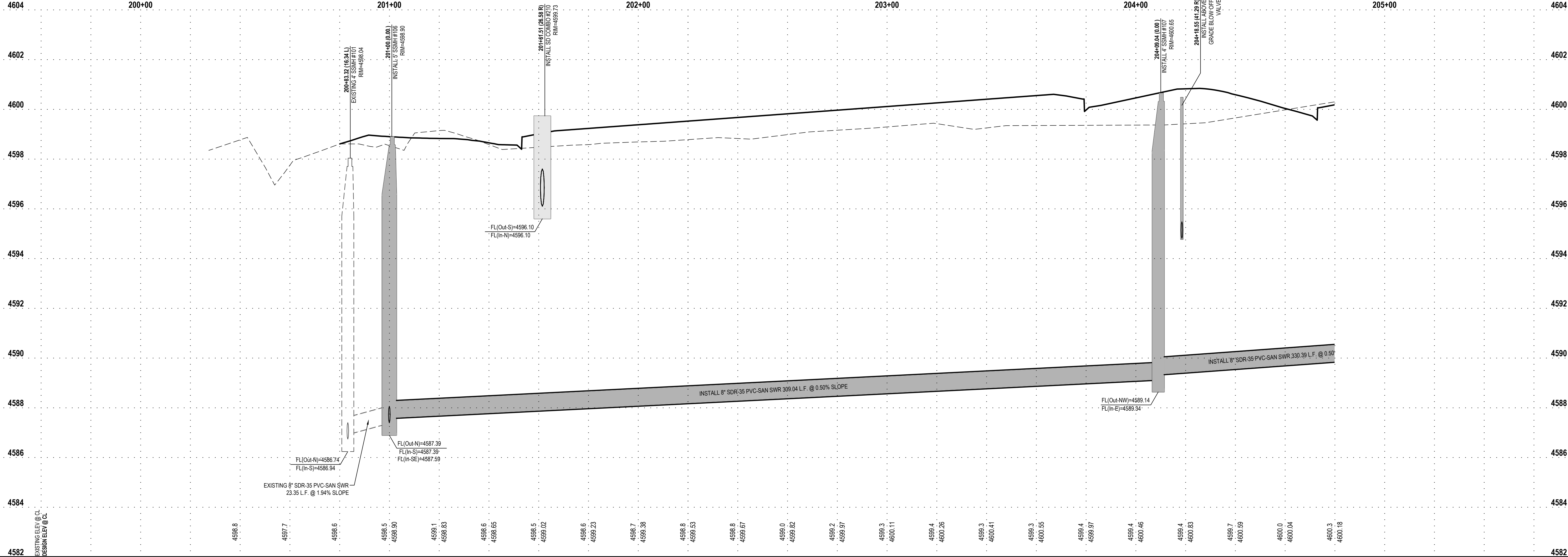
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## SANITARY SEWER LAYOUT



**HOLLYWOOD CORNER SUBDIVISION**  
**PRELIMINARY DESIGN**  
**HOLLYWOOD STREET AND QUIRK STREET**  
**GRANTSVILLE CITY, UTAH**

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DRAWN BY  
C. CHILD

CHECKED BY  
J. CLEGG

PROJECT MANAGER  
C. CHILD

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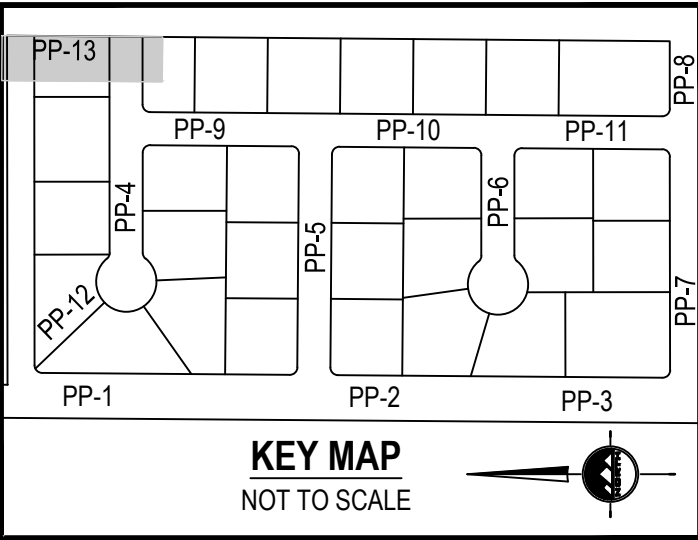
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  - 2 SD PIPE TO DAYLIGHT INTO EXISTING FIELD THAT WILL BE USED AS STORM DRAIN BASIN UNTIL FIELD IS DEVELOPED. INSTALL RIP RAP PER D-602



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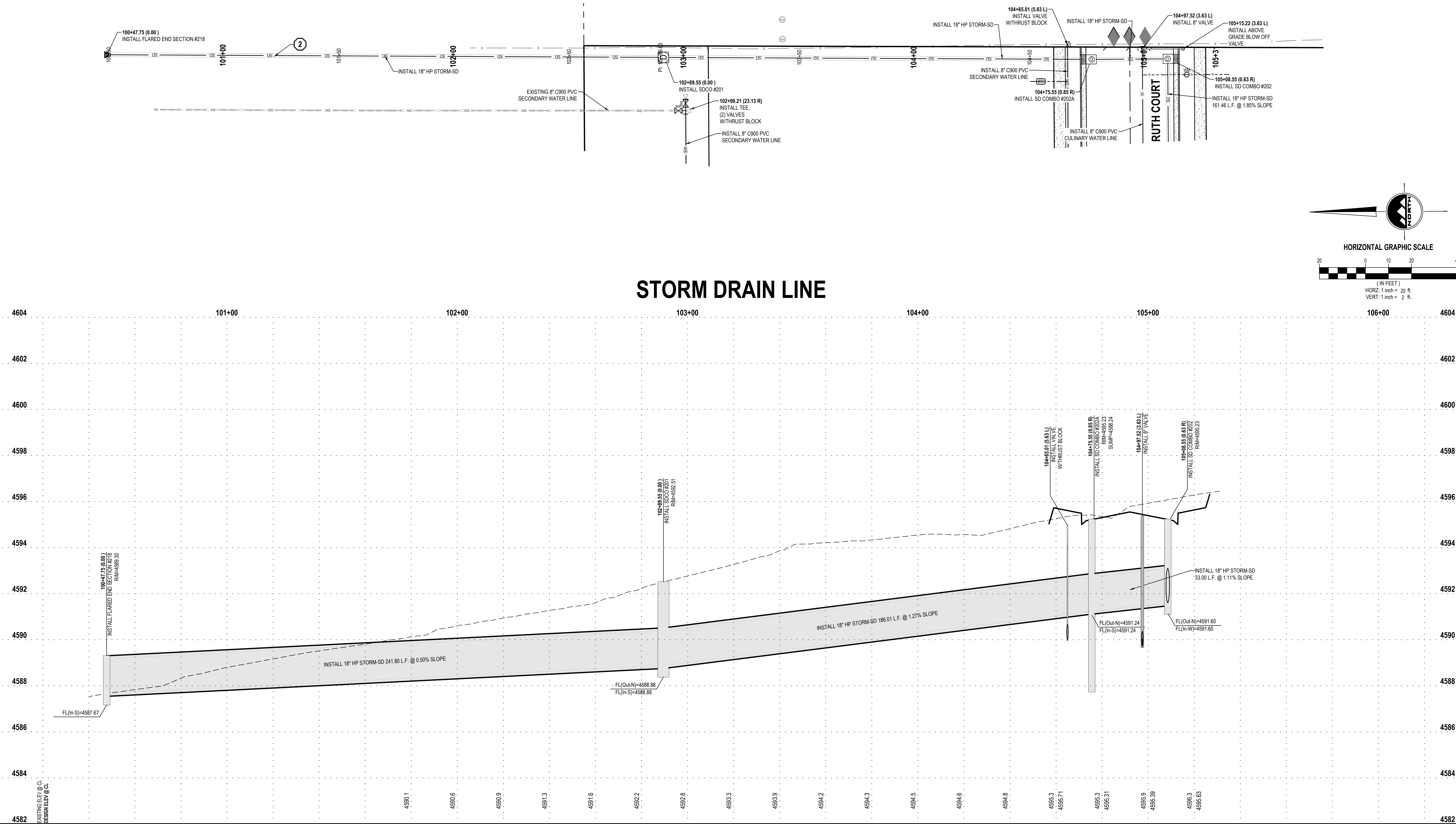
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2022-11-16

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J. CLEGG

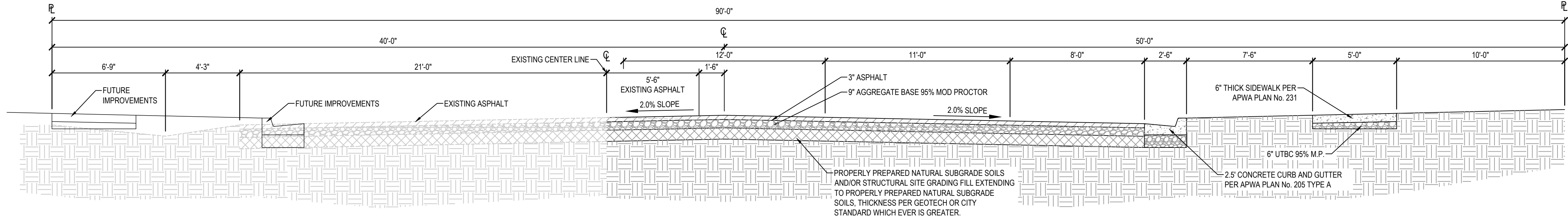
PROJECT MANAGER  
C. CHILD

PP-13

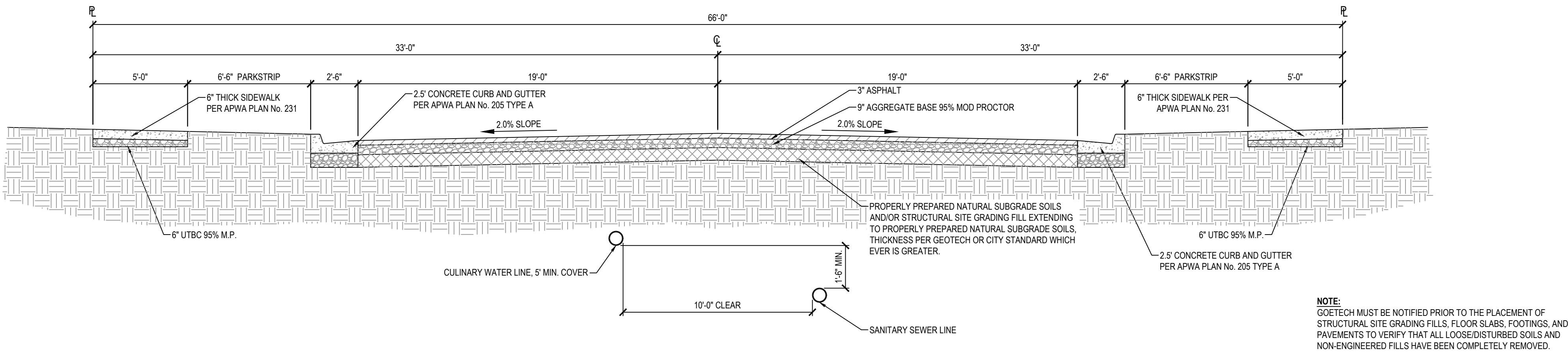




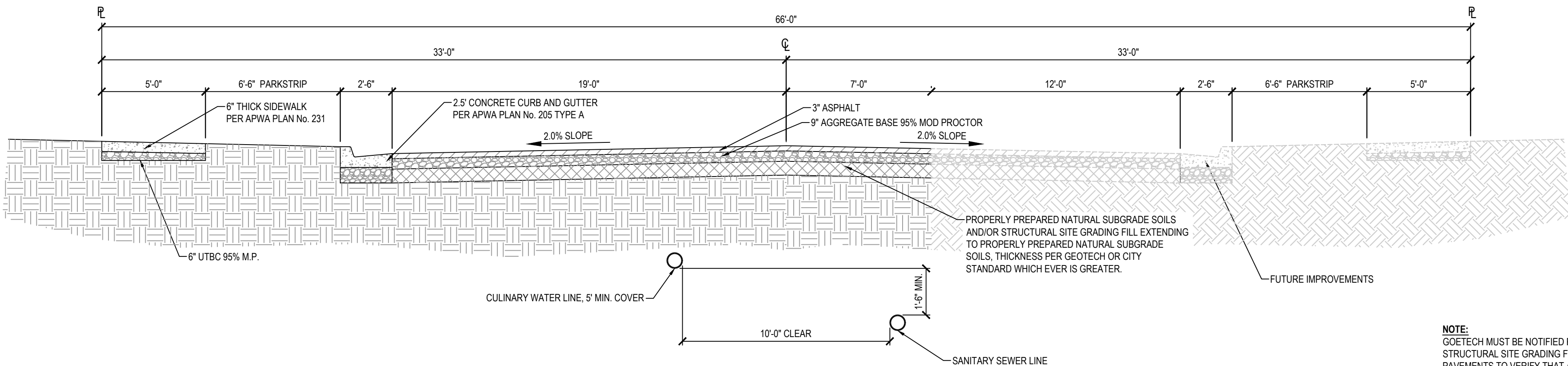
NOTE:  
ALL CONCRETE SURFACE IMPROVEMENTS SHALL  
BE CONSTRUCTED USING 4,500 PSI CONCRETE



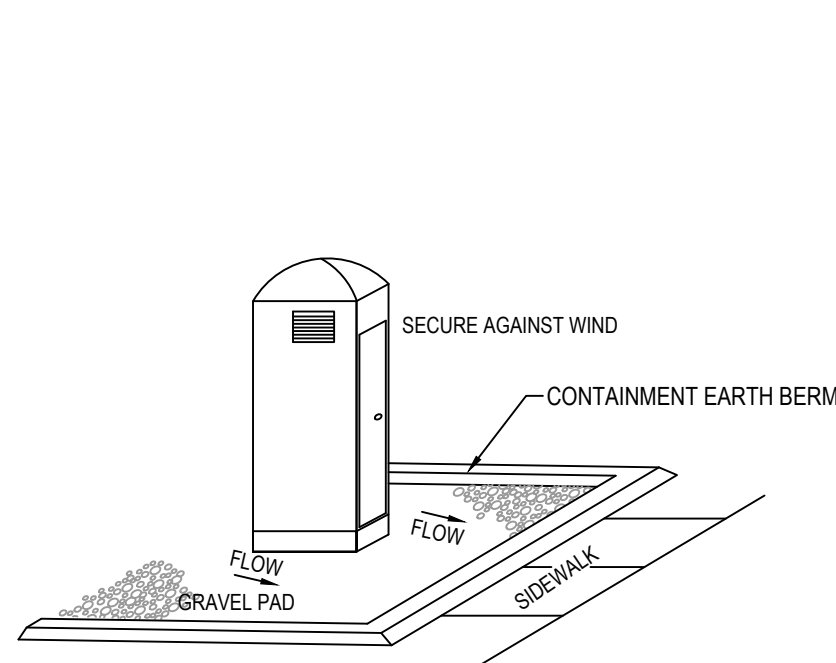
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SCALE: NONE



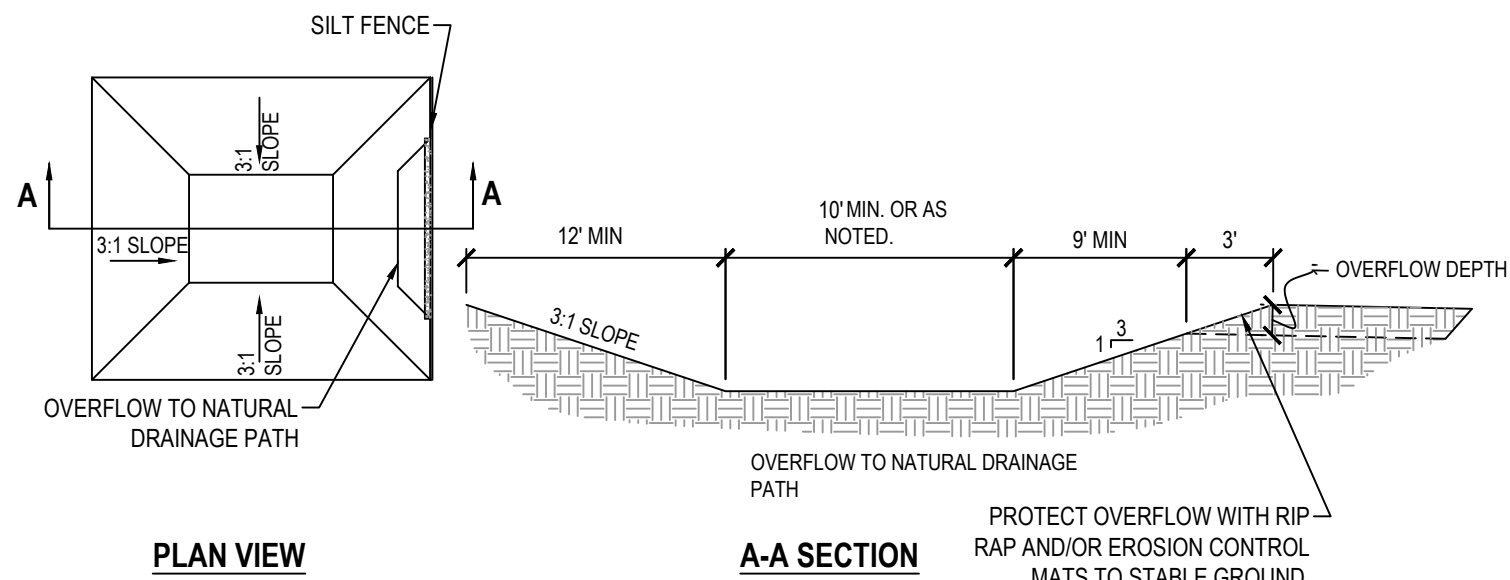
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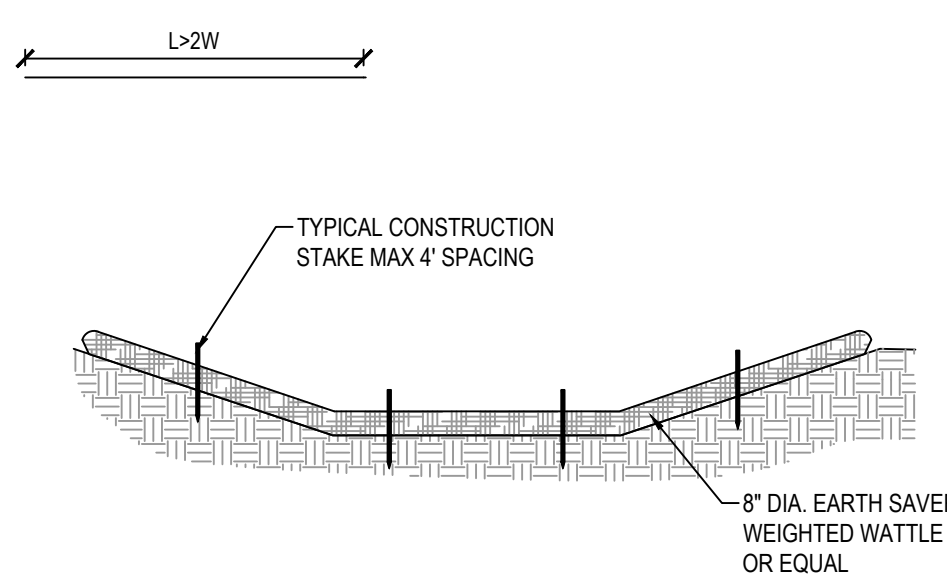
3 HOLLYWOOD ROAD CROSS SECTION  
SCALE: NONE



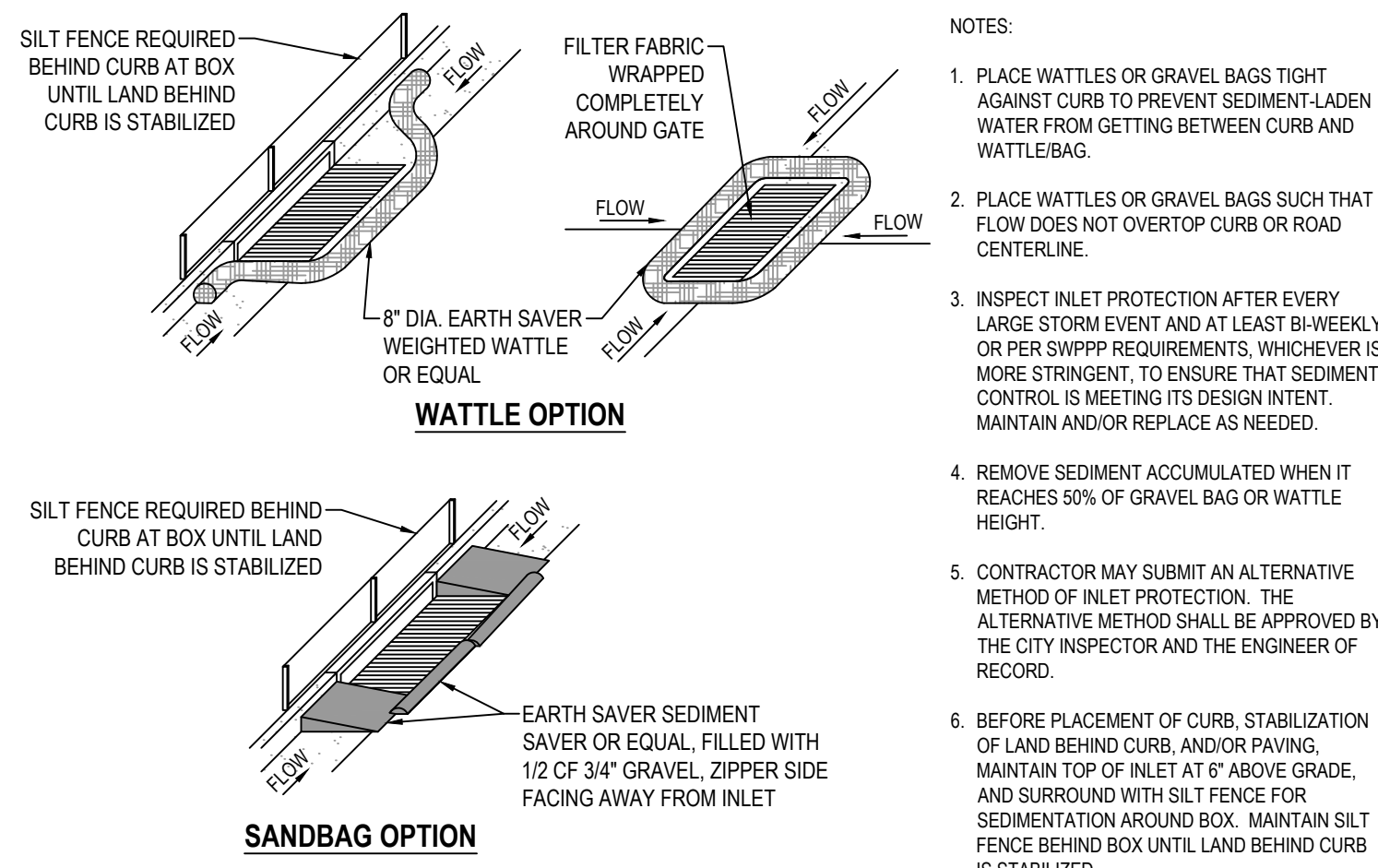
7 PORTABLE TOILET  
SCALE: NONE



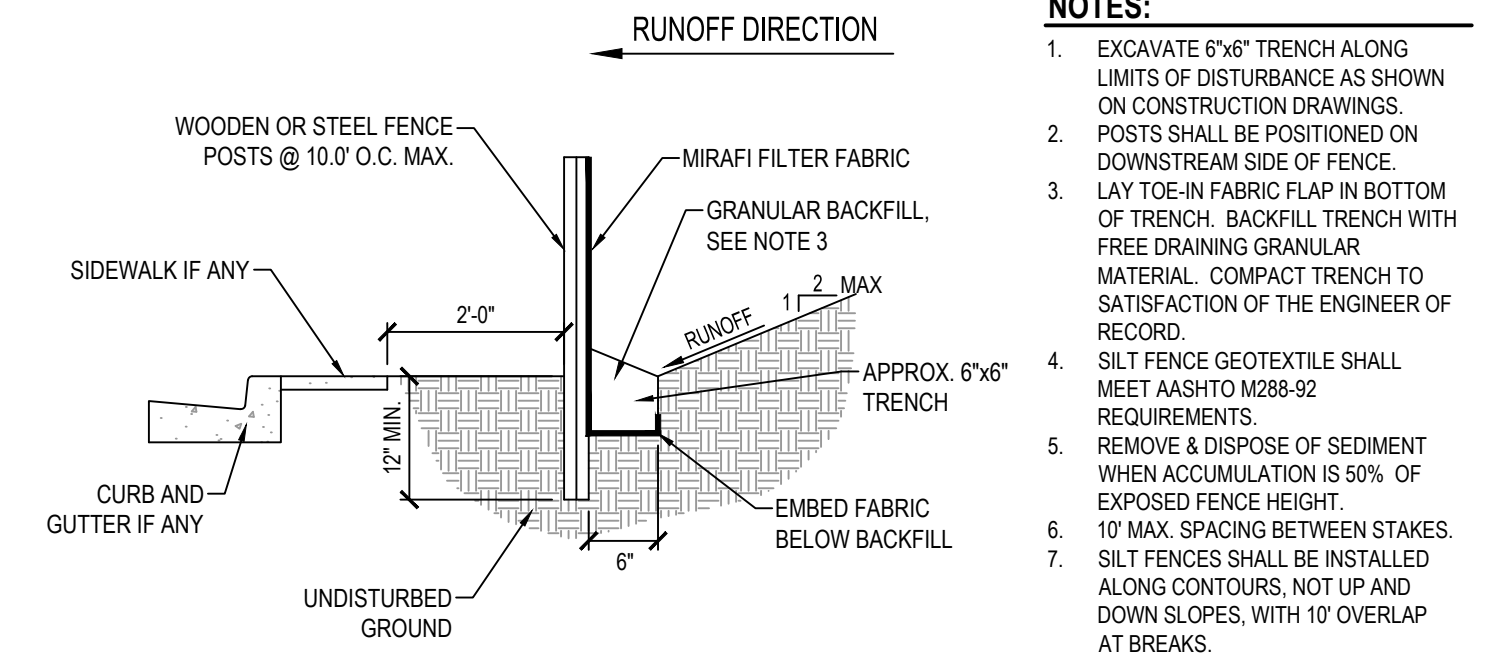
8 TEMPORARY SEDIMENTATION BASIN  
SCALE: NONE



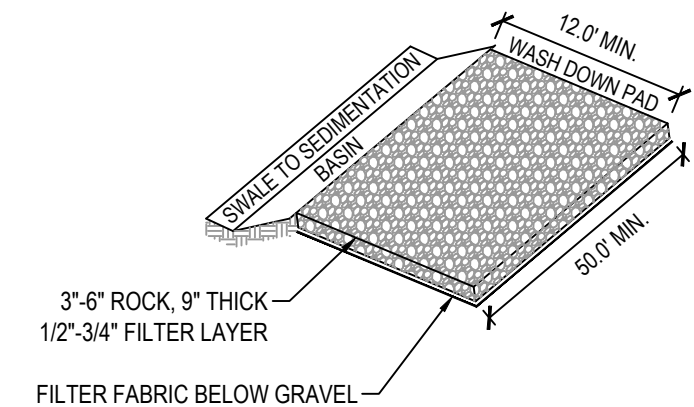
9 STRAW WATTLE  
SCALE: NONE



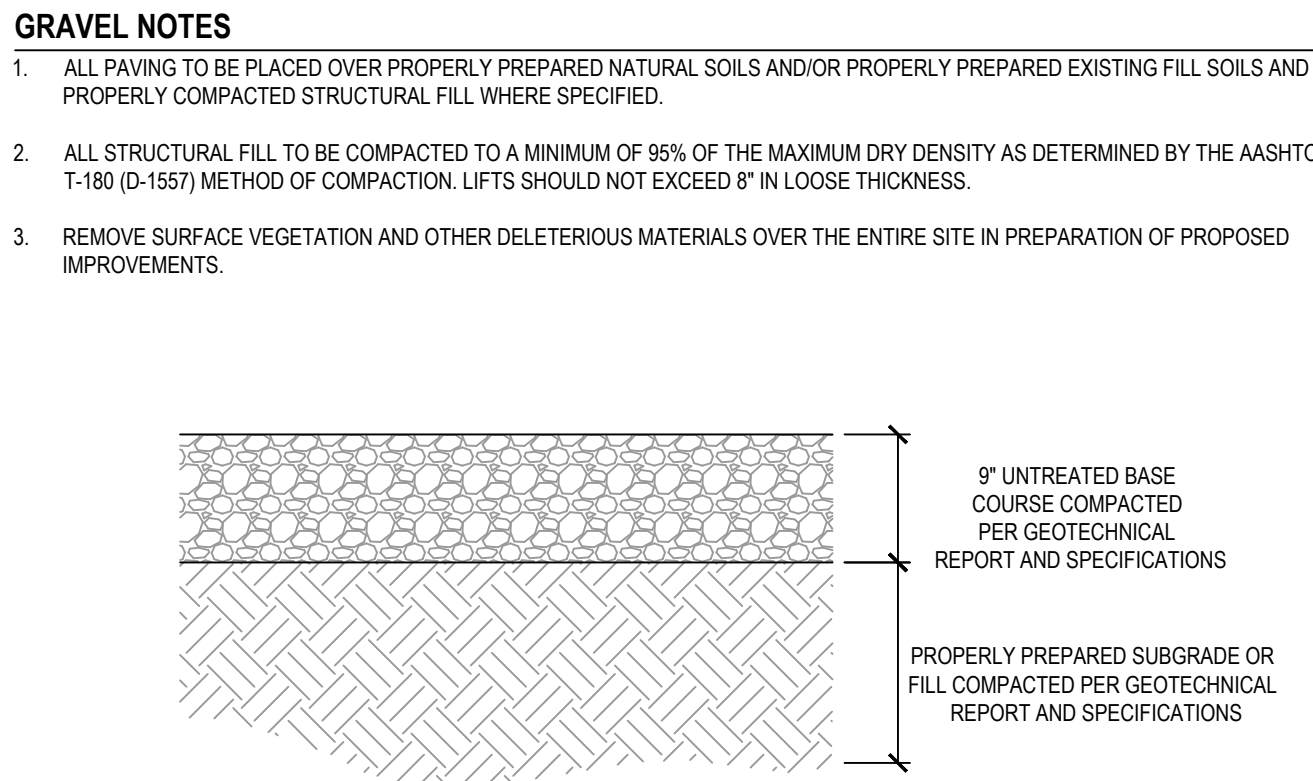
4 SAG INLET PROTECTION  
SCALE: NONE



5 TEMPORARY SILT FENCE  
SCALE: NONE

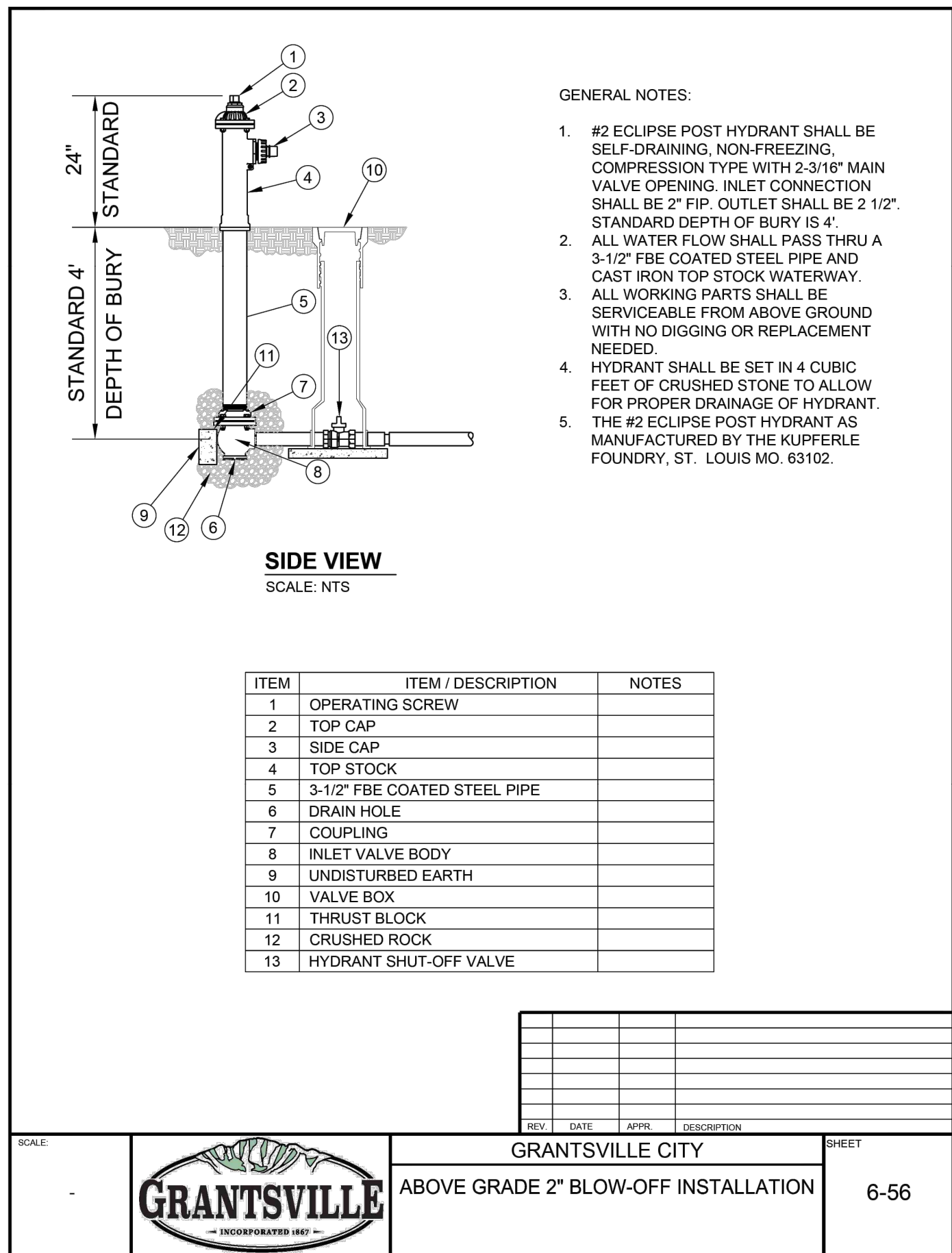
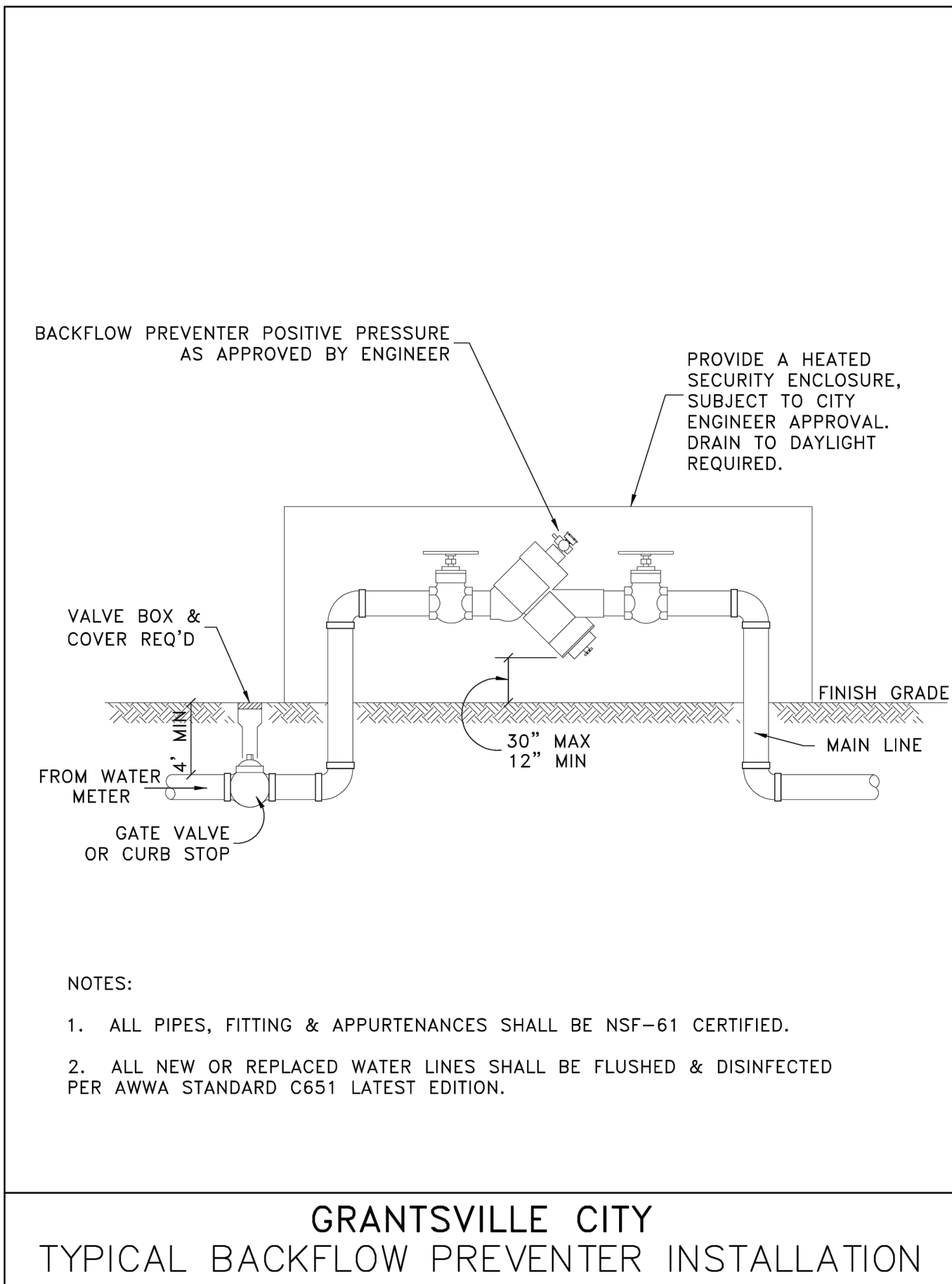
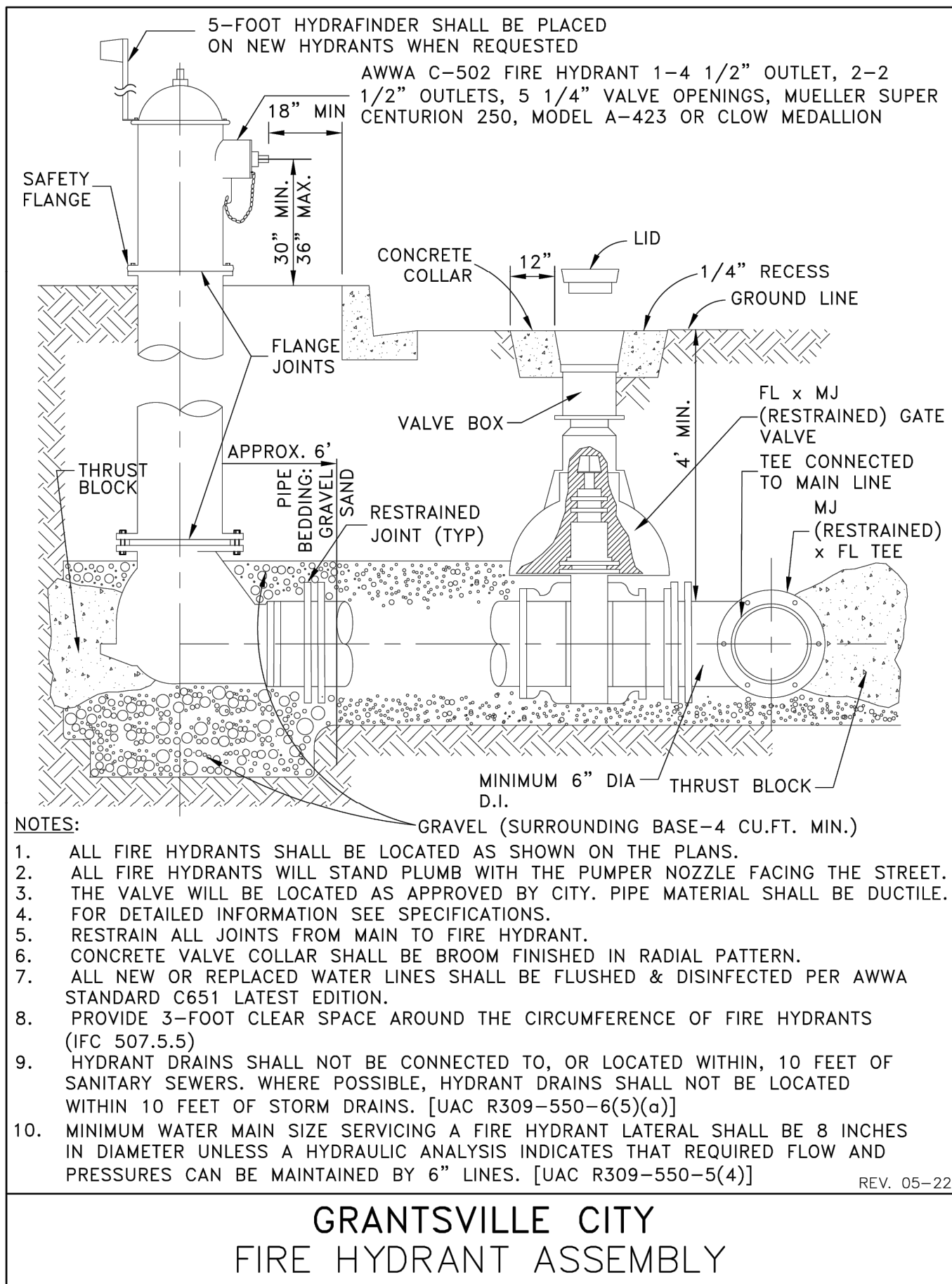
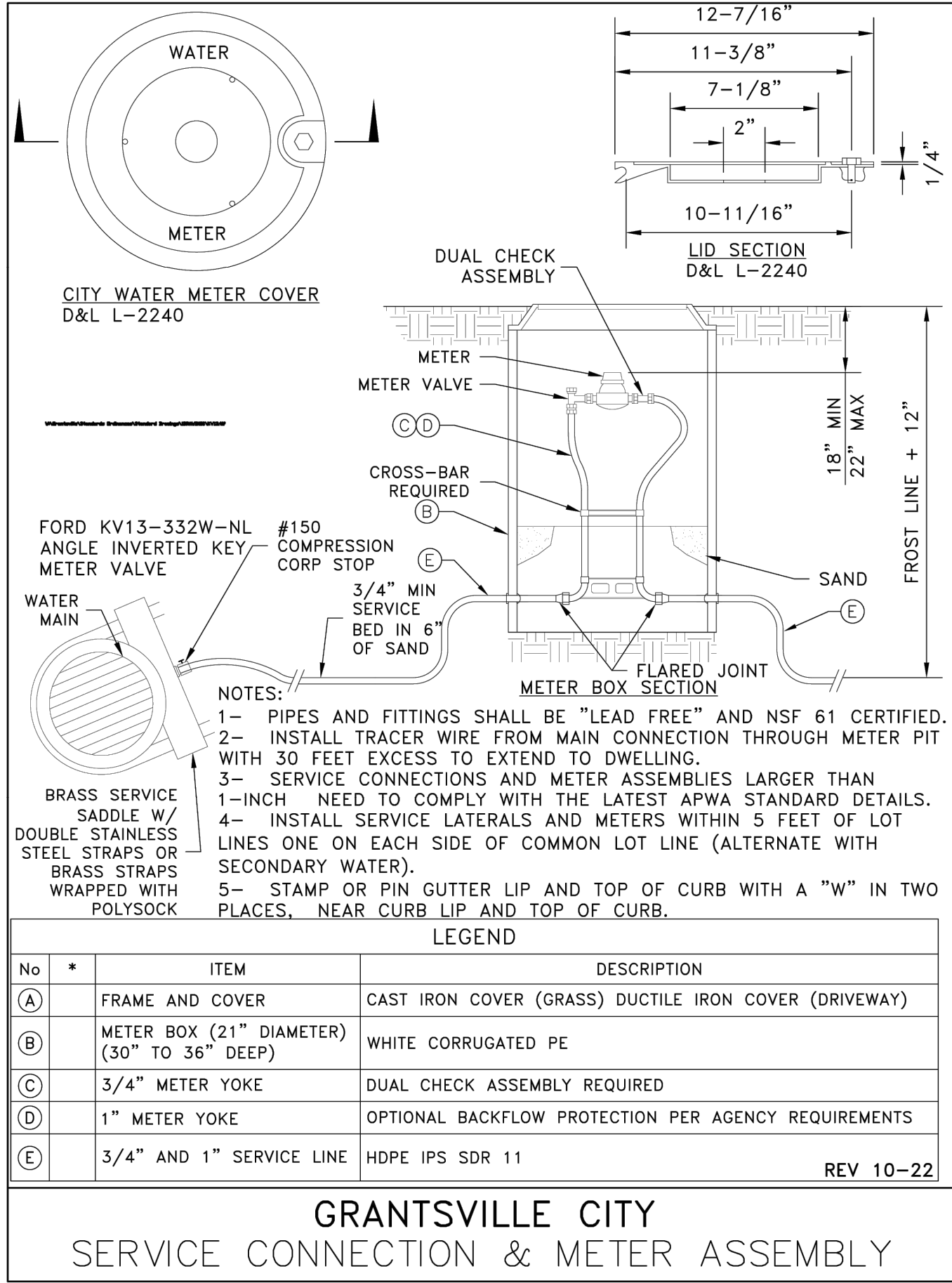
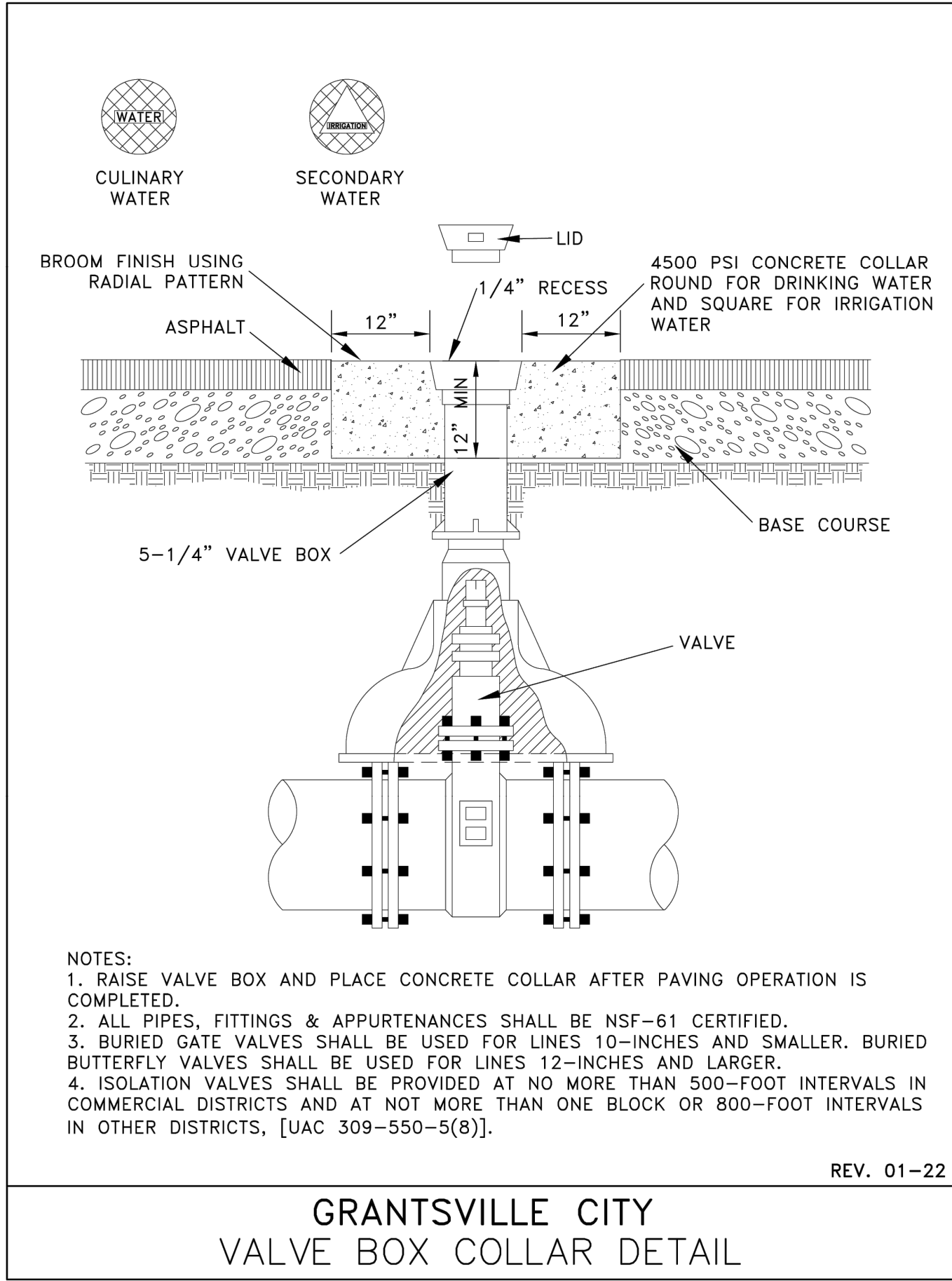
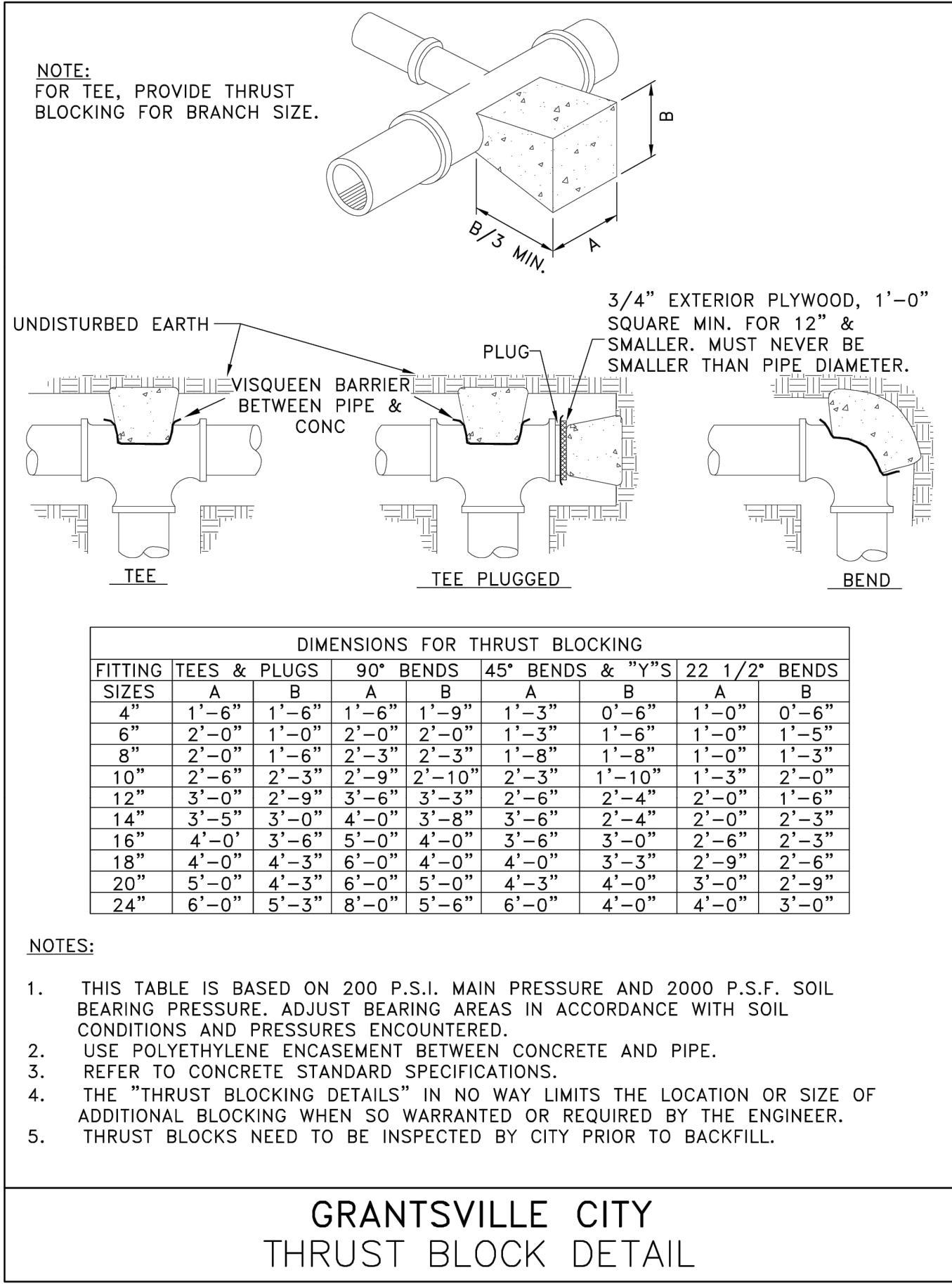
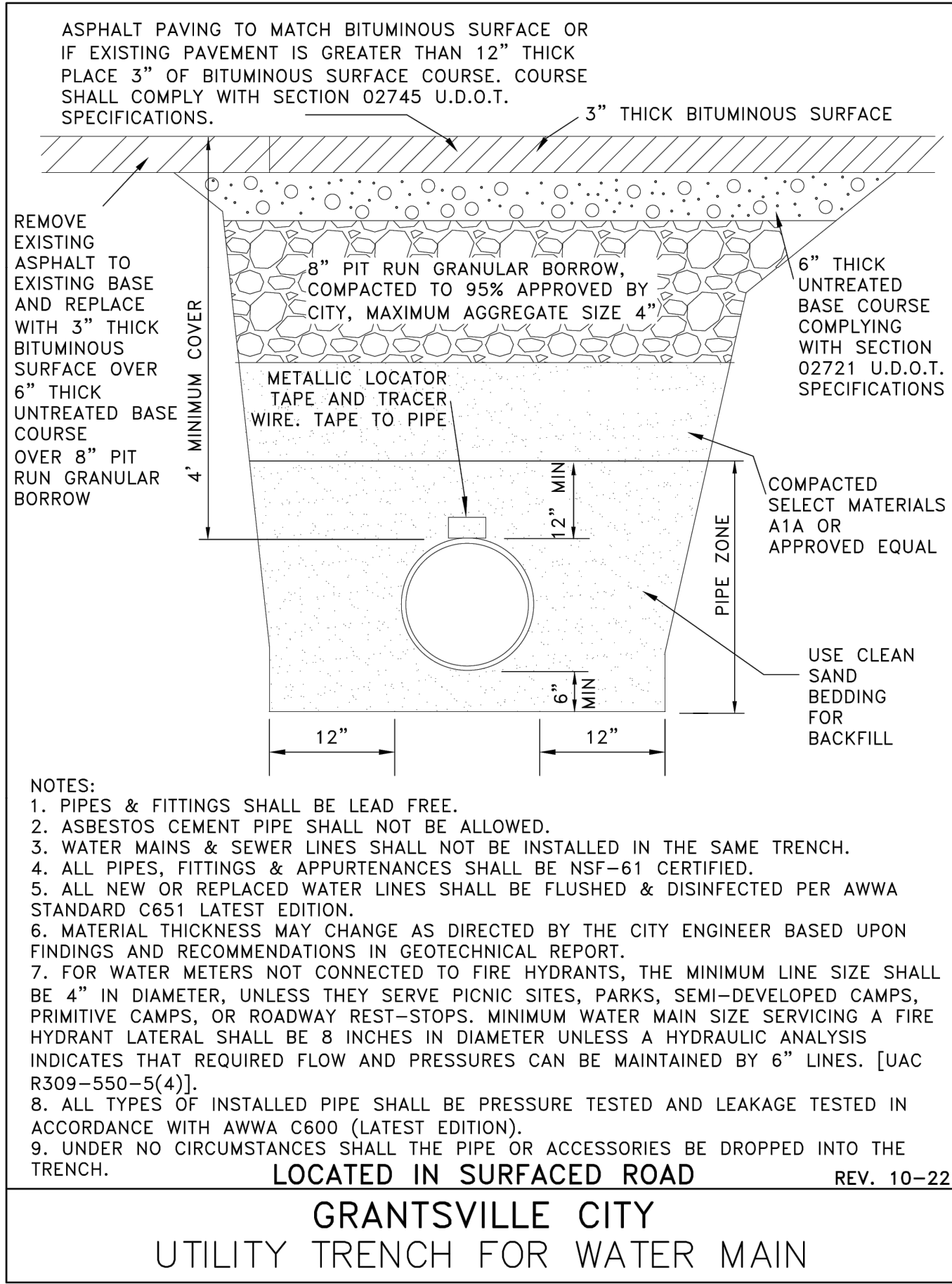


6 STABILIZED CONSTRUCTION ENTRANCE  
SCALE: NONE

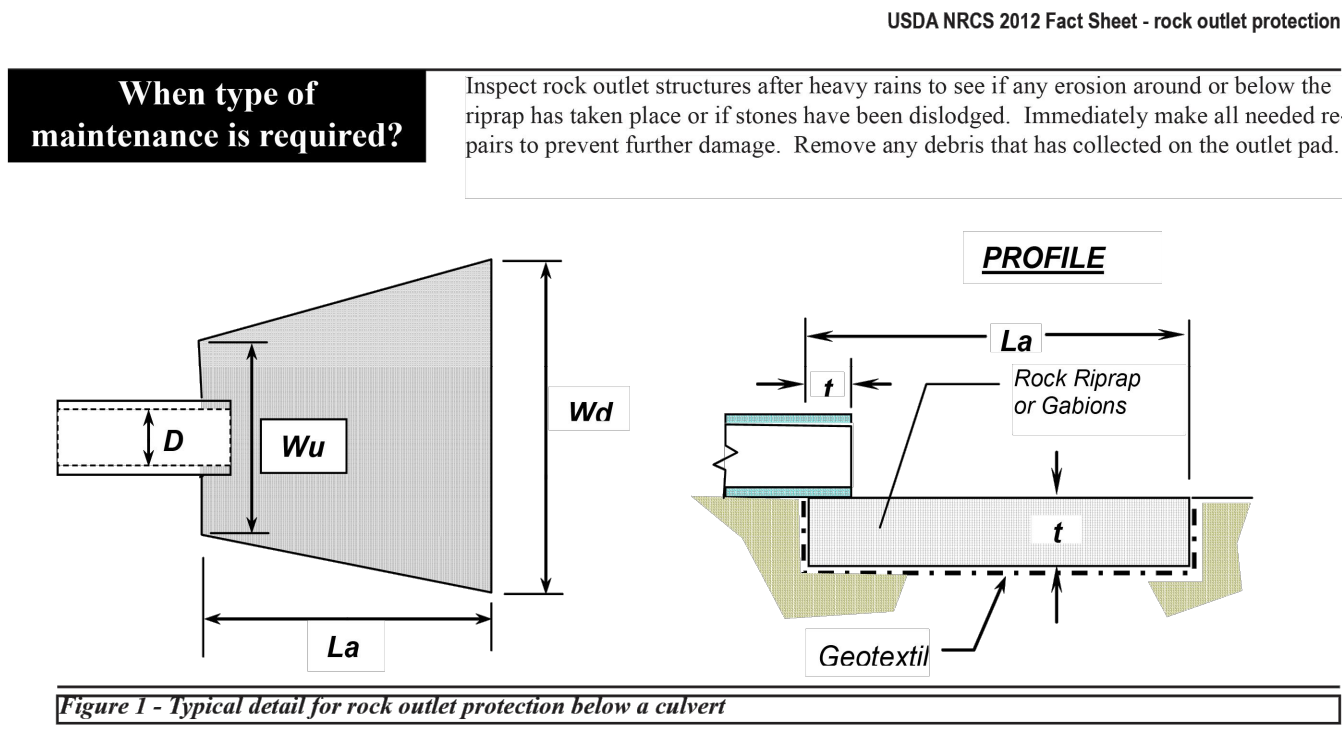


10 STANDARD ON-SITE GRAVEL SECTION  
SCALE: NONE









Culvert Size D, (inches)	Rock Size d <sub>50</sub> , (inches)	Apron Length La, (feet)	Upstream Width Wu, (feet)	Downstream Width Wd, (feet)	Thickness t, (inches)	Quantity (tons)
12	6	12	3	13	18	15
18	9	16	4.5	18	24	20
21	9	18	5	20	24	35
24	9	20	6	22	24	60
30	9	22	7.5	24	24	75
36	12	24	9	27	30	120
42	18	26	10.5	30	36	180
48	18	28	12	32	36	215

TABLE 1 - Rock outlet protection apron dimensions

Smallest Dimension in Inches					% of rocks small than size shown
Gadion Rock	6"d <sub>50</sub>	9"d <sub>50</sub>	12"d <sub>50</sub>	18"d <sub>50</sub>	
8	12	15	21	30	100
6	9	12	18	24	50-70
4	6	9	12	18	35-50
3	2	3	4	6	2-10

TABLE 2 - Required rock gradation

**NOTE:** After a fire many trees are weakened from burning around the base of the trunk. The trees can fall over or blow down without warning. Shallow rooted trees can also fall. Therefore be extremely alert when around burned trees.

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USDA NRCS 2012 Fact Sheet

**NRCS**  
Natural Resources  
Conservation Service

# Rock Outlet Protection

Denver Federal Center  
Building 56, Room 2604  
PO Box 25426  
Denver, Co 80225-0426

720-544-2810 - office  
www.co.nrcs.usda.gov

**What is rock outlet protection?**

A pad or apron of heavy rock placed at the outlet end of culverts or chutes.

**When is rock outlet protection used?**

Rock outlet protection is installed where the energy at the outlets of culverts or chutes are sufficient to erode the receiving channel or area. This fact sheet does not apply to continuous rock linings of channels or streams. Pipes that dump water at the top of a slope, or down slopes steeper than 10 percent, or flow at rates greater than 10 feet per second require a site specific design that is beyond the scope of this fact sheet.

**How is rock outlet protection installed?**

**Apron length:** Apron length (*La*) shall be determined from Table 1.

**Apron width:** The apron width is based on the diameter of the discharge pipe (*D*). The apron width will be *3D* at the upstream end (*Wu*), and the downstream width (*Wd*) will be equal to *(D + La)*. The apron shall extend across the channel bottom and up side slopes for a minimum height equal to the diameter of the pipe (*D*).

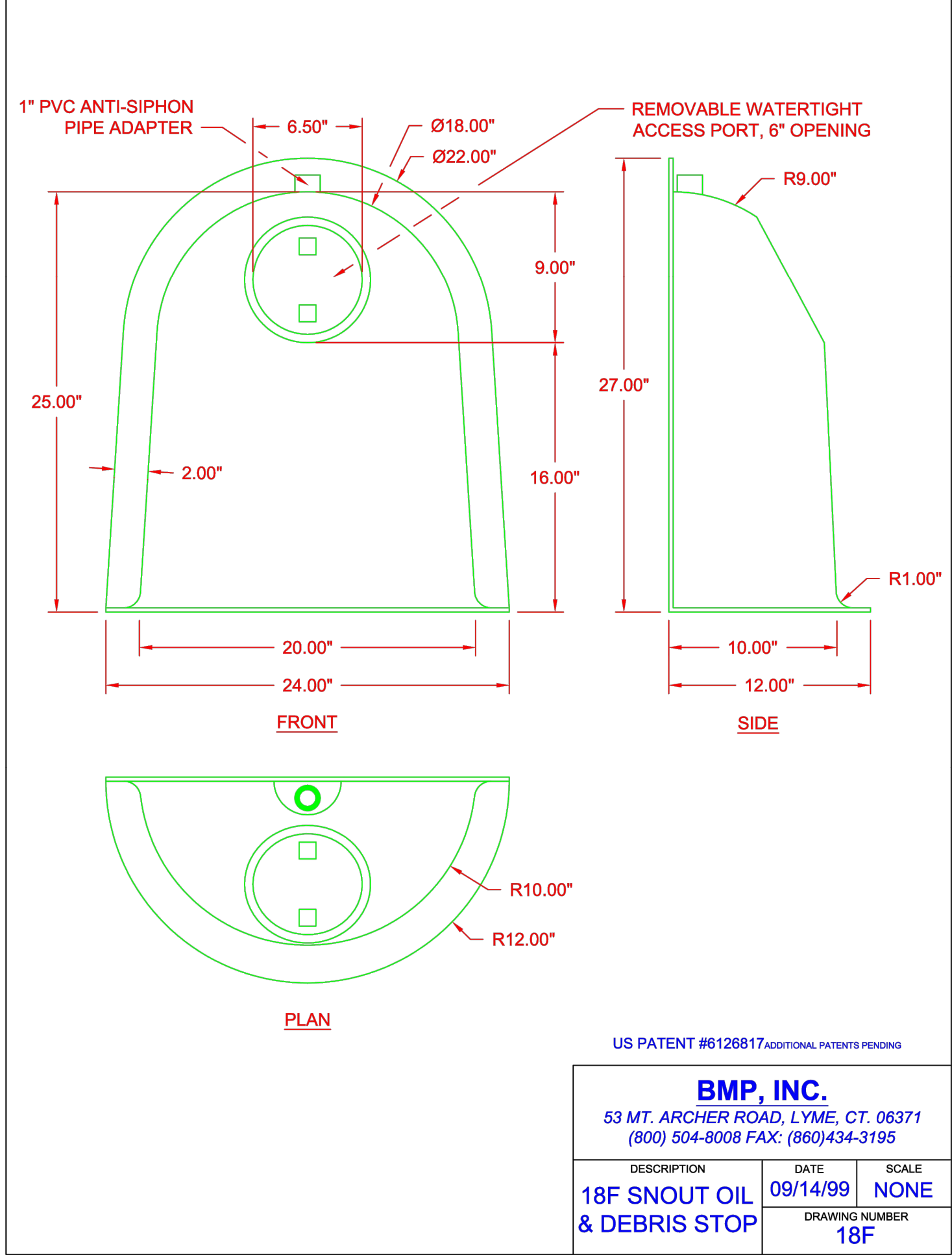
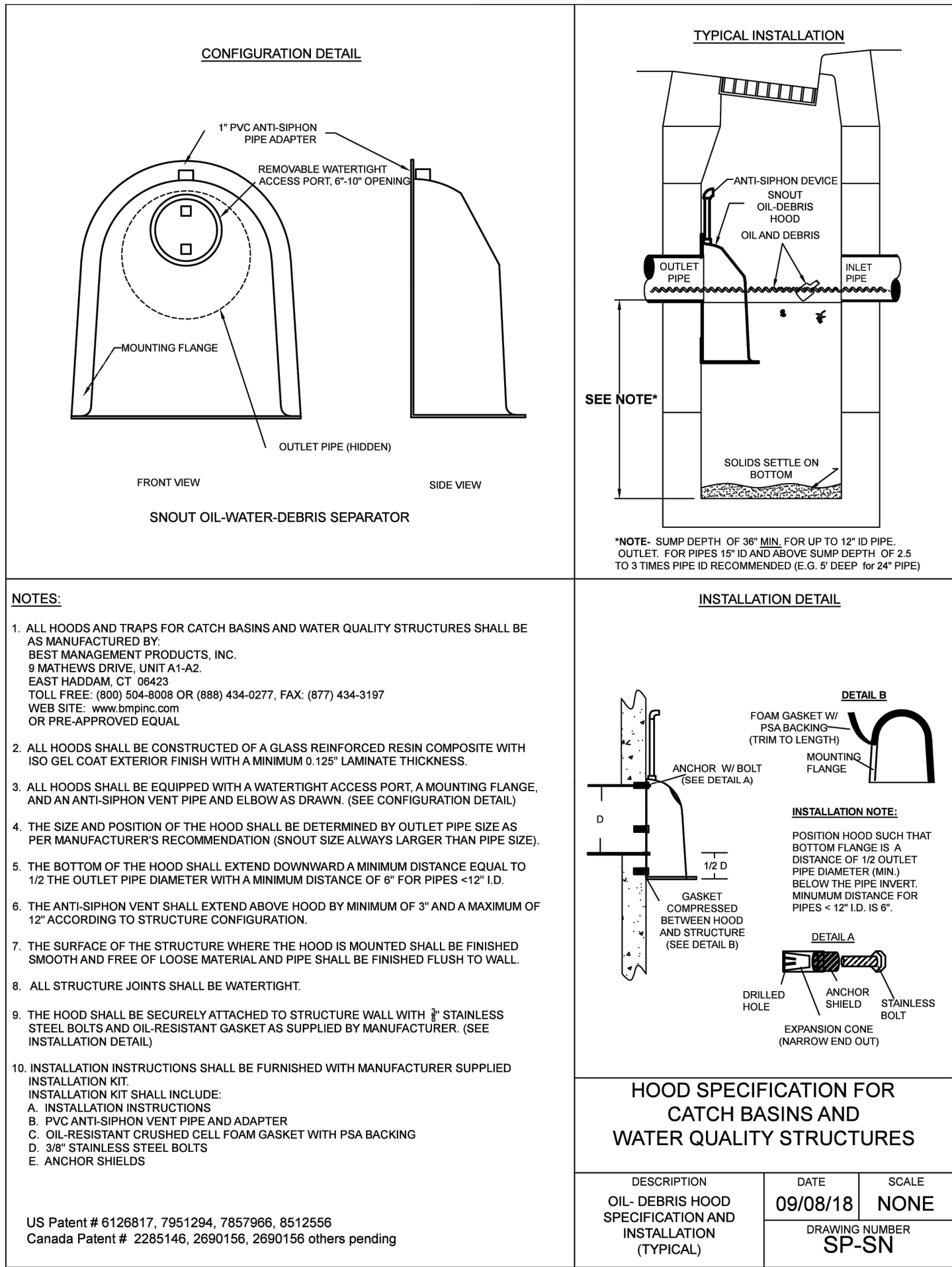
**Alignment:** The apron shall be located so that there are no bends in the horizontal alignment. The apron should be level over its length, and the elevation of the downstream end of the apron must be the same as the elevation of the receiving channel or adjacent ground.

**Thickness:** The required apron thickness is shown in Table 1.

**Gabions:** When a gabion mattress is used it shall be made of double twisted galvanized steel wire. Gabions shall be fabricated in such a manner that the sides, ends, and lid can be assembled at the construction site into mats a minimum of 12 inches thick.

**Materials:** Outlet protection may be done using rock riprap or gabion mattresses to construct the apron. The rock shall consist of field stone or rough unhewn quarry stone. The stone shall be hard and angular and of a quality that will not disintegrate on exposure to water or weathering. Broken concrete may be used provided it does not have any exposed steel or reinforcing bars, and that it is broken into blocky pieces such that the largest dimension of each piece is no more than 3 times the smallest dimension. The required rock size is shown in Tables 1 and 2. In all cases a geotextile (filter fabric) shall be placed between the apron and the underlying soil to prevent soil movement into and through the riprap.

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**ENSIGN**  
THE STANDARD IN ENGINEERING

**TOOELE**  
169 N. Main Street, Unit 1  
Tooele, UT. 84074  
Phone: 435.843.3590

**SALT LAKE CITY**  
Phone: 801.255.0529

**LAYTON**  
Phone: 801.547.1100

**CEDAR CITY**  
Phone: 435.866.1453

**RICHFIELD**  
Phone: 435.896.2983

**WWW.ENSIGNENG.COM**

FOR:  
THE COASSOLO GROUP, LLC  
PO BOX 190  
GRANTSVILLE CITY, UTAH 84029

CONTACT:  
TODD CASTAGNO  
PHONE: 435-849-1485

**HOLLYWOOD CORNER SUBDIVISION**  
**PRELIMINARY DESIGN**  
**HOLLYWOOD STREET AND QUIRK STREET**  
**GRANTSVILLE CITY, UTAH**

**For Review**  
11/21/2022 4:06:01 PM

NO.	DATE	REVISION	BY
1			
2			
3			
4			
5			
6			
7			
8			

## DETAILS

PROJECT NUMBER	PRINT DATE
T1216G	
DRAWN BY	CHECKED BY
C. CHILD	J. CLEGG
PROJECT MANAGER	C. CHILD

**NOTE:**  
ALL CONCRETE SURFACE IMPROVEMENTS SHALL BE CONSTRUCTED USING 4,500 PSI CONCRETE

**D-602**



APWA PLAN #	GRANTSVILLE CITY CHANGES
205.1 - CURB AND GUTTER	TYPE "A" ONLY
231 - SIDEWALK	6" MIN CONCRETE THICKNESS 6" MIN BASE COURSE
235.2 - CORNER CURB CUT ASSEMBLY	6" PPC ON 6" UBC
238 - DETECTABLE WARNING SURFACE	STYLE "T" ONLY YELLOW COLOR TILE
255 - BITUMINOUS PAVEMENT T-PATCH	TRENCH BACKFILL TO BE A1A MATERIAL.
292 - STREET NAME SIGNPOST	USE NEW CITY LOGO W/ STREET NAME & GRID NUMBER ON SIGN
315.1 - CATCH BASIN	24" BASE COURSE UNLESS GEOTECH SAY DIFFERENT
316 - COMBINATION CATCH BASIN AND CLEANOUT BOX	24" BASE COURSE UNLESS GEOTECH SAY DIFFERENT
341.1 - PRECAST MANHOLE	24" BASE COURSE UNLESS GEOTECH SAY DIFFERENT
341.2 - PRECAST MANHOLE	24" BASE COURSE UNLESS GEOTECH SAY DIFFERENT
381 - TRENCH BACKFILL	TRENCH BACKFILL TO BE A1A MATERIAL.
382 - PIPE ZONE BACKFILL	WATER DESIGN - REFER TO GRANTSVILLE UTILITY TRENCH FOR WATER DETAIL SEWER DESIGN - SHOULD BE 3/4" MINUS BEDDING CRUSHED DRAIN ROCK. PER UTAH CODE R309-550-8(2)
411 - SANITARY SEWER MANHOLE	24" BASE COURSE UNLESS GEOTECH SAY DIFFERENT



## **AGENDA ITEM #3**

Discussion for Lori Sipes to own and operate a daycare located at 167 McMichael Ave., in a R-1-8 zone



## Planning and Zoning

336 W. Main Street • Grantsville, UT 84029

Phone: (435) 884-1674 • Fax: (435) 884-0426

CUP – 22-12.29

## Conditional Use Permit Summary and Recommendation

**Parcel ID:** 09-002-0-0011

**Property Address:** 167 McMichael Ave.

**Meeting Date:**

January 19, 2023 (discussion)

**Current Zone /**

R-1-8

**Applicant Name:**

Lori Sipes - Abounding Grace Daycare

**Request:**

To own and operate a daycare in her home located at 167 McMichael Ave.

**Prepared by:**

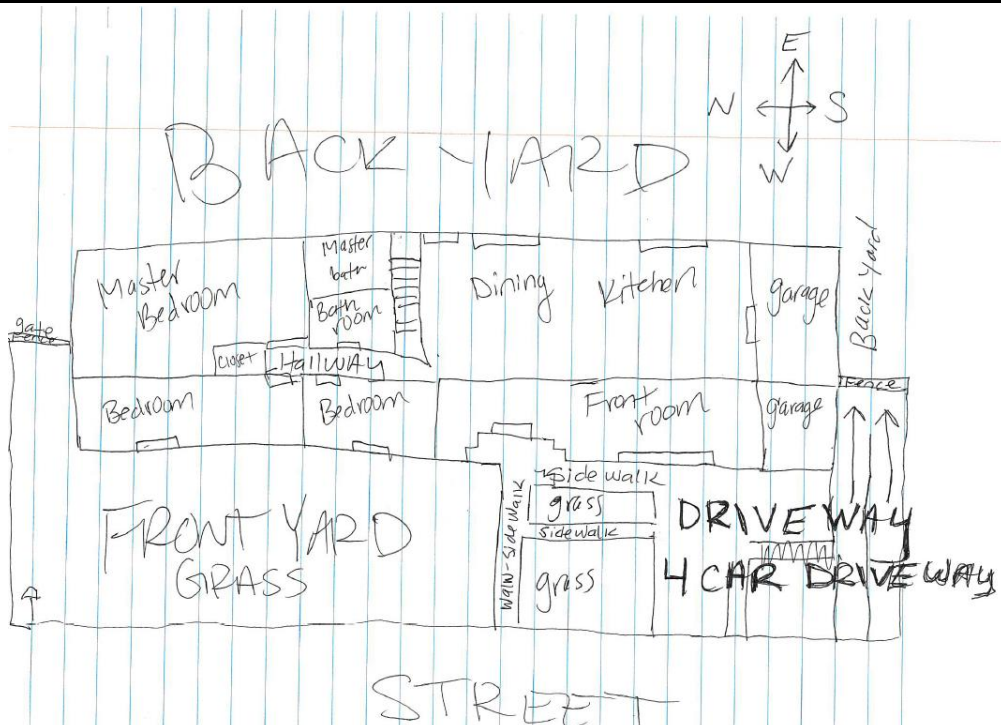
Cavett Eaton

**Planning Staff Recommendation:** be recommended for approval

## PROJECT DESCRIPTION

In-home childcare during the hours of 6am to 6pm. Expected number of children per day is 14. Both Lori and Charles, her husband will be child care providers (2 employees).

## SITE & VICINITY DESCRIPTION







### LAND USE CONSIDERATIONS

Requirement	Standard	Proposed	Compliance Verified
Chapter 6.13 Table 6.4 Parking Requirements – Daycare Facility	1 space for every 2 employees, + 2 additional parking space, +1 loading space for every 8 clients	4 Parking Spaces in Driveway	Yes
CUP Code Table Zone R-1-8	Requirements	Compliance	Verified
Table 15.1 Use Regulations	Child Day Care Center (in a home, no more than 12 children at any one time with 1 provider and up to 16 with 2 providers, including those residing in the home with no more than 2 children under the age of two)	Complies	Yes



## GENERAL PLAN CONSIDERATIONS

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### Goals + Policies + Economic Development

Goal 3. **Administrative Business Incentives.** Grantsville is a business-friendly community that actively seeks ways to encourage business.

2. Utilize incentives for desired businesses, specifically ensuring that necessary services are provided within the community.

Having a childcare facility in the community is a necessary service that is greatly needed.

## ISSUES OF CONCERN/PROPOSED MITIGATION

---

Traffic at peak drop-off and pick-up times Sipes have a large driveway and will work with clients to facilitate a safe and quick drop-off and pick-up procedures. Drop off parking on McMichael is reasonable as well.

## NEIGHBORHOOD RESPONSE

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No responses have been submitted at this time. We have sent a radius report on January 5, 2023.

## PLANNING STAFF ANALYSIS

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Planning Staff has found that the proposed use is consistent with Grantsville City code under a Conditional Use Permit for an In-home Child Day Care Center.

## PLANNING STAFF RECOMMENDATION

---

Planning Staff recommends Lori Sipes - Abounding Grace Daycare located at 167 McMichael Ave. be recommended for approval of a Conditional Use Permit for a Home Operated Daycare.

## APPURTENANT DOCUMENTS

---



GRANTSVILLE CITY CONDITIONAL USE APPLICATION
(Home Occupation)

FEE IS \$75.00 IF REVIEWED IN HOUSE, \$200.00 IF REVIEWED BY COMMISSION

\* Name: Lori Sipes
\* Phone #: 8018645735
\* Business Name: Abounding Grace Childcare, LLC
\* Mailing Address: 167 McMichael Avenue
City, State, Zip
\* E-mail address of applicant: Lori@Charlessipes.com
Do you own subject property?: Yes
Current zone of property: R1-8
\* Complete detailed description of the type of business proposed: In-home childcare
\* Hours of operation: 6am-6pm
\* Expected number of clients per day: 14
\* List of individuals who will be working in the business: Charles Sipes
\* Storage of materials (tool, product, etc.), what & where: children in my home

Required Items to be Submitted for In-House/Planning Commission Approval (Must be submitted separately to the Zoning Administrative Assistant):
1. Approval letter from the owner of the property if you are renting or leasing.
2. Vicinity map of area with North indicated.
3. A site plan which includes actual dimensions of the property, the size and location of all existing buildings, and all driveways and areas for and number of parking spaces.
4. A plat of the parcel and a Radius Report obtained from Tooele County Recorder's office, self-sealing envelopes, mailing labels and first class postage for all property owners located within 500 feet of subject property boundary. DO NOT PUT MAILING ADDRESSES ON ENVELOPES! Addresses must be from Tooele County Recorder's Office!
Documents can be submitted by email to lthompson@grantsvilleut.gov. Please call Lanise at 435 884-1674 for questions and confirmation of approval. Document submittal does not guarantee approval of a Conditional Use Permit.
\* SIGNATURE OF APPLICANT

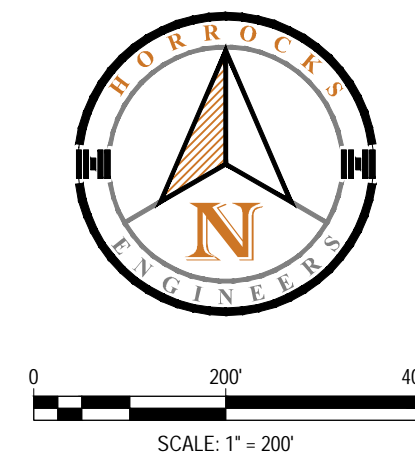
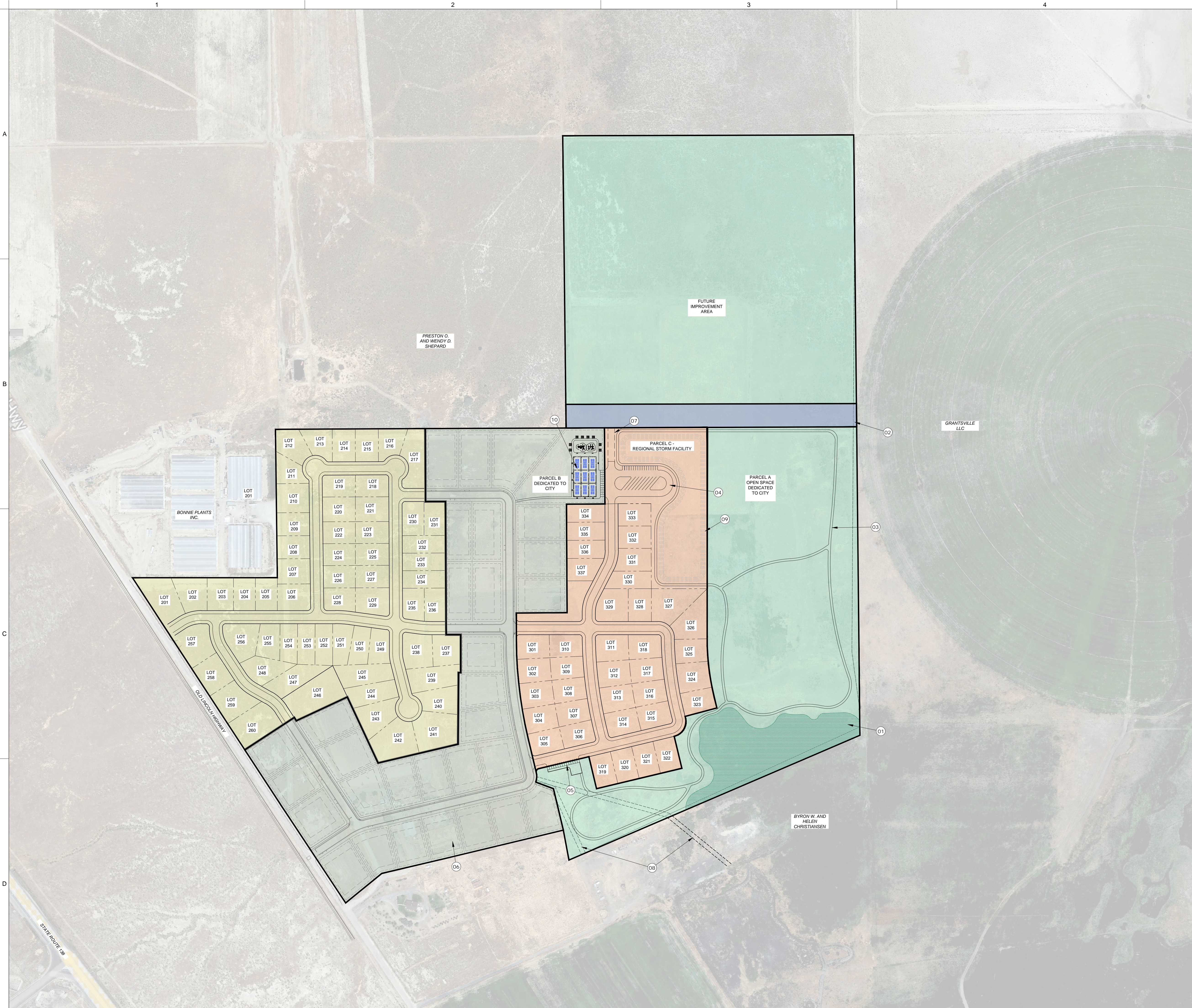
APPLICANT: Lori Sipes



# **AGENDA ITEM #4**

Discussion of revised Concept Plan for  
Worthington Ranch





SITE KEYNOTES

- 01 APPROXIMATE WETLAND BOUNDARIES FROM BIOWEST 2021 DELINEATION
- 02 108' PROPOSED ROW FOR FUTURE EXTENSION OF MEADOW LANE
- 03 MULTI-USE TRAIL NETWORK - EXACT LAYOUT TO BE DETERMINED IN CONJUNCTION WITH CITY STAFF.
- 04 TRAILHEAD WITH ACCOMMODATIONS FOR EQUESTRIAN USERS - EXACT LAYOUT TO BE DETERMINED IN CONJUNCTION WITH CITY STAFF.
- 05 TRAILHEAD AND NEIGHBORHOOD GATHERING AREA-EXACT LAYOUT TO BE DETERMINED.
- 06 PHASE 1 - ALREADY APPROVED AND UNDER DEVELOPMENT
- 07 EXTENSION OF TRAILHEAD ACCESS ROAD TO FUTURE MEADOW LANE EXTENSION
- 08 EASEMENTS FOR UTILITIES TO ADJACENT PROPERTIES
- 09 CONCEPTUAL OUTLINE OF 5 ACRE REGIONAL STORM POND
- 10 PICKLEBALL COURT COMPLEX WITH PLAYGROUND AND SHADE PAVILLIONS- SEE DETAIL SHEET

PHASE	OVERALL ACREAGE (INCLUDING ROADS)	NUMBER OF LOTS	DENSITY	MIN/MAX LOT SIZE
1	32.79 ACRES	30	0.91 LOTS PER ACRE	.75 ACRES/1.46 ACRES
2	31.64 ACRES	60	1.90 LOTS PER ACRE	.33 ACRES/ .84 ACRES
3	24.53 ACRES	37	1.51 LOTS PER ACRE	.33 ACRES/ .63 ACRES
OPEN SPACE	66.81 ACRES	0	N/A	N/A
FUTURE ROW	3.29 ACRES	0	N/A	N/A
TOTAL	159.06 ACRES	127	0.80 LOTS PER ACRE	.33 ACRES/1.46 ACRES

- PHASE 1 (ALREADY APPROVED AND UNDER DEVELOPMENT)
- PHASE 2 (PROPOSING REVISIONS)
- PHASE 3 (PROPOSED)
- OPEN SPACE - DEDICATED TO CITY
- FUTURE MEADOW LANE EXTENSION RIGHT-OF-WAY - DEDICATED TO CITY

**HORROCKS**  
**ENGINEERS**

2162 West Grove Pkwy., Suite 400  
Pleasant Grove, UT 84062  
(801) 763-5100  
www.horrock.com

**WARNING**

0 1 2  
IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REVISIONS

REV # DATE

DRAWING INFO

DATE 14-2023

DESIGNED ZS

DRAWN ZS

CHECKED ZS

PROJECT UT-6443-22

**PRELIMINARY**

**NOT FOR CONSTRUCTION**

**WORTHINGTON-RANCH**

GRANTSVILLE,UTAH

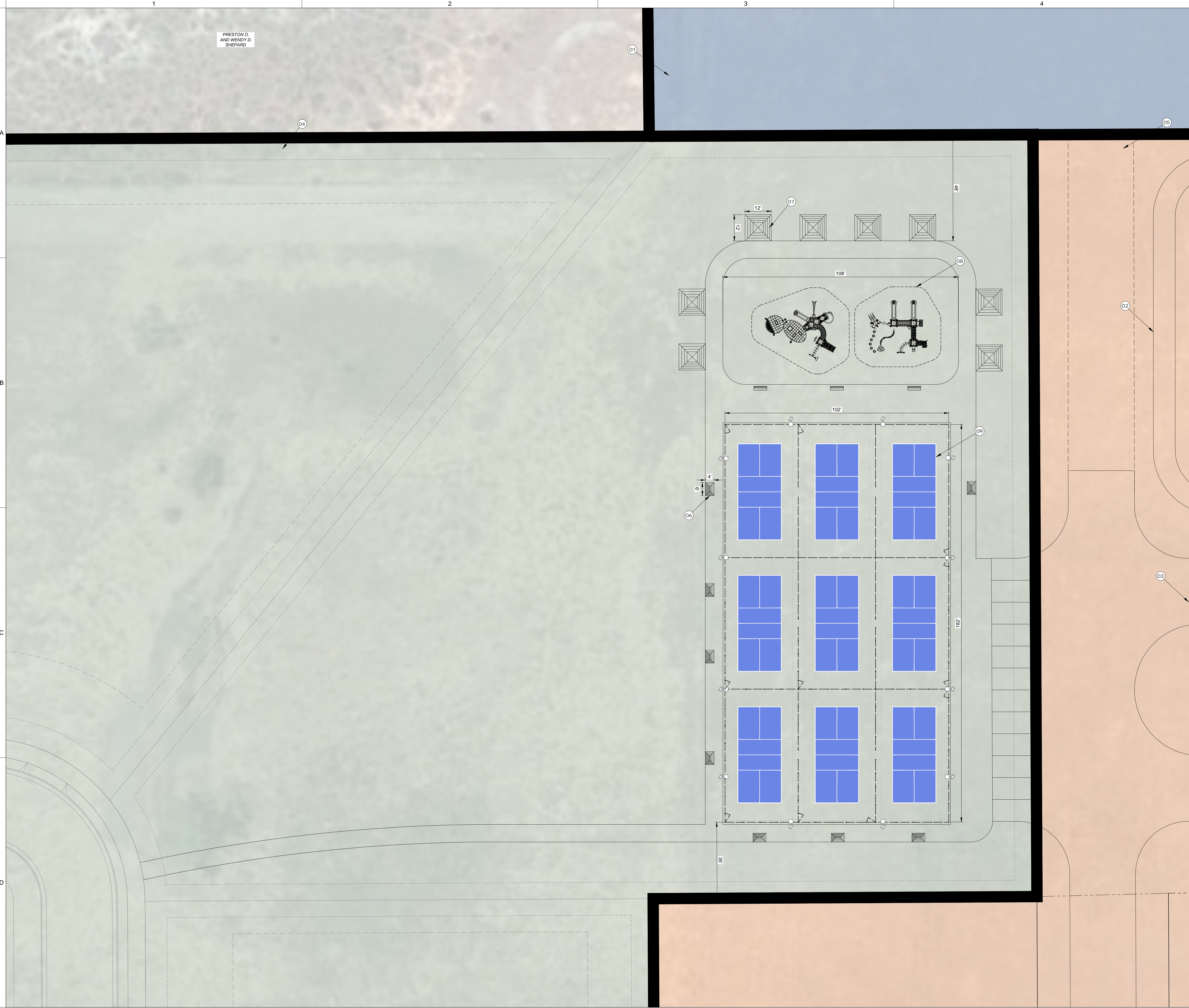
**CONCEPT-PLAN**



**EXHIBIT**

PAGE A





PRESTON O.  
AND WENDY D.  
SHEPARD



SCALE: 1" = 20'

SITE KEYNOTES

- 01 108' PROPOSED ROW FOR FUTURE EXTENSION OF MEADOW LANE
- 02 MULTI-USE TRAIL NETWORK - EXACT LAYOUT TO BE DETERMINED IN CONJUNCTION WITH CITY STAFF.
- 03 TRAILHEAD WITH ACCOMMODATIONS FOR EQUESTRIAN USERS - EXACT LAYOUT TO BE DETERMINED IN CONJUNCTION WITH CITY STAFF.
- 04 PHASE 1 - ALREADY APPROVED AND UNDER DEVELOPMENT
- 05 EXTENSION OF TRAILHEAD ACCESS ROAD TO FUTURE MEADOW LANE EXTENSION
- 06 SMALL SHADE PAVILION- 4'X6'
- 07 LARGE SHADE PAVILION- 12'X12'
- 08 PLAYGROUND
- 09 PICKLEBALL COURT COMPLEX

- PHASE 1 (ALREADY APPROVED AND UNDER DEVELOPMENT)
- PHASE 2 (PROPOSING REVISIONS)
- PHASE 3 (PROPOSED)
- OPEN SPACE - DEDICATED TO CITY
- FUTURE MEADOW LANE EXTENSION RIGHT-OF-WAY - DEDICATED TO CITY

**HORROCKS**  
**ENGINEERS**

2162 West Grove Pkwy., Suite 400  
Pleasant Grove, UT 84062  
(801) 763-5100  
www.horrock.com

WARNING

IF THIS BAR DOES NOT  
MEASURE 2" THEN  
DRAWING IS NOT TO SCALE

REVISIONS

REV #	DATE

PRELIMINARY  
NOT FOR  
CONSTRUCTION

WORTHINGTON-RANCH

GRANTSVILLE, UTAH

CONCEPT-PLAN



EXHIBIT



# AGENDA ITEM #5

Discussion of Concept Plan for Suds and Soda



# GRANTSVILLE CITY ZONING DEPARTMENT

429 EAST MAIN STREET  
GRANTSVILLE, UTAH 84029  
PHONE (435) 884-3411  
FAX (435) 884-0426

Concept  
Application Fee:  
\$50.00

Turn in with Plat  
Map 15 days  
before P&Z  
Meeting

DATE PAID 1/13/23

HEARING DATE \_\_\_\_\_

## CONCEPT PLAN APPLICATION

Date of Application 1/11/23

Property Location Corner of Main and Race Street

Property Owner(s) Suds N Soda LLC

E-Mail quin@sudsnsoda.com

Acting Agent Name Quin Denning

Owner Phone 801-637-1557 Agent Phone 801-556-6776

Subdivision Name \_\_\_\_\_

Number of Acres in Subdivision \_\_\_\_\_

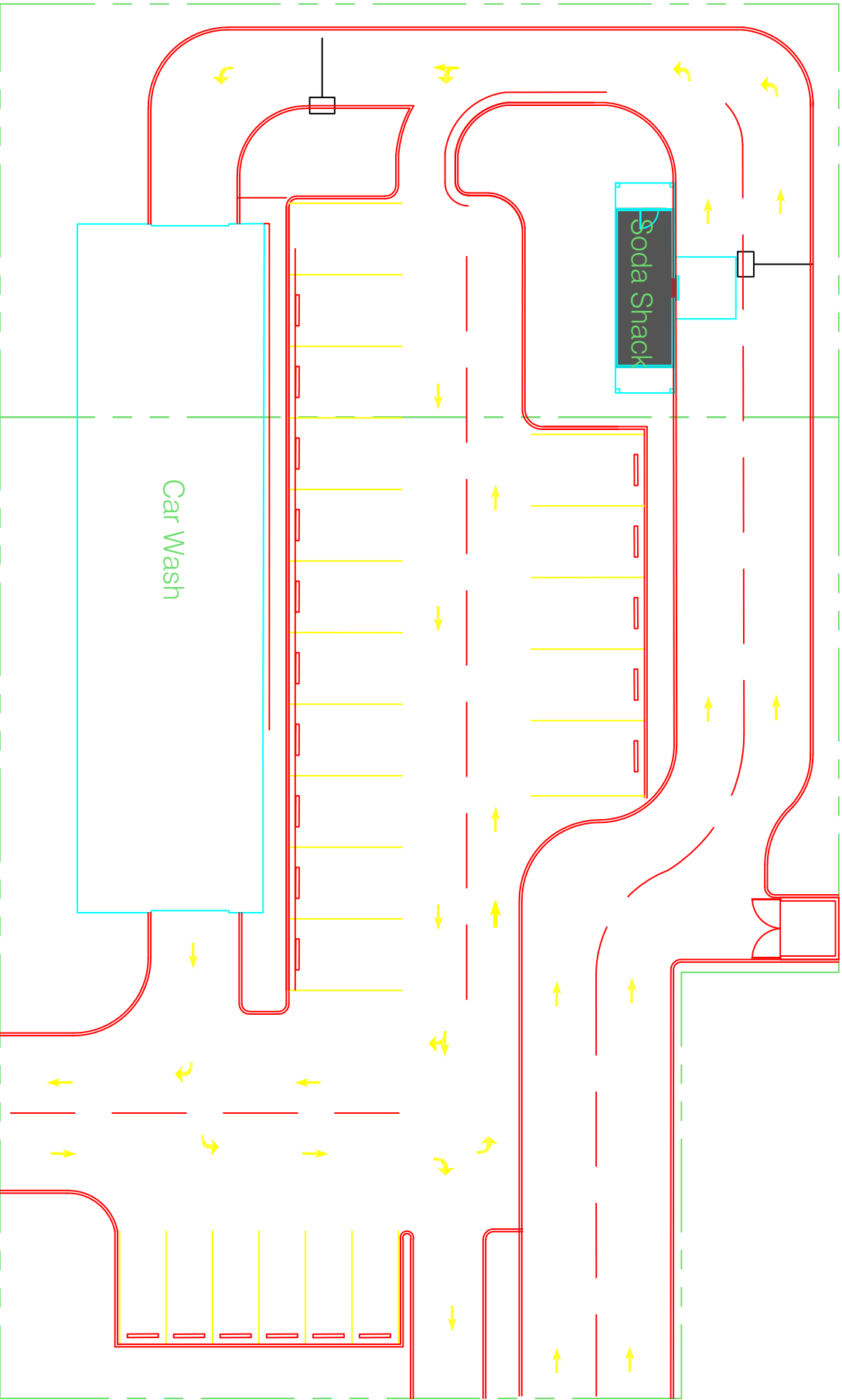
Total Number of Lots 2 Existing, combined into 1

Lot Sizes Lot 1 is aprx. 13,000 sq ft. Lot 2 is aprx. 28,000 sq ft.

Current Zoning of Property CG Parcel Number \_\_\_\_\_

R Quin Denning  
Signature of Owner or Agent





Race Street

Main Street

Proposed Site Plan

Not To Scale







**SUDS N SODA**

**CARWASH**









# **AGENDA ITEM #6**

Discussion for Amending Chapter 21 Minor  
Subdivision



## Grantsville

### Subdivision Process Description

The city desires a process that addresses the smaller subdivision separately from the larger subdivision and adjusts the necessary steps and effort to be comparable with the size of the subdivision. The following is a general description of what a stepped process may look like.

**Level 1 Single Lot Development** This is Chapter 24 in the Code and already exists. The purpose of this code is simply to take a parcel and turn it into a legal zoning lot. If the parcel is fronting the necessary utilities and the applicant is willing to make the required improvements to bring it up to code and is not asking for any waivers or exceptions this is a staff approval. If exceptions or waivers are requested, then the application goes to City Council for approval of the exceptions or waivers. This does not need a Public Hearing because there is no change to the property boundary and does not create additional lots.

**Modeling for Water and Sewer:** Per State Administrative Code any the connections will need to be included in the model and a capacity memo will be required. The memo may take an hour for each. No charge cover under review time.

**Level 2 Single lot split:** This situation is where someone wants to divide one lot into two lots. State law requires that if the property is in a subdivision that it has to go through a subdivision Amendment. If not in a subdivision, they have to produce a Plat to record. State law also requires that Plats and Amendments have to have a public hearing. We can't get around either of these requirements but if like the Single Lot Development the parcel is fronting the necessary utilities and the applicant is willing to make the required improvements to bring it up to code and is not asking for any waivers or exceptions this process should only require two reviews by staff (1 initial review and one to verify that corrections have been made) and then it should be able to go on to Planning Commission and City Council.

**Modeling for Water and Sewer:** Per State Administrative Code any the connections will need to be included in the model and a capacity memo will be required. The memo may take an hour for each. No charge cover under review time.

**Level 3 Minor Subdivision:** This situation is where someone wants to divide their property up to 4 lots that are fronting an existing street and require only utility service connections. As with level 2 it still will need to have a plat and a public hearing but will only require a plat. This process should only require two reviews by staff (1 initial review and one to verify that corrections have been made) and then it should be able to go on to Planning Commission and City Council.

**Modeling for Water and Sewer:** Per State Administrative Code any the connections will need to be included in the model and a capacity memo will be required. The cost can be reduced to probably 40% of what a standard subdivision requires maybe a little more. We need to look at this closely.

**Level 4 Subdivision 4 lots or less** requiring dedication of land or improvements. This situation is where someone wants to divide property into four lots or less but utilities or other public improvements are required to be able to serve the property. In this case the applicant will only have to go through the Final Plat process for a subdivision with the inclusion of a public hearing.



Modeling for Water and Sewer: Per State Administrative Code any new lines that will be on a public system must be modeled. The cost can be reduced to probably 66% of what a standard subdivision requires maybe a little more. We need to look at this closely.

Level 5 Subdivision Five Lots or Greater: This is simply all subdivisions five lots or greater and requires the applicant to go through both preliminary and final plat processes.

Modeling for Water and Sewer: Required.



Below are the suggested amendments to the current code. These are new sections that would be added. This is not complete as we would like to get comments from Planning Commission about what is being proposed before jumping into modifications of other section of Chapter 21.

#### 21.2.11 Determination of Appropriate Process

In recognition that not all land use actions are of the same magnitude and therefore may not require the same level of detail for consideration Grantsville City has provided multiple application processes. For this purpose, the application processes have been organized as levels with each level requiring greater detail and additional steps for consideration and approval. The applicant shall choose the application process that best fits their proposed land use action:

- (a) Level 1 Single Lot Development: The purpose of this process is to convert an undeveloped parcel into a legal zoning lot. The applicant shall submit an application meeting the requirements for the Single Lot Development as described in Chapter 24 of the Grantsville Land Use Development and Management Code.
- (b) Level 2 Single Lot Split: The purpose of this process is to divide one lot into two lots. Level 2 may only be used if the lot or parcel being divided is fronting an existing street containing the necessary utilities to serve the two lots. Both lots shall front the existing street. By utilizing this process, the applicant agrees to make the required improvements to bring the street frontage up to code and is not asking for any waivers or exceptions. The applicant shall be required to complete improvements to a similar level as the greatest level of improvements found on an adjacent parcel. The applicant may only be required to complete improvements beyond those existing on adjacent parcels if, there is a compelling reason affecting the health, safety or welfare of the public or, an adjacent property is currently in an application process which will increase the level of improvement to the street, or the City has a current project that is increasing the level of improvement to the street. If no street improvements are required beyond additional utility service laterals, the only engineered drawings required will be a record of survey, a Plat and a drawing showing the proposed locations of proposed utility service laterals and a reference to the appropriate City standard details for the necessary work to install the service laterals. The process shall include two staff DRC's, a Public Hearing, Planning Commission consideration and City Council Consideration. If the lot to be divided is part of a subdivision the subdivision amendment process is the appropriate application.
- (c) Level 3 Minor Subdivision: The purpose of this process is to divide property into up to 4 lots with all lots fronting an existing street containing the necessary utilities to serve the proposed lots. By utilizing this process, the applicant agrees to make the required improvements to bring the street frontage up to code and is not asking for any waivers or exceptions. The applicant will not be required to complete improvements that are greater than the greatest level of improvements found on an adjacent parcel or lot unless there is a compelling reason affecting the Health, Safety or Welfare of the public or an adjacent property is currently in an application process which will increase the level of improvement to the street, or the City has a current project that is increasing the level of improvement to the street. If no street improvements are



required beyond additional utility service laterals, the only engineered drawing required will be a record of survey, a Plat and a drawing showing the proposed locations of proposed utility service laterals and a reference to the appropriate City standard details for the necessary work to install the service laterals.

The process shall include two staff DRC's, a Public Hearing, Planning Commission consideration and City Council Consideration. If the lot to be divided is part of a subdivision the subdivision amendment process is the appropriate application.

- (d) Level 4 Subdivision 4 lots or less: The purpose of this process is to divide property into 4 lots or less where dedication of additional utilities or public improvements are required to serve the property. The applicant shall submit an application meeting the requirements for a final plat subdivision process as described in Section 21.4 Subdivisions of this Chapter. A public hearing shall be held in a public Planning Commission meeting to fulfill the State requirements.
- (e) Level 5 Subdivision Five Lots or Greater: The purpose of this process is to divide property into 5 or more lots or any division of property that requires dedication of offsite utilities or public improvements. The applicant shall submit an application meeting the requirements for both a preliminary plat and final plat subdivision process as described in Section 21.4 Subdivisions of this Chapter.

Since there are several submittal items that are required for all development applications those items would be removed from other sections in this chapter and located in the proposed section.

#### 21.2.12 Submittal Items Required for all Subdivision Processes

All subdivision applications shall include:

- (a) the application form; and
- (b) two 24" X 36" prints and a .PDF file of the necessary Plat and associated drawings; and
- (c) a CAD file of the Preliminary Plat site plan including but not limited to parcel boundaries, street right-of-way, proposed lot lines, proposed parks, trails, open space, location of natural features to be preserved, drainage corridors and basin locations; and
- (d) an 11" X 17" copy of the preliminary plan in each of the following circumstances (delivered directly to the applicable entities):
  - (i) when a proposed subdivision lies wholly or partially within one mile of the corporate limits of Grantsville City, where notice will be given to Tooele County;
  - (ii) for each servicing utility; and
  - (iii) for the Utah State Department of Transportation if the property being subdivided abuts a state highway.
- (e) proof of ownership demonstrated by two copies of a title report and vesting documents of conveyance completed within the previous six months;



- (f) utility approval forms;
- (g) the proposed source and amounts of water for all lots;
- (h) names and addresses of the owners of all properties within 300 feet of the proposed subdivision's boundaries;
- (i) approval of the subdivision name from the recorder's office;
- (j) a plat map for the recorder's officer showing the property and all adjoining properties around it;
- (k) if the applicant is not the owner of record, a notarized statement that the applicant has been authorized by the owner to make application;
- (l) a letter from the local fire department acknowledging it can and will provide fire protection to the subdivision;
- (m) site analysis map for all subdivisions greater than five lots, as specified in Section 21.1.13; and
- (n) geologic technical maps and investigation reports;
- (o) if the development is not being connected to the city culinary water or sewer system, a letter showing a completed Tooele County Health Department Subdivision Feasibility Study deeming the project feasible;
- (p) a traffic study is required for all subdivisions (greater than five lots) and commercial projects and shall be completed by a licensed engineer. A traffic study shall include trip generation, trip distribution on connecting streets and roadway capacity. Subdivisions and commercial projects with over 100 peak hour trips shall complete a traffic impact study in accordance with Institute of Transportation Engineers recommended standards;
- (q) A copy of the State Highway Access permit or railroad crossing permit when a new street will connect to a State highway or will cross a railroad, along with any design requirements as established by the Utah Department of Transportation.
- (r) the application fee along with any unpaid fees owed to Grantsville City for development of land, code enforcement, or building permits.



# **AGENDA ITEM #7**

**Motion to elect Chair and Vice Chair for 2023**



# AGENDA ITEM #8

Report from City Council liaison Mayor  
Critchlow



# AGENDA ITEM #8

Adjourn