

P&Z Packet

Planning Commission Meeting 04/07/22

04/01/2021

Grantsville City Corporation

Kristy Clark, Zoning Administrator

Email: kclark@grantsvilleut.gov

P&Z 04/07/22
MEETING AGENDA

Amended Agenda on April 1, 2022

We will continue to broadcast the Planning Commission meetings electronically on Zoom. If you choose to attend, please wear a face covering.

PUBLIC NOTICE

Notice is hereby given that the Grantsville City Planning Commission will hold a regular meeting on **Thursday, April 7, 2022** in the Grantsville City Hall Council Chambers at 429 East Main Street in Grantsville Utah. The meeting shall begin promptly at 7:00 p.m.

*****This meeting is to discuss and hold a public hearing to receive public input. The Planning Commission will make a recommendation for the Public Hearing items to City Council on April 21, 2022. *****

THE MEETING WILL OFFICIALLY BE CALLED TO ORDER BY COMMISSION CHAIRMAN, BRIAN PATTEE.

PLEDGE OF ALLEGIANCE

- 1. Discussion to approve a Home Occupation Conditional Use Permit for Logan and Daphne Hull to own and operate an Online Sporting Good Retail and FFL Transfer business out of her home located at 197 West Phelps Street in the R-1-21 zone.**
- 2. Discussion to recommend approval of a Final Plat Amendment for LBP Building 1, LLC. located at 323 North Sheep Lane to divide lot 1 into two (2) building lots in the MG zone.**
- 3. Discussion to recommend approval of the Preliminary Plan for Grantsville New Team, LLC. on the Matthews Meadows Subdivision located approximately at 401 West Durfee Street for the creation of eighty-eight (88) lots in the R-1-12 zone.**
- 4. Discussion to recommend approval of the Preliminary Plan for Grantsville New Team, LLC. on the Cowboy Estates Subdivision located approximately at 416 South Willow Street for the creation of nineteen (19) ½ acre lots in the R-1-21 zone.**
- 5. Discussion to recommend approval of the PUD Plan for Dustin Hall, D.A.B. & K, LLC. on the Willow Fields PUD Subdivision located at approximately at 834 N. Old Lincoln Hwy for the creation of twenty-eight (28) lots in the RR-1 zone.**
- 6. Discussion to recommend approval of the Preliminary Plan for Dustin Hall, D.A.B. & K, LLC. on the Willow Fields PUD Subdivision located at approximately at 834 N. Old Lincoln Hwy for the creation of twenty-eight (28) lots in the RR-1 zone.**
- 7. Discussion to recommend approval to amend Chapter 7, Conditional Uses, sections, #7.5.1 and #7.8, in the Grantsville City Land Use Management and Development Code.**

PUBLIC HEARINGS:

- a. Proposed Home Occupation Conditional Use Permit for Logan and Daphne Hull to own and operate an Online Sporting Good Retail and FFL Transfer business out of her home located at 197 West Phelps Street in the R-1-21 zone.**

- b. **Proposed Final Plat Amendment for LBP Building 1, LLC. located at 323 North Sheep Lane to divide lot 1 into two (2) building lots in the MG zone.**
- c. **Proposed Preliminary Plan for Grantsville New Team, LLC. on the Matthews Meadows Subdivision located approximately at 401 West Durfee Street for the creation of eighty-eight (88) lots in the R-1-12 zone.**
- d. **Proposed Preliminary Plan for Grantsville New Team, LLC. on the Cowboy Estates Subdivision located approximately at 416 South Willow Street for the creation of nineteen (19) ½ acre lots in the R-1-21 zone.**
- e. **Proposed PUD Plan for Dustin Hall, D.A.B. & K, LLC. on the Willow Fields PUD Subdivision located at approximately at 834 N. Old Lincoln Hwy for the creation of twenty-eight (28) lots in the RR-1 zone.**
- f. **Proposed Preliminary Plan for Dustin Hall, D.A.B. & K, LLC. on the Willow Fields PUD Subdivision located at approximately at 834 N. Old Lincoln Hwy for the creation of twenty-eight (28) lots in the RR-1 zone.**
- g. **Proposed Amendment to Chapter 7, Conditional Uses, sections, #7.5.1 and #7.8, in the Grantsville City Land Use Management and Development Code.**

CONSIDERATIONS:

- 8. **Consideration to approve a Home Occupation Conditional Use Permit for Logan and Daphne Hull to own and operate an Online Sporting Good Retail and FFL Transfer business out of her home located at 197 West Phelps Street in the R-1-21 zone.**
- 9. **Consideration to recommend approval to amend the Final Plat for LBP Building 1, LLC. located at 323 North Sheep Lane to divide lot 1 into two (2) building lots in the MG zone.**
- 10. **Consideration to recommend approval to amend Chapter 7, Conditional Uses, sections, #7.5.1 and #7.8, in the Grantsville City Land Use Management and Development Code.**
- 11. **Consideration to recommend approval the PUD Application for Holly Jones located at 225 S Willow Street for the creation of 10 units in the RM-7 zone.**
- 12. **Consideration to recommend approval the Multiple Housing Conditional Use/Site Plan Applications for Holly Jones located at 225 S Willow Street for the creation of 10 units in the RM-7 zone.**
- 13. **Discussion to adopt a Retaining Wall Ordinance in the Grantsville City Land Use Management and Development Code.**
- 14. **Presentation by the Grantsville City Engineer, Dan England about amending the Street Master Plan.**
- 15. **Consideration to approve the meeting minutes for the previous P&Z Meeting that was held February 3, 2022.**
- 16. **Consideration to approve the meeting minutes for the previous P&Z Meeting that was held**

DISCUSSION ITEM #1 AND PUBLIC HEARING AGENDA ITEM #A

Home Occupation Conditional Use Permit for Logan and Daphne Hull to own and operate an Online Sporting Good Retail and FFL Transfer business out of her home located at 197 West Phelps Street in the R-1-21 zone.

GRANTSVILLE CITY CONDITIONAL USE APPLICATION
(Home Occupation)

DATE PAID 3/22/22
AMOUNT PAID \$200.00
HEARING DATE April 7, 2022
PERMIT # _____

FEE IS \$75.00 IF
REVIEWED IN
HOUSE, \$200.00 IF
REVIEWED BY
COMMISSION

.....
Name Logan Hull & Daphne Hull Phone _____

Address of subject property 197 W Phelps Street Grantsville Utah 84029

Mailing Address 197 W Phelps Stree Grantsville Utah 84029

E-mail address of applicant daphneeeeemetcalf@gmail.com


Do you own subject property? Yes

Current zone of property R-1-Z1

Required Items to be Submitted with your Application for an In-House/Planning Commission Approval:

- 1) A complete detailed description of the type of business proposed, which includes:
 - a) the expected number of clients per day;
 - b) a list of the individuals at the home who will be working in the business;
 - c) the expected hours of operation of the business; and
 - d) storage of material (tools, product, etc), what and where.
- 2) Approval letter from the owner of the property if you are renting or leasing.
- 3) Vicinity map of area with North indicated.
- 4) A site plan which includes actual dimensions of the property, the size and location of all existing buildings, and all driveways and areas for and number of parking spaces. Also, include in the site plan, the work area location and where the tools and materials needed for the business will be stored.
- 5) A plat of the parcel and a Radius Report obtained from Tooele County Recorder's office, self-sealing envelopes, mailing labels and first class postage for all property owners located within 500 feet of subject property boundary. **DON'T PUT MAILING ADDRESSES ON ENVELOPES! THANK YOU! Addresses must be from Tooele County Recorder's Office!**


SIGNATURE OF APPLICANT

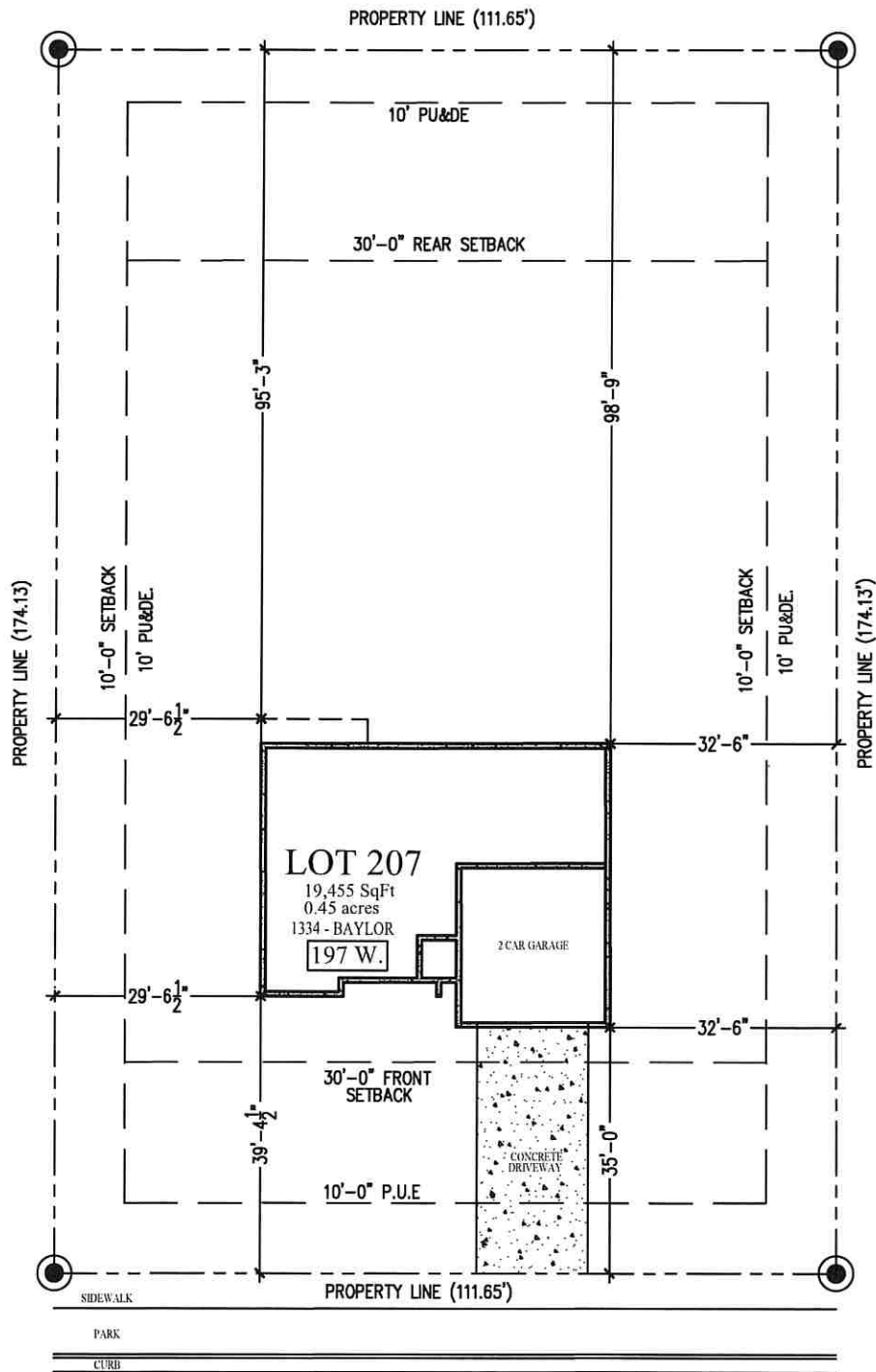

SIGNATURE OF CO-APPLICANT

Home based FFL transfer store and online retailer of hunting, shooting, and camping equipment and accessories. All inventory is to be sold online through the business' website. The business will obtain an FFL (Federal Firearms License) to meet the requirements to be granted a dealer account through various wholesale companies in order to purchase the inventory for resale, additionally, the FFL will allow the business to perform "FFL Transfers" for customers. FFL transfers are the background check and firearm ownership eligibility paperwork (known formally as ATF Form 4473) required to be filled out when purchasing a firearm, this service will be provided to customers who purchase a firearm online and who need a licensed dealer to perform the transfer so that they may take legal possession of the online-purchased firearm. In the event of an FFL transfer, a customer would make an online firearm purchase, forward our company the order info and contact information of the company they purchased the firearm from, and our company would send a copy of the FFL and an address for the firearm to be shipped to. Once the firearm is received, it's serial number will be logged into an Acquisition book, the firearm placed temporarily into locked storage in the basement of the home, the customer notified of acquisition, and an in-person FFL transfer (ATF Form 4473) to be scheduled. Upon a successful 4473 background check, the customer will take possession of the firearm. In the event of an unsuccessful 4473 background check, the sale will be canceled and the firearm will be sent back to the company it was purchased from. Estimated frequency of FFL transfers is approximately 3 or 4 a month.

Type of FFL to be obtained : Type 01 FFL (dealer in firearms other than destructive devices).

Inventory to be stored at home (in basement) and sold online through the website to include : rifle/handgun magazines, scopes, binoculars, holographic optical sights, pocket knives, multitools, rifle slings, tactical belts, holsters, lights, cleaning supplies, eye/ear protection, cases, magazine pouches, gloves, hunting apparel, calls, and hi-visibility gear.

The business will have no employees as I will run it myself, all inventory is to be sold online and in-person visits will be limited to FFL transfers only and will be done primarily on a scheduled basis. The property has a driveway large enough for 4 vehicles as well as a 2-car garage. Street parking will not be an issue with the low volume of in-person interactions at the residence. Hours of operation would be Friday and Saturday from 10:00am to 6:00pm). The home office will be located in a guest bedroom on the main level of the residence.



PHELPS STREET (620 SOUTH)

VERIFY DIAGONAL IN FIELD

DIMENSIONS ARE APPROXIMATE INITIAL:

DS
DDS
KCH

DATE: 6/11/2020

9:01

19,455 SQ. FT

PLOT PLAN

SCALE: N.T.S

SUBDIVISION: WELLS CROSSING

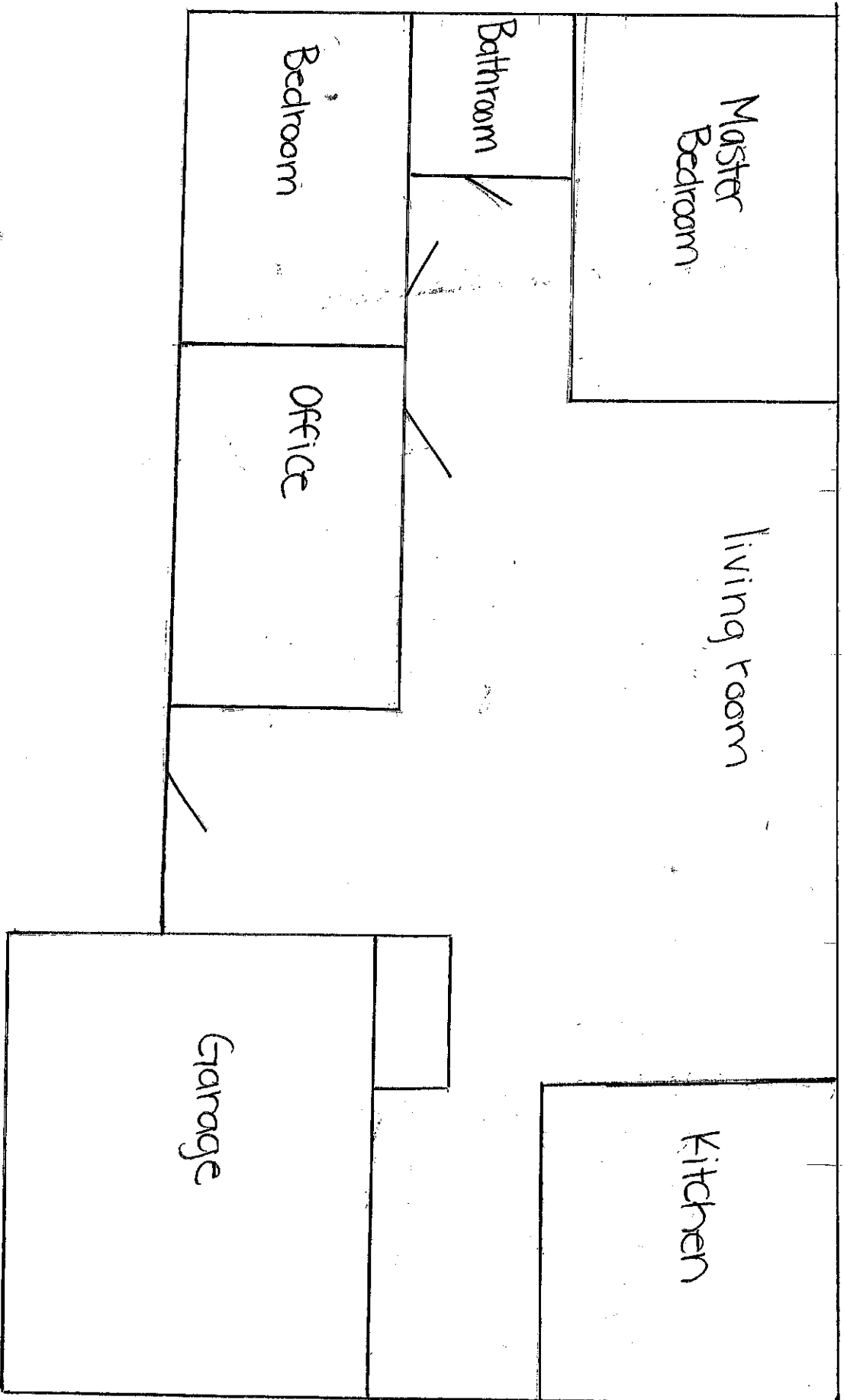
LOT: 207

LOT ADDRESS: 197 W. PHELPS STREET (620 S.) GRANTSVILLE UTAH

PLAN: 1334 - BAYLOR

BUILDER: MOUNTAIN VISTA DEVELOPMENT

DATE: JUNE 10, 2020



Basement

Storage

Stairs





**APPLICATION FOR A
HOME OCCUPATION - CONDITIONAL USE
PERMIT
CONSIDERATION BY GRANTSVILLE CITY
PLANNING COMMISSION**

This is to inform you that an application has been received in our office for consideration of a home occupation conditional use permit for:

Home Occupation Conditional Use Permit for Logan and Daphne Hull to own and operate an Online Sporting Good Retail and FFL Transfer business out of her home located at 197 West Phelps Street in the R-1-21 zone.

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A discussion and public hearing to receive public input on the proposed project will be held on April 7, 2022. The Planning Commission will consider the home occupation on April 21, 2022. All meetings will be held in person and through Zoom on:

Thursday April 7, 2022 at 7:00 p.m.

You are invited to request a copy of the application and detail description for the business by emailing me at kclark@grantsvilleut.gov.

If you choose to attend, please wear a face covering. Comments through email or by mail must be received no later than 5:00 p.m. on April 7, 2022. For more information, please call me at 435-884-4604 or email me.

Thank you,


Kristy Clark
Zoning Administrator

Join Zoom Meeting

<https://us02web.zoom.us/j/84177815725>

Meeting ID: 841 7781 5725

One tap mobile

+16699009128,84177815725# US (San Jose)

+12532158782,84177815725# US (Tacoma)

Dial by your location

+1 669 900 9128 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

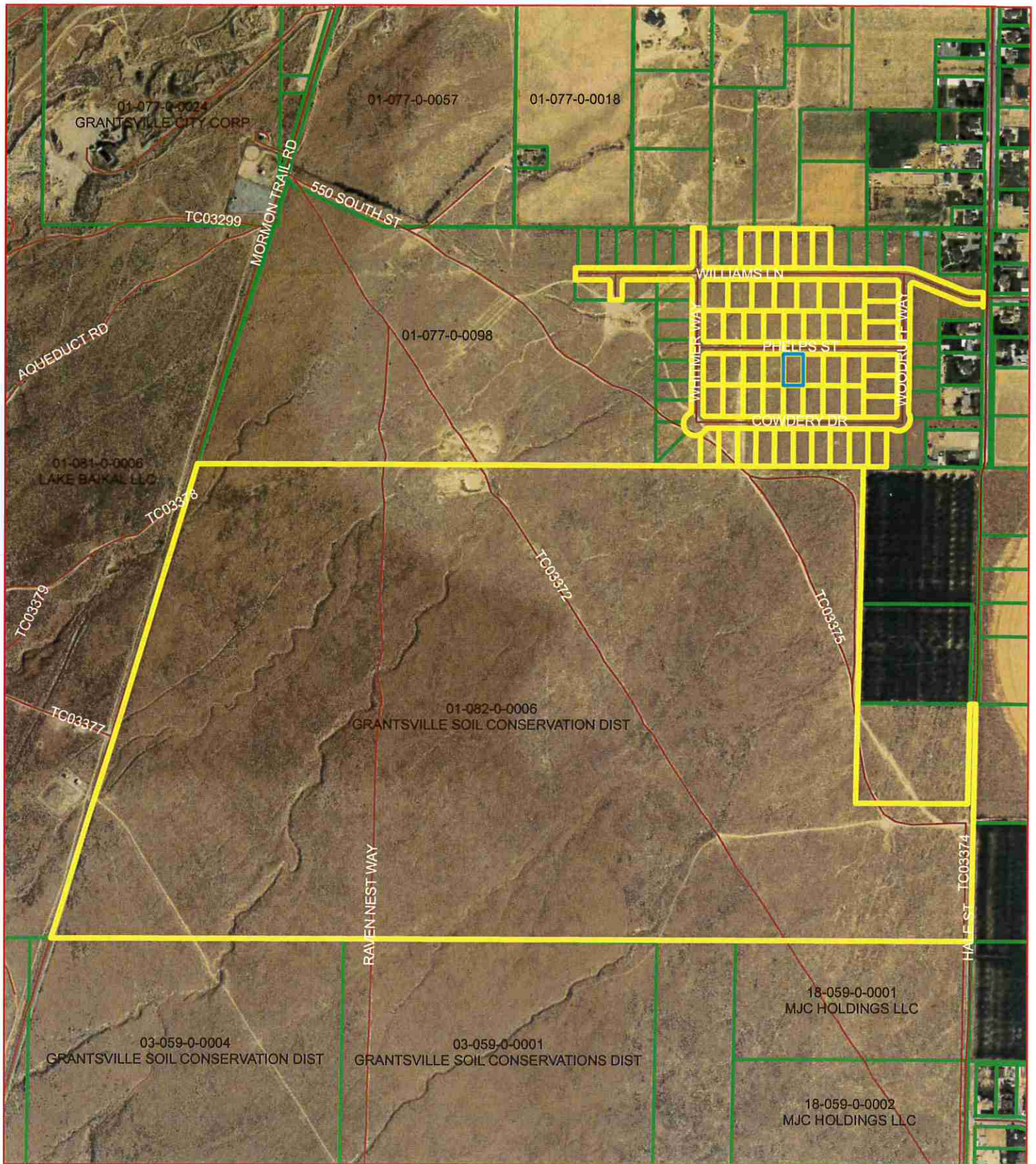
+1 646 558 8656 US (New York)

+1 301 715 8592 US (Washington DC)

+1 312 626 6799 US (Chicago)

Find your local number:

<https://us02web.zoom.us/j/84177815725>

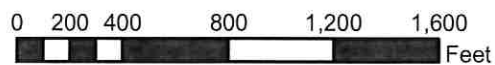


GIS Map Disclaimer:



This is not an official map but for reference use only. The data was compiled from the best sources available, but various errors from the sources may be inherent on the map. All boundaries and features therein should be treated as such. For boundary information, the pertinent County Departments or Municipalities should be contacted. This map is a representation of ground features and is not a legal document of their locations. The scale represented is approximate, so this is NOT a Survey or Engineering grade map and should by no means be used as such. This map is not intended for all uses. Tooele County is not responsible or liable for any derivative or misuse of this map.

Logan Hull
21-008-0-0207



Date: 2/23/2022
blanca.rodriguez

DISCUSSION ITEM #2 AND PUBLIC HEARING AGENDA ITEM #B

Final Plat Amendment for LBP Building 1, LLC. located
at 323 North Sheep Lane to divide lot 1 into two (2)
building lots in the MG zone.

**GRANTSVILLE CITY
SUBDIVISION AMENDMENT APPLICATION**

DATE PAID March 2, 2022
AMOUNT PAID \$2050.00
HEARING DATE April 7, 2022

Zoning FEES:

Preliminary Plat \$750.00 + \$100.00 per affected lots

Final Plat \$1500.00 + \$100.00 per affected lots

APPLICANT'S NAME LBP BUILDING 1, LLC

MAILING ADDRESS _____

EMAIL ADDRESS tsmith@northpointke.com

APPLICANT'S PHONE _____

LOCATION & NAME OF SUBDIVISION LAKEVIEW BUSINESS PARK

SUBDIVISION FINAL PLAT PHASE 1

DO YOU OWN THE PROPERTY? YES

NUMBER OF ACRES INVOLVED 57.12

NUMBER OF LOTS INVOLVED 1

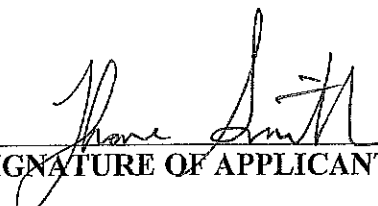
CURRENT ZONE OF PROPERTY INDUSTRIAL MG

PURPOSE OF THE AMENDMENT SPLIT LOT 1 INTO TWO LOTS.

"LOT 1A" (31.85 acres) IS THE AREA FOR BUILDING 1

IN LAKEVIEW BUSINESS PARK. "LOT 1B" (25.27 acres) IS

AREA FOR ADDITIONAL BUILDING SPACE.


SIGNATURE OF APPLICANT

3/1/22
DATE

Subdivision Amendment Petition

LBP Building 1, LLC is requesting an amendment to the Lakeview Business Park Final Plat Phase 1 subdivision by dividing Lot 1 (57.12 acres) into two parcels. The two parcels are designated as "Lot 1A" (31.85 acres) and "Lot 1B" (25.27 acres) and described below.

Lot 1A:

The west 31.85 acres of Lot 1, Lakeview Business Park Subdivision Final Plat Phase 1 as recorded in the Tooele County Recorder's Office on 11/03/2020 as Entry No. 526245, located in the Northwest Quarter of Section 1, Township 3 South, Range 5 West, Salt Lake Base and Meridian in Grantsville City, Tooele County, Utah, more particularly described as follows:

BEGINNING at the northwest corner of said Lot 1 and on the east boundary and right-of-way line of Sheep Lane as shown on that certain Road Dedication Plat for Sheep Lane - SR 112 to SR 138, dated 2-APR-2019, which is 836.28 feet South 00°39'55" East along the section line (basis of bearings) and 50.00 feet North 89°20'05" East from the Northwest corner of said Section 1, and running thence North 89°40'28" East 1267.69 feet; thence South 00°18'36" East 1097.50 feet; thence South 89°40'28" West 1260.89 feet to the southwest corner of said Lot 1 and said east boundary and right-of-way of Sheep Lane; thence North 00°39'55" West 1097.52 feet along said road to the POINT OF BEGINNING.

Containing 31.85 acres, more or less

Lot 1B:

The east 25.2 acres of Lot 1, Lakeview Business Park Subdivision Final Plat Phase 1 as recorded in the Tooele County Recorder's Office on 11/03/2020 as Entry No. 526245, located in the Northwest Quarter of Section 1, Township 3 South, Range 5 West, Salt Lake Base and Meridian in Grantsville City, Tooele County, Utah, more particularly described as follows:

BEGINNING at a point on the north boundary of said Lot 1, which is 836.28 feet South 00°39'55" East along the section line (basis of bearings) and 50.00 feet North 89°20'05" East and 1267.69 feet North 89°40'28" from the Northwest corner of said Section 1, and running thence North 89°40'28" East 713.49 feet to a point of curvature with a 270.00 foot radius curve to the left; thence Northeasterly 141.93 feet along the arc of said curve through a central angle of 30°07'04" (chord bears North 74°36'56" East 140.30 feet) to a point of reverse curvature with a 230.00 foot radius curve to the right; thence Easterly 119.66 feet along the arc of said curve through a central angle of 29°48'32" (chord bears North 74°27'40" East 118.32 feet) to a point of reverse curvature with a 40.00 foot radius curve to the left; thence Northeasterly 33.88 feet along the arc of said curve through a central angle of 48°31'49" (chord bears North 65°06'02" East 32.88 feet) to the northeast corner of said Lot 1; thence South 00°21'16" East 1177.87 feet to the southeast corner of said Lot 1; thence South 89°36'44" West 743.31 feet; thence South 89°40'28" West 251.30 feet; thence North 00°18'36" West 1097.50 feet to the POINT OF BEGINNING.

Containing 25.27 acres, more or less

Owner Signatures:

Thane Smith

3/1/2022

Thane Smith, Vice President

Date

NorthPoint Development

On behalf of LBP Building 1, LLC

Anthon Stauffer

3/1/2022

Anthon Stauffer, Manager

Date

LBP Building 1, LLC

Updated 3/28/22

APPLICATION FOR A FINAL PLAT AMENDMENT CONSIDERATION BY GRANTSVILLE CITY PLANNING COMMISSION

An application has been received in our office for consideration of a Final Plat Amendment for:

LBP Building 1, LLC. located at 323 North Sheep Lane to divide lot 1 into two (2) building lots in the MG zone.

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A discussion and public hearing to receive public input on the amendment and make a recommendation to the City Council will be held through Zoom on:

Thursday, April 7, 2022 at 7:00 p.m.

You are invited to request a copy of the application, and proposed plans by emailing me at kclark@grantsvilleut.gov.

We will continue to broadcast the Planning Commission meetings electronically on Zoom. If you choose to attend, please wear a face covering. Comments through email or by mail must be received no later than 5:00 p.m. on April 7, 2022. For more information, please call me at 435-884-4604 or email me.

Thank you,

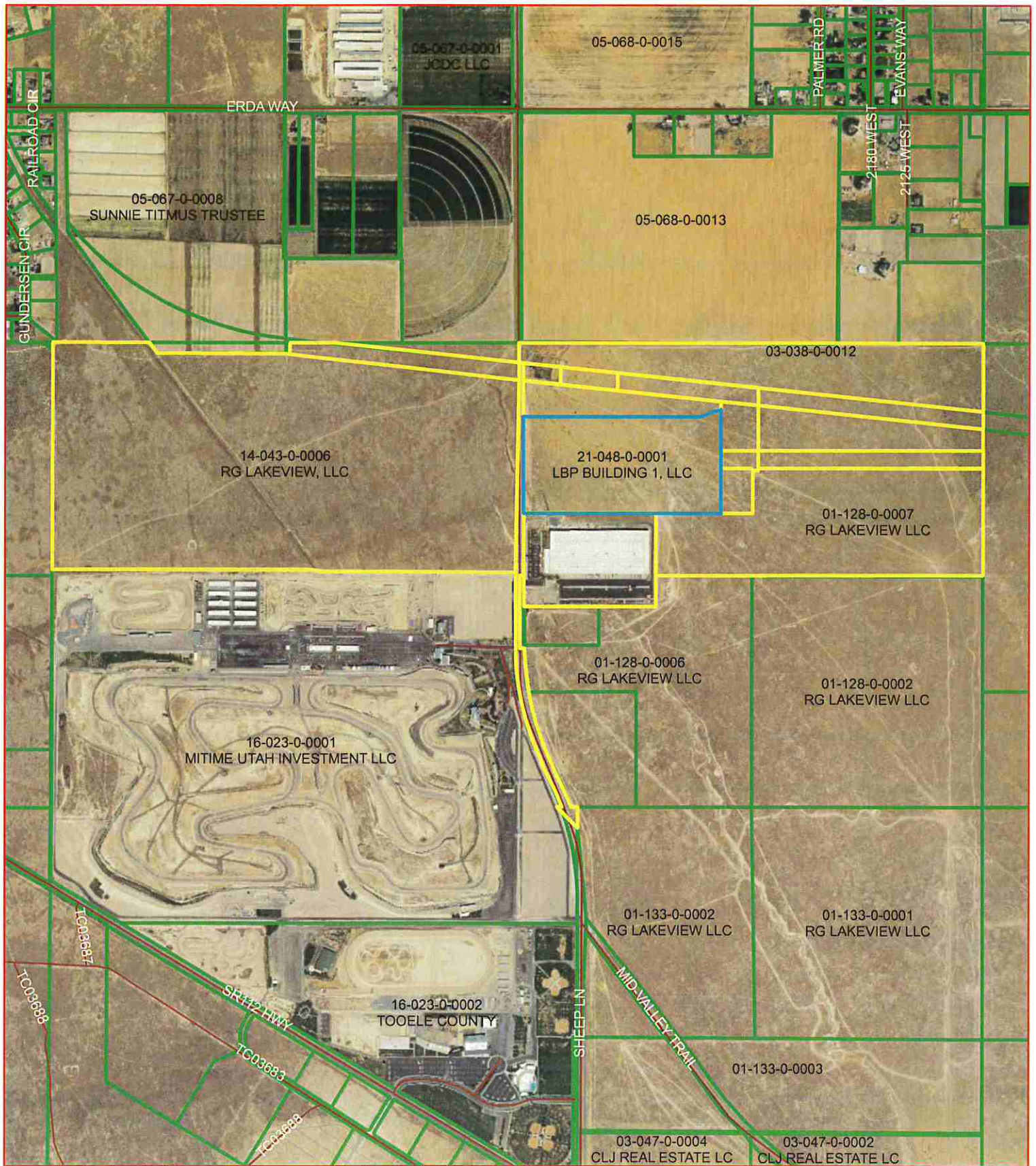

Kristy Clark
Zoning Administrator

Join Zoom Meeting
<https://us02web.zoom.us/j/84177815725>

Meeting ID: 841 7781 5725
One tap mobile
+16699009128,84177815725# US (San Jose)
+12532158782,84177815725# US (Tacoma)

Dial by your location
+1 669 900 9128 US (San Jose)
+1 253 215 8782 US (Tacoma)
+1 346 248 7799 US (Houston)
+1 646 558 8656 US (New York)
+1 301 715 8592 US (Washington DC)
+1 312 626 6799 US (Chicago)

Find your local number:
<https://us02web.zoom.us/j/84177815725>



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Bryan Economy
21-048-0-0001

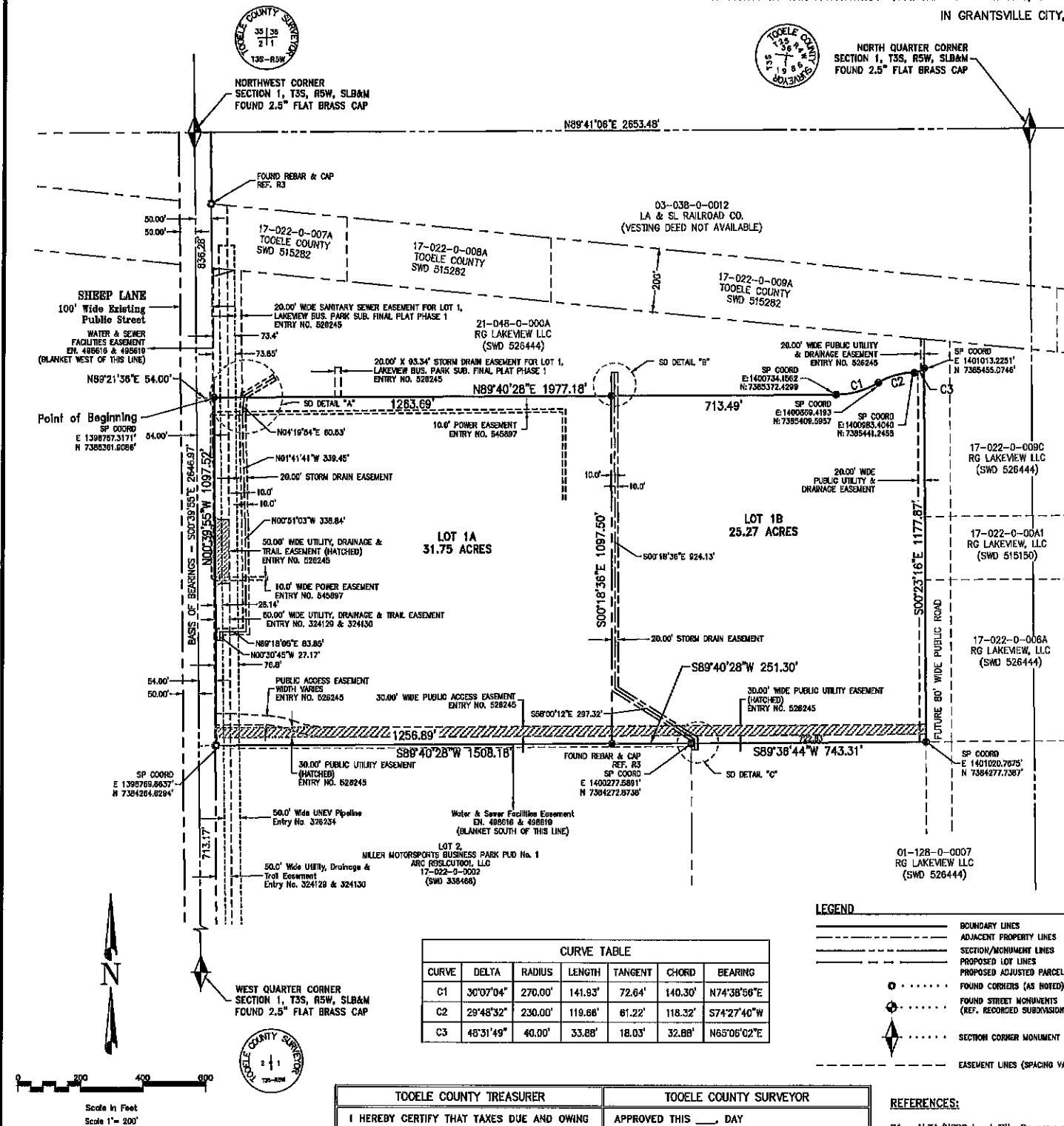
0 250 500 1,000 1,500 2,000
Feet



Date: 2/17/2022
blanca.rodriguez

LAKEVIEW BUSINESS PARK SUBDIVISION
FINAL PLAT PHASE 1 - FIRST AMENDMENT

VACATING AND AMENDING LOT 1 OF LAKEVIEW BUSINESS PARK SUBDIVISION FINAL PLAT PHASE 1
LOCATED IN THE NORTHWEST QUARTER OF SECTION 1, TOWNSHIP 3 SOUTH, RANGE 5 WEST, SALT LAKE BASE & MERIDIAN
IN GRANTSVILLE CITY, TOOELE COUNTY, UTAH



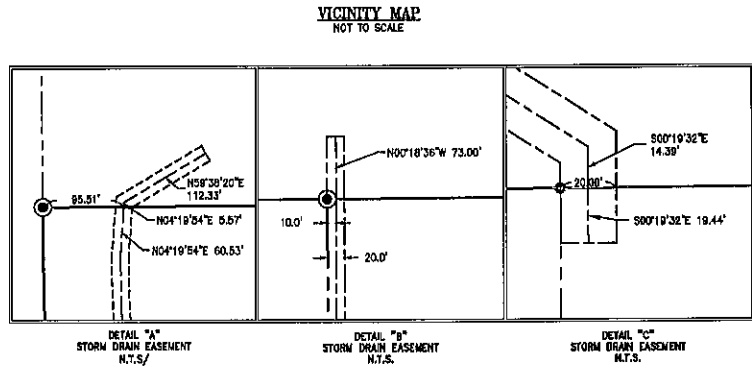
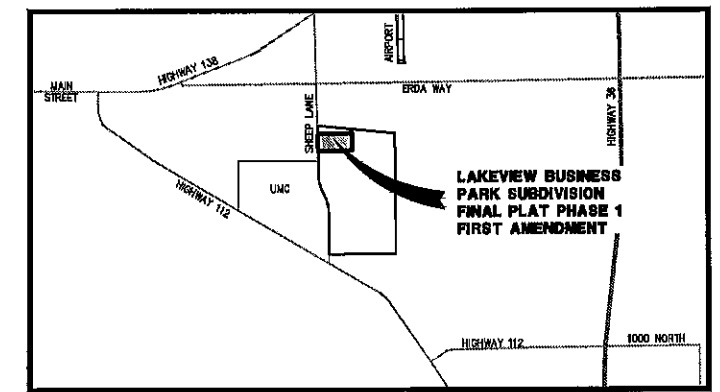
DEVELOPER
NORTHPOINT DEVELOPMENT
4825 NW CANAL STREET, SUITE 500
RIVERSIDE, MO 64150

MANAGER
CAR
DRAWN BY
JAE
CHECKED BY
JDP
DATE
1/05/2022

TOOELE COUNTY TREASURER	TOOELE COUNTY SURVEYOR
I HEREBY CERTIFY THAT TAXES DUE AND OWING HAVE BEEN PAID IN FULL THIS ____ DAY OF _____, 20____.	APPROVED THIS ____ DAY OF _____, 20____ BY THE TOOELE COUNTY SURVEY DIRECTOR.
TOOELE COUNTY TREASURER	TOOELE COUNTY SURVEY DIRECTOR

CITY FIRE DEPARTMENT APPROVAL	GRANTSVILLE CITY PUBLIC WORKS APPROVAL
APPROVED THIS ____ DAY OF _____, 20____ BY THE GRANTSVILLE CITY FIRE DEPARTMENT.	APPROVED THIS ____ DAY OF _____, 20____ BY THE GRANTSVILLE CITY PUBLIC WORKS.
GRANTSVILLE CITY FIRE CHIEF	GRANTSVILLE CITY PUBLIC WORKS DIRECTOR

- REFERENCES:
- R1 ALTA/NSPS Land Title Survey prepared by Byrd & Associates, LLC, dated 10/22/13.
 - R2 Miller Motorsports Business Park PUD No. 1, Recorded No. 324129, dated 4/14/09.
 - R3 Record of Survey, File No. 2019-0003
 - R4 Lakeview Business Park Subdivision Final Plat Phase 1, Recorded No. 526245, dated 11/03/2020.



ACKNOWLEDGMENT

STATE OF _____ : ss
COUNTY OF _____ : ss

On this ____ day of _____, In the year 20____, before me, _____, a notary public, personally appeared _____ the _____ of LBP BUILDING 1, LLC, proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to in the foregoing Owner's Dedication and Consent regarding the Lakeview Business Park Final Plat Phase 1 - First Amendment and was signed by him/her/them on behalf of said Northpoint Development and acknowledged that he/she/they executed the same.

Commission Number _____
My Commission Expires _____

Printed Name _____
A Notary Public Commissioned in Utah

ACKNOWLEDGMENT

STATE OF _____ : ss
COUNTY OF _____ : ss

On this ____ day of _____, In the year 20____, before me, _____, a notary public, personally appeared _____ the _____ of RG LAKEVIEW, LLC proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to in the foregoing Owner's Dedication and Consent regarding the Lakeview Business Park Final Plat Phase 1 - First Amendment and was signed by him/her/them on behalf of said Northpoint Development and acknowledged that he/she/they executed the same.

Commission Number _____
My Commission Expires _____

Printed Name _____
A Notary Public Commissioned in Utah

SURVEYOR'S CERTIFICATE

I, James D. Pitkin, an employee of Dominion Engineering Associates, L.C., do hereby certify that I am a Professional Land Surveyor in the State of Utah holding certificate number 171546 as prescribed by Title 58, Chapter 22 of the Professional Engineers and Land Surveyors Licensing Act. I further certify that by the authority of the owner, I have made an accurate survey of the tract of land shown and described hereon in accordance with Section 17-23-17 of the Utah State Code, have verified all measurements shown and have subdivided said property into lots hereafter to be known as LAKEVIEW BUSINESS PARK SUBDIVISION FINAL PLAT PHASE 1 - FIRST AMENDMENT and that the same has been surveyed and monuments have been placed on the ground as represented on this plat.

SUBDIVISION BOUNDARY DESCRIPTION

All of Lot 1, Lakeview Business Park Subdivision Final Plat Phase 1 as recorded in the Tooele County Recorder's Office on 11/03/2020 as Entry No. 526245, located in the Northwest Quarter of Section 1, Township 3 South, Range 5 West, Salt Lake Base and Meridian in Grantsville City, Tooele County, Utah, more particularly described as follows:

BEGINNING at the northwest corner of said Lot 1 and on the east boundary and right-of-way line of Sheep Lane, which is 836.28 feet South 00°39'55" East along the section line (base of bearings) and 54.00 feet North 86°20'09" East from the Northwest corner of said Section 1, and running thence North 89°40'28" East 1877.18 feet to a point of curvature with a 270.00 foot radius curve to the left; thence Northeasterly 141.93 feet along the arc of said curve through a central angle of 30°07'04" (chord bears North 74°36'56" East 140.30 feet) to a point of reverse curvature with a 230.00 foot radius curve to the right; thence Easterly 119.66 feet along the arc of said curve through a central angle of 29°48'32" (chord bears North 74°27'40" East 118.32 feet) to a point of reverse curvature with a 40.00 foot radius curve to the left; thence Northeasterly 33.88 feet along the arc of said curve through a central angle of 48°31'49" (chord bears North 65°06'02" East 32.88 feet) to the northeast corner of said Lot 1; thence South 00°23'16" East 1177.87 feet to the southeast corner of said Lot 1; thence South 89°38'44" West 743.31 feet, thence South 89°40'28" West 1508.18 feet to the southwest corner of said Lot 1 and said east boundary and right-of-way of Sheep Lane; thence North 00°39'55" West 1097.52 feet along said road to the POINT OF BEGINNING.

Containing 57.02 acres, more or less

Date: February 22, 2022

James D. Pitkin, PLS
License No. 171546

REFERENCE
RECORD OF SURVEY NO. 2019-0003

Comers will be marked with a 5/8" rebar and cap marked "Dominion Engineering" at the time of recording unless noted otherwise.

OWNER'S DEDICATION AND CONSENT TO RECORD

Know all men by these presents that the undersigned are the owners of the herein described tract of land and hereby cause the same to be divided into lots and streets together with easements as set forth hereafter to be known as

LAKEVIEW BUSINESS PARK SUBDIVISION FINAL PLAT PHASE 1 - FIRST AMENDMENT

The undersigned owners hereby dedicate to Grantsville City all those parts or portions of said tract of land on said plat designated hereon as streets, the same to be used as public thoroughfares forever. The undersigned owners also hereby convey to any and all public and private utility companies providing service to the herein described tract a perpetual, non-exclusive easement over the public utility easements shown on this plat, the same to be used for drainage and the installation, maintenance and operation of public utility service lines and facilities.

In witness whereof, I have hereunto set my/our hand this ____ day of _____, 20____.

LBP BUILDING 1, LLC, a Utah limited liability company

By: _____
Nathaniel Hogedorn
Manager

By: _____
Anthony Stauffer
Manager

In witness whereof, I have hereunto set my/our hand this ____ day of _____, 20____.

RG LAKEVIEW, LLC, a Utah limited liability company

By: _____
(name)
(title)

LAKEVIEW BUSINESS PARK SUBDIVISION
FINAL PLAT PHASE 1 - FIRST AMENDMENT

VACATING AND AMENDING LOT 1 OF
LAKEVIEW BUSINESS PARK SUBDIVISION FINAL PLAT PHASE 1
LOCATED IN THE NORTHWEST QUARTER OF SECTION 1,
TOWNSHIP 3 SOUTH, RANGE 5 WEST, SALT LAKE BASE & MERIDIAN
IN GRANTSVILLE CITY, TOOELE COUNTY, UTAH

TOOELE COUNTY RECORDER	RECORDED No. _____ STATE OF UTAH, COUNTY OF TOOELE, RECORDED AND FILED AT THE REQUEST OF _____ DATE _____ TIME _____ \$ _____ FEES _____ TOOELE COUNTY RECORDER
------------------------	--

DISCUSSION ITEM #3 AND PUBLIC HEARING AGENDA ITEM #C

Preliminary Plan for Grantsville New Team, LLC. on the Matthews Meadows Subdivision located approximately at 401 West Durfee Street for the creation of eighty-eight (88) lots in the R-1-12 zone.

**GRANTSVILLE CITY
ZONING DEPARTMENT**

429 EAST MAIN STREET
GRANTSVILLE, UTAH 84029
PHONE (435) 884-3411
FAX (435) 884-0426

Preliminary Plan:
\$750.00 Zoning Fees
+ \$100.00 per Lot
(ALL FEES ARE SUBJECT TO CHANGE
AND ARE NON-REFUNDABLE)

PRELIMINARY PLAN APPLICATION

Date of Application 12-16-2021

Property Location 401 Durfee

Property Owner(s) Grantsville New Town LLC

Owner Phone _____

Acting Agent Name Shawn Holste

Acting Agent Phone _____


Email Address Shawnholste@mc.com

Subdivision Name Matthews Meadows Subdivision

Number of Acres in Subdivision 34.68

Total Number Lots 88 Lot Sizes 12000 SF

Current Zoning of Property R1-12 Parcel Number 01-072-0-0010
01-072-0-0053



Signature of Owner or Agent

Dominion Energy Utah Dominion Energy Wyoming Dominion Energy Idaho
1140 West 200 South , Salt Lake City, UT 84104
Mailing Address:
P.O. Box 45360, Salt Lake City, UT 84145-0360
DominionEnergy.com



12/13/2021

To Whom It May Concern:

Re: Natural Gas Service Availability

Project: 401 E. Durfee St. Grantsville

Natural gas can be made available to serve this project when the following requirements are met:

1. Developer provides plat maps, drawings, construction schedules, average size of homes, units, and/or buildings that will be served by natural gas, and any and all other relevant information regarding commercial and residential uses, including but not limited to, proposed natural gas appliances (number and type of appliances per unit, home, building), and provide minimum utility clearances and setbacks.
2. Review and analysis by Dominion Energy Engineering and/or Preconstruction Department to determine load requirements, system reinforcement requirements and estimated costs to bring natural gas to the development.

Upon completion of Dominion Energy review of the developments natural gas requirements, agreements will be prepared, as necessary, for high pressure, intermediate high pressure and/or service line extensions required to serve the development. These service extensions must be paid in advance, but may qualify for credits or refunds, as provided in Dominion Energy tariff.

To accommodate your construction schedule and provide cost estimates to you, please contact me at your earliest convenience.

Please note: Gas Main location needs to be a minimum of 10' away from structure and 3' from other utilities. It is the customer's responsibility to provide adequate clearances.

Sincerely,


Tony Stephens
Pre-Construction Rep



INTENT TO SERVE FORM

Date: 12-2-2021

Name of Owner:	Grantsville New Team LLC
Name of Agent or Representative:	Shawn Holste
Property Address or Location (Attach Map):	401 E Durfee St
Assessor's Parcel Number:	01-072-0-0053 01-070-0-0101
Proposed Lots/ERC's:	90
Signature of Owner or Agent:	

Approving Agency: Grantsville City Public Works Department

This Intent to Serve form is part of the water, sewer, and roads connection process. Please note, Grantsville City will provide water, sewer, and street connection services to a residential or commercial building project **provided** there is sufficient ability to serve, if fees are paid on time, and if all steps are completed in accordance with City, State, and Federal regulations. Utility modeling must be submitted to determine the impacts to the City's systems. Traffic impacts and any environmental impacts must also be considered and summarized for review. Intent to Serve approvals issued will be honored for a period of one calendar year from the date signed by an authorized signor for Grantsville City.

All excavations are required to meet Grantsville City specifications for back fill materials and compaction. Excavations will be inspected by Grantsville City prior to and during backfill operations.

Any approval rendered under this permit does not imply approval to cross any private property or right-of-way and pertains to Grantsville City rights-of-ways and/or easements. Approval under this application is in accordance with all laws and ordinances of the State of Utah and Grantsville City.

Applicant is responsible for determining ownership of right-of-ways and easements.

Utility	Approved	Disapproved
Water	X	
Sewer	X	
Roads	X	

Additional comments:

James Walker
Public Works Director, Grantsville City

12/3/21
Date Signed

INTENT TO SERVE FORM

Orantville New Tract LLC Shawn Holste
Name of Owner Name of Agent or Representative

12-2-2021
Date Approving Agency Signed

401 E Duffer
Property Address or Location

90
Number of Lots Proposed

[Signature]
Signature of Owner or Agent

Name of Approving Agency Rocky Mountain Power

(Please indicate approval status)

ELECTRIC COMPANY

X

APPROVED

DISAPPROVED

Conditions, Restrictions, or Comments: Subject to the rules
and tariffs on file with the public
service commission

Expiration Date of Approval

12-3-21

DATE SIGNED

[Signature]
AUTHORIZED SIGNATURE FOR AGENCY



December 9, 2021

To whom it may Concern,

This letter is to verify that Comcast service is available to 401 E Durfee Street Grantsville, UT Comcast will generally provide all materials and labor to provide broadband services from the property line to the point of service, in a trench provided by the property owner.

The cost of installation, construction and provision of cable service will be part of the contract negotiations with the Owner of the Property or a designated representative. **This letter is not to be considered a contract or guarantee of service.** Furthermore, all permits, licenses and rights of access must be provided by the Owner prior to any provision of services.

Please be advised that we require a minimum of 90 days for project approvals and construction after we receive a signed contract. If this is a private development.

Please contact Elysia Valdez at 801-401-3017 or JointTrench.Utah@comcast.com before opening utility trenches.

We look forward to working with you on this Project; please feel free to contact me with any questions or concerns.

Sincerely,

Chad Noble

Chad Noble
Comcast Cable
chad_noble@Cable.Comcast.com
801 401-2609 office
9602 S 300 W
Sandy, Utah 84070

INTENT TO SERVE FORM

Grantsville New Team LLC
Name of Owner

Shawn Helste
Name of Agent or Representative

12-2-2021
Date Approving Agency Signed

401 E Durfee St
Property Address or Location

90
Number of Lots Proposed

[Signature]
Signature of Owner or Agent

Name of Approving Agency _____

(Please indicate approval status)

IRRIGATION CO. X APPROVED _____ DISAPPROVED

Conditions, Restrictions, or Comments:

All main lines must be upgraded to C900. Grantsville Irrigation will relocate and/or upgrade at
developer's cost unless otherwise specified. Bodee Paulick [435-496-3349](tel:435-496-3349)

Expiration Date of Approval 12/3/2022

12/3/2021
DATE SIGNED

[Signature]
AUTHORIZED SIGNATURE FOR AGENCY

INTENT TO SERVE FORM

Grantville New Team LLC Shawn Holste
Name of Owner Name of Agent or Representative
12-2-2021 401 E Dorr St
Date Approving Agency Signed Property Address or Location
90 [Signature]
Number of Lots Proposed Signature of Owner or Agent
Name of Approving Agency Grantville Fire Dept

(Please indicate approval status)

FIRE DEPT. X APPROVED DISAPPROVED

Conditions, Restrictions, or Comments: _____

Expiration Date of Approval _____

12/3/21 [Signature]
DATE SIGNED AUTHORIZED SIGNATURE FOR AGENCY

INTENT TO SERVE FORM

Grantsville New Tranche
Name of Owner

Shawn Holste
Name of Agent or Representative

12-2-2021
Date Approving Agency Signed

401 E Durbin St
Property Address or Location

90
Number of Lots Proposed

[Signature]
Signature of Owner or Agent

GRANTSVILLE CITY POST OFFICE

Conditions, Restrictions, or Comments:

mail delivered to ABC provided /
installed by Developer / builder

12/3/2021
DATE SIGNED

[Signature]
AUTHORIZED SIGNATURE FOR AGENCY

**JERRY M. HOUGHTON
TOOELE COUNTY RECORDER**

47 SOUTH MAIN STREET, Room 213
TOOELE, UTAH 84074
OFFICE (435) 843-3180
FAX (435) 843-3273

December 9, 2021

SUBJECT: Approval of Subdivision Name:

ADDRESSED TO Tooele County/Tooele City/Grantsville City /Rush Valley

Name/Developer/Point of Contact:

Phone/E-mail:

The Tooele County Recorder has approved the proposed subdivision name of:
(Please include P.U.D, Condominium, Townhomes, or Subdivision in name)

- Mathew's Meadows Subdivision

The approved name is acceptable, with no other derivative thereof.

JERRY M. HOUGHTON
Tooele County Recorder

By Deputy: Rylisha Ulin _____

Date: 12/9/21

***This name approval will be voided if an active application has not been submitted to our office within 6 months from the date the name was approved.**

To: Grantsville City

From: Jason Watson, PE, PTOE

FOCUS Engineering & Surveying, LLC

File: Matthews Meadows

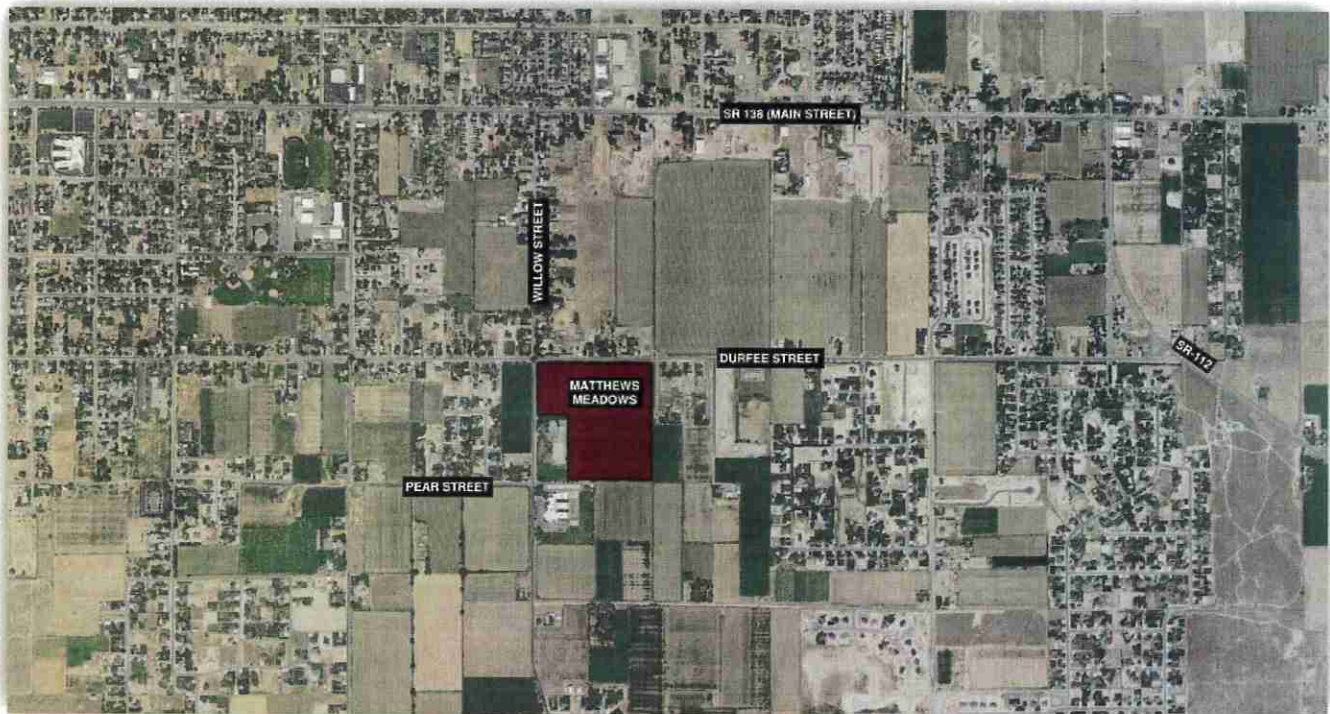
Date: December 14, 2021

Reference: Matthews Meadows Trip Generation Study

INTRODUCTION

FOCUS Engineering and Surveying, LLC (FOCUS) has been retained to complete a Trip Generation Statement for the proposed Matthews Meadows Development. This development is located along Durfee Street and Willow Street in Grantsville, Utah. The purpose of this Trip Generation Statement is to project the number of vehicles that will be entering and exiting the proposed site onto the existing roadways during a typical AM and PM peak hour. The Matthews Meadows Development will consist of 88 single-family lots and vehicles will enter and exit the site at the two proposed accesses. One access is located on Durfee Street and the other onto Willow Street. Exhibit 1 illustrates the vicinity map of the proposed site.

Exhibit 1 – Project Vicinity Map



EXISTING CONDITIONS

Surrounding Land Uses

The proposed Matthews Meadows Development is located in Grantsville. The proposed site is bound by Willow Street to the west, existing residential homes to the east, Pear Street to the south and Durfee Street to the north. The proposed site currently consists of agricultural land. Willow Elementary School and a mix of agricultural land and residential homes surround the proposed project location.

Roadways

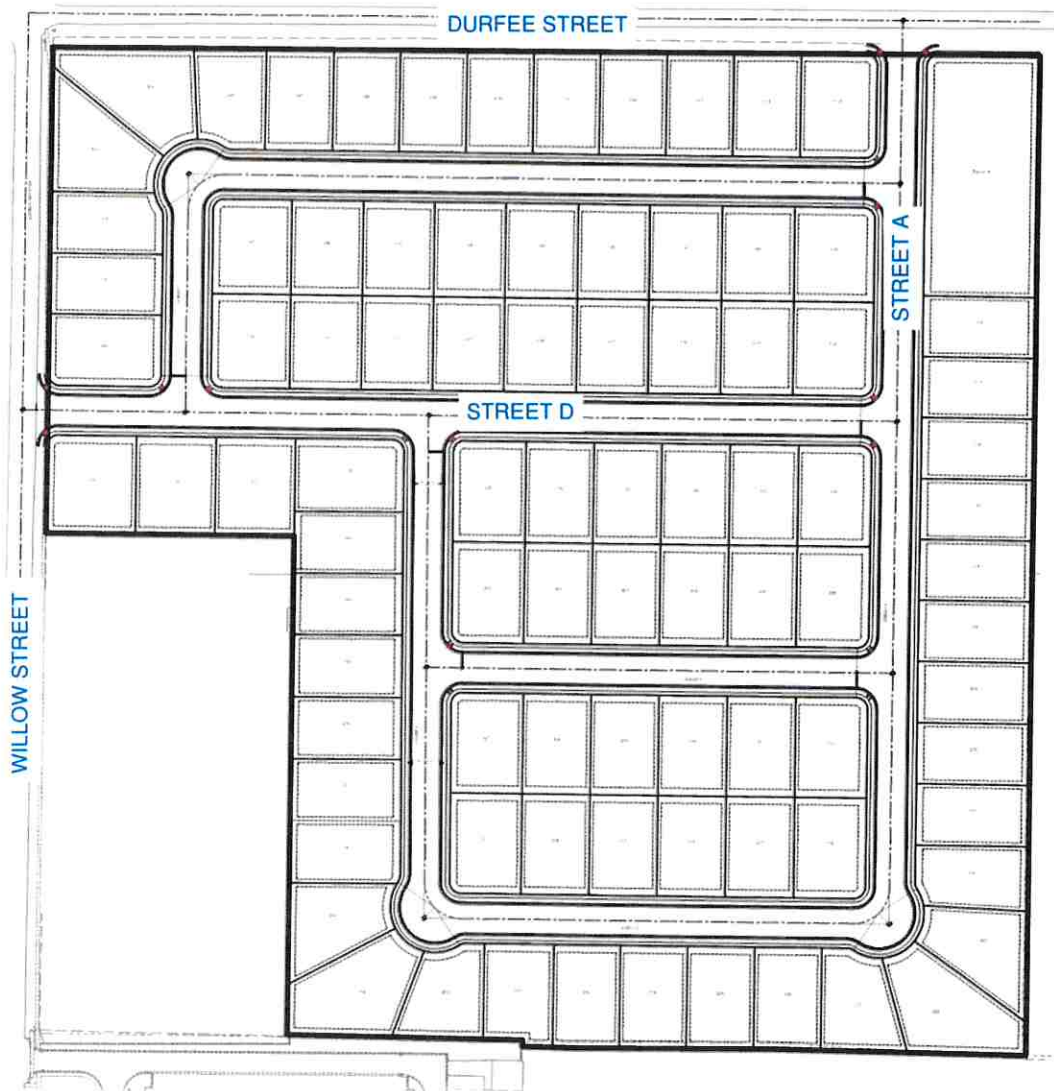
Durfee Street: Durfee Street is an east/west roadway that runs through Grantsville servicing the residential communities. Durfee Street connects to SR-112 to the east and ends at West Street to the west. Durfee Street consists of one lane in each direction with primarily stop controlled intersections along the corridor. Durfee Street has a posted speed limit of 30 mph.

Willow Street: Willow Street is a north/south roadway that borders the Matthews Meadows Development to the west. Willow Street extend north and connects to SR-138 (Main Street). To the south Willow Street extends to the South Willow Estates Development. Willow Street consists of one lane in each direction and has a posted speed limit of 30 mph.

PROPOSED SITE CONDITIONS

The proposed Matthews Meadows Development will consist of 88 single-family lots. There are two proposed accesses to the development. One access is located to the north onto Durfee Street and the second access is located to the west onto Willow Street. Both accesses will function with full turning movements for left and right turns into and out of the development. The accesses will be constructed with one ingress lane and one egress lane. Refer to Exhibit 2 for the proposed site layout of the proposed development and the location of the proposed accesses onto Durfee Street and Willow Street.

Exhibit 2 – Site Plan and layout for Matthews Meadows Development



TRIP GENERATION

To generate the anticipated number of vehicles entering and exiting the proposed site, the Institute of Transportation Engineer's (ITE) Trip Generation Manual is used. For single-family residential lots, the land use code 210 – Single-Family Detached Housing was used to generate the number of trips entering and exiting the development. Table 1 illustrates the number of trips the Matthews Meadows Development is anticipated to generate.

Table 1 – Trip Generation for Matthews Meadows

ITE Land Use Code	Land Use Description	Size	Daily (AADT)	Trip Generation (AM)		Trip Generation (PM)	
				Enter	Exit	Enter	Exit
210	Single-Family	88 DU	831	17	50	56	32

As can be seen in Table 1, the Matthews Meadows Development will generate approximately 831 daily trips, with 67 trips occurring in the AM peak hour (17 entering, 50 exiting) and 88 trips occurring in the PM peak hour (56 entering, 32 exiting).

Based on the location of the Matthews Meadows Development and in relation to the surrounding shopping, schools, employment and roadways, the anticipated distribution percentages were determined. Exhibit 3 illustrates the percentage of the overall traffic and what direction they will exit and enter the proposed development. It is assumed 90% of the traffic will travel north to access SR-138 either by Willow Street or SR-112. It is also assumed 50% of the traffic will enter/exit the development via the north access onto Durfee Street and 50% will use the west access onto Willow Street.

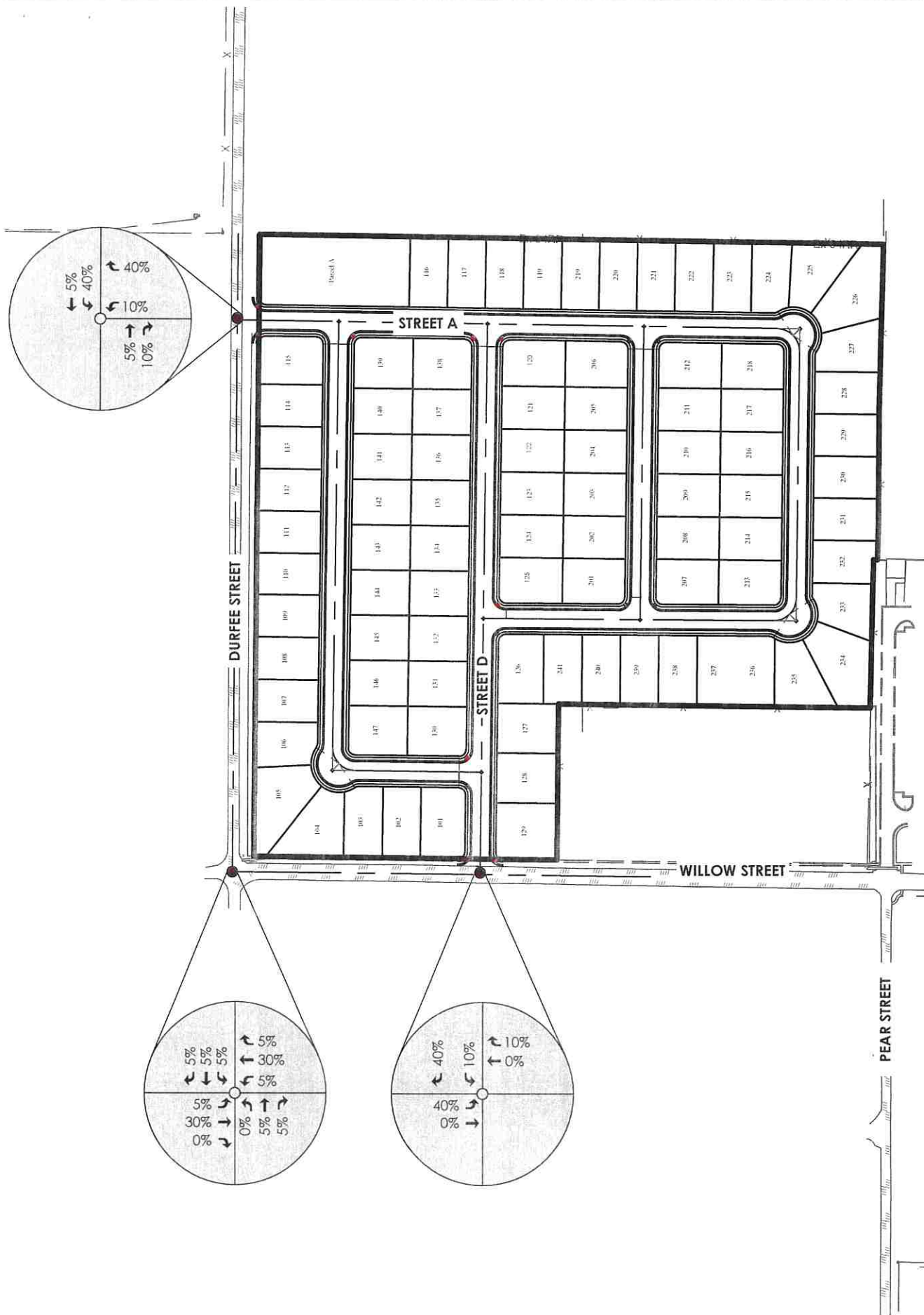
Exhibit 4 illustrates the traffic generated by the Matthews Meadows Development and how they are anticipated to access the site using the proposed accesses onto Durfee Street and Willow Street. These traffic volumes were calculated using the volumes in Table 1 and the percentages as illustrated in Exhibit 3. Since the 88 single-family homes within this development will generate a minimal amount of traffic onto the existing surrounding roadways and the existing traffic volumes along the surrounding roadways are also minimal, very little delay will be experienced at the surrounding intersections.



MATTHEWS MEADOWS

EXHIBIT 3 - PROJECT DISTRIBUTION PERCENTAGES

XX% = PERCENT DISTRIBUTION

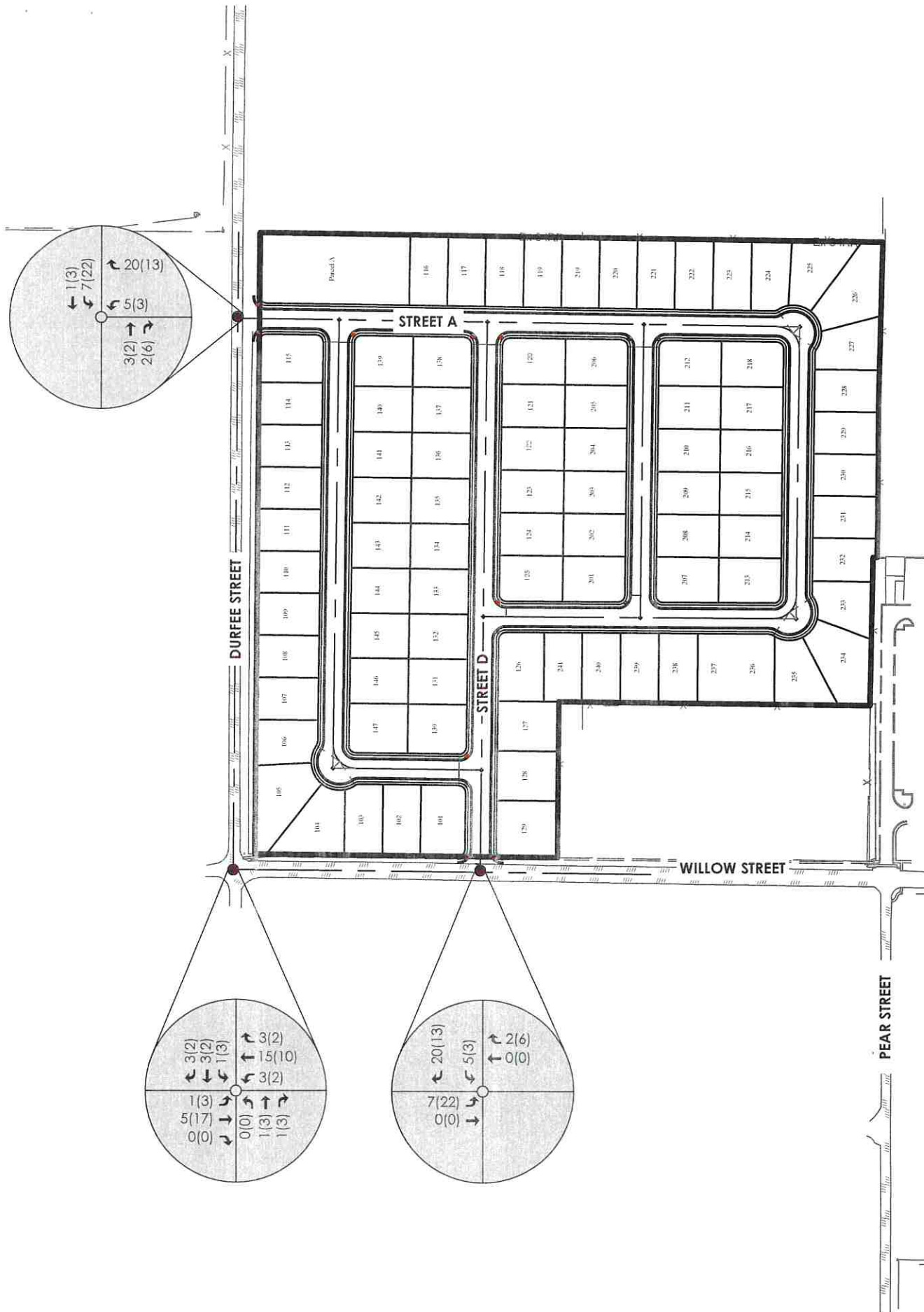




MATTHEWS MEADOWS

EXHIBIT 4 - PROJECT GENERATED TRAFFIC VOLUMES

XX(XX) = AM(PM) TRAFFIC VOLUMES



CONCLUSION

Based on the provided site plan, the Matthews Meadows Development will consist of 88 single-family lots. It is anticipated 831 average daily trips will be generated on a typical weekday, generating 67 total vehicles during the AM peak hour and 88 trips in the PM peak hour. Vehicles accessing the Matthews Meadows Development will use the proposed accesses onto Durfee Street and Willow Street. These accesses are proposed to include a single ingress lane and a single egress lane that will safely move vehicle to and from the site.

With minimal traffic being generated by the development during a typical weekday peak hour, the project accesses will function with minimal delays for vehicles entering and exiting the proposed site. The surrounding roadways and intersections will also continue to function similar to how they function today. It is recommended the proposed accesses onto Durfee Street and Willow Street be constructed to meet city standards with the appropriate pavement width to allow for one lane entering and one lane exiting. No additional improvements will be needed along the surrounding roadways or intersections with the addition of the Matthews Meadows Development.

Please feel free to contact me with any questions or comments.

Sincerely,

FOCUS ENGINEERING & SURVEYING, LLC



Jason Watson, PE, PTOE
Transportation Department Manager
801.352.0075

jwatson@focusutah.com



APPLICATION FOR A PRELIMINARY PLAN CONSIDERATION BY GRANTSVILLE CITY PLANNING COMMISSION

An application has been received in our office for consideration of a Preliminary Plan approval for:

Grantsville New Team, LLC. on the Matthews Meadows Subdivision located approximately at 401 West Durfee Street for the creation of eighty-eight (88) lots in the R-1-12 zone.

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A discussion and public hearing to receive public input on the proposed project will be held on April 7, 2022. The Planning Commission will make a recommendation to the City Council on April 21, 2022. All meetings will be held in person and through Zoom on:

Thursday, April 7, 2022 at 7:00 p.m.

You are invited to view the application and proposed plans by emailing me at kclark@grantsvilleut.gov.

If you choose to attend, please wear a face covering. Comments through email or by mail must be received no later than 5:00 p.m. on April 7, 2022. For more information, please call me at 435-884-4604 or email me.

For more information, please email me at kclark@grantsvilleut.gov.

Thank you,


Kristy Clark
Zoning Administrator

Join Zoom Meeting

<https://us02web.zoom.us/j/84177815725>

Meeting ID: 841 7781 5725

One tap mobile

+16699009128,84177815725# US (San Jose)

+12532158782,84177815725# US (Tacoma)

Dial by your location

+1 669 900 9128 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

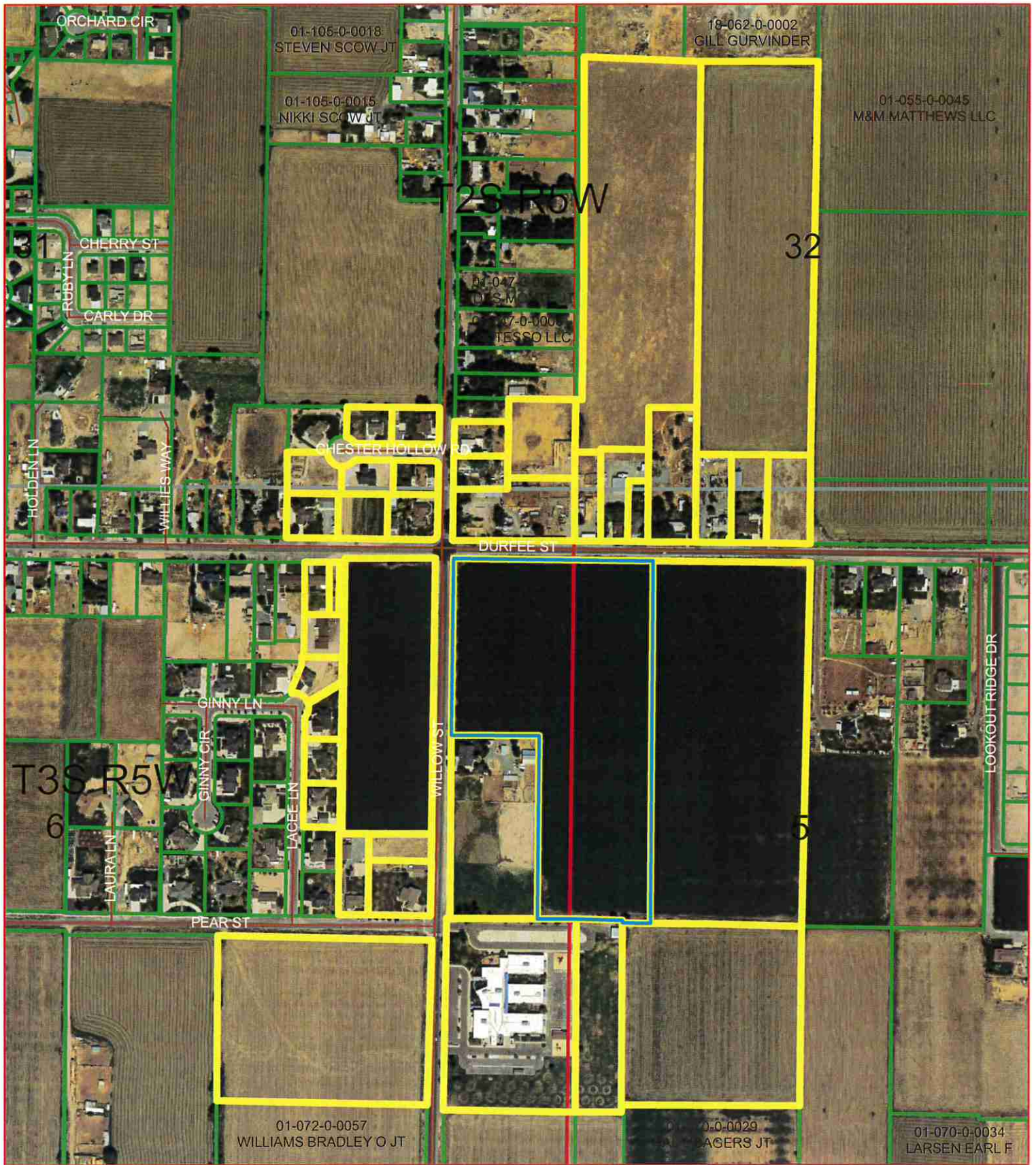
+1 646 558 8656 US (New York)

+1 301 715 8592 US (Washington DC)

+1 312 626 6799 US (Chicago)

Find your local number:

<https://us02web.zoom.us/j/84177815725>



GIS Map Disclaimer:

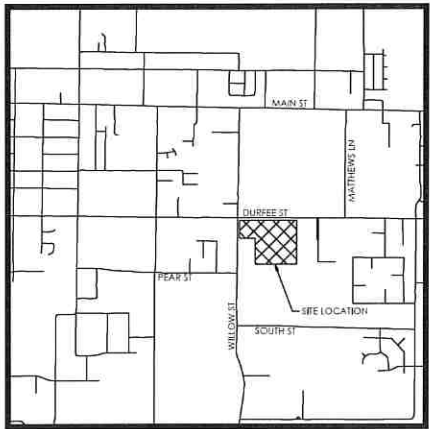


This is not an official map but for reference use only. The data was compiled from the best sources available, but various errors from the sources may be inherent on the map. All boundaries and features therein should be treated as such. For boundary information, the pertinent County Departments or Municipalities should be contacted. This map is a representation of ground features and is not a legal document of their locations. The scale represented is approximate, so this is NOT a Survey or Engineering grade map and should by no means be used as such. This map is not intended for all uses. Tooele County is not responsible or liable for any derivative or misuse of this map.

Shawn Holsle
01-072-0-0053



Date: 12/16/2021
blanca.rodriquez



VICINITY MAP

BENCHMARK

NORTHEAST CORNER OF SECTION 05
TOWNSHIP 45 SOUTH RANGE 05 WEST
SALT LAKE BASE AND MERIDIAN
ELEV: 4399.68'
DATUM: NAD83

MATTHEWS MEADOWS SUBDIVISION

PRELIMINARY PLANS
PREPARED FOR:
GRANTSVILLE'S NEW TEAM LLC
LOCATED IN:
GRANTSVILLE

GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.

2. ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.

3. ALL CONSTRUCTION SHALL ADHERE TO GRANTSVILLE CITY STANDARD PLANS AND SPECIFICATIONS.

4. ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.

5. THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

CONTACTS

ENGINEER & SURVEYOR
FOCUS ENGINEERING & SURVEYING, LLC
6949 S HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047
(801) 352-0075
PROJECT MANAGER: RYAN HOPKINS
SURVEY MANAGER: EVAN WOOD

OWNER/DEVELOPER
GRANTSVILLE'S NEW TEAM LLC
1676 PROGRESS WAY
TOOELE, UTAH 84074
(801) 301-8391
CONTACT: SHAWN HOLSTE

ENGINEER'S NOTES TO CONTRACTOR

1. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.

2. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

3. UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

4. ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

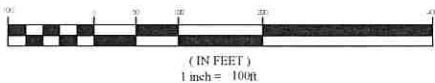


SITE MAP

Sheet List Table	
Sheet Number	Sheet Title
C1	COVER SHEET
C2	PRELIMINARY PLAT
C2.1	PRELIMINARY PLAT
C2.2	PRELIMINARY PLAT
C3.1	SITE ANALYSIS
C3.2	SITE ANALYSIS
C4	OVERALL SITE PLAN
C4.1	SITE PLAN
C4.2	SITE PLAN
C4.3	FIRE HYDRANT PLAN
C5.1	GRADING & DRAINAGE PLAN
C5.2	GRADING & DRAINAGE PLAN
C6.1	UTILITY PLAN
C6.2	UTILITY PLAN
C7.1	SECONDARY WATER PLAN
C7.2	SECONDARY WATER PLAN
C8.1	EROSION CONTROL
C8.2	EROSION CONTROL
C9	TRAFFIC CONTROL PLAN
C10	LOT FIT PLAN



GRAPHIC SCALE



FOR
REVIEW
ONLY

MATTHEWS MEADOWS SUBDIVISION

GRANTSVILLE
COVER SHEET

REVISION BLOCK	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

COVER SHEET

Scale: 1"=100'
Date: 03/24/22
Sheet: 21-03777

C1

MATTHEWS MEADOWS SUBDIVISION
PRELIMINARY PLAT
LOCATED IN THE NE1/4 OF SECTION 6 & NW1/4 OF SECTION 5, T3S, R5W,
SALT LAKE BASE & MERIDIAN
GRANTSVILLE CITY, TOOELE COUNTY, UTAH

NOTES

- #5 X 24" REBAR & CAP (FOCUS ENG) TO BE SET AT ALL LOT CORNERS. NAILS OR PLUGS TO BE SET IN TOP BACK OF CURB AT EXTENSION OF SIDE LOT LINES, IN LIEU OF REBAR AND CAPS AT FRONT LOT CORNERS.
- LOTS 116 PROPERTY OWNERS AGREE TO MAINTAIN THE RETENTION AREAS AS APPROVED BY THE CITY ENGINEER, AND CONSTRUCTED BY THE DEVELOPER/BUILDER, AND THAT THEY WILL NOT ALTER THE GRADING, NOR ALLOW ANY DRAINAGE TO DISCHARGE ON THE NEIGHBORING PROPERTIES, OR PUT ANY IMPERVIOUS SURFACES IN THE AREA SHOWN ON THE PLAT. THIS REQUIREMENT WILL RUN WITH THE PROPERTY AND APPLY TO ALL FUTURE PROPERTY OWNERS.
- PARCEL A IS HEREBY CONVEYED TO GRANTSVILLE CITY AS A PUBLIC RIGHT OF WAY.

SURVEYOR'S CERTIFICATE

I, Evan J. Wood, do hereby certify that I am a Professional Land Surveyor, and that I hold License No. 183395 in accordance with Title 58, Chapter 22 of the Professional Engineers and Land Surveyors Act. I further certify that by authority of the owners I have completed a survey of the property described on this subdivision plat in accordance with Section 17-23-17, have verified all measurements, and have subdivided said tract of land into lots, parcels, and streets, together with easements, to be hereafter known as MATTHEWS MEADOWS SUBDIVISION, and the same has, or will be correctly surveyed and monumented on the ground as shown on this Plat, and that this Plat is true and correct.

EVAN J. WOOD
PROFESSIONAL LAND SURVEYOR
LICENSE NO. 183395

BOUNDARY DESCRIPTION

A tract of land located in the Northeast Quarter of Section 6 and the Northwest Quarter of Section 5, Township 3 South, Range 5 West, Salt Lake Base and Meridian, in Grantsville City, Tooele County, Utah. Basis of Bearing is N89°33'09"W between the Witness Corner to the Northwest Corner and the Witness Corner to the North Quarter Corner of said Section 5. Said Northwest Corner is an unmarked point which lies N0°03'05"E 261.86 feet (Note: Previous surveys and descriptions which have relied on Tooele County Dependent data show this distance to be 262.72 feet) from said Witness Corner. Said tract of land being more particularly described as follows:
Beginning at a point on the southerly line of Durfee Street as established by UDOT Project No. F-R299(400), said point being S0°03'05"W 44.33 feet along the Tooele County Dependent Resurvey Section line from a monument in Durfee Street being the Witness Corner to the Northwest Corner of Section 5, T3S, R5W, SLB&M, running thence along said southerly line of Durfee Street, S89°37'24"E 854.60 feet to the westerly line of LEAVITT MINOR SUBDIVISION, according to the official plat thereof recorded as Entry No. 275987 in the Office of the Tooele County Recorder, thence along said westerly line and a line established by that certain Boundary Line Agreement recorded as Entry No. 274951 in the Office of the Tooele County Recorder, S00°48'00"W 1,327.00 feet to a point on a line established by that certain Boundary Line Agreement recorded as Entry No. 318261 in the Office of the Tooele County Recorder, thence along said Boundary Line Agreement the following three (3) courses: (1) N88°33'55"W 341.47 feet, thence (2) N89°33'00"W 254.00 feet, thence (3) N88°30'00"W 72.75 feet, thence N00°11'56"W 8.54 feet to a point on a line established in that certain Boundary Line Agreement recorded as Entry No. 164595 in the Office of the Tooele County Recorder, thence along said Boundary Line Agreement and that certain Boundary Line Agreement recorded as Entry No. 164596 in the Office of the Tooele County Recorder, N88°49'10"W 315.34 feet to an existing fence, thence along said existing fence the following two (2) courses: (1) N00°42'00"E 660.88 feet, thence (2) N89°23'00"W 330.12 feet to a point on the easterly line of Willow Street, thence along said easterly line, N00°47'00"E 644.15 feet to a point on said southerly line of Durfee Street, thence along said southerly line, S89°37'24"E 461.87 feet to the point of beginning.
Contains: 34.68 acres +/-

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE OWNERS OF THE HEREON DESCRIBED TRACT OF LAND AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, PARCELS AND STREETS TOGETHER WITH EASEMENTS AS SET FORTH HEREINAFTER TO BE KNOWN AS

MATTHEWS MEADOWS SUBDIVISION

THE UNDERSIGNED OWNERS HEREBY DEDICATE TO GRANTSVILLE CITY ALL THOSE TRACTS OF LAND DESIGNATED ON THIS PLAT AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY TO GRANTSVILLE CITY AND TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY AND DRAINAGE EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR DRAINAGE AND THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY SERVICE LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY ANY OTHER EASEMENTS AS SHOWN AND/OR NOTED ON THIS PLAT TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN HEREON.

IN WITNESS WHEREOF _____ HAVE HEREUNTO SET

HAND THIS _____ DAY OF _____ A.D. 20__

LIMITED LIABILITY ACKNOWLEDGMENT

STATE OF UTAH

S.S.

COUNTY OF _____

ON THE _____ DAY OF _____ A.D. 20__ PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF _____, IN SAID STATE OF UTAH, _____, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE/SHE IS THE _____ OF _____, L.L.C. A UTAH L.L.C. AND THAT HE/SHE SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES, _____ A NOTARY PUBLIC COMMISSIONED IN UTAH RESIDING IN _____ COUNTY

MY COMMISSION No. _____ PRINTED FULL NAME OF NOTARY _____

DOMINION ENERGY

QUESTAR GAS COMPANY d/b/a DOMINION ENERGY UTAH, HEREBY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING PRESCRIPTIVE RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION OR THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY UTAH'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

QUESTAR GAS COMPANY
d/b/a DOMINION ENERGY UTAH

APPROVED THIS _____ DAY OF _____ A.D. 20__

BY _____

TITLE _____

DATE: 03/21/2022 SHEET 1 OF 3

PREPARED FOR
GRANTSVILLE'S NEW TEAM LLC
1676 PROGRESS WAY
TOOELE, UTAH 84074
(801) 301-8591
CONTACT: SHAWN HOLSTE

PREPARED BY
FOCUS
ENGINEERING AND SURVEYING, LLC
4000 SOUTH STATE STREET
SUITE 100, UTAH 84001
WWW.FOCUS-ENG.COM

GRANTSVILLE CITY
PUBLIC WORKS
APPROVED THIS _____ DAY OF _____ A.D. 20__
BY THE GRANTSVILLE CITY PUBLIC WORKS
DEPARTMENT
GRANTSVILLE CITY PUBLIC WORKS DIRECTOR

CITY ATTORNEY
APPROVED AS TO FORM ON THIS _____
DAY OF _____ A.D. 20__
GRANTSVILLE CITY ATTORNEY

GRANTSVILLE CITY FIRE
DEPARTMENT
APPROVED THIS _____ DAY OF _____ A.D. 20__
BY THE GRANTSVILLE CITY FIRE DEPARTMENT
GRANTSVILLE CITY FIRE DEPARTMENT

TOOELE COUNTY TREASURER
I HEREBY CERTIFY THAT PROPERTY TAXES DUE AND
OWNING HAVE BEEN PAID IN FULL THIS _____ DAY OF
_____ A.D. 20__
TOOELE COUNTY TREASURER

GRANTSVILLE CITY
PLANNING COMMISSION
APPROVED THIS _____ DAY OF _____ A.D. 20__ BY
THE GRANTSVILLE CITY PLANNING COMMISSION
CHAIR, GRANTSVILLE CITY PLANNING COMMISSION

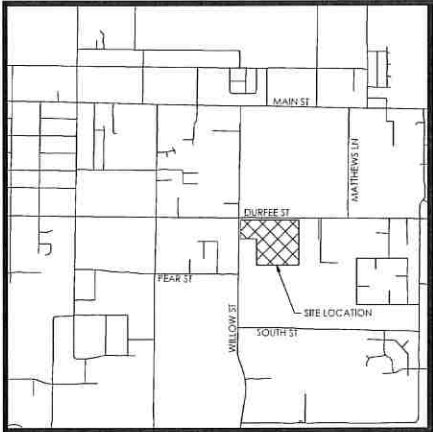
CITY MAYOR
PRESENTED TO THE GRANTSVILLE CITY COUNCIL THIS _____ DAY OF
_____ A.D. 20__ AT WHICH TIME THIS SUBDIVISION WAS APPROVED
AND ACCEPTED
GRANTSVILLE CITY MAYOR ATTEST: CITY RECORDER

TOOELE COUNTY SURVEYOR
APPROVED THIS _____ DAY OF _____ A.D. 20__
TOOELE COUNTY SURVEY DIRECTOR

RECORD OF SURVEY
PER STATE STATUTE 17-23-17, A SURVEY THAT INCLUDES
THE LANDS SHOWN HEREON HAS BEEN COMPLETED AND
FILED IN THE OFFICE OF THE TOOELE COUNTY
SURVEYOR AND ASSIGNED FILE NO. 2018-0082
GRANTSVILLE CITY ENGINEER
OR DESIGNEE
APPROVED THIS _____ DAY OF _____ A.D. 20__ BY THE GRANTSVILLE
CITY ENGINEERING DEPARTMENT
GRANTSVILLE CITY ENGINEER

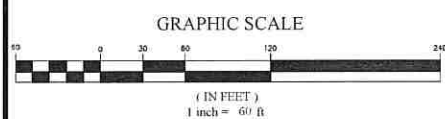
MATTHEWS MEADOWS SUBDIVISION
LOCATED IN THE NE1/4 OF SECTION 6 & NW1/4 OF SECTION 5, T3S, R5W,
SALT LAKE BASE & MERIDIAN
GRANTSVILLE CITY, TOOELE COUNTY, UTAH

Point #	Northing	Easting
1	822994.2003	737493.5802
2	824340.3041	739891.1429
3	824360.9100	737252.9200
4	824622.7699	737253.1549
5	821977.4610	737250.7823
6	824316.5848	737252.8802
7	824310.9666	738107.4650
8	822984.0963	738088.9372
9	822992.6460	737747.3742
10	822996.1047	737420.8551
11	823004.6390	737420.8243
12	823011.1386	737105.5524
13	823671.9666	737113.6252
14	823675.5223	736783.5256
15	824319.6212	736791.0191



VICINITY MAP
N.T.S.

- LEGEND**
- BOUNDARY
 - SECTION LINE
 - EASEMENT
 - RIGHT-OF-WAY LINE
 - CENTERLINE
 - BUILDING SETBACK
 - EXISTING PROPERTY LINE
 - SECTION MONUMENT (NOT FOUND)
 - WITNESS CORNER (FOUND)
 - BOUNDARY MARKERS
 - STREET MONUMENT (TO BE SET)
 - MONUMENT TO MONUMENT
 - MONUMENT TO BOUNDARY
 - HOW DEDICATION AREA
 - RETENTION POND EASEMENT (SEE NOTE 2)



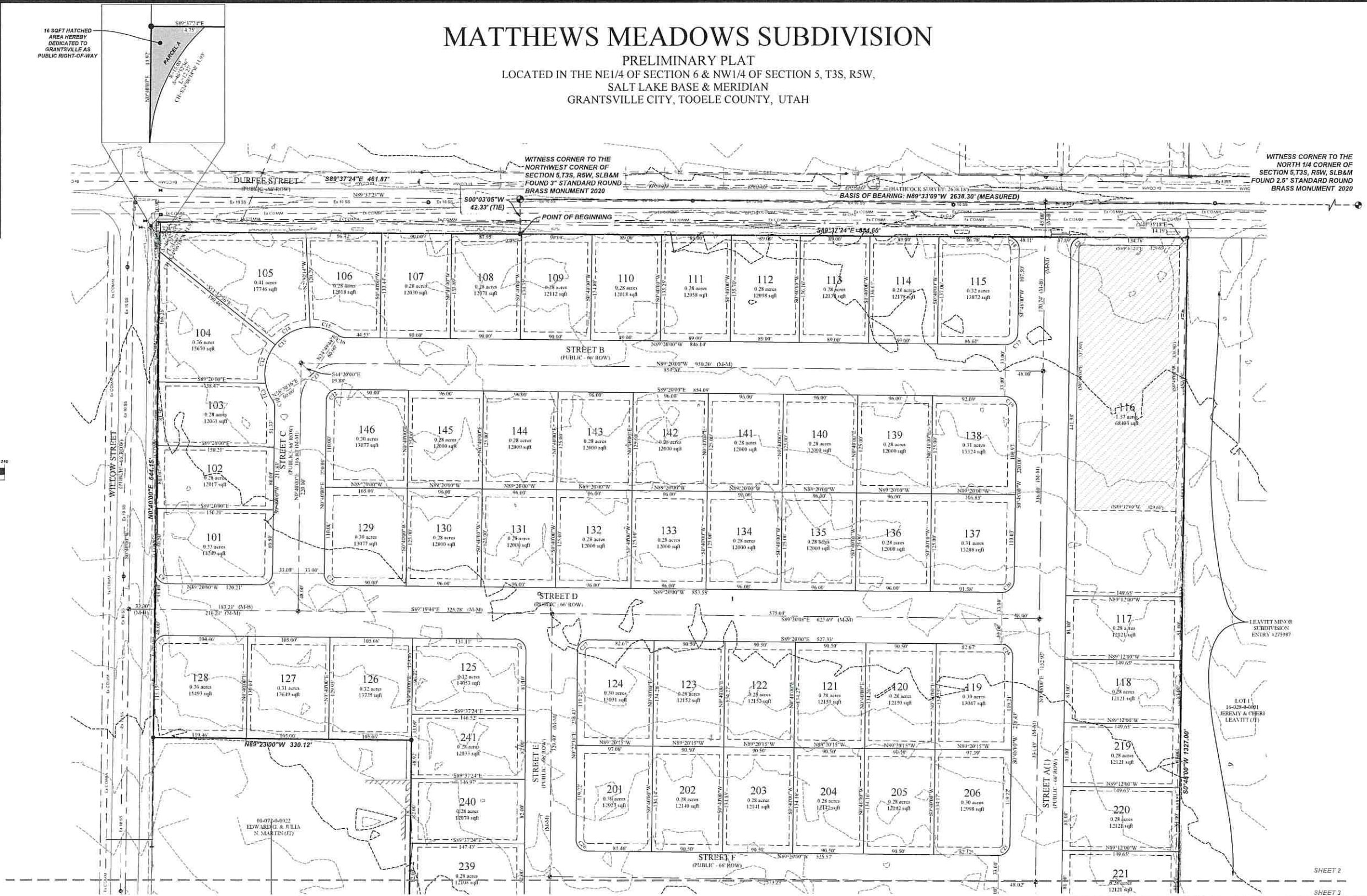
- NOTES**
- 85 X 24" REBAR & CAP (FOCUS ENG) TO BE SET AT ALL LOT CORNERS. NAILS OR PLUGS TO BE SET IN TOP BACK OF CURB AT EXTENSION OF SIDE LOT LINES. IN LIEU OF REBAR AND CAPS AT FRONT LOT CORNERS.
 - LOTS 116 PROPERTY OWNERS AGREE TO MAINTAIN THE RETENTION AREAS AS APPROVED BY THE CITY ENGINEER AND CONSTRUCTED BY THE DEVELOPER/BUILDER, AND THAT THEY WILL NOT ALTER THE GRADING, NOR ALLOW ANY DRAINAGE TO DISCHARGE ON THE NEIGHBORING PROPERTIES, OR PUT ANY IMPERVIOUS SURFACES IN THE AREA SHOWN ON THE PLAT. THIS REQUIREMENT WILL RUN WITH THE PROPERTY AND APPLY TO ALL FUTURE PROPERTY OWNERS.
 - PARCEL A IS HEREBY CONVEYED TO GRANTSVILLE AS A PUBLIC RIGHT OF WAY.

PREPARED FOR
GRANTSVILLE'S NEW TEAM LLC
1676 PROGRESS WAY
TOOELE, UTAH 84074
(801) 301-8591
CONTACT: SHAWN HOLSTE

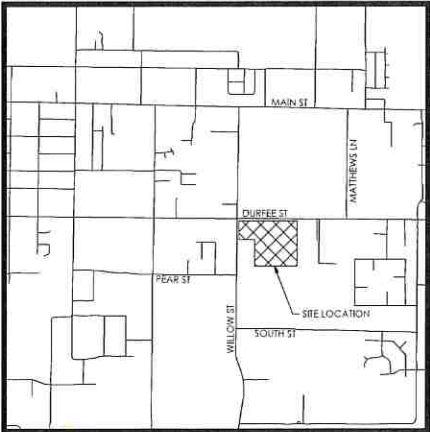
PREPARED BY
FOCUS
ENGINEERING AND SURVEYING, LLC
6044 RED HILL DRIVE
NIVA, UTAH 84047
NIVA (UTAH) 84047 (PL-001) 05-0077
www.FocusEng.com

MATTHEWS MEADOWS SUBDIVISION

PRELIMINARY PLAT
LOCATED IN THE NE1/4 OF SECTION 6 & NW1/4 OF SECTION 5, T3S, R5W,
SALT LAKE BASE & MERIDIAN
GRANTSVILLE CITY, TOOELE COUNTY, UTAH



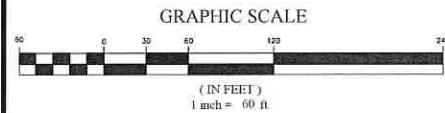
MATTHEWS MEADOWS SUBDIVISION
LOCATED IN THE NE1/4 OF SECTION 6 & NW1/4 OF SECTION 5, T3S, R5W,
SALT LAKE BASE & MERIDIAN
GRANTSVILLE CITY, TOOELE COUNTY, UTAH



VICINITY MAP
N.T.S.

LEGEND

- BOUNDARY
- SECTION LINE
- EASEMENT
- RIGHT-OF-WAY LINE
- CENTERLINE
- BUILDING SETBACK
- EXISTING PROPERTY LINE
- SECTION MONUMENT (NOT FOUND)
- WITNESS CORNER (FOUND)
- BOUNDARY MARKERS
- STREET MONUMENT (TO BE SET)
- MONUMENT TO MONUMENT
- MONUMENT TO BOUNDARY
- ROW DEDICATION AREA
- RETENTION POND EASEMENT (SEE NOTE 2)

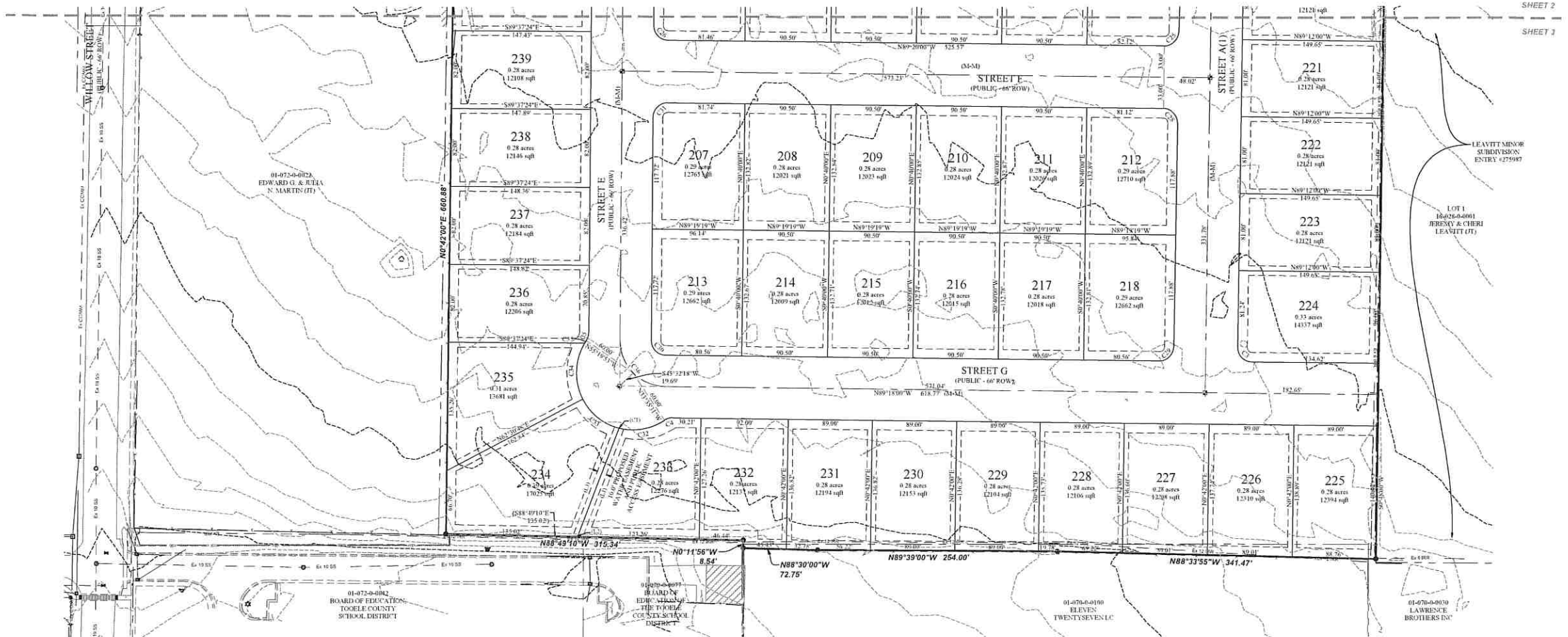


NOTES

- #5 X 24" REBAR & CAP (FOCUS ENG) TO BE SET AT ALL LOT CORNERS. NAILS OR PLUGS TO BE SET IN TOP BACK OF CURB AT EXTENSION OF SIDE LOT LINES, IN LIEU OF REBAR AND CAPS AT FRONT LOT CORNERS.
- LOTS 116 PROPERTY OWNERS AGREE TO MAINTAIN THE RETENTION AREAS AS APPROVED BY THE CITY ENGINEER, AND CONSTRUCTED BY THE DEVELOPER/BUILDER, AND THAT THEY WILL NOT ALTER THE GRADING, NOR ALLOW ANY DRAINAGE TO DISCHARGE ON THE NEIGHBORING PROPERTIES, OR PUT ANY IMPERVIOUS SURFACES IN THE AREA SHOWN ON THE PLAT. THIS REQUIREMENT WILL RUN WITH THE PROPERTY AND APPLY TO ALL FUTURE PROPERTY OWNERS.
- PARCEL A IS HEREBY CONVEYED TO GRANTSVILLE CITY AS A PUBLIC RIGHT OF WAY.

MATTHEWS MEADOWS SUBDIVISION

PRELIMINARY PLAT
LOCATED IN THE NE1/4 OF SECTION 6 & NW1/4 OF SECTION 5, T3S, R5W,
SALT LAKE BASE & MERIDIAN
GRANTSVILLE CITY, TOOELE COUNTY, UTAH



Curve Table					
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C2	15.00	89°34'36"	23.45	N45°55'18"E	21.13
C3	15.00	90°06'00"	23.59	N44°15'00"W	21.23
C4	15.00	34°17'31"	8.98	S73°23'14"W	8.84
C5	15.00	34°17'31"	8.98	N17°51'22"E	8.84
C6	15.00	89°42'56"	23.49	N44°28'42"W	21.16
C7	15.00	90°09'00"	23.56	S45°40'00"W	21.21
C8	15.00	90°09'00"	23.56	N44°20'00"W	21.21
C9	15.00	90°09'00"	23.56	S45°40'00"W	21.21
C10	15.00	34°09'44"	8.94	S16°24'52"E	8.81
C11	60.00	22°40'57"	23.75	S22°09'13"E	23.69
C12	60.00	49°30'50"	51.85	S13°56'39"W	50.25
C13	60.00	158°19'28"	165.80	S45°40'00"W	117.86
C14	60.00	48°49'42"	51.06	S67°04'55"E	49.54
C15	60.00	37°21'57"	39.13	S73°51'15"W	38.44
C16	15.00	34°09'44"	8.94	N72°15'08"W	8.81
C17	15.00	89°52'00"	23.53	S45°44'00"W	21.19
C18	15.00	90°25'34"	23.67	S44°24'42"E	21.29
C19	15.00	90°08'00"	23.60	S44°16'00"E	21.24

Curve Table					
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C20	15.00	89°52'00"	23.53	S45°44'00"W	21.19
C21	15.00	90°09'00"	23.56	N44°20'00"W	21.21
C22	15.00	90°09'00"	23.56	N45°40'00"E	21.21
C23	48.00	90°09'00"	75.40	N45°40'00"E	67.88
C24	15.00	90°08'00"	23.60	S44°16'00"E	21.24
C25	15.00	89°52'00"	23.53	S45°44'00"W	21.19
C26	15.00	89°42'56"	23.49	N44°28'42"W	21.16
C27	15.00	90°17'24"	23.64	N45°51'18"E	21.27
C28	15.00	90°08'00"	23.60	S44°16'00"E	21.24
C29	15.00	89°54'00"	23.54	S45°45'00"W	21.19
C30	15.00	89°40'36"	23.48	N44°27'42"W	21.15
C31	15.00	90°17'24"	23.64	N45°51'18"E	21.27
C32	60.00	42°55'19"	44.95	N77°52'08"E	43.99
C33	60.00	43°53'25"	45.61	S49°15'54"E	44.52
C34	60.00	59°05'54"	61.88	S62°03'55"W	59.18
C35	60.00	3°03'45"	3.21	S33°08'15"W	3.21
C36	48.00	89°40'36"	75.13	N44°27'42"W	67.69

Easement Line Table		
LINE	DIRECTION	LENGTH
(L.1)	N29°51'08"E	121.29
(L.2)	S88°49'10"E	5.31
(L.3)	S29°51'05"W	123.69

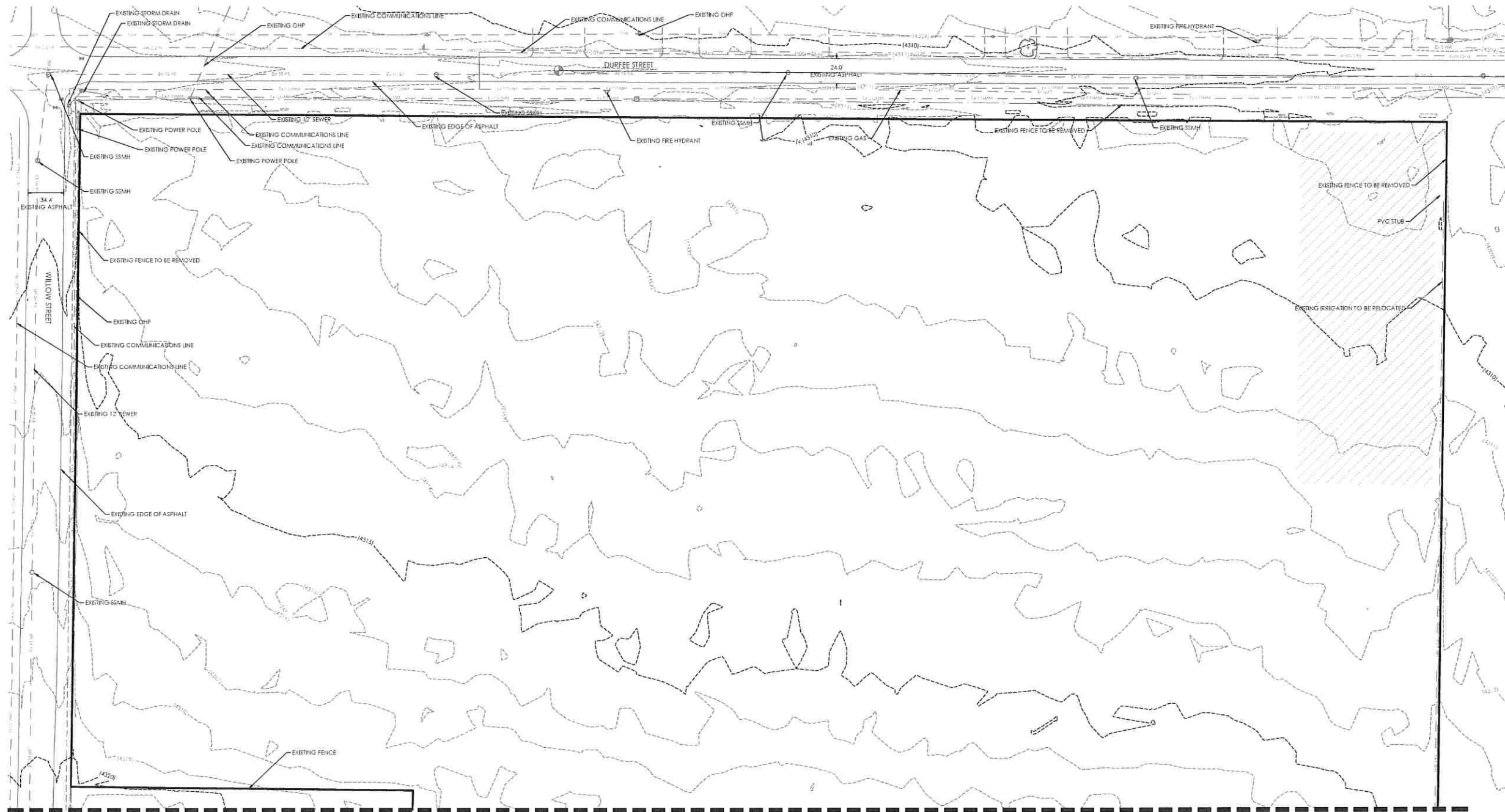
Curve Table					
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C37	60.00	4°48'48"	5.84	S78°19'48"W	5.84

PREPARED FOR
GRANTSVILLE'S NEW TEAM LLC
1676 PROGRESS WAY
TOOELE, UTAH 84074
(801) 301-8591
CONTACT: SHAWN HOLSTE

PREPARED BY



MATTHEWS MEADOWS SUBDIVISION
LOCATED IN THE NE1/4 OF SECTION 6 & NW1/4 OF SECTION 5, T3S, R5W,
SALT LAKE BASE & MERIDIAN
GRANTSVILLE CITY, TOOELE COUNTY, UTAH



MATCHLINE
SEE SHEET C3.2

LEGEND

	BOUNDARY LINE
	SECTION LINE
	EXIST. EASEMENT LINE
	EXIST. PROPERTY LINE
	EXIST. CONTOUR MAJOR
	EXIST. CONTOUR MINOR
	EXIST. STORM DRAIN
	EXIST. SANITARY SEWER
	EXIST. UTILITY WATER
	EXIST. IRRIGATION
	EXIST. COMMUNICATIONS
	EXIST. OVERHEAD POWER
	EXIST. UNDERGROUND POWER
	EXIST. FENCE
	EXIST. EDGE OF ASPHALT
	SECTION MONUMENT (FOUND)
	SECTION MONUMENT (NOT FOUND)
	WITNESS MONUMENT (FOUND)
	BOUNDARY MARKER
	EXIST. SD INLET, MANHOLE & COMBO BOX
	EXIST. SEWER MANHOLE
	EXIST. WATER VALVE & WATER METER
	EXIST. FIRE HYDRANT
	EXIST. POWER POLE
	EXIST. ELECTRICAL BOX
	EXIST. COMMUNICATIONS BOX
	EXIST. SPOT ELEVATION
	TOOELE COUNTY PARCEL No.



GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.



FOR
REVIEW
ONLY

MATTHEWS MEADOWS SUBDIVISION GRANTSVILLE SITE ANALYSIS

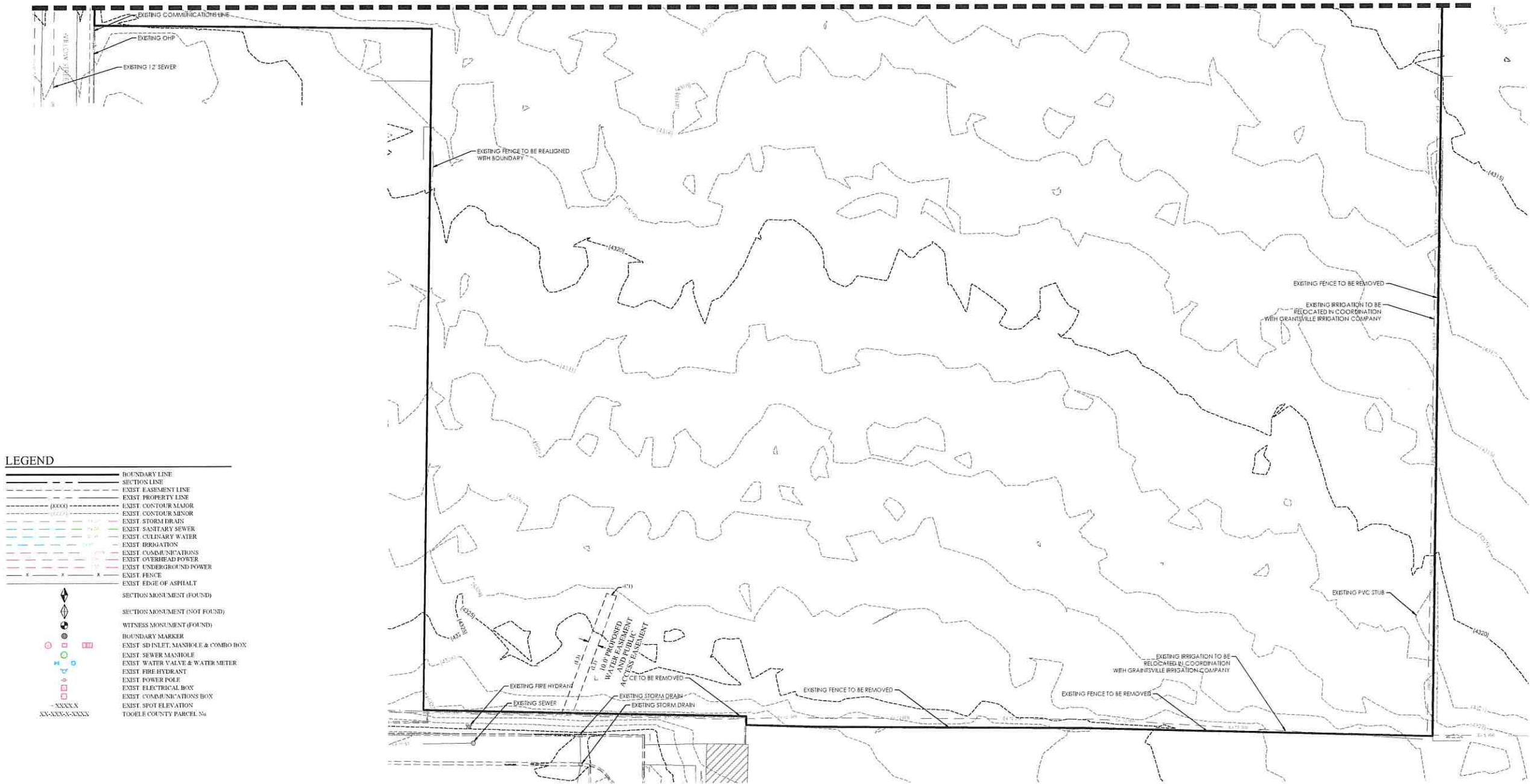
REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	

SITE ANALYSIS

Scale: 1"=50'	Drawn: MC
Date: 03/24/22	Job #: 21-0377
Sheet:	

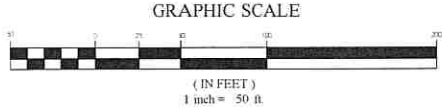
C3.1

MATCHLINE
SEE SHEET C3.1



LEGEND

[Symbol]	BOUNDARY LINE
[Symbol]	SECTION LINE
[Symbol]	EXIST. EASEMENT LINE
[Symbol]	EXIST. PROPERTY LINE
[Symbol]	EXIST. CONTOUR MAJOR
[Symbol]	EXIST. CONTOUR MINOR
[Symbol]	EXIST. STORM DRAIN
[Symbol]	EXIST. SANITARY SEWER
[Symbol]	EXIST. CULINARY WATER
[Symbol]	EXIST. IRRIGATION
[Symbol]	EXIST. COMMUNICATIONS
[Symbol]	EXIST. OVERHEAD POWER
[Symbol]	EXIST. UNDERGROUND POWER
[Symbol]	EXIST. FENCE
[Symbol]	EXIST. EDGE OF ASPHALT
[Symbol]	SECTION MONUMENT (FOUND)
[Symbol]	SECTION MONUMENT (NOT FOUND)
[Symbol]	WITNESS MONUMENT (FOUND)
[Symbol]	BOUNDARY MARKER
[Symbol]	EXIST. SD INLET, MANHOLE & COMBO BOX
[Symbol]	EXIST. SEWER MANHOLE
[Symbol]	EXIST. WATER VALVE & WATER METER
[Symbol]	EXIST. FIRE HYDRANT
[Symbol]	EXIST. POWER POLE
[Symbol]	EXIST. ELECTRICAL BOX
[Symbol]	EXIST. COMMUNICATIONS BOX
[Symbol]	EXIST. SPOT ELEVATION
[Symbol]	TOOBE COUNTY PARCEL #



FOCUS
ENGINEERING AND SURVEYING, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047 PH: (801) 352-4075
www.focusuh.com

FOR
REVIEW
ONLY

MATTHEWS MEADOWS SUBDIVISION
GRANTSVILLE
SITE ANALYSIS

REVISION BLOCK		DESCRIPTION
#	DATE	
1		
2		
3		
4		
5		
6		

SITE ANALYSIS

Scale: 1"=50'	Drawn: MC
Date: 03/24/22	Job #: 21-0377
Sheet	C3.2

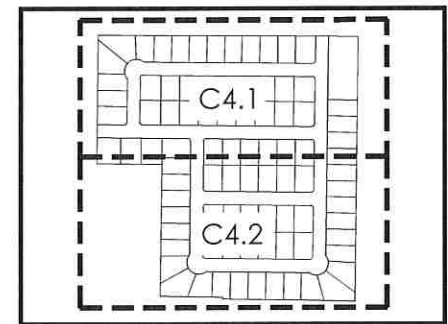


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LEGEND

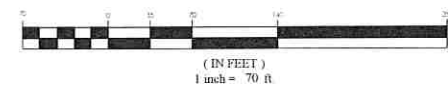
---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	15" STORM DRAIN
---	8" SANITARY SEWER
---	8" CULINARY WATER
---	8" SECONDARY WATER
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
---	SKIN
---	STREET LIGHT
---	SD INLET, AND COMBO
---	SEWER MANHOLE
---	CULINARY VALVE, TEE & BEND
---	SECONDARY VALVE, TEE & BEND
---	WATER BLOW-OFF
---	FIRE HYDRANT
---	STREET MONUMENT (TO BE SET)
---	EXIST. STREET MONUMENT
---	EXIST. SD INLET & MH
---	EXIST. SEWER MH
---	EXIST. VALVE, TEE, & BEND
---	EXIST. FIRE HYDRANT
---	SPOT ELEVATION



KEY MAP



GRAPHIC SCALE



FOR REVIEW ONLY

MATTHEWS MEADOWS SUBDIVISION
GRANTSVILLE
OVERALL SITE PLAN

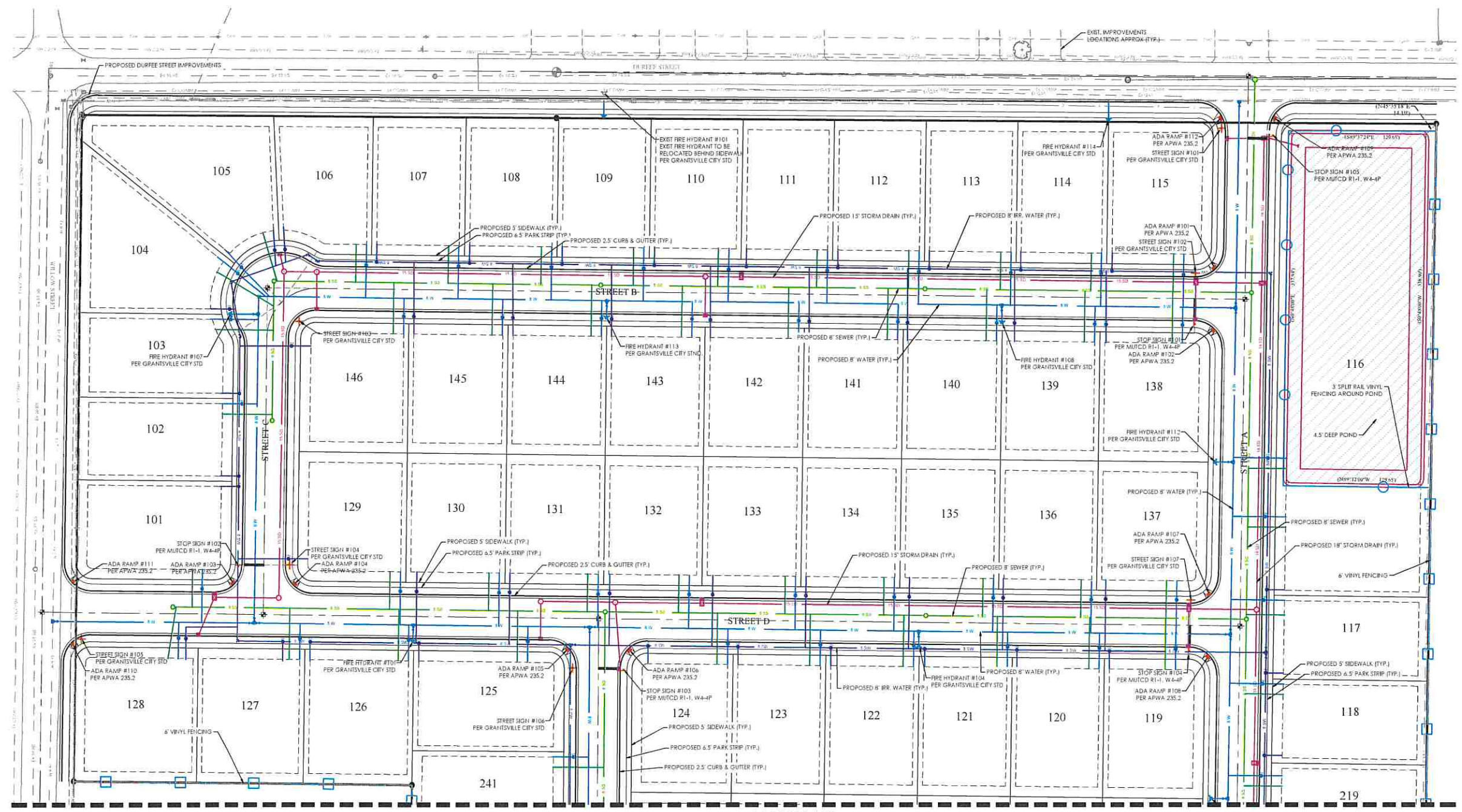
REVISION BLOCK	
#	DESCRIPTION
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OVERALL SITE PLAN

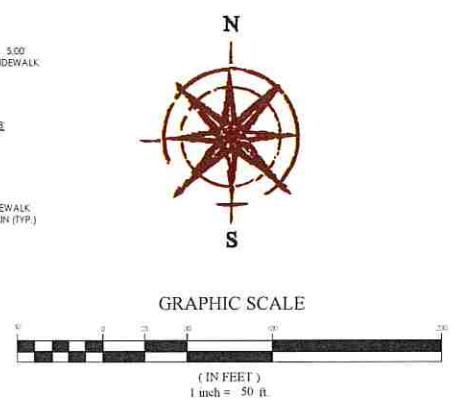
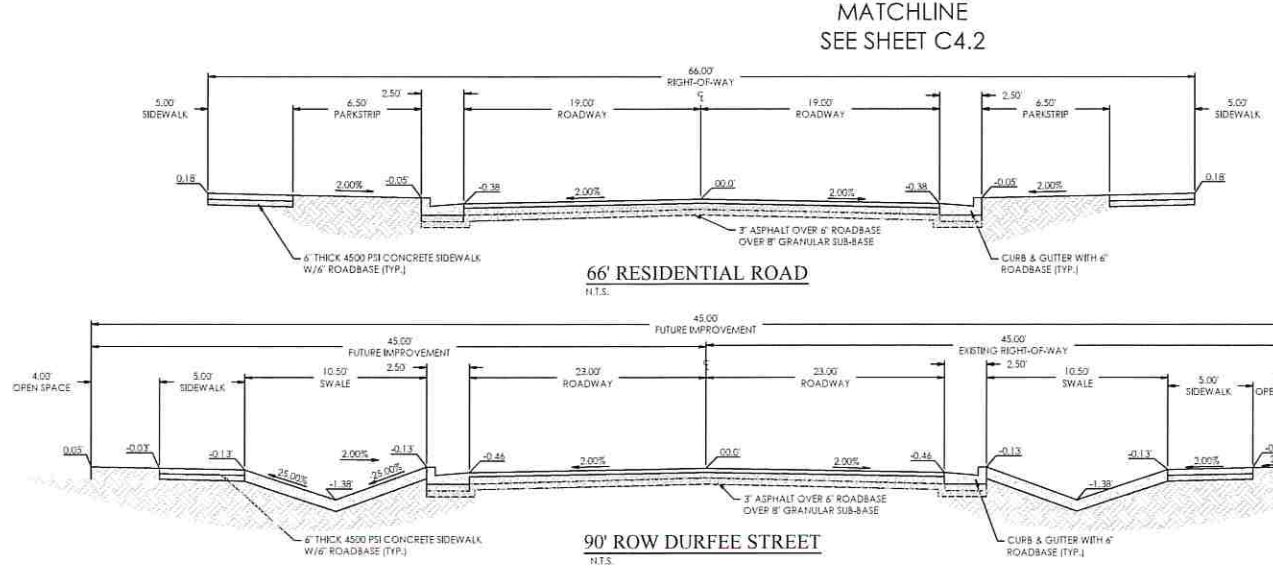
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Date:	03/24/22	Job #:	21-0377
Sheet:			

C4





- LEGEND**
- BOUNDARY
 - ROW
 - CENTERLINE
 - LOT LINE
 - EASEMENT
 - 15" STORM DRAIN
 - 8" SANITARY SEWER
 - 8" CULINARY WATER
 - 8" SECONDARY WATER
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - EXIST. STORM DRAIN
 - EXIST. SANITARY SEWER
 - EXIST. CULINARY WATER
 - EXIST. FENCE
 - EXIST. CONTOUR MAJOR
 - EXIST. CONTOUR MINOR
 - SIGN
 - STREET LIGHT
 - SD MBL INLET AND COMBO
 - SEWER MANHOLE
 - CULINARY VALVE, TEE & BEND
 - SECONDARY VALVE, TEE & BEND
 - WATER BLOW-OFF
 - FIRE HYDRANT
 - STREET MONUMENT (TO BE SET)
 - EXIST. STREET MONUMENT
 - EXIST. SD INLET & MBL
 - EXIST. SEWER MBL
 - EXIST. VALVE, TEE & BEND
 - EXIST. FIRE HYDRANT
 - SPOT ELEVATION



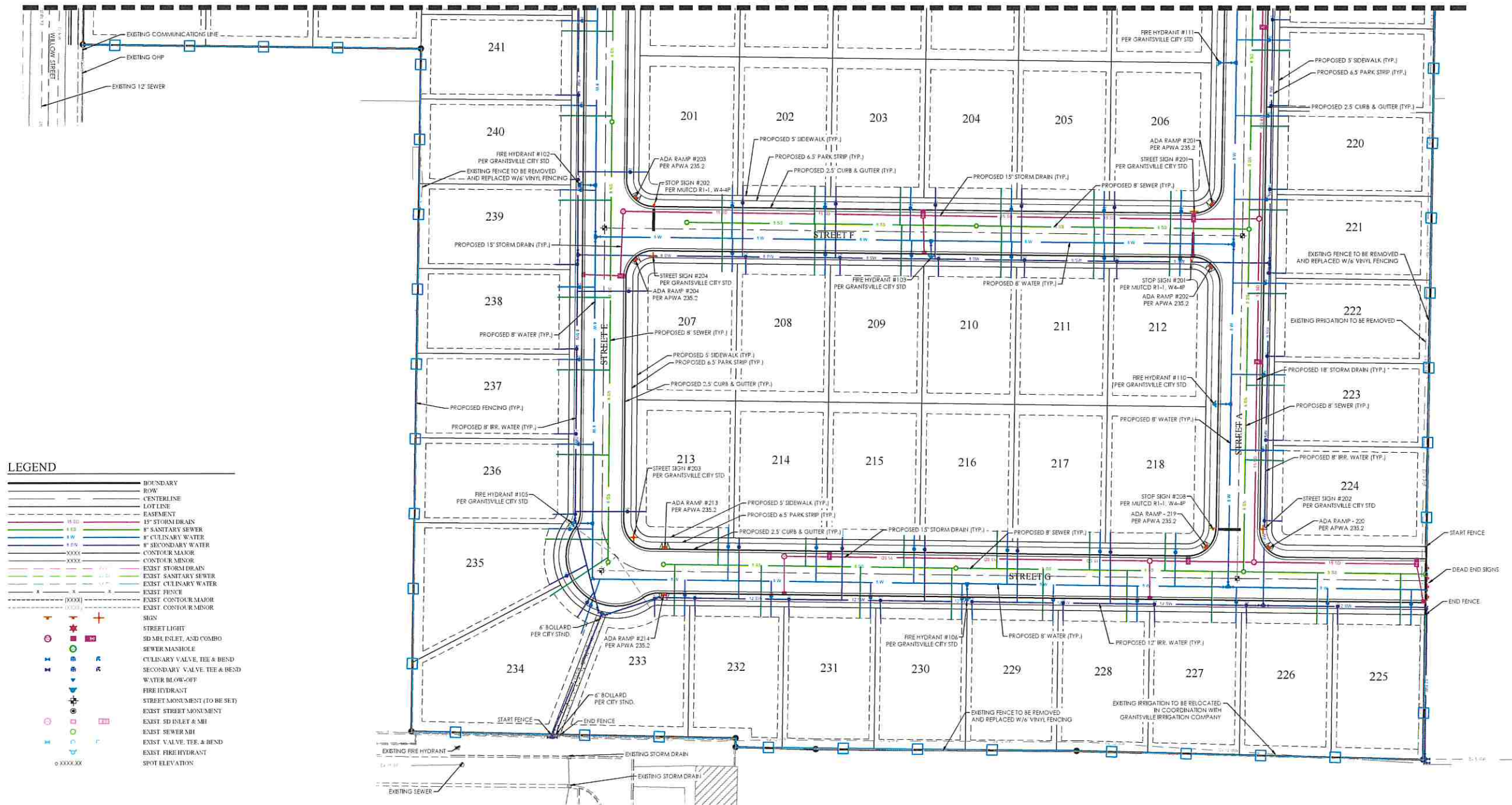
FOR REVIEW ONLY

MATTHEWS MEADOWS SUBDIVISION
GRANTSVILLE
SITE PLAN

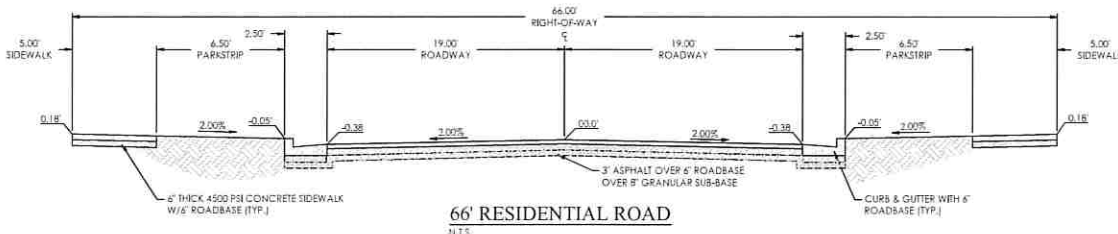
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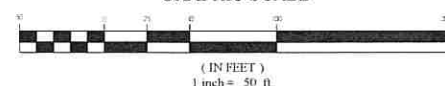
MATCHLINE
SEE SHEET C4.1



- LEGEND**
- BOUNDARY
 - ROW
 - CENTERLINE
 - LOT LINE
 - EASEMENT
 - 12" STORM DRAIN
 - 8" SANITARY SEWER
 - 6" CULINARY WATER
 - 8" SECONDARY WATER
 - 12" WATER
 - 18" WATER
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - EXIST. STORM DRAIN
 - EXIST. SANITARY SEWER
 - EXIST. CULINARY WATER
 - EXIST. FENCE
 - EXIST. CONTOUR MAJOR
 - EXIST. CONTOUR MINOR
 - SIGN
 - STREET LIGHT
 - SD MANHOLE, AND COMBO
 - SEWER MANHOLE
 - CULINARY VALVE, TEE & BEND
 - SECONDARY VALVE, TEE & BEND
 - WATER BLOW-OFF
 - FIRE HYDRANT
 - STREET MONUMENT (TO BE SET)
 - EXIST. STREET MONUMENT
 - EXIST. SD INLET & MH
 - EXIST. SEWER MH
 - EXIST. VALVE, TEE & BEND
 - EXIST. FIRE HYDRANT
 - SPOT ELEVATION



GRAPHIC SCALE



FOR
REVIEW
ONLY

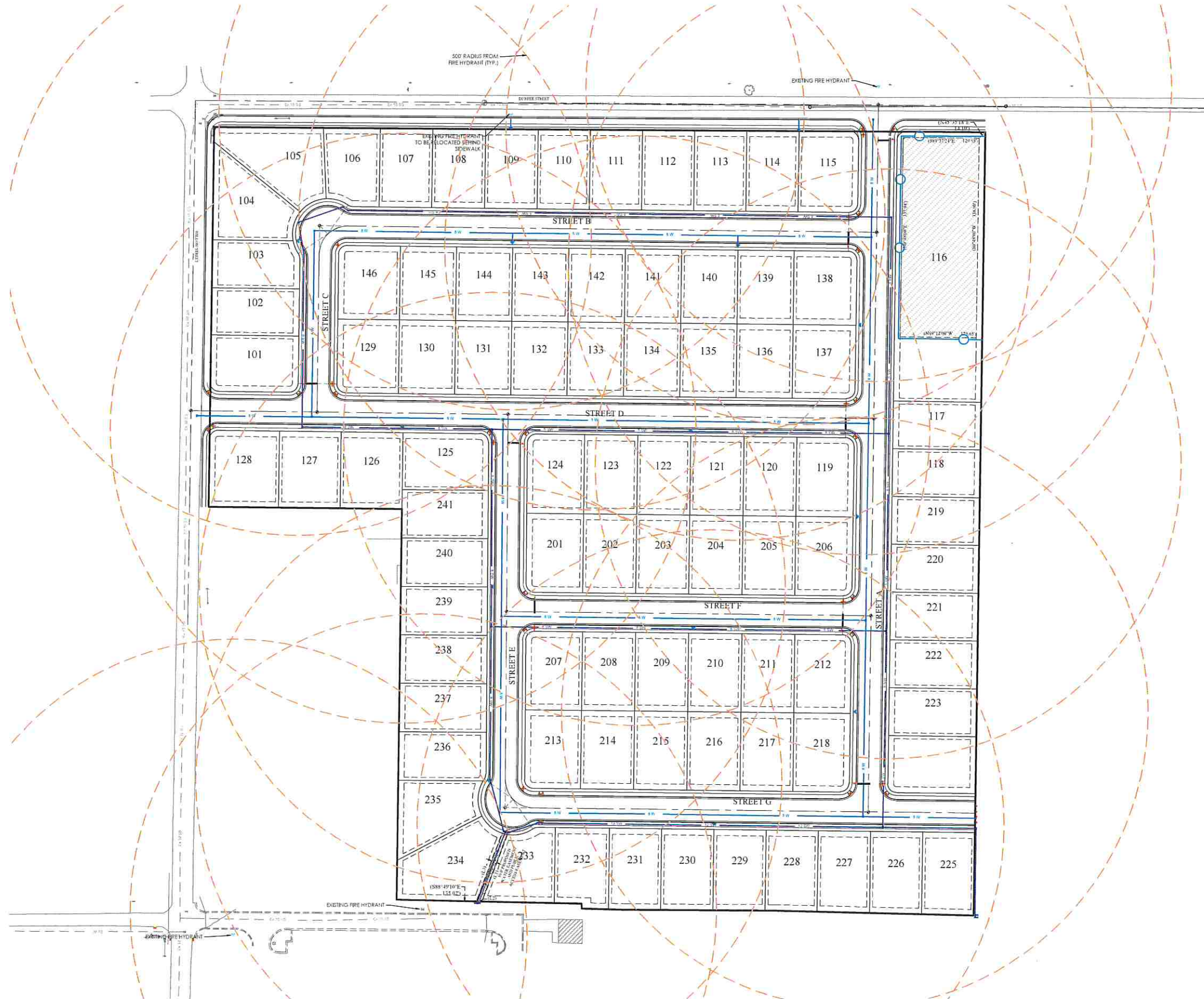
MATTHEWS MEADOWS SUBDIVISION
GRANTSVILLE
SITE PLAN

REVISION BLOCK		DESCRIPTION
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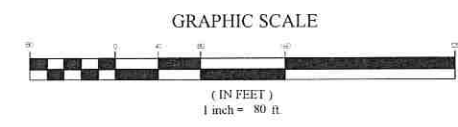
SITE PLAN

Scale: 1"=50'
Date: 03/24/22
Sheet: 21-0377

C4.2



LEGEND	
[Symbol]	BOUNDARY
[Symbol]	ROW
[Symbol]	CENTERLINE
[Symbol]	LOT LINE
[Symbol]	EASEMENT
[Symbol]	15" STORM DRAIN
[Symbol]	8" SANITARY SEWER
[Symbol]	8" CULINARY WATER
[Symbol]	8" SECONDARY WATER
[Symbol]	CONTOUR MAJOR
[Symbol]	CONTOUR MINOR
[Symbol]	EXIST STORM DRAIN
[Symbol]	EXIST SANITARY SEWER
[Symbol]	EXIST CULINARY WATER
[Symbol]	EXIST FENCE
[Symbol]	EXIST CONTOUR MAJOR
[Symbol]	EXIST CONTOUR MINOR
[Symbol]	SIGN
[Symbol]	STREET LIGHT
[Symbol]	SD INLET AND COMBO
[Symbol]	SEWER MANHOLE
[Symbol]	CULINARY VALVE, TEE & BEND
[Symbol]	SECONDARY VALVE, TEE & BEND
[Symbol]	WATER BLOW-OFF
[Symbol]	FIRE HYDRANT
[Symbol]	STREET MONUMENT (TO BE SET)
[Symbol]	EXIST STREET MONUMENT
[Symbol]	EXIST SD INLET & MH
[Symbol]	EXIST SEWER MH
[Symbol]	EXIST VALVE, TEE & BEND
[Symbol]	EXIST FIRE HYDRANT
[Symbol]	SPOT ELEVATION



FOR REVIEW ONLY

MATTHEWS MEADOWS SUBDIVISION
GRANTSVILLE
FIRE HYDRANT PLAN

REVISION BLOCK	
#	DESCRIPTION
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3	
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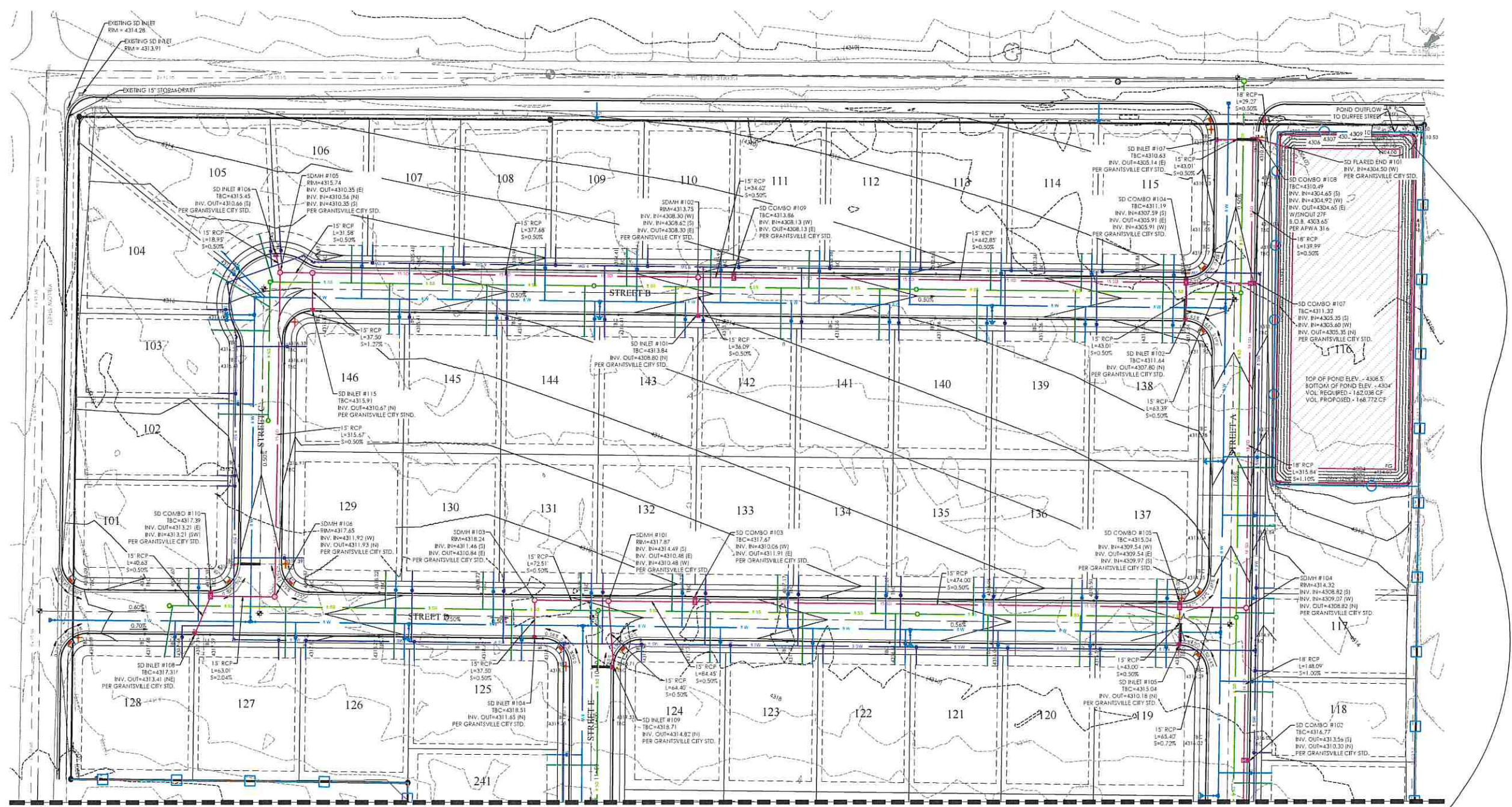
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Date: 03/24/22	Job #: 21-0377
Sheet:	

C4.3

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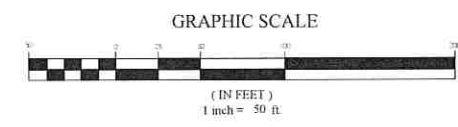
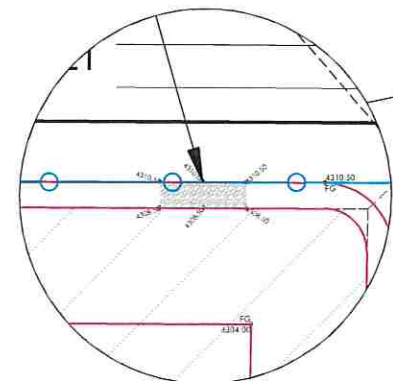
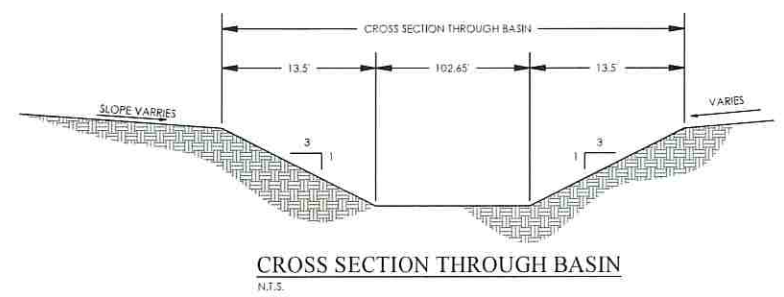
FOR
REVIEW
ONLY

MATTHEWS MEADOWS SUBDIVISION
GRANTSVILLE
GRADING & DRAINAGE PLAN



- LEGEND**
- BOUNDARY
 - ROW
 - CENTERLINE
 - LOT LINE
 - EASEMENT
 - 15" STORM DRAIN
 - 8" SANITARY SEWER
 - 4" CULINARY WATER
 - 4" SECONDARY WATER
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - EXIST. STORM DRAIN
 - EXIST. SANITARY SEWER
 - EXIST. CULINARY WATER
 - EXIST. FENCE
 - EXIST. CONTOUR MAJOR
 - EXIST. CONTOUR MINOR
 - SIGN
 - STREET LIGHT
 - SD MANHOLE AND COMBO
 - SEWER MANHOLE
 - CULINARY VALVE, TEE & BEND
 - SECONDARY VALVE, TEE & BEND
 - WATER BLOW-OFF
 - FIRE HYDRANT
 - STREET MOUNTMENT (TO BE SET)
 - EXIST. STREET MOUNTMENT
 - EXIST. SD INLET & MH
 - EXIST. SEWER MH
 - EXIST. VALVE, TEE & BEND
 - EXIST. FIRE HYDRANT
 - SPOT ELEVATION

MATCHLINE
SEE SHEET C5.2



REVISION BLOCK	DATE	DESCRIPTION
1		
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GRADING & DRAINAGE
PLAN

Scale: 1"=50'
Date: 03/24/22
Sheet: C5.1



MATCHLINE
SEE SHEET C5.1

Retention Pond

Project: Matthews Meadows Subdivision
Location: Grantsville City, Utah
Date: 12/7/2021
Designer: MEC



100-Year Retention Sizing

Design Criteria

Intensity Tables: Per NOAA Atlas 14
Return Period: 100 year
Allowable Discharge: 0.00 cfs/acre Per Grantsville City Standards

Allowable Discharges

Storm Drain Discharge: 0.00 cfs
Other Discharge: 0.00 cfs
Total Discharge: 0 cfs

Weighted "C" Value

Surface Type	Area (sq ft)	"C" Value	C*A
Roofs (flat)	220,000	0.85	187,000
Drives	35,200	0.65	22,880
Roadway and Sidewalk	279,264	0.65	182,522
Landscape	862,713	0.15	129,407
Totals	1,396,977		503,811
Weighted "C" Value		0.42	

Drainage Calculations

Duration	Intensity	Runoff C	Area	Rainfall	Accumulate Flow	Allowable Discharge	Discharge	Required Storage
min	in/hr		Ac	cf	cf	cf	cf	cf
15.0	4.56	0.42	32.07	61.09	54,977	0.00	0	54,977
30.0	3.07	0.42	32.07	41.13	74,026	0.00	0	74,026
60.0	1.90	0.42	32.07	25.45	91,629	0.00	0	91,629
120.0	1.11	0.42	32.07	14.87	107,061	0.00	0	107,061
180.0	0.76	0.42	32.07	10.18	109,955	0.00	0	109,955
360.0	0.41	0.42	32.07	5.49	118,635	0.00	0	118,635
720.0	0.22	0.42	32.07	3.22	138,890	0.00	0	138,890
1440.0	0.12	0.42	32.07	1.88	162,038	0.00	0	162,038

Maximum Storage Requirement: 162,038
Maximum Storage Requirement (ac-ft): 3.72

Retention Basin Design

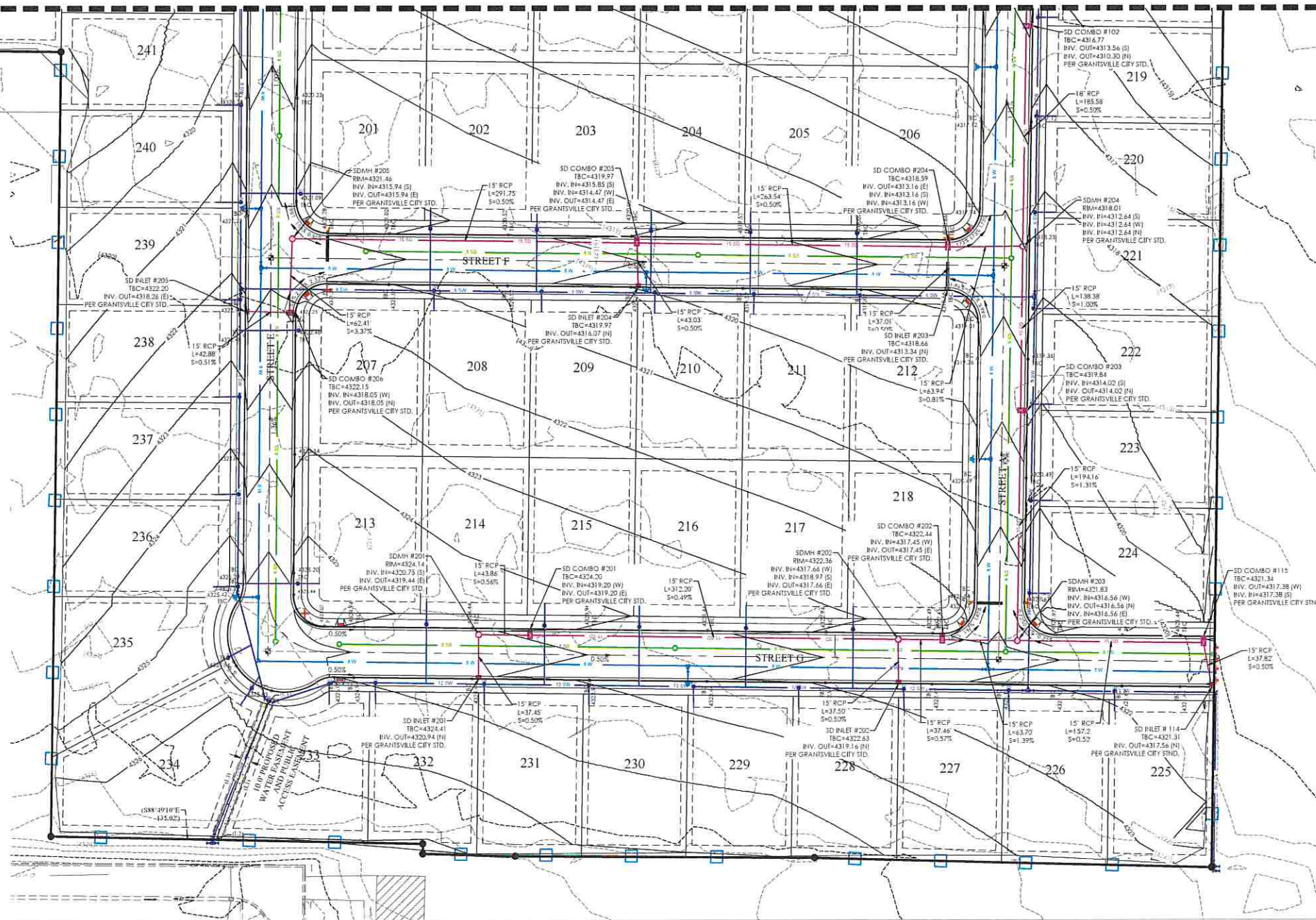
Storage Requirement: 162,038 cf
Allowable Depth: 4.5 ft
Retention Pond Volume: 168,772 cf
Roadway Sump Storage: 0 cf

Retention Adequate

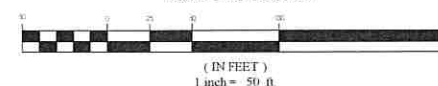
LEGEND

BOUNDARY	1" STORM DRAIN	EXIST. STORM DRAIN	EXIST. FENCE
ROW CENTERLINE	8" SANITARY SEWER	EXIST. SANITARY SEWER	EXIST. CONTOUR MAJOR
LOT LINE	8" CULINARY WATER	EXIST. CULINARY WATER	EXIST. CONTOUR MINOR
EASEMENT	8" SECONDARY WATER	EXIST. SECONDARY WATER	SGN
1" STORM DRAIN	CONTOUR MAJOR	EXIST. CONTOUR MAJOR	STREET LIGHT
8" SANITARY SEWER	CONTOUR MINOR	EXIST. CONTOUR MINOR	SD MBI INLET AND COMBO
8" CULINARY WATER	EXIST. STORM DRAIN	EXIST. STORM DRAIN	SEWER MANHOLE
8" SECONDARY WATER	EXIST. SANITARY SEWER	EXIST. SANITARY SEWER	CULINARY VALVE, TEE & BEND
CONTOUR MAJOR	EXIST. CULINARY WATER	EXIST. CULINARY WATER	SECONDARY VALVE, TEE & BEND
CONTOUR MINOR	EXIST. FENCE	EXIST. FENCE	WATER BLOW-OFF
EXIST. STORM DRAIN	EXIST. CONTOUR MAJOR	EXIST. CONTOUR MAJOR	FIRE HYDRANT
EXIST. SANITARY SEWER	EXIST. CONTOUR MINOR	EXIST. CONTOUR MINOR	STREET MONUMENT (TO BE SET)
EXIST. CULINARY WATER	SGN	SGN	EXIST. STREET MONUMENT
EXIST. FENCE	STREET LIGHT	STREET LIGHT	EXIST. SD INLET & MBI
EXIST. CONTOUR MAJOR	SD MBI INLET AND COMBO	SD MBI INLET AND COMBO	EXIST. SEWER MBI
EXIST. CONTOUR MINOR	SEWER MANHOLE	SEWER MANHOLE	EXIST. VALVE, TEE & BEND
SGN	CULINARY VALVE, TEE & BEND	CULINARY VALVE, TEE & BEND	EXIST. FIRE HYDRANT
STREET LIGHT	SECONDARY VALVE, TEE & BEND	SECONDARY VALVE, TEE & BEND	SPOT ELEVATION
SD MBI INLET AND COMBO	WATER BLOW-OFF	WATER BLOW-OFF	
SEWER MANHOLE	FIRE HYDRANT	FIRE HYDRANT	
CULINARY VALVE, TEE & BEND	STREET MONUMENT (TO BE SET)	STREET MONUMENT (TO BE SET)	
SECONDARY VALVE, TEE & BEND	EXIST. STREET MONUMENT	EXIST. STREET MONUMENT	
WATER BLOW-OFF	EXIST. SD INLET & MBI	EXIST. SD INLET & MBI	
FIRE HYDRANT	EXIST. SEWER MBI	EXIST. SEWER MBI	
STREET MONUMENT (TO BE SET)	EXIST. VALVE, TEE & BEND	EXIST. VALVE, TEE & BEND	
EXIST. STREET MONUMENT	EXIST. FIRE HYDRANT	EXIST. FIRE HYDRANT	
EXIST. SD INLET & MBI	SPOT ELEVATION	SPOT ELEVATION	
EXIST. SEWER MBI			
EXIST. VALVE, TEE & BEND			
EXIST. FIRE HYDRANT			
SPOT ELEVATION			

PERC RATE NOTE:
PERCOLATION RATE 6" EVERY 40 MIN PER
GEOTECHNICAL REPORT.



GRAPHIC SCALE



MATTHEWS MEADOWS SUBDIVISION GRANTSVILLE GRADING & DRAINAGE PLAN

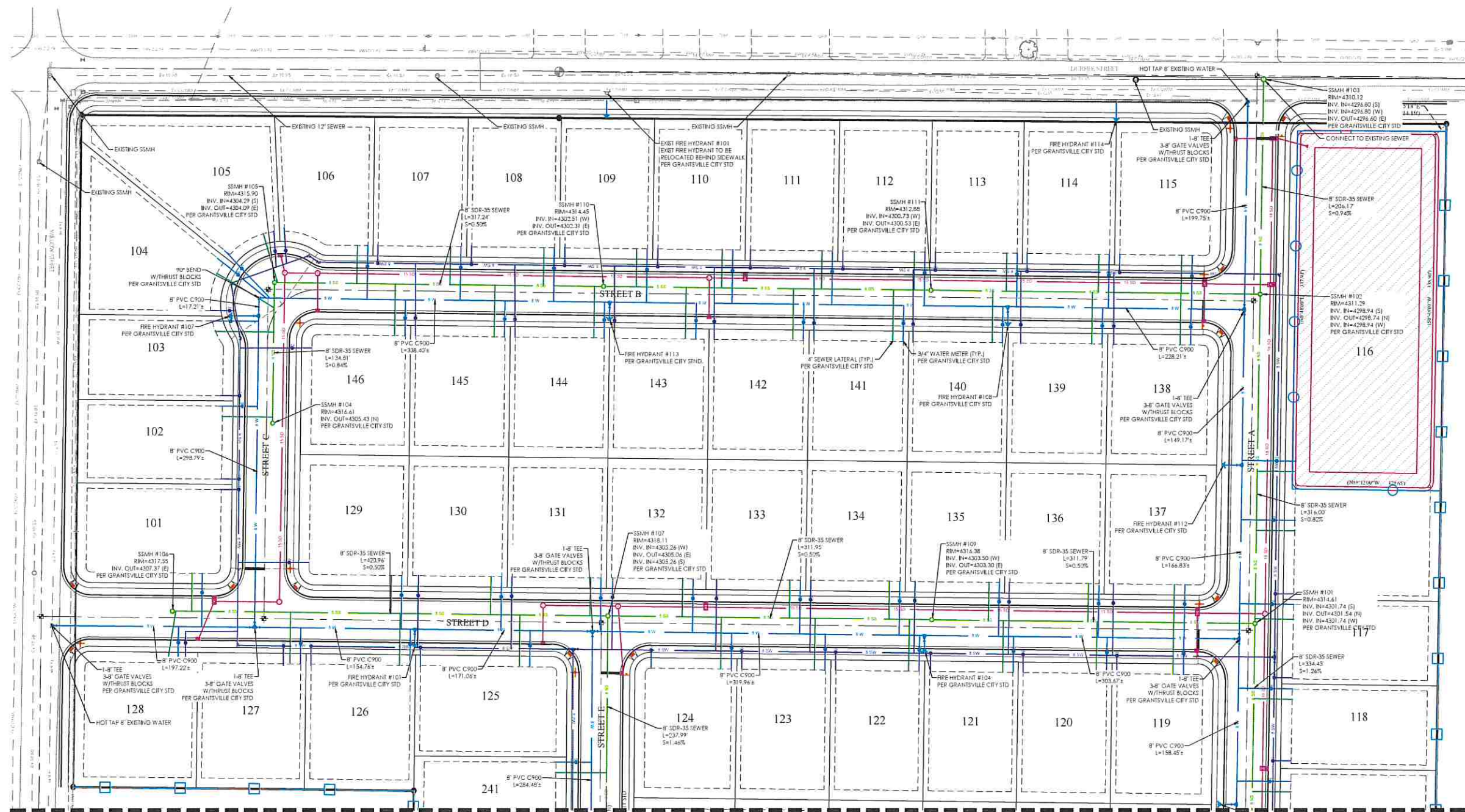
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GRADING & DRAINAGE PLAN

Scale: 1"=50'
Date: 03/24/22
Job #: 21-0377
Sheet:

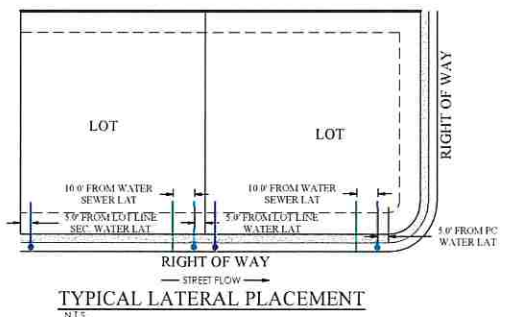
C5.2

FOR REVIEW ONLY



LEGEND

[Symbol]	BOUNDARY
[Symbol]	ROW
[Symbol]	CENTERLINE
[Symbol]	LOT LINE
[Symbol]	EASEMENT
[Symbol]	14" STORM DRAIN
[Symbol]	8" SANITARY SEWER
[Symbol]	8" CULINARY WATER
[Symbol]	8" SECONDARY WATER
[Symbol]	CONTOUR MAJOR
[Symbol]	CONTOUR MINOR
[Symbol]	EXIST. STORM DRAIN
[Symbol]	EXIST. SANITARY SEWER
[Symbol]	EXIST. CULINARY WATER
[Symbol]	EXIST. FENCE
[Symbol]	EXIST. CONTOUR MAJOR
[Symbol]	EXIST. CONTOUR MINOR
[Symbol]	SGN
[Symbol]	STREET LIGHT
[Symbol]	SD MAN INLET AND COMBO
[Symbol]	SEWER MANHOLE
[Symbol]	CULINARY VALVE, TEE & BEND
[Symbol]	SECONDARY VALVE, TEE & BEND
[Symbol]	WATER BLOW-OFF
[Symbol]	FIRE HYDRANT
[Symbol]	STREET MONUMENT (TO BE SET)
[Symbol]	EXIST. STREET MONUMENT
[Symbol]	EXIST. SD INLET & MH
[Symbol]	EXIST. SEWER MH
[Symbol]	EXIST. VALVE, TEE & BEND
[Symbol]	EXIST. FIRE HYDRANT
[Symbol]	SPOT ELEVATION



MATCHLINE
SEE SHEET C6.2

GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.

North Arrow

FOCUS
ENGINEERING AND SURVEYING, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047 PH: (801) 552-0075
www.focusutah.com

FOR REVIEW ONLY

MATTHEWS MEADOWS SUBDIVISION
GRANTSVILLE
UTILITY PLAN

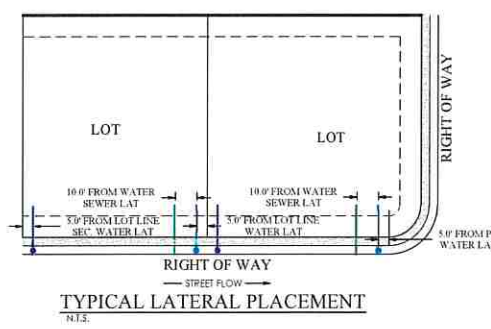
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UTILITY PLAN

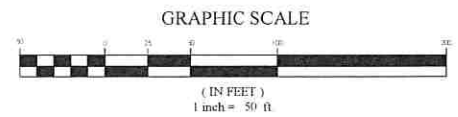
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Date: 03/24/22	Job #: 21-0377
Sheet:	

811
Know what's below.
Call 811 before you dig.

MATCHLINE
SEE SHEET C6.1



- LEGEND**
- BOUNDARY
 - ROW
 - CENTERLINE
 - LOT LINE
 - EASEMENT
 - 12" STORM DRAIN
 - 8" SANITARY SEWER
 - 8" CULINARY WATER
 - 8" SECONDARY WATER
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - EXIST. STORM DRAIN
 - EXIST. SANITARY SEWER
 - EXIST. CULINARY WATER
 - EXIST. FENCE
 - EXIST. CONTOUR MAJOR
 - EXIST. CONTOUR MINOR
 - SGN
 - STREET LIGHT
 - SD INLET, AND COMBO
 - SEWER MANHOLE
 - CULINARY VALVE, TEE & BEND
 - SECONDARY VALVE, TEE & BEND
 - WATER BLOW-OFF
 - FIRE HYDRANT
 - STREET MONUMENT (TO BE SET)
 - EXIST. STREET MONUMENT
 - EXIST. SD INLET & MH
 - EXIST. SEWER MH
 - EXIST. VALVE, TEE & BEND
 - EXIST. FIRE HYDRANT
 - SPOT ELEVATION



FOR REVIEW ONLY

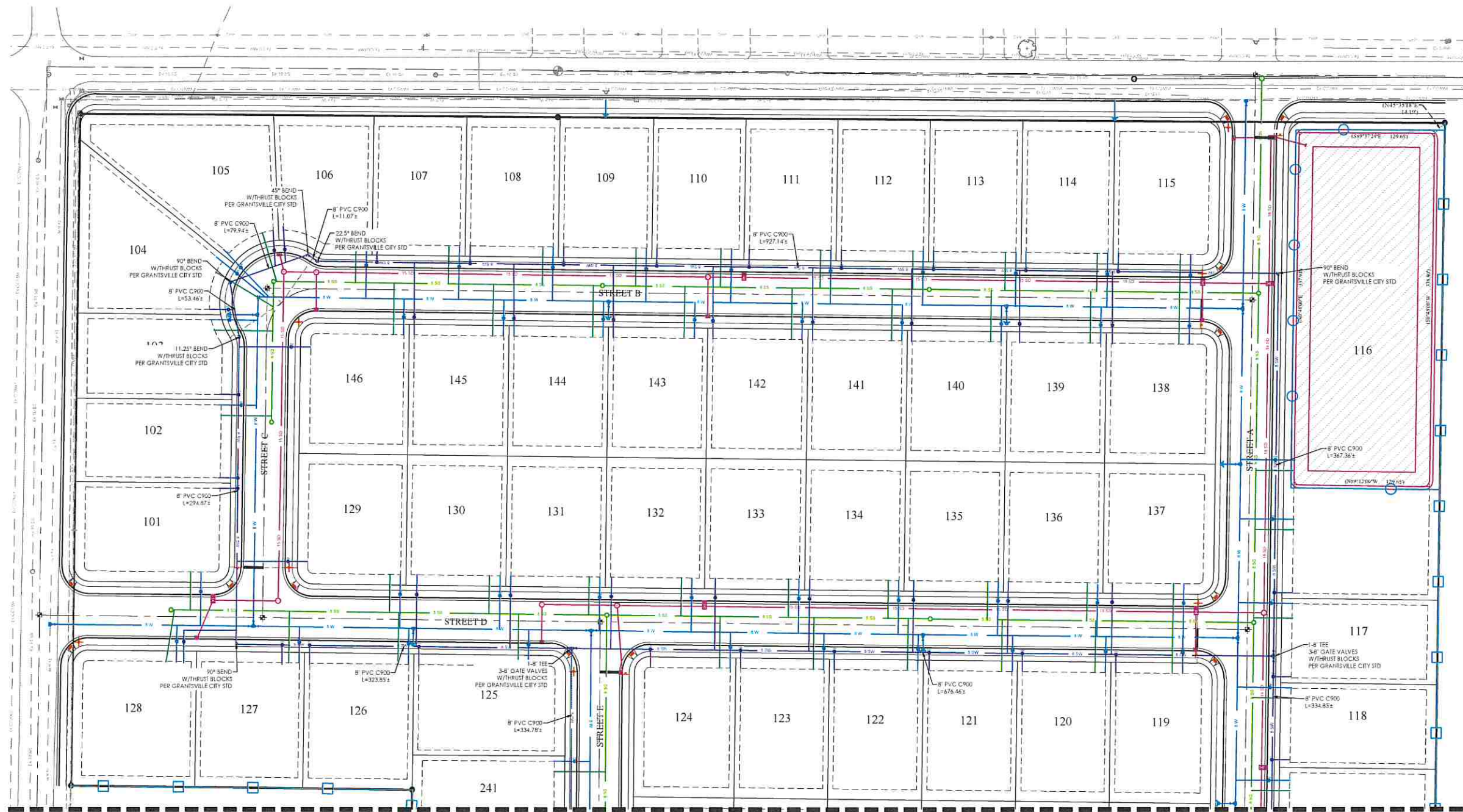
MATTHEWS MEADOWS SUBDIVISION
GRANTSVILLE
UTILITY PLAN

REVISION BLOCK	DATE	DESCRIPTION
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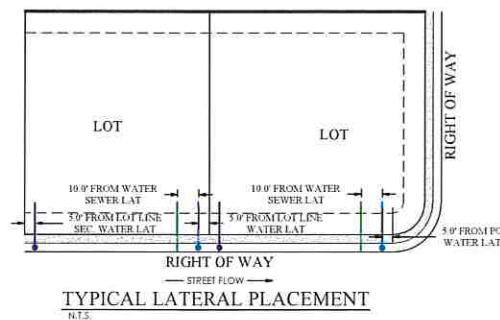
UTILITY PLAN

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Date:	03/24/23	Job #:	21-0377
Sheet:			

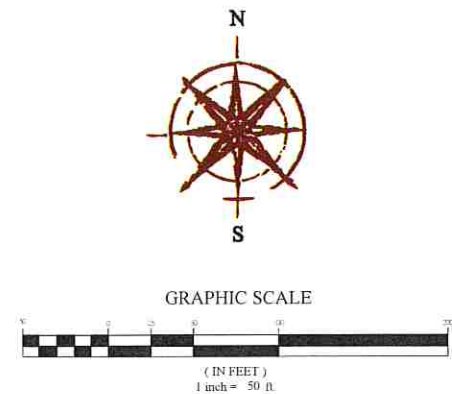




- LEGEND**
- BOUNDARY
 - ROW
 - CENTERLINE
 - LOT LINE
 - EASEMENT
 - 15\"/>
 - 8\"/>
 - 8\"/>
 - 8\"/>
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - EXIST STORM DRAIN
 - EXIST SANITARY SEWER
 - EXIST CULINARY WATER
 - EXIST FENCE
 - EXIST CONTOUR MAJOR
 - EXIST CONTOUR MINOR
 - SKIN
 - STREET LIGHT
 - SD MILE INLET, AND COMBO
 - SEWER MANHOLE
 - CULINARY VALVE, TEE & BEND
 - SECONDARY VALVE, TEE & BEND
 - WATER BLOW-OFF
 - FIRE HYDRANT
 - STREET MONUMENT (TO BE SET)
 - EXIST STREET MONUMENT
 - EXIST SD INLET & MHI
 - EXIST SEWER MHI
 - EXIST VALVE, TEE & BEND
 - EXIST FIRE HYDRANT
 - SPOT ELEVATION



MATCHLINE
SEE SHEET C6.2



FOR
REVIEW
ONLY

MATTHEWS MEADOWS SUBDIVISION
GRANTSVILLE
SECONDARY WATER PLAN

REVISION BLOCK	DATE	DESCRIPTION
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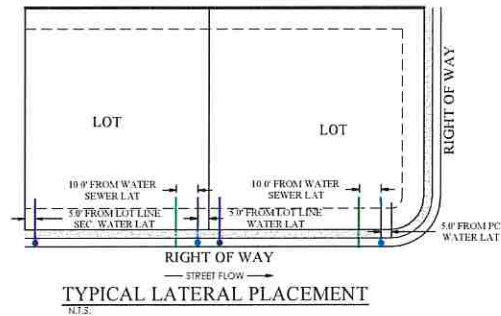
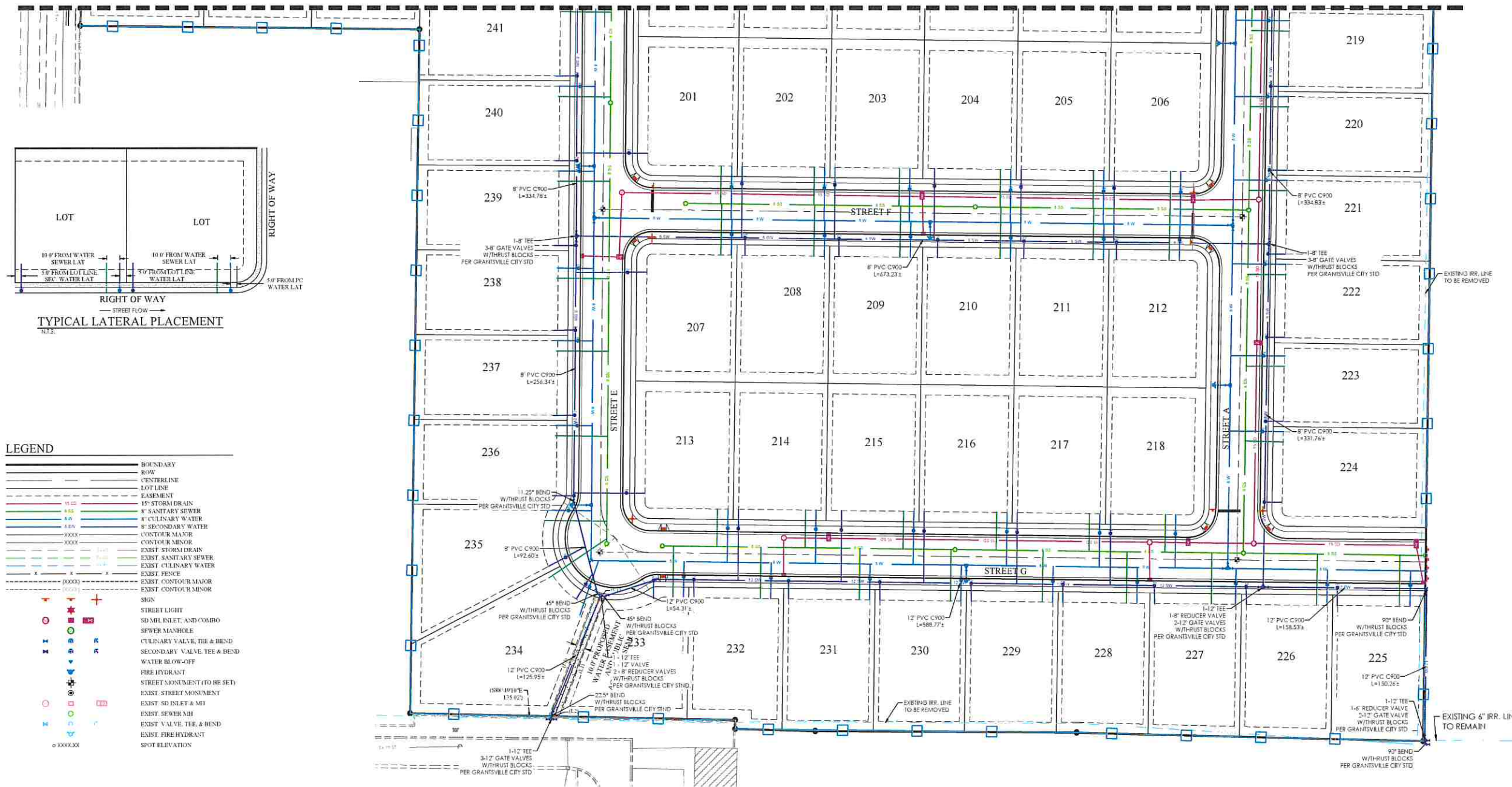
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WATER PLAN**

Scale: 1"=50'
Date: 03/24/22
Sheet: 21-0377



C7.1

MATCHLINE
SEE SHEET C6.1

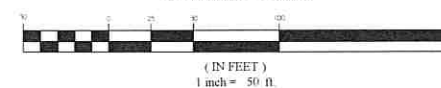


LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	15" STORM DRAIN
---	8" SANITARY SEWER
---	8" CULINARY WATER
---	8" SECONDARY WATER
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
---	SIGN
---	STREET LIGHT
---	SD INLET AND COMBO
---	SEWER MANHOLE
---	CULINARY VALVE, TEE & BEND
---	SECONDARY VALVE, TEE & BEND
---	WATER BLOW-OFF
---	FIRE HYDRANT
---	STREET MONUMENT (TO BE SET)
---	EXIST. STREET MONUMENT
---	EXIST. SD INLET & MH
---	EXIST. SEWER MH
---	EXIST. VALVE, TEE, & BEND
---	EXIST. FIRE HYDRANT
---	SPOT ELEVATION



GRAPHIC SCALE



FOR REVIEW
ONLY

MATTHEWS MEADOWS SUBDIVISION
GRANTSVILLE
SECONDARY WATER PLAN

REVISION BLOCK	DATE	DESCRIPTION
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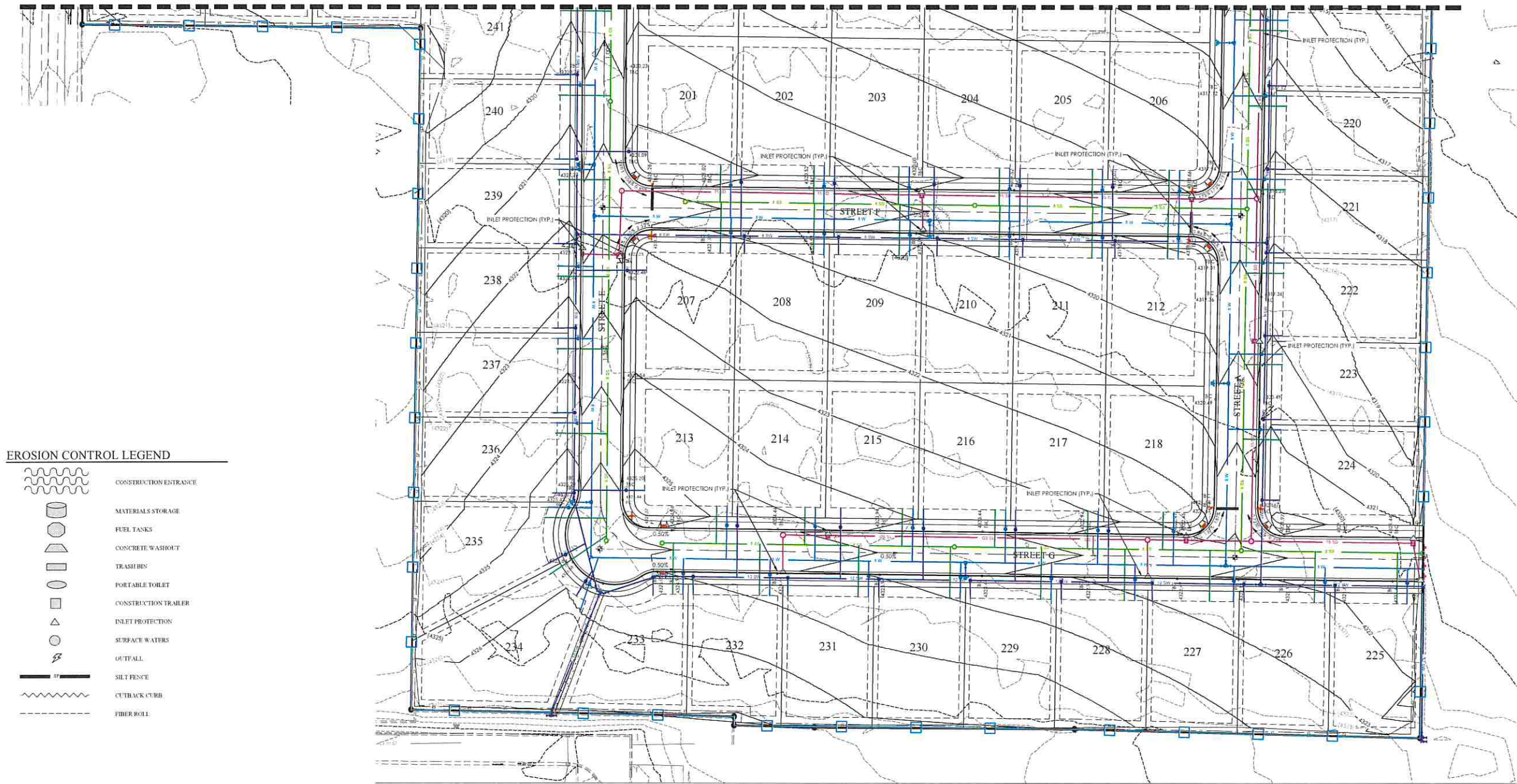
SECONDARY
WATER PLAN

Scale:	1"=50'	Drawn:	MC
Date:	03/24/22	Job #:	21-0377
Sheet:			

C7.2



MATCHLINE
SEE SHEET C7.1

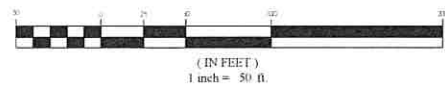


EROSION CONTROL LEGEND

- CONSTRUCTION ENTRANCE
- MATERIALS STORAGE
- FUEL TANKS
- CONCRETE WASHOUT
- TRASH BIN
- PORTABLE TOILET
- CONSTRUCTION TRAILER
- INLET PROTECTION
- SURFACE WATERS
- OUTFALL
- SILT FENCE
- CUTBACK CURB
- FIBER ROLL



GRAPHIC SCALE



FOCUS
ENGINEERING AND SURVEYING, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047 PH: (801) 352-0075
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MATTHEWS MEADOWS SUBDIVISION
GRANTSVILLE
EROSION CONTROL

REVISION BLOCK	
#	DESCRIPTION
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EROSION CONTROL

Scale: 1"=50'	Drawn: MC
Date: 03/24/22	Job #: 21-0377
Sheet:	

C8.2

DISCUSSION ITEM #4 AND PUBLIC HEARING AGENDA ITEM #D

Preliminary Plan for Grantsville New Team, LLC. on the Cowboy Estates Subdivision located approximately at 416 South Willow Street for the creation of nineteen (19) ½ acre lots in the R-1-21 zone.

**GRANTSVILLE CITY
ZONING DEPARTMENT**

429 EAST MAIN STREET
GRANTSVILLE, UTAH 84029
PHONE (435) 884-3411
FAX (435) 884-0426

Preliminary Plan:
\$750.00 Zoning Fees
+ \$100.00 per Lot
(ALL FEES ARE SUBJECT TO CHANGE
AND ARE NON-REFUNDABLE)

PRELIMINARY PLAN APPLICATION

Date of Application 12-16-2021

Property Location 416 Willow

Property Owner(s) Grantsville New Team LLC

Owner Phone _____

Acting Agent Name Shawn Holste

Acting Agent Phone _____

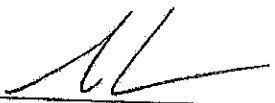
Email Address Shawn.Holste@mc.cen

Subdivision Name Cowboy Estates

Number of Acres in Subdivision 11.11

Total Number Lots 19 Lot Sizes 21780

Current Zoning of Property R1-Z1 Parcel Number 01-072-0-0058



Signature of Owner or Agent

**JERRY M. HOUGHTON
TOOELE COUNTY RECORDER**

47 SOUTH MAIN STREET, Room 213
TOOELE, UTAH 84074
OFFICE (435) 843-3180
FAX (435) 843-3273

December 9, 2021

SUBJECT: Approval of Subdivision Name:

ADDRESSED TO Tooele County/Tooele City/Grantsville City /Rush Valley

Name/Developer/Point of Contact:

Phone/E-mail:

The Tooele County Recorder has approved the proposed subdivision name of:

(Please include P.U.D, Condominium, Townhomes, or Subdivision in name)

- Cowboy Estates Subdivision

The approved name is acceptable, with no other derivative thereof.

JERRY M. HOUGHTON
Tooele County Recorder

By Deputy: _____

Rylisha Ullin

Date: 12/9/21

***This name approval will be voided if an active application has not been submitted to our office within 6 months from the date the name was approved.**

INTENT TO SERVE FORM

Grantsville New Town LLC
Name of Owner

Shawn Haste
Name of Agent or Representative

12-2-2021
Date Approving Agency Signed

416 Willow St
Property Address or Location

18
Number of Lots Proposed

[Signature]
Signature of Owner or Agent

GRANTSVILLE CITY POST OFFICE

Conditions, Restrictions, or Comments:

mail delivered to cell provided
installed by developer / builder

12/3/2021
DATE SIGNED

Chen Zhai
AUTHORIZED SIGNATURE FOR AGENCY

INTENT TO SERVE FORM

Grantsville New Town LLC
Name of Owner

Shawn Holste
Name of Agent or Representative

12-2-2021
Date Approving Agency Signed

416 Willow St
Property Address or Location

18
Number of Lots Proposed

[Signature]
Signature of Owner or Agent

Name of Approving Agency Grantsville Fire Dept

(Please indicate approval status)

FIRE DEPT.

X

APPROVED

DISAPPROVED

Conditions, Restrictions, or Comments: _____

Expiration Date of Approval _____

12/5/21
DATE SIGNED

[Signature]
AUTHORIZED SIGNATURE FOR AGENCY

INTENT TO SERVE FORM

Grantsville New Team LLC
Name of Owner

Shawn Holste
Name of Agent or Representative

12-2-2021
Date Approving Agency Signed

416 W. How St
Property Address or Location

18
Number of Lots Proposed

[Signature]
Signature of Owner or Agent

Name of Approving Agency _____

(Please indicate approval status)

IRRIGATION CO.

X

APPROVED

DISAPPROVED

Conditions, Restrictions, or Comments:

All main lines must be upgraded to C900. Grantsville Irrigation will relocate and/or upgrade at
developer's cost unless otherwise specified. Bodee Paulick [435-496-3349](tel:435-496-3349)

Expiration Date of Approval 12/3/2022

12/3/2021
DATE SIGNED

[Signature]
AUTHORIZED SIGNATURE FOR AGENCY



INTENT TO SERVE FORM

Date: _____

Name of Owner:	Grantsville New Team LLC
Name of Agent or Representative:	Shawn Holste
Property Address or Location (Attach Map):	416 Willow St
Assessor's Parcel Number:	9-072-0-0010
Proposed Lots/ERC's:	18
Signature of Owner or Agent:	

Approving Agency: Grantsville City Public Works Department

This Intent to Serve form is part of the water, sewer, and roads connection process. Please note, Grantsville City will provide water, sewer, and street connection services to a residential or commercial building project **provided** there is sufficient ability to serve, if fees are paid on time, and if all steps are completed in accordance with City, State, and Federal regulations. Utility modeling must be submitted to determine the impacts to the City's systems. Traffic impacts and any environmental impacts must also be considered and summarized for review. Intent to Serve approvals issued will be honored for a period of one calendar year from the date signed by an authorized signor for Grantsville City.

All excavations are required to meet Grantsville City specifications for back fill materials and compaction. Excavations will be inspected by Grantsville City prior to and during backfill operations.

Any approval rendered under this permit does not imply approval to cross any private property or right-of-way and pertains to Grantsville City rights-of-ways and/or easements. Approval under this application is in accordance with all laws and ordinances of the State of Utah and Grantsville City.

Applicant is responsible for determining ownership of right-of-ways and easements.

Utility	Approved	Disapproved
Water	X	
Sewer	X	
Roads	X	

Additional comments:

X
James Walz
Public Works Director, Grantsville City

X 12/3/21
Date Signed

INTENT TO SERVE FORM

Grantville New Team LLC
Name of Owner

Shawn Holste
Name of Agent or Representative

12-2-2021
Date Approving Agency Signed

416 Willow St
Property Address or Location

18
Number of Lots Proposed

[Signature]
Signature of Owner or Agent

Name of Approving Agency Rocky Mountain Power

(Please indicate approval status)

ELECTRIC COMPANY

X

APPROVED

DISAPPROVED

Conditions, Restrictions, or Comments: _____

Subject to the rules and tariffs on file with the Utah Public Service Commission

Expiration Date of Approval

12-3-21
DATE SIGNED

[Signature]
AUTHORIZED SIGNATURE FOR AGENCY



12/13/2021

To Whom It May Concern:

Re: Natural Gas Service Availability

Project: 416 Willow St. Grantsville

Natural gas can be made available to serve this project when the following requirements are met:

1. Developer provides plat maps, drawings, construction schedules, average size of homes, units, and/or buildings that will be served by natural gas, and any and all other relevant information regarding commercial and residential uses, including but not limited to, proposed natural gas appliances (number and type of appliances per unit, home, building), and provide minimum utility clearances and setbacks.
2. Review and analysis by Dominion Energy Engineering and/or Preconstruction Department to determine load requirements, system reinforcement requirements and estimated costs to bring natural gas to the development.

Upon completion of Dominion Energy review of the developments natural gas requirements, agreements will be prepared, as necessary, for high pressure, intermediate high pressure and/or service line extensions required to serve the development. These service extensions must be paid in advance, but may qualify for credits or refunds, as provided in Dominion Energy tariff.

To accommodate your construction schedule and provide cost estimates to you, please contact me at your earliest convenience.

Please note: Gas Main location needs to be a minimum of 10' away from structure and 3' from other utilities. It is the customer's responsibility to provide adequate clearances.

Sincerely,


Tony Stephens
Pre-Construction Rep



December 9, 2021

To whom it may Concern,

This letter is to verify that Comcast service is available to 416 Willow Street Grantsville, UT Comcast will generally provide all materials and labor to provide broadband services from the property line to the point of service, in a trench provided by the property owner.

The cost of installation, construction and provision of cable service will be part of the contract negotiations with the Owner of the Property or a designated representative. **This letter is not to be considered a contract or guarantee of service.** Furthermore, all permits, licenses and rights of access must be provided by the Owner prior to any provision of services.

Please be advised that we require a minimum of 90 days for project approvals and construction after we receive a signed contract. If this is a private development.

Please contact Elysia Valdez at 801-401-3017 or JointTrench.Utah@comcast.com before opening utility trenches.

We look forward to working with you on this Project; please feel free to contact me with any questions or concerns.

Sincerely,

Chad Noble

Chad Noble
Comcast Cable
chad_noble@Cable.Comcast.com
801 401-2609 office
9602 S 300 W
Sandy, Utah 84070

To: Grantsville City

From: Jason Watson, PE, PTOE

FOCUS Engineering & Surveying, LLC

File: Cowboy Estates

Date: December 15, 2021

Reference: Cowboy Estates Trip Generation Study

INTRODUCTION

FOCUS Engineering and Surveying, LLC (FOCUS) has been retained to complete a Trip Generation Statement for the proposed Cowboy Estates Development. This development is located along Pear Street and Willow Street in Grantsville, Utah. The purpose of this Trip Generation Statement is to project the number of vehicles that will be entering and exiting the proposed site onto the existing roadways during a typical AM and PM peak hour. The Cowboy Estates Development will consist of 19 single-family lots. 6 of the lots will access onto Pear Street and the remaining 13 lots will access onto Willow Street. Exhibit 1 illustrates the vicinity map of the proposed site.

Exhibit 1 – Project Vicinity Map



EXISTING CONDITIONS

Surrounding Land Uses

The proposed Cowboy Estates Development is located on the southwest corner of Pear Street and Willow Street, across from Willow Elementary School. The proposed site is bound by agricultural lane to the west and south, Willow Street to the east, and Pear Street to the north. The proposed site currently consists of agricultural land. A mix of agricultural land and residential homes surround the proposed project along with the Elementary School.

Roadways

Durfee Street: Durfee Street is an east/west roadway that runs through Grantsville servicing the residential communities. Durfee Street connects to SR-112 to the east and ends at West Street to the west. Durfee Street consists of one lane in each direction with primarily stop controlled intersections along the corridor. Durfee Street has a posted speed limit of 30 mph.

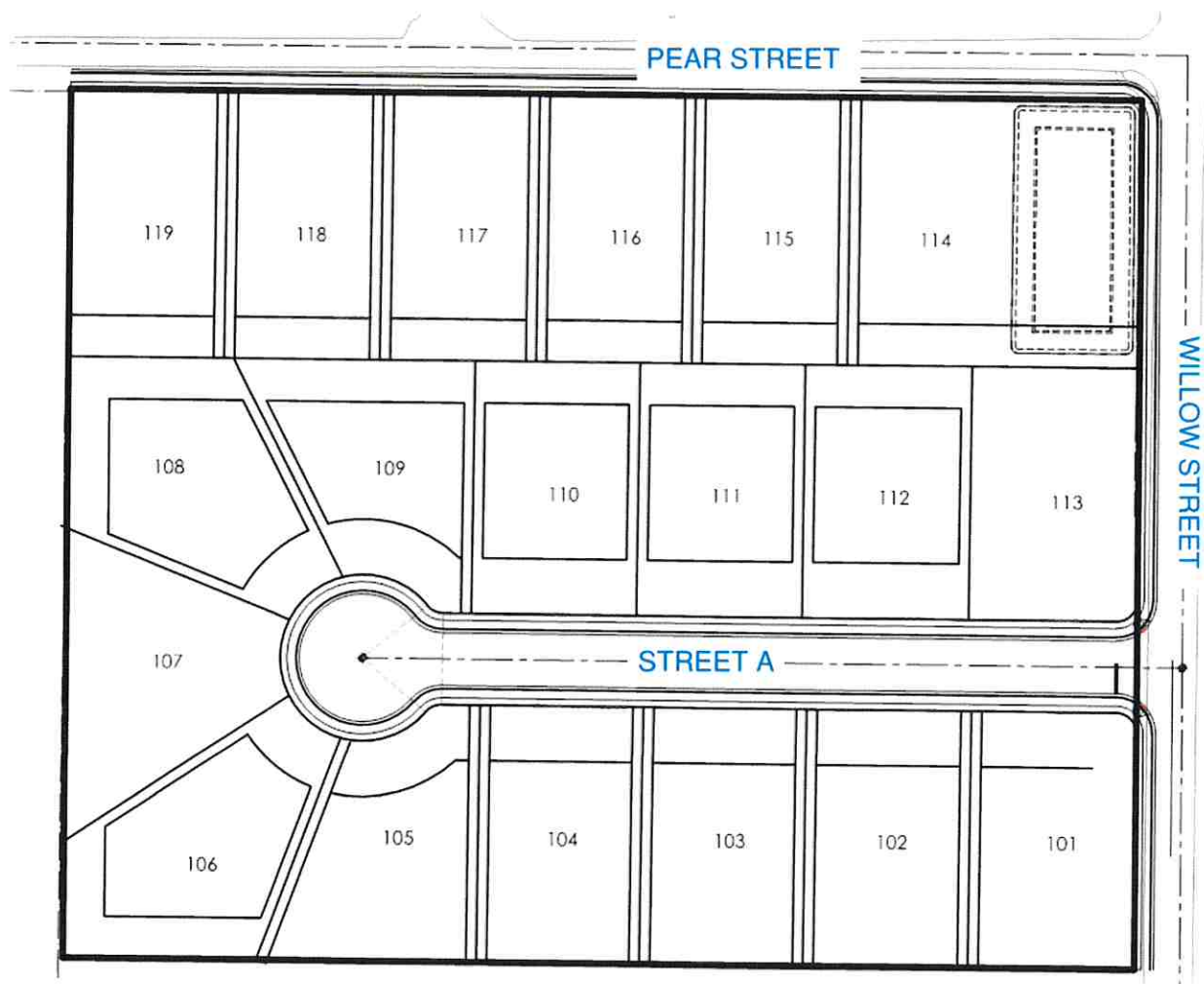
Willow Street: Willow Street is a north/south roadway that borders the Cowboy Estates Development to the east. Willow Street extend north and connects to SR-138 (Main Street). To the south Willow Street extends to the South Willow Estates Development. Willow Street consists of one lane in each direction and has a posted speed limit of 30 mph.

Pear Street: Pear Street runs east and west along the north frontage of Cowboy Estates. Pear Street is a minor roadway that consists of one lane in each direction. Pear Street is not a continuous roadway. In this area of Grantsville, Pear Street only connects between Quirk Street and Willow Street. As developments occur, future plans will construct Pear Street making it a more complete roadway providing east/west connectivity. The posted speed limit along Pear Street is 25 mph.

PROPOSED SITE CONDITIONS

The proposed Cowboy Estates Development will consist of 19 single-family lots. There are 13 lots located in the cul-de-sac and the remaining 6 lots will individually access onto Pear Street. This access to the cul-de-sac is located to the east onto Willow Street. The cul-de-sac access to the site will function with full turning movements for left and right turns into and out of the development. The access will be constructed with one ingress lane and one egress lane. Refer to Exhibit 2 for the proposed site layout of the proposed development and the location of the proposed access onto Willow Street.

Exhibit 2 – Site Plan and layout for Cowboy Estates Development



TRIP GENERATION

To generate the anticipated number of vehicles entering and exiting the proposed site, the Institute of Transportation Engineer's (ITE) Trip Generation Manual is used. For single-family residential lots, the land use code 210 – Single-Family Detached Housing was used to generate the number of trips entering and exiting the development. Table 1 illustrates the number of trips the Cowboy Estates Development is anticipated to generate.

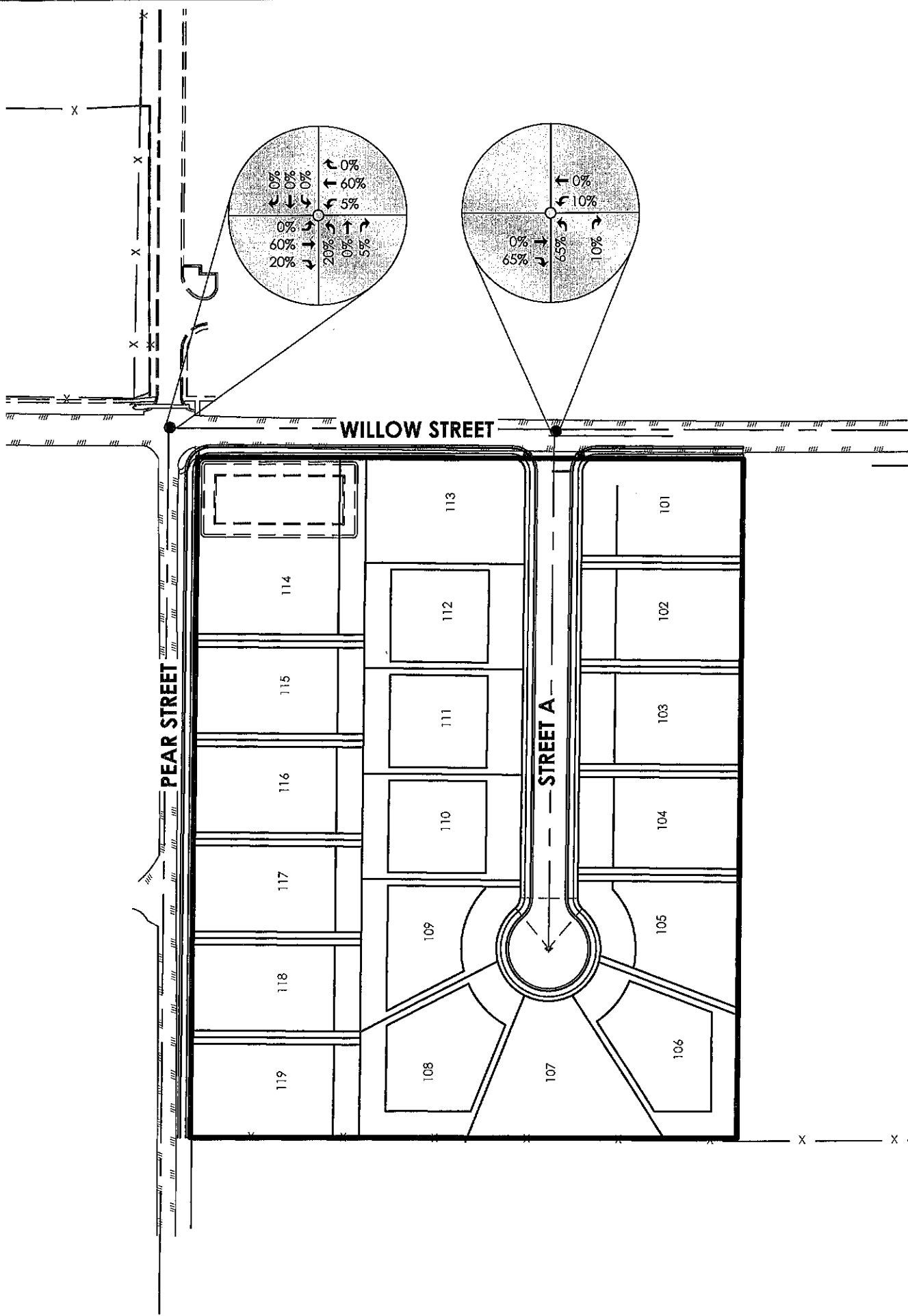
Table 1 – Trip Generation for Cowboy Estates

ITE Land Use Code	Land Use Description	Size	Daily (AADT)	Trip Generation (AM)		Trip Generation (PM)	
				Enter	Exit	Enter	Exit
210	Single-Family	19 DU	179	4	10	12	7

As can be seen in Table 1, the Cowboy Estates Development will generate approximately 179 daily trips, with 14 trips occurring in the AM peak hour (4 entering, 10 exiting) and 19 trips occurring in the PM peak hour (12 entering, 7 exiting).

Based on the location of the Cowboy Estates Development and in relation to the surrounding shopping, schools, employment and roadways, the anticipated distribution percentages were determined. As seen from Exhibit 2, there are 6 lots that will front onto Pear Street and the remaining 13 lots will enter and exit onto Willow Street at the proposed access. Exhibit 3 illustrates the percentage of the overall traffic and what direction they will exit and enter the proposed development. It is assumed 80% of the traffic will travel north to access SR-138 either by Willow Street or use Durfee Street to access SR-112. The remaining 20% will travel south along Willow Street or travel west along Durfee Street.

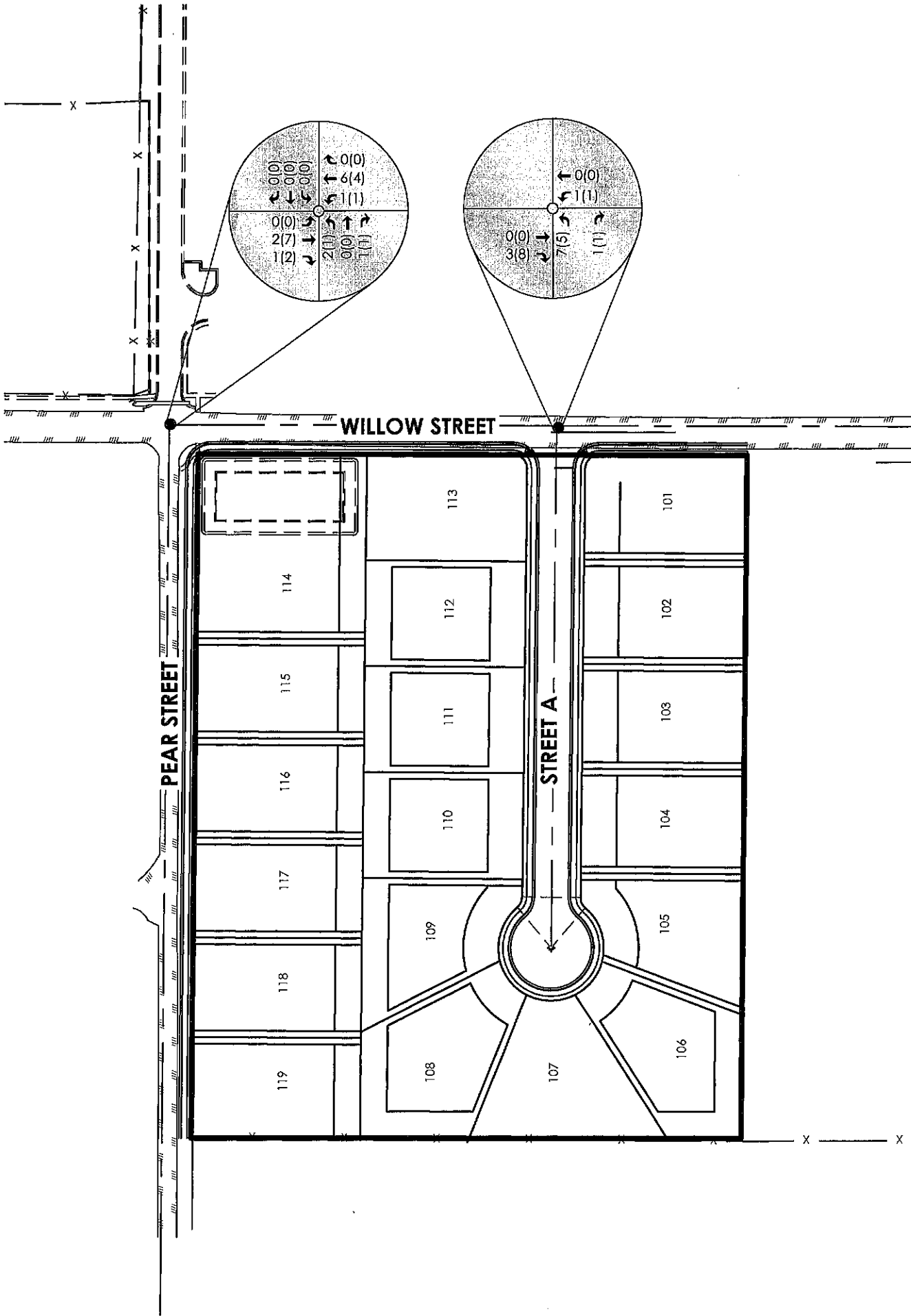
Exhibit 4 illustrates the traffic generated by the Cowboy Estates Development and how they are anticipated to access the site using the proposed access onto Willow Street and Pear Street. These traffic volumes were calculated using the volumes in Table 1 and the percentages as illustrated in Exhibit 3. Since the 19 single-family homes within this development will generate a minimal amount of traffic onto the surrounding roadways and the existing traffic volumes along the surrounding roadways are also minimal, very little delay will be experienced at the surrounding intersections. With this development adjacent to the Willow Elementary School, there is a peak 15 to 20 minutes when students are getting dropped off in the morning and picked up in the afternoon when Willow Street's traffic will experience a higher volume. However, the peak times for an elementary school typically falls outside the peak times for a single-family development. Therefore, it is not anticipated the peak times between the school and Cowboy Estates will conflict.



COWBOY ESTATES

EXHIBIT 3 - PROJECT DISTRIBUTION PERCENTAGES

XX% = PERCENT DISTRIBUTION



COWBOY ESTATES

EXHIBIT 4 - PROJECT GENERATED TRAFFIC VOLUMES

XX(XX) = AM(PM) TRAFFIC VOLUMES

CONCLUSION

Based on the provided site plan, the Cowboy Estates Development will consist of 19 single-family lots, 6 lots will front onto Pear Street and 13 are within a cul-de-sac that will access onto Willow Street. It is anticipated 179 average daily trips will be generated on a typical weekday, generating 14 total vehicles during the AM peak hour and 19 trips in the PM peak hour. Vehicles accessing the Cowboy Estates Development will use the proposed access onto Willow Street and also access onto Pear Street. The access onto Willow Street is proposed to include a single ingress lane and a single egress lane that will safely move vehicle to and from the site.

With minimal traffic being generated by the development during a typical weekday peak hour, the project access will function with minimal delays for vehicles entering and exiting the proposed site. The surrounding roadways and intersections will also continue to function similar to how they function today. It is recommended the proposed cul-de-sac access onto Willow Street be constructed to meet city standards with the appropriate pavement width to allow for one lane entering and one lane exiting. No additional improvements will be needed along the surrounding roadways or intersections with the addition of the Cowboy Estates Development.

Please feel free to contact me with any questions or comments.

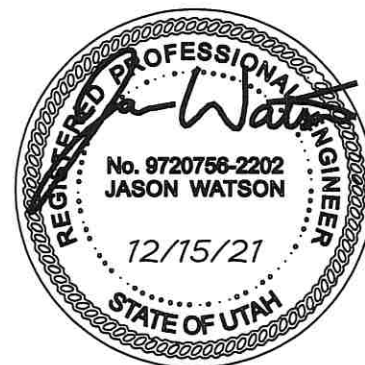
Sincerely,

FOCUS ENGINEERING & SURVEYING, LLC



Jason Watson, PE, PTOE
Transportation Department Manager
801.352.0075

jwatson@focusutah.com



Updated
3/28/22

APPLICATION FOR A PRELIMINARY PLAN CONSIDERATION BY GRANTSVILLE CITY PLANNING COMMISSION

An application has been received in our office for consideration of a Preliminary Plan approval for:

Grantsville New Team, LLC. on the Cowboy Estates Subdivision located approximately at 416 South Willow Street for the creation of nineteen (19) ½ acre lots in the R-1-21 zone.

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A discussion and public hearing to receive public input on the proposed project will be held on April 7, 2022. The Planning Commission will make a recommendation to the City Council on April 21, 2022. All meetings will be held in person and through Zoom on:

Thursday, April 7, 2022 at 7:00 p.m.

You are invited to view the application and proposed plans by emailing me at kclark@grantsvilleut.gov.

If you choose to attend, please wear a face covering. Comments through email or by mail must be received no later than 5:00 p.m. on April 7, 2022. For more information, please call me at 435-884-4604 or email me.

For more information, please email me at kclark@grantsvilleut.gov.

Thank you,

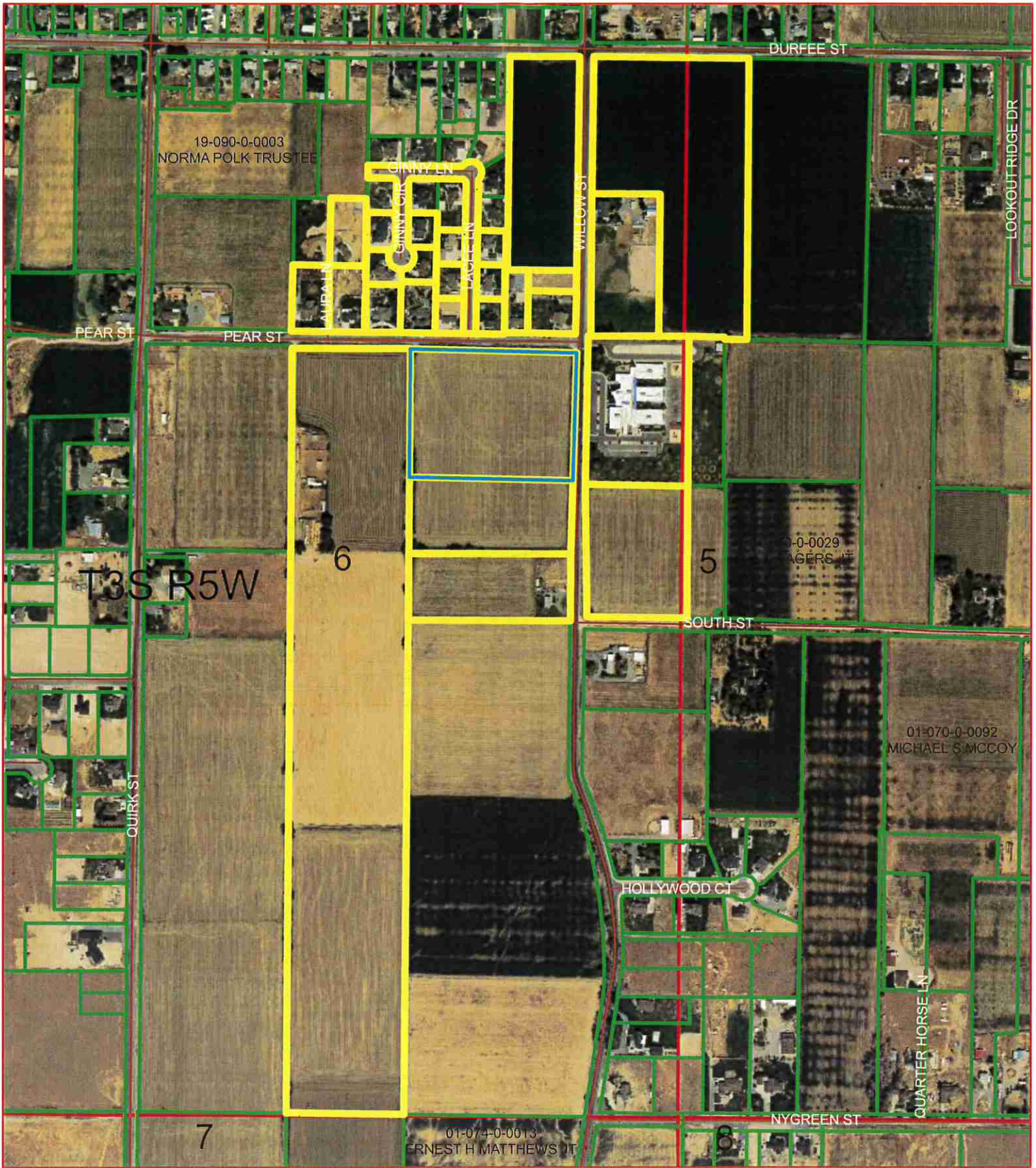

Kristy Clark
Zoning Administrator

Join Zoom Meeting
<https://us02web.zoom.us/j/84177815725>

Meeting ID: 841 7781 5725
One tap mobile
+16699009128,84177815725# US (San Jose)
+12532158782,84177815725# US (Tacoma)

Dial by your location
+1 669 900 9128 US (San Jose)
+1 253 215 8782 US (Tacoma)
+1 346 248 7799 US (Houston)
+1 646 558 8656 US (New York)
+1 301 715 8592 US (Washington DC)
+1 312 626 6799 US (Chicago)

Find your local number:
<https://us02web.zoom.us/j/84177815725>

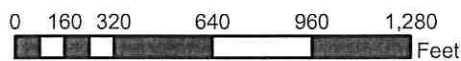


GIS Map Disclaimer:



This is not an official map but for reference use only. The data was compiled from the best sources available, but various errors from the sources may be inherent on the map. All boundaries and features therein should be treated as such. For boundary information, the pertinent County Departments or Municipalities should be contacted. This map is a representation of ground features and is not a legal document of their locations. The scale represented is approximate, so this is NOT a Survey or Engineering grade map and should by no means be used as such. This map is not intended for all uses. Tooele County is not responsible or liable for any derivative or misuse of this map.

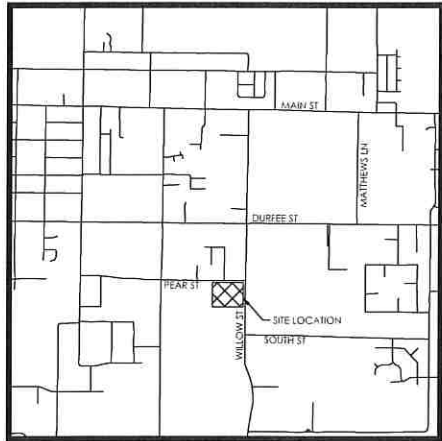
Shawn Holsle
01-072-0-0058



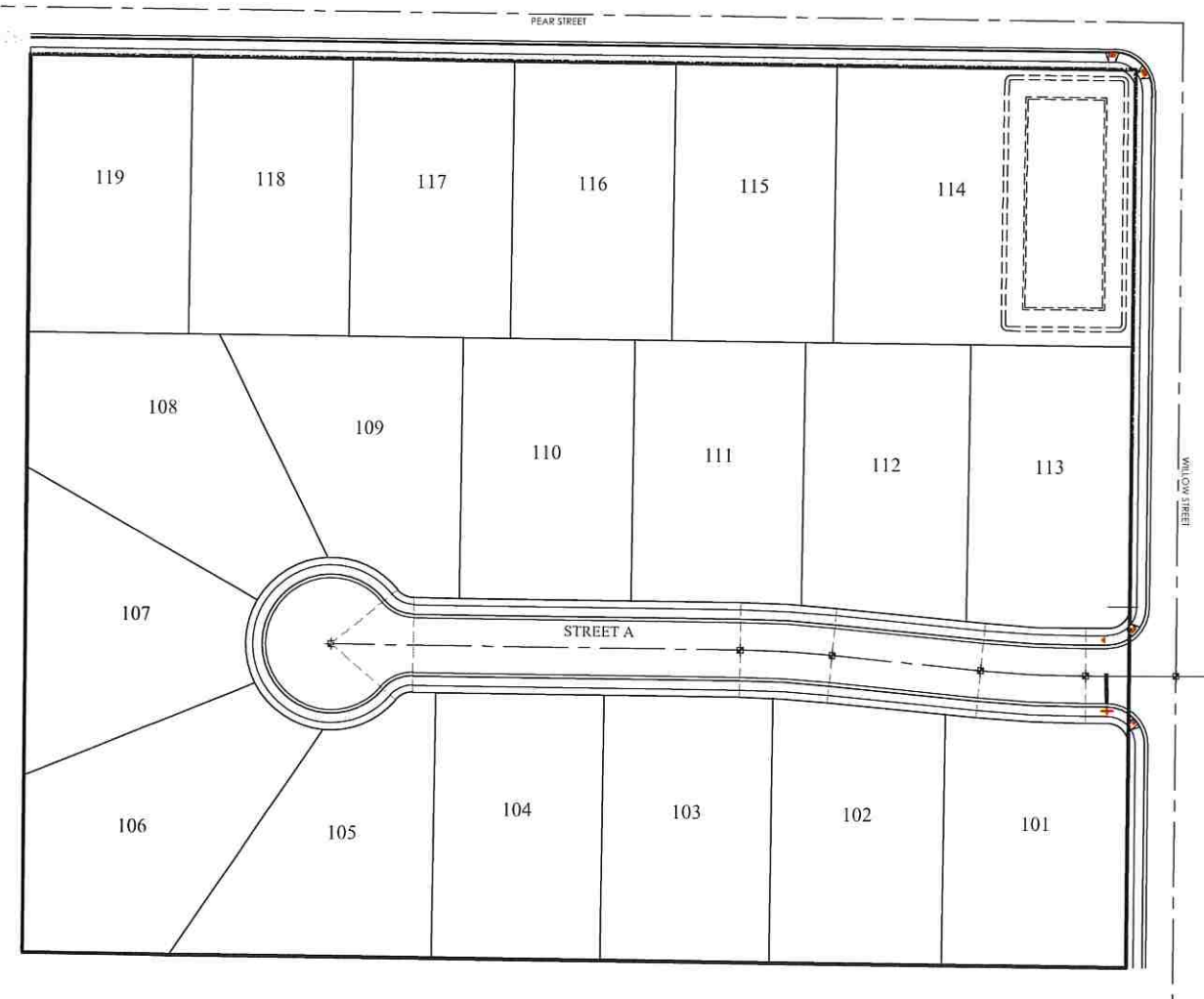
Date: 12/16/2021
blanca.rodriguez

COWBOY ESTATES SUBDIVISION

PRELIMINARY PLANS
PREPARED FOR:
GRANTSVILLE'S NEW TEAM LLC
LOCATED IN:
GRANTSVILLE



VICINITY MAP
NTS



SITE MAP

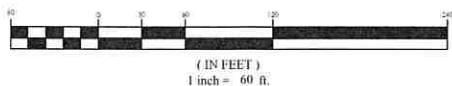
Sheet List Table	
Sheet Number	Sheet Title
C1	COVER SHEET
C2	PRELIM PLAT
C3	SITE ANALYSIS
C4	SITE PLAN
C4.1	FIRE HYDRANT SPACING PLAN
C5	GRADING & DRAINAGE PLAN
C6	UTILITY PLAN
C7	EROSION CONTROL PLAN
C8	TRAFFIC CONTROL PLAN
C9	LOT FIT PLAN

BENCHMARK

NORTHEAST CORNER OF SECTION 05
TOWNSHIP 05 SOUTH, RANGE 05 WEST
SALT LAKE BASE AND MERIDIAN
ELEV: 4399.08'
DATUM: NAD83



GRAPHIC SCALE



GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO GRANTSVILLE CITY AND APWA STANDARD PLANS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.
- THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANT THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

CONTACTS

ENGINEER & SURVEYOR
FOCUS ENGINEERING & SURVEYING, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047
(801) 352-0075
PROJECT MANAGER: RYAN HOPKINS
SURVEY MANAGER: EVAN WOOD

OWNER/DEVELOPER
GRANTSVILLE'S NEW TEAM LLC
1676 PROGRESS WAY
TOOELE, UTAH 84074
(801) 301-8591
CONTACT: SHAWN HOLSTE



FOR
REVIEW
ONLY

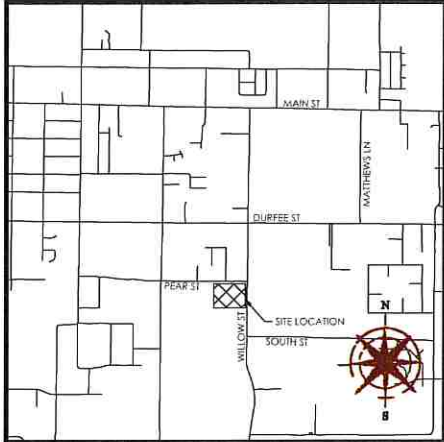
COWBOY ESTATES SUBDIVISION
GRANTSVILLE
COVER SHEET

REVISION BLOCK	
NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	

COVER SHEET

Scale: 1"=60' Drawn: MEC
Date: 03/21/2022 Job #: 21-0512
Sheet:

C1



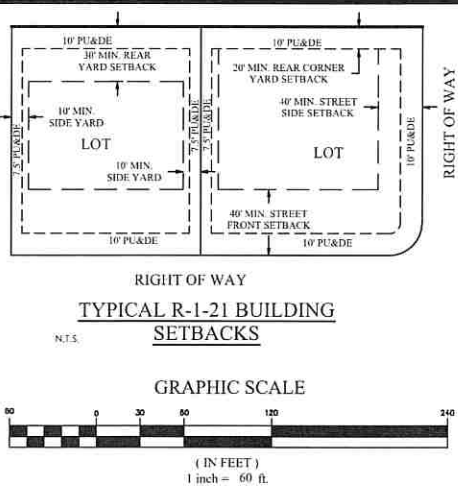
VICINITY MAP
N.T.S.

LEGEND

- BOUNDARY
- SECTION LINE
- EASEMENT
- RIGHT-OF-WAY LINE
- CENTERLINE
- BUILDING SETBACK
- EXISTING PROPERTY LINE
- SECTION MONUMENT (NOT FOUND)
- WITNESS CORNER (FOUND)
- BOUNDARY MARKERS
- STREET MONUMENT (TO BE SET)
- MONUMENT TO MONUMENT
- MONUMENT TO BOUNDARY
- PRIVATE DRAINAGE AREA

- NOTES
- 45 X 24" REBAR & CAP (FOCUS ENG) TO BE SET AT ALL LOT CORNERS. NAILS OR PLUGS TO BE SET IN TOP BACK OF CURB AT EXTENSION OF SIDE LOT LINES, IN LIEU OF REBAR AND CAPS AT FRONT LOT CORNERS.
 - LOTS 107-114 PROPERTY OWNERS AGREE TO MAINTAIN THE RETENTION AREAS AS APPROVED BY THE CITY ENGINEER, AND CONSTRUCTED BY THE DEVELOPER/BUILDER, AND THAT THEY WILL NOT ALTER THE GRADING, NOR ALLOW ANY DRAINAGE TO DISCHARGE ON THE NEIGHBORING PROPERTIES, OR PUT ANY IMPERVIOUS SURFACES IN THE AREA SHOWN ON THE PLAT. THIS REQUIREMENT WILL RUN WITH THE PROPERTY AND APPLY TO ALL FUTURE PROPERTY OWNERS.
 - LOTS 101, 113, 114 SHALL ONLY HAVE ONE DRIVEWAY ACCESS. NO SECONDARY ACCESS WILL BE ALLOWED.

Tooele County Coordinate Table		
Point #	Northing	Easting
1	824340.3041	739891.1429
2	824360.9100	737252.9200
3	824622.7699	737253.1549
4	821977.4610	737250.7823
5	822944.1095	736709.1605
6	822318.8308	736704.9346
7	822327.2323	735932.0361
8	822952.4281	735934.8952



RIGHT OF WAY
TYPICAL R-1-21 BUILDING
SETBACKS
N.T.S.

GRAPHIC SCALE

(IN FEET)
1 inch = 60 ft.

COWBOY ESTATES SUBDIVISION

PRELIMINARY PLAT
LOCATED IN THE NE1/4 OF SECTION 6, T3S, R5W,
SALT LAKE BASE & MERIDIAN
GRANTSVILLE CITY, TOOELE COUNTY, UTAH



WITNESS CORNER TO THE
NORTHWEST CORNER OF
SECTION 5, T3S, R5W, SLB&M
FOUND 3" STANDARD ROUND
BRASS MONUMENT 1986
(LOCATED N89°50'03"W 492.39' FROM
CALCULATED NORTHWEST CORNER)

(DEPENDENT RESURVEY:
N89°49'23"E 492.53'
(PER HATHCOCK SURVEY)

NORTHWEST CORNER OF
SECTION 5, T3S, R5W, SLB&M
(CALCULATED POSITION)

N00°03'05"E 261.86'
(PER HATHCOCK SURVEY)
(DEPENDENT RESURVEY:
N00°01'41"E 262.72')
(HATHCOCK SURVEY: 2038.18')
BASIS OF BEARING: N89°33'09"W 2638.30' (MEASURED)

WITNESS CORNER TO THE
NORTHWEST CORNER OF
SECTION 5, T3S, R5W, SLB&M
FOUND 3" STANDARD ROUND
BRASS MONUMENT 2020

WITNESS CORNER TO THE
NORTH 1/4 CORNER OF
SECTION 5, T3S, R5W, SLB&M
FOUND 2.5" STANDARD ROUND
BRASS MONUMENT 2020

DOMINION ENERGY UTAH

QUESTAR GAS COMPANY dba DOMINION ENERGY UTAH, HEREBY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING PRESCRIPTIVE RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION OR THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY UTAH'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

QUESTAR GAS COMPANY
dba DOMINION ENERGY UTAH

APPROVED THIS _____ DAY OF _____ A.D. 20____

BY _____

TITLE _____

Curve Table				
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION
C5	15.00	77°32'13"	20.30	S51°13'54"W
C6	717.00	5°37'07"	70.31	N87°11'27"W
C7	783.00	1°49'28"	24.93	N85°17'37"W
C8	783.00	3°06'33"	42.49	N87°49'38"W
C9	15.00	50°12'29"	13.14	N64°12'40"W
C10	60.00	53°13'42"	55.74	N65°43'16"W
C11	60.00	57°17'45"	60.00	S59°01'01"W
C12	60.00	57°17'45"	60.00	S01°43'16"W
C13	60.00	57°50'34"	60.57	S55°50'54"E
C14	60.00	54°49'13"	57.34	N67°51'13"E
C15	15.00	50°12'29"	13.14	N65°34'51"E
C16	717.00	1°52'53"	23.54	S88°22'28"E
C17	717.00	3°03'08"	38.19	S85°42'27"E
C18	783.00	5°57'07"	76.78	S87°11'27"E
C19	15.00	90°23'14"	23.66	S44°48'23"E
C20	750.00	5°37'07"	73.55	N87°11'27"W
C21	750.00	4°56'01"	64.58	N86°50'54"W

Easement Curve Table				
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION
(C1)	5.00	90°00'00"	7.85	S45°36'56"W
(C2)	5.00	89°40'18"	7.83	N44°29'55"W
(C3)	5.00	90°00'00"	7.85	N45°23'14"E
(C4)	5.00	90°13'42"	7.87	S44°29'55"E

Line Table		
LINE	DIRECTION	LENGTH

DATE: 12/15/2021

SURVEYOR'S CERTIFICATE

I, Evan J. Wood, do hereby certify that I am a Professional Land Surveyor, and that I hold License No. 183395 in accordance with Title 58, Chapter 22 of the Professional Engineers and Land Surveyors Act; I further certify that by authority of the owners I have completed a survey of the property described on this subdivision plat in accordance with Section 17-23-17, have verified all measurements, and have subdivided said tract of land into lots, parcels, and streets, together with easements, to be hereafter known as COWBOY ESTATES SUBDIVISION, and the same has, or will be correctly surveyed and monumented on the ground as shown on this Plat, and that this Plat is true and correct.

EVAN J. WOOD
PROFESSIONAL LAND SURVEYOR
LICENSE NO. 183395

DATE _____

PRELIMINARY - FOR REVIEW ONLY

BOUNDARY DESCRIPTION

A parcel of land located in the Northeast Quarter of Section 6, Township 3 South, Range 5 West, Salt Lake Base and Meridian, being the Northerly eleven (11) acres, more or less of that parcel of land described in that certain Quit Claim Deed recorded December 31, 2008 as Entry No. 318381 in the office of the Tooele County Recorder, and is described by survey as follows:

Commencing at a point which lies South 2633.05 feet, South 89°32'01" West 830.42 feet to the Southwest corner of the Southeast Quarter of the Northeast Quarter of Section 6, Township 3 South, Range 5 West, Salt Lake Base and Meridian, (said point being determined from ancient fence lines), and North 00°16'30" East 345.70 feet from a Tooele County Surveyor brass witness monument in South Willow Street, intended to witness the unmarked location of the Northeast corner of said Section 6, which lies North 89°49'23" East 492.52 feet from said witness monument. (Basis of bearing for this description is North 89°49'23" East 2078.93 feet along the section line defined by Tooele County Surveyor brass witness monuments in Quirk and South Willow Streets); thence North 00°16'30" East 625.30 feet to intersect the Southerly right-of-way line of Pear Street, a 66-foot wide public street; thence along said Southerly right-of-way line, South 89°23'04" East 774.31 feet (recorde-South 89°00" East 11.38 chains = 790.68 feet) to intersect the Westerly right-of-way line of South Willow Street, a 66-foot wide public street; thence along said Westerly right-of-way line, South 00°23'14" West 625.293 feet; thence North 89°23'04" West 773.085 feet to the point of beginning.

Contains: 11.11 +/- Acres
119 Lots

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE OWNERS OF THE HEREOF DESCRIBED TRACT OF LAND AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, PARCELS AND STREETS TOGETHER WITH EASEMENTS AS SET FORTH HEREAFTER TO BE KNOWN AS

COWBOY ESTATES SUBDIVISION
SUBDIVISION

THE UNDERSIGNED OWNERS HEREBY DEDICATE TO GRANTSVILLE CITY ALL THOSE TRACTS OF LAND DESIGNATED ON THIS PLAT AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY TO GRANTSVILLE CITY AND TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY AND DRAINAGE EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR DRAINAGE AND THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY SERVICE LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY ANY OTHER EASEMENTS AS SHOWN AND/OR NOTED ON THIS PLAT TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN HEREON.

IN WITNESS WHEREOF _____ HAVE HEREUNTO SET

HAND THIS _____ DAY OF _____ A.D. 20____

LIMITED LIABILITY ACKNOWLEDGMENT

STATE OF UTAH
S.S.
COUNTY OF _____

ON THE _____ DAY OF _____ A.D. 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF _____, IN SAID STATE OF UTAH, _____, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE/SHE IS THE _____ OF _____ L.L.C., A UTAH L.L.C. AND THAT HE/SHE SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: _____ A NOTARY PUBLIC COMMISSIONED IN UTAH RESIDING IN _____ COUNTY

MY COMMISSION No. _____ PRINTED FULL NAME OF NOTARY _____

PREPARED FOR
GRANTSVILLE'S NEW TEAM LLC
1676 PROGRESS WAY
TOOELE, UTAH 84074
(801) 301-8591
CONTACT: SHAWN HOLSTE

PREPARED BY
FOCUS
ENGINEERING AND SURVEYING, LLC
AN AFFILIATE OF FOCUS
1000 S. 1000 E. SUITE 1000 P.O. BOX 1000
GRANTSVILLE, UTAH 84003

GRANTSVILLE CITY PUBLIC WORKS

APPROVED THIS _____ DAY OF _____ A.D. 20____
BY THE GRANTSVILLE CITY PUBLIC WORKS DEPARTMENT.

GRANTSVILLE CITY PUBLIC WORKS DIRECTOR _____

GRANTSVILLE CITY FIRE DEPARTMENT

APPROVED THIS _____ DAY OF _____ A.D. 20____
BY THE GRANTSVILLE CITY FIRE DEPARTMENT

GRANTSVILLE CITY FIRE DEPARTMENT _____

GRANTSVILLE CITY PLANNING COMMISSION

APPROVED THIS _____ DAY OF _____ A.D. 20____ BY THE GRANTSVILLE CITY PLANNING COMMISSION.

CHAIR, GRANTSVILLE CITY PLANNING COMMISSION _____

TOOELE COUNTY SURVEYOR

APPROVED THIS _____ DAY OF _____ A.D. 20____

TOOELE COUNTY SURVEY DIRECTOR _____

GRANTSVILLE CITY ENGINEER OR DESIGNEE

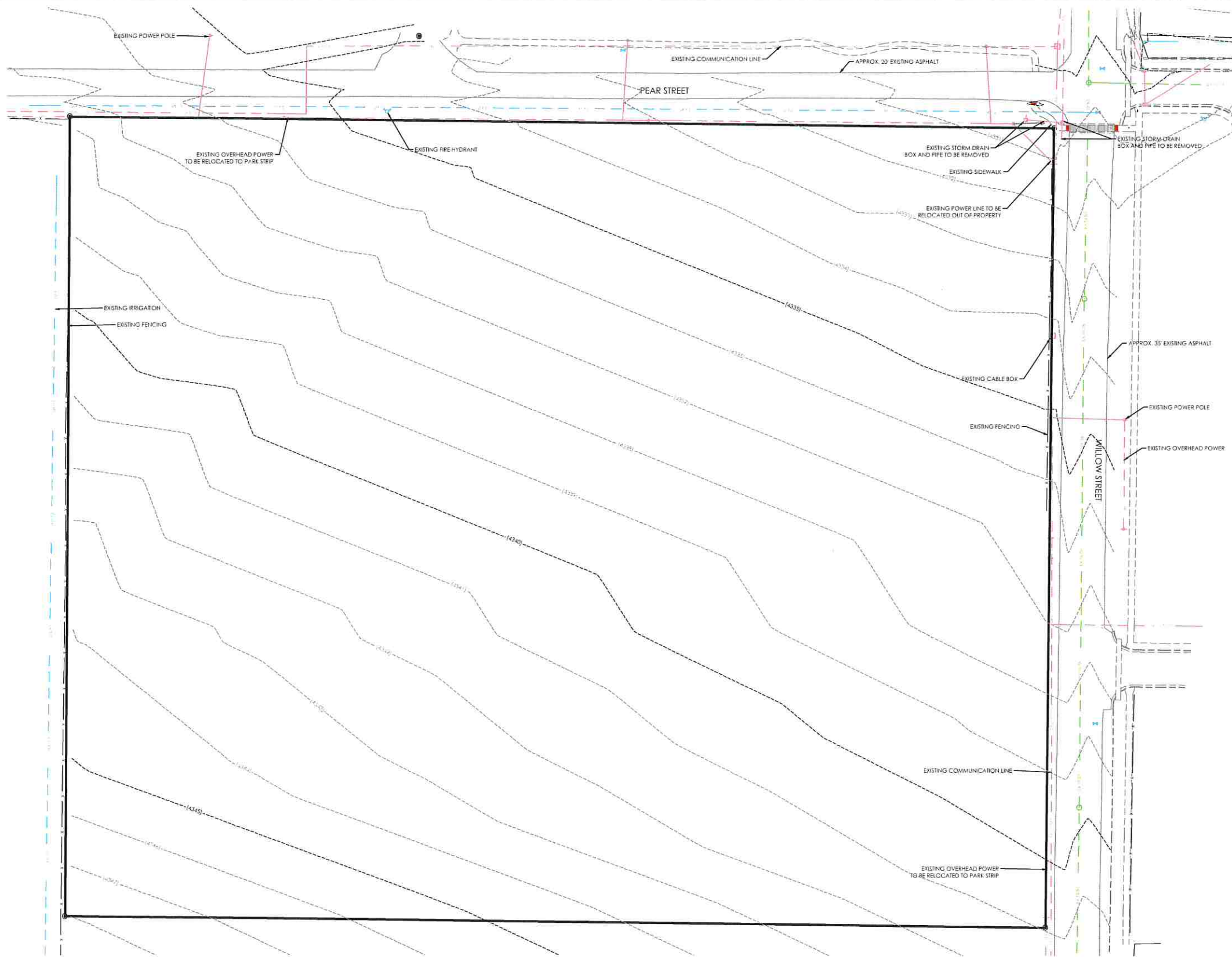
APPROVED THIS _____ DAY OF _____ A.D. 20____ BY THE GRANTSVILLE CITY ENGINEERING DEPARTMENT.

GRANTSVILLE CITY ENGINEER _____

COWBOY ESTATES SUBDIVISION
SUBDIVISION

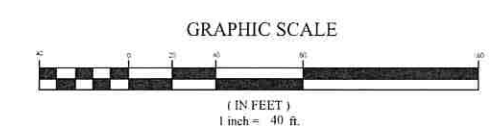
LOCATED IN THE NE1/4 OF SECTION 6, T3S, R5W,
SALT LAKE BASE & MERIDIAN
GRANTSVILLE CITY, TOOELE COUNTY, UTAH

PRELIMINARY - FOR REVIEW ONLY



LEGEND

- BOUNDARY LINE
- SECTION LINE
- EXIST. EASEMENT LINE
- EXIST. PROPERTY LINE
- EXIST. CONTOUR MAJOR
- EXIST. CONTOUR MINOR
- EXIST. STORM DRAIN
- EXIST. SANITARY SEWER
- EXIST. CULINARY WATER
- EXIST. IRRIGATION
- EXIST. COMMUNICATIONS
- EXIST. OVERHEAD POWER
- EXIST. UNDERGROUND POWER
- EXIST. FENCE
- EXIST. EDGE OF ASPHALT
- SECTION MONUMENT (FOUND)
- SECTION MONUMENT (NOT FOUND)
- WITNESS MONUMENT (FOUND)
- BOUNDARY MARKER
- EXIST. SD INLET MANHOLE & COMBO BOX
- EXIST. SEWER MANHOLE
- EXIST. WATER VALVE & WATER METER
- EXIST. FIRE HYDRANT
- EXIST. POWER POLE
- EXIST. ELECTRICAL BOX
- EXIST. COMMUNICATIONS BOX
- EXIST. SPOT ELEVATION
- TOOELE COUNTY PARCEL No.



FOCUS
ENGINEERING AND SURVEYING, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047 PH: (801) 352-0075
www.focusutah.com

FOR REVIEW ONLY

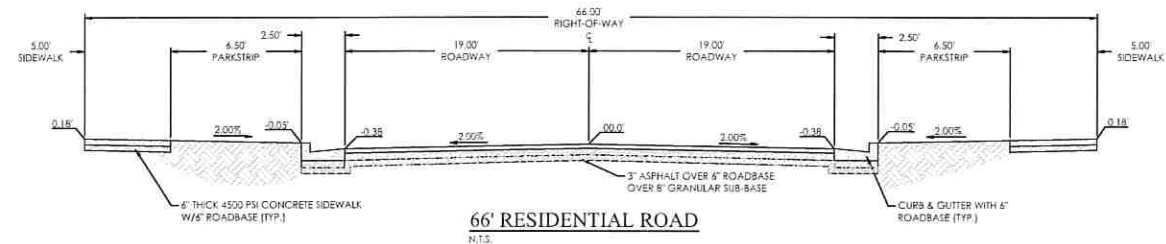
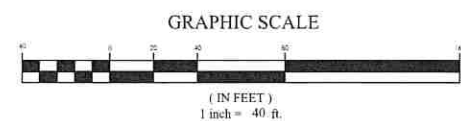
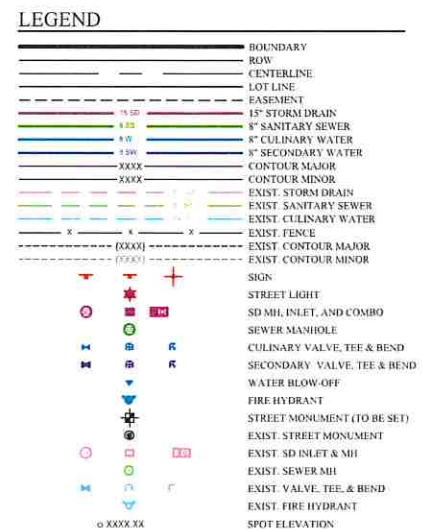
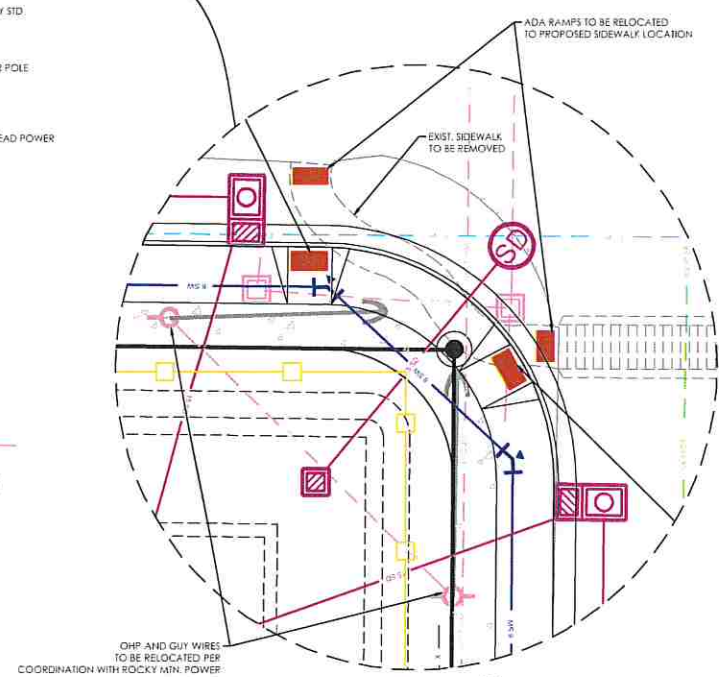
COWBOY ESTATES SUBDIVISION
GRANTSVILLE
SITE ANALYSIS

REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	

SITE ANALYSIS

Scale: 1"=40' Drawn: MEC
Date: 03/21/2022 Job #: 21-0512
Sheet: C3





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FOR
REVIEW
ONLY

COWBOY ESTATES SUBDIVISION
GRANTSVILLE
SITE PLAN

REVISION BLOCK		
#	DATE	DESCRIPTION
1	000000	
2	000000	
3	000000	
4	000000	
5	000000	
6	000000	

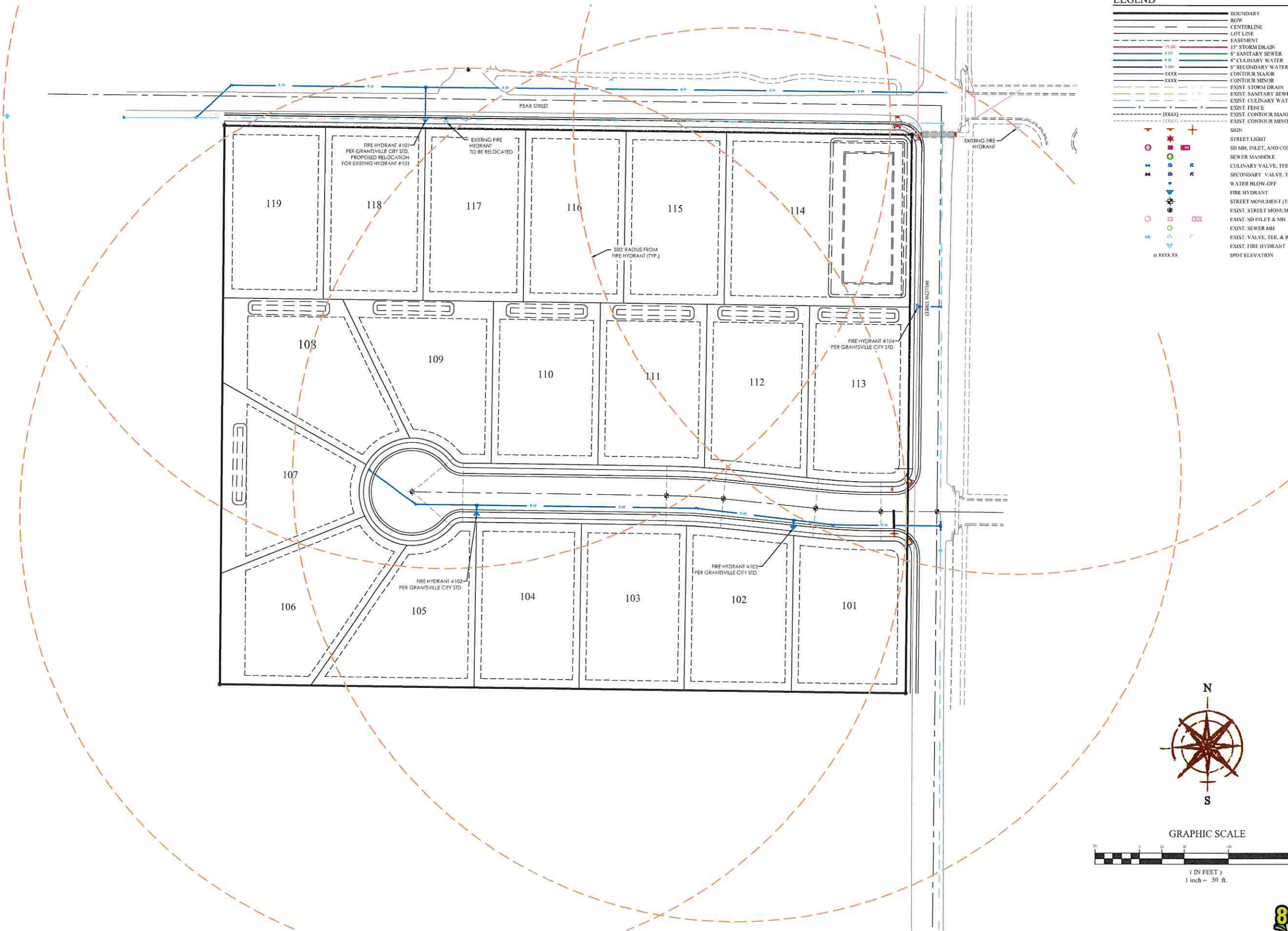
SITE PLAN

Scale: 1"=40'	Drawn: MEC
Date: 03/21/2022	Job #: 21-0512
Sheet:	

C4



Know what's below.
Call 811 before you dig.

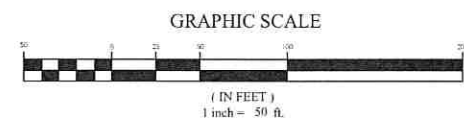


LEGEND

BOUNDARY	15" STORM DRAIN
ROW	8" SANITARY SEWER
CENTERLINE	8" CULINARY WATER
LOT LINE	8" SECONDARY WATER
EASEMENT	CONTOUR MAJOR
CONTOUR MINOR	CONTOUR MINOR
EXIST. STORM DRAIN	EXIST. SANITARY SEWER
EXIST. SANITARY SEWER	EXIST. CULINARY WATER
EXIST. FENCE	EXIST. CONTOUR MAJOR
EXIST. CONTOUR MAJOR	EXIST. CONTOUR MINOR

SYMBOLS

STREET LIGHT	SD INLET, AND COMBO
SEWER MANHOLE	CULINARY VALVE, TEE & BEND
SECONDARY VALVE, TEE & BEND	WATER BLOW-OFF
FIRE HYDRANT	STREET MONUMENT (TO BE SET)
EXIST. STREET MONUMENT	EXIST. SD INLET & MH
EXIST. SD INLET & MH	EXIST. SEWER MH
EXIST. VALVE, TEE, & BEND	EXIST. FIRE HYDRANT
SPOT ELEVATION	



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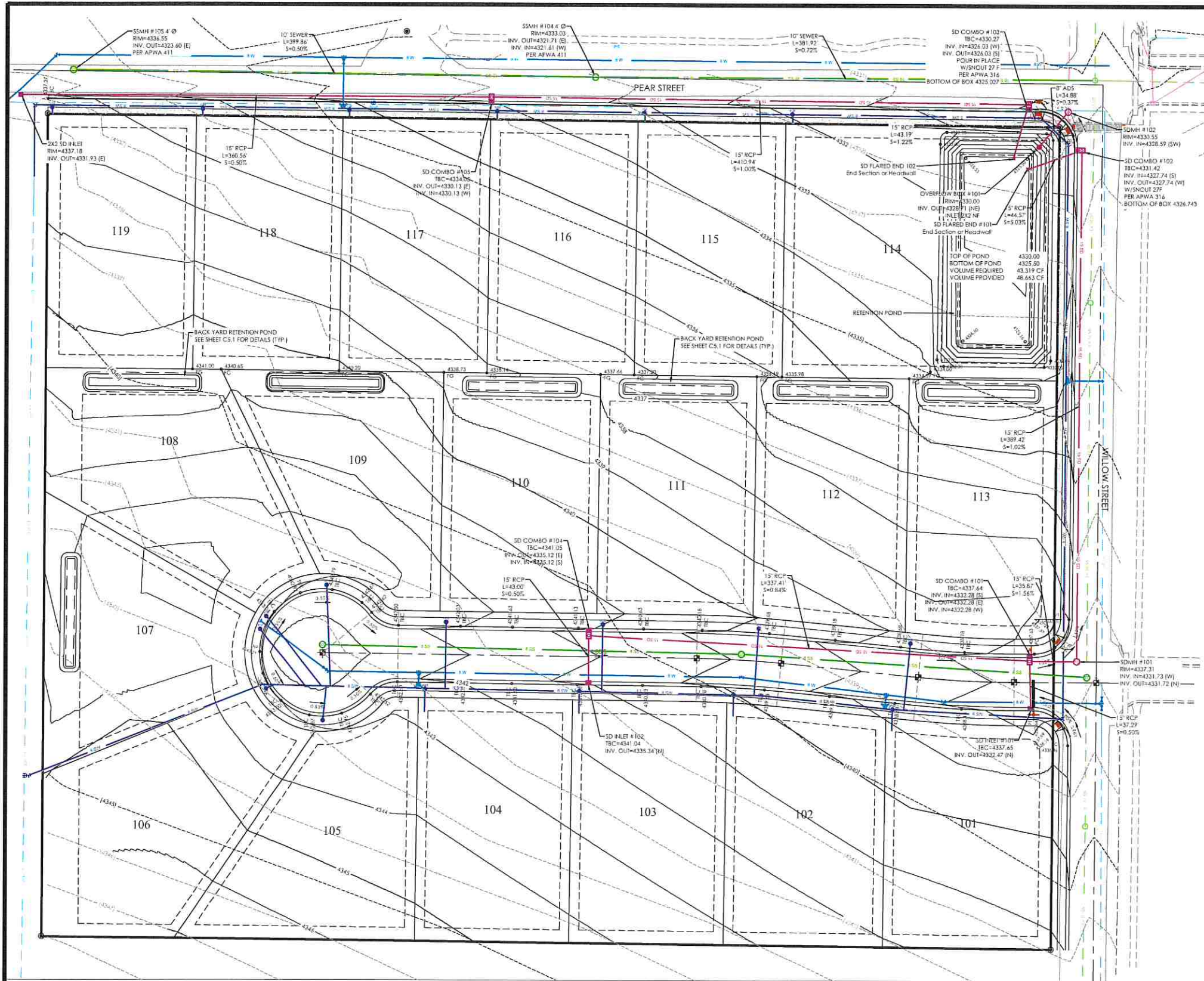
COWBOY ESTATES SUBDIVISION
GRANTSVILLE
FIRE HYDRANT SPACING PLAN

DATE	DESCRIPTION
1	
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FIRE HYDRANT SPACING PLAN

Scale: 1"=50' Drawn: MEC
Date: 03/21/2022 Job #: 21-0512
Sheet: C4.1

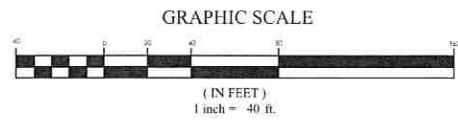




LEGEND

[Symbol]	BOUNDARY
[Symbol]	ROW
[Symbol]	CENTERLINE
[Symbol]	LOT LINE
[Symbol]	EASEMENT
[Symbol]	15" STORM DRAIN
[Symbol]	8" SANITARY SEWER
[Symbol]	8" CULINARY WATER
[Symbol]	8" SECONDARY WATER
[Symbol]	CONTOUR MAJOR
[Symbol]	CONTOUR MINOR
[Symbol]	EXIST. STORM DRAIN
[Symbol]	EXIST. SANITARY SEWER
[Symbol]	EXIST. CULINARY WATER
[Symbol]	EXIST. FENCE
[Symbol]	EXIST. CONTOUR MAJOR
[Symbol]	EXIST. CONTOUR MINOR
[Symbol]	SIGN
[Symbol]	STREET LIGHT
[Symbol]	SD MH, INLET, AND COMBO
[Symbol]	SEWER MANHOLE
[Symbol]	CULINARY VALVE, TEE & BEND
[Symbol]	SECONDARY VALVE, TEE & BEND
[Symbol]	WATER BLOW-OFF
[Symbol]	FIRE HYDRANT
[Symbol]	STREET MONUMENT (TO BE SET)
[Symbol]	EXIST. STREET MONUMENT
[Symbol]	EXIST. SD INLET & MH
[Symbol]	EXIST. SEWER MH
[Symbol]	EXIST. VALVE, TEE, & BEND
[Symbol]	EXIST. FIRE HYDRANT
[Symbol]	SPOT ELEVATION

PERC RATE NOTE:
PERCOLATION RATE IS 1" EVERY 40 MIN PER
GEOTECHNICAL REPORT.



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FOR
REVIEW
ONLY

COWBOY ESTATES SUBDIVISION
GRANTSVILLE
GRADING & DRAINAGE PLAN

REVISION BLOCK		DISCREPTION
1	DATE	
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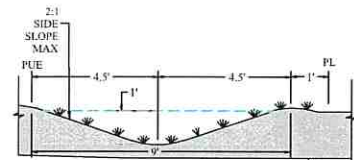
GRADING & DRAINAGE PLAN

Scale: 1"=40'	Drawn: MEC
Date: 03/21/2022	Job #: 21-0512
Sheet:	

C5



P:\2021\21-0512 Grantsville Willow Street\Submap 21-0512 Cowboy Estates (C5) GRADING PLAN.dwg



NOTE: REAR LOT RETENTION POND TO BE CREATED IN REAR PUEDE TO PREVENT STORM RUN-OFF FROM IMPACTING ADJACENT PROPERTIES SEE DRAINAGE PLAN TO IDENTIFY LOTS UTILIZING THIS DESIGN

REAR YARD RETENTION SECTION

NTS

Rear Yard Retention Pond

Project: COWBOY ESTATES SUBDIVISION
Location: Grantsville, Utah
Date: 12/3/2021
Designer: RSH



100-Year Retention Sizing

Design Criteria

Intensity Table: Per NOAA Atlas 14
Return Period: 100 year
Allowable Discharge: 0.00 cfs/acre Per Grantsville City Standards

Allowable Discharges

Storm Drain Discharge: 0.00 cfs
Other Discharge: 0.00 cfs
Total Discharge: 0 cfs
Source:

Weighted "C" Value

Surface Type	Area (sf)	"C" Value	C*A
Homes (rooftops)	2,500	0.85	2,125
Drives	0	0.85	0
Roadway and Sidewalk	0	0.85	0
Landscape	13,663	0.15	2,049
Totals	16,163		4,174.45
Weighted "C" Value		0.26	

Drainage Calculations

Duration	Intensity	Runoff C	Area	Rainfall	Accumulate Flow	Allowable Discharge	Discharge	Required Storage
min	in/hr		Ac	cfs	cf	cfs	cf	cf
15.0	4.56	0.26	0.37	0.44	393	0.00	0	393
30.0	3.07	0.26	0.37	0.29	530	0.00	0	530
60.0	1.90	0.26	0.37	0.18	655	0.00	0	655
120.0	1.11	0.26	0.37	0.11	766	0.00	0	766
180.0	0.76	0.26	0.37	0.07	787	0.00	0	787
360.0	0.41	0.26	0.37	0.04	849	0.00	0	849
720.0	0.24	0.26	0.37	0.02	994	0.00	0	994
1440.0	0.14	0.26	0.37	0.01	1,159	0.00	0	1,159

Maximum Storage Requirement: 1,159
Maximum Storage Requirement (ac-ft): 0.03

Retention Basin Design

Storage Requirement: 1,159 cf
Allowable Depth: 1.5 ft
Retention Pond Volume: 1,375 cf
Roadway Sump Storage: 0 cf
Retention Calculated Using Basic Geometry of a Trapezoidal Trench

Total Storage 1,375 RETENTION ADEQUATE

NOTE:
REAR LOT RETENTION POND CALCULATED FROM LARGEST LOT TO ACCOUNT FOR POSSIBLE RETENTION.

Retention Pond

Project: COWBOY ESTATES SUBDIVISION
Location: Grantsville, Utah
Date: 12/7/2021
Designer: MEC



100-Year Retention Sizing

Design Criteria

Intensity Table: Per NOAA Atlas 14
Return Period: 100 year
Allowable Discharge: 0.00 cfs/acre Per Grantsville City Standards

Allowable Discharges

Storm Drain Discharge: 0.00 cfs
Other Discharge: 0.00 cfs
Total Discharge: 0 cfs
Source:

Weighted "C" Value

Surface Type	Area (sf)	"C" Value	C*A
Homes (rooftops)	55,000	0.85	46,750
Drives	8,600	0.85	7,480
Roadway and Sidewalk	62,098	0.85	52,783
Landscape	326,576	0.15	48,986
Totals	452,274		155,999.70
Weighted "C" Value		0.34	

Drainage Calculations

Duration	Intensity	Runoff C	Area	Rainfall	Accumulate Flow	Allowable Discharge	Discharge	Required Storage
min	in/hr		Ac	cfs	cf	cfs	cf	cf
15.0	4.56	0.34	10.39	16.33	14,697	0.00	0	14,697
30.0	3.07	0.34	10.39	10.99	19,790	0.00	0	19,790
60.0	1.90	0.34	10.39	6.80	24,496	0.00	0	24,496
120.0	1.11	0.34	10.39	3.98	28,621	0.00	0	28,621
180.0	0.76	0.34	10.39	2.72	29,395	0.00	0	29,395
360.0	0.41	0.34	10.39	1.47	31,716	0.00	0	31,716
720.0	0.24	0.34	10.39	0.86	37,131	0.00	0	37,131
1440.0	0.14	0.34	10.39	0.50	43,319	0.00	0	43,319

Maximum Storage Requirement: 43,319
Maximum Storage Requirement (ac-ft): 0.99

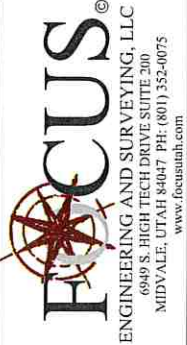
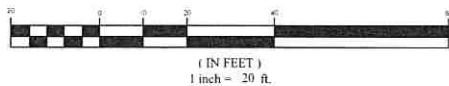
Retention Basin Design

Storage Requirement: 43,319 cf
Allowable Depth: 4.5 ft
Retention Pond Volume: 48,663 cf
Roadway Sump Storage: 0 cf
Retention Calculated Using Basic Geometry of a Trapezoidal Trench

Total Storage 48,663 RETENTION ADEQUATE



GRAPHIC SCALE



FOR REVIEW ONLY

COWBOY ESTATES SUBDIVISION
GRANTSVILLE
STORMWATER REPORT

REVISION BLOCK	DATE	DESCRIPTION
1		
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STORMWATER REPORT

Scale: 1"=50' Drawn: MEC
Date: 03/21/2022 Job #: 21-0512
Sheet:

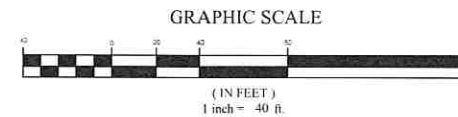
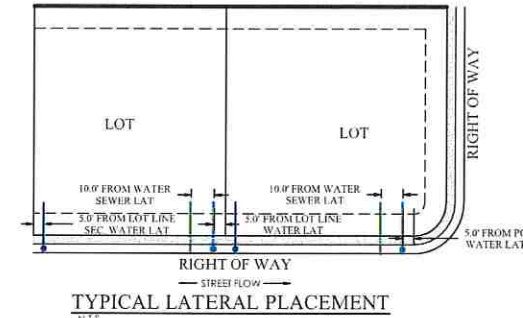
C5.1



LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	15" STORM DRAIN
---	8" SANITARY SEWER
---	8" CULINARY WATER
---	8" SECONDARY WATER
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, DLET, AND COMBO
+	SEWER MANHOLE
+	CULINARY VALVE, TEE & BEND
+	SECONDARY VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT (TO BE SET)
+	EXIST. STREET MONUMENT
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION

NOTES:
1. SEWER LINE ALONG PEAR STREET WAS NOT IDENTIFIABLE BY SURVEY REPORT. FURTHER INQUIRY TO BE MADE FOR SUBSEQUENT PLANS



FOR REVIEW ONLY

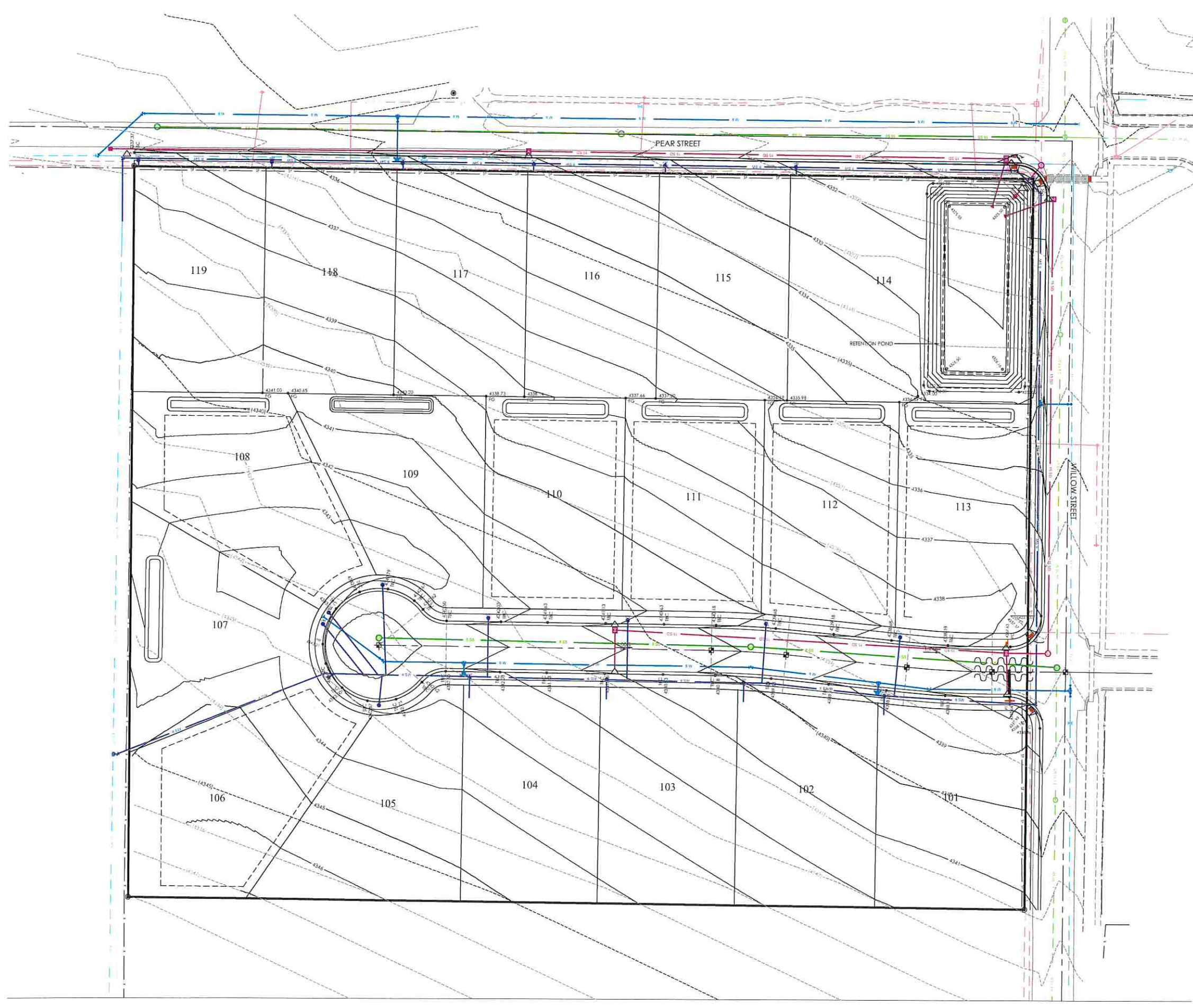
COWBOY ESTATES SUBDIVISION
GRANTSVILLE
UTILITY PLAN

REVISION BLOCK		DESCRIPTION
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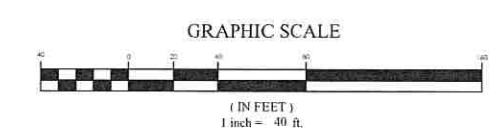
UTILITY PLAN

Scale: 1"=40' Drawn: MEC
Date: 03/21/2022 Job #: 21-0512
Sheet: C6





- EROSION CONTROL LEGEND**
- CONSTRUCTION ENTRANCE
 - MATERIALS STORAGE
 - FUEL TANKS
 - CONCRETE WASHOUT
 - TRASH BIN
 - PORTABLE TOILET
 - CONSTRUCTION TRAILER
 - INLET PROTECTION
 - SURFACE WATERS
 - OUTFALL
 - SILT FENCE
 - CUTBACK CURB
 - FIBER ROLL



FOR
REVIEW
ONLY

COWBOY ESTATES SUBDIVISION
GRANTSVILLE
EROSION CONTROL PLAN

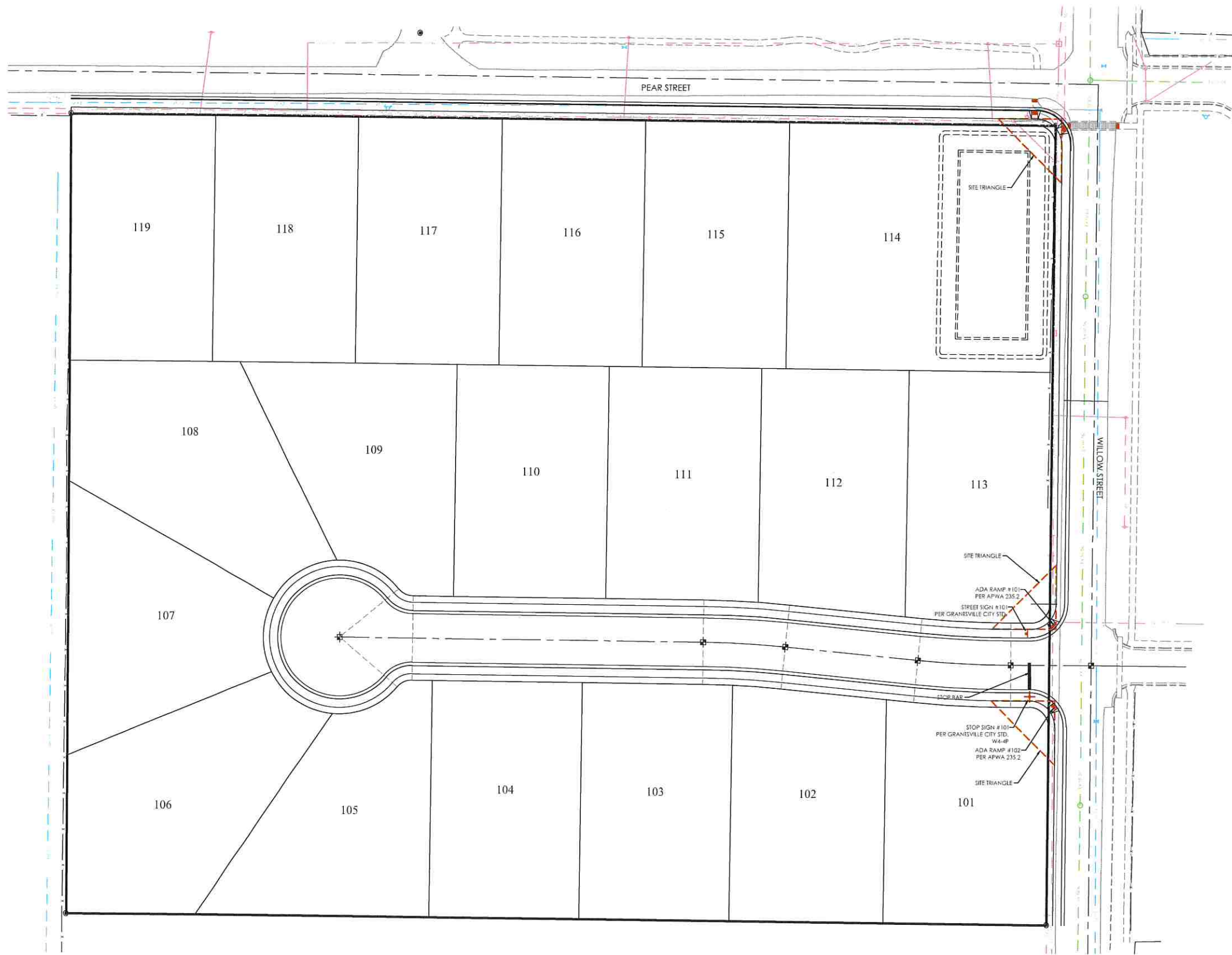
REVISION BLOCK	
#	DESCRIPTION
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EROSION CONTROL PLAN

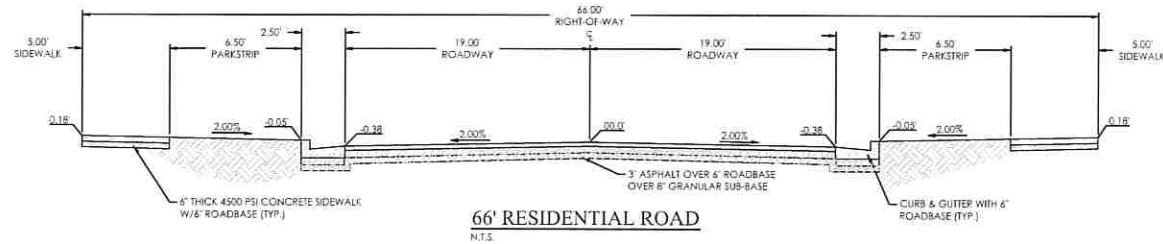
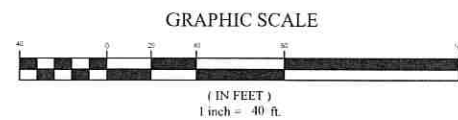
Scale: 1"=40' Drawn: MEC
Date: 03/21/2022 Job #: 21-0512
Sheet: C7



T:\2021\0312 Grantsville Willow Street\Design\21-0512\Drawings\0312 EROSION CONTROL PLAN.dwg



- LEGEND**
- BOUNDARY
 - ROW
 - CENTERLINE
 - LOT LINE
 - EASEMENT
 - 15" STORM DRAIN
 - 8" SANITARY SEWER
 - 8" CULINARY WATER
 - 8" SECONDARY WATER
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - EXIST. STORM DRAIN
 - EXIST. SANITARY SEWER
 - EXIST. CULINARY WATER
 - EXIST. FENCE
 - EXIST. CONTOUR MAJOR
 - EXIST. CONTOUR MINOR
 - SIGN
 - STREET LIGHT
 - SD INLET, AND COMBO
 - SEWER MANHOLE
 - CULINARY VALVE, TEE & BEND
 - SECONDARY VALVE, TEE & BEND
 - WATER BLOW-OFF
 - FIRE HYDRANT
 - STREET MONUMENT (TO BE SET)
 - EXIST. STREET MONUMENT
 - EXIST. SD INLET & MH
 - EXIST. SEWER MH
 - EXIST. VALVE, TEE, & BEND
 - EXIST. FIRE HYDRANT
 - SPOT ELEVATION



FOR
REVIEW
ONLY

COWBOY ESTATES SUBDIVISION
GRANTSVILLE
TRAFFIC CONTROL PLAN

REVISION BLOCK		DESCRIPTION
DATE	BY	

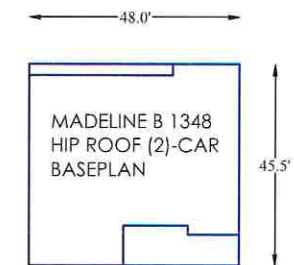
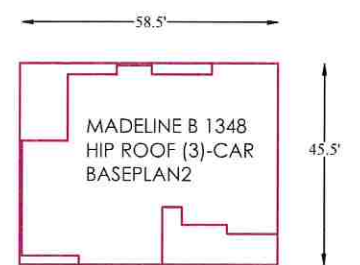
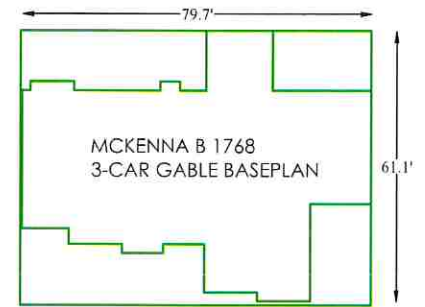
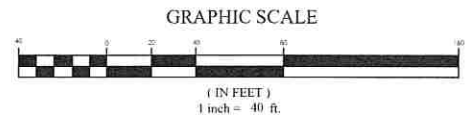
TRAFFIC CONTROL PLAN

Scale: 1"=40'
Date: 03/21/2022
Sheet: C8
Drawn: MEC
Job #: 21-0512





- LEGEND
- BOUNDARY
 - ROW
 - CENTERLINE
 - LOT LINE
 - EASEMENT
 - 12" STORM DRAIN
 - 8" SANITARY SEWER
 - 8" CULINARY WATER
 - 8" SECONDARY WATER
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - EXIST. STORM DRAIN
 - EXIST. SANITARY SEWER
 - EXIST. CULINARY WATER
 - EXIST. FENCE
 - EXIST. CONTOUR MAJOR
 - EXIST. CONTOUR MINOR
 - SIGN
 - STREET LIGHT
 - SD MH, INLET, AND COMBO
 - SEWER MANHOLE
 - CULINARY VALVE, TEE & BEND
 - SECONDARY VALVE, TEE & BEND
 - WATER BLOW-OFF
 - FIRE HYDRANT
 - STREET MONUMENT (TO BE SET)
 - EXIST. STREET MONUMENT
 - EXIST. SD INLET & MH
 - EXIST. SEWER MH
 - EXIST. VALVE, TEE, & BEND
 - EXIST. FIRE HYDRANT
 - SPOT ELEVATION



FOR
REVIEW
ONLY

COWBOY ESTATES SUBDIVISION
GRANTSVILLE
LOT FIT PLAN

REVISION BLOCK		DESCRIPTION
#	DATE	
1		
2		
3		
4		
5		
6		

LOT FIT PLAN

Scale: 1"=40' Drawn: MEC
Date: 03/21/2022 Job #: 21-0512
Sheet: C9



2-2021 02/18/12 Grantsville Willow Street Subdivision 2-0512 Cowboy Estates LOT FIT PLAN.dwg

DISCUSSION ITEM #5 AND PUBLIC HEARING AGENDA ITEM #E

PUD Plan for Dustin Hall, D.A.B. & K, LLC. on the Willow Fields PUD Subdivision located at approximately at 834 N. Old Lincoln Hwy for the creation of twenty-eight (28) lots in the RR-1 zone.

**GRANTSVILLE CITY PLANNED UNIT DEVELOPMENT
(P.U.D.) APPLICATION**

DATE PAID 12-1-2021

\$1000 + \$30
FEE \$100.00 per
dwelling

HEARING DATE April 7, 2022

PERMIT# _____

.....
Name Dustin Hall / D.A.B. & K LLC Phone _____

Mailing Address: _____

Address of Subject Property 834 N. Old Lincoln Hwy, Grantsville, UT. 84029

Do You Own the Property? YES

Current Zoning and Total Acres Involved RR-1 / 38.526 ac

Detailed Written Description of Proposed Use (attach separate sheets, if needed):

Subdivision development, mainly 1-Acre lots
w/ (2) 0.5-Acre lots and 5 Acres of open-space.

Submit All of the Following Items with the Application:

- a. X Vicinity map of the parcel with North indicated;
- b. X A plat or survey of parcel with legal description and actual dimensions of property;
- c. NA? USE PRELIMINARY PLAN
X Site plan with the size and location of all existing and proposed buildings, include building setbacks and elevations, along with all driveways and exact number and size of all parking spaces; Site plan application and associated fee (if applicable);
- d. X A written statement which indicates specifically any change, alteration, modification or waiver of any zoning codes or development regulations being requested. There is no assumption of approval for waivers not included in the written request, or which are specifically granted by Planning Commission by motion;

- e. X Attach a copy of the P.U.D. Objectives List with a written statement indicating how the proposed development will promote the objectives;
- f. _____ Fifteen (15) "11 x 17" paper copies of the proposed plan.
- g. X USE PRELIM PLAN LABELS. Names and Addresses of the owners of all properties within (500 feet) of the proposed subdivision's boundaries; a plat of the parcel and a Radius Report can be obtained from Tooele County Recorder's office, self-sealing envelopes, mailing labels and first class postage for all those listed on the labels. **DON'T PUT MAILING ADDRESSES ON ENVELOPES! THANK YOU! Addresses must be from Tooele County Recorder's Office!**
- h. N/A If accessing Main Street, SR 112, or SR 138, an Encroachment Permit, or letter of feasibility from UDOT (if applicable);
- i. _____ Any other items as required by Zoning Administrator and/or Planning Commission prior to, or after public hearing consideration.

NOTICE: Any items in this application that duplicates items requested in another concurrent process are not required.


SIGNATURE OF APPLICANT,


SIGNATURE OF CO-APPLICANT

Memorandum

TO: Grantsville City Planning and Zoning
FROM: Barry Bunderson, P.E.
SUBJECT: Proposed Willow Fields PUD Objectives
DATE: February 17, 2022
CC: File

The Willow Fields PUD will achieve the following objectives:

- A. This project proposes a unique roadway section that would not be possible through the standard land use processes. The roadway section includes the following elements consistent with the community design goals of the General Plan:
 1. Goal 2: Create a more pedestrian-friendly community. While the Willow Fields PUD is mostly 1-acre lots aimed at the core value of small community feel, the roadway section includes a pedestrian trail to provide connection to the recreational uses within the PUD
 2. Goal 4: Retain the small-town charm. The roadway section has the form of a more rural county roadway indicative of the less populated small-town charm.
 3. Goal 6: Preserve the natural environment: The Willow Fields PUD roadway section proposes to use a roadside swale within the right-of-way to handle the stormwater retention requirements. The intention is to mimic the natural response of groundwater recharge by allowing the water to collect into the swale and then be dammed up at specific intervals so that the water is infiltrated into the ground at the approximate location in which it fell to the earth.
- B. Willow Fields PUD proposes to dedicate to Grantsville City 5 acres of open space. The 5 acres is 13% of the project's gross land area. The location of the proposed open space is in an area of town where recreational spaces are very limited. The location is also near the location of a proposed 5-acre park as identified on the General Plan- Recreation Plan Map.
- C. No architecturally or historically significant buildings exist within the boundaries of this project.
- D. Willow Fields PUD anticipates that the 5-acre open space/ park area will immediately serve the existing residents on Old Lincoln Highway as well as the Silver Fox community in addition to the PUD itself. The open space/ park area would be a safe location for users to get to as it is out of the flow of major traffic and in a quiet part of the city and will offer an elements of Goal 6 previously mentioned striving for a balance of open lands/recreation spaces with growth.
- E. The Willow Fields PUD has an average Lot size of 1.003 Acres with a gross density of 1.43 acres per Lot. Overall, the proposed development is consistent with the underlying zoning and is compatible with the surrounding housing establishments and the compatibility with the surrounding undeveloped or agriculturally used lands is very likely.

Memorandum

TO: Grantsville City Planning and Zoning
FROM: Barry Bunderson, P.E.
SUBJECT: Proposed Willow Fields Subdivision Zoning modifications
DATE: November 29, 2021
CC: File

For the complete development a modified street section is proposed in the project drawings and is applicable to all streets of this development.

For Lots of the 0.5-acre class the zoning regulations are those as identified in Section 15.1 R-1-21 with the following modifications:

- Minimum yard setback on corner lots include: one front yard of 40 ft, one rear yard of 25 ft, one interior side yard of 10 ft, and one street side yard of 25 ft.

For Lots of the 1-acre class the zoning regulations are those as identified in Section 14.5 RR-1 with the following modifications:

- Minimum yard setback on corner lots include: one front yard of 40 ft, one rear yard of 30 ft, one interior side yard of 15 ft, and one street side yard of 30 ft.

APPLICATION FOR A PUD (Planned Unit Development) PLAN CONSIDERATION BY GRANTSVILLE CITY PLANNING COMMISSION

An application has been received in our office for consideration of a PUD Plan approval for:

Dustin Hall, D.A.B. & K, LLC. on the Willow Fields PUD Subdivision located at approximately at 834 N. Old Lincoln Hwy for the creation of twenty-eight (28) lots in the RR-1 zone.

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A discussion and public hearing to receive public input on the proposed project will be held on April 7, 2022. The Planning Commission will make a recommendation to the City Council on April 21, 2022. All meetings will be held in person and through Zoom on:

Thursday, April 7, 2022 at 7:00 p.m.

You are invited to view the application and proposed plans by emailing me at kclark@grantsvilleut.gov.

If you choose to attend, please wear a face covering. Comments through email or by mail must be received no later than 5:00 p.m. on April 7, 2022. For more information, please call me at 435-884-4604 or email me.

For more information, please email me at kclark@grantsvilleut.gov.

Thank you,


Kristy Clark
Zoning Administrator

Join Zoom Meeting
<https://us02web.zoom.us/j/84177815725>

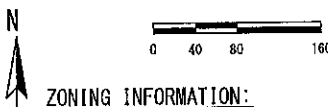
Meeting ID: 841 7781 5725
One tap mobile
+16699009128,84177815725# US (San Jose)
+12532158782,84177815725# US (Tacoma)

Dial by your location
+1 669 900 9128 US (San Jose)
+1 253 215 8782 US (Tacoma)
+1 346 248 7799 US (Houston)
+1 646 558 8656 US (New York)
+1 301 715 8592 US (Washington DC)
+1 312 626 6799 US (Chicago)

Find your local number:
<https://us02web.zoom.us/j/84177815725>

PRELIMINARY PLAN - WILLOW FIELDS PUD

LOCATED IN THE NORTH HALF OF SECTION 26, TOWNSHIP 2 SOUTH, RANGE 6 WEST, SALT LAKE BASE AND MERIDIAN, GRANTSVILLE, TOOELE COUNTY, UTAH



ZONING INFORMATION:

- CURRENT ZONE: RR-1
- SINGLE FAMILY DWELLING = PERMITTED
- FAMILY DWELLING MINIMUM LOT SIZE: 43,560 SQ. FT.
- MIN LOT FRONTAGE: 60 FT. AT FRONT PROPERTY LINE

SETBACKS

- MIN FRONT YARD: 40 FT
- MIN REAR YARD FOR MAIN BUILDING: 30 FT
- MIN REAR YARD FOR ACCESSORY BUILDING: 2 FT
- MIN SIDE YARD FOR MAIN BUILDING, EACH SIDE, INTERIOR: 15 FT
- TWO FRONT AND TWO SIDE YARD FOR CORNER LOTS
- MIN SIDE YARD FOR ACCESSORY BUILDINGS: 4 FT
- MAX BUILDING HEIGHT: 35 FT
- MAX BUILDING LOT COVERAGE (ALL BUILDINGS): 20%

PROPOSED SETBACK MODIFICATIONS

FOR LOTS OF THE 0.5-ACRE CLASS THE ZONING REGULATIONS ARE THOSE AS IDENTIFIED IN SECTION 15.1 R-1-21 WITH THE FOLLOWING MODIFICATIONS:

- MINIMUM YARD SETBACK ON CORNER LOTS INCLUDE: ONE FRONT YARD OF 40 FT, ONE REAR YARD OF 25 FT, ONE INTERIOR SIDE YARD OF 10 FT, AND ONE STREET SIDE YARD OF 25 FT.

FOR LOTS OF THE 1-MORE ACRE CLASS THE ZONING REGULATIONS ARE THOSE AS IDENTIFIED IN SECTION 14.5 R-1-21 WITH THE FOLLOWING MODIFICATIONS:

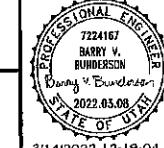
- Minimum yard setback on corner lots include: one front yard of 40 ft, one rear yard of 30 ft, one interior side yard of 15 ft, and one street side yard of 30 ft.

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
01	39.27	25.00	90° 00' 00"	N11° 24' 00"E	35.38
02	54.80	167.00	18° 48' 10"	N65° 48' 05"E	54.58
03	21.71	167.00	7° 25' 55"	S85° 51' 35"W	21.70
04	76.11	167.00	25° 06' 47"	S78° 25' 41"W	76.45
05	94.58	167.00	32° 26' 57"	N74° 16' 27"W	93.32
06	131.95	233.00	32° 26' 57"	N74° 16' 27"W	130.20
07	131.95	233.00	32° 26' 57"	N74° 16' 27"W	130.20
08	39.27	25.00	89° 59' 58"	N45° 29' 57"W	35.36
09	39.27	25.00	90° 00' 00"	S44° 30' 06"W	35.36
10	15.82	18.80	49° 00' 02"	S65° 50' 54"E	15.34
11	33.14	60.00	31° 38' 53"	S67° 19' 20"E	32.72
12	85.36	80.00	81° 30' 35"	N66° 05' 57"E	78.34
13	30.48	80.00	94° 59' 53"	N22° 09' 18"W	88.47
14	22.39	18.80	89° 19' 45"	N34° 59' 22"W	21.04
15	39.16	25.00	89° 44' 38"	N44° 32' 50"E	35.28
16	39.16	25.00	89° 49' 34"	N44° 35' 18"E	35.30
17	94.58	167.00	32° 26' 57"	S74° 16' 27"E	93.32
18	131.95	233.00	32° 26' 57"	S74° 16' 27"E	130.20
19	106.19	233.00	26° 06' 47"	N75° 26' 41"E	105.28
20	76.35	167.00	26° 11' 45"	N75° 29' 10"E	75.69
21	65.63	200.00	18° 48' 10"	N65° 48' 05"E	65.34
22	51.57	200.00	14° 46' 23"	N82° 11' 51"E	51.42
23	91.44	200.00	26° 11' 45"	N74° 29' 10"E	90.65
24	91.15	200.00	26° 06' 47"	N76° 26' 41"E	90.37
25	113.27	200.00	32° 26' 57"	S74° 16' 27"E	111.75
26	113.27	200.00	32° 26' 57"	S74° 16' 27"E	111.75

PRELIMINARY PLAN	
Project Number	21-45015
Designed By	BVB
Drawn By	BVB
Date Issued	2022.03.08

WILLOW FIELDS PUD
GRANTSVILLE,
TOOELE COUNTY, UTAH

Project Name:
CIVIL PROJ-EX, INC
ENGINEERS & PLANNERS
900 QUINN STREET
GRANTSVILLE, UTAH 84029

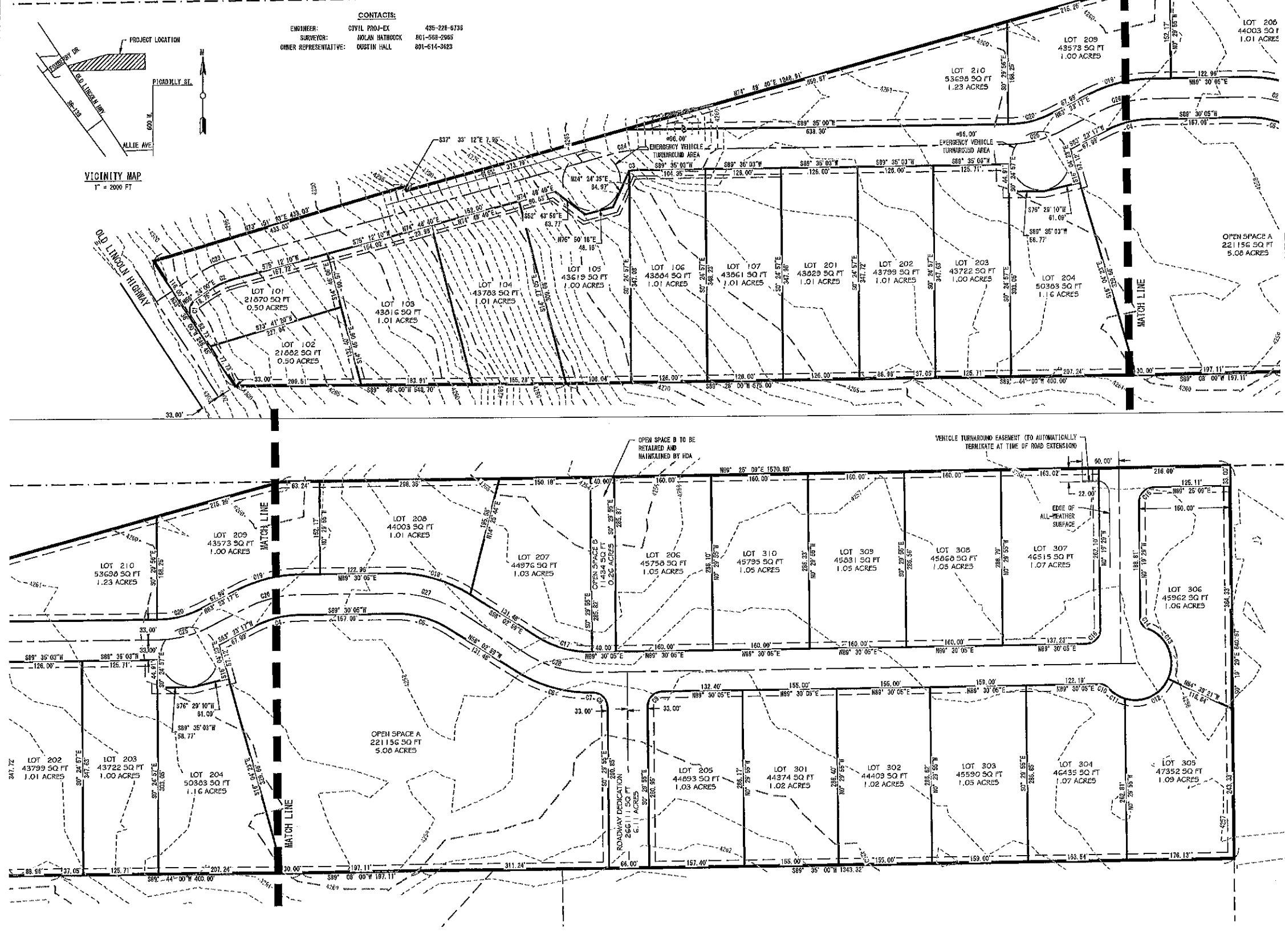


3/14/2022 12:19:04 PM
Sheet Name:
V-100

GRANTSVILLE CITY ENGINEER
APPROVED THIS _____ DAY OF _____, 20____
BY THE GRANTSVILLE CITY ENGINEER, _____

GRANTSVILLE CITY PUBLIC WORKS
APPROVED THIS _____ DAY OF _____, 20____
BY THE GRANTSVILLE PUBLIC WORKS DEPARTMENT, _____

GRANTSVILLE CITY PUBLIC WORKS DIRECTOR



VICINITY MAP
1" = 2000 FT

CONTACTS:
ENGINEER: CIVIL PROJ-EX 435-228-6736
SURVEYOR: ANJAN BHADRAK 801-588-2965
OWNER REPRESENTATIVE: DUSTIN HALL 801-614-3623

DISCUSSION ITEM #6 AND PUBLIC HEARING AGENDA ITEM #F

Preliminary Plan for Dustin Hall, D.A.B. & K, LLC. on
the Willow Fields PUD Subdivision located at
approximately at 834 N. Old Lincoln Hwy for the creation
of twenty-eight (28) lots in the RR-1 zone.

GRANTSVILLE CITY
ZONING DEPARTMENT

429 EAST MAIN STREET
GRANTSVILLE, UTAH 84029
PHONE (435) 884-3411
FAX (435) 884-0426

Preliminary Plan:
\$750.00 Zoning Fees
+ \$100.00 per Lot
(ALL FEES ARE SUBJECT TO
CHANGE)

Engineering Fees:
0-10 Lots - \$2,250.00
11-50 Lots - \$4,125.00
51-100 Lots - \$5,500.00
101 + Lots - \$5,500.00

PRELIMINARY PLAN APPLICATION

Date of Application 12-1-2021

Property Location 824 N. Old Lincoln Hwy Grantsville, UT.

Property Owner(s) Dustin Hall / D.A.B. & K LLC

Owner Phone _____

Acting Agent Name Barry Bunderson

Acting Agent Phone _____

Email Address barry.bunderson@civilprojex.com / dhall@pacwestllc.com

Subdivision Name Willow Fields

Number of Acres in Subdivision 38.526

Total Number Lots 28 Lot Sizes 0.5 - 1.4 Ac. 1.02 Ac (Avg) 1.37 Acres/UNIT

Current Zoning of Property RR-1 Parcel Number 01-062-0-0015

Dustin K. Hall

*01-062-0-00102
00103

Signature of Owner or Agent



Intent To Serve Form

Date submitted: 11/15/2021

Name of Owner:	DAB & K LLC
Name of Agent or Representative:	Civil Proj-Ex, Inc.
Property Address or Location (Attach Map):	Near 825 Old Lincoln Highway, Grantsville
Assessor's Parcel Number:	01-062-0-0102
Proposed Lots/ERC's:	28
Signature of Owner or Agent:	Barry Bunderson <i>Barry Bunderson</i>

Approving Agency: Grantsville City Public Works Department

This Intent to Serve form is part of the water, sewer, and roads connection process. Please note, Grantsville City will provide water, sewer, and street connection services to a residential or commercial building project **provided** there is sufficient ability to serve, if fees are paid on time, and if all steps are completed in accordance with City, State, and Federal regulations. Utility modeling must be submitted to determine the impacts to the City's systems. Traffic impacts and any environmental impacts must also be considered and summarized for review. Intent to Serve approvals issued will be honored for a period of one calendar year from the date signed by an authorized signor for Grantsville City.

All excavations are required to meet Grantsville City specifications for back fill materials and compaction. Excavations will be inspected by Grantsville City prior to and during backfill operations.

Any approval rendered under this permit does not imply approval to cross any private property or right-of-way and pertains to Grantsville City rights-of-ways and/or easements. Approval under this application is in accordance with all laws and ordinances of the State of Utah and Grantsville City.

Applicant is responsible for determining ownership of right-of-ways and easements.

Utility	Approved	Disapproved
Water	X	
Sewer		X
Roads	X	

Additional comments: The Project anticipates using City Culinary Water for indoor use and City sewer for Lots 101-102 which front on Old Lincoln Hwy. The Project also anticipates using GIC water on Lots 101-104 for outdoor use, but will use City Culinary water for outdoor use on other portions of the project.

X 
James Waltz
Public Works Director, Grantsville City

X 11/15/21
Date Signed

Tooele County Treasurer User Payment Accounts

Use your *Account Number* to find your account.

Please verify the name on the account to assure your payment is posted to the correct account.

Tooele County Treasurer

Account Number	Amount Due	Amount to Pay	Search Results
----------------	------------	---------------	----------------

☐ R098509

\$0.00

\$ 0.00

DAB&K LLC
Property Tax

[view](#)

Total:

\$ 0.00

Add Another Account
Number

add another account

Account Number:

R098509

Name:

DAB&K LLC

Address:

57 S MATTHEWS LANE, GRANTSVILLE, UT 84029

Details:

11/29/2021

Property Tax*:

\$0.00

* Amounts are updated periodically and may not reflect recent payments.

[View Tax Notice](#)

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SIP Version 3.09.15288; (API: 2.20)



Select Language ▼

Powered by [Google Translate](#)

INTENT TO SERVE FORM

DAB & K LLC

Name of Owner

Civil Proj-Ex, Inc.

Name of Agent or Representative

Date Approving Agency Signed

Near 825 Old Lincoln Highway, Grantsville

Property Address or Location

28

Number of Lots Proposed

Barry V. Bunderson

Signature of Owner or Agent

Name of Approving Agency _____

SEWER

_____ **APPROVED** _____ **DISAPPROVED**

WATER

_____ **APPROVED** _____ **DISAPPROVED**

ROADS

_____ **APPROVED** _____ **DISAPPROVED**

Conditions, Restrictions, or Comments: _____

Expiration Date of Approval _____

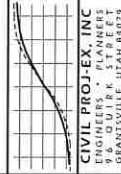
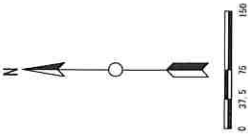
DATE SIGNED

AUTHORIZED SIGNATURE FOR AGENCY

**-TO BE SUBMITTED WITH BUILDING OR SUBDIVISION PERMIT
APPLICATION-**

PRELIMINARY PLAN - WILLOW FIELDS SUBDIVISION

LOCATED IN THE NORTH HALF OF SECTION 26, TOWNSHIP 2 SOUTH, RANGE 6 WEST, SALT LAKE BASE AND MERIDIAN, GRANTSVILLE, TORELE COUNTY, UTAH



CIVIL PROJ-EX, INC.
9600 S. 1000 E. STREET
GRANTSVILLE, UTAH 84029

DEVELOPER: DUSTIN HALL
801-514-3623

57 SOUTH MATHEWS LN., GRANTSVILLE, UT 84029

DRN BWS	DATE: 2021.03.28	SCALE: AS SHOWN	NO. <u>1</u> OF <u>1</u>
DES BWS	DATE: 2021.03.28	JOB # 20-48015	
CDL	DATE:		

WILLOW FIELDS SUBDIVISION

LOCATED IN THE NORTH HALF OF SECTION 26,
TOWNSHIP 2 SOUTH, RANGE 6 WEST,
SALT LAKE BASE AND MERIDIAN
GRANTSVILLE, TORELE COUNTY, UTAH

PLANNING AND ZONING COMMISSION

APPROVED THIS _____ DAY OF _____, 20____
BY THE GRANTSVILLE CITY PLANNING AND ZONING COMMISSION.

CHAIRPERSON: GRANTSVILLE CITY PLANNING AND ZONING

INTENT TO SERVE FORM

DAB & K LLC

Name of Owner

9/23/21
Date Approving Agency Signed

28
Number of Lots Proposed

Civil Proj-Ex, Inc.
Name of Agent or Representative

Near 825 Old Lincoln Highway, Grantsville
Property Address or Location

Barry V. Bunderson
Signature of Owner or Agent

Name of Approving Agency Rocky Mountain Power

(Please indicate approval status)

ELECTRIC COMPANY  **APPROVED** **DISAPPROVED**

Conditions, Restrictions, or Comments: Subject to the rules
and tariffs on file with the Utah
Public Service Commission

Expiration Date of Approval _____

9/23/21
DATE SIGNED

Lisa Baker
AUTHORIZED SIGNATURE FOR AGENCY

-TO BE SUBMITTED WITH BUILDING OR SUBDIVISION PERMIT APPLICATION-

INTENT TO SERVE FORM

DAB & K LLC	Civil Proj-Ex, Inc.
Name of Owner	Name of Agent or Representative
	Near 825 Old Lincoln Highway, Grantsville
Date Approving Agency Signed	Property Address or Location
28	Barry V. Bunderson
Number of Lots Proposed	Signature of Owner or Agent
Name of Approving Agency	GRANTSVILLE FIRE DEPT.

(Please indicate approval status)

FIRE DEPT. ✓ APPROVED DISAPPROVED

Conditions, Restrictions, or Comments: _____

Must comply with the following:

- 1) All pertinent sections of the International Fire Code including the appendix sections, particularly appendix "C" (fire department water supply) and appendix "D" (fire department access)
- 2) All Grantsville City codes and ordinances pertaining to water supply and streets.
- 3) Submitted drawing with streets must have a cross sections drawing of all streets, cul-de-sacs, temporary turnarounds and all fire department access and turnarounds.

Expiration Date of Approval 9/22/22

9/22/21
DATE SIGNED

James E. Smith
AUTHORIZED SIGNATURE FOR AGENCY

**-TO BE SUBMITTED WITH BUILDING OR SUBDIVISION PERMIT
APPLICATION-**

15:37

To Whom It May Concern:

Re: Natural Gas Service Availability to Willow Field Subdivision

Natural gas can be made available to serve approximate area of: **825 Old Lincoln Hwy, Grantsville, UT**, when the following requirements are met:

1. Developer provides plat maps, drawings, construction schedules, average size of homes, units, and/or buildings that will be served by natural gas, and any and all other relevant information regarding commercial and residential uses, including but not limited to, proposed natural gas appliances (number and type of appliances per unit, home, building), and provide minimum utility clearances and setbacks.

2. Review and analysis by Dominion Energy Engineering and/or Preconstruction Department to determine load requirements, system reinforcement requirements and estimated costs to bring natural gas to the development.

Upon completion of Dominion Energy review of the developments natural gas requirements, agreements will be prepared, as necessary, for high pressure, intermediate high pressure and/or service line extensions required to serve the development. These service extensions must be paid in advance, but may qualify for credits or refunds, as provided in Dominion Energy tariff.

To accommodate your construction schedule and provide cost estimates to you, please contact me at your earliest convenience.

Please note: Gas Main location needs to be a minimum of 10' away from structure and 3' from other utilities. It is the customer's responsibility to provide adequate clearances.

Sincerely,

Candis Miller
Pre-Construction Rep
Candis.miller@dominionenergy.com
801-324-5014



September 22, 2021

To whom it may Concern,

This letter is to verify that Comcast service is available to 825 Old Lincoln Highway, Grantsville, UT Comcast will generally provide all materials and labor to provide broadband services from the property line to the point of service, in a trench provided by the property owner.

The cost of installation, construction and provision of cable service will be part of the contract negotiations with the Owner of the Property or a designated representative. **This letter is not to be considered a contract or guarantee of service.** Furthermore, all permits, licenses and rights of access must be provided by the Owner prior to any provision of services.

Please be advised that we require a minimum of 90 days for project approvals and construction after we receive a signed contract. If this is a private development.

Please contact Elysia Valdez at 801-401-3017 or JointTrench.Utah@comcast.com before opening utility trenches.

We look forward to working with you on this Project; please feel free to contact me with any questions or concerns.

Sincerely,

Chad Noble

Chad Noble
Comcast Cable
chad_noble@Cable.Comcast.com
801 401-2609 office
9602 S 300 W
Sandy, Utah 84070

INTENT TO SERVE FORM

DAB & K LLC

Name of Owner

Civil Proj-Ex, Inc.

Name of Agent or Representative

Date Approving Agency Signed

Near 825 Old Lincoln Highway, Grantsville

Property Address or Location

28

Number of Lots Proposed

Barry V. Buncherson

Signature of Owner or Agent

GRANTSVILLE CITY POST OFFICE

Conditions, Restrictions, or Comments: Mail delivery only to CBU (Cluster box unit) to be

purchased and installed by developer/builder at agreed upon location with Post Office to

maintain efficiency and line of travel.

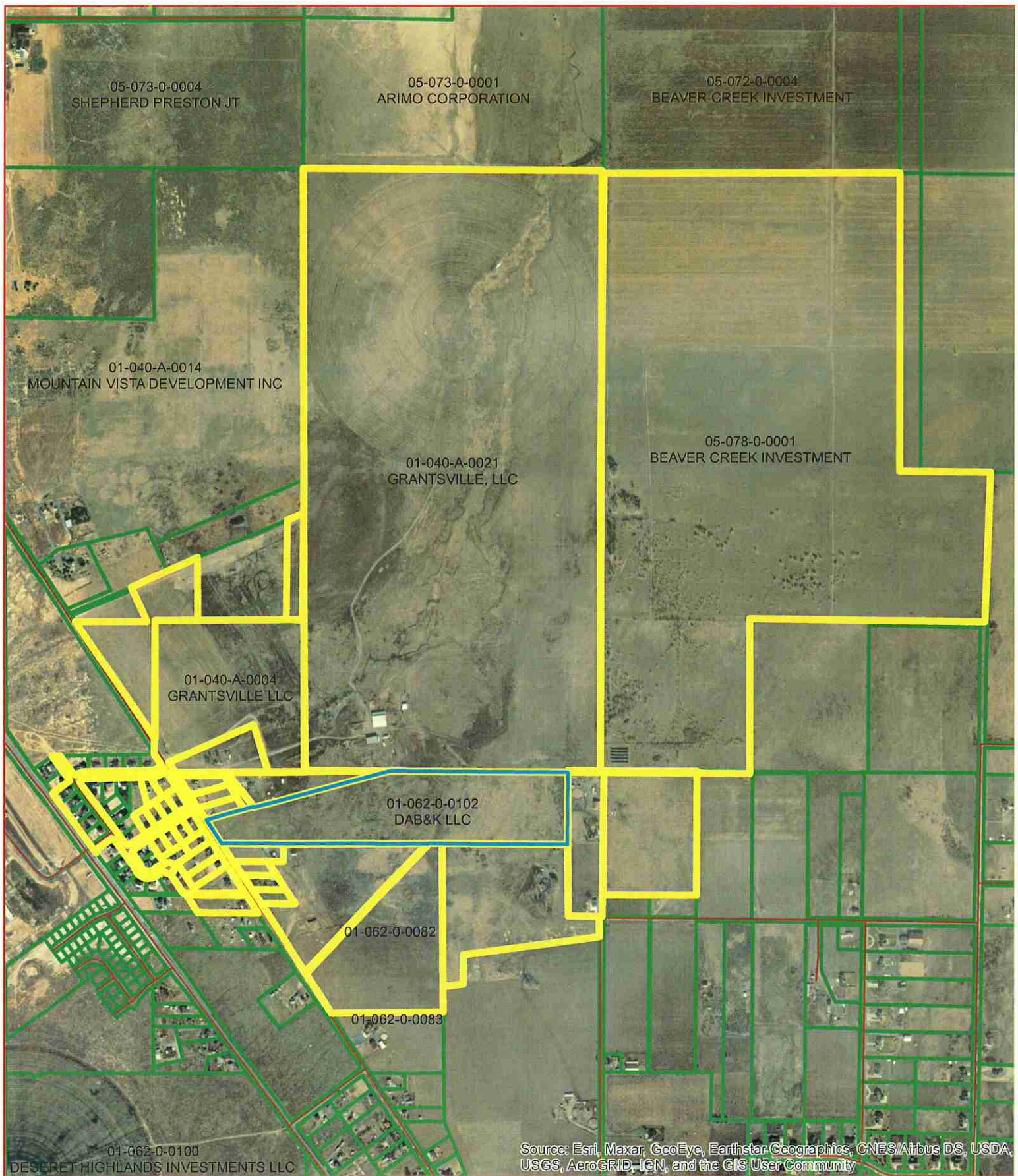
09/29/2021

DATE SIGNED _____

Cheri Zadra-Postmaster

AUTHORIZED SIGNATURE FOR AGENCY

-TO BE SUBMITTED WITH BUILDING OR SUBDIVISION PERMIT APPLICATION-



GIS Map Disclaimer:

This is not an official map but for reference use only. The data was compiled from the best sources available, but various errors from the sources may be inherent on the map. All boundaries and features therein should be treated as such. For boundary information, the pertinent County Departments or Municipalities should be contacted. This map is a representation of ground features and is not a legal document of their locations. The scale represented is approximate, so this is NOT a Survey or Engineering grade map and should by no means be used as such. This map is not intended for all uses. Tooele County is not responsible or liable for any derivative or misuse of this map.



Dustin Hall
01-062-0-0102

0 350 700 1,400 2,100 2,800
Feet



Date: 8/26/2021
Blanca.rodriguez

JERRY M. HOUGHTON
TOOELE COUNTY RECORDER

47 SOUTH MAIN STREET, Room 213
TOOELE, UTAH 84074
OFFICE (435) 843-3180
FAX (435) 843-3273

November 29, 2021

SUBJECT: Approval of Subdivision Name:

ADDRESSED TO Tooele County/Tooele City/**Grantsville City**/Other

Name/Developer/Point of Contact: Barry Bunderson

Phone/E-mail: 435-228-6736 / barry.bunderson@civilprojex.com

The Tooele County Recorder has approved the proposed subdivision name of

“WILLOW FIELDS SUBDIVISION”

The approved name is acceptable, with no other derivative thereof.

JERRY M. HOUGHTON

Tooele County Recorder

By Deputy Rylisha Ulim 11/29/21

Memorandum

TO: Grantsville City Planning and Zoning
FROM: Barry Bunderson, P.E.
SUBJECT: Proposed Willow Fields Subdivision Traffic Analysis
DATE: November 29, 2021
CC: File

Trip generation for the development was calculated using trip generation rates published in the Institute of Transportation Engineers (ITE), *Trip Generation*, 10th Edition, 2017. Trip generation for the proposed project is attached.

The total trip generation for the development is as follows:

- Daily Trips: 264
- Morning Peak Hour Trips: 21
- Evening Peak Hour Trips: 28

At buildout, the distribution of traffic anticipated is to be 100% to and from the western end of the project via the connection to Old Lincoln Highway. It is anticipated that the development traffic will use Old Lincoln Highway as the connection to the streets network. Per the Grantsville City Street Masterplan Map Old Lincoln Highway is identified as a Local Street with Criteria of "under 200 Design Hour Vehicles (DHV)".

The Project Daily Trips averaged over a 24 hour period is approximated to be 11 vehicles per hour (veh/h). 11 (v/h) is 0.55% of the 200 DHV criteria of the City Street Masterplan Map.

The peak hour trip generation of 28 vehicles is approximately 1.9% of the 1,500 veh/h capacity of a single lane with stop control.

The impact of increased peak hour traffic to Old Lincoln Highway for each phase is as follows:

	Trips	% increase
• Phase 1:	2	0.13%
• Phase 2:	16	1.1%
• Phase 3:	10	0.67%

No significant impact is anticipated on the existing road network.

ITE Trip Generation Rates - 10th Edition
Pass-by rates from ITE Trip Generation Handbook - 2nd Edition
 (copyrights, Institute of Transportation Engineers)

Description/ITE Code		Units		ITE Vehicle Trip Generation Rates (peak hours are for peak hour of adjacent street traffic unless highlighted)												Units		Expected Units	Total Generated Trips				Total Distribution of Generated Trips												
				Weekday		AM	PM	Pass-By	AM In	AM Out	PM In	PM Out	Independent Variable					Daily		AM Hour		PM Hour		AM In		AM Out		Pass-By		PM In		PM Out		Pass-By	
Single Family Homes 210		DU		9.44		0.74	0.99		25%	75%	63%	37%	DU		28.0			264		21		28		5		16		0		17		10		0	

APPLICATION FOR A PRELIMINARY PLAN CONSIDERATION BY GRANTSVILLE CITY PLANNING COMMISSION

An application has been received in our office for consideration of a Preliminary Plan approval for:

Dustin Hall, D.A.B. & K, LLC. on the Willow Fields PUD Subdivision located at approximately at 834 N. Old Lincoln Hwy for the creation of twenty-eight (28) lots in the RR-1 zone.

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A discussion and public hearing to receive public input on the proposed project will be held on April 7, 2022. The Planning Commission will make a recommendation to the City Council on April 21, 2022. All meetings will be held in person and through Zoom on:

Thursday, April 7, 2022 at 7:00 p.m.

You are invited to view the application and proposed plans by emailing me at kclark@grantsvilleut.gov.

If you choose to attend, please wear a face covering. Comments through email or by mail must be received no later than 5:00 p.m. on April 7, 2022. For more information, please call me at 435-884-4604 or email me.

For more information, please email me at kclark@grantsvilleut.gov.

Thank you,


Kristy Clark
Zoning Administrator

Join Zoom Meeting
<https://us02web.zoom.us/j/84177815725>

Meeting ID: 841 7781 5725
One tap mobile
+16699009128,84177815725# US (San Jose)
+12532158782,84177815725# US (Tacoma)

Dial by your location
+1 669 900 9128 US (San Jose)
+1 253 215 8782 US (Tacoma)
+1 346 248 7799 US (Houston)
+1 646 558 8656 US (New York)
+1 301 715 8592 US (Washington DC)
+1 312 626 6799 US (Chicago)

Find your local number:
<https://us02web.zoom.us/j/84177815725>

PRELIMINARY PLAN - WILLOW FIELDS PUD

LOCATED IN THE NORTH HALF OF SECTION 26, TOWNSHIP 2 SOUTH, RANGE 6 WEST, SALT LAKE BASE AND MERIDIAN, GRANTSVILLE, TOOELE COUNTY, UTAH

ZONING INFORMATION:

- CURRENT ZONE: RR-1
- SINGLE FAMILY DWELLING = PERMITTED
- FAMILY DWELLING MINIMUM LOT SIZE : 43,560 SQ. FT.
- MIN LOT FRONTAGE: 50 FT. AT FRONT PROPERTY LINE.

SETBACKS

- MIN FRONT YARD: 40 FT
- MIN REAR YARD FOR MAIN BUILDING: 30 FT
- MIN REAR YARD FOR ACCESSORY BUILDING: 2 FT
- MIN SIDE YARD FOR MAIN BUILDING, EACH SIDE, INTERIOR: 15 FT
- TWO FRONT AND TWO SIDE YARD FOR CORNER LOTS
- MIN SIDE YARD FOR ACCESSORY BUILDINGS: 4 FT
- MAX BUILDING HEIGHT: 35 FT
- MAX BUILDING LOT COVERAGE (ALL BUILDINGS): 20%

PROPOSED SETBACK MODIFICATIONS

FOR LOTS OF THE 0.5-ACRE CLASS THE ZONING REGULATIONS ARE THOSE AS IDENTIFIED IN SECTION 15.1 R-1-21 WITH THE FOLLOWING MODIFICATIONS:

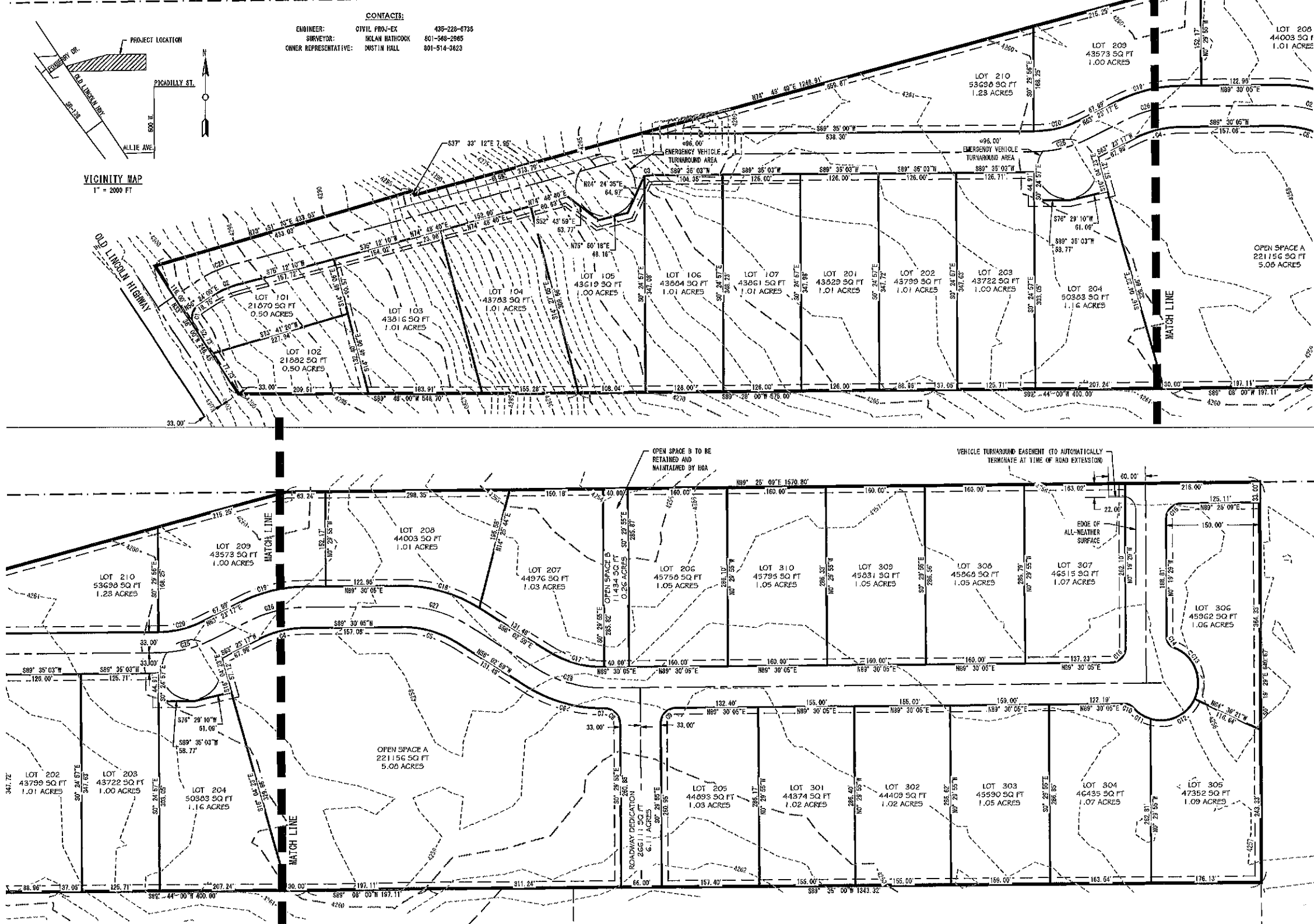
- MINIMUM YARD SETBACK ON CORNER LOTS INCLUDE: ONE FRONT YARD OF 40 FT, ONE REAR YARD OF 25 FT, ONE INTERIOR SIDE YARD OF 10 FT, AND ONE STREET SIDE YARD OF 25 FT.

FOR LOTS OF THE 1-ACRE CLASS THE ZONING REGULATIONS ARE THOSE AS IDENTIFIED IN SECTION 14.5 RR-1 WITH THE FOLLOWING MODIFICATIONS:

- Minimum yard setback on corner lots include: one front yard of 40 ft, one rear yard of 30 ft, one interior side yard of 15 ft, and one street side yard of 30 ft.

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
G1	39.27	25.00	90° 00' 00"	N11° 24' 00"E	35.36
G2	54.80	167.00	18° 48' 10"	N65° 48' 06"E	54.56
G3	21.71	167.00	7° 26' 55"	S85° 51' 35"W	21.70
G4	76.11	167.00	26° 06' 47"	S76° 26' 41"W	76.45
G5	94.58	167.00	32° 26' 57"	N74° 16' 27"W	93.32
G6	131.66	233.00	32° 26' 57"	N74° 16' 27"W	130.20
G7	131.66	233.00	32° 26' 57"	N74° 16' 27"W	130.20
G8	39.27	25.00	89° 58' 58"	N45° 29' 57"W	35.36
G9	39.27	25.00	90° 00' 00"	S44° 30' 05"W	35.38
G10	15.82	18.50	49° 00' 02"	S55° 59' 54"E	15.34
G11	32.14	90.00	31° 38' 53"	S57° 19' 20"E	32.72
G12	85.36	90.00	81° 30' 35"	N65° 05' 57"E	78.34
G13	85.48	90.00	94° 59' 50"	N22° 09' 18"W	88.47
G14	22.39	18.50	89° 19' 45"	N34° 59' 22"W	21.04
G15	35.18	25.00	89° 44' 38"	N44° 32' 50"E	35.28
G16	35.19	25.00	89° 49' 34"	N44° 35' 18"E	35.30
G17	94.58	167.00	32° 26' 57"	S74° 16' 27"E	93.32
G18	131.66	233.00	32° 26' 57"	S74° 16' 27"E	130.20
G19	106.19	233.00	26° 06' 47"	N75° 26' 41"E	105.28
G20	76.35	167.00	26° 11' 45"	N75° 29' 10"E	75.69
G23	65.03	200.00	18° 48' 10"	N65° 48' 06"E	65.34
G24	51.57	200.00	14° 46' 23"	N82° 11' 51"E	51.42
G25	51.44	200.00	26° 11' 45"	N75° 29' 10"E	50.65
G26	51.15	200.00	24° 06' 47"	N75° 26' 41"E	50.37
G27	113.27	200.00	32° 26' 57"	S74° 16' 27"E	111.76
G28	113.27	200.00	32° 26' 57"	S74° 16' 27"E	111.76



CONTACTS:

ENGINEER: CIVIL PROJ-EX 435-228-0735
SURVEYOR: NOLAN HATHORCK 801-548-2965
OWNER REPRESENTATIVE: DUSTIN HALL 801-514-3823

VICINITY MAP
1" = 2000 FT

GRANTSVILLE CITY ENGINEER

APPROVED THIS _____ DAY OF _____, 20____
BY THE GRANTSVILLE CITY ENGINEER.

GRANTSVILLE CITY PUBLIC WORKS

APPROVED THIS _____ DAY OF _____, 20____
BY THE GRANTSVILLE PUBLIC WORKS DEPARTMENT

GRANTSVILLE CITY PUBLIC WORKS DIRECTOR

PRELIMINARY PLAN

Project Number: 21-45015
Designed By: BVB
Drawn By: BVB
Date Issued: 2022.03.08

WILLOW FIELDS PUD
GRANTSVILLE, UTAH
TOOELE COUNTY, UTAH

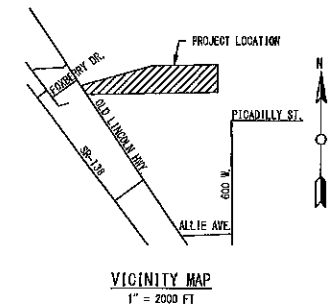
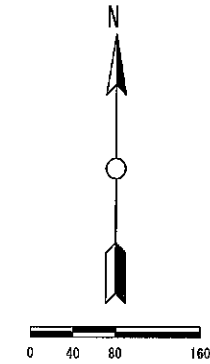
Project Name: _____

CIVIL PROJ-EX, INC.
ENGINEERS & PLANNERS
966 QUIRK STREET
GRANTSVILLE, UTAH 84009

PROFESSIONAL ENGINEER
7224167
BARRY V. BUNDERSON
2022.03.08
STATE OF UTAH

3/14/2022 12:19:04 PM
Sheet Name: _____
V-100

LOCATED IN THE NORTH HALF OF SECTION 26, TOWNSHIP 2 SOUTH, RANGE 6 WEST, SALT LAKE BASE AND MERIDIAN, GRANTSVILLE, TOOELE COUNTY, UTAH



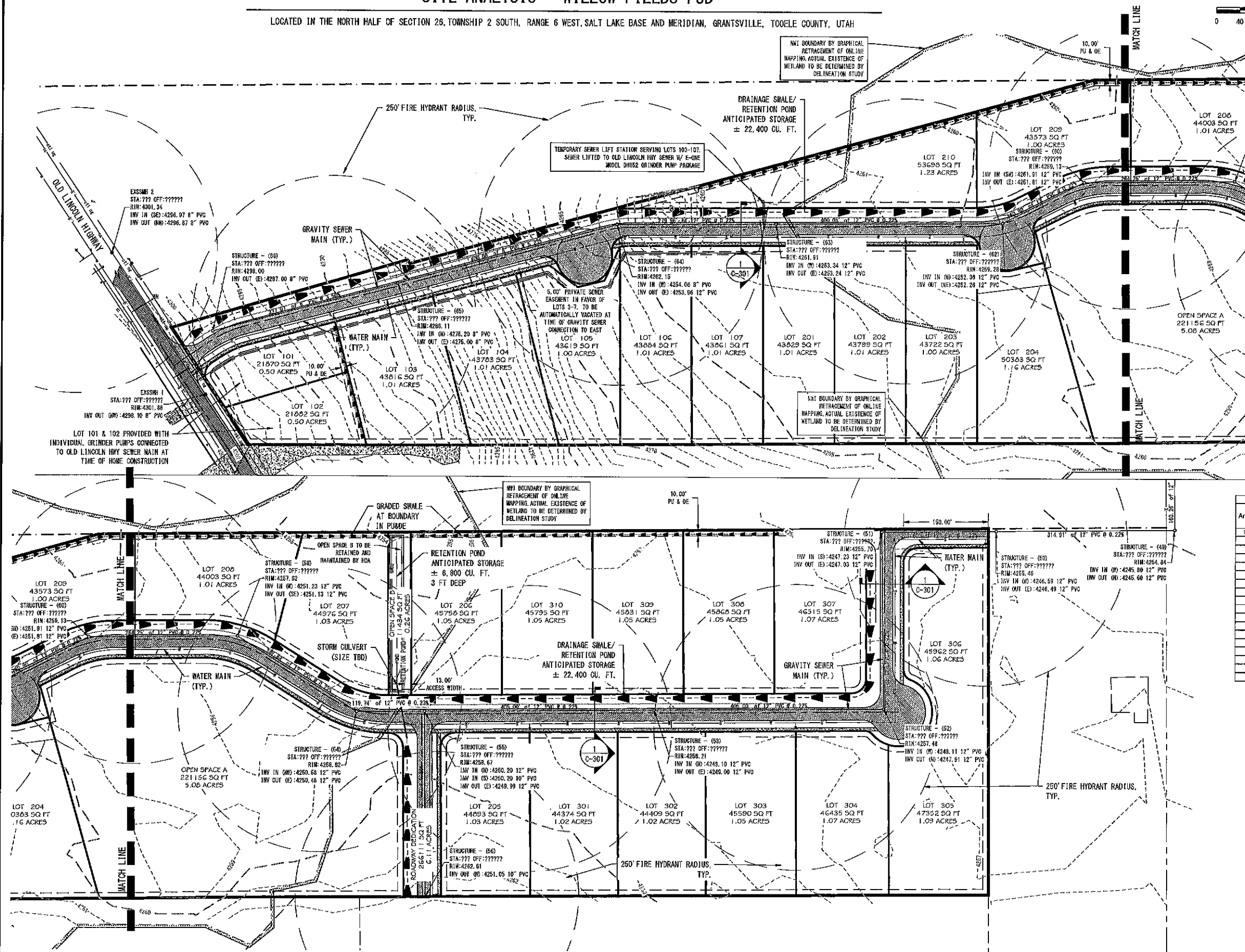
GRANTSVILLE CITY PUBLIC WORKS DIRECTOR

V-701

1	City Public Works requires 4500 PSI concrete for Public Way Improvements	BVB	8.12.21
No.	Revisions	By	Date

SITE ANALYSIS - WILLOW FIELDS PUD

LOCATED IN THE NORTH HALF OF SECTION 26, TOWNSHIP 2 SOUTH, RANGE 6 WEST, SALT LAKE BASE AND MERIDIAN, GRANTSVILLE, TOOELE COUNTY, UTAH



SITE ANALYSIS NARRATIVE

- THE PURPOSE OF THE SITE ANALYSIS MAP IS TO ENSURE THAT THE IMPORTANT SITE FEATURES HAVE BEEN ADEQUATELY IDENTIFIED PRIOR TO THE CREATION OF THE SITE DESIGN, AND THAT THE PROPOSED OPEN SPACE (WHERE APPLICABLE) WILL MEET THE REQUIREMENTS OF CHAPTER 21, SECTION 21.1.13.
- THIS PRELIMINARY PLAN INCLUDES THE PLANNED UNIT (PUD) SUBDIVISION OF TOOELE COUNTY PARCEL 01-042-0-0102 INTO 27 RESIDENTIAL SINGLE-FAMILY LOTS IN A THREE PHASED DEVELOPMENT. THE CURRENT ZONING IS RR-1.
- THE ACREAGE OF THE ENTIRE TRACT IS 1,678,178 SQ. FT. OR 38.63 ACRES.
- GENERAL VEGETATION CHARACTERISTICS INCLUDE GRASS, WEEDS, SAGEBRUSH AND A FEW SMALL TREES.
- GENERAL SOILS TYPES CONSIST PRIMARILY OF SILT TO ORGANIC SILT (CL TO OL) AND SILTY CLAY (CL) EXTENDING TO THE FULL DEPTH PENETRATED, 12 FEET PER THE ONT ENGINEERING LABORATORIES GEOTECHNICAL STUDY DATED JULY 8, 2021. GROUNDWATER WAS ENCOUNTERED AT THE TIME OF FIELD EXPLORATIONS IN SEVERAL TEST PITS ABOUT 5-6 FEET BELOW THE EXISTING GROUND SURFACE.
- THEREFORE, GROUNDWATER MAY AFFECT DEEPER EXCAVATIONS.
- THE SITE IS IN ZONE "B" PER FEMA PANEL 4904610000 DATED 11/18/2009.
- THE PROJECT ANTICIPATES CONNECTING TO THE CITY WATER SYSTEM FOR ALL LOTS. THE PROJECT PLANS TO CONNECT TO THE CITY SEWER SYSTEM FOR ALL LOTS.
- STORM DRAIN ILLUSTRATION WILL INCLUDE A 100-YEAR RETENTION POND WITHIN THE ROADSIDE SWALES CREATED BY A SERIES OF CHECK DAMS, OR AS REQUIRED AS PART OF OPEN SPACE B AND OR LOTS 206 & 207. THE HYDRAULIC SOIL GROUP IS "C".

Retention Volumes by SCS Method					
Area (sq. ft.)	Pre development runoff "C"	Post development runoff "C"	Pre development Storage "S"	Post development Storage "S"	
1678178	74	79	3.51	2.66	
24 Hour Rain fall depths					
2yr	10 yr	25 yr	50 yr	100 yr	
1.21	1.85	1.91	2.11	2.31	
Pre Development Runoff Volumes Cu. Ft.					
2yr	10 yr	25 yr	50 yr	100 yr	
8951	28193	43179	56285	70552	
Post Development Runoff Volumes Cu. Ft.					
2yr	10 yr	25 yr	50 yr	100 yr	
16287	48314	65821	82234	99688	
Required Retention Volumes - Cu. Ft.					
2yr	10 yr	25 yr	50 yr	100 yr	
10336	18152	22842	25948	29135	
10336	18152	22842	25948	29135	

OPEN SPACE NARRATIVE

- OPEN SPACE MEETS REQUIREMENTS BY PROVIDING 6 ACRES OR 13% OF THE GROSS SUBDIVISION AREA. THE 6 ACRES ARE PROVIDED BY OPEN SPACE PARCELS A AND B.

CONTACTS:

ENGINEER: CIVIL PROJ-EX 435-228-5738
SURVEYOR: NOLAN HATHROCK 801-568-2965
OWNER REPRESENTATIVE: DUSTIN HALL 801-514-3823

GRANTSVILLE CITY ENGINEER

APPROVED THIS _____ DAY OF _____

BY THE GRANTSVILLE CITY ENGINEER.

CITY ENGINEER

GRANTSVILLE CITY PUBLIC WORKS

APPROVED THIS _____ DAY OF _____

BY THE GRANTSVILLE PUBLIC WORKS DEPARTMENT

GRANTSVILLE CITY PUBLIC WORKS DIRECTOR

Project Name:

WILLOW FIELDS PUD
GRANTSVILLE,
TOOELE COUNTY, UTAH

CIVIL PROJ-EX, INC.
ENGINEERS & PLANNERS
960 QUINN STREET
GRANTSVILLE, UTAH 84029

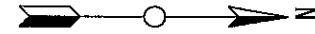


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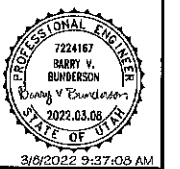
SITE ANALYSIS

PRELIMINARY PLAN		Project Number		Designed By		Drawn By		Date Issued		By		Date	
21-45015		BVB		2022.03.08		BVB		2022.03.08		BVB		3/12/21	
1		City Public Works requires ASD PER approval for Public Way Improvements		Regulations									

LOCATED IN THE NORTH HALF OF SECTION 26, TOWNSHIP 2 SOUTH, RANGE 6 WEST, SALT LAKE BASE AND MERIDIAN, GRANTSVILLE, TOOELE COUNTY, UTAH



GRANTSMILLE CITY PUBLIC WORKS DIRECTOR



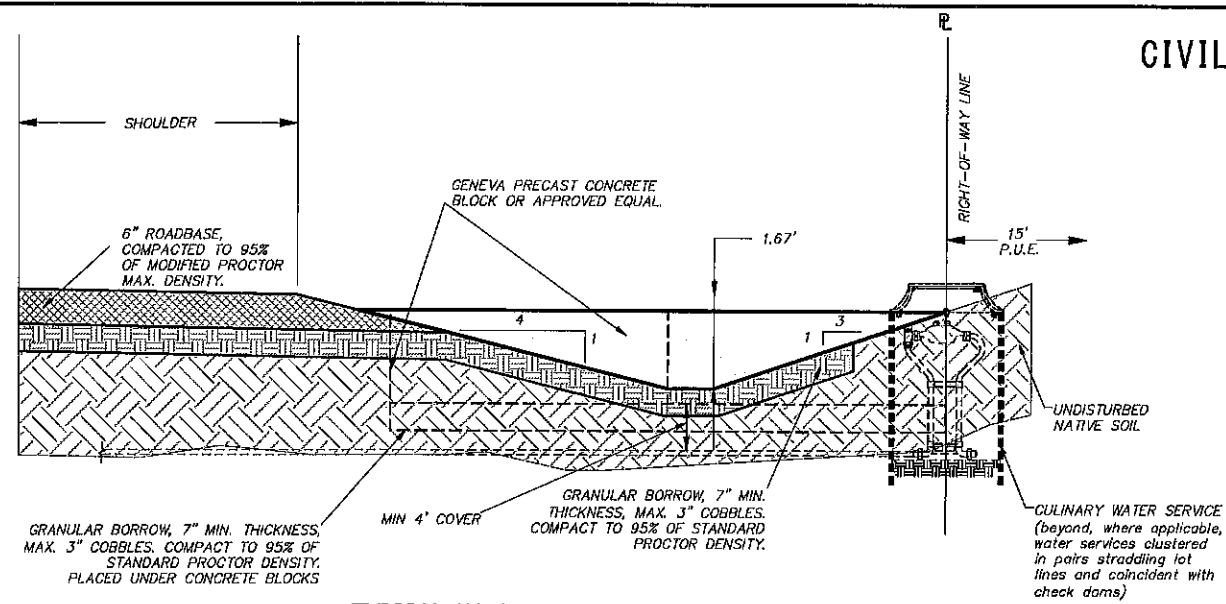
CU-103

PRELIMINARY PLAN	Project Number 21-45015	Designed By BYB
	Drawn By BYB	Date Issued 2022.03.08

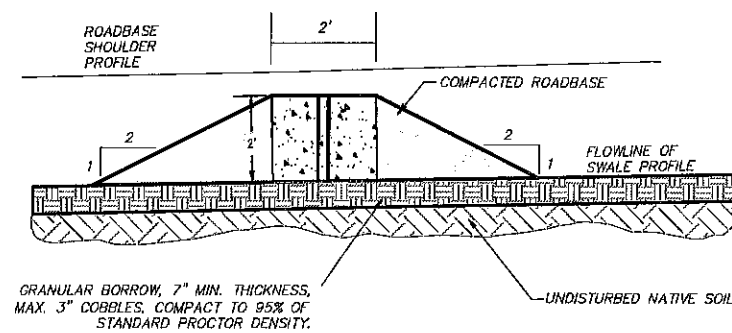
WILLOW FIELDS PUD
GRANTSVILLE,
TOOELE COUNTY,UTAH

1	City Public Works requires 4500 PSI concrete for Public Way Improvements	8/9	8/22/21
No	Residents	BY	DEG

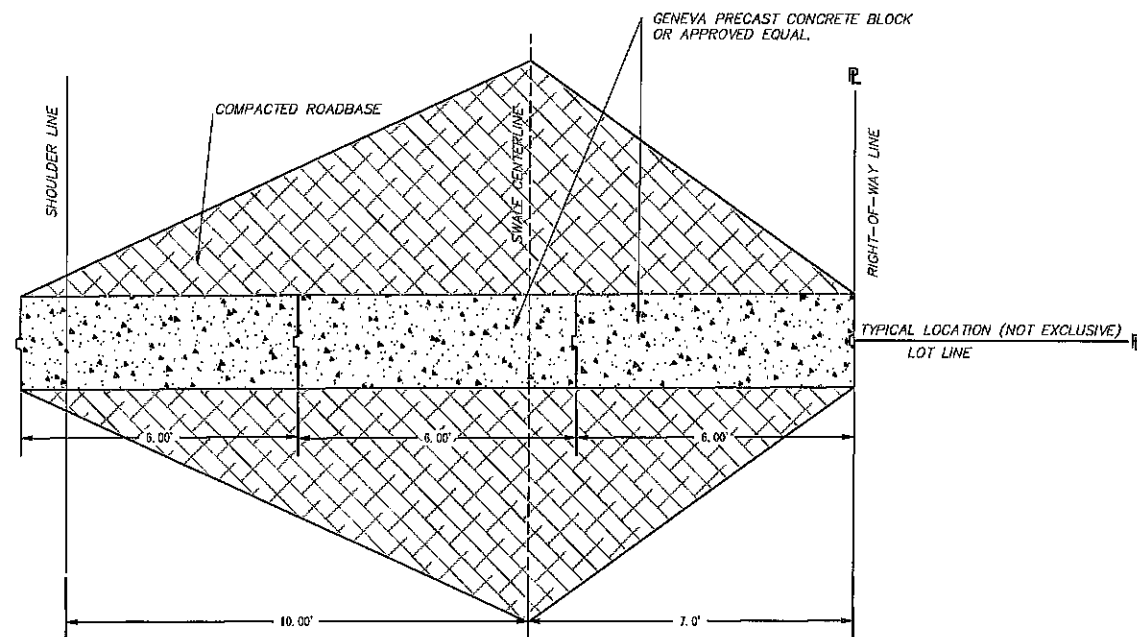
CIVIL SECTIONS



TYPICAL CHECK DAM PROFILE



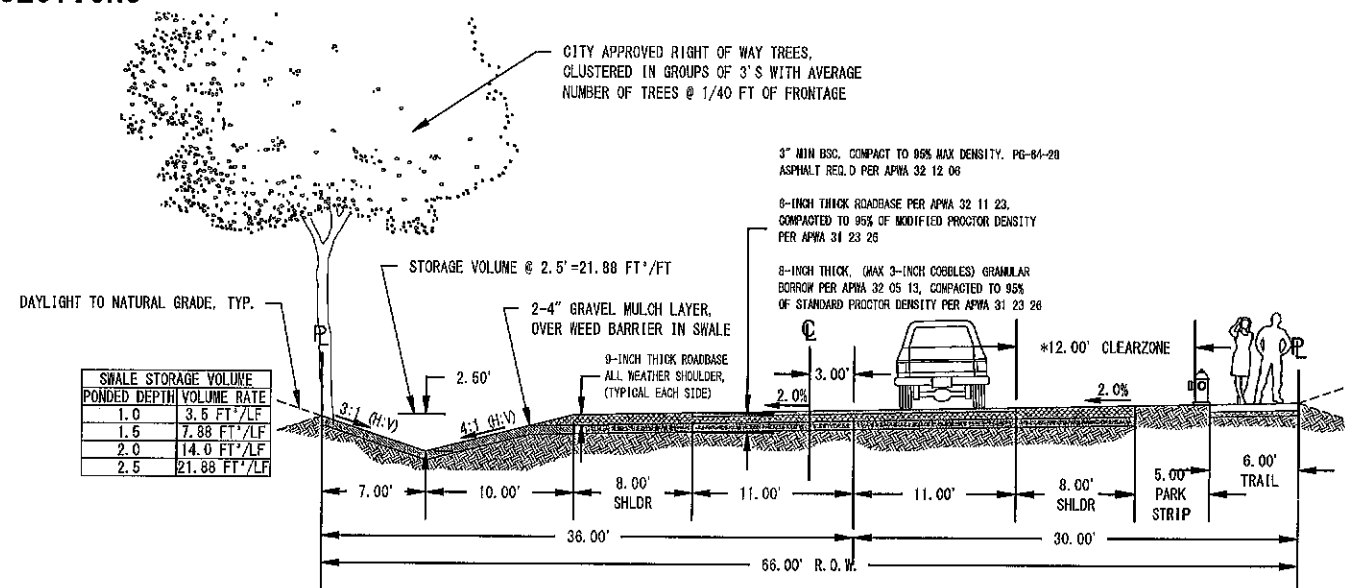
TYPICAL CHECK DAM CROSS-SECTION



TYPICAL CHECK DAM PLAN VIEW

5 CHECK DAM

Scale: NTS



* COMPLIES WITH ROADSIDE DESIGN GUIDE TABLE 3.1 FOR DESIGN SPEED LESS THAN 40 MPH AND ADT 750-1500

PROPOSED WILLOW FIELDS TYPICAL LOCAL ROADWAY

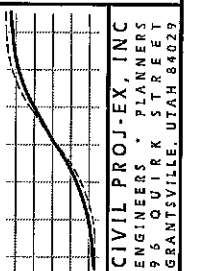
SCALE: NTS

SWALE STORAGE VOLUME	
PONDED DEPTH	VOLUME RATE
1.0	3.5 FT ³ /LF
1.5	7.88 FT ³ /LF
2.0	14.0 FT ³ /LF
2.5	21.88 FT ³ /LF

[illegible]

PRELIMINARY PLAN	
Project Number 20-45015	Designed By BVB
Drawn By BVB	Date Issued 2022.03.14

WILLOW FIELDS PUD
GRANTSVILLE,
TOOELE COUNTY, UTAH



GRANTSVILLE CITY ENGINEER

APPROVED THIS _____ DAY OF _____

BY THE GRANTSVILLE CITY ENGINEER..

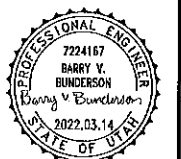
CITY ENGINEER

GRANTSVILLE CITY PUBLIC WORKS

APPROVED THIS _____ DAY OF _____

BY THE GRANTSVILLE PUBLIC WORKS DEPARTMENT

GRANTSVILLE CITY PUBLIC WORKS DIRECTOR



3/14/2022 12:01:37 PM

C-301

DISCUSSION ITEM #7 AND PUBLIC HEARING AGENDA ITEM #G

Amend Chapter 7, Conditional Uses, sections, #7.5.1 and #7.8, in the Grantsville City Land Use Management and Development Code.

7.5 Application

- (1) ~~A conditional use permit application shall be made to the Zoning Administrator no later than 21 days prior to a scheduled Planning Commission meeting.~~ The Planning Commission may authorize the Zoning Administrator to grant, attach conditions to, or deny conditional use permits, subject to such limitations or qualifications as are deemed necessary. The Zoning Administrator is also authorized to issue conditional use permits for family food production, the raising of animals and commercial uses in existing buildings, when appropriate, but may also defer any such application to the Planning Commission for its determination, in the sole discretion of the Zoning Administrator.
- (2) The Zoning Administrator shall send out the appropriate notification for all conditional use permits. If comments are received that indicate a concern about the proposed conditional use, the conditional use shall be sent to Planning Commission for their consideration.
- (3) The Zoning Administrator does not have authority to approve commercial conditional use permits requiring construction of new facilities or requiring exceptions or variances to the city ordinances and standards.
- (4) All applications for a conditional use permit shall include (Amended 1/03):
 - (a) The applicant's name, address, telephone numbers and interest in the property;
 - (b) The owner's name, address and telephone number, if different than the applicant, and the owner's signed consent to the filing of the application;
 - (c) The street address and legal description of the subject property;
 - (d) The zoning classification, zoning district boundaries and present use of the subject property;
 - (e) A vicinity map with North, scale and date, indicating the zoning classifications and current uses of properties within ~~300 feet~~ 500 feet of the boundaries of the subject property. When a conditional use permit will be considered by the Planning Commission, the application shall also include a current plat map showing the names and addresses of all property owners appearing on the tax rolls of the Tooele County Assessor within 300 feet of the boundaries of the subject property.
 - (f) A plat or a survey of the parcel of land, lots block, blocks, or parts or portions thereof, drawn to scale, showing the actual dimensions of the piece or parcel, lot, lots, block, blocks, or portions thereof, according to the registered or recorded plat of such land;
 - (g) The proposed title of the project and the names, addresses and telephone numbers of the architect, landscape architect, planner or engineer on the project;
 - (h) A complete description of the proposed conditional use;
 - (i) A plan or drawing drawn to scale of twenty feet to the inch (20' = 1 inch) or larger which includes the following information of the proposed use:
 - i. actual dimensions of the subject property;
 - ii. exact sizes and location of all existing and proposed buildings or other structures;
 - iii. driveways;
 - iv. parking spaces;
 - v. safety curbs;
 - vi. landscaping;

vii. location of trash receptacles; and

viii. drainage features and environmental features.

(j) Traffic Impact Analysis;

(k) A statement indicating whether the applicant will require a variance in connection with the proposed conditional use permit;

(l) Envelopes, mailing labels and first class postage for all property owners located within ~~300 feet~~ **500 feet** of the subject property when a conditional use permit will be considered by the Planning Commission; and

(m) Such other further information or documentation as the Zoning Administrator may deem to be necessary for a full and proper consideration and disposition of the particular application.

Amended 01/03 by Ordinance 2003-02

HISTORY

Amended by Ord. 2021-12 on 4/28/2021

7.8 Determination

(1) The Planning Commission, or upon authorization, the Zoning Administrator, may permit a use to be located within a zoning district in which a conditional use permit is required by the use regulations of that zoning district or elsewhere in these ordinances. The Zoning Administrator is also authorized to issue conditional use permits for family food production and the raising of ~~horse's animals, in the R-1-21 and RM-7 zoning districts,~~ when appropriate, but may also defer any such application to the Planning Commission for its determination, in the sole discretion of the Zoning Administrator. In authorizing any conditional use the Planning Commission or Zoning Administrator shall impose such requirements and conditions as are necessary for the protection of adjacent properties and the public welfare. The Planning Commission or Zoning Administrator shall only approve with conditions, or deny a conditional use based upon written findings of fact with regard to each of the standards set forth below and, where applicable, any special standards for conditional uses set forth in a specific zoning district. The Planning Commission or Zoning Administrator shall not authorize a conditional use permit unless the evidence presented is such as to establish:

(a) The proposed use is one of the conditional uses specifically listed in the zoning district in which it is to be located;

(b) That such use will not, under the circumstances of the particular case, be detrimental to the health, safety, comfort, order or general welfare of persons residing or working in the vicinity;

(c) That the use will comply with the intent, spirit, and regulations of these ordinances and is compatible with and implements the planning goals and objectives of the City, including applicable City master plans;

(d) Make the use harmonious with the neighboring uses in the zoning district in which it is to be located;

(e) That nuisances which would not be in harmony with the neighboring uses, will be abated by the conditions imposed;

(f) That protection of property values, the environment, and the tax base for Grantsville City will be assured;

- (g) That the conditions shall be in compliance with the current comprehensive General Plan of Grantsville City;
- (h) That some form of a guarantee is made assuring compliance to all conditions that are imposed;
- (i) That the conditions imposed are not capricious, arbitrary or contrary to any precedence set by the Planning Commission on prior permits, which are similar in use and district, unless prior approvals were not in accordance with the provisions and standards of this ordinance;
- (j) The internal circulation system of the proposed development is properly designed;
- (k) Existing and proposed utility services are adequate for the proposed development;
- (l) Appropriate buffering is provided to protect adjacent land uses from light, noise and visual impacts;
- (m) Architecture and building materials are consistent with the development and compatible with the adjacent neighborhood;
- (n) Landscaping is appropriate for the scale of the development;
- (o) The proposed use preserves historical, architectural and environmental features of the property; and
- (p) Operating and delivery hours are compatible with adjacent land uses.

GRANTSVILLE CITY PLANNING COMMISSION

NOTICE OF DISCUSSION AND PUBLIC HEARING ON PROPOSAL TO AMEND CHAPTER 7 CONDITIONAL USES OF THE GRANTSVILLE CITY LAND USE MANAGEMENT AND DEVELOPMENT CODE.

Pursuant to the provisions of Section §10-9A-205 and §10-9a-502 of the Utah Code. Notice is hereby given that the Grantsville Planning Commission will hold a discussion and public hearing on April 7, 2022 at 7:00 p.m. at Grantsville City Hall. The meeting will also be broadcast on Zoom. The discussion and public hearing meeting is to discuss and to receive public input and consider action on the proposed amendment of Chapter 7, Conditional Uses of the Grantsville City Land Use Management and Development Code and make a recommendation to the City Council. Documentation associated with this hearing and consideration may be requested through email. All comments and concerns need to be sent in writing through email or mail and received no later than 5:00 p.m. April 7, 2022.

Dated this 24th day of March, 2022.

**BY ORDER OF THE GRANTSVILLE
PLANNING COMMISSION**

Kristy Clark
Zoning Administrator
Email: kclark@grantsvilleut.gov

Join Zoom Meeting
<https://us02web.zoom.us/j/84177815725>

Meeting ID: 841 7781 5725
One tap mobile
+16699009128,84177815725# US (San Jose)
+12532158782,84177815725# US (Tacoma)

Dial by your location
+1 669 900 9128 US (San Jose)
+1 253 215 8782 US (Tacoma)
+1 346 248 7799 US (Houston)
+1 646 558 8656 US (New York)
+1 301 715 8592 US (Washington DC)
+1 312 626 6799 US (Chicago)

Meeting ID: 841 7781 5725
Find your local number: <https://us02web.zoom.us/j/84177815725>

AGENDA ITEM #8
See Discussion Item #1

AGENDA ITEM #9
See Discussion Item #2

AGENDA ITEM #10

See Discussion Item #7

AGENDA ITEM #11



TECHNICAL MEMORANDUM

TO: Kristy Clark, Grantsville City Planning and Zoning Administrator
FROM: Shay Stark, Project Manager
DATE: April 1, 2022
SUBJECT: Holly Willow Townhomes PUD and CUP
PROJECT NO.:

An application has been submitted to Grantsville City proposing construction of ten townhomes, built as rental units on an existing lot located at 225 South Willow Street. At first the application was submitted as a conditional use. After review, it was realized that while the bulk of the project met the Zoning requirements the driveway access would require an exception. It was determined by staff that the best option would be to require the project to go through the PUD process following previous precedence. This process allows the City to consider exceptions based upon the merits of the proposed application. Thus, not setting precedent with unintended consequences in asking for exceptions without adequate justification.

On January 20, 2022 a Public Hearing was held for the application. There were a significant number of comments provided during the public comment period and public hearing. One of those comments included the fact that the PUD ordinance requires a minimum of 5 acres in the RM-7 zone for its use. A few days after the public hearing staff met with the Applicant and asked the Applicant to provide response to the public comment. Staff also discussed ways the project could be changed to meet the code requirements therefore not requiring a PUD. It was obvious to all that participated in that discussion that the steps taken to bring the application into compliance with the code would also fly directly against many of the concerns of the public. In order to meet the code requirements, the townhouses would have to be located on the side setback line of the property and a full width 66-foot-wide private street would be required up against the opposite property line. Very little buffer space would be available.

The Applicant then chose to create two layouts to put before the City Council for their comment. One fully meeting the code requirements and a second layout that narrowed up the driveway and moved the buildings further in so that trees and other landscaping could be located around the sides of the property to create a buffer between the units and the surrounding properties.

On February 2, 2022, the proposed project was put before City Council for discussion. Several ideas were gleaned from the City Council meeting and the Applicant's overall impression was that the City Council preferred the second layout and provided suggestions to improve that layout. Additionally, it was the impression of the Applicant that the City Council wanted the project to go through the PUD process to address these changes. This was also the previous direction that City Council followed for the new apartments located at 328 Main Street. The two layouts an explanatory letter by the Applicant and the City Council Minutes have been provided in the Planning Commission Packet.

The Applicants have submitted a revised layout for the PUD addressing the City Council comments and addressing the public's comments to the degree the Applicants feel is feasible. It is important to recognize that the Zoning does allow for the development of multifamily housing and the number of units proposed falls within the number of units allowed by the zoning requirement based upon the size of lot that they are proposed to be located on.

In light of the previous public comment, and the Applicants response to the public comment, Planning Commission may desire to weigh the use of the PUD to provide a layout that better address many of the points brought forward by the public comment, or direct the Applicant to use the plan presented to City Council that meets the code and does not require the use of the PUD or provide guidance for another alternative.

Based upon a favorable discussion and consideration of the proposed application by Planning Commission. It is recommended that the Planning Commission recommend approval of the PUD and CUP to City Council. Please include any stipulations or conditions that are desired by Planning Commission in the motion.

END



Holly Willow Townhomes

Oftentimes at a public hearing there is the misconception that the decision being made is, Do we build a project or not. This is not the case. The decision being made is, How is the project going to be built?

In the P&Z public hearing, a question was raised, "Why are we even here?". The answer to that question, because we want the best end result for everyone. Doing everything "To Code", assumes that the code ensures the best end result, that is not always the case.

This project complies with the Grantsville City General Plan which was most recently updated in 2020.

This property is currently zoned RM-7, "The RM-7 Zoning District is intended to provide areas for medium density single family and multi-family residential with the opportunity for varied housing styles and character." This zoning has been in place since the 1960's – we are not asking for a rezone of the property. The property is not zoned for agriculture. In fact, the keeping of large animals is only permitted with a conditional use permit in the RM-7 Zone.

This property is 1.48 acres in size. Code requires 7,000 sq. ft. for the first unit and 6,000 sq. ft. for each additional unit up to a maximum of 7 dwelling units per acre. $1.46 \times 7 = 10.22$ units for this property. $7,000 + 6,000(9) = 61,000$ sq. ft. $1.48 \times 43,560 = 64,468.80$ sq. ft. 10 units on this property meets code.

The RM-7 zone requires a minimum front set back of 25 feet, side yard set backs of 7.5 feet, and rear set back of 20 feet.

Per City Code Chapter 2 definitions: Private Street – a private street serving more than two units must be developed to the standards and specifications of a standard residential street. This means per code the street would need to be developed at 66 feet wide with a 42 foot minimum pavement width.

Per code we get Concept 6 (CON-6).

We would prefer to build our P.U.D plan:

1. It allows us to move the buildings more to the center of the property and more evenly over the entire property. 50' front set-back and 23.1' side set-back.
 - a. This obviously would give more space between the buildings and the neighbors.
 - b. This would allow for more space for trees and landscaping to screen the neighbors.
2. 8' privacy fence around the property.
3. Landscaping – including trees placed as part of a screening plan.
4. Downward directed lighting to reduce light pollution.
5. Onsite playground.
6. Onsite parking – each unit has a two-car garage and two parking spaces in the driveway. Parking along the south side of the driveway will allow for additional onsite parking.

The only concession that we are asking for is a reduction in the private street requirement of 42' of pavement to 32' of pavement. 32' of pavement will allow for parking along the south side of the property. No parking will be permitted on the north side of the driveway/private street. 32' of pavement with parking on one side only meets International Fire Code.

Approved

**MINUTES OF THE REGULAR MEETING OF THE GRANTSVILLE CITY COUNCIL,
HELD ON FEBRUARY 2ND 2022 AT THE GRANTSVILLE CITY HALL, 429 EAST
MAIN STREET, GRANTSVILLE, UTAH AND ON ZOOM. THE MEETING BEGAN
AT 7:00 P.M.**

Mayor and Council Members Present:

Mayor Neil Critchlow
Jolene Jenkins
Scott Bevan
Jeff Hutchins
Darrin Rowberry
Jewel Allen

Council Members Not Present:

Appointed Officers and Employees Present:

Sherrie Broadbent, Finance Director
Crystal Oldewage, HR/Treasurer
Dan England, City Engineer (via Zoom)
Jacob Enslen, Police Chief
Braydee Baugh, Recorder
Jesse Wilson, City Manager
Brett Coombs, City Attorney

Citizens and Guests Present:

Derek Dalton
Krista Hutchins
Holly Jones
Todd Castagno

There were many members of the public present in person and via Zoom

Mayor Critchlow asked Councilmember Jeff Hutchins to lead the Pledge of Allegiance.

AGENDA:

1. Public Comments:

2. Summary Action Items.

a. Approval of minutes from January 19th, 2022 regular meeting

Approved

Second: Councilmember Rowberry seconded the motion.

Vote: The vote was as follows: Councilmember Rowberry, "Aye", Councilmember Hutchins, "Aye", Councilmember Bevan, "Aye", Councilmember Allen "Aye", and Councilmember Jenkins, "Aye". The motion carried.

8. Discussion with Holly Jones and Proposed Multiple Housing Conditional Use/Site Plan and PUD Applications for property located at 225 S Willow Street for the creation of 10 units in the RM-7 zone

Holly Jones was present for this item and provided the council with some information regarding the plans for this development. She provided a concept plan that showed the "to code" design of this lot and also a plat that reflected the "PUD" design of the same lot. She explained she was ask for a PUD because it would be more thoughtful to the neighboring properties. She noted it would be cheaper for her to build the lot to the current City code, but again was trying to accommodate the neighbors. She advised she is putting in a 8 foot privacy fence as opposed to the standard 6 already. There was discussion regarding the ability to do a PUD because she was on less than a 1 acre lot. Mayor Critchlow advised he didn't think there was zoning in 1967. Ms. Jones explained she did find a very old map confirming the zoning. Mayor Critchlow explained he was concerned about putting 10 homes in an area where neighbors have animals and have had animals for a while and townhomes would impact the neighbors. **There was audio played from a Councilmembers Ipad of Planning and Zoning Administrator Kristy Clark and contract Planner Shay Stark starting a DRC; neither were in attendance during the meeting and no content of relevance was contributed.** Ms. Jones acknowledged there were going to be issues with the amount of growth in the City. She continued there is a shortage of affordable housing available to people and was trying to create spaces to work with the few RM-7 zones available. She noted as a local that opportunity is there for her as opposed to a developer who is not going to care about the neighbors and try to maximize their profit. Councilmember Jenkins noted she is on the same page as Ms. Jones but also recognizes this may not be the correct place for this type of development due to Willow Street being narrow. Councilmember Hutchins noted the reality is the concept fits the zone. He continued he doesn't agree with the concept for this area, however City Council is very limited on what they are allowed to deny. He noted the City has previously been sued for denying plans that fit in the zone. He appreciated Ms. Jones coming to the City Council and maybe there are a few things they can adjust. Attorney Coombs noted she has to apply for the PUD and get approval from City Council for that. Councilmember Bevan asked about the price range for these homes and Ms. Jones advised they would be rentals.

9. Approval of the Water Right Transfer and Banking Agreement with Grantsville City and LO Capital.



Kristy Clark <kclark@grantsvilleut.gov>

225 Willow PUD application concerns

2 messages

Karissa Killian <ckillian0611@gmail.com>

Wed, Feb 2, 2022 at 11:15 PM

To: Kristy Clark <kclark@grantsvilleut.gov>

Dear Mrs. Clark,

I am a concerned resident at 235 Willow St. on the south side of 225 Willow where the PUD is being proposed. I am emailing in regards to these applications that will be presented again at tomorrow's planning and zoning meeting. I would also like to request a copy of the plans that Holly Jones passed around at the meeting tonight. If I recall, there was a code plan, a PUD plan, and plans or pictures of townhomes that she already owns and rents in Tooele City. I'm not sure if you were at the meeting tonight, but I also emailed the mayor and city council members. I'm not sure who the point of contact to request these documents is, but I remember how helpful you were 2 years ago when a minor subdivision was proposed on this same property.

With 10 rentals at 3 bedrooms each, an average of 30 extra cars will be travelling Willow St. This is already a busy street without the proper traffic controls. There are apartments at the northern intersection with Main St, a trailer park between Main and Durfee, an elementary school up the road as well as South Willow Estates in addition to the neighborhoods existing north and south of Durfee. The road would need to be widened, lines painted and turning lanes added, and street lamps added. A traffic light on Main Street would also be necessary for public safety. Who pays for all of this? Likely, as population density continues to grow, bus stops will also be necessary because even the aforementioned measures won't do much to abate heavy vehicle traffic, as schools and high density housing will likely only increase. So, with the widening of the road to 66 feet, do all of the existing single family homes situated on approximately 1.7 acres that have always been zoned for agriculture lose their street parking? What about spots for emergency pull offs?

Holly Jones mentioned being concerned about the history of Grantsville and previous zoning, yet hardly seems to consider even the existing agricultural lots on either side of 225 Willow. Developments must be 100 feet from livestock and with only 8 feet between these townhomes and livestock on either side, the math doesn't add up. Mrs. Jones also claims to be concerned for every party involved, but proximity to livestock is a negative for both neighboring homeowners and future renters of townhomes. The 40+ extra residents will likely not enjoy the sight, smell, or sound of horses, cows, and roosters. Feral cats will likely do damage to any pets or young children they bring as well. With so many renters in the middle of livestock, the health of livestock is a huge concern as well. What will they feed our animals without us knowing? Trash and drugs have already been an issue in the properties to the north and east of Mrs. Jones due to their proximity to high density trailer park housing.

The infrastructure of this neighborhood and climate region was not designed for this type of development. Grantsville fire chiefs state that pipes must be at least 6 inches to sustain this type of development, yet at the meeting tonight, they are confirmed to be only 4 inches. Who finances and replaces these pipes? In addition, 42 foot driveways are standard for fire safety with parked cars and this application only allows for 36 foot driveways. Current residents have to wake up at midnight to hope they get water shares for their agricultural needs. Yet, not even a thought is given to rezoning and granting these high density developments water for each unit, when the water in Grantsville reservoir is already running low and each winter brings a worse drought to the area. This type of development is pushing out locals as there is such limited respect for this rural and agricultural community.

How tall are these proposed townhomes? Will Mrs. Jones be financing and building 40 foot privacy fences on either side? These types of housing options are not beneficial to all future property seekers as Mrs. Jones suggests that her children will be looking for similar properties in the future. Zoning in Salt Lake County in places like West Valley City and Midvale only allow one property per 1/4 acre and yet, in this rural community, 1.7 acres is being divided into 10 residences? 4 separate single family homes seems like a much more reasonable development of this rural town. I am of the age where I'd like to purchase a home and my peers and I don't want to rent forever or buy condos/townhomes. We want to own a home with a backyard and some privacy. Rentals are a waste of money and cost just as much if not more than a mortgage payment in this market. This is a degradation of the quality of living, and a hindrance to the local economy as renters barely scrape by enough for rent, much less support local businesses. This is not an improvement for future generations.

The issue with this property through the years has been a caring homeowner. Mrs. Jones claims to better the properties she buys, yet complained tonight about the ugly modular home and weeds on the lot. She has owned this property for nearly 2 years and has done much less maintenance to the property than previous owners. A simple mowing of the

weeds when complaints got bad is the only improvement I've seen. When one caring homeowner has been hard to come by, what is the logic that 10 different families of renters will take better care of the property and structures? Especially when the owner remains to be Mrs. Jones who has made no improvements to the property to date.

I appreciate your time.

-Karissa Killian

Kristy Clark <kclark@grantsvilleut.gov>
To: Karissa Killian <kkillian0611@gmail.com>

Thu, Feb 3, 2022 at 2:24 PM

Thank you for your comments Karissa! Unfortunately, we've already had a public hearing on the townhomes on January 20, 2022. We will not have another public hearing when it goes onto the agenda for consideration with the planning commission. I will pass your comments onto the commission. I would be more than happy to send you a copy of the plans that were given to the City Council but I didn't receive a copy of them. Also, this is not on tonight's agenda for the planning commission.

[Quoted text hidden]

--

Kristy Clark

Planning and Zoning Administrator

Phone: (435) 884-4604

Fax: (435) 884-0426

Email: kclark@grantsvilleut.gov

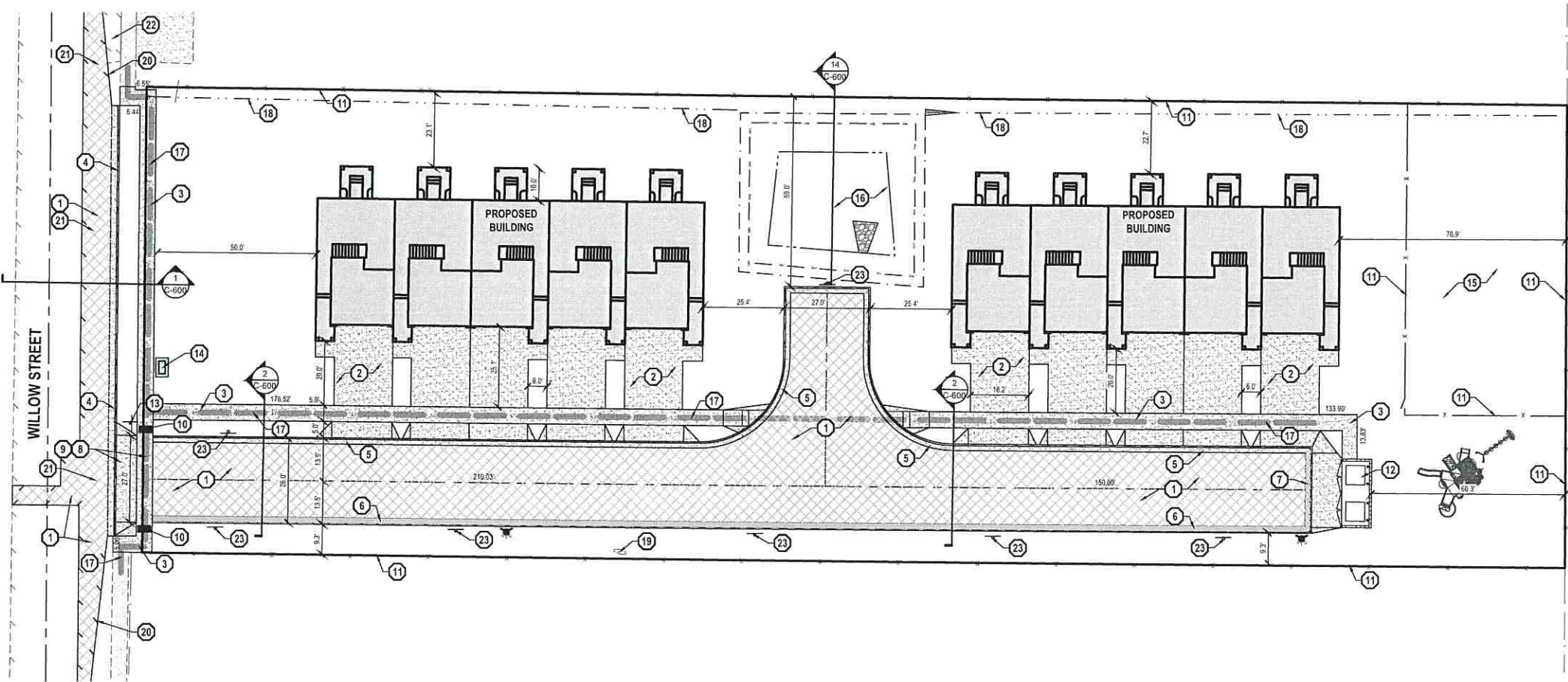


CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK

EXISTING SEWER MANHOLE #102 IN WILLOW STREET.

ELEV. = 4306.32



GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC., UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 ASPHALT PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 70-600.
- 2 CONCRETE PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 80-600.
- 3 8" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231.
- 4 30" TYPE 'A' CURB AND GUTTER PER APWA STANDARD PLAN NO. 205.1.
- 5 24" TYPE 'E' CURB AND GUTTER PER APWA STANDARD PLAN NO. 205.2.
- 6 24" REVERSE PAN CURB AND GUTTER PER DETAIL 90-600.
- 7 TRANSITION BETWEEN COLLECTION CURB AND GUTTER AND REVERSE PAN CURB AND GUTTER.
- 8 FLARED DRIVEWAY APPROACH PER APWA STANDARD PLAN NO. 222 AND SPECIFICATIONS.
- 9 8" THICK CONCRETE SIDEWALK THROUGH DRIVE APPROACH.
- 10 HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 235.2 WITH DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 238.
- 11 FENCE. SEE OWNERS PLANS FOR ADDITIONAL INFORMATION.
- 12 TRASH ENCLOSURE PER ARCHITECTURAL PLANS WITH 6" THICK CONCRETE APRON WITH #4 REBAR @ 24" O.C. E.W. ON 6" GRAVEL BASE.
- 13 "STOP" SIGN PER M.U.T.C.D. STANDARD PLANS.
- 14 TOWNHOUSE SIGN. SEE OWNERS PLANS FOR ADDITIONAL INFORMATION.
- 15 FENCED DOG PARK.
- 16 PLAYGROUND AREA. SEE OWNERS PLANS FOR ADDITIONAL INFORMATION ON PLAYGROUND EQUIPMENT AND GROUND COVER.
- 17 ACCESSIBLE ROUTE.
- 18 DRAINAGE SWALE PER DETAIL 140-600.
- 19 RELOCATE OVERHEAD UTILITIES UNDERGROUND. WORK WITH ROCKY MOUNTAIN POWER.
- 20 TAPER ASPHALT 15:1 INTO EXISTING ASPHALT.
- 21 CONTRACTOR TO VERIFY POSITIVE SLOPE ON PROPOSED ASPHALT BEFORE INSTALLING CURB AND GUTTER.
- 22 CONTRACTOR TO FIELD VERIFY EXISTING ASPHALT DRIVEWAY CONDITION. CUT, REMOVE AND PROPERLY RECONSTRUCT ASPHALT DRIVEWAY.
- 23 "NO PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.

NOTE: MAY CONTAIN KEYNOTES THAT ARE NOT USED ON THIS SHEET.



TOOELE
169 N. Main Street, Unit 1
Tooele, UT. 84074
Phone: 435.843.3590

SALT LAKE CITY
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
HOLLY JONES
627 EAST CHAN DRIVE
TOOELE CITY, UTAH 84074
CONTACT:
HOLLY JONES
PHONE: 435-840-2602

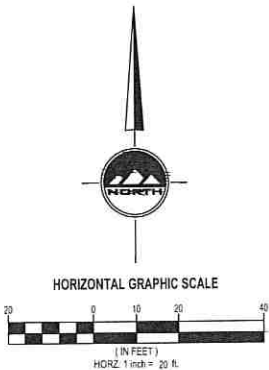
HOLLY WILLOW
ESTATES
225 WILLOW STREET
GRANTSVILLE CITY, UTAH

SITE PLAN

PROJECT NUMBER
10838
PRINT DATE
2021-11-24
DRAWN BY
C.CHILD
CHECKED BY
J. CLEGG
PROJECT MANAGER
C.CHILD

C-200

For Review
11/24/2021 4:25:42 PM



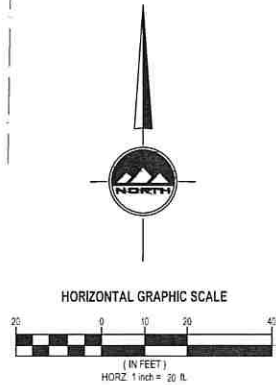
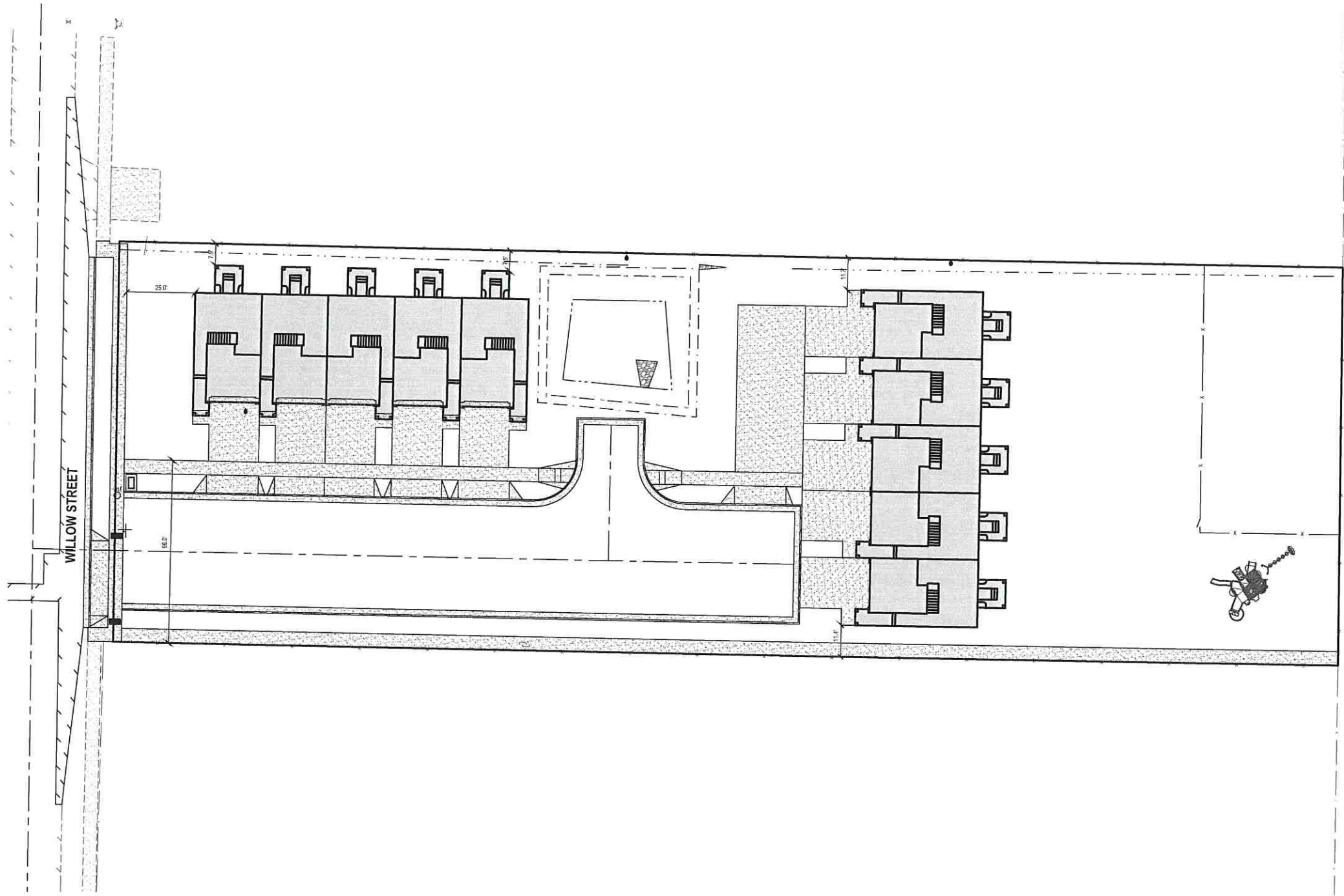


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WWW.ENSIGNENG.COM

For:
HOLLY JONES
627 EAST CHAN DRIVE
TOOELE CITY, UTAH 84074

CONTACT:
HOLLY JONES
PHONE: 435-840-2602

**HOLLY WILLOW
ESTATES**
225 WILLOW STREET
GRANTSVILLE CITY, UTAH

For Review
02/01/2022 7:22:37 AM

CONCEPT 6

PROJECT NUMBER 10898	PRINT DATE 2022-02-01
DRAWN BY C. CHILD	CHECKED BY J. OLEGG
PROJECT MANAGER C. CHILD	

CON-6

GRANTSVILLE CITY PLANNED UNIT DEVELOPMENT (P.U.D.) APPLICATION

DATE PAID January 6, 2022

HEARING DATE January 20, 2022

PERMIT # _____

FEE \$1000.00 + \$30.00 per dwelling unit

(ALL FEES ARE SUBJECT TO CHANGE AND
ARE NON-REFUNDABLE)

Name Holly Jones Phone 555-5555

Mailing Address _____

Email Address hollyjoneshomes@gmail.com

Address of Subject Property 225 Willow Street

Do You Own the Property? Yes

Current Zoning and Total Acres Involved RM-7 1.48 Acres

Detailed Written Description of Proposed Use (attach separate sheets, if needed):

10 unit multi-family developement. 2 - 5 unit buildings all owned by a single owner

as rental units.

Submit All of the Following Items with the Application:

- a. Vicinity map of the parcel with North indicated; and
- b. A plat or survey of parcel with legal description and actual dimensions of property; and
- c. Site plan with the size and location of all existing and proposed buildings, include building setbacks and elevations, along with all driveways and exact number and size of all parking spaces; and

- d. A written statement which indicates specifically any change, alteration, modification or waiver of any zoning codes or development regulations being requested. There is no assumption of approval for waivers not included in the written request, or which are specifically granted by Planning Commission by motion; and
- e. Attach a copy of the P.U.D. Objectives List with a written statement indicating how the proposed development will promote the objectives; and
- f. Fifteen (15) 11" x 17" paper copies of the proposed plan; and
- g. A plat of the parcel and a Radius Report obtained from Tooele County Recorder's office, self-sealing envelopes, mailing labels and first class postage for all property owners located within 500 feet of subject property boundary. **DON'T PUT MAILING ADDRESSES ON ENVELOPES! THANK YOU! Addresses must be from Tooele County Recorder's Office!**
- h. If accessing Main Street, SR 112, or SR 138, an Encroachment Permit, or letter of feasibility from UDOT (if applicable); and
- i. Site plan application, drawings, and associated fee (if applicable); and
- j. Any other items as required by Zoning Administrator and/or Planning Commission prior to or after public hearing consideration.



SIGNATURE OF APPLICANT

SIGNATURE OF CO-APPLICANT

Holly Willow Estates

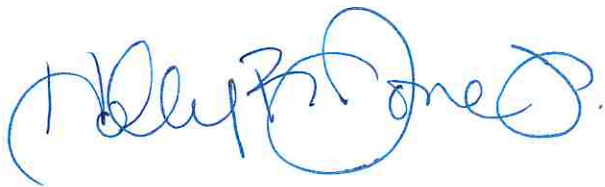
PUD Application

Exceptions:

1. Private Street / Parking Lot – to be developed to width of 26' width with no on street parking allowed.

Objectives:

1. Landscaping including placement of trees around the perimeter to shield views and reduce noise.
2. 8' high privacy fencing around the perimeter
3. Downward facing exterior lighting to keep light on the property
4. 50' front set back from Willow Street.
5. Effective use of RM-7 zoning.
6. Onsite playground amenities.



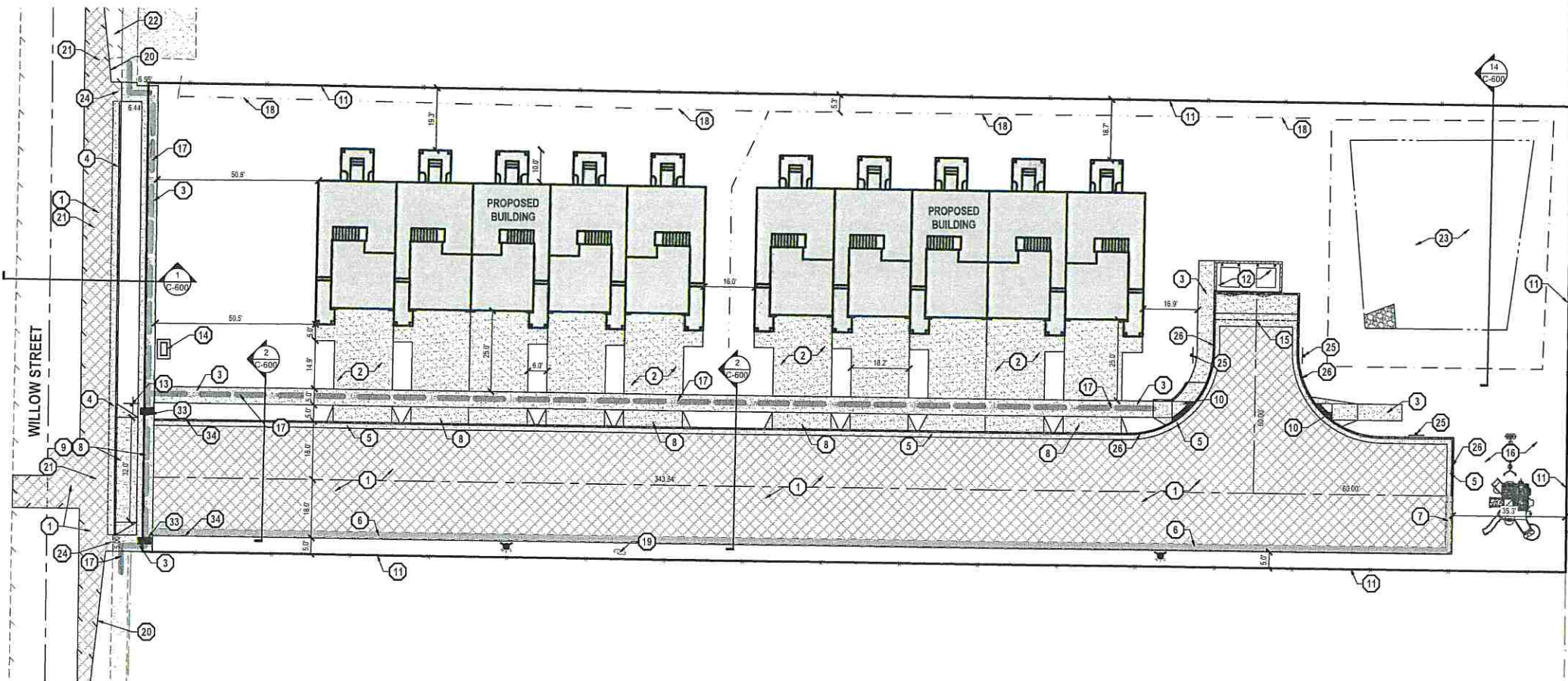
811

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK

EXISTING SEWER MANHOLE #102 IN WILLOW
STREET

ELEV = 4306.32



GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOO, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS
- 1 ASPHALT PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 70-600.
 - 2 CONCRETE PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 80-600.
 - 3 6" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231.
 - 4 30" TYPE 'A' CURB AND GUTTER PER APWA STANDARD PLAN NO. 205.1.
 - 5 24" TYPE 'E' CURB AND GUTTER PER APWA STANDARD PLAN NO. 205.2.
 - 6 24" REVERSE PAN CURB AND GUTTER PER DETAIL 80-600.
 - 7 TRANSITION BETWEEN COLLECTION CURB AND GUTTER AND REVERSE PAN CURB AND GUTTER.
 - 8 FLARED DRIVEWAY APPROACH PER APWA STANDARD PLAN NO. 222 AND SPECIFICATIONS.
 - 9 8" THICK CONCRETE SIDEWALK THROUGH DRIVE APPROACH.
 - 10 HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 235.2 WITH DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 238.
 - 11 FENCE. SEE OWNERS PLANS FOR ADDITIONAL INFORMATION.
 - 12 TRASH ENCLOSURE PER ARCHITECTURAL PLANS WITH 6" THICK CONCRETE APRON WITH #4 REBAR @ 24" O.C. E.W. ON 6" GRAVEL BASE.
 - 13 "STOP" SIGN PER MUTCD STANDARD PLANS.
 - 14 TOWNHOUSE SIGN. SEE OWNERS PLANS FOR ADDITIONAL INFORMATION.
 - 15 4" WATERWAY PER APWA STANDARD PLAN NO. 211.
 - 16 PLAYGROUND AREA. SEE OWNERS PLANS FOR ADDITIONAL INFORMATION ON PLAYGROUND EQUIPMENT AND GROUND COVER.
 - 17 ACCESSIBLE ROUTE.
 - 18 DRAINAGE SWALE PER DETAIL 140-600.
 - 19 RELOCATE OVERHEAD UTILITIES UNDERGROUND. WORK WITH ROCKY MOUNTAIN POWER.
 - 20 TAPER ASPHALT 15:1 INTO EXISTING ASPHALT.
 - 21 CONTRACTOR TO VERIFY POSITIVE SLOPE ON PROPOSED ASPHALT BEFORE INSTALLING CURB AND GUTTER.
 - 22 CONTRACTOR TO FIELD VERIFY EXISTING ASPHALT DRIVEWAY CONDITION. CUT, REMOVE AND PROPERLY RECONSTRUCT ASPHALT DRIVEWAY.
 - 23 RETENTION BASIN SEE GRADING PLAN C-300.
 - 24 TRANSITION ASPHALT SLOPE TO SMOOTH DROP FROM SIDEWALK.
 - 25 "NO PARKING" SIGN PER MUTCD STANDARD PLANS.
 - 26 PAINT CURB RED WITH TRAFFIC RATED PAINT.

NOTE: MAY CONTAIN KEYNOTES THAT ARE NOT USED ON THIS SHEET.



TOOELE
169 N. Main Street, Unit 1
Tooele, UT. 84074
Phone: 435.843.3590

SALT LAKE CITY
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.866.2983

WWW.ENSIGNENG.COM

FOR:
HOLLY JONES
627 EAST CHAN DRIVE
TOOELE CITY, UTAH 84074
CONTACT:
HOLLY JONES
PHONE: 435-840-2602

HOLLY WILLOW
ESTATES PUD
225 WILLOW STREET
GRANTSVILLE CITY, UTAH



SITE PLAN

PROJECT NUMBER
10858

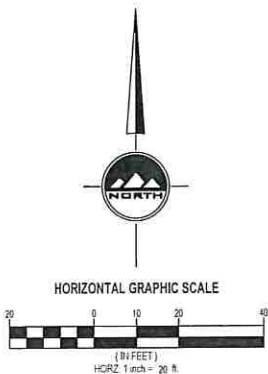
PROJECT DATE
2022-03-23

DRAWN BY
C.CHILD

CHECKED BY
J. CLEGG

PROJECT MANAGER
C.CHILD

C-200



AGENDA ITEM #12



TECHNICAL MEMORANDUM

TO: Kristy Clark, Grantsville City Planning and Zoning Administrator

FROM: Shay Stark, Project Manager

DATE: April 1, 2022

SUBJECT: Holly Willow Townhomes PUD and CUP

PROJECT NO.:

An application has been submitted to Grantsville City proposing construction of ten townhomes, built as rental units on an existing lot located at 225 South Willow Street. At first the application was submitted as a conditional use. After review, it was realized that while the bulk of the project met the Zoning requirements the driveway access would require an exception. It was determined by staff that the best option would be to require the project to go through the PUD process following previous precedence. This process allows the City to consider exceptions based upon the merits of the proposed application. Thus, not setting precedent with unintended consequences in asking for exceptions without adequate justification.

On January 20, 2022 a Public Hearing was held for the application. There were a significant number of comments provided during the public comment period and public hearing. One of those comments included the fact that the PUD ordinance requires a minimum of 5 acres in the RM-7 zone for its use. A few days after the public hearing staff met with the Applicant and asked the Applicant to provide response to the public comment. Staff also discussed ways the project could be changed to meet the code requirements therefore not requiring a PUD. It was obvious to all that participated in that discussion that the steps taken to bring the application into compliance with the code would also fly directly against many of the concerns of the public. In order to meet the code requirements, the townhouses would have to be located on the side setback line of the property and a full width 66-foot-wide private street would be required up against the opposite property line. Very little buffer space would be available.

The Applicant then chose to create two layouts to put before the City Council for their comment. One fully meeting the code requirements and a second layout that narrowed up the driveway and moved the buildings further in so that trees and other landscaping could be located around the sides of the property to create a buffer between the units and the surrounding properties.

On February 2, 2022, the proposed project was put before City Council for discussion. Several ideas were gleaned from the City Council meeting and the Applicant's overall impression was that the City Council preferred the second layout and provided suggestions to improve that layout. Additionally, it was the impression of the Applicant that the City Council wanted the project to go through the PUD process to address these changes. This was also the previous direction that City Council followed for the new apartments located at 328 Main Street. The two layouts an explanatory letter by the Applicant and the City Council Minutes have been provided in the Planning Commission Packet.

The Applicants have submitted a revised layout for the PUD addressing the City Council comments and addressing the public's comments to the degree the Applicants feel is feasible. It is important to recognize that the Zoning does allow for the development of multifamily housing and the number of units proposed falls within the number of units allowed by the zoning requirement based upon the size of lot that they are proposed to be located on.

In light of the previous public comment, and the Applicants response to the public comment, Planning Commission may desire to weigh the use of the PUD to provide a layout that better address many of the points brought forward by the public comment, or direct the Applicant to use the plan presented to City Council that meets the code and does not require the use of the PUD or provide guidance for another alternative.

Based upon a favorable discussion and consideration of the proposed application by Planning Commission. It is recommended that the Planning Commission recommend approval of the PUD and CUP to City Council. Please include any stipulations or conditions that are desired by Planning Commission in the motion.

END



GRANTSVILLE CITY CONDITIONAL USE PERMIT APPLICATION
(Multiple Housing in RM-7 and RM-15 Zone)

DATE PAID October 12, 2021
HEARING DATE January 20, 2022
PERMIT # _____

\$1000.00 Fee
+ \$100.00 per Unit
+ Site Plan for Units
Application and Checklist

NAME Holly Jones PHONE _____
EMAIL ADDRESS hollytlc@hotmail.com
MAILING ADDRESS _____
ADDRESS OF SUBJECT PROPERTY 225 S Willow Street
DO YOU OWN SUBJECT PROPERTY? No. Agent
ZONING OF PROPERTY RM-7
PRESENT USE OF PROPERTY SINGLE FAMILY HOME

PROVIDE A COMPLETE DESCRIPTION OF PROPOSED USE (number of units, on-site manager, recreation area plans, etc.): Holly Willow Townhomes - 10 units

• **ATTACH ADEQUATE INFORMATION TO SHOW THE FOLLOWING:**

- a. Vicinity map of area with North indicated.
- b. A plat or survey of parcel with legal description and actual dimensions of property.
- c. Any other items as required by Zoning Administrator and/or Planning Commission.
- d. A plat of the parcel and a Radius Report obtained from Tooele County Recorder's office, self-sealing envelopes, mailing labels and first class postage for all property owners located within 500 feet of subject property boundary. **DON'T PUT MAILING ADDRESSES ON ENVELOPES! THANK YOU! Addresses must be from Tooele County Recorder's Office!**
- e. After a complete application has been accepted by the Zoning Administrator the application will be distributed to members of the (DRC) for their review and comments. A Development Review Conference will be held with the applicant and members of the DRC within 21 days of the submission of the application.
- f. After the Development Review Conference, the applicant shall provide any additional information requested and make any changes required by the Development Review Committee. After the revised drawings are submitted to the Zoning Administrator, the Development Review Committee will then review the revised drawings. Within 14 days of the 2nd submittal, the Development Review Committee will meet to discuss and verify that all changes were made. If additional changes are needed, the comments will be sent

back to the developer and another Development Review Conference may be scheduled.
All submittals require a 14-day review by staff.

NOTE: A Multi-Housing C.U.P./Site Plan goes before both the Planning Commission and the City Council with a public hearing being held before the Planning Commission.


SIGNATURE OF APPLICANT

SIGNATURE OF CO-APPLICANT

DATE PAID October 17, 2021
AMOUNT PAID
HEARING DATE January 20, 2022

Name Henry Jones Phone

Mailing Address _____

Address of Subject Property 225. S. Willow Street

Do You Own the Property? No

If Not, Actual Owner CADENCE CANON LLC

Zoning, Use and Total Acreage RM-7

Provide a Title and Description of Project: Holly Willow Townhomes

- a. Vicinity map of area with North indicated and current uses within 85' of property.
- b. Names and addresses of architect, landscape architect, planner or engineer on project.
- c. Legal description of property.
- d. Site plan which includes the following;
 - i. All driveways, exact number of all parking spaces, regular and handicapped, and loading areas.
 - ii. On-site drainage proposal (all runoff generated must be kept on site).
 - iii. Signature block for Zoning Administrator
 - iv. Boundaries of subject property, setback lines for buildings, existing streets, buildings, and other existing features including trees.
 - v. Location of building and exact square footage of building.
 - vi. Number of units.
 - vii. Outdoor lighting plan.
 - viii. Proposed and existing fencing.
 - ix. Landscaping plan.
 - x. UDOT Encroachment Permit, or Change of Use permit, if access is off of a State highway.
 - xi. Traffic impact analysis.
 - xii. Geo technical reports and study.

- e. Fifteen (15) 11" x 17" paper copies of site plan drawings.
- f. The C.U.P or P.U.D/Site Plan application goes before both the Planning Commission and City Council with a Public Hearing being held with the Planning Commission.

NOTICE: A site plan review is not a formal application for approval. Once the site plan is reviewed a determination will be made as to any further requirements needed for approval of proposed use.



SIGNATURE OF APPLICANT

SIGNATURE OF CO-APPLICANT

APPLICATION FOR A MULTIPLE HOUSING CONDITIONAL USE PERMIT/SITE PLAN/PUD CONSIDERATION BY GRANTSVILLE CITY PLANNING COMMISSION

An application has been received in our office for consideration of a multiple housing conditional use permit/site plan and PUD approval for:

Holly Jones on the Holly Willows Townhomes located at 225 South Willow Street for the creation of ten (10) multi-housing units.

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A public hearing to receive public input will be held in the Grantsville City Hall Council Chambers, 429 E. Main Street, Grantsville, Utah on:

Thursday, January 20, 2022 at 7:00 p.m.

You are invited to request a copy of the application and proposed plans by emailing me at kclark@grantsvilleut.gov.

We will continue to broadcast the Planning Commission meetings electronically on Zoom. If you choose to attend, please wear a face covering. Comments through email or by mail must be received no later than 5:00 p.m. on Thursday, January 20, 2022. For more information, please call me at 435-884-4604 or email me.

Thank you,



Kristy Clark
Zoning Administrator

Join Zoom Meeting

<https://us02web.zoom.us/j/85141114731>

Meeting ID: 851 4111 4731

One tap mobile

+12532158782,,85141114731# US
(Tacoma)

+13462487799,,85141114731# US
(Houston)

Dial by your location

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 669 900 9128 US (San Jose)

+1 301 715 8592 US (Washington DC)

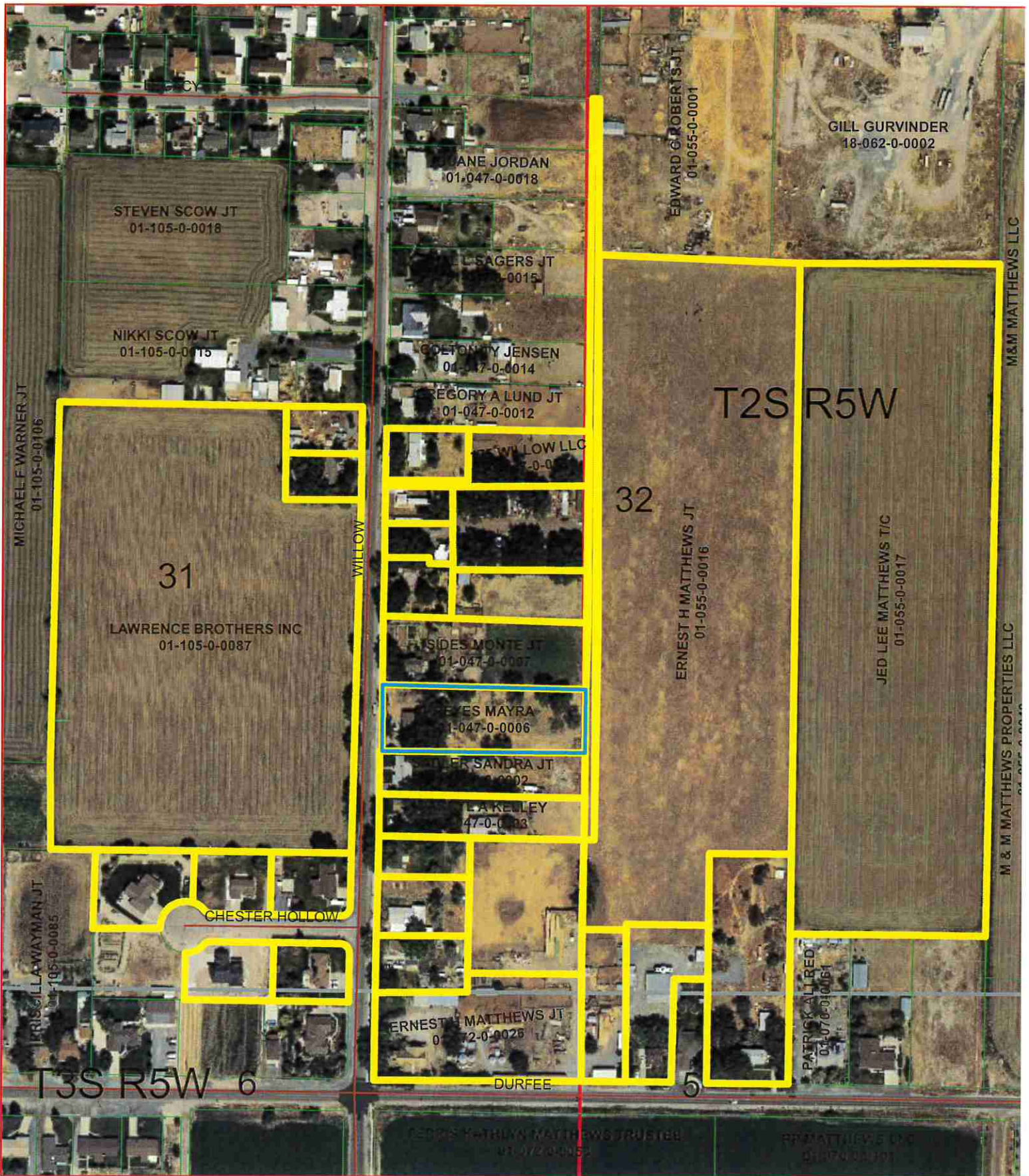
+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

Meeting ID: 851 4111 4731

Find your local number:

<https://us02web.zoom.us/j/85141114731>



GIS Map Disclaimer:

This is not an official map but for reference use only. The data was compiled from the best sources available, but various errors from the sources may be inherent on the map. All boundaries and features therein should be treated as such. For boundary information, the pertinent County Departments or Municipalities should be contacted. This map is a representation of ground features and is not a legal document of their locations. The scale represented is approximate, so this is NOT a Survey or Engineering grade map and should by no means be used as such. This map is not intended for all uses. Tooele County is not responsible or liable for any derivative or misuse of this map.



Todd Castagno
01-047-0-0006

0 75 150 300 450 600 Feet



bwwhite
Date: 3/15/2021



Kristy Clark <kclark@grantsvilleut.gov>

Holly Willow Townhomes plans

Katherine Smith <katd7@hotmail.com>
To: Kristy Clark <kclark@grantsvilleut.gov>

Thu, Jan 20, 2022 at 12:11 PM

I would like to write concerning the building of the Holly Willow Townhomes. My first concern is the traffic it will bring to Willow Street. Willow Street, as you know, is already an extremely narrow street and it is extremely busy. With the added units to this neighborhood this would create more traffic added to the already small and busy street. Second, because these townhomes are to be placed on only 1.48 acres and due to the direction they are facing, neighbors in the surrounding homes will no longer have the privacy that they have been used to for so long. Regardless of trees and fences being built, adjacent neighbors will feel like people are looking into their yard and homes. Finally, these townhomes are not owned by individuals but are instead planned to be rentals. This can cause surrounding property prices to stagnate or even drop. For these reasons I strongly feel that the Holly Willow Townhomes should be allowed to be built.

Katherine Smith

From: Kristy Clark <kclark@grantsvilleut.gov>
Sent: Thursday, January 20, 2022 9:46 AM
To: Katherine Smith <katd7@hotmail.com>
Subject: Re: Holly Willow Townhomes plans

[Quoted text hidden]



Kristy Clark <kclark@grantsvilleut.gov>

Holly Jones on the Holly Willows Townhomes located at 225 Willow St 10 multi-housing units

SANDRA KILLIAN Owner <fishintime@q.com>

Wed, Jan 19, 2022 at 8:20 PM

To: Kclark@grantsvilleut.gov
Cc: Upnadam_@hotmail.com

Thank you for providing us the opportunity to participate and provide comments specific to the townhome proposal. We look forward to learning more at the Zoom meeting scheduled on January 20, 2022. Our comments, questions, and concerns are as follows:

Mainly, as the direct neighbor to the north of the 225 Willow St. property, it will affect me in a variety of ways involving aesthetics, nuisances, safety, and financially. The residents of 235 Willow St. strongly oppose the potential townhomes at 225 Willow. It will decrease our property value. I don't see how this proposal will benefit us or any other neighbors. Grantsville is a livestock community. In order to be happy neighbors, smells, noise, trash and other nuisances must be kept at a minimum and if they are building townhomes close to our livestock, bringing their own barking pets along with an added dog park.

General questions:

- At what stage is this application? Has it been approved or will neighbor comments have the potential to cancel or delay the project?
- What are the benefits of building this townhome to all parties involved including occupants and neighbors?
- What is the nature of this development? Has the property or project been sold to a private developer? Is it a smaller personal development?
- We fear that ten multi-housing unit creation isn't a reasonable consideration specifically since the neighborhood is currently an agricultural and animal habitat.
- Will there be HOA regulations?
- How will such a small area of land not become a nuisance to us as neighbors? Parking rules will not be followed. In general these rules aren't enforced and we will be the ones suffering from this.
- Have livestock and wildlife been considered? The area surrounding this property is all utilized for livestock purposes and we fear this will affect rancher and farmer livelihoods. There are deer, owls, hawks, foxes, and other wildlife that frequent the properties and rely on the current open spaces for habitat.

Some regulatory concerns:

- Is it legal to build within 100 ft of a corral or livestock? Horses and cattle surround this property.
- Is it legal to build within 30 ft of a house?
- How will this affect irrigation rights? Water rights? Water shares?
- How and where will the water drain from these units? Where will it drain? Will there be impacts to the water table? What other environmental impacts will be made? Potential water pollution? Will there be pipes or other structures installed on neighboring properties as a result of these townhomes?
- Willow St. is narrow and does not even have lines painted. Yet, a large 10 multi-housing unit development is being considered? Currently, apartments and a mobile home park exist on the street and have proven to increase traffic, drug use, and pollution.
- The current zoning of the property is for livestock. Single home dwelling dynamics will be severely impacted by such a large community conversion. Why should a change in zoning be considered? This is a livestock community.
- Will there be impacts to plumbing or electricity?
- Will this development and occupants be in compliance and respect local noise ordinances?
- If the project is approved, how long will construction take?
- At what hours of the day will construction take place?

Safety concerns:

- Neighbors not familiar with livestock tend to throw grass over fences to "feed" the horses. This is not a safe practice and has killed many horses. This is a great fear for us and neighbors.
- There doesn't seem to be room to allow a fire engine to turn around in the case of emergency. According to the 2018 fire code of Utah, different driveway classifications require different regulations for emergency vehicle access such as "dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus".
- Similarly, is the width of the road large enough?

- Will there be groundwater contamination from the water run off?

Some concerns about nuisances:

- An increase in noise and trash pollution is already being observed with current Willow St. mobile home park and apartment complex. We do not want to find more trash on our property and would like to retain the relative quietness of Grantsville compared to larger cities.
- Another nuisance observed in relation to current apartments and mobile home park that would increase with the addition of these homes is lost or incorrectly delivered mail/address mix ups.
- There will be an increase in noise from construction and further concentrated living quarters.
- Has the height of the proposed townhomes been considered as this takes away from the existing majestic views we enjoy daily.
- If this townhome complex is approved, it will provide opportunities for worse air quality and higher crime rates due to increased vehicle traffic, overcrowding of people, drug use, and a general decrease in the safety of the neighborhood.
- There may be houses near livestock and resulting occupants may complain about the smell. This is a livestock community and we would like to retain our rights to practice ranching and farming.

Financial concerns:

- With more people sharing the same availability of water, water and irrigation rates will increase.
- The completion of this multiple housing will decrease the value of our house and surrounding houses/property.

Aesthetic concerns:

- How will the property be upkeep? Better than current conditions in order to not drag property values down?
- If a multiple housing site is built, our mountain view will be lost.

In conclusion, the concerns about this Holly Jones Willows Townhomes seem endless and we strongly oppose the changes that Holly Jones applied for. If this application is unfortunately in the final stages and already in progress, some demands we would make going forward are a larger and higher quality privacy fence, better property upkeep and cleanup. Finish yard/landscaping, upkeep driveway, sidewalks, and other structures in the yard.

We appreciate you taking time to read our concerns and look forward to sorting out answers on Thursday, January 20, 2022 @ 7:00 p.m.

Sincerely,

235 Willow St. residents:
Adam and Sandra Sadler

811

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK

EXISTING SEWER MANHOLE #102 IN WILLOW
STREET.
ELEV = 4306.32

HOLLY WILLOW ESTATES PUD

225 WILLOW STREET
GRANTSVILLE CITY, UTAH

INDEX OF DRAWINGS

C-001	GENERAL NOTES	PP-2	PLAN AND PROFILE HOLLY WILLOW ESTATES
C-100	DEMOLITION PLAN	PP-3	PLAN AND PROFILE HOLLY WILLOW ESTATES
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C-300	GRADING AND DRAINAGE PLAN	C-601	DETAILS
C-301	GRADING AND DRAINAGE PLAN CALCULATIONS	C-602	DETAILS
C-400	UTILITY PLAN	L-100	LANDSCAPE PLAN
C-500	EROSION CONTROL PLAN	L-200	IRRIGATION PLAN
PP-1	PLAN AND PROFILE WILLOW STREET	L-300	LANDSCAPE DETAILS

DATE PRINTED
March 23, 2022

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

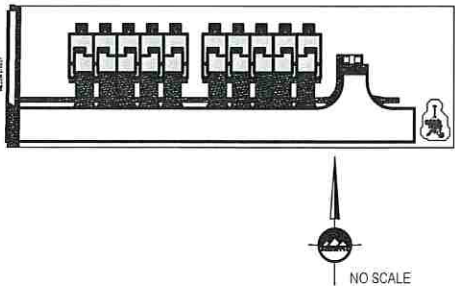
NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BIDDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

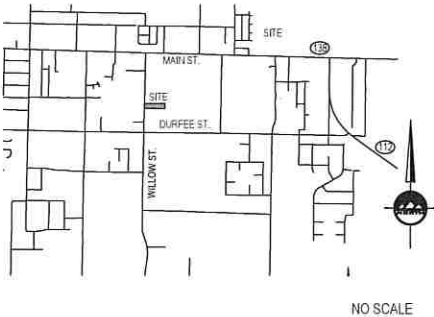
UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

KEY MAP



VICINITY MAP



GENERAL NOTES

- ALL WORK SHALL CONFORM TO GRANTSVILLE CITY STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
- BENCHMARK ELEVATION = EXISTING SEWER MANHOLE #102 IN WILLOW STREET. ELEV = 4306.32.

NOTES:

- APPROVED BY CITY COUNCIL ON _____
- PRE-CONSTRUCTION MEETING DATE: _____

APPROVED FOR CONSTRUCTION ON THIS _____ DAY OF _____, 20____

GRANTSVILLE CITY PUBLIC WORKS DIRECTOR

APPROVED BY CITY ENGINEER, GRANTSVILLE CITY, UTAH
FOR PUBLIC IMPROVEMENTS ONLY (SHEETS _____)

CITY ENGINEER _____ DATE _____

APPROVAL OF THESE PLANS DOES NOT RELEASE THE DEVELOPER FROM RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION THE PUBLIC INTEREST REQUIRES A MODIFICATION OR A DEPARTURE FROM THE CITY SPECIFICATIONS, OR THE APPROVED PLANS, THE CITY SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION OR A DEPARTURE, AND TO SPECIFY THE MANNER WHICH THE SAME IS MADE.



TOOELE

169 N. Main Street, Unit 1
Tooele, UT, 84074
Phone: 435.843.3590

SALT LAKE CITY

Phone: 801.255.0529

LAYTON

Phone: 801.547.1100

CEDAR CITY

Phone: 435.865.1453

RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
HOLLY JONES
327 EAST CHAN DRIVE
TOOELE CITY, UTAH 84074
CONTACT:
HOLLY JONES
PHONE: 435-843-2002

HOLLY WILLOW
ESTATES PUD
225 WILLOW STREET
GRANTSVILLE CITY, UTAH



COVER

PROJECT NUMBER: 10958
PRINT DATE: 2022-03-23
DRAWN BY: C.CHILD
CHECKED BY: J. CLEGG
PROJECT MANAGER: C.CHILD

C-000

GRANTSVILLE GENERAL NOTES

1. ALL WORK DONE OR IMPROVEMENTS INSTALLED WITHIN GRANTSVILLE CITY INCLUDING BUT NOT LIMITED TO EXCAVATION, CONSTRUCTION, ROADWORK AND UTILITIES SHALL CONFORM TO THE GRANTSVILLE CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS, CITY MUNICIPAL CODE, THE LATEST EDITION OF THE APWA MANUAL OF STANDARD SPECIFICATIONS AND MANUAL OF STANDARD PLANS, THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY STATE OR FEDERAL REGULATIONS AND PERMIT REQUIREMENTS OF VARIOUS GOVERNING BODIES. THE CONTRACTOR IS RESPONSIBLE TO HAVE A COPY OF THESE SPECIFICATIONS AND TO KNOW AND CONFORM TO THE APPROPRIATE CODES, REGULATIONS, DRAWINGS, STANDARDS AND SPECIFICATIONS.
2. THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR THE PROTECTION OF UTILITIES AND THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN ON THE PLANS OR NOT IN THE LOCATION SHOWN ON THE PLANS. THIS INCLUDES ALL SERVICE LATERALS OF ANY KIND. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCES, WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE OF THE SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES, SURVEY MONUMENTS AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CITY ENGINEER AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
4. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER AND PUBLIC WORKS DIRECTOR.
5. PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
6. CURB, GUTTER, AND SIDEWALK, FOUND TO BE UNACCEPTABLE PER CITY STANDARDS AND APWA SHALL BE REMOVED AND REPLACED.
7. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE AS SHOWN ON PLANS.
8. ANY SURVEY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER TOOELE COUNTY SURVEYORS REQUIREMENTS.
9. ALL PRIVACY WALLS, NEW OR EXISTING, ARE ONLY SHOWN ON CIVIL PLANS FOR THE PURPOSE OF REVIEWING GRADING RELATIONSHIPS, FLOOD CONTROL, AND SIGHT DISTANCE AT INTERSECTIONS. ALL WALLS SHALL HAVE A MINIMUM 2 FT X 2 FT X 30 INCH DEEP SPOT FOOTINGS. BOTTOM OF ALL FOOTINGS ON ALL WALLS SHALL BE A MINIMUM OF 30 INCHES BELOW FINISHED GRADE. WALLS GREATER THAN 6 FEET REQUIRE A SEPARATE PERMIT AND INSPECTION BY THE BUILDING DEPARTMENT.
10. ALL CONSTRUCTION MATERIALS PER APWA MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN CITY RIGHT OF WAY. GRANTSVILLE PUBLIC WORKS WILL APPROVE PIPE ZONE MATERIAL TO BE PLACED.
11. REQUEST FOR INSPECTION BY THE GRANTSVILLE CITY ENGINEERING DEPT. SHALL BE MADE BY THE CONTRACTOR AT LEAST 48 HOURS BEFORE THE INSPECTION SERVICES WILL BE REQUIRED.
12. WORK IN PUBLIC WAY, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC. PLEASE SEE CODE 17 GENERAL PROVISIONS FOR MORE DETAILS.
13. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION.
14. POWER POLES AND/OR OTHER EXISTING FACILITIES NOT IN PROPER LOCATION BASED ON PROPOSED IMPROVEMENTS SHOWN HEREIN WILL BE RELOCATED AT NO EXPENSE TO THE GRANTSVILLE CITY. POWER LINES AND ALL OTHER AERIAL UTILITIES ARE TO BE BURIED AND POLES REMOVED AS DETERMINED BY THE CITY ENGINEER.
15. CURB AND GUTTER WITH A GRADE OF LESS THAN FOUR TENTHS OF ONE PERCENT SHALL BE CONSTRUCTED BY FORMING. EACH JOINT SHALL BE CHECKED FOR A GRADE PRIOR TO CONSTRUCTION AND WATER TESTED AS SOON AS POSSIBLE AFTER CONSTRUCTION.
16. CONTRACTOR TO FOLLOW GRANTSVILLE CITY NOISE ORDINANCE STANDARDS CODE ORDINANCE 2018-19
17. CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
18. A UPDES [UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM] PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES AS PER STATE LAW AS WELL AS PROVIDING A STORM WATER POLLUTION PREVENTION PLAN TO THE CITY.
19. ALL CITY MAINTAINED UTILITIES INCLUDING; WATERLINE, FIRE HYDRANTS, STREETLIGHT WIRING, AND STORM DRAIN MUST BE IN PUBLIC RIGHT OF WAY OR IN RECORDED EASEMENTS.
20. CONTRACTOR SHALL WORK GRANTSVILLE CITY REGULAR WORKING HOURS OF MONDAY THROUGH FRIDAY 7:00 AM TO 4:00 PM
21. PRIOR TO 90% BOND RELEASE, A LEGIBLE AS-BUILT DRAWING MUST BE SUBMITTED TO THE GRANTSVILLE CITY STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER. AS-BUILTS MUST SHOW ALL CHANGES AND ACTUAL LOCATIONS OF STORM DRAINAGE, WATERLINES, IRRIGATION, STREET LIGHTING, AND POWER. AS-BUILTS WILL BE HELD TO THE SAME STANDARD AS APPROVED DESIGN DRAWINGS, NO "REDLINED PLANS" ALLOWED. IN THE ABSENCE OF CHANGES, COPIES OF THE APPROVED DRAWINGS WILL BE REQUIRED STATING "INSTALLED AS PER DRAWINGS". AS-BUILT DRAWINGS FOR NEW DEVELOPMENTS SHALL BE SUBMITTED TO THE CITY IN THE FOLLOWING FORMATS AND QUANTITIES PRIOR TO THE 90% BOND RELEASE: 1. DXF COPY, 1. PDF COPY, AND 1. GIS SHAPE FILE CONTAINING THE SAME.
22. FATER FABRIC WRAPPED AROUND AN INLET GRATE IS NOT AN ACCEPTABLE INLET SEDIMENT BARRIER. SEE GRANTSVILLE CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR DETAILS OF APPROVED STORM WATER BMPs WHICH SPECIFICALLY STATES THE UTILIZATION OF AN OIL WATER SNOUT SEPARATOR.
23. ASPHALT PAVING IS NOT ALLOWED WITHOUT A WRITTEN EXCEPTION FROM THE ENGINEERING DEPARTMENT AND PUBLIC WORKS DEPARTMENT BELOW AN AMBIENT TEMPERATURE OF 50 DEGREES AND RISING.
24. TO ENSURE PROPER PLANTING, PROTECTION AND IRRIGATION OF TREES, MITIGATING RISK OF TREE FAILURE OR FUTURE DAMAGE TO INFRASTRUCTURE, CONTRACTORS ARE REQUIRED TO FOLLOW THE STANDARDS AND SPECIFICATIONS OF THE ISA - INTERNATIONAL SOCIETY OF ARBORICULTURE.
25. WHEN A PROPOSED DEVELOPMENT BORDERS A COLLECTOR, MINOR COLLECTOR OR ARTERIAL STREET AND IS REQUIRED TO CONSTRUCT COLLECTOR STREET FENCING ALONG THE BACK OF SIDEWALK, THE DEVELOPMENT SHALL ALSO BE REQUIRED PUT IN A CONCRETE MEDIAN STRIP FROM THE BACK OF SIDEWALK TO UNDERMINE THE FENCE PANELS. CONCRETE MEDIAN STRIPS SHALL ALSO BE REQUIRED BETWEEN THE SIDEWALK AND FENCING ALONG THE REAR OF DOUBLE FRONTAGE LOTS.
26. CONCRETE FOR ALL SURFACE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO, SIDEWALK, DRIVEWAY ENTRANCES, PEDESTRIAN RAMPS, CURB AND GUTTER, WATER WAYS, MANHOLE, VAULT AND VALVE COLLARS, AND ANY OTHER CAST IN PLACE SURFACE CONCRETE FEATURES SHALL BE CONSTRUCTED WITH MINIMUM 4,500 PSI CONCRETE.

GRANTSVILLE CITY GRADING NOTES

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER AND CITY ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
3. CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
5. CONTRACTOR SHALL GRADE THE PAVEMENT AREA SUBGRADE TO THE LINES (HORIZONTAL) AND ELEVATIONS (VERTICAL) SHOWN ON THE PLANS WITHIN A TOLERANCE OF 0.1 + TO 0.1 -.
6. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
7. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GRANTSVILLE CITY ENGINEERING AND UTILITIES DEPARTMENT.
8. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
9. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE DEVELOPER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE CITY ENGINEER. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERM, ROAD SIGNS AND BARRICADES, ETC.
10. ALL GRADING WORK SHALL CONFORM TO THE SOILS REPORT AS PREPARED BY THE SOILS ENGINEER AND APPROVED BY THE CITY ENGINEER, AND AS SHOWN ON THESE PLANS.
11. ALL QUALITY CONTROL TESTING SHALL BE PERFORMED BY AN INDEPENDENT LICENSED AND CERTIFIED THIRD-PARTY TESTING SERVICE.

GRANTSVILLE CITY TRAFFIC NOTES

1. WHEN A DESIGNATED "SAFE ROUTE TO SCHOOL" IS ENCRACHOED UPON BY A CONSTRUCTION WORK ZONE THE SAFE ROUTE SHALL BE MAINTAINED IN A MANNER ACCEPTABLE TO GRANTSVILLE CITY.
2. IF THE IMPROVEMENTS NECESSITATE THE OBLITERATION, TEMPORARY OBSTRUCTION, TEMPORARY REMOVAL OR RELOCATION OF ANY EXISTING TRAFFIC PAVEMENT MARKINGS, SUCH PAVEMENT MARKING SHALL BE RESTORED OR REPLACED WITH LIKE MATERIALS TO THE SATISFACTION OF THE CITY ENGINEER, PUBLIC WORKS DIRECTOR OR DESIGNEE.
3. THE STREET SIGN CONTRACTOR SHALL OBTAIN STREET NAMES AND BLOCK NUMBERING FROM THE PLANNING DEPARTMENT PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL PERMANENT SIGNS SHOWN ON THE PLANS. STREET NAME SIGNS SHALL CONFORM IN THEIR ENTIRETY TO CURRENT CITY STANDARDS AND THE LATEST MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) MANUAL. ALL OTHER SIGNS SHALL BE STANDARDIZE UNLESS OTHERWISE SPECIFIED ON THE PLANS. ALL SIGN POSTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT CITY STANDARDS AND THE LATEST MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) MANUAL.
5. ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAYING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR PER APPROVED CONSTRUCTION DRAWINGS UNLESS APPROVED BY THE CITY ENGINEER & PUBLIC WORKS DIRECTOR.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF APPLICABLE, IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.
7. BEFORE ANY WORK IS STARTED IN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL INSTALL ALL ADVANCE WARNING SIGNS FOR THE CONSTRUCTION ZONE. THE CONTRACTOR SHALL INSTALL TEMPORARY STOP SIGNS AT ALL NEW STREET ENCROACHMENTS INTO EXISTING PUBLIC STREETS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PER THE CURRENT EDITION ADOPTED BY UDOT AND BE APPROVED BY THE GRANTSVILLE CITY BEFORE CONSTRUCTION BEGINS. TRAFFIC CONTROL PLANS SHALL BE SUBMITTED AS PART OF THE ENGINEERING CONSTRUCTION PACKAGE AND APPROVED BY THE GRANTSVILLE CITY ENGINEER AND PUBLIC WORKS DIRECTOR.
8. ALL SIGNS LARGER THAN 36" X 36" OR 1296 SQUARE INCHES PER SIGN POLE SHALL BE MOUNTED ON A SUP BASE SYSTEM PER UDOT STANDARD DRAWING SN 108 (DETAIL DRAWING ATTACHED TO STANDARD DRAWINGS) WITH A "Z" BAR BACKING. SIGNS OF THIS SIZE ARE NOT ALLOWED TO BE MOUNTED ON A YIELDING POLE.
9. SIGN COMPONENTS SUCH AS SHEETING, EC FILM, INKS, LETTERS AND BORDERS ARE ALL REQUIRED TO BE FROM THE SAME MANUFACTURER. ONLY EC FILM MAY BE USED TO ACHIEVE COLOR. VINYL EC FILM IS NOT ACCEPTED.
10. ALL NEW ROUNDABOUTS, CROSSWALKS, STOP BARS AND LEGENDS SHALL BE INSTALLED WITH PAINT AND GLASS BEAD.
11. PAVING ASPHALT BINDER GRADE SHALL BE PG 58-28 UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. ASPHALT AGGREGATE SIZE SHALL BE 1/2 INCH FOR RESIDENTIAL AND COLLECTOR ROADS. NO MORE THAN 15% RAP (RECLAIMED ASPHALT PAVEMENT) BY WEIGHT WILL BE ALLOWED IN THE ASPHALT MIX DESIGN FOR THE PAVING OF PUBLIC AND PRIVATE STREETS. UP TO THE 15 PERCENT WILL BE ALLOWED WITH NO CHANGE IN THE SPECIFIC BINDER GRADE. THE ASPHALT MIX DESIGN SHALL HAVE NO MORE THAN 3% AIR VOIDS.
14. POTHOLES: ALL POTHOLES MUST BE SAW CUT SQUARE AND HAVE A MINIMUM SIZE OF 1 SQUARE FOOT. WHEN REPAIRING A POTHOLE, SAND OR PEA GRAVEL MEETING GRANTSVILLE CITY STANDARDS SHALL BE PLACED OVER THE EXPOSED UTILITY TO A DEPTH OF 6 INCHES. FOLLOWING THE PEA GRAVEL WILL BE FLOWABLE FILL UP TO 1 INCH BELOW THE BOTTOM EDGE OF THE EXISTING ASPHALT. THE REMAINING PORTION OF THE HOLE SHALL BE FILLED WITH ASPHALT, WHICH WILL HAVE AN OVERALL THICKNESS OF THE EXISTING ASPHALT PLUS 1 INCH.
15. ALL FILL WITHIN THE PUBLIC RIGHT OF WAY SHALL BE A-1-A TO A-3, WITH THE EXCEPTION OF TOP SOIL IN THE PARK STRIP FOR LANDSCAPING AND TRENCH BACKFILL. TRENCH BACKFILL MATERIAL UNDER PAVEMENTS OR SURFACE IMPROVEMENTS SHALL BE CLEAN, WASHED AND FLOWABLE. 2" MIN. A-1-A TO A-3 SOILS ACCORDING TO AASHTO 145 SOIL CLASSIFICATION SYSTEM. LIME TREATED FLOWABLE FILLS, IF APPROVED, SHALL HAVE A 28-DAY STRENGTH OF 65 PSI. 16. ALL TRAFFIC ROAD CLOSURES INVOLVING 1 OR MORE LANES OF TRAFFIC MUST RECEIVE PRIOR APPROVAL FROM THE CITY ENGINEER, PUBLIC WORKS DIRECTOR OR HIS/HER REPRESENTATIVE. VMS PCSMS BOARDS MUST BE PLACED A MINIMUM OF 7 DAYS IN ADVANCE OF ANY LANE CLOSURE ON COLLECTOR, MINOR COLLECTOR OR ARTERIAL STREET. VMS PCSMS BOARDS MUST ALSO BE PLACED IN ADVANCE OF ANY LANE CLOSURES ON A SUBDIVISION STREET PER THE CITY ENGINEER'S DIRECTION.
16. ROUNDABOUTS, INCLUDING THEIR INGRESS AND EGRESS, SHALL BE CONSTRUCTED WITH CONCRETE PAVEMENT. ENGINEER SHALL DESIGN CROSS SECTION AND SUBMIT TO THE CITY FOR REVIEW AND APPROVAL.

GRANTSVILLE CITY WATER NOTES

1. THE FOLLOWING GRANTSVILLE CITY WATER NOTES ARE INTENDED FOR GENERAL WATER STANDARDS ONLY AND ARE NOT ALL INCLUSIVE. THE CITY HAS INCLUDED THE CULINARY WATER DESIGN AND CONSTRUCTION STANDARDS WITHIN THE CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS.
2. NO WORK SHALL BEGIN UNTIL THE WATER PLANS HAVE BEEN RELEASED FOR CONSTRUCTION BY THE ENGINEERING DEPARTMENT. FOLLOWING WATER PLAN APPROVAL, FORTY-EIGHT (48) HOUR NOTICE SHALL BE GIVEN TO THE ENGINEERING DEPARTMENT AND THE PUBLIC WORKS DEPARTMENT PRIOR TO THE START OF CONSTRUCTION. NOTICE MUST BE GIVEN BY 2:00 P.M. THE BUSINESS DAY PRIOR TO AN INSPECTION.
3. ALL WORK WITHIN GRANTSVILLE CITY SHALL CONFORM TO GRANTSVILLE CITY STANDARDS AND SPECIFICATIONS, AWWA AND APWA.
4. FOR RESIDENTIAL DEVELOPMENTS - THE DEVELOPER SHALL PURCHASE AND INSTALL METER BOXES AND SETTERS ACCORDING TO CITY STANDARDS AND REAL PROPERTY AT THE TIME OF WATER MAIN INSTALLATION. WATER METERS WILL BE SUPPLIED AND INSTALLED BY THE GRANTSVILLE UTILITIES DEPARTMENT (AT DEVELOPER'S EXPENSE). THE DEVELOPER SHALL ALSO PROVIDE THE SITE ADDRESS, LOT NUMBER, METER SIZE AND PAY METER FEES PRIOR TO BUILDING PERMIT APPROVAL. THE DEVELOPER SHOULD ALSO PAY FOR RENTAL OF A HYDRANT METER, AND/OR USE THE GRANTSVILLE CITY PUBLIC WATER STANDPIPE LOCATED BY THE PUBLIC WORKS BUILDING.
5. FOR COMMERCIAL AND CONDOMINIUM DEVELOPMENTS - THE DEVELOPER SHALL PURCHASE AND INSTALL METER BOXES AND SETTERS ACCORDING TO CITY STANDARDS AND REAL PROPERTY. WATER METERS WILL BE SUPPLIED BY GRANTSVILLE CITY PUBLIC WORKS DEPARTMENT (AT DEVELOPER'S EXPENSE) AND INSTALLED BY DEVELOPER.
6. ALL WATER FACILITIES SHALL BE FILLED, DISINFECTED, PRESSURE TESTED, FLUSHED, FILLED AND AN ACCEPTABLE WATER SAMPLE OBTAINED PRIOR TO COMMISSIONING THE NEW WATER LINE TO THE GRANTSVILLE CITY CULINARY WATER DISTRIBUTION SYSTEM.
7. GRANTSVILLE CITY UTILITIES DEPARTMENT MUST APPROVE WATER SHUT DOWN WHICH MAY REQUIRE EVENING AND WEEKEND SHUT DOWN AS DEEMED NECESSARY, REQUIRING THE BILL FOR OVERTIME. 48 HOUR NOTICE IS REQUIRED.
8. WATER STUB-OUT INSTALLATIONS WILL NOT BE CONSTRUED AS A COMMITMENT FOR WATER SERVICE.
9. CONDITIONAL APPROVAL OF VALVED OUTLET (6" AND LARGER); IN THE EVENT THE WATER PLANS SHOW ONE OR MORE VALVED OUTLETS EXTENDING OUT OF PAVED AREAS, INSTALLATIONS OF THESE OUTLETS IS ACCEPTABLE. HOWEVER, IF THE OUTLETS ARE INCORRECTLY LOCATED OR NOT USED FOR ANY REASON WHEN THE PROPERTY IS DEVELOPED, THE DEVELOPER SHALL ABANDON THE OUTLETS AT THE CONNECTION TO THE ACTIVE MAIN IN ACCORDANCE WITH THE CITY STANDARDS AND AT THE DEVELOPER'S EXPENSE.
10. ALL LINES TO BE PRESSURE TESTED ACCORDING TO GRANTSVILLE CITY AND AWWA STANDARDS AND CHLORINATED PRIOR TO USE AND FINAL ACCEPTANCE.
11. ALL FITTINGS TO BE COATED WITH POLY FM GREASE AND WRAPPED WITH 8 MIL THICK POLYETHYLENE.
12. NO OTHER UTILITY LINES MAY BE PLACED IN THE SAME TRENCH WITH WATER LINE UNLESS APPROVED BY THE CITY ENGINEER.
13. ANY CONFLICT WITH EXISTING UTILITIES SHALL BE IMMEDIATELY CALLED TO THE ATTENTION OF THE CITY ENGINEER OR DESIGNEE.
14. ALL WATER VAULTS WILL BE CONSTRUCTED PER GRANTSVILLE CITY STANDARD DRAWINGS AND SPECIFICATIONS. NO VAULTS ARE ALLOWED IN TRAFFIC AREAS WITHOUT PRIOR APPROVAL OF THE CITY ENGINEER.
15. LANDSCAPING AND IRRIGATION ADJACENT TO VAULTS SHALL DRAIN AWAY FROM VAULTS.
16. ONCE THE WATERLINE HAS BEEN TESTED, APPROVED AND CITY WATER IS FLOWING THROUGH THE PIPE, ONLY CITY PERSONNEL ARE AUTHORIZED TO SHUT DOWN AND CHARGE THE WATERLINE.
17. MEGALUS FOLLOWING RING OR AN APPROVED EQUIVALENT SHALL BE USED ON ALL FITTINGS.
18. APWA PLAN 562, CITY REQUIRES STAINLESS STEEL TIE DOWN RESTRAINTS WITH TURNBUCKLES ONLY. 5/8" REBAR IS NOT ACCEPTABLE. MEGALUS FOLLOWERS REQUIRED ON ALL FITTINGS AND ALL DIMENSIONS OF THRUST BLOCKING STILL APPLY. THRUST BLOCKS MAY BE ELIMINATED IF HORIZONTAL TIE DOWN RESTRAINTS HAVE BEEN PRE-ENGINEERED AND RECEIVE PRIOR CITY APPROVAL.
19. WATER MAINS WILL BE HOT TAPPED AS CALLED OUT ON THE APPROVED PLANS. UNDER SPECIAL CIRCUMSTANCES, WHEN A CONTRACTOR SUBMITS A REQUEST FOR A SHUTDOWN CONTRARY TO THE APPROVED PLANS AND THE REQUEST IS APPROVED AT THE DISCRETION OF THE CITY ENGINEER OR DESIGNEE, THE CONTRACTOR MUST PROVIDE 48-HOUR NOTICE TO NEIGHBORS AND THOSE AFFECTED. IF BUSINESSES ARE IMPACTED BY THE SHUTDOWN IT WILL BE DONE AFTER HOURS AND ALL OVERTIME FEES FOR CITY PERSONNEL, EQUIPMENT AND VEHICLES MUST BE PAID IN ADVANCE.
20. CONTRACTORS ARE REQUIRED TO WRITE THE LOT NUMBER WITH A BLACK PERMANENT MARKER ON THE INSIDE OF THE WATER METER BARRELS AS THEY ARE INSTALLED.

GRANTSVILLE CITY FIRE DEPARTMENT NOTES

1. ON ANY NEW HOME OR BUILDING INSTALLATION, ACCESSIBLE FIRE HYDRANTS SHALL BE INSTALLED BEFORE COMBUSTIBLE CONSTRUCTION COMMENCES AND SAID FIRE HYDRANTS SHALL BE IN GOOD WORKING ORDER WITH AN ADEQUATE WATER SUPPLY.
2. CONTRACTOR SHALL CALL THE PUBLIC WORKS DEPARTMENT AND ENGINEERING DEPARTMENT FOR UNDERGROUND INSPECTION, PRESSURE AND FLUSH VERIFICATION OF ALL FIRE HYDRANTS AND FIRE LINES BEFORE BACK FILLING.
3. PAINTING OF THE CURBS AND HYDRANT AND ANY WORK NECESSARY FOR PROTECTION OF HYDRANTS FROM PHYSICAL DAMAGE SHALL BE APPROVED BEFORE BEING CONSTRUCTED. HYDRA-FINDERS WILL BE INSTALLED PER GRANTSVILLE CITY STANDARDS DETAIL.
4. A FLOW TEST MUST BE WITNESSED BY THE FIRE DEPARTMENT PRIOR TO OCCUPANCY FOR VERIFICATION OF REQUIRED ON-SITE WATER SUPPLY.
5. ALL ON-SITE FIRE MAIN MATERIALS MUST BE U.L. LISTED AND A.W.W.A. APPROVED.
6. THE TURNING RADIUS FOR ANY FIRE APPARATUS ACCESS ROAD AND/OR FIRE LANE, PUBLIC OR PRIVATE, SHALL BE NOT LESS THAN FORTY-EIGHT FEET (48') OUTSIDE RADIUS EQUALING 96' OR LARGER AND TWENTY-TWO FEET (22') INSIDE RADIUS AND SHALL BE PAVED.
7. A FIRE APPARATUS ROAD SHALL BE REQUIRED WHEN ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY IS LOCATED MORE THAN ONE-HUNDRED FIFTY FEET (150') FROM FIRE DEPARTMENT VEHICLE ACCESS ROADS AND/OR FIRE LANES, PUBLIC OR PRIVATE, IN EXCESS OF ONE HUNDRED FIFTY FEET (150') IN LENGTH SHALL BE PROVIDED WITH AN APPROVED TURN AROUND AREA. CONTRACTOR/ENGINEER SHALL FOLLOW LATEST INTERNATIONAL FIRE CODE REGULATIONS AT ALL TIMES IN REGARDS TO DISTANCE.
8. ACCESS ROADS SHALL BE MARKED BY PLACING APPROVED SIGNS AT THE START OF THE DESIGNATED FIRE LANE, ONE SIGN AT THE END OF THE FIRE LANE AND WIDTH SIGNS AT INTERVALS OF ONE-HUNDRED FEET (100') ALONG ALL DESIGNATED FIRE LANES. SIGNS TO BE PLACED ON BOTH SIDES OF AN ACCESS ROADWAY IF NEEDED TO PREVENT PARKING ON EITHER SIDE. SIGNS SHALL BE INSTALLED AT LEAST 5' MEASURED FROM THE BOTTOM EDGE OF THE SIGN TO THE NEAR EDGE OF PAVEMENT, WHERE PARKING OR PEDESTRIAN MOVEMENTS OCCUR, THE CLEARANCE TO THE BOTTOM OF THE SIGN SHALL BE AT LEAST 7'. THE CURB ALONG OR ON THE PAVEMENT OR CEMENT IF CURB IS NOT PRESENT, SHALL BE PAINTED WITH RED WEATHER RESISTANT PAINT IN ADDITION TO THE SIGNS.
9. ELECTRICALLY CONTROLLED ACCESS GATES SHALL BE PROVIDED WITH AN APPROVED EMERGENCY VEHICLE DETECTOR/RECEIVER SYSTEM. SAID SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE GRANTSVILLE CITY F.D. APPROVAL. GATES ARE ONLY ALLOWED WITH PRIOR APPROVAL.
10. ALL PRIVATE UNDERGROUND FIRE LINES THAT SERVICE AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE NO SMALLER THAN EIGHT (8) INCHES IN DIAMETER AND HAVE A STOP INDICATOR VALVE (PIV) BETWEEN THE WATER MAIN AND THE BUILDING. IF A PIV ISN'T FEASIBLE DUE TO SITE CONSTRAINTS, A WATER INDICATOR VALVE (WIV) MAY BE USED WITH THE APPROVAL OF THE CITY ENGINEER OR FIRE CODE OFFICIAL. FOR A WIV TO BE ALLOWED, ANOTHER VALVE MUST BE INSTALLED ON THE FIRE SERVICE LINE BACK AT THE CONNECTION TO THE WATER MAIN, WHICH WILL BE MAINTAINED BY THE CITY AS PART OF ITS CULINARY WATER SYSTEM. ALL FIRE LINES MATERIAL SHALL BE DUCTILE IRON (DUCTION IRON FROM THE PIV TO THE BUILDING SHALL BE PERMITTED OR DUCTILE IRON FROM THE MAIN WATER LINE TO THE WIV).
11. STOP INDICATOR VALVES (PIV) SHALL BE BETWEEN 6 AND 40 FEET FROM BUILDINGS NOT EXCEEDING THREE STORIES OR EQUIVALENT IN HEIGHT AND BETWEEN 30 AND 40 FEET ON BUILDINGS IN EXCESS OF THREE OR MORE STORIES IN HEIGHT OR EQUIVALENT.
12. ROADS AND ACCESSES SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS. SURFACE SHALL BE PAVED BEFORE THE APPLICATION OF COMBUSTIBLE MATERIAL.
13. ALL NEW BUILDINGS EQUIPPED WITH A FIRE DEPARTMENT CONNECTION (FDC) MUST HAVE INLETS SECURED WITH KNOX BRAND LOCKING FDC CAPS WITH A SMMVEL COLLAR. ALL NEW BUILDINGS ARE ALSO REQUIRED TO HAVE A KNOX BRAND KEY LOCK BOX MOUNTED ON THE EXTERIOR BUILDING, SUCH THAT FIRE DEPARTMENT PERSONNEL MAY GAIN ACCESS IN CASE OF AN EMERGENCY.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AR	ACCESSIBLE ROUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
BMP	BEST MANAGEMENT PRACTICES
BVC	BOTTOM OF STEP
BVC	BEGIN VERTICAL CURVE
C	CURVE
CB	CATCH-BASIN
CF	CURB FACE
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
COIT	CORRUGATED
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
ELEC	ELECTRICAL
ELEV	ELEVATION
EOA	EDGE OF ASPHALT
EVC	END OF VERTICAL CURVE
EW	EACH WAY
EXHIST	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE OR FLANGE
GB	GRADE BREAK
GV	GATE VALVE
HC	HANDICAP
HFB	HIGH FLOW
IRR	IRRIGATION
K	RATE OF VERTICAL CURVATURE
LD	LAND DRAIN
LF	LINEAR FEET
LP	LOW POINT
MH	MANHOLE
MM	MECHANICAL JOINT
NJ	NATURAL JOINT
NV	NATURAL GROUND
NUMBER	NUMBER
OC	ON CENTER
OCEN	ON CENTER EACH WAY
CHP	OVERHEAD POWER
PC	POINT OF CURVATURE OR PRESSURE CLASS
PGC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PIR	PLASTIC IRRIGATION PIPE
PV	POST INDICATOR VALVE
PRC	POINT OF REVERSE CURVATURE
PRO	PROPOSED
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RD	ROAD
ROW	RIGHT OF WAY
S	SLOPE
SAN SWR	SANITARY SEWER
SD	STORM DRAIN
SEC	SECONDARY
SS	SANITARY SEWER
STA	STATION
SW	SIDEWALK
SWL	SECONDARY WATER LINE
TBC	TOP BACK OF CURB
TOS	TOP OF SPATE
TQA	TOP OF ASPHALT
TCC	TOP OF CONCRETE
TOW	TOP OF FOUNDATION
TZW	TOP OF WALL
TQS	TOP OF STEP
TYF	TYPICAL
VC	VERTICAL CURVE
WV	WALL INDICATOR VALVE
WL	WATER LINE

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

	SECTION CORNER		EXISTING EDGE OF ASPHALT
	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT		EXISTING STRIPING
	EXISTING REBAR AND CAP		PROPOSED STRIPING
	SET IN SIGN REBAR AND CAP		EXISTING FENCE
	EXISTING WATER METER		PROPOSED FENCE
	PROPOSED WATER METER		EXISTING FLOW LINE
	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
	PROPOSED WATER MANHOLE		GRADE BREAK
	EXISTING WATER BOX		EXISTING STORM DRAIN LINE
	EXISTING WATER VALVE		PROPOSED STORM DRAIN LINE
	PROPOSED WATER VALVE		RCOF DRAIN LINE
	EXISTING FIRE HYDRANT		CATCHMENTS
	PROPOSED FIRE HYDRANT		HIGH WATER LINE
	PROPOSED FIRE DEPARTMENT CONNECTION		EXISTING SANITARY SEWER
	EXISTING SECONDARY WATER VALVE		PROPOSED SAN. SWR. SERVICE LINE
	PROPOSED SECONDARY WATER VALVE		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION BOX		EXISTING LAND DRAIN LINE
	EXISTING IRRIGATION VALVE		PROPOSED LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		EXISTING SECONDARY WATER LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		PROPOSED SECONDARY WATER LINE
	EXISTING STORM DRAIN INLET BOX		PROPOSED SEC. WATER SERVICE LINE
	EXISTING STORM DRAIN CATCH BASIN		EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED IRRIGATION LINE
	EXISTING OVERHEAD POWER LINE		EXISTING ELECTRICAL LINE
	PROPOSED STORM DRAIN COMBO BOX		EXISTING GAS LINE
	EXISTING STORM DRAIN CLEAN OUT		EXISTING TELEPHONE LINE
	EXISTING STORM DRAIN CULVERT		ACCESSIBLE ROUTE
	PROPOSED STORM DRAIN CULVERT		SAW CUT LINE
	TEMPORARY SAG INLET PROTECTION		STRAW WATTLE
	TEMPORARY INLINE INLET PROTECTION		TEMPORARY BERM
	ROOF DRAIN		TEMPORARY SILT FENCE
	EXISTING ELECTRICAL MANHOLE		LIMITS OF DISTURBANCE
	EXISTING ELECTRICAL BOX		EXISTING WALL
	EXISTING TRANSFORMER		PROPOSED WALL
	EXISTING UTILITY POLE		EXISTING CONTOURS
	EXISTING LIGHT		PROPOSED CONTOURS
	PROPOSED LIGHT		PROPOSED D.S. CONTOURS
	EXISTING GAS METER		BUILDABLE AREA WITHIN SETBACKS
	EXISTING GAS MANHOLE		PUBLIC DRAINAGE EASEMENT
	EXISTING GAS VALVE		EXISTING ASPHALT TO BE REMOVED
	EXISTING TELEPHONE MANHOLE		PROPOSED ASPHALT
	EXISTING TELEPHONE BOX		EXISTING CURB AND GUTTER
	EXISTING TRAFFIC SIGNAL BOX		PROPOSED CURB AND GUTTER
	EXISTING CABLE BOX		PROPOSED REVERSE PAN CURB AND GUTTER
	EXISTING BOLLARD		TRANSITION TO REVERSE PAN CURB
	PROPOSED BOLLARD		TYPE D MOUNTABLE CURB AND GUTTER
	EXISTING SIGN		CONCRETE TO BE REMOVED
	PROPOSED SIGN		EXISTING CONCRETE
	EXISTING SPOT ELEVATION		PROPOSED CONCRETE
	PROPOSED SPOT ELEVATION		STAMPED CONCRETE
	EXISTING FLOW DIRECTION		BUILDING TO BE REMOVED
	EXISTING TREE		EXISTING BUILDING
	DESIRE VEGETATION		PROPOSED BUILDING

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



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PHONE: 435-840

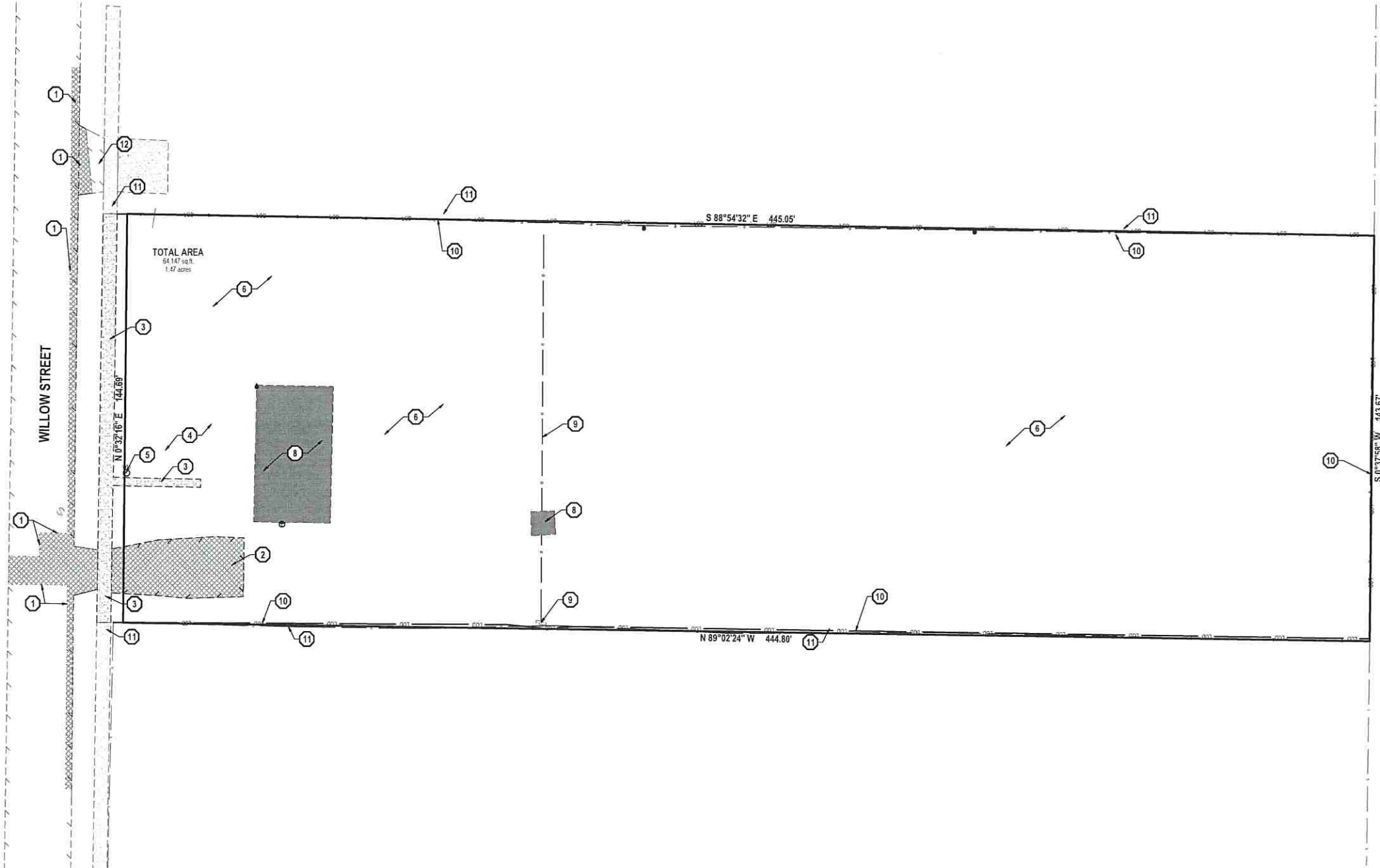
811

CALL BLUE STAKES
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PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK

EXISTING SEWER MANHOLE #102 IN WILLOW
STREET.

ELEV = 4356.32



GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VELOCITY SHALL BE BORNE BY THE CONTRACTOR AND ASSURED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOO, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
4. ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC., SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
5. SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
6. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC., UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS

1. SAWCUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN STRAIGHT EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.
2. REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT PAVEMENT.
3. SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE SIDEWALK.
4. REMOVE AND PROPERLY DISPOSE OF SECTION OF EXISTING SANITARY SEWER LATERAL.
5. REMOVE EXISTING WATER METER. SAWCUT AND PATCH ROADWAY TO PLUG AT BLOCK WATER LATERAL AT CURB STOP ON MAIN LANE.
6. REMOVE EXISTING LANDSCAPING IN THIS AREA. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
7. REMOVE AND PROPERLY DISPOSE OF EXISTING FENCE.
8. REMOVE AND PROPERLY DISPOSE OF EXISTING STRUCTURES, CONCRETE SLABS, STAIRS, ETC., INCLUDING ALL ELECTRICAL AND GAS APPLIANCE/ANCES. IN THIS AREA WHETHER OR NOT IDENTIFIED ON PLANS. CONTRACTOR TO FILL IN ALL HOLES CREATED DURING DEMOLITION WITH STRUCTURAL FILL TO PROPER SUBGRADE ELEVATION.
9. REMOVE, RELOCATE EXISTING GUY WIRES AND OVERHEAD POWER LINES. EXISTING POLE TO REMAIN IN PLACE. COORDINATE WITH LOCAL POWER COMPANY.
10. LIMIT OF DISTURBANCE.
11. PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, SIGNS, ETC. (TYPICAL UNLESS OTHERWISE NOTED).
12. CONTRACTOR TO FIELD VERIFY EXISTING ASPHALT DRIVEWAY CONDITION, CUT, REMOVE AND PROPERLY RECONSTRUCT ASPHALT DRIVEWAY.



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PHONE: 435-840-2602

**HOLLY WILLOW
ESTATES PUD**
225 WILLOW STREET
GRANTSVILLE CITY, UTAH



DEMOLITION PLAN

PROJECT NUMBER: 10898
DRAWN BY: C.CHILD
PROJECT MANAGER: C.CHILD
PRINT DATE: 2022-03-23
CHECKED BY: J. CLEGG

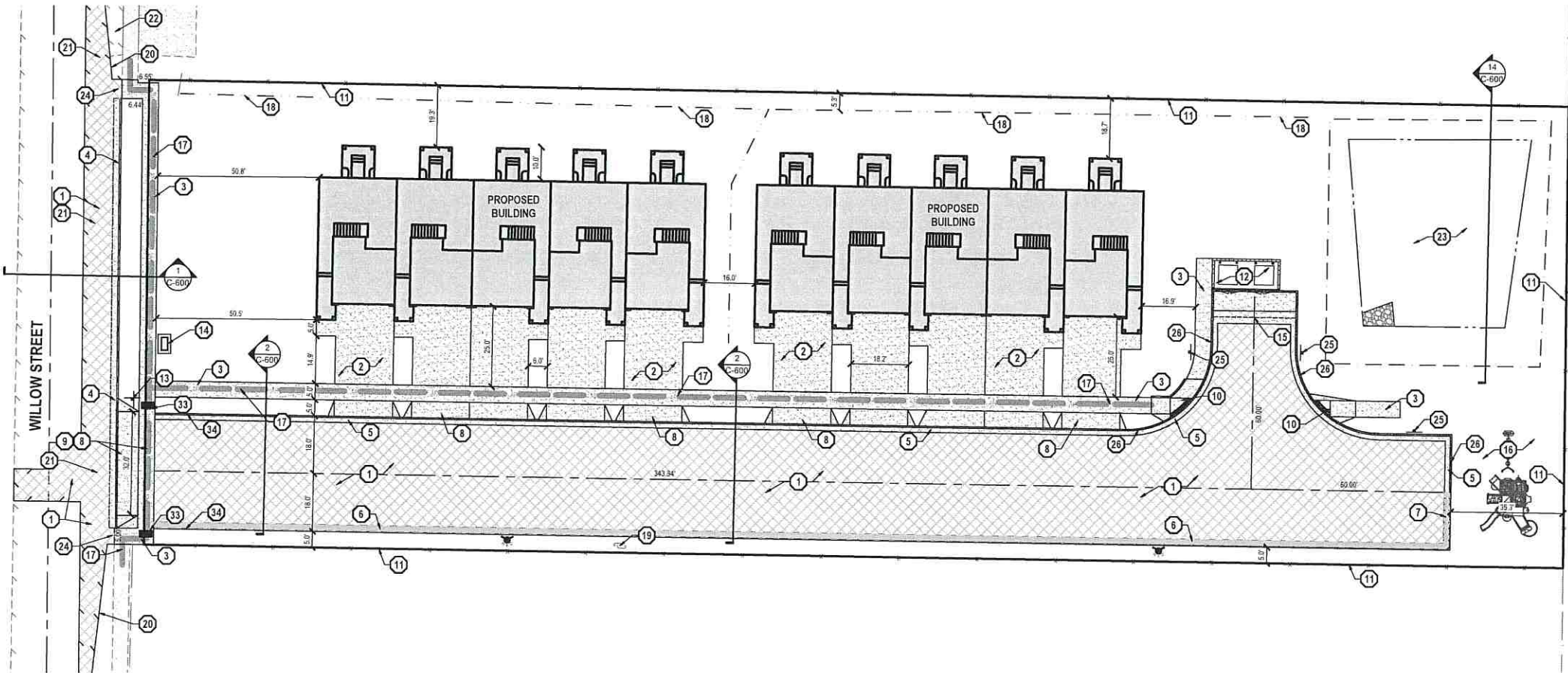
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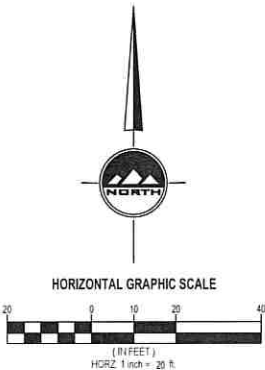
EXISTING SEWER MANHOLE #102 IN WILLOW
STREET.
ELEV = 4336.32'



- GENERAL NOTES
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 3. SEE LANDSCAPE ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH AND SCORE PATTERN THROUGHOUT SITE.
 4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
 5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
 6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
 7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- SCOPE OF WORK:
- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS
1. ASPHALT PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 70-600.
 2. CONCRETE PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 80-600.
 3. 6" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231.
 4. 30" TYPE 'A' CURB AND GUTTER PER APWA STANDARD PLAN NO. 205.1.
 5. 24" TYPE 'E' CURB AND GUTTER PER APWA STANDARD PLAN NO. 205.2.
 6. 24" REVERSE PAN CURB AND GUTTER PER DETAIL 90-600.
 7. TRANSITION BETWEEN COLLECTION CURB AND GUTTER AND REVERSE PAN CURB AND GUTTER.
 8. FLARED DRIVEWAY APPROACH PER APWA STANDARD PLAN NO. 222 AND SPECIFICATIONS.
 9. 8" THICK CONCRETE SIDEWALK THROUGH DRIVE APPROACH.
 10. HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 235.2 WITH DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 238.
 11. FENCE. SEE OWNERS PLANS FOR ADDITIONAL INFORMATION.
 12. TRASH ENCLOSURE PER ARCHITECTURAL PLANS WITH 6" THICK CONCRETE APRON WITH #4 REBAR @ 24" O.C. E.W. ON 6" GRAVEL BASE.
 13. "STOP" SIGN PER M.U.T.C.D. STANDARD PLANS.
 14. TOWNHOUSE SIGN. SEE OWNERS PLANS FOR ADDITIONAL INFORMATION.
 15. 4" WATERWAY PER APWA STANDARD PLAN NO. 211.
 16. PLAYGROUND AREA. SEE OWNERS PLANS FOR ADDITIONAL INFORMATION ON PLAYGROUND EQUIPMENT AND GROUND COVER.
 17. ACCESSIBLE ROUTE.
 18. DRAINAGE SWALE PER DETAIL 140-600.
 19. RELOCATE OVERHEAD UTILITIES UNDERGROUND. WORK WITH ROCKY MOUNTAIN POWER.
 20. TAPER ASPHALT 15:1 INTO EXISTING ASPHALT.
 21. CONTRACTOR TO VERIFY POSITIVE SLOPE ON PROPOSED ASPHALT BEFORE INSTALLING CURB AND GUTTER.
 22. CONTRACTOR TO FIELD VERIFY EXISTING ASPHALT DRIVEWAY CONDITION, CUT, REMOVE AND PROPERLY RECONSTRUCT ASPHALT DRIVEWAY.
 23. RETENTION BASIN SEE GRADING PLAN C-300.
 24. TRANSITION ASPHALT SLOPE TO SMOOTH DROP FROM SIDEWALK.
 25. "NO PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.
 26. PAINT CURB RED WITH TRAFFIC RATED PAINT.

NOTE: MAY CONTAIN KEYNOTES THAT ARE NOT USED ON THIS SHEET.



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CONTACT:
HOLLY JONES
PHONE: 435-843-2602

HOLLY WILLOW
ESTATES PUD
225 WILLOW STREET
GRANTVILLE CITY, UTAH



SITE PLAN

PROJECT NUMBER: 10898
PROJECT DATE: 2022-03-23
DRAWN BY: C.CHILD
CHECKED BY: J.CLEGG
PROJECT MANAGER: C.CHILD

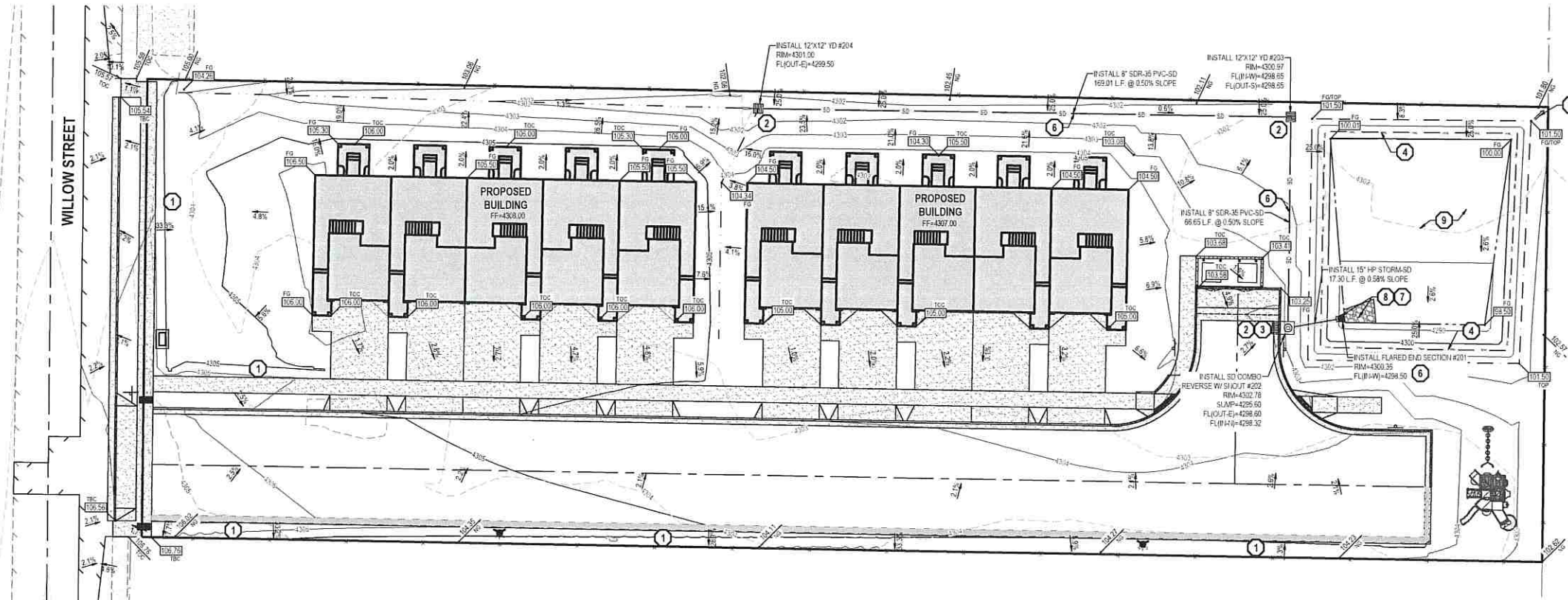
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BENCHMARK

EXISTING SEWER MANHOLE #102 IN WILLOW
STREET
ELEV. = 4396.32



GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
4. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
5. ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XXX.XX REPRESENTS AN ELEVATION OF 43XX.XX ON THESE PLANS.
6. UNDEVELOPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
7. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
8. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION PORTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
9. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
10. ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
11. ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
12. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
13. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
14. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS
1. DAYLIGHT TO EXISTING GROUND WITH MAXIMUM 3:1 SLOPE.
 2. COMBINATION INLET AND 12" X 12" YD BOX PER GRANTSVILLE CITY STANDARDS AND SPECIFICATIONS.
 3. SHOUT 18\"/>
- NOTE: MAY CONTAIN KEYNOTES THAT ARE NOT USED ON THIS SHEET.

EN SIGN

THE STANDARD IN ENGINEERING

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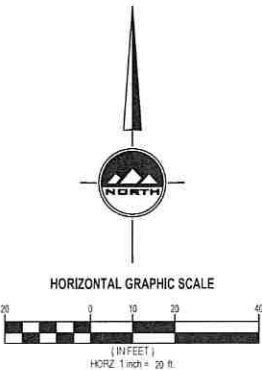
HOLLY WILLOW
ESTATES PUD
225 WILLOW STREET
GRANTSVILLE CITY, UTAH



GRADING AND
DRAINAGE PLAN

PROJECT NUMBER:
10888
PRINT DATE:
2022-03-23
DRAWN BY:
C.CHILD
CHECKED BY:
J. CLEGG
PROJECT MANAGER:
C.CHILD

C-300



STORM DRAIN DETENTION

PROJECT TITLE

Holly Willow Estates Subdivision

PROJECT NUMBER

10898

LOCATION

Grantsville, Utah

DATE

03/03/22

DESIGNED BY

SEAN PERKINS

CHECKED BY

C. Child

APPROVED BY

C. Child

PEET

1 OF 1

AREA CALCULATION

HARDSCAPE AREA

0.45 acres

runoff coeff. C:

0.90

ROOF AREA

0.25

runoff coeff. C:

0.85

LANDSCAPE/NATIVE AREA

0.78 acres

runoff coeff. C:

0.15

TOTAL AREA

1.47 acres

WEIGHTED C:

0.49

RUNOFF CALCULATION

100 Year Design Storm

Allowable Discharge Rate

0 cfs/ac

Discharge Rate

0.00 cfs

Basin Area

3808 sf

Infiltration Rate

1.33 in/hr

Time (min)

CA (Acres)

Precipitation (in/hr)

Time (h)

Storage (ft³)

Storage (ft³)

5

0.73

6.07

0.083

1,338

35

1,303

10

0.73

4.62

0.167

2,037

70

1,967

15

0.73

3.62

0.250

2,526

106

2,421

30

0.73

2.57

0.50

3,399

211

3,188

60

0.73

1.59

1.0

4,206

422

3,784

120

0.73

0.84

2.0

4,444

844

3,600

180

0.73

0.56

3.0

4,460

1,266

3,194

360

0.73

0.30

6.0

4,898

2,532

2,366

720

0.73

0.17

12.0

5,302

5,065

237

1440

0.73

0.10

24.0

6,159

10,129

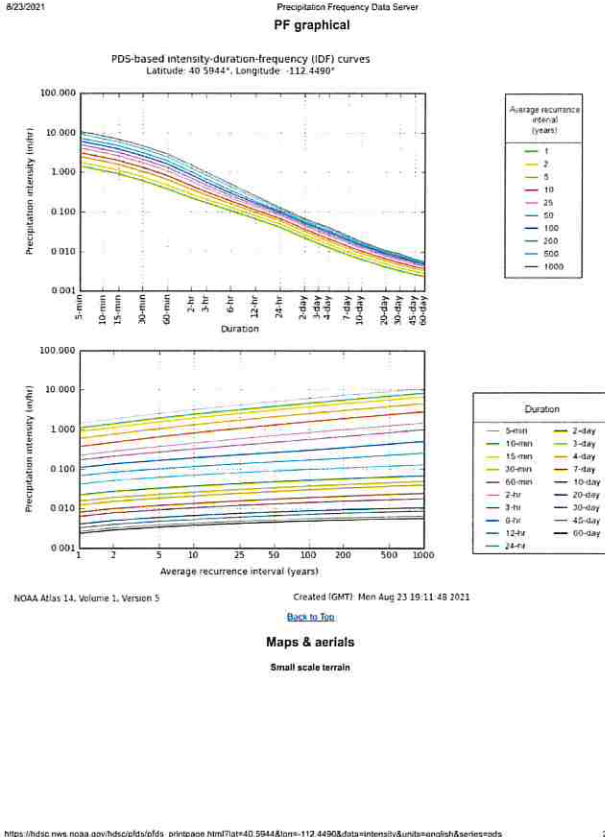
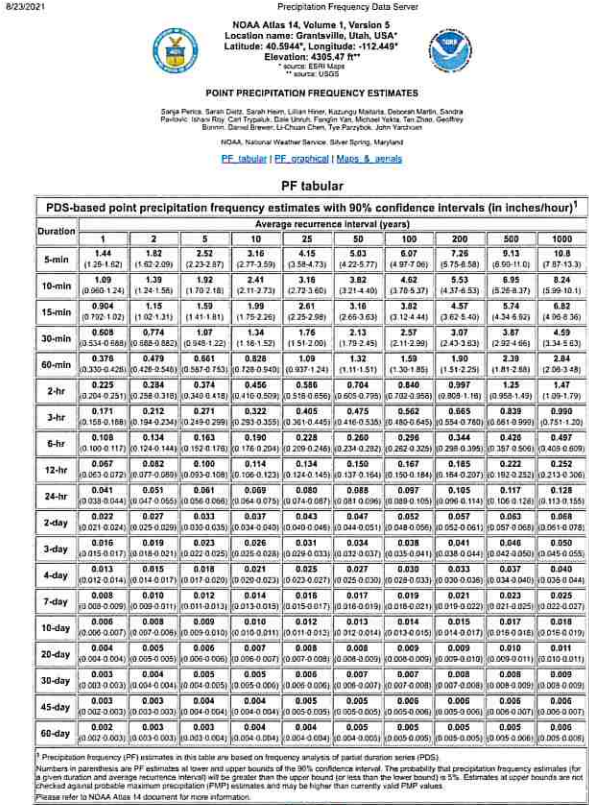
-3,971

STORAGE REQUIRED

3,784

STORAGE PROVIDED

4,477



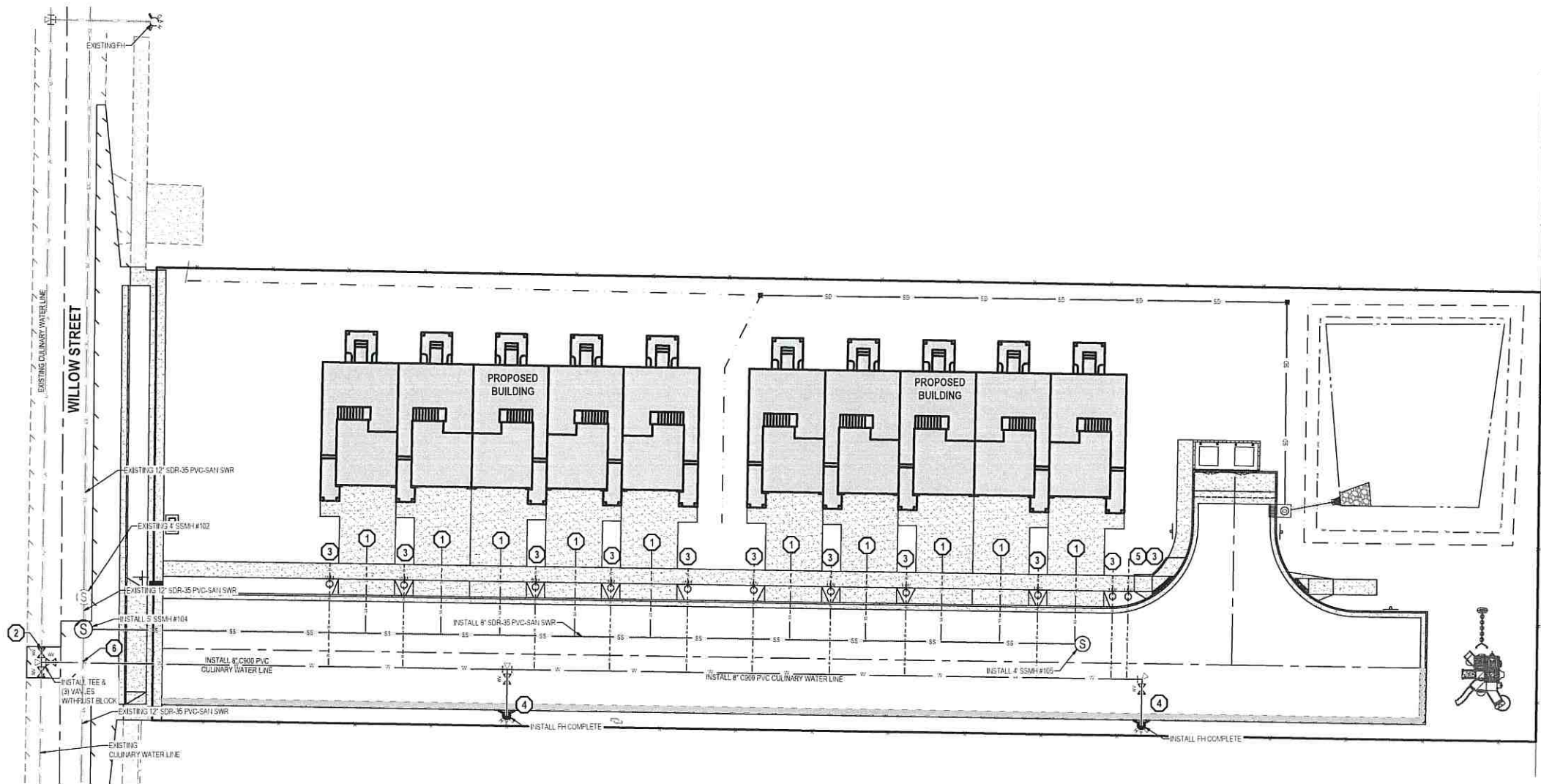
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BENCHMARK

EXISTING SEWER MANHOLE #102 IN WILLOW STREET.

ELEV = 4306.32



- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION. BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATION MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
 3. ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
 4. ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
 5. DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 6. PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
 7. THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
 8. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
 9. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 10. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
1. INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.0% MINIMUM SLOPE PER APWA PLAN NO. 431, 15' FROM THE BACKSIDE OF SIDEWALK, TYPICAL.
 2. CONNECT TO EXISTING SEWER MAIN PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 3. INSTALL 3/4" HOPE SDR 9 CULINARY WATER SERVICE LATERAL AND 3/4" METER SET PER APWA STANDARD PLAN NO. 521, EXTEND LATERAL APPROX. 15' FROM THE BACKSIDE OF SIDEWALK, TYPICAL.
 4. FIRE HYDRANT ASSEMBLY COMPLETE PER APWA STANDARD PLAN NO. 511 AND SPECIFICATIONS.
 5. POINT OF CONNECTION FOR IRRIGATION CONTRACTOR.
 6. CONTRACTOR TO MAINTAIN 1' OF SEPARATION BETWEEN INTERSECTING PIPE LINES.
- NOTE: MAY CONTAIN KEYNOTES THAT ARE NOT USED ON THIS SHEET.

EN SIGN

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HOLLY WILLOW
ESTATES PUD
225 WILLOW STREET
GRANTSVILLE CITY, UTAH

10924116-2202
CORREY J. CHILDS
STATE OF UTAH

UTILITY PLAN

PROJECT NUMBER: 10898
PROJECT DATE: 2022-03-23
DRAWN BY: C.CHILD
CHECKED BY: J.CLEGG
PROJECT MANAGER: C.CHILD

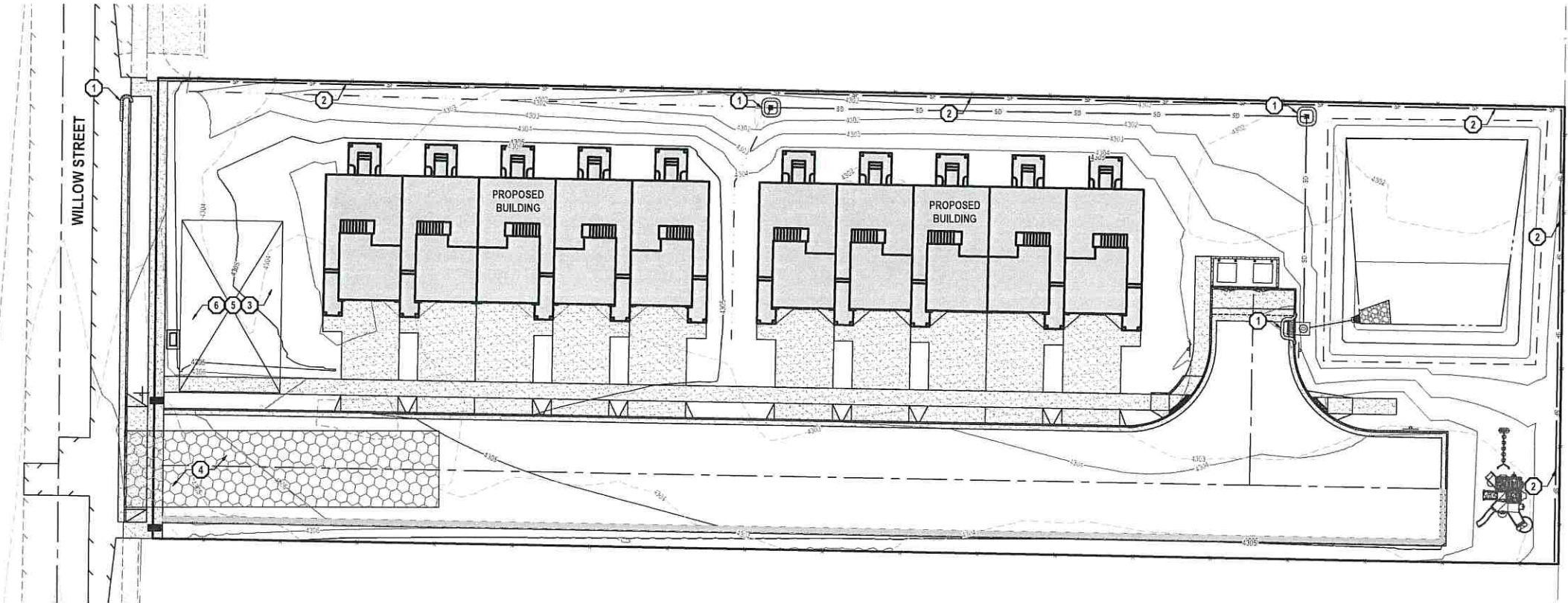
C-400

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BENCHMARK

EXISTING SEWER MANHOLE #102 IN WILLOW
STREET.
ELEV = 4306.32'



GENERAL NOTES

- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEASURES TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD, IMPROVE, OR DELETE BEST MANAGEMENT PRACTICES (BMPs) AS NECESSARY. MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ON-SITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ON-SITE.
- DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
- DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
- VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMPs TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
- NOT ALL POSSIBLE BMPs HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
- A UFGDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

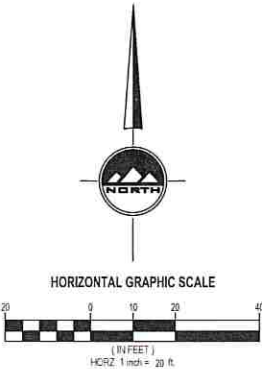
SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

- INLET PROTECTION PER DETAIL 300-600.
- SILT FENCE PER DETAIL 400-600.
- PORTABLE TOILET PER DETAIL 500-600.
- VEHICLE WASH-DOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 600-600.
- SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
- SUGGESTED STOCKPILE AREA.

REVISION SCHEDULE

NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			



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LAYTON

Phone: 801.547.1100

CEDAR CITY

Phone: 435.865.1453

RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
HOLLY JONES
807 EAST CHAM DRIVE
TOOELE CITY, UTAH 84074
CONTACT:
HOLLY JONES
PHONE: 435-840-2602

HOLLY WILLOW
ESTATES PUD
225 WILLOW STREET
GRANTSVILLE CITY, UTAH



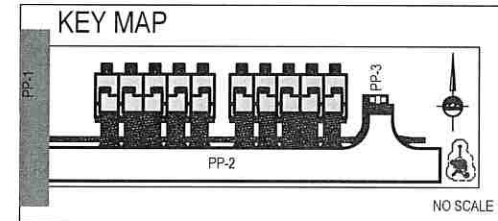
EROSION
CONTROL PLAN

PROJECT NUMBER: 18858
DRAWN BY: C. CHILD
PROJECT MANAGER: C. CHILD
PRINT DATE: 2022-03-23
CHECKED BY: J. OLEGG

C-500

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ELEV = 4306.92'



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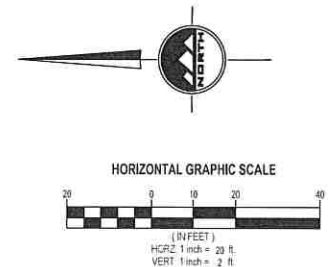
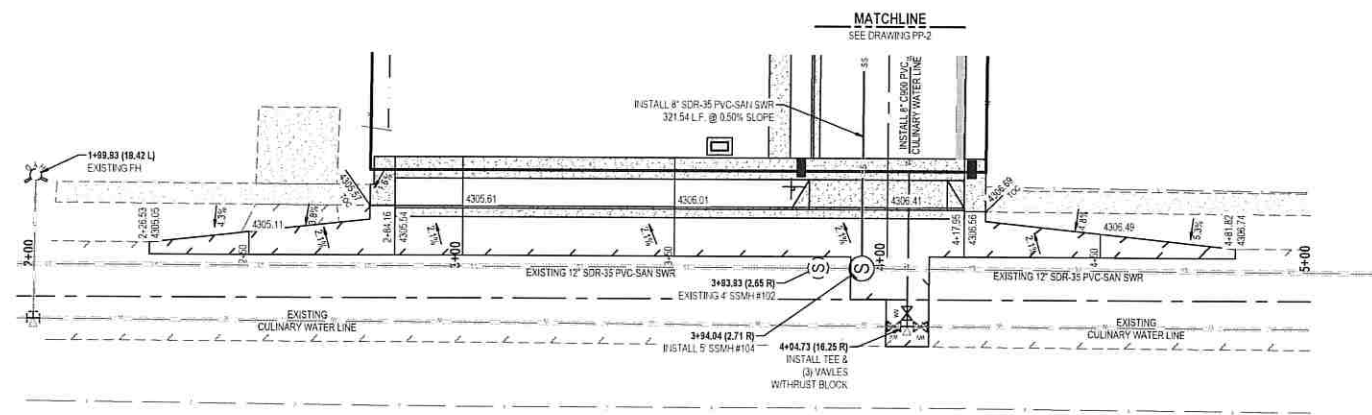
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Phone: 435.865.1453

RICHFIELD
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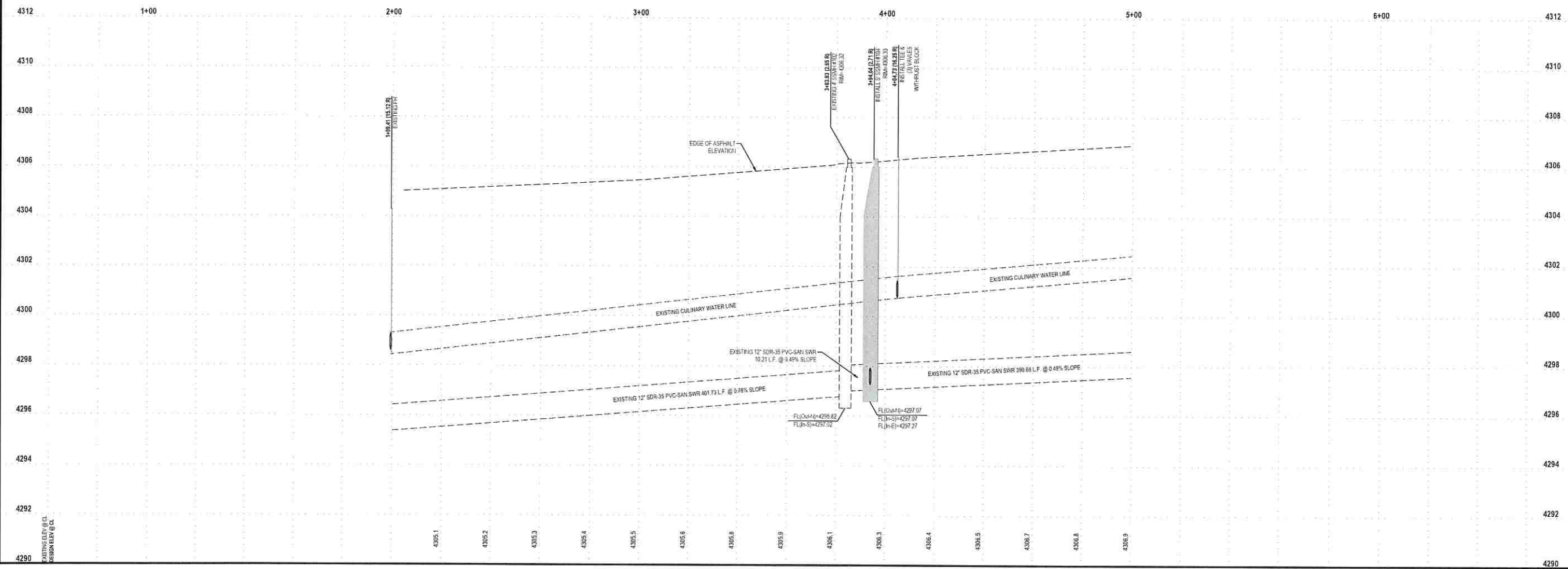
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CONTACT:
HOLLY JONES
PHONE: 435-840-2902



WILLOW STREET



**HOLLY WILLOW
ESTATES PUD**
225 WILLOW STREET
GRANTSVILLE CITY, UTAH

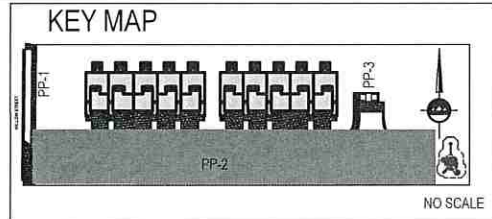


PLAN AND PROFILE

PROJECT NUMBER: 16896
PRINT DATE: 2022-03-23
DESIGNED BY: C.CHILD
CHECKED BY: J. GLEGG
PROJECT MANAGER: C.CHILD

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BENCHMARK
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ELEV = 4306.32



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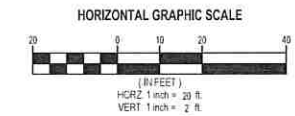
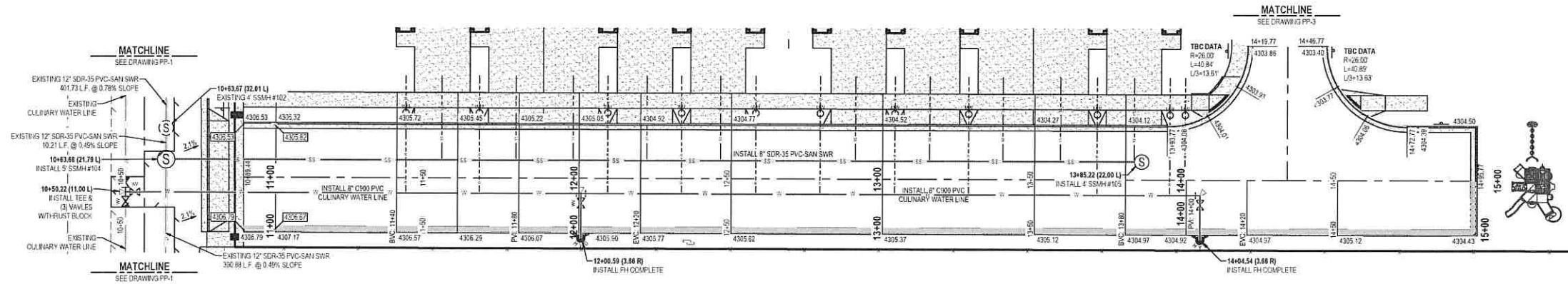
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Phone: 435.865.1453

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Phone: 435.896.2983

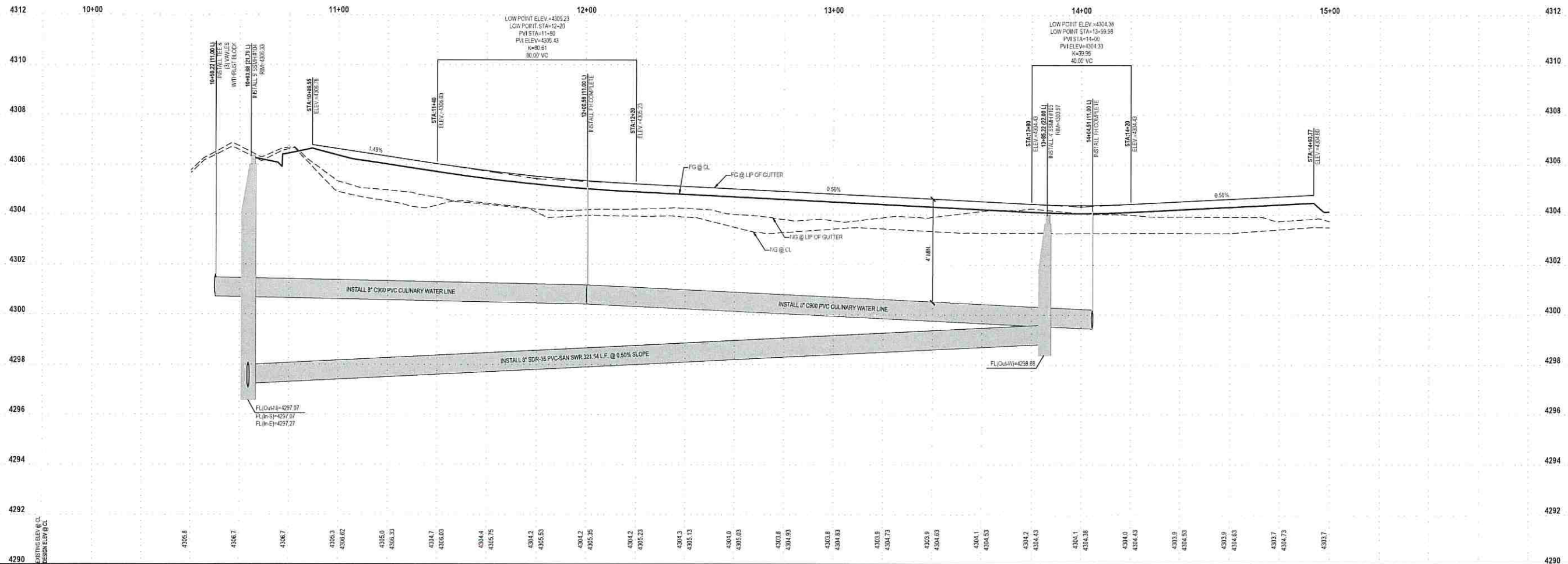
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HOLLY JONES
PHONE: 435.842.2602



HOLLY WILLOW ESTATES



**HOLLY WILLOW
ESTATES PUD**
225 WILLOW STREET
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PLAN AND PROFILE

PROJECT NUMBER: 18898
PRINT DATE: 2022-03-23
DRAWN BY: C.CHILD
CHECKED BY: J.CLEGG
PROJECT MANAGER: C.CHILD

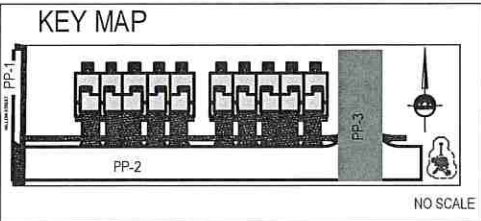
PP-2

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ELEV = 4306.32



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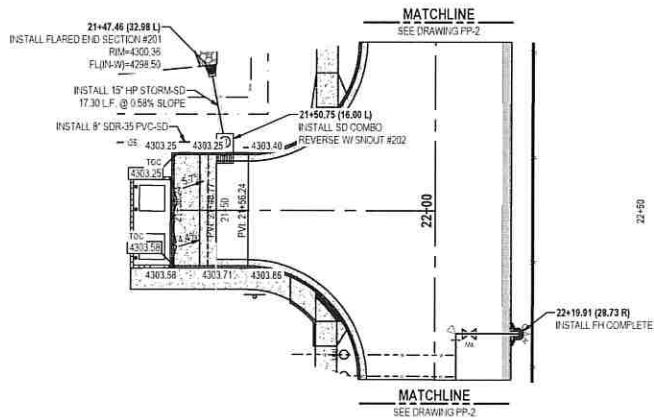
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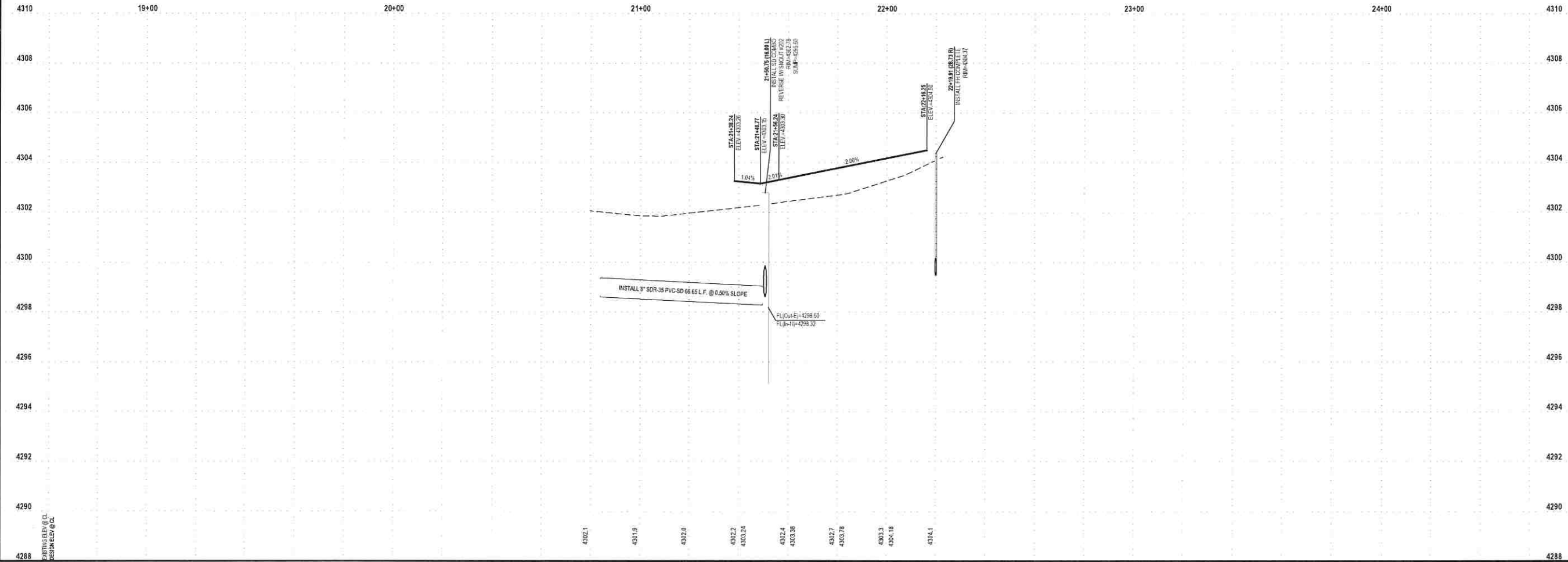
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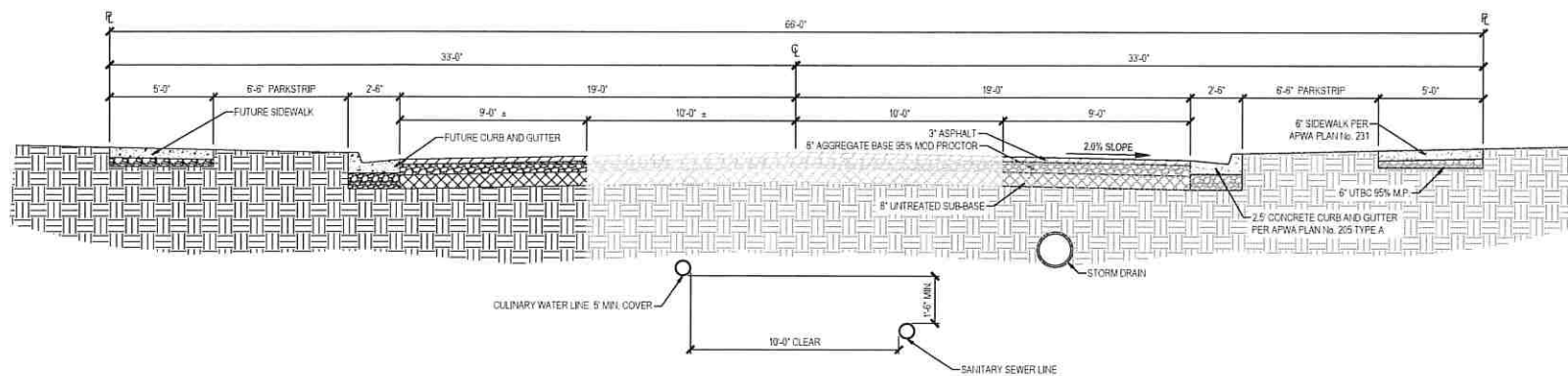
**HOLLY WILLOW
ESTATES PUD**
225 WILLOW STREET
GRANTSVILLE CITY, UTAH



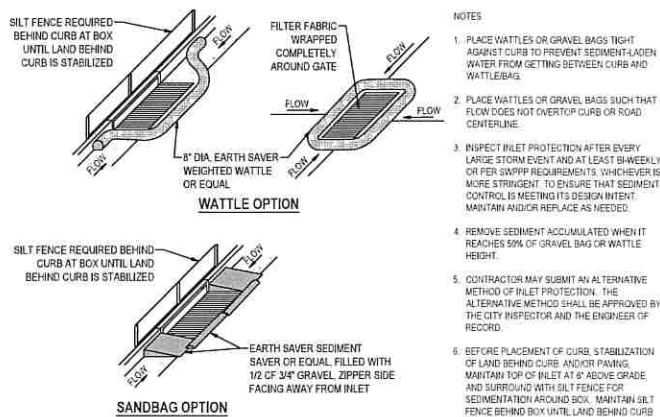
PLAN AND PROFILE

PROJECT NUMBER: 10898
PRINT DATE: 2022-03-23
DRAWN BY: C.CHILD
CHECKED BY: J.CLEGG
PROJECT MANAGER: C.CHILD

PP-3

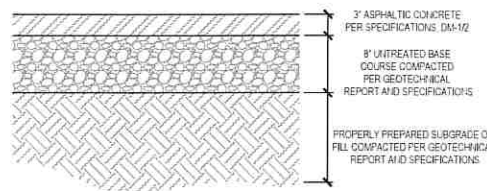


1 WILLOW STREET 66 FOOT ROAD CROSS SECTION
SCALE: NONE

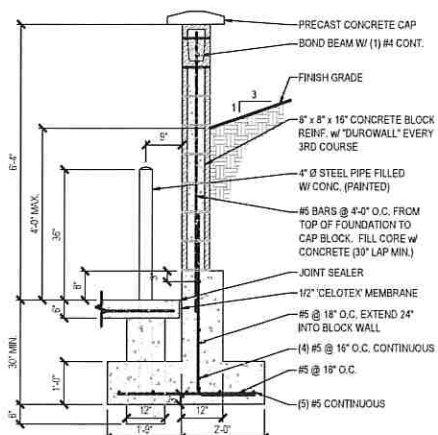


3 SAG INLET PROTECTION
SCALE: NONE

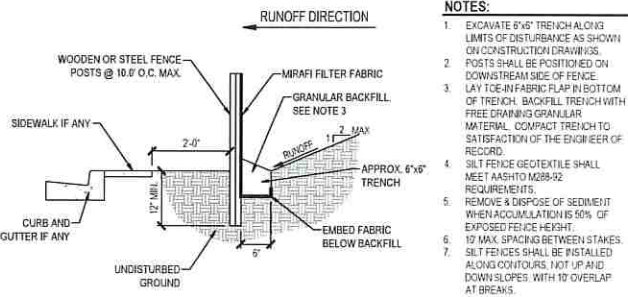
- ASPHALT NOTES**
- ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
 - ALL STRUCTURAL FILL TO BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-99 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
 - REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.



7 STANDARD ON-SITE ASPHALT SECTION
SCALE: NONE

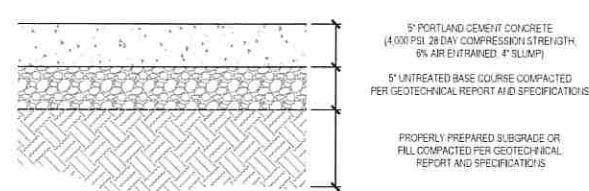


11 TRASH ENCLOSURE WALL & BOLLARD
SCALE: NONE

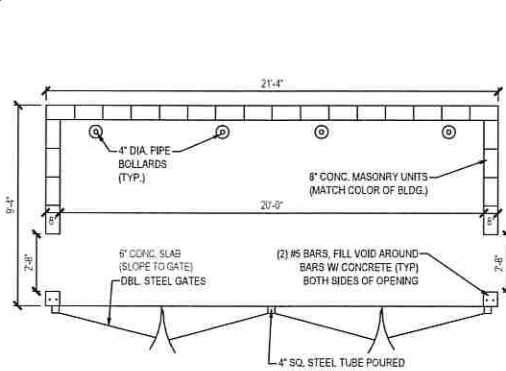


4 TEMPORARY SILT FENCE
SCALE: NONE

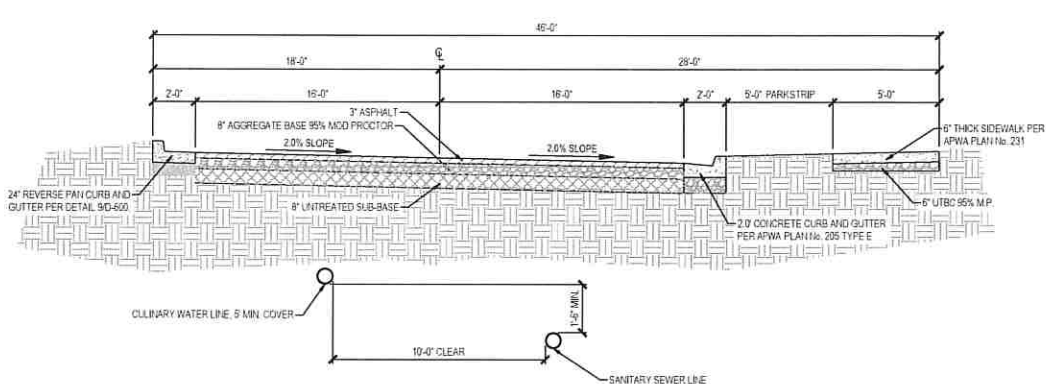
- CONCRETE NOTES**
- ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
 - ALL STRUCTURAL FILL TO BE PLACED AND COMPACTED PER THE PROJECT GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-99 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD BE PLACED PER GEOTECHNICAL RECOMMENDATIONS BUT SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
 - REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.



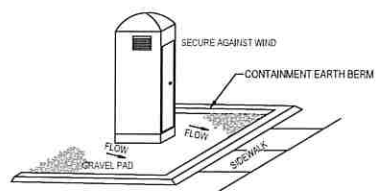
8 CONCRETE PAVEMENT SECTION
SCALE: NONE



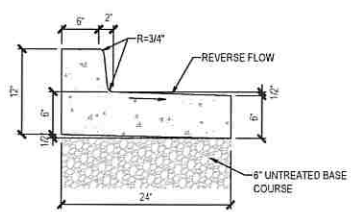
12 TRASH ENCLOSURE (TYP.)
SCALE: NONE



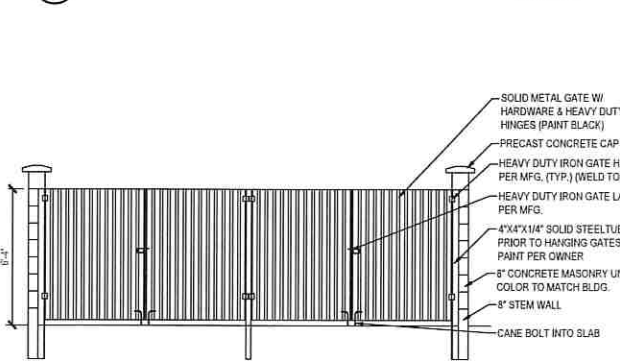
2 PARKING LOT CROSS SECTION
SCALE: NONE



5 PORTABLE TOILET
SCALE: NONE

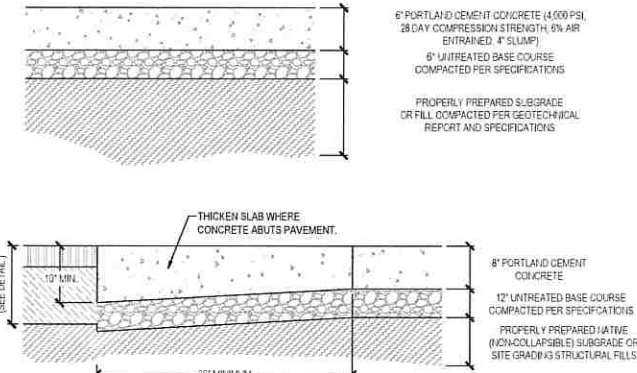


9 24" REVERSE PAN CURB AND GUTTER
SCALE: NONE

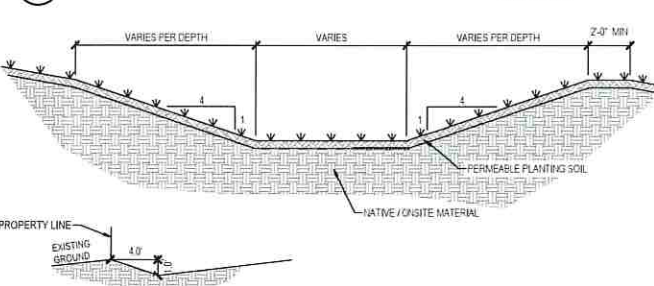


13 TRASH ENCLOSURE ELEVATION
SCALE: NONE

6 STABILIZED CONSTRUCTION ENTRANCE
SCALE: NONE



10 DUMPSTER PAD / APRON SECTION
SCALE: NONE



14 RETENTION BASIN & DRAINAGE SWALE
SCALE: NONE



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PHONE: 435-840-2502

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225 WILLOW STREET
GRANTSVILLE CITY, UTAH



DETAILS

PROJECT NUMBER: 10698
DATE: 3/23/22
DRAWN BY: C.CHILD
CHECKED BY: J. CLEGG
PROJECT MANAGER: C.CHILD

D-600

When type of maintenance is required? Inspect rock outlet structures after heavy rains to see if any erosion around or below the riprap has taken place or if stones have been dislodged. Immediately make all needed repairs to prevent further damage. Remove any debris that has collected on the outlet pad.

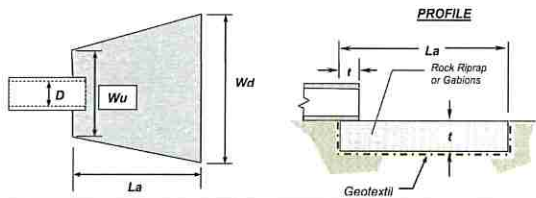


Figure 1 - Typical detail for rock outlet protection below a culvert

Culvert Size D (inches)	Rock Size d _s (inches)	Apron Length La (feet)	Upstream Width Wu (feet)	Downstream Width Wd (feet)	Thickness t (inches)	Quantity (tons)
12	6	12	3	13	18	15
18	9	16	4.5	18	24	20
24	12	20	6	22	24	35
30	15	24	7.5	27	24	60
36	18	28	9	32	30	75
42	24	36	12	42	36	120
48	30	48	16	54	48	180

TABLE 1 - Rock outlet protection apron dimensions

Culvert Size D (inches)	Smallest Dimension in Inches				% of rocks small than size shown
	6" d _s	9" d _s	12" d _s	18" d _s	
8	8	12	15	21	100
6	6	9	12	18	50-70
4	4	6	9	12	35-50
3	3	4	6	9	2-10

TABLE 2 - Required rock gradation

NOTE: After a fire many trees are weakened from burning around the base of the trunk. The trees can fall over or blow down without warning. Shallow rooted trees can also fall. Therefore be extremely alert when around burned trees.

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USDA is an equal opportunity provider and employer.



Rock Outlet Protection

Denver Federal Center
Building 56, Room 2604
PO Box 25426
Denver, Co 80225-0426

720-544-2810 - office
www.co.nrcs.usda.gov



What is rock outlet protection?

A pad or apron of heavy rock placed at the outlet end of culverts or chutes.

When is rock outlet protection used?

Rock outlet protection is installed where the energy at the outlets of culverts or chutes are sufficient to erode the receiving channel or area. This fact sheet does not apply to continuous rock linings of channels or streams. Pipes that dump water at the top of a slope, or down slopes steeper than 10 percent, or flow at rates greater than 10 feet per second require a site specific design that is beyond the scope of this fact sheet.

How is rock outlet protection installed?

Apron length: Apron length (La) shall be determined from Table 1.

Apron width: The apron width is based on the diameter of the discharge pipe (D). The apron width will be D at the upstream end (Wu), and the downstream width (Wd) will be equal to (D + La). The apron shall extend across the channel bottom and up side slopes for a minimum height equal to the diameter of the pipe (D).

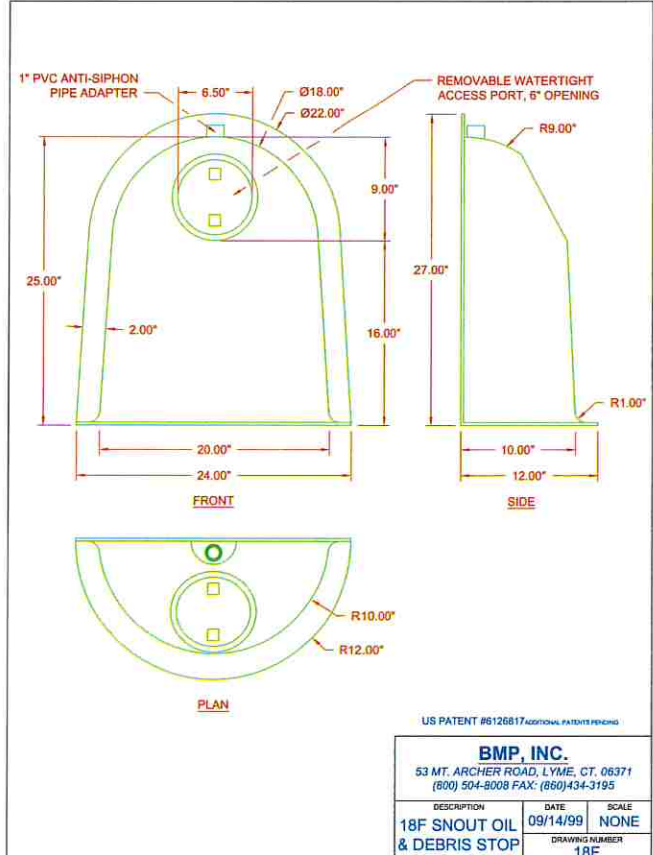
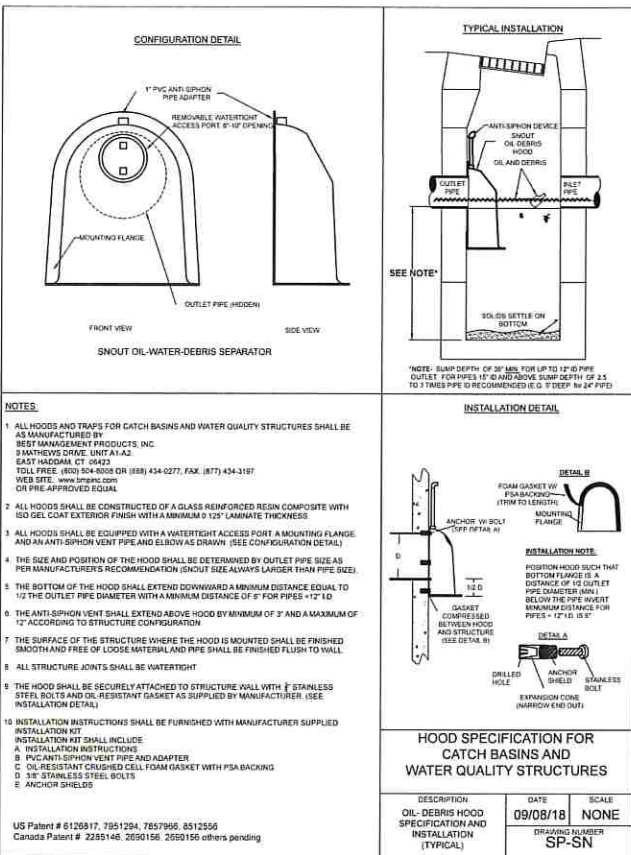
Alignment: The apron shall be located so that there are no bends in the horizontal alignment. The apron should be level over its length, and the elevation of the downstream end of the apron must be the same as the elevation of the receiving channel or adjacent ground.

Thickness: The required apron thickness is shown in Table 1.

Gabions: When a gabion mattress is used it shall be made of double twisted galvanized steel wire. Gabions shall be fabricated in such a manner that the sides, ends, and lid can be assembled at the construction site into mats a minimum of 12 inches thick.

Materials: Outlet protection may be done using rock riprap or gabion mattresses to construct the apron. The rock shall consist of field stone or rough unheven quarry stone. The stone shall be hard and angular and of a quality that will not disintegrate on exposure to water or weathering. Broken concrete may be used provided it does not have any exposed steel or reinforcing bars, and that it is broken into blocky pieces such that the largest dimension of each piece is no more than 3 times the smallest dimension. The required rock size is shown in Tables 1 and 2. In all cases a geotextile (filter fabric) shall be placed below the apron and the underlying soil to prevent soil movement into and through the riprap.

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USDA is an equal opportunity provider and employer.



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Phone: 801.255.0529

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Phone: 801.547.1100

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FOR:
HOLLY JOHNS
627 EAST CHANDLER DRIVE
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CONTACT:
HOLLY JOHNS
PHONE: 435-840-7602

HOLLY WILLOW
ESTATES PUD
225 WILLOW STREET
GRANTSVILLE CITY, UTAH



DETAILS

PROJECT NUMBER: 10958
PRINT DATE:
DRAWN BY: C.CHILD
CHECKED BY: J. GLEGG
PROJECT MANAGER: C.CHILD

D-602

NOTE:
ALL CONCRETE SURFACE IMPROVEMENTS SHALL
BE CONSTRUCTED USING 4,500 PSI CONCRETE

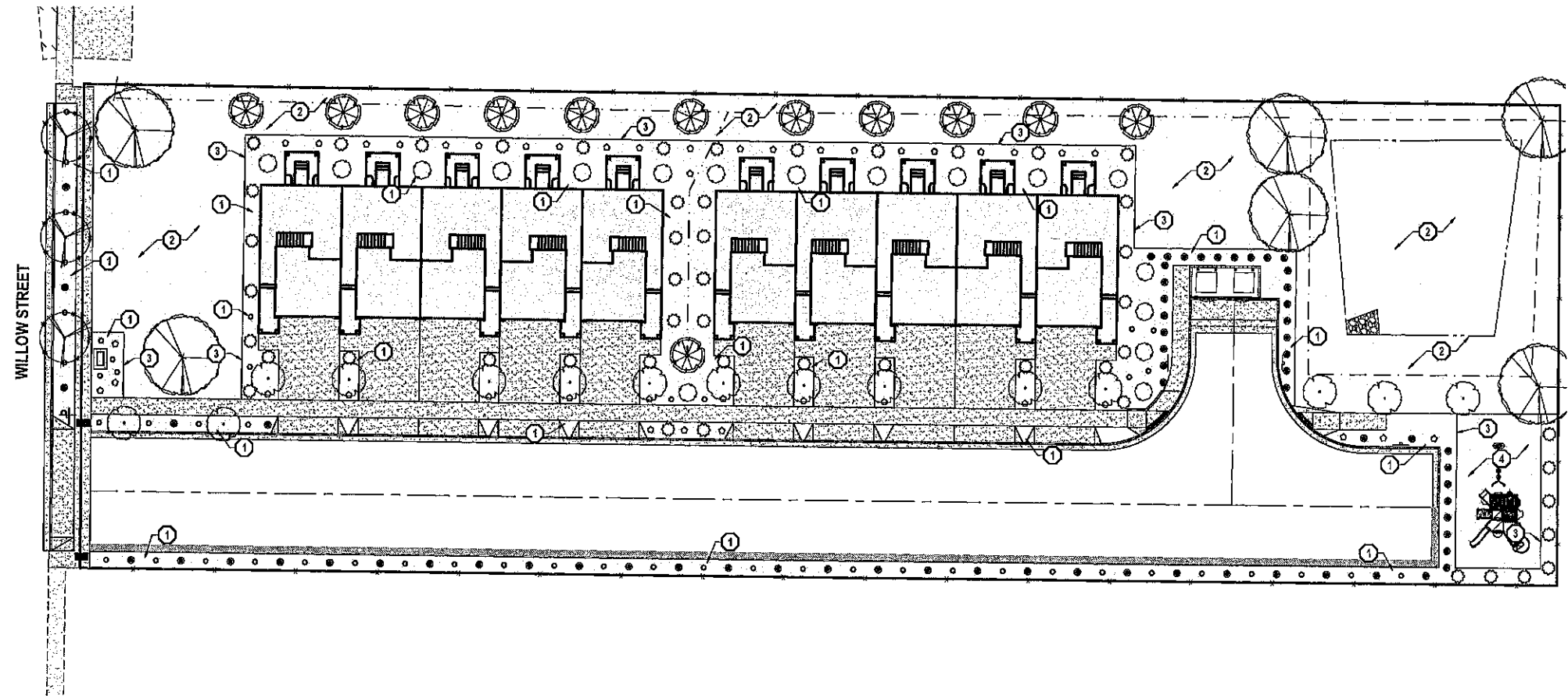
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BENCHMARK

EXISTING SEWER MANHOLE #102 IN WILLOW STREET.

ELEV = 4306.32



Landscape

Trees				
Qty	Symbol	Common Name	Botanical Name	Plant Size
3		Plum Cherry, Thundercloud	Prunus cerasifera	2" Cal.
12		Redbud, Eastern	Cercis canadensis	2" Cal.
15		Maple, Bigtooth	Acer grandidentatum	2" Cal.
6		Honeylocust, Shademaster	Gleditsia triacanthos 'Shademaster'	2" Cal.

Shrubs Under 4 Feet				
Qty	Symbol	Common Name	Botanical Name	Plant Size
41		Cinquefoil	Potentilla fruticosa 'Aubotwood'	5 Gallon
51		Currant, Alpine	Ribes alpinum	5 Gallon
17		Winged Euonymus	Euonymus alatus	5 Gallon

Ground Cover/Vines				
Qty	Symbol	Common Name	Botanical Name	Plant Size
50		Blue Oat Grass	Helictotrichon sempervirens	1 Gallon
67		Feather Reed Grass 'Karl Foerster'	Calamagrostis x acutiflora 'Karl Foerster'	1 Gallon

- SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- 1. INSTALL 4" DEEP LANDSCAPING BARK OR 2" 3" DIA. NEPHI ROCK & GRAVEL, COLOR "SOUTH TOWN" OR EQUIV. DECORATIVE ROCK OVER WEED BARRIER, TYP.
 - 2. SOD AREA (TYP)
 - 3. INSTALL 4" METAL EDGING (TYP)
 - 4. PLAYGROUND GROUND COVER PER OWNER



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CONTACT:
HOLLY JONES
PHONE: 435-840-2602

HOLLY WILLOW
ESTATES PUD
225 WILLOW STREET
GRANTSVILLE CITY, UTAH

LANDSCAPE
PLAN

PROJECT NUMBER
10898

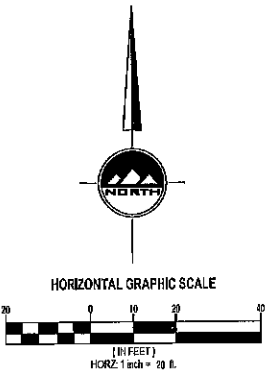
DESIGNED BY
C. CHILDS

PROJECT MANAGER
C. CHILDS

DATE
06/02/07

BY
J. CLEGG

L-100

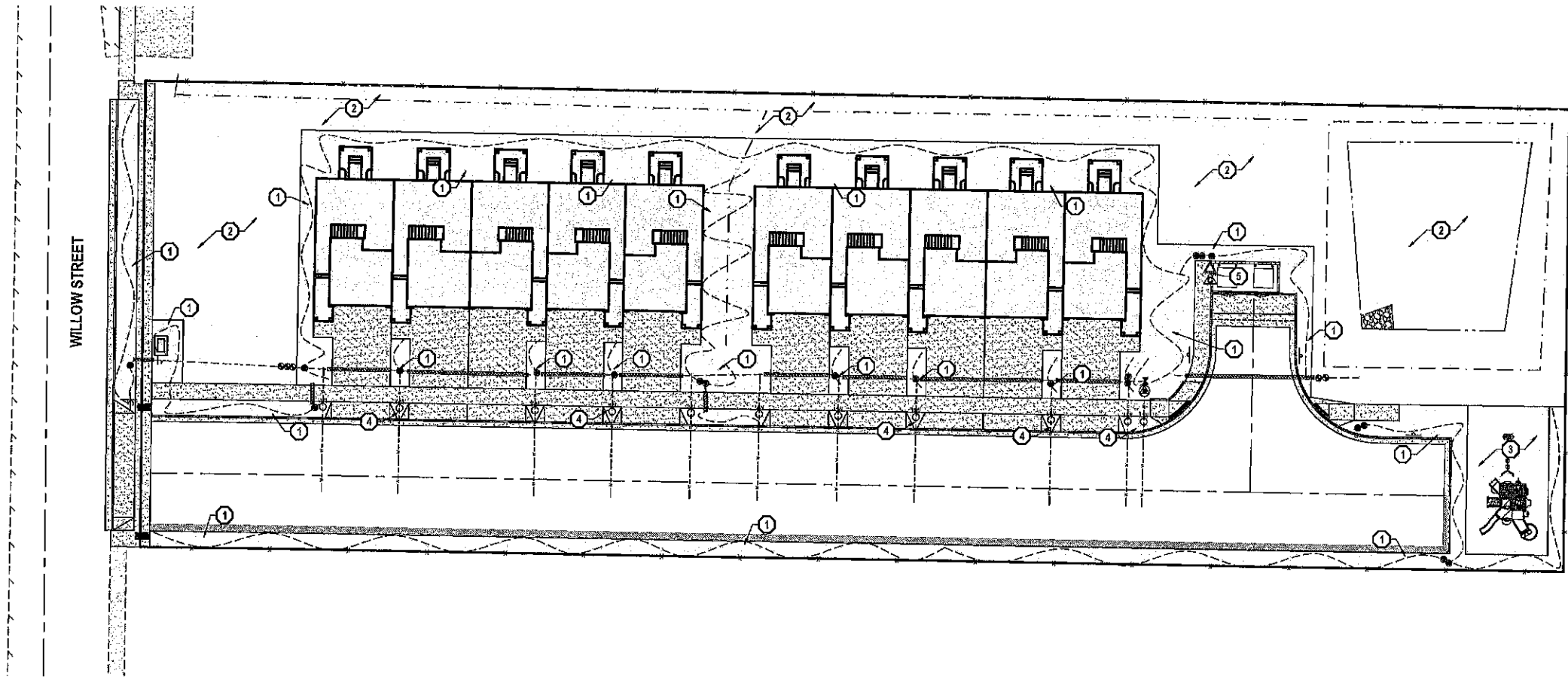


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BENCHMARK

EXISTING SEWER MANHOLE #102 IN WILLOW
STREET.
ELEV = 4306.37



-	⊙	Rain Bird 100-PGA Globe
-	⊙	Rain Bird XC2-100 GCM
-	▨	Pipe Sleeve - 2x Diameter
-	---	Mainline - CENFLEX HDPE 1 1/2"
1	⚠	Rain Bird RSD-85x Rain Sensor
1	⚠	Intrtel TC-24EX-R Outdoor Controller
1	⚠	Muller 1 1/2" Brass Stop and Waste
1	⚠	Backflow Prevention Device
	⚠	Rain Bird XBS Black Stripe Tubing with Rain Bird XBS-10 Emitters
	⚠	RAINBIRD SPRAYED HEAD & MAXI

*Install 2 emitters per shrub, 4 emitters per tree

NOTES

THIS PLAN WAS DRAWN FOR GRAPHIC CLARITY ONLY. PLEASE PLACE ALL MAINLINE AND LATERAL LINES IN ADJACENT LANDSCAPE AREAS. SOME FIELD MODIFICATIONS MAY BE NEEDED TO AVOID ON-SITE OBSTRUCTIONS.

COORDINATE IRRIGATION CONTROLLER WITH OWNER'S FACILITY OPERATION DEPARTMENT.

BACKFLOW PREVENTER MUST BE TESTED WITHIN 10 DAYS OF INSTALLATION AND SENT TO GRANTSVILLE CITY AND TESTED YEARLY THEREAFTER.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 DRIP AREA, SEE L-300.
- 2 RAINBIRD SPRAYED HEAD & MAXI AREA, SEE L-300.
- 3 NON-WATERED AREA
- 4 INSTALL BACKFLOW PREVENTION DEVICE PER THE MANUFACTURER'S STANDARDS AND SPECIFICATIONS. SEE DETAIL 10-300.
- 5 INSTALL IRRIGATION CONTROLLER AND RAIN SENSOR, SEE L-300.

NORTH

HORIZONTAL GRAPHIC SCALE

0 10 20 30

(IN FEET)

1" OR 2" 1 inch = 20 ft.

ENSIGN

THE STANDARD IN ENGINEERING

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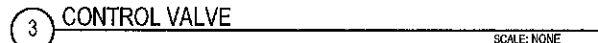
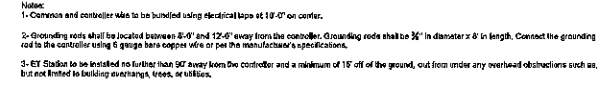
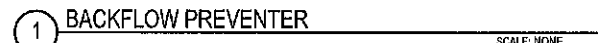
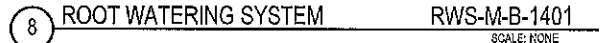
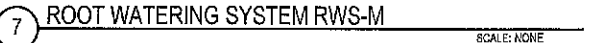
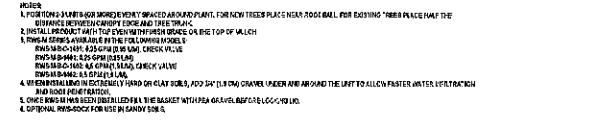
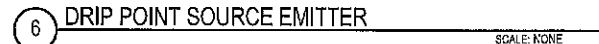
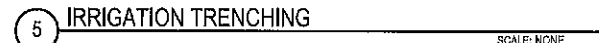
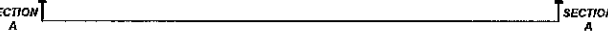
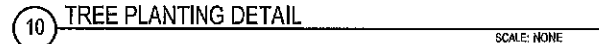
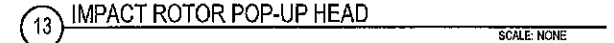
IRRIGATION
PLAN

PROJECT NUMBER:
10898
DATE:
DRAWN BY:
C.CHILD
CHECKED BY:
J. CLEGG
PROJECT MANAGER:
C.CHILD

L-200

1. LANDSCAPE CONTRACTOR HAS THE OPTION TO SUBSTITUTE PLANT MATERIAL IF SPECIFIED GENUS, SPECIES, AND/OR VARIETIES ARE NOT LOCALLY OR REGIONALLY AVAILABLE. LANDSCAPE CONTRACTOR SHALL REPLACE SAID PLANTS WITH THOSE OF LIKE HARDINESS ZONE, SIZE, FORM, MATURE AND SOLAR REQUIREMENTS, AND MEET THE GENERAL INTENT OF THE ORIGINAL DESIGN. ANY REPLACEMENT PLANT MATERIAL MUST BE APPROVED BY THE ENGINEERING AND LAND SURVEYING DIVISION. OR PROJECT REPRESENTATIVE PRIOR TO INSTALLATION. ALL REPLACEMENT PLANT MATERIALS SHALL CONFORM TO CITY APPROVED PLANTS. ALL PLANTING SUBSTITUTION WILL BE APPROVED BY CITY.
2. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
3. NOTIFY LANDSCAPE REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
4. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.
5. MULCH PER PLAN. SHALL BE USED AS A FOUR (4) INCH (1") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
6. LANDSCAPE CONTRACTOR SHALL INSTALL AN UNDERGROUND, POP-UP IRRIGATION SYSTEM WHICH PROVIDES COMPLETE COVERAGE OF THE SITE AND MEETS COUNCILITY REQUIREMENTS AT OR BEFORE THE INSTALLATION OF LANDSCAPE MATERIALS.
7. ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI-Z60.1-1986)
8. CONTRACTOR SHALL USE AVAILABLE SUITABLE TOPSOIL THAT HAD BEEN STOCKPILED ONSITE. IF QUANTITIES ARE NOT SUFFICIENT TO MEET SITE MINIMUMS CONTRACTOR SHALL PROVIDE ADDITIONAL MATERIALS. ADDITIONAL MATERIAL SHALL BE SUPPLIED BY A DOMESTIC TOPSOIL SUPPLIER.
9. PROVIDE THE FOLLOWING TOP SOIL MINIMUMS:
A. 4" TOPSOIL IN ALL BED AREAS
B. 8" TOP SOIL IN ALL PLANTER BEDS
10. WEED FABRIC SHALL BE A DENSITY SUNBELT WOVEN GRUND COVER INSTALLED W/ GROUND STAPLES ACCORDING TO MANUFACTURER RECOMMENDATIONS.

1. IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED CONTRACTOR AND EXPERIENCED WORKMEN PRIOR TO OBTAINING PAY FOR ALL REQUIRED PERMITS.
2. CONTRACTOR TO CONFIRM THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY OR DURING THE PERFORMANCE OF HIS WORK AT NO ADDITIONAL COST.
3. PARALLEL PIPES MAY BE INSTALLED IN A COMMON TRENCH; PIPES NOT TO BE INSTALLED ONE ABOVE THE OTHER.
4. TRENCHES ARE TO BE DEEP ENOUGH TO ALLOW FOR 18" MIN. COVER ON MAIN LINES AND 12" MIN. COVER ON LATERAL LINES. BACKFILL TO BE WATERED IN AND COMPACTED.
5. ALL MAIN AND LATERAL LINES SHALL BE SCHEDULE 40 PVC PIPE.
6. ALL ELECTRICAL VALVES SHALL BE INSTALLED IN VALVE BOXES WITH FLOODING LIDS.
7. DIRECT BURIAL 14 GAUGE WIRE WITH SPEARS DR-SPLICE CONNECTORS (OR EQUAL) SHALL BE USED IF SEPARATION BETWEEN MAIN LINE & WIRE EITHER ABOVE GROUND OR TO SIDE.
8. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE PROPER COVERAGE OF ALL IRRIGATED AREAS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING ALL LINES AND SHALL INSTALL MANUAL DRAINS AT ALL VALVE MANIFOLDS AND AT ALL LOW POINTS ON MAIN LINES. BACKFLOW VALVES SHALL BE INSTALLED IN WELL MARKED VALVE BOXES WITH FLOODING LIDS. RISING AUTOMATIC DRAIN VALVES TO BE INSTALLED AT ALL LOW POINTS ON LATERAL LINES. CONTRACTOR TO INSTALL QUICK COUPLER VALVE AT ALL VALVE MANIFOLD LOCATIONS.
10. ALL SPRINKLER LINES AND CONTROL WIRES CROSSING UNDER PAVED AREAS SHALL BE INSTALLED IN A SLEEVE TWICE THE SIZE OF THE PIPE.
11. FLUSH MAIN LINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF HEADS. MAIN LINES TO BE INSPECTED FOR LEAKS UNDER FULL PRESSURE PRIOR TO BACKFILLING TRENCHES.
12. CONTRACTOR TO MAINTAIN A SET OF "AS BUILT" DRAWINGS. A REPRODUCIBLE COPY OF WHICH WILL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE UPON COMPLETION.
13. THE OWNER RESERVES THE RIGHT TO REJECT MATERIAL OR WORK WHICH DOES NOT CONFORM TO THESE DRAWINGS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AT CONTRACTOR'S EXPENSE.



AGENDA ITEM #13

RETAINING WALLS:

- A. Applicability: This section applies to all "Retaining Walls", as defined in chapter 2 of the Land Use Ordinance Code. **Currently no definition in the land use ordinance. "Retaining Wall": A wall that is built to keep the land (soil) behind it from sliding or moving.**
- B. Building Permit Required: Except as otherwise provided in subsections C of this section, all retaining walls require a building permit prior to construction or alteration. Permit applications shall be processed and issued in accordance with building permit procedures and applicable provisions of this section. Building permit review fees will be assessed and collected at the time the permit is issued.
- C. Building Permit Exemptions: The following do not require a building permit:
 - 1. Retaining walls less than four feet (4') in height with less than ten horizontal units to one vertical unit (10H:1V) front and back slopes within ten feet (10') of the wall;
 - 2. Nontiered retaining walls less than three feet (3') in height with back slopes flatter than or equal to two horizontal units to one vertical unit (2H:1V) and having front slopes no steeper than or equal to four horizontal units to one vertical (4H:1V);
 - 3. Tiered retaining walls less than three (3') in height per wall and which have front slopes and back slopes of each wall no steeper than or equal to ten horizontal units to one vertical unit (10H:1V) within ten feet (10') of the walls;
 - 4. Retaining walls less than one foot (1') in height with a fence less than six feet (6') attached to the top of it; and
 - 5. Retaining walls less than fifty (50) square feet in size.
- D. Geologic hazard: Global stability analysis of modified natural slopes steeper than three horizontal units to one vertical unit (3H:1V) and cut or fill slopes of two horizontal units to one vertical unit (2H:1V) or greater is required.
- E. Engineered Design Required: All retaining walls required to obtain a building permit shall be designed by an engineer licensed by the State of Utah.
- F. Height, Separation and Plantings:
 - 1. For the purposes of this subsection, the height of a retaining wall is measured from the bottom of the footing to the top of wall. If a retaining wall has a varying height along its length, the height is the largest value of the measured height along the length of the wall.
 - 2. Depending on the construction material used, distances will be measured to the face of the wall or the projection of the footing, whichever is greater.
 - 3. For the purposes of this subsection, front setback area shall mean the setback area adjacent to a street. For corner lots, as defined in the Land Use Ordinance Chapter 2 (170), the two (2) front setback areas shall be the two (2) front yards. **How is this to be measured? I ask this since we have parcels with no street improvements.**
 - 4. A single retaining wall shall not exceed nine feet (9') in height. Within the front setback area, each retaining wall shall not exceed four feet (4') in height.
 - 5. Terracing of retaining walls is permitted, but the combined height of all walls shall not exceed eighteen feet (18'). Walls with a separation distance of at least two times the height of the tallest wall (2 x height, height of largest of 2 walls) from face of wall to face

- b. Seismic loads shall be based on the characteristic earthquake, with spectral acceleration factored for site conditions in accordance with the IBC;
 - c. The cross sectional view of each analysis shall be included, and the printout of the input and output files placed in an appendix; and
 - d. The global stability analysis may be omitted for concrete cantilever retaining walls that extend to frost depth, that are less than nine feet (9') in exposed height, absent of supporting structures within thirty feet (30') of the top of the wall, and which have less than ten horizontal units to one vertical unit (10H:1V) front and back slopes within thirty feet (30") of the retaining wall structure;
- 7. A drainage design, including a free draining gravel layer wrapped in filter fabric located behind the retaining wall with drain pipe day lighting to a proper outlet or weep holes placed through the base of the wall, however:
 - a. A synthetic material designed for the application may be used in lieu of the gravel;
 - b. If the engineering can substantiate proper filtering between the retained soils and the drain rock, then the filter fabric may be omitted; and
 - c. If the retaining wall is designed to withstand hydrostatic pressures or the retained soils or backfill is free draining as substantiated through appropriate testing, then drainage material may be omitted from the design;
- 8. The design engineer's acknowledgement of the soil strength parameters used in the design and the engineer's acceptance of the site for use of the retaining wall and if a separate geotechnical report was prepared and used by the design engineer, the geotechnical report shall be submitted, substantiating the values used for the materials strength analysis; and
- 9. An inspection frequency schedule.
- H. Inspections and Final Report: The design engineer shall make all inspections needed for final approval and acceptance of the retaining wall when construction is complete. A final report from the engineer shall state that the retaining wall was built according to the submitted design. The report shall include details of the inspections of the wall in accordance with the inspection frequency schedule. All pertinent compaction testing shall also be included with the final report.
- I. Maintenance: All retaining walls must be maintained in a structurally safe and sound condition and in good repair. (Currently no definition in the land use ordinance. Do we want to create one?)

AGENDA ITEM #14

AGENDA ITEM #15

**MINUTES OF THE GRANTSVILLE CITY PLANNING COMMISSION
HELD 02/03/2022. THE MEETING WAS HELD IN THE GRANTSVILLE
CITY HALL AT 429 EAST MAIN STREET AND ON ZOOM.**

Commission Members Present: Commission Chair Brian Pattee, Commission Member Gary Pinkham, Commission Member Jaime Topham, and Commission Member John Limburg

Commission Members that were present on Zoom: Commission Member Erik Stromberg

Commission Members that were absent:

Appointed Officers and Employees Present: Zoning Administrator, Kristy Clark; Grantsville City Attorney, Brett Coombs; City Engineer Dan England

Appointed Officers and Employees that were present on Zoom or Absent:

Citizens and Guests Present: Sean Perkins, Breck Russell, Monte and Crystal Sides

**THE REGULAR MEETING WAS OFFICIALLY CALLED TO ORDER BY
COMMISSION CHAIR, BRIAN PATTEE AT 7:06 P.M.**

PLEDGE OF ALLEGIANCE

PUBLIC HEARINGS:

- a. Proposed Preliminary Plan for Iconic Development, LLC. on the Blue Spruce Subdivision located approximately at 620 South Quirk Street for the creation of thirteen (13) ½ acre lots in the R-1-21 zone.**

Chairman Brian Pattee opened the public hearing at 7:06 p.m. and called for comments.

Chairman Brian Pattee read into the record an email that submitted on Thursday, February 3, 2022, that stated to the Commission: To the Planning and Zoning Commission, I am writing concerning the Blue Spruce Subdivision. I have a few concerns. I am a property owner living in this area. When we bought our house, it was zoned RR-1. Which means everything in that area must be 1 acre or larger. I understand that property owners have rights. I am not sure where mine went. I researched what would be in that area before I purchased my land and built. I was fine with 1 acre lots behind me because I completed my research on the area. When they changed the general plan, I went to the meetings and voiced my concerns. It was still changed to half acre lots. My request is that the Planning and Zoning Commission consider properties that were built and in place prior to the general plan change. I think the new properties abutting to the existing properties should match the prior zoning map. Anything beyond that, the people will know what will surround them. It is their due diligence to research their property. I also have a concern

regarding the cul-de-sac that is aimed in the back yards of multiple people. We do not want every car that comes into that area to shine their lights in our windows as they circle around it. I ask that an 8-foot privacy fence be implemented around the entire subdivision to cut down on the light exposure as well as the dust during the building process. This area is hit hard with wind, and we have had building supplies and plastic sheeting end up in our yard from homes in South Willow Estates. I also, in the future, will have two large animals. I am concerned that with this many homes it will bring more complaints regarding the animals. For this reason, the one-acre lot abutting our lot, as well as the fence will help with this buffer. As a lifelong resident of Grantsville, I know the excitement of a new area and a new home. We built our final home in this area of town for the view of the mountain ranges, the absolute dark at night to see the stars, open fields to see animals or the cutting of hay and the amazing quiet in the early morning hours. It is peaceful here. It is an amazing area. I just want it to stay that way. I want others to be able to enjoy it just as I do. I just ask that you take into consideration what is already there. Take into consideration who will be your new neighbors, who have been there for 10 plus years. Thank you for considering my concerns.

No additional comments were offered, Chairman Brian Pattee closed the public hearing at 7:09 p.m.

b. Proposed Home Occupation Conditional Use Permit for Alisa Niesporek to own and operate a hair salon out of her home located at 259 South Cooley Street in the RM-7 zone.

Chairman Brian Pattee opened the public hearing at 7:09 p.m. and called for comments.

No additional comments were offered, Chairman Brian Pattee closed the public hearing at 7:10 p.m.

COMMISSION CHAIR BRIAN PATTEE OFFICIALLY CALLED THE MEETING TO ORDER AT 7:10 P.M.

1. Consideration to approve the Home Occupation Conditional Use Permit for Alisa Niesporek to own and operate a hair salon out of her home located at 259 South Cooley Street in the RM-7 zone.

Alisa Niesporek was present for this agenda item on Zoom: I'm a new mom. We bought my grandparents' house. My grandparents lived here, and my grandma operated her salon since the eighties in the same location. So, I'm just wanting to reopen that and just be at home with my baby and work when I need to.

Jaime made a motion to approve the Home Occupation Conditional Use Permit for Alisa Niesporek to own and operate a hair salon out of her home located at 259 South Cooley Street in the RM-7 zone. John seconded the motion. All voted in favor and the motion carried unanimously.

Dan England answered, not with the preliminary plans. There'll be some things that we're still going to work out with the final plans as they come through to make sure that things are there. As far as the preliminary side of things, I would like to your input as far as the dance studio in the corner. My thought is that I'd like to have the traffic from the business, go off to Williams Lane instead of straight out onto Quirk, the original house plan for his house when he set it up, had a parking area and it did go straight out to Quirk. And so, at that time it was allowed to go forward that direction. But now with Quirk getting busier, the subdivision that's going to become more of a collector than a restraint. More of the traffic, if they come off of Williams and then come on that way, it would prevent that driveway being like a hundred feet away from the intersection.

Gary Pinkham stated, Once the street's built that driveway is inside our 60-foot setback for driveways. I suspect the storm bricks are H20 rated. So, the opportunity to bring a driveway off of Williams is there for us. I think we need to look at that way.

Brian Pattee asked, is that something we could address with the conditional use for the dance studio?

Jaime Topham answered, I think we have to address it up before then? Wouldn't we need to address it during the subdivision process because it is going to be a part of it. Whether they come and get a conditional use permit to do their new wedding venue, they are still going to be a part of that subdivision. So, we need to talk to them about them moving the driveway from Quirk Street to Williams Lane, right.

Ernie Beacham stated, I'm the current owner of that lot and was the original owner of the lot. The specific reason I come to the meeting because that's how it was approved and permitted from the city initially and understand the traffic is going to increase there and I'm okay trying to make sure that the traffic is safe especially with kids coming in and out of there. But if we're going to put it back onto Williams, I would like to be able to have an entrance at one location of the parking lot and a way for people to come back out. Because if you really take a close look at what's there, if you try and shove, them back out the same entrance, then you're going to have a problem there. So, if you're going to consider trying to put the traffic back onto Williams Lane and then back onto to Quirk, and I don't really see the big benefit of that, to be honest with you, maybe you guys can explain it to me a little further if you guys have some ideas, but I don't really see the big benefit of shoving them back onto Williams and back onto Quirk. So, I don't know if someone can explain that to me.

Gary Pinkham stated, that's kind of the question I have is right now what he's been approved, basically. I think, it would be better if a driveway could come off of Williams, but you have what you have, and he is approved for that. If it's feasible and work we'd like it to be considered. But again, since the driveways are already permitted, I don't know that we can.

Ernie Beacham asked, if you want it back on the Williams, what's your idea for back onto Williams?

Dan England answered, the way you had it previously approved was a driveway entrance and then parking offside. So, you could still come off to the north from the building side of the parking and go out. If you're looking for another one to come off other direction, you'll probably end up losing a couple parking stalls. So, you want to come that way. Those cars can use that area that is the driveway right now. If you block it off at the back of the sidewalk, you can use that as a hammer head basically to pull out.

Ernie Beacham asked, are you wanting one driveway that's an entrance and exit or are you going to allow the cars to pull through towards the back of the parking lot and then come back out on another driveway further east, because if you shove them back out just one, you're going to have a bigger problem is my point.

Dan England asked, so what you're hoping for is kind of like a circular driveway. You want two driveways coming onto Williams Lane, is that correct?

Ernie Beacham answered, I just want it to make sense and be safe. I don't think that having one entrance and exit is going to be the ideal situation. Cause you'll have different periods of time where you'll have traffic coming through there. And if you have them coming back through past each other with the distances that are over there, it's not going to be very safe.

Gary Pinkham stated, I'm thinking is if we were to designate the northly driveway as an entrance and then loop out the south driveway. That would put the traffic entering back onto Quirk further from the intersection, it could help our traffic issue. You got plenty of room in front of the dance studio too, to do something either way.

Ernie Beacham stated, I'm just saying, you know, that's the way it was approved. And I don't want to, I don't want to bottleneck it down to one entrance and exit. So, I'd like to keep that into consideration for what moving forward.

Erik Stromberg asked, just one question, just for clarification at the end of Williams Lane is there a hammer head there off the property?

Sean Perkins answered, yes, there is.

Jaime Topham asked, have you talked to the property owners?

Sean Perkins answered, we have had an agreement written but it hasn't been signed yet.

Erik Stromberg stated, you're going off property, you don't have an agreement, I don't see how we can come close to approving this when you don't meet the requirement, you don't have a turnaround.

Gary Pinkham asked, how close are you to having that paperwork complete?

Sean Perkins answered, we just got them written up. We've been in contact with Perryland, which is supposed to be meeting and signing them. Once again, they are involved with the easement we're removing on our property as well.

Dan England asked, if this doesn't go through, you can't get the easement last minute for whatever reason, if he's willing to make that temporary turnaround at the end of that instead, which will not change the lots and the general plan for our preliminary layout, would that be acceptable?

Erik Stromberg answered, they could do that, but then the preliminary that we have in front of us, isn't accurate.

Gary Pinkham asked, do you think you'd have them signed in two weeks?

Sean Perkins answered, yes.

Gary made a motion to table the Preliminary Plan for Iconic Development, LLC. on the Blue Spruce Subdivision located approximately at 620 South Quirk Street for the creation of thirteen (13) ½ acre lots in the R-1-21 zone. Jaime seconded the motion. All voted in favor and the motion carried unanimously.

3. Consideration to approve the meeting minutes for the previous P&Z Meeting that was held January 20, 2022.

Gary made the motion to approve the meeting minutes for the previous P&Z Meeting that was held January 20, 2022. Jaime seconded the motion. John and Erik abstained. All voted in favor. Motion carried unanimously.

4. Report from City Council Liaison, Mayor Neil Critchlow. The Mayor and Commission had a lot of discussion on giving the public more notice of the projects that are coming in for consideration. The Mayor stated that he would like to slow the process down a little bit and give more time for the public to see the plans. The Mayor asked the Commission to consider a process where once it's been through staff review the project then gets put onto an agenda for discussion and then the next month, public hearing and then two weeks later consideration.

5. Adjourn. Gary made the motion to adjourn the meeting. Jaime seconded the motion. The meeting was adjourned at 8:42 pm.

Kristy Clark
Zoning Administrator

AGENDA ITEM #16

**MINUTES OF THE GRANTSVILLE CITY PLANNING COMMISSION
HELD 02/17/2022. THE MEETING WAS HELD IN THE GRANTSVILLE
CITY HALL AT 429 EAST MAIN STREET AND ON ZOOM.**

Commission Members Present: Commission Chair Brian Pattee, Commission Member Gary Pinkham, Commission Member Erik Stromberg and Commission Member Jaime Topham

Commission Members that were present on Zoom: Commission Member John Limburg

Commission Members that were absent:

Appointed Officers and Employees Present: Zoning Administrator, Kristy Clark; Grantsville City Attorney, Brett Coombs; City Engineer Dan England

Appointed Officers and Employees that were present on Zoom or Absent:

Citizens and Guests Present:

**THE REGULAR MEETING WAS OFFICIALLY CALLED TO ORDER BY
COMMISSION CHAIR, BRIAN PATTEE AT 7:03 P.M.**

PLEDGE OF ALLEGIANCE

**COMMISSION CHAIR BRIAN PATTEE OFFICIALLY CALLED THE
MEETING TO ORDER AT 7: P.M.**

1. **Consideration to recommend approval of the Preliminary Plan for Iconic Development, LLC. on the Blue Spruce Subdivision located approximately at 620 South Quirk Street for the creation of thirteen (13) ½ acre lots in the R-1-21 zone.**

This agenda item was pulled by the applicant.

2. **Discussion to amend land use code #7.5.1 and #7.8, Chapter 7, Conditional Uses, in the Grantsville City Land Use Management and Development Code.**

Shay Stark with Aqua Engineering was present for this agenda item and stated to the Commission: The first piece of this is in 7.5, and then we want to add two new paragraphs for this. In paragraph number one, it starts out with the conditional use permit application shall be made to the zoning administrator no later than 21 days prior to a scheduled planning commission meeting. We're taking that out because they're not going to know when the meetings are to turn in an application. Then the second part of it, as you may remember, it's been a little while ago that this code was updated and there were certain conditions where Kristy was allowed to make approvals at a staff level and certain situations where she needed to bring it towards the planning

commission. Number two, the zoning administrator shall send out the appropriate notification for all conditional use permits. If comments are received that indicate a concern about a proposed conditional use, the conditional use shall be sent to planning commission for their consideration. And then the second one, the zoning administrator does not have the authority to approve commercial conditional use permits, requiring construction of new facilities or requiring exceptions or variances to the city ordinances and standards. Then the other changes here, the change from 300 feet to 500 feet in the noticing is just a match, the city's code for noticing. Then the other spot, 7.8 in the determination. And I know we've discussed this previously too, instead of specifically calling out horses in the R-1-21 and RM-7 zoning districts, just simply saying animals. Because there's situations with all different types of animals that they're required to come in for a permit. This allows Kristy to review and again, if those permits are straightforward, be able to approve them and address them. Not just horses in the R-1-21 and RM-7 zone.

Erik Stromberg mentioned, 7.5.4.E, I notice we've crossed out one 300 feet made it 500, but in the last line there, there's still 300. Is that one to be switched to 500 as well?

Shay Stark answered, the first one is the noticing. So, who gets notice on this? The other one that I believe comes from a requirement with TWI county and maybe even the state that the property owners that are on the tax roll with the county assessor, within that 300 ft. boundary must be included. Their names and addresses must be included in the map.

3. Discussion to amend Chapter 14, Chapter 15, Chapter 16, and Chapter 17 of the Grantsville City Land Use Management and Development Code.

Kristy Clark stated, Gary has gone through chapter 14 and 15 and found some items that need to be amended. Shay also found some issues in Chapter 16 and 17 that need to be discussed.

Shay Stark stated, there's some similar language in each one of those sections that we wanted to remove out of it, because it really, it doesn't accurately reflect what we do and what's shown on the tables. For instance, 14.6, codes and symbols the use table in the description that's up above the tables. It has a statement, a conditional use that can be issued by a zoning administrator by guidelines issued by the planning commission is indicated by a CA and the appropriate column. Well, we have a description in Chapter 7 of again, of what can be approved by the zoning administrator.

Gary Pinkham stated, on this agenda item, let's revise that to include Chapter 4 and 21. Because the last two paragraphs address. These items are the driveway and utility issues. We need to conform 4.5 and 21.6.2(3) there. So, when we make this amendment, it's going to include minor changes in Chapter 4 and 21 as well. Chapter 6.14.4(C) tells us how that dimension is supposed to be measured. That's where the difficulty comes in, is we don't have sufficient width at the frontage of these lots to accommodate the driveway, the sewer, the water, and the dry utilities in that frontage width. Especially in the cul-de-sacs because of the tapering nature of the lot line, when you get out to the curb line, those lots are only roughly 40 feet wide. o when you put a 30-foot driveway in there, you

don't have your 15 feet on one side for the sewer water, five feet on the other side, actually six feet on the other side between you and the neighbor's driveway.

Kristy Clark asked, Gary, is this where you want to match the 70-foot frontage?

Gary Pinkham answered, this is the one that's taking things to 70 feet. And then in 4.5 and 21.6.2(3), they go down as little as 30 feet. They permit lots with no more than 30 feet. So, we need to get rid of that and conform everything back to the code for 70 feet. And that gives us enough width on a 7,000 square foot lot, which is the smallest lot we have in town, unless it's an old nonconforming. That's still a 70 by 100-foot lot, less the building setback still gives you a 55 by 55 building back. And that's over 3000 square feet. So, there's more than enough room for anybody's house even if we go to the 70-foot frontage on the smallest lots out here. We've had some of these lots recently where you probably couldn't legally give a 20-foot driveway of maybe 16- or 18-foot driveway lot. And at 4.5, I think it's the 3:1 requirement. By going to 70 feet, then even those smaller lots, you're not going to be over that 3:1 in a situation where that 3:1 length to width issue would give us a problem.

Kristy Clark asked, so we want to remove the 3:1 rule reference on those smaller lots and just go back to this?

Shay Stark answered, I want to pull out and this was going to be discussed in the Chapter two definitions, but really it fits exactly what you're saying here. So, I just want to bring this up so everybody's aware of this. In the city's definitions there is a, let's see if I grab it really quickly. So, 183 in the definitions is a definition of lot width. And it says, the horizontal distance between the side of lot lines measured at the required front yard setback line or rear yard setback line, whichever is shorter. And so basically, it's saying that minimum lot width must be, is literally sitting at a building frontage, which we may want to change that so that's the frontage of the lot, but it also is nailing us down that whatever state is that minimum lot width is truly the minimum lot width throughout the lot. Not just at that frontage.

Gary Pinkham added, when we get into the definitions, that's one thing I noticed. In definitions, there's physical requirements in those definitions that don't match our codes. Driveways is another one. One area it says you need a 30-foot driveway; in another area it says you must have 66 feet. And it varies from a definition Chapter 2 to Chapter 21, like three different definitions and none of them are conforming. We need to clean up our def- what we really need to probably do is within the codes, pull out the definitions and put them into Chapter two definitions. And if we're talking about a driveway, a driveway is a driveway, the definitions. Don't redefine it every time we write it, which we've done. This particular item in lot width, if you go to these Chapters here, this is at the front property line.

Shay Stark stated, that's why I was bringing this up, particularly because this is telling us that we measured from that front setback. But I have no problem. If we're going to measure from the front property line, any frontage dimensions throughout the code ought to be measured from that front property line. Or I guess the question becomes, is do we say, what if that minimum is the back property line?

Dan England stated, hopefully that 70 leaves you room for a car park there too. Which is always a problem that cul-de-sacs.

Kristy Clark asked, Shay, do we need to strike the setback, the word setback in that 183 shape, because the setback is, I mean, that's 40 feet. So, if we're measuring from 40 feet to the 30 feet, that's not accurate. It needs to say property lines.

Shay Stark answered, yes.

4. Discussion to amend Chapter 3 through Chapter 24 in the Grantsville City Land Use Management and Development Code.

Jaime Topham stated, in our packet, you have item four as being amendment Chapter four for animals living in a storm water basin.

Kristy Clark stated, we need to add that to the items that Gary has for Chapter 3 through 24. That is just an add-in. We've discussed animals going in the retention basins, and we all agreed that we shouldn't allow any more than the one that we've we already permitted.

Shay Stark stated, this came from Dan. Dan has been looking into this a little bit and has come to the realization that the feces from the animal, if that basin floods over, they end up in the public way or somewhere where the public can come in contact with them. We've got a public health issue.

Gary Pinkham stated, I like the idea of getting the animals out of those basins. As I was going through this, there's a combination of types of corrections. Some of them were in the word or correcting a word in order to make the meaning of the sentence correct like the first one, changing the word of two or in order to make the title of that 3.11 read correctly. So, what I've done is red-lined those simple corrective issues. You go down to number seven, someone when they typed up the code and typed the word corrected. That should be construed. I'm not sure who was doing the typing. They probably had recorded their notes, transcribed at home. So, I've highlighted in red some of these simple corrections that should be easy to make those changes. The ones that I haven't done in red need to be discussed as to how we want to go about doing them. In some instances, like two, three, four, a reference code doesn't exist, and I guess the question is, do we need something referenced? And where is it? What is it? Do we need to write something? So those are going to take a little bit time and effort to come up with corrections. But by getting rid of the red ones, if nobody sees a typo among those, we could probably get rid of 50% of the list pretty quickly.

Jaime Topham asked, so who could we assign to do this, to give us relined copy of each of these code provisions that you must consider the next time we're here? Will we need to have another discussion before we have it on an agenda for consideration?

Kristy Clark answered, I will have it ready for you and yes it will go on an agenda for another discussion before it gets considered.

Gary Pinkham mentioned, some of these need to be gone through and discussed with the Attorney, Engineer, and Public Works. There's some of it I think we must have copied from somebody else's ordinances because I can't figure out why we have them here in Grantsville. I think they got imported probably back in the 70s when they set up first set of codes. So, it's kind of a cleanup issue. And like I say, the ones that are in red are generic and simple. Revising a word to make it read correctly or revising a statement to make it read correctly. It's going to take us a while to get through this list.

Kristy Clark asked, Gary, the red is okay to keep and move on for consideration but the items in black you want me to take off so we can look at it and maybe have a staff meeting or something? Okay, perfect.

Gary Pinkham answered, we could bring the red back for public comment and consideration. The other, we need to do some in-housework on.

Jaime Topham asked, so really quick on 3.11, number five, it says the water legislative body shall adopt and then you strike out everything. So, are we just striking out number five entirely?

Kristy Clark answered, yes, because it references the 3.10 which does not exist.

Jaime Topham stated, then we need to strike out all of number five.

Gary Pinkham stated, we either need to determine if we need some reference code here under this and get the correct code and correct wording.

5. Discussion to amend the definitions in Chapter 2 of the Grantsville City Land Use Management and Development Code.

Shay Stark stated, so this one, as of right now, we've got one specific item that we want to talk about. As we've said earlier, there's a lot that needs to occur in this chapter, but really, what we want to talk about here is private streets. We're running into a lot of issues lately, between definitions of what driveways are versus private streets. In our Parking Code, we have a section that talks about driveways or accesses for emergency services, and we've got conflicts between all these different things. But one of the things that has really stood out, I think that everybody's been reviewing it, a couple of projects recently, one project is some town homes on a piece of property and the requirements of this private street. And then also it falls back in this parking when it talks about an emergency access driveway or a driveway that can handle emergency access. In this private street, we're basically told that they can construct a private street that is essentially the right of way is not less than 30 feet wide and the travel way only needs to be 20 feet wide to serve up to two dwelling units. then once they get beyond that, they must construct a full blown, 66-foot-wide right of way, 42-foot-wide street. In this other section in the parking, in these

emergency accesses, they're required to construct a full blown, 60-foot-wide driveway or access way street until they get back to 500 feet. And then at that point, they can go to a narrower street. As we were looking at these, we were digging into the fire code to try to really understand what was needed with the fire code. And about a year ago, I think it was, we went through a lot of our chapters, and we changed the minimum widths to 26 feet to meet the fire code, assuming that in most cases there's going to be a fire hydrant somewhere along this longer section of whether their driveways or streets. so, as people develop the street, we no longer just tell them they only must develop 24 feet of pavement as a minimum, they must develop 26 feet so that we meet that International Fire Code requirement. And the previous fire marshal, several years ago, sent me a picture that I wish I could show you, but it was explaining why we need the 26 feet. Why the extra two feet versus just the standard two 12-foot travel lanes and he has in this picture, shows a fire truck with the extensions down on it. And another, I think it's an ambulance or a fire truck right by it. When you are trying to pass by there, you're driving right along the edge of the asphalt. So, the 26-foot minimum width totally makes sense. And then the fire code says, if you want parking on one side, you need a minimum width of 32 feet wide, which that's only six feet more. But if you think about it, you're really getting eight feet of parking out of that. And so, you go to a 32-foot-wide driveway or street or drive if you want parking on one side. So then, if you take that same concept, and if you want it on the other side, then the fire code at that point, it doesn't really say anything else. It doesn't go beyond that. But if you take that same concept and you put parking on the other side, then you get up to the 38 feet. If you look at the six or 40 feet, if you look at an eight-foot-wide parking on the other side, which kind of tells you where we get this 42-foot-wide pavement, and that 66 foot right of driveway, and why we use that minimum. It's right there, but we're asking ourselves these questions. If this is a private street, so the city is not maintaining the street, it's privately owned, obviously we need to have the width of pavement for the fire access and emergency equipment and emergency access. As I look at that and think about that, I look at it and go, "Well, that should be decided by what they're planning to do with this." For instance, in this particular case of these town homes, they have a street going back in, they've got town homes on one side, they can't park on that side anyway, because the town homes are narrow. There's just not room for cars to park in between the driveways. And so, in that case, mostly they would have parking on the opposite side. So, why should they be required to put in more than 32 feet of pavement? There's no benefit to that additional pavement width in there, and if it's a private street, why should they be required to put in park strips and sidewalks that don't serve any benefit? Maybe you put it on the side that you're fronting homes on, but why does it have to be on both sides? It makes no sense. You can use that as a buffer area between the next property and landscape it or for something else. And so, we're just looking at some of these issues and questioning how reasonable these requirements are. We want to make it sure that we're consistent in the code, and how we apply this. Because right now it's not very consistent when somebody comes in with a set of plans, with a public access driveway versus a private street and yet the two function the same.

Brian Pattee asked, is it because we're calling it a private street versus just a driveway?

Gary Pinkham answered, that's half of the problem. If you go over into the parking ordinance that showed up last year, the Public Safety Access addresses private drives because it says, "Any

driveway over 150 feet measured from the right of way line to the front of the building, any private driveway must be constructed to minimum standards of a city residential street, and it must have a city standard cul-de-sac." That means if you had a lot and the front of your house was 151 feet from the street, you would have to build a full blown, 66-foot-wide right of way and 120-foot cul-de-sac to your front door, by code. So, it seems like we're requiring something of people to go way beyond reasonable, both in our private street definition and in our public access definition in the parking ordinance. I think we talked about simply taking the private street and/or a public safety access ordinance, and simply say that it must be built to a minimum of the International Fire Code. Now if we want to make it wider for parking, or if we want to make it wider for curb, gutter, sidewalk, if we've got a 25 to 30 lot or unit complex back there where we need pedestrian access. We can go beyond the minimum of the fire code, but if we set it as a minimum for the fire code.

Dan England stated, if we put a minimum in here, that's what they'll build to. And it's very, very difficult for us to require them to do more because they come back and say, "No, your code says, I only have to build to this."

Brian Pattee stated, well, I can see a problem down the road for like 10 town homes and then 10 years from now someone decides they want to just continue with this little narrow, private driveway, with the next set of town homes and so on and so forth. And then, you essentially got a private street, but it goes two blocks through a field. Right?

Gary Pinkham added, maybe we need a definition for single residential driveways and add a definition for multi-units. Because right now, if I were to build a home and got down there on main street right now, around 300 feet from street by code, I would have to have a finished 66-foot-wide street, 120-foot finished cul-de-sac there by code.

Brian Pattee stated, I guess through attrition, we can fix these, right? But we have the ones that, it starts out with one house with the driveway and then all the kids want to build a house and then you end up with three or four. Literally it should be a public road back to it but it's still just a private street.

Erik Stromberg stated, I think those cases where there's a house on the front and we put a private street to access in the back. And there's another home back there. I can see where those cases make sense to have a private home, or I've done a private lane to put two or a private street to do two. I can see that. Where I start to struggle is allowing a commercial property where I'm building town homes, you mentioned condos, apartments, or something like that, and, calling it a private street because it saves me the space and I can get more town homes.

Gary Pinkham stated, this definition goes beyond the definition. It includes about three different spec items. Whether it's a single dwelling or multiple or if its less than or over 150 feet, there's three or four if and or buts in here. All this specification and standard requirements that go beyond the definition of a private street. If it is the driveway, it's a driveway. If it's not, it's a

street. I don't problem with keeping private streets, but we should have minimum standards for the surface.

Dan England stated, we can stick to the code, and I think that's good, but I don't think we need the code fit every situation. But, if there is a situation, I guess that's what the CUP is all about. Right? We can put requirements on it that makes sense to try and make it work.

6. Discussion to amend the land use code #6.14.7 in Chapter 6, Driveway Regulations, Public Safety Access Driveways of the Grantsville City Land Use Management and Development Code.

The Commission felt like they covered this agenda item with the previous discussion.

7. Discussion to amend the open space requirement in Chapter 21.1.15 and in the General Plan, Recreation and Open Space.

Jaime Topham asked, Shay, the general plan is our plan, and the developer can't rely on the general plan language. They must comply with the code language, correct?

Shay Stark answered, Correct. I think this discussion is what the Attorney wanted to have and he's not here tonight. We've stated in the general plan that for open space and recreation and part of the problem is it didn't get well defined in the general plan. There's not a difference between open space and parks and the general plan in the way it's the way it's written. If I remember it saying four acres per thousand people. And what I think the Attorney has come to realize is with us saying that in the general plan, and in the code, we're requiring 10% open space. The 10% open space adds up to way more than four acres per thousand people. And he probably feels that we are on shaky ground. We may need to redefine something in the general plan. I would also suggest that maybe we bump up our park space a little higher than that. The study is interesting because I think it says 15-17 acres per thousand that Jones and Demill referenced. And then they turn around and say, but the city's only doing four acres per thousand. Maybe we could define the difference between parks versus open space or something. I think that would help the Attorney to feel more comfortable. I think there needs to be more discussion. I think the other thing is over the last several legislative sessions, the legislature has really tightened up the definitions around the fees that cities can charge. And maybe he feels charging that fee and lieu may not be legal. I don't know that for sure. Again, I haven't talked to him, but I also wondered about that. They keep tightening it up so that the cities are really in a position where the only thing that we're going to be able to use is impact fees or developers must use PIDs, public infrastructure district.

8. Discussion to amend application processes and notifications.

Kristy Clark stated, this one's probably mine and the Mayor's. I didn't put anything in the packet because I needed more clarification. I think we need to discuss the applications and the process, the notifications. How do you want to handle number eight?

UNAPPROVED P&Z MINUTES

Mayor Critchlow stated, we can sit down and discuss it. you guys suggested for me to come in and shoot a movie and go through the whole process and put it on Facebook or social media. I like that idea. They need to know what is going on from the start to finish. I want people to be aware of what we're looking like in the future.

4. **Report from City Council Liaison, Mayor Neil Critchlow.** There's a lot of things that I got tonight and I will take them back to the city council at our next meeting.
5. **Adjourn.** Gary made the motion to adjourn the meeting. Jaime seconded the motion. The meeting was adjourned at 9:05 pm.

Kristy Clark
Zoning Administrator

AGENDA ITEM #17

**MINUTES OF THE GRANTSVILLE CITY PLANNING COMMISSION
HELD 03/03/2022. THE MEETING WAS HELD IN THE GRANTSVILLE
CITY HALL AT 429 EAST MAIN STREET AND ON ZOOM.**

Commission Members Present: Commission Member Gary Pinkham, and Commission Member Jaime Topham, Commission Member Erik Stromberg, Commission Member John Limburg

Commission Members that were present on Zoom:

Commission Members that were absent: Commission Chair Brian Pattee

Appointed Officers and Employees Present: Zoning Administrator, Kristy Clark; Grantsville City Attorney, Brett Coombs; City Engineer Dan England

Appointed Officers and Employees that were present on Zoom or Absent:

Citizens and Guests Present:

**THE REGULAR MEETING WAS OFFICIALLY CALLED TO ORDER BY
COMMISSION CHAIR, BRIAN PATTEE AT 7:00 P.M.**

PLEDGE OF ALLEGIANCE

PUBLIC HEARINGS:

- a. Proposed Home Occupation Conditional Use Permit for Kristy Hodgson to own and operate a Dog Grooming business out of her home located at 480 East Clark Street in the RM-7 zone.**

Commission Member Jaime Topham opened the public hearing at 7:01p.m. and called for comments.

No comments were offered, Commission Member Jaime Topham closed the public hearing at 7:02 p.m.

- b. Proposed Animal Conditional Use Permit for Riggin Marriott to keep up to four (4) horses on his property located at 375 East Clark Street in the RM-7 zone.**

Commission Member Jaime Topham opened the public hearing at 7:02 p.m. and called for comments.

No comments were offered, Commission Member Jaime Topham closed the public hearing at 7:02 p.m.

c. Proposed General Plan Amendment and Future Land Use Map for 2.02 acres of land located at 794 East Main Street to go from a Mixed Use and High Single Family Designation to a Commercial Designation for Wagstaff Investments.

Commission Member Jaime Topham opened the public hearing at 7:02 p.m. and called for comments and stated to the Public: I'm going to call this item and the next item, d together, because they are related. We have some comments from the public on both items.

Commission Member, Jaime Topham read into the record a letter from Peggy and Glen Pearce, Dave and Doryanne Hall, David and Barbara Fawson, Josh and Natalie Fawson that stated to the Commission: We are writing this very serious objection to the letter we have received concerning the city's general plan to use the property located next to our home and our neighbor's homes for commercial designation. Our entire neighborhood is opposed to putting a commercial business located on 794 East main street. We have chosen to live in this area due to the opportunity to raise children, use a surrounding land as gardening, crop growing, even a place to build a home for family, friends, or additional neighbors. A business on the corner of Main and Highway 112 has been opposed by the Utah department of transportation due to the very unsafe use of business cars, trucks, and large transportation. There is enough business on the east side of highway 112 and the very busy Maverik Gas Station. This new business location would add an extremely fearful, frightening, and unwise use of highway 112 and highway 138. Many of the businesses located in the mall on 138 East have closed and are looking for new businesses every few weeks. It is not a good location and any accidents have already occurred there. Please reconsider your proposal and consider our comments in the concerns about this very unfavorable site for business.

Robyn and Don Payne stated to the Commission: I have a little preface to our letter, just out of curiosity. I was out getting the mail yesterday and it was in the evening, and I thought, what is going on here? So I sat outside for quite a while, like 15, 20 minutes. And I just thought, well, I'm just going to watch the stoplight, which we live there. So, we see it all the time and this is not a real unusual occurrence. It happens usually every evening. And so there was 45 cars lined up from the stoplight going south backwards. And so I thought, well, I wonder how many cars get through there? On average and it was about 10. So that still left 35 cars backed up. And while I was sitting there, there were people leaving the strip mall, going through that traffic to the left. There were people trying to get into the traffic on the right. And there were people passing on the right hand side of that line of traffic to get to the corner to turn. It was just amazing to me. I hadn't really sat out there before, but I'd witnessed line ups previous to last. Anyway, our letter says, Grantsville City Planning Commission, we would like to express our concerns for the application for a rezone on 2.2 acres of land located at 794 east Main Street to go from an R-1-21 to a CG zone for Wagstaff Investments. We live on highway 112, just adjacent from the corner from the location 794 East Main Grantsville. Our address is 67 Highway 112. We are very concerned to have yet another rezone application from residential to commercial. Part of our concern is the location of another rezone to the rural area that we once enjoyed. We have lived in our home for 43 years. We picked Grantsville in this spot for its beauty, beautiful rural location. We are

saddened to see all the rezoning and change happening all over Grantsville and especially to our little corner, we call home. The intersection at 794 east main and highway 112 is currently a logistic nightmare, the existing business center just to the north of us and the Maverik gas station and convenience store have created a very dangerous traffic situation. we are aware of at least three but then as we were recounting them in our brain, we are aware of at least six and the ones that we hadn't counted before included a motorcycle accident and a truck hit right in front of our house. And then yesterday there seems to have been something happening at Maverik in the form of an accident. So that should be probably six at accidents that have occurred in recent months due to the heavy traffic or someone trying to access the gas station and mall. The most recent accident occurred March 2nd of '22. The business entered to the north of us had the vehicle entrance just north of our driveway. Many times people have turned into our driveway thinking it was the mall entrance. Vehicles entering or leaving the mall many times are backed up into the lane of traffic, either due to the red light or just a line of vehicles. This can simultaneous lead to vehicles, passing both ways to go north or south out or into the mall as people are crossing through the line of traffic to go either way. We hear multiple screeching breaks each day due to the already heavy amount of traffic using 112. Oftentimes during the day and night, the traffic backs up from the red light to as far back as Sheffield's home also on highway 112 as was the case yesterday. And it's usually every evening that happens. Maybe not quite to the extent that I witness, but I haven't sat out there to just eyeball it. But they do back up a long, long ways. When we are going to our home on highway 112, we have to start tapping our brake lights well in advance of our home. Usually as far back as the new mall on the south part of 112 due to people not thinking we are actually turning at our own home, this is also true of approaching from the north. We have less breaking time, this close to the corner. We've had many close calls, almost being rear-ended, but because we drove off the road to avoid from being hit, we haven't been hit yet. People pass us on the right and left side of our vehicle, depending on the current traffic flow, the Sheffield's were rear ended causing severe damage to their car due to people not breaking in time to allow them to access their driveway. I worry for my family, grandkids, children and friends each time someone comes to visit, as they tried to turn into or out of our property. Many times throughout the day and evening, and this happened yesterday, it was like ridiculously right where they were parked. And then today, and not that it really matters but I have pictures of it. Large semi-trucks and large dump trucks and other large construction vehicles park on the east and west sides of 112, just right off the side, many times, right in front of our house, we've taken care of that. We know that it's not our property but we maintain it and have put down gravel. And people seem to think that's a parking place too but that's really not the issue. It's just that these truck drivers or whoever's driving these seem to hop out of their truck and run over to eat on the corner of Main and 112. So this causes more traffic problems and loss visibility to oncoming traffic. This just makes me think, where the entrance going to be in and out of whatever's going to be there. Because if people continue to use that as parking lot on the sides of the road, that really is going to be a visibility problem. We wonder if another location, one that is already zoned commercial has been considered. The existing mall on the corner of Main and 112 has seen many, many businesses come and go. That current mall seems to have many unused space as much of the time. The mall on the south end of 112 has a vision office and a Sunday church group that uses it for a Sunday

meeting otherwise it seems very much vacant too. We certainly wonder what type of commercial property could benefit in this location. In this area, we currently have three restaurants, a tax office, a medical office, a possible hair salon, that looks vacant most of the time, a farm bureau, Hammer and Stain do it yourself workshop and Rocky Mountain Therapy as of January. This might have changed since then, as we have witnessed constant change in the businesses that come and go. Businesses that have come and gone as far as we know are two women's clothing stores, a small fitness center, prime pizza, a smoke shop, a dance studio, a bakery and a realtor office. These are the ones that we have personally watched come and go. It is likely there has been more or will be more. Obviously in this area, we have a Maverik gas station with attached convenience store. This causes yet another concern for the many kids and adults that walk down 112 to access Maverik on a daily basis. We worry for them walking on such a busy road while the new business be one where pedestrians and vehicular traffic will increase causing further danger concerns for everyone using this corner. Please consider our plea to keep what is left of this area as is. We hope by Wagstaff Investments will consider using an existing business complex or a safer location to locate their business. One with a safer entrance and exit to their business. There seems to be few options for an entrance and exit to this location. It looks as if they will be located on either the busy, busy intersection of Highway 112 and Main or on the ridiculously busy Highway 112.

Robyn and Don Payne read a letter from Alma and Laymon Adams, they were unable to attend the meeting. The letter states, we live two houses down from Maverik and already get a lot of traffic and noise. It is going to make our exit off of Main from our property onto the busy street, very difficult and dangerous. We already have enough gas stations and car washes in Grantsville. We are a small town and we don't need another one on the corner causing more traffic and noise. Please consider these things and help us not to let this business come into Grantsville to cause any more traffic at this intersection. Sincerely Alma and Laymon Adams.

Tammy and Darren Sheffield stated to the Commission: we received a letter as well. We just are extremely concerned and feel that it should not be considered to put any type of business on that corner for many reasons. Due to the extra volume of traffic from Maverik gas station, the shopping Plaza, and now the new medical Plaza, which is right next door to us in that pasture, we have found it very difficult to even turn in our driveway in our own property. And fact, I have been rear-ended, that's what Robyn was talking about while was waiting for the cars to go past. So I could get enter my driveway, broke my axle right off the car. My car was hit with such an impact. Like I said, broke the axle. And then the paramedics had to come and check out all three of my kids to make sure that they weren't hurt. And then additional traffic just on that corner from main street will just make it more dangerous for us citizens and homeowners. And I know that a lot of people don't live there. So you really don't experience that. So I know that we're just talking but we are impacted by that. So I really hope that people do consider that. So adding extra traffic to that corner of main street will only make it more day dangerous. So every day we fear that an accident will happen pulling into our own driveway. And then we have to start using our blinker far in advance, which is fine, but you have to jerk off the road so you don't get hit. That's not very safe. It makes us look like we're

crazy drivers, but cars will be passing into the coming traffic because they don't want to hit us and we don't want to hit them. But they're pulling into direct traffic. And so we're going to get hit head on or somebody is. And I am like three houses down from of Maverik anyway, and we're still getting all that. And then as Robin has mentioned, we've witnessed several times with cars, pulling into her driveway. They think that they are turning into that shopping Plaza, it's extremely dangerous and could hurt or kill anyone that is standing in the driveway or in their front yard. The shopping Plaza on 112 and main street has been a revolving door as mentioned as well with tenants coming and going. Clearly we do not need any of these existing stores because several of them are vacant. So we've lived at our residency for 18 years now and have been proud to call Grantsville our home until recently. All of these businesses coming in and more traffic have made it more difficult to love our neighborhood and community by adding yet another commercial building, gas station or whatever is being considered is taking a small town feel out of Grantsville. I want to continue living in Grantsville, as I mentioned that have the small town feel. And I know that we can get back to that again, if we minimize the commercial properties, so safety should be the top priority in my opinion, for the Safety Planning Committee, when looking at this location, the 794 east main street, adding any type of business will cause more traffic, make it impossible to feel safe pulling into our own driveways, safety for individuals that walk from Maverik gas station to their neighborhoods with no sidewalks or lighting. So we just beg you guys to reconsider. We don't want any rezoning for this property just to help us to preserve our small community that we absolutely love. So thank you.

Josh Fawson asked the Commission: I'd just like to ask some questions regarding the city's plans. Did the city have any future plans? Maybe this is a better question for council. Is there a future plan in which the city had designated this area of going into a commercial?

Jaime Topham answered, It's on the general plan as a mixed use. So yes.

Josh Fawson asked, so it is right now, it's R-1-21 though. And there's a general plan to go in as a mixed use?

Jaime Topham answered, Yes. The Future Land Use Map designates that as partial mixed use and other parts is high single family density.

Josh Fawson asked, so it's on the plan as mixed use though and not commercial?

Jaime Topham answered, Mixed Use includes commercial.

Josh Fawson asked, When Wagstaff does their rebuttal, will we get a chance to then give our rebuttal?

Jaime Topham answered, no.

Josh Fawson asked, so this is it then?

Jaime Topham answered, this is your opportunity.

Josh Fawson asked, we don't get a chance to respond to them.

Jaime Topham answered, you don't get a chance to respond. No.

Josh Fawson stated, Well, I'll just reiterate then that this appears to be a dangerous area. Clearly, it's a gas station going in. Obviously we're not talking about that today, but if we're looking in context and the emails from holidayoil.com, so it's pretty clear what's going to be happening. We've already got a Maverik there. We don't need anything else. When the Maverik was first going in, there were a few people they asked and they said, "Hey", when they were deciding whether they were going to put it in. And I remember they looked at Robbie Palmer who was living right next to the Maverik. And they said, "Well, everyone's moaning about this Robbie and you haven't said anything. What do you think?" And Robbie said, "Well, I don't think it's that bad of an idea." So they said, "Okay, if the guy living right next door to it doesn't care, then, then let it in." Robbie moved out a year later. It maybe have been for few more years, but it was shortly thereafter that Robbie moved out because of the loud music at night, the lights at night, all of the traffic crossing his house at night, the litter in his yard, the danger to his children as cars are constantly coming in and out and I've seen several other homeowners come and go out of that same house. The bottom line is we've got a gas station there. We didn't want that one to come. The people that are staying and planning and staying in the area didn't want it to come, allowed it to come. And now people are moving out. Let's not make the same mistake here and allow a new holiday oil or whatever it's going to be to come in to create more traffic. I can hardly get out to work in the morning. When I pull out of the driveway, takes me 20 minutes. I'm embellishing, takes me 20 minutes to turn left, to go on my way to Salt Lake so I can go into work because of all the cars coming in. We've got a gas station there, there's no need for it. There's no need for the zoning to be changed to the commercial. Let's put in more residential homes there, leave it as the R-1-21. And we'll all be super happy about that.

No additional comments were offered, Commission Member Jaime Topham closed the public hearing at 7:21 p.m.

d. Proposed Rezone of 2.02 acres of land located at 794 East Main Street to go from a R-1-21 zone to a C-G zone for Wagstaff Investments.

Commission Member Jaime Topham combined the Public Comments for this agenda item with the agenda item #c since they addressed the same address.

- e. Proposed Final Plat Amendment for Cook Corner Subdivision located at approximately 935 East Durfee Street to divide lot 4 into two (2) one (1) acre lots making a total of five (5) one acre lots in the RR-1 zone.**

Commission Member Jaime Topham opened the public hearing at 7:21 p.m. and called for comments.

No comments were offered, Commission Member Jaime Topham closed the public hearing at 7:22 p.m.

COMMISSION CHAIR BRIAN PATTEE OFFICIALLY CALLED THE MEETING TO ORDER AT 7:22 P.M.

- 1. Consideration to recommend approval of the Preliminary Plan for Iconic Development, LLC. on the Blue Spruce Subdivision located approximately at 620 South Quirk Street for the creation of thirteen (13) ½ acre lots in the R-1-21 zone.**

Sean Perkins was present for this agenda item and stated to the Commission: Good afternoon. I'm Sean Perkins. As you know, I've been collaborating with the landowners as well as Attorney Coombs to find a solution. I believe we have finally reached a solution. The easements are drawn up and everything, and we have an agreement with the other landowner that upon the plat being recorded, the easement to the north will be vacated and we will have an easement in place for the turnaround at the end of the street that was requested as well.

Jaime Topham asked, Attorney Coombs, did we get everything that we needed legally?

Attorney Coombs answered, yes. For the easement.

Jaime Topham stated, in our packet, the vacation of the ingress egress easement is not signed. Do we have the actual signed one?

Attorney Coombs stated, No. I've received an email from the owner of that easement, that they are more than willing to sign that over once this is recorded. They just don't want to give it up if this project isn't going to go through. I feel confident that we can move forward at this stage, with the understanding that once it's recorded the documents are signed. Maybe we put a restriction of five days beyond that and then failure to record the easement within those five days would negate this approval.

Erik Stromberg stated, I know we have the easement as temporary. And the plan is that eventually Williams Ln will be developed through. My concern is we do this temporary, what's temporary. This isn't a finished road. So, if temporary ends up being 10-15 years, how is it going to be maintained? I mean none of us have a crystal ball to say when that's going to continue but we do this as a temporary, it's some gravel.

Attorney Coombs answered, So the turnaround and the road become part of our city streets. So, it would be the city's responsibility to maintain all of that. But I can see where the concern would be if it's going to take years and years and years; that gravel's going to wear down over time and the city's going to need to go in and do something with it.

Erik Stromberg stated, I mean, I'm just bringing up. I don't like the idea of these temporary turnarounds. I know we've allowed it, it's in here. I don't like it because we're accepting something that's on what ifs.

Dan England stated the only time those turnarounds are used is for some of the larger vehicles that can't turnaround on the street. And so, it really doesn't happen that often.

Erik Stromberg stated, I'm going to disagree with you. I see it being used for more than that for which it's intended. I think we need to consider what temporary is and whether we can put some sort of timeframe and say, okay, if it hasn't been developed by a certain point, we need to do something different.

Gary Pinkham stated, this is preliminary. So, when the final comes in with the engineering, we can address issues of signage and things of that nature too. But as far as the preliminary goes, at this point, it has met the requirements of the preliminary.

Gary made a motion to table the Preliminary Plan for Iconic Development, LLC. on the Blue Spruce Subdivision located approximately at 620 South Quirk Street for the creation of thirteen (13) ½ acre lots in the R-1-21 zone to our next meeting, to allow the applicant time to complete the vacation of the original access easement along the north boundary and put in place easement paperwork for the temporary hammerhead on the neighbor's property to the west. Jaime seconded the motion. All voted in favor and the motion carried unanimously.

- 2. Report from City Council Liaison, Mayor Neil Critchlow.** Mayor Critchlow and the Commission discussed the concerns with the general plan amendment and the rezone for Wagstaff Investments on the corner of SR 138 and SR 112.
- 3. Adjourn.** Jaime made the motion to adjourn the meeting. Erik seconded the motion. The meeting was adjourned at 7:41 pm.

Kristy Clark
Zoning Administrator

AGENDA ITEM #18

**MINUTES OF THE GRANTSVILLE CITY PLANNING COMMISSION
HELD 03/17/2022. THE MEETING WAS HELD IN THE GRANTSVILLE
CITY HALL AT 429 EAST MAIN STREET AND ON ZOOM.**

Commission Members Present: Commission Chair Brian Pattee, Commission Member Gary Pinkham, Commission Member Jaime Topham, and Commission Member Erik Stromberg

Commission Members that were present on Zoom:

Commission Members that were absent: Commission Member John Limburg

Appointed Officers and Employees Present: Zoning Administrator, Kristy Clark; Grantsville City Attorney, Brett Coombs; City Engineer Dan England

Appointed Officers and Employees that were present on Zoom or Absent:

Citizens and Guests Present: Barry Bunderson,

**THE REGULAR MEETING WAS OFFICIALLY CALLED TO ORDER BY
COMMISSION CHAIR, BRIAN PATTEE AT 7:00 P.M.**

PLEDGE OF ALLEGIANCE

1. **Consideration to approve a Home Occupation Conditional Use Permit for Kristy Hodgson to own and operate a Dog Grooming business out of her home located at 480 East Clark Street in the RM-7 zone.**

Gary made a motion to approve a Home Occupation Conditional Use Permit for Kristy Hodgson to own and operate a Dog Grooming business out of her home located at 480 East Clark Street in the RM-7 zone. Jaime seconded the motion. All voted in favor and the motion carried unanimously.

2. **Consideration to approve the Animal Conditional Use Permit for Riggan Marriott to keep up to four (4) horses on his property located at 375 East Clark Street in the RM-7 zone.**

Gary made a motion to approve the Animal Conditional Use Permit for Riggan Marriott to keep up to four (4) horses on his property located at 375 East Clark Street in the RM-7 zone. Jaime seconded the motion. All voted in favor and the motion carried unanimously.

3. **Consideration to recommend approval to amend the General Plan and Future Land Use Map for 2.02 acres of land located at 794 East Main Street to go from a Mixed Use and High Single Family Density to a Commercial Density for Wagstaff Investments.**

Brent Neel was present for this agenda item and stated to the Commission: I attended the public hearing two weeks ago and heard the statements from the residents. And from that, there was, first off, a group letter signed by Peggy and Glenn Pearce, Dave & Doryanne Hall, David & Barbara Fawson, Josh & Natalie Fawson

- a. Entire Neighborhood is opposed to commercial business
 - i. The General Plan shows the SE corner of Hwy 138 and Hwy 112 zoned as Mixed- Use which allows commercial businesses.
 - b. UDOT opposing a 'big business' deeming it as unsafe for business traffic
 - i. We have held a pre-application meeting with UDOT and having ongoing discussions concerning access locations. A traffic study was performed by a third party traffic engineer to recommend the best solution for accesses that will help improve traffic flow and potential safety issues.
 - c. There is enough business on the east side of Hwy 112
 - i. We are still determining the best use for a commercial business on this corner.
 - d. Commercial Business at 138 E Main Street have closed, not a good location
 - i. Location is crucial for a commercial business to operate successfully. Many developers believe this is one of the best, if not the best, available parcel in Grantsville.
2. Public Speaker -- Don & Robyn Payne (67 Hwy 112)
- a. The queuing of cars from the intersection. 44 Cars stopped south of the intersected light and 10 cars made it through
 - i. The traffic study concluded the lighted intersection operates at a Level of Service (LOS) B. An intersection having an 'A' rating would be considered great and a 'F' rating would be poor.
 - b. Concerned for another rezone from residential to commercial
 - i. The General Plan shows the SE corner of Hwy 138 and Hwy 112 zoned as Mixed-Use which allows commercial businesses.
 - c. Large transportation trucks park along the frontage on the west side of Hwy 112 and walk across street to eat.

- i. Adding on-site improvements such as curb & gutter, sidewalk, and a landscape buffer will prevent large trucks with trailers from parking along the side of the road. Preventing trucks from parking will keep the line of site open for vehicles traveling in both directions.
- d. Have other sites been considered that are already zoned commercial?
 - i. We have looked at other sites in Grantsville, but many developers believe this parcel is one of the better, if not the best, available parcel in Grantsville.
- e. Maverick gas station already exists and causes concerns for pedestrians walking on such a busy road.
 - i. New developments are required to construct the necessary site improvements to maneuver around the site as safely as possible. Maverik installed curb/gutter and a sidewalk to help foot traffic be more safe while on the property.
 - ii. Until UDOT widens the roads on Hwy 138 and Hwy 112 and installs curb/gutter and a sidewalk, then it is up to commercial business or the homeowners themselves to make the necessary on-site improvements to make it safe for pedestrians.
- f. This site will cause more traffic to our small town
 - i. This assumes all traffic to the site is NEW or designation traffic. The traffic study states for this land use, the majority will be pass-by related traffic. The traffic study indicates a commercial business would increase traffic by 5% in the AM and 4% in the PM Peak Hours.

3. Public Speaker -- Adams Laymon (799 E Mains St.)

- a. This site will add more traffic and will make getting in and out of our driveway more difficult
 - i. A commercial business would increase traffic by 5% in the AM and 4% in the PM Peak Hours according to the Traffic Study results. The majority will be pass-by related traffic.

4. Public Speaker – Darin & Tammy Sheffield (113 Hwy 112)

- a. Pressure of additional traffic makes it very difficult to get into our own driveway.
 - i. A commercial business would increase traffic by 5% in the AM and 4% in the PM Peak Hours according to the Traffic Study results. The majority will be pass-by related traffic.

- b. Witnessed several times cars pulling into residential driveways
 - i. This will continue to occur until UDOT widens the roads on Hwy 138 and Hwy 112 and installs curb/gutter. Difficult for vehicles to tell accesses apart unless developed properly.
- c. Shopping Plaza at 112 E Main Street has vacant business, have they looked at these sites?
 - i. We have looked at several sites within Grantsville, but we and many other developers believe this corner is one of the best remaining parcels available. Location for a commercial business is crucial for the business 'success.
- d. "Don't Rezone this Parcel"
 - i. The General Plan shows the SE corner of Hwy 138 and Hwy 112 zoned as Mixed-Use which allows commercial businesses.

5. Public Speaker -- Josh Fawson

- a. Does the City have a future plan for designation for this area to go Commercial?
 - i. Yes, the General Plan shows the SE corner of Hwy 138 and Hwy 112 zoned as Mixed-Use which allows commercial businesses.
- b. We don't need another Gas Station with Maverik across the street.
 - i. We tend to let the market decide if a commercial business is wanted and not to the discretion of the local government deciding what should or shouldn't be best for its residents. Wagstaff Investments is a commercial development group that has worked with Holiday Oil in the past, but has also worked with developing commercial ground for: fast food establishments, car repair shops, warehousing, car washes, etc. We are still internally discussing the best use for a commercial business at this site.
- c. It takes 20 minutes to get out of the driveway in the morning.
 - i. A commercial business would increase traffic by 5% in the AM and 4% in the PM Peak Hours according to the Traffic Study results. The majority will be pass-by related traffic and not NEW traffic.
- d. Keep it as mixed-use and don't rezone too commercial.
 - i. With the site only being 2-acres it makes it extremely difficult to develop a functional mixed-use site including residential and commercial. Larger sites are

great for mixed-use developments, but for this size of a lot the need for a rezone to commercial is needed.

Brent Neel stated, the owner of the property is here and he would like to read his letter that I sent to you.

Darron Taylor stated, having owned the property in question since 2005 and I am intimately familiar with the evolution of the circumstances around this land and its current and potential best uses. Several interested neighbors, who reside near the site in question, testified at the 3 March 2022 Hearing and voiced impassioned opposition to any commercial development of the property located at 784-794 East Main Street. The basic, common theme of the arguments against commercial development of the site fell into 3 separate, but related categories:

- 1) Fear of increased traffic congestion and increased safety risk
- 2) Increased noise
- 3) General degradation of the quiet, rural residential environment

Some of the folks who testified two weeks ago have lived in Grantsville, on SR112 since the mid-1980's. They described the attractive factors that influenced them, back then, to build homes and live where they do. Attributes such as the quiet, rural setting provided an appealing place in which to live and raise families. My wife, Wendy, and I too, remember back in the 1960's and '70's how much we enjoyed visiting her grandparents and extended family, who lived here for those same reasons. Those who testified two weeks ago lamented how, over the 3 or 4 decades that they have lived there, traffic congestion, noise and the frequency of vehicular accidents have steadily increased. Most of us, here, have witnessed those same changes, especially along the 2 state highways that provide the ONLY access to Grantsville from the South and the East, SR112 and SR138 (AKA: Main Street). The inference from the testimonies of the neighbors at the last hearing was that the building and establishment of gas stations, convenience stores, strip malls and traffic lights have CAUSED the explosion of traffic congestion and noise around their homes. I submit that the degradation of the rural quality of life around the intersection of SR138 & SR112 is NOT BECAUSE of gas stations, convenience stores, strip malls and traffic lights. It is because so many others have recently discovered what the rest of us have known for so long, namely, that Grantsville is a desirable place to live! The gas stations, convenience stores, strip malls and traffic lights are the RESULT of the explosive growth of Tooele County and Grantsville in particular. I don't know who's responsible, but the secret we've all known, for better or for worse, is OUT. Unfortunately, NONE of us, no matter how much we might like to, are going to be able to reverse the tide of growth that Grantsville has and continues to experience. We can and should, however, concentrate on GUIDING the growth to mitigate its potential negative impacts and mold it to the advantage of the community. Of course, that, in a nutshell, is the function of this Commission and the City Council to which it

makes recommendations. To that end, I would like to present a cogent argument for such community advantage. The current use of the property as livestock pasture and a single, dilapidated residential domicile is sub-optimal for the following reasons:

- There are no irrigation shares serving the property, therefore, it is not viable for cultivation for agricultural use.
- The intersection of SR-138 and SR-112 is the busiest intersection in all of Grantsville, making this property undesirable for residential use from the standpoint of safety and excessive road noise.
- The existing structures on the property have outlived their useful lives.

The proposed commercial use of the property would be beneficial to the surrounding neighborhood and to Grantsville City for the following reasons:

- The already heavy traffic flow through this intersection would be afforded convenient access to services available on the property.
- Commercial business services would complement the other businesses already located across SR-138 and SR-112 from the subject property.
- Viable, prosperous business activity would tend to synergize with businesses in the immediate vicinity, enhancing their viability and generating additional sales and property tax revenues for the benefit of the city at large.
- Construction of new, well-designed, and maintained commercial building(s) would remove an unaesthetic eyesore and provide a long overdue facelift to the main entrance to Grantsville.

The current "Future Land Use Map" designates the subject property for a combination of "Mixed Use" and "High Density Residential" zones. These uses, while suitable options for that zoning designation, are heavier traffic density options than our proposed modification request. The permitted development under the current "Future Land Use Map" would likely result in a higher traffic impact in the area, because of the multiplicity of businesses that would coexist on the site along with the increased number of residents living there. Therefore, our proposed use for the site would serve as a buffer for the existing residential neighbors in a much greater capacity than the currently proposed future land use from a traffic density standpoint. Further, as stated above, while the proposed store and gas station provide a convenient scapegoat for residents to opine about imagined increased traffic in these corridors, the proposed use would impact traffic density less than the permitted uses in Mixed Use and High-Density Residential zones, as projected by the recent traffic study by Atrans Engineering. Most of the actual increased traffic burden in the area would rather be the result of the expansive growth in the Grantsville and greater Tooele areas. With such

expansion, support services such as gas stations and service centers are necessary. This proposal provides for such necessities. Thank you for considering the proposed zoning upgrade.

Jaime Topham asked, if we didn't approve it to be commercial and it stayed as mixed-use and high single-family density, what could be there instead of a gas station?

Brent Neel answered, so with the mixed-use, there's obvious commercial that can go there. It's more of a conditional use of what is allowed and what's not allowed, as far as a commercial. We've developed strip malls in the past, that can be something essentially as nails shops, little pizza shop, something of that nature. And then, however, residential fits on top. Whether it's commercial on the bottom, residential on top. Again, with it being two acres, and with the setbacks, and the flow of the traffic, it's going to be difficult for any developer to do a proper mixed-use residential site on a two-acre lot.

Jaime Topham stated, if you did something like that, we'd be looking at, potentially, a building that has a couple of stories, the bottom being the business, and the top, potentially, apartments.

Brent Neel stated, that's what I would assume. Or a strip mall could go there, and then residential on the back. But again, the setbacks, and then that close to the mixed-use commercial sites, I don't know how desirable it would be. But, I mean, cities have gone that route.

Jaime Topham stated, I think that's important for the community to understand, though, is that there are other alternatives that you could already do with your property that might be even less desirable.

Brent Neel stated, to be honest, I'm not a 100% sure what counts as conditional use in the mixed-use. I know some commercial businesses don't count in the mixed-use, so there's going to be conditional uses where it's permitted or not permitted.

Gary Pinkham stated, I think that corner would not be a good fit for a lot of high-density to residential. You have the noise to the residents would be one thing. I mean, the existing residents are complaining about the current noise. And the potential of having kids living in an apartment complex or something like on that intersection, to me, is somewhat of a safety issue. I think this may be a better fit. And we do have the opportunity, when it comes back to discuss hours of operation, things of that nature, that could mitigate the impact to the neighbors there. So right now, no use is being proposed. I don't know, who came up with the gas station.

Jaime Topham stated, because there's information from Holiday Oil.

Brent Neel stated, So Wagstaff investments owns all the property Holiday Oil resides on, as well as other commercial developments, as well. So, in that traffic study, I don't know if you saw it, so we don't meet the distance requirements. So, anything that is put in there, whether residential, whether it's commercial, you have to meet the UDOT requirements. And that would be done through a variance. So, talking with UDOT and the landowner can attest to this. So, where it is designed to three different parcels, you can't landlock a certain parcel. So, we've been working with UDOT as to what would be best use. So according to the traffic study, they're proposing, if it's a commercial site, a right-in right-out on Highway 138, on Main Street, makes the most sense. And then a full-movement access on Highway 112, directly across from the existing strip malls. So that's what they're proposing. That would be the best use for access in and access out to somewhat alleviate some of the congestion on the intersected light. And so, depending on what we get back from UDOT, that will also determine what might be the best use for commercial businesses on that site.

Erik made a motion to recommend approval to amend the General Plan and Future Land Use Map for 2.02 acres of land located at 794 East Main Street to go from a Mixed Use and High Single-Family Density to a Commercial Density for Wagstaff Investments. Gary seconded the motion. All voted in favor and the motion carried unanimously.

4. Consideration to recommend approval to Rezone of 2.02 acres of land located at 794 East Main Street to go from a R-1-21 zone to a C-G zone for Wagstaff Investments.

Brent Neel was present for this agenda item.

Gary Pinkham stated, I think the discussion's the same. So, I would make a motion.

Gary made a motion to recommend approval to Rezone of 2.02 acres of land located at 794 East Main Street to go from a R-1-21 zone to a C-G zone for Wagstaff Investments. Erik seconded the motion. All voted in favor and the motion carried unanimously.

5. Consideration to recommend approval to amend the Final Plat for Cook Corner Subdivision located at approximately 935 East Durfee Street to divide lot 4 into two (2) one (1) acre lots making a total of five (5) one acre lots in the RR-1 zone.

Sean Perkins was present for this agenda item:

Gary Pinkham asked, that issue that I raised last time about the dual ownership on that piece that's being seated from one page to the other. He says he's given description for the remainder parcel after seat number. Have you looked at that to see if it closes?

Shay Stark answered, I don't think I've seen the description that I am aware of.

Kristy Clark stated, I don't think I've gotten anything additional other than what's here.

Sean Perkins stated, it was sent to you on March 7th by Bryan Morris.

Kristy Clark stated, I found it, but I can't print it, but I will send it to everyone, and we will review it before it goes to City Council.

Gary Pinkham stated, he did show me where he's done a description to correct that duplicate ownership issue I raised. And I believe that was the only issue we had with him.

Brian Pattee asked, so you're wanting to divide lot four into two one-acre lots?

Sean Perkins answered, that's correct, yes.

Gary made a motion to recommend approval to amend the Final Plat for Cook Corner Subdivision located at approximately 935 East Durfee Street to divide lot 4 into two (2) one (1) acre lots making a total of five (5) one acre lots in the RR-1 zone. Erik seconded the motion. All voted in favor and the motion carried unanimously.

6. Consideration to recommend approval the Final Plat for Andy Lewis, Greg DeHaan, and Scooter II, LLC. on the Harvest Meadow Subdivision located approximately at 948 South Quirk Street for the creation of ten (10) lots in the R-1-21 zone.

Barry Bunderson was present for this agenda item and stated to the Commission: I'm representing the owners.

Gary Pinkham stated, this set plans here in front of us was delivered today. We haven't had a chance to review it. I actually was going through a set that Kristy gave me yesterday. I did have some items on it some of which we've been talking about for a while. I don't know if we want to table this today until the next meeting, so we get a chance to look at it. I would like a chance to look at it before we vote.

Barry Bunderson stated, I can tell you what's different.

Jaime Topham asked, why did we just get these today?

Barry Bunderson answered, we had some storm ring pipe that was shown over many reviews under the curb and gutter. And then it was asked to be moved out. So, we put in combination boxes for storm branch that are just a simple two by three box that a pipe can fit in. And so it was that plus a few other annotation type things. But as far as content design, That's, it. Dan can chime in if I've left some things out. I appreciate Dan and Kristy working with us on a short timeline.

Gary Pinkham stated, from my perspective here, like I said, I haven't had a chance to look at these. Looking at the plans yesterday, they had made most of the corrections and some that still hadn't been done.

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Dan England stated, the couple of things that I had noticed and that I pointed out to him was the drainage coming from the side property. He hadn't shown how that was being taken care of. He's now taken care of that.

Erik made a motion to recommend approval the Final Plat for Andy Lewis, Greg DeHaan, and Scooter II, LLC. on the Harvest Meadow Subdivision located approximately at 948 South Quirk Street for the creation of ten (10) lots in the R-1-21 zone. Gary seconded the motion. All voted in favor and the motion carried unanimously.

7. Report from City Council Liaison, Mayor Neil Critchlow.

8. Adjourn. Jaime made the motion to adjourn the meeting. Gary seconded the motion. The meeting was adjourned at 8:55 pm.

Kristy Clark
Zoning Administrator