

P&Z Packet

Planning Commission Meeting 03/17/22

03/11/2021

Grantsville City Corporation

Kristy Clark, Zoning Administrator

Email: kclark@grantsvilleut.gov

We will continue to broadcast the Planning Commission meetings electronically on Zoom. If you choose to attend, please wear a face covering.

PUBLIC NOTICE

Notice is hereby given that the Grantsville City Planning Commission will hold a regular meeting on **Thursday, March 17, 2022** in the Grantsville City Hall Council Chambers at 429 East Main Street in Grantsville Utah. The meeting shall begin promptly at 7:00 p.m.

THE MEETING WILL OFFICIALLY BE CALLED TO ORDER BY COMMISSION CHAIRMAN, BRIAN PATTEE.

PLEDGE OF ALLEGIANCE

IMMEDIATELY FOLLOWING PUBLIC HEARINGS, THE MEETING WILL BE CALLED TO ORDER BY CHAIRMAN, BRIAN PATTEE.

1. **Consideration to approve a Home Occupation Conditional Use Permit for Kristy Hodgson to own and operate a Dog Grooming business out of her home located at 480 East Clark Street in the RM-7 zone.**
2. **Consideration to approve the Animal Conditional Use Permit for Riggan Marriott to keep up to four (4) horses on his property located at 375 East Clark Street in the RM-7 zone.**
3. **Consideration to recommend approval to amend the General Plan and Future Land Use Map for 2.02 acres of land located at 794 East Main Street to go from a Mixed Use and High Single Family Density to a Commercial Density for Wagstaff Investments.**
4. **Consideration to recommend approval to Rezone of 2.02 acres of land located at 794 East Main Street to go from a R-1-21 zone to a C-G zone for Wagstaff Investments.**
5. **Consideration to recommend approval to amend the Final Plat for Cook Corner Subdivision located at approximately 935 East Durfee Street to divide lot 4 into two (2) one (1) acre lots making a total of five (5) one acre lots in the RR-1 zone.**
6. **Consideration to recommend approval the Final Plat for Andy Lewis, Greg DeHaan, and Scooter II, LLC. on the Harvest Meadow Subdivision located approximately at 948 South Quirk Street for the creation of ten (10) lots in the R-1-21 zone.**
7. **Report from City Council Liaison Mayor Critchlow.**
8. **Adjourn.**

DATED March 11, 2021. By the Order of Grantsville City Planning Commission Chairman, Brian Pattee.

Kristy Clark, Zoning Administrator

Join The Zoom Meeting - Meeting ID: 824 1374 5880

The anchor location will be City Hall at the above address." All interested persons are invited to attend the Zoom meeting. All public comments for the public hearing section must be written comment and will need to be submitted to the Zoning Administrator in advance. The current zoning Code and proposed amendments may be reviewed on the Grantsville City website located at www.grantsvilleut.gov. In accordance with the Americans with Disabilities Act, Grantsville City will accommodate reasonable requests to assist the disabled to participate in meetings. Request for assistance may be made by calling City Hall at 435-884-3411 at least 24 hours prior to the meeting that will be attended.

CERTIFICATE OF POSTING: This agenda was posted on the Grantsville City Hall Notice Board, the State Public Notice website at www.utah.gov/pmn/index.html, the Tooele Transcript Bulletin, and the Grantsville City website at www.grantsvilleut.gov.

AGENDA ITEM #1

GRANTSVILLE CITY CONDITIONAL USE APPLICATION
(Home Occupation)

DATE PAID February 17, 2022

AMOUNT PAID \$200.00

HEARING DATE March 3, 2022

PERMIT # _____

**FEE IS \$75.00 IF
REVIEWED IN
HOUSE, \$200.00 IF
REVIEWED BY
COMMISSION**

.....
Name Kristy Hodgson Phone # _____

Address of subject property 480 E Clark Street

Mailing Address 480 E Clark Street

E-mail address of applicant SKTIE.Hodgson@yahoo.com

Do you own subject property? Yes

Current zone of property Residential

You must have an appointment to submit the following. Please email kclark@grantsvilleut.gov to schedule your appointment.

Required Items to be Submitted with your Application for an In-House/Planning Commission Approval:

- 1) A complete detailed description of the type of business proposed, which includes:
 - a) the expected number of clients per day;
 - b) a list of the individuals at the home who will be working in the business;
 - c) the expected hours of operation of the business; and
 - d) storage of material (tools, product, etc), what and where.
- 2) Approval letter from the owner of the property if you are renting or leasing.
- 3) Vicinity map of area with North indicated.
- 4) A site plan which includes actual dimensions of the property, the size and location of all existing buildings, and all driveways and areas for and number of parking spaces. Also, include in the site plan, the work area location and where the tools and materials needed for the business will be stored.
- 5) A plat of the parcel and a Radius Report obtained from Tooele County Recorder's office, self-sealing envelopes, mailing labels and first class postage for all property owners located within 500 feet of subject property boundary. **DON'T PUT MAILING ADDRESSES ON ENVELOPES! THANK YOU! Addresses must be from Tooele County Recorder's Office!**

K.H.
SIGNATURE OF APPLICANT

SIGNATURE OF CO-APPLICANT

I'm looking to start a dog grooming business out of my home. I have adequate parking in front of my house. I will have at most, two people dropping dogs off at a time or picking them up. I would run the business Monday through Friday 8-4. I will have 1-5 dogs a day. For now, they will enter my front door and I will take the dog back to my shop. In the future, I hope to have a separate entrance on the east side of my house, directly to the grooming shop. I will keep the dogs in the grooming shop in separate crates when they are waiting to be groomed or waiting for their owner. If I were to have a noisy dog, I can put a towel over the crate and this helps calm them down. I have a fully fenced in back yard if I were to need to let them run or go potty for a bit.

S

room

closet

bathroom

grooming
shop

room

front door

side walk

yard
(grass)

parking area

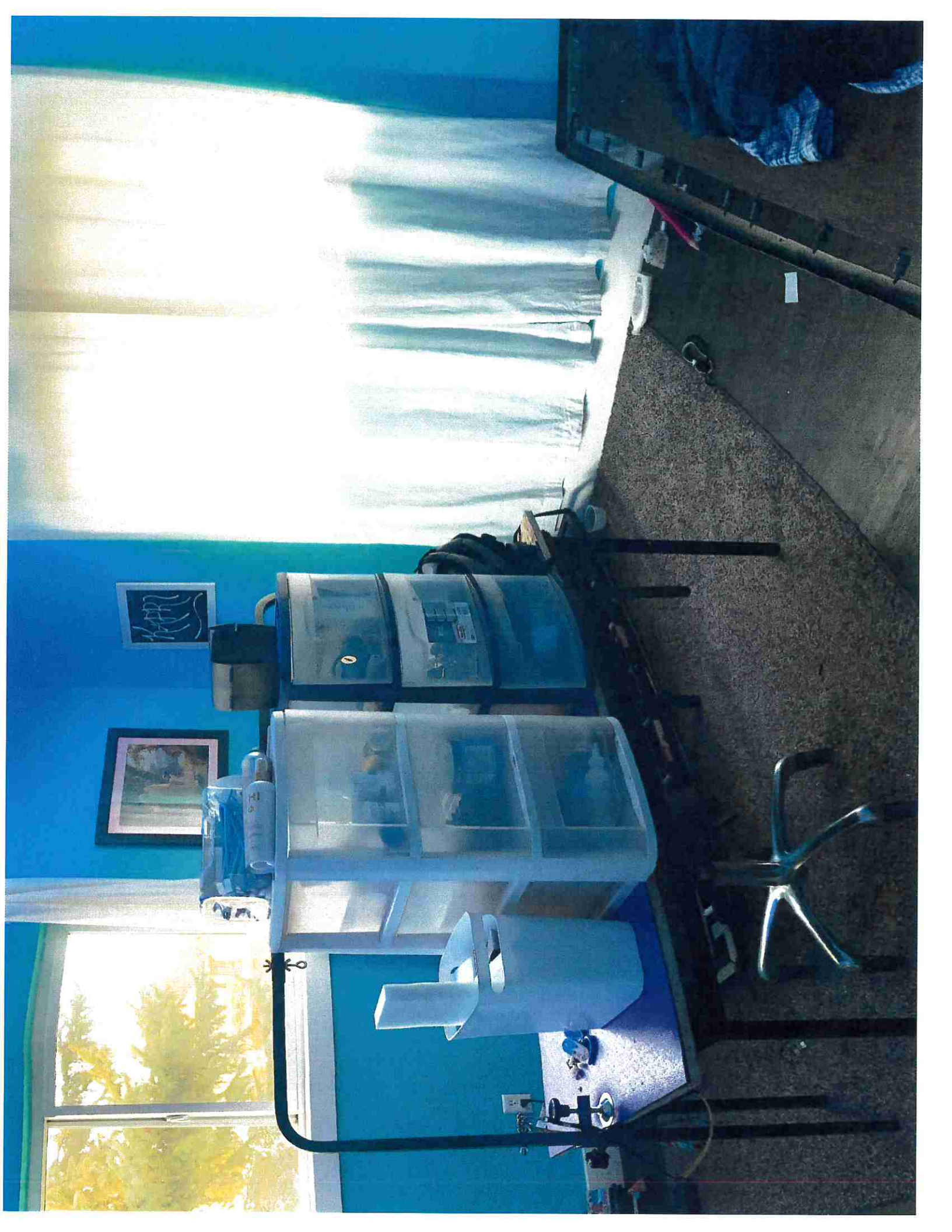
This is the layout
plenty of parking.
not wanting too m
one time, I would
maybe two custo
my driveway at

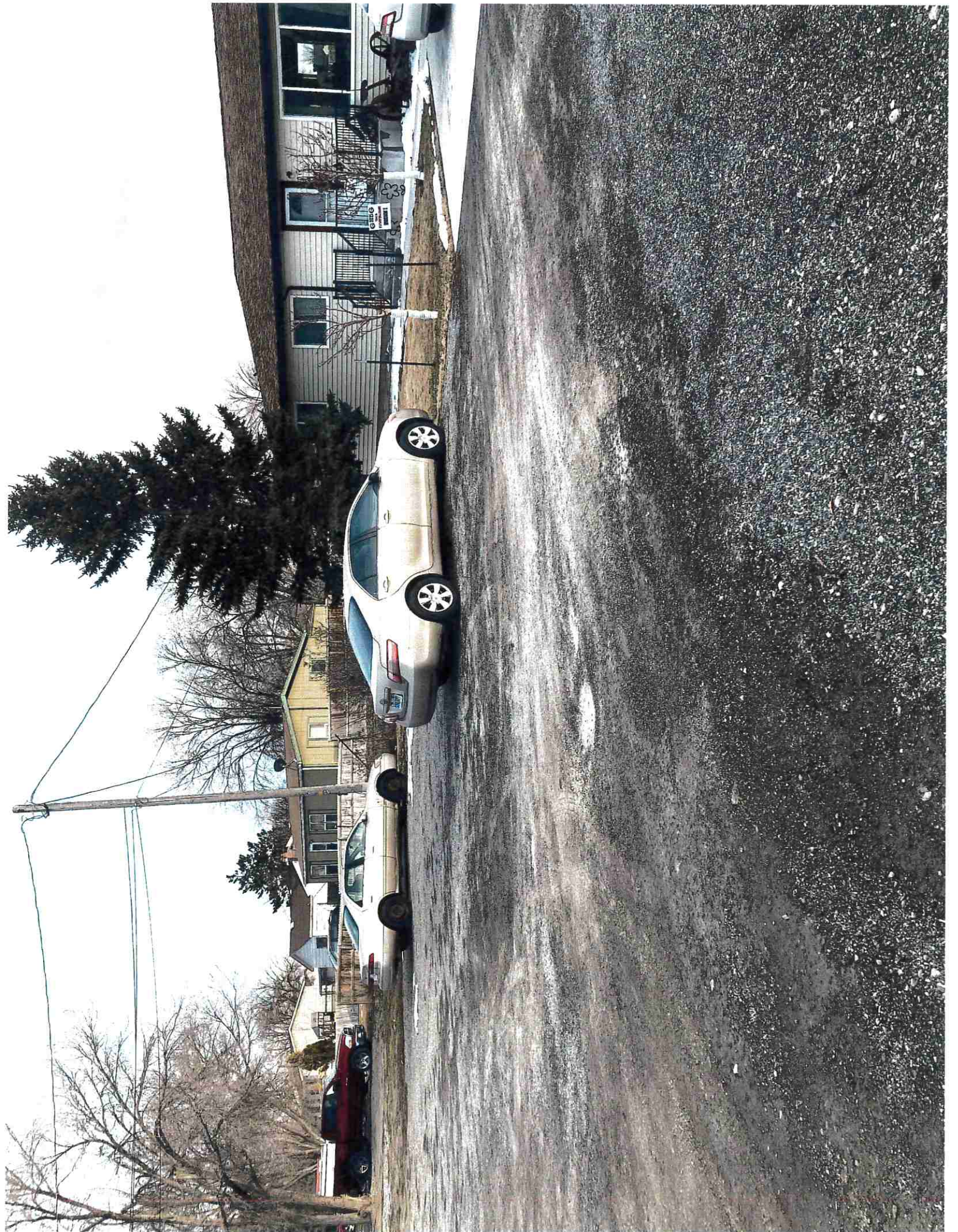
W

N

CLARK ST







**APPLICATION FOR A
HOME OCCUPATION - CONDITIONAL USE
PERMIT
CONSIDERATION BY GRANTSVILLE CITY
PLANNING COMMISSION**

This is to inform you that an application has been received in our office for consideration of a home occupation conditional use permit for:

Kristy Hodgson to own and operate a Dog Grooming business out of her home located at 480 East Clark Street in the RM-7 zone.

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A public hearing and meeting to discuss and consider action and to make a determination will be held in the Grantsville City Hall Council Chambers, 429 E Main Street, on:

Thursday March 3, 2022 at 7:00 p.m.

You are invited to request a copy of the application and detail description for the business by emailing me at kclark@grantsvilleut.gov.

We will continue to broadcast the Planning Commission meetings electronically on Zoom. If you choose to attend, please wear a face covering. Comments through email or by mail must be received no later than 5:00 p.m. on March 3, 2022. For more information, please call me at 435-884-4604 or email me.

Thank you,


Kristy Clark
Zoning Administrator

Join Zoom Meeting

<https://us02web.zoom.us/j/86722172237>

Meeting ID: 867 2217 2237

One tap mobile

+13462487799,,86722172237# US (Houston)

+16699009128,,86722172237# US (San Jose)

Dial by your location

+1 346 248 7799 US (Houston)

+1 669 900 9128 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 312 626 6799 US (Chicago)

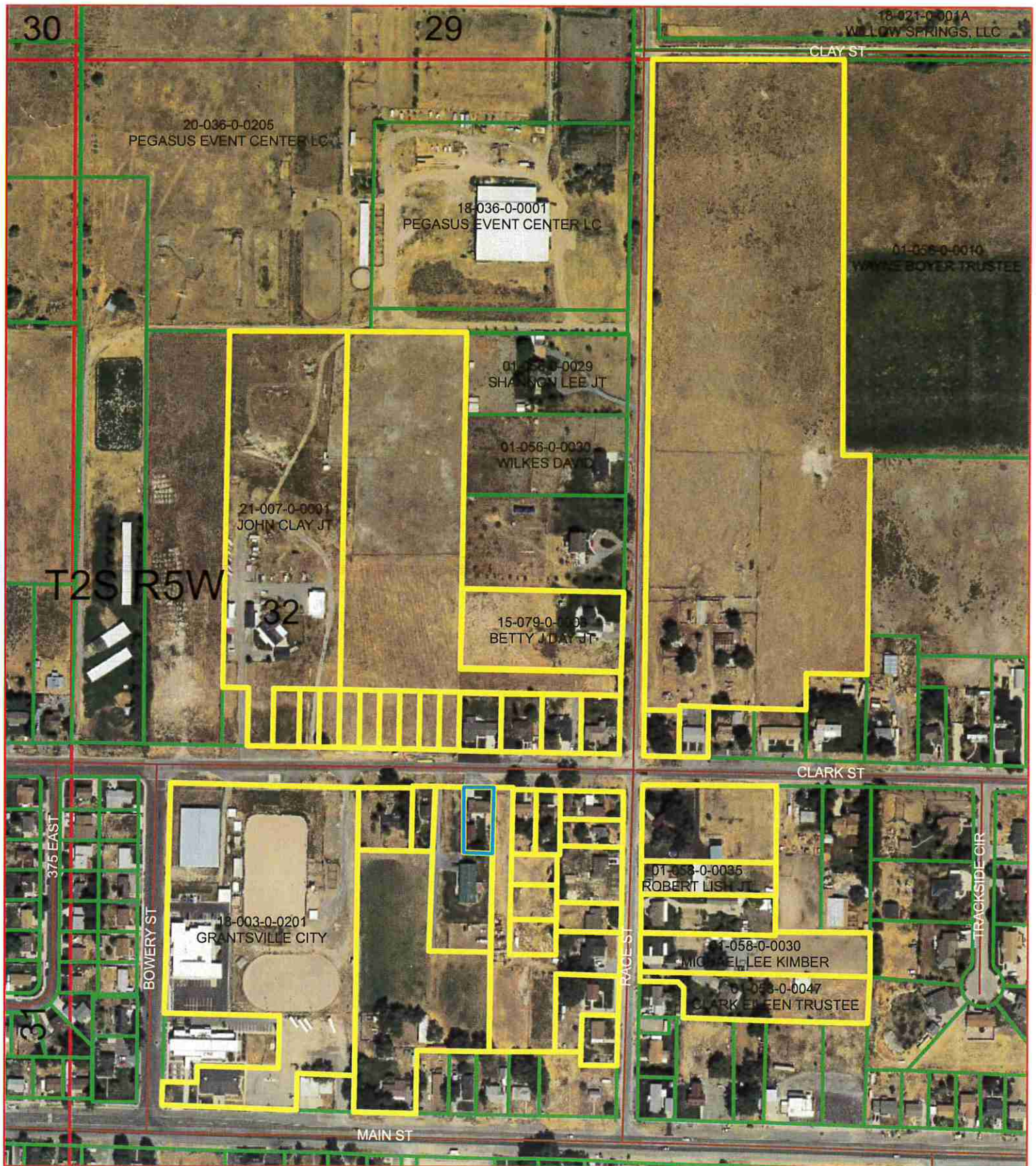
+1 646 558 8656 US (New York)

+1 301 715 8592 US (Washington DC)

Meeting ID: 867 2217 2237

Find your local number:

<https://us02web.zoom.us/j/86722172237>



GIS Map Disclaimer:

This is not an official map but for reference use only. The data was compiled from the best sources available, but various errors from the sources may be inherent on the map. All boundaries and features therein should be treated as such. For boundary information, the pertinent County Departments or Municipalities should be contacted. This map is a representation of ground features and is not a legal document of their locations. The scale represented is approximate, so this is NOT a Survey or Engineering grade map and should by no means be used as such. This map is not intended for all uses. Tooele County is not responsible or liable for any derivative or misuse of this map.



James Hodgson
01-058-0-0017



Date: 1/13/2022
blanca.rodriguez

AGENDA ITEM #2

GRANTSVILLE CITY ANIMAL C.U.P. APPLICATION

AMOUNT PAID \$ 200.00

DATE PAID January 25, 2022

HEARING DATE March 3, 2022

PERMIT # _____

FEES

\$75.00 (In House Approval)

\$200.00 (Planning Commission Approval)

NAME Riggin Marriott PHONE _____

MAILING ADDRESS 375 E Clark Street

EMAIL ADDRESS rigginmarriott@gmail.com

ADDRESS OF SUBJECT PROPERTY 375 E Clark Street

CURRENT ZONE OF PROPERTY _____

1. Please describe what type of animals, how many of each and provide a site plan that indicates the amount of open pasture you have for the animals. **NOTE:** Large animals require 10,000 sq ft of open pasture for the 1st animal, 2,000 sq ft for each additional animal, and medium size animals require 4,000 sq ft per animal, small animals require 500 sq ft per animal or bird. In addition, there must be a minimum of 100 linear ft between anywhere the animals pasture and the nearest neighboring residences.

~~34~~ <4 horses

2. Do you own the property? yes

3. Include with your application a site plan that shows dimensions of your lot where your residence is located, as well as the residences on adjacent properties and how far away those residences are from the edge of pasture. If in an HOA, an HOA approval letter may be required.

4. Include with your application: a plat of the parcel and a Radius Report obtained from Tooele County Recorder's office, envelopes, mailing labels and first class postage for all property owners located within 500 feet of subject property boundary. **DON'T PUT MAILING ADDRESSES ON ENVELOPES! THANK YOU! Addresses must be from Tooele County Recorder's Office!**

Riggin Marriott
SIGNATURE OF APPLICANT

[Signature]
SIGNATURE OF CO-APPLICANT

375 E Clark Street

Distance to Residence	
1	111 ft Figure 3.1
2	123 ft Figure 3.2
3	171 ft Figure 3.3
4	165 ft Figure 3.4
5	378 ft Figure 3.5

Pasture Size	
Acres	Sqft
0.47	20473

Legal Boundary:

BEG ON THE N LI OF CLARK ST GCS, SD PT BEING N 839.52 FT & W ALG SD N LI 100 FT, FR THE E 1/4 COR OF SEC 31, T2S, R5W, SLB&M; & RUN TH W 80 FT ALG SD N LI, TH N 412.28 FT TO AN OLD ESTABLISHED FENCE LI WHICH BOUNDARY IS DESC IN BOUNDARY LI AGREEMENT FOUND AS ENTRY NO 278726 IN THE OFFICE OF THE TOOELE COUNTY RECORDER; TH ALG SD FENCE LI S 89°20' E 80 FT; TH S 411.35 FT TO POB. REDESCRIBED AFTER BDY LI AGREEMENT 278726. OUT OF 1-49-21 FOR 2008 YEAR. 0.76 AC

Figure 1

Pasture



Fig. 2

Measurement Lines



Fig 3.1

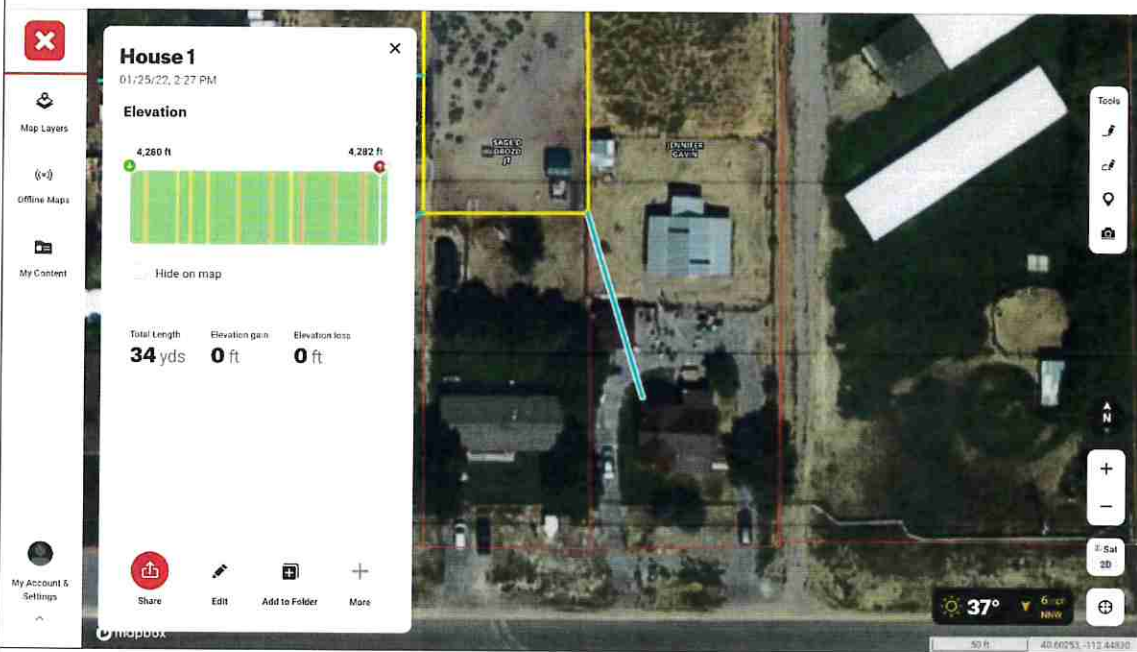


Fig 3.2



Fig 3.3

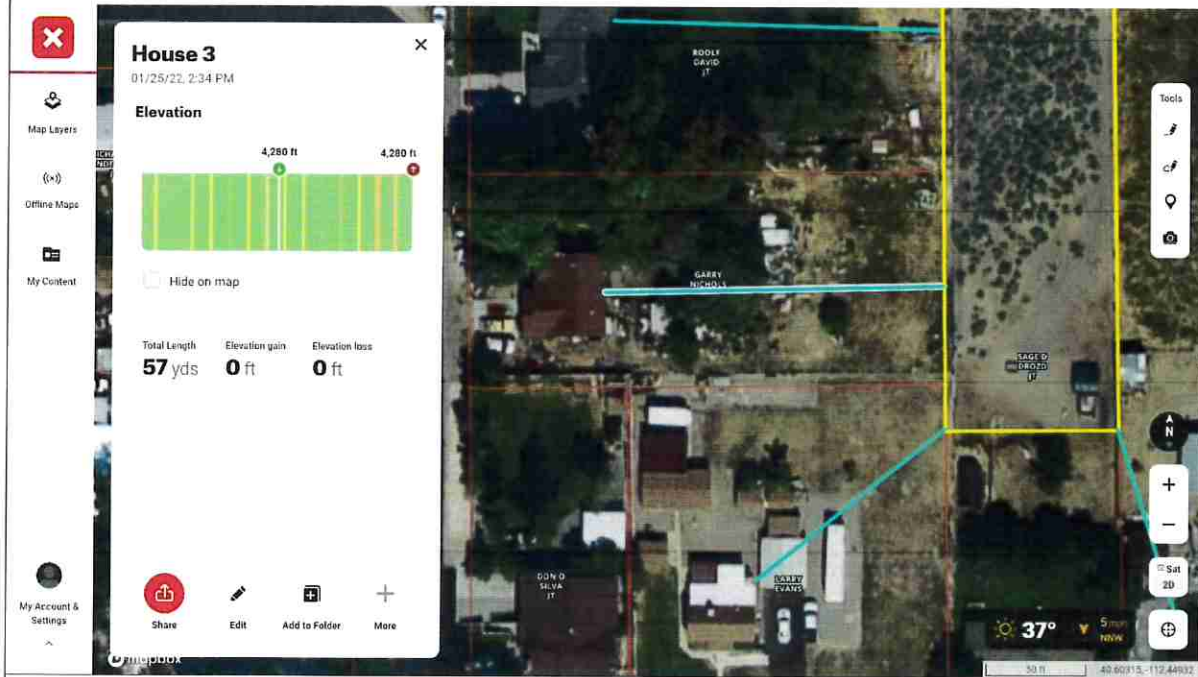


Fig 3.4

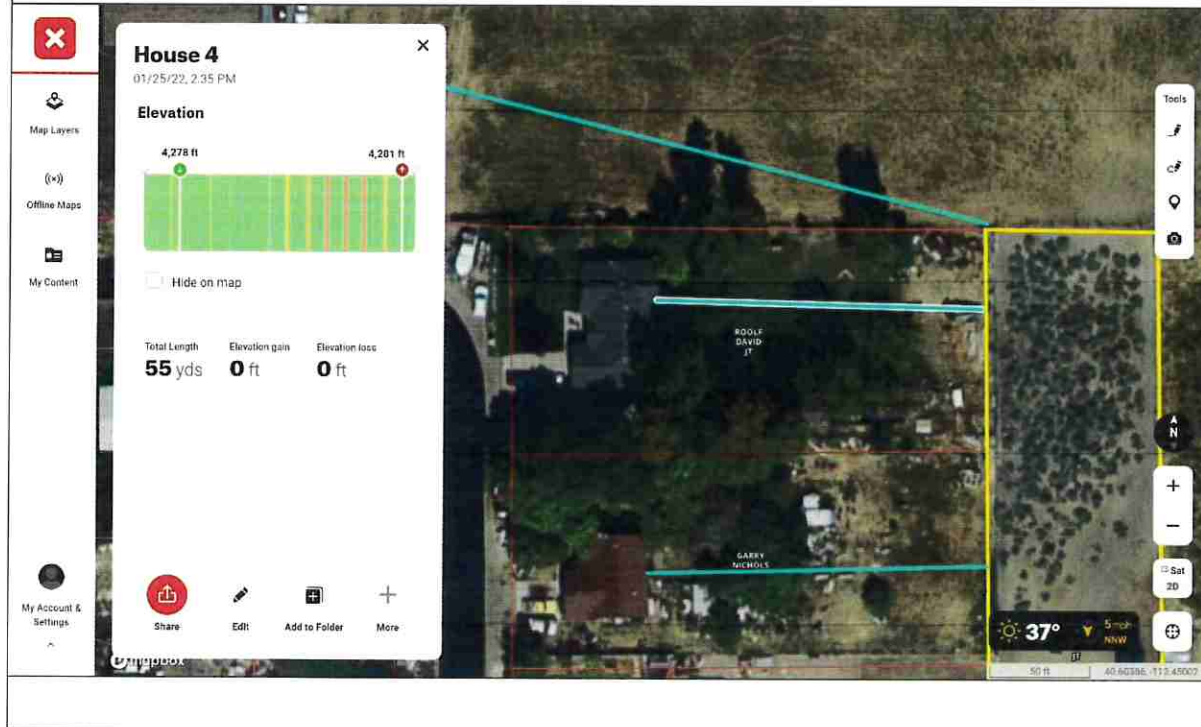
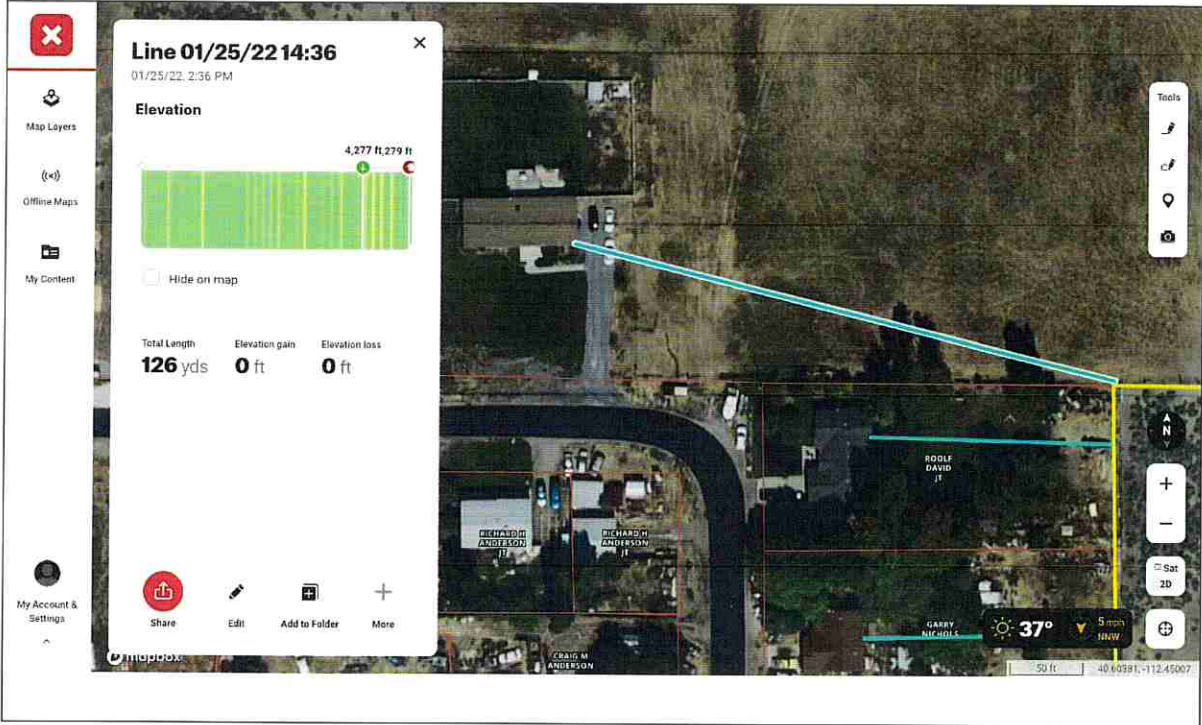


Fig 3.5



APPLICATION FOR AN ANIMAL CONDITIONAL USE PERMIT CONSIDERATION BY GRANTSVILLE CITY PLANNING COMMISSION

This is to inform you that an application has been received in our office for consideration of an animal conditional use permit for:

Riggin Marriott to keep up to four (4) horses on his property located at 375 East Clark Street in the RM-7 zone.

The site plan provided with the application indicates that there is sufficient square footage in the pasture area for the animals. The site plan provided with application will provide a minimum of one hundred (100) feet away from your residence, which is required by ordinance.

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A public hearing and meeting to discuss, consider action, and to make a determination will be held in the Grantsville City Hall Council Chambers, 429 E Main Street and on Zoom, on:

Thursday, March 3, 2022 at 7:00 p.m.

You are invited to request a copy of the application and site plan by emailing me at kclark@grantsvilleut.gov.

We will continue to broadcast the Planning Commission meetings electronically on Zoom. If you choose to attend, please wear a face covering. Comments through email or by mail must be received no later than 5:00 p.m. on March 3, 2022. For more information, please call me at 435-884-4604 or email me.

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Thank you,


Kristy Clark
Zoning Administrator

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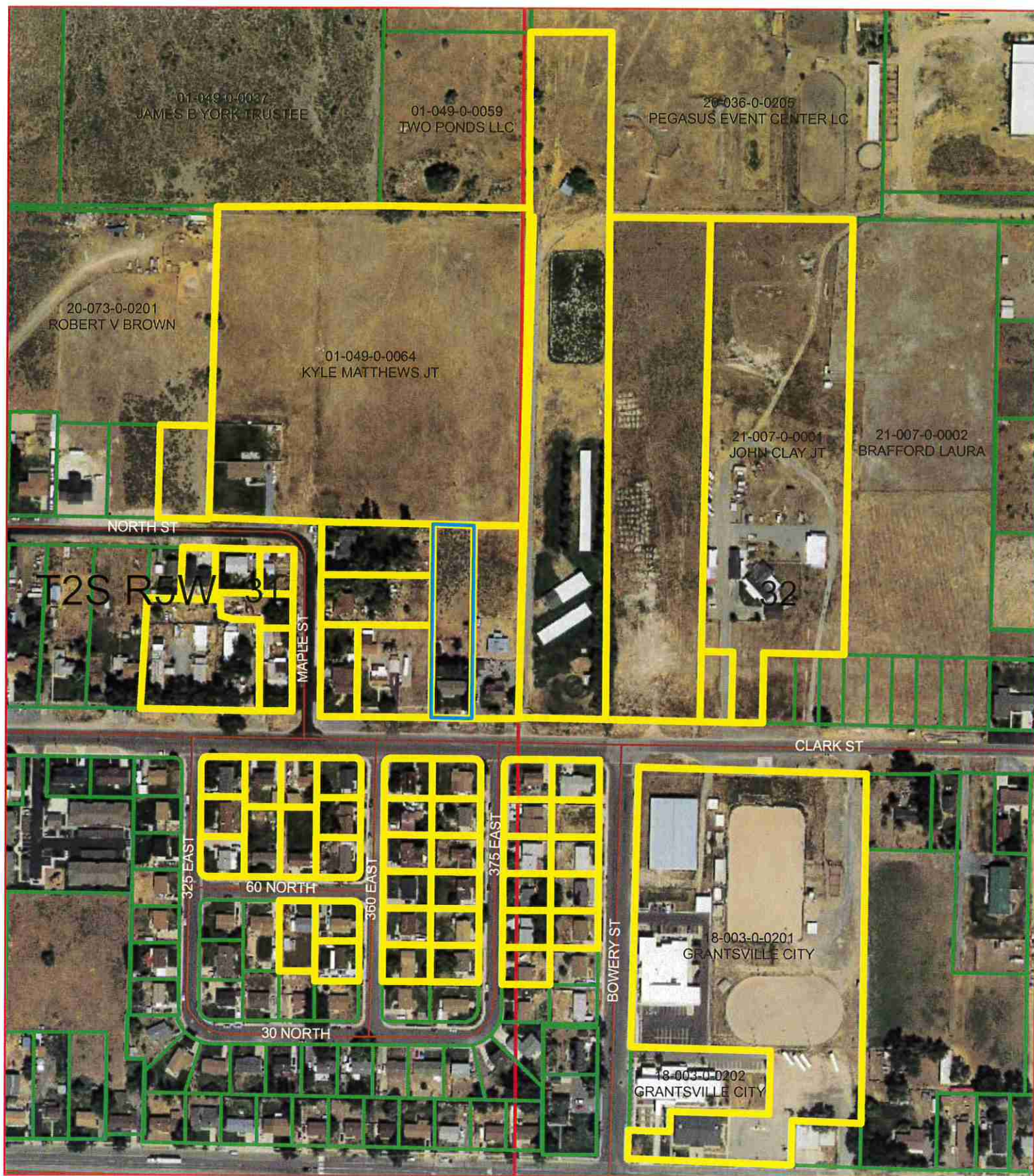
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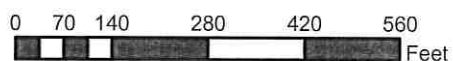


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Riggin Marriott
01-049-0-0063



Date: 1/6/2022
blanca.rodriguez

AGENDA ITEM #3

AGENDA ITEM #3

Wagstaff Investments-Holiday Oil addressing the comments from the neighboring residents located near 794 East Main Street. Public Hearing was held on March 3, 2022.

1. Public Speaker – Group Letter that was dated March 1, 2022 Signed by Peggy & Glen Pearce, Dave & Doryanne Hall, David & Barbara Fawson, Josh & Natalie Fawson
 - a. **Entire Neighborhood is opposed to commercial business**
 - i. The General Plan shows the SE corner of Hwy 138 and Hwy 112 zoned as Mixed-Use which allows commercial businesses.
 - b. **UDOT opposing a 'big business' deeming it as unsafe for business traffic**
 - i. We have held a pre-application meeting with UDOT and having ongoing discussions concerning access locations. A traffic study was performed by a third party traffic engineer to recommend the best solution for accesses that will help improve traffic flow and potential safety issues.
 - c. **There is enough business on the east side of Hwy 112**
 - i. We are still determining the best use for a commercial business on this corner.
 - d. **Commercial Business at 138 E Main Street have closed, not a good location**
 - i. Location is crucial for a commercial business to operate successfully. Many developers believe this is one of the best, if not the best, available parcel in Grantsville.
2. Public Speaker -- Donn & Robyn Payne (67 Hwy 112)
 - a. **The queuing of cars from the intersection. 44 Cars stopped south of the intersected light and 10 cars made it through**
 - i. The traffic study concluded the lighted intersection operates at a Level of Service (LOS) B. An intersection having an 'A' rating would be considered great and a 'F' rating would be poor.
 - b. **Concerned for another rezone from residential to commercial**
 - i. The General Plan shows the SE corner of Hwy 138 and Hwy 112 zoned as Mixed-Use which allows commercial businesses.
 - c. **Large transportation trucks park along the frontage on the west side of Hwy 112 and walk across street to eat.**
 - i. Adding on-site improvements such as curb & gutter, sidewalk, and a landscape buffer will prevent large trucks with trailers from parking along the side of the road. Preventing trucks from parking will keep the line of site open for vehicles traveling in both directions.
 - d. **Have other sites been considered that are already zoned commercial?**
 - i. We have looked at other sites in Grantsville, but many developers believe this parcel is one of the better, if not the best, available parcel in Grantsville.
 - e. **Maverick gas station already exists and causes concerns for pedestrians walking on such a busy road.**

- i. New developments are required to construct the necessary site improvements to maneuver around the site as safely as possible. Maverik installed curb/gutter and a sidewalk to help foot traffic be more safe while on the property.
 - ii. Until UDOT widens the roads on Hwy 138 and Hwy 112 and installs curb/gutter and a sidewalk, then it is up to commercial business or the home owners themselves to make the necessary on-site improvements to make it safe for pedestrians.
- f. **This site will cause more traffic to our small town**
 - i. This assumes all traffic to the site is NEW or designation traffic. The traffic study states for this is land use, the majority will be pass-by related traffic. The traffic study indicates a commercial business would increase traffic by 5% in the AM and 4% in the PM Peak Hours.
- 3. Public Speaker -- Adams Laymon (799 E Mains St.)
 - a. **This site will add more traffic and will make getting in and out of our driveway more difficult**
 - i. A commercial business would increase traffic by 5% in the AM and 4% in the PM Peak Hours according to the Traffic Study results. The majority will be pass-by related traffic.
- 4. Public Speaker -- Darin & Tammy Sheffield (113 Hwy 112)
 - a. **Pressure of additional traffic makes it very difficult to get into our own driveway.**
 - i. A commercial business would increase traffic by 5% in the AM and 4% in the PM Peak Hours according to the Traffic Study results. The majority will be pass-by related traffic.
 - b. **Witnessed several times cars pulling into residential driveways**
 - i. This will continue to occur until UDOT widens the roads on Hwy 138 and Hwy 112 and installs curb/gutter. Difficult for vehicles to tell accesses apart unless developed properly.
 - c. **Shopping Plaza at 112 E Main Street has vacant business, have they looked at these sites?**
 - i. We have looked at several sites within Grantsville, but we and many other developers believe this corner is one of the best remaining parcels available. Location for a commercial business is crucial for the business' success.
 - d. **"Don't Rezone this Parcel"**
 - i. The General Plan shows the SE corner of Hwy 138 and Hwy 112 zoned as Mixed-Use which allows commercial businesses.
- 5. Public Speaker -- Josh Fawson

- a. **Does the City have a future plan for designation for this area to go Commercial?**
 - i. Yes, the General Plan shows the SE corner of Hwy 138 and Hwy 112 zoned as Mixed-Use which allows commercial businesses.
- b. **We don't need another Gas Station with Maverik across the street.**
 - i. We tend to let the market decide if a commercial business is wanted and not to the discretion of the local government deciding what should or shouldn't be best for its residents. Wagstaff Investments is a commercial development group that has worked with Holiday Oil in the past, but has also worked with developing commercial ground for: fast food establishments, car repair shops, warehousing, car washes, etc. We are still internally discussing the best use for a commercial business at this site.
- c. **It takes 20 minutes to get out of the driveway in the morning.**
 - i. A commercial business would increase traffic by 5% in the AM and 4% in the PM Peak Hours according to the Traffic Study results. The majority will be pass-by related traffic and not NEW traffic.
- d. **Keep it as mixed-use and not rezone to commercial**
 - i. With the site only being 2-acres it makes it extremely difficult to develop a functional mixed-use site including residential and commercial. Larger sites are great for mixed-use developments, but for this size of a lot the need for a rezone to commercial is needed.

GENERAL PLAN AMENDMENT APPLICATION

\$500.00 APPLICATION FEE (NON REFUNDABLE)

DATE PAID Dec 16, 2021

HEARING DATE March 3, 2022

OWNER / APPLICANTS NAME Wagstaff Investments

MAILING ADDRESS _____

PHONE _____

E-MAIL brent@holidayoil.com

LOCATION / ADDRESS OF PROPERTY & NUMBER OF
ACRES 794 E. Main Street, Grantsville 2.02 Acres

IT IS REQUESTED THAT THE GENERAL PLAN BE AMENDED AS
FOLLOWS From mixed use and High Single Family
Density Residential to Commercial (C-G)

WHAT IS THE PURPOSE FOR THE REQUESTED CHANGE? Once approved
to Commercial, we'll determine best use for the property
after discussing accesses w/ UDOT.

**ITEMS TO BE SUBMITTED WITH APPLICATION

- Include with your application: a plat of the parcel and a Radius Report obtained from Tooele County Recorder's office, self-sealing envelopes, mailing labels and first class postage for all property owners located within 500 feet of subject property boundary.
DON'T PUT MAILING ADDRESSES ON ENVELOPES! THANK YOU!
Addresses must be from Tooele County Recorder's Office!
- A legal description of entire property.
- A vicinity map for property location.

Brent W. Wagstaff
SIGNATURE OF APPLICANT

General Plan Amendment for Wagstaff Investments - 794 East Main

The current General Plan Designation is:

High Density Single Family and Mixed Use.

High Density Single Family: Allows a maximum of 6 dwelling units per acre.

Mixed Use: Allows up to 10 dwelling units per acre and requires 20% Commercial.

The proposed General Plan Designation is:

Commercial Designation – Allows a variety of commercial, retail, office and light industrial.

Rezone Request for Wagstaff Investments - 794 East Main

The current zoning is R-1-21- Allows a minimum of a half-acre single family dwelling lots.

The proposed zoning requested is: General Commercial (CG) which allows for a variety of commercial uses.

CURRENT FUTURE LAND USE
DESIGNATIONS

MIXED USE

RADNEW INVESTMENT LLC

11-041-0-0003

R006419

0.77 Acres

784 E MAIN ST

RADNEW INVESTMENT LLC

11-041-0-0000

R003396

0.00 Acres

9 E MAIN ST

RADNEW INVESTMENT LLC

11-041-0-0002

R009413

0.55 Acres

56 S STATE HWY 112

HIGH SINGLE FAMILY
DENSITY

BLACKHURST RYAN JT
01-060-0-0038
R032510
5.438 Acres

PEGGY FRANCIS PEARCE
11-041-0-0004
R003051
0.94 Acres
84 S STATE HWY 112

SR112 HWY

PROPOSED COMMERCIAL
DESIGNATION

RADNEW INVESTMENT LLC
11-041-0-0003
R006449
0.77 Acres
784 E MAIN ST

RADNEW INVESTMENT LLC
11-041-0-0001
R003961
0.79 Acres
795 E MAIN ST

RADNEW INVESTMENT LLC
11-041-0-0002
R009413
0.55 Acres
56 S STATE HWY 112

PEGGY FRANCIS PEARCE
11-041-0-0004
R003051
0.94 Acres
84 S STATE HWY 112

SR112 HWY

RYAN JT
033
0
6

GRANTSVILLE CITY PLANNING COMMISSION

NOTICE OF A PUBLIC HEARING ON A PROPOSAL TO AMEND GRANTSVILLE CITY'S GENERAL PLAN AND FUTURE LAND USE MAP FOR WAGSTAFF INVESTMENTS TO GO FROM A MIXED USE AND HIGH SINGLE FAMILY DESIGNATION TO A COMMERCIAL DESIGNATION FOR PROPERTY LOCATED AT 794 EAST MAIN STREET.

Pursuant to the provisions of Section §10-9A-205 and §10-9a-502 of the Utah Code. Notice is hereby given that the Grantsville Planning Commission will hold a public hearing on March 3, 2022 at 7:00 p.m. at Grantsville City Hall. The meeting will also be broadcast on Zoom. The public hearing and meeting is to receive public input and to discuss and consider action on the proposed amendment of the Grantsville City General Plan and Future Land Use Map for Wagstaff Investments to go from a Mixed Use and High Single Family Designation to a Commercial Designation and make a recommendation to the City Council. Documentation associated with this hearing and consideration may be requested through email. All comments and concerns need to be sent in writing through email or mail and received no later than 5:00 p.m. March 3, 2022.

Dated this 18th day of February, 2022.

BY ORDER OF THE GRANTSVILLE PLANNING COMMISSION

Kristy Clark
Zoning Administrator
Email: kclark@grantsvilleut.gov

Join Zoom Meeting

<https://us02web.zoom.us/j/86722172237>

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Account R013396

Location	
Acres 0.55	Owner Name RADNEW INVEST
Parcel Number 11-041-0-0001	In Care Of Name RADNEW INVE
Account Number R013396	Owner Address 2021 ALISON C
Tax District 2 - GRANTSVILLE	SALT LAKE CITY, UT 84124
Year Built	UNITED STATES
Above Ground SQFT	
Basement SQFT	
Basement SQFT Complete 0	
Status Code OK - Normally Tax Property	
HouseNumber 794	
StreetName MAIN ST	
Parcels	
OwnerName RADNEW INVESTMENT LLC	
Legal LOT 1, KENNETH FAWSON SUBDIVISION, A SUBDIVISION OF GRANTSVILLE CITY (OUT OF 1-60-12) 0.55 AC	
Entry Date	
Remarks	

Transfers

Sat Feb 24 12:00:00 MST 1996
Fri Sep 09 12:00:00 MDT 2005

Tax		
Tax Year		Taxes
2021		\$796.72
2020		\$822.85

Location	
Acres 0.55	Owner Name RADNEW INVEST
Parcel Number 11-041-0-0002	In Care Of Name RADNEW INV
Account Number R009413	Owner Address 2021 ALISON C
Tax District 2 - GRANTSVILLE	SALT LAKE CITY, UT 84124
Year Built	UNITED STATES
Above Ground SQFT	
Basement SQFT	
Basement SQFT Complete 0	
Status Code OK - Normally Tax Property	
HouseNumber 56	
StreetName STATE HWY 112	
Parcels	
OwnerName RADNEW INVESTMENT LLC	
Legal LOT 2, KENNETH FAWSON SUBDIVISION, A SUBDIVISION OF GRANTSVILLE CITY (OUT OF 1-60-12) 0.55 AC	
Entry Date	
Remarks	


Transfers

Sat Feb 24 12:00:00 MST 1996
Fri Sep 09 12:00:00 MDT 2005

Tax	
Tax Year	Taxes
2021	\$796.72
2020	\$822.85

Location	
Acres 0.77	Owner Name RADNEW INVEST
Parcel Number 11-041-0-0003	In Care Of Name RADNEW INVE
Account Number R006449	Owner Address 2021 ALISON C
Tax District 2 - GRANTSVILLE	SALT LAKE CITY, UT 84124-170
Year Built 1928	UNITED STATES
Above Ground SQFT 1024	
Basement SQFT	
Basement SQFT Complete 0	
Status Code OK - Normally Tax Property	
HouseNumber 784	
StreetName MAIN ST	
Parcels	
OwnerName RADNEW INVESTMENT LLC	
Legal LOT 3, KENNETH FAWSON SUBDIVISION, A SUBDIVISION OF GRANTSVILLE CITY (OUT OF 1-60-12) 0.77 AC	
Entry Date	
Remarks	
Transfers	

Sat Feb 24 12:00:00 MST 1996
Fri Jan 31 12:00:00 MST 2003
Fri Jan 31 12:00:00 MST 2003
Thu Aug 12 12:00:00 MDT 2004
Mon Aug 09 12:00:00 MDT 2004
Fri Sep 08 12:00:00 MDT 2006
Thu Sep 28 12:00:00 MDT 2006

Tax		
Tax Year	Taxes	Photo
2021	\$1,333.86	
2020	\$1,364.80	

LEGEND

Future Land Use Designations

Ensuring that the land and the proposed land-uses within the community are utilized to meet a unified community vision or goal is the first and often most important responsibility of a general plan. Outlined on this map is the proposed Future Land Use Map for the City of Grantsville:

Commercial

(A variety of commercial, retail, office and light industrial associated with a retail presence fronting street with special approval)

Mixed-Use Density

(A mixture of commercial/retail and residential uses, allowing up to 10 units per acre where surrounding uses are compatible. Heights are limited to two stories or a maximum of 35' above grade at street. Three stories above grade at street and/or 15 units per acre may be approved with special considerations of landscaping, buffering and architectural design that fit the scale of the surrounding properties in the zone.)

High Single Family Density Residential

(Residential uses, allowing a maximum of 6 dwelling units per acre)

Medium Density Residential

(Residential uses, allowing a maximum of 3 dwelling units per acre)

Low Density Residential

(Residential use, allowing a maximum of 2 dwelling units per acre)

Rural Residential - 1

(Residential use with applicable rural land uses, allowing 1 dwelling unit per one to ten acres)

Rural Residential 2

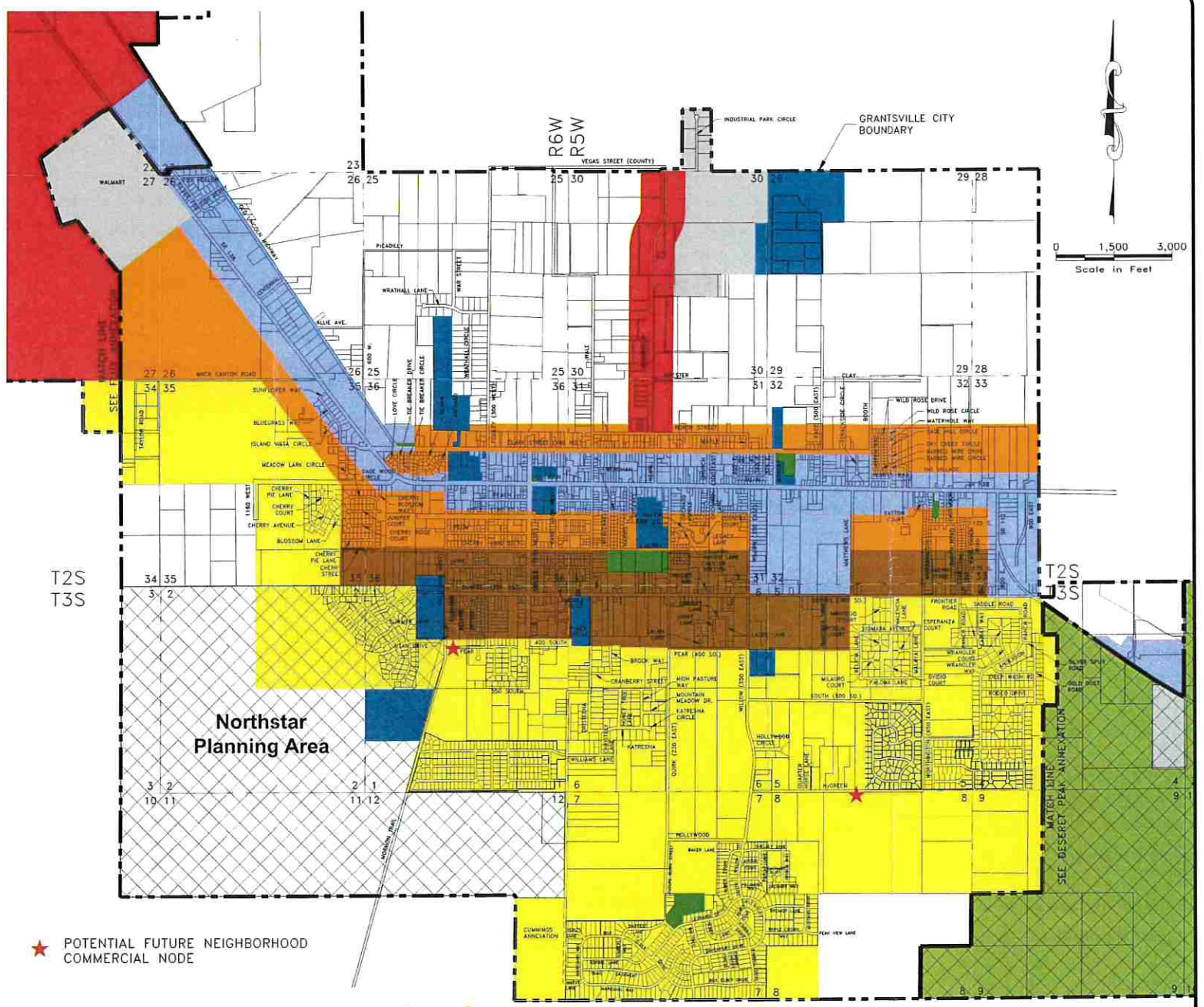
(Residential use with applicable rural land uses, allowing 1 dwelling unit per five to ten acres)

Industrial

(Allowing industrial, light industrial and mining)

Municipal/School: This land use designates city-owned school district owned property serving a public purpose.

Parks & Open Space: Designates public parks, open space and recreational areas.



★ POTENTIAL FUTURE NEIGHBORHOOD COMMERCIAL NODE

GRANTSVILLE CITY

FUTURE LAND USE MAP

CITY CENTER

ADOPTED JANUARY 15, 2020



The purpose of designated Planning Areas is to foster a joint working relationship between the City and the landowner(s) of large parcels or groups of parcels 500 acres or greater, to create a Master Plan for the area with a balance of uses beneficial to both the development and the surrounding community adequately addressing the potential impacts on transportation, utility, and other public services and amenities.

AGENDA ITEM #4

**APPLICATION FOR AMENDING THE ZONING MAP
(REZONING)**

DATE PAID Dec 16, 2021

HEARING DATE March 3, 2022

**\$500.00 FEE
NON-
REFUNDABLE**

APPLICANT'S NAME Wagstaff Investments

MAILING ADDRESS _____

E-MAIL brent@holidayoil.com

APPLICANT'S PHONE _____

LOCATION OF SUBJECT PROPERTY 794 E. Main Street Grantsville

DO YOU OWN THE PROPERTY? Not Yet. Under Contract (DD)

NUMBER OF ACRES INVOLVED 2.02

CURRENT ZONE OF PROPERTY Residential R-1-21

REQUESTED ZONE Commercial (C-G)

PROPOSED USE FOR NEW ZONE, IF APPROVED Once approved to commercial zoning, we will determine best use based off of accesses granted w/ UDOT and discussing with interested businesses.

Attach all required items from checklist sheet, incomplete applications cannot be accepted.

Bert Hill
SIGNATURE OF APPLICANT

General Plan Amendment for Wagstaff Investments - 794 East Main

The current General Plan Designation is:

High Density Single Family and Mixed Use.

High Density Single Family: Allows a maximum of 6 dwelling units per acre.

Mixed Use: Allows up to 10 dwelling units per acre and requires 20% Commercial.

The proposed General Plan Designation is:

Commercial Designation – Allows a variety of commercial, retail, office and light industrial.

Rezone Request for Wagstaff Investments - 794 East Main

The current zoning is R-1-21- Allows a minimum of a half-acre single family dwelling lots.

The proposed zoning requested is: General Commercial (CG) which allows for a variety of commercial uses.

E MAIN ST

w search results for 794 E ...



768 E MAIN ST

BLACKHURST RYAN JT
01-060-0-0033
R002510
5.438 Acres

CURRENT ZONING
R-1-21

RADNEW INVESTMENT LLC
11-041-0-0003
R006449
0.77 Acres
764 E MAIN ST

RADNEW INVESTMENT LLC
11-041-0-0001
R013396
0.55 Acres
794 E MAIN ST

RADNEW INVESTMENT LLC
11-041-0-0002
R009413
0.55 Acres
56 S STATE HWY 112

PEGGY FRANCIS PEARCE
11-041-0-0004
R003051
0.94 Acres
84 S STATE HWY 112

E MAIN ST

Search results for 794 E ...

PROPOSED ZONING
C-G ZONE

RADNEW INVESTMENT LLC
11-0410-0001
R013396
0.55 Acres
794 E MAIN ST

RADNEW INVESTMENT LLC
11-0410-0003
R008449
0.77 Acres
784 E MAIN ST

RADNEW INVESTMENT LLC
11-0410-0002
R006413
0.55 Acres
56 S STATE HWY 112

BLACKHURST RYAN JT
01-060-0-0033
R032510
5.438 Acres

PEGGY FRANCIS PEARCE
11-0410-0004
R003051
0.94 Acres
84 S STATE HWY 112

763 E MAIN ST

20110101

APPLICATION FOR A REZONE CONSIDERATION BY GRANTSVILLE CITY PLANNING COMMISSION

An application has been received in our office for consideration to rezone of:

2.02 acres of land located at 794 East Main Street to go from a R-1-21 zone to a C-G zone for Wagstaff Investments.

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A public hearing to receive public input and meeting to discuss and consider action on the proposed project and make a recommendation to the City Council will be held in the Grantsville City Hall Council Chambers, 429 E. Main Street, Grantsville, Utah on:

Thursday, March 3, 2022 at 7:00pm

You are invited to request a copy of the application and zoning code by emailing me at kclark@grantsvilleut.gov. At this time, they are just asking for a zoning change and future plans aren't required. If and when the property gets developed, you will be notified and I will be able to send you the development plan at that time.

We will continue to broadcast the Planning Commission meetings electronically on Zoom. If you choose to attend, please wear a face covering. Comments through email or by mail must be received no later than 5:00 p.m. on March 3, 2022. For more information, please call me at 435-884-4604 or email me.

Thank you,


Kristy Clark
Zoning Administrator

Join Zoom Meeting

<https://us02web.zoom.us/j/86722172237>

Meeting ID: 867 2217 2237

One tap mobile

+13462487799,,86722172237# US (Houston)

+16699009128,,86722172237# US (San Jose)

Dial by your location

+1 346 248 7799 US (Houston)

+1 669 900 9128 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 312 626 6799 US (Chicago)

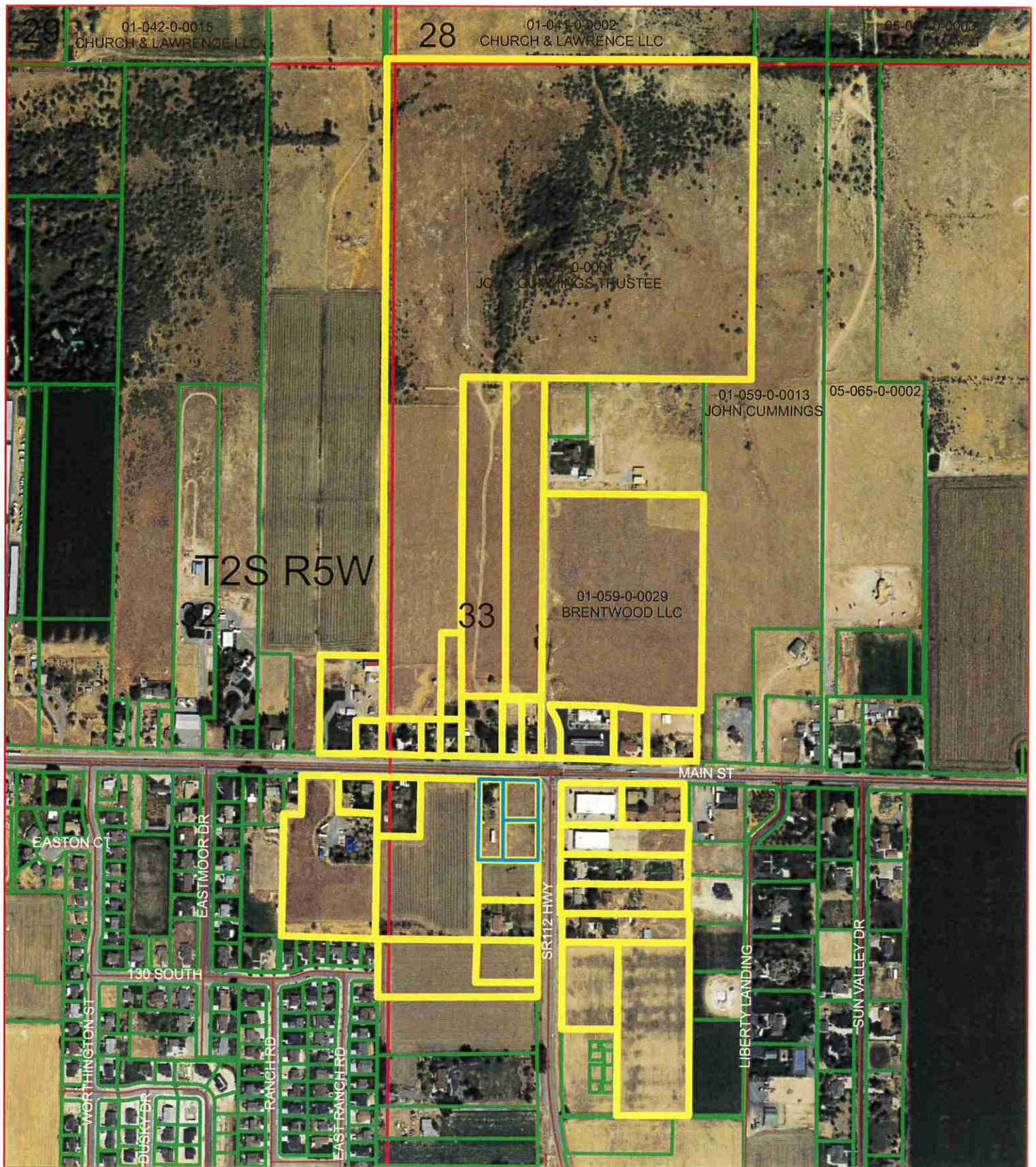
+1 646 558 8656 US (New York)

+1 301 715 8592 US (Washington DC)

Meeting ID: 867 2217 2237

Find your local number:

<https://us02web.zoom.us/j/ketm5L9EwV>

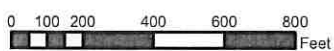


GIS Map Disclaimer:

This is not an official map but for reference use only. The data was compiled from the best sources available, but various errors from the sources may be inherent on the map. All boundaries and features therein should be treated as such. For boundary information, the pertinent County Departments or Municipalities should be contacted. This map is a representation of ground features and is not a legal document of their locations. The scale represented is approximate, so this is NOT a Survey or Engineering grade map and should by no means be used as such. This map is not intended for all uses. Tooele County is not responsible or liable for any derivative or misuse of this map.





















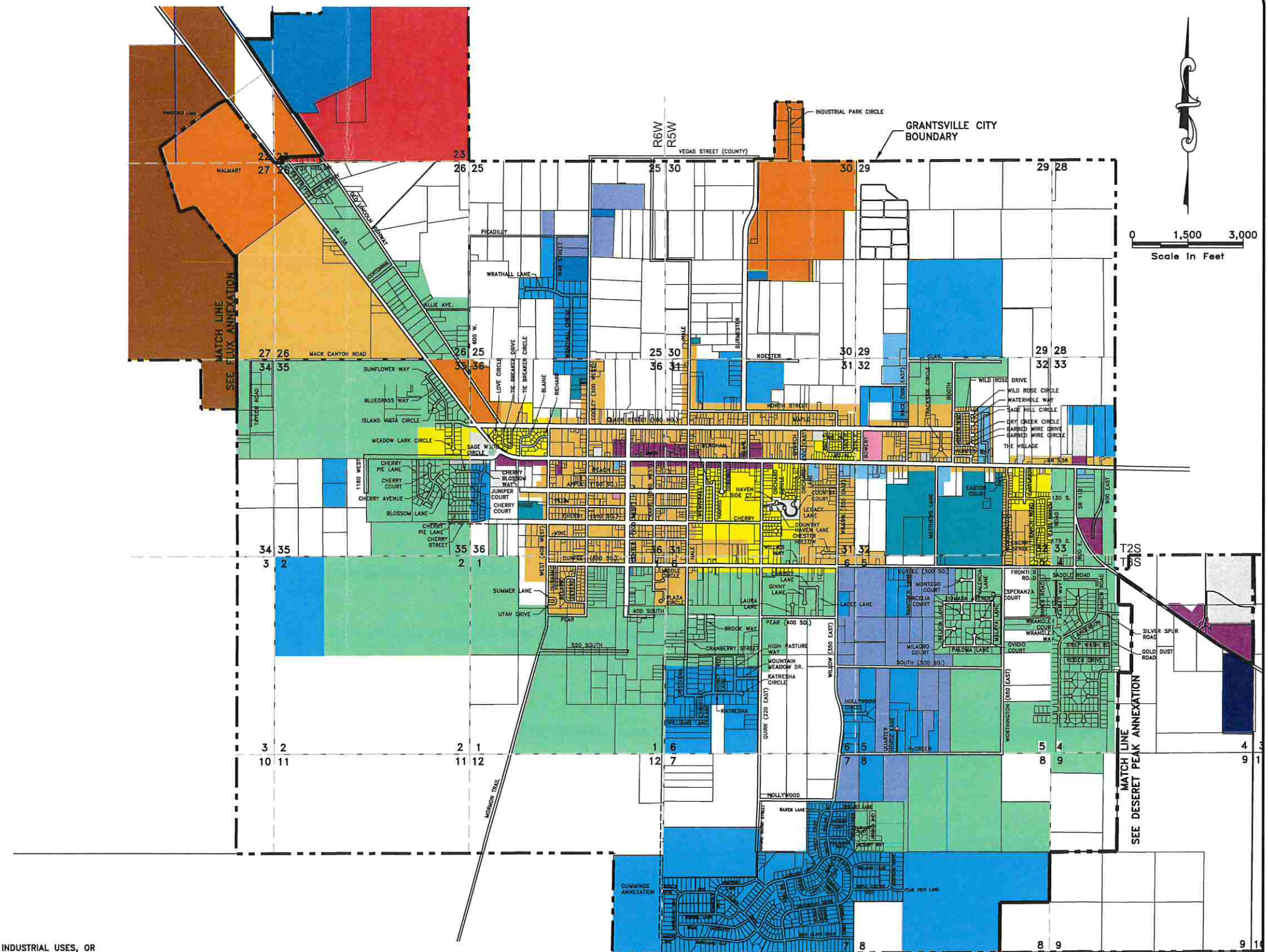
Brent Neel
11-041-0-0001, 11-041-0-0002, 11-041-0-0003



Date: 12/9/2021
blanca.rodriguez

LEGEND

	A-10	10 ACRE LOT MINIMUM. THE PURPOSE IS TO PROMOTE AND PRESERVE CONDITIONS FAVORABLE TO AGRICULTURE AND TO MAINTAIN GREENBELT SPACES.
	RR-5	5 ACRE LOT MINIMUM. THE PURPOSE IS TO PROVIDE A RURAL RESIDENTIAL DISTRICT.
	RR-2.5	2.5 ACRE LOT MINIMUM.
	RR-1	1 ACRE LOT MINIMUM.
	R-1-21	21,780 SQUARE FEET IN SIZE. THE PURPOSE IS TO PROMOTE ENVIRONMENTALLY SENSITIVE AND VISUALLY COMPATIBLE DEVELOPMENT SUITABLE FOR RURAL LOCATIONS.
	R-1-12	12,000 SQUARE FEET IN SIZE.
	R-1-8	8,000 SQUARE FEET IN SIZE.
	RM-15	8,000 SQUARE FEET IN SIZE. TO PROVIDE AREAS FOR MEDIUM HIGH DENSITY RESIDENTIAL.
	RM-7	7,000 SQUARE FEET IN SIZE. TO PROVIDE AREAS FOR MEDIUM DENSITY SINGLE FAMILY AND MULTIFAMILY RESIDENTIAL.
	CN	NEIGHBORHOOD COMMERCIAL DISTRICT IS INTENDED TO PROVIDE FOR SMALL SCALE COMMERCIAL USES THAT CAN BE LOCATED WITHIN RESIDENTIAL NEIGHBORHOODS WITHOUT HAVING SIGNIFICANT IMPACT UPON RESIDENTIAL USES.
	CS	60,000 SQUARE FEET IN SIZE. COMMERCIAL SHOPPING DISTRICT IS TO PROVIDE AN ENVIRONMENT FOR EFFICIENT AND ATTRACTIVE SHOPPING CENTER DEVELOPMENT.
	CG	10,000 SQUARE FEET IN SIZE. GENERAL DISTRICT IS TO PROVIDE AN ENVIRONMENT FOR A VARIETY OF COMMERCIAL USES.
	MD	20,000 SQUARE FEET IN SIZE. LIGHT MANUFACTURING AND DISTRIBUTION DISTRICT IS TO PROVIDE AN ENVIRONMENT FOR LIGHT INDUSTRIAL USES.
	MG	20,000 SQUARE FEET IN SIZE. GENERAL MANUFACTURING DISTRICT IS TO PROVIDE AN ENVIRONMENT FOR LARGER AND MORE INTENSIVE INDUSTRIAL USES.
	MG-EX	MINING, QUARRY, SAND AND GRAVEL EXCAVATION INDUSTRIAL USES.
	PUD	AN INTEGRATED DESIGN FOR DEVELOPMENT OF RESIDENTIAL, COMMERCIAL OR INDUSTRIAL USES, OR LIMITED COMBINATIONS OF SUCH USES, IN WHICH THE DENSITY AND LOCATION REGULATIONS OF THE DISTRICT IN WHICH THE DEVELOPMENT IS SITUATED MAY BE VARIED OR WAIVED TO ALLOW FLEXIBILITY AND INITIATIVE IN SITE AND BUILDING DESIGN AND LOCATION, IN ACCORDANCE WITH AN APPROVED PLAN AND IMPOSED REQUIREMENTS.
	CD	THE PURPOSE IS TO PROVIDE AREAS FOR HIGH INTENSITY PUBLIC, QUASI-PUBLIC, COMMERCIAL, OFFICE AND RESIDENTIAL USES BY CONDITIONAL USE ONLY.
	MU	AN INTEGRATED DEVELOPMENT OF RESIDENTIAL, AND COMMERCIAL USES, OR LIMITED COMBINATIONS OF SUCH USES IN A PUD, DENSITY OF RESIDENTIAL SHALL NOT EXCEED A TOTAL OF THREE UNITS PER ACRES WITH CLUSTERING OF NO MORE THAN 14 UNITS PER ACRE TO ALLOW FLEXIBILITY AND INITIATIVE IN SITE AND BUILDING DESIGN AND LOCATION, IN ACCORDANCE WITH AN APPROVED PLAN AND IMPOSED REQUIREMENTS.



GRANTSVILLE CITY

**ZONING MAP
CITY CENTER**

REVISÉD AUGUST 2015



531 W. 2600 S., SUITE 279, BOUNTIFUL, UT 84010
PHONE (801) 299-1327 FAX (801) 299-0163

AGENDA ITEM #5

GRANTSVILLE CITY
SUBDIVISION AMENDMENT APPLICATION

DATE PAID 1/31/2022
AMOUNT PAID \$1600.00
HEARING DATE March 3, 2022

<p style="text-align: center;">FEEs:</p> <p>Preliminary Plat \$750.00 + \$100.00 per affected lots</p> <p>Final Plat \$1500.00 + \$100.00 per affected lots</p> <p style="text-align: center;">**ALL FEES ARE NON-REFUNDABLE**</p>

APPLICANT'S NAME Iconic Development, LLC - Sean Perkins

MAILING ADDRESS _____

EMAIL ADDRESS Sean@straightedgellc.com

APPLICANT'S PHONE _____

LOCATION & NAME OF SUBDIVISION Cook Corner Subdivision

277 S. 950 E.

DO YOU OWN THE PROPERTY? Yes

NUMBER OF ACRES INVOLVED 2

NUMBER OF LOTS INVOLVED 1

CURRENT ZONE OF PROPERTY RR-1

PURPOSE OF THE AMENDMENT Divide lot 4 into two 1 acre lots


SIGNATURE OF APPLICANT

2-31-2022
DATE

Cook Corner Subdivision

Petition for Amendment

As the owner of all 4 lots in the Cook Corner Subdivision, I am requesting an amendment to the Cook Corner Subdivision by dividing and amending Lot #4 into two lots that will be one acre each.

Sean Perkins

Iconic Development, LLC

3410 N. Moyle Lane

Erda, UT 84074

- [Searching](#)
 - [Document Search](#)
 - [Property Search](#)
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 - [Shopping Cart](#)
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- [Change Profile](#)
- [Help](#)
- [Fraud Guard](#)
- [About](#)
- [Sire Search](#)
- [Interactive Map](#)
- [Logout msjohnson](#)

Account R099133

<u>Location</u>	<u>Owner</u>	<u>Value</u>
Acres 1.69	Owner Name ICONIC DEVELOPMENT LLC	Actual (2021) \$0
Parcel Number 21-101-0-0004	Owner Address 3410 N MOYLE LANE	No taxable value types
Account Number R099133	ERDA, UT 84074	
Tax District 2 - GRANTSVILLE		
Year Built		
Above Ground SQFT		
Basement SQFT		
Basement SQFT Complete 0		
Status Code OK - Normally Tax Property		
HouseNumber 277		
StreetName 950 EAST		
Parcels 0106900043		
OwnerName ICONIC DEVELOPMENT LLC		
Legal LOT 4, COOK CORNER SUBDIVISION, A SUBDIVISION OF GRANTSVILLE CITY, OUT OF 1-69-43 FOR 2022 YEAR, 1.69 AC		
Entry Date		
Remarks		

Transfers

<u>Sale Date</u>	<u>Doc Description</u>
<u>Tue Aug 02 12:00:00 MDT 1994</u>	<u>WARRANTY DEED</u>
<u>Tue Nov 22 12:00:00 MST 1994</u>	<u>DECREE DET HEIRSHIP</u>
<u>Sat Aug 19 12:00:00 MDT 1995</u>	<u>WARRANTY DEED</u>
<u>Fri Mar 08 12:00:00 MST 1996</u>	<u>WARRANTY DEED</u>
<u>Fri Mar 08 12:00:00 MST 1996</u>	<u>WARRANTY DEED</u>
<u>Fri Dec 08 12:00:00 MST 2006</u>	<u>WARRANTY DEED</u>
	<u>ANNEXATION PLAT</u>
<u>Thu Apr 05 12:00:00 MDT 2007</u>	<u>CERTIFICATE OF ANNEXATION</u>
<u>Thu Aug 19 12:00:00 MDT 2010</u>	<u>QUIT CLAIM DEED</u>
<u>Tue Sep 03 12:00:00 MDT 2013</u>	<u>RESOLUTION</u>
<u>Tue Apr 01 12:00:00 MDT 2014</u>	<u>RESOLUTION</u>
<u>Tue Jan 21 12:00:00 MST 2014</u>	<u>RESOLUTION</u>
	<u>PLAT</u>

Thu Jan 26 12:00:00 MST 2017

WARRANTY DEED
WARRANTY DEED
WARRANTY DEED
WARRANTY DEED
WARRANTY DEED
SUBDIVISION PLAT

Tax

Images

Tax Year

Taxes

*2021 \$0.00

2020

No Tax Values

* Estimated

• Photo



AFTER RECORDING RETURN TO:
IRONWOOD REAL ESTATE, LLC
13 PIER PLACE
STANSBURY PARK, UT 84074

GRANT OF TEMPORARY TURNAROUND EASEMENT

IRONWOOD REAL ESTATE, LLC (collectively referred to as "Grantors"), for good and value consideration, the receipt and sufficiency of which is hereby acknowledged, hereby grant, bargain and convey unto **GRANTSVILLE CITY**, (referred to as "Grantee"), along with each of their successors, assigns, lessees, licensees and agents, a Temporary Turnaround Easement upon, over, under, across and through the following described land, which the Grantors own or in which the Grantors have an interest, in the County of Tooele, State of Utah, to wit:

See attached hereto "Exhibit A & B"

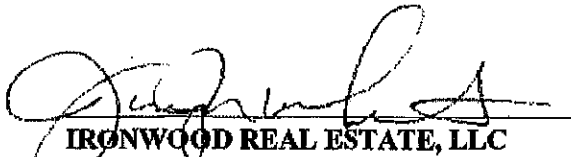
(05-065-0-0015)

This Temporary Turnaround Easement is granted for the following purposes: installation, maintenance, and use as vehicle turnaround area (the "Facilities").

The Grantee, collectively or separately, shall have the right to use as a vehicle turnaround area and/or to construct, operate, maintain, remove and replace any material(s) comprising the Facilities from time to time as either Grantee may require. The Grantee shall have the right of reasonable ingress and egress to and from the Facilities over and across the Grantors' land lying adjacent with the land described above. The Grantee shall each have the right to clear and remove all trees and other obstructions within the Easement area that may interfere with the use of said Easement by the Grantee. Grantors, without consent of Grantee, shall be permitted to use the Easement and the land described above for any purposes whatsoever so long as Grantors' use does not damage the Facilities or impair the granted easement.

This Grant of Temporary Turnaround Easement shall automatically expire and terminate upon the recordation with the Tooele County Recorder of a permanent dedication of a public right of way at this location.

Dated this 5th day of MAY, 2021


IRONWOOD REAL ESTATE, LLC
By: Joseph White, Manager

STATE OF UTAH)
) SS:
COUNTY OF TOOELE)

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared, known to me to be the person whose name is subscribed to the foregoing instrument, acknowledged that he, **Joseph White** is the Authorized Agent for **IRONWOOD REAL ESTATE, LLC**

Give under my hand and seal this 5TH day of MAY, 2021


Notary Public Signature

My commission expires: 6-17-21



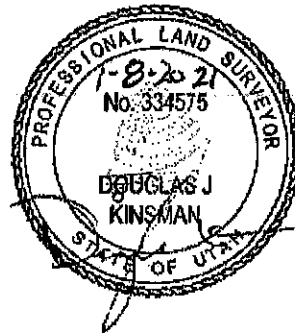
EXHIBIT "A"
TEMPORARY TURN AROUND EASEMENT

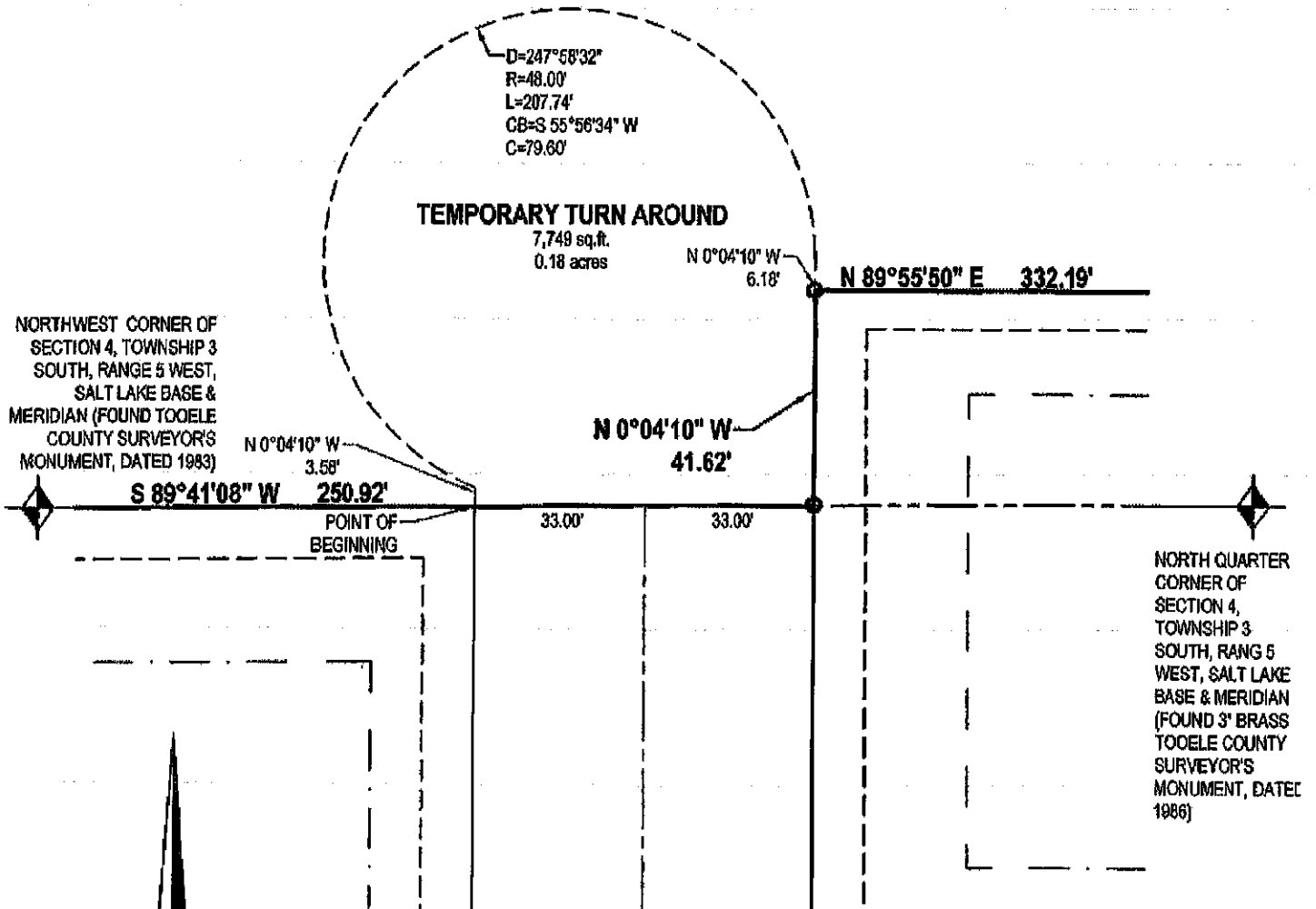
A parcel of land, situate in the Southwest quarter of Section 33, Township 2 South, Range 5 West, Salt Lake Base and Meridian, also located in Tooele County and Grantsville City, Utah, more particularly described as follows:

Beginning at a point on the South line of Durfee Street that is South $89^{\circ}41'08''$ West 398.23 feet along the section line from the South Quarter Corner of Section 33, Township 2 South, Range 5 West, Salt Lake Base and Meridian, and running:

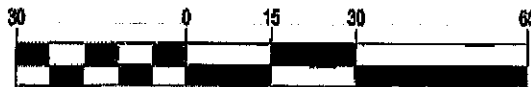
thence North $0^{\circ}04'10''$ West 3.58 feet;
thence Northeasterly 207.74 feet along the arc of a 48.00-foot radius curve to the right (center bears North $21^{\circ}57'17''$ East and the long chord bears North $55^{\circ}56'34''$ East 79.60 feet, through a central angle of $247^{\circ}58'32''$);
thence South $0^{\circ}04'10''$ East 47.80 feet;
thence South $89^{\circ}41'08''$ West 66.00 feet to the Point of Beginning.

Parcel contains: 7,749 square feet or 0.18 acres.

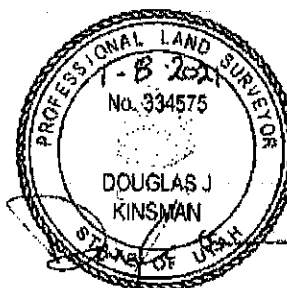




HORIZONTAL GRAPHIC SCALE



HORZ: 1 inch = 30 ft.



PROJECT# T1266H DATE 1/8/21

1 OF 1

FILE #

**COOK CORNER SUBDIVISION
EXHIBIT B**

3570 NORTH SUN VALLEY DRIVE
GRANTSVILLE, UTAH

FOR:
TODD CASTAGNO
P.O. BOX 190
GRANTSVILLE, UT 84029
PHONE: 435-849-1483

169 N. Main Street, Unit 1
Tooele, Utah 84074
Phone: 435.843.3590
Fax: 435.578.0108
www.ensignutah.com



APPLICATION FOR A FINAL PLAT AMENDMENT CONSIDERATION BY GRANTSVILLE CITY PLANNING COMMISSION

An application has been received in our office for consideration of a Final Plat Amendment for:

The Cook Corner Subdivision located at approximately 935 East Durfee Street Street to divide lot 4 into two (2) one (1) acre lots making a total of five (5) one acre lots in the RR-1 zone.

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A public hearing to receive public input, discuss and consider action on the proposed project and make a recommendation to the Grantsville City Council will be held in the Grantsville City Hall Council Chambers, 429 E. Main Street, Grantsville, Utah on:

Thursday, March 3, 2022 at 7:00 p.m.

You are invited to request a copy of the application, and proposed plans by emailing me at kclark@grantsvilleut.gov.

We will continue to broadcast the Planning Commission meetings electronically on Zoom. If you choose to attend, please wear a face covering. Comments through email or by mail must be received no later than 5:00 p.m. on March 3, 2022. For more information, please call me at 435-884-4604 or email me.

Thank you,



Kristy Clark
Zoning Administrator

Join Zoom Meeting

<https://us02web.zoom.us/j/86722172237>

Meeting ID: 867 2217 2237

One tap mobile

+13462487799,,86722172237# US (Houston)

+16699009128,,86722172237# US (San Jose)

Dial by your location

+1 346 248 7799 US (Houston)

+1 669 900 9128 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 312 626 6799 US (Chicago)

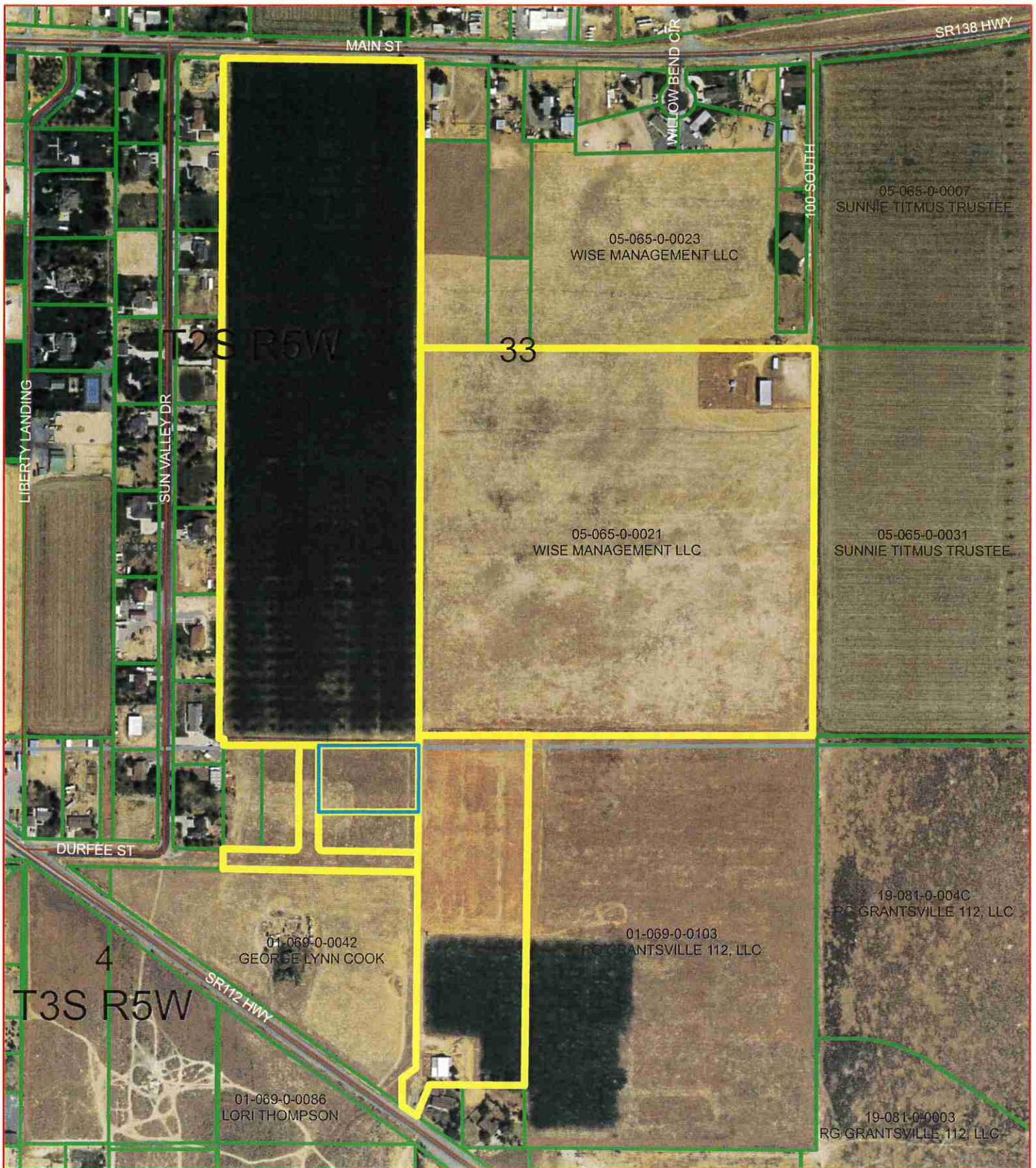
+1 646 558 8656 US (New York)

+1 301 715 8592 US (Washington DC)

Meeting ID: 867 2217 2237

Find your local number:

<https://us02web.zoom.us/j/ketm5L9EwV>



GIS Map Disclaimer:



This is not an official map but for reference use only. The data was compiled from the best sources available, but various errors from the sources may be inherent on the map. All boundaries and features therein should be treated as such. For boundary information, the pertinent County Departments or Municipalities should be contacted. This map is a representation of ground features and is not a legal document of their locations. The scale represented is approximate, so this is NOT a Survey or Engineering grade map and should by no means be used as such. This map is not intended for all uses. Tooele County is not responsible or liable for any derivative or misuse of this map.

Sean Perkins
21-101-0-0004

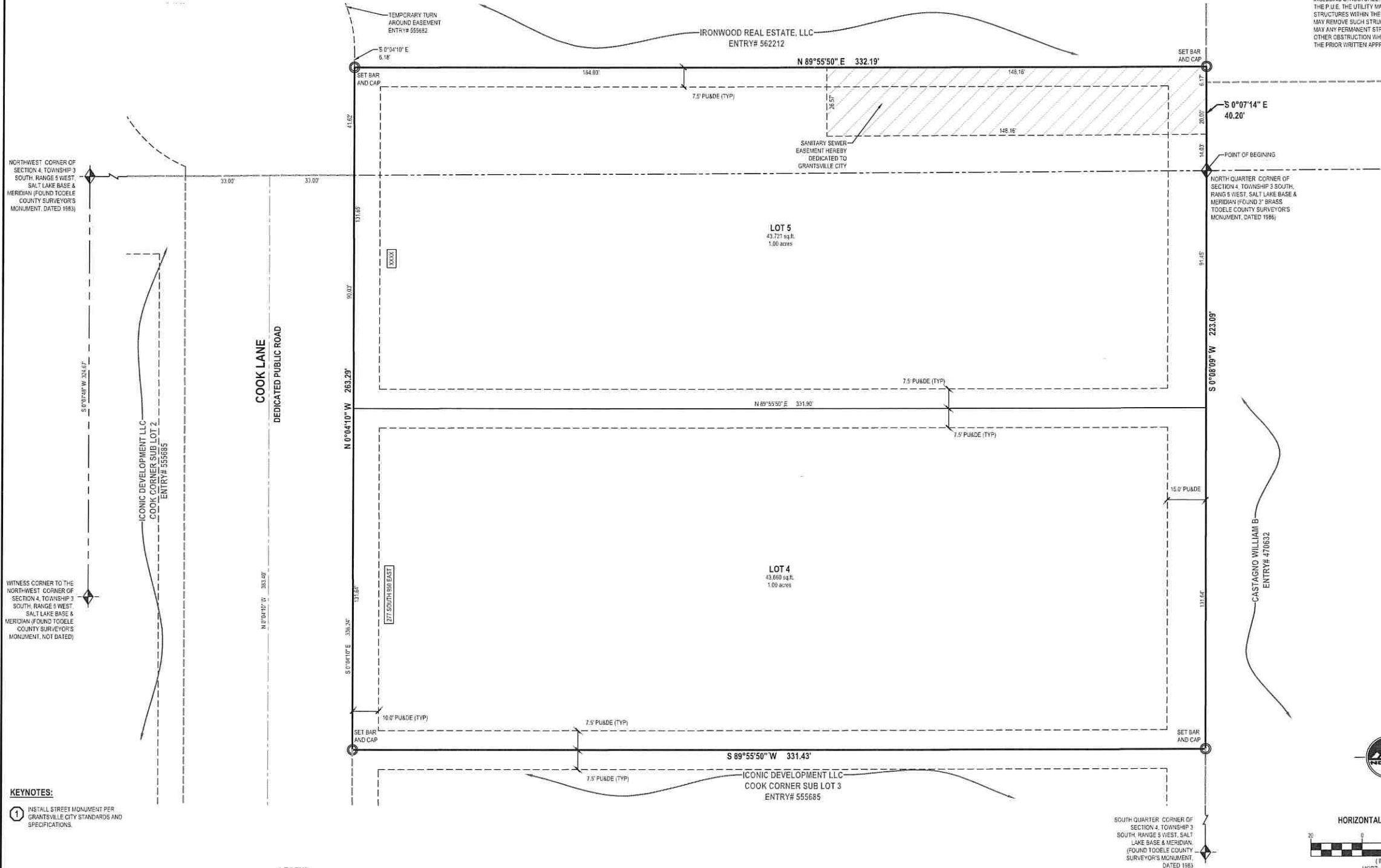
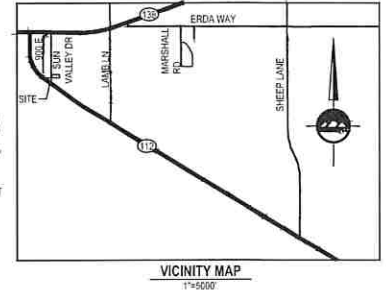


Date: 12/8/2021
blanca.rodriguez

COOK CORNER SUBDIVISION AMENDED
(AMENDING LOT 4 OF COOK CORNER SUBDIVISION)
FINAL PLAT
LOCATED IN THE NORTHEAST QUARTER OF NORTHEAST QUARTER
OF NORTHWEST QUARTER, OF SECTION 4
TOWNSHIP 3 SOUTH, RANGE 5 WEST,
SALT LAKE BASE AND MERIDIAN,
GRANTSVILLE CITY, TOOELE COUNTY, UTAH

NOTES

1. NO DRIVEWAYS SHALL BE CONSTRUCTED SO AS TO SLOPE TOWARD ANY STRUCTURES WITHOUT WRITTEN PERMISSION FROM GRANTSVILLE CITY ENGINEER.
2. 5/8" X 24" REBAR AND CAP TO BE SET AT ALL LOT CORNERS UNLESS OTHERWISE INDICATED.
3. UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.



SURVEYOR'S CERTIFICATE

I, Douglas J. Kinsman, do hereby certify that I am a Professional Land Surveyor, and that I hold License No. 334575, in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Act. I further certify that by authority of the owner I have completed a survey of the property described on this subdivision plat in accordance with Section 17-23-17, have verified all measurements, and have subdivided said tract of land into lots and streets, together with easements, hereafter to be known as Cook Corner Subdivision Amended and that the same has been correctly surveyed and monumented on the ground as shown on this plat. I further certify that all lots meet heritage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION

A parcel of land, situate in the Northwest Quarter of Section 4, Township 3 South, Range 5 West, and the Southwest Quarter of Section 33, Township 2 South, Range 5 West, Salt Lake Base and Meridian, also located in Grantsville City, Tooele County, Utah.

This parcel also being a portion of Lot 4 of Cook Corner Subdivision, under Entry No. 555685, in the Tooele County Recorder's Office, more particularly described as follows:

Beginning at the North Quarter Corner of Section 4, Township 3 South, Range 5 West, Salt Lake Base and Meridian, and running:

thence South 0°08'09" West 223.09 feet along the quarter section line;
thence South 89°55'50" West 331.43 feet along the northerly line of Lot 3 of Cook Corner Subdivision;
thence North 0°04'10" West 263.29 feet along the easterly line of Cook Lane;
thence North 89°55'50" East 332.19 feet;
thence South 0°07'14" East 40.20 feet to the Point of Beginning.

Parcel contains: 87,381 square feet or 2.006 acres.



JANUARY 24, 2022

Douglas J. Kinsman
License no. 334575

OWNER'S DEDICATION

Known all men by these present that the undersigned are the owners of the herein described tract of land and hereby cause the same to be divided into lots together with easements as set forth hereafter to be known as:

COOK CORNER SUBDIVISION AMENDED
(AMENDING LOT 4 OF COOK CORNER SUBDIVISION)

The undersigned owner(s) hereby dedicate to Grantsville City all those parts or portions of said tract of land on said plat designated herein as easements. The undersigned owner(s) also hereby convey to Grantsville City and to all public utility companies providing service to the herein described tract a perpetual, perpetual non-exclusive easement over the streets, public utility, and drainage easements shown on this plat, the same to be used for drainage and the installation, maintenance and operation of public utility service lines and facilities. The undersigned owner(s) also convey any other easements shown on this plat to the parties indicated and for the purposes shown herein.

In witness whereof I/we have hereunto set my/our hand this _____ day of _____, A.D. 20____.

By: Iconic Development, LLC
Sean Perkins (Managing Member)

TOOELE LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH)
County of) S.S.
On the _____ day of _____, A.D. 20____, personally appeared before me, the undersigned Notary Public, in and for said County of _____, in the State of Utah, who after being duly sworn, acknowledged to me that He/She is the owner of _____, a Limited Liability Company and that He/She signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein mentioned and acknowledged to me that said Limited Liability Company executed the same.

MY COMMISSION EXPIRES: _____
NOTARY PUBLIC _____ RESIDING IN _____ COUNTY.

COOK CORNER SUBDIVISION AMENDED
(AMENDING LOT 4 OF COOK CORNER SUBDIVISION)
FINAL PLAT

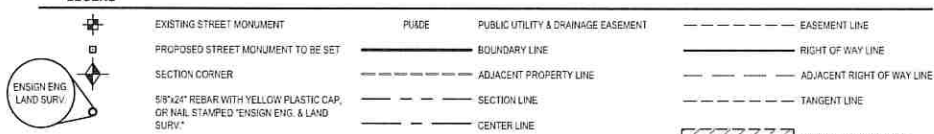
LOCATED IN THE NORTHEAST QUARTER OF SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 5 WEST, AND THE SOUTHWEST
QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 5 WEST,
SALT LAKE BASE AND MERIDIAN,
GRANTSVILLE CITY, TOOELE COUNTY, UTAH

TOOELE COUNTY RECORDER
RECORDED # _____
STATE OF UTAH, COUNTY OF TOOELE, RECORDED AND FILED AT THE
REQUEST OF: _____
DATE: _____ TIME: _____
FEE: _____ TOOELE COUNTY RECORDER

KEYNOTES:

1. INSTALL STREET MONUMENT PER GRANTSVILLE CITY STANDARDS AND SPECIFICATIONS.

LEGEND



CITY PLANNER APPROVAL

APPROVED THIS _____ DAY OF _____, 20____,
BY THE GRANTSVILLE CITY PLANNER
GRANTSVILLE CITY PLANNER

CITY FIRE DEPARTMENT APPROVAL

APPROVED THIS _____ DAY OF _____, 20____,
BY THE GRANTSVILLE CITY FIRE DEPT.
GRANTSVILLE CITY FIRE CHIEF

GRANTSVILLE CITY PUBLIC WORKS APPROVAL

APPROVED THIS _____ DAY OF _____, 20____,
BY THE GRANTSVILLE CITY PUBLIC WORKS
GRANTSVILLE CITY PUBLIC WORKS DIRECTOR

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, 20____,
BY THE GRANTSVILLE CITY PLANNING COMMISSION
CHAIR, GRANTSVILLE CITY PLANNING COMMISSION

COUNTY SURVEY DEPARTMENT

APPROVED THIS _____ DAY OF _____, 20____,
BY THE TOOELE COUNTY SURVEY DEPARTMENT
RECORD OF SURVEY FILE #2008-0041-01 & 2021-0100
TOOELE COUNTY SURVEY DEPT. DIRECTOR

TOOELE COUNTY TREASURER

I HEREBY CERTIFY THAT PROPERTY TAXES DUE AND OWNING HAVE BEEN PAID IN FULL THIS _____ DAY OF _____, 20____,
FOR PARCEL NO. _____
TOOELE COUNTY TREASURER

CITY MAYOR APPROVAL

APPROVED THIS _____ DAY OF _____, 20____,
BY THE GRANTSVILLE CITY MAYOR
GRANTSVILLE CITY MAYOR ATTEST: GRANTSVILLE CITY RECORDER

CITY ATTORNEY'S APPROVAL

APPROVED THIS _____ DAY OF _____, 20____,
BY THE GRANTSVILLE CITY ATTORNEY
GRANTSVILLE CITY ATTORNEY

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.
GRANTSVILLE CITY ENGINEER DATE

DEVELOPER

ICONIC DEVELOPMENT, LLC
3410 N. MOYLE LANE
ERDA, UT 84074
435-850-8436

SHEET 1 OF 1

PROJECT NUMBER: 11265
MANAGER: D. KINSMAN
DRAWN BY: BR. MORRIS
CHECKED BY: D. KINSMAN
DATE: 1/24/22



TOOELE
169 North Main Street Unit 1
Tooele, Utah 84074
Phone: 435-843-3590
Fax: 435-578-0108
WWW.ENSIGNENG.COM

SALT LAKE CITY
Phone: 801-783-0073
LAYTON
Phone: 801-547-1110
CEDAR CITY
Phone: 435-863-1600
RICHFIELD
Phone: 435-894-2881

AGENDA ITEM #6

**GRANTSVILLE CITY
ZONING DEPARTMENT**

429 EAST MAIN STREET
GRANTSVILLE, UTAH 84029
PHONE (435) 884-3411
FAX (435) 884-0426

Final Plat Fees:

\$2000.00 - Plat Review
\$125.00 per Lot

(ALL FEES ARE SUBJECT TO CHANGE)

FINAL PLAT APPLICATION

Date of Application October 5, 2021

Property Location 948 S. QUIRK, GRANTSVILLE

Property Owner(s) GREG DEHAAN, ANDY LEWIS CONSTRUCTION

Owner Phone 801-243-5222

Acting Agent Name CIVIL PROJ-EX

Acting Agent Phone 435-228-6736

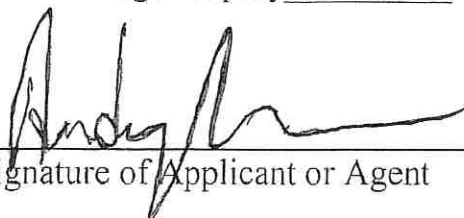
Email Address andy.lewis.construction.1@gmail.com

Subdivision Name HARVEST MEADOW SUBDIVISION PHASE 1

Number of Acres in Subdivision 7.715

Total Number Lots 10 Lot Sizes 1/2 Acre

Current Zoning of Property R-1-21 Parcel Number 16-075-0-0041B, 16-075-0-0041A, 01-074-0-0053


Signature of Applicant or Agent

COVER HARVEST MEADOW SUBDIVISION

CHAPTER 1 STANDARD NOTES

The Grantsville City Standard Notes are required to be included as part of all construction plans for residential or commercial development. Plans submitted by public or private entities for all other types of projects within City right-of-way, its easements or property shall reference the Grantsville City Standard Notes and Specifications.

1.1 Grantsville City General Notes

- All work done or improvements installed within Grantsville City including but not limited to excavation, construction, roadwork and utilities shall conform to the Grantsville City Construction Standards and Specifications, City Municipal Code, the latest edition of the APWA Manual of Standard Specifications and Manual of Standard Plans, the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD) and any state or federal regulations and permit requirements of various governing bodies. The Contractor is responsible to have a copy of these specifications and to know and conform to the appropriate codes, regulations, drawings, standards and specifications.
- The existence and location of any overhead or underground utility lines, pipes, or structures shown on these plans are obtained by a research of the available records. Existing utilities are located on plans only for the convenience of the Contractor. The contractor shall bear full responsibility for the protection of utilities and the engineer bears no responsibility for utilities not shown on the plans or not in the location shown on the plans. This includes all service laterals of any kind. The Contractor shall, at his own expense, locate all underground and overhead interferences, which may affect his operation during construction and shall take all necessary precautions to avoid damage of the same. The Contractor shall use extreme caution when working near overhead utilities so as to safely protect all personnel and equipment, and shall be responsible for all cost and liability in connection therewith.
- The Contractor shall take all precautionary measures necessary to protect existing utility lines, structures, survey monuments and street improvements which are to remain in place, from damage, and all such improvements or structures damaged by the Contractor's operations shall be repaired or replaced satisfactory to the City Engineer and owning utility company at the expense of the Contractor.
- All construction shall be as shown on these plans, any revisions shall have the prior written approval of the City Engineer and Public Works Director.
- Permits are required for any work in the public way. The Contractor shall secure all permits and inspections required for this construction.
- Curb, gutter, and sidewalks, found to be unacceptable per City Standards and APWA shall be removed and replaced.
- Contractor shall provide all necessary horizontal and vertical transitions between new construction and existing surfaces to provide for proper drainage and for ingress and egress to new construction. The extent of transitions to be as shown on plans.
- Any survey monuments disturbed shall be replaced and adjusted per Tooele County Surveyors requirements.
- All privacy walls, new or existing, are only shown on civil plans for the purpose of reviewing grading relationships; flood control and sight distance at intersections. All walls shall have a minimum 2 ft x 2 ft x 30 inch deep spot footings. Bottom of all footings on all walls shall be a minimum of 30 inches below finished grade. Walls greater than 6 feet require a separate permit and inspection by the Building Department.
- All construction materials per APWA must be submitted and approved by the City Engineer prior to the placement of asphalt within City Right of Way. Grantsville Public Works will approve pipe zone material to be placed.
- Request for inspection by the Grantsville City Engineering Dept. shall be made by the contractor at least 48 hours before the inspection services will be required.
- Work in public way, once begun, shall be prosecuted to completion without delay as to provide minimum inconvenience to adjacent property owners and to the traveling public. Please see Code 17 General Provisions for more details.
- The Contractor shall take all necessary and proper precautions to protect adjacent properties from any and all damage that may occur from storm water runoff and/or deposition of debris resulting from any and all work in connection with construction.
- Power poles and/or other existing facilities not in proper location based on proposed improvements shown hereon will be relocated at no expense to the Grantsville City. Power lines and all other aerial utilities are to be buried and poles removed as determined by the City Engineer.
- Curb and gutter with a grade of less than four-tenths of one percent shall be constructed by forming. Each joint shall be checked for a grade prior to construction and water tested as soon as possible after construction.
- Contractor to follow Grantsville City Noise Ordinance Standards Code Ordinance 2018-19
- Contractors are responsible for all OSHA requirements on the project site.
- A UPDES (Utah Pollutant Discharge Elimination System) permit is required for all construction activities as per state law as well as providing a Storm Water Pollution Prevention Plan to the City.
- All City maintained utilities including: waterline, fire hydrants, streetlight wiring, and storm drain must be in public right of way or in recorded easements.
- Contractor shall work Grantsville City regular working hours of Monday through Friday 7:00 am to 4:00 pm
- Prior to 50% bond release, a legible as-built drawing must be submitted to the Grantsville City stamped and signed by a professional engineer. As-builts must show all changes and actual field locations of storm drainage, waterlines, irrigation, street lighting, and power. As-builts will be held to the same standard as approved design drawings, no "realized plans" allowed. In the absence of changes, copies of the approved drawings will be required stating "installed as per drawings". As-built drawings for new developments shall be submitted to the City in the following formats and quantities prior to the 90% bond release: 1. Jld copy, 1 pdf copy, and 1 GIS Shape file containing the same.
- Filter fabric wrapped around an inlet grate is not an acceptable inlet sediment barrier. See Grantsville City Construction Standards and Specifications for details of approved storm water BMPs which specifically states the utilization of an Oil Water Separator.
- Asphalt paving is not allowed without a written exception from the Engineering Department and Public Works Department below an ambient temperature of 50 degrees and rising.
- To ensure proper planting, protection and irrigation of trees, mitigating risk of tree failure or future damage to infrastructure, contractors are required to follow the standards and specifications of the ISA - International Society of Arboriculture.
- When a proposed development borders a collector, minor collector or arterial street and is required to construct collector street fencing along the back of sidewalk, the development shall also be required to put in concrete mow strip from the back of sidewalk to underneath the fence panels. Concrete mow strips shall also be required between the sidewalk and fencing along the rear of double frontage lots.
- Concrete for all surface improvements including but not limited to: sidewalk, driveway entrances, pedestrian ramps, curb and gutter, water ways, manhole, vault and valve collars, and any other cast in place surface concrete features shall be constructed with minimum 4,500 psi concrete.
- Culinary Water and Sewer service laterals shall be marked on the top back of curb and lip of curb at their actual location of crossing the curb and gutter. Pins or stamps shall be used and must be installed while the concrete is still wet and will readily accept the marker. Grinding marking due to dry cement is not allowed.

1.2 Grantsville City Traffic Notes

- When a designated "Safe Route To School" is encroached upon by a construction work zone the safe route shall be maintained in a manner acceptable to Grantsville City.
- If the improvements necessitate the obliteration, temporary obstruction, temporary removal or relocation of any existing traffic pavement marking, such pavement marking shall be restored or replaced with like materials to the satisfaction of the City Engineer, Public Works Director or designee.
- The street Sign Contractor shall obtain street names and block numbering from the Planning Department prior to construction.

- The Contractor shall be responsible for providing and installing all permanent signs shown on the plans. Street name signs shall conform in their entirety to current City Standards and the latest Manual of Uniform Traffic Control Devices (MUTCD) manual. All other signs shall be standard size unless otherwise specified on the plans. All sign posts shall be installed in accordance with the current City Standards and the latest Manual of Uniform Traffic Control Devices (MUTCD) manual.
- All permanent traffic control devices called for hereon shall be in place and in final position prior to allowing any public traffic onto the portions of the road(s) being improved hereunder, regardless of the status of completion of paving or other off-site improvements called for per approved construction drawings unless approved by the City Engineer & Public Works Director.
- The Contractor shall be responsible for notifying Utah Transit Authority (UTA) if applicable, if the construction interrupts or relocates a bus stop or has an adverse effect on bus service on that street to arrange for temporary relocation of stop.
- Before any work is started in the right-of-way, the contractor shall install all advance warning signs for the construction zone. The contractor shall install temporary stop signs at all new street encroachments into existing public streets. All construction signage, barricading, and traffic delineation shall conform to the Manual of Uniform Traffic Control Devices (MUTCD) per the current edition adopted by UDOT and be approved by the Grantsville City before construction begins. Traffic control plans shall be submitted as part of the engineering construction package and approved by the Grantsville City Engineer and Public Works Director.
- All signs larger than 36" X 36" or 1296 square inches per sign pole shall be mounted on a sign base system per UDOT standard drawing SM 100 (detail drawing attached to standard drawings) with a "Z" bar backing. Signs of this size are not allowed to be mounted on a yielding pole.
- Sign components such as sheeting, EC film, inks, letters and borders are all required to be from the same manufacturer. Only EC film may be used to achieve color. Vinyl EC film is not accepted.
- All new roundabouts, crosswalks, stop bars and legends shall be installed with Paint and Glass Bead.
- Paving asphalt binder grade shall be PG 58-28 unless otherwise approved by the City Engineer. Asphalt aggregate size shall be 3/4 inch for residential and collector roads. No more than 15% RAP (recycled asphalt pavement) by weight will be allowed in the asphalt mix design for the paving of public and private streets. Up to the 15 percent will be allowed with no change in the specific binder grade. The asphalt mix design shall have no more than 3% air voids.
- Potholing: All potholes must be saw cut square and have a minimum size of 1 square foot. When repaving a pothole, sand or pea gravel meeting Grantsville City standards shall be placed over the exposed utility to a depth of 6 inches. Following the pea gravel will be flowable fill up to 1 inch below the bottom edge of the existing asphalt. The remaining portion of the hole shall be filled with asphalt, which will have an overall thickness of the existing asphalt plus 1 inch.
- All fill within the public right of way shall be A-1-A to A-3, with the exception of top soil in the park strip for landscaping and trench backfill. Trench backfill material under pavements or surface improvements shall be clean, nonclumping, granular and flowable, 2" minus, A-1-A to A-2-7 soils according to AASHTO M 145 soil Classification System. Lime treated flowable fill, if approved, shall have a 28-day strength of 65 PSI, 1.5. All traffic road closures involving 1 or more lanes of traffic must receive prior approval from the City Engineer, Public Works Director or his/her representative. VMS PCMS boards must be placed a minimum of 7 days in advance of any lane closure on collector, minor collector or arterial street. VMS PCMS boards must also be placed in advance of any lane closures on a subdivision street per the City Engineer's direction.
- Roundabouts, including their ingress and egress, shall be constructed with concrete pavement. Engineer shall design cross section and submit to the City for review and approval.

1.3 Grantsville City Grading Notes

- In the event that any unforeseen conditions not covered by these notes are encountered during grading operations, the Owner and City Engineer shall be immediately notified for direction.
- It shall be the responsibility of the Contractor to perform all necessary cuts and fills within the limits of this project and the related off-site work, so as to generate the desired subgrade, finish grades and slopes shown.
- Contractor shall take full responsibility for all excavation. Adequate shoring shall be designed and provided by the Contractor to prevent undermining of any adjacent features or facilities and/or caving of the excavation.
- The Contractor is warned that an earthwork balance was not necessarily the intent of this project. Any additional material required or leftover material following earthwork operations becomes the responsibility of the Contractor.
- Contractor shall grade the pavement area subgrade to the lines (horizontal) and elevations (vertical) shown on the plans within a tolerance of 0.1 + to 0.1 -.
- All cut and fill slopes shall be protected until effective erosion control has been established.
- The use of potable water without a special permit for building or construction purposes including consolidation of backfill or dust control is prohibited. The Contractor shall obtain all necessary permits for construction water from Grantsville City Engineering and Utilities Department.
- The Contractor shall maintain the streets, sidewalks and all other public right of way in a clean, safe and usable condition. All spills of soil, rock or construction debris shall be promptly removed from the publicly owned property during construction and upon completion of the project. All adjacent property, private or public shall be maintained in a clean, safe and usable condition.
- In the event that any temporary construction item is required that is not shown on these drawings, the Developer agrees to provide and install such item at his own expense and at the direction of the City Engineer. Temporary construction includes ditches, berms, road signs and barricades, etc.
- All grading work shall conform to the soils report as prepared by the Soils Engineer and approved by the City Engineer, and as shown on these plans.
- All quality control testing shall be performed by an Independent Licensed and Certified third-party testing service.

1.5 Grantsville City Fire Department Notes

- On any new home or building installation, accessible fire hydrants shall be installed before combustible construction commences and said fire hydrants shall be in good working order with an adequate water supply.
- Contractor shall call the Public Works Department and Engineering Department for underground inspection, pressure and flush verification of all fire hydrants and fire lines before back filling.
- Painting of the curbs and hydrant and any work necessary for protection of hydrants from physical damage shall be approved before being constructed. Hydro-finders will be installed per Grantsville City Standards detail.
- A flow test must be witnessed by the Fire Department prior to occupancy for verification of required on-site water supply.
- All on-site fire main materials must be U.L. listed and A.W.W.A. approved.
- The turning radius for any fire apparatus access road and/or fire lane, public or private, shall be not less than forty-eight feet (48') outside radius equaling 90' or larger and twenty-two feet (22') inside radius and shall be paved.
- A fire apparatus road shall be required when any portion of an exterior wall of the first story is located more than one hundred fifty feet (150') from Fire Department vehicle access roads and/or fire lanes, public or private, in excess of one hundred fifty feet (150') in length shall be provided with an approved turn around area. Contractor/Engineer shall follow latest International Fire Code regulations at all times in regards to distance.
- Access roads shall be marked by placing approved signs at the start of the designated fire lane, one sign at the end of the fire lane and width signs at intervals of one hundred feet (100') along all designated fire

lanes. Signs to be placed on both sides of an access roadway if needed to prevent parking on either side. Signs shall be installed at least 5', measured from the bottom edge of the sign to the rear edge of pavement. Where parking or pedestrian movements occur, the clearance to the bottom of the sign shall be at least 7'. The curb along or on the pavement or cement if curb is not present, shall be painted with red weather resistant paint in addition to the signs.

- Electrically controlled access gates shall be provided with an approved emergency vehicle detector/receiver system. Said system shall be installed in accordance with the Grantsville City F.D. approval. Gates are only allowed with prior approval.
- All private underground fire lines that service automatic fire sprinkler systems shall be no smaller than eight (8) inches in diameter and have a Post Indicator Valve (PIV) between the water main and the building. If a PIV isn't feasible due to site constraints, a Water Indicator Valve (WIV) may be used with the approval of the City Engineer or Fire Code Official. For a WIV to be allowed, another valve must be installed on the fire service line back at the connection to the water main, which will be maintained by the City as part of its culinary water system. All fire lines material shall be Ductile Iron. (Ductile Iron from the PIV to the building shall be permitted or Ductile Iron from the main water line to the WIV).
- Post Indicator Valves (PIV) shall be between 6 and 40 feet from buildings not exceeding three stories or equivalent in height and between 30 and 40 feet on buildings in excess of three or more stories in height or equivalent.
- Roads and accesses shall be designed and maintained to support the imposed loads of fire apparatus. Surface shall be paved before the application of combustible material.
- All new buildings equipped with a Fire Department Connection (FDC) must have inlets secured with Knox brand locking FDC cap(s) with a swivel collar. All new buildings are also required to have a Knox brand key lock box mounted on the exterior building, such that Fire Department personnel may gain access in case of an emergency.

1.6 Grantsville City Water Notes

- The following Grantsville City Water Notes are intended for general water standards only and are not all inclusive. The City has included the Culinary Water Design and Construction Standards within the City Construction Standards and Specifications.
- No work shall begin until the water plans have been released for construction by the Engineering Department, following water plan approval, forty-eight (48) hour notice shall be given to the Engineering Department and the Public Works Department prior to the start of construction. Notice must be given by 2:00 P.M. the business day prior to an inspection.
- All work within Grantsville City shall conform to Grantsville City Standards and Specifications, AWWA and APWA.
- For Residential Developments - The developer shall purchase and install meter boxes and setters according to City Standards on newly developed lots and real property at the time of water main installation. Water meters will be supplied and installed by the Grantsville Utilities Department (at Developer's expense). The developer shall also provide the site address, lot number, meter size and pay meter fees prior to building permit approval. The developer should also pay for rental of a hydrant meter, and/or use the Grantsville City Public Water Standpipe located by the Public Works Building.
- For Commercial and Condominium Developments - The developer shall purchase and install meter boxes and setters according to City Standards. Water meters will be supplied by Grantsville City Public Works Department (at Developer's expense) and installed by Developer.
- All water facilities shall be filled, disinfected, pressure tested, flushed, filled and an acceptable water sample obtained prior to commissioning the new water line to the Grantsville City Culinary Water Distribution System.
- Grantsville City Utilities Department must approve water shut down which may require evening and weekend shut down as deemed necessary, requiring the contractor to be billed for overtime. 48 hour notice is required.
- Water stub-out installations will not be construed as a commitment for water service.
- Conditional Approval of Valved Outlet (6" and larger): In the event the water plans show one or more valved outlets extending out of paved areas, installations of these outlets is acceptable, however, if the outlets are incorrectly located or not used for any reason when the property is developed, the developer shall abandon the outlets at the connection to the active main in accordance with the city standards and at the developer's expense.
- All lines to be pressure tested according to Grantsville City and AWWA standards and chlorinated prior to use and final acceptance.
- All fittings to be coated with poly film grease and wrapped with 8-mil thick polyethylene.
- No other utility lines may be placed in the same trench with water line unless approved by the City Engineer.
- Any conflict with existing utilities shall be immediately called to the attention of the City Engineer or designee.
- All water vaults will be constructed per Grantsville City standard drawings and specifications. No vaults are allowed in traffic areas without prior approval of the City Engineer.
- Landscaping and irrigation adjacent to vaults shall drain away from vaults.
- Once the waterline has been tested, approved and city water is flowing through the pipe, only City personnel are authorized to shut down and charge the waterline.
- Megaling following ring or an approved equivalent shall be used on all fittings.
- APWA plan 562, City requires stainless steel tie-down restraints with turnbuckles only. 5/8" rebar is not acceptable. Megalug followers required on all fittings and all dimensions of thrust blocking still apply. Thrust blocks may be eliminated if horizontal tie down restraints have been pre-engineered and receive prior City approval.
- Water mains will be hot tapped as called out on the approved plans. Under special circumstances, when a contractor submits a request for a shutdown contrary to the approved plans and the request is approved at the discretion of the City Engineer or designee, the contractor must provide 48-hour notice to neighbors and those affected. If businesses are impacted by the shutdown it will be done after hours and all overtime fees for City personnel, equipment and vehicles must be paid in advance.
- Contractors are required to write the lot number with a black permanent marker on the inside of the water meter barrels as they are installed.

Grantsville City Grading Plan Notes

- A right-of-way encroachment permit must be obtained from Grantsville City prior to doing any work in the existing right-of-way, on any City roads.
- Accepted Construction Drawing OR a Grading Permit must be obtained from Grantsville City prior to disturbing any vegetation or moving any soil. Contact City Engineer at 435-884-4661

Grantsville City Required Drainage certificate

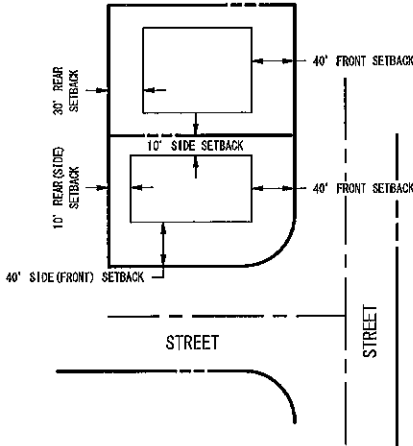
- I hereby certify that this design for the onsite drainage of this development was prepared by me (or under by direct supervision) in accordance with the provisions of Grantsville City's Standard Specifications and Drawings, and was designated to comply with the provisions thereof. I understand that the City assumes no responsibility or liability whatsoever for this design

ZONING INFORMATION:

- REQUESTED ZONE: R-1-21
- SINGLE FAMILY DWELLING = PERMITTED
- FAMILY DWELLING MINIMUM LOT SIZE = 21,760 SQ. FT.
- MIN LOT FRONTAGE = 60 FT. AT FRONT PROPERTY LINE
- MIN WIDTH AT FRONT AND REAR SETBACK = 100 FT.

SETBACKS

- MIN FRONT YARD = 40 FT
- MIN REAR YARD = 30 FT
- SIDE YARD FOR MAIN BUILDINGS = 10 FT
- SIDE YARD FOR ACCESSORY BUILDINGS = 4 FT
- REAR YARD FOR ACCESSORY BUILDINGS = 1 FT
- ON CORNER LOTS, 2 FRONT YARDS AND 2 SIDE YARDS ARE REQUIRED.
- MAX BUILDING HEIGHT = 35 FT
- MAX TOTAL LOT COVERAGE (ALL BUILDINGS) = 20%



OPEN SPACE NARRATIVE

- OPEN SPACE MEETS REQUIREMENTS BY PROVIDING PAYMENT IN-LIEU OF THE DEDICATION.

Sheet List Table

Sheet Number	Sheet Title
1	G-001 - COVER
2	V-002 - PHASING PLAN
3	GS-101 - CIVIL SITE PLAN
4	GU-101 - CIVIL UTILITY PLAN
5	GD-101 - CIVIL DRAINAGE
6	CT-101 - CIVIL TRANSPORTATION
7	PP-101 - PLAN AND PROFILE
8	PP-102 - PLAN AND PROFILE
9	PP-103 - PLAN AND PROFILE
10	PP-104 - PLAN AND PROFILE
11	PP-105 - PLAN AND PROFILE
12	PP-106 - PLAN AND PROFILE
13	PP-107 - PLAN AND PROFILE
14	PP-108 - PLAN AND PROFILE
15	C-511 - EROSION CONTROL DETAILS
16	C-521 - SURFACE DETAILS
17	C-522 - SURFACE DETAILS
18	C-531 - STORM DRAIN DETAILS
19	C-532 - STORM DRAIN DETAILS
20	C-541 - SEWER DETAILS
21	C-551 - WATER DETAILS
22	C-571 - PEDESTRIAN CROSSING SIGNAL DETAILS
23	C-572 - DRY UTILITY DETAILS

FITTING SCHEDULE

REDUCERS	 (10" BY 8" REDUCER) SMALL END SIZE (in) LARGE END SIZE (in) FITTING DESIGNATION: R = REDUCER
TEES	 (8" BY 8" BY 6" TEE) BRANCH PIPE SIZE (in) THROUGH PIPE SIZE (in) FITTING DESIGNATION: T = TEE
BENDS	 (12", 45" BEND) BEND ANGLE (DEGREES) BEND SIZE (in) FITTING DESIGNATION: B = BEND

CONTACTS:

ENGINEER:	CIVIL PROJ-EX	435-228-9736
SURVEYOR:	NOLAN HARTDOCK	801-598-2965
OWNER REPRESENTATIVE:	ANDY LEWIS	801-243-5222

PRE-CONSTRUCTION MEETING DATE:

XXXXX

GRANTSVILLE CITY COUNCIL APPROVAL DATE:

XXXX

GRANTSVILLE CITY ENGINEER

APPROVED FOR CONSTRUCTION THIS

DAY OF

20

BY THE GRANTSVILLE CITY ENGINEER.

CITY ENGINEER OR REPRESENTATIVE

GRANTSVILLE CITY PUBLIC WORKS

APPROVED FOR CONSTRUCTION THIS

DAY OF

20

BY THE GRANTSVILLE PUBLIC WORKS DEPARTMENT

GRANTSVILLE CITY PUBLIC WORKS DIRECTOR

811

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Project Name:

HARVEST MEADOW
SUBDIVISION
GRANTSVILLE, TOOELE
COUNTY, UTAH

CIVIL PROJ-EX, INC
ENGINEERS & PLANNERS
96 QUINCY STREET
GRANTSVILLE, UTAH 84029

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Sheet Name:

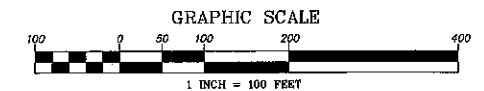
G-001

FINAL PLAT
HARVEST MEADOW SUBDIVISION PHASE 1
VACATING, AMENDING AND EXTENDING LOT 4,
WILLIAMS FARM MINOR SUBDIVISION
LOCATED IN THE NORTHWEST AND SOUTHWEST QUARTERS OF SECTION 7,
TOWNSHIP 3 SOUTH, RANGE 5 WEST, SALT LAKE BASE AND MERIDIAN
IN THE CITY OF GRANTSVILLE, TOOELE COUNTY, UTAH
SHEET 2 OF 2

BOUNDARY DESCRIPTION

A parcel of land, situate in the Northwest and Southwest Quarters of Section 7, Township 3 South, Range 5 West, Salt Lake Base and Meridian, said parcel also located in Grantsville City, Tooele County, Utah, more particularly described as follows:

Beginning at the northwest corner of Lot 4, WILLIAMS FARM MINOR SUBDIVISION, recorded January 7, 2008 as Entry No. 299968 in the office of the Tooele County Recorder, said point being marked by a rebar with cap placed by Ensign Engineering and lies South 0°44'00" West 1981.50 feet along the Section line and North 89°57'28" East 691.44 feet from the Northwest Corner of Section 7, Township 3 South, Range 5 West, Salt Lake Base and Meridian, and running; thence North 89°57'28" East 1449.64 feet along the northerly boundary of said WILLIAMS FARM MINOR SUBDIVISION; thence South 0°25'43" West 390.00 feet along the westerly line of Lots 1-3 of said subdivision; thence North 89°57'28" East 335.08 feet along the southerly line of said Lot 3 to the westerly line of Quirk Street; thence South 0°25'43" West 557.65 feet along said westerly line of Quirk Street; thence North 89°16'30" West 1161.12 feet along an existing fence line; thence South 0°50'54" West 370.59 feet along an existing fence to a fence line and the northerly boundary of SOUTH WILLOW RANCHES PHASE 1 Subdivision, recorded April 5, 2005 as Entry No. 238437 in the office of the Tooele County Recorder; thence North 89°20'17" West 527.79 feet along said fence line and Subdivision boundary to a fence line; thence North 0°43'36" East 1334.92 feet along an existing fence line, to the point of beginning. The above-described parcel contains approximately 1,645,869 square feet in area or 42.375 acres divided into 11 lots and street dedication.



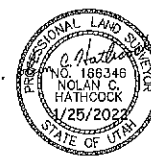
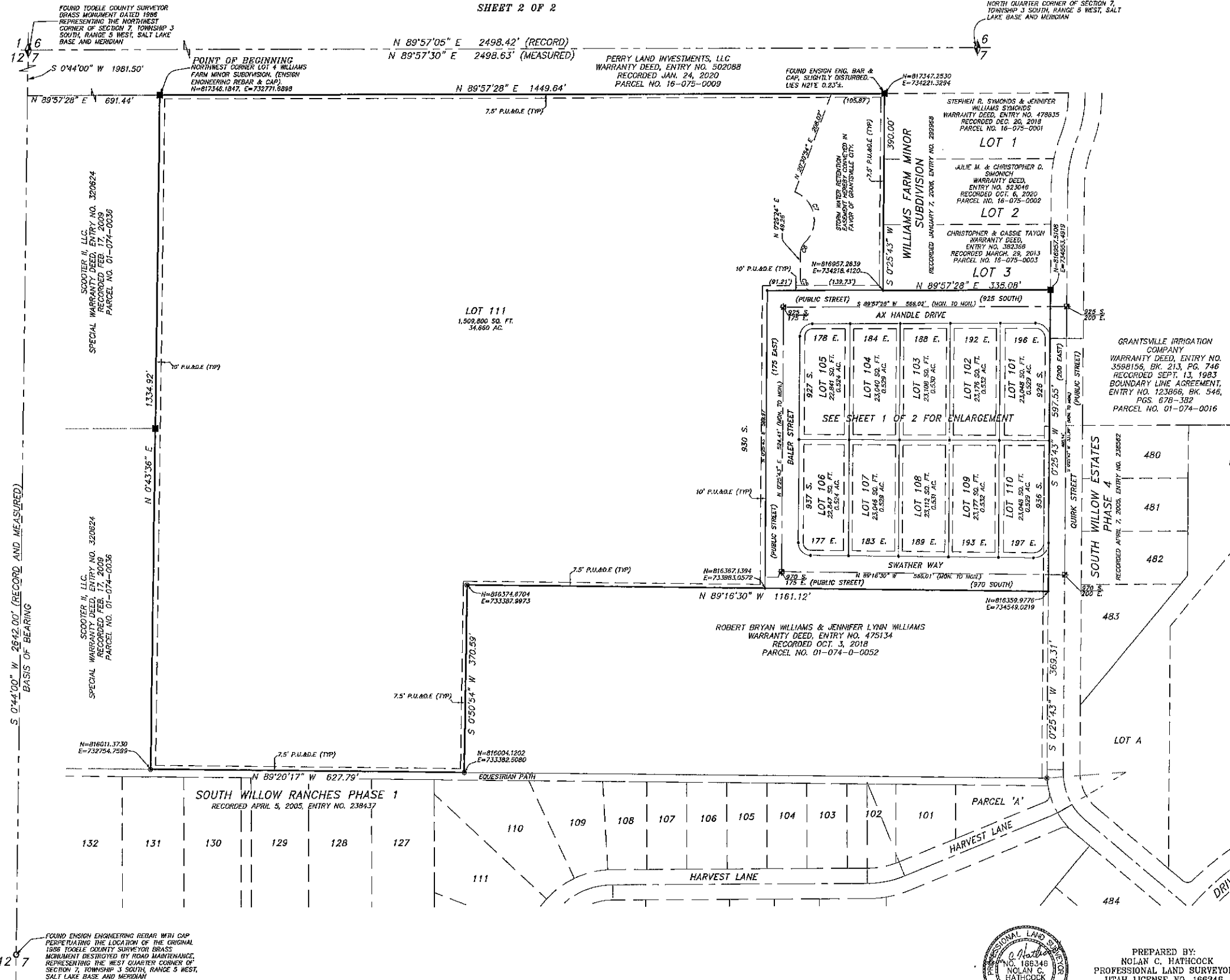
NOTES

1. A 7.5' Public Utility & Drainage Easement is hereby created parallel with the side lot lines in this subdivision. A 10' Public Utility & Drainage Easement is hereby created parallel with the front and rear lot lines in this subdivision unless otherwise noted hereon.
2. Coordinate values shown hereon are based upon Tooele County Dependent Resurvey data.
3. 5/8"x24" rebar with yellow plastic caps have been or will be set as indicated by the legend and symbols shown hereon.
4. No driveways or secondary access shall be allowed from Quirk Street to Lots 101 and 110.

FINAL PLAT
HARVEST MEADOW SUBDIVISION PHASE 1
VACATING, AMENDING AND EXTENDING LOT 4,
WILLIAMS FARM MINOR SUBDIVISION
LOCATED IN THE NORTHWEST AND SOUTHWEST QUARTERS OF SECTION 7,
TOWNSHIP 3 SOUTH, RANGE 5 WEST, SALT LAKE BASE AND MERIDIAN
IN THE CITY OF GRANTSVILLE, TOOELE COUNTY, UTAH

SHEET 2 OF 2

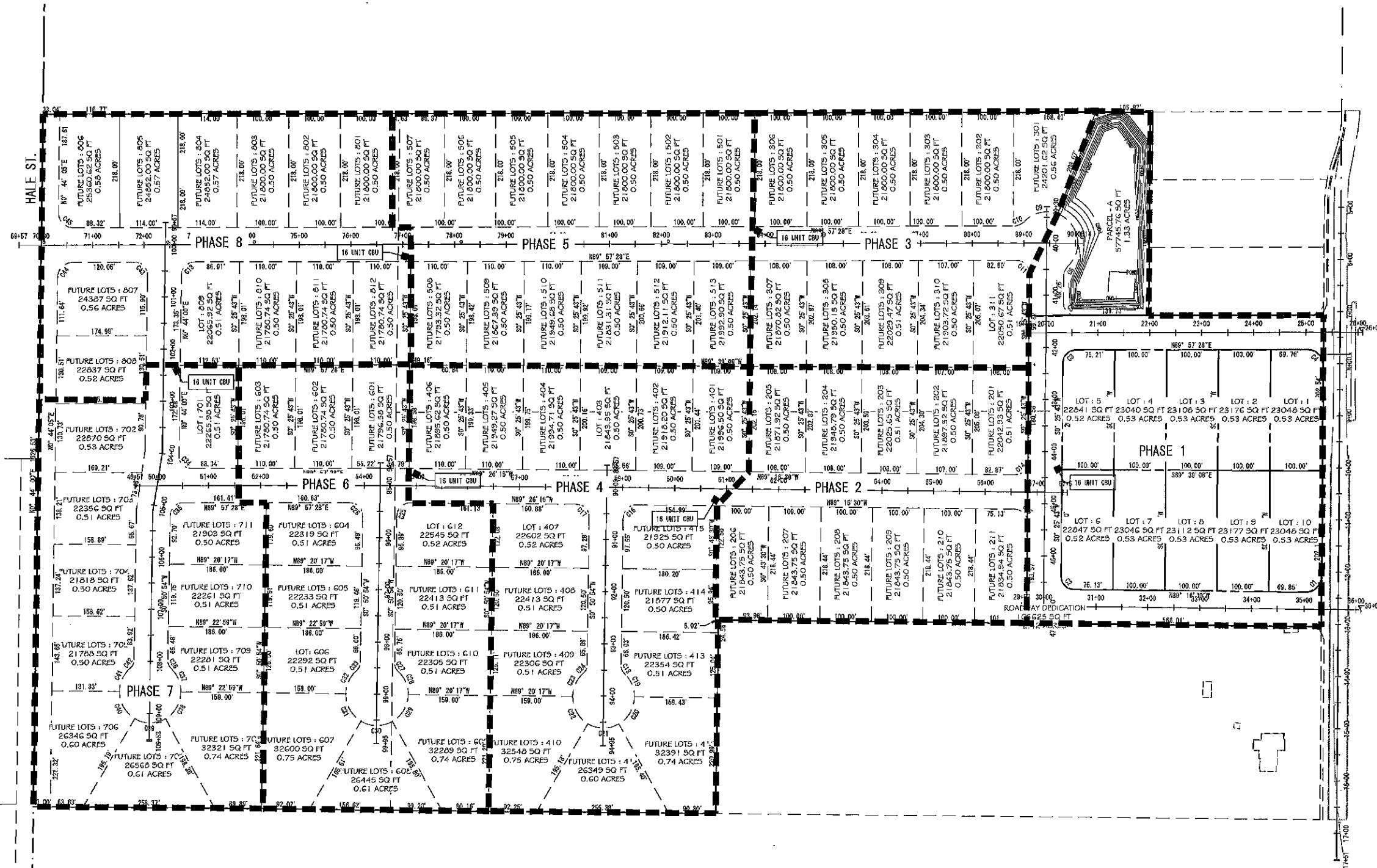
RECORDED #
STATE OF UTAH, COUNTY OF TOOELE, RECORDED AND FILED AT
THE REQUEST OF: _____
DATE: _____ TIME: _____
FEE \$ _____ TOOELE COUNTY RECORDER



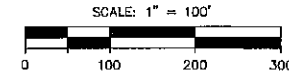
PREPARED BY:
NOLAN C. HATHCOCK
PROFESSIONAL LAND SURVEYOR
UTAH LICENSE NO. 166346
9592 STORMCROW CIRCLE
SOUTH JORDAN, UTAH 84009
PHONE: 801-567-6398

PHASING MAP - HARVEST MEADOW SUBDIVISION

LOCATED IN THE WEST HALF OF SECTION 7 TOWNSHIP 3 SOUTH, RANGE 5 WEST, SALT LAKE MERIDIAN
TOOELE COUNTY, GRANTSVILLE CITY, UTAH



NORTH

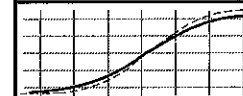
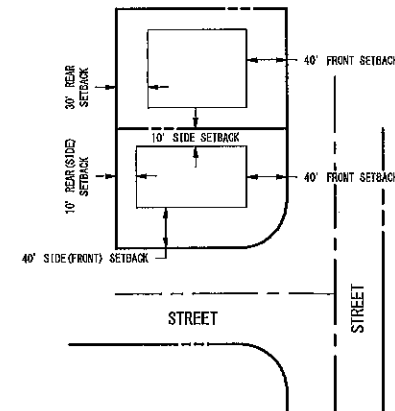


ZONING INFORMATION:

- REQUESTED ZONE: R-1-21
- SINGLE FAMILY DWELLING - PERMITTED
- FAMILY DWELLING MINIMUM LOT SIZE = 21,750 SQ. FT.
- MIN LOT FRONTAGE = 50 FT. AT FRONT PROPERTY LINE
- MIN WIDTH AT FRONT AND REAR SETBACK = 100 FT.

SETBACKS

- MIN FRONT YARD = 40 FT
- MIN REAR YARD = 30 FT
- SIDE YARD FOR MAIN BUILDINGS = 10 FT
- SIDE YARD FOR ACCESSORY BUILDINGS = 4 FT
- REAR YARD FOR ACCESSORY BUILDINGS = 1 FT
- ON CORNER LOTS, 2 FRONT YARDS AND 2 SIDE YARDS ARE REQUIRED.
- MAX BUILDING HEIGHT = 35 FT
- MAX TOTAL LOT COVERAGE (ALL BUILDINGS) = 20%



CIVIL PROJ-EX, INC
ENGINEERS + PLANNERS
96 QUIRK STREET
GRANTSVILLE, UTAH 84029

OWNER: ANDY LEWIS CONSTRUCTION,
GREG DEHAAN, SCOOTER II LLC,

DRN: BVB DATE: 2020.02.07
DES: BVB DATE: 2020.02.07
CKD: NCH DATE:

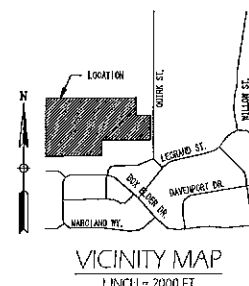
SCALE: AS SHOWN
JOB # 19-45020

V-002
NO. 2 OF 2

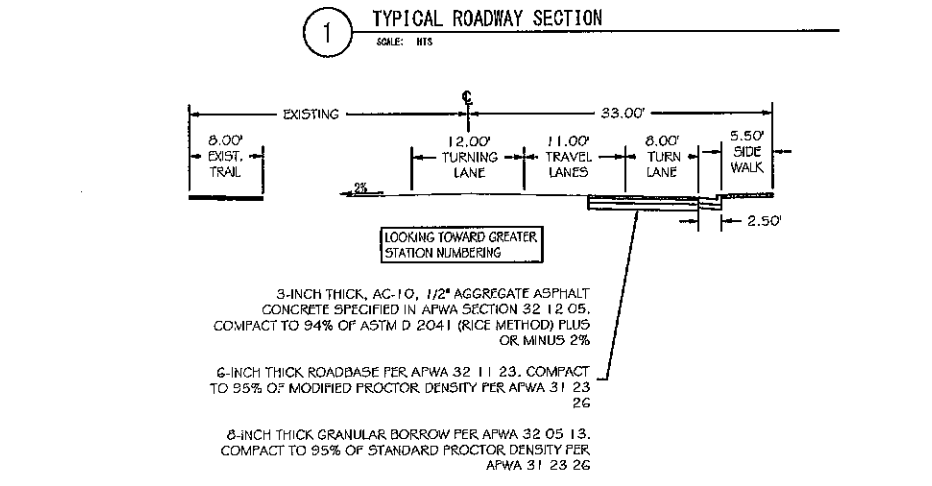
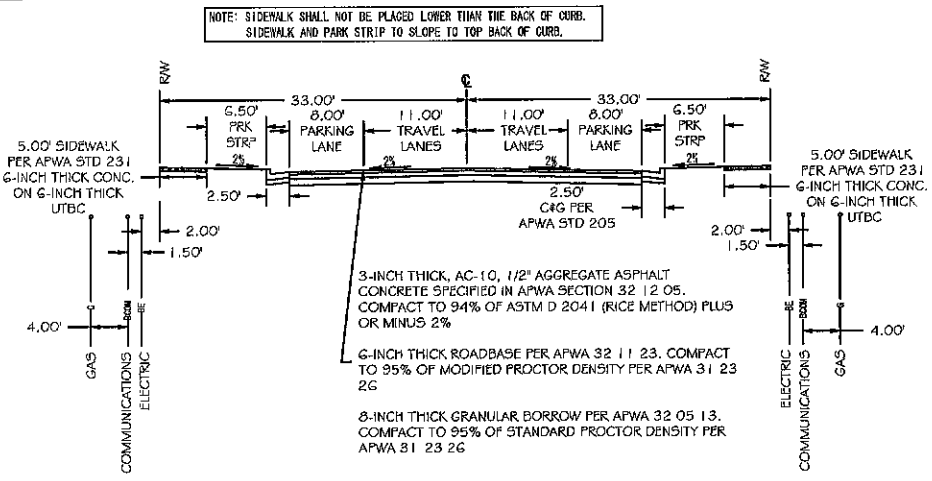
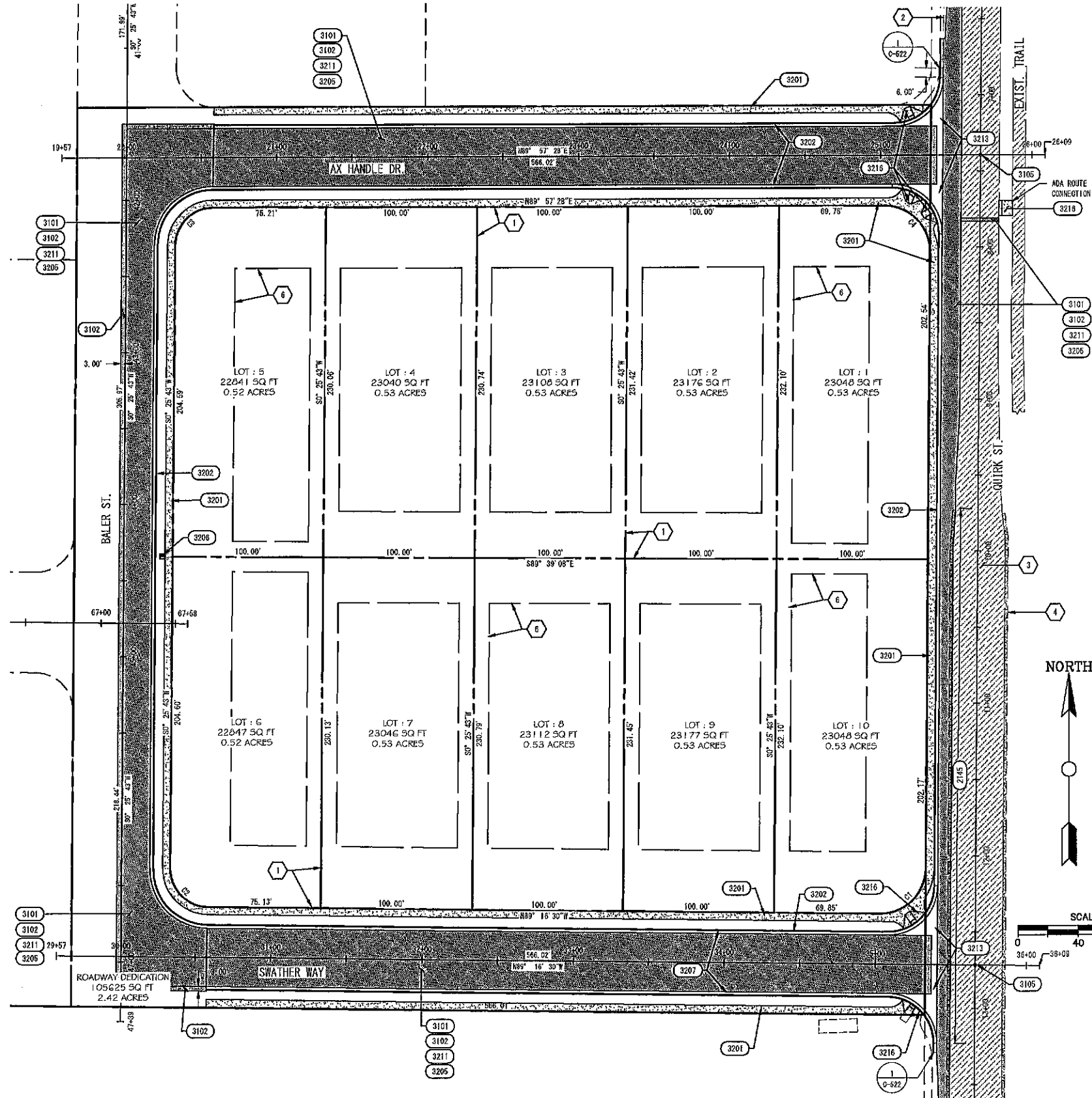
PRELIMINARY PLAN

LOCATED IN THE WEST HALF OF SECTION 7
TOWNSHIP 3 SOUTH, RANGE 5 WEST,
SALT LAKE MERIDIAN,
CITY OF GRANTSVILLE, TOOELE COUNTY, UTAH

3/3/2022 4:35:10 PM



CIVIL SITE PLAN
HARVEST MEADOW SUBDIVISION PHASE 1



- PAY ITEMS**
- 2145 REMOVE EXISTING CURB
 - 3101 UNCLASSIFIED ROADWAY EXCAVATION
 - 3102 8-INCH THICK GRANULAR BORROW
 - 3105 STREET MONUMENT, PER CITY STANDARDS
 - 3201 CONCRETE SIDE WALK, APWA PLAN 231
 - 3202 CONCRETE CURB AND GUTTER, APWA 205.1 TYPE A, SEE TYPICAL SECTIONS
 - 3203 POST MOUNTED STREET SIGNS
 - 3204 POST MOUNTED STOP SIGN, MUTCD R1-1 WITH "CROSS TRAFFIC DOES NOT STOP" MUTCD R4-4P SIGN, AND 12-INCH WIDE PAINTED STOP BAR
 - 3205 3-INCH THICK ASPHALT, 1 1/2-INCH MIX, PG 64-28 OR 3/4" GLASS [1]
 - 3206 16 UNIT COMMUNITY MAILBOX 16" x 42" x 42" CONCRETE PAD
 - 3211 6-INCH THICK ROAD BASE, SEE TYPICAL SECTION
 - 3213 WATERWAY TRANSITION STRUCTURE, APWA PLAN 213
 - 3216 CURB RAMP, APWA PLAN 236.1
- CONSTRUCTION NOTES**
1. PROPERTY BOUNDARY (TYP)
 2. FUTURE EDGE OF PAVEMENT
 3. EXISTING ASPHALT PAVEMENT
 4. EXISTING CURB AND GUTTER
 5. EXISTING SIDEWALK
 6. BUILDING SET BACK

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
G1	47.26	30.00	89° 17' 47"	N45° 34' 37"E	42.54
G2	39.14	25.00	89° 42' 13"	S44° 25' 12"E	35.26
G3	39.06	25.00	89° 31' 45"	S45° 11' 35"W	35.21
G4	47.37	30.00	89° 28' 16"	N44° 48' 26"W	42.60

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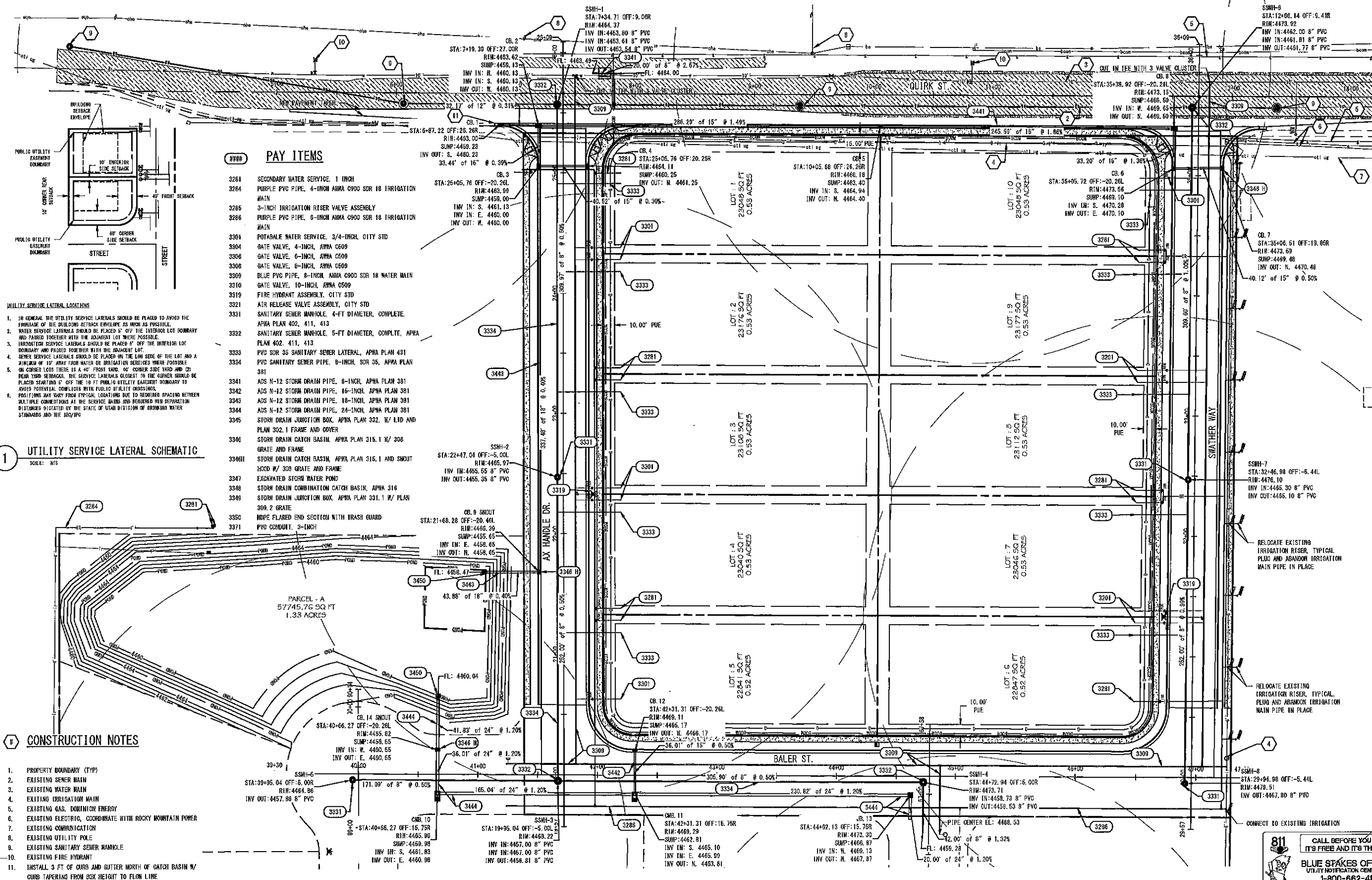
PROFESSIONAL ENGINEER
7224167
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Sheet Name: CS-101

CIVIL UTILITY PLAN

HARVEST MEADOW SUBDIVISION PHASE 1

NORTH

SCALE 1" = 40'

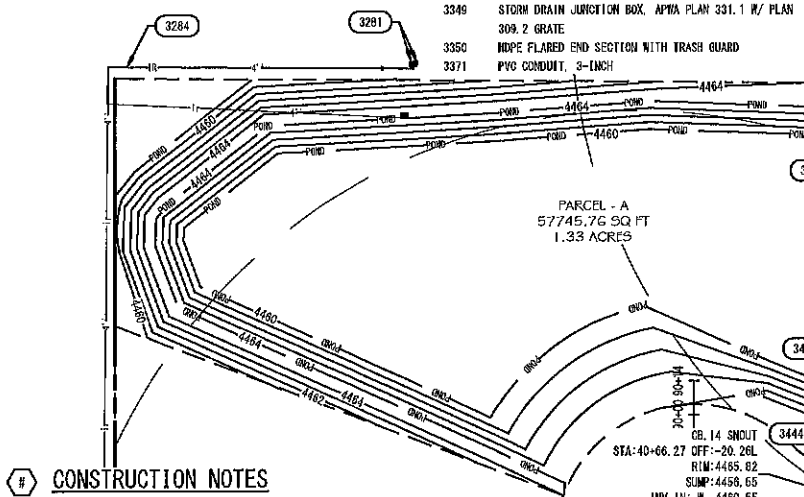


PAY ITEMS

- | ITEM | DESCRIPTION |
|-------|---|
| 3261 | SECONDARY WATER SERVICE, 1 INCH |
| 3264 | PURPLE PVC PIPE, 4-INCH AWWA C900 SDR 18 IRRIGATION MAIN |
| 3285 | 3-INCH IRRIGATION RISER VALVE ASSEMBLY |
| 3286 | PURPLE PVC PIPE, 8-INCH AWWA C900 SDR 18 IRRIGATION MAIN |
| 3301 | POTABLE WATER SERVICE, 3/4-INCH, CITY STD |
| 3304 | GATE VALVE, 4-INCH, AWWA C509 |
| 3306 | GATE VALVE, 6-INCH, AWWA C509 |
| 3308 | GATE VALVE, 8-INCH, AWWA C509 |
| 3309 | BLUE PVC PIPE, 8-INCH AWWA C900 SDR 18 WATER MAIN |
| 3310 | GATE VALVE, 10-INCH, AWWA C509 |
| 3319 | FIRE HYDRANT ASSEMBLY, CITY STD |
| 3321 | AIR RELEASE VALVE ASSEMBLY, CITY STD |
| 3321 | SANITARY SEWER MANHOLE, 4-FT DIAMETER, COMPLETE |
| 3332 | APWA PLAN 402, 411, 413 |
| 3332 | SANITARY SEWER MANHOLE, 5-FT DIAMETER, COMPLETE, APWA PLAN 402, 411, 413 |
| 3333 | PVC SDR 35 SANITARY SEWER LATERAL, APWA PLAN 431 |
| 3334 | PVC SANITARY SEWER PIPE, 8-INCH, SDR 35, APWA PLAN 381 |
| 3341 | ADS N-12 STORM DRAIN PIPE, 8-INCH, APWA PLAN 381 |
| 3342 | ADS N-12 STORM DRAIN PIPE, 16-INCH, APWA PLAN 381 |
| 3343 | ADS N-12 STORM DRAIN PIPE, 18-INCH, APWA PLAN 381 |
| 3344 | ADS N-12 STORM DRAIN PIPE, 24-INCH, APWA PLAN 381 |
| 3345 | STORM DRAIN JUNCTION BOX, APWA PLAN 332, 1/2 R/LID AND PLAN 302.1 FRAME AND COVER |
| 3346 | STORM DRAIN CATCH BASIN, APWA PLAN 315, 1 W/ 308 GRATE AND FRAME |
| 3346H | STORM DRAIN CATCH BASIN, APWA PLAN 315, 1 AND SHOUT HOOD W/ 300 GRATE AND FRAME |
| 3347 | EXCAVATED STORM WATER POND |
| 3348 | STORM DRAIN COMBINATION CATCH BASIN, APWA 316 |
| 3349 | STORM DRAIN JUNCTION BOX, APWA PLAN 331, 1 R/ PLAN 309, 2 GRATE |
| 3350 | HDPE FLARED END SECTION WITH TRASH GUARD |
| 3371 | PVC CONDUIT, 3-INCH |

UTILITY SERVICE LATERAL SCHEMATIC

SCALE: NTS



CONSTRUCTION NOTES

- PROPERTY BOUNDARY (TYP)
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING IRRIGATION MAIN
- EXISTING GAS, DOMINION ENERGY
- EXISTING ELECTRIC, COORDINATE WITH ROCKY MOUNTAIN POWER
- EXISTING COMMUNICATION
- EXISTING UTILITY POLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- INSTALL 3 FT OF CURB AND GUTTER NORTH OF CATCH BASIN W/ CURB TAPERING FROM BOX HEIGHT TO FLOW LINE

FINAL INFRASTRUCTURE

Project Number
19-45020

Designed By
BVB

Date Issued
2022.03.03

Drawn By
BVB

Project Name:
HARVEST MEADOW
SUBDIVISION
GRANTSVILLE, TOOELE
COUNTY, UTAH

CIVIL PROJ-EX, INC
ENGINEERS - PLANNERS
96 QUIRK STREET
GRANTSVILLE, UTAH 84029

PROFESSIONAL ENGINEER
7224167
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CIVIL DRAINAGE PLAN
HARVEST MEADOW SUBDIVISION PHASE 1



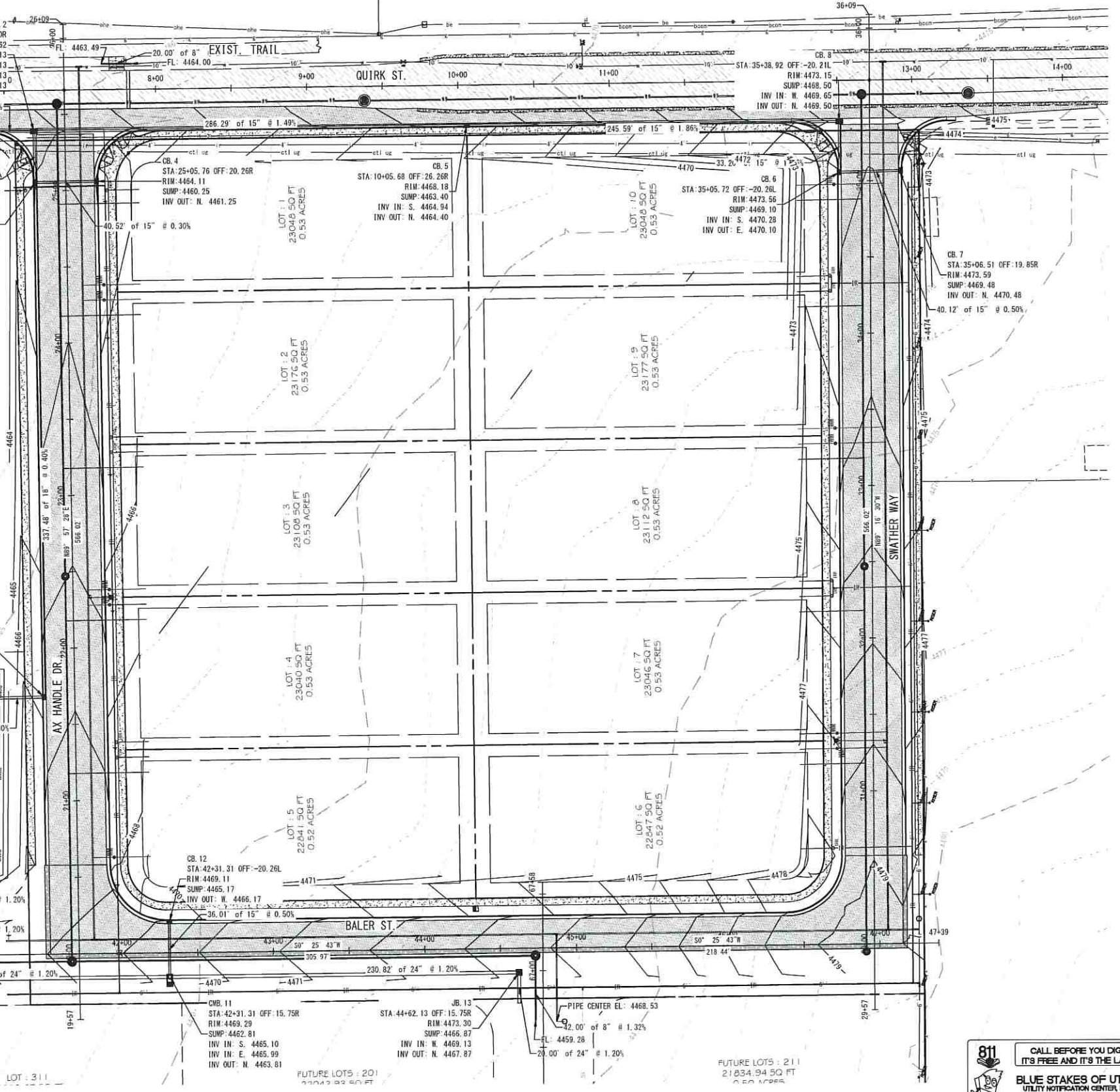
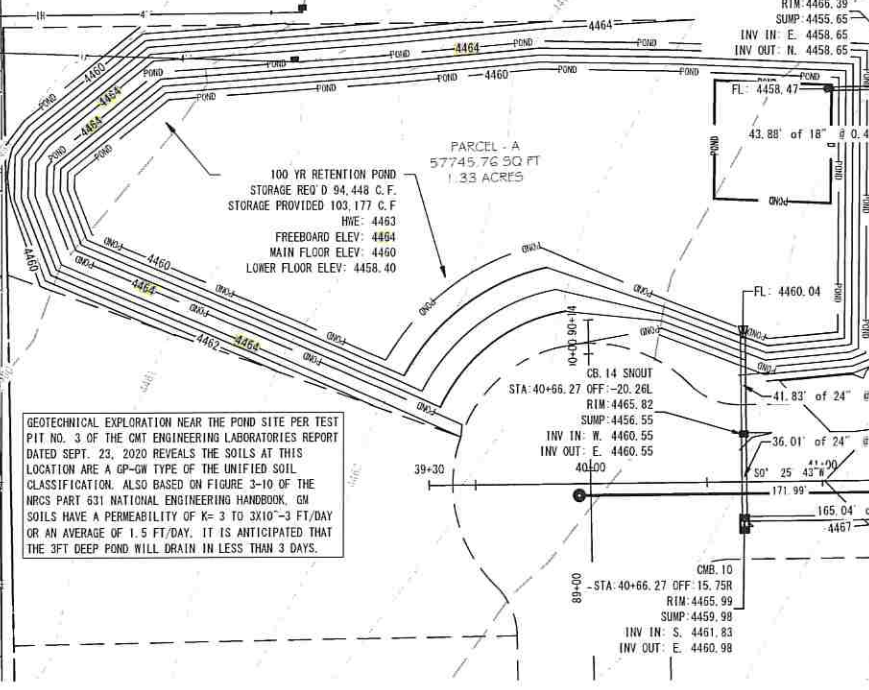
DRAINAGE CALCULATION SHEET					
PROJECT NAME:	Harvest Meadows Subdivision				
PROJECT NO.:	19-45020				
PREPARED FOR:	Grantsville City				
PREPARED BY:	Barry Bunderson, PE				
DATE:	3/25/2021				
NOTES: Assume AMC type II storm and type C soil group. Soil: Medium fine sandy loam, saline, 2 to 4 percent slopes. Retention Volumes per NRCS (SCS) rainfall-runoff relationship. Rainfall data from NOAA Atlas 14, Volume 1, Version 5. Latitude: 40.571165°, Longitude: -112.460471°. Runoff curve numbers (CN) per TR-55 Table 2-2 (a to c).					
Retention Volumes by SCS Method					
Area (sq ft.)	Pre development runoff "CN"	Post development runoff "CN"	Pre development Storage "S"	Post development Storage "S"	
Harvest Meadows Sub	2796002	71	81	4.09	2.35
24 Hour Rain fall depths					
2yr	19.4	25.4	50 yr	100 yr	
1.21	1.85	1.91	2.11	2.31	
Pre Development Runoff Volumes Cu. Ft.					
2yr	10 yr	25 yr	50 yr	100 yr	
Harvest Meadows Sub	7955	32532	53184	71671	92130
Post Development Runoff Volumes Cu. Ft.					
2yr	10 yr	25 yr	50 yr	100 yr	
Harvest Meadows Sub	40990	91143	126370	155675	186577
Required Retention Volumes - Cu. Ft.					
2yr	10 yr	25 yr	50 yr	100 yr	
Harvest Meadows Sub	33035	58611	73185	81094	94448
Total volume	33035	58611	73185	81094	94448

1 STORAGE VOLUME REQUIRED

assume that average end method applies here.

Depth	Elevation (ft)	Area (ft ²)	(A1+A2)/2	(h2-h1)	ΔS(FT ²)	Cumulative S (ft ³)
0	4463	39317	19658.5	1	19658.5	0
1	4462	36016	37666.5	1	37666.5	37666.5
2	4461	32748	34382	1	34382	72048.5
3	4460	29509	31128.5	1	31128.5	103177

2 STORAGE VOLUME PROVIDED



Project Name:	FINAL INFRASTRUCTURE		
Project Number:	19-45020	Designed By:	BVB
Drawn By:	BVB	Date Issued:	2022.03.03
Project Name:	HARVEST MEADOW SUBDIVISION GRANTSVILLE, TOOELE COUNTY, UTAH		
CIVIL PROJ-EX, INC ENGINEERS - PLANNERS 26 QUIRK STREET GRANTSVILLE, UTAH 84029	PROFESSIONAL ENGINEER 7224167 BARRY V. BUNDERSON 3/3/2022 4:35:36 PM Sheet Name: CD-101		

CIVIL TRANSPORTATION PLAN
HARVEST MEADOW SUBDIVISION PHASE 1

SCALE 1" = 40'

NORTH

PAY ITEMS

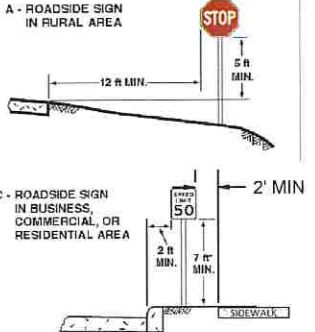
- 3203 POST MOUNTED STREET SIGNS, COORDINATE LOGO WITH GRANTSVILLE CITY PUBLIC WORKS
3204 POST MOUNTED STOP SIGN, MUTCD R1-1 WITH "CROSS TRAFFIC DOES NOT STOP" MUTCD #4-4P SIGN, AND 12-INCH WIDE PAINTED STOP BAR
3207 POST MOUNTED CROSS WALK AHEAD WARNING SIGN, MUTCD W11-2 AND W16-9P
3208 4-INCH WIDE PAINTED SOLID LINE
3210 PAINTED RIGHT ARROW WITH "ONLY" MARKING
3421 TYPE O POLE MOUNTED FLASHING BEACON ASSEMBLY (OPTION A) PER UDOT STD DWG SL6E, SL6H, SL1E, SL3A & SL3B, WITH CONCRETE FOUNDATION, JUNCTION BOX, CONDUIT AND 12-INCH WIDE PAINTED CROSS WALK

- Street name signpost
- GENERAL
A. Get ENGINEER's approval of sign format and installation.
 - PRODUCTS
A. Bolts, Nuts, Washers, Accessories: Stainless or galvanized steel, APWA Section 05 05 23.
 - EXECUTION
A. Install sign posts on corner selected by ENGINEER.
B. Install the edge of the sign 2 feet from the vertical extension of the back of curb as near as possible to the approach curb P.C. (point of curvature).

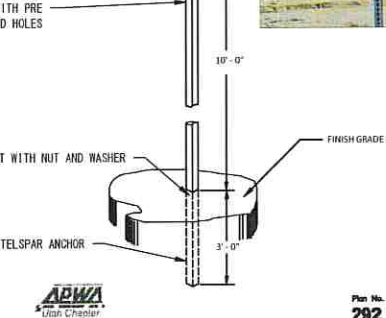


HEIGHTS AND LATERAL LOCATIONS OF SIGN INSTALLATIONS

ROADSIDE SIGN IN RURAL AREA	FIG. A
ROADSIDE SIGN IN BUSINESS, COMMERCIAL, OR RESIDENTIAL AREA	FIG. C



*Where parking or pedestrian movements are likely to occur



1 Street name signpost
SCALE: NTS

FINAL INFRASTRUCTURE

Project Number 19-45020	Designed By BVB
Drawn By BVB	Date Issued 2022.03.03

Project Name:
HARVEST MEADOW
SUBDIVISION
GRANTSVILLE, TOOELE
COUNTY, UTAH




CIVIL PROJ-EX, INC
ENGINEERS - PLANNERS
96 QUIRK STREET
GRANTSVILLE, UTAH 84029

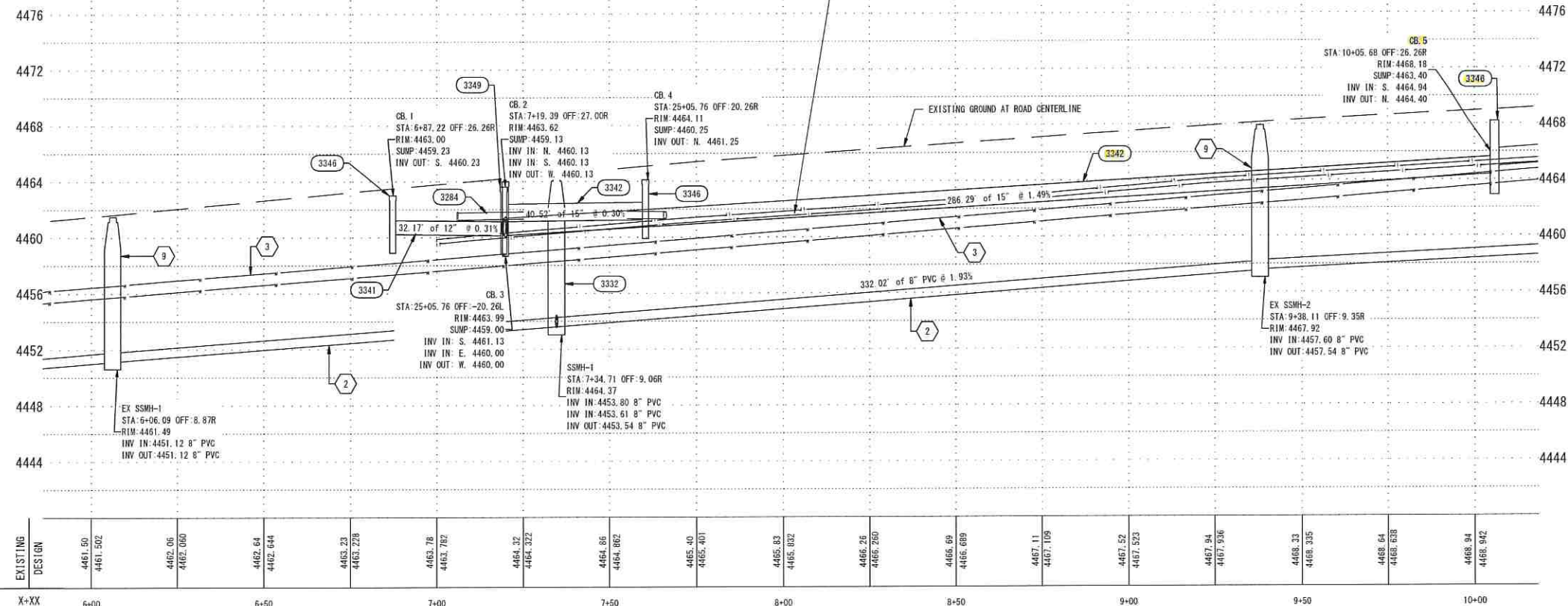
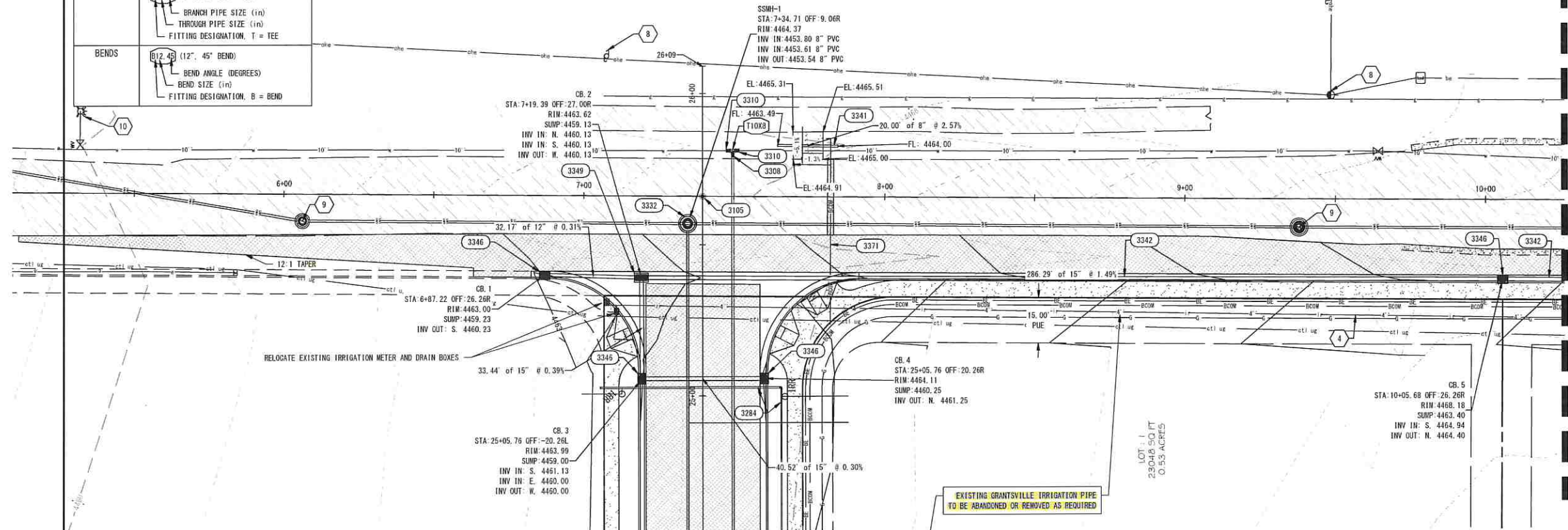


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Sheet Name:
CT-101

FITTING SCHEDULE

REDUCERS	 <p>R10X8 (10" BY 8" REDUCER)</p> <p>SMALL END SIZE (in)</p> <p>LARGE END SIZE (in)</p> <p>FITTING DESIGNATION, R = REDUCER</p>
TEES	 <p>T8X6 (8" BY 6" BY 6" TEE)</p> <p>BRANCH PIPE SIZE (in)</p> <p>THROUGH PIPE SIZE (in)</p> <p>FITTING DESIGNATION, T = TEE</p>
BENDS	 <p>B12.45 (12", 45° BEND)</p> <p>BEND ANGLE (DEGREES)</p> <p>BEND SIZE (in)</p> <p>FITTING DESIGNATION, B = BEND</p>



NORTH

SCALE: 1" = 20'



 PAY ITEMS

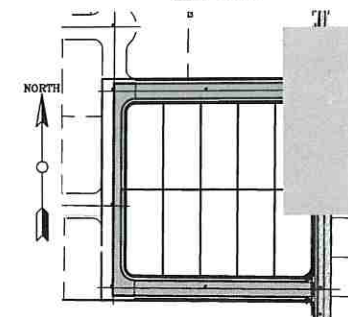
MATCH LINE SEE PP-102

3101	UNCLASSIFIED ROADWAY EXCAVATION
3102	8-INCH THICK GRANULAR BORROW
3105	STREET MONUMENT, PER CITY STANDARDS
3201	CONCRETE SIDE WALK, APWA PLAN 231
3202	CONCRETE CURB AND GUTTER, APWA 205.1 TYPE A. SEE TYPICAL SECTIONS
3205	3-INCH THICK ASPHALT, 1/2-INCH MIX, PG 64-28 DM-3/4" CLASS III
3206	16 UNIT COMMUNITY MAILBOX W/ 6" x 42" x 42" CONCRETE PAD.
3211	6-INCH THICK ROAD BASE, SEE TYPICAL SECTION
3216	CURB RAMP, APWA PLAN 235.1
3281	SECONDARY WATER SERVICE, 1 INCH
3284	PURPLE PVC PIPE, 6-INCH ANWA C900 SDR 18 IRRIGATION MAIN
3285	3-INCH IRRIGATION RISER VALVE ASSEMBLY
3286	PURPLE PVC PIPE, 6-INCH ANWA C900 SDR 18 IRRIGATION MAIN
3301	POTABLE WATER SERVICE, 3/4-INCH, CITY STD
3304	GATE VALVE, 4-INCH, ANWA C509
3306	GATE VALVE, 6-INCH, ANWA C509
3308	GATE VALVE, 8-INCH, ANWA C509
3309	BLUE PVC PIPE, 8-INCH, ANWA C900 SDR 18 WATER MAIN
3310	GATE VALVE, 10-INCH, ANWA C509
3319	FIRE HYDRANT ASSEMBLY, CITY STD
3321	AIR RELEASE VALVE ASSEMBLY, CITY STD
3322	2-INCH BLOW OFF ASSEMBLY, CITY STD W/ CONC. COLLAR
3331	SANITARY SEWER MANHOLE, 4-FT DIAMETER, COMPLETE. APWA PLAN 402, 411, 413
3332	SANITARY SEWER MANHOLE, 5-FT DIAMETER, COMPLETE. APWA PLAN 402, 411, 413
3333	PVC SDR 35 SANITARY SEWER LATERAL, APWA PLAN 431
3334	PVC SANITARY SEWER PIPE, 8-INCH, SDR 35, APWA PLAN 381
3341	ADS N-12 STORM DRAIN PIPE, 8-INCH, APWA PLAN 381
3342	ADS N-12 STORM DRAIN PIPE, 15-INCH, APWA PLAN 381
3343	ADS N-12 STORM DRAIN PIPE, 18-INCH, APWA PLAN 381
3344	ADS N-12 STORM DRAIN PIPE, 24-INCH, APWA PLAN 381
3345	STORM DRAIN JUNCTION BOX, APWA PLAN 332, W/ LID AND PLAN 302.1 FRAME AND COVER
3346	STORM DRAIN CATCH BASIN, APWA PLAN 315.1 W/ 308 GRATE AND FRAME
3346H	STORM DRAIN CATCH BASIN, APWA PLAN 315.1 AND SNOOUT HDOO W/ 308 GRATE AND FRAME
3347	EXCAVATED STORM WATER POND
3348	STORM DRAIN COMBINATION CATCH BASIN, APWA 316
3349	STORM DRAIN JUNCTION BOX, APWA PLAN 331.1 W/ PLAN 309.2 GRATE
3350	HDPE FLARED END SECTION WITH TRASH GUARD
3371	PVC CONDUIT, 3-INCH

CONSTRUCTION NOTES

1. PROPERTY BOUNDARY (TYP)
2. EXISTING SEWER MAIN
3. EXISTING WATER MAIN
4. EXISTING IRRIGATION MAIN
5. EXISTING GAS, DOMINION ENERGY
6. EXISTING ELECTRIC, COORDINATE WITH ROCKY MOUNTAIN POWER
7. EXISTING COMMUNICATION
8. EXISTING UTILITY POLE
9. EXISTING SANITARY SEWER MANHOLE
10. EXISTING FIRE HYDRANT

KEY MAP



811

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Project Name:

Name: HARVEST MEADOW
SUBDIVISION
GRANTSVILLE, TOOELE
COUNTY, UTAH

CIVIL PROJ-EX, INC
ENGINEERS • PLANNERS
96 QUIRK STREET
GRANTSVILLE, UTAH 84029

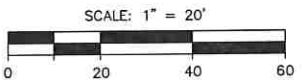
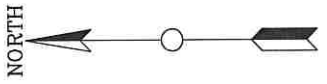


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CIVIL PLAN AND PROFILE



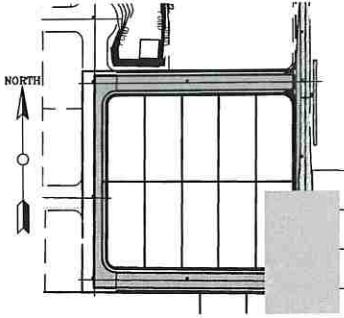
PAY ITEMS

- 3101 UNCLASSIFIED ROADWAY EXCAVATION
- 3102 8-INCH THICK GRANULAR BORROW
- 3105 STREET MONUMENT, PER CITY STANDARDS
- 3201 CONCRETE SIDE WALK, APWA PLAN 231
- 3202 CONCRETE CURB AND GUTTER, APWA 205.1 TYPE A. SEE TYPICAL SECTIONS
- 3205 3-INCH THICK ASPHALT, 1 1/2-INCH MIX, PG 64-28 DM-3/4" CLASS III
- 3206 15 UNIT COMMUNITY MAILBOX W/ 6" x 42" x 42" CONCRETE PAD.
- 3211 6-INCH THICK ROAD BASE, SEE TYPICAL SECTION
- 3216 CURB RAMP, APWA PLAN 235.1
- 3281 SECONDARY WATER SERVICE, 1 INCH
- 3284 PURPLE PVC PIPE, 4-INCH AWWA C900 SDR 18 IRRIGATION MAIN
- 3285 3-INCH IRRIGATION RISER VALVE ASSEMBLY
- 3286 PURPLE PVC PIPE, 6-INCH AWWA C900 SDR 18 IRRIGATION MAIN
- 3301 POTABLE WATER SERVICE, 3/4-INCH, CITY STD
- 3304 GATE VALVE, 4-INCH, AWWA C509
- 3306 GATE VALVE, 6-INCH, AWWA C509
- 3308 GATE VALVE, 8-INCH, AWWA C509
- 3309 BLUE PVC PIPE, 8-INCH, AWWA C900 SDR 18 WATER MAIN
- 3310 GATE VALVE, 10-INCH, AWWA C509
- 3319 FIRE HYDRANT ASSEMBLY, CITY STD
- 3321 AIR RELEASE VALVE ASSEMBLY, CITY STD
- 3322 2-INCH BLOW OFF ASSEMBLY, CITY STD W/ CONC. COLLAR
- 3331 SANITARY SEWER MANHOLE, 4-FT DIAMETER, COMPLETE, APWA PLAN 402.411.413
- 3332 SANITARY SEWER MANHOLE, 5-FT DIAMETER, COMPLETE, APWA PLAN 402.411.413
- 3333 PVC SDR 35 SANITARY SEWER LATERAL, APWA PLAN 431
- 3334 PVC SANITARY SEWER PIPE, 8-INCH, SDR 35, APWA PLAN 381
- 3341 ADS N-12 STORM DRAIN PIPE, 8-INCH, APWA PLAN 381
- 3342 ADS N-12 STORM DRAIN PIPE, 15-INCH, APWA PLAN 381
- 3343 ADS N-12 STORM DRAIN PIPE, 18-INCH, APWA PLAN 381
- 3344 ADS N-12 STORM DRAIN PIPE, 24-INCH, APWA PLAN 381
- 3345 STORM DRAIN JUNCTION BOX, APWA PLAN 332.1 W/ LID AND PLAN 302.1 FRAME AND COVER
- 3346 STORM DRAIN CATCH BASIN, APWA PLAN 315.1 W/ 308 GRATE AND FRAME
- 3346H STORM DRAIN CATCH BASIN, APWA PLAN 315.1 AND SNOUT HOOD W/ 308 GRATE AND FRAME
- 3347 EXCAVATED STORM WATER POND
- 3348 STORM DRAIN COMBINATION CATCH BASIN, APWA 316
- 3349 STORM DRAIN JUNCTION BOX, APWA PLAN 331.1 W/ PLAN 309.2 GRATE
- 3350 HOPE FLARED END SECTION WITH TRASH GUARD
- 3371 PVC CONDUIT, 3-INCH

CONSTRUCTION NOTES

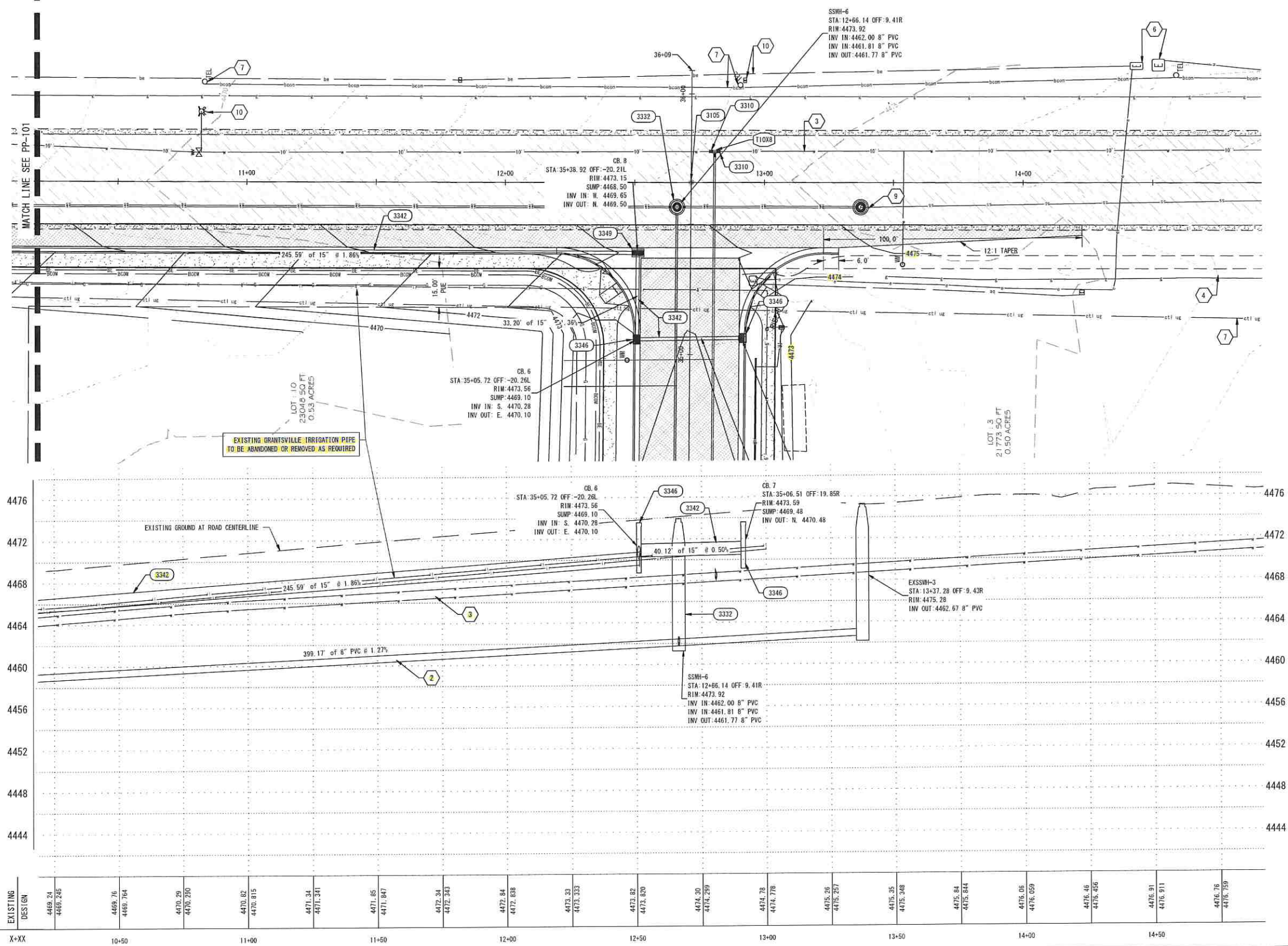
- 1. PROPERTY BOUNDARY (TYP)
- 2. EXISTING SEWER MAIN
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- 4. EXISTING IRRIGATION MAIN
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- 7. EXISTING COMMUNICATION
- 8. EXISTING UTILITY POLE
- 9. EXISTING SANITARY SEWER MANHOLE
- 10. EXISTING FIRE HYDRANT

KEY MAP



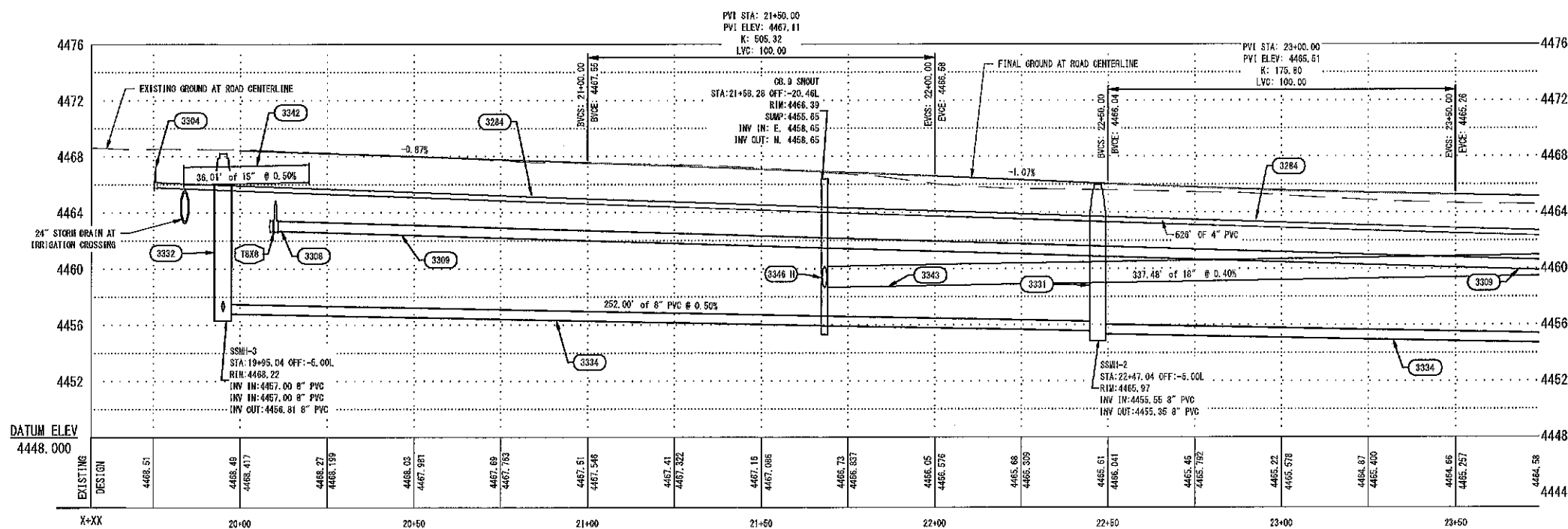
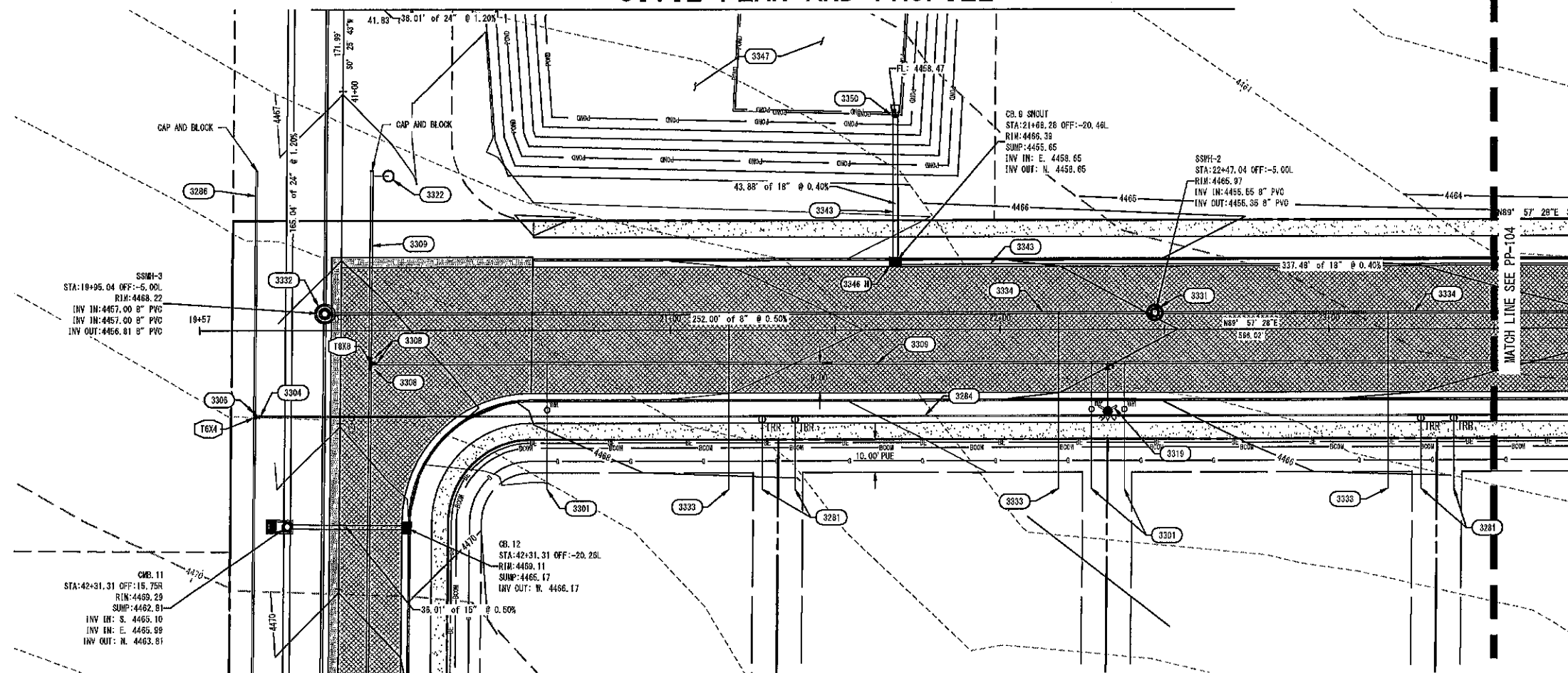
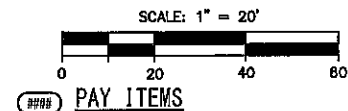
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HARVEST MEADOW SUBDIVISION		19-45020		HARVEST MEADOW SUBDIVISION	
GRANTSVILLE, TOOELE COUNTY, UTAH		19-45020		GRANTSVILLE, TOOELE COUNTY, UTAH	
CIVIL PROJ-EX, INC		CIVIL PROJ-EX, INC		CIVIL PROJ-EX, INC	
ENGINEERS & PLANNERS		ENGINEERS & PLANNERS		ENGINEERS & PLANNERS	
96 QUIRK STREET		96 QUIRK STREET		96 QUIRK STREET	
GRANTSVILLE, UTAH 84029		GRANTSVILLE, UTAH 84029		GRANTSVILLE, UTAH 84029	
PROFESSIONAL ENGINEER		PROFESSIONAL ENGINEER		PROFESSIONAL ENGINEER	
7224167		7224167		7224167	
BARRY V. BUNDERSON		BARRY V. BUNDERSON		BARRY V. BUNDERSON	
2022.03.03		2022.03.03		2022.03.03	
STATE OF UTAH		STATE OF UTAH		STATE OF UTAH	
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NORTH

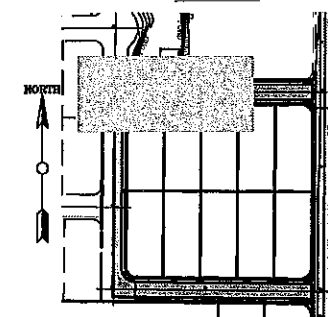


- 2101 UNCLASSIFIED ROADWAY EXCAVATION
3102 8-INCH THICK GRANULAR BEDDING
3105 STREET MONUMENT, PER CITY STANDARDS
3201 CONCRETE SIDE WALK, APWA PLAN 231
3202 CONCRETE CURB AND GUTTER, APWA 205.1 TYPE A, SEE
TYPICAL SECTIONS
3205 3-INCH THICK ASPHALT, 1/2-INCH MIX, PG 64-28 DM-3/4"
CLASS III
3206 16 UNIT COMMUNITY MAILBOX W/ 6" x 42" x 42" CONCRETE
PAD.
3211 6-INCH THICK ROAD BASE, SEE TYPICAL SECTION
3216 CURB RAMP, APWA PLAN 235.1
3281 SECONDARY WATER SERVICE, 1 INCH
3284 PURPLE PVC PIPE, 4-INCH APWA C900 SDR 18 IRRIGATION
MAIN
3285 3-INCH IRRIGATION RISER VALVE ASSEMBLY
3286 PURPLE PVC PIPE, 6-INCH APWA C900 SDR 18 IRRIGATION
MAIN
3301 POTABLE WATER SERVICE, 3/4-INCH, CITY STD
3304 GATE VALVE, 4-INCH, APWA C509
3308 GATE VALVE, 6-INCH, APWA C509
3309 GATE VALVE, 8-INCH, APWA C509
3308 BLUE PVC PIPE, 8-INCH, APWA C900 SDR 18 WATER MAIN
3310 GATE VALVE, 10-INCH, APWA C509
3319 FIRE HYDRANT ASSEMBLY, CITY STD
3321 AIR RELEASE VALVE ASSEMBLY, CITY STD
3322 2-INCH BLOW OFF ASSEMBLY, CITY STD W/ CONC. COLLAR
3331 SANITARY SEWER MANHOLE, 4-FT DIAMETER, COMPLETE,
APWA PLAN 402, 411, 413
3332 SANITARY SEWER MANHOLE, 6-FT DIAMETER, COMPLETE,
APWA PLAN 402, 411, 413
3333 PVC SDR 35 SANITARY SEWER LATERAL, APWA PLAN 431
3334 PVC SANITARY SEWER PIPE, 8-INCH, SDR 35, APWA PLAN
381
3341 ADS N-12 STORM DRAIN PIPE, 8-INCH, APWA PLAN 381
3342 ADS N-12 STORM DRAIN PIPE, 15-INCH, APWA PLAN 381
3343 ADS N-12 STORM DRAIN PIPE, 18-INCH, APWA PLAN 381
3344 ADS N-12 STORM DRAIN PIPE, 24-INCH, APWA PLAN 381
3351 STORM DRAIN JUNCTION BOX, APWA PLAN 332, W/ LID AND
PLAN 302.1 FRAME AND COVER
3346 STORM DRAIN CATCH BASIN, APWA PLAN 315.1 W/ 308
GRATE AND FRAME
3346B STORM DRAIN CATCH BASIN, APWA PLAN 315.1 AND SNOUT
HOOD W/ 308 GRATE AND FRAME
3347 EXCAVATED STORM WATER POND
3348 STORM DRAIN COMBINATION CATCH BASIN, APWA 316
3349 STORM DRAIN JUNCTION BOX, APWA PLAN 331.1 W/ PLAN
309.2 GRATE
3350 HDPE FLARED END SECTION WITH TRASH GUARD
3371 PVC CONDUIT, 3-INCH

CONSTRUCTION NOTES


1. PROPERTY BOUNDARY (TYP)
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8. EXISTING UTILITY POLE
9. EXISTING SANITARY SEWER MANHOLE
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KEY MAP



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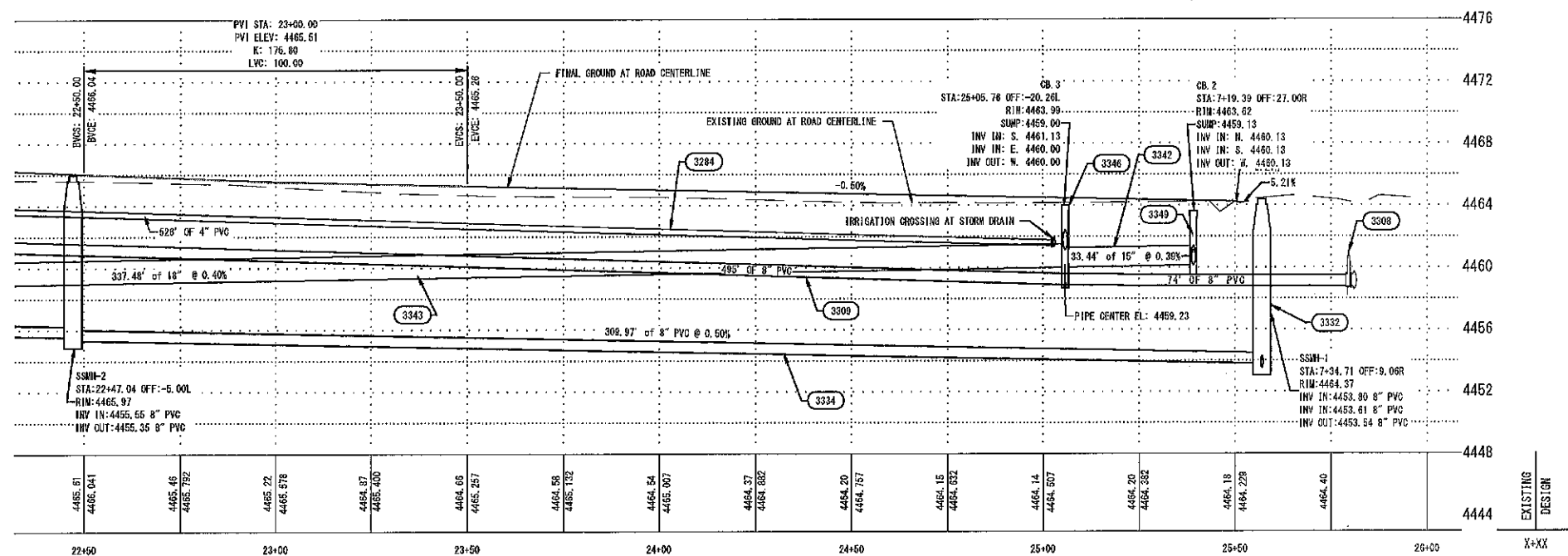
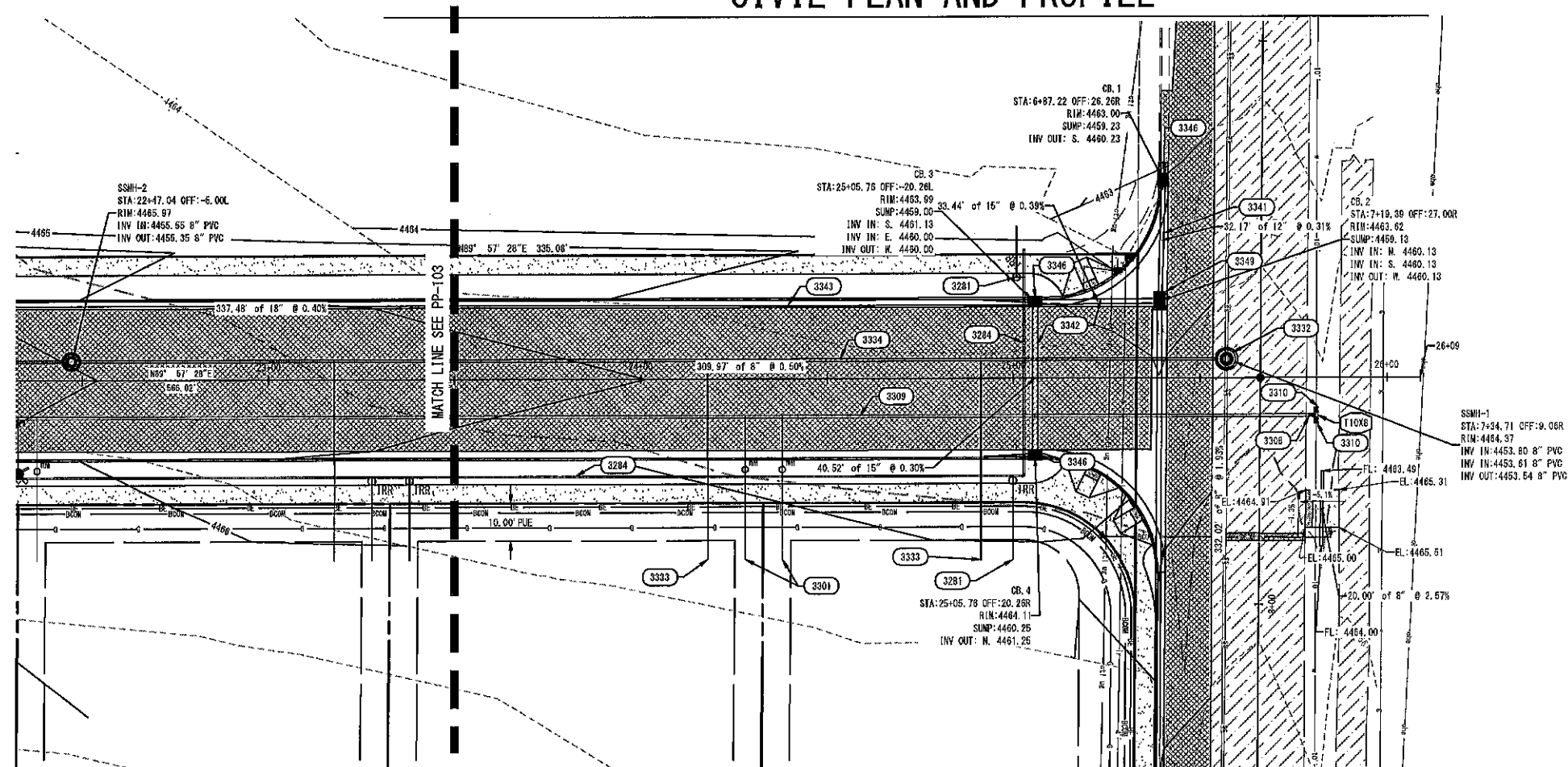


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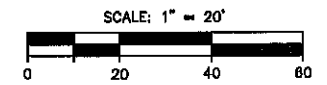
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CIVIL PLAN AND PROFILE



NORTH



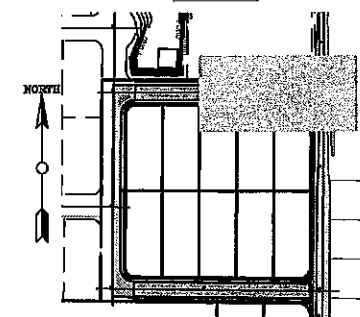
PAY ITEMS

- 3101 UNCLASSIFIED ROADWAY EXCAVATION
- 3102 8-INCH THICK GRANULAR BORROW
- 3105 STREET MONUMENT, PER CITY STANDARDS
- 3201 CONCRETE SIDE WALK, APMA PLAN 231
- 3202 CONCRETE CURB AND GUTTER, APMA 205.1 TYPE A. SEE TYPICAL SECTIONS
- 3205 3-INCH THICK ASPHALT, 1/2-INCH MIX, PG 64-28 DN-3/4" CLASS III
- 3206 16 UNIT COMMUNITY MAILBOX W/ 6" x 42" x 42" CONCRETE PAD.
- 3211 6-INCH THICK ROAD BASE, SEE TYPICAL SECTION
- 3216 CURB RAMP, APMA PLAN 235.1
- 3261 SECONDARY WATER SERVICE, 1 INCH
- 3284 PURPLE PVC PIPE, 4-INCH ANMA C900 SDR 18 IRRIGATION MAIN
- 3285 3-INCH IRRIGATION RISER VALVE ASSEMBLY
- 3286 PURPLE PVC PIPE, 6-INCH ANMA C900 SDR 18 IRRIGATION MAIN
- 3301 POTABLE WATER SERVICE, 3/4-INCH, CITY STD
- 3304 GATE VALVE, 4-INCH, ANMA C509
- 3306 GATE VALVE, 6-INCH, ANMA C509
- 3308 GATE VALVE, 8-INCH, ANMA C509
- 3309 BLUE PVC PIPE, 8-INCH, ANMA C900 SDR 18 WATER MAIN
- 3310 GATE VALVE, 10-INCH, ANMA C509
- 3319 FIRE HYDRANT ASSEMBLY, CITY STD
- 3321 AIR RELEASE VALVE ASSEMBLY, CITY STD
- 3322 2-INCH BLOW OFF ASSEMBLY, CITY STD W/ COCK. COLLAR
- 3331 SANITARY SEWER MANHOLE, 4-FT DIAMETER, COMPLETE, APMA PLAN 402, 411, 413
- 3332 SANITARY SEWER MANHOLE, 5-FT DIAMETER, COMPLETE, APMA PLAN 402, 411, 413
- 3333 PVC SDR 35 SANITARY SEWER LATERAL, APMA PLAN 431
- 3334 PVC SANITARY SEWER PIPE, 8-INCH, SDR 35, APMA PLAN 381
- 3341 ADS N-12 STORM DRAIN PIPE, 8-INCH, APMA PLAN 381
- 3342 ADS N-12 STORM DRAIN PIPE, 15-INCH, APMA PLAN 381
- 3343 ADS N-12 STORM DRAIN PIPE, 18-INCH, APMA PLAN 381
- 3344 ADS N-12 STORM DRAIN PIPE, 24-INCH, APMA PLAN 381
- 3345 STORM DRAIN JUNCTION BOX, APMA PLAN 332, 1/2 LID AND PLAN 302.1 FRAME AND COVER
- 3346 STORM DRAIN CATCH BASIN, APMA PLAN 316.1 W/ 308 GRATE AND FRAME
- 3346H STORM DRAIN CATCH BASIN, APMA PLAN 316.1 AND SHOOT HOOD W/ 308 GRATE AND FRAME
- 3347 EXCAVATED STORM WATER POND
- 3348 STORM DRAIN COMBINATION CATCH BASIN, APMA 316
- 3349 STORM DRAIN JUNCTION BOX, APMA PLAN 331.1 W/ PLAN 309.2 GRATE
- 3350 HDPE FLARED END SECTION WITH TRASH GUARD
- 3371 PVC CONDUIT, 3-INCH

CONSTRUCTION NOTES

1. PROPERTY BOUNDARY (TYP)
2. EXISTING SEWER MAIN
3. EXISTING WATER MAIN
4. EXISTING IRRIGATION MAIN
5. EXISTING GAS, DOMINION ENERGY
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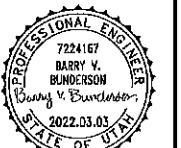
KEY MAP



Project Name:

HARVESTER MEADOW
SUBDIVISION
GRANTSVILLE, TOOELE
COUNTY, UTAH

CIVIL PROJ-EX, INC
ENGINEERS & PLANNERS
96 QUIRK STREET
GRANTSVILLE, UTAH 84029



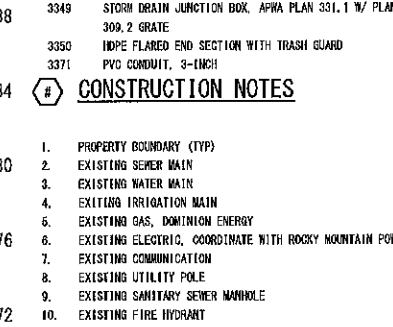
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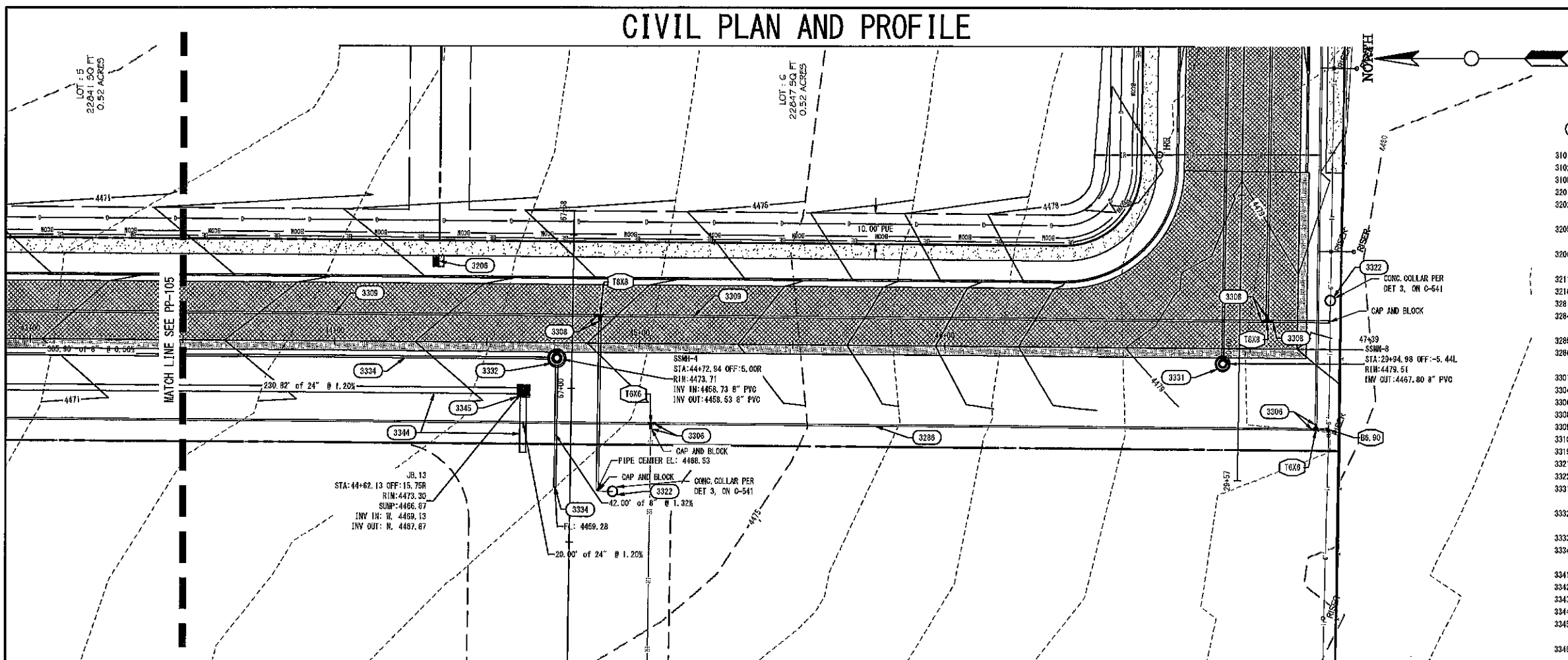
1. PROPERTY BOUNDARY (TYP)
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3. EXISTING WATER MAIN
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3101 UNCLASSIFIED ROADWAY EXCAVATION
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3106 STREET MOUNTMENT, PER CITY STANDARDS
3201 CONCRETE SIDE WALK, APWA PLAN 231
3202 CONCRETE CURB AND GUTTER, APWA 206.1 TYPE A, SEE
TYPICAL SECTIONS
3206 3-INCH THICK ASPHALT, 1/2-INCH THICK, PG 64-28 UN-5
CLASS III
3206 16 UNIT COMPARTMENT MAILBOX W/ 6" x 42" x 42" CONCRETE
PAD.
3211 6-INCH THICK ROAD BASE, SEE TYPICAL SECTION
3216 CURB RAMP, APWA PLAN 230.1
3281 SECONDARY WATER SERVICE, 1 INCH
3284 PURPLE PVC PIPE, 4-INCH ANNIA C900 SDR 18 IRRIGATION
MAIN
3285 3-INCH IRRIGATION RISER VALVE ASSEMBLY
3286 PURPLE PVC PIPE, 6-INCH ANNIA C900 SDR 18 IRRIGATION
MAIN
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3306 GATE VALVE, 4-INCH, ANNIA C509
3306 GATE VALVE, 6-INCH, ANNIA C509
3308 GATE VALVE, 8-INCH, ANNIA C509
3309 BLUE PVC PIPE, 8-INCH, ANNIA C900 SDR 18 WATER MAIN
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3321 AIR RELEASE VALVE ASSEMBLY, CITY STD
3322 12-INCH BLOW OFF ASSEMBLY, CITY STD W/ CONC. COLLAR
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APWA PLAN 402, 411, 413
3332 SANITARY SENDER MANHOLE, 5-FT DIAMETER, COMPLETE,
APWA PLAN 402, 411, 413
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3334 PVC SANITARY SENDER PIPE, 8-INCH, SDR 35, APWA PLAN
381
3341 ADS N-12 STORM DRAIN PIPE, 8-INCH, APWA PLAN 381
3342 ADS N-12 STORM DRAIN PIPE, 15-INCH, APWA PLAN 38
3343 ADS N-12 STORM DRAIN PIPE, 18-INCH, APWA PLAN 38
3344 ADS N-12 STORM DRAIN PIPE, 24-INCH, APWA PLAN 38
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PLAN 302.1 FRAME AND COVER
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3346H STORM DRAIN CATCH BASIN, APWA PLAN 315.1, AND SNO
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309.2 GRATE
3350 HDPE FLARED END SECTION WITH TRASH GUARD
3371 PVC CONDUIT, 3-INCH

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			Project Number 19--45020	Designed By BVB				
Sheet Name: PP-105								

CIVIL PLAN AND PROFILE



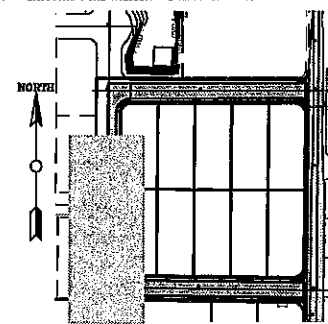
PAY ITEMS

- | Item | Description |
|-------|--|
| 3101 | UNCLASSIFIED ROADWAY EXCAVATION |
| 3102 | 8-INCH THICK GRANULAR BORROW |
| 3105 | STREET MONUMENT, PER CITY STANDARDS |
| 3201 | CONCRETE SIDE WALK, APWA PLAN 231 |
| 3202 | CONCRETE CURB AND GUTTER, APWA 205.1 TYPE A, SEE TYPICAL SECTIONS |
| 3205 | 3-INCH THICK ASPHALT, 1/2-INCH MIX, PG 64-28 DM-3/4" CLASS III |
| 3206 | 16 UNIT COMMUNITY MAILBOX W/ 6" x 42" x 42" CONCRETE PAD |
| 3211 | 6-INCH THICK ROAD BASE, SEE TYPICAL SECTION |
| 3216 | CURB RAMP, APWA PLAN 235.1 |
| 3281 | SECONDARY WATER SERVICE, 1 INCH |
| 3284 | PURPLE PVC PIPE, 4-INCH ANNA C500 SDR 18 IRRIGATION MAIN |
| 3285 | 3-INCH IRRIGATION RISER VALVE ASSEMBLY |
| 3286 | PURPLE PVC PIPE, 6-INCH ANNA C500 SDR 18 IRRIGATION MAIN |
| 3301 | POTABLE WATER SERVICE, 3/4-INCH, CITY STD |
| 3304 | GATE VALVE, 4-INCH, ANNA C509 |
| 3306 | GATE VALVE, 6-INCH, ANNA C509 |
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| 3332 | SANITARY SEWER MANHOLE, 6-FT DIAMETER, COMPLETE, APWA PLAN 402, 411, 413 |
| 3333 | PVC SDR 35 SANITARY SEWER LATERAL, APWA PLAN 431 |
| 3334 | PVC SANITARY SEWER PIPE, 8-INCH, SDR 35, APWA PLAN 381 |
| 3341 | ADS N-12 STORM DRAIN PIPE, 8-INCH, APWA PLAN 381 |
| 3342 | ADS N-12 STORM DRAIN PIPE, 15-INCH, APWA PLAN 381 |
| 3343 | ADS N-12 STORM DRAIN PIPE, 18-INCH, APWA PLAN 381 |
| 3344 | ADS N-12 STORM DRAIN PIPE, 24-INCH, APWA PLAN 381 |
| 3345 | STORM DRAIN JUNCTION BOX, APWA PLAN 332, W/ LID AND PLAN 302.1 FRAME AND COVER |
| 3346 | STORM DRAIN CATCH BASIN, APWA PLAN 316.1 W/ 308 GRATE AND FRAME |
| 3346H | STORM DRAIN CATCH BASIN, APWA PLAN 315.1 AND SNOOT HOOD W/ 308 GRATE AND FRAME |
| 3347 | EXCAVATED STORM WATER POND |
| 3348 | STORM DRAIN COMBINATION CATCH BASIN, APWA 316 |
| 3349 | STORM DRAIN JUNCTION BOX, APWA PLAN 331.1 W/ PLAN 308.2 GRATE |
| 3350 | HDPE FLARED END SECTION WITH TRASH GUARD |
| 3371 | PVC CONDUIT, 3-INCH |

CONSTRUCTION NOTES

- PROPERTY BOUNDARY (TYP)
- EXISTING SENER MAIN
- EXISTING WATER MAIN
- EXISTING IRRIGATION MAIN
- EXISTING GAS, DOMINION ENERGY
- EXISTING ELECTRIC, COORDINATE WITH ROCKY MOUNTAIN POWER
- EXISTING COMMUNICATION
- EXISTING UTILITY POLE
- EXISTING SANITARY SEWER
- EXISTING FIRE HYDRANT

KEY MAP



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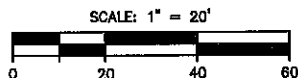


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CIVIL PLAN AND PROFILE

NORTH



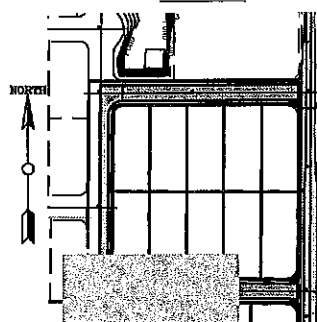
PAY ITEMS

- 3101 UNCLASSIFIED ROADWAY EXCAVATION
- 3102 6-INCH THICK GRANULAR BORROW
- 3105 STREET MONUMENT, PER CITY STANDARDS
- 3201 CONCRETE SIDE WALK, APWA PLAN 231
- 3202 CONCRETE CURB AND GUTTER, APWA 205.1 TYPE A, SEE TYPICAL SECTIONS
- 3205 3-INCH THICK ASPHALT, 1/2-INCH MIX, PG 64-28 DW-3/4" CLASS III
- 3206 16 UNIT COMMUNITY MAILBOX W/ 6" x 42" x 42" CONCRETE PAD
- 3211 6-INCH THICK ROAD BASE, SEE TYPICAL SECTION
- 3216 CURB RAMP, APWA PLAN 235.1
- 3281 SECONDARY WATER SERVICE, 1 INCH
- 3284 PURPLE PVC PIPE, 4-INCH AWWA C900 SDR 18 IRRIGATION MAIN
- 3285 3-INCH IRRIGATION RISER VALVE ASSEMBLY
- 3286 PURPLE PVC PIPE, 6-INCH AWWA C900 SDR 18 IRRIGATION MAIN
- 3301 POTABLE WATER SERVICE, 3/4-INCH, CITY STD
- 3304 GATE VALVE, 4-INCH, AWWA C509
- 3306 GATE VALVE, 6-INCH, AWWA C509
- 3308 GATE VALVE, 8-INCH, AWWA C509
- 3309 BLUE PVC PIPE, 8-INCH, AWWA C900 SDR 18 WATER MAIN
- 3310 GATE VALVE, 10-INCH, AWWA C509
- 3319 FIRE HYDRANT ASSEMBLY, CITY STD
- 3321 ATR RELEASE VALVE ASSEMBLY, CITY STD
- 3322 2-INCH BLOW OFF ASSEMBLY, CITY STD W/ CONG. COLLAR
- 3331 SANITARY SEWER MANHOLE, 4-FT DIAMETER, COMPLETE, APWA PLAN 402, 411, 413
- 3332 SANITARY SEWER MANHOLE, 5-FT DIAMETER, COMPLETE, APWA PLAN 402, 411, 413
- 3333 PVC SDR 35 SANITARY SEWER LATERAL, APWA PLAN 431
- 3334 PVC SANITARY SEWER PIPE, 8-INCH, SDR 35, APWA PLAN 381
- 3341 ADS N-12 STORM DRAIN PIPE, 8-INCH, APWA PLAN 381
- 3342 ADS N-12 STORM DRAIN PIPE, 15-INCH, APWA PLAN 381
- 3343 ADS N-12 STORM DRAIN PIPE, 18-INCH, APWA PLAN 381
- 3344 ADS N-12 STORM DRAIN PIPE, 24-INCH, APWA PLAN 381
- 3345 STORM DRAIN JUNCTION BOX, APWA PLAN 332, W/ LID AND PLAN 302.1 FRAME AND COVER
- 3346 STORM DRAIN CATCH BASIN, APWA PLAN 315.1 W/ 308 GRATE AND FRAME
- 3346H STORM DRAIN CATCH BASIN, APWA PLAN 315.1 AND SNOUT HOOD W/ 308 GRATE AND FRAME
- 3347 EXCAVATED STORM WATER POND
- 3348 STORM DRAIN COMBINATION CATCH BASIN, APWA 318
- 3349 STORM DRAIN JUNCTION BOX, APWA PLAN 331.1 W/ PLAN 309.2 GRATE
- 3350 HOPE FLARED END SECTION WITH TRASH GUARD
- 3371 PVC CONDUIT, 3-INCH

CONSTRUCTION NOTES

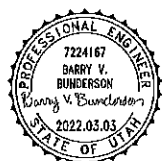
- PROPERTY BOUNDARY (TYP)
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- EXISTING COMMUNICATION
- EXISTING UTILITY POLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT

KEY MAP



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Sheet Name:

PP-107

FINAL INFRASTRUCTURE

HARVEST MEADOW
SUBDIVISION
GRANTSVILLE, TOOELE
COUNTY, UTAH

Project Name:

CIVIL PROJ-EX, INC
ENGINEERS & PLANNERS
966 QUIRK STREET
GRANTSVILLE, UTAH 84029

Project Number:
19-45020

Designed By:
BVB

Drawn By:
BVB

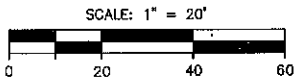
Date Issued:
2022.03.03

Revisions

By Date

CIVIL PLAN AND PROFILE

NORTH



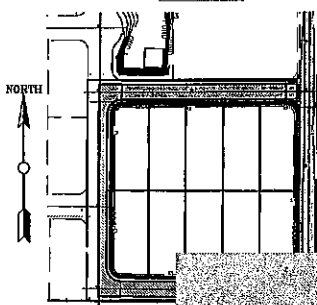
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3321 AIR RELEASE VALVE ASSEMBLY, CITY STD
3322 2-INCH BLOW OFF ASSEMBLY, CITY STD W/ CONC. COLLAR
3331 SANITARY SENDER MANHOLE, 4-FT DIAMETER, COMPLETE, APWA PLAN 402, 411, 413
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3333 PVC SDR 35 SANITARY SEWER LATERAL, APWA PLAN 431
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3344 ADS N-12 STORM DRAIN PIPE, 24-INCH, APWA PLAN 381
3345 STORM DRAIN JUNCTION BOX, APWA PLAN 332, 1/4" LID AND PLAN 302.1 FRAME AND COVER
3346 STORM DRAIN CATCH BASIN, APWA PLAN 315, 1 1/4" 306 GRATE AND FRAME
3346H STORM DRAIN CATCH BASIN, APWA PLAN 315, 1 AND SHOUT HOOD W/ 308 GRATE AND FRAME
3347 EXCAVATED STORM WATER POND
3348 STORM DRAIN COMBINATION CATCH BASIN, APWA 316
3349 STORM DRAIN JUNCTION BOX, APWA PLAN 331, 1 1/4" PLAN 306.2 GRATE
3350 HOPE FLARED END SECTION WITH TRASH GUARD
3371 PVC CONDUIT, 3-INCH

CONSTRUCTION NOTES

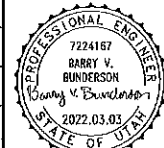
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KEY MAP



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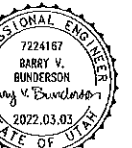
PP-108

FINAL INFRASTRUCTURE

HARVEST MEADOW
SUBDIVISION
GRANTSVILLE, TOOELE
COUNTY, UTAH

Project Name:

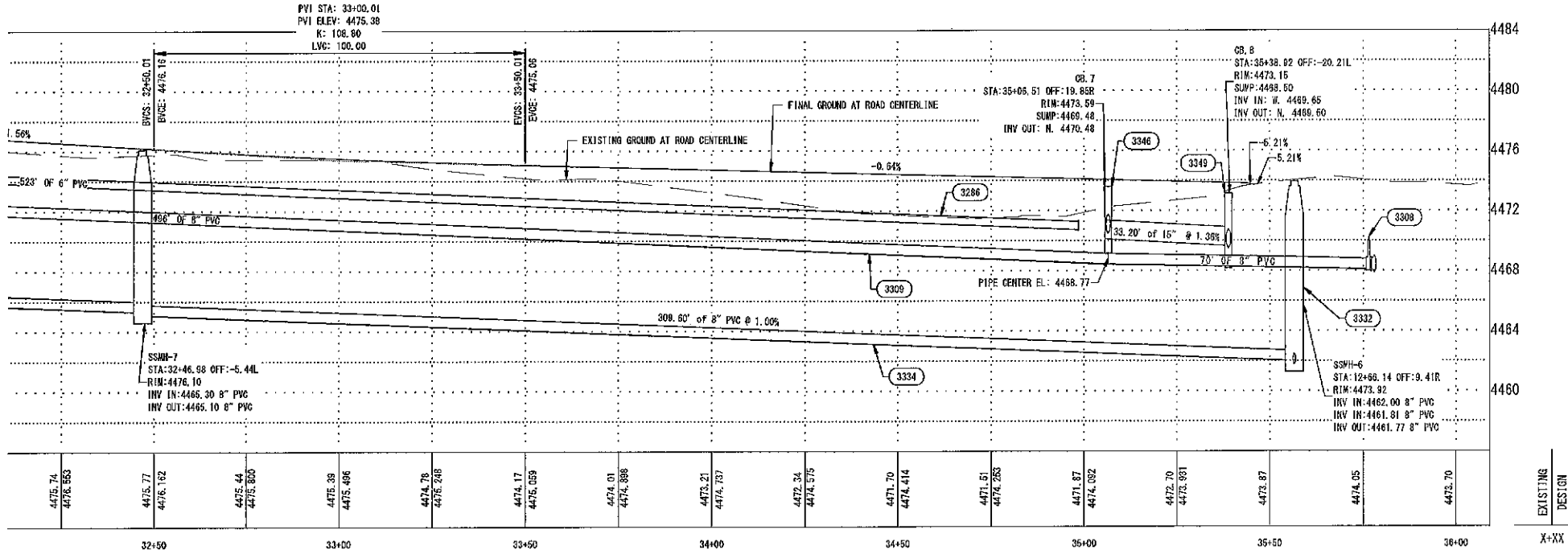
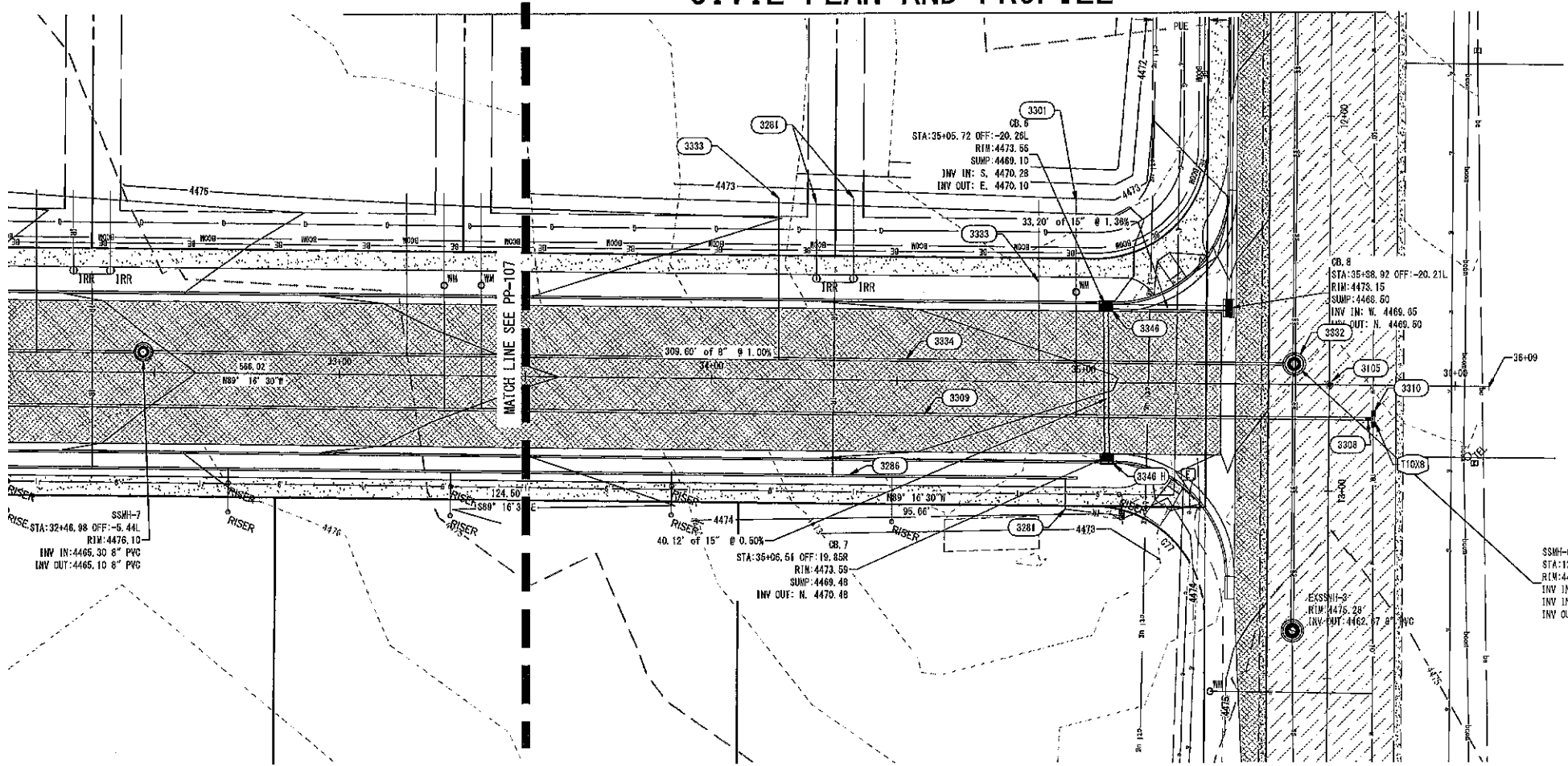
CIVIL PROJ-EX, INC
ENGINEERS & PLANNERS
96 QUIRK STREET
GRANTSVILLE, UTAH 84029



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Sheet Name:

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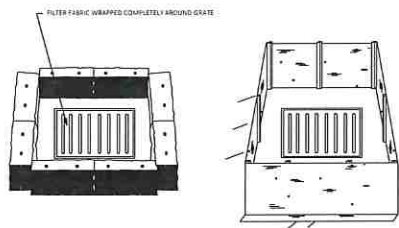


EXISTING
DESIGN
X-XX

CIVIL ENVIRONMENTAL CONTROL DETAILS

- Inlet protection - fence or straw bale**
- GENERAL
 - Description: A temporary sediment barrier around storm drain inlet.
 - Application: At inlets in paved or unpaved areas where up gradient area is to be disturbed by construction activities.
 - PRODUCTS (Not used)
 - EXECUTION
 - Installation and application criteria:
 - Provide up gradient sediment controls, such as silt fence during construction of inlet.
 - When construction of inlet is complete erect straw bale barrier, silt fence or other approved sediment barrier surrounding perimeter of inlet.
 - Maintenance:
 - Inspect inlet protection after every large storm event and at a minimum of once monthly.
 - Remove sediment accumulated when it reaches 4-inches in depth.
 - Repair or re-align barrier or fence as needed.
 - Look for bypassing or undercutting and re-compact soil around barrier or fence as required.

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



APWA
Utah Chapter

STRAW BALE BARRIER
(PLAN No. 123)

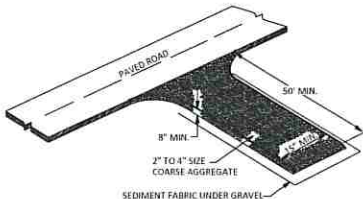
SILT FENCE
(PLAN No. 123)

Plan No. 124.3
February 2006

2 Inlet protection - fence or straw bale SCALE: NTS

- Stabilized roadway entrance**
- GENERAL
 - A temporary stabilized pad of gravel for controlling equipment and construction vehicle access to the site.
 - At any site where vehicles and equipment enter the public right of way.
 - PRODUCTS (Not used)
 - EXECUTION
 - Clear and grub area and grade to provide maximum slope of 1 percent away from paved roadway.
 - Compact subgrade.
 - Place filter fabric under stone if desired (recommended for entrance area that remains more than 3 months).
 - Maintenance:
 - Prevent tracking or flow of mud into the public right-of-way.
 - Periodic top dressing with 2-inch stone may be required, as conditions demand, and repair any structures used to trap sediments.
 - Inspect daily for loss of gravel or sediment buildup.
 - Inspect adjacent area for sediment deposit and install additional controls as necessary.
 - Expand stabilized area as required to accommodate activities.

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



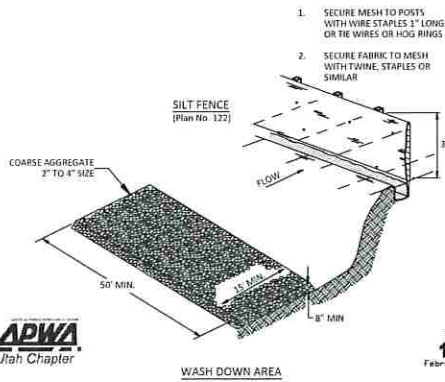
APWA
Utah Chapter

Plan No. 126
February 2006

4 Stabilized roadway entrance SCALE: NTS

- Equipment and vehicle wash down area**
- GENERAL
 - Description: A temporary stabilized pad of gravel for general washing of equipment and construction vehicles.
 - Application:
 - At any site where regular washing of vehicles and equipment will occur.
 - May also be used as a filling point for water trucks limiting erosion caused by overflow or spillage of water.
 - PRODUCTS (Not used)
 - EXECUTION
 - Clear and grub area and grade to provide maximum slope of 1 percent away from paved roadway.
 - Compact subgrade.
 - Place filter fabric under wash down area if desired (recommended for wash area that remains more than 3 months).
 - Install silt fence down gradient (see Plan 122).
 - Maintenance:
 - Requires periodic top dressing with additional stones.
 - Solely used to control sediment in wash water. Cannot be utilized for washing equipment or vehicles that may cause contamination of runoff (such as fertilizer equipment or concrete equipment).
 - Keep the wash area in a condition which will prevent tracking or flow of mud onto public rights-of-way.
 - Periodically dress the top with 2-inch stone may be required, as conditions demand, and repair any structures used to trap sediments.
 - Inspect daily for loss of gravel or sediment buildup.
 - Inspect adjacent area for sediment deposit and install additional controls as necessary.
 - Expand stabilized area as required to accommodate activities.
 - Maintain silt fence as outlined in Plan 122.

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



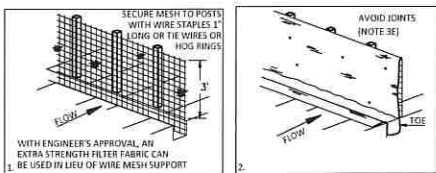
APWA
Utah Chapter

Plan No. 125
February 2006

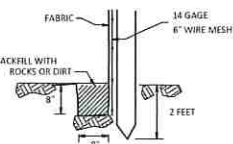
3 Equipment and vehicle wash down area SCALE: NTS

- Silt fence**
- GENERAL
 - Description: A temporary sediment barrier consisting of a filter fabric stretched across and attached to supporting posts and extended.
 - Application: To intercept sediment from disturbed areas of limited extent.
 - Perimeter Control: Place barrier at down gradient limits of disturbance.
 - Sediment Barrier: Place barrier at toe of slope or soil stockpile.
 - Protection of Existing Waterways: Place barrier at top of stream bank.
 - Inlet Protection.
 - PRODUCTS
 - Fabric: Synthetic filter fabric shall be a pervious sheet of polypropylene, nylon, polyester, or polyethylene yarn. Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizers to provide a minimum of 6 months of expected usable construction life at a temperature range of 0 deg F to 120 deg F.
 - Backup: 10 ounces per square yard of fabric.
 - Posts: Either 2" x 4" diameter wood, or 1.33 pounds per linear foot steel with a minimum length of 5 feet, or steel posts with projections for fastening wire to them.
 - EXECUTION
 - Cut the fabric on site to desired width, unroll, and drape over the barrier. Secure the fabric toe with rocks or dirt and secure the fabric to the mesh with twin staples or similar devices.
 - When attaching two silt fences together, place the end post of the second fence inside the end post of the first fence. Rotate both posts at least 180 degrees on a clockwise direction to create a tight seal with the filter fabric. Drive both posts into the ground and bury the flap.
 - When used to control sediments from a steep slope, place silt fences away from the toe of the slope for increased holding capacity.
 - Maintenance:
 - Inspect immediately after each rainfall and at least daily during prolonged rainfall.
 - Should the fabric on a silt fence or filter barrier decompose or become ineffective before the end of the expected usable life and the barrier still be necessary, replace the fabric promptly.
 - Remove sediment deposits after each storm event. They must be removed when deposits reach approximately one-half the height of the barrier.
 - Re-anchor fence as necessary to prevent undercutting.
 - Inspect for runoff bypassing ends of barriers or undercutting barriers.

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



INSTALLATION SEQUENCE

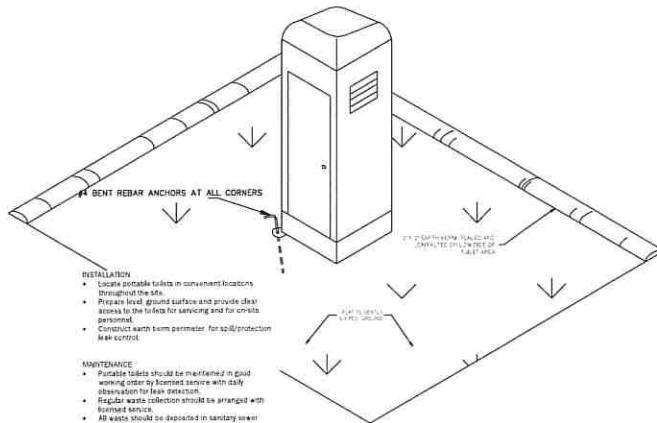


TOE DETAIL

APWA
Utah Chapter

Plan No. 122
February 2006

1 Silt fence SCALE: NTS



- INSTALLATION
- Locate portable toilets in convenient locations throughout the site.
 - Prepare level ground surface and provide clear access to the toilet for servicing and for crate personnel.
 - Construct earth berm perimeter for spill/protection leak control.

- MAINTENANCE
- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
 - Regular waste collection should be arranged with licensed service.
 - All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.

5 Toilet SCALE: NTS



6 Concrete wash-out bin SCALE: NTS

FINAL INFRASTRUCTURE

Project Number 19-45020

Designed By BVB

Drawn By BVB

Date issued 2022.03.03

HARVEST MEADOW
SUBDIVISION
GRANTSVILLE, TOOELE
COUNTY, UTAH

Project Name:

CIVIL PROJ-EX, INC
ENGINEERS & PLANNERS
900 QUIRK STREET
GRANTSVILLE, UTAH 84024



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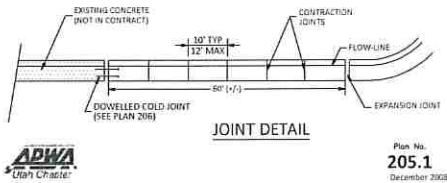
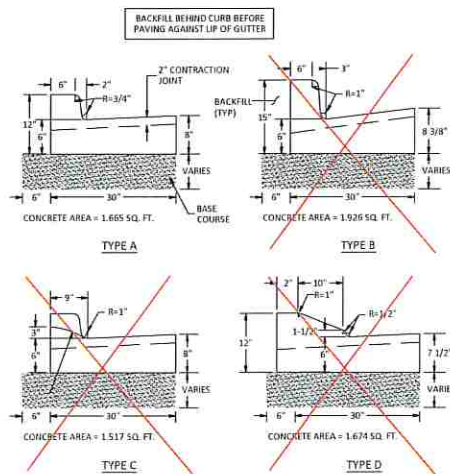
NO.	REVISIONS	BY	DATE
1	City Public Works requires 4500 PSI concrete for Public Way Improvements	BVB	8.12.21

CIVIL SURFACE INFRASTRUCTURE DETAILS

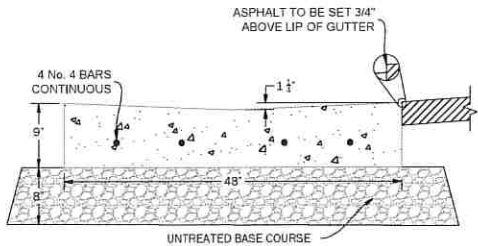
Curb and gutter

- GENERAL
 - Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER's discretion.
- PRODUCTS
 - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
 - Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
 - Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
 - Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
- EXECUTION
 - Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flowline grade is 0.5 percent (± 0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
 - Concrete Placement: APWA Section 03 30 10.
 - 1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start or end of a street intersection curb return. Expansion joints are not required in concrete placement using slip-form construction.
 - 2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement.
 - 3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
 - Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.

Concrete for all surface improvements in the Public Way including but not limited to: sidewalk, driveway entrances, pedestrian ramps, curb and gutter, water ways, manhole, vault and valve collars, and any other cast in place surface concrete features shall be constructed with minimum 4,500 psi concrete per Grantsville City Public Works.



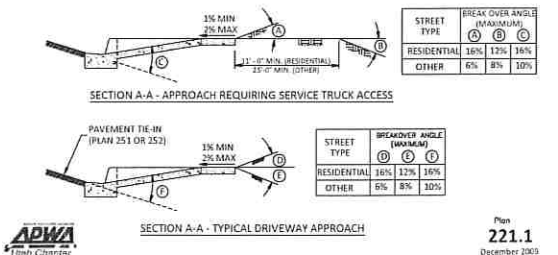
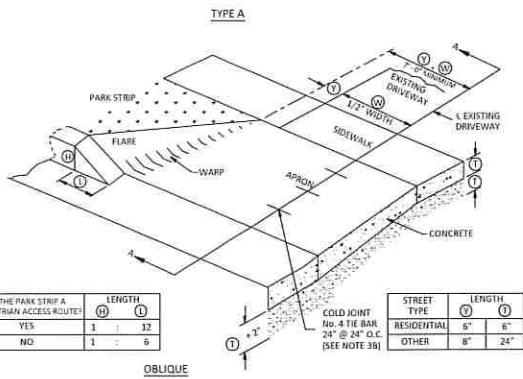
Curb and gutter



WATERWAY

Flare driveway approach

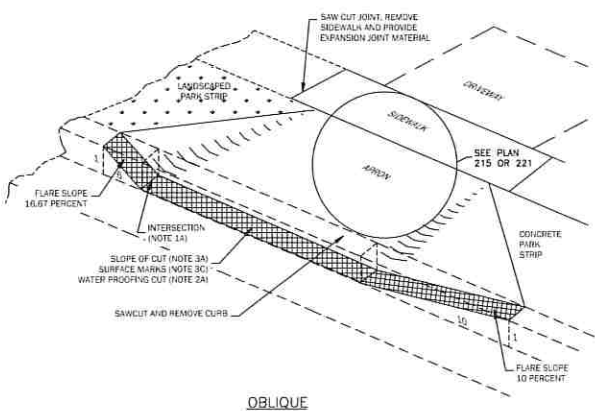
- GENERAL
 - Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER's discretion.
 - Field Changes to Slope Requirements:
 - 1) Grades may have a 6 percent change in slope over a 11 feet wheel base run for both crest or sag vertical curves.
 - 2) Where heavy truck use and fire truck access applies, or to improve design speed, design grades should be cut in half.
 - 3) Specific uses or site conditions may require profile design submittal for review and acceptance.
 - Additional requirements are specified in APWA Section 32 16 13.
- PRODUCTS
 - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
 - Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
 - Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
 - Reinforcement: Galvanized or epoxy coated, deformed, 60 ksi yield grade steel, ASTM A615.
 - Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
- EXECUTION
 - Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
 - Reinforcement: Not required if driveway apron is constructed without a cold joint.
 - Concrete Placement: APWA Section 03 30 10.
 - 1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface.
 - 2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Maximum length to width ratio for non-square panels is 1.5 to 1. Maximum panel length (in feet) is 1.5 times the slab thickness (in inches).
 - 3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
 - Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.



Saw-cut driveway approach

- GENERAL
 - The drawing shows sawing off and removing a curb for the construction of a new driveway approach. Additional requirements are specified in Plan 215 or Plan 221 for constructing driveway approach after curb is removed.
 - The slope of the right flare is required if a pedestrian access route abuts the curb. The slope of the left flare is required if a pedestrian access route DOES NOT abut the curb.
 - Variance from specified slopes must be acceptable to the ENGINEER.
- PRODUCTS
 - Water repellent: Penetrating compound, APWA Section 07 19 00.
 - Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
- EXECUTION
 - At the apron, cut the curb off so the slope of the curb cut as measured perpendicular to the flow line is 16.67 percent (1:6). Unless specified otherwise, make the curb cut intersect the flow line.
 - At the flare, cut the curb off so the slope of curb cut as measured parallel to the flow line is as follows:
 - 8.33 percent (1:12) if curb borders a surface used by pedestrians.
 - 16.67 percent (1:6) if curb does not border a surface used by pedestrians.
 - No over-cutting where cuts merge. Grind sawed surface so no blade marks remain.
 - Water proofing: Apply full coverage water repellent over cut concrete.
 - Expansion Joint: Vertical, full depth, with top of filler set flush with concrete surface.

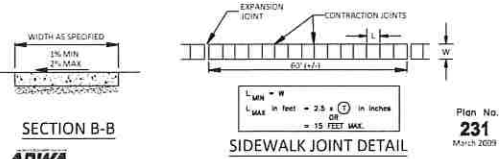
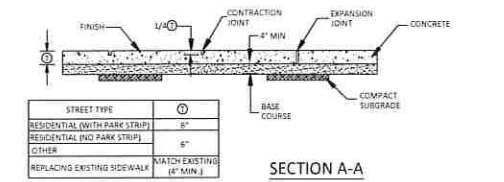
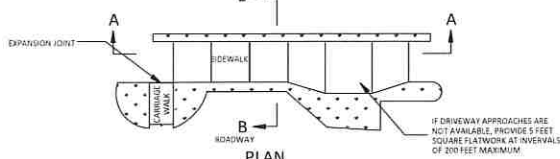
NARRATIVE: THIS PLAN IS USED IF AN EXISTING CURB MUST BE CUT TO INSTALL A DRIVEWAY APPROACH. THE SLOPE OF THE CURB FLARE DEPENDS UPON WHETHER THE PARK STRIP IS LANDSCAPED OR IF THE PARK STRIP IS CONCRETE.



OBlique

Sidewalk

- GENERAL
 - Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER's discretion.
 - Additional requirements are specified in APWA Section 32 16 13.
- PRODUCTS
 - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
 - Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
 - Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
 - Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
- EXECUTION
 - Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
 - Concrete Placement: APWA Section 03 30 10.
 - 1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface.
 - 2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Maximum length to width ratio for non-square panels is 1.5 to 1. Maximum panel length (in feet) is 1.5 times the slab thickness (in inches).
 - 3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.



Plan No. 231
March 2023

HARVEST MEADOW
SUBDIVISION
GRANTSVILLE, TOOELE
COUNTY, UTAH

Project Name:

CIVIL PROJ-EX, INC
ENGINEERS & PLANNERS
900 QUIRK STREET
GRANTSVILLE, UTAH 84029



3/3/2022 4:37:12 PM

Sheet Name:

C-521

By	BVB	8/2/21
Revisions		
No.		

FINAL INFRASTRUCTURE	Designed By	BVB
Project Number	19-45020	
Drawn By	BVB	
Date Issued	2022.03.03	

1 CONCRETE CURB AND GUTTER
SCALE: NTS

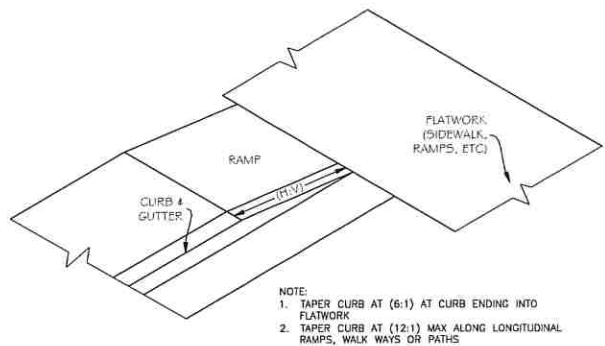
3 Flare driveway approach
SCALE: NTS

4 Saw-cut driveway approach
SCALE: NTS

5 Sidewalk
SCALE: NTS

Plan No. 222
February 2011

CIVIL SURFACE INFRASTRUCTURE DETAILS



1 TAPER CURB
SCALE: NTS

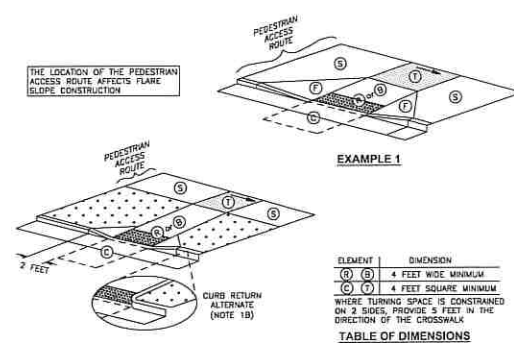
- NOTE:
1. TAPER CURB AT (6:1) AT CURB ENDING INTO FLATWORK
2. TAPER CURB AT (12:1) MAX ALONG LONGITUDINAL RAMPS, WALKWAYS OR PATHS

Concrete for all surface improvements in the Public Way including but not limited to: sidewalk, driveway entrances, pedestrian ramps, curb and gutter, water ways, manhole, vault and valve collars, and any other cast in place surface concrete features shall be constructed with minimum 4,500 psi concrete per Grantsville City Public Works.

Mid-block curb cut assembly

1. GENERAL
A. Where existing elements or spaces are altered to receive an assembly, slopes and dimensions shall comply with slopes and dimensions shown on the drawing, or to the maximum extent feasible permitted by the ENGINEER. Final configuration of the assembly may be different than shown.
B. Installation of a curb wall is ENGINEER's choice.
C. Definitions and supplemental requirements are specified in APWA Section 32 16 14.
2. PRODUCTS
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
C. Detectable Warning Surface: Paver, ribbed composite panel, or tile. Provide a color that contrasts with adjacent walking surface, either light-on-dark or dark-on-light. ENGINEER to select type and color unless indicated elsewhere.
D. Concrete: Class 4000, APWA Section 03 30 04.
E. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
3. EXECUTION
A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
B. Curb Modifications:
1) The sloped surface created to accommodate the ramp or approach areas shall be perpendicular to the back of curb.
2) No grade break shall exist between the flow-line and the turning space. Length of the curb modification abutting the turning space is 4 feet minimum.
C. Curb Ramp: Length not required to exceed 15 feet. Grade breaks are perpendicular to the direction of ramp run and are not permitted on the ramp or turning space surface. Sides are parallel to each other and perpendicular to the ends.
D. Concrete Placement: APWA Section 03 30 10.
1) Maximum length to width ratio for rectangular panel joints is 1.5 to 1. Joint spacing measured in feet not to exceed twice slab thickness measured in inches or a maximum of 15 feet.
2) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install contraction joints vertical, 1/8-inch wide, and 1/4 of the depth of the concrete flatwork.
3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
E. Clear Space: No trip hazards in the clear space.

TURNING SPACE AT SIDEWALK LEVEL



EXAMPLE 1

ELEMENT	DIMENSION
(A) (B) 4 FEET WIDE MINIMUM	
(C) (T) 4 FEET SQUARE MINIMUM	

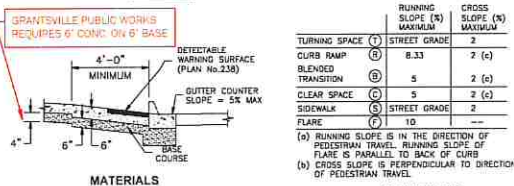
WHERE TURNING SPACE IS CONSTRAINED ON 2 SIDES, PROVIDE 5 FEET IN THE DIRECTION OF THE CROSSWALK

TABLE OF DIMENSIONS

	RUNNING SLOPE (%) MAXIMUM	CROSS SLOPE (%) MAXIMUM
TURNING SPACE (T)	STREET GRADE	2
CURB RAMP (B)	8.33	2 (c)
BLENDED TRANSITION (S)	5	2 (c)
CLEAR SPACE (C)	5	2 (c)
SIDEWALK (S)	STREET GRADE	2
FLARE (C)	TD	

(a) RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL. RUNNING SLOPE OF FLARE IS PARALLEL TO BACK OF CURB
(b) CROSS SLOPE IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAVEL

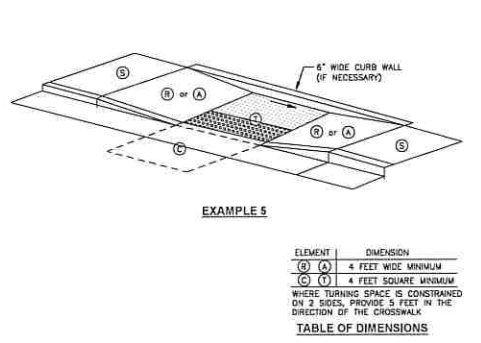
EXAMPLE 2



MATERIALS

SLOPE TABLE

TURNING SPACE AT STREET LEVEL



EXAMPLE 3

ELEMENT	DIMENSION
(A) (B) 4 FEET WIDE MINIMUM	
(C) (T) 4 FEET SQUARE MINIMUM	

WHERE TURNING SPACE IS CONSTRAINED ON 2 SIDES, PROVIDE 5 FEET IN THE DIRECTION OF THE CROSSWALK

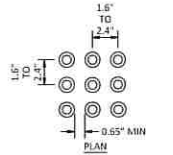
TABLE OF DIMENSIONS

	RUNNING SLOPE (%) MAXIMUM	CROSS SLOPE (%) MAXIMUM
TURNING SPACE (T)	STREET GRADE	2
CURB RAMP (B)	8.33	2
CLEAR SPACE (C)	5	STREET GRADE
SIDEWALK (S)	STREET GRADE	2
APPROACH (A)	8.33	2

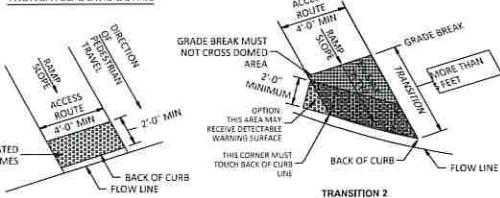
(a) RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL. RUNNING SLOPE OF FLARE IS PARALLEL TO BACK OF CURB
(b) CROSS SLOPE IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAVEL

SLOPE TABLE

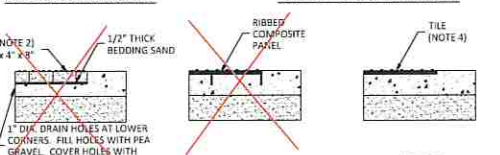
1. GENERAL
A. Detectable warnings consist of a surface of truncated domes aligned in a square or radial grid pattern with dome size, dome spacing, contrast and panel size as indicated.
B. Definitions and supplemental requirements are specified in APWA Section 32 16 14.
2. PRODUCTS
A. Pavers:
1) Concrete, APWA Section 32 14 13.
2) Brick and Mortar, APWA Section 32 14 16.
B. Tile: Unless indicated elsewhere, selection is by CONTRACTOR as allowed by ENGINEER.
C. Ribbed Composite Panel: Unless indicated elsewhere, selection is by CONTRACTOR as allowed by ENGINEER.
D. Bedding Sand, Joint Sand, Geotextile: APWA Section 32 14 13.
3. EXECUTION
A. Layout:
1) Joints Between Units: 3/16 inch maximum or manufacturer's recommendation.
2) Flares: Do not install detectable warning units on flared surfaces.
3) Alignment: Where a ramp, turning space, or blended transition provides access to the street continuously around a corner, align the vertical rows of truncated domes to be perpendicular or radial to the grade break between the ramp and the street for a 4 feet minimum width for each crosswalk served.
4) Transition 1 or 2: Selection is by ENGINEER unless indicated elsewhere.
5) At Rail Crossings: The edge of the detectable warning surface nearest the rail crossing is 6 feet minimum and 15 feet maximum from the centerline of the nearest rail.
B. Paver Installation: APWA Section 32 14 13. If paver must be cut, minimum paver cut length is 3/4 paver, or 1/2 paver length providing the adjacent paver is also reduced no more than 1/2 its original length. Do not cut pavers longitudinally. Remove domes that were cut.
C. Tile Installation: Install according to manufacturer's recommendations. Remove domes that were cut.
D. Ribbed Composite Panel Installation: Install according to manufacturer's recommendation. Remove domes that were cut. Seal cuts to prevent water intrusion.



TRUNCATED DOME DETAIL



PERPENDICULAR ASSEMBLY



NON-PERPENDICULAR ASSEMBLY

STYLE-P

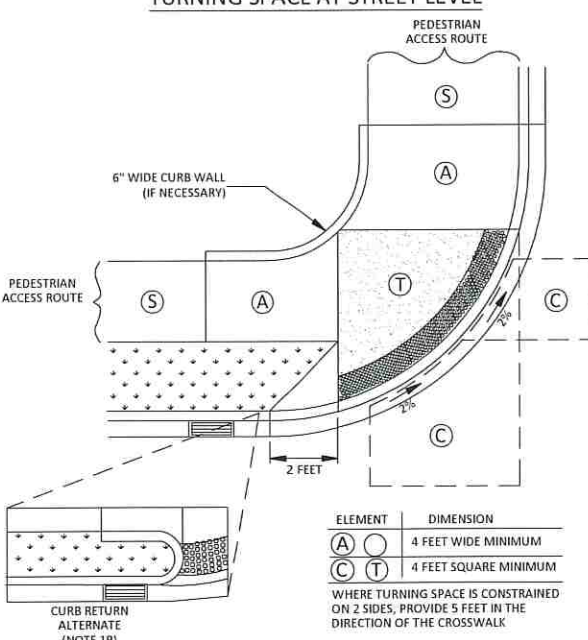
STYLE-R

STYLE-T

Corner curb cut assembly

1. GENERAL
A. Where existing elements or spaces are altered to receive an assembly, slopes and dimensions shall comply with slopes and dimensions shown on the drawing, or to the maximum extent feasible permitted by the ENGINEER. Final configuration of the assembly may be different than shown. Where physical constraints (e.g. utility covers, poles, vaults, etc.) prevent compliance, a single diagonal curb cut assembly may serve both pedestrian street crossings.
B. Installation of a curb wall, flares, or curb returns is ENGINEER's choice.
C. Definitions and supplemental requirements are specified in APWA's Section 32 16 14.
2. PRODUCTS
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
C. Detectable Warning Surface: Paver, ribbed composite panel, or tile. Provide a color that contrasts with adjacent walking surface, either light-on-dark or dark-on-light. ENGINEER to select type and color unless indicated elsewhere.
D. Concrete: Class 4000, APWA Section 03 30 04.
E. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
3. EXECUTION
A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
B. Curb Modifications:
1) The sloped surface created to accommodate a flare or an approach area shall be perpendicular to the back of curb.
2) No grade break shall exist between the flow-line and the turning space. Length of the curb modification abutting the turning space is 4 feet minimum for each crosswalk served.
C. Curb Wall: Set top of curb wall equal to elevation of extended lateral lines of sidewalk.
D. Concrete Placement: APWA Section 03 30 10.
1) Maximum length to width ratio for rectangular panel joints is 1.5 to 1. Joint spacing measured in feet not to exceed twice slab thickness measured in inches or a maximum of 15 feet.
2) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install contraction joints vertical, 1/8-inch wide, and 1/4 of the depth of the concrete flatwork.
3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
E. Clear Space: No hazards in the clear space.

TURNING SPACE AT STREET LEVEL



ELEMENT	DIMENSION
(A) (B) 4 FEET WIDE MINIMUM	
(C) (T) 4 FEET SQUARE MINIMUM	

WHERE TURNING SPACE IS CONSTRAINED ON 2 SIDES, PROVIDE 5 FEET IN THE DIRECTION OF THE CROSSWALK

TABLE OF DIMENSIONS

	RUNNING SLOPE (%) MAXIMUM	CROSS SLOPE (%) MAXIMUM
TURNING SPACE (T)	2	2
CLEAR SPACE (C)	5	2 (c)
SIDEWALK (S)	STREET GRADE	2
APPROACH (A)	8.33	2

- (a) RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL. RUNNING SLOPE OF FLARE IS PARALLEL TO BACK OF CURB
(b) CROSS SLOPE IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAVEL

SLOPE TABLE

Plan No. 235.2
August 2011

5 Corner curb cut assembly

SCALE: NTS



2 Mid-block curb cut assembly

SCALE: NTS

Plan 236.1
September 2011



3 Midblock curb cut assembly

SCALE: NTS

Plan 236.3
September 2011



4 Detectable warning surface

SCALE: NTS

Plan 238
July 2011

HARVEST MEADOW
SUBDIVISION
GRANTSVILLE, TOOELE
COUNTY, UTAH

Project Name:
CIVIL PROJ-EX, INC.
ENGINEERS & PLANNERS
900 QUINN STREET
GRANTSVILLE, UTAH 84024



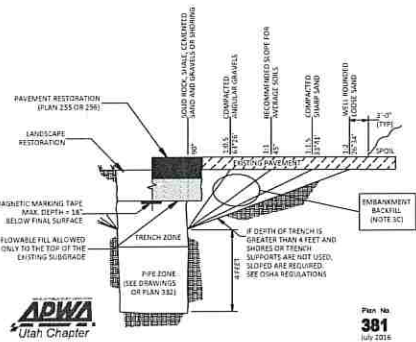
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C-522

CIVIL STORM DRAIN DETAILS

Concrete for all surface improvements in the Public Way including but not limited to, sidewalk, driveway entrances, pedestrian ramps, curb and gutter, water ways, manhole, vault and valve collars, and any other cast in place surface concrete features shall be constructed with minimum 4,500 psi concrete per Grantsville City Public Works.

- Trench backfill**
- GENERAL
A. The drawing applies to backfilling a trench (and embankment) above the pipe zone.
 - PRODUCTS
A. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 3-inches.
B. Flowable Fill: APWA Section 31 05 15. Target is 60 psi in 28 days, it must flow easily requiring no vibration for consolidation.
 - EXECUTION
A. Trench Backfill Above the Pipe Zone: Follow requirement indicated in APWA Section 33 05 20 and the following provisions. See Standard Plan 382 for backfilling the pipe zone.
(1) DO NOT USE sewer rock, pea gravel, or recycled RAP aggregate as trench backfill.
(2) Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.
(3) Water jetting is NOT allowed.
B. Flowable Fill: If controlled low strength material is placed in the trench. Cure the material before placing surface restorations.
C. Embankment Backfill: When trench sides are sloped proceed as follows:
(1) Maximum lift thickness is 8-inches before compaction.
(2) Compact per APWA Section 31 23 26 to 95 percent or greater relative to a standard proctor density.
(3) Submission of quality control compaction test result data may be requested by ENGINEER at any time. Provide results of tests immediately upon request.
D. Surface Restoration:
(1) Landscaped Surface: Follow APWA Section 32 92 00 (turf or grass) or APWA Section 32 93 13 (groundcover) requirements. Rake to match existing grade. Replace vegetation to match pre-construction conditions.
(2) Paved Surface: Follow APWA Section 33 05 25 (bituminous pavement surfacing), or APWA Section 33 05 25 (concrete pavement surfacing). Do not install surfacing until compaction density is acceptable to ENGINEER.

NARRATIVE: THIS PLAN SHOWS VARIOUS SLOPE RECOMMENDATIONS FOR VARIOUS TYPES OF SLOPE STABILITY PROBLEMS. THE DESIGNER MUST CHECK THE APPROPRIATE SLOPE STABILITY REQUIREMENTS AND THE SERVICES OF A PROFESSIONAL SOILS ENGINEER SHOULD BE USED TO VERIFY SLOPE STABILITY.



Trench backfill

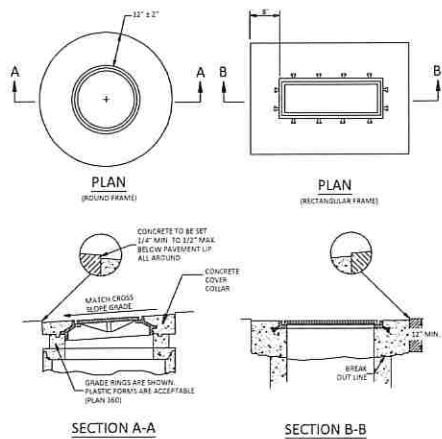
ADDITIONAL GRANTSVILLE CITY TRENCH ZONE NOTES

- PAVED ROADWAY: Above the pipe zone.
A. Granular Borrow APWA Section 31 05 13. Limit maximum particle size to 6 inches. Place fill per APWA Section 33 05 20. Compact to a modified proctor density of 95 percent or greater. Maximum lift thickness is 8 inches before compaction. Do not use clay without ENGINEER'S review and acceptance. Water jetting is NOT allowed in backfilling operation.
B. Flowable Fill: Provide and place controlled low strength material per APWA Section 31 05 15. Cure the fill before placing surface restorations.
NON-ROADWAY: Above the pipe zone.
A. Native Fill: CONTRACTOR to submit appropriate Proctor per APWA Section 31 23 26. Place in lifts not exceeding 8 inches before compaction. Compact per APWA Section 31 23 26 to a standard proctor density of 80 percent or greater.

1 Trench backfill

SCALE: NTS

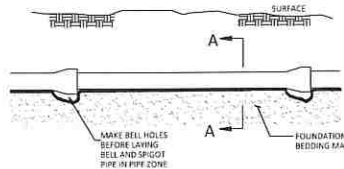
- Cover collar for storm drains**
- GENERAL
A. In a pavement surface, the concrete will support the frame under traffic loadings.
 - PRODUCTS
A. Concrete (Class 4000, APWA Section 03 30 04).
B. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
 - EXECUTION
A. Pavement Preparation: Provide a neat vertical and concentric joint between concrete and existing bituminous concrete surfaces. Clean edges of all dirt, oil, and loose debris.
B. Concrete Placement: APWA Section 03 30 10. Fill the annular space around the frame and cover casting with concrete. Apply a broom finish. Apply a curing agent.



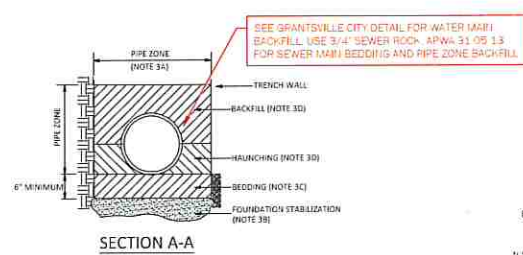
2 Cover collar for storm drains

SCALE: NTS

- Pipe zone backfill**
- GENERAL
A. Install the pipe in the center of the trench or no closer than 6-inches from the wall of the pipe to the wall of the trench.
 - PRODUCTS
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
C. Concrete: APWA Section 03 30 04.
D. Flowable Fill: Target is 60 psi in 28 days with 90 psi maximum in 28 days, APWA Section 31 05 15. It must flow easily requiring no vibration for consolidation.
E. Stabilization-Separation Geotextile: Moderate or high at CONTRACTOR'S choice, APWA Section 31 05 19.
 - EXECUTION
A. Excavate the Pipe Zone: Width is measured at the pipe spring line and includes any necessary sheathing. Provide width recommended by pipe manufacturer. Follow manufacturer's recommendations when using trench boxes.
B. Foundation Stabilization: Get ENGINEER'S permission before installing common fill. Vibrate to stabilize. Installation of stabilization-separation geotextile will be required to separate backfill material and native subgrade materials if common fill cannot provide a working surface or prevent soils migration.
C. Bedding: Follow APWA Section 33 05 20 requirements and the following provisions:
(1) Furnish untreated base course material unless specified otherwise by pipe manufacturer.
(2) Maximum lift thickness is 8-inches.
(3) Bedding immediately under the pipe should not be compacted, but loosely placed.
(4) Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
(5) When using concrete, provide at least Class 2,000, APWA Section 03 30 04.
D. Pipe Zone: DO NOT USE sewer rock, pea gravel, or recycled RAP aggregate in the pipe zone. Water jetting is NOT allowed.
(1) Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26 unless pipe manufacturer requires more stringent installation.
(2) Submission of quality control compaction test result data developed for the haunch zone may be requested by ENGINEER at any time. CONTRACTOR is to provide results of tests immediately upon request.
E. Flowable Fill (when required and if allowed by pipe manufacturer):
(1) Place the controlled low strength material, APWA Section 31 05 15.
(2) Prevent pipe flotation by installing in lifts and providing pipe restraints as required by pipe manufacturer.
(3) Reset pipe to line and grade if pipe "floats" out of position.



ELEVATION VIEW



SECTION A-A

INSTALLATION

CONCRETE PIPE: FOLLOW ASTM C 1479
STANDARD PRACTICE FOR INSTALLATION OF PRECAST CONCRETE SEWER, STORM DRAIN, AND CULVERT PIPE USING STANDARD INSTALLATIONS.

PLASTIC PIPE: FOLLOW ASTM D 2321
STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS.

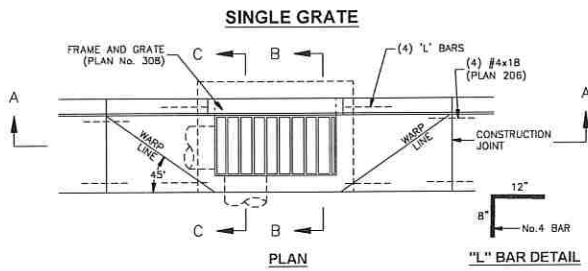
CORRUGATED METAL PIPE: FOLLOW ASTM A 798
STANDARD PRACTICE FOR INSTALLING FACTORY MADE CORRUGATED STEEL PIPE FOR SEWERS AND OTHER APPLICATIONS.

VITRIFIED CLAY PIPE: FOLLOW ASTM C 12
STANDARD RECOMMENDED PRACTICE FOR INSTALLING VITRIFIED CLAY PIPE LINES.

Plan No. 382
January 2011

3 Pipe zone backfill

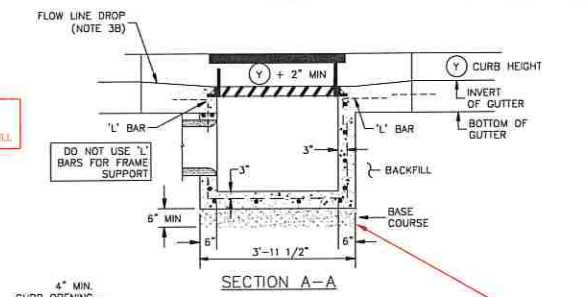
SCALE: NTS



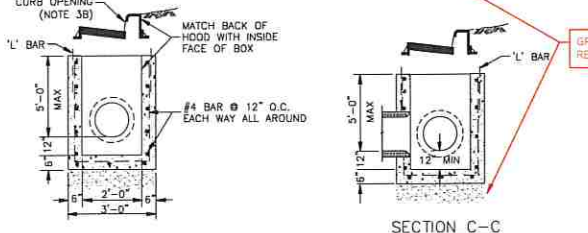
SINGLE GRATE

PLAN

"L" BAR DETAIL



SECTION A-A



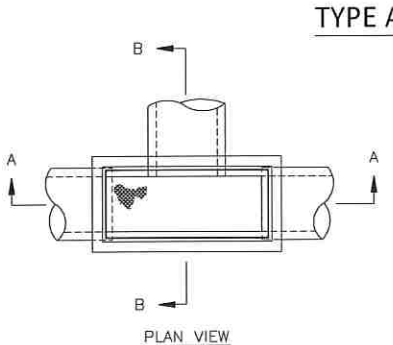
SECTION B-B

SECTION C-C

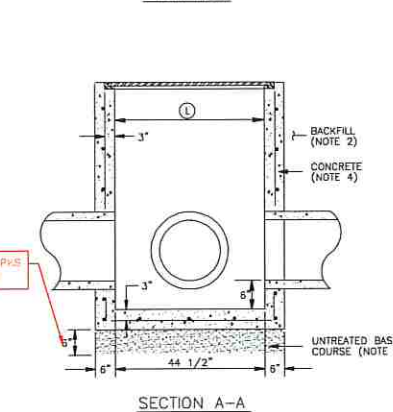
4 Catch basin

SCALE: NTS

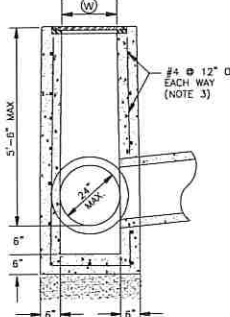
- Cleanout box**
- GENERAL
A. The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the box.
B. This box may be used as an inlet box. Install the appropriate frame and grate.
 - PRODUCTS
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
C. Concrete: Class 4000, APWA Section 03 30 04.
D. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A615.
E. Stabilization-Separation Geotextile: High MARV, woven or non-woven, APWA Section 31 05 19.
 - EXECUTION
A. Foundation Stabilization: Get ENGINEER'S permission to use a sewer rock or granular backfill borrow in a geotextile wrap to stabilize an unstable foundation.
B. Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
C. Joints: Place flexible gasket-type sealant in all manhole joints.
D. Reinforcement: Center steel in walls and slabs with a typical cover of 3-inches. Keep steel 2-inches clear around pipe and lid opening. Tie-bars required at all corners, vertical and horizontal. Tie-bars connecting two walls must match wall bar size and spacing. Tie-bars connecting walls to top and bottom slabs must match slab steel size and spacing.
E. Water stops: Install rubber-based water-stops on all plastic pipes when connecting plastic pipes to cleanout boxes. Hold water-stop in place with stainless steel bands.
F. Concrete Placement: APWA Section 03 30 10. Adjust concrete dimensions at frame accordingly. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
G. Pipe Connections: Grout around all concrete pipe openings.
H. Backfill: Provide backfill against all of the box walls. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jetting is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.



STANDARD PLAN REFERENCE NO.	L	W
304	44 1/2"	16 1/2"
305	47 1/2"	21 3/4"
309	47 3/4"	16"
310	44 1/2"	16 1/2"



SECTION A-A



SECTION B-B

5 Cleanout box

SCALE: NTS

Plan No. 331.1
April 2010

HARVEST MEADOW
SUBDIVISION
GRANTSVILLE, TOOELE
COUNTY, UTAH

Project Name:

CIVIL PROJ-EX, INC.
ENGINEERS & PLANNERS
900 DUTCH STREET
GRANTSVILLE, UTAH 84032

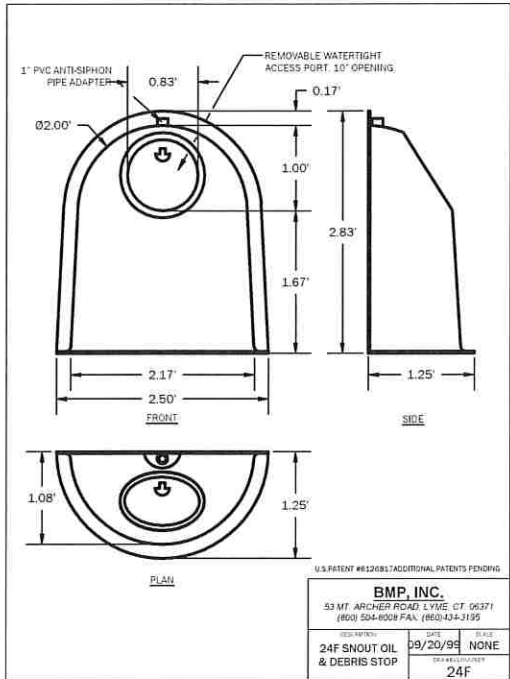
PROFESSIONAL ENGINEER
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Sheet Name: C-531

CIVIL STORM DRAIN DETAILS

Precast box

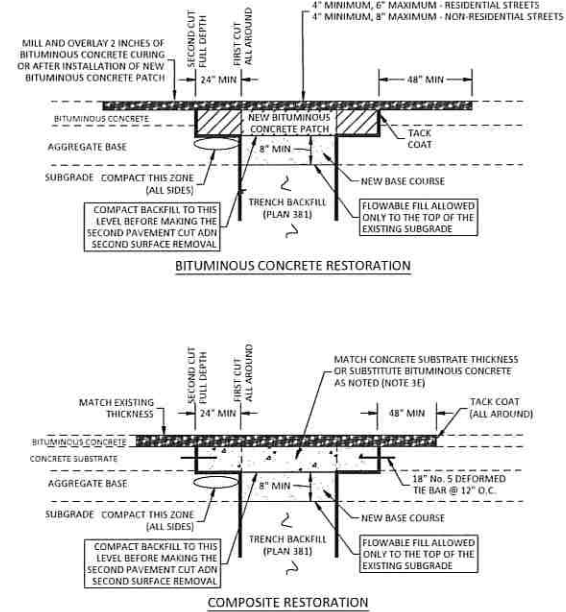
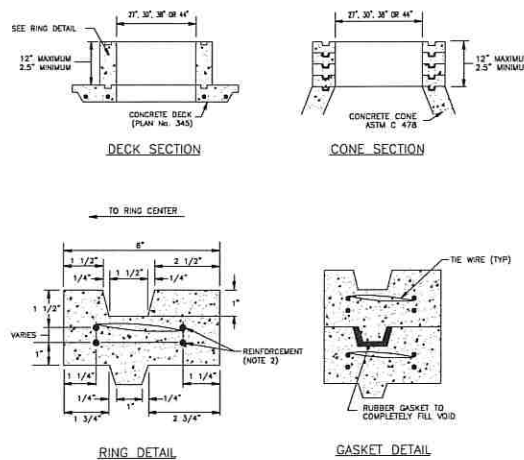
1. GENERAL
- A. The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the box.
- B. This drawing is acceptable where the water table elevation is less than 3 feet above the floor of the box. If elevation of water table is higher, engineering calculations and drawings must be submitted to and approved by the ENGINEER.
- C. Submit bar design detail for ENGINEER's review.
2. PRODUCTS
- A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
- B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
- C. Precast Concrete: Class 4000 precast, APWA Section 03 40 00.
- D. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A615. Coated steel is not required for small drainage structures shown on this drawing.
- E. Frame and Cover (or Grate): Use the appropriate unit indicated in the Contract Documents.
- F. Joint Sealant: Rubber-based, compressible.
3. EXECUTION
- A. Concrete Placement: Provide 2-inches of concrete cover over reinforcing steel.
- B. Lifting Points: Provide at least 2 lifting points per section that avoid interference with the reinforcing steel and that are designed according to PCI (Prestressed Concrete Institute) design handbook. Lift only from the engineered lifting points.
- C. Depth: Drainage boxes and riser combinations that exceed 8-feet from finished grade to the bottom of the box requires ENGINEER's approval. Submit design calculations and shop drawings.
- D. Core Holes:
- (1) Provide core holes that are at least 4" larger than attaching outer pipe diameter. Cut core holes at the manufacturing plant unless ENGINEER permits field core holes.
- (2) Center core holes to leave 2" of concrete measured horizontally from inside wall of the box to core hole. Locate core hole vertically so bottom of core hole will be at or above floor elevation with at least 5-inches of concrete directly above the core hole to the top of the box.
- (3) Deviations from core hole tolerances require shop drawings. Shop drawings will identify lifting point number and location.
- E. Precast Top: Design precast top for AASHTO HL-93 live loads and submit rebar detail and stamped design drawings to ENGINEER. Show connection detail for frame and grate or cover.



Concrete for all surface improvements in the Public Way including but not limited to: sidewalk, driveway entrances, pedestrian ramps, curb and gutter, water ways, manhole, vault and valve collars, and any other cast in place surface concrete features shall be constructed with minimum 4,500 psi concrete per Grantsville City Public Works.

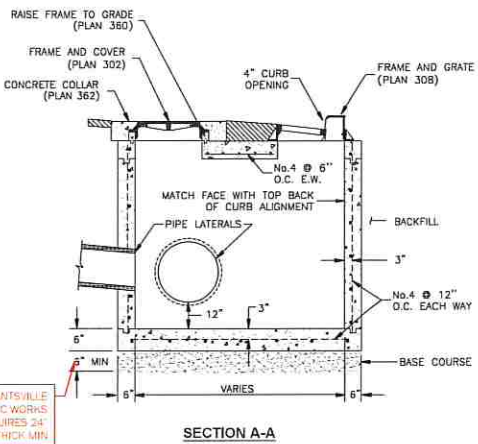
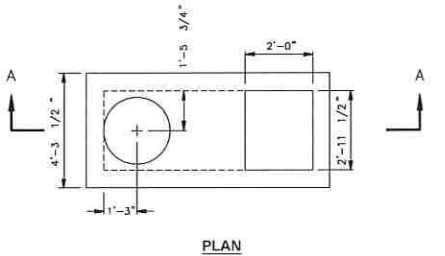
Raise frame to grade

1. GENERAL
- A. Grade rings are used in non-pressurized applications to adjust frame to grade.
2. PRODUCTS
- A. Concrete: Class 4000, APWA Section 03 30 04.
- B. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A615.
- (1) 2 1/2" High Rings: Provide two 1/4" diameter steel hoops tied with no. 14 awg wire, 8" on center.
- (2) 6" AND 8" High Rings: Provide four 1/4" diameter steel hoops, tied with no. 14 awg wire, 8" on center.
- C. Gasket: Rubber-based, compressible.
3. EXECUTION
- A. Ring manufacture:
- (1) Fabrication, APWA Section 03 30 10.
- (2) Cure, APWA Section 03 39 00.
- B. Field installation: Seat rings with a compressible gasket.



Combination catch basin and cleanout box

1. GENERAL
- A. The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the box.
2. PRODUCTS
- A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
- B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
- C. Concrete: Class 4000, APWA Section 03 30 04.
- D. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A615.
- E. Ladder Rungs: Plastic, or plastic coated steel typically 8-inches wide.
3. EXECUTION
- A. Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
- B. Curb Face Opening: Make opening at least 4-inches high. Provide at least a 2-inch drop between the "begin warp" line in the gutter flow-line and the top of the grate at the curb face opening.
- C. Ladder Rungs: Provide rungs in boxes over 6 feet deep. When measured from the floor of the box, place bottom rung the greater distance of 4 feet from the floor of the box or 1 foot above the top of the pipe. Place top rung within 3 feet of bottom of box ceiling.
- D. Concrete Placement: APWA Section 03 30 10. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
- E. Backfill: Provide backfill against all sides of the box. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jetting is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.



Precast box

1 SCALE NTS

Raise frame to grade

2 SCALE NTS

Bituminous pavement T-patch

4 SCALE NTS

Combination catch basin and cleanout box

5 SCALE NTS

316

March 2011

HARVEST MEADOW
SUBDIVISION
GRANTSVILLE, TOOELE
COUNTY, UTAH

Project Name:

CIVIL PROJ-EX, INC
ENGINEER
GRANTSVILLE, UTAH 84029

PROFESSIONAL ENGINEER
2224167
BARRY V. BUNDERSOHN
2022.03.03
STATE OF UTAH

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Sheet Name:

C-532

Revisions	By	Date
1	City Public Works requires 4500 PSI concrete for Public Way Improvements	8/12/21

FINAL INFRASTRUCTURE	Designed By	Date Issued
Project Number	BVB	2022.03.03
19-45020	Drawn By	
	BVB	

CIVIL SEWER DETAILS

30" Frame and cover

1. GENERAL

A. The frame and cover fits the manhole in Plan 411.

2. PRODUCTS

A. Castings: Gray iron class 35 minimum, ASTM A48, coated with asphalt based paint or better (except on machined surfaces).

1. Cast the heat number on the frame and cover.

2. Give the frame and cover a machine finish so the cover will not rock.

3. V designates machined surface.

4. Cast the words "SEWER" on the cover in upper case flush with the surface finish.

3. EXECUTION

A. Except in paved streets, provide locking manhole covers in easements, alleys, parking lots, and all other places. Drill and tap two holes to a depth of 1/4 inch at 90 degrees to pry hole and install 3/4 x 3/4 inch allen socket set screws.

Plan No. 402 April 1997

APWA Utah Chapter

1. 30" Frame and cover

SCALE: NTS

Sanitary sewer manhole

1. GENERAL

A. The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the manhole.

B. Manhole site.

1) Diameter is 4 feet: For sewers under 12" diameter.

2) Diameter is 5 feet: For sewers 12" and larger, or when 3 or more pipes intersect the manhole.

2. PRODUCTS

A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.

B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.

C. Concrete: Class 4000, APWA Section 03 30 04.

D. Riser and Reducing Riser: ASTM C478.

E. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A615.

F. Grout: 2 parts sand to 1 part cement mortar, ASTM C1329.

G. Stabilization-Separation Geotextile: Moderate or high at CONTRACTOR's choice, APWA Section 31 05 19.

3. EXECUTION

A. Foundation Stabilization: Get ENGINEER's permission to use a sewer rock or a granular backfill borrow in a geotextile wrap to stabilize an unstable foundation.

B. Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 6-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.

C. Invert Cover. During construction, place invert covers over the top of pipe in manholes that currently convey sewerage. See Plan 412.

D. Pipe Connections: Grout around all pipe openings.

E. Pipe Seal: Install rubber-based pipe seals on all plastic pipes when connecting plastic pipes to manholes. Hold water-stop in place with stainless steel bands.

F. Joints: Place flexible gasket-type sealant in all riser joints. Finish with grout.

G. Adjustment: If the required manhole adjustment is more than 1'-0", remove the cone and grade rings and adjust the manhole elevation with the appropriate manhole section, the cone section, and the grade rings or plastic form to make frame and lid match finish grade.

H. Finish: Provide smooth and neat finishes on interior of cones, shafts, and rings. Imperfect moldings or honeycombs will not be accepted.

I. Backfill: Provide backfill against the manhole shaft. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jetting is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.

Plan No. 411 April 2011

APWA Utah Chapter

2. Sanitary sewer manhole

SCALE: NTS

Cover collar for sanitary sewer manhole

1. GENERAL

A. In a pavement surface, the concrete will support the frame under traffic loadings.

2. PRODUCTS

A. Concrete: Class 4000, APWA Section 03 30 04.

B. Concrete Curing Agent: Type ID Class A (clear with fugitive dye), membrane forming compound, APWA Section 03 39 00.

3. EXECUTION

A. Pavement Preparation: Provide a neat vertical and concentric joint between the concrete collar and the bituminous pavement surface. Clean edges of all dirt, oil, and loose debris.

B. Concrete Placement: Fill the annular space around the frame and cover casting with concrete. Apply a broom finish. Apply a curing agent.

Concrete for all surface improvements in the Public Way including but not limited to: sidewalk, driveway entrances, pedestrian ramps, curb and gutter, water ways, mainhole, vault and valve collars, and any other cast in place surface concrete features shall be constructed with minimum 4,500 psi concrete per Grantsville City Public Works.

Plan No. 413 September 2001

APWA Utah Chapter

3. Cover collar for sanitary sewer manhole

SCALE: NTS

Sewer lateral connection

1. GENERAL

A. Before installation, secure acceptance by ENGINEER for all pipe, fittings, and couplings to be used.

B. Before backfilling, secure inspection of installation by ENGINEER. Give at least 24 hours notice.

C. Verify if CONTRACTOR or agency is to install the wye.

2. PRODUCTS

A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.

B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.

C. Provide agency approved wye or tee with appropriate donut.

D. Stainless steel straps required.

3. EXECUTION

A. Tape wrap pipe as required by soil conditions.

B. Remove core plug from sewer main. Do not break into sewer main to make connection.

C. Base Course and Backfill Placement: Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.

Plan No. 431 January 2011

APWA Utah Chapter

4. Sewer lateral connection

SCALE: NTS

FINAL INFRASTRUCTURE

Project Number: 19-45020

Designed By: BVB

Drawn By: BVB

Date Issued: 2022.03.03

1. City Public Works requires 4500 PSI concrete for Public Way Improvements

Revisions

Project Name: HARVEST MEADOW SUBDIVISION GRANTSVILLE, TOOELE COUNTY, UTAH

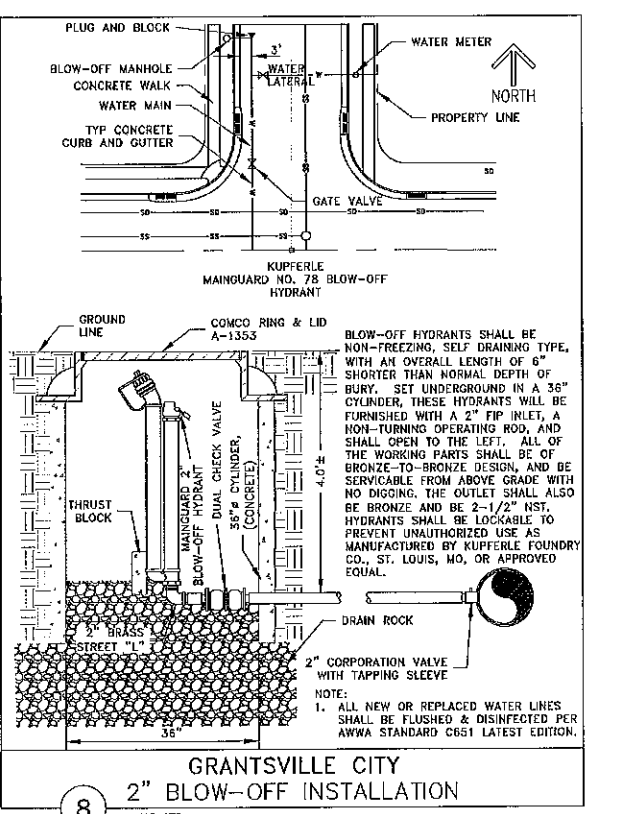
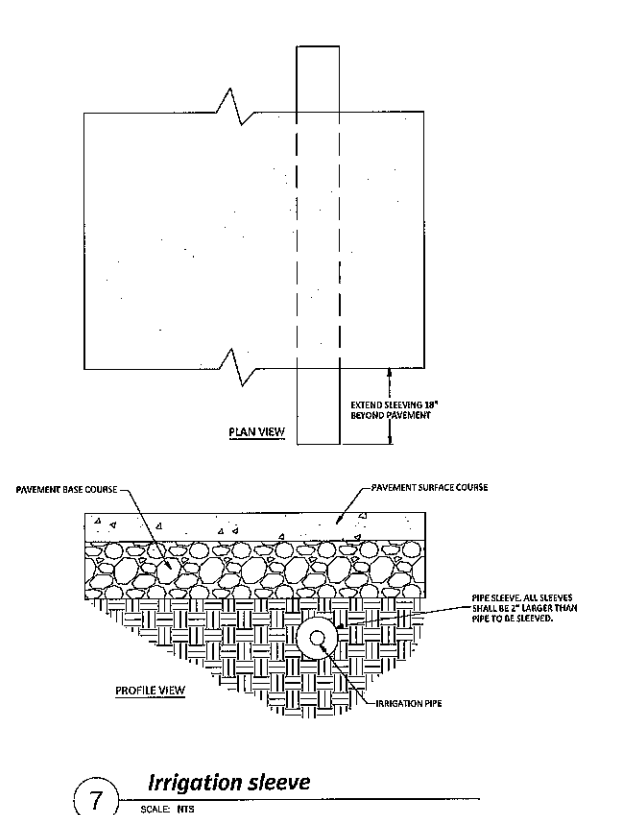
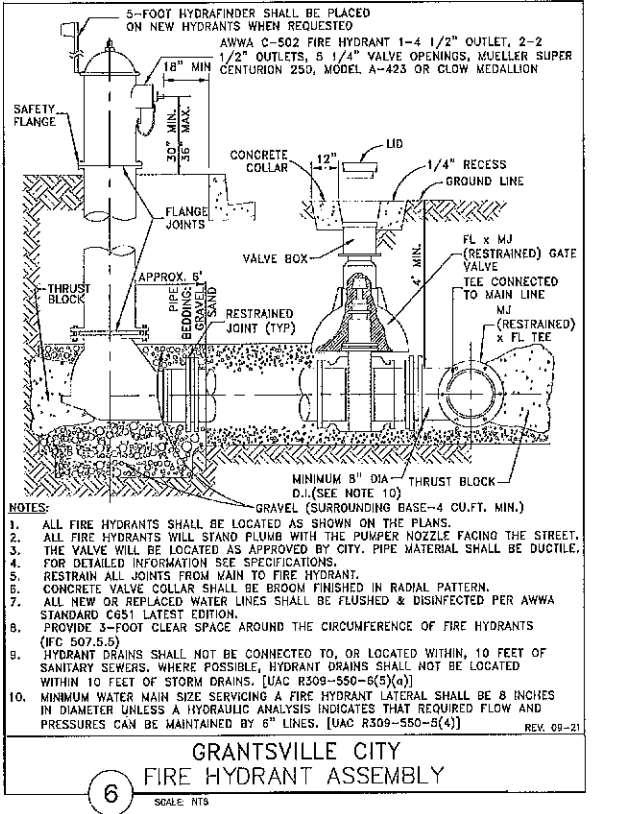
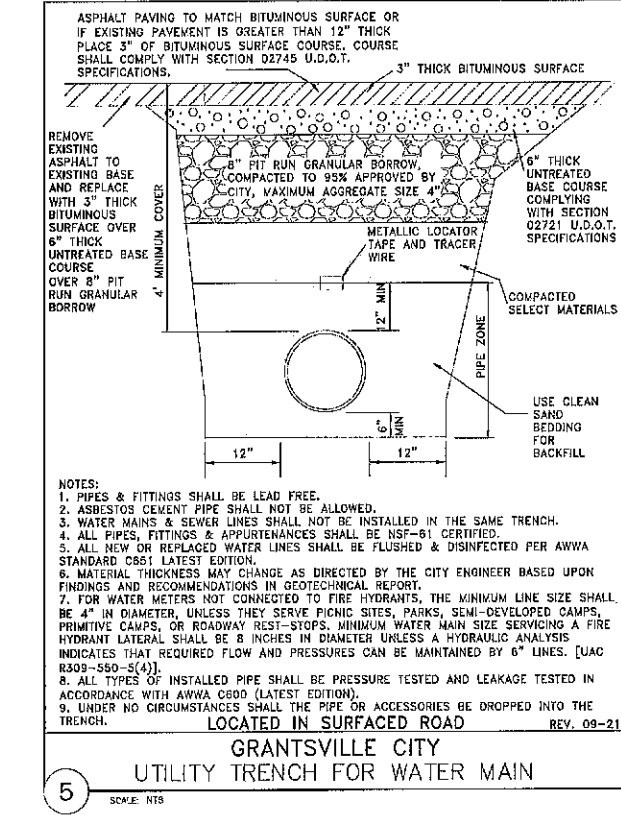
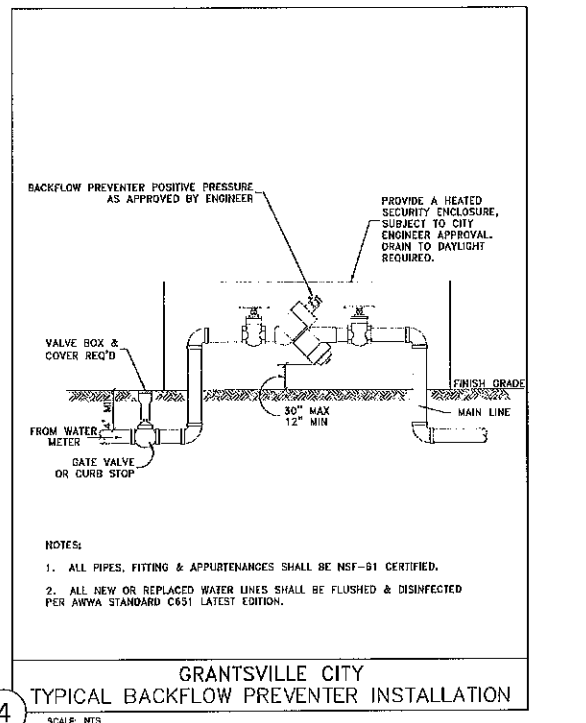
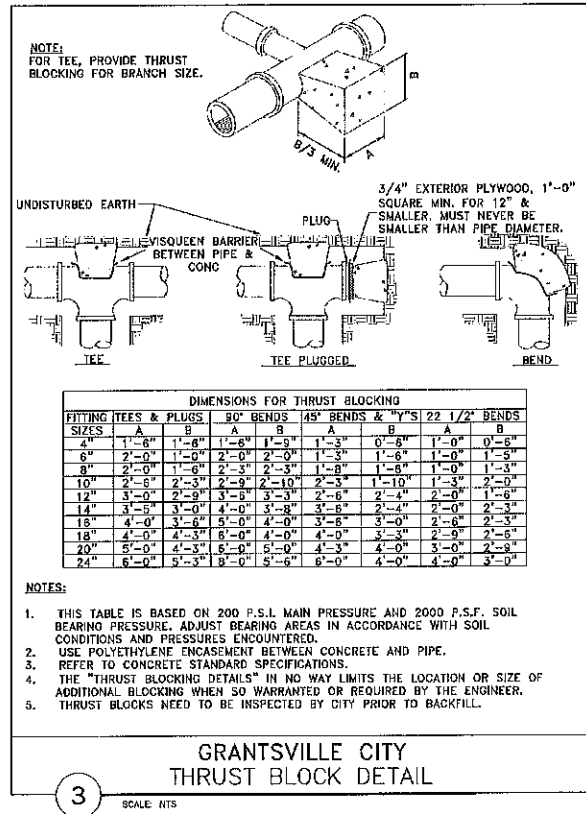
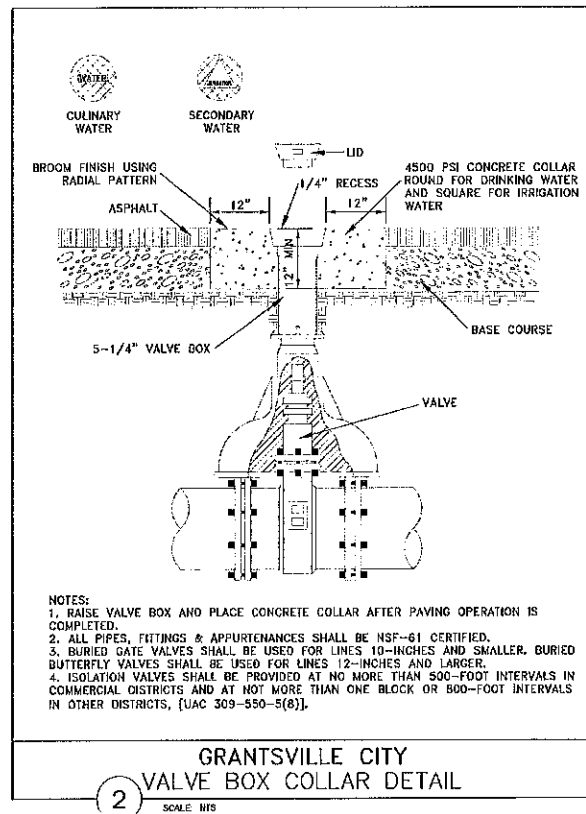
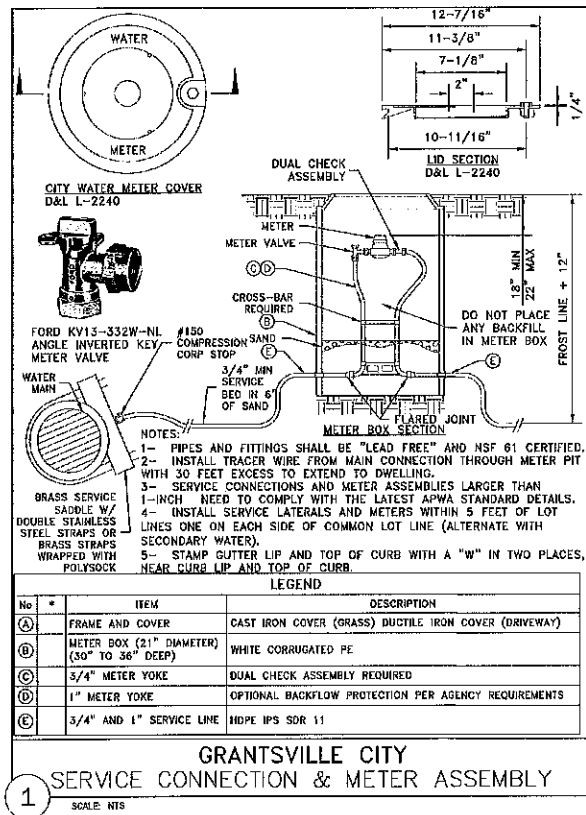
CIVIL PROJEX, INC. ENGINEERS & PLANNERS 8400 N. 1000 E. SUITE 100 GRANTSVILLE, UTAH 84029

7224167 BARRY V. BUNDERSON PROFESSIONAL ENGINEER STATE OF UTAH 2022.03.03

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CIVIL WATER DETAILS



FINAL INFRASTRUCTURE

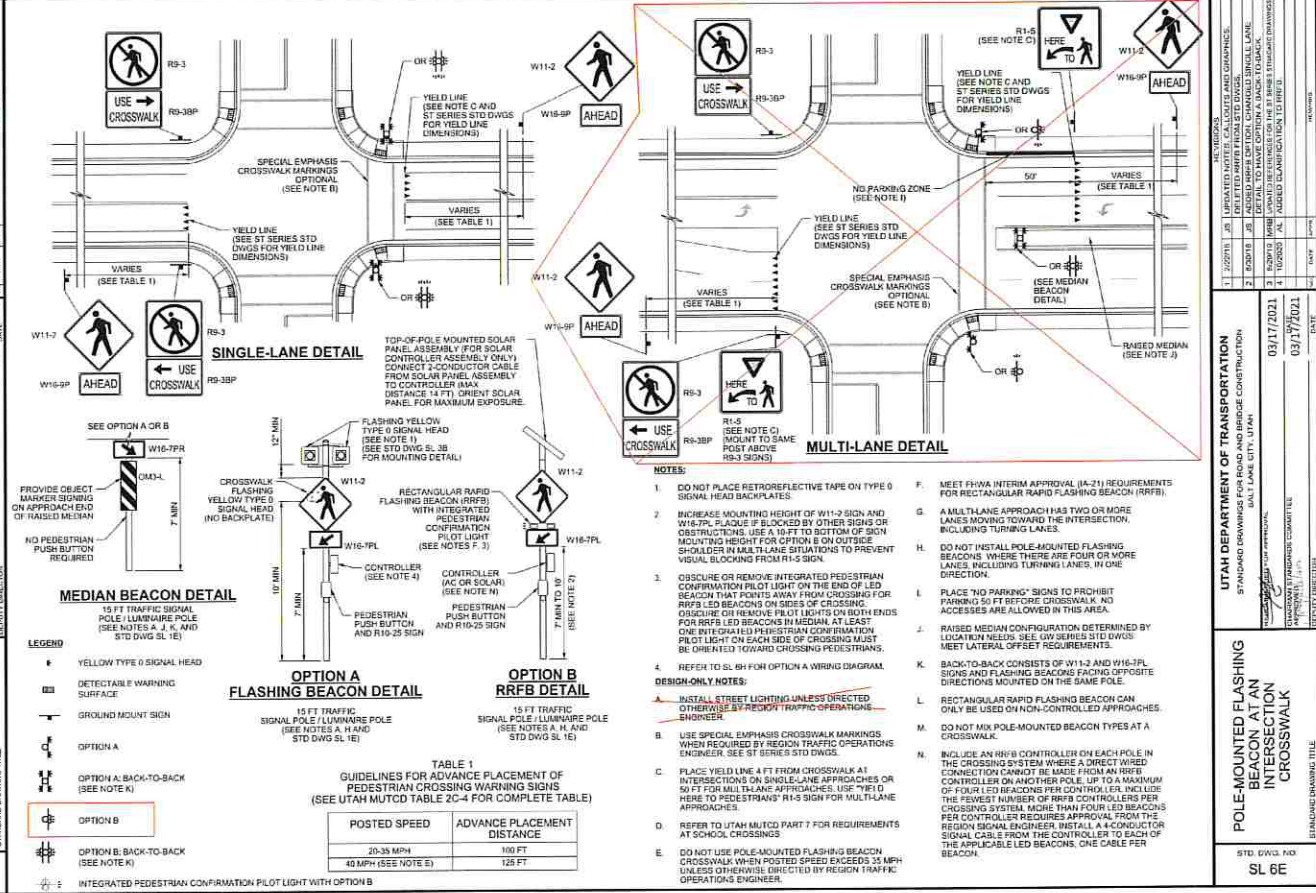
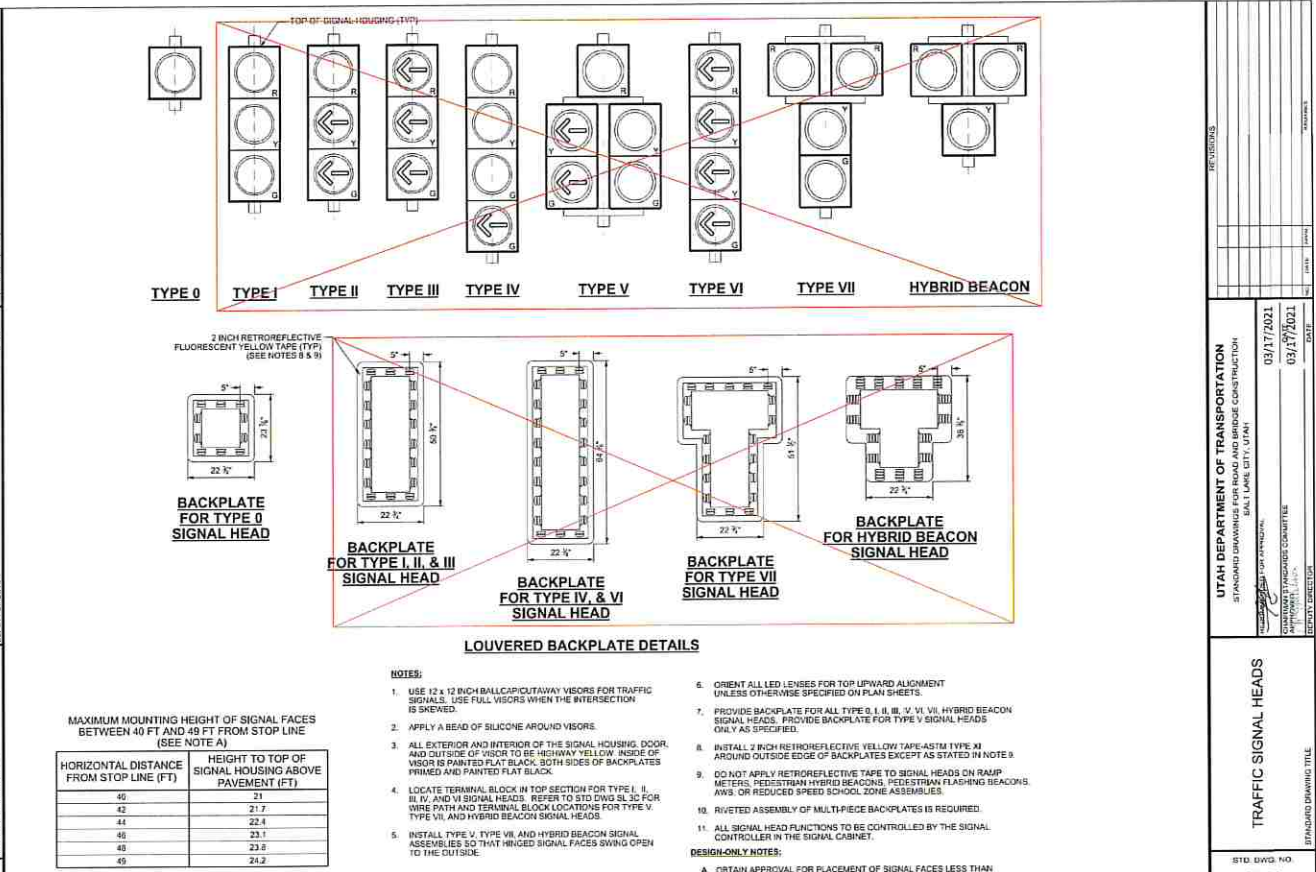
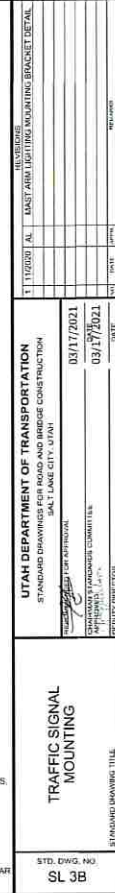
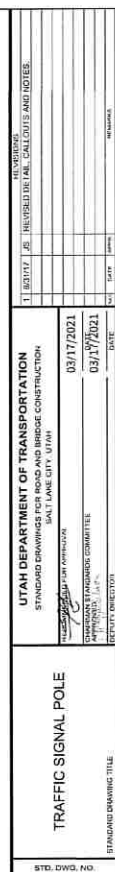
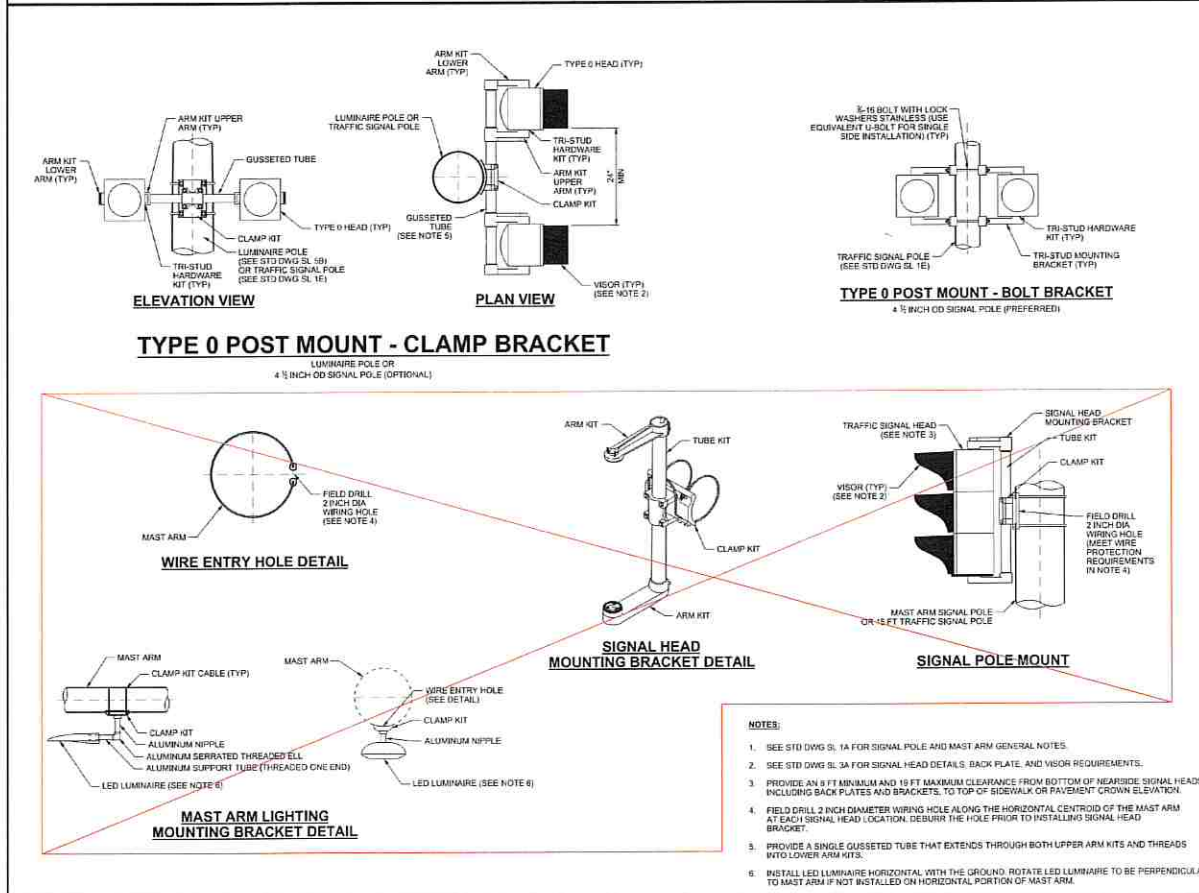
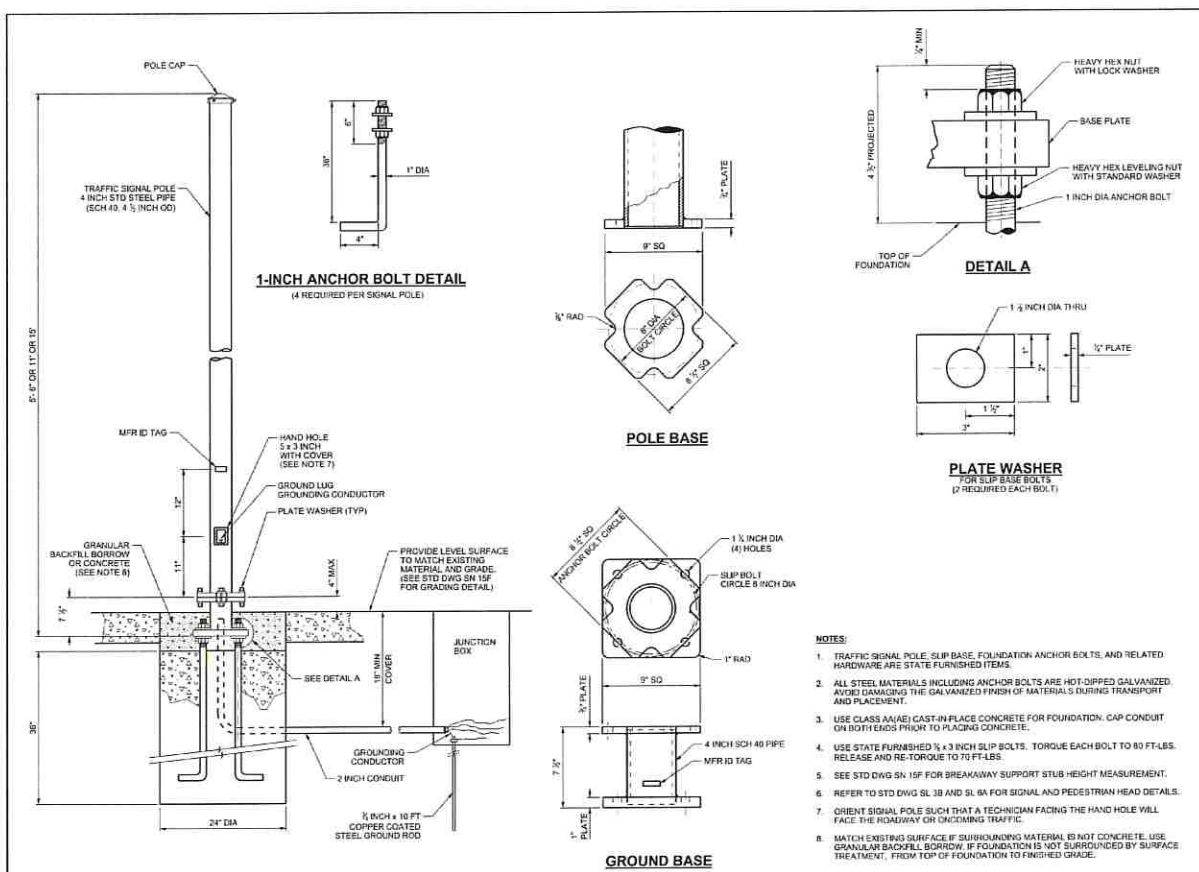
Project Number: 19-45020
Designed By: BVB
Drawn By: BVB
Date Issued: 2022.03.03
Revision: 1

**HARVEST MEADOW
SUBDIVISION
GRANTSVILLE, TOOELE
COUNTY, UTAH**

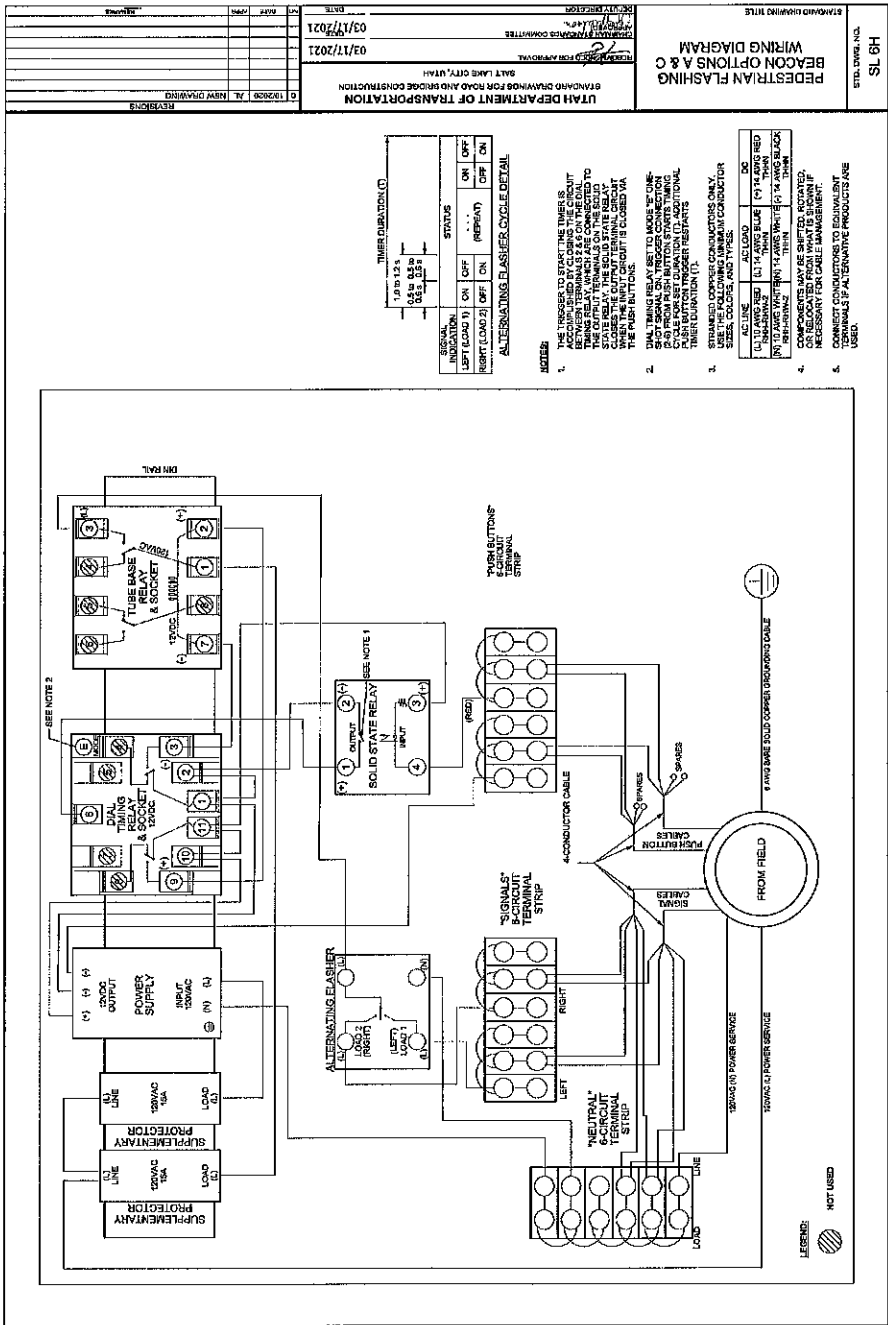
CIVIL PROJ-EX, INC.
ENGINEERS & PLANNERS
906 QUINN STREET
GRANTSVILLE, UTAH 84029

PROFESSIONAL ENGINEER
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PEDESTRIAN CROSSING SIGNAL DETAILS



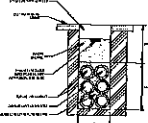
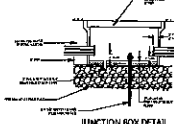
CIVIL DRY UTILITY DETAILS



Trench for buried electrical condu

- GENERAL:** The following is a typical arrangement. It shows installation in a landscaped area. The installation is similar under concrete flower in the park strip.
- 2. PRODUCTS**
- A. Base Course: Untreated base course, APWA Section 32 11 23, Maximum particle size 2-inches. Do not use gravel as a base course without ENGINEER's permission.
 - B. Backfill: Bedding sand, backfill borrow, or topsoil, APWA Section 31 05 13, Maximum particle size 2-inches.
 - C. Detectable Identification Tape: Permanent red color, continuously printed, magnetic, intended for direct burial use, not less than 6-inches wide by 4 mils thick. The tape shall read "CAUTION: BURIED INSTALLATION BELOW".
 - D. Bolts, Nuts, Washers: A307 stainless steel, APWA Section 05 05 23.
 - E. PVC Conduit: APWA Section 32 05 07.
- 3. EXECUTION**
- A. Conduit:
 - 1) Install conduit through sides of junction box. Seal all conduit holes using a rubber-based sheet gasket and expanding foam.
 - 2) In addition to circuit wires, provide all conduits with a 700 pound flat braided nylon pull wire.
 - 3) Seal ends of each conduit run with a sealing compound, CONTRACTOR's choice.
 - B. Base Course and Backfill Placement: Maximum fill thickness is 8-inches before compaction. Compaction is 90 percent or greater relative to a standard proctor density. Section 32 11 23. Water jetting is NOT allowed.
 - C. Ground: Use exothermic weld connections when making connection to the ground rod.
 - D. Landscaped Surface Restoration: Make to match existing grade. Replace vegetation to match pre-construction conditions. Follow APWA Section 32 92 00 (Turf or grass) or APWA Section 32 98 13 (ground cover) requirements.

PARK STRIP



732.1

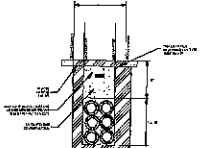
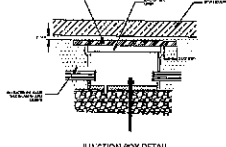
Trench for buried electrical conduit

SCALE: NT

Trench for buried electrical condu

1. GENERAL
- A. Paving is a typical arrangement. It shows installation requirements under roadway pavement and in landscaped areas.
- B. Additional pavement removal to a painted lane strip, a lip of gutter, an existing pavement patch, or an edge of existing pavement is required if any such feature within 2-feet of the second saw-cut.
2. PRODUCTS
- A. Bedding: Sand, APWA Section 31.05 13.
- B. Backfill: Native soil, APWA Section 31.05 18. Maximum particle size 2-inches.
- C. Detectable identification Tape: Permanent red color, continuously printed, nonglare, intended for direct-surface use, not less than 6-inches wide by 4-mils thick. Tape shall read "CAUTION-BURIED INSTALLATION BELOW".
- D. Flowable Fill: Target is 60-120 in 28 days with 90 psi maximum in 28 days, APWA Section 31.05 15. Use a fill that flows easily and vibration is not required.
- E. Bituminous Concrete: APWA Section 32.12 05.
- 1) Warm weather patch - AC-20-DM-1/2, Unless Indicated otherwise.
- 2) Cold weather patch - modified MC 250-FM-1, APWA Section 33.05 25.
- F. PVC Consult: APWA Section 33.05 07.
3. EXECUTION
- A. Conduit:
- 1) Install conduit through sides of junction box. Seal all conduit holes using a rubber based grease and expanding foam.
- 2) In addition to circuit wires, provide all conduits with a 700 pound flat braided nylon pull wire.
- 3) Seal ends of each conduit run with a sealing compound, CONTRACTOR'S choice.
- B. Base Course and Backfill Placement:
- 1) Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31.23 24.
- 2) Water/jetting is NOT allowed.
- 3) Use flowable fill in excavations that are less than 8" in width. Before placing aggregate or pavement over flowable fill, cure fill to initial set.
- C. Ground: Use exothermic weld connections when making connection to the ground rod.
- D. Surface: Surface Restoration.
- 1) Do not install bituminous concrete or Portland cement concrete surfacing until trench compaction is accepted by ENGINEER.
- 2) Provide tack coat full coverage on all vertical surfaces and surface of concrete subgrade.
- E. Roadway Pavement Restoration: Plan 235, 256, or 261 as applicable.

ROADWAY



Plan
732.2
Exclusion 2

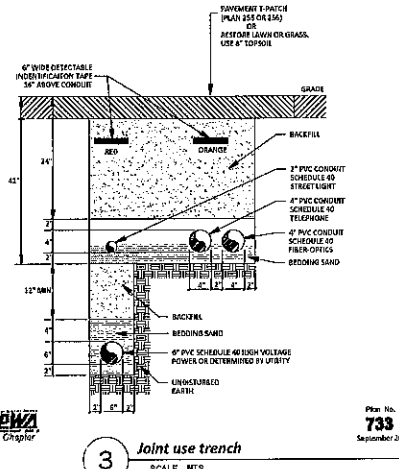
Trench for buried electrical condu

SCALE: NT

Joint use trend

- A. The drawing is a typical arrangement. It applies to the conduit zone and backfilling the trench above the conduit zone.
2. **PRODUCTS**
- A. Base Course: Sand, APWA Section 31.05.13.
- B. Backfill: Native soil, APWA Section 31.05.13. Maximum particle size 2-inches.
- C. Sewer Root or Perforated Plastic (NOT ALCOE), backfill in any part of the trench.
- D. Flowable Fill: Target 100 psi in 28 days with 50 psi maximum in 28 days, APWA Section 31.05.15. It must flow easily requiring no vibration for consolidation.
- E. Detectable Identification Tape: Permanent color as indicated, continuous-printed, magnetic, intended for direct-surface service, not less than 6-inches wide by 4 mils thick. The tape shall read "CAUTION: BURIED INSTALLATION BELOW".
- F. Conduit: PVC, APWA Section 33.05.07.
3. **EXECUTION**
- A. Base Course and Backfill Placement: Maximum lift thickness is 8-inches before compacting. Compaction is 95 percent or greater relative to modified proctor density, APWA Section 31.23.26. Water (being in NOT allowed) to place prior to compaction.
- B. Flowable Fill: Place controlled low strength material. Cure the fill before placing surface restorations.
- C. Surface Restoration: Do not install inflexible concrete or Portland cement concrete surfacing until the trench is completely accepted by ENGINEER.
- D. Detectable Restoration: Rile trench backfill to match existing grade. Compact backfill to 90 percent relative to a standard proctor density, APWA Section 31.23.26.
- E. Surface vegetation to match pre-construction conditions. Follow APWA Section 32.01.02 (Grass or Grass) for details.
- F. Roadway Pavement Restoration: Plans No. 255, 256, or 251.

NARRATIVE: THIS IS A TYPICAL EXAMPLE. INSTALLATION VARIES ACCORDING TO THE SERVICE PROVIDER



3 Joint use trench

Plan No.
733
September 2

Project Name:

HARVEST MEADOW
SUBDIVISION
GRANTSVILLE, TOOELE
COUNTY, UTAH

FINAL INFRASTRUCTURE

Project Number

Drawn By	Date Issued
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BVB 2022.03.03

7	9
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Public Works requires 4500 PSI concrete for Public Way Improvements

8	8.12.2	Date
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