



**PLAN COMMISSION / ZONING BOARD OF APPEALS
AGENDA**

**Thursday, September 8, 2022
6:30 P.M.**

**Frankfort Village Hall
432 W. Nebraska Street (Board Room)**

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Minutes of August 25, 2022**
- 4. Public Hearing: 25 Carpenter Street – Kerley Residence (Ref #104)**
Request: First and second-floor additions to a single-family home for the property located at 25 Carpenter Street, zoned R-2, requiring 4 variances. Other: Plat of Resubdivision.
(PIN 19-09-21-415-009-0000).
- 5. Public Hearing: 20871 S. La Grange Road – Facen4Ward (Ref #105)**
Request: Special Use Permit for an indoor entertainment use for an event space in the B-2 Community Business District. (PIN 19-09-22-100-051-0000)
- 6. Public Hearing: 10235 W. Lincoln Highway – Opa! (Ref #106)**
Request: Proposed Major Change to the Brookside Commons Office Centre Planned Unit Development to enclose the existing outdoor patio and other exterior changes. (PIN: 19-09-21-304-044-0000)
- 7. Public Comments**
- 8. Village Board & Committee Updates**
- 9. Other Business**
- 10. Attendance Confirmation (September 22, 2022)**
- 11. Adjournment**

All applicants are advised to be present when the meeting is called to order. Agenda items are generally reviewed in the order shown on the agenda, however, the Plan Commission/Zoning Board of Appeals reserves the right to amend the agenda and consider items in a different order. The Commission may adjourn its meeting to another day prior to consideration of all agenda items. All persons interested in providing public testimony are encouraged to do so. If you wish to provide public testimony, please come forward to the podium and state your name for the record and address your comments and questions to the Chairperson.



MINUTES

MEETING OF VILLAGE OF FRANKFORT PLAN COMMISSION / ZONING BOARD OF APPEALS

August 25, 2022–VILLAGE ADMINISTRATION BUILDING

432 W. NEBRASKA STREET

Call to Order: Chair Rigoni called the meeting to order at 6:30 PM

Commissioners Present: Chair Maura Rigoni, Jessica Jakubowski, Brian James, Will Markunas, Nichole Schaefer, Dan Knieriem

Commissioners Absent: David Hogan

Staff Present: Director of Community and Economic Development Mike Schwarz, Senior Planner Christopher Gruba

Elected Officials Present: None

A. Approval of the Minutes from August 11, 2022

Motion (#1): Approval of the minutes, as presented, from August 11, 2022

Motion by: James Seconded by: Jakubowski

Approved: (5-0, Commissioner Knieriem abstained)

Chair Rigoni swore in any members of the public who wished to speak at the meeting.

B. Public Hearing: 20245 S. La Grange Road – Little Caesars (Ref #104)

Mike Schwarz gave the staff report.

The architect, Jeanne Armando, approached the podium. She noted that the tenant space would be 1,486 square feet.

Chair Rigoni asked for comments from the Commission. Chair Rigoni asked when the peak business time would be. Ms. Armando replied that dinner time would be the busiest, followed by lunch.

Chair Rigoni asked if there would be any pizza delivery. Ms. Armando responded that there would not be a delivery driver.

Chair Rigoni asked the audience for public comment. No one came forward.

Motion (#2): Motion to close the public hearing.

Motion by: Markunas

Seconded by: Jakubowski

Approved: (6-0)

Commissioner Markunas noted that he's driven by the site often and believes that plenty of parking is available.

Commissioner James thanked staff for the thorough parking analysis and stated that he did not have any concerns about parking.

Chair Rigoni noted that the commercial development was designed as a strip center and the uses were intended to share parking.

There was discussion between Chair Rigoni and staff as to whether a separate motion would be needed to approve the parking adjustment, or if it would be simply acknowledged though the meeting minutes. It was decided that a separate motion be made.

Motion (#3): Approve the parking adjustment in connection with a carry-out restaurant located at 20245 S. La Grange Road, Suite 3, in accordance with the submitted plans, public testimony, and Findings of Fact.

Motion by: Schaeffer

Seconded by: Markunas

Approved: (6-0)

Motion (#4): Recommend the Village Board approve a Special Use Permit for Carry-Out restaurant located at 20245 S. La Grange Road, Suite 3, in accordance with the submitted plans, public testimony, and Findings of Fact, conditioned upon no delivery vehicles being parked on-site overnight.

Motion by: Jakubowski

Seconded by: Knieriem

Approved: (6-0)

C. Public Hearing: 11031 W. Lincoln Highway (Pending Address Assignment) – Everbrook Academy Preschool/Daycare (Ref #105)

Mike Schwarz gave the staff report.

The applicant, Tom Williams, approached the podium. He noted that the plans were revised to address some of the Plan Commission's concerns from the previous workshop.

He noted that the west facing wall sign was omitted and that additional architectural features were added to the west elevation, near the north end of the building.

Chair Rigoni asked for comments from the Commission. There were none at the time.

Chair Rigoni asked the public for comment. Resident Dan Edwards approached the podium. Mr. Edwards noted that he is a resident of Settler's Pond and lives at 21484 Settlers Pond Drive. He asked the Commission if he needed to remove his fire pit concrete blocks from the subject property. Chair Rigoni responded that if those are not on his property, he should remove them. Mr. Edwards noted that he had concerns about the proposed lighting, most notably from car headlights navigating the parking lot. He stated a preference for a landscape berm or fence to block the light, which will be especially obtrusive in the winter months when the leaves have fallen. Mr. Edwards also stated that snow removal trucks would also shine lights into his townhome. Lastly, Mr. Edwards noted that the proposed trash enclosure should be located closer to the building.

Resident Roberta Wilson approached the podium. She noted that her townhome at 21462 Settlers Pond Drive is directly behind the building, south of the parking lot. She was concerned about water runoff from the parking lot onto her property. She had a concern about the early start time for the daycare/preschool and stated a preference for a retaining wall to block the noise and light from the residential properties.

Motion (#5): Motion to close the public hearing.

Motion by: Schaeffer

Seconded by: Jakubowski

Approved: (6-0)

Chair Rigoni asked staff if the site design must be reviewed by the Village's engineer. Schwarz responded in the affirmative. Chair Rigoni stated to Ms. Wilson that the project would have to meet all engineering standards and that no flooding should occur on-site or off-site.

Chair Rigoni asked staff to address the lighting concerns. Schwarz deferred to the applicant but noted that the lighting specifications were included with the staff report. He noted that the light fixtures are shielded and that there would be 0.0 foot-candles along all property lines, complying with the Zoning Ordinance.

Chair Rigoni asked about the proposed landscaping along the east property line. Schwarz responded that the applicant is proposing a mix of landscaping and that the applicant would have to update the proposed plant schedule.

Commissioner Markunas asked if the setback was met for the trash enclosure. Schwarz responded that the setback met code.

Commissioner Markunas asked if there was any ability to add evergreen landscaping along the south and east property lines to address the concerns for light from car headlights. Commissioner Schaeffer seconded the suggestion.

Tom Williams responded that they would provide additional evergreen screening.

Commissioner Schaeffer raised the topic of directional signage. Staff noted that there were five (5) variances being requested for the directional signage, for height, size, color, illumination method and content. Mr. Williams responded that the directional signage could be changed to comply with the code requirements. Commissioner Markunas stated that his main concerns regarding the directional signage were for size and height and that the three other variances were minor. Chair Rigoni responded that she thought that the directional signage should also comply with illumination method and content/colors.

There was some discussion regarding the main ground sign. Mr. Williams believed that the ground sign that was proposed met code requirements and that a variance was not being requested. Staff would confirm this.

Commissioner Knieriem asked for clarification of the design and materials on the directional signage. He stated a preference for the raised channel letters instead of an illuminated cabinet sign. The applicant responded that the sign letters would have relief and that the silver portion would likely be metal.

Commissioner James inquired about the proposed thin brick on the building. Schwarz noted that the topic of thin brick may not have been raised during the previous workshops but that it was included in the plans. Commissioner James asked if thin brick would have the same look and texture as regular brick. He also asked about the lifespan of thin brick. Mr. Williams responded that its warranty is 20 years and that if pieces were damaged or came off that they are easy to repair or replace.

Chair Rigoni stated her firm preference for the building to incorporate regular brick instead of thin brick. She asked staff if thin brick had ever been approved in the Village previously. Schwarz noted that the subject property is the last undeveloped lot in the commercial plaza and that all other buildings within it have regular brick. Chair Rigoni stated that she had raised the topic of thin brick during the previous workshop meetings.

Chair Rigoni asked the Commission for comments regarding the Special Use Permit for the daycare use and for extended hours of operation (opening before 7 am).

Commissioner James asked if the use was a daycare or a preschool. Mr. Williams noted that the use would be a daycare with a preschool curriculum. In other words, it would not be for children to attend for half of a day like for normal preschool. Commissioner James believed that the use would be very appropriate for the location.

Commissioner Markunas asked fellow commissioners for their thoughts regarding the timing of the outdoor lights. He also asked staff why the lights were recommended to turn off at 9 pm every day. Schwarz responded that there was a previous submittal for the subject property and at that time, the recommendation was that the pole lights should be timed to turn off at 9:00 p.m. Commissioner Markunas asked Mr. Williams if he would be amenable to having the lights turn off by 8:00 p.m. instead. Mr. Williams responded in the affirmative. Chair Rigoni asked fellow commissioners when the lights should turn back on in the morning. The applicant was asked when staff would arrive in the morning and Mr. Williams responded between 5:30 and 6:00 a.m. Chair Rigoni suggested that the light poles turn on at 5:30 a.m. Commissioner Knieriem asked if the lights needed to be on also during the weekend. It was agreed that the lights should only be lit when the daycare/preschool is open for business.

Commissioner Schaeffer asked if a condition of approval could be added to require that employees park in the spaces on the site furthest from the building, along the south property line. Mr. Williams responded that the employees would be asked to do this by corporate. Chair Rigoni noted that the employee parking could be included as part of the written record in the minutes as opposed to a formal condition. Commissioner Schaeffer agreed. Schwarz noted that enforcement of this by the Village may be difficult.

Commissioner Markunas asked how the commission could ensure that enough evergreen trees are planted to block the glare of headlights. Schwarz noted that the Landscape Ordinance requires a mix of evergreen and non-evergreen trees. A condition of approval could be added instructing the applicant to work with staff to provide adequate evergreen landscaping along the south and east property lines. The Landscape Ordinance requires a specific amount of plantings and staff could require that additional landscaping, beyond the minimum, be installed.

Chair Rigoni summarized some of the Plan Commissions decisions: the size and height of all monument signs should be reduced to meet Code, the building should be constructed of regular brick and not thin brick and that the parking lot lighting should be connected to a timer to shut off between 8:00 p.m. and 5:30 a.m. and on days when the daycare/preschool is closed for business.

Motion (#6): Recommend that the Village Board approve a Major Change to the Prairie Crossings Planned Unit Development (PUD) for the “bump-out” at the southwest corner of the property, and a Major Change to the unnamed Planned Unit Development on the larger remainder of the property, for the property located at 11031 W. Lincoln Highway (Pending Address Assignment), in accordance with the submitted plans, public testimony and Findings of Fact, subject to the following conditions:

- a) Subject to the Village Engineer’s approval of the Preliminary Engineering Plans prior to Village Board consideration.
- b) Subject to staff approval the Landscape Plan prior to Village Board consideration.

- c) Subject to staff approval of the Photometric Plan prior to Village Board consideration.
- d) Subject to staff approval of the Building Elevations prior to Village Board consideration.
- e) Subject to staff approval of the Sign Package prior to Village Board consideration.

Motion by: Markunas

Seconded by: Jakubowski

Approved: (5-1, Rigoni voted against)

Motion (#7): Recommend that the Village Board approve a Special Use Permit for a Daycare Center/Preschool for the property located at 11031 W. Lincoln Highway (Pending Address Assignment), in accordance with the submitted plans, public testimony, and Findings of Fact, subject to the following condition:

- a. Parking lot lights shall be connected to a shutoff timer which automatically turns off the lights no later than 8:00 p.m. each night and on no earlier than 5:30 am and only during days when the daycare/preschool is open for business.

Motion by: Jakubowski

Seconded by: Schaeffer

Approved: (6-0)

Motion (#8): Recommend that the Village Board approve a Special Use Permit for extended hours of operation (allowing the Daycare Center/Preschool to open for business at 6:30 a.m.) for the property located at 11031 W. Lincoln Highway (Pending Address Assignment), in accordance with the submitted plans, public testimony, and Findings of Fact.

Motion by: Schaeffer

Seconded by: Markunas

Approved: (6-0)

D. Workshop: 240 Center Road – Oltman Residence

Chris Gruba gave the staff report.

Chair Rigoni asked if there were any initial questions from the Commission for the applicant or staff. There was no response.

Chair Rigoni invited the applicant or their representative to the podium.

Steve Lecas of Gander Builders approached the podium. He explained why he started using different exterior building materials on his projects in recent years. He stated that the modern farmhouse look is in right now. For this project he wanted to come up with a modern flair but still be different from all the other modern farmhouses that are being built. He stated that the type of metal siding that he is proposing for this project is very expensive but is far superior to fiber cement board. He added that it looks like real wood. It never fades, bugs can't eat it, and it cannot easily be dented. He stated that this house is going to be spectacular, unique, and tasteful. He is not sure why the Village is only allowing metal roofs as an accent material because they last for more than 100 years. They are very durable. He mentioned that Hackberry Trees are big junk trees and would like to remove these. He stated that he would like to save the existing barn but will use the reclaimed wood on the interior of the new house. He stated that he needs the side yard setback variation due to the side load garage which is required since the owner desires a four-car garage. He stated that he will work with the neighbor to the north on the plan for the landscaping on the north side of the new house. He then distributed a small sample of the proposed metal siding material for review by the Plan Commission / Zoning Board of Appeals members.

Chair Rigoni asked Mr. Lecas where this product is being used.

Mr. Lecas replied that he is currently building a house in New Buffalo Michigan which will have this product. He stated that it is four times the price of Hardie Board®.

Mr. Lecas then distributed a brochure which contained photos of buildings that use the product and stated that it will not look shiny.

Commissioner Jakubowski asked Mr. Lecas if he is using this due to the lifetime warranty.

Mr. Lecas replied that the warranty is part of the reason but more for the look and durability.

Commissioner James stated that the intent of Hardie Board® is to mimic the look of real wood siding, which this proposed Longboard® product does just that.

Commissioner Jakubowski stated that she agrees and wishes that she had this on her house.

Commissioner Schaeffer stated that she is intrigued by this material. She wondered if a touch-up pen is necessary for scratches.

Steve Lecas replied that he has seen the material become scratched when it brushes up against brick, but it is very durable.

Commissioner Knieriem stated that he has no problem with the product but would like to see a color board.

Steve Lecas distributed a photograph of a house in Asheville, North Carolina that uses this product.

Chair Rigoni stated that everything in the brochure provided by Mr. Lecas is very modern. If he can find more homes that use this product it will be helpful.

Discussion ensued regarding the Village's Residential Design Guidelines which are included within the adopted Comprehensive Plan and how these were intended to allow for architectural variety.

Chair Rigoni stated that when Mr. Lecas mentioned saving the existing barn wood siding, he would use it on the exterior of the new house.

Steve Lecas replied "maintenance, maintenance, maintenance."

Discussion then ensued regarding the proposed metal roofing material.

Chris Gruba stated that metal roofing is approximately 50 percent of the overall roofing material on the new house. Past projects have been permitted to use metal roofing as an accent material over porches, bay windows, etc.

Commissioner Knieriem stated that this looks modern.

Steve Lecas responded "good" this is what he was going for in the design.

Discussion then ensued regarding the windows.

Commissioner Schaeffer stated that the color rendering that was provided looks like an office building.

Steve Lecas responded that the rendering provided by the architect doesn't accurately reflect how the upper windows will have thinner mullions between the glass so as a grouping these will look like one large window.

Discussion then ensued regarding the proposed 5-foot side yard setback on the north side of the new house.

Commissioner Markunas stated that it is hard for him to allow this variation request since it is a vacant lot.

Commissioner Schaeffer stated that she is looking for a solution. She added that she does not like the fact that the new house is so close to the north property line.

Commissioner Knieriem stated that he echoes the other members' comment and that he is concerned with the proposed 5-foot setback.

Commissioner James stated that the north wall of the house is also the tallest part of the house. He added that it is going to be tight.

Commissioner Jakubowski stated that it is a big lot especially for the Downtown area.

Discussion then ensued about potentially shifting the proposed house further west on the lot, since the lot width becomes slightly wider. This may help the applicant achieve compliance with the required 10-foot side yard setback from the north property line.

Discussion then ensued regarding the applicant asking for the blessing of the Building Department on the proposed Longboard® metal siding product.

Chair Rigoni invited an audience member to the podium. He identified himself as Charles Christensen.

Mr. Christensen stated that his biggest concern was the proposed 5-foot setback from the north property line, which would place the proposed new house closer to his property.

Commissioner Knieriem requested that Mr. Lecas place stakes at the corners of the proposed new house for the benefit of both the Plan Commission/Zoning Board of Appeals as well as for the neighbor.

Mr. Lecas replied that he would in fact provide those stakes to show the location of the proposed new house on the lot.

E. Public Comments

There were none.

F. Village Board & Committee Updates

Schwarz noted that the following matters that previously came before the PC/ZBA were approved by the Village Board at its meeting on August 15:

- Norman Residence side yard setback and basement area variations at 229 N. Locust Street – the ordinance was approved.
- Wildflower Hair Salon and Spa special use for personal services at 21195 S. la Grange Road – the ordinance was approved.

Schwarz also noted that the Illinois Chapter of the American Planning Association Annual Conference will be held at the Old Post Office in Chicago September 28-30. There is a nominal amount of funding in the budget for a few Plan Commission members to attend one day of the conference for a session which offers Plan Commissioner training. He stated that it is a good opportunity to learn best practices from other

communities and to socialize with other peers who dealing with similar issues. If any members are interested, they should contact him for registration information.

G. Other Business

There was no other business.

H. Attendance Confirmation (September 8th, 2022)

Chair Rigoni asked the Commissioners to notify staff if they will not be in attendance on September 8th, and to notify staff once they knew they could not attend.

Motion (#9): Adjournment 9:17 P.M.

Motion by: Knieriem Seconded by: Jakubowski

Unanimously approved by voice vote.

Approved September 8th, 2022

As Presented _____ As Amended _____

_____/s/ Maura Rigoni, Chair

_____/s/ Secretary

Project: Kerley Residence First Floor Additions
Meeting Type: Public Hearing
Request(s): 4 Variations to remodel and construct additions onto an existing single-family home, and a Plat of Resubdivision to combine underlying lots
Location: 25 Carpenter Street
Applicant: John Kerley
Prop. Owner: Same as above
Consultants: Same as above
Representative: None
Report By: Drew Duffin

Site Details

Lot Size: 8,000 SF
PIN(s): 19-09-21-415-009-0000
Existing Zoning: R-2, Single-Family Detached Residential
Prop. Zoning: N/A
Building(s) / Lot(s): 1 building with detached garage / 2 lots

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Single-family Residential	Single Family Detached Residential	R-2
North	Single-family Residential	Single Family Detached Residential	R-2
South	Single-family Residential/Vacant	Single Family Detached Residential/Mixed Use	R-2/H1
East	Vacant	Mixed Use	H1
West	Single-family Residential	Single Family Detached Residential	R-2

Figure 1: Location Map



Project Summary

The applicant, John Kerley, is seeking to add first- and second-floor additions to his two-story home located at 25 Carpenter Street. The applicant intends to remove the existing, detached two-car garage to the east of the house, construct an attached, two-car garage to the southern side of the house facing the abutting alley. Mr. Kerley is requesting the following variations:

Variation Requested	Code Requirement	Proposed
Front yard setback	30 feet	10.2 feet
Side yard setback	25 feet total, at least 10 feet per side	19.4 feet (10.3 feet south, 9.1 feet north)
Lot coverage	20% (1,600 SF) maximum	29% (2,315 SF)

Materials requirements	Masonry on the first floor, no metal	Fiber cement product and metal roofing in lieu of asphalt shingles
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Attachments

- Workshop Meeting Minutes, August 11, 2022
- Applicant Findings for Variation Standards
- 2021 Aerial Photograph from Will County GIS
- Photographs of site taken on August 3, 2022
- PC/ZBA Evaluation Form for Variation Findings of Fact
- Plat of Resubdivision
- Engineering Site Plan dated July 12, 2022
- Architectural Plans dated June 17, 2022

Analysis

In consideration of the requests, staff offers the following points of discussion:

- The following table is provided to compare the subject property with the R-2 District dimensional and other standards:

	R-2 Single-Family Detached Residential District Requirement	Subject Property	Comments
Minimum Lot Size (square feet) (Single-Family Dwelling)	15,000 SF	8,000 SF	Legally nonconforming
Minimum Lot Width (Feet)	100 feet	80 feet	Legally nonconforming
Minimum Lot Depth	150 feet	100 feet	Legally nonconforming
Minimum Required Yards (feet) <ul style="list-style-type: none"> • Front • Side • Rear 	<ul style="list-style-type: none"> • 30 feet • Total 25 feet; min. 10 feet on any side • 30 feet 	<ul style="list-style-type: none"> • 15.6 feet existing (10.2 feet proposed) • Total 41.2 existing, 9.1 on north, 31.2 on south (19.4 proposed, 9.1 on north, 10.3 on south) • 30 feet 	Variations for front and side yards requested
Maximum Height (feet)	35 feet	22.5 feet	
Maximum Lot Coverage	20% (for a Two-Story, 1,600 SF)	18% existing, 29% proposed	Variation requested
Maximum Impervious Coverage	40%	36% existing, 36% proposed	
Maximum Rear Yard Coverage	30%	0%	
Minimum Gross Floor Area (square feet, includes basement)	2,600 (for a two-story)	2,777 SF existing, 4,584 SF proposed	
Minimum Basement Size	80% of the ground floor area	95% (931 SF) existing, 85% (1,285 SF) proposed	

- In a typical 15,000 square foot R-2 lot, the subject property would cover approximately 15.5% of the lot, which would conform with the Zoning Ordinance. However, because the property is only 8,000 square

feet in area, the existing home with the proposed addition covers 29% of the lot.

- The applicant is seeking to build a covered, but not enclosed porch which will be 10.2 feet from the front property line. This is somewhat in line with the other two homes which face Carpenter Street, but not entirely. 35 Carpenter Street, to the north of the subject property, has an uncovered porch which is set back approximately 10 feet from the front property line. The front wall of the building at 35 Carpenter Street is approximately 17 feet from the front property line. At 28 Carpenter, across from the subject property, the covered porch is approximately 13.75 feet from the front property line. The proposed covered porch at 25 Carpenter Street would, if approved, be the closest of the three homes to their respective front property lines. All above dimensions are estimated using the Will County GIS System and are not survey accurate.
- Historically, lots in Frankfort that have an alley along one side of the lot are still considered traditional lots and not corner lots. As such, the property fronts along Carpenter Street, has two side yards and a rear yard.

Standards for Variations

The applicants are requesting multiple variations in conjunction with proposed first and second floor additions and exterior remodeling.

For reference during the workshop, Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request.

- a. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:
 1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
 2. That the plight of the owner is due to unique circumstances;
 3. That the variation, if granted, will not alter the essential character of the locality.
- b. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making this determination, whenever there are practical difficulties or hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:
 1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
 2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
 3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
 4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
 5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
 6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the

applicable district, as to cause a substantial depreciation in the property values within the neighborhood;

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

Affirmative Motion

For the Commission's consideration, staff provides the following potential affirmative motions:

1. Recommend that the Village Board approve the request for a variation from Article 6, Section B, Part 1 to reduce the required front yard setback from 30 feet to 10.2 feet in the R-2 Single-Family Residential District located at 25 Carpenter Street in accordance with the submitted plans, public testimony, and Findings of Fact.
2. Recommend that the Village Board approve the request for a variation from Article 6, Section B, Part 1 to reduce the required side yard setback from a total of 25 feet with no less than 10 feet on each side to a total of 19.4 feet with no less than 9.1 feet on each side in the R-2 Single-Family Residential District located at 25 Carpenter Street in accordance with the submitted plans, public testimony, and Findings of Fact.
3. Recommend that the Village Board approve the request for a variation from Article 6, Section B, Part 1 to increase the maximum allowable lot coverage from 20% to 29% in the R-2 Single-Family Residential District located at 25 Carpenter Street in accordance with the submitted plans, public testimony, and Findings of Fact.
4. Recommend that the Village Board approve the request for a variation from Article 6, Section B, Part 2(g)(2) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding on the first floor of an existing home in conjunction with a first-floor addition the R-2 Single-Family Residential District located at 25 Carpenter Street in accordance with the submitted plans, public testimony, and Findings of Fact.
5. Recommend that the Village Board approve the Plat of Resubdivision, subject to any necessary technical revisions prior to recording.

Chair Rigoni said that there was a possibility the Plan Commission would hear that request, depending on the materials that were used.

The applicant responded saying they could bring a sample for next time.

Chair Rigoni said that if the home had an attached garage, she would be less amenable to granting so many variations. She confirmed with the applicant that the only trees to be removed were the two marked at the front of the house. She stated that the applicant should work with staff to try and make the next meeting a public hearing. So long as the calculations did not result in something unreasonably different than what was discussed, the next meeting could be a public hearing.

For future reference, staff asked the Plan Commission whether they should work with applicants to try to minimize the number of variances requested prior to a workshop or whether the plans should come before the Commission as originally submitted, for the Commission to then decide which variances were excessive. Staff recalled the Plan Commission's hesitation to some of the variances requested at 143 Kansas, in which the applicant requested 8 variations.

Chair Rigoni said that staff should continue to do work with the property owner to reduce the number of variations requested, but that each property had to be considered differently.

Mr. Garcia noted to the Commission that Mr. Gruba was good to work with.

E. Workshop: 25 Carpenter Street – Kerley Residence

Drew Duffin gave the staff report.

Chair Rigoni asked if the current home was not constructed of masonry.

Staff responded it was not.

Commissioner Markunas stated he had no issues with the building materials.

Chair Rigoni asked what the front yard setback was for the house to the north.

Staff responded they were unsure.

Chair Rigoni asked that that information be provided at the next meeting. She then asked if the north side yard setback was going to be maintained.

Staff responded it was.

Chair Rigoni shifted discussion to the lot coverage on the site. She asked if the lot coverage calculations for the existing site included the detached garage.

Staff responded it did.

Commissioner Markunas asked what the size of the lot was.

Staff responded the lot was 8,000 square feet.

Chair Rigoni remarked that the applicant was proposing 29% lot coverage.

Commissioner Markunas noted that the lot was just over 50% the size of a typical R2 lot. He had no issue with the lot coverage.

Chair Rigoni noted that Carpenter Street was narrower and less busy than other downtown streets such as Nebraska Street. She asked the applicant to be sure that what they brought to the Plan Commission was everything they wanted to do on the site, so they did not come back later to request more variances. Adding more driveway to the east of the proposed attached garage would require another variance, but is not shown on the submitted plans. A larger driveway may put the site into nonconformity with the impervious lot coverage.

Commissioners noted and commented on Carpenter Street being narrower than other streets in the Village.

F. Public Comments

There were none.

G. Village Board & Committee Updates

Schwarz noted that the following matters that previously came before the PC/ZBA were approved by the Village Board at its meeting on August 1:

- Root Residence Variations for 324 Center Road – the ordinance was approved.

In addition, an item which was on the agenda for the cancelled July 28th meeting of the Plan Commission for Facen4Ward, an indoor entertainment Special Use Permit for 20879 S. La Grange Road, was withdrawn by the applicants. They may file in the future at a different address.

At its meeting on August 10, the Committee-of-the-Whole made a recommendation to the Village Board to enter into a purchase and sale agreement with Integrus Development for Village property at 7 N. White Street, which is the western/front portion of the Prairie Park parking lot. The project will require future review by the Plan Commission and the Historic Preservation Commission.

Chair Rigoni asked about the status of 2 Smith Street.

RECEIVED

By aduffin at 1:20 pm, Aug 02, 2022



Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

We would like to add on a 1st floor master to meet our needs as we plan to live there for many years.

2. That the plight of the owner is due to unique circumstances; and

We would like to add on a 1st floor master to meet our needs as we plan to live there for many years.

3. That the variation, if granted, will not alter the essential character of the locality.

We love the downtown Frankfort character and feel like our home will be a welcome addition and will add character.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

Agree

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

Agree

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

No this is our future home and we not plan on selling this home

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

Agree

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

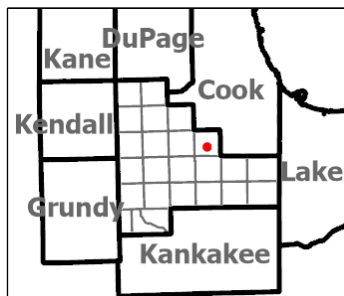
Agree

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or








Agree

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

Agree



Legend

-  Address Points
Roadways
 Federal
 State
 County
 Local and Private
 Parcels LY
 Townships

Notes

Date: 8/4/2022

1: 2,257



0

0.04

0.07 Miles



Projection

WGS_1984_Web_Mercator_Auxiliary_Sphere

Disclaimer of Warranties and Accuracy of Data: Although the data developed by Will County for its maps, websites, and Geographic Information System has been produced and processed from sources believed to be reliable, no warranty, expressed or implied, is made regarding accuracy, adequacy, completeness, legality, reliability or usefulness of any information. This disclaimer applies to both isolated and aggregate uses of the information. The County and elected officials provide this information on an "as is" basis. All warranties of any kind, express or implied, including but not limited to the implied warranties of merchantability, fitness for a particular purpose, freedom from contamination by computer viruses or hackers and non-infringement of proprietary rights are disclaimed. Changes may be periodically made to the information herein; these changes may or may not be incorporated in any new version of the publication. If you have obtained information from any of the County web pages from a source other than the County pages, be aware that electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended that careful attention be paid to the contents of any data, and that the originator of the data or information be contacted with any questions regarding appropriate use. Please direct any questions or issues via email to gis@willcountvillinois.com.



Facing SE, NW corner of property



Facing NE, SW corner of property



Facing N, SE corner of property



Facing NE, S side of property



Facing NW, S side of property



Facing NW, SE corner of property



Facing W, E side of property



28 Carpenter Street – across from subject property



Standards of Variation Commissioner Evaluation Form

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided.

	STANDARD	NOTES	MEETS	
1.	That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;		YES	NO
2.	That the plight of the owner is due to unique circumstances;		YES	NO
3.	That the variation, if granted, will not alter the essential character of the locality.		YES	NO

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence.

	STANDARD	NOTES	MEETS	
1.	That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;		YES	NO

2.	That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;		YES	NO
3.	That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;		YES	NO
4.	That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;		YES	NO
5.	That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;		YES	NO
6.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or		YES	NO
7.	That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.		YES	NO

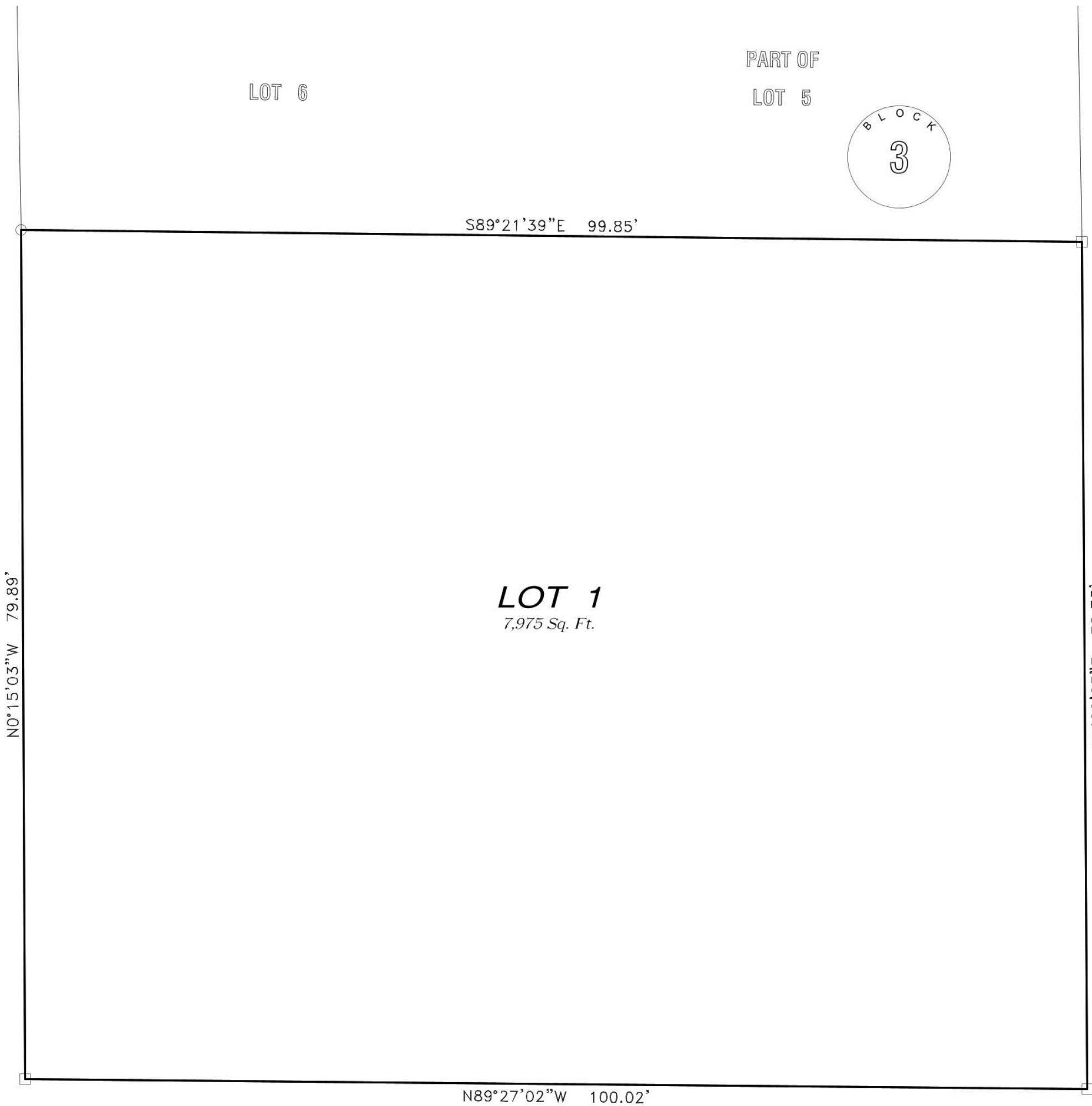
25 CARPENTER STREET SUBDIVISION

BEING A RE-SUBDIVISION OF THE SOUTH 1/2 OF LOTS 5 & 6 IN BLOCK 3 IN SMITH'S ADDITION TO FRANKFORT IN THE EAST 1/2 OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF FRANKFORT, IN WILL COUNTY, ILLINOIS.

RECEIVED

By Mike Schwarz at 9:11 am, Aug 24, 2022

CARPENTER STREET



EASEMENT PROVISIONS

An easement for serving the subdivision and other property with electric and communication service is hereby reserved for and granted to:

Commonwealth Edison Company, Ameritech Illinois a.k.a. Illinois Bell Telephone Company, Grantees,

Their respective licensees, successors, and assigns, jointly and severally, to construct, operate, repair, maintain, modify, reconstruct, replace, supplement, relocate and remove, from time to time, poles, guys, anchors, wires, cables, conduits, manholes, transformers, pedestals, equipment cabinets or other facilities used in connection with overhead and underground transmission and distribution of electricity, communications, sounds and signals in, over, under, across, along and upon the surface of the property shown within the dashed or dotted lines (or similar designation) on the plat and marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation), the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", and the property designated on the plat as "common area or areas", and the property designated on the plat for streets and alleys, whether public or private, together with the rights to install required service connections over or under the surface of each lot and common area or areas, to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes, roots and saplings and to clear obstructions from the surface and subsurface as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over Grantees' facilities or in, upon or over the property within the dashed or dotted lines (or similar designation) marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation) without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof. Further, any utility company at fault of creating or causing damage to existing field tile drainage systems, damage or disruption of other neighboring utilities, etc. shall be responsible for returning and performing repair or replacement work, at the sole expense of the utility company at fault. No expense or compensation will be provided by the developer for damage or repairs caused by the installation or maintenance of said utilities.

An easement is hereby reserved for and granted to NORTHERN ILLINOIS GAS COMPANY, its successors and assigns, in all platted "easement" areas, streets, alleys, other public ways and places shown on this plat, said easement to be for the installation, maintenance, relocation, renewal and removal of gas mains and appurtenances for the purpose of serving all areas shown on this plat as well as other property, whether or not contiguous thereto. No buildings or other structures shall be constructed or erected in any such "easement" areas, streets, alleys, or other public ways or places nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby.

An easement for serving the subdivision and other property with cable television is hereby reserved for and granted to an approved cable company, their respective successors and assigns, to install, operate, maintain, and remove, from time to time, facilities used in connection with overhead and underground transmissions and distribution of cable tv signals in all platted easement areas, streets, alleys, other public ways and places shown on this plat, together with the right to install required service connection over or under each lot to serve improvements thereon. No building or other structures shall be constructed or erected in any easement area without the prior written consent of grantee.

PART OF
LOT 5



16' ALLEY

A PERPETUAL EASEMENT IS HEREBY GRANTED TO THE VILLAGE OF FRANKFORT, A MUNICIPAL CORPORATION OF ILLINOIS, ITS SUCCESSORS AND ASSIGNS, FOR THE FULL AND FREE RIGHT AND AUTHORITY TO INSTALL, CONSTRUCT, AND OTHERWISE ESTABLISH, RELOCATE, REMOVE, RENEW, REPLACE, OPERATE, INSPECT, REPAIR, AND MAINTAIN WATERMAINS, FIRE HYDRANTS, VALVES, AND WATER SERVICE FACILITIES, SANITARY SEWER PIPES, MANHOLES, AND SEWER CONNECTIONS, STORM SEWER PIPES, MANHOLES, INLETS, STORM WATER DETENTION AND STORM SEWER SERVICE CONNECTIONS, ELECTRIC TRANSMISSION AND DISTRIBUTION WIRES AND CABLES, COMMUNITY ANTENNA TELEVISION SYSTEMS, AND SUCH OTHER APPURTENANCES AND FACILITIES AS MAY BE NECESSARY OR CONVENIENTLY RELATED TO SAID WATERMAINS, SANITARY SEWER PIPES, STORM SEWER PIPES, STORM WATER DETENTION, ELECTRIC TRANSMISSION AND DISTRIBUTION WIRES AND CABLES, COMMUNITY ANTENNA TELEVISION SYSTEM, IN, ON, UPON, OVER, THROUGH, ACROSS, AND UNDER ALL OF THAT REAL ESTATE HEREON DESCRIBED AND DESIGNATED AS WITHIN PUBLIC UTILITY AND DRAINAGE EASEMENTS. SAID EASEMENTS BEING DESIGNATED BY THE DASHED LINES AND DESIGNATIONS OF WIDTH.

All easements indicated as public utility and drainage easements on the plat are reserved for and granted to the Village of Frankfort and to those public utility companies operating under franchise from the Village of Frankfort, including, but not limited to, Ameritech Telephone Company, Nicor Gas Company, Commonwealth Edison Electric Company, Media One Cable Television Company and their successors and assigns, for perpetual right, privilege and authority to construct, reconstruct, repair, inspect, maintain and operate various utilities, transmission and distribution systems including storm and/or sanitary sewers, water mains, valve vaults, and hydrants together with any and all necessary manholes, catch basins, connections, appliances and other structures and appurtenances as may be deemed necessary by said Village of Frankfort, over, upon, along, under, through said indicated easement, together with right of access across property for necessary men and equipment to do any of the above work. The right is also granted to cut down, trim, or remove trees, shrubs, or other plants on the easement that interfere with the operation of the sewers and other utilities. No permanent buildings, trees or other structures shall interfere with the aforesaid uses or rights. Where an easement is used for both sewer and/or water mains and other utilities, the other utility installations are subject to the ordinances of the Village of Frankfort.

Owner shall maintain, operate and repair the portions of the property identified on this plat as drainage easements at all times in a manner consistent with the plans and specifications approved by the Village. Each owner or subsequent purchaser shall be equally responsible for maintaining the drainage easement and shall not destroy or modify grades or slopes without having first received prior written approval of the Village of Frankfort, or any other unit of local government having jurisdiction over drainage. In the event any owner or subsequent purchaser fails to properly maintain the drainage easement, the Village of Frankfort or any other unit of local government having jurisdiction over drainage, shall upon ten (10) days of prior written notice, reserve the right to perform, or have performed on its behalf, any maintenance work to or upon the drainage easement reasonably necessary to ensure adequate stormwater storage and free flow of stormwater through the drainage easement. The owner shall be liable for the cost of any maintenance so performed by the Village and shall promptly reimburse the Village for such costs with an additional sum of ten percent (10%). If payment in full is not made to the Village, a notice of lien will be recorded within ninety (90) days of completion of the work. (A notice of lien to include a 15% penalty per year made on behalf of the Village) which may be foreclosed by an action brought by or on behalf of the Village of Frankfort.

DRAINAGE CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF WILL)SS

THE UNDERSIGNED HEREBY CERTIFIES THAT, TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THIS SUBDIVISION OR THAT, IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION WILL BE MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS THAT THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS SUBDIVISION.

DATED THIS _____ DAY OF _____, 20_____.

ENGINEER _____ ILLINOIS LICENSE # _____

SURVEYORS CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF WILL)SS

THIS IS TO CERTIFY THAT I, ROBERT F. SLUIS, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED AND SUBDIVIDED THE BELOW DESCRIBED PROPERTY:

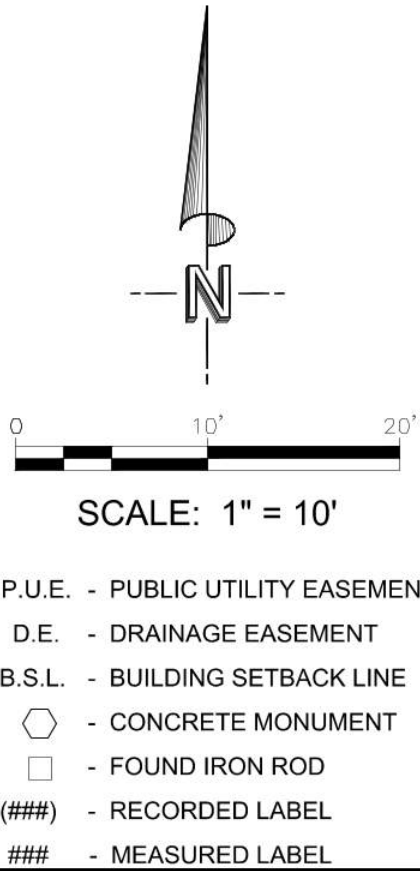
THE SOUTH 1/2 OF LOTS 5 & 6 IN BLOCK 3 IN SMITH'S ADDITION TO FRANKFORT, IN THE EAST 1/2 OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

I DO FURTHER CERTIFY THAT:

1. NO PART OF THIS SUBDIVISION IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FIRM MAP NUMBER 17197C0213G, EFFECTIVE DATE FEBRUARY 15, 2019.
2. THE ACCOMPANIED PLAT IS TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.
3. ALL LOTS CORNERS WILL BE STAKED WITH 5/8 INCH BY 24 INCH IRON RODS OR MONUMENTED ACCORDING TO THE PLAT ACT AS AMENDED.
4. DISTANCES ARE IN FEET AND DECIMAL PARTS THEREOF.
5. THIS SUBDIVISION CONTAINS 0.18 ACRES.
6. PIN: 19-09-21-415-009-0000
7. THE PROPERTY LIES WITHIN CORPORATE LIMITS OF THE VILLAGE OF FRANKFORT.

Dated this _____ day of _____, 20_____.

Robert F. Sluis
Illinois Professional Land Surveyor #035-003558
License Expires November 30, 2022



- P.U.E. - PUBLIC UTILITY EASEMENT
D.E. - DRAINAGE EASEMENT
B.S.L. - BUILDING SETBACK LINE
□ - CONCRETE MONUMENT
□ - FOUND IRON ROD
(###) - RECORDED LABEL
- MEASURED LABEL

MAIL TO:

REVISIONS		
DATE	BY	DESCRIPTION

MGA CIVIL ENGINEERING SURVEYING	
M GINGERICH GEREAX & ASSOCIATES	
MG2A WEST	
Professional Design Firm License # 184.005003	
P. 815-478-9680 www.mg2a.com F. 815-478-9685	
25620 S. GOUGAR RD MANHATTAN, IL. 60442	
ORDERED BY: JOHN KERLEY	FILED
DATE: 08-18-2022	DR. BY: NIB
DES. NO.: 22-603	PG: 1 of 2

25 CARPENTER STREET SUBDIVISION

BEING A RE-SUBDIVISION OF THE SOUTH 1/2 OF LOTS 5 & 6 IN BLOCK 3 IN SMITH'S ADDITION TO FRANKFORT IN THE EAST 1/2 OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF FRANKFORT, IN WILL COUNTY, ILLINOIS.

RECEIVED

By Mike Schwarz at 9:11 am, Aug 24, 2022

OWNERSHIP CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF WILL)SS

THIS IS TO CERTIFY THAT _____, CELTIC CONSTRUCTION / JOHN KERLEY _____, IS (ARE) THE OWNER(S) OF THE LAND DESCRIBED IN THE FOREGOING CERTIFICATE AND HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED ON THE PLAT, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND THAT THE SAVE ABOVE DESCRIBED PROPERTY IS LOCATED IN SCHOOL DISTRICT(S): _____ FRANKFORT COMMUNITY CONSOLIDATED ELEMENTARY SCHOOL DISTRICT 157C, LINCOLN WAY COMMUNITY HIGH SCHOOL DISTRICT 210 AND JOLIET JUNIOR COLLEGE 525 _____, AND THAT I (WE) HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED, AS MY (OUR) OWN FREE AND VOLUNTARY ACT AND DEED.

DATED THIS _____ DAY OF _____, A.D. 20 _____.

OWNER

CELTIC CONSTRUCTION / JOHN KERLEY _____.

8301 W. 123rd STREET _____.

PALOS PARK, ILLINOIS 60464 _____.

NOTARY CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF _____) SS

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, DO HEREBY CERTIFY THAT (AND I, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) ARE SUBSCRIBED TO THE ABOVE CERTIFICATE APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (THEY) SIGNED THE ABOVE CERTIFICATE AS HIS (THEIR) OWN FREE AND VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL IN _____ COUNTY, ILLINOIS

THIS _____ DAY OF _____, A.D., 20 _____.

NOTARY PUBLIC

PLAN COMMISSION CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF WILL)SS

I, _____, CHAIRMAN OF THE VILLAGE OF FRANKFORT PLANNING AND ZONING COMMISSION, DO CERTIFY THAT ON THIS DAY OF _____, 20 _____, A.D. THIS PLAT OF SUBDIVISION WAS DULY APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE VILLAGE OF FRANKFORT.

ON THE _____ DAY OF _____, 20 _____.

CHAIRMAN _____

SECRETARY _____

VILLAGE BOARD CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF WILL)SS

APPROVED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL COUNTY, ILLINOIS, THIS DAY OF

_____, 20 ___, A.D.

PRESIDENT _____

VILLAGE CLERK _____

COUNTY CLERK CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF WILL)SS

I, _____, COUNTY CLERK OF WILL COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, OR UNPAID CURRENT GENERAL TAXES AGAINST ANY OF THE ESTATE DESCRIBED IN THE FOREGOING CERTIFICATES.

WILL COUNTY CLERK

TAX MAPPING AND PLATTING CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF WILL) SS

I, _____, DIRECTOR OF THE TAX MAPPING AND PLATTING OFFICE DO HEREBY CERTIFY THAT I HAVE CHECKED THE PROPERTY DESCRIPTION ON THIS PLAT AGAINST AVAILABLE COUNTY RECORDS AND FIND SAID DESCRIPTION TO BE TRUE AND CORRECT. THE PROPERTY HEREIN DESCRIBED IS LOCATED ON TAX MAP PAGE #09-21D-E AND IDENTIFIED AS PERMANENT REAL ESTATE TAX INDEX NUMBER (PIN) 19-09-21-415-009-0000

DATED THIS _____ DAY OF _____, A.D., 20 _____.

DIRECTOR _____

RECORDER CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF WILL)SS

THIS INSTRUMENT NO. _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF WILL COUNTY AFORESAID ON THE _____ DAY OF

_____, A.D., 20 _____

AT _____ O'CLOCK ____ M.

WILL COUNTY RECORDER

MORTGAGEE CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF WILL)SS

THE UNDERSIGNED, _____, AS MORTGAGEE, UNDER THE

PROVISIONS OF CERTAIN MORTGAGE DATED _____ AND RECORDED IN

THE RECORDER'S OFFICE OF _____ COUNTY, ILLINOIS, ON _____ DAY OF

_____, A.D. 20 ___, AS DOCUMENT NUMBER _____,

HEREBY CONSENTS TO THE SUBDIVISION STATED HEREIN.

DATE: _____
PRINTED NAME AND TITLE: _____

ATTEST: _____
PRINTED NAME AND TITLE: _____

NOTARY CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF _____) SS

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT THE PEOPLE WHOSE SIGNATURES APPEAR IN THE FOREGOING CERTIFICATE ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS AND THAT THEY APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL IN _____ COUNTY, ILLINOIS

THIS _____ DAY OF _____, A.D., 20 _____.

NOTARY PUBLIC

COUNTY 9-1-1 EMERGENCY TELEPHONE SYSTEM APPROVAL CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF WILL)SS

THIS PLAT HAS BEEN CHECKED FOR CONFORMANCE TO ALL WILL COUNTY 9-1-1 EMERGENCY TELEPHONE SYSTEM REQUIREMENTS.

DATED _____ DAY OF _____, A.D., 20 _____.

CHIEF ADMINISTRATOR

REVISIONS

DATE	BY	DESCRIPTION



M GINGERICH GEREAX & ASSOCIATES
MG2A WEST
Professional Design Firm License # 184.005003
P. 815-478-9680 www.mg2a.com F. 815-478-9685
25620 S. GOUGAR RD | MANHATTAN, IL. 60442

ORDERED BY: **JOHN KERLEY**
DATE: 08-18-2022 DR. BY: NIB CK. BY: RFS FILE:
JOB NO. 22-603 PG. 2 of 2

LEGEND

- FOUND IRON ROD
- SET MAG NAIL
- 7.77' MEASURED DATA
- 7.77' RECORDED DATA
- CONCRETE
- ASPHALT
- AGGREGATE

PROPOSED FLOW DIRECTION ARROW

PXXX.XX - PROPOSED SPOT ELEVATIONS

FGF-XXX.XX - SUGGESTED FINISHED GARAGE FLOOR ELEVATION

T/F-XXX.XX - SUGGESTED TOP OF FOUNDATION ELEVATION

NEW CONCRETE DRIVEWAY / WALK

RECEIVED
By aduffin at 12:47 pm, Jul 27, 2022

LEGAL DESCRIPTION
THE SOUTH 1/2 OF LOTS 5 & 6 IN BLOCK 3 IN SMITH'S ADDITION TO FRANKFORT, IN THE EAST 1/2 OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

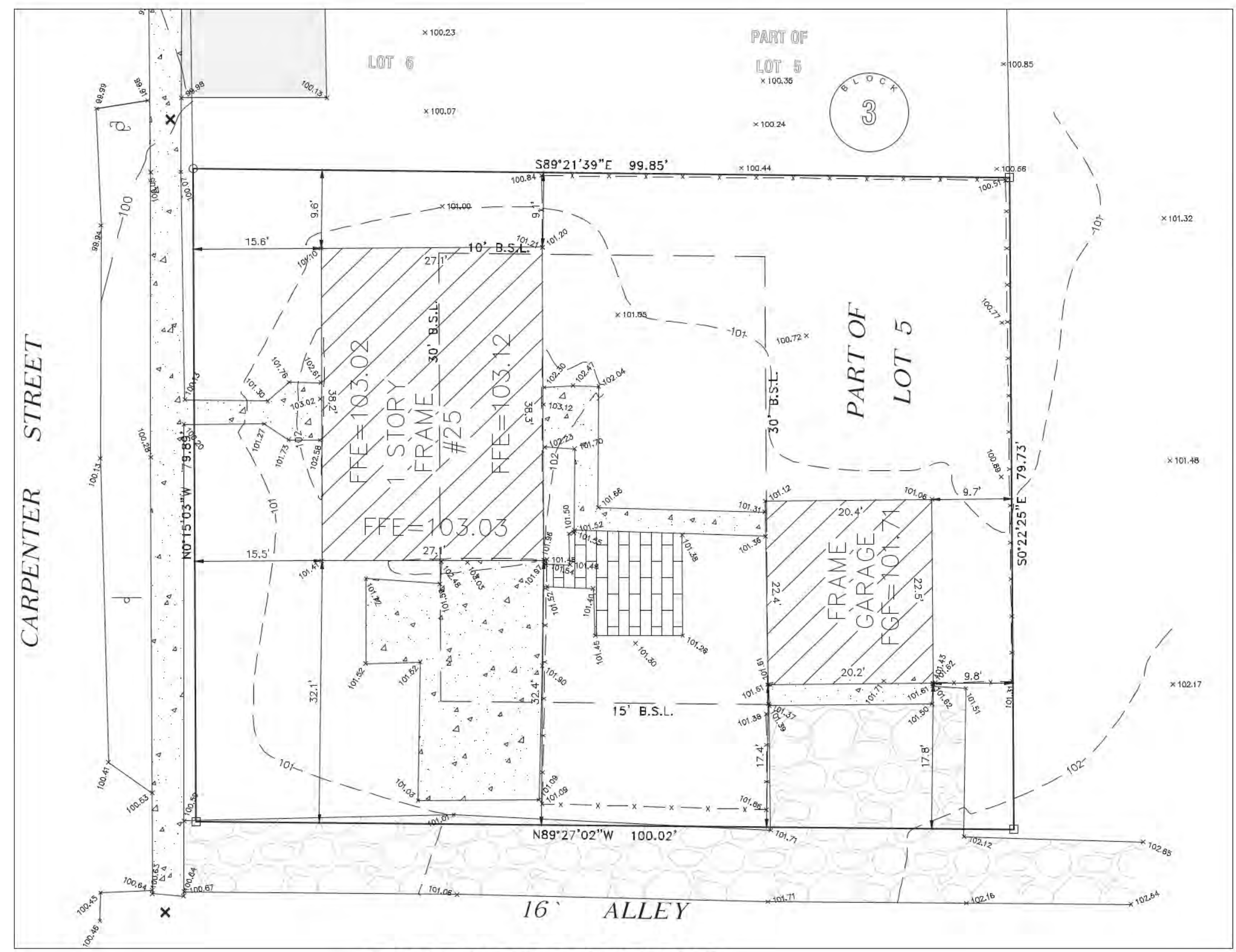
PIN: 19-09-21-415-009-0000

ABBREVIATIONS
P.U. or P.U.E. - PUBLIC UTILITY EASEMENT
B.S.L. - BUILDING SETBACK LINE
D.E. - DRAINAGE EASEMENT
P.C.C. - PORTLAND CEMENT CONCRETE (SUBJECT TO C&R DOCS., EITHER PAVERS OR STAMPED CONCRETE REQ'D)

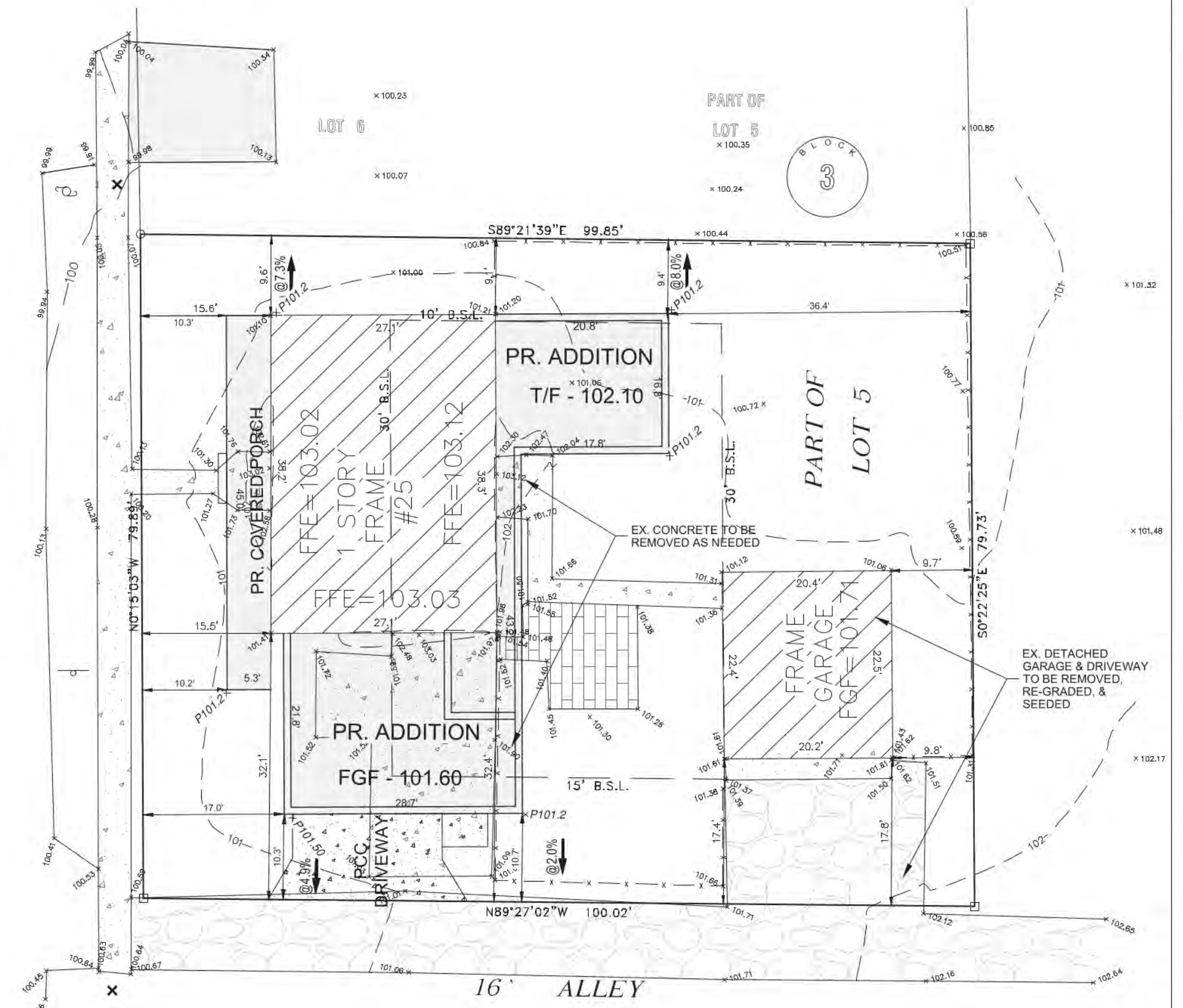
- NOTES:
- Building setback lines (BSL) shown are per proposed. Property is zoned in the R-2 district, setbacks are subject to review and variance approval by Village. Current zoning and approved variances of property should be verified prior to construction.
 - All right of way and/or off-site disturbed areas shall be restored to existing conditions or better, if necessary.
 - Building footprint provided by others, and should be checked prior to construction. Refer to architectural plans for actual building footprint dimensions.
 - No topographic survey of current ground grades or existing improvements in place has been completed and shall be the responsibility of the Owner to verify locations prior to starting construction.
 - Building location should be established by measuring from surveyed property lines and checked by measuring distances to opposing property lines. Building setback line should be staked in the field to verify footprint location on the lot.
 - All proposed sanitary sewer service line installation work will comply with all local sanitary sewer specifications and requirements. No visible service locations were found by MG2A, unless otherwise shown.
 - Prior to Excavation call Joint Utilities Location Information for Excavations "J.U.L.I.E." 1-800-892-0123



SITE LOCATION MAP
NO SCALE



EXISTING CONDITIONS
SCALE: 1"=10'

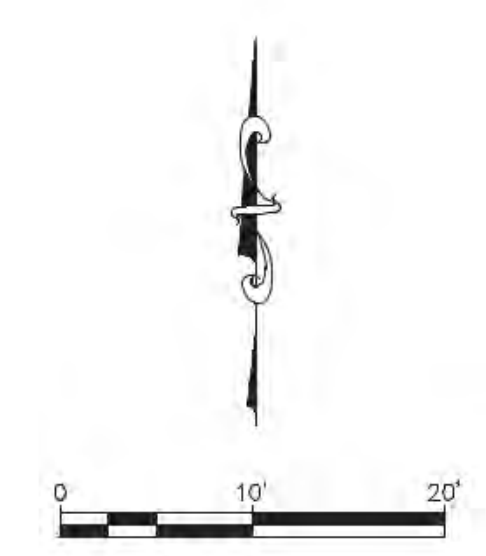


BULK REQUIREMENTS TABLE

TOTAL AREA = 8,001 SQ.FT.
EXISTING / PROPOSED ZONING: R2
EXISTING / PROPOSED USE: SINGLE-FAMILY RESIDENTIAL

	REQUIRED	REQUESTED VARIANCE
MINIMUM FRONT YARD	30 FT	10.2 FT
MINIMUM SIDE YARD	10 FT MIN (TOTAL OF 25 FT)	9.4 FT (TOTAL OF 19.7 FT)
MINIMUM REAR YARD	30 FT	NONE
MINIMUM LOT AREA	15,000 SQ.FT.	8,001 SQ.FT.
MAXIMUM LOT COVERAGE	20%	(2,315 / 8,001 = 29%)

BRIAN P. HERTZ
REGISTERED PROFESSIONAL ENGINEER
OF ILLINOIS
7/12/22
Exp: 11/30/23



PLAN EDITION MILESTONES

DATE	BY	DESCRIPTION
07/12/2022	BPH	ISSUED FOR REVIEW

CIVIL ENGINEERING SURVEYING
M GINGERICH GEREUX & ASSOCIATES
MG2A WEST
Professional Design Firm License # 184-005003
P. 815-478-9680 F. 815-478-9685
25620 S. GOUGAR RD., MANHATTAN, IL 60442
www.mg2a.com

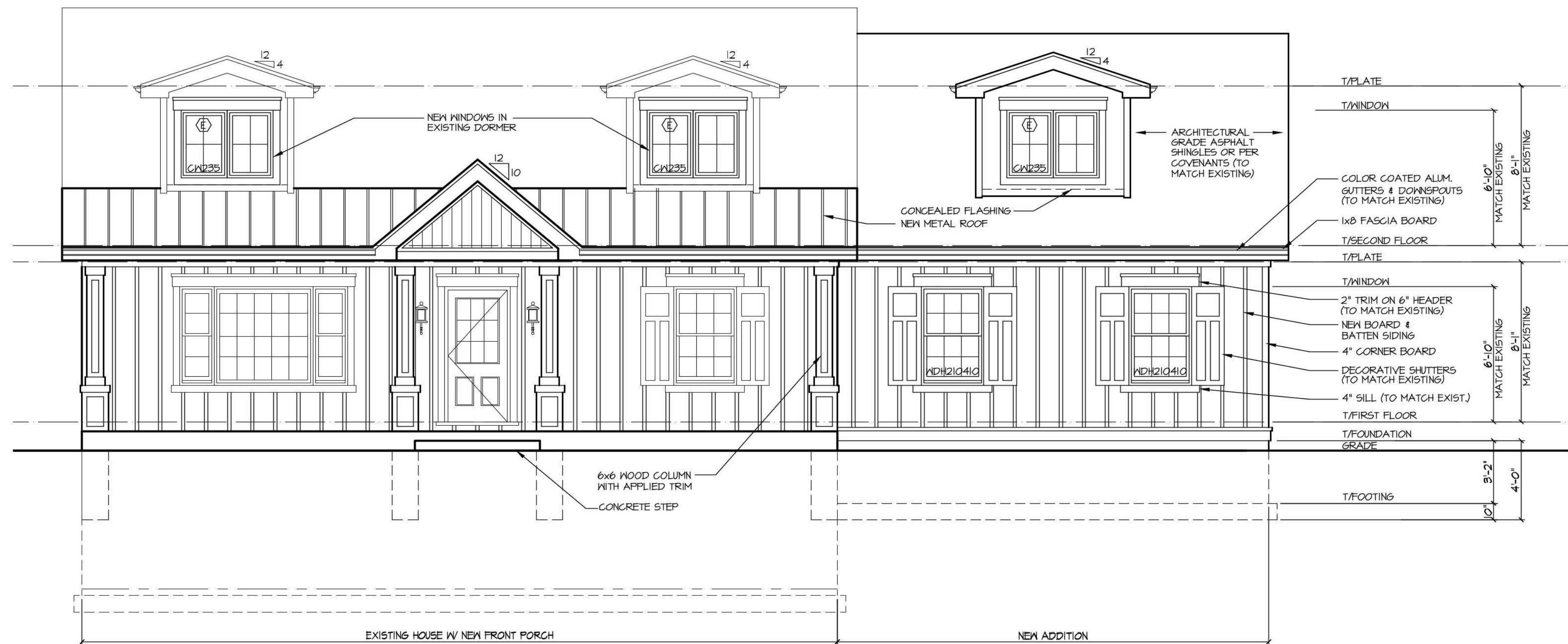
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25 CARPENTER STREET
FRANKFORT, ILLINOIS
SITE PLAN

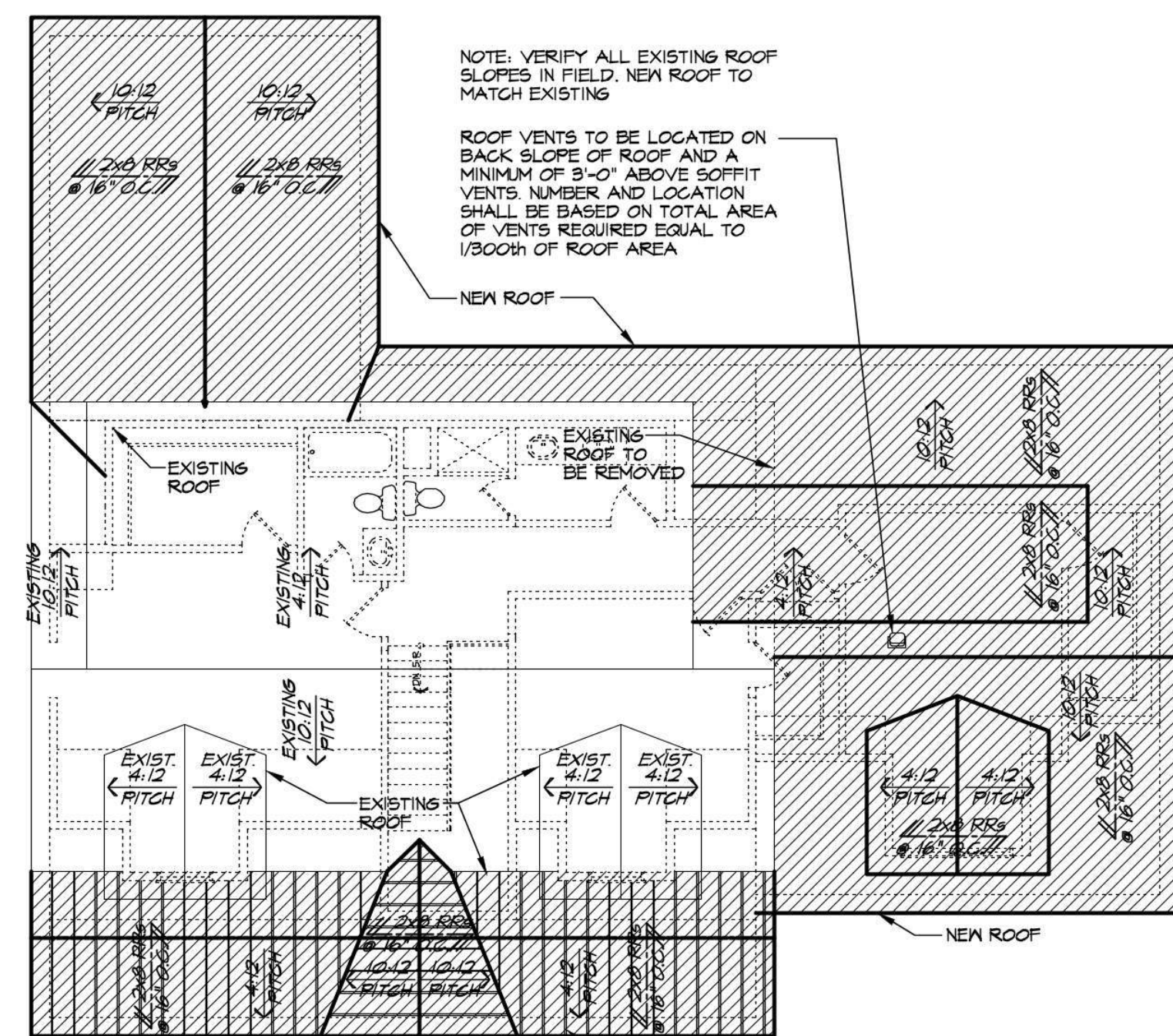
SHEET NO.
1 OF 1

JOB NO. 22-603
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DOE TO THE UNCERTAINTY OF SEASONAL GROUND WATER TABLES AND THE GEOPHYSICAL CONDITIONS AFFECTING GROUND WATER MOVEMENT, M. GINGERICH, GEREUX & ASSOCIATES TAKES NO RESPONSIBILITY FOR THE MANAGEMENT OF GROUND WATER ASSOCIATED WITH SUB-GRADE CONSTRUCTION. BASINENTS OR OTHER LINE FACILITIES CONSTRUCTED BELOW THE FINISHED SURFACE GRADE OF THE PROPERTY ARE AT THE RISK OF THE BUILDER/OWNER



FRONT ELEVATION

$$\frac{1}{4}^8 = 1'-0''$$


ROOF PLAN

1/8" = 1'-0"

ROOF PLAN NOTES

GROUND SNOW LOAD: 34 PSF
DEAD LOAD: 10 PSF

1. USE CANADIAN SPRUCE-PINE-FIR NO. 2 FOR ROOF RAFTERS THRU 2"x10". 2"x12" ROOF RAFTERS SHALL BE CANADIAN HEM-FIR NO. 2 PER U.S. 2" SPAN BOOK FOR CANADIAN LUMBER"
SPAN TABLES SP'F FOR SOUTHERN LUMBER (NORTH LUMBER GREATER SPANS ARE ALLOWED)
2"x6" @ 12" O.C. = 13'-4" 2"x8" @ 12" O.C. = 17'-5" 2"x10" @ 12" O.C. = 21'-4"
2"x6" @ 16" O.C. = 11'-11" 2"x8" @ 16" O.C. = 15'-1" 2"x10" @ 16" O.C. = 18'-5"
HEM FIR
2"x12" @ 12" O.C. = 24'-4"
2"x12" @ 16" O.C. = 21'-1"
2. ROOF MEMBER SIZES ARE BASED ON ALLOWABLE RAFTER SPANS FOR SPRUCE-PINE-FIR (#2 NORTH) UP THRU 2"x10" VALLEYS, IF 2"x12" RAFTERS ARE USED THEN HEM-FIR #2 SHALL BE USED.
3. HIP OR RAFTER RAFTERS EXCEEDING 24'-0" IN LENGTH SHALL BE 1/4" WIDE GAN LAM MEMBERS X RAFTER DEPTH UP 2" MIN.
4. ALL HIP VALLEY CRIPPLE JACKS SHALL BE INSTALLED AND SHALL BE EQUAL IN DEPTH AND SPACING TO MAIN RAFTER FRAMING INTO HIP OR VALLEY RAFTER.
5. IT WILL BE ALLOWED IF FRAMING CARPENTER CHOOSES TO REDUCE SIZE OF ROOF RAFTERS BY PROVIDING INTERMEDIATE WALLS OR BEAMS TO ROOF RAFTERS, THIS REDUCING SPAN, THEN SUPPORTED BACK TO INTERIOR BEARING WALLS, ARCHITECT SHALL BE NOTIFIED OF CHANGES BEFORE FRAMING WORK STARTS.
6. COLLAR TIES SHALL BE INSTALLED PER LOCAL GOVERNING BUILDING CODES.
7. WHERE HIP RAFTERS FRAME PERPENDICULAR TO CEILING JOISTS PROVIDE SOLID BLOCKING AT 8'-0" O.C. BETWEEN JOISTS FOR A DISTANCE OF 10'-0" FROM EXTERIOR WALL, WHEN SPANS ON CEILING JOISTS EXCEED 16'-0" SPANS.
8. PROVIDE FLASHING AT ALL WALL AND ROOF INTERSECTIONS WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS.
9. RAFTERS SHALL BE FRAMED TO EACH OTHER WITH A GUSSET PLATE OR TO A MINIMUM 1-INCH NOMINAL THICKNESS RIDGE BOARD, NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER, A MINIMUM 2-INCH NOMINAL THICKNESS VALLEY OR HIP RAFTER IS REQUIRED AT ALL VALLEYS AND HIPS, NOT LESS THAN THE DEPTH OF THE CUT END OF THE RAFTER, AND SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTITION.
10. THE ENDS OF EACH RAFTER AND CEILING JOIST SHALL HAVE NOT LESS THAN 1-1/2" OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3" ON MASONRY OR CONCRETE.

GARPENTER CONTRACTOR NOTE: THE ABOVE SPAN TABLES ARE TO BE USED FOR REFERENCE FOR MAXIMUM ROOF Rafter SPAN. IF CARPENTER SUBCONTRACTOR IS ABLE TO SORTER SPAN, HE IS PERMITTED TO DO SO AS LONG AS HE DOES NOT EXCEED RAFTER SPANS ALLOWED BY LOCAL CODE. FURTHER, IF RAFTER SPAN IN A ROOF AREA CHANGES FROM MAX. SPAN ALLOWED TO LESSER SPAN CONTRACTOR MAY MAKE THAT ADJUSTMENT, SAY FROM 2"x10"s TO 2"x8"s BY ADJUSTMENT IN HIS BIRDS MOUTH CUT.

CARPENTER CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/ CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

ELEVATION NOTES

1. CONTRACTOR NOTE: ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND LOCATIONS BEFORE ORDERING ANY MORE. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
2. (1) ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" WHICH HAS A NET CLEAR OPENING OF 5.7 SQ. FT. AND A MAXIMUM GLASS AREA OF 5.7 SQ. FT. FOR COMPLETE EGRESS WINDOW REQUIREMENTS, REFER TO IRC SEC. R310.
3. (5) UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER ANSI'S SPECS.
4. CONTRACTOR SHALL SUBMIT VERIFICATION THAT ALL WINDOWS HAVE A MAXIMUM GLASS AREA OF 5.7 SQ. FT. CONTRACTOR TO SUBMIT CUT SHEETS ON WINDOWS TO THE BUILDING DEPARTMENT.
5. PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS.
6. HRAIP EAVE PLAYS WITH RAIN GUTTER AND SLOPE AS SHOWN.
7. FIREPLACE RETURN TO BE MIN. (2'-0") ABOVE ANY SLOPE WITHIN MIN. HORIZONTAL DISTANCE OF (10'-0").
8. WINDOW DESIGNATIONS INDICATES "ANDERSON" MANUFACTURER CLAD WINDOWS. COORDINATE WINDOW TYPES WITH RAIN WATER DRAINAGE EXACT SIZES 4 TYPES. PENETRATION U-FACTOR .30
9. ALL SOLDIER AND ROWLOCK BRICK COURSE TO BE PROJECTED 1/2" FROM FACE OF WALL UNLESS OTHERWISE NOTED.

PROVIDE VENTILATION FOR ALL ATTIC AREAS. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED THE BALANCE OF THE AREA NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, OR A VAPOR BARRIER HAVING MAXIMUM 1 PERM TRANSMISSION RATE IS WARM SIDE OF THE CEILING. VENTILATING OPENINGS SHALL BE PROVIDED WITHIN THE LEAST 18" CORROSION-RESISTANT WIRE MESH WITH 1/8-1/4 INCH OPENINGS.

SAFETY GLASS REQUIREMENTS

THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING:

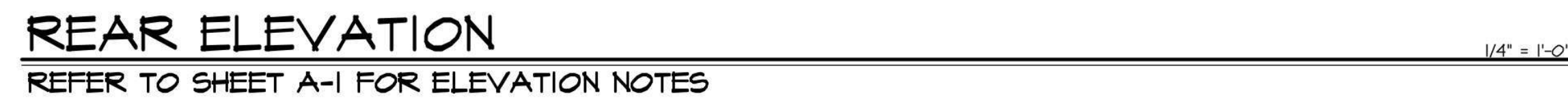
7.1 EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
7.2 BOTTOM EDGE LESS THAN 18" ABOVE THE

1. GLAZING IN INGRESS AND MEANS OF EGRESS DOORS EXCEPT JALOUSIES.
2. GLAZING IN THE FIXED AND SLIDING PANELS OF SLIDING(PATIO) DOOR ASSEMBLIES AND PANELS IN SLIDING A BIFOLD CLOSET DOOR ASSEMBLIES
3. GLAZING IN STORM DOORS.
4. GLAZING IN ALL UNFRAMED SWINNING DOORS.
5. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS, GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60"(1524mm) ABOVE ANY STANDING OR WALKING SURFACE.
6. GLAZING, IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 60"(1524mm) ARE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60"(91524mm) ABOVE THE FLOOR OF WALKING SURFACE.
7. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 5 AND 6 ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - FLOOR.
1.2 IF THE EDGE GREATER THEN 36" ABOVE THE FLOOR.
 - 7.4 ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY TO THE GLAZING.
8. ALL GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL INFILLS PANELS.
9. GLAZING IN WALLS AND FENCES ARE ENCLOSING INDOORS AND OUTDOORS SWIMMING POOLS AND WHERE THE BOTTOM EDGE OF THE POOL SIDE IS (LESS THAN 60" ABOVE A WALKING SURFACE AND (2)WITHIN 36" HORIZONTALLY OF A WALKING SURFACE, THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.
10. GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS, WITHIN 36" (914mm) HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60"(1524mm) ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
11. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" (1524mm) HORIZONTALLY OF A WALKING SURFACE OF BOTTOM OF THE STAIR IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60"(1524mm) ABOVE THE NOSE OF THE TREAD.

ACTUAL INSULATION PROVIDED BY COMPONENT IN THIS PROJECT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE AND DEPTH	CRANK SPACE WALL R-VALUE	TRAY GLS W/OUT ATTIC R-VALUE
5 AND MARINE 4	30 MAX	35 MAX	NR	49	20 OR 19-5	13/17	30	15/19 4'-0" BELOW GRADE	10-2 FEET	15/19	30 1/4" OR EQUAL TO 500 SF OR 20% WHICHEVER IS

1. A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN THE CEILING/GROUPT WALLS, FOUNDATION (SLAB, BASEMENT WALL, CRAWL SPACE), EXTERIOR WALLS AND DUCTS OUTSIDE CONDITIONED SPACES, U-FACTORS FOR PENETRATION AND THE GROSS PENETRATION, AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING. WHERE THERE IS MORE THAN ONE VALUE FOR EACH CATEGORY, THE HIGHEST VALUE SHALL BE LISTED. THE CERTIFICATE SHALL LIST THE LARGEST AREA THE CERTIFICATE SHALL LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT. WHERE A GAS FIRED UNVENTED ROOM HEATER, ELECTRIC FURNACE OR BASEBOARD ELECTRIC HEATER IS INSTALLED, THE CERTIFICATE SHALL LIST AS "AS BUILT" AN EFFICIENCY RATING. AN EFFICIENCY RATING FOR GAS-FIRED UNVENTED ROOM HEATERS, ELECTRIC FURNACES OR ELECTRIC BASEBOARD HEATERS.
2. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO CREATE AN AIR BARRIER TO LIMIT AIR INFILTRATION. THE BUILDING MUST BE TESTED AND VERIFIED AS HAVE LEAKAGE RATE NOT EXCEEDING 4 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 2 INCHES/50 PASCALS) AND DONE BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL FOR INSPECTION. (IF USING A BUILDING MAP THAT CAN QUALIFY AS AN AIR BARRIER TAPE ALL SEAMS)
3. PROVIDE GASKET ON DOORS FOR MUD BURNING FIREPLACES/EXCEPT LISTED AND APPROVED PRE-FAB FIREPLACES)
4. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH AIR LEAKAGE RATE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR LIGHTING COVERINGS. ALL RECESSED LUMINAIRES MUST HAVE THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS EXCEPT LOW VOLTAGE LIGHTING.
6. BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLenums.
7. AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM AND MUST BE PROGRAMMABLE.
8. ATTIC ACCESS PANELS MUST BE INSULATED EQUIVALENT TO THE SURROUNDING SURFACE AND AIR INTRUSION MINIMIZED. MUST HAVE AN UNDERCUT.
9. MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM R-3.
10. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO A MIN. OF R-3 WITH A READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE.
11. INSULATE THE FOLLOWING PIPES WITH R-3 INSULATION.
A. PIPING LARGER THAN 3/4" NOMINAL DIAMETER
B. PIPING SERVING MORE THAN ONE DWELLING UNIT
C. PIPING FROM THE WATER HEATER TO KITCHEN OUTLETS
D. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE
E. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD
F. PIPING LOCATED UNDER A FLOOR SLAB
G. BURIED PIPING
H. SUPPLY AND RETURN PIPING IN REGISTRATION SYSTEMS OTHER THAN DEMAND REGISTRATION SYSTEMS
I. PIPING WITH RUN LENGTHS GREATER THAN THE MAX. RUN LENGTHS FOR THE NOMINAL PIPE DIAMETER
J. 3/8" PIPE 30 FEET OR MORE WITH R-3
K. 1/2" PIPE 20 FEET OR MORE WITH R-3
L. 3/4" PIPE 10 FEET OR MORE WITH R-3
M. 1" PIPE 5 FEET OR MORE WITH R-3
12. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT IN USE.
13. SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8. ALL OTHER DUCTS SHALL BE INSULATED TO A MINIMUM OF R-6. ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING PENETRATIONS USED IN ATTIC SHALL BE SEALED. AIR HANDS SHALL HAVE AN AIR LEAKAGE OF NO MORE THAN 2% OF THE DESIGN AIR FLOW RATE WHEN TESTED IN ACCORDANCE WITH ASHRAE 193.
14. HEATING AND COOLING EQUIPMENT MUST BE SIZED PER ACCA MANUAL S. BASED ON BUILDING LOADS. SIZING SHALL BE IN ACCORDANCE WITH MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODS (SUBMIT CALC.)
15. DUCT TIGHTNESS. IF DUCTS ARE USED OUTSIDE THE THERMAL ENVELOPE THE DUCTS MUST BE DUCT BLASTED TO CHECK FOR TOTAL LEAKAGE OF LESS THAN OR EQUAL TO 4 CFM PER 100 SQUARE FEET OF CONDITIONED FLOOR AREA WHEN TESTED THROUGH THE ENTIRE SYSTEM. THE TIGHTNESS SHALL BE VERIFIED BY 3RD PARTY
16. MAINTENANCE INSTRUCTIONS SHALL BE FURNISHED FOR EQUIPMENT AND SYSTEMS THAT REQUIRE PREVENTATIVE MAINTENANCE.
17. BUILDING OF HIGHLY TIGHT CONSTRUCTION SHALL HAVE ALL COMBUSTION AIR TAKEN FROM THE OUTSIDE.
18. ALL DOORS AND WINDOWS WILL HAVE A U-VALUE OF 30 OR LESS AND A SKYLIGHT U-VALUE OF .55 OR LESS (LEAVE STICKERS ON WINDOWS UNTIL AFTER INSULATION INSPECTION)
19. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR FROM THE EAVE INTO THE ATTIC. FLOOR JOIST INSULATION SHALL BE INSTALLED IN ATTIC. A Baffle MUST BE INSTALLED BETWEEN EACH RAFTER ALONG THE SIDE AND OVER THE INSULANT/ANY SOLID MATERIAL. IS ACCEPTABLE)
20. THE THICKNESS OF BLOW-IN OR SPRAYED ROOF-CEILING INSULATION (FIBERGLASS OR CELLULOSE) SHALL BE WRITTEN IN INCHES ON MARKERS THAT ARE INSTALLED AT LEAST ONE FOR EVERY 100 SF OF ROOF AREA.
21. NEW MUD BURNING FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR.
22. THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IEQ. SIZING SHALL BE DONE BY THE MECHANICAL ENGINEER OR MECHANICAL CODE, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION/HVAC CONTRACTOR TO SUBMIT METHOD OF COMPLIANCE)



ADDITION & REMODEL FOR CELTIC CONSTRUCTION

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Q

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CHIEF INC.

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CONCLUSIONS

PP'D: WKO

HECKED:WKO

RAWN: SEB / SMB

ATE: 06/17/22

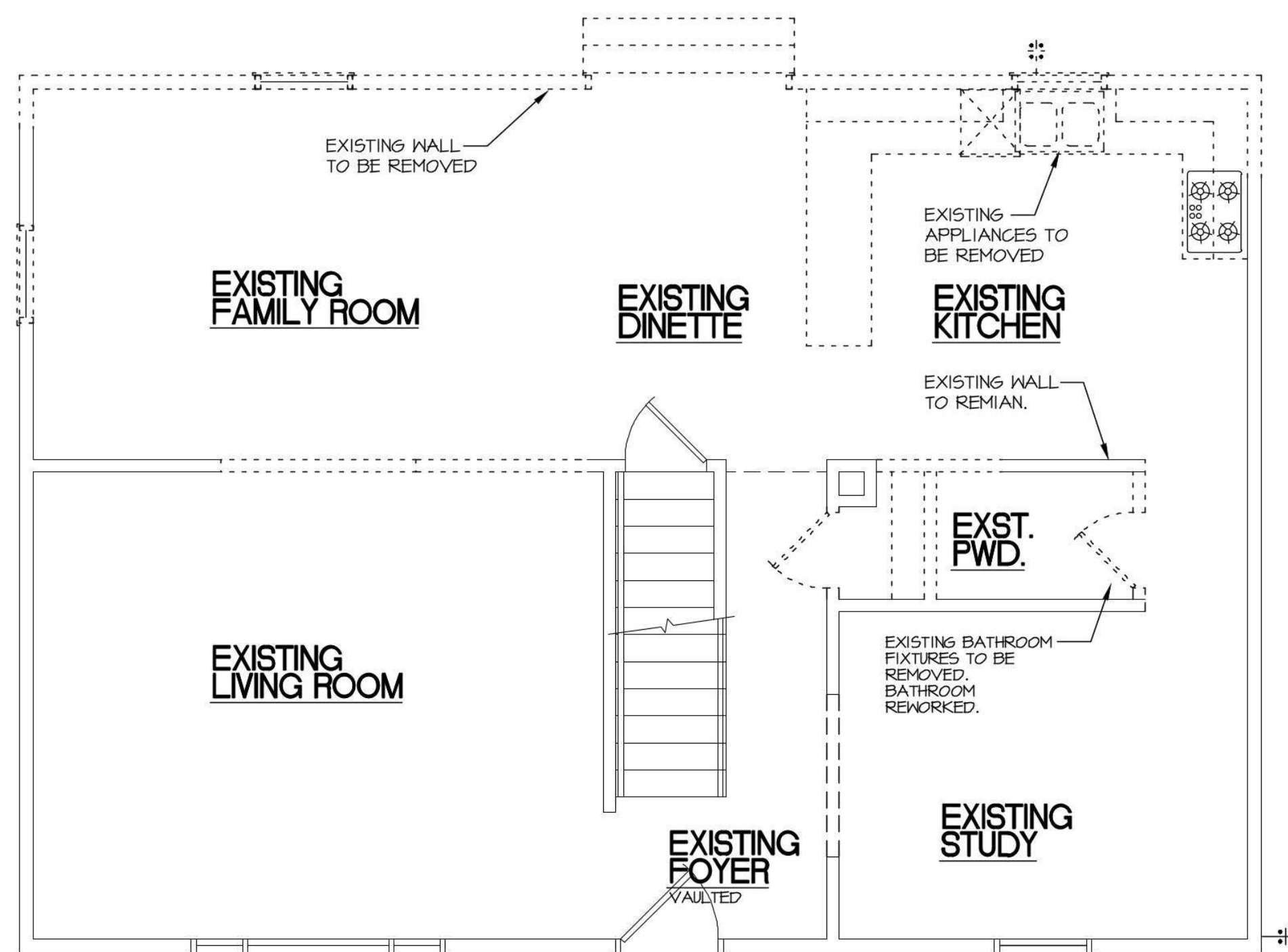
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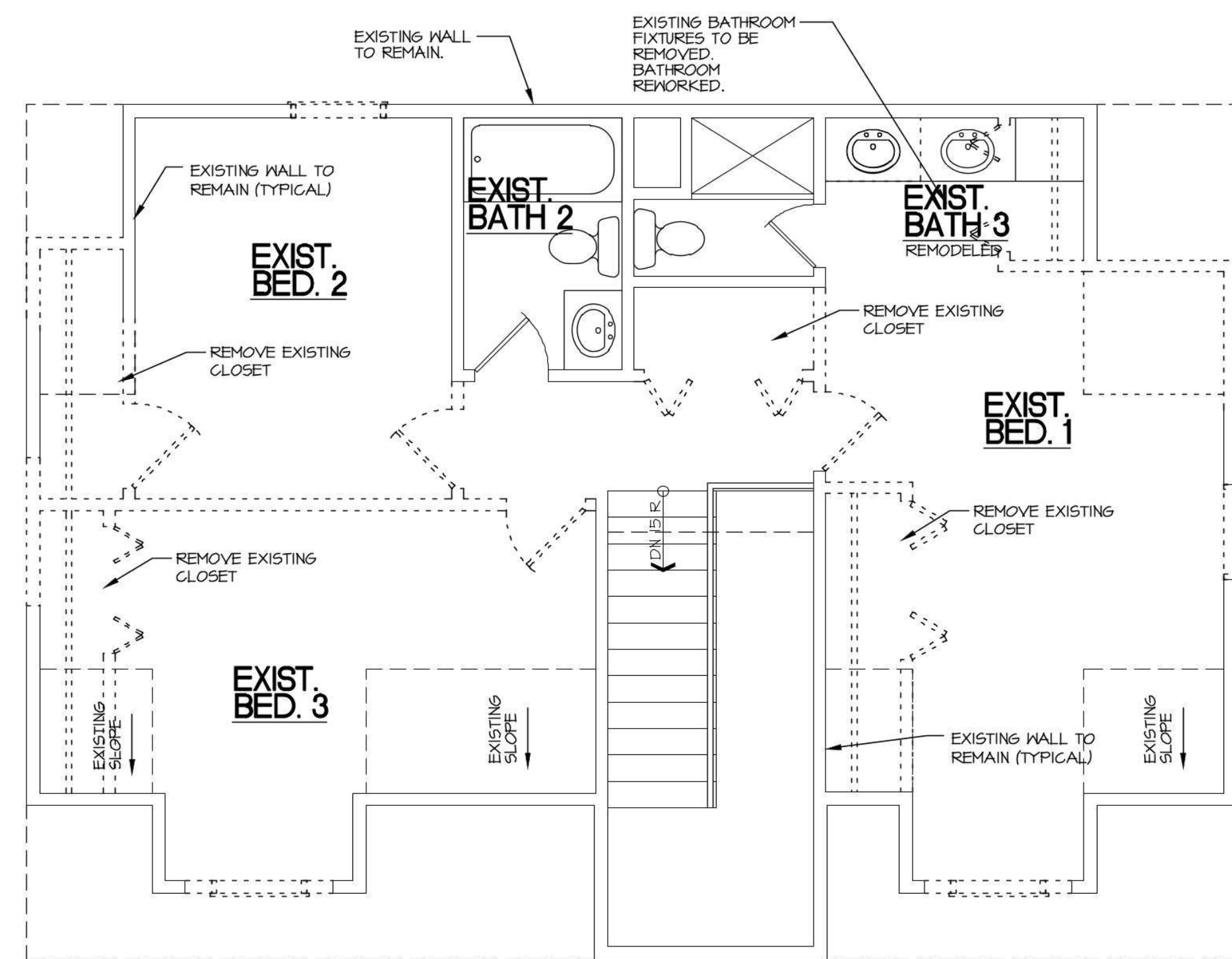
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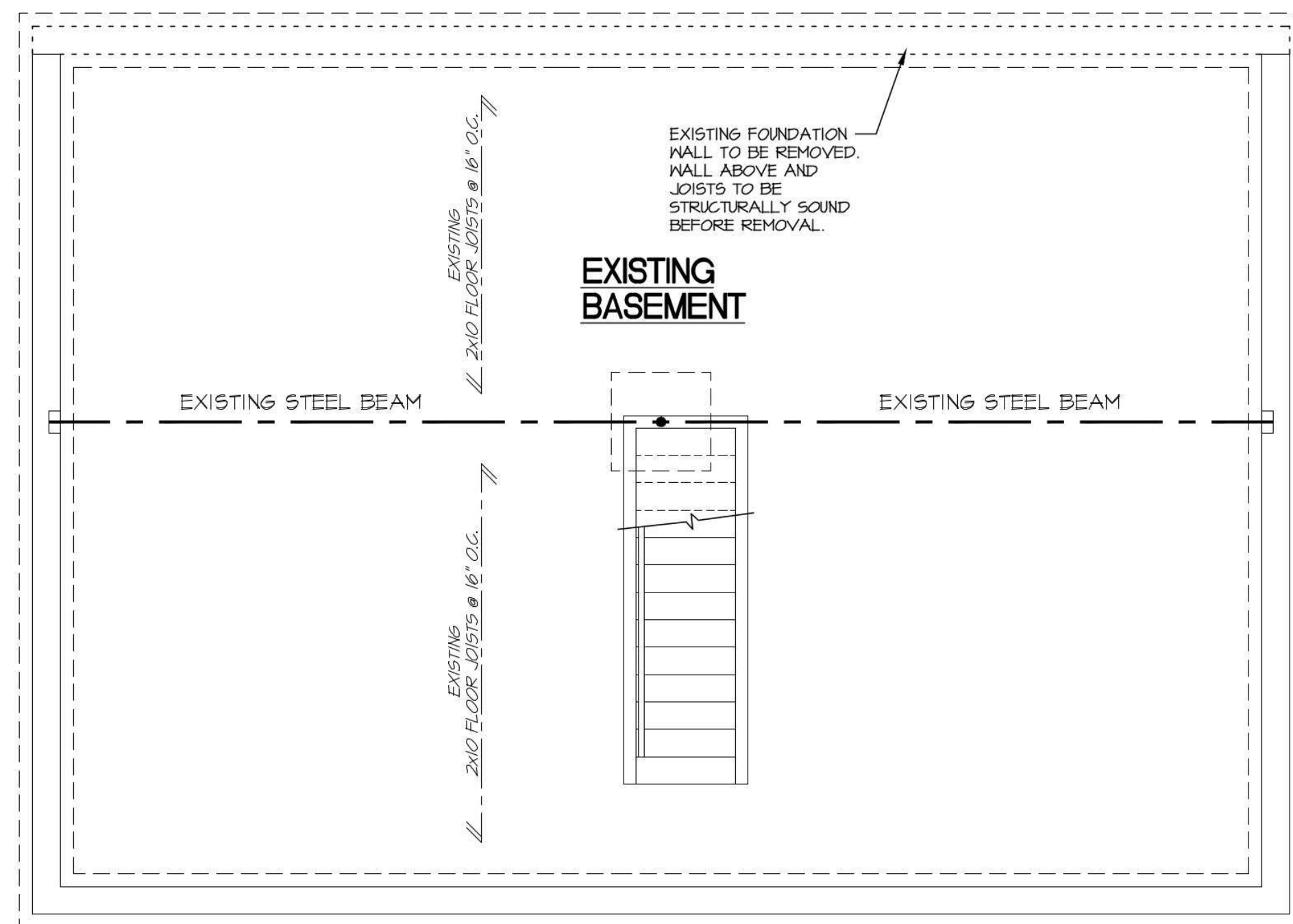
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FIRST FLOOR DEMOLITION PLAN 1/4" = 1'-0"



SECOND FLOOR DEMOLITION PLAN 1/4" = 1'-0"



FOUNDATION DEMOLITION PLAN 1/4" = 1'-0"

REVISIONS	
ADDITION & REMODEL FOR CELTIC CONSTRUCTION 25 CARPENTER ST., FRANKFORT, ILLINOIS	
14334 Town Center Dr. Homer Glen, Illinois 60491 WIKOLSON ARCHITECTS INC. Tel (708)301-6111 Fax (708)301-2503 E-mail wikolsonarc@aol.com	DEMOLITION PLANS
APP'D: WKO CHECKED: WKO DRAWN: SEB / SMB DATE: 06/17/22 PROJ NO: 322044 PREV NO: (---)	SHEET NUMBER A-3 OF 15

FRAMING NOTES:DEAD LOAD 10#/S.F.

CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON U.S. SPAN BOOKS. FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR #2 FOR MEMBERS UP TO 12". FOR MEMBERS 12" AND ABOVE USE HEM-FIR.

ALLOWABLE SPANS ARE AS FOLLOWS:

	SPRUCE-PINE-FIR #2			HEM-FIR #2
CEILING JOISTS - 20lbs LIVE LOAD	2"x6"	2"x8"	2"x10"	2"x12"
12" O.C.	14'-4"	18'-4"	22'-11"	28'-6"
16" O.C.	12'-10"	16'-3"	19'-10"	21'-0"
2nd FLOOR, FLOOR JOISTS - 30lbs LIVE LOAD				
12" O.C.		19'-0"	22'-6"	
16" O.C.		17'-2"	19'-8"	
1st FLOOR, FLOOR JOISTS - 40lbs LIVE LOAD				
12" O.C.	17'-3"	20'-4"		
16" O.C.	15'-5"	17'-7"		

MICROLAM LVL AND PARALLAM PSL HEADERS AND BEAMS ARE MANUFACTURED BY "TRUS JOIST MAC MILLAN" OR APPROVED EQUAL.
TJI JOISTS ARE MANUFACTURED BY "TRUS JOIST MAC MILLAN" OR APPROVED EQUAL.

FOUNDATION NOTES

- FOR SPECIFICATIONS SEE SHEET SP-1.
- FOR DETAILS AND WALL SECTIONS SEE SHEET D-1.
- CARPENTER CONTRACTOR TO VERIFY WITH CONTRACTOR IF JOIST SPACING IS TO BE CHANGED TO 12" O.C. UNDER CERAMIC TILE FLOOR AREAS.
- CARPENTER CONTRACTOR TO VERIFY WITH CONTRACTOR IF JOIST SPACING IS TO BE CHANGED TO 12" O.C. UNDER TUB AREAS.
- IF CONCRETE FLOOR, JOISTS & STEEL FOR FIRST FLOOR IS NOT IN PLACE FOUNDATION WALLS SHALL BE BRACED WITH 2"x8" @ 48" TO TOP OF FOUNDATION WALLS 8'-0" O.C. AND AT ALL FOUNDATION CORNERS 32'-0" FROM WALLS.
- ALL FOOTINGS SHALL BE ON UNDISTURBED SOIL OR APPROVED COMPACTED FILL, EITHER OF WHICH MUST HAVE A BEARING CAPACITY OF 3,000 PSF.
- ALL UNDIMENSIONED PARTITIONS ARE 4 1/2" FINISHED (2"x4" STUDS W/ 1/2" DRYWALL BOTH SIDES).
- DOUBLE ALL FLOOR JOISTS UNDER PARALLEL PARTITIONS.
- ALL BASEMENT OUTLETS IN UNFINISHED AREA MUST BE G.F.I.

BASEMENT WALLS, FOUNDATIONS, INTERIOR FLOOR SLABS (EXCEPT GARAGE), AND OTHER CONCRETE NOT EXPOSED TO THE WEATHER IS REQUIRED TO HAVE A MINIMUM 3,000 PSI COMPRESSIVE STRENGTH @ 28 DAYS, AND BE AIR ENTRAINED (5-7% BY VOLUME) WHERE SUBJECT TO FREEZING AND THAWING. BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS, AND OTHER VERTICAL CONCRETE EXPOSED TO THE WEATHER IS REQUIRED TO HAVE A MINIMUM 3,000 PSI COMPRESSIVE STRENGTH AND BE AIR ENTRAINED (5-7% BY VOLUME). PORCHES, GARAGE SLABS, STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS ARE REQUIRED TO HAVE A MINIMUM 3,500 PSI COMPRESSIVE STRENGTH, BE AIR ENTRAINED (5-7% BY VOLUME), AND THE MAXIMUM HEIGHT OF FLY ASH OTHER POZZOLANS, SILICA FUME, OR SLAG SHALL NOT EXCEED THE PERCENTAGES OF TOTAL WEIGHT OF CEMENTITIOUS MATERIALS WHERE EXPOSED TO DEICING CHEMICALS.

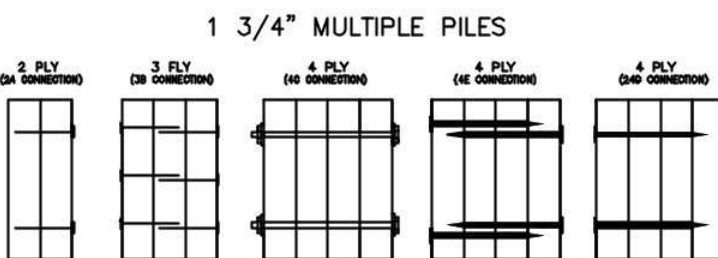
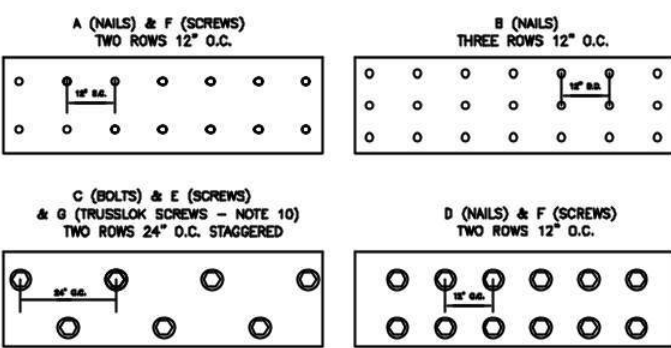
CONCRETE CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/ CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS MARKED "CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

BACKFILL NOTE:
DUE TO THE LARGE FORCES THAT WILL BE CREATED BY THE SOIL NEXT TO THE BASEMENT WALL, IT IS IMPERATIVE THAT THE BACKFILL NOT BE PLACED UNTIL AFTER THE BASEMENT FLOOR SLAB HAS BEEN POURED AND THE UPPER PORTIONS OF THE WALL ARE RESTRAINED BY EITHER THE FIRST FLOOR OR BY A HORIZONTAL BRACING SYSTEM OR BY BOTH. IT IS ALSO IMPERATIVE THAT THE BACKFILL NOT BE OVER COMPACTED AS THE FORCES GENERATED BY THE SOIL COULD CRACK THE FOUNDATION WALL.

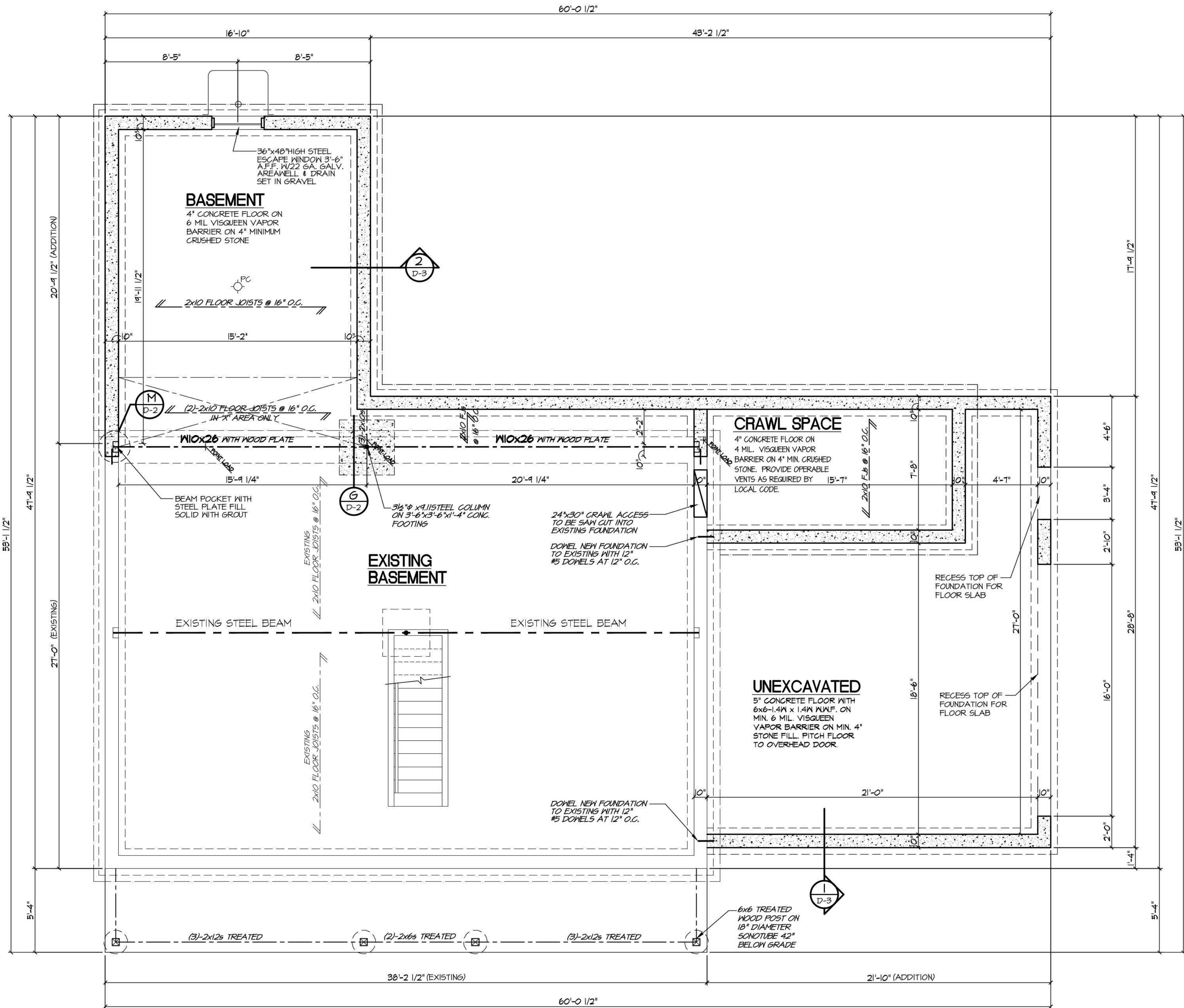
LVL FASTENING SCHEDULE

MAXIMUM UNIFORM LOAD APPLIED TO EITHER OR BOTH OUTSIDE PIECES (POUND PER LINEAL FOOT)

PIECES	1-20 NAILS	1-7/2" BOLTS	2-20 NAILS	2-7/2" BOLTS	3-20 NAILS	3-7/2" BOLTS
2	200	200	200	200	200	200
3	200	200	200	200	200	200
4	200	200	200	200	200	200



- NOTES:
- CONFIRM ADEQUACY OF THE BEAM (DEPTH AND NUMBER OF PIECES) FOR CARRYING THE DESIGNATED LOAD.
 - STRESS LEVELS FOR NAIL AND BOLT VALUES IS 100%. INCREASES OF 50% FOR SNOW LOADED OR 250% FOR NON-SNOW LOADED FLOOR CONDITIONS ARE PERMITTED.
 - TOP AND BOTTOM ROWS OF CONNECTIONS SHOULD BE 7" FROM EDGE.
 - BOLT PILES ARE TO BE THE SAME DIAMETER AS THE BOLT. EVERY BOLT MUST EXTEND THROUGH THE FULL THICKNESS OF THE MEMBER. USE WASHERS UNDER HEAD AND NUT.
 - FOR THREE-PIECE MEMBER SPECIFIED WELDING IS FROM THE EACH SIDE.
 - TO MINIMIZE ROTATION FOR 3-PIECE MEMBERS SHOULD ONLY BE USED WHEN LOADS ARE APPLIED TO BOTH SIDE OR COMPLETELY ACROSS THE TOP OF THE MEMBER.
 - FOR 3-PIECE MEMBERS MUST BE BOLTED OR ATTACHED WITH 6" SCREWS FROM BOTH SIDES.
 - FLOOR JOISTS MUST BE ATTACHED WITH APPROVED METAL HANGERS.
 - SCREWS ARE 100% MINIMUM OR SHOWN STRONG - THE 200% INSTALLED PER MANUFACTURER.
 - INSTRUCTIONS: SCREWS FOR 3-PLY AND 4-PLY MEMBERS MUST BE FROM BOTH SIDES OF BEAM.
 - FASTENERS: TRUSSING SCREWS FOR 2-PLY, 3-PLY, OR 4-PLY LONG FOR 4-PLY. CONNECTIONS MAY BE DOUBLED FOR 12" ON-CENTER SPACINGS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. DO NOT OVERDRIVE SCREWS.



ALLOWABLE SPANS ARE AS FOLLOWS:	SPRUCE-PINE-FIR #2		HEM-FIR #2
CEILING JOISTS - 20lbs LIVE LOAD	2'-6"	2'-8"	2'-10"
12'-0"	14'-4"	18'-4"	22'-11"
16'-0"	12'-10"	16'-3"	19'-10"
2nd FLOOR, FLOOR JOISTS - 30lbs LIVE LOAD			
12'-0"		14'-0"	22'-6"
16'-0"		17'-2"	19'-8"
1st FLOOR, FLOOR JOISTS - 40lbs LIVE LOAD			
12'-0"		17'-3"	20'-4"
16'-0"		15'-5"	17'-7"

1. FOR SPECIFICATIONS SEE SHEET SP-1
2. CARPENTER CONTRACTOR TO VERIFY WITH CONTRACTOR IF JOIST SPACING IS TO BE CHANGED IN CERAMIC TILE FINISHED FLOOR AREAS
3. SEE ELEVATIONS FOR ALL WINDOW SIZES
4. ALL UNDIMENSIONED PARTITIONS ARE 4'-1/2" FINISHED
5. SEPARATION WALL/CEILING BETWEEN GARAGE AND LIVING AREA SHALL HAVE MINIMUM 5/8" TYPE X GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF ALL WALLS AND CEILING. COINCIDE WITH THE RESIDENCE AT ITS ATTIC. ALSO PROVIDE A MINIMUM 5/8" TYPE GYPSUM BOARD PROTECTION FOR WALLS NOT COMMON WITH RESIDENCE THAT SUPPORT CEILING.
6. FOR PARTITION DETAILS SEE - M/D1 & N/D1
7. FOR HEADER SIZING SEE - G/D1
8. FOR STAIR DETAIL SEE - J/D1 & K/D1
9. FOR FIREPLACE DETAILS SEE - A/D3 & C/D3
10. ALL PULL DOWN STAIRS, ACCESS PANELS, SCUTTERS TO ATTIC SPACES SHALL HAVE A SIGN AT THE POINT OF ENTRY. THE SIGN SHALL READ: LIMITED ACCESS ONLY, FOR FIRE DEPARTMENT AND EXPERIENCED WORKMAN KNOWLEDGEABLE IN ATTIC CONSTRUCTION AND DANGERS.

THE ENDS OF ALL JOISTS, BEAMS AND GIRDERS SHALL BEAR A MINIMUM 1-1/2" ON WOOD OR METAL, AND 3" ON MASONRY OR CONCRETE EXCEPT WHEN SUPPORTED ON A 1" BY 4" RIBBON STRIP AND NAILED TO THE ADJACENT STUD OR BY THE USE OF APPROVED JOIST HANGERS. JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MINIMUM 3" AND BE NAILED TOGETHER WITH A MINIMUM THREE 10d FACE NAILS. JOISTS FRAMING INTO THE SIDE OF A WOOD GIRDER SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OR ON LEDGER STRIPS NOT LESS THAN NOMINAL 2" BY 2".

MAXIMUM UNIFORM LOAD APPLIED TO EITHER OR BOTH OUTSIDE PIECES (POUND PER LINEAL FOOT)

PIECE	120 MILS		172 MILS		BARS		NOTES		3" TRUSS/ROCK	
	1 PILE	2 PILES	1 PILE	2 PILES	1 PILE	2 PILES	1 PILE	2 PILES	1 PILE	2 PILES
1	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
2	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
3	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
4	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
5	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
6	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
7	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
8	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
9	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
10	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
11	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
12	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
13	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
14	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
15	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
16	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
17	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
18	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
19	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
20	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
21	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
22	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
23	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
24	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
25	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
26	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
27	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
28	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
29	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
30	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
31	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
32	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
33	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
34	1000	1000	1000	1000	1					

ROOMS	FLOOR AREA	LIGHT %		VENT 4%		MECH.	
		REQ'D	ACTUAL	REQ'D	ACTUAL	REQ'D	ACTUAL
KITCHEN/DINETTE	368.0	29.4	38.4	14.7	23.1		
MASTER SUITE	256.0	20.4	56.0	10.2	31.0		
BEDROOM 2	265.0	21.2	48.0	10.6	45.6		
BEDROOM 3	167.0	13.4	24.0	6.7	22.8		
BEDROOM 4	188.0	15.0	24.0	7.5	22.8		
MASTER BATH	52.0					78.0	100cfm
MASTER BATH WC	20.0					30.0	50cfm
POWDER ROOM	30.0					45.0	50cfm
BATH 2	40.0					60.0	75cfm
BATH 3	40.0					60.0	75cfm
BASEMENT (2%)							


$$\frac{1}{4}'' = 1'-0''$$

FIRST
FLOOR PLAN

DF 15

LVL FASTENING SCHEDULE									
MAXIMUM UNIFORM LOAD APPLIED TO EITHER OR BOTH OUTSIDE PIECES (POUND PER LINEAL FOOT)									
PIECES	100 NAILS	1 1/2" BOLTS	BOLETS	NOTES	2) TRUSSELS				
MEMBER	1" x 4"	1" x 6"	1" x 8"	1" x 10"	1" x 12"	1" x 14"	1" x 16"	1" x 18"	1" x 20"
2	200	200	200	200	200	200	200	200	200
4	400	400	400	400	400	400	400	400	400
6	600	600	600	600	600	600	600	600	600
8	800	800	800	800	800	800	800	800	800
10	1000	1000	1000	1000	1000	1000	1000	1000	1000
12	1200	1200	1200	1200	1200	1200	1200	1200	1200
14	1400	1400	1400	1400	1400	1400	1400	1400	1400
16	1600	1600	1600	1600	1600	1600	1600	1600	1600
18	1800	1800	1800	1800	1800	1800	1800	1800	1800
20	2000	2000	2000	2000	2000	2000	2000	2000	2000
22	2200	2200	2200	2200	2200	2200	2200	2200	2200
24	2400	2400	2400	2400	2400	2400	2400	2400	2400
26	2600	2600	2600	2600	2600	2600	2600	2600	2600
28	2800	2800	2800	2800	2800	2800	2800	2800	2800
30	3000	3000	3000	3000	3000	3000	3000	3000	3000
32	3200	3200	3200	3200	3200	3200	3200	3200	3200
34	3400	3400	3400	3400	3400	3400	3400	3400	3400
36	3600	3600	3600	3600	3600	3600	3600	3600	3600
38	3800	3800	3800	3800	3800	3800	3800	3800	3800
40	4000	4000	4000	4000	4000	4000	4000	4000	4000
42	4200	4200	4200	4200	4200	4200	4200	4200	4200
44	4400	4400	4400	4400	4400	4400	4400	4400	4400
46	4600	4600	4600	4600	4600	4600	4600	4600	4600
48	4800	4800	4800	4800	4800	4800	4800	4800	4800
50	5000	5000	5000	5000	5000	5000	5000	5000	5000
52	5200	5200	5200	5200	5200	5200	5200	5200	5200
54	5400	5400	5400	5400	5400	5400	5400	5400	5400
56	5600	5600	5600	5600	5600	5600	5600	5600	5600
58	5800	5800	5800	5800	5800	5800	5800	5800	5800
60	6000	6000	6000	6000	6000	6000	6000	6000	6000
62	6200	6200	6200	6200	6200	6200	6200	6200	6200
64	6400	6400	6400	6400	6400	6400	6400	6400	6400
66	6600	6600	6600	6600	6600	6600	6600	6600	6600
68	6800	6800	6800	6800	6800	6800	6800	6800	6800
70	7000	7000	7000	7000	7000	7000	7000	7000	7000
72	7200	7200	7200	7200	7200	7200	7200	7200	7200
74	7400	7400	7400	7400	7400	7400	7400	7400	7400
76	7600	7600	7600	7600	7600	7600	7600	7600	7600
78	7800	7800	7800	7800	7800	7800	7800	7800	7800
80	8000	8000	8000	8000	8000	8000	8000	8000	8000
82	8200	8200	8200	8200	8200	8200	8200	8200	8200
84	8400	8400	8400	8400	8400	8400	8400	8400	8400
86	8600	8600	8600	8600	8600	8600	8600	8600	8600
88	8800	8800	8800	8800	8800	8800	8800	8800	8800
90	9000	9000	9000	9000	9000	9000	9000	9000	9000
92	9200	9200	9200	9200	9200	9200	9200	9200	9200
94	9400	9400	9400	9400	9400	9400	9400	9400	9400
96	9600	9600	9600	9600	9600	9600	9600	9600	9600
98	9800	9800	9800	9800	9800	9800	9800	9800	9800
100	10000	10000	10000	10000	10000	10000	10000	10000	10000

CARPENTER CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

THE ENDS OF ALL JOISTS, BEAMS AND GIRDERS SHALL BEAR A MINIMUM 1'-1/2" ON WOOD OR METAL AND 3" ON MASONRY OR CONCRETE EXCEPT WHERE SUPPORTED ON A 1" BY 4" RISERON STRIP AND NAILED TO THE ADJACENT STUD OR BY THE USE OF APPROVED JOIST HANGERS. JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MINIMUM 3" AND BE NAILED TOGETHER WITH A MINIMUM THREE (3) FACE NAILS. JOISTS FRAMING INTO THE SIDE OF A WOOD GIRDER SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OR ON LEDGER STRIPS NOT LESS THAN NOMINAL 2" BY 2".

GENERAL NOTES

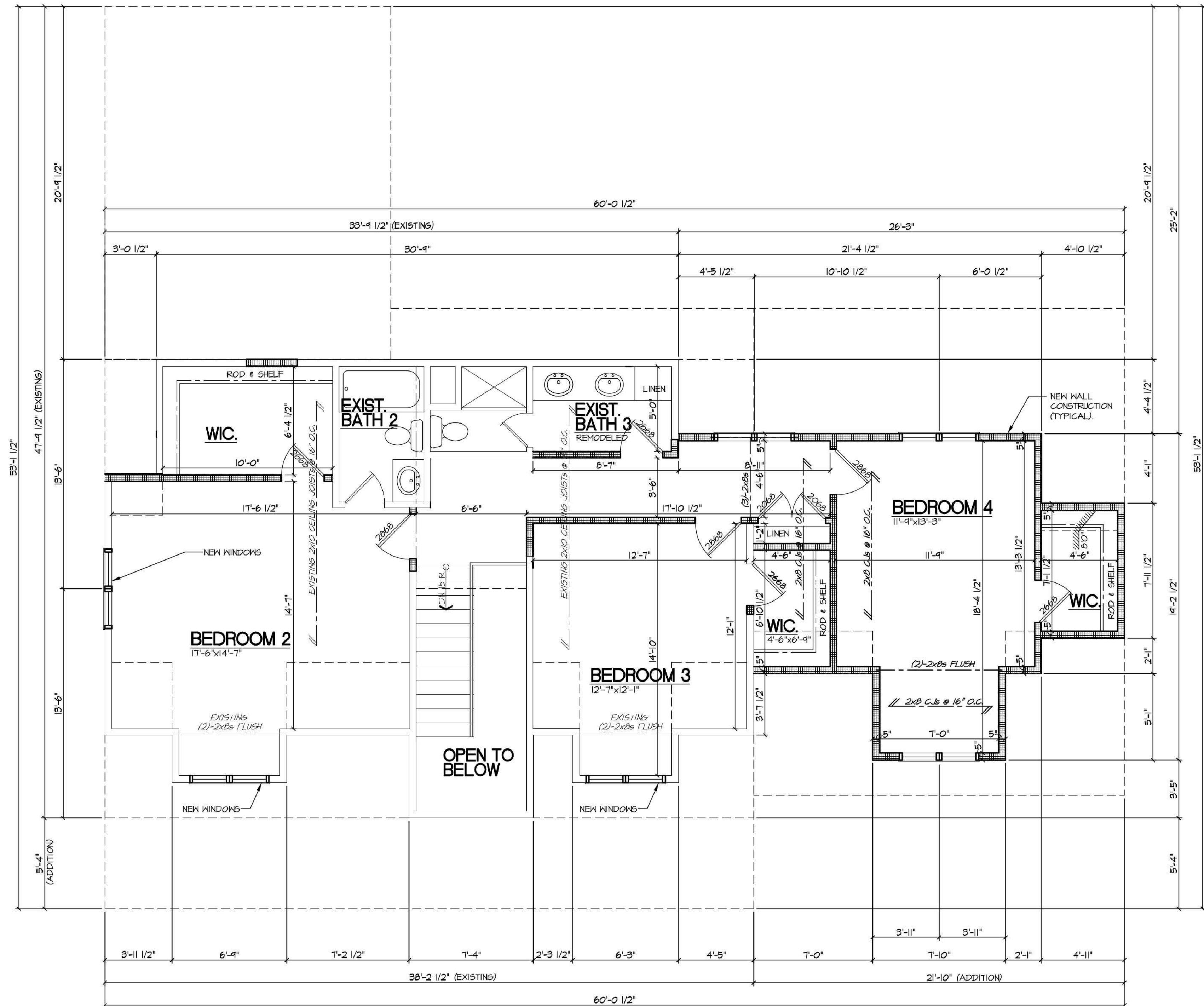
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4. ALL UNDIMENSIONED PARTITIONS ARE 4 1/2" FINISHED.
5. SEPARATION WALL/CEILING BETWEEN GARAGE AND LIVING AREA SHALL HAVE MINIMUM 5/8" TYPE X GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF ALL WALLS AND CEILINGS COMMON WITH THE RESIDENCE OR ITS ATTIC. ALSO PROVIDE A MINIMUM 5/8" TYPE X GYPSUM DRYWALL BOARD PROTECTION FOR WALLS NOT COMMON WITH RESIDENCE THAT SUPPORT CEILING.
6. FOR PARTITION DETAILS SEE - M/D1 & N/D1
7. FOR HEADER SIZING SEE - Q/D1
8. FOR STAIR DETAIL SEE - J/D1 & K/D1
9. FOR FIREPLACE DETAILS SEE - A/D3 & C/D3
10. ALL FULL DOWN STAIRS, ACCESS PANELS, SCUTTERS TO ATTIC SPACES SHALL HAVE A SIGN AT THE POINT OF ENTRY. THE SIGN SHALL READ: LIMITED ACCESS ONLY. FOR FIRE DEPARTMENT AND EXPERIENCED WORKMAN KNOWLEDGEABLE IN ATTIC CONSTRUCTION AND DANGERS.

FRAMING NOTES: DEAD LOAD 10#/S.F.

CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON U.S. SPAN BOOKS. FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR #2 FOR MEMBERS UP TO 12". FOR MEMBERS 12" AND ABOVE USE HEM-FIR.

ALLOWABLE SPANS ARE AS FOLLOWS:	SPRUCE-PINE-FIR #2	HEM-FIR #2
CEILING JOISTS - 20lbs LIVE LOAD	2"x6" 14'-4" O.C.	2"x10" 22'-11" O.C.
2nd FLOOR, FLOOR JOISTS - 30lbs LIVE LOAD	2"x8" 12'-0" O.C.	2"x12" 17'-2" O.C.
1st FLOOR, FLOOR JOISTS - 40lbs LIVE LOAD	2"x10" 12'-0" O.C.	2"x14" 17'-7" O.C.

MICROLAM LVL AND PARALLAM PSL HEADERS AND BEAMS ARE MANUFACTURED BY "TRUS JOIST MAC MILLAN" OR APPROVED EQUAL.
T.J. JOISTS ARE MANUFACTURED BY "TRUS JOIST MAC MILLAN" OR APPROVED EQUAL.



SECOND FLOOR PLAN

1/4" = 1'-0"

REVISIONS

ADDITION & REMODEL FOR
CELTIC CONSTRUCTION

25 CARPENTER ST.,
FRANKFORT, ILLINOIS

14334 Town Center Dr.
Homer Glen, Illinois 60491

WILSON
ARCHITECTS
INC.
E-mail: wilsonarc@aol.com
Tel: (708) 301-6111
Fax: (708) 301-2503

SECOND FLOOR PLAN

APP'D: WKO

CHECKED: WKO

DRAWN: SEB / SMB

DATE: 06/17/22

PROJ NO: 322049

PREV NO: (---)

SHEET NUMBER

A-6

OF 15

Project: Facen4Ward Venues, LLC
Meeting Type: Public Hearing
Request: Special Use (indoor entertainment)
Location: 20871 S. La Grange Road
Subdivision: None (Butera Center Plaza)
Applicant: Marlin & Kristen Facen
Prop. Owner: Butera Center Management
Representative: Kristen Facen
Report by: Drew Duffin

Site Details

Lot Size: 10.58 acres
PIN: 19-09-22-100-051-0000
Existing Zoning: B-2, Community Business with a Special Use for a PUD (Frankfort Town Center)
Proposed Zoning: B-2 with a Special Use for indoor entertainment
Buildings: 3 buildings
Total Sq. Ft.: 1,400 square feet (tenant space)

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Retail Plaza	General Commercial	B-2 PUD
North	Bank, office	General Commercial	B-2, B-4
South	Office, retail	General Commercial	B-2
East	Single-Family Residential	Single-Family Attached Res.	R-4
West	Bank	General Commercial	B-2 PUD

Figure 1. Location Map



Project Summary

The applicant is proposing to operate an event center space within a tenant space at the Butera Center Plaza located at 20871 S. La Grange Road. Event center spaces are classified as indoor entertainment and require a special use permit within the B-2 zone district. No exterior changes to the building or site are proposed with this use. The applicant is not seeking a liquor license in conjunction with this use.

Attachments

- Minutes from the 5.26.22 Workshop
- Location Map, prepared by staff (VOF GIS) scale 1:1,500
- Location Map, prepared by staff (VOF GIS) scale 1:6,000
- Plat of Survey of Butera Center with tenant space outlined in red
- Background (narrative) of proposed use
- Special Use findings of fact prepared by applicant on 8.19.22

- Photographs of space, taken by staff 8.31.22
- Photographs of Butera Center Plaza parking lot, taken by staff 7.18.22
- Example lease agreement between Facen4Ward and clients
- Product specifications for soundproofing material
- Architectural drawings for proposed changes to tenant space received 8.19.22

Analysis

In consideration of the request, staff offers the following points of discussion:

1. The current proposal is for a 1,400 square foot space. This is smaller than the previous proposal for 20879 S. La Grange Road, which was 2,100 square feet.
2. The space would be used for social and corporate events, including but not limited to executive retreats, board meetings, workshops, receptions, bridal & baby showers and anniversaries.
3. Guests would cater-in food.
4. At this time, the applicant is not seeking a Liquor License. The attached example lease agreement, which will be signed by parties renting the space, states that consumption of alcohol on the premises is prohibited.
5. An event host (chaperone) would be on-site during each event.
6. The space would operate 10 am – 9 pm (Mon-Wed) and 10 am – 10 pm (Fri-Sun). The applicant is not proposing hours of operation that are outside of the Village's normal business hours of operation.
7. There would be some minor interior work, shown on the attached architectural drawings. Changes to the space include rearranging interior walls, additional bathroom facilities, and soundproofing.
8. One of the concerns raised by the Plan Commission at the May 26th workshop was in regard to adequate bathroom facilities for patrons. The total occupancy of a space is determined in part by the number of available bathroom facilities for a particular use, which is determined by Section 890.810 of the Plumbing Code. According to the plans submitted by the applicants, the occupancy limit based on the number of bathroom facilities and the Plumbing Code is around 30 people.
9. Soundproofing will be installed on the two shared walls, up to the ceiling of the building, past the drop ceiling. This will help reduce noise disruption to the surrounding businesses. Specifications for the proposed soundproofing are included in the attachments.
10. Indoor recreation uses require 1 parking space for every 4 patrons based upon the maximum capacity of the tenant space, plus one space for each employee during the largest working shift. Assuming the occupancy limit of 30 people noted above, this would result in 9 total required parking spaces, broken down into one space for the employee, and eight spaces for the up to 30 guests.
11. From a practical standpoint, the existing parking lot in the Butera Center Plaza is typically under-utilized during normal business hours. Staff visited the site on July 18th and August 31st and noted that there were many unoccupied parking spaces available at the retail center.

Standards for Special Use

No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Affirmative Motion

For the Commission's consideration, staff is providing the following proposed affirmative motion language for the special use requests.

1. Recommend the Village Board approve a special use for indoor recreation (event space) at 20871 S. La Grange Road, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned upon final approval from the Building Department.

Commissioner James stated that they should paint some of the metal-colored conduit that is exposed to match the roof material colors.

Susan Faber asked about timing of next steps.

Chris Gruba responded.

Chair Rigoni asked Ms. Faber to come back with answers to the questions that have been raised this evening.

H. Workshop: 20879 S. La Grange Road – Facen4Ward event space

Chris Gruba summarized the staff report.

Chair Rigoni asked the applicants they had anything to add to the staff report.

The applicant, Kristen Facen approached the podium and provided an overview of the proposed business. She stated that the lease is under review by her attorney and she will be funding the improvements to the space. There should be no parking issue. They are not seeking a liquor license. She noted that her application incorrectly stated that the business would be closed on Thursdays and that it would be open from 10 am – 9 pm.

Chair Rigoni asked the PC/ZBA members if they had any questions.

Commissioner Jakubowki asked the applicant if each event will have a chaperone.

Kristen Facen responded yes.

Commissioner Jakubowski asked how many events they will have per week.

Kristen Facen responded that she envisions 1-2 events during the week and up to 4 events on the weekends.

Commissioner James stated that he sees a potential concern about the number of toilets for up to 75 people. He asked if there will be any issues with loitering.

Chair Rigoni asked if one event contract will take up the entire space.

Kristen Facen responded yes.

Chair Rigoni asked if there will be any bands.

Kristen Facen responded that there will not be any bands, but music is typically provided with a Bluetooth speaker.

Commissioner Markunas offered his congratulations on the applicant starting a new business. He said that a lot of his questions were answered by the applicant's overview of the project. He stated that it sounds like any loitering concerns will be monitored. He

does think the restrooms will be a Building Code issue.

Commissioner Schaeffer thanked the applicant for providing such detailed information. She asked if there will be any outdoor seating and if a bench would require a special use.

Chris Gruba responded that an exterior change such as a bench should be included as part of the special use permit request when it proceeds to a public hearing. However, the applicant noted that she was not seeking to install any exterior benches.

There was some discussion about the potential impacts on the neighboring businesses.

Commissioner Knieriem stated that he does have a concern about how noise and music will impact the adjacent businesses.

Kristen Facen responded that they will speak with the neighboring businesses.

Commissioner Schaeffer offered that maybe they could look into some sound insulation or acoustic mitigation measures for the neighboring businesses.

Commissioner Knieriem asked the applicant if they have done these types of events before.

Kristen Facen responded that they have done these events all over the area including in Indiana.

Commissioner Knieriem asked if the second story shown on the photo on the screen is a faux second story.

Chari Rigoni responded that it is a faux second story.

Commissioner Knieriem asked who will provide the food for the events.

Kristen Facen responded that the events will be catered.

Chair Rigoni stated that there should be no issues as far as needing Will County Health Department approval.

Chair Rigoni asked the applicant if she had any other questions.

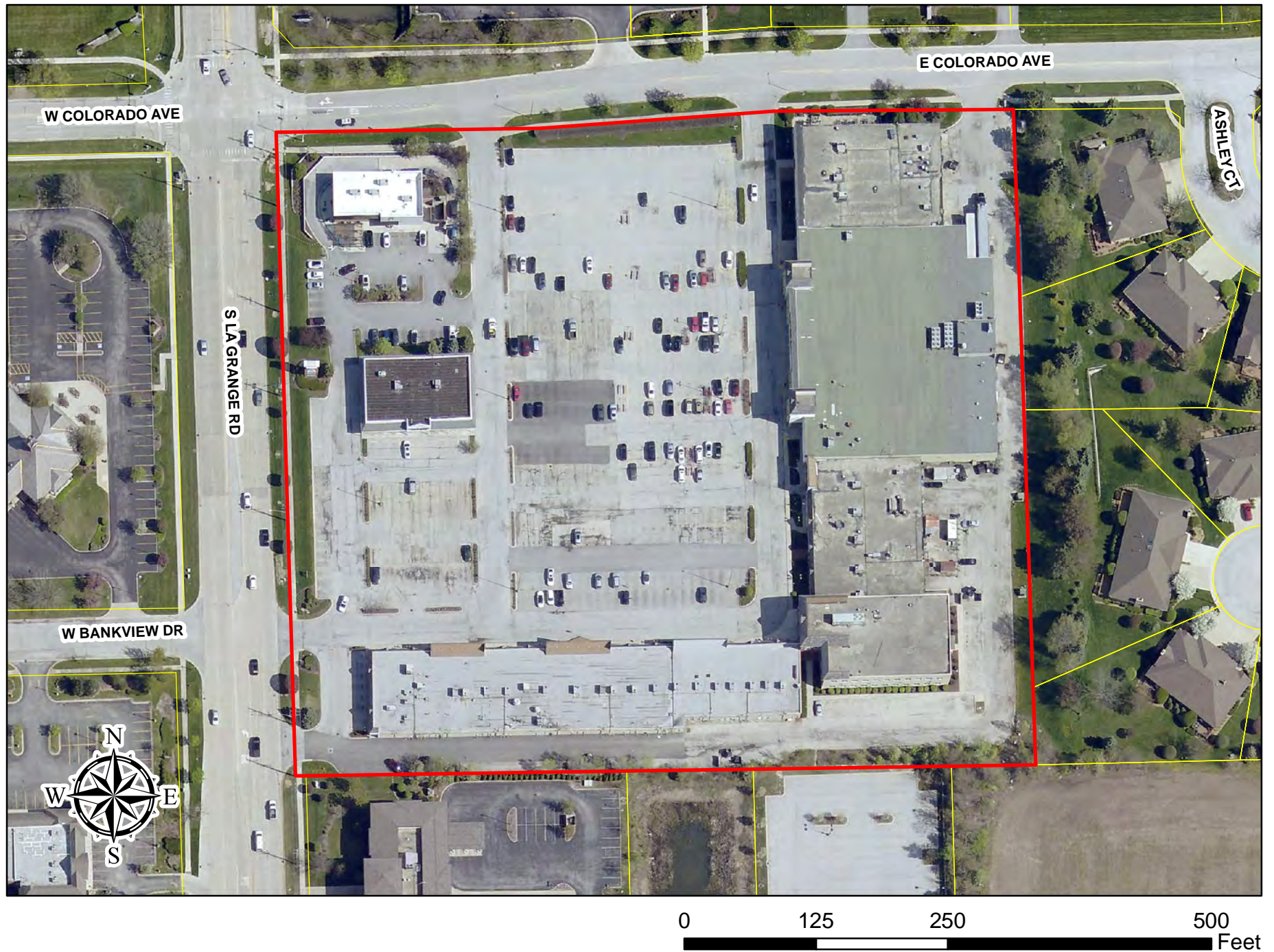
Kristen Facen responded no.

I. Workshop: 9350 W. Laraway Road – Savana Expedited LLC – Special Use Permits for a Truck Terminal and Automobile (Truck/Trailer) Repair

Mike Schwarz summarized the staff report.

Chair Rigoni asked the applicant if she had anything to add to the staff report.

20879 S. La Grange - Proposed Event Space



20879 S. La Grange - Proposed Event Space



0 250 500 1,000 Feet

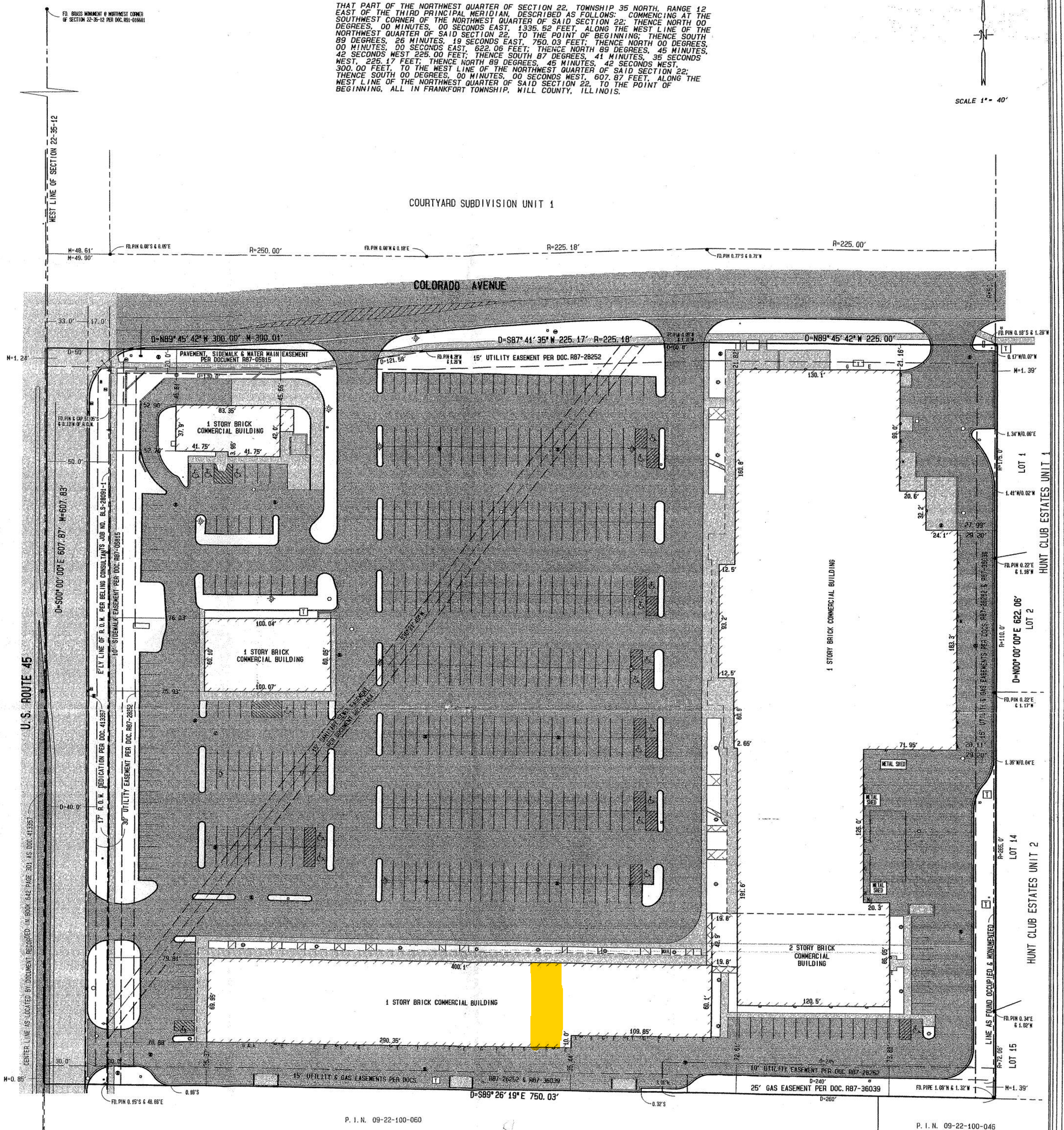
RECEIVED

By Christopher Gruba at 1:30 pm, May 11, 2022

LAND TITLE SURVEY

Order No. 012687A

SCALE 1" = 40'



P. I. N. 09-22-100-060

P. I. N. 09-22-100-046

UNSUBDIVIDED LAND

SURFACE FEATURES LEGEND

- CATCH BASIN
- INLET
- WATER VALVE
- SEWER MANHOLE
- ELECTRICAL MANHOLE
- I. B. T. MANHOLE
- TRAFFIC SIGNAL
- FIRE HYDRANT
- UTILITY POLE
- STREET LIGHT
- TRAFFIC SIGNAL VAULT
- GAS VALVE
- ELECTRIC
- GAS METER
- TELEPHONE BOX
- TRANSFORMER

GENERAL NOTES:

- THE LEGAL DESCRIPTION, EASEMENTS AND BUILDING LINES SHOWN HEREON ARE PER TITLE COMMITMENT PREPARED BY CHICAGO TITLE INSURANCE COMPANY AND KNOWN AS NO. 1410 001382543 MB WITH AN EFFECTIVE DATE OF OCTOBER 4, 2001.
- NOTE: UTILITY INFORMATION SHOWN IS BASED ON VISIBLE SURFACE EVIDENCE ONLY. MARKING: BEFORE BEGINNING ANY CONSTRUCTION CONTACT J.U.L.I.E. FOR UTILITY STAKING AT 1-800-692-0123.
- EASEMENT PROVISIONS PER SCHEDULE B OF CHICAGO TITLE INSURANCE COMMITMENT 1410-00462853 KA.
EXCEPTION 1 - C- UTILITY LETTERS WERE NOT PROVIDED BY CLIENT FOR OUR REVIEW
EXCEPTION 2 - THIS INFORMATION CONTAINED THEREIN HAS NOT BEEN SHOWN.
EXCEPTION 3 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 4 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 5 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 6 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 7 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 8 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 9 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 10 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 11 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 12 - APPLIES AND AFFECTS THE PROPERTY AS SHOWN ON SURVEY
EXCEPTION 13 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 14 - APPLIES AND AFFECTS THE PROPERTY AS SHOWN ON SURVEY
EXCEPTION 15 - APPLIES AND AFFECTS THE PROPERTY AS SHOWN ON SURVEY
EXCEPTION 16 - APPLIES AND AFFECTS THE PROPERTY AS SHOWN ON SURVEY
EXCEPTION 17 - APPLIES AND AFFECTS THE PROPERTY AS SHOWN ON SURVEY
EXCEPTION 18 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 19 - DOES NOT PERTAIN TO MATTERS OF SURVEY



TO CHICAGO TITLE INSURANCE COMPANY FOR COMMITMENT NO. 1410 001382543 MB

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS MADE IN ACCORDANCE WITH MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 1999, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, AND 11A OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE.

DATE OF SURVEY: NOVEMBER 26, 2001
DATE ISSUED: DECEMBER 10, 2001

Courtney W. Shropshire
COURTNEY W. SHROPSHIRE IV, PLS 2783

LAND DIVISIONS, Inc.
Professional Surveying Services
P.O. Box 635
West Dundee, Illinois 60185
(847) 551-9171 (847) 551-9193 Fax

Exhibit A

Background

Facen4Ward Venues is a premier event planning company offering event décor packages and event space for social and corporate events (executive retreats, board meetings, workshops, receptions, bridal and baby showers, anniversaries, etc.) for up to 75 guests. Guests will be allowed to cater or bring food and non-alcoholic beverages. Liquor use and consumption will not be permitted at the any events held at the space. An event host will be on duty for all engagements to ensure groups/individuals comply with the rules and regulations for the use of the space. The hours of operation are from 10:00 a.m. – 9:00 p.m. Monday through Wednesday; and 10:00 a.m. – 10:00 p.m. Friday through Sunday.

Proposed Build-Out for 20879 S. LaGrange Rd., Frankfort

At the Tenant's expense, the Tenant shall perform the following:

1. Remove walls, window, and door from original conference room near main entrance to add more square footage to the main floor area. (See Exhibit B).
2. Remove and dispose all carpet in all areas.
3. Install vinyl or epoxy flooring throughout the space.
4. Install track lighting on ceilings.
5. Install new vanity and lighting in bathroom.
6. Install television mounts to walls
7. Install Wi-fi connectivity in space.
8. Re-paint all areas in a neutral color.
9. Install company signage on entrance.

The final dimensions and layout of the space, improvements and finishes of the premises shall be subject to advance approval by the Landlord and Tenant. Improvements to be completed by a licensed and bonded contractor and laborers hired by the tenant.

RECEIVED

By aduffin at 9:28 am, Aug 29, 2022



**Application for Plan Commission / Zoning Board of Appeals Review
Special Use Permit Findings of Fact**

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

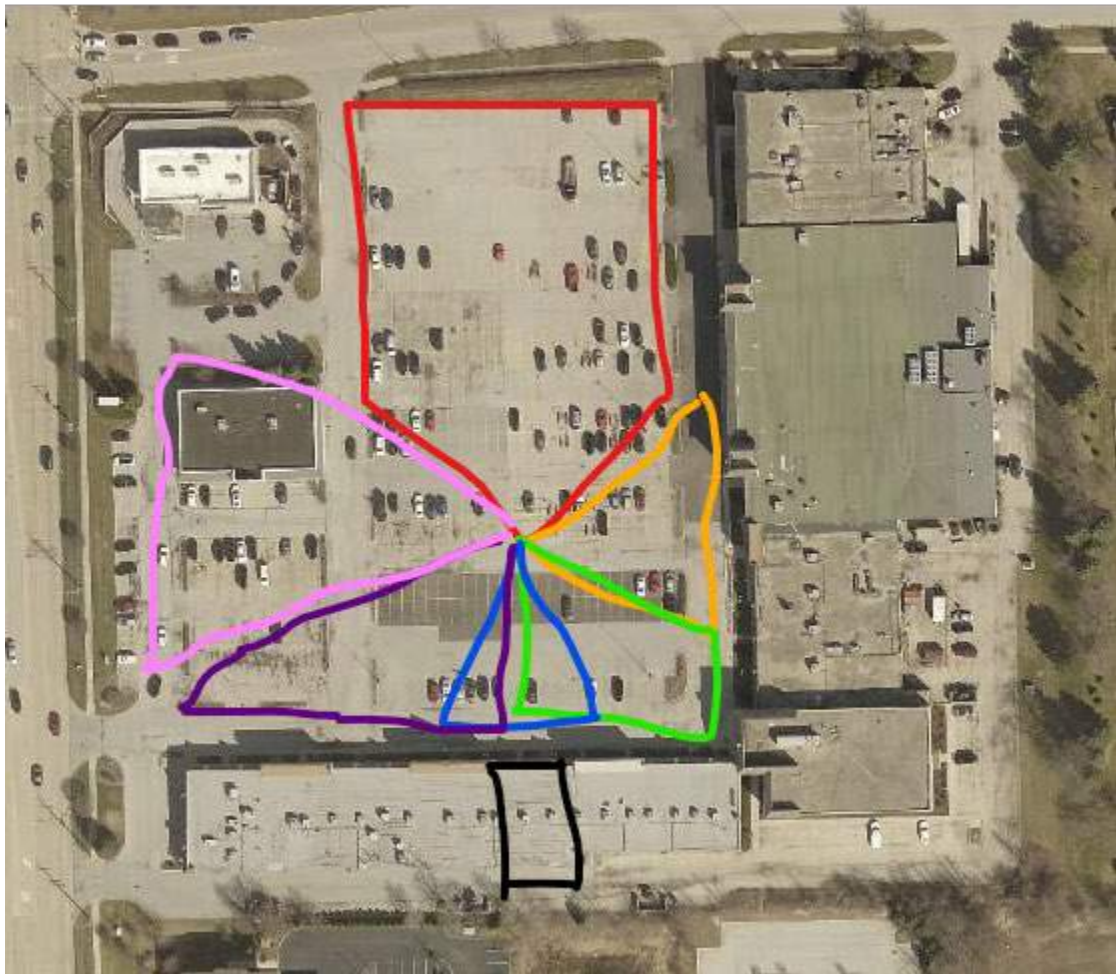
1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.



Overview of Parking Photos



Picture 1: North side of the parking lot, facing north



Picture 2: East side of the parking lot



Picture 3: Southeast side of the parking lot



Picture 4: South side of parking lot, with proposed space



Picture 5: Southwest side of parking lot



Picture 6: Northwest side of parking lot



Picture 8: Exterior, 20871 in Red



Picture 9: Interior, entryway



Picture 10: Interior, front room



Picture 11: Interior, hallway



Picture 12: Interior, back room



Picture 13: Interior, proposed storage area



Picture 14: Existing and proposed bathroom



Facen4ward venues LLC Rental Agreement and Contract

Acknowledged and Agreed by Facen4ward Venues, LLC: _____

Date:

SITE DECORATION

Facen4ward venues, LLC wants to make every event a special and welcomed experience. Therefore, every effort will be made to allow renter to prepare decorations reflecting their creative requirements. No nails, screws, hot glue, staples or penetrating items are to be used on our walls or floors. Glitter or foil (non-paper) confetti is not allowed on site. Only low tack tape is allowed on our floors and walls. Any damage will be charged after your event.

CONDUCT

There is absolutely no drug use, smoking or drinking of any kind tolerated on premises or within 25 feet of the building including loitering or congregating outside on the sidewalk/parking lot at any time during the event. Disparaging remarks of any type of physical violence will not be tolerated and will be cause for immediate expulsion. Renter and guests shall use the premises in a considerate manner at all times. During underage events, such as graduation parties, underage individuals do not have in and out privileges. Conduct deemed disorderly at the sole discretion of Facen4ward venues, LLC. Team members shall be on grounds for immediate expulsion from the premises and conclusion of the rental periods. In such cases refunds of the event costs will not be available.

MUSIC/DJs/NOISE

Facen4ward venues, LLC encourages music and lots of dancing! Please be aware the premises are located near other business therefore noise regulations do apply. In the event the renter's event creates a disturbance due to high noise volume, Facen4ward venues, LLC team members have full authority to ask the renter, dj to turn the entertainment down and/or off. If repeated disturbances are created, at Facen4ward venues, LLC renter may be expelled from the premises of the offending noise will be ended. In the event of disturbances to the point of expulsion, no portions of the event costs will be refunded to renter. The renter will also be solely responsible for any fines or fees associated with noise ordinances. Loud music must end by 8 p.m. during the weeknights (Sunday through Thursday) and by 10 p.m. on weekends (Friday and Saturday)

CANCELLATION

Date-Hold deposits is non-refundable

From 1 week prior to event: No space rental payments(s) will be refunded

ROCKWOOL

Safe 'n' Sound 3 in. x 15-1/4 in. x 47 in. Soundproofing and Fire Resistant Stone Wool Insulation Batt (59.7 sqft)

★★★★★ (457) [Questions & Answers \(86\)](#)



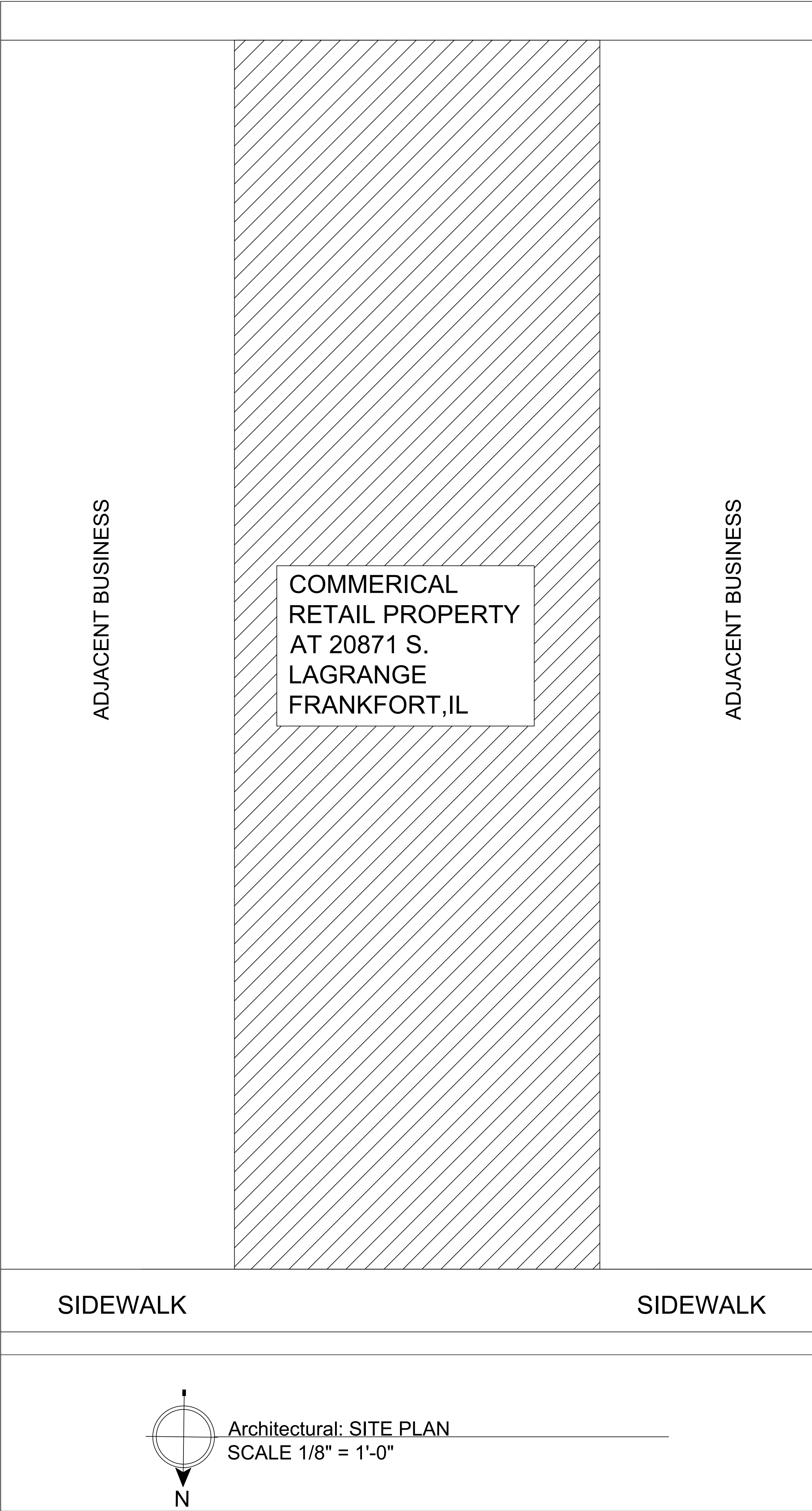
RECEIVED

By aduffin at 1:12 pm, Jul 05, 2022

Product Overview

ROCKWOOL SAFEnSOUND is a stone wool insulation for use in interior partitions of residential wood and steel stud construction where superior fire resistance and acoustical performance are required. Withstanding temperatures up to 2150°F (1177C), SAFEnSOUND is non-combustible and will not produce toxic smoke or promote flames spreading, even when directly exposed to fire. This adds valuable extra time for people to reach safety and for fire services personnel to arrive. SAFEnSOUND has excellent acoustical dampening properties and provides an easy friction fit into walls, ceiling and floor applications. It is GREENGUARD Gold Certified and contributes to a healthier indoor environment.

- Non-combustible and fire resistant, stone wool works to contain a fire and prevent its spread.
- Stone wool provides excellent noise reduction and sound absorption to help you create quieter, more productive environments.
- Bag covers 59.7 sq. ft.
- Water and moisture resistant
- Lightweight and easy to install, Safe'n'Sound applications include: basement walls and ceilings, media rooms, home offices, laundry rooms, furnace rooms and bedrooms
- Water resistant, stone wool does not rot or promote the growth of mildew, fungi or mold
- 12-bags included on a pallet
- Buying guide and insulation calculator:



INTERIOR RENOVATION TO COMMERICAL RETAIL PROPERTY
AT: 20879 S. LAGRANGE AVE. FRANKFORT, IL

LIST OF DRAWINGS:

T-1 SITE TITLE AND COVER SHEET
EX-1 DEMOLITION: FLOOR PLANS
A-1 ARCHITECTURAL: FLOOR PLANS
A-2 ARCHITECTURAL: ELECTRICAL
P-1 PLUMBING: RISER DIAGRAM

ARCHITECTURAL NOTES:

1. ALL EXIST DOORS SHALL BE OPERABLE FROM INSIDE WITHOUT A KEY

2. ALL INTERIOR WALL AND CLNG. FINISHES SHALL HAVE A CLASS 1 FLAME SPERADING RATING (0 TO 25)

3. ALL GLASS DOORS, AND WINDOWS SHALL BE GLAZED WITH TEMPERED, WIRE OR LAMINATED GLASS OR OTHER APPROVED SAFETY GLAZING.

4. ALL STAIRS SHALL HAVE A 2'-8" HANDRAIL ONE-SIDE: STAIR WIDTH MIN. 36" MIN. MIN TREAD DEPTH 9"+ 1" NOSING. MAX RISER 8"

5. ALL DOORS REQUIRED AS EXITS SHALL BE AT LEAST 36" WIDE
ALL OTHER DOORS SHALL BE MIN. 32" WIDE.

6. METAL STUD WALL CONSTRUCTION SHALL HAVE 1 HR FIRE RATING (5/8" GYPSUM BOARD EACH SIDE)

7. ALL INTERIOR PARTITIONS SHALL BE 2x4 METAL STUDS @ 16 o.c. WITH 5/8" GYPSUM BOARD EACH SIDE.

8. INSTALL CEILING MOUNTED CARBON-MONOXIDE DETECTORS.

9. SMOKE DETECTORS SHALL BE PROVIDED ONE-PER LEVEL CONTAINING A HABITABLE ROOM OR UNENCLOSED HEATING PLANT & ALL ROOMS.

10. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS OF THE BUILDING AND DIMENSIONS AND STRUCTURAL INFORMATION, AND NOTIFY OWNER OF ANY DISCREPANCIES.

RECEIVED

By aduffin at 9:30 am, Aug 29, 2022

City of Chicago Department of Buildings

GENERAL NOTES:

Note:

Barry Architecture LLC is only responsible for permit drawings. Construction methods and procedures to be responsibility of Owner/General Contractor.

Fresh Facade
Drafting

Maywood
331-775-8685
F.Facade21@yahoo.com

Description

INTERIOR RENOVATION

Scale1/4" = 1'-0"

Project No.1

ProjectFrankfort Banquets
20879 s. Lagrange
Frankfort, IL

Drawing

ARCHITECTURAL;

TITLE PAGE

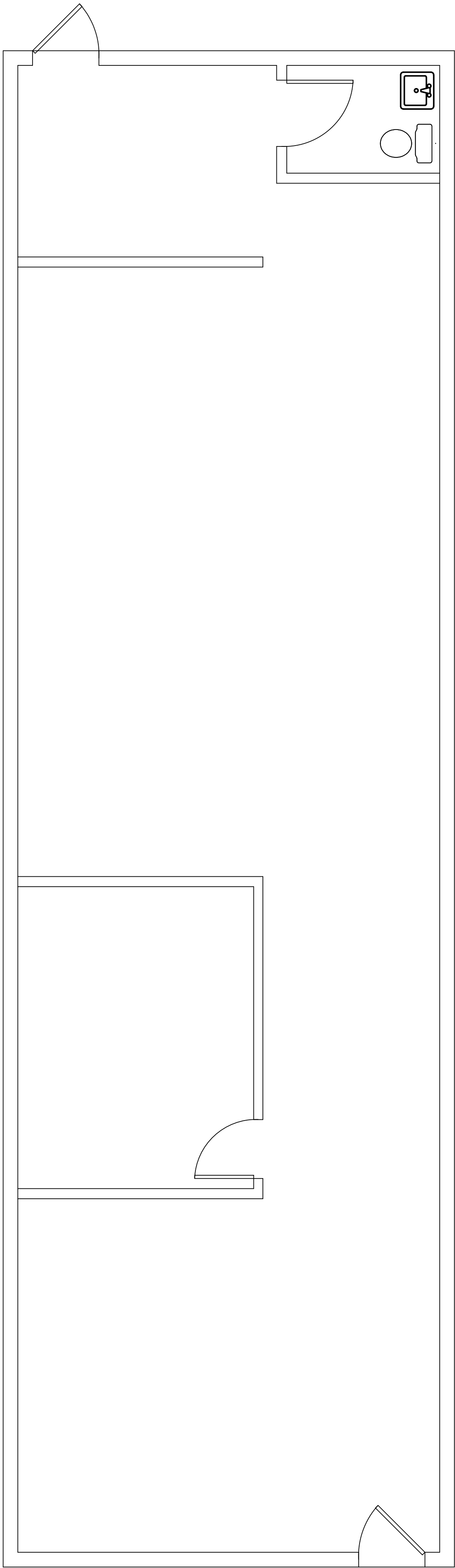
Stamp

T-1

ARCHITECTS SHALL NOT BE LIABLE FOR ANY LOSS, COST, DAMAGE AND/OR EXPENSE, BY REASON OF ANY CLAIM MADE AGAINST ARCHITECTS RESULTING FROM THE INFORMATION CONTAINED IN THIS DOCUMENT FOR ANY PROJECT OTHER THAN THE PROJECT DEFINED BY THIS DOCUMENT AND THE OWNER/ARCHITECT AGREEMENT.

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DEMO LEGEND	
SYMBOL	DESCRIPTION
<div></div>	DEMO WALL, PARTITION, FIXTURE TO BE REMOVED
<div></div>	EXISTING WALL, PARTITION, FIXTURE OR STRUCTURAL MEMBER TO REMAIN



Architectural: PROPOSED FLOOR LAYOUT
SCALE 1/8" = 1'-0"

LEGEND - ELECTRIC	
	GROUNDING DUPLEX RECEPTACLE
	SINGLE POLE SILENCE WALL SWITCH
	3-WAY WALL SWITCH
	LIGHT FIXTURE-WALL MOUNTED.
	CEILING MOUNTED LIGHT FIXTURE
	GROUND FAULT INTERCEPTOR
	PROVIDE AFCI (ARC-FAULT CIRCUIT INTERRUPTERS) IN ALL DWELLING UNIT BEDROOMS
	WATERPROOF OUTLET
	TELEPHONE JACK
	CABLE JACK
	DISCONNECT SWITCH
	100A MAIN BREAKER 24 1P. PANEL
	DOOR BELL
	RECESSED LIGHT FIXTURE
	EXHAUST FAN/ LIGHT (BATHROOM) ADJUSTABLE EYEBALL LENSE
	FLUORESCENT LIGHTING FIXTURE
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	HOT WIRE PHOTO CELL LIGHT FIXTURE

ELECTRICAL NOTES:

1. THE ELECTRICAL CONTRACTOR SHALL INCLUDE ALL NECESSARY LABOR, MATERIALS & EQUIPMENT FOR INSTALLATION OF COMPLETE, OPERABLE ELECTRICAL SYSTEM.
2. ALL ELECTRIC PERMITS THAT ARE NOT TAKEN OUT WITH THE GENERAL BUILDING PERMIT SHALL BE TAKEN OUT AND PAID FOR BY THE ELECTRICAL CONTRACTOR.
3. THE ELECTRICAL CONTRACTOR SHALL INSTALL ALL WORK IN ACCORDANCE WITH ALL APPLICABLE STATE, LOCAL, AND NATIONAL CODES AND ORDINANCES.
4. THE ELECTRICAL CONTRACTOR SHALL PROVIDE COPPER WIRE THROUGHOUT. WIRING SHALL BE IN RIGID METAL CONDUIT OR EMT.
5. DISTRIBUTION PANELS TO BE WITH 20 POLES SPACES MINIMUM PROVIDE BREAKERS AS REQUIRED.
6. BRANCH CIRCUITS:
A. FURNISH AND INSTALL BRANCH CIRCUITS FROM THE PANEL BOARD TO ALL THE CONVENIENCE OUTLETS AND LIGHTING FIXTURES AS SHOW, MINIMUM. WIRE SIZE: #14
B. SERVE ALL APPLIANCES WITH INDIVIDUAL CIRCUITS #12 WIRE WERE REQUIRED.
7. WIRING DEVICES:
A. PLANS INDICATE APPROXIMATE OUTLET LOCATIONS. ALL OUTLETS SHALL BE GROUNDED DUPLEX PLUGS.
B. SWITCHES SHALL BE SINGLE POLE, 3 WAY, ETC, AS INDICATED.
8. PROVIDE AND INSTALL GROUND FAULT PROTECTED OUTLETS AT ALL BATHROOMS, KITCHENS, SHOWERS AND EXTERIOR OUTLETS.
9. PROVIDE AND INSTALL DISCONNECTING MEANS AS REQUIRED BY CODE FOR FIXED APPLIANCES.
10. SMOKE, CARBON MONOXIDE, AND HEAT DETECTORS SHALL BE UL APPROVED WITH A WARNING DEVICE.
11. ALL CLOSET LIGHTS SHALL BE MOUNTED ON THE INSIDE WALL ABOVE THE CLOSET DOOR AND BE MINIMUM OF 18" AWAY FROM ALL SHELIVING.
12. UPDATE ELECTRICAL SERVICE

2018 ELECTRICAL CODE

City of Chicago Department of Buildings
GENERAL NOTES:

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Fresh Facade
Drafting

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Description	INTERIOR RENOVATION
Scale	1/4" = 1'-0"
Project No.	1
Project	Frankfort Banquets 20879 s. Lagrange Frankfort, IL

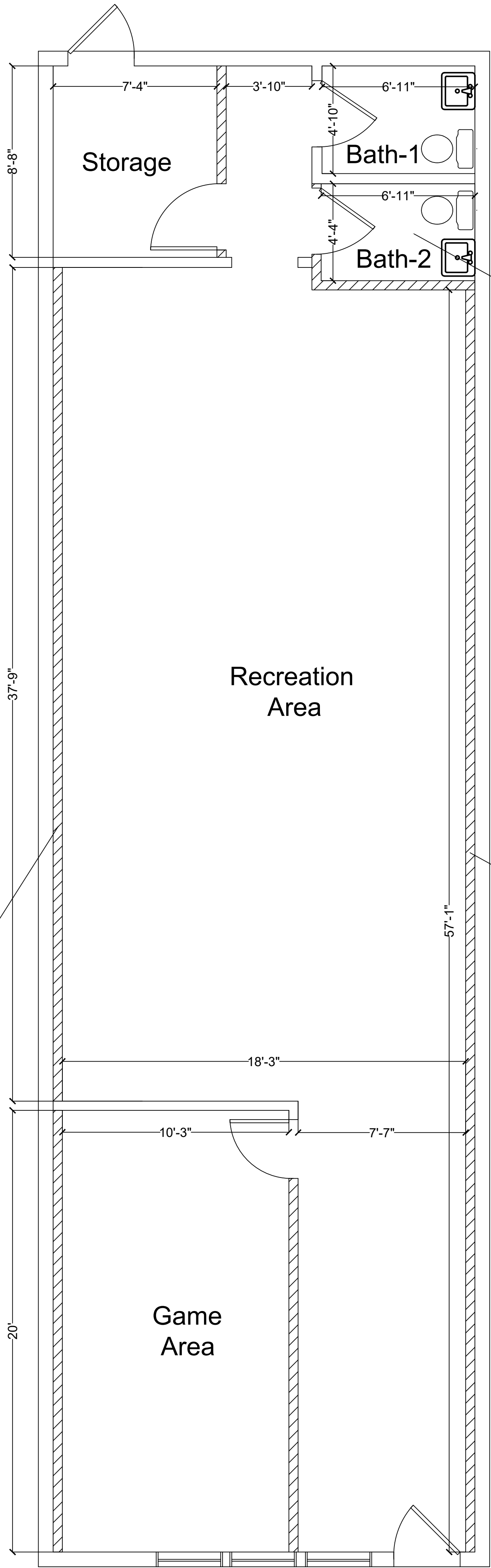
Drawing
ARCHITECTURAL;
EXISTING/DEMO LAYOUT

Stamp

EX-1

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SOUNDPROOFING
SIDE NOTE:
additional sheet of
drywall 1/2" on the
existing West wall then
frame a 2x6
wall in front of that
and insulate that wall
with Batt sound reduction
insulation and install double
drywall ½ or greater.
This will need to go to the
ceiling past the dropped ceiling.

NEW BATHROOM TO
BE BUILT. INSTALLATION
OF NEW TOLIET
EXISTING SINK
TO REMAIN.

SOUNDPROOFING
SIDE NOTE: additional sheet of
drywall 1/2" on the
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frame a 2x6
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This will need to go to the
ceiling past the dropped ceiling.



Architectural: PROPOSED FLOOR LAYOUT
SCALE 1/8" = 1'-0"

WALL LEGEND	
SYMBOL	DESCRIPTION
	NEW INTERIOR PARTITION - 2-5/8" THK. DW ON EACH SIDE ON 2x4 WOOD STUDS @ 16" o.c. - 1 HR RATED
	EXISTING WALL, PARTITION, FIXTURE OR STRUCTURAL MEMBER TO BE REMOVED
	EXISTING WALL, PARTITION, FIXTURE OR STRUCTURAL MEMBER TO REMAIN
	EXISTING STONE FOUNDATION WALL

- SPECIFICATIONS:**
- GENERAL CONDITIONS:

THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL EXAMINE THE PREMISES AND FAMILIARIZE THEMSELVES WITH ALL THE EXSISTING CONDITIONS WHICH MAY ARISE AND THAT BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE THE WORK IS BEGUN, ALL WORK SHALL COMPLY IN ALL RESPECTS WITH THE CODES AND ORDINANCES OF THE CITY OF CHICAGO; COORDINATE ALL WORK OF THE OWNER AND ANY OF HIS EMPLOYEES AS MAY BE REQUIRED; GENERAL CONTRACTOR SHALL PAY FOR ALL PERMIT FEES.
 - DEMOLITION:

ANY DEMOLITION, AS MAY BE REQUIRED, AND THE REMOVAL OF MATERIALS AND DEBRIIS SHALL BE EXECUTED AT THE EXPENSE OF THE GENERAL CONTRACTOR; KEEP THE PREMISES CLEAN AT ALL TIMES.
 - ROOFING:

SCOPE: PROVIDE AND INSTALL NEW ROOFING TO INCLUDE FLASHINGS, GUTTERS AND DOWN SPOUTS FOR THE ADDITION TO MATCH THE RESIDENCE ROOFING.

MATERIAL:

A) ROOF SHINGLES: ASPHALT, 235LB./SQUARE,'C' CLASS, WITH 5" EXPOSURE AND 2 HEAD LAP; COLOR AND TEXTURE TO MATCH EXISTING RESIDENTS.

B) ROOFING FELTS: COLD TAR SATURATED RAG FELT,15LB./SQUARE

C) GUTTERS AND DOWNSPOUTS: NEW ALUMINUM, 4" WIDE; COLOR TO MARCH EXSISTING.
 - CARPENTRY, MILLWORK & FINISH HARDWARE:

SCOPE: ALL CARPENTRY, MILLWORK AND FINISH HARDWARE NECESSARY AND REQUIRED FOR THE FULL AND PROPER COMPLETION OF THE WORK AS INDICATED ON THE DRAWING OR AS SPECIFIED HEREIN TO INCLUDE SUCH CARPENTRY WORK AS IS USUALLY REQUIRED BY THE OTHER TRADES.

MATERIAL:

A) FRAMING METAL: JOISTS, STUDS AND ALL SHALL BE 5/8" GALVANIZED STEEL.

B) CLOSET SHELIVING: 3/4 "THICK PLYWOOD WITH ONE HARDBOARD EDGE.

C) DOORS: EXISTING WILL REAMIN WITH NEW DOUBLE DOOR ON GAME ROOM.

D) WINDOWS: SEE PLAN AND/OR WINDOW SCHEDULE.

E) GYPSUM DRYWALL: SHALL BE 5/8" THICK, VALUE RATED (ONE HOUR) TAPERED EDGES WITH ALL JOINTS REINFORCED AND CONCEALED WITH PER-A-TAPE; ALL OUTSIDE CORNERS SHALL BE REINFORCED WITH DUR-A-BID NO.101; ALL SURFACES SHALL BE UNIFORMLY SMOOTH AND READY FOR PAINT.

F) CARPET(N.I.C.): PROVIDED AND INSTALLED BY OWNER

G) FINISH HARDWARE: PROVIDE AND INSTALL ALL FINISH HARDWARE INCLUDING ALL LOCKS, LATCHES, BUTTS, TRIM, AND MATERIAL NECESSARY TO INSURE THAT ALL NEW AND EXISTING DOORS WORK PROPERLY.

H) INSULATION: PROVIDE AND INSTALL 6" THICK BLANKET TYPE IN EXTERIOR 2"x6" STUD WALLS; 9" THICK BLACKET TYPE IN FLOOR CAVITY; AND 9" THICK BLANKET TYPE IN THE CEILING CAVITY.

I) VINYL TILE: INSTALL BY MASTIC GLUE ON 1/4" THICK PLYWOOD UNDERLAYMENT AS SELECTED BY OWNER.

J) CERAMIC TILE: INSTALL BY THIN SET METHOD ON 1/2" THICK DURA-ROCK UNDERLAYMENT AS SELECTED BY OWNER.

K) WOOD FLOORING: PROVIDE AND INSTALL NEW STRIP WOOD FLOORING ON 3/4" THICK PLYWOOD SUBFLOOR AS SELECTED BY OWNER.

L) KITCHEN CABLINETS: AS SELECTED BY OWNER; INSTALL AS REQUIRED.

M) COUNTERTOPS: NEW GRANITE SLAB; 3/4"THICK AS SELECTED BY OWNER.
 - PAINTING: PREPARE ALL SURFACES AND APPLY ONE COAT OF PRIMER PAINT INITIALLY.

A) EXTERIOR: ENAMEL BASED PAINT FOR WEATHER AND WATER RESISTANCE.

B) INTERIOR: LATEX-ENAMEL PAINT THROUGHOUT, EXCEPT FOR KITCHEN AND BATHROOM SEMI GLOSS PAINT.
 - HEATING, VENTILATING & AND AIR CONDITIONING: SEE HVAC NOTES; DWG. MPE-1.
 - PLUMBING: SEE PLUMBING NOTES: ARC. P-1.
 - ELECTRICAL: SEE ELECTRICAL NOTES: ARC. E-1.

SCOPE OF WORK:
INTERIOR ALTERATIONS- IN
COMMERICAL RETAIL SPACE
OF 1 STORY PROPERTY IN
SHOPPING CENTER.

City of Chicago Department of Buildings
GENERAL NOTES:

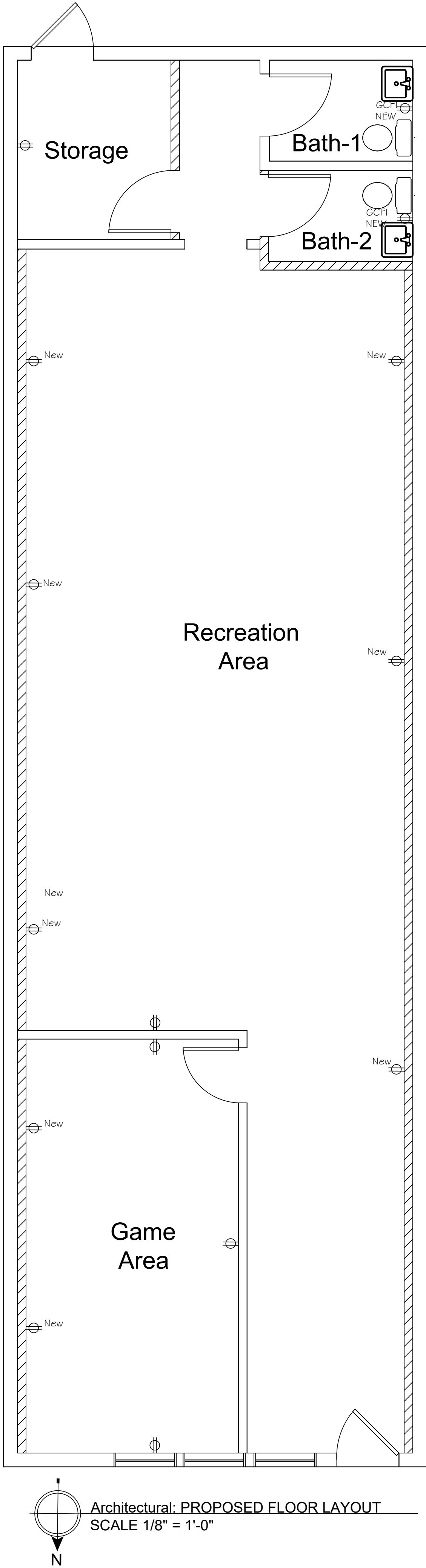
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**Fresh Facade
Drafting**
Maywood
331.775.8685
F.facade21@yahoo.com

Description
INTERIOR RENOVATION
Scale 1/4" = 1'-0"
Project No. 1
Project
Frankfort Banquet
20879 s. Lagrange
Frankfort, IL

Drawing
ARCHITECTURAL;
PROPOSED LAYOUT
Stamp

A-1
ARCHITECTS SHALL NOT BE LIABLE
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ARCHITECTS RESULTING FROM THE
INFORMATION CONTAINED IN THIS
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OTHER THAN THE PROJECT
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LEGEND - ELECTRIC	
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	HOT WIRE PHOTO CELL LIGHT FIXTURE

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2018 ELECTRICAL CODE

City of Chicago Department of Buildings

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Drafting**

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Description

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Scale 1/4" = 1'-0"

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20879 s. Lagrange
Frankfort, IL

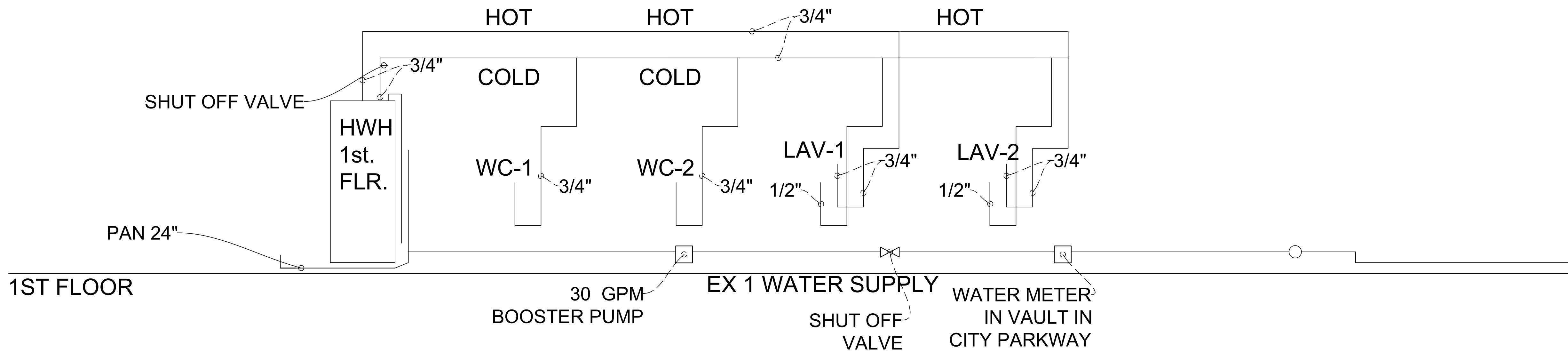
Drawing
ARCHITECTURAL;
ELECTRICAL LAYOUT

Stamp

E-1

ARCHITECTS SHALL NOT BE LIABLE FOR ANY LOSS, COST, DAMAGE AND/OR EXPENSE, BY REASON OF ANY CLAIM MADE AGAINST ARCHITECTS RESULTING FROM THE INFORMATION CONTAINED IN THIS DOCUMENT FOR ANY PROJECT OTHER THAN THE PROJECT DEFINED BY THIS DOCUMENT AND THE OWNER/ARCHITECT AGREEMENT.

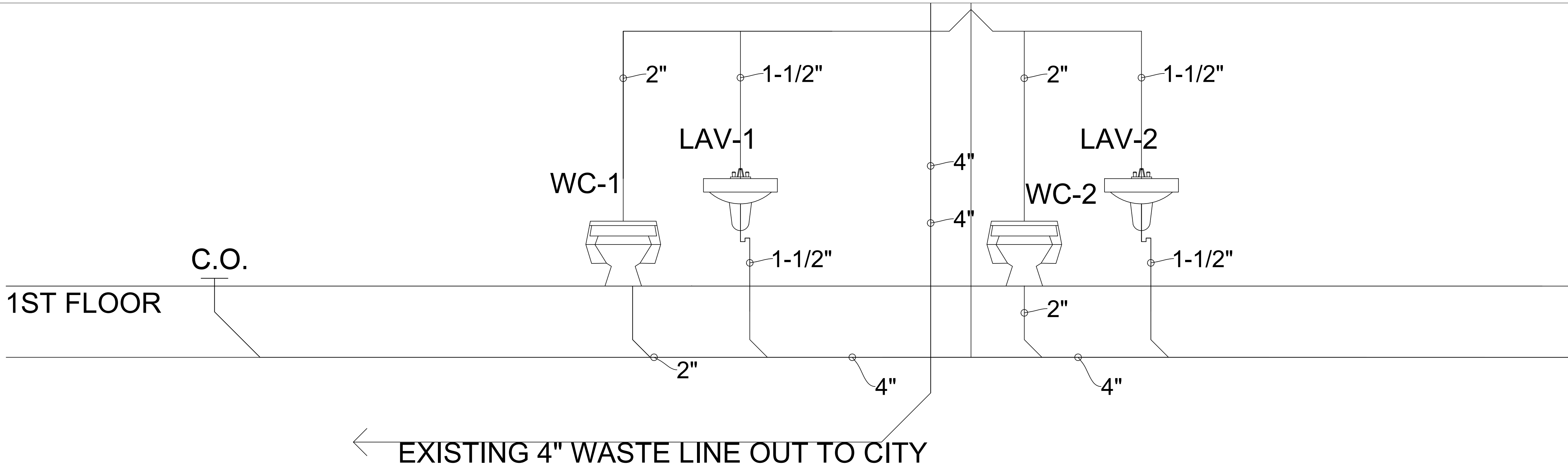
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GENERAL PLUMBING NOTES

- 1. INSTALL 12" AIR CHAMBERS ON ALL FIXTURES.
- 2. INSTALL 24" AIR CHAMBERS ON ALL RISERS.
- 3. INSTALL CUT-OFF VALVES ON ALL FIXTURES.
- 4. ALL TUB & SHOWER DIVERTERS SHALL BE PROVIDED WITH AN AUTOMATIC MIXING DEVICE.
- 5. ANY FIXTURE OVER 5'-0" AWAY FROM STACK SHALL HAVE SEPARATE VENT STOCK.
- 6. ALL UNDERGROUND PIPING TO E CAST IRON.

VERIFY EXISTING 1" WATER SERVICE NEW SERVICE FROM MAIN TO BUILDING ADD 15 GPM BOOSTER PUMP G.C. TO VERIFY ACTUAL LOCATION IN FIELD & COORDINATE WITH WATER DEPT. AS REQUIRED.



PLUMBING: WASTE AND VENT DIAGRAM
N.T.S.

City of Chicago Department of Buildings
GENERAL NOTES:

Note:
Barry Architecture LLC is only responsible for permit drawings. Construction methods and procedures to be responsibility of Owner/General Contractor.

Fresh Facade Drafting
Maywood
331-775-8685
F.Facade21@yahoo.com

Description
INTERIOR RENOVATION
Scale
1/4" = 1'-0"
Project No.
1
Project
Frankfort Banquets
20879 s. Lagrange
Frankfort, IL

Drawing
ARCHITECTURAL;
PLUMBING LAYOUT

Stamp
A-1
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Project: Opa! Building addition and relocation of outdoor seating
Meeting Type: Public Hearing
Requests: Major PUD Change; Plat of Resubdivision (to consolidate underlying lots)
Location: 10235 W. Lincoln Highway
Applicant: George Karuntzos
Prop. Owner: Karuntzos Investments, LLC
Representative: Steven Francis, Linden Group

Site Details

Gross Area: 4,420 sq. ft. (0.1 acres)
PIN(s): 19-09-21-304-044-0000
Existing Zoning: B-4
Proposed Zoning: B-4
Future Land Use: General Commercial
Buildings: 8 (within entire PUD)
Units: 21 (within entire PUD)

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Restaurant	General Comm.	B-4
North	Comm. PUD	General Comm.	B-4
South	Comm. PUD	General Comm.	B-4
East	Comm. PUD	General Comm.	B-4
West	Comm. PUD	General Comm.	B-4

Figure 1. Location Map



Project Summary

The applicant, George Karuntzos, is proposing a building addition and relocation of the outdoor patio for the existing Opa restaurant, within the Brookside Commons PUD. The project would involve enclosing the existing 670 square foot patio and constructing a new 324 square foot outdoor seating area adjacent to it. The changes would only affect the parcel for the restaurant, which measures approximately 0.10 acres. There would be no changes to the common area within the PUD, including the existing parking, sidewalks and landscaping.

The proposal will require a Major PUD change to modify the approved plans for the Brookside Commons PUD, as well as a new Plat of Resubdivision to combine the 3 underlying lots beneath the 4,420 square foot parcel (0.10 acres). The Brookside Commons PUD is located between the Brookside Commons West PUD and the Brookside Office Condos PUD. Each PUD was approved separately. There is no formal shared parking agreement between the three separate PUDs.

Attachments

1. PC-ZBA workshop meeting minutes from July 14, 2022
2. Plat of Survey, received June 2, 2022
3. Aerial Photographs, Village of Frankfort GIS (large scale and small scale)
4. Aerial map of Brookside Commons PUD, Brookside Commons West PUD and Brookside Office Condos PUD
5. Tax Assessment Map, Will County
6. Pictures taken by staff, May 13, 2022

7. Existing tenants map, prepared by staff
8. Brookside Commons PUD Site Geometrics Plan, received June 2, 2022
9. Preliminary Site Plan 1":20' scale, received August 31, 2022
10. Building Elevation drawings, received August 31, 2022
11. Proposed enclosed patio plan (with new outdoor patio), received August 31, 2022

Analysis

Plan Commission/Zoning Board of Appeals Workshop

A PC-ZBA workshop was held on this project on July 14th, 2022. At that time, most of the discussion pertained to the existing parking deficiency for the Brookside Commons PUD. The Plan Commission also recommended that the new north façade of the building facing Route 30 should be constructed of brick to match the rest of the building, instead of the proposed fiber cement panel siding. The meeting minutes excerpt has been included with this report.

To address the parking deficiency, the applicant has pushed back the daily opening time from 11:00 am to 3 pm. By having the restaurant closed for lunch, the restaurant would generate no traffic until 3 pm. According to a Google search, the existing businesses with the Brookside Commons PUD have a wide variety of daily closing times that vary from 12 pm to 9 pm, with the majority closing around 5 pm. Some businesses are closed on weekends. On approximately August 24th, staff noticed that the restaurant was no longer open for lunch and the daily opening time is now 3 pm. An opening time of 3 pm has been included as a condition of approval of the Major PUD change.

To address the building materials request, the north building elevation has been revised to eliminate the fiber cement panel siding on the gable of the façade facing Route 30 and replaced it with brick to match the rest of the building. The building elevation drawings state "new brick veneer to match existing". However, it's believed that the existing building is constructed of full brick, not thin brick. The term "brick veneer" usually implies thin brick, which may match the building style, but not necessarily building construction.

2019 Comprehensive Plan

1. The Comprehensive Plan illustrates the subject property as "General Commercial". The property is currently being used for a restaurant and the expansion and continuation of the use aligns with the Plan.

Zoning

1. The subject property is currently zoned B-4, Office, with a PUD overlay which was approved as a special use (Ordinance No. 1594 approved on October 21, 1996). The enclosure of the existing patio as well as constructing a new outdoor patio would require a Major change to the existing PUD.

Site Plan

1. The Zoning Ordinance requires a 150' minimum setback from the centerline of Route 30. Route 30 is 5 lanes wide at this point, with two lanes in each direction and a left turn lane. There is also a landscaped median within Route 30. As such, there is no clearly defined "centerline" of the road. Per the site plan submitted by the applicant, the distance from the newly enclosed patio to the outside edge of the turn lane within Route 30 is 165.7'. The outside edge of the turn lane is not located in the middle of Route 30, which has a ROW width of 150'. Staff, using Will County aerial imagery, measured the distance from the enclosed patio to the center of Route 30 and this distance is approximately 135'. Depending on how the "centerline" is defined, an exception to the PUD request may be required if the proposed patio enclosure is set back less than 150'.
2. The existing restaurant floorplan will not change with the proposed addition/enclosure. The restaurant is 2,675 square feet and seats 60 people.

3. The existing 670 square foot patio area, on the rear of the building but facing Route 30, would be enclosed to allow year-round use. The enclosed patio would be equipped with foldable glazing panels which could open during the summer months. The patio, before and after the enclosure, seats 40 people.
4. A new, 324 square foot outdoor patio would be constructed on the east side of the building addition/enclosure, which would seat additional 16 people. The patio would only be accessible through the new enclosed patio area.
5. Both the building addition/enclosure and the proposed outdoor patio would be ADA compliant.
6. All changes to the site plan would occur on the 0.10-acre parcel, with no changes to the common areas of the PUD.

Building Elevations and Floorplans

1. The existing 670 square foot patio masonry knee walls would remain, with composite siding and windows added above and enclosed by a roof. The proposed shingle roof over the existing patio would match the existing roof regarding pitch and materials. The gable facing Route 30 would be constructed of “brick veneer to match existing”.
2. The outdoor lights along the perimeter of the existing patio would be removed and repurposed for the proposed new 324 square foot outdoor patio.
3. The plans provided for the workshop meeting noted that the new 324 square foot outdoor patio would be constructed of a wood composite with a wood railing. The plans have since been modified to illustrate a masonry foundation for the patio with a brick wall to match the existing brick on the restaurant. The masonry on the patio walls is noted to “match existing” although it’s not clear whether this is regular brick or thin brick.

Parking & Loading

1. The Zoning Ordinance requires 1 parking space for every 100 square feet of gross floor area, plus one space for each employee during the largest working shift, regardless of whether the area is inside the building or outdoor seating. The area of the 1st floor of the restaurant is 2,675 square feet and the existing patio is 670 square feet, for a total of 3,345 square feet. The largest working shift is 8 employees. As such, the restaurant currently requires 42 parking spaces per Code. Outdoor seating area is calculated the same as indoor seating per the Zoning Ordinance; there is no differentiation.
2. The construction of the new 324 square foot patio would add an additional 3 parking spaces per code, for a total of 45 parking spaces for the restaurant.
3. Staff performed a parking analysis of Brookside Commons (attached to this report). The PUD contains 125 parking spaces, including 7 ADA accessible spaces. Currently, all the existing uses within the PUD require approximately 248 parking spaces, resulting in a parking deficiency of 123 spaces. The proposed building addition/enclosure with the proposed outdoor patio would add 3 more parking spaces, for a total of 251 spaces required. These figures do not account for the former Simply Smokin’ restaurant, which is closed.
4. The former Simply Smokin’ restaurant remains closed at this time. If reopened as a restaurant, it would require approximately 98 additional parking spaces. The parking analysis table currently reflects 0 spaces

required for this former restaurant because it is closed. It is possible that this structure may be reopened for something other than restaurant, which would require less additional parking.

5. Despite shared parking opportunities it is reasonable to assume that restaurant parking availability will be limited during the late afternoon and early evening hours on weekdays where restaurant and office hours overlap. Office users peak parking demands are primarily on weekdays, between approximately 8 am – 5 pm, whereas restaurants peak parking demands are primarily on weekends in the evening.
6. Some existing tenants have indicated to staff that up to a dozen parking spaces are lost in the wintertime for snow storage.
7. There are no designated loading areas within the Brookside Commons PUD. Delivery trucks typically park in the drive aisle south of the restaurant. Some existing tenants have indicated to staff that deliveries are common during normal business hours and that it negatively affects traffic circulation within the PUD. There may be an opportunity for restaurant loading to be confined to the stubbed parking lot immediately west of the restaurant to reduce conflicts with motorists traveling to the other businesses within the PUD.

Stormwater & Drainage

1. Robinson Engineering has performed a cursory review of the project. Due to the small amount of impervious surface added to the site (324 SF), final engineering may be performed at the time of permitting.
2. According to the National Wetlands Inventory maps, there are no wetlands or floodplains on the subject property.

Landscaping

1. The enclosure of the patio will not affect any existing landscaping. The proposed 324 square foot new outdoor patio will result in the loss of a row of shrubs (see attached pictures). The representative has stated that no trees or any other landscaping would be removed as part of the project.
2. The site is heavily landscaped between the building and Route 30, including around the existing detention pond on the north side of the building.

Other

1. Although the project will require a Final Plat of Resubdivision to combine the underlying lots, a proposed plat has not been provided at this time. Should the Major PUD change be approved by the Village Board, the applicant would then submit a Plat of Resubdivision, which would require review by the Plan Commission and approval by the Village Board, prior to the issuance of any building permits.
2. The proposed plans were forwarded to the Utility and Building departments and the Frankfort Fire District. These departments have not indicated any concerns with the proposed plans.
3. The existing bathroom facilities are able to accommodate the proposed building addition/enclosure as well as the new outdoor patio.

Standards for Planned Unit Developments

For reference during the public hearing, Article 3, Section F of the Village of Frankfort Zoning Ordinance refers to Planned Unit Developments. Part 4 of said Section F refers to the review standards that must be considered:

In granting or withholding approval of Preliminary Plans and Final Plans, the Plan Commission and the Village Board shall consider the extent to which the application fulfills the requirements of this Ordinance and the following standards:

- a. The plan is designed to protect the public health, welfare, and safety.
- b. The proposed development does not cause substantial injury to the value of other property in the immediate area.
- c. The plan provides for protection of the aesthetic and function of the natural environment, which shall include, but not be limited to, flood plains, streams, creeks, lakes, ponds, wetlands, soil and geologic characteristics, air quality, vegetation, woodlands, and steep slopes.
- d. The plan provides for and ensures the preservation of adequate recreational amenities and common open spaces.
- e. Residential use areas may provide a variety of housing types to achieve a balanced neighborhood.
- f. The planned unit development provides land area to accommodate cultural, educational, recreational, and other public and quasi-public activities to serve the needs of the residents thereof.
- g. The proposed development provide for the orderly and creative arrangement of all land uses with respect to each other and to the entire Village.

Special Use Request (PUD)

The following findings of fact are used to judge the merit of a special use permit request.

Findings of Fact:

1. No special use shall be recommended by the Plan Commission, unless such Commission shall find:
2. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
3. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
4. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
5. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
6. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

7. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
8. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Affirmative Motion _____

1. Recommend to the Village Board to approve the Major PUD Change, in accordance with the reviewed plans and public testimony, conditioned on final engineering approval and that the restaurant shall not open before 3 pm, everyday.

Staff added that the Federalist style of architecture was characterized by red brick, dark shingles, and roof dormers. Staff then asked the Plan Commission if they were alright with moving away from that design somewhat.

Chair Rigoni responded that she was, depending on what the next set of submitted designs showed.

Commissioner Hogan said the ground-level elevations showed a long, empty roofline, and that he would like to see changes to it to make it less boring.

D. Workshop: 10235 W. Lincoln Highway – Opa! Addition

Gruba summarized the case.

Chair Rigoni asked the applicant to approach the podium.

Steve Francis, the architect for the project, approached the podium. He stated that they were looking to enclose the patio so they could provide additional seating during the winter or other periods of inclement weather. The addition would match with the existing materials. The existing wall sign would move forward and remain in relatively the same location: on the gable facing Lincoln Highway. There would also be some minor changes to the exterior brickwork to accommodate the larger changes.

Chair Rigoni asked the members of the Plan Commission if they had any questions or comments about the act of enclosing the patio space.

Commissioner Hogan agreed that the restaurant needed more seating and asked if more seats would be added within the existing outdoor patio footprint.

The architect responded that the reason for the addition was to keep existing space available despite weather conditions, and that the overall amount of seating within the patio footprint would not increase beyond what it is today.

Commissioner James agreed that the addition made sense. He saw no problem with the use.

Commissioner Hogan asked if there would be any changes to square footage or if the existing exterior wall would be removed.

The architect responded there would be no change to square footage and the current exterior wall would remain.

Commissioner Jakubowski asked whether there would be four additional tables on the proposed outdoor deck area.

The architect said there would be four new tables.

Chair Rigoni asked if the proposed enclosure met the setback requirements from Route 30.

Staff responded they were unsure, but believed they did.

The architect said he would verify that the enclosure did.

Staff noted that the setback from Route 30 could be granted an exception as part of the Major PUD Change.

Chair Rigoni explained that Lincoln Highway had unique setbacks, and that the setback should be met. She also expressed concern over the issue of parking. She noted that the owner of the former Simply Smokin' restaurant space met with the Plan Commission recently to reopen the space as a restaurant with modifications and the Plan Commission insisted that there should be no increase in seating compared to what existed currently. The proposed enclosure and new patio area for Opa would make the parking problem at that location worse. Other uses have been turned down because of this issue in the past. Even though the proposed increase was small, it would be hard to approve the seating. Her only issue with the enclosure was with parking, since it would become a year-round challenge rather than a seasonal one.

Commissioner James asked if it was possible to consider the building enclosure and new outdoor patio separately.

Commissioner Hogan asked staff how many additional spaces would be required for the new seating.

Staff responded that three additional spaces would be required, per the Zoning Ordinance.

Chair Rigoni stated that the main problem was the changing availability of parking spaces throughout the year.

The applicant stated that the restaurant was busiest when most of the other uses in the PUD were closed.

Chair Rigoni responded that the restaurant opened at 11:00 A.M., while the offices were also open.

The applicant agreed, but said that the majority of his business came when the restaurant was the only one using the lot.

Chair Rigoni agreed, but noted that it was always possible for the restaurant to be busy while the offices were open and sharing the existing parking, and so wanted to anticipate that situation. She asked the Commission for comments regarding the architecture.

Commissioner Hogan noted that he had no issue with the proposed architecture, but that the main issue at this site was parking. The Plan Commission had heated discussions about parking concerns in this development in the past, most recently regarding the vacant building to the east.

The applicant asked if this discussion was taking place as a result of the additional tables.

Commissioner Hogan responded that the discussion was taking place because the development which included the restaurant currently did not meet the code requirements.

Chair Rigoni added that in the past, the Plan Commission had not considered parking when discussing outdoor seating spaces, but that the enclosure of the outdoor seating meant that parking became a consideration.

Commissioner Jakubowski noted that there were options to make outdoor seating viable during the winter months that did not involve enclosing spaces, and that they would also result in parking challenges.

Staff noted that regarding the front yard setback of the building, the proposed building addition would require an exception from the regulation as part of the request for a Major Change to the Planned Unit Development. The existing 150-foot front yard setback regulation was adopted in 2002, which was after the building was built, and therefore made the existing structure legally nonconforming.

Chair Rigoni recalled that the setback regulation in question was put in place to allow for Lincoln Highway to be expanded in the future. She asked if the other members of the Plan Commission were willing to move forward.

Commissioner Hogan said that he was, but that parking needed to be addressed.

Chair Rigoni asked the applicant if there was an architectural reason for the change in materials under the front gable, particularly for the proposed cement paneling within the pediment.

The architect responded there was, but that changing the proposed design to match the existing brick facade was not a problem.

Chair Rigoni stated her preference for brick, since the proposed materials do not age well, as seen on other properties in the Village.

E. Public Comments

There were none.

F. Village Board & Committee Updates

Schwarz noted that the following matters that previously came before the PC/ZBA were approved by the Village Board at its meeting on July 5:

- Chase Bank Service/Utility Areas Variance at 20810 S. La Grange Road – the ordinance was approved.

In addition, at the July 13 meeting of the Committee-of-the-Whole, staff was authorized to research and draft regulations for electric vehicle charging stations. Schwarz noted that some charging stations already existed in the Village, but there were no regulations for them. Certain designs for charging stations included advertisement components which do not comply with the Village's Sign Ordinance. Some preliminary research had been done, but the Plan Commission should expect draft regulations to be forthcoming.

Commissioner Hogan noted that electric vehicle charging was cheap, so it was important to be ahead of the curve.

RECEIVED 6.2.22

PLAT OF SURVEY

Legal Description: Parcel 10235

Lots 21, 22 and 23 (except the East 6.13 feet thereof) in Brookside Commons P.U.D., being a Subdivision of the West Half of the Southwest Quarter of Section 21, Township 35 North, Range 12 East of the Third Principal Meridian, according to the plat thereof recorded November 25, 1997 as Document No. R97-104659 in Will County, Illinois;

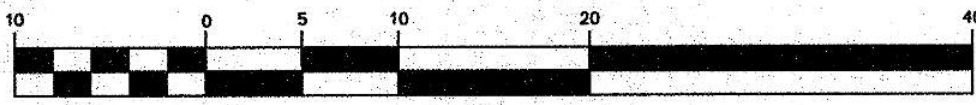
AND

That part of Lot 25 in Brookside Commons P.U.D., being a Subdivision of the West Half of the Southwest Quarter of Section 21, Township 35 North, Range 12 East of the Third Principal Meridian, according to the plat thereof recorded November 25, 1997 as Document No. R97-104659 in Will County, Illinois, being described as follows: Commencing at the Northwest corner of Lot 23 in said Brookside Commons P.U.D.; thence North 89°55'43" East 6.00 feet along the North line of said Lot 23 to the Point of Beginning; thence North 00°04'17" West 3.00 feet; thence North 89°55'43" East 37.00 feet; thence South 00°04'17" East 3.00 feet to the North line of said Lot 23; thence South 89°55'43" West 37.00 feet along said North line to the Point of Beginning, in Will County, Illinois.

AND ALSO

That part of said Lot 25 in Brookside Commons P.U.D. described as follows: Beginning at the Southwest corner of Lot 21 in said Brookside Commons P.U.D.; thence South 89°55'43" West 6.00 feet; thence North 00°04'17" West 51.00 feet; thence North 89°55'43" East 6.00 feet to the West line of Lot 23 in said Brookside Commons P.U.D.; thence South 00°04'17" East 51.00 along the West line of Lots 23, 22 and 21 in said Brookside Commons P.U.D. to the Point of Beginning, in Will County, Illinois.

GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

Lincoln (U.S. Rte. 30) Hwy.

(ASPHALT PAVEMENT)

EDGE OF PAVEMENT

SOUTH RIGHT-OF-WAY LINE OF LINCOLN HIGHWAY (U.S. ROUTE 30) AS DEDICATED

Easement

Egress

(HERETOFORE DEDICATED)

Ingress

LOT 25
(COMMON AREA)

LOT 25
(COMMON AREA)

N 89°55'43" E 6.00'

N 89°55'43" E 6.00'

N 00°04'17" W 3.00'

N 89°55'43" E 37.00'

S 00°04'17" E 3.00'

N 89°55'43" E 15.87'

NORTHWEST CORNER LOT 23

N 89°55'43" E 6.00'

N 00°04'17" W 16.99'

N 89°55'43" E 65.00'

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N 00°04'17" W 23.33'

N 89°55'43" E 65.00'

N 89°55'43" E 65.00'

S 00°04'17" E 67.99'

BENCHMARK:

Top of Northwest flange bolt on hydrant
West side of Washington Parkway on South
side of Johnson Avenue.

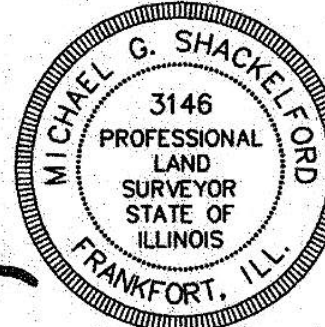
Elevation: 738.65

STATE OF ILLINOIS } SS.
COUNTY OF WILL

JOSEPH A. SCHUDT AND ASSOCIATES HEREBY CERTIFY THAT THEY
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SURVEY. ALL DIMENSIONS IN FEET AND DECIMAL PARTS THEREOF.

FRANKFORT, ILLINOIS JANUARY 6, A.D. 2004.
JOSEPH A. SCHUDT & ASSOCIATES (184-001172)

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3146 (exp. 11-30-04)



PLAT OF SURVEY

BROOKSIDE COMMONS P.U.D.

FRANKFORT, ILLINOIS 60423

REVISIONS:

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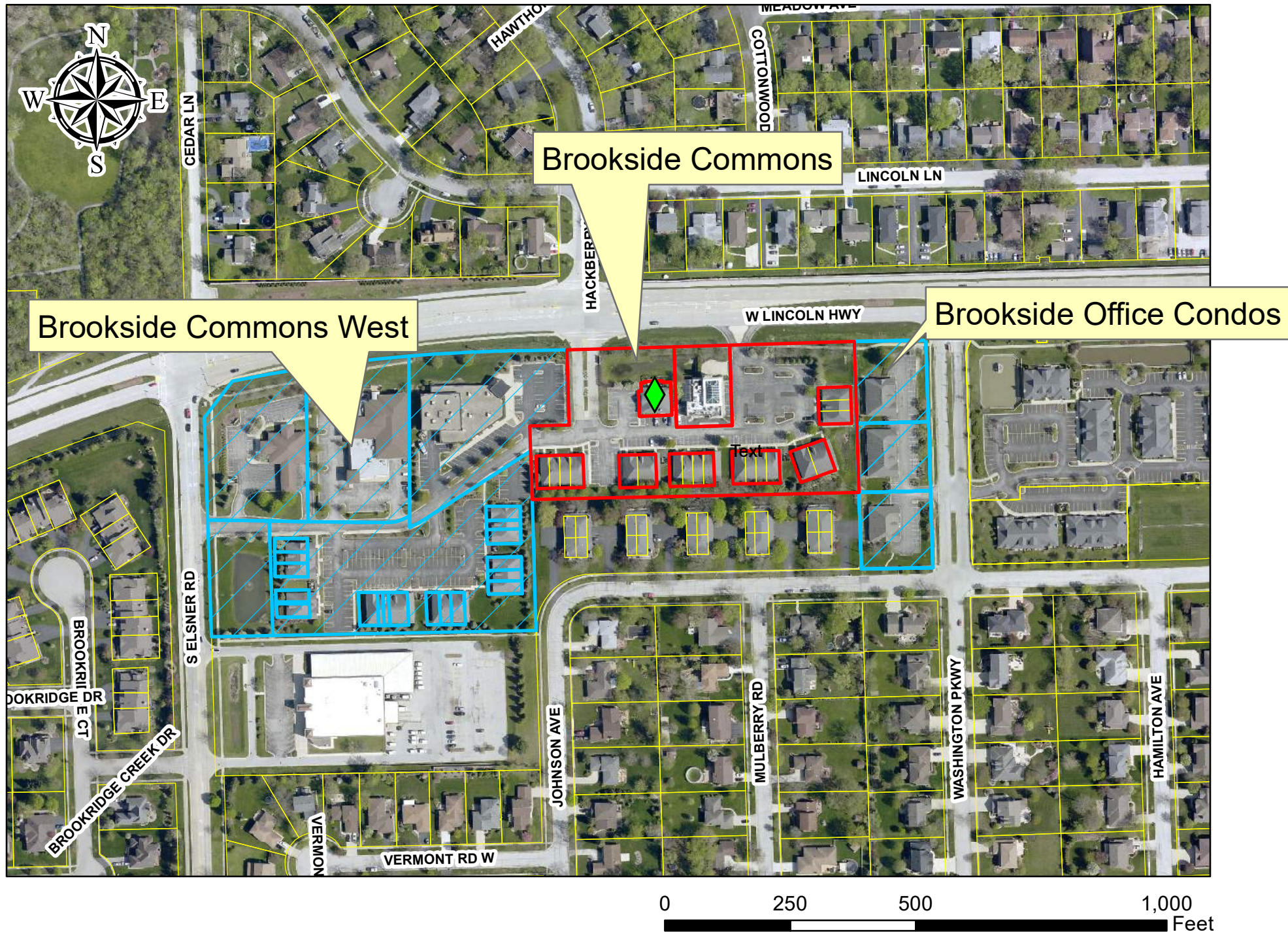
10235 W. Lincoln Highway - Opa addition (Brookside Commons PUD)



10235 W. Lincoln Highway - Opa addition (Brookside Commons PUD)



10235 W. Lincoln Highway - Opa addition (Brookside Commons PUD)



Frankfort Township
W.1/2 S.W.1/4 Sec.21 T.35N. R.12E.

Will County, Illinois
Tax Assessment Map
Revised for the 2020 Assessment
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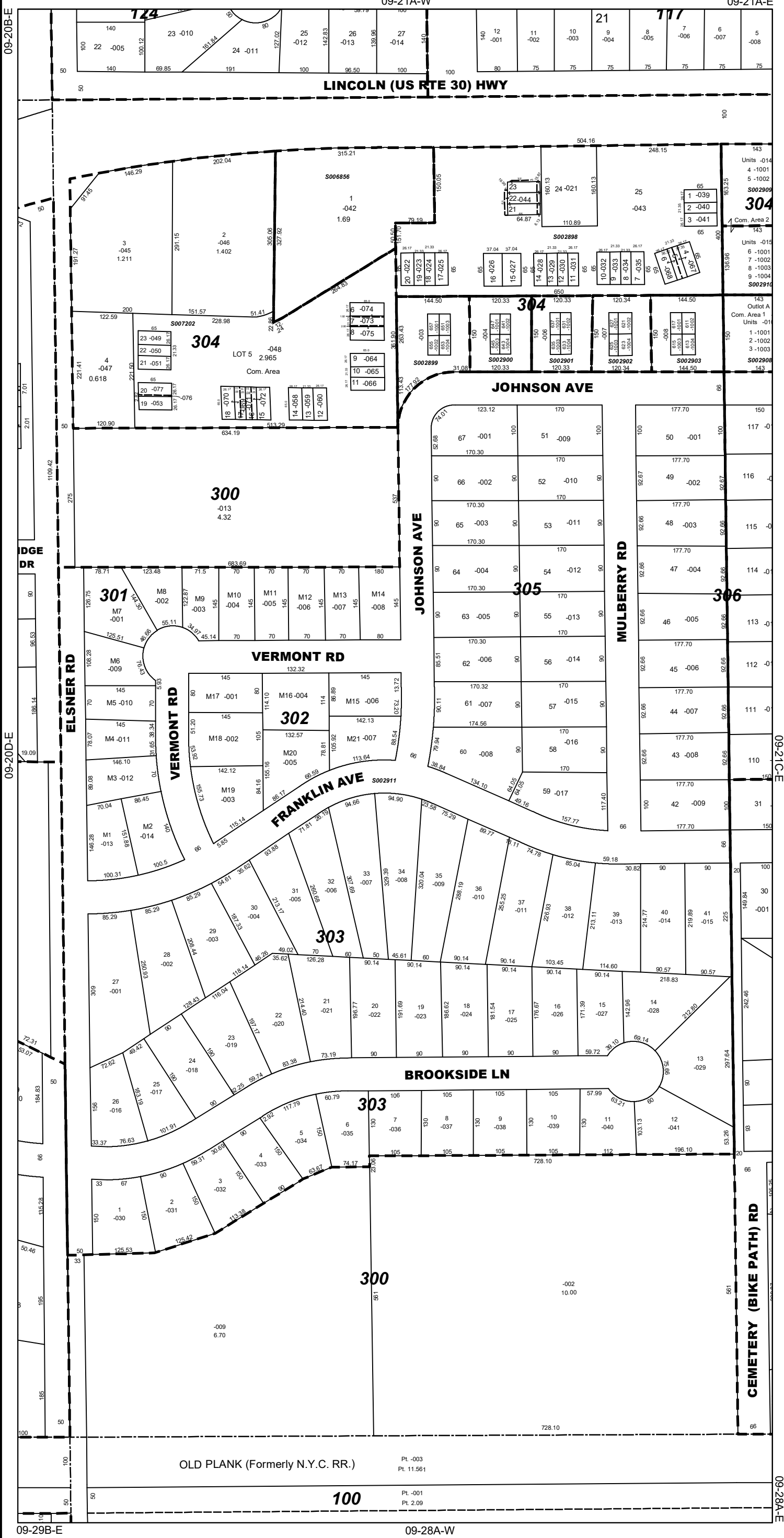
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Denise Winfrey
County Executive
Rhonda R. Novak
Supervisor of Assessments

Subdivision List

- S002898**
Brookside Commons PUD
R97-104659
- S002899**
Brookside Country Villas
Condos
R85-028174
- S002900**
Brookside Country Villas
Condos 1st Amdt.
R85-033872
- S002901**
Brookside Country Villas
Condos 2nd Amdt.
R86-049419
- S002902**
Brookside Country Villas
Condos 3rd Amdt.
R86-057416
- S002903**
Brookside Country Villas
Condos 4th Amdt.
R87-011583
- S002911**
Brookside Sub
R77-016794
- S006856**
Brookside Commons West
Lot 1 PUD
R2001-037511
- S007202**
Brookside Commons West
Lots 2 thru 23, 2nd PUD
R2002-127624















EXISTING PARKING

Address	Name	Use Classification (Parking)	GFA (approx)	Employees	Exam Rooms	Parking required
10171	Frankfort Implant Detistry	Health Clinic: 3 spaces per exam room plus 1 space for each employee	1,466	6	4	18
10175	Brookside Dental	Health Clinic: 3 spaces per exam room plus 1 space for each employee	1,466			18
10179	Planet Color	Personal Service (Salon): 1 space per 200 SF GFA, plus 1 space for each employee	1,466	6		14
10181	Pain Management Institute	Professional office: 1 space per 200 SF GFA	2,200			11
10189	Midwest Anti-aging	Professional office: 1 space per 200 SF GFA	2,200			11
10197	CEI Marketing Communications	Business office: 1 space per 200 SF GFA	1,400			7
10201	Association Professional Counseling	Professional office: 1 space per 200 SF GFA	1,400			7
10205	Logiscial Claims Solutions	Business office: 1 space per 200 SF GFA	1,400			7
10209	ZPS Psychiatric Services	Professional office: 1 space per 200 SF GFA	1,400			7
10217	Platt Counseling	Professional office: 1 space per 200 SF GFA	1,400			7
10221	Area Marketing & Promotions	Business office: 1 space per 200 SF GFA	1,400			7
10225	Family Medicine	Health Clinic: 3 spaces per exam room plus 1 space for each employee	1,400	4	3	15
10229	Chiropractic	Health Clinic: 3 spaces per exam room plus 1 space for each employee	1,400	2	4	14
10237	Ameriprise Financial	Business office: 1 space per 200 SF GFA	2,250			12
10241	Partners in Oral Surgery	Health Clinic: 3 spaces per exam room plus 1 space for each employee	2,250	7	4	19
10257	Atlas Wealth Management	Business office: 1 space per 200 SF GFA	1,450			8
10261	Ameriprise Financial	Business office: 1 space per 200 SF GFA	1,450			8
10265	Synchronicity Event Marketing	Business office: 1 space per 200 SF GFA	1,450			8
10269	Lott Management, LLC	Business office: 1 space per 200 SF GFA	1,450			8
10235	OPA!	Full-Service restaurant: 1 space per 100 SF GFA plus 1 for each employee	3,345	8		42
10211	Former Simply Smokin' (closed)	Full-Service restaurant: 1 space per 100 SF GFA plus 1 for each employee	5,000			0
Total						248

Available parking: 125 spaces, including 7 ADA spaces

PROPOSED PARKING

Address	Name	Use Classification (Parking)	GFA (approx)	Employees	Exam Rooms	Parking required
10171	Frankfort Implant Detistry	Health Clinic: 3 spaces per exam room plus 1 space for each employee	1,466	6	4	18
10175	Brookside Dental	Health Clinic: 3 spaces per exam room plus 1 space for each employee	1,466			18
10179	Planet Color	Personal Service (Salon): 1 space per 200 SF GFA, plus 1 space for each employee	1,466	6		14
10181	Pain Management Institute	Professional office: 1 space per 200 SF GFA	2,200			11
10189	Midwest Anti-aging	Professional office: 1 space per 200 SF GFA	2,200			11
10197	CEI Marketing Communications	Business office: 1 space per 200 SF GFA	1,400			7
10201	Association Professional Counseling	Professional office: 1 space per 200 SF GFA	1,400			7
10205	Logiscial Claims Solutions	Business office: 1 space per 200 SF GFA	1,400			7
10209	ZPS Psychiatric Services	Professional office: 1 space per 200 SF GFA	1,400			7
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10237	Ameriprise Financial	Business office: 1 space per 200 SF GFA	2,250			12
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10261	Ameriprise Financial	Business office: 1 space per 200 SF GFA	1,450			8
10265	Synchronicity Event Marketing	Business office: 1 space per 200 SF GFA	1,450			8
10269	Lott Management, LLC	Business office: 1 space per 200 SF GFA	1,450			8
10235	OPA!	Full-Service restaurant: 1 space per 100 SF GFA plus 1 for each employee	3,669	8		45
10211	Former Simply Smokin' (closed)	Full-Service restaurant: 1 space per 100 SF GFA plus 1 for each employee	5,000			0
Total						251

Available parking: 125 spaces, including 7 ADA spaces

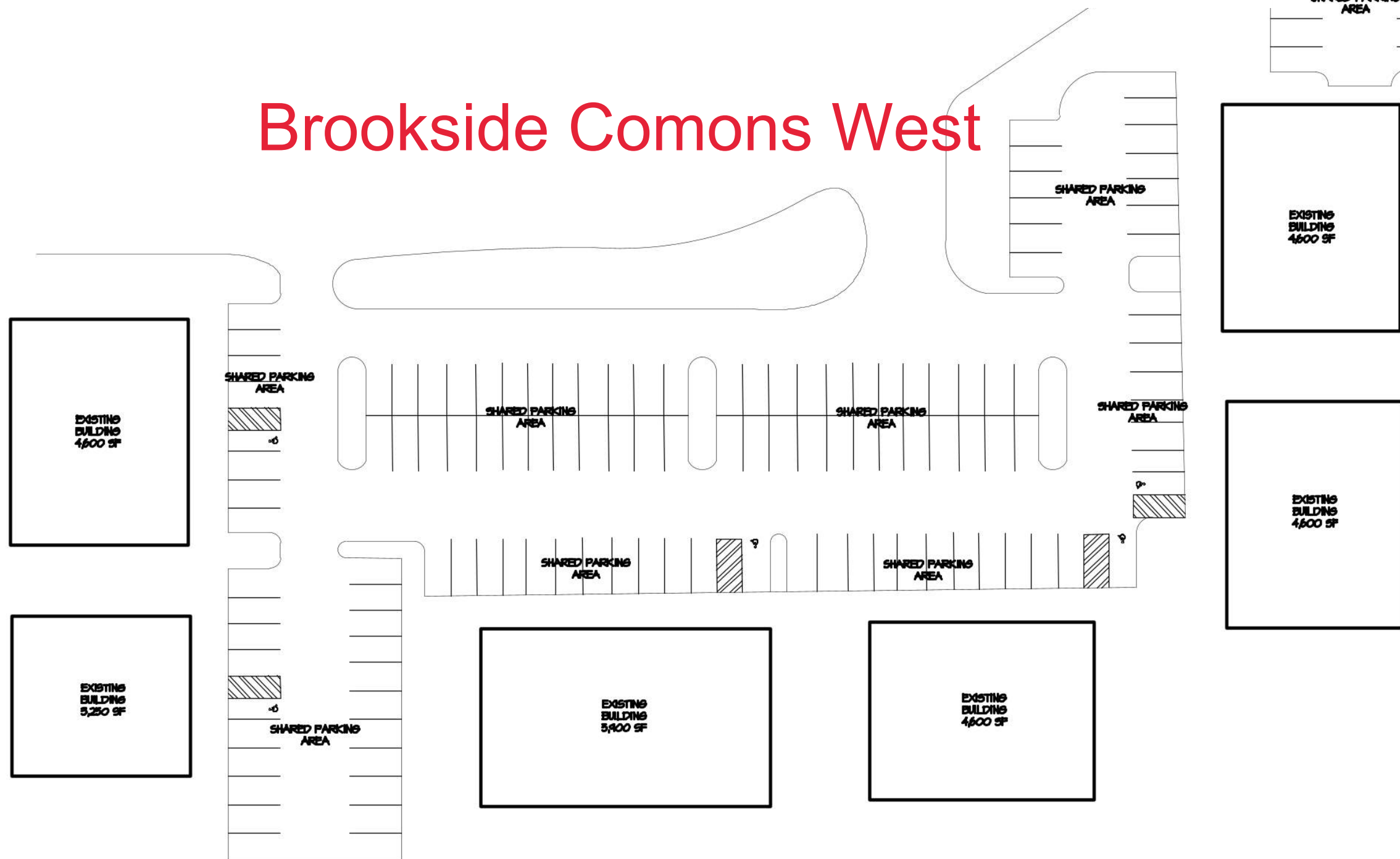
RECEIVED

By Christopher Gruba at 11:18 am, May 11, 2022

SITE DATA		
LAND AREA	4,4151 SF	10 AC
BUILDING AREA		
EXISTING	2675 SF	
PROPOSED	670 SF	
TOTAL	3345 SF	

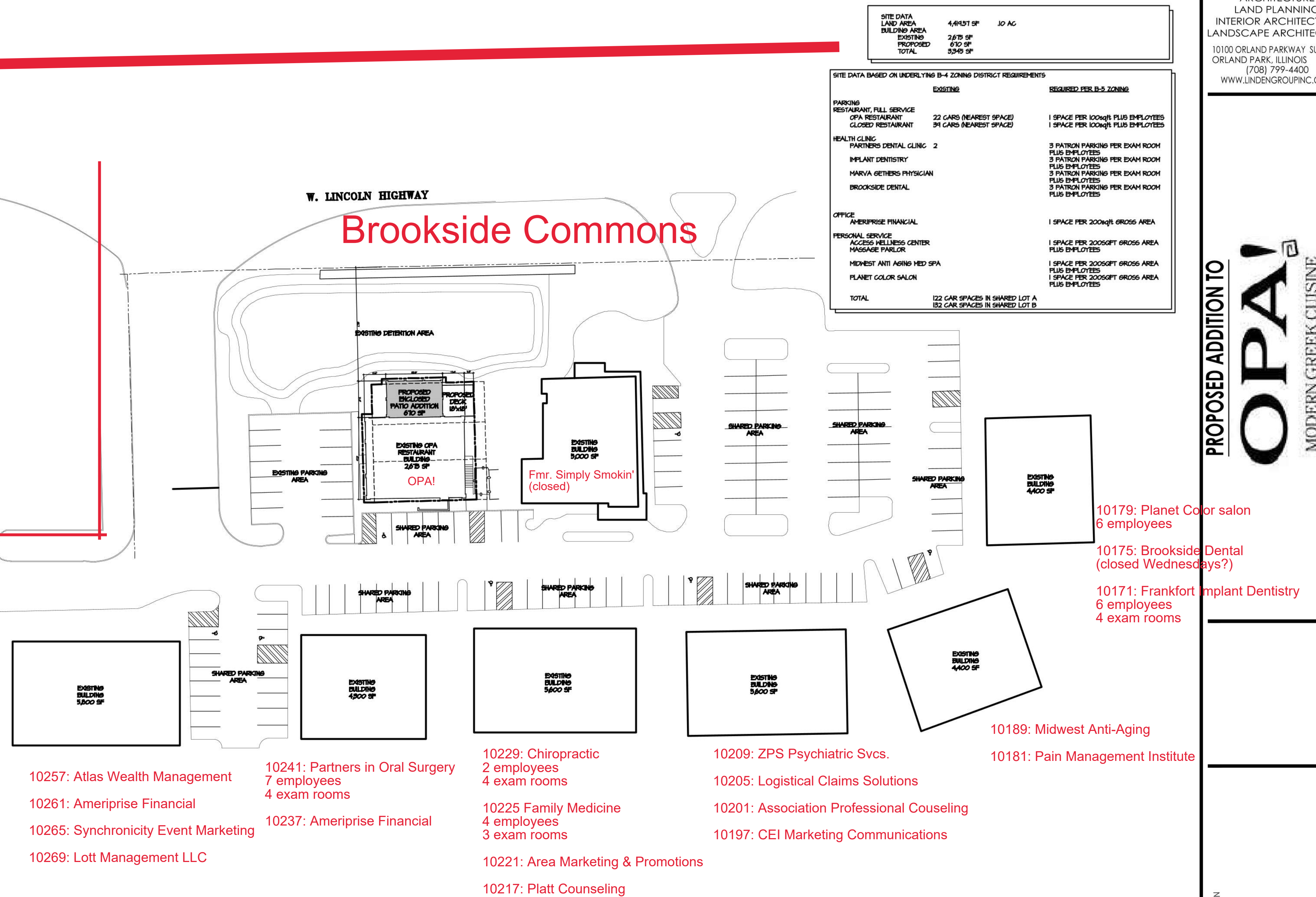
SITE DATA BASED ON UNDERLYING B-4 ZONING DISTRICT REQUIREMENTS		
	EXISTING	REQUIRED PER B-5 ZONING
PARKING		
RESTAURANT, FULL SERVICE		
OPA RESTAURANT	22 CARS (NEAREST SPACE)	1 SPACE PER 100sqft PLUS EMPLOYEES
CLOSED RESTAURANT	34 CARS (NEAREST SPACE)	1 SPACE PER 100sqft PLUS EMPLOYEES
HEALTH CLINIC		
PARTNERS DENTAL CLINIC 2		3 PATRON PARKING PER EXAM ROOM PLUS EMPLOYEES
IMPLANT DENTISTRY		3 PATRON PARKING PER EXAM ROOM PLUS EMPLOYEES
MARYA GETHERS PHYSICIAN		3 PATRON PARKING PER EXAM ROOM PLUS EMPLOYEES
BROOKSIDE DENTAL		3 PATRON PARKING PER EXAM ROOM PLUS EMPLOYEES
OFFICE		
AMERIPRISE FINANCIAL		1 SPACE PER 200sqft GROSS AREA
PERSONAL SERVICE		
ACCESS WELLNESS CENTER		1 SPACE PER 2005GFT GROSS AREA PLUS EMPLOYEES
MASSAGE PARLOR		
MIDWEST ANTI AGING MED SPA		1 SPACE PER 2005GFT GROSS AREA PLUS EMPLOYEES
PLANET COLOR SALON		1 SPACE PER 2005GFT GROSS AREA PLUS EMPLOYEES
TOTAL	122 CAR SPACES IN SHARED LOT A 132 CAR SPACES IN SHARED LOT B	

Brookside Comons West



W. LINCOLN HIGHWAY

Brookside Commons



SITE DATA		
LAND AREA	4,4151 SF	10 AC
BUILDING AREA		
EXISTING	2675 SF	
PROPOSED	670 SF	
TOTAL	3345 SF	

SITE DATA BASED ON UNDERLYING B-4 ZONING DISTRICT REQUIREMENTS		
	EXISTING	REQUIRED PER B-5 ZONING
PARKING		
RESTAURANT, FULL SERVICE		
OPA RESTAURANT	22 CARS (NEAREST SPACE)	1 SPACE PER 100sqft PLUS EMPLOYEES
CLOSED RESTAURANT	34 CARS (NEAREST SPACE)	1 SPACE PER 100sqft PLUS EMPLOYEES
HEALTH CLINIC		
PARTNERS DENTAL CLINIC 2		3 PATRON PARKING PER EXAM ROOM PLUS EMPLOYEES
IMPLANT DENTISTRY		3 PATRON PARKING PER EXAM ROOM PLUS EMPLOYEES
MARYA GETHERS PHYSICIAN		3 PATRON PARKING PER EXAM ROOM PLUS EMPLOYEES
BROOKSIDE DENTAL		3 PATRON PARKING PER EXAM ROOM PLUS EMPLOYEES
OFFICE		
AMERIPRISE FINANCIAL		1 SPACE PER 200sqft GROSS AREA
PERSONAL SERVICE		
ACCESS WELLNESS CENTER		1 SPACE PER 2005GFT GROSS AREA PLUS EMPLOYEES
MASSAGE PARLOR		
MIDWEST ANTI AGING MED SPA		1 SPACE PER 2005GFT GROSS AREA PLUS EMPLOYEES
PLANET COLOR SALON		1 SPACE PER 2005GFT GROSS AREA PLUS EMPLOYEES
TOTAL	122 CAR SPACES IN SHARED LOT A 132 CAR SPACES IN SHARED LOT B	



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LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE
10100 ORLAND PARKWAY SUITE 110
ORLAND PARK, ILLINOIS 60467
(708) 799-4400
WWW.LINDENGROUPINC.COM

PROPOSED ADDITION TO
OPA!
MODERN GREEK CUISINE
Frankfort, Illinois

DRAWN DESCRIPTION

DATE

2022-0019

PROJECT NUMBER

2-25-2022

DATE

SF

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SHEET NAME

S-1.0

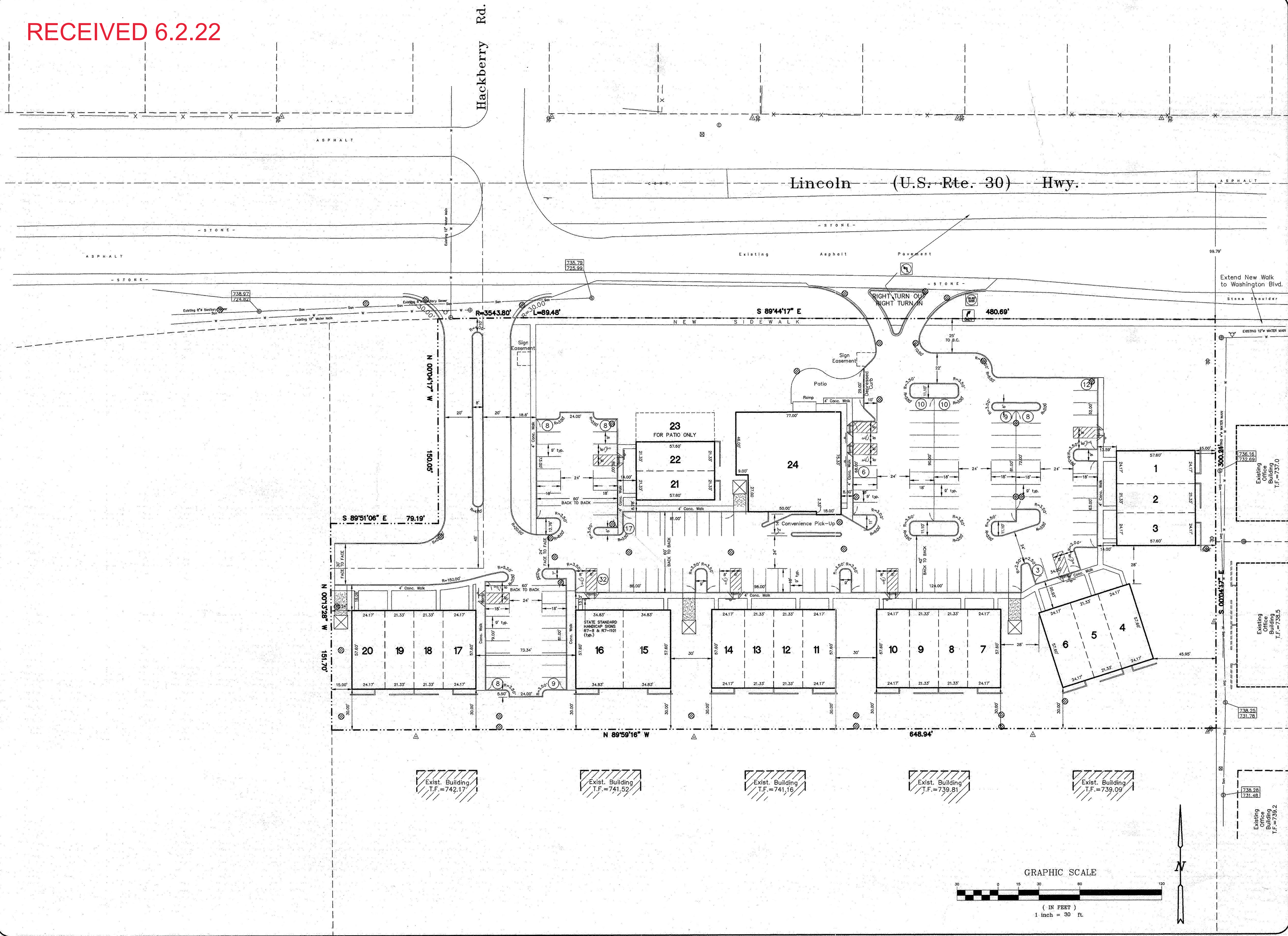
SHEET

PRELIMINARY SITE PLAN

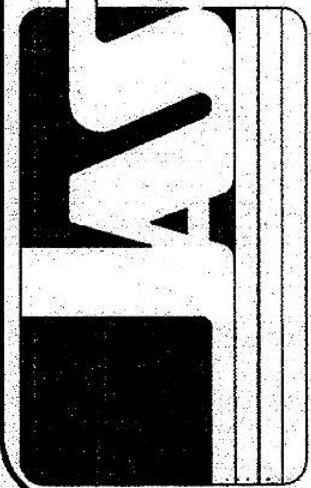
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FRANKFORT
19350 S. HARLEM AVENUE, FRANKFORT, IL., 60423
PHONE: 1-708-720-1000 FAX: 1-708-720-1065
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING



REVISIONS: 9-26-97 6-8-98
4-21-97 2-25-98
8-21-97 6-5-98
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BROOKSIDE COMMONS
Frankfort, Illinois
Site Geometrics

Date: 12-9-96
Scale: 1" = 30'
Disk No.: 9692GEOI
Drawn: AAD
Checked: JAS
Sheet
2 OF 7
Job No.: 96-92

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PROPOSED ADDITION TO
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MODERN GREEK CUISINE
Frankfort, Illinois

DATE 6-29-2022
DRAWN SF
DESCRIPTION REVISED CALCULATIONS
REVISED SUBMITTAL EXHIBITS

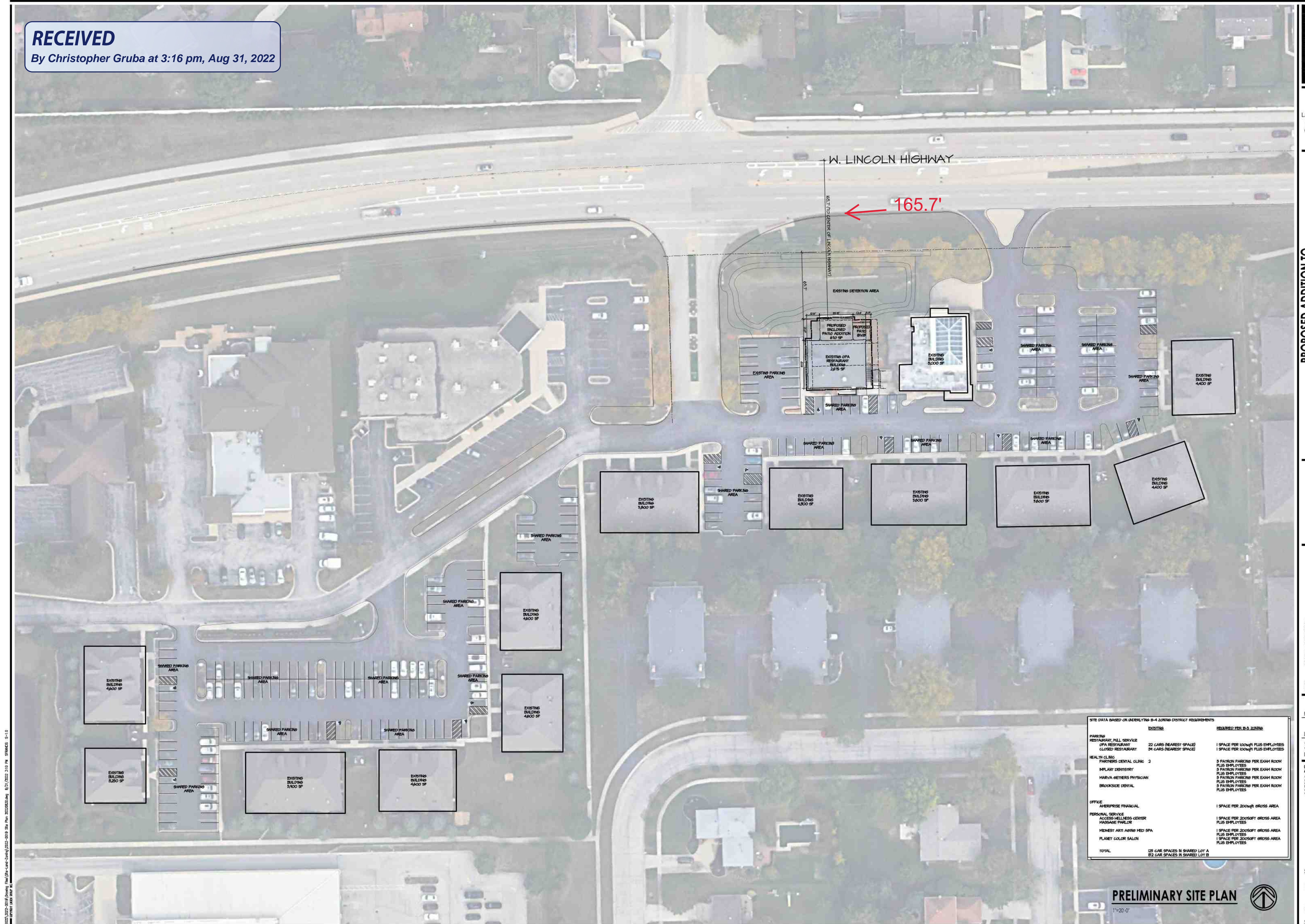
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SHEET NAME
S-1.0
SHEET



SITE DATA BASED ON UNDERLYING B-4 ZONING DISTRICT REQUIREMENTS		
	EXISTING	REQUIRED PER B-4 ZONING
PARKING		
RESTAURANT, FULL SERVICE		
OPA RESTAURANT	22 CARS (NEAREST SPACE)	1 SPACE PER 1000+ PLUS EMPLOYEES
CLOSED RESTAURANT	24 CARS (NEAREST SPACE)	1 SPACE PER 1000+ PLUS EMPLOYEES
HEALTH CLINIC		
PARKERS DENTAL CLINIC	2	5 PARKING SPACES PER EXAM ROOM PLUS EMPLOYEES
IMPLANT DENTISTRY		5 PARKING SPACES PER EXAM ROOM PLUS EMPLOYEES
HARVA BETHERS PHYSICIAN		5 PARKING SPACES PER EXAM ROOM PLUS EMPLOYEES
BROOKSIDE DENTAL		5 PARKING SPACES PER EXAM ROOM PLUS EMPLOYEES
OFFICE		
EVERPREP FINANCIAL		1 SPACE PER 2000+ GROSS AREA
PERSONAL SERVICE		
ACCESS WELLNESS CENTER		1 SPACE PER 2000+ GROSS AREA PLUS EMPLOYEES
HANDAGE PARLOR		1 SPACE PER 2000+ GROSS AREA PLUS EMPLOYEES
HENNESSY ANTI AGING MED SPA		1 SPACE PER 2000+ GROSS AREA PLUS EMPLOYEES
PLANET COLOR SALON		1 SPACE PER 2000+ GROSS AREA PLUS EMPLOYEES
TOTAL	125 CAR SPACES IN SHARED LOT A 82 CAR SPACES IN SHARED LOT B	

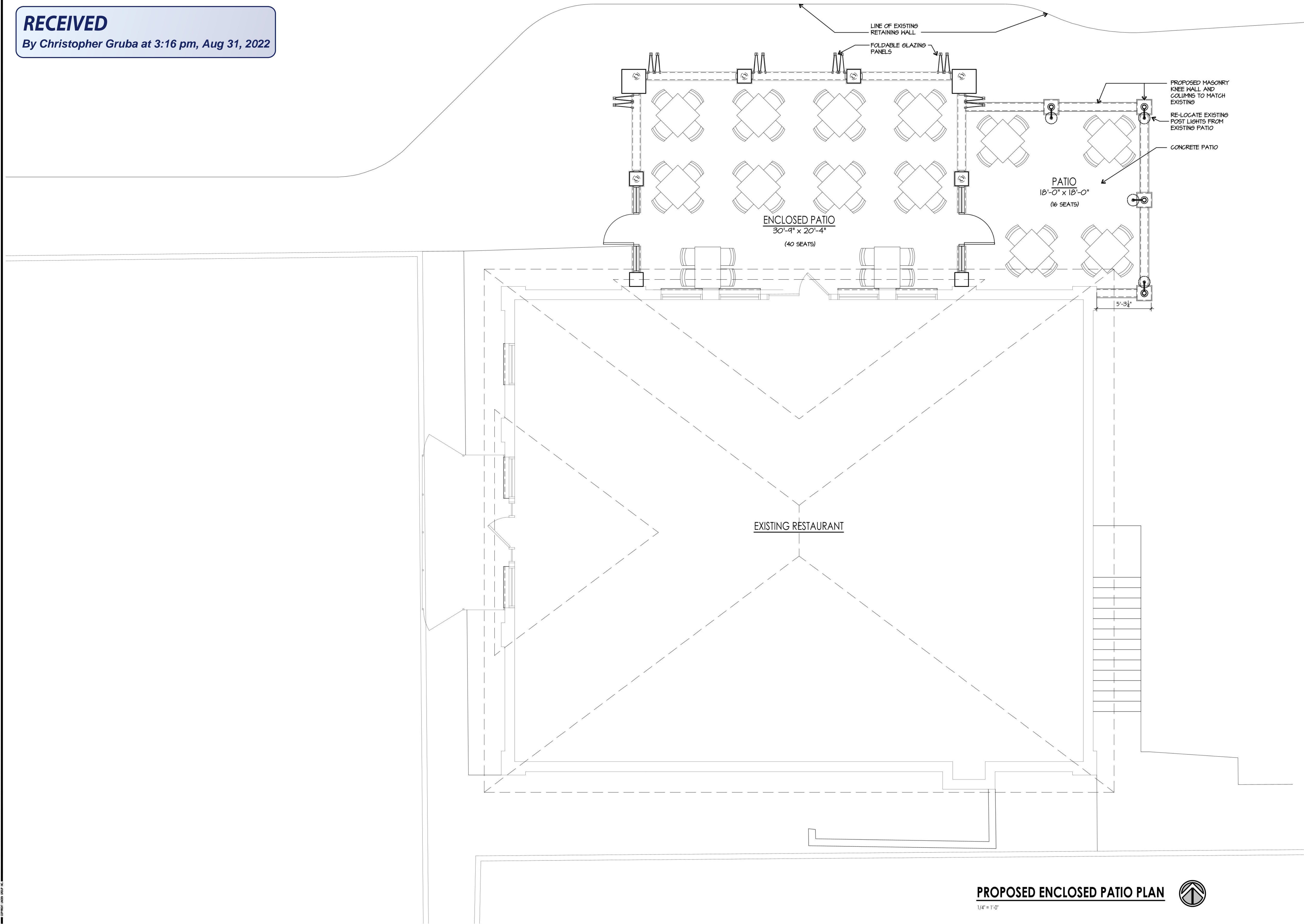
PRELIMINARY SITE PLAN

1"=20'-0"



P:\2022\2022-0019\Drawing\Plan\Site\Land\Zoning\2022-0019_Site_Plan_20220315.dwg 8/2/2022 3:10 PM 5594625 S-1.0
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ORLAND PARK, ILLINOIS 60467
(708) 799-4400
WWW.LINDENGROUPINC.COM

PROPOSED ADDITION TO
OPA!
MODERN GREEK CUISINE
Frankfort, Illinois

DATE	DRAWN	DESCRIPTION
6-29-2022	SF	REVISED CALCULATIONS
8-30-2022	SF	REVISED SUBMITTAL EXHIBITS

2022-0019
PROJECT NUMBER

2-25-2022
DATE

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SHEET NAME
A-1.0
SHEET

PROPOSED ENCLOSED PATIO PLAN



1/4" = 1'-0"

By Christopher Gruba at 3:16 pm, Aug 31, 2022



OPA!
MODERN GREEK CUISINE
Frankfort, Illinois

DATE	DRAWN	DESCRIPTION
6-29-2022	SF	REVISED CALCULATIONS
8-30-2022	SF	REVISED SUBMITTAL EXHIBITS

2022-0019
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2-25-2022

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SHEET NAME

A-4.0

SHEET

$$1/4'' = 1'-0''$$

1/4" = 1'-0"

$$1/4'' = 1'-0''$$

Architectural elevation drawing of the building facade for OPA! Modern Greek Cuisine. The drawing shows a gabled roof with a circular window in the peak. The main entrance features a large oval sign reading "OPA! MODERN GREEK CUISINE". The facade is flanked by two large columns. Arrows indicate various architectural details and materials.

$$1/4" = 1'-0"$$

\\2022-0019\Drawing Files\Preliminary\2022-0019 Design Plan 20220830.dwg 8/31/2022 2:39 PM SFRANCIS A-4.0