



**PLAN COMMISSION / ZONING BOARD OF APPEALS
AGENDA**

**Thursday, May 26, 2022
6:30 P.M.**

**Frankfort Village Hall
432 W. Nebraska Street (Board Room)**

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Minutes of May 12, 2022**
- 4. Plat Approval: Lots 4, 5 & 6 Original Town of Frankfort – Gutschenritter Resubdivision**
Request: Approval of a final plat of subdivision to combine Lots 4, 5 & 6 of the Original Town of Frankfort Subdivision to create Walnut Street Subdivision, containing Lots 1 & 2.
- 5. Public Hearing (Continued from April 28th, 2022): Olde Stone Subdivision 1st Addition (Ref #108)**
Public Hearing Request: Zoning Map Amendment (Rezoning) upon annexation from E-R (Estate Residential) to R-2 (Single Family Residential). Other: Plat of Annexation, Final Plat of Subdivision and Plat of Dedication to create a 15 buildable-lot addition to the Olde Stone Subdivision. (PINs: 19-09-31-400-013-0000, 19-09-31-400-016-0010, 19-09-31-400-016-0020.) TO BE TABLED AT THE REQUEST OF THE APPLICANT UNTIL JUNE 23, 2022.
- 6. Public Hearing: 8531 W. Lincoln Highway – Oasis Assisted Living (Ref #104)**
Public Hearing Request: Special Use Permit for assisted living facility. Other requests: Final Plat of Subdivision (PIN: 19-09-23-300-031-0000). TO BE TABLED AT THE REQUEST OF THE APPLICANT UNTIL JUNE 9, 2022.
- 7. Public Hearing: 19948 Lily Court – Gale Residence (Ref #105)**
Public Hearing Request: To permit construction of a rear yard addition to a single-family home on Lot 29 in the La Porte Meadows Subdivision. The property is zoned R-2, which requires a 30' rear yard setback, whereas 17' 3" is proposed. (PIN: 19-09-15-205-019-0000)
- 8. Public Hearing: 9093 W. Fey Drive – Proposed Pickleball Building (Ref #106)**
Public Hearing Request: Special Use Permit for indoor recreation use in the I-1 (Limited Industrial) zone district (new construction). (PIN: 19-09-34-202-001-0000)
- 9. Workshop: 20801 S. La Grange Road – Chase Bank**
Future Public Hearing Request: Variance to permit service/utility areas (rooftop solar panels) that are not screened from view. (PIN 19-09-22-101-027-0000)
- 10. Workshop: 20879 S. La Grange Road – Facen4Ward event space**
Future Public Hearing Request: Special Use Permit for an indoor entertainment use in the B-2 Community Business district. (PIN 19-09-22-100-051-0000)
- 11. Workshop: 9350 W. Laraway Road – Savana Expedited LLC – Special Use Permits for a Truck Terminal and Automobile (Truck/Trailer) Repair**

Future Public Hearing Request: Special Use Permits for a Truck Terminal and Automobile (Truck/Trailer) Repair in the I-2 General Industrial District. Other: Preliminary and Final Plat of Subdivision to create a single-lot subdivision. (PIN 19-09-27-300-023-0000)

12. Public Comments

13. Village Board & Committee Updates

14. Other Business

15. Attendance Confirmation (June 9, 2022)

16. Adjournment

All applicants are advised to be present when the meeting is called to order. Agenda items are generally reviewed in the order shown on the agenda, however, the Plan Commission/Zoning Board of Appeals reserves the right to amend the agenda and consider items in a different order. The Commission may adjourn its meeting to another day prior to consideration of all agenda items. All persons interested in providing public testimony are encouraged to do so. If you wish to provide public testimony, please come forward to the podium and state your name for the record and address your comments and questions to the Chairperson.



**MINUTES
MEETING OF VILLAGE OF FRANKFORT
PLAN COMMISSION / ZONING BOARD OF APPEALS
MAY 12, 2022–VILLAGE ADMINISTRATION BUILDING
432 W. NEBRASKA STREET**

Call to Order: Chair Rigoni called the meeting to order at 6:32 P.M.

Commissioners Present: Chair Maura Rigoni, Nichole Schaeffer, David Hogan, Jessica Jakubowski, Brian James

Commissioners Absent: Dan Knieriem, Will Markunas

Staff Present: Director of Community and Economic Development
Mike Schwarz, Senior Planner, Christopher Gruba

Elected Officials Present: Mayor Ogle

A. Swearing in of new PC-ZBA commissioner Brian James

Mayor Ogle swore-in new PC-ZBA commissioner Brian James.

B. Approval of the Minutes from April 14, 2022

Motion (#1): Approval of the minutes, as presented, from April 14, 2022

Motion by: Hogan Seconded by: Schaeffer

Approved: (4-0, James abstained)

C. Approval of the Minutes from April 28, 2022

Schwarz noted several corrections to the minutes and read them aloud.

Motion (#2): Approval of the minutes, as amended, from April 28, 2022

Motion by: Schaeffer Seconded by: Hogan

Approved: (2-0, Hogan, James and Schaeffer abstained)

D. Plan Commissioner Training Session

Phil Green, AICP, Transportation and Long-Range Planner for the Village of Hoffman Estates, and Tom Farace, AICP, Planning and Economic Development Manager for the Village of Carol Stream, presented the Plan Commissioner training session organized through the Illinois Chapter of the American Planning Association and the

DePaul University Chaddick Institute for Metropolitan Development.

E. Public Comments

Chair Rigoni noted that there were no members of the public remaining in attendance so there were no public comments.

F. Village Board & Committee Updates

Schwarz noted that the Special Use requests for 14 Hickory Street 14 B (Studio C/Frankfort Arts Association) and 21218 S. La Grange (StretchLab) would be considered by the Village Board on May 16th, 2022.

G. Other Business

Chair Rigoni noted that there was no other business.

H. Attendance Confirmation (May 26, 2022)

Chair Rigoni asked the Commissioners to notify staff if they will not be in attendance on May 26th.

Motion (#3): Adjournment 9:36 p.m.

Motion by: Hogan Seconded by: Schaeffer

Unanimously approved by voice vote.

Approved May 12, 2022

As Presented _____ As Amended _____

_____/s/Maura Rigoni, Chair

_____/s/ Secretary

Project: Gutschenritter Resubdivision
Meeting Type: Non-Public Hearing
Request: Plat of Resubdivision (Lot Combination)
Location: Lots 4, 5 & 6
Subdivision: Original Town of Frankfort
Applicant: Stephen Gutschenritter
Prop. Owners: Stephen Gutschenritter (for all lots)

Site Details

Lot Sizes: Lot 4 (142 Walnut): 6,275 square feet
 Lot 5 (no address): 6,275 square feet
 Lot 6 (150 Walnut): 6,275 square feet

PIN(s): 19-09-28-217-006-0000,
 19-09-28-217-008-0000,
 19-09-28-217-009-0000

Existing Zoning: R-2

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Properties	Single-Family & vacant	Single Fam. Detached	R-2
North	Single Fam. Detached	Single Fam. Detached	R-2
South	Single Fam. Detached	Single Fam. Detached	R-2
East	Single Fam. Detached	Single Fam. Detached	R-2
West	Single Fam. Detached	Single Fam. Detached	R-2

Figure 1. Location Map



Project Summary

The applicant is requesting a Plat of Resubdivision to consolidate Lots 4, 5 and 6 of the Original Town of Frankfort. All three existing lots measure 50' wide by 125.5' deep, or 6,275 square feet. The minimum lot width and lot depth in the R-2 zone district is 100' wide by 150' deep and each lot must be at least 15,000 square feet in area. Currently, all three lots are existing, non-conforming regarding lot width, depth and area. Lots 4 and 6 are developed with single-family homes. Lot 5 is undeveloped. The applicant is proposing to split Lot 5 and add the land area equally to Lots 4 and 6. The resulting Lots 1 and 2 within the new "Walnut Street Subdivision" would measure 75.10' wide by 125.5' deep, or 9,425.05 square feet. Although the newly created lots would still be deficient in lot width, depth and area for an R-2 zoned property, they would be less non-conforming.

Attachments

- Location map, prepared by staff (VOF GIS) scale 1:2,000
- Location map, prepared by staff, (VOF GIS) scale 1:600
- Existing Plat of Survey – Lot 4 (142 Walnut), prepared by Claassen, White & Associates
- Existing Plat of Survey – Lots 5 and 6 (150 Walnut), prepared by Exacta Land Surveyors, LLC

- Proposed Plat of Survey – Lot 1 of Walnut Street Subdivision, prepared by Claassen, White & Associates (150 Walnut)
- Proposed Plat of Survey – Lot 2 of Walnut Street Subdivision, prepared by Claassen, White & Associates (142 Walnut)
- Tax Assessment Map of properties, Will County GIS
- Final Plat of Resubdivision for Walnut Street Subdivision, prepared by MG2A

Analysis

In consideration of the request, staff offers the following points of discussion:

- A sidewalk currently exists along the frontages of all three existing lots.

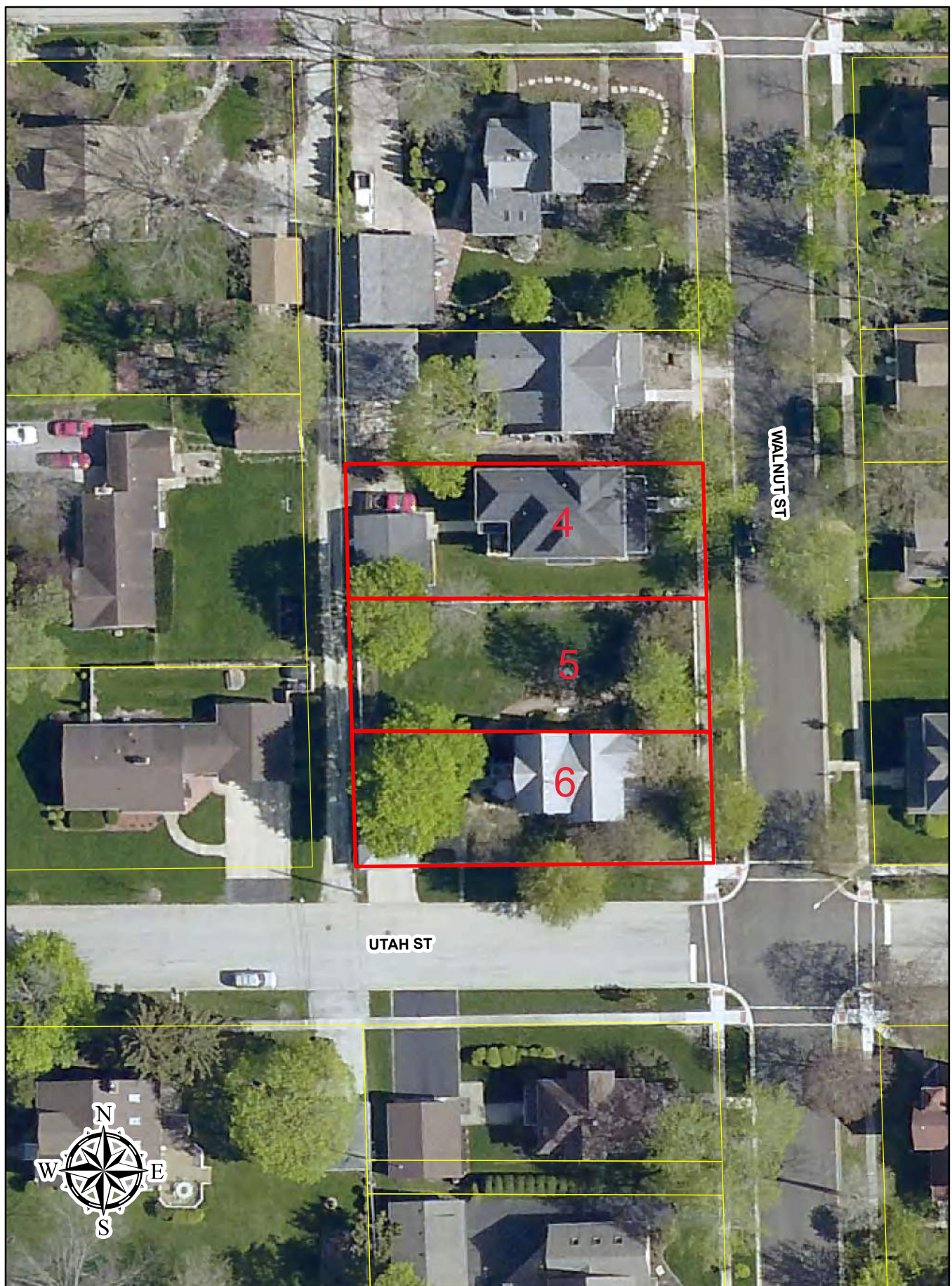
Affirmative Motion

1. Recommend to the Village Board approve the Plat of Resubdivision for Walnut Street Subdivision, subject to any necessary technical revisions prior to recording.

Lots 4, 5 & 6 of Original Town of Frankfort



Lots 4, 5 & 6 of Original Town of Frankfort



0 25 50 100 Feet

EXISTING 142 WALNUT (Lot 4)

Plat of Survey

LEGAL DESCRIPTION

LOT 4, IN BLOCK 16, IN THE ORIGINAL TOWN OF FRANKFORT, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 9, 1856, DOCUMENT NO. 22877, IN BOOK 43, PAGE 198, IN THE VILLAGE OF FRANKFORT, IN WILL COUNTY, ILLINOIS.

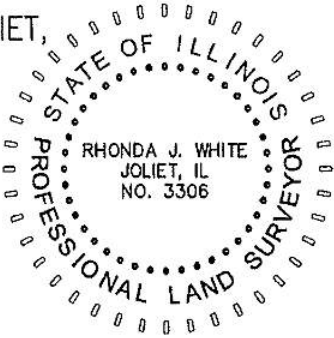
SAID PARCEL CONTAINING 0.144 ACRES (6,270 SQ.FT.), MORE OR LESS.

(142 WALNUT STREET, FRANKFORT, ILLINOIS)

STATE OF ILLINOIS
COUNTY OF WILL

THIS IS TO CERTIFY THAT I, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED THE PROPERTY DESCRIBED IN THE ABOVE CAPTION AS SHOWN BY THE ANNEXED PLAT WHICH IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.

GIVEN UNDER MY HAND AND SEAL AT JOLIET, ILLINOIS, THIS 17th DAY OF MAY, 2011.



Rhonda J. White

RHONDA J. WHITE, ILLINOIS LAND SURVEYOR NO. 3306
LICENSE EXPIRES 11-30-12

NOTE: REFER TO TITLE POLICY FOR BUILDING AND EASEMENT RESTRICTIONS.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. ALL BEARINGS SHOWN HEREON ARE ASSUMED.

- FOUND IRON
- 5/8" x 30" REBAR PLACED
- (123.45') RECORDED DATA
- 123.45' MEASURED DIMENSION
- 123.45'(COMP) COMPUTED DIMENSION

Y:\5700-5799\5745\DWG\5745.DWG

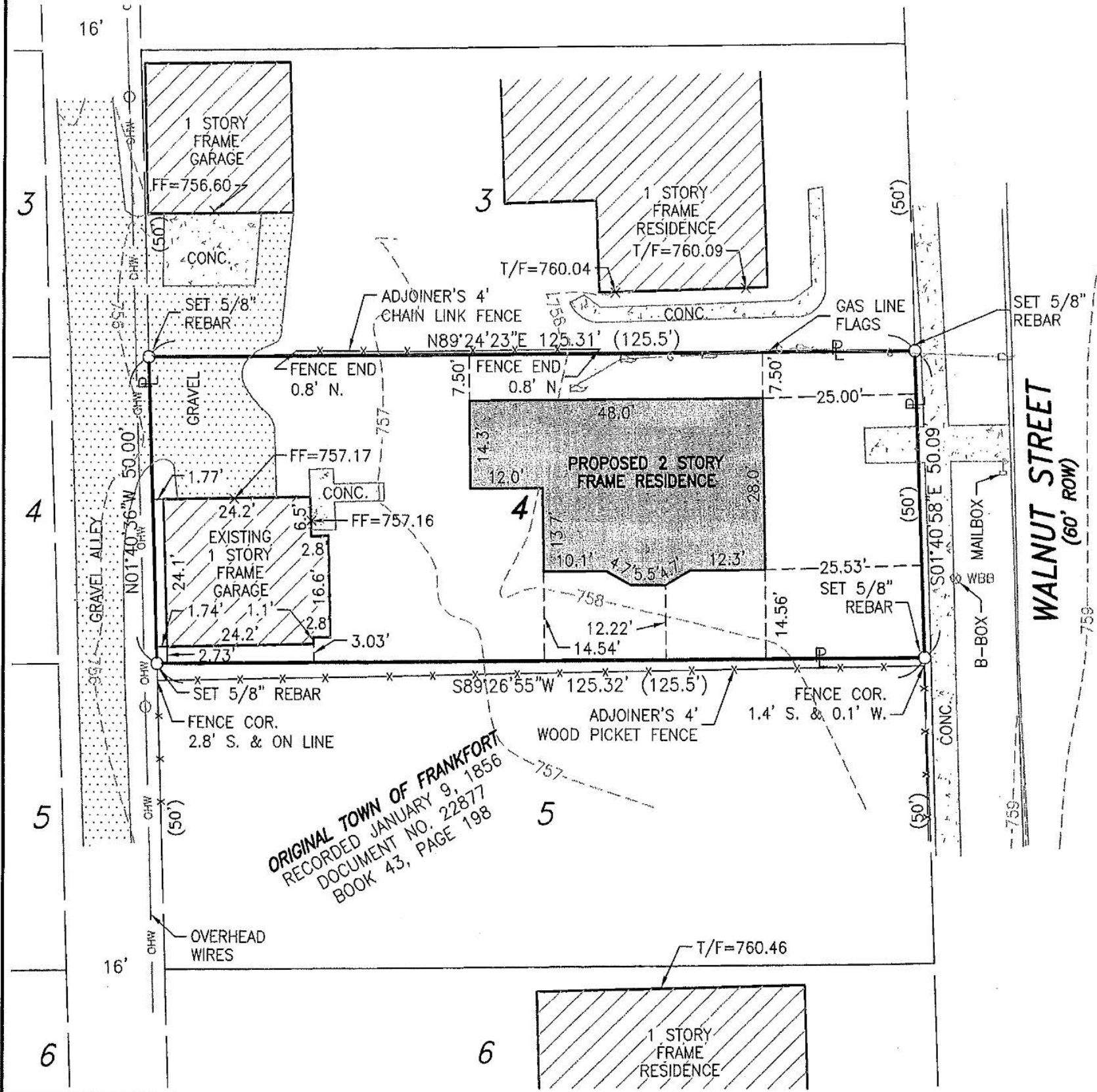
JOB #5745

CLAASSEN, WHITE & ASSOCIATES P.C.

LAND SURVEYORS
121 AIRPORT DRIVE, UNIT 1 T. (815) 744-3720
JOLIET, ILLINOIS 60431 F. (815) 744-3752

ORDERED BY: STEVE GUTSCHENRITTER
142 WALNUT STREET
FRANKFORT, ILLINOIS 60423
(815) 258-2231

SCALE: 1"=20'
DATE : 05/18/11
DRAWN: JLS
REF : FB440P14
DWG#: 111-038

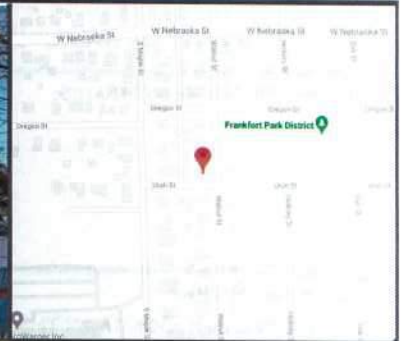




www.exactaland.com | office: 773.305.4011

RECEIVED

By Christopher Gruba at 4:28 pm, May 10, 2022



PROPERTY ADDRESS: 150 WALNUT STREET, FRANKFORT, ILLINOIS 60423

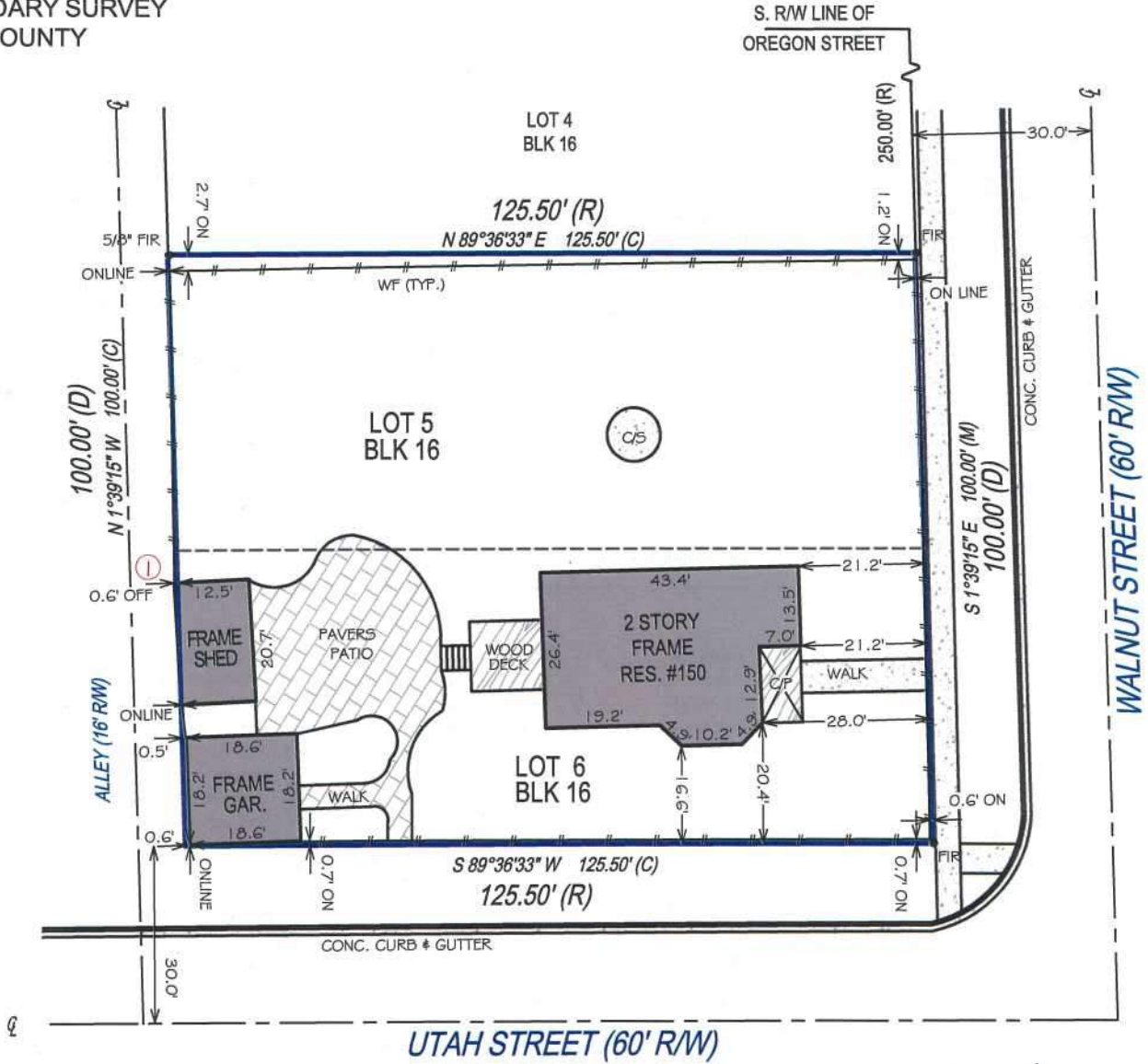
SURVEY NUMBER: IL2201.0260

EXISTING 150 WALNUT (Lot 6)

IL2201.0260

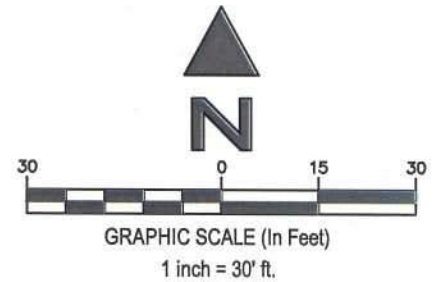
BOUNDARY SURVEY

WILL COUNTY



SOME GROUND LEVEL
IMPROVEMENTS MAY NOT HAVE
BEEN LOCATED DUE TO SNOW
COVER.

TOTAL AREA OF PROPERTY SURVEYED 12550 SQ.FT.±



STATE OF ILLINOIS } SS
COUNTY OF GRUNDY

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO
THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY
SURVEY. GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.

David S. Reifke



ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3712
LICENSE EXPIRES 11/30/2022
EXACTA LAND SURVEYORS, LLC
PROFESSIONAL DESIGN FIRM 184008059-0008

POINTS OF INTEREST:

1. RESIDENCE OVER PROPERTY LINE



Exacta Land Surveyors, LLC
PLS# 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60450



DATE OF SURVEY: 01/11/22

FIELD WORK DATE: 1/11/2022

REVISION DATE(S): (REV.0 1/11/2022)

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

JOB SPECIFIC SURVEYOR NOTES:

LEGAL DESCRIPTION:

LOTS 5 AND 6 IN BLOCK 16 1N THE ORIGINAL TOWN OF FRANKFORT, A SUBDIVISION OF PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 9, 1856, IN BOOK 43, PAGE 168, AS DOCUMENT NO. 22877, IN WILL COUNTY, ILLINOIS.

GENERAL SURVEYOR NOTES:

1. The Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.

2. The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other service lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.

3. If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location.

4. This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.

5. Alterations to this survey map and report by other than the signing surveyor are prohibited.

6. Dimensions are in feet and decimals thereof.
7. Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at www.fema.gov and may not reflect the most recent information.

8. Unless otherwise noted "SIR" indicates a set iron rebar, 5/8 inch in diameter and twenty-four inches long.

9. The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.

10. Points of Interest (POI's) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI's may not represent all items of interest to the viewer. There may be additional POI's which are not shown or called-out as POI's, or which are otherwise unknown to the surveyor.

11. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.

12. The information contained on this survey has been performed exclusively by and is the sole responsibility of Exacta Land Surveyors, LLC. Additional logos or references to third party firms are for informational purposes only.
13. Due to varying construction standards, house dimensions are approximate and are not intended to be used for new construction or planning.

14. Surveyor bearings are used for angular reference and are used to show angular relationships of lines only and are not related or orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching those on the subdivision plats on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plats. North 00 degrees East is assumed and upon preparation of this plat, the resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by Illinois Administrative Code Title 68, Chapter VII, Sub-Chapter 8, Part 1270, Section 1270.56, Paragraph 8, Sub-Paragraph 6, Item k.

15. THIS SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE PHONE NUMBER SHOWN HEREON.

SURVEYOR'S LEGEND

LINETYPES		 Elevation	C/S - Concrete Slab	FIR - Found Iron Rod	ORB - Official Records Book	S/W - Sidewalk
	Boundary Line	 Fire Hydrant	CATV - Cable TV Riser	FIRC - Found Iron Rod & Cap	ORV - Official Record Volume	SBL - Setback Line
	Center Line	 Find or Set Monument	CB - Concrete Block	FN - Found Nail	O/A - Overall	SCL - Survey Closure Line
	Chain Link or Wire Fence	 Guywire or Anchor	CH - Chord Bearing	FN&D - Found Nail & Disc	O/S - Offset	SCR - Screen
	Easement	 Manhole	CHIM - Chimney	FRRSPK - Found Rail Road Spike	OFF - Outside Subject Property	SEC - Section
	Edge of Water	 Tree	CLF - Chain Link Fence	GAR - Garage	OH - Overhang	SEP - Septic Tank
	Iron Fence	 Utility or Light Pole	CME - Canal Maintenance Easement	GM - Gas Meter	OHL - Overhead Utility Lines	SEW - Sewer
	OHL - Overhead Lines	 Well	CO - Clean Out	ID - Identification	ON - Inside Subject Property	SIR - Set Iron Rod
	Structure		CONC - Concrete	IE/EE - Ingress/Egress Easement	P/E - Pool Equipment	SMWE - Storm Water Management Easement
	Survey Tie Line		COR - Corner	ILL - Illegible	PB - Plat Book	SN&D - Set Nail and Disc
	Vinyl Fence		CS/W - Concrete Sidewalk	INST - Instrument	PC - Point of Curvature	SQFT - Square Feet
	Wall or Party Wall		CUE - Control Utility Easement	INT - Intersection	PCC - Point of Compound Curvature	STL - Survey Tie Line
	Wood Fence		CVG - Concrete Valley Gutter	IRRE - Irrigation Easement	PCP - Permanent Control Point	STY - Story
SURFACE TYPES			D/W - Driveway	L - Length	PI - Point of Intersection	SV - Sewer Valve
	Asphalt		DE - Drainage Easement	LAE - Limited Access Easement	PL - Professional Land Surveyor	SWE - Sidewalk Easement
	Brick or Tile		DF - Drain Field	LB# - License No. (Business)	PLT - Planter	TBM - Temporary Bench Mark
	Concrete		DH - Drill Hole	LBE - Limited Buffer Easement	POB - Point of Beginning	TEL - Telephone Facilities
	Covered Area		DUE - Drainage & Utility Easement	LE - Landscape Easement	POC - Point of Commencement	TOB - Top of Bank
	Water		ELEV - Elevation	LME - Lake/Landscape Maintenance Easement	PRC - Point of Reverse Curvature	TUE - Technological Utility Easement
	Wood		EM - Electric Meter	LS# - License No. (Surveyor)	PRM - Permanent Reference Monument	TWP - Township
SYMBOLS			ENCL - Enclosure	MB - Map Book	PSM - Professional Surveyor & Mapper	TX - Transformer
	Benchmark		ENT - Entrance	ME - Maintenance Easement	PT - Point of Tangency	TYP - Typical
	Center Line		EOP - Edge of Pavement	MES - Mitered End Section	PUE - Public Utility Easement	UE - Utility Easement
	Central Angle or Delta		EOW - Edge of Water	MF - Metal Fence	R - Radius or Radial	UG - Underground
	Common Ownership		ESMT - Easement	MH - Manhole	R/W - Right of Way	UP - Utility Pole
	Control Point		EUB - Electric Utility Box	NR - Non-Radial	RES - Residential	UR - Utility Riser
	Catch Basin		F/DH - Found Drill Hole	NTS - Not to Scale	RGE - Range	VF - Vinyl Fence
			FCM - Found Concrete Monument	NAVD88 - North American Vertical Datum 1988	ROE - Roof Overhang Easement	W/C - Witness Corner
			FF - Finished Floor	NGVD29 - National Geodetic Vertical Datum 1929	RP - Radius Point	W/F - Water Filter
			FIP - Found Iron Pipe	OG - On Ground		WF - Wood Fence
			FIPC - Found Iron Pipe & Cap			WM - Water Meter/Valve Box
						WV - Water valve

CERTIFIED TO:
STEPHEN GUTSCHENRITTER AND MARGARET GUTSCHENRITTER; CODILIS & ASSOCIATES; ATG; N/A

FLOOD ZONE INFORMATION:

DATE SIGNED: 01/11/22

BUYER: STEPHEN GUTSCHENRITTER AND MARGARET GUTSCHENRITTER

LENDER: N/A

TITLE COMPANY: CODILIS & ASSOCIATES

COMMITMENT DATE: NOT REVIEWED

CLIENT FILE NO: 14-21-04624

SEE PAGE 1 OF 2 FOR MAP OF PROPERTY
PAGE 2 OF 2 - NOT VALID WITHOUT ALL PAGES



Exacta Land Surveyors, LLC
PLS# 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60450

PLAT OF SURVEY

PROPOSED 150 WALNUT (LOT 1 WALNUT STREET SUB) LEGAL DESCRIPTION

LOTS 6 AND THE SOUTH HALF OF LOT 5, IN BLOCK 16, IN THE ORIGINAL TOWN OF FRANKFORT, A SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 9, 1856, IN BOOK 43, PAGE 168, AS DOCUMENT NO. 22877, IN WILL COUNTY, ILLINOIS.

SAID PARCEL CONTAINING 0.216 ACRES (9,392 SQ.FT.), MORE OR LESS.

ADDRESS: 150 WALNUT STREET, FRANKFORT, ILLINOIS 60423
PIN: PART OF 19-09-28-217-007

NOTES:

1. THIS PLAT REPRESENTS A BOUNDARY SURVEY.
2. THIS PLAT HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE POLICY.
3. THE LEGAL DESCRIPTION SHOWN HEREON WAS WRITTEN BY THE SURVEYOR.
4. SUBJECT TO EASEMENTS, RESTRICTIONS AND RIGHTS OF WAY OF RECORD, NOT REFERENCED IN THE TITLE COMMITMENT, IF ANY.
5. BEARINGS SHOWN HEREON ARE REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD83(2011).
6. IMPROVEMENTS SUCH AS, BUT NOT LIMITED TO UNDERGROUND UTILITIES, LANDSCAPE FEATURES, FOUNDATIONS, ETC., HAVE BEEN LOCATED AND SHOWN TO THE BEST OF MY ABILITY AND KNOWLEDGE AS THIS SITE EXISTED IN MARCH OF 2022.
7. FIELD WORK COMPLETED ON MARCH 9, 2022.
8. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

STATE OF ILLINOIS
COUNTY OF WILL

THIS IS TO CERTIFY THAT I, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED THE PROPERTY DESCRIBED IN THE ABOVE CAPTION AS SHOWN BY THE ANNEXED PLAT WHICH IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.

GIVEN UNDER MY HAND AND SEAL AT JOLIET,
ILLINOIS, THIS 9th DAY OF MARCH, 2022.



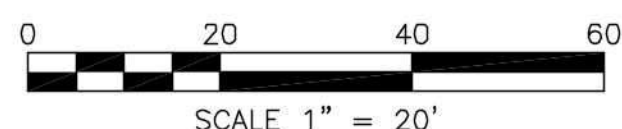
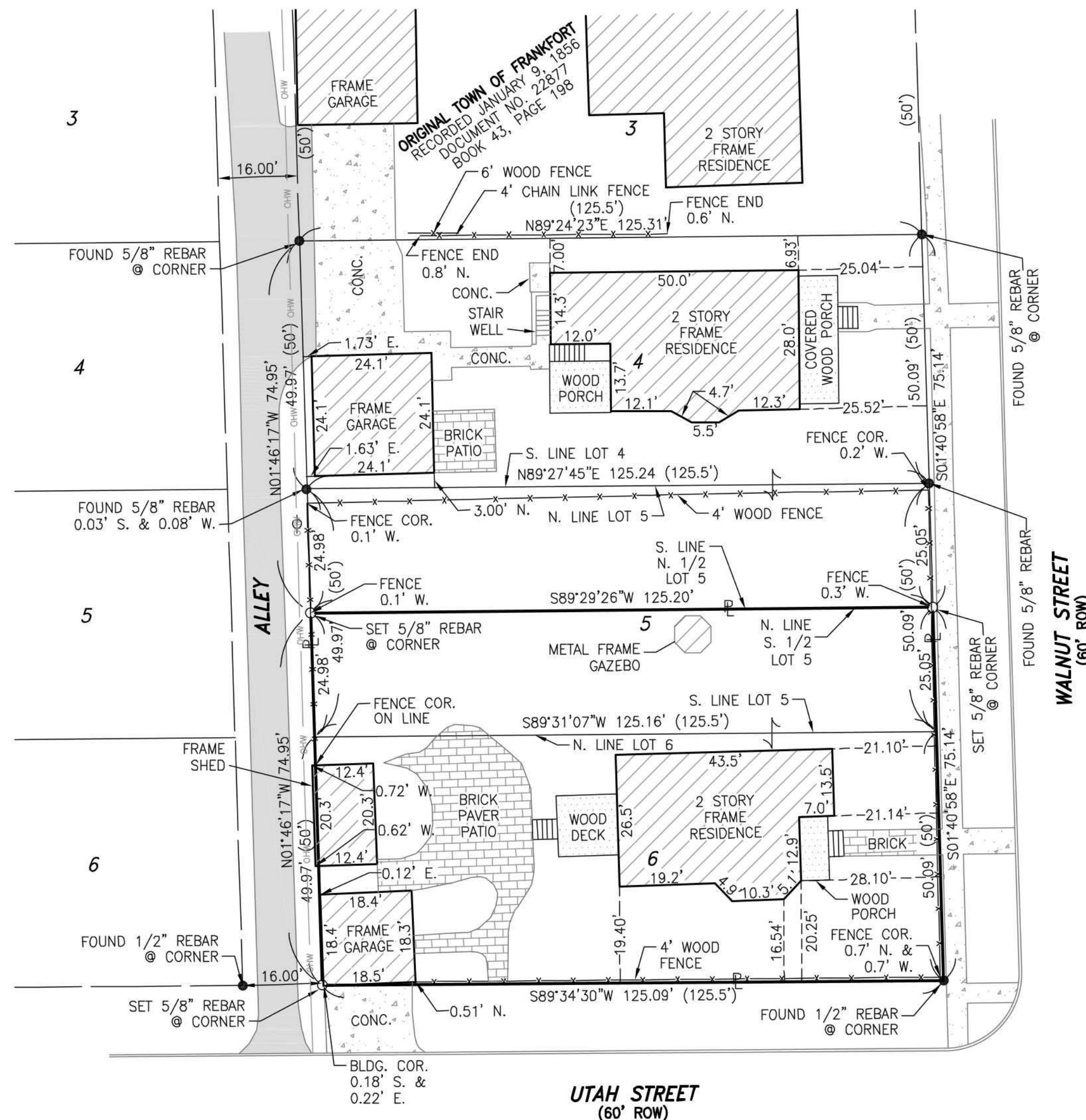
DAVID A. CLAASSEN, ILLINOIS LAND SURVEYOR NO. 2962
LICENSE EXPIRES 11-30-2022

UPDATE OF
JOB #5745

H:\5700-5799\5745.1\DWG\5745.1 LOT 6.DWG

JOB #5745.1

	CLAASSEN, WHITE & ASSOCIATES, P.C. LAND SURVEYORS	
	121 AIRPORT DRIVE, UNIT I, JOLIET, ILLINOIS 60431 (815) 744-3720 claassenwhite@cwasurvey.com	
	STEVE GUTSCHENRITTER 142 WALNUT STREET FRANKFORT, ILLINOIS 60423 (815) 258-2231	SCALE: 1"=20' DATE: 03/11/22 DRAWN: JLS DWG#: 222-027



SCALE 1" = 20'

● 5/8" x 30"
(123.45')
123.45'
123.45'(COMP)
FOUND IRON
REBAR PLACED
RECORDED DATA
MEASURED DIMENSION
COMPUTED DIMENSION

PLAT OF SURVEY
PROPOSED 142 WALNUT (LOT 2 WALNUT STREET SUB)

LEGAL DESCRIPTION

LOTS 4 AND THE NORTH HALF OF LOT 5, IN BLOCK 16, IN THE ORIGINAL TOWN OF FRANKFORT, A SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 9, 1856, IN BOOK 43, PAGE 168, AS DOCUMENT NO. 22877, IN WILL COUNTY, ILLINOIS.

SAID PARCEL CONTAINING 0.216 ACRES (9,402 SQ.FT.), MORE OR LESS.

ADDRESS: 142 WALNUT STREET, FRANKFORT, ILLINOIS 60423
PIN: 19-09-28-217-006 & PART OF 19-09-28-217-007

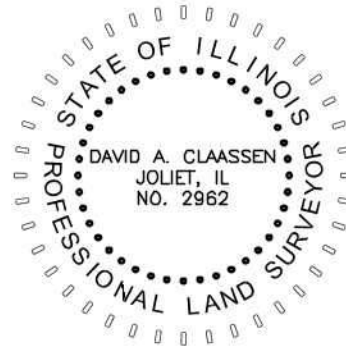
NOTES:

1. THIS PLAT REPRESENTS A BOUNDARY SURVEY.
2. THIS PLAT HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE POLICY.
3. THE LEGAL DESCRIPTION SHOWN HEREON WAS WRITTEN BY THE SURVEYOR.
4. SUBJECT TO EASEMENTS, RESTRICTIONS AND RIGHTS OF WAY OF RECORD, NOT REFERENCED IN THE TITLE COMMITMENT, IF ANY.
5. BEARINGS SHOWN HEREON ARE REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD83(2011).
6. IMPROVEMENTS SUCH AS, BUT NOT LIMITED TO UNDERGROUND UTILITIES, LANDSCAPE FEATURES, FOUNDATIONS, ETC., HAVE BEEN LOCATED AND SHOWN TO THE BEST OF MY ABILITY AND KNOWLEDGE AS THIS SITE EXISTED IN MARCH OF 2022.
7. FIELD WORK COMPLETED ON MARCH 9, 2022.
8. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

STATE OF ILLINOIS
COUNTY OF WILL

THIS IS TO CERTIFY THAT I, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED THE PROPERTY DESCRIBED IN THE ABOVE CAPTION AS SHOWN BY THE ANNEXED PLAT WHICH IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.

GIVEN UNDER MY HAND AND SEAL AT JOLIET,
ILLINOIS, THIS 9th DAY OF MARCH, 2022.



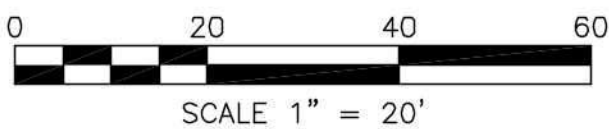
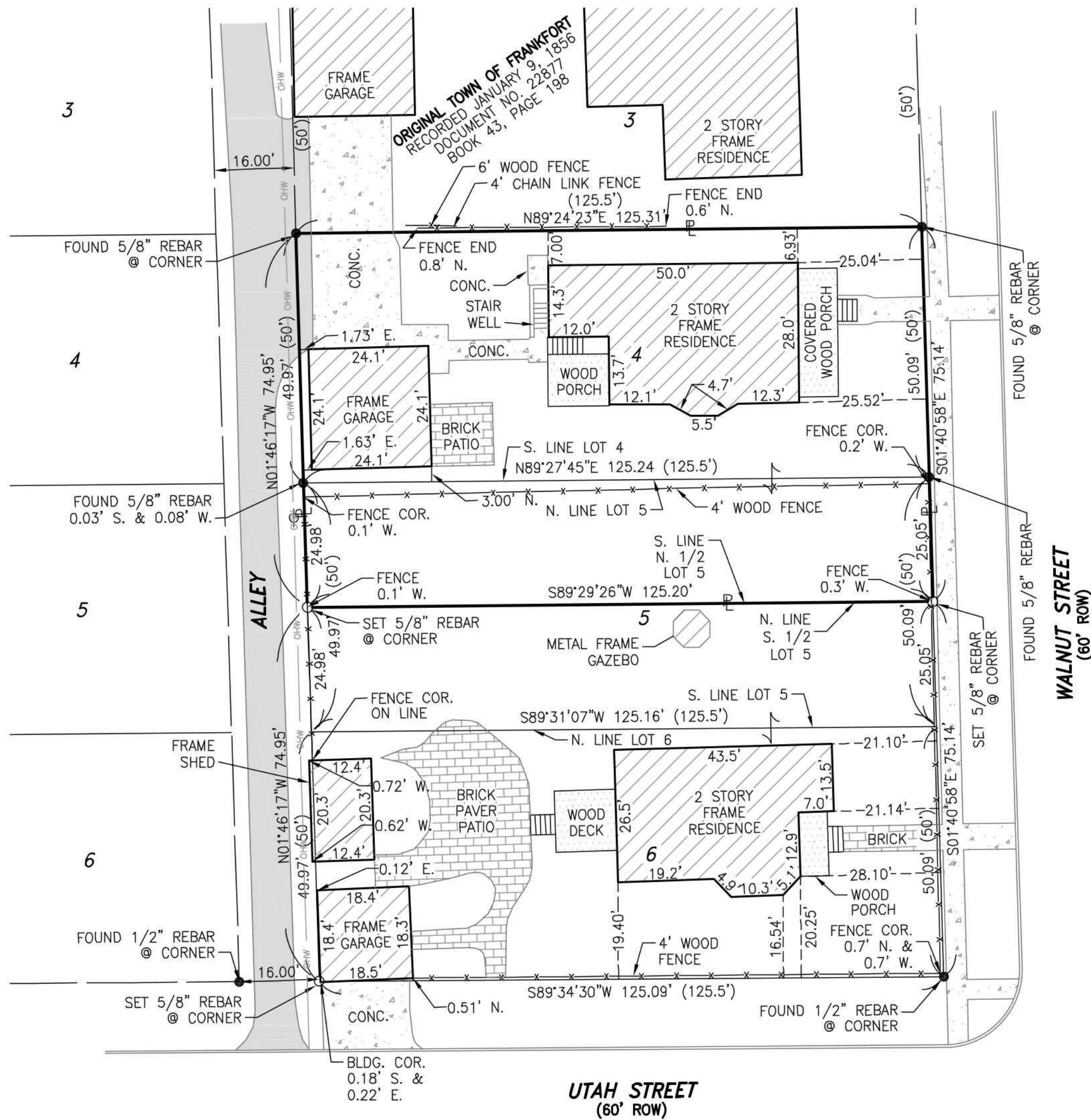
DAVID A. CLAASSEN, ILLINOIS LAND SURVEYOR NO. 2962
LICENSE EXPIRES 11-30-2022

UPDATE OF
JOB #5745

H:\5700-5799\5745.1\DWG\5745.1 LOT 4.DWG

JOB #5745.1

CWA SURVEY	CLAASSEN, WHITE & ASSOCIATES, P.C. LAND SURVEYORS	
	121 AIRPORT DRIVE, UNIT I, JOLIET, ILLINOIS 60431 (815) 744-3720 claassenwhite@cwasurevey.com	
	STEVE GUTSCHENRITTER 142 WALNUT STREET FRANKFORT, ILLINOIS 60423 (815) 258-2231	SCALE: 1"=20' DATE: 03/11/22 DRAWN: JLS DWG#: 222-026



SCALE 1" = 20'

● 5/8" x 30"
(123.45')
123.45'
123.45'(COMP)
FOUND IRON
REBAR PLACED
RECORDED DATA
MEASURED DIMENSION
COMPUTED DIMENSION



Jennifer Bertino-Tarrant
County Executive
Rhonda R. Novak
Supervisor of Assessments

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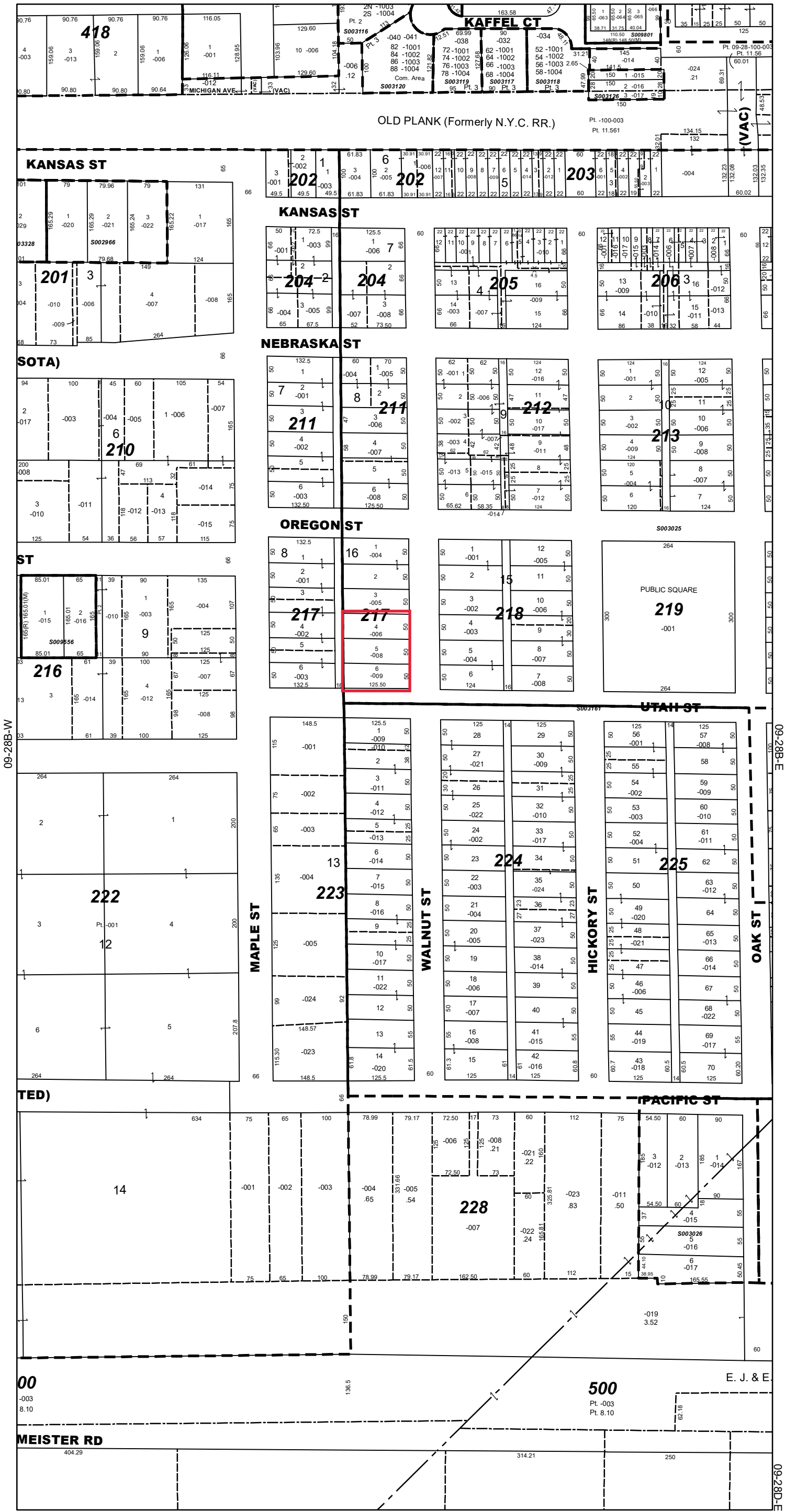
Will County, Illinois

Tax Assessment Map
Revised for the 2021 Assessment
Copyrighted 2021 by Will County GIS Division

Map Page 09-28B-C
Frankfort Township
E. 1/3 W.2/3 N.E.1/4 Sec.28 T.35N. R.12E.

Subdivision List

S003025
Original Town of Frankfort
2-45
S003161
Mc Donald's Sub
10-43



1 inch = 200 feet
Plot Date: Jul 08 2021

Project: Gale Residence – House Addition
Meeting Type: Public Hearing
Request(s): Request for a variation from Article 6, Section B, Part 1 of the Village of Frankfort Zoning Ordinance to permit an addition to the primary structure (house) located 17' 3" from the rear property line whereas 30' is required.
Location: 19948 Lily Court
Applicant: Patrick Gale
Prop. Owner: Same
Report By: Christopher Gruba, Senior Planner

Site Details

Lot Size: 0.38 Acres / 16,585 sq. ft.
PIN: 19-09-15-205-019-0000
Existing Zoning: R-2
Prop. Zoning: N/A
Gross Living Area: 2,901 S.F. (not including garage or patio)
Building footprint: 3,776 S.F. (including garage and patio)
Lot Coverage: 22.8%
Impervious Coverage: 35.8% +/-
Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Single-family Residential	Single-Family Detached Residential	R-2
North	Single-family Residential	Single-Family Detached Residential	R-2
South	Single-family Residential	Single-Family Detached Residential	R-2
East	Single-family Residential	Single-Family Detached Residential	R-2
West	Open Space (pond)	Single-Family Detached Residential	R-2

Figure 1: Location Map



Project Summary

The applicant, Patrick Gale, is seeking to construct an addition to the rear of his house for an unenclosed, roofed patio area. The proposed unenclosed roof would project 14 feet beyond the westernmost rear wall of the house and would measure 17' 10" feet wide by 14 feet deep, or 250 square feet. The proposed rear yard building addition would be located 17' 3" from the rear property line, whereas 30' is required in the R-2 zone district, requiring a variance.

The applicant had formerly requested a variance for this project this year for a 14' 3" setback instead of the current 17' 3" setback. A public hearing for the former request was held on March 24, 2022, in which the Plan Commission unanimously recommended denial (5-0). At the Village Board meeting on April 4, 2022, the Board voted 3-3 on the variance request, resulting in a denial (4 affirmative votes from the trustees were needed). The applicant is now seeking a smaller addition and increased rear yard setback, along with additional supplemental information. Variances may be reapplied for if different than the original request, there is no time limit.

Attachments

- Location map, prepared by staff (GIS)
- Property Survey, performed by Exacta, dated 4.22.16
- Permit drawings, materials list and pictures, submitted by applicant, April 15, 2022
- Variance findings of fact, provided by applicant
- HOA approval letter from La Porte Meadows Community Architectural Committee

Analysis

In consideration of the requests, staff offers the following points of discussion:

- The existing house currently complies with the required front, side and rear yard setbacks for the R-2 zone district. The existing house is set back 30' from the front property line, which is the minimum setback for a house in this zone district. The existing house is currently set back approximately 30' from the rear property line at the closest point, which is the minimum setback permitted in this zone district.
- The maximum **lot coverage** for a one-story house in the R-2 zone district is 25%. The existing lot coverage is 3,776 square feet, or 22.8%. The open porch addition will increase the lot coverage to 4,026 square feet, or 24.3%, complying with this requirement.
- The existing **impervious lot coverage**, which includes the house, driveway, sidewalk and existing rear covered porch is approximately 35.8%, whereas a maximum of 40% is permitted. The addition would increase the impervious coverage to *approximately* 37.3%, still under the permitted amount.
- An arced conservation area & public utility easement exists in the rear yard of the property, adjacent to the existing detention pond. No accessory structures may be constructed within this area (although fences are permitted at the applicant's risk). The proposed building addition would be located just outside of this easement. The easement boundary loosely follows the existing faux wrought-iron fence, although the fence is mostly located within the conservation & public utility easement.
- There is an existing rear yard covered porch area measuring 8' deep by 17' 10" wide, or 143 square feet. The proposed addition would further extend the covered area by 14' (an area 14' deep and 17' 10" wide, or 250 square feet).
- The maximum size of a detached, unenclosed accessory structure such as a pool cabana, pergola or gazebo is 250 square feet (the same size that the applicant is proposing to add to the house).
- The proposed addition would match the existing home in terms of materials (shingled roof) and roof pitch.
- A detention pond exists beyond the rear yard. The closest house to the applicant's house, measured from back of house to back of house, is approximately 222'. The proposed building addition would decrease this amount to approximately 208'.
- The applicant has provided a letter of approval from the LaPorte Meadows homeowners association.

Standards of Variation

The applicant is requesting a variation from Article 6, Section B, Part 1 of the Village of Frankfort Zoning Ordinance to permit the construction of an addition that is set back less than 30' from the rear property line. The applicant has provided responses to these ten (10) findings of fact in the attached documents.

For reference during the workshop, Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request.

- a. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:
 1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

2. That the plight of the owner is due to unique circumstances;
 3. That the variation, if granted, will not alter the essential character of the locality.
- b. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making this determination, whenever there are practical difficulties or particular hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:
1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
 2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
 3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
 4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
 5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
 6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;
 7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

Affirmative Motion

Future public hearing motion:

1. Recommend the Village Board approve a variation from Article 6, Section B, Part 1 of the Village of Frankfort Zoning Ordinance to permit the construction of a rear yard addition set back 17' 3" from the rear property line, whereas 30' is required in the R-2 zone district, for the property located at 19948 Lily Court in accordance with the submitted plans, public testimony, and Findings of Fact.

19948 Lily Court



0 75 150 300 Feet



PROPERTY ADDRESS: 19948 LILY COURT FRANKFORT, ILLINOIS 60423

SURVEY NUMBER: IL1604.1989

FIELD WORK DATE: 4/20/2016
16041989

REVISION DATE(S): (REV.0 4/23/2016)

BOUNDARY SURVEY
WILL COUNTY

LOT 29 IN LAPORTE MEADOWS, A SUBDIVISION IN THE NORTHEAST 1/4 OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 18, 2002 AS DOCUMENT NUMBER R2002223892, AND CERTIFICATE OF CORRECTION RECORDED SEPTEMBER 9, 2005, AS DOCUMENT NUMBER R2005155138, IN WILL COUNTY, ILLINOIS.

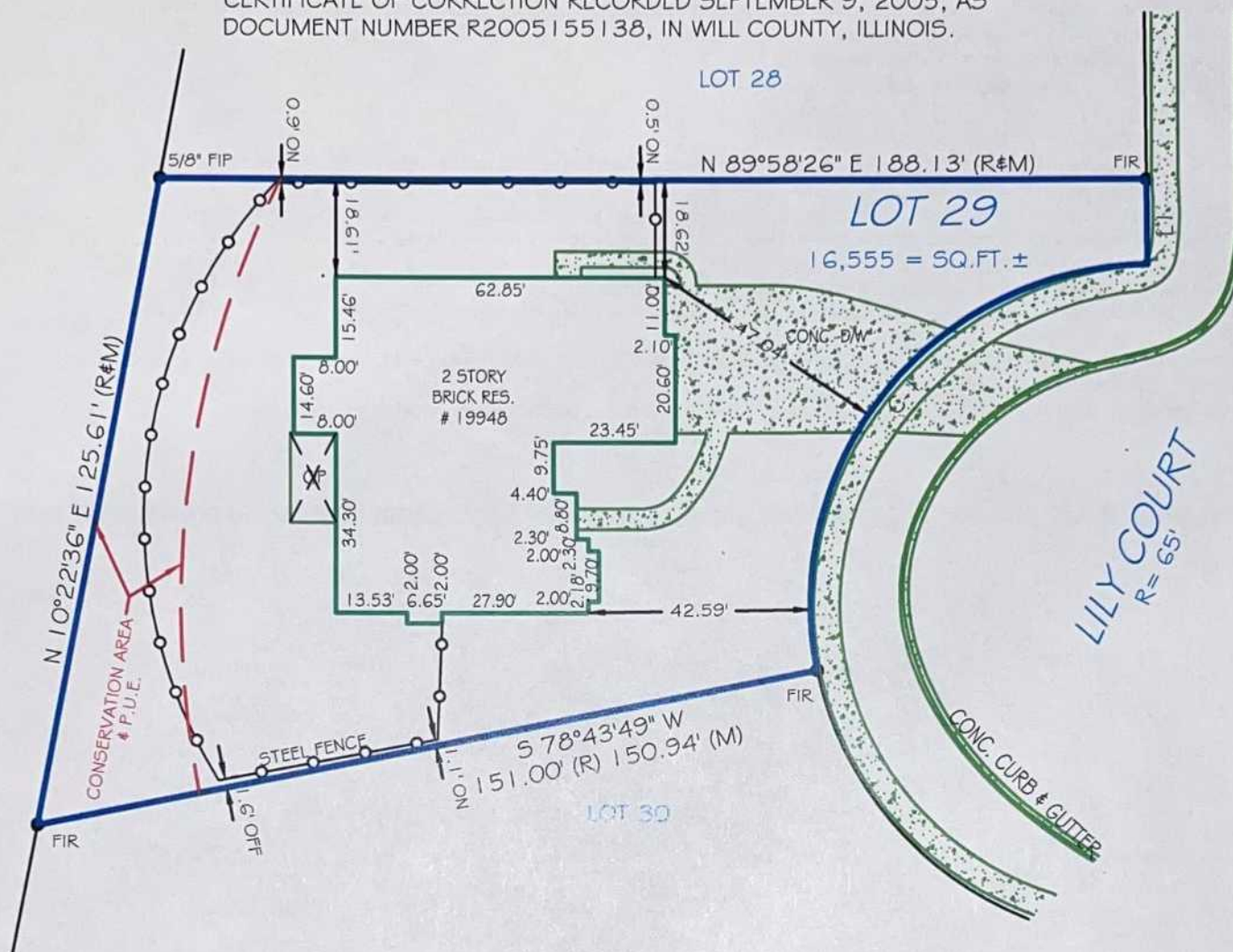


TABLE:

LI S 0°33'16" E 16.53' (R) 16.42' (M)

C-1

R=65.00' (R)

L=113.83' (R) 114.05' (M)

Δ=100°32'01" (M)

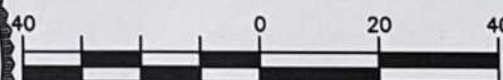
CH=S 38°58'54" W, 99.97' (M)

STATE OF ILLINOIS } ss
COUNTY OF GRUNDY

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS 20TH DAY OF APRIL, 2016 AT 316 E. JACKSON STREET IN MORRIS, IL 60450.

Kenneth Kennedy

ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3403
LICENSE EXPIRES 11/30/2016
EXACTA LAND SURVEYORS LB# 5763



GRAPHIC SCALE (In Feet)
1 inch = 40' ft.



THE ABOVE SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE NUMBER IN THE BOTTOM RIGHT CORNER.

CLIENT NUMBER: 12113

DATE: 4/22/2016

BUYER: PATRICK GALE

SELLER: JOHN SCHWALM

CERTIFIED TO: PATRICK GALE; FIRST AMERICAN; CHASE

This is page 1 of 2 and is not valid without all pages.

POINTS OF INTEREST
NONE VISIBLE

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ILLINOIS SURVEYORS, INC.

LB# 184005763

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P: (773) 305-4010 • F: (773) 305-4011
316 East Jackson Street, Morris, IL 60450

LEGAL DESCRIPTION:

LOT 29 IN LAPORTE MEADOWS, A SUBDIVISION IN THE NORTHEAST 1/4 OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 18, 2002 AS DOCUMENT NUMBER R2002223892, AND CERTIFICATE OF CORRECTION RECORDED SEPTEMBER 9, 2005, AS DOCUMENT NUMBER R2005155138, IN WILL COUNTY, ILLINOIS.

JOB SPECIFIC SURVEYOR NOTES:

GENERAL SURVEYOR NOTES:

- 1. The Legal Description used to perform this survey was supplied by others. The survey does not determine or imply ownership.
- 2. This survey only shows improvements found above ground. Underground footings, utilities and encroachments are not located on this survey map.
- 3. If there is a septic tank, well or drain field on this survey, the location of such items was shown to us by others and are not verified.
- 4. This survey is exclusively for the use of the parties to whom it is certified.
- 5. Any additions or deletions to this 2 page survey document are strictly prohibited.
- 6. Dimensions are in feet and decimals thereof.
- 7. Due to varying construction standards, house dimensions are approximate.
- 8. Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain such data was performed at www.fema.gov.
- 9. All pins marked as set are 5/8 diameter, 18" iron rebar.
- 10. An examination of the abstract of title was not performed by the signing surveyor to determine which instruments, if any, are affecting this property.
- 11. Points of Interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer.
- 12. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
- 13. The information contained on this survey has been performed exclusively, and is the sole responsibility, of Exacta Surveyors. Additional logo or references to third party firms are for informational purposes only.
- 14. House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.

LEGEND:

SURVEYOR'S LEGEND

LINE TYPES: (UNLESS OTHERWISE NOTED)

BOUNDARY LINE

STRUCTURE

CENTERLINE

CHAIN-LINK or WIRE FENCE

EASEMENT

EDGE OF WATER

IRON FENCE

OVERHEAD LINES

SURVEY TIE LINE

WALL OR PARTY WALL

WOOD FENCE

VINYL FENCE

SURFACE TYPES: (UNLESS OTHERWISE NOTED)

ASPHALT

CONCRETE

WATER

SYMBOLS: (UNLESS OTHERWISE NOTED)

BENCH MARK

CENTERLINE

CENTRAL ANGLE or DELTA

COMMON OWNERSHIP

CONTROL POINT

CONCRETE MONUMENT

CATCH BASIN

ELEVATION

FIRE HYDRANT

FND OR SET MONUMENT

GUYWIRE OR ANCHOR

MANHOLE

TREE

UTILITY OR LIGHT POLE

WELL

A/C AIR CONDITIONING

B.R. BEARING REFERENCE

B.C. BLOCK CORNER

B.F.P. BACKFLOW PREVENTOR

B.K. BLOCK

B.L.D.G. BUILDING

B.M. BENCHMARK

B.R.L. BUILDING RESTRICTION LINE

B.S.M.T. BASEMENT

B.W. BAY/BOW WINDOW

(C) CALCULATED

C. CURVE

CATV CABLE TV. RISER

C.B. CONCRETE BLOCK

CHIM. CHIMNEY

C.L.F. CHAIN LINK FENCE

C.O. CLEAN OUT

CONC. CONCRETE

COR. CORNER

CS/W CONCRETE SIDEWALK

C.V.G. CONCRETE VALLEY GUTTER

CL. CENTER LINE

C/P COVERED PORCH

C/S CONCRETE SLAB

(D) DEED

D.F. DRAIN FIELD

D.W. DRIVEWAY

ELEV. ELEVATION

ENCL. ENCLOSURE

ENT. ENTRANCE

EM. ELECTRIC METER

E.O.P. EDGE OF PAVEMENT

E.O.W. EDGE OF WATER

EUB. ELECTRIC UTILITY BOX

(F) FIELD

FCM FND. CONCRETE MONUMENT

F/DH FOUND DRILL HOLE

F.F. FINISHED FLOOR

FIF. FOUND IRON PIPE

FIFC FOUND IRON PIPE & CAP

FIR. FOUND IRON ROD

FIRC FOUND IRON ROD & CAP

FN. FOUND NAIL

FN&D FOUND NAIL & DISC

FND. FOUND

PPKN FOUND PARKER-KALON NAIL

PPKN&D FOUND PK NAIL & DISK

PPRS&PK FOUND RAILROAD SPIKE

GAR. GARAGE

GM. GAS METER

ID. IDENTIFICATION

ILL. ILLEGIBLE

INST. INSTRUMENT

INT. INTERSECTION

L. LENGTH

LB# LICENSE # - BUSINESS

LS# LICENSE # - SURVEYOR

(M) MEASURED

M.B. MAP BOOK

M.E.S. MITERED END SECTION

M.F. METAL FENCE

N.R. NON RADIAL

N.T.S. NOT TO SCALE

O.C.S. ON CONCRETE SLAB

O.G. ON GROUND

OP# OUTSIDE OF SUBJECT PARCEL

OH. OVERHANG

OH. OVERHEAD LINES

OH. INSIDE OF SUBJECT PARCEL

O.R.B. OFFICIAL RECORD BOOK

O.R.V. OFFICIAL RECORD VOLUME

OA. OVERALL

OS. OFFSET

(P) PLAT

P.B. PLAT BOOK

P.C. POINT OF CURVATURE

P.C.C. POINT OF COMPOUND CURVATURE

P.C.P. PERMANENT CONTROL POINT

P/E. POOL EQUIPMENT

P.G. PAGE

P.I. POINT OF INTERSECTION

PLS. PROFESSIONAL LAND SURVEYOR

PLT. PLANTER

P.O.B. POINT OF BEGINNING

P.O.C. POINT OF COMMENCEMENT

P.P. PINCHED PIPE

P.R.C. POINT OF REVERSE CURVATURE

P.R.M. PERMANENT REFERENCE MONUMENT

PSM. PROFESSIONAL SURVEYOR AND MAPPER

P.T. POINT OF TANGENCY

R. RADIUS or RADIAL

(R) RECORD

RGE. RANGE

RES. RESIDENCE

RAW. RIGHT OF WAY

(S) SURVEY

S.B.L. SETBACK LINE

S.C.L. SURVEY CLOSURE LINE

SCR. SCREEN

SEC. SECTION

SEP. SEPTIC TANK

SEW. SEWER

SGD. SET GLUE DISC

SIRC. SET IRON ROD & CAP

SN&D. SET NAIL & DISC

SQ.FT. SQUARE FEET

STY. STORY

S.T.L. SURVEY TIE LINE

SV. SEWER VALVE

SW. SIDEWALK

S.W. SEAWALL

TBM. TEMPORARY BENCHMARK

TEL. TELEPHONE FACILITIES

T.O.B. TOP OF BANK

TWP. TOWNSHIP

TX. TRANSFORMER

TYP. TYPICAL

U.R. UTILITY RISER

WC. WITNESS CORNER

WF. WATER FILTER

W.F. WOODEN FENCE

WM. WATER METER/VALVE BOX

WV. WATER VALVE

V.F. VINYL FENCE

A.E. ACCESS EASEMENT

AN.E. ANCHOR EASEMENT

C.M.E. CANAL MAINTENANCE ESMT.

C.U.E. COUNTY UTILITY ESMT.

D.E. DRAINAGE EASEMENT

D.U.E. DRAINAGE AND UTILITY ESMT.

ESMT. EASEMENT

I.E./E.E. INGRESS/EGRESS ESMT.

IRR.E. IRRIGATION EASEMENT

L.A.E. LIMITED ACCESS ESMT.

L.B.E. LANDSCAPE BUFFER ESMT.

L.E. LANDSCAPE ESMT.

L.M.E. LAKE OR LANDSCAPE MAINTENANCE EASEMENT

M.E. MAINTENANCE EASEMENT

F.U.E. PUBLIC UTILITY EASEMENT

R.O.E. ROOF OVERHANG ESMT.

S.W.E. SIDEWALK EASEMENT

S.W.M.E. STORM WATER MANAGEMENT ESMT.

T.U.E. TECHNOLOGICAL UTILITY ESMT.

U.E. UTILITY EASEMENT

OFFER VALID ONLY FOR THE BUYERS LISTED ON THE FIRST PAGE OF THIS SURVEY:

EXACTA

25% off

(UP TO \$500)

ANY FUTURE SURVEYING SERVICES ON THIS PROPERTY

Offer valid only for the buyer as listed on the first page of the survey. Total discount not to exceed \$500.

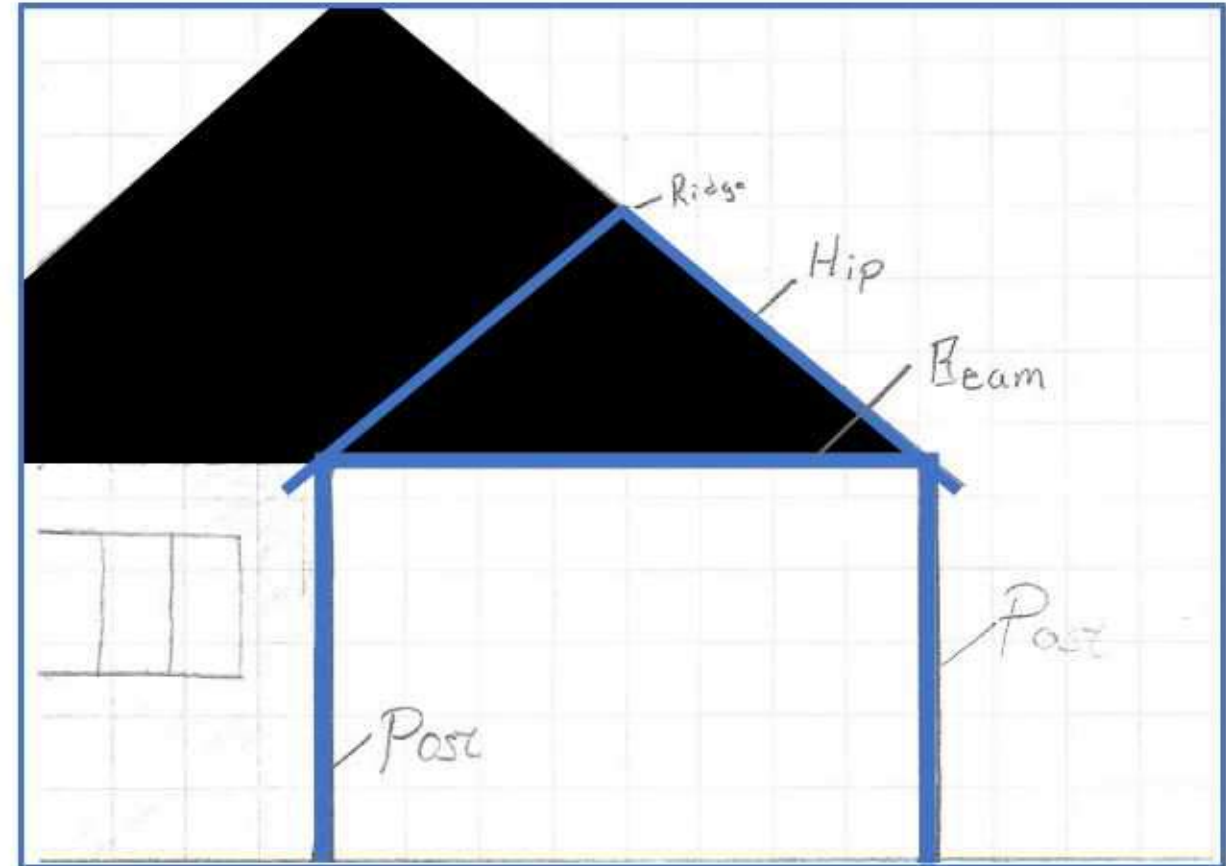
ELECTRONIC SIGNATURE:

In order to "Electronically Sign" all of the PDFs sent by STARS, you must use a hash calculator. A free online hash calculator is available at <http://www.fileformat.info/tool/md5sum.htm>. To Electronically Sign any survey PDF: 1. Save the PDF onto your computer. 2. Use the online tool at <http://www.fileformat.info/tool/md5sum.htm> to browse for the saved PDF on your computer. 3. Select the Hash Method as SHA. 4. Click Submit. Your PDF is electronically signed if all of the characters in the SHA-1 code submitted by STARS matches the code which is produced by the hash calculator. If they match exactly, your PDF is electronically signed. If the codes do not match exactly, your PDF is not authentic.

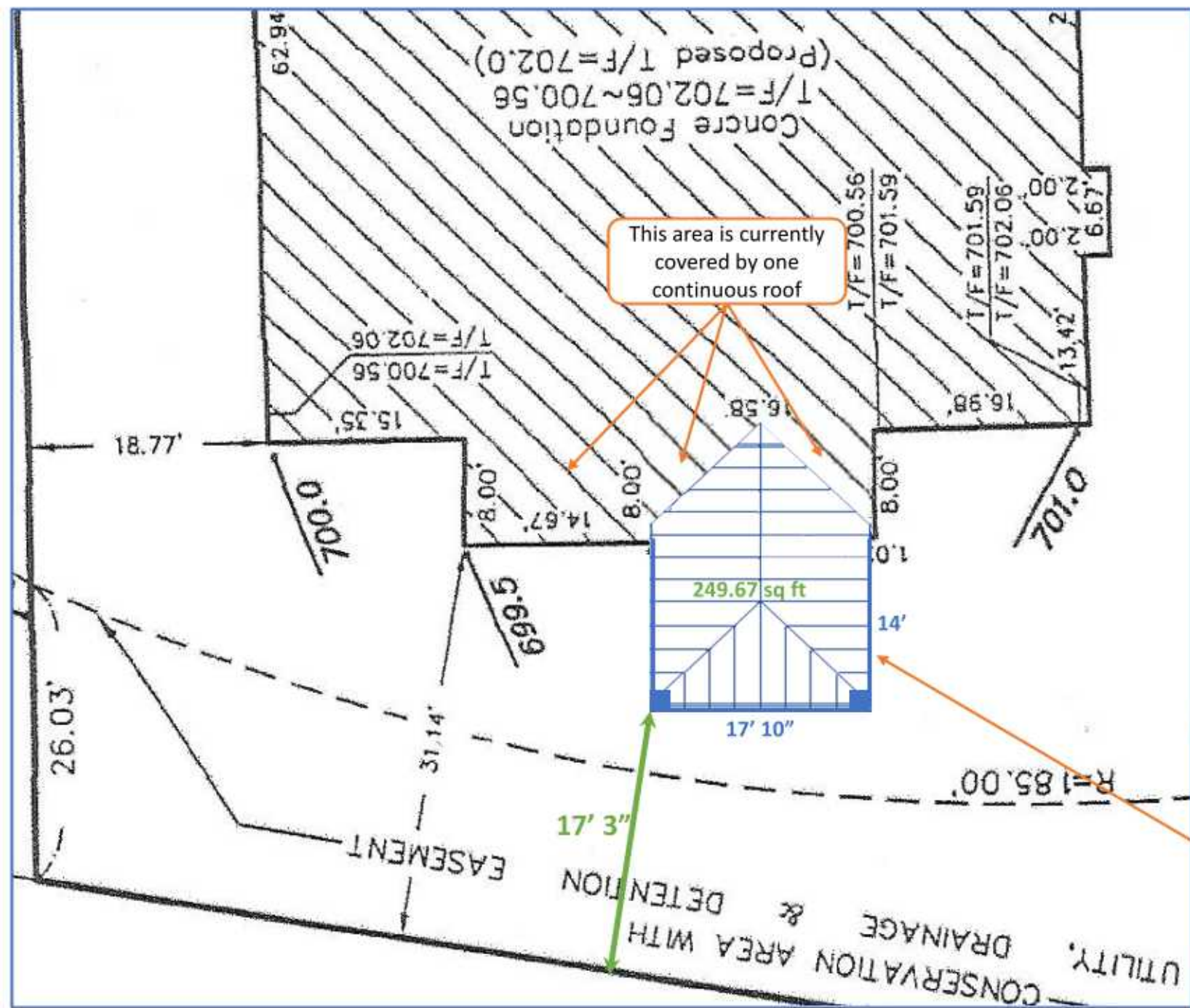
PRINTING INSTRUCTIONS:

- 1. While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.
 - 2. Select a printer with legal sized paper.
 - 3. Under "Print Range", click select the "All" toggle.
 - 4. Under the "Page Handling" section, select the number of copies that you would like to print.
 - 5. Under the "Page Scaling" selection drop down menu, select "None."
 - 6. Uncheck the "Auto Rotate and Center" checkbox.
 - 7. Check the "Choose Paper size by PDF" checkbox.
 - 8. Click OK to print.
- TO PRINT IN BLACK + WHITE:**
- 1. In the main print screen, choose "Properties".
 - 2. Choose "Quality" from the options.
 - 3. Change from "Auto Color" or "Full Color" to "Gray Scale".

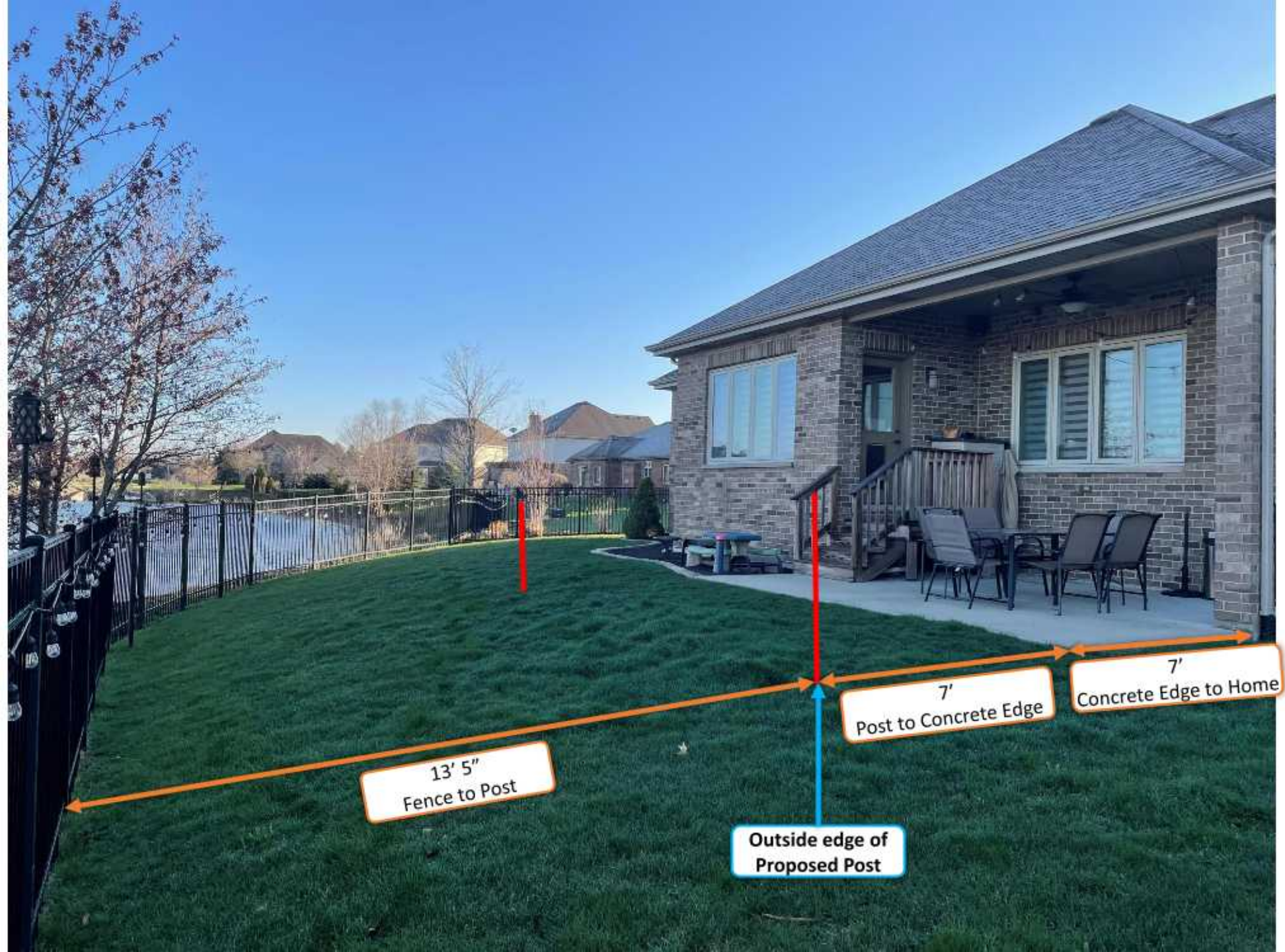
The unenclosed roof extension (attached gazebo) would extend West, off our current home. To aesthetically "blend in" and maintain the exterior architectural appeal of the current home, the "unenclosed structure" would maintain the same hip roof pitch and design. The extension will follow the current southern-most roof "hip," and create a new "hip" that begins on the north edge of the currently covered area; effectively, splitting the current "hip" in half.

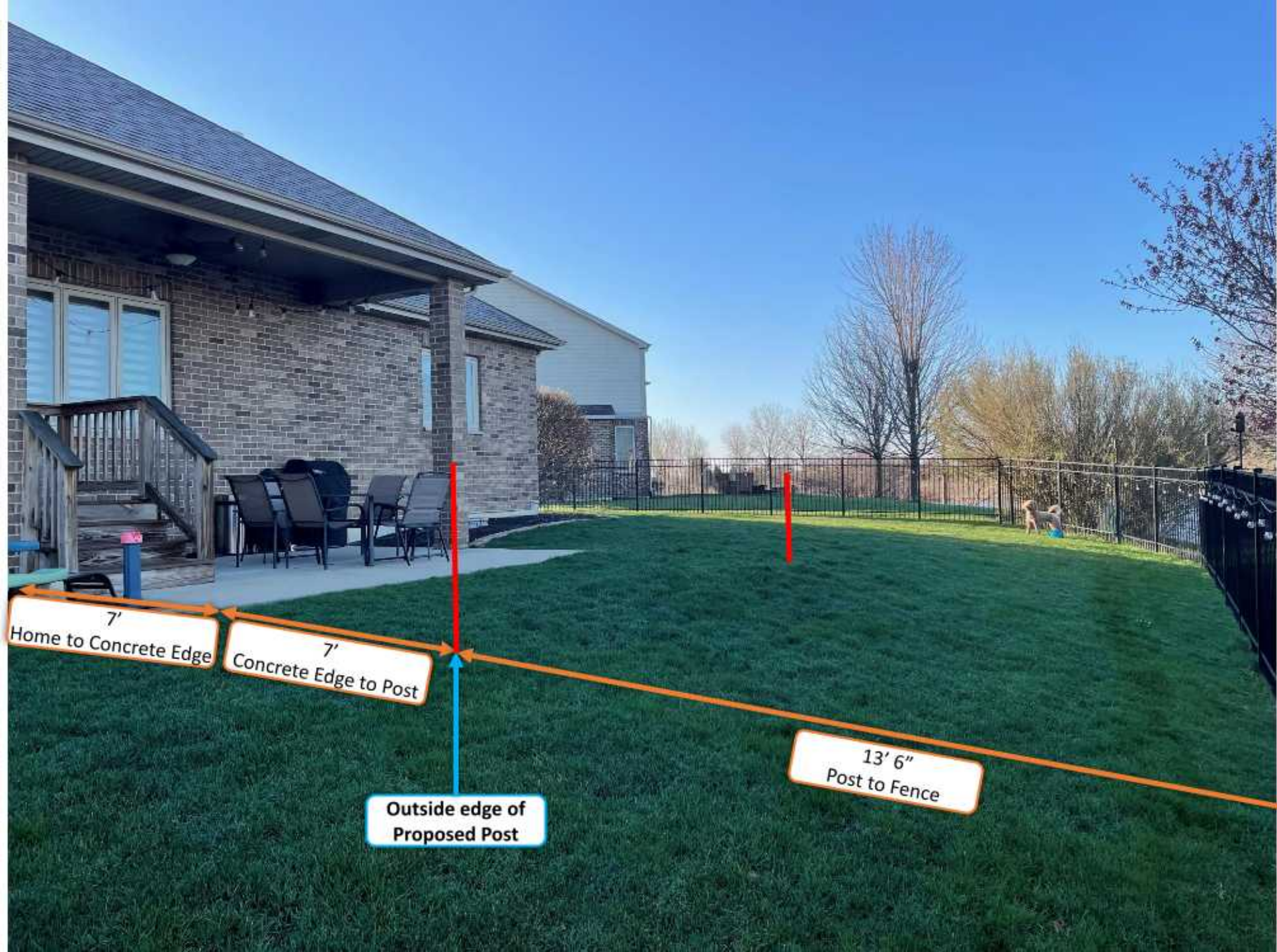


As for the material/finishes, the posts will be Cedar 6x6s, and the fascia, soffit, gutters, and shingles will match the current fascia, soffit, gutters, and shingles.



The unenclosed roof extension (attached gazebo) would extend West, off our current home. To aesthetically "blend in" and maintain the exterior architectural appeal of the current home, the "unenclosed structure" would maintain the same hip roof pitch and design. The extension will follow the current southern-most roof "hip," and create a new "hip" that begins on the north edge of the currently covered area; effectively, splitting the current "hip" in half.



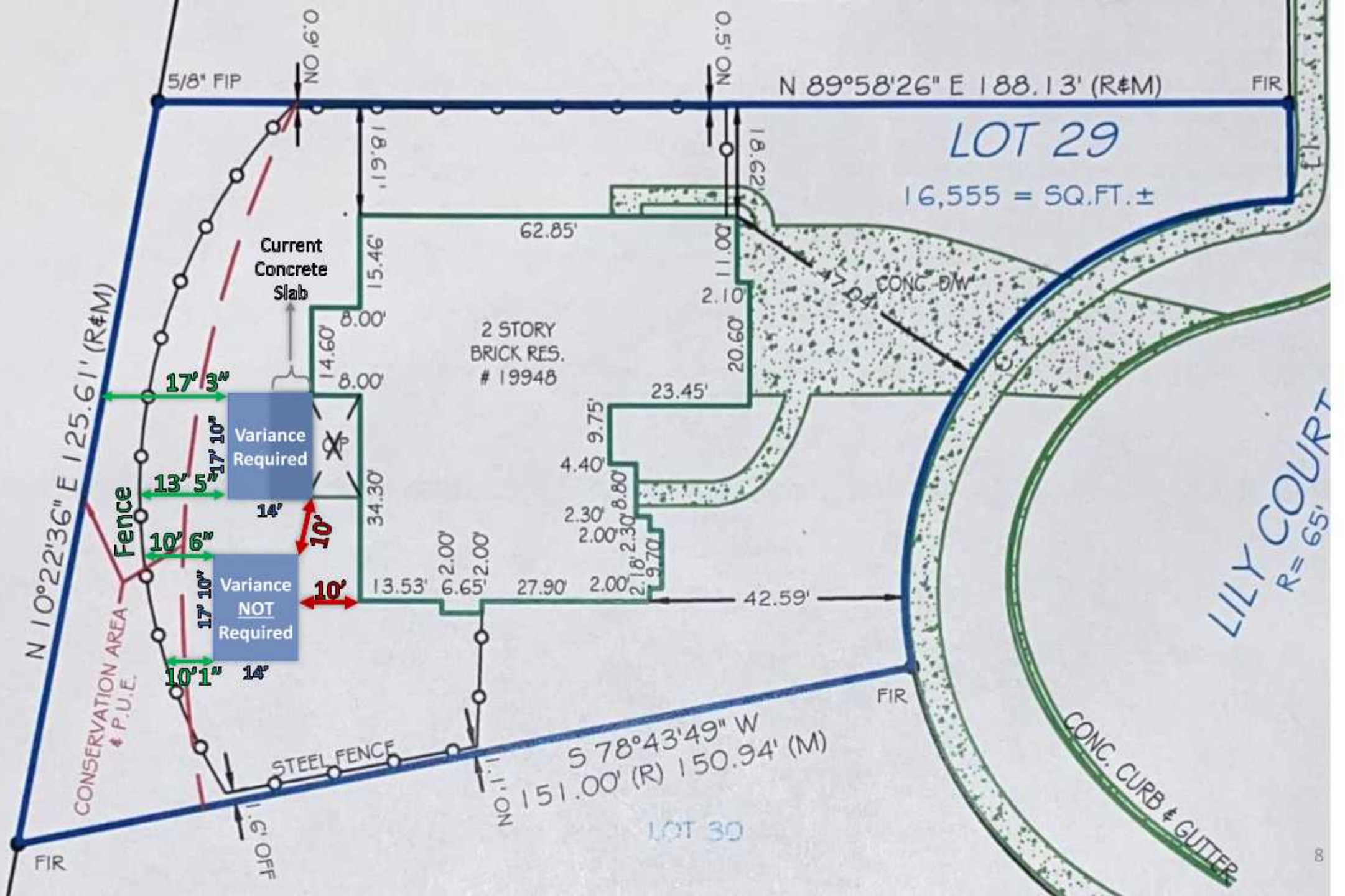


Neighbor #1
Professionally installed retractable awning. Does not provide shade in afternoon sun. Fell off of home in 2020 from wind; causing major damage. Exterior of home still under repair.

Neighbor #2
Screened in porch, partially enclosed. Very similar size and style to proposed structure



Appendix



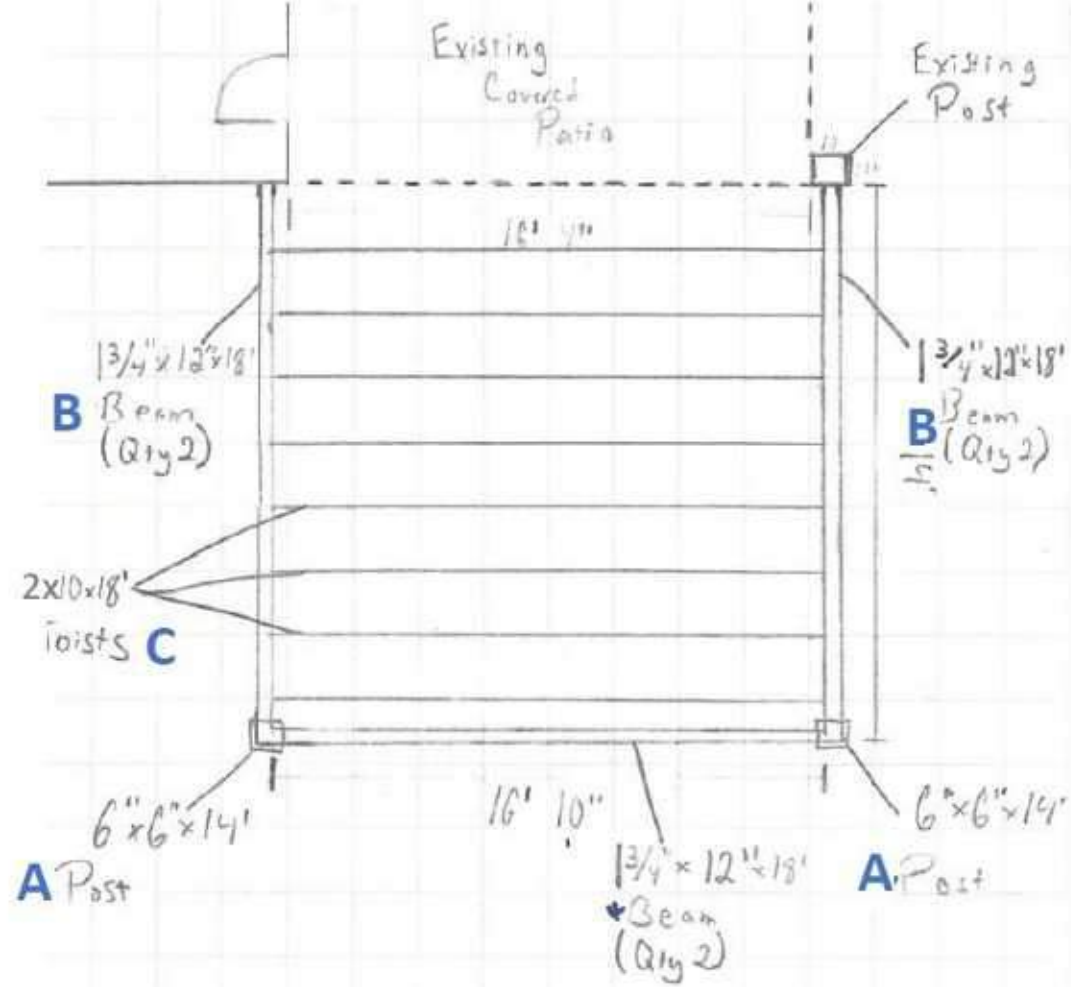




Material List

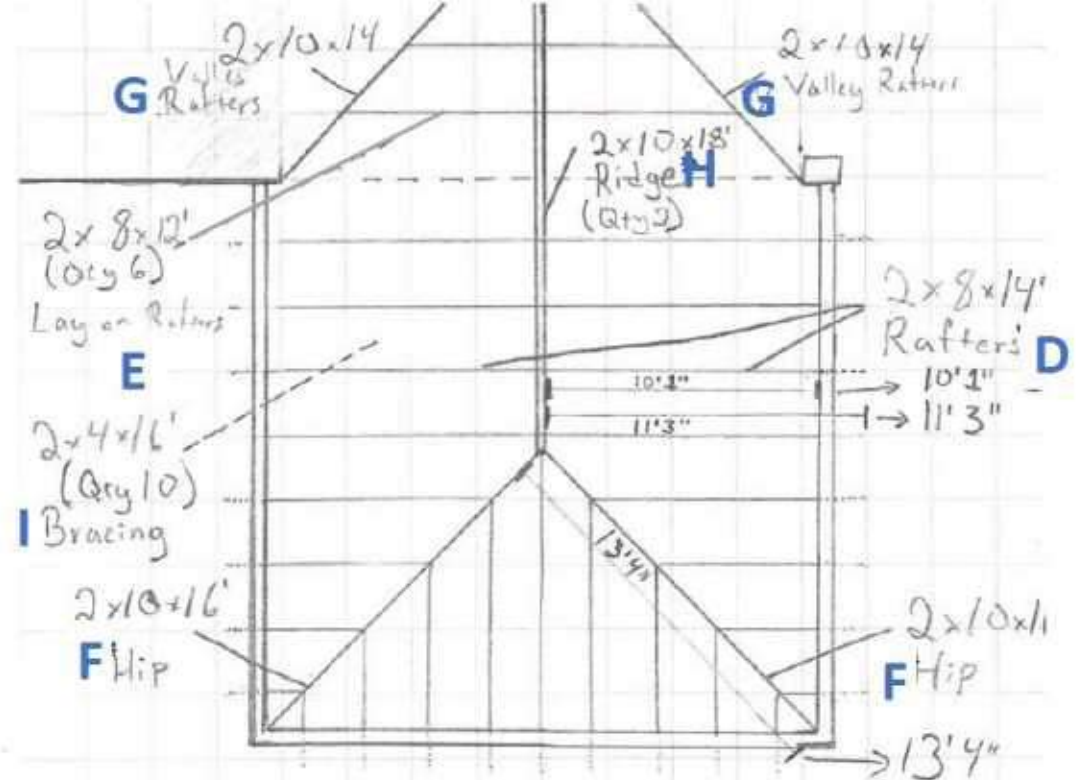
Drawing Reference	Structure	Quantity	Dimension	Notes
A	Post	2	6 x 6 x 14'	Treated 6x6, wrapped in cedar 1x8 11' 1" - 12' 1" Height Consider replacing 12" with 14"
B	Beams	6	1 3/4 x 12" x 18'	
C	Ceiling Joist	12	2 x 10 x 18'	
D	Rafters (8/12)	24	2 x 8 x 14'	
E	"Lay on" Rafters	6	2 x 8 x 12'	
F	Hips	2	2 x 10 x 16'	
G	"Lay ons" (Valley Rafters)	2	2 x 10 x 14'	
H	Ridge	2	2 x 10 x 18'	
I	Bracing	10	2 x 4 x 16'	
	OSB Plywood	24	4 x 8 x 1/2	
	Gun Nails	2	3 1/4	
	Gun Nails	2	2 1/4	
	Heavy Angle Hangers			
	Soffit (Aluminum, VARIFORM, or AZEK® Beadboard)			
	Aluminum Fascia			
	Gutters			
	Shingles			
	Tar Paper			
	Rain/Ice			
	Scaffolding Rental			
	Ladders			
	Leveling Pads			

Permit Drawings



T O P V I E W

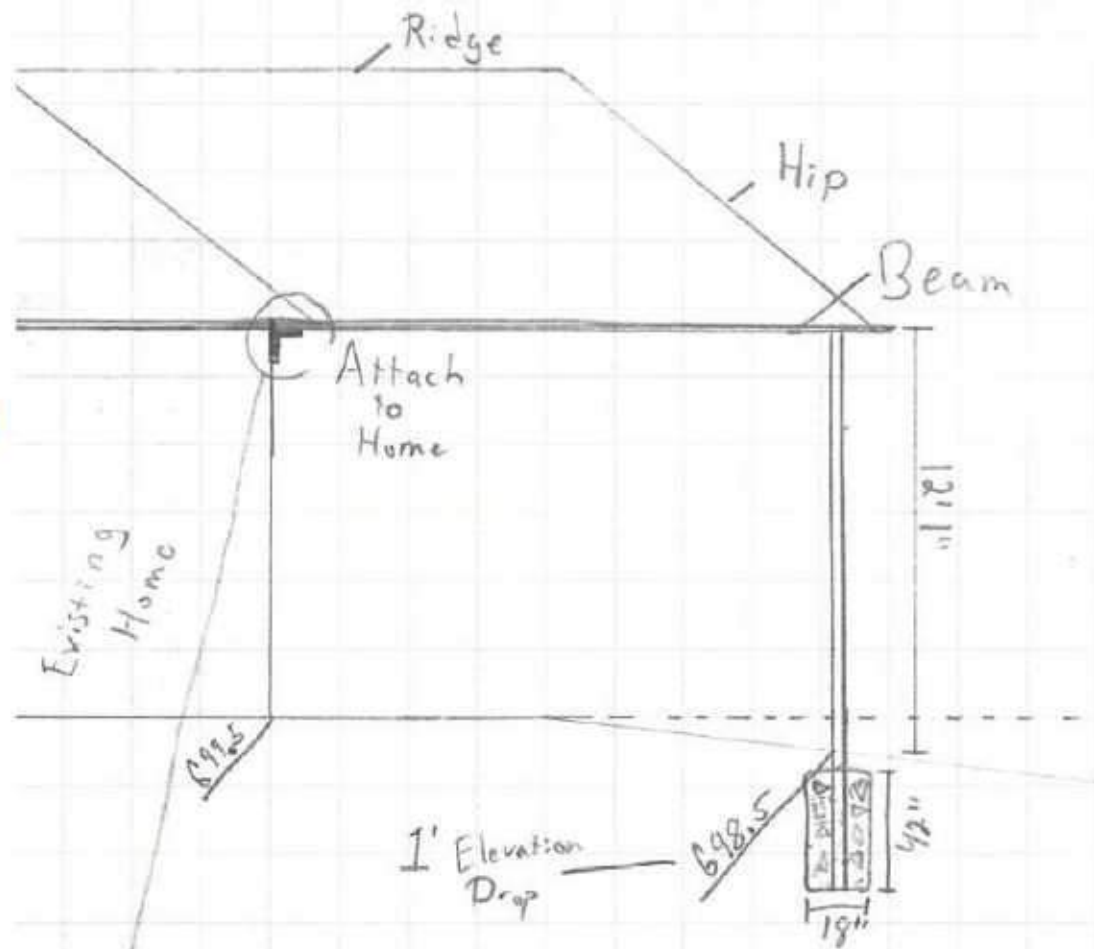
- 1) Beams (B)
- 2) Posts (A)
- 3) Joists (C)



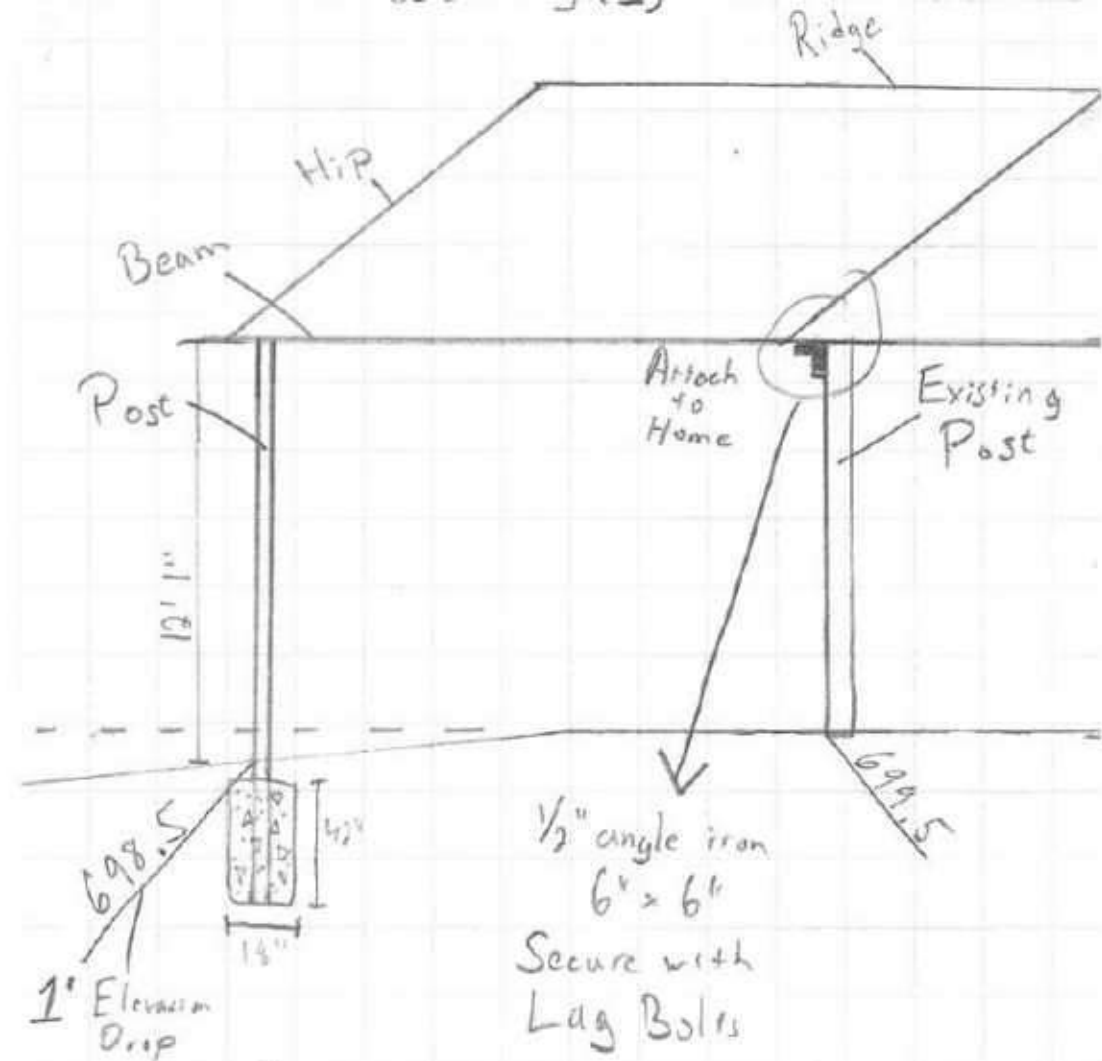
T O P V I E W 2

- 1) Ridge (H)
- 2) Hips (F)
- 3) Rafter (D)
- 4) Valley Rafter (G)
- 5) Lay on Rafter (E)
- 6) Bracing (I)

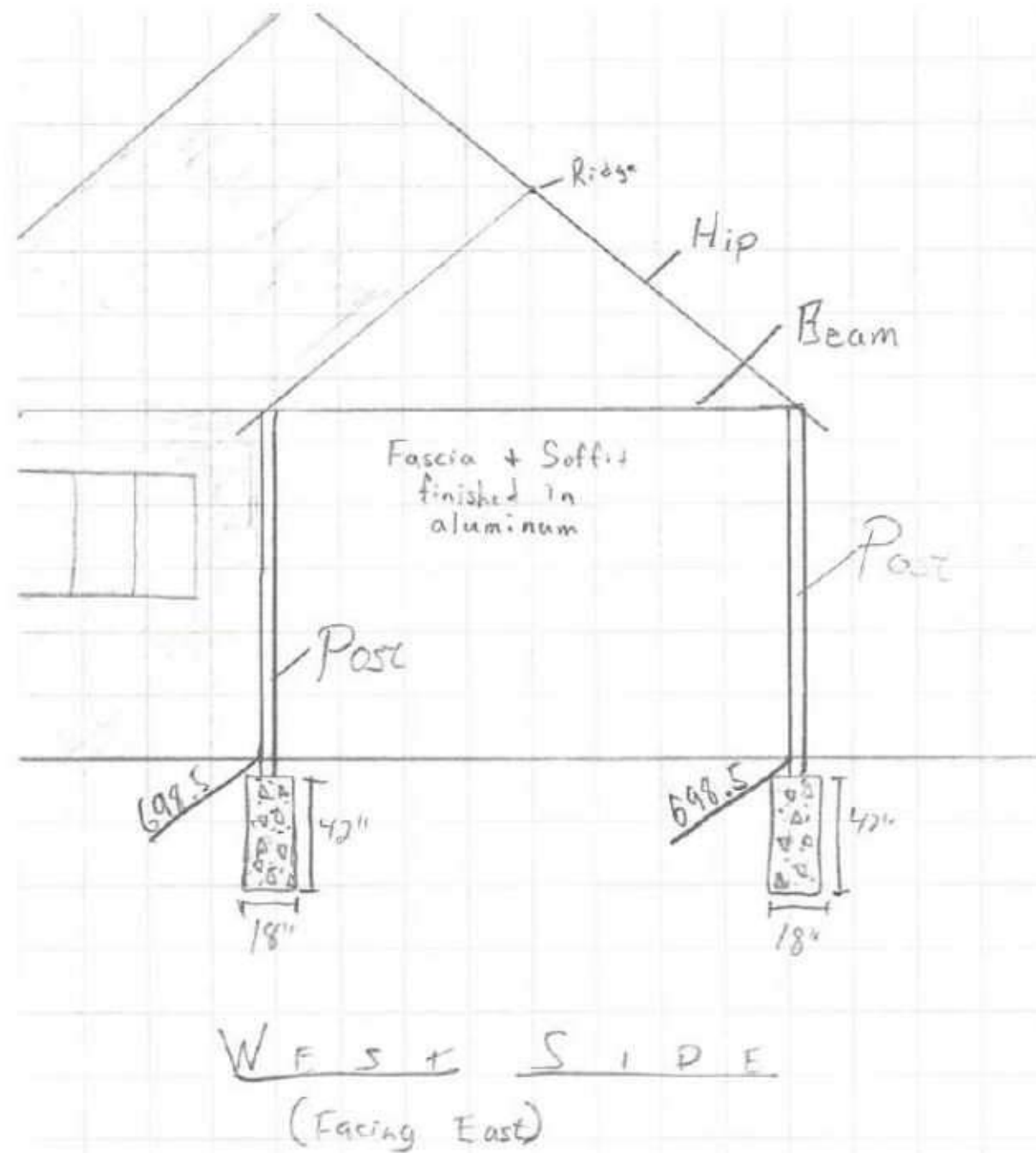
Permit Drawings



1/2" angle iron
6" x 6"
Secure with
Lag Bolts



Permit Drawings





Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

The pond, adjacent to the rear property line, increases the upfront cost/value of the home, yet cannot be reasonably returned due to the extreme exposure of the sun on the rear side (west-facing) of the property during the summer months. The unique circumstances (beyond facing west), are detailed in the remaining questions below.

2. That the plight of the owner is due to unique circumstances; and

Given the rear property line is adjacent to a pond, there are no homes, nor trees to provide any shade whatsoever. Additionally, the sun's reflection off the pond, adds further heat/glaring rays to our property. The rear property line is 120' from the rear neighbor's property line, which would make the proposed structure 138' from rear neighbor's property line.

3. That the variation, if granted, will not alter the essential character of the locality.

The variation, if granted, enables us to maintain the essential character of the locality, AND fully resolve the hardship. Without a variation, standard regulations allow for a free standing gazebo with identical square footage (249.67), closer to my fence; yet, would be more visible, covers more of my current yard, and only partially resolves the hardship. "Attachment A, page 5" compares both options on the Plat of Survey.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

As described in question #1 above and #2 below, the heat in the rear of the property is extreme, and distinguished from a mere inconvenience due to the physical surroundings (no homes, nor tall trees), shape of the property (first lot when entering cul-de-sac, which positions the home closer to the rear property line), and topographical conditions (pond adjacent to rear property line).

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

Per "Attachments A, page 6" the property's lot location is uniquely positioned; it is the first home on an "off-centered" cul-de-sac, which positions the home closer to the rear property line. Furthermore, the property's rear property line is 120' from the rear neighbor's property line due to the pond.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

The purpose of the variation is based on hardship upon the owner, not money.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

The hardship has not been created by any person presently having an interest in the property.

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

Per "Attachment B," the currently proposed plan (requiring this variation), has been approved by the La Porte Meadows Home Owners Association (HOA), and neighbors notified. The variation will not cause damage, harm, or any other negative impact to the public welfare and neighborhood.

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

As referenced in "Attachment A" & Question #3 on pg 1 above, the proposed plan (i.e. same hip roof pitch & design) was developed to ensure that there is no variance whatsoever, with the exterior architectural appeal and functional plan of the current structure (home), immediate neighborhood, and character of the applicable district.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

As referenced in both question #2s above, the property's rear property line is 120' from the rear neighbor's property line. Furthermore, if granted the variation, the extended roof will not be visible from the current, adjacent side properties' structures (homes). The proposed variation will not impair adequate supply of air to adjacent properties, substantially increase the danger of fire, otherwise endanger the public safety nor substantially diminish nor impair property values within the neighborhood.

LAPORTE MEADOWS COMMUNITY
Architectural Committee Plan Approval Request Form

The Architectural Review Committee submits the attached for approval. I understand that the final approval may take at least (3) weeks from the time a complete and properly prepared submittal has been received by the committee. I am requesting permission for the construction or installation:

<input type="checkbox"/> sidewalk	<input type="checkbox"/> driveway	<input type="checkbox"/> courtyard	<input type="checkbox"/> patio
<input type="checkbox"/> wall	<input type="checkbox"/> pool	<input type="checkbox"/> fence	<input type="checkbox"/> exterior lights
<input type="checkbox"/> satellite dish	<input type="checkbox"/> hot tub	<input type="checkbox"/> flag pole	<input type="checkbox"/> deck

☒ other – describe: **Covered patio/structure**

As required, I have attached TWO (2) copies of the Plat of Survey, including “to-scale” drawings on plat, a complete listing of all materials to be used, and a picture, brochure, or conceptual drawing of the requested change.

Date **January 28, 2022**

Neighborhood: **LaPorte Meadows**

Name: **Mr. & Mrs. Gale**

Address: **19948 Lily Ct**

City/State: **Frankfort, IL**

Phone: Home: **None** Work:

The Architectural Committee has reviewed the plans submitted. Please note:

Approval has been granted for the use and location only. Approval does not constitute any review or approval as to the adequacy or sufficiency of the design of the structure itself. For your own protection, may we suggest that you obtain a certificate of insurance and contractors license number (if applicable) from your contractor. You must also comply with all other State and Local rules and regulations. A building permit may be necessary from the City of Frankfort.

The following condition shall also apply:

Obtain a permit from Frankfort Township

APPROVAL

Architectural Committee:

By: **Michael Murphy**
Michael J Murphy

Date: **January 28, 2022**

By: **Dan Lekki**
Dan Lekki

Date: **January 28, 2022**

By: **Brian Williams**
Brian Williams

Date: **January 28, 2022**

Project: Pic & Plā – Pickleball Courts Building
Meeting Type: Public Hearing
Requests: Special Use for Indoor Recreation
Location: 9093 W. Fey Drive
Applicant: Anthony Villa
Prop. Owner: Laraway Investments, LLC
Representative: Anthony Villa

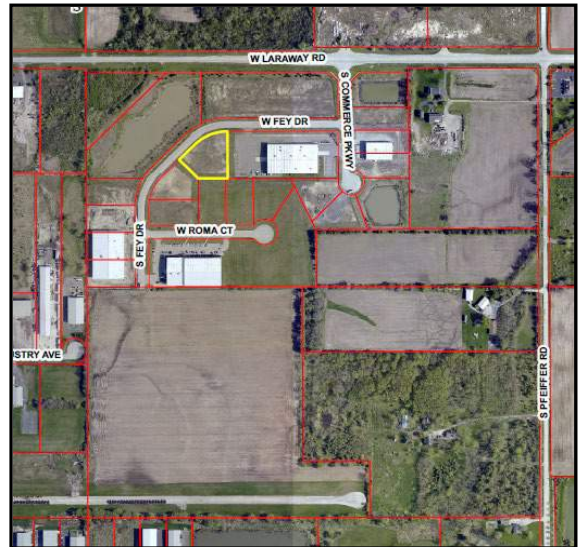
Site Details

Lot Size: 55,757 sq. ft. (1.28 acres)
PIN(s): 19-09-34-202-001-0000
Existing Zoning: I-1
Proposed Zoning: N/A
Future Land Use: Business Park
Buildings: 1
Total Sq. Ft.: 12,160 sq. ft. (bldg.)

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Undeveloped	Business Park	I-1
North	Undeveloped	Business Park	I-1
South	Undeveloped	Business Park	I-1
East	Light Manufacturing	Business Park	I-1
West	Undeveloped	Business Park	I-1

Figure 1. Location Map



Project Summary

The applicant is proposing to construct a 12,160 square foot building containing four (4) pickleball courts on Lot 13 of the East Point Park industrial subdivision. The proposal would require a special use permit for indoor recreation. As currently proposed, the project will not require any variances (setbacks, lot coverage, building height, etc.). The business would be open daily from 7 am – 9 pm; normal business hours within the Village are 7 am – 11 pm. Reservations to play would be made via a mobile app. The plans formerly included three (3) outdoor pickleball courts, which were removed as recommended during the workshop on April 28th, 2022. The outdoor courts use would have required a second special use permit to allow for outdoor recreation on lots larger than 1 acre.

Attachments

1. Aerial images (1:6,000 scale and 1:2,500 scale) VOF GIS
2. Alta Land Title Survey
3. Description of use – prepared by applicant
4. Special Use Permit Findings of Fact, applicant responses
5. Site Plan, dated 5.13.22
6. Landscape Plan, dated 4.18.22
7. Photometric Plan, dated 5.17.22 (and details of lights, provided by staff)
8. Building Elevations, dated 4.14.22
9. Floorplan, dated 4.12.22
10. Detail of trash enclosure, dated 5.17.22
11. Photographs of neighboring building and other buildings within the East Point Park subdivision taken 4.21.22

Analysis

Zoning

1. The subject property is currently zoned I-1, Limited Industrial, within the East Point Park subdivision. Indoor recreation facilities require a special use permit in the I-1 zone district. Currently, there is another indoor (and outdoor) recreation facility within this subdivision for Roma Sports Club.

Site Design

1. No fences or retaining walls are proposed. The former outdoor courts have been removed, although there was no fencing proposed around the courts during the workshop.
2. The project does not contain any accessory structures, other than a trash enclosure. During the workshop, the enclosure was located in the far southeast corner of the lot but was recoated to the side yard. Trash enclosures are considered accessory structures and may only be located in the side or rear yard and set back at least 10' from any property line. The enclosure is located approximately 60' from the front property line and 15.24' from the side property line, complying with the code. A detail has been provided of the proposed trash enclosure. This detail notes that the enclosure will have vinyl gates. It should be noted that the vinyl shall not be in the form of vinyl slats over a chain-link fence, as chain link fencing is not permitted for enclosures. This has been added as a condition of approval.
3. The applicant has informed staff that there will not be any air-conditioning for the building and therefore no exterior mechanical units will be needed. Should air-conditioning units or any other mechanical units be installed outside of the building in the future, they must be screened with landscaping or walls per Article 7, Section A, Part 3 (c) of the Zoning Ordinance. This has been included as a condition of approval.
4. The workshop site plan included a 10' wide drive aisle along the east side of the building, allowing for cars or smaller trucks to drive around the site. Although not a recommendation during the workshop, this drive aisle has since been removed.

Dimensional Table

	Required	Proposed/Existing
Minimum Lot Size	1 acre	1.28 acres
Minimum Lot Width	100'	150' +
Front Setback	50'	50'
Landscaped front yard	20'	25.34'
Side Setback (west)	20'	44.46'
Side Setback (east)	20'	20.5'
Rear Setback	30'	65'
Building Height	35'	23' 4"
Lot Coverage	No Max	21.8%
Impervious Lot Coverage	80%	55.7%

Parking & Loading

1. Indoor recreation facilities require *"1 parking space for every 4 patrons based upon the maximum occupancy of the facility, plus 1 parking space for each employee during the largest working shift"*. In an email from the applicant on April 13th, 2022, it was noted that the building is designed for a maximum

occupancy of 50, however, the description of the use submitted by the applicant notes that the total capacity will be 25. The applicant also noted that there may be up to 2 employees during the largest working shift. Using the higher occupancy of 50 persons, the indoor use would require a total of 15 parking spaces. The site plan illustrates a total of 28 parking spaces, including the required 2 ADA-accessible spaces, meeting this requirement.

2. The applicant noted that if all four indoor courts are being used at once, there may be up to 16 people playing at any one time. Other people may arrive early to wait to play.
3. The Zoning Ordinance requires a minimum drive aisle width of 24' when serving two rows of parking. The drive aisles within the parking lot are 24' & 25' wide, meeting this requirement.
4. All parking spaces measure 9' x 18.5', meeting the minimum code requirement of 9' x 18'.
5. The Zoning Ordinance requires at least 1 loading space, measuring 12' x 50'. A loading space with these dimensions has been striped within the paved area behind the building, meeting this requirement.
6. Concrete curbs are required for all paved areas and have been provided.

Architectural Style and Building Materials

1. The Zoning Ordinance lists regulations for new construction within the I-1 zone district:
 - a) *Exterior walls shall be of face brick, architectural steel and aluminum, stone, glass, exposed aggregate panels, textured or architecturally finished concrete, steel, or wood. Equivalent or better materials, or any combination of the above, may be used in a well-conceived or creative application.*
 - b) *Common brick and concrete block are prohibited as exterior building materials.*
 - c) *Split face block is only permitted on front and side façades where architectural features (such as columns, horizontal bands, etc.) are incorporated into said façades.*
 - d) *Corrugated metal or pre-engineered metals installed with exposed fasteners are only permitted on front façades if 50% of said front façade is masonry, and are only permitted on side façades where architectural features (such as columns, horizontal bands, etc.) are incorporated into said side façades.*

The proposed building would be primarily constructed of split face CMU block and painted metal siding with a standing seam metal roof. Accent features include scored CMU block at the building corners and sides, an awning on the north (front) façade and frosted glass transom windows on the front and rear façades. The front façade contains at least 50% masonry, as required per (d) above. Although it is not required per code, the east side elevation is also 50% masonry, which will be most visible upon approach to the site. Typically, color building elevations or renderings are provided to the Plan Commission to evaluate the building aesthetics. The applicant has not submitted any color renderings, material boards or paint swatches, although they may be requested by the Plan Commission.

There are four (4) other existing buildings in the East Point Park subdivision. The adjacent building to the east for HB Fuller is primarily constructed of split face CMU block and corrugated metal. The other buildings for Roma Sports Club, Architectural Grilles & Sunshades, Inc. and Southwest Town Mechanical

(HVAC) include construction materials such as split face CMU block, corrugated metal, brick and decorative window louvers. Photographs of these buildings have been included with the staff report.

Stormwater & Drainage

1. Robinson Engineering has performed a cursory review and has indicated that the subdivision has been pre-engineered for drainage. There are existing storm sewers that collect water from Lots 9-17 and drain into the existing detention pond immediately northwest of the site. Final engineering approval will be required prior to the release of building permits and this has been added as a condition of approval of the special use permit.
2. There are no wetlands or floodplains on the subject property.

Landscaping

Like many of the undeveloped lots within the East Point Park subdivision, the site is treeless, and a tree survey was not required. The workshop landscape plan complied with the Village's Landscape Ordinance. However, due to the changes in site design, including the removal of the sports courts, the east drive aisle and the parking lot, a revised landscape plan will be required and has been added as a condition of approval.

The Landscape Ordinance requirements are as follows:

1. Parkway Trees (Street Trees): The Landscape Ordinance requires one 2.5" caliper *overstory* tree for every 35 lineal feet of road frontage (not including driveways). The road frontage along W. Fey Drive is approximately 300 feet, requiring 9 overstory trees.
2. Parking Lot Landscaping: Landscaping is required to screen the parking spaces from view as well as provide landscaping within parking lot islands and fingers.

Lighting

1. The site will be illuminated with building-mounted wall pack lights. There will be no freestanding light poles. The Zoning Ordinance notes that light levels shall not exceed 0.5 foot-candles along any property line. A photometric plan was submitted on May 17, 2022, which complies with the code.
2. The photometric plan lists the part number (light type) for the building-mounted lights. Staff has included an image of this wall pack light.

Other

1. There will be no bleacher-type seating provided within the building.
2. There will be no indoor food concessions inside the building.
3. The Fire District has reviewed the proposed site plan and does not have any additional comments at this time. A fire truck does not need to be able to circumnavigate the property.
4. Basements are not required for this type of development per the Zoning Ordinance or the Building Code.

Special Use Request

The following findings of fact are used to judge the merit of a special use permit request. The applicant has provided responses to these findings of fact in a separate attachment.

Findings of Fact:

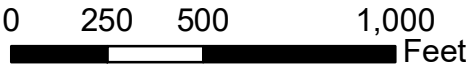
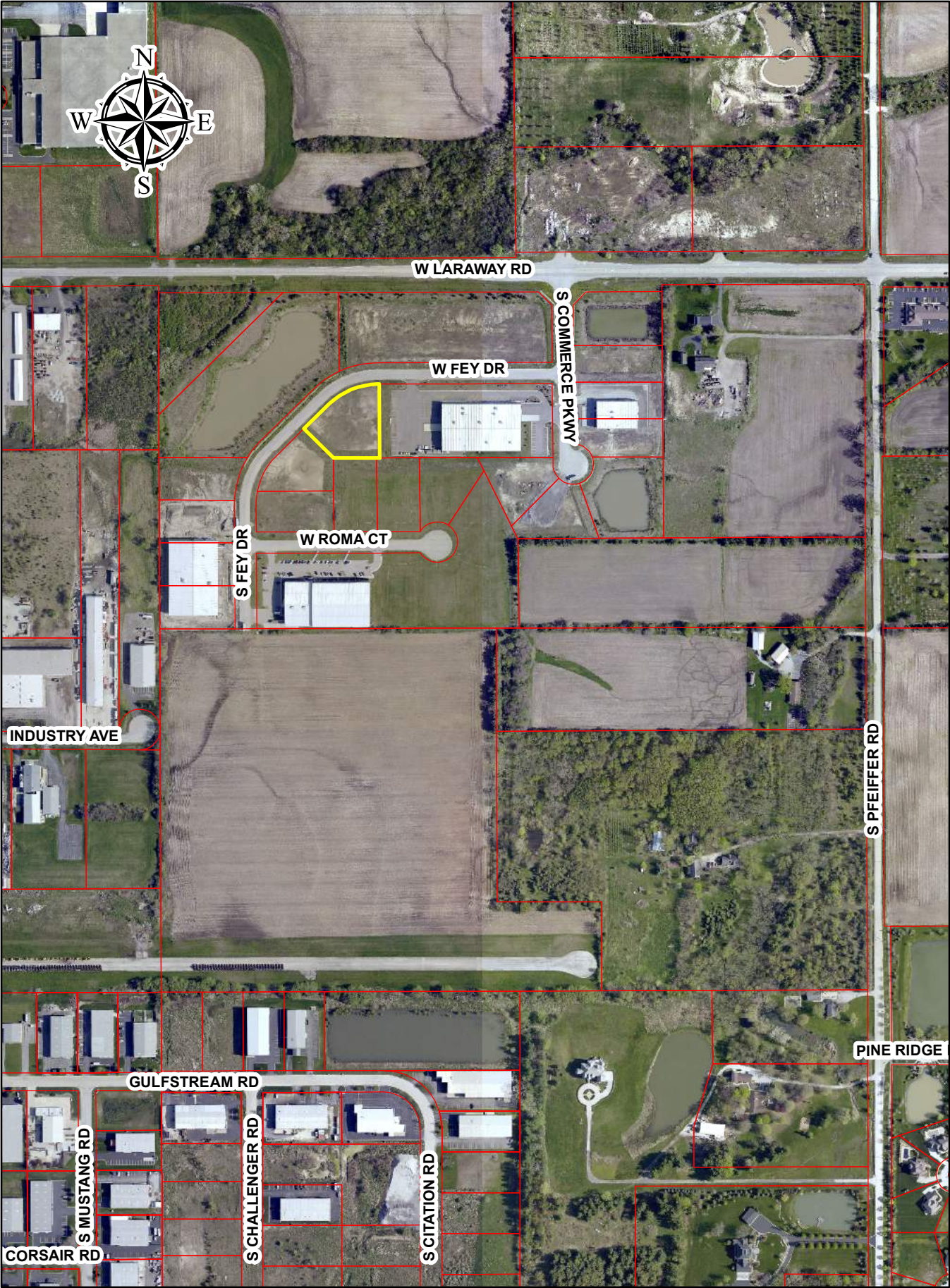
No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Affirmative Motions

1. Recommend to the Village Board to approve the special use permit for an indoor recreation facility, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on the submittal of a revised landscape plan, that any future mechanical units shall be screened from view, that the trash enclosure gate shall be vinyl and opaque (not chain link) and obtaining final engineering approval.

9093 W. Fey Drive - Proposed Pickleball Bldg.

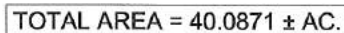


9093 W. Fey Drive - Proposed Pickleball Bldg.



LOTS 1 THROUGH 25, BOTH INCLUSIVE, AND LOTS 29, 30 AND 31 IN EAST POINT PARK, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 15, 2006 AS DOCUMENT NUMBER R2006-156045, IN WILL COUNTY, ILLINOIS.

LOTS 1 THROUGH 25, BOTH INCLUSIVE, AND LOTS 29, 30 AND 31 IN EAST POINT PARK, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 15, 2006 AS DOCUMENT NUMBER R2006-156045, IN WILL COUNTY, ILLINOIS.

[illegible]

ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-000238
 LICENSE EXPIRES: APRIL 30, 2015



Pic & Plā

Indoor Pickleball

Pick a court & play!



Pic & Plā

What is it?

- A for profit business that enables individuals to reserve 1 to 4 indoor courts to play pickleball.
- **Pickleball** is a paddle sport that combines elements of badminton, table tennis and tennis. Two or four players use a paddle that's ~ 2x the size of a ping pong paddle to hit a wiffle ball over a 36" net on a 20'x44' court.

The goal is to hit the ball over the net, within the boundaries of the court and in a manner that prevents your opponent from returning the ball back over the net. Games are generally played to 11 points.



Pic & Plā

Why?

- ~5M people in the US now play pickleball. It is the country's fastest growing sport.
- Frankfort has 3 dedicated **outdoor** pickleball courts at Commissioner's Park. Mokena, New Lenox, and Frankfort Square have another ~20 **outdoor** courts. When the weather is nice (no rain, snow, cold temps or high wind – ~6 months out of the year), these courts are often filled with long wait times between games.
- **There are 0 dedicated indoor pickleball courts within a 20-mile radius of Frankfort.**



Pic & Plā

How?

- There will be 4 indoor courts that can be reserved via an app.
- Reservations will be in two-hour increments from 7am to 9pm.
- When all 4 courts are being utilized for dedicated pickleball play, ~ 8-16 people will be in the facility.



Pic & Plā

Where?

- Lot 13 East Point Park
- In the same complex as Roma Sports (indoor softball, soccer & basketball)



Pic & Plā

When?

- Goal is to break ground in May
- Estimated construction time of 8 months
- Target opening in January 2023



Pic & Plā

FAQs

- What are the hours of operation? M-Sunday, 7am – 9pm.
- Will this be membership based? No, pay per use.
- Will there be bleacher type seating? No.
- What is the estimated total capacity at any one time? 25.
- Will there be a concessions stand onsite? No.
- How many employees will there be? 1. The owner plans to be onsite most days.
- Will there be anything stored outside the building? No.

VILLAGE OF
FRANKFORT
INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
The facility will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare. The space will be used for indoor pickleball play and will promote a healthy, active lifestyle.
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity nor diminish or impair property values within the neighborhood. The facility will be in close proximity to ROMA sports club which has a special use permit for indoor recreation activities.
3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
The establishment of the special use will not impede the normal development of the surrounding property. The establishment will be built by Graefen development, which has considerable knowledge and experience building similar buildings in the same surrounding area.
4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
The exterior architecture appeal, functional plan and course of construction will not cause depreciation in the property values within the neighborhood.

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

Adequate utilities, access roads, drainage and/or necessary facilities are already in place or will be provided as part of the construction process.

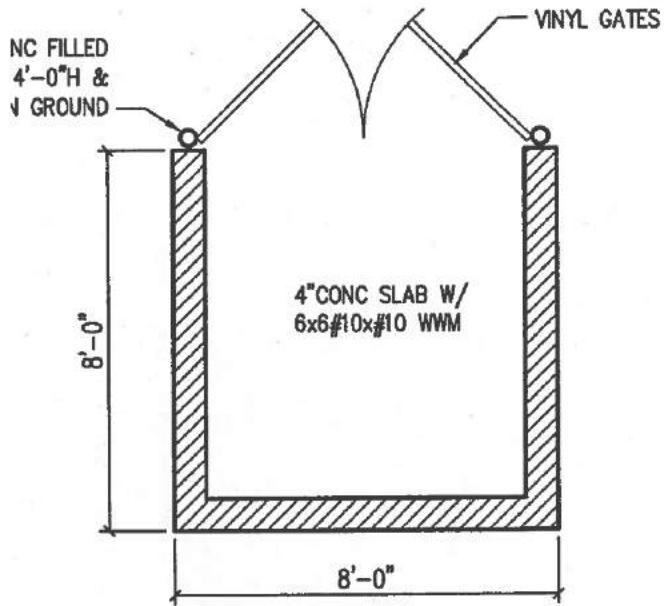
6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Adequate measures will be taken to provide ingress and egress designed to minimize traffic congestion in the public streets.

7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

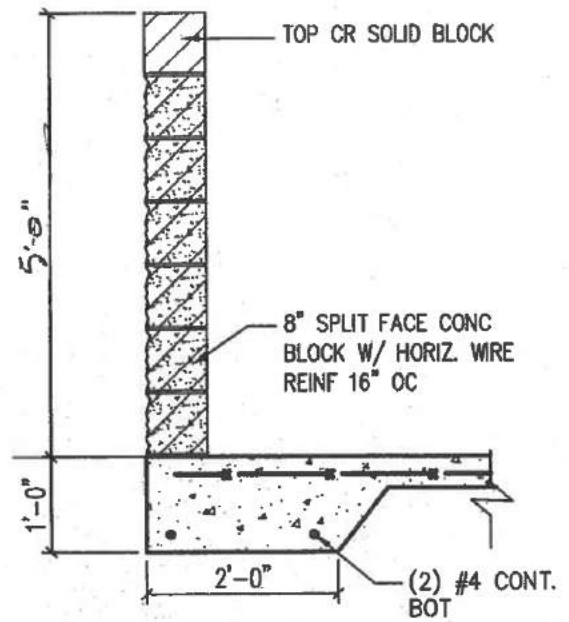
The special use will conform to the applicable regulations of the district in which it is located, including instances where the Village Board has modified regulations pursuant to the recommendation of the Plan Commission.

RECEIVED 5.17.22



GARB. ENCL.

SCALE: 1/4"=1'-0"



SECTION @ GARB. ENCL.

SCALE: 1/2"=1'-0"

ADJACENT BUILDING, HB FULLER - 9001 W. FEY (LOTS 9-12)



ADJACENT BUILDING, HB FULLER - 9001 W. FEY (LOTS 9-12)



SOUTHWEST TOWN MECHANICAL - 22349 S. COMMERCE PARKWAY (LOTS 4 & 5)



ROMA SPORTS CLUB - 9091 W. ROMA (LOTS 19-25)



ROMA SPORTS CLUB - 9091 W. ROMA (LOTS 19-25)



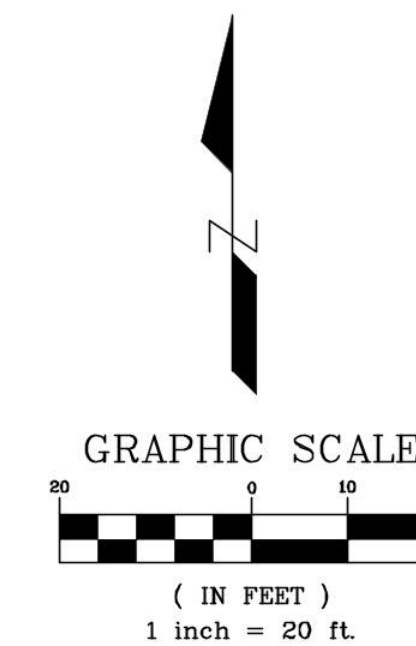
ARCHITECTURAL GRILLES & SHADES, 22442 W. FEY (LOTS 26-38)



ARCHITECTURAL GRILLES & SHADES, 22442 W. FEY (LOTS 26-28)



By Christopher Gruba at 4:26 pm, May 13, 2022



<u>PARKING REQUIRED</u>	
MAXIMUM OCCUPANCY:	50/4=12.5 USE 13
MAXIMUM EMPLOYEES:	2
OUTDOOR USE: 1 SPACE/10,000 S.F.	
=55,860/10,000=5.6	USE 6
<hr/>	
TOTAL STALLS REQUIRED:	21 (1 HANDI-CAP.)
 <u>PARKING PROVIDED</u>	
REGULAR STALLS:	26
HANDI-CAP STALLS:	2
TOTAL STALLS PROVIDED:	28

LOT AREA:	+/-55,660	S.F.
PROPOSED:		
FOUNDATION:	12,160	S.F.
CONCRETE WALK:	1,686	S.F.
TRASH ENCLOSURE AREA:	144	S.F.
ASPHALT PAVEMENT & CURB AREAS:	17,006	S.F.
TOTAL PROPOSED IMPERVIOUS:	30,996	S.F.
PROPOSED BUILDING COVERAGE:	12,160 / 55,660 =	21.85%
PROPOSED IMPERVIOUS LOT COVERAGE:	30,996 / 55,660 =	55.69%

NOTES:

1) ALL CURB RADII NOTED TO BACK OF CURB UNLESS NOTED OTHERWISE ON PLANS.

[illegible]

TONY VILLA
12934 W. BAKER ROAD
MANHATTAN, ILLINOIS 60442
(708) 254-1836

**FINAL ENGINEERING PLANS
FOR
LOT 13 EAST POINT PARK
9093 WEST FAY DRIVE
FRANKFORT, ILLINOIS**

DESIGNTEK ENGINEERING, INC.
CONSULTING, CIVIL ENGINEERING & LAND SURVEYING
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
FAX: (708) 326-4962

DEI

PROJECT INFORMATION
Project No.: 22-0014
Scale: 1"=20'
Date: 05-10-2022
Design By: SDS
Drawn By: NSM
Checked By: SDS

1 OF 1

SITE PLAN

REVIEW SET
NOT FOR CONSTRUCTION

By Christopher Gruba at 2:10 pm, Apr 18, 2022

[illegible]

TONY VILLA
12934 W. BAKER ROAD
MANHATTAN, ILLINOIS 60442
(708) 254-1836

PRELIMINARY LANDSCAPE PLAN
FOR
LOT #13 EAST POINT PARK
9093 WEST FEY DRIVE
FRANKFORD, ILLINOIS

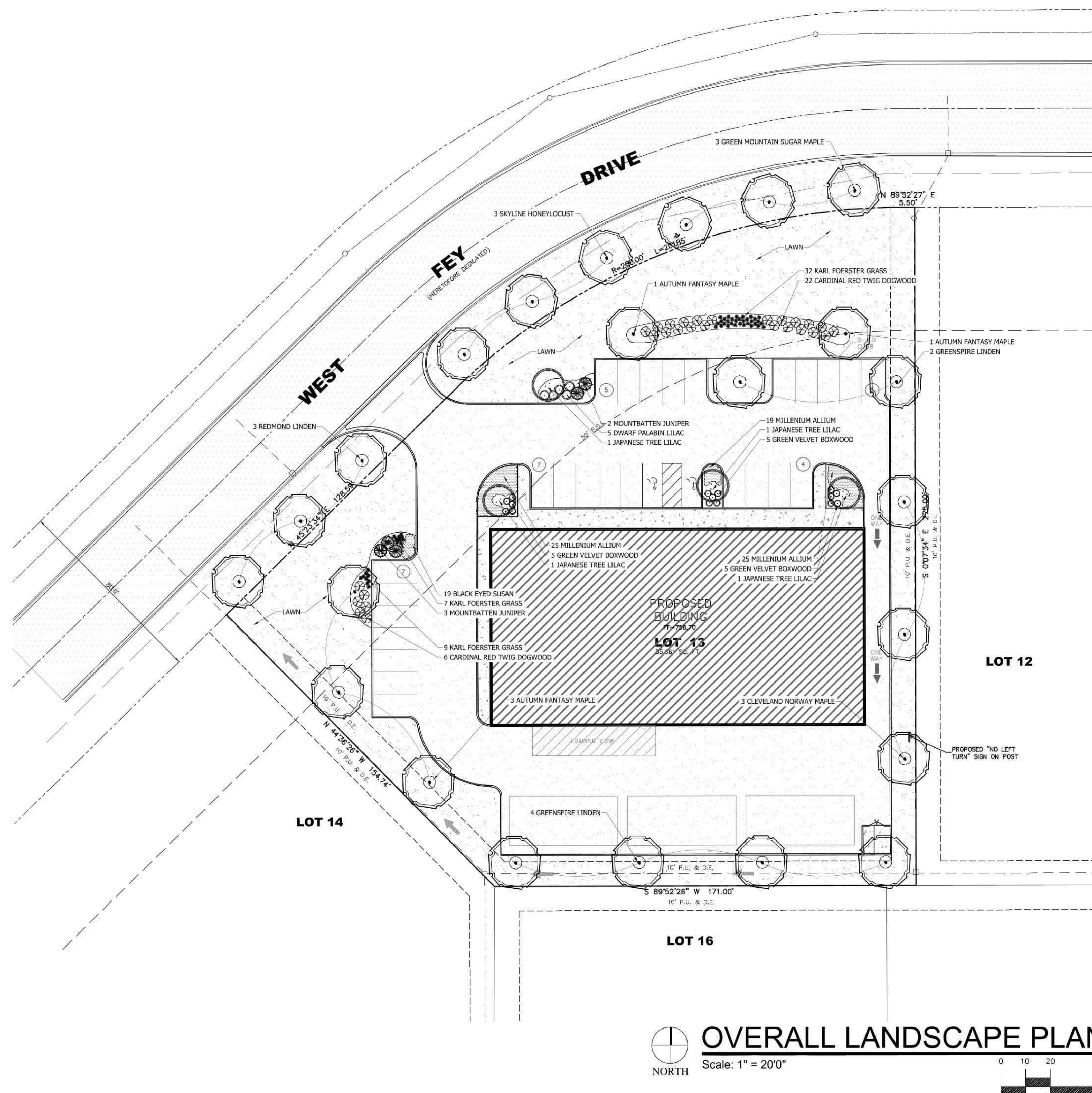
DESIGNTEK ENGINEERING, INC.
CONSULTING, CIVIL ENGINEERING & LAND SURVEYING
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
FAX: (708) 326-4962

DEI

PROJECT INFORMATION
Project No.: 22-0014
Scale: 1" = 20'
Date: 03-31-2022
Design By: SDS
Drawn By: NSM
Checked By: SDS

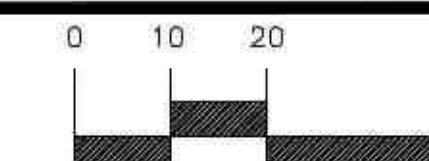
1 OF 3

PRELIMINARY LANDSCAPE PLAN



OVERALL LANDSCAPE PLAN

Scale: 1" = 20'0"



C:\Users\wdovi\Heller & Associates\Dropbox\H&A Project Files\MSLA_Commercial Bldg\MSLA Frankfurt Lplan 20220418_2.dwg Plot Date: 4/18/2022 8:25:18 AM By: wdovi



CALL 1-800-892-0123 or 811
AT LEAST 48 HOURS (2 WORKING
DAYS) BEFORE YOU DIG
WWW.ILLINOIS1CALL.COM

15. **Project Completion:** Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

1 DETAIL

SHADE TREE PLANTING

SECTION

- REMOVE V. CHOTED, STUBS, DOUBLE LEADERS AND OVERHANGING, HANGING BRANES PLANTS IF NEEDED ONLY AFTER PLANTING.
- PLANTING IS SUBJECT TO TIME OF YEAR AND SPECIES.
- WRAP TREE IN FALL FOR PROTECTION FROM WINTER DRYING.
- IF DEPTH EXCEEDS HARDWOOD MULCH OVER TRUNK AND ROOT PLACES MULCH AGAINST TREE TRUNK.
- HANGY BRANCH, SYNTHETIC TWINE, AND CAGE FROM 1" OF ROOT LATER, SCORP REMOVING 1" OF BURLAP ONCE TREE IS IN PLACE, AND STRENGTHEN, CAREFULLY BEND REMOVING CAGE DOWN TO BOTTOM OF HOLE.
- INSTALL ON IT'S RELEASED FERTILIZER PACKET FOR 1 CALIBER OF FREE, PLACE AGAINST ROOT BALL.
- DO NOT USE WATER THAN DIAMETER OF ROOT BALL.
- DO NOT USE SPECIFIED SOIL, AUGER A PACKET BY TAPPING SOIL, MIXTURE IN 4" LIFTS.
- EXTENDING SUBGRADE.
- WATER IMMEDIATELY AFTER PLANTING WITH A THOROUGH AND DEEP, SLOW RELEASE WATERING.

2 DETAIL

SHADE TREE PLANTING

SECTION

- PLANT TREE AT SAME LEVEL AS PREVIOUS, GROUND, CONDITION AT ROOT FLOOR.
- PLANT & GIVE'S HIGHER THAN SURROUNDING PAVED CONDITION.
- REMOVE BRANCHES, HANGING BRANES, BRANES PLANTS IF NEEDED ONLY AFTER PLANTING.
- PLANTING IS SUBJECT TO TIME OF YEAR AND SPECIFIC TREE SPECIES.
- IF DEPTH EXCEEDS HARDWOOD MULCH OVER TRUNK AND ROOT PLACES MULCH AGAINST TREE TRUNK.
- REMOVE BRANCH, SYNTHETIC TWINE, AND WIRE CAGE FROM 1" OF ROOT LATER, SCORP REMOVING 1" OF BURLAP ONCE TREE IS IN PLACE, AND STRENGTHEN.
- INSTALL ON IT'S RELEASED FERTILIZER PACKET FOR 1 CALIBER OF FREE, PLACE AGAINST ROOT BALL.
- DO NOT USE WATER THAN DIAMETER OF ROOT BALL.
- DO NOT USE SPECIFIED SOIL, AUGER A PACKET BY TAPPING SOIL, MIXTURE IN 4" LIFTS.
- EXTENDING SUBGRADE.
- WATER IMMEDIATELY AFTER PLANTING WITH A THOROUGH AND DEEP, SLOW RELEASE WATERING.

3 DETAIL

EVERGREEN TREE PLANTING

SECTION

Seed Compositions:	
<u>Reinder's Deluxe 50 Seed Mix (800-785-3301):</u>	Seed at rate of 150-200# per acre
20% Kentucky Bluegrass (Sod Quality)	15% Quebec Perennial Ryegrass
15% Newport Kentucky Bluegrass	10% Fiesta III Perennial Ryegrass
15% Ken Blue Kentucky Bluegrass	
25% Creeping Red Fescue	

1 DETAIL DECIDUOUS SHRUB PLANTING (POTTED) SECTION

FRAME OUT DEAD & BROWN BRANCHES. RETAIN NORMAL PLANT SHAPE.
 1" DEPTH 1/2 SHEEDED HARDWOOD MULCH OVER SOIL. DO NOT PLACE MULCH AGAINST STEMS.
 REMOVE BURLAP AND SYNTHETIC TIE. FRAM TOP 1/2 OF ROOTBALL. SCORE REMAINING 1/2 OF ROOTBALL.
 INSTALL TWO SLOW RELEASE FERTILIZER PACKETS AGAINST ROOT BALL.
 DO NOT EXCEED 1/2 HOODER THAN DIAMETER OF ROOT BALL.
 BACK FILL WITH SPECIFIED PLANTING MIX. AVOID AIR POCKETS BY TAMPING MATURE PLANT LIFTS.
 WATER IMMEDIATELY AFTER PLANTING WITH A THOROUGH AND DEEP, SLOW RELEASE, WATERING.
 CAREFULLY REMOVE PLANT FROM PLASTIC POT & SCORE ROOTS WITH A SHARP AXE.
 1" SHEEDED HARDWOOD MULCH BED
 TOP OF MULCH SHOULD BE CREATED 1" ABOVE PLANT FOR POSITIVE DRAINAGE. SLOPE GRASSLY BEHIND PLANT TO BE LIFT CRISP AS PER PLAN. A CLEAR DEFINITION BETWEEN TOP OF PLANTING MIX TURF & PLANTING MIX TURF

2 DETAIL DECIDUOUS SHRUB PLANTING (B&B) SECTION

FRAME OUT DEAD & BROWN BRANCHES. RETAIN NORMAL PLANT SHAPE.
 1" DEPTH 1/2 SHEEDED HARDWOOD MULCH OVER SOIL. DO NOT PLACE MULCH AGAINST STEMS.
 REMOVE BURLAP AND SYNTHETIC TIE. FRAM TOP 1/2 OF ROOTBALL. SCORE REMAINING 1/2 OF ROOTBALL.
 INSTALL TWO SLOW RELEASE FERTILIZER PACKETS AGAINST ROOT BALL.
 DO NOT EXCEED 1/2 HOODER THAN DIAMETER OF ROOT BALL.
 BACK FILL WITH SPECIFIED PLANTING MIX. AVOID AIR POCKETS BY TAMPING MATURE PLANT LIFTS.
 WATER IMMEDIATELY AFTER PLANTING WITH A THOROUGH AND DEEP, SLOW RELEASE, WATERING.
 CAREFULLY REMOVE PLANT FROM PLASTIC POT & SCORE ROOTS WITH A SHARP AXE.

3 DETAIL EVERGREEN SHRUB PLANTING SECTION

FRAME OUT DEAD & BROWN BRANCHES. RETAIN NORMAL PLANT SHAPE.
 1" DEPTH 1/2 SHEEDED HARDWOOD MULCH OVER SOIL. DO NOT PLACE MULCH AGAINST STEMS.
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 WATER IMMEDIATELY AFTER PLANTING WITH A THOROUGH AND DEEP, SLOW RELEASE, WATERING.
 CAREFULLY REMOVE PLANT FROM PLASTIC POT & SCORE ROOTS WITH A SHARP AXE.

4 DETAIL SPADE EDGE PLANT BED EDGE DETAIL SECTION

FRAME OUT DEAD & BROWN BRANCHES. RETAIN NORMAL PLANT SHAPE.
 1" DEPTH 1/2 SHEEDED HARDWOOD MULCH OVER SOIL. DO NOT PLACE MULCH AGAINST STEMS.
 REMOVE BURLAP AND SYNTHETIC TIE. FRAM TOP 1/2 OF ROOTBALL. SCORE REMAINING 1/2 OF ROOTBALL.
 INSTALL TWO SLOW RELEASE FERTILIZER PACKETS AGAINST ROOT BALL.
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 WATER IMMEDIATELY AFTER PLANTING WITH A THOROUGH AND DEEP, SLOW RELEASE, WATERING.
 CAREFULLY REMOVE PLANT FROM PLASTIC POT & SCORE ROOTS WITH A SHARP AXE.

5 DETAIL DECIDUOUS SHRUB PLANTING (B&B) SECTION

FRAME OUT DEAD & BROWN BRANCHES. RETAIN NORMAL PLANT SHAPE.
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 WATER IMMEDIATELY AFTER PLANTING WITH A THOROUGH AND DEEP, SLOW RELEASE, WATERING.
 CAREFULLY REMOVE PLANT FROM PLASTIC POT & SCORE ROOTS WITH A SHARP AXE.

6 DETAIL GROUNDCOVER / PERENNIAL PLANTING SECTION

FRAME OUT DEAD & BROWN BRANCHES. RETAIN NORMAL PLANT SHAPE.
 1" DEPTH 1/2 SHEEDED HARDWOOD MULCH OVER SOIL. DO NOT PLACE MULCH AGAINST STEMS.
 REMOVE BURLAP AND SYNTHETIC TIE. FRAM TOP 1/2 OF ROOTBALL. SCORE REMAINING 1/2 OF ROOTBALL.
 INSTALL TWO SLOW RELEASE FERTILIZER PACKETS AGAINST ROOT BALL.
 DO NOT EXCEED 1/2 HOODER THAN DIAMETER OF ROOT BALL.
 BACK FILL WITH SPECIFIED PLANTING MIX. AVOID AIR POCKETS BY TAMPING MATURE PLANT LIFTS.
 WATER IMMEDIATELY AFTER PLANTING WITH A THOROUGH AND DEEP, SLOW RELEASE, WATERING.
 CAREFULLY REMOVE PLANT FROM PLASTIC POT & SCORE ROOTS WITH A SHARP AXE.

7 DETAIL ORNAMENTAL GRASS PLANTING SECTION

FRAME OUT DEAD & BROWN BRANCHES. RETAIN NORMAL PLANT SHAPE.
 1" DEPTH 1/2 SHEEDED HARDWOOD MULCH OVER SOIL. DO NOT PLACE MULCH AGAINST STEMS.
 REMOVE BURLAP AND SYNTHETIC TIE. FRAM TOP 1/2 OF ROOTBALL. SCORE REMAINING 1/2 OF ROOTBALL.
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 BACK FILL WITH SPECIFIED PLANTING MIX. AVOID AIR POCKETS BY TAMPING MATURE PLANT LIFTS.
 WATER IMMEDIATELY AFTER PLANTING WITH A THOROUGH AND DEEP, SLOW RELEASE, WATERING.
 CAREFULLY REMOVE PLANT FROM PLASTIC POT & SCORE ROOTS WITH A SHARP AXE.

8 DETAIL ORNAMENTAL GRASS PLANTING SECTION

FRAME OUT DEAD & BROWN BRANCHES. RETAIN NORMAL PLANT SHAPE.
 1" DEPTH 1/2 SHEEDED HARDWOOD MULCH OVER SOIL. DO NOT PLACE MULCH AGAINST STEMS.
 REMOVE BURLAP AND SYNTHETIC TIE. FRAM TOP 1/2 OF ROOTBALL. SCORE REMAINING 1/2 OF ROOTBALL.
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 BACK FILL WITH SPECIFIED PLANTING MIX. AVOID AIR POCKETS BY TAMPING MATURE PLANT LIFTS.
 WATER IMMEDIATELY AFTER PLANTING WITH A THOROUGH AND DEEP, SLOW RELEASE, WATERING.
 CAREFULLY REMOVE PLANT FROM PLASTIC POT & SCORE ROOTS WITH A SHARP AXE.

Call
Before
You Dig

JULIE

[illegible]

RELIQUARY LANDSCAPE PLAN
FOR
LOT #13 EAST POINT PARK
9093 WEST FEY DRIVE
FRANKFORT, ILLINOIS

DESIGNTEK ENGINEERING, INC.
CONSULTING, CIVIL ENGINEERING & LAND SURVEYING
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
FAX: (708) 326-4962

(DEI)


PROJECT INFORMATION
Project No.: 22-0014
Scale: 1" = 20'
Date: 03-31-2022
Design By: SDS
Drawn By: NSM
Checked By: SDS

3

OF

3

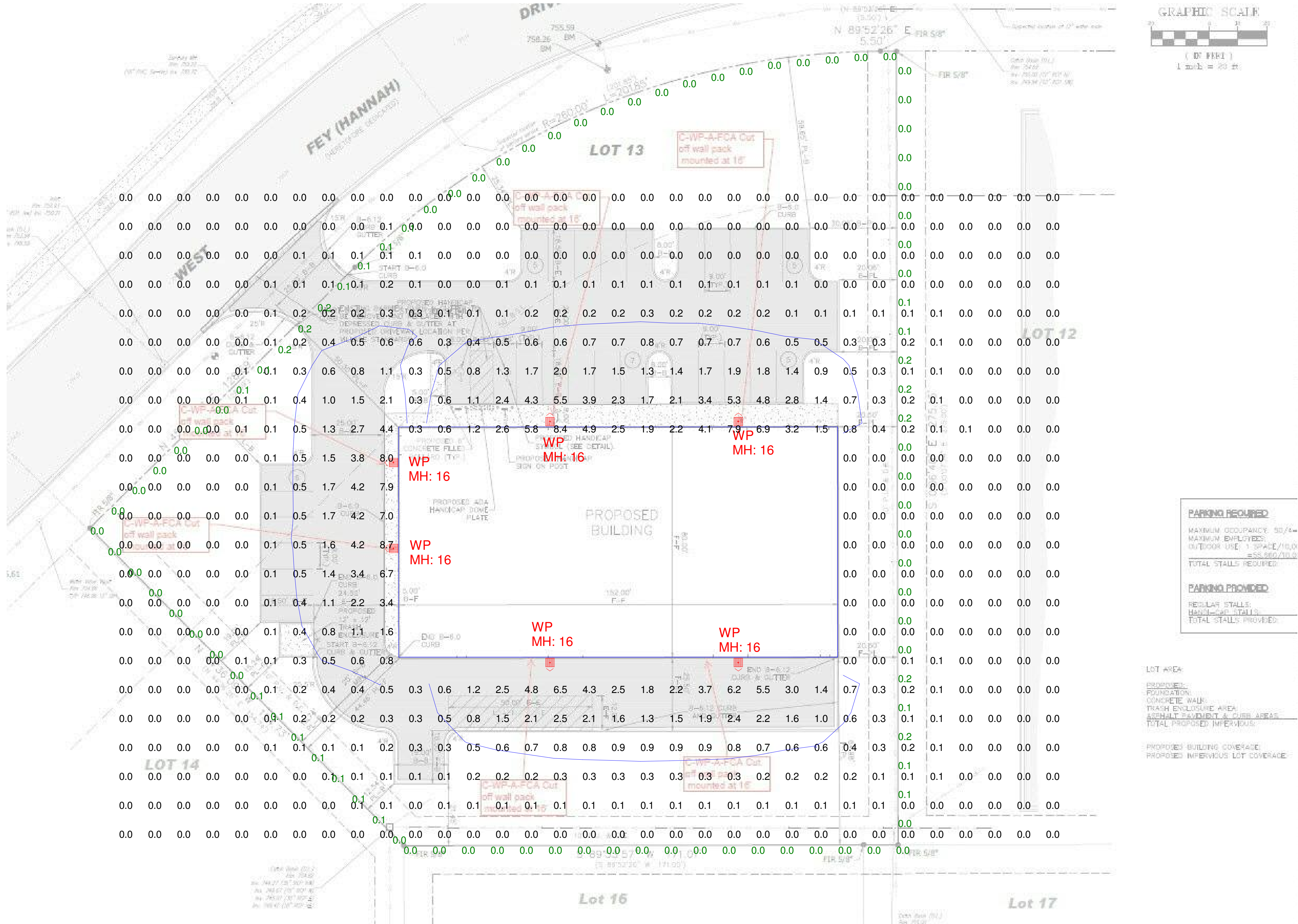
PRELIMINARY LANDSCAPE DETAILS NOTES

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	6	WP	Single	1.000	9000	62	C-WP-A-FCA-09-40K-DB

Calculation Summary (Footcandles calculated using initial lumen values @ 25°C)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Fc	0.52	8.7	0.0	N.A.	N.A.
PROPERTY LINE	Fc	0.04	0.2	0.0	N.A.	N.A.

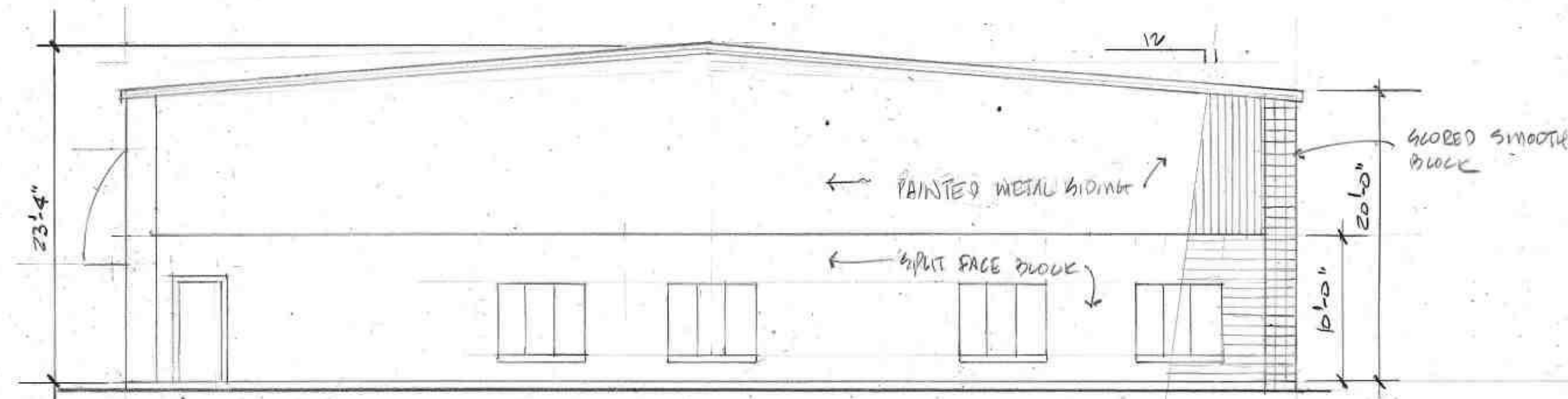
*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***

RECEIVED
By Christopher Gruba at 2:05 pm, May 17, 2022



RECEIVED

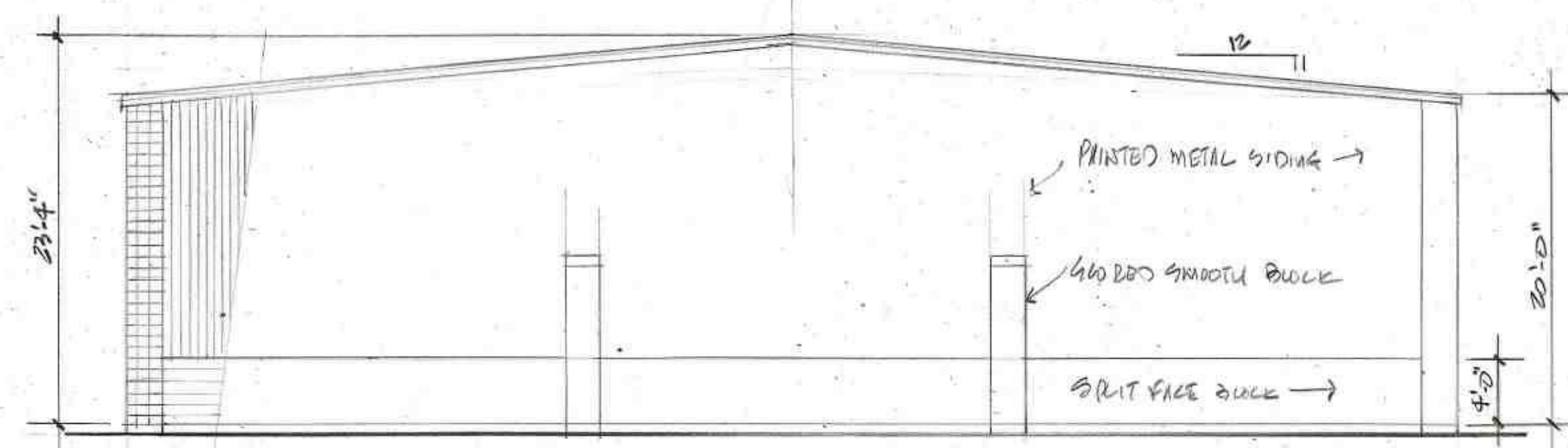
By Christopher Gruba at 8:49 am, Apr 14, 2022



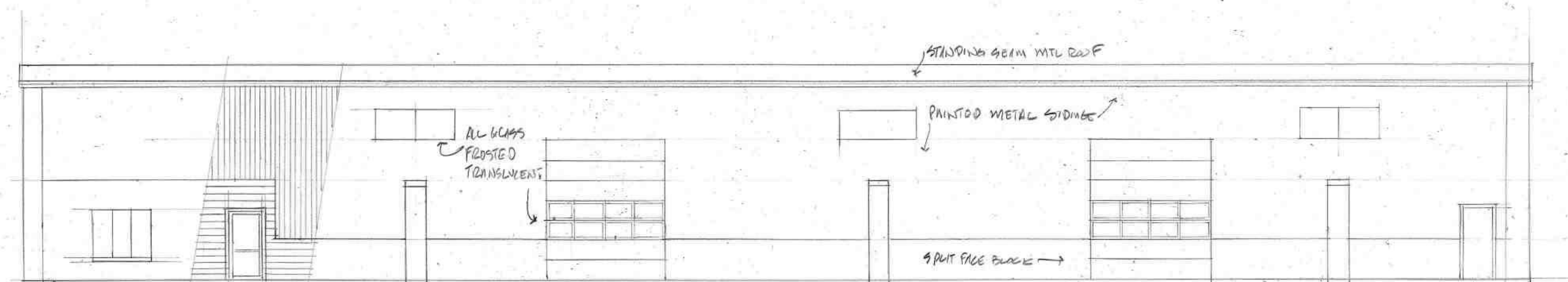
EAST ELEVATION SCALE 1/8" = 1'-0"



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

	NEW BUILDING FOR	DATE
	PICK & PLAY	APRIL 7, 2022
	10013 WEST PEY DRIVE FRANKFORT, ILLINOIS	REVISED
	m.j.root • architect	APRIL 13, 2022
324 center rd. Frankfort, Illinois 60423	815-464-0777	DRAWING
		2 of 2

By Christopher Gruba at 9:11 am, Apr 12, 2022



Project: Chase Bank – Rooftop Solar Panels
Meeting Type: Workshop
Request: Variation
Location: 20801 S. La Grange
Applicant: Breanne Mocaby, Black & Veatch for Pieper Electric
Prop. Owner: JP Morgan Chase Co.
Representative: Applicant

Site Details

Lot Size: 1.72 acres (74,923 square feet)
PIN: 19-09-22-101-027-0000
Proposed Zoning: N/A
Existing Zoning: B-2, Community Business
Buildings: 1 building
Building area: 4,364 square feet
Drive-thru canopy: 2,050 square feet (approximately)
Lot Coverage: 8.6% (approximately)

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Bank	Gen. Commercial	B-2
North	Undeveloped	Gen. Commercial	B-4
South	Commercial	Gen. Commercial	B-2
East	Office	Gen. Commercial	B-2
West (County*)	Public School	Public Institutional	R-2*

Figure 1. Location Map



Project Summary

The applicant is proposing to install rooftop solar panels on top of the existing Chase Bank building. The proposed rooftop solar panels would be located on all four sides of the pitched roof, including on top of the pitched roof over the drive-through. Historically, the Village has classified non-residential rooftop solar panels as “mechanical equipment”, which must be screened from view from public rights-of-way, adjoining properties and adjacent residential structures. The most typical form of screening rooftop equipment is by using parapet walls, commonly installed on flat-roof buildings. Since the roof is pitched, the applicant is electing to apply for variations to allow for unscreened rooftop equipment. The applicant is seeking relief from two sections of the Zoning Ordinance: Article 7, Section A, Part 2 (c) and Article 7, Section A, Part 10.

Attachments

- Location Map, prepared by staff (VOF GIS) scale 1:4,000
- Location Map, prepared by staff (VOF GIS) scale 1:1,000
- Plat of Survey, prepared by W-T Land Surveying, Inc.
- Proposal Summary Information (Narrative), prepared by applicant, dated May 10, 2022
- Photographic simulation provided by applicant, received 5.5.22

- Construction drawings, provided by applicant, received 5.5.22
- Variation findings of fact responses, prepared by applicant
- Photographs of the site, taken by staff 5.13.22
- Google street view images, September, November and December 2021

Analysis

- Per the strict interpretation of the Zoning Ordinance, the rooftop solar panels must be screened from view from all adjacent properties and rights-of-way (all four directions).
- The site is bordered by mature trees along both road frontages and most of the northern property line.
- The installation of parapet walls on a building with a sloped roof would not sufficiently screen the rooftop solar panels, unless the parapet walls were raised to the height of the peak of the roof.
- Screening, including parapet wall screening, may block sunrays from reaching the rooftop solar panels.
- Rooftop solar panels are exempt from screening on residential structures under 30' tall, per the Homeowner's Solar Rights Act (Public Act 096-1436).

Variation Findings of Fact

Since there are two separate sections of the Zoning Ordinance that address rooftop equipment screening, the request technically involves two separate variation requests. The applicant has provided responses to the below findings of fact for variations.

A variance may only be issued when the standards of variation are met.

1. That the property in question cannot yield a reasonable rate of return if permitted to be used only under the conditions allowed by the regulations in that zone.
2. That the plight of the owner is due to unique circumstances.
3. That the variation, if granted, will not alter the essential character of the locality.

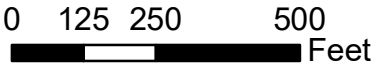
For the purposes of evaluating the above standards, the following shall be considered by the Zoning Board of Appeals:

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

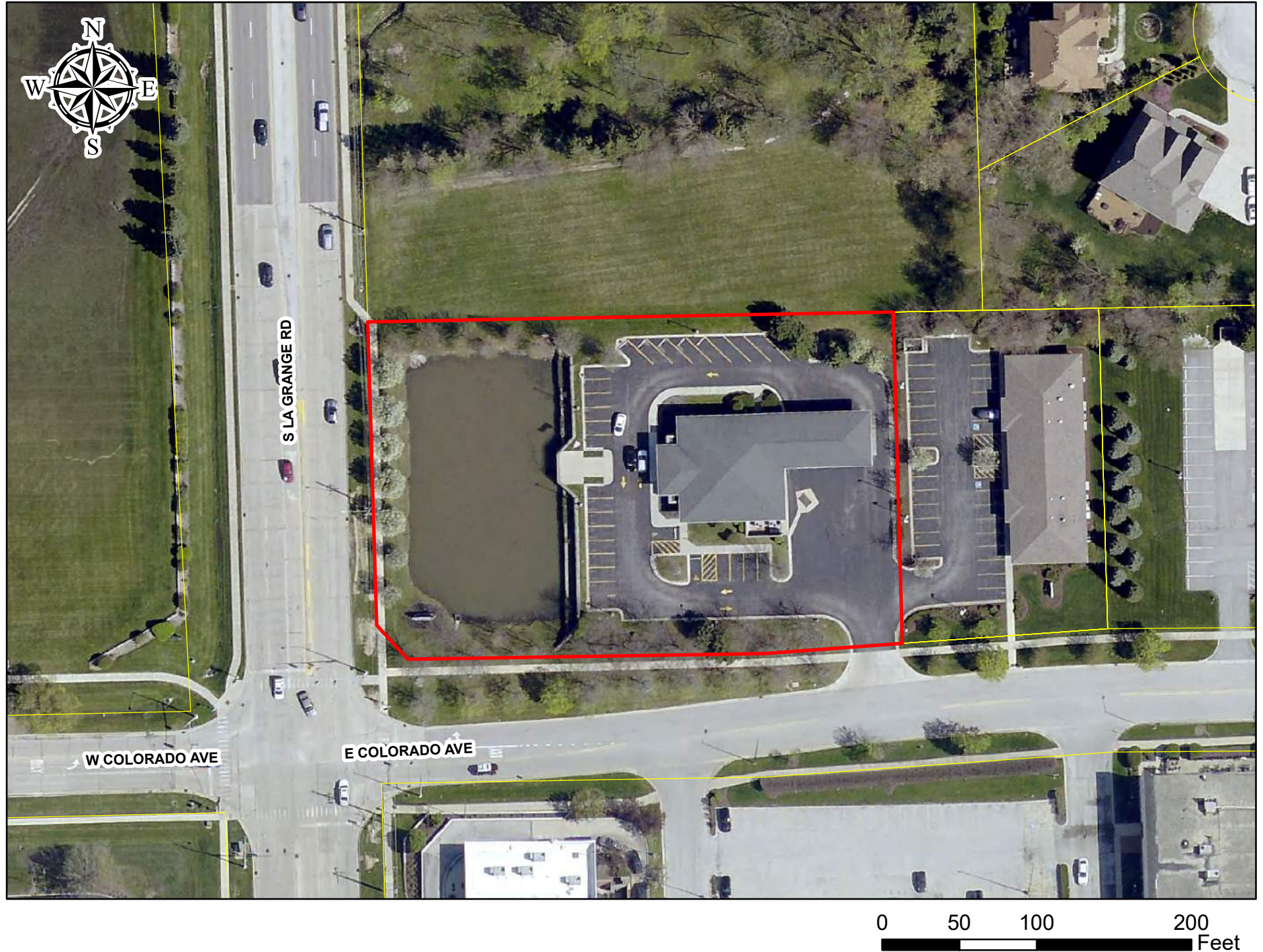
6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

20801 S. La Grange - Chase Bank



20801 S. La Grange - Chase Bank

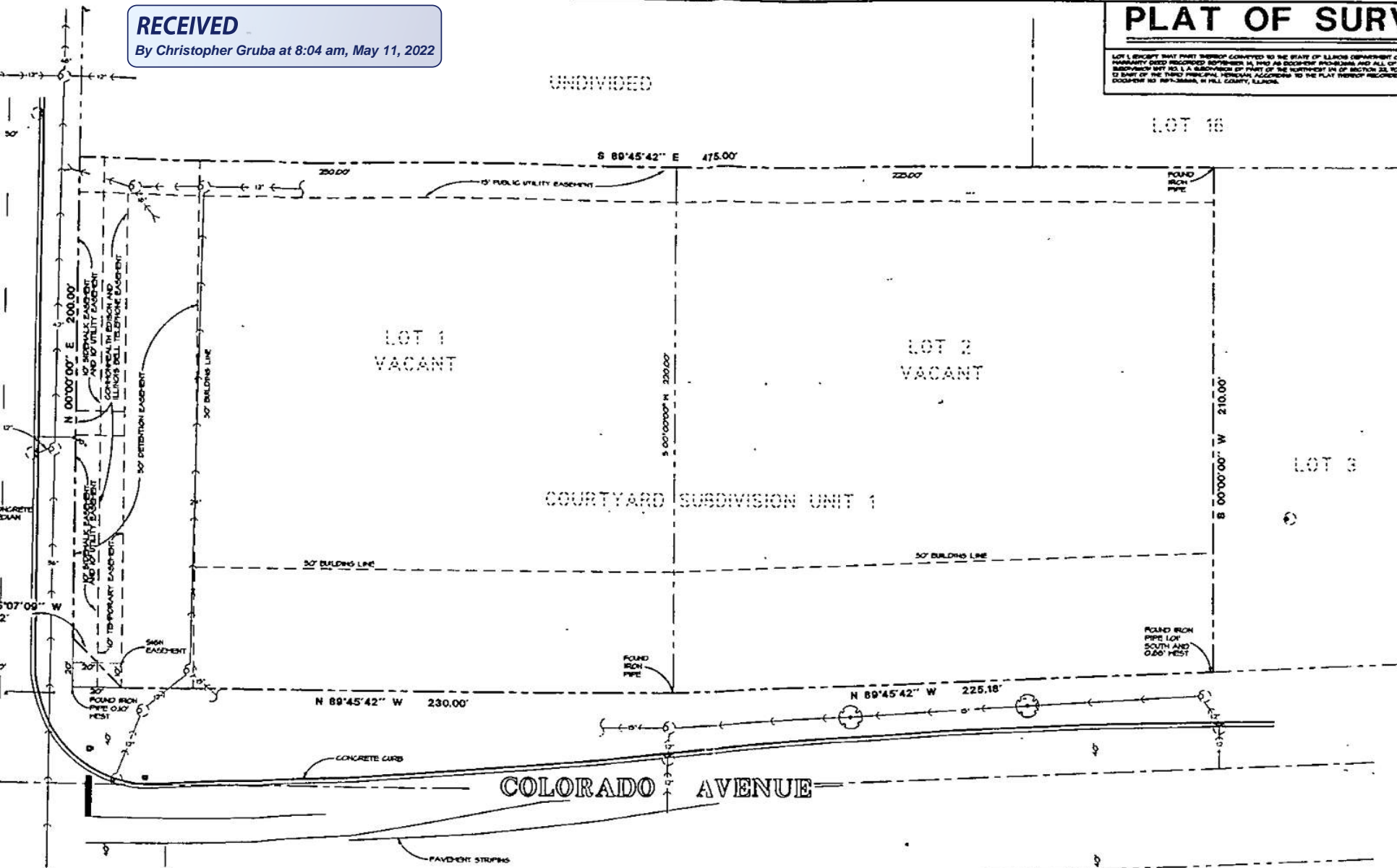


RECEIVED

By Christopher Gruba at 8:04 am, May 11, 2022

PLAT OF SURVEY

LOT 1 EXCEPT THAT PART THEREOF CONVEYED TO THE STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION BY HANSEN DEED RECORDED NOVEMBER 14, 1960 AS DOCUMENT #10-35884 AND ALL OF LOT 2, CONTAINED AND DESCRIBED BY NO. 1, A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 22, TOWNSHIP 33 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT HERETOFORE RECORDED MAY 31, 1961, AS DOCUMENT NO. 897-35884, IN HILL COUNTY, ILLINOIS.



W-T LAND SURVEYING, INC.

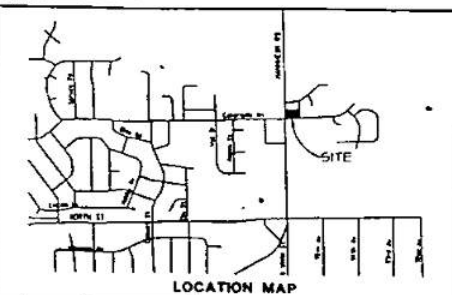
LAND AND CONSTRUCTION SURVEYORS
391 EAST SCALLY DRIVE
SPRINGFIELD, ILLINOIS 62761
(618) 244-1111

WE, W-T LAND SURVEYING, INC. HEREBY CERTIFY THAT WE ARE ILLINOIS REGISTERED LAND SURVEYORS IN COMPLIANCE WITH THE LAWS OF THE STATE OF ILLINOIS AND THAT THIS PLAT CORRECTLY REPRESENTS A SURVEY COMPLETED BY US ON THIS 20th DAY OF MAY, A.D. 2022, AND THAT ALL MONUMENTS SHOWN THEREON ACTUALLY EXIST AND MATERIALS ARE ACCURATELY LOCATED.

GIVEN UNDER MY HAND AND SEAL THIS 20th DAY OF MAY, A.D. 2022



Roger K. Moehling
SURVEYOR



LEGEND

— PROPERTY LINE	○ CLOSED MANHOLE	— UTILITY POLE
— CENTER LINE	○ OPEN GRATE MANHOLE	— GUY WIRE ANCHOR
— EASEMENT LINE	— GUTTER FRAME	— STORM SEWER
— BUILDING SETBACK	— FIRE HYDRANT	— SANITARY SEWER
— MEASURE'S DATA	— STREET LIGHT	— WATER/GAS/ELEC
— RECORD DATA	— TRAFFIC SIGNAL	— FENCE LINE
— DEED DATA	— SPOT GRADE	

DATE: _____
SCALE: _____
DRAWN BY: _____
CHECKED BY: _____
JOB: _____
SHEET: 6-1
OF ONE

W-T LAND SURVEYING, INC.
LAND AND CONSTRUCTION SURVEYORS
391 EAST SCALLY DRIVE
SPRINGFIELD, ILLINOIS 62761
(618) 244-1111



NEC RTE 45 AND COLORADO

PLAT OF SURVEY

DATE: _____
SCALE: _____
DRAWN BY: _____
CHECKED BY: _____
JOB: _____
SHEET: 6-1
OF ONE

I. PROPOSAL SUMMARY INFORMATION

DATE: May 10, 2022

APPLICANT:

Breanne Mocaby with Black & Veatch
19801 SW 72nd Ave Suite 200
Tualatin, OR 97062

Telephone: 503-443-4462

Email: MocabyB@bv.com

PROPERTY OWNER:

JP Morgan Chase

REQUEST:

Variance to Article 7, Section A, Part 3 C.7 and Article 7, Section A Part 10 to add solar panels and associated equipment.

PARCEL NUMBER:

19-09-22-101-027-0000

LEGAL DESCRIPTION:

LOT 1 IN BANKONE FRANKFORT SUB, A RESUB OF LOT 1 (EX THAT PRT THROF CONVEYED TO IDOT PER R90-051268); AND ALL OF LOT 2 IN COURTYARD SUB UNIT 1, BEING A SUB OF PRT OF THE NW1/4 OF SEC 22, T35N-R12E.

LOCATION:

20801 S La Grange Rd Frankfort, IL 60423

ZONING:

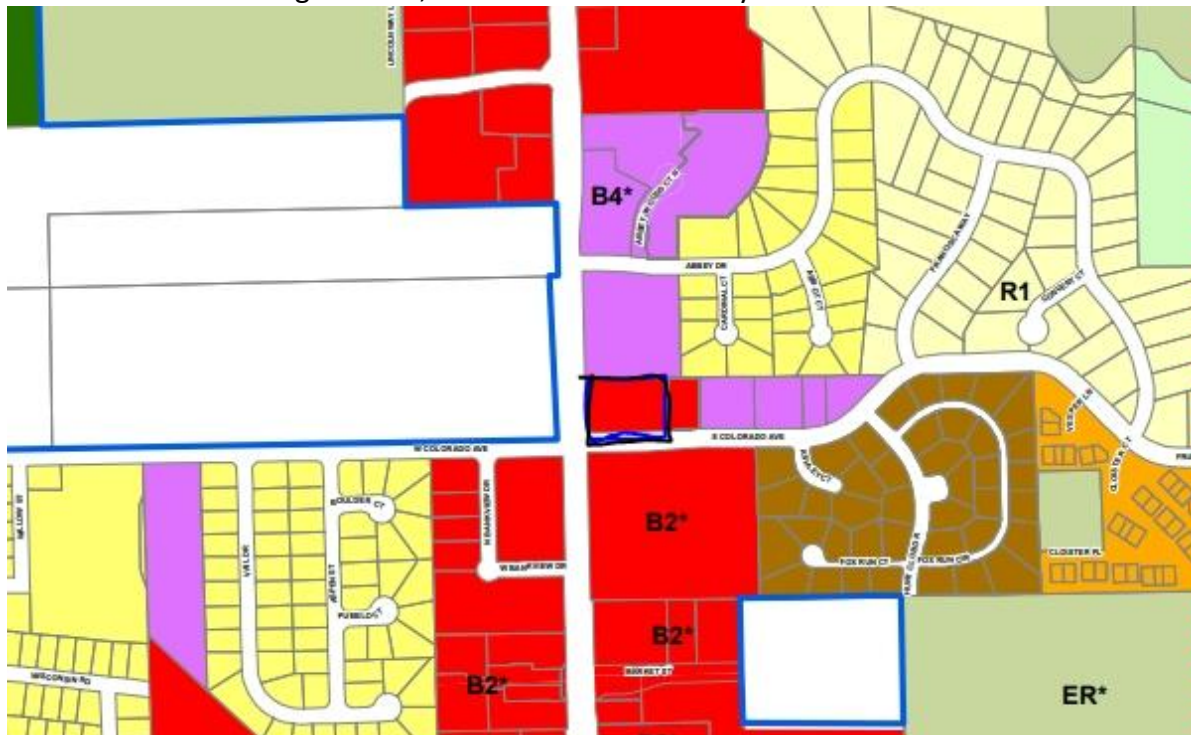
B2 Community Business District



II. PROJECT DESCRIPTION

JP Morgan Chase is requesting approval to obtain the applicable permits required to install, maintain, and operate (168) Mission Solar Modules on West, East, North and South planes of the pitched asphalt shingle roof. The solar installation will also include (1) Utility Disconnect Switch, (1) combiner panel, (1) Metering and Surge protection cabinet, (1) inverter fused disconnect switch and (2) inverter mounted on the wall of the Northwest side of the building. The new transformer for the installation will be ground mounted directly in front of this equipment

Surrounding Area- The proposed rooftop solar installation will be located on an existing bank roof-top. There are no buildings proposed with this solar installation. The parcel is located on the corner of S. La Grange Road and Colorado Ave. The parcel is zoned for B2 Community Business District. The other B2 zoned parcels currently have an office building (east) and large-scale commercial complex (south). The parcel is neighbored to the north by B4 office district which is current vacant land and the parcel across South La Grange Road seems to be a High School, but is not within the city limits of Frankfort.



Materials & Colors- The proposed installation has been designed to blend with the design aesthetic of the existing commercial bank building. The solar panels will be flush mounted to the roof and will not exceed the overall height of the building. The proposed solar panels are black with light gray racking. The solar panels have an anti-reflective coating to reduce glare.

The accessory equipment will be placed near existing side mounted building equipment away from the right of way, painted to match the existing brick and buffered by existing landscaping.

Example photos from similar installations:



Photo Simulations of the installation are attached to this application.

III. APPLICABLE SECTIONS OF THE VILLAGE ZONING ORDINANCE

The following sections of Zoning Ordinances are applicable to this application:

Village of Frankfort Zoning Ordinance:

Article 7, Section A, Part 3, c

c. Service/Utility Areas: All service and utility areas which include, but are not limited to, loading docks, exterior storage areas, dumpsters and mechanical equipment such as plumbing vent stacks, HVAC transformers, fans and cooling towers, shall be screened from view by:

1. Locating all service/utility areas away from public rights of way and concealing them from building entrances, pedestrian areas and adjacent residential structures.

Accessory equipment to the solar panels will be located on the NE corner of the building away from public rights of way and with other similar building utility equipment.

2. Providing for joint use of service areas by multiple adjoining buildings.

Not applicable to this application

3. Incorporating trash enclosures into building design.

Not applicable to this application

4. Screening utility service areas from public view with building elements/materials similar in appearance to the main structure.

Accessory equipment to the solar panels (except the invertor) will be painted to blend in with the color of the brick exterior.

5. Providing below ground utility connections for all new developments.

Not applicable to this application

6. Locating mechanical equipment such as air conditioners/exchangers out of view from public rights of way and circulation paths, and away from residential living or sleeping areas.

Not applicable to this application

7. Screening rooftop mechanical equipment from view from adjoining properties by building elements such as parapet walls.

The village of Frankfort does not have code that directly addresses roof-top solar installations. For this application solar panels are being considered mechanical equipment. However, solar panels are aesthetically dissimilar to referenced rooftop mechanical equipment such as cooling towers and HVAC transformers, they are low profile and will be installed flush with the slope of the roof with anti-glare coating and muted colors. Solar panel functionality is also location specific, the square footage covered is proportional to power generated. Solar panels cannot be consolidated in a small area and fully screened as is common with other mechanical equipment. Installation of parapet walls is not structurally possible, would severely limit solar panel functionality due to shading and would create an unusual

architectural appearance. It is not possible to fully screen solar panels on a sloped roof from adjoining properties.

8. Permanent or temporary exterior storage or display of inventory, business vehicles or personal vehicles is prohibited without the issuance of a permit.

Not applicable to this application

9. Providing landscape screening in accordance with the Village of Frankfort Landscape Regulations.

Not applicable to this application

Article 7, Section A, Part 10 Screening

a. Screening of service yards, utility meters and hardware, mechanical equipment, refuse areas, and/or other potentially unattractive places from public view, shall be accomplished by the use of walls, fencing, planting or combinations of all of the measures that follow. Screening shall be equally effective in the winter and the summer seasons.

1. Adjusting the architectural or landscape profile to screen those elements from view;

2. Placing those elements on service courts or other locations not usable by the general public; or

3. Integrating those elements into the architecture or landscaping of the site.

The village of Frankfort does not have code that directly addresses roof-top solar installations. For this application solar panels are being considered mechanical equipment. However, solar panels are aesthetically dissimilar to referenced mechanical equipment such as cooling towers and HVAC transformers. Solar panels are low profile and will be installed flush with the slope of the roof with anti-glare coating and muted colors. Solar panel functionality is also location specific, the square footage covered is proportional to power generated. Solar panels cannot be consolidated in a small area moved to the ground and fully screened with walls or fences as is common with other mechanical equipment. The solar panel accessory equipment will be located on the northeast corner of the building away from view from the Colorado Ave and 280 feet away from La Grange Road. It will be placed alongside similar existing building mechanical equipment. It will be painted to match the brick of the building (except the inverter which cannot be painted for safety reasons) and screened by either existing or replacement landscaping. The solar accessory equipment will be screened similarly to existing equipment.

b. The degree of visibility and screening of service yards, utility meters and hardware, mechanical equipment, refuse areas and/or potentially unattractive places shall be evaluated using the following criteria:

- 1. The degree of visibility from all adjacent public ways;**
- 2. The architectural compatibility of the design and color of the yards, meters and equipment of the building;**
- 3. Possible visibility from future buildings and public ways; and**
- 4. Internal overall appearance in relation to the site.**

The roof-top solar panels are visible from the adjacent public ways but because they are flush mounted and in a muted color, they are architecturally compatible with the design of the building. It is not possible to fully screen solar panels on a sloped roof from adjacent properties.

Article 3, Section B, Part 3 Standards of Variation

- A. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:**
- 1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;**

JP Morgan Chase requests a variation to add solar panels to the roof-top of the existing building. Under strict application of the code, solar panels are not allowed on most sloped roof buildings and in the B-2 district flat roofs are discouraged (Article 7, Section B, Part 5,f). Without a variance, JP Morgan Chase has no path forward to install solar on this property. As solar becomes more common, this will impact the resale value of the property. The requested variance will support Comprehensive Plan goal 4.2 "Improve energy efficiency, foster appropriately scaled and located local energy production and increase the use of renewable energy."

- 2. That the plight of the owner is due to unique circumstances; and**

The unique architectural character of the building; having a sloped roof is encouraged by Village of Frankfort Site Development Regulations but this unique architectural character excludes the installation of solar under strict application of the code.

3. That the variation, if granted, will not alter the essential character of the locality.

The roof-top solar panel installation has been designed to maximize renewable energy production with minimal aesthetic impacts. The panels are flush mounted with an antiglare coating and the equipment colors are muted. The solar panels will be visible from adjoining properties but they will be heavily buffered by extensive existing landscaping and trees along La Grange Road and Colorado Ave and between parcels. The accessory equipment will be located on the North side of the building, grouped with similar existing equipment and away from the public rights of way. The solar equipment is compatible with the appearance and commercial character of the neighboring properties and supports the community generated comprehensive plan goal of increasing the use of local renewable energy production.

VILLAGE OF
FRANKFORT
INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

JP Morgan Chase requests a variation to add solar panels to the roof-top of the existing building. Under strict application of the code, solar panels are not allowed on most sloped roof buildings and in the B-2 district flat roofs are discouraged (Article 7, Section B, Part 5,f). Without a variance, JP Morgan Chase has no path forward to install solar on this property. As solar becomes more common, this will impact the

2. That the plight of the owner is due to unique circumstances; and

The unique architectural character of the building; having a sloped roof is encouraged by Village of Frankfort Site Development Regulations but this unique architectural character excludes the installation of solar under strict application of the code.

3. That the variation, if granted, will not alter the essential character of the locality.

The roof-top solar panel installation has been designed to maximize renewable energy production with minimal aesthetic impacts. The panels are flush mounted with an antiglare coating and the equipment colors are muted. The solar panels will be visible from adjoining properties but they will be heavily buffered by extensive existing landscaping and trees along La Grande Road and Colorado Ave and between

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

The topographical conditions of the property are not relevant for this application.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

This variation is based on the fact that this roof is pitched and does not have a parapet wall to fully screen solar panels. Other properties in this zoning classification with flat roofs and parapets would not require a variation.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

The purpose of the variation is to increase the use of renewable energy as supported by Comprehensive plan goal 4.2; decreasing carbon footprint.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

The hardship has not been created by any person presently having interest in the property.

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

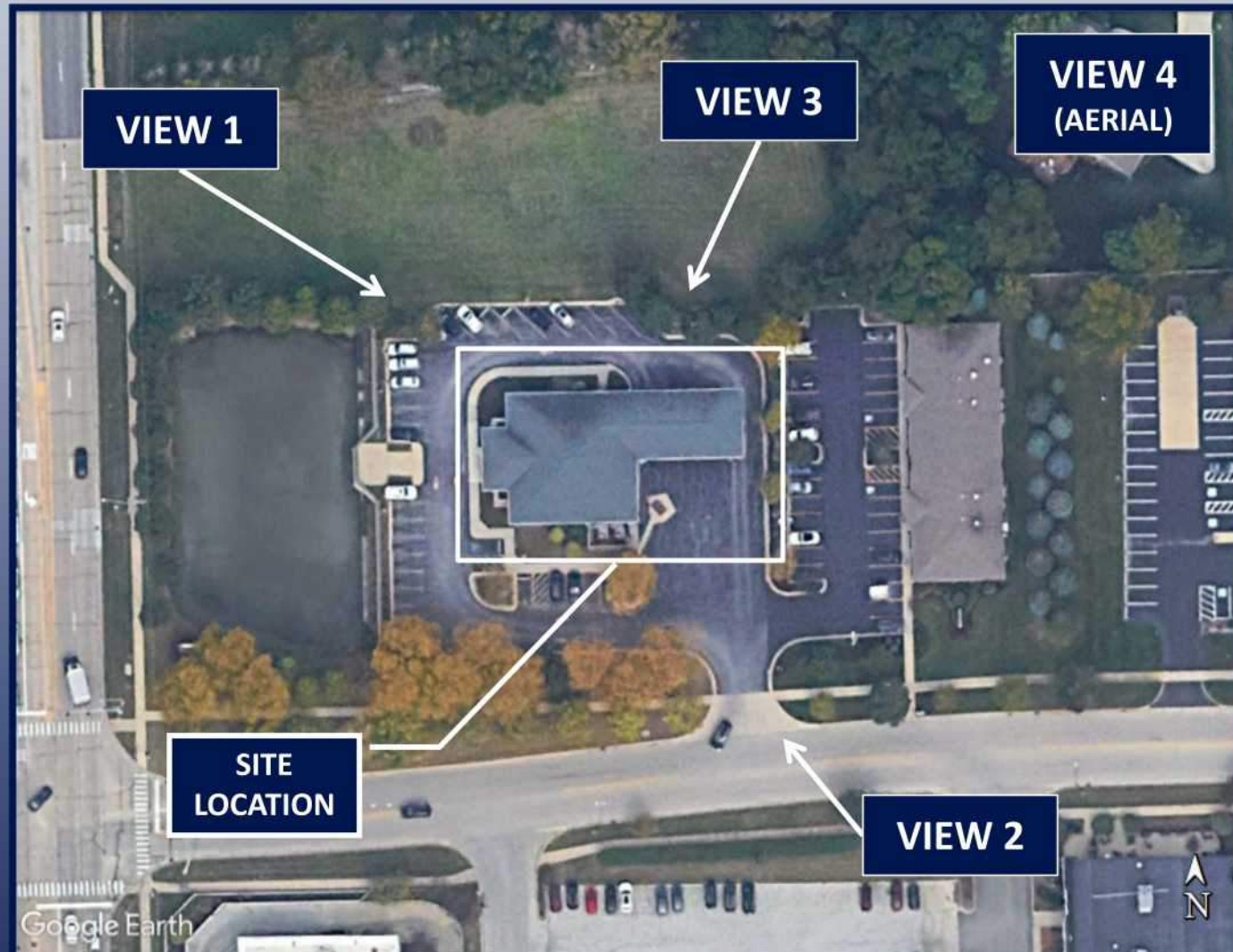
The granting of the variation will not be detrimental to the public welfare or injurious to other properties in the neighborhood. The proposed solar panels will reduce strain on the power grid and provide a sustainable source of power in the neighborhood.

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

The addition of solar panels to the existing roof-top will not lessen the architectural appeal or functional plan of the neighborhood. The panels will be flush mounted and unobtrusive.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

The proposed solar panels will be installed in compliance with all required manufacture specifications and in compliance with local code.



The included Photographic Simulation(s) are intended as visual representations only and should not be used for construction purposes. The materials represented within the included Photographic Simulation(s) are subject to change.

SITE NUMBER:	602100
SITE NAME:	FRANKFORT
SITE ADDRESS:	20801 S. LAGRANGE ROAD FRANKFORT, IL 60423
DATE:	05/04/2022
APPLICANT:	CHASE BANK
CONTACT:	BREANNE MOCABY BLACK & VEATCH (503) 443-4462



VIEW 1



Google Earth
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EXISTING CONDITIONS



Google Earth
©2022 Google

PROPOSED SOLAR PANELS

PHOTOGRAPHIC SIMULATION



EXISTING CONDITIONS

PROPOSED SOLAR PANELS



PHOTOGRAPHIC SIMULATION



VIEW 3



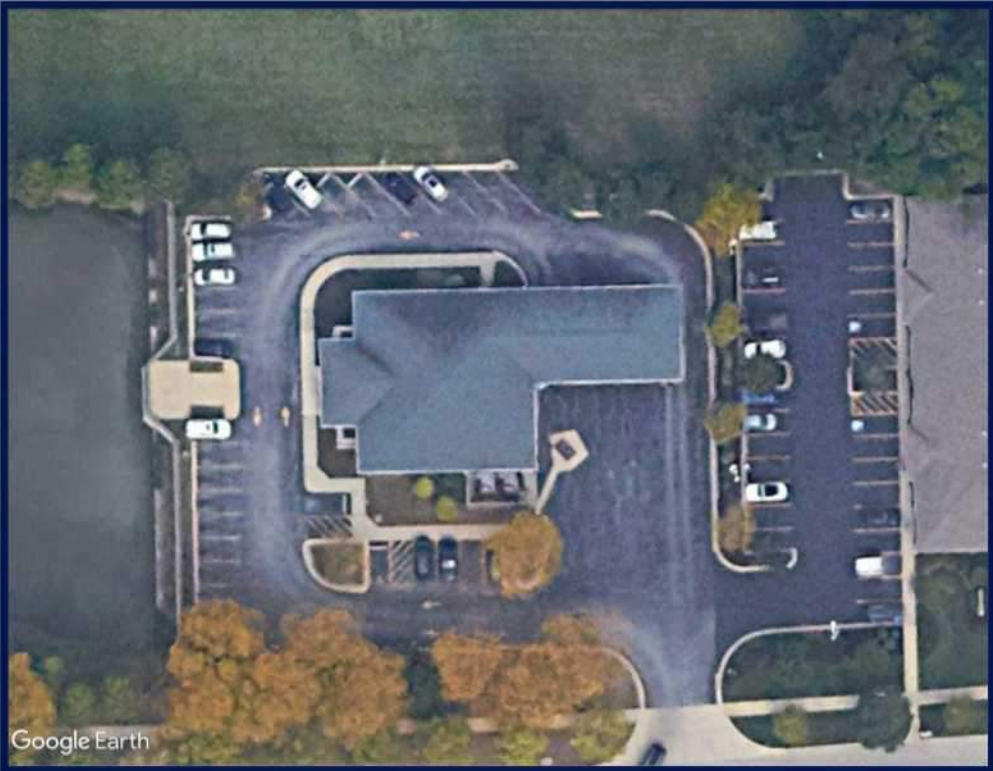
EXISTING CONDITIONS



PROPOSED EQUIPMENT

PROPOSED TRANSFORMER

PHOTOGRAPHIC SIMULATION



EXISTING CONDITIONS



PROPOSED SOLAR PANELS

PHOTOGRAPHIC SIMULATION

Received 5.5.22

602100: 63.0 kWp
J.P. MORGAN CHASE
20801 S. LaGrange Road
FRANKFORT, IL 60423-3135
ASSESSOR'S #: 19-09-22-101-027-0000

DRAWING INDEX	
DRAWING NUMBER	SHEET TITLE
G10	COVER PAGE
G20	SITE PLAN
E10	ELECTRICAL ROOF PLAN
E20	THREE LINE DIAGRAM & BILL OF MATERIALS
E21	ONE LINE DIAGRAM
E30	PLACARDS
REQUIRED STANDARD DRAWING INDEX	
DRAWING NUMBER	SHEET TITLE
SG10	COVER PAGE
SG20	GENERAL NOTES
SG21	GENERAL NOTES
SS20	PITCHED ROOF CONNECTION DETAILS
SS21	PITCHED ROOF CONNECTION DETAILS
SE10	ELECTRICAL DETAILS
SE11	ELECTRICAL DETAILS NEC 2008/2011/2014
SE20	METERING AND SURGE PROTECTION DETAILS 3-PHASE
SE21	AC PANEL DETAILS
SS30	TRANSFORMER FOUNDATION
SR10	THREE PHASE SYSTEM CUTSHEETS
SR25	ELECTRICAL DATA CUTSHEETS
SR26	ELECTRICAL DATA CUTSHEETS
SR30	STRUCTURAL COMPONENT CUTSHEETS

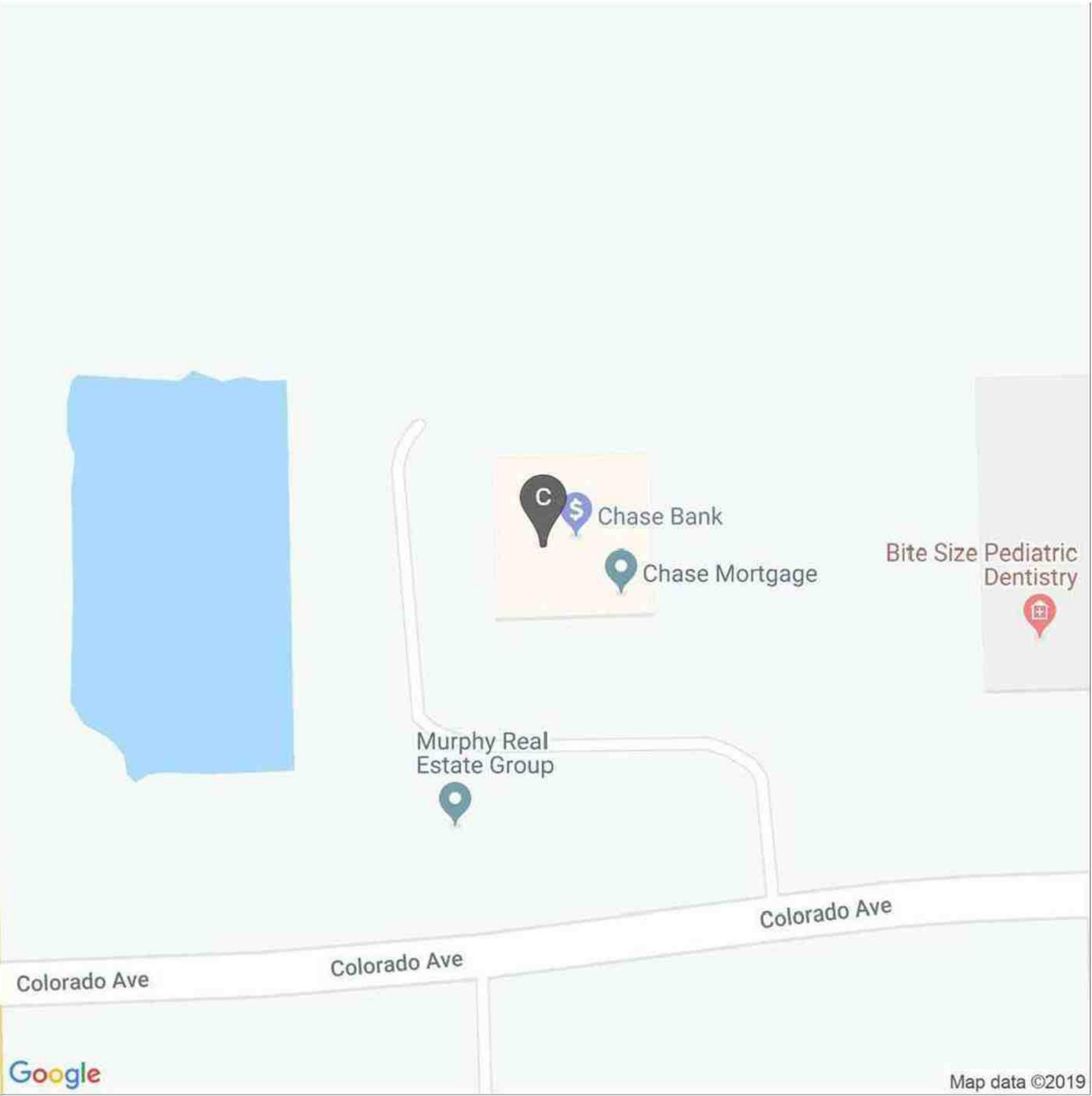
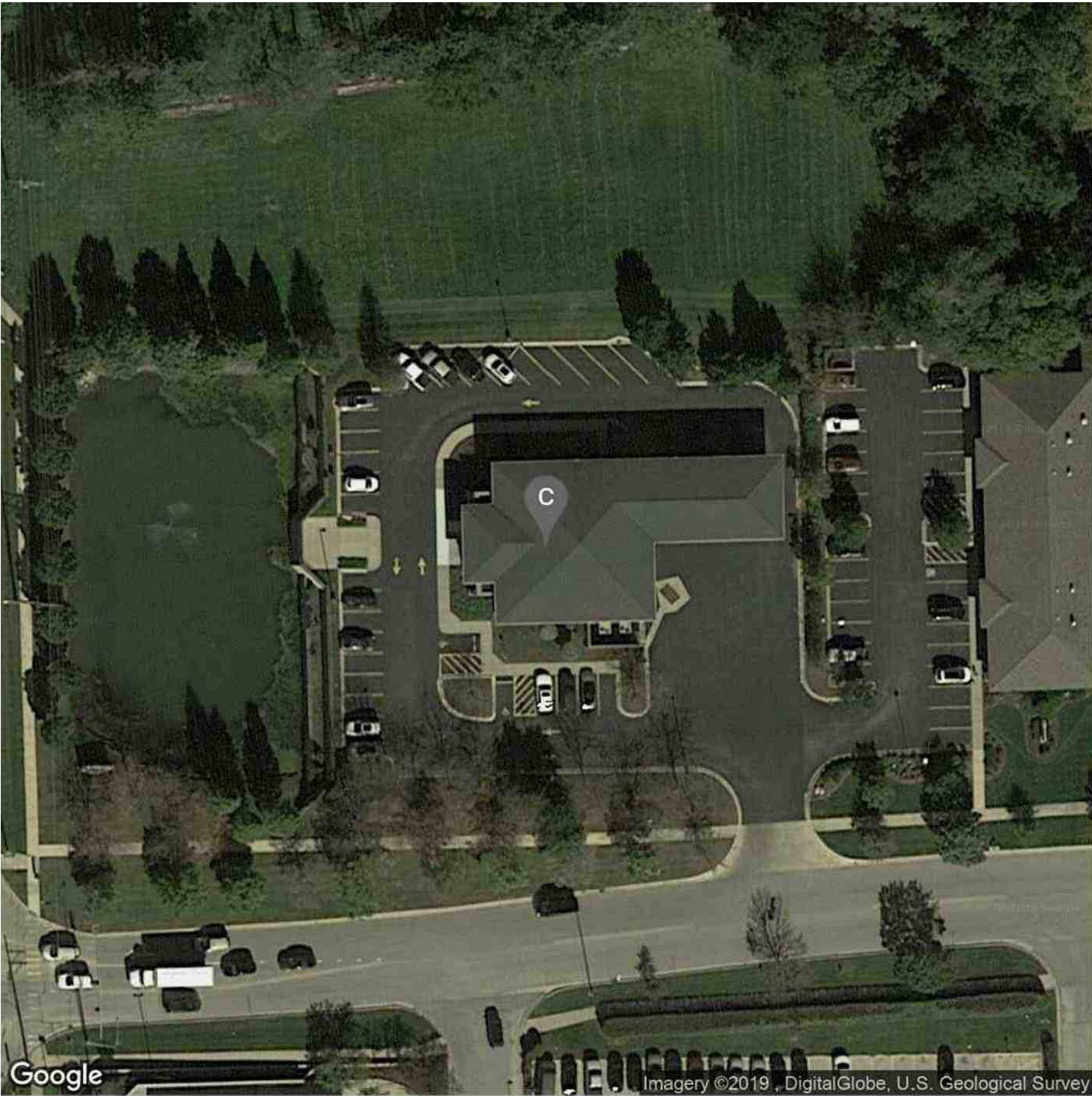
AUTHORITIES HAVING JURISDICTION
BUILDING: VILLAGE OF FRANKFORT
ZONING: VILLAGE OF FRANKFORT
UTILITY: COMED

DESIGN SPECIFICATIONS
OCCUPANCY: B
CONSTRUCTION: COMMERCIAL / INDUSTRIAL
GROUND SNOW LOAD: 34 PSF
WIND SPEED: 107 MPH

PROJECT INFORMATION

DESIGN SPECIFICATIONS
RISK CATEGORY: II
SITE CLASS: D (DEFAULT)
SEISMIC IMPORTANCE FACTOR: 1.0
SEISMIC DESIGN CATEGORY: B
SS: 0.131
S1: 0.068
SDS: 0.139
SD1: 0.109
ANALYSIS PROCEDURE: NONSTRUCTURAL COMPONENTS


DESIGN CODES & STANDARDS
BUILDING: IBC 2018
ELECTRICAL: NEC 2011
FIRE: IFC 2018

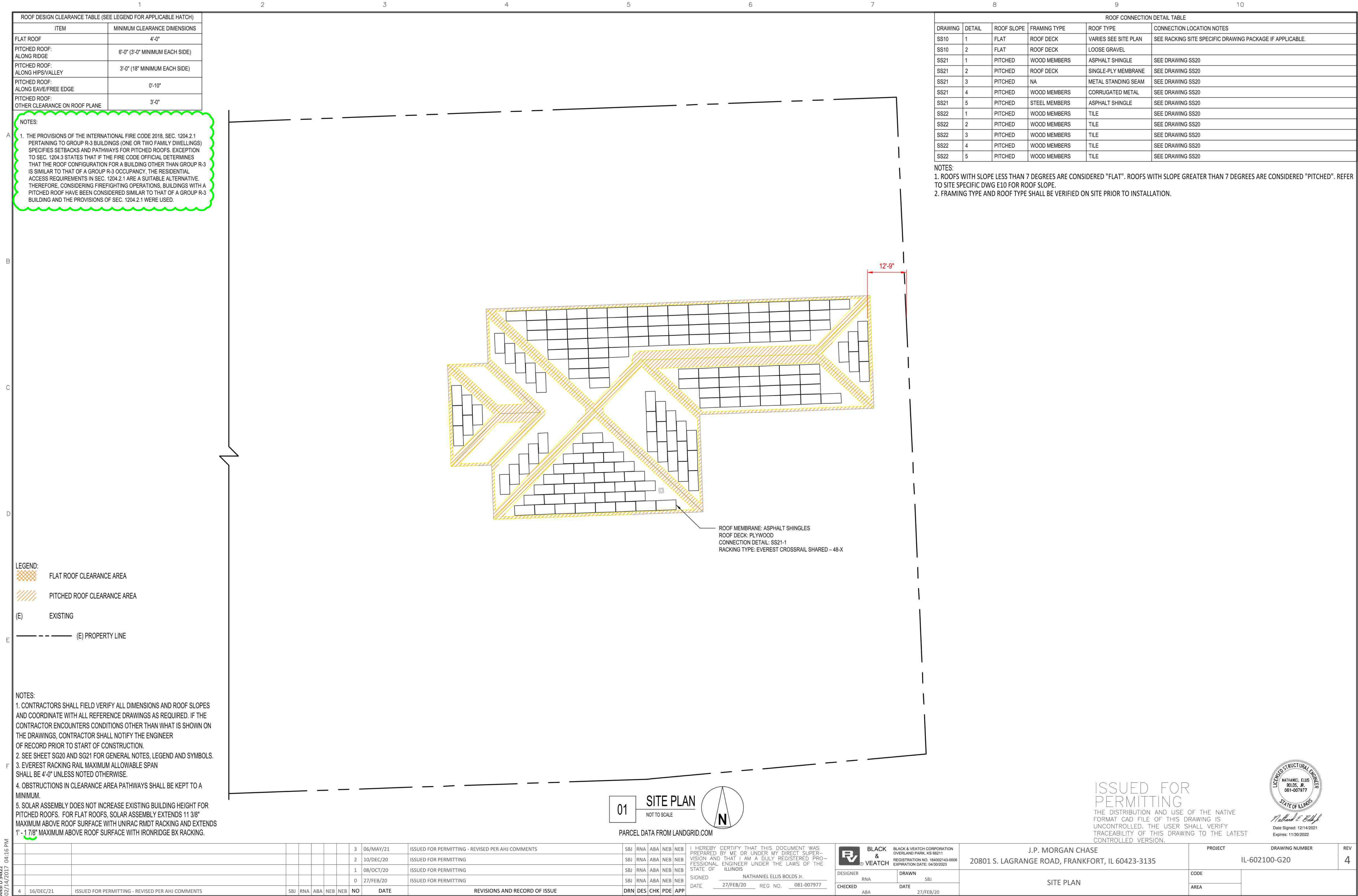


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TRACEABILITY OF THIS DRAWING TO THE LATEST
CONTROLLED VERSION.



ANSI D 3422
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										3	06/MAY/21	ISSUED FOR PERMITTING - REVISED PER AHJ COMMENTS	SBJ	RNA	ABA	NEB	NEB	I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS SIGNED: NATHANIEL ELLIS BOLDS Jr. DATE: 27/FEB/20 REG. NO. 081-007977	 BLACK & VEATCH <small>BLACK & VEATCH CORPORATION OVERLAND PARK, KS 66211 REGISTRATION NO. 184002143-0006 EXPIRATION DATE: 04/30/2023</small>	DESIGNER RNA		DRAWN SBJ	J.P. MORGAN CHASE		PROJECT	DRAWING NUMBER	REV		
										2	10/DEC/20	ISSUED FOR PERMITTING	SBJ	RNA	ABA	NEB	NEB			20801 S. LAGRANGE ROAD, FRANKFORT, IL 60423-3135		CODE	AREA	IL-602100-G10	4				
										1	08/OCT/20	ISSUED FOR PERMITTING	SBJ	RNA	ABA	NEB	NEB			COVER PAGE									
										0	27/FEB/20	ISSUED FOR PERMITTING	SBJ	RNA	ABA	NEB	NEB			DATE 27/FEB/20									
4	16/DEC/21	ISSUED FOR PERMITTING - REVISED PER AHJ COMMENTS								NO	DATE	REVISIONS AND RECORD OF ISSUE		DRN	DES	CHK	PDE			APP									



ROOF DESIGN CLEARANCE TABLE (SEE LEGEND FOR APPLICABLE HATCH)	
ITEM	MINIMUM CLEARANCE DIMENSIONS
FLAT ROOF	4'-0"
PITCHED ROOF: ALONG RIDGE	6'-0" (3'-0" MINIMUM EACH SIDE)
PITCHED ROOF: ALONG HIPS/VALLEY	3'-0" (18" MINIMUM EACH SIDE)
PITCHED ROOF: ALONG EAVE/FREE EDGE	0'-10"
PITCHED ROOF: OTHER CLEARANCE ON ROOF PLANE	3'-0"

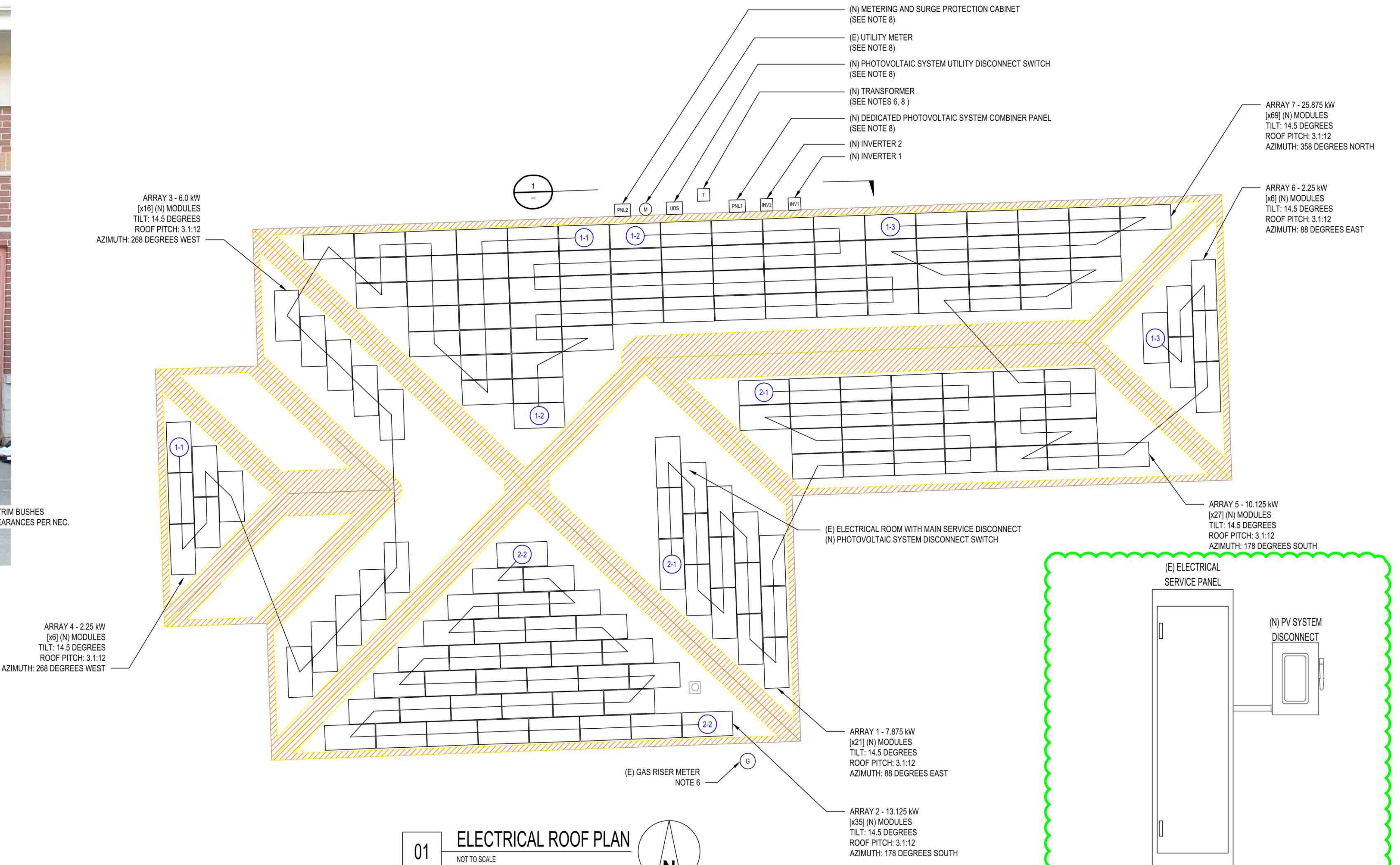


02 ELEVATION 1
NOT TO SCALE

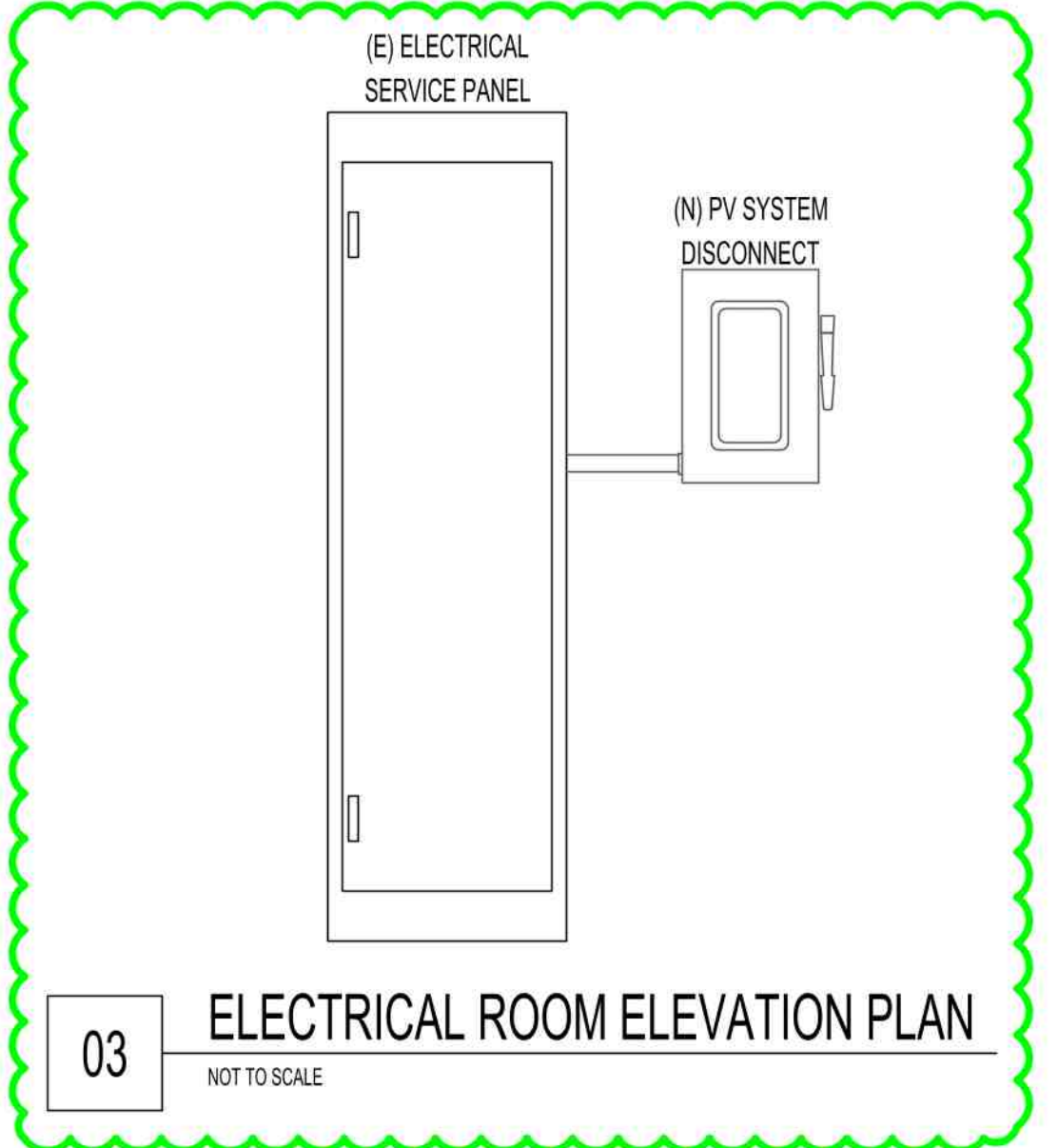
- LEGEND:
- FLAT ROOF CLEARANCE AREA
 - PITCHED ROOF CLEARANCE AREA
 - (E) EXISTING

NOTES:

- CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS AND ROOF SLOPES AND COORDINATE WITH ALL REFERENCE DRAWINGS AS REQUIRED. IF THE CONTRACTOR ENCOUNTERS CONDITIONS OTHER THAN WHAT IS SHOWN ON THE DRAWINGS, CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD PRIOR TO START OF CONSTRUCTION.
- SEE SHEET SG20 AND SG21 FOR GENERAL NOTES, LEGEND AND SYMBOLS.
- SEE SHEETS SE10 AND SE11 FOR ELECTRICAL DETAILS.
- FOR THREE PHASE SYSTEMS, MODULES OF SIMILAR ORIENTATION SHALL BE PAIRED WITH ONE OPTIMIZER WHERE POSSIBLE.
- OBSTRUCTIONS IN CLEARANCE AREA PATHWAYS SHALL BE KEPT TO A MINIMUM. WHERE CONDUIT INTERSECTS CLEARANCE AREA PATHWAYS, CONDUIT SHALL BE PLACED TRANSVERSE TO CLEARANCE AREA PATHWAYS.
- TRANSFORMER SHALL BE GROUND MOUNTED.
- SUBCONTRACTOR SHALL MAINTAIN MINIMUM 3' RADIAL CLEARANCE FROM GAS RISER METER.
- SUBCONTRACTOR SHALL PAINT CONDUIT TO MATCH THE BUILDING COLOR. SUBCONTRACTOR SHALL PAINT TRANSFORMER ENCLOSURE, INVERTER DISCONNECT SWITCH ENCLOSURE, METERING AND SURGE PROTECTION CABINET TO MATCH THE BUILDING COLOR SCHEME. SUBCONTRACTOR SHALL ENSURE THAT EQUIPMENT NAMEPLATES AND LABELS ARE NOT PAINTED. THE INVERTER SHALL REMAIN UNPAINTED.



01 ELECTRICAL ROOF PLAN
NOT TO SCALE



03 ELECTRICAL ROOM ELEVATION PLAN
NOT TO SCALE

EXTENSIVE REVISION

ISSUED FOR PERMITTING

THE DISTRIBUTION AND USE OF THE NATIVE FORMAT CAD FILE OF THIS DRAWING IS UNCONTROLLED. THE USER SHALL VERIFY TRACEABILITY OF THIS DRAWING TO THE LATEST CONTROLLED VERSION.



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SOUTH PROPERTY LINE NEAR COLORADO ROAD ENTRANCE, LOOKING NORTHWEST



SOUTH PROPERTY LINE, LOOKING WEST ALONG COLORADO ROAD

SOUTH FACADE OF BUILDING



SOUTH AND WEST FACADE OF BUILDING



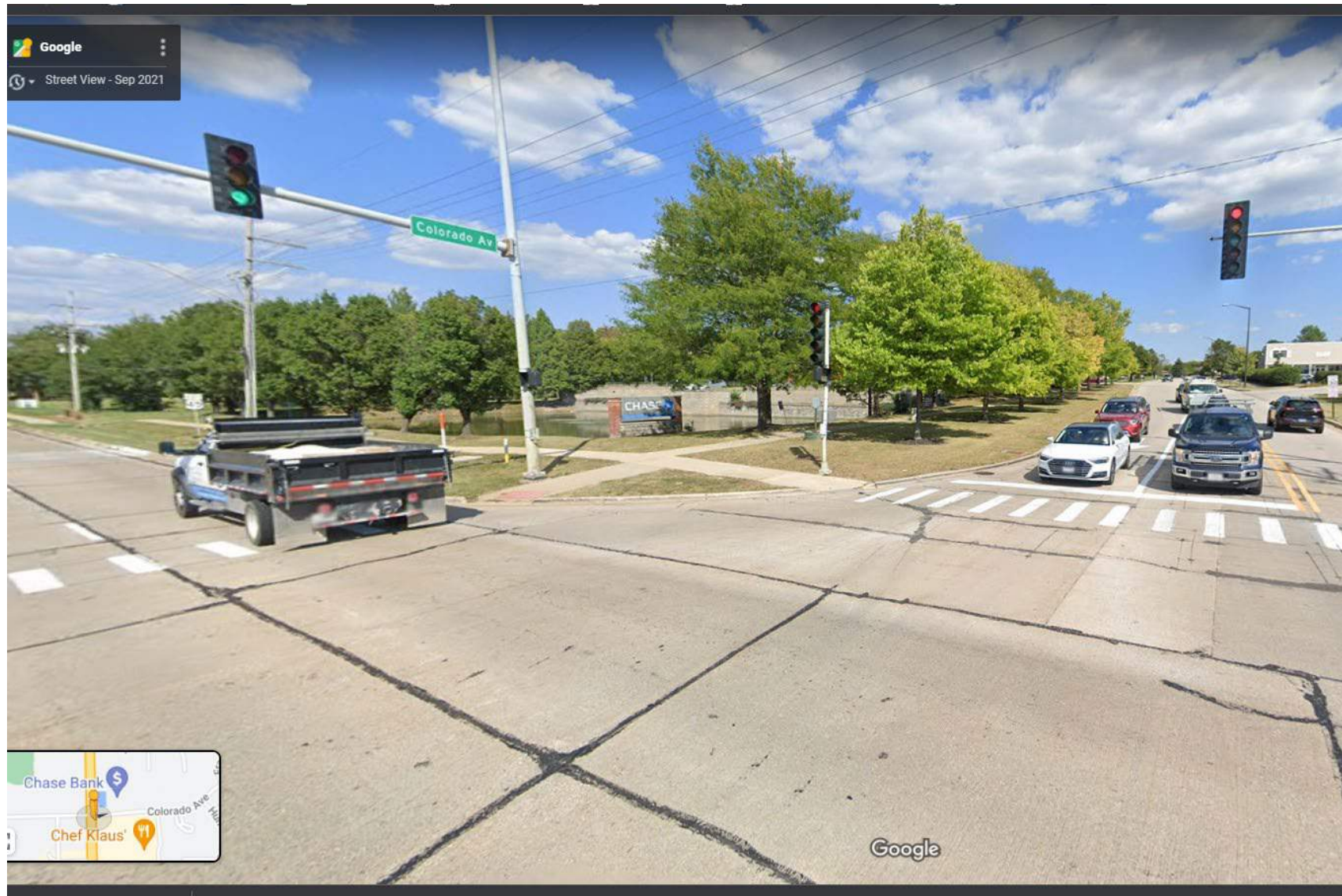


VIEW FROM INTERSECTION OF COLORADO
AND LA GRANGE, LOOKING NORTHEAST

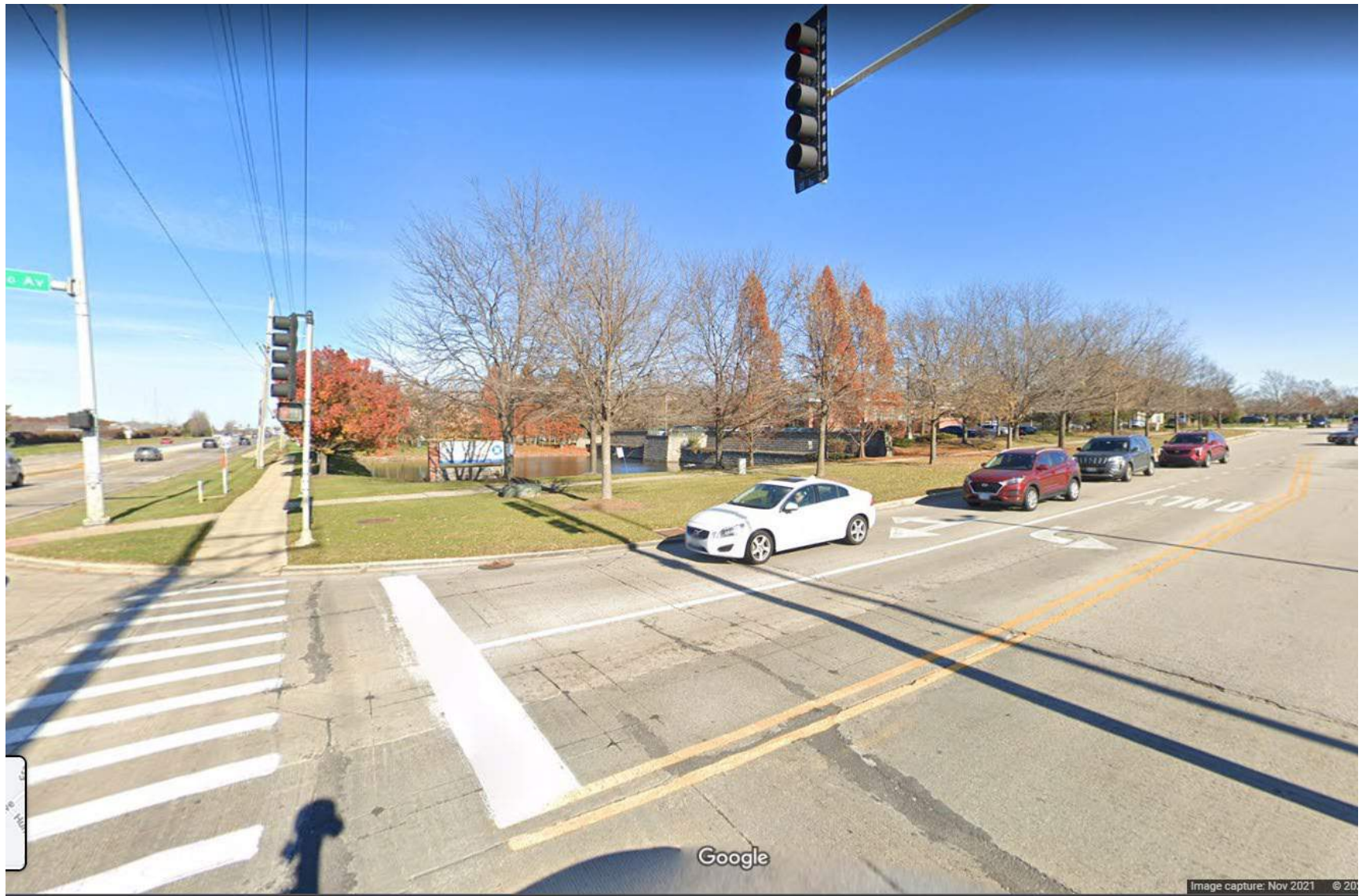


VIEW OF WEST FACADE OF BUILDING FROM
LA GRANGE, BETWEEN TREES

Google Street View, September 2021



Google Street View, November 2021



Google Street View, December 2021



Project: Facen4Ward Venues, LLC
Meeting Type: Workshop
Request: Special Use (indoor entertainment)
Location: 20879 S. La Grange (former Allstate tenant space)
Subdivision: None (Butera Center Plaza)
Applicant: Marlin & Kristen Facen
Prop. Owner: Butera Center Management
Representative: Kristen Facen

Site Details

Lot Size: 10.58 acres
PIN: 19-09-22-100-051-0000
Existing Zoning: B-2, Community Business
Proposed Zoning: N/A
Buildings: 3 buildings
Total Sq. Ft.: 2,100 square feet (tenant space)

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Retail Plaza	General Commercial	B-2
North	Bank, office	General Commercial	B-2, B-4
South	Office, retail	General Commercial	B-2
East	Single-Family Residential	Single-Family Attached Res.	R-4
West	Bank	General Commercial	B-2

Figure 1. Location Map



Project Summary

The applicant is proposing to operate an event center space within a tenant space at the Butera Center Plaza located at 20879 S. La Grange Road. Event center spaces are classified as indoor entertainment and require a special use permit within the B-2 zone district. No exterior changes to the building or site are proposed with this use. The applicant is not seeking a liquor license in conjunction with this use.

Attachments

- Location Map, prepared by staff (VOF GIS) scale 1:1,500
- Location Map, prepared by staff (VOF GIS) scale 1:6,000
- Plat of Survey of Butera Center with tenant space outlined in red
- Existing floorplan of tenant space, provided by applicant
- Proposed floorplan of tenant space, prepared by applicant
- Background (narrative) of proposed use, provided by applicant
- Special Use findings of fact, provided by applicant
- Photographs of space, taken by staff 5.13.22

Analysis

In consideration of the request, staff offers the following points of discussion:

1. The space would be used for social and corporate events, including but not limited to executive retreats, board meetings, workshops, receptions, bridal & baby showers and anniversaries.
2. The space would be designed to accommodate up to 75 guests.
3. Guests would cater-in food.
4. At this time, the applicant is not seeking a Liquor License in conjunction with the proposed Special Use Permit for Indoor Entertainment. Private events which include alcohol would require a Class N (private banquet event facilities) Liquor License.
5. An event host (chaperone) would be on-site during each event.
6. The space would operate 10 am – 9 pm (Mon-Wed) and 10 am – 10 pm (Fri-Sun). Article 6, Part 2(q) of the Zoning Ordinance refers to hours of operation and states that non-residential uses may be open for business between the hours of 7 am and 11 pm. Establishments with operating hours outside of these normal operating hours must be approved as a special use according to the regulations of Article 3, Section E. The applicant is not proposing hours of operation that are outside of normal hours of operation.
7. There would be some minor interior work, as per the proposed floorplan.
8. Indoor recreation uses require 1 parking space for every 4 patrons based upon the maximum capacity of the tenant space, plus one space for each employee during the largest working shift. The maximum capacity of a space can only be determined by the Fire District and the Building Department *after* the space has been constructed, making an exact number impossible to determine at this time. However, according to the Chapter 10, Section 104 of the International Fire Code (used by the Frankfort Fire Protection District), the maximum capacity of the subject space is estimated to be 140 persons (15 net square feet per person). Therefore 36 parking spaces are required per the Zoning Ordinance (including 1 space for the 1 employee). The actual parking requirement will likely be less than 36, once tables, chairs and entertainment areas are factored into the maximum occupancy equation.
9. From a practical standpoint, the existing parking lot in the Butera Center Plaza is typically under-utilized during normal business hours. Per the attached survey, there are 482 parking spaces within the plaza.

Staff's Review

Staff offers the following comments regarding the findings of fact used to determine the merits of the special use request, per the Zoning Ordinance. The applicant has provided responses to these findings of fact on a separate attachment.

Findings of Fact:

No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Affirmative Motion

For the Commission's consideration, staff is providing the following proposed affirmative motion language for the special use requests.

1. Recommend the Village Board approve a special use for indoor recreation (event space) at 20879 S. La Grange Road, in accordance with the reviewed plans, public testimony, and Findings of Fact.

20879 S. La Grange - Proposed Event Space



0 250 500 1,000
Feet

20879 S. La Grange - Proposed Event Space



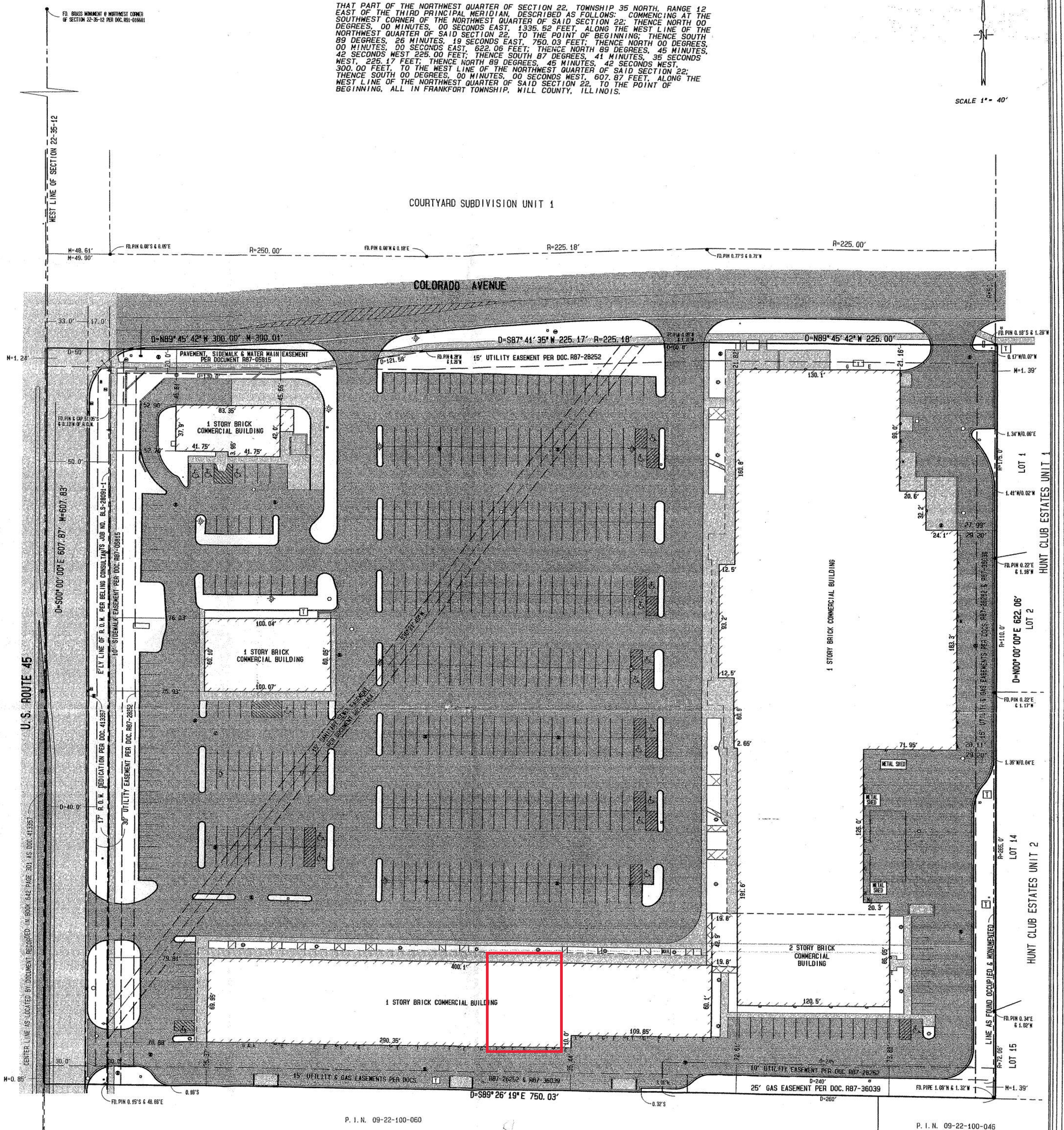
RECEIVED

By Christopher Gruba at 1:30 pm, May 11, 2022

LAND TITLE SURVEY

Order No. 012687A

SCALE 1" = 40'



P. I. N. 09-22-100-060

P. I. N. 09-22-100-046

UNSUBDIVIDED LAND

SURFACE FEATURES LEGEND

- CATCH BASIN
- INLET
- WATER VALVE
- SEWER MANHOLE
- ELECTRICAL MANHOLE
- I. B. T. MANHOLE
- TRAFFIC SIGNAL
- FIRE HYDRANT
- UTILITY POLE
- STREET LIGHT
- TRAFFIC SIGNAL VAULT
- GAS VALVE
- ELECTRIC
- GAS METER
- TELEPHONE BOX
- TRANSFORMER

GENERAL NOTES:

- THE LEGAL DESCRIPTION, EASEMENTS AND BUILDING LINES SHOWN HEREON ARE PER TITLE COMMITMENT PREPARED BY CHICAGO TITLE INSURANCE COMPANY AND KNOWN AS NO. 1410 001382543 MB WITH AN EFFECTIVE DATE OF OCTOBER 4, 2001.
- NOTE: UTILITY INFORMATION SHOWN IS BASED ON VISIBLE SURFACE EVIDENCE ONLY. MARKING: BEFORE BEGINNING ANY CONSTRUCTION CONTACT J.U.L.I.E. FOR UTILITY STAKING AT 1-800-692-0123.
- EASEMENT PROVISIONS PER SCHEDULE B OF CHICAGO TITLE INSURANCE COMMITMENT 1410-00462853 KA.
EXCEPTION 1 - C- UTILITY LETTERS WERE NOT PROVIDED BY CLIENT FOR OUR REVIEW
EXCEPTION 2 - THIS INFORMATION CONTAINED THEREIN HAS NOT BEEN SHOWN.
EXCEPTION 3 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 4 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 5 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 6 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 7 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 8 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 9 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 10 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 11 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 12 - APPLIES AND AFFECTS THE PROPERTY AS SHOWN ON SURVEY
EXCEPTION 13 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 14 - APPLIES AND AFFECTS THE PROPERTY AS SHOWN ON SURVEY
EXCEPTION 15 - APPLIES AND AFFECTS THE PROPERTY AS SHOWN ON SURVEY
EXCEPTION 16 - APPLIES AND AFFECTS THE PROPERTY AS SHOWN ON SURVEY
EXCEPTION 17 - APPLIES AND AFFECTS THE PROPERTY AS SHOWN ON SURVEY
EXCEPTION 18 - DOES NOT PERTAIN TO MATTERS OF SURVEY
EXCEPTION 19 - DOES NOT PERTAIN TO MATTERS OF SURVEY



TO CHICAGO TITLE INSURANCE COMPANY FOR COMMITMENT NO. 1410 001382543 MB

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS MADE IN ACCORDANCE WITH MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 1999, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, AND 11A OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE.

DATE OF SURVEY: NOVEMBER 26, 2001
DATE ISSUED: DECEMBER 10, 2001

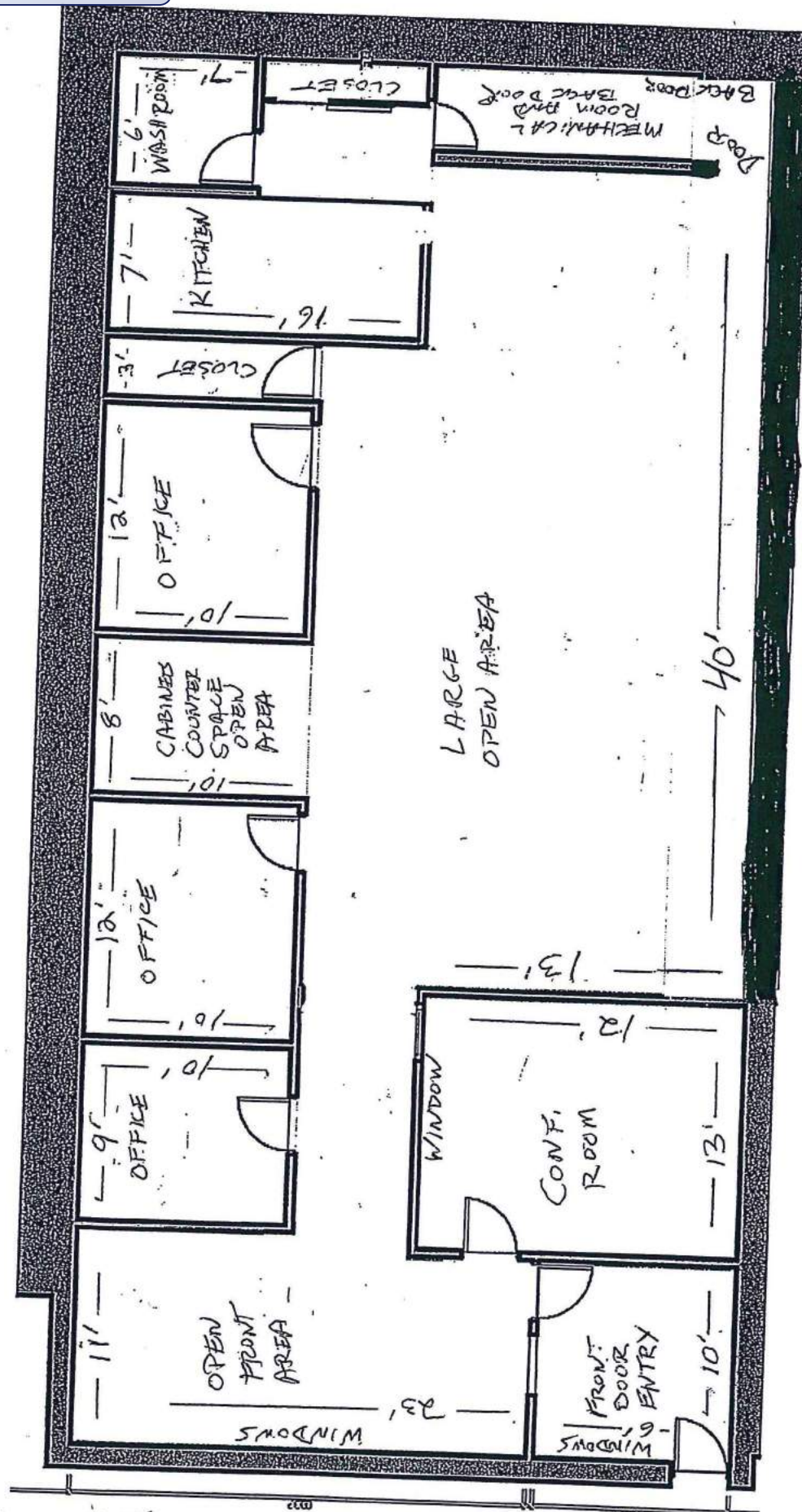
Courtney W. Shropshire
COURTNEY W. SHROPSHIRE IV, PLS 2783

LAND DIVISIONS, Inc.
Professional Surveying Services
P.O. Box 835
West Dundee, Illinois 60185
(847) 551-9171 (847) 551-9193 Fax

RECEIVED

By Christopher Gruba at 9:32 am, Apr 15, 2022

EXISTING FLOORPLAN



2100 S.F.

20879 LAGRANGE RD

PROPOSED FLOORPLAN

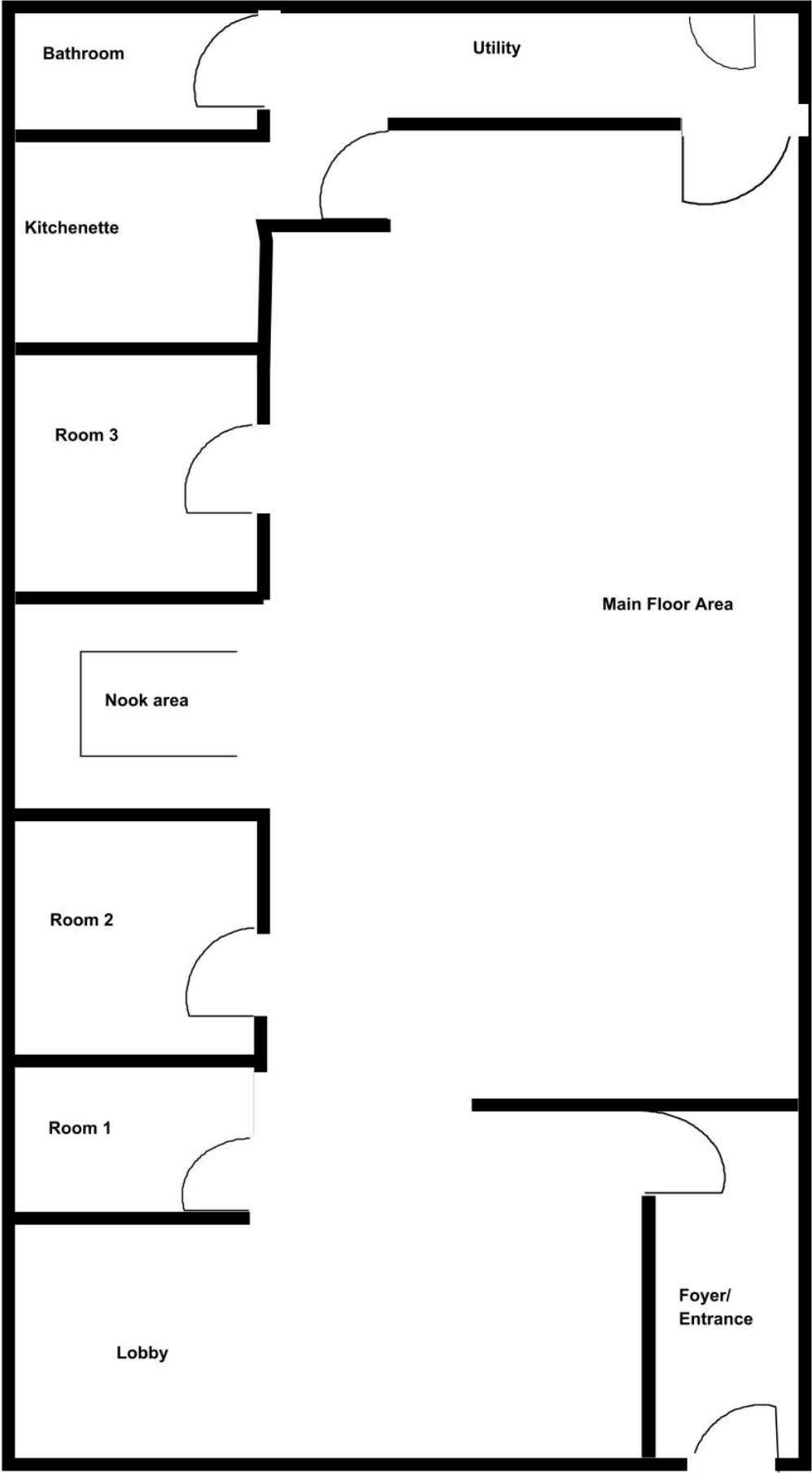


Exhibit A

Background

Facen4Ward Venues is a premier event planning company offering event décor packages and event space for social and corporate events (executive retreats, board meetings, workshops, receptions, bridal and baby showers, anniversaries, etc.) for up to 75 guests. Guests will be allowed to cater or bring food and non-alcoholic beverages. Liquor use and consumption will not be permitted at the any events held at the space. An event host will be on duty for all engagements to ensure groups/individuals comply with the rules and regulations for the use of the space. The hours of operation are from 10:00 a.m. – 9:00 p.m. Monday through Wednesday; and 10:00 a.m. – 10:00 p.m. Friday through Sunday.

Proposed Build-Out for 20879 S. LaGrange Rd., Frankfort

At the Tenant's expense, the Tenant shall perform the following:

1. Remove walls, window, and door from original conference room near main entrance to add more square footage to the main floor area. (See Exhibit B).
2. Remove and dispose all carpet in all areas.
3. Install vinyl or epoxy flooring throughout the space.
4. Install track lighting on ceilings.
5. Install new vanity and lighting in bathroom.
6. Install television mounts to walls
7. Install Wi-fi connectivity in space.
8. Re-paint all areas in a neutral color.
9. Install company signage on entrance.

The final dimensions and layout of the space, improvements and finishes of the premises shall be subject to advance approval by the Landlord and Tenant. Improvements to be completed by a licensed and bonded contractor and laborers hired by the tenant.



Application for Plan Commission / Zoning Board of Appeals Review
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.

Facen4Ward Venues will maintain all ordinances and will not conflict with any standards the village upholds.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Facen4Ward Venues will conduct its events orderly and operate the facility according to all rules and regulations. Facen4Ward Venues will create connections and build rapport while servicing the community within the neighborhood.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Facen4Ward Venues affairs will hold to the reputation that the district promotes. Facen4Ward Venues operates with the best practices in mind to be as efficient and effective as possible.

4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

Facen4Ward Venues will use proper etiquette when implementing any exterior appeal to the space in question and will avoid any deed restrictions the property may have.

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

Facen4Ward Venues will work closely with the owner to ensure all facility matters are up to code and properly managed.

6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Facen4Ward Venues will comply with all of the Village and Frankfort Town Centers rules and guidelines to minimize traffic congestion.

7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Facen4Ward Venues will comply with all of the village and Frankfort Town Centers stipulations and guidelines while operating in business.



Project: Savana Expedited LLC
Meeting Type: Workshop
Requests: Special Use Permit for a Truck Terminal in the I-2 General Industrial District; Special Use Permit for Automobile (Truck/Trailer) Repair and Service; Preliminary and Final Plat of Subdivision to create a single lot of record from an unsubdivided parcel of land
Location: 9350 W. Laraway Road
Applicant: Savana Expedited LLC
Prop. Owner: Savana Expedited LLC
Consultants: Aurimas Spucys, Morris Engineering, Inc.
Representative: Kristina Vlastelica, Co-Owner of Savana Expedited LLC
Report By: Michael J. Schwarz, AICP

Site Details

Parcel/Lot Size: 4.75 acres (approx. 4.18 net acres after ROW dedication)
PIN(s): 19-09-27-300-023-0000
Existing Zoning: I-2 General Industrial District
Prop. Zoning: I-2 General Industrial District with a Special Use Permit for a Truck Terminal and a Special Use Permit for Automobile (Truck/Trailer) Repair and Service
Building(s) / Lot(s): 1 building / 1 lot
Adjacent Land Use Summary:

Figure 1: Location Map



	Land Use	Comp. Plan	Zoning
Subject Property	Industrial	Business Park	I-2
North	Industrial	Business Park	I-1
South	Commercial; Industrial	Business Park	B-4; I-2
East	Undeveloped; Industrial	Business Park	I-1
West	Industrial	Business Park	I-1

Project Summary

The applicant, Savana Expedited LLC, represented by Kristina Vlastelica, has filed an application requesting a Special Use Permit for a Truck Terminal in the I-2 General Industrial District and a Preliminary and Final Plat of Subdivision to create a single lot of record from an unsubdivided parcel of land, for the property located at 9350 Laraway Road, Frankfort, Illinois. Correspondence from the applicant indicates that the company would also perform truck and trailer repairs for the equipment that it owns (not for the general public). Therefore, the application will be a need to be amended to add a request for a Special Use Permit for automobile (truck/trailer) repair and service in the I-2 General Industrial District.

Property Background

It is currently not known when the property was annexed into the Village of Frankfort and rezoned to the I-2 General Industrial District. The property does not appear as annexed property on the 1974 Zoning Map. On the 1988 Zoning Map, which is the next available Zoning Map in the Village records, the property is shown as being annexed into the Village and zoned I-2 General Industrial District. According to the Frankfort Township Assessor property information web page, the existing 24,425 square-foot warehouse building was constructed in 1987. However, a recent real estate listing found online indicates that the building was constructed in 1977. The existing site includes a number of dimensional and other physical non-conformities with the current Zoning Ordinance. For example, the existing parking areas are gravel (pavement is required) and the front parking area is located approximately one foot from the west property line (5 feet minimum is required).

Attachments

1. 2020 Aerial Photograph from Will County GIS
2. Frankfort Industrial Subdivision Plat recorded in 1997 (adjacent to subject property)
3. Site Photographs taken 12.28.20
4. Site Photographs taken 5.19.22
5. ALTA/NSPS Land Title Survey dated 11.9.20, received 1.8.21
6. Engineering Plan Set dated 5.5.21, received 3.28.22
 - Cover Sheet dated 5.5.21
 - Demolition Plan dated 5.5.21
 - Geometric Plan dated 5.5.21
 - Utility Plan dated 5.5.21
 - Grading and Erosion Control Plan dated 5.5.21
 - Landscape Plan dated 5.5.21
 - Photometrics Plan dated 5.5.21
 - Vehicle Turning Exhibit dated 5.5.21
 - Details dated 5.5.21
7. Floor Plan with Proposed Changes received 5.19.22

Analysis

In consideration of the request, staff offers the following points of discussion:

Land Use

The applicant has desires to establish and operate a Truck Terminal on the property, using the existing building for office space and warehousing. The applicant provided the following business description stating that the following functions would take place:

1. *Cross Dock. We would need a ramp, where trucks would be able to unload the cargo. We would combine separate shipments and that cargo would be transferred to another trailer.*
2. *Storage. We have clients, who need to pick up a cargo now, but deliver it to the consignee in a week or We would be the facility, where they would store the cargo for that period.*
3. *Maintenance. Mostly we work with Contractors / Owner Operators and we don't have to service their equipment. However, we do have some trucks and trailers, that we own and before we let them on the road, we do need to inspect it and repair if needed.*
4. *Parking. 90% of our trucks and trailers are on the road. We hire drivers, owner operators from every state. All their equipment is kept where they live. But once we do hiring, we have to inspect their equipment and we have meetings with drivers, during that time we have to have space for parking. Once driver has a*

short vacation, we would let them park in our yard. According to company rules, if driver takes vacation for more than a week, the equipment will be given to another driver.

5. *Office. All our work is done on line. Client search, contracts, load search, dispatching and so on. We do need to set up all computers for that purpose. Some office personnel will have the opportunity to work from home 50%, so the office will not be crowded on a daily basis.*

Hours of Operation

The applicant has indicated that the proposed business hours of operation for the various uses of the building are:

- Office: 7:00 a.m. to 5:00 p.m. Monday through Saturday
- Warehouse: 7:00 a.m. to 11:00 p.m. Monday through Saturday
- Maintenance/Repair Shop: Typically 7:00 a.m. to 5:00 p.m. (but until 11:00 p.m. if necessary) Monday through Saturday

The proposed hours are within the Village's normal hours of operation which are 7:00 a.m. to 11:00 p.m. per Article 6, Part 2(q) of the Zoning Ordinance.

Employees

The applicant has indicated that there would be no more than 10 employees on the property at any time.

Zoning

1. The applicant proposes to rehabilitate and renovate an existing 24,425 square-foot, brick, one-story warehouse building and the associated 4.75-acre property located at 9350 W. Laraway Road for a proposed truck terminal.
2. A Special Use Permit for a Truck Terminal is required in the I-2 General Industrial District.
3. The Village's ordinance does not contain specific use standards for Truck Terminals. Truck/trailer parking and traffic flow are often primary areas of consideration for such uses.

Site Plan

1. The Site Plan depicts the existing 24,425 square-foot warehouse building and existing gravel driveway and parking areas.
2. The Site Plan depicts an existing standard size vehicle parking lot with 16 spaces, including 2 handicap accessible spaces, located in front of the building with an existing west driveway access on Laraway Road. The parking lot is presently gravel and is overgrown with areas of grass. The applicant proposes to pave and stripe this existing parking lot. The existing parking lot curb is 1-2 feet from the west property line which does not comply with the minimum 5-foot parking lot setback required by Article 7, Section B, Part 1(b) of the Zoning Ordinance. Similarly, along the east property line, the existing curb is 1-2 feet from east property line along the east entrance. The Village's Consulting Engineer has indicated in their review comments that if the east drive aisle and gate will be reconfigured, they recommend that the drive aisle width be modified to 26' minimum width.
3. The Site Plan depicts additional existing standard size vehicle parking spaces on the east side of the building (17 spaces) and on the north side of the building (5 spaces), which are accessible from the existing east driveway access on Laraway Road.
4. The Site Plan depicts a proposed 33-space truck and trailer parking lot behind the building, with a proposed new access on Ontario Street which is under the jurisdiction of the Village of Frankfort. The area behind the building is presently partially gravel and is overgrown with vegetation, including several areas of older stockpiled natural materials.
5. The existing building complies with all required setbacks in the I-2 General Industrial District.
6. The Zoning Ordinance does not have a specified parking ratio for Truck Terminals. However, the Zoning Ordinance requires *warehouses* to provide parking at a ratio of one (1) space per employee for the work

shift with the largest number of employees; plus one (1) space per 5,000 square feet of gross floor area. Per the applicant's engineer, the warehouse portion of the building is 10,852 square feet, which would require 3 spaces. The applicant has indicated that there would be no more than 10 employees on the property at any time. Therefore, the warehouse component of the building would require 13 spaces.

7. The Zoning Ordinance requires *offices* to provide parking at a ratio of one (1) space per 200 square feet of gross floor area. Per the applicant's engineer, the office portion of the building will be 5,000 square feet, which would require 20 spaces.
8. The Zoning Ordinance requires *vehicle repair shops* to provide parking at a ratio of two (2) spaces per 1,000 square feet of gross floor area. Per the applicant's engineer, the repair shop portion of the building will be 7,000 square feet, would require 14 spaces.
9. A total of 38 standard vehicle parking spaces are depicted on the Site Plan, including 2 handicap accessible spaces. A total of 33 truck/trailer parking spaces are depicted on the Site Plan. When all parking spaces are combined, a total of 71 parking spaces are provided, which complies with the Zoning Ordinance.
10. The Zoning Ordinance requires buildings that are used for cartage, express, and truck facilities, containing 5,000 to 40,000 square feet of gross floor area, to provide one (1) loading berth. Therefore, the existing 24,425 square-foot building is required to provide one (1) loading berth. The existing building presently has a total of four (4) loading berths, including two (2) docks with high doors and two (2) docks with grade-level doors, which complies with the Zoning Ordinance.
11. As depicted on the Site Plan, the applicant proposes to add three (3) new garage door openings on the north façade of the building, where one (1) garage door presently exists. These garage doors would be used to allow trucks and trailers to be pulled into the building for repairs. The other existing dock doors would remain. These include one (1) on the west façade of the northern portion of the building and two (2) on the east façade of the building.
12. The Site Plan depicts an existing 10-foot by 12-foot trash enclosure on the west side of the northern wing of the building. The Zoning Ordinance requires that trash enclosures be constructed of materials to match the exterior of the building (in this case brick). Details for the existing trash enclosure have not been provided at this time.
13. The Site Plan depicts the existing 6-foot high chain link fence which is generally located around the perimeter of the property behind the front (south) façade of the building, including a chain link swing gate at the east vehicle entrance. The applicant intends to repair and reuse the existing fence. Article 6, Part 3(f)(5) of the Zoning Ordinance provides that chain link fences are prohibited where visible from a public road, unless such fence is concealed with landscaping. Chain link fences may be permitted in the rear of a property or behind the front extent of the primary building, and shall include privacy slats.
14. The Site Plan depicts two (2) proposed stormwater detention basins that do not exist today. One basin would be located in front of the building partially within the required 25-foot landscape yard along Laraway Road. Another basin would be located to the north of the office portion of the building.
15. The I-2 General Industrial District requires a maximum impervious surface lot coverage of 85%. Village staff is awaiting confirmation from the applicant's design engineer to confirm that the proposed redevelopment will have enough green space to comply with this requirement after the right-of-way dedications are made and accounting for all proposed improvements.

Landscape Plan

1. The applicant has submitted a Landscape Plan which depicts the proposed trees and other plantings.
2. Staff has not performed a detailed review of the Landscape Plan at this time. Upon initial review, a 25-foot landscaped front yard is required along Laraway Road and a 20' landscaped front yard is required along all Ontario Street to comply with the landscape regulations. These yards are reflected on the Landscape Plan. However, due to the Will County Department of Transportation's request for 25 feet of additional right-of-way (total of 75 feet from the centerline of Laraway Road), the required 25-foot landscape yard along Laraway Road may need to be shifted north, which would impact the existing west parking lot and the proposed stormwater detention basin in front of the building.
3. The proposed Demolition Plan sheet contemplates the removal of a number of existing trees in the center portion of the site where the proposed new truck/trailer parking lot would be located. This drawing does not replace the need for a Tree Survey which identifies all of the trees to be removed and lists their species

and condition in a table, as well as provides the total caliper sizes of those trees which are proposed to be removed.

Engineering Plans

1. The applicant has submitted Engineering Plans which have been reviewed by the Village's consulting engineer. The most recent review comments have been forwarded to the applicant.

Architecture

1. The applicant intends to replace the broken and missing brick on the existing east and west wing-walls of the building and on the raised planting bed that surrounds the base of the ground sign. Due to the Will County Department of Transportation's request for 25 feet of additional right-of-way (total of 75 feet from the centerline of Laraway Road), the existing ground sign may need to be removed/relocated.
2. As depicted on the Site Plan, the applicant proposes to add three (3) new garage door openings on the north façade of the building, where one (1) garage door presently exists. The brick to be removed from the new wall openings potentially may be used to replace the broken and missing brick on the east and west wing walls on the south façade of the building so that the brick colors match.

Photometrics Plan

4. The applicant has provided a Photometrics Plan (refer to Sheet 7 of the Engineering Plans). Light fixture and light pole specifications have not been provided at this time. The Village's Municipal Code requires decorative bases for all parking lot light poles.
5. The Photometrics Plans depicts four (4) new wall-mounted light fixtures on the east, north and west sides of the building, two (2) new pole-mounted light fixtures in the front parking lot, and two (2) new pole-mounted light fixtures in the proposed rear (truck/trailer) parking lot.
6. Parking lot light fixtures may be mounted at 25' or less, which is the maximum height permitted by the Municipal Code.
7. The Photometrics Plan reflects that there are foot-candle readings along the east property line that exceed the 0.5 footcandles that are permitted. The light fixtures will need to be modified or adjusted to comply with this requirement.

Signage

1. There is an existing internally-illuminated ground sign located along Laraway Road. At present, the sign panel reflects the address of the building in black text on a white background. The applicant intends to replace the existing sign panels with the name of the business. Any future signage will require a Sign Permit. Due to the Will County Department of Transportation's request for 25 feet of additional right-of-way (total of 75 feet from the centerline of Laraway Road), the existing ground sign may need to be removed/relocated. Any new freestanding sign must maintain a setback of 25 feet from the property line.

Preliminary and Final Plat of Subdivision

The application includes a request for a Preliminary and Final Plat of Subdivision to create a single lot of record from an unsubdivided parcel of land. A number of technical revisions to the plat are necessary prior to recording.

Per correspondence from the Will County Department of Transportation dated March 14, 2022, the agency will require a total of 75 feet of right-of-way along Laraway Road from the centerline of the right-of-way. Therefore a 25-foot right-of-way dedication will be required. This is in addition to the existing 50-foot right-of-way dedication presently depicted on the plat. Also, the agency will require the dedication of right-of-way "in fee" as it appears that the existing right-of-way is a "roadway purposes" dedication which is similar to an easement. This additional right-of-way dedication will impact the required 25-foot landscaped yard along Laraway Road, the existing ground sign, and the proposed stormwater detention basin along Laraway Road.

Standards for Special Uses

For reference during the workshop, Article 3, Section B, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use request.

The Plan Commission shall make written findings of fact and shall refer to any exhibits containing plans and specifications for the proposed special use, which shall remain a part of the permanent record of the Plan Commission. The Plan Commission shall submit same, together with its recommendation to the Village Board for final action. No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Standards of Variation

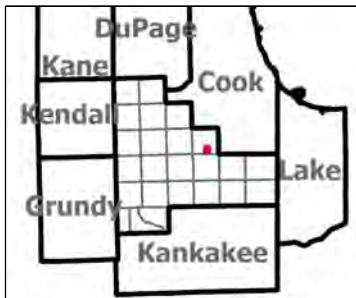
At this time, the applicant is not requesting any variations for the project. However, should this change, for reference during the workshop, Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request.

- a. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:
 1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
 2. That the plight of the owner is due to unique circumstances;
 3. That the variation, if granted, will not alter the essential character of the locality.
- b. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making this determination, whenever there are practical difficulties or particular hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;
7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.



9350 W. Laraway Road



Legend

Roadways

- Federal
- State
- County
- Local and Private

- Parcels LY
- Townships

Notes

Date: 5/19/2022

1: 2,257



0 0.04 0.07 Miles

Projection

WGS_1984_Web_Mercator_Auxiliary_Sphere

Disclaimer of Warranties and Accuracy of Data: Although the data developed by Will County for its maps, websites, and Geographic Information System has been produced and processed from sources believed to be reliable, no warranty, expressed or implied, is made regarding accuracy, adequacy, completeness, legality, reliability or usefulness of any information. This disclaimer applies to both isolated and aggregate uses of the information. The County and elected officials provide this information on an "as is" basis. All warranties of any kind, express or implied, including but not limited to the implied warranties of merchantability, fitness for a particular purpose, freedom from contamination by computer viruses or hackers and non-infringement of proprietary rights are disclaimed. Changes may be periodically made to the information herein; these changes may or may not be incorporated in any new version of the publication. If you have obtained information from any of the County web pages from a source other than the County pages, be aware that electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended that careful attention be paid to the contents of any data, and that the originator of the data or information be contacted with any questions regarding appropriate use. Please direct any questions or issues via email to gis@willcountyillinois.com.

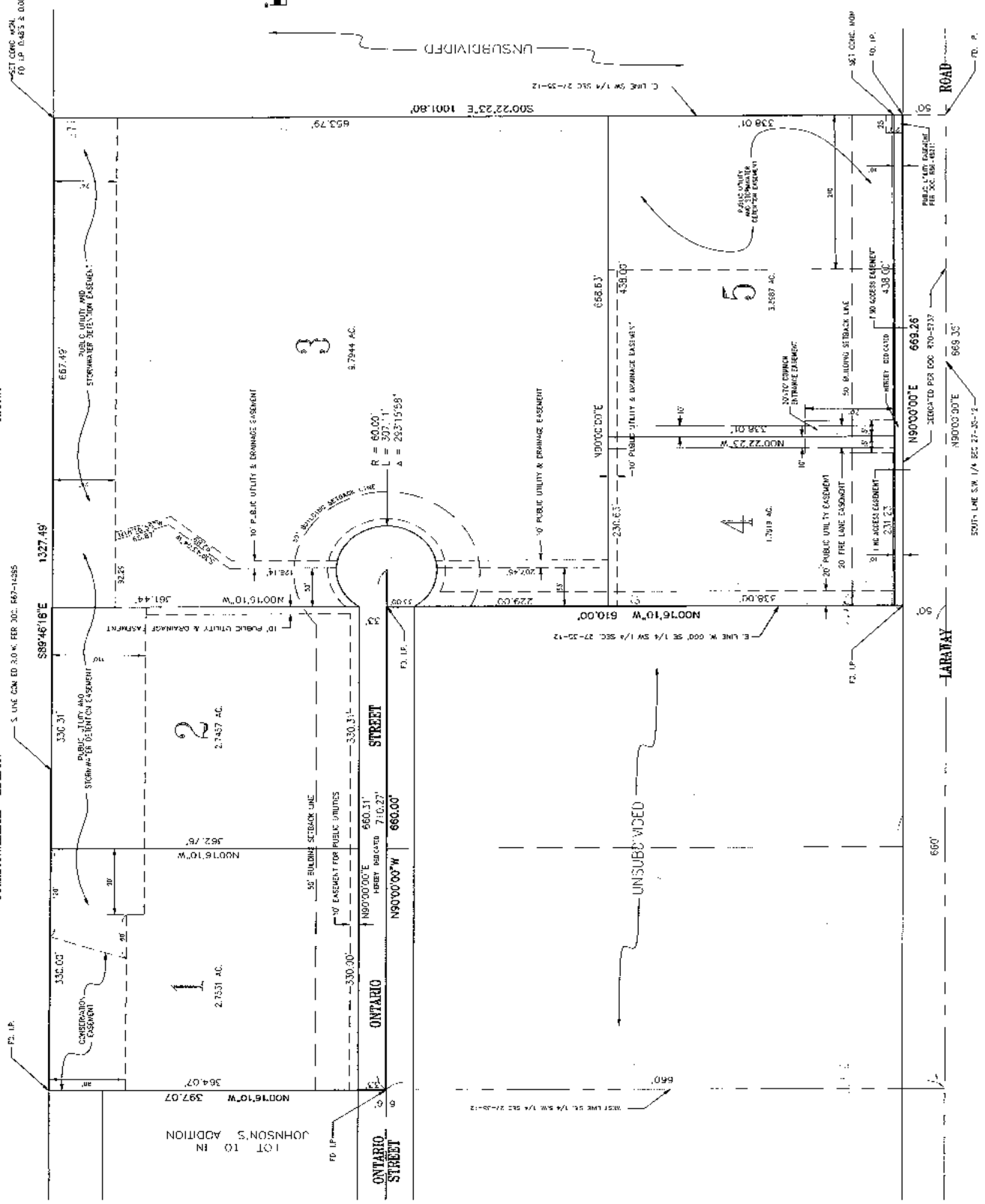
FRANKFORT INDUSTRIAL PARK

BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

S-EE-1 OF 2
N. 09-27-300-031

COMMONWEALTH EDISON

R.O.M.



PREPARED BY:
JOHN & ASSOCIATES
301 E. 10th Street, Ste. 200
Joliet, IL 60431
(815) 725-0777

RECORDED
67-11-10
1997

FRANKFORT INDUSTRIAL PARK

BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER
OF SECTION 27, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE
THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

STATE OF ILLINOIS }
COUNTY OF WILL }
THIS IS TO CERTIFY THAT I, ROBERT A. HIGDON, AN ILLINOIS
PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED AND SUB-
DIVIDED THE FOLLOWING DESCRIBED PROPERTY:

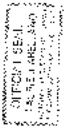
THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF
SECTION 27, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE
THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS,
BEING 40 ACRES, MORE OR LESS, AS SHOWN ON THE PLAT
HEREIN, EXCEPTING THEREFROM THE WEST 800 FEET
OF SECTION 27, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE
THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS,
BEING 40 ACRES, MORE OR LESS, AS SHOWN ON THE PLAT
HEREIN, FOR THE PURPOSES OF THE FOLLOWING PURPOSES:

ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS
THEREOF. ALL CORNERS ARE MARKED BY IRON PIPES
AND ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL
PARTS THEREOF. THE SURVEY HAS BEEN COMPLETED
AND THE PLAT HEREIN IS THE FINAL PLAT OF THE
SUBDIVISION. I, ROBERT A. HIGDON, AN ILLINOIS
PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED AND
SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

DATE: THIS 23rd DAY OF OCTOBER, A.D. 1997.
ROBERT A. HIGDON
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 207

STATE OF ILLINOIS }
COUNTY OF WILL }
THIS IS TO CERTIFY THAT ROBERT A. HIGDON, AN ILLINOIS
PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED AND
SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:
THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF
SECTION 27, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE
THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS,
BEING 40 ACRES, MORE OR LESS, AS SHOWN ON THE PLAT
HEREIN, EXCEPTING THEREFROM THE WEST 800 FEET
OF SECTION 27, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE
THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS,
BEING 40 ACRES, MORE OR LESS, AS SHOWN ON THE PLAT
HEREIN, FOR THE PURPOSES OF THE FOLLOWING PURPOSES:

DATE: THIS 23rd DAY OF OCTOBER, A.D. 1997.
BY: Robert A. Higdon TITLE: Professional Land Surveyor
ATTEST: Robert A. Higdon TITLE: Professional Land Surveyor
STATE OF ILLINOIS }
COUNTY OF WILL }
AS A HONORARY PUBLIC IN THE STATE AND COUNTY OF ILLINOIS, DO HEREBY CERTIFY
THAT THE FOREGOING INSTRUMENT, BEING A SUBDIVISION OF LAND, WAS
FILED FOR RECORD IN THE OFFICE OF THE CLERK OF THE COUNTY OF WILL,
ILLINOIS, ON THIS 23rd DAY OF OCTOBER, A.D. 1997, AND THAT THE
SAME COMES WITHIN THE PROVISIONS OF THE ACT RELATIVE TO THE
RECORDING OF INSTRUMENTS, AND THAT THE SAME IS A TRUE AND
CORRECT COPY OF THE INSTRUMENT AS FILED FOR RECORD.



PREPARED BY:
ROBERT A. HIGDON
901 LEXINGTON DR.
JOLIET, IL 62450
(815) 759-0777

EXEMPT PROVISIONS
ALL EASEMENTS FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH WATER,
SEWER, ELECTRIC, TELEPHONE, GAS AND COMMUNICATIONS SERVICE ARE HEREBY RESERVED
FOR AND GRANTED TO THE VILLAGE OF FRANKFORT, ILLINOIS, NORTHWEST
QUARTER OF SECTION 27, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE
THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS, BEING 40 ACRES,
MORE OR LESS, AS SHOWN ON THE PLAT HEREIN, EXCEPTING THEREFROM
THE WEST 800 FEET OF SECTION 27, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE
THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS, BEING 40 ACRES,
MORE OR LESS, AS SHOWN ON THE PLAT HEREIN, FOR THE PURPOSES OF THE
FOLLOWING PURPOSES:

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SEWER, ELECTRIC, TELEPHONE, GAS AND COMMUNICATIONS SERVICE ARE HEREBY
RESERVED FOR AND GRANTED TO THE VILLAGE OF FRANKFORT, ILLINOIS,
NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE
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MORE OR LESS, AS SHOWN ON THE PLAT HEREIN, EXCEPTING THEREFROM
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MORE OR LESS, AS SHOWN ON THE PLAT HEREIN, FOR THE PURPOSES OF THE
FOLLOWING PURPOSES:

STATE OF ILLINOIS }
COUNTY OF WILL }
APPROVED BY THE BOARD OF SUPERVISORS OF THE VILLAGE OF FRANKFORT, ILLINOIS,
ON THIS 23rd DAY OF OCTOBER, A.D. 1997.
BY: Robert A. Higdon TITLE: Professional Land Surveyor
ATTEST: Robert A. Higdon TITLE: Professional Land Surveyor

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ATTEST: Robert A. Higdon TITLE: Professional Land Surveyor

Site Photos – 9350 W. Laraway Road (December 28, 2020)



Figure 1: 9350 W. Laraway Road, viewed looking west from adjacent property to the east.



Figure 2: 9350 W. Laraway Road, viewed looking south from the adjacent property to the east.



Figure 3: 9350 W. Laraway Road, viewed looking south from the adjacent property to the east.



Figure 4: 9350 W. Laraway Road, viewed looking west from adjacent property to the east.



Figure 5: 9350 W. Laraway Road, viewed looking west from adjacent property to the east.



Figure 6: 9350 W. Laraway Road, viewed looking north from the west parking lot.



Figure 7: 9350 W. Laraway Road, viewed looking northeast from the west parking lot.



Figure 8: 9350 W. Laraway Road, viewed looking east from the west parking lot.



Figure 9: 9350 W. Laraway Road viewed looking northeast from the west parking lot.



Figure 10: 9350 W. Laraway Road ground sign, viewed looking southeast from west parking lot.



Figure 11: 9350 W. Laraway Road south facade, viewed looking north from front yard along Laraway Road.



Figure 12: 9350 W. Laraway Road west parking lot, viewed looking south from near the building.



Figure 13: 9350 W. Laraway Road southwest building entrance.



Figure 14: 9350 W. Laraway Road wing wall attached to the south building façade.



Figure 15: 9350 W. Laraway Road south building façade and rear dock doors.



Figure 16: 9350 W. Laraway Road chain link fence and gate on east side of building.



Figure 17: 9350 W. Laraway Road east entrance onto Laraway Road, viewed looking south.

Site Photos – 9350 W. Laraway Road (May 19, 2022)



Figure 1: 9350 W. Laraway Road, viewed looking north from the east entrance from Laraway Road.



Figure 2: 9350 W. Laraway Road, viewed looking north from the west parking lot.



Figure 3: Existing east entrance from Laraway Road viewed looking north.



Figure 4: Existing parking area view from west entrance on Laraway Road looking north.



Figure 5: 9350 W. Laraway Road ground sign, viewed looking east from west entrance from Laraway Road.



Figure 6: Existing parking lot curb along west side of west parking area.



Figure 7: Existing parking lot curb along west side of west parking area.



Figure 8: Existing parking lot curb along west side of west parking area.



Figure 9: North side of 9350 W. Laraway Road viewed looking south from Ontario Street.



Figure 10: North side of 9350 W. Laraway Road looking south from Ontario Street.

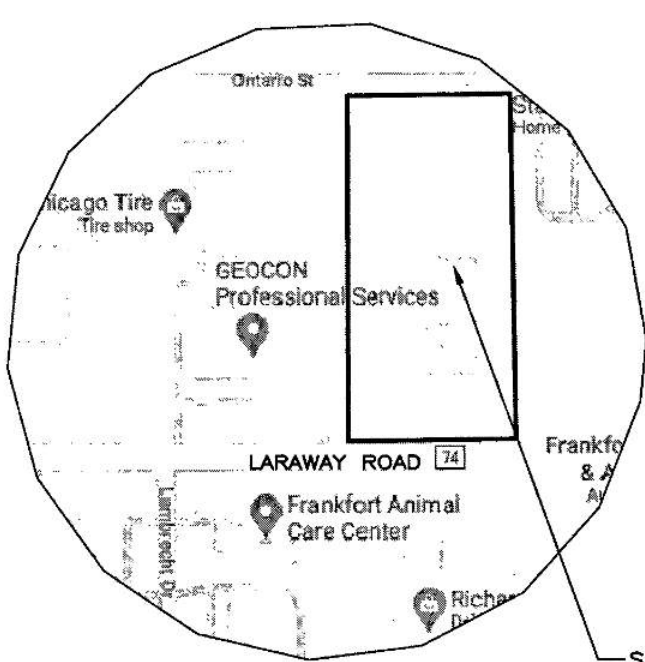


Figure 11: North side of 9350 W. Laraway Road looking south from Ontario Street.



Figure 12: North side of 9350 W. Laraway Road looking south from Ontario Street.

VICINITY MAP



SURVEY SITE

ALTA/NSPS LAND TITLE SURVEY

OF
THE EAST 330 FEET OF THE WEST 660 FEET OF THE SOUTH 660 FEET OF THE EAST 1/2 OF
THE SOUTHWEST 1/4 OF SECTION 27, IN TOWNSHIP 35 NORTH, AND IN RANGE 12, EAST OF
THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

LAND TOTAL AREA: 190,408 SQ. FT. = 4,371 ACRES.

EXTERIOR FOOTPRINT AREA OF BUILDING: 24,387 SQ. FT.

COMMONLY KNOWN AS: 9350 WEST LARAWAY ROAD, FRANKFORT, ILLINOIS.

PERMANENT INDEX NUMBER: 09-27-300-023-0000.



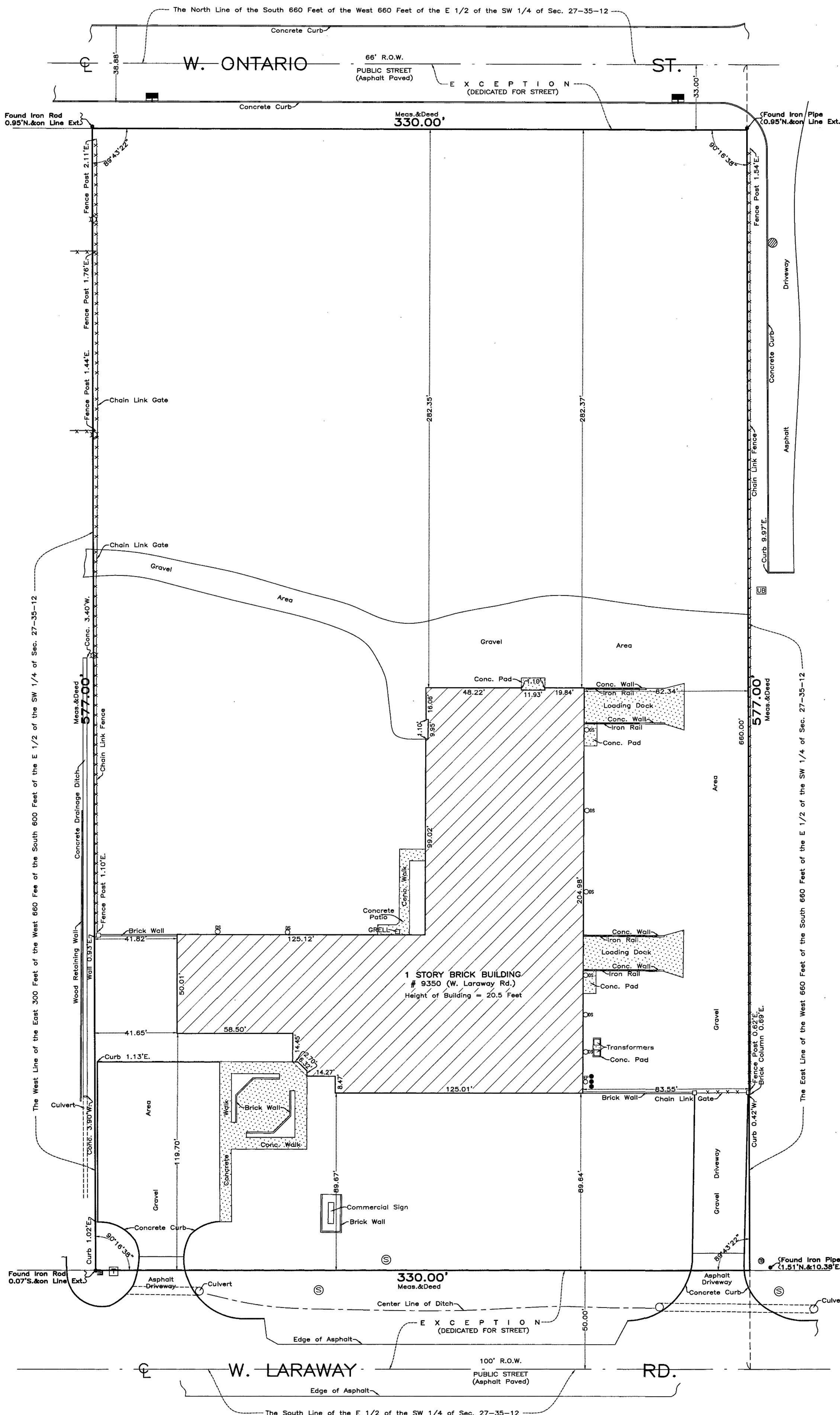
NORTH

GRAPHIC SCALE

30 0 30 60

(IN FEET)

1 inch = 30 ft.



LEGEND:

- UTILITY BOX
- TELEPHONE SWITCH BOX
- TELEPHONE MANHOLE
- SEWER MANHOLE
- INLET
- CATCH BASIN
- LIGHT POLE
- METAL POST
- ELECTRIC PIPE
- DOWNSPOUT

NOTE:

PROPERTY IS SUBJECT TO EASEMENT BY DOCUMENT NO. R86-48210.
DOES NOT APPLY TO THIS PROPERTY.

NOTE:

THERE ARE NO OUTDOOR DESIGNATED OR STRIPED
PARKING SPACES ON THIS PROPERTY.

BASIS: CHICAGO TITLE INSURANCE COMPANY.
COMMITMENT NO. 206NW213225K
EFFECTIVE DATE: SEPTEMBER 30, 2020.

DIMENSIONS ARE NOT TO BE ASSUMED FROM
SCALING.

ORDER NO.: 20-97512

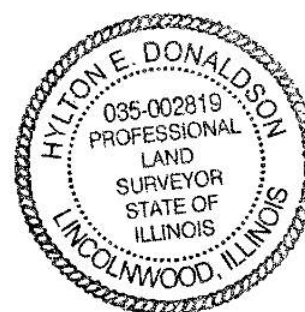
SCALE: 1 INCH = 30 FEET.

DATE OF FIELD WORK: November 5, 2020.

ORDERED BY: GRYLL LAW

FLOOD CERTIFICATE:
ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP
OF VILLAGE OF FRANKFORT, ILLINOIS DATED FEBRUARY 15, 2019, COMMUNITY PANEL
NUMBER 170701 0327.6, THIS PROPERTY IS IN A MINIMUM FLOOD AREA AND IS
DESIGNATED AS ZONE "X"

NO FIELD SURVEYING WAS PERFORMED BY UNDERSIGNED SURVEYOR TO DETERMINE THIS ZONE.



TO: CHICAGO TITLE INSURANCE COMPANY
- SAVANA EXPEDITED LLC
- WILLIAM P. DYBEL AND PALETTE DYBEL
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE
MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR
ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND
INCLUDES ITEMS 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b), 7(c), 8, 9 & 14 OF TABLE A THEREOF.
THE FIELD WORK WAS COMPLETED ON NOVEMBER 5, 2020.

DATE OF PLAT November 9, 2020.

Hilton E. Donaldson



















































































IL PROF. LAND SURVEYOR NUMBER 035-002819 MY LICENSE EXPIRES NOVEMBER 30, 2020.
Drawn by: JR

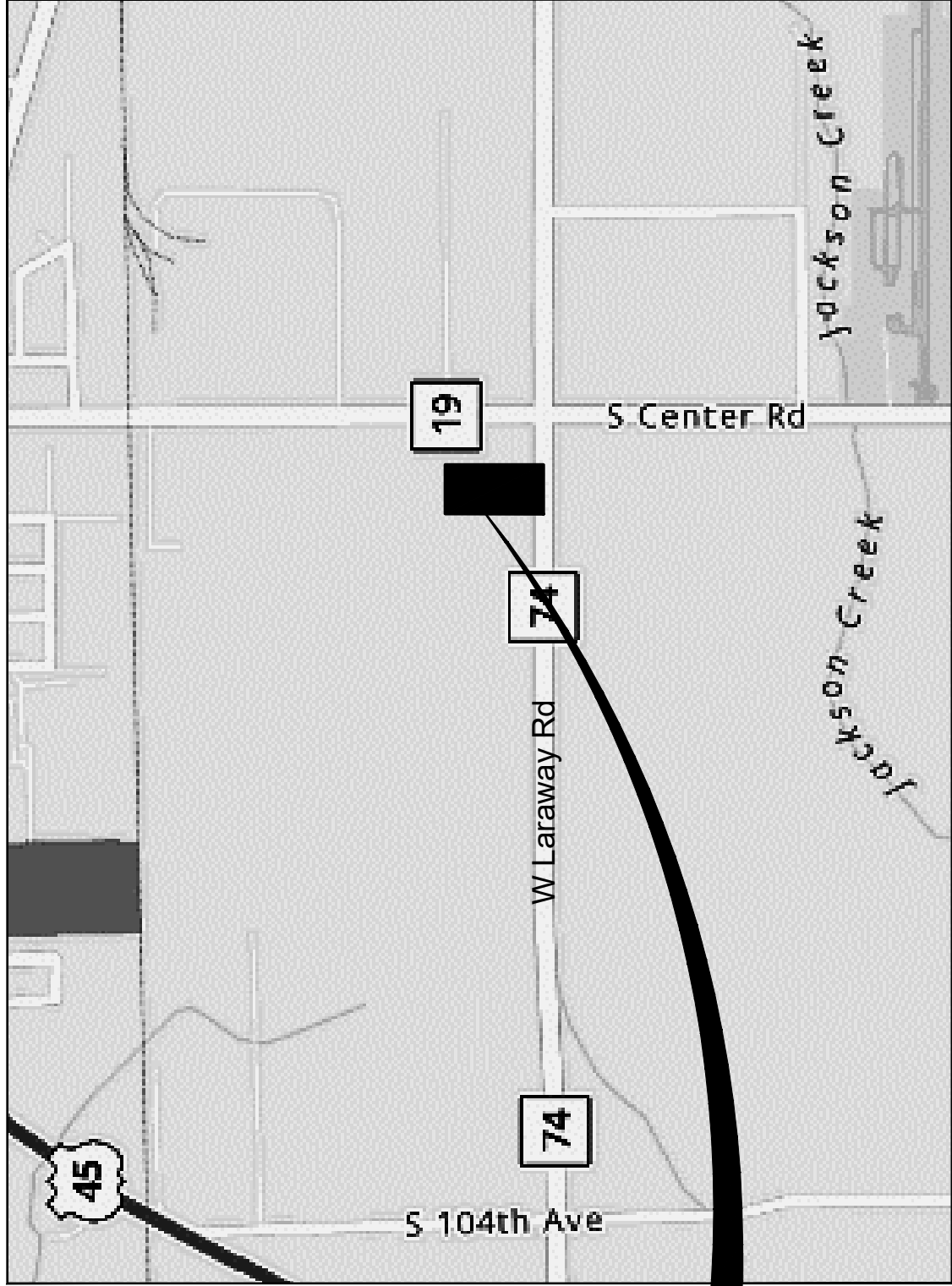
9350 W. LARAWAY ROAD

FRANKFORT, ILLINOIS

RECEIVED
By Mike Schwarz at 3:37 pm, Mar 28, 2022

LEGEND

EXISTING	PROPOSED
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	



PROJECT LOCATION

PROJECT LOCATION MAP

PREPARED FOR
SAVANA EXPEDITED
27 W. EURIKA DRIVE
LEMONT, ILLINOIS 60430



BOUNDARY INFORMATION AS HEREON DRAWN
IS BASED ON AN ALTA SURVEY PREPARED BY
PROFESSIONALS ASSOCIATED SURVEY, INC.
DATED 11/09/2020 ORDER #20-97512

SOURCE BENCHMARK
DESIGNATION = WILL COUNTY GPS 934 PID = AE2381 STATE/COUNTY = ILLINOIS / FRANKFORT (2018) USGS QUID DESCRIPTION: FROM INTERSECTION OF US ROUTE 45 AND CROSSROAD, STATION IN NORTHEAST QUADRANT. STATION IS FLUSH WITH SURFACE AND IS STAINLESS ROD WITH SLEEVE WITH GALT OFF AND LID IS MISSING. NAVD88 ELEVATION: 785.05
SITE BENCHMARK #1
NORTHWEST FLANGE BOLT ON FIRE HYDRANT ON NORTH SIDE OF ONTARIO STREET NEAR NORTHWEST PROPERTY CORNER. ELEVATION = 784.11 NAVD88
SITE BENCHMARK #2
NORTHEAST FLANGE BOLT ON FIRE HYDRANT ON SOUTHWEST SIDE OF ONTARIO STREET NEAR NORTHWEST PROPERTY CORNER. ELEVATION = 780.40 NAVD88
SITE BENCHMARK #3
SOUTHWEST FLANGE BOLT ON FIRE HYDRANT ON SOUTH SIDE OF LARAWAY ROAD NEAR SOUTHWEST PROPERTY CORNER. ELEVATION = 756.61 NAVD88
SITE BENCHMARK #4
SOUTHWEST FLANGE BOLT ON FIRE HYDRANT ON SOUTH SIDE OF LARAWAY ROAD NEAR SOUTHWEST PROPERTY CORNER. ELEVATION = 754.02 NAVD88

INDEX OF SHEETS

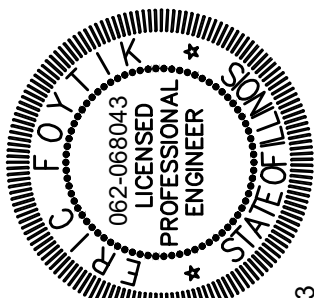
- COVER SHEET
- DEMOLITION PLAN
- GEOMETRIC PLAN
- UTILITY PLAN
- GRADING & EROSION CONTROL PLAN
- LANDSCAPE PLAN
- PHOTOMETRICS PLAN
- VEHICLE TURNING EXHIBIT
- DETAILS

COVER SHEET	9350 W. LARAWAY ROAD FRANKFORT, ILLINOIS
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Morris Engineering, Inc.
Civil Engineering • Consulting
Land Surveying
515 Warrenville Road, Lisie, IL 60532
Phone: (630) 271-0770
Survey: (630) 271-0599
Fax: (630) 271-0774
Website: www.ectivil.com



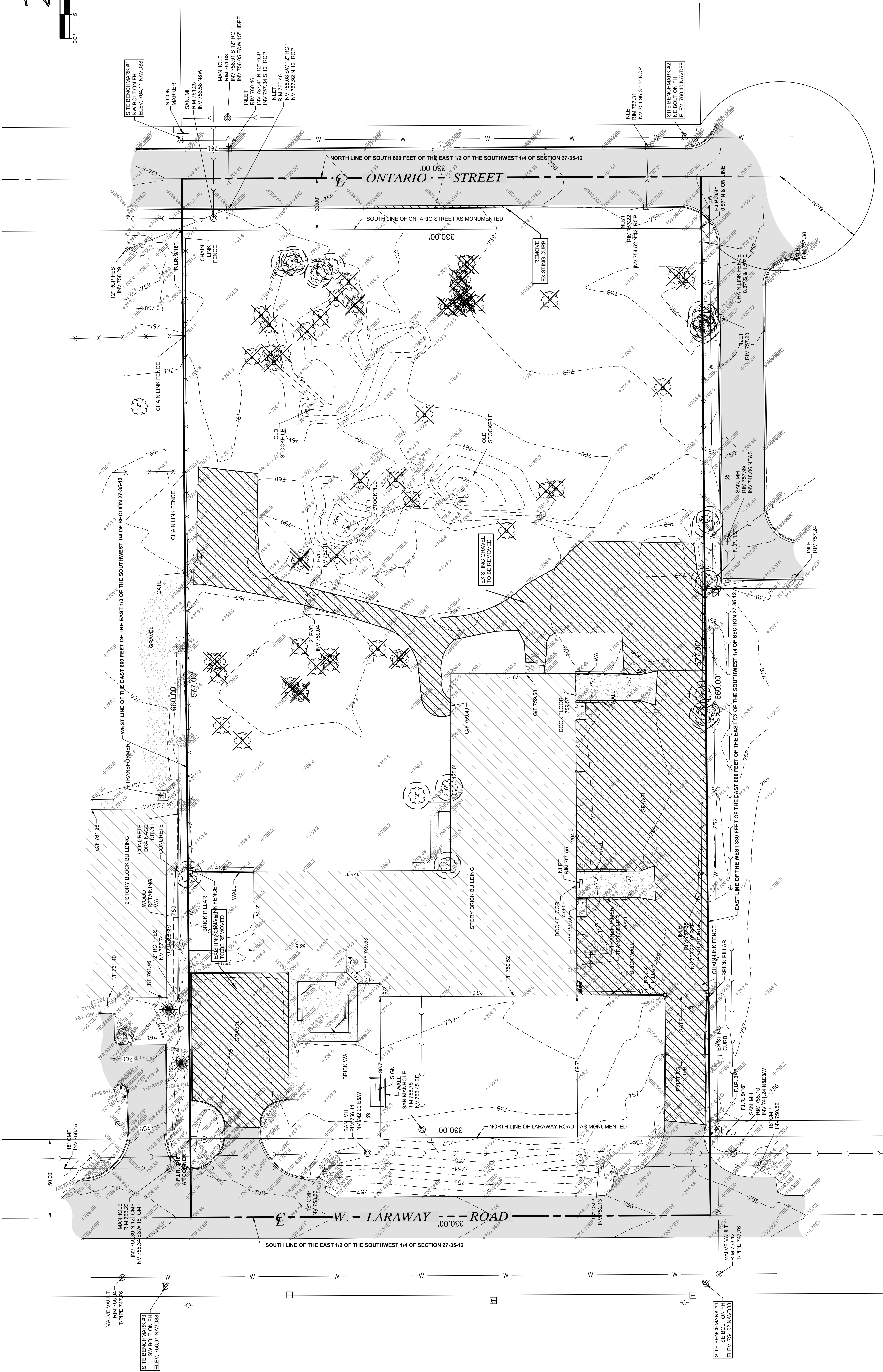
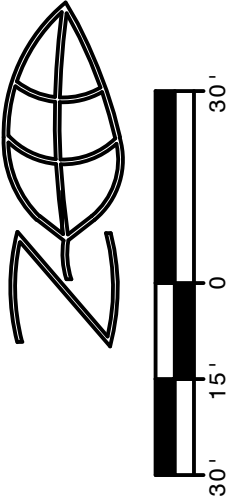
FIELD JOB: PW	DRAWN BY: CJS	CHECKED BY: AS	APPROVED BY: EF	DATE: 5/05/2021	SCALE: AS SHOWN	VERT: -	SHEET: 1	OF 6 SHEETS	PROJ # 21-03-2002
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I, ERIC FOYLE, A REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY MORRIS ENGINEERING, INC. 515 WARRENVILLE ROAD, LISIE, ILLINOIS, 60532 UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS. I FURTHER STATE THAT THE PROPOSED IMPROVEMENTS WILL NOT CAUSE FLOODING OR FLOODING ON THE PROPERTY OR ADJACENT PROPERTIES.

DATED THIS 14TH DAY OF MARCH, A.D. 2022

ILLINOIS REGISTERED PROFESSIONAL ENGINEER NO. 062-068043
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2023

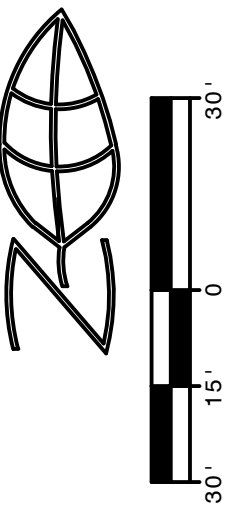


DEMOLITION PLAN
9350 W. LARAWAY ROAD
FRANKFORD, ILLINOIS

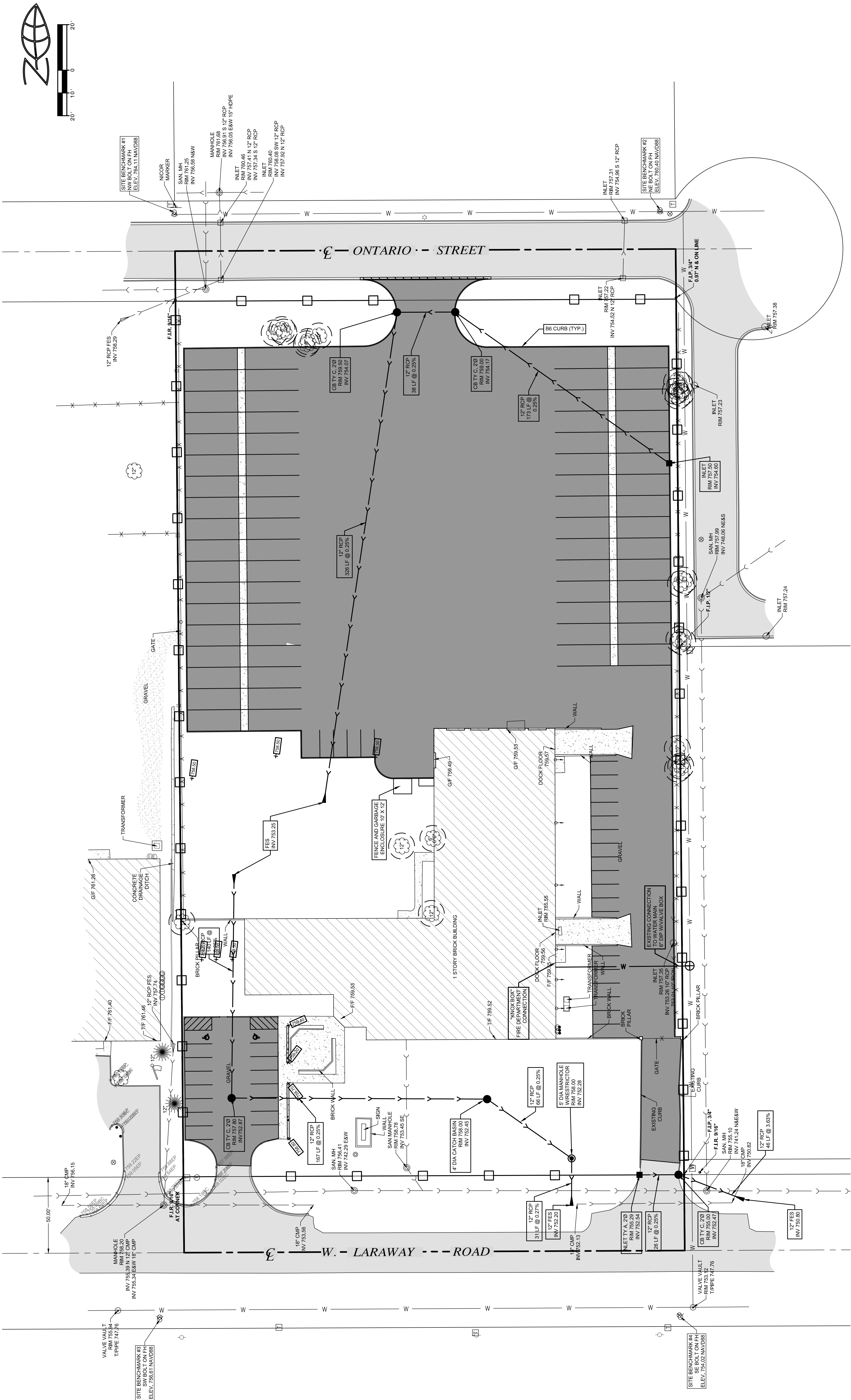
Morris Engineering, Inc.
Civil Engineering • Consulting • Land Surveying
515 Warrenville Road, Suite 100, Frankfort, IL 60132
Phone: (630) 271-0770
Survey: (630) 271-0699
Fax: (630) 271-0774
Website: www.morriseng.com



FIELD CHECK:	PW
DRAWN BY:	CJS
CHECKED BY:	AS
APPROVED BY:	EF
DATE:	5/05/2021
SCALE:	HORIZ 1"=50'
VERT:	-
SHEET:	2
OF 6 SHEETS	
PROJECT #	21-03-2002



CAR PARKING TOTAL 38
OFFICE 5,000 SQ.FT (AT 250) 20 SPACES
WAREHOUSE 10,952 SQ.FT (3 SPACES + 1 EMPLOYEE)
REPAIR SHOP LIGHT INDUSTRY - 7,000 SQ.FT (AT 2 PER 1,000) 14 SPACES
TOTAL REQUIRED 38 SPACES



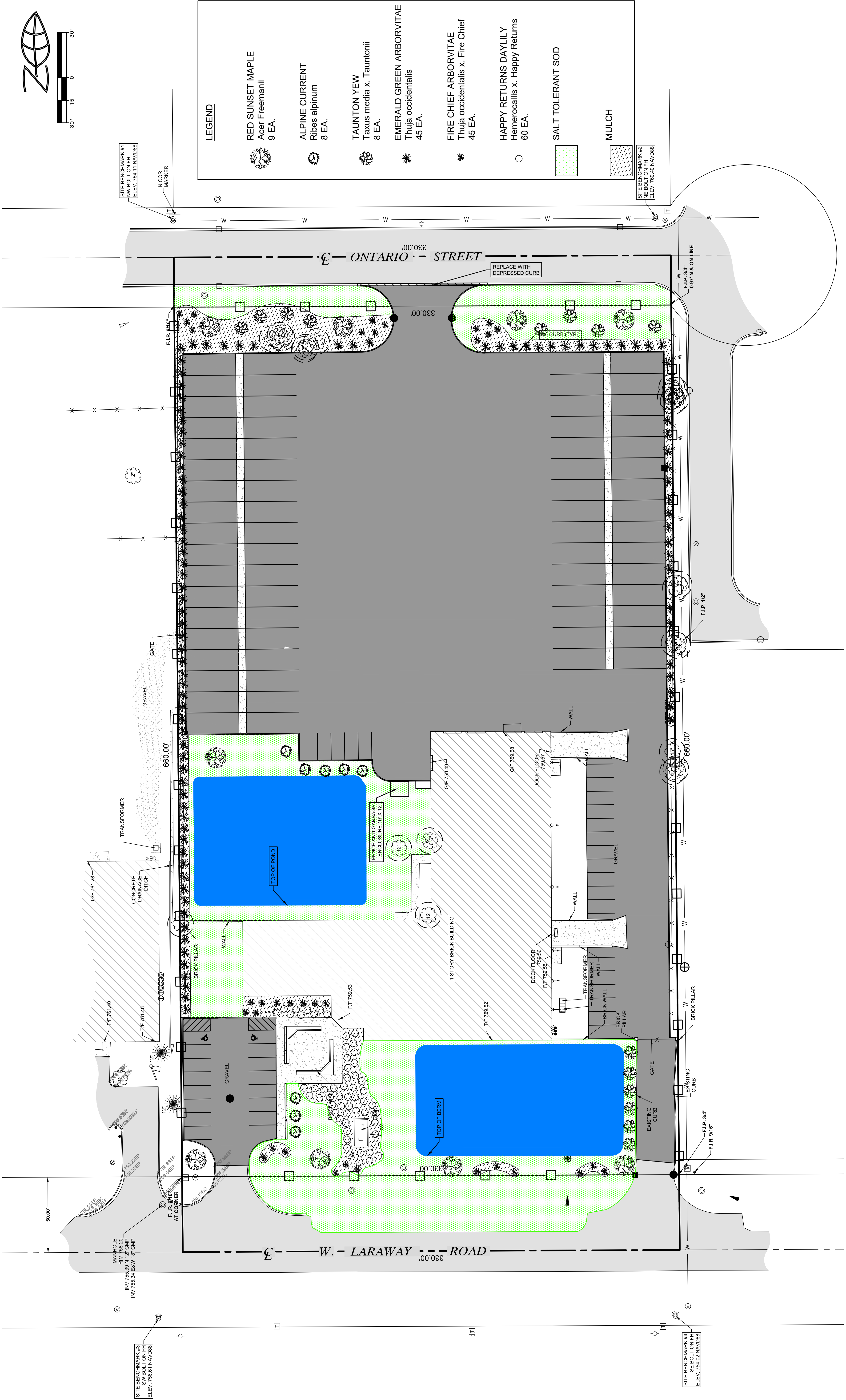
NOTE :
ALL EXISTING BUILDING DOWNSPOUTS
TO BE CONNECTED TO PROPOSED STORM
SEWER SYSTEM.

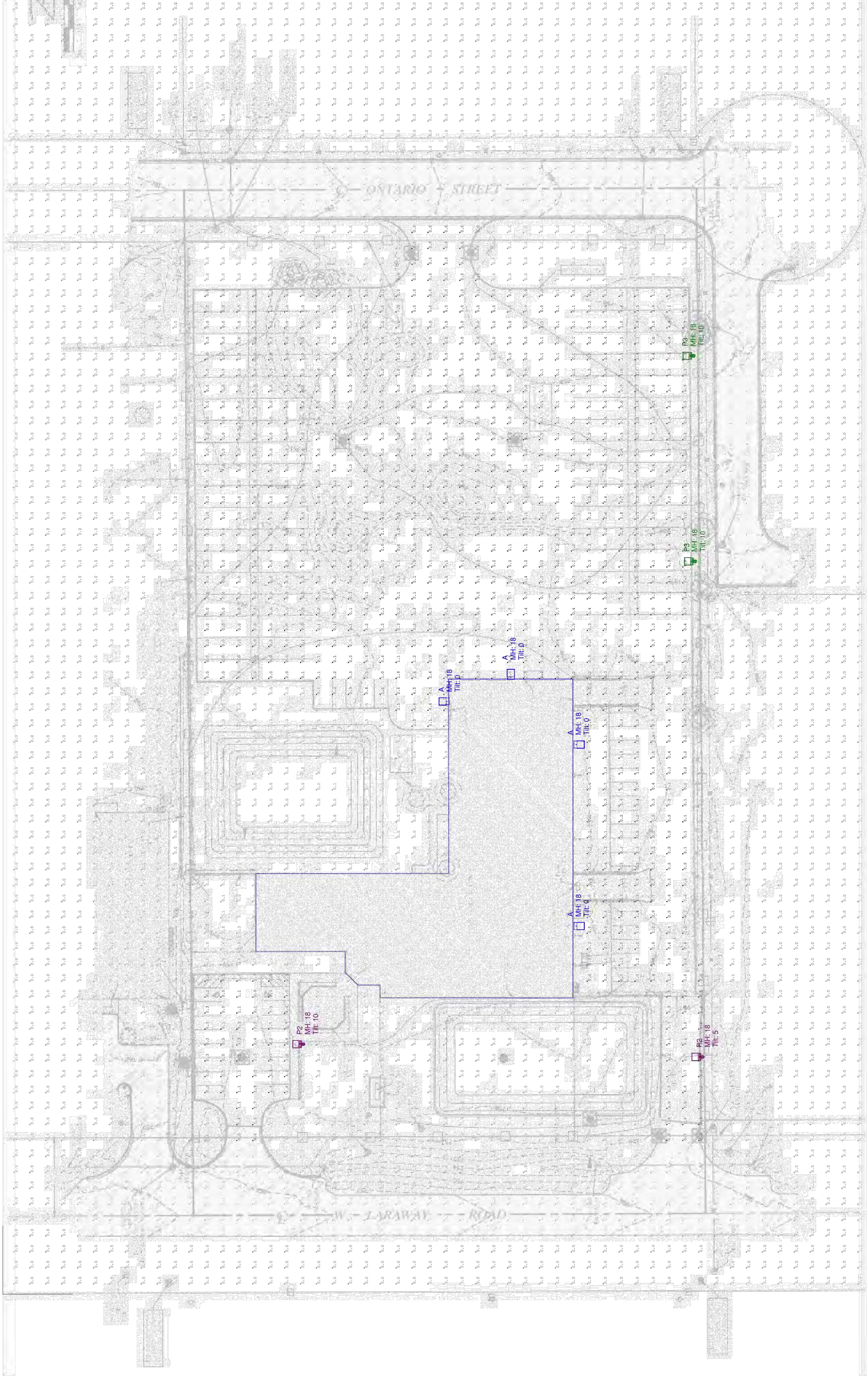
6		
5		
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3		
2		
1		
DATE		



6		
5		
4		
3		
2		
1		
DATE		

		5
		4
		3
		2
		1
TOTAL		





Luminaire Schedule		Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description
Symbol	Qty						
P3	2	P3	SINGLE	N.A.	0.830	294	RS32 LED P3 50K R4 AGSP HS
A	4	A	SINGLE	N.A.	0.830	312	TW33 LED P2 50K

Calculation Summary						
Lamp		Avg	Max	Min	Avg/Min	Max/Min
Parking		0.68	7.2	0.0	N.A.	N.A.
Site cables		0.04	3.3	0.0	N.A.	N.A.

Features mounted at 18' AFG, using 1" SSS pole
mounted on 2" concrete base AFG

Bulding mounted fixtures at 18' AFG



Date: 3/17/2022 Scale: 1"=30' Layout by: ANDREW LUEBKE Customer No: _____
Filename: C:\Users\Andy.Luebke\OneDrive - KSA Lighting and Controls\Desktop\KSA AG102022.AG

Footcandle calculated at grade using mean lumin values

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SHEET

DATE: 5/05/2021

SCALE: 1"=30'

APPROVED BY: _____

CHECKED BY: _____

DRAWN BY: _____

FIELD JOB: _____



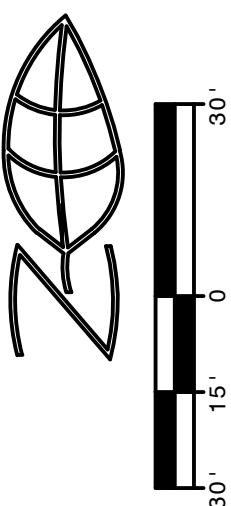
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Website: www.mei-civil.com

PHOTOMETRICS PLAN

9350 W. LARAWAY ROAD

FRANKFORD, ILLINOIS









DATE



PHONE: 630-965-2383 Kristina Vlastelica

**Total Square Footage 24,400
Feet not including Loft Space**

N
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	SUPPORT I BEAM
	SUPPORT COLUMNS
	WINDOWS 40" W X 6.9" H
DOOR A	10 FEET X 12 FEET
DOOR B	12 FEET X 14 FEET
DOCK C	10 FEET X 12 FEET
FIRE DOOR 	12 FEET X 14 FEET
DOCK D	10 FEET X 12 FEET
WAREHOUSE HEIGHT	16 FOOT EAVE HEIGHT
FRONT LOFT	2400 SQUARE FEET
BACK LOFT	2500 SQUARE FEET
SIDE LOFT	16' X 40'
	BATHROOMS (6)
	PLUMBING FOR FUTURE BATHROOM
	CLOSET
	SEWER ACCESS

