



**PLAN COMMISSION / ZONING BOARD OF APPEALS  
AGENDA**

**Thursday, March 10, 2022  
6:30 P.M.**

**Frankfort Village Hall  
432 W. Nebraska Street (Board Room)**

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- 1. Call to Order**
  - 2. Roll Call**
  - 3. Approval of Minutes of February 24, 2022**
  - 4. Workshop: Quinlan variance for basement size – 247 Hickory**  
Future Public Hearing Request: Variance to allow for new home construction with a basement that is less than 80% of the footprint of the house. *(Christopher Gruba)*
  - 5. Workshop: 23050 S. La Grange – Landscape Company**  
Future Public Hearing Request: Two special use permit requests for outdoor storage of uncontained bulk materials (gravel, mulch) and outdoor storage except uncontained bulk materials (vehicles, merchandise display) for a landscape company. *(Christopher Gruba)*
  - 6. Workshop: Misty Creek**  
Future Public Hearing Request: Rezoning from E-R to R-4 with a PUD overlay for 34-unit townhome development. Other Requests: Final Plat of Subdivision, including Plat of Dedication for 116<sup>th</sup> Ave and Misty Creek Lane (PIN: 19-09-30-300-011-0000). *(Christopher Gruba)*
  - 7. Workshop: Oasis Assisted Living**  
Future Public Hearing Request: Special use permit for assisted living facility. Other requests: Final Plat of Subdivision (PIN: 19-09-23-300-031-0000). *(Christopher Gruba)*
  - 8. Workshop: 22660 S. Harlem Avenue – Gracepoint Ministries**  
Future Public Hearing Request: Special use permit for a Planned Unit Development to allow a religious retreat center. (PIN: 19-09-36-204-042-0000). *(Mike Schwarz)*
  - 9. Public Comments**
  - 10. Village Board & Committee Updates**
  - 11. Other Business**
  - 12. Attendance Confirmation (March 24, 2022)**
  - 13. Adjournment**

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All applicants are advised to be present when the meeting is called to order. Agenda items are generally reviewed in the order shown on the agenda, however, the Plan Commission/Zoning Board of Appeals reserves the right to amend the agenda and consider items in a different order. The Commission may adjourn its meeting to another day prior to consideration of all agenda items. All persons interested in providing public testimony are encouraged to do so. If you wish to provide public testimony, please come forward to the podium and state your name for the record and address your comments and questions to the Chairperson.



**MINUTES  
MEETING OF VILLAGE OF FRANKFORT  
PLAN COMMISSION / ZONING BOARD OF APPEALS  
FEBRUARY 24, 2022–VILLAGE ADMINISTRATION BUILDING  
432 W. NEBRASKA STREET**

**Call to Order:** Chair Rigoni called the meeting to order at 6:30 P.M.

**Commissioners Present:** Chair Maura Rigoni, Dan Knieriem, Will Markunas, Nichole Schaeffer, David Hogan

**Commissioners Absent:** Ken Guevara

**Staff Present:** Director of Community and Economic Development  
Mike Schwarz, Marina Zambrano

**Elected Officials Present:** None

Chair Rigoni noted that there were a number of members of the public in attendance.

**A. Approval of the Minutes from February 10, 2022**

**Motion (#1):** Approval of the minutes, as presented, from February 10, 2022

Motion by: Knieriem

Seconded by: Markunas

Approved: (5 to 0)

**B. Public Hearing: 240 Hickory Street – Kimsey Residence Remodel/Addition/Plat of Resubdivision**

Director Schwarz presented a summary of the application which includes a request for a variation from Article 6, Section B, Part 2(g)(2) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding on a proposed addition in the R-2 Single-Family Residential District located at 240 Hickory Street, Frankfort, Illinois. The application also includes a request for approval of the Kimsey Resubdivision, which is a consolidation of Lots 38 and 39 in the McDonald Subdivision for the purpose of removing the existing lot line which runs beneath the existing home and proposed addition (PIN: 19-09-28-224-014-0000).

Chair Rigoni asked if the applicant or their representative would like to add any comments.

Steve Lecas, of Gander Builders, the general contractor and representative for the applicant approached the podium and stated that he was impressed with the thoroughness of the staff report and did not have anything to add.



Chair Rigoni asked the Commissioners if they had any initial questions. Several Commissioners responded that they had some questions for the applicant or their representative.

Steve Lecas, of Gander Builders provided some background information about the project, adding that the Kimsey residence was handed down through the family and was built in the later 1890's or early 1900's. The house needs to be updated and does not currently have a functional floor plan. He added that the request for a variation is self-explanatory and the replacement materials for the exterior of the house will be better than the existing materials.

A Commission member asked what the proposed rear addition would look like. Mr. Lecas responded that the rear addition would look similar to and blend in with the existing house. He added that there are some foundation cracking issues that will also be repaired.

Chair Rigoni asked Mr. Lecas if the project includes replacing the exiting siding on the entire house or just installing new non-masonry materials on the proposed rear addition. Mr. Lecas responded that the project involves replacing the existing wood siding on all sides of the house with new Hardie® Board or similar fiber cement siding that looks like wood. He said that he actually prefers using fiber cement siding than cedar siding. Director Schwarz mentioned that when he spoke with Mr. Kimsey, he was still in the process of evaluating whether to use cedar siding or fiber cement board siding depending on the cost. Therefore, staff would ask the Commission if they would like to allow the applicant the option of installing either material should they approve the variation. Chair Rigoni responded that they have not typically approved two different materials but would defer to the desire of the Commission. There was consensus to allow either cedar siding or fiber cement board siding.

Chair Rigoni asked Mr. Lecas about the proposed color scheme. Mr. Lecas responded that the color will be similar to the existing gray color but will likely be a lighter shade.

Chair Rigoni asked the Commission if there were any other questions for staff or Mr. Lecas. There were none.

Chair Rigoni asked if there were any members of the public who would like to present testimony regarding this case.

Marcia Steward approached the podium and stated that she is a neighbor. She stated that she is excited to see that the proposed addition and re-siding work would respect the historical style and character of the existing house and she complimented the applicant and Mr. Lecas on the project.

Jerry Warning approached the podium and stated that he is a neighbor. He stated that he is all for the project and improving the existing house.

Commissioner Schaeffer stated that she also is a neighbor who lives two doors down from the property and she is excited about the project.

Commissioner Knieriem asked Mr. Lecas to clarify the ridgeline of the proposed rear addition relative to the existing house. There was some discussion based on the building elevations that were presented on the overhead screen and Commissioner video monitors. Mr. Lecas stated that the addition will project 12 feet out from the rear of the existing house which will allow for a second-floor master bedroom.

Chair Rigoni stated that it is nice to see an addition in this neighborhood as opposed to a teardown.

Chair Rigoni suggested that the motion for the variation request should incorporate the materials to be either cedar siding or fiber cement board siding. Director Schwarz responded that these two optional materials could be inserted in parentheses in the suggested motion that was included in the staff report.

**Motion (#2):** Motion to close the public hearing.

Motion by: Knieriem

Seconded by: Schaeffer

Approved: (5 to 0)

**Motion (#3):** Motion to recommend that the Village Board approve a variation from Article 6, Section B, Part 2(g)(2) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding (cedar or fiber cement siding) on a proposed rear addition in the R-2 Single-Family Residential District located at 240 Hickory Street in accordance with the submitted plans, public testimony, and Findings of Fact.

Motion by: Knieriem

Seconded by: Schaeffer

Approved: (5 to 0)

**Motion (#4):** Motion to recommend that the Village Board approve the Kimsey Plat of Resubdivision, which is a consolidation of Lots 38 and 39 in the McDonald Subdivision, subject to any necessary technical revisions prior to recording.

Motion by: Knieriem

Seconded by: Markunas

Approved: (5 to 0)

**C. Non-Public Hearing: 11388 and 11410 Vienna Way - Williams Plat of Resubdivision**  
Request for approval of the Williams Plat of Resubdivision, which is a consolidation of Lots 57 and 58 in the Olde Stone Village Subdivision for the purpose of creating a larger lot for the construction of a new home (PINs: 19-09-31-401-026-0000 and 19-09-31-027-0000).

Director Schwarz presented a summary of the application.

Chair Rigoni asked if the applicant or their representative would like to add any comments.

Shannon Williams, representing the applicant Elizabeth Williams, approached the podium and stated that she was representing her mother-in-law on the application to

consolidate the two existing lots. She stated that the proposed house plans are ninety percent complete. There was an illness in the family that delayed the completion of the plans. She added that her and her husband desire to build a big enough home such that her inlaws will have separate living quarters. She estimates that the new house will be somewhere between 5,000 and 6,500 square feet.

Chair Rigoni asked the Commissioners if they had any initial questions. There were none.

Chair Rigoni stated that the proposed resubdivision to consolidate two existing lots is consistent with other past applications, including one such consolidation right across the street from the subject property.

**Motion (#5):** Motion to recommend that the Village Board approve the Williams Plat of Resubdivision, which is a consolidation of Lots 57 and 58 in the Olde Stone Village Subdivision, subject to any necessary technical revisions prior to recording.

Motion by: Markunas

Seconded by: Schaeffer

Approved: (5 to 0)

**D. Workshop: 20522 Magnolia Court – Patrick and Samantha Major Residence**

Future Public Hearing Request: Request for a variation from Article 6, Section B, Part 1(c) of the Village of Frankfort Zoning Ordinance to increase the maximum permitted lot coverage from 20% to 25% for the construction of a new single-family home in the R-2 Single-Family Residential District located at 20522 Magnolia Court (PIN: 19-09-14-304-025-0000).

Director Schwarz presented a summary of the application.

Chair Rigoni asked if the applicant or their representative would like to add any comments.

Patrick and Samantha Major, the applicants, approached the podium and provided a brief summary of the request. Samantha Major stated that they love the area and wanted to design their forever home. They have friends who live in the neighborhood. Patrick Major stated that he is a local business owner and is open to suggestions on any other items besides the request for a variation to increase the lot coverage five percent over the maximum that is permitted. He added that they are investing more than \$600,000 in this home and for this reason the request for twenty-five percent lot coverage should be okay.

Chair Rigoni stated that the plans that were submitted do not include a Plot Plan of the proposed house on a Plat of Survey so that the Commission can review all aspects of the proposed new home to make sure that additional variations are not necessary. Patrick Major responded that the proposed home would comply with all setback requirements. Director Schwarz stated that one drawing that was submitted with the house footprint looks to be plotted onto a Plat of Survey, but the lot lines are not labeled. Also, based on the side yard setback dimensions that are labeled on the drawing, the proposed house would not comply with the required 10-foot minimum

north side yard setback or the required combined total of 25 feet for both side yard setbacks.

Chair Rigoni opened the floor to other comments or questions from the Commission.

Commissioner Knieriem asked for clarification if the proposed covered porch on the rear of the house is included in the definition of lot overage. Patrick Major stated that he did not include that covered portion in his request. Commissioner Knieriem also asked if decks are included in lot coverage.

Patrick Major asked that we be transparent and asked why the Village had a maximum twenty-five percent lot coverage for one story homes and a maximum twenty-percent lot coverage for two story homes.

Commissioner Schaeffer also asked if decks are included in the definition of lot coverage.

Director Schwarz responded that decks are not included in the definition of lot coverage.

Chair Rigoni also explained the requirements for lot coverage.

Director Schwarz presented a page from the Zoning Ordinance on the overhead screen and Commissioner video monitors. He read the definition for “lot coverage” as follows:

*Lot Coverage: That percentage of a lot which, when viewed directly from above, would be covered by primary and accessory structures, or any part thereof, excluding projecting roof areas. For purposes of calculating maximum lot coverage, structures shall not include swimming pools, open porches, patios, decks, outdoor tennis or basketball courts, or similar open accessory uses.*

Director Schwarz added that he would confirm with the Director of Building Services on whether this particular covered porch would be excluded under the term “projecting roof” in the definition.

Commissioner Knieriem asked if the applicants purchased and now own the lot. Patrick Major responded yes.

Commissioner Knieriem stated that the size of the home suggests that it be reduced to comply with the twenty percent lot coverage requirement.

Commissioner Hogan asked Director Schwarz if there is any history of similar variation approvals. Director Schwarz responded that he searched the ordinances in the Village Clerk’s file for the term “lot coverage” and did not find any other variation requests pertaining to lot coverage. He added that he began conducting an analysis of other existing houses in the subdivision to check lot coverage, but it was a very time-consuming process, so his results were more of a spot check than a review of every single-family home in the Walnut Creek Phase Three Subdivision. He added that the Village’s Building Department only has single-family permit plans going back for the

past six years, so he had to use the square-footage data from the Frankfort Township Assessor's Property Search web page. He stated a few of the results from his list and noted that the homes that he analyzed did comply with the lot coverage requirement.

Commissioner Markunas commented that the applicants should be aware of the side yard setback requirements.

Commissioner Schaeffer stated that she echoes Commissioner Hogan's comments and that she is sticking to the required maximum twenty-percent lot coverage. She suggests that the applicant revise the plans, including the rear overhang in order to comply.

Patrick Major stated that they are only requesting a five percent increase.

Chair Rigoni stated that the Village's rules and high standards are what drew the applicants to Frankfort.

Patrick Major stated that if they had a larger lot, they would be okay.

Chair Rigoni stated that she does not support the variation request and further explained the standard lot coverage.

Commissioner Schaeffer stated that she is trying to be consistent and that there are a lot of variables in the applicant's design that can be adjusted and still build their dream home.

Commissioner Markunas stated that the Commission is a recommending body only guiding applicants to meet the standards.

#### **E. Public Comments**

Chair Rigoni noted that there were no members of the public remaining in attendance so there are no public comments.

#### **F. Village Board & Committee Updates**

Schwarz noted that the following matters that previously came before the PC/ZBA were approved by the Village Board at its meeting on February 21:

- Village of Frankfort Zoning Ordinance Amendment to Articles 5 and 12 – Indoor Recreation and Entertainment and Outdoor Recreation and Entertainment

#### **G. Other Business**

Chair Rigoni noted that there was no other business.

#### **H. Attendance Confirmation (March 10, 2022)**

Chair Rigoni asked the Commissioners to notify staff if they will not be in attendance on March 10<sup>th</sup>.

**Motion (#6):** Adjournment 7:47 p.m.

Motion by: Markunas                      Seconded by: Knieriem

Unanimously approved by voice vote.

Approved March 10, 2022

As Presented \_\_\_\_\_ As Amended \_\_\_\_\_

\_\_\_\_\_/s/Maura Rigoni, Chair

\_\_\_\_\_ s/ Secretary

**Project:** Quinlan Residence – New Construction  
**Meeting Type:** Workshop  
**Request(s):** Request for a variation from Article 6, Section B, Part 2(l) of the Village of Frankfort Zoning Ordinance to permit the construction of a basement that is less than 80% of the area of the ground floor (not including the attached garage); request for approval of a resubdivision to consolidate lots  
**Location:** 247 Hickory Street  
**Applicant:** Arthur & Gail Quinlan  
**Prop. Owner:** Same  
**Report By:** Christopher Gruba, Senior Planner

### Site Details

**Lot Size:** 0.36 Acres / 15,739 sq. ft.  
**PIN(s):** 19-09-28-225-006-0000  
**Existing Zoning:** R-2  
**Prop. Zoning:** N/A  
**Building(s) / Lot(s):** 1 buildings / 2 ½ lots  
**Adjacent Land Use Summary:**

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>North</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>South</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>East</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>West</b>	Single-family Residential	Single-Family Detached Residential	R-2

Figure 1: Location Map



### Project Summary

The applicants, Arthur and Gail Quinlan, are seeking to demolish the existing home located at 247 Hickory Street and construct a new, 3,492 square foot 1-story house. The Zoning Ordinance requires that all new home construction include a basement that is at least 80% of the footprint of the house, not including the attached garage. The ground floor area of the house, not including the garage, is 2,886 square feet, requiring a basement area of at least 2308.8 square feet. The applicant is proposing a basement that is 1,385 square feet (48% of the ground floor area), requiring a variance. The application also includes a request for approval of the Quinlan Plat of Resubdivision, which is a proposed consolidation of Lot 45, Lot 46 and half of Lot 47, in the McDonald Subdivision for the purpose of removing the existing lot lines which run beneath the proposed home.

### Attachments

- Plat of Survey, prepared by RT&A
- Existing Conditions and Demolition Plan, prepared by RT&A, received 2.18.22
- Site Plan, received 2.18.22
- Building Elevations and Floorplans, prepared by Mark J. Rupsis, received 3.1.22
- Quinlan Plat of Resubdivision, received 2.18.22
- 2019 Aerial Photograph, Village of Frankfort GIS

- Photographs from site visit on 3.1.22

## **Analysis**

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In consideration of the requests, staff offers the following points of discussion:

- The 2 ½ existing lots which comprise the property are individually non-conforming with respect to **minimum lot area** in the R-2 District. However, the proposed resubdivision to consolidate these lots creates a new lot which is 15,739 square feet. (15,000 square feet minimum required)
- The 2 ½ existing lots which comprise the property are individually non-conforming with respect to **minimum lot width** in the R-2 District. The individual lot widths are 50 feet. However, the proposed resubdivision to consolidate these lots creates a new lot which is 125 feet wide. (100 feet minimum is required)
- Front yard setback is 30.25 ft. (30 ft. minimum required)
- North side yard setback is 23.36 ft., (10 ft. minimum required)
- South side yard setback is approximately 27.56 ft. (10 ft. minimum required)
- Total of the combined side yards is approximately 50.92 ft., (25 feet minimum total required)
- Rear yard setback is 30.84 ft., (30 ft. minimum required)
- Lot coverage is 22.19% based on the Main Floor Plan on Sheet A3 (25% maximum allowed).
- Impervious coverage is 22.19% based on the Main Floor Plan on Sheet A3 and Site Plan on Sheet GP2.00. (40% maximum allowed)
- The gross floor area is 3,492 sq. ft. (not including the open porch). New home construction in the R-2 zone district requires a minimum of 2,400 sq. ft. for a one-story house.
- The proposed residence meets the anti-monotony regulations as detailed in Article 7, Section A, Part 6.
- The entire first-floor level is constructed of face-brick, complying with the first-floor masonry requirements listed in Article 6, Section B, Part 2, 'g'.
- The applicant has provided two options for the basement. The preferred option illustrates a basement measuring 1,385 square feet, which is approximately 48% of the area of the ground floor of the house, not including the attached garage, whereas 80% is required, necessitating a variance. The alternative option illustrates a basement that is 1,971 square feet, which is approximately 85.4% of the area of the ground floor of the house, not including the attached garage, and would comply with the Ordinance.

## **Standards of Variation**

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The applicants are requesting a variation from Article 6, Section B, Part 2(l) of the Village of Frankfort Zoning Ordinance to permit the construction of a basement that is less than 80% of the ground floor of the house (not including the attached garage) in the R-2 Single-Family Residential District.

For reference during the workshop, Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request.

- a. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:
  1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
  2. That the plight of the owner is due to unique circumstances;
  3. That the variation, if granted, will not alter the essential character of the locality.
- b. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making this determination, whenever there are practical difficulties or particular hardships, shall also take into



consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;
7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

### ***Resubdivision***

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The application also includes a request for approval of the Quinlan Plat of Resubdivision, which is a consolidation of Lot 45, Lot 46 and half of Lot 47 in the McDonald Subdivision for the purpose of removing the existing lot lines which run beneath the existing home. Staff has performed a cursory review of the Final Plat.

### ***Affirmative Motion***

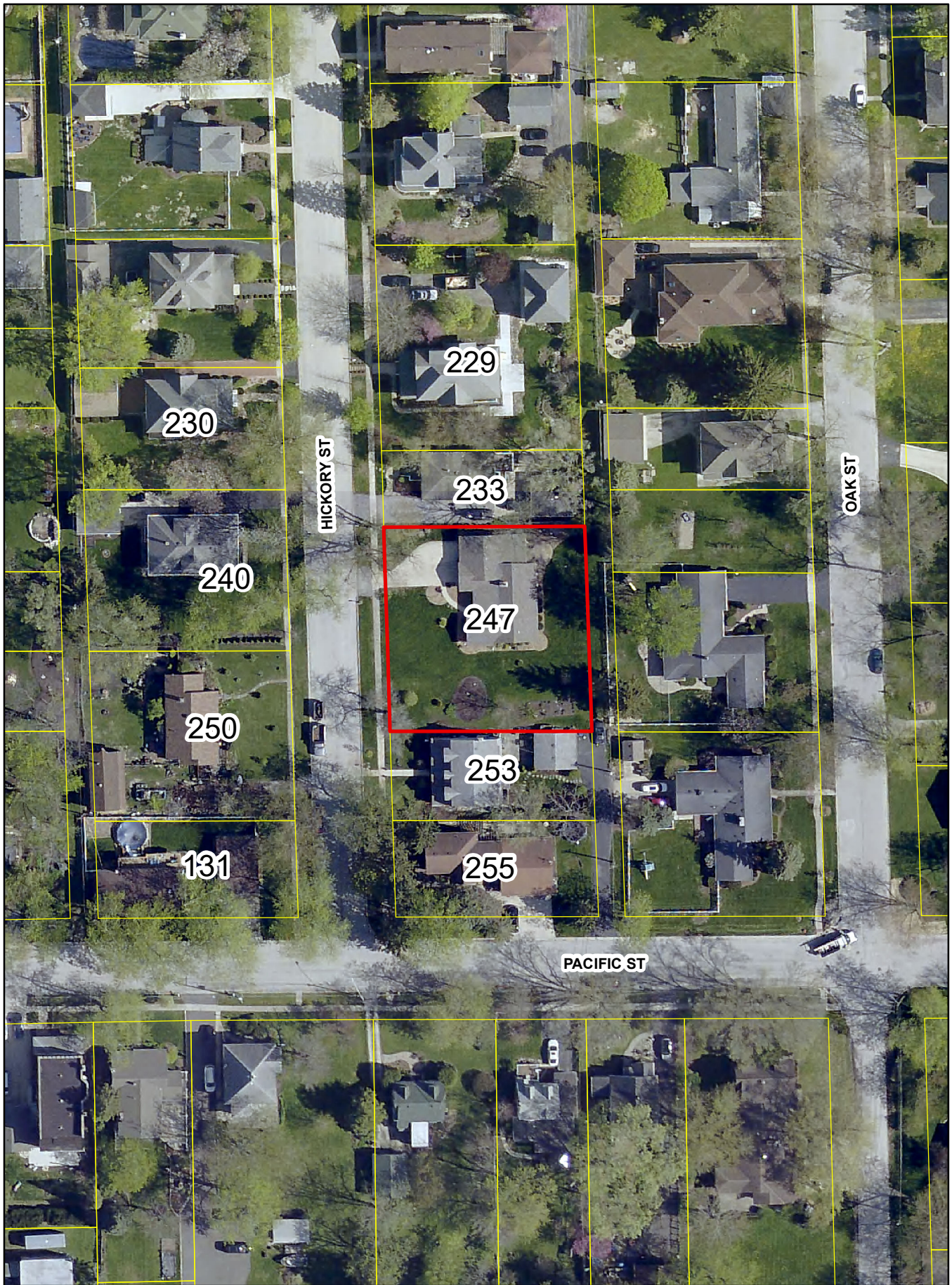
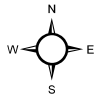
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For the Commission's consideration, staff is providing the following proposed affirmative motions.

1. Recommend the Village Board approve a variation from Article 6, Section B, Part 2(I) of the Village of Frankfort Zoning Ordinance to permit the construction of a basement that is less than 80% of the area of the ground floor of a new house in the R-2 Single-Family Residential District located at 247 Hickory Avenue in accordance with the submitted plans, public testimony, and Findings of Fact.
2. Recommend the Village Board approve the Quinlan Plat of Resubdivision, which is a consolidation of Lot 45, Lot 46 and half of Lot 47 in the McDonald Subdivision, subject to any necessary technical revisions prior to recording.



# 247 Hickory



0 50 100 200 Feet













**Jennifer Bertino-Tarrant**  
County Executive  
**Rhonda R. Novak**  
Supervisor of Assessments

Disclaimer of Warranties and Accuracy of Data  
Although the data developed by Will County for its maps, websites, and Geographic Information System has been produced and processed from sources believed to be reliable, no warranty, expressed or implied, is made regarding accuracy, adequacy, completeness, legality, reliability or usefulness of any information. This disclaimer applies to both isolated and aggregate uses of the information. The County and elected officials provide this information on an "as is" basis. All warranties of any kind, express or implied, including but not limited to the implied warranties of merchantability, fitness for a particular purpose, freedom from contamination by computer viruses or hackers and non-infringement of proprietary rights are disclaimed. Changes may be periodically made to the information herein; these changes may or may not be incorporated in any new version of the publication. If you have obtained information from any of the County web pages from a source other than the County pages, be aware that electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended that careful attention be paid to the contents of any data, and that the originator of the data or information be contacted with any questions regarding appropriate use. Please direct any questions to Mapping & Planning at (615) 740-4664.

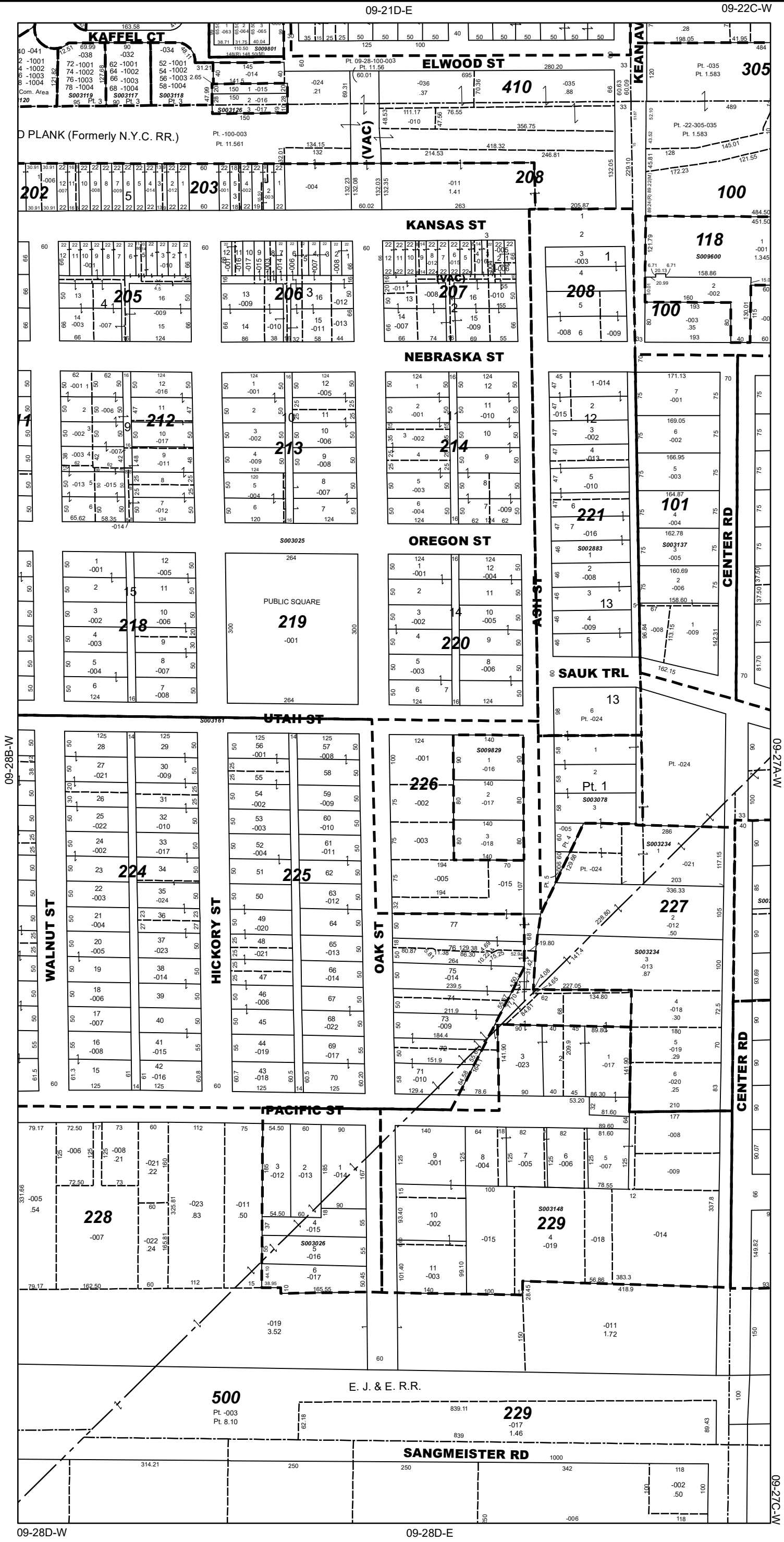
# Will County, Illinois

## Tax Assessment Map

Revised for the 2021 Assessment  
Copyrighted 2021 by Will County GIS Division

Map Page 09-28B-E

Frankfort Township  
E. 1/2 N.E. 1/4 Sec. 28 T.35N. R. 12E.



### Subdivision List

- S002883**  
Bowen's Sub of Blks. 1, 12 & 13
- 2-69**
- S003025**  
Original Town of Frankfort
- 2-45**
- S003026**  
R. W. Fredin's Sub
- 27-50**
- S003078**  
Holden's Addn. - Pt. Vacated - 2-88
- S003126**  
Klepper's Sub
- 12-47**
- S003148**  
Lankenaus Addn.
- 27-54**
- S003161**  
Mc Donald's Sub
- 10-43**
- S003234**  
Proprietors Sub
- 36-6**
- S009829**  
Ash Street Sub
- R2019-066753**

1 inch = 200 feet  
Plot Date: Jul 08 2021

PLAT OF SURVEY

LEGAL DESCRIPTION

LOTS 45, 46 AND THE SOUTH HALF OF LOT 47 IN McDONALD'S SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 28, IN TOWNSHIP 35 NORTH, AND IN RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 6, 1901, IN PLAT BOOK 10, PAGE 43 AS DOCUMENT NUMBER 215422, IN WILL COUNTY, ILLINOIS.

LOCAL MAILING ADDRESS:  
247 HICKORY STREET  
FRANKFORT, ILLINOIS

BUYER: QUILLAN  
SELLER: OHLSON

PIN# 09-28-225-006

LEGEND

- mea. MEASURED
- rec. RECORDED
- calc. CALCULATED
- FOUND SURVEY MONUMENT
- SET 5/8" REBAR UNLESS OTHERWISE NOTED

NOTES:

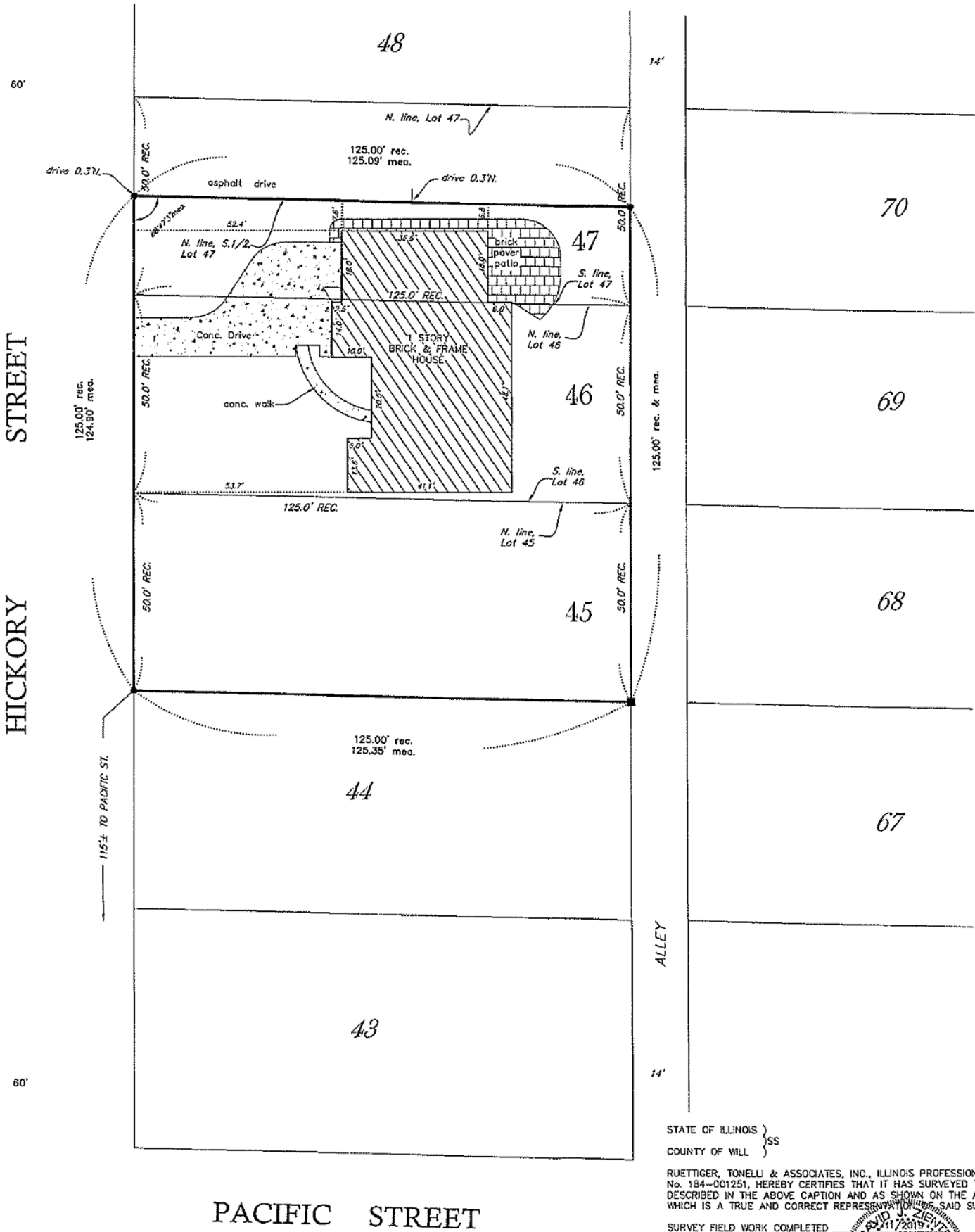
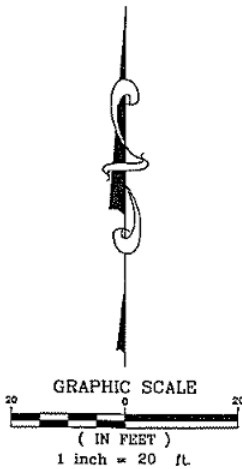
- ALL FOUND MONUMENTS ARE IRONS UNLESS NOTED OTHERWISE.
- THERE IS NO BUILDING SETBACK LINE INDICATED ON THE PLAT OF SUBDIVISION.

LOT AREA = 0.359 ACRES more or less

REVISIONS			
No.	DATE	DESCRIPTION	BY

<b>RT &amp; A</b>	<b>Ruettiger, Tonelli &amp; Associates, Inc.</b>		
	Surveyors • Engineers • Planners • Landscape Architects • G.I.S. Consultants		
	120 CAPISTA DRIVE • SHOREWOOD, ILLINOIS 60404		
	PH. (815) 744-6600 FAX (815) 744-0101 website: www.ruettiger-tonelli.com		

DATE: 07/18/2019	SCALE: 1" = 20'	DRAWN BY: TW	CHECKED BY: DZ
PREPARED FOR: HAMMEL LAW 54 N. OTTAWA STREET JOLIET, ILLINOIS 60432		FIELD BOOK: 9-45 PAGE: 78-79	
DRAWING TITLE: PLAT OF SURVEY		DRAWING No.: 219-0770-LS	



THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

ANY DISCREPANCY IN MEASUREMENT DISCOVERED UPON THE GROUND SHOULD BE PROMPTLY REPORTED TO THE SURVEYOR FOR EXPLANATION OR CORRECTION.

FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR ABSTRACT, DEED, CONTRACTS AND ZONING ORDINANCES.

STATE OF ILLINOIS }  
COUNTY OF WILL }

RUETTIGER, TONELLI & ASSOCIATES, INC., ILLINOIS PROFESSIONAL DESIGN FIRM No. 184-001251, HEREBY CERTIFIES THAT IT HAS SURVEYED THE PROPERTY DESCRIBED IN THE ABOVE CAPTION AND AS SHOWN ON THE ANNEXED PLAT, WHICH IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.

SURVEY FIELD WORK COMPLETED

GIVEN UNDER MY HAND AND SEAL THIS 24th DAY OF July 2019

BY: [Signature] SURVEYOR  
STATE OF ILLINOIS  
ILLINOIS PROFESSIONAL LAND SURVEYOR (MY LICENSE EXPIRES 11-30-2020)  
TO ENSURE AUTHENTICITY OF THIS DRAWING, I HAVE AFFIXED MY PROFESSIONAL SEAL OF THE DESIGN FIRM OR PROFESSIONAL LICENSEE'S IDENTITIES DRAWING.



RECEIVED

By Christopher Gruba at 10:40 am, Feb 18, 2022

CERTIFICATE OF OWNERSHIP AND SCHOOL DISTRICT CERTIFICATE

STATE OF ILLINOIS )  
)SS  
COUNTY OF WILL )  
  
THIS IS TO CERTIFY THAT \_\_\_\_\_ IS OWNER OF RECORD  
OF FEE SIMPLE TITLE TO THE REAL PROPERTY LEGALLY DESCRIBED IN THIS PLAT OS  
RESUBDIVISION AND EASEMENT DEDICATION AND THAT HE/SHE/IT HAS CAUSED THE REAL  
PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN ON THIS PLAT.

TO THE BEST OF THE OWNER'S KNOWLEDGE, THE REAL PROPERTY LEGALLY DESCRIBED ON THIS  
PLAT OS RESUBDIVISION AND EASEMENT DEDICATION LIES WITHIN THE FOLLOWING SCHOOL  
DISTRICTS:

ELEMENTARY SCHOOL DISTRICT NO. 157C (FRANKFORT)  
HIGH SCHOOL DISTRICT NO. 210 (LINCOLN-WAY COMMUNITY)  
JUNIOR COLLEGE DISTRICT NO. 525 (JOLIET JUNIOR COLLEGE)

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2022.

BY: \_\_\_\_\_ ARTHUR GAIL G QUINLAN TRUST

NOTARY PUBLIC CERTIFICATE

STATE OF ILLINOIS )  
)SS  
COUNTY OF WILL )  
  
THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DOES CERTIFY  
  
THAT \_\_\_\_\_ WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME  
PERSON WHOSE NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT APPEARED BEFORE ME THIS  
DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE SIGNED AND DELIVERED THE SAID INSTRUMENT  
UNDER HIS/HER OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES SET FORTH IN THE  
INSTRUMENT.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2022.

\_\_\_\_\_  
(SEAL)  
NOTARY PUBLIC

BOARD OF TRUSTEE'S CERTIFICATE

STATE OF ILLINOIS )  
)SS  
COUNTY OF WILL )  
  
PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, COUNTY OF WILL, STATE OF  
ILLINOIS HEREBY CERTIFY THAT THE SAID COUNCIL HAS DULY APPROVED QUINLAN SUBDIVISION.  
  
AUTHENTICATED AS PASSED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2022.

\_\_\_\_\_  
VILLAGE PRESIDENT

\_\_\_\_\_  
VILLAGE CLERK

PLANNING COMMISSION CERTIFICATE

STATE OF ILLINOIS )  
)SS  
COUNTY OF WILL )  
  
I, \_\_\_\_\_, CHAIRMAN OF THE PLANNING COMMISSION OF THE VILLAGE OF FRANKFORT,  
COUNTY OF WILL, STATE OF ILLINOIS, HEREBY CERTIFY THAT THE SAID HAS DULY APPROVED THE FINAL  
PLAT OF QUINLAN SUBDIVISION.

\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
SECRETARY

PROPERTY TAX CERTIFICATE

STATE OF ILLINOIS )  
)SS  
COUNTY OF WILL )  
  
THIS IS TO CERTIFY THAT I FIND NO DELINQUENT OR UNPAID CURRENT TAXES AGAINST OF THE REAL  
ESTATE DESCRIBED IN THE FORGOING CERTIFICATES.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D., 2022.

\_\_\_\_\_  
WILL COUNTY CLERK

RECORDER CERTIFICATE

STATE OF ILLINOIS )  
)SS  
COUNTY OF WILL )  
  
THIS INSTRUMENT NO. \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE  
OF WILL COUNTY AFORESAID THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D., 2022,  
AT \_\_\_\_ O'CLOCK, \_\_\_\_ M. AND MICROFILMED.

\_\_\_\_\_  
WILL COUNTY RECORDER

TAX MAPPING CERTIFICATE

STATE OF ILLINOIS )  
)SS  
COUNTY OF WILL )  
  
I, \_\_\_\_\_ DIRECTOR OF THE TAX MAPPING AND PLATTING OFFICE DO HEREBY CERTIFY  
THAT I HAVE CHECKED THE PROPERTY DESCRIPTION ON THIS PLAT AGAINST AVAILABLE COUNTY  
RECORDS AND FIND SAID DESCRIPTION TO BE TRUE AND CORRECT. THE PROPERTY HEREON DESCRIBED  
IS LOCATED ON TAX MAP 09-289-E AND IDENTIFIED AS PERMANENT REAL ESTATE TAX INDEX NUMBER  
(PIN):  
19-09-25-225-006-0000

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D., 2022.

\_\_\_\_\_  
DIRECTOR

OWNER & DESIGN ENGINEER'S CERTIFICATE AS TO DRAINAGE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE PLANNED  
CONSTRUCTION ON THE REAL PROPERTY DESCRIBED IN THIS PLAT OF RESUBDIVISION AND EASEMENT DEDICATION OR ANY PART  
THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR THE  
COLLECTION AND DIVERSION OF SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED  
ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DRAINAGE TO THE ADJOINING PROPERTY BECAUSE OF THE  
PLANNED CONSTRUCTION ON THE SUBDIVIDED REAL PROPERTY.

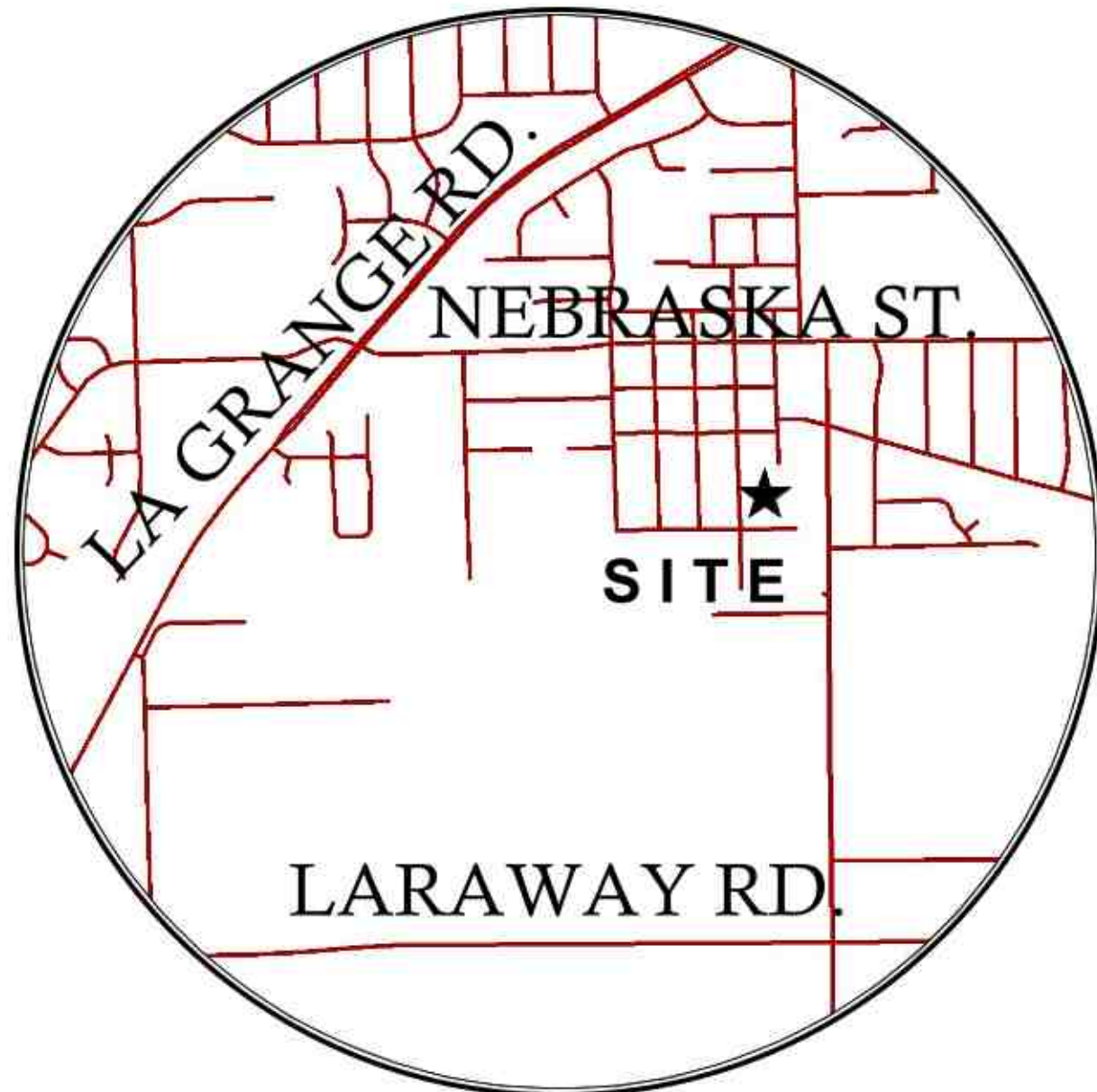
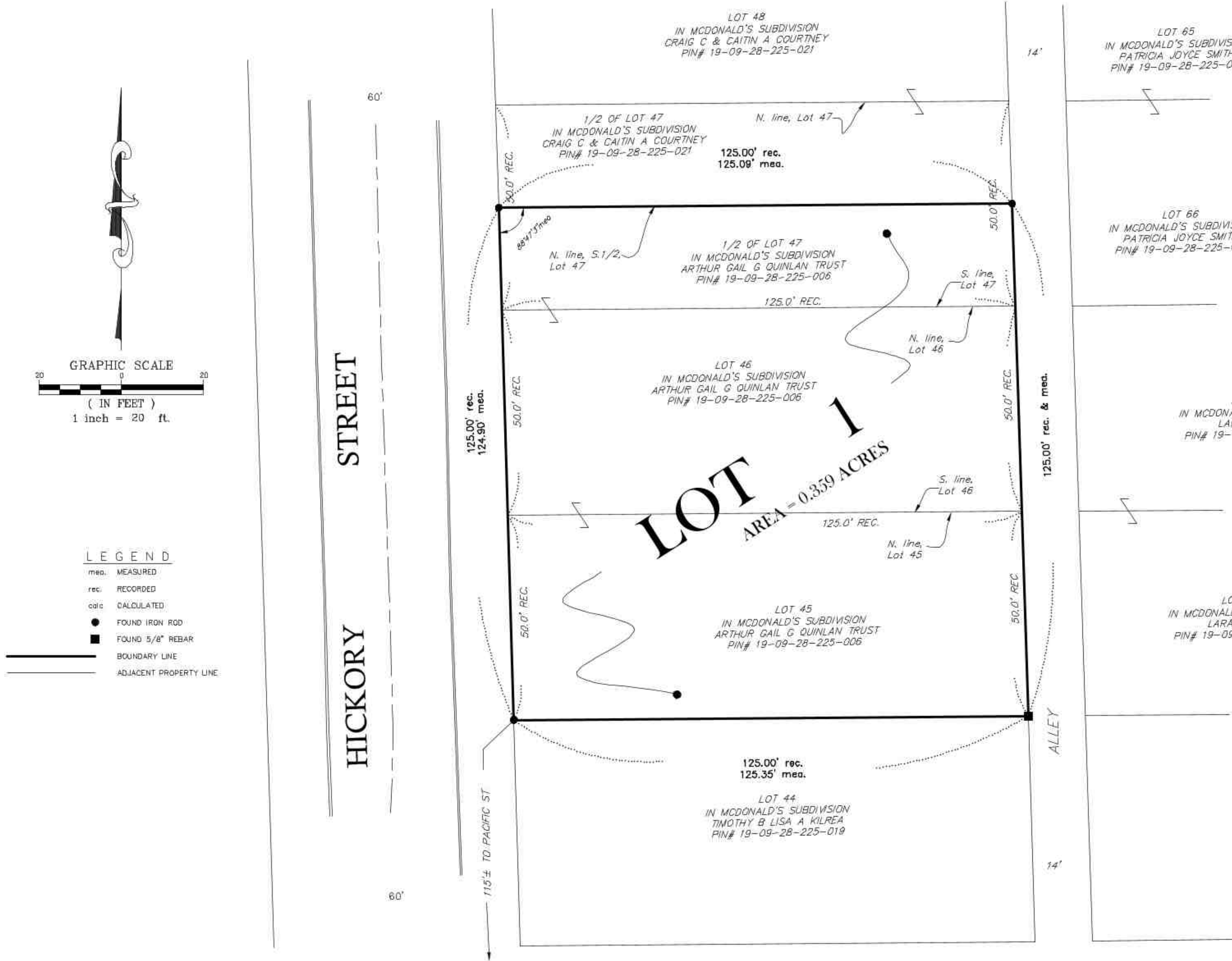
BY: \_\_\_\_\_  
OWNER

BY: \_\_\_\_\_  
REGISTERED ENGINEER

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2022.

QUINLAN SUBDIVISION

BEING A RE-SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 28, IN TOWNSHIP 35 NORTH, AND IN  
RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 6, 1901, IN PLAT BOOK 10,  
PAGE 43 AS DOCUMENT NUMBER 215422, IN WILL COUNTY, ILLINOIS



SITE LOCATION MAP  
NOT TO SCALE

LEGAL DESCRIPTION

LOTS 45, 46 AND THE SOUTH HALF OF LOT 47 IN MCDONALD'S SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF  
SECTION 28, IN TOWNSHIP 35 NORTH, AND IN RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED  
DECEMBER 6, 1901, IN PLAT BOOK 10, PAGE 43 AS DOCUMENT NUMBER 215422, IN WILL COUNTY, ILLINOIS.

LOCAL MAILING ADDRESS:  
247 HICKORY STREET  
FRANKFORT, ILLINOIS

PIN# 09-28-225-006

SURVEYOR CERTIFICATE

STATE OF ILLINOIS )  
)SS  
COUNTY OF WILL )

WE DECLARE THAT THE ABOVE DESCRIBED PROPERTY WAS SURVEYED AND SUBDIVIDED BY RUETTIGER, TONELLI & ASSOCIATES, INC., AN ILLINOIS  
PROFESSIONAL DESIGN FIRM, NUMBER 184-001251 AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL  
DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.

SAID PROPERTY CONTAINS 0.359 ACRES, MORE OR LESS.

WE FURTHER DECLARE THAT THE LAND IS WITHIN THE VILLAGE OF FRANKFORT WHICH HAS ADOPTED A CITY COMPREHENSIVE PLAN AND MAP AND  
IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS AMENDED.

WE FURTHER DECLARE, BASED UPON A REVIEW OF THE FLOOD INSURANCE RATE MAP (F.I.R.M.) COMMUNITY PANEL/MAP NUMBER 17197003266  
WITH AN EFFECTIVE DATE OF FEBRUARY 15, 2019, IT IS OUR CONSIDERED OPINION THAT THIS PROPERTY LIES WITHIN "ZONE X" AREA AS  
IDENTIFIED BY SAID F.I.R.M. MAP.

WE FURTHER DECLARE THAT STEEL RE-REINFORCING RODS (30" LONG, 5/8" DIAMETER) (UNLESS OTHERWISE NOTED) WILL BE SET AT ALL LOT  
CORNERS.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

GIVEN UNDER OUR HAND AND SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2022

ILLINOIS PROFESSIONAL LAND SURVEYOR  
LICENSE EXPIRES NOVEMBER 30, 2022  
TO ENSURE THE AUTHENTICITY OF THIS DRAWING, IT MUST BEAR THE EMBOSSED SEAL OF THE DESIGN FIRM OR PROFESSIONAL LICENSEE WHO  
PREPARED THIS DRAWING.

VILLAGE OF FRANKFORT EASEMENT PROVISIONS

A PERPETUAL EASEMENT IS HEREBY GRANTED TO THE VILLAGE OF FRANKFORT, A MUNICIPAL CORPORATION OF ILLINOIS, ITS SUCCESSORS AND  
ASSIGNS, FOR THE FULL AND FREE RIGHT AND AUTHORITY TO INSTALL, CONSTRUCT, AND OTHERWISE ESTABLISH, RELOCATE, REMOVE, RENEW,  
REPLACE, OPERATE, INSPECT, REPAIR AND MAINTAIN WATER MAIN, FORCE HYDRANTS, VALVES AND WATER SERVICE FACILITIES, SANITARY SEWER  
PIPES, MANHOLES, AND SEWER CONNECTIONS, STORM SEWER PIPES, MANHOLES, INLETS, STORM WATER DETENTION AND STORM SEWER SERVICE  
CONNECTIONS, ELECTRIC TRANSMISSION AND DISTRIBUTION WIRES AND CABLES, COMMUNITY ANTENNA TELEVISION SYSTEMS, AND SUCH OTHER  
APPURTENANCES AND FACILITIES AS MAY BE NECESSARY OR CONVENIENTLY RELATED TO SAID WATER MAIN, SANITARY SEWER PIPES, STORM SEWER  
PIPES, STORM WATER DETENTION, ELECTRIC TRANSMISSION AND DISTRIBUTION WIRES AND CABLES, COMMUNITY ANTENNA TELEVISION SYSTEM, IN, ON,  
UPON, OVER, THROUGH, ACROSS, AND UNDER ALL OF THAT REAL ESTATE HEREON DESCRIBED AND DESIGNATED AS WITHIN PUBLIC UTILITY AND  
DRAINAGE EASEMENTS. SAID EASEMENTS BEING DESIGNATED BY THE DASHED LINES AND DESIGNATIONS OF WIDTH.

ALL EASEMENT INDICATED AS PUBLIC UTILITY AND DRAINAGE EASEMENTS ON THE PLAT ARE RESERVED FOR GRANTED TO THE VILLAGE OF  
FRANKFORT AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF FRANKFORT, INCLUDING BUT NOT  
LIMITED TO, AMERITECH TELEPHONE COMPANY, NICOR GAS COMPANY, COMMONWEALTH EDISON ELECTRIC COMPANY, MEDIA ONE CABLE TELEVISION  
COMPANY ANT THEIR SUCCESSORS AND ASSIGNS, FOR PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR,  
INSPECT, MAINTAIN AND OPERATE VARIOUS UTILITIES, TRANSMISSION WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS,  
APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE NECESSARY OR CONVENIENTLY RELATED TO SAID WATER MAIN, SANITARY SEWER PIPES, STORM SEWER  
PIPES, STORM WATER DETENTION, ELECTRIC TRANSMISSION AND DISTRIBUTION WIRES AND CABLES, COMMUNITY ANTENNA TELEVISION SYSTEM, IN, ON,  
UPON, OVER, THROUGH, ACROSS, AND UNDER ALL OF THAT REAL ESTATE HEREON DESCRIBED AND DESIGNATED AS WITHIN PUBLIC UTILITY AND  
DRAINAGE EASEMENTS. SAID EASEMENTS BEING DESIGNATED BY THE DASHED LINES AND DESIGNATIONS OF WIDTH.

COMMONWEALTH EDISON AND AMERITECH EASEMENT PROVISIONS

AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATION SERVICE IS HEREBY RESERVED FOR AND  
GRANTED TO:

COMMONWEALTH EDISON COMPANY  
AND AMERITECH ILLINOIS, A.K.A. ILLINOIS BELL TELEPHONE COMPANY, GRANTEEES

THEIR RESPECTIVE LICENSEES, SUCCESSORS, AND ASSIGNS, JOINTLY AND SEVERALLY, TO CONSTRUCT, OPERATE, REPAIR, MAINTAIN, MODIFY,  
RECONSTRUCT, REPLACE, SUPPLEMENT, RELOCATE AND REMOVE, FROM TIME TO TIME, POLES, GUYS, ANCHORS, WIRES, CABLES, CONDUITS,  
MANHOLES, TRANSFORMERS, PEDESTALS, EQUIPMENT CABINETS OR OTHER FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND  
TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, COMMUNICATIONS, SOUNDS AND SIGNALS IN, OVER, UNDER, ACROSS, LONG AND UPON THE  
SURFACE OF THE PROPERTY SHOWN WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) ON THE PLAT AND MARKED "EASEMENT",  
"UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION), THE PROPERTY DESIGNATED IN THE DECLARATION OF  
CONDOMINIUM AND/OR ON THIS PLAT AS "COMMON ELEMENTS", AND THE PROPERTY DESIGNATED ON THE PLAT AS "COMMON AREA OR AREAS", AND  
THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHTS TO INSTALL  
REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE SURFACE OF EACH LOT AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS THEREON,  
OR ON ADJACENT LOTS, AND COMMON AREA OR AREAS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES, ROOTS AND SAPLINGS AND TO  
CLEAR OBSTRUCTIONS FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE  
RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEEES' FACILITIES,  
OR IN, UPON OR OVER THE PROPERTY WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) MARKED "EASEMENT", "UTILITY EASEMENT",  
"PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION) WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES. AFTER INSTALLATION OF ANY  
SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER  
OPERATION AND MAINTENANCE THEREOF.

THE TERM "COMMON ELEMENTS" SHALL HAVE THE MEANING SET FORTH FOR SUCH TERM IN THE "CONDOMINIUM PROPERTY ACT", CHAPTER 765 ILCS  
605/2, AS AMENDED FROM TIME TO TIME.

THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OF AREA OF REAL PROPERTY, THE BENEFICIAL USE AND ENJOYMENT OF WHICH  
IS RESERVED IN WHOLE OR AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS, PARCELS OR AREAS WITHIN THE PLANNED DEVELOPMENT,  
EVEN THOUGH SUCH BE OTHERWISE DESIGNATED ON THE PLAT BY TERMS SUCH AS "OUTLOTS", "COMMON ELEMENTS", "OPEN SPACE", "OPEN AREA",  
"COMMON GROUND", "PARKING" AND "COMMON AREA". THE TERM "COMMON AREA OR AREAS" AND "COMMON ELEMENTS" INCLUDE REAL PROPERTY  
SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, BUT EXCLUDES REAL PROPERTY PHYSICALLY OCCUPIED BY A BUILDING, SERVICE BUSINESS  
DISTRICT OR STRUCTURES SUCH AS A POOL, RETENTION POND OR MECHANICAL EQUIPMENT.

RELOCATION OF FACILITIES WILL BE DONE BY GRANTEEES AT COST OF THE GRANTOR/LOT OWNER, UPON WRITTEN REQUEST.

NORTHERN ILLINOIS GAS COMPANY EASEMENT PROVISION

AN EASEMENT IS HEREBY RESERVED AND GRANTED TO:  
NORTHERN ILLINOIS GAS COMPANY

ITS SUCCESSORS AND ASSIGNS, IN ALL PLATTED "EASEMENT" AREAS, STREETS, ALLEYS, OTHER PUBLIC WAYS AND PLACES SHOWN ON THIS PLAT,  
SAID EASEMENT TO BE FOR INSTALLATION, MAINTENANCE, RELOCATION, RENEWAL AND REMOVAL OF GAS MAINS AND APPURTENANCES FOR THE  
PURPOSE OF SERVING ALL AREAS SHOWN ON THIS PLAT AS WELL AS ANY OTHER PROPERTY, WHETHER OR NOT CONTIGUOUS THERETO. NO  
BUILDING OR OTHER STRUCTURES SHALL BE CONSTRUCTED OR ERECTED IN ANY SUCH "EASEMENT" AREAS, STREETS, ALLEYS, OR THERE PUBLIC  
WAYS OR PLACES, NOR SHALL ANY OTHER USE BE MADE THEREOF WHICH WILL INTERFERE WITH THE EASEMENTS RESERVED AND GRANTED  
HEREBY.



RECEIVED

By Christopher Gruba at 10:38 am, Feb 18, 2022

BENCHMARKS:

PROJECT BENCHMARK:  
NGS DATA SHEET  
DESIGNATION - WILL COUNTY GPS 934  
PID - AE2581  
ELEVATION: 785.05 (NAVD 88)

SITE BENCHMARK #1  
NORTHEAST BOLD ON FIRE HYDRANT ON WEST SIDE OF  
HICKORY STREET, APPROXIMATELY 153 FEET NORTH OF  
NORTHWEST CORNER OF SUBJECT LOT.  
ELEVATION: 761.55 (NAVD 88)

SITE BENCHMARK #2  
CUT CROSS IN SIDEWALK ON WEST SIDE OF HICKORY  
STREET (AS SHOWN)  
ELEVATION: 761.55 (NAVD 88)

**LEGEND**

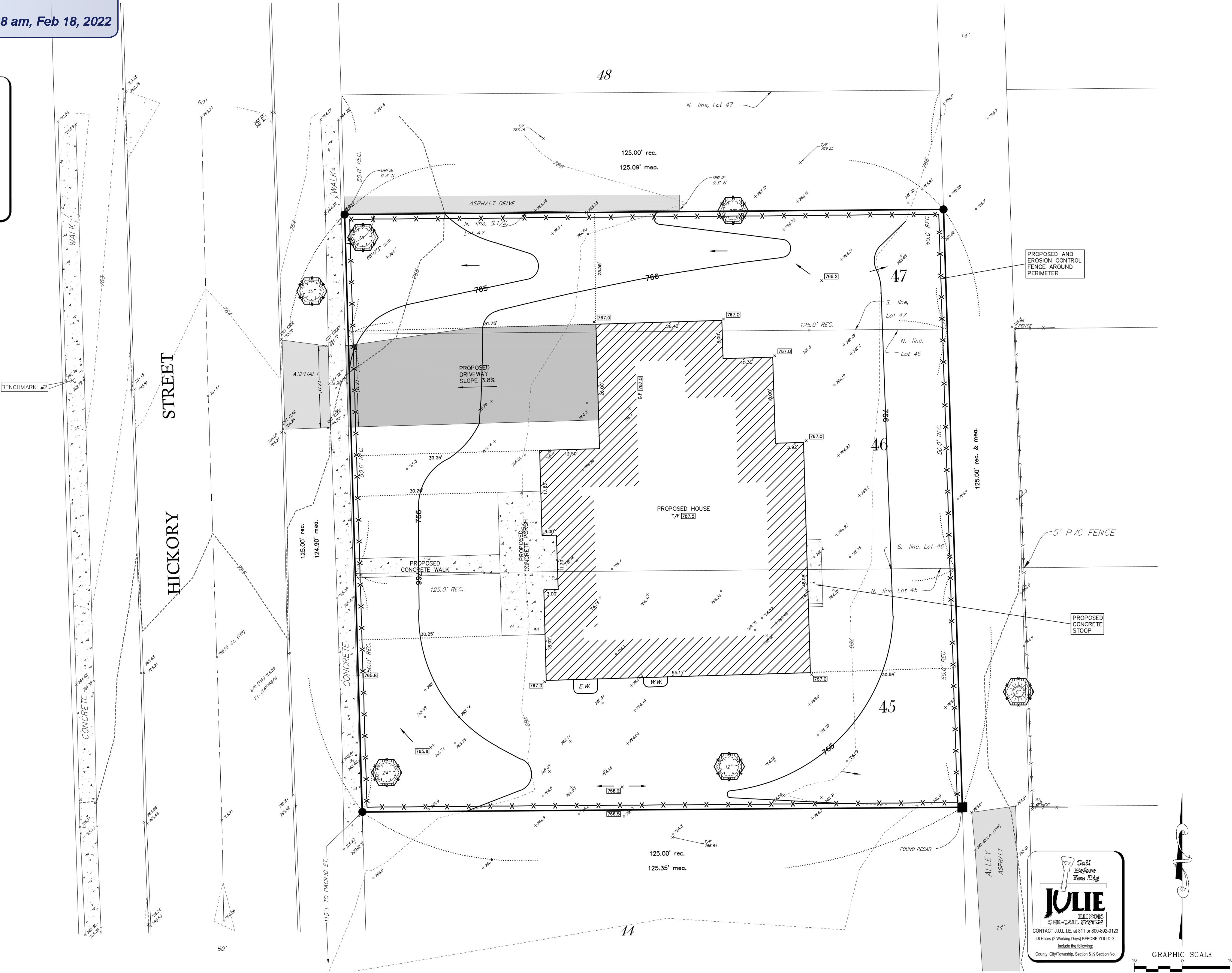
mea. MEASURED  
rec. RECORDED  
calc. CALCULATED

● FOUND SURVEY MONUMENT  
■ SET 5/8" REBAR UNLESS OTHERWISE NOTED

○ TREE DECIDUOUS  
○ TREE EVERGREEN  
○ MAIL BOX  
○ EXISTING ELEVATION  
○ PROPOSED ELEVATION  
○ EXISTING CONTOUR  
○ PROPOSED CONTOUR  
○ TREE PROTECTION  
○ EDGE OF PAVEMENT  
○ BACK OF CURB  
○ LOW LINE

NOTES:

- UTILITIES DEPICTED HEREON ARE BASED ON LOCATION OF ABOVE GROUND EVIDENCE AND J.U.L.I.E. MARKINGS PER DIG NO. X0190627. FIELD VERIFY PRIOR TO ANY CONSTRUCTION.
- GRADE SLOPES NOT TO EXCEED 4 TO 1.
- DROP FOOTINGS AS REQUIRED TO PROVIDE ADEQUATE FROST PROTECTION.
- DROP SIDING OR BRICK AS REQUIRED TO A MINIMUM OF 0.5' ABOVE GRADE.
- DRIVEWAY SLOPES NOT TO EXCEED 8%.
- EROSION CONTROL TO BE APPLIED PER THE ILLINOIS PROCEDURES FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL MANUAL, LATEST EDITION.



LEGAL DESCRIPTION

LOTS 45, 46 AND THE SOUTH HALF OF LOT 47 IN McDONALD'S SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 28, IN TOWNSHIP 35 NORTH, AND IN RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 6, 1901, IN PLAT BOOK 10, PAGE 43 AS DOCUMENT NUMBER 215422, IN WILL COUNTY, ILLINOIS.

LOCAL MAILING ADDRESS:  
247 HICKORY STREET  
FRANKFORT, ILLINOIS

PIN# 09-28-225-006

**EROSION CONTROL NOTES**

- EROSION CONTROL TO BE APPLIED PER THE ILLINOIS PROCEDURES FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL MANUAL, LATEST EDITION.
- THE TEMPORARY EROSION CONTROL SYSTEMS INSTALLED BY THE CONTRACTOR SHALL BE PROPERLY MAINTAINED AS DIRECTED BY THE VILLAGE TO CONTROL SILTATION AT ALL TIMES DURING THE LIFE OF THE CONTRACT.
- ALL STORM SEWER STRUCTURES WITH OPEN GRATES SHALL BE PROTECTED WITH INLET FILTER BASKETS.
- DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN (7) SEVEN CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE. RE-DISTURBANCE, CONSISTENT WITH THE FOLLOWING CRITERIA: APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION MEASURES SHALL INCLUDE SEEDING, MULCHING, SODDING AND / OR NON-VEGETATIVE MEASURES.
- ALL EROSION CONTROL ITEMS REMAIN IN PLACE AND BE MAINTAINED UNTIL DEEMED UNNECESSARY BY THE OWNER / DEVELOPER AND THE VILLAGE AT WHICH TIME THE EROSION CONTROL ITEMS SHALL BE COMPLETELY REMOVED FROM THE SITE BY THE INSTALLER.
- ALL DISTURBED AREAS NOT SPECIFICALLY IDENTIFIED FOR LANDSCAPING IMPROVEMENTS OR IMPERVIOUS SURFACE TREATMENTS SUCH AS PAVEMENTS, DRIVES, PATIOS, STOODS, SIDEWALKS OR WALKWAYS SHALL BE FINISHED WITH A MINIMUM OF 6" OF TOPSOIL AND RESTORED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST ADDITION) AS FOLLOWS:
  - CLASS 2 SEED PER SECTION 250.
  - FERTILIZED NUTRIENTS IN THE RATIO OF 1:1:1 OF NITROGEN, PHOSPHOROUS AND POTASSIUM EACH, ALL AT THE RATE OF 90 LBS/ACRE IN ACCORDANCE WITH SECTION 250.
  - EROSION CONTROL BLANKET: EXCELSIOR GREEN BLANKET (I.D.O.T. SEC. 251.04)
  - CONTRACTOR SHALL MAINTAIN RESTORED AREA AS NEEDED UNTIL GERMINATION IS COMPLETED AND THE OWNER, OR LOCAL AGENCY HAVING JURISDICTION, HAS ACCEPTED THE WORK.
- FOR EACH PHASE OF WORK, THE CONTRACTOR RESPONSIBLE FOR THAT WORK IS TO PROVIDE QUALIFIED PERSONNEL WHO SHALL INSPECT:
  - DISTURBED AREAS OF THE CONSTRUCTION SITE WHICH HAVE NOT BEEN STABILIZED WITH IMPERVIOUS MATERIALS OR VEGETATIVE GROUND COVER.
  - STRUCTURAL CONTROL MEASURES (I.E. SILT FENCE, FILTER BASKETS, GRATE FABRIC, ETC.).
  - OFF SITE ROADS AND ON SITE PAVEMENTS WHICH THE CONTRACTOR'S VEHICLES AND OR EQUIPMENT OPERATE.

SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT THAT HAS 0.5 INCHES OR MORE OF PRECIPITATION.

ALL INSPECTIONS SHALL BE IN CONFORMANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN INSPECTION REQUIREMENTS.

**OWNER:**

ART QUINLAN  
17415 S 71ST COURT  
TINLEY PARK, ILLINOIS 60477

I, DAVID J. ZIENTEK, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF ILLINOIS, HEREBY CERTIFY THAT THIS DETAILED GRADING PLAN HAS BEEN PREPARED UNDER MY SUPERVISION BY RUETTIGER, TONELLI & ASSOCIATES, INC., ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-001251.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_,

DAVID J. ZIENTEK IL P.E. No. 062-060061 (EXPIRES 2-28-2022)

TO ENSURE AUTHENTICITY OF THIS DRAWING, IT MUST BEAR THE EMBOSSED SEAL OF THE DESIGN FIRM OR PROFESSIONAL LICENSEE WHO PREPARED THIS DRAWING.

REVISIONS					
No.	DATE	DESCRIPTION	BY	No.	DATE

DOCUMENTATION:

PROJECT No.: 20220064

DATE: 2-2-2022

FIELD BOOK: B-9-58 P. 49

DRAWN BY: ESM

CHECKED BY: DJZ

**RT & A**

**Ruettiger, Tonelli & Associates, Inc.**

Surveyors • Engineers • Planners • Landscape Architects • G.I.S. Consultants

129 CAPISTA DRIVE - SHOREWOOD, ILLINOIS 60404

PH. (815) 744-6600 FAX (815) 744-0101

website: www.ruettigertonnelli.com

PROJECT TITLE:

**SITE IMPROVEMENTS**

**247 HICKORY STREET**

**FRANKFORT, ILLINOIS 60423**

DRAWING TITLE:

**SITE PLAN**

DRAWING No.  
322-0064-GP

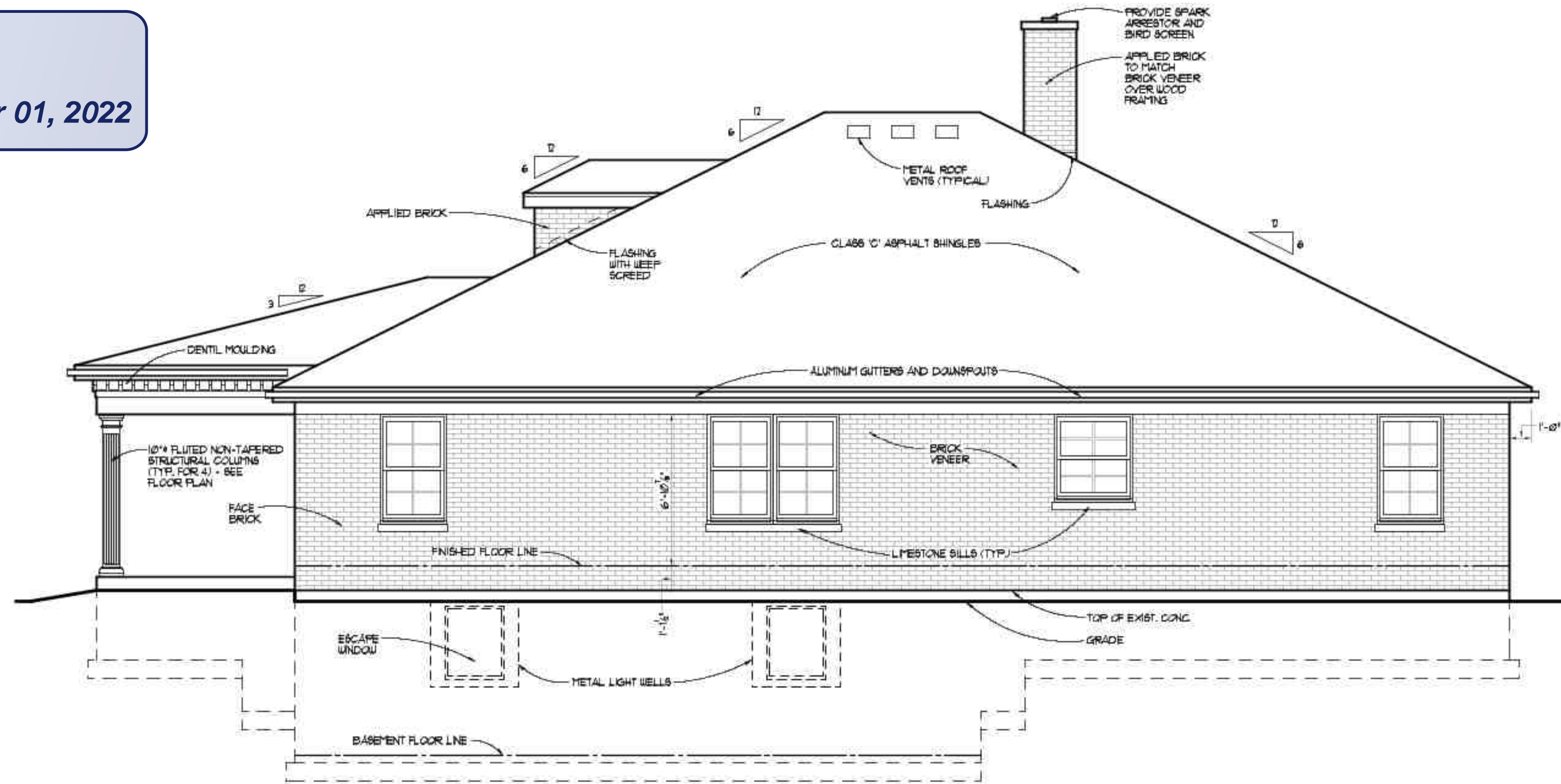
SCALE:  
AS NOTED

**SHEET GP2.00**



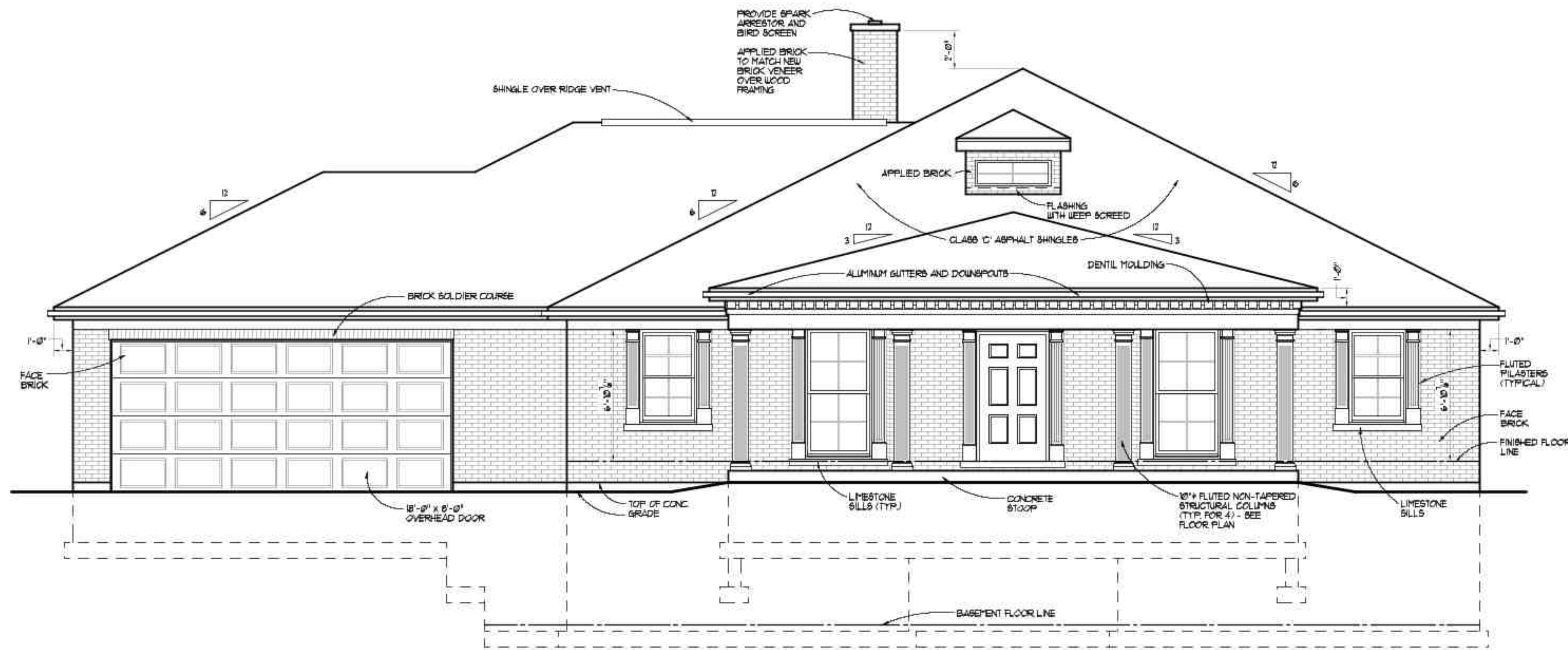
RECEIVED

By Christopher Gruba at 9:41 am, Mar 01, 2022



Right Side (South) Elevation

SCALE - 1/4" = 1'-0"



Front (West) Elevation

SCALE - 1/4" = 1'-0"

Mark J. Rupsis - Architect  
8322 Murphy Drive  
Joliet, Illinois 60435  
630.740.6956 FAX - 630.405.6764  
www.rupsis.com

A Renovation and Addition to the Home of:  
**Arthur and Gail Quinlan**  
247 Hickory Street  
Frankfort, Illinois 60423

Issued for	Date
REVIEW	6-7-21
PERMIT	6-23-21
PERMIT	1-14-21
PERMIT	9-20-21
PERMIT	1-7-22
Revisions	Date
REV. KIT. BINK. WINDOW	1-26-22
ADD GARAGE WINDOW	1-24-22
ADD EQ. FT. NOTES	3-1-22

I hereby certify that these plans were prepared under my direct supervision, & to the best of my knowledge conform to the building codes & ordinances of FRANKFORT, ILLINOIS.

FOR SHEETS:  
AI - 46, ML, EQ, EL, E2  
LICENSE EXPIRES:  
11-30-22



DATE: 1-4-22

Elevations

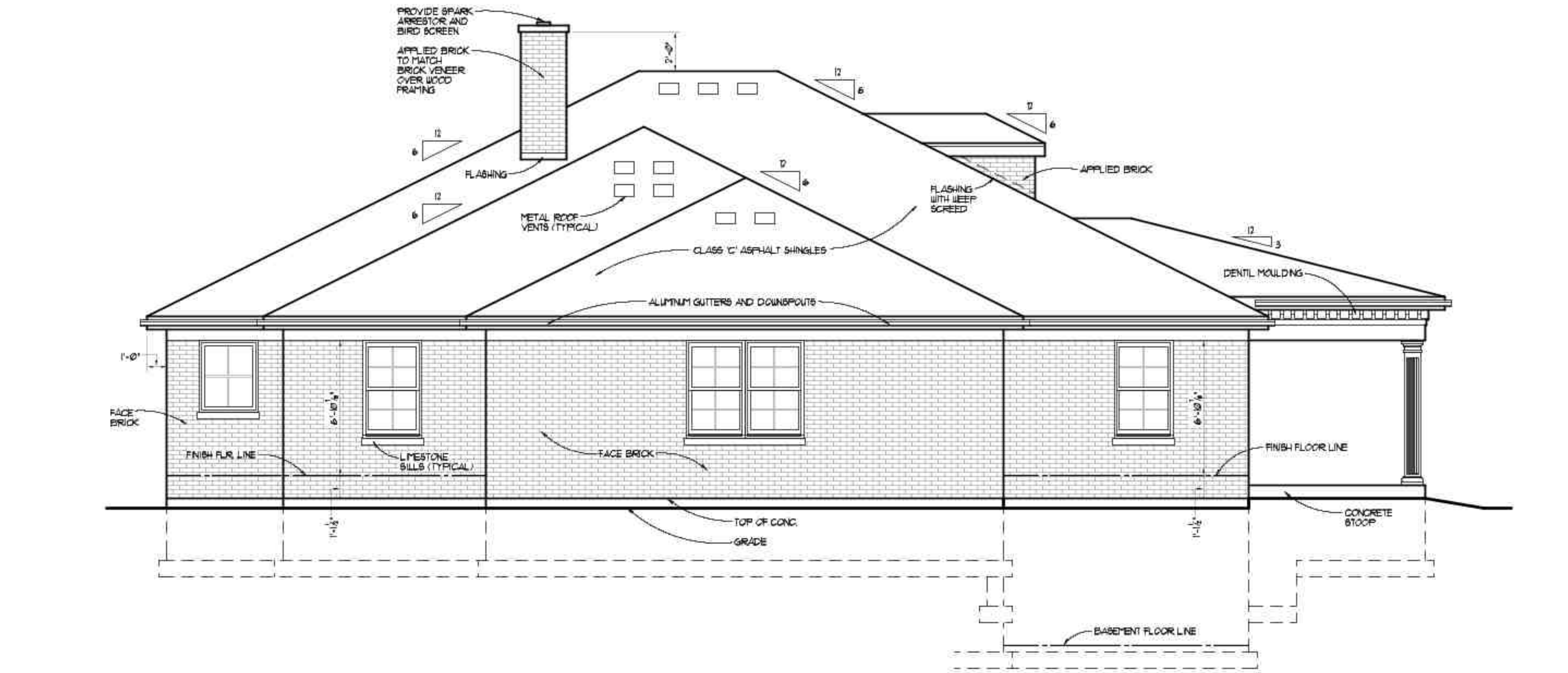
Drawn by: MJR Checked by: MJR

Job no: 2104.07

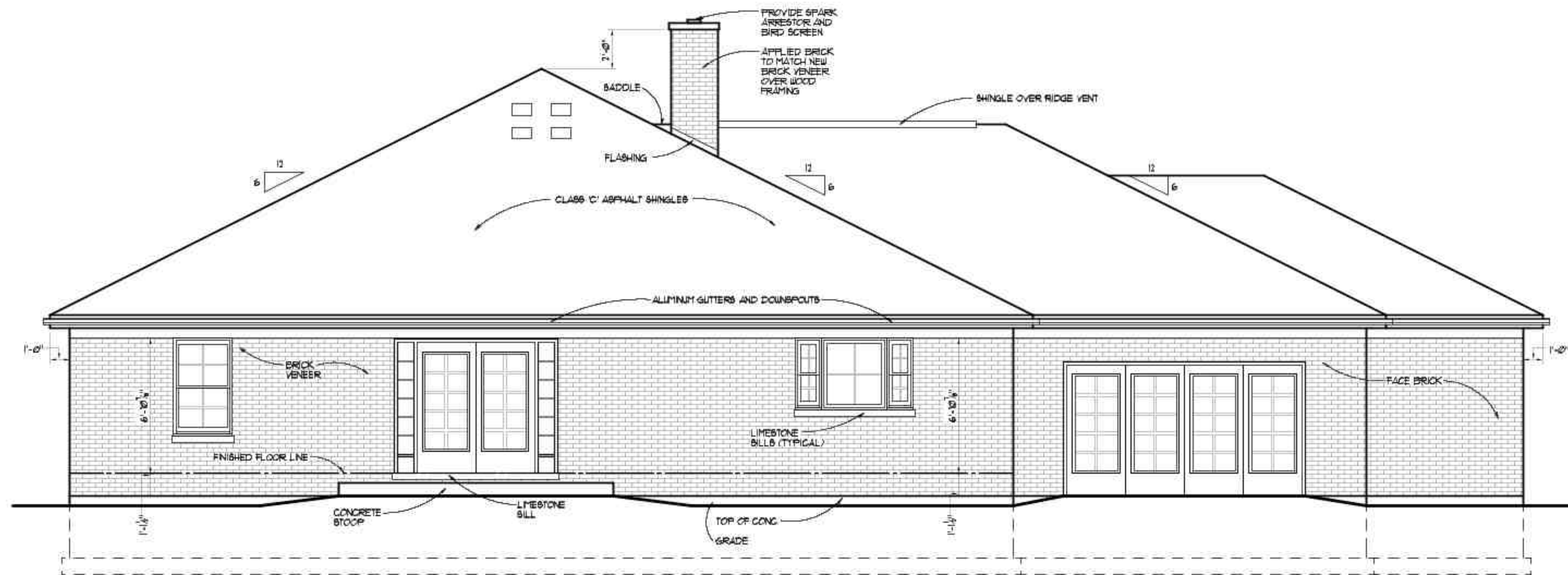
Sheet:

AI





Left Side (North) Elevation  
SCALE - 1/4" = 1'-0"



Rear (East) Elevation  
SCALE - 1/4" = 1'-0"

Mark J. Rupsis - Architect  
8322 Murphy Drive  
Joliet, Illinois 60435  
630.740.6956 FAX - 630.405.6764  
www.mjrps.com

A Renovation and Addition to the Home of:  
**Arthur and Gail Quinlan**  
247 Hickory Street  
Frankfort, Illinois 60423

Issued for:	Date
REVIEW	6-7-21
PERMIT	6-23-21
PERMIT	1-14-21
PERMIT	9-20-21
PERMIT	1-1-22
Revisions	Date
REV. KIT. BINK. WINDOW	1-26-22
ADD GARAGE WINDOW	1-24-22
ADD EQ. FT. NOTES	3-1-22

I hereby certify that these plans were prepared under my direct supervision, & to the best of my knowledge conform to the building codes & ordinances of FRANKFORT, ILLINOIS.

FOR SHEETS:  
AI - 46, ML, M2, EI, E2  
LICENSE EXPIRES:  
11-30-22



DATE: 1-4-22

Elevations

Drawn by: MJR  
Checked by: MJR

Job no: 2104.07

Sheet:

AI.1





Issued for:		Date
REVIEW		6-7-21
PERMIT		6-23-21
PERMIT		7-14-21
PERMIT		9-20-21
PERMIT		1-7-22
Revisions		Date
REV. KIT. SINK WINDOW		1-20-22
ADD GARAGE WINDOW		1-24-22
ADD 6Q. FT. NOTES		3-1-22

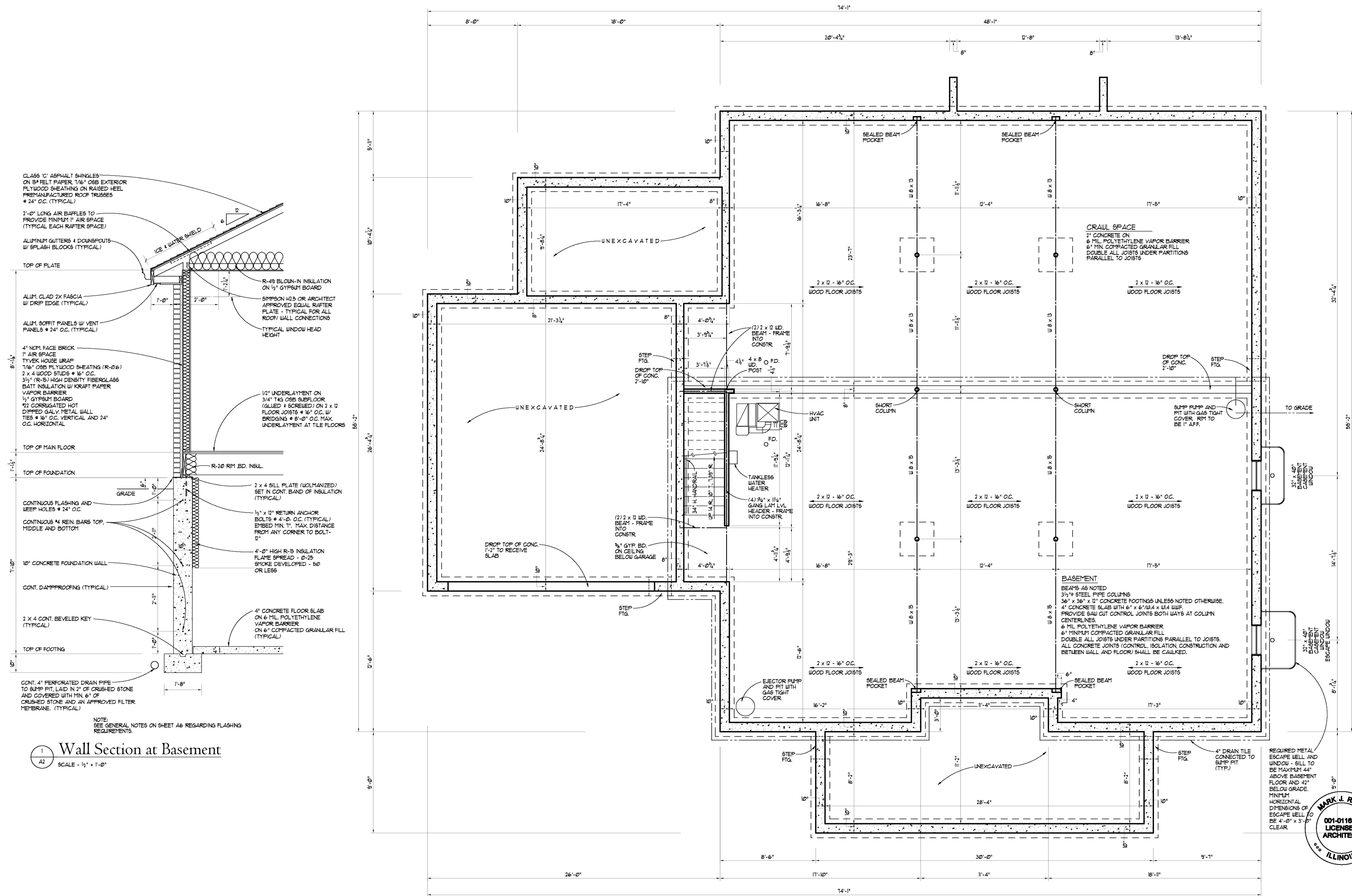
Basement and  
Foundation  
Plan, Section

Drawn by: MJR	Checked by: MJR
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Job no:	2104.07
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Sheet:

A2



## Basement and Foundation Plan

SCALE -  $\frac{1}{4}" = 1'-0"$



BASEMENT AREA: 1,305 SQ. FT.  
CRAWL SPACE AREA: 1,157 SQ. FT.  
54% BASEMENT, 46% CRAWL SPACE

**Project:** RCS Leasing, LLC – Landscape Company  
**Meeting Type:** Workshop  
**Request:** Special Use Permits (2): *Outdoor storage of uncontained bulk materials and outdoor storage except uncontained bulk materials*  
**Location:** 23050 S. La Grange Road  
**Applicant:** Rob Smith  
**Prop. Owner:** RCS Leasing, LLC  
**Representative:** Rob Smith

### Site Details

**Lot Size:** 126,450 square feet (2.9 ac.)  
**PIN(s):** 19-09-32-300-006-0000  
**Existing Zoning:** A-G  
**Existing House:** 1,290 square feet  
**Existing Large Barn:** 2,931 square feet  
**Existing Small Barn:** 451 square feet

### Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Former Farmstead	Single-Family Detached Res.	A-G
<b>North</b>	Single-Family Residential	Single-Family Detached Res.	R-2
<b>South</b>	Medical Office	General Commercial	B-4
<b>East</b>	Undeveloped	Single-Family Detached Res.	C-2 (County)
<b>West</b>	Single-Family Residential	Single-Family Detached Res.	R-2

Figure 1. Location Map



### Project Summary

The applicant currently manages Meadowbrook Services, a landscaping company. The applicant is seeking to expand his business operations to the subject property at 23050 S. La Grange Road. Landscaping companies are permitted by-right within the A-G zone district. However, the proposed business would require two special use permits to allow for outdoor storage of uncontained bulk materials (gravel, mulch) and outdoor storage of uncontained bulk materials (vehicles/light trucks and an outdoor display area). The first special use permit relates to the two 15' wide outdoor storage bins for the storage of mulch and gravel. The second special use permit relates to the vehicle parking area in the center of the property and the outdoor display area. The existing large metal barn (2,931 sq. ft.) would remain, but the existing small metal barn (451 sq. ft.) would be removed. The site plan illustrates two additional storage buildings, labeled "Future Buildings A & B", measuring 3,888 and 1,200 sq. ft. respectively. These buildings may not be constructed at the same time as the other improvements but were placed on the site plan as a future option. These future buildings would not require any special use permits or variances as they are currently proposed. A 170' x 55' planting area is proposed along the north property line, for trees and shrubs used for the landscape company. This planting area is not technically considered outdoor storage. Lastly, a house exists on the property that will continue to be used as a dwelling. Single-family dwellings are permitted in the A-G zone district, only if they are ancillary to a primary use (in this case, a landscape company).

## **Attachments**

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- Existing Conditions, Soil Erosion Control & Removal Plan, received 2.14.22.
- Dimensional Site Plan, received 2.14.22
- Grading Plan, received 2.14.22
- Floorplan for proposed future buildings A & B, received 10.14.21
- Elevation drawings of proposed future buildings A & B, received 10.14.21
- Isometric (3D) drawing of proposed future buildings A & B, received 10.14.21
- Aerial photographs of the site for the year 2019. (Frankfort Township and Green Garden Township GIS)
- Tax Assessment Map of the property and adjacent properties to the north and west
- Photos of the property taken by staff, 3.1.22.

## **Analysis**

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In consideration of the request, staff offers the following points of discussion:

### **Existing and Proposed Buildings/Site Work:**

1. The site currently has one house, a large metal barn (2,931 sq. ft.), a small metal barn (451 sq. ft.), a silo and existing concrete pads. The small metal barn, silo and most of the concrete pads will be removed.
2. The applicant intends to construct a large asphalt parking area in the center of the property, two 15' wide storage bins and a 225 sq. ft. outdoor display area. In the future, the applicant may also construct "Future Building A" (3,888 sq. ft.) and "Future Building B" (1,200 sq. ft.).
3. The maximum lot coverage in the A-G zone district is 10%. Per the Site Plan, the existing and proposed buildings add up to 9,309 square feet, or 7.36%, complying with this requirement.
4. The maximum impervious lot coverage in the A-G zone district is 20%. Per the Site Plan, the existing and proposed impervious surfaces adds up to 25,287 square feet, or 20%, complying with this requirement.
5. The required setbacks for all buildings and accessory structures is 75' from the front yard and corner side yard (Steger Road and La Grange Road) and 100' from the side and rear yards. All proposed accessory structures meet the required setbacks. The existing large metal barn (2,931 sq. ft.) is set back 17.3' from the side yard, whereas 100' is required, and is considered an existing, non-conforming structure regarding the setback. The house is set back 57.9' from the front property line (Steger Road) and 67.7' from the corner side property line (S. La Grange Road), whereas 75' is required from both roads; the house is also considered an existing, non-conforming structure regarding the setback.
6. The Zoning Ordinance is silent regarding the height of accessory structures in the A-G zone district, although past interpretation by staff has been to limit their height to 35', which is the maximum height permitted for principal structures in this zone district. The proposed Future Buildings A & B measure approximately 25' tall.
7. The Zoning Ordinance is silent regarding the materials of accessory buildings in the A-G zone district. The proposed Future Buildings A & B would be constructed of steel siding. In the past, staff has interpreted the code to allow for steel sided accessory buildings in the A-G zone district.
8. The existing house will continue to be used as a dwelling. Single-family dwellings are permitted in the A-G zone district, only if they are ancillary to a primary use (in this case, a landscape company).

9. A 170' x 55' planting area is proposed along the north property line, which functions as a staging area for trees and shrubs used for the landscape company. This planting area is not technically considered outdoor storage and does not have to abide by the setbacks, as long as the planting area contains only plants and no structures of any type.

**Outdoor Storage:**

1. The Table of Permitted and Special Uses lists that outdoor storage of uncontained bulk materials and outdoor storage except for uncontained bulk materials may be permitted in the A-G zone district upon issuance of special use permits.
2. It is staff's understanding that the outdoor storage of uncontained bulk materials will include mulch and gravel. For the purposes of this workshop, any other types of uncontained bulk materials should be discussed for the record.
3. *Outdoor storage* is defined in the Zoning Ordinance as: *The keeping, in an unroofed area, of any goods, junk, material, merchandise or vehicles in the same place for more than twenty-four (24) hours.*
4. The following accessory uses are prohibited in any residential zone district, which includes the A-G zone district:
  - A. Trucks with an empty weight in excess of four (4) tons or over 7.5' tall;
  - B. Construction vehicles or equipment, unless wholly enclosed;
  - C. Buses designed for more than 11 passengers
  - D. Cargo containers
5. The subject property is zoned A-G, agricultural, and is classified as a residential zone district. As such, it is somewhat uncommon to review projects with an outdoor storage component in this zone district. In order for the Plan Commission to determine the appropriate screening for the proposed outdoor storage components, the regulations listed under Article 6, Section C, Part 2 (g) could be used as a guide, even though they do not directly apply. (Page 131 of the Zoning Ordinance)

In the B-3 and I-1 zone districts:

- A. *All outdoor storage facilities for accessory uses and products shall be enclosed by a fence, wall or plant materials adequate to conceal such facilities from adjacent public properties and the public right-of-way.*
- B. *All such outdoor storage areas shall be located on a paved surface, unless such storage area is located in a rear yard and is enclosed by a fence, wall or plant materials adequate to conceal such facility.*

In the I-2 zone district:

- A. *No items shall be stored at a height greater than the screen and under no condition shall the outdoor storage exceed 10' in height.*

**Landscaping:**

1. The Landscape Ordinance is silent regarding screening of outdoor storage on A-G zoned properties. However, the Plan Commission may add conditions to the special use permit requests that the some or all of the outdoor storage components be screened. Screening of outdoor storage is typically achieved with landscaping and/or opaque fencing. Chain-link fences are not permitted in any residential zone district, including the A-G zone district.
2. There are no existing trees on the site that would be removed as part of the proposed work. Most trees on the property are located along the rear (north) and side (west) property lines, adjacent to the Vistana residential subdivision.

**Parking & Sidewalks:**

1. The Zoning Ordinance does not have specific parking requirements for landscape companies. The Zoning Ordinance does state that *"Parking spaces for uses not listed shall be provided in accordance with recommendations of the Planning Commission and the Village Board"*. As such, the Plan Commission may determine the amount of parking needed, if any, for the proposed business. Staff recommends that at least one parking space be provided that is ADA accessible, with the appropriate signage and striping.
2. There are no existing sidewalks adjacent to the subject property. Sidewalks do exist on Steger Road and S. La Grange Road to the west and north of the subject property and dead-end at the subject property.

**Hours of Operation:**

1. Operating hours for the business were not noted on the application, but could potentially operate 7 days a week, from 7 am – 11 pm. Operating outside of normal business hours (7 am – 11 pm) could be approved as part of this special use permit request per Article 6, Part 2, Section q.
2. The application does not state whether customers will visit the site, but the proposed outdoor display area implies visitation by customers.

**Other:**

1. A recently excavated area exists adjacent to the Steger Road right-of-way. A permit was not issued for this excavation work and it should be restored to its original grade and seeded or sodded. This requirement has been added as a condition of approval for both special use permits.
2. A recent debris pile was created near the northwest corner of the subject property (containing mostly dirt but also pieces of concrete). This debris pile should be removed and restored to its original grade and seeded or sodded. This requirement has been added as a condition of approval for both special use permits.
3. Automobile repair is not permitted within the A-G zone district, either by-right or as a special use.
4. Some sections of fencing exist along the side and rear property lines adjacent to the residential subdivision. The sections are mostly made of chicken-wire or wooden rail fencing and are in generally poor condition. The chicken-wire fence design is not permitted in any residential zone



district and is considered an existing, non-conforming structure. According to the Site Plan, the western fence appears to be located on the adjacent lots within the residential subdivision, while the northern fence appears to be located on the subject property or directly on the property line. The applicant is not proposing any new fencing.

5. Article 6, Section D, Part 2 includes regulations on noise levels in residential districts. Although a landscape company is a permitted use by-right in the A-G zone district, the activities must abide by these noise level regulations. In this instance, the noise cannot exceed 50 decibels between 7 am – 7 pm, and 45 decibels between 7 pm and 7 am. This section also contains regulations regarding vibrations and air pollution.
6. The applicant has indicated to staff that they may wish to install some bollard-type lighting along the newly paved driveway leading to S. La Grange Road. This lighting could be approved later upon issuance of a building permit, in compliance with Article 7, Section E (Lighting).
7. A portable bathroom exists on the site, adjacent to the small metal barn, which will need to be removed upon completion of the site work.

### ***Development Comments***

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- The applicant has applied for a business license which will to be issued prior to operation, should the special use permits be approved by the Village Board.

### ***Staff's Review***

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The following findings of fact are used to judge the merit of a special use permit request. These findings should be used for the review of each special use permit request.

#### **Findings of Fact:**

No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

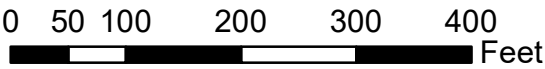
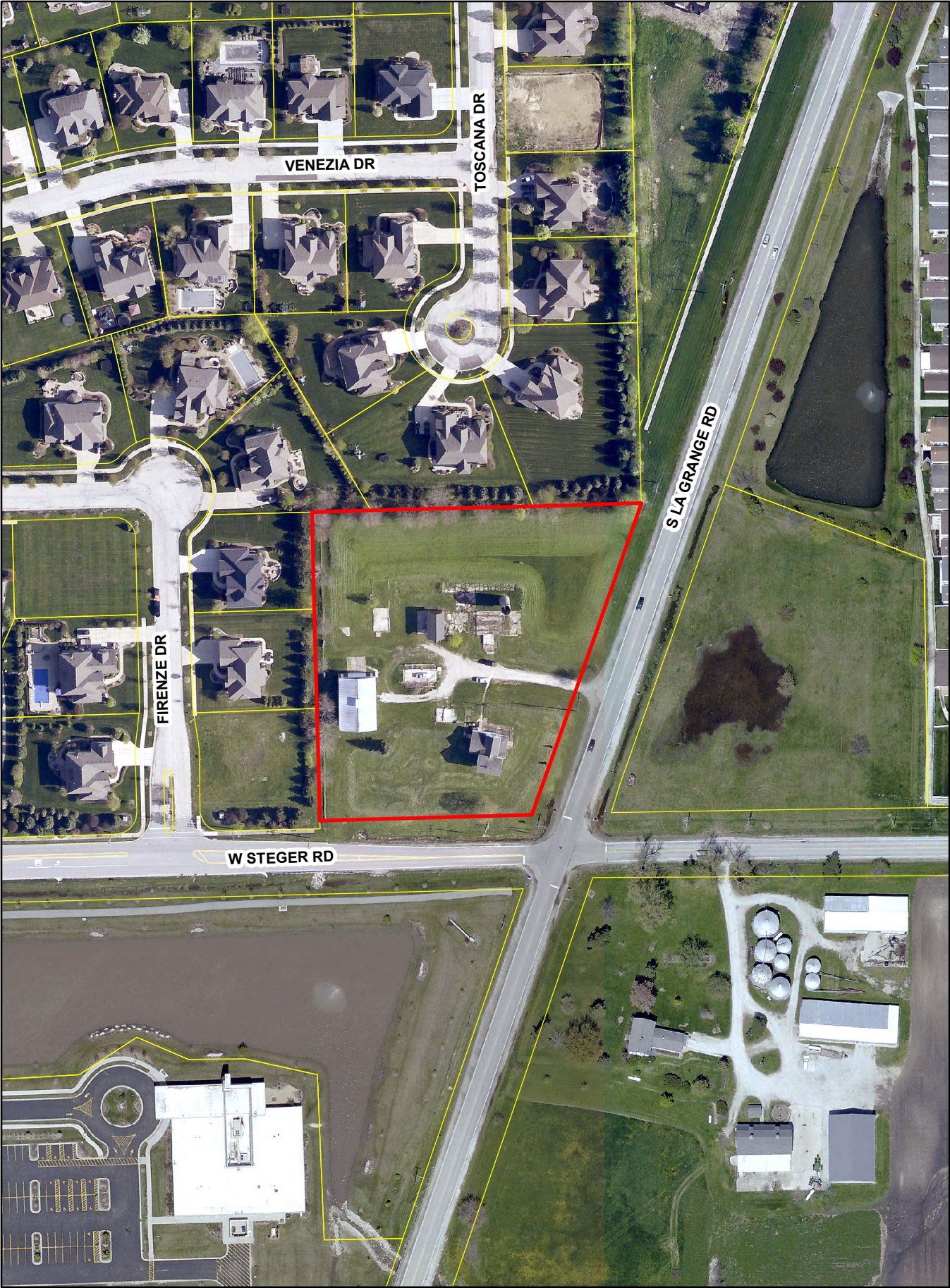
g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

***Affirmative Motions (for future public hearing only)***\_\_\_\_\_

1. Recommend to the Village Board to approve the Special Use Permit for outdoor storage of uncontained bulk materials, for the property located at 23050 S. La Grange Road, in accordance with the reviewed plans and public testimony and findings of fact, conditioned upon the following:
  - a. That the excavated area adjacent to Steger Road be restored to its original grade and seeded or sodded.
  - b. That the existing soil/debris pile at the northwest corner of the property be removed and the land restored to the original grade.
2. Recommend to the Village Board to approve the Special Use Permit for outdoor storage *except* uncontained bulk materials, for the property located at 23050 S. La Grange Road, in accordance with the reviewed plans and public testimony and findings of fact, conditioned upon the following.
  - a. That the excavated area adjacent to Steger Road be restored to its original grade and seeded or sodded.
  - b. That the existing soil/debris pile at the northwest corner of the property be removed and the land restored to the original grade.



23050 S. La Grange Road





Frankfort Township  
W.1/2 S.W.1/4 Sec.32 T.35N. R.12E.

**Will County, Illinois**  
Tax Assessment Map  
Revised for the 2021 Assessment  
Copyrighted 2021 by Will County GIS Division

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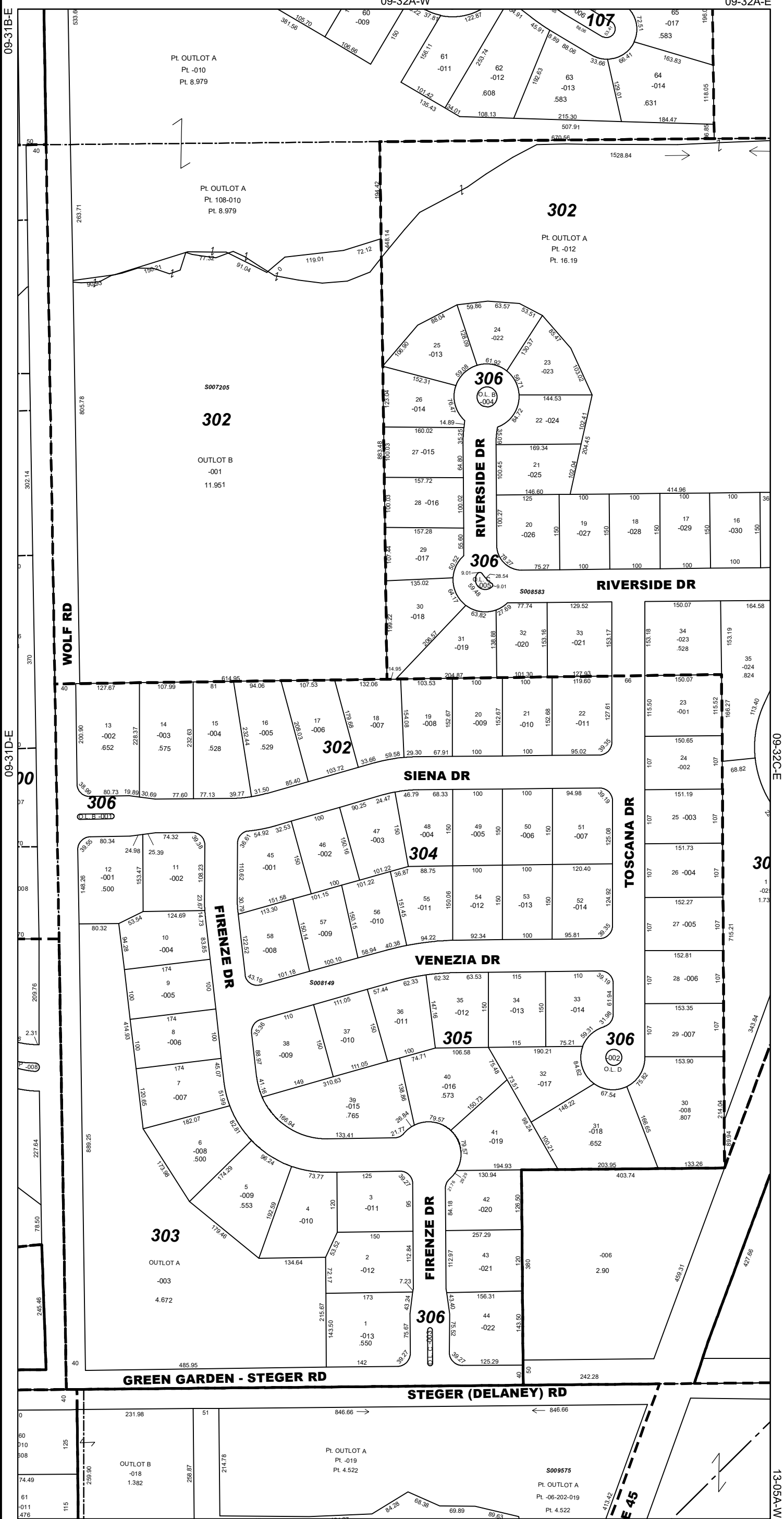


**Jennifer Bertino-Tarrant**  
County Executive  
**Rhonda R. Novak**  
Supervisor of Assessments

Subdivision List

**S002863**  
Assessor's Sub of Pt. S 1/2  
Section 32

**S006815**  
Gateway Commercial Sub  
R2001-016668  
**S007205**  
Autumn Fields Phase 2  
R2002-082657  
**S008149**  
Vistana of Frankfort  
R2004-072211  
**S008583**  
Sara Springs Subdivision  
R2005-227910







































**FLOOR PLAN**  
FBI Building 54' x 72' x 16' I.C. w/20' x 48' x 10' Lean-To Office  
Sidewall Columns & Trusses Space at 8' O.C. Designed for 30 psf Ground Snow Load

Copyright  
FBI Buildings, Inc.  
Building may not be shown to scale.  
(Colors shown may not match actual colors.  
Refer to color samples for actual colors.)

**General Notes:**  
Gutters - 6" Steel w/Downspouts  
Wainscot - 36" Steel  
OSB & Felt - 7/16" & 15# Felt On  
Roof

**Door Schedule:**  
D1 - 3' x 6'-8" Steel Insulated Walk Door With Glass  
D2 - 3' x 6'-8" Steel Insulated Solid Walk Door  
D3 - 12' x 14' OHD Frame Out (Door Not Included)

**Window Schedule:**  
W1 - 4' x 3' Insulated Sliding Window With Screen  
W2 - 5' x 3' Insulated Fixed Window (Up High)



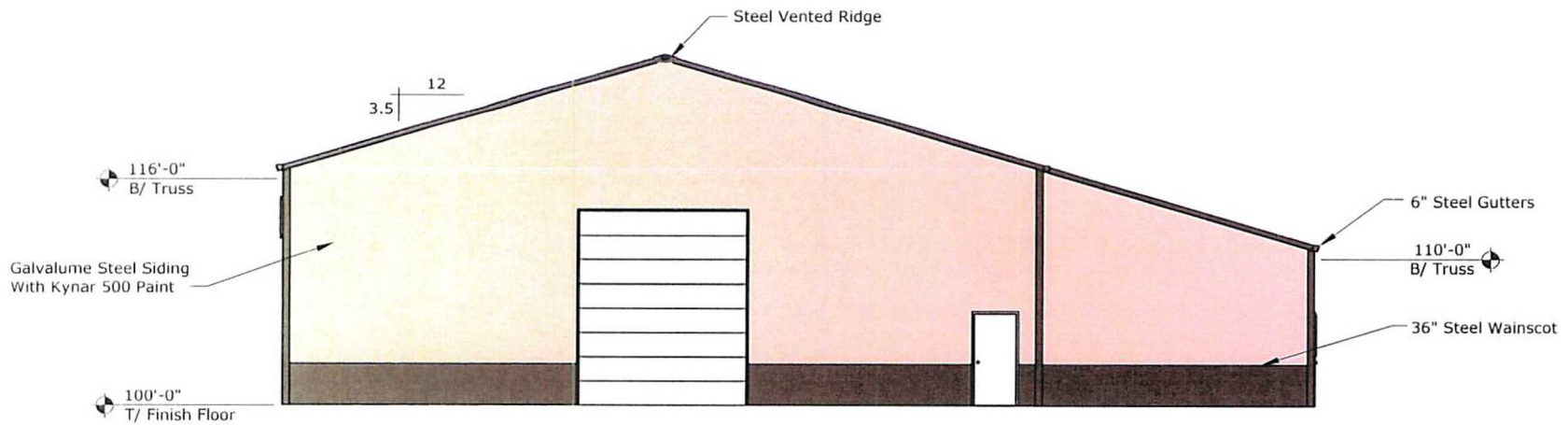
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_____	_____
Seller Approval	Date
_____	_____
Drawing # _____	

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Frankfort, IL 60423  
Floor Plan

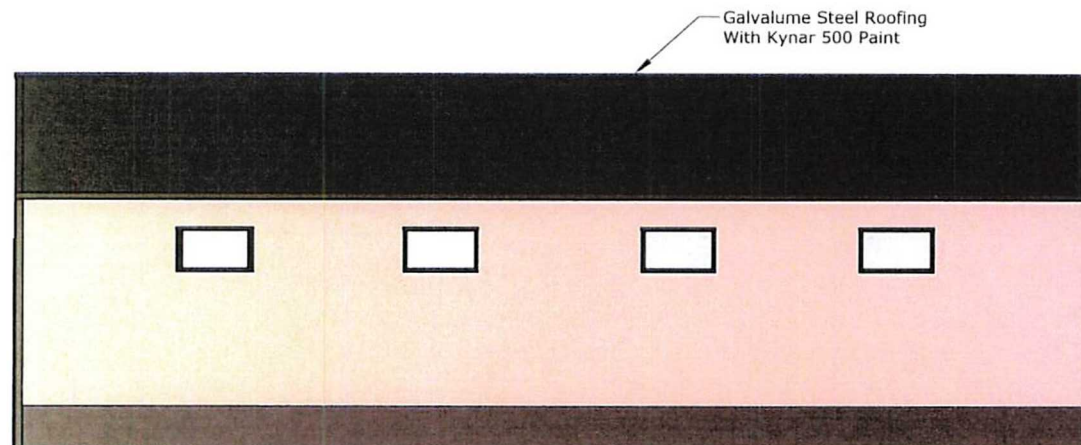
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Remington, IN 47977  
219-261-2157  
www.fbibuildings.com

Date : 1/29/21  
Name: JPC  
Rev 0

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THESE DRAWINGS  
ARE FOR  
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**ONLY**  
These drawings are  
not complete and  
are not to be used  
for construction



**SOUTH ELEVATION**



**WEST ELEVATION**

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Building may not be shown to scale.  
(Colors shown may not match actual colors.  
Refer to color samples for actual colors.)

Purchaser Approval	Date
Seller Approval	Date
Drawing #	

Mr. Rob Smith  
22550 Pfeiffer Rd.  
Frankfort, IL 60423

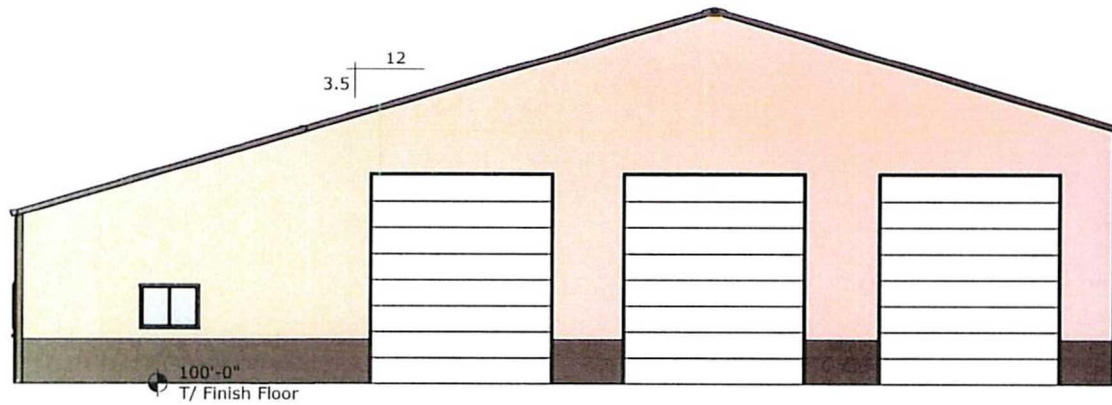
Elevation Plan

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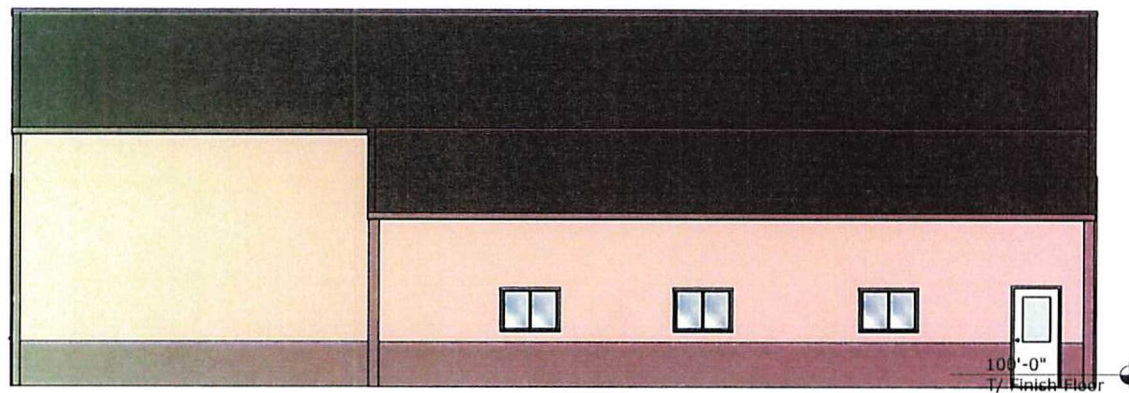
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Name: JPC  
Rev 0

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A-201



**WEST ELEVATION**



**SOUTH ELEVATION**

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(Colors shown may not match actual colors.  
Refer to color samples for actual colors.)

<input checked="" type="checkbox"/> Purchase Approval	Date _____
<input checked="" type="checkbox"/> Seller Approval	Date _____
Drawing # _____	

**Mr. Rob Smith**  
**22550 Pfeiffer Rd.**  
**Frankfort, IL 60423**

Elevation Plan

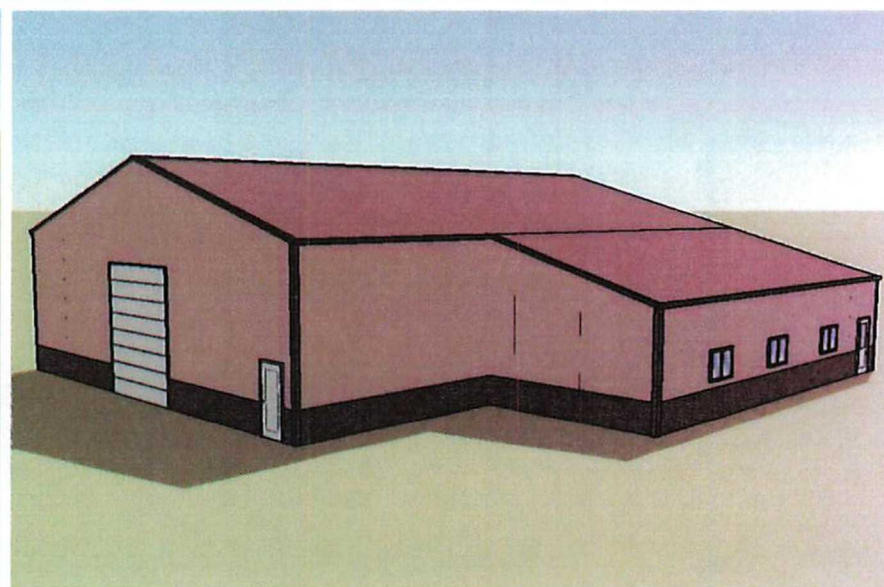
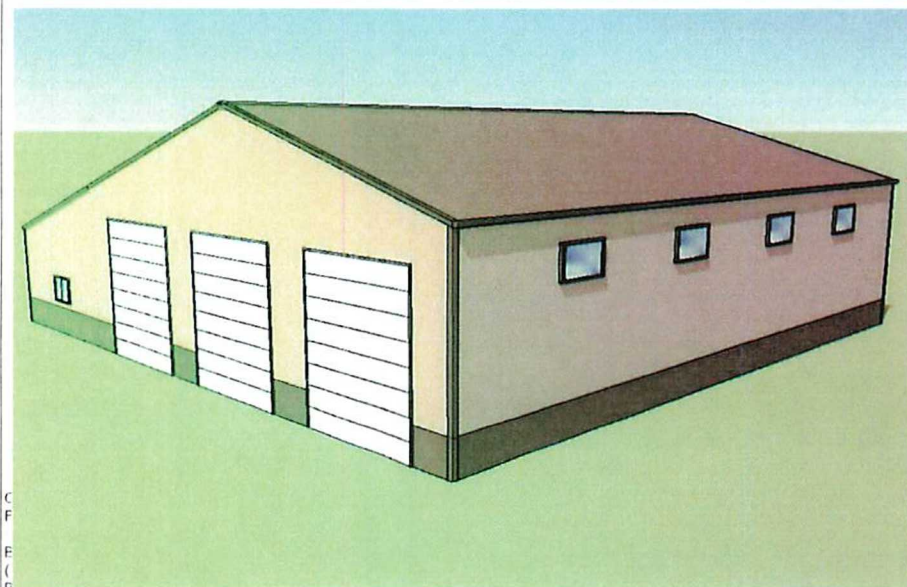
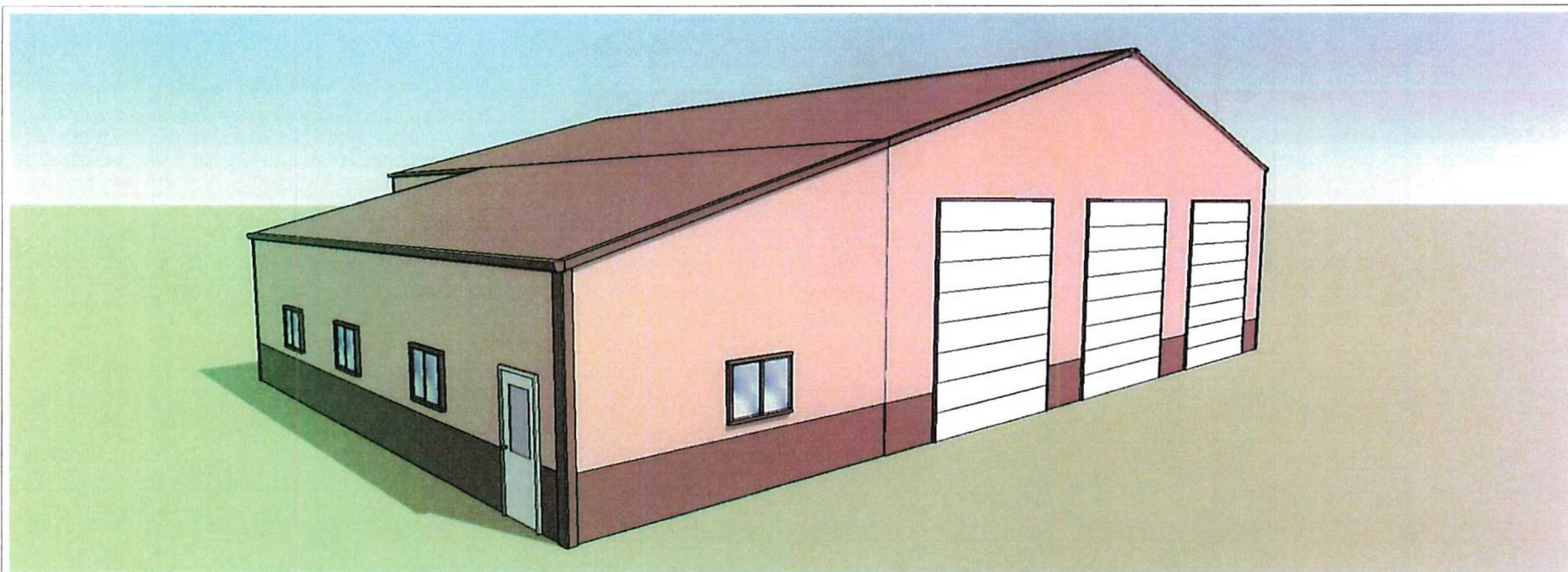
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Rev 0

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for construction

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☐ Purchaser Approval \_\_\_\_\_ Date \_\_\_\_\_  
☐ Seller Approval \_\_\_\_\_ Date \_\_\_\_\_  
 Drawing # \_\_\_\_\_

Mr. Rob Smith  
 22550 Pfeiffer Rd.  
 Frankfort, IL 60423

3D View

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Date : 1/29/21  
 Name: JPC  
 Rev 0

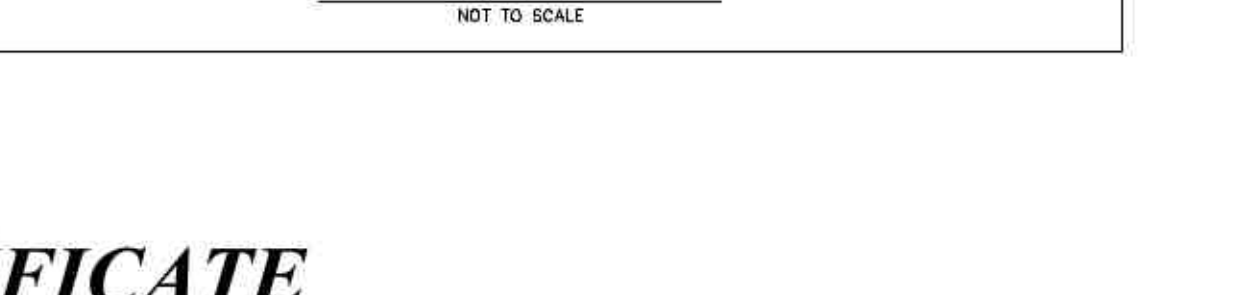
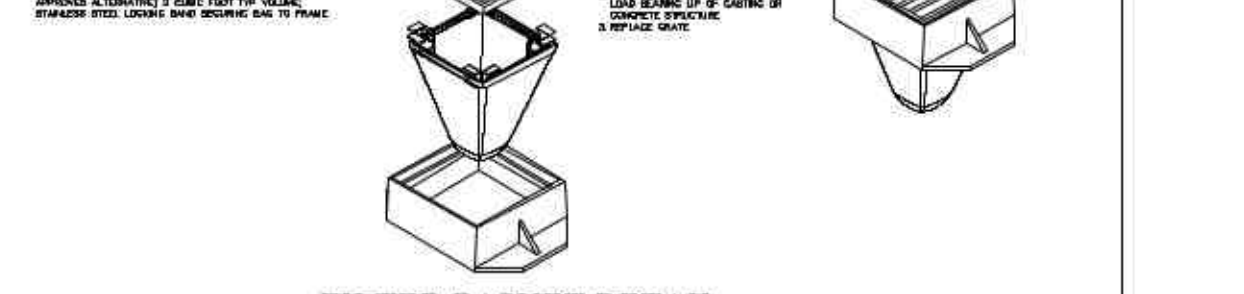
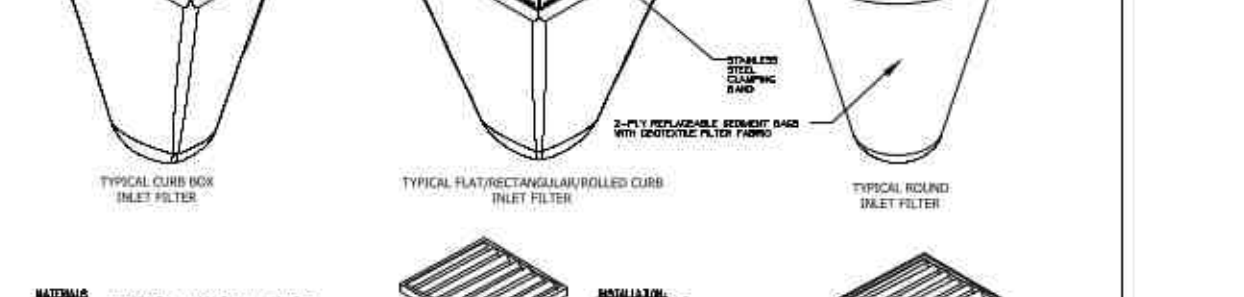
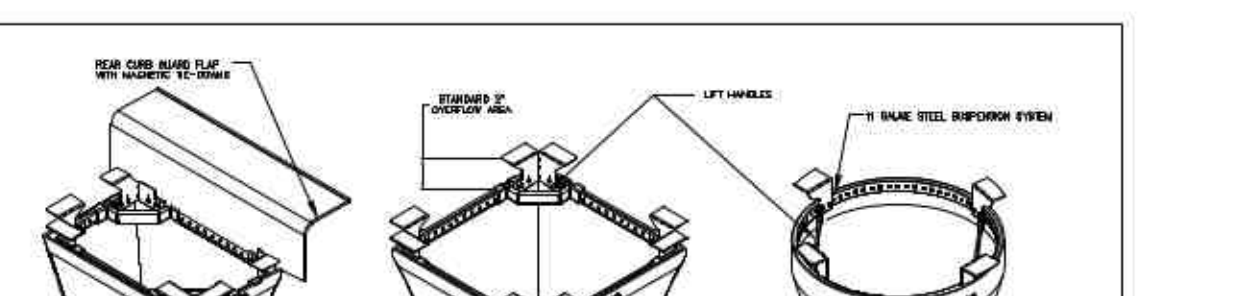
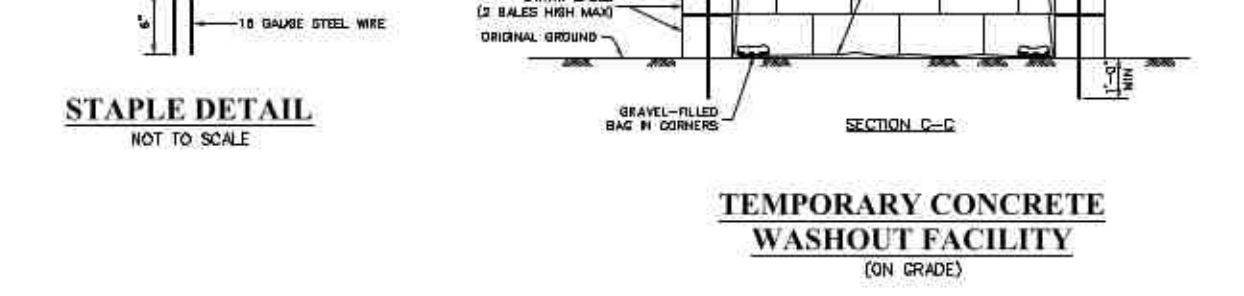
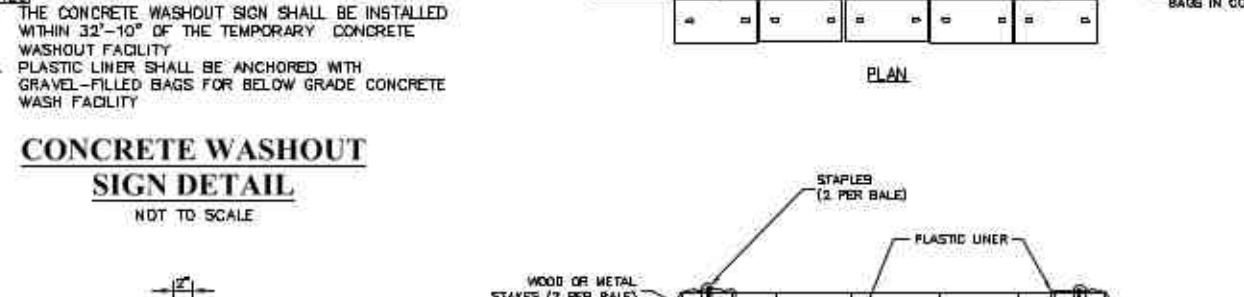
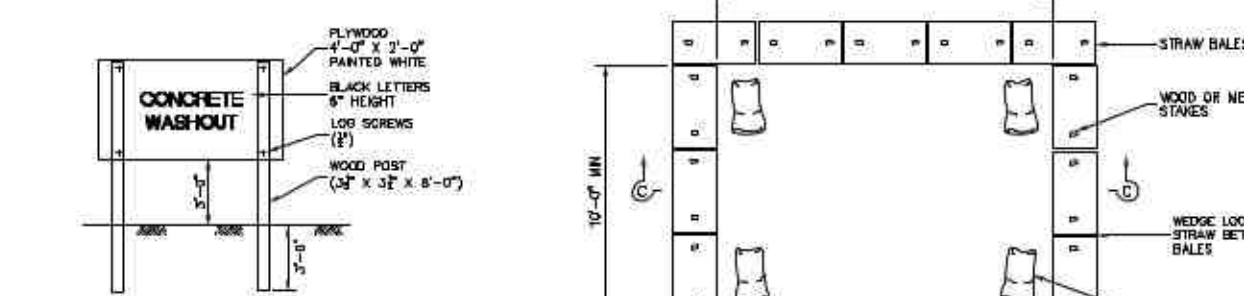
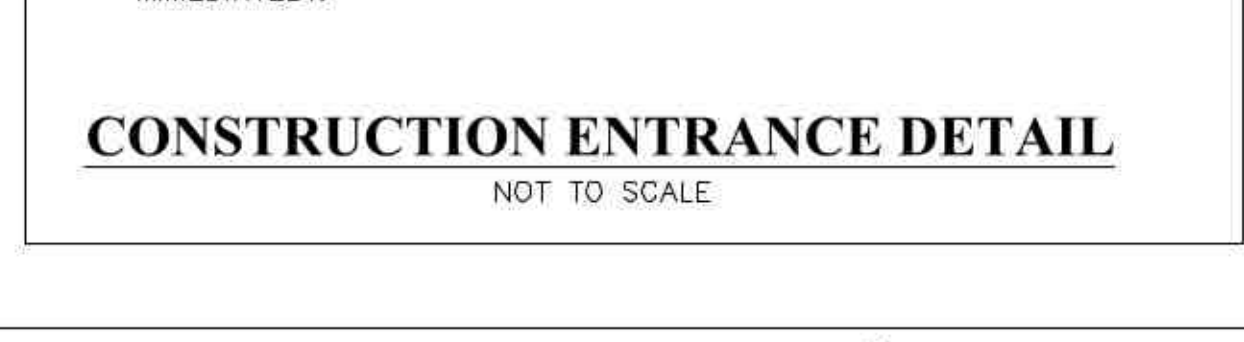
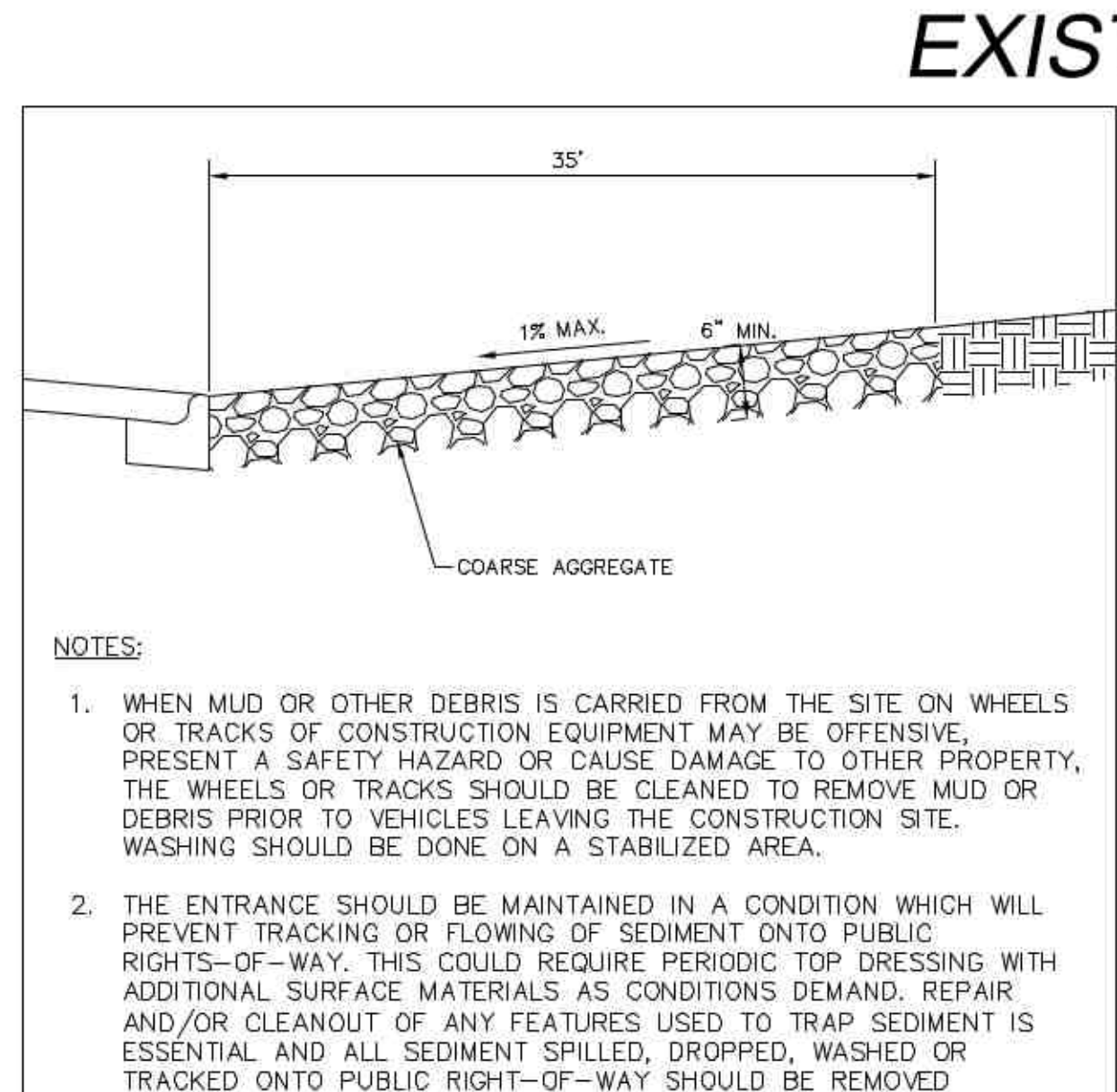
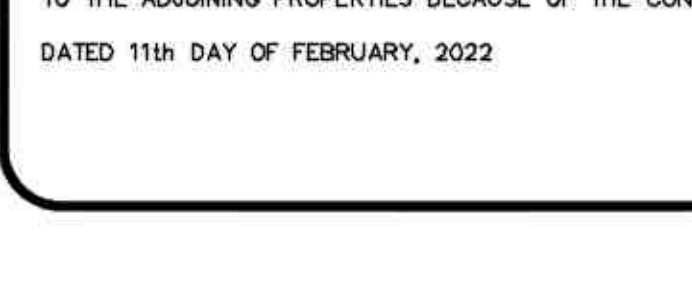
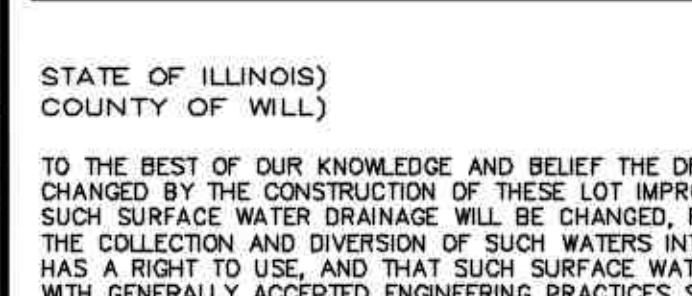
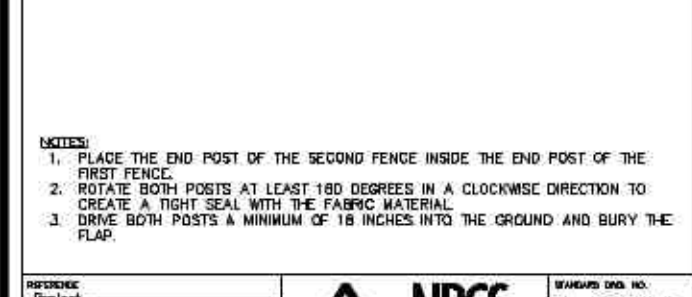
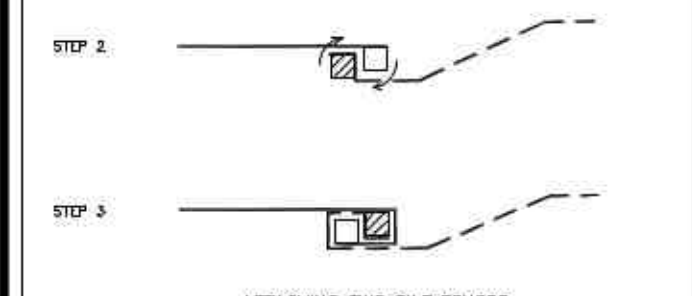
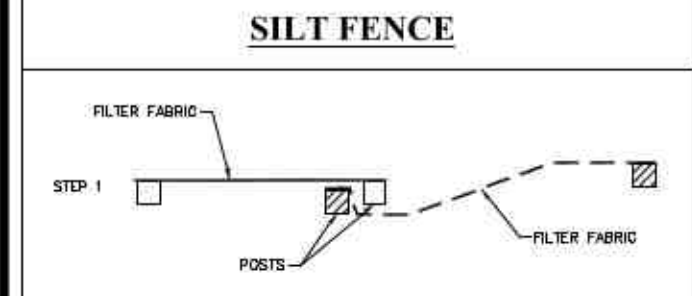
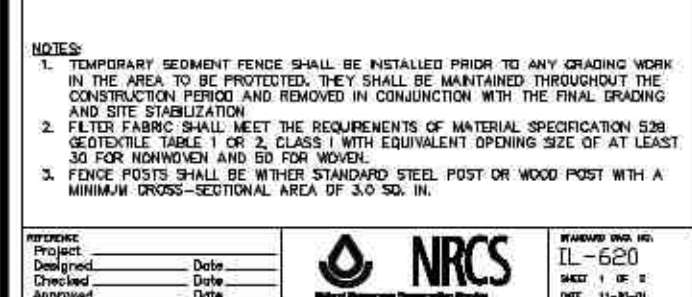
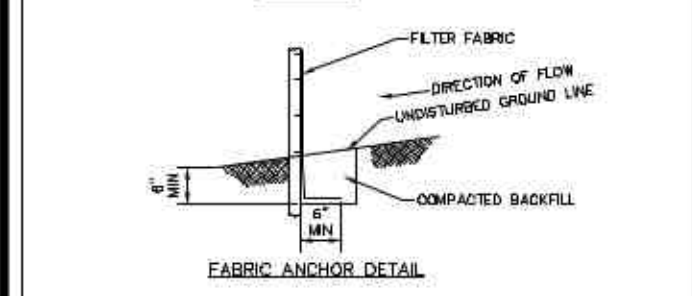
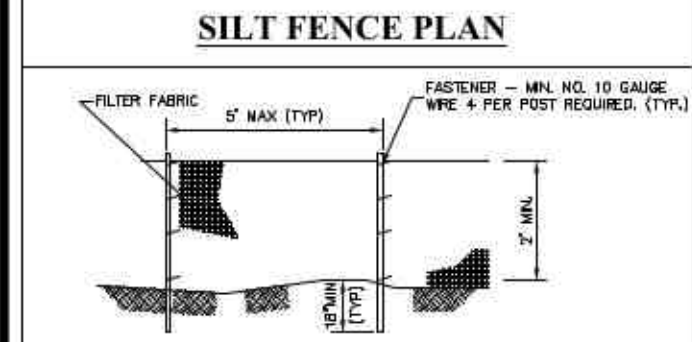
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**ONLY**  
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 not complete and  
 are not to be used  
 for construction.

A-203



LEGEND

EXISTING	PROPOSED
Sanitary Sewer	Sanitary Sewer
Sanitary Service	Sanitary Service
Sanitary Manhole	Sanitary Manhole
Storm Sewer	Storm Sewer
Storm Service	Storm Service
Catch Basin	Catch Basin
Open Lid Storm Manhole	Open Lid Storm Manhole
Closed Lid Storm Manhole	Closed Lid Storm Manhole
Storm Inlet	Storm Inlet
Flared End Section	Flared End Section
Water Main	Water Main
Water Service	Water Service
Valve Vault	Valve Vault
B-Box	B-Box
Hydrant	Hydrant
Valve Box	Valve Box
Street Light	Street Light
Utility Pole	Utility Pole
Retaining Wall	Retaining Wall
Silt Fence	Silt Fence
Contour	Contour
Force Main	Force Main
Spot Grades	Spot Grades
Overflow Arrow	Overflow Arrow
Top of Foundation	Top of Foundation
Finish Grade	Finish Grade
Finish Floor	Finish Floor
Garage Floor	Garage Floor



# EXISTING CONDITIONS, SOIL EROSION CONTROL & REMOVAL PLAN

## FOR 23050 S. LAGRANGE ROAD

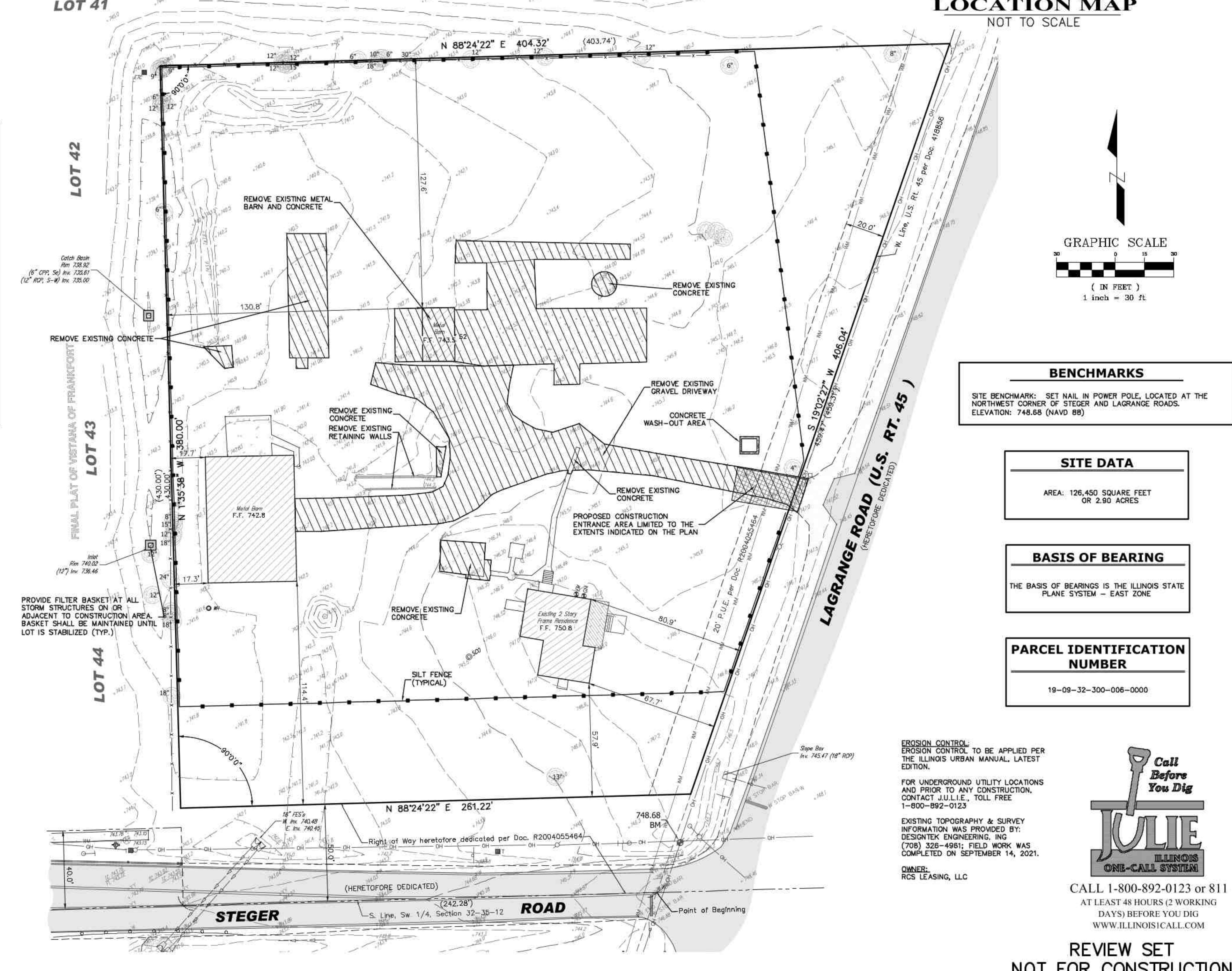
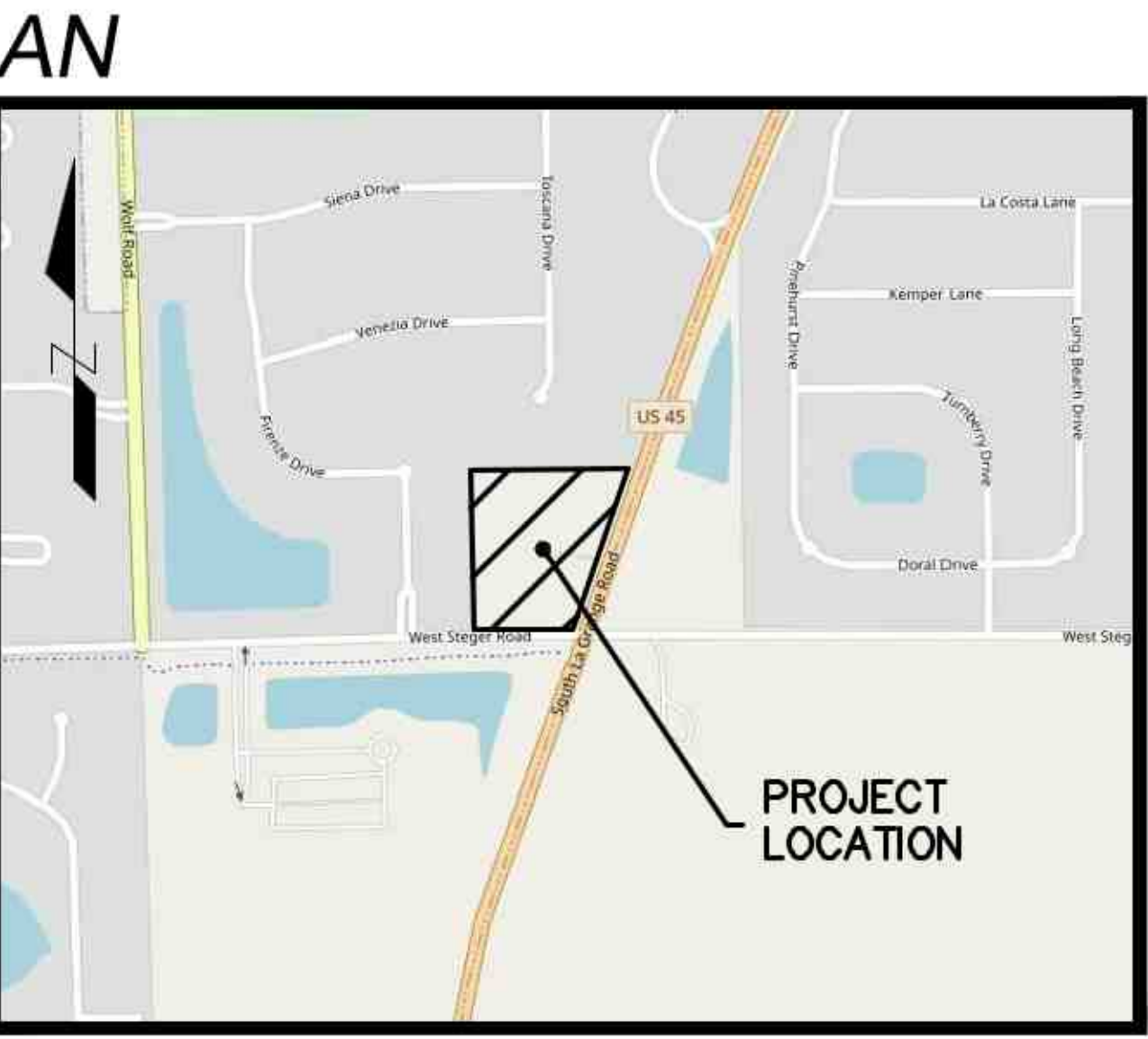
### FRANKFORT, ILLINOIS

**LEGAL DESCRIPTION**

THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTH LINE OF SAID SOUTHWEST 1/4 AT THE INTERSECTION OF THE WESTERLY RIGHT OF WAY LINE OF U.S. ROUTE 45 AS DEDICATED BY DOCUMENT NUMBER 413356; THENCE WEST ALONG SAID SOUTH LINE 242.28 FEET; THENCE NORTH AT RIGHT ANGLES TO SAID SOUTH LINE 430 FEET; THENCE EAST AT RIGHT ANGLES AND PARALLEL TO SAID SOUTH LINE 403.74 FEET TO SAID WESTERLY RIGHT OF WAY LINE OF U.S. ROUTE 45; THENCE SOUTHWESTERLY 458.31 FEET TO THE POINT OF BEGINNING, (EXCEPT THAT PART TAKEN FOR ROAD WIDENING PER PLAT OF DEDICATION RECORDED AS DOCUMENT R2004-035464) IN WILL COUNTY, ILLINOIS.

**RECEIVED**

By Christopher Gruba at 4:07 pm, Feb 14, 2022



**BENCHMARKS**

SITE BENCHMARK: SET NAIL IN POWER POLE, LOCATED AT THE NORTHWEST CORNER OF STEGER AND LAGRANGE ROADS. ELEVATION: 748.68 (NAVD 88)

**SITE DATA**

AREA: 126,450 SQUARE FEET OR 2.90 ACRES

**BASIS OF BEARING**

THE BASIS OF BEARINGS IS THE ILLINOIS STATE PLANE SYSTEM - EAST ZONE

**PARCEL IDENTIFICATION NUMBER**

19-09-32-300-006-0000

EROSION CONTROL TO BE APPLIED PER THE ILLINOIS URBAN MANUAL, LATEST EDITION.

FOR UNDERGROUND UTILITY LOCATIONS AND PRIOR TO ANY CONSTRUCTION, CONTACT J.U.I.E., TOLL FREE 1-800-892-0123

EXISTING TOPOGRAPHY & SURVEY INFORMATION WAS PROVIDED BY: DESIGNTEK ENGINEERING, INC. (708) 326-4961; FIELD WORK WAS COMPLETED ON SEPTEMBER 14, 2021.

OWNER: RCS LEASING, LLC



CALL 1-800-892-0123 or 811 AT LEAST 48 HOURS (2 WORKING DAYS) BEFORE YOU DIG WWW.ILLINOISCALL.COM

**REVIEW SET**

NOT FOR CONSTRUCTION

## SURFACE WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS  
COUNTY OF WILL

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE LOT IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THESE LOT IMPROVEMENTS.

DATED 11TH DAY OF FEBRUARY, 2022

Michael J. Ford  
Expires 11/30/23



NO.	DATE	DESCRIPTION	BY
1	01-31-22	PER VILLAGE REVIEW	MJF
2	02-11-22	PER CLIENT REVISIONS	MJF

RCS LEASING, LLC

FINAL ENGINEERING PLAN  
FOR  
23050 S. LAGRANGE ROAD  
FRANKFORT, ILLINOIS

DESIGNTEK ENGINEERING, INC.  
CONSULTING, CIVIL ENGINEERING & LAND SURVEYING  
9930 W. 190TH STREET, SUITE L  
MOKENA, ILLINOIS 60448  
(708) 326-4961  
FAX: (708) 326-4962  
IL PROF. LIC. NO.: 184-003740



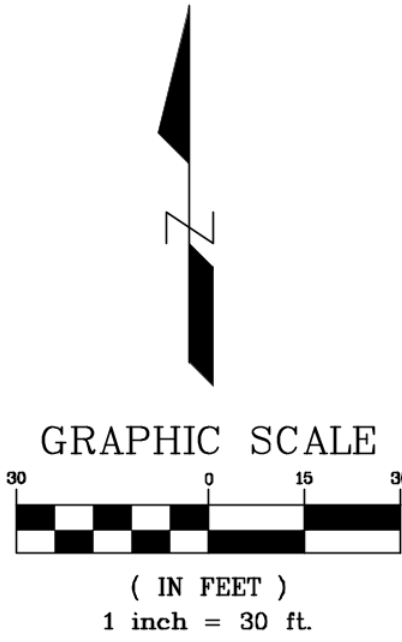
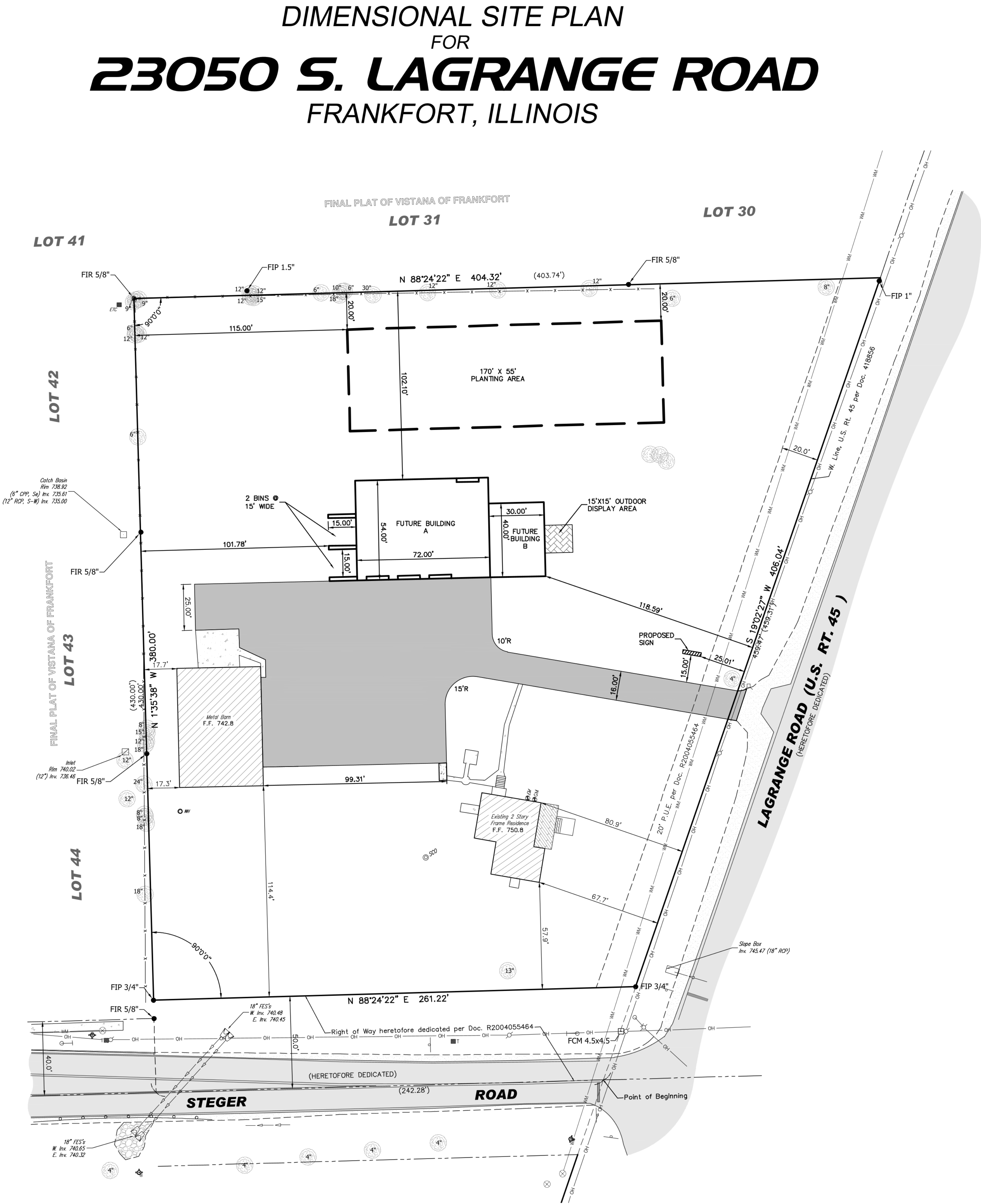
**PROJECT INFORMATION**

Project No.: 21-0027  
Scale: 1" = 30'  
Date: 12-14-2021  
Design By: MJF  
Drawn By: DJB  
Checked By: MJF

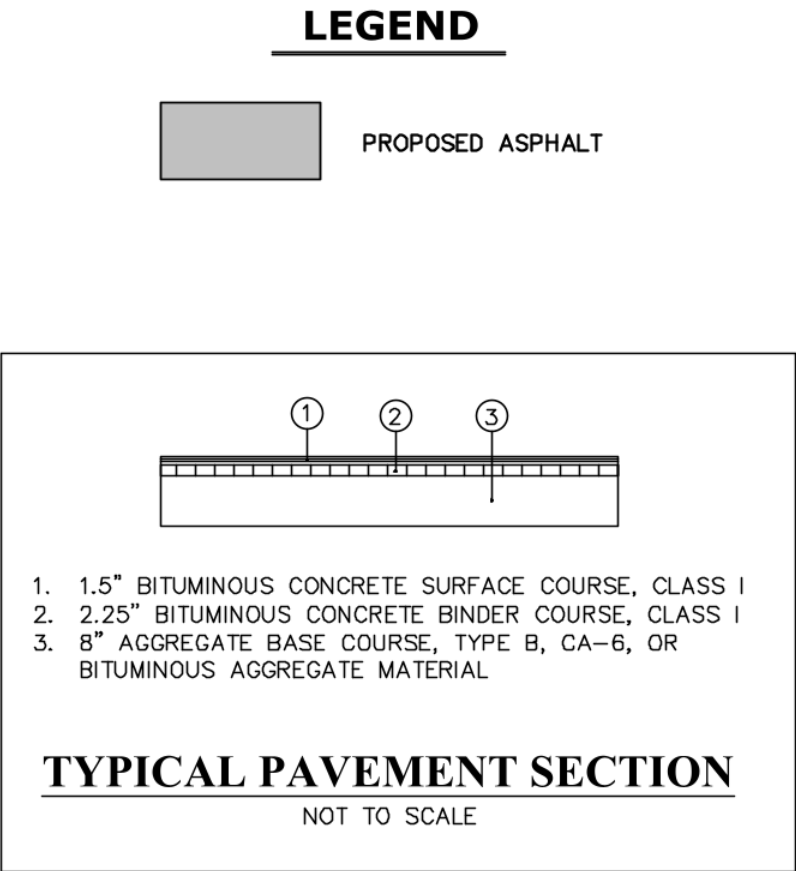


LEGEND	
EXISTING	PROPOSED

L:\Projects\2021\21-0027\Engineering\Utility\21-0027 Final Plan Date: 2/14/2022 1:06:17 PM By: mmd



PROJECT DATA	
CURRENT ZONING: AG	
LOT AREA:	126,450 S.F. OR 2.90 AC.
EXISTING COVERAGE:	
EX. 2 STORY RESIDENCE:	1,290 S.F.
EX. DECK & STAIRS:	249 S.F.
EX. CONCRETE WALK & STEPS:	580 S.F.
EX. LARGE METAL BARN:	2,931 S.F.
EX. SMALL METAL BARN:	451 S.F.
CONCRETE PADS:	7,240 S.F.
RETAINING WALLS:	69 S.F.
PROPOSED:	
EX. 2 STORY RESIDENCE:	1,290 S.F.
EX. DECK & STAIRS:	249 S.F.
EX. CONCRETE WALK & STEPS:	364 S.F.
EX. LARGE METAL BARN:	2,931 S.F.
EX. CONCRETE PAD (TO REMAIN):	541 S.F.
NEW BUILDING A:	3,888 S.F.
NEW BUILDING B:	1,200 S.F.
ASPHALT DRIVEWAY:	14,494 S.F.
NEW WALK:	37 S.F.
BIN DIVIDERS:	68 S.F.
OUTDOOR DISPLAY AREA:	225 S.F.
TOTAL EXISTING IMPERVIOUS:	12,810 S.F.
TOTAL PROPOSED IMPERVIOUS:	25,287 S.F.
CHANGE IN IMPERVIOUS:	+12,499 S.F.
IMPERVIOUS COVERAGE	25,287 SF / 126,450 SF = 19.99%



REVIEW SET  
NOT FOR CONSTRUCTION

REVISIONS	
NO.	DATE
1	01-31-22
2	02-11-22

RCS LEASING, LLC

FINAL ENGINEERING PLANS  
FOR  
23050 S. LAGRANGE ROAD  
FRANKFORT, ILLINOIS

DESIGNTEK ENGINEERING, INC.  
CONSULTING, CIVIL ENGINEERING & LAND SURVEYING  
9930 W. 190TH STREET, SUITE L  
MOKENA, ILLINOIS 60448  
(708) 326-4961  
FAX: (708) 326-4962  
IL PROF. LIC. NO.: 184-003740



PROJECT INFORMATION	
Project No.:	21-0027
Scale:	1"=30'
Date:	12-14-2021
Design By:	MJF
Drawn By:	DJB
Checked By:	MJF

2  
OF  
3


DIMENSIONAL SITE PLAN

GRADING PLAN  
FOR  
***23050 S. LAGRANGE ROAD***  
FRANKFORT, ILLINOIS



**GRAPHIC SCALE**

30                      0                      15                      3



( IN FEET )

1 inch = 30 ft.

## NOTE

ARCHITECT FOR NEW BUILDINGS WILL HAVE TO DETAIL STEPS FOR ACCESS, TAKING INTO CONSIDERATION DIFFERENT FINISH FLOOR ELEVATIONS AND EXTERIOR GRADE CHANGES.

[illegible]

RCS LEASING, LLC

FINAL ENGINEERING PLANS  
FOR  
23050 S. LAGRANGE ROAD  
FRANKFORT, ILLINOIS

**DESIGNTEK ENGINEERING, INC.**  
CONSULTING, CIVIL ENGINEERING & LAND SURVEYING  
9930 W. 190TH STREET, SUITE L  
MOKENA, ILLINOIS 60448  
(708) 326-4961  
FAX: (708) 326-4962

IL PROF. LIC. No.: 184 - 003740



PROJECT INFORMATION	PROJECT NO.	DATE	SHEET NO.	SHEET TOTAL	PROJECT TITLE	PROJECT LOCATION	PROJECT DESCRIPTION
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Project No.: 21-0027

Scale: 1"=30'

ate: 12-14-2021

Design By: MJF

Checked By: M.JF

Booked By: Mr.	

3

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OF

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# GRADING PLAN

REVIEW SET  
NOT FOR CONSTRUCTION



**Project:** Misty Creek Townhomes  
**Meeting Type:** Pre-Workshop  
**Requests:** Rezoning, PUD, Final Plat of Resubdivision  
**Location:** Northwest corner of Laraway Road and 116<sup>th</sup> Ave  
**Applicant:** Flaherty Builders, Inc.  
**Prop. Owner:** Laraway 157 C, LLC  
**Representative:** Michael Flaherty

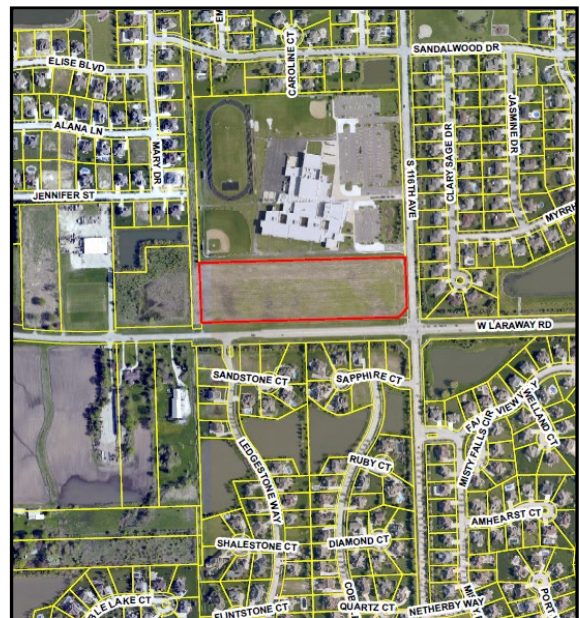
### Site Details

**Lot Size:** 422,532 sq. ft. (9.7 acres)  
**PIN(s):** 19-09-30-300-011-0000  
**Existing Zoning:** E-R  
**Proposed Zoning:** R-4  
**Future Land Use:** General Commercial  
**Buildings:** 15 buildings (duplexes & triplexes)  
**Units:** 78

### Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Undeveloped	General Comm.	E-R
<b>North</b>	Middle School	Public/Institutional	E-R
<b>South</b>	Single Fam. Res.	Single Fam. Detached Res.	R-2
<b>East</b>	Single Fam. Res.	Single Fam. Detached Res.	R-2
<b>West</b>	Undeveloped	General Comm.	B-4

Figure 1. Location Map



### Project Summary

The applicant, Flaherty Builders, Inc., is proposing a 78-unit townhome development for “Misty Creek”, located immediately to the south of Hickory Creek Middle School. The 78 units would be in the form of four (4) triplexes and eleven (11) duplexes. The project would require rezoning the property from E-R (Estate Residential) to R-4 (Attached Single-Family Residential) and obtaining a special use permit to design the site as a PUD. Duplexes and triplexes are permitted uses in the R-4 zone district. Each townhome will be located on a private lot within the development, very similar to the recent Plat of Resubdivision for Lighthouse Pointe Phase 3 (also zoned R-4 with a PUD overlay). A new public road is proposed through the center of the development, connecting to both Laraway Road and 116<sup>th</sup> Ave. PUD developments are intended to “provide a maximum of design freedom by permitting the developer an opportunity to more fully utilize the physical characteristics of the site...” and “should only be employed in instances where a benefit for the community can truly be derived from its use”. As such, the PUD allows the applicant to seek “exceptions” from Zoning Ordinance regulations, instead of actual variance requests. To offset the requested exceptions, the PUD development should offer a higher quality development with amenities for the enjoyment of the residents of the development and perhaps the Village overall. Two versions of the site plan have been submitted for consideration by the Plan Commission, the notable difference being the turning radius design of Misty Creek Drive. Due to the changes that would result from the road design, the applicant is seeking preliminary comments during this pre-workshop, before proceeding to a second workshop and then public hearing.

## **Attachments**

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1. Aerial Photograph (Frankfort Township), prepared by staff
2. Plat of Survey, received January 27, 2022
3. Topographic Map (existing topography)
4. Preliminary Site Plan, Option 1, received March 3, 2022
5. Preliminary Site Plan, Option 2, received March 3, 2022
6. Building Elevation drawings, received February 28, 2022
7. Floorplans of Units, A, B & C, received February 28, 2022
8. Intersection specifications
9. Landscape Plan (generic, does not match site plan of Option 1 or Option 2)
10. PUD Findings of Fact, prepared by applicant
11. Photographs of property, taken by staff March 1, 2022

## **Analysis**

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### Zoning

1. The subject property is currently zoned E-R, Estate Residential. The applicant is proposing a rezoning to R-4 (Attached, Single-Family Residential), with a special use permit to develop the site as a PUD. The R-4 zone district permits duplexes and triplexes by-right. The PUD overlay would allow “exceptions” from the Zoning Ordinance, instead of requesting several variances. These exceptions are intended to be offset by offering compensating benefits as defined in the Zoning Ordinance, including but not limited to, recreational amenities and open space. A list of requested exceptions and compensating benefits have been listed at the end of this report.
2. The Comprehensive Plan illustrates the subject property as “General Commercial”. This designation does not encourage property to be rezoned for residential purposes, as is proposed. However, an argument could be made in favor of a rezoning to R-4. First, the subject property is located adjacent to an existing middle school. If the property were rezoned to B-2, as recommended by the Comprehensive Plan, it would permit dry cleaners, restaurants, tasting rooms and many types of general retail businesses by-right. Other uses, such as gas stations, auto repair, auto sales, car washes and taverns would be permitted if granted a special use permit. These commercial uses could be viewed as less compatible with the existing school. Second, an undeveloped, 4.3-acre property exists immediately to the west of the subject property and is zoned B-4 (Office). Further west of that, at the northeast corner of Laraway Road and Elise Boulevard, is a 2.5-acre undeveloped parcel, zoned B-2 (Community Business). The loss of commercial zoning on the subject property would not result in a complete absence of commercially zoned property in the immediate area. Lastly, considering that the area and intersection near the school can be busy during school hours, the additional traffic added to this intersection as part of a commercial development may be undesirable.

### Site Plan

The applicant has submitted two different site plans to obtain preliminary input from the Plan Commission as part of this pre-workshop. Option 1 illustrates a 90° angle turn on the proposed Misty Creek Lane, with a stop sign at the bend. Option 2 illustrates a flattened-out bend in Misty Creek Lane, which allows a 25-mph speed limit and removes the need for a stop sign. Option 1 is the preferred option, as it would allow for 34 dwelling units as opposed to 31 dwelling units. Both road designs meet the Design Standards for the Village, in terms of road width at 66’ wide and a paved surface of 32’. Misty Creek Lane is proposed to be dedicated as a public road and would be maintained by the Village.

### General Comments:

1. Robinson Engineering has performed a cursory review of the site plan, particularly with respect to the size and location of the detention pond. Depending on whether the design of Misty Creek Lane follows Option



1 or Option 2, the size and shape of the pond may change, hence the goal of requesting preliminary feedback from the Plan Commission.

- The applicant is not requesting any additional density as part of the PUD request. The site is 9.7 gross acres, being reduced to a net area of 6.89 acres with the dedication of Misty Creek Lane right-of-way. The Zoning Ordinance permits 5 dwelling units per acre in the R-4 zone district. As such, 6.89 acres x 5 units per acre = 34.5 units. The applicant is proposing 34 units as part of the PUD for Option 1, and 31 units for Option 2. The PUD will result in smaller individual lots for each dwelling unit, but the overall density would not be increased beyond what would normally be permitted in a non-PUD R-4 development. The PUD is intended to allow for flexibility in design, allowing for common open space, as well as less outdoor land to be maintained by each resident.
- The hatched rear squares attached to each dwelling unit indicate *optional* enclosed sunrooms. Unhatched rectangles attached to the rear of a dwelling units indicates an unenclosed patio only. All of the dwelling units, except for units 1-6 would be permitted an optional sunroom.
- No fences, walls or retaining walls are proposed as part of this development other than for the dog park. A 4' tall, faux wrought iron style black aluminum fencing is proposed to enclose the dog park.

#### Dimensional Table

	<b>R-4</b>	<b>Proposed</b>	<b>Notes</b>
<b>Minimum Lot Size</b>	Min 28,500 sq. ft., or 5,000 sq. ft. per dwelling unit	2,870-5,000 sq. ft	No minimum required for PUD*
<b>Density</b>	5 units/net ac.	5 units/net ac.	34 units proposed
<b>Front Yard Setback (east)</b>	40' min	32'	Exception required
<b>Corner Side Yard Setback (south)</b>	40' min	41'	
<b>Side Yard Setback (north)</b>	15' min	20'	
<b>Rear Yard Setback (west)</b>	40' min	31.3'	Exception required (Option 1)
<b>Building side-to-side separation</b>	30' min	30.2'	
<b>Setback from HWL of detention pond</b>	40' min	15'+/-	Exception required
<b>Building Height</b>	Max 35 ft.	30' 6"	
<b>Lot Coverage</b>	50%	19.7%	
<b>Impervious Lot Coverage</b>	50%	38.4%	

**\*Min lot size:** Lot sizes for units A & B will range in size from approximately 4,264 SF to 4,992 SF. The lot size for Unit C will range from 2,870 SF to 3,360 SF. The minimum lot size for the R-4 zone district is either 28,500 SF per lot, or 5,000 per dwelling unit. Because this is a PUD, smaller lot sizes can be created, as was done for Lighthouse Point Phase 3. No minimum lot area is required for residential PUD's per the Zoning Ordinance.

#### Parking & Loading

- Each dwelling unit is required to provide 2 parking spaces on-site. Every unit will have a 2-car garage, meeting this requirement.
- On-street parking is proposed on the south side of Misty Creek Lane only. Depending on which road design is chosen, this on-street parking could allow for up to 35 cars.
- 3 parking spaces are illustrated near the dog park. One of these spaces should be ADA compliant.

4. Driveways may counted as parking spaces if they are at least 25' long. Most driveways are at least 25' long, contained on individual lots and not obstructing the sidewalk within the right-of-way.
5. 0.5 off-street parking spaces are required for each dwelling unit ( $34 \times 0.5 = 17$  spaces required). In addition, at least 0.5 parking spaces are required for every 1,200 SF of dwelling unit area ( $71,211/1,200 = 59.34 \times 0.5 = 30$  guest spaces). A total of 47 guest parking spaces are required, and can be provided by the on-street parking, the dog park parking lot and on individual driveways at least 25' long.

#### Circulation

1. Both Option 1 and Option 2 for the proposed Misty Creek Lane public road complies with the Village's Design Guidelines. The street layout illustrated on the landscape plan does not comply, but has been included nevertheless to illustrate how the landscape plan will take shape.
2. The Design Standards require public roads to have a right-of-way of at least 66', with pavement at least 32' wide. This requirement has been met for Option 1 and Option 2.
3. A traffic study will be required after the concept plan, during preliminary plan review (page 39 of the Zoning Ordinance).
4. Most of the traffic is anticipated to enter/exit from Laraway Road. The intersection at 116<sup>th</sup> would be right-in, right-out only.
5. Misty Creek Lane would align with Ledgestone Way, on the south side of Laraway Road.
6. Laraway Road will soon be widened by the County; this plan takes this into account.
7. The site plan illustrates that Misty Creek Lane will connect from Laraway Road to 116<sup>th</sup> Ave. There are two reasons for this: The Fire Code forbids a cul-de-sac for a development of this size, and; per the Zoning Ordinance, no more than 30 units may be placed on a dead-end street (page 147).
8. Laraway Road is classified as a "Regional Arterial Road". 116<sup>th</sup> Avenue is classified as a "Major Collector". These designations affect the landscaping (berming) required along each road frontage.

#### Building Elevations and Floorplans

1. Each dwelling unit shall be at least 90% masonry on the first floor and 50% on the second floor. 100% of the first floors are masonry, and the second floors have some brick with also composite shake siding, composite lap siding for variation.
2. Building design in the R-4 zone district shall be original and unique. The applicant is proposing a mix of materials and masonry along the entire first floor of every unit.
3. Each unit should have a separate front and rear exit. Only Unit C has front and rear access. Units A and B have side and rear access only, requiring an exception.
4. Mechanical equipment will be on the ground next to the units, not on rooftops.
5. Each unit will provide a basements at least 80% of the area of the footprint. Although there are no basement floorplans submitted, this requirement is noted on other plans.
6. The minimum square footage for a 2-bedroom unit is 1,200 SF. Units A & B propose 2,028 & 2,133 square feet respectively. The minimum square footage for a 3-bedroom unit is 1,600 SF. Unit C proposes 2,199 square feet.

#### Stormwater & Drainage

1. According to the National Wetlands Inventory maps, there are no wetlands or floodplains on the subject property.
2. A cursory review has been conducted by Robinson Engineering. The detention pond depth and size may change depending on the design of Misty Creek Drive.



## Landscaping

Zoning Ordinance, Page 27: b. *Landscape Screening. In accordance with the regulations of Village of Frankfort Landscape Regulations, screening at the edges of the planned unit development shall be regulated as follows:*

*1. Fences, walls or vegetation screening shall be provided along the edges of the planned unit development where needed to protect residents from undesirable views, lighting, noise or other off-site influences, or to protect occupants of adjoining residential districts from similar adverse influences within the planned unit development.*

### General Comments:

1. There are no trees on the subject property; a tree survey was not requested.
2. Parkway trees (street trees) are required along Laraway Road, 116<sup>th</sup> Avenue and Misty Creek Lane. The Landscape Plan illustrates some landscaping, although a plant count was not conducted as the road design and landscape plan may change.
3. A landscape berm, approximately 3' tall is located between the PUD and the school, located almost entirely on the school property. An agreement exists between the school and the property that this berm remain in perpetuity. Per the Landscape Ordinance, landscape berms are required when two "incompatible uses" abut one another. No definition exists of "incompatible use", although it could be argued that the school and the proposed townhomes are compatible uses, therefore not requiring a landscape berm (although it's already in place). The berm may have been installed when the subject property was designated as commercial on the Future Land Use Map.
4. Arterial Roads (Laraway Road) require a landscaped area at least 25' wide, with plantings and a berm at least 3' tall. A landscape berm, approximately 3' tall, would be located along Laraway Road in front of lots 25-34 and Lot 1, meeting this requirement.
5. Collector Roads (116<sup>th</sup> Ave) require a landscaped area at least 18' wide, with plantings and a berm at least 2.5' tall. A berm is not proposed along 116<sup>th</sup> Avenue, requiring an exception.
6. The proposed dog park area is 10,184 square feet, or about ¼ acre. PUD developments require that open spaces such as this measure at least 10,000 square feet and at least 125' wide in any direction. The proposed dog park measures approximately

## Open Space

Zoning Ordinance, Page 28: *Designation of Recreational Amenities and Permanent Common Open Spaces. At least 20% of the net acreage of PUDs that contain only residential uses, and at least 20% of the net acreage of the residential portion of mixed use PUDs, shall be usable common open space.*

*Usable common open space shall be defined as follows:*

*Active or Passive. Usable common open space may include active open space and/or passive open space, as defined in Article 12.*

*Parcel Size: Each parcel of common open space used for active recreation shall be at least 10,000 square feet with a minimum width of 125 feet. For trail purposes the minimum open space width shall be 20 (twenty) feet.*

At least 20% of the development **shall be usable common open space.**

1. The open space plan shows some potential open space, but unsure if it's 20%.
2. The walking path can be counted if it's 20' wide, and most of it is except behind Lot 6.
3. The Zoning Ordinance actually requires a "tot lot". However, the applicant is proposing a dog park instead, to better fit the anticipated demographic.

## Other

1. The Fire District has reviewed the proposed site plan and does not have any additional comments at this time.

## ***Exceptions and Compensating Benefits (PUD)*** ---

### Exceptions (normally variance requests)

1. A 40' front yard setback is required from 116<sup>th</sup> Avenue, whereas 32' is proposed.
2. A 40' rear yard setback is required from the west property line, whereas 31.3' is proposed.
3. A 40' setback is required from the high water level (HWL) of the detention pond, whereas approximately 15' is proposed from Lot 25.
4. A 2.5' tall landscape berm required along 116<sup>th</sup> Avenue frontage, whereas none is proposed.
5. Front and rear access not provided on Units A & B.
6. A tot lot is required, whereas a dog park is proposed.

### "Compensating Benefits" (to offset the exceptions)

1. A ¼ acre dog park is proposed.
2. A 20' wide walking trail is proposed along west and north property lines, with a path measuring approximately 5' wide. This path is believed to be paved.
3. A 100% masonry building façade is proposed, whereas 90% is required.

## ***Special Use Request (PUD)*** ---

*Zoning Ordinance, Page 26: Modifications in zoning, subdivision, and other applicable regulations are privileges and will be considered by the Village only in direct response to the tangible benefits received from the planned unit development to the Village or the neighborhood in which it would be located. These benefits shall be in the form of exceptional amenities; outstanding environmental, landscape, architectural or site design; or the conservation of special man-made or natural features of the site.*

The following findings of fact are used to judge the merit of a special use permit request.

### **Findings of Fact:**

1. No special use shall be recommended by the Plan Commission, unless such Commission shall find:
2. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
3. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
4. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
5. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already

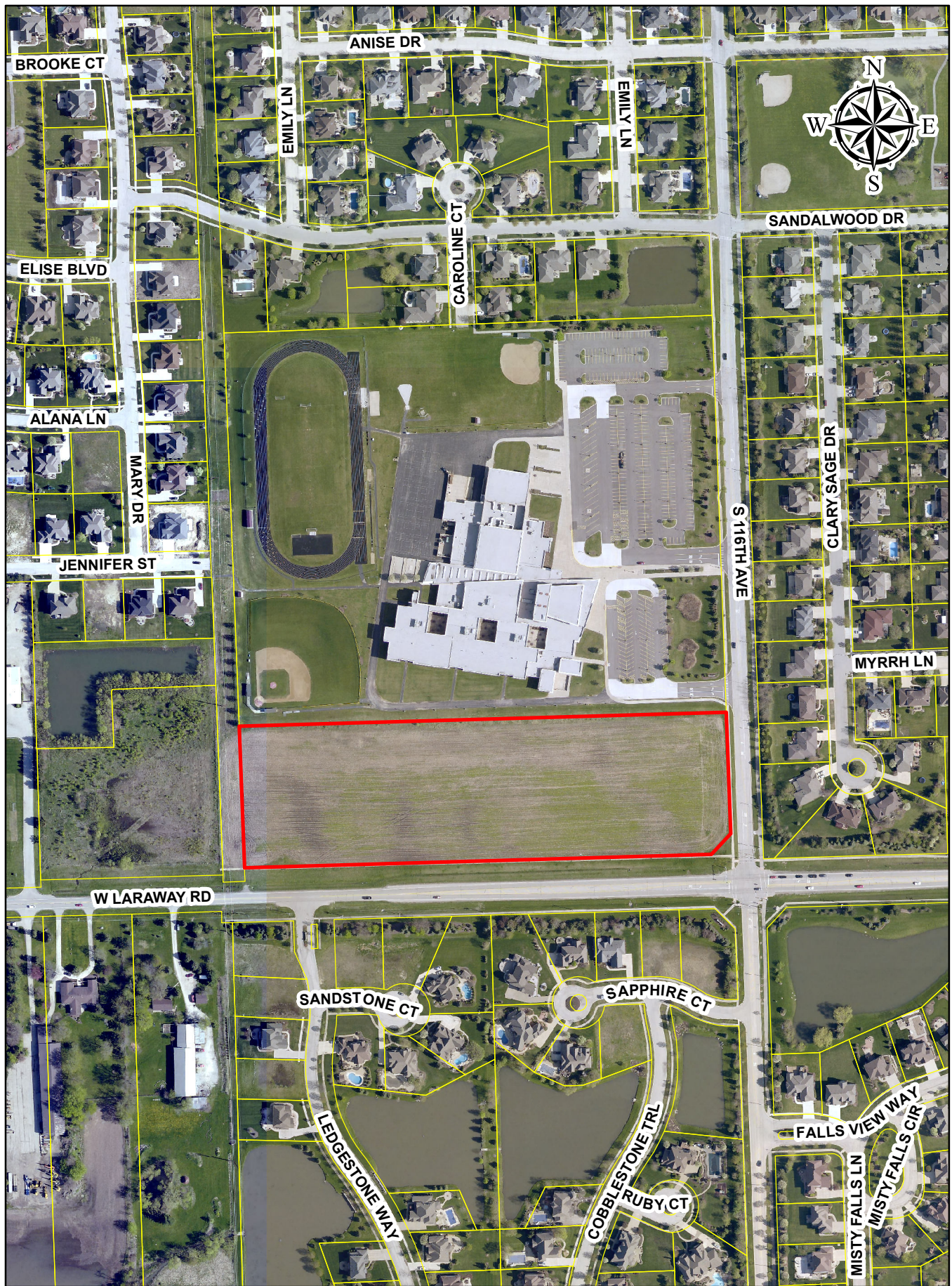


constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

6. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
7. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
8. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.



# Misty Creek Townhomes



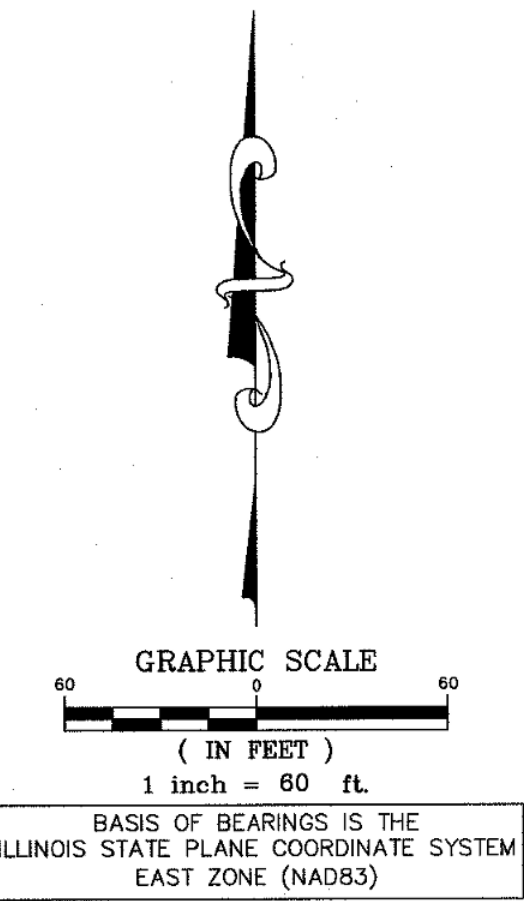
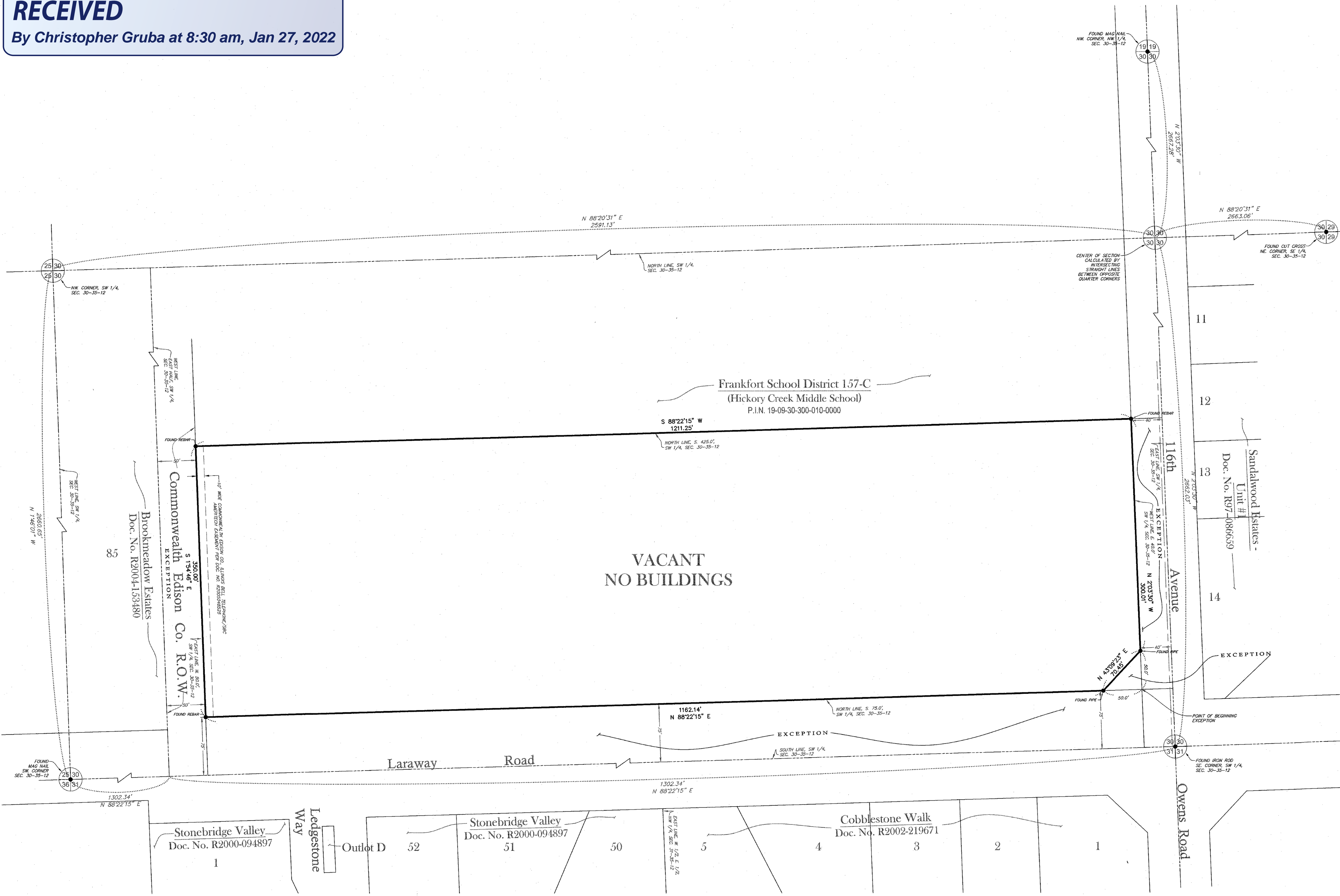
0 200 400 800 Feet



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By Christopher Gruba at 8:30 am, Jan 27, 2022

PLAT OF SURVEY

LEGAL DESCRIPTION  
THE SOUTH 425 FEET OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THE WEST 50 FEET, THE SOUTH 75 FEET, THE EAST 40 FEET AND ALSO EXCEPTING THAT PART THEREOF DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF SAID SOUTH 75 FEET AND THE WEST LINE OF SAID EAST 40 FEET; THENCE NORTH 00 DEGREES 09 MINUTES 38 SECONDS WEST, ALONG THE WEST LINE OF SAID EAST 40 FEET, A DISTANCE OF 50.00 FEET; THENCE SOUTH 45 DEGREES 03 MINUTES 23 SECONDS WEST 70.44 FEET TO A POINT ON THE NORTH LINE OF SAID SOUTH 75 FEET THAT IS 50.00 FEET WESTERLY OF THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 43 MINUTES 36 SECONDS EAST, ALONG THE NORTH LINE OF SAID SOUTH 75 FEET, A DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING, ALL IN WILL COUNTY, ILLINOIS.



- LEGEND
- meas. MEASURED
  - rec. RECORDED
  - calc. CALCULATED
  - FOUND SURVEY MONUMENT
  - SET 5/8" REBAR UNLESS OTHERWISE NOTED
  - SUBJECT BOUNDARY LINE
  - ADJACENT BOUNDARY LINE
  - SECTION LINE
  - EASEMENT LINE

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

ANY DISCREPANCY IN MEASUREMENT DISCOVERED UPON THE GROUND SHOULD BE PROMPTLY REPORTED TO THE SURVEYOR FOR EXPLANATION OR CORRECTION.  
FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR ABSTRACT, DEED, CONTRACTS AND ZONING ORDINANCES.

STATE OF ILLINOIS )  
COUNTY OF WILL )  
RUETTIGER, TONELLI & ASSOCIATES, INC., ILLINOIS PROFESSIONAL DESIGN FIRM No. 184-001251, HEREBY CERTIFIES THAT IT HAS SURVEYED THE PROPERTY DESCRIBED IN THE ABOVE CAPTION AND AS SHOWN ON THE ANNEXED PLAT, WHICH IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.  
SURVEY FIELD WORK COMPLETED 8-17-2021  
GIVEN UNDER MY HAND AND SEAL THIS 11TH DAY OF SEPTEMBER, 2022  
BY [Signature]  
ILLINOIS PROFESSIONAL LAND SURVEYOR & CIVIL ENGINEER No. 184-001251  
TO ENSURE AUTHORITY OF THIS DRAWING, IT MUST BEAR THE SURVEYOR'S SEAL OR OF THE DESIGN FIRM OR PROFESSIONAL LICENSEE WHO PREPARED THIS DRAWING.

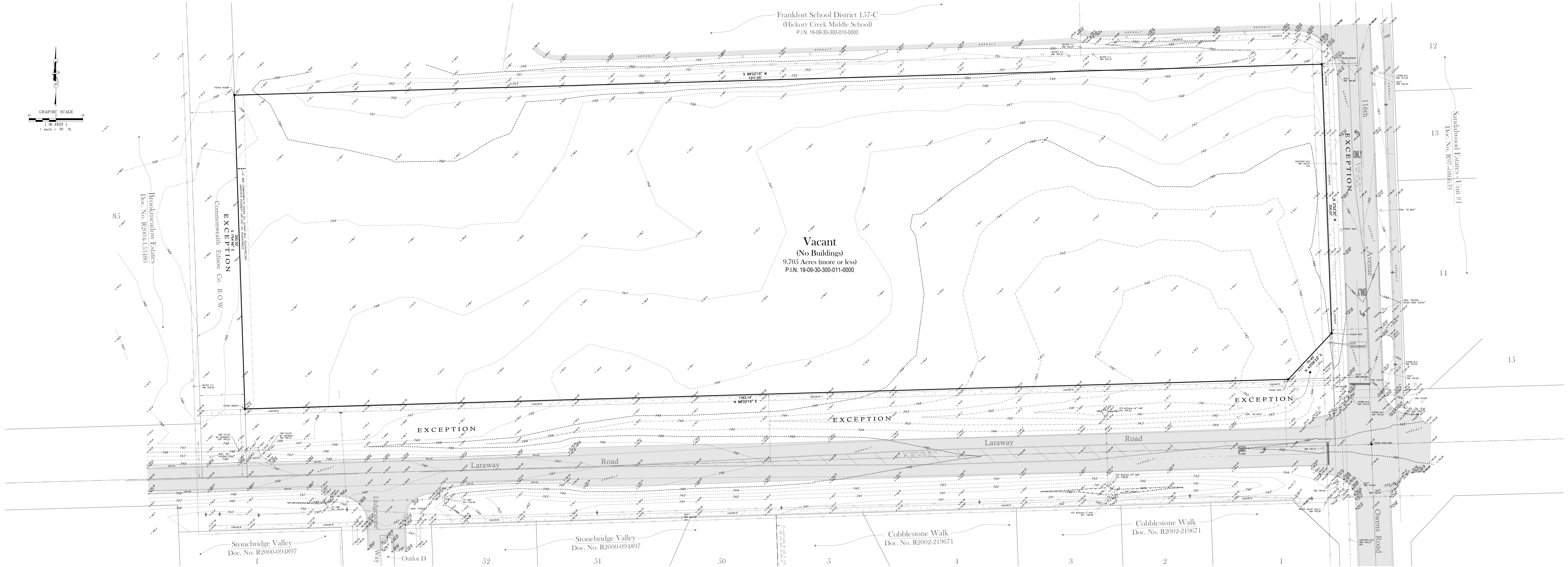
LOT AREA = 9.707 ACRES more or less

REVISIONS			
No.	DATE	DESCRIPTION	BY

<b>RT &amp; A</b> <b>Ruettiger, Tonelli &amp; Associates, Inc.</b> Surveyors • Engineers • Planners • Landscape Architects • GIS Consultants 129 CAPISTA DRIVE • SHOREWOOD, ILLINOIS 60404 PH. (815) 744-6600 FAX (815) 744-0101 website: www.ruettigertonnelli.com			
DATE: 1-10-2022	SCALE: 1" = 60'	DRAWN BY: ech	CHECKED BY: DJZ
PREPARED FOR: FLAHERTY BUILDERS 9485 BORNET DRIVE MOKENA, ILLINOIS 60448	FIELD BOOK: 20201513 B1 PAGE: 1-3 DRAWING No.: 320-1513-LS		
DRAWING TITLE: PLAT OF SURVEY			



EXISTING TOPOGRAPHY

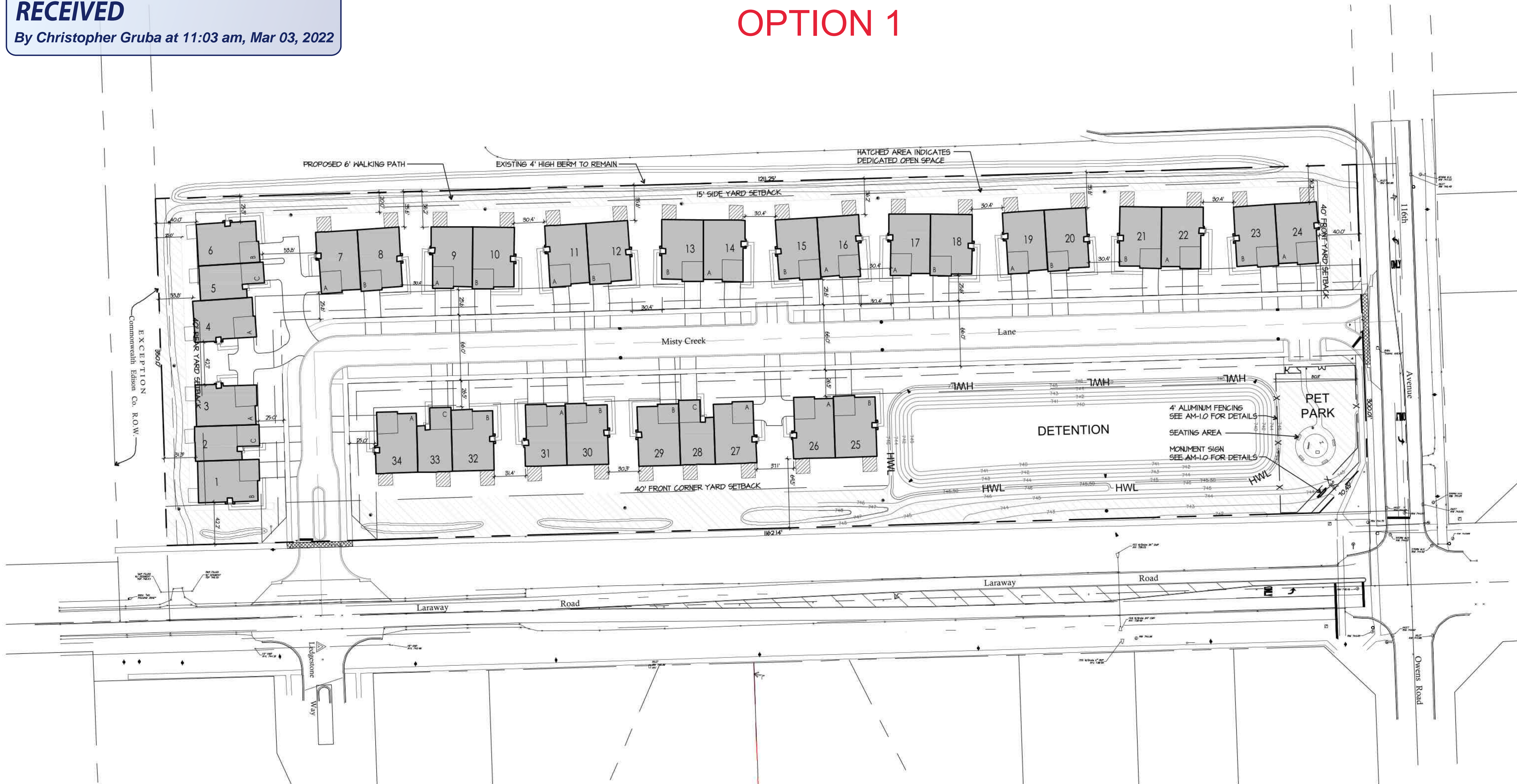




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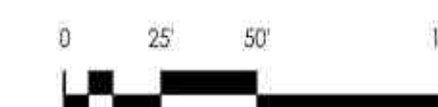
# OPTION 1



## SITE DATA BASED ON R-4 ZONING

	PROPOSED	REQUIRED
TOTAL LAND AREA	422,149.8 SF 9.705 AC	170,000 SF (5,000 SF PER UNIT)
NET BUILDABLE AREA	300,384.23 SF 6.89 AC	
UNIT COUNT	34	
DENSITY (OVERALL)	3.5 DU/AC	
DENSITY (NET)	4.43 DU/AC	
YARDS		5 DU/NET BUILDABLE ACRE
FRONT	40 FEET	40 FEET
CORNER SIDE	43 FEET	40 FEET
SIDE	25 FEET	15 FEET
REAR	40 FEET	40 FEET
PARKING		
INSIDE	68 CARS	
OUTSIDE	71 CARS	
TOTAL	145 CARS 4.26 CARS/UNIT	25 CARS/UNIT
BUILDING COVERAGE	83,367.18 SF 19.7%	
GREEN SPACE	260,212.28 SF 61.5%	
IMPERVIOUS COVERAGE	162,537.52 SF 38.4%	50%
REAR YARD AREA	11,805.76	
REAR YARD COVERAGE	2,488.55 21.1%	30%
DEDICATED OPEN SPACE	71,481.49 SF 25.8%	
DOG PARK AREA	10,184 SF	
BUILDING HEIGHT	30'-6"	35'-0"
FAR	0.20	0.25

INDICATES OPTIONAL SUNROOM OR COVERED PATIO LOCATION



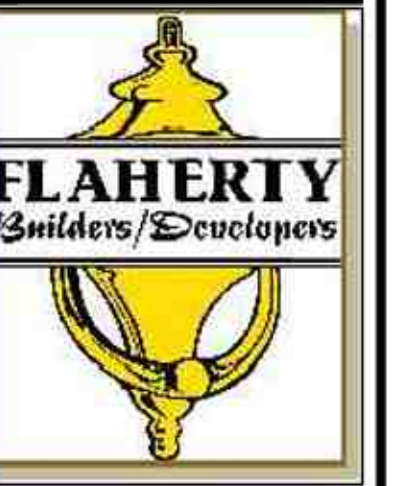
SCALE: 1"=50'-0"

PRELIMINARY SITE PLAN

1"=50'-0"



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LANDSCAPE ARCHITECTURE  
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ORLAND PARK, ILLINOIS 60467  
(708) 799-4400  
WWW.LINDENGROUPINC.COM



PROPOSED TOWNHOMES AT  
*Misty Creek*  
LARAWAY & 116TH  
Frankfort, Illinois

DATE	DESCRIPTION
12-04-2020	DUPLEX REVISIONS
01-14-2021	OWNER REVISIONS
09-30-2021	OWNER REVISIONS
10-12-2021	OWNER REVISIONS
11-03-2021	OWNER REVISIONS
11-12-2021	PUD PACKAGE
11-14-2021	REVISED SITE PLAN
2-10-2022	66' ROW RESUBMITTAL
2-21-2022	90 DEG INTERSECTION

2020-0217  
PROJECT NUMBER

2-21-2022  
DATE

SF  
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SHEET NAME

S-1.0

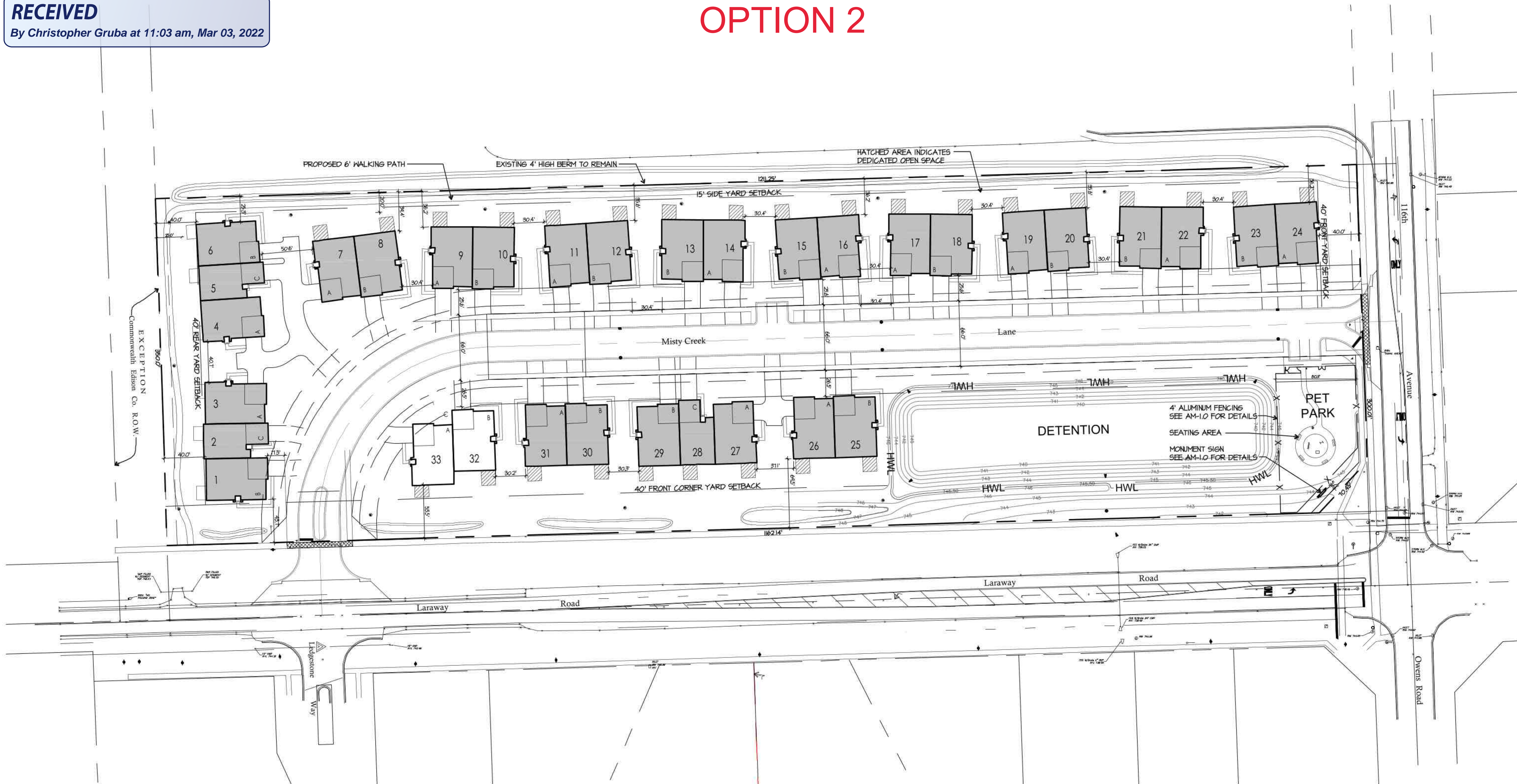
SHEET



RECEIVED

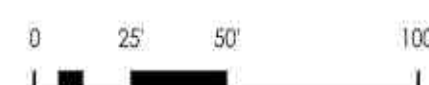
By Christopher Gruba at 11:03 am, Mar 03, 2022

# OPTION 2



SITE DATA BASED ON R-4 ZONING			
TOTAL LAND AREA	422,149.8 SF	9.705 AC	REQUIRED 170,000 SF (5,000 SF PER UNIT)
NET BUILDABLE AREA	300,384.23 SF	6.89 AC	
UNIT COUNT	34		
DENSITY (OVERALL)	3.5 DU/AC		
DENSITY (NET)	4.43 DU/AC		
YARDS			5 DU/NET BUILDABLE ACRE
FRONT	40 FEET		40 FEET
CORNER SIDE	43 FEET		40 FEET
SIDE	25 FEET		15 FEET
REAR	40 FEET		40 FEET
PARKING			
INSIDE	68 CARS		
OUTSIDE	71 CARS		
TOTAL	145 CARS	4.26 CARS/UNIT	2.5 CARS/UNIT
BUILDING COVERAGE	83,367.18 SF	19.7%	
GREEN SPACE	260,212.28 SF	61.5%	
IMPERVIOUS COVERAGE	162,537.52 SF	38.4%	50%
REAR YARD AREA	11,805.76		
REAR YARD COVERAGE	2,488.55	21.1%	30%
DEDICATED OPEN SPACE	71,481.49 SF	25.8%	
DOG PARK AREA	10,184 SF		
BUILDING HEIGHT	30'-6"		35'-0"
FAR	0.20		0.25

INDICATES OPTIONAL SUNROOM OR COVERED PATIO LOCATION



SCALE: 1"=50'-0"

PRELIMINARY SITE PLAN



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PROPOSED TOWNHOMES AT  
*Misty Creek*  
LARAWAY & 116TH  
Frankfort, Illinois

DATE	DESCRIPTION
12-04-2020	DATE
01-14-2021	DUPLEX REVISIONS
09-30-2021	OWNER REVISIONS
10-12-2021	OWNER REVISIONS
11-03-2021	OWNER REVISIONS
11-12-2021	PUD PACKAGE
1-14-2022	REVISED SITE PLAN
2-10-2022	66' ROW RESUBMITTAL

2020-0217

2-21-2022

DATE

SF

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SHEET NAME

S-1.0

SHEET





## Frankfort, Illinois

ELEVATION KEY NOTES	
1	ASPHALT SHINGLES
2	1X6 ALUMINUM WRAPPED FASCIA
3	CLAD CASHEM WINDOWS
4	BRICK VENEER
5	STONE VENEER
6	COMPOSITE WINDOW & CORNER TRIM
7	PRE-FINISHED ALUMINUM GUTTER OR 1X6 ALUMINUM WRAPPED FASCIA
8	COMPOSITE LAP SIDING W/6" EXPOSURE
9	COMPOSITE SHAKE SIDING
10	PRE-FINISHED INSULATED OVERHEAD DOOR
11	WALL-MOUNTED LIGHT FIXTURE
12	INSULATED ENTRY DOOR WITH SIDE-LITE



PROPOSED TOWNHOMES AT  
*Misty Creek*  
LARAWAY & 116TH  
Frankfort, Illinois

DATE	DRAWN	DESCRIPTION
04-2020	SF	DUPLEX REVISIONS
04-2021	SF	OWNER REVISIONS
05-2021	SF	OWNER REVISIONS
02-2021	SF	OWNER REVISIONS
03-2021	SF	OWNER REVISIONS
03-2021	SF	OWNER REVISIONS
02-2021	SF	PUD PACKAGE

2020-0217

PROJECT NUMBER

11-12-2021

DATE \_\_\_\_\_

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BUREAU OF PLANT INDUSTRY  
WASHINGTON, D. C.

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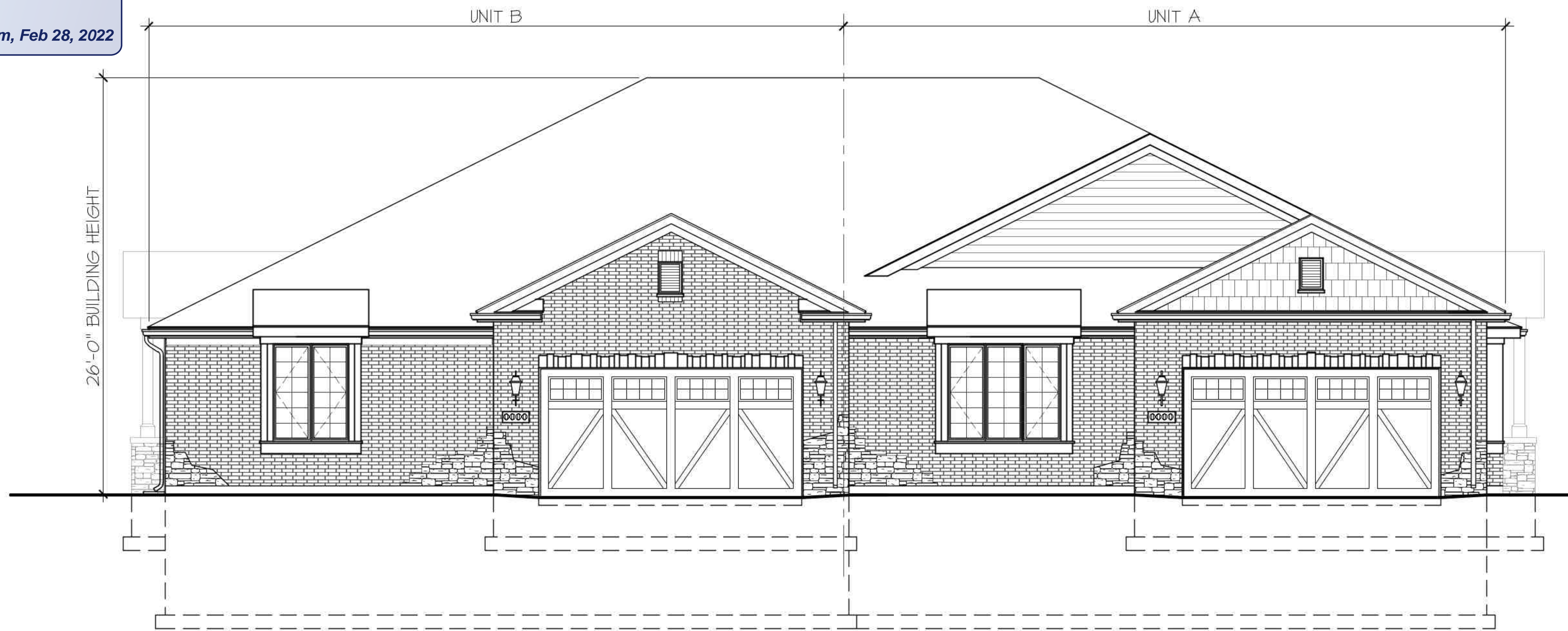
11

SHEET

100



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FRONT ELEVATION 2-UNIT  
1/4"=1'-0"



FRONT ELEVATION 3-UNIT  
1/4"=1'-0"



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PROPOSED TOWNHOMES AT  
*Misty Creek*  
LARAWAY & 116TH  
Frankfort, Illinois

DATE	DRAWN	DESCRIPTION
12-04-2020	SF	DUPLEX REVISIONS
01-14-2021	SF	OWNER REVISIONS
09-30-2021	SF	OWNER REVISIONS
10-12-2021	SF	OWNER REVISIONS
11-03-2021	SF	OWNER REVISIONS
11-12-2021	SF	PUD PACKAGE
1-14-2022	SF	REVISED SITE PLAN
2-10-2022	SF	66' ROW RESUBMITTAL
2-28-2022	SF	COORDINATION OF REVIEW COMMENTS

2020-0217

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SHEET NAME

A-4.0

SHEET





PROPOSED TOWNHOMES AT  
*Misty Creek*  
LARAWAY & 116TH  
Frankfort, Illinois

DESCRIPTION	NO. OF REVISIONS
DUPLEX REVISIONS	1
OWNER REVISIONS	1
OWNER REVISIONS	1
OWNERS REVISIONS	1
OWNERS REVISIONS	1
PUD PACKAGE	1

DATE	DR
2-04-2020	SF
11-14-2021	SF
1-30-2021	SF
0-12-2021	SF
1-03-2021	SF
1-12-2021	SF

2020-0217

PROJECT NUMBER

11-12-2021

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SHEET

ON FILE



**FRONT ELEVATION - UNITS "A-C-B"**

 $3/16" = 1'-0"$ 

REAR ELEVATION - UNITS "A-C-B" - SHOWN WITH OPTIONAL SUNROOM/COVERED PORCH

 $3/16 = 1.5$ 

SHEET NAME

## A-4.1

SHEET





*Misty Creek*  
LARAWAY & 116TH  
Frankfort, Illinois

DATE	DRAWN	DESCRIPTION
12-04-2020	\$F	DUPLEX REVISIONS
01-14-2021	\$F	OWNER REVISIONS
03-30-2021	\$F	OWNER REVISIONS
05-12-2021	\$F	OWNER REVISIONS
01-03-2021	\$F	OWNER REVISIONS
11-12-2021	\$F	PUD PACKAGE

2020-0217

CT NUMBER \_\_\_\_\_

1-16-2021

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BY: \_\_\_\_\_ FINAL REVIEW: \_\_\_\_\_

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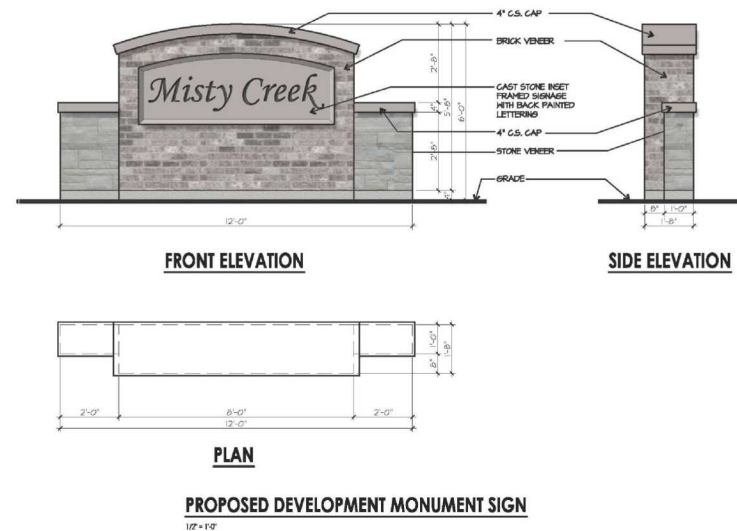
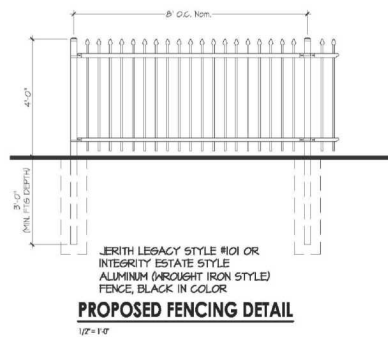
M10

M. I. D.

# V-10

## THE FUTURE

---







*Misty Creek*

**LINDENGROUP**  
ARCHITECTS

**FLAHERTY**  
*Builders/Developers*

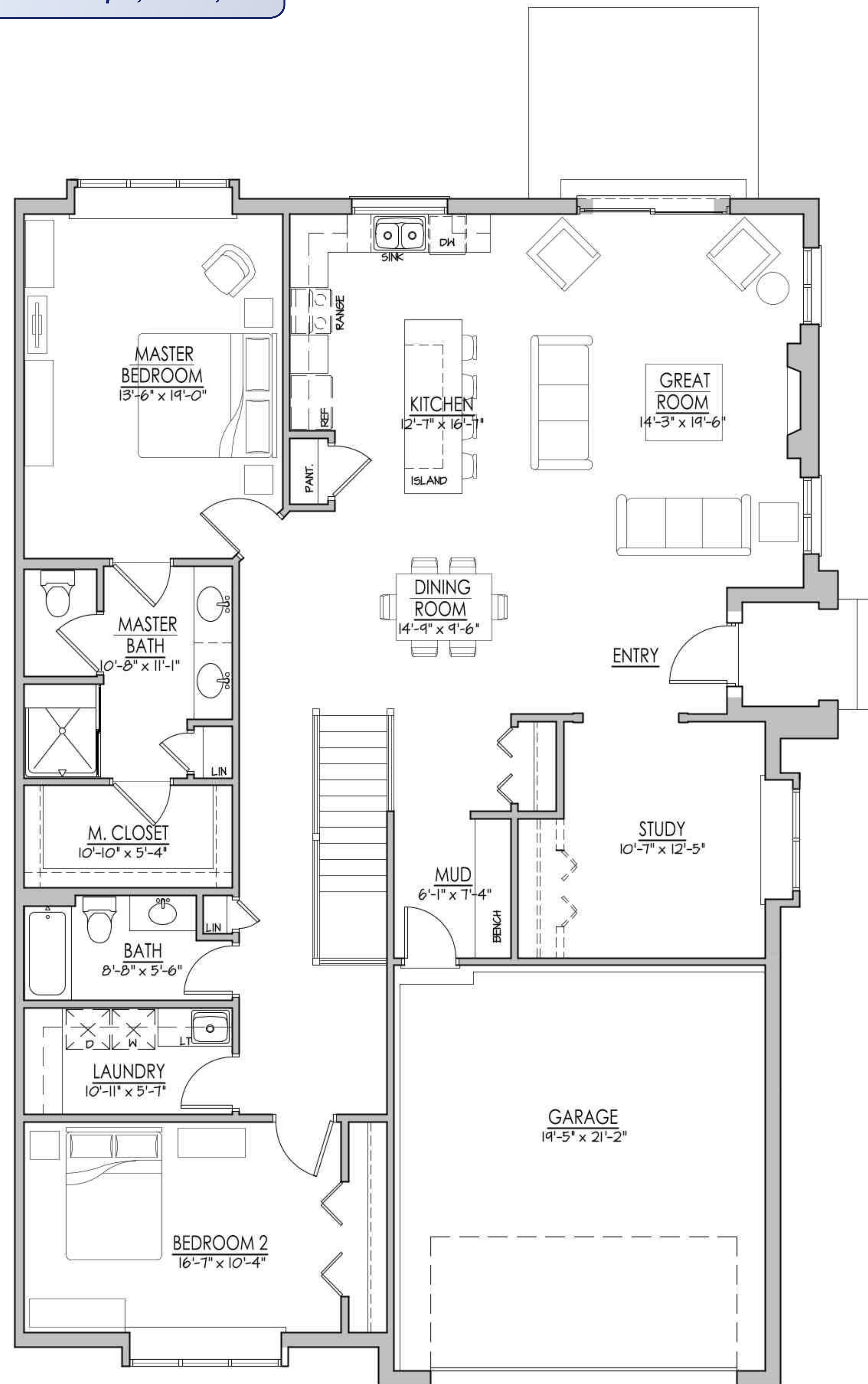
## MATERIAL BOARD

REVISION DATE: 11-12-2021  
PROJECT NO.: 2020-0217

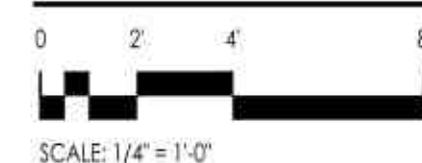


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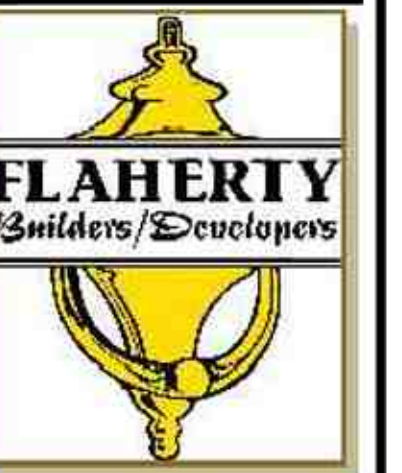
2,028.0 SQ. FT.  
UNIT A - FLOOR PLAN



NOTE: BASEMENT AREA WILL BE A MINIMUM  
OF 80% OF THE BUILDING FOOTPRINT



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PROPOSED TOWNHOMES AT  
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Frankfort, Illinois

DATE	DESCRIPTION
12-04-2020	DUPLEX REVISIONS
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10-12-2021	OWNER REVISIONS
11-03-2021	OWNER REVISIONS
11-12-2021	PUD PACKAGE
1-14-2022	REVISED SITE PLAN
2-10-2022	66' ROW RESUBMITTAL
2-28-2022	COORDINATION OF REVIEW COMMENTS

2020-0217  
PROJECT NUMBER

2-28-2022  
DATE

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UNIT - A

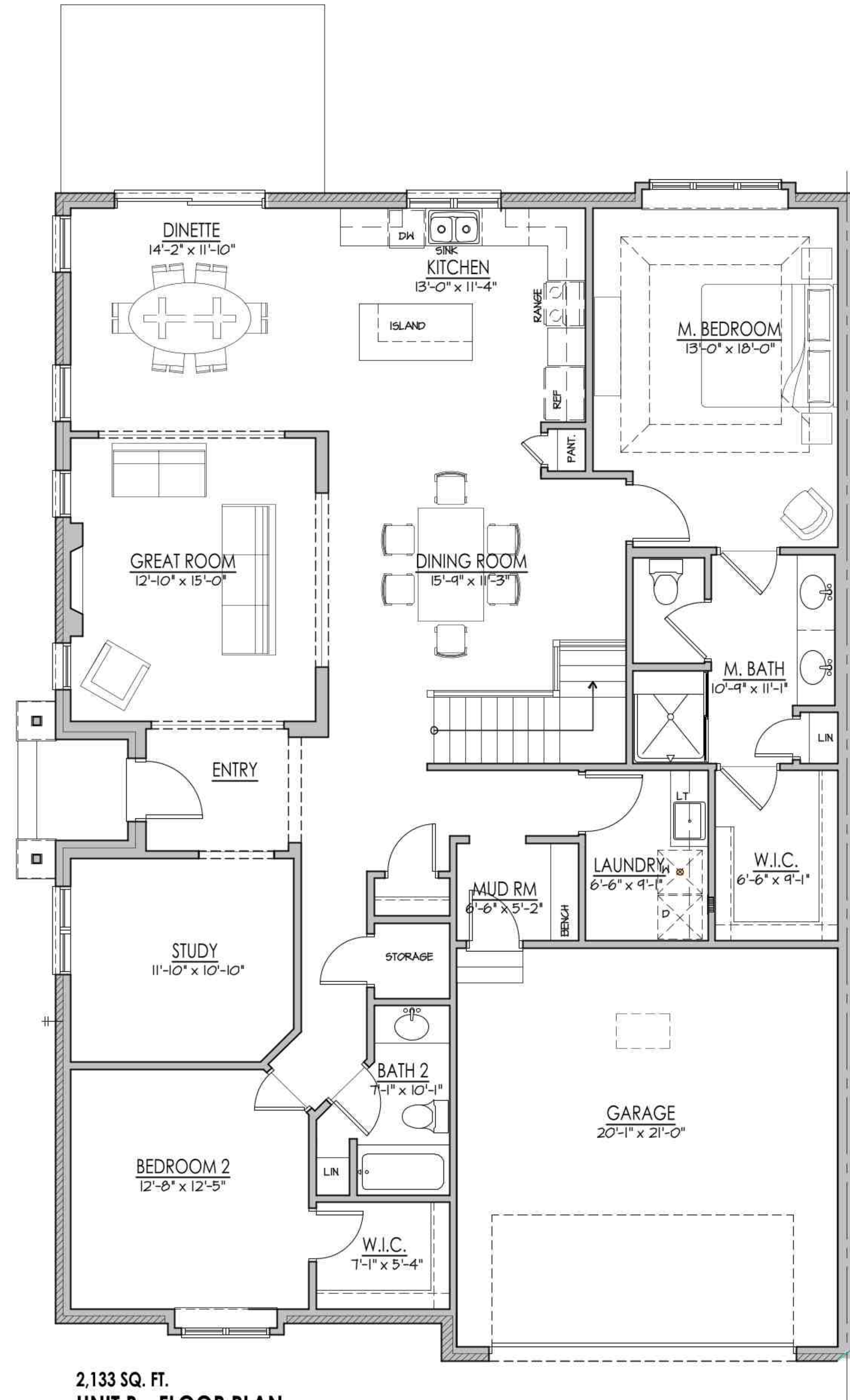
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A-1.0  
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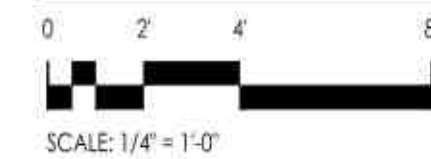


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2,133 SQ. FT.  
UNIT B - FLOOR PLAN



NOTE: BASEMENT AREA WILL BE A MINIMUM  
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PROPOSED TOWNHOMES AT  
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LARAWAY & 116TH  
Frankfort, Illinois

DATE	DRAWN	DESCRIPTION
12-04-2020	SF	DUPLEX REVISIONS
01-14-2021	SF	OWNER REVISIONS
09-30-2021	SF	OWNER REVISIONS
10-12-2021	SF	OWNER REVISIONS
11-03-2021	SF	OWNER REVISIONS
11-12-2021	SF	PUD PACKAGE
1-14-2022	SF	REVISED SITE PLAN
2-10-2022	SF	66' ROW RESUBMITTAL
2-28-2022	SF	COORDINATION OF REVIEW COMMENTS

2020-0217  
PROJECT NUMBER

2-28-2022  
DATE

SF  
DRAWN BY

FINAL REVIEW

UNIT - B

SHEET NAME

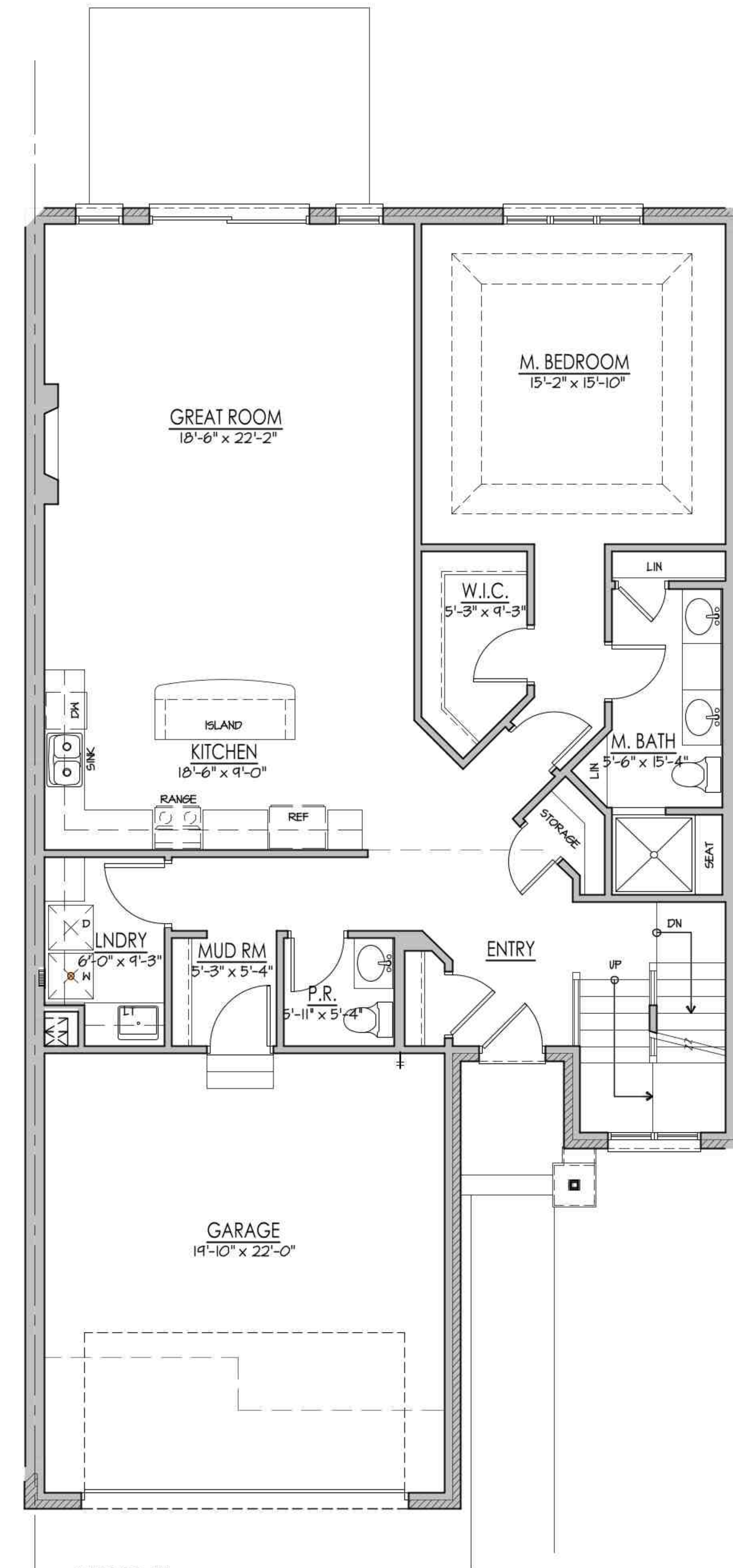
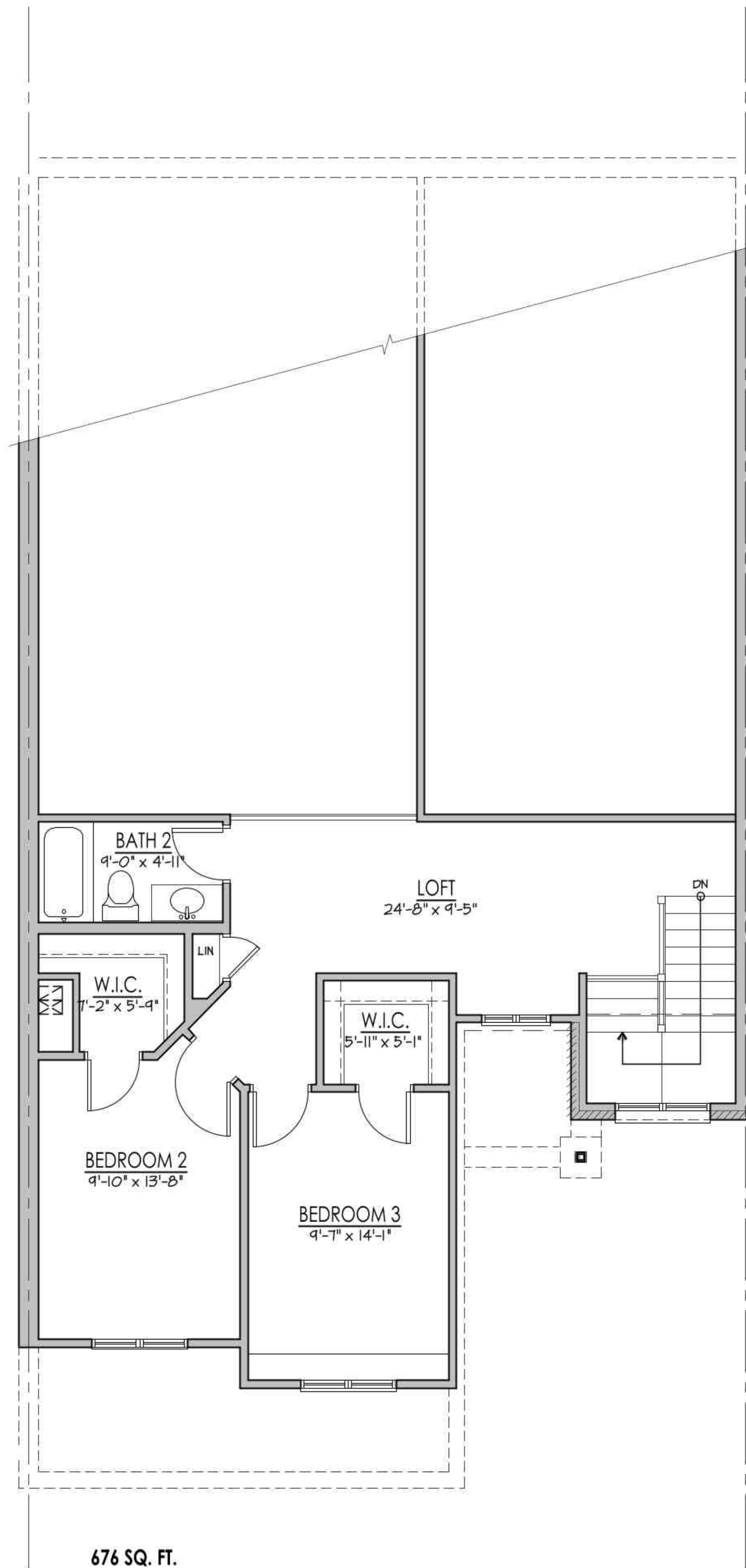
B-1.0

SHEET



RECEIVED

By Christopher Gruba at 2:36 pm, Feb 28, 2022



NOTE: BASEMENT AREA WILL BE A MINIMUM  
OF 80% OF THE BUILDING FOOTPRINT



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PROPOSED TOWNHOMES AT  
*Misty Creek*  
LARAWAY & 116TH  
Frankfort, Illinois

DATE	DESCRIPTION
12-04-2020	DATE
01-14-2021	DUPLEX REVISIONS
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11-03-2021	OWNER REVISIONS
11-12-2021	OWNER REVISIONS
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2-10-2022	REVISED SITE PLAN
2-28-2022	66' ROW RESUBMITTAL
	COORDINATION OF REVIEW COMMENTS

2020-0217

PROJECT NUMBER

2-28-2022

DATE

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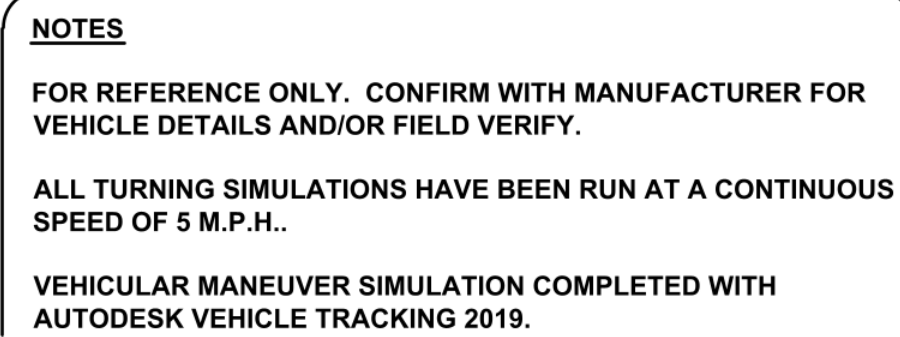
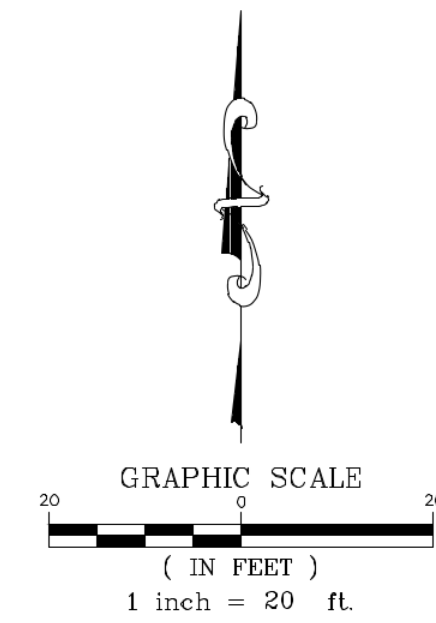
UNIT - C

SHEET NAME

C-1.0

SHEET





DRAWING No. 320-1513-E01 Vehicle Turning
SCALE: AS NOTED
SHEET 1 OF 1



LANDSCAPE PLAN FOR:

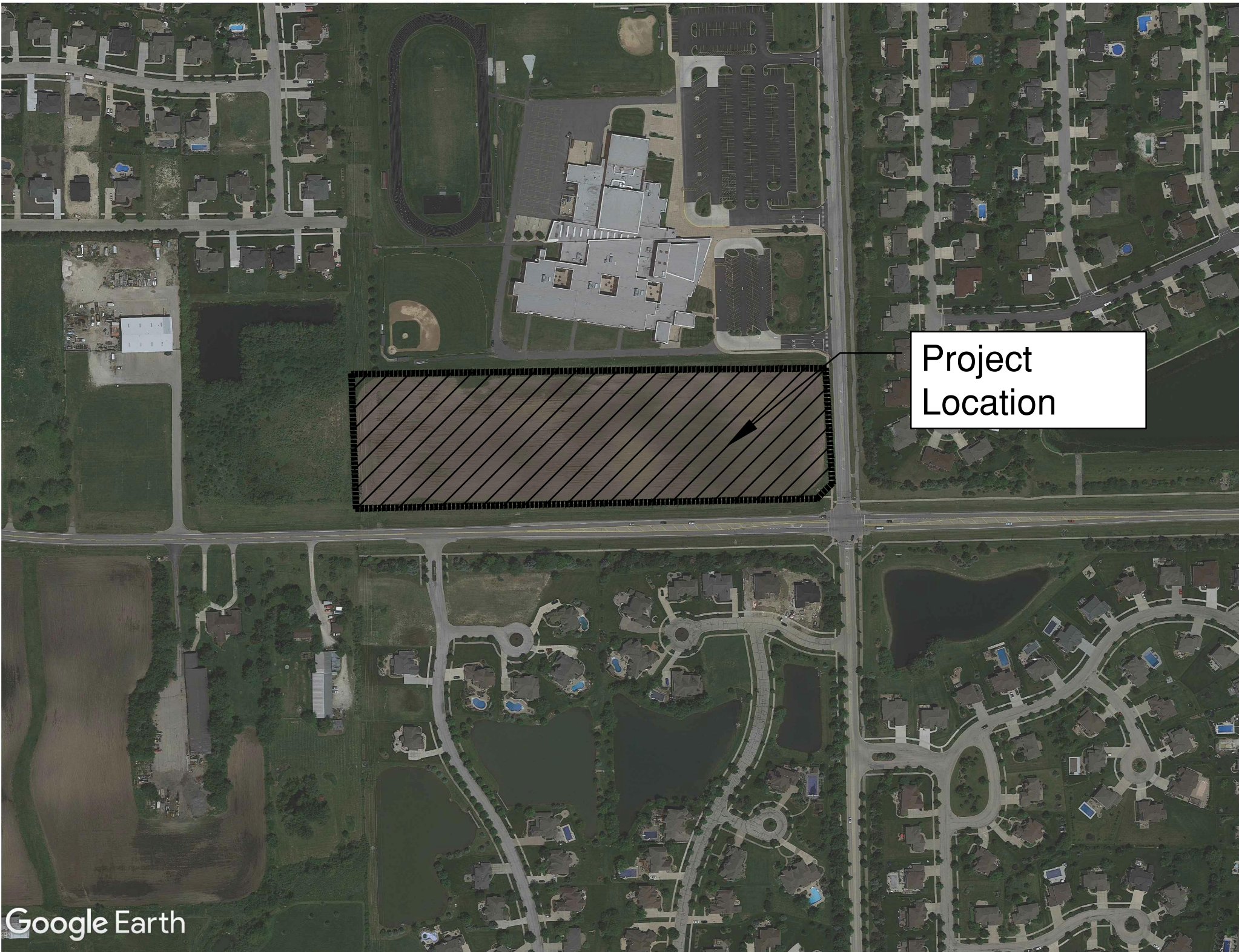
# MISTY CREEK

Frankfort, IL

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## Site Location Map



Architect:  
Linden Group Architects  
10100 Orland Parkway, Suite 110  
Orland Park, IL 60467  
708.799.4400

Engineer:  
Ruettiger & Tonelli, Inc  
129 Capista Drive  
Shorewood, IL 60404  
815.744.6600

Landscape Architect:  
Metz & Company  
826 E. Maple Street  
Lombard, IL 60148  
630.561.3903

## SHEET INDEX

SHEET	DESCRIPTION
CS-1.0	COVER SHEET
L-1.0	LANDSCAPE PLAN
L-2.0	LANDSCAPE PLAN
L-3.0	LANDSCAPE PLAN
L-4.0	PET PARK EQUIPMENT & DETAILS
L-5.0	NATIVE LANDSCAPE SPECIFICATIONS
L-6.0	LANDSCAPE SPECIFICATIONS

### LANDSCAPE CALCULATIONS

DOUBLE FRONTAGE - 637 FEET  
Landscape Area Adjacent to an Arterial ROW  
Required: 128 Plant Units (PU) per 100 Feet  
637 divided by 100 = 6.4  
Required PU: 128 x 6.4 = 819 PU

Plants Material	Qty.	PU	Total
Overstory Tree	16	10	160
Understory Tree	21	5	105
10' Evergreen Tree	30	8	240
6' Evergreen Tree	22	5	110
Large Shrub	58	2	116
Small Shrub	90	1	90
TOTAL			821

STORMWATER DETENTION - 960 FEET  
Required: 20 Plant Units (PU) per 100 Feet  
960 divided by 100 = 9.6  
Required PU: 20 x 9.6 = 192 PU

Plants Material	Qty.	PU	Total
Overstory Tree	13	10	130
6' Evergreen Tree	17	5	85
Large Shrub	15	2	30
TOTAL			245

EAST PROPERTY LINE (Front Yard) - 350 FEET  
Front Yard Area: 350 x 40 = 14,000 Sq Ft  
Required: 10 Plant Units (PU) per 1,500 Sq Ft  
14,000 divided by 1,500 = 9.3  
Required PU: 10 x 9.3 = 93 PU

Plants Material	Qty.	PU	Total
Overstory Tree	6	10	60
6' Evergreen Tree	4	5	20
TOTAL			100

NORTH PROPERTY LINE (Side Yard) - 1211.3 FEET  
Front Yard Area: 1211 x 25 = 30,275 Sq Ft  
Required: 10 Plant Units (PU) per 1,500 Sq Ft  
30,275 divided by 1,500 = 20.2  
Required PU: 10 x 20.2 = 202 PU

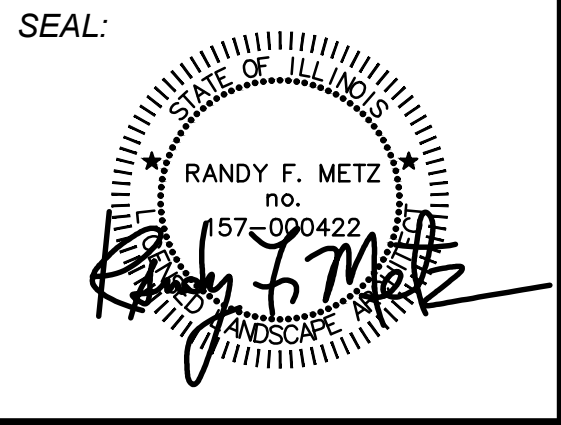
Plants Material	Qty.	PU	Total
Overstory Tree	17	10	170
Understory Tree	8	5	40
6' Evergreen Tree	22	5	110
TOTAL			320

WEST PROPERTY LINE (Rear Yard) - 350 FEET  
Front Yard Area: 350 x 30 = 10,500 Sq Ft  
Required: 5 Plant Units (PU) per 1,500 Sq Ft  
10,500 divided by 1,500 = 7.0  
Required PU: 5 x 7.0 = 35 PU

Plants Material	Qty.	PU	Total
Overstory Tree	3	10	30
6' Evergreen Tree	6	5	30
TOTAL			60

REVISIONS	

MISTY CREEK  
116th & LARAWAY ROAD  
FRANKFORT, ILLINOIS



TITLE  
LANDSCAPE  
PLAN

PROJECT NO.:  
22-184  
DATE: 01-14-2022  
SCALE: 1"=20'

SHEET  
L-1.0

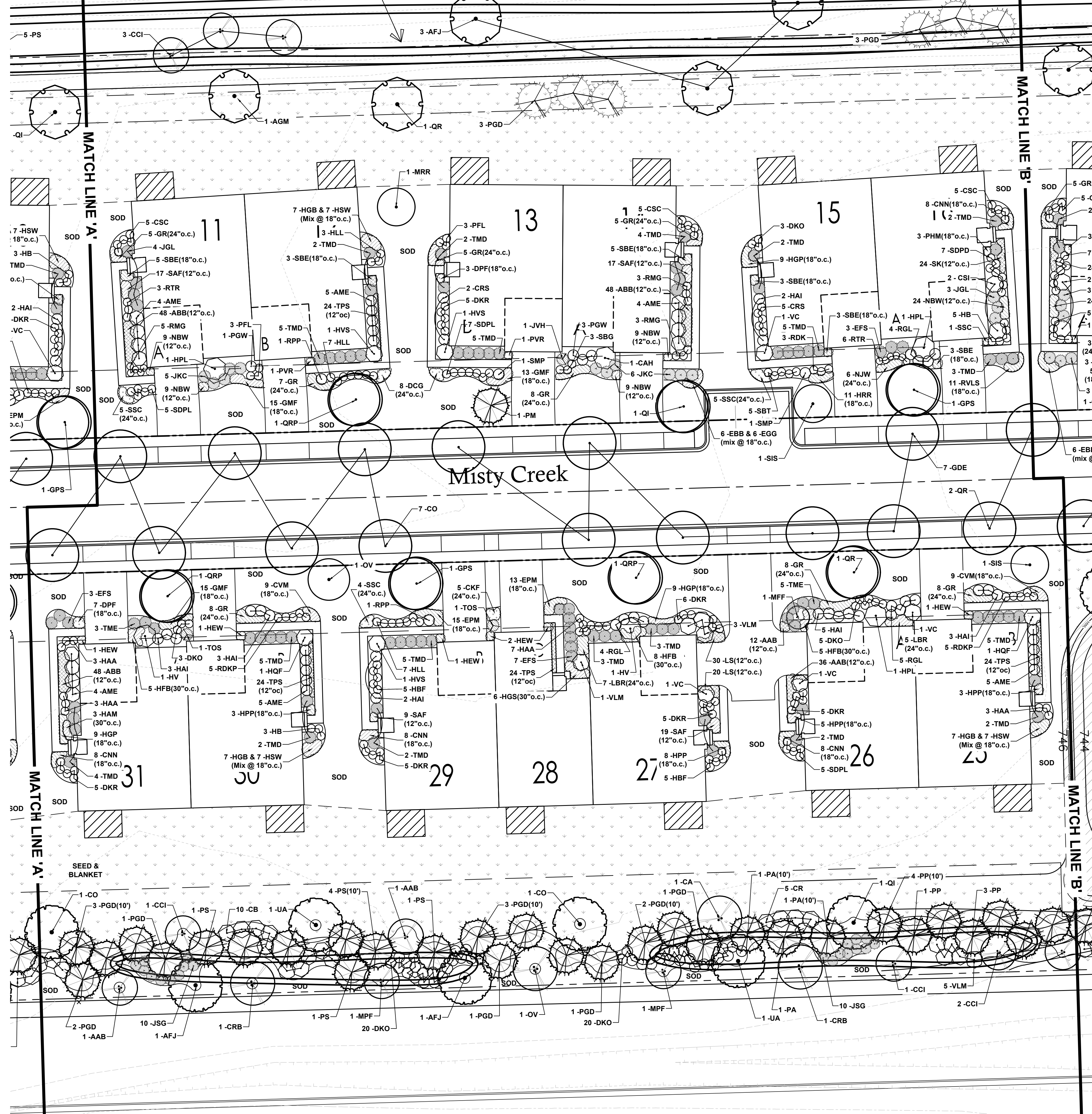


Know what's below.  
Call before you dig.









GENERAL NOTES:

Plant material shall be nursery grown and be either balled and bur-lapped or container grown. Sizes and spreads on plant list represent minimum requirements.

The requirements for measurement, branching and ball size shall conform to the latest addition of ANSI Z60.1, AMERICAN STANDARD OF NURSERY STOCK by the American Nursery & Landscape Association.

Any materials with damaged or crooked/disfigured leaders, bark abrasion, sunscald, insect damage, etc. are not acceptable and will be rejected. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump (cl.).

If any mistakes, omissions, or discrepancies are found to exist with the work product, the Landscape Architect shall be promptly notified so that they have the opportunity to take any steps necessary to resolve the issue. Failure to promptly notify the Landscape Architect and the Owner of such conditions shall absolve them from any responsibility for the consequences of such failure.

Under no circumstances should these plans be used for construction purposes without examining actual locations of utilities on site, and reviewing all related documents mentioned herein, including related documents prepared by the project Civil Engineer and Architect.

Civil Engineering or Architectural base information has been provided by others. The location of various site improvements on this set of drawings is only illustrative and should not be relied upon for construction purposes.

Quantity lists are supplied as a convenience. However, Bidders and the Installing Contractor should verify all quantities. The drawings shall take precedence over the lists. Any discrepancies shall be reported to the Landscape Architect.

Actions taken without the knowledge and consent of the Owner and the Landscape Architect or in contradiction to the Owner and the Landscape Architect's work product or recommendations, shall become the responsibility not of the Owner and the Landscape Architect, but for the parties responsible for the taking of such action.

Refer to Civil Engineering documents for detailed information regarding size, location, depth and type of utilities, as well as locations of other site improvements, other than landscape improvements,

Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation.

All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Village, Landscape Architect and Owner.

The Landscape Contractor shall verify location of all underground utilities prior to digging by calling "J.U.L.I.E." (Joint Utility Location for Excavators) 1-800-892-0123 and any other public or private agency necessary for utility location.

All perennial, ornamental grass, groundcover and annual beds shall be top dressed with a minimum of three inches (3") of mushroom compost. The top dressing shall be worked into the soil to a minimum depth of nine inches (9") by the use of a cultivating mechanism. Upon completion perennials & ornamental grasses shall be mulched with an additional two inch (2") layer of shredded wood mulch; Annuals & groundcovers shall be covered with a two inch (2") layer of southern pine bark fines mulch.

All other planting beds and tree saucers shall be mulched with a minimum of three inches (3") of shredded wood mulch.

Planting beds adjacent to building shall be mulched in their entirety to the building foundation. Plant materials shall not be installed under building overhangs and other such areas which do not receive natural rainfall.

Mulch beds at the time of planting shall extend a minimum of two feet (2') beyond the center of a shrub.

All bed lines and tree saucers shall require a hand spaded edge between lawn and mulched areas.

Grading shall provide slopes which are smooth and continuous. Positive drainage shall be provided in all areas.

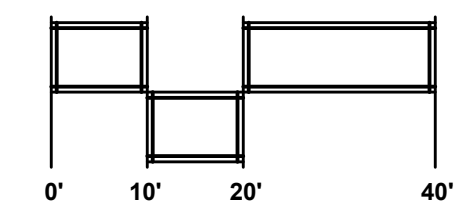
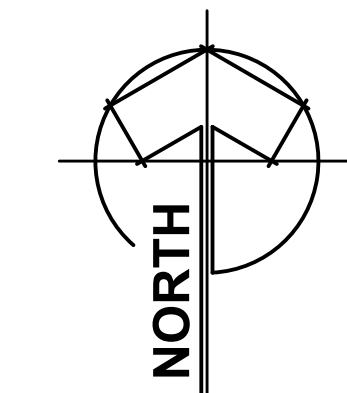
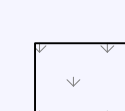
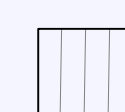
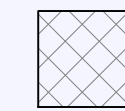
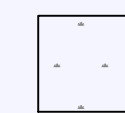
Sod shall be mineral base only.

Seed mixes shall be applied mechanically so that the seed is incorporated into the top one-half inch (1/2") of the seed bed. The seed shall then be covered with the specified blanket (installed per manufacturer's specs) or Hydro-mulch.

All plant material shall be guaranteed for one (1) year from the date of acceptance.

Trees and shrubs shall not be located closer than six (6) feet to fire hydrants, transformers or above ground utilities, and fifteen (15) feet from any street light. No parkway tree shall be planted closer to that thirty (30) feet from the right-of-way line at an intersection nor closer than eight (8) feet from a driveway or alley way.

## LEGEND

[illegible]

**MISTY CREEK**  
**116th & LARAWAY ROAD**  
**FRANKFORT, ILLINOIS**

SEAL:



826 East Maple Street  
Lombard, Illinois 60148  
PH: 630.561.3903  
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TITLE

LANDSCAPE  
PLAN

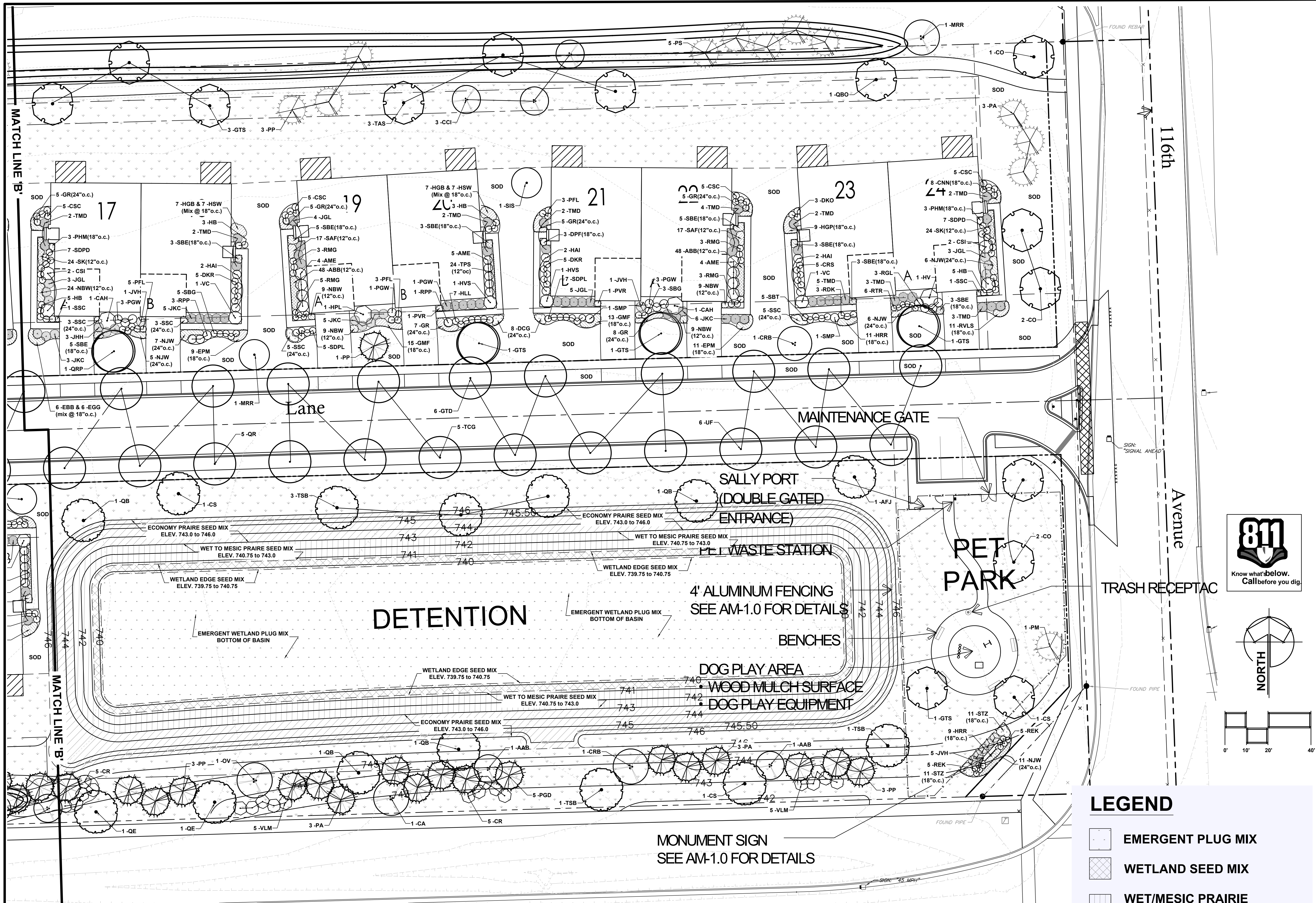
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DATE:	01-14-2022
SCALE:	1"=20'

*SHEET*

**L-2.0**

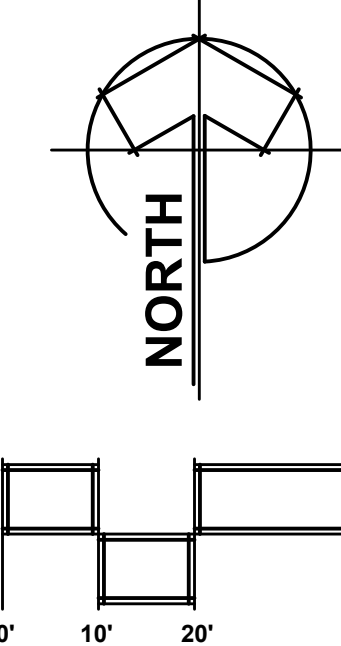
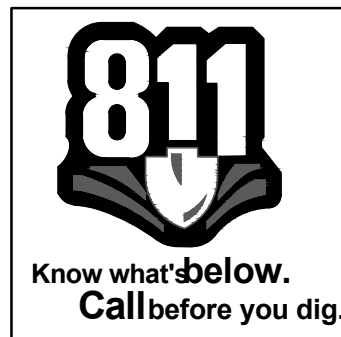
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REVISIONS	

**MISTY CREEK**  
**116th & LARAWAY ROAD**  
**FRANKFORT, ILLINOIS**

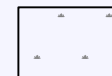

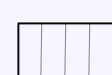
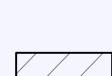
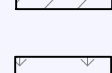


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LANDSCAPE ARCHITECTURE/SITE PLANNING

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- LEGEND**
-  EMERGENT PLUG MIX
  -  WETLAND SEED MIX
  -  WET/MESIC PRAIRIE SEED MIX
  -  ECONOMY PRAIRIE SEED MIX
  -  TURF GRASS SEED MIX

TITLE  
**LANDSCAPE PLAN**

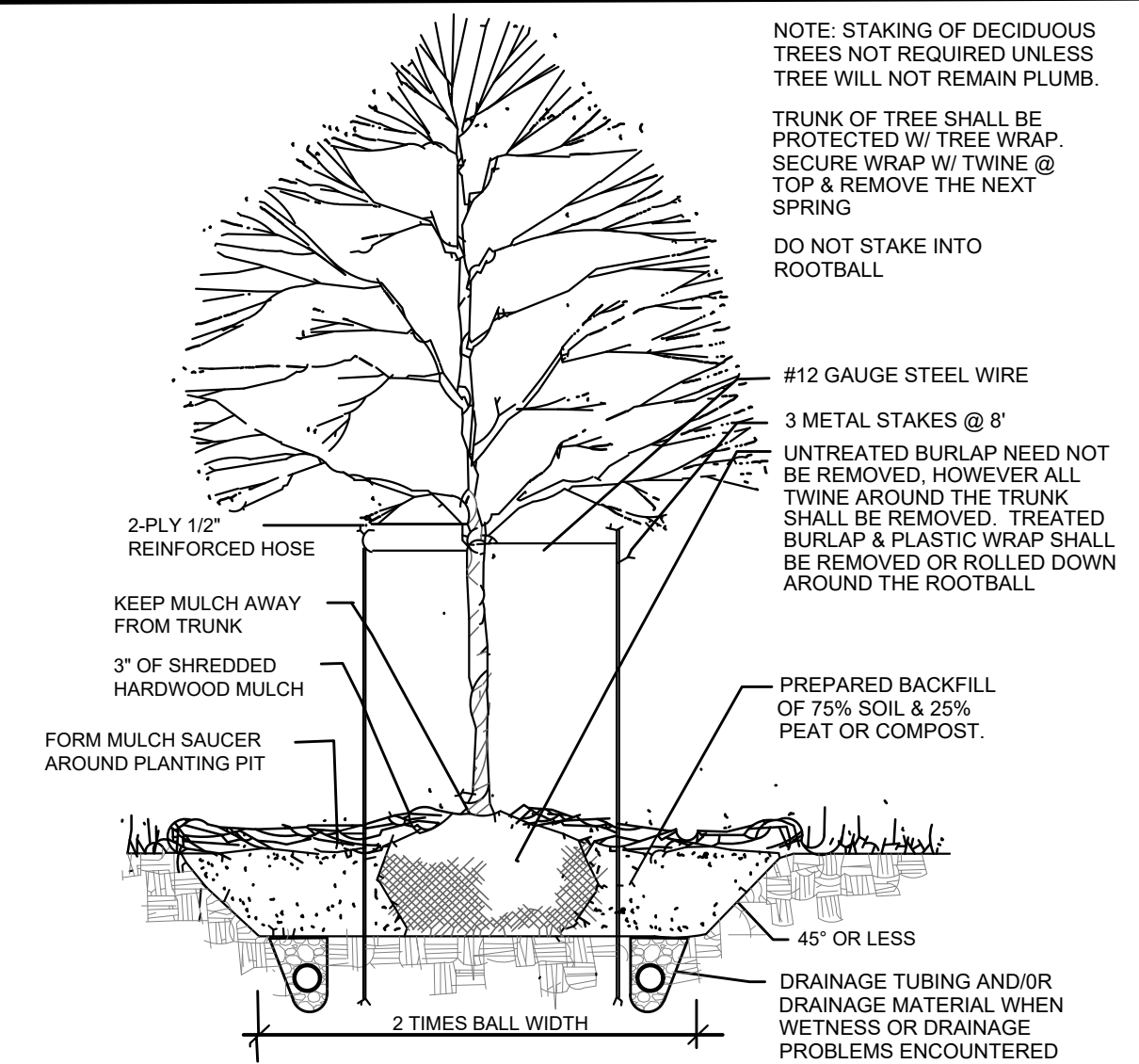
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SCALE: 1"=20'

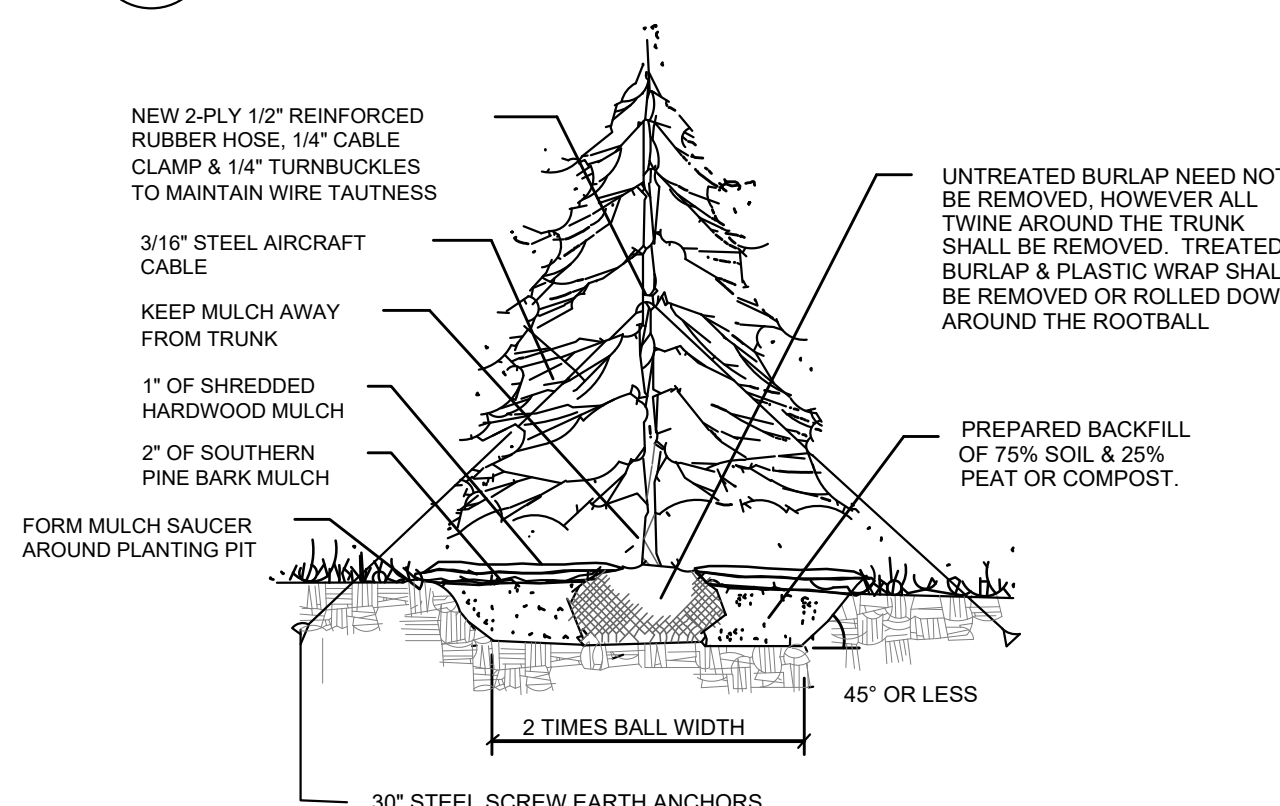
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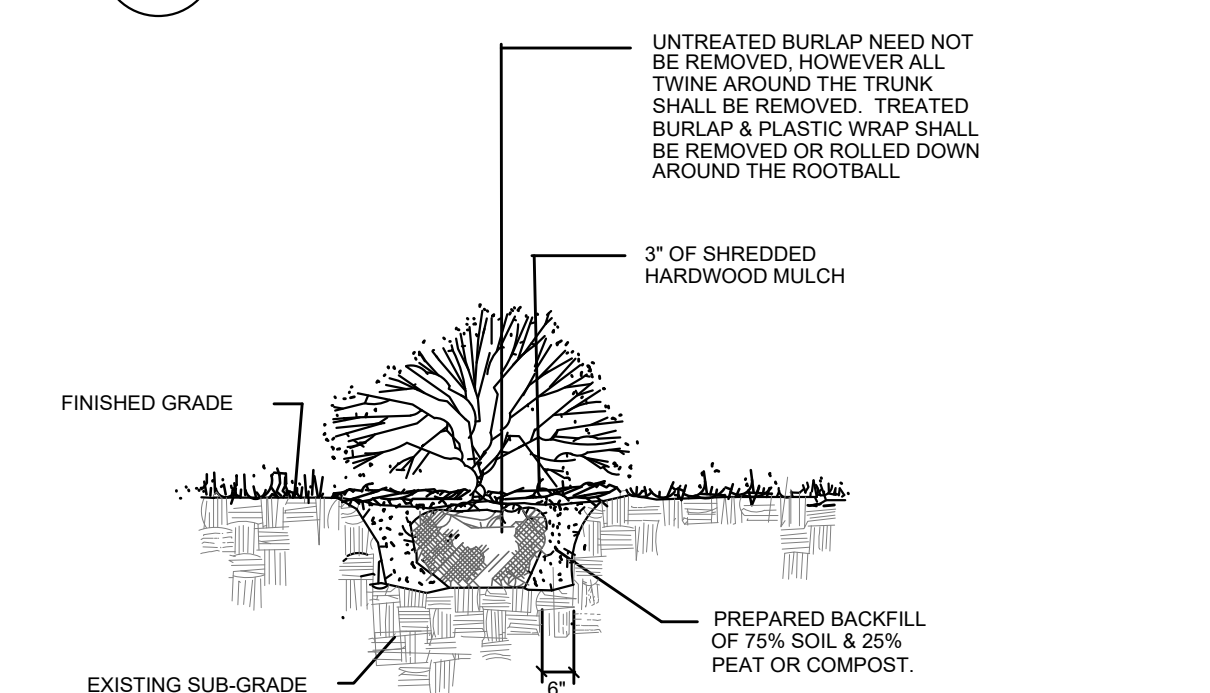




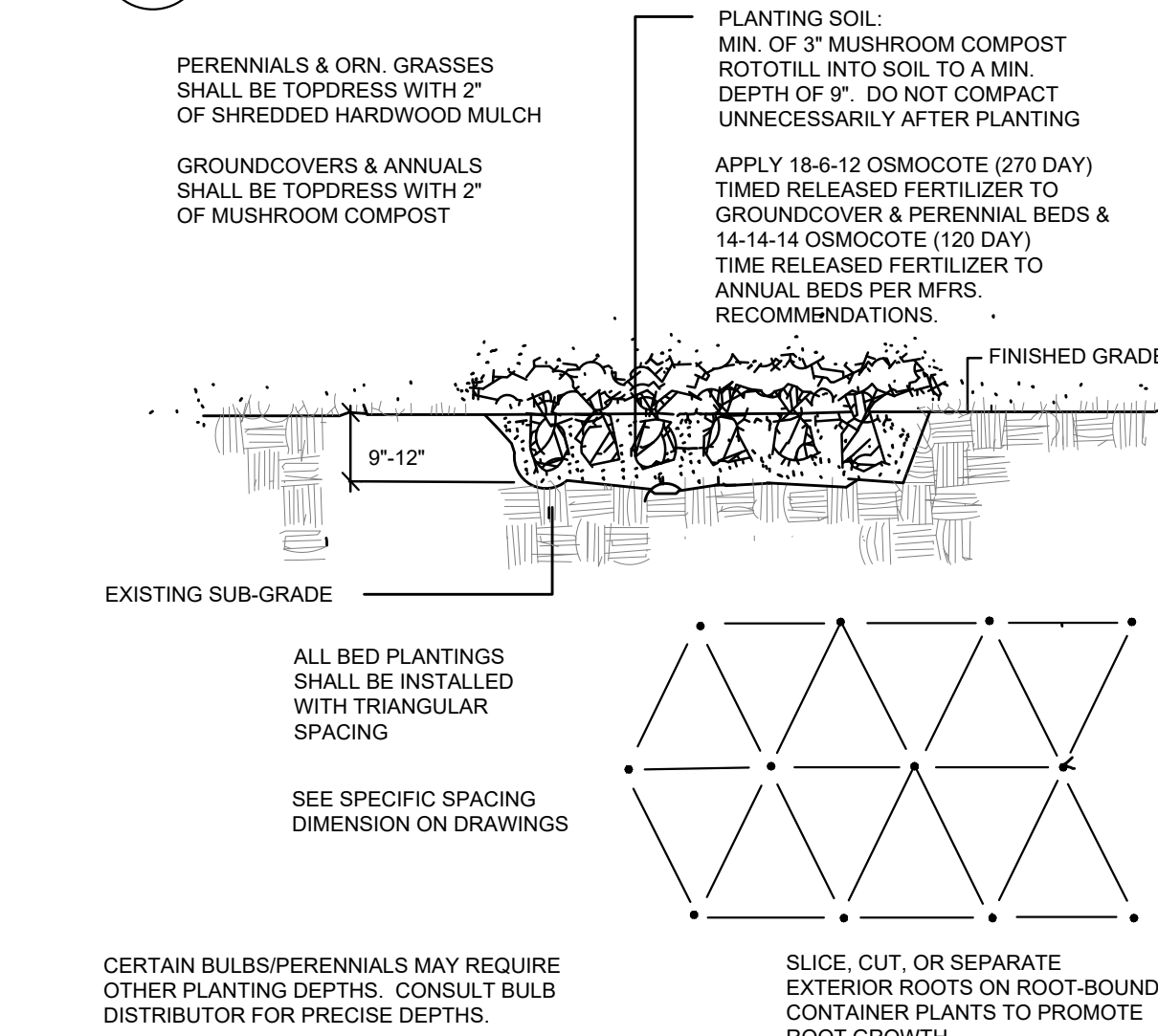
DECIDUOUS TREE  
NTS



EVERGREEN TREE  
NTS



SHRUBS  
NTS



BED PLANTING DETAIL  
(PERENNIALS, ORNAMENTAL GRASSES VINES, GROUNDCOVERS & ANNUALS)  
NTS



6' BENCH  
Deluxe Bench  
Model #: 439-1012 (or equal)  
Color: TBD  
Provided by:  
Barco Products PH: 855-337-4808



ROVER JUMP OVER  
Rover Jump Over  
Model #: 439-1006 (or equal)  
Color: TBD  
Provided by:  
Barco Products PH: 855-337-4808



TRASH RECEPTACLE LE  
Trash Receptacle  
Model #: 439-1013 (or equal)  
Color: TBD  
Provided by:  
Barco Products PH: 855-337-4808



PET STATION  
Aluminum Header Pak Pet Station w/ Sign  
Model #: 135-1027 (or equal)  
Color: TBD  
Provided by:  
Barco Products PH: 855-337-4808



CRAWL TUNNEL  
Rover Doggie Crawl  
Model #: 439-1007 (or equal)  
Color: TBD  
Provided by:  
Barco Products PH: 855-337-4808



STEPS  
Stepping Paws  
Model #: 439-1009 (or equal)  
Color: TBD  
Provided by:  
Barco Products PH: 855-337-4808

REVISIONS		

**MISTY CREEK**  
**116th & LARAWAY ROAD**  
**FRANKFORT, ILLINOIS**

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TITLE  
**PET PARK EQUIPMENT & DETAILS**

PROJECT NO.:  
**22-184**  
DATE: 01-14-2022  
SCALE: NTS

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VILLAGE OF  
**FRANKFORT**  
INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review  
Planned Unit Development (PUD) Standards

Article 3, Section F, Part 4 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every PUD Preliminary Plan and Final Plan. The Plan Commission must consider the extent to which the proposal fulfills the following seven standards. To assist the Plan Commission in their review of the PUD request, please provide responses to the following “Review Standards.” Please attach additional pages as necessary.

1. The plan is designed to protect the public health, welfare and safety.

All buildings will be constructed to meet building safety requirements of the village. Location of all curb cuts have been placed away from intersections, and the entrance along 116th Ave has been designed as a right-in right-out only to minimize traffic impacts with Hickory Creek School. All roadways are sized to accommodate Frankfort life safety vehicles and fire hydrants will be placed at required spacing.

2. The proposed development does not cause substantial injury to the value of other property in the immediate area.

The surrounding area is overwhelming residential, and this project would be an enhancement. The other three corners of the intersection of 116th and Laraway are developed with single family homes, adding townhomes provides a balance to the residential area. A commercial development, as contemplated in the Comprehensive Plan, is more likely to cause substantial injury to neighboring property.

3. The plan provides for protection of the aesthetic and function of the natural environment, which shall include, but not be limited to, flood plains, streams, creeks, lakes, ponds, wetlands, soil and geologic characteristics, air quality, vegetation, woodlands, and steep slopes.

The proposed development does is not in a floodplain and does not have any wetlands on site. The developer has received EcoCAT and SHPO clearance letters, attached as Exhibits #5 and #6 to the response.

4. The plan provides for and ensures the preservation of adequate recreational amenities and common open spaces.

The development plan includes a walking trail encompassing the development, along with a pet park at the Southeast corner. Both amenities have been programmed as they are most applicable for the expected demographic. Additionally, the development exceeds the open space requirements of 20% with 21.6% dedicated open space.



5. Residential use areas may provide a variety of housing types to achieve a balanced neighborhood.

The development is a proposed townhome community. Within the community, there will be a variety building sizes (2-unit and 3-unit buildings) and variation of floor plans, including two-story and ranch options. In addition, a number of the units will have side load garages, vs front-load garages. The combination of different building sizes, garage options, and exterior elevations will provide the community with varying building looks and achieve a balanced neighborhood.

6. The planned unit development provides land area to accommodate cultural, educational, recreational and other public and quasi-public activities to serve the needs of the residents thereof.

The development plan includes a walking trail and pet park. The walking path encompasses the development to encourage recreational activity. The pet park will include a Sally Port (double gated entrance), benches, mulched play area with dog play equipment, benches, pet waste station, and trash receptacles. These are two sought after amenities for the anticipated demographic.

7. The proposed development provide for the orderly and creative arrangement of all land uses with respect to each other and to the entire Village.

From an orderly standpoint, the entrances have been designed to minimize traffic conflicts with surrounding areas. As part of the development, the berm between Hickory Creek and the development will be landscaped for adequate screening and privacy. Landscaping will also be included to buffer Laraway Road.

Article 3, Section F, Part 5, letter 'd' of the Village of Frankfort Zoning Ordinance lists two additional "findings" or "standards" related specifically to residential or mixed-use PUDs to permit uses that are otherwise not permitted in the underlying zoning district. For these specific types of proposals, the Plan Commission must also find the following. Please provide responses to the following additional "Review Standards."

1. That the uses permitted by such exceptions are necessary or desirable and are appropriate with respect to the primary purpose of the planned unit development;

There is a need for high quality, low-maintenance living for the 55+ age cohort in the 60423 zip code. From 2010 to 2021, the percentage of households in the 60423 zip code that were 55+ jumped from 40.7%, to 50.8%. Yet, over the last two years there has been a precipitous decline in permits issued for townhome construction, with only 9% of issued permits being related to townhome units.

2. That the uses permitted by such exception are not of such a nature or so located as to exercise a detrimental influence on the surrounding neighborhood;

There surrounding area is overwhelming residential, and this project would be a complimentary addition. The other three corners of the intersection of 116th and Laraway are developed with single family homes; Sandalwood Estates, Cobblestone Walk, and Misty Falls (Developed by Flaherty). The only non-residential property in the immediate area is Hickory Creek school (surrounded by residential property).



OVERALL SITE - LOOKING NORTHWEST FROM INTERSECTION



116th Ave Sidewalk, looking north





Laraway Road Sidewalk, looking west



Existing berm adjacent to school property





**Project:** Oasis Assisted Living  
**Meeting Type:** Workshop  
**Requests:** Special Use for Assisted Living Facility, Final Plat  
**Location:** 8531 W. Lincoln Highway  
**Applicant:** Oasis Senior Living, Inc.  
**Prop. Owner:** MT Leasing Inc.  
**Representative:** Tahir Khan

### Site Details

**Lot Size:** 203,861 sq. ft. (4.68 acres)  
**PIN(s):** 19-09-23-300-031-0000  
**Existing Zoning:** B-2  
**Proposed Zoning:** N/A  
**Future Land Use:** General Commercial  
**Buildings:** 1  
**Total Sq. Ft.:** 75,074 sq. ft. (bldg.)

### Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Undeveloped	General Comm.	B-2
<b>North</b>	Undeveloped	Mixed Use	E-R
<b>South</b>	Townhomes	Single Fam. Attached Res.	R-5
<b>East</b>	Undeveloped	General Comm.	B-2
<b>West</b>	Com. & SFR	General Comm.	B-2

Figure 1. Location Map



### Project Summary

The applicant, Oasis Senior Living, Inc., is proposing to construct a 78-unit assisted living facility, including 26 memory care units, 20 studio units, 28 one-bedroom units and 4 two-bedroom units. Assisted living facilities require a special use permit in the B-2 zone district. The project will require a final plat of subdivision to create a lot of record, as the property is unsubdivided. The subdivision will also grant new easements (storm/detention, water, sanitary, etc.). As currently proposed, the project will not require any variances (setbacks, lot coverage, building height, etc.). The site is currently disused, with two abandoned structures that will be removed as part of the development. The site contains a moderate number of existing trees, some of which are preservation trees.

### Attachments

1. Improvement Plans, received February 16, 2022
2. Preliminary Landscape Plan, received February 16, 2022
3. Existing Tree Plan, received February 16, 2022
4. Building Elevation drawings, received February 16, 2022
5. Floorplan, received February 16, 2022
6. Photometric Plan, received February 16, 2022
7. Aerial Photographs (Frankfort Township)
8. Stormwater atlas map of the site (Village of Frankfort)
9. Photographs of site, taken by staff on July 15, 2021
10. Special Use Permit – Findings of Fact, applicant responses, received March 2, 2022



## Analysis

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### Zoning

1. The subject property is currently zoned B-2, Community Business, which allows for assisted living facilities contingent upon issuance of a special use permit. Assisted living facilities also require a special use permit in the R-4 (Attached Single-Family Residential) and the H-1 (Historic) zone districts. They are permitted by-right only within the B-3 zone district. Rezoning of the property is not required or recommended.

### Dimensional Table

	Required	Proposed	Notes
<b>Minimum Lot Size</b>	20,000 sq. ft.	4.68 acres	
<b>Minimum Lot Width</b>	100 ft.	484 ft. (approx.)	Measured along Windy Hill Drive
<b>Front Setback (east)</b>	50 ft.	89.23 ft.	Windy Hill Dr. is the front yard
<b>Landscaped front yard</b>	25 ft.	89.23 ft.	
<b>Corner Side Setback (north)</b>	150 ft.	160.54'	Measured to centerline of Route 30
<b>Side Setback (south)</b>	50 ft.	51.97 ft.	30' required when <i>not</i> adjacent to res.
<b>Rear Setback (west)</b>	30 ft.	59.93 ft.	
<b>Building Height</b>	35 ft.	24'4"	35'4" to top of the cupola
<b>Lot Coverage</b>	No Max	36.80%	
<b>Impervious Lot Coverage</b>	75%	58.30%	

### Parking & Loading

1. Assisted living facilities require 0.5 parking spaces for each dwelling unit, plus one for each employee during the largest working shift. There are 78 dwelling units, and the applicant has noted that there will be up to 12 employees at any one time, requiring a total of 51 parking spaces. The site plan illustrates 52 parking spaces, 3 of which are ADA accessible, meeting these code requirements.
2. The Zoning Ordinance requires a minimum drive aisle width of 24' when serving two rows of parking. The drive aisle within the parking lot is 24' wide, meeting this requirement. The south and west drive aisles have been reduced to 20' wide, as they do not serve any parking spaces. A 20' wide drive aisle is the minimum width required by the Fire District. The reduction in width here also helps reduce the impervious lot coverage on the property.
3. All parking spaces measure 9'x18', meeting the minimum code requirement.
4. The Zoning Ordinance is silent regarding off-street loading requirements for assisted living facilities, although in general loading areas may not be located in a front yard. It is typical for assisted living facilities to receive deliveries by smaller "box trucks". The site plan illustrates four pedestrian entrances along the south building façade, with sidewalks leading to the southern access drive. It is anticipated that deliveries will be made in this side yard, completely screened from Route 30 and mostly screened from Windy Hill Drive.
5. Concrete curbs are required for all paved areas and have been provided.



### Circulation

1. On all business lots with over 200' of frontage, two points of ingress/egress may be permitted, measuring at least 20' wide. The site plan illustrates two points of ingress/egress to Windy Hill Drive, measuring 24' wide and 20' wide.
2. The existing driveway access to Route 30 will be closed. Access will only be provided via Windy Hill Drive via two new driveways. Windy Hill Road is maintained by the Village and the plans have been preliminarily reviewed by Public Works.
3. A traffic study may be requested by the Village but is not required. Typically, residents of assisted living facilities do not drive to and from the building.
4. Sidewalks currently exist within the rights-of-way along both Route 30 and Windy Hill Drive.
5. A sidewalk has been provided connecting the front entrance of the building to the existing sidewalk along Windy Hill Drive, meeting this code requirement.

### Architectural Style and Building Materials

1. The Zoning Ordinance requires that new construction within the B-2 zone district shall:
  - a) *Have an original and unique design.* The applicant is proposing a mixture of cultured stone, limestone sills, composite board & batten siding, metal roof accent panels and asphalt shingles.
  - b) *Shall be consistent with the architectural design, height, massing and materials of adjacent properties.* The building architecture and materials is more residential in appearance. The adjacent townhomes to the south have a masonry (river rock) wainscot with board & batten siding, similar to the proposed assisted living facility. The assisted living facility will have an asphalt shingle roof, matching the roofs on the existing townhomes.
  - c) *EIFS should only be used for accent features.* No EIFS is proposed for the assisted living facility.
  - d) *Brick or masonry materials shall be used on all sides of non-residential development.* All sides of the proposed building will have a cultured stone veneer, either rising to the height of wainscot or sometimes extending to the eave of the roof.
  - e) *Flat and mansard roofs are discouraged.* A hipped roof is proposed for the assisted living facility, which is common for residential structures.
  - f) *Colors schemes should consider the character of other structures in the area. Excessively bright colors should be used only as accent features.* The proposed building will have mostly neutral colors.

### Stormwater & Drainage

1. There is a noticeable existing slope on the subject property. The site is highest at the northwest corner near Route 30 and lowest along the frontage of Windy Hill Drive. Although there is a noticeable slope, the site will be re-graded without the use of retaining walls.
2. There's an existing storm sewer on the subject property along the south property line, which increases in size from 15" to 21" as it travels west to east. This storm sewer drains east into an existing detention pond on the east side of Windy Hill Drive. The presence of this stormwater pipe and detention pond alleviates the need for on-site stormwater detention, per a preliminary review by the Village's engineering



consultant. Former concept plans for the assisted living facility illustrated a detention pond between the building and Windy Hill Drive, which was not necessary and has been removed.

3. Although not submitted at this time, a final plat of subdivision of the property will illustrate future stormwater, water and sanitary easements.
4. According to the National Wetlands Inventory mapping, there may be a very small area in the southwest corner of the site that contains a freshwater forested shrub wetland. However, this may be outdated information, since it does not seem to reflect the grading work that was done for the Windy Hill townhome development; further investigation will be required to confirm this.

#### Tree Removal & Landscaping

The following lists the types of landscaping required. Landscaping required for one requirement cannot be counted toward another requirement.

1. Tree Survey: A tree survey was submitted illustrating 108 existing trees on site, of which 96 will be removed and 12 will be preserved. Of the 96 trees that will be removed, 24 are considered “preservation trees” per the Landscape Ordinance and must be mitigated elsewhere on-site. The other 72 non-preservation trees may be removed without mitigation, although the Landscape Ordinance does require other forms of landscaping. Of the 24 “preservation trees”, 5 of these are evergreen trees and 19 are deciduous trees.
2. Preservation Trees: The 5 evergreen preservation trees must be mitigated on-site at a 1:1 ratio for tree height. The 19 deciduous preservation trees must be mitigated on-site at a 1:1 ratio for tree caliper (trunk diameter). A total of 107’ height of evergreen trees must be mitigated on-site, with 396’ provided, exceeding this requirement. A total of 284 deciduous tree caliper must be mitigated on-site, with 90 caliper inches being provided, falling short of this requirement. Page 11 of the Landscape Ordinance contains a provision that can allow relief from the preservation tree mitigation requirements: *“Relief from any portion or all of the on-site tree replacement requirement may be granted by the code official”*. As such, staff seeks input from the Plan Commission as to whether an oversupply of evergreen trees would offset the undersupply of deciduous trees. In this instance, it may make more practical sense to provide more evergreen trees and less deciduous trees to provide a year-round visual screen between the subject property and adjacent properties. Conversely, the “code official” may require that all tree mitigation be met as specifically required by code.
3. Parkway Trees (Street Trees): The Landscape Ordinance requires one 2.5” caliper *overstory* tree for every 35 lineal feet where no overhead power lines exist. These parkway trees should be planted on private property, not within the road right-of-way, although it has been past practice to allow *existing* street trees within the right-of-way to be counted toward this requirement.

	Required Street Trees	Proposed Street Trees
Route 30	13	13
Windy Hill Drive	14	16 (10 of which in ROW)

4. Buffer Landscaping: When a business use is adjacent to a residential zone, such use shall be screened from view (Article 6, Section C, Part 2, j). As such, landscaping is required along the south property line shared with the existing Windy Hill townhome development. This landscaping should offer year-round screening as much as possible, using mostly evergreen trees and shrubs. This landscaping requirement is located in the Zoning Ordinance, not the Landscape Ordinance. As such, it does not specify a specific amount of landscaping required, only that landscaping shall exist to provide screening. Due to the large



amount of preservation trees being removed on the property, they should probably be mitigated along the south and west property lines in order to fulfill this screening requirement. Along the south property line, the landscape plan illustrates 11 deciduous trees and 27 evergreen trees. Along the west property line, the landscape plan illustrates 10 deciduous trees and 29 evergreen trees.

5. Parking Lot Landscaping: Landscaping is required to screen the parking spaces as well as provide landscaping within parking lot islands and fingers. A minimum 10' wide landscape screen is required along the parking lot perimeter, consisting of 150 plant units for every 100 lineal feet. At least 75% of this landscaping must be evergreen. The proposed landscaping meets this requirement. Each parking lot island and finger must contain one overstory tree. The proposed landscaping meets this requirement.

#### Lighting

1. The photometric plan illustrates 4 light poles closer to Route 30 and 1 light pole located at the southwest corner of the property near the trash enclosure. There would be seven (7) building-mounted lights. The light poles measure 20' tall and are fitted with non-cutoff fixtures. Light poles without cutoff fixtures within the B-2 zone district may be up to 20' in height, complying with the Ordinance.
2. Light levels shall not exceed 0.5 foot-candles along any property line. The photometric plan illustrates that this requirement has been met.
3. Certain zone districts, including the B-2 zone, require that new light poles be equipped with "decorative" bases. Sheet 9 of the Improvement Plans illustrates a "bell-shaped" metal base.

#### Other

1. The Fire District has reviewed the proposed site plan and does not have any additional comments at this time.
2. Basements are not required for this type of development per the Zoning Ordinance or the Building Code.
3. Overhead powerlines exist within the road right-of-way of Route 30. Since these lines exist within the right-of-way, they are not anticipated to affect the required street tree landscaping, which will be placed on private property.
4. No fences or retaining walls are proposed.
5. The project does not contain any accessory structures, other than a trash enclosure, located near the southwest corner of the property in the rear yard.
6. Dumpster enclosure visibility must be minimized by locating them away from public rights-of-way and building entrances, using enclosure screening materials similar to the main structure and through the use of landscaping. The proposed dumpster would be located near the southwest corner of the property, away from both public rights-of-way and is surrounded by trees and landscaping. The dumpster detail illustrates a cultured stone wainscot with board and batten siding above it, matching the building. The dumpster enclosure will be 6'8" tall. Fences and walls, including those used for dumpster enclosures, may not exceed 6' tall in business areas; the height of the dumpster enclosure should be reduced by 8" to avoid a variance.



7. Mechanical units will be ground-mounted only and distributed on all sides of the building. The landscape plan illustrates that they will all be screened with evergreen shrubs.

### ***Special Use Request***

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The following findings of fact are used to judge the merit of a special use permit request.

#### **Findings of Fact:**

No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

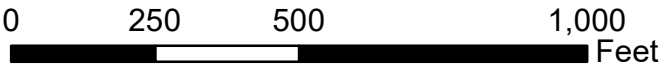
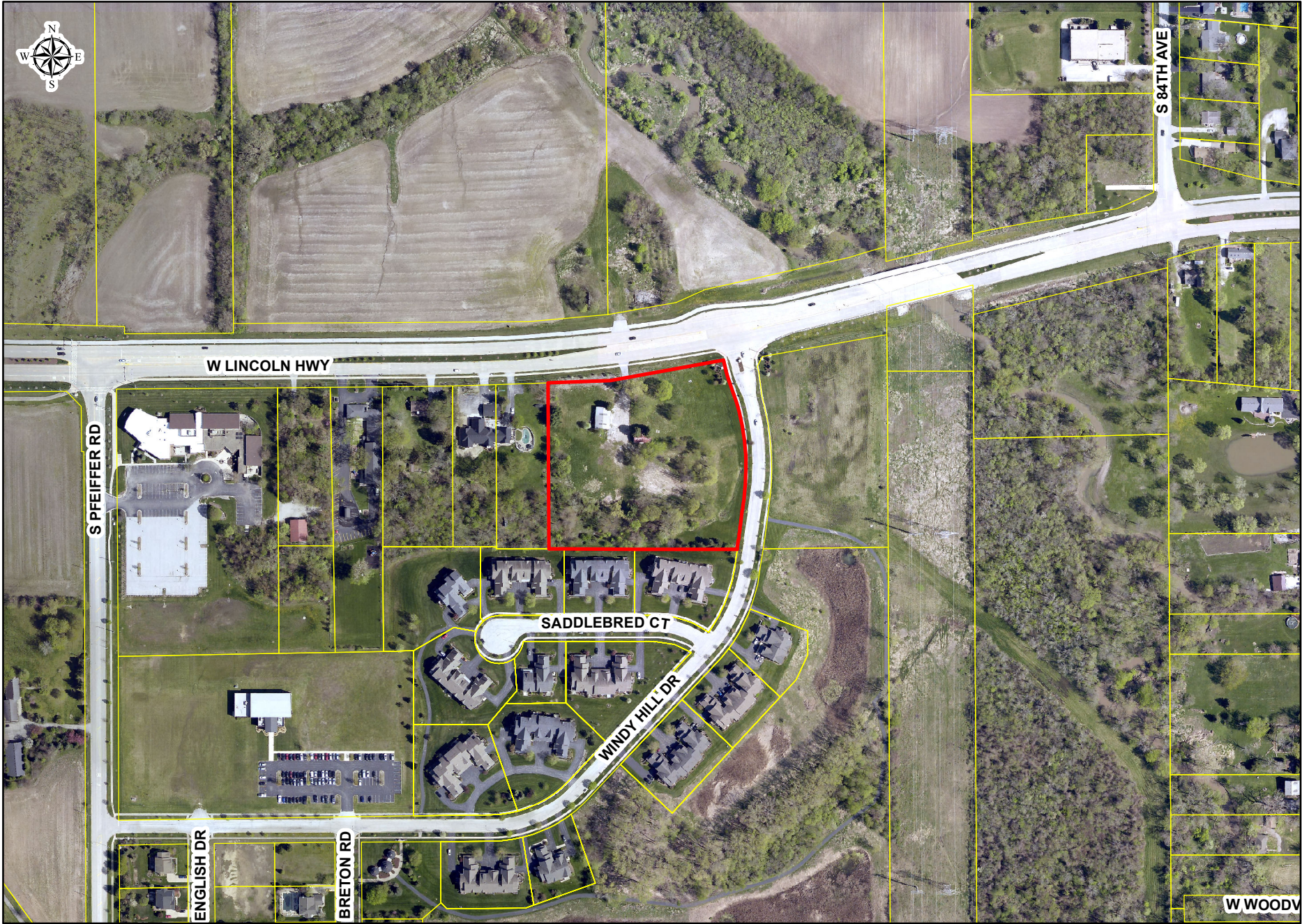
### ***Affirmative Motions (for future public hearing only)***

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1. Recommend to the Village Board to approve the special use permit for an assisted living facility, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
2. Recommend the Village Board approve the Final Plat of Subdivision for Oasis Senior Living, in accordance with the reviewed plans and public testimony, conditioned on final engineering approval.

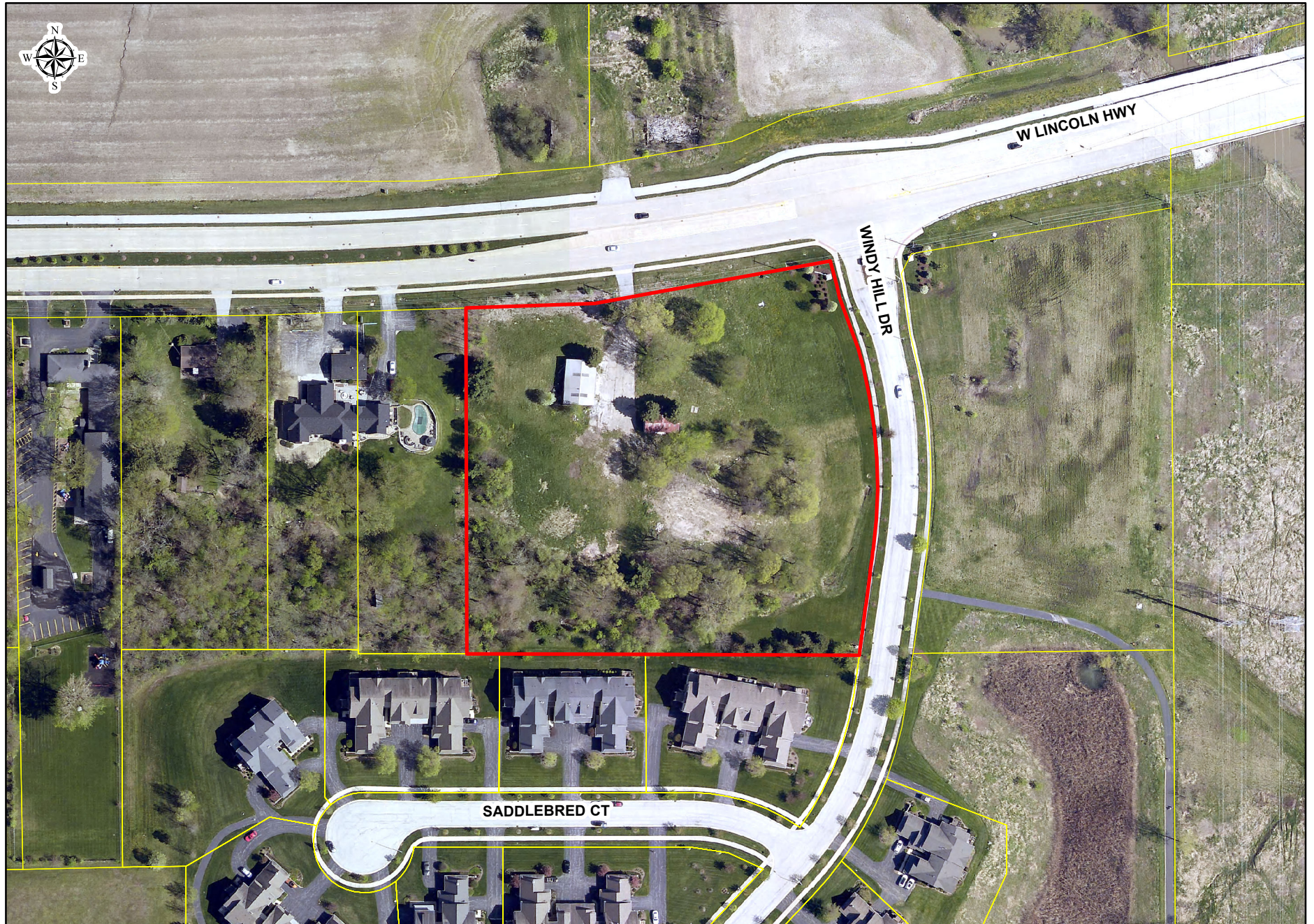


8531 W. Lincoln Highway



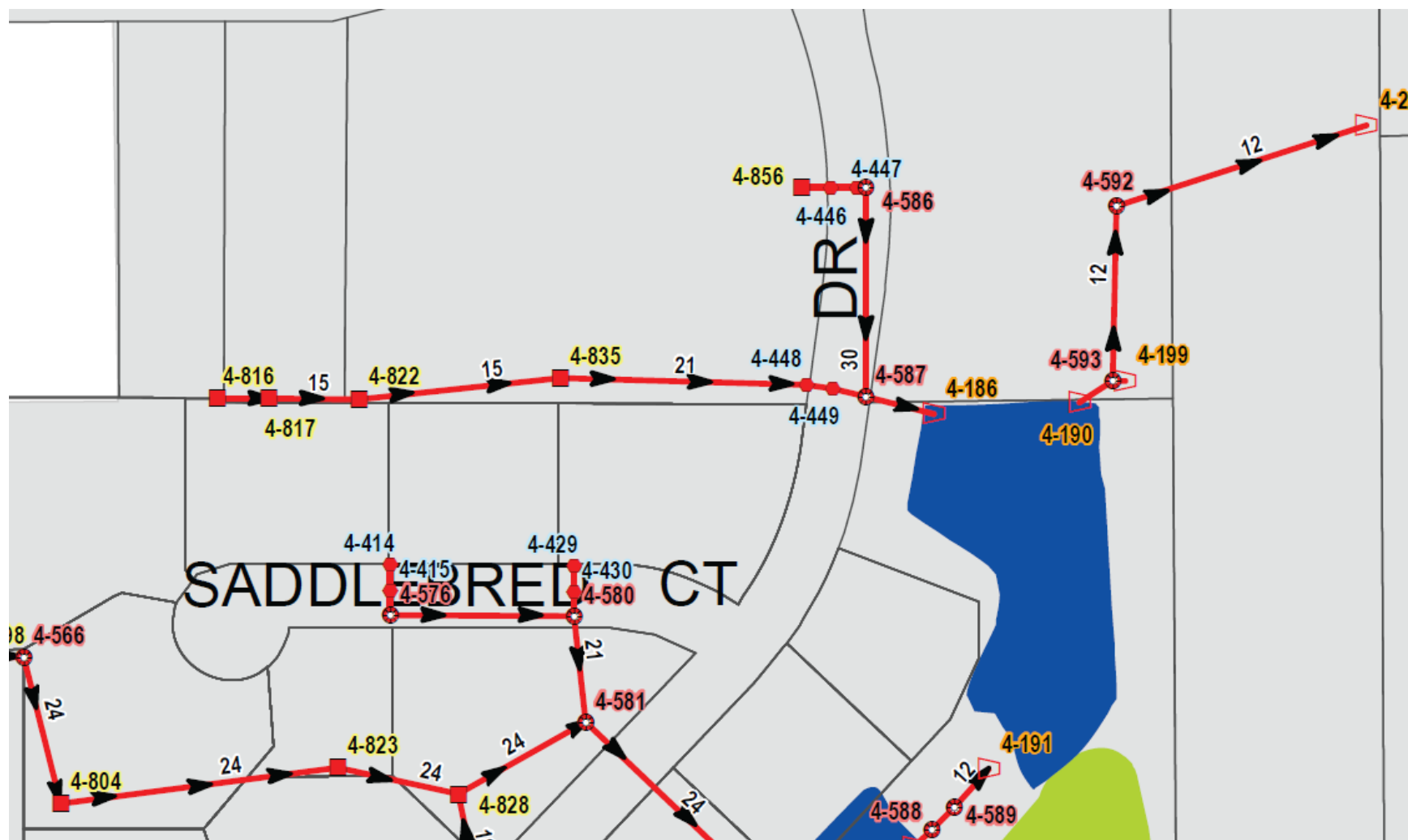


# 8531 W. Lincoln Highway



0 125 250 500 Feet









Application for Plan Commission / Zoning Board of Appeals Review  
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.

The facility will provide a residential living experience for seniors and will not adversely impact the surrounding areas or general welfare.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Senior living facilities are generally self-contained operations with very little outside activities that would impact adjacent properties.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The development of the parcel will not have a negative impact on future development of adjacent parcels.

4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

The building will be a single story structure consisting of cultured stone and board and batten style composite siding. The style is intended to be more of a residential feel and will not be in contrast with the existing residential subdivision to the south.



5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

Village water main and sanitary sewer is adjacent to the as is a publicly dedicated roadway. Storm sewer has been provided to the parcel and will convey drainage to an existing detention basin in the Windy Hill Farm Subdivision.

6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Access to the site will be provided from Windy Hill Drive, a publicly dedicated street. The residents of the facility typically do not drive, so traffic volume will generally be limited to employees and visitors sporadically throughout the day. Traffic will be fairly light compared to other residential or commercial uses.

7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

The request does not include any variations from applicable Village codes.

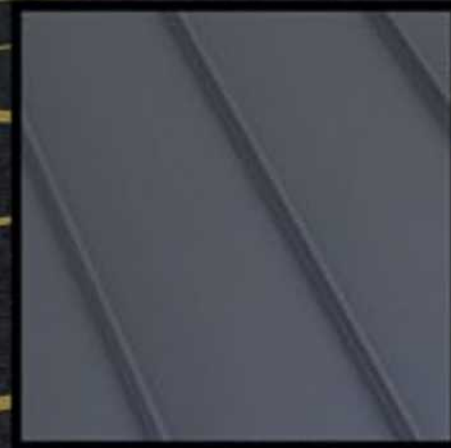


**RECEIVED**

By Christopher Gruba at 11:04 am, Dec 09, 2021



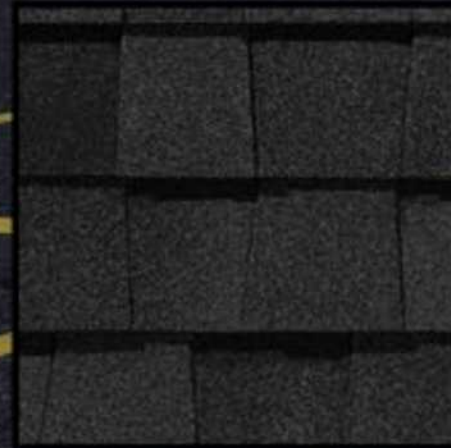
Woodtone  
Color Select Panel  
cement board siding  
All White  
(or approved equal)



McCarthy Metal Roofing  
Click Lock standing seam  
Vermont Slate  
(or approved equal)



Eldorado Stone  
stacked stone  
Chapel Hill  
(or approved equal)



Certainteed Landmark  
asphalt shingles  
Max Def Moire Black  
(or approved equal)



















IMPROVEMENT PLANS  
FOR  
OASIS SENIOR LIVING FACILITY

RECEIVED

By Christopher Gruba at 9:33 am, Feb 16, 2022

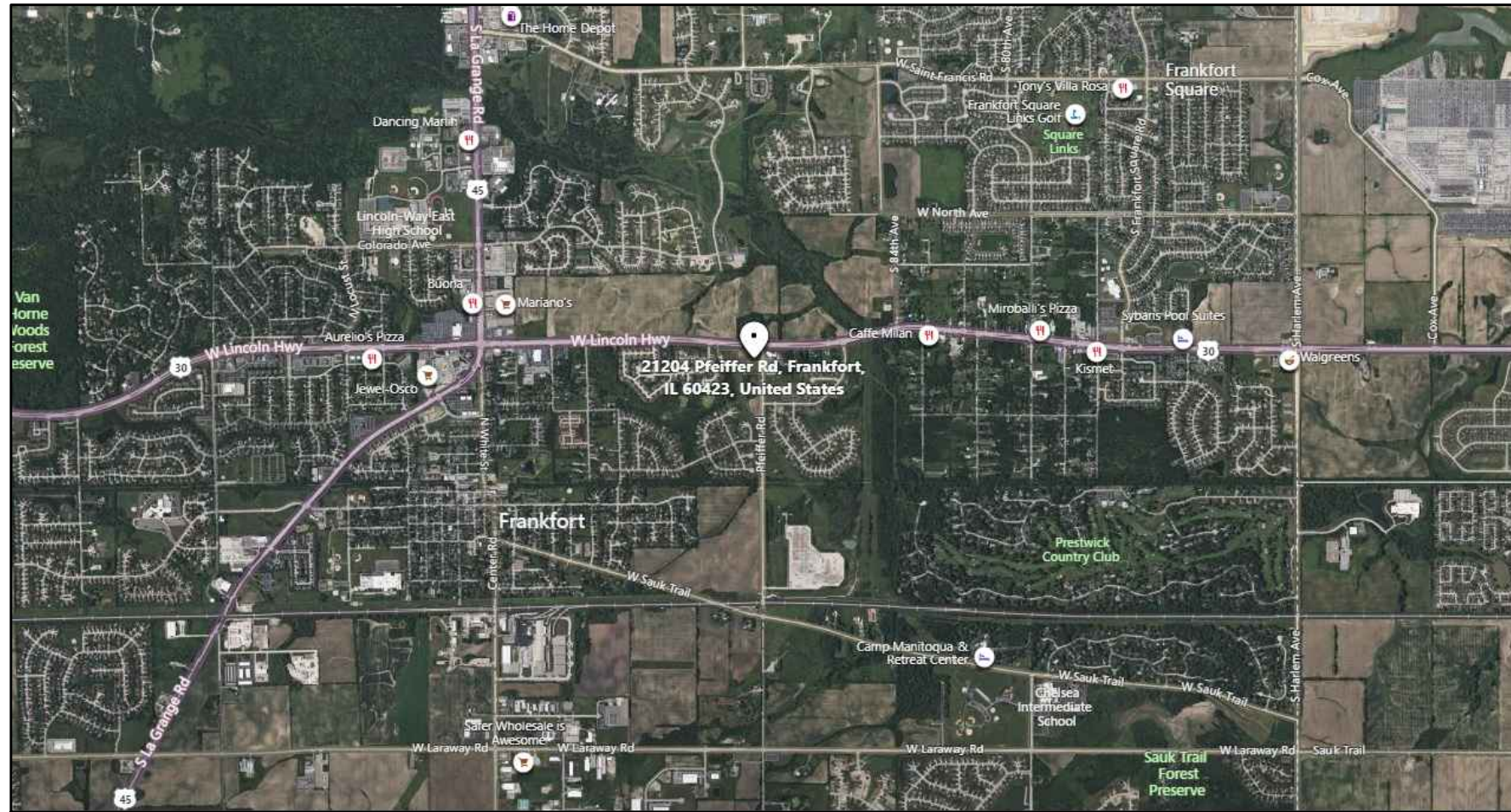
BENCHMARKS:

REFERENCE: WILL COUNTY MONUMENT 921, ELEV=712.24 (NAVD88/GEOID18). MONUMENT LOCATED NORTH OF INTERSECTION OF COLORADO AVE AND BANKVIEW DRIVE.

SITE: BONNET BOLT ON FIRE HYDRANT AT THE NORTHEAST CORNER OF THE PROPERTY, ELEV=695.31 (NAVD88/GEOID18).

PROPERTY INFORMATION:

ADDRESS: 8531 W. LINCOLN HIGHWAY  
MUNICIPALITY: VILLAGE OF FRANKFORT  
COUNTY: WILL  
SECTION: SEC. 23 T35N R12E  
P.I.N.(S): 09-23-300-031



LOCATION MAP

INDEX OF SHEETS

1. TITLE SHEET
2. EXISTING CONDITIONS
3. GEOMETRIC PLAN
4. GRADING PLAN
5. UTILITY PLAN
6. STORMWATER POLLUTION PREVENTION PLAN
7. EROSION CONTROL PLAN
8. CONSTRUCTION DETAILS
9. CONSTRUCTION DETAILS — 2
10. SPECIFICATIONS

OWNER: OASIS IL LAND HOLDINGS LLC  
TAHIR KHAN  
2575 MCLEON DRIVE SOUTH, SUITE C  
SAGINAW, MI 48604  
989-992-4587

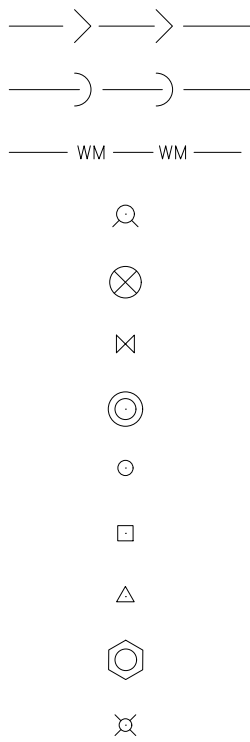
WARNING



CALL BEFORE  
YOU DIG

VILLAGE OF FRANKFORT PUBLIC WORK & UTILITIES  
DEPARTMENTS AND BUILDING DEPARTMENT  
SHALL BE NOTIFIED A MINIMUM OF 48 HOURS  
PRIOR TO THE START OF OR RESUMPTION OF  
WORK ON THE PROJECT

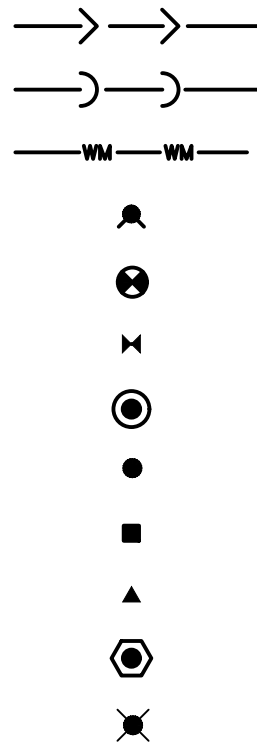
EXISTING



LEGEND

STORM SEWER  
SANITARY SEWER  
WATER MAIN  
FIRE HYDRANT  
VALVE VAULT  
VALVE BOX  
STORM SEWER MANHOLE  
CATCH BASIN  
INLET  
FLARED END SECTION  
SANITARY SEWER MANHOLE  
STREET LIGHT

PROPOSED



DRAINAGE & ENGINEER CERTIFICATE

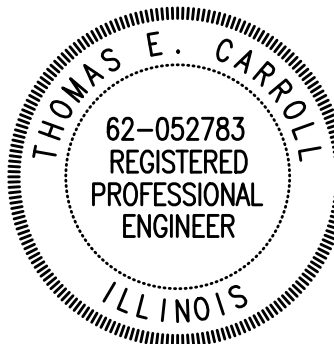
I, THOMAS CARROLL, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY AFFIRM THAT THESE DOCUMENTS HAVE BEEN PREPARED BY OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DOCUMENTS HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING STANDARDS AND PRACTICES AND COMPLY WITH APPLICABLE LAWS, CODES AND ORDINANCES.

FURTHERMORE, TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE IMPROVEMENTS OR ANY PART THEREOF, OR; THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DISCHARGE OF SURFACE WATERS INTO PUBLIC OR PRIVATE AREAS AND/OR DRAINS WHICH THE DEVELOPER HAS THE RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

DATED THIS 15TH DAY OF FEBRUARY, 2022

Thomas Carroll

THOMAS CARROLL, P.E.  
ILLINOIS P.E. #062-052783  
LICENSE EXPIRES 11-30-2023  
GEOTECH INCORPORATED PROFESSIONAL  
DESIGN FIRM NUMBER 184-000165



OASIS SENIOR LIVING  
FRANKFORT, ILLINOIS

GEOTECH INC.  
CONSULTING ENGINEERS - LAND SURVEYORS  
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

21074

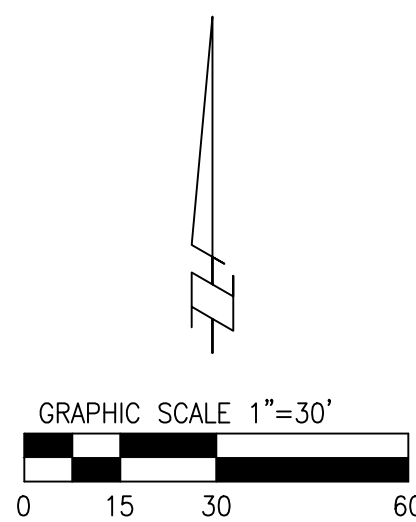
1

TITLE SHEET

DRAWN BY: NW  
CHECKED BY: TC  
JOB: 21074  
DATE: 12/14/21

2-15-22 3  
1-20-22 2  
12-15-21 1  
DATE REV SUB





CONSTRUCTION NOTES

- ① EXISTING BUILDING/ASPHALT DRIVE TO BE REMOVED.

NOTES:

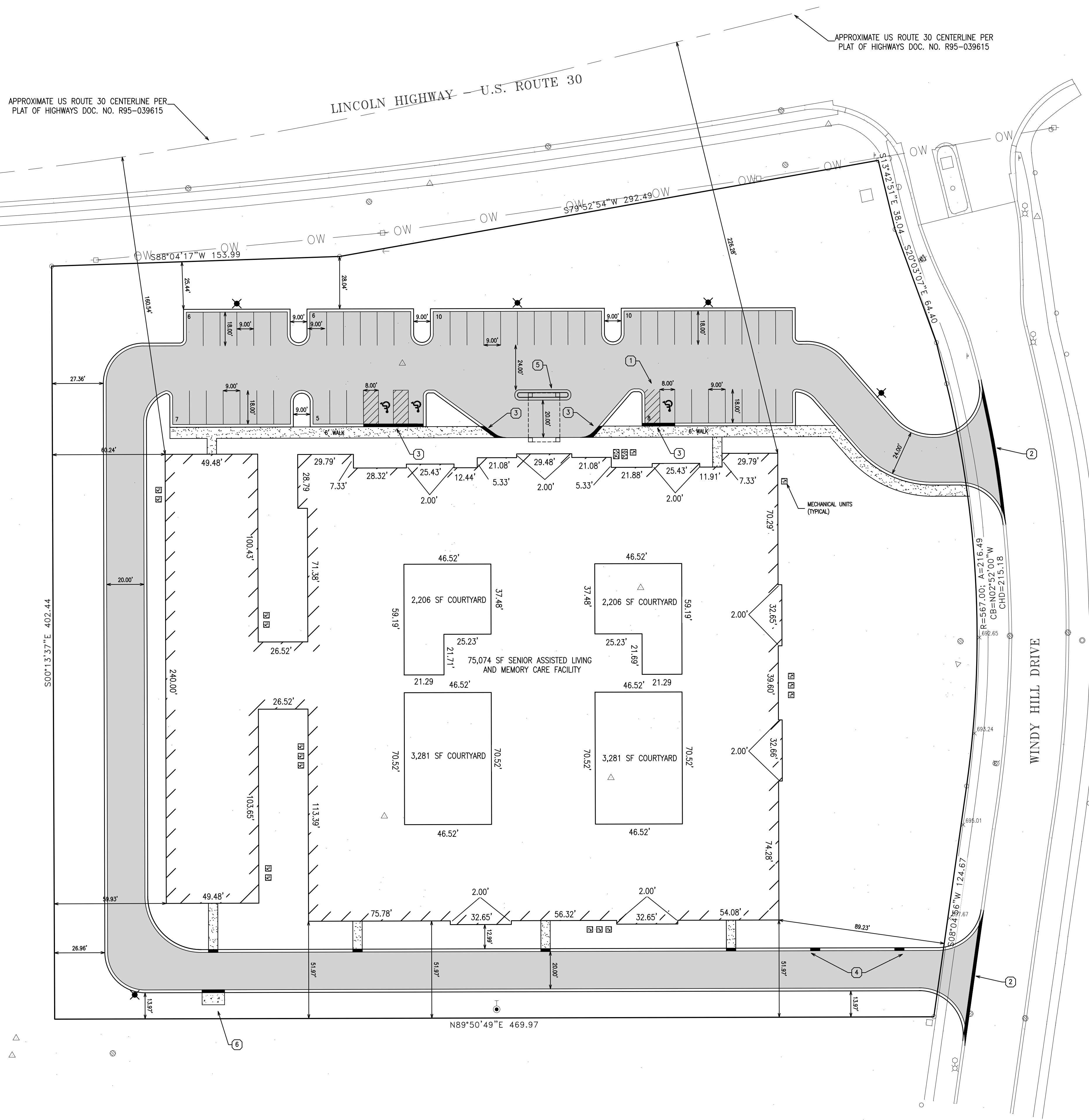
- EXISTING CONDITIONS BASED ON TOPOGRAPHIC SURVEY PERFORMED BY GEOTECH INCORPORATED.
- LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT ALL UTILITY COMPANIES AND JULIE TO VERIFY LOCATIONS AND ELEVATIONS PRIOR TO STARTING ANY WORK.
- CONTRACTOR TO PROVIDE NECESSARY PROTECTION TO ALL EXISTING UTILITIES AND ROADWAYS.
- THE VILLAGE OF FRANKFORT SHALL BE NOTIFIED WHEN EXISTING FIELD DRAINAGE TILES ARE ENCOUNTERED DURING CONSTRUCTION REGARDLESS OF CONDITION OR FUNCTIONALITY. THE VILLAGE OF FRANKFORT SHALL HAVE FINAL APPROVAL OF ANY REPAIR, CONNECTION, ABANDONMENT, OR OTHER METHODS FOR MITIGATING EXISTING DRAINAGE TILES ENCOUNTERED ON SITE.
- EXISTING TREES ON PARCEL TO BE REMOVED. SEE LANDSCAPE AND TREE PLANS FOR DETAILS.

OASIS SENIOR LIVING  
FRANKFORT, ILLINOIS

EXISTING CONDITIONS PLAN

DRAWN BY: NW  
CHECKED BY: TC  
JOB: 21074  
DATE: 12/14/21





#### NOTES:

- REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING DETAILS AND DIMENSIONS. BUILDING FOOTPRINT(S) SHOWN FOR REFERENCE.
- UNLESS OTHERWISE NOTED, ALL PAVEMENT MARKINGS SHALL BE 4-INCH WIDE STANDARD DOT PAINTED YELLOW MARKINGS WITHIN A R.O.W. SHALL BE THERMOPLASTIC. DIAGONAL STRIPING SHALL BE 2-FOOT ON CENTER.
- WHERE SHOWN ON PLANS, SIDEWALKS INTERSECTING CURB SHALL BE CONSTRUCTED WITH DEPRESSED CURBS, ADA ACCESSIBLE RAMPS, AND DETECTABLE WARNING SURFACE PER STANDARD DOT DETAILS.
- CURB RAMPS FOR SIDEWALKS ADJACENT TO ACCESSIBLE STALLS SHALL BE PROVIDED AT LOCATIONS SHOWN ON PLANS, PER THE STANDARD DOT DETAILS. CURB TRANSITIONS FROM FULL HEIGHT TO DEPRESSED, ADJACENT TO THE RAMPS, SHALL BE MINIMUM OF 6 LF.
- ALL CONNECTIONS TO EXISTING PAVEMENT SHALL BE PROVIDED WITH A BUTT JOINT.
- PROVIDE FULL DEPTH SAWCUT FOR ALL CURB, PAVEMENT, OR SIDEWALK TO BE REMOVED.
- ALL SIGNS SHALL COMPLY WITH THE U.S. DEPT. OF TRANSPORTATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE ILLINOIS ADMINISTRATIVE CODE, LATEST EDITIONS.

#### SITE DATA TABLE

SITE AREA:	4.68 AC
IMPERVIOUS AREA:	2.73 AC (58.3%)
UNITS:	
MEMORY CARE:	26
STUDIO:	20
ONE BED:	28
TWO BED:	4
TOTAL:	78
REQUIRED PARKING (0.5/UNIT + 12 EMPLOYEES):	51
STANDARD PARKING STALLS:	49
A.D.A. PARKING STALLS:	3

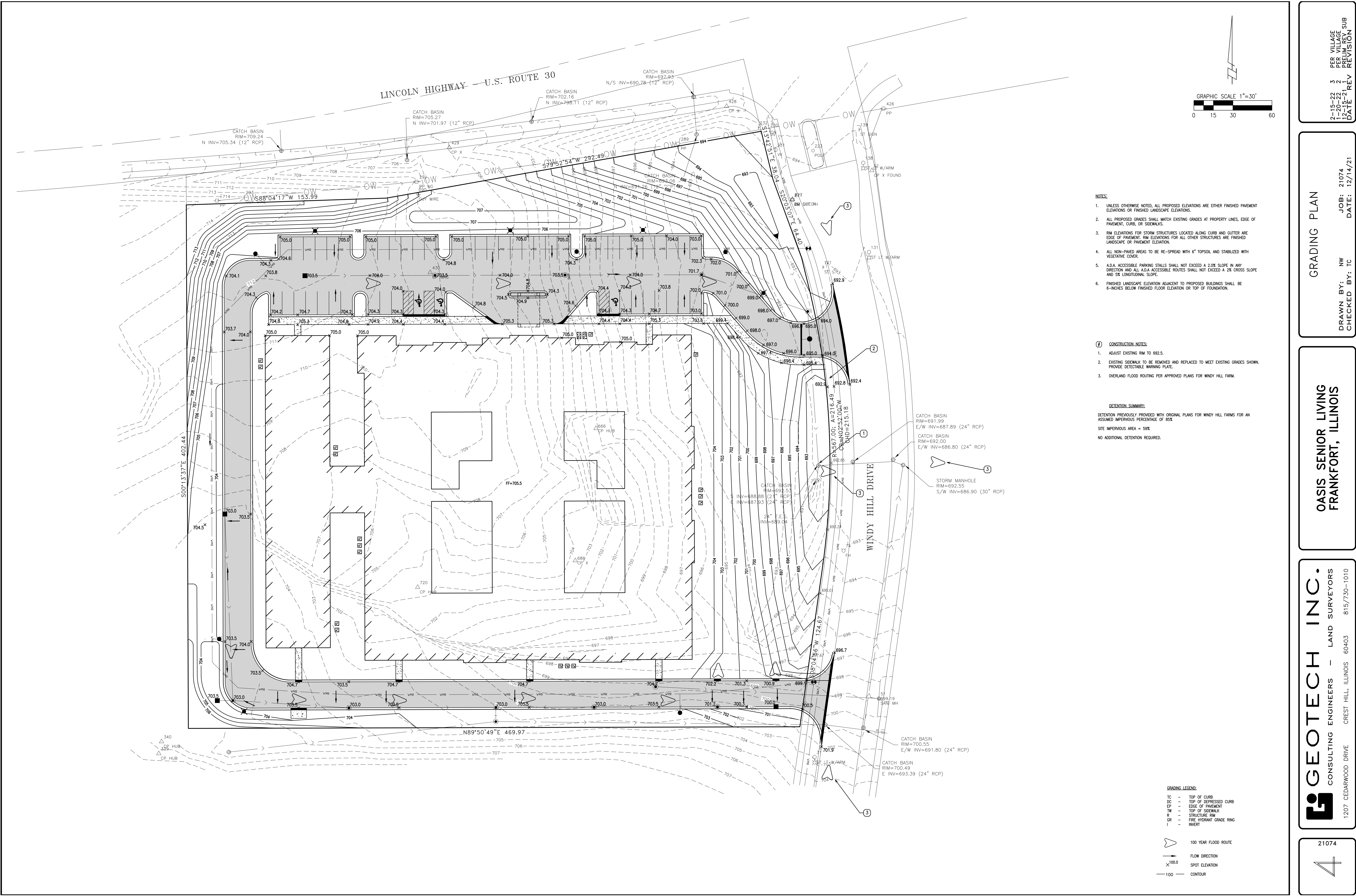
#### CONSTRUCTION NOTES:

- ADA PARKING SPACE AND SIGNAGE (TYPICAL), SEE DETAIL.
- SAWCUT EXISTING B6.12 CURB AND GUTTER TO CREATE DEPRESSED CURB AND GUTTER FOR ENTRANCE. SEE DETAIL FOR CONNECTING TO EXISTING CURB.
- PROVIDE DEPRESSED CURB FOR ADA RAMP. PROVIDE WARNING PLATES. PROVIDE FLARES TO TRANSITION FROM FULL HEIGHT CURB TO DEPRESSED CURB.
- 5' DEPRESSED CURB FOR OVERLAND FLOW.
- COVERED CANOPY, SEE ARCHITECTURAL PLANS FOR DETAILS.
- CONCRETE PAD FOR DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS.

#### PAVEMENT LEGEND:

	BITUMINOUS PAVEMENT: 1.5" HMA SURFACE, MIX D, N50 2.5" HMA BINDER, IL19, N50 6" AGGREGATE, TYPE B, CA-6
	CONCRETE PAVEMENT (4,000 PSI): 6" PCC (8" ENTRANCE APRONS) 4" AGGREGATE BASE, TYPE B, CA-6 W/6"x6"-W2.9Wx2.9 W.W.F.
	PCC SIDEWALK: 5" PCC, 4,000 PSI 3" AGGREGATE, CAT
	B6.12 CURB & GUTTER
	B6.12 CURB & GUTTER (REVERSE PITCH)
	DEPRESSED CURB & GUTTER





GRADING PLAN

DRAWN BY: NW  
CHECKED BY: TC

JOB: 21074  
DATE: 12/14/21

**GEO TECH INC.**  
CONSULTING ENGINEERS - LAND SURVEYORS

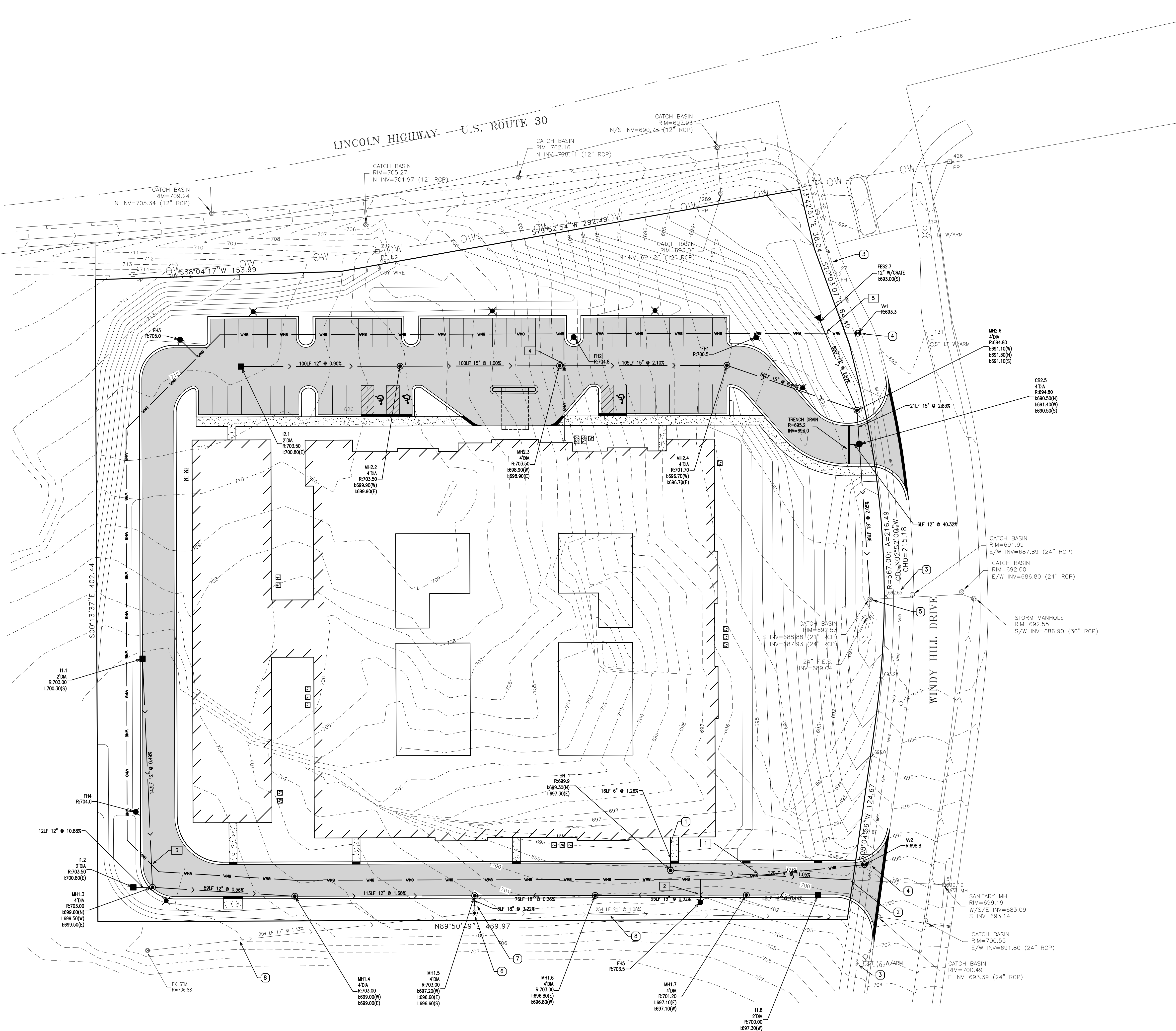
1207 CEDARWOOD DRIVE  
CREST HILL, ILLINOIS 60403 815/730-1010

21074

PER VILLAGE 3  
PER VILLAGE 2  
PRELIM REV SUB 1  
DATE REV REVISION



P:\Projects\G1074\Engineering\DWG\1074 base.dwg  
PldDate: 2/15/2022 1:01 PM Layout: UTILITY PLAN



NOTES:

- EXISTING UTILITIES HAVE BEEN SHOWN SCHEMATICALLY FOR REFERENCE BASED ON BEST AVAILABLE DATA. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UTILITIES THAT MAY BE AFFECTED PRIOR TO BEGINNING CONSTRUCTION.
- ALL UTILITY LENGTHS ARE TO CENTER OF STRUCTURE.
- ALL EXISTING AND PROPOSED UTILITY RIMS, GRADE RINGS, PEDESTALS, ETC. SHALL BE ADJUSTED AS REQUIRED TO MEET PROPOSED GRADES.
- SELECT GRANULAR TRENCH BACKFILL (CA-7) MATERIAL SHALL BE PROVIDED FOR ALL TRENCHES LOCATED WITHIN TWO FEET OF PAVEMENT, CURB, DRIVEWAYS, AND SIDEWALKS.
- WHERE INDICATED ON PLANS, PROPOSED WATER MAIN SHALL BE LOWERED TO ELEVATION SHOWN TO PROVIDE MINIMUM 18" VERTICAL SEPARATION FROM SEWER LINES. SEE SPECIFICATIONS FOR ADDITIONAL DETAILS.
- RIM ELEVATIONS PROVIDED FOR STORM STRUCTURES LOCATED IN CURB AND GUTTER ARE EDGE OF PAVEMENT ELEVATIONS.
- LIGHT POLES LOCATIONS SHOWN FOR REFERENCE. DESIGN OF POWER SYSTEM TO SERVE PROPOSED POLES WILL BE BY OTHERS.
- UNLESS OTHERWISE NOTED, SANITARY SEWER PIPE SHALL BE PVC (C900), STORM SEWER PIPE SHALL BE RCP, AND WATER MAIN SHALL BE PVC (C900). SEE SPECIFICATIONS FOR ADDITIONAL DETAILS.

CONSTRUCTION NOTES:

- 6" PVC SANITARY SEWER STUB: STUB 5' FROM BUILDING, STUB INV=699.5.
- CONNECT TO EXISTING 8" SANITARY STUB. APPROXIMATE INV=684.0, VERIFY LOCATION AND ELEVATION OF EXISTING STUB IN FIELD.
- APPROXIMATE LOCATION OF EXISTING WATERMAIN. VERIFY LOCATION AND ELEVATION IN FIELD.
- PROVIDE PRESSURE CONNECTION WITH VAULT TO EXISTING WATERMAIN, SEE DETAIL.
- CONNECT TO EXISTING MANHOLE WITH CORE DRILL AND BOOT, INV=688.5.
- APPROXIMATE LOCATION OF EXISTING STORM MANHOLE PER ORIGINAL WINDY HILL FARM IMPROVEMENT PLANS BY SDI CONSULTANTS DATED 2-3-2000. VERIFY IN FIELD.
- CONNECT TO EXISTING 18" STORM SEWER STUB, INV=696.4, VERIFY IN FIELD.
- EXISTING UTILITY INFORMATION PER WINDY HILL FARM AS-BUILT PLANS.

CONFLICT TABLE:

- T/SAN=691.5 ; B/WM=695.2
- INV/STM=697.0 ; DIP WM TO 695.5 ; SEE NOTE 5
- INV/STM=699.7 ; T/WM=697.7
- INV/STM=698.8 ; DIP WM TO 697.3 ; SEE NOTE 5
- INV=STM=692.8 ; T/WM=688.5

STRUCTURE/PIPE LEGEND:

- IN - INLET
- CB - CATCH BASIN
- MH - STORM MANHOLE (TYPE A)
- F - FLARED END SECTION WITH GRATE
- TD - TRENCH DRAIN
- W - WALK VAULT
- VB - VALVE BOX
- PH - FIRE HYDRANT ASSEMBLY
- PC - PRESSURE CONNECTION
- SN - SANITARY MANHOLE
- RCP - REINFORCED CONCRETE PIPE
- PVC - POLYVINYL CHLORIDE PIPE
- HDP - HIGH DENSITY POLYETHYLENE PIPE

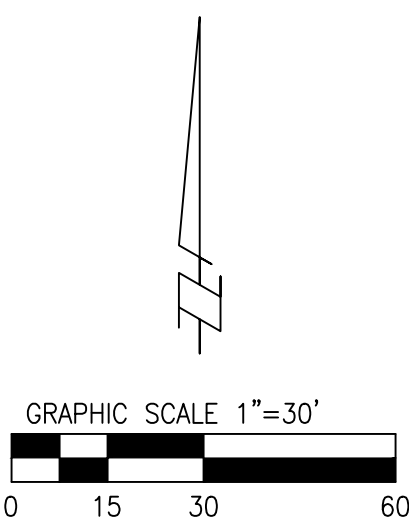
FRAME AND GRATE/LID LEGEND:

CONTRACTOR SHALL VERIFY MANUFACTURER & MODEL NUMBERS WITH PERMITTING ENTITY. EQUIVALENT CASTINGS MAY BE SUBSTITUTED FOR EJM MODELS WITH APPROVAL OF THE PERMITTING ENTITY. ALL LIDS SHALL BE EMBROSSED WITH "STORM", "WATER", OR "SANITARY" AS APPLICABLE AND THE NAME OF THE MUNICIPALITY.

STORM:  
UNPAVED AREAS/PARKING AREAS: EJM 1020, TY. M2 GRATE  
ROLLED CURB & GUTTER: EJM 7522  
88.12 CURB & GUTTER: EJM 7210, TY. M1 GRATE & T1 BACK  
DEPRESSED CURB & GUTTER: EJM 7210, TY. M3 GRATE

SANITARY: EJM 1020 TY. A SOLID COVER

WATER: EJM 1020 TY. A SOLID COVER



OASIS SENIOR LIVING  
FRANKFORT, ILLINOIS

GEOTECH INC.  
CONSULTING ENGINEERS - LAND SURVEYORS  
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

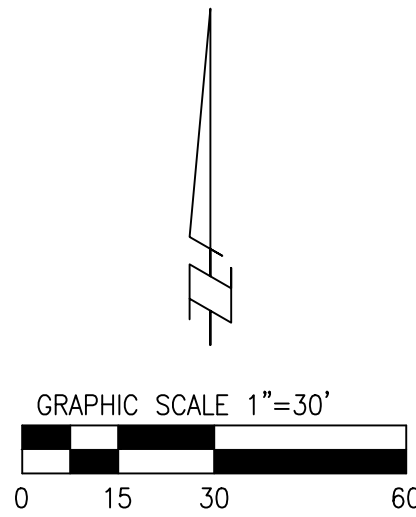
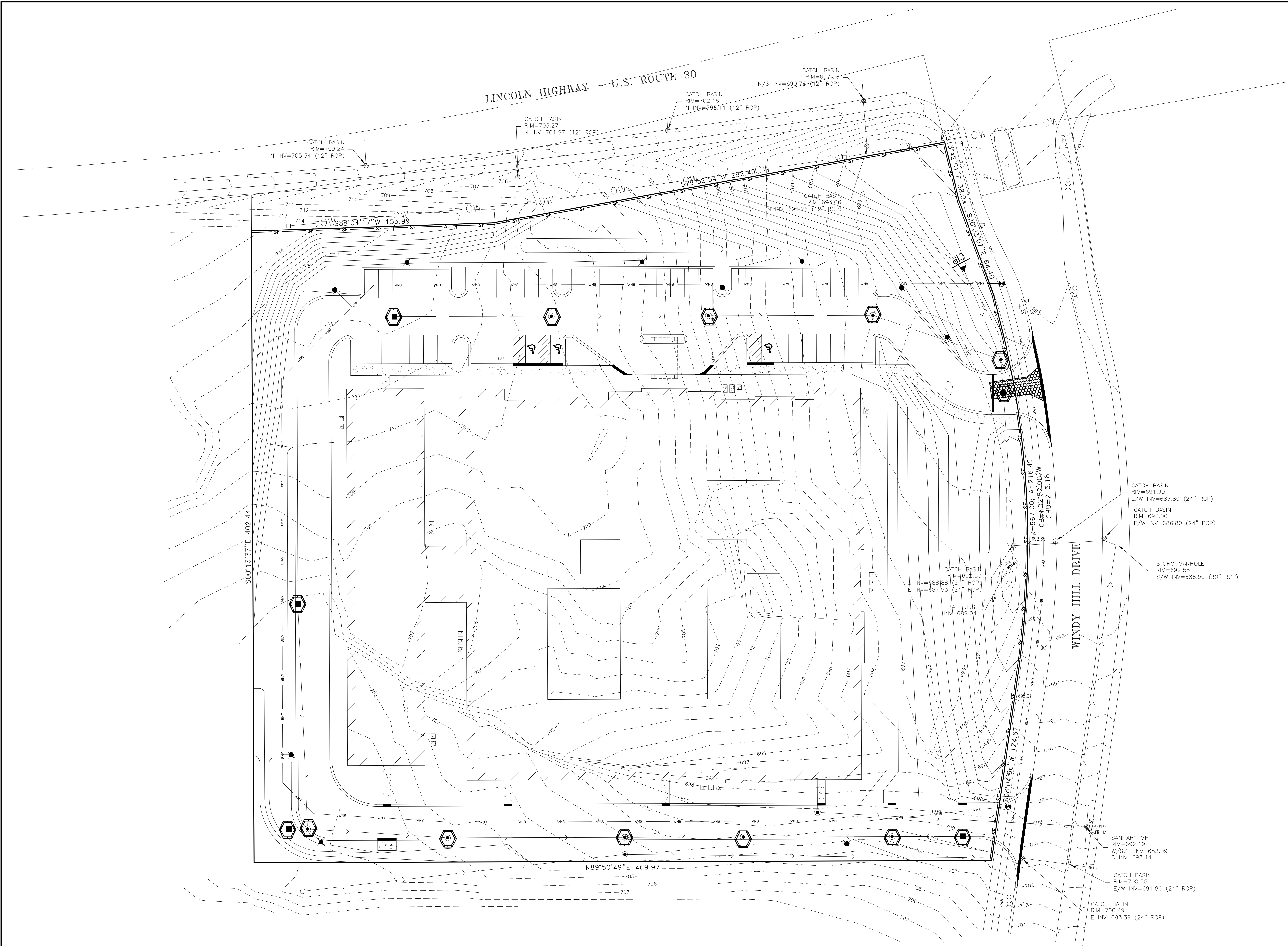
21074

UTILITY PLAN

DRAWN BY: NW  
CHECKED BY: TC  
JOB: 21074  
DATE: 12/14/21

2-15-22 3  
1-20-22 2  
12-15-21 1  
DATE REV  
PER VILLAGE  
PRELIM REV SUB  
REVISION





- LEGEND
- INLET PROTECTION
  - STABILIZED CONSTRUCTION ENTRANCE
  - SILT FENCING
  - CULVERT INLET PROTECTION - SILT FENCE
  - PIPE OUTLET TO FLAT AREA
  - ROCK CHECK DAM - RIPRAP
  - DITCH CHECK - COIR LOG

- NOTES:
- APPROPRIATE EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
  - CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL AND MAINTAINING ADJACENT ROADWAYS TO BE CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE, INSPECTION, AND REMOVAL OF ALL EROSION AND SEDIMENT CONTROL MEASURES.
  - REFER TO THE STORMWATER POLLUTION PREVENTION PLAN FOR DETAILS AND ADDITIONAL INFORMATION.
  - LOCATION OF TEMPORARY CONCRETE WASHOUT FACILITY, IF NECESSARY, TO BE DETERMINED BY CONTRACTOR PER DETAIL ON STORMWATER POLLUTION PREVENTION PLAN.
  - LOCATION OF TEMPORARY TOPSOIL OR MATERIAL STOCKPILE, IF NECESSARY, TO BE DETERMINED BY CONTRACTOR. SILT FENCING TO BE PROVIDED AROUND PERIMETER OF ANY STOCKPILES. SEE DETAIL.
  - UNLESS OTHERWISE DIRECTED BY THE CLIENT, CONTRACTOR SHALL COORDINATE WITH OWNER/DEVELOPER REGARDING INSPECTIONS AND RECORD KEEPING REQUIRED AS PART OF THE NPDES PERMIT FOR RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

EROSION CERTIFICATE

THIS EROSION CONTROL PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND COMPLIES WITH THE URBAN SOIL EROSION CONTROL AND STANDARDS IN ILLINOIS MANUAL (LATEST EDITION) AND THE GENERALLY RECOGNIZED METHODS IN USE IN THE AREA.

THOMAS CARROLL, P.E.  
ILLINOIS PE #062-052783  
EXPIRES 11-30-2021

12/14/2021  
DATE

EROSION CONTROL PLAN

2-15-22 3

1-20-22 2

12-15-21 1

DATE REV

PER VILLAGE

PER VILLAGE

PRELIM REV

REVISION

OASIS SENIOR LIVING

FRANKFORT, ILLINOIS

GEOTECH INC.

CONSULTING ENGINEERS - LAND SURVEYORS

1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

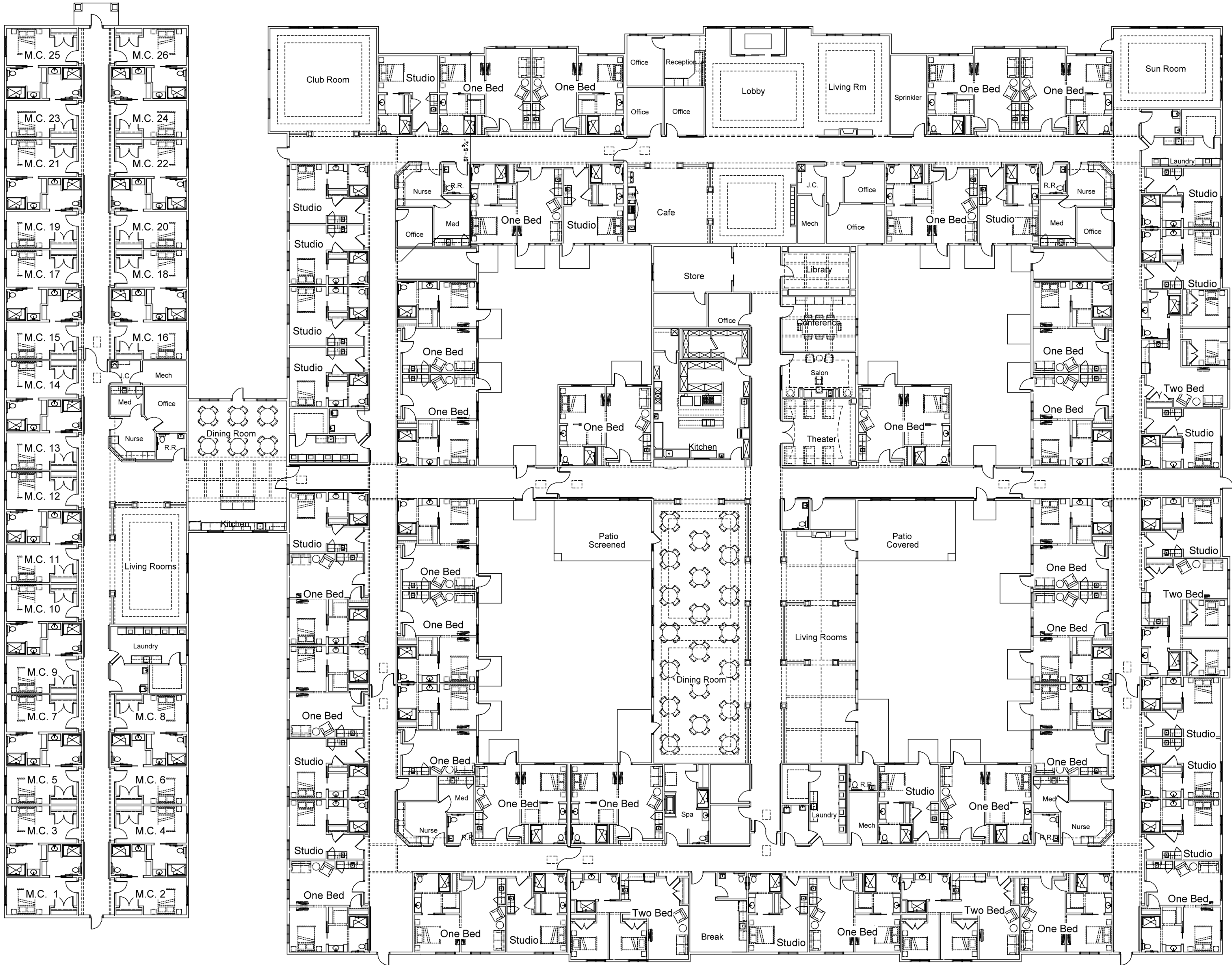
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By Christopher Gruba at 11:50 am, Dec 16, 2021



OVERALL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

65,697 sq. ft.

Unit Summary	Units	Beds	Area
Memory Care	26	26	303 sq. ft.
Studio	20	20	357 sq. ft.
One Bed	28	28	523 sq. ft.
Two Bed	4	8	745 sq. ft.
Total	78	82	

PROJECT

OASIS SENIOR LIVING FACILITY

PROJECT NO.

21-312

SEIDEL'S ARCHITECTS

COMMERCIAL  
114 N. COURT AVE., STE. 201  
PO BOX 2893  
GAYLORD, MICHIGAN

RESIDENTIAL  
NEW SENIOR LIVING CENTER

INDUSTRIAL  
FRANKFORT, MICHIGAN

DRAWN BY

T.L.S.

CHECKED

T.L.S.

APPROVED BY

T.L.S.

DATE

01/21/21

PRINT DATE

ISSUED

DATE

12/01/21

OWNER REVIEW

DATE

DATE



*By Christopher Gruba at 9:35 am, Feb 16, 2022*



SCALE: 3/32" = 1'-0"




SCALE: 3/32" = 1'-0"



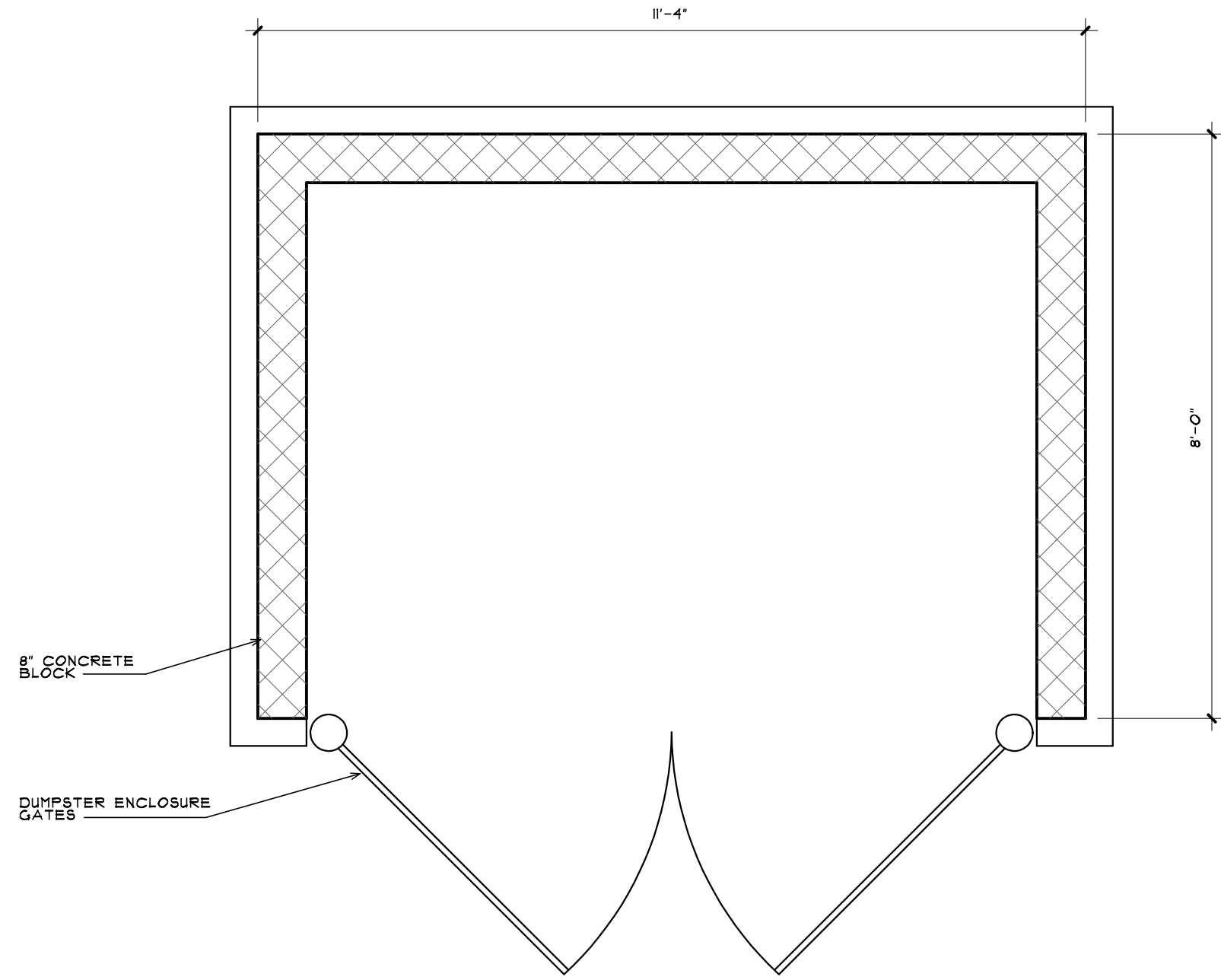
SCALE: 3/32" = 1'-0"



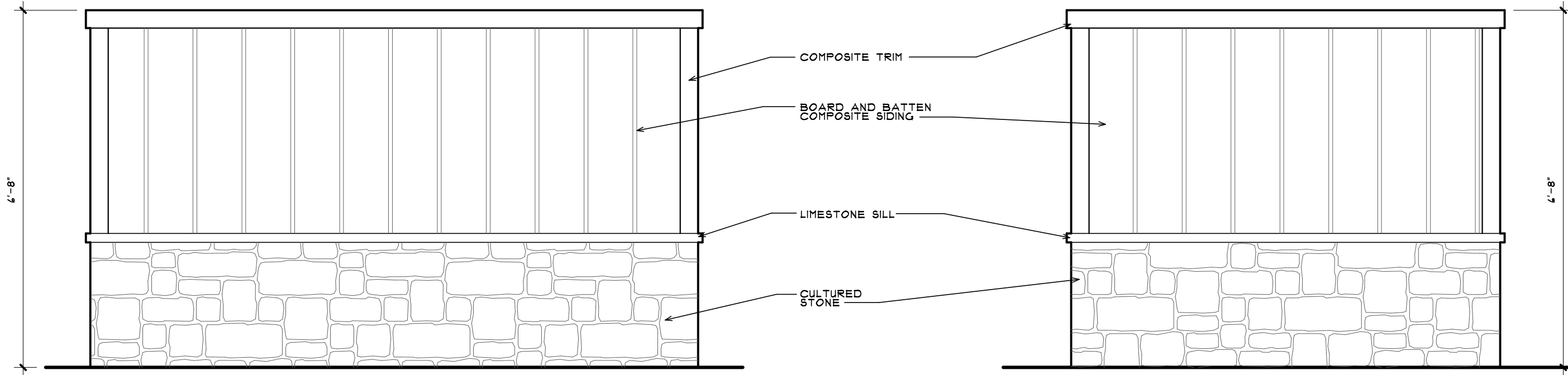
SCALE: 3/32" = 1'-0"

<div>PROJECT NO. 21-312</div> <div>SHEET</div> <div>A4.1</div>	<div>OASIS SENIOR LIVING FACILITY</div> <div>NEW SENIOR LIVING CENTER</div> <div>LINCOLN HIGHWAY</div> <div>FRANKFORD, ILLINOIS</div>	<div> <b>SEIDEL'S ARCHITECTS</b></div> <div>COMMERCIAL      RESIDENTIAL      INDUSTRIAL</div> <div>114 N. COURT AVE., STE. 201 POST OFFICE BOX 2499 SANDUSKY, MICHIGAN 49784</div> <div>PHONE (888) 731-0372 FAX (822) 731-0332</div>	<div>T.L.S.</div>			
			<div>CHECKED</div>	<div>02/14/22</div>	<div>OWNER REVIEW</div>	
			<div>APPROVED BY</div>	<div>T.L.S.</div>		
			<div>DATE</div>	<div>04/21/21</div>		
			<div>PRINT DATE</div>			



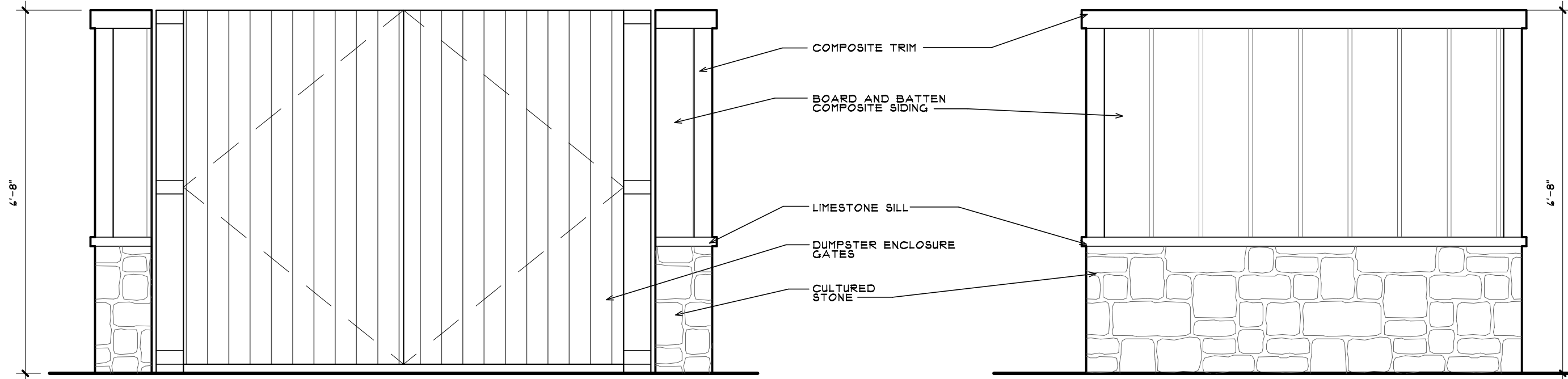


ENCLOSURE PLAN  
SCALE: 1/2" = 1'-0"




REAR ELEVATION  
SCALE: 1/2" = 1'-0"

SIDE ELEVATION  
SCALE: 1/2" = 1'-0"



FRONT ELEVATION  
SCALE: 1/2" = 1'-0"

SIDE ELEVATION  
SCALE: 1/2" = 1'-0"

SHEET	A1.5	PROJECT NO. 21-312	PROJECT OASIS SENIOR LIVING FACILITY	 <div>SEIDEL ARCHITECTS</div>	DRAIN BY	T.L.S.	ISSUED	DATE
					CHECKED	T.L.S.	OWNER REVIEW	02/14/22
					APPROVED BY	T.L.S.		
					DATE	09/27/21		
					PRINT DATE			
<div><div>COMMERCIAL</div><div>RESIDENTIAL</div><div>INDUSTRIAL</div></div> <div>114 N. COURT AVE., STE. 201 GAYLORD, MICHIGAN 49734 PHONE (888) 731-0372 FAX (888) 731-6932</div>					NEW SENIOR LIVING CENTER			
					LINCOLN HIGHWAY FRANKFORT, ILLINOIS			

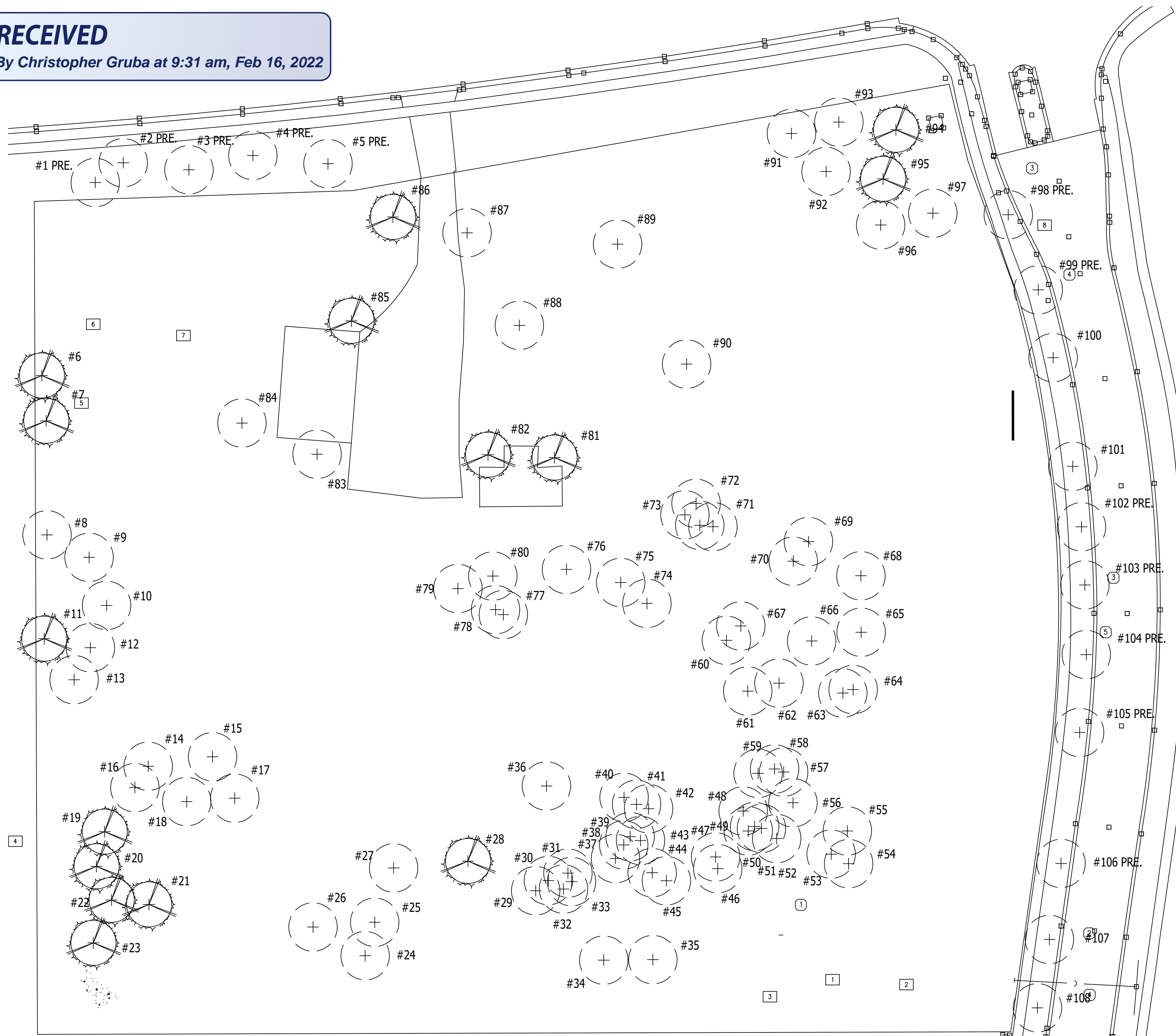


### EXISTING TREE LIST

TREE #	TREE NAME	REMARKS	DESIGNATION
1	SERVICEBERRY - 9'		PRESERVE
2	CRABAPPLE - 4"		PRESERVE
3	CRABAPPLE- 4.5"		PRESERVE
4	CRABAPPLE- 4.5"		PRESERVE
5	CRABAPPLE- 5"		PRESERVE
6	WHITE PINE - 35'		REMOVE
7	WHITE PINE - 35'		REMOVE
8	CALLERY PEAR - 8"/8"	MULTI-STEM	REMOVE
9	CALLERY PEAR - 5"	MULTI-STEM	REMOVE
10	HONEYLOCUST (COMMON) - 8"	THORNY TRUNK	REMOVE
11	WHITE PINE - 35'		REMOVE
12	CRABAPPLE - 8"	OLD	REMOVE
13	CALLERY PEAR - 18"	POOR	REMOVE
14	COTTONWOOD - 11		REMOVE
15	BLACK WALNUT - 8"		REMOVE
16	COTTONWOOD- 16"		REMOVE
17	COTTONWOOD - 8"/17"	POOR/MULTI-STEM	REMOVE
18	BALD CYPRESS - <del>24"</del> 25'		REMOVE
19	BALD CYPRESS - <del>24"</del> 23'		REMOVE
20	BALD CYPRESS - <del>24"</del> 25'		REMOVE
21	BALD CYPRESS - <del>24"</del> 23'		REMOVE
22	BALD CYPRESS - <del>24"</del> 23'		REMOVE
23	BALD CYPRESS - <del>24"</del> 25'		REMOVE
24	RIVER BIRCH - 16"	DEAD	REMOVE
25	RIVER BIRCH - 18"		REMOVE
26	RIVER BIRCH - 21		REMOVE
27	ELM - 20"	POOR	REMOVE
28	WHITE PINE - 35'		REMOVE
29	HACKBERRY - 17"		REMOVE
30	HACKBERRY - 17"		REMOVE
31	HACKBERRY - 17"		REMOVE
32	HACKBERRY - 18"		REMOVE
33	HACKBERRY - 13"		REMOVE
34	COTTONWOOD - 27"		REMOVE
35	COTTONWOOD -30"		REMOVE
36	LINDEN - 50"	POOR	REMOVE
37	BLACK CHERRY - 10"	POOR	REMOVE
38	BLACK CHERRY - 13"		REMOVE
39	BLACK CHERRY - 11"		REMOVE
40	BLACK CHERRY - 13"		REMOVE
41	BLACK CHERRY - 10"		REMOVE
42	HACKBERRY - 13"		REMOVE
43	BLACK CHERRY - 10"		REMOVE
44	BLACK CHERRY - 10"		REMOVE
45	HACKBERRY - 12"/21"	MULTI-STEM	REMOVE
46	BLACK CHERRY - 8"		REMOVE
47	BLACK CHERRY - 14"	POOR	REMOVE
48	BLACK CHERRY - 10"		REMOVE
49	BLACK CHERRY - 10"		REMOVE
50	BLACK CHERRY - 11"	POOR	REMOVE
51	BLACK CHERRY - 9"	POOR	REMOVE
52	HACKBERRY - 21"		REMOVE
53	BLACK CHERRY - 16"		REMOVE
54	HACKBERRY - 19"		REMOVE
55	BLACK CHERRY - 17"		REMOVE
56	BLACK CHERRY - 15"		REMOVE
57	BLACK CHERRY - 12"		REMOVE
58	BLACK CHERRY - 14"		REMOVE
59	BLACK CHERRY - 14"		REMOVE
60	SWAMP WHITE OAK - 20"	LOW BRANCHED	REMOVE
61	DEAD		REMOVE
62	BLACK CHERRY - 27"		REMOVE
63	BLACK CHERRY - 12"/18"		REMOVE
64	HACKBERRY - 24"		REMOVE
65	BLACK CHERRY - 12"/12"	POOR/PARTIALLY DEAD	REMOVE
66	RED MAPLE - 9"		REMOVE
67	BLACK CHERRY - 23"	POOR	REMOVE
68	BLACK CHERRY - 15"		REMOVE
69	BLACK CHERRY - 20"/20"	MULTI-STEM	REMOVE
70	BLACK CHERRY - 16"/18"	MULTI-STEM	REMOVE
71	MULBERRY - 8"-10"	MULTI-STEM	REMOVE
72	HACKBERRY - 8.5"	DEAD	REMOVE
73	BLACK CHERRY - 16"		REMOVE
74	PEAR - 10"		REMOVE
75	ASH - 8"		REMOVE
76	MAPLE - 38"	SLIVER MAPLE	REMOVE
77	ELM - 27"		REMOVE
78	ELM - 21"		REMOVE
79	PEAR - 13"		REMOVE
80	PEAR - 11"		REMOVE
81	SPRUCE - 30'		REMOVE
82	SPRUCE - 30'		REMOVE
83	CALLERY PEAR - 4"-7"	MULTI-STEM	REMOVE
84	CALLERY PEAR - 7"/7"	MULTI-STEM	REMOVE

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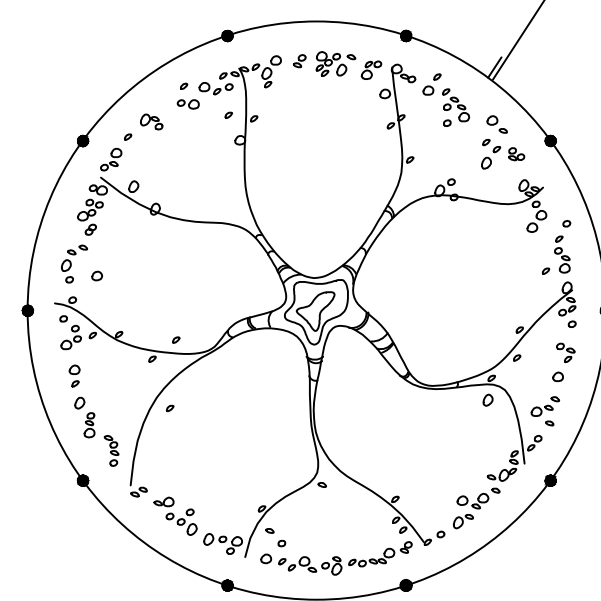
*By Christopher Gruba at 9:31 am, Feb 16, 2022*



ALL EXISTING LANDSCAPING NOTED FOR PRESERVATION, SHALL BE PROTECTED DURING CONSTRUCTION VIA PLASTIC SAFETY FENCING. FENCING SHALL BE 4' HIGH AND ATTACHED TO STEEL DRIVEN POSTS SET NO FARTHER THAN 8' O.C. IT SHALL BE INSTALLED AT THE PERIPHERY OF THE DRIP LINE OF EXISTING PLANT MATERIAL OR BEYOND TO PREVENT STORAGE OF VEHICLES OR MATERIALS AND THE ENCROACHMENT OF GRADING AND CONSTRUCTION EQUIPMENT.

CONSTRUCTION FENCING SHALL BE ERECTED PRIOR TO ANY GRADING OR CONSTRUCTION ACTIVITIES-PREVENTING COMPACTION OF ROOT SYSTEMS OF EXISTING TREES AND SHRUBS. THE FENCING SHALL ENCLOSE THE AREA BENEATH THE DRIP LINE OF THE TREE CANOPY AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED. NO PARKING, MATERIAL STORAGE OR CONSTRUCTION ACTIVITIES SHALL BE PERMITTED WITHIN THE FENCED AREA.

ORANGE POLYETHYLENE SAFETY FENCING



### TREE PRESERVATION DETAIL

NTS

## LEGEND

EXISTING DECIDUOUS TREE -  
TO BE PRESERVED

EXISTING DECIDUOUS TREE  
TO BE REMOVED

EXISTING EVERGREEN TREE -  
TO BE REMOVED

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## REVISIONS

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\_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

2 Per City Review 2/15/22

\_\_\_\_\_

1 Per City Review 1/11/22

# OASIS SENIOR LIVING

FRANKFORT, IL



**Landscape Architecture  
Park & Recreation Design  
Site & Community Plannin**

[www.ivesryangroup.com](http://www.ivesryangroup.com)

EXISTING  
TREE  
PLAN

PROJECT NO.: JOB NO.:

L1721 9317

DATE: 12/15/21

SCALE: 1" = 30'-0"

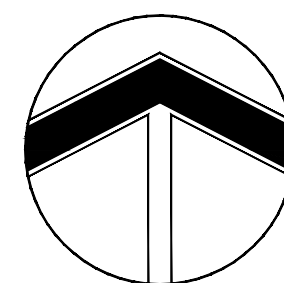
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DRAWN BY: RTP

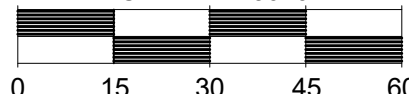
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SHEET

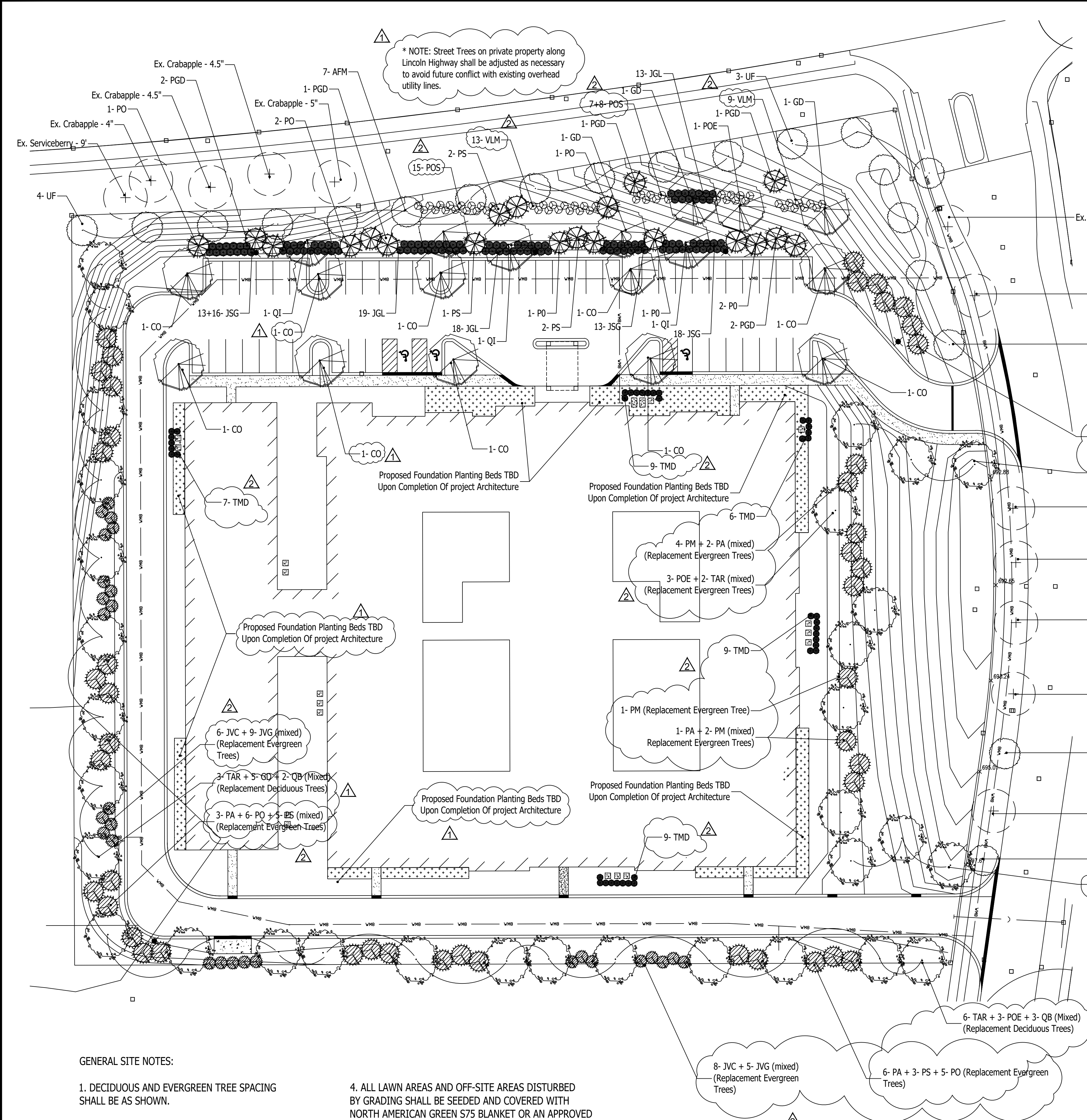
# TP-1



SCALE 1" = 30'-0"







GENERAL SITE NOTES:

1. DECIDUOUS AND EVERGREEN TREE SPACING SHALL BE AS SHOWN.
2. SELECTIVE PRUNING SHALL BE PERFORMED ON TREES AND SHRUBS AS NECESSARY.
3. ALL TREES SHALL RECEIVE A 4' MULCH RING FOLLOWING INSTALLATION.
4. ALL LAWN AREAS AND OFF-SITE AREAS DISTURBED BY GRADING SHALL BE SEEDED AND COVERED WITH NORTH AMERICAN GREEN S75 BLANKET OR AN APPROVED EQUAL.
5. PLANT LOCATION MAY VARY PENDING FIELD VERIFICATION OF GRADING AND UTILITIES.
6. SEE ENGINEERING PLANS FOR GRADING, UTILITIES, EASEMENTS, RETAINING WALLS, ETC.

\* NOTE: Street Trees on private property along Lincoln Highway shall be adjusted as necessary to avoid future conflict with existing overhead utility lines.

PLANT LIST

KEY QUAN BOTANICAL NAME

COMMON NAME

SIZE/  
TYPE

SPACING

DECIDUOUS SHADE TREES

AFM	11	Acer f. 'Marmo'	Marmo Freeman Maple	2.5" BB	As Shown
CO	10	Celtis occidentalis	Common Hackberry	2.5" BB	As Shown
GD	5	Gymnocladu d. 'Expresso'	Expresso Kentucky Coffee Tree	3" BB	As Shown
GD	3	Gymnocladu d. 'Expresso'	Expresso Kentucky Coffee Tree	2.5" BB	As Shown
POE	6	Platinus o. 'Exclamation'	Exclamation London Planetree	3" BB	As Shown
POE	3	Platinus o. 'Exclamation'	Exclamation London Planetree	2.5" BB	As Shown
QB	5	Quercus bicolor	Swamp White Oak	3" BB	As Shown
QB	0	Quercus bicolor	Swamp White Oak	2.5" BB	As Shown
QI	6	Quercus imbricaria	Shingle Oak	3" BB	As Shown
QI	3	Quercus imbricaria	Shingle Oak	2.5" BB	As Shown
TAR	11	Tilia a. 'Redmond'	Redmond American linden	3" BB	As Shown
UF	7	Ulmus 'Frontier'	Frontier Elm	2.5" BB	As Shown

EVERGREEN TREES

JVC	14	Juniperus v. 'Canaertii'	Canaerti Eastern Cedar	6' BB	As Shown
JVG	14	Juniperus v. 'Glaucia'	Silver Eastern Cedar	6' BB	As Shown
PA	15	Picea abies	Norway Spruce	6' BB	As Shown
PGD	7	Picea glauca 'Densata'	Black Hills Spruce	6' BB	As Shown
PO	17	Picea omorika	Serbian Spruce	6' BB	As Shown
PS	15	Pinus strobus	Eastern White Pine	6' BB	As Shown
PM	15	Pseudotsuga mezesii	Eastern White Pine	6' BB	As Shown

DECIDUOUS SHRUBS & SHRUB ROSES

POS	30	Physocarpus o. 'Seward'	Summer Wine Ninebark	3' BB/Cont.	4'- O.C.
VLM	22	Viburnum l. 'Mohican'	Mohican Nannyberry Viburnum	3' BB/Cont.	4'- O.C.

EVERGREEN SHRUBS

JGL	50	Juniperus c. 'Gold Lace'	Gold Lace Juniper	24" BB/Cont.	
JSG	60	Juniperus c. 'Sea Green'	Sea Green Juniper	24" BB	
TMH	40	Taxus m. 'Hicksii'	Hicks Yew	30" BB	

MATERIAL & LABOR LIST:

QUAN ITEM

DESCRIPTION

T.B.D.S.Y.	Erosion Control- Straw	S75 Straw Erosion Control Blanket 10 Month Degradability Available From: North American Green PH: 1-800-772-2040
T.B.D.SY	Seed	Kentucky Bluegrass Blend (mineral base)
T.B.D.SY	Sod	Kentucky Bluegrass Blend (mineral base)
60	CY Mulch	Shredded Hardwood Bark

LEGEND

DECIDUOUS STREET TREE - 2.5"

DECIDUOUS SITE TREE - 2.5"

DECIDUOUS PRES. REPLACEMENT TREE- 3.0"

ORNAMENTAL TREE - 2.5"/6" cl.

EVERGREEN TREE - 6'

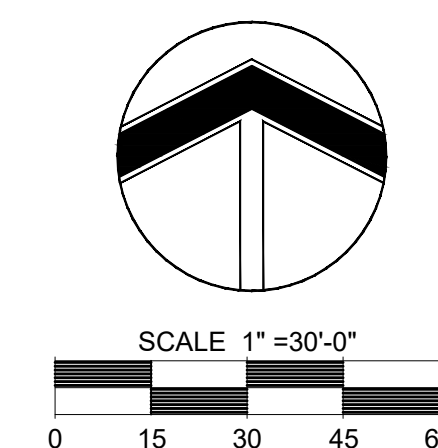
EVERGREEN PRES. REPLACEMENT TREET 6'

EVERGREEN SHRUB - 24"/5 Gal.

LARGE DECIDUOUS SHRUB 36" BB/Cont..

EXISTING TREES TO REMAIN

CALL  
JULIE  
48 HOURS  
BEFORE YOU DIG  
1-800-892-0123  
TOLL FREE  
Operates 24 Hours  
Every Day



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REVISIONS

2	Per City Review	2/15/22
1	Per City Review	1/11/22

OASIS SENIOR  
LIVING  
FRANKFORT, IL

**IRG** Ives/Ryan Group, Inc.  
1741 S. Wiesbrook Road  
Wheaton, IL 60189  
PHONE: 630.7380725  
Landscape Architecture  
Park & Recreation Design  
Site & Community Planning  
www.ivesryangroup.com

PRELIMINARY  
LANDSCAPE  
PLAN

PROJECT NO.: JOB NO.:  
L1721 9317

DATE: 12/15/21  
SCALE: 1" = 30'-0"  
PLANNER: RTP/JMR  
DRAWN BY: RTP  
CHECKED: JMR

SHEET  
L-1

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By Christopher Gruba at 9:32 am, Feb 16, 2022



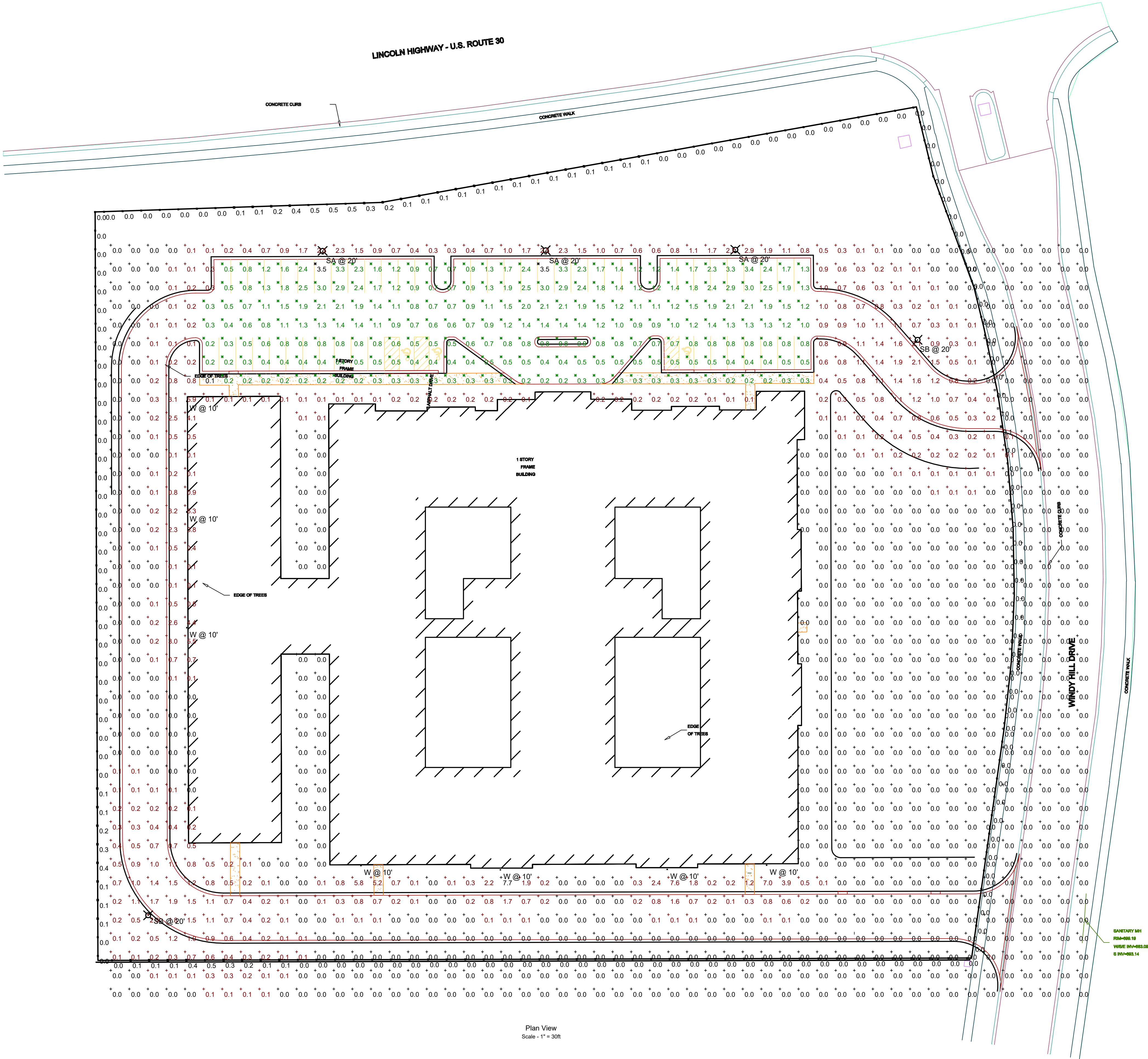
Schedule										
Symbol	Label	Height	Quantity	Calculation	Description	Number	Location	Height	Package	Price
SA			1	1.0000	1.0000	1	1.0000	1.0000	1.0000	1.0000
SB			1	1.0000	1.0000	1	1.0000	1.0000	1.0000	1.0000
W			1	1.0000	1.0000	1	1.0000	1.0000	1.0000	1.0000

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone Entire Site	+	0.4 fc	7.7 fc	0.0 fc	N/A	N/A
Calc Zone Parking Area	X	1.1 fc	3.5 fc	0.1 fc	35.0:1	11.0:1
Calc Zone Property Line	□	0.0 fc	0.5 fc	0.0 fc	N/A	N/A

Luminaire Locations						
Location						
No.	Label	X	Y	MH	Orientation	Tilt
1	SA	120.90	381.45	20.00	180.00	0.00
2	SA	240.90	381.45	20.00	180.00	0.00
3	SA	342.90	382.20	20.00	180.00	0.00
1	SB	440.90	333.70	20.00	225.00	0.00
3	SB	27.15	24.45	20.00	45.00	0.00
1	W	47.75	300.75	10.00	270.00	0.00
2	W	47.75	241.25	10.00	270.00	0.00
3	W	47.75	179.00	10.00	270.00	0.00
4	W	141.50	51.00	10.00	180.00	0.00
5	W	216.50	48.75	10.00	180.00	0.00
6	W	306.25	49.00	10.00	180.00	0.00
7	W	359.75	51.25	10.00	180.00	0.00

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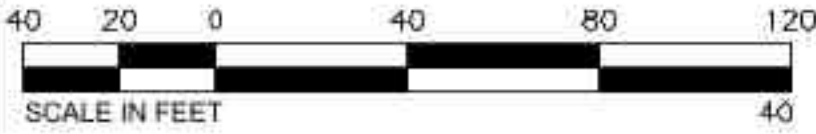
By Christopher Gruba at 9:38 am, Feb 16, 2022



Plan View  
Scale - 1" = 30ft



HAMPTON MANOR OF WOODHAVEN  
PART OF THE N.E. 1/4 OF SECTION 28, T.4S., R.10E.  
CITY OF WOODHAVEN, WAYNE COUNTY, MICHIGAN



NORTH 1/4 CORNER  
SECTION 28,  
T. 4 S., R. 10 E.

EXAMPLE IN WOODHAVEN, MI

**LEGAL DESCRIPTION:** PARCEL #: 59-079-99-0001-711  
PART OF THE NORTHEAST CORNER OF SECTION 28, TOWN 4 SOUTH,  
RANGE 10 EAST, CITY OF WOODHAVEN, WAYNE COUNTY, MICHIGAN  
DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SECTION 28; THENCE  
S89°56'40"W 363.83 FEET; THENCE; S01°13'46"W 60.02 FEET; THENCE  
S89°56'40"W 43.01 FEET; THENCE S89°56'40"W, 489.81 FEET; THENCE  
S00°03'20"E, 448.33 FEET; THENCE 69.23 FEET ALONG AN ARC 140.00  
FOOT RADIUS CIRCLE, CHORD BEARING S14°13'20"E, 68.53 FEET;  
THENCE S28°23'19"E, 135.76 FEET; THENCE N61°36'41"E, 660.68 FEET;  
THENCE N28°23'19"W, 364.36 FEET TO THE POINT OF BEGINNING.  
CONTAINING 6.7777 ACRES OF LAND.

**SITE DATA:**

ZONING: R-M, MULTIPLE-FAMILY RESIDENTIAL

SITE AREA: 295,237 FT<sup>2</sup>  
6.7777 ACRES

BUILDING HEIGHT: 20 FEET  
BUILDING AREA: 62,110 FT<sup>2</sup>

MAX LOT COVERAGE: 25%  
LOT COVERAGE: 21.0%

MINIMUM SETBACKS:  
FRONT YARD (1.5 x BLDG HT)+(1FT/10 L.F.)  
(1.5 x 20)+(1/220)  
52 FEET

SIDE YARD: 30 FEET  
REAR YARD: 30 FEET

NUMBER OF UNITS: 76  
5 - 2 BED UNITS  
71 - 1 BED UNITS

PARKING REQUIREMENTS: 1 SPACE / 4 BEDS  
REQUIRED: 21 SPACES

PROVIDED: 5 SPACES HANDICAP  
50 SPACES REGULAR  
55 SPACES TOTAL

**BENCHMARKS: NGVD 29**

BM#1  
HYDRANT ARROW  
SOUTH SIDE OF COMMERCE 2ND  
HYDRANT EAST OF RESEARCH  
ELEVATION: 598.64

BM#2  
HYDRANT ARROW  
SOUTH SIDE OF COMMERCE 1ST  
HYDRANT EAST OF RESEARCH  
ELEVATION: 598.36

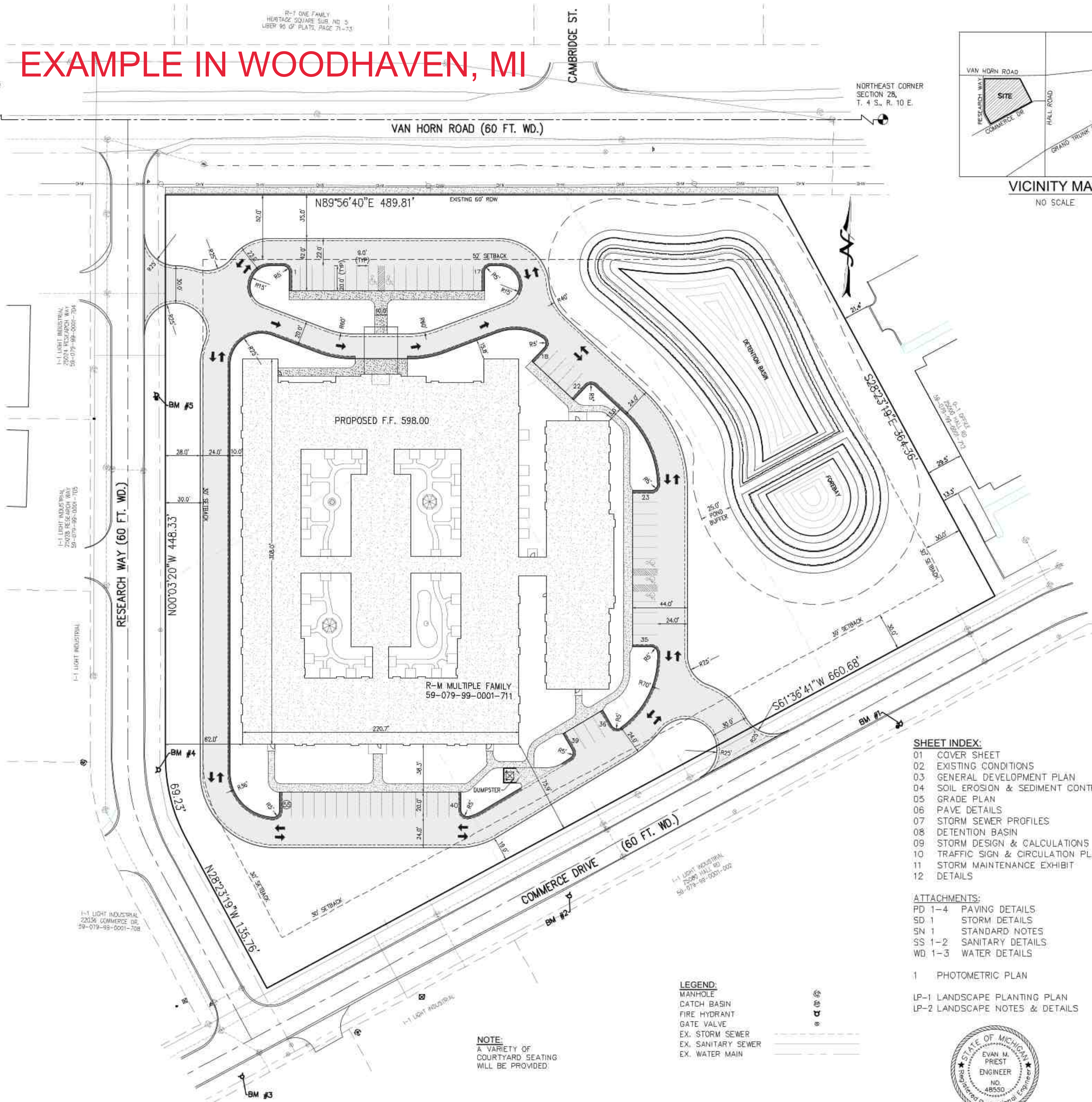
BM#3  
HYDRANT ARROW  
SOUTH SIDE OF COMMERCE @  
RESEARCH INTERSECTION  
ELEVATION: 597.96

BM#4  
HYDRANT ARROW  
EAST SIDE OF RESEARCH 1ST  
SOUTH OF VAN HORN  
ELEVATION: 598.43

BM#5  
HYDRANT ARROW  
EAST SIDE OF RESEARCH 2ND  
SOUTH OF VAN HORN  
ELEVATION: 598.83

**WAYNE COUNTY DPS GENERAL NOTES:**

- ALL WORK WITHIN THE WAYNE COUNTY ROAD RIGHT-OF-WAY (ROW) AND DRAIN EASEMENT SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND GENERAL SPECIFICATIONS, INCLUDING SOIL EROSION AND SEDIMENTATION CONTROL OF THE WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES, AND MDOT 2012 SPECIFICATIONS FOR CONSTRUCTION.
- THESE PLANS ARE NOT VALID WITHOUT ATTACHMENT OF THE WAYNE COUNTY PERMIT SPECIFICATIONS FOR CONSTRUCTION WITHIN THE ROAD ROW, PARKS, DRAIN EASEMENT OR SANITARY SEWER UNDER JURISDICTION OF THE WAYNE COUNTY (07/01/93) REVISED 12/19/2004.
- CONTRACTOR SHALL CONTACT MISS DIG AT 811 TO IDENTIFY AND FLAG/MARK THE LOCATIONS OF ALL UNDERGROUND UTILITIES AT THE PROPOSED CONSTRUCTION AREAS PRIOR TO START OF CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES, AND RESOLVE ANY CONFLICT BETWEEN THE PROPOSED WORK AND THE EXISTING UNDERGROUND OR ABOVEGROUND UTILITIES.
- CONTRACTOR SHALL MAINTAIN 18" MINIMUM VERTICAL CLEARANCE AND 3 FEET MINIMUM HORIZONTAL CLEARANCE BETWEEN THE PROPOSED AND EXISTING UTILITIES. ANY PROPOSED UTILITY PERMITTED TO CROSS UNDER THE ROAD OR DRAIN, MUST BE PLACED A MINIMUM OF 7 FEET BELOW THE LOWEST POINT OF THE ROAD, OR 6 FEET BELOW THE DRAIN BOTTOM. OVERHEAD WIRES/CABLES MUST BE INSTALLED 18 FEET MINIMUM ABOVE THE ROAD CENTERLINE. TO RELOCATE ANY UTILITY WITHIN THE ROAD ROW, THE CONTRACTOR SHALL COORDINATE THE RELOCATION WITH THE UTILITY COMPANY AND AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
- ALL SURVEY MONUMENTS / CORNERS AND BENCH MARKS LOCATED WITHIN THE CONSTRUCTION AREA MUST BE PRESERVED IN ACCORDANCE WITH PUBLIC ACT 74 AS AMENDED (INCLUDING ACT 34, P.A. 2000) AND AS PER WAYNE COUNTY PERMIT RULE 1.5. THE PERMIT HOLDER AND CONTRACTOR SHALL COORDINATE THE WORK WITH A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF MICHIGAN DURING CONSTRUCTION ACTIVITIES FOR THE PURPOSE OF WITNESSING, PRESERVING OR REPLACING SURVEY MONUMENTS AND MONUMENT BOXES.
- EXPOSURE OF ANY UTILITIES UNDER THE PAVEMENT WILL NOT BE PERMITTED, UNLESS APPROVED BY THE WAYNE COUNTY ENGINEER. PAVEMENT REMOVAL AND REPLACEMENT SHALL BE PERFORMED PER APPLICABLE WAYNE COUNTY STANDARD DETAILS AS AN AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS WITHIN THE WAYNE COUNTY ROAD ROW AND DRAIN EASEMENT WITH 3" TOPSOIL, 14M SEED MIX AND MULCH. SLOPES STEEPER THAN 1 ON 3 SHALL BE RESTORED BY PLACING SOD ON 2" TOPSOIL.
- ALL BACKFILLS UNDER OR WITHIN 3 FEET OF THE PROPOSED OR EXISTING PAVEMENT, CURB OR SIDEWALK SHALL CONFORM TO THE WAYNE COUNTY TRENCH "B" BACKFILL REQUIREMENTS. TRENCH "A" BACKFILL MAY BE USED WITHIN THE ROAD ROW AREAS UNDER CONDITIONS OTHER THAN THOSE SPECIFIED FOR TRENCH "B".
- CONTRACTOR IS RESPONSIBLE FOR RESTORING OR REPLACING ALL DISTURBED LANDSCAPED AREAS, SPRINKLER SYSTEMS, FENCES, SIGNS, MAIL BOXES, ETC. WITHIN THE WAYNE COUNTY ROAD ROW AND / OR AS DIRECTED BY THE COUNTY ENGINEER.
- CONTRACTOR SHALL MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES. OTHERWISE, DETOURING TRAFFIC MUST BE PER APPROVED PLANS. ALL SIGNING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF M.M.U.T.C.D.
- MAINTAIN A SAFE AND ADEQUATE TRAVEL ROUTE FOR PEDESTRIANS AT ALL TIMES THROUGHOUT THE PROJECT DURATION.
- TUNNELING, BORING AND JACKING OPERATIONS SHALL BE IN ACCORDANCE WITH THE WAYNE COUNTY SPECIFICATIONS AND DETAILS. BORE PITS SHALL BE PLACED AT MINIMUM 10 FEET FROM THE BACK OF CURB OR EDGE OF PAVEMENT.
- REMOVE ALL ABANDONED CONDUITS FROM THE COUNTY ROADS ROW OR AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
- CONTRACTOR SHALL PROVIDE COLD WEATHER PROTECTION FOR ALL PROPOSED CONCRETE WORK (PAVEMENTS, SIDEWALKS, DRIVE APPROACHES, ETC.) AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
- OVERNIGHT VEHICLE PARKING AND STORAGE OF CONSTRUCTION MATERIALS AND EQUIPMENT ARE NOT PERMITTED WITHIN THE WAYNE COUNTY ROADS RIGHTS-OF-WAY.
- CONTRACTOR SHOULD OBTAIN SOIL EROSION AND SEDIMENTATION CONTROL PERMIT FROM THE WAYNE COUNTY DPS-ESQ. CONTACT THE ENVIRONMENTALIST AT (734) 326-3930.
- CONTRACTOR SHALL NOTIFY THE WAYNE COUNTY TRAFFIC SIGNAL SHOP AT (734) 955-2154 AT LEAST 72 HOURS PRIOR TO START OF WORK AT OR NEAR ANY SIGNALIZED INTERSECTIONS.
- CONTRACTOR SHALL NOTIFY WAYNE COUNTY 48 HOURS PRIOR TO START OF CONSTRUCTION. CONTACT THE PERMIT OFFICE AT (734) 955-8504 EXTENSION 2009.
- PLACE PROPOSED UTILITIES UNDER WAYNE COUNTY JURISDICTION PER SEWER TRENCH "A" OR "B" DETAILS PER WAYNE COUNTY DETAIL 5-12 OR AS DIRECTED BY THE COUNTY ENGINEER.
- STORM SEWERS, DRAINAGE STRUCTURES, RISERS, OUTLETS, ETC. UNDER WAYNE COUNTY JURISDICTION SHALL BE WAYNE COUNTY TESTED MATERIAL. THE MANUFACTURERS MUST CONTACT THE WAYNE COUNTY TESTING OFFICE (734) 955-8504 EXT 2010 AT LEAST 72 HOURS PRIOR TO FABRICATION TO SCHEDULE INSPECTION DURING FABRICATION.



VICINITY MAP  
NO SCALE

- SHEET INDEX:**
- 01 COVER SHEET
  - 02 EXISTING CONDITIONS
  - 03 GENERAL DEVELOPMENT PLAN
  - 04 SOIL EROSION & SEDIMENT CONTROL
  - 05 GRADE PLAN
  - 06 PAVE DETAILS
  - 07 STORM SEWER PROFILES
  - 08 DETENTION BASIN
  - 09 STORM DESIGN & CALCULATIONS
  - 10 TRAFFIC SIGN & CIRCULATION PLAN
  - 11 STORM MAINTENANCE EXHIBIT
  - 12 DETAILS

- ATTACHMENTS:**
- PD 1-4 PAVING DETAILS
  - SD 1 STORM DETAILS
  - SN 1 STANDARD NOTES
  - SS 1-2 SANITARY DETAILS
  - WD 1-3 WATER DETAILS

- 1 PHOTOMETRIC PLAN
- LP-1 LANDSCAPE PLANTING PLAN
- LP-2 LANDSCAPE NOTES & DETAILS



COVER SHEET

HAMPTON MANOR OF WOODHAVEN  
SITE PLAN - PARCEL#:59-079-99-0001-711  
PART OF THE NORTHEAST 1/4 OF SECTION 28, T.4S., R.10E,  
CITY OF WOODHAVEN, WAYNE COUNTY, MICHIGAN

SHEET  
01

ENGINEERS, SURVEYORS  
**MLP**  
AND ASSOCIATES, INC.

Michael L. Priest & Associates, Inc.  
40655 Koppelnick Road, Canton, MI 48187  
phone: (734) 459-8560  
fax: (734) 459-2585

STATUS:

DATE: 05-23-2019

BY: EMP

PROPRIETOR

MR. SHAHD IMRAN  
HAMPTON MANOR PREMIER  
ASSISTED LIVING  
1320 RICKETT RD.  
BRIGHTON, MI 48116





61,784 TOTAL SQ. FT.		
UNIT TYPE	TOTAL	BARRIER FREE UNITS
MEMORY CARE	20-UNITS	12-UNITS
STUDIOS	18-UNITS	8-UNITS
ONE BED	19-UNITS	7-UNITS
ONE BED DELUXE	13-UNITS	13-UNITS
ONE BED DELUXE-A	1-UNIT	1-UNIT
TWO BED	5-UNITS	5-UNITS
	76-UNITS	46-UNITS

OVERALL FLOOR PLAN  
SCALE: 1/8" = 1'-0"

PROJECT	WOODHAVEN	PROJECT NO.	19-029
HOME FOR THE AGED	ADDRESS	CITY, STATE ZIP	
SEIDELLS ARCHITECTS	COMMERCIAL RESIDENTIAL INDUSTRIAL	191 N. COURT AVE. STE. 201 PO BOX 282 GAYLORD, MICHIGAN 49734	PHONE (989) 731-0372 FAX (989) 731-6932
DATE	3/12/19	OWNER REVIEW	
ISSUED		DATE	2/5/19
DATE		PRINT DATE	
DESIGN BY	T.L.S.	CHECKED BY	T.L.S.
APPROVED BY	T.L.S.	DATE	2/5/19



**Project:** Religious Retreat Center for Gracepoint Ministries  
**Meeting Type:** Workshop  
**Requests:** Zoning Map Amendment (Rezoning from E-R to R-2); Special Use Permit for a Planned Unit Development  
**Location:** 22660 Harlem Avenue  
**Applicant:** Gracepoint Ministries  
**Prop. Owner:** Same  
**Consultants:** None  
**Representative:** Richard J. Kavanaugh, Attorney  
**Report By:** Michael J. Schwarz, AICP

### Site Details

**Lot Size:** ±22.66 Acres  
**PIN(s):** 19-09-36-204-042-0000  
**Existing Zoning:** AG & R-2  
**Prop. Zoning:** R-2  
**Building(s) / Lot(s):** 5 buildings / 1 lot  
**Adjacent Land Use Summary:**

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>North</b>	Forest Preserve	Environmental Conservation	FP
<b>South</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>East</b>	Forest Preserve	Environmental Conservation	FP
<b>West</b>	Undeveloped/Vacant	Single-Family Detached Residential	R-2

Figure 1: Location Map



### Project Summary

The applicant, Gracepoint Ministries, is a California religious 501(c)3 nonprofit corporation, which is an association of Gracepoint churches scattered throughout the United States. Gracepoint is the owner of the 22.66-acre property located at 22660 Harlem Avenue which includes an 8,704 square-foot, 2 and ½ - story, single-family home, a 10,189.76 square-foot private gymnasium building, a 2-story guest house, and two smaller accessory buildings all situated adjacent to an approximately 0.3-acre private lake in a secluded, wooded setting. Gracepoint is seeking to establish a religious retreat center on the property for the benefit of its members. The proposed religious retreat center would not be open to the public for commercial use or rental. The Table of Permitted and Special Uses in the Village's Zoning Ordinance does not include a land use classification for a religious retreat center. However, there is past precedent to allow such land uses via a Planned Unit Development, which is a special use in all zoning districts in the Village except the Agricultural District. Ordinance No. 2314, An ordinance Granting a Special Use Permit for a Planned Unit Development to Manitoqua Ministries, for the Camp Manitoqua property located at 8122 Sauk Trail was approved on August 21, 2006. In conjunction with the request for a Special Use Permit for a Planned Unit Development, the applicant seeks approval of a deviation from the Zoning Ordinance to allow continuation of a lot which has zero street frontage. To accommodate the request for a Special Use Permit for a Planned Unit Development, the applicant is requesting approval of a Zoning



Map Amendment (rezoning) from the Agricultural (AG) District to the R-2 Single-Family Residential District for the northern portion of the property. The request to rezone the AG zoned portion of the property to R-2 Single-Family Residential District which would be consistent with the neighboring properties to the south and west, and also consistent with the Future Land Use Map in the Comprehensive Plan which designates the property as “Single-Family Detached Residential”. This also corrects the current split zoning.

### ***Attachments***

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- Applicant’s Narrative Description of Use dated 2.15.22
- Letter from Attorney dated 1.28.22 regarding easement of ingress and egress
- 2020 Aerial Photograph from Will County GIS
- Photographs provided by applicant 3.3.22
- Plat of Survey prepared by MG2A Civil Engineering and Surveying dated 2.14.22
- Floor Plans/Life Safety Plans of existing private gymnasium prepared by Ideal Designs dated 1.25.22

### ***Analysis***

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In consideration of the requests, staff offers the following points of discussion:

- The subject lot is non-conforming with respect to the required minimum frontage/lot width in the proposed R-2 District. The lot has zero street frontage. (100 feet minimum required)
- The subject lot is conforming with respect to the required minimum lot area in the proposed R-2 District. The lot area is approximately 22.66 acres. (15000 square feet minimum required)
- The existing buildings comply with all R-2 District setback requirements.
- The existing buildings comply with the R-2 District maximum 20% lot coverage requirement.
- The existing buildings comply with the R-2 District maximum 50% impervious coverage requirement (for the proposed non-single-family residential use).
- The existing home has a gross floor area of 10,189.76 square feet (minimum 2,600 square feet for a two-story and minimum 2,400 sq. ft. for a one-story required).
- The existing buildings, which predominantly have wood-siding, are considered legal-nonconforming with respect to the Village’s masonry materials exterior requirements outlined in Article 6, Section B, Part 2, ‘g’ and Article 6, Section B, Part 4, ‘d’ of the Zoning Ordinance.
- The height of the residence is not known at this time. (35 ft. maximum is allowed).
- The Zoning Ordinance specifies parking for Religious Institutions as follows: One (1) space per four (4) seats based upon maximum capacity of the facility, plus adequate space for all vehicles associated with the institution. A detailed parking analysis has not been conducted at this time, but more information will be provided at the workshop. The applicant’s narrative (attached) states that there will be 20-40 people on the property once per month (requiring an estimated minimum of 10 parking spaces) and 100-150 people on the property 3-4 times per year (requiring an estimated minimum of 38 parking spaces). The existing long driveway and paved parking areas should be able to accommodate these parking demand estimates.
- The property is heavily buffered with Forest Preserve property abutting the north and east property line and heavily wooded areas along the south and west property lines.
- It should be noted that since this property is already developed and only the proposed use would be changing, not all aspects of the Village’s Planned Unit Development regulations would apply as would be the case for a new development. The proposed Planned Unit Development would allow for the change in use from the existing single-family use to a religious retreat center use, while providing governing documents with respect to the form and function of the proposed operation.

### ***Standards for Zoning Map Amendments (Rezoning)***

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For reference during the workshop, Article 3, Section D, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate a Zoning Map Amendment (rezoning) request.



The Plan Commission shall make written findings of fact and shall submit same, together with its recommendations to the Village Board, for action. Where the purpose and effect of the proposed amendment is to change the zoning classification of particular property, the Plan Commission shall make findings based upon all the evidence presented to it and shall consider among other pertinent matters, the following:

- a. Existing uses of property within the general area of the property in question; Village of Frankfort Article 3:
- b. The zoning classification of property within the general area of the property in question;
- c. The suitability of the property in question to the uses permitted under the existing zoning classification;
- d. The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classification; and
- e. The change in zoning is in conformance with the comprehensive plan of the Village and its official map.
- f. After consideration of the above matters, the Plan Commission may recommend the adoption of a proposed amendment, a denial of a proposed amendment or a modification to such proposed amendment. The Plan Commission may include with its recommendation certain conditions or modifications to a proposed amendment for consideration by the Board of Trustees.

### ***Standards for Special Uses***

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For reference during the workshop, Article 3, Section B, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every special use request.

The Plan Commission shall make written findings of fact and shall refer to any exhibits containing plans and specifications for the proposed special use, which shall remain a part of the permanent record of the Plan Commission. The Plan Commission shall submit same, together with its recommendation to the Village Board for final action. No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.



## ***Standards for Planned Unit Developments***

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For reference during the workshop, Article 3, Section F of the Village of Frankfort Zoning Ordinance refers to Planned Unit Developments (refer to complete Article 3 attached). Part 4 of said Section F refers to the review standards the must be considered.

In granting or withholding approval of Preliminary Plans and Final Plans, the Plan Commission and the Village Board shall consider the extent to which the application fulfills the requirements of this Ordinance and the following standards:

- a. The plan is designed to protect the public health, welfare and safety.
- b. The proposed development does not cause substantial injury to the value of other property in the immediate area.
- c. The plan provides for protection of the aesthetic and function of the natural environment, which shall include, but not be limited to, flood plains, streams, creeks, lakes, ponds, wetlands, soil and geologic characteristics, air quality, vegetation, woodlands, and steep slopes.
- d. The plan provides for and ensures the preservation of adequate recreational amenities and common open spaces.
- e. Residential use areas may provide a variety of housing types to achieve a balanced neighborhood.
- f. The planned unit development provides land area to accommodate cultural, educational, recreational and other public and quasi-public activities to serve the needs of the residents thereof.
- g. The proposed development provide for the orderly and creative arrangement of all land uses with respect to each other and to the entire Village.



## **Gracepoint Ministries' Proposed Use of 22660 S Harlem Ave, Frankfort, IL 60423 (2/15/22)**

### **Introduction:**

[Gracepoint Ministries](#), a California religious 501(c)3 nonprofit corporation, is an association of Gracepoint churches scattered throughout the United States ([www.gracepointonline.org](http://www.gracepointonline.org)). As Christians, we strive to live a life of love in the footsteps of Jesus Christ, obeying the great commandments to love God and love your neighbor as yourself. We have affiliation with the [Southern Baptist](#) denomination, the largest Protestant denomination in the United States.

More than 30 years ago, we started as a collegiate ministry to minister to undergraduate and graduate students. As our churches matured, we've expanded to bless the local communities through ministries like elderly care ministry (nursing home visits), children programs, and youth mentoring, to name a few. We are currently serving close to [70 campuses](#) in [30 cities](#).

We're increasingly multiethnic and relatively young working adult 20- to 40-somethings who are eager to make a positive impact in society today, where there's much need for spiritual/emotional/mental health and thriving all around.

Several years ago, we expanded into the Chicagoland area with locations at Hyde Park (University of Chicago) and Evanston (Northwestern University). Recently, we started additional locations in the Greater Midwest with churches for Purdue University, University of Illinois—Urbana Champaign, University of Wisconsin—Madison, University of Michigan—Ann Arbor, and the Ohio State University.

Over time, Gracepoint Ministries has purchased properties near clusters of our existing ministries for use by our members.

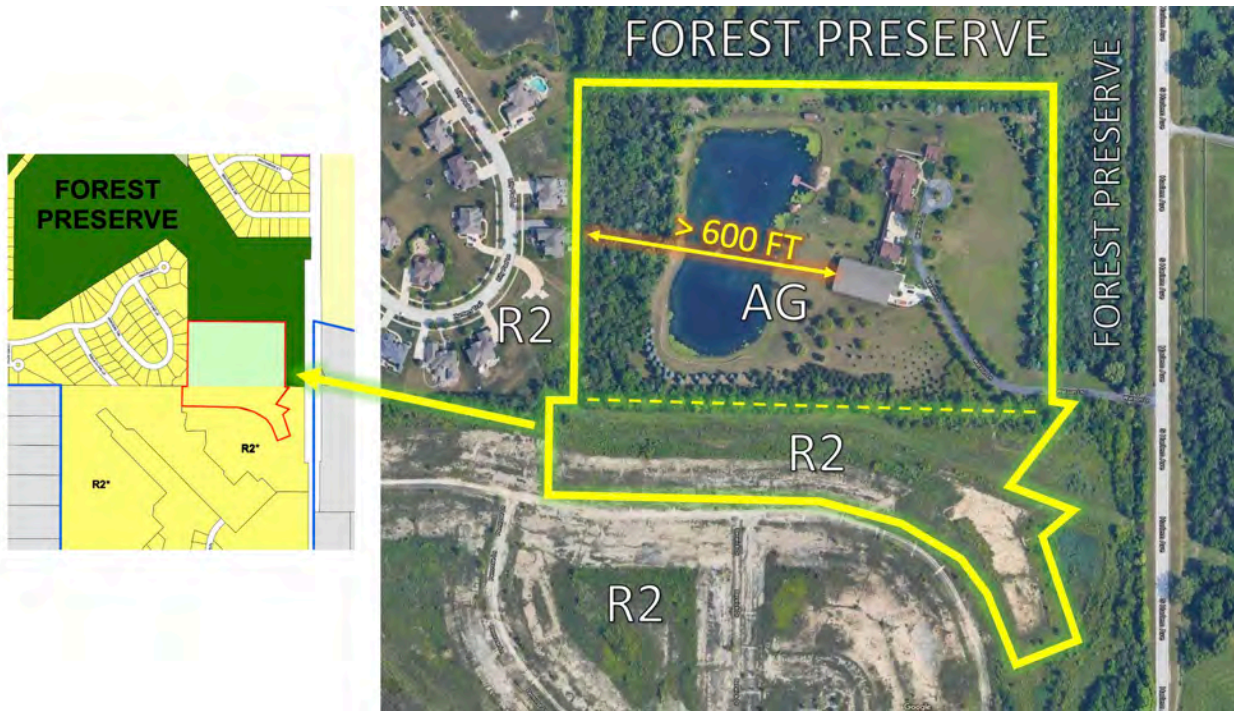
### **22660 S Harlem Ave Property:**

Gracepoint Ministries recently purchased the property on 22660 S Harlem Ave, comprising of three existing structures:

- Main house (9-bedrooms, built 1992),
- Guest house (built 1997), and
- Gym (built 2012).

The bulk of the property is zoned AG (Agricultural District), with a portion zoned as R2 (Single Family Residential District); this 22 acre parcel includes both AG and R2 zones. (see illustrative mock-up below)





This property is **well-buffered and sheltered** from the surrounding land with layers of mature trees all around the perimeter to provide a very tranquil feel/experience. Forest Preserve land is to the north, along with a strip between our parcel and Harlem Avenue. The west and south edges of this parcel face R2 zones. There is a 3 acre private pond on the parcel and the distance from the buildings to the nearest residential neighbor is more than 600 ft, so it maintains privacy fairly well.

Gracepoint Ministries purchased the property **for exclusive use by our official ministry team members as a “getaway” primarily for rest and restoration** away from the busy city life and the volunteer service they are engaged in our Ministries, as many of our members volunteer in different capacities at their respective local churches.

As such, this property will **not be “open to the public,”** but rather, it will be for private use by official members of Gracepoint Ministries. Immediate use is for members to enjoy outdoor recreational activities (e.g., fishing and kayaking in the pond, gardening, cornhole games, etc.) as *“Outdoor Recreational & Entertainment”* is one of the permitted uses for the AG zone. The existing large gym with basketball/volleyball also helps to meet such purposes. Under Use Group A-3, the allowable Occupant Load (Table 1004.1.2) is 172 occupants for the gym. Our typical use will be far less than that (20-40 people per typical weekly usage outlined below).

It is important to note that there will be **no revenue generated** from our members’ use of the property. The main house is also used as a parsonage for the official clergy of our ministries while they serve as caretakers of the property; currently, there are two caretaker couples who share this responsibility a few days each for each week.



## Rezone & Special Use for Planned Unit Development:

Upon discussion with Michael Schwarz, we are applying to rezone the AG portion of the property to be R-2 which would be consistent with neighboring properties and also consistent with the Future Land Use Map in the Comprehensive Plan. In addition, we would like to apply for a Special Use for a Planned Unit Development (consistent with the manner in which Camp Manitouqua was approved in 2006 under Ordinance No. 2314). This would enable our members to, in addition to the existing use as a gym for recreational activities, hold religious meetings in the large gym; this again will be for our ministry team members only, primarily for times of prayer, reflection, and study of the Bible. This is **not a Sunday church worship service**, as those are taking place at their respective local church locations (at Evanston, Hyde Park, etc.).

We envision a **typical WEEKLY usage** as follows:

- 2-3 days out of the week, living quarters for primary caretaker couple.
- 2-3 days out of the week, living quarters for secondary caretaker couple.
- 1-6 hours of Saturday day use for a small group of 10-20 people, primarily recreational.
- 2-3 hours of Sunday evening use for 20-40 people, for any combination of recreation, prayer, reflection, and study of the Bible.

In addition, less frequent OCCASIONAL use will be as follows:

- Once a month, a group may use the facilities for a weekend where that group size might be 20-40 people.
- Once a quarter (3 or 4 times a year), a larger gathering may use the gym for 1-2 days; this may be 100-150 people. (The former owner, Robert Watson, held parties and events of such sizes in the gym when he owned it.) We are working with a local architectural firm, Ideal Designs (principal architect Gabe Garcia) to **upgrade the existing gym for A-3 Assembly use** to properly accommodate such groups. A small subset of the folks will lodge at the gym (20-50 people) and others may utilize the local hotels/motels in Frankfort.

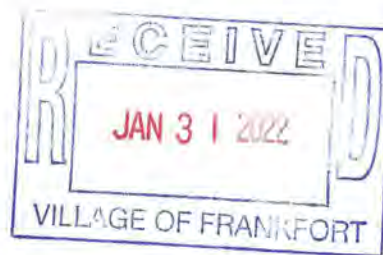
Among other modifications, we will meet life safety plans, parking capacity (per ADA requirements), and satisfy the Fire Marshal's requirements for a fire sprinkler system. We are working with Brian Hertz of MG2A engineering firm to tap into the water main that currently runs along Harlem Avenue since our water well system would not suffice for a sprinkler system.

If you have any questions, please feel free to reach out to me at [Jonathan.Lee@gpmail.org](mailto:Jonathan.Lee@gpmail.org) or 530-902-4441. We look forward to working with the folks at the Village of Frankfort and thank you in advance for all of your service.

Sincerely,

Jonathan Lee  
Midwest Regional Director, Gracepoint Ministries





Attorneys at Law

**Richard J. Kavanagh**

ATTORNEY

rkavanagh@kggllc.com

**Website:**

www.kggllc.com

**Main Office:**

111 N. Ottawa Street

Joliet, IL 60432

(815) 727-4511 T

(815) 727-1586 F

**DuPage Office:**

2100 Manchester Rd.

Bldg. B Suite 906

Wheaton, IL 60187

(630) 547-2590 T

(815) 727-1586 F

January 28, 2022

Mr. Michael Schwarz  
VILLAGE OF FRANKFORT  
432 West Nebraska Street  
Frankfort, IL 60423

Re: Gracepoint Ministries – Property at 22660 S. Harlem Avenue, Frankfort

Dear Mike:

As I mentioned in our meeting Tuesday morning, access to the Gracepoint site is over an easement reserved in the Deed from Bridgeview Bank & Trust Company to the Forest Preserve District of Will County. I have enclosed a copy of that Deed which was dated July 23, 1976 and recorded as Document No. R76-24311.

Please let me know if you have any questions concerning the above.

Sincerely,

KGG LLC

Richard J. Kavanagh

RJK:rjc

Enclosure

CC: Mr. Jonathan Lee – jonathan.lee@gpmail.org



R76-24311

mail dead + tax bill to  
Forest Preserve District  
L. VARSEK  
PO Box 69 Joliet, IL 60434

**This Indenture,**Made this 23rd day of July, 19 76,

between **BRIDGEVIEW BANK AND TRUST COMPANY**, a corporation duly authorized by the Statutes of Illinois to execute trusts, as trustee under the provisions of a deed or deeds in trust duly recorded and delivered to said company in pursuance of a trust agreement dated the 31st day of October 19 74, and known as Trust Number 1-0014, party of the first part, and Forest Preserve District of Will County

of Joliet, Will County, Illinois, party of the second part.

**WITNESSETH**, That said party of the first part, in consideration of the sum of \_\_\_\_\_  
Ten and no/100 \_\_\_\_\_ Dollars, and other good and  
valuable considerations in hand paid, does hereby grant, sell and convey unto said party of the second part,  
the following described real estate, situated in Will County, Illinois, to-wit:

The South half of the East half of the Northeast quarter of Section 36, except the South 674.99 feet of the West 1024.34 feet thereof, in Township 35 North, Range 12 East of the Third Principal Meridian, all in Will County, Illinois and expressly reserving therefrom a nonexclusive perpetual easement of ingress and egress across the South 120 feet of the premises herein conveyed.\*\*\*

(Contains 24.424 acres more or less)

together with the tenements and appurtenances thereunto belonging.

**TO HAVE AND TO HOLD** the same unto said party of the second part, and to the proper use, benefit and behoof forever of said party of the second part.

Subject to: General Real Estate Taxes for the year 1975 and subsequent years.  
Covenants, conditions and restrictions of record.

This instrument was prepared by: Robert G. Schuler  
7940 S. Harlem  
Bridgeview, Ill. 60455

This deed is executed pursuant to and in the exercise of the power and authority granted to and vested in said trustee by the terms of said deed or deeds in trust delivered to said trustee in pursuance of the trust agreement above mentioned. This deed is made subject to the lien of every trust deed or mortgage (if any there be) of record in said county given to secure the payment of money, and remaining unreleased at the date of the delivery hereof.

**IN WITNESS WHEREOF**, said party of the first part has caused its corporate seal to be hereto affixed, and has caused its name to be signed to these presents by its \_\_\_\_\_ Vice President and attested by its \_\_\_\_\_ Vice President, the day and year first above written.

**BRIDGEVIEW BANK AND TRUST COMPANY**

As Trustee as aforesaid, under Trust No. 1-0014,  
and not personally

By Robert G. Schuler Vice President.

Attest: Robert G. Schuler Vice President.

CENTURY TITLE COMPANY,  
WILL COUNTY FOREST PRESERVE  
W-10-9629



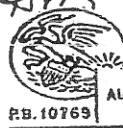
R76-24311

FILED-RECORDERS OFFICE  
WILL COUNTY, ILL.

76 AUG-3 AM 10:10

State of Illinois, } ss.  
COUNTY OF COOK }I Marie A. ArnoldKenneth Meola  
RECORDER  
MICROFILMEDA NOTARY PUBLIC, in and for said County, in the State aforesaid, DO  
HEREBY CERTIFY that Peter E. HaleasVice President of the BRIDGEVIEW BANK AND TRUST  
COMPANY, and Robert G. SchulerVice President of said Corporation, personally known to me to  
be the same persons whose names are subscribed to the foregoing instrument  
as such Vice President and Vice President  
respectively, appeared before me this day in person and acknowledged that  
they signed and delivered the said instrument as their own free and voluntary  
act, and as the free and voluntary act of said Corporation, for the uses and  
purposes therein set forth; and the said Vice President did  
also then and there acknowledge that he, as custodian of the corporate seal  
of said Corporation, did affix the said corporate seal of said Corporation to  
said instrument as his own free and voluntary act, and as the free and  
voluntary act of said Corporation, for the uses and purposes therein set  
forth.GIVEN under my hand and Notarial Seal this 23rd day  
of July 1976.Marie A. Arnold  
Notary Public.WILL  
CO. NO. 023

040116

STATE OF ILLINOIS  
REAL ESTATE TRANSFER TAX

RB.10769

AUG-3'76

\*\*\*  
DEPT. OF  
REVENUE

100.00

R76-24311

INDEXED

DEED

BRIDGEVIEW BANK AND TRUST COMPANY

As Trustee under Trust Agreement

TO

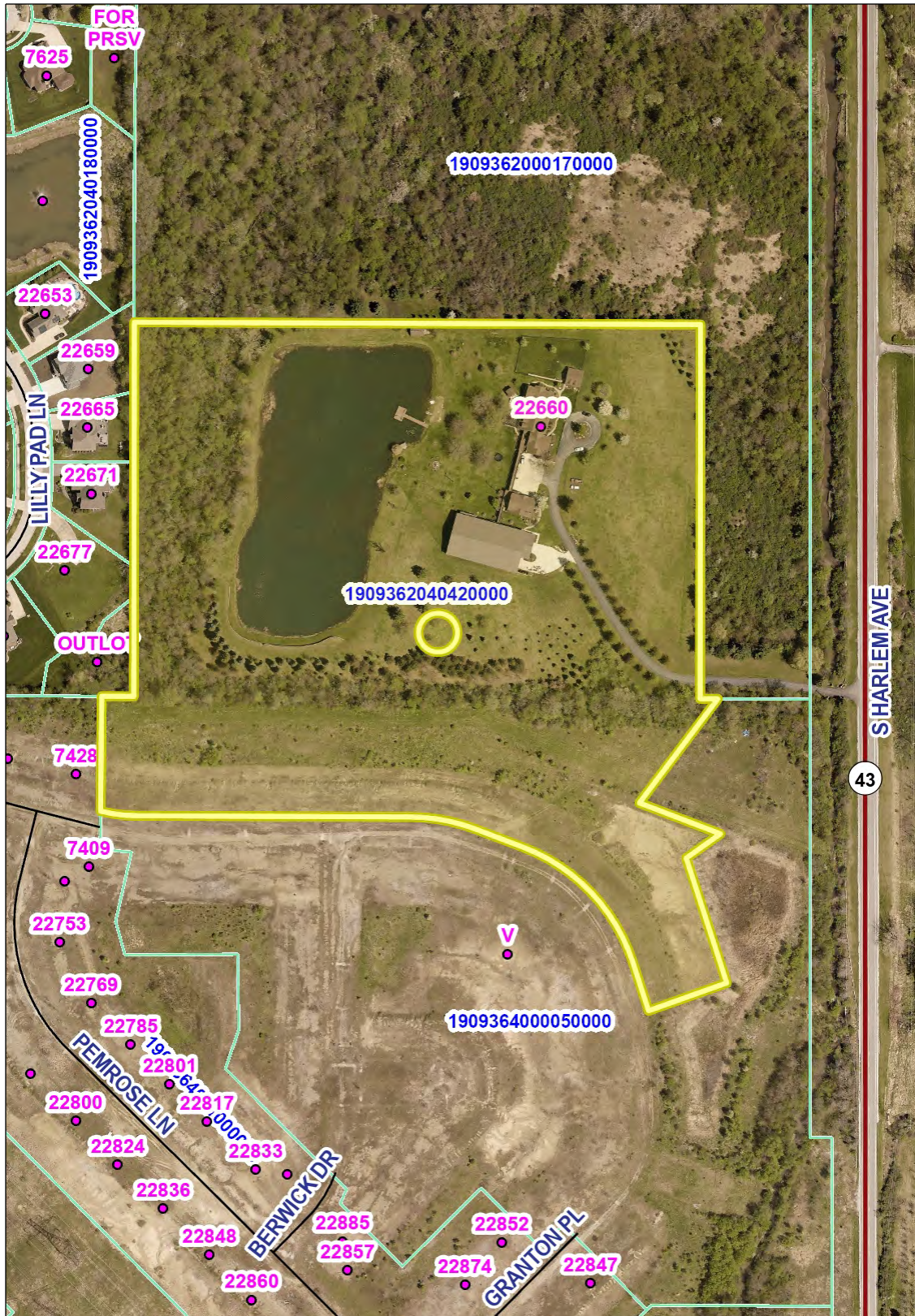
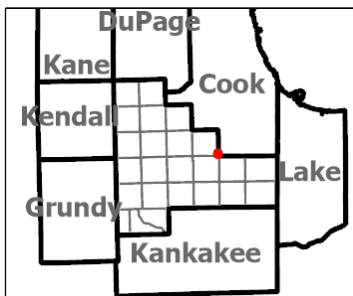
BRIDGEVIEW BANK AND TRUST COMPANY

Bridgeview, Illinois





# 22660 Harlem Avenue



## Legend

- Address Points
- Roadways
  - Federal
  - State
  - County
  - Local and Private
- Parcels LY
- Townships

## Notes

Date: 3/4/2022

1: 4,514



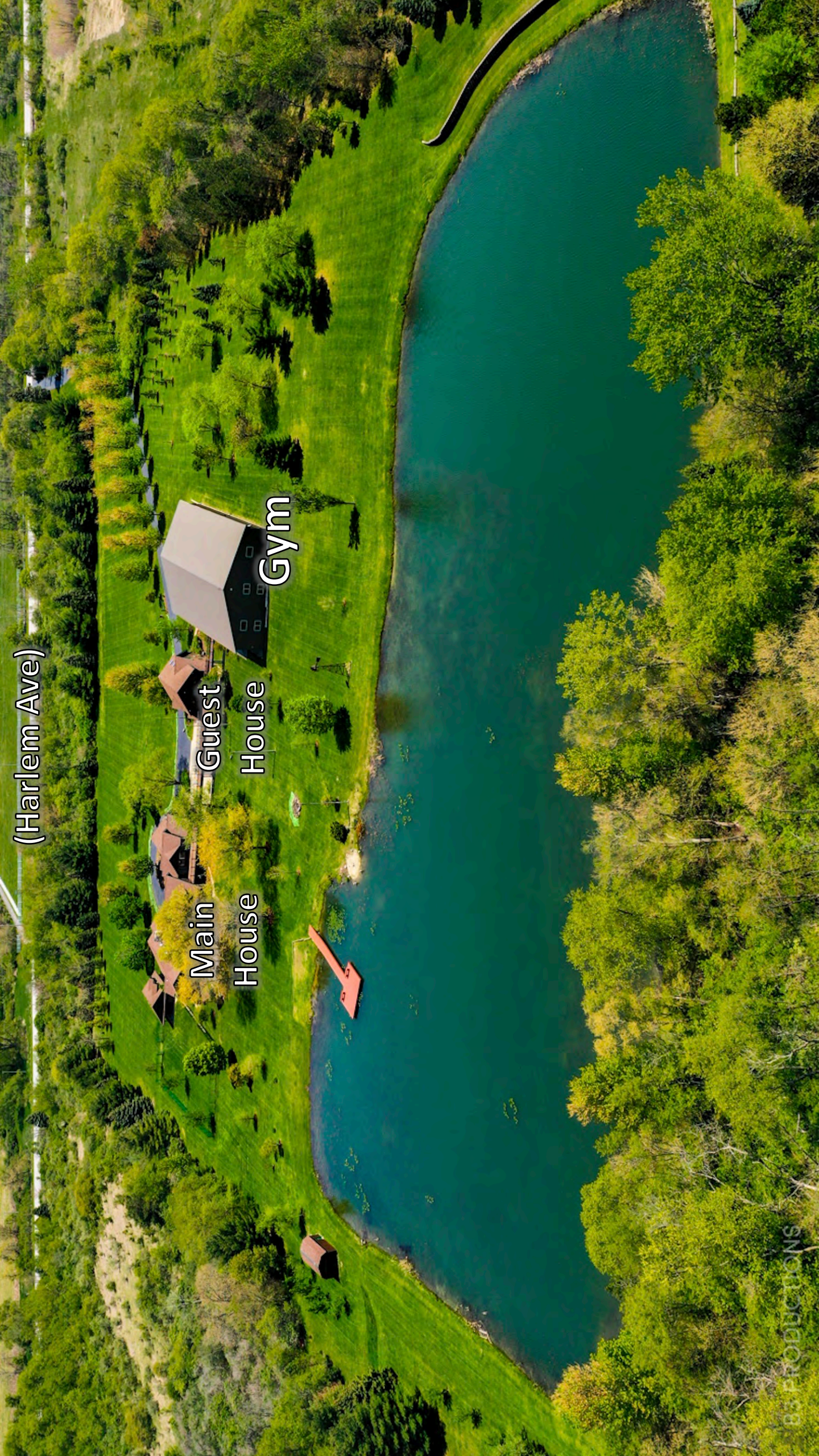
0 0.07 0.14 Miles

Projection

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

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(Harlem Ave)

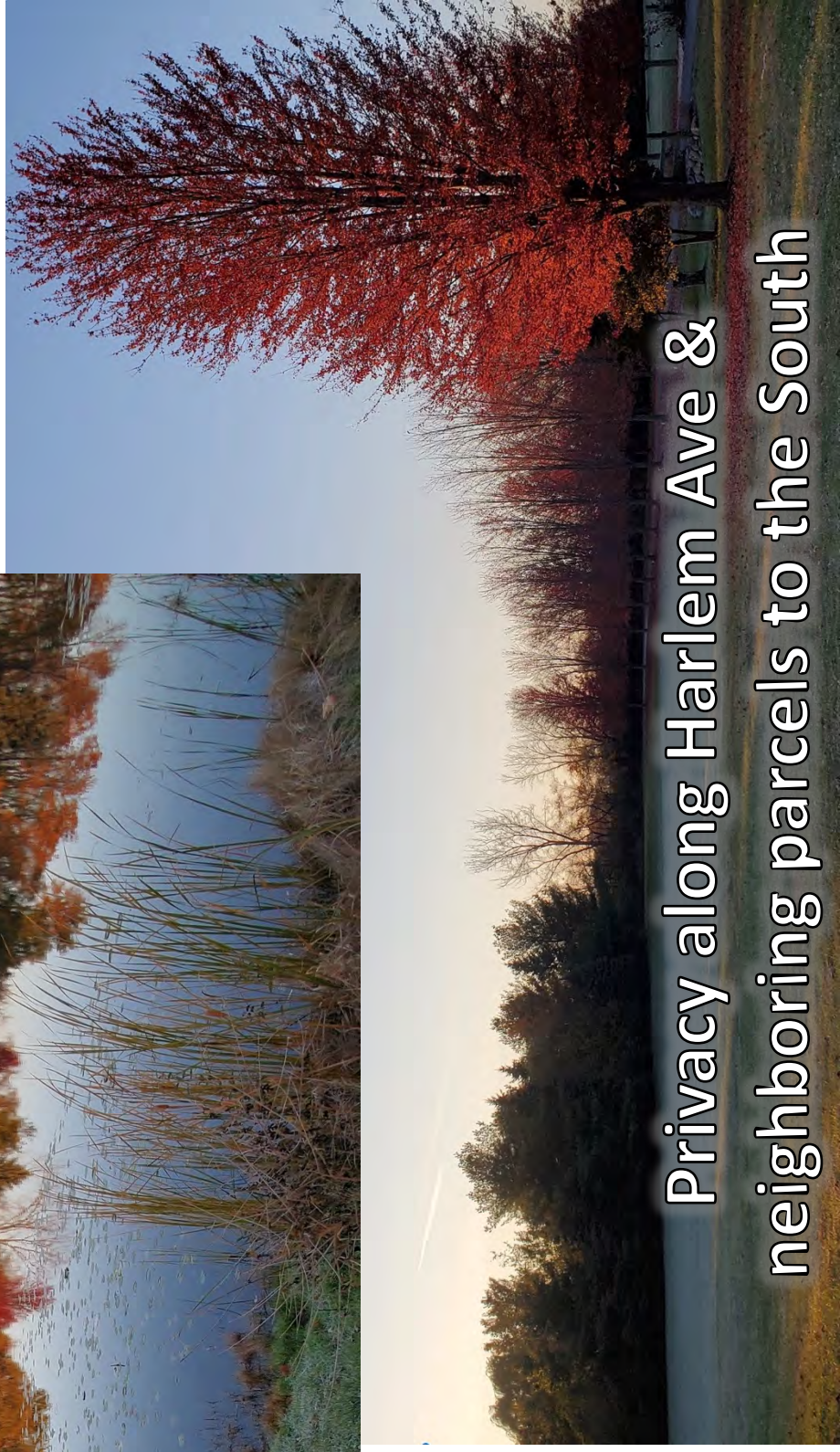
Main  
House

Guest  
House

Gym

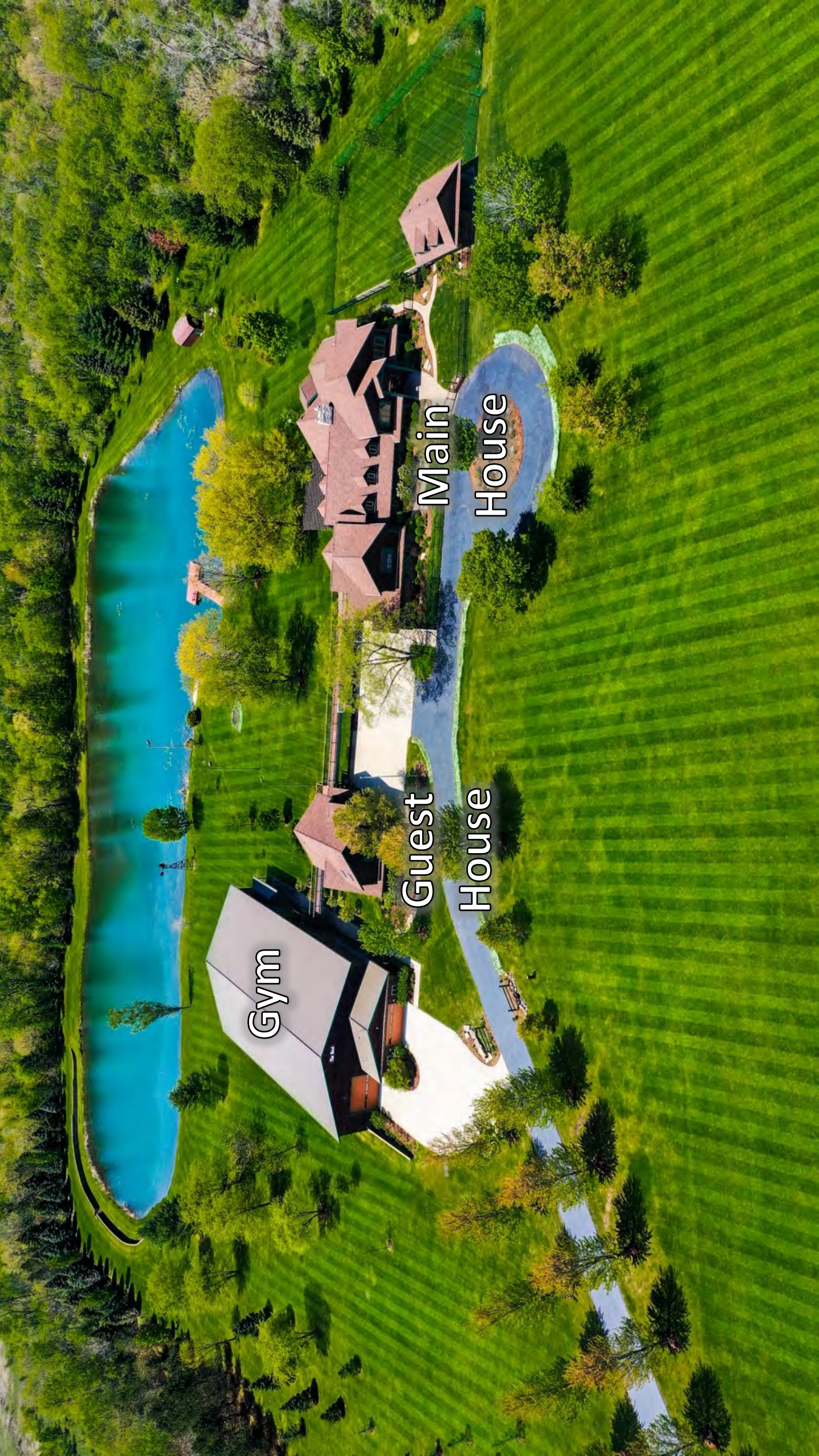


Privacy from neighboring parcels to the West



Privacy along Harlem Ave &  
neighboring parcels to the South





Gym

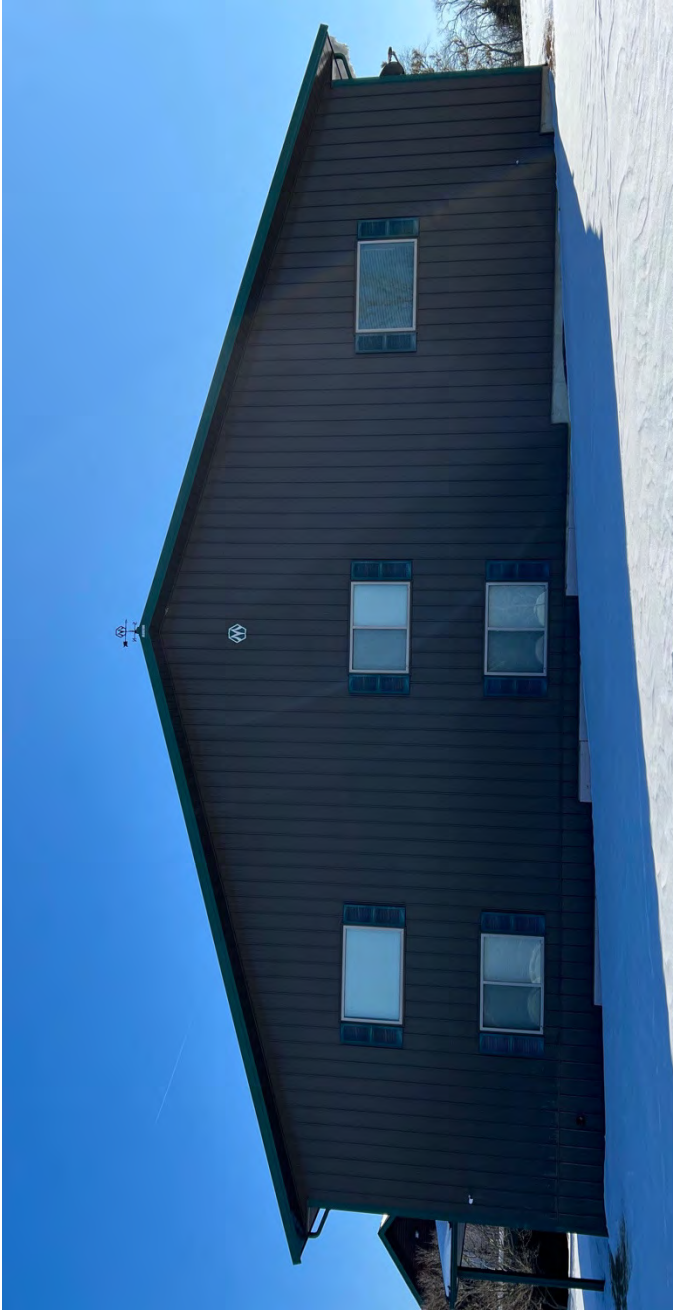
Guest  
House

Main  
House





Gym





# Gym







**Main House**





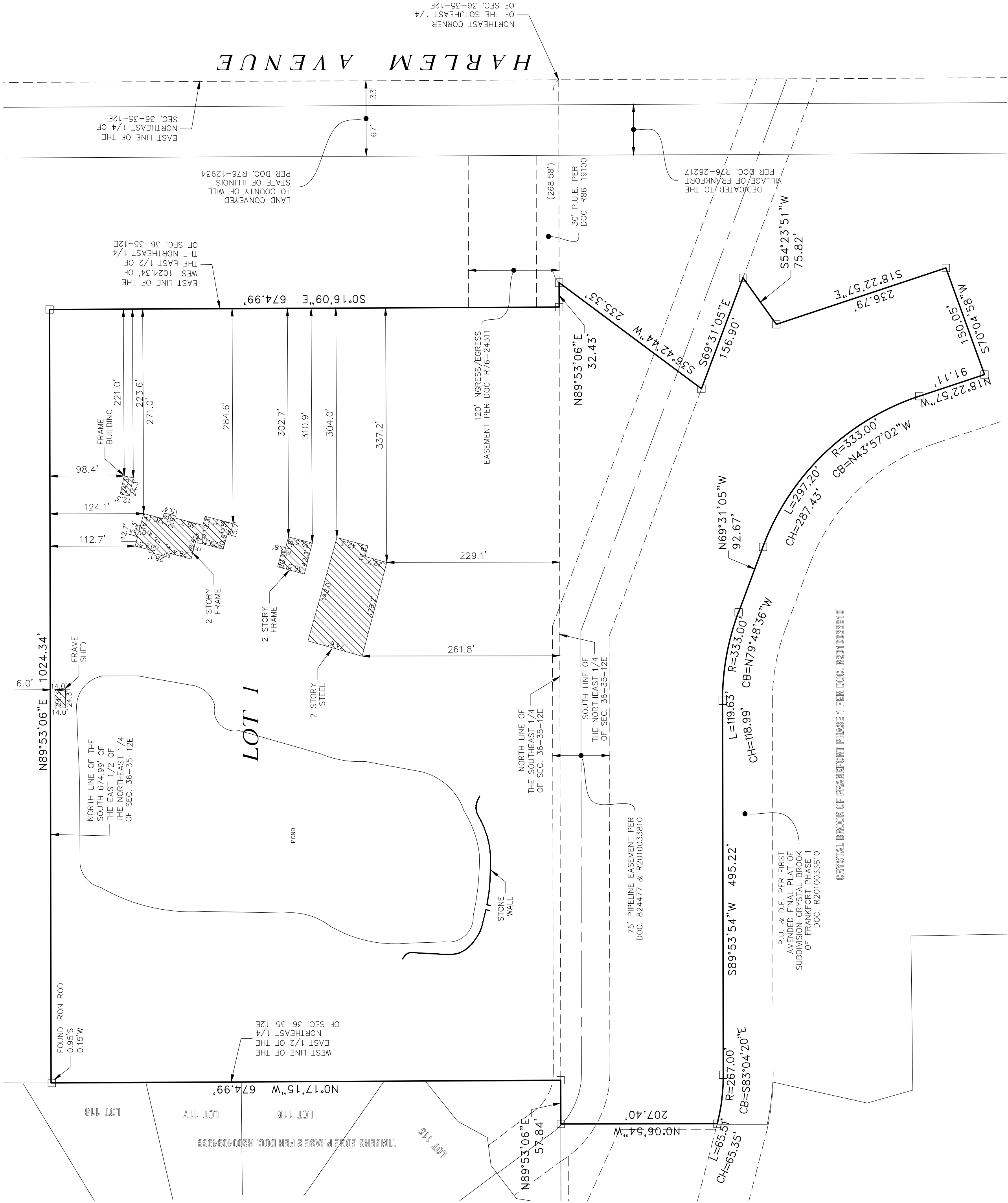


# Guest House





PLAT OF SURVEY



**LEGAL DESCRIPTION**  
LOT 1 IN WATSON'S SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER AND PART OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 19, 2014 AS DOCUMENT R2014081708, IN FRANKFORT TOWNSHIP, WILL COUNTY, ILLINOIS

**NORTH**  
SCALE: 1" = 100'

- LEGEND**
- FOUND IRON ROD
  - MEASURED DATA (7.77')
  - BUILDING SETBACK LINE (7.77')
  - B.S.L.
  - DRAINAGE EASEMENT
  - P.U.E.
  - PUBLIC UTILITY EASEMENT
  - ASPHALT
  - BRICK PAVERS
  - CONCRETE

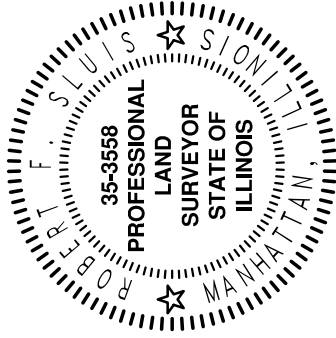
**NOTE: SOME IMPROVEMENTS NOT SHOWN DUE TO SNOW COVERAGE AT THE TIME OF THE FIELD WORK**

I, ROBERT F. SLUIS, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND LOCATED THE BUILDINGS ON THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY. ALL DISTANCES ARE IN FEET AND DECIMAL PARTS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

GIVEN UNDER MY HAND AND SEAL THIS 14th DAY OF FEBRUARY, A.D. 2022.

*Robert F. Sluis*

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3558  
LICENSE EXPIRES NOVEMBER 30, 2022



**M GINGERICH GEREUX & ASSOCIATES**  
Professional Design Firm License # 184.005003  
P. 815-478-9680 www.mg2a.com F. 815-478-9685  
25620 S. GOUGAR RD | MANHATTAN, IL. 60442

ORDERED BY: GRACEPOINT MINISTRIES

FIELDWORK COMPLETED: DR. BY: NIB CK. BY: RFS FILE:

JOB NO.: 22-117 SB: PG: -



ideal

DESIGNS

ARCHITECTS / DESIGNERS

20960 FRANKFORT SQ. DR.  
SUITE A  
FRANKFORT, ILLINOIS  
T: (708) 407-8028  
F: (779) 333-7960  
gdb@idealcustomdesigns.com  
www.idealcustomdesigns.com

CHANGE IN USE FOR  
GRACEPOINT MINISTRIES  
22660 S HARLEM AVE  
FRANKFORT, IL 60423

DESIGN FIRM REG. NO.	184.006972
EXP. DATE	4-30-23

REVISIONS		
REV #	DATE	REV. PER.

DATE	01-25-22
DRAWN BY:	JMH
PROJECT NO.	220XX
SHEET NAME	OVERALL PLAN, LIFE SAFETY PLAN, & CODE DATA

SHEET NUMBER	G-101
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SCOPE OF WORK

NEW SHOWER FACILITIES IN EXISTING 9,444 S.F. GYMNASIUM.

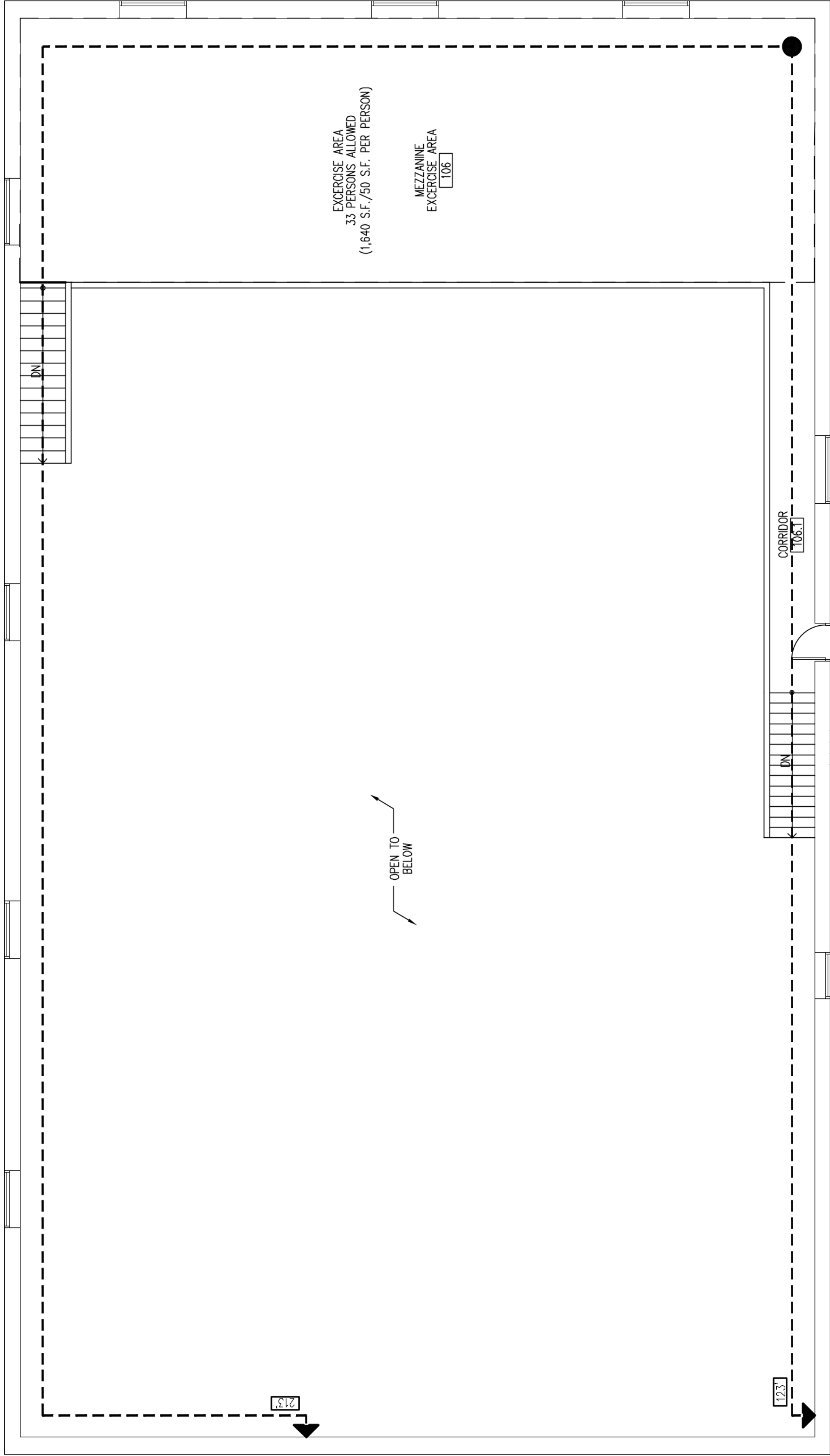
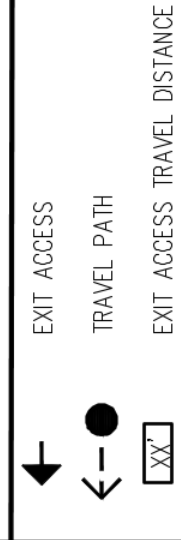
BUILDING CODES

2015 INTERNATIONAL ENERGY CONSERVATION CODE  
2012 INTERNATIONAL FIRE CODE  
2012 INTERNATIONAL PROPERTY MAINTENANCE CODE  
2011 NATIONAL ELECTRICAL CODE  
2012 INTERNATIONAL FUEL GAS CODE  
ELEVATOR SAFETY CODES

CODE DATA

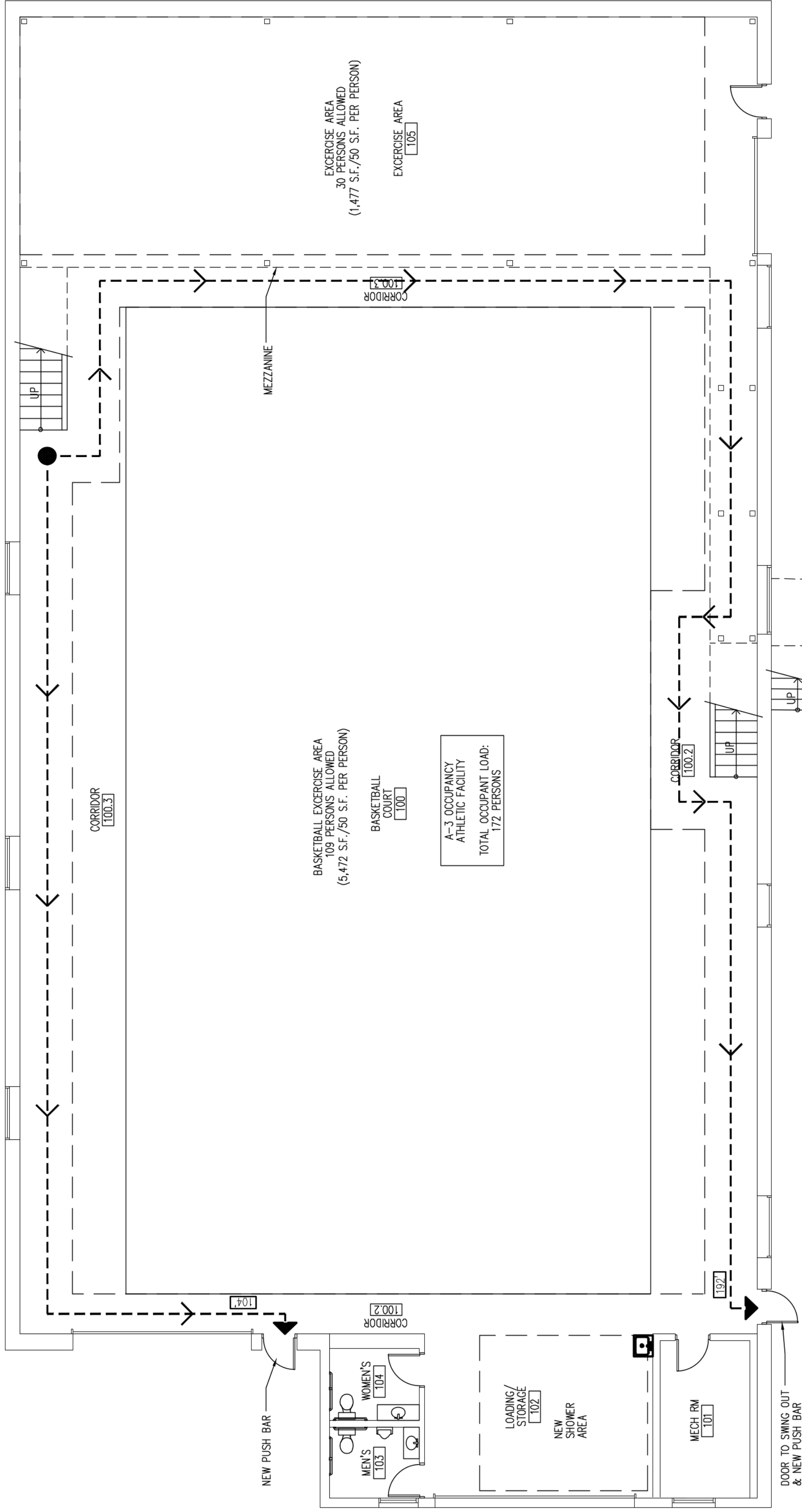
USE GROUP (SECTION 303.4):	A-3 ASSEMBLY	COMPLY
OCCUPANCY (SECTION 303.4):	GYMNASIUMS (WITHOUT SPECTATOR SEATING)	COMPLY
CONSTRUCTION TYPE (TABLE 601):	V-B	COMPLY
ALLOWABLE BUILDING HEIGHT (TABLE 503)	ALLOWABLE	COMPLY
	55 FT.	-
ALLOWABLE BUILDING STORIES (TABLE 503)	ALLOWABLE	COMPLY
	2	YES
ALLOWABLE AREA (TABLE 503)	ALLOWABLE	COMPLY
	9,500 S.F.	YES
EXTERIOR WALL FIRE-RESISTANCE RATING BASE ON FIRE SEPARATION DISTANCE (TABLE 602)	REQUIRED	COMPLY
	ACTUAL	COMPLY
0 HOUR (WHEN DISTANCE IS ≥ 10 FT. BUT < 30 FT.)	0 HOUR (29'-10")	YES
AUTOMATIC SPRINKLER SYSTEM (SECTION 903.2.1.3 GROUP A-3)	REQUIRED	COMPLY
	ACTUAL	YES
NO OCCUPANT LOAD ≤ 300	NONE INSTALLED	YES
OCCUPANT LOAD (TABLE 1004.1.2)	ACTUAL	COMPLY
	ALLOWABLE	COMPLY
172 OCCUPANTS	50 OCCUPANTS	YES
COMMON PATH OF EGRESS (TABLE 1014.3)	ALLOWABLE	COMPLY
	ACTUAL	COMPLY
75 FT. (>30 OCCUPANTS)	0 FT.	YES
EMERGENCY EXITS (TABLE 1015.1)	ACTUAL	COMPLY
	REQUIRED	YES
2 (>10 & < 501 OCCUPANTS)	2	YES
EXIT ACCESS TRAVEL DISTANCE (TABLE 1016)	ALLOWABLE	COMPLY
	ACTUAL	YES
	213 FT.	YES
PLUMBING FIXTURES (SECTION 890, TABLE B): 172 USERS: 86 MEN & 86 WOMEN	REQUIRED	COMPLY
	ACTUAL	COMPLY
2 WATER CLOSETS (1 MEN, 1 WOMEN)	2 WATER CLOSETS	YES
	1 URINAL	YES
2 LAVATORIES (1 MEN, 1 WOMEN)	2 LAVATORIES	YES
	1 WATER DISPENSER	YES
	1 SERVICE SINK	YES

LIFE SAFETY LEGEND



1 OVERALL MEZZ. LEVEL / LIFE SAFETY PLAN

SCALE: 1/8"=1'-0"



1 OVERALL 1ST FLOOR PLAN / LIFE SAFETY PLAN

SCALE: 1/8"=1'-0"