



**PLAN COMMISSION / ZONING BOARD OF APPEALS  
AGENDA**

**Thursday, June 9, 2022  
6:30 P.M.**

**Frankfort Village Hall  
432 W. Nebraska Street (Board Room)**

- 
- 1. Call to Order**
  - 2. Roll Call**
  - 3. Approval of Minutes of May 26, 2022**
  - 4. Final Plat: Homestead Center**  
Request: Approval of Final Plat of Resubdivision to create a two-lot commercial subdivision for Homestead Center. (PIN: 19-09-31-202-030-0000)
  - 5. Public Hearing: 170 Vail Drive – Exterior Materials Variation (Ref #103)**  
Public Hearing Request: Building materials variation to allow non-masonry materials on the first floor of an existing home in conjunction with proposed first and second floor additions and exterior remodeling. Existing vinyl siding to be replaced with LP® Smart Siding. (PIN: 19-09-21-208-031-0000)
  - 6. Workshop: 10841 W. Lincoln Highway – Proposed Retail Center**  
Future Public Hearing Request: Zoning Map Amendment (Rezoning) upon annexation from E-R (Estate Residential) to B-2 (Community Business). Other: Plat of Annexation, Final Plat of Subdivision and Plat of Dedication to create a commercial retail center; possible variations required. (PIN: 19-09-20-300-007-0000)
  - 7. Workshop (2<sup>nd</sup>): 11031 W. Lincoln Highway – Everbrook Academy Preschool/Daycare**  
Future Public Hearing Request: Proposed Major Change to Planned Unit Development and a Special Use Permit for a daycare facility in the B4 Office District on Lot 1 in the New Lenox State Bank Subdivision (PIN: 19-09-20-301-055-0000).
  - 8. Workshop: 10211 W. Lincoln Highway – Rhumbar**  
Future Public Hearing Request: Proposed Major Change to the Brookside Commons Office Centre Planned Unit Development for a proposed building addition and other exterior changes; Special Use Permit for a Full-Service Restaurant with liquor sales; and a Special Use Permit for Outdoor Seating in the B-4 Office District. (PIN: 19-09-21-304-021-0000)
  - 9. Public Comments**
  - 10. Village Board & Committee Updates**
  - 11. Other Business**
  - 12. Attendance Confirmation (June 23, 2022)**
  - 13. Adjournment**
-

All applicants are advised to be present when the meeting is called to order. Agenda items are generally reviewed in the order shown on the agenda, however, the Plan Commission/Zoning Board of Appeals reserves the right to amend the agenda and consider items in a different order. The Commission may adjourn its meeting to another day prior to consideration of all agenda items. All persons interested in providing public testimony are encouraged to do so. If you wish to provide public testimony, please come forward to the podium and state your name for the record and address your comments and questions to the Chairperson.





**MINUTES  
MEETING OF VILLAGE OF FRANKFORT  
PLAN COMMISSION / ZONING BOARD OF APPEALS  
MAY 26, 2022–VILLAGE ADMINISTRATION BUILDING  
432 W. NEBRASKA STREET**

**Call to Order:** Chair Rigoni called the meeting to order at 6:30 P.M.

**Commissioners Present:** Chair Maura Rigoni, Dan Knieriem, Will Markunas, Nichole Schaeffer, Jessica Jakubowski, Brian James

**Commissioners Absent:** David Hogan

**Staff Present:** Director of Community and Economic Development  
Mike Schwarz, Senior Planner, Christopher Gruba

**Elected Officials Present:** None

**A. Approval of the Minutes from May 12, 2022**

**Motion (#1):** Approval of the minutes, as presented, from May 12, 2022

Motion by: Knieriem                      Seconded by: Jakubowski

Approved: (4-0, Knieriem and Markunas abstained)

**B. Plat Approval: Lots 4, 5 & 6 Original Town of Frankfort – Gutschenritter Resubdivision**

Chris Gruba summarized the staff report.

Chair Rigoni asked the applicant to approach the podium.

Commissioner Knieriem asked the applicant if he owns the middle lot.

The applicant responded that he currently owns all three lots.

Commissioner Knieriem asked the applicant what is the purpose of the request.

The applicant responded that he intends to create a larger lot for himself and then sell the other property to the south as a larger lot.

There was some discussion about the existing gazebo which straddles a lot line.

Commissioner Schaeffer asked why the proposed lot areas are slightly different. The proposed Lot 1 is 9,380 square feet and the proposed Lot 2 is 9,388 square feet.

The applicant responded that these three existing lots were part of the Original Town of Frankfort Subdivision and the past surveying methods were not exact, so there are very slight deviations in terms of the angles of the lot lines as they were originally platted.

There was additional discussion regarding the setback of the existing gazebo to the proposed new northern lot line of Lot 1. Chair Rigoni stated that the PC/ZBA will not take any action regarding the setback of the existing gazebo.

Commissioner James asked the applicant if there are any trees that will be impacted.

The applicant responded that no trees will be impacted by the proposed resubdivision.

Chair Rigoni asked if there were any questions or comments from anyone in the audience even though this is not a public hearing. There was no response.

**Motion (#2):** Motion to recommend that the Village Board approve the Preliminary and Final Plat of Subdivision for Walnut Street Subdivision, subject to any necessary technical revisions prior to recording.

Motion by: Markunas

Seconded by: Schaeffer

Approved: (6-0)

**C. Public Hearing (Continued from April 28<sup>th</sup>, 2022): Olde Stone Subdivision 1st Addition (Ref #108)**

Staff noted that this would be the final time that this item would be tabled. If a revised plan is not brought forth at the June 23<sup>rd</sup> Plan Commission meeting, the public hearing would be re-noticed in the newspaper and the applicant asked to re-send public hearing notices to all property owners within 250’.

**Motion (#3):** Motion to table to June 23, 2022.

Motion by: Markunas

Seconded by: Schaeffer

Approved: (6-0)

**D. Public Hearing: 8531 W. Lincoln Highway – Oasis Assisted Living (Ref #104)**

**Motion (#4):** Motion to table to June 9, 2022.

Motion by: Markunas

Seconded by: Schaeffer

Approved: (6-0)

**E. Public Hearing: 19948 Lily Court – Gale Residence (Ref #105)**

Chair Rigoni swore in the applicant Patrick Gale.

Chris Gruba summarized the staff report.

Chair Rigoni asked the applicant to come to the podium.

The applicant, Patrick Gale approached the podium. He restated the nature and purpose of his request. He stated that currently the sun covers every square foot of his back yard by 2:30 p.m. Mr. Gale noted that Commissioner Knieriem did come out last week to assess the space.

Chair Rigoni asked the Commission if there were any initial questions from the PC/ZBA.

There was no response.

Chair Rigoni asked if there was anyone in the audience wishing to speak on the request.

There was no response.

**Motion (#5):** Motion to close the public hearing.

Motion by: Schaeffer

Seconded by: Jakubowski

Approved: (6-0)

Chair Rigoni informed the applicant she was able to visit the site and view the back yard from the fence.

Chair Rigoni asked the Commission if there were any questions from the PC/ZBA.

Commissioner Knieriem stated that he was initially against the original variation request but has changed his position.

Commissioner Schaeffer thanked the applicant for amending his variation request and stated that she supports this amended request.

Commissioner Markunas thanked the applicant and stated that that he has also changed his position.

Commissioner James stated that he is in similar agreement with the other comments.

Chair Rigoni stated that she believes the motion will need to be clarified even though it refers to a rear yard addition. She added that there is a reason that we have these regulations.

Chair Rigoni stated that the motion will be clarified to refer to an “attached, covered unenclosed patio.”

**Motion (#6):** Motion to recommend that the Village Board approve a variation from Article 6, Section B, Part 1 of the Village of Frankfort Zoning Ordinance to permit the construction of a rear yard addition in the form of an attached, covered, unenclosed patio, set back 17’ 3” from the rear property line, whereas 30’ is required in the R-2 zone district, for the property located at 19948 Lily Court in accordance with the submitted plans, public testimony, and Findings of Fact.

Motion by: Knieriem

Seconded by: Markunas

Approved: (5-1, Rigoni voted no)

#### **F. Public Hearing: 9093 W. Fey Drive – Proposed Pickleball Building (Ref #106)**

Chair Rigoni swore in the applicant Anthony Villa.

Chris Gruba summarized the staff report.

Chair Rigoni asked the applicant if he had anything to add to the staff report.

Anthony Villa stated that he did not.

Chair Rigoni asked the Commission if there were any initial questions from the PC/ZBA.

There was no response.

Chair Rigoni asked if there was anyone in the audience wishing to speak on the request.

There was no response.

**Motion (#7):** Motion to close the public hearing.

Motion by: Markunas

Seconded by: Jakubowski

Approved: (6-0)

Chair Rigoni asked if the PC/ZBA members have any questions.

Commissioner Markunas asked why the outdoor courts were removed.

Anthony Villa responded that these were removed from the Site Plan as recommended by the Plan Commission at the April 28<sup>th</sup> workshop.

Commissioner Schaeffer asked about the storage on the mezzanine.

Anthony Villa responded that this area will be used for storage of equipment associated

with the facility.

Commissioner Knieriem had no further questions, but he did ask staff if they could, in the future, obtain building elevation drawings in color from the applicant.

Chair Rigoni stated that she wants it to be understood that the HVAC units must be screened if they are ever added later. Also, for staff, she normally doesn't get into the weeds on Photometrics Plans but asked staff if this is meeting Code. She stated her concern regarding an area of the parking lot that may not have enough lighting for security.

Chris Gruba responded that the proposed lighting now meets Code.

The applicant stated that they have reduced the lighting but can increase the dark area of the parking lot if so requested.

Commissioner James asked what is the purpose of the overhead doors. Do they plan to use these to move air flow? The applicant responded yes that is what the overhead doors will be used for.

Commissioner Jakubowski asked why no HVAC is being proposed.

The applicant stated that this will be a mostly winter use. If they are successful they may add HVAC in the future.

Chair Rigoni asked staff if the applicant is requesting hours of operation beyond the Village requirements.

Chris Gruba responded that they are not.

Chris Gruba asked if the PC/ZBA wanted to add a condition prohibiting tournaments.

There was some discussion regarding whether such a condition is necessary given the scale of the building with only four indoor courts. There was consensus that such a condition is not necessary given that pickleball is not a spectator sport. Instead, the Commission asked Mr. Villa to state for the record that there would be no tournaments held at this location. He replied that there would be no tournaments.

**Motion (#8):** Motion to recommend to the Village Board to approve the special use permit for an indoor recreation facility, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on the submittal of a revised landscape plan, that any future mechanical units shall be screened from view, that the trash enclosure gate shall be vinyl and opaque (not chain link) and obtaining final engineering approval.

Motion by: Markunas

Seconded by: Schaeffer

Approved: (6-0)

## **G. Workshop: 20801 S. La Grange Road – Chase Bank**

Chris Gruba summarized the staff report.

Chair Rigoni asked the applicant if she had anything to add to the staff report.

Susan Faber with Black and Veatch on behalf of the applicant approached the podium and stated that she was local and could answer any questions.

Commissioner Knieriem asked if this (rooftop solar panels) was a nationwide initiative for Chase Bank.

Nationwide over 700 locations, in Illinois over 60 locations will also have such rooftop solar panels.

Commissioner James asked if they have looked at other technology that sits closer to the roof and does not look like solar panels.

Susan Faber responded that she has not looked at other technology.

Commissioner Jakubowski asked what impact this will have on energy savings.

Susan Faber responded that she does not have that information but can provide it for the next meeting.

Commissioner Jakubowski asked if the solar panels can be painted to match the color of the shingles or if future shingles can be changed to match the solar panels.

There was some discussion about the colors on the roof.

Susan Faber stated that with most new technology it sticks out visually at first but then we become accustomed to it over time.

Commissioner Knieriem stated that he doesn't have as much concern about the visibility of the rooftop solar panels as other commissioners. He suggested that maybe there is an opportunity to relocate some panels to other sides of the roof.

Chair Rigoni stated that this is one of the nicest buildings in town and we pride ourselves on the architecture in the community. She asked Ms. Faber if there a hybrid possibility with the other alternative technology?

Commissioner Jakubowski stated that maybe there is an opportunity to blend the colors on the roof a little more.

Commissioner Knieriem reiterated that maybe they can come up with other options to address the visibility.

Commissioner James stated that they should paint some of the metal-colored conduit that is exposed to match the roof material colors.

Susan Faber asked about timing of next steps.

Chris Gruba responded.

Chair Rigoni asked Ms. Faber to come back with answers to the questions that have been raised this evening.

## **H. Workshop: 20879 S. La Grange Road – Facen4Ward event space**

Chris Gruba summarized the staff report.

Chair Rigoni asked the applicants they had anything to add to the staff report.

The applicant, Kristen Facen approached the podium and provided an overview of the proposed business. She stated that the lease is under review by her attorney and she will be funding the improvements to the space. There should be no parking issue. They are not seeking a liquor license. She noted that her application incorrectly stated that the business would be closed on Thursdays and that it would be open from 10 am – 9 pm.

Chair Rigoni asked the PC/ZBA members if they had any questions.

Commissioner Jakubowki asked the applicant if each event will have a chaperone.

Kristen Facen responded yes.

Commissioner Jakubowski asked how many events they will have per week.

Kristen Facen responded that she envisions 1-2 events during the week and up to 4 events on the weekends.

Commissioner James stated that he sees a potential concern about the number of toilets for up to 75 people. He asked if there will be any issues with loitering.

Chair Rigoni asked if one event contract will take up the entire space.

Kristen Facen responded yes.

Chair Rigoni asked if there will be any bands.

Kristen Facen responded that there will not be any bands, but music is typically provided with a Bluetooth speaker.

Commissioner Markunas offered his congratulations on the applicant starting a new business. He said that a lot of his questions were answered by the applicant's overview of the project. He stated that it sounds like any loitering concerns will be monitored. He

does think the restrooms will be a Building Code issue.

Commissioner Schaeffer thanked the applicant for providing such detailed information. She asked if there will be any outdoor seating and if a bench would require a special use.

Chris Gruba responded that an exterior change such as a bench should be included as part of the special use permit request when it proceeds to a public hearing. However, the applicant noted that she was not seeking to install any exterior benches.

There was some discussion about the potential impacts on the neighboring businesses.

Commissioner Knieriem stated that he does have a concern about how noise and music will impact the adjacent businesses.

Kristen Facen responded that they will speak with the neighboring businesses.

Commissioner Schaeffer offered that maybe they could look into some sound insulation or acoustic mitigation measures for the neighboring businesses.

Commissioner Knieriem asked the applicant if they have done these types of events before.

Kristen Facen responded that they have done these events all over the area including in Indiana.

Commissioner Knieriem asked if the second story shown on the photo on the screen is a faux second story.

Chari Rigoni responded that it is a faux second story.

Commissioner Knieriem asked who will provide the food for the events.

Kristen Facen responded that the events will be catered.

Chair Rigoni stated that there should be no issues as far as needing Will County Health Department approval.

Chair Rigoni asked the applicant if she had any other questions.

Kristen Facen responded no.

**I. Workshop: 9350 W. Laraway Road – Savana Expedited LLC – Special Use Permits for a Truck Terminal and Automobile (Truck/Trailer) Repair**

Mike Schwarz summarized the staff report.

Chair Rigoni asked the applicant if she had anything to add to the staff report.



The applicant, Kristina Vlastelica, and her project engineer, Aurimas Spucys of Morris Engineering approached the podium.

Aurimas Spucys stated that the truck and trailer maintenance repair will not include any painting or body shop work. He stated that they were caught off guard by the Will County Department of Transportation request for 25 feet of additional right-of-way. He added that the proposed stormwater detention ponds were oversized by 25 percent so hopefully they should be able to mitigate the loss of additional property.

Commissioner Jakubowski asked the applicant how large is the fleet of vehicles for the business.

Kristina Vlastelica responded that they have 25 trucks and 25 trailers, but not all of these will be on site at the same time. They are out on the road.

Commissioner Jakubowski asked the applicant how much traffic they anticipate.

The applicant responded that the lot will usually be lightly occupied as they do not make money if the trucks are parked.

Commissioner James thanked the applicant for taking on this building which has fallen into disrepair.

Commissioner James asked if there are any refrigerated trucks.

Kristina Vlastelica responded that there will only be food grade trucks. There will not be any refrigerated trucks.

Commissioner Markunas stated that a lot of his questions were answered as far as the nature of the trucking operation. He suggested that the applicants try not to seek any variations if possible.

Commissioner Schaeffer asked what will happen to the concrete blocks shown in the photos around the back of the property near Ontario Street.

Aurimas Spucys responded that they will be removed from the site.

Commissioner Schaeffer asked what will happen to the wing walls of the building.

Aurimas Spucys responded that they will be repaired.

Commissioner Knieriem asked how long the owner has owned the property. Why hasn't the property been kept up since that time?

Aurimas Spucys stated that over the past 18 months they have been trying to get permits but cannot do so with the special uses being approved. Some of that time has been due to his design of the plans and not just the Village staff review.

Commissioner Knieriem asked what is the current use of the property.

Kristina Vlastelica responded that they have some office use and there are a few trucks there.

Commissioner Knieriem asked that in the meantime as they are going through the zoning process, they should start cleaning up the property as long as no permits are necessary for the work.

Chair Rigoni asked how many truck docks are associated with the proposed use.

The applicant responded that there are four existing docks and three more overhead doors are proposed.

Chair Rigoni asked how many service bays are proposed. She asked that staff confirm that for the public hearing.

Chair Rigoni asked if there is any plan to rent out yard space.

Kristina Vlastelica responded that there is not any plan to rent out yard space.

Chair Rigoni asked if the landscaping will be on the inside of the fence or on the outside of the fence.

The project engineer responded with the question “which do you prefer?”

Chair Rigoni stated that this project is an opportunity to spruce up this end of Ontario Street. She asked that there should be landscaping on both sides of the fence.

Commissioner Markunas asked the applicant where the drivers park long term.

Kristina Vlastelica responded that they do not park their personal vehicles on the site.

Chair Rigoni stated that the PC/ZBA can place a condition that there shall be no overnight parking by truck drivers. Or at least no running trucks overnight.

The applicant stated that there are existing truck/travel stops in the area that provide food, showers, etc. so there is no need for nor will there be any overnight parking by their truck drivers.

There was some discussion about the staging of vehicles and the desire to have no trucks parked on the public streets.

Mike Schwarz responded that the PC/ZBA could add a condition for no off-site parking for this project but that a broader “no parking” restriction for all of Ontario Street would need to be reviewed by the Traffic Committee.

Commissioner Jakubowski asked about the hours that trucks will be coming and going.

Kristina Vlastelica provided a summary of how their operation works.

Chair Rigoni asked if there was anyone in the audience wanting to speak.

John Brooks who lives in Lakeview Estates approached the podium. He stated that has a concern about increased truck traffic in the area.

The applicant stated that GPS routes the trucks to the site.

Chair Rigoni stated that there is an anticipation that all trucks will only come in and out via Ontario Street.

Aurimas Spucys explained that the turning radius for trucks to and from Laraway Road may be impacted by the Will County right-of-way dedication. Therefore, most of their trucks will enter and exit via the proposed Ontario Street access.

There was some discussion about the routing of trucks to and from the existing and proposed access points.

The applicant and her project engineer thanked the Plan Commission members for their time and they will be in touch with Village staff to address the comments they have received.

## **B. Public Comments**

Chair Rigoni noted that there were no members of the public remaining in attendance so there were no other public comments.

## **C. Village Board & Committee Updates**

Schwarz noted that the Special Use requests for 14 Hickory Street 14 B (Studio C/Frankfort Arts Association) and 21218 S. La Grange (StretchLab) were each approved by the Village Board at its meeting on May 16<sup>th</sup>, 2022. He also noted that an offer of employment for the Planner position was made and accepted this week. The new Planner is scheduled to start on June 6<sup>th</sup>.

## **D. Other Business**

Chair Rigoni noted that there was no other business.

## **E. Attendance Confirmation (June 9, 2022)**

Chair Rigoni asked the Commissioners to notify staff if they will not be in attendance on June 9<sup>th</sup>.

**Motion (#9):** Adjournment 9:26 p.m.

Motion by: Markunas                      Seconded by: Schaeffer

Unanimously approved by voice vote.

Approved June 9, 2022

As Presented \_\_\_\_\_ As Amended \_\_\_\_\_

\_\_\_\_\_/s/Maura Rigoni, Chair

\_\_\_\_\_/s/ Secretary

**Project:** Homestead Commercial  
**Meeting Type:** Plat Approval  
**Request:** Plat approval of a two-lot commercial subdivision  
**Location:** Southwest Corner of Wolf and Laraway Roads  
**Applicant:** Brianne Development, Inc.  
**Prop. Owner:** Brianne Development, Inc.  
**Representative:** Applicant

### Site Details

**Lot Size:** ±4.52 Acres  
**PIN(s):** 19-09-31-202-030-0000  
**Existing Zoning:** B-2  
**Prop. Zoning:** N/A  
**Lots:** 2 lots (*proposed*)

### Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Vacant	General Comm.	B-2
<b>North</b>	Commercial	General Comm.	B-2/R-2
<b>South</b>	Residential	Single Fam. Res.	R-2
<b>East</b>	Undeveloped	General Comm.	B-2
<b>West</b>	Residential	Single Fam. Res.	R-2

**Figure 1: Location Map**



### Project Summary

On November 2, 2020, the Village Board passed two ordinances approving a PUD for a 9,600 square-foot shopping center and a Special Use Permit for outdoor seating (ordinances 3270 & 3271). A final plat for the project was approved later by the Village Board on September 20, 2021, to create a two-lot commercial subdivision for Homestead Commercial. The applicant is now seeking changes to the final plat in order to reroute some of the underground utilities. The only change from the formerly approved plan is the addition of a 10' wide public utility and drainage easement along the east property line. The changes are requested to reroute the watermain.

The building that was approved is being constructed on Lot 1. As the project for this parcel was approved as a PUD, any proposed building for Lot 2 would have to return to the Plan Commission for review under a Major PUD change.

### Attachments

- Final Plat, received by staff 5.31.22
- Aerial Photograph, prepared by Staff, dated 1.2.20
- Formerly approved site plan, floorplan, landscape plan and building elevations approved on 11.2.20 (for reference only)

## ***Analysis***

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In consideration of the requests, staff offers the following points of discussion:

- The B-2 zone district requires a minimum lot size of 20,000 square feet (0.46 acres). Lot 1 measures 2.03 acres and Lot 2 measures 2.14 acres, meeting this requirement.
- The final plat illustrates cross-access, public utility & drainage easements, with dimensions noted on the plat.
- The final plat has been reviewed by the Utility Department as well as the Village's engineering consultant for accuracy of public utility and drainage easements, the cross-access easements and other housekeeping items.

## ***Affirmative Motions***

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1. Recommend the Village Board approve the final plat for Homestead Center in accordance with the reviewed plans and public testimony, subject to any necessary technical revisions prior to recording.





# Homestead Commercial









[illegible]

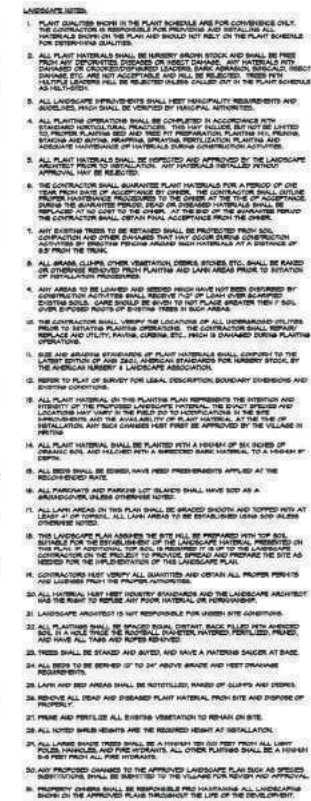
Brianne Development, Inc.  
SWC Laraway & Wolf  
Retail  
Floor Plan

Project number	2019-032
Date	9-10-2020
Drawn by	MLB
Checked by	SAG

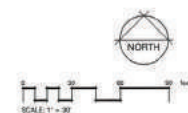
ASK-1.0

Scale	1/8" = 1'-0"
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MULCH SCHEDULE		
	MULCH	1.5K SF
	EXTENDING PAVING AREA	15.450 SF



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PREPARED FOR:  
DEI  
LOCATION:  
Frankfort  
DATE:  
7/30/2019  
SCALE:  
1" = 20'  
COMPUTER NAME:  
Hornetted Lolan  
JOB NUMBER:  
JCS-72

SHEET

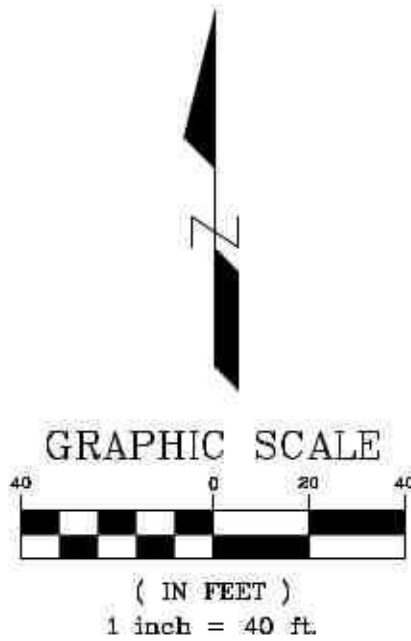












**BASIS OF BEARING**  
THE BASIS OF BEARINGS IS THE ILLINOIS STATE PLANE SYSTEM - EAST ZONE

**PARCEL IDENTIFICATION NUMBER**  
19-09-31-202-030-0000

**PROJECT DATA**

GROSS AREA (TOTAL SITE): 181,754 SQ. FT. / 4.17 AC.  
LOT 1: 88,591 SQ. FT. / 2.03 AC.  
LOT 2: 93,163 SQ. FT. / 2.14 AC.

**LEGEND**

- FIP FOUND IRON PIPE
- FIR FOUND IRON ROD
- SIP SET 5/8" x 24" IRON PIPE
- SMN SET MAG. NAIL
- SCM CONCRETE MONUMENT
- BOUNDARY LINE
- LOT LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE

PROPOSED INGRESS-EGRESS & CROSS ACCESS EASEMENT

PROPOSED PUBLIC UTILITY & DRAINAGE EASEMENT

PROPOSED LANDSCAPE AND PUBLIC & UTILITY DRAINAGE EASEMENT

**ABBREVIATIONS**

- FD. FOUND
- (###) RECORD DIMENSION
- (###) MEASURED DIMENSION
- FIP FOUND IRON PIPE
- FIR FOUND IRON ROD OR PIN
- P.U.E. PUBLIC UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- B.S.L. BUILDING SETBACK LINE
- L.E. LANDSCAPE EASEMENT
- SQ. FT. SQUARE FEET
- L ARC DIMENSION
- R RADIUS DIMENSION
- N NORTH
- S SOUTH
- E EAST
- W WEST

**NOTES**

- VEHICULAR ACCESS FOR LOTS 1 & 2 TO WOLF AND LARAWAY ROADS SHALL BE VIA THE INGRESS-EGRESS & CROSS ACCESS EASEMENTS SHOWN HEREON.
- THE LANDSCAPE EASEMENT SHOWN HEREON SHALL BE MAINTAINED BY THE CURRENT OR SUBSEQUENT OWNERS.
- THE INGRESS-EGRESS & CROSS ACCESS EASEMENTS SHALL BE MAINTAINED BY THE CURRENT & SUBSEQUENT OWNERS.

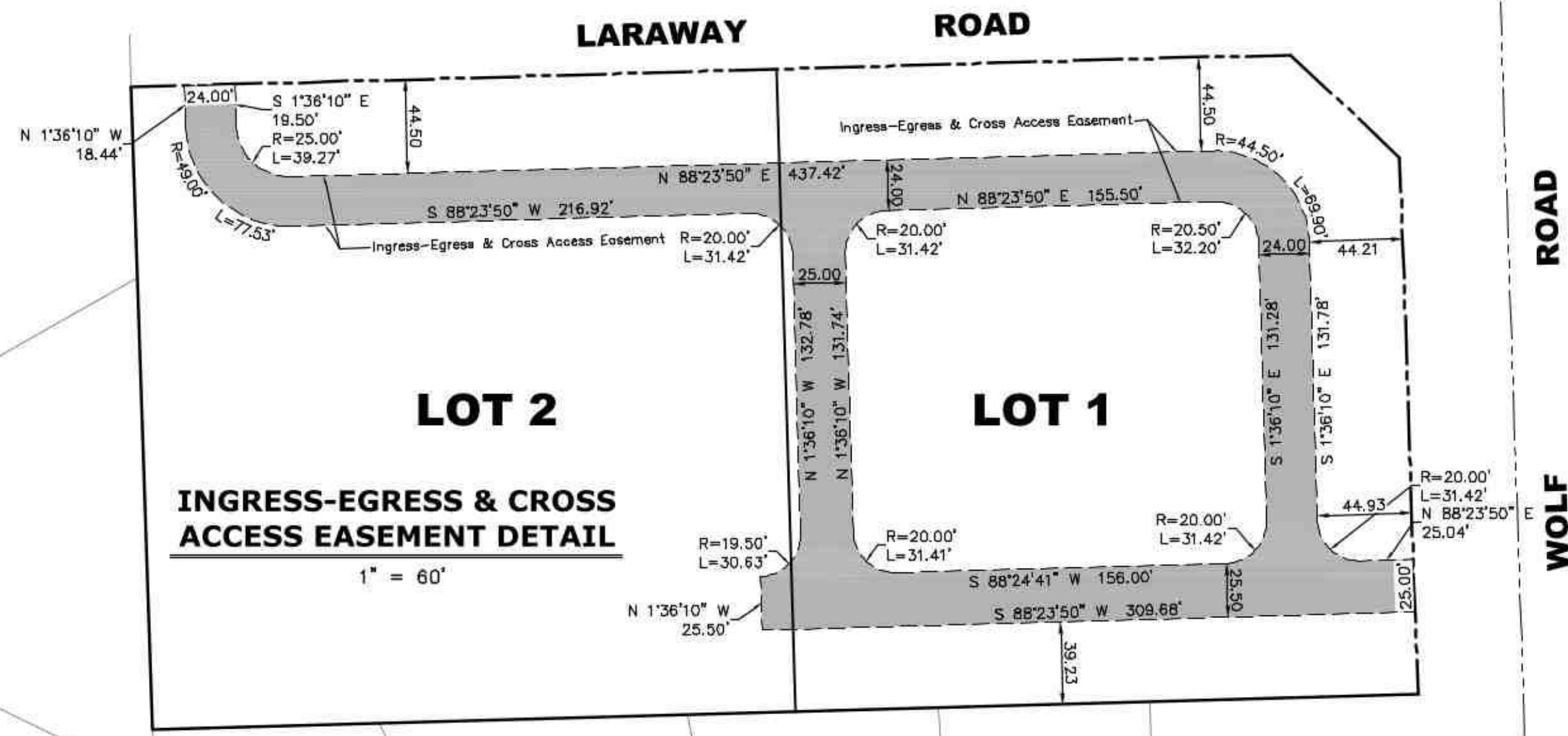
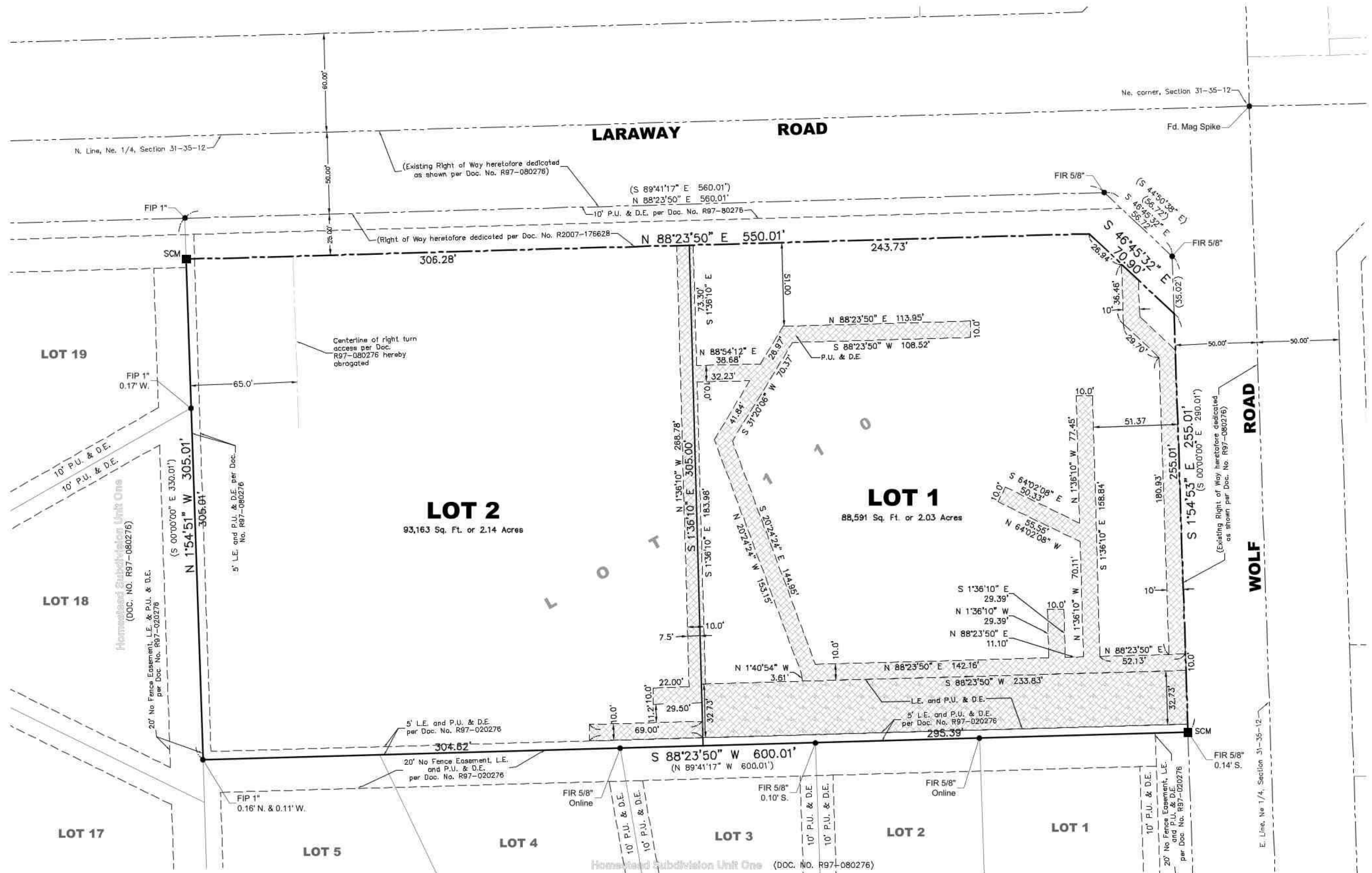
**RECEIVED**

By Christopher Gruba at 1:14 pm, May 31, 2022

# FINAL PLAT OF HOMESTEAD CENTER

BEING A RE-SUBDIVISION OF LOT 110 (EXCEPTING THEREFROM THAT PART DEDICATED TO THE HIGHWAY DEPARTMENT OF WILL COUNTY, ILLINOIS FOR PUBLIC RIGHT OF WAY) IN HOMESTEAD SUBDIVISION, UNIT 1, A SUBDIVISION OF PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 31, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

RESERVED FOR THE RECORDER OF WILL COUNTY



NO.	DATE	DESCRIPTION	BY
1	08/17/21	PER VILLAGE COMMENTS - 2021-04-06	SJL
2	08/17/21	PER VILLAGE COMMENTS - 2021-04-06	SJL
3	05/31/22	ADD P.U. & D.E. ON LOT 1	SJL

BRIANNE DEVELOPMENT, INC.  
18811 S. 90TH AVENUE - SUITE L  
MOKENA, ILLINOIS 60448

FINAL PLAT  
FOR  
HOMESTEAD CENTER  
FRANKFORD, ILLINOIS

DESIGNTEK ENGINEERING, INC.  
CONSULTING, CIVIL ENGINEERING & LAND SURVEYING  
9930 W. 190TH STREET, SUITE L  
MOKENA, ILLINOIS 60448  
(708) 326-4961  
FAX: (708) 326-4692  
IL PROF. LIC. NO.: 184-003740



**PROJECT INFORMATION**  
Project No.: 19-0020  
Scale: 1" = 40'  
Date: 04/06/2021  
Field Date: 12/23/2019  
Drawn By: SJL  
Checked By: MJF

1  
OF  
2

FINAL PLAT



PARCEL IDENTIFICATION  
NUMBER  
19-09-31-202-030-0000

OWNER'S CERTIFICATE

State of Illinois )  
County of Will ) SS

This is to certify that \_\_\_\_\_, the owner of the land described in the annexed plat and has caused the same to be surveyed and subdivided as indicated thereon, for the purposes therein set forth, and does hereby acknowledge and adopt the same under the style and title thereon indicated.

This is to additionally certify that as owner of the property hereon described in the surveyor's certificate and known as Homestead Center.

I further certify that as owner of the property hereon described in the surveyor's certificate and known as Homestead Center, to the best of my knowledge, is located within the boundary of

Frankfort Community Consolidated School District 175-C

Lincolnway Community High School District 210

Joliet Junior College District 525

Dated at \_\_\_\_\_ this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.

By: \_\_\_\_\_ Attest: \_\_\_\_\_

Address \_\_\_\_\_

\_\_\_\_\_

OWNER'S NOTARY PUBLIC CERTIFICATE

State of Illinois )  
County of Will ) SS

I, \_\_\_\_\_, a Notary Public in and for the said county and state aforesaid, do hereby certify that \_\_\_\_\_ and \_\_\_\_\_ who is (are) personally known to me to be the same person(s) whose name(s) are subscribed to the foregoing instrument as such owner(s), appeared before me this day in person and acknowledged that he (she) (they) signed and delivered the said instruments as his (her) (their) own free and voluntary act for the uses and purposes therein set forth.

Given under my hand and notarial seal this \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_.

\_\_\_\_\_  
Notary Public

PLAN COMMISSION CERTIFICATE

State of Illinois )  
County of Will ) SS

I, \_\_\_\_\_, Chairman of the Village of Frankfort Plan Commission, do certify that on this \_\_\_\_\_ of \_\_\_\_\_ A.D. 20\_\_\_\_, this plat of re-subdivision was duly approved by the Plan Commission of the Village of Frankfort.

\_\_\_\_\_  
Chairman

VILLAGE MAYOR'S CERTIFICATE

State of Illinois )  
County of Will ) SS

I, \_\_\_\_\_, Mayor of the Village of Frankfort, IL certify that this plat of subdivision was approved by the Board of Trustees of the Village of Frankfort, IL at a meeting held on the \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_.

By: \_\_\_\_\_  
Village Mayor

VILLAGE CLERK

State of Illinois )  
County of Will ) SS

I, \_\_\_\_\_, Village Clerk of the Village of Frankfort, Illinois, hereby certify that this plat was presented to and by resolution duly approved by the Board of Trustees of said Village at its meeting held on \_\_\_\_\_, A.D., 20\_\_\_\_, and the required bond or other guarantee has been posted for the completion of the improvements required by the regulations of said Village.

In witness whereof I have hereto set my hand and seal of the Village of Frankfort, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_.

\_\_\_\_\_  
Village Clerk

FINAL PLAT  
OF  
HOMESTEAD CENTER

BEING A RE-SUBDIVISION OF LOT 110 (EXCEPTING THEREFROM THAT PART DEDICATED TO THE HIGHWAY DEPARTMENT OF WILL COUNTY, ILLINOIS FOR PUBLIC RIGHT OF WAY) IN HOMESTEAD SUBDIVISION, UNIT 1, A SUBDIVISION OF PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 31, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

CERTIFICATE AS TO SPECIAL ASSESSMENTS

State of Illinois )  
County of Will ) SS

I, \_\_\_\_\_, Village Treasurer of the Village of Frankfort, IL do hereby certify that there are no delinquent or unpaid current or forfeited special assessments or any deferred installments thereof that have been apportioned against the tract of land included in the plat.

Dated at Village of Frankfort, Will County, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Village Treasurer

WILL COUNTY CLERK

State of Illinois )  
County of Will ) SS

This is to certify that I find no delinquent or unpaid current taxes against any of the real estate described in the foregoing certificate.

Dated at Frankfort, Will County, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_.

\_\_\_\_\_  
Will County Clerk

TAX MAPPING CERTIFICATE

State of Illinois )  
County of Will ) SS

I, \_\_\_\_\_, do hereby certify that I have checked the legal description of the final plat and find that said plat to be a true and correct representation of the re-subdivision as made by the surveyor.

The property hereon described is located on Tax Map \_\_\_\_\_ and identified as permanent real estate tax number(s) 19-09-31-202-030-0000

Dated this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.

\_\_\_\_\_  
Director

\_\_\_\_\_  
Will County Engineer

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, A.D. as to roadway access from Lot 2 to Laraway Road, County Highway 74. Direct access from Lot 1 to said Laraway Road is prohibited.

\_\_\_\_\_  
Will County Engineer

SURFACE WATER STATEMENT

To the best of our knowledge and belief, the drainage of surface waters will not be changed by the construction of this subdivision or any part thereof, or, if such surface water drainage will be changed, reasonable provision has been made for collection and diversion of such surface waters into public areas, or drains which the owner has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to the adjoining property because of the construction of this subdivision.

Owner \_\_\_\_\_ Professional Engineer \_\_\_\_\_

Name \_\_\_\_\_ Name \_\_\_\_\_

EASEMENT PROVISIONS

An easement for serving the subdivision and other property with electric and communication service is hereby reserved for and granted to

Commonwealth Edison Company  
and  
SBC - Ameritech Illinois a.k.a. Illinois Bell Telephone Company, Grantees,

their respective licensees, successors, and assigns, jointly and severally, to construct, operate, repair, maintain, modify, reconstruct, replace, supplement, relocate and remove, from time to time, poles, guys, cables, conduits, manholes, transformers, pedestals, equipment cabinets or other facilities used in connection with overhead and underground transmission and distribution of electricity, communications, sounds and signals in, over, under, across, along and upon the surface of the property shown within the dashed or dotted lines (or similar designation) on the plat and marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation), the property designated in the Declaration of Condominium and/or on this plat as "Common Elements"; and the property designated on the plat as "common area or areas", and the property designated on the plat for streets and alleys, whether public or private, together with the rights to install required service connections over or under the surface of each lot and common area or areas to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes, roots and saplings and to clear obstructions from the surface and subsurface as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over Grantees' facilities or in, upon or over the property within the dashed or dotted lines (or similar designation) marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation) without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have the meaning set forth for such term in the "Condominium Property Act", Chapter 765 ILCS 605/2, as amended from time to time.

The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole or as an appurtenance to the separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by terms such as "outlots", "common elements", "open space", "open area", "common ground", "parking" and "common area". The term "common area or areas" and "Common Elements" include real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, Service Business District or structures such as a pool, retention pond or mechanical equipment.

Relocation of facilities will be done by Grantees at cost of the Grantor/Lot Owner, upon written request.

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

Easements are hereby reserved for and granted to the Village of Frankfort, Illinois and to those public utility companies operating under franchise from the Village of Frankfort, including, but not limited to, Comed, Ameritech, Nicor, Comcast and their respective successors and assigns, over all of the areas marked "Public Utilities & Drainage Easements" or (P.U. & D.E.) on the plat for the perpetual right, privilege and authority to construct, reconstruct, repair, inspect, maintain and operate various utility transmission and distribution systems, community antenna television systems and including storm and/or sanitary sewers, together with any and all necessary manholes, catch basins, connections, appliances and other structures and appurtenances as may be deemed necessary by said Village, over, upon, along, under and through said indicated easements, together with right of access across the property for necessary personnel and equipment to do any of the above work.

The right is also granted to cut down, trim or remove any trees, shrubs or other plants on the easements that interfere with the operation of the sewers or other utilities.

No permanent buildings or obstructions shall be placed on said easements without prior written consent of grantees, but some may be used for gardens, shrubs, landscaping and other purposes that do not then or later interfere with the aforesaid uses or rights. After installations of such facilities, the grade of said easement shall shall not be altered in a manner as to interfere with the proper operation and maintenance thereof.

Where an easement is used both for sewers and other utilities, the other utility installation shall be subject to the ordinances of the Village of Frankfort.

Easements are hereby reserved for and granted to the Village of Frankfort and other governmental authorities having jurisdiction of the land subdivided hereby, over the entire easement area for ingress, egress and the performance of municipal and other governmental services, including water, storm and sanitary sewer service and maintenance.

NI-COR EASEMENT PROVISIONS

An easement is hereby reserved for and granted to NICOR GAS COMPANY OF ILLINOIS, its successors and assigns, in all platted "easement" areas, streets, alleys, other public ways and places shown on this plat, said easement to be for the installation, maintenance, relocation, renewal and removal of gas mains and appurtenances for the purpose of serving all areas shown on this plat as well as other property, whether or not contiguous thereto. No buildings or other structures shall be constructed or erected in any such "easement" areas, streets, alleys, or other public ways or places nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby.

INGRESS-EGRESS & CROSS ACCESS EASEMENT PROVISIONS

An easement is hereby reserved for and granted to all of the owners of the lots created by the plat hereon drawn, their respective invitees, and to all persons requiring access to the buildings and parking areas constructed herewith over, upon and across all of the paved areas as outlined, dimensioned, labeled and hatched herewith for the purpose of ingress and egress including the perpetual right, privilege and authority to traverse said areas as pedestrians and as operators of motorized vehicles; all access driveways shall not be closed for any reason except emergency repairs. The owners lots created by this re-subdivision shall be responsible for the snow removal, maintenance and repair of the pavement, sidewalks, street lights and appurtenances thereto within their respective lots.

Submitted by: \_\_\_\_\_

Return the original Mylar to: \_\_\_\_\_

Send all future tax bills to: \_\_\_\_\_

DesignTek Surveying, LLC  
9930 W. 190th Street, Ste. L  
Mokena, Illinois

Brianne DevelopmenT, Inc.  
18811 S. 90th Avenue - Suite L  
Mokena, Illinois 60448

RECORDER'S CERTIFICATE

State of Illinois )  
County of Will ) SS

This instrument, No. \_\_\_\_\_, was filed for record in the Recorder's Office of Will County, Illinois on the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_ at \_\_\_\_\_ o'clock \_\_\_\_\_ m and was recorded in Book \_\_\_\_\_ of Plats on Page \_\_\_\_\_.

\_\_\_\_\_  
Will County Recorder

SURVEYOR'S CERTIFICATE

State of Illinois )  
County of Will ) SS

This is to certify that I, Steven J. Laub, an Illinois Professional Land Surveyor, No. 035-003160, have surveyed and re-subdivided the following described property:

Lot 110 in Homestead Subdivision, Unit 1, being a Subdivision of part of the East 1/2 of the Northeast 1/4 of Section 31, Township 35 North, Range 12 East of the Third Principal Meridian, according to the plat thereof recorded September 16, 1997 as Document No. R97-80276, excepting therefrom that part dedicated to the Highway Department Of Will County, Illinois for public right of way by instrument recorded December 12, 2007 as Document R2007-176628, in Will County, Illinois.

as shown by the annexed plat which is a correct representation of said survey and subdivision.

I further certify that this subdivision lies within the Village limits or within 1.5 miles of the corporate limits of the Village of Frankfort, Illinois, which has adopted a municipal plan and is exercising special powers authorized by Article 11, Division 12 of the Illinois municipal code, as now and hereafter amended and that all regulations enacted by the Village of Frankfort relative to plats and subdivisions have been complied with in the preparation of this plat.

I further certify that iron pipes 1" (o.d.) x 24" will be set at all lot corners except where concrete monuments are indicated upon the completion of the final grading, and that the plat hereon drawn correctly represents said survey and subdivision.

I further certify that the subject property lies within Zone "X" (unshaded area being outside the 500-year floodplain) as defined by the Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Map (FIRM) of Will County and incorporated areas, Map Number 17197C0310G, Effective Date of February 15, 2019.

Dimensions are given in feet and decimal parts thereof and all curve lengths shown are arc dimensions.

Given under my hand and seal at Mokena, Illinois, this 6th day of April, A.D., 2021

Steven J. Laub  
Illinois Professional Land Surveyor No. #035-003160  
License expires on November. 30, 2022



This professional service conforms to the current Illinois minimum standards for a boundary survey.

RESERVED FOR THE RECORDER OF WILL COUNTY

REVISIONS		NO.	DATE	DESCRIPTION	BY
		1	08/24/21	PER VILLAGE ORDER, THIS SHEET	SJL
		2	08/24/21	NO CHANGES THIS SHEET	SJL
		3	09/31/22		

BRIANNE DEVELOPMENT, INC.  
18811 S. 90TH AVENUE - SUITE L  
MOKENA, ILLINOIS 60448  
708-305-0288

FINAL PLAT  
FOR  
HOMESTEAD CENTER  
FRANKFORT, ILLINOIS

DESIGNTEK ENGINEERING, INC.  
CONSULTING, CIVIL ENGINEERING & LAND SURVEYING  
9930 W. 190TH STREET, SUITE L  
MOKENA, ILLINOIS 60448  
(708) 326-4961  
FAX: (708) 326-4692  
IL PROF. LIC. NO.: 184-003740



PROJECT INFORMATION	
Project No.:	19-0020
Scale:	1" = 40'
Date:	04/06/2021
Field Date:	12/23/2019
Drawn By:	SJL
Checked By:	MJF

2  
OF  
2

FINAL PLAT



**Project:** LaMarche Residence First and Second Floor Additions and Exterior Remodeling

**Meeting Type:** Public Hearing

**Request(s):** Request for a variation from Article 6, Section B, Part 2(g)(2) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding on the first floor of an existing home in conjunction with proposed first and second floor additions and exterior remodeling in the R-2 Single-Family Residential District located at 170 Vail Drive

**Location:** 170 Vail Drive

**Applicant:** William and Stacey LaMarche

**Prop. Owner:** Same as above

**Consultants:** Gabe Garcia, Ideal Designs; Richard Vane, MG2A

**Representative:** None

**Report By:** Michael J. Schwarz, AICP

### Site Details

**Lot Size:** 14,410 SF

**PIN(s):** 19-09-21-208-031-0000

**Existing Zoning:** R-2, Single-Family Detached Residential

**Prop. Zoning:** N/A

**Building(s) / Lot(s):** 1 buildings / 1 lot

**Adjacent Land Use Summary:**

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>North</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>South</b>	Open Space	Environmental Conservation	B-2
<b>East</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>West</b>	Stormwater Detention	Single-Family Detached Residential	R-2

Figure 1: Location Map



### Project Summary

The applicants, William and Stacey LaMarche, are seeking to add first and second floor additions and remodel the exterior of their two-story home located at 170 Vail Drive. The applicants are requesting a variation from Article 6, Section B, Part 2(g)(2) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding on the first floor on a proposed addition in the R-2 Single-Family Residential District.

In summary, the applicants intend to construct a 490 square-foot addition on the first floor at the rear of the house and an 872 square-foot addition on the second floor of the house. According to the Building Data information on Sheet T-1 of the architectural plans, the existing house contains 2,682 square feet of floor area including the 843 square-foot basement (the Frankfort Township Assessor property information indicates that the existing house contains a gross living area of 1,792 square feet). The existing exterior brick at the front entry would remain but would be repainted. Eight sets of front window shutters would be removed as well as a decorative hexagonal Wypon located below the front gable. The existing front door and garage door will be replaced. The existing asphalt shingle-roof would be replaced with a new asphalt shingle roof with the exception that several new smaller roofed areas would be added, including over two second-story sets of windows on the front elevation, over the front entry and

over the garage door. The existing first floor vinyl siding would be replaced with horizontally hung LP® Smart Siding which is a fiber cement board product. The existing second floor vinyl siding would be replaced with vertically hung board and batten siding. Proposed changes to the rear of the house include removal of the brick chimney, replacement of existing windows and additional new windows, a new first-floor gable over the rear entry, and a new second-story gable over new double-hung windows.

## Attachments

- Applicant Findings for Variation Standards
- 2020 Aerial Photograph from Will County GIS
- Photographs from site visit on June 1, 2022
- Engineering Site Plan dated May 25, 2022 and received May 25, 2022
- Architectural Plans dated April 28, 2022 and received April 28, 2022
- PC/ZBA Evaluation Form for Variation Findings of Fact

## Analysis

In consideration of the requests, staff offers the following points of discussion:

- The following table is provided to compare the subject property with the R-2 District dimensional and other standards:

	<b>R-2 Single-Family Detached Residential District Requirement</b>	<b>Subject Property</b>	<b>Comments</b>
<b>Minimum Lot Size (square feet) (Single-Family Dwelling)</b>	15,000 SF	14,410 SF	Platted as Lot 47 in Creekview Unit 2 Subdivision (1977), the subject lot is legally non-conforming with respect to area
<b>Minimum Lot Width (Feet)</b>	100 feet	102 feet (approximate)	
<b>Minimum Lot Depth</b>	150 feet	130 feet (approximate)	Platted as Lot 47 in Creekview Unit 2 Subdivision (1977), the subject lot is legally non-conforming with respect to lot depth
<b>Minimum Required Yards (feet)</b> <ul style="list-style-type: none"> <li>• Front</li> <li>• Side</li> <li>• Rear</li> </ul>	<ul style="list-style-type: none"> <li>• 30 feet</li> <li>• Total 25 feet; min. 10 feet on any side</li> <li>• 30 feet</li> </ul>	<ul style="list-style-type: none"> <li>• 30 feet</li> <li>• Total 38.8 feet; 12 feet on east side</li> <li>• 39.5 feet</li> </ul>	
<b>Maximum Height (feet)</b>	35 feet	28 feet, 6 inches	
<b>Maximum Lot Coverage</b>	20% (for a Two-Story)	11% existing 17.5% proposed	
<b>Maximum Impervious Coverage</b>	40%	23% existing (3,290 SF) 25% proposed (3,640 SF)	
<b>Maximum Rear Yard Coverage</b>	30%	0%	
<b>Minimum Gross Floor Area (square feet, includes basement)</b>	2,600 (for a two-story)	2,682 SF existing 4,044 SF proposed	

<b>Minimum Basement Size</b>	80% of the ground floor area (80% of 1,640 SF = 1,312 SF)	843 SF	Existing basement area is legally non-conforming
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- Although previous Village approvals of variation requests do not set any precedent, the following information is provided as background information. On October 5, 2015, the Village Board approved a similar request for a variation from Article 6, Section B, Part 2(g)(2) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding on the first floor of an existing home for the Claudette Lesiak residence located at 595 Vail Drive, which is five houses north of the subject property, on the opposite side of the street (Ordinance No. 2989). In that case the owners desired to replace the existing cedar plywood siding with vinyl siding. At the September 24, 2016 Plan Commission / Zoning Board of Appeals meeting, a motion was made and seconded to recommend that the Village Board approve a building materials variance to permit the use of Crane Board, solid core, board and batten style vinyl siding on the home located at 595 Vail Drive in accordance with the reviewed plans and public testimony (approved 4-1).

### ***Standards for Variations***

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The applicants are requesting a variation from Article 6, Section B, Part 2(g)(2) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding on the first floor of an existing home in conjunction with proposed first and second floor additions and exterior remodeling.

For reference during the workshop, Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request.

- a. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:
  1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
  2. That the plight of the owner is due to unique circumstances;
  3. That the variation, if granted, will not alter the essential character of the locality.
- b. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making this determination, whenever there are practical difficulties or hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:
  1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
  2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
  3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
  4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
  5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;
7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

### ***Affirmative Motion***

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For the Commission's consideration, staff is providing the following potential affirmative motion.

1. Recommend that the Village Board approve the request for a variation from Article 6, Section B, Part 2(g)(2) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding on the first floor of an existing home in conjunction with proposed first and second floor additions and exterior remodeling in the R-2 Single-Family Residential District located at 170 Vail Drive, in accordance with the submitted plans, public testimony, and Findings of Fact.

**RECEIVED**

*By Mike Schwarz at 8:51 am, May 02, 2022*



Application for Plan Commission / Zoning Board of Appeals Review  
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

Yes, the property can yield a substantial return

2. That the plight of the owner is due to unique circumstances; and

There are no hardship for the request of the variance. We are just trying to create more aesthetics

3. That the variation, if granted, will not alter the essential character of the locality.

No, it will not alter and add character to the neighborhood and area

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

Yes due to overall costs, time and lack of being waterproof of brick.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

Potentially, but I cannot truly answer this. We are requesting due to the adaptability brick has with the intense weather the Midwest throws at us. Between chipping, cost of repairs, the mold potential (which my daughter and I are allergic too), composite makes more sense for our family home.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

No, this home is being renovated to be our forever home

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

Not at all

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

No, it will absolutely not affect any other home or property.

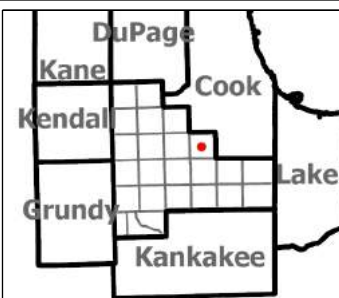
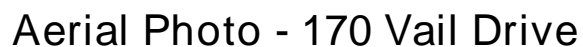
6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

The requested changes to the interior and exterior of the home, has been appraised well over comps in the neighborhood, which will ultimately bring value to the neighborhood







7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

No we will be using composite, if approved which is also very fire resistant and weather durable





### Legend

-  Address Points
- Roadways**
-  Federal
  -  State
  -  County
  -  Local and Private
-  Parcels LY
-  Townships

## Notes

Date: 5/27/2022

1: 2,257



## Projection

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

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### Standards of Variation Commissioner Evaluation Form

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided.

	STANDARD	NOTES	MEETS	
1.	That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;		YES	NO
2.	That the plight of the owner is due to unique circumstances;		YES	NO
3.	That the variation, if granted, will not alter the essential character of the locality.		YES	NO

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence.

	STANDARD	NOTES	MEETS	
1.	That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;		YES	NO

2.	That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;		YES	NO
3.	That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;		YES	NO
4.	That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;		YES	NO
5.	That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;		YES	NO
6.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or		YES	NO
7.	That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.		YES	NO



## LEGEND

+ 730.00	- EXISTING SPOT ELEVATION	—W—W—	- PROPOSED WATER SERVICE, 1.5" MIN. TY K COPPER
---730---	- EX. GROUND CONTOUR (PRE-SUBDIVISION)	—<<—	- PROPOSED SANITARY SERVICE, 6" MIN. PVC
—C—	- EXISTING STORM SEWER		(WATER & SEWER SERVICES TO BE CONSTRUCTED PER LOCAL REQUIREMENTS. FIELD VERIFY EX. SERVICE LOCATIONS & SIZING PRIOR TO CONSTRUCTION)
—S—	- EXISTING SANITARY SEWER		
⊙	- EXISTING STORM CATCH BASIN		
⊙	- EXISTING SANITARY MANHOLE		
←	- PROPOSED FLOW DIRECTION ARROW		
PXXX.X X	- PROPOSED SPOT ELEVATIONS		
TCXXX.XX X	- PROPOSED TOP OF CURB ELEVATIONS		
FGF-XXX.XX	- SUGGESTED FINISHED GARAGE FLOOR ELEVATION		
T/F-XXX.XX	- SUGGESTED TOP OF FOUNDATION ELEVATION		
FBF-XXX.XX	- SUGGESTED FINISHED BASEMENT FLOOR ELEVATION		

## ABBREVIATIONS

P.U. or P.U.E.	- PUBLIC UTILITY EASEMENT
B.S.L.	- BUILDING SETBACK LINE
D.E.	- DRAINAGE EASEMENT
PCC	- PORTLAND CEMENT CONCRETE (SUBJECT TO C&R DOC'S...EITHER PAVERS OR STAMPED CONCRETE REQ'D)

## NOTES:

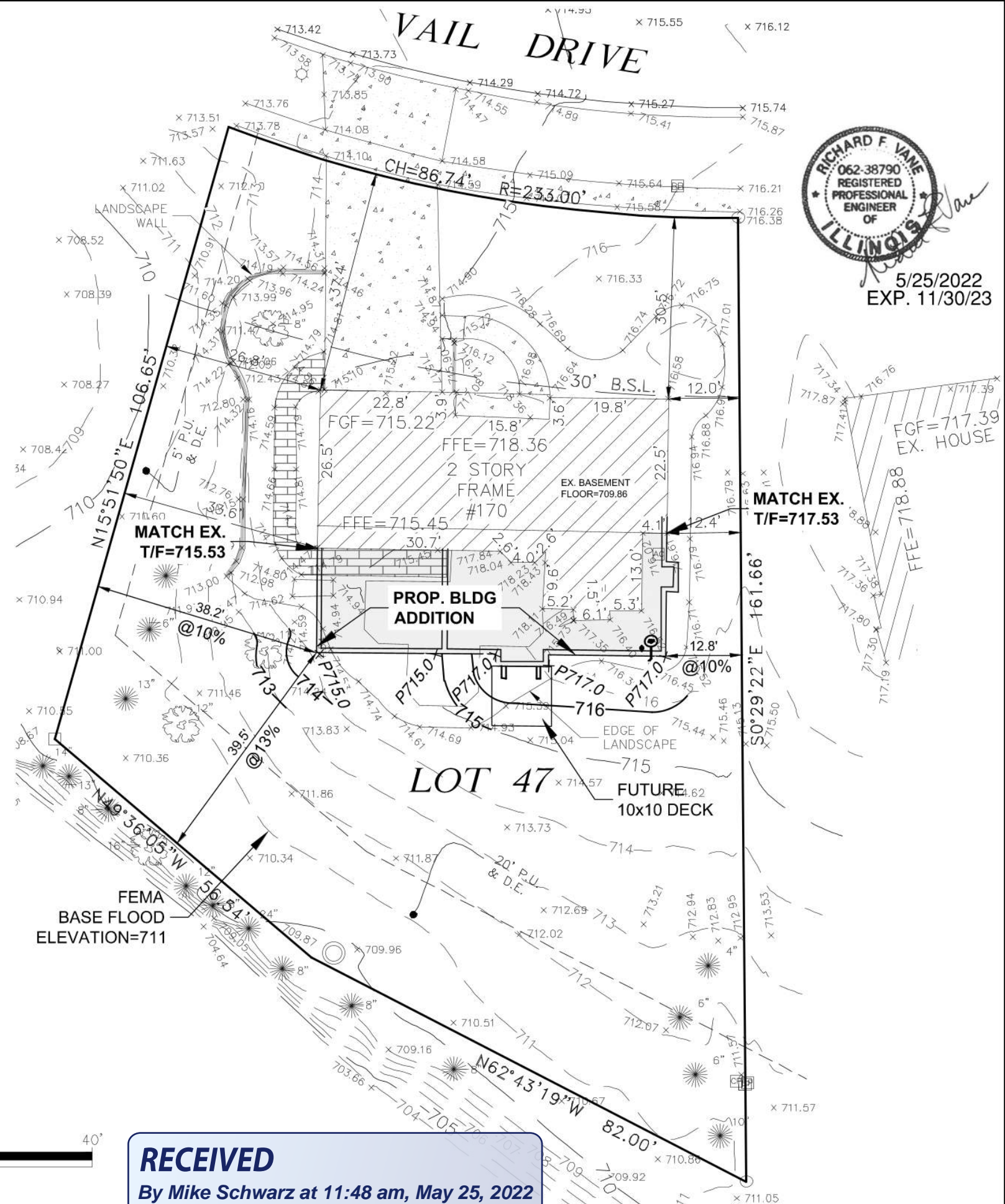
- Building Addition footprint provided by others, and should be checked prior to construction.
- Construction operations shall avoid placing fill material, excavated soil, or construction debris in the Floodplain which is any location where the existing ground is at or below elevation 711.
- Any and all off-site disturbed areas are to be restored to existing conditions or better, if necessary.
- Prior to Excavation call Joint Utilities Location Information for Excavations "J.U.L.I.E." 1-800-892-0123
- All proposed top of window wells shall be set at T/F - 0.30', unless noted otherwise.
- Side slopes shall be 5:1 or flatter.
- Contractor shall remove existing backyard improvements, decks, patios, etc. as needed for construction of the proposed building addition, and as directed by the Owner.

LOT COVERAGE TABLE	EXISTING	PROPOSED
LOT AREA = 14,410 SQ.FT.		
BUILDING FOOTPRINT AREA	1,640 SQ FT	2,520 SQ FT
DRIVEWAY	700 SQ FT	700 SQ FT
FRONT WALK & STOOP	155 SQ FT	155 SQ FT
SIDE YARD WALK	255 SQ FT	165 SQ FT
REAR DECK	540 SQ FT	100 SQ FT (FUTURE)
TOTAL IMPERVIOUS SURFACE	3,290 SQ FT	3,640 SQ FT
IMPERVIOUS LOT COVERAGE	23%	25% (40% ALLOWED)
BUILDING FOOTPRINT COVERAGE	11%	17.5% (20% ALLOWED)

## LAND DESCRIPTION

LOT 47 IN CREEKVIEW UNIT 2, BEING A SUBDIVISION OF PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 30, 1977 AS DOCUMENT R77-32462, AND AMENDED BY PLAT OF ADDENDUM RECORDED FEBRUARY 27, 1978, AS DOCUMENT NO. R78-06575, AND AMENDED BY INSTRUMENT RECORDED APRIL 6, 1978 AS DOCUMENT NO. R78-11778 AND CERTIFICATE OF AMENDMENT RECORDED JANUARY 26, 1979 AS DOCUMENT NO. R79-02946, IN WILL COUNTY, ILLINOIS

BENCHMARK: PER SURVEY REGIONAL VRSNOW RTK GNSS NETWORK SET MAG NAIL IN PAVEMENT 47± NORTH OF THE NORTHEAST PROPERTY CORNER ELEV.=716.71 (NAVD 88)



5/25/2022  
EXP. 11/30/23

PLAN	EDITION	MILESTONES
DATE	BY	DESCRIPTION
5/4/22	RFV	ISSUE FOR PERMIT
5/25/22	RFV	VILLAGE REVIEW

CIVIL ENGINEERING  
SURVEYING



**M GINGERICH GEREUX & ASSOCIATES**  
Professional Design Firm License # 184.005003  
P. 815-478-9680 www.mg2a.com F. 815-478-9685  
25620 S. GOUGAR RD. | MANHATTAN, IL 60442

DESIGN: RFV	DRAWING: NIB	CHECKED: BPH	APPROVED: BPH
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170 VAIL DRIVE  
FRANKFORT, ILLINOIS

SITE PLAN

SHEET NO.  
1 OF 1

JOB NO. 22-153

© 2010 M GINGERICH, GEREUX & ASSOCIATES

DUE TO THE UNCERTAINTY OF SEASONAL GROUND WATER TABLES AND THE GEOPHYSICAL CONDITIONS AFFECTING GROUND WATER MOVEMENT, M. GINGERICH, GEREUX & ASSOCIATES TAKES NO RESPONSIBILITY FOR THE MANAGEMENT OF GROUND WATER ASSOCIATED WITH SUB-GRADE CONSTRUCTION. BASEMENTS OR OTHER LIKE FACILITIES CONSTRUCTED BELOW THE FINISHED SURFACE GRADE OF THE PROPERTY ARE AT THE RISK OF THE BUILDER/OWNER.

**RECEIVED**

By Mike Schwarz at 11:48 am, May 25, 2022



DESIGN CRITERIA		
GROUND SNOW LOAD	30 LB./FT <sup>2</sup>	
WIND DESIGN	90 MPH	
SEISMIC DESIGN CATEGORY	B	
SUBJECT TO DAMAGE FROM:	WEATHERING	SEVERE
	FROST LINE DEPTH	42"
	TERMITE	MODERATE TO SEVERE
WINTER DESIGN TEMPERATURE	-4°F, 97 1/2%	
SUMMER DESIGN TEMPERATURE	89°F, DRY BULB, 2 1/2%	
	76°F, DRY BULB, 2 1/2%	
ICE BARRIER UNDERLAYMENT	REQUIRED	
FLOOD HAZARDS	FIRM # 170214 PANELS 0606H-0609H 12/16/2004	
AIR FREEZING INDEX	1543° (F-DAYS)	
ANNUAL MEAN TEMPERATURE	49.4°F	
HEATING DEGREE DAYS (HDD)	6,156	
COOLING DEGREE DAYS (CDD)	942	
CLIMATE ZONE	5A	
INDOOR DESIGN CONDITIONS	MAX. 72°F - HEATING MAX. 75°F - COOLING	
100 - YEAR HOURLY RAINFALL RATE	4"	

DESIGN LOADS		
USE	LIVE LOAD	DEAD LOAD
BALCONIES(EXTERIOR)	100 psf	7
DECKS	100 psf	7
ROOF LIVE LOAD	30 psf	10
ROOF RAFTERS	30 psf	10
ROOF RAFTERS W/ CATHEDRAL CEILING	30 psf	15
ROOF RAFTERS (HEAVY ROOF)-EX. CLAY, TILE, CEMENT, SLATE	30 psf	17
ATTICS (NO STORAGE WITH ROOF SLOPE NOT STEEPER THAN 3:12)	10 psf	10
ATTICS(LIMITED ATTIC STORAGE)	20 psf	10
FLOORS (EXCEPT SLEEPING ROOMS)	40 psf	10
FLOORS (SLEEPING ROOMS)	30 psf	10
STAIRS	40 psf	10
GUARDRAILS AND HANDRAILS (A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP)	200 psf	
WALLS-STUD	5 psf	
WALLS-BRICK(STD)	40 psf	
PARTITIONS OR WALLS (INTERIOR), HORIZONTALLY	5 psf	
HORIZONTAL WIND LOAD (90 mph 3-SEC GUST) < 30'	15 psf	
HORIZONTAL WIND LOAD (90 mph 3-SEC GUST) 30' TO 49'	20 psf	
GARAGES (PASSENGER CARS ONLY)	50 psf	
FOR SI: 1 PSF=0.0479 kN/m <sup>2</sup> , 1 SQUARE INCH=645 mm <sup>2</sup>		
SEE SHEET SP-1 FOR SPECIFICATIONS FOR SITE WORK, CONCRETE, MASONRY, STEEL, CARPENTRY, INSULATION, ROOFING, DRYWALL, PLUMBING, HEATING, AND ELECTRICAL.		

BASE LUMBER VALUES		
TYPE	Fb	E
HEM FIR #2 (DOMESTIC)	850 PSI	1,300,000
S.P.F. #1/#2 (CANADIAN)	875 PSI	1,400,000
MICROLAM LVL	2600 PSI	1,900,000
PARALLAM PSL	2900 PSI	2,000,000
1.3 E TIMBERSTRAND LSL(4 3/4" TO 11 1/4")	1700 PSI	1,300,000
1.5E TIMBERSTRAND LSL(11 7/8" TO 18")	2250 PSI	1,500,000

ALLOWABLE FRAMING SPANS:		
FLOOR AND CEILING JOIST: CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON U.S. SPAN BOOKS.		
ALLOWABLE SPANS ARE AS FOLLOWS:	SPRUCE-PINE-FIR #2	HEM-FIR #2
CEILING JOISTS - 20lbs LIVE LOAD	2"x8" 2"x8" 2"x10" 14'-9" 18'-9" 22'-11" 18" O.C. 12'-10" 16'-3" 19'-10" 21'-0"	2"x12" 23'-8" 17'-2"
2nd FLOOR, FLOOR JOISTS - 30lbs LIVE LOAD	12" O.C. 18" O.C.	19'-0" 22'-8" 17'-2"
1st FLOOR, FLOOR JOISTS - 40lbs LIVE LOAD	12" O.C. 16" O.C.	17'-3" 20'-4" 17'-7"
ROOF RAFTERS:		
USE CANADIAN SPRUCE-PINE-FIR NO. 2 FOR ROOF RAFTERS THRU 2"x10". CANADIAN HEM-FIR NO. 2 PER "U.S. SPAN BOOK FOR CANADIAN LUMBER"		
HEM FIR	2"x6" @ 12" O.C. = 13'-9" 2"x8" @ 12" O.C. = 17'-5" 2"x8" @ 16" O.C. = 11'-11" 2"x8" @ 16" O.C. = 15'-1"	
	2"x12" @ 12" O.C. = 24'-4" 2"x10" @ 12" O.C. = 21'-4" 2"x12" @ 16" O.C. = 21'-1" 2"x10" @ 16" O.C. = 18'-5"	

PREScriptive METHOD										
ACTUAL INSULATION PROVIDED BY COMPONENT IN THIS PROJECT										
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS FRAME WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
5 & MARINE 4	32	55	N/A	49	20 + 13+5	13/17	30 <sup>9</sup>	15/19	10, 2 FT.	15/19
* R-38 IS ACCEPTABLE WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES (SECTION 402.2.1 IECC)										
h. FIRST VALUE IS CAVITY INSULATION, SECOND IS CONTINUOUS INSULATION SIDING, SO "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION OR INSULATED SIDING. IF STRUCTURAL SHEATHING COVERS 40 PERCENT OR LESS OF THE EXTERIOR, CONTINUOUS INSULATION R-VALUE SHALL BE PERMITTED TO BE REDUCED BY NO MORE THAN R-3 IN THE LOCATIONS WHERE STRUCTURAL SHEATHING IS USED - TO MAINTAIN A CONSISTENT TOTAL SHEATHING THICKNESS.										

SYMBOLS		
	SECTION NUMBER	WOOD FRAME WALL
	SHEET NUMBER	BRICK VENEER
	DETAIL LETTER	E.I.F.S.
	SHEET NUMBER	EARTH
	ROOF PITCH RATIO	CONCRETE
	LEVEL LINE	GRAVEL FILL
	REVISION	BAIT INSULATION
	CEILING PATTERN	CONCRETE BLOCK
	DETAIL W/ HEIGHT	MINIMUM 3"x3" SOLID BEARING OR AS REQUIRED
		SILL/COCK

ABBREVIATIONS		
A.F.F. ALLUM	ABOVE FIN. FLOOR	H.P. INSUL.
BLK. BOARD	ALUMINUM	INT.
BLK'G BLOCK	BOARD	JAN. JANITOR
BM. BEAM	BLOCKING	LAV. LAVATORY
B/C. BOTTOM OF	BEAM	L.P. LOW POINT
CL. CABINET	BOTTOM OF	MAX. MAXIMUM
CER. CERAMIC	CABINET	M.C. MECH.
CLR. CLEAR	CENTER LINE	MTL. METAL MATERIAL
COL. COLUMN	CERAMIC	MIN. MINIMUM
CONT. CONTINUOUS	CONCRETE	M.O. MASONRY OPENING
C.M.U. CONCRETE MASONRY UNIT	CONCRETE	N.T.S. NOT TO SCALE
D. DETAIL	CONCRETE MASONRY UNIT	O.C. ON CENTER
DN. DOWN	DETAIL	FIN. FINISH
D.W. DRAIN	DISHWASHER	FLR. FLOOR
EXIST. EXISTING	DRAWING	FLASH. FLASHING
EA. EACH	EXISTING	FT. FOOT
EXP. JT. EXPANSION JOINT	EQ. EQUAL	FTG. FOOTING
ELEV. ELEVATION	EXT. EXTERIOR	GAUGE GAUGE
EX. EXTERIOR	FLOOR DRAIN	GLV. GALVANIZED
F.D. FOUNDATION	FOUNDATION	GL. GLASS
		GYP. BD GYPSUM BOARD
		HCP. HANDICAPPED
		HWR. HARDWARE
		H.M. HOLLOW METAL
		HORIZ. HORIZONTAL
		HGT. HEIGHT
		OPN'G. OPENING
		OPP. OPPOSITE
		PL. PLATE
		PLAS. LAM. PLASTIC LAMINATE
		PLYWD. PLYWOOD
		Q.T. QUARRY TILE
		R.D. ROOF DRAIN
		REF. REFERENCE
		REFR. REFRIGERATOR
		REIN. REINFORCED
		REQD. REQUIRED
		R.O. ROUGH OPENING
		SCHED. SCHEDULE
		SH. SHEET
		SM. SIMILAR
		SPEC. SPECIFICATION
		ST. STL. STAINLESS STEEL
		STD. STANDARD
		T/ TREAD
		TEL. TELEPHONE
		THK. THICK
		TYP. TYPICAL
		VERT. VERTICAL
		W/ W/
		WD. WOOD
		WP. WATERPROOF
		W.W.F. WIRE WELDED FABRIC

DISCLAIMER STATEMENT:	
THE ARCHITECT SHALL NOT HAVE CONTROL OVER CHARGE OR AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE OWNERS AND THE CONTRACTORS RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION, THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OWNERS OR CONTRACTORS SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER ACTS OR OMISSIONS OF THE OWNER, CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.	
RESPONSIBILITY STATEMENT:	
IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR CARPENTER AND CONCRETE CONTRACTOR TO HAVE FULL SET OF DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.	

<b>OWNER:</b> WILLIAM & STACEY LAMARCHE 170 VAIL DR. FRANKFORT, IL
<b>AUTHORITY:</b> VILLAGE OF FRANKFORT 432 NEBRASKA ST. FRANKFORT, ILLINOIS Tel: 815.469.2177 Fax: 815.469.7999 E-mail N/A

BUILDING DATA:	
- TWO STORY FAMILY DWELLING	
- BUILDING HEIGHT, GRADE TO RIDGE:	28'-6"
- BUILDING HEIGHT, GRADE TO MEANS AT RIDGE:	22'-9 1/4"
- BASEMENT (EXISTING) =	843 SQ. FT.
- FIRST FLOOR (EXISTING) =	1,051 SQ. FT.
- FIRST FLOOR (NEW) =	490 SQ. FT.
- SECOND FLOOR (EXISTING) =	788 SQ. FT.
- SECOND FLOOR (NEW) =	872 SQ. FT.
- TOTAL (1ST, & 2ND, NEW) =	3,201 SQ. FT.

BUILDING CODE INFORMATION	
- 2012 INTERNATIONAL BUILDING CODE	
- 2012 INTERNATIONAL RESIDENTIAL CODE	
- 2012 INTERNATIONAL RESIDENTIAL CODE ONE & TWO FAMILY DWELLINGS	
- 2014 ILLINOIS STATE PLUMBING CODES	
- 2012 INTERNATIONAL MECHANICAL CODE	
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE	
- 2012 INTERNATIONAL FIRE CODE	
- 2012 INTERNATIONAL PROPERTY MAINTENANCE CODE	
- 2011 NATIONAL ELECTRICAL CODE	
- 2012 FUEL GAS CODE	

DRAWING INDEX	
T-1	TITLE SHEET
A-1	ELEVATION & ROOF PLAN
A-2	REAR & SIDE ELEVATIONS
A-3	EXISTING/DEMO. PLANS
A-4	FOUNDATION PLAN
A-5	FIRST FLOOR PLAN
A-6	SECOND FLOOR PLAN
M-1	MECHANICAL/PLUMBING NOTES
E-1	ELECTRICAL NOTES
E-2	ELECTRICAL FLOOR PLANS/NOTES
D-1	DETAILS
D-2	WALL SECTIONS

CERTIFICATION	
I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF CONFORM TO ALL APPLICABLE CODES AND ORDINANCES OF FRANKFORT, ILLINOIS	
MICHAEL J. ROOT LICENSE NO. 001-006715	ARCHITECT ARCHITECT LICENSE EXPIRES: 11-30-22

# AN ADDITION HOME FOR THE LAMARCHE RESIDENCE

## 170 VAIL DR. FRANKFORT, ILLINOIS (ISSUE FOR PERMIT: (4-28-22))



**ideal**  
DESIGNS  
ARCHITECTS / DESIGNERS  
20960 FRANKFORT SQ. RD.  
SUITE A  
FRANKFORT, ILLINOIS  
T: (708) 407-8028  
F: (779) 333-7960  
gabe@idealcustomdesigns.com  
www.idealcustomdesigns.com

AN ADDITION FOR THE  
LAMARCHE RESIDENCE  
170 VAIL DR.  
FRANKFORT, ILLINOIS

4/28/22  
DATE:  
MICHAEL J. ROOT  
No. 001-006715  
11/30/22  
EXP. DATE:

DESIGN FIRM REG. NO.  
184.006972  
EXP. DATE  
4-30-23

REVISIONS		
REV #	DATE:	REV. PER:

DATE:  
04-28-22  
DRAWN BY: PAP  
PREVIOUS NO. -  
PROJECT NO.  
22019

SHEET NUMBER  
**T-1**



DATE:

EXP. DATE:

DESIGN FIRM REG. NO.  
 184.006972

EXP. DATE  
 4-30-23

REVISIONS

REV # DATE REV. PER:

DATE:

04-28-22

DRAWN BY: PAP

PREVIOUS NO. -

PROJECT NO.  
 22019

SHEET NUMBER

A-1



FRONT ELEVATION

1/4" = 1'-0"

ROOF PLAN NOTES

GROUND SNOW LOAD: 30 PSF  
 DEAD LOAD: 10 PSF

- USE CANADIAN SPRUCE-PINE-FIR NO. 2 FOR ROOF RAFTERS THRU 2"x10", 2"x12" ROOF RAFTERS SHALL BE CANADIAN HEM-FIR NO. 2 PER "U.S. SPAN BOOK FOR CANADIAN LUMBER"  
SPAN TABLES SPF FOR SOUTHERN LUMBER (NORTHERN LUMBER GREATER SPANS ARE ALLOWED)  
2"x6" @ 12" O.C. = 13'-9" 2"x8" @ 12" O.C. = 17'-5" 2"x10" @ 12" O.C. = 21'-4"  
2"x8" @ 16" O.C. = 11'-11" 2"x8" @ 16" O.C. = 15'-1" 2"x10" @ 16" O.C. = 18'-5"  
HEM FIR  
2"x12" @ 12" O.C. = 24'-4"  
2"x12" @ 16" O.C. = 21'-1"
- ROOF MEMBER SIZES ARE BASED ON ALLOWABLE RAFTER SPANS FOR SPRUCE-PINE-FIR (#2 NORTH) UP THRU 2"x10" RAFTERS, IF 2"x12" RAFTERS ARE USED THEN HEM-FIR #2 SHALL BE USED.
- HIP OR VALLEY RAFTERS EXCEEDING 24'-0" IN LENGTH SHALL BE 1 3/4" WIDE GANG LAM MEMBERS x RAFTER DEPTH PLUS 2" DEEP
- ALL HIP VALLEY CRIPPLE JACKS SHALL BE INSTALLED AND SHALL BE EQUAL IN DEPTH AND SPACING TO MAIN RAFTER FRAMING INTO HIP OR VALLEY RAFTER
- IT WILL BE ALLOWED IF FRAMING CARPENTER CHOOSES TO REDUCE SIZE OF ROOF RAFTERS BY PROVIDING INTERMEDIATE WALLS OR BEAMS TO ROOF RAFTERS, THUS REDUCING SPAN, THEN SUPPORTED BACK TO INTERIOR BEARING WALLS, ARCHITECT SHALL BE NOTIFIED OF CHANGES BEFORE FRAMING WORK STARTS.
- COLLAR TIES SHALL BE INSTALLED PER LOCAL GOVERNING BUILDING CODES.
- WHERE HIP RAFTERS FRAME PERPENDICULAR TO CEILING JOISTS PROVIDE SOLID BLOCKING AT 8'-0" O.C. BETWEEN JOISTS FOR A DISTANCE OF 10'-0" FROM EXTERIOR WALL. WHEN SPANS ON CEILING JOISTS EXCEED 16'-0" SPANS.
- PROVIDE FLASHING AT ALL WALL AND ROOF INTERSECTIONS WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS.
- RAFTERS SHALL BE FRAMED TO EACH OTHER WITH A GUSSET PLATE OR TO A MINIMUM 1-INCH NOMINAL THICKNESS RIDGE BOARD, NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. A MINIMUM 2-INCH NOMINAL THICKNESS VALLEY OR HIP RAFTER IS REQUIRED AT ALL VALLEYS AND HIPs, NOT LESS THAN THE DEPTH OF THE CUT END OF THE RAFTER, AND SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTITION.
- THE ENDS OF EACH RAFTER AND CEILING JOIST SHALL HAVE NOT LESS THAN 1-1/2" OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3" ON MASONRY OR CONCRETE.

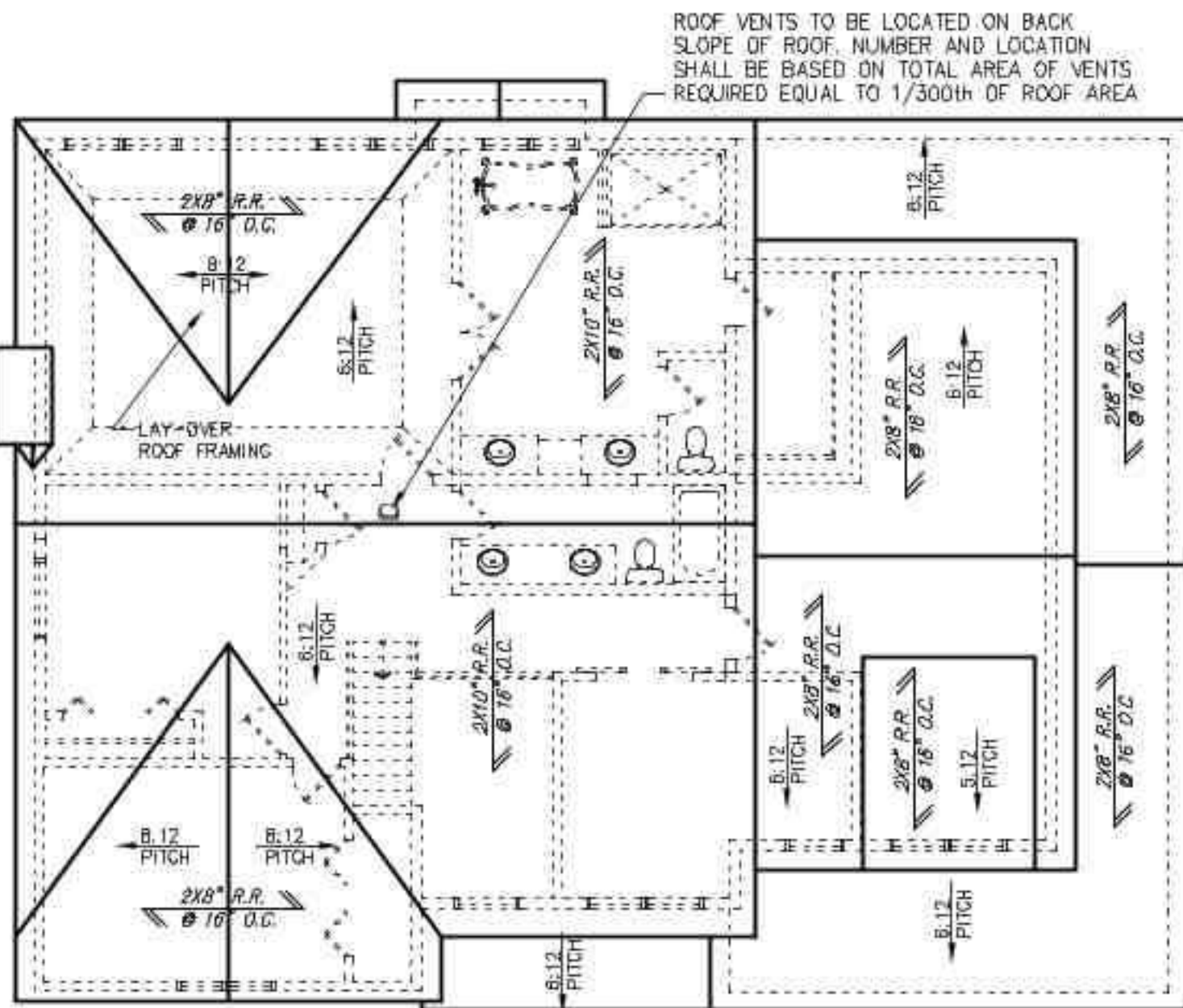
CARPENTER CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS "MARKED CONSTRUCTION" WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

CARPENTER CONTRACTOR NOTE: THE ABOVE SPAN TABLES ARE TO BE USED FOR REFERENCE FOR MAXIMUM ROOF RAFTER SPANS. IF CARPENTER SUBCONTRACTOR IS ABLE TO SHORTEN SPAN, HE IS PERMITTED TO DO SO AS LONG AS HE DOES NOT EXCEED RAFTER SPANS ALLOWED BY LOCAL CODE. FURTHER, IF RAFTER SPAN IN A ROOF AREA CHANGES FROM MAX. SPAN ALLOWED TO LESSER SPAN CONTRACTOR MAY MAKE THAT ADJUSTMENT, SAY FROM 2"x10"s TO 2"x8"s BY ADJUSTMENT IN HIS BIRD'S MOUTH CUT.

PROVIDE VENTILATION FOR ALL ATTIC AREAS. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THEN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50% AND NOT MORE THEN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, OR A VAPOR BARRIER HAVING MAXIMUM 1 PERM TRANSMISSION RATE IS WARM SIDE OF THE CEILING. VENTILATING OPENINGS SHALL BE PROVIDED WITH INSTALLED ON THE CORROSION-RESISTANT WIRE MESH WITH 1/8-1/4 INCH OPENINGS.

ELEVATION NOTES

- CONTRACTOR NOTE: ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
- ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" WHICH HAS A NET CLEAR OPENING OF 5.7 SF AND A MINIMUM WIDTH OF 20".
- UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER ANSI'S SPECS.
- CONTRACTOR SHALL SUBMIT VERIFICATION THAT ALL GLAZING HAS A MAXIMUM U-FACTOR OF 0.35. CONTRACTOR TO SUBMIT OUT SHEETS ON WINDOWS TO THE BUILDING DEPARTMENT.
- WRAP EAVE RETURNS WITH RAIN GUTTER AND FLASH AS SHOWN.
- FIREPLACE FLUES TO BE MIN. (2'-0") ABOVE ANY ROOF SURFACE WITHIN MIN. HORIZONTAL DISTANCE OF (10'-0").
- WINDOW DESIGNATIONS INDICATES "ELD-WEN" MANUFACTURER CLAD WINDOWS COORDINATE WINDOW & DOOR MFR. WITH OWNER FOR EXACT SIZES & TYPES.
- ALL SOLID AND ROWLOCK BRICK COURSE SHALL PROJECT 1/4" FROM FACE OF WALL UNLESS OTHERWISE NOTED.
- OPERABLE WINDOWS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, SHALL HAVE THE LOWEST PART OF THE WINDOWS CLEAR OPENING A MINIMUM OF 24-INCHES ABOVE THE FINISHED FLOOR OF THE ROOM.



ROOF PLAN

1/8" = 1'-0"





### ELEVATION NOTES

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2. (E) ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" WHICH HAS A NET CLEAR OPENING OF 5.7 SF AND A MINIMUM WIDTH OF 20".
3. (S) UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER ANSI Z97.1.
4. CONTRACTOR SHALL SUBMIT VERIFICATION THAT ALL GLAZING HAS A MAXIMUM U-FACTOR OF 0.35. CONTRACTOR TO SUBMIT CUT SHEETS ON WINDOWS TO THE BUILDING DEPARTMENT.
- 5.
6. WRAP EAVE RETURNS WITH RAIN GUTTER AND FLASH AS SHOWN.
7. FIREPLACE FLUES TO BE MIN. (2'-0") ABOVE ANY ROOF SURFACE WITHIN MIN. HORIZONTAL DISTANCE OF (10'-0").
8. WINDOW DESIGNATIONS INDICATES "ELO-WEN" MANUFACTURER GLAZING. COORDINATE WINDOW & DOOR MFR WITH OWNER FOR EXACT SIZES & TYPES.
9. ALL SOLDER AND RIVET JOINTS SHALL PROJECT 3/4" FROM FACE OF WALL UNLESS OTHERWISE NOTED.
10. OPERABLE WINDOWS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, SHALL HAVE THE LOWEST PART OF THE WINDOW'S CLEAR OPENING A MINIMUM OF 24-INCHES ABOVE THE FINISHED FLOOR OF THE ROOM.

### SAFETY GLASS REQUIREMENTS

THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING:

1. GLAZING IN INGRESS AND MEANS OF EGRESS DOORS EXCEPT JALOUSIES.
2. GLAZING IN THE FIXED AND SLIDING PANELS OF SLIDING(PATIO) DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS.
3. GLAZING IN STORM DOORS.
4. GLAZING IN ALL UNFRAMED DOORS.
5. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60"(1524MM) ABOVE THE DRAIN INLET.
6. GLAZING, IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24"(610MM) ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60"(1524MM) ABOVE THE FLOOR OF WALKING SURFACE.

CARPENTER CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

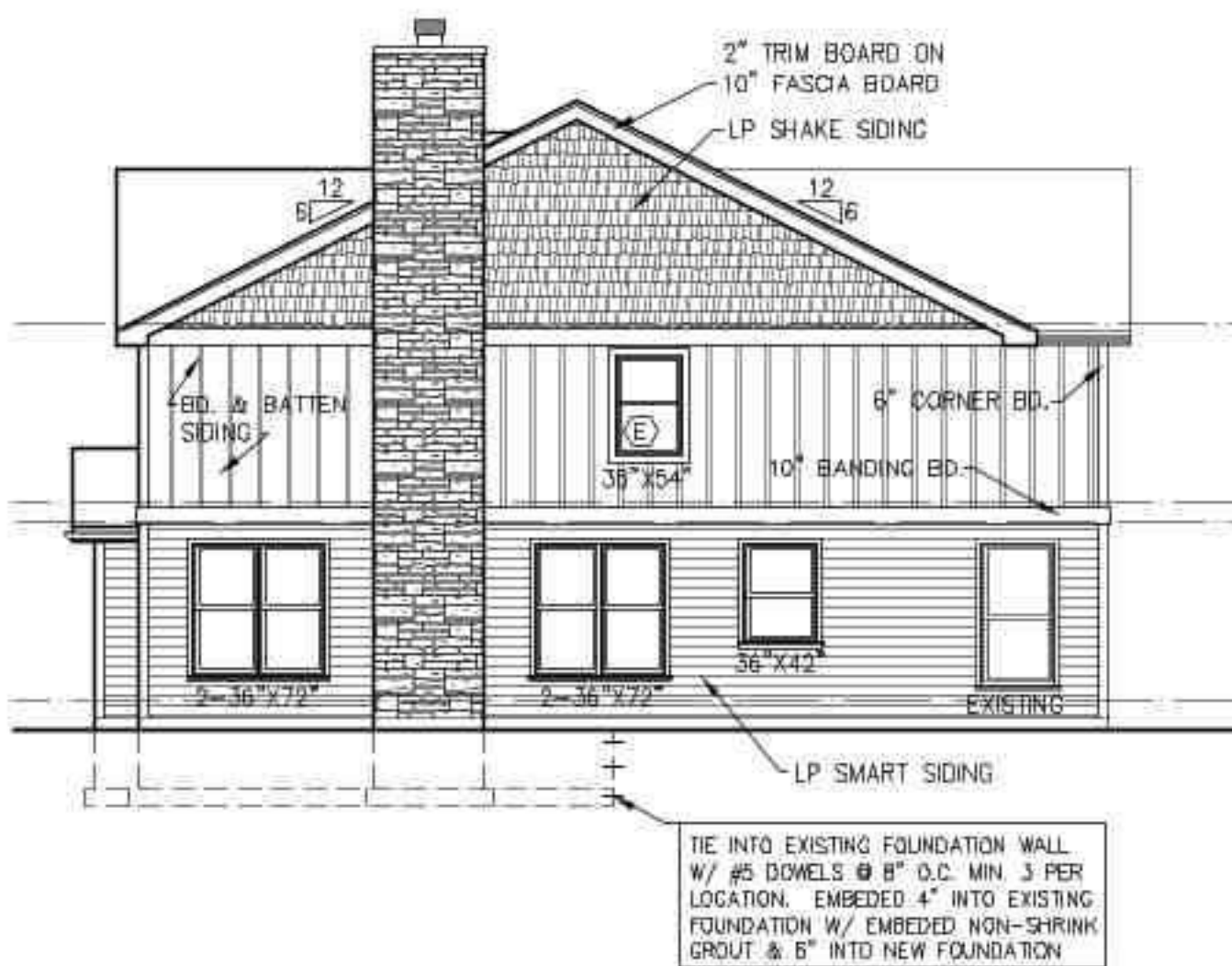
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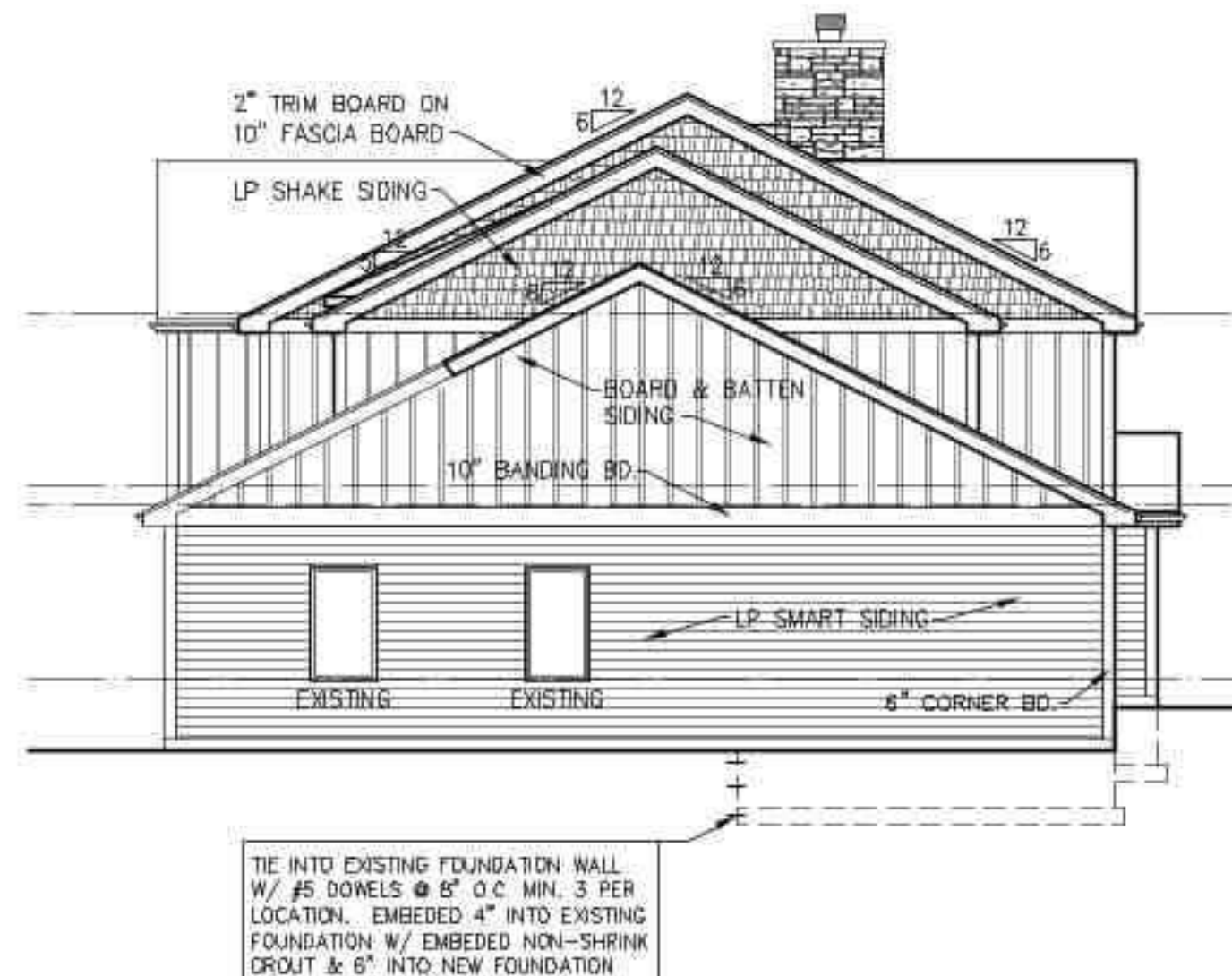
7. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 5 AND 6 ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:  
7.1 EXPOSED AREA OF AN INDIVIDUAL PANEL GREATER THAN 9 SQUARE FEET.  
7.2 BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.  
7.3 TOP EDGE GREATER THEN 36" ABOVE THE FLOOR.  
7.4 ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY TO THE GLAZING.
8. ALL GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT ABOVE A WALKING SURFACE, INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILLS PANELS.
9. GLAZING IN WALLS AND FENCES ARE ENCLOSING INDOORS AND OUTDOORS SWIMMING POOLS AND WHERE THE BOTTOM EDGE OF THE POOL SIDE IS (1) LESS THAN 60" ABOVE A WALKING SURFACE AND (2) WITHIN 36" HORIZONTALLY OF A WALKING SURFACE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

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AN ADDITION FOR THE  
LAMARCHE RESIDENCE  
170 VAIL DR.  
FRANKFORT, ILLINOIS

DATE:

EXP. DATE:

DESIGN FIRM REG. NO.

184.006972

EXP. DATE

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### REVISIONS

REV # DATE REV. PER:

DATE:

04-28-22

DRAWN BY: PAP

PREVIOUS NO. -

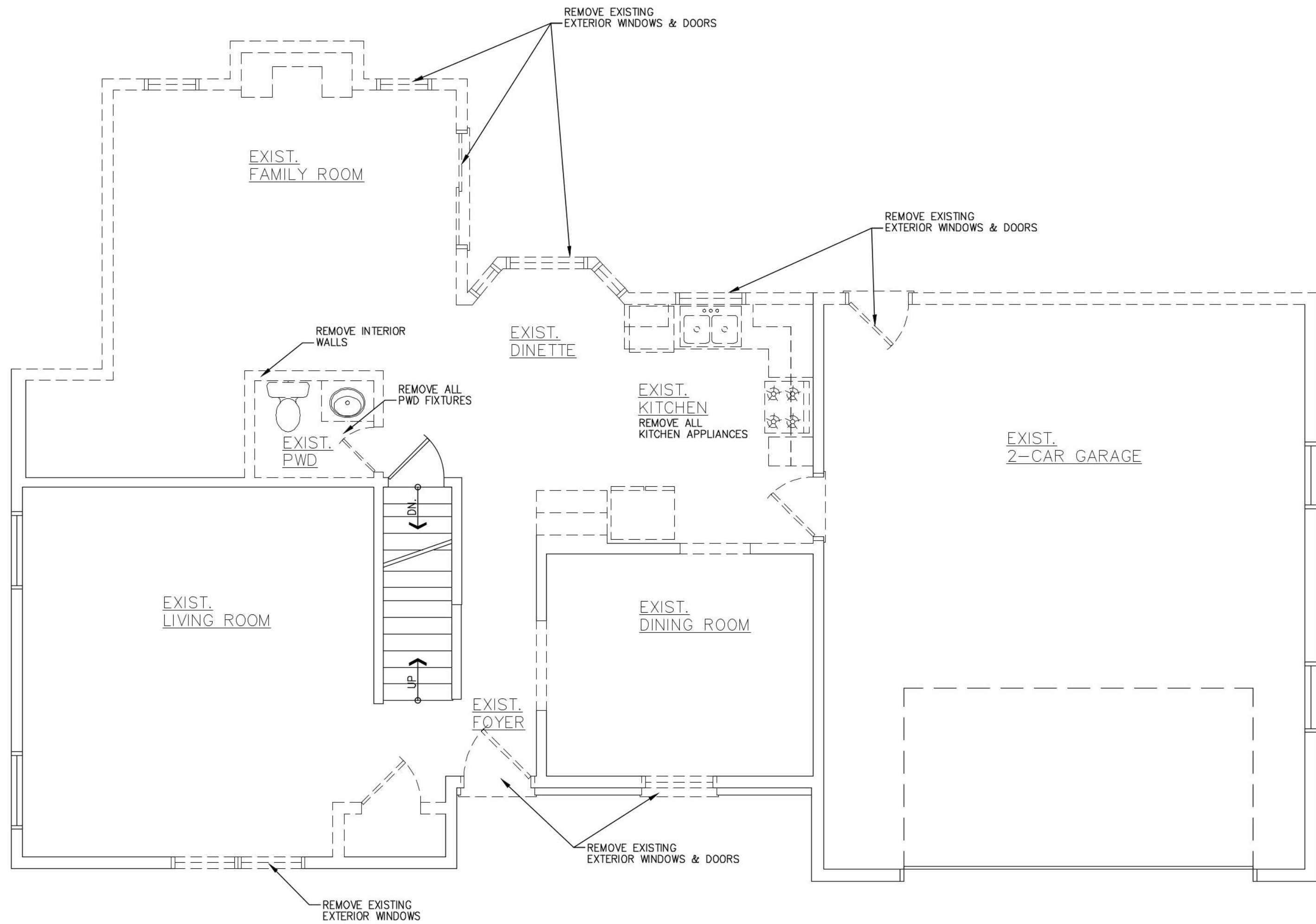
PROJECT NO.

22019

SHEET NUMBER

**A-2**





EXISTING/DEMO.  
FIRST FLOOR PLAN

1/4"=1'-0"

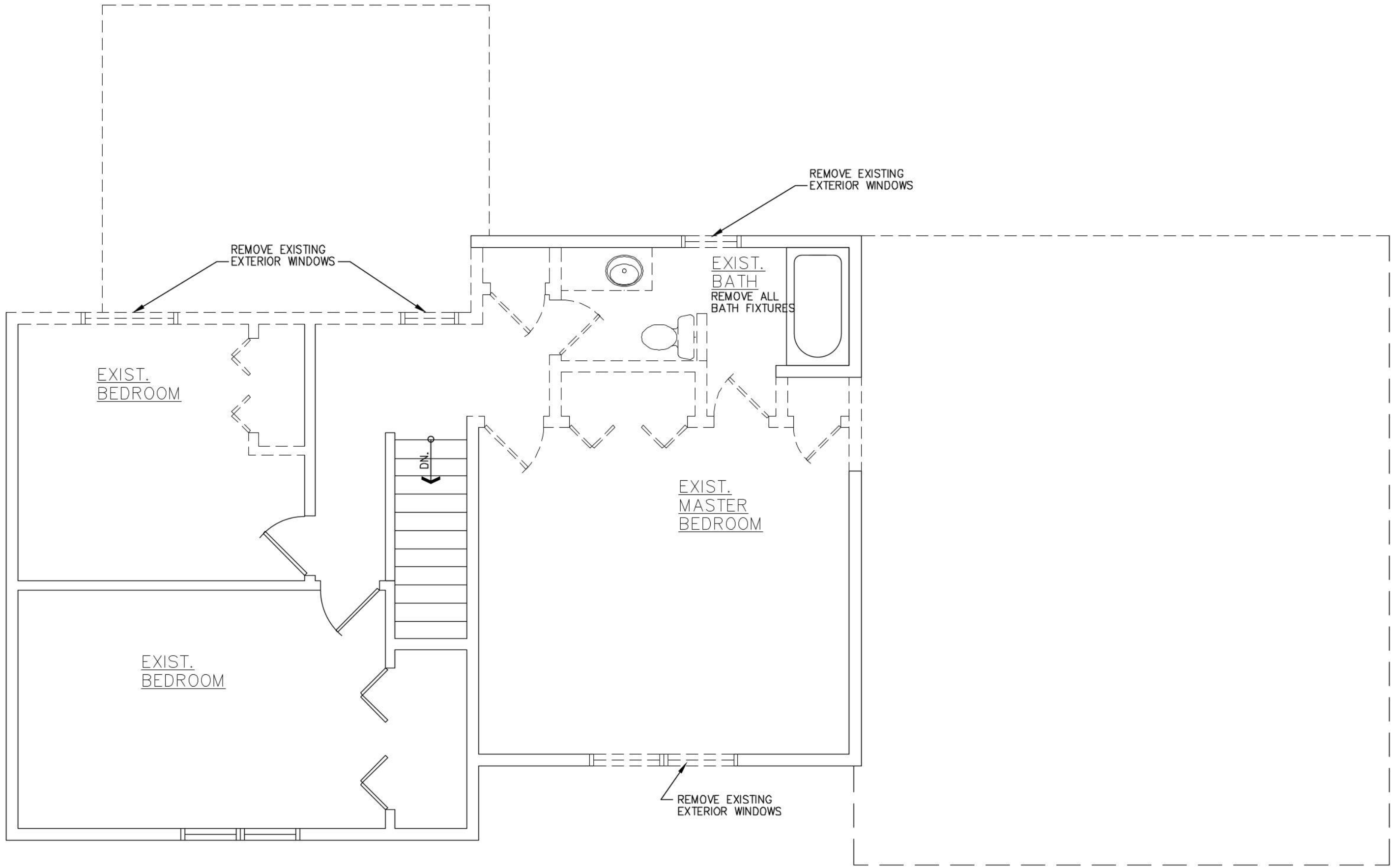
DEMOLITION NOTES:

1. THE CONTRACTOR IS REQUIRED TO FIELD VERIFY PIPING LOCATION AND INVERTS FOR CONNECTION TO NEW PLUMBING FIXTURES.
2. ANY WASTE OR VENT PIPING CAPPED OFF MUST BE CAPPED PROPERLY ACCORDING TO ILLINOIS STATE PLUMBING CODE & INSPECTED BEFORE PATCHING FLOOR. ALL HAND SINKS MUST BE SOLID CONNECTION WITH REMOVABLE TRAP & CLEANOUT ON FLOOR. HOSE & SPRAY UNITS NEW OR EXISTING SHALL BE PROTECTED AGAINST BACKFLOW. SOAP DISPENSERS, COFFEE, TEA, ICE MAKER MACHINES, ETC. MUST BE PROTECTED BY BACKFLOW. ALL OPEN SITE DRAINS MUST BE VENTED SEPARATELY 6" ABOVE SPILL LINE OF EACH OPEN SITE DRAIN.
3. REMOVE THE FLOOR SLAB AS REQUIRED FOR NEW PLUMBING. PATCH THE FLOOR AS REQUIRED TO MATCH ADJACENT SURFACE.
4. REROUTE & RECONNECT ANY CIRCUIT/ CIRCUITS THAT SHALL REMAIN IN USE BUT INTERFERES WITH THE NEW CONSTRUCTION.
5. EXISTING CONDUITS SHALL NOT BE REUSED, SHALL BE REMOVED. CONDUITS IN WALLS OR BELOW THE FLOOR LINE MAY BE ABANDONED. DISCONNECT AND REMOVE WIRING FROM CONDUITS TO BE ABANDONED. CUT & CAP CONDUITS THAT RUN THROUGH WALLS AND FLOORS. GROUT SURFACE FLUSH.

NOTE:  
PATCH & FINISH ALL  
NEW/ EXISTING AREAS AS  
REQUIRED TO MATCH  
EXISTING AREAS

WALL SCHEDULE

- = EXISTING WALL  
- - - = EXISTING WALLS  
& FIXTURES TO  
TO BE REMOVED



EXISTING/DEMO.  
SECOND FLOOR PLAN

1/4"=1'-0"

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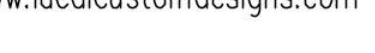
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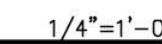
SHEET NUMBER

**A-3**





**A-4**



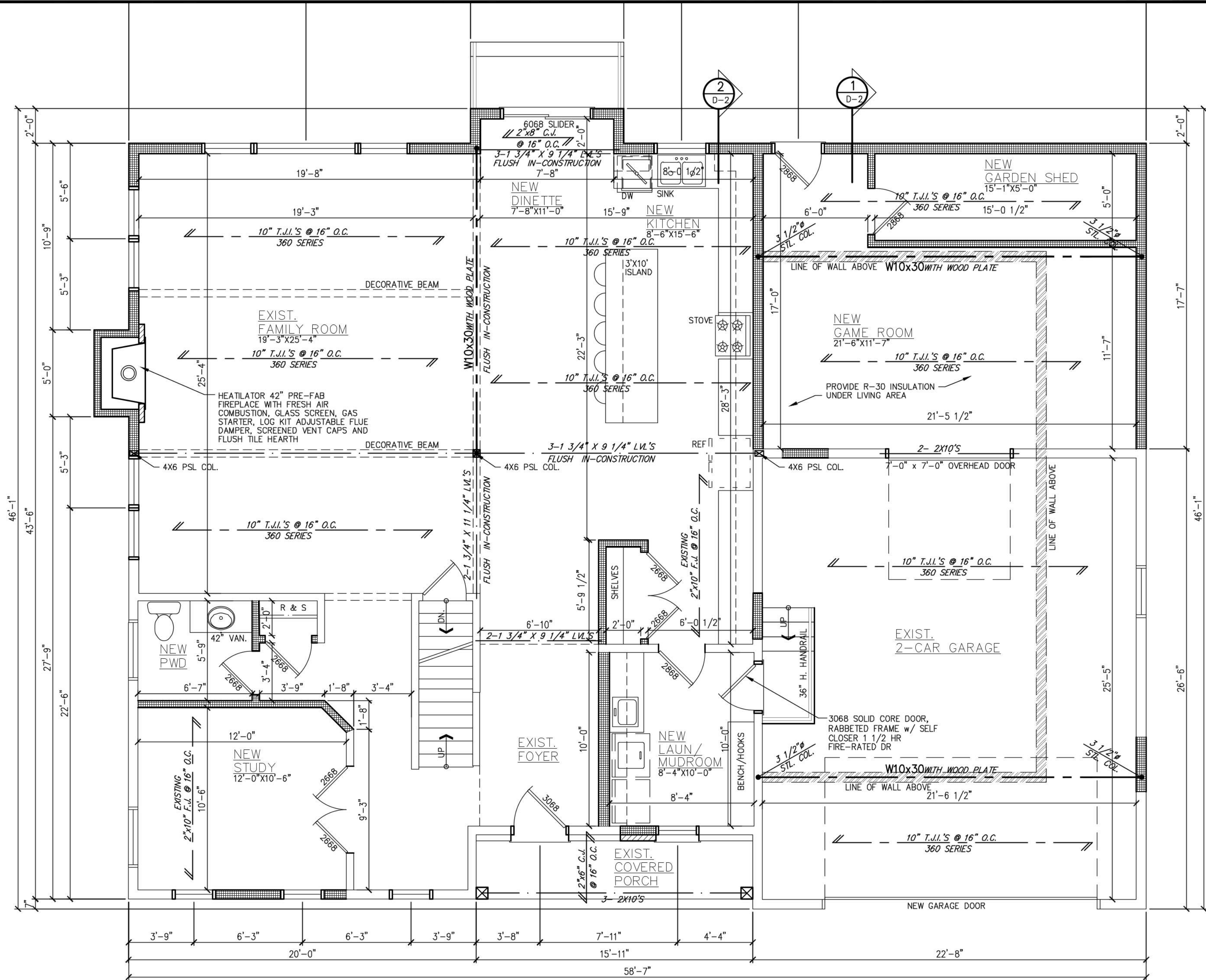
FRAMING NOTES				
CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON U.S. SPAN BOOKS. FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR #2 FOR MEMBERS UP TO 12". FOR MEMBERS 12" AND ABOVE USE HEM-FIR.				
ALLOWABLE SPANS ARE AS FOLLOWS:				
	SPRUCE-PINE-FIR #2		HEM-FIR #2	
CEILING JOISTS - 20lbs LIVE LOAD	2"x6"	2"x8"	2"x10"	2"x12"
12" O.C.	14'-0"	18'-9"	22'-11"	23'-6"
16" O.C.	12'-10"	16'-3"	19'-10"	21'-0"
2nd FLOOR, FLOOR JOISTS - 30lbs LIVE LOAD				
12" O.C.	19'-0"	22'-6"		
16" O.C.	17'-2"	19'-8"		
1st FLOOR, FLOOR JOISTS - 40lbs LIVE LOAD				
12" O.C.	17'-3"	20'-4"		
16" O.C.	15'-5"	17'-7"		

MICROLAM LVL AND PARALLAM PSL HEADERS AND BEAMS ARE MANUFACTURED BY "TRUSS JOIST MAC MILLAN" OR APPROVED EQUAL.  
T.J. JOISTS ARE MANUFACTURED BY "TRUSS JOIST MAC MILLAN" OR APPROVED EQUAL.

- GENERAL NOTES
- FOR SPECIFICATIONS SEE SHEET SP-1
  - CARPENTER CONTRACTOR TO VERIFY WITH CONTRACTOR IF JOIST SPACING IS TO BE CHANGED IN CERAMIC TILE FINISHED FLOOR AREAS.
  - SEE ELEVATIONS FOR ALL WINDOW SIZES.
  - ALL UNDIMENSIONED PARTITIONS ARE 4 1/2" FINISHED.
  - SEPARATION WALL/CEILING BETWEEN GARAGE AND LIVING AREA SHALL HAVE MINIMUM 5/8" TYPE X GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF ALL WALLS AND CEILINGS COMMON WITH THE RESIDENCE OR ITS ATTIC. ALSO PROVIDE A MINIMUM 5/8" TYPE X GYPSUM DRYWALL BOARD PROTECTION FOR WALLS NOT COMMON WITH RESIDENCE THAT SUPPORT CEILING.
  - FOR PARTITION DETAILS SEE - M/D1 & N/D1
  - FOR HEADER SIZING SEE - Q/D1
  - FOR STAIR DETAIL SEE - J/D1 & K/D1
  - FOR FIREPLACE DETAILS SEE - A/D3 & C/D3

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THE ENDS OF ALL JOISTS, BEAMS AND GIRDERS SHALL BEAR A MINIMUM 1-1/2" ON WOOD OR METAL AND 3" ON MASONRY OR CONCRETE EXCEPT WHERE SUPPORTED ON A 1" BY 4" RIBBON STRIP AND NAILED TO THE ADJACENT STUD OR BY THE USE OF APPROVED JOIST HANGERS. JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MINIMUM 3" AND BE NAILED TOGETHER WITH A MINIMUM THREE 10d FACE NAILS. JOISTS FRAMING INTO THE SIDE OF A WOOD GIRDER SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OR ON LEDGER STRIPS NOT LESS THAN NOMINAL 2" BY 2".



FIRST FLOOR PLAN

1/4"=1'-0"

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REV	DATE:	REV. PER:
DATE: 04-28-22		
DRAWN BY: PAP		PREVIOUS NO. -
PROJECT NO. 22019		





**Project:** Retail Center (former Abe Lincoln Motel)  
**Meeting Type:** Workshop (preliminary)  
**Requests (potential):** Rezoning, Plat of Annexation, Final Plat of Subdivision and Plat of Dedication  
**Location:** 10841 W. Lincoln Highway  
**Applicant:** Zaim Sakiri  
**Prop. Owner:** Midwest Liberty Development, LLC

### Site Details

**Parcel Size:** Approximately 2.4 acres  
**PIN:** 19-09-20-300-007-0000  
**Existing Zoning:** C-4 (County, Highway Commercial)  
**Prop. Zoning:** B-2 (Community Business)  
**Buildings / Lots:** 1 building, 1 lot

### Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Undeveloped	General Commercial	C-4 (Cnty)
<b>North</b>	Forest Preserve	Environmental Conservation	Forest Preserve
<b>South</b>	Single-Family Res	Environmental Conservation	A-1 (Cnty)
<b>East</b>	Undeveloped	General Commercial	A-1 (Cnty)
<b>West</b>	Single-Family Attached	Single-Family Attached	R-4

Figure 1. Location Map



### Project Summary

The applicant is proposing a 20,000 square foot retail building on an undeveloped parcel in unincorporated Will County (former Abe Lincoln Motel site). The subject property is located in a small pocket of unincorporated land, surrounded by the Village. The property itself is contiguous to the Village to the west. Specific tenants have not been identified by the applicant at this time, but they are assumed to be retail in nature. A drive-through is not proposed at this time. The project would *not* be developed as a PUD, and one or several variances may be required as part of the project. Approximately 60' of frontage along Route 30 will need to be dedicated to right-of-way for Route 30. Hickory Creek Tributary 2 runs along the south property line and the FEMA Flood Insurance Rate Map indicates that a "Floodzone A" is located on the subject property and the adjacent property to the south. Due to the presence of this floodzone and other factors, some engineering work has been performed by the applicant and reviewed by the Village's engineering consultant. The applicant is requesting a "preliminary" workshop meeting to discuss the project before devoting more resources toward further engineering review. As such, not all of the required information (plans) has been provided at this time and staff is limited to providing a partial review of the project for consideration by the Plan Commission.

## **Attachments**

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1. 2019 Aerial photograph maps, Village of Frankfort GIS (1:5,000 scale and 1:1,500 scale)
2. Zoning maps, Village of Frankfort GIS (1:5,000 scale and 1:8,000 scale)
3. County tax map
4. Flood Insurance Rate Map (FEMA)
5. National Wetland Inventory map
6. Preliminary Engineering Review #1, prepared by Robinson Engineering 3.25.22
7. Pictures of site, taken by staff 5.27.22
8. Color building renderings (not to scale), received 6.1.22
9. Preliminary Engineering Plans, received 2.9.22

## **Analysis**

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As noted, the applicant is seeking preliminary input through a Plan Commission workshop prior to submitting a complete set of plans and obtaining preliminary engineering approval.

### **Land Use**

The applicant is proposing to annex the land into the Village and rezone the property from the default E-R zone district (Estate Residential) to B-2 (Community Commercial). The B-2 zone district lists many types of uses permitted by-right or with a Special Use Permit. At this time, the applicant is proposing general retail sales for the entire building, which is permitted by-right.

The Future Land Use Map within the Comprehensive Plan designates the property as “General Commercial”. General Commercial is intended for uses such as general retail at all scales, restaurants and offices. As such, the most compatible zone districts include B-1 (Local Business), B-2 (Community Business), B-3 (General Business) and B-4 (Office). An assessment of the nearby commercially-zoned property along Route 30 includes B-2 and B-4 zoning. The applicant is proposing a rezoning to B-2, which is compatible with the Comprehensive Plan. The property is also located at the intersection of a Regional Arterial Road (Route 30) and a Major Collector Road (108<sup>th</sup> Avenue), making a commercial use suitable.

### **Annexation**

1. Annexation of the property into the Village for development as a retail building would require three actions by the Village Board and are approved through new ordinances:
  - a) An ordinance authorizing execution of an annexation agreement
  - b) An ordinance annexing certain land into the Village (approving the Plat of Annexation)
  - c) An ordinance to rezone the property from the default E-R zone district to B-2, Community Business
2. Ordinances a) and b) above only require action by the Village Board. Ordinance c) above is first reviewed by the Plan Commission, which makes a recommendation to the Village Board for final action.

### **Site Plan**

The size of the parcel is approximately 104,500 square feet (2.4 acres), after dedication of right-of-way for Route 30. The proposed building is 20,000 square feet, resulting in a lot coverage of 19.1%. There is no maximum building coverage in the B-2 zone district. As a corner lot, the shorter road frontage is considered the front yard, which in this case is 108<sup>th</sup> Avenue. Route 30 is considered a corner side yard, the south property line is a side yard and the west property line is a rear yard.

A summary of the dimensional standards is as follows. The red text denotes a variance.

B-2 Zone	Lot Size (min SF)	Front Yard Setback (East)	Corner Side Yard Setback (North)	Side Yard Setback (South)	Rear Yard Setback (West)	Front Yard Landscaping (East)
<b>Requirement</b>	20,000	50'	150'	50'	30'	25'
<b>Proposed</b>	104,500*	50'	150'*	70'*	58.5'	23'

\*Approximations

1. As noted above, a variance would be required for the required 25' front yard landscape buffer.
2. A FEMA "Floodzone A" runs along the southern boundary of this site and on the adjacent property to the south. Although some preliminary engineering has been performed, the proposed site plan may or may not be possible depending on the exact location of the floodzone. The applicant is proposing a retaining wall near the southeast corner of the property, in order to elevate the parking lot above the floodzone. A copy of the most recent review letter from Robinson Engineering has been included with this report.

#### Traffic Circulation/Access

1. The curb cuts from the former Abe Lincoln Motel are still in place. A boulevard access drive is located on Route 30 and there are two separate access drives along 108<sup>th</sup> Avenue.
2. The applicant is proposing to combine the boulevard entrance into a single driveway along Route 30 in the same general location. Although this may be seen as an improvement by decreasing the number of access points along Route 30, the applicant has not received feedback from IDOT to date.
3. The applicant is proposing to decrease the access points along 108<sup>th</sup> Avenue from two to one. The existing southern access drive would be removed, while the existing northern access drive would be widened in the same general location as it exists today, to comply with current design standards. The decrease of access points along 108<sup>th</sup> Avenue is an improvement, especially since the southern access drive is located within a designated FEMA "Floodzone A".
4. The location of the northern access drive was preliminarily reviewed by the Village's engineering consultant. There are no distance separation requirements from this access drive and Route 30 per the design standards. However, IDOT may require a distance separation, even though 108<sup>th</sup> Avenue is a Village-owned Road. Input has not been received from IDOT regarding this to date.
5. Although not a requirement per the Design Standards, Village administration has requested that a partial turn lane be installed between Route 30 and the entrance along 108<sup>th</sup> Avenue to decrease traffic congestion when entering the site. This partial turn lane is not reflected on the site plans included with the staff report.
6. Traffic would be two-directional along the northern row of parking. However, the other sides of the site would have one-direction traffic, circling the site in a counter-clockwise motion.

#### Fire Protection

1. A fire truck traffic circulation plan has been provided by the applicant and was reviewed at a preliminary level by the Frankfort Fire District. The drive aisles along the west and south sides of the building must be at least 24' wide, whereas 20' is provided. Also, an inside turning radius of 45 feet must be provided, to prevent fire trucks from traversing curbs. Revisions to the plan are required to meet these requirements. Changes to the plan may result in additional comments from the Fire District.



## Parking

The proposed tenants have not been identified at this time. However, the B-2 zone district allows for various uses permitted by-right or permitted with a Special Use Permit. The following is a list of *potential*, but not all, uses that are likely to occupy a speculative retail building along with the required parking for each:

Use	Parking Requirement	Permitted or Special Use in B-2
Convenience store	1 space for every 150 square feet of gross floor area.	Permitted
Dry Cleaners	1 space for every 200 square feet of gross floor area, plus 1 space for each employee during the largest working shift.	Permitted
Bakery/Grocery Stores	1 space for every 200 square feet of gross floor area plus 1 space for each employee during the largest working shift.	Permitted
Indoor recreation and entertainment	1 space for every 4 patrons based upon the maximum occupancy of the facility, plus 1 space for each employee during the largest working shift.	Special Use
Massage Establishment	1 space for each 200 square feet of gross floor area, plus 1 space for each employee during the largest working shift.	Special Use
Microbrewery/Distillery/Winery with sampling area	1 space for every 500 square feet of gross floor area dedicated to brewing & operations, plus 1 space for each 1,000 square feet of gross floor area dedicated to sampling area, retail display, customer seating and other non-production areas.	Special Use
Office, Business/professional	1 space for every 200 square feet of gross floor area.	Permitted
Office, Health clinic	3 spaces for each exam room, plus 1 space for each employee during the largest working shift.	Permitted
Personal Service (salon, etc.)	1 space for each 200 square feet of gross floor area, plus 1 space for each employee during the largest working shift.	Permitted
Restaurant (full service)	1 space for each 100 square feet of gross floor area, plus 1 space for each employee during the largest working shift.	Permitted
Restaurant (carry out)	1 space for each 75 square feet of gross floor area, plus 1 for each 2 employees during the largest working shift.	Special Use
Restaurant (outdoor seating area)	Same as the type of restaurant/tavern it serves.	Special Use
Retail sales, under 100,000 SF	1 space for every 250 square feet of gross floor area, plus 1 space for each employee during the largest working shift.	Permitted

The proposed building is 20,000 square feet in area. Assuming a scenario that the entire building and all tenants were used for general **retail sales** as listed above, the use would require 80 parking spaces, plus 1 space for each employee during the largest working shift. The site plan illustrates 118 parking spaces on-site, which would allow for a maximum of 38 employees within the building.

It should be noted that most of the uses above, other than general retail, would increase the total parking requirement above 118 spaces and therefore not comply with the Ordinance. Some of the more typical parking-intensive uses include full-service and carry-out restaurants, convenience stores and salons.

## **Loading**

1. At least one loading space is required for a retail building of this size. The loading space must measure at least 12' x 50' and be located behind the building. No loading spaces are illustrated on the plans, requiring a variance.

## **Utilities**

1. The site is currently served by Village water, sanitary and storm utilities, formerly in place for the Abe Lincoln Motel.

## **Stormwater Detention**

1. Per a cursory review by Robinson Engineering, on-site stormwater detention is required. The applicant is proposing underground stormwater detention beneath the north row of parking and the south row of parking behind the building. It appears that the stormwater will ultimately drain into the Hickory Creek Tributary 2 via a constrictor near the southeast corner of the property. Preliminary engineering has not yet been approved for this project.

## **Landscaping**

1. The site currently contains several mature trees and a tree survey prepared by a licensed arborist will be required.
2. The Landscape Ordinance requires a 25' landscape buffer (transition yard) between two incompatible uses. The property is adjacent to residential uses to the west and south. A 25' landscape buffer has been provided along the south property line, but it appears that a 15' landscape buffer is provided along the west property line adjacent to the existing Settler's Pond townhome development. Transition yards shall employ landscaping, fencing or both. Since the Landscape Ordinance is separate from the Zoning Ordinance, a variance cannot be granted to permit a 15' landscape buffer.
3. The Landscape Ordinance requires street trees at a rate of 1 overstory tree for every 35' of road frontage. These trees must be placed on private property within the landscape buffer areas. The frontage along Route 30 would require 11 trees, while the frontage along 108<sup>th</sup> Avenue would require 8 trees. These street trees should be illustrated on a revised landscape plan prior to a follow-up workshop.

## **Building Materials/Architecture**

Article 7, Section A, Part 5 of the Zoning Ordinance lists the architectural requirements of the B-2 zone district. Although color architectural elevations have not been provided, some information can be gathered from the color renderings provided.

1. The Zoning Ordinance states that new construction with the B-2 zone district be "original and unique". The front and sides of the building appear to be mostly brick and cultured stone veneer with glass storefronts. Various accent materials include suspended metal awnings, fabric awnings, stone sills and stone medallions. The roof is flat, and the parapet varies in height for visual appeal. The front of the building has several tower elements with pyramid hipped roofs. These tower elements may have EIFS surfaces, possibly for wall signs. The rear façade of the building (south) appears to be constructed entirely of EIFS.
2. The Zoning Ordinance states that EIFS should only be used for accent features on commercial buildings. The rear façade of the building appears to be entirely constructed of EIFS.
3. The Zoning Ordinance states that architectural design, height and massing should be consistent with adjacent properties. The land to the north and east is undeveloped. To the west is the Settler's Pond



townhome development. This development has two-story townhomes with pitched roofs. The property to the south is used for a single-family detached home. Since the subject property is commercial and the adjacent developed properties are residential, the proposed architecture may be appropriate.

4. The B-2 zone district allows a maximum building height of 35', when measured from the building top of foundation to the highest part of the roof. The color renderings or plans do not indicate the overall height of the building, but since it is a one-story building, it is likely less than 35' tall.
5. Mechanical units have not been identified on the building elevation drawings or on the site plan, although it is assumed that the units will be mounted on the rooftop. Rooftop mechanical units must be screened from view of the public right-of-way using parapet walls (Article 7, Section A, Part 3, (c)).

### **Lighting**

1. A lighting plan has not been submitted. It is unclear whether there will be pole lights, building-mounted lights or both. A photometric plan will be required prior to proceeding to a follow-up workshop.

### **Other**

1. Walls that measure over 50' long and 2.5' high require approval from the Plan Commission, per page 70 of the Design Standards. This regulation notes that such walls only require review and approval by the Plan Commission through the site plan review process, and do not specifically require a variance or Special Use Permit. The retaining wall near the southeast corner of the property exceeds 50' long, but details are missing regarding the height of the wall.
2. The Village is requesting that a sidewalk along 108<sup>th</sup> Avenue be installed along the entire frontage, which is typical for any new development in the Village or newly annexed land into the Village.
3. A trash enclosure is located on the south side of the building, technically located within the side yard, complying with the Zoning Ordinance. Details of the enclosure are required, including height, materials, etc.
4. A sidewalk is proposed connecting the building from the north façade to Route 30, complying with the Zoning Ordinance requirement for a pedestrian connection.
5. Although a large portion of the property is located in a floodzone, there are no wetlands per the National Wetlands Inventory.

### **2019 Comprehensive Plan**

The proposed building and potential uses, meets the intent of several goals of the 2019 Comprehensive Plan:

#### Chapter 4: Green Initiatives

*Goal 4.8 (Priority A): Where possible, encourage infill development and adaptive reuse.* The proposed building addition would be considered infill development, being placed on an undeveloped property along a regional arterial road with easy access to existing utilities.

#### Chapter 7: Economic Prosperity

*Goal: 7.1. Support and encourage the diversification of the Village's tax base.* The proposed building would add commercial real estate along a major road within the Village, creating momentum for development of the undeveloped property to the east.



10841 W. Lincoln Highway



0 250 500 1,000 Feet



10841 W. Lincoln Highway

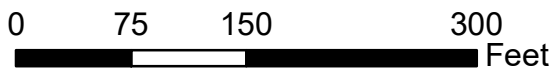


W LINCOLN HWY

SETTLERS POND DR

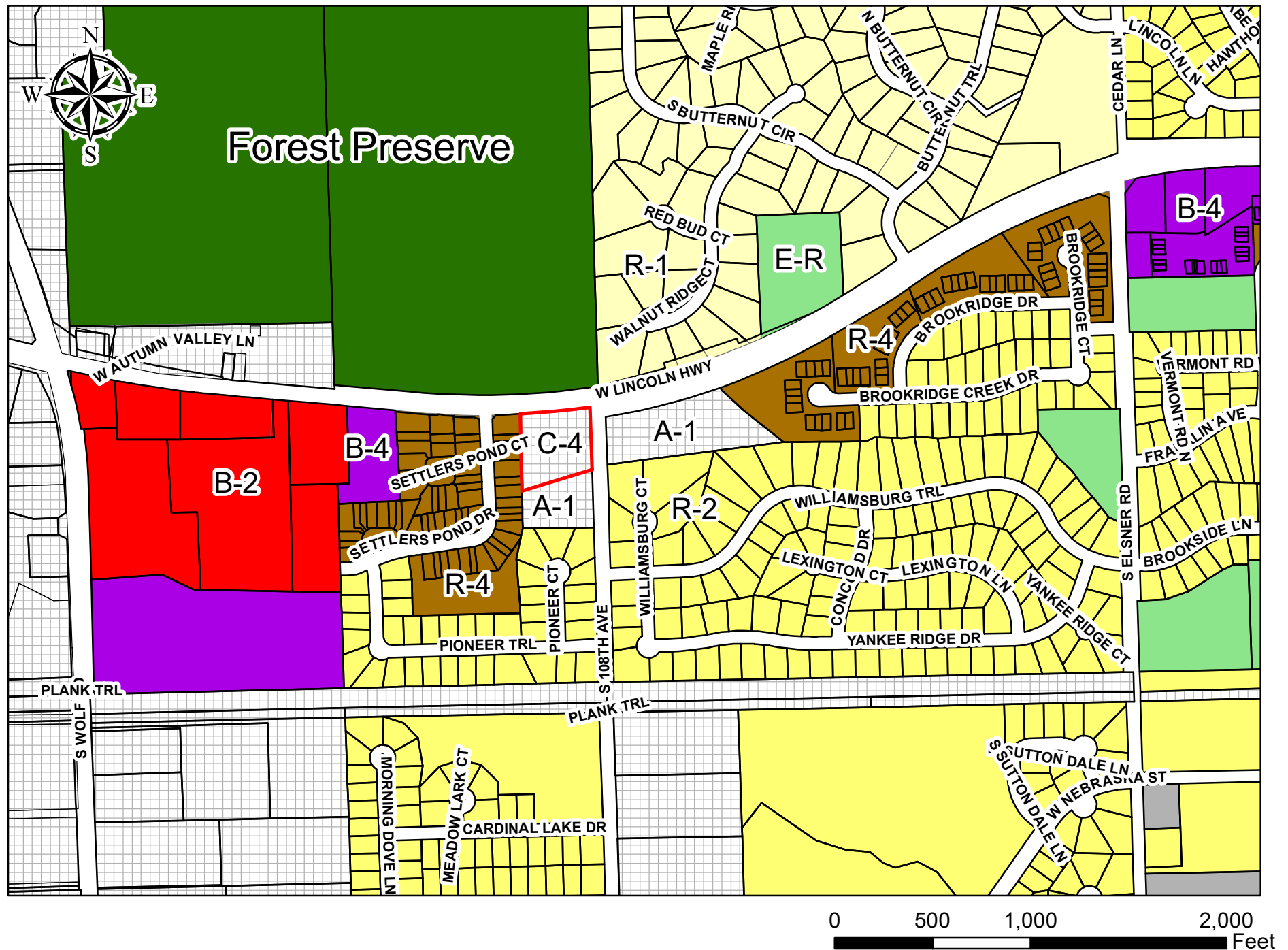
W LINCOLN HWY

S 108TH AVE

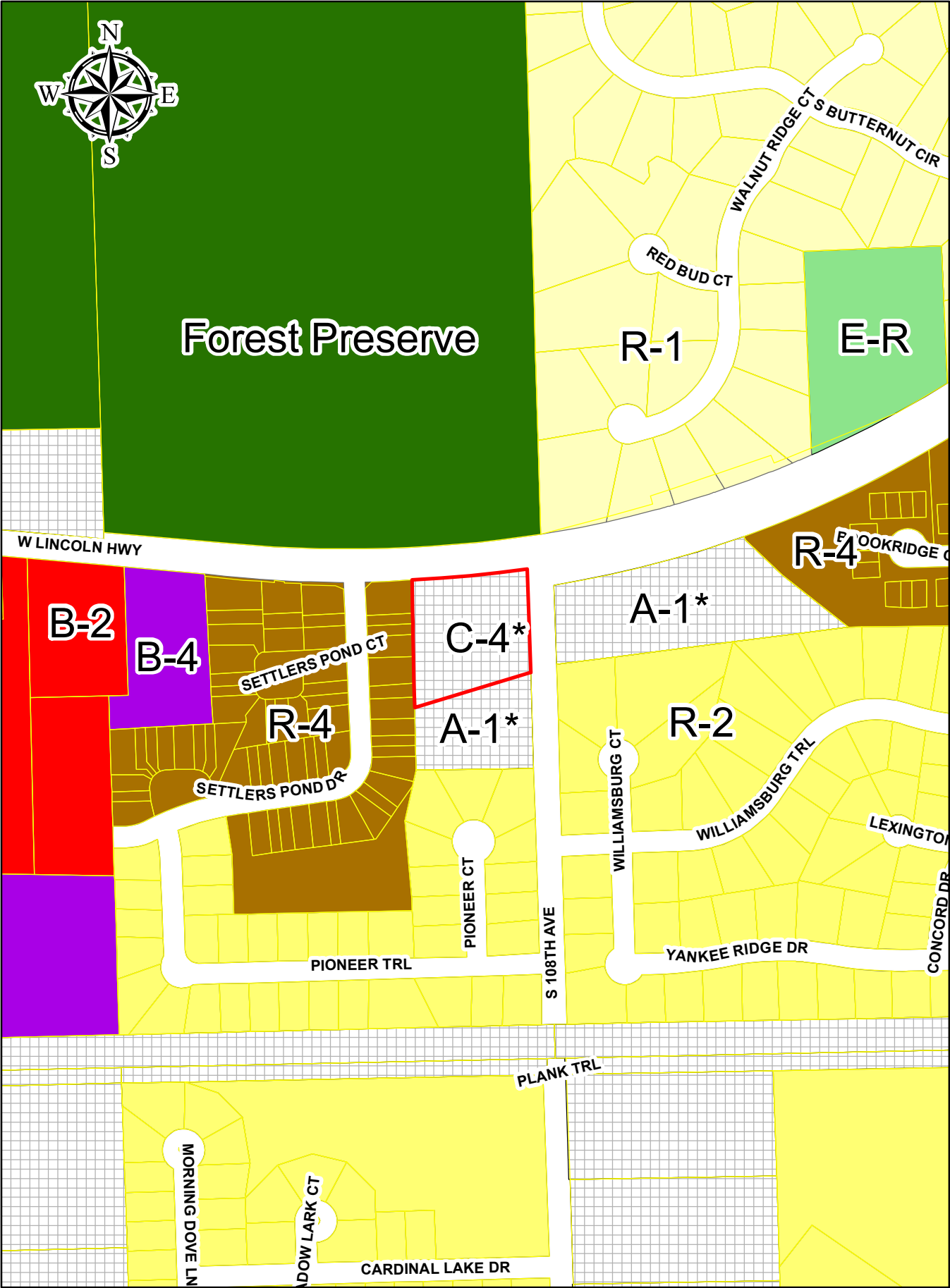




# 10841 W. Lincoln Highway



10841 W. Lincoln Highway



0 250 500 1,000 Feet



Jennifer Bertino-Tarrant  
County Executive  
Rhonda R. Novak  
Supervisor of Assessments

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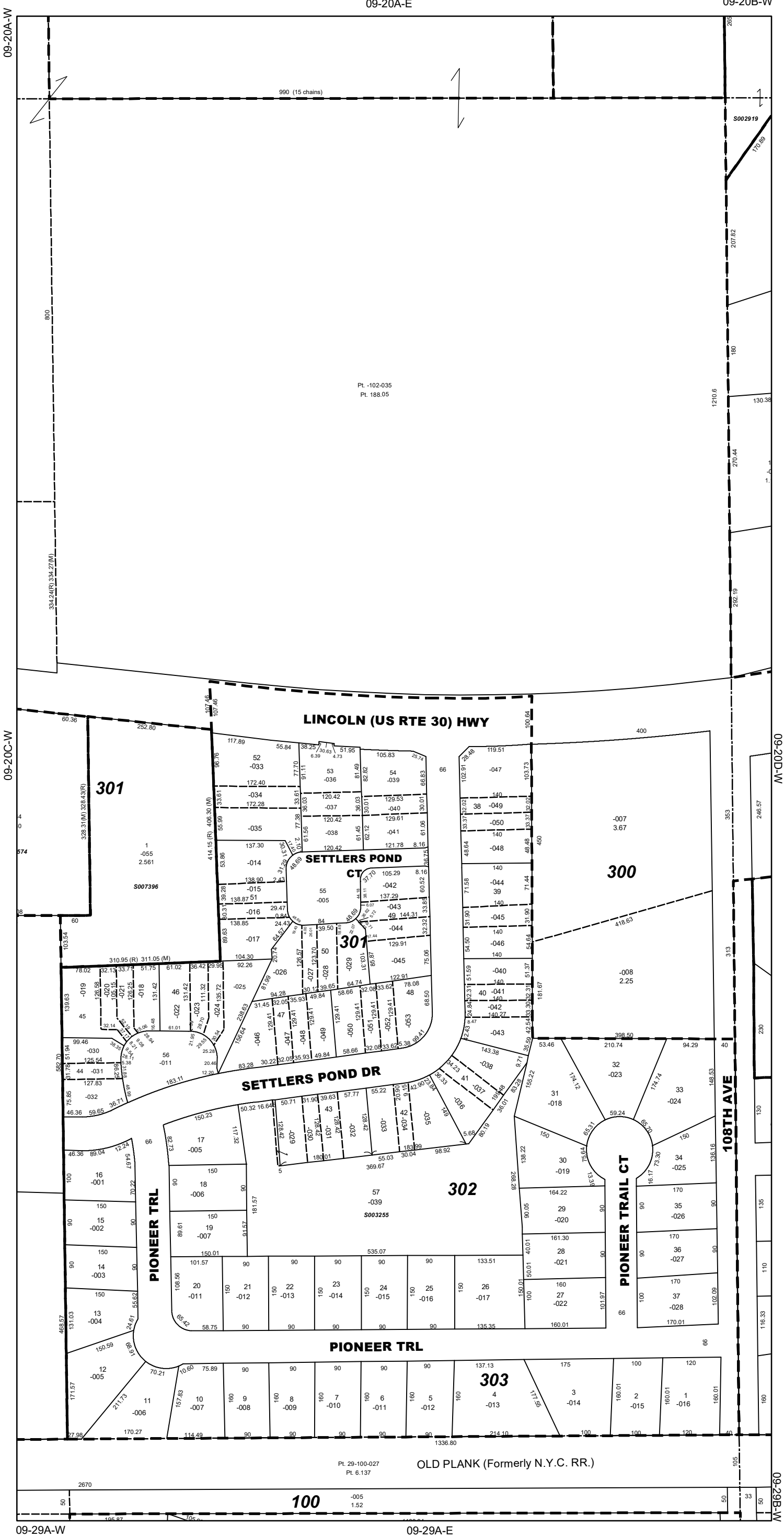
Will County, Illinois  
Tax Assessment Map  
Revised for the 2021 Assessment  
Copyrighted 2021 by Will County GIS Division

Map Page 09-20C-E

Frankfort Township  
E. 1/2 S.W. 1/4 Sec. 20 T. 35N. R. 12E.

Subdivision List

**S003255**  
Beechen & Dill's Settlers Pond  
PUD  
R97-061234  
**S007396**  
New Lenox State Bank  
R2002-192064  
**S007574**  
New Lenox State Bank Phase 2  
R2003-261229









U.S. Fish and Wildlife Service

# National Wetlands Inventory





10841 W. Lincoln



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

May 2, 2022

## Wetlands

	Estuarine and Marine Deepwater		Freshwater Emergent Wetland		Lake
	Estuarine and Marine Wetland		Freshwater Forested/Shrub Wetland		Other
			Freshwater Pond		Riverine

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



March 25, 2022

To: Engineering Resource Associates, Inc.  
3s701 West Avenue, Suite 150  
Warrenville, IL 60555

Attn: Mr. Nicholas Varchetto, PE

RE: Abe Lincoln Retail Center (Route 30 & 108<sup>th</sup> Avenue)  
Project Number 22-R0263  
Preliminary Engineering Review #1

Dear Mr. Varchetto:

On behalf of the Village of Frankfort, we reviewed the Preliminary Engineering Plans (Sheets C-1.0 and C-4.0 only) dated 1/31/22 for the above referenced project and provide the following comments. Please review the comments and revise the plans and provide supporting documents. Italicized comments remain from previous correspondence.

#### General

1. Approvals from outside agencies/entities are the responsibility of the owner and/or owners' engineer. Provide a copy of all correspondence, including but not limited to:
  - a. IDOT (entrance improvements, geometry, drainage; ROW dedication)
  - b. ACOE
  - c. IEPA (Water, Sewer and NPDES)
  - d. Fire Department
  - e. Utility Companies
2. Per Village Design Standards, walls are strongly discouraged. Revise the plan to decrease the extent and location of the wall:
  - a. Walls shall not be located within 50' of the front property line. Any walls proposed closer to the 108<sup>th</sup> Avenue right-of-way line will require a variance; approval by Village Board is not guaranteed.
  - b. Relocate/reconfigure the wall such that it will not be lower than the floodplain and subject to hydrostatic forced.
  - c. Walls in excess of 2.5' height and/or 50' length must be approved by the Plan Commission. The current wall is shown with 7.0' height and 250' length.
  - d. Where retaining walls with height 2.5' or more are permitted by the Plan Commission, drawings and calculations shall be provided, signed and sealed by an Illinois licensed Structural Engineer, as well as a geotechnical report by an Illinois licensed Civil Engineer."
  - e. Show and label the length of any required railing/fence.
3. Clearly show existing (and proposed) ROW for Route 30 and 108<sup>th</sup> Avenue on all applicable sheets.
4. A tree survey will be required. Any preservation trees removed defined per the Landscape Ordinance must be mitigated on-site.
5. Please indicate the benchmark; datum shall be NAVD 88.

#### Floodplain

6. *Provide an existing conditions flood study to confirm the area 'available' for development.*
7. Provide preliminary compensatory storage cross sections and calculations as well as a proposed conditions flood study to confirm that the project will comply with Village requirements and result in no adverse impacts to adjacent properties.

### Wetlands

8. Provide a wetland report and opinion of jurisdiction due to the floodplain and the NWI feature on the property.
9. The existing and proposed plans should include any existing wetland limits and required buffer.

### Access

10. Revise the east entrance to be further from the intersection of Route 30 and 108<sup>th</sup> Avenue.
11. The condition of 108<sup>th</sup> Avenue will be evaluated for any needed repairs or improvements as part of the project.
12. Extend the sidewalk along 108<sup>th</sup> Avenue for the full length of the property. This will include an extension of the existing culvert.

### Parking Lot

13. Please confirm that the project/site will NOT include a drive thru. If one will or may be proposed, please show the location and proposed stacking on the plan.
14. The parking table should break down the components for required parking (based on square footage plus anticipated number of employees for the largest working shift). Additional comments may be forthcoming.
15. Revise the site geometry and maneuverability analysis to accommodate a B-40 vehicle with 60' radius (the maximum wheel angle should be 25.5).
16. The current site plan does not provide clear circulation (with partial perpendicular parking/two-way and partial angled parking/one-way) and may result in unintended confusion and conflicts between drivers. If angled parking will be provided, the one-way aisles should be clearly designated (on a plan and after construction).
17. Consider removing/realigning parking near the entrances to prevent vehicles from backing out of stalls into oncoming traffic.
18. Revise drive aisles to be 26' wide for areas with perpendicular stalls per Village Design Standards / ITE.
19. Increase the sidewalk width to 7' where vehicles will overhang in front of the building.

### Stormwater & Grading

20. Provide a stormwater report including sizing of the underground storage facility. The volume labeled on the plan appears to be less than required by the Village's Design Standards. Exhibits are needed to demonstrate the area of "development" in accordance with Village and County detention requirements. Include evaluation of the restrictor and effective volume adjacent to the floodplain.
21. Indicate what type and depth of underground facility is proposed. Provide a preliminary detail of the restrictor and overflow component. Add a level spreader or other energy dissipation measure downstream of the outlet.
22. All sites with underground detention should include some type of Best Management Practices (BMP). At a minimum, means shall be provided to remove oil, floatable debris and sediment.
23. Clarify how the north and south basins will function and/or interconnect. Will the site include only one restrictor?
24. Confirm screening requirements with Village Staff along the west property line and south limit of pavement. Evaluate screening with respect to drainage and overland flow routes.
25. Storm sewer should be extended to ensure all portions of the paved areas are routed to the stormwater facilities (southwest corner, entrances, etc.).
26. Show downspout connections to the downstream storage or storm sewer.
27. Grassed areas shall be 5:1 maximum.

### Water & Sewer

28. Adjust the west hydrant location outside of pavement.
29. Label the water service and provide a valve.

Please note that this engineering review is based on the Village of Frankfort Design Standards (June 2009) and the Village of Frankfort Flood Regulations (February 2019) and excludes review of site, planning, zoning, photometric, lighting details, signage and landscaping requirements of other Village ordinances and codes being performed by the Development Services Department and other Village designees. Furthermore, our scope of work for a Preliminary Plan



review does not include review or comments for items that are typically addressed during final engineering, including but not limited to requirements for letter of credit, easements, lighting, accessibility, traffic signs, tile surveys, storm sewer sizing, ponding, overland flow routes, detailed grading, soil erosion and sediment control and project specifications.

Should you have any questions or require any further information, please contact me at [dwest@reltd.com](mailto:dwest@reltd.com) or (815) 412-2702. At time of resubmittal of this project, please include a disposition letter responding to each listed comment as well as reference to revision on plan sheet or supporting document (where applicable).

Very truly yours,

*Dana E. West*

Dana E. West, PE, CFM, CPESC  
Senior Project Manager







































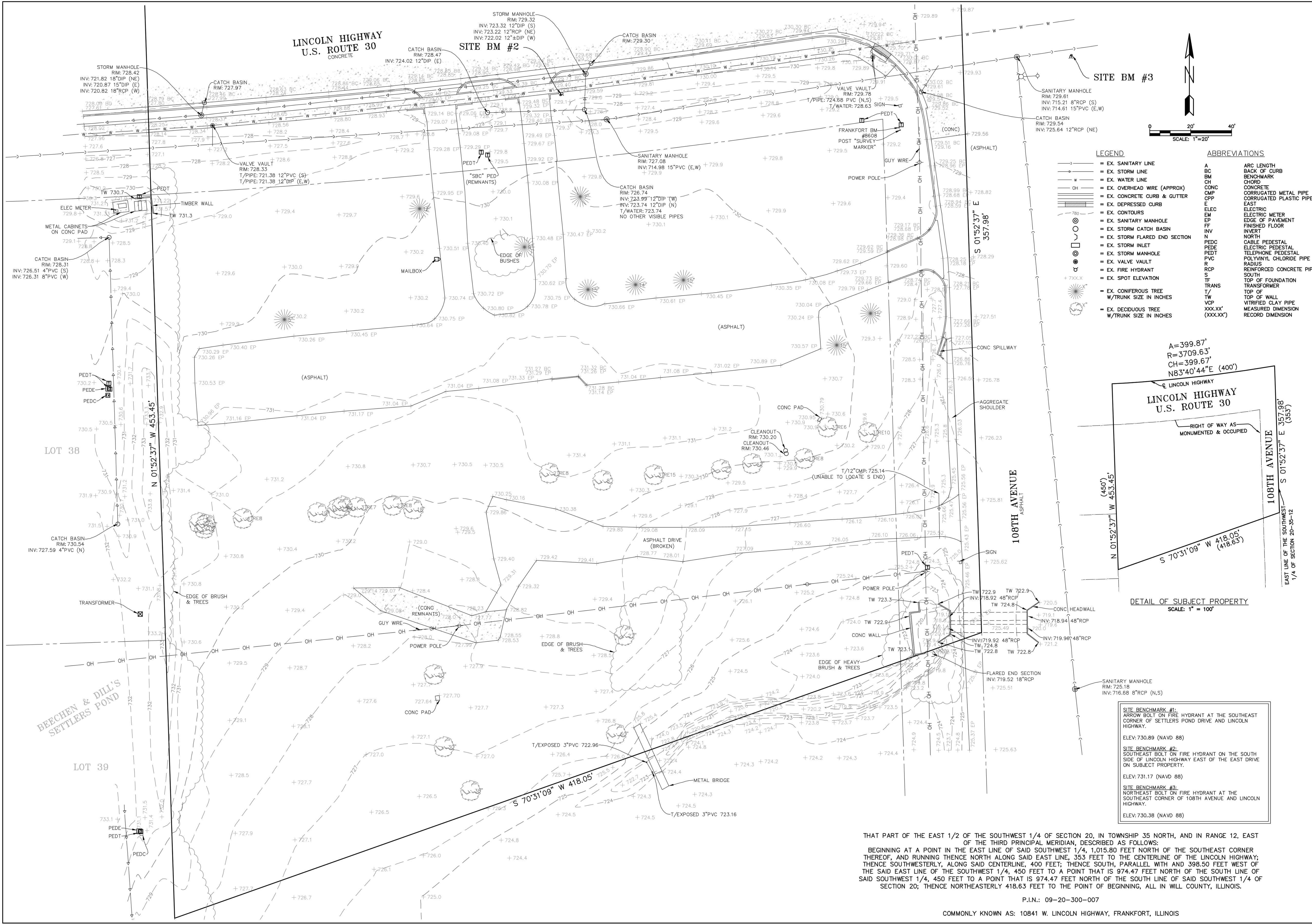




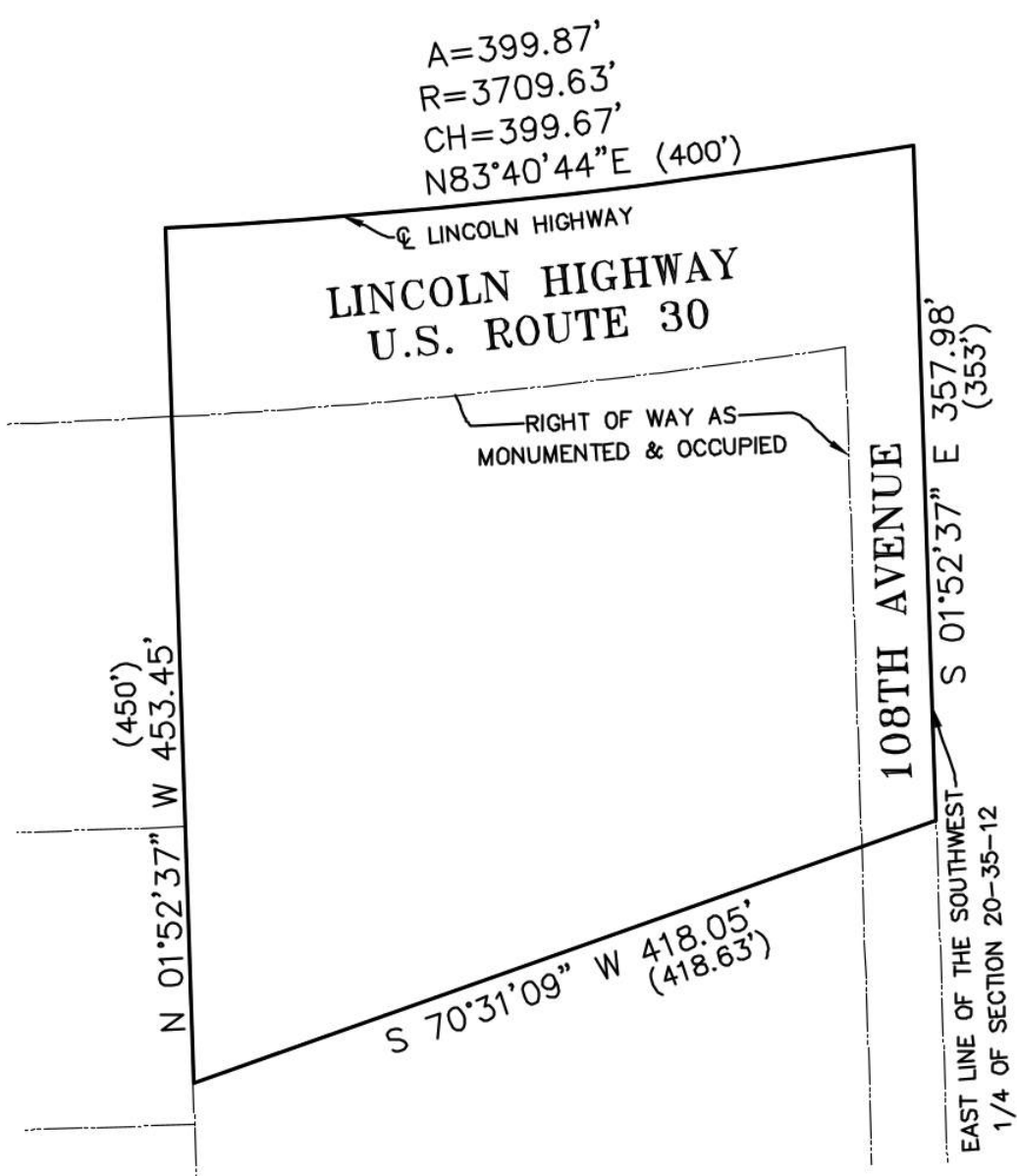








LEGEND		ABBREVIATIONS	
	= EX. SANITARY LINE	A	ARC LENGTH
	= EX. STORM LINE	BC	BACK OF CURB
	= EX. WATER LINE	BM	BENCHMARK
	= EX. OVERHEAD WIRE (APPROX)	CH	CHORD
	= EX. CONCRETE CURB & GUTTER	CONC	CONCRETE
	= EX. DEPRESSED CURB	CMP	CORRUGATED METAL PIPE
	= EX. CONTOURS	CPP	CORRUGATED PLASTIC PIPE
	= EX. SANITARY MANHOLE	E	EAST
	= EX. STORM CATCH BASIN	EM	ELECTRIC
	= EX. STORM FLARED END SECTION	EP	EDGE OF PAVEMENT
	= EX. STORM INLET	FF	FINISHED FLOOR
	= EX. VALVE VAULT	INV	INVERT
	= EX. FIRE HYDRANT	N	NORTH
	= EX. SPOT ELEVATION	NPDC	CABLE PEDESTAL
	= EX. CONIFEROUS TREE	PEDE	ELECTRIC PEDESTAL
	= W/TRUNK SIZE IN INCHES	PEDT	TELEPHONE PEDESTAL
	= EX. DECIDUOUS TREE	PVC	POLYVINYL CHLORIDE PIPE
	= W/TRUNK SIZE IN INCHES	R	RADIUS
		RCP	REINFORCED CONCRETE PIPE
		S	SOUTH
		TF	TOP OF FOUNDATION
		TRANS	TRANSFORMER
		T/	TOP OF
		WC	TOP OF WALL
		VCP	VITRIFIED CLAY PIPE
		XXX-XX'	MEASURED DIMENSION
		(XXX-XX')	RECORD DIMENSION



**SITE BENCHMARK #1:**  
ARROW BOLT ON FIRE HYDRANT AT THE SOUTHEAST CORNER OF SETTLERS POND DRIVE AND LINCOLN HIGHWAY.  
ELEV: 730.89 (NAVD 88)

**SITE BENCHMARK #2:**  
SOUTHEAST BOLT ON FIRE HYDRANT ON THE SOUTH SIDE OF LINCOLN HIGHWAY EAST OF THE EAST DRIVE ON SUBJECT PROPERTY.  
ELEV: 731.17 (NAVD 88)

**SITE BENCHMARK #3:**  
NORTHEAST BOLT ON FIRE HYDRANT AT THE SOUTHEAST CORNER OF 108TH AVENUE AND LINCOLN HIGHWAY.  
ELEV: 730.38 (NAVD 88)

THAT PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 20, IN TOWNSHIP 35 NORTH, AND IN RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT IN THE EAST LINE OF SAID SOUTHWEST 1/4, 1,015.80 FEET NORTH OF THE SOUTHEAST CORNER THEREOF, AND RUNNING THENCE NORTH ALONG SAID EAST LINE, 353 FEET TO THE CENTERLINE OF THE LINCOLN HIGHWAY; THENCE SOUTHWESTERLY, ALONG SAID CENTERLINE, 400 FEET; THENCE SOUTH, PARALLEL WITH AND 398.50 FEET WEST OF THE SAID EAST LINE OF THE SOUTHWEST 1/4, 450 FEET TO A POINT THAT IS 974.47 FEET NORTH OF THE SOUTH LINE OF SAID SOUTHWEST 1/4, 450 FEET TO A POINT THAT IS 974.47 FEET NORTH OF THE SOUTH LINE OF SAID SOUTHWEST 1/4 OF SECTION 20; THENCE NORTHEASTERLY 418.63 FEET TO THE POINT OF BEGINNING, ALL IN WILL COUNTY, ILLINOIS.

P.I.N.: 09-20-300-007  
COMMONLY KNOWN AS: 10841 W. LINCOLN HIGHWAY, FRANKFORT, ILLINOIS

**ENGINEERING**  
RESOURCE ASSOCIATES  
35701 WEST AVENUE, SUITE 150  
FRANKFORT, ILLINOIS 60555  
PHONE (630) 793-2900  
FAX (630) 793-2152  
www.eraconsultants.com

**ALBA CONSTRUCTION**  
14291 131ST STREET, LEMONT, IL 60439  
(630) 240-3495

**PROPOSED RETAIL BUILDING**  
10841 LINCOLN HIGHWAY, FRANKFORT, IL 60423  
PROJECT

DATE	: 1-31-2021
PROJECT #	: W21094.00
DESIGNED BY	: TF
DRAWN BY	: AC
CHECKED BY	: NV

**EXISTING CONDITIONS PLAN**

**C-3.0**  
SHEET

DESCRIPTION:  
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C-4.0  
SHEET

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**Project:** Everbrook Academy  
**Meeting Type:** Workshop #2  
**Requests:** Major Change to a PUD; Special Use Permit for a Daycare Center/Preschool; Special Use Permit for extended hours of operation  
**Location:** 11031 W. Lincoln Highway (Pending Address Assignment) a.k.a Lot 1 in New Lenox State Bank Subdivision  
**Applicant:** Tom Williams, Owner's Representative  
**Prop. Owner:** REM Acquisitions, LLC  
**Consultants:** Javier Cora, Architect; Scott DiGilio, Civil Engineer  
**Representative:** Marty Murphy, Attorney  
**Report By:** Michael J. Schwarz, AICP

### Site Details

**Lot Size:** 2.561 acres  
**PIN(s):** 19-09-20-301-055-0000  
**Existing Zoning:** B4 Office District, PUD  
**Prop. Zoning:** B4 Office District, PUD, with a Special Use Permit for a Daycare Center  
**Building(s) / Lot(s):** Vacant/undeveloped lot  
**Adjacent Land Use Summary:**

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Vacant/undeveloped	General Commercial	B4 PUD
<b>North</b>	Forest Preserve	Parks / Open Space	Will County A-1
<b>South</b>	Single-Family Attached Residential	Single-Family Attached Residential	R4 PUD
<b>East</b>	Single-Family Attached Residential	Single-Family Attached Residential	R4 PUD
<b>West</b>	Commercial (Bank)	General Commercial	B2 PUD

Figure 1: Location Map



### Project Summary

The applicant, Tom Williams, representing the property owner, REM Acquisitions, LLC, has filed an application requesting (1) a Major Change to the Prairie Crossings Planned Unit Development (PUD); (2) a Special Use Permit for a Daycare Center/Preschool in the B4 Office District; and (3) a Special Use Permit for extended hours of operation, for the property located at 11031 W. Lincoln Highway, Frankfort, Illinois (PIN: 19-09-20-301-055-0000).

The Plan Commission/Zoning Board of Appeals held a workshop on this matter on April 28, 2022. At that workshop, the members discussed the proposed use for a daycare center/preschool, the view of the north side of the building and outdoor play area from Lincoln Highway and a number of other design details. The applicant has since provided a Tree Removal and Preservation Plan, provided a Photometric Plan, revised the Landscape Plan, and revised the building and site Signage Plan.



## ***Property Background***

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The overall shopping center known as Prairie Crossings, located at the southeast corner of U.S. Route 30/Lincoln Highway, was annexed, rezoned, and granted a Special Use for a Planned Unit Development (PUD), along with other Special Uses for a drive-up window for a bank, a gas station, outdoor seating, sale of alcoholic beverages, and a carry-out restaurant, on August 5, 2002 (Ordinance Nos. 1908, 1909, 1918). From staff's research of Village records, it appears that a small portion of the subject property – the "bump-out" at the southeast corner, was included in the Prairie Crossings PUD as depicted on the "Zoning Plan", which is Exhibit C to the annexation agreement. The larger remainder of the property appears to already have been annexed into the Village and zoned C-5 PUD per the 2001 Zoning Map. C-5 was the Office/Transitional District zoning classification under the former Village Zoning Ordinance before the current zoning classification system was adopted on September 17, 2001, as part of the current version of the Zoning Ordinance.

In 2002, the subject property was recorded as Lot 1 in the New Lenox State Bank Subdivision (Lot 2 is the property which now contains the BMO Harris Bank).

On January 22, 2008, the Village Board approved Ordinance No. 2439, approving a Major Planned Unit Development (PUD) Change for the subject property, two allow two separate office buildings with 105 total parking spaces. Office Building #1 was approximately 11,327 square feet and located on the northern portion of the site along U.S. Route 30/Lincoln Highway, 30 feet from the eastern property line. Office Building #2 was approximately 8,866 square feet and located on the southern portion of the site, 50 feet from the southern property line. A key feature of the plan was a rectangular green space with raised seating area and center planter island in the middle of the parking lot within the center portion of the site. The proposed office buildings also mimicked the bank building (originally the New Lenox State Bank building but is now BMO Harris Bank) in terms of architectural style, roof pitch, roof dormers, and building materials. Ordinance No. 2439 and associated information and various plans are attached for background information. Construction of the office buildings never occurred, likely due to the economic downturn during the Great Recession.

## ***Attachments***

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1. 2020 Aerial Photograph from Will County GIS
2. Site Photographs taken 4.21.22
3. ALTA/NSPS Land Title and Topographic Survey dated 2.17.22, received 4.18.22
4. Site Plan dated 3.1.22, received 4.18.22
5. Site Details dated 3.1.22, received 4.18.22
6. Building Elevations dated 3.1.22, received 4.18.22
7. Material Board dated 3.1.22, received 4.18.22
8. Landscape Plan (black and white) dated 5.23.22, received 5.25.22
9. Playground Details dated 3.1.22, received 4.21.22
10. Playground Equipment Plans and Details dated 4.5.22, received 4.21.22
11. Ground Sign Details and Plot Plan dated 3.30.22 (revised), received 5.25.22
12. Wall Sign Specifications dated 3.30.22 (revised), received 5.25.22
13. Ordinance No. 2439 with associated plans and background information
14. Detention Easement Agreement granting rights to the subject property dated 10.14.02, received 4.22.22
15. Tree Removal/Preservation Plan dated 5.24.22, received 5.25.22
16. Photometric Plan with Light Fixture Specifications dated 5.19.22, received 5.25.22

## ***Analysis***

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In consideration of the request, staff offers the following points of discussion:

### **Zoning**

1. The applicant proposes to construct a ±12,870 sq. ft. daycare center/preschool called Everbrook Academy on Lot 1 in the New Lenox State Bank Subdivision, located at 11031 W. Lincoln Highway (address assignment pending).
2. The subject property is 2.5612 acres and is located immediately to the east of the BMO Harris Bank at 11041 W. Lincoln Highway.
3. The property is zoned B4 Office District, and a small portion of the property is part of the Prairie Crossings Planned Unit Development which contains the adjacent BMO Harris Bank and the overall shopping center to the west. The larger remainder of the property is part of an older Planned Unit Development per the 2001 Zoning Map.
4. A Major Change to the PUD is required because the property is currently undeveloped. The proposed development is a major change to the Prairie Crossings PUD (for the small "bump-out" at the southeast corner of the subject property), as well as a major change to a previous PUD for the larger remainder of the property as was depicted on the 2001 Zoning Map.
5. A Special Use Permit for a Daycare Center/Preschool is required in the B4 Office District.
6. The Village's ordinance does not contain specific use standards for daycare centers/preschools. Parking and traffic flow are often primary areas of consideration for daycare centers/preschools. The unique nature of their operation may generate spikes in traffic and parking demand during peak times when children are being dropped off and picked up.

## Site Plan

1. The submitted Site Plan depicts a one story, L-shaped, 12,870 square-foot daycare center/preschool building, situated in the central portion of the property, with the front entrance to the building oriented to face a proposed parking lot to the south, and the rear of the building and outdoor playground area oriented to face north toward Illinois Route 30/Lincoln Highway. The main entrance would be located at the southwest corner of the building.
2. Access to the proposed parking lot is via a cross-access easement through Lot 1 in the New Lenox State Bank Subdivision, Phase 2. Said cross-access easement is currently improved with pavement and curb and gutter and serves as the driveway entrance for the existing BMO Harris Bank parking lots and drive-through lanes. There is an existing signalized intersection at the eastern entrance to the Prairie Crossings Shopping Center, immediately to the west of the BMO Harris Bank.
3. The proposed building complies with all required setbacks in the B4 Office District.
4. Increased building setbacks are provided from the residential properties to the east (50' required; more than 67' provided) and from the residential properties to the south (50' required; more than 165' provided).
5. The Village of Frankfort Zoning Ordinance requires daycare centers/preschools to provide parking at a ratio of one (1) space per employee plus one (1) space per ten (10) client children or adults. The applicant has indicated that the facility will have a maximum capacity of 150 children (this would be the total enrollment assuming 100 percent occupancy), with ages 6 weeks up to 12 years, and 15 staff during the busiest times, resulting in a parking requirement of 30 total spaces.  
  
The facility likely will not operate at maximum capacity at all times and on all days, as some children will attend on a part time basis.
6. A total of 41 parking spaces are depicted on the Site Plan, including 2 handicap accessible spaces, which complies with the Zoning Ordinance.
7. For a previous daycare proposal on a different property in February 2019 (The Learning Experience located at 20970 S. La Grange Road) staff reviewed the American Planning Association publication "Parking Standards" which recommends daycare facilities provide parking based upon either capacity (students and teachers) or square footage of the facility. Recommendations based upon *capacity* ranged from one space for every 10-15 students and one space per teacher. Parking recommendations based upon *square footage* ranged from 1 space per every 375 - 500 square feet. Using the most conservative calculation, 30 parking spaces would be required for the Everbrook proposal based on *capacity* and 35 parking spaces would be required based on *square footage*. The proposed 41 parking spaces is on the high end of the American Planning Association's recommendations and is consistent with Village ordinance requirements.
8. In February 2019, following the PC/ZBA workshop for The Learning Experience proposal, staff conducted a parking analysis of the existing Kindercare daycare facility located at 10003 W. Lincoln Highway to provide the Commissioner's with a better real world understanding of parking demands and trip generations



associated with daycare facilities. In that analysis, the maximum number of trips to the Kindercare site during any 15-minute period under observation was 14, which occurred between 4:30 and 4:45 pm. The maximum number of cars parked within that 40-space lot was 21, which occurred at 3:45 pm.

9. The applicant has indicated that the peak drop-off period is from 6:30-9:30 a.m. and the peak pick-up period is from 3:30-6:30 p.m.
10. The applicant has indicated that curbside drop-off and pickups are not permitted.
11. To preserve as many of the parking spaces as possible in front of the building for customer traffic, staff recommends that Commissioners consider a condition requiring that employees shall utilize the proposed 15 parking spaces located along the south end of the parking lot.
12. No loading berth is depicted on the Site Plan. The Zoning Ordinance requires one (1) loading berth for a school or educational facility, a minimum of 50' in length, 12' in width, and 14' in vertical clearance. The applicant is seeking a waiver of this requirement.
13. A ±5,975 square-foot outdoor play area is proposed to the north of the building. The applicant proposes to enclose the play area with a 6' tall, white, semi-vinyl privacy fence. The play area complies with the required minimum front yard setback in the B4 Office District, which is a minimum of 150' from the centerline of U.S. Route 30/Lincoln Highway. Staff has some concerns about the view of the proposed white vinyl fence from U.S. Route 30/Lincoln Highway. A higher quality fence and/or additional landscaping should be discussed at the workshop. In initial discussions with the applicant, staff suggested that the building be flipped so that the play area would be closer to the bank to the west and further from the residential subdivision to the east. The applicant indicated that the internal configuration of the building does not allow for that change.
14. The applicant has submitted Playground Details and Playground Equipment Details. At this time, staff's only concern is the proposed "Storage Shed by Tenant" which is depicted and labeled on the Site Plan. Staff will need to review the details of the proposed shed to ensure that it does not exceed the height of the 6' tall, white, semi-vinyl fence.
15. Though not yet updated on the previous Site Plan, the revised Landscape Plan now reflects the removal of the 6' tall, black, vinyl-coated chain link fences along the northwest and southeast sides of the building. Those fences were to provide a measure of security for the small yard areas where emergency-exit doors are located on those sides of the building.

## **Landscape Plan**

1. The applicant has submitted a Landscape Plan in both color and black and white, which depicts the proposed new plantings as well as identifies any existing trees to be preserved.
2. Staff has not performed a detailed review of the Landscape Plan at this time. Upon cursory review, the Landscape Plan generally appears to comply with the Village's minimum requirements under the Municipal Code.
3. The proposed Landscape Plan generally complies with the landscape regulations for the transition yards for the residential properties to the south and east.
4. The proposed plan contemplates the removal of several existing trees in the center portion of the site where the parking lot would be located.
5. The applicant proposes to offset the removed trees by planting numerous new trees and plantings within the 25' transition yard area.
6. The Landscape Plan depicts a trash enclosure in the southwest corner of the parking lot, more than 50' from the south property line. The Site Details Plan (Sheet AS2.1) depicts an 8' tall trash enclosure which will be constructed of materials to match the exterior of the building – masonry block and stone veneer wainscot – as well as a composite wood slat gate doors.
7. As part of the development of the Prairie Crossings Shopping Center, the subject property was improved with a terraced front yard along U.S. Route 30/Lincoln Highway, which includes two parallel limestone block retaining walls.

## **Engineering Plans**

1. The applicant has not submitted Engineering Plans at this time. Staff anticipates that these plans will be submitted following the workshop and prior to the public hearing.
2. The applicant has submitted a recorded Detention Easement Agreement. The applicant has indicated that the document provides that the owner subject property has the right to utilize the existing stormwater detention basin for the overall Prairie Crossings Shopping Center which is located to the south of the adjacent BMO Harris Bank parking lot.
3. The B4 Office District requires a maximum impervious surface lot coverage of 70%. It appears based on the submitted Site Plan, that the proposed development will have enough green space to comply with this requirement.

## **Architecture**

1. The applicant proposes to construct a single-story building with a hip roof, including a dominant gable over the entrance on the south elevation. Lesser gables are proposed over two sets of windows on the south elevation and over three sets of windows on the west elevation. No gables are proposed on the north elevation facing U.S. Route 30/Lincoln Highway or the east elevation facing the adjacent residential subdivision. The north and east elevations each include a recessed rooftop area which would contain the mechanical units for the building.
2. The predominant exterior material on all elevations is thin brick in a red color which attempts to match the adjacent BMO Harris Bank building. Staff will need a material sample to verify.
3. The more residential style of the building is a distinct departure from the Federalist style of architecture for the BMO Harris Bank building.
4. The proposed 5/12 roof pitch is less than the much steeper 9/12 roof pitch of the adjacent BMO Harris Bank but is generally consistent with the roof pitch of the gabled portions of the smaller outlot buildings in the Prairie Crossing Shopping Center.
5. A 2'-8" cultured stone wainscot is proposed on all elevations. The stone style and color appears to be generally similar to the wainscot found on the buildings in the Prairie Crossing Shopping Center, but staff will need a material sample to verify. The adjacent BMO Harris Bank building does not have a stone wainscot.
6. The wall under the dominant gable on the south elevation would be finished with E.I.F.S. (Exterior Insulation Finishing Systems) which is a type of cladding system that integrates insulation and weatherproofing. The Village does not typically allow E.I.F.S. as an exterior material. Staff has advised that applicant that an alternative higher quality material should be considered in this area, especially for the north elevation which would face U.S. Route 30/Lincoln Highway.
7. The exterior walls within the two recessed rooftop areas also would be finished with E.I.F.S. (Exterior Insulation Finishing Systems). Staff has advised that applicant that an alternative higher quality material should be considered in these two areas.
8. The height of the building is 26'-4" which would comply with the maximum height of 35 feet in the B4 Office District.
9. The walls under the lesser gables – two gables on the south elevation and three gables on the west elevation – would be finished with Nichiha which is a brand name of fiber cement siding, in a vertical orientation. The proposed color is Cedar.
10. The proposed vinyl windows would have clear glass and almond color trim.

## **Photometrics/Site Lighting Plan**

1. The applicant has provided a Photometrics Plan and light fixture specifications. The Plan depicts four 15' tall parking lot lights. The light fixtures are black, flat-head LED lights. The Photometric Plan demonstrates that the light readings would be zero footcandles at the property lines.
2. The Building Elevations depict ingress and egress lighting above all exterior doors, but no fixture details have been submitted.
3. The applicant previously indicated that the lighting consultant is investigating light pole and exterior light fixture options to match or at least be compatible and harmonious with those which exist in the surrounding development. The adjacent BMO Harris Bank has black coach light fixtures on black poles within its parking



lot. The Prairie Crossings Shopping Center has much taller black “shoebox” style light fixtures on black poles within its parking lot.

4. Parking lot light fixtures may be mounted at 25' or less, which is the maximum height permitted by the Municipal Code.
5. The Village’s Municipal Code requires decorative bases for all parking lot light poles.
6. Given the proximity to nearby residential properties, the previous office approval in 2008 included a condition that the single parking lot light fixture was to be connected to a shutoff timer although no specific time was stated in the ordinance condition.

## **Signage**

1. The applicant is proposing a total of three (3) exterior signs – one (1) ground sign along U.S. Route 30/Lincoln Highway and two (2) wall signs on the west and south building elevations. A directional sign at the entrance to the parking lot has since been removed from the plan. That previous sign would have required four (4) variations.
2. The applicant is proposing a 20 square-foot monument sign along U.S. 30/Lincoln Highway. The proposed sign is 7’-8” wide and 4’ high. This is smaller than the previously submitted monument sign. The maximum height of a sign for a single-tenant building within the B4 District is 7’ but may be increased 10% to allow for ornamental features (a maximum of 7’-8.4 inches). The maximum area for a freestanding sign for both single tenant and multi-tenant commercial uses is determined by the total square footage of the building(s). The maximum allowable area of the proposed monument sign is 20 square feet.
3. The applicant is proposing two (2) internally illuminated wall signs – one on the western façade and one on the southern façade of the building. Neither of the proposed wall signs face a public right-of-way. The Sign Regulations require that for a single-tenant business, one (1) wall sign shall be permitted per frontage on public right-of-way or frontage on a main point of ingress/egress into the commercial development. Staff believes that no variation would be needed for the location of the southern wall sign which faces the parking lot, as that wall sign would be in lieu of a sign which would be permitted on the north elevation (rear of the building) facing U.S. Route 30/Lincoln Highway. However, a variation for location would be needed for the proposed wall sign on the west elevation which faces the BMO Harris Bank, as this orientation does not face a public right-of-way or have frontage on a main point of ingress/egress into the commercial development. Further, the Sign Regulations do not allow cabinet or box-style signs. Only channel letter signs are permitted. The Sign Regulations also do not allow internally illuminated signs in the B4 District. Finally, the Sign Regulations allow no more than three (3) colors on sign, whereas the submitted sign details depict five (5) colors.
4. The Village’s Municipal Code limits wall signage to a maximum of one square foot per linear foot of frontage resulting in a maximum wall sign square footage of approximately 145 square feet for the proposed building. The applicant proposes to install a 65 square-foot internally illuminated wall sign above the main entrance to the building (south elevation) and a 57 square-foot internally illuminated sign above the east elevation which faces the drive-aisle that serves the proposed parking lot. The total area of the two proposed wall signs is 122 square feet.

## **Hours of Operation**

1. The proposed business hours of operation are 6:30 a.m. to 6:30 p.m. on weekdays. The facility is closed on Saturdays and Sundays. The applicant is requesting a Special Use Permit to allow hours of operation outside of the Village’s normal hours of operation which are 7:00 a.m. to 11:00 p.m. under Article 6, Part 2(q) of the Zoning Ordinance.

## **Standards for Planned Unit Developments**

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For reference during the workshop, Article 3, Section F of the Village of Frankfort Zoning Ordinance refers to Planned Unit Developments (refer to complete Article 3 attached). Part 4 of said Section F refers to the review standards the must be considered.

In granting or withholding approval of Preliminary Plans and Final Plans, the Plan Commission and the Village Board shall consider the extent to which the application fulfills the requirements of this Ordinance and the following standards:

- a. The plan is designed to protect the public health, welfare, and safety.
- b. The proposed development does not cause substantial injury to the value of other property in the immediate area.
- c. The plan provides for protection of the aesthetic and function of the natural environment, which shall include, but not be limited to, flood plains, streams, creeks, lakes, ponds, wetlands, soil and geologic characteristics, air quality, vegetation, woodlands, and steep slopes.
- d. The plan provides for and ensures the preservation of adequate recreational amenities and common open spaces.
- e. Residential use areas may provide a variety of housing types to achieve a balanced neighborhood.
- f. The planned unit development provides land area to accommodate cultural, educational, recreational, and other public and quasi-public activities to serve the needs of the residents thereof.
- g. The proposed development provide for the orderly and creative arrangement of all land uses with respect to each other and to the entire Village.

### ***Standards for Special Uses***

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For reference during the workshop, Article 3, Section B, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use request.

The Plan Commission shall make written findings of fact and shall refer to any exhibits containing plans and specifications for the proposed special use, which shall remain a part of the permanent record of the Plan Commission. The Plan Commission shall submit same, together with its recommendation to the Village Board for final action. No special use shall be recommended by the Plan Commission, unless such Commission shall find:

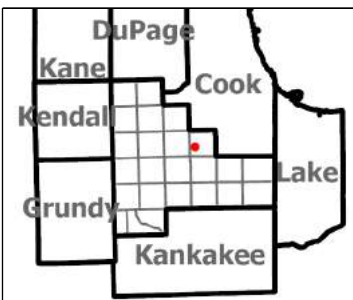
- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.



- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.



# Aerial Photo - Lot 1 in New Lenox State Bank Subdivision



## Legend

- Address Points
- Roadways
  - Federal
  - State
  - County
  - Local and Private
- Parcels LY
- Townships

## Notes

Date: 4/22/2022

1: 2,257

0 0.04 0.07 Miles

Projection

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

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## **Site Photos – 11031 W. Lincoln Highway**



*Figure 1: 11031 W. Lincoln Highway, viewed looking south from U.S. Route 30/Lincoln Highway.*



*Figure 2: 11031 W. Lincoln Highway, viewed looking south from U.S. Route 30/Lincoln Highway.*



*Figure 3: BMO Harris Bank at 11041 W. Lincoln Highway as viewed from U.S. Route 30/Lincoln Highway. Subject property is located immediately adjacent to the east (left).*



*Figure 4: 11031 W. Lincoln Highway, viewed from cross-access drive behind BMO Harris Bank looking east.*





*Figure 5: 11031 W. Lincoln Highway, viewed looking north from cross-access drive behind BMO Harris Bank.*



*Figure 6: Rear of Settlers Pond townhomes, viewed looking south from cross-access drive behind BMO Harris Bank.*



*Figure 7: Rear of Settlers Pond townhomes, viewed looking east from cross-access drive behind BMO Harris Bank.*



*Figure 8: U.S. Route 30/Lincoln Highway, viewed looking east from 11031 W. Lincoln Highway.*





*Figure 9: Existing landscape terrace with limestone block retaining walls along frontage of 11031 W. Lincoln Highway, viewed looking east.*



*Figure 10: Existing landscape terrace with limestone block retaining walls along frontage of 11031 W. Lincoln Highway, viewed looking west.*



*Figure 11: Existing landscape terrace with limestone block retaining walls along frontage of 11031 W. Lincoln Highway, viewed looking south.*



*Figure 12: Existing trees located in southern portion of subject property at 11031 W. Lincoln Highway.*



200802290024281  
LAURIE MCPHILLIPS Will County Recorder 10P  
CK Date 02/29/2008 Time 08:50:00  
Recording Fees: \$30.75  
IL Rental Hsng. Support Program: \$0.00  
R2008024281  
Receipt # T20080014394

## ORDINANCE NO. 2439

### AN ORDINANCE APPROVING A MAJOR PLANNED UNIT DEVELOPMENT (PUD) CHANGE FOR PRAIRIE CROSSINGS RETAIL CENTER (PRAIRIE CROSSINGS PROFESSIONAL CENTER - 11125 W. LINCOLN HIGHWAY)

**WHEREAS**, Carlson Brothers Inc., applicant; and REM Acquisitions, LLC and Prairie Bank & Trust Company, as Trustee under Trust Agreement dated December 12, 2005, and known as Trust Number 05-142, owners; filed an application with the Village of Frankfort for a major PUD change to the Prairie Crossings retail center property, located at 11125 W. Lincoln Highway, Frankfort, Illinois; and

**WHEREAS**, the property is located within the corporate limits of the Village of Frankfort, in Will and Cook Counties, Illinois, and is zoned B-4 Office District with a Special Use for a PUD; and

**WHEREAS**, a timely Notice of Public Hearing on this application before the Plan Commission/Zoning Board of Appeals of the Village of Frankfort was published in the Star Newspaper announcing a Public Hearing on the application for a major PUD change for Lot 1 in New Lenox State Bank Subdivision of the Prairie Crossings development; and

**WHEREAS**, at a time and place designated in such published notice, a Public Hearing was held before the Village of Frankfort Plan Commission/Zoning Board of Appeals on said application; and

**WHEREAS**, the Village of Frankfort Plan Commission recommended to the Board of Trustees of the Village of Frankfort that the subject property be granted a major PUD change to accommodate the construction of two one-story office buildings, with conditions as enumerated in Section 1 of this ordinance and as generally depicted on Exhibits A-1 through A-6, attached.

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS, AS FOLLOWS:**

19810

## **SECTION 1. ZONING.**

PIN: 19-09-20-301-055-0000

### **PARCEL 1**

LOT 1 IN NEW LENOX STATE BANK SUBDIVISION, BEING A SUBDIVISION OF PART OF THE EAST ½ OF THE SOUTHWEST ¼ OF SECTION 20, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 8, 2002 AS DOCUMENT NO. R2002-192064 IN WILL COUNTY, ILLINOIS

### **PARCEL 2**

EASEMENT FOR THE BENEFIT OF PARCEL 1 CREATED BY ACCESS EASEMENT AGREEMENT BETWEEN KOHL'S DEPARTMENT STORES, INC. A DELAWARE CORPORATION, AND ALSO NLSB, AN ILLINOIS BANKING CORPORATION, RECORDED JANUARY 17, 2003 AS DOCUMENT NO. R2003-12121 FOR THE PASSAGE OF MOTOR VEHICLES AND PEDESTRIANS OVER AND ACROSS THE DRIVEWAY AND ACCESS ROAD AS DESCRIBED IN SAID DOCUMENT.

### **PARCEL 3**

EASEMENT FOR THE BENEFIT OF PARCEL 1 CREATED BY ACCESS AGREEMENT BY AND BETWEEN NLSB AND NLSB, AS TRUSTEE UNDER THE PROVISIONS OF A TRUST AGREEMENT DATED AUGUST 18, 1988, NOWN AS TRUST NO. 1183, RECORDED MARCH 24, 2004 AS DOCUMENT R2004-49251 FOR INGRESS AND EGRESS OVER THE SOUTH 40 FEET OF LOT 1 IN NEW LENOX STATE BANK PHASE 2, RECORDED AS DOCUMENT NO. R2003-261229, IN WILL COUNTY, ILLINOIS, commonly known as part of Lot 1 of the New Lenox State Bank Subdivision property, Prairie Crossings retail center, located at 11125 W. Lincoln Highway, in Frankfort, Will County, Illinois, is hereby granted a major PUD change, in accordance with the reviewed plans prepared by Arete 3 Ltd (Site Plan rev. 11.15.06; Landscape Plan, rev. 01.25.07; Elevations, rev. 04.02.07 and 11.15.06; Tenant Signage, rev. 04.02.07; Photometric Plan, rev. 01.31.07) and subject to the following conditions:

1. Staff approval of final Covenants and Restrictions with language stating attic space to be used for storage only
2. Extension of the sidewalk along Route 30 to the eastern property line
3. Retaining wall material to match existing material in bulk and color
4. Inclusion of a cut-off timer on the parking lot light located west of the southernmost trash enclosure
5. Removal of any wall signage on the northern façade of Building 1, should the building revert back to a multi-tenant orientation.

## **SECTION 2. REPEALER**

That all other ordinances or parts or provisions of ordinances of the Village of Frankfort in conflict with any of the provisions of this Ordinance shall be, and the same are hereby repealed.



**SECTION 3. SEVERABILITY**

This Ordinance and every provision thereof, shall be considered severable. In the event that any court of competent jurisdiction may find and declare any word, phrase, clause, sentence, paragraph, provision or section or part of a phrase, clause, sentence, paragraph, provision or section of this Ordinance is void or unconstitutional, the remaining words, phrases, clauses, sentences, paragraphs and provisions and parts of phrases, clauses, sentences, paragraphs, provisions and sections not ruled void or unconstitutional shall continue in full force and effect.

**SECTION 4. EFFECTIVE DATE**

This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED, this 22<sup>nd</sup> day of January, 2008, with four members voting AYE; no members voting NAY; and two members absent; the President not voting; with no members abstaining or passing and said vote being:


KEVIN EGAN	<u>ABSENT</u>	CYNTHIA CORSO HEATH	<u>AYE</u>
TODD S. MORGAN	<u>AYE</u>	THOMAS J. PARRILLO	<u>ABSENT</u>
RICHARD TREVARTHAN	<u>AYE</u>	R. DOUGLAS WALKER	<u>AYE</u>

  
KATE ROMANI  
VILLAGE CLERK

APPROVED this 22<sup>nd</sup> day of January, 2008.

  
JIM HOLLAND  
VILLAGE PRESIDENT

ATTEST:

  
KATE ROMANI  
VILLAGE CLERK

PREPARED BY AND RETURN TO:

VILLAGE CLERK  
VILLAGE OF FRANKFORT  
432 W. NEBRASKA STREET  
FRANKFORT, IL 60423

STATE OF ILLINOIS) ) SS.  
COUNTY OF WILL)

I, Alice Y. Schomburg, the Deputy Village Clerk of the Village of Frankfort, in the County and State aforesaid, do hereby certify that I am the duly qualified and acting Deputy Village Clerk of said Village, and as such official I do further certify that with the Village Clerk, I have the care and custody of all official records of the President and Board of Trustees of said Village, and that the foregoing document, attached hereto, being:

ORDINANCE NO. 2439, AN ORDINANCE APPROVING A MAJOR PLANNED UNIT DEVELOPMENT (PUD) CHANGE FOR PRAIRIE CROSSINGS RETAIL CENTER (PRAIRIE CROSSINGS PROFESSIONAL CENTER – 11125 W. LINCOLN HIGHWAY)

is a true, correct and compared copy of the original of said document,

IN WITNESS WHEREOF, I have hereunto affixed my hand and the corporate seal of said Village this 22<sup>nd</sup> day of January, 2008.

*Alice V. Schomburg*  
ALICE V. SCHOMBURG  
DEPUTY VILLAGE CLERK

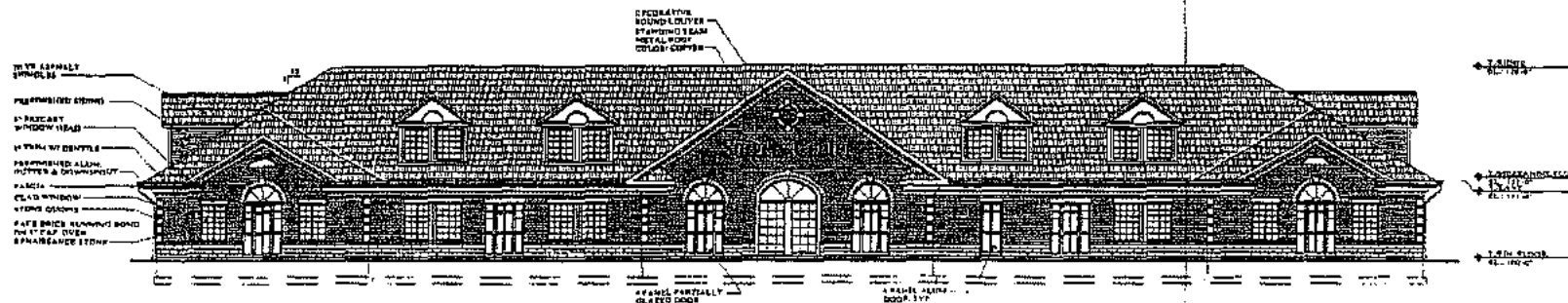
(Seal)







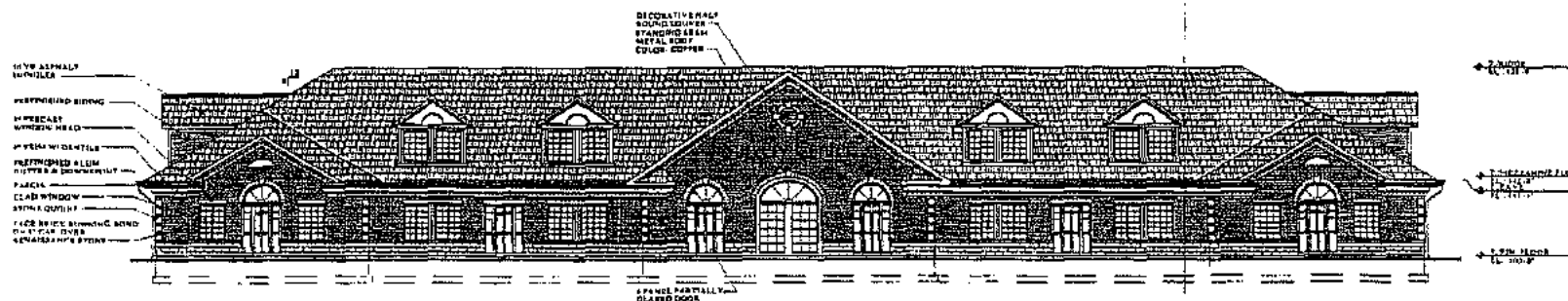




## PROPOSED NORTH ELEVATION

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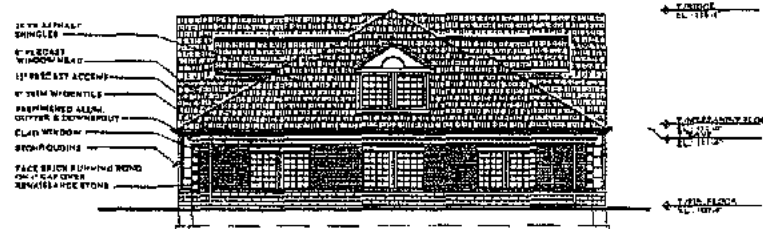
0 8' 16' 24'



## PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

0 8' 16' 24'



## PROPOSED EAST & WEST ELEVATIONS

SCALE: 1/8" = 1'-0"

0 8' 16' 24'

**arete 3 ltd**  
design group  
1841 South West Clear Drive  
Troy, MI 48067  
734-342-1120 ext.  
734-342-1233 fax  
arete3.com

PROPOSED  
BUILDING  
ELEVATIONS  
BUILDING #1

PRAIRIE  
CROSSING  
PROFESSIONAL  
CENTRE  
FRANKFORT, IL

EL-1

JOB # 02298  
ORIGIN: 02-03-06  
REV. DATE: 04-03-07  
SCALE: AS NOTED  
© COPYRIGHT 2007 ARETE 3 LTD  
ALL RIGHTS RESERVED

EXHIBIT A-3

PROPOSED

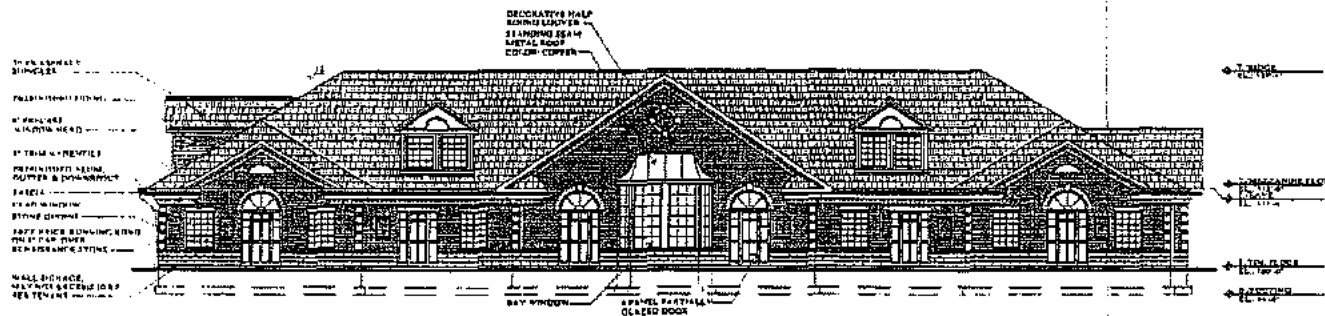
BUILDING  
ELEVATIONS  
BUILDING #2

PRAIRIE  
CROSSING  
PROFESSIONAL  
CENTRE  
FRANKFORT, IL

EL-2

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REV. DATE: 11-13-06  
SCALE: AS NOTED  
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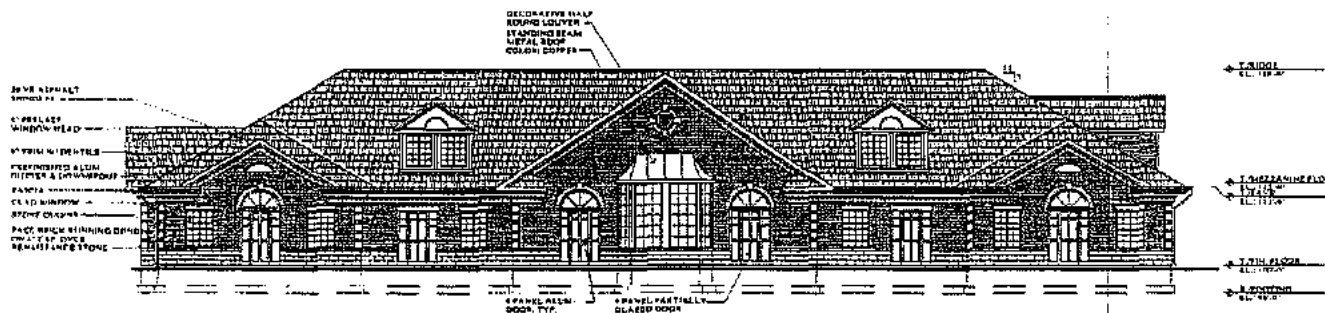
EXHIBIT A-4



PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"

0 8' 16' 24'



PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

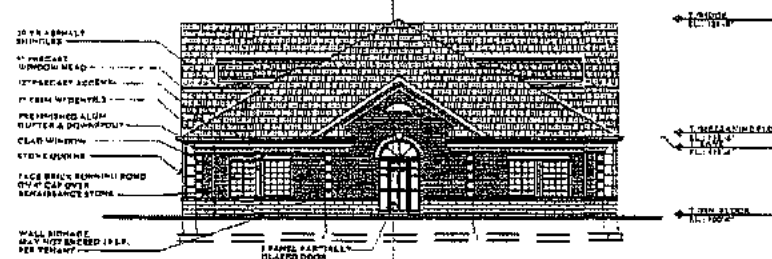
0 8' 16' 24'



PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"

0 8' 16' 24'

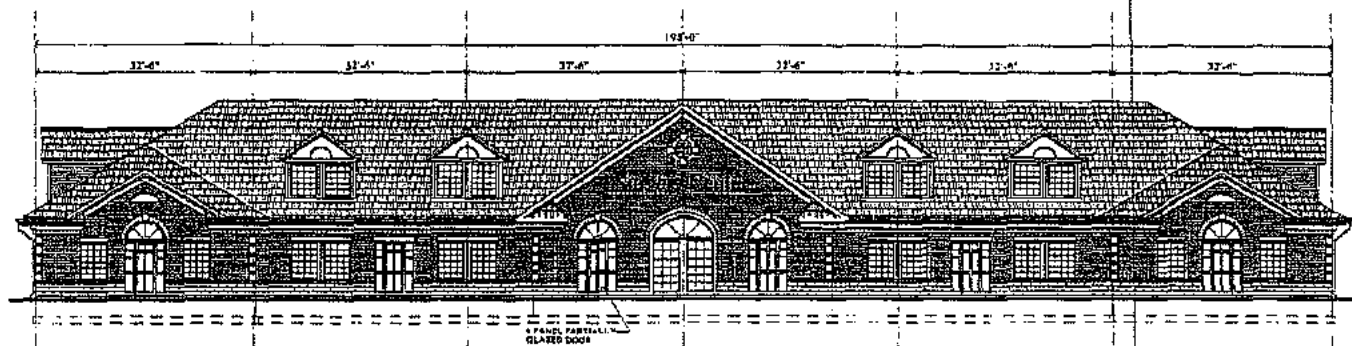


PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"

0 8' 16' 24'

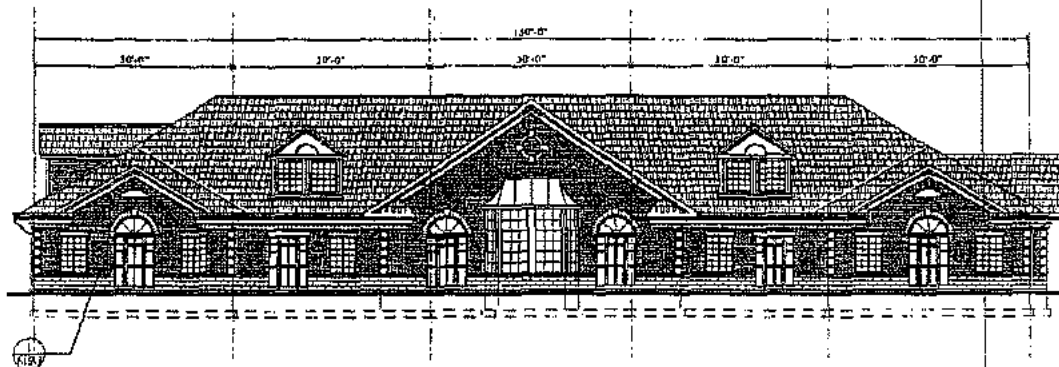




## OFFICE BUILDING #1 - NORTH & SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

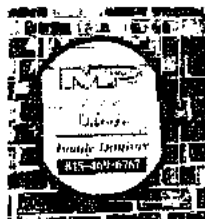
0 8 16 24'



## OFFICE BUILDING #2 - NORTH ELEVATION

SCALE: 1/8" = 1'-0"

0 8 16 24'



## ① TENANT SIGNAGE

NOT TO SCALE

SIGNAGE MATRIX		ONE SIGN PERMITTED PER STORE FRONTAGE. NOT TO EXCEED 1.9 SQUARE FOOT PER LINEAR FOOT OF EACH STORE FRONTAGE		
BUILDING 1		NORTH & SOUTH ELEVATION		
TYPICAL SIGNAGE	LN. FT. OF STOREFRONT	ALLOWABLE AREA	AREA USING	
TOTAL	195'-0"	195 SQ. FT.	39 SQ. FT.	

BUILDING 2		NORTH ELEVATION		
TYPICAL SIGNAGE	LN. FT. OF STOREFRONT	ALLOWABLE AREA	AREA USING	
TYP. TENANT	30'-0"	30 SQ. FT.	6 SQ. FT.	
TOTAL	180'-0"	180 SQ. FT.	36 SQ. FT.	

NO SIGNAGE ALLOWED ON THE SOUTH ELEVATION OF BUILDING #2

PLEASE NOTE  
IF BUILDING 1 BE UTILIZED AS A MULTI-TENANT BUILDING SIGNAGE WILL NOT BE ALLOWED ON THE NORTH ELEVATION (FACING ROUTE 30) AND SIGNAGE CALCULATIONS AND STYLE SHOULD MATCH THAT OF BUILDING 2

PROPOSED

TENANT SIGNAGE  
for  
BUILDINGS 1 & BUILDING 2

PRAIRIE CROSSING  
PROFESSIONAL CENTRE  
FRANKFORT, IL

SD-2

100 #: 03208  
ORIGIN: 11-03-06  
REV. DATE: 04-01-07  
SCALE: AS NOTED  
© COPYRIGHT 2007 ARETE 3 LTD  
ALL RIGHTS RESERVED

EXHIBIT A-5





R2003012120

**RECEIVED**

By Mike Schwarz at 4:33 pm, Apr 22, 2022

THIS INSTRUMENT PREPARED  
BY AND RETURN RECORDED  
DOCUMENT TO:

Todd A. Bickel  
WILDMAN, HARROLD, ALLEN & DIXON  
225 West Wacker Drive  
Suite 3000  
Chicago, Illinois 60606-1229

MARY ANN STUKEL

12P

Will County Recorder

Will County

R 2003012120

Page 1 of 12

CAK Date 01/17/2003 Time 11:17:02

Recording Fees: 26.00

1394900 WB

**DETENTION EASEMENT AGREEMENT**

THIS DETENTION EASEMENT AGREEMENT (the "Easement") is made and entered into as of this 10th day of October, 2002, by and between Frankfort 30 & Wolf LLC, an Illinois limited liability company ("Developer") and NLSB, an Illinois banking corporation ("NLSB").

**WITNESSETH**

WHEREAS, Developer, Kohl's Department Stores, Inc. ("Kohl's") and their respective successors and assigns, own certain parcels of real estate located east of the southeast corner of U.S. Route 30 and Wolf Road, aggregately consisting of approximately 26.95 acres of land which is being developed as a retail shopping center and is legally described in Exhibit A attached hereto and made a part hereof ("Shopping Center Land");

WHEREAS, NLSB is currently the owner of certain real estate with frontage on U.S. Route 30 and located immediately to the east of the Shopping Center Land which is legally described on Exhibit B attached hereto and made a part hereof ("NLSB Property"); and

WHEREAS, Developer owns fee title to that portion of the Shopping Center consisting of approximately 3.063 acres of land adjacent to the NLSB Property which is legally described on Exhibit C attached hereto and made a part hereof (the "Detention Area"); and

WHEREAS, the NLSB Property and the Detention Area are hereinafter referred to individually as a "Tract" and together as the "Tracts;" and

WHEREAS, Developer and Kohl's has entered into a certain Operation and Easement Agreement ("OEA") dated as of October 14, 2002 and recorded in the Will County Records on October 15, 2002, as Document Number 6, which

R02-19777

1098244\_1

10812

CHICAGO TITLE INSURANCE CO.

governs certain rights and responsibilities of various parties relative to the Shopping Center Land; and

WHEREAS, Developer wishes to grant to NLSB and NLSB desires to receive the benefit of, certain easements for purposes of providing storm water drainage and detention from the NLSB Property (including any and all parcels into which the NLSB Property may now or hereafter be divided, whether by sale, lease or otherwise), which easements shall provide to the NLSB Property the nonexclusive right to utilize and drain into the Detention Area; and

WHEREAS, the parties further desire to provide certain terms and provisions governing the use and maintenance of the Detention Area, as more fully set forth in this Agreement.

NOW, THEREFORE, in consideration of the above premises, the mutual covenants and agreements contained in this Easement and other good and valuable consideration, the receipt and legal sufficiency of which are hereby acknowledged, Developer and NLSB agree as follows:

1. **Recitals.** The foregoing recitals are hereby incorporated by reference.
2. **Grant of Storm Drainage and Detention Easement.** Developer hereby declares, grants and conveys to NLSB, its successors and assigns, and to the owner(s), tenant(s) or occupant(s) of the NLSB Property, or any portion thereof (collectively, the "Permittees") a perpetual, nonexclusive easement appurtenant (the "Detention Easement"), to provide for storm water drainage and detention from the NLSB Property over, across, under and upon the Detention Area.

Developer shall, at Developer's sole cost, concurrently with the development of the Shopping Center Land which the Detention Area is a part, construct a detention basin within the Detention Area, having an aggregate volume capacity of 15.02 acre/feet, or such other capacity as is approved or required by the Village of Frankfort and any necessary piping, equipment or facilities related thereto, from the NLSB Property to the Detention Area. NLSB shall be permitted to utilize up to 0.974 acre/feet of the volume of the Detention Area, or such other volume as is approved or required by the Village of Frankfort. The remaining volume of the Detention Area shall be available for the owners of the Shopping Center Land as more fully provided in the OEA.

3. **Operation, Maintenance, and Taxes.** Developer agrees to operate, repair and maintain the Detention Easement Area pursuant to the provisions of Article 5 of the OEA and NLSB shall pay 9.48 % of the Common Area Maintenance Costs, Administration Fee and taxes relating thereto pursuant to the provisions of Article 5 of the OEA.

4. **Transfer of Ownership.** Whenever a transfer of ownership of all, or any portion of, any Tract occurs, the liability of the transferor for any breach of covenant occurring from and after the effective date of such transfer shall, with respect to the whole or portion of the Tract being transferred, automatically terminate with respect to



such transferor. As of the effective date of a given transfer, any transferee shall automatically assume and be bound by all of the burdens and obligations under this Easement.

5. Extension of Detention Easement to Additional Tracts. Regardless of excess capacity that may be available in the Detention Area, NLSB may not extend to owners or lessees of additional parcels of land which are adjacent or contiguous to the Tracts, or to any other party, the benefits or obligations under this Easement.

6. Dedication. Nothing contained herein shall be construed as creating any rights in the general public or as dedicating for public use any portion of the Tracts. No easements, except those expressly set forth in Section 2 shall be implied by this Easement; in that regard, and without limiting the foregoing, no other easements for drainage, retention, or for any other use or purpose, are granted or implied.

7. Remedies and Enforcement.

7.1 All Legal and Equitable Remedies Available. In the event of a breach or threatened breach by either party hereto of any of the terms, covenants, restrictions or conditions hereof, any one or more of the Permittees shall be entitled forthwith to full and adequate relief by injunction and/or all such other available legal and equitable remedies from the consequences of such breach.

7.2 Remedies Cumulative. The remedies specified herein shall be cumulative and in addition to all other remedies permitted at law or in equity.

7.3 No Termination for Breach. Notwithstanding the foregoing to the contrary, no breach hereunder shall entitle any party to cancel, rescind, or otherwise terminate this Easement. No breach hereunder shall defeat or render invalid the lien of any mortgage or deed of trust upon any Tract made in good faith for value, but the easements, covenants, conditions and restrictions hereof shall be binding upon and effective against any party of such Tract covered hereby whose title thereto is acquired by foreclosure, trustee's sale, or otherwise.

8. Notices. All notices and other communications given pursuant to this Easement shall be in writing and shall be deemed properly served if delivered personally or by nationally recognized overnight courier or sent by United States certified mail, return receipt requested, postage prepaid and addressed to the parties at their respective addresses set forth below, and the same shall be effective upon receipt if delivered personally, or on the next business day if sent by overnight courier, or three (3) business days after deposit in the mail if mailed. The initial addresses of the parties shall be:

Developer:	c/o Edgemark Development LLC 2215 York Road, Suite 503 Oak Brook, Illinois 60523 Attn: Mark H. Tanguay
------------	---

Telecopier No.: (630) 472-1019

with a copy to:

Wildman, Harrold, Allen & Dixon  
225 West Wacker Drive - Suite 3000  
Chicago, Illinois 60606-1229  
Attn: Todd A. Bickel  
Telecopier No.: (312) 201-2225

NLSB:

NLSB  
110 W. Maple Street  
P. O. Box 339  
New Lenox, Illinois 60451  
Attn: William Laughridge  
Telecopier No.: (815) 485-7516

with a copy to:

Douglas W. Schlak  
321 West Maple Street, Suite 100  
P. O. Box 71  
New Lenox, Illinois 60071  
Telecopier No.: (815) 485-3038

Upon at least ten (10) days prior written notice, each party shall have the right to change its address for notices to any other address within the United States of America.

**9. Miscellaneous.**

**9.1 Attorneys' Fees.** In the event a party institutes any legal action or proceeding for the enforcement of any right or obligation herein contained, the prevailing party shall be entitled to recover its costs and reasonable attorneys' fees incurred in the preparation and prosecution of such action or proceeding.

**9.2 Amendment.** Developer and NLSB agree that the provisions of this Easement may be modified or amended, in whole or in part, only by prior written consent of all record owners of the Tracts, evidenced by a document that has been fully executed and acknowledged by all such record owners and recorded in the official records of the County Recorder of Will County, Illinois.

**9.3 Consents.** Whenever in this Easement the consent or approval of NLSB or Developer is required, unless otherwise expressly provided herein, such consent or approval shall not be unreasonably withheld or delayed. Any request for consent or approval shall: (a) be in writing; (b) specify the section hereof which requires that such notice be given or that such consent or approval be obtained; and (c) be accompanied by such background data as is reasonably necessary to make an informed decision thereon.

**9.4 No Waiver.** No waiver of any default of any obligation by any party hereto shall be implied from any omission by the other party to take any action with respect to such default.



**9.5 No Agency.** Nothing in this Easement shall be deemed or construed by either party or by any third person to create the relationship of principal and agent or of limited or general partners or of joint venturers or of any other association between the parties.

**9.6 Covenants to Run with Land.** It is intended that each of the easements, covenants, conditions, restrictions, rights and obligations set forth herein shall run with the land and create equitable servitudes in favor of the real property benefited thereby, shall bind every person having any fee, leasehold or other interest therein and shall inure to the benefit of the respective parties and their successors, assigns, heirs, and personal representatives.

**9.7 Severability.** Each provision of this Easement and the application thereof to the Tracts are hereby declared to be independent of and severable from the remainder of this Easement. If any provision contained herein shall be held to be invalid or to be unenforceable or not to run with the land, such holding shall not affect the validity or enforceability of the remainder of this Easement. In the event the validity or enforceability of any provision of this Easement is held to be dependent upon the existence of a specific legal description, the parties agree to promptly cause such legal description to be prepared. Ownership of both Tracts by the same person or entity, at the time of this Easement or in the future, shall not terminate this Easement nor in any manner affect or impair the validity or enforceability of this Easement.

**9.8 Governing Law.** This Easement shall, in all respects, be governed, construed, applied and enforced in accordance with the laws of the State of Illinois.

**9.9 Counterparts.** The parties hereto acknowledge that this Easement may be executed in any number of counterpart original instruments, all of which taken together shall constitute one fully executed Easement.

**9.10 Term.** The easements granted in Section 2 hereof shall continue in perpetuity, unless this Easement is modified, amended, canceled or terminated in accordance with the requirements set forth Sections 9.2 and 9.3 hereof.

**[SIGNATURES APPEAR ON THE FOLLOWING PAGES]**

R2003012120

IN WITNESS WHEREOF, the parties have executed this Easement on the day and year first above-written.

**DEVELOPER:**

FRANKFORT 30 & WOLF LLC, an  
Illinois limited liability company

By: Edgemark Development LLC,  
a Colorado limited liability company, its manager

By: [Signature]  
Its: MANAGER

**NLSB:**

NLSB, an Illinois banking  
corporation

By: \_\_\_\_\_  
Its: \_\_\_\_\_



R2003012120

IN WITNESS WHEREOF, the parties have executed this Easement on the day and year first above-written.

DEVELOPER:

FRANKFORT 30 & WOLF LLC, an  
Illinois limited liability company

By: \_\_\_\_\_  
Its: \_\_\_\_\_

NLSB:

NLSB, an Illinois banking  
corporation

By: *William L. Schindler*  
Its: *Chairman of the Board*

1098244\_1

STATE OF Colorado )  
 ) SS  
 COUNTY OF Denver )

I, Patti L. Taylor, a Notary Public in and for said County and State aforesaid, DO HEREBY CERTIFY that Brad McNealy is the manager of Edgemark Development LLC, the manager FRANKFORT 30 & WOLF LLC, an Illinois limited liability company, and is personally known to me to be the same person whose name is subscribed to the foregoing Detention Easement agreement as Manager and appeared before me this day in person and acknowledged that he signed, sealed and delivered this Detention Easement Agreement as his own free and voluntary act and the free and voluntary act of FRANKFORT 30 & WOLF LLC for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal, this 10<sup>th</sup> day of October, 2002.

Patti L. Taylor  
 Notary Public

My Commission Expires:

May 6, 2003



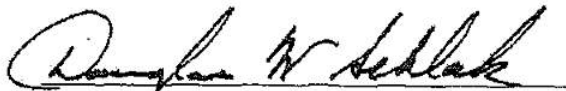
My Commission Expires 5/6/2003



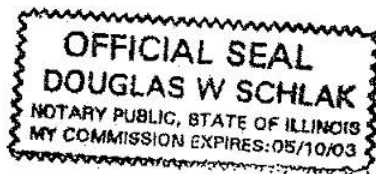
STATE OF ILLINOIS     )  
                                   ) SS  
 COUNTY OF Will     )

I, DOUGLAS W. SCHLAK, a Notary Public in and for said County and State aforesaid, DO HEREBY CERTIFY that WILLIAM KAUBHAIDGE is the CHAIRMAN of NLSB, an Illinois banking corporation, and is personally known to me to be the same person whose name is subscribed to the foregoing Detention Easement agreement as CHAIRMAN and appeared before me this day in person and acknowledged that he signed, sealed and delivered this Detention Easement Agreement as his own free and voluntary act and the free and voluntary act of FRANKFORT 30 & WOLF LLC for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal, this 10th day of October, 2002.

  
 Notary Public

My Commission Expires:



R2003012120

EXHIBIT A

LEGAL DESCRIPTION OF SHOPPING CENTER LAND

LOTS 1 THROUGH 7 IN PRAIRIE CROSSINGS, BEING A SUBDIVISION IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ~~OCTOBER~~ <sup>NOVEMBER</sup> 7, 2002 AS DOCUMENT NUMBER R2002-191084, IN WILL COUNTY, ILLINOIS.

Pin# 09-20-300-016

Address: East of the S.E. corner of Route 30 and  
Wolf Road, Frankfort, IL.





R2003012120

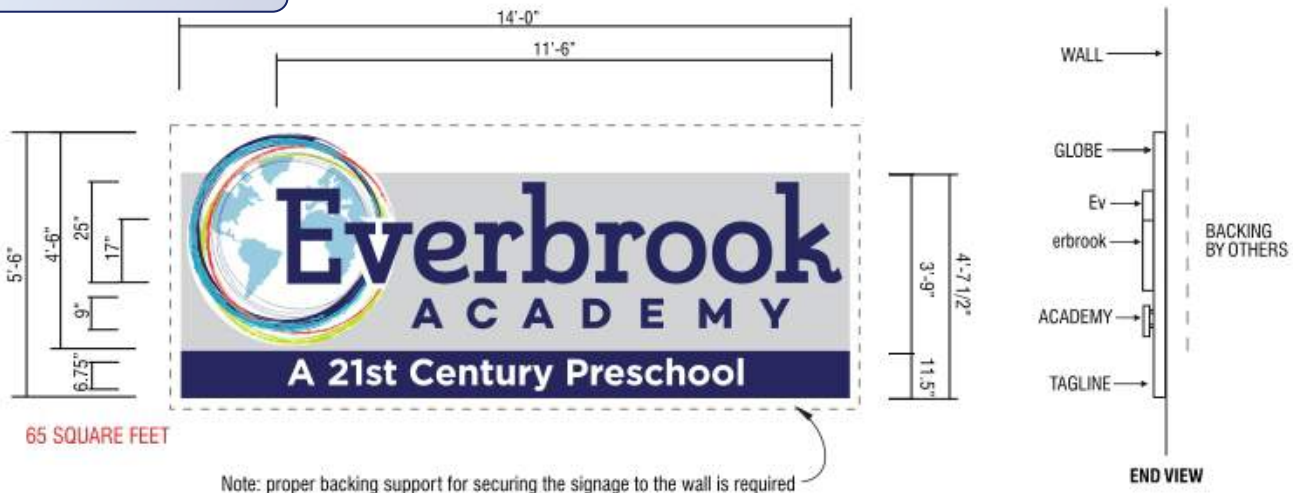
EXHIBIT C

LEGAL DESCRIPTION OF DETENTION AREA

LOT 7 IN PRAIRIE CROSSINGS, BEING A SUBDIVISION IN THE WEST HALF OF  
THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 35 NORTH, RANGE 12,  
EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF  
RECORDED ~~NOVEMBER~~ OCTOBER 7, 2002 AS DOCUMENT NUMBER  
R2002-191084, IN WILL COUNTY, ILLINOIS.

pin# 09-20-300-016  
Address: East of the S.E. corner at Route 30  
and Wolf Road, Frankfort, IL.





# 1 SPECIFICATIONS

## LED INTERNALLY ILLUMINATED WALL SIGN

Panel will be non illuminated silver matt finish  
Illuminated Globe will have routed face with vinyl graphics  
Ev will be 1" clear acrylic letters with translucent purple vinyl applied to 1st surface  
erbrook and academy will be 1" routed push thru acrylic letters with translucent purple vinyl applied to 1st surface. Illuminated tagline will be purple with white routed copy

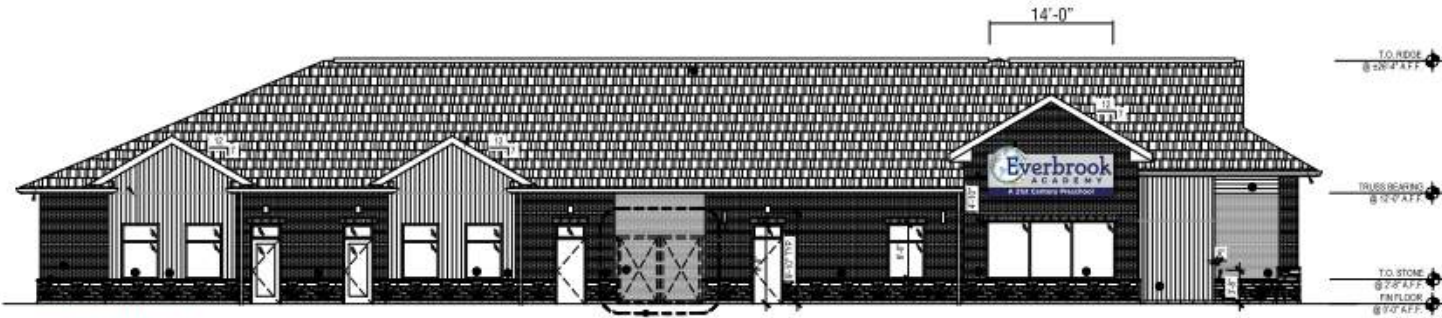
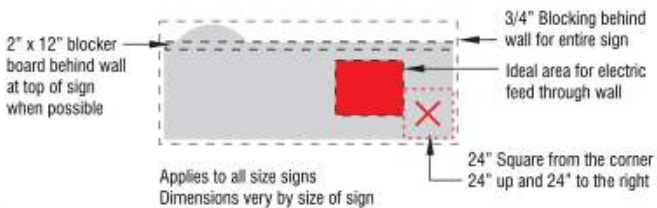
- Purple PMS 5265 CP
- Blue PMS 7703 CP
- Red PMS 7626 CP
- Green PMS 382 CP

**Note:** a j-box and cut off switch for electric hookup will be required with the exact location TBD by location

1-20 AMP Circuit required - 5 AMPS

**Note:** Proper 3/4" blocking is required behind the wall to support the signage

## WALL SIGN & BLOCKING



RIGHT ELEVATION

ADDRESS:

11125 W. Lincoln Hwy  
Frankfort, IL 60423

FILE NAME: Frankfort

DATE: 3/30/22

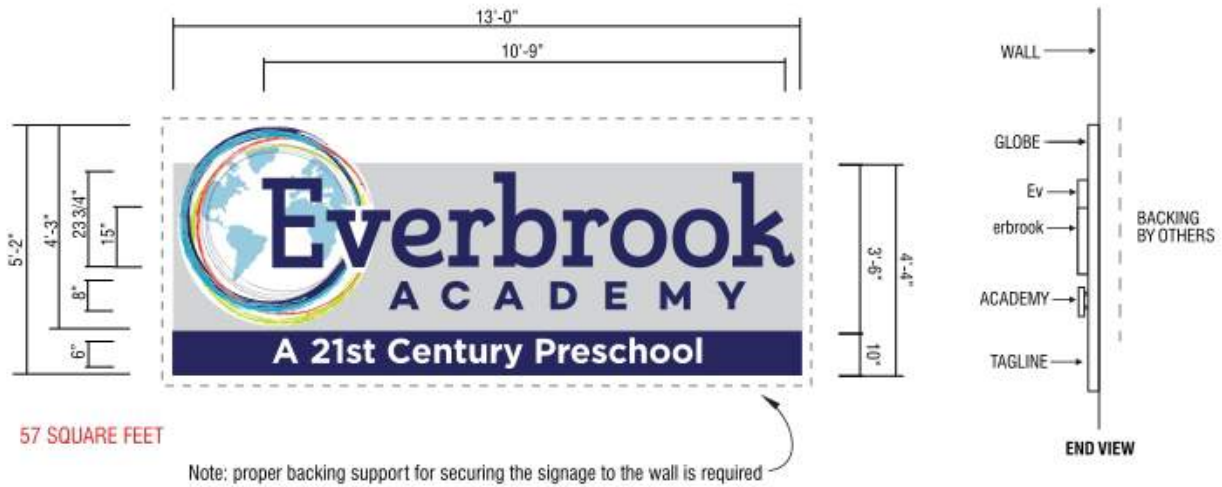
PAGE: 1

APPROVAL:



NATIONAL SIGN CONTRACTOR

4115 W. 90th Place • Hometown, Illinois 60456



## 2 SPECIFICATIONS

### LED INTERNALLY ILLUMINATED WALL SIGN

Panel will be non illuminated silver matt finish  
 Illuminated Globe will have routed face with vinyl graphics  
 Ev will be 1" clear acrylic letters with translucent purple vinyl applied to 1st surface  
 erbrook and academy will be 1" routed push acrylic letters with translucent purple vinyl applied to 1st surface. Illuminated tagline will be purple with white routed copy

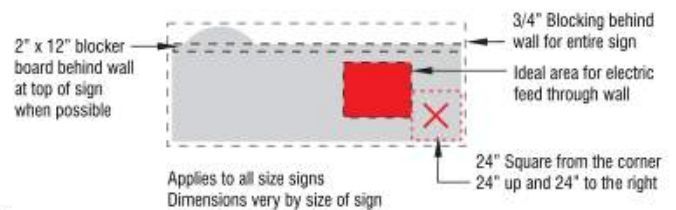
Purple PMS 5265 CP  
 Blue PMS 7703 CP  
 Red PMS 7626 CP  
 Green PMS 382 CP

**Note:** a j-box and cut off switch for electric hookup will be required with the exact location TBD by location

1-20 AMP Circuit required - 5 AMPS

**Note:** Proper 3/4" blocking is required behind the wall to support the signage

### WALL SIGN & BLOCKING



ADDRESS:

11125 W. Lincoln Hwy  
 Frankfort, IL 60423

FILE NAME: Frankfort

DATE: 3/30/22

PAGE: 2

APPROVAL:

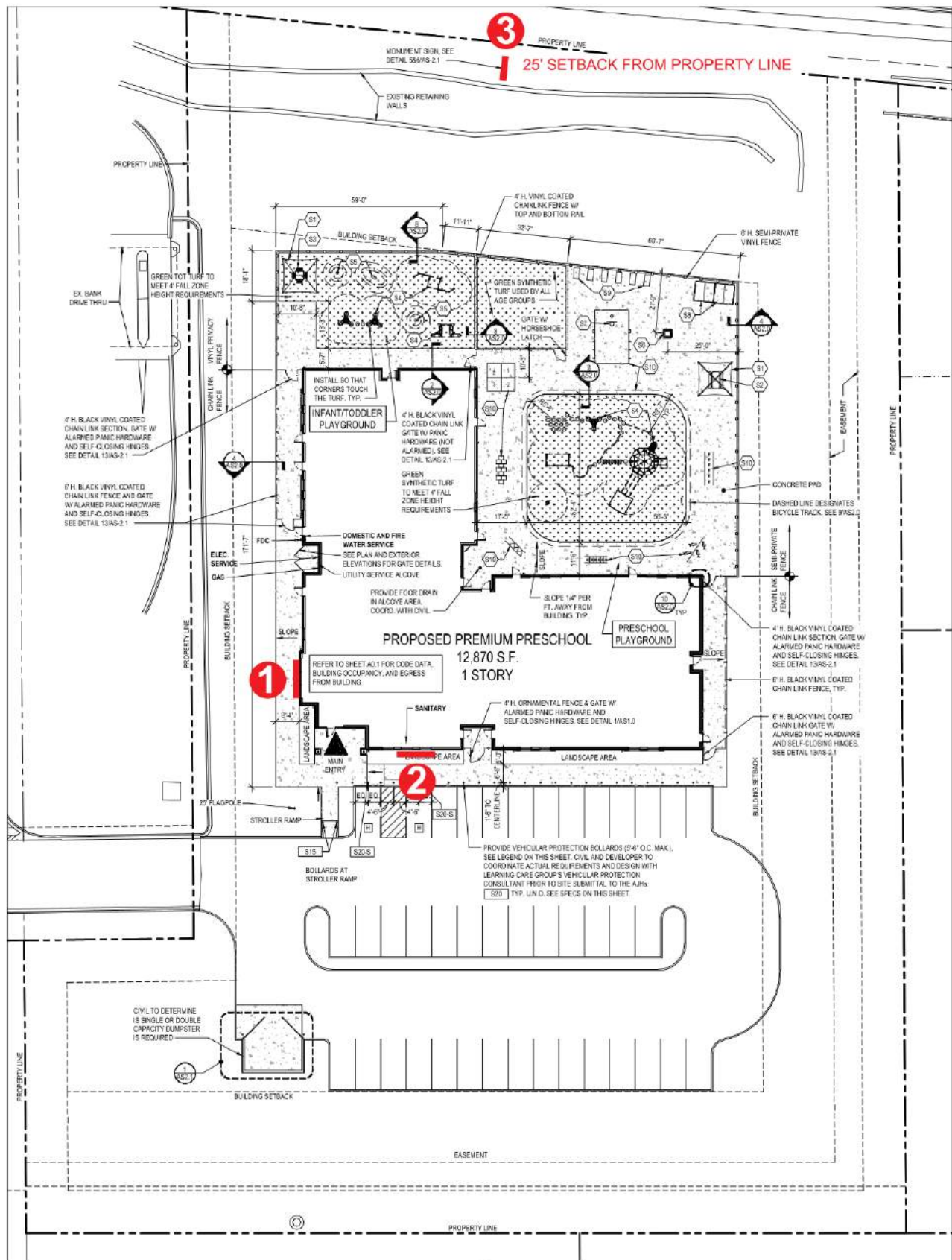


NATIONAL SIGN CONTRACTOR

4115 W. 90th Place • Hometown, Illinois 60456







## PLOT PLAN

ADDRESS:

11125 W. Lincoln Hwy  
Frankfort, IL 60423

FILE NAME: Frankfort

DATE: 3/30/22

PAGE: 4

APPROVAL:



**NATIONAL SIGN CONTRACTOR**

4115 W. 90th Place • Homewood, Illinois 60456



**RECEIVED**

By Mike Schwarz at 11:19 am, Apr 21, 2022

webuildfun - Creating Fun for All!

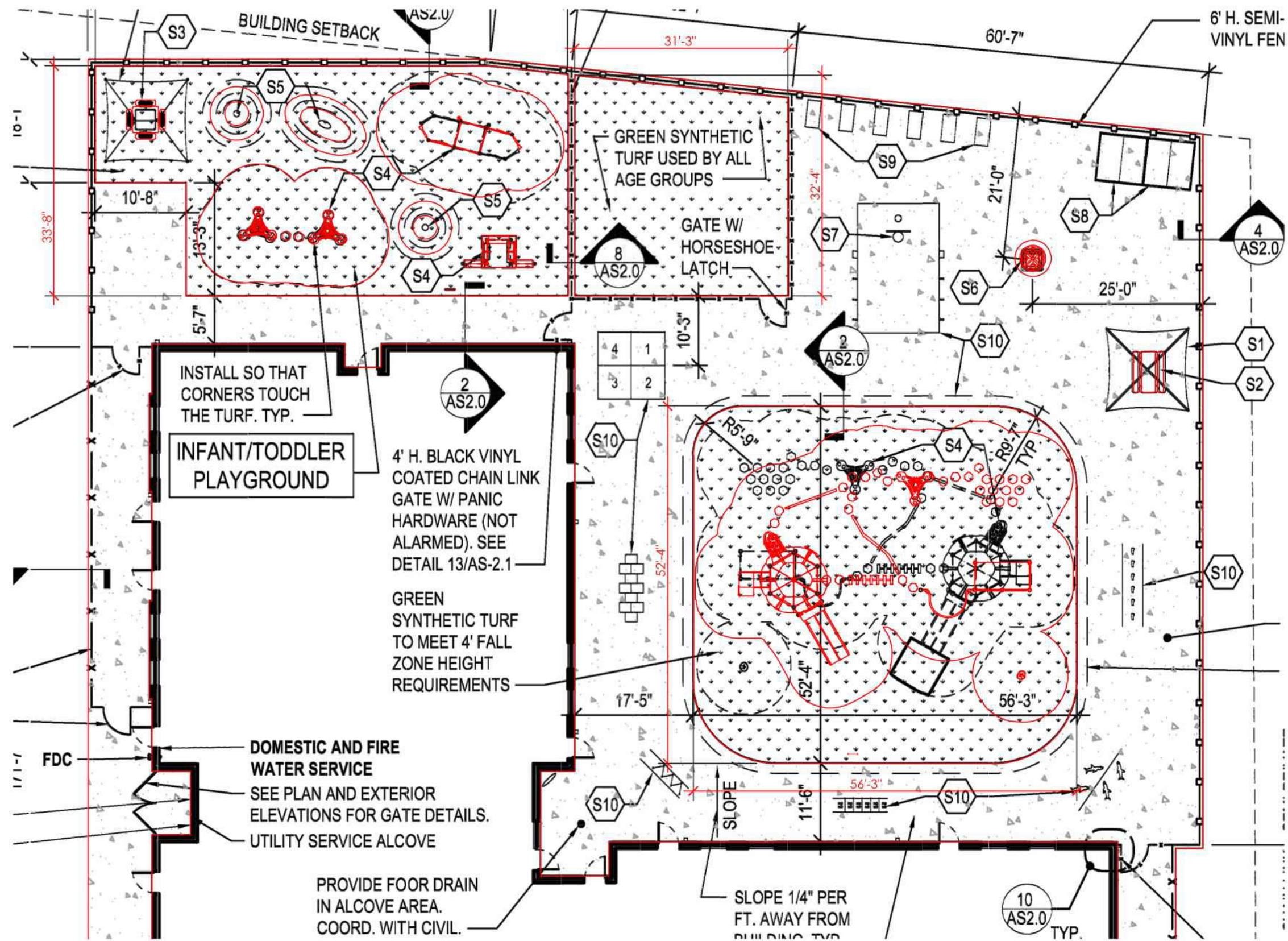
## Everbrook Academy - Frankfort

Frankfort, IL

Prepared for: Learning Care Group







# EVERBROOK ACADEMY - FRANKFORT

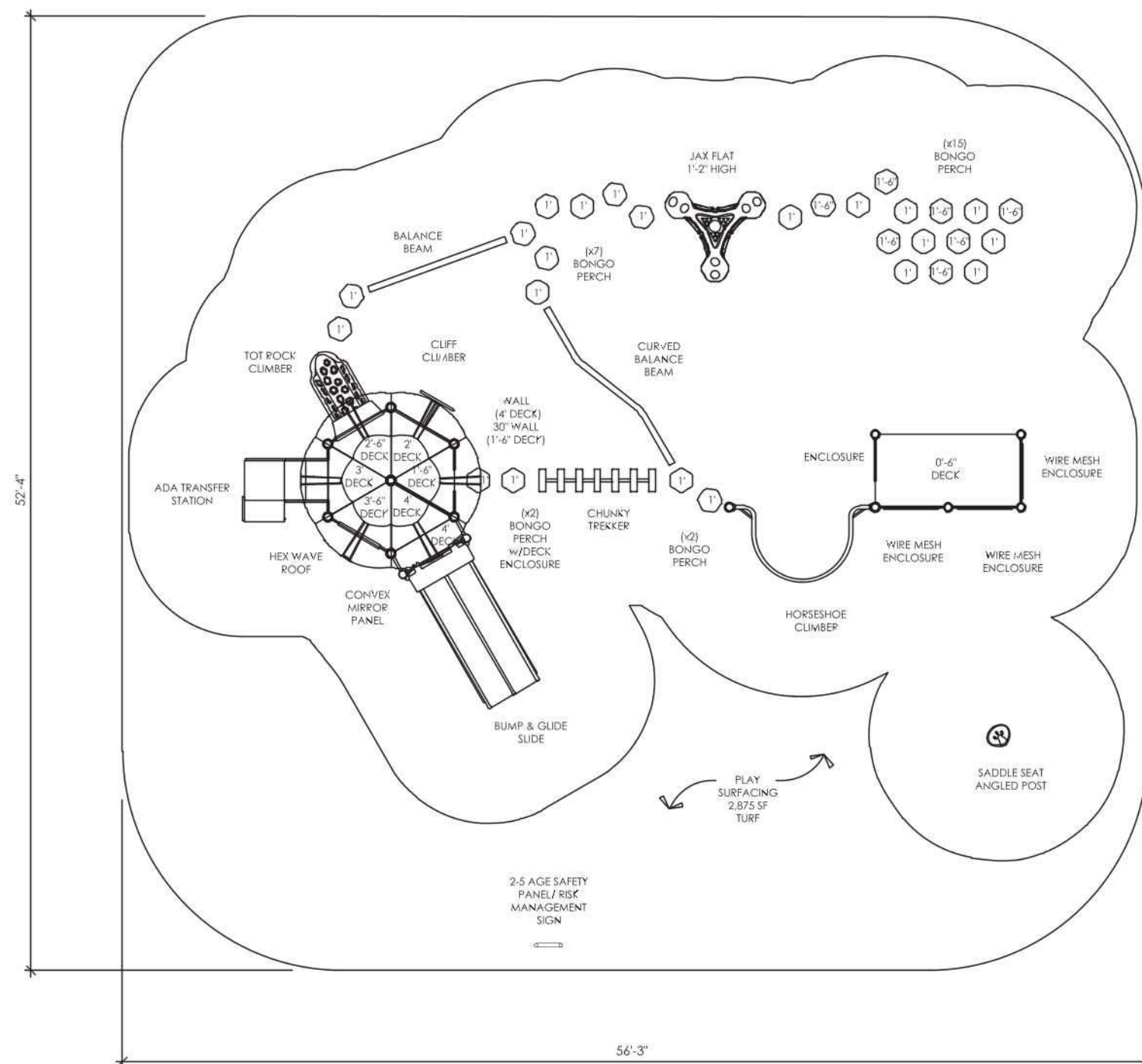
FRANKFORT, IL - LEARNING CARE GROUP

LINEAR FEET:	529 FT.	SITE AREA:	5,975 SQ. FT.
CRITICAL FALL HEIGHT:	4'	SCALE:	1/16"=1'-0"
WBF-MI-220089A-1A-1		DATE:	04/05/2022
		DRAWN BY:	BDS



ALL DRAWINGS ARE SUBJECT TO CHANGE AND SHOULD BE REVIEWED BEFORE FINAL SALE. ALL SITE DIMENSIONS WILL NEED TO BE VERIFIED PRIOR TO SALE AND INSTALLATION.



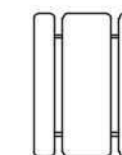


PLAY AREA - AGE APPROPRIATE 2-5 YEARS:		CAPACITY: 95-105 CHILDREN	
ELEVATED PLAY ACTIVITIES (TOTAL)	6	REQ'D:	3
ELEVATED PLAY ACTIVITIES ACCESSIBLE BY TRANSFER:	5	REQ'D:	0
ELEVATED PLAY ACTIVITIES ACCESSIBLE BY RAMP:	0	REQ'D:	0
GROUND LEVEL ACTIVITY TYPE:	3	REQ'D:	2
GROUND LEVEL ACTIVITY QUANTITY:	9	REQ'D:	2

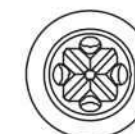
NOTES:  
 1. USE ZONES FINISH SURFACE OF PLAYGROUND COMPLIES WITH ASTM F1292-99.  
 2. GROUND SURFACING COMPLIES WITH ASTM 1951-99.  
 3. PLAYGROUND EQUIPMENT SHALL COMPLY WITH ASTM F1487-98.

CRITICAL FALL HEIGHT: 4'  
 SITE AREA: SF 2875 LF 199  
 DRAWN BY: BDS

## PRESCHOOL PLAYGROUND AREA



6' CHILDREN'S PICNIC TABLE  
PERFORATED, PORTABLE  
MRSG176P



FUN TUNNEL



NORTH

0 4' 8' 16'

Scale: 1/8" = 1'-0"

EVERBROOK ACADEMY - FRANKFORT

FRANKFORT, IL - LEARNING CARE GROUP

LINEAR FEET: 199 FT.  
CRITICAL FALL HEIGHT: 4'

WBF-MI-220089A-1A-2

SITE AREA: 2,875 SQ. FT.  
SCALE: 1/8"=1'-0"  
DATE: 04/05/2022  
DRAWN BY: BDS



ALL DRAWINGS ARE SUBJECT TO CHANGE AND SHOULD BE REVIEWED BEFORE FINAL SALE.  
ALL SITE DIMENSIONS WILL NEED TO BE VERIFIED PRIOR TO SALE AND INSTALLATION.



ASTM INTERNATIONAL

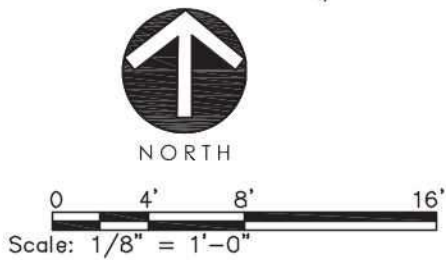
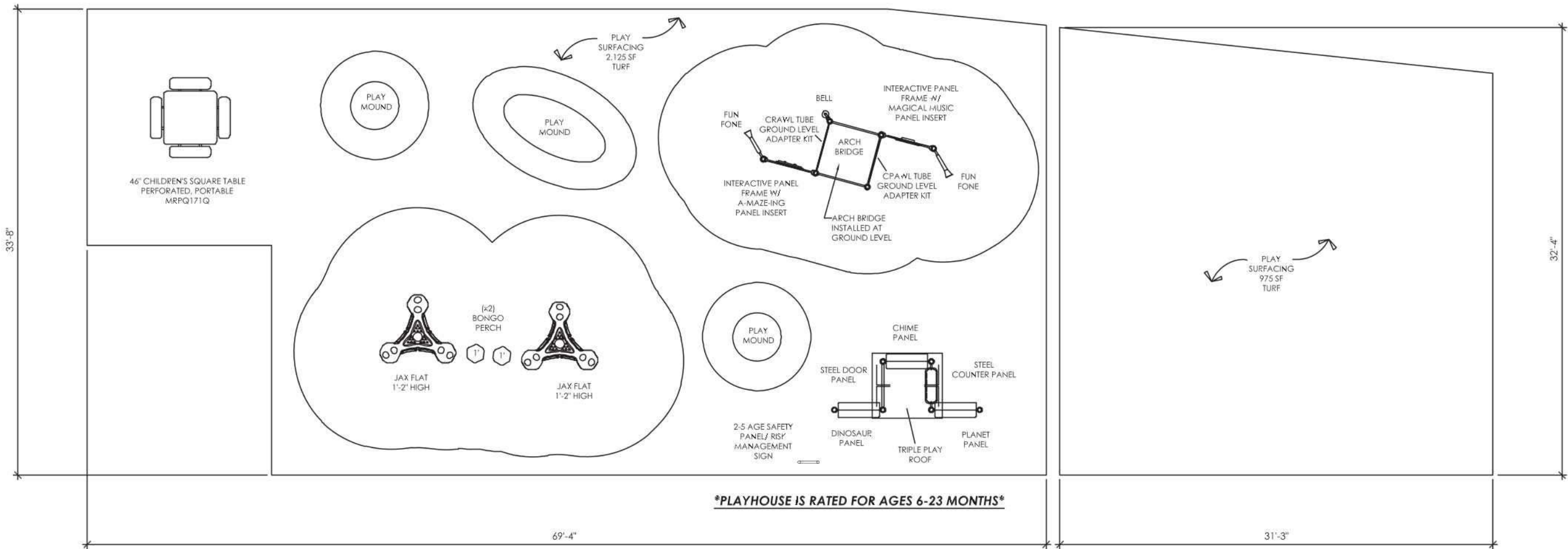


ADA Compliant

PLAY AREA - AGE APPROPRIATE 2-5 YEARS:		CAPACITY: 20-30 CHILDREN	
ELEVATED PLAY ACTIVITIES (TOTAL)	0	REQ'D:	0
ELEVATED PLAY ACTIVITIES ACCESSIBLE BY TRANSFER:	0	REQ'D:	0
ELEVATED PLAY ACTIVITIES ACCESSIBLE BY RAMP:	0	REQ'D:	0
GROUND LEVEL ACTIVITY TYPE:	5	REQ'D:	0
GROUND LEVEL ACTIVITY QUANTITY:	7	REQ'D:	0
NOTES:			
1. USE ZONES FINISH SURFACE OF PLAYGROUND COMPLIES WITH ASTM F1292-99.			
2. GROUND SURFACING COMPLIES WITH ASTM 1951-99.			
3. PLAYGROUND EQUIPMENT SHALL COMPLY WITH ASTM F1487-98.			
		CRITICAL FALL HEIGHT: 2'	
		SITE AREA: SF 3100 LF 329	
		DRAWN BY: BDS	

PLAY AREA - AGE APPROPRIATE 6-23 MONTHS:		CAPACITY: 10-15 CHILDREN	
ELEVATED PLAY ACTIVITIES (TOTAL)	0	REQ'D:	0
ELEVATED PLAY ACTIVITIES ACCESSIBLE BY TRANSFER:	0	REQ'D:	0
ELEVATED PLAY ACTIVITIES ACCESSIBLE BY RAMP:	0	REQ'D:	0
GROUND LEVEL ACTIVITY TYPE:	3	REQ'D:	0
GROUND LEVEL ACTIVITY QUANTITY:	5	REQ'D:	0
NOTES:			
1. USE ZONES FINISH SURFACE OF PLAYGROUND COMPLIES WITH ASTM F1292-99.			
2. GROUND SURFACING COMPLIES WITH ASTM 1951-99.			
3. PLAYGROUND EQUIPMENT SHALL COMPLY WITH ASTM F1487-98.			
		CRITICAL FALL HEIGHT: 2'	
		SITE AREA: SF 3100 LF 329	
		DRAWN BY: BDS	

# INFANT & TODDLER PLAYGROUND AREA



EVERBROOK ACADEMY - FRANKFORT

FRANKFORT, IL - LEARNING CARE GROUP

LINEAR FEET: 329 FT.  
CRITICAL FALL HEIGHT: 2'

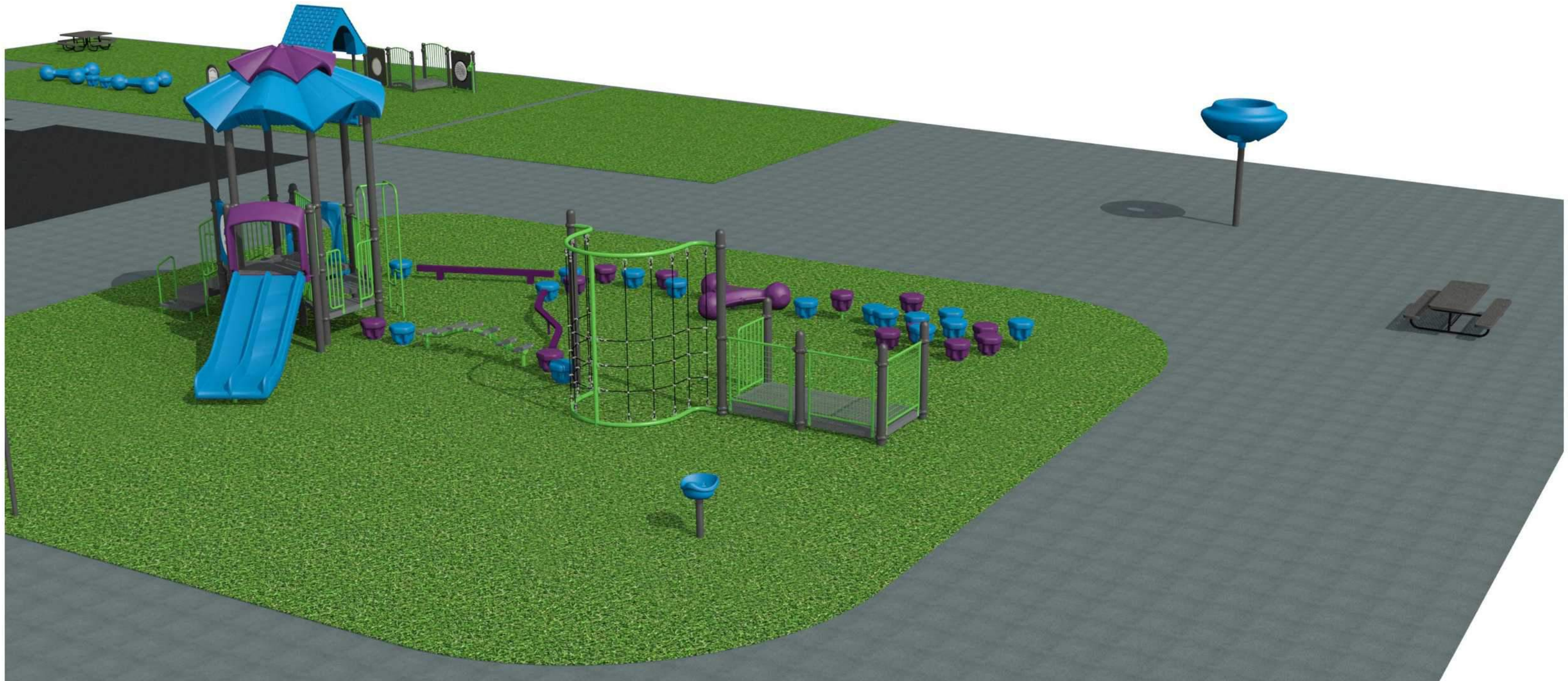
WBF-MI-220089A-1A-3

SITE AREA: 3,100 SQ. FT.  
SCALE: 1/8"=1'-0"  
DATE: 04/05/2022  
DRAWN BY: BDS



ALL DRAWINGS ARE SUBJECT TO CHANGE AND SHOULD BE REVIEWED BEFORE FINAL SALE.  
ALL SITE DIMENSIONS WILL NEED TO BE VERIFIED PRIOR TO SALE AND INSTALLATION.



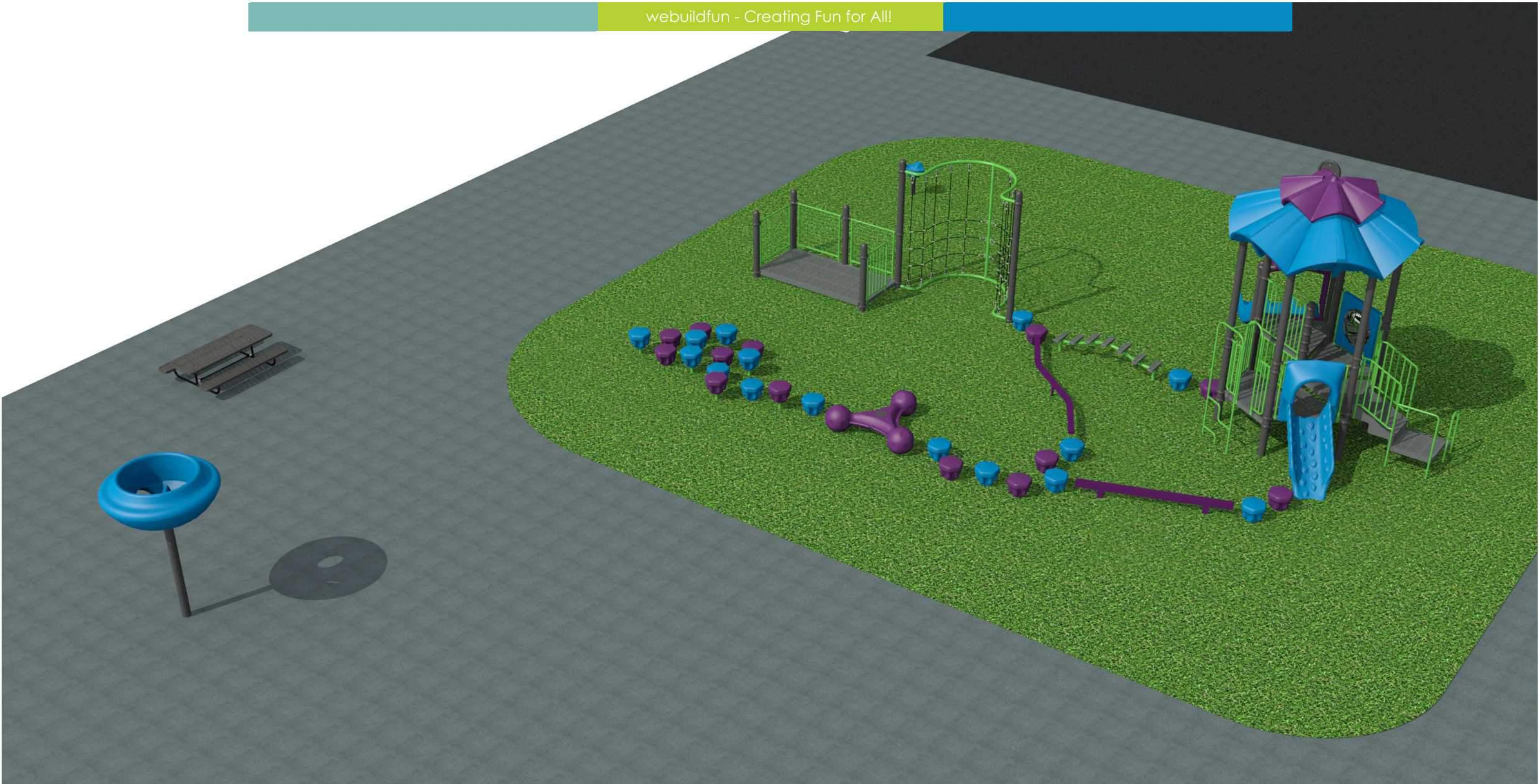


Colors Used In Rendering



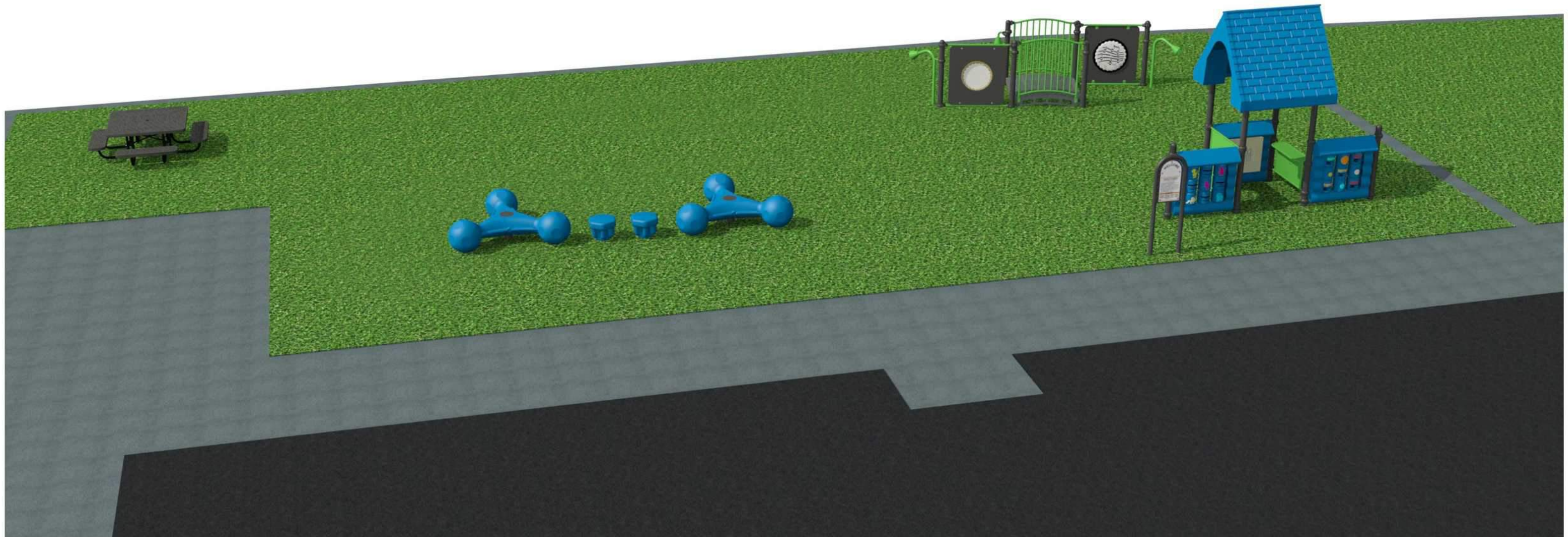
\*Colors shown in rendering are for illustrative purposes only. Actual color and pattern may vary slightly.





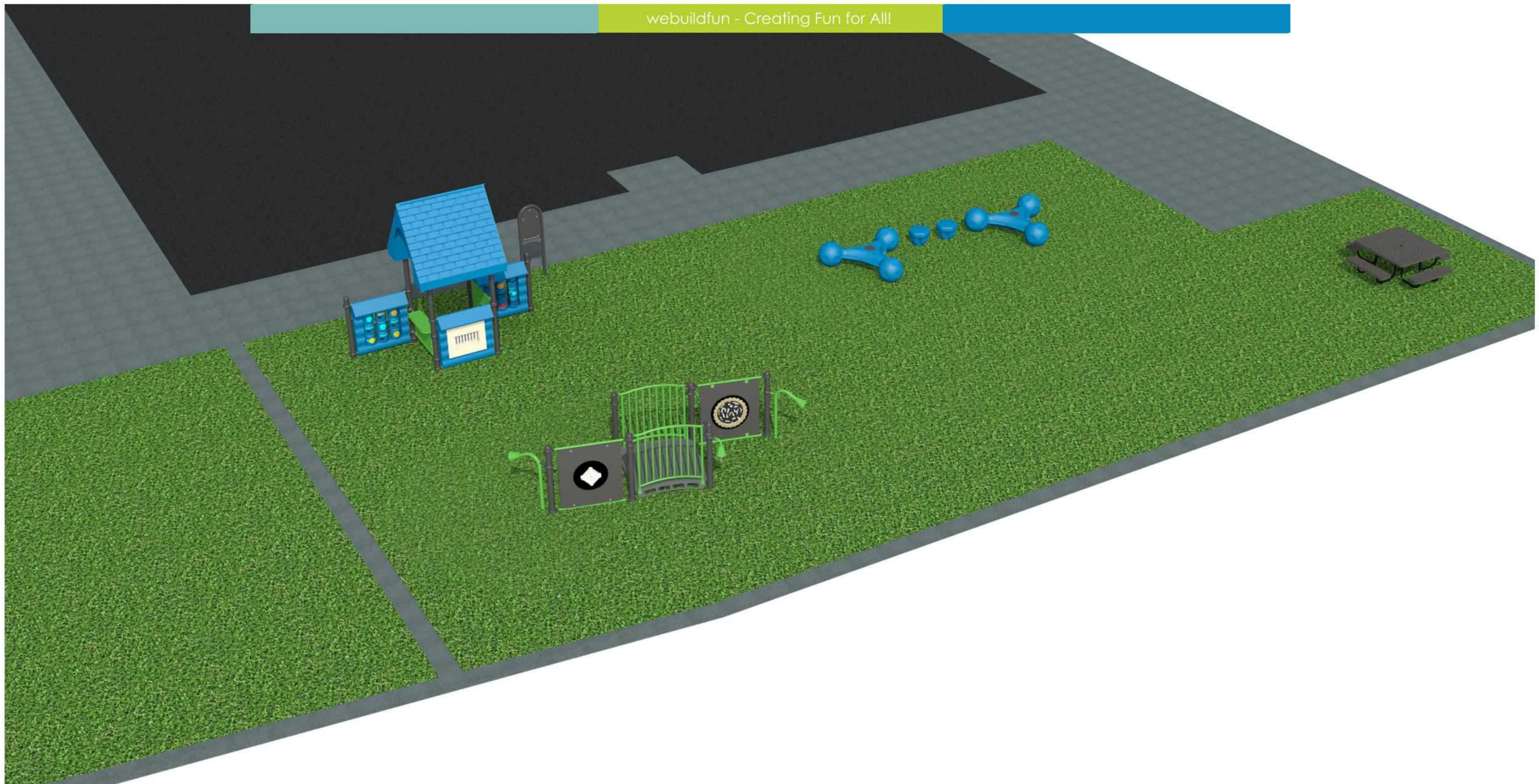
\*Colors shown in rendering are for illustrative purposes only. Actual color and pattern may vary slightly.





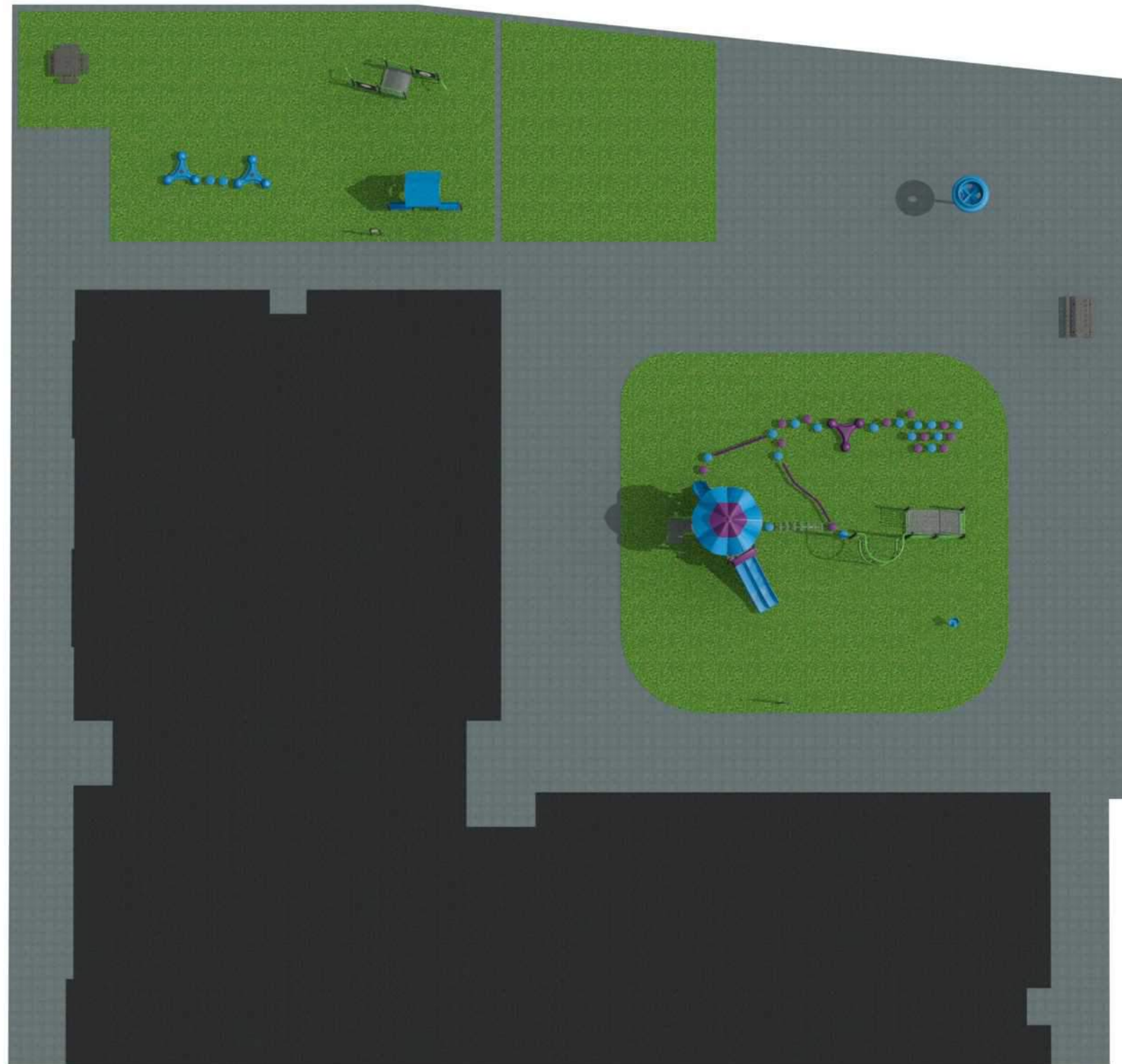
\*Colors shown in rendering are for illustrative purposes only. Actual color and pattern may vary slightly.





\*Colors shown in rendering are for illustrative purposes only. Actual color and pattern may vary slightly.





\*Colors shown in rendering are for illustrative purposes only. Actual color and pattern may vary slightly.

# RSX1 LED

## Area Luminaire

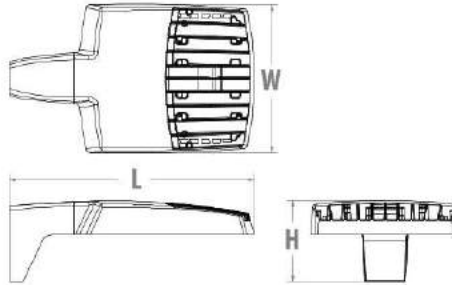


Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

### Specifications

EPA (ft <sup>2</sup> @0°):	0.57 ft <sup>2</sup> (0.05 m <sup>2</sup> )
Length:	21.8" (55.4 cm) (SPA mount)
Width:	13.3" (33.8 cm)
Height:	3.0" (7.6 cm) Main Body 7.2" (18.4 cm) Arm
Weight: (SPA mount):	22.0 lbs (10.0 kg)



### Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

### Ordering Information

**EXAMPLE:** RSX1 LED P4 40K R3 MVOLT SPA DDBXD

RSX1 LED					
Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX1 LED	P1	30K 3000K	R2 Type 2 Wide	MVOLT (120V-277V) <sup>2</sup>	SPA Square pole mounting (3.0" min. SQ pole for 1 at 90°, 3.5" min. SQ pole for 2, 3, 4 at 90°)
	P2	40K 4000K	R3 Type 3 Wide	HVOLT (347V-480V) <sup>3</sup>	RPA Round pole mounting (3.2" min. dia. RND pole for 2, 3, 4 at 90°, 3.0" min. dia. RND pole for 1 at 90°, 2 at 180°, 3 at 120°)
	P3	50K 5000K	R3S Type 3 Short	XVOLT (277V-480V) <sup>4</sup>	MA Mast arm adaptor (fits 2-3/8" OD horizontal tenon)
	P4		R4 Type 4 Wide	(use specific voltage for options as noted)	IS Adjustable slipfitter (fits 2-3/8" OD tenon) <sup>6</sup>
			R4S Type 4 Short	120 <sup>3</sup> 277 <sup>5</sup>	WBA Wall bracket <sup>1</sup>
			R5 Type 5 Wide <sup>1</sup>	208 <sup>3</sup> 347 <sup>5</sup>	WBASC Wall bracket with surface conduit box
			R5S Type 5 Short <sup>1</sup>	240 <sup>3</sup> 480 <sup>5</sup>	AASP Adjustable tilt arm square pole mounting <sup>6</sup>
			AFR Automotive Front Row		AARP Adjustable tilt arm round pole mounting <sup>6</sup>
			AFRR90 Automotive Front Row Right Rotated		AAWB Adjustable tilt arm with wall bracket <sup>6</sup>
			AFRL90 Automotive Front Row Left Rotated		AAWSC Adjustable tilt arm wall bracket and surface conduit box <sup>6</sup>

Options			Finish	
<b>Shipped Installed</b> HS House-side shield <sup>7</sup> PE Photocontrol, button style <sup>8,9</sup> PEX Photocontrol external threaded, adjustable <sup>9,10</sup> PER7 Seven-wire twist-lock receptacle only (no controls) <sup>9,11,12,13</sup> CE34 Conduit entry 3/4"NPT (Qty 2) SF Single fuse (120, 277, 347) <sup>5</sup> DF Double fuse (208, 240, 480) <sup>5</sup> SPD20KV 20KV Surge pack (10KV standard) FAO Field adjustable output <sup>9,13</sup> DMG 0-10V dimming extend out back of housing for external control (control ordered separate) <sup>9,13</sup>			<b>Shipped Installed</b> <b>*Standalone and Networked Sensors/Controls (factory default settings, see table page 9)</b> NLTAIR2 nLight AIR generation 2 <sup>13,14,15</sup> PIRHN Networked, Bi-Level motion/ambient sensor (for use with NLTAIR2) <sup>13,15,16</sup> BAA Buy America(n) Act Compliant  <b>*Note:</b> PIRHN with nLight Air can be used as a standalone or networked solution. Sensor coverage pattern is affected when luminaire is tilted.  <b>Shipped Separately (requires some field assembly)</b> EGS External glare shield <sup>7</sup> EGFV External glare full visor (360° around light aperture) <sup>7</sup> BS Bird spikes <sup>17</sup>	
			DDBXD	Dark Bronze
			DBLXD	Black
			DNAXD	Natural Aluminum
			DIWHXD	White
			DDBTXD	Textured Dark Bronze
			DBLBXD	Textured Black
			DNATXD	Textured Natural Aluminum
			DIWHGXD	Textured White



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## Ordering Information

### Accessories

Ordered and shipped separately.

RSX1HS	RSX1 House side shield (includes 1 shield)
RSX1HSAFRR U	RSX1 House side shield for AFR rotated optics (includes 1 shield)
RSX1EGS (FINISH) U	External glare shield (specify finish)
RSX1EGFV (FINISH) U	External glare full visor (specify finish)
RSXRPA (FINISH) U	RSX Universal round pole adaptor plate (specify finish)
RSXWBA (FINISH) U	RSX WBA wall bracket (specify finish) <sup>1</sup>
RSXSCB (FINISH) U	RSX Surface conduit box (specify finish, for use with WBA, WBA not included)
DLL127F 1.5 JU	Photocell -SSL twist-lock (120-277V) <sup>18</sup>
DLL347F 1.5 CUL JU	Photocell -SSL twist-lock (347V) <sup>18</sup>
DLL480F 1.5 CUL JU	Photocell -SSL twist-lock (480V) <sup>18</sup>
DSHORT SBK U	Shorting cap <sup>18</sup>

### NOTES

- Any Type 5 distribution, is not available with WBA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- XVOLT driver not available with P1 or P2. XVOLT driver operates on any line voltage from 277V-480V (50/60 Hz). XVOLT not available with fusing (SF or DF) and not available with PE or PEX.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Maximum tilt is 90° above horizontal.
- It may be ordered as an accessory.
- Requires MVOLT or 347V.
- Not available in combination with other light sensing control options (following options cannot be combined: PE, PEX, PER7, FAO, DMG, PIRHN).
- Requires 120V, 208V, 240V or 277V.
- Twistlock photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- For units with option PER7, the mounting must be restricted to +/- 45° from horizontal arm per ANSI C136.10-2010.
- Two or more of the following options cannot be combined including DMG, PER7, FAO and PIRHN.
- Must be ordered with PIRHN.
- Requires MVOLT or HVOLT.
- Must be ordered with NLTAR2. For additional information on PIRHN visit [here](#).
- Two or more of the following options cannot be combined including DMG, PER7, FAO and PIRHN.
- Requires luminaire to be specified with PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.

## External Shields

### House Side Shield

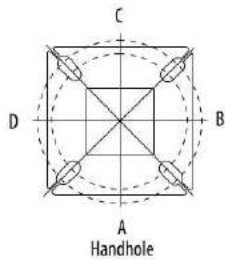
### External Glare Shield

### External 360 Full Visor

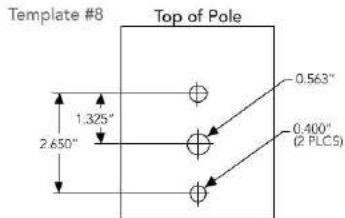
## Pole/Mounting Information

Accessories including bullhorns, cross arms and other adapters are available under the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to visit [Accessories](#).

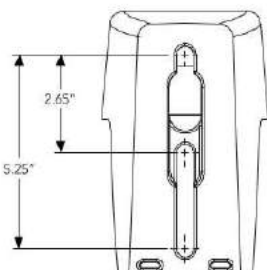
### HANDHOLE ORIENTATION



### RSX POLE DRILLING



### RSX STANDARD ARM & ADJUSTABLE ARM



### Round Tenon Mount - Pole Top Slipfitters

Tenon O.D.	RSX Mounting	Single	2 @ 180°	2 @ 90°	3 @ 120°	3 @ 90°	4 @ 90°
2 - 3/8"	RPA, AARP	AS3-S 190	AS3-S 280	AS3-S 290	AS3-S 320	AS3-S 390	AS3-S 490
2 - 7/8"	RPA, AARP	AST2S-190	AST2S-280	AST2S-290	AST2S-320	AST2S-390	AST2S-490
4"	RPA, AARP	AST3S-190	AST3S-280	AST3S-290	AST3S-320	AST3S-390	AST3S-490

### Drill/Side Location by Configuration Type

Drilling Template	Mounting Option	Single	2 @ 180	2 @ 90	3 @ 120	3 @ 90	4 @ 90
#8	Head Location	Side B	Side B & D	Side B & C	Round Pole Only	Side B, C & D	Side A, B, C & D
#8	Drill Nomenclature	DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS

### RSX1 - Luminaire EPA

\*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration		Single	2 @ 90	2 @ 180	3 @ 90	3 @ 120	4 @ 90	2 Side by Side	3 Side by Side	4 Side by Side
Mounting Type	Tilt									
SPA - Square Pole Adaptor	0 °	0.57	1.03	1.05	1.52	1.36	2.03	1.31	1.7	2.26
RPA - Round Pole Adaptor		0.62	1.08	1.15	1.62	1.46	2.13	1.36	1.8	2.36
MA - Mast Arm Adaptor		0.49	0.95	0.89	1.36	1.2	1.87	1.23	1.54	2.1
IS - Integral Slipfitter AASP/AARP - Adjustable Arm Square/Round Pole	0 °	0.57	1.03	1.05	1.52	1.36	2.03	1.31	1.7	2.26
	10°	0.68	1.34	1.33	2	1.74	2.64	1.35	2.03	2.71
	20°	0.87	1.71	1.73	2.56	2.26	3.42	1.75	2.62	3.49
	30°	1.24	2.19	2.3	3.21	2.87	4.36	2.49	3.73	4.97
	40°	1.81	2.68	2.98	3.85	3.68	5.30	3.62	5.43	7.24
	45°	2.11	2.92	3.44	4.2	4.08	5.77	4.22	6.33	8.44
	50°	2.31	3.17	3.72	4.52	4.44	6.26	4.62	6.94	9.25
	60°	2.71	3.66	4.38	5.21	5.15	7.24	5.43	8.14	10.86
	70°	2.78	3.98	4.54	5.67	5.47	7.91	5.52	8.27	11.03
	80°	2.76	4.18	4.62	5.97	5.76	8.31	5.51	8.27	11.03
	90°	2.73	4.25	4.64	6.11	5.91	8.47	5.45	8.18	10.97



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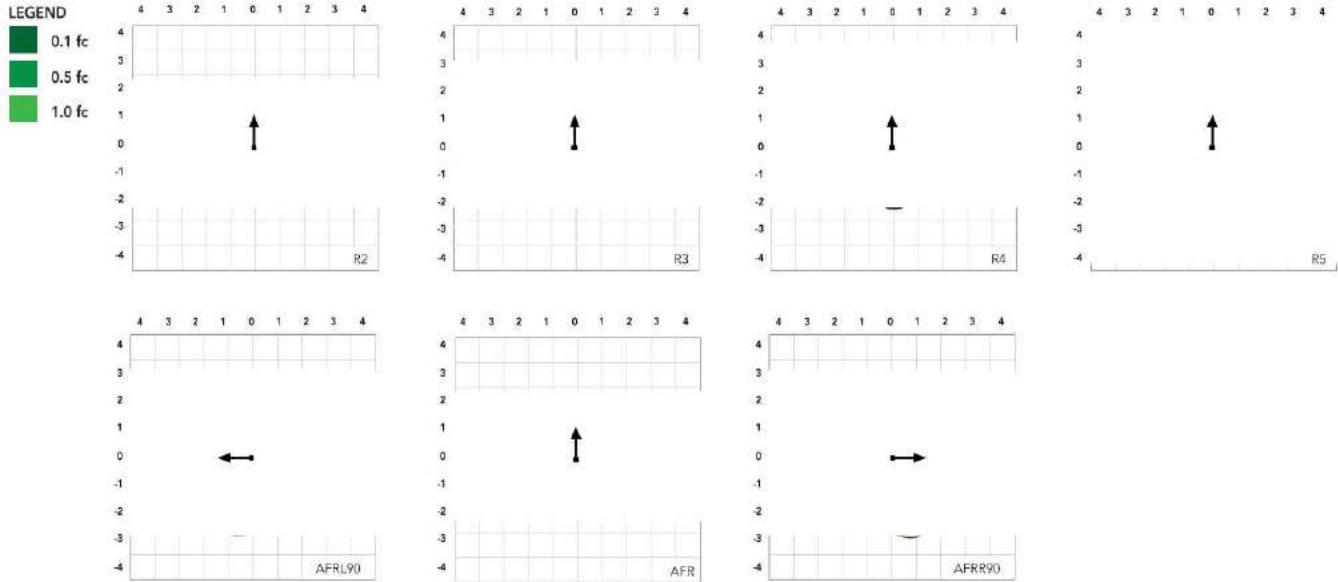
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## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [RSX Area homepage](#).

Isofootcandle plots for the RSX1 LED P4 40K. Distances are in units of mounting height (20').



## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97
45°C	113°F	0.96
50°C	122°F	0.95

### Electrical Load

Performance Package	System Watts (W)	Current (A)					
		120V	208V	240V	277V	347V	480V
P1	51W	0.42	0.25	0.21	0.19	0.14	0.11
P2	72W	0.60	0.35	0.30	0.26	0.21	0.15
P3	109W	0.91	0.52	0.45	0.39	0.31	0.23
P4	133W	1.11	0.64	0.55	0.48	0.38	0.27

### Projected LED Lumen Maintenance

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.97	>0.95	>0.92

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.



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## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

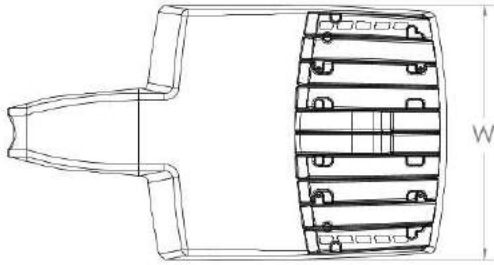
Performance Package	System Watts	Distribution Type	30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	51W	R2	6,482	1	0	1	126	7,121	1	0	1	139	7,121	1	0	1	139
		R3	6,459	1	0	2	127	7,096	1	0	2	139	7,096	1	0	2	139
		R3S	6,631	1	0	1	129	7,286	1	0	2	142	7,286	1	0	2	142
		R4	6,543	1	0	2	128	7,189	1	0	2	141	7,189	1	0	2	141
		R4S	6,313	1	0	1	124	6,936	1	0	1	136	6,936	1	0	1	136
		R5	6,631	3	0	2	130	7,286	3	0	2	143	7,286	3	0	2	143
		R5S	6,807	3	0	1	133	7,479	3	0	1	147	7,479	3	0	1	147
		AFR	6,473	1	0	1	127	7,112	1	0	1	139	7,112	1	0	1	139
		AFRR90	6,535	2	0	2	127	7,179	2	0	2	140	7,179	2	0	2	140
		AFRL90	6,562	2	0	1	128	7,210	2	0	2	140	7,210	2	0	2	140
P2	72W	R2	8,991	2	0	1	123	9,878	2	0	1	135	9,878	2	0	1	135
		R3	8,959	2	0	2	124	9,843	2	0	2	137	9,843	2	0	2	137
		R3S	9,198	2	0	2	126	10,106	2	0	2	139	10,106	2	0	2	139
		R4	9,077	2	0	2	126	9,972	2	0	2	139	9,972	2	0	2	139
		R4S	8,757	1	0	2	122	9,622	2	0	2	134	9,622	2	0	2	134
		R5	9,198	4	0	2	128	10,106	4	0	2	140	10,106	4	0	2	140
		R5S	9,443	3	0	1	131	10,374	3	0	1	144	10,374	3	0	1	144
		AFR	8,979	2	0	1	125	9,865	2	0	1	137	9,865	2	0	1	137
		AFRR90	9,064	3	0	2	124	9,959	3	0	2	137	9,959	3	0	2	137
		AFRL90	9,102	3	0	2	125	10,001	3	0	2	137	10,001	3	0	2	137
P3	109W	R2	12,808	2	0	1	117	14,072	2	0	2	129	14,072	2	0	2	129
		R3	12,763	2	0	2	117	14,023	2	0	2	129	14,023	2	0	2	129
		R3S	13,104	2	0	2	120	14,397	2	0	2	132	14,397	2	0	2	132
		R4	12,930	2	0	2	119	14,206	2	0	2	130	14,206	2	0	2	130
		R4S	12,475	2	0	2	114	13,707	2	0	2	126	13,707	2	0	2	126
		R5	13,104	4	0	2	120	14,397	4	0	2	132	14,397	4	0	2	132
		R5S	13,452	3	0	2	123	14,779	3	0	2	136	14,779	3	0	2	136
		AFR	12,791	2	0	1	117	14,053	2	0	2	129	14,053	2	0	2	129
		AFRR90	12,913	3	0	3	118	14,187	3	0	3	130	14,187	3	0	3	130
		AFRL90	12,967	3	0	2	118	14,247	3	0	3	130	14,247	3	0	3	130
P4	133W	R2	14,943	2	0	2	112	16,417	2	0	2	123	16,417	2	0	2	123
		R3	14,890	2	0	3	112	16,360	2	0	3	123	16,360	2	0	3	123
		R3S	15,287	2	0	2	115	16,796	2	0	2	126	16,796	2	0	2	126
		R4	15,085	2	0	3	113	16,574	2	0	3	125	16,574	2	0	3	125
		R4S	14,554	2	0	2	109	15,991	2	0	2	120	15,991	2	0	2	120
		R5	15,287	4	0	2	115	16,796	4	0	2	126	16,796	4	0	2	126
		R5S	15,693	4	0	2	118	17,242	4	0	2	130	17,242	4	0	2	130
		AFR	14,923	2	0	2	112	16,395	2	0	2	123	16,395	2	0	2	123
		AFRR90	15,065	3	0	3	113	16,551	3	0	3	124	16,551	3	0	3	124
		AFRL90	15,128	3	0	3	114	16,621	3	0	3	125	16,621	3	0	3	125

## Dimensions & Weights

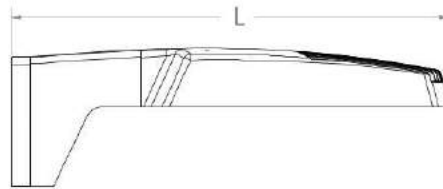
### Luminaire Weight by Mounting Type

Mounting Configuration	Total Luminaire Weight
SPA	22 lbs
RPA	24 lbs
MA	22 lbs
WBA	25 lbs
WBASC	28 lbs
IS	25 lbs
AASP	25 lbs
AARP	27 lbs
AAWB	28 lbs
AAWSC	31 lbs

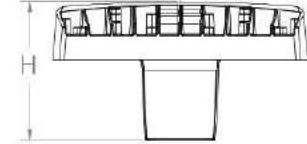
#### RSX1 with Round Pole Adapter (RPA)



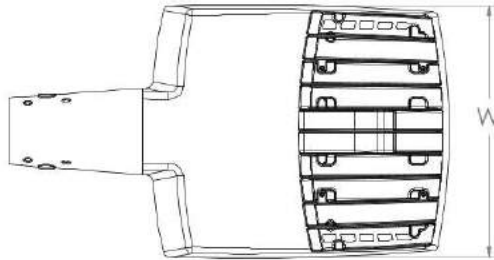
Length: 22.8" (57.9 cm)  
 Width: 13.3" (33.8 cm)  
 Height: 3.0" (7.6 cm) Main Body  
 7.2" (18.4 cm) Arm



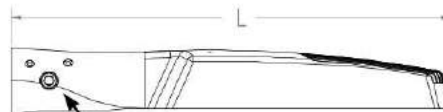
Note: RPA — Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.



#### RSX1 with Mast Arm Adapter (MA)



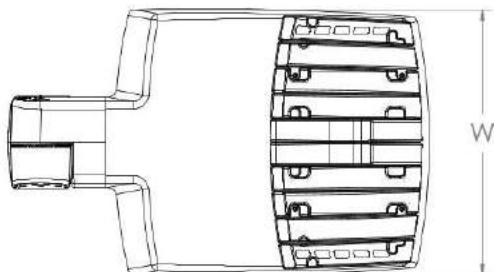
Length: 23.2" (59.1 cm)  
 Width: 13.3" (33.8 cm)  
 Height: 3.0" (7.6 cm) Main Body  
 3.5" (8.9 cm) Arm



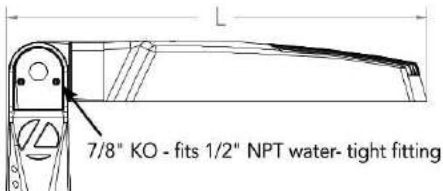
7/16" locking thru bolt/nut provided



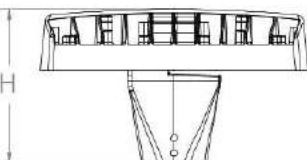
#### RSX1 with Adjustable Slipfitter (IS)



Length: 20.7" (52.7 cm)  
 Width: 13.3" (33.8 cm)  
 Height: 3.0" (7.6 cm) Main Body  
 7.6" (19.3 cm) Arm



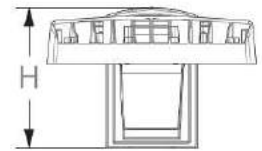
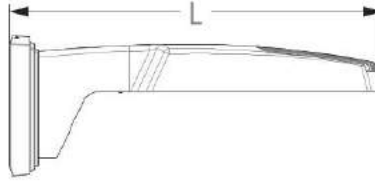
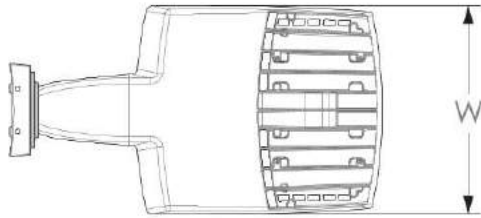
7/8" KO - fits 1/2" NPT water-tight fitting





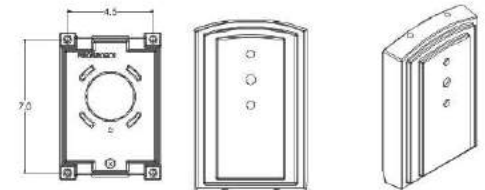
## Dimensions

### RSX1 with Wall Bracket (WBA)

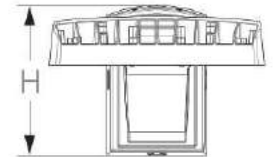
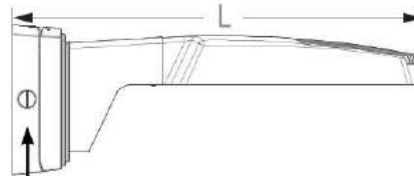
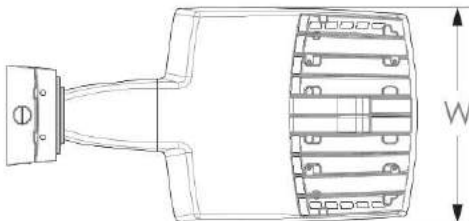


Length: 23.6" (59.9 cm)  
 Width: 13.3" (33.8 cm)  
 Height: 3.0" (7.6 cm) Main Body  
 8.9" (22.6 cm) Arm

#### Wall Bracket (WBA) Mounting Detail



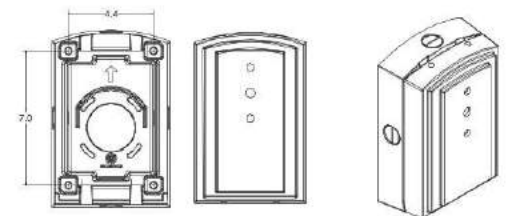
### RSX1 with Wall Bracket with Surface Conduit Box (WBASC)



3/4" NPT taps with plugs - Qty (4) provided

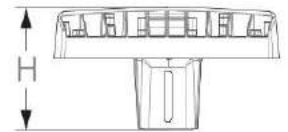
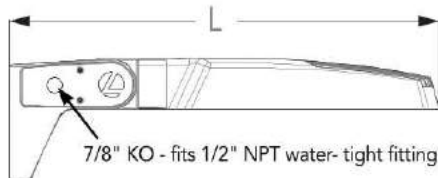
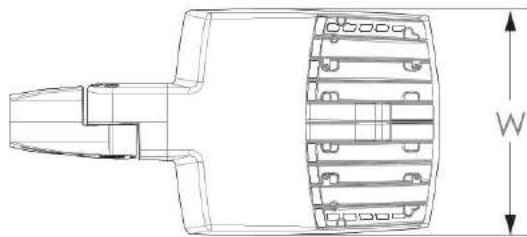
Length: 25.3" (64.3 cm)  
 Width: 13.3" (33.8 cm)  
 Height: 3.0" (7.6 cm) Main Body  
 9.2" (23.4 cm) Arm

#### Surface Conduit Box (SCB) Mounting Detail

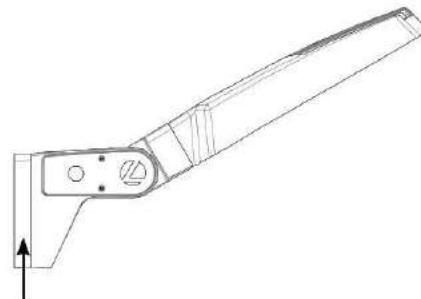


## Dimensions

### RSX1 with Adjustable Tilt Arm - Square or Round Pole (AASP or AARP)



Length: 25.3" (65.3 cm) **AASP**  
 26.3" (66.8 cm) **AARP**  
 Width: 13.3" (33.8 cm)  
 Height: 3.0" (7.6 cm) Main Body  
 7.2" (18.2 cm) Arm



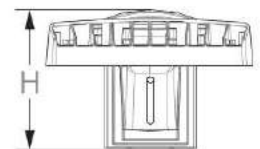
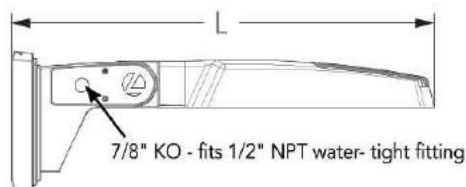
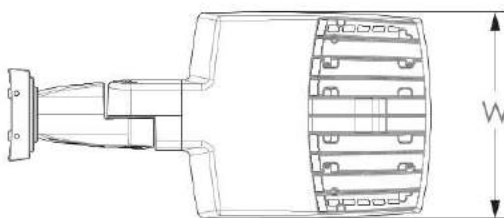
**NOTE:**  
 RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.

#### Notes

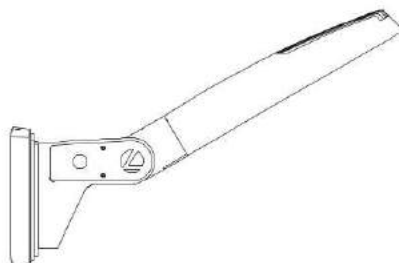
AASP: Requires 3.0" min. square pole for 1 at 90°. Requires 3.5" min. square pole for mounting 2, 3, 4 at 90°.

AARP: Requires 3.2" min. dia. round pole for 2, 3, 4 at 90°. Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°.

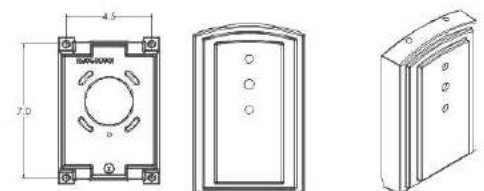
### RSX1 with Adjustable Tilt Arm with Wall Bracket (AAWB)



Length: 27.1" (68.8 cm)  
 Width: 13.3" (33.8 cm)  
 Height: 3.0" (7.6 cm) Main Body  
 8.9" (22.6 cm) Arm



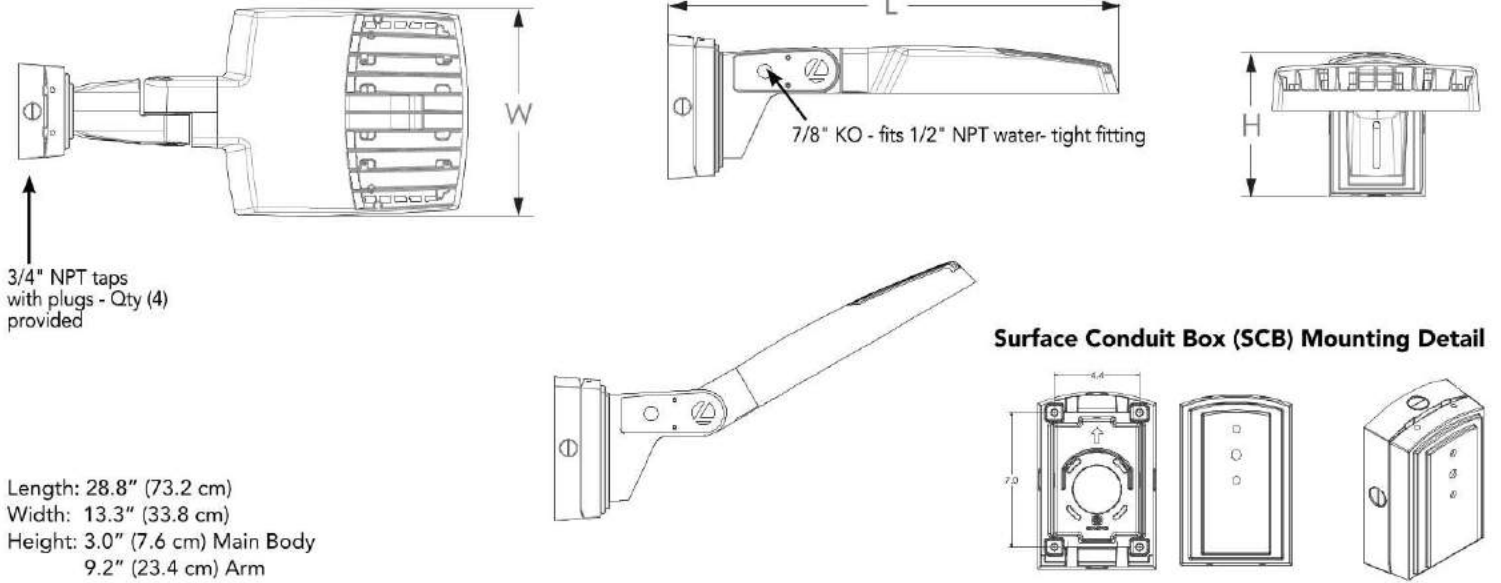
#### Wall Bracket (WBA) Mounting Detail



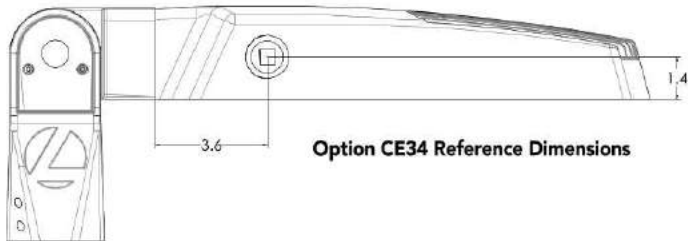


## Dimensions

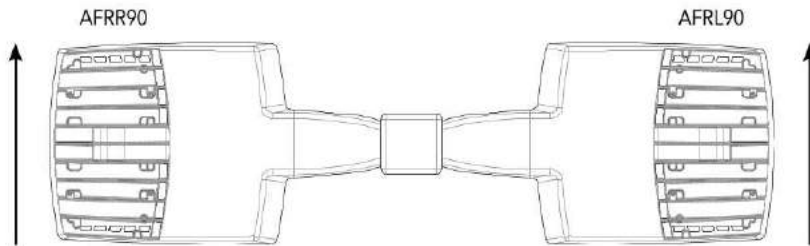
### RSX1 with Adjustable Tilt Arm with Wall Bracket and Surface Conduit Box (AAWSC)



### Additional Reference Drawings



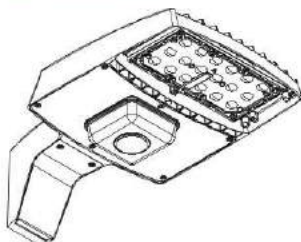
### Automotive Front Row - Rotated Optics (AFRL90/R90)



(Example: 2@180 - arrows indicate direction of light exiting the luminaire)

## nLight Sensor Coverage Pattern

### NLTAIR2 PIRHN



Top

Side

Motion Sensor Default Settings - Option PIRHN

Option	Dimmed State (unoccupied)	High Level (when occupied)	Photocell Operation	Dwell Time (occupancy time delay)	Ramp-up Time (from unoccupied to occupied)	Ramp-down Time (from occupied to unoccupied)
NLTAIR2 PIRHN	Approx. 30% Output	100% Output	Enabled @ 1.5FC	7.5 minutes	3 seconds	5 minutes

\*Note: NLTAIR2 PIRHN default settings including photocell set-point, high/low dim rates, and occupancy sensor time delay are all configurable using the Clarity Pro App. Sensor coverage pattern shown with luminaire at 0°. Sensor coverage pattern is affected when luminaire is tilted.

## FEATURES & SPECIFICATIONS

### INTENDED USE

The RSX LED area luminaire is designed to provide a long-lasting, energy-efficient solution for the one-for-one replacement of existing metal halide or high pressure sodium lighting. The RSX1 delivers 7,000 to 17,000 lumens and is ideal for replacing 70W to 400W HID pole-mounted luminaires in parking lots and other area lighting applications.

### CONSTRUCTION

The RSX LED area luminaire features a rugged die-cast aluminum main body that uses heat-dissipating fins and flow-through venting to provide optimal thermal management that both enhances LED performance and extends component life. Integral "no drill" mounting arm allows the luminaire to be mounted on existing pole drillings, greatly reducing installation labor. The light engines and housing are sealed against moisture and environmental contaminants to IP66. The low-profile design results in a low EPA, allowing pole optimization. All mountings are rated for minimum 1.5 G vibration load per ANSI C136.31. 3G Mountings: Include SPA, RPA, MA, IS, AASP, and AARP rated for 3G vibration. 1.5G Mountings: Include WBA, WBASC, AAWB and AAWSC rated for 1.5G vibration.

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures superior adhesion as well as a minimum finish thickness of 3 mils. The result is a high-quality finish that is warrantied not to crack or peel.

### OPTICS

Precision acrylic refractive lenses are engineered for superior application efficiency, distributing the light to where it is needed most. Available in short and wide pattern distributions including Type 2, Type 3, Type 3S, Type 4, Type 4S, Type 5, Type 5S, AFR (Automotive Front Row), and AFR rotated AFR90 and ARFL90.

### ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted on metal-core circuit boards and aluminum heat sinks to maximize heat dissipation. Light engines are IP66 rated. LED lumen maintenance is >L92/100,000 hours. CCT's of 3000K, 4000K and 5000K (minimum 70 CRI) are available. Class 1 electronic drivers ensure system power factor >90% and THD <20%. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

### STANDARD CONTROLS

The RSX LED area luminaire has a wide assortment of control options. Dusk to dawn controls include MVOLT and 347V button-type photocells and NEMA twist-lock photocell receptacles.

### nLIGHT AIR CONTROLS

The RSX LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing with photocontrol functionality and is suitable for mounting heights up to 40 feet. No commissioning is required when using factory default settings that provide basic stand-alone motion occupancy dimming that is switched on and off with a built-in photocell. See chart above for motion sensor default out-of-box settings. For more advanced wireless functionality, such as group dimming, nLight AIR can be commissioned using a smartphone and the easy-to-use CLARITY app. nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

### INSTALLATION

Integral "no-drill" mounting arm allows for fast, easy mounting using existing pole drillings. Select the "SPA" option for square poles and the "RPA" option to mount to round poles. Note, the RPA mount can also be used for mounting to square poles by omitting the RPA adapter plate. Select the "MA" option to attach the luminaire to a 2 3/8" horizontal mast arm or the "IS" option for an adjustable slipfitter that mounts on a 2 3/8" OD tenon. The adjustable slipfitter has an integral junction box and offers easy installation. Can be tilted up to 90° above horizontal. Additional mountings are available including a wall bracket, adjustable tilt arm for direct-to-pole and wall and a surface conduit box for wall mount applications.

### LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/DPL](http://www.designlights.org/DPL) to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only. U.S. Patent No. D882, 1465

### BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

[www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

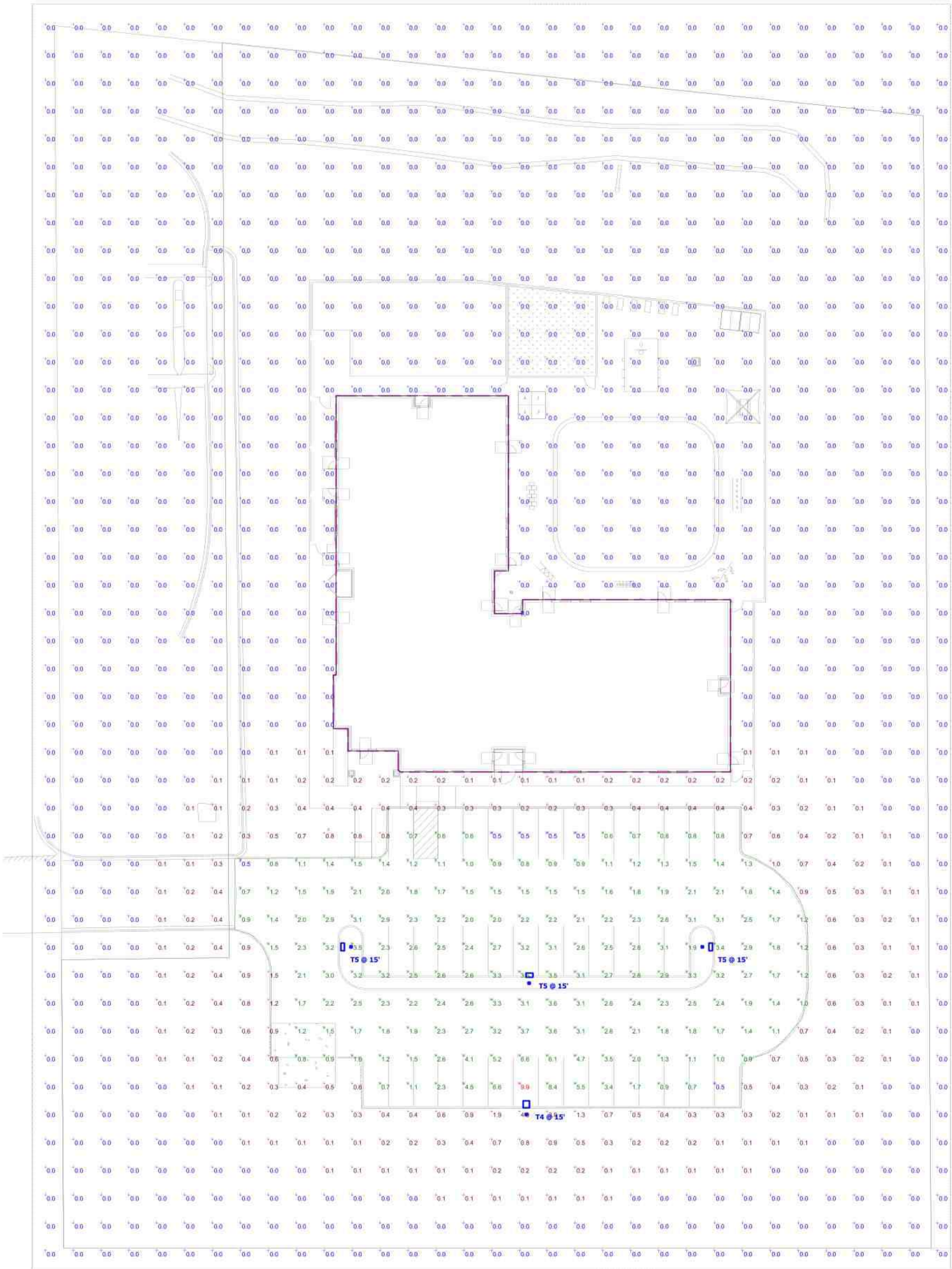


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By Mike Schwarz at 11:59 am, May 25, 2022



Schedule									
Symbol	Label	Shape	Quantity	Manufacturer	Labeling Method	Availability	Quantity	Location	Notes
T5			1	General Lighting	150' (15' x 10' x 4')	150' (15' x 10' x 4')	1	150'	150'
T4			1	General Lighting	150' (15' x 10' x 4')	150' (15' x 10' x 4')	1	150'	150'

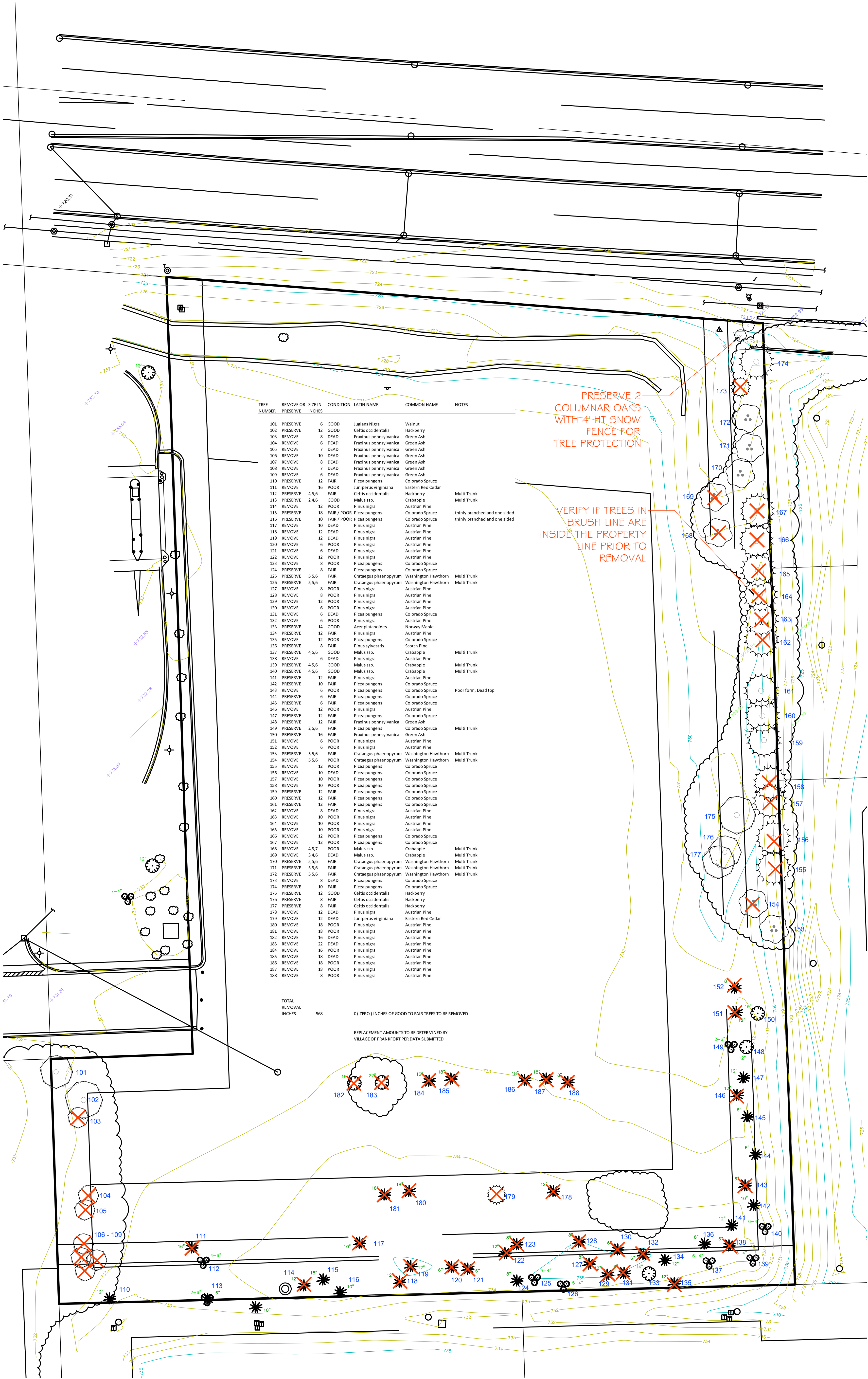
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
OVERALL SITE	+	0.3 fc	9.9 fc	0.0 fc	N/A	N/A
PARKING	X	2.2 fc	9.9 fc	0.5 fc	19.8:1	4.4:1



Plan View  
Scale - 1" = 25ft







Note: Trees in Brush Lines not located on survey are estimated in location and should be verified prior to final removal

#### E. PRESERVATION TECHNIQUES

1. Prior to the development of any project, temporary banners shall be installed to protect and preserve the existing vegetation.
  - a. Wooden lath snow fencing, brightly colored plastic construction fencing, chain link fencing, or an alternative banner, shall be installed at the periphery of the drip line of the tree or beyond to prevent storage of materials or vehicles. Said fence or barrier shall be a minimum of forty-eight inches (48") in height securely anchored to fence posts a minimum distance of five feet on center.
2. Wherever a change of grade is planned, the trees to be preserved shall be protected by a wall so as to preserve the existing grade for the roots.
3. Wherever a change of grade is planned, the topsoil shall be preserved for the new landscaping to be installed, unless imported topsoil is used which meets planting specifications as outlined in § 158.06.
4. All grading and construction equipment shall be forbidden from encroaching upon the drip line of any tree.
5. Crushed limestone or any other material which may be detrimental to trees shall not be dumped within the drip line of any tree(s) nor shall be located at any higher location where drainage toward the tree(s) could adversely affect the health of said tree(s).
6. No materials or vehicles shall be stored, driven, or parked within the drip line of any trees.
7. In the event that an underground utility line is to be located within five feet (5') of the trunk of a tree designated for preservation, said utility line shall be augured to prevent damage to the trees root system.
8. All trees to be preserved which have been subjected to the construction activity within the drip line should be reviewed by a qualified arborist and appropriate actions performed per the recommendation of the arborist. None of the trees shall be topped, headed-back, skinned (removal of interior branches), or climbed with spikes. All dead wood shall be removed to reduce hazard.

#### F. ENFORCEMENT

1. In the event that trees are destroyed / removed, leaving no physical evidence for measurement, tree size in caliper inches will be measured at the stump diameter.
2. In the event that a tree designated for preservation is destroyed or has been removed without the approval of Village staff, each tree shall be replaced in accordance with the applicable exchange rates. A minimum of \$500.00 per tree penalty shall be assessed upon the owner of the property on which the trees were removed. A temporary work stoppage shall commence until such time that the Village has determined the number and size of tree (s) destroyed. In addition to the fines, destroyed trees must be replaced in accordance to replacement ratios as mentioned above, by the next growing season. Penalty see § 158.99





- ALTA/NSPS LAND TITLE TABLE A ITEMS

1. MONUMENTS PLACED (OR A REFERENCE MONUMENT OR WITNESS TO THE CORNER) AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE PROPERTY, UNLESS ALREADY MARKED OR REFERENCED BY EXISTING MONUMENTS OR WITNESSES IN CLOSE PROXIMITY TO THE CORNER.
2. THE ASSOCIATED PIN NUMBER FOR THE SUBJECT PROPERTY IS 09-2001-005  
THE ADDRESS FOR THE SUBJECT PROPERTY IS PERU COUNTY ASSESSOR.  
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP (FIRM), HAVING A COMMUNITY PANEL NUMBER OF 17197001956, WITH A MAP EFFECTIVE DATE OF FEBRUARY 15, 2019, THE SURVEYED PROPERTY LIES WITHIN AN AREA DESIGNATED AS "ZONE X" (UNSHADED) WHICH IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOODING PROBABILITY AND NOT GUARANTEED TO SHOW NO RISK OF FLOODING TO THE COMMUNITY OR ALL PLANIMETRIC FEATURES OUTSIDE SPECIAL FLOOD HAZARD AREAS. THIS DOES NOT GUARANTEE THAT THE SURVEYED PROPERTY WILL OR WILL NOT FLOOD.
3. THE GROSS LAND AREA OF THE SUBJECT PROPERTY IS 11,548.39 SQUARE FEET (2.561 ACRES).
7. NO BUILDINGS WERE OBSERVED AT THE TIME OF THIS SURVEY.
8. THE FIELDWORK WAS CONDUCTED WITHOUT INTERRUPTING THE FIELDWORK ARE SHOWN HEREON (IN ADDITION TO THE IMPROVEMENTS AND FEATURES REQUIRED PURSUANT TO SECTION 5 OF THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS/LAND TITLE SURVEYS). LANDSCAPED AREAS ARE OPEN TO INTERPRETATION AND MAY NOT BE SHOWN OR IDENTIFIED.
9. NO PARKING SPACES WERE OBSERVED ON THE SUBJECT PROPERTY AT THE TIME OF THIS SURVEY.
10. THE DISTANCE TO THE NEAREST INTERSECTING STREET IS INDICATED AND DIMENSIONED HEREON.
11. STATEMENT OF WORK AND CERTIFICATE OF LIABILITY INSURANCE  
CERTIFICATE OF INSURANCE AVAILABLE UPON REQUEST.

## LEGAL DESCRIPTION

PARCEL 1:

LOT 1 IN NEW LENOX STATE BANK SUBDIVISION, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 8, 2002, AS DOCUMENT NO. R2002-192064 IN WILL COUNTY, ILLINOIS.

PARCEL 2:

EASEMENT FOR THE BENEFIT OF PARCEL 1 CREATED BY ACCESS EASEMENT AGREEMENT BETWEEN KOHL'S DEPARTMENT STORES, INC., A DELAWARE CORPORATION, AND ALSO NLSB, AN ILLINOIS BANKING CORPORATION, RECORDED JANUARY 17, 2003 AS DOCUMENT NO. 2003-12121 FOR THE PASSAGE OF MOTOR VEHICLES AND PEDESTRIANS OVER AND ACROSS THE DRIVEWAY AND ACCESS ROAD AS DESCRIBED IN SAID DOCUMENT.

PARCEL 3:

EASEMENT FOR THE BENEFIT OF PARCEL 1 CREATED BY ACCESS AGREEMENT BY AND BETWEEN NLSB AND NLSB, AS TRUSTEE UNDER THE PROVISIONS OF A TRUST AGREEMENT DATED AUGUST 18, 1988, KNOWN AS TRUST NO. 1183, RECORDED MARCH 24, 2004 AS DOCUMENT R2004-49251 FOR INGRESS AND EGRESS OVER THE SOUTH 40 FEET OF LOT 1 IN NEW LENOX STATE BANK PHASE 2, RECORDED AS DOCUMENT NO. R2003-261 229, IN WILL COUNTY, ILLINOIS.



SOURCE BENCH MARK:  
NGS MONUMENT WITH PID DN4718 BEING A STAINLESS STEEL ROD IN SLEEVE. (SEE NGS DATA SHEET FOR A MORE DETAILED DESCRIPTION)

SITE BENCH MARK:  
SQUARE CUT ON LIGHT POLE BASE LOCATED 1.7' WEST OF THE WEST PROPERTY LINE AND 22.0' SE'LY OF CONCRETE MEDIAN OF ADJACENT BANK DRIVE-THRU.

# ALTA/NSPS LAND TITLE SURVEY CERTIFICATION

TO: PURCHASER WITH CONTRACTUAL RIGHTS UNDER A PURCHASE AGREEMENT WITH THE VESTED OWNER; LENDER WITH A CONTRACTUAL OBLIGATION UNDER A LOAN AGREEMENT WITH THE PROPOSED INSURED; AND CHICAGO TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7a, 8, 9, 14 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 27, 2022

DATE OF PLAT OR MAP: FEBRUARY 17, 2022

IL PROF LAND SURVEYOR #3520; EXP. NOVEMBER 30, 2022  
DESIGN FIRM REG.#184.005510; EXP. APRIL 30, 2023  
SEE SURVEYORS NOTES FOR DESCRIPTION AND LIMITATIONS  
OF TABLE A ITEMS SHOWN ON THIS SURVEY.



ORIGINAL SURVEY IS IN COLOR

**"WE GET CORNERS OTHER PEOPLE CUT!"**  
LAND SURVEYING, TOPOGRAPHIC MAPPING, SITE STAKING,  
SITE PLANS, GRADING PLANS, FEMA CERTIFICATES AND MORE  
**SIGHT ON SOLUTIONS, INC.**  
557 CAPITAL DRIVE, LAKE ZURICH, ILLINOIS 60047  
PHONE: 847.356.7539 FAX: 815.576.9647  
[www.sightonsolutions.com](http://www.sightonsolutions.com)

GPS LAND TITLE & TOPOGRAPHIC SURVEY  
VACANT LOT - LINCOLN HIGHWAY  
FRANKFORT, ILLINOIS

ALTA/NS		
SHEET		
1	OF	2
SOS#: 21627		

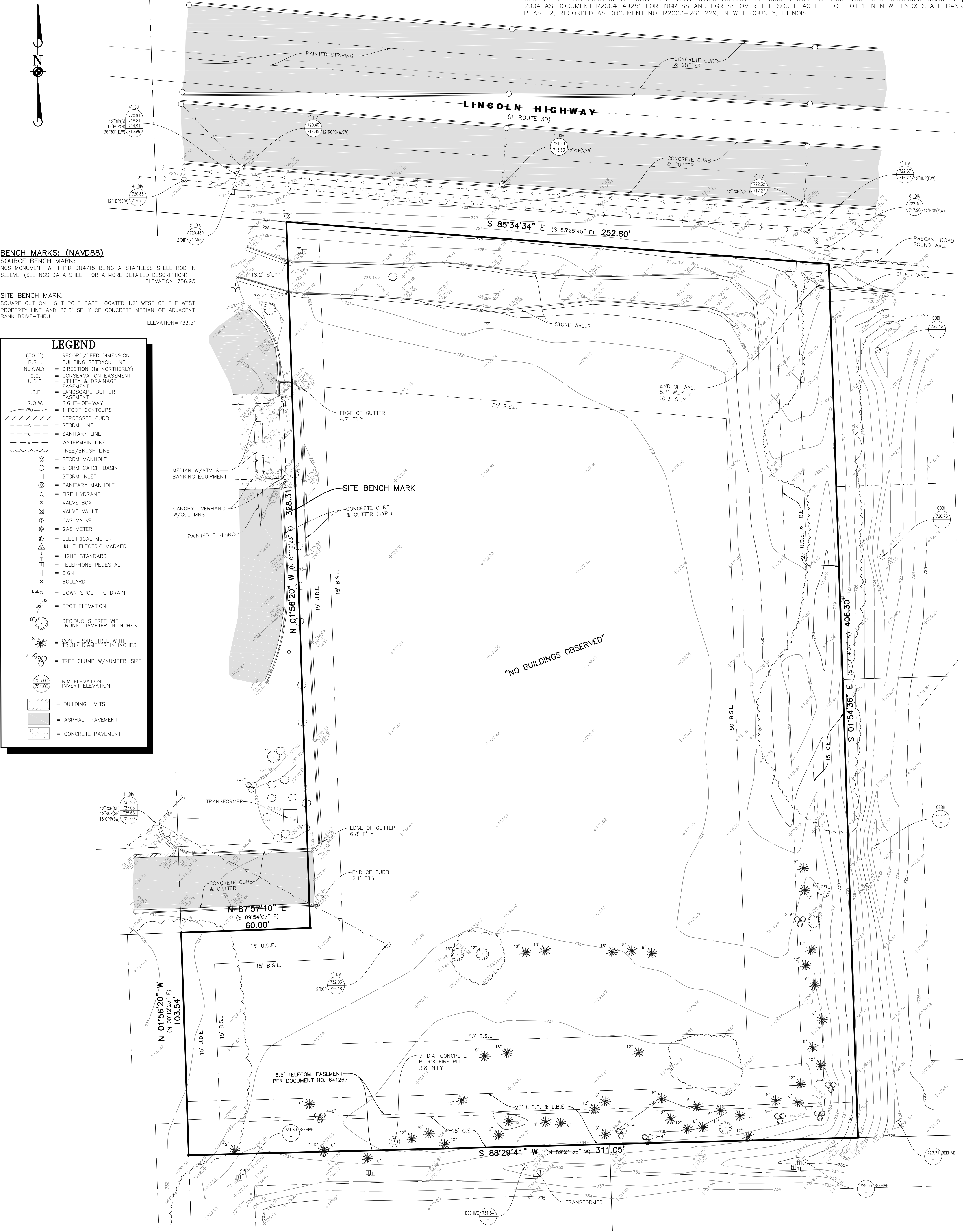
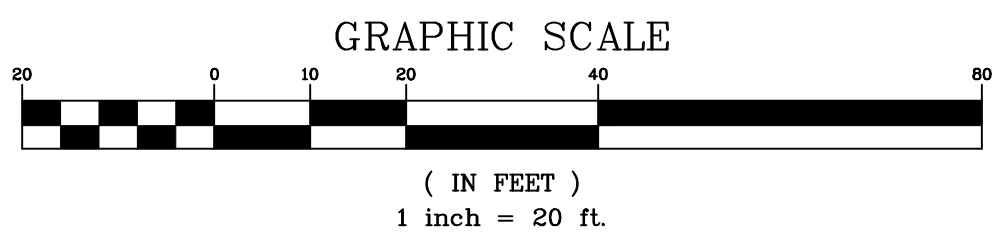


ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY  
LEGAL DESCRIPTION

PARCEL 1:  
LOT 1 IN NEW LENOX STATE BANK SUBDIVISION, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 8, 2002, AS DOCUMENT NO. R2002-192064 IN WILL COUNTY, ILLINOIS.

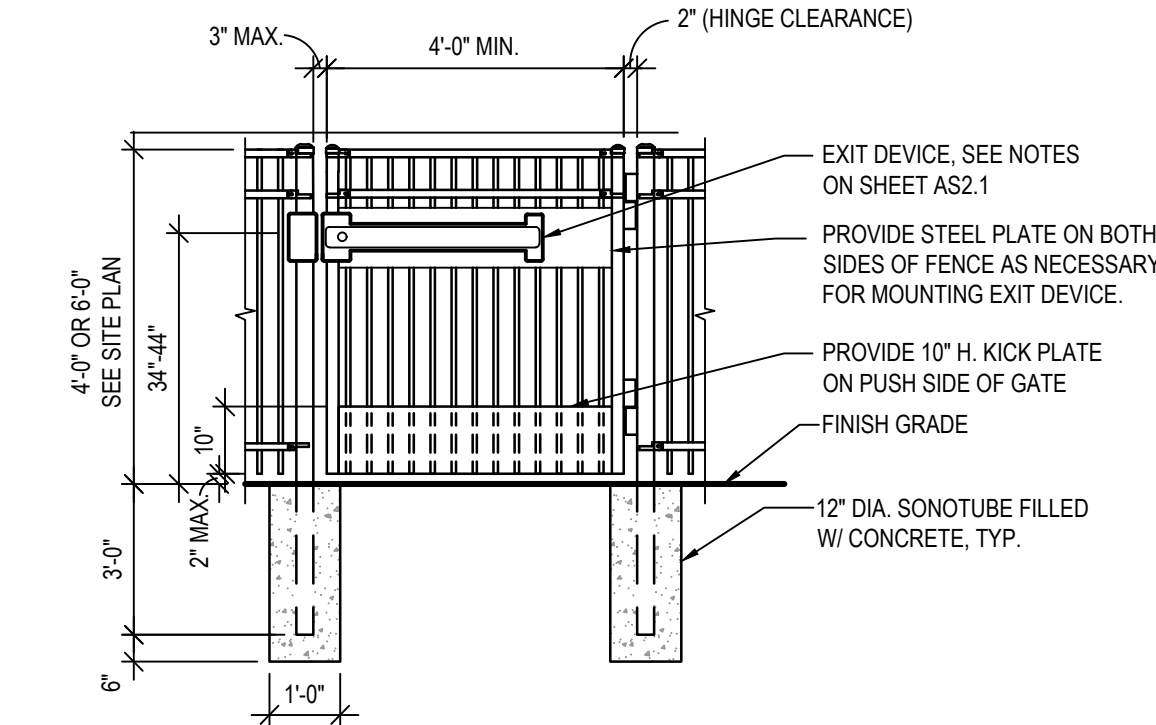
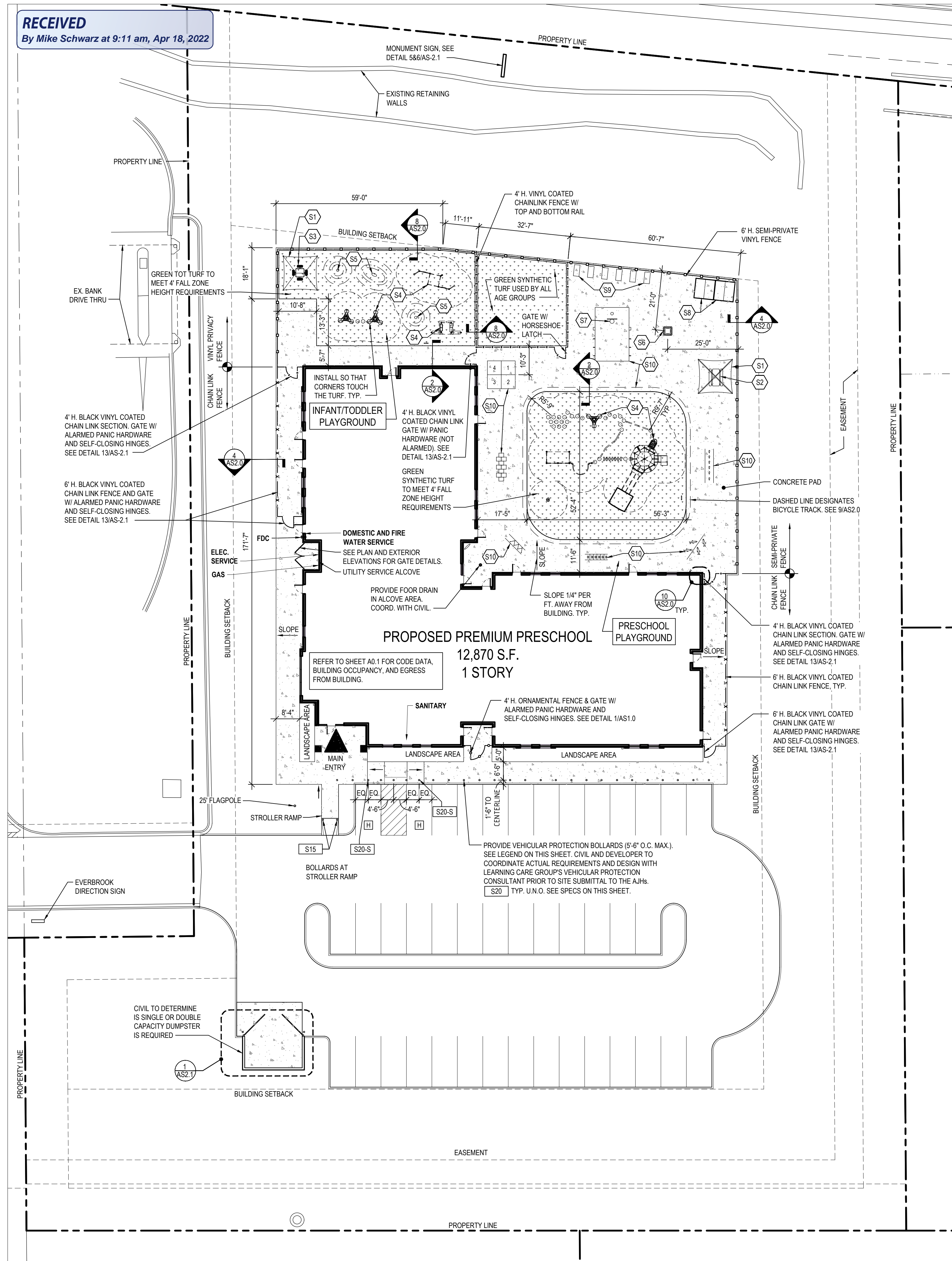
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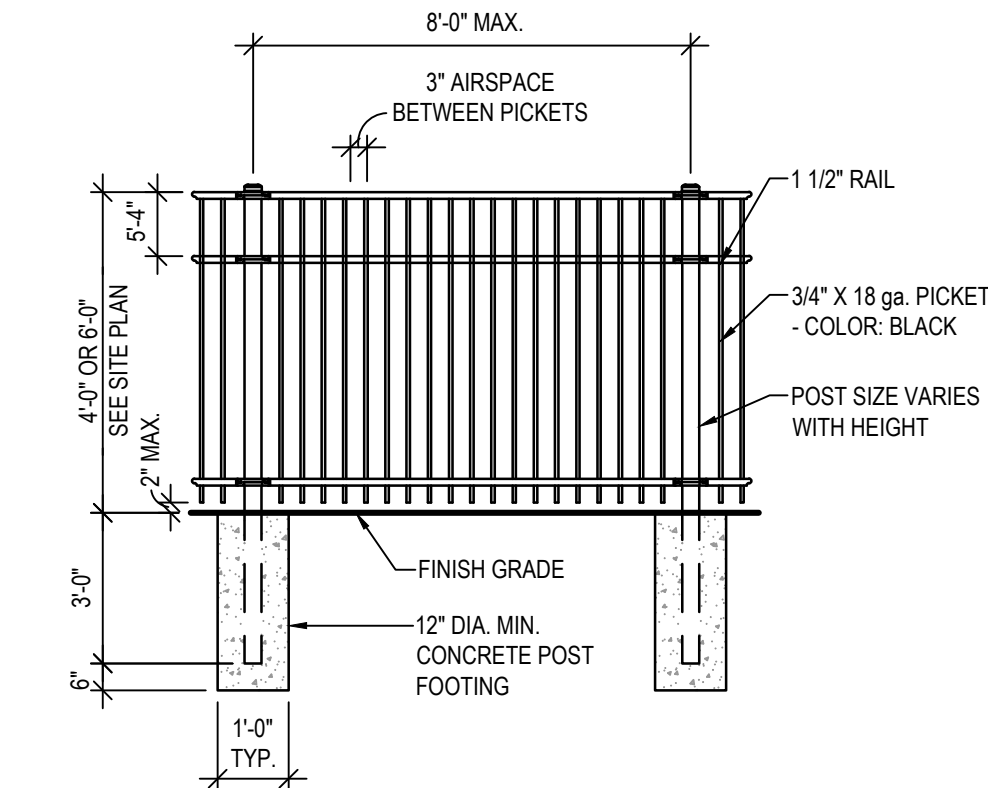




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By Mike Schwarz at 9:11 am, Apr 18, 2022



1 ORNAMENTAL FENCE GATE  
SCALE: N.T.S.



2 ORNAMENTAL FENCE  
SCALE: N.T.S.



VEHICULAR PROTECTION BOLLARD LEGEND:

- S15 S15 BOLLARD RATED FOR 15 MPH:  
McQUE 4" CRASHCORE BOLLARD WITH HDPE (PLASTIC) POST COVER, COLOR GRAY. ORDER NO. 15B-601-121
- S20 S20 BOLLARD RATED FOR 20 MPH:  
McQUE 4" CRASHCORE BOLLARD WITH HDPE (PLASTIC) POST COVER, COLOR GRAY. ORDER NO. 2B-601-121
- S20-S S20 BOLLARD RATED FOR 20 MPH:  
McQUE 4" CRASHCORE BOLLARD WITH HDPE (PLASTIC) POST COVER, COLOR GRAY, WITH CRASHCORE SIGN POST ADD-ON. ORDER NO. 2B-695-121-95604. (PROVIDE SIGN PLACARD PER PER CIVIL'S SPECIFICATIONS)

3 BOLLARD TYPES  
SCALE: N.T.S.

1 SITE PLAN  
SCALE: 1" = 20'-0"

## GENERAL SITE NOTES

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF THE PROPOSED SITE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SITE SETBACKS, EASEMENTS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- ALL HANDICAP ACCESSIBLE SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER, UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED BY THE CONTRACTOR AFTER SUCH A DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS. ARCHITECTURAL PLANS SHALL BE USED FOR BUILDING STAKEOUT.
- CONTRACTOR SHALL COORDINATE ALL LANDSCAPE IMPROVEMENTS, INCLUDING NEW PLANTINGS AND TURF AREA RESTORATION REQUIREMENTS, WITH THE LANDSCAPE PLANS. CONTRACTOR TO ENSURE NO PLANTINGS ARE IN PLAY AREAS OR FENCED-IN AREAS.
- CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB, OR EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE MEASURED AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL NEW ASPHALT AND/OR CONCRETE PAVING SHALL MATCH EXISTING PAVEMENT FLUSH.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- ALL DETECTABLE WARNING PLATES SHALL BE PREFORMED PLASTIC INSERTS UNLESS OTHERWISE NOTED.
- PLAYGROUND EQUIPMENT SHALL BE CONSTRUCTED AND INSTALLED PER THE PUBLIC PLAYGROUND SAFETY HANDBOOK BY THE CONSUMER PRODUCT AND SAFETY COMMISSION AND ASTM F2373-11 AND ASTM F1487-11, PLAYGROUND FENCE TO BE CONSTRUCTED AND INSTALLED PER ASTM F2349-11.
- GC SHALL REVIEW PLAYGROUND LAYOUT AND COORDINATE PLAYGROUND EQUIPMENT LOCATION WITH EQUIPMENT VENDOR PRIOR TO INSTALLATION.
- SIDEWALK SHALL CONFORM TO ACCESSIBILITY CODES A117.1 AND 1108.2
- ENTRAPMENT: THE DISTANCE BETWEEN ANY OPPOSING SURFACES OR OBJECTS SHALL NOT BE GREATER THAN 3 1/2" AND LESS THAN 9".
- CONCRETE SIDEWALK AT BUILDING PERIMETER SHALL SLOPE 1/4" PER FOOT AWAY FROM THE BUILDING. THIS INCLUDES FROST SLABS AT DOOR EGRESS.

## LEGEND

- PROPOSED 4" ORNAMENTAL ALUMINUM FENCE- BLACK
- PROPOSED 6" SEMI PRIVATE VINYL FENCE- WHITE
- PROPOSED 6" VINYL COATED CHAIN LINK FENCE- BLACK
- PROPOSED 4" VINYL COATED CHAIN LINK FENCE- BLACK
- PROPERTY LINE

## PAVEMENT LEGEND

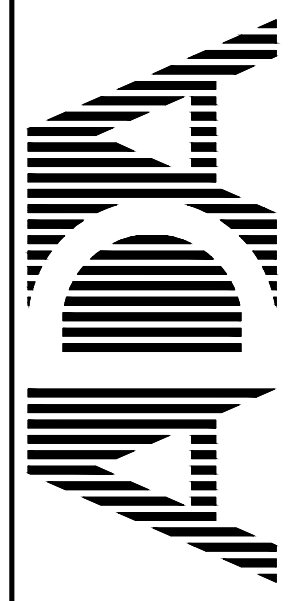
- PROPOSED CONCRETE PAD  
4" PORTLAND CEMENT CONCRETE  
4" AGGREGATE BASE
- PROPOSED GREEN SYNTHETIC TURF WITH CUSHION  
SEE DETAILS ON AS2.0 AND SPECIFICATIONS.

## PLAYGROUND KEY NOTES

- S1 12x12 SHADE PYRAMID
- S2 PRESCHOOL PICNIC TABLE
- S3 TODDLER TABLE
- S4 PLAYGROUND EQUIPMENT. TYP.
- S5 PLAYGROUND MOUNDS - SEE DETAIL ON SHEET AS2.0
- S6 FUN TUNNEL BALL DROP. MOUNT TO 6" HIGH TO TOP OF THE RIM.
- S7 BASKETBALL HOOP - SEE DETAIL 7/AS-2.0. COORDINATE WITH TENANT VENDOR
- S8 STORAGE SHED (BY TENANT) TYP. OF 2
- S9 2x4' PLANTER BOXES WITH 3x5' WALK CLEARANCES BY TENANT
- S10 PLAYGROUND GAME STRIPING BY G.C.

## SITE NOTES

- COORDINATE PLAYGROUND EQUIPMENT W/ VENDOR DRAWINGS FOR PLAYGROUND EQUIPMENT DETAILS, AND DESIGN LAYOUT REQUIRED FOR INSTALLATION OF ALL PLAYGROUND EQUIPMENT. G.C. TO OBTAIN PLAYGROUND EQUIPMENT DRAWINGS FROM VENDOR PRIOR TO START OF CONSTRUCTION.
- ALL FENCE GATES TO HAVE SURFACE MOUNTED EXTERIOR PANIC HARDWARE. BASIS OF DESIGN @ ALL CHAIN LINK AND ALUMINUM GATES: ADVANTEX WITH AUDIBLE ALARM. SEE DETAILS ON SHEET AS2.1
- PROVIDE PROTECTIVE WRAP AROUND DOWNSPOUTS IN PLAYGROUND AREAS. SEE DETAILS ON SHEET AS2.0
- PROVIDE ACCESS GATE @ PERIMETER. LOCATION TO BE APPROVED BY TENANT.
- PROVIDE A 25'-0" SINGLE SECTION UNIT FLAG POLE CONSTRUCTED OF A MINIMUM 0.156" THICK ALUMINUM IN A SATIN FINISH WITH A MINIMUM BASE DIAMETER OF 6" AND WITH AN INTERNAL ROPE BASE HALYARD. THE CAP SHALL BE A SPUN ALUMINUM BALL AND COLLAR. THE POLE SHALL BE EQUIPPED WITH A LIGHTNING PROTECTION GROUND SLEEVE ASSEMBLY. PROVIDE AND INSTALL A 4'-0" X 6'-0" UNITED STATES FLAG. COORDINATE LOCATION AND LIGHT FIXTURE W/ CIVIL.
- ANY SURFACE MOUNTED TRANSFORMERS, PUMPS, STORM WATER DEVICES, METERS, SHALL BE LOCATED AWAY FROM FRONT ENTRANCE AND BUILDING/PLAYGROUND.
- VEHICULAR PROTECTION REQUIRED WHERE DRIVE AISLES, PARKING LOTS OR ROADWAYS BORDER PLAYGROUND AREAS. GUARD RAILS, BOULDERS, BOLLARDS OR WALLS AS REQUIRED AND APPROVED BY TENANT.
- STORM DRAINS ARE NOT ALLOWED IN THE PLAYGROUND AREAS. IF DRAINS HAVE TO BE INSTALLED IN THESE AREAS DUE TO SITE CONSTRAINTS, THE DEVELOPER OR CIVIL SHALL OBTAIN TENANT'S APPROVAL PRIOR TO SUBMITTAL TO THE A.H.s. DRAINS WILL NOT BE ACCEPTED IN SYNTHETIC TURF AREAS.
- CATCH BASIN GRATE SLOTS SHALL HAVE 3/8" WIDTH MAX. WIDER GRATES ARE NOT ALLOWED.
- ALL DOWNSPOUT ROOF LEADERS SHALL BE ROUTED UNDERGROUND INTO STORM SYSTEM.



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EVERBROOK ACADEMY - FRANKFORT

12 K PROTOTYPE MODEL

LINCOLN HWY

FRANKFORT, IL 60423

## REVISIONS

#	DATE	TYPE
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## SITE PLAN

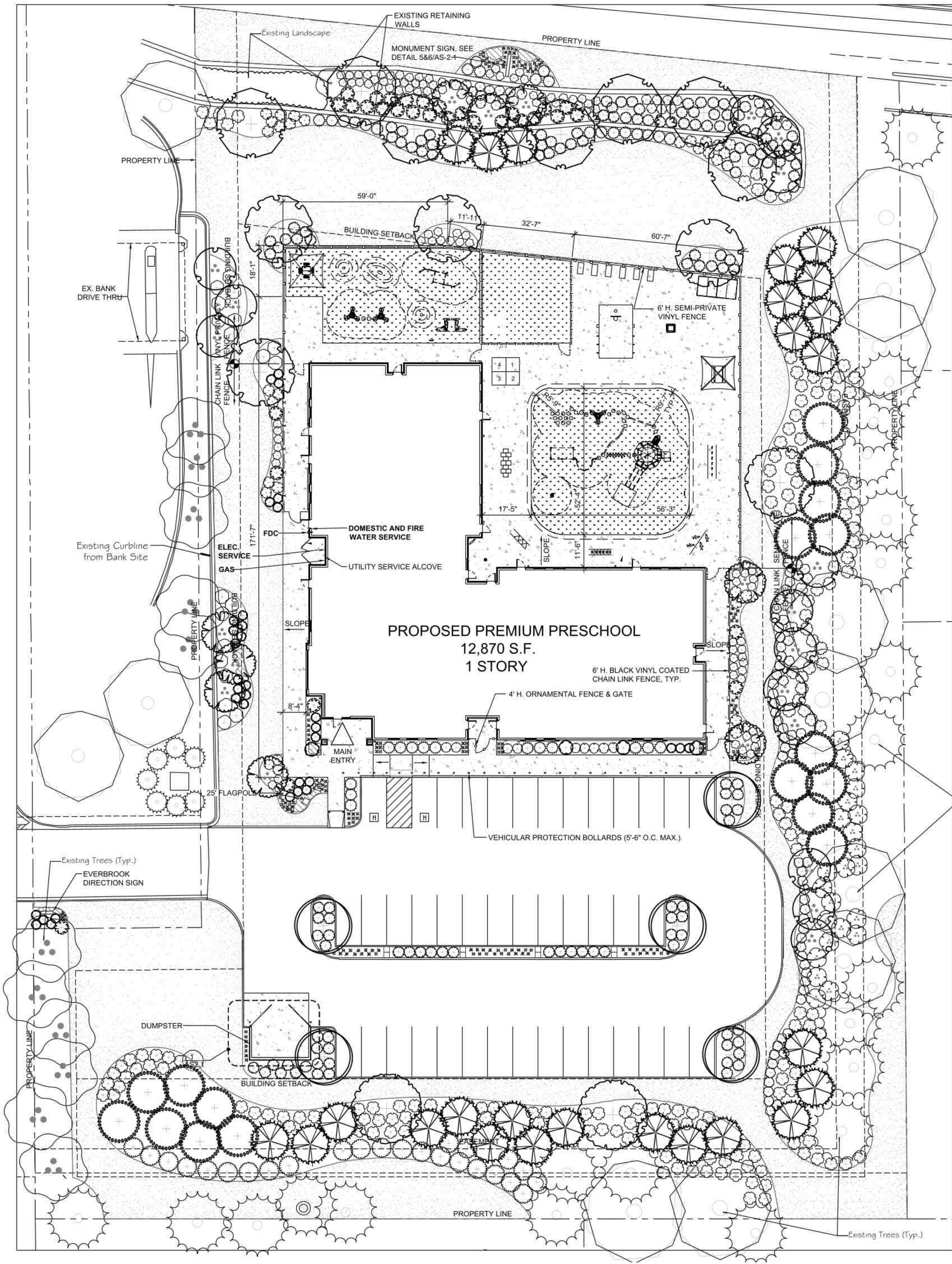
DATE 03/01/2022

JOB NO. 22024

AS1.0

SHEET NO.





PLANT SCHEDULE L1

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
ACAP	4	Acer rubrum 'Autumn Radiance'	Autumn Radiance Red Maple	2.5' Cal.	B&B
ACFR	5	Acer x freemanii 'Jeffersred' TM	Autumn Blaze Freeman Maple	2.5' Cal.	B&B
CECA	14	Cercis canadensis	Eastern Redbud	6' Ht.	B&B
PIAB	17	Picea abies	Norway Spruce	6' Ht.	B&B
PIPU	25	Picea pungens	Colorado Spruce	6' Ht.	B&B
QUBI	7	Quercus bicolor	Swamp White Oak	2.5' Cal.	B&B
QUKS	4	Quercus robur x bicolor 'Nadler' TM	Kindred Spirit Oak	2.5' Cal.	B&B
SYRE	9	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	6' Ht.	B&B
TIAM	3	Tilia americana 'Redmond'	Redmond American Linden	2.5' Cal.	B&B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
DIKB	94	Diervilla rivularis 'SMNDRSF' TM	Kodiak Black Honeysuckle	3 gal.	
DIKO	65	Diervilla x 'G2X88544' TM	Kodiak Orange Diervilla	3 gal.	
HAVE	23	Hamelis vernalis	Ozark Witchhazel	4' Ht.	B&B
HYAR	167	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	
HYPQ	43	Hydrangea pan. 'Little Quick Fire'	Little Quick Fire Hydrangea	5 gal.	
JUHP	34	Juniperus horizontalis 'Plumosa Compacta'	Creeping Juniper	5 gal.	
PHAJ	29	Physocarpus opulifolius 'Jefam' TM	Amber Jubilee Ninebark	5 gal.	
RHAR	141	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	3 gal.	
RHTY	31	Rhus typhina 'Baltiger' TM	Tiger Eyes Staghorn Sumac	5 gal.	
SYPA	25	Syringa patula 'Miss Kim'	Miss Kim Korean Lilac	3' Ht.	B&B
THOF	34	Thuja occidentalis 'Congabe' TM	Fire Chief Arborvitae	5 gal.	
WERP	19	Weigela florida 'Red Prince'	Red Prince Weigela	5 gal.	
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
HESE	184	Helictotrichon sempervirens 'Saphirsprudel'	Saphire Fountain Blue Oat Grass	1 gal.	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
ECFM	59	Echinacea x 'Pixie Meadowbrite'	Pixie Meadowbrite Purple Coneflower	1 gal.	
SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
SOD	28,233 sf	Poa pratensis	Kentucky Bluegrass	sod	



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By Mike Schwarz at 11:59 am, May 25, 2022

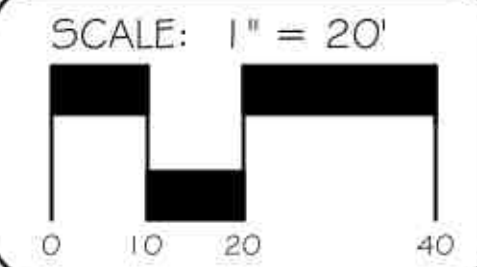
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LANDSCAPE PLAN  
EEVERBROOK ACADEMY - FRANKFORT  
LINCOLN HIGHWAY & WOLF RD  
FRANKFORT, IL 60423



PROJECT NO:

DRAWN BY: KM, djs

DATE: 13 APR 2022

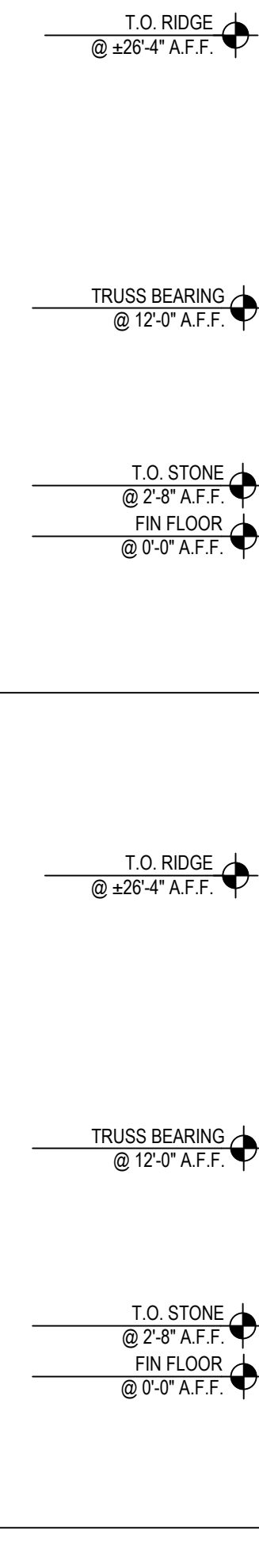
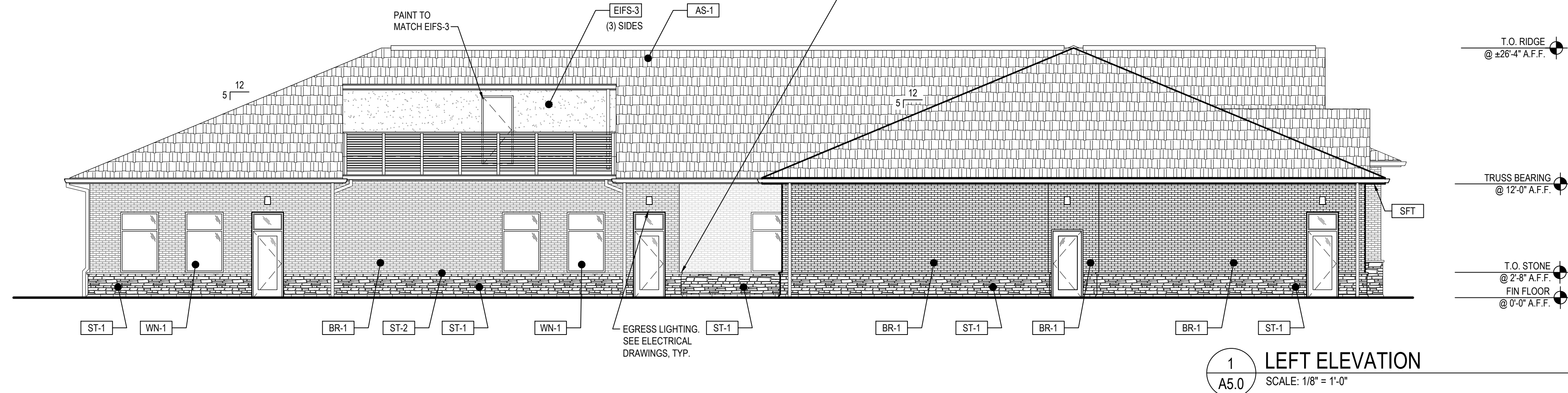
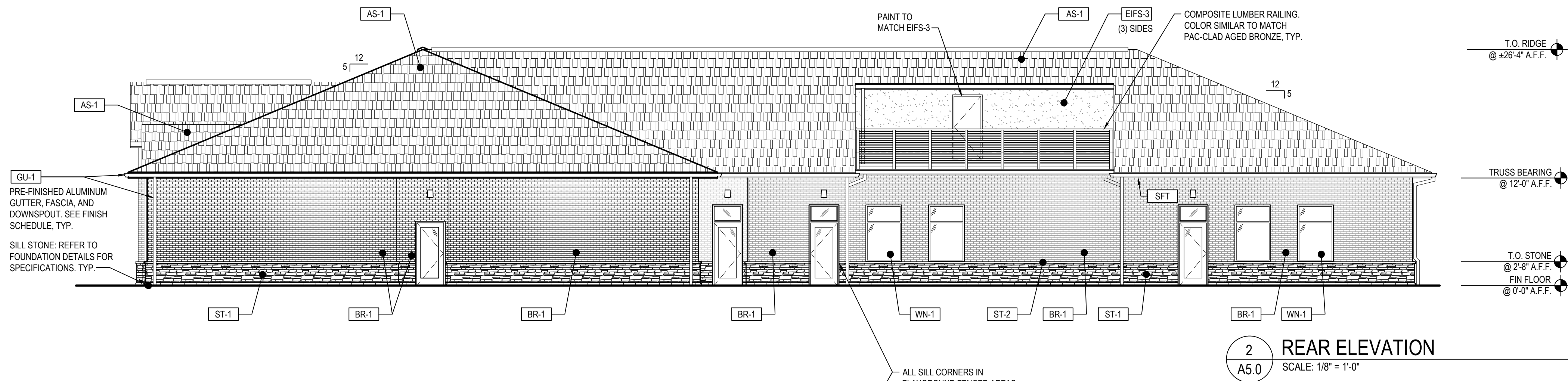
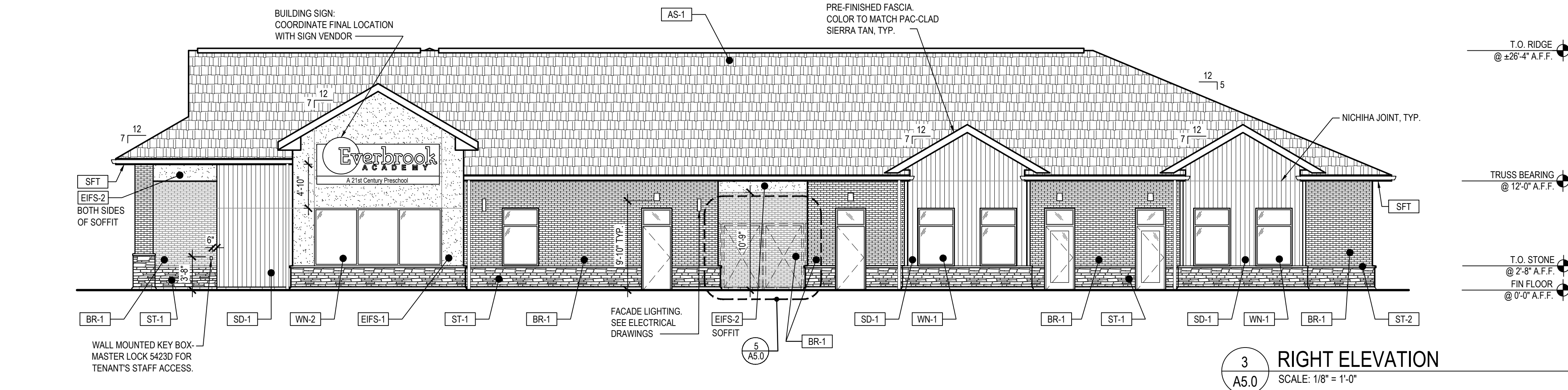
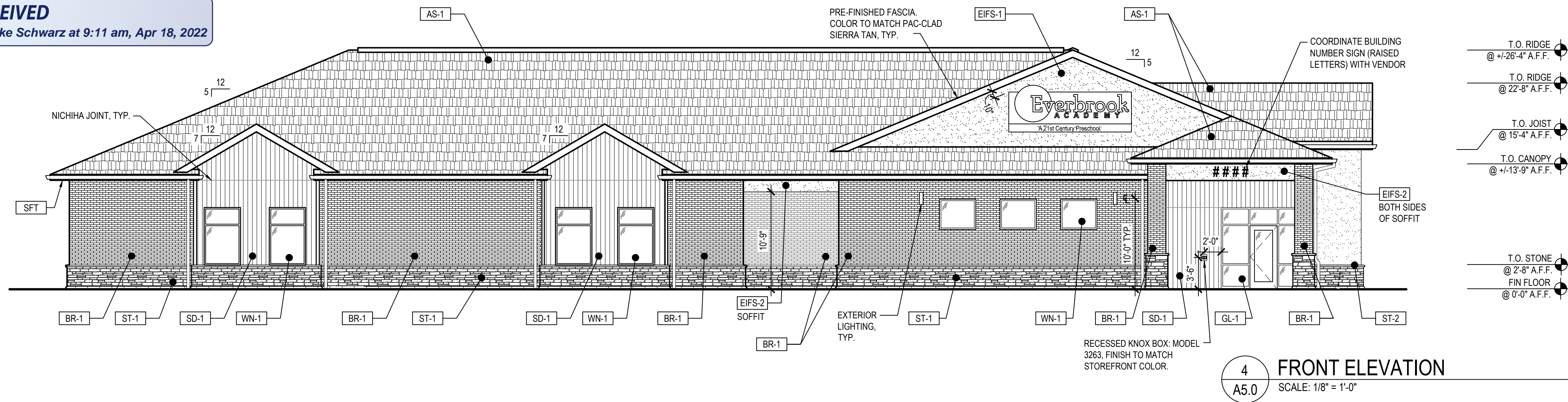
REVISIONS:  
1 no fruiting plants 23 May 22

LANDSCAPE  
PLAN

SHEET NO:  
L1 OF 1



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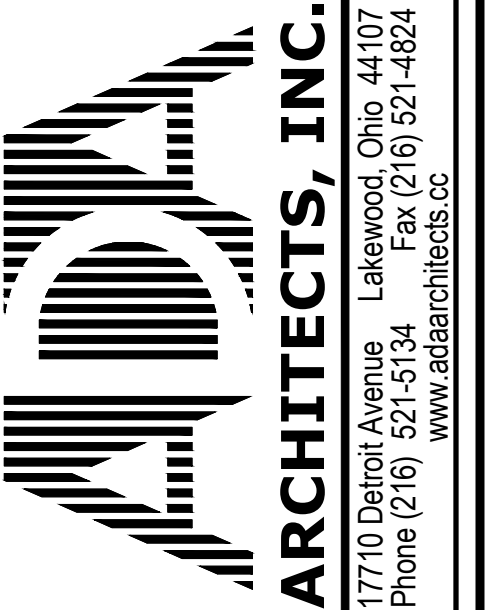
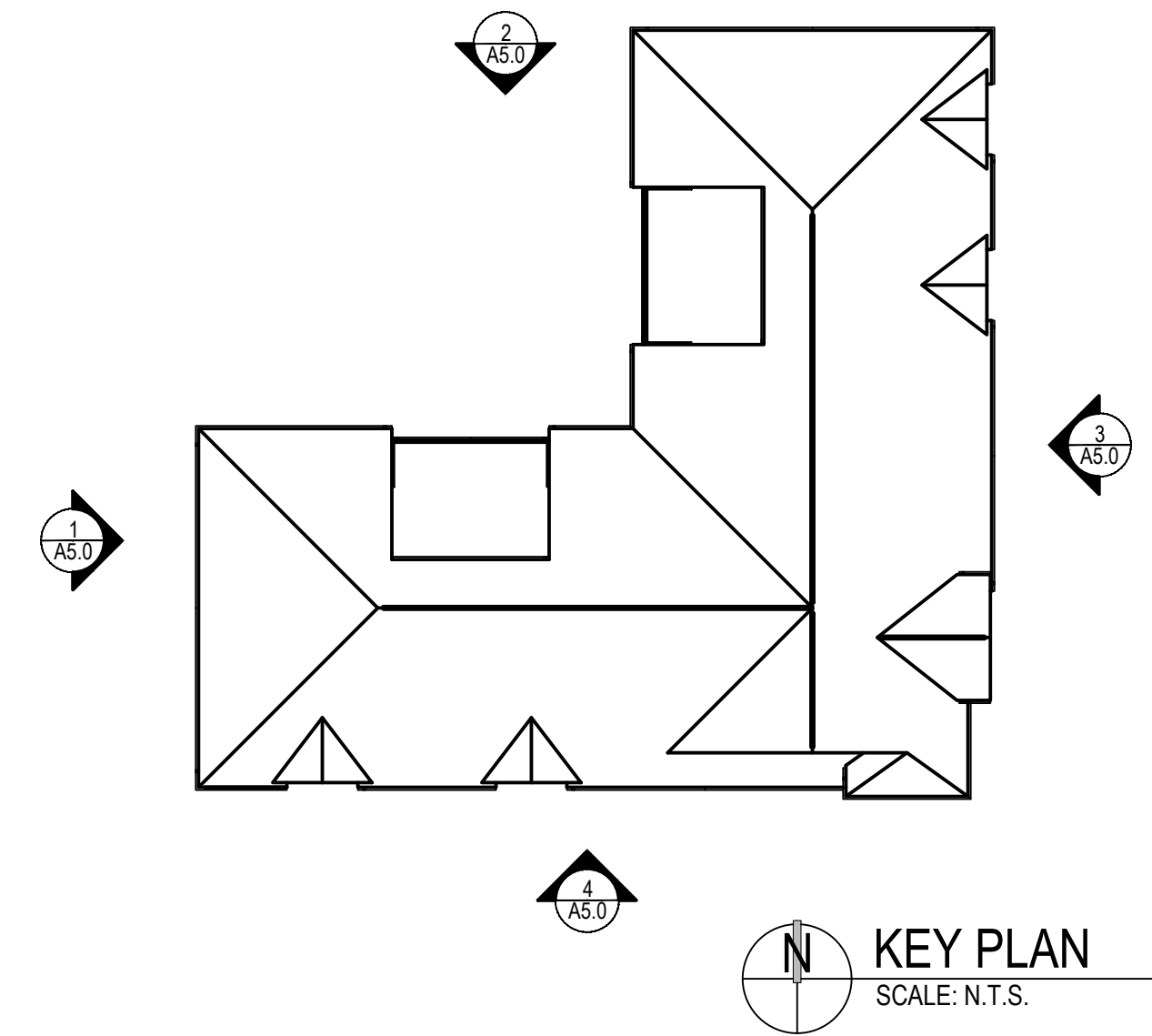


## EXTERIOR ELEVATIONS GENERAL NOTES

- ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT.
- EIFS SHALL BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS: GENESIS BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER EXTERIOR SHEATHING.
- ALL EIFS SHALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINERY AT DISSIMILAR MATERIALS. PROVIDE PANZER 20 REINFORCING MESH TO 8'-0" A.F.F. (TYP.)
- PROVIDE BLOCKING IN FACADE TO SUPPORT ALL BUILDING SIGNAGE.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION.
- GC SHALL PAINT ANY EXPOSED PIPES, CONDUITS, OR UTILITY BOXES THAT ARE VISIBLE ON FROM THE SITE TO MATCH ADJACENT BUILDING EXTERIOR FINISH.

## EXTERIOR FINISH LEGEND

TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD. COLOR: WEATHERED WOOD
BR-1	BRICK: THIN BRICK COLOR: SIMILAR TO ADJACENT BMO HARRIS BANK
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #108 MANOR WHITE
EIFS-2	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #142ST SPECTRUM BROWN
EIFS-3	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #452ST STORMY NITE
GL-1	STOREFRONT GLAZING, COLOR: CLEAR
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR TO MATCH FASCIA (PAD-CLAD SIERRA TAN)
PM-1	PRE FINISHED METAL TRIM AND FLASHING: COLOR TO MATCH ADJACENT FINISH AS CLOSE AS POSSIBLE, U.N.O.
SD-1	FIBER CEMENT SIDING: NICHHA VINTAGE WOOD, COLOR: CEDAR #EPC762F. TRIM TO MATCH CEDAR PANEL COLOR.
ST-1	STONE: CULTURED STONE, COUNTRY LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: ALMOND
WN-2	CLEAR ANODIZED ALUMINUM STOREFRONT
SFT	VENTED VINYL SOFFIT: STANDARD COLOR TO MATCH BUILDING FASCIA BD. (TAN COLOR) AS CLOSE AS POSSIBLE
DOORS & FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES COLOR: TO MATCH SW 7531 CANVAS TAN.



## EVERBROOK ACADEMY - FRANKFORT

FRANKFORT, IL, 60423

LINCOLN HWY

12 K PROTOTYPE/MODEL

## REVISIONS

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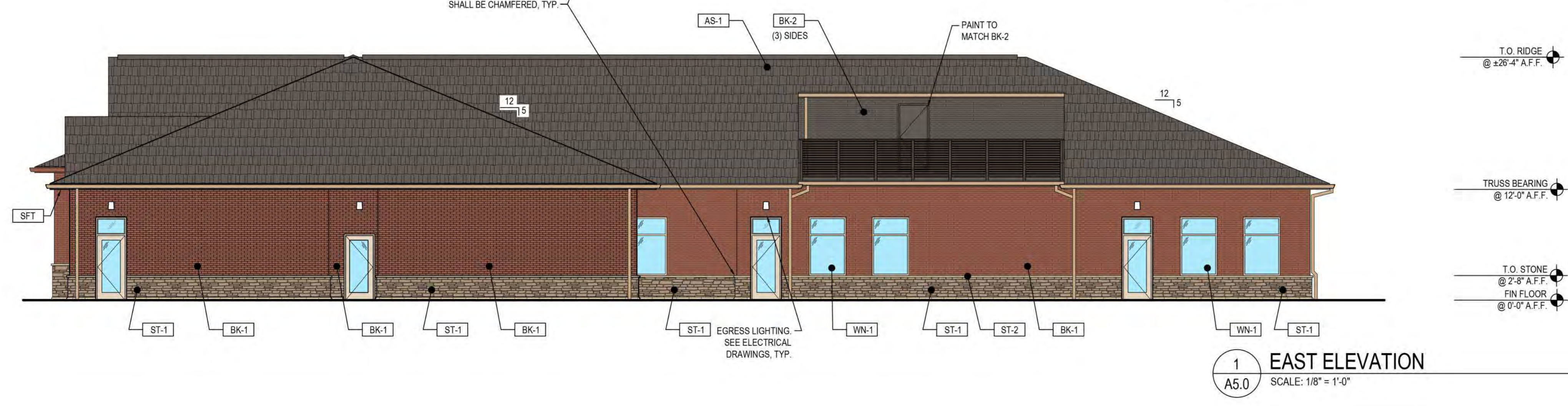
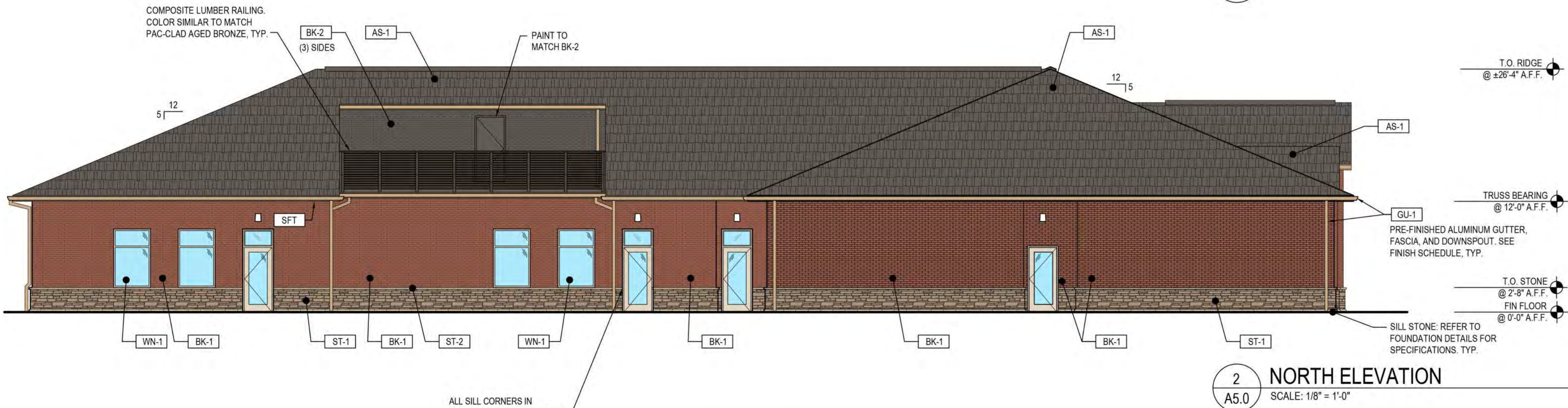
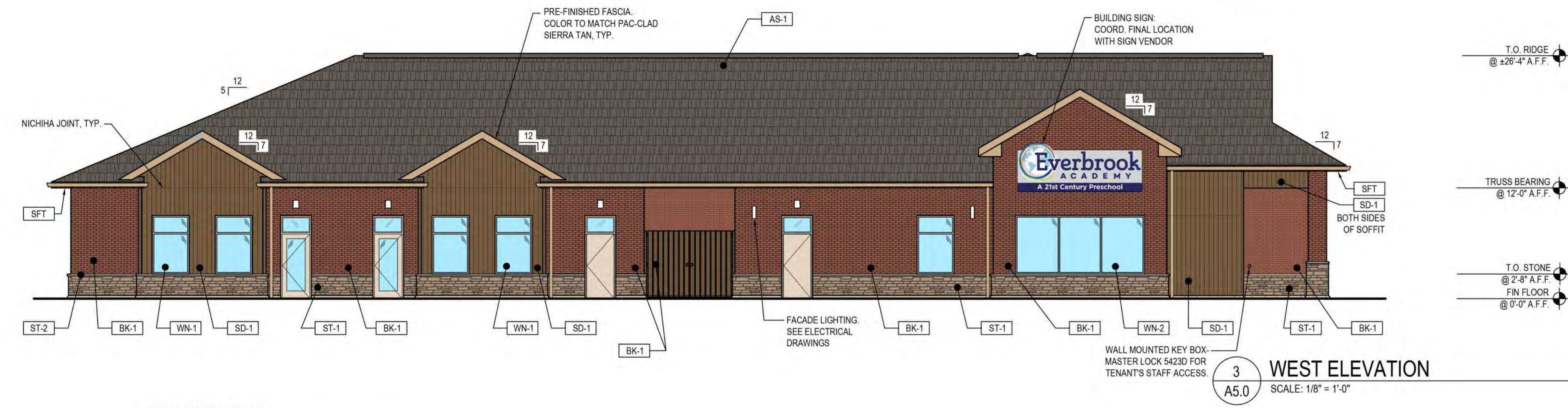
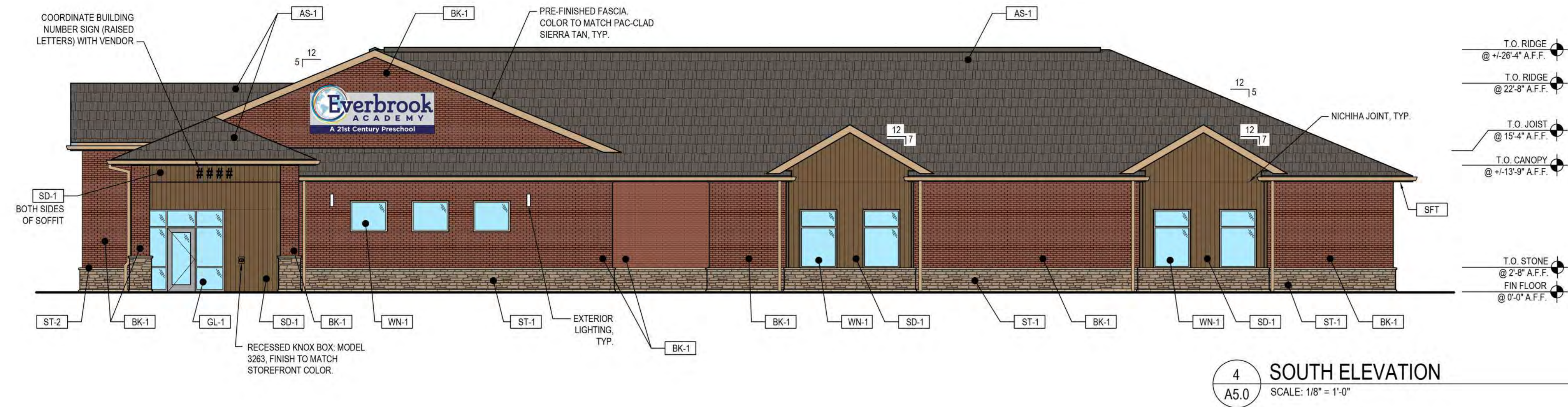
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DATE 03/01/2022

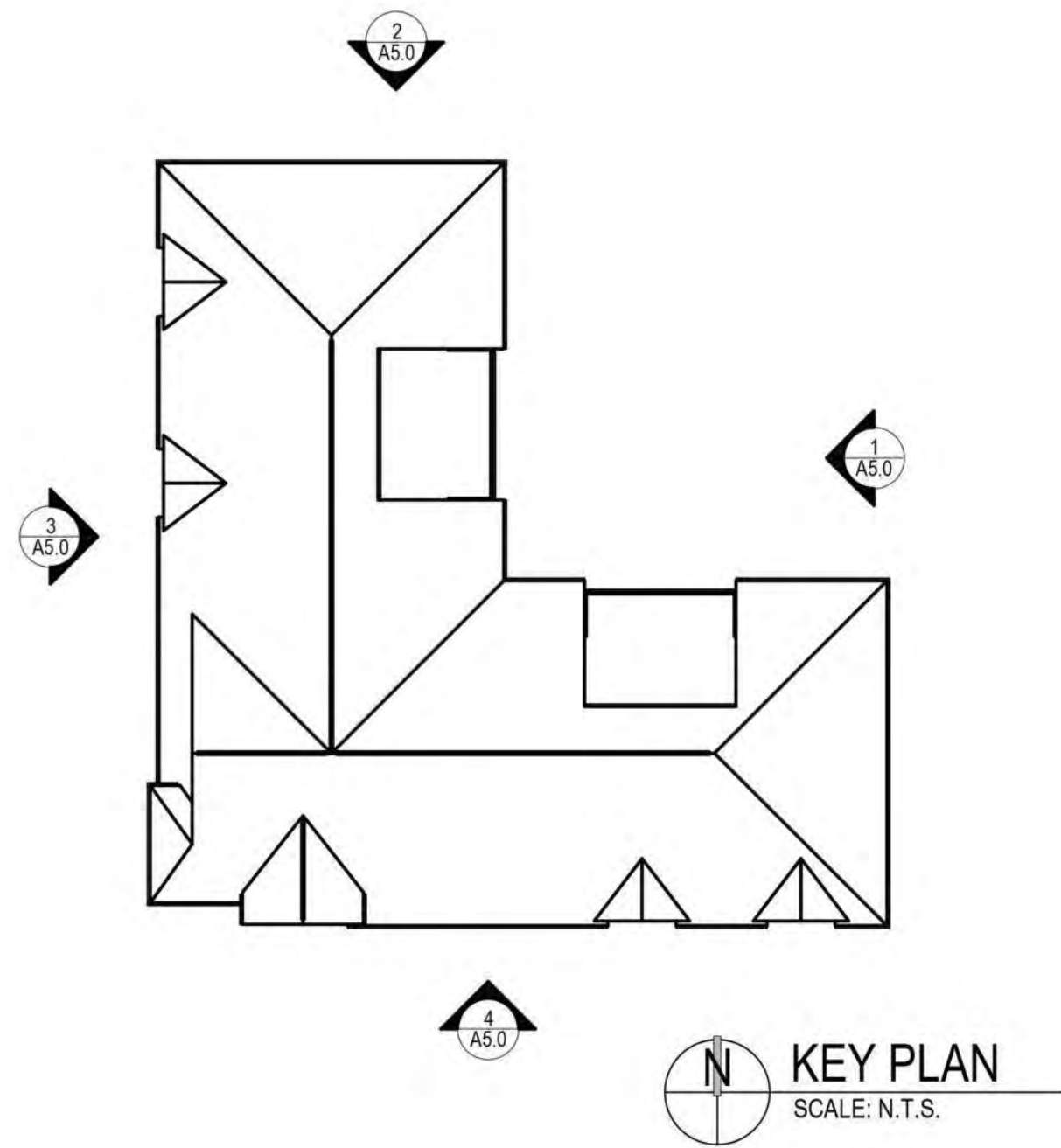
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A5.0  
SHEET NO.





EXTERIOR ELEVATIONS GENERAL NOTES	
1. ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT. 2. NOT USED. 3. NOT USED. 4. PROVIDE BLOCKING IN FACADE TO SUPPORT ALL BUILDING SIGNAGE. 5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION. 6. GC SHALL PAINT ANY EXPOSED PIPES, CONDUITS, OR UTILITY BOXES THAT ARE VISIBLE ON FROM THE SITE TO MATCH ADJACENT BUILDING EXTERIOR FINISH.	
EXTERIOR FINISH LEGEND	
TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BK-1	THIN BRICK COLOR: MATCH NEXT DOOR BANK BRICK FINISH AS CLOSE AS POSSIBLE
BK-2	THIN BRICK STANDARD COLORS TO MATCH ROOF SHINGLE'S TONE AS CLOSE AS POSSIBLE
GL-1	STOREFRONT GLAZING, COLOR: CLEAR
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR TO MATCH FASCIA (PAD-CLAD SIERRA TAN)
PM-1	PRE FINISHED METAL TRIM AND FLASHING: COLOR TO MATCH ADJACENT FINISH AS CLOSE AS POSSIBLE, U.N.O.
SD-1	FIBER CEMENT SIDING: NICHHA VINTAGE WOOD. COLOR: CEDAR #EPC76ZF. TRIM TO MATCH CEDAR PANEL COLOR.
ST-1	STONE: CULTURED STONE, COUNTRY LEDGESTONE, COLOR: CHARDONWAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: ALMOND
WN-2	CLEAR ANODIZED ALUMINUM STOREFRONT
SFT	VENTED VINYL SOFFIT: STANDARD COLOR TO MATCH BUILDING FASCIA BD. (TAN COLOR) AS CLOSE AS POSSIBLE
DOORS & FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES COLOR: TO MATCH SW 7531 CANVAS TAN.



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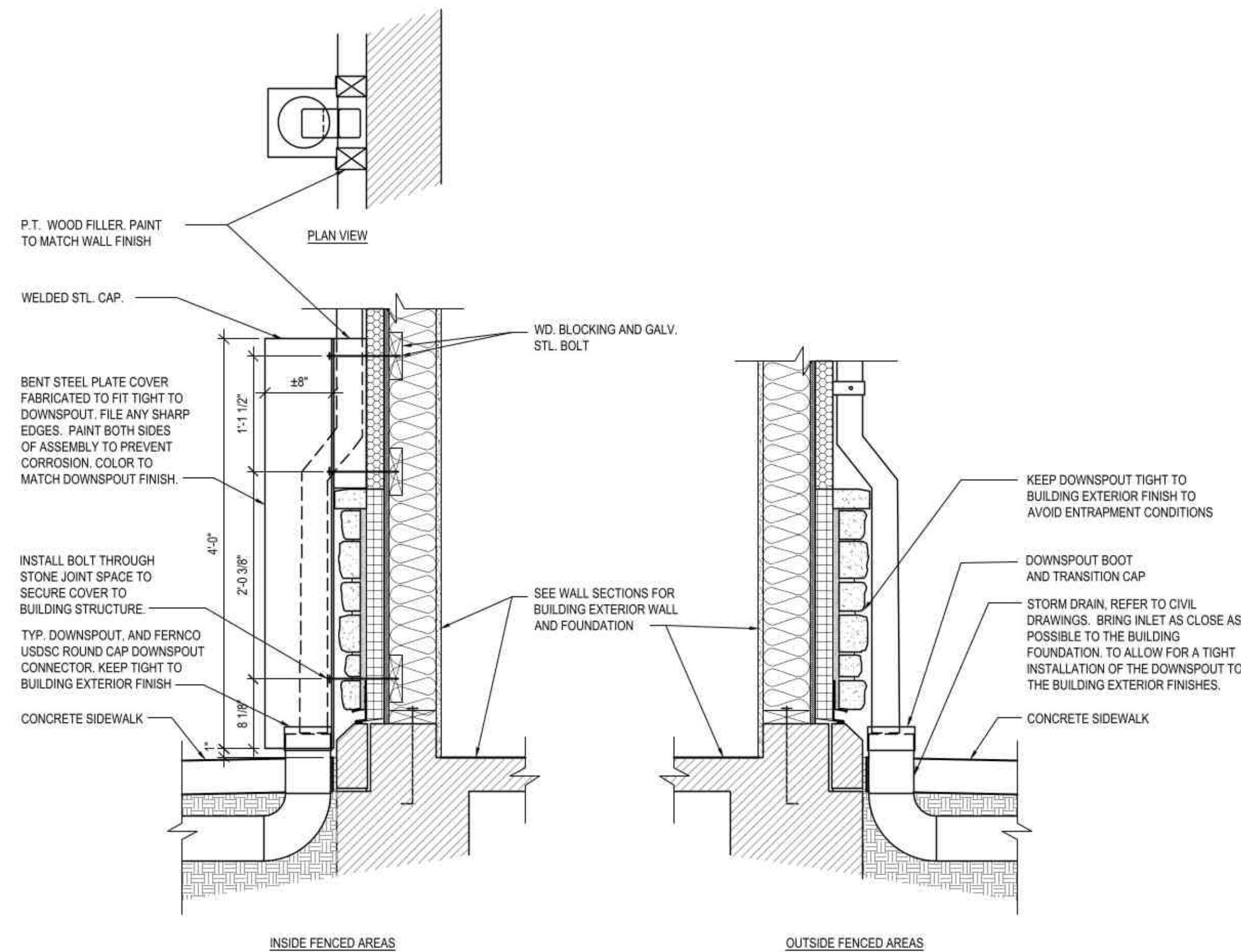
EVERBROOK ACADEMY - FRANKFORT  
12 K PROTOTYPE MODEL  
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LINCOLN HWY

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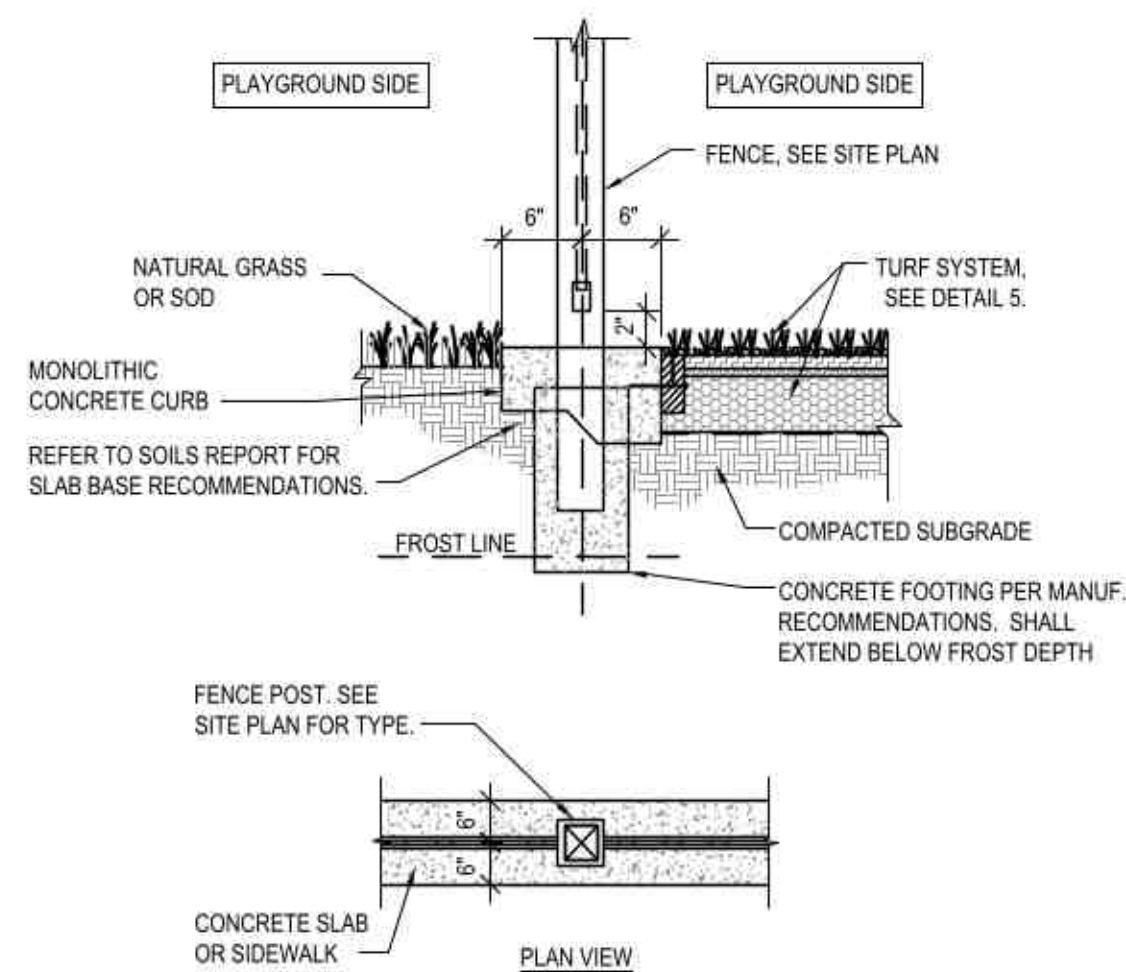
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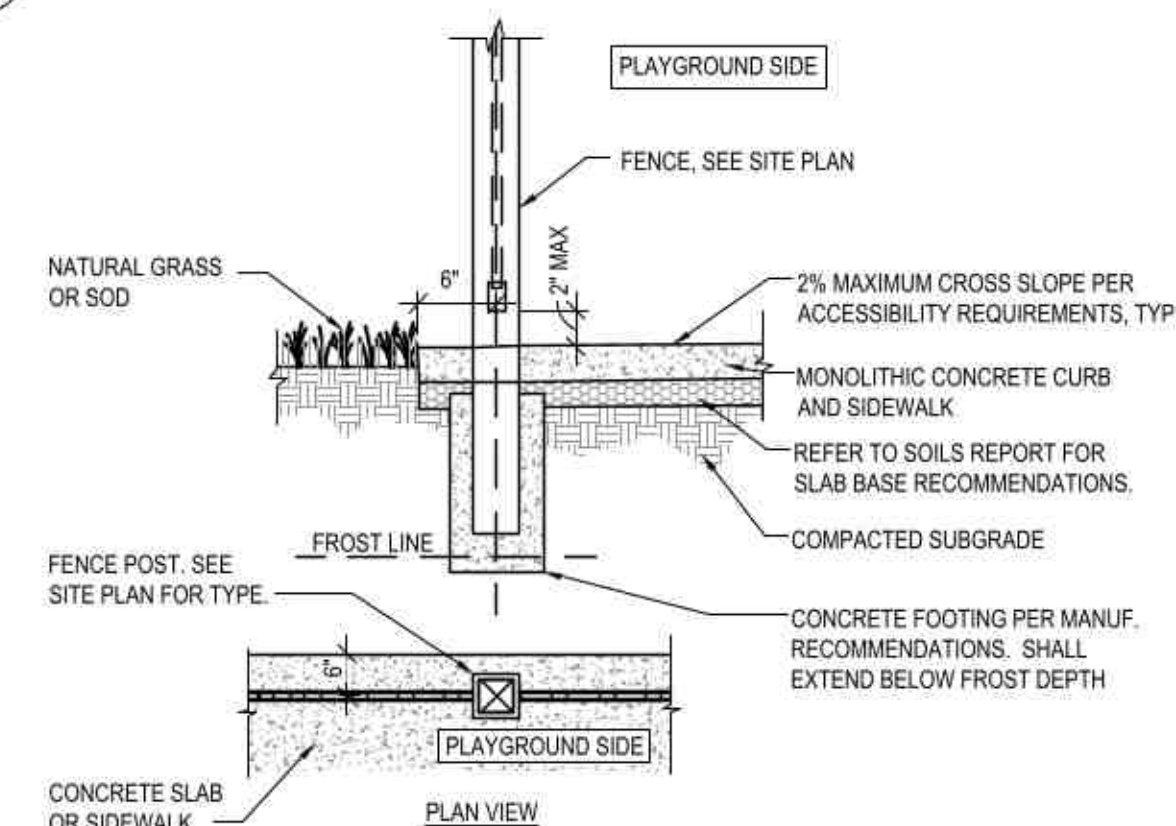


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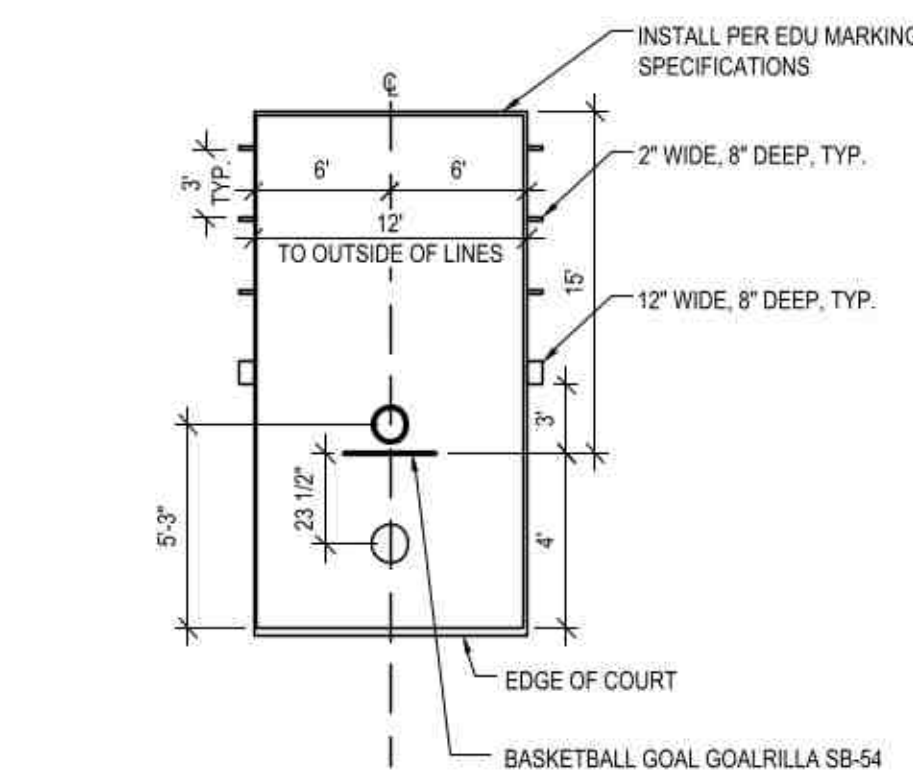
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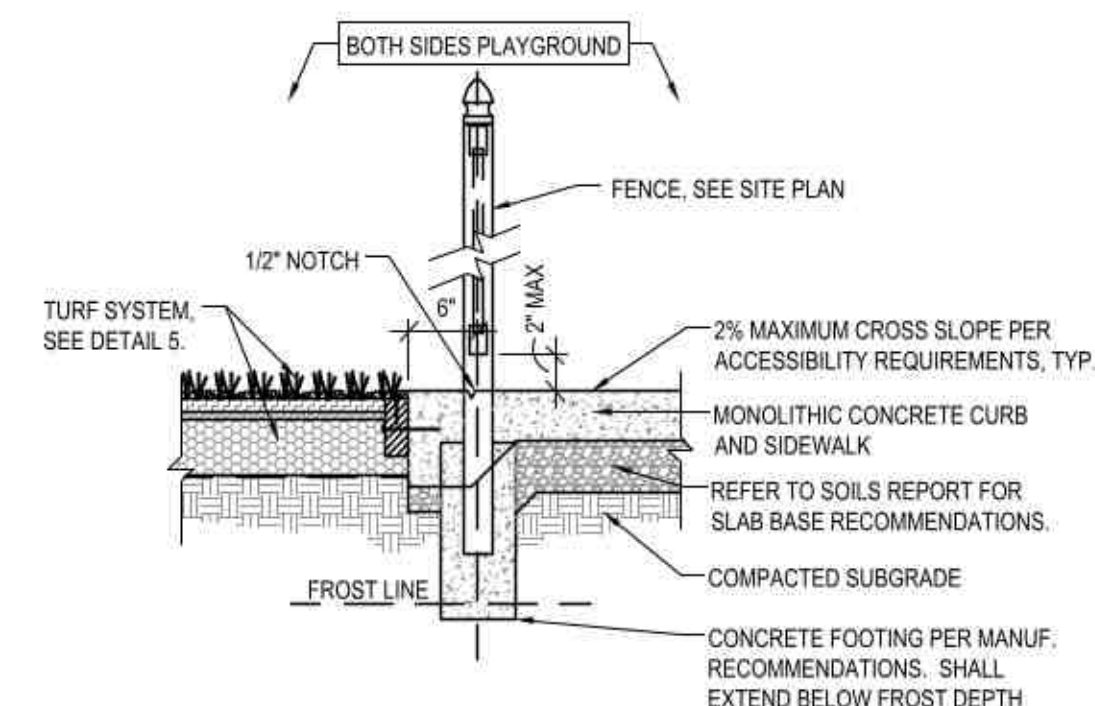
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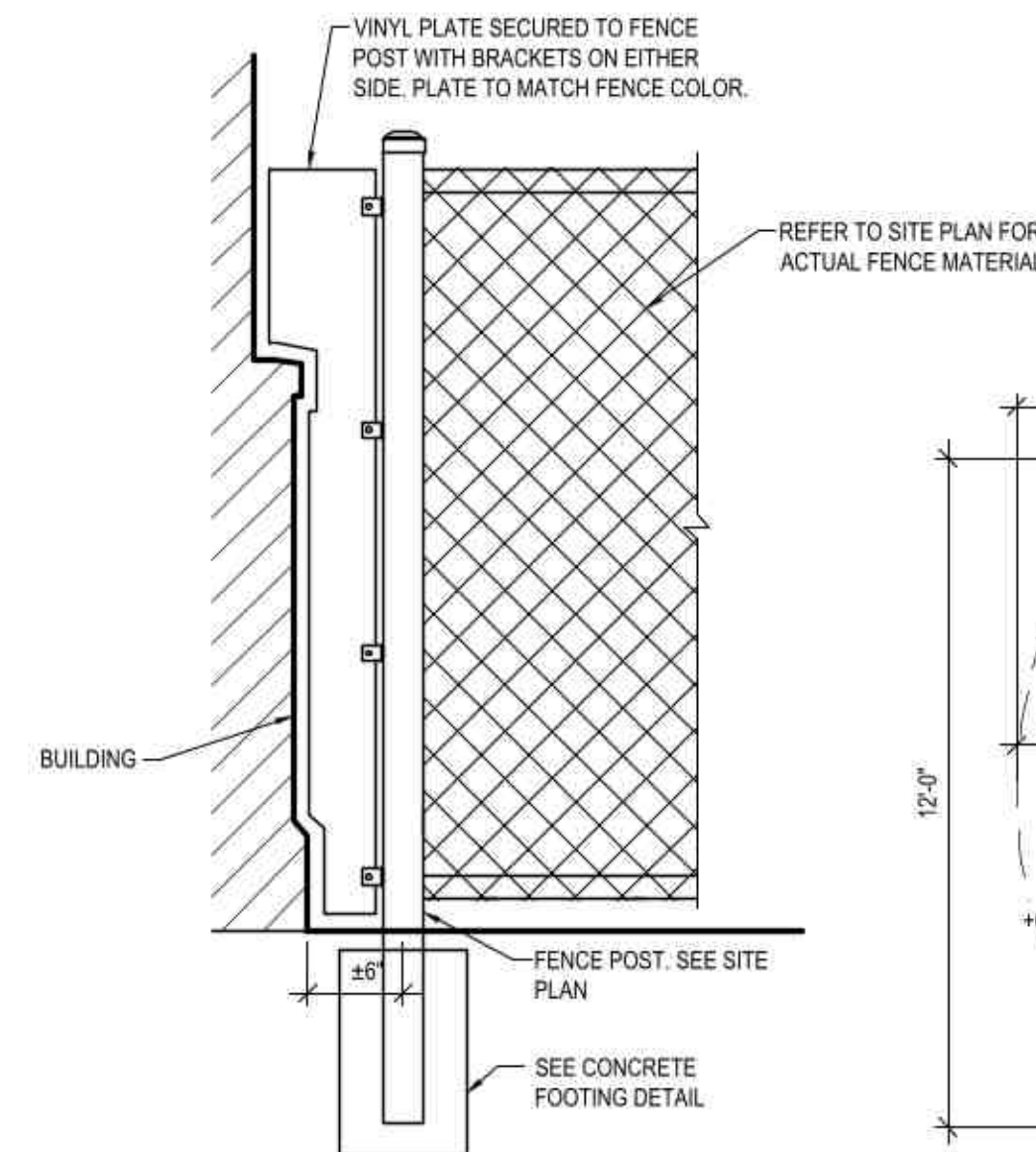
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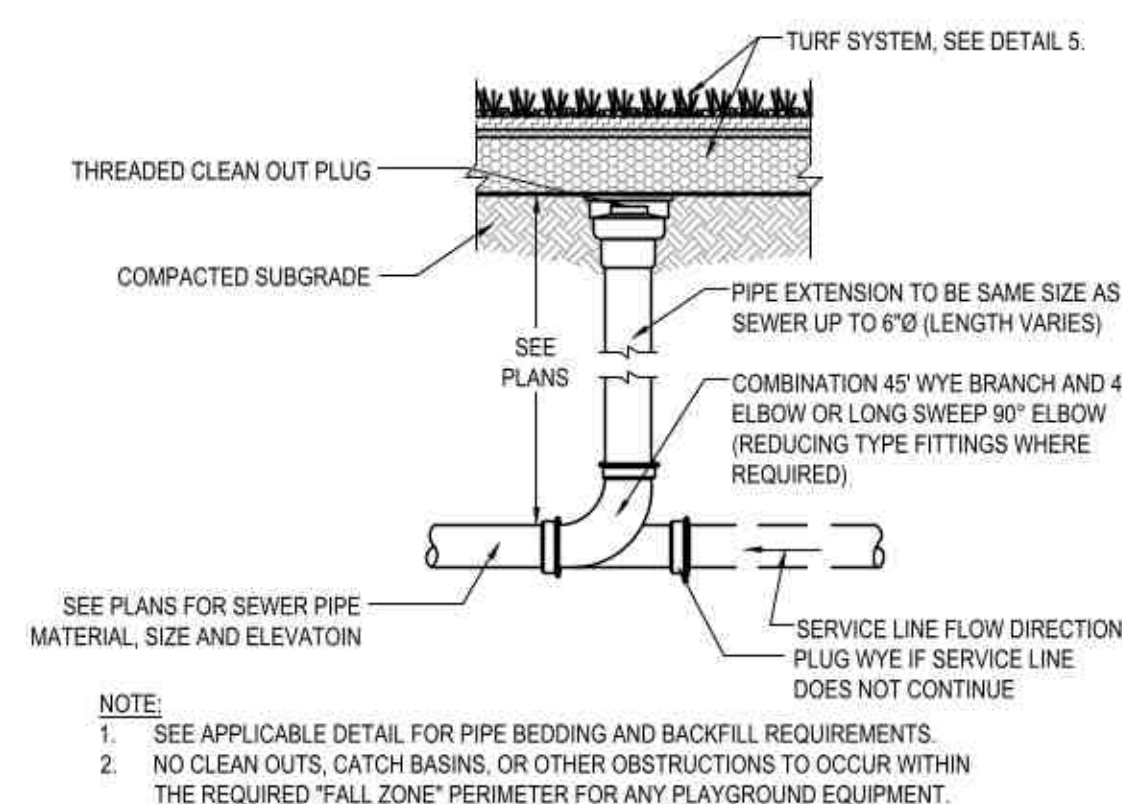
7 BASKETBALL COURT DETAIL  
AS2.0 SCALE: NTS



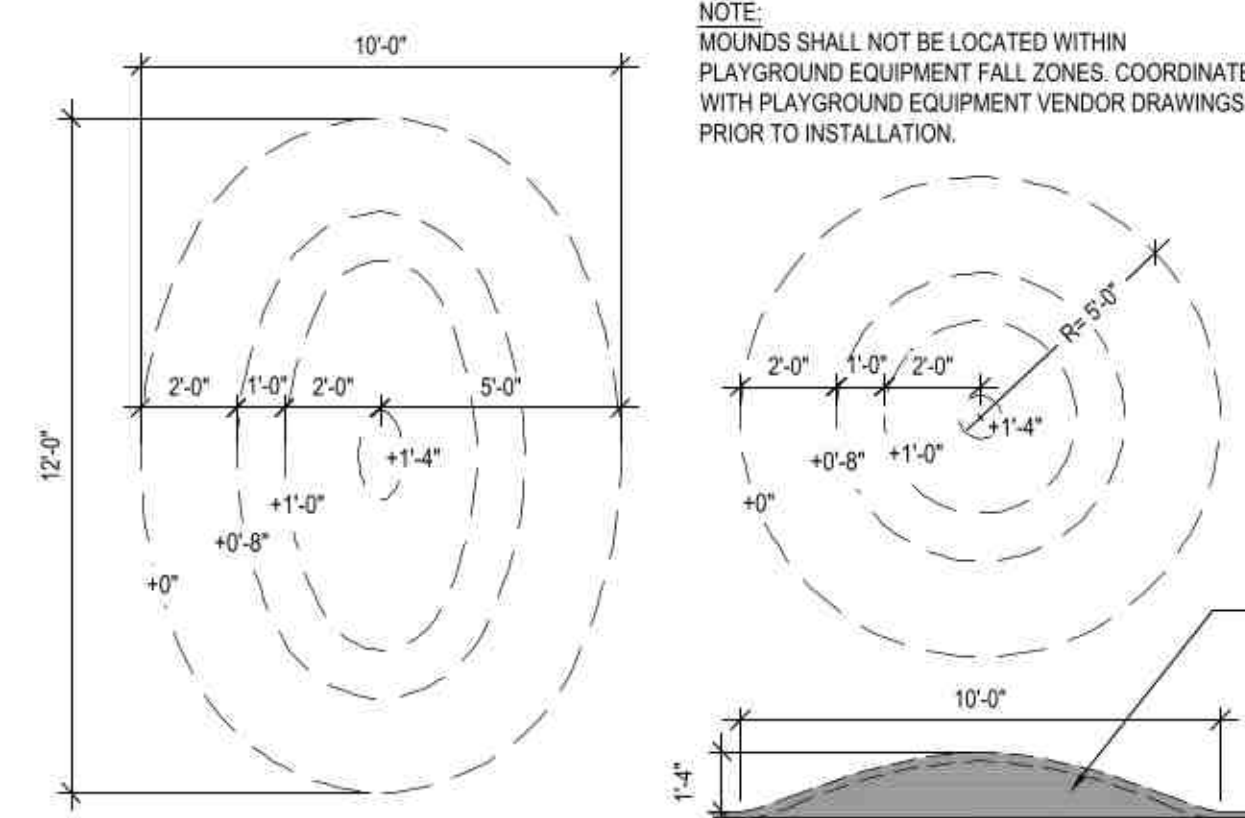
3 TRANSITION TYPE 'B'  
AS2.0 SCALE: NTS



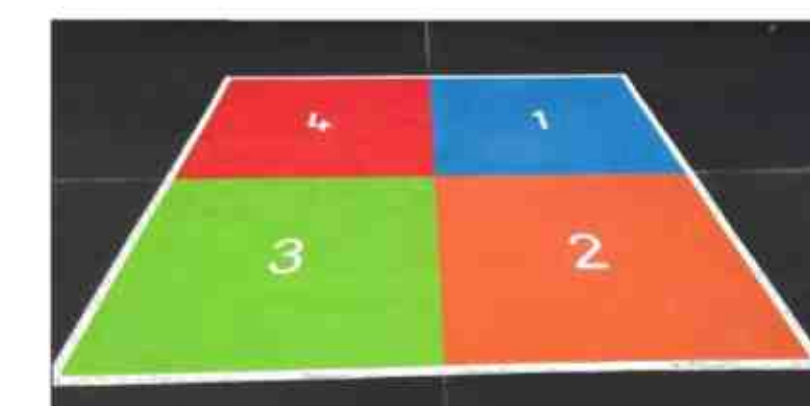
10 FENCE POST FILLER PLATE  
AS2.0 SCALE: 1"=1'-0"



6 UNDERDRAIN CLEANOUT DETAIL  
AS2.0 SCALE: NTS



11 TURF MOUND DEMENSIONS  
AS2.0 SCALE: N.T.S.



**FOUR SQUARE**  
Dimensions: 9'-10" x 9'-10" (3m x 3m)



HOPSCOTCH  
Dimensions: 9'-2" x 2'-7" (2.8m x 0.8m)

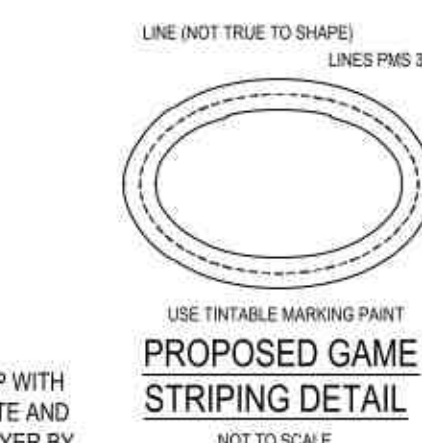
**NOTE:**  
MOUNDS SHALL NOT BE LOCATED WITHIN  
PLAYGROUND EQUIPMENT FALL ZONES. COORDINATE  
WITH PLAYGROUND EQUIPMENT VENDOR DRAWINGS  
PRIOR TO INSTALLATION.



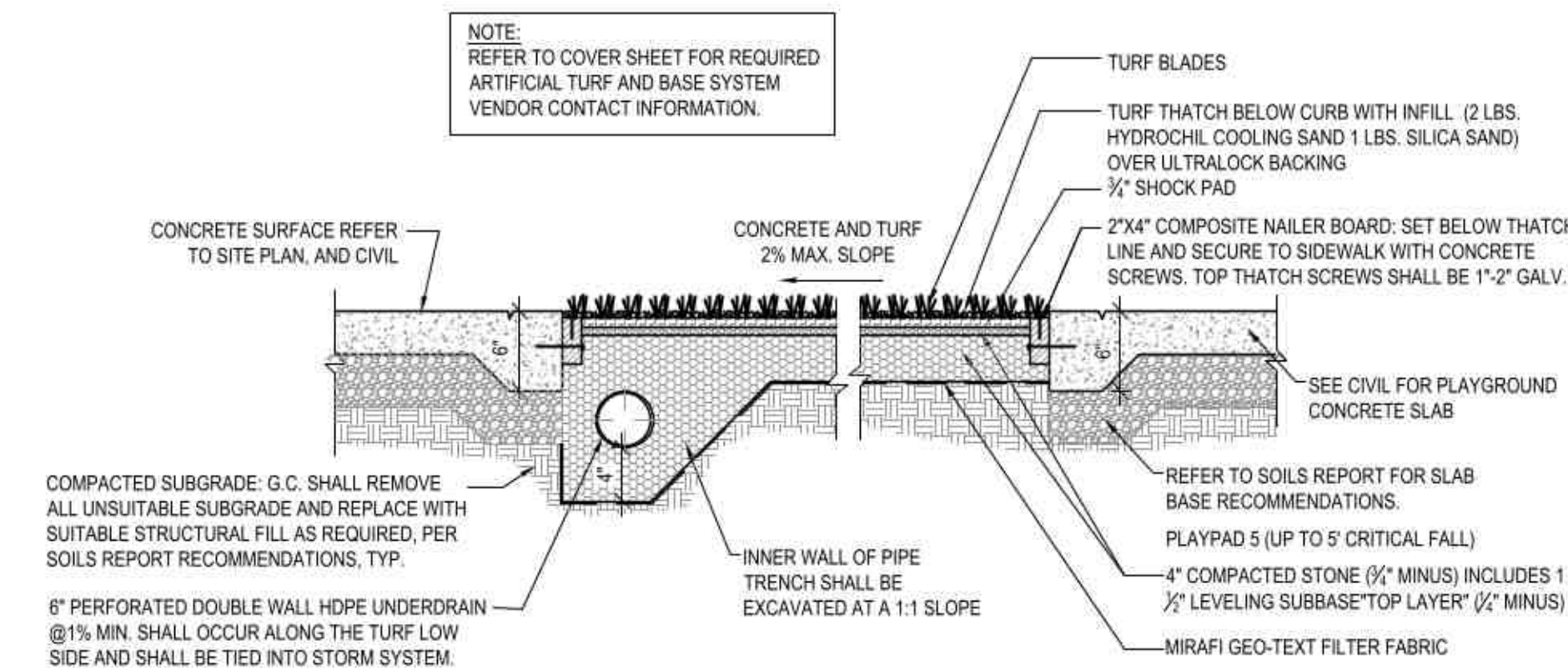
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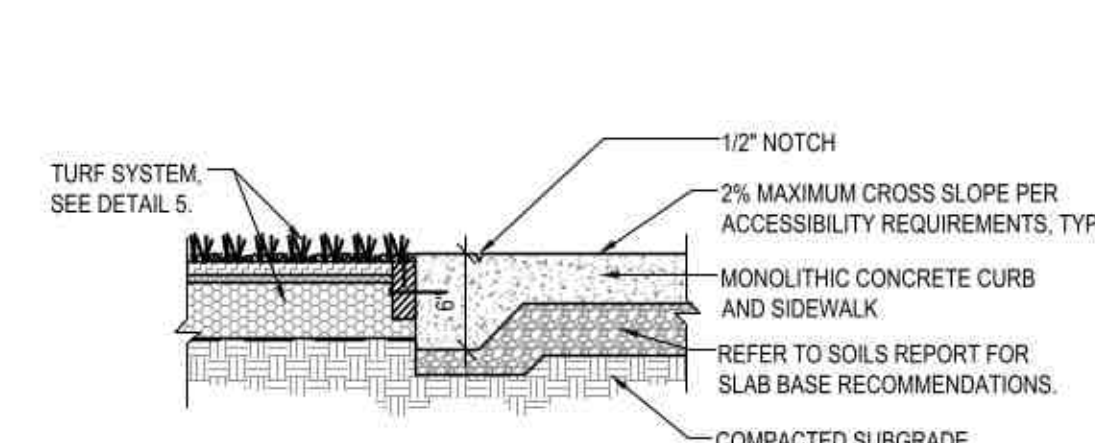
8 PIECE ACTIVITY TRACK - SET-UP ON SIDE WALK  
(Eliminate Words)



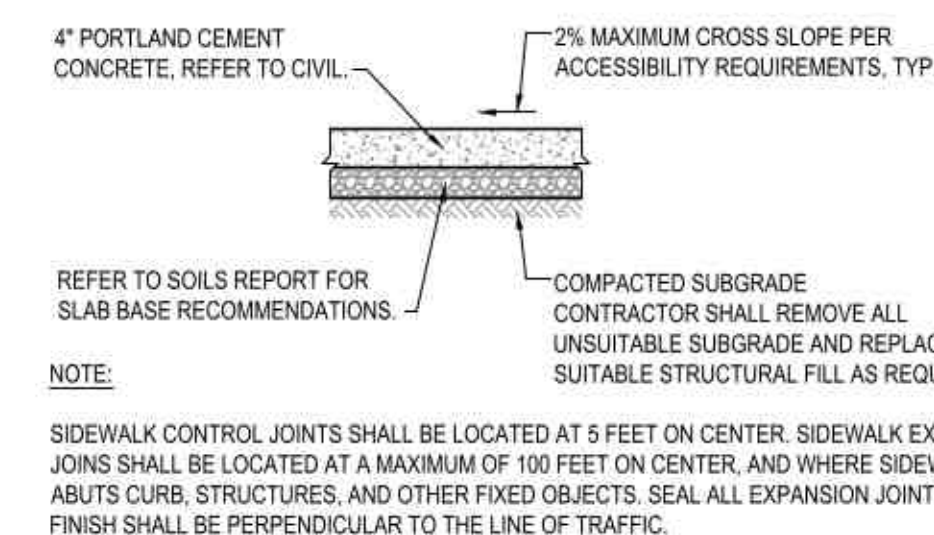
9 PLAYGROUND GAMES - PAINTING  
AS2.0 SCALE: NTS



5 TYPICAL ARTIFICIAL TURF DETAIL  
AS2.0 SCALE: NTS



2 TRANSITION TYPE 'A'  
AS2.0 SCALE: NTS



1 CONCRETE SIDEWALK DETAIL  
AS2.0 SCALE: NTS



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12 K PROTOTYPE/MODEL

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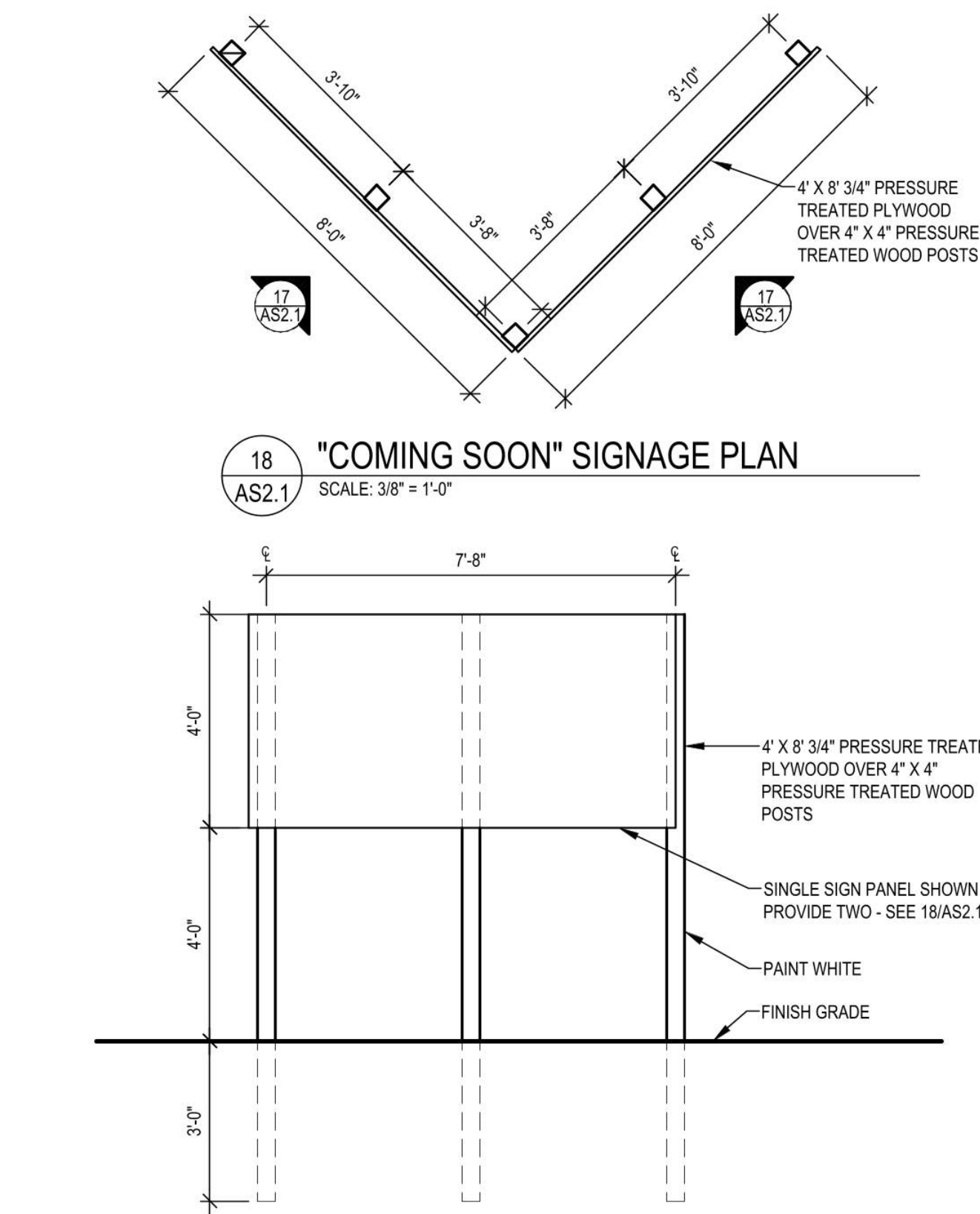
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## PLAYGROUND DETAILS

DATE	03/01/2022
JOB NO.	22024

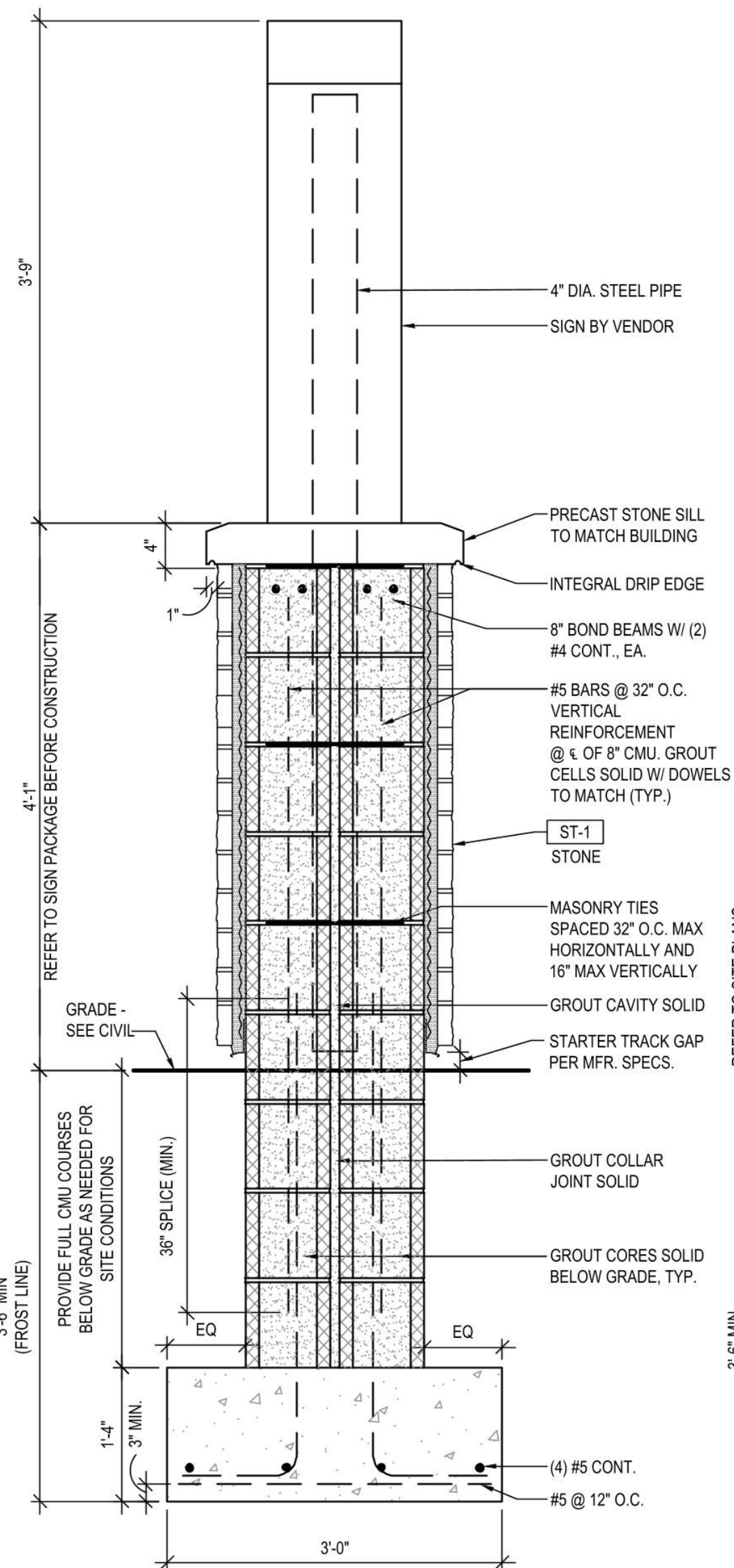
AS2.0  
SHEET NO.



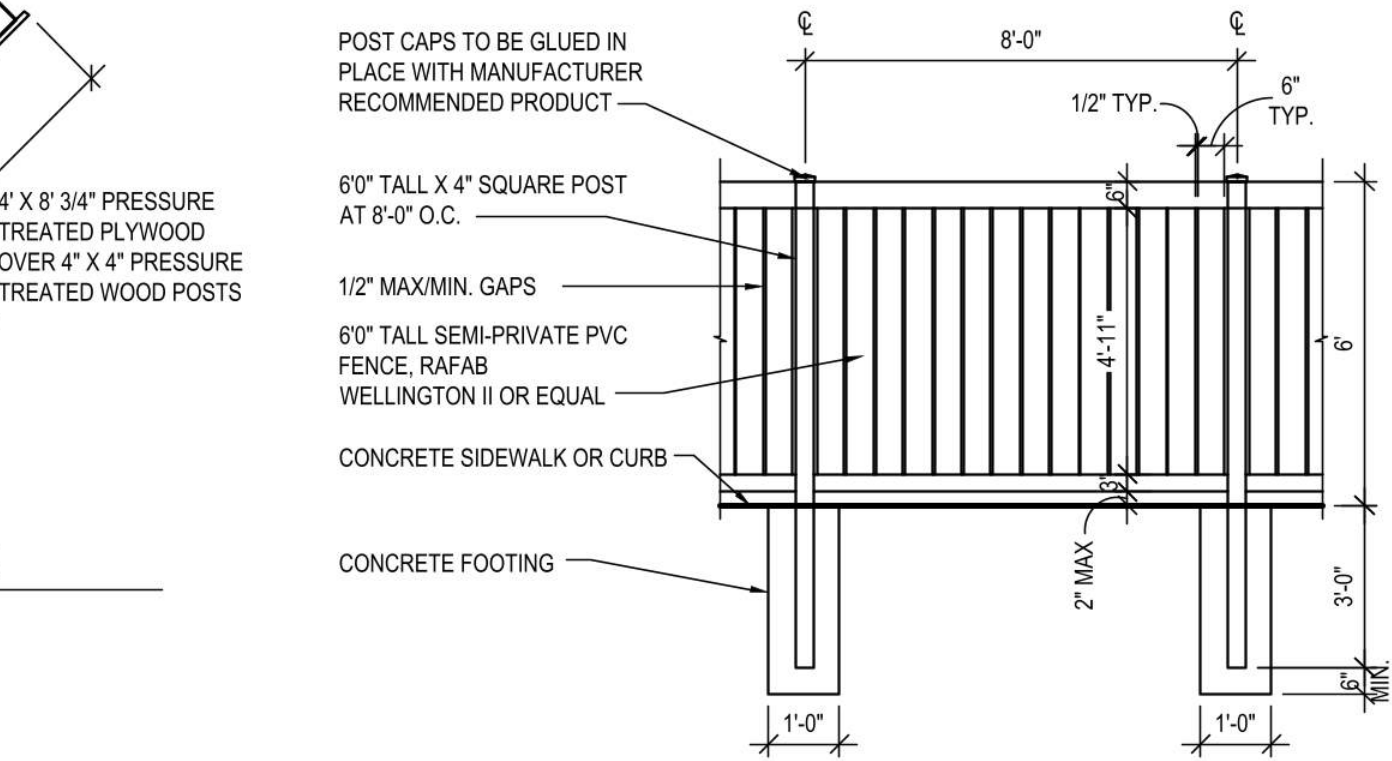


18 "COMING SOON" SIGNAGE PLAN  
SCALE: 3/8" = 1'-0"

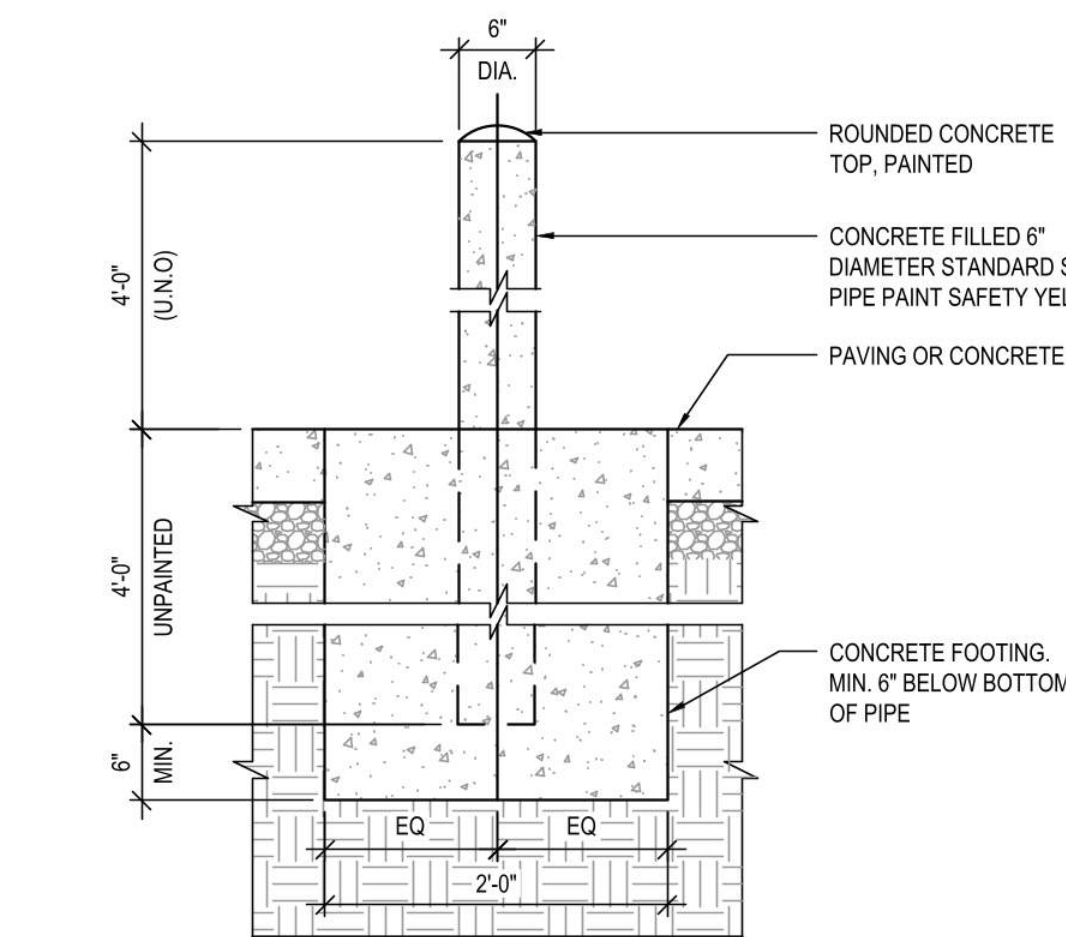
17 "COMING SOON" SIGNAGE ELEVATION"  
SCALE: 3/8" = 1'-0"



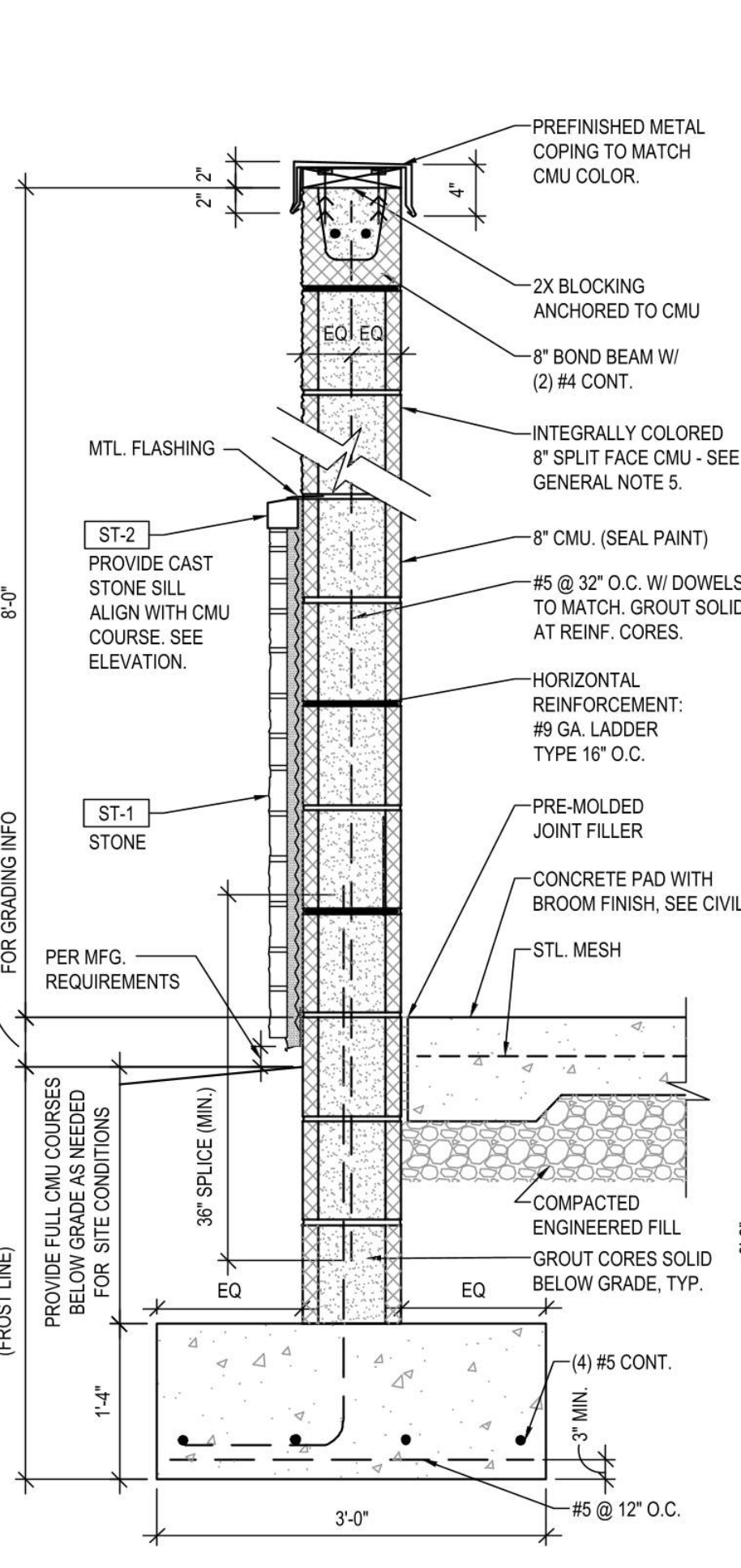
5 SECTION THRU MONUMENT SIGN  
SCALE: 1" = 1'-0"



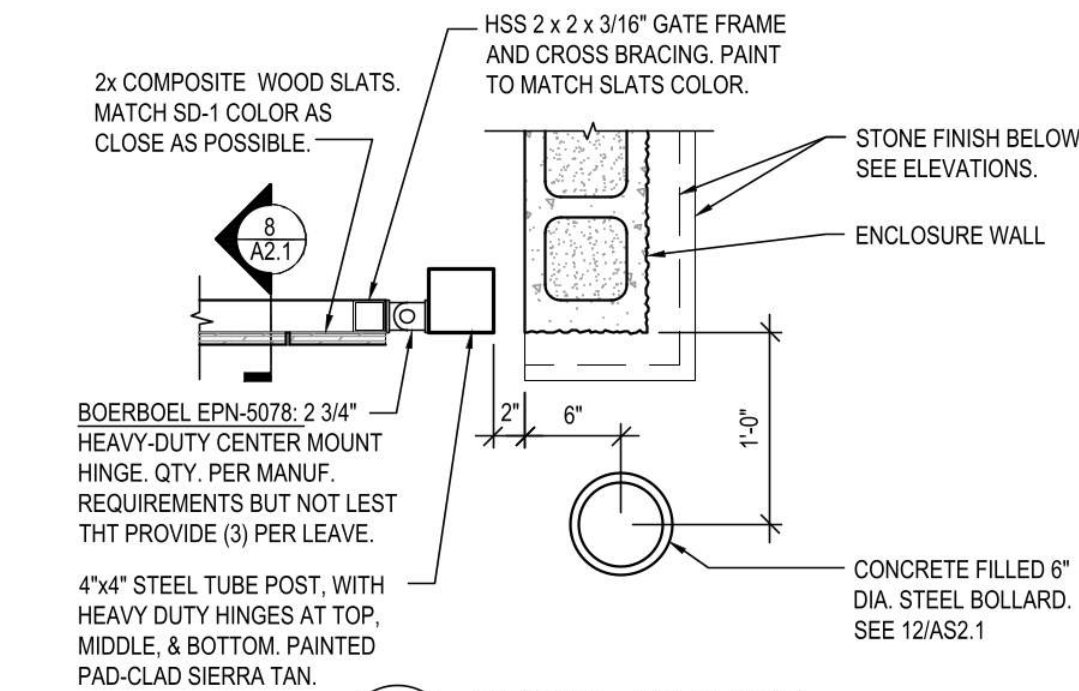
16 SEMI-PRIVATE PVC FENCE  
SCALE: NTS



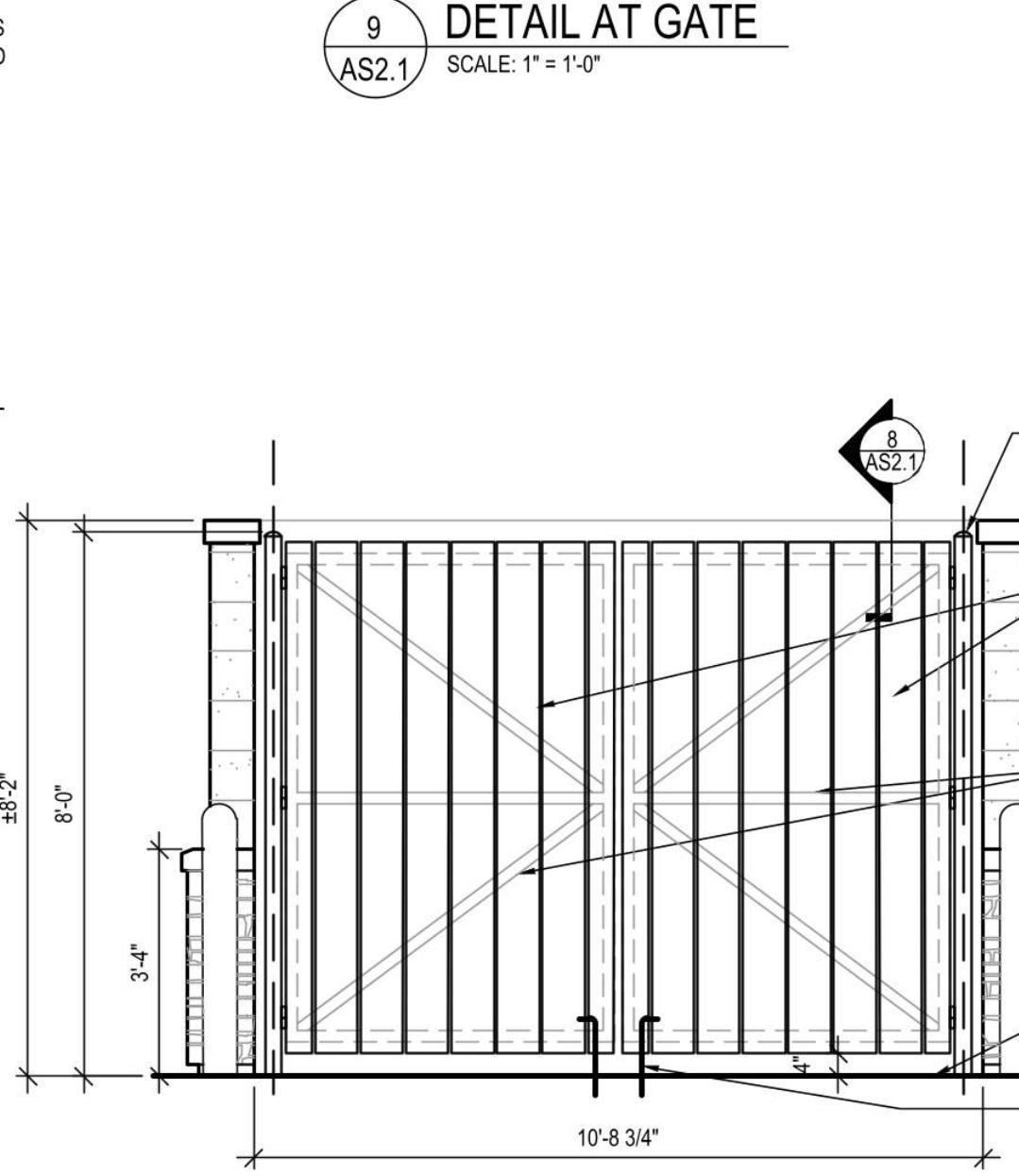
12 DETAIL AT PIPE BOLLARD  
SCALE: 3/8" = 1'-0"



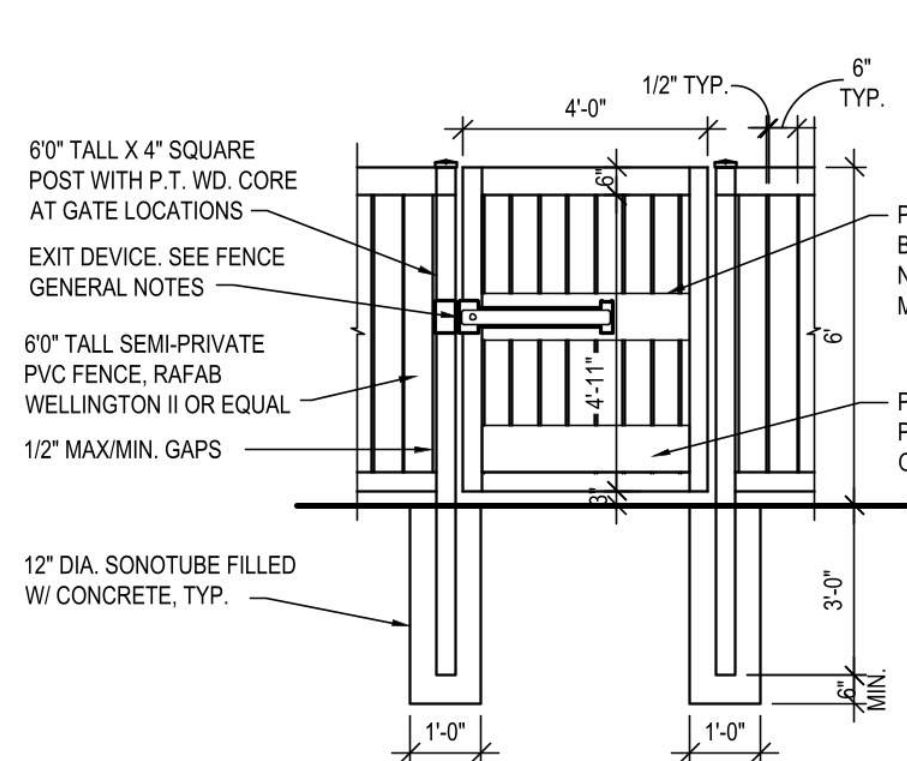
4 TRASH ENCLOSURE WALL SECTION  
SCALE: 1" = 1'-0"



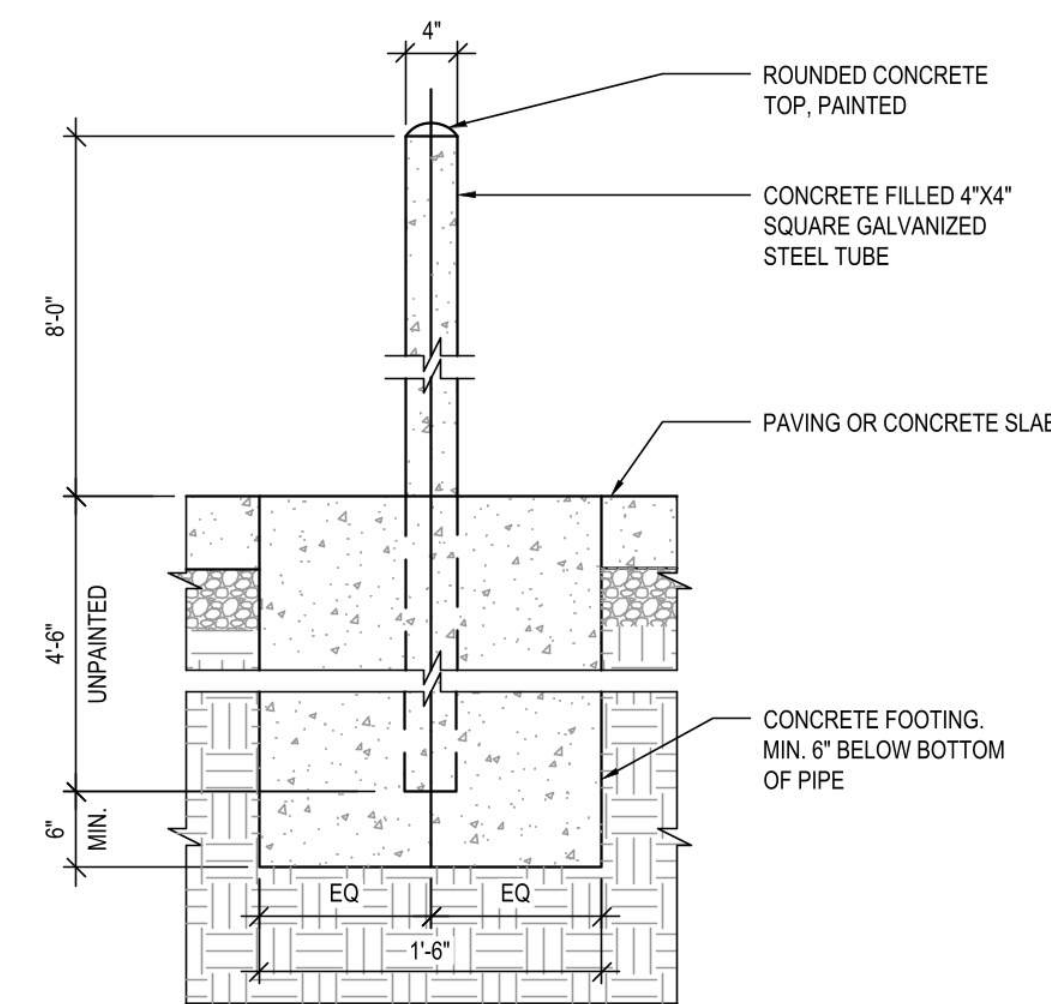
9 DETAIL AT GATE  
SCALE: 1" = 1'-0"



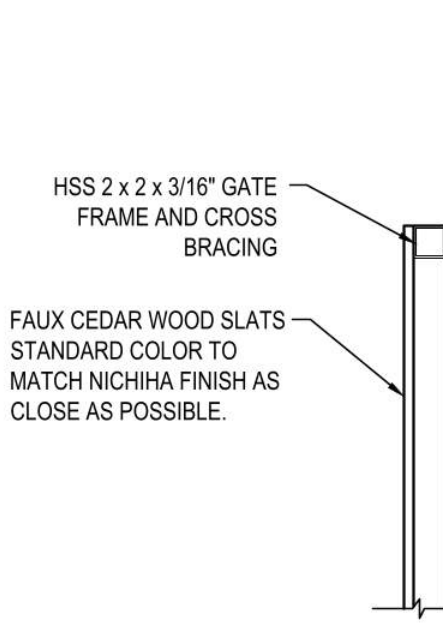
3 ELEVATION AT ENCLOSURE  
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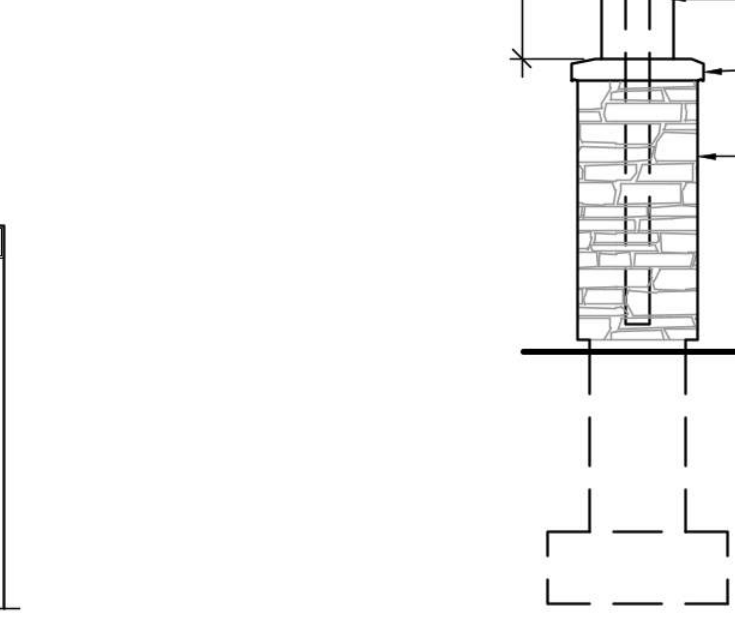
15 PVC FENCE GATE  
SCALE: NTS



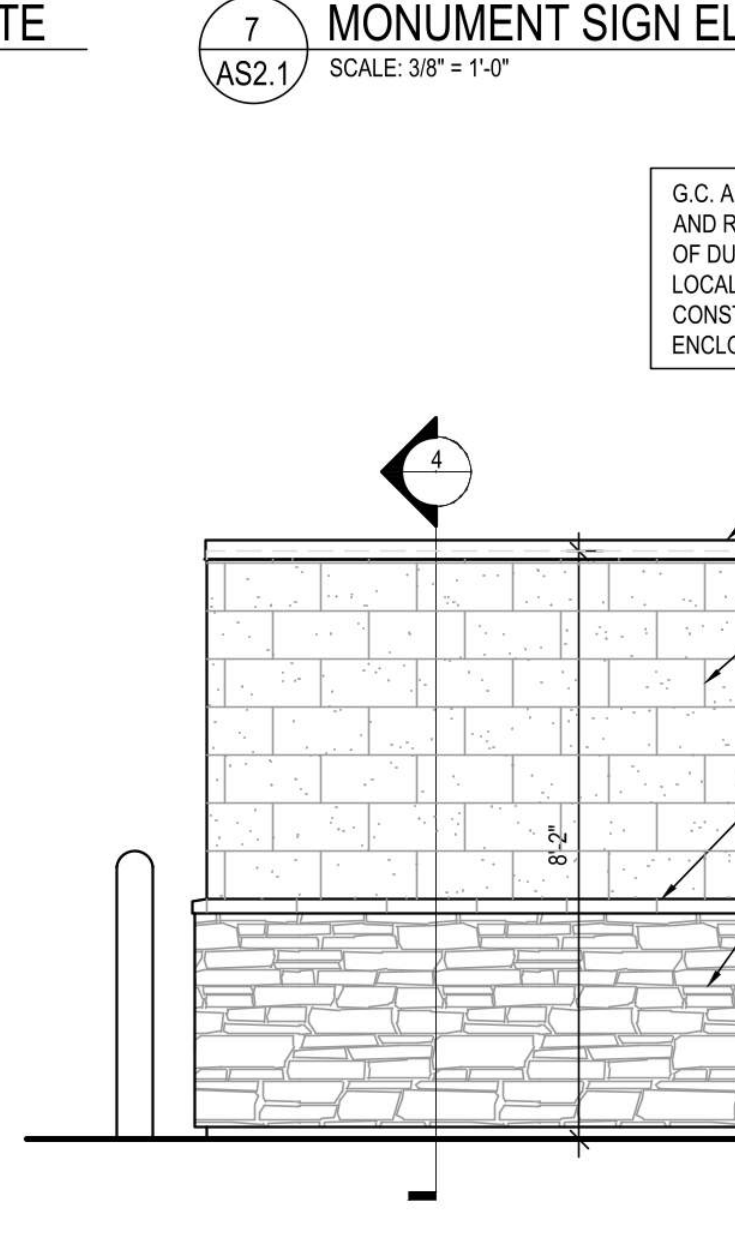
11 DETAIL AT GATE POST  
SCALE: 3/8" = 1'-0"



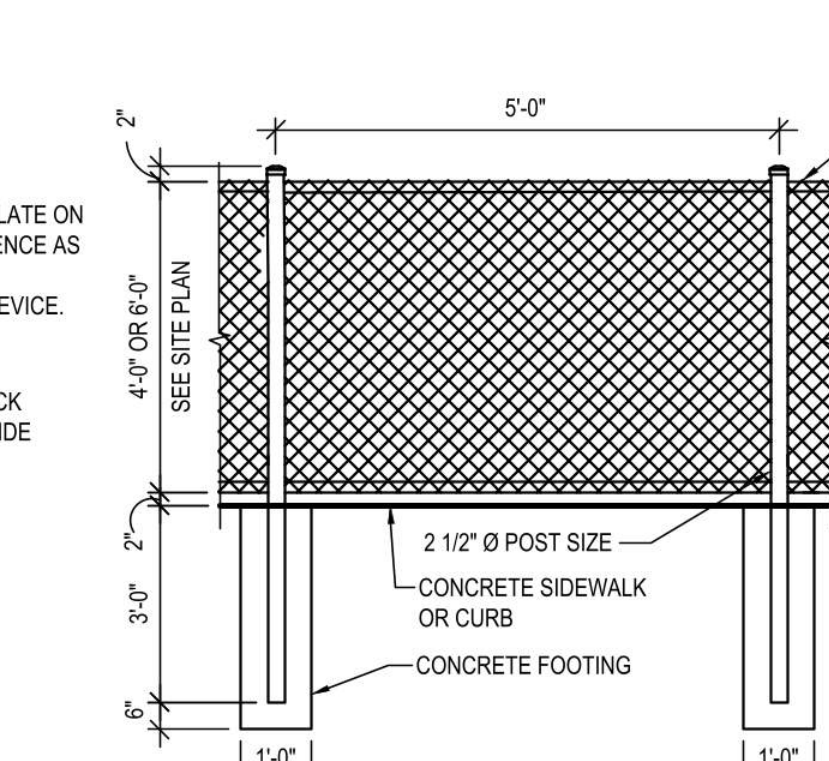
8 DETAIL AT GATE  
SCALE: 1" = 1'-0"



7 MONUMENT SIGN ELEVATION  
SCALE: 3/8" = 1'-0"



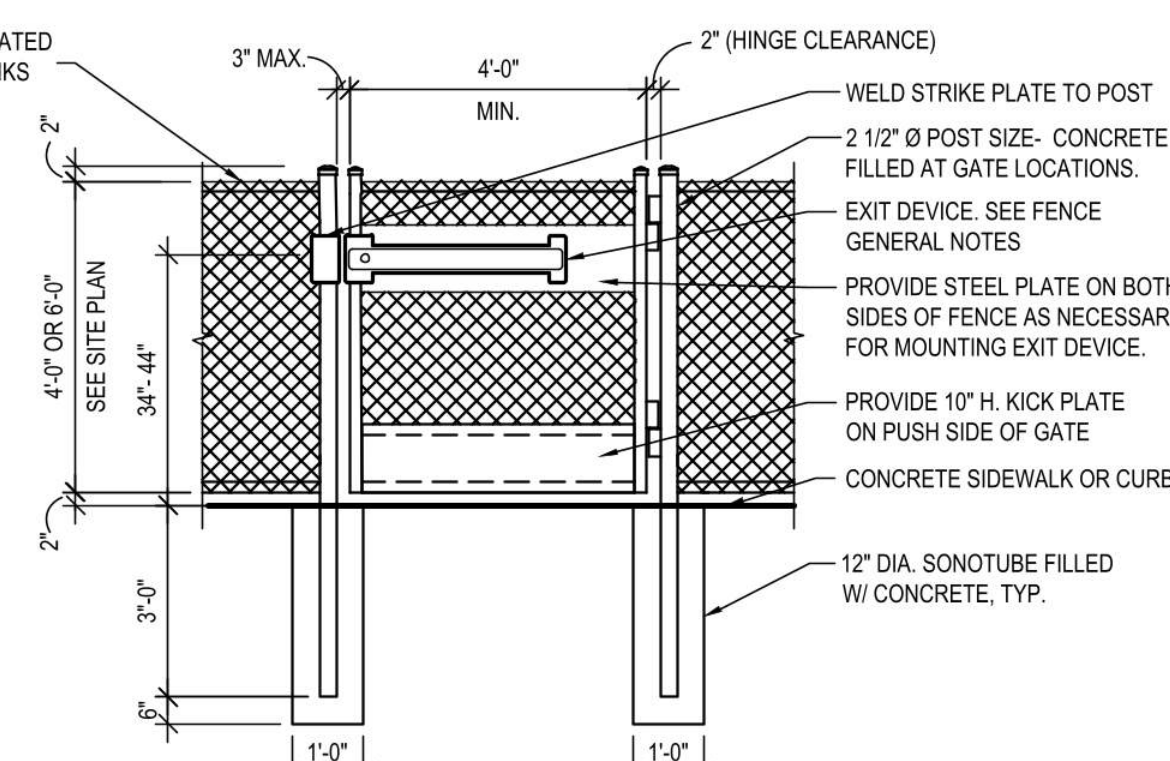
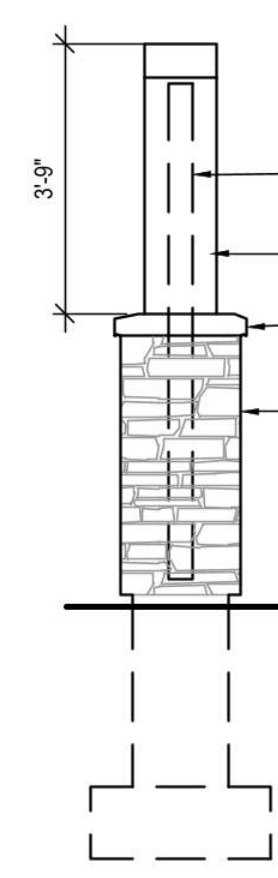
2 ELEVATION AT ENCLOSURE  
SCALE: 3/8" = 1'-0"



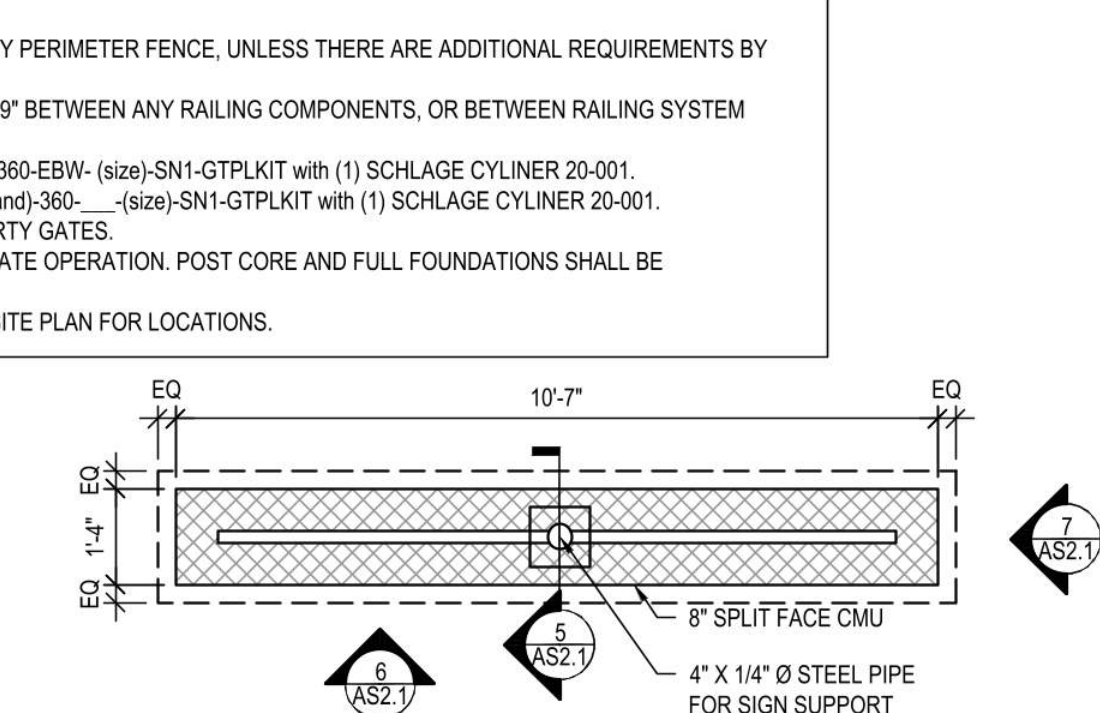
14 CHAIN LINK FENCE  
SCALE: NTS

- FENCE GENERAL NOTES
1. MAINTAIN A MAXIMUM 2" GAP ALONG THE BOTTOM OF RAIL OF ANY PERIMETER FENCE, UNLESS THERE ARE ADDITIONAL REQUIREMENTS BY THE STATE LICENSING REGULATIONS.
  2. THERE SHALL BE NO OPEN SPACES MEASURING BETWEEN 3-1/2'-9" BETWEEN ANY RAILING COMPONENTS, OR BETWEEN RAILING SYSTEM AND EXISTING FLOOR OR WALLS.
  3. WEATHERIZED EXIT DEVICE (ALARMED); ADVANTEX V40W-(hand)-360-(size)-SN1-GTPLKIT with (1) SCHLAGE CYLINER 20-001.
  4. WEATHERIZED EXIT DEVICE (NOT ALARMED); ADVANTEX V40W-(hand)-360-(size)-SN1-GTPLKIT with (1) SCHLAGE CYLINER 20-001.
  5. PROVIDE TYPICAL CLAW FOOT GATE LATCH AT INTERIOR PROPERTY GATES.
  6. GC SHALL ENSURE THAT GATE POSTS REMAIN ALIGNED AFTER GATE OPERATION. POST CORE AND FULL FOUNDATIONS SHALL BE PROVIDED PER PLANS.
  7. INSTALL SELF CLOSING HINGES AT ALARMED GATES. REFER TO SITE PLAN FOR LOCATIONS.

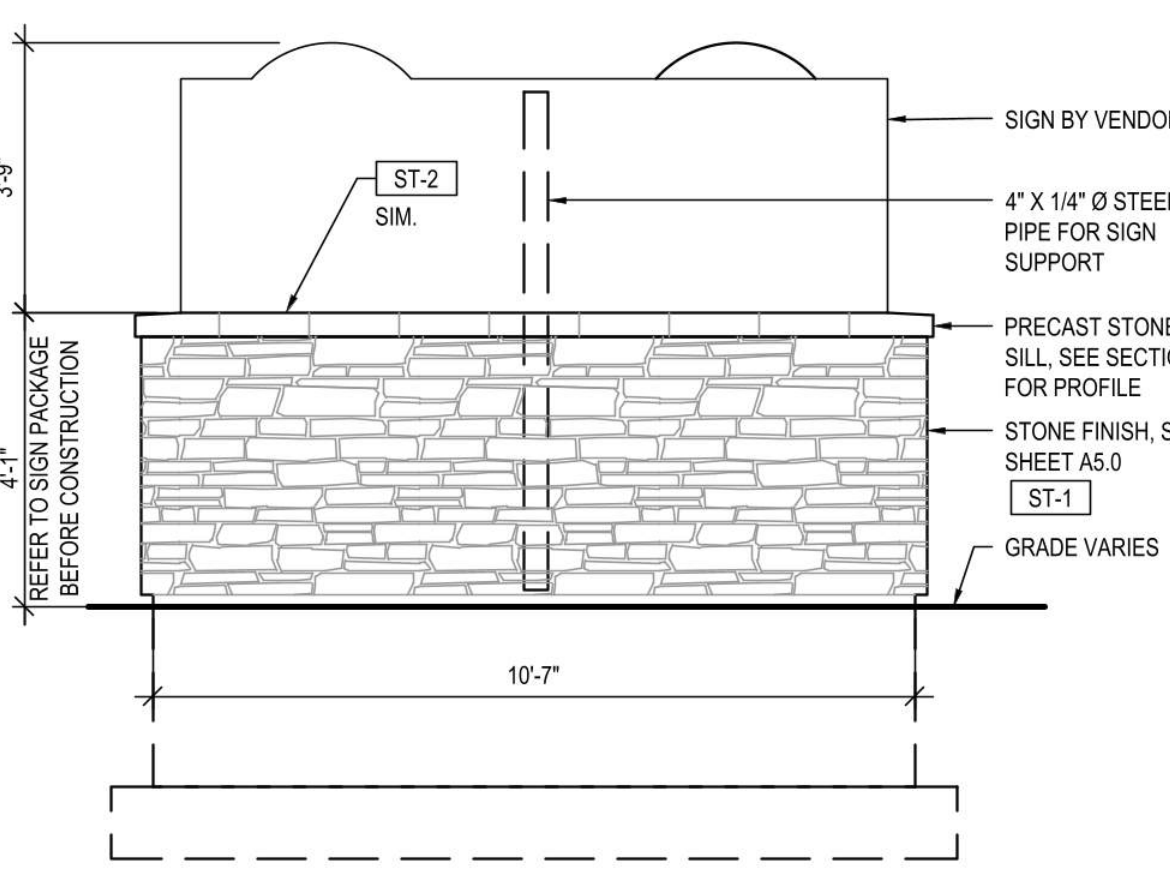
- GENERAL NOTES
1. CONTRACTOR SHALL VERIFY SIZE OF DUMPSTER WITH LOCAL WASTE HAULER, NOTIFY ARCHITECT AND CIVIL AND ADJUST ENCLOSURE SIZE AS REQUIRED.
  2. REFER TO CIVIL DRAWINGS FOR LOCATION OF MONUMENT SIGN & DUMPSTER ENCLOSURE.
  3. COORDINATE MONUMENT SIGN SIZE AND OVERALL DESIGN WITH SIGN MANUFACTURER PRIOR TO MASONRY BASE CONSTRUCTION.
  4. SEE EXTERIOR ELEVATIONS FOR EXTERIOR FINISH SCHEDULE.
  5. SPLIT FACE BLOCK (STANDARD COLOR) SHALL MATCH EIFS-1 COLOR AS CLOSE AS POSSIBLE. SUBMIT SAMPLES TO ARCHITECT FOR COLOR APPROVAL.



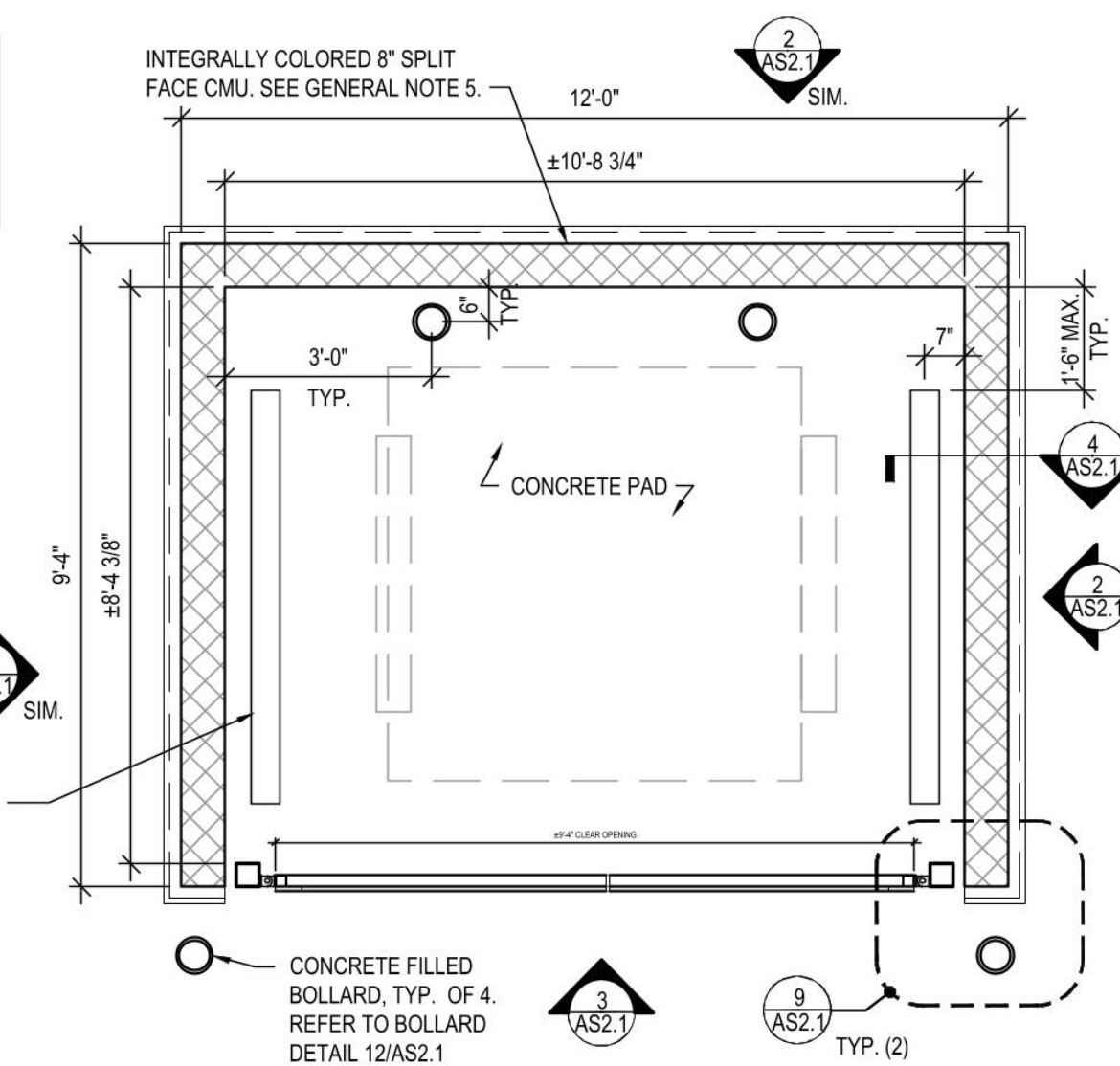
13 CHAIN LINK FENCE GATE  
SCALE: NTS



10 MONUMENT SIGN PLAN  
SCALE: 3/8" = 1'-0"



6 MONUMENT SIGN ELEVATION  
SCALE: 3/8" = 1'-0"



1 PLAN AT ENCLOSURE  
SCALE: 3/8" = 1'-0"



ARCHITECTS, INC.

17710 Detroit Avenue  
Lakewood, Ohio 44107  
Phone (216) 521-3134  
Fax (216) 521-4624  
www.a2architects.co

EVERBROOK ACADEMY- FRANKFORT

12 K PROTOTYPEMODEL

LINCOLN HWY

FRANKFORT, IL 60423

REVISIONS

#	DATE	TYPE
1		
2		
3		
4		
5		
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7		
8		
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10		

SITE DETAILS

DATE 03/01/2022  
JOB NO. 22024

AS2.1

SHEET NO.

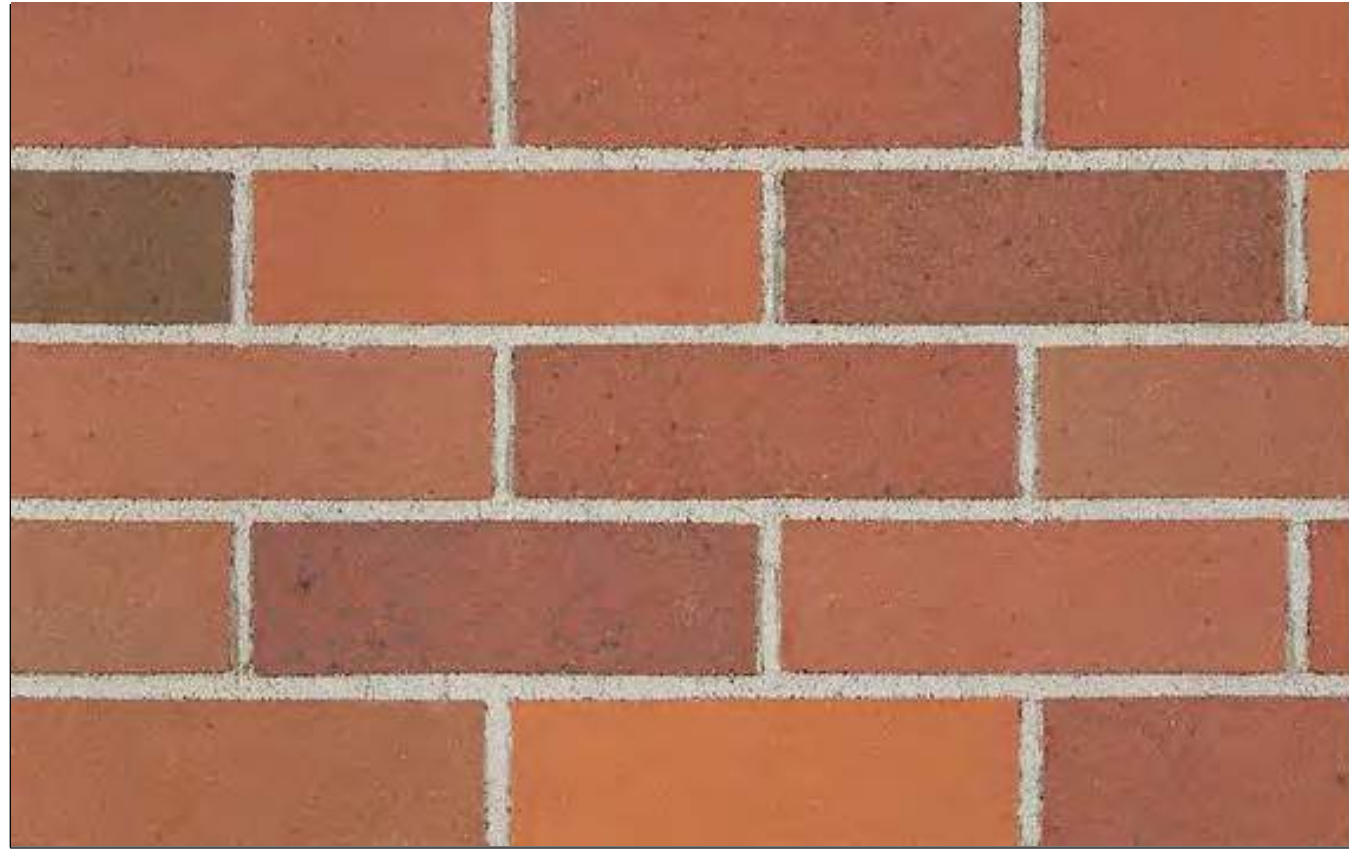
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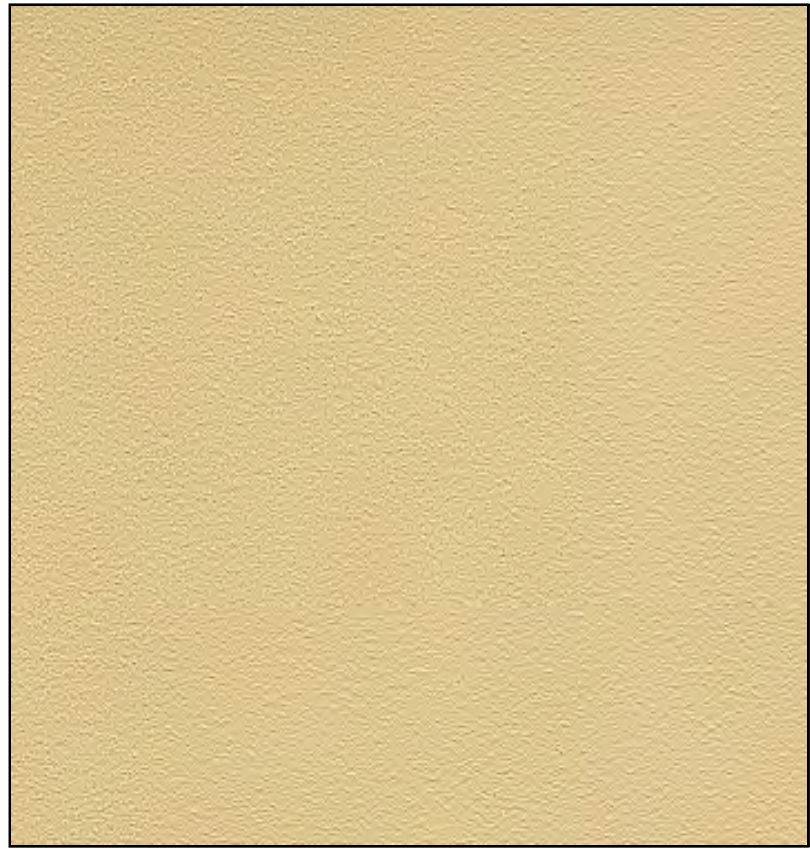
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By Mike Schwarz at 9:12 am, Apr 18, 2022



AS-1



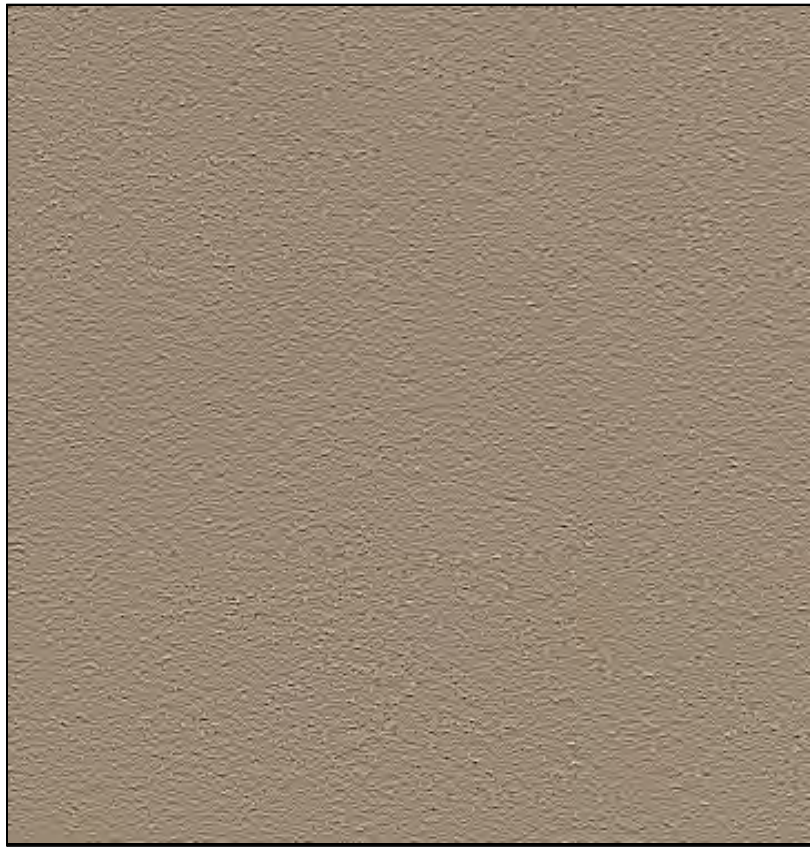
BK-1



EIFS-1



EIFS-2



EIFS-3



PM-1



SD-1



ST-1



ST-2



WHITE SEMI-PRIVATE  
FENCE

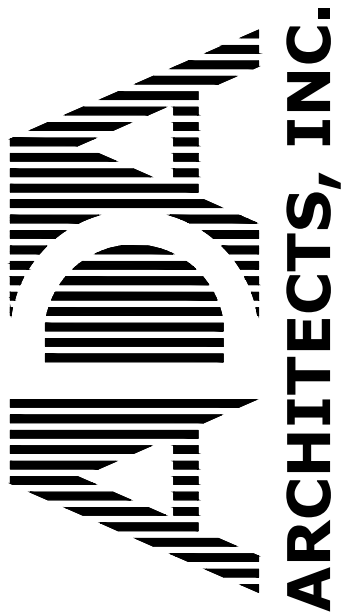


VINYL COATED  
CHAIN LINK FENCE



ORNAMENTAL  
FENCE

EXTERIOR FINISH LEGEND	
TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BR-1	BRICK: THIN BRICK COLOR: SIMILAR TO ADJACENT BMO HARRIS BANK
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #108 MANOR WHITE
EIFS-2	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #142ST SPECTRUM BROWN
EIFS-3	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #452ST STORMY NITE
GL-1	STOREFRONT GLAZING, COLOR: CLEAR
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR TO MATCH FASCIA. (PAD-CLAD SIERRA TAN)
PM-1	PRE FINISHED METAL TRIM AND FLASHING: COLOR TO MATCH ADJACENT FINISH AS CLOSE AS POSSIBLE, U.N.O.
SD-1	FIBER CEMENT SIDING: NICHHA VINTAGE WOOD, COLOR: CEDAR #EPC762F. TRIM TO MATCH CEDAR PANEL COLOR.
ST-1	STONE: CULTURED STONE, COUNTRY LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: ALMOND
WN-2	CLEAR ANODIZED ALUMINUM STOREFRONT
SFT	VENTED VINYL SOFFIT: STANDARD COLOR TO MATCH BUILDING FASCIA BD. (TAN COLOR) AS CLOSE AS POSSIBLE
DOORS & FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES COLOR: TO MATCH SW 7531 CANVAS TAN.



EVERBROOK ACADEMY- FRANKFORT

12 K PROTOTYPE/MODEL

LINCOLN HWY

FRANKFORT, IL, 60423

REVISIONS

#	DATE	TYPE
1		
2		
3		
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DATE 03/01/2022

JOB NO. 22024

SHEET NO.



**Project:** Rhumbar  
**Meeting Type:** Workshop  
**Requests:** Special Use for a full-service restaurant with liquor sales; Special Use for outdoor seating; Major Change to the Brookside Commons Office Centre PUD (amending Ordinance No. 1895 which granted a Special Use for a Planned Development in 2002)  
**Location:** 10211 W. Lincoln Highway  
**Applicant:** Joji Tirumalareddy, Tulips Chicago LLC dba Rhumbar  
**Prop. Owner:** Medha Teja LLC-Frankfort  
**Consultants:** William Warman, Architect  
**Representative:** David Bejgiert, Attorney  
**Report By:** Michael J. Schwarz, AICP

### Site Details

**Lot Size:** 1.3 acres (56,628 SF)  
 19-09-21-304-021-0000  
**Existing Zoning:** B4 Office District, PUD  
**Prop. Zoning:** B4 Office District, PUD, with a Special Use for a Full-Service Restaurant with Liquor Sales;  
 Special Use for Outdoor Seating  
**Building(s) / Lot(s):** 1 building (7,061 SF) / 1 lot  
**Adjacent Land Use Summary:**

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Restaurant	General Commercial	B4 PUD
<b>North</b>	Residential	Single-Family Residential	R-2
<b>South</b>	Office	General Commercial	B4 PUD
<b>East</b>	Office	General Commercial	B4 PUD
<b>West</b>	Restaurant	General Commercial	B4 PUD

Figure 1: Location Map PIN(s):



### Project Summary

The applicant, Joji Tirumalareddy, has filed an application requesting approval of a Special Use for a full-service restaurant with liquor sales; a Special Use for outdoor seating; and a Major Change to the Brookside commons Office Centre PUD (amending Ordinance No. 1895 which granted a Special Use for a Planned Development in 2002), for the subject property located at 10211 W. Lincoln Highway. Joji Tirumalareddy holds 100 percent interest in Tulips Chicago LLC doing business as Rhumbar. Medha Teja LLC is the real estate company holding the ownership of the building. Tulips Chicago LLC is leasing the property from Medha Teja LLC.

The applicant proposes to open a new restaurant to be named Rhumbar. The subject building was most recently occupied by Simply Smokin BBQ however has been vacant for many years. In 2015, the same applicant requested and was granted these same requests but was not granted a liquor license and never opened the restaurant. On October 5, 2015, the Village Board approved Ordinance No. 2990 which granted a Special Use for a full-service restaurant with liquor sales; Ordinance No. 2991 which granted a Special Use for outdoor seating; and Ordinance



No. 2992 which granted a Major Change to the Brookside Commons Office Centre PUD. Given that the Special Uses never commenced on the property, the applicant must re-apply and again go through the Village's review process. At this time, the applicant is also proposing to add a small addition to near the southwest corner of the building to add an exterior cooler, as well as construct a new covered vestibule at the northeast corner of the building.

### **Attachments**

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1. 2020 Aerial Photograph from Will County GIS
2. Site Photos taken on 5.19.22
3. Site Plan, Floor Plans and Building Elevations dated 4.29.22 received 4.29.22

### **Analysis**

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In consideration of the request, staff offers the following points of discussion:

#### **Full-Service Restaurant with Liquor Sales**

- The sale of liquor is typical in connection with full-service restaurants in Frankfort.
- The Village of Frankfort Zoning Ordinance contains several special use categories addressing a wide range of liquor sales operations, each with their own corresponding standards.
- Rhumbar is classified as a full-service restaurant with liquor sales and is subject to the following use standards:
  1. Bar and lounge areas within the restaurant shall not contain more than 25% of the total number of seats located within the premises nor shall they exceed 25% of the total customer floor area (**Likely complies but will need to be confirmed**). *A total of 154 seats are labeled on the first floor and 80 seats are labeled on the second (mezzanine) floor. The project architect must confirm the bar floor area versus the restaurant floor area.*
  2. Bar and lounge areas within the restaurant shall be reasonably delineated from the dining area by a wall, partition or similar permanent and physical improvement (**Likely complies but will need to be confirmed**). *Floorplan is not clear regarding proposed new mezzanine walls versus new first floor walls.*
  3. Amusement devices are not permitted (**Complies - none proposed**).
  4. Electronic video displays and their accompanying audio, including but not limited to televisions and projection screens, shall not be located or transmitted outside of the dedicated bar or lounge area (**Complies – all televisions and their sound will be limited to the dedicated bar area**).
  5. All menu items and specials shall be available until one hour prior to closing and shall be prepared and cooked by an on-site kitchen staff (**Complies - all food will available until close**).
- Significant interior renovation is proposed in order to comply with the standards for this Special Use, as the existing bar is centrally located and not delineated from the dining area.
- The applicant's 2015 liquor license request included a request for live entertainment. The 2015 plans depicted a 5' x 7' stage in the northwest corner of the bar area. No such stage is depicted on the proposed floor plan.
- The subject property was designed and intended for restaurant use as part of the PUD approval for the original Brookside Commons Office Complex. All previous tenants have used the building as a restaurant.
- Previous restaurant tenants have provided liquor sales at this location.



- During the 2015 workshop meeting Commissioners discussed parking availability in the immediate area noting that daytime parking is limited. The eastern portion of the Brookside Commons Office complex contains 6 office buildings and 2 restaurants which together share 123 parking spaces. Below is a breakdown of Village ordinance requirements based on use and square footage:

Use	Square Footage	Ordinance Provision	Required Parking
Office	25,500	5 / 1,000 sq. ft.	127
Restaurant	9,843	10 / 1,000 sq. ft.	98
total required			225

- Although technically deficient with respect to ordinance requirements (225 spaces required / 123 provided) the original PUD for the Brookside Commons Office development took into consideration shared parking opportunities and offset peak hours of operation. Whereas the office users utilize the majority of the parking during the weekdays, restaurants typically utilize the parking during the evenings and on weekends.
- Despite shared parking opportunities it is reasonable to assume that restaurant parking availability will be limited during the late afternoon and early evening hours on weekdays where restaurant and office hours overlap.
- Commissioners are encouraged to consider that that any use of the vacant building will increase parking demand beyond present day observations. If the subject building was converted to an office use, overall parking requirements would be reduced to 192 spaces however more of the parking would be in demand during the weekday daytime hours and any shared parking / offset peak hour efficiencies would be reduced or eliminated.

#### Extended Hours

- Village ordinance limits the permissible hours of operation for commercial businesses to the hours of 7:00 am to 11:00 pm. Establishments that operate outside of those hours must be approved to do so through a Special Use Permit.
- The applicant has not applied for extended hours of operation at this time.
- Following the 2015 workshop meeting the applicant agreed to limit his requested hours of operation to 11:00 pm during the week and 12:00 pm on Friday and Saturdays only. The initial 2015 proposal contemplated 1:00 am daily operation.
- The 2015 staff report noted that the Village previously approved extended hours of operation until 12:00 am or later for several full-service restaurants with liquor sales including Jameson's, Tommy Nevins (since closed), Buffalo Wild Wings, Francesca's, and La Dolce Vita.
- None of the previous restaurant tenants at this location had requested extended hours of operation.

#### Outdoor Seating

- Outdoor seating areas require approval of a Special Use within the B4 zoning district.
- The applicant intends to provide outdoor seating on the existing concrete patio area north and east of the primary entrance.
- The 2015 Site Plan reflected thirty-six seats in the proposed outdoor seating area (68 seats initially were proposed).



- Village ordinance requires that outdoor seating areas must be enclosed by a fence or wall with a minimum height of 3' where liquor sales are provided. The applicant previously proposed to install a 4' ornamental iron fence enclosing the entire outdoor seating area.
- At the eastern end of the outdoor seating area the proposed fence would have extended to the edge of the parking lot. At the 2015 workshop meeting Commissioners requested the fence be shifted  $\pm 8'$  to the west so as to allow use of the existing customer drop off / pickup area and limit potential maintenance issues due to vehicular damage. Staff is requesting that the applicant submit a Site Plan to depict the proposed fence location.
- Due to the proposed liquor sales and the outdoor seating area's proximity to residential properties ( $\pm 270'$  south /  $\pm 180'$  north), staff recommends the Commission discuss limiting the hours of the outdoor seating area and prohibiting live entertainment and condition any approvals accordingly.
- The Village of Frankfort zoning ordinance establishes a maximum sound level of 55 decibels measured at the property lines of commercial development. As a point of comparison 55 decibels is comparable to a normal human conversation or the hum of an electrical transformer from 100' away. Staff recommends any outdoor music comply with this requirement as a condition of approval.
- The proposed outdoor area is not expected to significantly increase parking demand and is seasonal in nature.

#### **Major Change to a Planned Unit Development**

- The existing building has been vacant for many years and as a result has not been properly maintained.
- The following site changes require approval of a Major Change to a PUD: installation of a wrought iron enclosure for the outdoor seating area, the proposed new vestibule near the northeast corner of the building, the proposed new exterior cooler addition near the southwest corner of the building, and a new door (bus station access) to the outdoor seating area on the north side of the building.
- The applicant proposes to repaint the existing building as well as the standing seam metal roofing.
- The E.I.F.S entrance tower element is deteriorating and needs to be removed and rebuilt. The 2015 proposed Building Elevations depicted stone veneer on the new vestibule to comply with current commercial building standards which require masonry construction. At this time, no such stone veneer is depicted on the currently proposed Building Elevations. The new vestibule would be an aluminum and glass storefront. The new exterior cooler addition would include a new cement fiber board wall panel with a brick pattern installed over a Tyvek membrane.
- No signage details were provided at the time of this report. The applicant will comply with sign ordinance requirements.

#### ***Standards for Planned Unit Developments*** ---

For reference during the workshop, Article 3, Section F of the Village of Frankfort Zoning Ordinance refers to Planned Unit Developments (refer to complete Article 3 attached). Part 4 of said Section F refers to the review standards the must be considered.

In granting or withholding approval of Preliminary Plans and Final Plans, the Plan Commission and the Village Board shall consider the extent to which the application fulfills the requirements of this Ordinance and the following standards:

- a. The plan is designed to protect the public health, welfare, and safety.



- b. The proposed development does not cause substantial injury to the value of other property in the immediate area.
- c. The plan provides for protection of the aesthetic and function of the natural environment, which shall include, but not be limited to, flood plains, streams, creeks, lakes, ponds, wetlands, soil and geologic characteristics, air quality, vegetation, woodlands, and steep slopes.
- d. The plan provides for and ensures the preservation of adequate recreational amenities and common open spaces.
- e. Residential use areas may provide a variety of housing types to achieve a balanced neighborhood.
- f. The planned unit development provides land area to accommodate cultural, educational, recreational, and other public and quasi-public activities to serve the needs of the residents thereof.
- g. The proposed development provide for the orderly and creative arrangement of all land uses with respect to each other and to the entire Village.

### ***Standards for Special Uses***

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For reference during the workshop, Article 3, Section B, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use request.

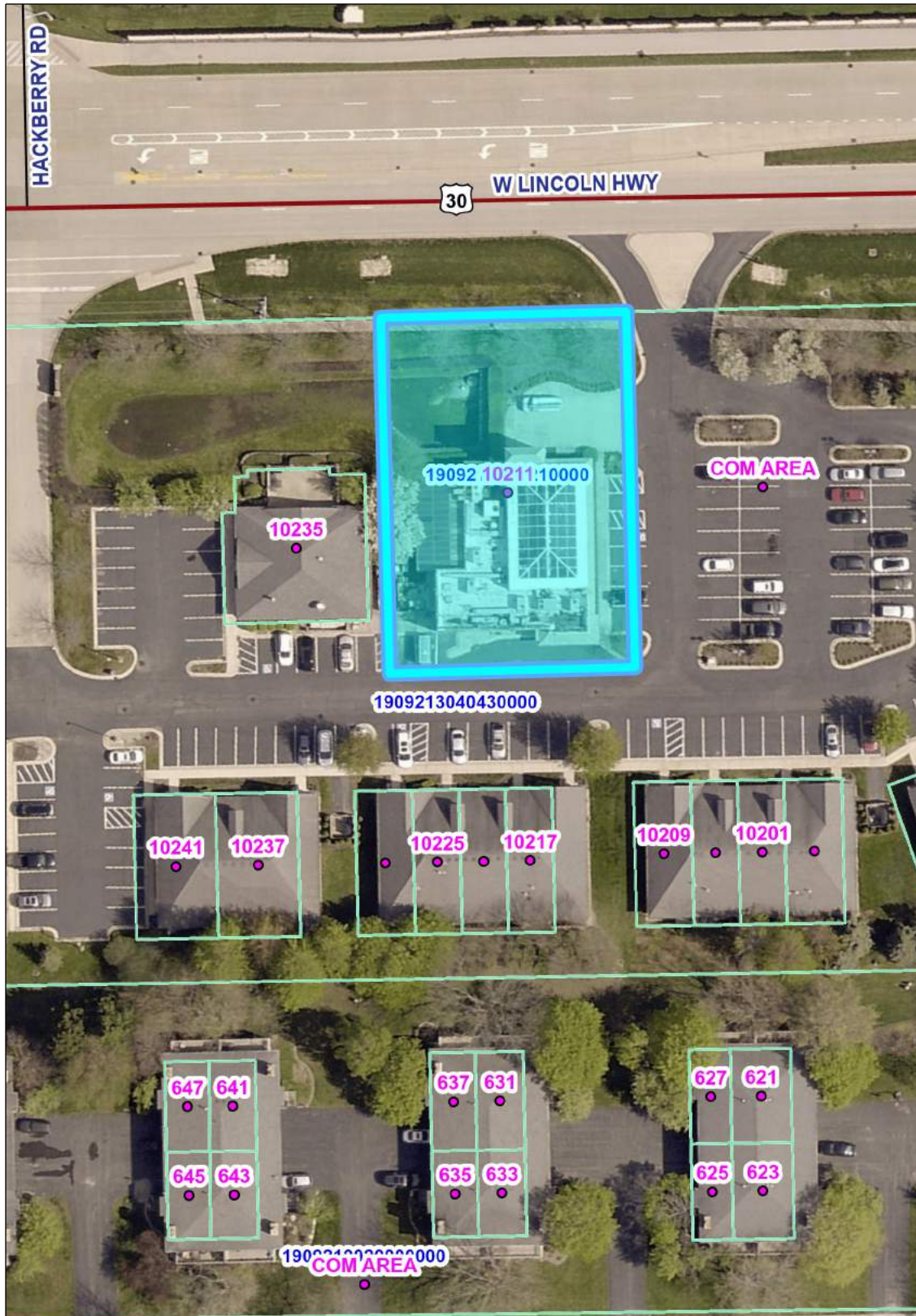
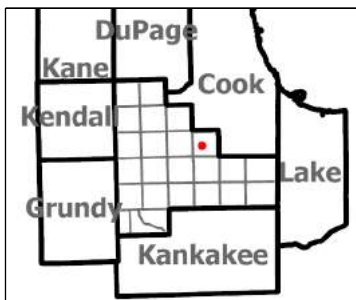
The Plan Commission shall make written findings of fact and shall refer to any exhibits containing plans and specifications for the proposed special use, which shall remain a part of the permanent record of the Plan Commission. The Plan Commission shall submit same, together with its recommendation to the Village Board for final action. No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.





# 10211 W. Lincoln Highway



## Legend

- Address Points
- Roadways
  - Federal
  - State
  - County
  - Local and Private
- Parcels LY
- Townships

## Notes

Date: 6/1/2022

1: 1,128

0 0.02 0.04 Miles

Projection

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

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**Site Photos – 10211 W. Lincoln Highway (May 19, 2022)**









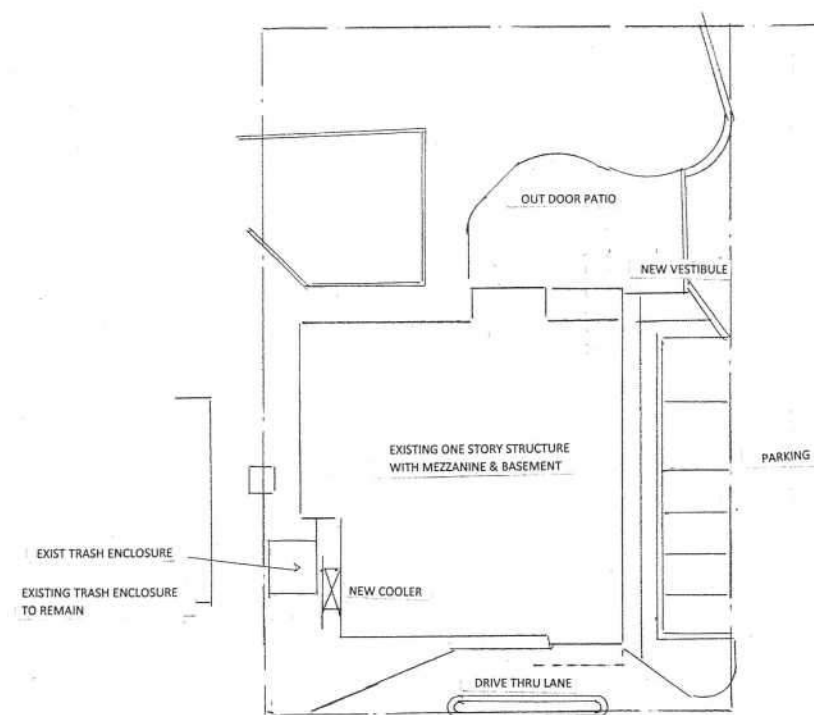








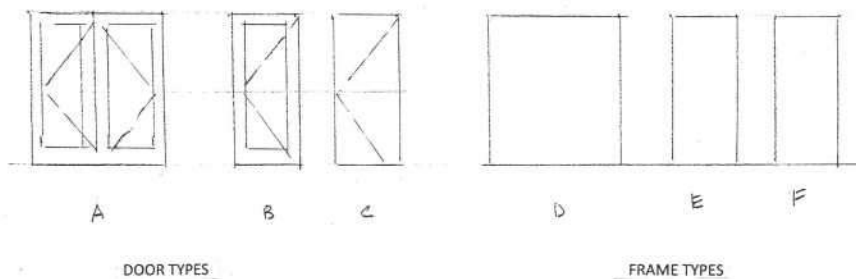




A SITE PLAN  
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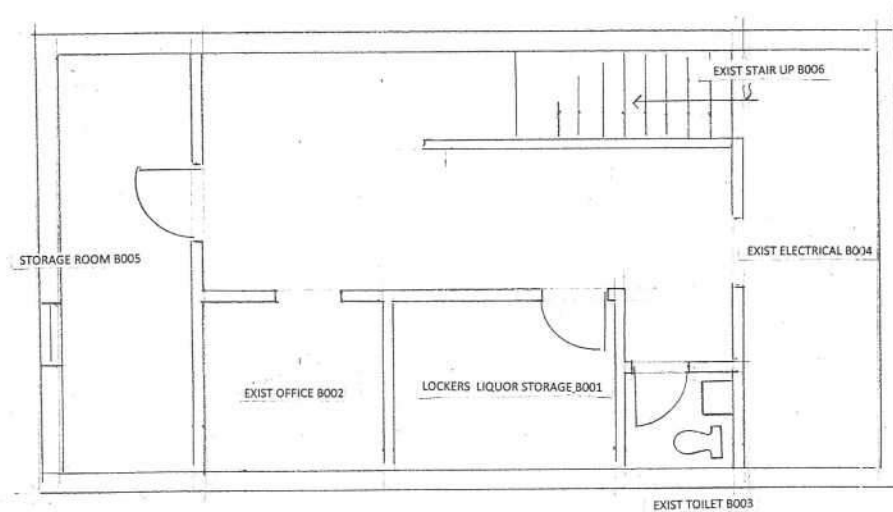
DOOR SCHEDULE									
TAG	SIZE	DOOR		RATING	FRAME		RATING	HDW	
		MAT'L	TYPE		MAT'L	TYPE			
1	PR 3'-0"x7'-0"	ALUM/GL	A		0 ALUM	A		0	1
2	PR 3'-0"x7'-0"	ALUM/GL	A		0 ALUM	A		0	1
3	3'-0"x7'-0"	ALUM/GL	B		0 ALUM	B		0	1
4	3'-0"x7'-0"	WD	C		0 MTL	C		0	2

HDW 1: EMERGENCY PUSH BAR, CLOSER  
HDW 2: CLASSROOM FUNCTION, 1-1/2 PR HINGES



- GENERAL NOTES
- 1 THE SCOPE OF WORK FOR THESE DRAWINGS IS TO EXPAND THE MEZZANINE PLATFORM, CREATING A NEW ENCLOSED ENTRY VESTIBULE, REDORCATING THE INTERIOR, MODIFYING THE TAKE OUT AREA & RELOCATING THE PASS THRU, ADDING A NEW COOLER ON THE WEST SIDE, CREATING SOME NEW SPACES IN THE BASEMENT & A NEW HOST STATION AT THE ENTRY TO SERVE THE OUTSIDE DINING
  - 2 ALL WORK SHALL BE COMPLETED TO MEET THE VILLAGE OF FRANKFORT BUILDING CODES, INTERNATIONAL BUILDING CODES AND STATE OF ILLINOIS ACCESSIBILITY CODE
  - 3 ALL WORK SHALL BE COMPLETED IN A WORKMAN LIKE MANNER AND ALL MATERIAS AND RUBISH REMIVE IN A TIMELY MANNER IN APPROVED CONTAINERS
  - 4 CONTRACTOR RESPONSIBLE FOR ALL PERMITS, LICENSES & INSURANCE AS REQUIRED BY THE VILLAGE
  - 5 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS
  - 6 CONTRACTOR SHALL PROVIDE STRUCTURAL SHOP DRAWINGS AND CALCULATIONS FOR MEZZANINE EXPANSION

DRAWING INDEX	
A-1	SITE PLAN, NOTES, BASEMENT PLAN
A-2	FIRST FLOOR PLAN DOOR SCHEDULE
A-3	MEZZANINE PLAN
A-4	EXTERIOR ELEVATIONS, SECTION

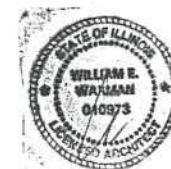
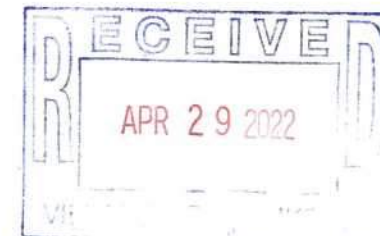


B BASEMENT FLOOR PLAN  
SCALE 1/4"=1'-0"

ARCHITECT OF RECORD STATEMENT  
I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED  
UNDER MY DIRECT SUPERVISION AND TO THE BEST OF  
MY KNOWLEDGE COMPLY WITH THE VILLAGE OF  
FRANKFORT CODES AND THE STATE OF ILLINOIS CODES

WILLIAM WARMAN  
ILLINOIS # 001-010973  
EXP 11/2020

DATE: 1 2/22/2022 3



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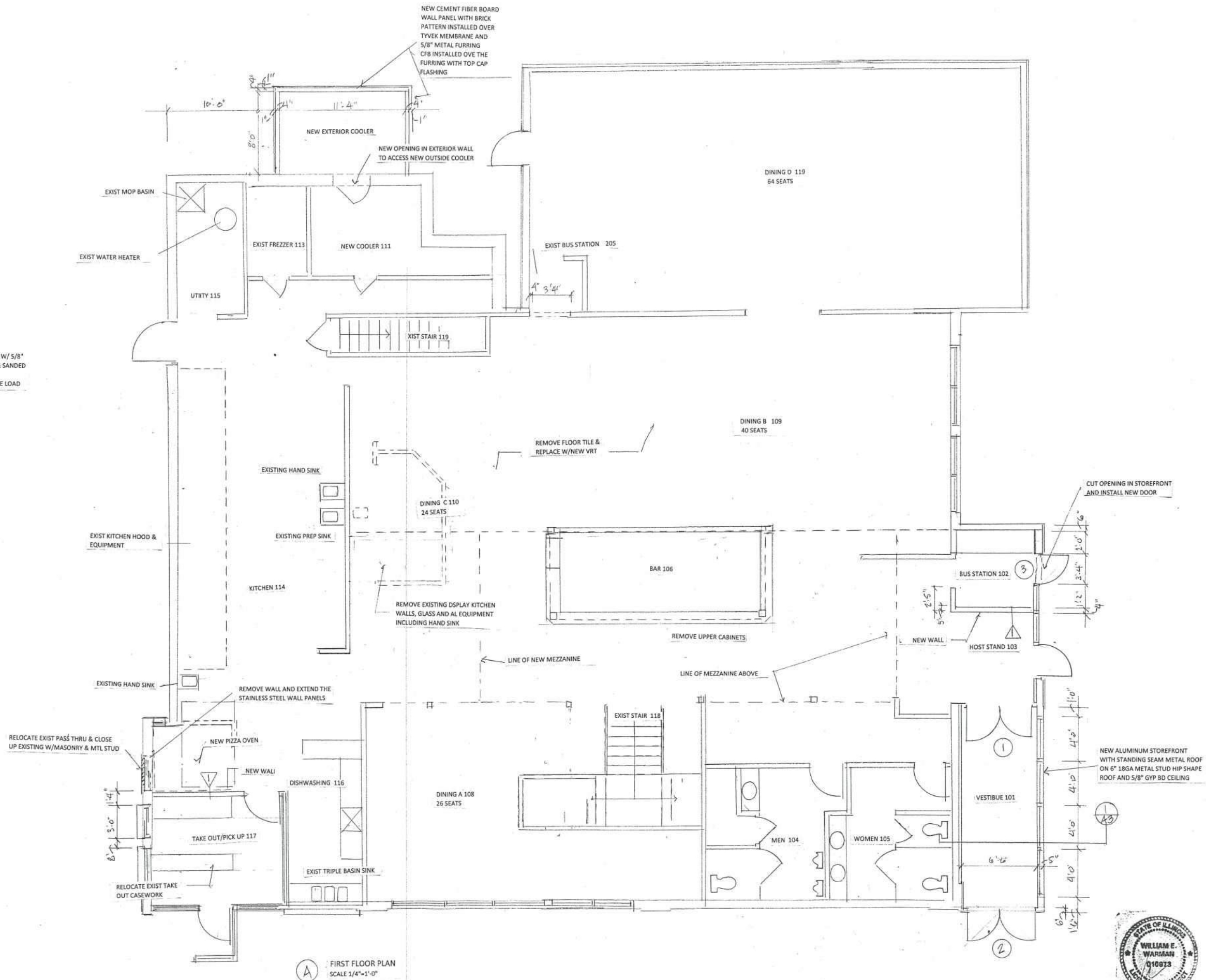
BUILDING MODIFICATIONS  
10211 WEST LINCOLN HWY  
FRANKFORT ILLINOIS

2/22/2022

A-1



PARTITION TYPE 1  
4" METAL STUDS @ 16" OC W/ 5/8"  
GYP BD EACH SIDE TAPED & SANDED  
UL DESIGN U419  
FLOOR LOADING 100 LB LIVE LOAD



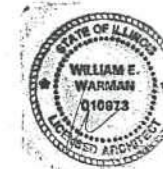
A FIRST FLOOR PLAN  
SCALE 1/4"=1'-0"

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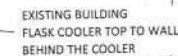
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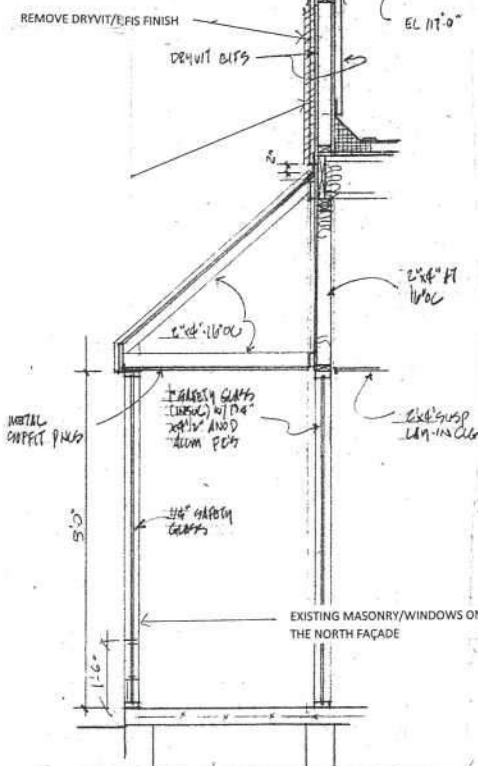
A-2



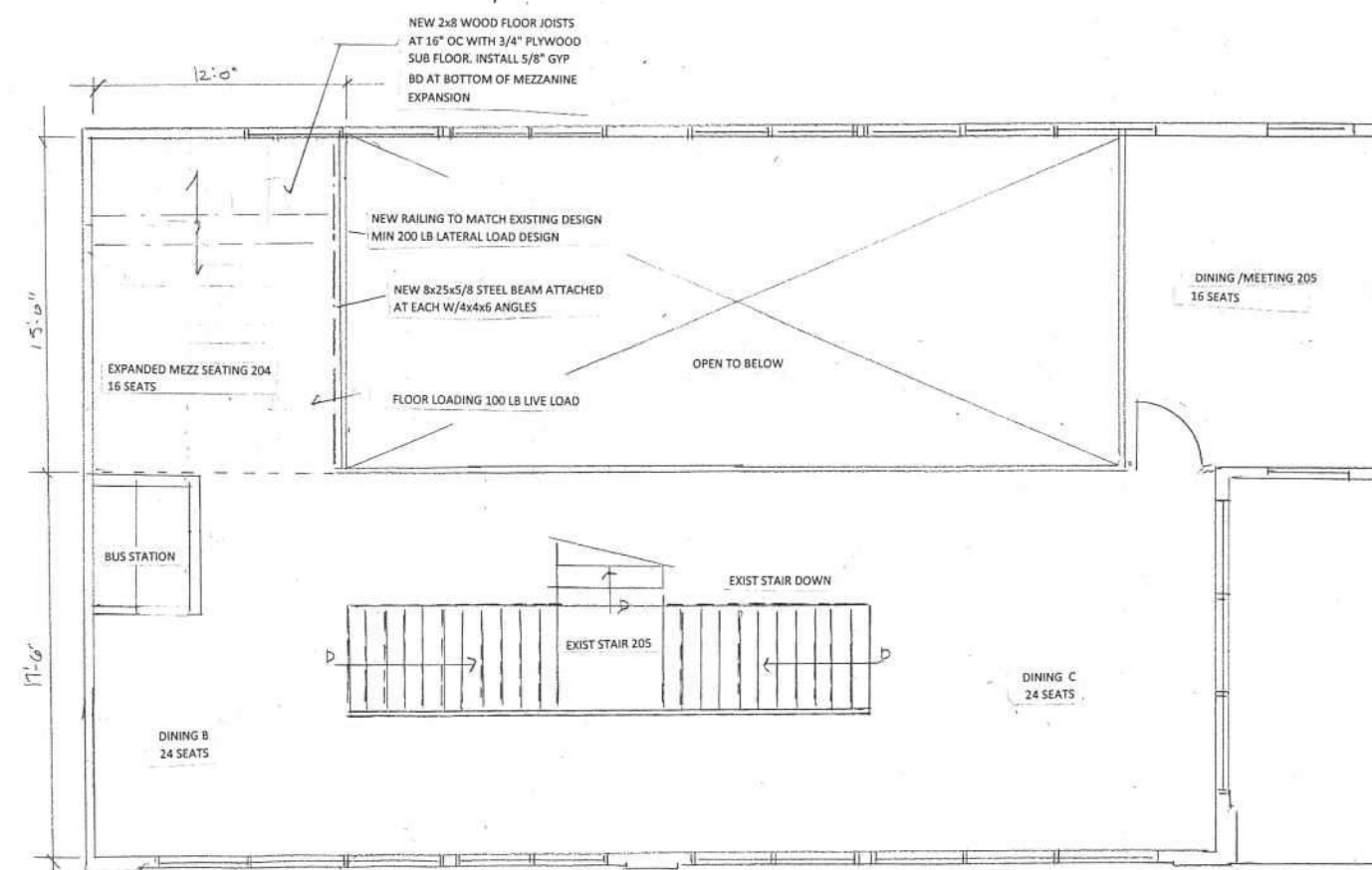
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NEW CEMENT FIBER BOARD  
WALL PANEL WITH BRICK  
PATTERN INSTALLED OVER  
TYVEK MEMBRANE AND  
5/8" METAL FURRING  
CFB INSTALLED OVE THE  
FURRING WITH TOP CAP  
FLASHING



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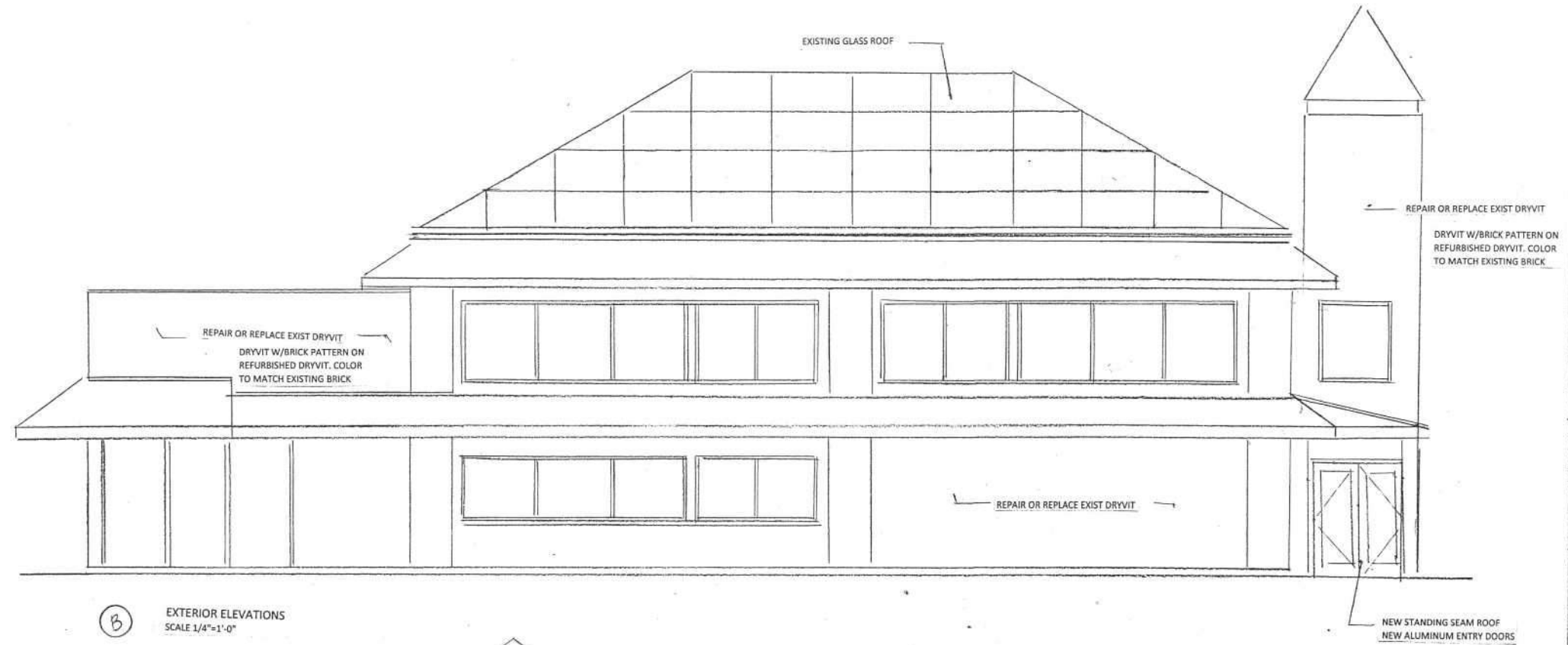
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