

PLAN COMMISSION / ZONING BOARD OF APPEALS AGENDA

Thursday, August 25, 2022 6:30 P.M.

Frankfort Village Hall 432 W. Nebraska Street (Board Room)

- 1. Call to Order
- 2. Roll Call
- 3. Approval of Minutes of August 11, 2022
- 4. Public Hearing: 20245 S. La Grange Road Little Caesars (Ref #104)

Proposed Special Use Permit to operate a Carry-Out Restaurant in the B-2 Community Business District (PIN: 19-09-15-103-013-0000).

5. Public Hearing: 11031 W. Lincoln Highway (Pending Address Assignment) – Everbrook Academy Preschool/Daycare (Ref #105)

Proposed Major Change to Planned Unit Development and a Special Use Permit for a daycare facility in the B4 Office District on Lot 1 in the New Lenox State Bank Subdivision (PIN: 19-09-20-301-055-0000).

6. Workshop: 240 Center Road – Oltman Residence

Future Public Hearing Request: Construction of a new single-family home for the property located at 240 Center Road, zoned R-2, requiring 3 variances. (PIN: 19-09-28-227-013-0000)

- 7. Public Comments
- 8. Village Board & Committee Updates
- 9. Other Business
- 10. Attendance Confirmation (September 8, 2022)
- 11. Adjournment

All applicants are advised to be present when the meeting is called to order. Agenda items are generally reviewed in the order shown on the agenda, however, the Plan Commission/Zoning Board of Appeals reserves the right to amend the agenda and consider items in a different order. The Commission may adjourn its meeting to another day prior to consideration of all agenda items. All persons interested in providing public testimony are encouraged to do so. If you wish to provide public testimony, please come forward to the podium and state your name for the record and address your comments and questions to the Chairperson.

MINUTES



MEETING OF VILLAGE OF FRANKFORT PLAN COMMISSION / ZONING BOARD OF APPEALS

August 11, 2022–VILLAGE ADMINISTRATION BUILDING

432 W. NEBRASKA STREET

Call to Order: Chair Rigoni called the meeting to order at 6:31 PM

Commissioners Present: Chair Maura Rigoni, David Hogan, Jessica Jakubowski, Brian

James, Will Markunas, Nichole Schaefer

Commissioners Absent: Dan Knieriem

Staff Present: Director of Community and Economic Development Mike

Schwarz, Senior Planner Chris Gruba, Planner Drew Duffin

Elected Officials Present: None

A. Approval of the Minutes from July 14, 2022

Motion (#1): Approval of the minutes, as presented, from July 14, 2022

Motion by: Jakubowski Seconded by: James

Approved: (4-0, Commissioners Markunas and Schaeffer abstained)

Chair Rigoni swore in any members of the public who wished to speak at the meeting.

B. Public Hearing: 229 N. Locust Street – Norman Variance

Chris Gruba gave the staff report.

Chair Rigoni asked the applicant to stand.

Gabriel Garcia, architect for the applicant, approached the stand. He stated he was available to answer any questions.

Chair Rigoni asked if any members of the Plan Commission had any questions.

There were none.

Chair Rigoni opened the Public Hearing, and asked if there were any members of the public who wished to speak.

There were no comments.

Motion (#2): Motion to close the public hearing.

Motion by: Schaeffer Seconded by: James

Approved: (6-0)

Chair Rigoni asked if the Commission had any other comments or questions. She asked for comments on the variations first before discussion shifted to a possible text amendment.

Commissioner Hogan noted that the side yard was already nonconforming with the Zoning Ordinance, so he did not have any comments.

Commissioner Jakubowski asked if the proposed side yard setbacks were exactly the same as the existing.

Staff responded that they were.

Commissioner Markunas stated that the proposal seemed appropriate for the area.

Chair Rigoni noted that she liked the additions proposed, especially in that part of Frankfort. She liked that the addition would not alter the visual character of the neighborhood along the streetscape. She asked if the proposed brick would match the existing brick.

The architect responded that the proposed brick would be stained to match the existing brick. There was some hardship in meeting the code due to costs. He asked if the property was a legal nonconformity in regard to the basement requirement.

Staff responded that the basement requirement had been applied for any property which does not conform to the Zoning Ordinance. Staff was also looking for direction from the Plan Commission on how to address the regulation in the future through a potential Text Amendment.

Chair Rigoni stated she would like others to understand that the current regulation, applied to all nonconforming properties, was restrictive. She asked for the thoughts of the other members of the Plan Commission.

Commissioner Hogan remarked that the current case was the third recent case which required a basement variation.

Commissioner Schaeffer noted that in this case, a first-floor addition pushed the property out of compliance with the regulation. In her opinion, granting a variation for the basement size was alright in that case. A home which was torn down and rebuilt which sought a variation for the basement would not be allowable. A future change to the regulation should consider factors such as the number of floors on the home, the size of the addition, and whether the project in question was an addition or new construction.

Commissioner Markunas agreed, and added that other nuances arising from the conditions of the site should be considered as well, such as size, shape, and location of both the home and the basement.

The architect added that there is often a large construction impact when expanding a basement. Some older homes might require a large amount of work to bring into compliance.

Commissioner James stated that he liked to see older homes renovated, and did not want to have regulations in place that would discourage the practice.

Chair Rigoni suggested that the size of a basement did not really seem like a zoning matter in the first place.

Mike Schwarz suggested that staff could go back through Village records to determine the original intent behind the regulation, and move forward from there.

Motion (#3): Recommend the Village Board approve the variance from Article 6, Section B, Part 1 of the Village of Frankfort Zoning Ordinance to permit a north side yard setback of 7' 6", whereas at least 10' is required with a total of 25' on both sides, resulting in a deficiency of 6' ½", for the property located at 229 Locust Street, in accordance with the reviewed plans, public testimony and Findings of Fact.

Motion by: Markunas Seconded by: Schaeffer

Approved: (6-0)

Motion (#4): Recommend the Village Board approve a variance from Article 6, Section B, Part 2(l) of the Village of Frankfort Zoning Ordinance to permit the construction of a basement that is 50.9% of the area of the ground floor of the house whereas 80% is required, for the property located at 229 Locust Street in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: Jakubowski Seconded by: Schaeffer

Approved: (6-0)

C. Public Hearing: 21195 S. La Grange Road – Wild Flower Hair Salon

Drew Duffin gave the staff report.

The applicant, Sydney White, approached the podium.

Chair Rigoni asked how the proposed use differed from the previous use.

Staff responded that the current use did not offer massage services, which were offered by the previous tenant. In addition, the applicant would occupy less space than the previous tenant had.

Chair Rigoni confirmed that the use was the same, but was less intense than the previous tenant.

Chair Rigoni asked if there were any comments from the public.

There were none.

Motion (#5): Motion to close the public hearing.

Motion by: Schaeffer Seconded by: Markunas

Approved: (6-0)

Commissioner Markunas stated he agreed there was no issue with the amount of parking on the site.

Commissioner James agreed he saw no issue with parking. He stated that the required parking for the dentist's office on the site seemed high.

Chair Rigoni clarified for the Plan Commission that the first motion for this item was a formal acknowledgement of the parking, rather than a variation requested by the applicant.

<u>Motion (#6):</u> Approve an adjustment to the total Zoning Ordinance-required parking for the subject property based on the availability of both joint parking and shared parking for the proposed salon and the current office tenants.

Motion by: Schaeffer Seconded by: Markunas

Approved: (6-0)

Motion (#7): Recommend the Village Board approve a Special Use Permit for Personal Services for a salon located at 21195 S. La Grange Road, Units 1B and 1C, in accordance with the submitted plans, public testimony, and Findings of Fact.

Motion by: Schaeffer Seconded by: Jakubowski

Approved: (6-0)

D. Workshop: 213 Nebraska Street - Plantz Residence

Chris Gruba gave the staff report.

Chair Rigoni asked the applicant to step forward.

Gabriel Garcia approached the stand, the architect for the applicant. He asked if he should point out some of the changes proposed.

Chair Rigoni said he should.

The architect pointed out that the garage was small, only 1.5 cars wide. The regulations for the height of accessory structures was limiting, particularly for the slope of the roof of the garage. The applicant wanted the pitch of the garage to match the pitch of the home. It was historically appropriate to have a higher roof pitch, since in the past garages stored carriages. He stated that he brought color renderings to show how the originally proposed garage matched the proposed changes to the house.

Chair Rigoni asked if the request for a higher roof pitch on the garage was for architectural reasons or functional reasons.

The architect responded that the request was an architectural consideration. In regard to impervious lot coverage, one of the changes made to comply with code was a reduced patio area, and the removal of sidewalks which led from the garage to the back door of the home. With the changes, the proposed patio was now very small, only eight feet by eight feet. This was done so that the home was at least ten feet away from the garage.

Chair Rigoni asked staff for clarification on that regulation.

Staff responded that patios are defined as accessory structures, and that accessory structures needed to be at leas ten feet away from the main structure.

Staff responded that the patio counted as part of the main structure, and that accessory structures needed to be at least ten feet away from the main structure.

Chair Rigoni asked what the patio was going to be made of.

The architect responded that they would be using pavers.

Chair Rigoni noted that she thought the ten-foot separation requirement related only to bulk, not paved surfaces, and was designed for fire safety reasons.

Staff noted that patios must be set back at least 10' from property lines and from other accessory structures, but that the text could be amended again if needed.

The architect stated that the patio was more landscaping than anything else. There was no sidewalk from the garage to the back door, either, and was removed to meet the impervious coverage regulation. He understood that the applicant was asking for a lot of variances, but there was not much yard on the site to begin with.

Chair Rigoni opened up the discussion to the other six variances the applicant originally requested in addition to the five presented. She cautioned other members of the Plan Commission to be limited in their comments since they did not have the same amount of information for the additional six as for the original five.

Commissioner Markunas asked staff to explain which aspects of the existing house were nonconforming.

Staff responded that the front yard setback was existing nonconforming, but the nonconformity was being increased. The non-masonry materials and accessory structure setbacks were nonconforming as well, but required variations.

The architect noted that the design altered the location and dimensions of the garage's footprint to avoid flooding.

Chair Rigoni asked what the maximum rear yard coverage calculation was.

Staff responded that they calculated 37%, whereas 30% was allowed.

The architect noted that another linear foot, or 18 square feet, was added to the garage.

Staff remarked that the variation for accessory structures was increasing in intensity then.

Chair Rigoni summarized that front yard setbacks and lot coverage were increasing in intensity. She asked if any of the members of the Plan Commission had any comments about the masonry requirement.

There were none.

Chair Rigoni turned the discussion to the accessory building setback. She asked the applicant what was to the north of the garage.

Staff responded that another garage was to the north.

Chair Rigoni asked if the other members of the Plan Commission had any comments.

There were none.

Chair Rigoni asked the applicant why they did not shorten the garage's length.

The architect responded that they wanted to allow tandem parking in lieu of side-by-side parking.

Commissioner Hogan noted that the garage on the other side of the alley was larger than the one proposed by the applicant.

The architect reiterated that they were only adding 18 square feet to the garage.

Chair Rigoni remarked that no portion of the proposed house would be located within the required rear yard.

Commissioner Markunas noted there was no real visual encroachment either.

Commissioner Schaeffer agreed that it would not impact the existing yard.

Commissioner Markunas said that it was a difficult piece of property to work on.

Chair Rigoni stated that meeting the square footage required by the code was hard due to the dimensions of the lot. The code set a maximum at 20%, and 33.2% was proposed.

Commissioner Markunas asked what the existing lot coverage was.

Staff responded that the existing lot coverage was 23.2%.

Chair Rigoni asked whether if the property were on a standard 15,000 square foot lot, it would meet the 20% requirement.

Staff responded it would.

Commissioner Markunas calculated the lot coverage for the property as if it were on a 15,000 square foot lot.

Chair Rigoni asked for any other comments while Commissioner Markunas completed the calculations.

Commissioner James noted that past variations that were granted nearby had higher lot coverage rates that 33%.

Commissioner Markunas stated that lot coverage on a typical R2 lot would be 10%.

Discussion continued comparing the existing site to the R2 regulations. The proposed home was 2,602 square feet whereas the minimum house size is 2,600 square feet, now complying with the Ordinance.

Commissioner Markunas stated he understood the reason behind requesting so many variances, given the dimensions of the lot. The proposed changes seemed appropriate for the site and would have been appropriate for a typical R2 property.

Commissioner Schaeffer noted that she agreed with the proposed changes from both a qualitative and quantitative standpoint.

Commissioner James stated he saw no issue with the proposed lot coverage.

Commissioner Hogan asked if the applicant had shared their plans with the neighbors yet.

The architect replied that they had not.

Chair Rigoni asked for any other comments on lot coverage.

There were none.

Chair Rigoni asked for comments about the front yard setback.

The architect noted that the proposed porch was adding to the existing porch. In his experience the Village liked seeing porches added to homes.

Chair Rigoni stated she saw this project as essentially a brand-new house, which made it hard to justify the addition of such a large porch. The applicants would then be the closest to the front lot line along the whole block. The new façade was not similar to the existing one. Losing two trees to install it was also a hard sell.

The applicant stated that the porch created a more inviting feel for the home.

Commissioner Markunas stated that the porch was something he liked. It tied the look of the home in with others along the street.

The architect stated that there was limited space in front of the home.

Commissioner Schaeffer recalled a case heard by the Plan Commission earlier in the year somewhere along Oregon Street. They had also added a porch to their home. The Plan Commission approved the addition of that home because of the positive aesthetic changes. She also noted that some subdivisions in the Village varied the distances of homes from the front lot lines, and wondered how bad that might look in this context.

The applicant asked if the existing home could be shown on the screen.

Staff pulled up Google Street View of the home.

Commissioner Hogan asked if the porch would replace the landscaping in front of the house currently, and not come closer forward than the existing brick wall which surrounded the front stairs.

Staff said that was correct.

Chair Rigoni suggested that her issue with the porch then was with the volume. The proposal included a full-width porch, where the existing home only had a partial-width porch.

Commissioner Markunas asked if the applicant intended to add any trees to replace the two that would be removed.

The applicant stated that there was an intention to landscape the property, but no formal plans existed yet. Looking at the existing porch on Street View, the addition would not come any closer to the front lot line than the existing brick wall did. The expansion would not look as large in reality as the drawing suggested.

Chair Rigoni stated that the fact that the proposed porch was covered added to the bulkiness. In her opinion, the existing uncovered porch looked fine.

The applicant noted that they tried to match the design of the house immediately to their east.

Staff noted that the property being emulated was 211 W. Nebraska.

Commissioner James remarked that the proposed addition would be ten feet closer to the front lot line than 211 W. Nebraska.

Commissioner Schaeffer stated that the depth of the porch at the subject property was 7 feet, 4 inches. The covered porch at 211 W. Nebraska is set back further from the property line, but did not feel massive.

Chair Rigoni stated that the use of brick added to the feeling of massiveness.

The architect noted that the design of the addition treated the property as a corner lot, and so wrapped the porch around the side in order to increase curb appeal.

Commissioner Jakubowski stated that the proposal was an improvement to the site. She expressed a desire to focus more on the property in question rather than discuss the neighboring property. She said that the project overall would enhance the neighborhood.

Commissioner James agreed, saying that the home would look good to anyone passing by.

Staff suggested that if the Plan Commission made a favorable recommendation to the Village Board, it could add a condition that prevented the porch from being enclosed in the future.

Chair Rigoni stated that if they specified that the porch was covered, which did not move the front façade closer to the front lot line, that could achieve a similar result.

Commissioner Hogan agreed, and said that the covered porch looked great. That aesthetic effect would be lost if the porch were ever enclosed.

Chair Rigoni stated she may be in the minority, but believed that the extent of the changes transformed the property into functionally a new house. The proposed project was a complete deviation from the surrounding neighborhood.

The applicant noted that the structure was only 21 feet wide.

Chair Rigoni responded that there was also a large addition being proposed.

Commissioner Markunas liked the fact that the home deviated from the neighborhood, though he did not want to be rude to members of the Plan Commission who disagreed with him. He expressed having an issue with the front setback, but noted that the design of the house generally worked because the property acts like a corner lot, since it's adjacent to an alley.

Chair Rigoni agreed about the corner lot considerations. She stated she was trying to strike a balance herself. She wanted to be comfortable in her understanding of what existed now before deciding on the addition. It was obvious to those present what parts of the home would be from the addition and what would be original, but that may not be the case in the future, and she wanted to avoid setting the wrong precedent. She asked if there were any other comments on the height of the detached garage or the impervious lot coverage.

Commissioner Markunas asked what height the applicant was seeking for the detached garage.

Staff responded that they were looking for a 20' 6" height.

Commissioner James asked how that height compared to the large garage across the alley.

The architect responded that their request was for a greater height, but the garage across the alley was wider.

Commissioner Markunas asked what the pitch on the home would be.

The architect responded that it would be 12/12.

Commissioner Markunas responded that the originally proposed garage would match the proposed additions to the home.

The applicant asked if staff had included a photograph of the flooding garage in their report.

Staff had not.

Laura Plantz, one of the applicants, approached the Plan Commission to share a photo of the flooded parts of the garage.

Chair Rigoni stated that if the Plan Commission were to approve the height variation for the accessory structure, they would need to be clear that the change was for architectural reasons only and was not, for example, an accessory dwelling.

Mike Schwarz noted that zoning regulations in other municipalities measured the height of a structure to the midpoint of the roof, so as to give architects flexibility when designing the pitch of the roof. He was aware that the definition was just changed, but wanted the Plan Commission to be aware of the other method.

Commissioner Markunas remarked it might be a good change to make.

Chair Rigoni asked the applicant to clarify the reason for a lot coverage variation request.

The applicant stated it would be to increase the size of the patio and to add a sidewalk leading from the garage to the home.

Chair Rigoni noted that the applicant was currently 30 square feet under the allowed impervious coverage maximum with the presented changes.

The architect stated he was aware, but wanted to go with the original addition plans if possible.

Commissioner Markunas confirmed that the patio in the rear of the home would be a patio, and not a deck. He also asked what materials would be used for the patio.

The applicant responded that they would use pavers.

Commissioner Jakubowski asked what color the pavers would be.

The applicant responded that they did not know.

Commissioner Schaeffer asked whether the pavers would be uniform.

The architect responded that they would use uniform blue stone pavers.

Commissioner Markunas stated that pavers were an easier thing to approve for him, especially for a walkway.

Commissioner Schaeffer asked what the proposed walkway would look like and where it would go.

The architect responded that the walkway would run alongside the garage and lead to the home, allowing someone to park near the garage door and exit more conveniently from the garage door, and walk to the home.

Chair Rigoni asked what the impervious lot coverage calculation would be then.

The architect responded that it would be 43%.

Chair Rigoni recalled that the only time the Plan Commission approved something similar was for a property on a 5,000 square foot lot, though she was trying to recall a more similar case.

Commissioner Schaeffer noted that there was a similar case for a proposed home on 49 N. White Street. In that case, there was barely any grass anyway.

The applicant stated that all of the property's green space was on the west side.

Commissioner Hogan noted that a nearby home seen on the aerial photographs used stepping stones as a path from the detached garage to the home. He asked whether that was considered landscaping.

Chair Rigoni asked how the patio would be increased.

The architect responded saying the proposed patio was 8' by 8', which was small. 12' by 12' is typically needed to allow for dining on the patio.

Chair Rigoni asked what the setback was for the patio.

Staff stated it was ten feet.

The architect agreed with a previous comment, stating that a larger patio would not be a fire nor a structural concern.

Chair Rigoni asked if the variation request for the impervious lot coverage would be 43%.

The architect responded that they would need to calculate it to be sure.

Chair Rigoni asked if the number would be around 43%.

The architect said it would be.

Chair Rigoni said that there was a possibility the Plan Commission would hear that request, depending on the materials that were used.

The applicant responded saying they could bring a sample for next time.

Chair Rigoni said that if the home had an attached garage, she would be less amenable to granting so many variations. She confirmed with the applicant that the only trees to be removed were the two marked at the front of the house. She stated that the applicant should work with staff to try and make the next meeting a public hearing. So long as the calculations did not result in something unreasonably different than what was discussed, the next meeting could be a public hearing.

For future reference, staff asked the Plan Commission whether they should work with applicants to try to minimize the number of variances requested prior to a workshop or whether the plans should come before the Commission as originally submitted, for the Commission to then decide which variances were excessive. Staff recalled the Plan Commission's hesitation to some of the variances requested at 143 Kansas, in which the applicant requested 8 variations.

Chair Rigoni said that staff should continue to do work with the property owner to reduce the number of variations requested, but that each property had to be considered differently.

Mr. Garcia noted to the Commission that Mr. Gruba was good to work with.

E. Workshop: 25 Carpenter Street – Kerley Residence

Drew Duffin gave the staff report.

Chair Rigoni asked if the current home was not constructed of masonry.

Staff responded it was not.

Commissioner Markunas stated he had no issues with the building materials.

Chair Rigoni asked what the front yard setback was for the house to the north.

Staff responded they were unsure.

Chair Rigoni asked that that information be provided at the next meeting. She then asked if the north side yard setback was going to be maintained.

Staff responded it was.

Chair Rigoni shifted discussion to the lot coverage on the site. She asked if the lot coverage calculations for the existing site included the detached garage.

Staff responded it did.

Commissioner Markunas asked what the size of the lot was.

Staff responded the lot was 8,000 square feet.

Chair Rigoni remarked that the applicant was proposing 29% lot coverage.

Commissioner Markunas noted that the lot was just over 50% the size of a typical R2 lot. He had no issue with the lot coverage.

Chair Rigoni noted that Carpenter Street was narrower and less busy than other downtown streets such as Nebraska Street. She asked the applicant to be sure that what they brought to the Plan Commission was everything they wanted to do on the site, so they did not come back later to request more variances. Adding more driveway to the east of the proposed attached garage would require another variance, but is not shown on the submitted plans. A larger driveway may put the site into nonconformity with the impervious lot coverage.

Commissioners noted and commented on Carpenter Street being narrower than other streets in the Village.

F. Public Comments

There were none.

G. Village Board & Committee Updates

Schwarz noted that the following matters that previously came before the PC/ZBA were approved by the Village Board at its meeting on August 1:

• Root Residence Variations for 324 Center Road – the ordinance was approved.

In addition, an item which was on the agenda for the cancelled July 28th meeting of the Plan Commission for Facen4Ward, an indoor entertainment Special Use Permit for 20879 S. La Grange Road, was withdrawn by the applicants. They may file in the future at a different address.

At its meeting on August 10, the Committee-of-the-Whole made a recommendation to the Village Board to enter into a purchase and sale agreement with Integrus Development for Village property at 7 N. White Street, which is the western/front portion of the Prairie Park parking lot. The project will require future review by the Plan Commission and the Historic Preservation Commission.

Chair Rigoni asked about the status of 2 Smith Street.

Schwarz responded that there were four responses to the RFP for the sale of 2 Smith Street and two of those proposals appear to remain on the table for Committee consideration. One of those would reuse the existing building and the other would develop a new building on the existing parking lot closer to Smith Street. The latter proposal may be withdrawn as it appears that the developer is focused on 7 N. White Street property.

Chair Rigoni asked how many proposals were submitted for 7 N. White Street.

Schwarz responded only one proposal was submitted. He recalled that another development was proposed for the same site in 2018.

Chair Rigoni stated she hoped the current proposal for 7 N. White Street would be as good as the previous one was.

H. Other Business

There was no other business.

I. Attendance Confirmation (July 28th, 2022)

Motion (#5): Adjournment 8:32 P.M.

Chair Rigoni asked the Commissioners to notify staff if they will not be in attendance on August 25th, and to notify to staff once they knew they could not attend.

Motion by: Schaeffer	Seconded by: Markunas
Unanimously approved	d by voice vote.
Approved August 25 th	, 2022
As Presented As	s Amended
	/s/ Maura Rigoni, Chair
	/s/ Secretary



Project: Little Caesars Pizza
Meeting Type: Public Hearing

Requests: Special Use Permit for a carry-out restaurant **Location:** 20245 S South LaGrange Road, Suite 3

Applicant: Little Caesar Enterprises

Prop. Owner: National Shopping Plazas, Inc.

Consultants: Jennifer Thorstenson, MRV Architects; Jeanne Armando, MRV Architects; Peter Gillis, Little

Caesar Enterprises

Report By: MRV Architects

Drew Duffin

Site Details

Lot Size: 156,903 square feet (+/-) PIN(s): 19-09-15-103-013-0000

Existing Zoning: B2 Community Business with a Special Use

Permit for a PUD (Frankfort Commons II)

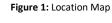
Prop. Zoning: B2 Community Business with a Special Use

Permit for a Carry-out Restaurant

Building(s) / Lot(s): 2 buildings / 1 lot

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Commercial	General Commercial	B2 PUD
North	Office (Bank)	General Commercial	B4 PUD
South	Vacant	Open Space	ER PUD
East	Commercial	General Commercial	B2 PUD
West	Commercial	General Commercial	B2





Project Summary

The applicant, Little Caesar Enterprises, is requesting a Special Use Permit for a Carry-Out Restaurant for a Little Caesars Pizza located at 20245 S. LaGrange Road, Suite 3. The owner of the property is Humphrey Property Group, LLC.

Attachments

- 1. 2020 Aerial Photograph from Will County GIS
- 2. Site Photographs taken 7.18.22
- 3. Findings of Fact completed by the applicant
- 4. Plan Commission minutes from 5.28.15 and 9.10.15 regarding the Frankfort Commons 2 PUD
- 5. Equipment Plan received 6.17.22
- 6. Proposed changes to the exterior elevation received 7.19.22
- 7. Engineering Plans for the Frankfort Commons II PUD dated 7.23.15

In consideration of the request, staff offers the following points of discussion:

- The site included the following uses: Mathnasium, T-Mobile, Bellavan Nails, and Dollar Tree. O'Reilly's
 Auto Parts is located in a separate building, but is a part of the PUD. Suite 3 is situated between
 Mathnasium and Dollar Tree.
- 2. As proposed, Little Caesars will require 16 spaces per the Zoning Ordinance. Six spaces are required based on the square footage of the space, and ten are required for ten employees in the largest work shift.
- 3. Existing parking on the site does not meet the requirements in the Zoning Ordinance. The following table breaks down the parking requirements per the Zoning Ordinance in three different tenancy scenarios:

Tenant	With Previous Tenant (Sprint)	Empty Suite 3	With Little Caesars	
Building A				
O'Reilly's	37 Spaces (9 employees, 7200 SF)	37 Spaces (9 employees, 7200 SF)	37 Spaces (9 employees, 7200 SF)	
Building B				
Dollar Tree	46 Spaces (9 employees, 9100 SF)	46 Spaces (9 employees, 9100 SF)	46 Spaces (9 employees, 9100 SF)	
Mathnasium	13 Spaces (5 employees, 1,759 SF)	13 Spaces (5 employees, 1,759 SF)	13 Spaces (5 employees, 1,759 SF)	
Bellavan Nails	17 Spaces (8 employees, 1,769 SF)	17 Spaces (8 employees, 1,769 SF)	17 Spaces (8 employees, 1,769 SF)	
T-Mobile	10 Spaces (4 employees, 1,489 SF)	10 Spaces (4 employees, 1,489 SF)	10 Spaces (4 employees, 1,489 SF)	
Suite 3 (vacant)	Suite 3 (vacant) 10 Spaces (4 employees, 1,500 SF)		16 Spaces (10 employees, 1,500 SF)	
Total Required Parking	132 Spaces	122 Spaces	138 Spaces	
Existing Parking	125 Spaces (-7)	125 Spaces (+3)	125 Spaces (-13)	

4. Article 7, Section B, Part 5(b) of the Zoning Ordinance refers to adjustments to required parking. It states in part:

Adjustments. In all business and industrial districts, the minimum number of required parking spaces may be adjusted by the Plan Commission on a case-by-case basis. The petitioner for such an adjustment shall show to the satisfaction of the Plan Commission that adequate parking will be provided for customers, clients, visitors, and employees. The following provisions and factors shall be used as a basis to adjust parking requirements:

- 1. Evidence That Actual Parking Demands will be Less Than Ordinance Requirements. The petitioner shall submit written documentation and data to the satisfaction of the Plan Commission that the operation will require less parking than the Ordinance requires.
- 2. Availability of Joint, Shared or Off-Site Parking. The petitioner shall submit written documentation to the satisfaction of the Plan Commission that joint, shared or offsite parking spaces are available to satisfy the parking demand.
- a) Agreements shall be provided which demonstrate evidence that either parking lots are large enough to accommodate multiple users (joint parking) or that parking spaces will be shared at specific times of the day (shared parking, where one activity uses the spaces during daytime hours and another activity uses the spaces during evening hours.)
- b) Off-site parking lots may account for not more than 50-percent of the required parking and shall be located not more than three hundred (300) feet from the principal use that it is intended to serve.

The Plan Commission may choose to either allow an adjustment to the parking requirements, or it may choose to table the current motion to allow the applicant request a variance.

- 5. Staff took photographs of the site and the current parking situation on the afternoon of July 18th, 2022. Staff visited the site previously on July 7th and July 1st, 2022 and the lot was only approximately half full in front of Building B (the multi-tenant building) and nearly empty in front of Building A (O'Reilly's). There is a possibility that summer vacation may have had an impact on parking demand, since fewer students might attend tutoring sessions outside of the school year.
- 6. When the Plan Commission reviewed the Frankfort Commons II PUD plans on May 28, 2015 and September 10, 2015, they noted that: "The applicant agreed to remove the three parking stalls at the northeast corner of Building B and that landscaping would be added to the grassy area immediately to the south."
- 7. The attached Engineering Plans prepared by Manhard Consulting show parking calculated at 5 spaces per 1000 square feet. This ratio is a fairly common Zoning Ordinance requirement for multi-tenant commercial buildings in other communities. Using the 5 spaces per 1000 standard, the PUD needs and meets the 125-parking space requirement. This differs from the required parking per the Frankfort Zoning Ordinance, which is 138 spaces, as outlined above.
- 8. The hours of operation for the various tenants will impact the availability of parking at different times of day and throughout the week. The following table shows the hours of operation for each tenant Monday to Sunday:

Day	Hours												
	O'Reilly's	T-Mobile	Bellavan Nails	Mathnasium	Little Caesars	Dollar Tree							
Weekdays (M-Th)	7:30a to 9:00p	10:00a to 8:00p	9:30a to 7:30p	3:00p to 7:00p	10:30a to 10:00p	8:00a to 10:00p							
Friday	7:30a to 9:00p	10:00a to 8:00p	9:30a to 7:30p	Closed	10:30a to 11:00p	8:00a to 10:00p							
Saturday	7:30a to 9:00p	10:00a to 8:00p	9:30a to 6:00p	10:00a to 2:00p	10:30a to 11:00p	8:00a to 10:00p							
Sunday	8:00a to 8:00p	11:00a to 6:00p	Closed	Closed	10:30a to 10:00p	8:00a to 8:00p							

- 9. The number of people patronizing the current uses likely decreases during typical dinner hours (6:00 to 8:00) Monday through Friday, dropping off completely as they close for the evening. At this same time, traffic to Little Caesars would likely increase as a result of people picking up dinner. While the magnitude of the change in traffic levels cannot be predicted ahead of time, it is likely that the decrease in traffic to the other uses would be greater than the increase in traffic going to Little Caesars, which would result in greater parking availability during Little Caesars' peak times.
- 10. On the weekend, traffic to the other uses at this location would likely be steady throughout the day, while Little Caesars will be busiest during meal times. However, two tenants, Bellavan Nails and Mathnasium are closed on Saturday evenings. T-Mobile, Bellavan Nails, and Mathnasium are all closed on Sunday evenings, at times when Little Caesars faces a dinner rush.
- 11. Apart from signage, no exterior changes to the building are proposed.

For reference during the workshop, Article 3, Section B, Part 6 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Plan Commission must use to evaluate every special use request.

The Plan Commission shall make written findings of fact and shall refer to any exhibits containing plans and specifications for the proposed special use, which shall remain a part of the permanent record of the Plan Commission. The Plan Commission shall submit same, together with its recommendation to the Village Board for final action. No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

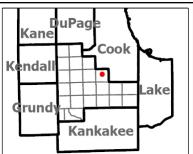
For the Commission's/Board's consideration, staff is providing the following proposed affirmative motion.

Recommend the Village Board approve a Special Use Permit for Carry-Out restaurant for a carry-out restaurant located at 20245 S. La Grange Road, Suite 3, in accordance with the submitted plans, public testimony, and Findings of Fact, conditioned upon no delivery vehicles being parked on-site overnight.



Aerial Photo - 20245 S. La Grange Road





Legend

Address Points

Roadways
Federal

State

County

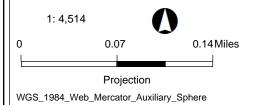
Local and Private

Parcels LY

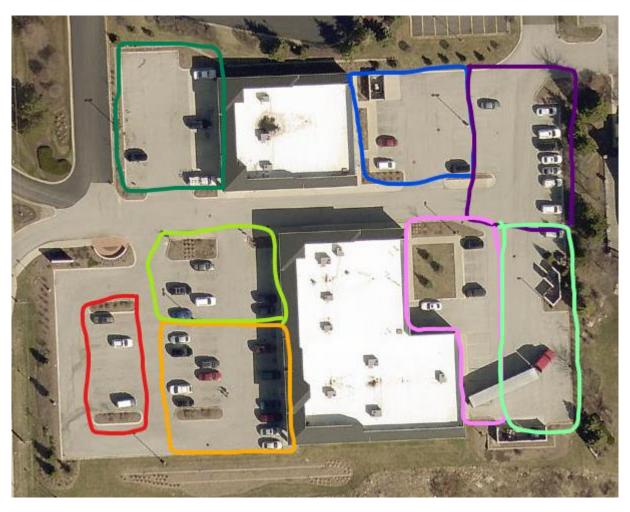
Townships

Notes

Date: 7/21/2022



Disclaimer of Warranties and Accuracy of Data: Although the data developed by Will County for its maps, websites, and Geographic Information System has been produced and processed from sources believed to be reliable, no warranty, expressed or implied, is made regarding accuracy, adequacy, completeness, legality, reliability or usefulness of any information. This disclaimer applies to both isolated and aggregate uses of the information. The County and elected officials provide this information on an "as is" basis. All warranties of any kind, express or implied, including but not limited to the implied warranties of merchantability, fitness for a particular purpose, freedom from contamination by computer viruses or hackers and non-infringement of proprietary rights are disclaimed. Changes may be periodically made to the information herein; these changes may or may not be incorporated in any new version of the publication. If you have obtained information from any of the County web pages from a source other than the County pages, be aware that electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended that careful attention be paid to the contents of any data, and that the originator of the data or information be contacted with any questions regarding appropriate use. Please direct any questions or issues via email to gis@willcountyillinois.com.



Overview of Pictures



Picture 1: Westernmost parking rows in front of building B, facing south



Picture 2: South part of parking lot in front of Building B, facing east



Picture 3: North side of parking lot in front of Building B, facing east



Picture 4: Parking in front of Building A, facing northeast



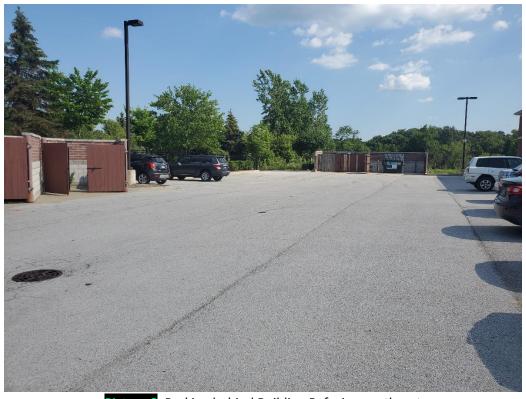
Picture 5: Parking behind Building A, facing north



Picture 6: Parking behind Building A, facing northeast



Picture 7: Parking behind Building B, facing southwest



Picture 8: Parking behind Building B, facing southeast



Application for Plan Commission / Zoning Board of Appeals Review Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following "Findings of Fact." Please attach additional pages as necessary.

- 1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
 - The maintenance and operation of the proposed take out only restaurant will not be detrimental to, or endanger, the public health, safety, morals comfort or general welfare.
- 2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
 - The Little Caesars take out only restaurant, will not be injurious to the use and enjoyment of other propterty in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair the property values within the neighborhood. This new use is consistent with the businesses in the surrounding area.
- 3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
 - The proposed Little Caesars restaurant will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- 4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
 - The proposed Little Caesars restaurant will be located within an existing tenant space in a multi-tenant building. We are not proposing to make any modifications to the exterior facade other than the addition of a wall sign. This would not change the existing character of the district.

- 5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
 - Adequate utilities, access roads, drainage and/or necessary facilities are already existing to remain. While we are below the require parking count. Adequate parking is available for our use. This will be a take out only facility. Little Caesars has a hot & ready concept. The business model is to have all orders hot and ready, reducing and/or eliminating the need to wait for any product to be prepared. The parking need is minimal, as the concept provides a quick turnaround. Customers are in and out, typically with no waiting for food preparation, reducing the demand for parking.
- 6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
 - Existing ingress and egress at the shopping center will be utilized and is sufficient for our use.
- 7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.
 - The special use conforms to the applicable regulations of the district in which it is located, except for the parking calculations for Little Caesars. There is no differentiation from dine in vs. take out only restaurants within the parking code. The demand for parking with the Little Caesars in not comparable to a dine in concept. Little Caesars has a hot & ready concept. The business model is to have all orders hot and ready, reducing and/or eliminating the need to wait for any product to be prepared. The parking need is minimal, as the concept provides a quick turnaround. Customers are in and out, typically with no waiting for food preparation, reducing the demand for parking

- Commissioners stated the building is beautiful and that they are happy with the valet parking idea and questioned if there should be some type of traffic control when events end.
- Members discussed parking noting that the existing public parking lots surrounding the building combined with the use of offsite valet would be adequate to address needs for the proposed operation;
- Commissioners discussed the outdoor seating area hours and were advised it would close with the business hours.
- Commissioners stated that applicant shouldn't limit his business hours any more than other businesses are required in the downtown area noting that there are other facilities in the downtown that can host private parties and events and that they are allowed to operate during Village events.
- Commissioners commended Mr. Currier for the detailed proposal.
- Commissioners debated this type of use on the subject property, and the affect it will have on businesses in the area. Members generally agreed that the proposed operation would be a draw for the downtown and beneficial to other businesses however some members questioned the extent of the benefit noting it is difficult to quantify.
- Commissioners stated that security should be addressed for the banquet center however noted that other establishments in the area also serve alcohol without any issues.
- Staff addressed concerns about traffic citing entrance and exit points to the lot.
- Mr. Currier noted that they are looking into sound proof glass to keep the noise levels down, there would be gates provided to keep guests on the property, and that the garden area would be opened to the public when there are no events going on.
- Mr. Brown stated that alcohol consumption would likely go until 11:00 pm the Village's maximum permitted hour of operation

D. Workshop – Frankfort Commons 2

Request: Major PUD change and rezoning from ER to B2 to permit the construction of a multi-tenant retail shopping center generally located south and east of the southeast corner of St. Francis Road and Lagrange Road.

May 28, 2015

Assistant Director Brown presented the staff report and provided an overview of the request. Architect David Mangurten presented an overview of the proposal and stated that he will ensure that HVAC units would be fully screened from view, all off site improvements would be fully restored, a trail connection will be designed, and the monument sign will comply with the ordinance.

During the Plan Commission Discussion:

- Commissioners expressed support of the removal of the auto use, and they
 were informed a national tenant was looking to take 2/3 of one of the
 buildings.
- Commissioners requested the spandrel windows be added back to the north and south sides of buildings A and B, in accordance with the previously approved plans.
- Members requested the applicant provide building cross sections to verify that complete screening of the HVAC units was provided;
- Members questioned the design of the proposed trash enclosures. The applicant noted that they would be constructed of masonry to match the buildings and that elevations would be provided on revised plans.
- The applicant agreed to remove the three parking stalls at the northeast corner of building B and that landscaping would be added to the grassy area immediately to the south;
- Commissioners supported the development moving forward, and questioned if the trucks for deliveries followed a regular schedule. They were informed trucks are expected 1-2 times per week.
- Commissioners wanted to see the retaining walls screened with landscaping and that the landscaping north of the entrance be enhanced to provide balance with the landscaping to the south, and the bicycle path connection to Route 45 be designed.
- Members discussed the proposed use of oversized brick on the south and east facades of building b and advised the applicant to use a uniform utility sized brick on all facades per the previously approved plans.
- Members wanted to see the monument sign be one uniform color.
- Commissioners requested the western most drive aisles north and south of the main entrance drive be aligned however questioned if deliveries access at the rear of the buildings would still be functional.
- Members questioned if there are any proposed food uses, they were informed that there are currently none.

• Commissioners discussed the proposed parking lot light fixtures noting that the previous approval utilized decorative fixtures and poles and the proposed was more standard in design. Members requested the applicant revise the lighting pan to utilize a decorative fixture to match the property to the north in order to create a uniform appearance along LaGrange Road;

E. Workshop - DeLuc Annexation

Request: Rezoning from ER to B2 and AG upon annexation and special use permits for indoor recreation and entertainment, accessory liquor sales, and extended hours of operation for the property located at 22962 Harlem Avenue.

Assistant director Brown presented the staff report and provided an overview of the request. Applicant Ken Deluc was present and stated he was pursuing rezoning so as to accommodate his existing landscaping nursery as well as a future event center for weddings and private parties, a liquor distribution operation, and a farm stand.

During the Plan Commission discussion:

- Staff noted that there was limited information on the proposed future uses and that it would be unusual for the Village to grant special use permits absent a complete development proposal.
- Commissioners questioned how many events per year he planned on having.

 The applicant stated approximately 20.
- Members noted that were the applicant to move forward with an event center there would need to be plans addressing parking, a proper commercial building traffic and roadway improvements, and storm water management.
- Commissioners questioned the applicant's intent of potentially pursuing a liquor distributing license; applicant stated it was just a possibility. Commissioners noted that the distribution use was more industrial in nature.
- Commissioners questioned if there was a reason to rezone to B2 at this point in time until a clearer proposal is prepared.
- Commissioners agreed that AG is an appropriate zoning classification for the entire property should it be annexed. Members suggested the applicant return to the commission and request additional rezoning and special use permits if and when he plans to pursue any of the identified future uses.
- F. Committee Update N/A
- G. Village Board Update N/A
- H. Attendance Update All) will be in attendance

September 10, 2015

F. Public Hearing - Frankfort Commons 2 Major PUD Change

Chair pro-temp Matlock swore in all those wishing to provide public testimony. Certified mailing receipts were entered into the record. Assistant Director Brown presented the staff report and provided an overview of the request. The project architect David Mangurten was present and discussed changes made to the plan following the workshop meeting.

Mr. Mangurten discussed staff's recommendation that all parking lot lights be decorative in nature to match the lights on the Old Second Bank property to the north noting that doing so would require substantially more fixtures. Mr. Mangurten suggested a compromise where the light poles along LaGrange Road be decorative while the remaining fixtures be a more traditional design.

Commissioner Matlock solicited comments from the audience however none were provided.

Motion (#15): Close the public hearing.

Motion by: Nunamaker Approved (5 to 0)

Seconded by: Rigoni

During the Plan Commission discussion:

- Commissioners discussed site access noting that the plans included a new connection to the Jameson's Pub property as well as a realigned access to St. Francis Road. Staff noted that the access was approved previously as part of the legal settlement;
- Stan Lucas from Old Second Bank questioned how trucks would access the
 property and requested that they not utilize the drive aisles in front of his
 bank. Staff noted that the westernmost access to St. Francis would be
 posted with a "no truck traffic" sign and that all trucks would access the
 property by either the right-ion / right-out on LaGrange or the realigned
 access to St. Francis on the Jameson's Pub property;
- Commissioner Rigoni questioned if the previously approved plans included decorative light fixtures throughout the development which the applicant confirmed. Mrs. Rigoni stated her preference that the fixtures remain decorative per the previously approved plans;
- Commissioners discussed the parking lot light fixture design with a majority
 of Commissioners approving of the proposed compromise where only the
 fixtures along LaGrange Road are decorative in nature;
- Trustee Kennedy noted that illumination at the northeast corner of the property at the new connection to the Jameson's Pub property was limited and questioned if the proposed plans addressed this issue. Mr. Mangurten noted that an additional fixture may be necessary to increase lighting in this area which Commissioners suggested as a possible condition;

September 10, 2015

- Members thanked the applicant for revising the architecture to use a standard size brick on all facades per their request at the workshop meeting. Members noted that the architecture was a high quality design;
- Staff noted that a cut sheet was not provided for the decorative wall lights. The applicant noted that they would provide a cut sheet to staff for approval;
- Members discussed the proposed retaining walls and site grading. Mr.
 Mangurten noted that the walls were required due to grade changes along
 the southern property line and that they would be constructed in a decorative
 stone block and softened by landscaping;
- Mr. Mangurten noted that the landscape plans would be revised to show the required detention pond perimeter landscape plantings;
- Commissioners discussed the proposed future bicycle path noting that it did
 not make sense for the path to be installed now and that the proposed cashin-lieu payment was appropriate;
- Members questioned the timeframe for construction. Mr. Mangurten noted that they would like to begin construction of one of the buildings this fall;

Motion (#16): Recommend the Village Board approve the rezoning from ER to B2 for the 2.82 acre property immediately south of lot 2 in the Heritage Bank Subdivision to permit the construction of the Frankfort Commons 2 retail development at the southeast corner of LaGrange and St. Francis Roads, in accordance with the reviewed plans and public testimony.

Motion by: Beeson Seconded by: Hanlon Approved (5 to 0)

Motion (#17): Recommend the Village Board approve a Major PUD change to permit the construction of the Frankfort Commons 2 retail development at the southeast corner of LaGrange and St. Francis Roads, in accordance with the reviewed plans and public testimony and conditioned upon provision of a \$62, 017.67 cash in lieu payment for the applicants portion of the Hickory Creek Bicycle Path, revision of the landscape plan to include the required detention pond perimeter landscape plantings, utilization of decorative parking lot light fixtures along the LaGrange Road frontage, revision of the photometric plan to increase lighting at the northeast corner of the development, and staff approval of a decorative wall light fixture design.

Motion by: Hanlon Seconded by: Beeson Approved (5 to 0)

September 10,2015

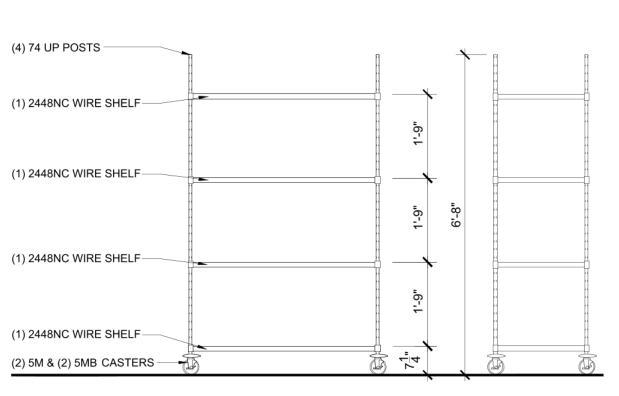
Motion (#18): Recommend the Village Board approve the final plat for the Mazel Resubdivision to permit the construction of the Frankfort Commons 2 retail development at the southeast corner of LaGrange and St. Francis Roads, in accordance with the reviewed plans and public testimony.

	Motion by: Approved (5	Beeson to 0)	Seconded by: Rigoni
	_		
G.	Village Board U	pdate	
			the 1980's Theme Committee approved the outdoor
	patio design fo	r Fat Rosie's	and that the Village Board approved the project in its
	entirety.		
H.	Other Business		
	None:		
I.	Attendance Up	date	
			noted that he would not be in attendance at the next
	meeting. All ot	her Commissi	ioners confirmed their availability.
	Motion (#19):	Adjournme	ent (9:45 PM)
	Motion by: Nur	_	*
	Unanimously a	pproved by vi	oree vote.
	Approved Sep	tember 24 20	015
	Approved Sep	10111001 24, 20	""
	As Presented		
	<u></u>		- \ \ \ \
	As Amended		
			/s/Don Schwarz, Chair
			/s/ Secretary
			/3/ Decicially

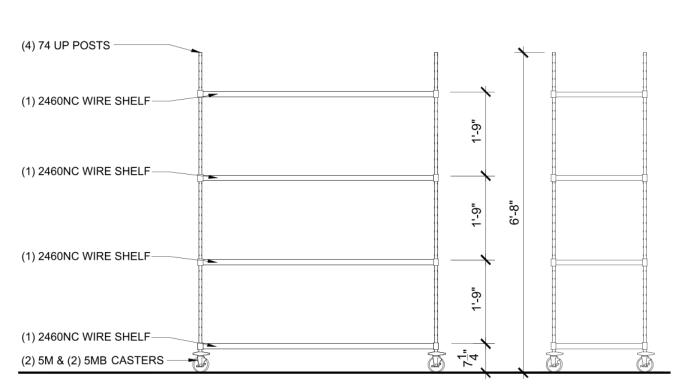


EQUIPMENT SCHEDULE		ELECTRICAL REQUIREMENTS						PLUMBING REQUIREMENTS						
A. 12	A. 120" B. 108" C. 96" D. 84" E. 72"		NOTE: AMPS SHOWN ARE											BLUELINE EQUIPMENT
F. 60	F. 60" G. 48" H. 36" J. 42" K. 30" L. 24"		A	CTUAL	POWER USA	GE.			WATER		DRAIN		GAS	(800) 447-1933 (248) 448-6200 FAX: (248) 442-4657
	NDICATES EQUIPMENT CALLOUT	(32											FAX. (246) 442-4637	
#	DESCRIPTION	AMPS (NOT BREAKER SI	WATTS	НР	VOLTS	POLE	DIRECT	PLUG	НОТ	COLD	DIRECT	IND.	BTU'S	COMMENTS
\vdash	S.S. WORK TABLE [30" x 96"]	4 ≤	>			ш		ш						WITH CASTERS
1C														
1G	S.S. WORK TABLE [30" x 48"]													WITH CASTERS
2E	S.S. LANDING TABLE [36" x 72"]													WITH CASTERS
4H	POLYMER DUNNAGE RACK [22" x 36"]													
5F	POLYPROPYLENE RACK [24" x 60"]													
6	DOUGH RACKS [22" x 27"]													
6P	PAN RACK													METPOOFAL OF INJOUR
7F	SUPER ERECTA WIRE RACK [24" x 60"]													METROSEAL 3 FINISH
7G	SUPER ERECTA WIRE RACK [24" x 48"]													METROSEAL 3 FINISH
8	3 COMP. POT SINK W/2 DRAINBOARDS								3/4"	3/4"		2"		COMPARTMENTS 16"W X 21" L X 14"D
9	MOP SERVICE BASIN [BY CONTRACTOR]								3/4"	3/4"	3"			
10	HAND SINK								1/2"	1/2"	1 1/2"			
11	TANKLESS GAS WATER HEATER [RINNAI CU199i]		64		120	1				3/4"				NATIONAL PRICING (866-383-0707)
12	REACH-IN SODA COOLER - GDM-45	10.2	1224	1/2	120	1		Х						NEMA 5-15P
13	P.O.S. & CASH DRAWER	0.75	90		120	1		Х						ISOLATED GROUND
13A	TOUCH SCREEN	0.3	36		120	1		Х						ISOLATED GROUND
14	LCD MULTIMEDIA MONITOR (42")	2.66	132		120	1		Х						EMAIL: LCESME@LCECORP.COM
15	GAS CONVEYOR OVEN [2 DECK BOFI XLT-3270-TS]	8.5	1020		120	1		Х					627,000	8.5 AMPS & 209,000 BTUH PER DECK
16	HOOD SYSTEM [XLT-3270-TS AVI]													SUPPLY FAN
	EXHAUST FAN [VENT TECH VT-DU85HFA-AVI]	2.5	995	0.75	230	1	Х							INTERLOCK WITH MAKE-UP AIR
	EXHAUST FAN ROOF CURB													ORDER PER ROOF TYPE & CODE
	TEMPERED SUPPLY FAN [AAON RQ-006-8-V-FB09-352]	35	12594	1.0	208-240	3	Х							INTERLOCK WITH EXHAUST FAN
	FAN ROOF CURB [XLT-3270-TS AAON]													ORDER PER ROOF TYPE & CODE
17	MIXER	27	9108	7.5	208-240	3	Х							PROVIDE NON-FUSED DISCONNECT
18	FREEZER [RIGHT HINGE ONLY]	3.7	426	1/2	115	1		Х						12.5 CUBIC FEET, NEMA 5-15P
21	PIZZA RETARDER [111"] W/OVERSHELF	12.8	1536	5/8	120	1		Х						NEMA 5-20P
23P	SHEET PRESS													
24	UNDER COUNTER SAFE													NEED 9V BATTERY
25	PHONE STATION [14" x 48"]/SOLID SHELF	5.8	700		120	1		Х						SUPER ERECTA CHROME
26	READY DOUBLE RACK													
33	HEATED HOLDING CABINET	16	1920		120	1		Х						NEMA L5-20P
33D	HEATED HOLDING - MERCHANDISER CABINET	16	1920		120	1		Х						NEMA L5-20P
36	SHROUD PACKAGE 10'-0" CEILING													INCLUDES 40'-0" OF BANDING
37E	6'-0" PRE-FAB FRONT COUNTER													
37H	3'-0" PRE-FAB FRONT COUNTER													
37L	2'-0" PRE-FAB FRONT COUNTER													
42	CUSTOMER WAITING CHAIR													MOLDED SLED BASE STACK CHAIR
43	SINGLE WALL SHELVING UNIT [18" X 48"]													†
44	DOUBLE WALL SHELVING UNIT [18" x 48"]													
45	9'-8" x 15'-5" x 8'-3" WALK-IN COOLER	20	7197	3	208-230	3	Х							†
47	4.5" x 9'-0" & 2" x 9'-0" STAINLESS STEEL END CAPS													
51	DOUGH ROUNDER [FUTURE]	4.6	560	3/4	120	1		Х						AVAILABLE IN 220V
52G	48" BREAD STATION													
53	DISHWASHING STATION STORAGE GRID													30" x 36" W/ACCESSORIES
56G	48" LANDING STATION SHELF & GRID													30" x 48" W/ACCESSORIES
66	DOUGH DIVIDER [FUTURE]	7	2664		220	3		Х						L15-20P PLUG BY ELECTRICIAN
67	PAN OILER	1.2	138		115	1		X						
69	WATER CHILLER/DISPENSER [FUTURE]	1.2	1320		110	1	X		3/4"	3/4"		$\vdash \vdash \vdash$		
77	AUTOMATED HEATED HOLDING CABINET	14	1700		120	1	^	Х	5/4	5/4				ADD SWITCH TO NEMA L5-20P
\vdash						1						\vdash		
78	PORTAL PASS THRU W/2-HEATED SHELVES HATCO GRS-30-I	3.8	450		120			Х		<u> </u>				NEMA 5-15P EACH SHELF

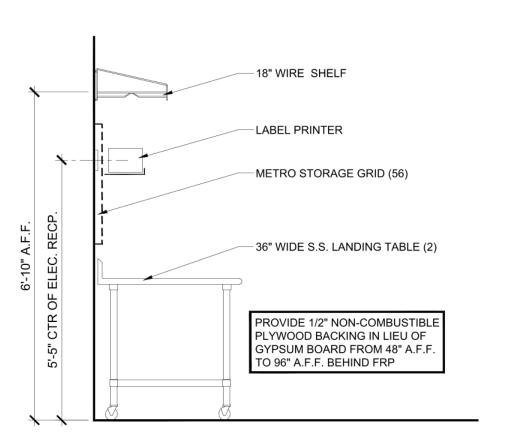
L WIRE SHELVING SHOWN TO BE MOUNTED AT 84" A.F.F. UNLESS NOTED NOTED PROVIDE $rac{1}{2}$ " NON-COMBUSTIBLE PLYWOOD BACKING IN LIEU OF GYPSUM BOARD FROM 48" AFF. TO 96" AFF. BEHIND FRP FINISH.



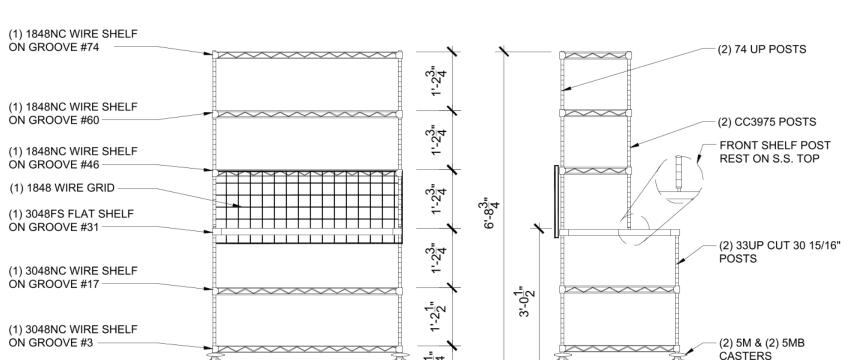
WIRE RACK 24" X 48" SHELVES SCALE: 1/2" =1'-0"



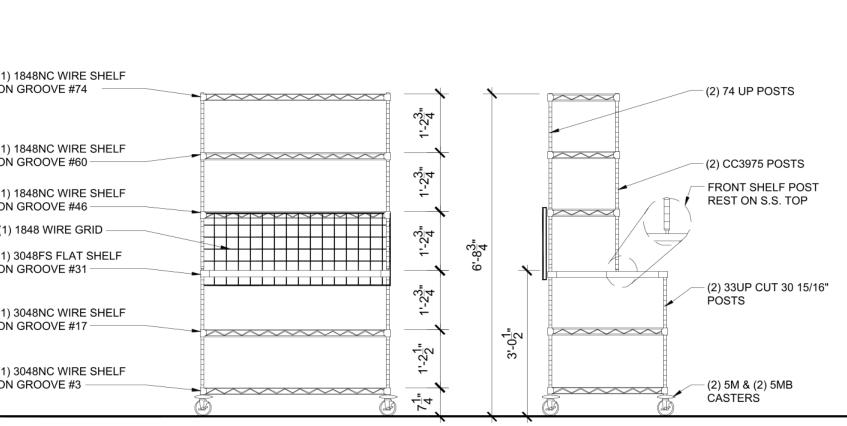
WIRE RACK 24" X 60" SHELVES SCALE: 1/2" =1'-0"

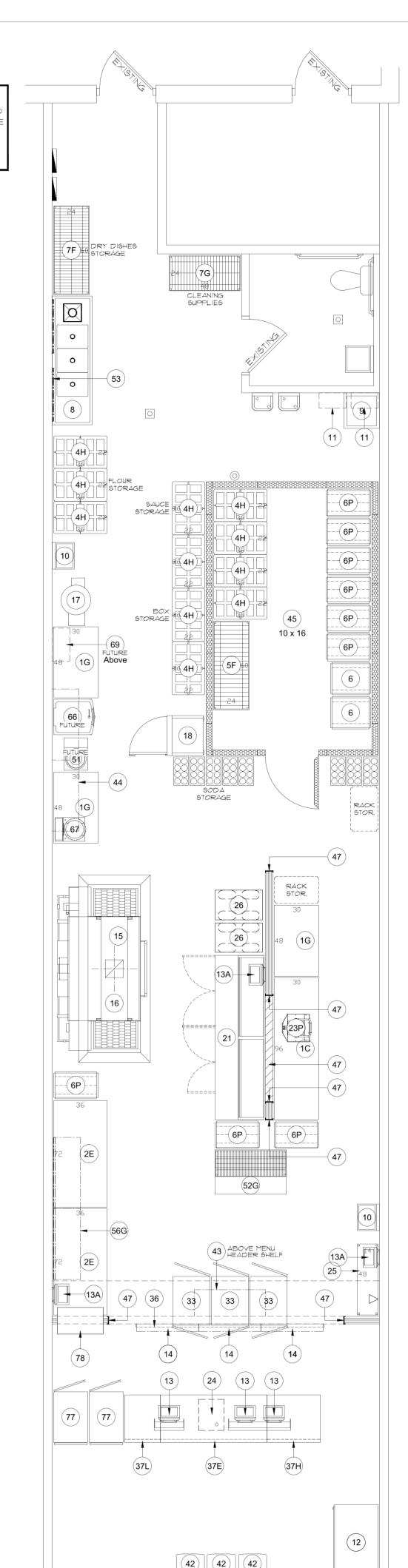


LANDING SHELVES WITH STORAGE GRID SCALE: 1/2" = 1'-0"

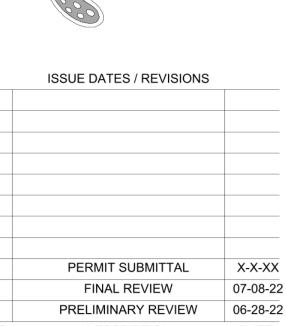


BREAD STATION 18" X 48" SHELVES WITH 30" X 48" TABLE SCALE: 1/2" =1'-0"









DESCRIPTION © MRV ARCHITECTS, INC. 2022 THESE DOCUMENTS ARE THE PROPERTY OF MRV ARCHITECTS, INC. & MAY NOT BE REUSED, COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM THE AUTHOR

DRAWN BY : J. THORSTENSON CHECKED BY: M. VALENTINI : 06-07-22 PROJECT No: 22046

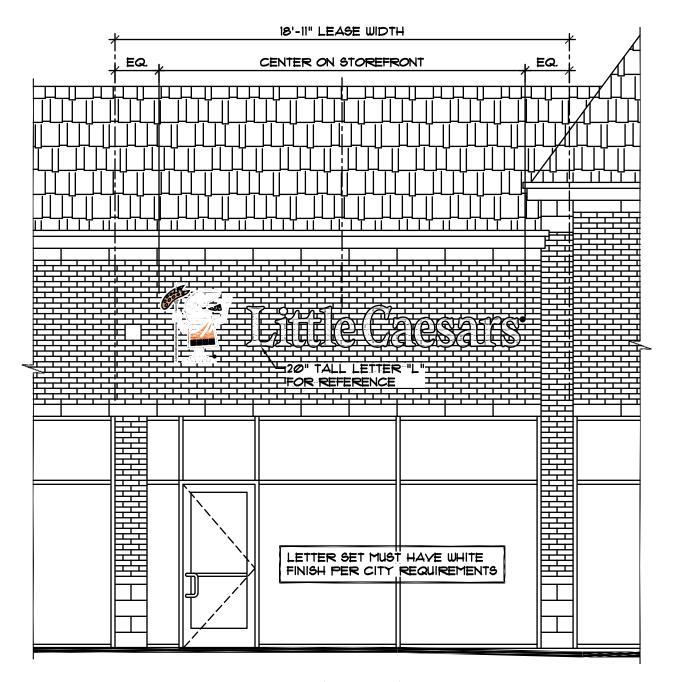
LITTLE CAESARS 20245 S. LaGRANGE RD. SUITE #3 FRANKFORT, IL 60423

EQUIPMENT PLAN & SCHEDULE

SHEET



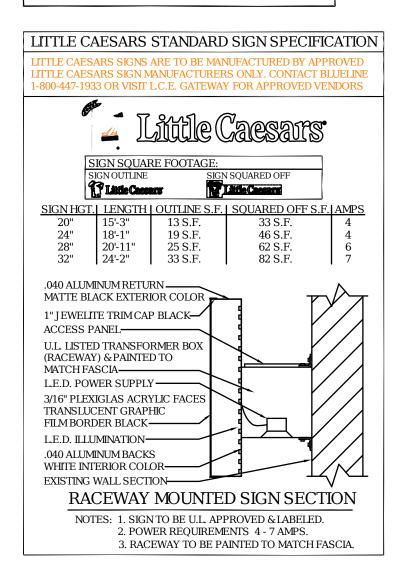
By aduffin at 12:45 pm, Jul 19, 2022

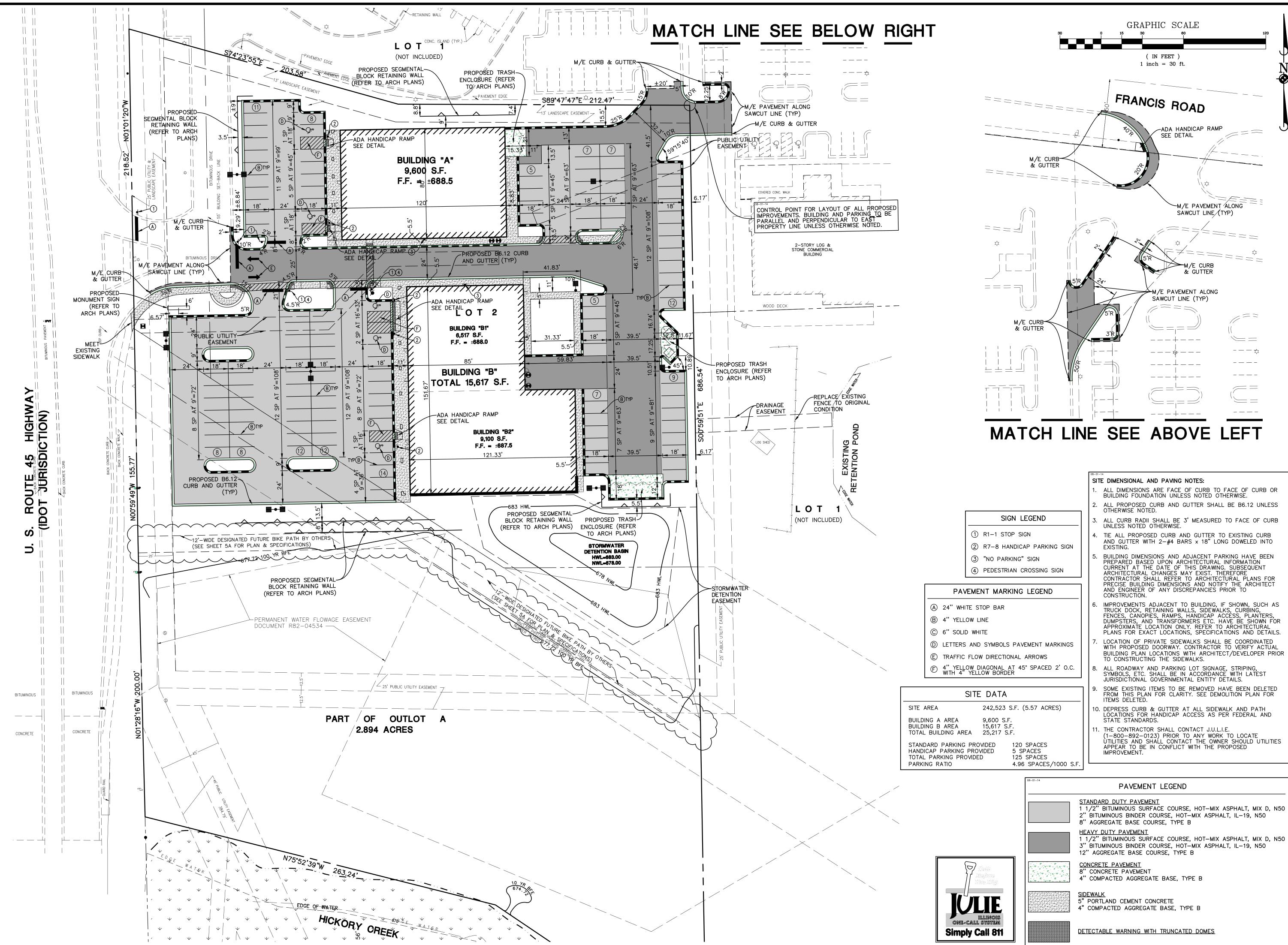


EXTERIOR ELEVATION (WEST)

SCALE: 1/4" = 1'-0"

SIGNAGE NOT A PART OF THESE DOCUMENTS - UNDER SEPARATE PERMIT





PHASE

COMMONS

AND

ENSIONAL

- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR
- ALL CURB RADII SHALL BE 3' MEASURED TO FACE OF CURB
- TIE ALL PROPOSED CURB AND GUTTER TO EXISTING CURB AND GUTTER WITH 2-#4 BARS x 18" LONG DOWELED INTO
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT
- TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS
- BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR

1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50

PROJ. MGR.: RJS

PROJ. ASSOC.: DDK

DRAWN BY: MH

DATE:

<u>1"=30'</u> SHEET AETFKIL01

<u>1-9-15</u>



Project: Everbrook Academy

Meeting Type: Public Hearing

Requests: Major Change to a PUD; Special Use Permit for a Daycare Center/Preschool; Special Use

Permit for extended hours of operation

Location: 11031 W. Lincoln Highway (Pending Address Assignment) a.k.a Lot 1 in New Lenox State

Bank Subdivision

Applicant: Tom Williams, Owner's Representative

Prop. Owner: REM Acquisitions, LLC

Consultants: Javier Cora, Architect; Scott DiGilio, Civil Engineer

Report By: Marty Murphy, Attorney Michael J. Schwarz, AICP

Site Details

Lot Size: 2.561 acres

PIN(s): 19-09-20-301-055-0000 **Existing Zoning:** B4 Office District, PUD

Prop. Zoning: B4 Office District, PUD, with a Special Use

Permit

for a Daycare Center

Building(s) / Lot(s): Vacant/undeveloped lot

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Vacant/undeveloped	General Commercial	B4 PUD
North	Forest Preserve	Parks / Open Space	Will County A-1
South	Single-Family Attached Residential	Single-Family Attached Residential	R4 PUD
East	Single-Family Attached Residential	Single-Family Attached Residential	R4 PUD
West	Commercial (Bank)	General Commercial	B2 PUD



Project Summary

The applicant, Tom Williams, representing the property owner, REM Acquisitions, LLC, has filed an application requesting (1) a Major Change to the Prairie Crossings Planned Unit Development (PUD); (2) a Special Use Permit for a Daycare Center/Preschool in the B4 Office District; and (3) a Special Use Permit for extended hours of operation, for the property located at 11031 W. Lincoln Highway, Frankfort, Illinois (PIN: 19-09-20-301-055-0000).

The Plan Commission/Zoning Board of Appeals held an initial workshop on this matter on April 28, 2022. At that workshop, the members discussed the proposed use for a daycare center/preschool, the view of the north side of the building and outdoor play area from Lincoln Highway and other design details. Following that workshop the applicant provided a Tree Removal and Preservation Plan, provided a Photometric Plan, revised the Landscape Plan, and revised the building and site Signage Plan. A second workshop was held on June 9, 2022. At that workshop the

discussion topics included the orientation of the play area facing Route 30; changes that were made to the building elevations since the last workshop; lack of visual continuity with the adjacent bank, including the lesser roof pitch; and signage.

Property Background ————

The overall shopping center known as Prairie Crossings, located at the southeast corner of U.S. Route 30/Lincoln Highway, was annexed, rezoned, and granted a Special Use for a Planned Unit Development (PUD), along with other Special Uses for a drive-up window for a bank, a gas station, outdoor seating, sale of alcoholic beverages, and a carry-out restaurant, on August 5, 2002 (Ordinance Nos. 1908, 1909, 1918). From staff's research of Village records, it appears that a small portion of the subject property – the "bump-out" at the southwest corner, was included in the Prairie Crossings PUD as depicted on the "Zoning Plan", which is Exhibit C to the annexation agreement. The larger remainder of the property appears to already have been annexed into the Village and zoned C-5 PUD per the 2001 Zoning Map. C-5 was the Office/Transitional District zoning classification under the former Village Zoning Ordinance before the current zoning classification system was adopted on September 17, 2001, as part of the current version of the Zoning Ordinance.

In 2002, the subject property was recorded as Lot 1 in the New Lenox State Bank Subdivision (Lot 2 is the property which now contains the BMO Harris Bank).

On January 22, 2008, the Village Board approved Ordinance No. 2439, approving a Major Planned Unit Development (PUD) Change for the subject property, two allow two separate office buildings with 105 total parking spaces. Office Building #1 was approximately 11,327 square feet and located on the northern portion of the site along U.S. Route 30/Lincoln Highway, 30 feet from the eastern property line. Office Building #2 was approximately 8,866 square feet and located on the southern portion of the site, 50 feet from the southern property line. A key feature of the plan was a rectangular green space with raised seating area and center planter island in the middle of the parking lot within the center portion of the site. The proposed office buildings also mimicked the bank building (originally the New Lenox State Bank building, now BMO Harris Bank) in terms of architectural style, roof pitch, roof dormers, and building materials. Ordinance No. 2439 and associated information and various plans are attached for background information. Construction of the office buildings never occurred, likely due to the economic downturn during the Great Recession.

Attachments —

- 1. 2020 Aerial Photograph from Will County GIS
- 2. Site Photographs taken 4.21.22
- 3. ALTA/NSPS Land Title and Topographic Survey dated 2.17.22, received 4.18.22
- 4. Site Plan dated 3.1.22, revised/received 6.24.22
- 5. Site Details dated 6.23.22, received 6.24.22
- 6. Building Elevations dated 6.23.22, revised/received 6.24.22
- 7. Colored Building Elevations dated 6.23.22, revised/received 6.24.22
- 8. 3D Renderings dated 3.1.22, revised/received 6.24.22
- 9. Material Board dated 6.23.22, received 6.24.22
- 10. Sign Design Package dated 3.30.22, revised/received 6.24.22
- 11. Tree Removal/Preservation Plan dated 5.24.22, received 5.25.22
- 12. Landscape Plan (black and white) dated 5.23.22, received 6.24.22
- 13. Playground Details dated 3.1.22, received 4.21.22
- 14. Playground Equipment Plans and Details dated 4.5.22, received 4.21.22
- 15. Detention Easement Agreement granting rights to the subject property dated 10.14.02, received 4.22.22
- 16. Photometric Plan with Light Fixture Specifications dated 5.19.22, received 5.25.22
- 17. Preliminary Engineering (Site Plan, Utility Plan, Grading Plan) dated 4.26.19, received 7.5.22
- 18. Preliminary Engineering Review Comments dated 8.3.22

- 19. Ordinance No. 2439 with associated plans and background information
- 20. Approved PC/ZBA Workshop Meeting Minutes from 6.9.22 and 4.28.22

Analysis —

In consideration of the request, staff offers the following points of discussion:

Zoning

- 1. The applicant proposes to construct a ±12,870 sq. ft. daycare center/preschool called Everbrook Academy on Lot 1 in the New Lenox State Bank Subdivision, located at 11031 W. Lincoln Highway (address assignment pending).
- 2. The subject property is 2.56 acres and is located immediately to the east of the BMO Harris Bank at 11041 W. Lincoln Highway.
- 3. The property is zoned B4 Office District, and a small portion of the property is part of the Prairie Crossings Planned Unit Development which contains the adjacent BMO Harris Bank and the shopping center to the west. The larger remainder of the property is part of an older Planned Unit Development per the 2001 Zoning Map.
- 4. A Major Change to the PUD is required because the property is currently undeveloped. The proposed development is a major change to the Prairie Crossings PUD (for the small "bump-out" at the southeast corner of the subject property), as well as a major change to a previous PUD for the larger remainder of the property as was depicted on the 2001 Zoning Map.
- 5. A Special Use Permit for a Daycare Center/Preschool is required in the B4 Office District.
- 6. The Village's Zoning Ordinance does not contain specific use standards for daycare centers/preschools. Parking and traffic flow are often primary areas of consideration for daycare centers/preschools. The unique nature of their operation may generate spikes in traffic and parking demand during peak times when children are being dropped off and picked up.

Site Plan

- The submitted Site Plan depicts a one story, L-shaped, 12,870 square-foot daycare center/preschool building, situated in the central portion of the property, with the front entrance to the building oriented to face a proposed parking lot to the south, and the rear of the building and outdoor playground area oriented to face north toward Illinois Route 30/Lincoln Highway. The main entrance would be located at the southwest corner of the building.
- 2. Access to the proposed parking lot is via a cross-access easement through Lot 1 in the New Lenox State Bank Subdivision, Phase 2. Said cross-access easement is currently improved with pavement and curb and gutter and serves as the driveway entrance for the existing BMO Harris Bank parking lots and drive-through lanes. There is an existing signalized intersection at the eastern entrance to the Prairie Crossings Shopping Center, immediately to the west of the BMO Harris Bank.
- 3. The proposed building complies with all required setbacks in the B4 Office District, including the minimum 150' front yard setback from the centerline of Route 30. The Site Plan indicates that the rear wall of the building will be 115'-5" from the front property line, which is approximately 195'-5" from the centerline of Route 30.
- 4. Increased building setbacks are provided from the residential properties to the east (50' required; more than 70' provided) and from the residential properties to the south (50' required; more than 170' provided).
- 5. The Village of Frankfort Zoning Ordinance requires daycare centers/preschools to provide parking at a ratio of one (1) space per employee plus one (1) space per ten (10) client children or adults. The applicant has indicated that the facility will have a <u>maximum capacity</u> of 150 children (this would be the total enrollment assuming 100 percent occupancy), with ages 6 weeks up to 12 years, and 15 staff during the busiest times, resulting in a parking requirement of 30 total spaces. The facility likely will not operate at maximum capacity at all times and on all days, as some children will attend on a part time basis.
- 6. A total of 41 parking spaces are depicted on the Site Plan, including 2 handicap accessible spaces, which complies with the Zoning Ordinance.

- 7. For a previous daycare proposal on a different property in February 2019 (The Learning Experience located at 20970 S. La Grange Road) staff reviewed the American Planning Association publication "Parking Standards" which recommends daycare facilities provide parking based upon either capacity (students and teachers) or square footage of the facility. Recommendations based upon *capacity* ranged from one space for every 10-15 students and one space per teacher. Parking recommendations based upon *square footage* ranged from 1 space per every 375 500 square feet. Using the most conservative calculation, 30 parking spaces would be required for the Everbrook proposal based on *capacity* and 35 parking spaces would be required based on *square footage*. The proposed 41 parking spaces is on the high end of the American Planning Association's recommendations and is consistent with Village Zoning Ordinance requirements.
- 8. In February 2019, following the PC/ZBA workshop for The Learning Experience proposal, staff conducted a parking analysis of the existing KinderCare daycare facility located at 10003 W. Lincoln Highway to provide the Commissioner's with a better real world understanding of parking demands and trip generations associated with daycare facilities. In that analysis, the maximum number of trips to the KinderCare site during any 15-minute period under observation was 14, which occurred between 4:30 and 4:45 pm. The maximum number of cars parked within that 40-space lot was 21, which occurred at 3:45 pm.
- 9. The applicant has indicated that the peak drop-off period is from 6:30-9:30 a.m. and the peak pick-up period is from 3:30-6:30 p.m.
- 10. The applicant has indicated that curbside drop-off and pickups are not permitted.
- 11. To preserve as many of the parking spaces as possible in front of the building for customer traffic, staff recommends that Commissioners consider a condition requiring that employees shall utilize the proposed 15 parking spaces located along the south end of the parking lot.
- 12. No loading berth is depicted on the Site Plan. The Zoning Ordinance requires one (1) loading berth for a school or educational facility, a minimum of 50' in length, 12' in width, and 14' in vertical clearance. The applicant is seeking a waiver of this requirement.
- 13. A ±5,975 square-foot outdoor play area is proposed to the north of the building. The applicant proposes to enclose the play area with a 6' tall, black, ornamental aluminum open picket fence, with masonry piers spaced approximately 20'-8" apart (The original submittal included a 6' tall, white vinyl privacy fence around the play area). The play area is set back 75.22' from the front property line (approximately 155.22' from the centerline of Route 30). Article 6, Section C, Part 1(c) of the Zoning Ordinance requires all principal and accessory structures (which would include the play area structures) to adhere to all bulk dimensions, which would include the minimum 150' front yard setback from the centerline of Route 30. In initial discussions with the applicant, staff suggested that the building be flipped so that the play area would be closer to the bank to the west and further from the residential subdivision to the east. The applicant indicated that the internal configuration of the building does not allow for that change.
- 14. The applicant has submitted Playground Details and Playground Equipment Details. At this time, staff's only concern is the proposed "Storage Shed by Tenant" which is depicted and labeled on the Site Plan. Staff will need to review the details of the proposed shed to ensure that it does not exceed the height of the 6' tall, black, ornamental aluminum open picket fence.
- 15. As part of the engineering review, the Village's Consulting Engineer has noted that the Village Design Standards require 26' minimum width drive-aisles within the parking lot. The Site Plan reflects 24' drive aisles. The applicant's design engineer has indicated that there is adequate room on the site to provide 26' drive-aisles and still comply with all parking lot setbacks, therefore the Site Plan will be revised.

Landscape Plan / Tree Preservation Plan

- 1. The applicant has submitted a revised Landscape Plan in black and white, which depicts the proposed new plantings as well as identifies any existing trees to be preserved.
- 2. The applicant has also submitted a Tree Preservation Plan which includes a survey of the existing trees.
- 3. Staff has reviewed the Landscape Plan and has the following comments, which may be addressed prior to Village Board consideration as conditions to be attached to any motion for approval:
 - a) The center portion of the required transition yard along the south side of the property is slightly narrower than 25' and must be revised to meet the regulation.

- b) No symbology or labels are provided on the Landscape Plan which are necessary to indicate the location and quantity of species and plant types. This information is required to verify compliance with the Landscape Ordinance.
- c) The height of the shrubs is required on the plant list to determine total plant units. Volumes are given in most cases, but the height is necessary to confirm compliance with the Landscape Ordinance.
- 4. The Tree Preservation Plan depicts the removal of seven (7) existing trees in the center portion of the site where the parking lot would be located. The Plan depicts forty-five (45) trees to be removed along the east and south property lines. Per the tree survey on the Plan, none of the trees to be removed are classified as Preservation Trees per the Landscape Ordinance. All trees to be removed are either dead or in poor condition. The Plan depicts thirty-five (35) trees to be preserved.
- 5. The applicant proposes to offset the removed trees by planting numerous new trees and plantings within the required transition yards abutting the east and south property lines.
- 6. The Landscape Plan depicts a trash enclosure in the southwest corner of the parking lot, more than 50' from the south property line. The Site Details Plan (Sheet AS2.1) depicts an 8' tall trash enclosure which will be constructed of materials to match the exterior of the building masonry block and stone veneer wainscot as well as a composite wood slat gates.
- 7. As part of the development of the Prairie Crossings Shopping Center, the subject property was improved with a terraced front yard along U.S. Route 30/Lincoln Highway, which includes two parallel limestone block retaining walls. The Landscape Plan depicts new trees, shrubs, and groundcover to be added to along both terraces.

Engineering Plans

- 1. The applicant has submitted Preliminary Engineering Plans which have been reviewed by the Village's Consulting Engineer (see attached review letter). There are no major engineering issues. As stated in the Site Plan comments above, the drive-aisles must be revised from 24' in width to 26' in width and an AutoTURN® analysis must be submitted to ensure maneuverability for fire trucks and delivery vehicles.
- 2. The applicant has submitted a recorded Detention Easement Agreement. The applicant has indicated that the document provides that the owner subject property has the right to utilize the existing stormwater detention basin for the overall Prairie Crossings Shopping Center which is located to the south of the adjacent BMO Harris Bank parking lot.
- 3. The B4 Office District requires a maximum impervious surface lot coverage of 70%. Per the applicant's design engineer, the proposed development has an impervious surface lot coverage of 43% and will comply with the requirement.

Architecture

- 1. The applicant proposes to construct a single-story building with a hip roof, including a dominant gable over the entrance on the south elevation. Lesser gables are proposed above two sets of windows on the south elevation and above three sets of widows on the west elevation. No gables are proposed on the north elevation facing U.S. Route 30/Lincoln Highway or the east elevation facing the adjacent residential subdivision. The north and east elevations each include a recessed rooftop area which would contain the mechanical units for the building. Those units would be screened with composite lumber railings (Aged Bronze color). The roof material would be asphalt shingles (Weathered Wood color).
- 2. The predominant exterior material on all elevations is thin brick in a red color which attempts to match the adjacent BMO Harris Bank building. The applicant has provided a material sample which will be brought to the public hearing. It should be noted that there are no buildings in the Prairie Crossings Shopping Center, including the BMO Harris Bank building, that utilize thin brick material. All existing buildings have dimensional brick. The Plan Commission/Zoning Board of Appeals may wish to add a condition that dimensional brick to match the BMO Harris Bank building be provided.
- 3. The more residential style of the building is a distinct departure from the Federalist style of architecture for the BMO Harris Bank building.
- 4. The proposed 5/12 roof pitch is less than the much steeper 9/12 roof pitch of the adjacent BMO Harris Bank but is generally consistent with the roof pitch of the gabled portions of the smaller outlot buildings in the Prairie Crossings Shopping Center.

- 5. A 2'-8" cultured stone wainscot is proposed on all elevations. The stone style and color appear to be generally similar to the wainscot found on the buildings in the Prairie Crossings Shopping Center. The adjacent BMO Harris Bank building does not have a stone wainscot. The applicant has provided a material sample which will be brought to the public hearing.
- 6. The walls under the three gables on the south elevation would be finished with Nichiha vintage wood fiber cement siding in a vertical orientation (Cedar color). The same material would be used as an accent material on either side of the north gable on the west elevation, as well as to the right of the south gable on the west elevation.
- 7. The exterior walls within the two recessed rooftop areas would be finished with thin brick in a carbon black velour color to blend with the color of the asphalt shingles.
- 8. The height of the building is 26'-4" which would comply with the maximum height of 35 feet in the B4 Office District.
- 9. The proposed vinyl windows would have clear glass and almond color trim.

Photometrics/Site Lighting Plan

- 1. The applicant has provided a Photometrics Plan and light fixture specifications. The Plan depicts four 15' tall parking lot lights (the height includes the base). The light fixtures are black, flat-head LED lights. The Photometric Plan demonstrates that the light readings would be zero footcandles at the property lines. Parking lot light fixtures may be mounted at 25' or less, which is the maximum height permitted by the Municipal Code. The Village's Municipal Code requires decorative bases for all parking lot light poles. No details have been provided for the bases for the light poles.
- 2. The Building Elevations depict ingress and egress lighting above all exterior doors, but no fixture details have been submitted.
- 3. Per the applicant, the lighting consultant is proposing light pole and exterior light fixture options to match or at least be compatible and harmonious with those which exist in the surrounding development. The adjacent BMO Harris Bank has black coach light fixtures on black poles within its parking lot. The Prairie Crossings Shopping Center has much taller black "shoebox" style light fixtures on black poles within its parking lot.
- 4. Given the proximity to nearby residential properties, the previous office approval in 2008 included a condition that the single parking lot light fixture was to be connected to a shutoff timer although no specific time was stated in the ordinance condition.

Signage

- 1. The applicant is proposing a total of three (3) exterior signs one (1) ground sign along U.S. Route 30/Lincoln Highway, one (1) wall sign on the south building elevation, and one (1) directional sign oriented to face the entrance to the parking lot.
- 2. A directional sign at the entrance to the parking lot that was removed from the plan for the second workshop meeting has now been placed back on the plan. The proposed directional sign requires the following variations as part of the proposed Uniform Sign Plan:
 - a. Internal illumination. Internally-illuminated directional signs are not permitted [Municipal Code Section 151.064(B)(1)(b)].
 - b. Information. Internally-illuminated directional signs may not include the business name or logo, only "Enter". "Exit", etc. [Municipal Code Section 151.064(B)(1)(e)]. Under 151.005 (Definitions) the following is stated: DIRECTIONAL SIGNS. Signs limited to directional messages, principally for pedestrian or vehicular traffic, such as "one-way," "entrance," drive-thru,", and "exit," but does not identify the establishment itself or other goods or services available at the establishment and does not contain advertising messages.
 - c. Color. All colors of any directional sign shall be compatible and harmonious with the color of the building identified by the sign. Furthermore, text on a directional sign is limited to three colors, unless otherwise regulated by the approved uniform sign plan. The logo on the proposed directional sign includes four (4) colors.
 - d. Height. The maximum height of a directional signs is four feet (4'). The proposed directional sign is 5' in height.

- e. Sign Area. The maximum area for a directional sign is five (5) square feet. The proposed directional sign is 3' wide by 1'-8" high for a total of 5.25 square feet.
- 3. The applicant is proposing a 20 square-foot monument sign along U.S. 30/Lincoln Highway. The proposed sign is 7'-8" wide and 5' high. This is one (1) foot taller than the previously submitted monument sign. The maximum height of a sign for a single-tenant building within the B4 District is 7' but may be increased 10% to allow for ornamental features (a maximum of 7'-8.4"). The maximum area for a freestanding sign for both single tenant and multi-tenant commercial uses is determined by the total square footage of the building(s). The maximum allowable area of the proposed monument sign is 20 square feet.
- 4. The applicant is proposing one (1) internally illuminated wall sign on the southern façade of the building. The proposed wall sign does not face a public right-of-way. The Sign Regulations require that for a single-tenant business, one (1) wall sign shall be permitted per frontage on public right-of-way or frontage on a main point of ingress/egress into the commercial development. Staff believes that no variation would be needed for the location of the southern wall sign which faces the parking lot, as that wall sign would be in lieu of a sign which would be permitted on the north elevation (rear of the building) facing U.S. Route 30/Lincoln Highway.
- 5. The Village's Municipal Code limits wall signage to a maximum of one square foot per linear foot of frontage resulting in a maximum wall sign square footage of approximately 145 square feet for the proposed building. The applicant proposes to install a 65 square-foot internally illuminated wall sign above the main entrance to the building (south elevation) facing the proposed parking lot.

Hours of Operation

1. The proposed business hours of operation are 6:30 a.m. to 6:30 p.m. on weekdays. The facility is closed on Saturdays and Sundays. The applicant is requesting a Special Use Permit to allow hours of operation outside of the Village's normal hours of operation which are 7:00 a.m. to 11:00 p.m. under Article 6, Part 2(q) of the Zoning Ordinance.

Standards for Planned Unit Developments ————

For reference during the workshop, Article 3, Section F of the Village of Frankfort Zoning Ordinance refers to Planned Unit Developments (refer to complete Article 3 attached). Part 4 of said Section F refers to the review standards the must be considered.

In granting or withholding approval of Preliminary Plans and Final Plans, the Plan Commission and the Village Board shall consider the extent to which the application fulfills the requirements of this Ordinance and the following standards:

- a. The plan is designed to protect the public health, welfare, and safety.
- b. The proposed development does not cause substantial injury to the value of other property in the immediate area.
- c. The plan provides for protection of the aesthetic and function of the natural environment, which shall include, but not be limited to, flood plains, streams, creeks, lakes, ponds, wetlands, soil and geologic characteristics, air quality, vegetation, woodlands, and steep slopes.
- d. The plan provides for and ensures the preservation of adequate recreational amenities and common open spaces.
- e. Residential use areas may provide a variety of housing types to achieve a balanced neighborhood.
- f. The planned unit development provides land area to accommodate cultural, educational, recreational, and other public and quasi-public activities to serve the needs of the residents thereof.

g. The proposed development provide for the orderly and creative arrangement of all land uses with respect to each other and to the entire Village.

Standards for Special Uses ——

For reference during the workshop, Article 3, Section B, Part 6 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Plan Commission must use to evaluate every special use request.

The Plan Commission shall make written findings of fact and shall refer to any exhibits containing plans and specifications for the proposed special use, which shall remain a part of the permanent record of the Plan Commission. The Plan Commission shall submit same, together with its recommendation to the Village Board for final action. No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Affirmative Motions —

For the Commission's consideration, staff is providing the following affirmative motions that may be modified as desired.

- Recommend that the Village Board approve a Major Change to the Prairie Crossings Planned Unit Development (PUD) for the "bump-out" at the southwest corner of the property, and a Major Change to the unnamed Planned Unit Development on the larger remainder of the property, for the property located at 11031 W. Lincoln Highway (Pending Address Assignment), in accordance with the submitted plans, public testimony and Findings of Fact, subject to the following conditions:
 - a. Subject to the Village Engineer's approval of the Preliminary Engineering Plans prior to Village Board consideration.
 - b. Subject to staff approval the Landscape Plan prior to Village Board consideration.
 - c. Subject to staff approval of the Photometric Plan prior to Village Board consideration.
 - d. Subject to staff approval of the Building Elevations prior to Village Board consideration.
 - e. Subject to staff approval of the Sign Package prior to Village Board consideration.

- 2. Recommend that the Village Board approve a Special Use Permit for a Daycare Center/Preschool for the property located at 11031 W. Lincoln Highway (Pending Address Assignment), in accordance with the submitted plans, public testimony, and Findings of Fact, subject to the following condition:
 - a. Parking lot lights shall be connected to a shutoff timer which automatically turns off the lights no later than 9:00 p.m. each night.
- 3. Recommend that the Village Board approve a Special Use Permit for extended hours of operation (allowing the Daycare Center/Preschool to open for business at 6:30 a.m.) for the property located at 11031 W. Lincoln Highway (Pending Address Assignment), in accordance with the submitted plans, public testimony, and Findings of Fact.



Aerial Photo - Lot 1 in New Lenox State Bank Subdivision







Address Points

Roadways

Federal

State

— County

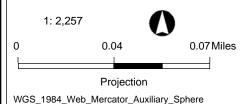
Local and Private

Parcels LY

Townships

Notes

Date: 4/22/2022



Disclaimer of Warranties and Accuracy of Data: Although the data developed by Will County for its maps, websites, and Geographic Information System has been produced and processed from sources believed to be reliable, no warranty, expressed or implied, is made regarding accuracy, adequacy, completeness, legality, reliability or usefulness of any information. This disclaimer applies to both isolated and aggregate uses of the information. The County and elected officials provide this information on an "as is" basis. All warranties of any kind, express or implied, including but not limited to the implied warranties of merchantability, fitness for a particular purpose, freedom from contamination by computer viruses or hackers and non-infringement of proprietary rights are disclaimed. Changes may be periodically made to the information herein; these changes may or may not be incorporated in any new version of the publication. If you have obtained information from any of the County web pages from a source other than the County pages, be aware that electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended that careful attention be paid to the contents of any data, and that the originator of the data or information be contacted with any questions regarding appropriate use. Please direct any questions or issues via email to gis@willcountylllinois.com.

<u>Site Photos – 11031 W. Lincoln Highway</u>



Figure 1: 11031 W. Lincoln Highway, viewed looking south from U.S. Route 30/Lincoln Highway.



Figure 2: 11031 W. Lincoln Highway, viewed looking south from U.S. Route 30/Lincoln Highway.



Figure 3: BMO Harris Bank at 11041 W. Lincoln Highway as viewed from U.S. Route 30/Lincoln Highway. Subject property is located immediately adjacent to the east (left).



Figure 4: 11031 W. Lincoln Highway, viewed from cross-access drive behind BMO Harris Bank looing east.



Figure 5: 11031 W. Lincoln Highway, viewed looking north from cross-access drive behind BMO Harris Bank.



Figure 6: Rear of Settlers Pond townhomes, viewed looking south from cross-access drive behind BMO Harris Bank.



Figure 7: Rear of Settlers Pond townhomes, viewed looking east from cross-access drive behind BMO Harris Bank.



Figure 8: U.S. Route 30/Lincoln Highway, viewed looking east from 11031 W. Lincoln Highway.



Figure 9: Existing landscape terrace with limestone block retaining walls along frontage of 11031 W. Lincoln Highway, viewed looking east.



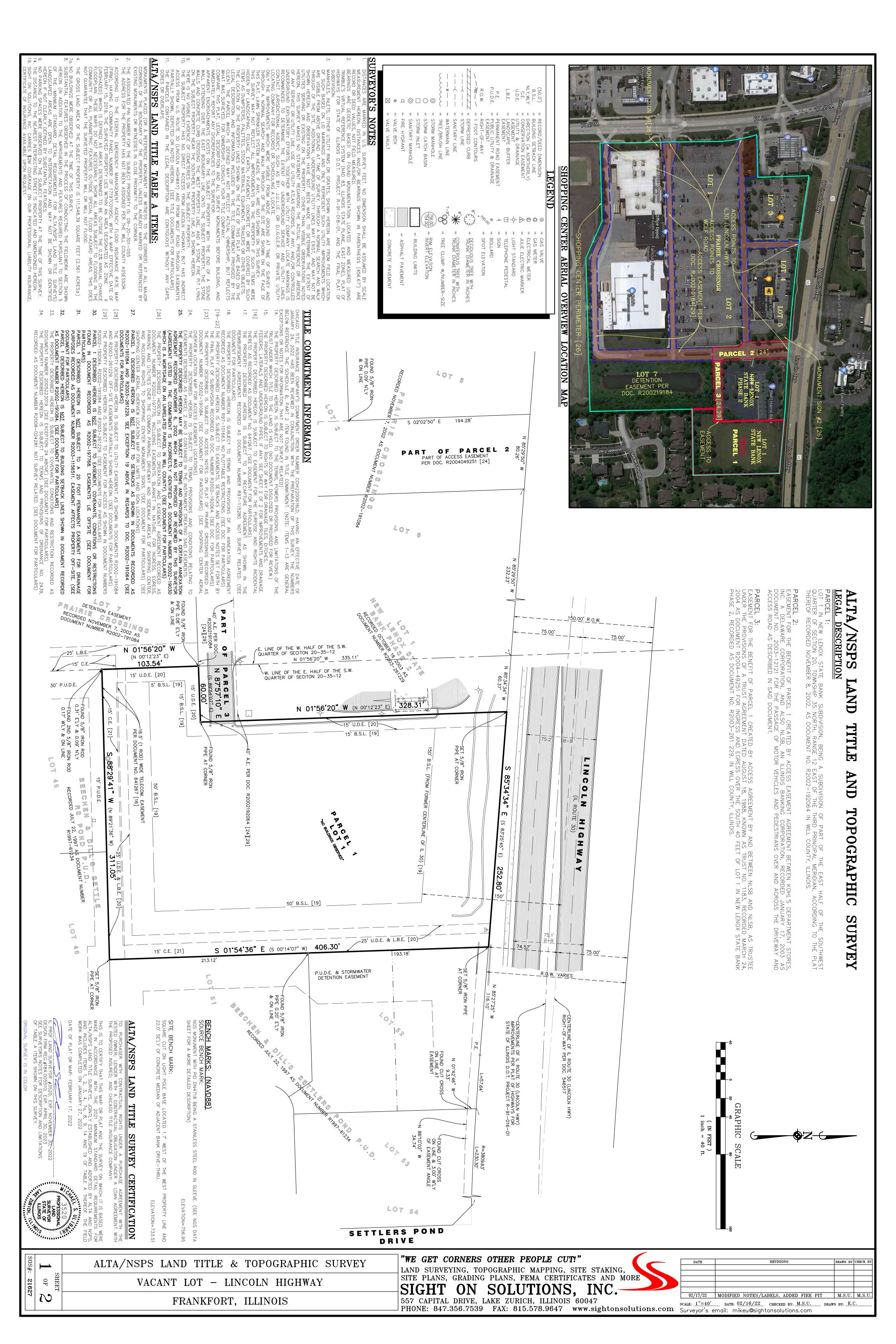
Figure 10: Existing landscape terrace with limestone block retaining walls along frontage of 11031 W. Lincoln Highway, viewed looking west.

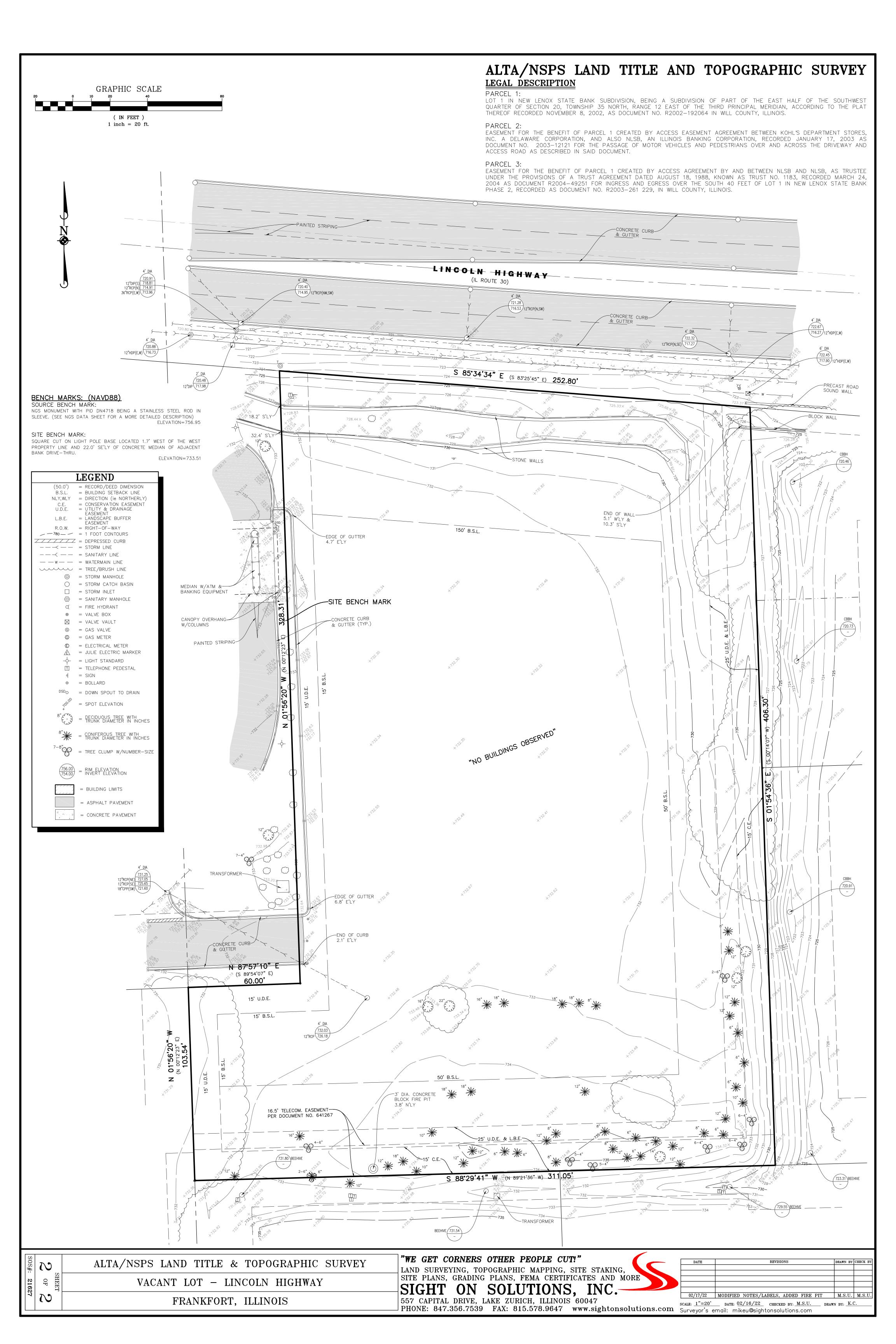


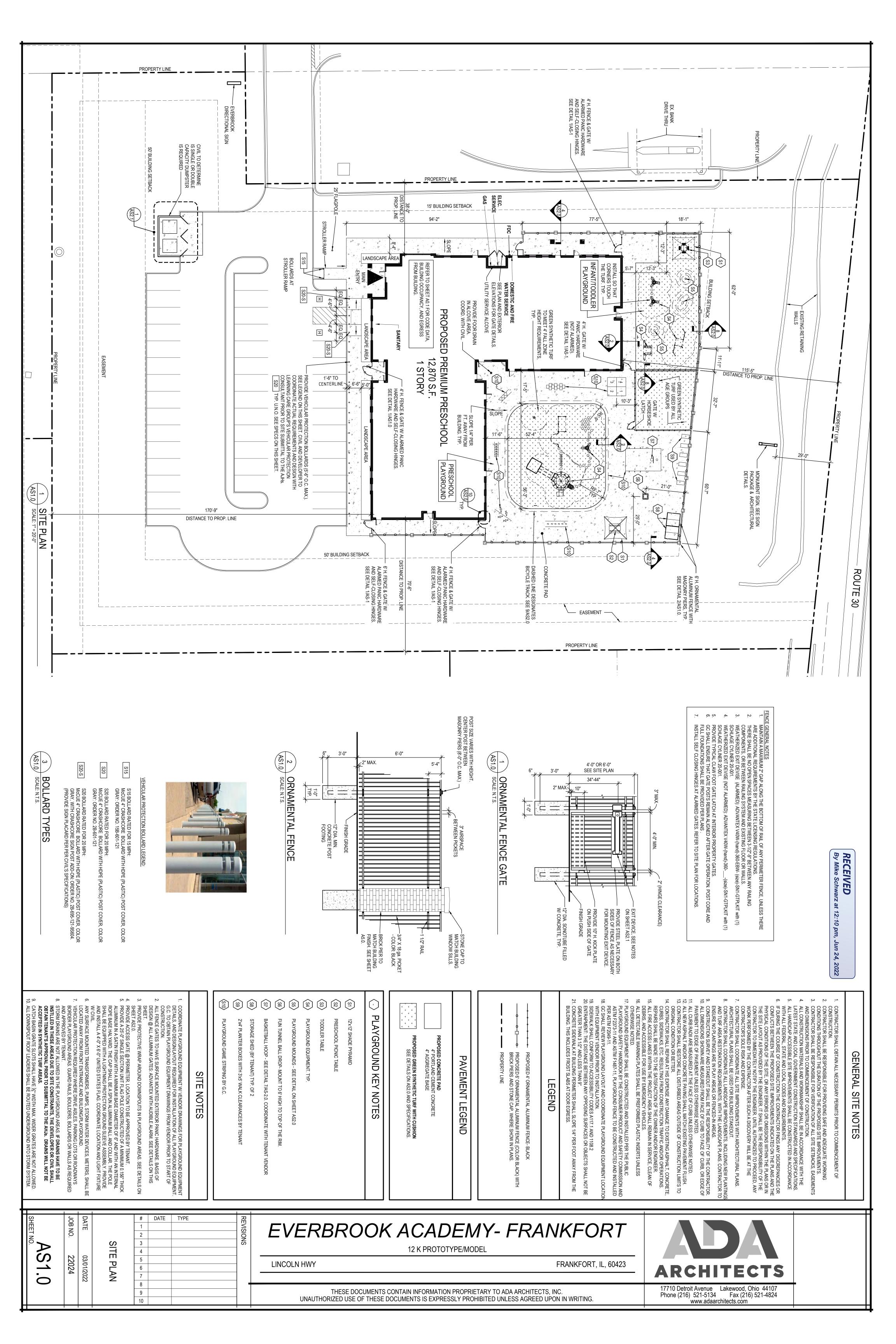
Figure 11: Existing landscape terrace with limestone block retaining walls along frontage of 11031 W. Lincoln Highway, viewed looking south.

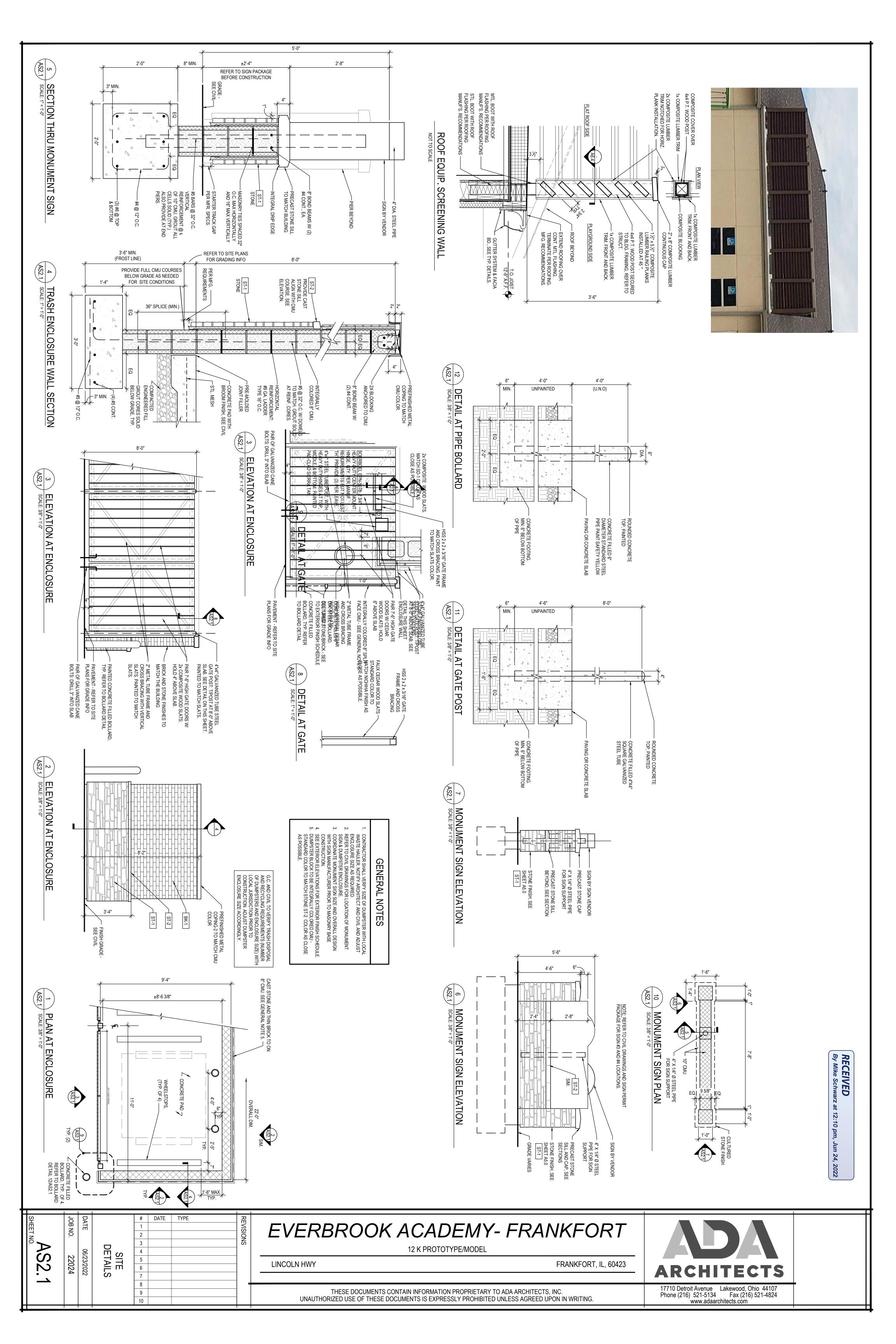


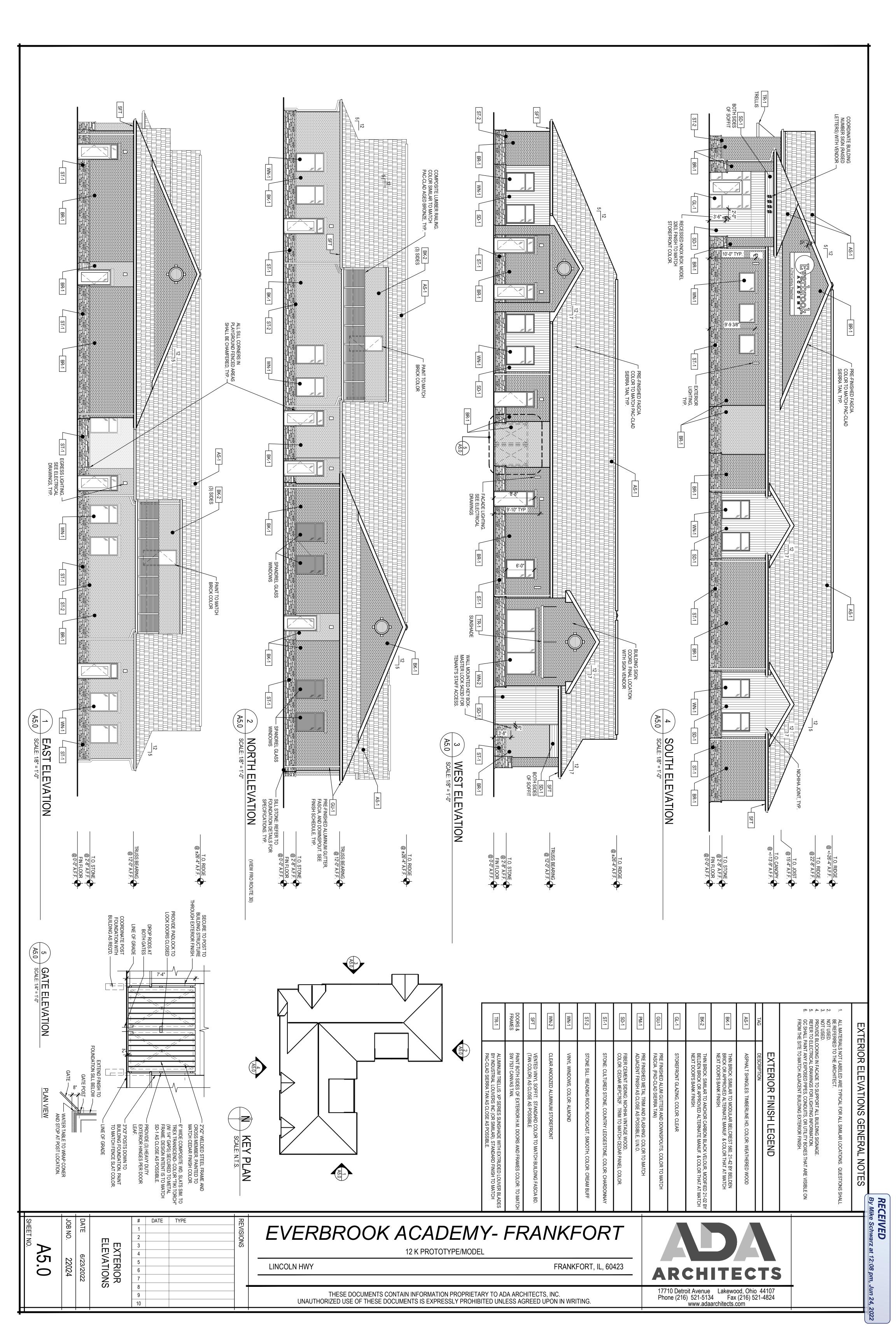
Figure 12: Existing trees located in southern portion of subject property at 11031 W. Lincoln Highway.

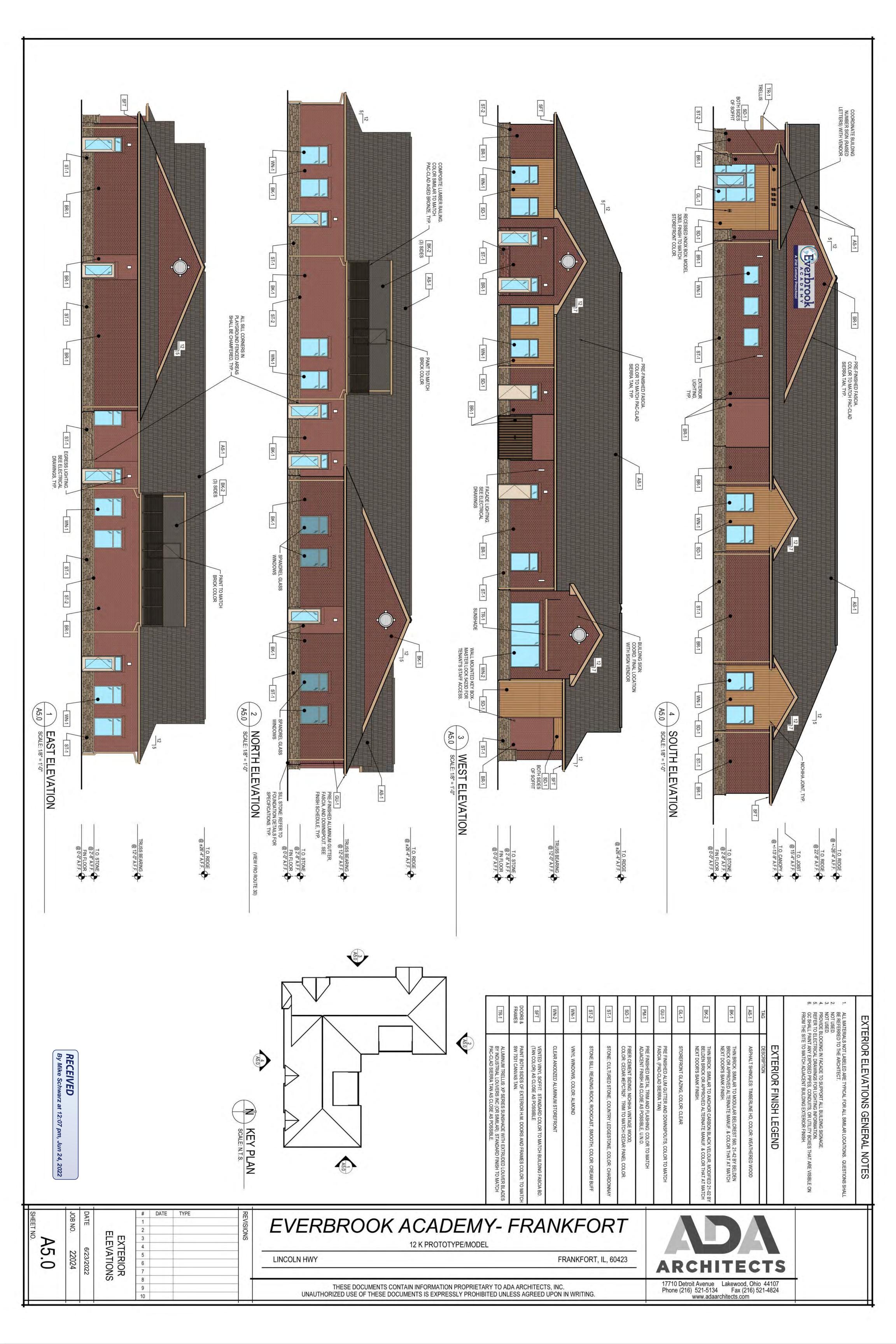


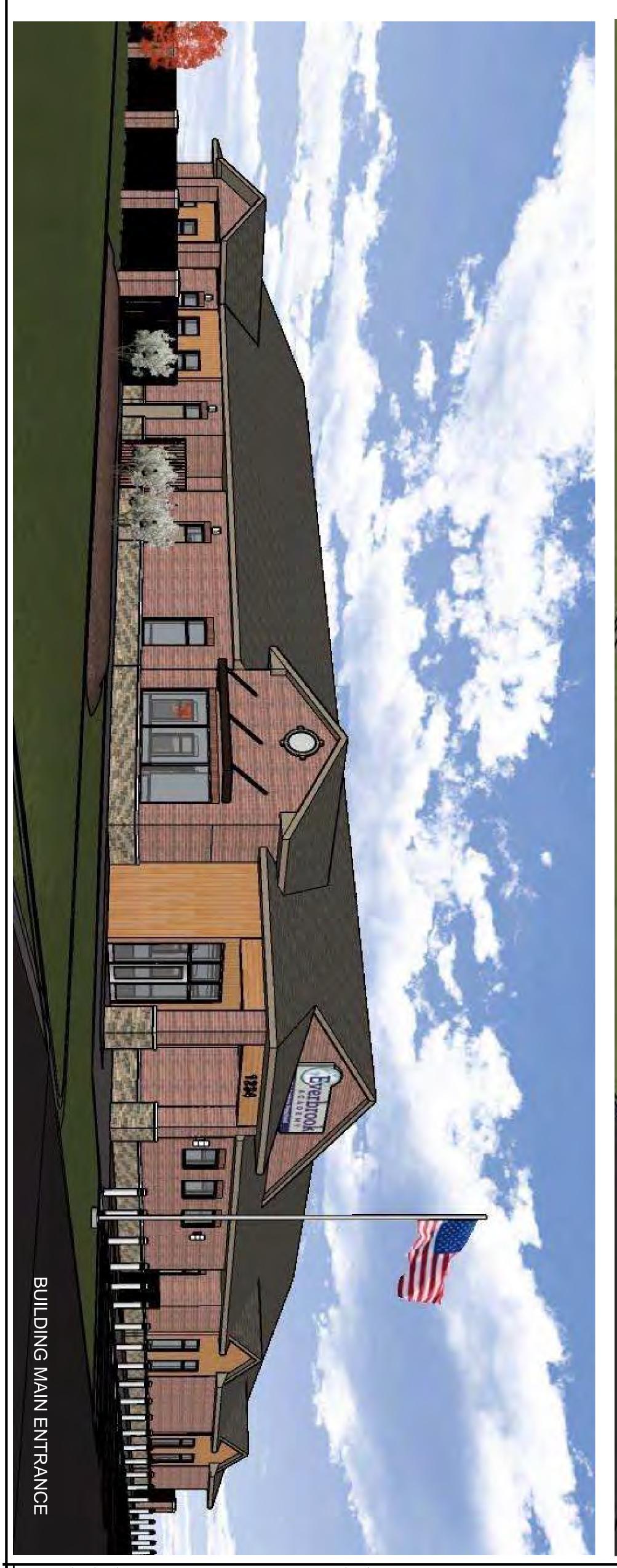














န		5	₽ .		#	DATE	TYPE	ᅵᇋ
上点		 	DATE	カ	1]
SHEET NO.		JOB NO.		m	2			70000
Ō	_			REND	3			2
				\Box	4			
	1	22	03/) E	5			
		22024	03/01/2022	$\mid \mathcal{R} \cup \mathcal{R} $	6			
		+>	02;	=	7			
			12		8			
				3D ERINGS	9			
					10			

EVERBROOK ACADEMY- FRANKFORT

12 K PROTOTYPE/MODEL

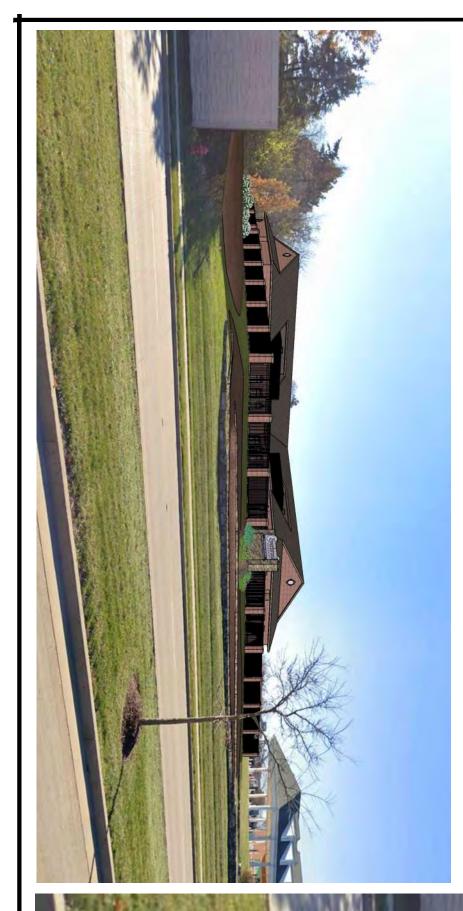
LINCOLN HWY

FRANKFORT, IL, 60423

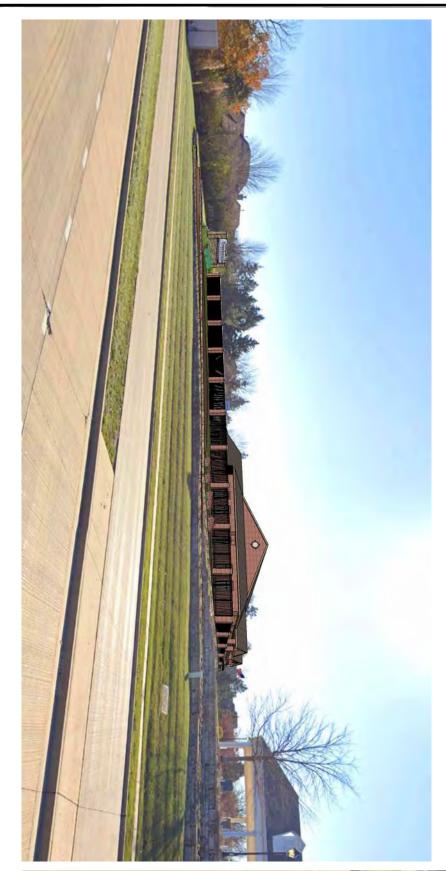
ARCHITECTS, INC.

17710 Detroit Avenue Lakewood, Ohio 44107
Phone (216) 521-5134 Fax (216) 521-4824
www.adaarchitects.cc

This document ("Instrument of Service") was prepared by ADA Architects, Inc. ("ADA") specifically for the referenced project and is not intended for any other use. ADA retains all common law, statutory and other
reserved rights, including copyrights. This Instrument of Service shall not be used on other projects, for additions to this project or for completion of this project by others without ADA's prior written consent. Any
unauthorized use of this Instrument of Service shall be at the User's sole risk and without liability to ADA ADA makes no warranties, express or implied, of merchantability or of fitness for a particular number









Н									
Н	S		ے			#	DATE	TYPE	
	SHEET NO.		JOB NO.	DATE		1	DATE	1111 -	
			Į	ш	<u> </u>	1			
	\overline{z}		.0		П	2			₫
	0				M Z	3			<i>d</i>
						4			
		1	22024	6/23/2022	3E	5			
		N)	2,0	3/2	$\mid \mathcal{R} \cup \mathcal{R} $	6			
		. •	45	022	RZ Z	7			
				15	ดิ	8			
					Š	9			

EVERBROOK ACADEMY- FRANKFORT

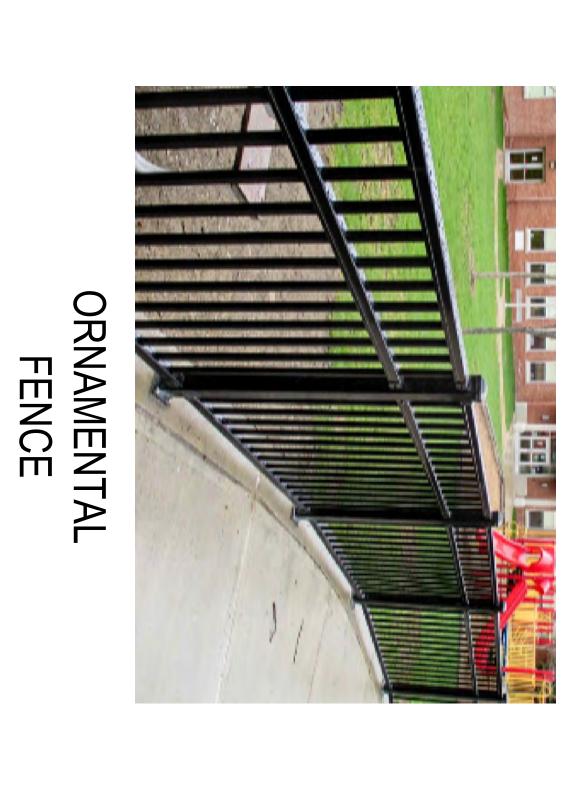
12 K PROTOTYPE/MODEL

LINCOLN HWY FRANKFORT, IL, 60423

ARCHITECTS, INC.

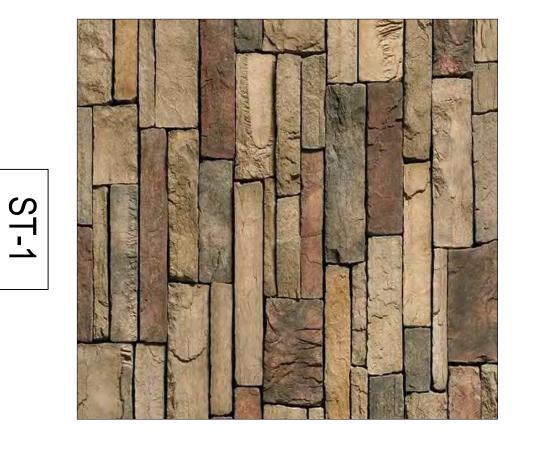
17710 Detroit Avenue Phone (216) 521-5134 Fax (216) 521-4824 www.adaarchitects.cc

This document	("Instrument of Service") was prepared by ADA Architects, Inc. ("ADA") specifically for the referenced project and is not intended for any other use. ADA retains all common law, statutory and other	
reserved right	s, including copyrights. This Instrument of Service shall not be used on other projects, for additions to this project or for completion of this project by others without ADA's prior written consent. Any	
unauthorized	use of this Instrument of Service shall be at the User's sole risk and without liability to ADA ADA makes no warranties, everyones or implied, of merchantability or of fitness for a natricular number	



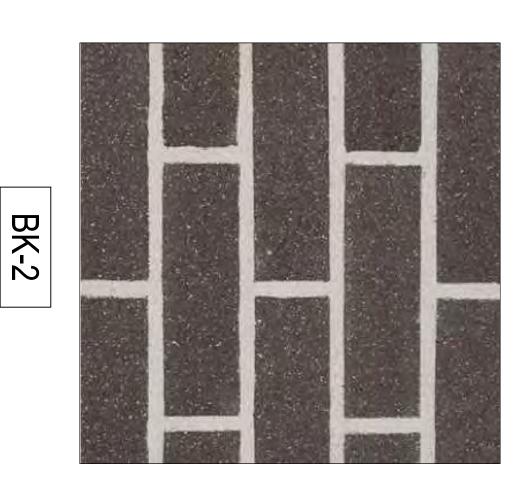


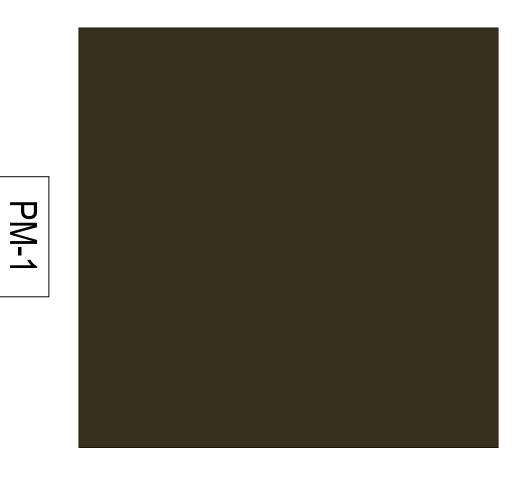












PAC-CLAD SIERRA TAN AS CLOSE AS POSSIBLE.	
ALUMINUM TRELLIS: XP SERIES SUNSHADE WITH EXTRUDED LOUVER BLADES BY INDUSTRIAL LOUVERS INC (OR SIMILAR). STANDARD FINISH TO MATCH	TR-1
PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES COLOR: TO MATCH SW 7531 CANVAS TAN.	DOORS & FRAMES
VENTED VINYL SOFFIT: STANDARD COLOR TO MATCH BUILDING FASCIA BD (TAN COLOR) AS CLOSE AS POSSIBLE	SFT
CLEAR ANODIZED ALUMINUM STOREFRONT	WN-2
VINYL WINDOWS, COLOR: ALMOND	WN-1
STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF	ST-2
STONE: CULTURED STONE, COUNTRY LEDGESTONE, COLOR: CHARDONNAY	ST-1
FIBER CEMENT SIDING: NICHIHA VINTAGE WOOD, COLOR: CEDAR #EPC762F. TRIM TO MATCH CEDAR PANEL COLOR	SD-1
PRE FINISHED METAL TRIM AND FLASHING: COLOR TO MATCH ADJACENT FINISH AS CLOSE AS POSSIBLE, U.N.O.	PM-1
PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR TO MATCH FASCIA. (PAD-CLAD SIERRA TAN)	GU-1
STOREFRONT GLAZING, COLOR: CLEAR	GL-1
THIN BRICK: SIMILAR TO ANCHOR CARBON BLACK VELOUR, MODIFIED 21-02 BY BELDEN BRICK OR APPROVED ALTERNATE MANUF. & COLOR THAT AT MATCH NEXT DOOR'S BANK FINISH.	BK-2
THIN BRICK: SIMILAR TO MODULAR BELCREST 560, 21-42 BY BELDEN BRICK OR APPROVED ALTERNATE MANUF. & COLOR THAT AT MATCH NEXT DOOR'S BANK FINISH.	BK-1
ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD	AS-1
DESCRIPTION	TAG

DATE JOB NO.

6/23/2022 22024

A5.

MATERIALS BOARD

8

9 10

	EXTERIOR FINISH LEGEND
TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BK-1	THIN BRICK: SIMILAR TO MODULAR BELCREST 560, 21-42 BY BELDEN BRICK OR APPROVED ALTERNATE MANUF. & COLOR THAT AT MATCH NEXT DOOR'S BANK FINISH.
BK-2	THIN BRICK: SIMILAR TO ANCHOR CARBON BLACK VELOUR, MODIFIED 21-02 BY BELDEN BRICK OR APPROVED ALTERNATE MANUF. & COLOR THAT AT MATCH NEXT DOOR'S BANK FINISH.
GL-1	STOREFRONT GLAZING, COLOR: CLEAR
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR TO MATCH FASCIA. (PAD-CLAD SIERRA TAN)
PM-1	PRE FINISHED METAL TRIM AND FLASHING: COLOR TO MATCH ADJACENT FINISH AS CLOSE AS POSSIBLE, U.N.O.
SD-1	FIBER CEMENT SIDING: NICHIHA VINTAGE WOOD, COLOR: CEDAR #EPC762F. TRIM TO MATCH CEDAR PANEL COLOR.
ST-1	STONE: CULTURED STONE, COUNTRY LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: ALMOND
WN-2	CLEAR ANODIZED ALUMINUM STOREFRONT
SFT	VENTED VINYL SOFFIT: STANDARD COLOR TO MATCH BUILDING FASCIA BD. (TAN COLOR) AS CLOSE AS POSSIBLE
OORS & RAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES COLOR: TO MATCH SW 7531 CANVAS TAN.
TR-1	ALUMINUM TRELLIS: XP SERIES SUNSHADE WITH EXTRUDED LOUVER BLADES BY INDUSTRIAL LOUVERS INC (OR SIMILAR). STANDARD FINISH TO MATCH PAC-CLAD SIERRA TAN AS CLOSE AS POSSIBLE.

DATE TYPE

REVISIONS

LINCOLN HWY

12 K PROTOTYPE/MODEL

FRANKFORT, IL, 60423

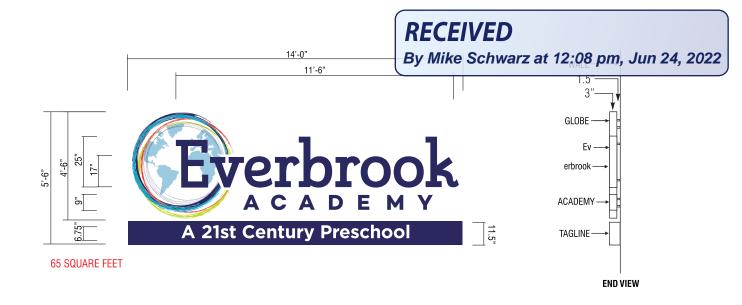


THESE DOCUMENTS CONTAIN INFORMATION PROPRIETARY TO ADA ARCHITECTS, INC. UNAUTHORIZED USE OF THESE DOCUMENTS IS EXPRESSLY PROHIBITED UNLESS AGREED UPON IN WRITING.

17710 Detroit Avenue Lakewood, Ohio 44107 Phone (216) 521-5134 Fax (216) 521-4824 www.adaarchitects.com

RECEIVED

By Mike Schwarz at 12:08 pm, Jun 24, 2022



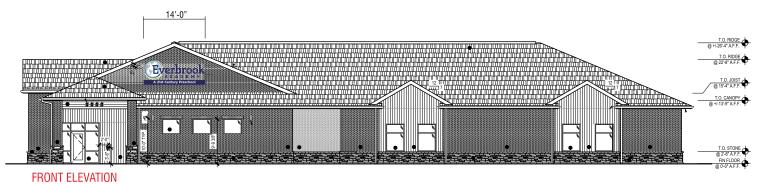
1 SPECIFICATIONS

LED INTERNALLY ILLUMINATED LETTERS AND LOGO

Globe and EV will be channel letters
Globe will be vinyl graphics with EV having dark purple faces and sides
Silhouette lit white
erbrook and academy will be 3" letters pegged off wall 1 1/2" purple faces and sides silhouette lit white
Illuminated tagline cabinet will be opaque purple white vinyl copy
Note: Transformers remote behind wall

Purple PMS 5265 CP Blue PMS 7703 CP Red PMS 7626 CP Green PMS 382 CP





ADDRESS:

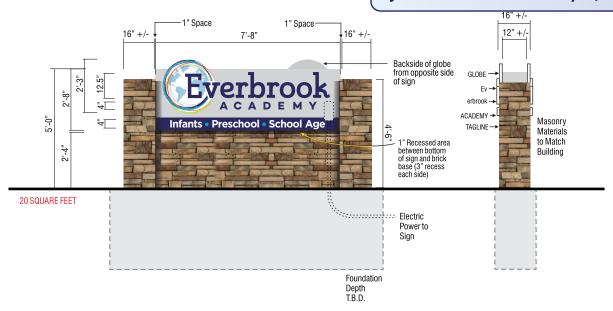
11125 W. Lincoln Hwy Frankfort, IL 60423 FILE NAME: Frankfort

PAGE: 1

DATE: 3/30/22

APPROVAL:

By Mike Schwarz at 12:09 pm, Jun 24, 2022







2

SPECIFICATIONS

D/F INTERNALLY ILLUMINATED INSTITUTIONAL SIGN

Panel will be non illuminated silver matt finish Illuminated Globe will have routed face with vinyl graphics

Ev will be 1" clear acrylic letters with translucent purple vinyl applied to 1st surface erbrook and academy will be 1" routed push acrylic letters with translucent purple vinyl applied to 1st surface Illuminated tagline will be purple with white routed copy

Brick base and posts to match brick on building

Purple PMS 5265 CP Blue PMS 7703 CP Red PMS 7626 CP Green PMS 382 CP

Note: a j-box and cut off switch for electric hookup will be required with the exact location TBD by location 1-20 AMP Circuit required - 4 AMPS

The foundation, brick monument, 4" support pipe and electric by GC unless otherwise noted. Sign installation by Koz-NSC.

Note: 25' setback from property line

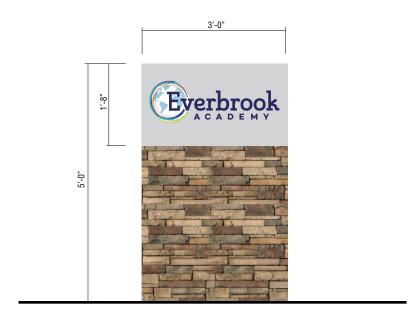
ADDRESS: FILE NAME: Frankfort PAGE: 2

11125 W. Lincoln Hwy Frankfort, IL 60423

DATE: 3/30/22 APPROVAL:



By Mike Schwarz at 12:09 pm, Jun 24, 2022





SPECIFICATIONS

S/F INTERNALLY ILLUMINATED GROUND SIGN

Cabinet to have silver matt finish
Illuminated Globe will have routed face with vinyl graphics
Purple copy to be routed
Faux brick base to match brick on building
LED illumination

Purple PMS 5265 CP Blue PMS 7703 CP Red PMS 7626 CP Green PMS 382 CP

ADDRESS:

11125 W. Lincoln Hwy Frankfort, IL 60423 FILE NAME: Frankfort

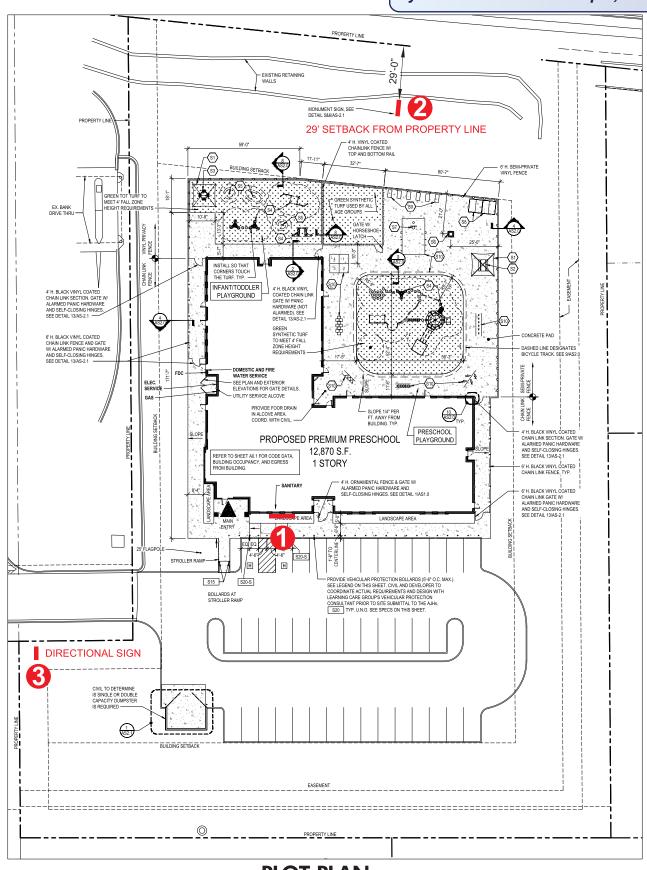
PAGE: 3

DATE: 3/30/22

APPROVAL:



By Mike Schwarz at 12:09 pm, Jun 24, 2022



PLOT PLAN

11125 W. Lincoln Hwy Frankfort, IL 60423

ADDRESS:

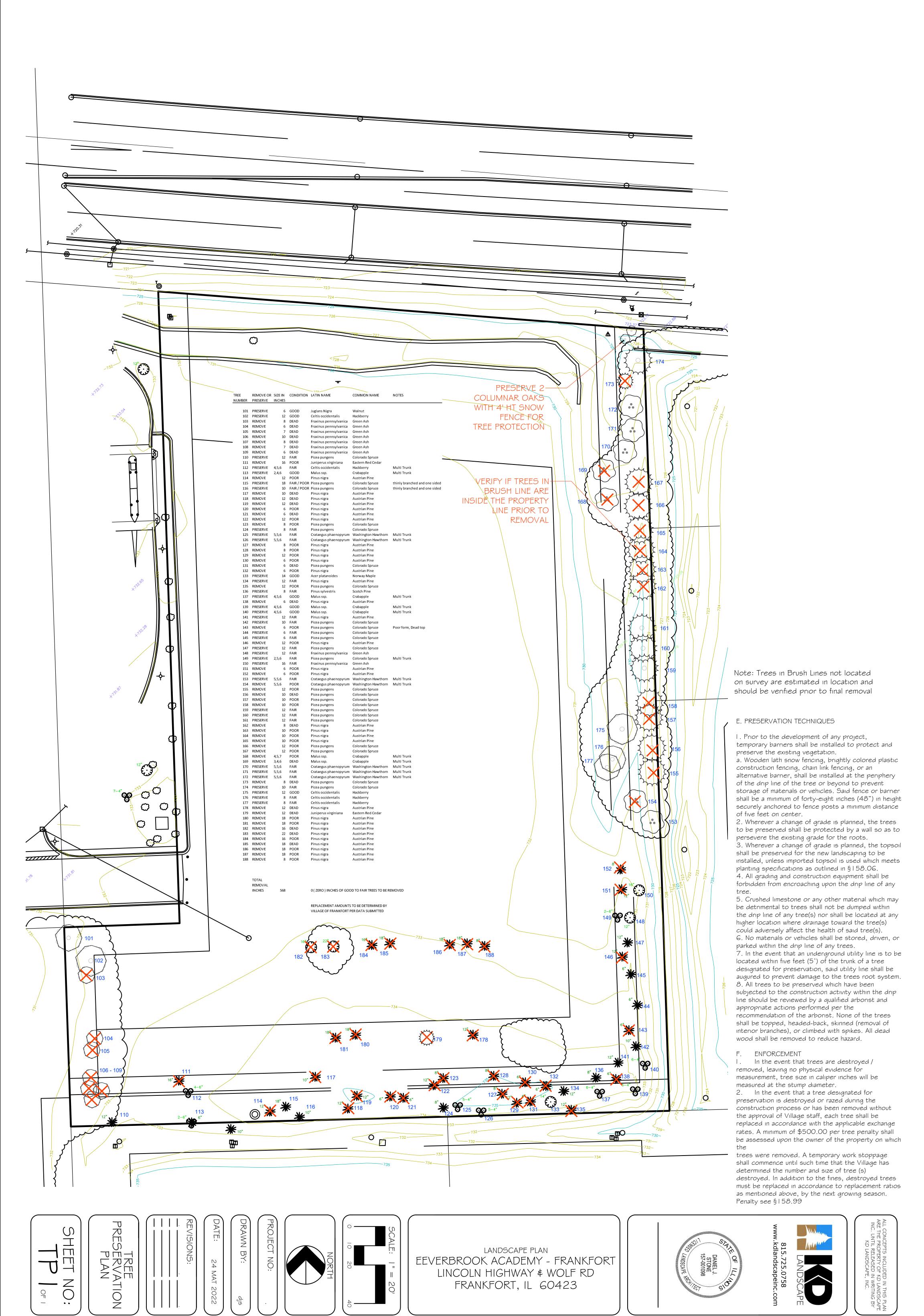
FILE NAME: Frankfort

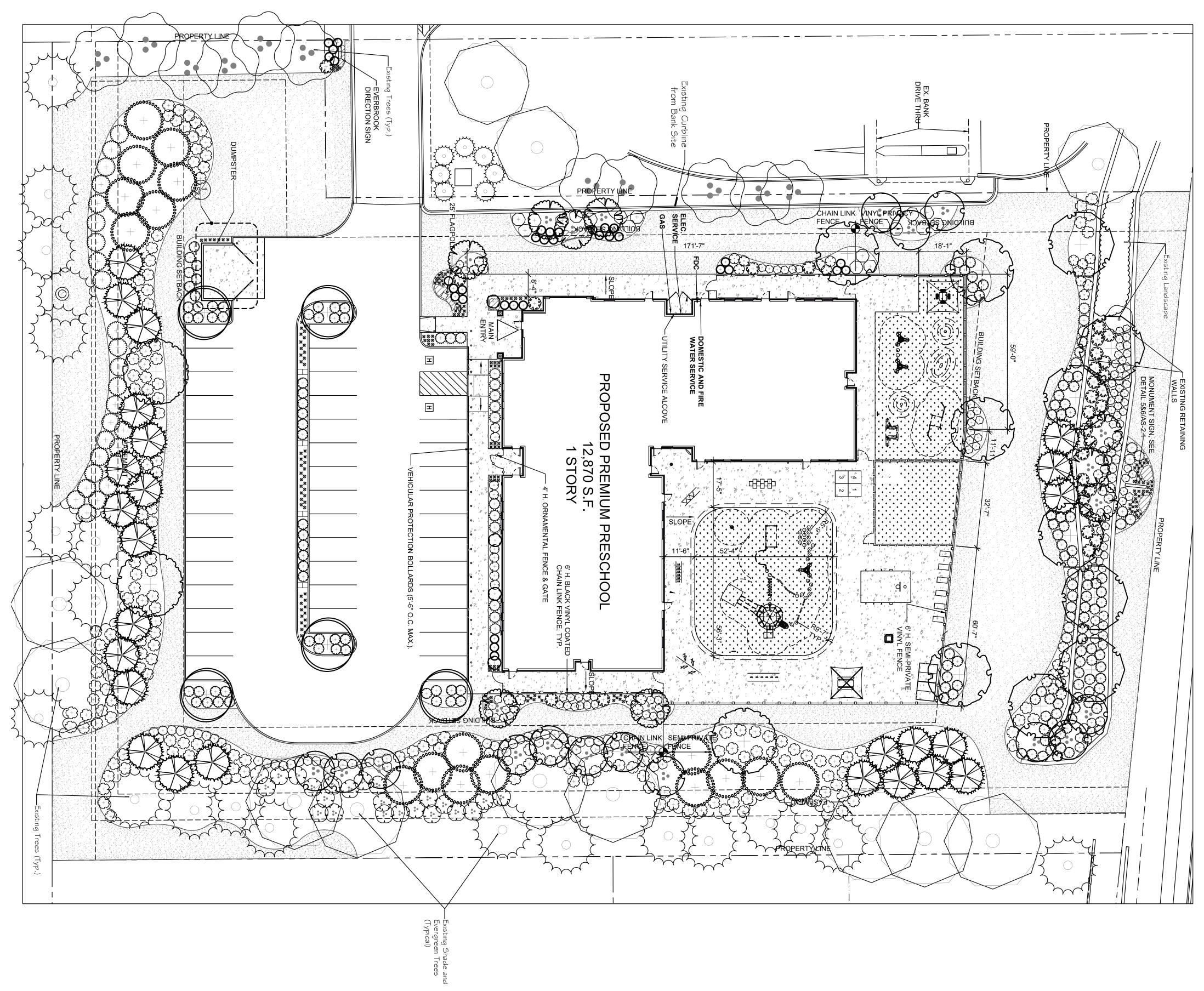
PAGE: 4

DATE: 3/30/22

APPROVAL:



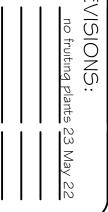




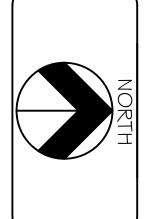


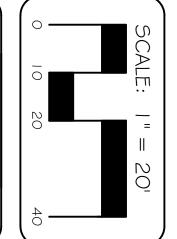
SOD/SEED SOD	GROUND COVERS ECPM	GRASSES HESE	RHTY SYPA THOF WERP	PHAJ RHAR	HYAR HYPQ	HAVE	SHRUBS DIKB	SYRE TIAM	QUKS	PIPU	CECA PIAB	ACFR	TREES ACAR	LANI SCI
QTY 28,233 sf	<u>QTY</u> 59	QTY 184	31 25 34 19	34 29 141	167 43	23	<u>QTY</u> 94	ယ ဖ	4 ^	25	14 17	5 1	<u>YTQ</u> 4	SCHEDOLL
BOTANICAL NAME Poa pratensis	BOTANICAL NAME Echinacea x `Pixie Meadowbrite`	BOTANICAL NAME Helictotrichon sempervirens 'Saphirsprudel'	Rhus typhina `Baltiger` TM Syringa patula 'Miss Kim' Thuja occidentalis `Congabe` TM Weigela florida 'Red Prince'	Juniperus norizontalis 'Flumosa Compacta' Physocarpus opulifolius 'Jefam' TM Rhus aromatica 'Gro-Low'	Hydrangea arborescens `Annabelle` Hydrangea pan. `Little Quick Fire`	Diervilla x `G2X88544` TM Hamamelis vernalis	BOTANICAL NAME Diervilla rivularis `SMNDRSF` TM	Syringa reticulata `Ivory Silk` Tilia americana 'Redmond'	Quercus picolor Quercus robur x bicolor 'Nadler' TM	Picea pungens	Cercis canadensis Picea abies	Acer x freemanii 'Jeffersred' TM	BOTANICAL NAME Acer rubrum `Autumn Radiance`	
COMMON NAME Kentucky Bluegrass	COMMON NAME Pixie Meadowbrite Purple Coneflower	COMMON NAME Saphire Fountain Blue Oat Grass	Tiger Eyes Staghorn Sumac Miss Kim Korean Lilac Fire Chief Arborvitae Red Prince Weigela	Creeping Juniper Amber Jubilee Ninebark Gro-Low Fragrant Sumac	Annabelle Hydrangea Little Quick Fire Hydrangea	Kodiak Orange Diervilla Ozark Witchhazel	COMMON NAME Kodiak Black Honeysuckle	Ivory Silk Japanese Tree Lilac Redmond American Linden	Swamp White Cak Kindred Spirit Oak	Colorado Spruce	Eastern Redbud Norway Spruce	Autumn Blaze Freeman Maple	COMMON NAME Autumn Radiance Red Maple	
SIZE sod	SIZE 1 gal.	SIZE 1 gal.	5 gal. 3` Ht. 5 gal. 5 gal.	5 gal. 5 gal. 3 gal.	5 gal.	3 gal. 4` Ht.	SIZE 3 gal.	6` Ht. 2.5" Cal.	2.5" Cal. 2.5" Cal.	6 H.	o, o, ;; ;;	2.5" Cal.	SIZE 2.5" Cal.	
CONTAINER	CONTAINER	CONTAINER	B&B			B&B	CONTAINER	B&B	B&B	B&B	B&B B		CONTAINER B&B	
SPACING	SPACING 18" o.c.													



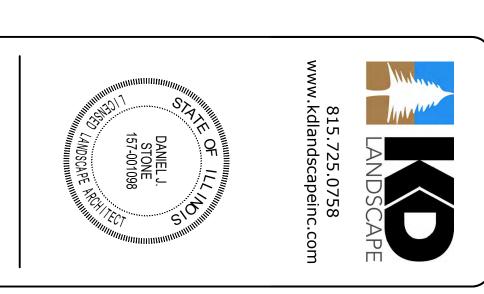


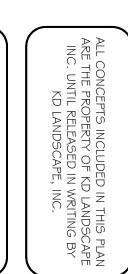


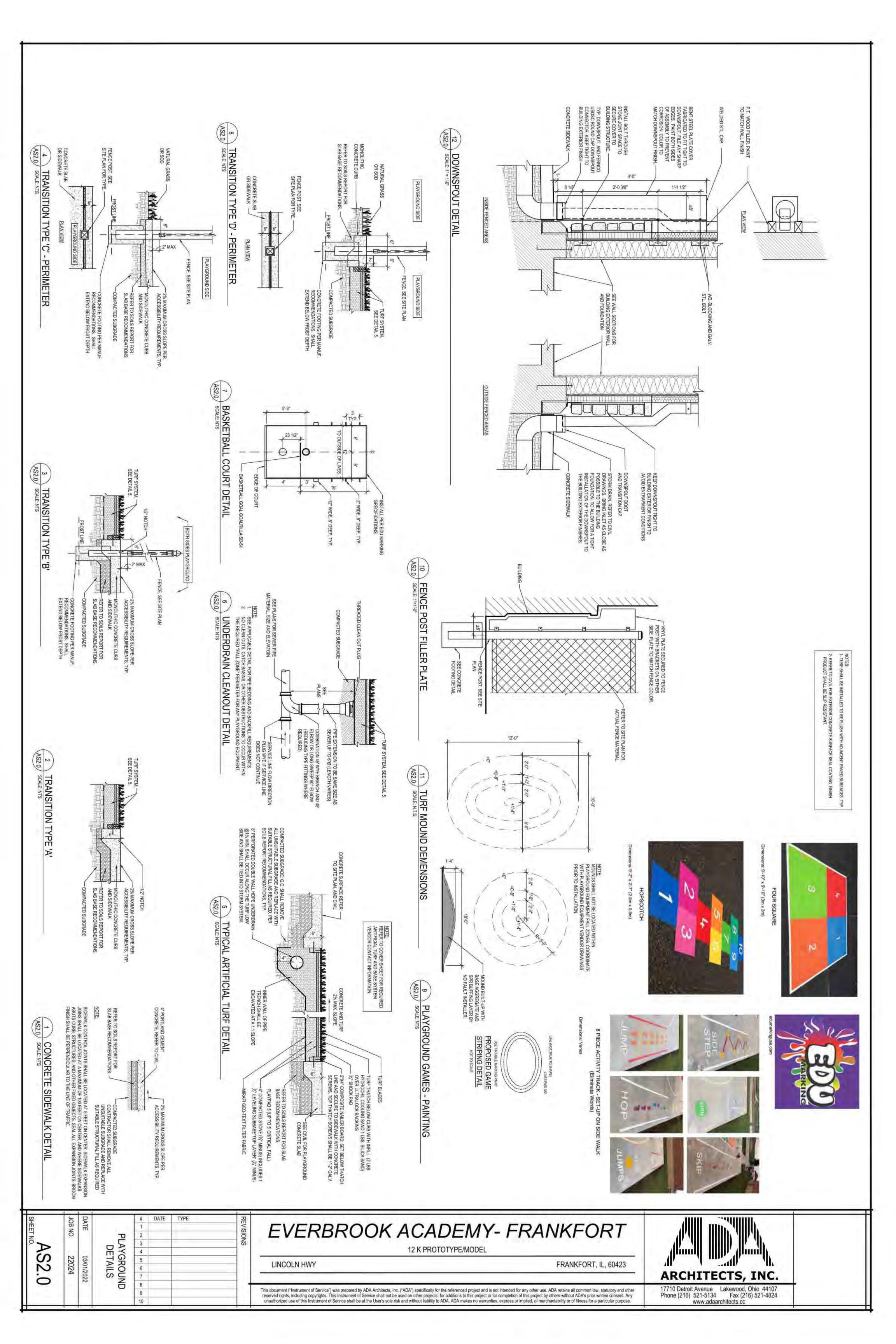




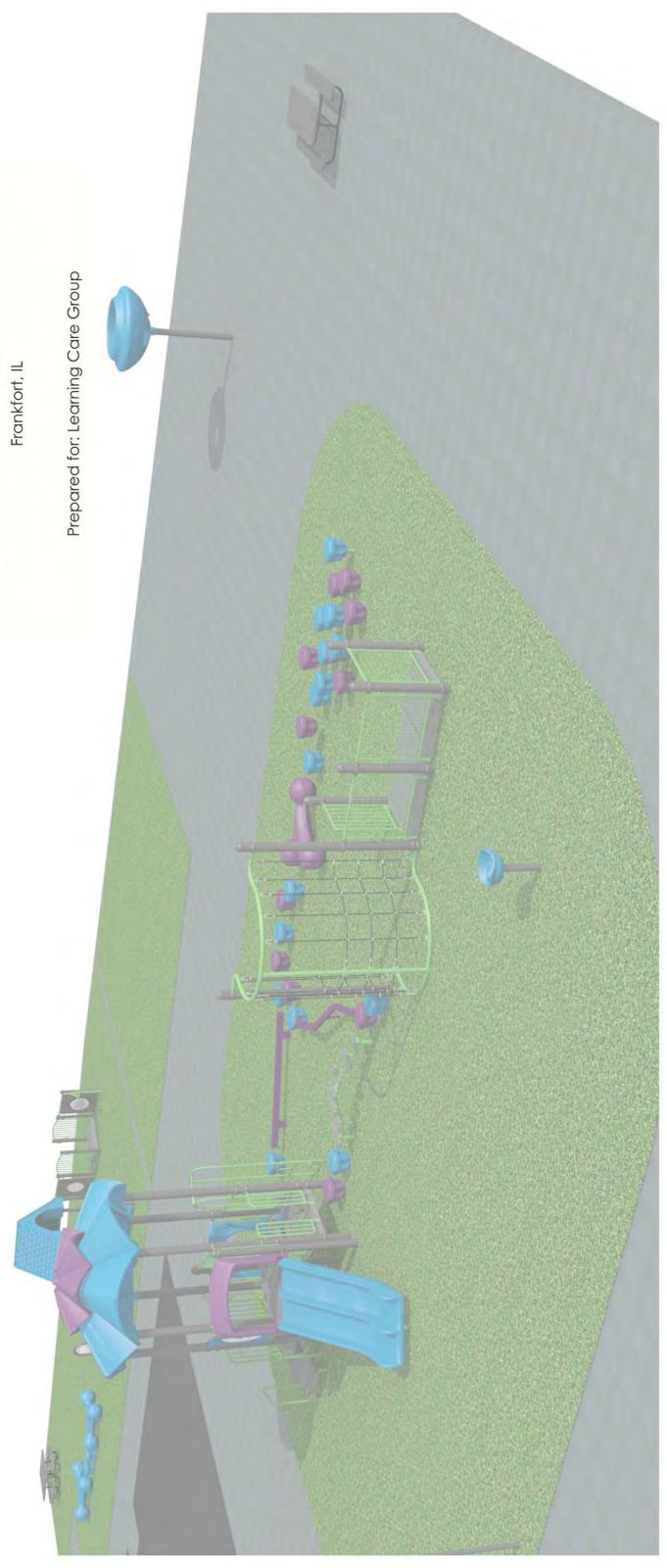
LANDSCAPE PLAN
EEVERBROOK ACADEMY - FRANKFORT
LINCOLN HIGHWAY & WOLF RD
FRANKFORT, IL 60423



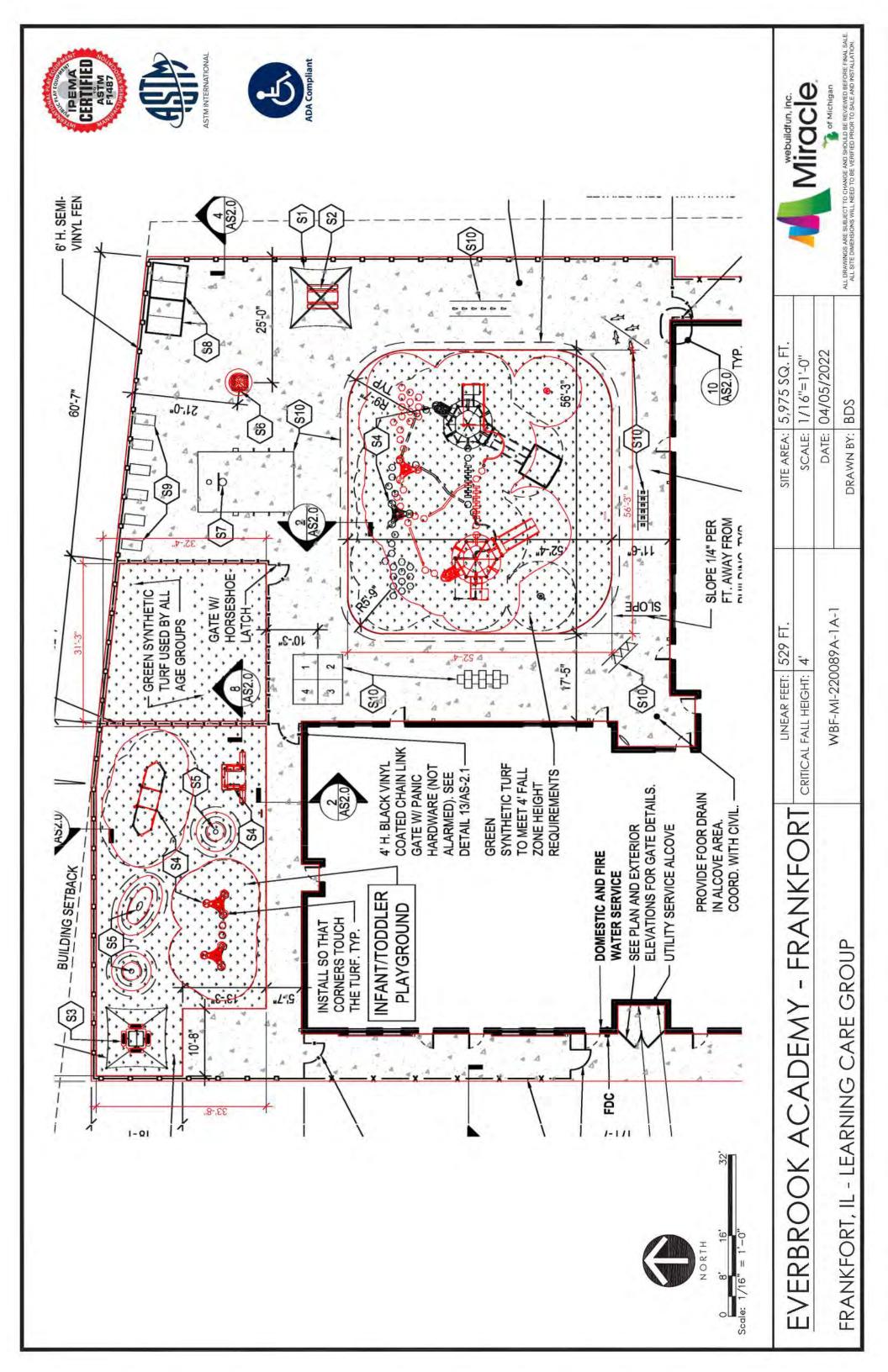




Everbrook Academy - Frankfort























Sections Sectio			ENCLOSINE ENCLOSINE SADDLE SEAT ANGLED POST		*
TOT FOCK CLUMER CLUM	(a)	ENCLOSURE	HORSESHOE CLIMBER	1.1.8F	
TOT POCK CLIMBER CLIMBER CLIMBER CLIMBER CLIMBER CLIMBER CLIMBER CCONVEX MIRROR PANE FANE		CURVED BALANCE BEAM (1) (1) (1) (1) (1) (1) (1) (1) (1) (1)	PERO,	3	°£'-95¢
∑g	BAIANGE BEAM	CLIFF CLIMBER	CONVIEW MIRROR PANEL		
		<u>5</u> 3			

	WBF-IMI-ZZUU87A-1A-Z	
DATE: 04/05/2022	W/BE NAI 2200880 1 A 2	
SCALE: 1/8"=1'-0"	CRITICAL FALL HEIGHT: 4'	EVERBROOK ACADEMY - FRANKFORI
SITE AREA: 2,875 SQ. FT.	LINEAR FEET: 199 FT.	

FRANKFORT, IL - LEARNING CARE GROUP

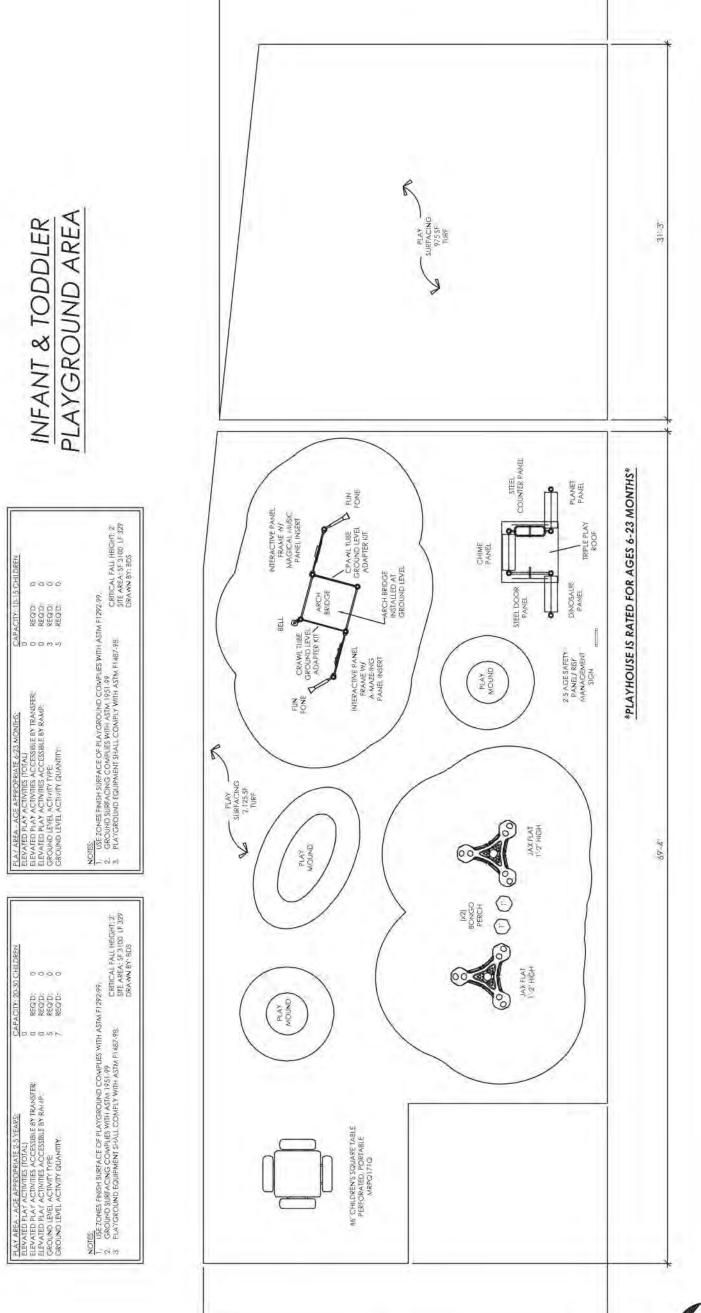
	2,875 SQ. FT.	webuildfun, Inc.
	1/8"=1'-0"	Miracle
1000	04/05/2022	of Michigan
	BDS	ALL DRAWINGS ARE SUBJECT TO CHANGE AND SHOULD BE REVIEWED BEFORE FINAL SALE. ALL SITE DIMENSIONS WILL NEED TO BE VERIFIED PRIOR TO SALE AND INSTALLATION.

DRAWN BY:





ASTM INTERNATIONA



33.8

35-4



NORTH

Scale: 1/8"



Metallic Gray Colors Used In Rendering Dark Gray







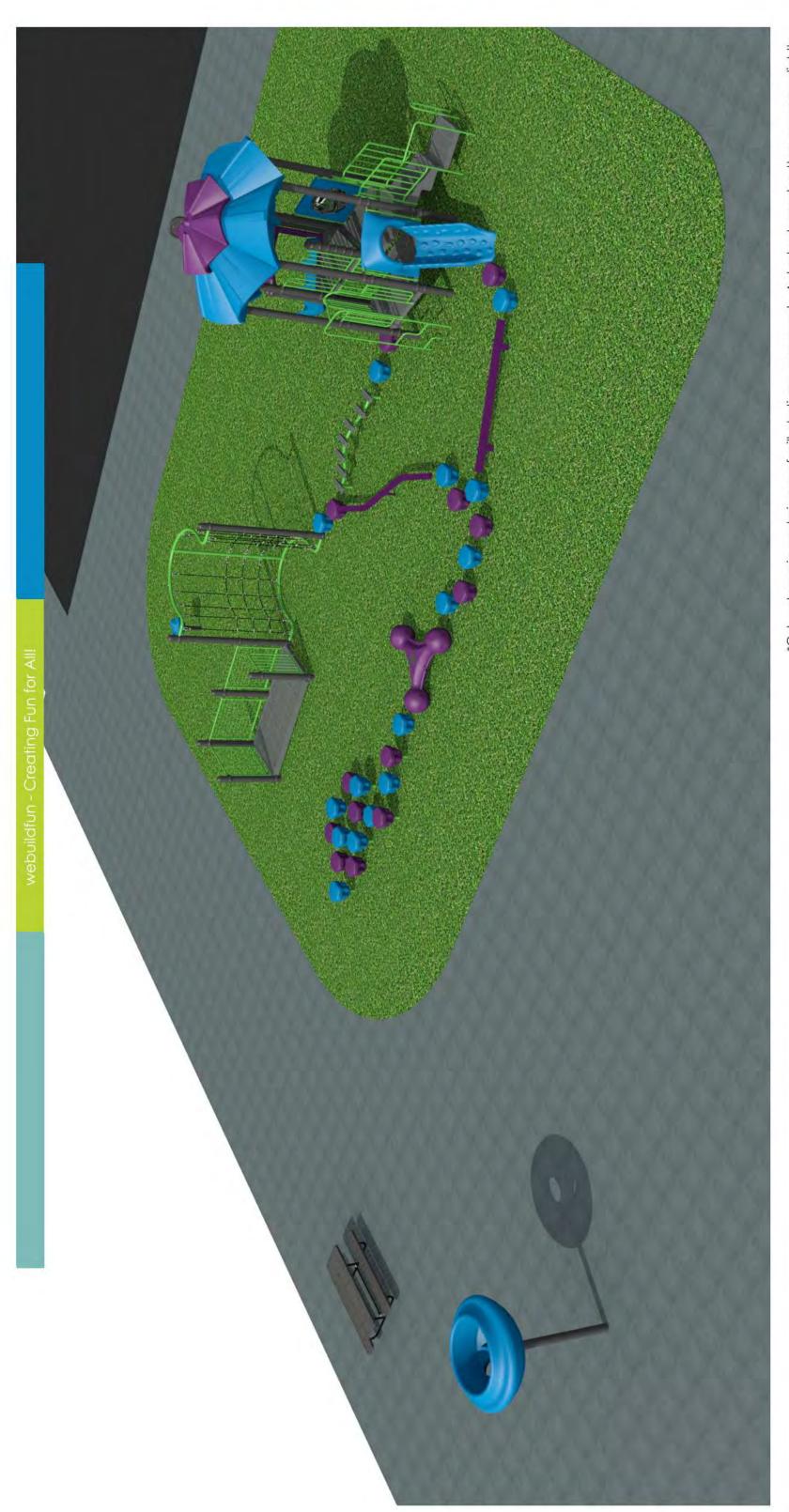










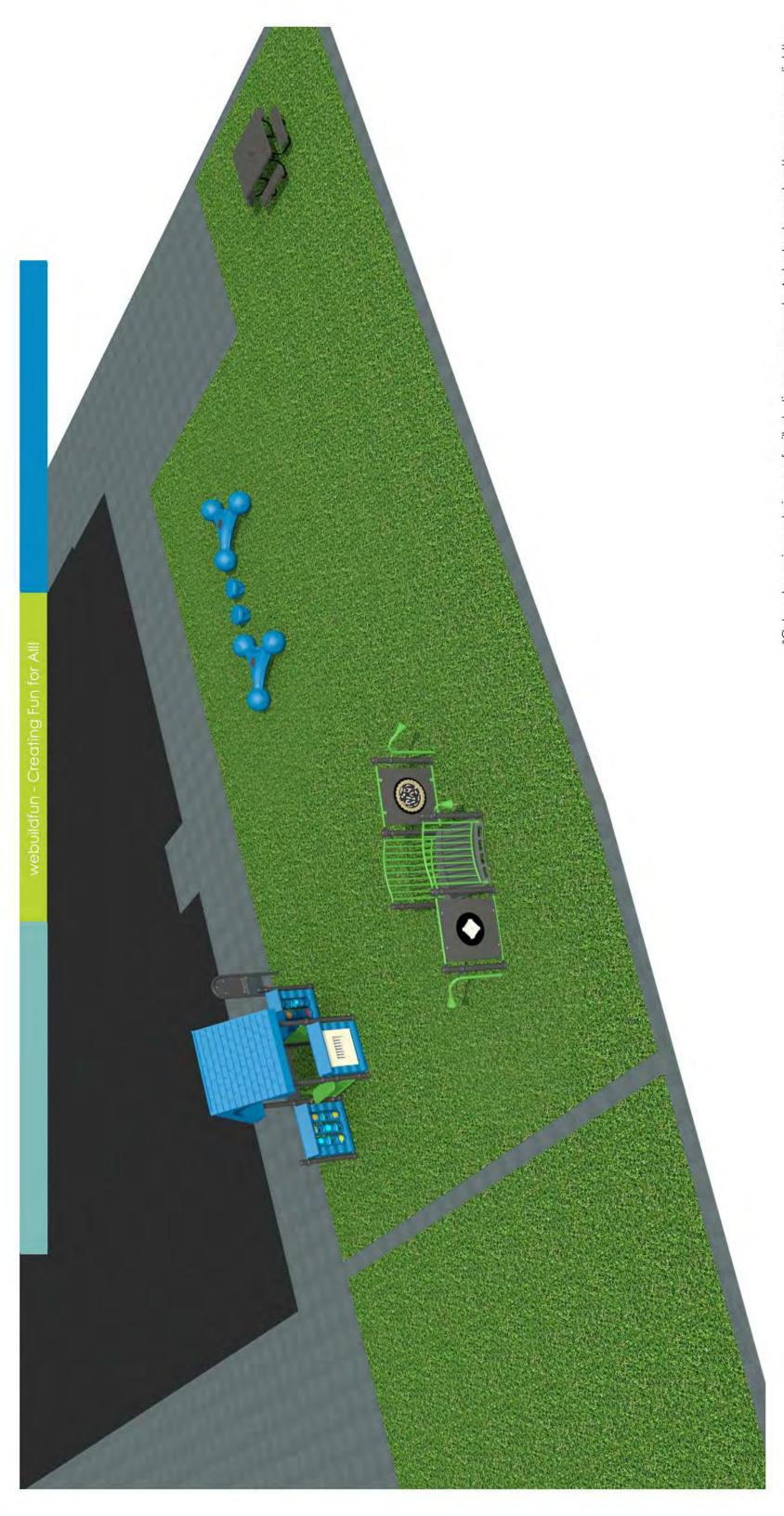


*Colors shown in rendering are for illustrative purposes only. Actual color and pattern may vary slightly.



*Colors shown in rendering are for illustrative purposes only. Actual color and pattern may vary slightly.



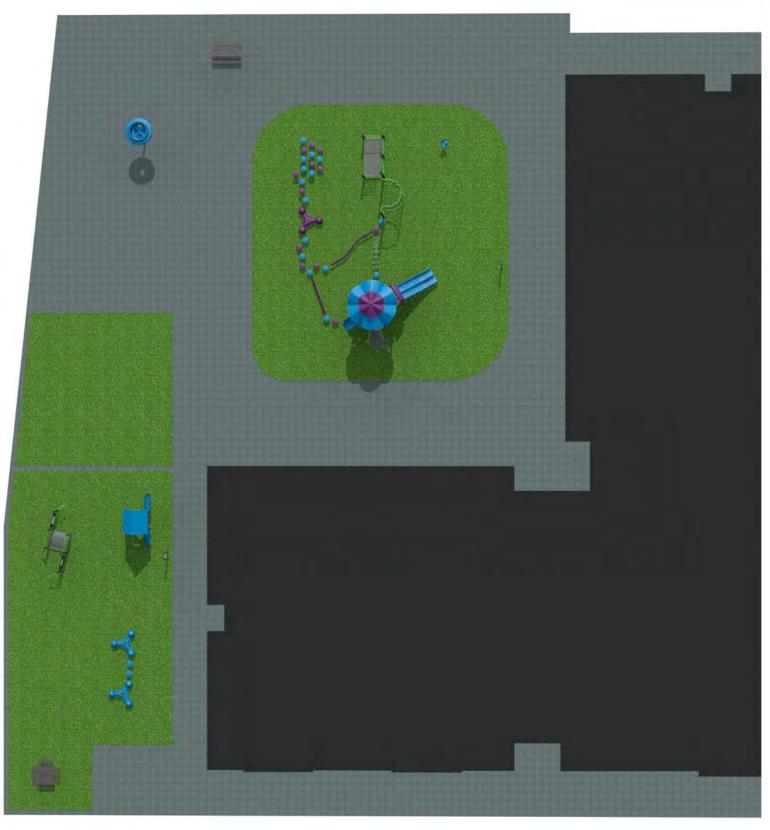


*Colors shown in rendering are for illustrative purposes only. Actual color and pattern may vary slightly.



webuildfun, inc.

Mirdcle.



*Colors shown in rendering are for illustrative purposes only. Actual color and pattern may vary slightly.

RECEIVED

By Mike Schwarz at 4:33 pm, Apr 22, 2022

MARY ANN STUKEL

129

Will County Recorder Will County

R 2003012120

Page 1 of 12

CAK Date 01/17/2003

Time 11:17:02

Recording Fees:

26.00

Todd A. Bickel
WILDMAN, HARROLD, ALLEN & DIXON
225 West Wacker Drive
Suite 3000
Chicago, Illinois 60606-1229

THIS INSTRUMENT PREPARED

BY AND RETURN RECORDED

DOCUMENT TO:

1394900 WB

DETENTION EASEMENT AGREEMENT

THIS DETENTION EASEMENT AGREEMENT (the "Easement") is made and entered into as of this <u>IDT</u> day of October, 2002, by and between Frankfort 30 & Wolf LLC, an Illinois limited liability company ("Developer") and NLSB, an Illinois banking corporation ("NLSB").

WITNESSETH

WHEREAS, Developer, Kohl's Department Stores, Inc. ("Kohl's") and their respective successors and assigns, own certain parcels of real estate located east of the southeast corner of U.S. Route 30 and Wolf Road, aggregately consisting of approximately 26.95 acres of land which is being developed as a retail shopping center and is legally described in Exhibit A attached hereto and made a part hereof ("Shopping Center Land").

WHEREAS, NLSB is currently the owner of certain real estate with frontage on U.S. Route 30 and located immediately to the east of the Shopping Center Land which is legally described on Exhibit B attached hereto and made a part hereof ("NLSB Property"); and

WHEREAS, Developer owns fee title to that portion of the Shopping Center consisting of approximately 3.063 acres of land adjacent to the NLSB Property which is legally described on <u>Exhibit C</u> attached hereto and made a part hereof (the "Detention Area"); and

WHEREAS, the NLSB Property and the Detention Area are hereinafter referred to individually as a "Tract" and together as the "Tracts;" and

WHEREAS, Developer and Kohl's has entered into a certain Operation and Easement Agreement ("OEA") dated as of October 14, 2002 and recorded in the Will County Records on October 15, 2002, as Document Number, which

612

1098244_1

CHICAGO TITLE INSURANCE CO

governs certain rights and responsibilities of various parties relative to the Shopping Center Land; and

WHEREAS, Developer wishes to grant to NLSB and NLSB desires to receive the benefit of, certain easements for purposes of providing storm water drainage and detention from the NLSB Property (including any and all parcels into which the NLSB Property may now or hereafter be divided, whether by sale, lease or otherwise), which easements shall provide to the NLSB Property the nonexclusive right to utilize and drain into the Detention Area; and

WHEREAS, the parties further desire to provide certain terms and provisions governing the use and maintenance of the Detention Area, as more fully set forth in this Agreement.

NOW, THEREFORE, in consideration of the above premises, the mutual covenants and agreements contained in this Easement and other good and valuable consideration, the receipt and legal sufficiency of which are hereby acknowledged, Developer and NLSB agree as follows:

- Recitals. The foregoing recitals are hereby incorporated by reference.
- 2. Grant of Storm Drainage and Detention Easement. Developer hereby declares, grants and conveys to NLSB, its successors and assigns, and to the owner(s), tenant(s) or occupant(s) of the NLSB Property, or any portion thereof (collectively, the "Permittees") a perpetual, nonexclusive easement appurtenant (the "Detention Easement"), to provide for storm water drainage and detention from the NLSB Property over, across, under and upon the Detention Area.

Developer shall, at Developer's sole cost, concurrently with the development of the Shopping Center Land which the Detention Area is a part, construct a detention basin within the Detention Area, having an aggregate volume capacity of 15.02 acre/feet, or such other capacity as is approved or required by the Village of Frankfort and any necessary piping, equipment or facilities related thereto, from the NLSB Property to the Detention Area. NLSB shall be permitted to utilize up to 0.974 acre/feet of the volume of the Detention Area, or such other volume as is approved or required by the Village of Frankfort. The remaining volume of the Detention Area shall be available for the owners of the Shopping Center Land as more fully provided in the OEA.

- 3. Operation, Maintenance, and Taxes. Developer agrees to operate, repair and maintain the Detention Easement Area pursuant to the provisions of Article 5 of the OEA and NLSB shall pay 9.48 % of the Common Area Maintenance Costs, Administration Fee and taxes relating thereto pursuant to the provisions of Article 5 of the OEA.
- 4. Transfer of Ownership. Whenever a transfer of ownership of all, or any portion of, any Tract occurs, the liability of the transferor for any breach of covenant occurring from and after the effective date of such transfer shall, with respect to the whole or portion of the Tract being transferred, automatically terminate with respect to

such transferor. As of the effective date of a given transfer, any transferee shall automatically assume and be bound by all of the burdens and obligations under this Easement.

- 5. Extension of Detention Easement to Additional Tracts. Regardless of excess capacity that may be available in the Detention Area, NLSB may not extend to owners or lessees of additional parcels of land which are adjacent or contiguous to the Tracts, or to any other party, the benefits or obligations under this Easement.
- 6. <u>Dedication</u>. Nothing contained herein shall be construed as creating any rights in the general public or as dedicating for public use any portion of the Tracts. No easements, except those expressly set forth in Section 2 shall be implied by this Easement; in that regard, and without limiting the foregoing, no other easements for drainage, retention, or for any other use or purpose, are granted or implied.

7. Remedies and Enforcement.

- 7.1 All Legal and Equitable Remedies Available. In the event of a breach or threatened breach by either party hereto of any of the terms, covenants, restrictions or conditions hereof, any one or more of the Permitees shall be entitled forthwith to full and adequate relief by injunction and/or all such other available legal and equitable remedies from the consequences of such breach.
- 7.2 <u>Remedies Cumulative</u>. The remedies specified herein shall be cumulative and in addition to all other remedies permitted at law or in equity.
- 7.3 No Termination for Breach. Notwithstanding the foregoing to the contrary, no breach hereunder shall entitle any party to cancel, rescind, or otherwise terminate this Easement. No breach hereunder shall defeat or render invalid the lien of any mortgage or deed of trust upon any Tract made in good faith for value, but the easements, covenants, conditions and restrictions hereof shall be binding upon and effective against any party of such Tract covered hereby whose title thereto is acquired by foreclosure, trustee's sale, or otherwise.
- 8. Notices. All notices and other communications given pursuant to this Easement shall be in writing and shall be deemed properly served if delivered personally or by nationally recognized overnight courier or sent by United States certified mail, return receipt requested, postage prepaid and addressed to the parties at their respective addresses set forth below, and the same shall be effective upon receipt if delivered personally, or on the next business day if sent by overnight courier, or three (3) business days after deposit in the mail if mailed. The initial addresses of the parties shall be:

Developer:

c/o Edgemark Development LLC 2215 York Road, Suite 503 Oak Brook, Illinois 60523 Attn: Mark H. Tanguay

Telecopier No.: (630) 472-1019

with a copy to:

Wildman, Harrold, Allen & Dixon 225 West Wacker Drive - Suite 3000

Chicago, Illinois 60606-1229

Attn: Todd A. Bickel

Telecopier No.: (312) 201-2225

NLSB:

NLSB

110 W. Maple Street

P. O. Box 339

New Lenox, Illinois 60451 Attn: William Laughridge Telecopier No.: (815) 485-7516

with a copy to:

Douglas W. Schlak

321 West Maple Street, Suite 100

P. O. Box 71

New Lenox, Illinois 60071 Telecopier No.: (815) 485-3038

Upon at least ten (10) days prior written notice, each party shall have the right to change its address for notices to any other address within the United States of America.

9. Miscellaneous.

- 9.1 Attorneys' Fees. In the event a party institutes any legal action or proceeding for the enforcement of any right or obligation herein contained, the prevailing party shall be entitled to recover its costs and reasonable attorneys' fees incurred in the preparation and prosecution of such action or proceeding.
- 9.2 <u>Amendment</u>. Developer and NLSB agree that the provisions of this Easement may be modified or amended, in whole or in part, only by prior written consent of all record owners of the Tracts, evidenced by a document that has been fully executed and acknowledged by all such record owners and recorded in the official records of the County Recorder of Will County, Illinois.
- 9.3 Consents. Whenever in this Easement the consent or approval of NLSB or Developer is required, unless otherwise expressly provided herein, such consent or approval shall not be unreasonably withheld or delayed. Any request for consent or approval shall: (a) be in writing; (b) specify the section hereof which requires that such notice be given or that such consent or approval be obtained; and (c) be accompanied by such background data as is reasonably necessary to make an informed decision thereon.
- 9.4 No Waiver. No waiver of any default of any obligation by any party hereto shall be implied from any omission by the other party to take any action with respect to such default.

- 9.5 No Agency. Nothing in this Easement shall be deemed or construed by either party or by any third person to create the relationship of principal and agent or of limited or general partners or of joint venturers or of any other association between the parties.
- 9.6 Covenants to Run with Land. It is intended that each of the easements, covenants, conditions, restrictions, rights and obligations set forth herein shall run with the land and create equitable servitudes in favor of the real property benefited thereby, shall bind every person having any fee, leasehold or other interest therein and shall inure to the benefit of the respective parties and their successors, assigns, heirs, and personal representatives.
- 9.7 Severability. Each provision of this Easement and the application thereof to the Tracts are hereby declared to be independent of and severable from the remainder of this Easement. If any provision contained herein shall be held to be invalid or to be unenforceable or not to run with the land, such holding shall not affect the validity or enforceability of the remainder of this Easement. In the event the validity or enforceability of any provision of this Easement is held to be dependent upon the existence of a specific legal description, the parties agree to promptly cause such legal description to be prepared. Ownership of both Tracts by the same person or entity, at the time of this Easement or in the future, shall not terminate this Easement nor in any manner affect or impair the validity or enforceability of this Easement.
- 9.8 Governing Law. This Easement shall, in all respects, be governed, construed, applied and enforced in accordance with the laws of the State of Illinois.
- 9.9 <u>Counterparts</u>. The parties hereto acknowledge that this Easement may be executed in any number of counterpart original instruments, all of which taken together shall constitute one fully executed Easement.
- 9.10 Term. The easements granted in Section 2 hereof shall continue in perpetuity, unless this Easement is modified, amended, canceled or terminated in accordance with the requirements set forth Sections 9.2 and 9.3 hereof.

[SIGNATURES APPEAR ON THE FOLLOWING PAGES]

IN WITNESS WHEREOF, the parties have executed this Easement on the day and year first above-written.

DEVELOPER:					
	DEV	Tr T	$\cap \mathbf{p}$	T.	D٠

NLSB:

FRANKFORT 30 & WOLF LLC, an Illinois limited liability company

NLSB, an Illinois banking corporation

By: Edgemark Development LLC, a Colorado limited liability company, its manager

By: Marked

By:______

IN WITNESS WHEREOF, the parand year first above-written.	rties have executed this Easement on the day
. DEVELOPER:	NLSB:
FRANKFORT 30 & WOLF LLC, an Illinois limited liability company	NLSB, an Illinois banking corporation
By:	By: Class Buchida

STATE OF _ (olorade)
STATE OF <u>lolorad</u> .) COUNTY OF <u>Denver</u>)
and State aforesaid, DO HEREBY CERTIFY that By nd McNeal u is the manager of Edgemark Development LLC, the manager FRANKFORT 30 & WOLF LLC, an Illinois limited liability company, and is personally known to me to be the same person whose name is subscribed to the foregoing Detention Easement agreement as Manager and appeared before me this day in person and acknowledged that he signed, sealed and delivered this Detention Easement Agreement as his own free and voluntary act and the free and voluntary act of FRANKFORT 30 & WOLF LLC for the uses and purposes therein set forth.
GIVEN under my hand and Notarial Seal, this 10th day of October, 2002.
Notary Public
My Commission Expires: May 6, 2003
My Commission Expres 5/6/2003

STATE OF ILLINOIS)	
COUNTY OF WILL) SS	
and State aforesaid, DO HEREBY CEI CHAIRMAN of NLSB, an Illi to me to be the same person whose Easement agreement as CHAIRMAN a acknowledged that he signed, sealed a	RTIFY that WILLIAM KAUSHAIDEEs the inois banking corporation, and is personally known and appeared before me this day in person and delivered this Detention Easement Agreement the free and voluntary act of FRANKFORT 30 & therein set forth.
GIVEN under my hand and Not	tarial Seal, this Lotal day of October, 2002.
	Douglas W Sellak
	Notary Public
My Commission Expires:	OFFICIAL SEAL DOUGLAS W SCHLAK NOTARY PUBLIC, STATE OF ILLINOIS MY COMMISSION EXPIRES: 05/10/03

EXHIBIT A

LEGAL DESCRIPTION OF SHOPPING CENTER LAND

LOTS 1 THROUGH 7 IN PRAIRIE CROSSINGS, BEING A SUBDIVISION IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED CETOBER 7, 2002 AS DOCUMENT NUMBER \$\(\alpha \cdots \cdots - 191084 \), IN WILL COUNTY, ILLINOIS.

pint 09-20-800-016 Address: East of the S.E. corner of Powde 30 and wolf Road, Frankfort, IL.

EXHIBIT B

LEGAL DESCRIPTION OF NLSB PROPERTY

LOT 1 IN NEW LENOX STATE BANK SUBDIVISION, BEING A SUBDIVISION IN THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OF THE PLAT THE PLAT THE PLAT THEREOF RECORDED OF THE PLAT THE

ROA-192064

pin# 09-80-300-005 Address: South of Route 30, Frankfort, IL.

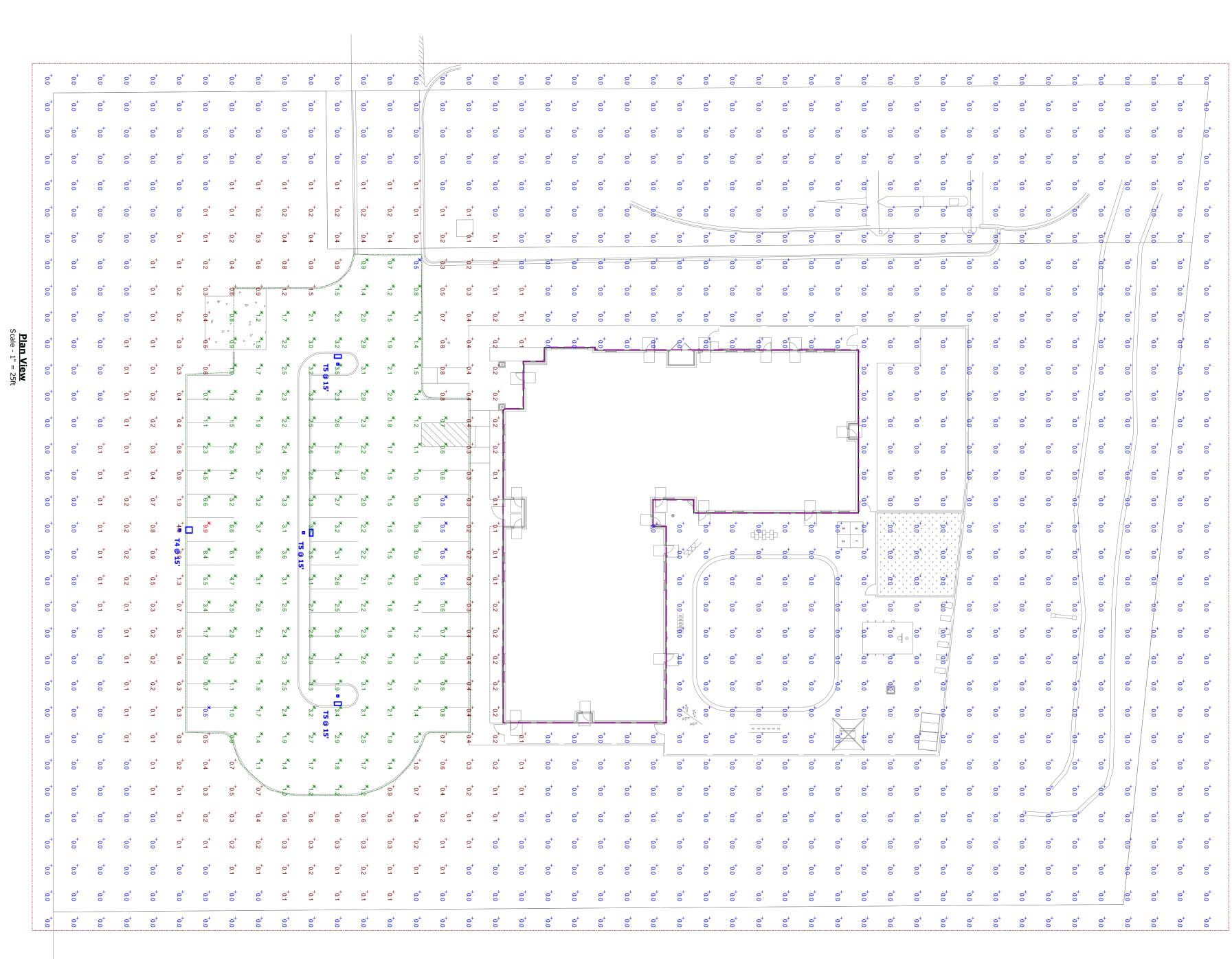
EXHIBIT C

LEGAL DESCRIPTION OF DETENTION AREA

LOT 7 IN PRAIRIE CROSSINGS, BEING A SUBDIVISION IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED 6. 2002 AS DOCUMENT NUMBER 12002-19/084, IN WILL COUNTY, ILLINOIS.

Pint 09-20-300-016 Address: East of the S.E. Comer at floute 30 and wolf Road, Frankfort, IL.











RSX1 LED Area Luminaire













Specifications

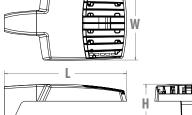
EPA 0.57 ft² (0.05 m²) (ft2@0°):

21.8" (55.4 cm) Length: (SPA mount)

Width: 13.3" (33.8 cm)

3.0" (7.6 cm) Main Body Height: 7.2" (18.4 cm) Arm

Weight: 22.0 lbs (10.0 kg) (SPA mount):





Catalog

Notes

Туре

Hit the Tab key or mouse over the page to see all interactive elements

Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

Ordering Information

EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DDBXD

RSX1 LED					
Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX1 LED	P1 P2 P3 P4	30K 3000K 40K 4000K 50K 5000K	R2 Type 2 Wide R3 Type 3 Wide R3S Type 3 Short R4 Type 4 Wide R4S Type 4 Short R5 Type 5 Wide 1 R5S Type 5 Short 1 AFR Automotive Front Row AFRR90 Automotive Front Row Right Rotated AFRL90 Automotive Front Row Left Rotated	MVOLT (120V-277V) ² HVOLT (347V-480V) ³ XVOLT (277V-480V) ⁴ (use specific voltage for options as noted) 120 ³ 277 ⁵ 208 ³ 347 ⁵ 240 ³ 480 ⁵	SPA Square pole mounting (3.0" min. SQ pole for 1 at 90°, 3.5" min. SQ pole for 2, 3, 4 at 90°) RPA Round pole mounting (3.2" min. dia. RND pole for 2, 3, 4 at 90°, 3.0" min. dia. RND pole for 1 at 90°, 2 at 180°, 3 at 120°) MA Mast arm adaptor (fits 2-3/8" OD horizontal tenon) IS Adjustable slipfitter (fits 2-3/8" OD tenon) 6 WBA Wall bracket 1 WBASC Wall bracket with surface conduit box AASP Adjustable tilt arm square pole mounting 6 AARP Adjustable tilt arm round pole mounting 6 AAWB Adjustable tilt arm with wall bracket 6 AAWSC Adjustable tilt arm wall bracket and surface conduit box 6

Options			Finish	
Shipped In HS PE PEX PER7 CE34 SF DF SPD20KV FAO DMG	House-side shield ⁷ Photocontrol, button style ^{8,9} Photocontrol external threaded, adjustable ^{9,10} Seven-wire twist-lock receptacle only (no controls) ^{9,11,12,13} Conduit entry 3/4"NPT (Qty 2) Single fuse (120, 277, 347) ⁵ Double fuse (208, 240, 480) ⁵ 20KV Surge pack (10KV standard) Field adjustable output ^{9,13} 0-10V dimming extend out back of housing for external control (control ordered separate) ^{9,13}	Shipped Installed *Standalone and Networked Sensors/Controls (factory default settings, see table page 9) NLTAIR2	DDBXD DBLXD DNAXD DWHXD DDBTXD DBLBXD DNATXD DWHGXD	Dark Bronze Black Natural Aluminum White Textured Dark Bronze Textured Black Textured Natural Aluminum Textured White



Ordering Information

Accessories

RSX1HS RSX1 House side shield (includes 1 shield)

RSX1HSAFRR U RSX1 House side shield for AFR rotated optics (includes 1 shield)

External glares hield (specify finish) RSX1EGS (FINISH) U RSX1EGFV (FINISH) U

External glare full visor (specify finish) RSXRPA (FINISH) U RSX Universal round pole adaptor plate (specify finish)

RSXWBA (FINISH) U RSX WBA wall bracket (specify finish) 1

RSXSCB (FINISH) U RSX Surface conduit box (specify finish, for use with WBA, WBA not included)

DLL127F 1.5 JU Photocell -SSL twist-lock (120-277V) 18 DLL347F 1.5 CUL JU Photocell -SSL twist-lock (347V) 18 DLL480F 1.5 CUL JU Photocell -SSL twist-lock (480V) 18

DSHORT SBK U Shorting cap 18

NOTES

- Any Type 5 distribution, is not available with WBA.

 MYOLT driver operates on any line voltage from 120-277V (50/60 Hz).

 HYOLT driver operates on any line voltage from 347-480V (50/60 Hz).

 XYOLT driver not available with P1 or P2. XYOLT driver operates on any line voltage from 277V-480V (50/60 Hz). XYOLT not available with fusing (SF or DF) and not available with PE or PEX.

 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.

 Maximum tilt is 90° above horizontal.

 It may be ordered as an accessory.

- ne may be ordered as an accessory.

 Requires MVOLT or 347V.

 Not available in combination with other light sensing control options (following options cannot be combined: PE, PEX, PER7, FAO, DMG, PIRHIN).
- Requires 120V, 208V, 240V or 277V.

- Twistlock photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included. Dimming leads capped for future use.
- For units with option PER7, the mounting must be restricted to +/-45° from horizontal aim per ANSI C136.10-2010. Two or more of the following options cannot be combined including DMG, PER7, FAO and PIRHN. 13
- 14 Must be ordered with PIRHN.
- Requires MVOLT or HVOLT.

 Must be ordered with NLTAIR2. For additional information on PIRHN 15 16
- Must be ordered with fixture for factory pre-drilling.
 Requires luminaire to be specified with PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.

External Shields



House Side Shield



External Glare Shield

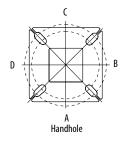


External 360 Full Visor

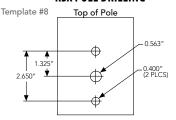
Pole/Mounting Informatiion

Accessories including bullhorns, cross arms and other adpaters are available under the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to visit Accessories.

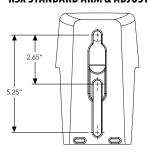
HANDHOLE ORIENTATION



RSX POLE DRILLING



RSX STANDARD ARM & ADJUSTABLE ARM



Round Tenon Mount - Pole Top Slipfitters

Tenon O.D.	RSX Mounting	Single	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2 - 3/8"	RPA, AARP	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 320	AS3-5 390	AS3-5 490
2 - 7/8"	RPA, AARP	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	RPA, AARP	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Drill/Side Location by Configuration Type

		-			**		-1-
Drilling Template	Mounting Option	Single	2 @ 180	2 @ 90	3 @ 120	3 @ 90	4 @ 90
	Head Location	Side B	Side B & D	Side B & C	Round Pole Only	Side B, C & D	Side A, B, C & D
#8	Drill Nomenclature	DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS

RSX1 - Luminaire EPA

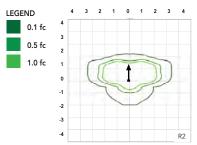
*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

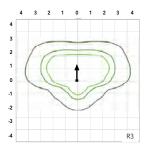
Fixture Quantity & Mo Configuration	unting	Single	2 @ 90	2 @ 180	3 @ 90	3 @ 120	4 @ 90	2 Side by Side	3 Side by Side	4 Side by Side
Mounting Type	Tilt	-	-1		<u>.</u>			-		•
SPA - Square Pole Adaptor		0.57	1.03	1.05	1.52	1.36	2.03	1.31	1.7	2.26
RPA - Round Pole Adaptor	0°	0.62	1.08	1.15	1.62	1.46	2.13	1.36	1.8	2.36
MA - Mast Arm Adaptor		0.49	0.95	0.89	1.36	1.2	1.87	1.23	1.54	2.1
	0°	0.57	1.03	1.05	1.52	1.36	2.03	1.31	1.7	2.26
	10°	0.68	1.34	1.33	2	1.74	2.64	1.35	2.03	2.71
	20°	0.87	1.71	1.73	2.56	2.26	3.42	1.75	2.62	3.49
	30°	1.24	2.19	2.3	3.21	2.87	4.36	2.49	3.73	4.97
IS - Integral Slipfitter	40°	1.81	2.68	2.98	3.85	3.68	5.30	3.62	5.43	7.24
AASP/AARP - Adjustable	45°	2.11	2.92	3.44	4.2	4.08	5.77	4.22	6.33	8.44
Arm Square/Round Pole	50°	2.31	3.17	3.72	4.52	4.44	6.26	4.62	6.94	9.25
	60°	2.71	3.66	4.38	5.21	5.15	7.24	5.43	8.14	10.86
	70°	2.78	3.98	4.54	5.67	5.47	7.91	5.52	8.27	11.03
	80°	2.76	4.18	4.62	5.97	5.76	8.31	5.51	8.27	11.03
	90°	2.73	4.25	4.64	6.11	5.91	8.47	5.45	8.18	10.97

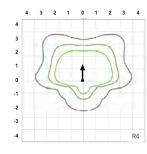
Photometric Diagrams

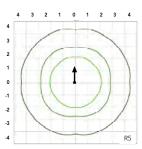
To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's RSX Area homepage.

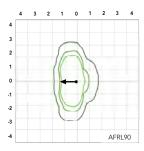
Isofootcandle plots for the RSX1 LED P4 40K. Distances are in units of mounting height (20').

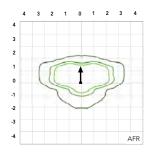


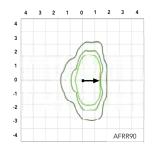












Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35℃	95°F	0.98
40°C	104°F	0.97
45°C	113°F	0.96
50°C	122°F	0.95

Electrical Load

					nt (A)		
Performance Package	System Watts (W)	120V	208V	240V	277V	347V	480V
P1	51W	0.42	0.25	0.21	0.19	0.14	0.11
P2	72W	0.60	0.35	0.30	0.26	0.21	0.15
P3	109W	0.91	0.52	0.45	0.39	0.31	0.23
P4	133W	1.11	0.64	0.55	0.48	0.38	0.27

Projected LED Lumen Maintenance

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.97	>0.95	>0.92

Values calculated according to IESNA TM-21-11 methodology and valid up to 40° C.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance	System Watts	Distribution.			30K K, 70 CR	I)				40K K, 70 CR	I)				50K K, 70 CR	I)	
Package		Туре	Lumens	В	U	G	LPW	Lumens	В	U	G	LPW	Lumens	В	U	G	LPW
		R2	6,482	1	0	1	126	7,121	1	0	1	139	7,121	1	0	1	139
		R3	6,459	1	0	2	127	7,096	1	0	2	139	7,096	1	0	2	139
		R3S	6,631	1	0	1	129	7,286	1	0	2	142	7,286	1	0	2	142
		R4	6,543	1	0	2	128	7,189	1	0	2	141	7,189	1	0	2	141
P1	51W	R4S	6,313	1	0	1	124	6,936	1	0	1	136	6,936	1	0	1	136
rı rı	3100	R5	6,631	3	0	2	130	7,286	3	0	2	143	7,286	3	0	2	143
		R5S	6,807	3	0	1	133	7,479	3	0	1	147	7,479	3	0	1	147
		AFR	6,473	1	0	1	127	7,112	1	0	1	139	7,112	1	0	1	139
		AFRR90	6,535	2	0	2	127	7,179	2	0	2	140	7,179	2	0	2	140
		AFRL90	6,562	2	0	1	128	7,210	2	0	2	140	7,210	2	0	2	140
		R2	8,991	2	0	1	123	9,878	2	0	1	135	9,878	2	0	1	135
		R3	8,959	2	0	2	124	9,843	2	0	2	137	9,843	2	0	2	137
		R3S	9,198	2	0	2	126	10,106	2	0	2	139	10,106	2	0	2	139
		R4	9,077	2	0	2	126	9,972	2	0	2	139	9,972	2	0	2	139
P2	72W	R4S	8,757	1	0	2	122	9,622	2	0	2	134	9,622	2	0	2	134
rz .	/244	R5	9,198	4	0	2	128	10,106	4	0	2	140	10,106	4	0	2	140
		R5S	9,443	3	0	1	131	10,374	3	0	1	144	10,374	3	0	1	144
		AFR	8,979	2	0	1	125	9,865	2	0	1	137	9,865	2	0	1	137
		AFRR90	9,064	3	0	2	124	9,959	3	0	2	137	9,959	3	0	2	137
		AFRL90	9,102	3	0	2	125	10,001	3	0	2	137	10,001	3	0	2	137
		R2	12,808	2	0	1	117	14,072	2	0	2	129	14,072	2	0	2	129
		R3	12,763	2	0	2	117	14,023	2	0	2	129	14,023	2	0	2	129
		R3S	13,104	2	0	2	120	14,397	2	0	2	132	14,397	2	0	2	132
		R4	12,930	2	0	2	119	14,206	2	0	2	130	14,206	2	0	2	130
P3	109W	R4S	12,475	2	0	2	114	13,707	2	0	2	126	13,707	2	0	2	126
'3	10544	R5	13,104	4	0	2	120	14,397	4	0	2	132	14,397	4	0	2	132
		R5S	13,452	3	0	2	123	14,779	3	0	2	136	14,779	3	0	2	136
		AFR	12,791	2	0	1	117	14,053	2	0	2	129	14,053	2	0	2	129
		AFRR90	12,913	3	0	3	118	14,187	3	0	3	130	14,187	3	0	3	130
		AFRL90	12,967	3	0	2	118	14,247	3	0	3	130	14,247	3	0	3	130
		R2	14,943	2	0	2	112	16,417	2	0	2	123	16,417	2	0	2	123
		R3	14,890	2	0	3	112	16,360	2	0	3	123	16,360	2	0	3	123
		R3S	15,287	2	0	2	115	16,796	2	0	2	126	16,796	2	0	2	126
		R4	15,085	2	0	3	113	16,574	2	0	3	125	16,574	2	0	3	125
P4	133W	R4S	14,554	2	0	2	109	15,991	2	0	2	120	15,991	2	0	2	120
14	ISSW	R5	15,287	4	0	2	115	16,796	4	0	2	126	16,796	4	0	2	126
		R5S	15,693	4	0	2	118	17,242	4	0	2	130	17,242	4	0	2	130
		AFR	14,923	2	0	2	112	16,395	2	0	2	123	16,395	2	0	2	123
		AFRR90	15,065	3	0	3	113	16,551	3	0	3	124	16,551	3	0	3	124
		AFRL90	15,128	3	0	3	114	16,621	3	0	3	125	16,621	3	0	3	125

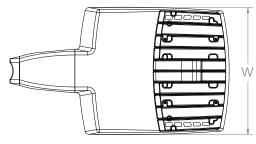


Dimensions & Weights

Luminaire Weight by Mounting Type

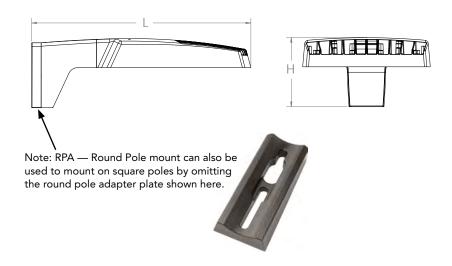
Mounting Configuration	Total Luminaire Weight
SPA	22 lbs
RPA	24 lbs
MA	22 lbs
WBA	25 lbs
WBASC	28 lbs
IS	25 lbs
AASP	25 lbs
AARP	27 lbs
AAWB	28 lbs
AAWSC	31 lbs

RSX1 with Round Pole Adapter (RPA)

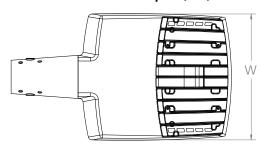


Length: 22.8" (57.9 cm) Width: 13.3" (33.8 cm)

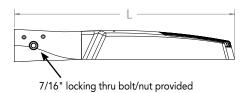
Height: 3.0" (7.6 cm) Main Body 7.2" (18.4 cm) Arm



RSX1 with Mast Arm Adapter (MA)

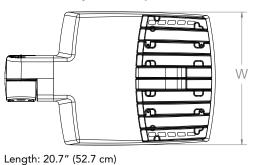


Length: 23.2" (59.1 cm) Width: 13.3" (33.8 cm) Height: 3.0" (7.6 cm) Main Body 3.5" (8.9 cm) Arm

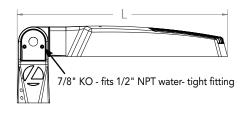


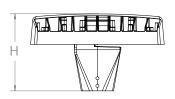


RSX1 with Adjustable Slipfitter (IS)



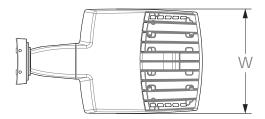
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
7.6" (19.3 cm) Arm

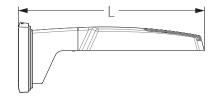


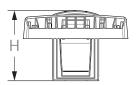




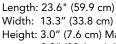
RSX1 with Wall Bracket (WBA)



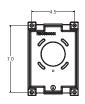


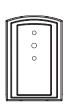


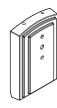
Wall Bracket (WBA) Mounting Detail



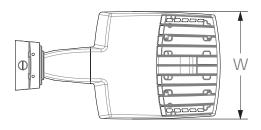
Height: 3.0" (7.6 cm) Main Body 8.9" (22.6 cm) Arm

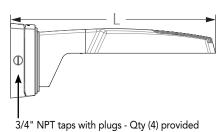


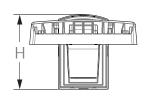




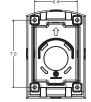
RSX1 with Wall Bracket with Surface Conduit Box (WBASC)

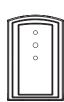


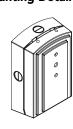




Surface Conduit Box (SCB) Mounting Detail





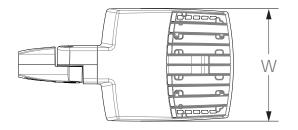


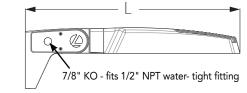
Length: 25.3" (64.3 cm)
Width: 13.3" (33.8 cm)

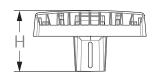
Height: 3.0" (7.6 cm) Main Body 9.2" (23.4 cm) Arm



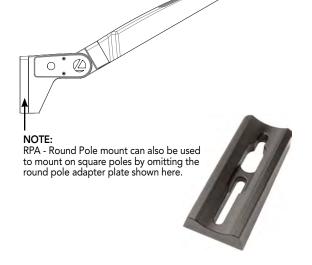
RSX1 with Adjustable Tilt Arm - Square or Round Pole (AASP or AARP)







Length: 25.3" (65.3 cm) **AASP**26.3" (66.8 cm) **AARP**Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.2 cm) Arm

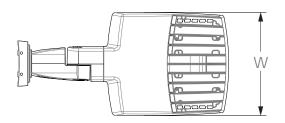


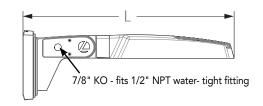
Notes

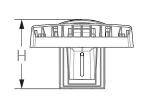
AASP: Requires 3.0" min. square pole for 1 at 90°. Requires 3.5" min. square pole for mounting 2, 3, 4 at 90°.

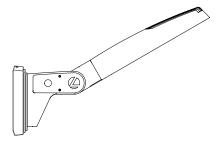
AARP: Requires 3.2" min. dia. round pole for 2, 3, 4 at 90°. Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°.

RSX1 with Adjustable Tilt Arm with Wall Bracket (AAWB)

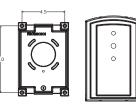


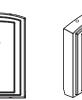












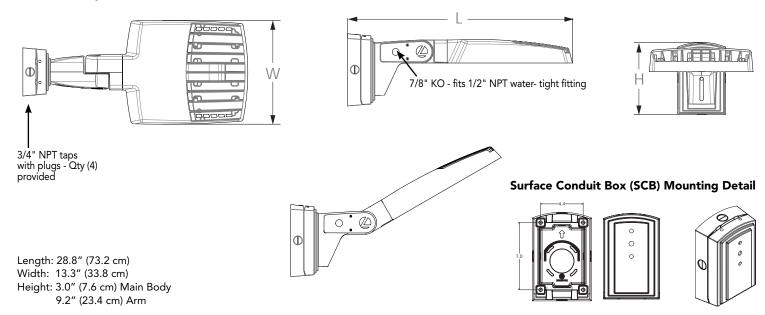


Length: 27.1" (68.8 cm) Width: 13.3" (33.8 cm) Height: 3.0" (7.6 cm) Main

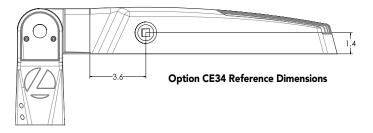
Height: 3.0" (7.6 cm) Main Body 8.9" (22.6 cm) Arm



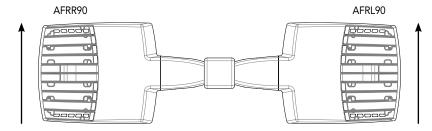
RSX1 with Adjustable Tilt Arm with Wall Bracket and Surface Conduit Box (AAWSC)



Additional Reference Drawings



Automotive Front Row - Rotated Optics (AFRL90/R90)



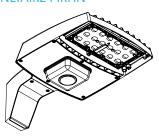
(Example: 2@180 - arrows indicate direction of light exiting the luminaire)

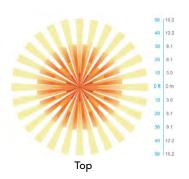


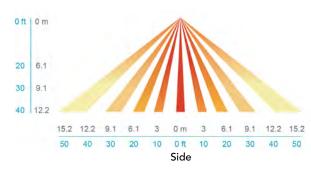
nLight Control - Sensor Coverage and Settings

nLight Sensor Coverage Pattern

NLTAIR2 PIRHN







		M	otion Sensor Defaul	t Settings - Option PIRHN		
Option	Dimmed State (unoccupied)	High Level (when occupied)	Photocell Operation	Dwell Time (occupancy time delay)	Ramp-up Time (from unoccupied to occupied)	Ramp-down Time (from occupied)
NLTAIR2 PIRHN	Approx. 30% Output	100% Output	Enabled @ 1.5FC	7.5 minutes	3 seconds	5 minutes

*Note: NLTAIR2 PIRHN default settings including photocell set-point, high/low dim rates, and occupancy sensor time delay are all configurable using the Clairity Pro App. Sensor coverage pattern shown with luminaire at 0°. Sensor coverage pattern is affected when luminaire is titled.

FEATURES & SPECIFICATIONS

INTENDED USE

The RSX LED area family is designed to provide a long-lasting, energy-efficient solution for the one-for-one replacement of existing metal halide or high pressure sodium lighting. The RSX1 delivers 7,000 to 17,000 lumens and is ideal for replacing 70W to 400W HID pole-mounted luminaires in parking lots and other area lighting applications.

CONSTRUCTION

The RSX LED area luminaire features a rugged die-cast aluminum main body that uses heat-dissipating fins and flow-through venting to provide optimal thermal management that both enhances LED performance and extends component life. Integral "no drill" mounting arm allows the luminaire to be mounted on existing pole drillings, greatly reducing installation labor. The light engines and housing are sealed against moisture and environmental contaminants to IP66. The low-profile design results in a low EPA, allowing pole optimization. All mountings are rated for minimum 1.5 G vibration load per ANSI C136.31. 3G Mountings: Include SPA, RPA, MA, IS, AASP, and AARP rated for 3G vibration. 1.5G Mountings: Include WBA, WBASC, AAWB and AAWSC rated for 1.5G vibration.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures superior adhesion as well as a minimum finish thickness of 3 mils. The result is a high-quality finish that is warrantied not to crack or peel.

OPTICS

Precision acrylic refractive lenses are engineered for superior application efficiency, distributing the light to where it is needed most. Available in short and wide pattern distributions including Type 2, Type 3, Type 35, Type 4, Type 45, Type 5, AFR (Automotive Front Row), and AFR rotated AFRR90 and ARFL90.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted on metal-core circuit boards and aluminum heat sinks to maximize heat dissipation. Light engines are IP66 rated. LED lumen maintenance is >192/100,000 hours. CCT's of 3000K, 4000K and 5000K (minimum 70 CRI) are available. Class 1 electronic drivers ensure system power factor >90% and THD <20%. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IFFE CA2 41 2)

STANDARD CONTROLS

The RSX LED area luminaire has a wide assortment of control options. Dusk to dawn controls include MVOLT and 347V button-type photocells and NEMA twist-lock photocell receptacles.

nLIGHT AIR CONTROLS

The RSX LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing with photocontrol functionality and is suitable for mounting heights up to 40 feet. No commissioning is required when using factory default settings that provide basic stand-alone motion occupancy dimming that is switched on and off with a built-in photocell. See chart above for motion sensor default out-of-box settings. For more advanced wireless functionality, such as group dimming, nLight AIR can be commissioned using a smartphone and the easy-to-use CLAIRITY app. nLight AIR equipped luminaries can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclypse. Additional information about nLight Air can be found here.

INSTALLATION

Integral "no-drill" mounting arm allows for fast, easy mounting using existing pole drillings. Select the "SPA" option for square poles and the "RPA" option to mount to round poles. Note, the RPA mount can also be used for mounting to square poles by omitting the RPA adapter plate. Select the "MA" option to attach the luminaire to a 2 3/8" horizontal mast arm or the "IS" option for an adjustable slipfitter that mounts on a 2 3/8" OD tenon. The adjustable slipfitter has an integral junction box and offers easy installation. Can be tilted up to 90° above horizontal. Additional mountings are available including a wall bracket, adjustable tilt arm for direct-to-pole and wall and a surface conduit box for wall mount applications.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only. U.S. Patent No. D882, 146S

BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT.

Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



SYMBOL AND LINE LEGEND

LOCATION MAP 100-YEAR OVERFLOW 21.56 SPOT ELEVATION VALVE VAULT SURFLACE FLOW GAS VALVE FIRE HYDRANT HAND HOLE LIGHT POLE WATER B-BOX ELECTRICAL MANHOLE MAIL BOX GAS METER CATCH BASIN WELL HEAD POWER POLE TELEPHONE MANHOLE FLARED END SECTION SOIL BORING TRAFFIC OR STREET SIGN Cable TV PEDESTAL SANITARY MANHOLE DOWNSPOUT STORM MANHOLE WATER VALVE BOX TELEPHONE PEDESTAL SANITARY CLEANOUT STORM CLEANOUT STORM INLET FIRE DEPARTMENT CONNECTION .UGW. İRR COM-CWS \leq Ģ-- UGW--IRR -COM--NK N -cws-Ļ 7 Ó SILT FENCE NORMAL WATER LINE VENT LINE EASEMENT LINE ELECTRICAL DUCT BANK EVERGREEN TREE DECIDUOUS TREE BARBED-WIRE FENCE CHAIN LINK FENCE HIGH WATER LINE CONSTRUCTION LIMITS FIBER OPTIC CABLE TELEPHONE CABLE UNDERGROUND WIRE TELEVISION CABLE CHILLED WATER RETURN CHILLED WATER SUPPLY COMMUNICATIONS LINE NATURAL GAS LINE IRRIGATION SLEEVE/PIPING SANITARY SEWER PIPE STORM UNDERDRAIN STORM SEWER PIPE WATERMAIN PIPE SHRUB OR BUSH WOODEN FENCE PROPERTY LINE AERIAL WIRES LOCATION

25 WEST EVERBROOK AC LINCOLN HIGHWAY, FRANKFORT, IL

NAME: REM / EMAIL: PHONE: ADDRESS: 54 INFORMATION ACQUISITIONS, LLC

122ND STREET SLSIP, ILLINOIS,

5420 W.

NOTES DUTY TO INDEMNIFY SITE ACCESS CONTROL INCLUDING SAFETY FENCES AND TRAFFIC CONTROL, ALL METHODS, AND SITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF THEIR FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ALL UTILITIES SHOWN IN THE PLANS ARE FROM RECORDS OR FIELD OBSERVABLE IN FORMATION LOCATED BY SURVEYOR. ANY UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD.

THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE MUNICIPALITY, OWNER, AND ENGINEER, AND THEIR RESPECTIVE BOARD MEMBERS, REPRESENTATIVES, AGENTS AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF, OR INCIDENTAL TO, THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO, THE ILLINOIS LAWS REGARDING STRUCTURAL WORK (IL. REV. STAT. CH. 48, PAR.60 AT SEQ.). AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS (IL. REV. STAT. CH.17 ½ PAR.51 ET. SEQ.). IN THE EVENT OF ANY SUCH INJURY (INCLUDING DEATH) OR LOSS OR DAMAGE, OR CLAIMS THEREFORE, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

Sheetl	Sheet List Table
Sheet Number	Sheet Title
C0.0	Preliminary Cover Sheet
C1.0	PRELIMINARY DEMOLITION PLAN
C2.0	PRELIMINARY SITE PLAN
C3.0	PRELIMINARY UTILITY PLAN
C4.0	PRELIMINARY GRADING PLAN

CONSTRUCTION

BENCHMARKS: (NAVD88)

SOURCE BENCH MARK: NGS MONUMENT WITH PID DN4718 BEING A STAINLESS STEEL ROD IN SLEEVE. (SEE NGS DATA SHEET FOR A MORE DETAILED DESCRIPTION) ELEVATION=756.95 SITE BENCH MARK:
SQUARE CUT ON LIGHT POLE BASE LOCATED 1.7' WEST OF THE WEST PROPERTY LINE AND 22.0' SE'LY OF CONCRETE MEDIAN OF ADJACENT BANK DRIVE—THRU.

COUNTY NAME: WILL TOWNSHIP, RANGE: . . SECTION NUMBER: ______ Know what's below.

Call before you dig. CALL 48 HOURS BEFORE YOU DIG WITH THE FOLLOWING INFORMATION

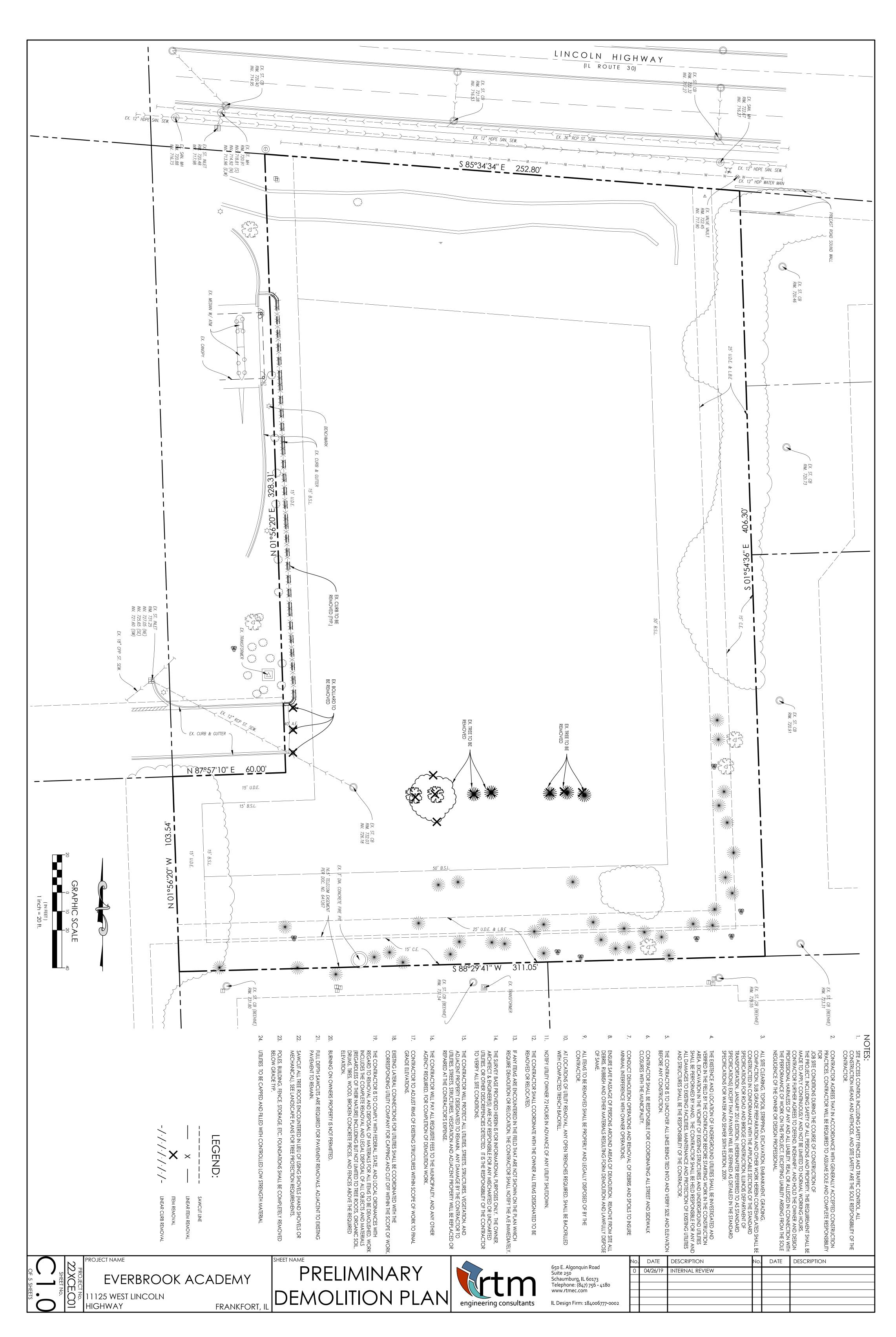
EVERBROOK ACADEMY 11125 WEST LINCOLN HIGHWAY FRANKFORT, IL

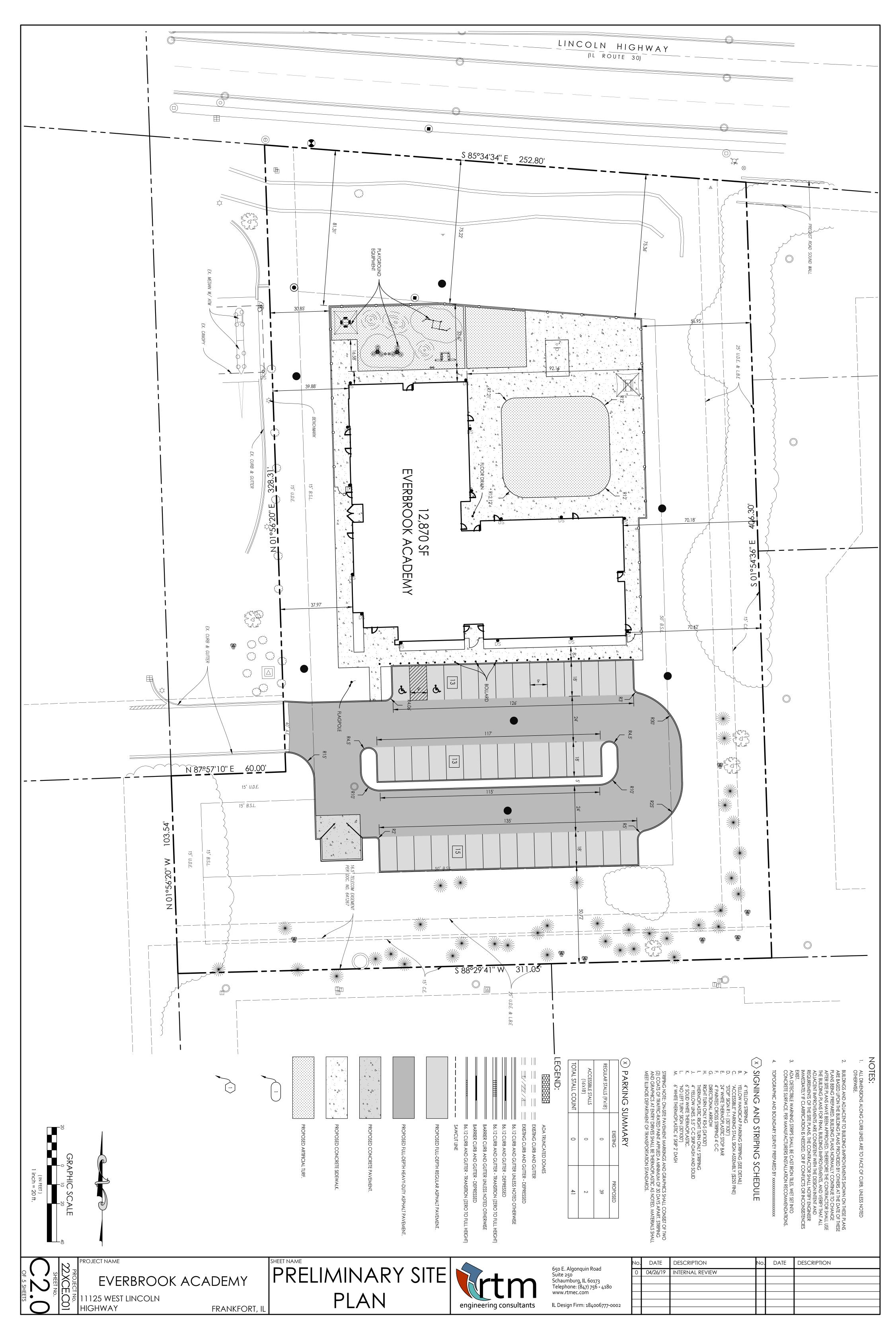
PRELIMINARY **COVER SHEET**

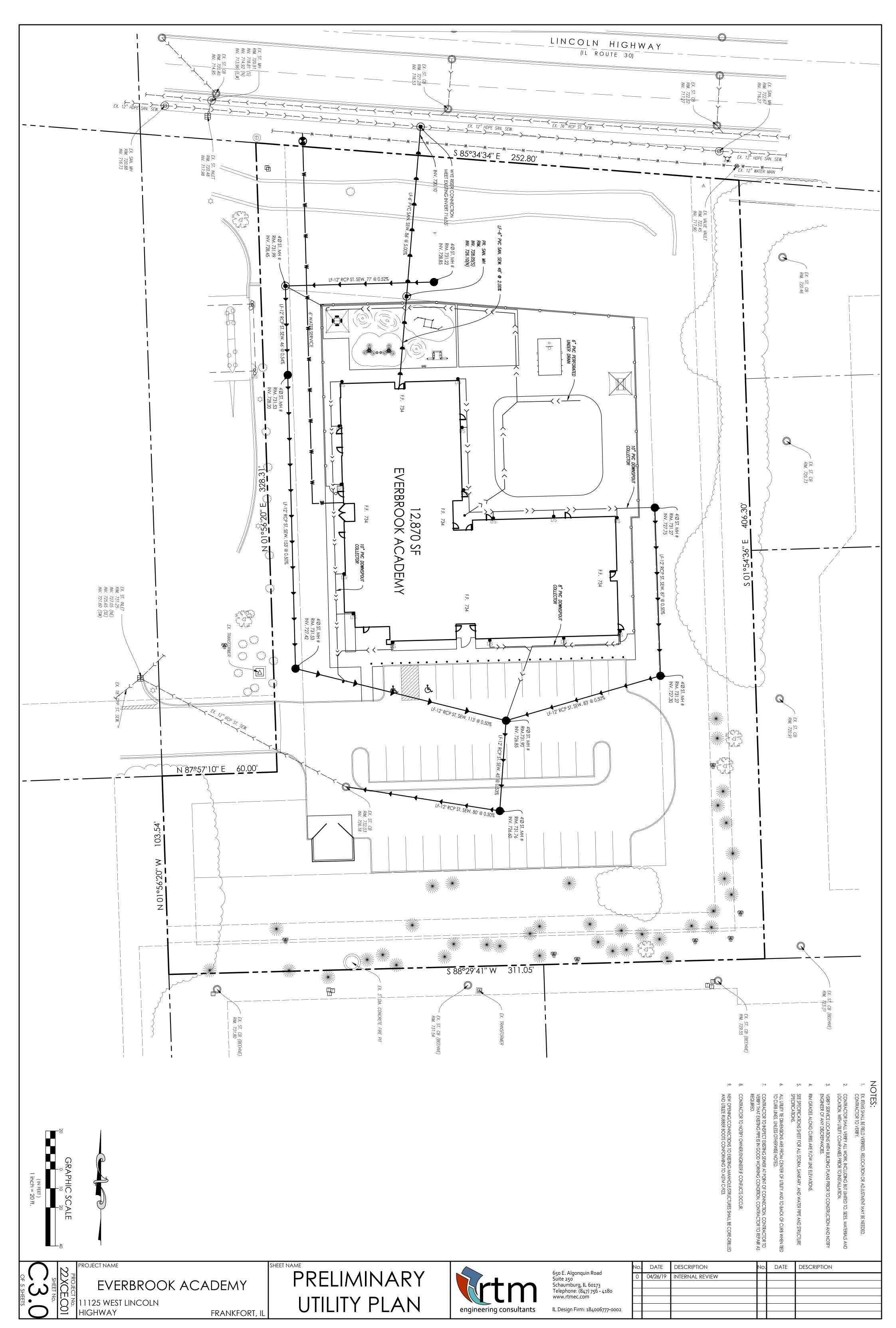


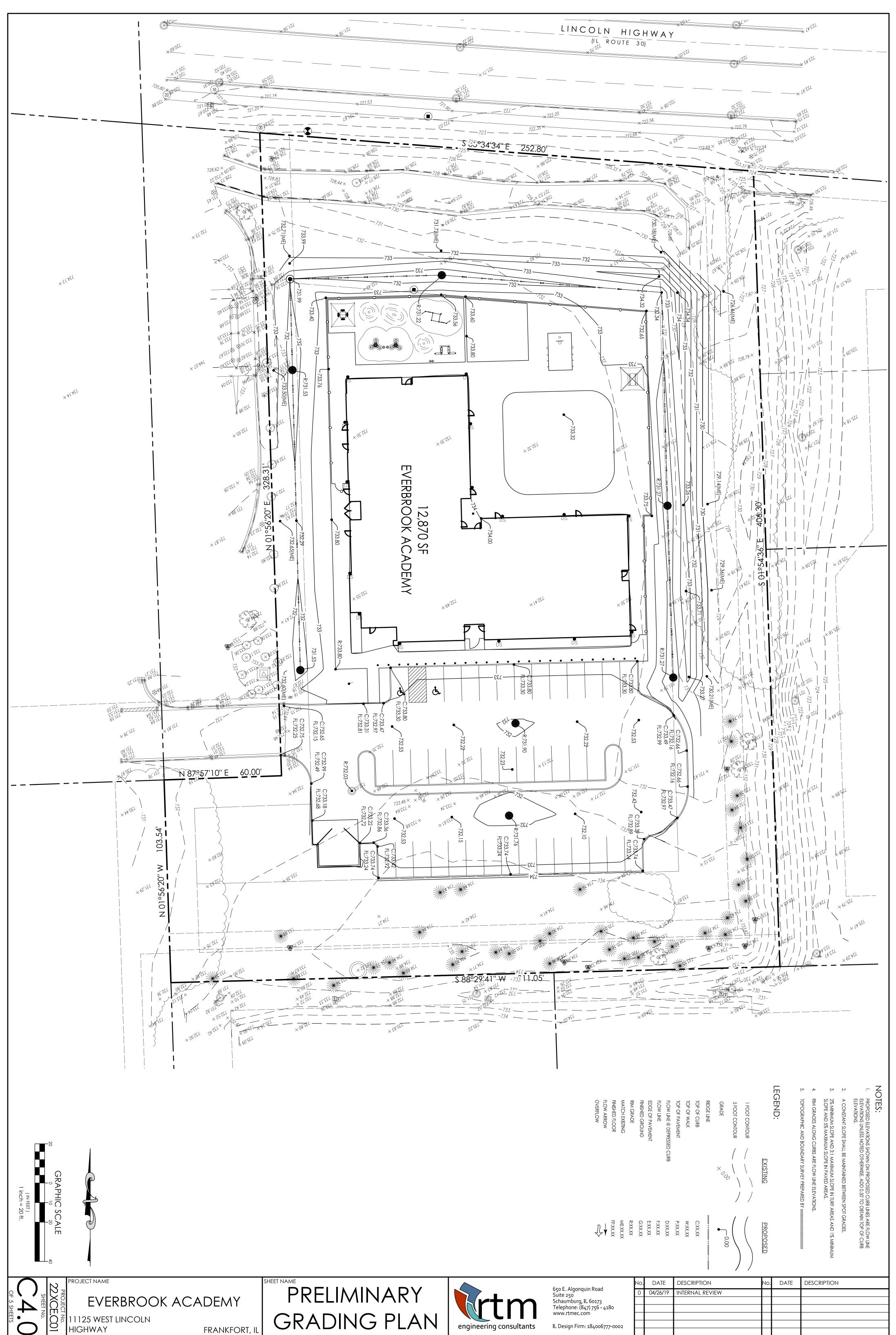
650 E. Algonquin Road Suite 250 Schaumburg, IL 60173 Telephone: (847) 756 - 4180 www.rtmec.com IL Design Firm: 184006777-0002

DESCRIPTION **DESCRIPTION** DATE 04/26/19 INTERNAL REVIEW









RECEIVED

By Mike Schwarz at 4:08 pm, Aug 04, 2022



August 3, 2022

To: RTM Engineering Consultants

650 E. Algonquin Road Schaumburg, IL 60173

Attn: M. Scott DiGilio, PE

RE: Everbrook Academy

Preliminary Engineering Review 1 Project Number 22-R0528.FF

Dear M. DiGilio:

On behalf of the Village of Frankfort, we reviewed the 4/26/2019 Preliminary Engineering Plans (received 7/06/22) for the above referenced project and provide the following comments. Please review the comments and revise the plans and supporting documents accordingly. Italicized comments remain from previous correspondence.

General

- 1. It is the applicant's responsibility to secure any and all outside approvals. The Village shall receive copies of submittals, coordination letters and the issued permit between the parties. It appears this project will require at least the following permits/approvals:
 - a. IEPA NOI
 - b. IEPA Sewer: Provide an estimate of anticipated Population Equivalent
 - c. IDOT (if applicable)
 - d. Fire Department
- 2. It is the owner and owner's consultant and contractors' responsibility to verify that all existing and proposed utilities (electric, gas, telephone, underground cable, etc.) and related easements are shown on the plans and plat and that they will be relocated/removed accordingly with any and all required approvals.
- 3. Clarify if the trees along the south portion of the parking lot will be preserved or removed with the proposed grading plan. Verify all landscaping requirements with Village Staff.
- 4. The owner and/or contractor are responsible for verifying soil and subgrade conditions for the project.
- 5. The site includes an existing retaining wall system along Route 30.
 - a. Verify the structural integrity of the system, especially in consideration of anticipated construction activities.
 - b. Verify fence and handrail requirements with the Village Building Department.
 - c. A long-term maintenance plan will be required with final engineering.
 - d. Modifications to the wall for water and sewer services are proposed.
- 6. The plans should be signed and sealed.
- 7. The benchmark shall reference the datum; if NAVD 88 was not used, a conversion to NAVD is required.
- 8. On Sheet C3.0, update/complete Note 4 (indicating the surveyor). Similarly, update Sheet C4.0, Note 5.

Parking

- 9. Parking lot geometrics shall generally confirm to the recommendation of the Institute of Transportation Engineers; revise drive aisles to 26' wide.
- 10. Provide a maneuverability analysis (or Autoturn analysis) of the proposed site to demonstrate that emergency vehicles can enter, circulate, and exit the site with access to structures as required by the Fire Department.

 Assume that all parking stalls are occupied for this analysis. Fire trucks...

- 11. Provide a maneuverability analysis (or Autoturn analysis) to demonstrate that the site will accommodate any and all anticipated delivery vehicles.
- 12. Show detectable warnings at all locations where sidewalk meets a traveled way.
- 13. Combination concrete curb and gutter shall be constructed along the edge of all pavement.

Stormwater Conveyance

14. Demonstrate how the 100-year storm will be conveyed to the stormwater facilities. Provide arrows where ponded areas will overtop.

Grading

- 15. Please add the proposed finished floor elevation for the building.
- 16. Label the berm with 3:1 maximum slope; all other grassed areas shall be 5:1 maximum.
- 17. Paved areas shall be 1% minimum slope.
- 18. Ponding depths in paved and grassed areas shall not exceed six and twelve inches, respectively.
- 19. Provide additional spot elevations within the playground area to ensure proper drainage.

Final Engineering

- 20. Provide stormwater conveyance calculations for the storm sewer and overland flow routes.
- 21. Any needs for drainage and/or utility easements will be confirmed during the final engineering review.

Please note that this engineering review is based on the Village of Frankfort Design Standards (June 2009) and the Village of Frankfort Flood Regulations (February 2019) and excludes review of site, planning, zoning, lighting, photometric, signage and landscaping requirements of other Village ordinances and codes being performed by the Development Services Department and other Village designees.

Should you have any questions or require any further information, please contact me at dwest@reltd.com or (815) 412-2702. At time of resubmittal of this project, please include a disposition letter responding to each listed comment as well as reference to revision on plan sheet or supporting document (where applicable).

Very truly yours,

Dana E. West

Dana E. West, PE, CFM, CPESC Senior Project Manager



Date 02/29/2008

Time 08:50:00

Recording Fees:

\$30.75

\$0.00

IL Rental Hsng. Support Program:

ordinance no. 2439

AN ORDINANCE APPROVING A MAJOR PLANNED UNIT DEVELOPMENT (PUD) CHANGE FOR PRAIRIE CROSSINGS RETAIL CENTER (PRAIRIE CROSSINGS PROFESSIONAL CENTER - 11125 W. LINCOLN HIGHWAY)

WHEREAS, Carlson Brothers Inc., applicant; and REM Acquisitions, LLC and Prairie Bank & Trust Company, as Trustee under Trust Agreement dated December 12, 2005, and known as Trust Number 05-142, owners; filed an application with the Village of Frankfort for a major PUD change to the Prairie Crossings retail center property, located at 11125 W. Lincoln Highway, Frankfort, Illinois; and

WHEREAS, the property is located within the corporate limits of the Village of Frankfort, in Will and Cook Counties, Illinois, and is zoned B-4 Office District with a Special Use for a PUD; and

WHEREAS, a timely Notice of Public Hearing on this application before the Plan Commission/Zoning Board of Appeals of the Village of Frankfort was published in the Star Newspaper announcing a Public Hearing on the application for a major PUD change for Lot 1 in New Lenox State Bank Subdivision of the Prairie Crossings development; and

WHEREAS, at a time and place designated in such published notice, a Public Hearing was held before the Village of Frankfort Plan Commission/Zoning Board of Appeals on said application; and

WHEREAS, the Village of Frankfort Plan Commission recommended to the Board of Trustees of the Village of Frankfort that the subject property be granted a major PUD change to accommodate the construction of two one-story office buildings, with conditions as enumerated in Section 1 of this ordinance and as generally depicted on Exhibits A-1 through A-6, attached.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. ZONING.

PIN: 19-09-20-301-055-0000

PARCEL 1

LOT 1 IN NEW LENOX STATE BANK SUBDIVISION, BEING A SUBDIVISION OF PART OF THE EAST ½ OF THE SOUTHWEST ¼ OF SECTION 20, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 8, 2002 AS DOCUMENT NO. R2002-192064 IN WILL COUNTY, ILLINOIS

PARCEL 2

EASTMENT FOR THE BENEFIT OF PARCEL 1 CREATED BY ACCESS EASEMENT AGREEMENT BETWEEN KOHL'S DEPARTMENT STORES, INC. A DELAWARE CORPORATION, AND ALSO NLSB, AN ILLINOIS BANKING CORPORATION, RECORDED JANUARY 17, 2003 AS DOCUMENT NO. R2003-12121 FOR THE PASSAGE OF MOTOR VEHICLES AND PEDESTRIANS OVER AND ACROSS THE DRIVEWAY AND ACCESS ROAD AS DESCRIBED IN SAID DOCUMENT.

PARCEL 3

EASEMENT FOR THE BENEFIT OF PARCEL 1 CREATED BY ACCESS AGREEMENT BY AND BETWEEN NLSB AND NLSB, AS TRUSTEE UNDER THE PROVISIONS OF A TRUST AGREEMENT DATED AUGUST 18, 1988, NOWN AS TRUST NO. 1183, RECORDED MARCH 24, 2004 AS DOCUMENT R2004-49251 FOR INGRESS AND EGRESS OVER THE SOUTH 40 FEET OF LOT 1 IN NEW LENOX STATE BANK PHASE 2, RECORDED AS DOCUMENT NO. R2003-261229, IN WILL COUNTY, ILLINOIS, commonly known as part of Lot 1 of the New Lenox State Bank Subdivision property, Prairie Crossings retail center, located at 11125 W. Lincoln Highway, in Frankfort, Will County, Illinois, is hereby granted a major PUD change, in accordance with the reviewed plans prepared by Arete 3 Ltd (Site Plan rev. 11.15.06; Landscape Plan, rev. 01.25.07; Elevations, rev. 04.02.07 and 11.15.06; Tenant Signage, rev. 04.02.07; Photometric Plan, rev. 01.31.07) and subject to the following conditions:

- 1. Staff approval of final Covenants and Restrictions with language stating attic space to be used for storage only
- 2. Extension of the sidewalk along Route 30 to the eastern property line
- 3. Retaining wall material to match existing material in bulk and color
- 4. Inclusion of a cut-off timer on the parking lot light located west of the southernmost trash enclosure
- 5. Removal of any wall signage on the northern façade of Building 1, should the building revert back to a multi-tenant orientation.

SECTION 2. REPEALER

That all other ordinances or parts or provisions of ordinances of the Village of Frankfort in conflict with any of the provisions of this Ordinance shall be, and the same are hereby repealed.

SECTION 3. **SEVERABILITY**

This Ordinance and every provision thereof, shall be considered severable. In the event that any court of competent jurisdiction may find and declare any word, phrase, clause, sentence, paragraph, provision or section or part of a phrase, clause, sentence, paragraph, provision or section of this Ordinance is void or unconstitutional, the remaining words, phrases, clauses, sentences, paragraphs and provisions and parts of phrases, clauses, sentences, paragraphs, provisions and sections not ruled void or unconstitutional shall continue in full force and effect.

SECTION 4. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED, this 22nd day of January, 2008, with four members voting AYE; no members voting NAY; and two members absent; the President not voting; with no members abstaining or passing and said vote being:

KEVIN EGAN

ABSENT

CYNTHIA CORSO HEATH

AYE

TODD S. MORGAN RICHARD TREVARTHAN AYE

AYE

THOMAS J. PARRILLO R. DOUGLAS WALKER

ABSENT AYE

KATE ROMANI VILLAGE CLERK

APPROVED this 22nd day of January, 2008.

VILLAGE PRESIDENT

ATTEST:

VILLAGE CLERK

PREPARED BY AND RETURN TO:

VILLAGE CLERK VILLAGE OF FRANKFORT 432 W. NEBRASKA STREET FRANKFORT, IL 60423

STATE OF ILLINOIS)

SS.

COUNTY OF WILL)

I, Alice Y. Schomburg, the Deputy Village Clerk of the Village of Frankfort, in the County and State aforesaid, do hereby certify that I am the duly qualified and acting Deputy Village Clerk of said Village, and as such official I do further certify that with the Village Clerk, I have the care and custody of all official records of the President and Board of Trustees of said Village, and that the

foregoing document, attached hereto, being:

ORDINANCE NO. 2439, AN ORDINANCE APPROVING A MAJOR PLANNED UNIT DEVELOPMENT (PUD) CHANGE FOR PRAIRIE CROSSINGS RETAIL CENTER (PRAIRIE CROSSINGS PROFESSIONAL CENTER – 11125 W. LINCOLN HIGHWAY)

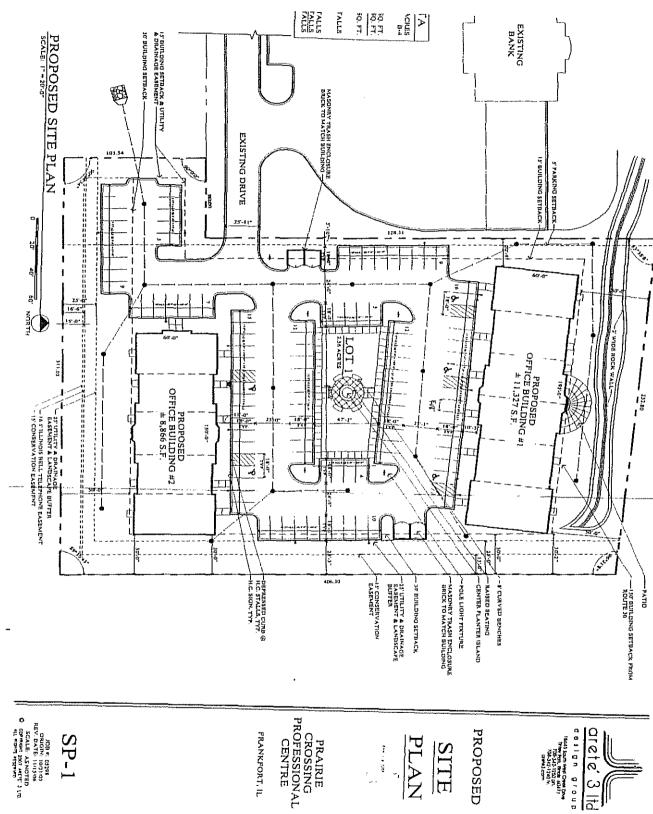
is a true, correct and compared copy of the original of said document,

IN WITNESS WHEREOF, I have hereunto affixed my hand and the corporate seal of said Village this 22nd day of January, 2008.

ALICE 🏿 SCHOMBURG

DEPUTY VILLAGE CLERK

(Seal)



FRANKFORT, IL

of and the source of the sourc EXHIBIT A-1

dealgn group

1645 tom well Cree bye

1645 tom self Cree 6477

1645 1720 n.

1645 1720 n.

1645 1720 n. arete' 3 ltd

PROPOSED

PLAN

1 to 1 to 1

SITE

SP-1

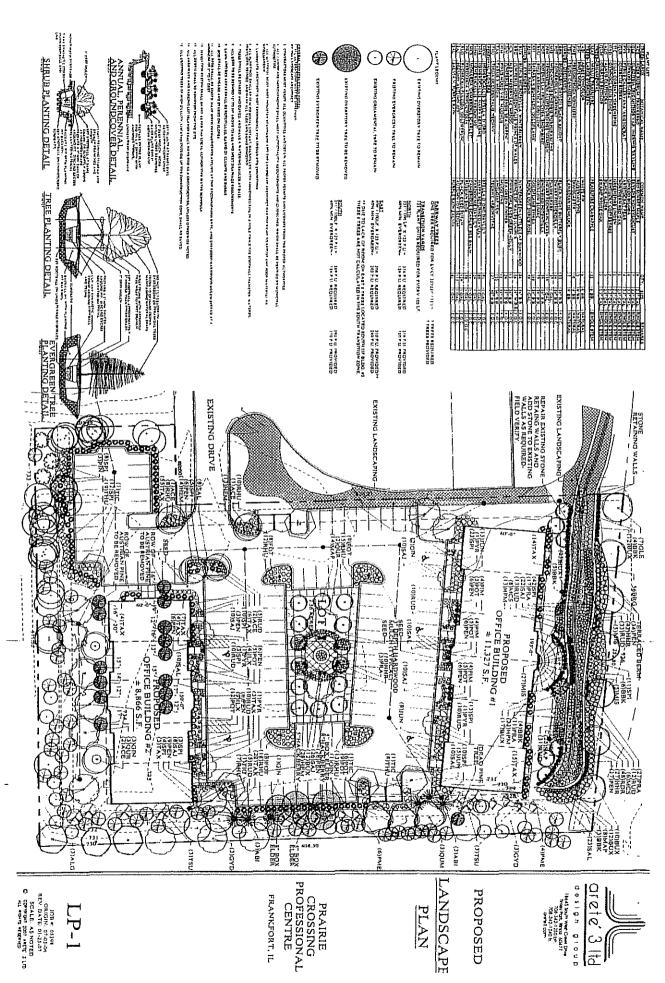


EXHIBIT A-2

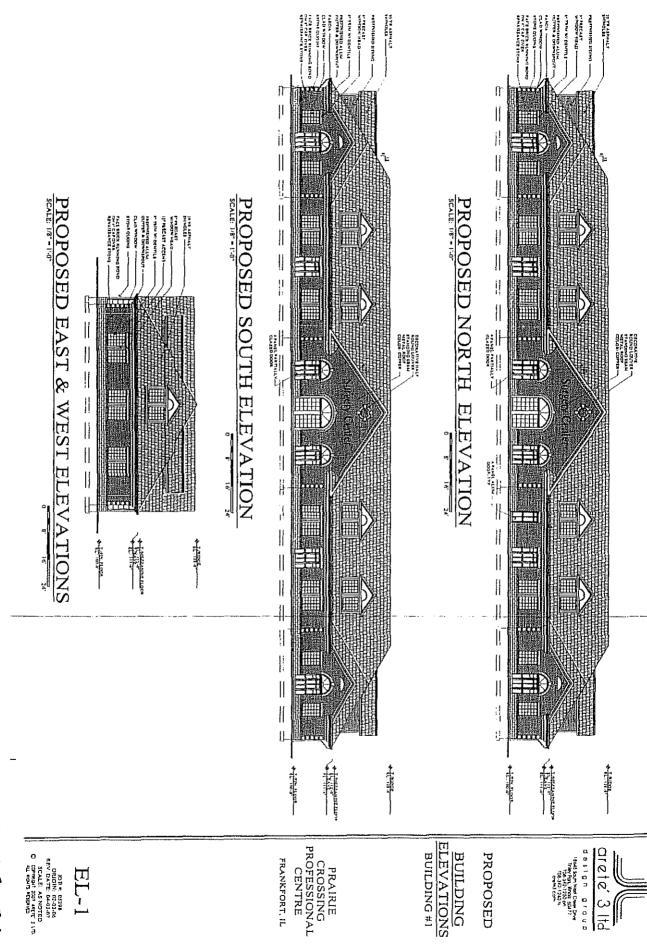


EXHIBIT A-3

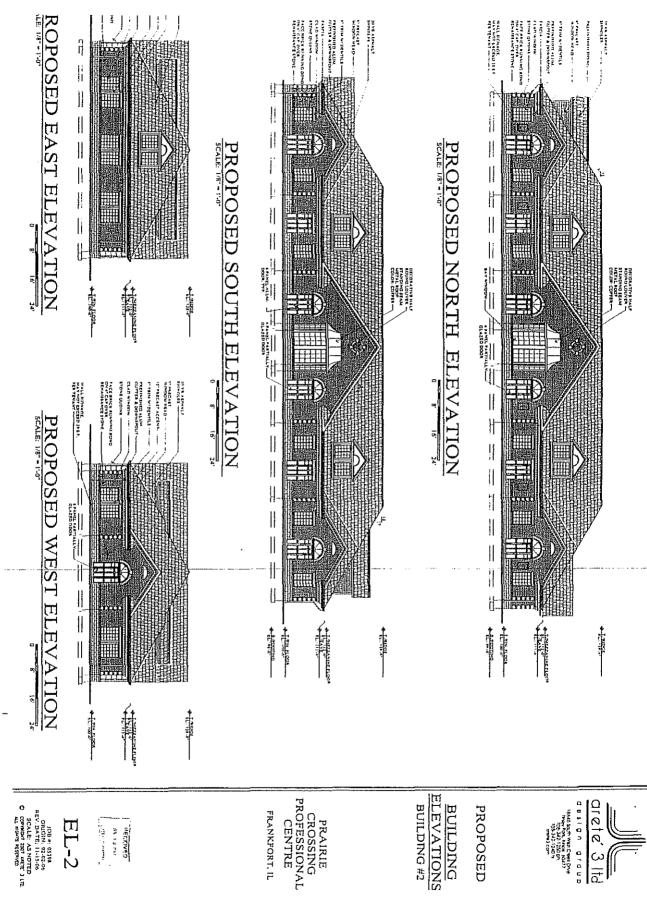
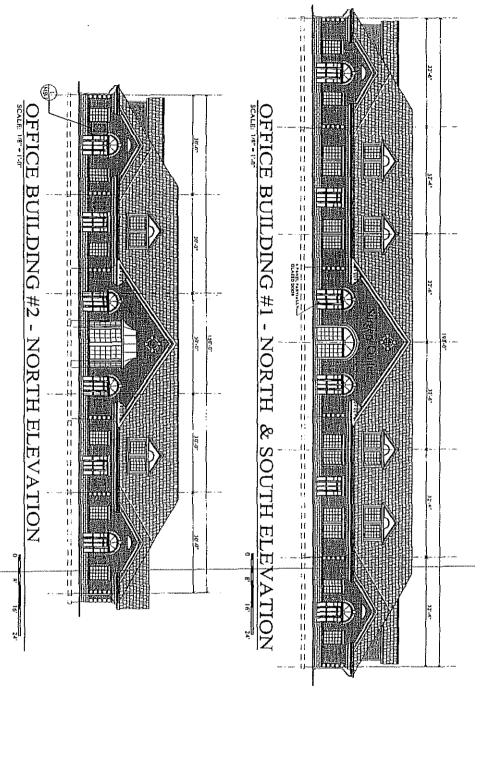


EXHIBIT A-4



BUILDINGS I

SIGNAGE

PROPOSED

design group arete 3

18645 South West Crinol Crino Theor Part, 18741 62477 1704-347-1250 pm 1705-347-1740 m profesilizarin



AREA USING	ALLOWABLE AREA	LN, FT, OF STURBERONT	TYPICAL SIGNAGE
	NORTH ELEVATION	NOR	BUILDING 2
30 SQ. FT.	143 GQ: FT	195-0	TVTOT
AREA USING	VILLOWABLE VIEW	LN. FT. OF STOREPRONT	TYPICAL SIGNAGE
NOLL	NORTH & SOUTH ELEVATION	NORTH &	BUILDING I
OT OF EACH	ONE SIGN PERMITTED PER STORE FROMTAGE. NOT TO EXCRED 1.0 SQUARE FOOT PER LINEAR FOOT OF EACH STORE FRONTAGE	ONE SIGN PERMITT EXCEED 1.0 BQUAR S	SIGNAGE MATRIX

NO SIGNAGE ALLOWED ON THE SOUTH ELEVATION OF BUILDING #2

TYP. TENANT TATOTAL

.0-.0f.1 .0-.0r

130 SQ. FT. 30 SQ. FT.

30 50. FT. 6 SQ. FT.

> PRAIRIE CROSSING PROFESSIONAL FRANKFORT, IL CENTRE

SD-2

PLEASE NOTE
IF BUILDING I BE UTILIZED AS A
MULTI-TENANT BUILDING SIGNAGE WILL
NOT BE ALLOWED ON THE NORTH
ELEVATION (FACING ROUTE 30) AND
SIGNAGE CALCULATIONS AND STYLE
SIGNAGE CALCULATIONS AND STYLE
SHOULD MATCH THAT OF BUILDING 2

JOB N. 05298
ORIGIN: 11-03-06
REV. DATE: 04-01-07
SCALE: AS NOTED
Common 1991 MITE 1170
All Phone retreet.

EXHIBIT A.5

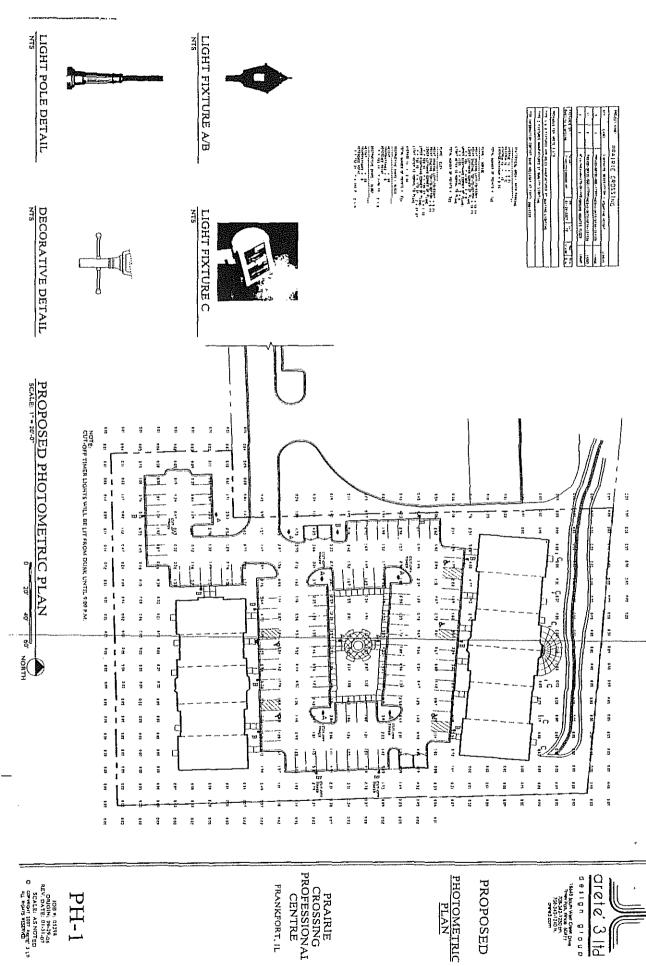


EXHIBIT A-G

PROPOSED

design group 16345 South West Creek Dive They Pot, Myst 654 y 108-34 2-1350 ph. 136-34214 30 m. press com

H. Workshop: 11031 W. Lincoln Highway – Everbrook Academy Preschool/Daycare

Mike Schwarz provided the staff report. Briefly summarized, he stated:

- The proposed use would require a Major Change to two underling PUD's including the Prairie Crossings PUD and an older PUD that is designated on the 2001 Zoning Map.
- A Special Use Permit would be required for a daycare/preschool use.
- The business is also proposing to open at 6:30 a.m., which is outside of the Village's normal business hours of 7:00 a.m. to 11:00 p.m. Extended hours of operation require approval of a Special Use Permit.
- The proposed site would be heavily landscaped on the north, east and south sides.
- A small portion of the site (the southwest corner) is part of the Prairie Crossings PUD, which contains the Kohl's building and other tenants attached to that building. The majority of the subject property is part of a separate, much older PUD.
- The daycare/preschool center building would measure 12,870 square feet.
- The property is zoned B-4 Office District.
- The Zoning Ordinance does not contain any use standards specifically for daycare/preschool facilities.
- The back of the proposed building would be visible from Route 30 and meets the required setback from Route 30.
- The Zoning Ordinance requires 1 parking space for each employee plus 1 space for every 10 children. The building would have a maximum capacity of 150 children, aged 6 weeks to 12 years, requiring 15 parking spaces. A total of 41 parking spaces are illustrated on the site plan.
- The Village had a previous daycare proposal in 2019 for the Learning Experience. At that time, the staff referenced the parking requirements suggested by the American Planning Association (APA). The parking provided by the proposed Everbrook Academy daycare/preschool meets the Zoning Ordinance requirements as well as exceeds the parking recommended by the APA.
- There would be no curbside drop-off of children; parents would park and escort children inside.
- The southern row of parking for 15 spaces should be dedicated to employees.

- The applicant is seeking a deviation as part of the Major Change to the PUDs to not install the required one (1) loading space.
- The preschool/daycare building would have a fenced 6,000 square foot play area north of the building, between the building and Route 30. This play area also complies with the minimum setback required from Route 30. Staff recommends a higher-quality fence.
- Staff had recommended making a change to the site plan such that the building would be a flipped, mirror image, which would place the play area closer to the bank building and therefore further away from the adjacent Settler's Pond townhomes. The architect responded, noting that the building's design was a standardized layout and could not be mirrored.
- The site plan illustrates a storage shed in the outdoor play area but no details have been provided.
- A landscape plan was submitted that appears to meet code requirements. A
 detailed analysis will be required to verify compliance. The landscape plan
 does illustrate a fair amount of landscaping between the proposed
 preschool/daycare and the existing townhomes to the east.
- A tree survey will be required illustrating which trees would be removed on the subject property.
- The site plan has not yet been reviewed by Robinson Engineering, but this would be required prior to the public hearing.
- The site plan appears to not exceed the maximum impervious coverage of 70%, but this figure will be verified with future revisions.
- The building height is under the maximum height of 35'.
- Each of the proposed signs do not comply with the Sign Regulations in the Municipal Code.
- Previously approved plans for two professional office buildings on this property were presented for comparison with the present proposal.

Chair Rigoni asked if the applicant wished to speak. Tom Williams approached the podium, who represents the owner.

Mr. Williams explained that Everbrook is part of a company based outside of Detroit. Everbrook is their highest quality of childcare brands. They only construct new buildings for childcare; they do not move into existing, previously used tenant spaces.

Chair Rigoni asked the commissioners to first comment on the Special Use Permit request.

Commissioner Knieriem stated that he was in favor of the use of the property as a daycare/preschool. However, he would like the front of the building to face Route 30, since this façade will be the most visible to residents and visitors. He would also prefer that the playground should not be visible from Route 30, as currently proposed. He'd like to see a perspective rendering view from Route 30, which would include

illustrating the proposed fence with playground equipment. He was concerned that the fence and playground equipment may appear unprofessional, with visibility from Route 30.

Mr. Williams stated that a 6' tall opaque, white fence could be an option. Due to the layout and shape of the existing parcel, it would be difficult to orient the building to face Route 30 and place the playground south of the building and out of view.

Commissioner Knieriem also felt that the box wall signs looked unattractive and that a higher-quality design would be preferred, especially since this location is an entryway into the Village.

Mr. Williams stated that he could prepare a 3-D rendering of the building to better illustrate the site layout.

Chair Rigoni stated that a playground would be visibly unattractive when viewed from Route 30. She recommended using an ornamental fence with brick columns, similar to the fencing used for the Olde Stone Village subdivision. She noted that Route 30 does not have fencing within the Village. She also suggested reorienting the building so that the back of the building was not facing Route 30, and/or upgrading the materials and design facing Route 30 and to try to get the proposed building to complement the other buildings within the Prairie Crossings PUD. Chair Rigoni also added that the black and white elevation drawings that were submitted do not match the color drawings. Lastly, the proposed fencing could be made of faux wrought iron.

Commissioner Jakubowski stated her concern for the back of the building being visibly prominent to Route 30 and that a different style of ornamental fencing should be used for the playground. She listed Olde Stone Village and the Fordon townhomes as examples of fencing that would be more appropriate.

Commissioner Knieriem asked if the Everbrook brand is insisting on the color palette proposed. Mr. Williams said that it was not and that Everbrook chose a lighter color to better match the existing bank building. Commissioner Knieriem asked if window dormers could be incorporated into the roofline, because it seemed like there was a large expanse of uninterrupted roof on the building.

Chair Rigoni asked if there was a signage plan for the existing PUD. Mike Schwarz responded that the subject property is mostly outside of the Prairie Crossings PUD and as such, would be creating their own sign plan for the daycare, which would not be identical to the Prairie Crossings PUD signage. She asked if the subject property would have its own ground sign. Mike Schwarz noted that per discussions with former staff, that the subject property should not have its own ground sign, but rather it should have a tenant panel installed on the existing ground sign at the entrance to Prairie Crossings along Route 30.

Mr. Wilkins stated that a ground sign definitely would be sought for the daycare/preschool and that business would be negatively impacted without one.

Commissioner Knieriem asked if the Sign Code would allow for a wall sign on the west side of the building. Mike Schwarz stated that it would not. He stated that a wall sign on a façade that does not face a public right-of-way or have frontage on a main point of access of ingress/egress in the property would be a deviation from the Code. Commissioner Knieriem said he would prefer that all wall signage on the west elevation be eliminated.

Commissioner Guevara stated his concern regarding a fence being placed along Route 30. He noted that although the site will have landscaping, the landscaping will be located lower on the hillside such that the fencing will still be visible from Route 30. He noted that landscaping should be added in front of the fence to screen it as much as possible, even if this meant exceeding the requirements in the Landscape Ordinance.

Chair Rigoni noted that she felt that the business opening at 6:30 am would be acceptable.

Commissioner Knieriem stated that the bank building has aesthetically appealing light poles. He asked when the applicant wanted to begin construction. Mr. Williams responded that they would like to move forward quickly, proceeding to a public hearing in June and obtaining Village Board approval shortly thereafter. They hope to begin construction in September, with a roof installed before winter. There would be a 9-month construction time, in order to open by June 2023.

Chair Rigoni asked if Everbrook would have vans on site for children. Mr. Williams responded that they would not; families would drop off and pick up children.

Mr. Williams asked when the public hearing would occur. Chair Rigoni noted that staff would determine whether a second workshop would be needed or if it would proceed directly to a public hearing. Mike Schwarz noted that May 26th would be the soonest available meeting date for a public hearing.

E. Workshop: 11031 W. Lincoln Highway - Everbrook Academy Preschool/Daycare

Mike Schwarz summarized the changes made to the proposal since the last workshop.

Chair Rigoni asked the applicant to approach the stand. She swore in the applicant, Tom Williams.

Williams informed the commission that the comments from the last workshop were incorporated as best they could. In regard to questions about the west-facing sign, it was designed to meet code and was located where it was to help identify the entrance to people unfamiliar with the location, as a safety precaution.

Chair Rigoni asked if the commission has any initial comments from the previous workshop.

There were none.

Chair Rigoni restated her concern with having the play area facing Route 30, citing safety and aesthetics. It would be preferable to rotate the building so the play area was in the rear of the building.

Discussion addressed potential changes that could be made to address the play area facing Route 30.

Chair Rigoni asked the commission if they have any comments on the architecture.

Discussion focused on the changes that were made since the last workshop in more detail.

Members of the commission gave comments on the lack of visual continuity with the adjacent bank.

Staff stated that the roof pitch was another area of concern, with respect to the visual appearance of the building.

Discussion returned to the possibility of reorienting the building. The applicant stated that the biggest challenge with reorientation was with pick-up and drop-off.

Commissioner Hogan requested elevations of the proposed building and the adjacent bank for a more direct comparison of aesthetics.

Chair Rigoni asked the commission what comments they had on the proposed signage.

Staff noted that a variation would be needed to allow a sign on the west elevation of the building.

Discussion turned to alternative signage to help people find and access the site. Commissioners asked for visualizations of different alternatives.

Chair Rigoni asked for any other comments.

There were none.

Chair Rigoni asked the applicant that for the next time changes to the plans be clearly marked.

Planning Commission / ZBA



August 25, 2022

Project: Oltman Variances

Meeting Type: Workshop

Request: 3 Variances for proposed single-family home

Location:240 Center RoadApplicant:Gander BuildersProp. Owner:Dustin OltmanRepresentative:Jarrett Lecas

Site Details

Lot Size: 38,350 sq. ft. (0.88 acres) **PIN:** 19-09-28-227-013-0000

Existing Zoning: R-2 **Proposed Zoning:** N/A

Buildings / Lots: 1 house w/ attached garage

Proposed house: 4,837 square feet

Building Height: 31' 1 1/4"

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Residential	Single-Family	R-2
North	Residential	Single-Family	R-2
South	Residential	Single-Family	R-2
East	Residential	Single-Family	R-2
West	Residential	Single-Family	R-2



Project Summary

The applicant, Jarrett Lecas, seeks to construct a 4,837 square-foot house on the vacant property at 240 Center Road for the Oltman family. A house formerly existed on this site but has since been demolished and cleared.

The proposed house would require three (3) variances:

- 1. To permit a reduced side yard setback from 10' to 5'.
- 2. To permit non-masonry siding that covers less than 100% of the 1st floor. The applicant is proposing a mixture of three primary materials, including 4" Hardie Board lap siding (wood composite), 6" metal longboard siding and painted white brick.
- 3. Metal roofs are not permitted on single family homes except as accent features, such as roof areas above bay windows. The applicant is proposing a mix of metal and shingle roof material over the primary structure.

Attachments

- Location Maps, prepared by staff (VOF GIS) scales 1:2,500 and 1:1,000
- Plat of Survey of existing site, prepared by Studnicka and Associates, Ltd. dated 12/17/15
- Color rendering of front building elevation with primary materials listed
- Variance findings of fact, submitted by applicant
- Photographs of property, taken by staff on August 17, 2022
- Site Plan, received by staff on July 26, 2022
- Elevation drawings and floorplans, received by staff on July 7, 2022

Analysis –

Staff offers the following points for discussion:

- 1. The R-2 zone district requires a minimum lot size of 15,000 square feet, 100' width and 150' depth. The existing lot is 38,350 square feet in area, 100' wide and approximately 370.4' deep and is therefore conforming regarding lot size and width.
- 2. The Zoning Ordinance requires that all houses in the R-2 zone district provide a 10' minimum side yard setback (total of 25' on both sides) (Article 6, Section B, Part 1). The proposed house would be constructed 5' from the north side property line, requiring a variance.
- 3. The Zoning Ordinance requires that all houses in the R-2 zone district have the 1st floor entirely constructed of masonry (Article 6, Section B, Part 2 (g)(2)). The proposed house would be constructed of three primary materials: 6" metal longboard, 4" Hardie Board lap siding and painted brick, requiring a variance. The proposed 6" metal longboard siding has a surface that closely resembles wood. To staff's knowledge, no variances have been granted in Frankfort for the specific metal siding being proposed for this house, although this building material is gaining popularity for all types of new construction.
- 4. The Zoning Ordinance prohibits metal roofs on single-family homes except for accent features above bay windows (Article 6, Section B, Part 4 (i)). The proposed house would have both a metal roof and shingled roof over the primary structure, requiring a variance. The metal vs. shingle material is about an even split.
- 5. The Zoning Ordinance requires that all garages *over* 3 cars in size be side-loaded. The proposed 4-car garage is side-loaded to comply with this requirement. The garage itself is 1,134 square feet in area.
- 6. The Zoning Ordinance requires that the minimum gross floor area of a two-story dwelling in the R-2 district be at least 2,600 square feet. The proposed house measures 4,837 square feet, complying with this requirement.
- 7. The Zoning Ordinance permits a maximum lot coverage of 20% for two-story homes in the R-2 zone district. The proposed house with attached garage amounts to 3,241 square feet, which is an 8.4% lot coverage, complying with this requirement. There are two existing accessory structures (sheds) measuring 257 SF and 496 SF, although these are proposed to be demolished. If these structures remained after the house was constructed, the lot coverage would be approximately 10.4%.
- 8. The Zoning Ordinance permits a maximum <u>impervious</u> lot coverage of 40% in the R-2 zone district. Due to the large size of the lot, the total impervious square footage calculation was not requested of the applicant and the impervious lot coverage is estimated to be significantly less than 40%.
- 9. The basement is 100% of the area of the first floor (not including the area of the attached garage). The Zoning Ordinance requires a basement size of at least 80% of the area of the first floor, meeting this requirement.

10. There would be two (2) trees removed to construct the new house, including a 6" pin oak and 42" hackberry. Of these trees, the hackberry is classified as a "preservation tree" in the Landscape Ordinance. Preservation trees must be mitigated on-site at a 1":1" ratio of tree caliper. Preservation trees must be replaced with one of the "overstory tree" species as listed in Appendix A of the Landscape Ordinance. Replacement trees shall be at least 2.5" caliper upon planting. In this instance, 42"/2.5" = 17 overstory replacement trees required. If larger caliper replacement trees were planted, the total number of replacement trees needed would be reduced. Page 11 of the Landscape Ordinance notes that "Village staff may vary the number of replacement trees required depending on the desirability of the existing tree". Staff has included site photos that include the hackberry.

Affirmative Motions (future public hearing only) ————

- 1. Recommend the Village Board approve the variance from Article 6, Section B, Part 1 of the Village of Frankfort Zoning Ordinance to permit a north side yard setback of 5', whereas at least 10' is required with a total of 25' on both sides, resulting in a deficiency of 5', for the property located at 240 Center Road, in accordance with the reviewed plans, public testimony and Findings of Fact.
- 2. Recommend the Village Board approve the variance request for first-floor building materials to allow non-masonry siding on the property located at 240 Center Road, in accordance with the reviewed plans, public testimony and Findings of Fact.
- 3. Recommend the Village Board approve a variance from Article 6, Section B, Part 4 (i) to permit a metal roof on a residential structure, in accordance with the reviewed plans, public testimony and Findings of Fact.

240 Center Road - Proposed House (variances)



0 125 250 500 Feet

240 Center Road - Proposed House (variances)





Residential Commercial PLAT OF SURVEY

Topographical Condominium Site Plans

ALTA

Tel. 815 485-0445

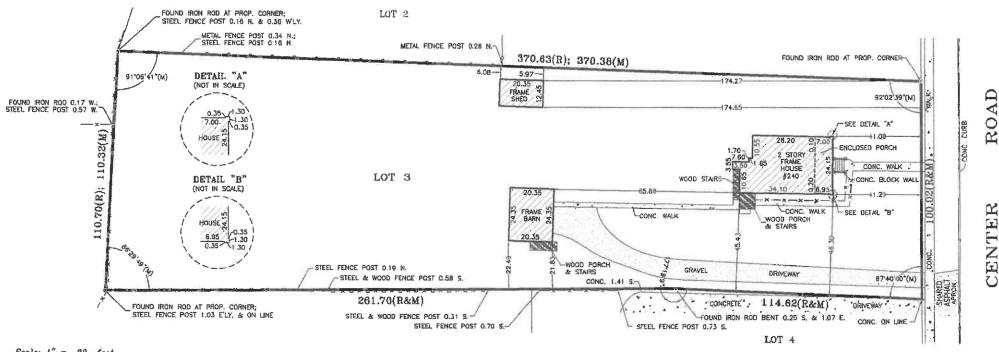
Fax 815 485-0528

Studnicka and Associates, Ltd.

studnicka2000@yahoo.com

17901 Haas Road Mokena, Illinois 60448

LOT 3 IN PROPRIETOR'S SUBDIVISION OF A PART OF THE NORTHEAST FRACTIONAL QUARTER OF SECTION 28, NORTH AND SOUTH OF THE INDIAN BOUNDARY LINE IN TOWNSHIP 35 NORTH, AND IN RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 12, 1966 AS DOCUMENT NO. R66-18426, IN WILL COUNTY, ILLINOIS.



Scale: 1" = 30 feet.

Distances are marked in feet and decimals.

Ordered by:

Order No.: 15-21-59

Compare all points before building by same and at once report any difference. For building lines, restrictions, or easements not shown hereon, refer to abstract, deed or ordinance.

Field work completed: 12/17/15

Drawn by: S.K. Proofed by: T.S.

Design Firm Registration # 184-002791

LEGEND: R= RECORD M- MEASURE = WOOD FENCE -x-x-x- CHAIN LINK FENCE METAL FENCE

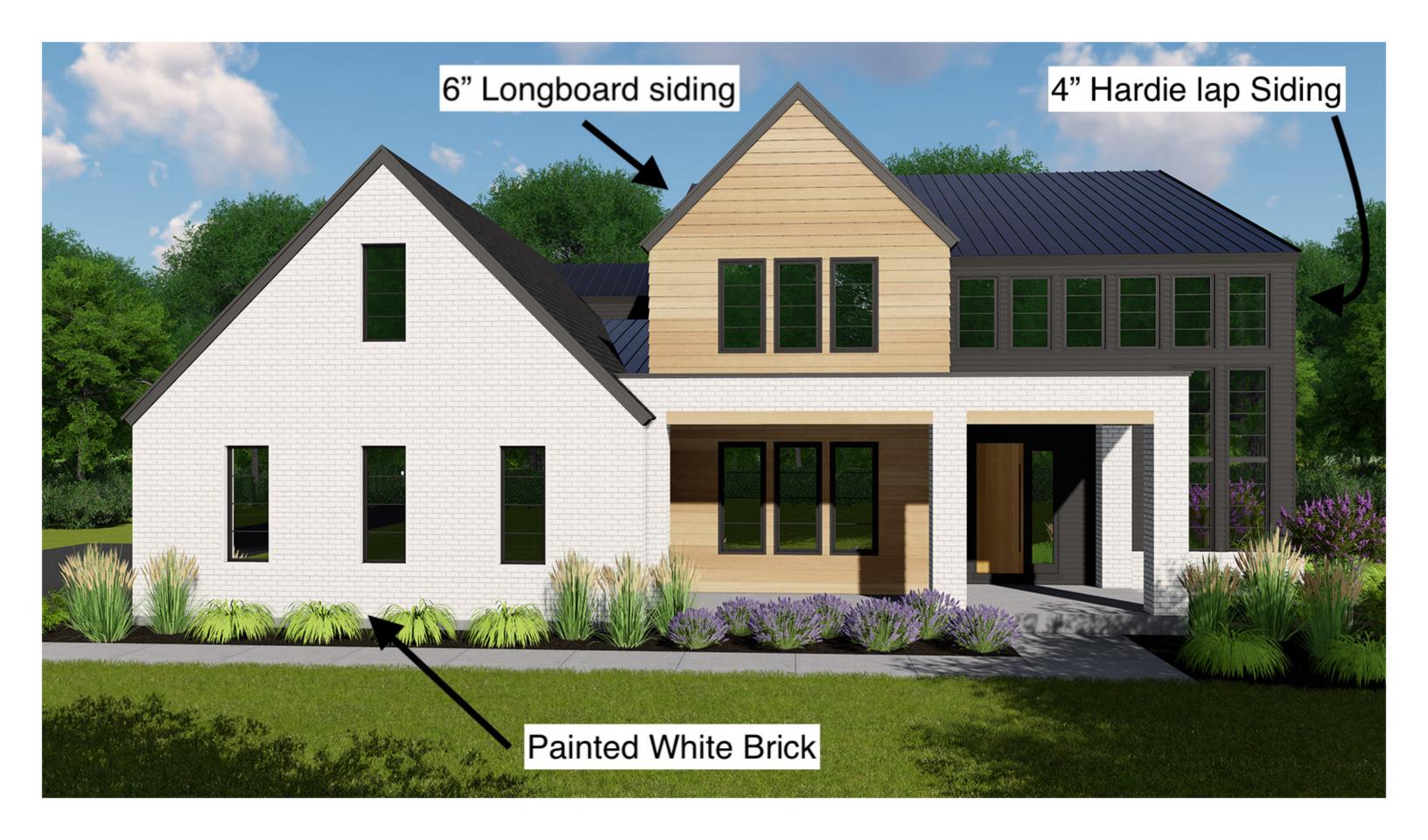


STATE OF ILLINOIS COUNTY OF WILL

Studnicka and Associates, Ltd., an Illinois Land Surveying Corporation does hereby certify that this professional service conforms to the current Illinois standards for boundary survey.

Mokena, IL. December 17, A.D. 2015

License No. 3304 Expires 11/30/16





Application for Plan Commission / Zoning Board of Appeals Review Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following "Standards of Variation." Please attach additional pages as necessary.

- 1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
 - This lot has been on the market for around 2 years without much interest as there have been concerns over the traffic on center rd. The owner is looking to make a large investment into the downtown area as they see this lot has potential.
- 2. That the plight of the owner is due to unique circumstances; and The unique circumstance is that Frankfort would prefer to have the garage doors not visible on the front of the house, by creating a sideloading garage we are required to reach into the setback variance. We pushed the proposed house 5 ft to the north in order to save the line of mature arborvitae trees on the south lot line.
- 3. That the variation, if granted, will not alter the essential character of the locality. The material variance being requested would be consistent with many of the other homes in the downtown area as several homes are mainly consisted of lap siding material with newer homes being that of Hardie material.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional "Standards of Variation."

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out; If a 10' setback was enforced on the north side of the proposed home, this would push the drivewayfurther south. By doing so, the driveway would encroach onto the line of mature arborvitae trees planted along the south lot line. This would result in the arborvitae trees having to be removed and/or damaged.

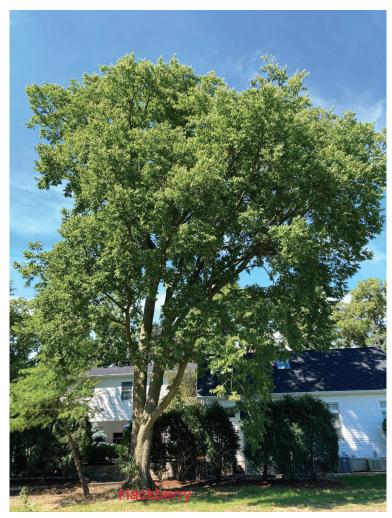
2.	That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification; The home to the North is much larger then proposed home.
3.	That the purpose of the variation is not based exclusively upon a desire to make more money out of the property; This home is 3500 square feet and from a FAR perspective could be much larger but owner choose to do a smaller home so it had a quaint Frankfort feel.
4.	That the alleged difficulty or hardship has not been created by any person presently having an interest in the property; N/A
5.	That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located; N/A
6.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or The functionality of the plan would be completely depreciated as a side load garage is necessary to make the proposed home more architectually appealing.
7.	That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.
	None of this is applicable.













	TREE INVENTORY TABLE						
TAG#	COMMON NAME	DBH					
60	HACKBERRY	42"					
61	PIN OAK	6"					
63	HACKBERRY	8"					
64	HACKBERRY	8"					
65	OAK	6"					
67	HACKBERRY	18"					
74	HACKBERRY	18"					
75	undetermined	6"					
76	HACKBERRY	34"					

NOTE:
TREE INFORMATION PROVIDED BY OTHERS.

- EXISTING STORM SEWER

 - EXISTING SANITARY SEWER

 - EXISTING STORM CATCH BASIN

 - EXISTING SANITARY MANHOLE

- EXISTING SANITARY MANHOLE
- PROPOSED FLOW DIRECTION ARROW

PXXX.X x - PROPOSED SPOT ELEVATIONS

T/F-XXX.XX - SUGGESTED TOP OF FOUNDATION ELEVATION

FBF-XXX.XX — SUGGESTED FINISHED BASEMENT FLOOR ELEVATION

TCXXX.XX X - PROPOSED TOP OF CURB ELEVATIONS

FGF-XXX.XX - SUGGESTED FINISHED GARAGE FLOOR ELEVATION

ABBREVIATIONS
P.U. or P.U.E. - PUBLIC UTILITY EASEMENT
B.S.L. - BUILDING SETBACK LINE
D.E. - DRAINAGE EASEMENT
PCC - PORTLAND CEMENT CONCRETE

EXISTING CONDITIONS ----

LOCATIONS & SIZING PRIOR TO CONSTRUCTION)

RECEIVED

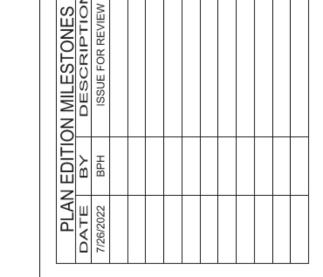
By Christopher Gruba at 1:39 pm, Jul 26, 2022

LAND DESCRIPTION

LOT 3 IN PROPRIETOR'S SUBDIVISION OF A PART OF THE NORTHEAST FRACTION AL QUARTER OF SECTION 28, NORTH AND SOUTH OF THE INDIAN BOUNDARY LINE IN TOWNSHIP NORTH AND IN RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 12, 1966 AS DOCUMENT NO. R66-18426, IN WILL COUNTY, ILLINOIS

NOTES:

- Building setback line (BSL) and all easements shown taken from recorded plat of subdivision. No title search or survey.
- Proposed grades taken from approved Neighborhood Drainage Plan. FGF Finished Garage Floor) elevation and T/F (Top of Foundation) elevation taken from elevations indicated on Neighborhood Drainage Plan.
- 3. Building footprint provided by others, and should be checked prior to construction.
- 4. Building location should be established by measuring from surveyed property lines and checked by measuring distances to opposing property lines. Building setback line should be staked in the field to verify footprint location on the lot.
- Benchmark taken from previous plan/work completed in subdivision and should be verified for tying into grades indicated, such as spot checking top of curb elevations, adjacent foundation elevation, etc. prior to construction.
- No topographic survey of current ground grades or existing improvements in place has been completed and shall be the responsibility of the Owner to verify locations prior to starting construction.
- Any and all off-site disturbed areas are to be restored to existing conditions or better, if necessary.
- 8. Prior to Excavation call Joint Utilities Location Information for Excavations "J.U.L.I.E." 1-800-892-0123
- All proposed top of window wells shall be set at T/F 0.30', unless noted otherwise.
- 10. Side slopes shall be 5:1 or flatter.



IL ENGINEERING
SURVEYING
X & ASSOCIATES

SUI CH GEREAUX & ASSO Design Firm License # 18

M GINGERICH GI Professional Design P. 815-478-9680 ww

ECKED: RSR

SHEET NO.

40

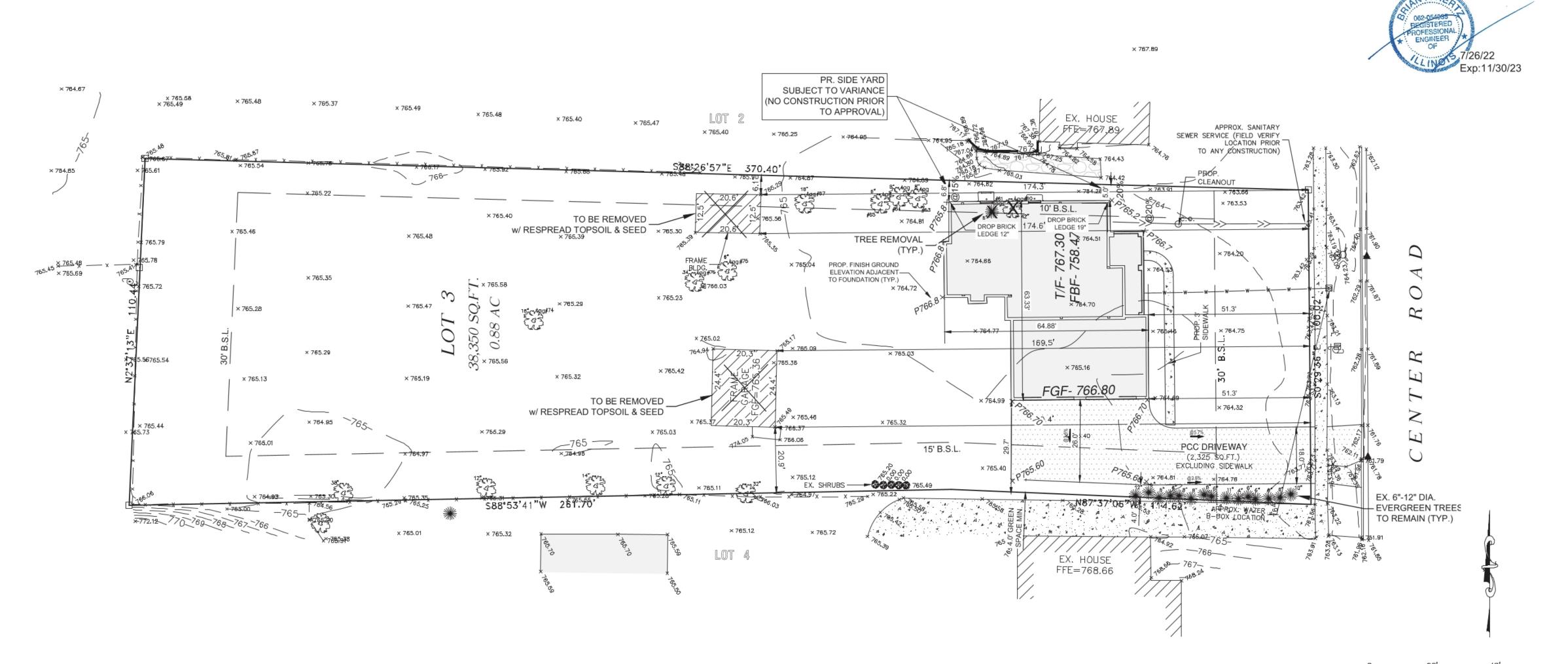
JOB NO. 22-281

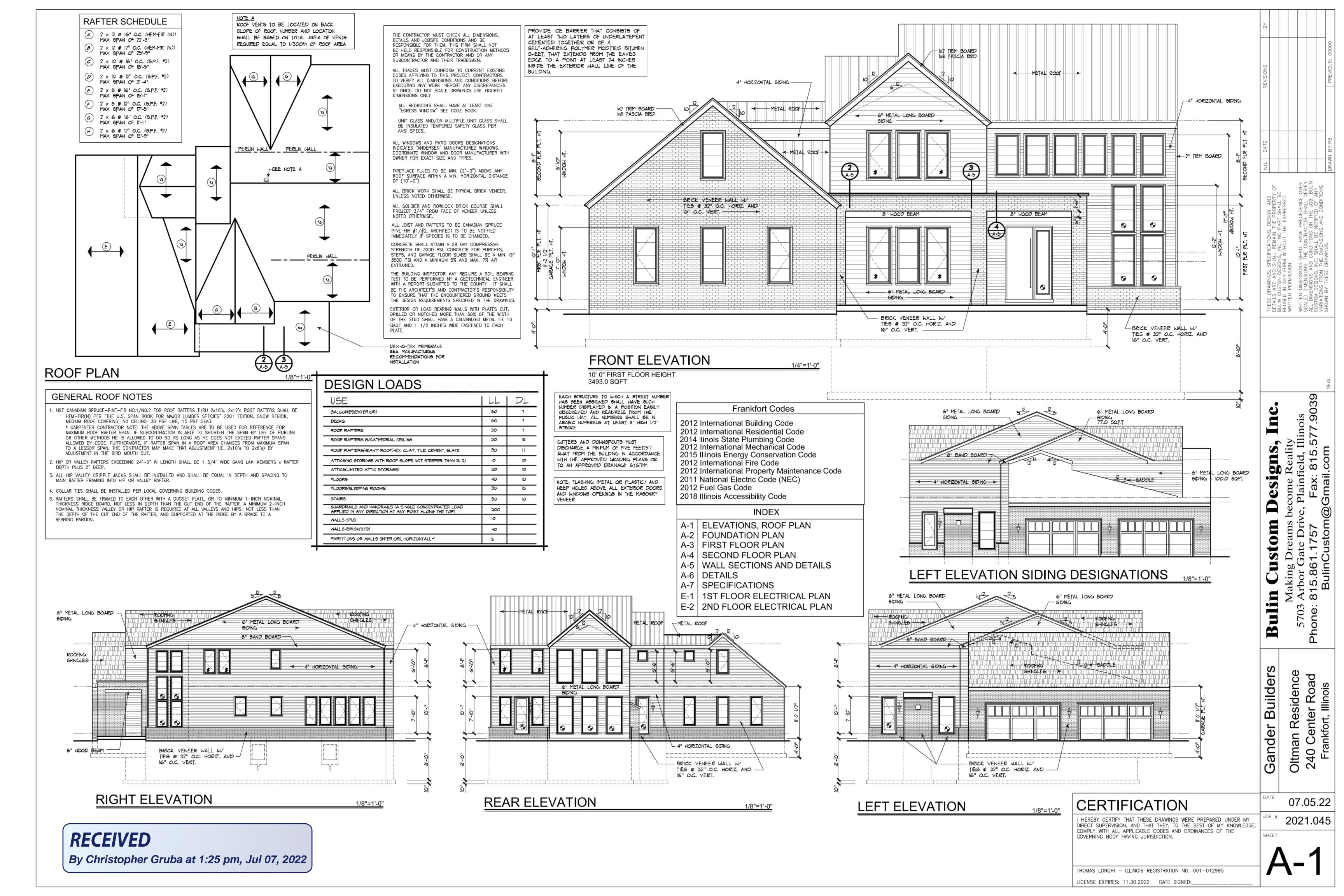
© 2020 M.GINGERICH, GEREAUX & ASSOCIATES

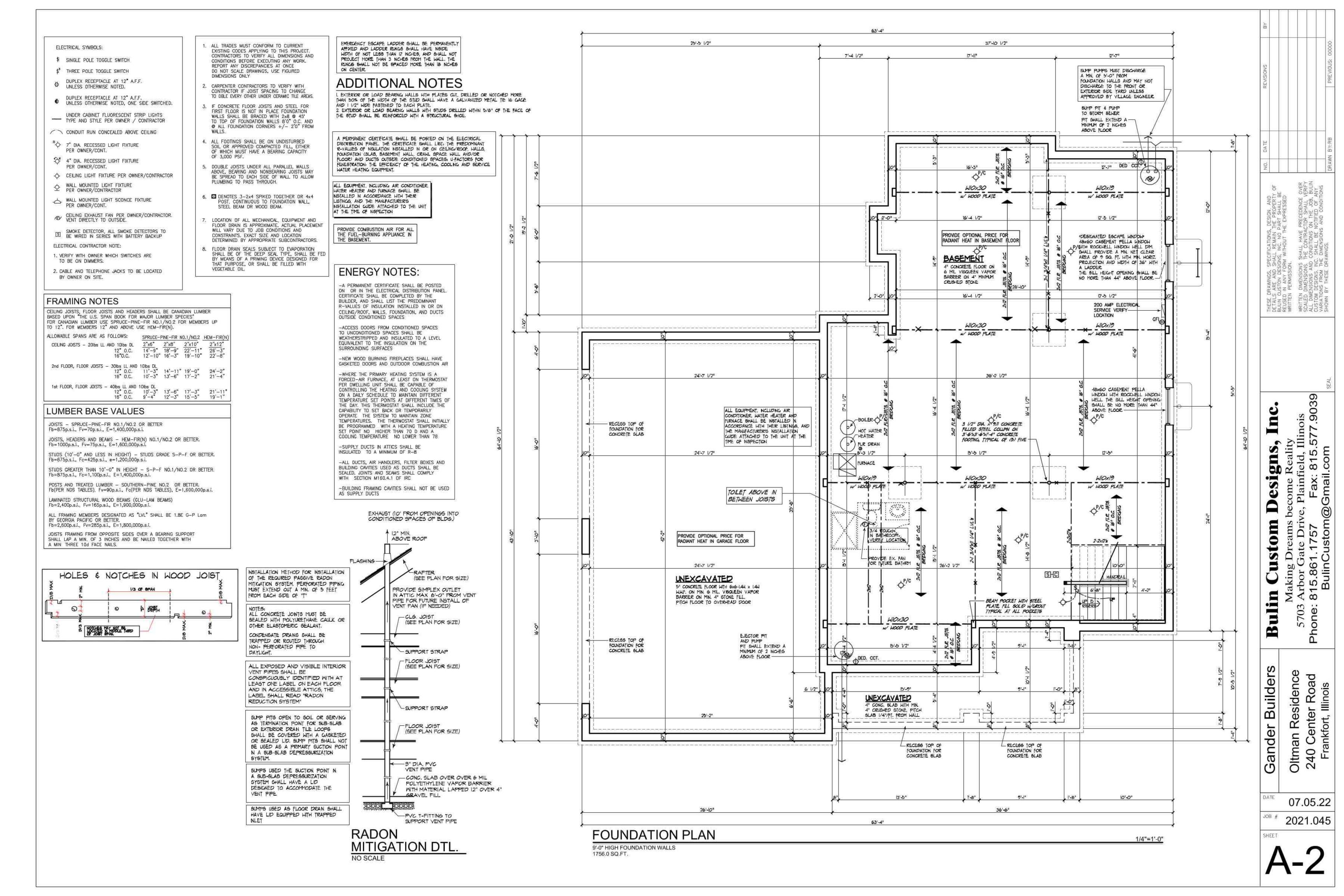
DUE TO THE UNCERTAINTY OF SEASONAL GROUND WATER TABLES AND THE GEOPHYSICAL CONDITIONS AFFECTING GROUND WATER MOVEMENT, M. GINGERICH, GEREAUX & ASSOCIATES TAKES NO RESPONSIBILITY FOR THE MANAGEMENT OF GROUND WATER ASSOCIATED WITH SUB-GRADE CONSTRUCTION. BASEMENTS OR OTHER LIKE FACILITIES CONSTRUCTED BELOW THE FINISHED SURFACE GRADE OF THE PROPERTY ARE AT THE RISK OF THE BUILDER/OWNER

SSB/26/57°T \$70.40°

SSB/26/57







THE CONTRACTOR MUST CHECK ALL DIMENSIONS, DETAILS AND JOBSITE CONDITIONS AND BE RESPONSIBLE FOR THEM. THIS FIRM SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION METHODS OR MEANS BY THE CONTRACTOR AND OR ANY SUBCONTRACTOR AND THEIR TRADESMEN.

ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE, DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY.

ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" SEE CODE BOOK.

UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER ANSI SPECS.

RAILINGS: HANDRAILS HAVING MIN, AND MAX, HEIGHTS OF 34 INCHES AND 38 INCHES, RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAY OF THREE OR MORE RISERS AND SHALL EXTEND 6 INCHES BEYOND THE TOP AND BOTTOM RISERS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS

OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS. HANDRAILS THAT FORM PART OF A GUARDRAIL SHALL BE 34 INCHES MIN. AND 38 INCHES MAX.

THE HAND GRIP PORTION OF THE HANDRAILS SHALL

BE NOT MORE THAN 2 5/8" IN CROSS-SECTIONAL DIMENSION, OR THE SHAPE SHALL PROVIDE AND EQUIVALENT GRIPPING SURFACE. THE HAND GRIPPORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FORM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.

PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36 INCHES IN HEIGHT. HANDRAILS THAT FORM PART OF A GUARDRAIL SHALL BE 36 INCHES MIN. AND 38 INCHES MAX. REQUIRED GUARDRAILS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF AN OBJECT 4 INCHES OR MORE IN DIAMETER.

ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE THE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH A MINIMUM OF 1/2 INCH GYPSUM BOARD

DOUBLE FRAMING MEMBERS AROUND OPENINGS AND BELOW PARALLEL PARTITIONS.

FILES AND FRAMING.

FIRE STOP SOFFITS AND STAIR STRINGERS AT TOPS
AND BOTTOMS WITH APPROVED MATERIALS.

MAINTAIN MINIMUM OF 2 INCH CLEARANCE BETWEEN

FILL CAVITIES BETWEEN FLOORS AND BETWEEN OTHER FIRE SEPARATED ZONES WITH APPROVED FIRE STOPPING MATERIALS.

ALL UNDIMENSIONED WALLS ARE 3 $1/2^*$ UNFINISHED (2x4 STUDS) UNLESS OTHERWISE NOTED.

DOUBLE JOISTS UNDER ALL PARALLEL WALLS ABOVE BEARING AND NONBEARING, JOISTS MAY BE SPREAD TO EACH SIDE OF WALL TO ALLOW PLUMBING TO PASS THROUGH.

☑ DENOTES 3-2×4 SPIKED TOGETHER OR 4×4 POST, CONTINUOUS TO FOUNDATION WALL, STEEL BEAM OR WOOD BEAM.

ALL JOIST AND RAFTERS TO BE CANADIAN SPRUCE PINE FIR #1/#2. ARCHITECT IS TO BE NOTIFIED IMMEDIATELY IF SPECIES IS TO BE CHANGED.

DOORS AND TRIM

ALL INTERIOR DOORS ON FIRST FLOOR SHALL BE 8'-0" SOLID MASONITE 2 PANEL DOORS

ALL BASE BOARD TRM ON FIRST FLOOR SHALL BE 7 1/4" BASE

ALL TRM CASING SHALL BE 4 1/2" CASING

COUNTER TOPS

ALL COUNTER TOPS SHALL BE GRANITE STONE

PELLA WINDOWS WAS USED VERIFY WITH BUILDER ON SIZES BEFORE CONSTRUCTION

NOTE:
CEMENT, FIBER CEMENT OR
GLASS MAT GYPSUM
BACKERS N COMPLIANCE
WITH ASTM C 1288, C 1325
OR C 1178 AND INSTALLED
IN ACCORDANCE WITH
MANUFACTURE'S
RECOMMODATIONS SHALL BE
USED AS BACKERS FOR
HALL TILE IN TUB AND
SHOULER AREAS.

WINDOW BACKING

PROVIDE SOLID BLOCKING AT EACH HINDOH FOR WINDOW TREATMENTS

FRAMING NOTES

CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON "THE U.S. SPAN BOOK FOR MAJOR LUMBER SPECIES"
FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR NO.1/NO.2 FOR MEMBERS UP TO 12". FOR MEMBERS 12" AND ABOVE USE HEM-FIR(N).

ALLOWABLE SPANS ARE AS FOLLOWS: SPRUCE-PINE-FIR NO.1/NO.2 HEM-FIR(N)

CEILING JOISTS - 2DIbs LL AND 10Ibs DL 12" O.C. 14'-9" 18'-9" 22'-11" 26'-3" 16"O.C. 12'-10" 16'-5" 19'-10" 22'-8"

2nd FLOOR, FLOOR JOISTS - 30lbs LL AND 10lbs DL 12" O.C. 11'-3" 14'-11" 19'-0" 24'-2" 16" O.C. 10'-3" 13'-6" 17'-2" 21'-4"

1st FLOOR, FLOOR JOISTS - 40lbs LL AND 10lbs DL 12" O.C. 10'-3" 13'-6" 17'-3" 21'-11" 16" O.C. 9'-4" 12'-3" 15'-5" 19'-1"

LUMBER BASE VALUES

JOISTS - SPRUCE-PINE-FIR NO.1/NO.2 OR BETTER. Fb=875p.s.i., Fv=70p.s.i., E=1,400,000p.s.i.

JOISTS, HEADERS AND BEAMS - HEM-FIR(N) NO.1/NO.2 OR BETTER. Fb=1000p.s.i., Fv=75p.s.i., E=1,600,000p.s.i.

STUDS (10'-0" AND LESS IN HEIGHT) - STUDS GRADE S-P-F OR BETTER.

STUDS GREATER THAN 10'-0" IN HEIGHT - S-P-F NO.1/NO.2 OR BETTER.

Fb=875p.s.i., Fc=1,100p.s.i., E=1,400,000p.s.i.

POSTS AND TREATED LUMBER - SOUTHERN-PINE NO.2 OR BETTER. Fb(PER NDS TABLES), Fv=90p.s.i., Fc(PER NDS TABLES), E=1,600,000p.s.i.

LAMINATED STRUCTURAL WOOD BEAMS (GLU-LAM BEAMS)
Fb=2,400p.s.i., Fv=165p.s.i., E=1,900,000p.s.i.

ALL FRAMING MEMBERS DESIGNATED AS "LVL" SHALL BE 1.8E G-P Lom BY GEORGIA PACIFIC OR BETTER. Fb=2,600p.s.i., Fv=285p.s.i., E=1,800,000p.s.i.

JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MIN. OF 3 INCHES AND BE NAILED TOGETHER WITH A MIN. THREE 10d FACE NAILS.

ENERGY NOTES:

-A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. CERTIFICATE SHALL BE COMPLETED BY THE BUILDER, AND SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION, AND DUCTS OUTSIDE CONDITIONED SPACES

-ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES

-NEW WOOD BURNING FIREPLACES SHALL HAVE GASKETED DOORS AND OUTDOOR COMBUSTION AIR

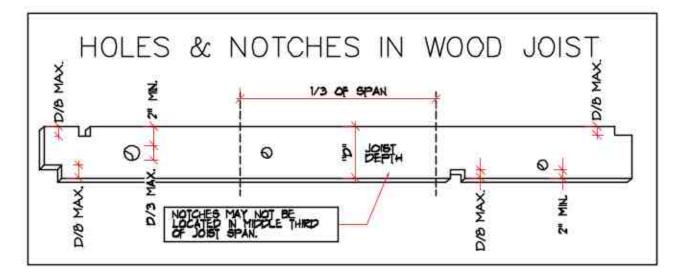
-WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ON THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED WITH A HEATING TEMPERATURE SET POINT NO HIGHER THAN 70 D AND A COOLING TEMPERATURE NO LOWER THAN 78

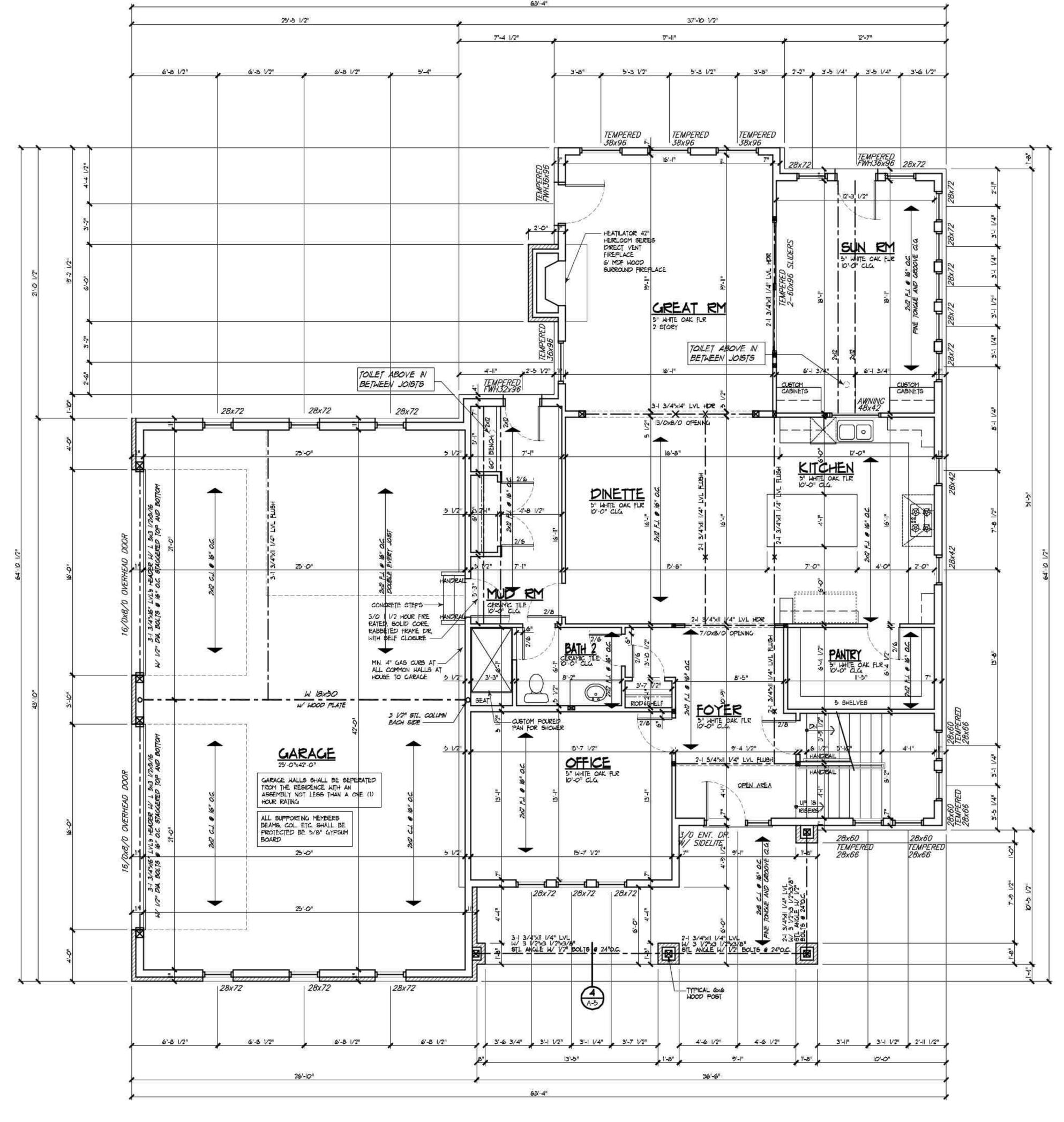
-SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8.

-ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION M160.4.1 OF IRC

-BUILDING FRAMING CAVITIES SHALL NOT BE USED AS SUPPLY DUCTS

STEEL LINTELS FOR MASONRY CLEAR SPAN(MAX) EXTERIOR ANGLES INTERIOR ANGLES 4'-0" L 3 1/2" x 3 1/2" x 5/16" 2 L's 3 1/2" x 3 1/2" x 5/16" 6'-0" L 4" x 3 1/2" x 5/16" 2 L's 4" x 3 1/2" x 5/16" 8'-0" L 5" x 3 1/2" x 5/16" 2 L's 5" x 3 1/2" x 5/16"





FIRST FLOOR PLAN

10'-0" CEILING HEIGHT

1897.0 SQ.FT.

1/4"=1'-0"

A-

AND FRTY FL BE

SSE DE ALLS IN CUISED I TTEN TTEN DIME I DIM

3

5.86 Bulin

Oltman Residence 240 Center Road Frankfort, Illinois

07.05.22

2021.045

Gander Builders

THE CONTRACTOR MUST CHECK ALL DIMENSIONS, DETAILS AND JOBSITE CONDITIONS AND BE RESPONSIBLE FOR THEM. THIS FIRM SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION METHODS OR MEANS BY THE CONTRACTOR AND OR ANY SUBCONTRACTOR AND THEIR TRADESMEN,

ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY.

ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" SEE CODE BOOK.

UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER

RAILINGS: HANDRAILS HAVING MIN. AND MAX. HEIGHTS OF 34 INCHES AND 38 INCHES, RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAY OF THREE OR MORE RISERS AND SHALL EXTEND 6 INCHES BEYOND THE TOP AND BOTTOM RISERS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.

OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS, HANDRAILS THAT FORM PART OF A GUARDRAIL SHALL BE 34 INCHES MIN. AND 38 INCHES MAX.

THE HAND GRIP PORTION OF THE HANDRAILS SHALL BE NOT MORE THAN 2 5/8" IN CROSS-SECTIONAL DIMENSION, OR THE SHAPE SHALL PROVIDE AND EQUIVALENT GRIPPING SURFACE. THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FORM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.

PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36 INCHES IN HEIGHT. HANDRAILS THAT FORM PART OF A GUARDRAIL SHALL BE 36 INCHES MIN. AND 38 INCHES MAX. REQUIRED GUARDRAILS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF AN OBJECT 4 INCHES OR MORE

ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE THE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH A MINIMUM OF 1/2 INCH GYPSUM BOARD,

DOUBLE FRAMING MEMBERS AROUND OPENINGS AND BELOW PARALLEL PARTITIONS.

MAINTAIN MINIMUM OF 2 INCH CLEARANCE BETWEEN FLUES AND FRAMING.

FIRE STOP SOFFITS AND STAIR STRINGERS AT TOPS AND BOTTOMS WITH APPROVED MATERIALS.

FILL CAVITIES BETWEEN FLOORS AND BETWEEN OTHER

STOPPING MATERIALS.

ALL UNDIMENSIONED WALLS ARE 3 1/2" UNFINISHED

FIRE SEPARATED ZONES WITH APPROVED FIRE

(2x4 STUDS) UNLESS OTHERWISE NOTED.

STEEL BEAM OR WOOD BEAM.

DOUBLE JOISTS UNDER ALL PARALLEL WALLS ABOVE BEARING AND NONBEARING, JOISTS MAY BE SPREAD TO EACH SIDE OF WALL TO ALLOW PLUMBING TO

PASS THROUGH.

☑ DENOTES 3-2x4 SPIKED TOGETHER OR 4x4
POST, CONTINUOUS TO FOUNDATION WALL,

ALL JOIST AND RAFTERS TO BE CANADIAN SPRUCE PINE FIR #1/#2. ARCHITECT IS TO BE NOTIFIED IMMEDIATELY IF SPECIES IS TO BE CHANGED.

DOORS AND TRIM

ALL NTERIOR DOORS ON SECOND FLOOR SHALL BE 7'-O" SOLID MASONITE 2 PANEL DOORS

ALL BASE BOARD TRIM ON FRST FLOOR SHALL BE 7 V4" BASE

ALL TRIM CASING SHALL BE 4 1/2" CASING

COUNTER TOPS

ALL COUNTER TOPS SHALL BE CRANITE STONE

PELLA HINDONS WAS USED VERFY WITH BUILDER ON SIZES BEFORE CONSTRUCTION

1596.0 SQ.FT.

NOTE:
CEMENT, FBER CEMENT OR
GLASS MAT GYPSUM
BACKERS IN COMPLIANCE
WITH ASTM C 1288, C 1325
OR C 1178 AND INSTALLED
IN ACCORDANCE WITH
MANUFACTURE'S
RECOMMODATIONS SHALL BE
USED AS BACKERS FOR
WALL TILE IN TUB AND
SHOWER AREAS.

FRAMING NOTES				LIGHT AND VENTILATION SCHEDULE								
CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON "THE U.S. SPAN BOOK FOR MAJOR LUMBER SPECIES" FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR NO.1/NO.2 FOR MEMBERS UP			ROOMS	FLOOR	LIGHT 8%		VENT 4%		MECH.			
				AREA	REQ'D	ACTUAL	REQ'D	ACTUAL	REQ'D	ACTUAL		
FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR NO.1/NO.2 FOR MEMBERS UP TO 12". FOR MEMBERS 12" AND ABOVE USE HEM-FIR(N)				GREAT ROOM	320 0	25.6	96.0	12.8	19.5			
ALLOWABLE SPANS ARE AS FOLLOWS:	SPRUCE-P	INE-FIR N	0.1/NO.2	HEM-FIR(N)	SUNROOM	202.0	16.1	126.0	8.0	19.5		
CEILING JOISTS - 2DIbs LL AND 10lbs DL	2"x6"	2"x8"	2"x10"	2"x12"	DINETTE/KITCHEN	461.0	36.8	41.5	18.4	19.5		
12" 0.0 16"0.C.	14'-9" 12'-10"	18'-9"	22'-11" 19'-10"	26'-3" 22'-8"	OFFICE	204 0	16.3	378	8.1	24 0		
1.6 0.0.	12 - 10	16-3	19-10	22 -8	MASTER SUITE	304.0	24.3	31.2	12.1	19.6		
2nd FLOOR, FLOOR JOISTS - 30lbs LL AND 12" O.C.	10lbs DL 11'-3"	1.42 -1-17	10' 0"	24'-2"	BEDROOM 2	143.0	11.4	20.8	5.7	19.6		
16" O.C.		14°-11" 13°-6"	19 –0 17'–2"	21'-4"	BEDROOM 3	143 0	11.4	20.8	5.7	19 6		
1st FLOOR, FLOOR JOISTS - 40lbs LL AND	10lbe DI				MASTER BATH	177.0					265.5	275CFM
12" O.C.	10'-3"	13'-6"	17'-3"	21'-11"	BATH 2	71.0					106.5	110CFM
16" O.C.	9'-4"	12'-3"	15'-5"	19'-1"	BATH 3	102 0					153.0	175CFM
LUMBER BASE VALUES			BASEMENT = 2%	1756.0	35.1	40.0	35.1	40.0				

LUMBER BASE VALUES

JOISTS - SPRUCE-PINE-FIR NO.1/NO.2 OR BETTER. Fb=875p.s.i., Fv=70p.s.i., E=1,400,000p.s.i.

Fb=2,400p.s.i., Fv=165p.s.i., E=1,900,000p.s.i.

JOISTS, HEADERS AND BEAMS - HEM-FIR(N) NO.1/NO.2 OR BETTER. Fb=1000p.s.i., Fv=75p.s.i., E=1,800,000p.s.i.

STUDS (10'-0" AND LESS IN HEIGHT) - STUDS GRADE S-P-F OR BETTER. Fb=675p.s.i., Fc=425p.s.i., e=1,200,000p.s.i.

STUDS GREATER THAN 10'-0" IN HEIGHT - S-P-F NO.1/NO 2 OR BETTER. Fb=875p.s.i., Fc=1,100p.s.i., E=1,400,000p.s.i.

POSTS AND TREATED LUMBER - SOUTHERN-PINE NO.2 OR BETTER. Fb(PER NDS TABLES), Fv=90p.s.i., Fc(PER NDS TABLES), E=1,600,000p.s.i.

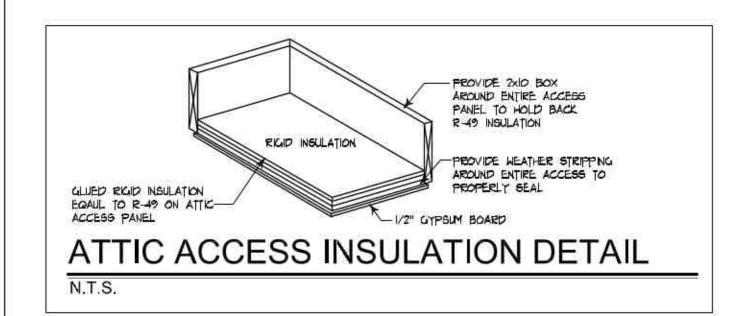
LAMINATED STRUCTURAL WOOD BEAMS (GLU-LAM BEAMS)

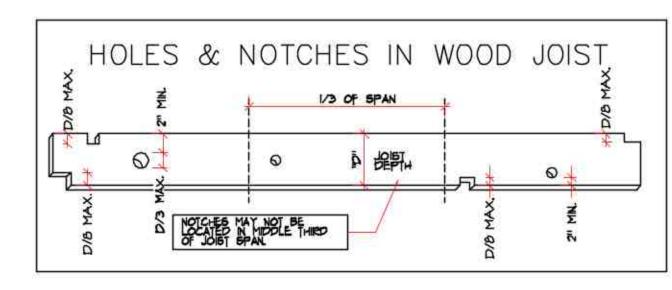
ALL FRAMING MEMBERS DESIGNATED AS "LVL" SHALL BE 1.8E G-P Lam

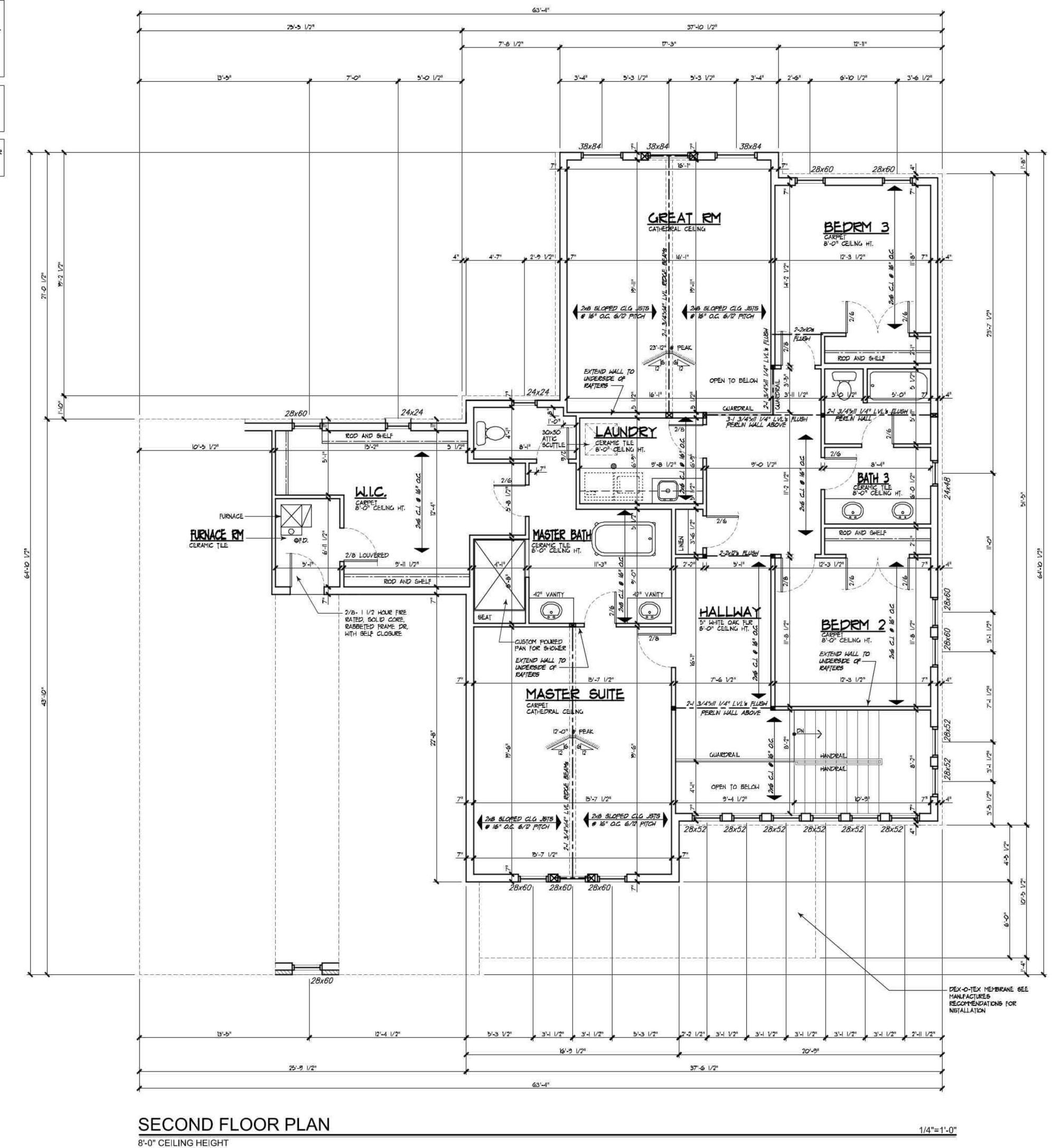
BY GEORGIA PACIFIC OR BETTER. Fb=2,600p.s.i., Fv=285p.s.i., E=1,800,000p.s.i.

JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MIN. OF 3 INCHES AND BE NAILED TOGETHER WITH A MIN. THREE 10d FACE NAILS.

ST	EEL LINTELS FO	OR MASONRY				
CLEAR SPAN(MAX)	EXTERIOR ANGLES	INTERIOR ANGLES				
4"-0"	L 3 1/2" x 3 1/2" x 5/16"	2 L's 3 1/2" x 3 1/2" x 5/16"				
6'-0"	L 4" × 3 1/2" × 5/16"	2 L's 4" x 3 1/2" x 5/16"				
8'-0"	L 5" x 3 1/2" x 5/16"	2 L's 5" x 3 1/2" x 5/16"				







come Re

15.86 Bulin

Oltman Residence 240 Center Road Frankfort, Illinois

07.05.22

2021.045

Gander Builders