



PLAN COMMISSION / ZONING BOARD OF APPEALS AGENDA

**Thursday, August 11, 2022
6:30 P.M.**

**Frankfort Village Hall
432 W. Nebraska Street (Board Room)**

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Minutes of July 14, 2022**
- 4. Public Hearing: 229 N. Locust Street – Norman Variance (Ref #106)**
Public Hearing Request: To permit construction of a house addition with a basement that is 47.5% of the area of the first story whereas 80% is required and a northern side yard setback of 7'6" whereas at least 10' is required with a total of 25' on both sides. (PIN 19-09-21-402-008-0000)
- 5. Public Hearing: 21195 S. La Grange Road – Wild Flower Hair Salon (Ref #108)**
Special Use Permit for Personal Services in the B-4 Office District (PIN: 19-09-21-411-002-0000 and 19-09-21-411-001-0000).
- 6. Workshop: 213 Nebraska Street – Plantz Residence**
Future Public Hearing Request: Remodeling of an existing single-family home for the property located at 213 Nebraska Street, zoned R-2, requiring at least 5 variances. Other: Plat of Subdivision.
(PIN: 19-09-28-204-005-0000)
- 7. Workshop: 25 Carpenter Street – Kerley Residence**
Future Public Hearing Request: First and second-floor additions to a single-family home for the property located at 25 Carpenter Street, zoned R-2, requiring 4 variances. Other: Plat of Subdivision.
(PIN 19-09-21-415-009-0000).
- 8. Public Comments**
- 9. Village Board & Committee Updates**
- 10. Other Business**
- 11. Attendance Confirmation (August 25, 2022)**
- 12. Adjournment**

All applicants are advised to be present when the meeting is called to order. Agenda items are generally reviewed in the order shown on the agenda, however, the Plan Commission/Zoning Board of Appeals reserves the right to amend the agenda and consider items in a different order. The Commission may adjourn its meeting to another day prior to consideration of all agenda items. All persons interested in providing public testimony are encouraged to do so. If you wish to provide public testimony, please come forward to the podium and state your name for the record and address your comments and questions to the Chairperson.



MINUTES

MEETING OF VILLAGE OF FRANKFORT PLAN COMMISSION / ZONING BOARD OF APPEALS

July 14, 2022–VILLAGE ADMINISTRATION BUILDING

432 W. NEBRASKA STREET

Call to Order: Chair Rigoni called the meeting to order at 6:31 PM

Commissioners Present: Chair Maura Rigoni, David Hogan, Jessica Jakubowski, Brian James

Commissioners Absent: Dan Knieriem, Will Markunas, Nichole Schaefer

Staff Present: Director of Community and Economic Development Mike Schwarz, Senior Planner Chris Gruba, Planner Drew Duffin

Elected Officials Present: None

A. Approval of the Minutes from June 23, 2022

Motion (#1): Approval of the minutes, as presented, from June 23, 2022

Motion by: James

Seconded by: Jakubowski

Approved: (3-0, Commissioner Hogan abstained)

Chair Rigoni swore in any members of the public who wished to speak at the meeting.

B. Public Hearing: 324 Center Road, Root Residence

Drew Duffin summarized the staff report.

Chair Rigoni asked the applicant to approach the podium. She asked if the applicant had anything else to add.

James Murray, speaking on behalf of the applicant, stated he was available to answer questions and address concerns the commission had. He continued by noting that the existing siding on the home was done in wood, and the applicant was looking to match that with LP smart siding. Colors would match as well.

Chair Rigoni asked if there were any public comments.

There were none.

Motion (#2): Motion to close the public hearing.

Motion by: Hogan

Seconded by: Jakubowski

Approved: (4-0)

Chair Rigoni asked if the Commission had any other comments or questions.

There were none.

Motion (#3): Recommend that the Village Board approve the request for a variation from Article 6, Section B, Part 2(g)(2) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding on the first floor of an existing home in conjunction with proposed first floor addition and exterior remodeling in the R-2 Single-Family Residential District located at 324 Center Road, in accordance with the submitted plans, public testimony, and Findings of Fact.

Motion by: Jakubowski

Seconded by: Hogan

Approved: (4-0)

Motion (#4): Recommend that the Village Board approve the request for a variation from Article 6, Section B, Part 2(l) of the Village of Frankfort Zoning Ordinance to reduce the requirement that a basement be equal to 80% of the ground floor area of the first story to 60.55% in the R-2 Single-Family Residential District located at 324 Center Road, in accordance with the submitted plans, public testimony, and Findings of Fact.

Motion by: James

Seconded by: Hogan

Approved: (4-0)

Chair Rigoni asked the applicant to contact staff with questions about the next steps for the project.

C. Workshop: 21420 S. Harlem Avenue – Thrift Home and Restoration (The Bridge Teen Center)

Schwarz summarized the staff report.

Chair Rigoni asked the applicant to step forward, and asked if she had anything to add.

Priscilla Steinmetz, the applicant, and Patrick McCarty, the architect, approached the podium.

The architect thanked staff for their help compiling information on the subject property. He explained that he had an engineer out to assess the integrity of the building, who reported that the “shell” was intact. Work would need to be done on the roof, which need

replacing. Additionally, the applicant wants to remove the existing dormers on the building to achieve a more modern-looking building. The applicant also desires to change the windows to be more modern, in particular the windows toward the back of the building, which would have shelving and storage covering them on the interior. The proposal would update the shell of the building and then create interior office, storage, and retail space. The interior would have an open concept on the sales floor. The east side would have the point-of-sale machine, while the west side would be left for offices and storage space, with the sales floor in between. For the exterior layout, the south side of the building would be considered the front. This would leave the north side for drop-off donations, logistics, and employee parking. He stated that the applicant and he were looking to comply with all relevant zoning regulations and to avoid the need for any variations. The applicant wanted to join the center two of the four lots in question into one lot, which would address parking needs for the building. It would also leave the northernmost and southernmost lots for other uses and future development. Finally, the architect stated that he was waiting for information on the status of existing utilities, namely water and sewer, to be sure that they had no issues. He was happy to answer any questions in relation to engineering or architecture, and that the applicant could speak more to the operations and use of the property.

The applicant stated she was grateful for the guidance of staff and the Plan Commission while they strive to make a difference in the community. She explained that the Bridge Teen Center operates out of Orland Park and that the organization has helped over 11,000 Lincoln-Way students over the years. The current location operates a thrift store, and the applicant is now looking to open a second location. The teen center has a job readiness program and the second location would help expand that as well. The center has served many families in Frankfort, so moving to the Village seemed like a logical next step. The job readiness program has helped students from 7th to 12th grade develop job, leadership, and professional skills. Since starting the program, current membership tripled the initial size. Emphasis with the program was placed on helping students who did not feel they had a place they belonged, and giving them a space to be themselves, while growing and learning. The teen center also offers jobs to certain teens, currently 15 teens are employed. The applicant stated that the teen center also has ongoing community service work, which is especially helpful for local high school students who struggle to find places to earn service hours which also promoted individual growth opportunities. The teen center serves 128 communities across the Chicagoland area, and the National Honor Society often connects students with the center for volunteer opportunities. Families also volunteer, not just individual teens. Needless to say, The Bridge Teen Center is flourishing at its current location, and it even serves as a model for teen programming nationwide.

The applicant continued by explaining how they wanted the proposed thrift store to not just feel like a thrift store, but instead to be an aspirational place where students could learn in an environment which felt modern. She stated they were looking to emulate Chip and Joanna Gaines, and Crate and Barrel in the design of the thrift shop. The applicant expressed her intention to promote a clean space that did not feel like a thrift store inside or out. Cameras would be installed to monitor donations. The existing thrift store uses a trailer to store and organize incoming donations and workers regularly organize the donations received and keep the space looking clean. The new location would also serve as a place to run job readiness training events, since the current location was too small.

All profits from the thrift store would be to support The Bridge. The existing store provides the center with approximately 30% of its operating budget, and a second store would allow the non-profit to become more self-sufficient, especially given the state of the economy. The proposed thrift store would store and sell donated items such as furniture and other home goods, to supplement the sale of clothing and antiques at the first location. Plants would also be sold from the thrift store.

Chair Rigoni asked the Commissioners to focus on the big picture of the proposal since the current item was a workshop.

Commissioner Jakubowski asked how donation drop-off would work, and whether it would be open to the public.

The applicant responded that donations would be accepted during retail hours.

Commissioner Jakubowski asked what intake would look like from an operational point of view.

The architect responded that there was only one entrance to the site off of Harlem Avenue. The parking lot to the north of the building would be dedicated to employee parking and donation drop-off. Donations would enter the building from the area on the plans marked as a dock enclosure and from there enter straight into the building. All logistical work would be done on the north side of the building, and the public-facing operations, including parking and entrances, would be on the south side.

Commissioner Jakubowski asked if donations would be accepted during all open hours.

The applicant responded that they would, and that someone would be on duty to bring them inside, to prevent any donations from being damaged. Customers were not supposed to see the back-of-house work being done.

Commissioner Jakubowski asked if sales and donations would happen simultaneously.

The applicant said that they would, but that weather would be a factor in whether donations would be accepted or not. The current location accepts roughly 30 donations per day, but traffic varies depending on the time of day, different seasons, weather conditions. Some donations would be turned away, if they were deemed not sellable, such as unsold items from garage sales. Information on the items the thrift store would not accept is clearly posted and publicly available, and most people abide by those rules. This proposed new location would have twice the space for donations as the current one.

The architect added that the drop-off space could be closed and locked.

The applicant explained that donations would not be accepted in bad weather.

Chair Rigoni asked if there were any comments regarding the retail component of the Special Use.

Commissioner James stated that given what was shown by the Future Land Use Map from the Frankfort Comprehensive Plan, as well as what development exists in the area currently, opening the property to a commercial use is reasonable. Ideally the building's

main entrance would face to the east towards Harlem Avenue, rather than south, but that was not feasible. He wondered if future buildings would be built to match the orientation of the existing building or to face towards Harlem Avenue.

The architect agreed that the orientation of the building was not ideal, and that if the building did not already exist they would build a structure which faced Harlem Avenue, but the applicant had no intention to demolish what was there and rebuild.

Commissioner James noted that the existing shell was originally intended for an office use, which would explain the orientation of the building. He expressed that an important consideration for the future should be whether later developments were built to look consistent with the existing building or in a way appropriate for their use, which would make the existing building stand out.

Chair Rigoni asked whether the site was developed as a Planned Unit Development.

Staff responded it was not.

The architect noted that there were originally plans for four buildings, all oriented the same way. The applicant intended to combine the middle two lots for their thrift store.

Commissioner Hogan asked if the applicant planned to purchase all four lots.

The architect stated that all four lots were being sold together. The applicant wanted to hold on to the other lots for later use or to sell to others in the future.

Staff noted that much of the northernmost lot was a mapped floodplain, which could not be built on.

The architect asked if an unfinished drive aisle at the Walgreens to the north of the property was intended to connect to the proposed thrift store.

Staff responded it was not.

Commissioner Hogan stated that the use was appropriate for the space. It did not seem like there was going to be much development nearby anytime soon, and he was glad that someone was taking an interest in the site. He noted that there were some complexities from a use perspective, but he had no real issue with the proposed use.

Chair Rigoni wondered whether other commercial developments would go that far south along Harlem Avenue. Perhaps the office use should remain across all lots, or blend the retail use with the existing zoning around it. She noted that vehicle access was challenging for the location, and that retail may not be as successful as a result. Therefore, a blend of retail with office uses may be an ideal mix. She noted it was important that there was a clear understanding of the whole development. The proposed thrift store was not like traditional commercial uses, but she wanted to keep the integrity of the office use for the other lots. She stated that she struggled with the proposal since there were still many unanswered questions in regard to the site plan. She wanted to meet the needs of the applicant while also blending with the potential future fabric of the surrounding spaces.

Commissioner Jakubowski noted that the area around the development was largely residential. Turning on or off this road anywhere but an intersection was often a challenge for drivers due to the amount of traffic at peak hours.

The applicant agreed that traffic there was rough.

Chair Rigoni stated that there was not much concern with what was there at the moment, and that she understood the applicant would improve the existing property. She wanted to know how allowing retail in that location would impact the local fabric of the community. She did not know what the intention was behind the initial B-4 Office zoning was, but was happy to see interest in the property regardless.

The architect asked if there was any support for allowing the special use on only the middle lots.

Chair Rigoni asked in response if the applicant wanted the Special Use permit for all four properties.

Staff clarified that per the application, all four parcels were under consideration for the Special Use Permit. However, that could be changed and the lot or lots granted the permit could be made clearer after a resubdivision.

Chair Rigoni stated that her understanding was that the Special Use Permit was for the lot with the existing building, not all four lots. She did not want a Special Use Permit granted for undeveloped land without knowing what would go there in the future. She then asked about how much activity was anticipated at the loading dock marked on the plans.

The architect clarified that it was a three-sided enclosure, not a loading dock, which would provide protection from the elements for items entering and leaving the store.

Commissioner Hogan asked if the proposed dock was similar to one at another location in Orland Park.

The applicant responded she was unsure. There would not be any large trucks entering the site; the space was intended for cars to pull up and load or unload items.

Commissioner James asked what kind of truck would deliver larger items such as furniture.

The architect said a box truck would deliver those items, no large vehicles.

Chair Rigoni asked if the drop-off space was intended for any sort of outdoor storage.

The architect responded it was not.

Chair Rigoni explained she did not want anything to be left outside after being dropped off.

Commissioner Hogan asked if there had been any traffic studies conducted for the site.

Chair Rigoni noted that Cook County has jurisdiction over Harlem Avenue.

The architect responded that no traffic study had been done.

Commissioner Hogan encouraged the applicant to have a traffic study done to get a sense of what kind of infrastructure would be needed and what was there already. He reiterated that granting a Special Use Permit to fewer lots was more agreeable than for all four lots. It is possible that another party may come along and look to also have a non-traditional retail space, but the main concern is with how operations would work, how traffic would flow, whether the use and design match the character of the neighborhood, and whether the space would benefit the operation of a thrift store. He also stated she would like to see landscaping in the area where the screening fence was proposed.

Chair Rigoni added that the Plan Commission typically looks for landscaping in areas like the one under consideration, and that fences were usually reserved for areas with more intense uses.

The architect responded that he had not put much work into the landscaping just yet. The limiting factor for landscape screening was the utility easement located near the rear property line.

Chair Rigoni stated that there was space for landscaping.

The architect agreed that there was space for landscaping and clarified he was just trying to manage expectations.

Commissioner Jakubowski suggested a wrought iron-style aluminum fencing in lieu of the proposed white, opaque PVC fencing.

Commissioner Hogan asked if the applicant had spoken with the neighbors about the proposal.

The architect responded that the sale of the property was not finalized yet.

The applicant added that The Bridge was trying to be fiscally smart, and would not buy the property if they would not be granted the Special Use Permit they applied for.

Chair Rigoni asked about the intention behind installing the fence along the rear property line.

The architect responded that the main intention for the fence was for screening to give the neighbors more privacy.

Chair Rigoni expressed that she would like to see more passive screening, such as landscaping, rather than just a fence.

The applicant asked whether the Plan Commission was seeking old trees and mature landscaping to screen the property.

Chair Rigoni responded that the Village had experience using landscaping to screen properties effectively, and that landscaping was preferable to a fence.

The applicant asked whether other properties incorporated both fencing and landscaping.

Chair Rigoni responded that other properties had installed both landscaping and fencing, and stated that the fencing was commonly faux wrought iron.

Commissioner Jakubowski stated that the Homeowner's Association of the nearby neighborhood may have some concerns.

Chair Rigoni asked whether the width of drive aisle on the west side of the building was currently 15 feet or would be reduced to 15 feet.

The architect stated that the drive aisle was currently 15 feet, but it would not be used to allow traffic to flow from the south to the north side of the building, or vice versa.

Chair Rigoni asked about the width of the drive aisles on the south side of the building.

The architect responded that the drive aisles were 20 feet.

Chair Rigoni remarked that typically 24 feet were required for the Fire Department.

Staff clarified that 24 feet is required for drive-aisles with parking on both sides, but 20 feet is sufficient for access and movement.

Chair Rigoni asked whether the pavement for the parking lot would just stop without a curb at its end.

The architect said that it would and that the decision to design it that way was largely a cost consideration. He noted there was enough space for vehicles to turn around via a three-point-turn, but no drive aisles would be designated for continuous flow.

Chair Rigoni stated that the applicant would need to consider how the proposed trash enclosure would impact vehicle flow on the north side of the property.

Staff mentioned that there was not a lot of buildable area available on the north side of the property.

Chair Rigoni agreed, and noted that the Plan Commission would need clarity on vehicle flow through the site to help them understand how the paved area would be laid out and allow for access to the building and space to maneuver. She then moved the discussion to the proposed architectural changes, and asked the applicant if they were going to keep the existing color of the brick.

The architect said they were not looking to keep that color, and instead change the existing red brick façade's color to an off-white.

Commissioner Jakubowski asked if there would be any technical issues with changing the color of the façade.

The architect responded there would not be, and that the applicant was intending to update the building for a more modern look.

Chair Rigoni asked what changes would be made to the roof material.

The architect said they would use darker shingles to contrast with the lighter-colored walls. In addition, the windows would be single-pane with no muntins.

Chair Rigoni stated that the proposed design did not match with the architecture of the nearby houses, which was a concern.

Commissioner Jakubowski noted that nearby commercial developments were designed to look more traditional and less modern, which was also true for the abutting residential neighborhood. The current structure matches better with the local fabric than the proposed design, which made deviation a concern. Another concern was with the covered windows on the west side of the proposed design. The renderings looked like the windows were just boarded up. She requested more detail on the design of the window covers.

Commissioner James noted that there were examples of buildings with similar designs appearing in the downtown area. He was unsure whether future nearby B-4 developments would want to match the proposed style.

The applicant noted that the proposed designs drew inspiration from Downtown Frankfort.

Chair Rigoni said that while she understood wanting to draw inspiration from local buildings, the look and feel of Downtown Frankfort was unique. Additionally, the proposed building was not in or near downtown, so nearby architecture was more important to consider and draw inspiration from. By changing the building from office use to retail use, the Plan Commission and the applicant would be changing the dynamic of the area around the property. She wondered if such a change would set a pattern for future development, and was not sure. She noted that while the proposed thrift shop was a form of retail, it was different from more traditional retail uses.

Commissioner Hogan stated that, on the other hand, denying a Special Use Permit may result in leaving the property vacant for the foreseeable future, similar to the past 30 years.

Chair Rigoni agreed, and stated she was unsure about what to do.

Staff noted that the existing structure was built in the Federalist style. Staff also noted that with the floodplain on the northern end of the property, there might only be one or two additional buildings on the property, so the number of future buildings that would have to either match or deviate from the current proposal was small.

Discussion continued about how the floodplain would impact the future development of the site.

Chair Rigoni said she wanted to make sure the design of the proposed building matched the fabric of the nearby neighborhood. It was also important to know what buildable area would be left over after the lots were resubdivided. Lastly, to make sure that the Special Use Permit, if granted, would only apply to the existing building, and not to the undeveloped lots as well.

Staff explained that the next steps for the project would include a resubdivision, which would allow for the Special Use Permit to be more specifically applied to the building and not include the adjacent undeveloped lots.

Commissioner Hogan also noted that additional detail from the applicant regarding the building renderings and proposed landscaping would also be beneficial to the Plan Commission. He suggested the applicant consider different designs for the covered windows.

Staff suggested using tinted panes to allow future uses to modify the windows in case they wished to use them as windows.

Chair Rigoni said she appreciated the design considerations which were present in the submitted materials. The Plan Commission was looking for clarity now to avoid confusion on design elements later.

Staff asked if the members of the Plan Commission were alright with the proposed modifications to the roof.

The architect explained that dormers and other decorative elements of the roof were being taken out because they had deteriorated since construction.

Staff asked the applicant if they felt that they had enough clarity on the Plan Commission's concerns with visuals and aesthetics.

The architect stated that they wanted to change the roof to look cleaner. What existed currently was a combination of non-essential utility and decorative elements which were never completed.

Chair Rigoni asked where the mechanical units would be located if the rooftop utility elements were removed.

The architect responded that those parts were not designed yet, but were planned to be located on the ground in the rear of the building.

Chair Rigoni noted that may be a future concern for the Plan Commission as well, depending on what the next round of drawings showed. The Plan Commission wanted to avoid an industrial look.

Commissioner Jakubowski asked that the applicant have more detailed renderings for the next time, since what was submitted currently had a big box store look. She said she would like some design changes so the building better matched the architecture of the nearby homes.

The applicant asked for the Plan Commission to clarify whether they wanted the brick to remain or if they were okay with the brick being painted over.

Chair Rigoni stated she was looking for a balance between nearby architecture and what the applicant was looking to do.

Staff added that the Federalist style of architecture was characterized by red brick, dark shingles, and roof dormers. Staff then asked the Plan Commission if they were alright with moving away from that design somewhat.

Chair Rigoni responded that she was, depending on what the next set of submitted designs showed.

Commissioner Hogan said the ground-level elevations showed a long, empty roofline, and that he would like to see changes to it to make it less boring.

D. Workshop: 10235 W. Lincoln Highway – Opa! Addition

Gruba summarized the case.

Chair Rigoni asked the applicant to approach the podium.

Steve Francis, the architect for the project, approached the podium. He stated that they were looking to enclose the patio so they could provide additional seating during the winter or other periods of inclement weather. The addition would match with the existing materials. The existing wall sign would move forward and remain in relatively the same location: on the gable facing Lincoln Highway. There would also be some minor changes to the exterior brickwork to accommodate the larger changes.

Chair Rigoni asked the members of the Plan Commission if they had any questions or comments about the act of enclosing the patio space.

Commissioner Hogan agreed that the restaurant needed more seating and asked if more seats would be added within the existing outdoor patio footprint.

The architect responded that the reason for the addition was to keep existing space available despite weather conditions, and that the overall amount of seating within the patio footprint would not increase beyond what it is today.

Commissioner James agreed that the addition made sense. He saw no problem with the use.

Commissioner Hogan asked if there would be any changes to square footage or if the existing exterior wall would be removed.

The architect responded there would be no change to square footage and the current exterior wall would remain.

Commissioner Jakubowski asked whether there would be four additional tables on the proposed outdoor deck area.

The architect said there would be four new tables.

Chair Rigoni asked if the proposed enclosure met the setback requirements from Route 30.

Staff responded they were unsure, but believed they did.

The architect said he would verify that the enclosure did.

Staff noted that the setback from Route 30 could be granted an exception as part of the Major PUD Change.

Chair Rigoni explained that Lincoln Highway had unique setbacks, and that the setback should be met. She also expressed concern over the issue of parking. She noted that the owner of the former Simply Smokin' restaurant space met with the Plan Commission recently to reopen the space as a restaurant with modifications and the Plan Commission insisted that there should be no increase in seating compared to what existed currently. The proposed enclosure and new patio area for Opa would make the parking problem at that location worse. Other uses have been turned down because of this issue in the past. Even though the proposed increase was small, it would be hard to approve the seating. Her only issue with the enclosure was with parking, since it would become a year-round challenge rather than a seasonal one. (I don't know what she was getting at here)

Commissioner James asked if it was possible to consider the building enclosure and new outdoor patio separately.

Commissioner Hogan asked staff how many additional spaces would be required for the new seating.

Staff responded that three additional spaces would be required, per the Zoning Ordinance.

Chair Rigoni stated that the main problem was the changing availability of parking spaces throughout the year.

The applicant stated that the restaurant was busiest when most of the other uses in the PUD were closed.

Chair Rigoni responded that the restaurant opened at 11:00 A.M., while the offices were also open.

The applicant agreed, but said that the majority of his business came when the restaurant was the only one using the lot.

Chair Rigoni agreed, but noted that it was always possible for the restaurant to be busy while the offices were open and sharing the existing parking, and so wanted to anticipate that situation. She asked the Commission for comments regarding the architecture.

Commissioner Hogan noted that he had no issue with the proposed architecture, but that the main issue at this site was parking. The Plan Commission had heated discussions about parking concerns in this development in the past, most recently regarding the vacant building to the east.

The applicant asked if this discussion was taking place as a result of the additional tables.

Commissioner Hogan responded that the discussion was taking place because the development which included the restaurant currently did not meet the code requirements.

Chair Rigoni added that in the past, the Plan Commission had not considered parking when discussing outdoor seating spaces, but that the enclosure of the outdoor seating meant that parking became a consideration.

Commissioner Jakubowski noted that there were options to make outdoor seating viable during the winter months that did not involve enclosing spaces, and that they would also result in parking challenges.

Staff noted that regarding the front yard setback of the building, the proposed building addition would require an exception from the regulation as part of the request for a Major Change to the Planned Unit Development. The existing 150-foot front yard setback regulation was adopted in 2002, which was after the building was built, and therefore made the existing structure legally nonconforming.

Chair Rigoni recalled that the setback regulation in question was put in place to allow for Lincoln Highway to be expanded in the future. She asked if the other members of the Plan Commission were willing to move forward.

Commissioner Hogan said that he was, but that parking needed to be addressed.

Chair Rigoni asked the applicant if there was an architectural reason for the change in materials under the front gable, particularly for the proposed cement paneling within the pediment.

The architect responded there was, but that changing the proposed design to match the existing brick facade was not a problem.

Chair Rigoni stated her preference for brick, since the proposed materials do not age well, as seen on other properties in the Village.

E. Public Comments

There were none.

F. Village Board & Committee Updates

Schwarz noted that the following matters that previously came before the PC/ZBA were approved by the Village Board at its meeting on July 5:

- Chase Bank Service/Utility Areas Variance at 20810 S. La Grange Road – the ordinance was approved.

In addition, at the July 13 meeting of the Committee-of-the-Whole, staff was authorized to research and draft regulations for electric vehicle charging stations. Schwarz noted that some charging stations already existed in the Village, but there were no regulations for them. Certain designs for charging stations included advertisement components which do not comply with the Village's Sign Ordinance. Some preliminary research had been done, but the Plan Commission should expect draft regulations to be forthcoming.

Commissioner Hogan noted that electric vehicle charging was cheap, so it was important to be ahead of the curve.

Chair Rigoni noted that there should be considerations for how parking lots are set up with different kinds of spaces as electric vehicles become a larger and larger share of automobiles on the road. Especially with smaller parking lots.

G. Other Business

There was no other business.

H. Attendance Confirmation (July 28th, 2022)

Chair Rigoni asked the Commissioners to notify staff if they will not be in attendance on July 28th, and to respond to staff should they reach out.

Motion (#5): Adjournment 8:44 P.M.

Motion by: James Seconded by: Jakubowski

Unanimously approved by voice vote.

Approved July 28th, 2022

As Presented_____ As Amended_____

_____/s/ Maura Rigoni, Chair

_____/s/ Secretary

Project: Norman Variances
Meeting Type: Public Hearing
Request: 2 Variances for addition to existing single-family home
Location: 229 Locust Street
Applicant: Cheryl Miller
Prop. Owner: Margaret Norman
Representative: Gabriel Garcia c/o Ideal Custom Designs, Inc.

Site Details

Lot Size: 12,000 sq. ft.
PIN(s): 19-09-21-402-008-0000
Existing Zoning: R-2
Proposed Zoning: N/A
Buildings / Lots: 1 house w/ attached garage
Existing house: 1,898 sq. ft.
Proposed house: 2,826 sq. ft.

Figure 1. Location Map



Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Residential	Single-Family	R-2
North	Residential	Single-Family	R-2
South	Residential	Single-Family	R-2
East	Residential	Single-Family	R-2
West	Residential	Single-Family	R-2

Project Summary

The applicant, Cheryl Miller, seeks to add a 928 square-foot rear addition to her mother's home. The existing house is 1,898 square feet, including the garage, resulting in a gross floor area of 2,826 square feet.

The proposed building addition would require two variances: 1) to permit a reduced side yard setback and, 2) to permit an undersized basement. The house is currently existing, non-conforming regarding the side yard setbacks. The Zoning Ordinance requires at least 10' on each side, with a total of 25' on both sides. The house is set back 11' 5½" from the south side property and 7' 6" from the north side property line. The proposed addition would be added along the entire back end of the house, extended straight back. The total of both side yard setbacks is 18' 11½" (7' 6" + 11' 5½"), whereas 25' is required, resulting in a deficiency of 6' ½".

The Zoning Ordinance requires that house basements are at least 80% of the area of the footprint of the house, not including the footprint area of an attached garage. The current basement is 1,133 square feet, which is 87.3% of the area of the 1st floor. The 928 square foot house addition would not include a new basement beneath it. After the house addition, the existing basement would amount to 50.9% of the area of the footprint of the house, requiring a variance. The public hearing notice stated that the basement would be 47.5% of the area of the footprint of the house, but this was based on incorrect data. Since the actual variance request is *less than* the amount in the public hearing notice, the PC-ZBA may still act on the variance request.

Variances summarized:

Variance Request	Code Requirement	Proposed
House side yard setback	10', total 25' both sides (deficient by 6' ½")	7' 6" north, 11' 5½" south
Basement area	80% of 1 st floor area (not including garage)	50.9%

Attachments

- Location Maps, prepared by staff (VOF GIS) scales 1:2,000 and 1:750
- Plat of Survey of existing site, prepared by Studnicka and Associates, Ltd. dated 3/10/22
- Site Plans, Building Elevations and Floorplans, prepared by Ideal Designs, received by staff 8/3/22
- Variance findings of fact, submitted by applicant

Analysis

Staff offers the following points for discussion:

1. There are no trees in the rear yard of the property that would be impacted by the building addition.
2. The R-2 zone district requires a minimum lot size of 15,000 square feet, 100' width and 150' depth. The existing lot is 12,000 square feet in area, 80' wide and 150' deep and is therefore non-conforming regarding lot size and width.
3. The Zoning Ordinance requires that all houses in the R-2 zone district have the 1st floor entirely constructed of masonry. The existing house is constructed of brick siding on all sides and the proposed addition will also have brick siding, meeting this requirement.
4. The Zoning Ordinance requires that the minimum gross floor area of a one-story dwelling in the R-2 district be at least 2,400 square feet. The existing house has a gross floor area of 1,898 square feet, including the garage and is considered "existing, non-conforming". The proposed house addition will result in a gross floor area of 2,826 square feet, bringing the house into compliance with minimum gross floor area.
5. The Zoning Ordinance permits a maximum lot coverage of 25% for one-story homes in the R-2 zone district. The house and rear yard shed currently amount to a 16.8% lot coverage. The property, after the proposed house addition, will amount to a 24.5% lot coverage, complying with this requirement.
6. The Zoning Ordinance permits a maximum impervious lot coverage of 40% in the R-2 zone district. The property, after the proposed house addition, will amount to a 37.3% lot coverage, complying with this requirement.
7. The Zoning Ordinance was amended in April 2013 (Ordinance No. 2839) to require a minimum area for basements (80% of the first- floor area not including garages). It is unclear if this requirement was intended to be applied to house additions or if it was only intended for new construction. To be conservative, staff has applied it to both scenarios. However, we believe that in the future, it may be reasonable to only apply the basement area requirement to house additions where the proposed first floor area exceeds 50% of the existing first floor area, not including the garage. Such an approach would require a future text amendment to the Zoning Ordinance and might be a compromise with any suggested approach that the requirement should only apply to new construction and not to additions.

Affirmative Motions

1. Recommend the Village Board approve the variance from Article 6, Section B, Part 1 of the Village of Frankfort Zoning Ordinance to permit a north side yard setback of 7' 6", whereas at least 10' is required with a total of 25' on both sides, resulting in a deficiency of 6' ½", for the property located at 229 Locust Street, in accordance with the reviewed plans, public testimony and Findings of Fact.
2. Recommend the Village Board approve a variance from Article 6, Section B, Part 2(l) of the Village of Frankfort Zoning Ordinance to permit the construction of a basement that is 50.9% of the area of the ground floor of the house whereas 80% is required, for the property located at 229 Locust Street in accordance with the reviewed plans, public testimony, and Findings of Fact.

229 N. Locust - Home Addition (variances)



0 125 250 500 Feet

229 N. Locust - Home Addition (variances)



RECEIVED

By Christopher Gruba at 8:21 am, Jul 19, 2022



Residential
Commercial
ALTA

PLAT OF SURVEY

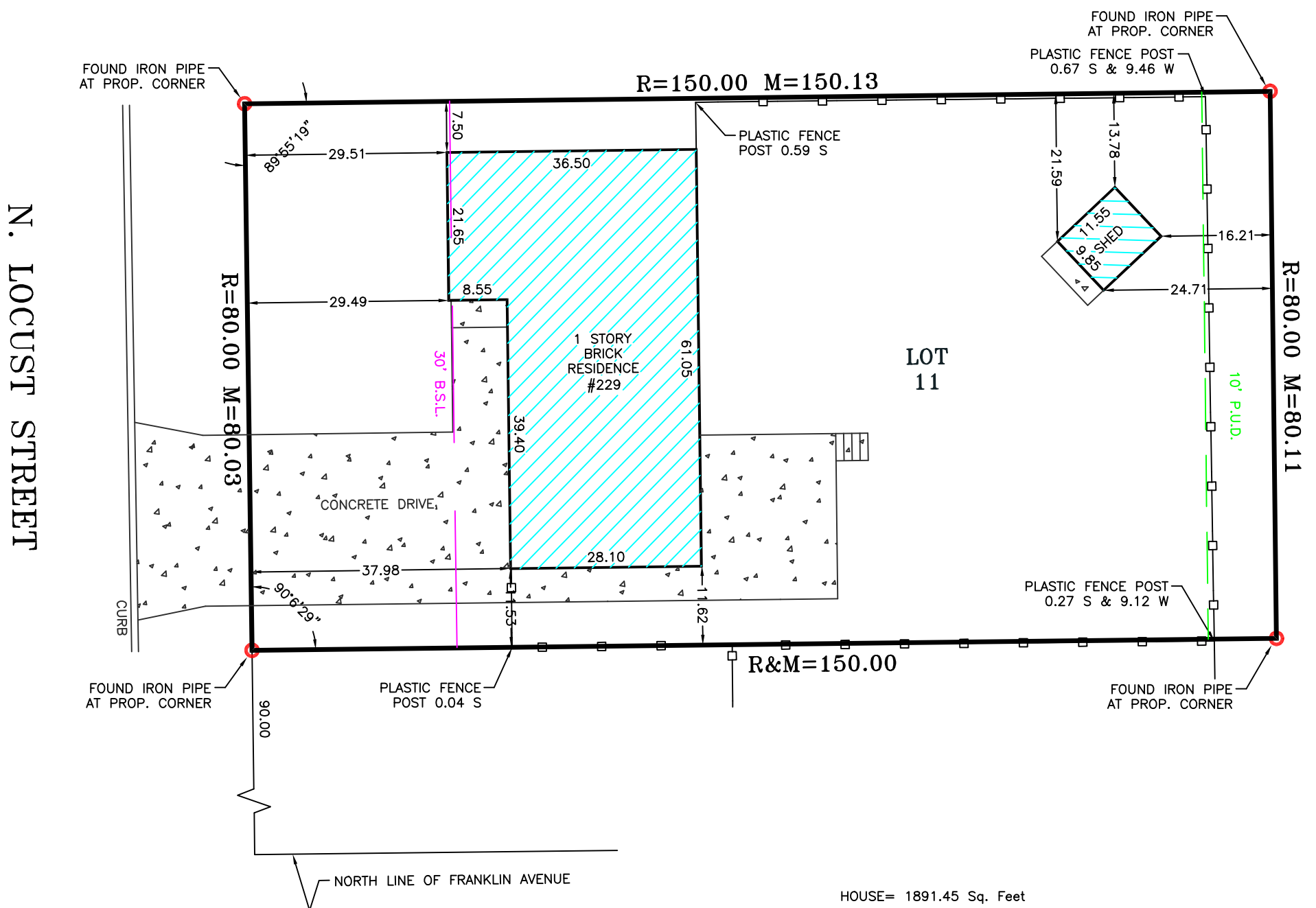
Studnicka and Associates, Ltd.
studnicka2000@gmail.com

Topographical
Condominium
Site Plans

Tel. 815 485-0445
Fax 815 485-0528

17901 Haas Road
Mokena, Illinois 60448

LOT 11 IN BLOCK 3 IN ARTHUR T. MCINTOSH AND COMPANY'S LINCOLN MEADOWS, A SUBDIVISION OF THE NORTHWEST $\frac{1}{4}$ OF THE SOUTHEAST $\frac{1}{4}$ OF SECTION 21, IN TOWNSHIP 35 NORTH AND IN RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 16, 1957, AS DOCUMENT NUMBER 839447, IN WILL COUNTY, ILLINOIS.



HOUSE= 1891.45 Sq. Feet
SHED = 113.77 Sq. Feet
TOTAL= 2005.22 Sq. Feet

LOT= 12016.06 Sq. Feet
16.7% OF THE LOT

Scale: 1" = 20 feet

Distances are marked in feet and decimals.

Ordered by: Cheryl Miller

Order No.: 22-2-161

Compare all points before building by same and at once report any difference.
For building lines, restrictions, or easements not shown hereon, refer to abstract, deed or ordinance.

Field work completed: 3/10/22

Drawn by: J.G.S.

Proofed by: T.S.

Design Firm Registration # 184-002791

STATE OF ILLINOIS } ss
COUNTY OF WILL



Studnicka and Associates, Ltd., an Illinois Land Surveying Corporation does hereby certify that this professional service conforms to the current Illinois standards for boundary survey.

Mokena, IL. March 11, A.D. 2022

by

License No. 3304 Expires 11/30/22

VILLAGE OF

FRANKFORT

INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following "Standards of Variation." Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

The property can yield a reasonable return, but it is not functioning to today's modern living.

2. That the plight of the owner is due to unique circumstances; and

Yes the family relocated to mother's home due to grandmother passing away, so that their mother would not be alone. Due to these circumstances, the hardship is that the home is too small (3 bedroom, 1 bath) for the family of 5.

3. That the variation, if granted, will not alter the essential character of the locality.

No, it will not alter it. It will contribute to the character of the locality.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional "Standards of Variation."

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

The strick letter could not be met, regardless, without a variance to meet zoning code.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

No, not at all.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

Not at all, the existing home is 3 bedroom, 1 bath and too small for our family of 5.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

No, it has not.

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

No, it will not.

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

We feel it would not, it would appreciate the value of the neighborhood.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

Not at all.

DESIGN CRITERIA		
GROUND SNOW LOAD	30 LB/FT ²	
WIND DESIGN	90 MPH	
SEISMIC DESIGN CATEGORY	B	
SUBJECT TO DAMAGE FROM:	WEATHERING	SEVERE
	FROST LINE DEPTH	42"
	TERMITE	MODERATE TO SEVERE
WINTER DESIGN TEMPERATURE	-4°F, 97 1/2%	
SUMMER DESIGN TEMPERATURE	89°F, DRY BULB, 2 1/2%	
	76°F, DRY BULB, 2 1/2%	
ICE BARRIER UNDERLAYMENT	REQUIRED	
FLOOD HAZARDS	FIRM # 170214 PANELS 0606H-0609H 12/16/2004	
AIR FREEZING INDEX	1543° (F-DAYS)	
ANNUAL MEAN TEMPERATURE	49.4°F	
HEATING DEGREE DAYS (HDD)	6,155	
COOLING DEGREE DAYS (CDD)	942	
CLIMATE ZONE	5A	
INDOOR DESIGN CONDITIONS	MAX. 72°F - HEATING MAX. 75°F - COOLING	
100 - YEAR HOURLY RAINFALL RATE	4"	

DESIGN LOADS		
USE	LIVE LOAD	DEAD LOAD
BALCONIES(EXTERIOR)	100 psf	7
DECKS	100 psf	7
ROOF LIVE LOAD	30 psf	10
ROOF RAFTERS	30 psf	10
ROOF RAFTERS W/ CATHEDRAL CEILING	30 psf	15
ROOF RAFTERS (HEAVY ROOF)-EX. CLAY, TILE, CEMENT, SLATE	30 psf	17
ATTICS (NO STORAGE WITH ROOF SLOPE NOT STEEPER THAN 3:12)	10 psf	10
ATTICS(LIMITED ATTIC STORAGE)	20 psf	10
FLOORS (EXCEPT SLEEPING ROOMS)	40 psf	10
FLOORS (SLEEPING ROOMS)	30 psf	10
STAIRS	40 psf	10
GUARDRAILS AND HANDRAILS (A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP)	200 psf	
WALLS-STUD	5 psf	
WALLS-BRICK(STD)	40 psf	
PARTITIONS OR WALLS (INTERIOR), HORIZONTALLY	5 psf	
HORIZONTAL WIND LOAD (90 mph 3-SEC GUST) < 30'	15 psf	
HORIZONTAL WIND LOAD (90 mph 3-SEC GUST) 30' TO 49'	20 psf	
GARAGES (PASSENGER CARS ONLY)	50 psf	
FOR SL: 1 PSF=0.0479 kN/m ² , 1 SQUARE INCH=645 mm ²		
SEE SHEET SP-1 FOR SPECIFICATIONS FOR SITE WORK, CONCRETE, MASONRY, STEEL, CARPENTRY, INSULATION, ROOFING, DRYWALL, PLUMBING, HEATING, AND ELECTRICAL.		

BASE LUMBER VALUES		
TYPE	Fb	E
HEM FIR #2 (DOMESTIC)	850 PSI	1,300,000
S.P.F. #1/#2 (CANADIAN)	875 PSI	1,400,000
MICROLAM LVL	2600 PSI	1,900,000
PARALLAM PSL	2900 PSI	2,000,000
1.3 E TIMBERSTRAND LSL(4 3/4" TO 11 1/4")	1700 PSI	1,300,000
1.5E TIMBERSTRAND LSL(11 7/8" TO 18")	2250 PSI	1,500,000

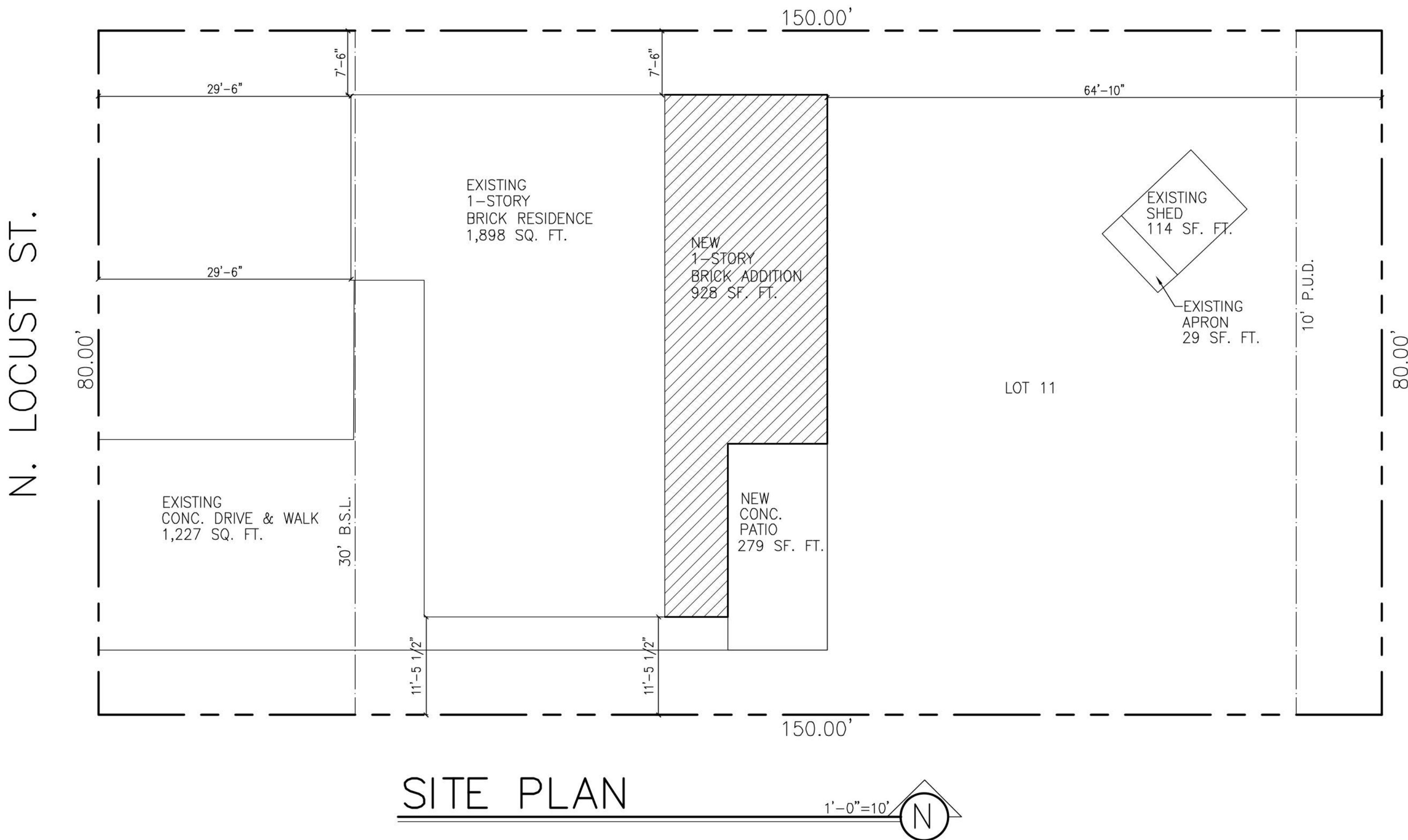
ALLOWABLE FRAMING SPANS:		
FLOOR AND CEILING JOIST: CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON U.S. SPAN BOOKS..		
ALLOWABLE SPANS ARE AS FOLLOWS:	SPRUCE-PINE-FIR #2	HEM-FIR #2
CEILING JOISTS - 20lbs LIVE LOAD	2"x6" @ 12" O.C. = 13'-9"	2"x8" @ 12" O.C. = 17'-5"
	14'-9" @ 12" O.C. = 17'-2"	2"x10" @ 12" O.C. = 21'-4"
	12" O.C. = 11'-11"	2"x8" @ 16" O.C. = 15'-1"
	12'-10" @ 16" O.C. = 19'-10"	2"x10" @ 16" O.C. = 18'-5"
	16" O.C. = 17'-2"	
2nd FLOOR, FLOOR JOISTS - 30lbs LIVE LOAD	12" O.C. = 19'-0"	12" O.C. = 22'-6"
	16" O.C. = 17'-2"	16" O.C. = 19'-8"
1st FLOOR, FLOOR JOISTS - 40lbs LIVE LOAD	12" O.C. = 17'-3"	12" O.C. = 20'-4"
	16" O.C. = 15'-5"	16" O.C. = 17'-7"
ROOF RAFTERS:		
USE CANADIAN SPRUCE-PINE-FIR NO. 2 FOR ROOF RAFTERS THRU 2"x10". CANADIAN HEM-FIR NO. 2 PER "U.S. SPAN BOOK FOR CANADIAN LUMBER"		
2"x6" @ 12" O.C. = 13'-9"	2"x8" @ 12" O.C. = 17'-5"	
2"x6" @ 16" O.C. = 11'-11"	2"x8" @ 16" O.C. = 15'-1"	
HEM FIR		
2"x12" @ 12" O.C. = 24'-4"	2"x10" @ 12" O.C. = 21'-4"	
2"x12" @ 16" O.C. = 21'-1"	2"x10" @ 16" O.C. = 18'-5"	

RECEIVED

By Christopher Gruba at 3:35 pm, Aug 03, 2022

A MASTER BEDROOM, DINETTE & MUDROOM ADDITION FOR THE MILLER RESIDENCE

229 N. LOCUST STREET
FRANKFORT, ILLINOIS



PRESCRIPTIVE METHOD

ACTUAL INSULATION PROVIDED BY COMPONENT IN THIS PROJECT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS FRAME WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
5 & MARINE 4	.32	.55	N/A	49	20 + 13+5	13/17	30 ⁹	15/19	10, 2 FT.	15/19

* R-38 IS ACCEPTABLE WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES (SECTION 402.2.1 IEC)

h. FIRST VALUE IS CAVITY INSULATION, SECOND IS CONTINUOUS INSULATION SIDING, SO "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION OR INSULATED SIDING. IF STRUCTURAL SHEATHING COVERS 40 PERCENT OR LESS OF THE EXTERIOR, CONTINUOUS INSULATION R-VALUE SHALL BE PERMITTED TO BE REDUCED BY NO MORE THAN R-3 IN THE LOCATIONS WHERE STRUCTURAL SHEATHING IS USED - TO MAINTAIN A CONSISTENT TOTAL SHEATHING THICKNESS.

SYMBOLS

	SECTION NUMBER		WOOD FRAME WALL
	SHEET NUMBER		BRICK VENEER
	DETAIL LETTER		E.I.F.S.
	SHEET NUMBER		EARTH
	ROOF PITCH RATIO		CONCRETE
	LEVEL LINE		GRAVEL FILL
	REVISION		BATT INSULATION
	CEILING PATTERN		CONCRETE BLOCK
	DETAIL W/ HEIGHT		MINIMUM 3"x3" SOLID BEARING OR AS REQUIRED
			SILLCOCK

ABBREVIATIONS

A.F.F. ALUM BOARD	ABOVE FIN. FLOOR	H.P. INSUL. NT.	HIGH POINT INSULATION	OPN'G. OPP. PL.	OPENING OPPOSITE PLATE
BLK. BLK'G	BLOCKING	JAN. LAV.	JANITORY LAVATORY	PLAS. LAM. PLYWD.	PLASTIC LAMINATE PLYWOOD
BM. B/ CAB.	BOTTOM OF CABINET	L.P. MAX. M.C.	LOW POINT MAXIMUM MECHANICAL	Q.T. R.D.	QUARRY TILE ROOF DRAIN
C.L. CER. CLR. COL. CONST. CONT. C.M.U. #	CENTER LINE CERAMIC CLERK COLUMN CONSTRUCTION CONTINUOUS CONCRETE MASONRY UNIT	M.C. MECH. MTL. MIN. M.O. N.T.S. O.C.	MEDICINE CABINET METAL MATERIAL MINIMUM MASONRY OPENING NOT TO SCALE ON CENTER	REF. REFRIG. REIN. REQ'D. R.O. SCHED. SHT. SM. SPEC. ST. STL. STD. T/ TREAD	REFERENCE REFRIGERATOR REINFORCED REQUIRED ROUGH OPENING SCHEDULE SHEET SIMILAR SPECIFICATION STAINLESS STEEL STANDARD TOP OFF
DN. D.W. DWC. EXIST. EA. EXP. JT. ELEV. EX. EXT. F.D. FDN.	DOWN DISHWASHER DRAWING EXISTING EACH EXPANSION JOINT ELEVATION EXTERIOR FLOOR DRAIN FOUNDATION	FLR. FLASH. FT. FTG. GAUGE. GALV. GL. GYP. BD. H.O.P. HW. H.M. HORIZ. HGT.	FLOOR FLASHING FOOTING GAUGE GALVANIZED GLASS GYPSUM BOARD HANDICAPPED HARDWARE HOLLOW METAL HORIZONTAL HEIGHT	FIN. FINISH FLOOR FLASHING FT. FTG. GAUGE GALV. GL. GYP. BD. H.O.P. HW. H.M. HORIZ. HGT.	FINISH FLOOR FLASHING FOOTING GAUGE GALVANIZED GLASS GYPSUM BOARD HANDICAPPED HARDWARE HOLLOW METAL HORIZONTAL HEIGHT

DISCLAIMER STATEMENT:

THE ARCHITECT SHALL NOT HAVE CONTROL OVER CHARGE OR AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE OWNERS AND THE CONTRACTORS RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OWNERS OR CONTRACTORS SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER ACTS OR OMISSIONS OF THE OWNER, CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

RESPONSIBILITY STATEMENT:

IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR CARPENTER AND CONCRETE CONTRACTOR TO HAVE FULL SET OF DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

OWNER:
JOSH & CHERYL MILLER

AUTHORITY:
VILLAGE OF FRANKFORT
432 NEBRASKA ST.
FRANKFORT, ILLINOIS
Tel: 815.469.2177
Fax: 815.469.7999
E-mail: N/A

BUILDING DATA:

- ONE STORY FAMILY DWELLING
- BUILDING HEIGHT, GRADE TO RIDGE: 16'-4 1/4"
- BUILDING HEIGHT, GRADE TO MEANS AT RIDGE: 12'-3 1/4"
- BASEMENT = 1,133 SQ. FT.
- FIRST FLOOR (EXIST.) = 1,898 SQ. FT.
- FIRST FLOOR (NEW) = 928 SQ. FT.
- TOTAL (EXIST. & NEW) = 2,826 SQ. FT.

BUILDING CODE INFORMATION

- 2012 INTERNATIONAL BUILDING CODE
- 2012 INTERNATIONAL RESIDENTIAL CODE
- 2012 INTERNATIONAL RESIDENTIAL CODE ONE & TWO FAMILY DWELLINGS
- 2014 ILLINOIS STATE PLUMBING CODES
- 2012 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2012 INTERNATIONAL FIRE CODE
- 2012 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2011 NATIONAL ELECTRICAL CODE
- 2012 FUEL GAS CODE

SCOPE OF WORK:

- ADD NEW MASTER BEDROOM SUITE
- ADD NEW DINETTE AREA
- ADD NEW MUDROOM/LAUNDRY ROOM AREA
- ADD NEW CONC. PATIO AREA

DRAWING INDEX

T-1	TITLE SHEET
S-1	ZONING DATA CHART
A-1	ELEVATIONS & ROOF PLAN
A-2	EXISTING/ DEMO PLANS
A-3	FOUNDATION PLAN & SECTION
A-4	FIRST FLOOR PLAN
M-1	MECHANICAL/PLUMBING NOTES
E-1	ELECTRICAL FLOOR PLANS/NOTES
D-1	DETAILS

CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF CONFORM TO ALL APPLICABLE CODES AND ORDINANCES OF FRANKFORT, ILLINOIS

MICHAEL J. ROOT ARCHITECT
LICENSE NO. 001-006715 ARCHITECT LICENSE EXPIRES: 11-30-22

ideal
DESIGNS

ARCHITECTS / DESIGNERS

20960 FRANKFORT SQ. RD.
SUITE A
FRANKFORT, ILLINOIS
T: (708) 407-8028
F: (779) 333-7960
gabe@idealcustomdesigns.com
www.idealcustomdesigns.com

AN ADDITION FOR THE
MILLER RESIDENCE
229 N. LOCUST ST.
FRANKFORT, ILLINOIS

8/03/22
DATE:
MICHAEL J. ROOT
No. 001-006715
11/30/22
EXP. DATE:

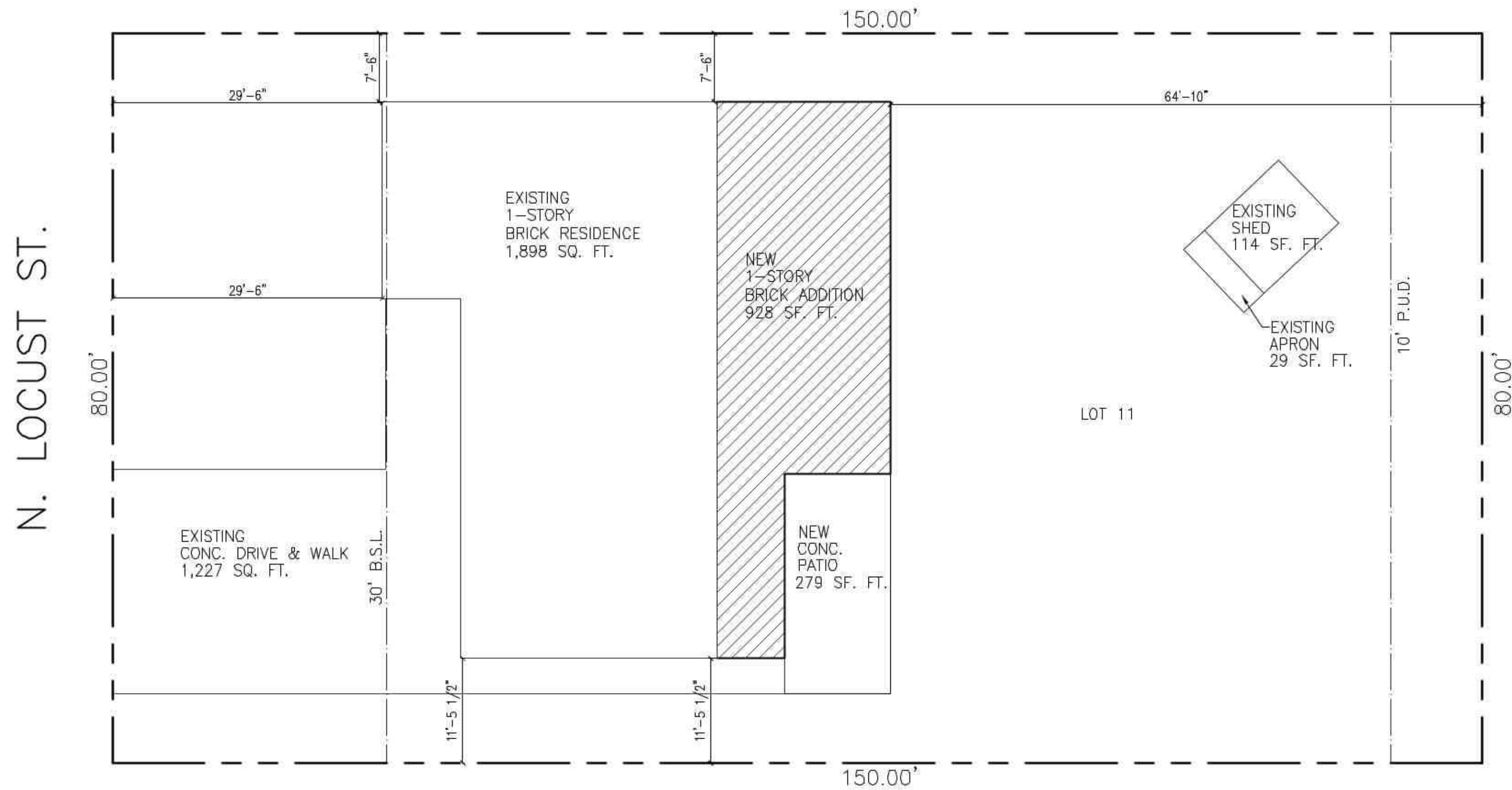
DESIGN FIRM REG. NO.
184.006972
EXP. DATE
4-30-23

REVISIONS

REV #	DATE:	REV. PER:

DATE:
06-28-22
DRAWN BY: PAP
PREVIOUS NO. -
PROJECT NO.
22055

SHEET NUMBER
T-1



SITE PLAN

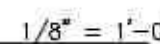
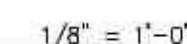


EXISTING SITE PLAN

VILLAGE OF FRANKFORT		
VNEW HOME CONSTRUCTION OR ADDITONS		
ZONING DATA CHART		
	EXISTING	PROPOSED
LOT AREA (SF)	12,000 S.F.	-
FRONT YARD SETBACK (FT.) (WEST)	29'-6"	-
SIDE YARD SETBACK (FT.) (NORTH)	7'-6"	-
SIDE YARD SETBACK (FT.) (SOUTH)	11'-5 1/2"	-
CORNER SIDE YARD SETBACK (IF APPLICABLE) (FT.)	-	-
REAR YARD SETBACK (FT.) (EAST)	64'-10"	-
PRIMARY BUILDING HEIGHT (FT.)	16'-4"	-
ACCESSORY BUILDING HEIGHT (FT.)	10'-0"	-
BASEMENT AREA (NOT CRAWLSPACE) (SF)	1,133	-
FLOOR AREA OF 1ST. FLOOR (SF)	1,898	+ 928 = 2,826
FLOOR AREA OF 2ND. FLOOR (SF)	-	-
GROSS FLOOR AREA (1ST. & 2ND. FLOORS) (SF)	1,898	2,826
FLOOR AREA OF 1ST. FLOOR (FOOTPRINT OF BLDG.) (SF)	-	-
FOOTPRINT OF ACCESSORY BUILDING 1 (SF)	114	-
FOOTPRINT OF ACCESSORY BUILDING 2 (SF)	-	-
LOT COVERAGE (FOOTPRINT OF BUILDING + ALL ACCESSORY BLDGS. + ANY AREAS UNDER A ROOF WITH IN THE LOT) (SF) (25% MAX.)	2,012	2,940 (24.5%)
IMPERVIOUS LOT COVERAGE (LOT COVERAGE + PATIOS, DECKS, DRIVEWAYS, SIDEWALKS & ANY OTHER IMPERVIOUS SURFACE WITH IN THE LOT) (SF) (40% MAX.)	3,537	4,475 (37.3%)

1. CONTRACTOR NOTE: ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
2. (E) ALL BEDROOMS SHALL HAVE AT LEAST ONE "GROSS WINDOW" WHICH HAS A NET CLEAR OPENING OF 7' 6" AND A MINIMUM WIDTH OF 2' 0".
3. (S) UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER ANSI 9 SPEC.
4. CONTRACTOR SHALL SUBMIT VERIFICATION THAT ALL GLAZING HAS A MAXIMUM U-FACTOR OF 0.35. CONTRACTOR TO SUBMIT OUT SHEETS ON WINDOWS TO THE BUILDING DEPARTMENT.
- 5.
6. WEAP EAIVE RETURNS WITH RAIN CUTTER AND FLASH AS SHOWN.
7. FIREPLACE FLUES TO BE MIN. (2'-0") ABOVE ANY ROOF SURFACE WITHIN MIN. HORIZONTAL DISTANCE OF (10'-0").
8. WINDOW DESIGNATIONS INDICATES "ELD-WCM" MANUFACTURER CLAD WINDOWS. COORDINATE WINDOW & DOOR SIZER WITH OWNER FOR EXACT SIZES & TYPES.
9. ALL SOLDER AND ROWLOCK BRICK COURSE SHALL PROJECT 3/4" FROM FACE OF WALL UNLESS OTHERWISE NOTED.
10. OPERABLE WINDOWS LOCATED MORE THAN 72" INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, SHALL HAVE THE LOWEST PART OF THE WINDOW'S CLEAR OPENING A MINIMUM OF 24-INCHES ABOVE THE FINISHED FLOOR OF THE ROOM.

CARPENTER CONTRACTOR NOTE: THE ABOVE SPAN TABLES ARE TO BE USED FOR REFERENCE FOR MAXIMUM ROOF RAFTER SPANS. IF CARPENTER SUBCONTRACTOR IS ABLE TO SHORTEN SPAN, HE IS PERMITTED TO DO SO AS LONG AS HE DOES NOT EXCEED RAFTER SPANS ALLOWED BY LOCAL CODE. FURTHER, IF RAFTER SPAN IN ROOF AREA CHANGES FROM MAX. SPAN ALLOWED TO LESSER SPAN, CONTRACTOR MAY MAKE THAT ADJUSTMENT, SAY FROM 2"x10"s TO 2"x8"s BY ADJUSTMENT IN HIS BIRDS MOUTH CUT.


$$1/4'' = 1'-0''$$


AN ADDITION FOR THE
MILLER RESIDENCE
229 N. LOCUST ST.
FRANKFORT, ILLINOIS

DATE:

EXP. DATE:

DESIGN FIRM REG. NO.
184.006972

EXP. DATE
4-30-23

REVISIONS

REV #	DATE:	REV. PER:

DATE:
06-28-22

DRAWN BY: PAP
PREVIOUS NO. —

PROJECT NO.
22055

SHEET NUMBER

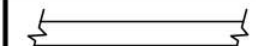
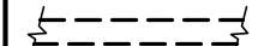
A-2

DEMOLITION NOTES:

1. THE CONTRACTOR IS REQUIRED TO FIELD VERIFY PIPING LOCATION AND INVERTS FOR CONNECTION TO NEW PLUMBING FIXTURES.
2. ANY WASTE OR VENT PIPING CAPPED OFF MUST BE CAPPED PROPERLY ACCORDING TO ILLINOIS STATE PLUMBING CODE & INSPECTED BEFORE PATCHING FLOOR. ALL HAND SINKS MUST BE SOLID CONNECTION WITH REMOVABLE TRAP & CLEANOUT ON FLOOR. HOSE & SPRAY UNITS NEW OR EXISTING SHALL BE PROTECTED AGAINST BACKFLOW. SOAP DISPENSERS, COFFEE, TEA, ICE MAKER MACHINES, ETC. MUST BE PROTECTED BY BACKFLOW. ALL OPEN SITE DRAINS MUST BE VENTED SEPARATELY 6" ABOVE SPILL LINE OF EACH OPEN SITE DRAIN.
3. REMOVE THE FLOOR SLAB AS REQUIRED FOR NEW PLUMBING. PATCH THE FLOOR AS REQUIRED TO MATCH ADJACENT SURFACE.
4. REROUTE & RECONNECT ANY CIRCUIT/ CIRCUITS THAT SHALL REMAIN IN USE BUT INTERFERES WITH THE NEW CONSTRUCTION.
5. EXISTING CONDUITS SHALL NOT BE REUSED, SHALL BE REMOVED. CONDUITS IN WALLS OR BELOW THE FLOOR LINE MAY BE ABANDONED. DISCONNECT AND REMOVE WIRING FROM CONDUITS TO BE ABANDONED. CUT & CAP CONDUITS THAT RUN THROUGH WALLS AND FLOORS. GROUT SURFACE FLUSH.

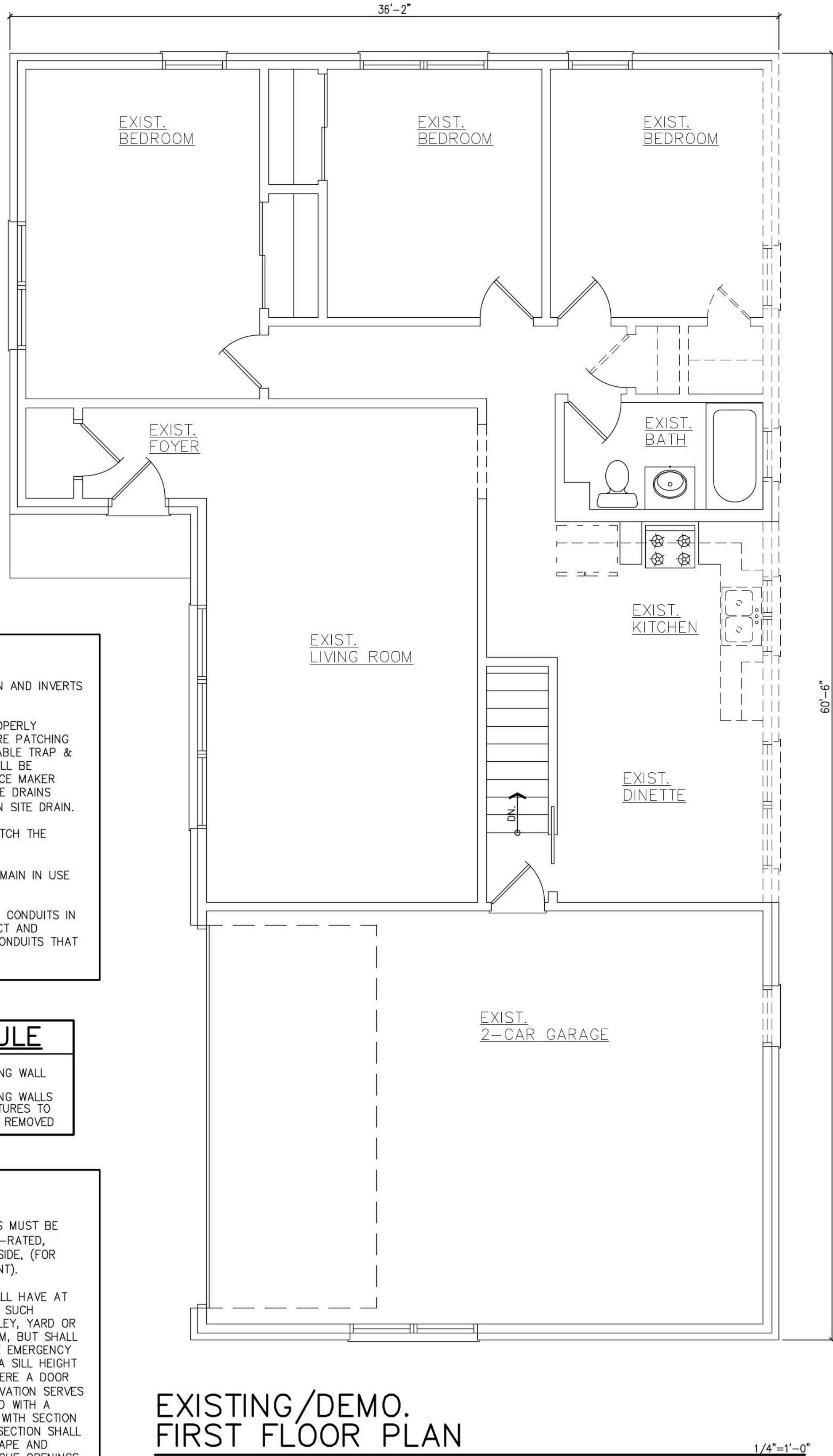
NOTE:
PATCH & REFINISH ALL
NEW/ EXISTING AREAS AS
REQUIRED TO MATCH
EXISTING AREAS

WALL SCHEDULE

-  = EXISTING WALL
-  = EXISTING WALLS
& FIXTURES TO
TO BE REMOVED

BUILDING CODE:

- B. FURNACE ROOMS LOCATED IN HABITABLE AREAS OF LIVING UNITS MUST BE ENCLOSED WITH 5⁄8" GYPSUM BOARD AND A SOLID, ONE HOUR, FIRE-RATED, SELF-CLOSING DOOR. PROVIDE MAKE-UP AIR DIRECTLY FROM OUTSIDE, (FOR ADDITIONS ONLY). (VILLAGE OF WESTERN SPRINGS CODE AMENDMENT).
- C. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. SUCH OPENING SHALL OPEN DIRECTLY INTO A PUBLIC STREET, PUBLIC ALLEY, YARD OR COURT. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOM, BUT SHALL NOT BE REQUIRED IN ADJOINING AREAS OF THE BASEMENT. WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR. WHERE A DOOR OPENING HAVING A THRESHOLD BELOW THE ADJACENT GROUND ELEVATION SERVES AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A BULKHEAD ENCLOSURE, THE BULKHEAD ENCLOSURE SHALL COMPLY WITH SECTION R310.3. THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. (VILLAGE OF WESTERN SPRINGS CODE AMENDMENT)



EXISTING/DEMO.
FIRST FLOOR PLAN
1,298 SQ. FT.

ICE BARRIER (TWO LAYERS)
SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL EXTEND FROM THE LEADING EDGE OF THE ROOF TO A POINT AT LEAST 24" PAST THE FINISH WALL.

TYP. ROOF CONST.
ROOFING- MIN. 30 YEAR ASPHALT SHINGLES ON 15# ROOFING FELT.
1/2" CDX PLYWOOD ROOF SHEATHING.
SEE BUILDING COVENANTS FOR MORE RESTRICTIVE REQUIREMENTS.
2"x ROOF RAFTERS SEE PLAN FOR SIZE AND SPACING.
INSULATION BAFFLES BETWEEN EACH RAFTER AND ALONG SIDE AND OVER THE INSULATION. INSULATION SHALL NOT BLOCK THE FLOW OF AIR FROM THE EAVE INTO THE ATTIC.
PROVIDE DRIP EDGE BELOW ICE & WATER SHIELD @ EAVE
1st FLR. PLT. HT.

2"x10" RIDGE (2"x8" RAFTER)
2"x12" RIDGE (2"x10" RAFTER)
2"x14" RIDGE (2"x12" RAFTER)

8" DIA. ROOF VENT-
SEE ROOF PLAN FOR LOCATION

12

2'-0"

ICE BARRIER

SEE ELEV.

2"x CEILING JOISTS- SIZE PER PLAN
MINIMUM 2"x8" WITH R-49 BATT INSUL.

2"x4" COLLAR TIES
@ 48" O.C. MAX.

1/2" GYP. BOARD
GLUED & SCREWED

(2) 2"x6" TOP PLATES
LAP TOP PLATES

2"x4" @ 32" O.C.

1"x4" TRIM BOARD

TYP. CORNICE CONST.
1"x8" FASCIA OVER 2"x6" SUBFASCIA
3/8" EXTERIOR GRADE PLYWOOD SOFFIT w/3"x10" VENTS @ 6'-0" O.C.
2"x4" @ 16" O.C. LOOKOUTS.
2"x4" CONTINUOUS NAILER.
5" ALUMINUM GUTTER- PROVIDE 2"x3" DOWNSPOUTS AS REQ'D- MAX. 20'-0" O.C.

TYP. BRICK VENEER CONST.
4" NOMINAL BRICK w/ METAL TIES @ 16" O.C. VERT. & 32" O.C. HORIZ.
w/ 1" MIN. AIR SPACE.
W/WEEP HOLES @ 24" O.C.

R-21 BATT INSULATION
AT RIM JOISTS- TYP.

20 MIL BRICK FLASHING
1st FLOOR

TOP/FDN.

6"

FINISHED GRADE

SLOPE FINISH GRADE
AWAY FROM BUILDING
REFER TO GRADING PLAN

ASPHALTIC MOISTURE BARRIER
ALL CONCRETE WALLS BELOW
FINISH GRADE

6" MIN.

2" MIN.

4" PERIMETER DRAIN TILE w/
FILTER MEMBRANE COVERED (SOCK)
OVER BLACK CORRUGATED
PERFORATED PIPE w/ GRAVEL FILL.
TOP OF OPEN JOINTS SHALL BE TIE
AND DRAIN TO SUMP PIT.

12" MIN.

1'-8"

TYP. STUD WALL CONST.
1/2" GYP. BOARD ON 2"x6" STUDS @ 16" O.C.
w/5 1/2" R-21 INSUL. w/ 7/16" O.S.B.
SHEATHING & "TYVEK" HOUSE WRAP

TYP. FLOOR CONST.
3/4" T & G PLYWOOD SUBFLOOR
GLUED & SCREWED TO FLOOR JOISTS
2x FLOOR JOISTS SEE FLOOR PLAN
FOR SIZE AND SPACING 1x
BRIDGING AT MID-SPANS MAX. 8'-0"
O.C.- TYP.

SEE PLAN FOR
JOIST DIRECTION

TYP. SILL PLATE CONST.
2"x6" TREATED SILL PLATE ON "DOW"
SILL SEALER WITH 1/2" DIA.x10" LONG ANCHOR
BOLTS @ 6'-0" MAX. O.C. AND 12" MAX.
FROM CORNERS - MIN 2 BOLTS PER PL.

2-#5 CONT. REBAR TOP, &
BOTTOM OF WALL

R-19 DRAPED FOIL BACK INSULATION

TYP. SLAB CONST.
2" CONCRETE FLOOR ON
6 MIL VISQUEEN VAPOR
BARRIER ON 4" MINIMUM
CRUSHED STONE & CONTROL JOINTS

1/2" PRE-MOLDED
EXPANSION JOINT

2"x4" FORMED "KEY WEDGE"

10"x20" CONT. CONCRETE FOOTING
ON MIN. SOIL BEARING CAPACITY
OF 3,000 P.S.F.

5"

10"

SEE ELEVATION FOR FIRST FLOOR PLATE, FIN.

SEE ELEVATION FOR FDN. WALL HT. - 4'-1/2"

PLAN

TYP. ROOF CONST.

ROOFING- MIN. 30 YEAR ASPHALT
SHINGLES ON 15# ROOFING FELT.
1/2" CDX PLYWOOD ROOF SHEATHING.
SEE BUILDING COVENANTS FOR
MORE RESTRICTIVE REQUIREMENTS.
2"x ROOF RAFTERS SEE PLAN
FOR SIZE AND SPACING.
INSULATION RAFTERS BETWEEN EACH

INSULATION BAFFLES BETWEEN EACH
RAFTER AND ALONG SIDE AND OVER
THE INSULATION. INSULATION SHALL
NOT BLOCK THE FLOW OF AIR FROM
THE EAVE INTO THE ATTIC
PROVIDE DRIP EDGE BELOW
ICE & WATER SHIELD @ EAVE
1st FLR. PLT. HT.

TYP CORNICE CONST

1"x8" FASCIA OVER 2"x6" SUBFASCIA
3/8" EXTERIOR GRADE PLYWOOD
SOFFIT w/3"x10" VENTS @ 6'-0" O.C.
2"x4" @ 16" O.C. LOOKOUTS.
2"x4" CONTINUOUS NAILER.
5" ALUMINUM GUTTER- PROVIDE 2"x3"
DOWNSPOUTS AS REQ'D- MAX. 20'-0" O.C.

TYP. BRICK VENEER CONST.

4" NOMINAL BRICK w/ METAL TIES
 @ 16" O.C. VERT. & 32" O.C. HORIZ.
 w/ 1" MIN. AIR SPACE.
 W/ WEEP HOLES @ 24" O.C.

TYP. STUD WALL CONST.

1/2" GYP. BOARD ON 2"x6" STUDS @ 16" O.C.
w/5 1/2" R-21 INSUL. W/ 7/16" O.S.B.
SHEATHING & "TYVEK" HOUSE WRAP

TYP FLOOR CONST

3/4" T & G PLYWOOD SUBFLOOR
GLUED & SCREWED TO FLOOR JOISTS
2x FLOOR JOISTS SEE FLOOR PLAN
FOR SIZE AND SPACING 1x
BRIDGING AT MID-SPANS MAX. 8'-0"
O.C. - TYP.

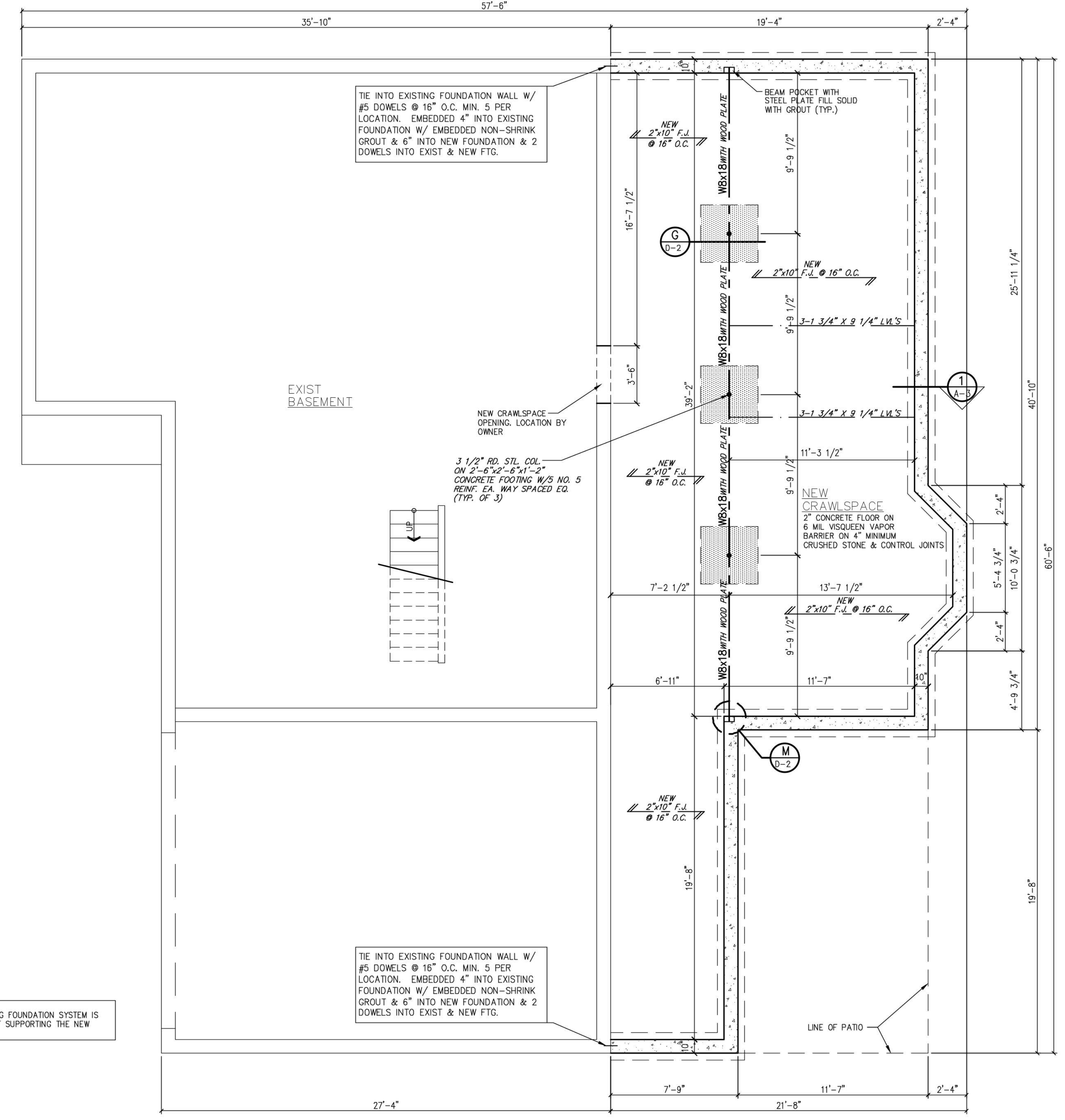
TYP SILL PLATE CONST

2"x6" TREATED SILL PLATE ON "DOW"
SILL SEALER WITH 1/2" DIA.x10" LONG ANCHOR
BOLTS @ 6'-0" MAX. O.C. AND 12" MAX.
FROM CORNERS - MIN 2 BOLTS PER PL.

TYP. SLAB CONST.

2" CONCRETE FLOOR ON
6 MIL VISQUEEN VAPOR
BARRIER ON 4" MINIMUM
CRUSHED STONE & CONTROL JOINTS

NOTE:
THE EXISTING FOUNDATION SYSTEM IS
CAPABLE OF SUPPORTING THE NEW
ADDITION



FOUNDATION PLAN

1,162 SQ. FT. (EXIST. BASEMENT)
876 SQ. FT. (NEW CRALSPACE)

AN ADDITION FOR THE
MILLER RESIDENCE
229 N. LOCUST ST.
FRANKFORT, ILLINOIS

DATE:
EXP. DATE:
DESIGN FIRM REG. NO. 184.006972
EXP. DATE 4-30-23

[illegible]

DATE: 06-28-22	
DRAWN BY:	PAP
PREVIOUS NO.	—
PROJECT NO. 22055	

FRAMING NOTES

CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON U.S. SPAN BOOKS. FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR #2 FOR MEMBERS UP TO 12". FOR MEMBERS 12" AND ABOVE USE LARCH #1. ALLOWABLE SPANS ARE AS FOLLOWS:

	SPRUCE-PINE-FIR #2	HEM-FIR #2
CEILING JOISTS - 20lbs LIVE LOAD	2"x8" 12" O.C. 16" O.C.	2"x8" 14'-9" 18'-9" 22'-11" 23'-6" 12'-10" 16'-3" 19'-10" 21'-0"
2nd FLOOR, FLOOR JOISTS - 30lbs LIVE LOAD	12" O.C. 16" O.C.	19'-0" 22'-6" 17'-2" 19'-8"
1st FLOOR, FLOOR JOISTS - 40lbs LIVE LOAD	12" O.C. 16" O.C.	17'-3" 20'-4" 15'-5" 17'-7"

MICROLAM LVL AND PARALLAM PSL HEADERS AND BEAMS ARE MANUFACTURED BY "TRUSS JOIST MAC MILLAN" OR APPROVED EQUAL.
T.J. JOISTS ARE MANUFACTURED BY "TRUSS JOIST MAC MILLAN" OR APPROVED EQUAL.

GENERAL NOTES

1. FOR SPECIFICATIONS SEE SHEET SP-1
2. CARPENTER CONTRACTOR TO VERIFY WITH CONTRACTOR IF JOIST SPACING IS TO BE CHANGED IN CERAMIC TILE FINISHED FLOOR AREAS.
3. SEE ELEVATIONS FOR ALL WINDOW SIZES.
4. ALL UNDIMENSIONED PARTITIONS ARE 4 1/2" FINISHED.
5. SEPARATION WALL/CEILING BETWEEN GARAGE AND LIVING AREA SHALL HAVE MINIMUM 5/8" TYPE X GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF ALL WALLS AND CEILINGS COMMON WITH THE RESIDENCE OR ITS ATTIC. ALSO PROVIDE A MINIMUM 5/8" TYPE X GYPSUM DRYWALL BOARD PROTECTION FOR WALLS NOT COMMON WITH RESIDENCE THAT SUPPORT CEILING.
6. FOR PARTITION DETAILS SEE - M/D1 & N/D1
7. FOR HEADER SIZING SEE - Q/D1
8. FOR STAIR DETAIL SEE - J/D1 & K/D1
9. FOR FIREPLACE DETAILS SEE - A/D3 & C/D3



CARPENTER CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

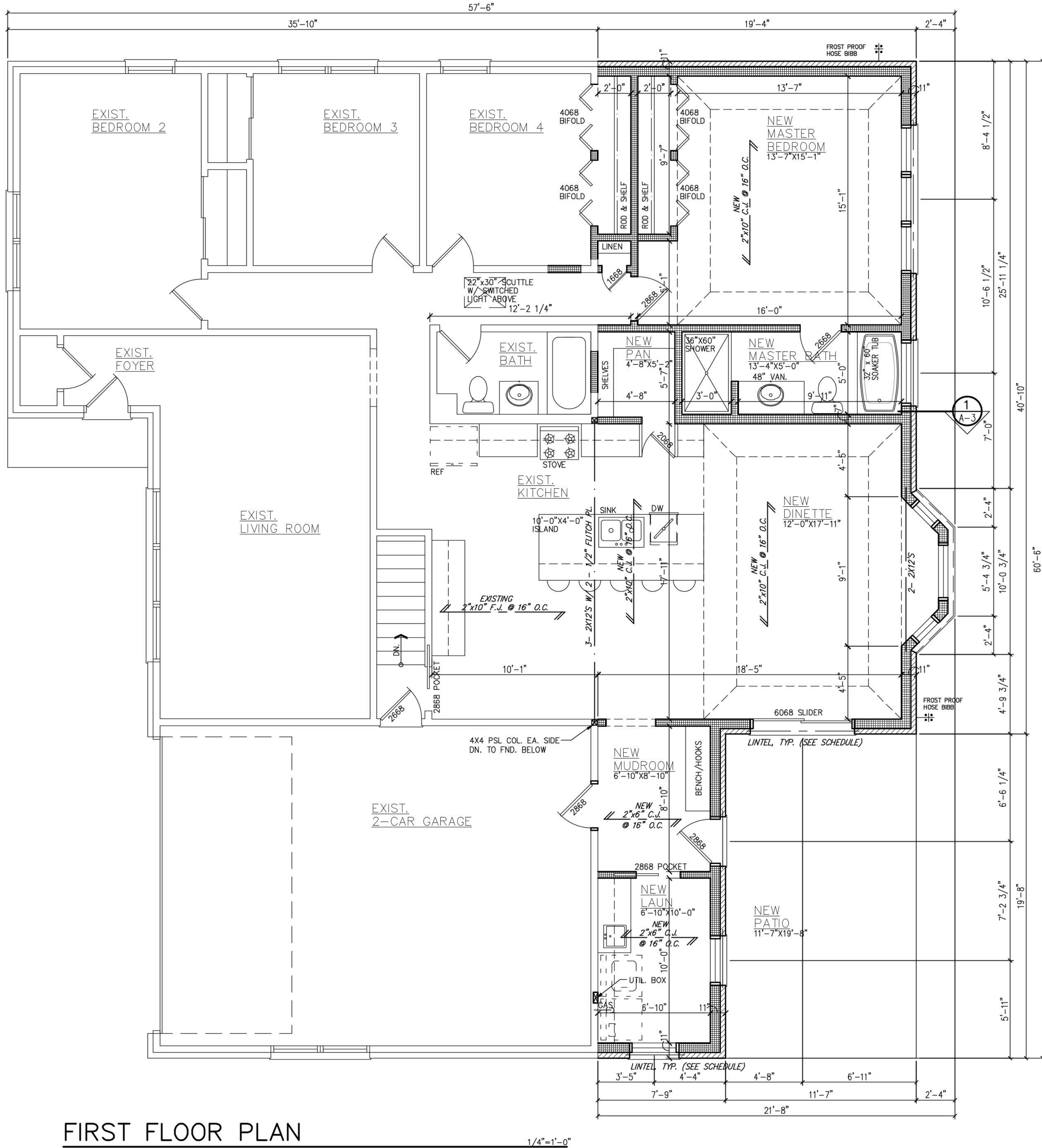
THE ENDS OF ALL JOISTS, BEAMS AND GIRDERS SHALL BEAR A MINIMUM 1-1/2" ON WOOD OR METAL AND 3" ON MASONRY OR CONCRETE EXCEPT WHERE SUPPORTED ON A 1" BY 4" RIBBON STRIP AND NAILED TO THE ADJACENT STUD OR BY THE USE OF APPROVED JOIST HANGERS. JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MINIMUM 3" AND BE NAILED TOGETHER WITH A MINIMUM THREE 10d FACE NAILS. JOISTS FRAMING INTO THE SIDE OF A WOOD GIRDER SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OR ON LEDGER STRIPS NOT LESS THAN NOMINAL 2" BY 2".

LIGHT AND VENTILATION SCHEDULE

ROOMS	FLOOR AREA	LIGHT 8%		VENT 4%		MECH.	
		REQ'D	ACTUAL	REQ'D	ACTUAL	REQ'D	ACTUAL
DINETTE	339	27.1	55.0	13.5	27.0		
MASTER BEDROOM	205	16.4	25.8	8.2	14.1		
MASTER BATH	67					100.5	150 CFM
KITCHEN		EXISTING W/	NO CHANGE				
LIVING ROOM (EXIST.)		EXISTING W/	NO CHANGE				
BEDROOM 2 (EXIST.)		EXISTING W/	NO CHANGE				
BEDROOM 3 (EXIST.)		EXISTING W/	NO CHANGE				
BEDROOM 4 (EXIST.)		EXISTING W/	NO CHANGE				
BATH (EXIST.)		EXISTING W/	NO CHANGE				
BASEMENT (EXIST.)		EXISTING W/	NO CHANGE				

WALL LEGEND

-  = EXISTING WALL TO REMAIN (NO CHANGE)
-  = NEW WALL



FIRST FLOOR PLAN

1,298 SQ. FT. (EXIST.)
928 SQ. FT. (NEW)
TOTAL 2,226 SQ. FT.
560 SQ. FT. (EXIST. GARAGE)

ideal
DESIGNS

ARCHITECTS / DESIGNERS

20960 FRANKFORT SQ. RD.

SUITE A

FRANKFORT, ILLINOIS

T: (708) 407-8028

F: (779) 333-7960

gabe@idealcustomdesigns.com

www.idealcustomdesigns.com

AN ADDITION FOR THE
MILLER RESIDENCE
229 N. LOCUST ST.
FRANKFORT, ILLINOIS

DATE:

EXP. DATE:

DESIGN FIRM REG. NO.

184.006972

EXP. DATE

4-30-23

REVISIONS

REV # DATE: REV. PER:

DATE:

06-28-22

DRAWN BY: PAP

PREVIOUS NO. -

PROJECT NO.

22055

SHEET NUMBER

A-4

Project: Wild Flower Hair Salon and Spa
Meeting Type: Public Hearing
Requests: Special Use Permit for a salon
Location: 21195 S South LaGrange Road, Units 1B and 1C
Applicant: Sydney White
Prop. Owner: GNC Properties Unit IV, LLC
Consultants: None
Representative: Sydney White
Report By: Drew Duffin

Site Details

Lot Size: 35,568 square feet (+/-)
PIN(s): 19-09-21-411-001-0000, 19-09-21-411-002-0000
Existing Zoning: B4 Office District
Prop. Zoning: B4 Office District with a Special Use for Personal Services
Building(s) / Lot(s): 1 building / 2 lots
Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Office	Mixed Use	B4
North	La Grange Road	N/A	N/A
South	Residential	Single Family Attached Residential	R4
East	Office	Mixed Use	H1
West	Commercial	General Commercial	B2 PUD

Figure 1: Location Map



Project Summary

The applicant, Sydney White, is requesting a Special Use Permit for Personal Services to operate a salon located at 21195 S. LaGrange Road, Units 1B and 1C, which was previously occupied by Tracy's Beautique. The owner of the property is GNC Properties Unit IV, LLC.

Attachments

1. 2021 Aerial Photograph from Will County GIS
2. Site Plan received 7.13.22
3. Floor Plan for the building received 7.13.22
4. Floor Plan for Units 1B and 1C received 7.22.22
5. Findings of Fact completed by the applicant
6. Site Photographs taken 8.3.22
7. Chart of parking requirements throughout the week at 21195 S. La Grange Road

Analysis

In consideration of the request, staff offers the following points of discussion:

1. The site includes the following uses: GNC Consulting Inc, Country Financial, and F. Wayne Gedutis DDS and Associates.
2. As proposed, Wild Flower Hair Salon and Spa will require 11 spaces per the Zoning Ordinance. Six spaces are required based on the 1,129 SF area for units 1B and 1C, and five parking spaces are required for five employees in the largest work shift. For comparison, the previous tenant had five employees and occupied units 1A, 1B, and 1C (1,654 SF), which required a total of 14 parking spaces per the Zoning Ordinance.
3. Existing parking on the site does not meet the requirements as laid out in the Zoning Ordinance if the minimum parking requirement was applied to each individual use. The following table breaks down the parking requirements per the Zoning Ordinance:

Tenant	Spaces per Employee	Spaces per Square Footage	Tenant Required Parking
GNC Consulting, Inc.	0	25 (4,935 SF, 1 space per 200 SF)	25 Spaces
Country Financial	0	3 (550 SF, 1 space per 200 SF)	3 Spaces
F. Wayne Gedutis DDS and Associates	4 (1 per employee in the largest shift)	9 (3 per exam room, 3 rooms)	13 Spaces
Wild Flower Hair Salon (Proposed)	5 (1 per employee in the largest shift)	6 (1,129 SF, 1 per 200 SF)	11 Spaces
Total Parking	9 Spaces	43 Spaces	52 Spaces (40 spaces exist)

4. Article 7, Section B, Part 5(b) of the Zoning Ordinance refers to adjustments to required parking. It states in part:

Adjustments. In all business and industrial districts, the minimum number of required parking spaces may be adjusted by the Plan Commission on a case-by-case basis. The petitioner for such an adjustment shall show to the satisfaction of the Plan Commission that adequate parking will be provided for customers, clients, visitors, and employees. The following provisions and factors shall be used as a basis to adjust parking requirements:

1. *Evidence That Actual Parking Demands will be Less Than Ordinance Requirements. The petitioner shall submit written documentation and data to the satisfaction of the Plan Commission that the operation will require less parking than the Ordinance requires.*
2. *Availability of Joint, Shared or Off-Site Parking. The petitioner shall submit written documentation to the satisfaction of the Plan Commission that joint, shared or offsite parking spaces are available to satisfy the parking demand.*

- a) *Agreements shall be provided which demonstrate evidence that either parking lots are large enough to accommodate multiple users (joint parking) or that parking spaces will be shared at specific times of the day (shared parking, where one activity uses the spaces during daytime hours and another activity uses the spaces during evening hours.)*
- b) *Off-site parking lots may account for not more than 50-percent of the required parking and shall be located not more than three hundred (300) feet from the principal use that it is intended to serve.*

The Plan Commission may choose to either allow an adjustment to the parking requirements, or it may choose to table the current motion to allow the applicant request a variance.

5. In the Zoning Ordinance, “joint parking” is described as a situation when a parking lot is large enough to accommodate multiple users, such as for a multi-tenant office building as in this case. “Shared parking” is described as a situation where one activity uses the spaces during daytime hours and another activity uses the spaces during evening hours. For the subject property and its current mix of office tenants, with varying work days and business hours, the existing 40 space parking lot exhibits a combination of both joint parking and shared parking.
6. Staff took photographs of the site and the current parking situation on the afternoon of August 2nd, 2022. At the time, the lot had approximately 8 occupied spaces and 32 available spaces. Staff visited the site previously on July 15th, 2022. During that visit, the parking lot had only a handful of cars parked.
7. The hours of operation for the various tenants will impact the availability of parking at different times of day and throughout the week. The following table lists the hours of operation for each tenant Monday to Sunday.

Tenant	Hours
GNC Consulting	8:00a – 5:00p Monday - Friday (remote Tuesday - Thursday), Closed Saturday and Sunday
Country Financial	9:00a – 5:00p Monday - Friday, Closed Saturday and Sunday
F. Wayne Gedutis DDS and Associates	2:00p – 8:00p Wednesday, 9:00a – 3:00p Thursday, Closed Friday - Tuesday
Wild Flower Hair Salon and Spa	8:00a – 8:00p Monday - Saturday, Closed Sunday

8. Unless GNC Consulting returns to in-office work Tuesday through Friday, there will not be a time where all code-required parking spaces are needed simultaneously. Based on the current hours of operation of all tenants, the time when nearly all 40 existing spaces will be required per code is between 9:00 AM and 5:00 PM on Mondays. During all other hours of the week, code-required parking will not exceed 27 spaces, or approximately 68% of the existing spaces.
9. Should GNC Consulting return to in-office work Tuesday through Friday in the future, nearly all existing parking spaces would be required per the Zoning Ordinance between 8:00 AM and 5:00 PM on weekdays. Between 2:00 PM and 5:00 PM on Wednesdays, and between 9:00 AM and 3:00 PM on Thursdays, there would be a 12-space parking deficiency according to the Zoning Ordinance, as 52 spaces would be required.
10. The submitted floorplan shows two small waiting areas for patrons of the proposed salon. Parking per the Zoning Ordinance can accommodate up to six patrons (per the square footage requirements). Five of the six parking spaces would fill each available salon station, leaving one space open. However, it is likely that more parking may be necessary to accommodate patrons waiting for their appointments to begin. Therefore, the salon may in reality use more than the 16 parking spaces required by the Zoning Ordinance.

11. While Wild Flower Salon and Spa may be deficient in terms of its individual Code-required parking, GNC Consulting has a surplus of parking due to its current remote work situation for some employees. Per the Zoning Ordinance, GNC Consulting requires 25 parking spaces. However, GNC Consulting currently has seven employees. Assuming each employee requires their own parking space, GNC Consulting has a surplus of 18 parking spaces when all employees are in the office.
12. Appointments for the proposed salon will be made over the internet, in lieu of a receptionist working on-site.
13. There will be no massage services offered, unlike the previous tenant.

Standards for Special Uses

For reference during the workshop, Article 3, Section B, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use request.

The Plan Commission shall make written findings of fact and shall refer to any exhibits containing plans and specifications for the proposed special use, which shall remain a part of the permanent record of the Plan Commission. The Plan Commission shall submit same, together with its recommendation to the Village Board for final action. No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Adjustments to Required Parking

For reference during the workshop, Article 7, Part 5 of the Village of Frankfort Zoning Ordinance describes the circumstances in which the Plan Commission may adjust the minimum number of required parking spaces in the business and industrial districts on a case-by-case basis.

- a. Purpose. The purpose of this section is to allow adjustments to the minimum number of parking spaces required to avoid construction of unnecessary and excessive off-street parking facilities. Reducing the requirements for off-street parking facilities is intended to provide for more cost-efficient site

development, to minimize impervious surface, to minimize storm water runoff, to avoid construction of unnecessarily large storm water management facilities, and to provide more landscape areas and open space on business and industrial sites. To achieve these purposes, the Plan Commission may reduce the minimum number of required off-street parking spaces in specific cases as described in this Part 5.

- b. **Adjustments.** In all business and industrial districts, the minimum number of required parking spaces may be adjusted by the Plan Commission on a case-by-case basis. The petitioner for such an adjustment shall show to the satisfaction of the Plan Commission that adequate parking will be provided for customers, clients, visitors, and employees. The following provisions and factors shall be used as a basis to adjust parking requirements:
 - 1. **Evidence That Actual Parking Demands will be Less Than Ordinance Requirements.** The petitioner shall submit written documentation and data to the satisfaction of the Plan Commission that the operation will require less parking than the Ordinance requires.
 - 2. **Availability of Joint, Shared or Off-Site Parking.** The petitioner shall submit written documentation to the satisfaction of the Plan Commission that joint, shared or off-site parking spaces are available to satisfy the parking demand.
 - a) Agreements shall be provided which demonstrate evidence that either parking lots are large enough to accommodate multiple users (joint parking) or that parking spaces will be shared at specific times of the day (shared parking, where one activity uses the spaces during daytime hours and another activity uses the spaces during evening hours.)
 - b) Off-site parking lots may account for not more than 50-percent of the required parking and shall be located not more than three-hundred (300) feet from the principal use that it is intended to serve.

When a reduction of parking spaces attributable to shared parking or off-site parking is requested, the petitioner shall submit written verification that such parking is available and shall include copies of any contracts, joint lease agreements, purchase agreements, and other such documentation to show that shared parking can be accomplished. Off-site shared parking spaces shall be clearly posted for the joint use of employees, and/or tenants, or customers of each respective use sharing those spaces.

- 3. **Use of Alternative Transportation.** Upon demonstration to the Plan Commission that effective alternative transportation to the automobile will occur, the Plan Commission may reduce parking requirements. Alternative transportation may include, but is not limited to, bus transit, van pool operations, car pool/ride sharing, and bicycles. Proposals for adjustments of parking under this section shall show how the alternative transportation modes will be implemented, the permanency of such modes, extent of the program, the number of vehicles the mode will replace, and other pertinent information.
- c. **Banked Parking Spaces.** As a condition of a reduction in parking requirements, the Plan Commission may require banked parking spaces. In such cases, the site plan for the business or industrial use shall provide sufficient open space on the subject site to accommodate the additional parking space otherwise required by this Ordinance. Such open space shall be in addition to required yards, setbacks, driveways, private streets, loading and service areas. Sufficient open space shall be provided which, if converted to parking spaces, would:
 - 1. provide off-street parking to meet the full requirements of this Ordinance at the time of application, and
 - 2. ensure that the site shall not exceed the maximum impervious lot coverage as set forth in Article 6.

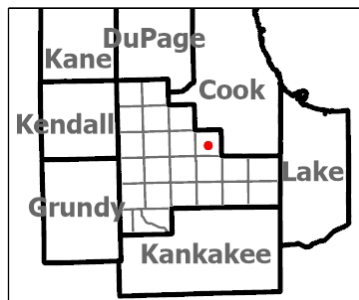
Affirmative Motion _____

For the Commission's consideration, staff is providing the following proposed affirmative motion.

1. Approve an adjustment to the total Zoning Ordinance-required parking for the subject property based on the availability of both joint parking and shared parking for the proposed salon and the current office tenants.
2. Recommend the Village Board approve a Special Use Permit for Personal Services for a salon located at 21195 S. La Grange Road, Units 1B and 1C, in accordance with the submitted plans, public testimony, and Findings of Fact.

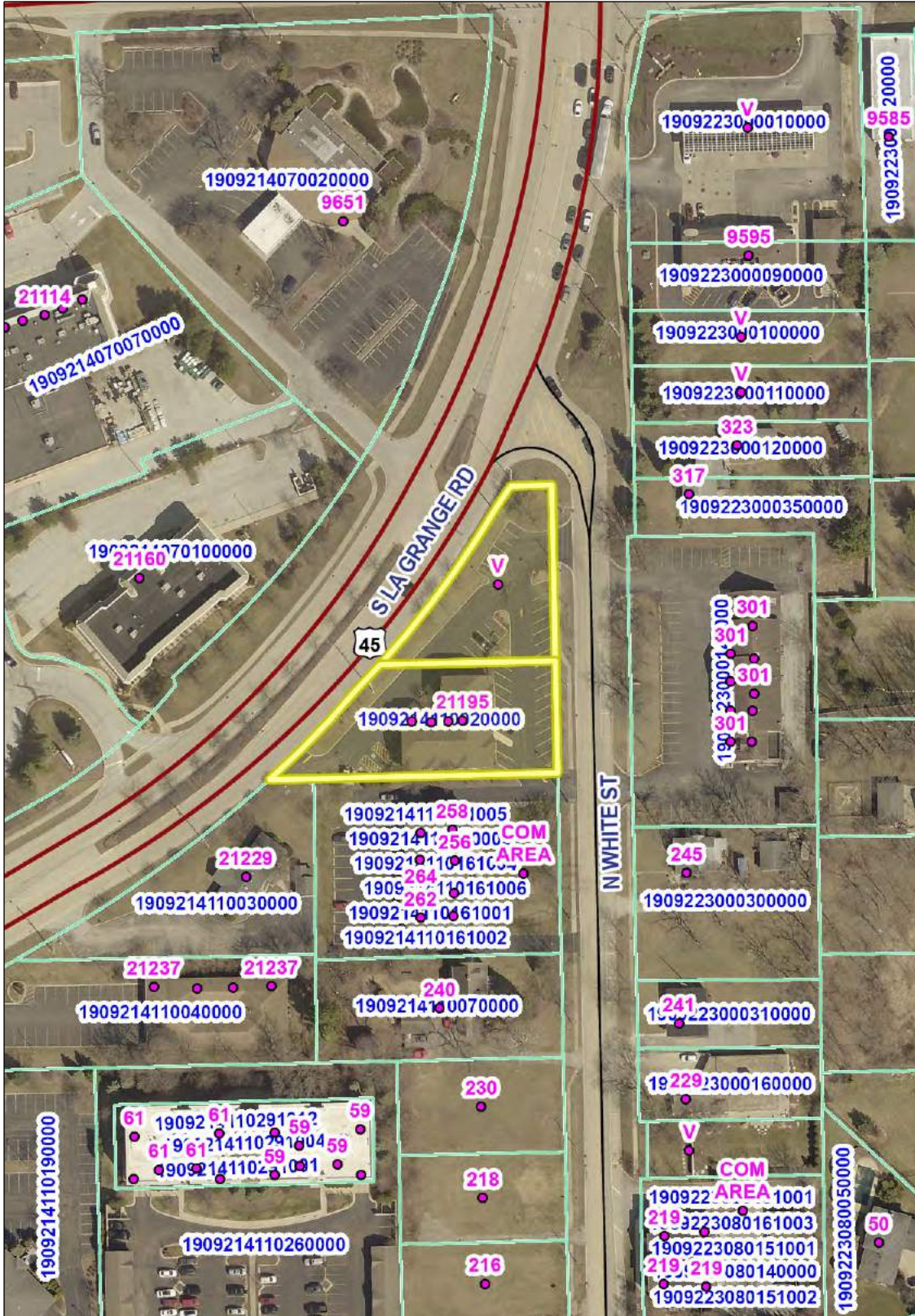


21195 S La Grange Road



Legend

- Address Points
- Roadways
 - Federal
 - State
 - County
 - Local and Private
- Parcels LY
- Townships



Notes

Date: 8/4/2022

1: 2,257



0 0.04 0.07 Miles

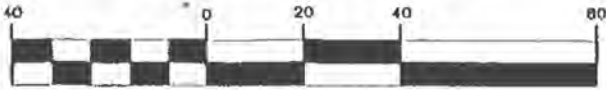
Projection

WGS_1984_Web_Mercator_Auxiliary_Sphere

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GRAPHIC SCALE

R98-106588



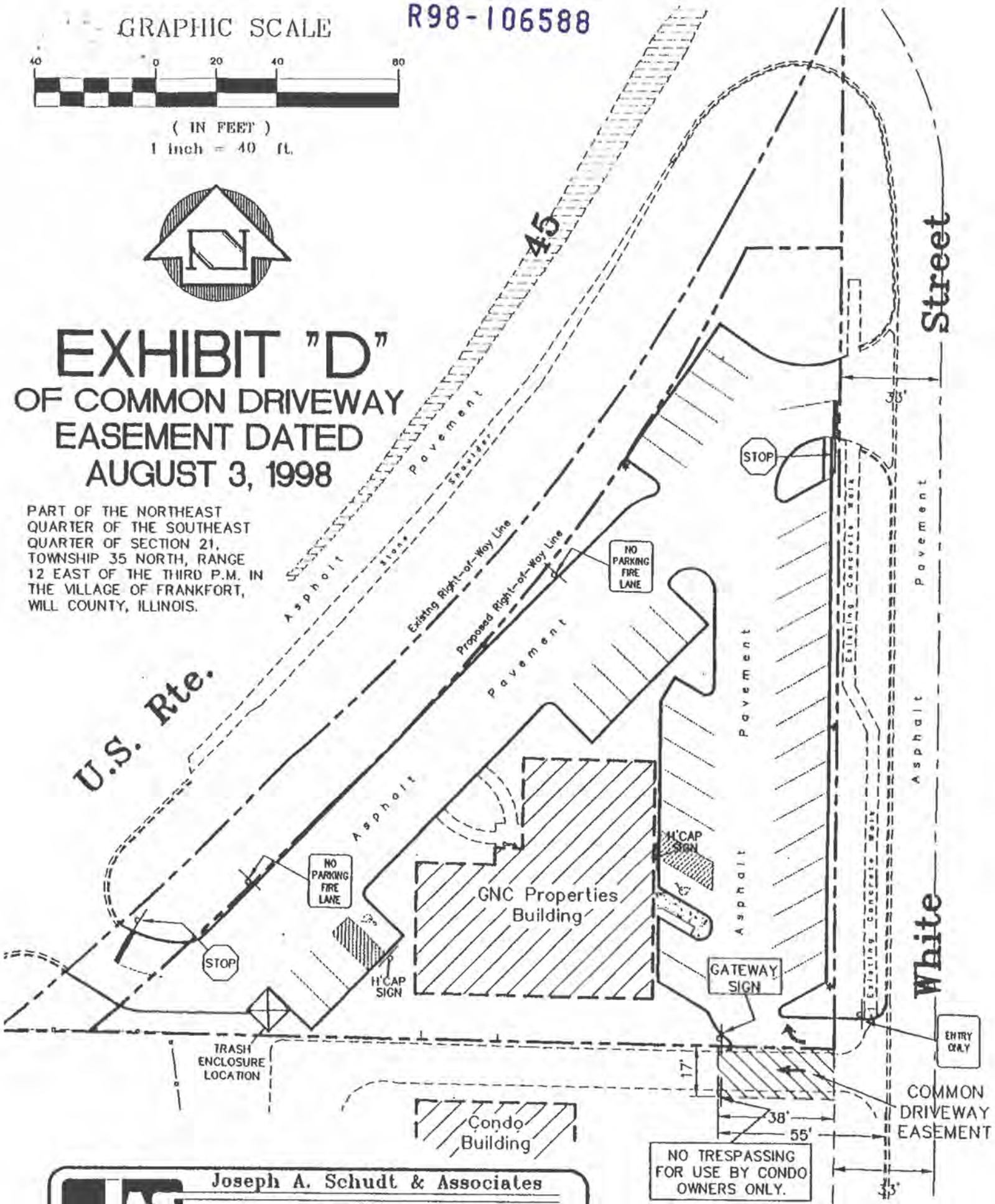
(IN FEET)
1 inch = 40 ft.



EXHIBIT "D"

OF COMMON DRIVEWAY EASEMENT DATED AUGUST 3, 1998

PART OF THE NORTHEAST
QUARTER OF THE SOUTHEAST
QUARTER OF SECTION 21,
TOWNSHIP 35 NORTH, RANGE
12 EAST OF THE THIRD P.M. IN
THE VILLAGE OF FRANKFORT,
WILL COUNTY, ILLINOIS.

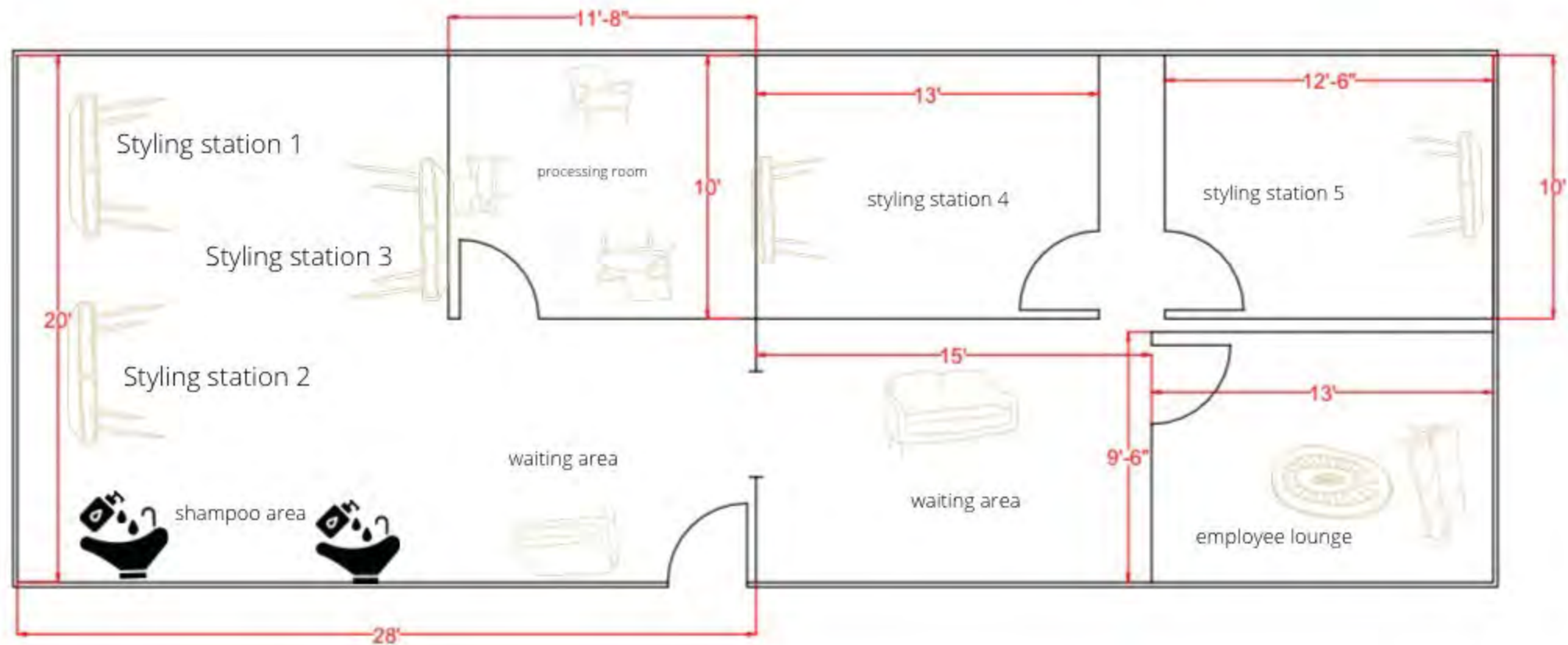


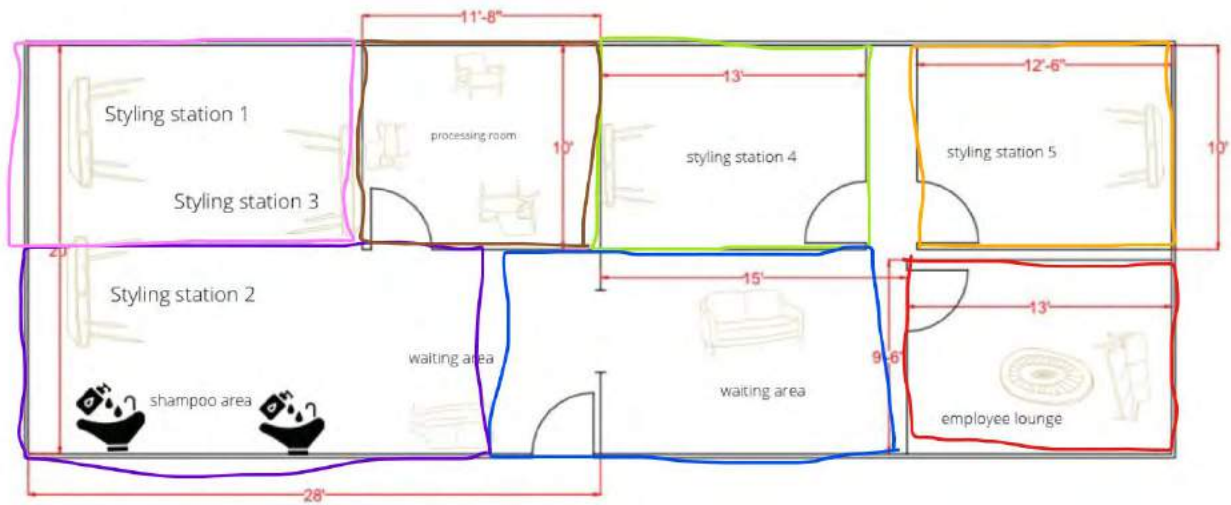
Joseph A. Schudt & Associates

19350 S. HARLEM AVENUE FRANKFORT, IL 60423
 PHONE: 708-720-1000 FAX: 708-720-1065
 e-mail: jas@jaseng.com http://www.jaseng.com

CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

RECEIVED
By aduffin at 4:16 pm, Jul 13, 2022





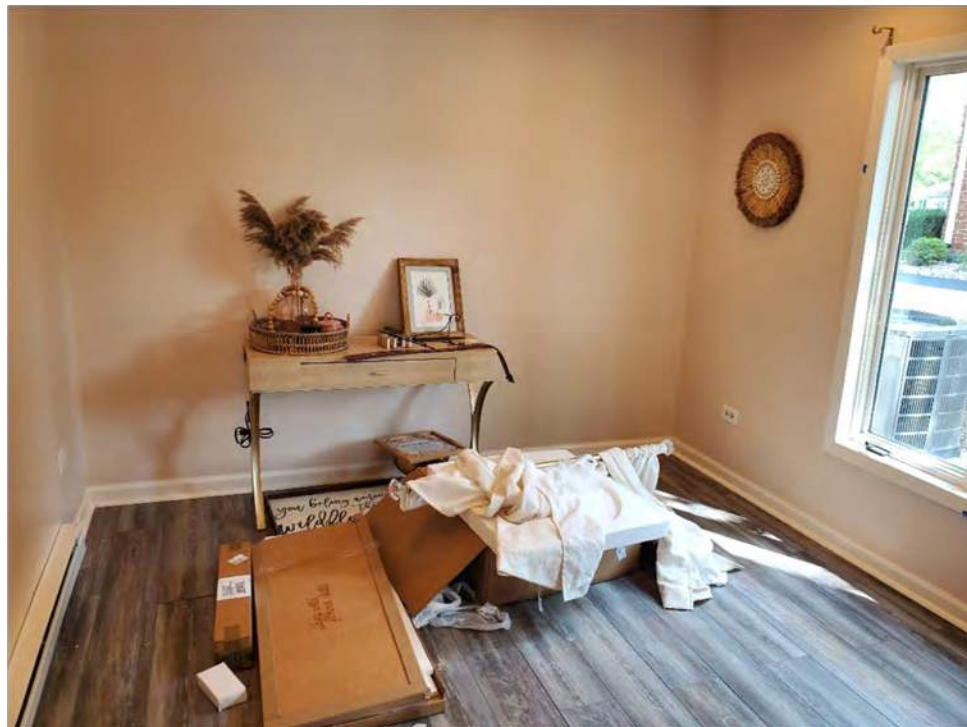
Overview Image of Suites 1B and 1C



Picture 1



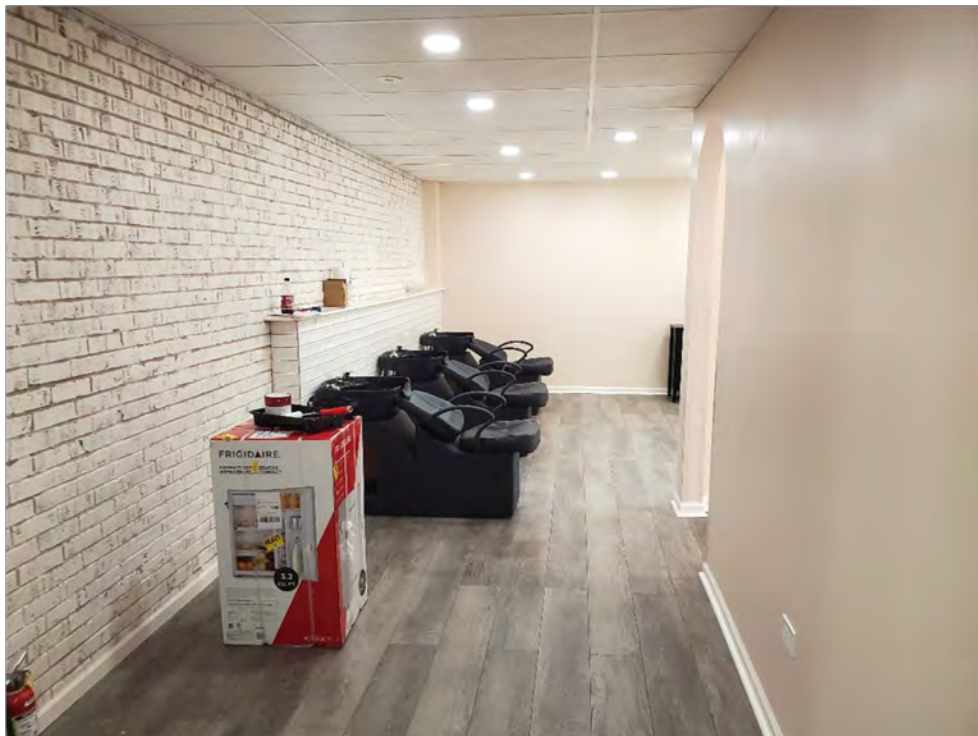
Picture 2



Picture 3



Picture 4



Picture 5



Picture 6



Picture 7



Facing SW, N side of property



Facing S, N side of property

RECEIVED

By aduffin at 4:16 pm, Jul 13, 2022

VILLAGE OF
FRANKFORT
INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following "Findings of Fact." Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.

Fact, Wild Flower Salon's business operations will not be detrimental to, or endanger public health, safety, morals, comfort or the general welfare.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Fact, Wild Flower Salon's business operations will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Fact, Wild Flower Salon's business operations will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

Fact, the exterior architectural appeal and functional plan of Wild Flower Salon will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

Fact, Wild Flower Salon will provide adequate utilities, access roads, drainage and/or necessary facilities.

6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Fact, Wild Flower Salon has taken adequate measures to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

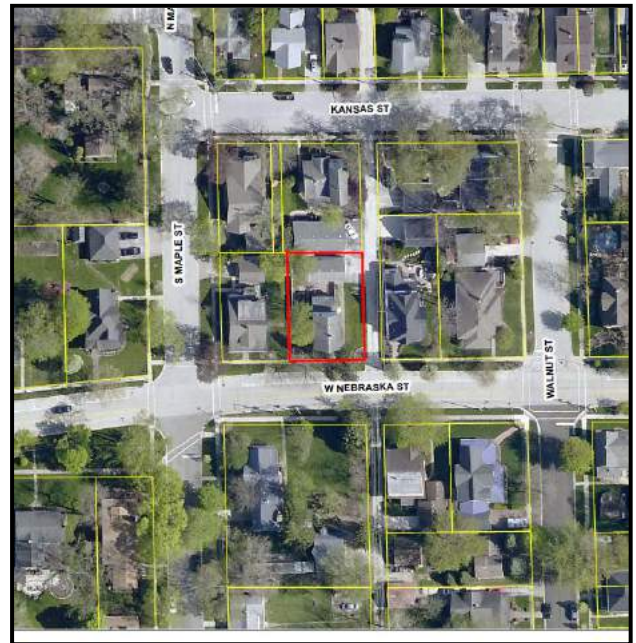
Fact, Wild Flower Salon, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Project: Plantz Variances – 213 Nebraska Street
Meeting Type: Workshop
Request: 5 Variances for remodel of existing single-family home and Plat of Resubdivision to combine underlying lots
Location: 213 Nebraska Street
Applicant: Ronald Plantz
Prop. Owner: Ronald Plantz
Representative: Gabriel Garcia c/o Ideal Custom Designs, Inc.

Site Details

Lot Size: 6,682 sq. ft.
PIN(s): 19-09-28-204-005-0000
Existing Zoning: R-2
Proposed Zoning: N/A
Buildings / Lots: 1 house w/ detached garage
Proposed house: 2,602 sq. ft. (gross living area)
Proposed garage: 648 sq. ft.

Figure 1. Location Map



Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Residential	Single-Family	R-2
North	Residential	Single-Family	R-2
South	Residential	Single-Family	R-2
East	Residential	Single-Family	R-2
West	Residential	Single-Family	R-2

Project Summary

The applicant, Ronald Plantz, seeks to add an addition to his home and demolish/rebuild the detached garage. A 15' wide public alley abuts the property along the east side property line. Historically, lots in Frankfort that have an alley along one side of the lot are still considered traditional lots and not corner lots. The proposed house style is considered "Victorian Cottage". To accommodate the proposed addition and garage, the applicant requests approval of the following five (5) variances:

Variance Request	Code Requirement	Proposed
House front yard setback	30' from front property line	12' 7"
1 st Floor masonry requirement	Masonry	Wood composite, some masonry
Accessory building setback (rear yard/north)	10' from property line	5' 7"
Rear Yard Coverage	30% max (608 SF)	32% (648 SF)
Lot Coverage	20% maximum (1,336 SF)	33.2% (2,216 SF)

Attachments

- Location Map, prepared by staff (VOF GIS) scale 1:1,000
- Plat of Survey of existing site, prepared by Preferred Survey, Inc.
- Tree Survey, prepared by JGSLA, received July 18, 2022
- Color overhead view of proposed house with lot lines, prepared by Ideal Designs, received 3.5.21
- Color 3D rendering of the house as it would appear from Nebraska Street, received July 8, 2022
- Variance findings of fact, submitted by applicant
- Downtown Residential Guidelines (Quick Checklist excerpt)
- Tax Map of the subject property
- Site Photographs, provided by applicant taken fall 2021
- Site Plan, Floor Plans and building elevation drawings prepared by Ideal Designs, received July 18, 2022

Analysis

Existing Home & Detached Garage

The existing home and lot have several existing non-conforming features:

1. The R-2 zone district requires a minimum lot size of 15,000 square feet, 100' width and 150' depth. The existing lot is 6,682 square feet in area, 67.5' wide and 99' deep and is therefore non-conforming regarding lot size, width and depth.
2. The existing house is set back 19' 11" from the front property line. The R-2 zone district requires a front yard setback of 30'.
3. The existing detached garage appears to be located less than 10' from the rear lot line (north). Accessory structures must be set back at least 10' from side or rear property lines.
4. The existing detached garage is approximately 750 square feet in area, covering approximately 37% of the rear yard. The maximum rear yard coverage is 30%, or 608 square feet in this case.
5. The existing house footprint is 801 square feet and the existing garage is approximately 750 square feet (total of 1,551 SF), resulting in an existing lot coverage of 23.2%. The R-2 zone district allows a maximum 20% lot coverage.
6. The existing house has a gross floor area (1st and 2nd floors) of 1,383 square feet. The Zoning Ordinance requires that the minimum gross floor area of a two-story dwelling be at least 2,600 square feet.
7. The existing house is constructed with wood siding. The Zoning Ordinance requires that the entire 1st floor of all single-family homes be constructed of masonry.
8. The existing basement is 537 square feet, or 67% of the area of the 1st floor. The Zoning Ordinance requires that the basement have an area at least 80% the size of the first floor.

Proposed Home

In consideration of the variance requests, staff offers the following points of discussion:

1. House Front Yard Setback

- a) The Village of Frankfort Zoning Ordinance requires a minimum front yard setback of 30' within the R-2 zoning district;
- b) The applicant proposes to construct the new home at a reduced setback of 12' 7", measured to the new front porch (existing setback is 19' 11").
- c) The following table lists the *approximate* front yard setbacks of the homes on both sides of Nebraska Street between the Fire Station (Elm Street) and Hickory Street:

	Address	Front Yard Setback Approximation (feet)
North Side	311	50
	249	20
	253	24
	247	26
	243	15
	237	14
	231	20
	221	16
	213	19' 11" (existing) 12' 7" (proposed)
	211	22
	203	18
	143	24
	139	18
South Side	266	28
	258	45
	248	33
	244	28
	240	30
	236	40
	102 (Maple)	29
	220	22
	218	16
	X	17
	144	10
	136	14
	102 (Hickory)	20
	Avg. Setback North Side	22
	Avg. Setback South Side	26

2. First Floor Building Materials variance

- The Village of Frankfort Zoning Ordinance requires that all homes within the R-2 zoning district be constructed with first floor masonry (*brick, stone, etc.*). All of the existing wood siding on the house would be replaced primarily with LP Smart Siding (a wood composite). The base of the house, approximately 3.5' from the ground, will be wrapped with rock face stone on all four sides.
- Building height is measured to the peak of a building roof. The proposed house measures 34' 11" to the peak, which is below the 35' maximum height permitted;
- It should be noted that most of the homes along both sides of Nebraska Street between the Fire Station and Hickory Street are non-masonry in construction: There is only one masonry house on the north side of Nebraska Street (203 Nebraska), unless stucco siding is considered masonry (221 Nebraska, adjacent to the subject property). There is only one masonry house on the south side of Nebraska Street (218 Nebraska). All other homes consist of wood, vinyl or shake siding.

3. Accessory Building Rear Yard Setback

- a) The existing accessory building (detached garage) would be demolished and reconstructed in the same general area, although it will be moved closer to the alley. Detached garages must be set back at least 10' from side and rear property lines. Per recent aerial photography, the existing garage appears set back approximately 0' from the north (rear) property line and 17' from the east (side) property line. Per the survey prepared by Preferred Survey, the setbacks are unclear but seems to illustrate a setback of approximately 5' from the north (rear) property line and 17' from the east (side) property line. In either case, the existing garage is considered existing, non-conforming regarding the rear yard setback.
- b) The proposed garage would be set back 5' 7" from the north (rear) property line and 10' from the east (side) property line, requiring a variance for the setback from the rear property line.
- c) The proposed garage would measure 36' long by 18' wide. It's unclear from the survey what the existing garage's size and dimensions are, but it appears to be quite similar to the proposed garage.
- d) Many homes within the downtown area and along this section of Nebraska Street have detached, rear yard garages.

4. Rear Yard Coverage

- a) The maximum rear yard lot coverage in the R-2 zone district is 30%. The required rear yard measures 30' deep by 67.50' wide, for a total area of 2,025 square feet. As such, no more than 608 square feet of roofed structures are permitted within the required rear yard. Structures with roofs count toward rear lot coverage.
- b) The proposed detached garage would be situated entirely within the rear yard, measuring 18' wide by 36' long, for a total of 648 square feet. This area exceeds the 608 square foot rear yard coverage and would require a variance.

5. Lot Coverage

- a) The Village of Frankfort Zoning Ordinance permits a maximum lot coverage of 20% for a two-story home within the R-2 zoning district resulting in a permitted coverage of 1,336.5 square feet for the subject property. Structures with roofs count toward lot coverage.
- b) The existing home and garage currently amount to approximately 1,600 square feet for a 24% lot coverage and is considered existing, non-conforming.
- c) The proposed home addition and detached garage equate to a lot coverage of 2,216 square feet (33.2%), in excess of ordinance requirements and will require a variance to further this non-conformity.

Plat of Resubdivision:

The subject property, although 1 parcel, has 2 underlying lots which must be combined as part of the proposed building addition and site improvements. The required Plat of Subdivision has not been included at this time but will be provided prior to scheduling a future public hearing.

Other:

- 1. The Village ordinance requires two-story homes within the R-2 zone district provide a minimum square footage of 2,600 square feet of floor area (1st and 2nd floor areas). The existing house is 1,383 square feet in livable area and is considered existing, non-conforming. The proposed house, after the addition, will be 2,602 square feet, meeting this requirement and could obtain conformity with this section of code.

2. The applicant has submitted a tree survey of the property, which illustrates 6 existing trees. The tree survey was prepared during a former version of the plan which included a front porch gazebo structure which has since been removed to lower the number of requested variances. None of the trees are classified as “preservation trees” in the Landscape Ordinance. 2 of the 6 trees would be removed for the proposed project, including the two Norway Spruce trees in the front yard.

2019 Comprehensive Plan:

The proposed site improvements employ some desirable elements as listed in the Downtown Frankfort Residential Design Guidelines of the 2019 Comprehensive Plan. The “Quick Checklist” from these guidelines have been included with this report.

1. Detached garage in the rear of the property (page B-2)
2. Historically relevant architectural style that includes multi-pane windows, columns and railings (page B-2)
3. High-quality wood composite materials, using LP Smart Siding (page B-2)
4. Not using excessively bright or brilliant colors (page B-2)
5. A well-defined, pedestrian scale entrance including covered porch (page B-2)

For reference, the following addresses in the downtown have received variances for building additions or site improvements:

R-2 Zone Requirements

Standard (R-2)	Requirement
Lot Size	15,000 square feet
Lot Width	100'
Lot Depth	150'
Front Yard Setback	30'
Side Yard Setback	At least 25' total, not less than 10' each side
Rear Yard Setback	30'
Building Height	35'
Lot Coverage Max (%)	20% (25% for a one-story house)
Impervious Coverage Max (%)	40%
Driveway setback	5' (4' side loaded)
Accessory structure setback	10' from side or rear lot lines

213 Kansas (Kirsch) (PC review 1.24.19)

Standard	Provided
Lot Size: 15,000 SF min	6,183
Lot Width: 100' min	61.83'
Lot Depth: 150' min	100'

Variances granted:

1. Front yard setback: 13.4' (30' required)
2. Side yard setbacks: of 10' and 10' (at least 25' total both sides required)
3. Rear yard setback: 15.1' (30' required)
4. Lot coverage: 30% (20% max permitted)
5. Driveway setback: 0.5' (5' required)
6. First floor building materials (masonry required)

215 Kansas (Gallagher) (PC review 8.14.08)

Standard	Provided
Lot Size: 15,000 SF min	4,950
Lot Width: 100' min	50'
Lot Depth: 150' min	100'

Variances granted:

1. Lot Coverage: 38.3% (20% max permitted)
2. First floor building materials for accessory structure (masonry required)
3. Detached garage side yard setback: 0' (10' required)

140 Walnut (McLean) (PC review 1.25.18)

Standard	Provided
Lot Size: 15,000 SF min	6,275
Lot Width: 100' min	50'
Lot Depth: 150' min	125.5'

Variances granted:

1. Front yard setback: 15.67' (30' required)
2. Side yard setback: 5' (10' required)
3. Lot coverage: 33.5% (20% max permitted)
4. First floor building materials (masonry required)

200 W. Nebraska (Leonard) (PC review 11.8.12)

Standard	Provided
Lot Size: 15,000 SF min	7,000
Lot Width: 100' min	70'
Lot Depth: 150' min	100'

Variances granted:

1. Lot Coverage: 34% (20% max permitted)
2. Driveway setback: 0' (5' required)
3. Detached garage setback: 0' from south lot line, 4.1' from west lot line (10' required)
4. Detached garage height: 21' 4" (15' max permitted)

210 Walnut (Winters) (PC review 3.10.11)

Standard	Provided
Lot Size: 15,000 SF min	11,044
Lot Width: 100' min	90' (approximate)
Lot Depth: 150' min	130' (approximate)

Variances granted:

1. Front yard setback: 19' (30' required)
2. Building height: 36' (35' max permitted)
3. Lot Coverage: 29% (20% max permitted)
4. Driveway setback: 2' (5' required)
5. First floor building materials (masonry required)
6. Accessory structure setback: 2' to both north and west property lines (10' required)

23 W. Bowen Street (Gander) (PC review 8.22.13)

Standard	Provided
Lot Size: 15,000 SF min	8,720
Lot Width: 100' min	52' (approximately)
Lot Depth: 150' min	172' (approximately)

Variances granted:

1. Side yard setback: 6.4' (10' required)
2. Lot Coverage: 26% (20% max permitted)
3. Driveway setback: 2' (5' required)
4. First floor building materials (masonry required)
5. Accessory structure setback from side property line: 5' (10' required)

147 White Street (Lalley) (PC review 7.8.10)

Standard	Provided
Lot Size: 15,000 SF min	21,484
Lot Width: 100' min	130'
Lot Depth: 150' min	165'

Variance granted:

1. Detached garage setback 6.5' from side property line (10' required)

44 W. Bowen Street (Carroll/Watson) (PC review 8.12.10)

Standard	Provided
Lot Size: 15,000 SF min	16,175
Lot Width: 100' min	100' (approximately)
Lot Depth: 150' min	160' (approximately)

Variance granted:

1. Accessory structure (shed) 0' setback from rear property line (10' required)

140 Maple (Triezenberg) (PC review 9.8.16)

Standard	Provided
Lot Size: 15,000 SF min	6,250
Lot Width: 100' min	50' (approximately)
Lot Depth: 150' min	130' (approximately)

Variance granted:

1. Driveway setback 0' (5' required)

143 Kansas Street (Brown) (PC review 3.25.21)

Standard	Provided
Lot Size: 15,000 SF min	5,000
Lot Width: 100' min	50'
Lot Depth: 150' min	100'

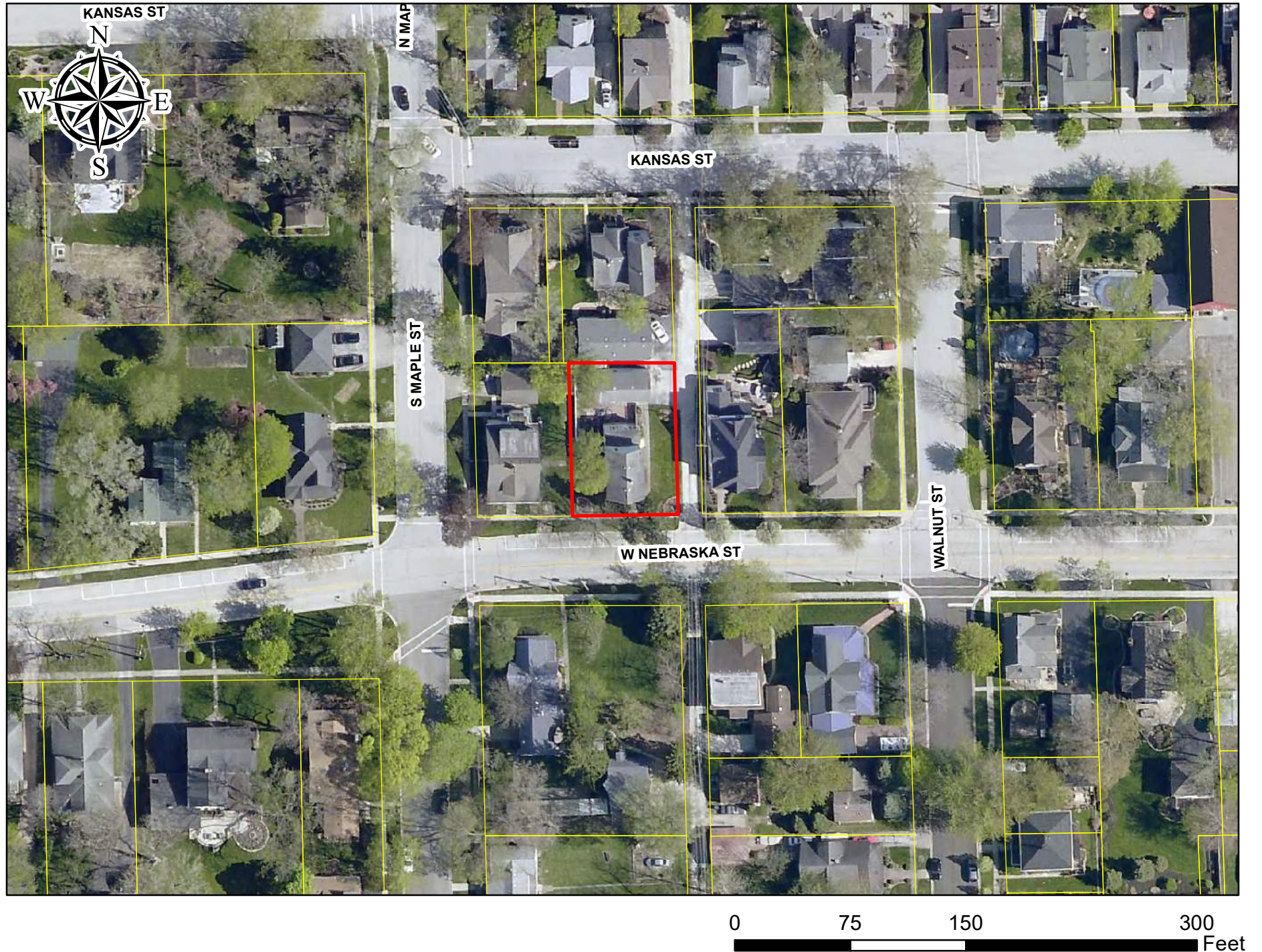
Variances granted:

1. Front yard setback: 10' (30' required)
2. Side yard setback: 5' (13' required)
3. Detached garage setback from rear property line: 0.5' (10' required)
4. Detached garage setback from side property line: 2' (10 required)
5. Driveway setback: 2' (5' required)
6. Lot coverage: 41% (20% max permitted)
7. Impervious lot coverage: 46% (40% max permitted)
8. First floor building materials (masonry required)

Affirmative Motions (for future public hearing only)_____

1. Recommend the Village Board approve the variance request to reduce the required front yard setback for the primary structure from 30' to 12' 7", on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.
2. Recommend the Village Board approve the variance request for 1st floor building materials to allow non-masonry siding on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.
3. Recommend the Village Board approve the variance request to reduce the required rear yard setback for an accessory building from 10' to 5' 7", on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.
4. Recommend the Village Board approve the variance request to exceed the maximum rear yard coverage to allow 32% instead of 30%, on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.
5. Recommend the Village Board approve the variance request to exceed the maximum lot coverage to allow 33.2% instead of 20%, on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.

213 Nebraska Street - Plantz Renovation

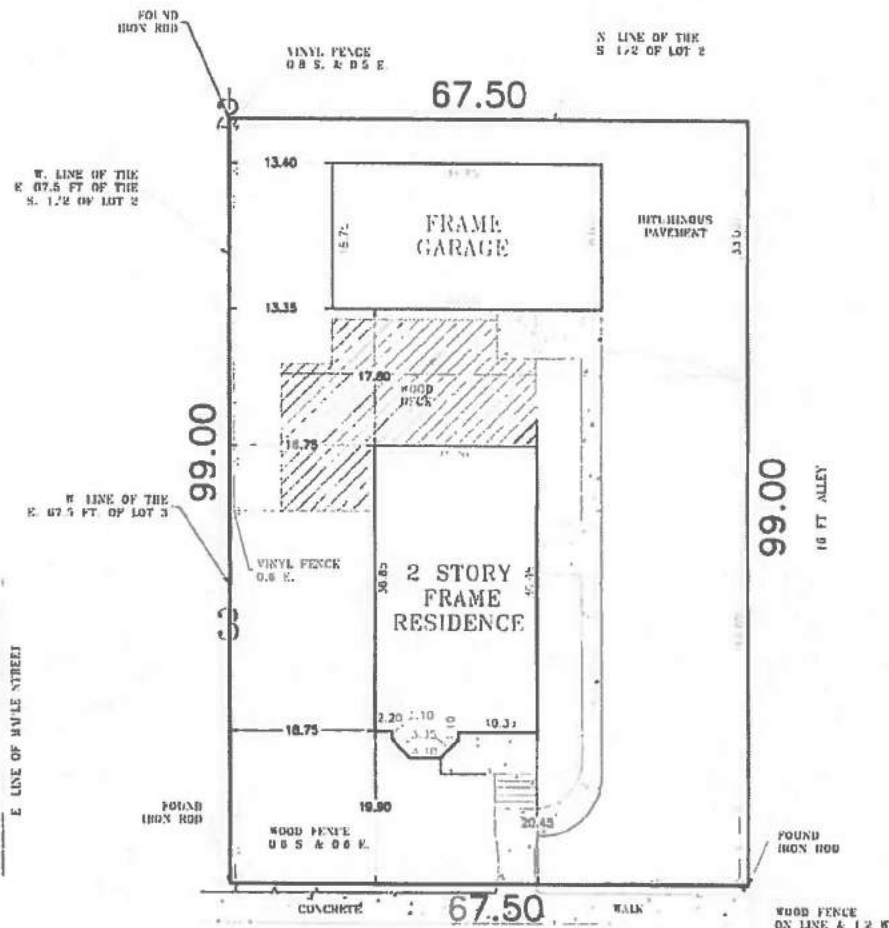


OF THE EAST 87.5 FEET OF THE SOUTH 1/2 OF LOT 2 AND THE EAST 87.5 FEET OF LOT 3, IN BLOCK 2, IN HOWEY'S ADDITION TO THE VILLAGE OF FRANKFORT, LOCATED ON THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 35 NORTH, AND IN RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 9, 1880, AS DOCUMENT NO. 22890, IN WILL CO. ST. ILLINOIS.

ADDRESS: 211 W. NEBRASKA STREET, FRANKFORT, ILLINOIS



SCALE: 1"=15'



W. NEBRASKA STREET



TO: ZARE

PROFESSIONAL NATIONAL TITLE NETWORK, INC.

THIS IS TO CERTIFY THAT WE, PREFERRED SURVEY, INC., ILLINOIS PROFESSIONAL LAND SURVEYOR CORPORATION NO. 110 HAVE SURVEYED THE PROPERTY DESCRIBED ABOVE AND THAT THE PLAT SHOWN HEREON IS A CORRECT REPRESENTATION OF THE SURVEY, ALL DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

GIVEN UNDER OUR HAND AND SEAL AT GLEN ELLYN, ILLINOIS, THIS
30 DAY OF JULY, 1964 A.D.

ILLINOIS PROFESSIONAL LAND SURVEYOR CORPORATION 1116

P.S.I. NO.
P.N.T.N.

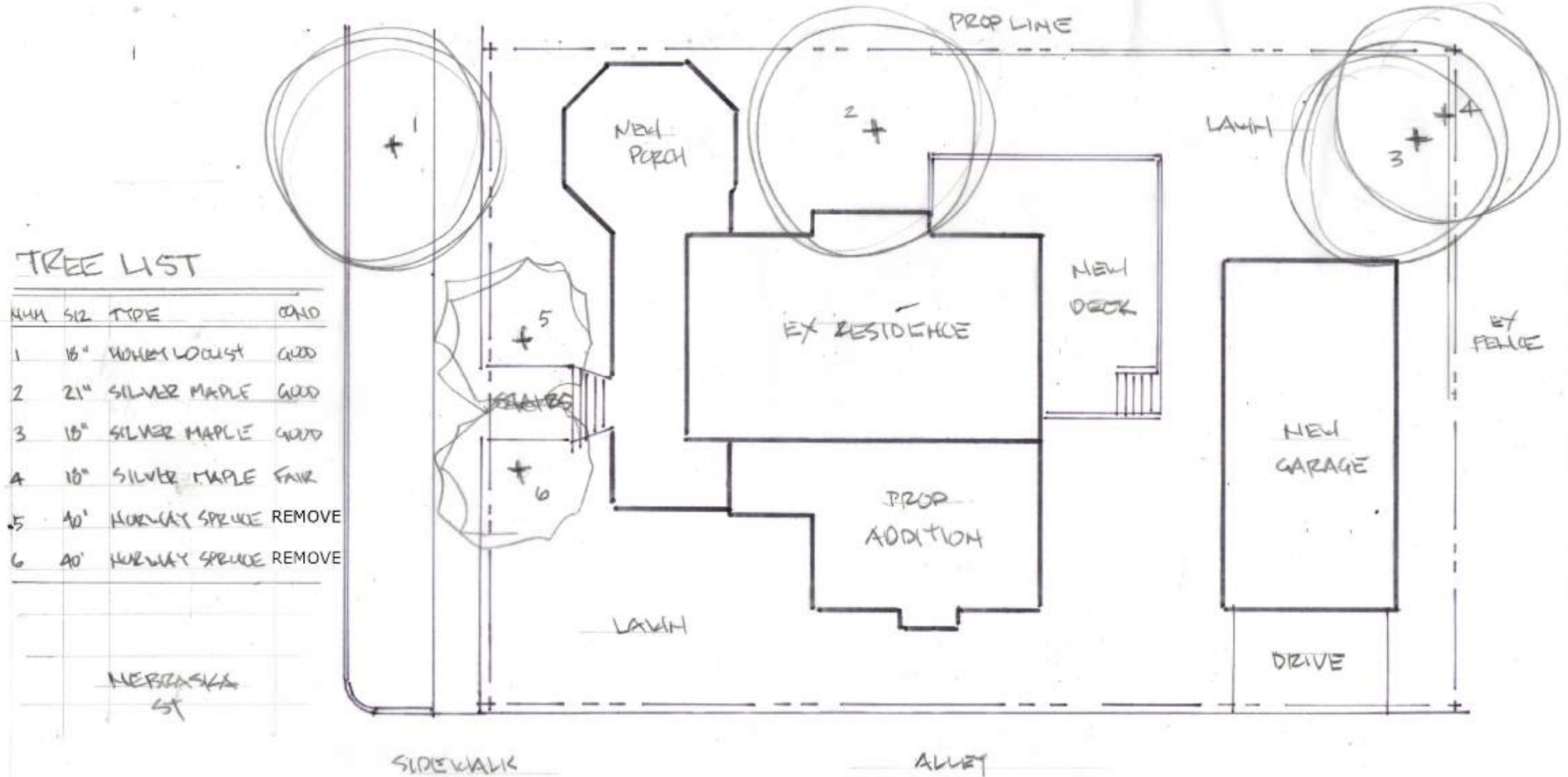
FLD CREW
CAD



PREFERRED SURVEY, INC.

799 W. Roosevelt Road/Building #4, Suite 385/Glen Ellyn, IL 60137
Phone 630-796-6481 / Fax 630-858-8217

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PLANTZ RESIDENCE
213 NEBRASKA ST FRANKFORT IL

TREE SURVEY
1"=10' N→ 6/22

JGSLA 1
708 361 5124 OF 1



RECEIVED

By Christopher Gruba at 3:21 pm, Jul 08, 2022



VILLAGE OF

FRANKFORT

INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following "Standards of Variation." Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

Yes, the property can yield a reasonable return. The property is over 100 years old and is not functional to today's modern living.

2. That the plight of the owner is due to unique circumstances; and

Yes, a non-compliant lot, it is on the corner of an alley. To meet square footage code, we have to add the large addition to the house.

3. That the variation, if granted, will not alter the essential character of the locality.

No, it will not alter it. It will actually contribute to the character of the locality.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional "Standards of Variation."

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

The strict letter could not be met, regardless, without a variance to meet zoning code.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

Not at all.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

Not at all, it is a \$500,000 renovation.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

No, it has not.

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

No, it will not.

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

We feel it would not. It would appreciate the value of the neighborhood.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

Not at all.

B | downtown residential design guidelines

QUICK CHECKLIST

The set of questions listed below are framed in such a way that if your answer is “yes” - it is likely that the design is on the right track towards contributing to the type of character and quality Frankfort seeks to maintain. The photos shown to the right are examples of residences that fulfill these design ideals. If the answer is not clear, or is questionable, you should look for ways to improve upon this design element.

Note: All new residential construction, building additions, and development in general must comply with the Zoning Ordinance regulations including but not limited to setbacks, height, lot coverage, and building materials.

- | | |
|---|--|
| 1. Does the building architecture complement and fit the character of surrounding structures - consider scale, setback, building height? | <input type="checkbox"/> Yes
<input type="checkbox"/> No
<input type="checkbox"/> Maybe |
| 2. Does the structure's architecture delineate and highlight the primary entrance? | <input type="checkbox"/> Yes
<input type="checkbox"/> No
<input type="checkbox"/> Maybe |
| 3. Are the proposed building materials consistent with the intended architectural style of the home and complementary to the materials utilized on the homes in the surrounding area? | <input type="checkbox"/> Yes
<input type="checkbox"/> No
<input type="checkbox"/> Maybe |
| 4. Are simplified roof forms provided that are consistent with both the intended architectural style and roof forms of homes in the surrounding area? | <input type="checkbox"/> Yes
<input type="checkbox"/> No
<input type="checkbox"/> Maybe |
| 5. Are there step-backs to the facade and / or architectural details that add depth and dimension, i.e. porches, bay windows? | <input type="checkbox"/> Yes
<input type="checkbox"/> No
<input type="checkbox"/> Maybe |
| 6. Are there interesting architectural details and landscape treatments integrated on site that complement the residence? | <input type="checkbox"/> Yes
<input type="checkbox"/> No
<input type="checkbox"/> Maybe |
| 7. Are the predominate facade colors / building materials of a natural color palette that is complementary to the homes in the surrounding area. | <input type="checkbox"/> Yes
<input type="checkbox"/> No
<input type="checkbox"/> Maybe |



Frankfort Township
W.1/2 N.E.1/4 Sec.28 T.35N. R.12E.

Will County, Illinois
Tax Assessment Map
Revised for the 2021 Assessment
Copyrighted 2021 by Will County GIS Division

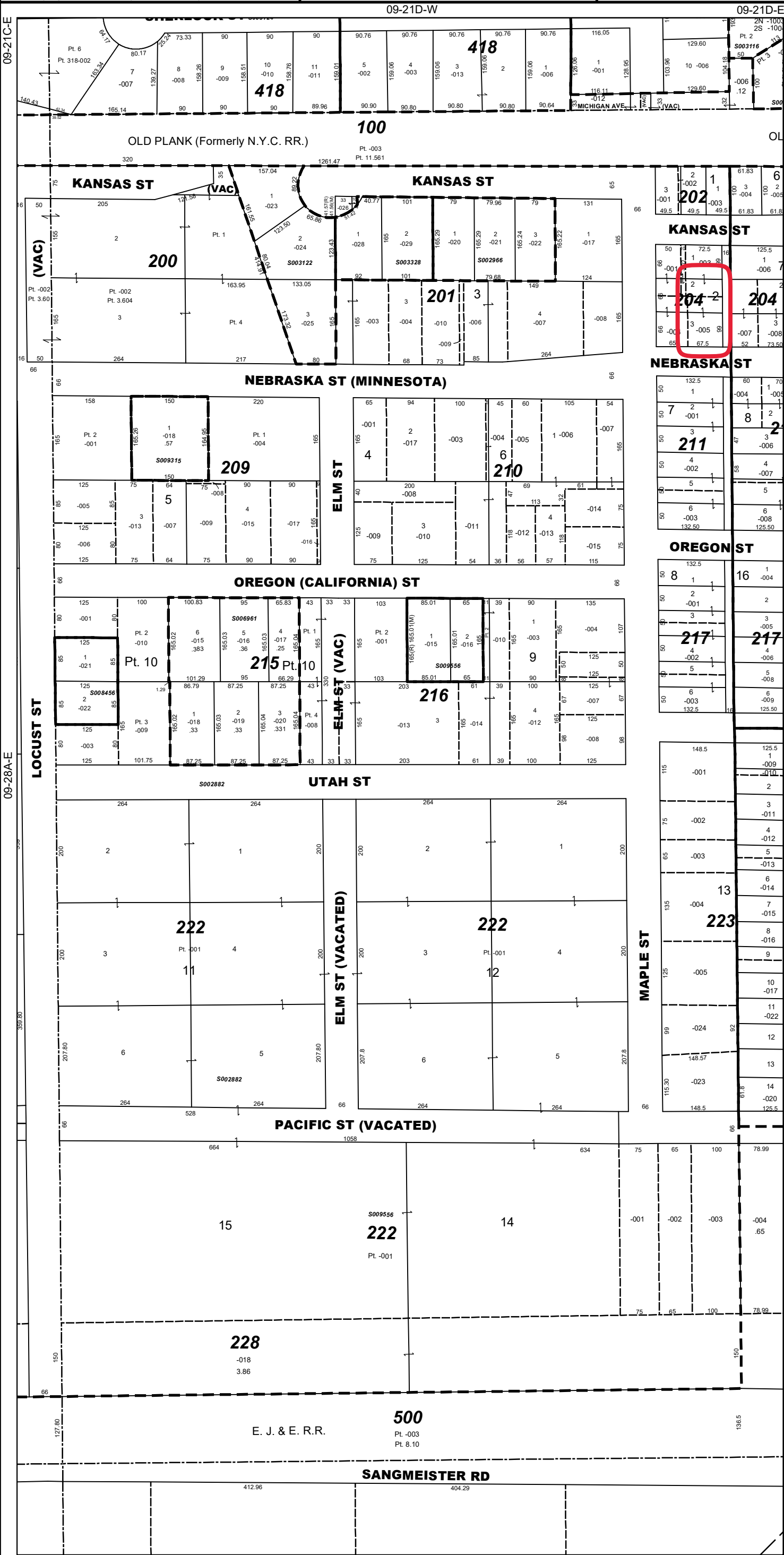
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Jennifer Bertino-Tarrant
County Executive
Rhonda R. Novak
Supervisor of Assessments

Subdivision List

- S002882**
Bowen's Addn.
2-46
- S002966**
David Mundo's Sub
R88-008292
- S003025**
Original Town of Frankfort
2-45
- S003122**
Kansas Street Resub
R89-034948
- S003161**
Mc Donald's Sub
10-43
- S003328**
Rudy Zvonek Resub
R91-027204
- S006961**
Bartkus Sub
R2001-126568
- S008456**
Parkview Resubdivision
R2005-133734
- S009315**
Spencer's Resub
R2010-091301
- S009556**
Lisburn Sub
R2014-084334







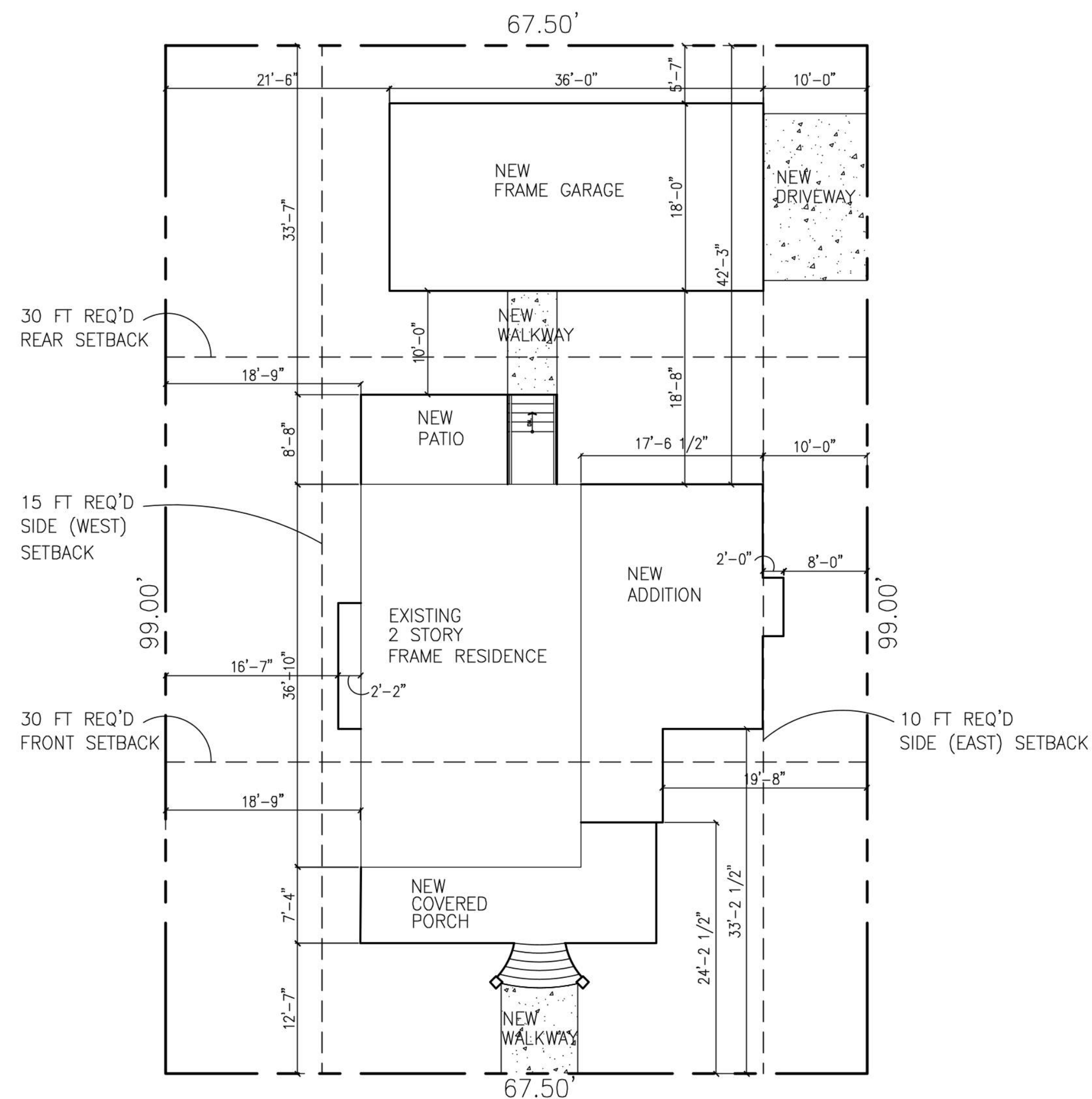








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W. NEBRASKA ST.

SITE PLAN

$$1' - 0'' = 10'$$


ZONING DATA

ZONING DISTRICT:	R-2 SINGLE FAMILY RESIDENTIAL DISTRICT		
USE:	SINGLE FAMILY DWELLING		
DENSITY, DIMENSIONAL, AND OTHER STANDARDS			
	REQUIRED MINIMUM	ACTUAL	COMPLY
DWELLING UNITS:	2.25 MAX.	1	YES
LOT SIZE:	15,000 S.F.	6,682 S.F.	NO
LOT WIDTH:	100 FT.	67.5 FT.	NO
LOT DEPTH:	150 FT.	99 FT.	NO
MINIMUM REQUIRED YARDS:			
	REQUIRED MINIMUM	ACTUAL	COMPLY
FRONT	30 FT.	12'-7"	NO
SIDE (EAST)	10 FT.	10'-0"	YES
SIDE (WEST)	15 FT.	18'- 9"	YES
REAR	30 FT.	42'-3"	YES
BULK DIMENSIONS:			
	REQUIRED MINIMUM	ACTUAL	COMPLY
HEIGHT:	35 FT. MAX.	34'-11" FT.	YES
LOT COVERAGE:	1,336 S.F. MAX. (20% MAX.)	2,216 S.F. (33.2%) (HOUSE, GAR, & COV. PORCH)	NO
IMPERVIOUS COVERAGE:	2,673 S.F. MAX (40% MAX.)	2,647 S.F.	YES
REAR YARD COVERAGE	608 S.F. (30% MAX., 2,025X.3)	648 S.F.	NO
GROSS FLOOR AREA:	MIN. 2,600 S.F.	2,602 S.F.	YES
BASEMENT FLOOR AREA:	1,070 S.F. (80% MIN., 1,338X.8)	1,122 S.F.	YES
MATERIALS:			
	REQUIRED MINIMUM	ACTUAL	COMPLY
1ST FLR. PRIMARY MATERIAL:	BRICK, STONE, OR MASONRY MATERIAL	LP SMART SIDING	NO
1ST FLR. ARCHITECTURAL ACCENT MATERIAL:	NON-MASONRY MATERIAL, 15% MAX. ON ANY FACADE	YES	YES
1ST FLR. MATERIALS NOT ALLOWED:	PLYWOOD, VINYL, STEEL, & ALUMINUM SIDING	NONE	YES
MATERIALS NOT ALLOWED:	SPLIT FACE BLOCK	NONE	YES
ACCESSORY STRUCTURES:			
	REQUIRED MINIMUM	ACTUAL	COMPLY
NORTH SIDE YARD SETBACK	10 FT.	5'-7"	NO
HEIGHT:	15 FT. MAX.	14'-7 1/2"	YES

HOUSE SQ. FT. AREA

	EXISTING	NEW	TOTAL
BASEMENT:	537	585	1,122
FIRST FLOOR:	801	527	1,328
SECOND FLOOR:	582	650	1,274
TOTAL LIVING AREA:			2,602
COVERED PORCH:			240
REAR PATIO:			123
DRIVE/WALK WAYS & FRONT STAIR:			384



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ARCHITECTS / DESIGNERS

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SUITE A

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F: (779) 333-7960

be@idealcustomdesigns.com
www.idealcustomdesigns.com

www.idealcustomdesigns.com

PLANTZ RESIDENCE
213 W. NEBRASKA ST.
FRANKFORT, ILLINOIS

DATE: _____

EXP. DATE:

DESIGN FIRM REG. NO.

34.006972

EXP. DATE

EXP. DATE
4-30-23

REVISIONS

[illegible]

DATE:

7-12-22

DRAWN BY: _____ PAPER: _____

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PROJECT NO.

1141

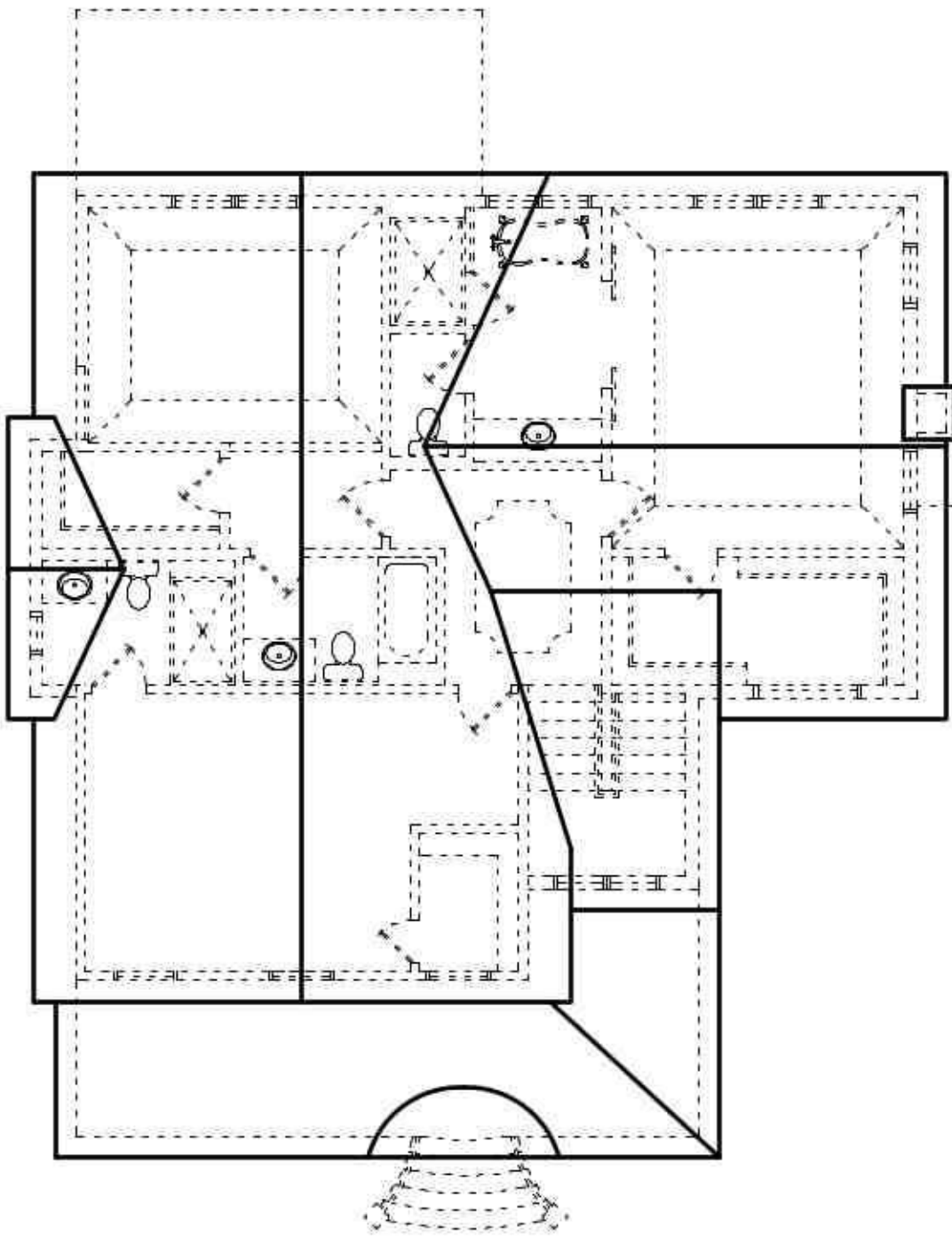
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S-1



FRONT ELEVATION

1/4" = 1'-0"



ROOF PLAN

1/8" = 1'-0"



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PROJECT NO. 21141

SHEET NUMBER
A-1



REAR ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

1/8" = 1'-0"

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DATE:
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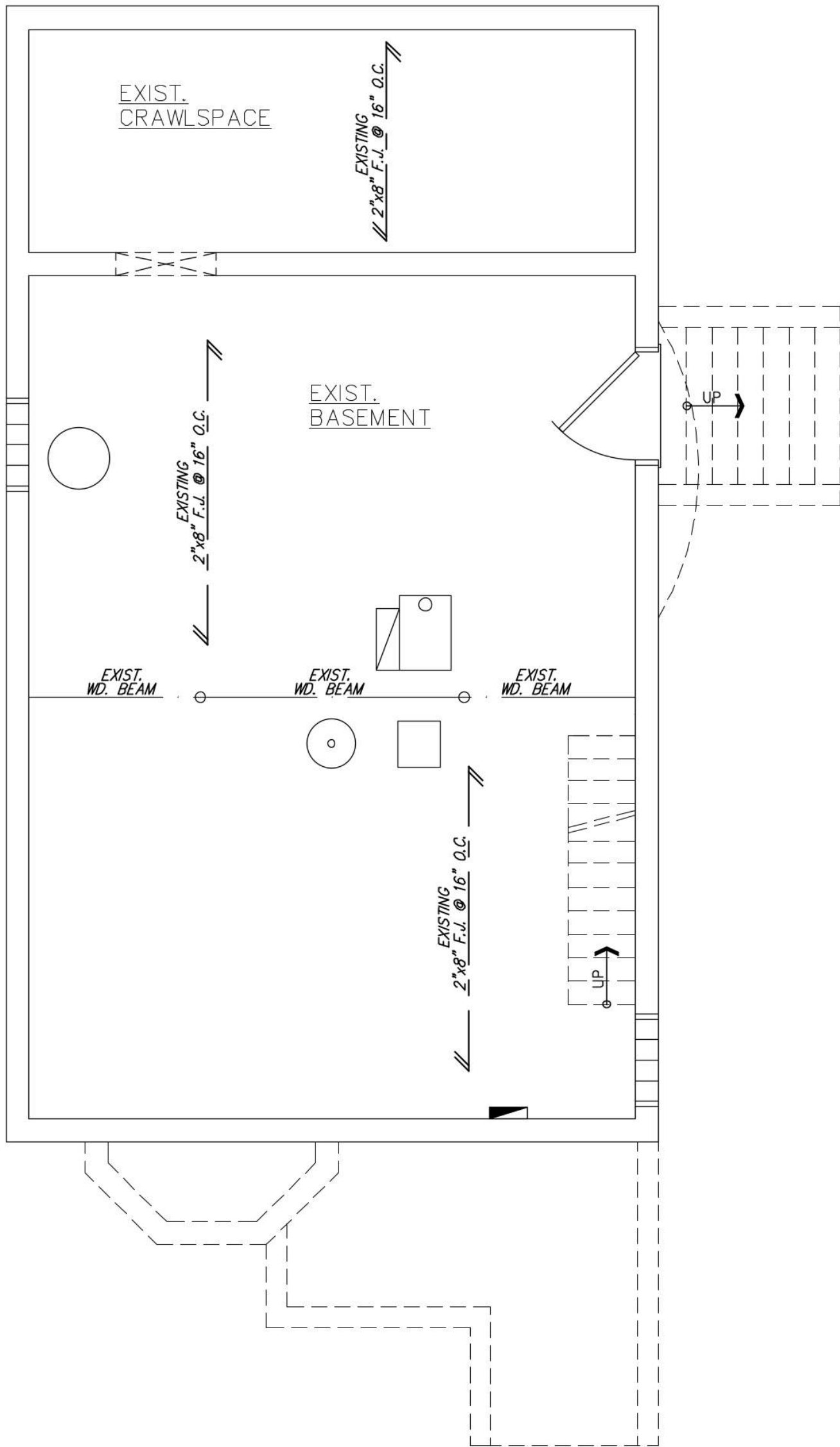
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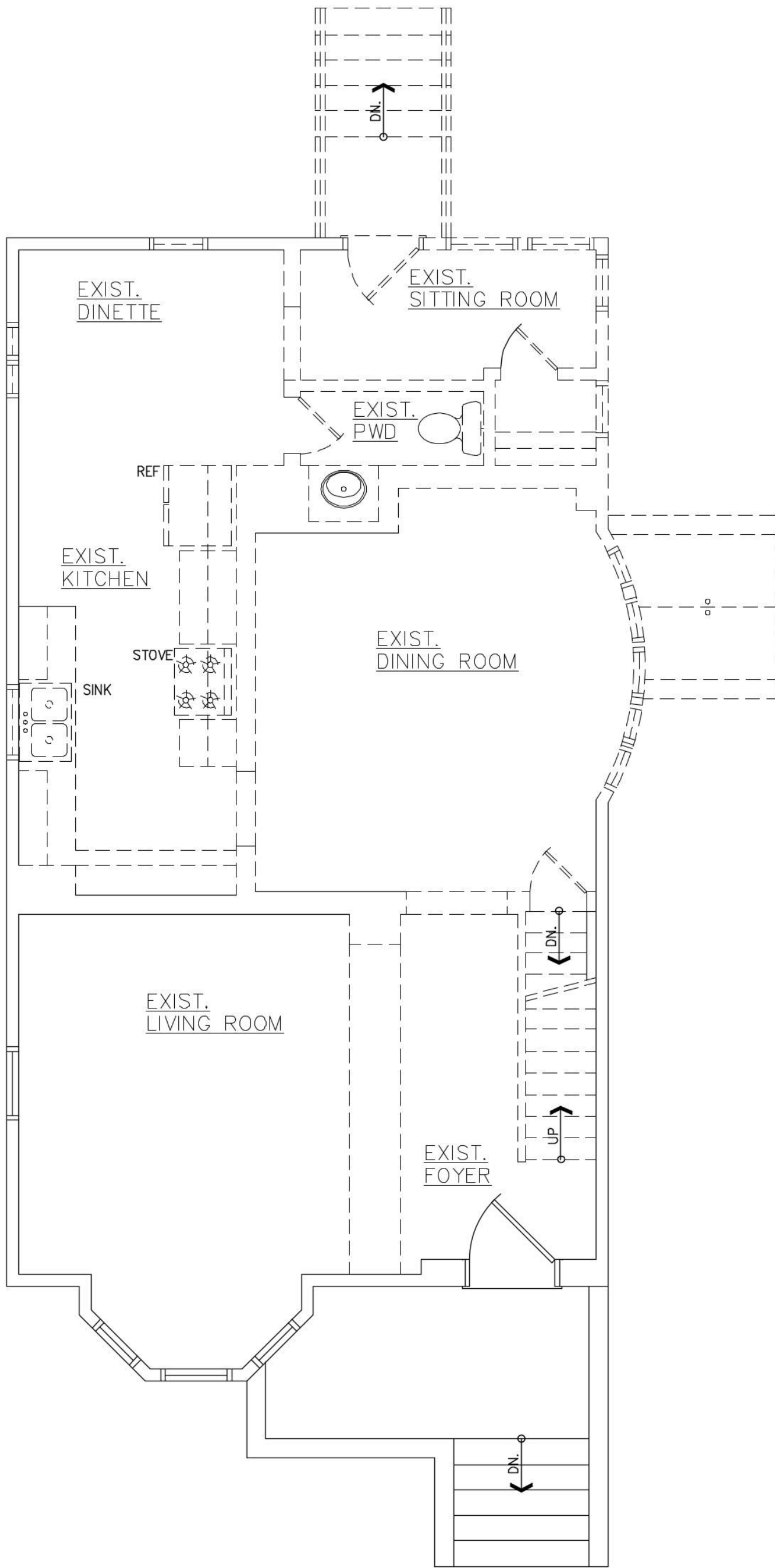
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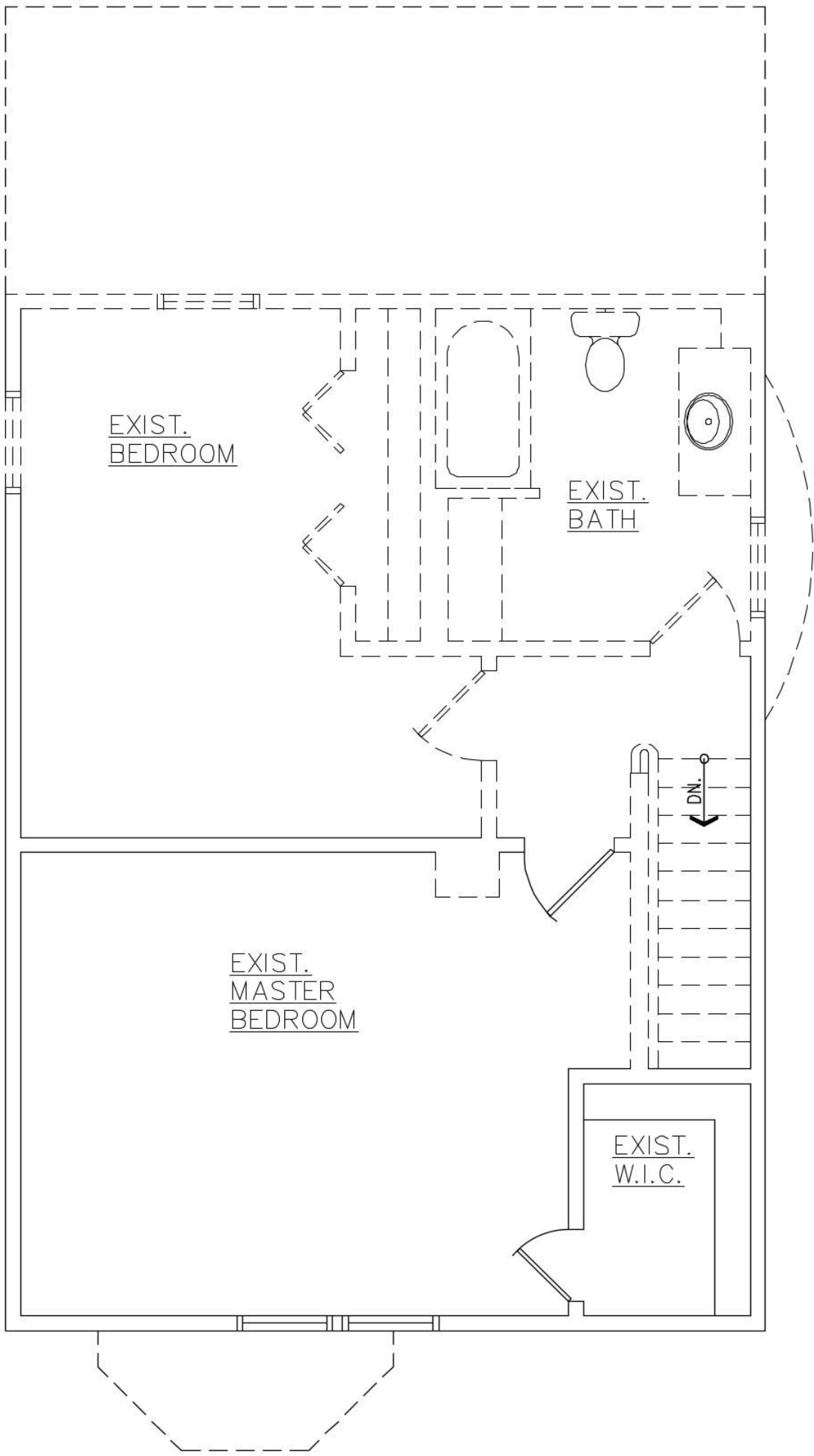
A-2



EXISTING/DEMO.
FOUNDATION PLAN
537 SQ. FT.



EXISTING/DEMO.
FIRST FLOOR PLAN
801 SQ. FT.



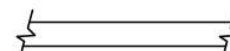
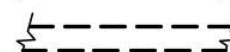
EXISTING/DEMO.
SECOND FLOOR PLAN
582 SQ. FT.

DEMOLITION NOTES:

1. THE CONTRACTOR IS REQUIRED TO FIELD VERIFY PIPING LOCATION AND INVERTS FOR CONNECTION TO NEW PLUMBING FIXTURES.
2. ANY WASTE OR VENT PIPING CAPPED OFF MUST BE CAPPED PROPERLY ACCORDING TO ILLINOIS STATE PLUMBING CODE & INSPECTED BEFORE PATCHING FLOOR. ALL HAND SINKS MUST BE SOLID CONNECTION WITH REMOVABLE TRAP & CLEANOUT ON FLOOR. HOSE & SPRAY UNITS NEW OR EXISTING SHALL BE PROTECTED AGAINST BACKFLOW. SOAP DISPENSERS, COFFEE, TEA, ICE MAKER MACHINES, ETC. MUST BE PROTECTED BY BACKFLOW. ALL OPEN SITE DRAINS MUST BE VENTED SEPARATELY 6" ABOVE SPILL LINE OF EACH OPEN SITE DRAIN.
3. REMOVE THE FLOOR SLAB AS REQUIRED FOR NEW PLUMBING. PATCH THE FLOOR AS REQUIRED TO MATCH ADJACENT SURFACE.
4. REROUTE & RECONNECT ANY CIRCUIT/ CIRCUITS THAT SHALL REMAIN IN USE BUT INTERFERES WITH THE NEW CONSTRUCTION.
5. EXISTING CONDUITS SHALL NOT BE REUSED, SHALL BE REMOVED. CONDUITS IN WALLS OR BELOW THE FLOOR LINE MAY BE ABANDONED. DISCONNECT AND REMOVE WIRING FROM CONDUITS TO BE ABANDONED. CUT & CAP CONDUITS THAT RUN THROUGH WALLS AND FLOORS. GROUT SURFACE FLUSH.

NOTE:
PATCH & REFINISH ALL
NEW/ EXISTING AREAS AS
REQUIRED TO MATCH
EXISTING AREAS

WALL SCHEDULE

-  = EXISTING WALL
 = EXISTING WALLS
& FIXTURES TO
TO BE REMOVED

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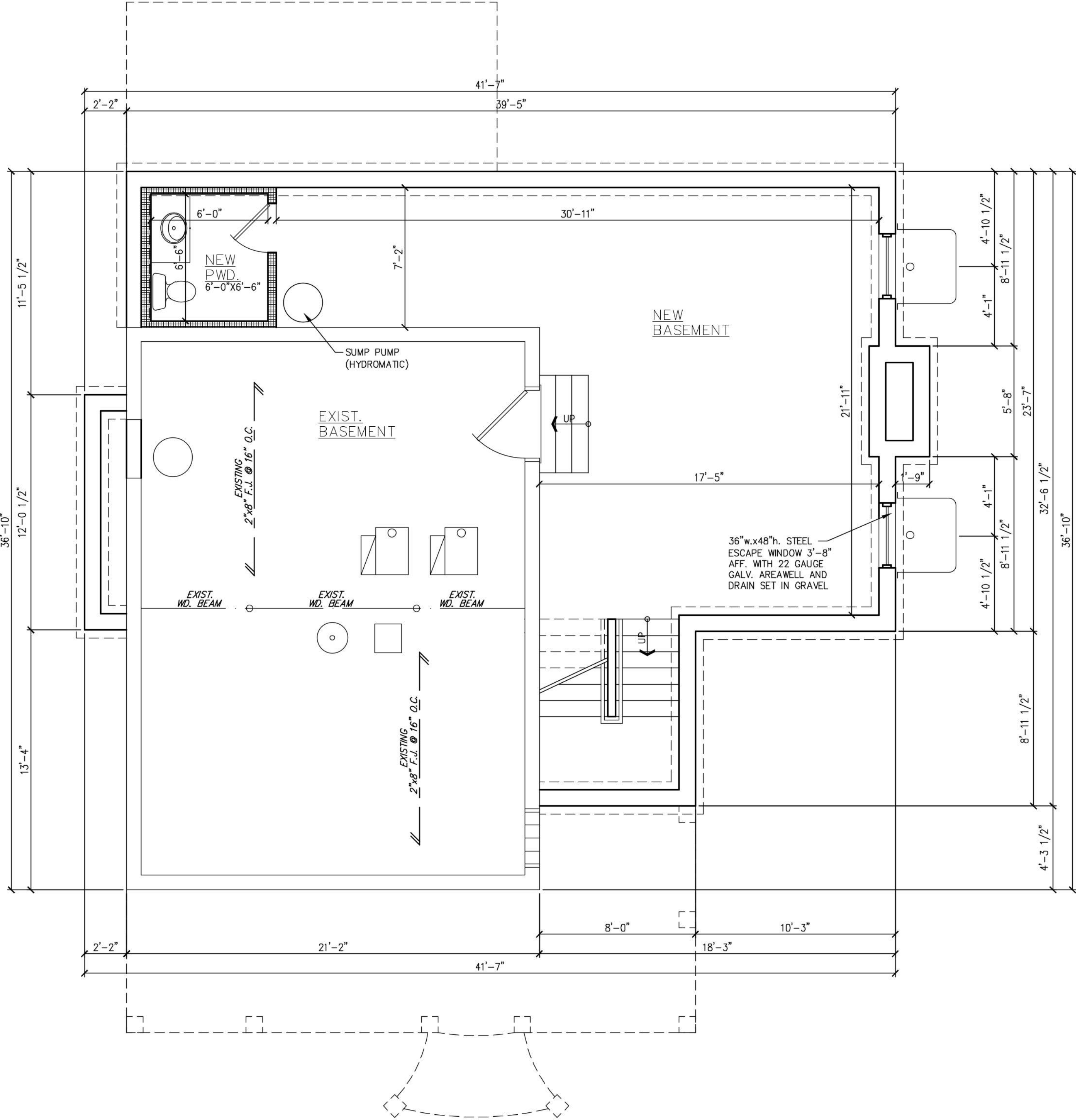
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PROJECT NO.
21141

SHEET NUMBER

A-3



FOUNDATION PLAN
1/4"=1'-0"
537 SQ. FT. — EXIST.
595 SQ. FT. — NEW
1,132 NEW SQ. FT.

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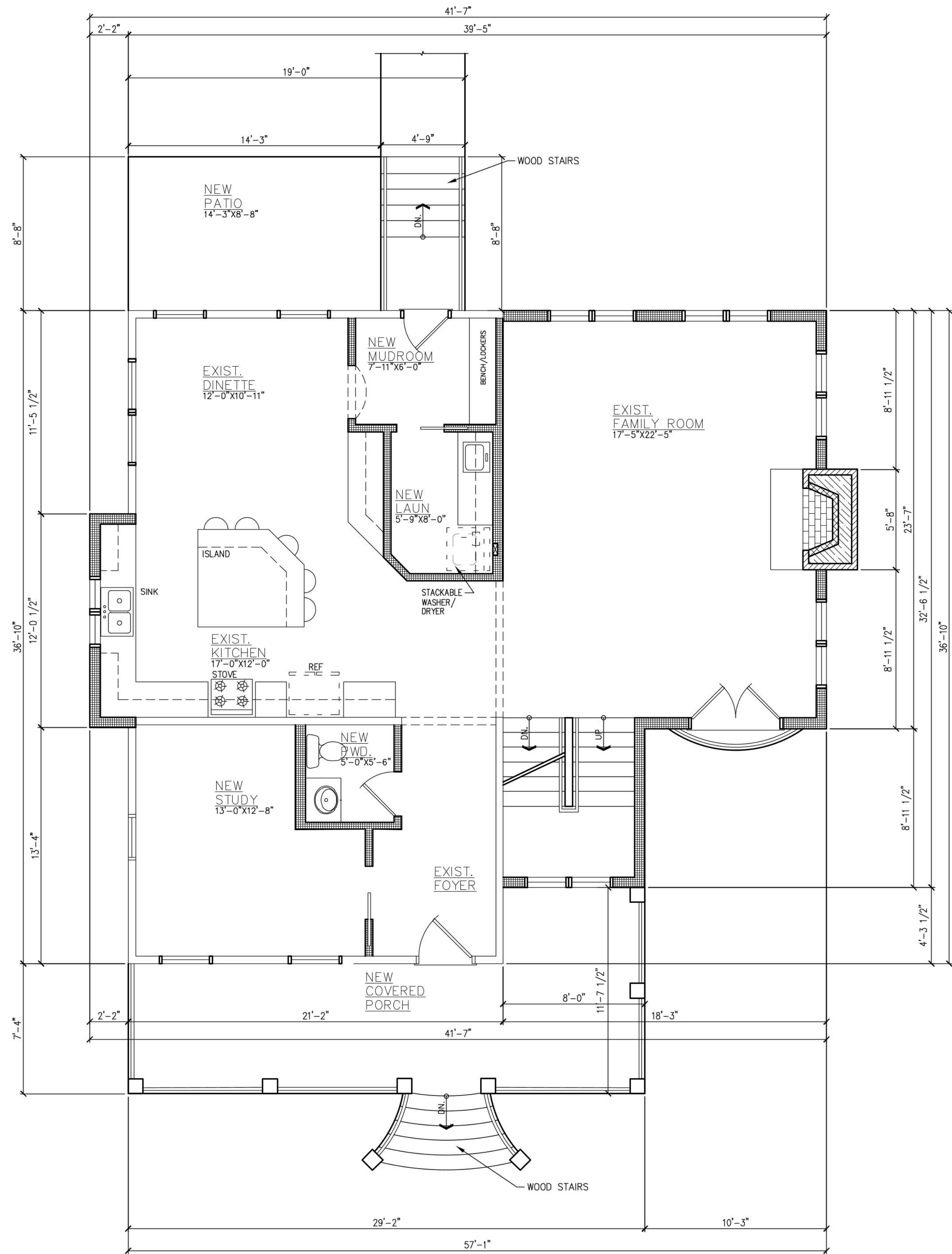
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DATE: 07-12-22		
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PREVIOUS NO.		—
PROJECT NO. 21141		



FIRST FLOOR PLAN

801 SQ. FT. – EXIST.
537 SQ. FT. – NEW
1,328 NEW SQ. FT.
2,602 NEW SQ. FT. (1ST. & 2ND.)

WALL SCHEDULE	
	NEW 2X6" STUD WALL @ 16" O.C.
	NEW STONE
	EXISTING WALL TO REMAIN

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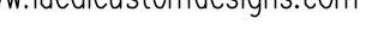
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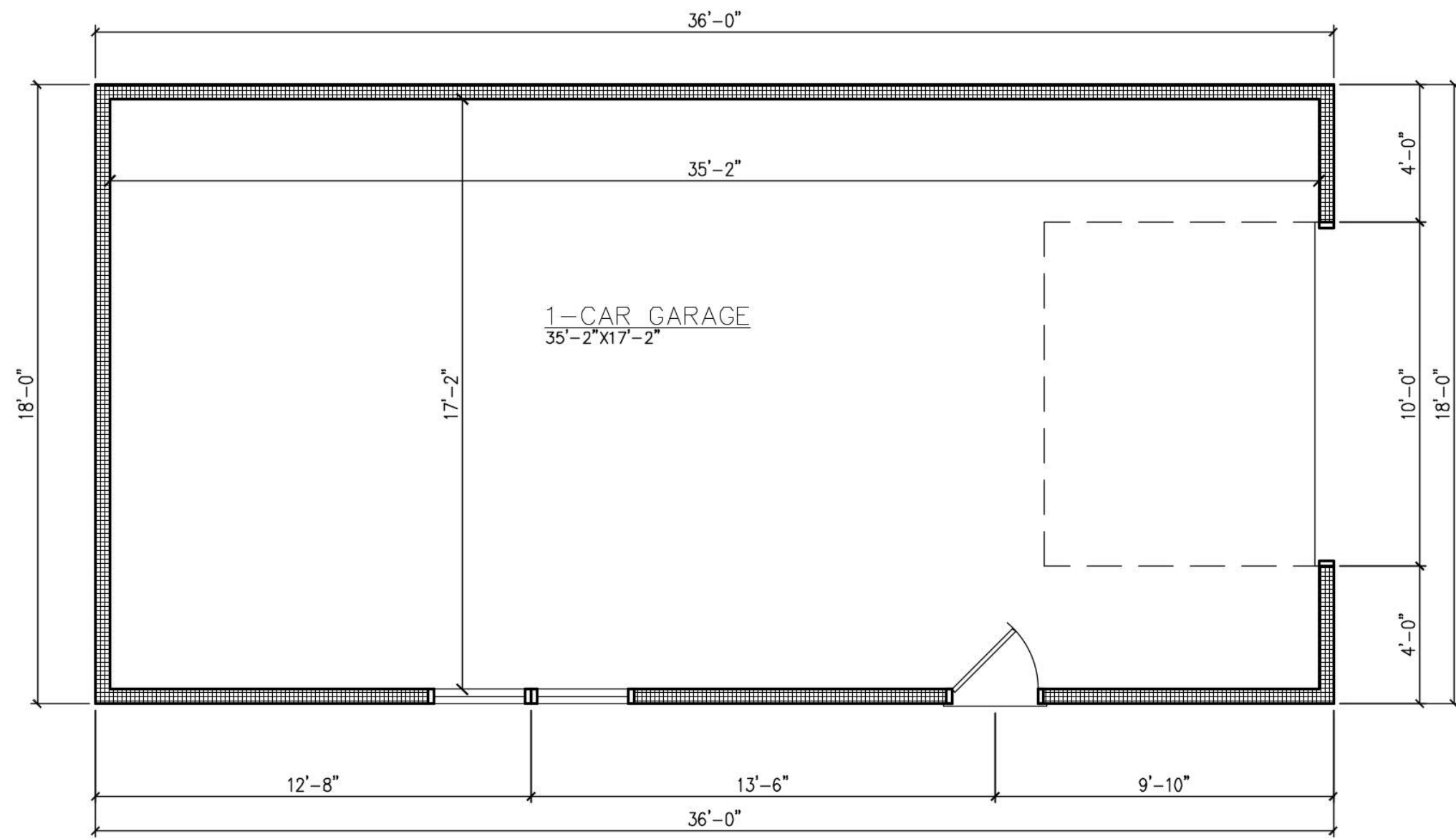
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REV #	DATE:	REV. PER:
DATE: 07-12-22		
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PREVIOUS NO.		-
PROJECT NO. 21141		



A-6

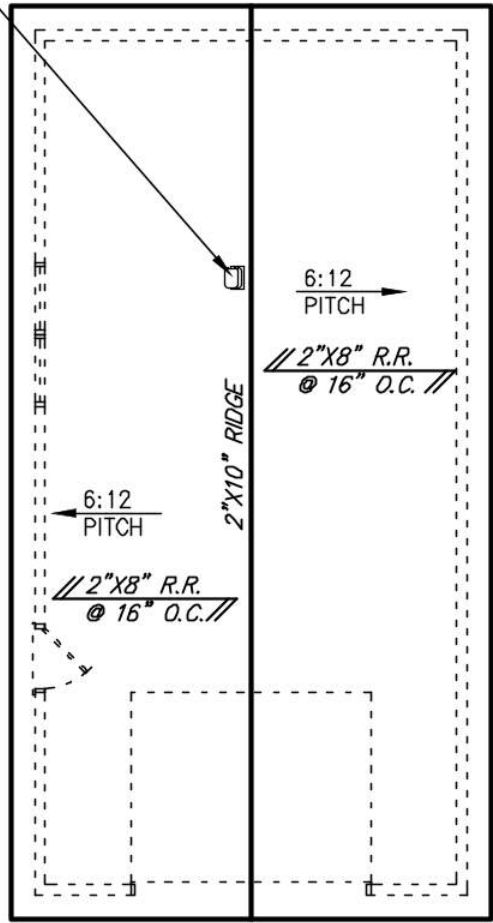


A-6

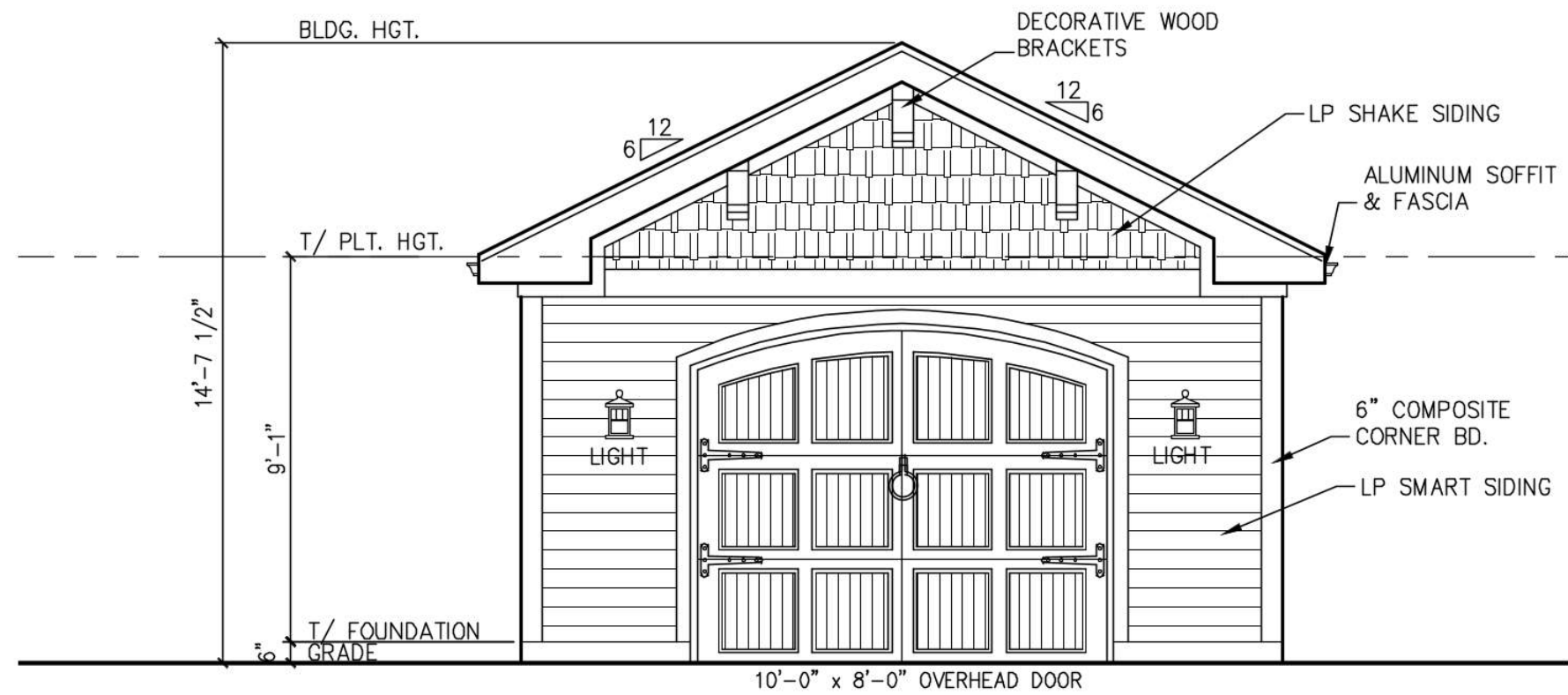


GARAGE FLOOR PLAN

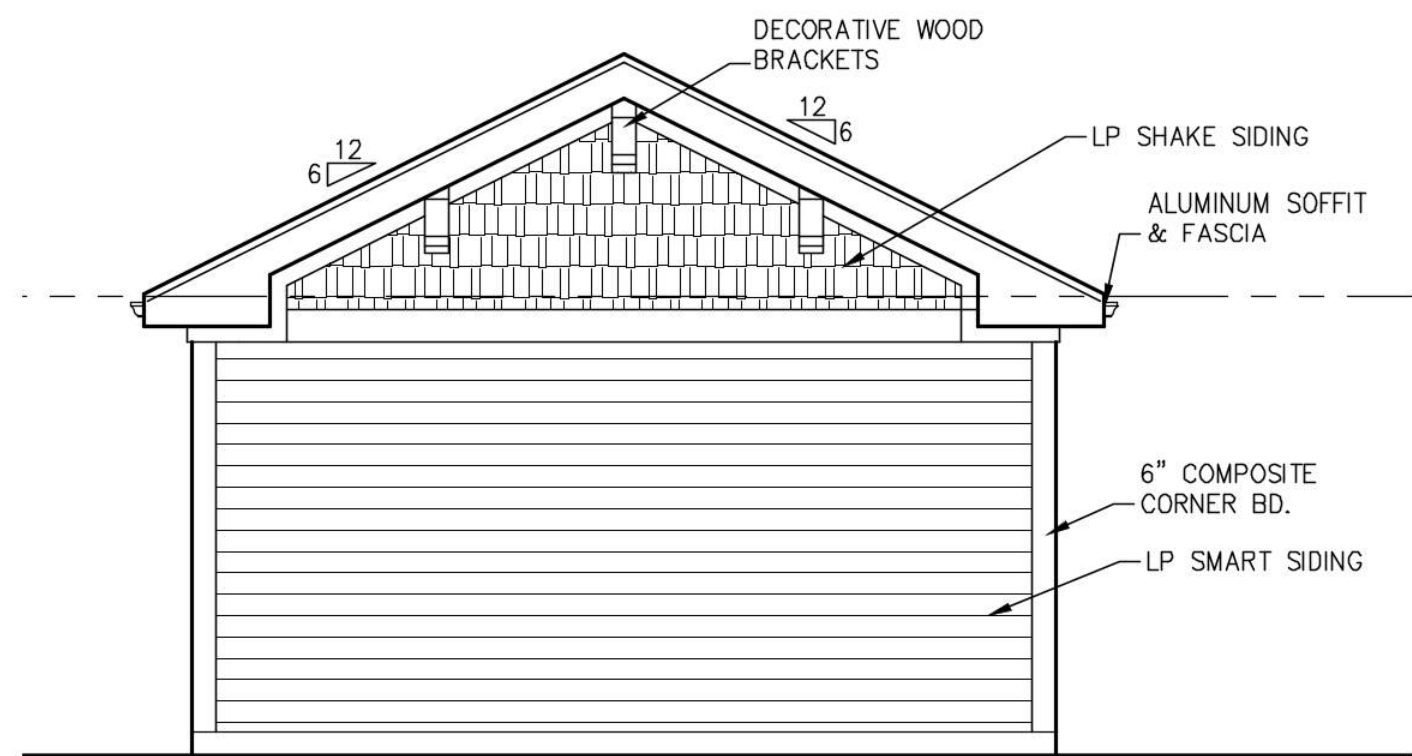
ROOF VENTS TO BE LOCATED ON BACK
SLOPE OF ROOF. NUMBER AND LOCATION
SHALL BE BASED ON TOTAL AREA OF VENTS
REQUIRED EQUAL TO 1/300th OF ROOF AREA
PAINT TO MATCH ROOF



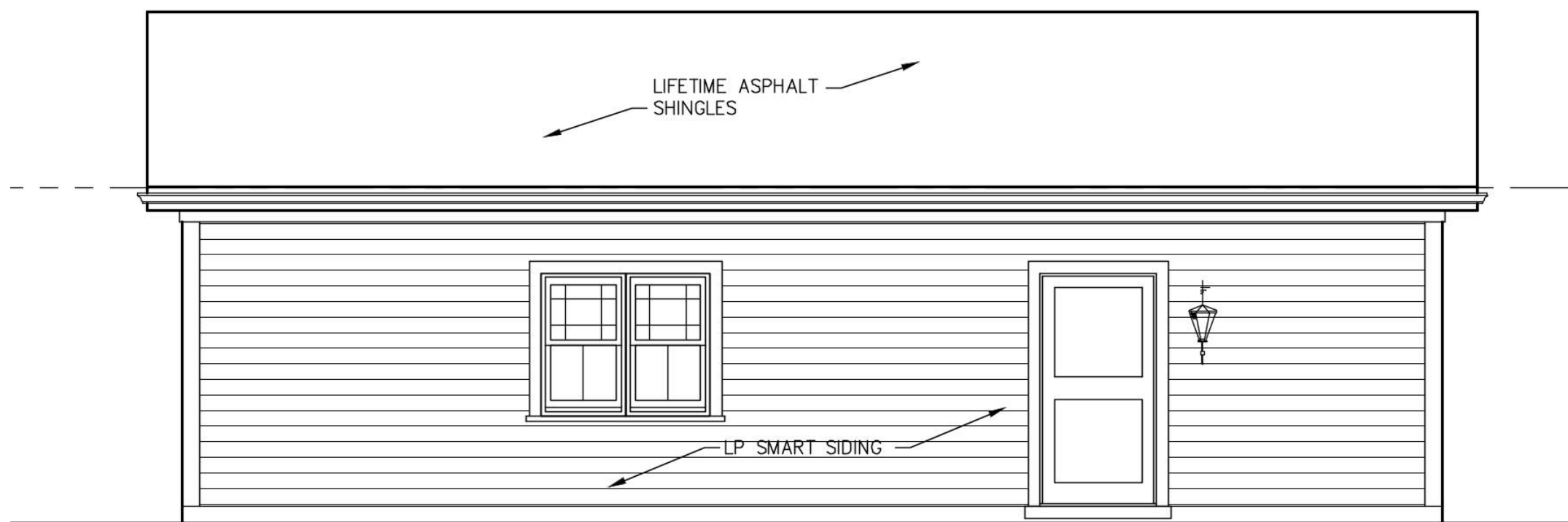
ROOF PLAN



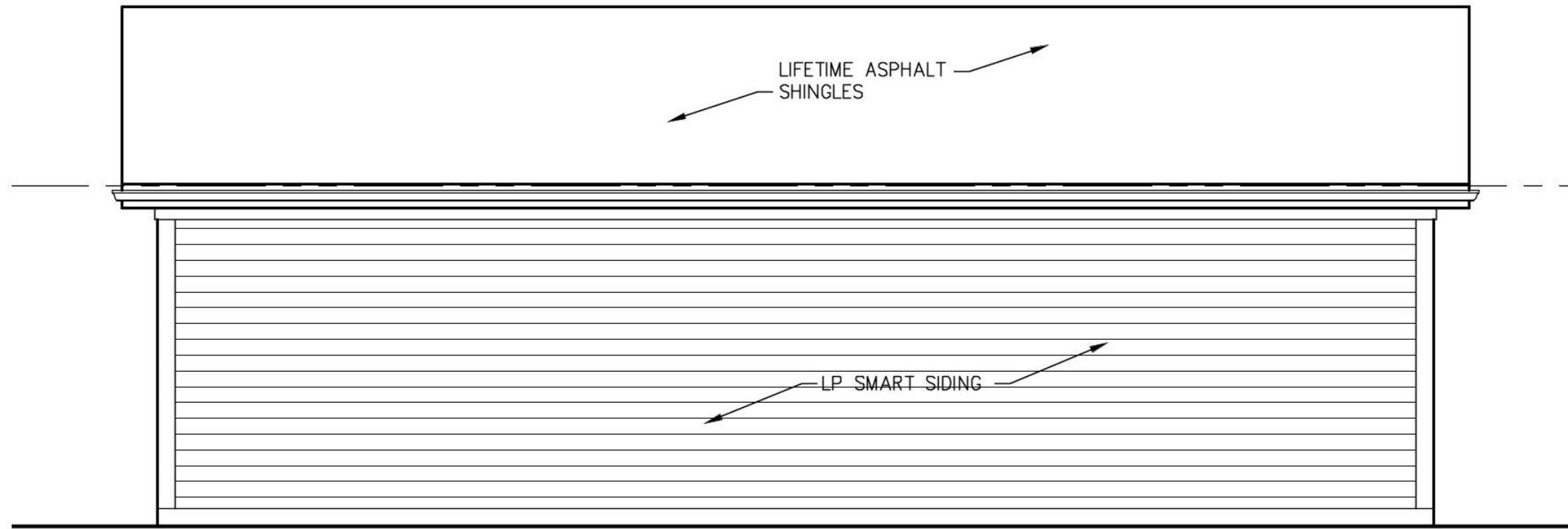
FRONT ELEVATION
EAST



REAR ELEVATION
WEST



LEFT ELEVATION
SOUTH



RIGHT ELEVATION
NORTH

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4-30-23

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REV #	DATE:	REV. PER:

DATE:
07-12-22

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PREVIOUS NO. -

PROJECT NO.
21141

SHEET NUMBER

A-7

Project: Kerley Residence First Floor Additions
Meeting Type: Workshop
Request(s): 4 Variations to remodel an existing single-family home, and a Plat of Resubdivision to combine underlying lots
Location: 25 Carpenter Street
Applicant: John Kerley
Prop. Owner: Same as above
Consultants: Same as above
Representative: None
Report By: Drew Duffin

Site Details

Lot Size: 8,000 SF
PIN(s): 19-09-21-415-009-0000
Existing Zoning: R-2, Single-Family Detached Residential
Prop. Zoning: N/A
Building(s) / Lot(s): 1 building with detached garage / 2 lots

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Single-family Residential	Single Family Detached Residential	R-2
North	Single-family Residential	Single Family Detached Residential	R-2
South	Single-family Residential/Vacant	Single Family Detached Residential/Mixed Use	R-2/H1
East	Vacant	Mixed Use	H1
West	Single-family Residential	Single Family Detached Residential	R-2

Figure 1: Location Map



Project Summary

The applicant, John Kerley, is seeking to add first- and second-floor additions to his two-story home located at 25 Carpenter Street. The applicant intends to remove the existing, detached two-car garage to the east of the house, construct an attached, two-car garage to the southern side of the house facing the abutting alley. Mr. Kerley is requesting the following variations:

Variation Requested	Code Requirement	Proposed
Front yard setback	30 feet	10.2 feet
Side yard setback	25 feet total, at least 10 feet per side	19.4 feet
Lot coverage	20% (1,600 SF) maximum	29% (2,315 SF)

Materials requirements	Masonry on the first floor, no metal	Fiber cement product and metal roofing in lieu of asphalt shingles
-------------------------------	--------------------------------------	--

Attachments

- Applicant Findings for Variation Standards
- 2021 Aerial Photograph from Will County GIS
- Photographs of site taken on August 3, 2022
- Engineering Site Plan dated July 12, 2022
- Architectural Plans dated June 17, 2022
- PC/ZBA Evaluation Form for Variation Findings of Fact

Analysis

In consideration of the requests, staff offers the following points of discussion:

- The following table is provided to compare the subject property with the R-2 District dimensional and other standards:

	R-2 Single-Family Detached Residential District Requirement	Subject Property	Comments
Minimum Lot Size (square feet) (Single-Family Dwelling)	15,000 SF	8,000 SF	Legally nonconforming
Minimum Lot Width (Feet)	100 feet	80 feet	Legally nonconforming
Minimum Lot Depth	150 feet	100	Legally nonconforming
Minimum Required Yards (feet) <ul style="list-style-type: none"> • Front • Side • Rear 	<ul style="list-style-type: none"> • 30 feet • Total 25 feet; min. 10 feet on any side • 30 feet 	<ul style="list-style-type: none"> • 15.6 feet existing (10.2 feet proposed) • Total 41.2 existing, 9.1 on north, 31.2 on south (19.4 proposed, 9.1 on north, 10.3 on south) • 30 feet 	Variations for front and side yards requested
Maximum Height (feet)	35 feet	22.5 feet	
Maximum Lot Coverage	20% (for a Two-Story, 1,600 SF)	18% existing, 29% proposed	Variation requested
Maximum Impervious Coverage	40%	36% existing, 36% proposed	
Maximum Rear Yard Coverage	30%	0%	
Minimum Gross Floor Area (square feet, includes basement)	2,600 (for a two-story)	2,777 SF existing, 4584 SF proposed	
Minimum Basement Size	80% of the ground floor area	95% (931 SF) existing, 85% (1,285 SF) proposed	

Standards for Variations

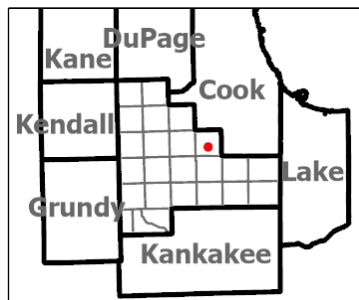
The applicants are requesting multiple variations in conjunction with proposed first and second floor additions and exterior remodeling.

For reference during the workshop, Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request.

- a. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:
 1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
 2. That the plight of the owner is due to unique circumstances;
 3. That the variation, if granted, will not alter the essential character of the locality.
- b. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making this determination, whenever there are practical difficulties or hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:
 1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
 2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
 3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
 4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
 5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
 6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;
 7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

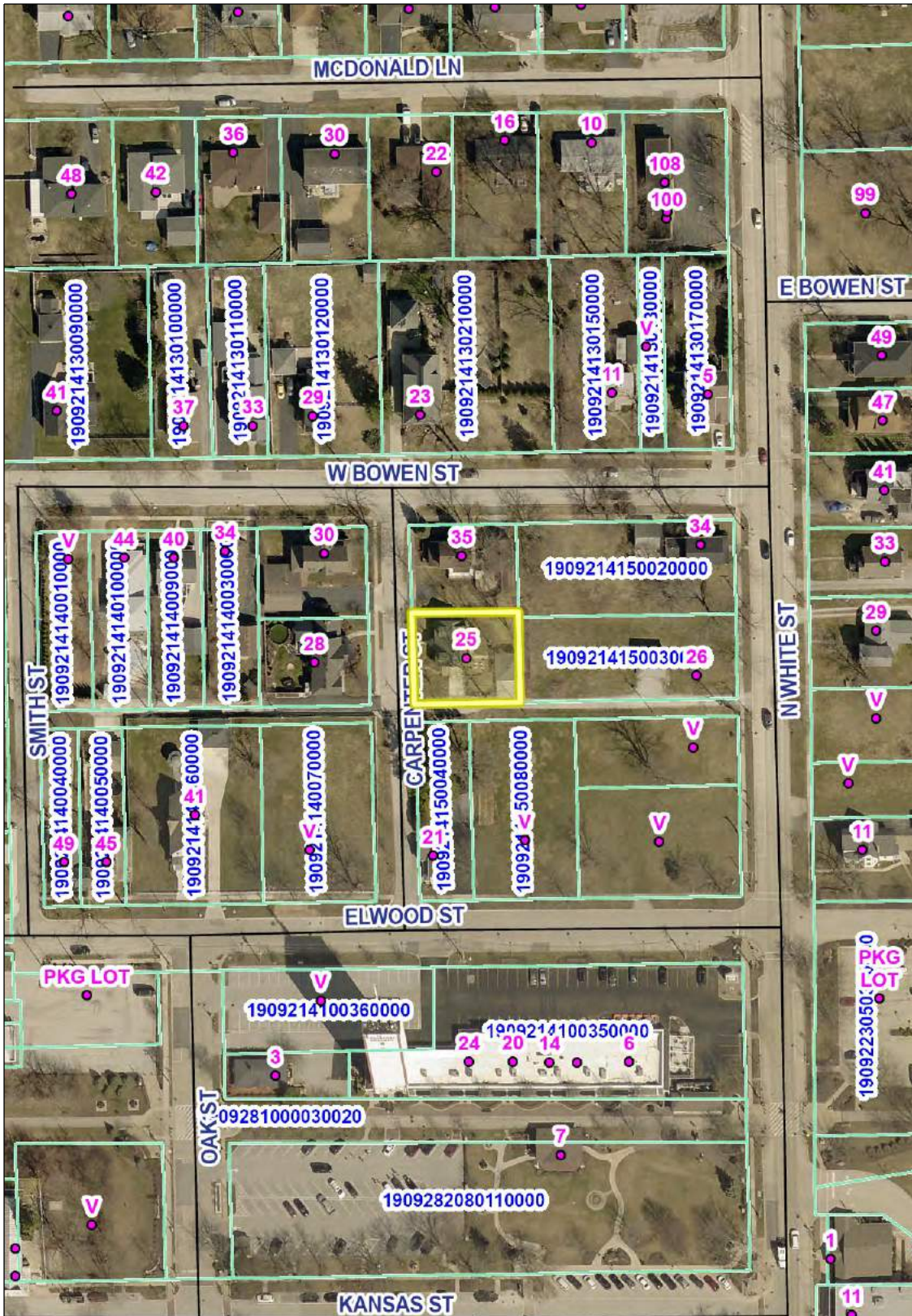


25 Carpenter Street



Legend

- Address Points
- Roadways
 - Federal
 - State
 - County
 - Local and Private
- Parcels LY
- Townships



Notes

Date: 8/4/2022

1: 2,257



Projection

WGS_1984_Web_Mercator_Auxiliary_Sphere

Disclaimer of Warranties and Accuracy of Data: Although the data developed by Will County for its maps, websites, and Geographic Information System has been produced and processed from sources believed to be reliable, no warranty, expressed or implied, is made regarding accuracy, adequacy, completeness, legality, reliability or usefulness of any information. This disclaimer applies to both isolated and aggregate uses of the information. The County and elected officials provide this information on an "as is" basis. All warranties of any kind, express or implied, including but not limited to the implied warranties of merchantability, fitness for a particular purpose, freedom from contamination by computer viruses or hackers and non-infringement of proprietary rights are disclaimed. Changes may be periodically made to the information herein; these changes may or may not be incorporated in any new version of the publication. If you have obtained information from any of the County web pages from a source other than the County pages, be aware that electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended that careful attention be paid to the contents of any data, and that the originator of the data or information be contacted with any questions regarding appropriate use. Please direct any questions or issues via email to gis@willcountyillinois.com.



Facing SE, NW corner of property



Facing NE, SW corner of property



Facing N, SE corner of property



Facing NE, S side of property



Facing NW, S side of property



Facing NW, SE corner of property



Facing W, E side of property



28 Carpenter Street – across from subject property

RECEIVED

By aduffin at 1:20 pm, Aug 02, 2022



Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

We would like to add on a 1st floor master to meet our needs as we plan to live there for many years.

2. That the plight of the owner is due to unique circumstances; and

We would like to add on a 1st floor master to meet our needs as we plan to live there for many years.

3. That the variation, if granted, will not alter the essential character of the locality.

We love the downtown Frankfort character and feel like our home will be a welcome addition and will add character.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

Agree

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

Agree

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

No this is our future home and we not plan on selling this home

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

Agree

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

Agree

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

Agree

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

Agree



Standards of Variation Commissioner Evaluation Form

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided.

	STANDARD	NOTES	MEETS	
1.	That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;		YES	NO
2.	That the plight of the owner is due to unique circumstances;		YES	NO
3.	That the variation, if granted, will not alter the essential character of the locality.		YES	NO

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence.

	STANDARD	NOTES	MEETS	
1.	That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;		YES	NO

2.	That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;		YES	NO
3.	That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;		YES	NO
4.	That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;		YES	NO
5.	That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;		YES	NO
6.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or		YES	NO
7.	That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.		YES	NO

LEGEND

□	FOUND IRON ROD
▲	SET MAG NAIL
7.77'	MEASURED DATA
(7.77')	RECORDED DATA
CONCRETE	
ASPHALT	
AGGREGATE	

← PROPOSED FLOW DIRECTION ARROW
PXXX.XX - PROPOSED SPOT ELEVATIONS
FGF-XXX.XX - SUGGESTED FINISHED GARAGE FLOOR ELEVATION
T/F-XXX.XX - SUGGESTED TOP OF FOUNDATION ELEVATION
- NEW CONCRETE DRIVEWAY / WALK

RECEIVED
By aduffin at 12:47 pm, Jul 27, 2022

LEGAL DESCRIPTION
THE SOUTH 1/2 OF LOTS 5 & 6 IN BLOCK 3 IN SMITH'S ADDITION TO FRANKFORT, IN THE EAST 1/2 OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

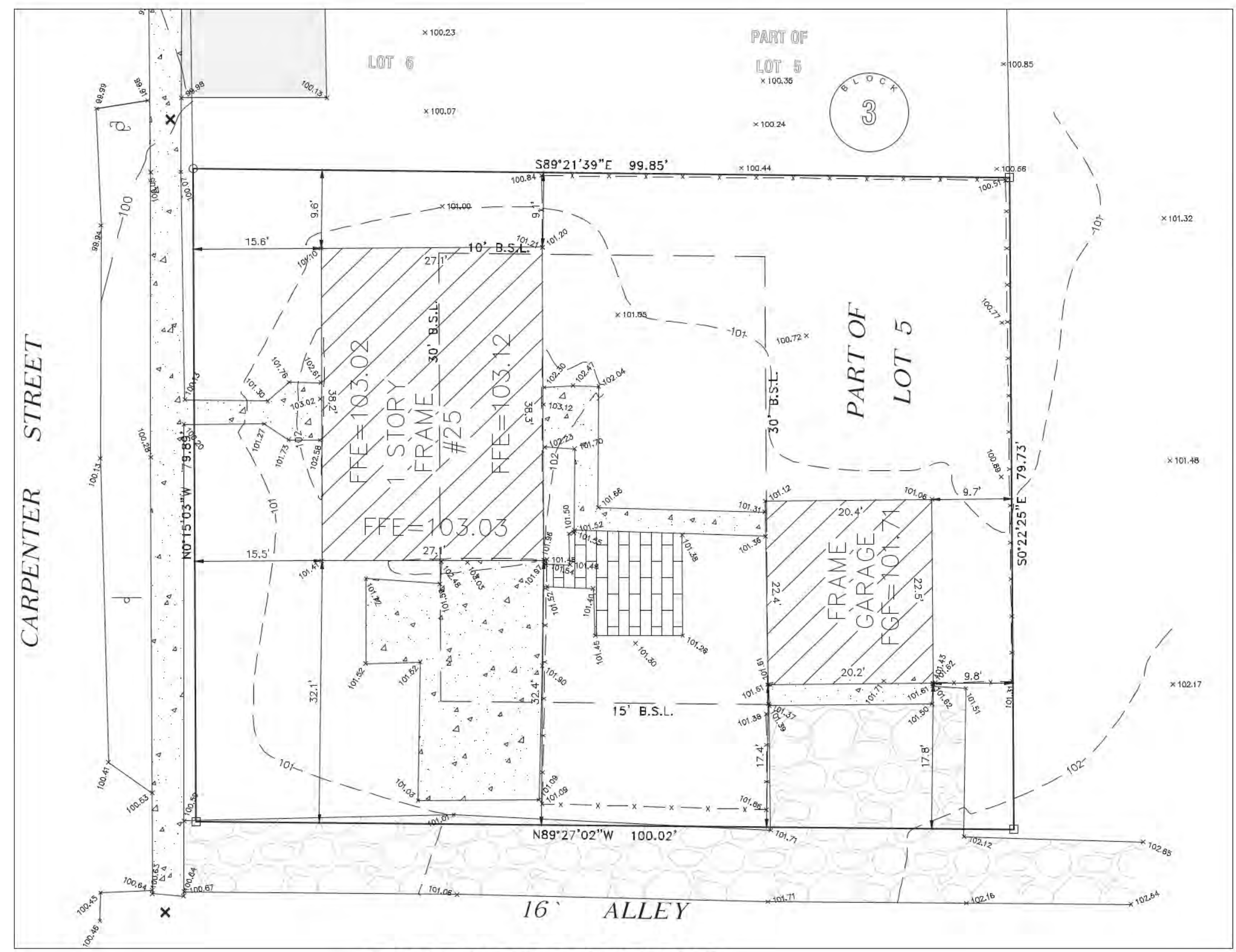
PIN: 19-09-21-415-009-0000

ABBREVIATIONS
P.U. or P.U.E. - PUBLIC UTILITY EASEMENT
B.S.L. - BUILDING SETBACK LINE
D.E. - DRAINAGE EASEMENT
P.C.C. - PORTLAND CEMENT CONCRETE (SUBJECT TO C&R DOCS... EITHER PAVERS OR STAMPED CONCRETE REQ'D)

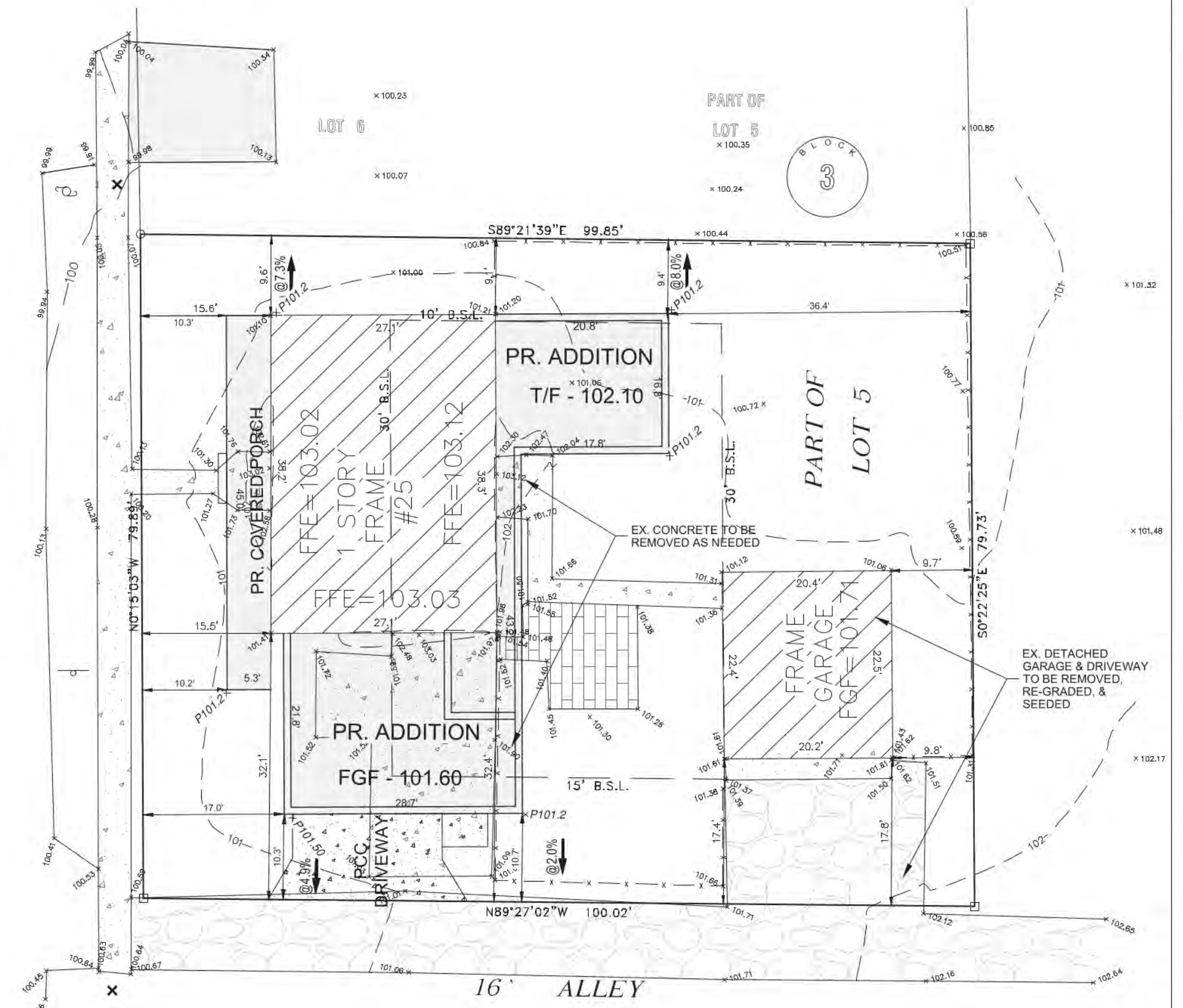
- NOTES:
1. Building setback lines (BSL) shown are per proposed. Property is zoned in the R-2 district, setbacks are subject to review and variance approval by Village. Current zoning and approved variances of property should be verified prior to construction.
 2. All right of way and/or off-site disturbed areas shall be restored to existing conditions or better, if necessary.
 3. Building footprint provided by others, and should be checked prior to construction. Refer to architectural plans for actual building footprint dimensions.
 4. No topographic survey of current ground grades or existing improvements in place has been completed and shall be the responsibility of the Owner to verify locations prior to starting construction.
 5. Building location should be established by measuring from surveyed property lines and checked by measuring distances to opposing property lines. Building setback line should be staked in the field to verify footprint location on the lot.
 6. All proposed sanitary sewer service line installation work will comply with all local sanitary sewer specifications and requirements. No visible service locations were found by MG2A, unless otherwise shown.
 7. Prior to Excavation call Joint Utilities Location Information for Excavations "J.U.L.I.E." 1-800-892-0123



SITE LOCATION MAP
NO SCALE



EXISTING CONDITIONS
SCALE: 1"=10'

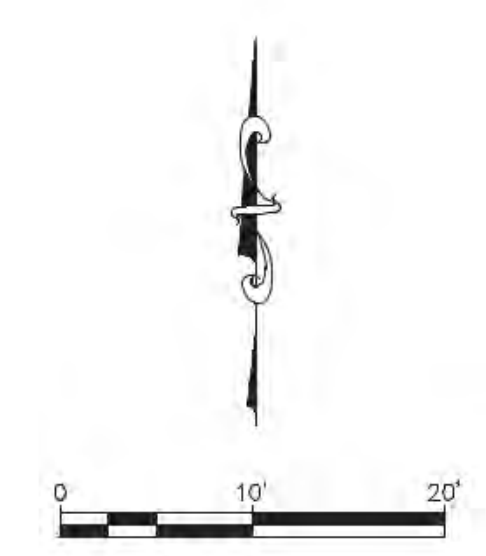


BULK REQUIREMENTS TABLE

TOTAL AREA = 8,001 SQ.FT.
EXISTING / PROPOSED ZONING: R2
EXISTING / PROPOSED USE: SINGLE-FAMILY RESIDENTIAL

	REQUIRED	REQUESTED VARIANCE
MINIMUM FRONT YARD	30 FT	10.2 FT
MINIMUM SIDE YARD	10 FT MIN (TOTAL OF 25 FT)	9.4 FT (TOTAL OF 19.7 FT)
MINIMUM REAR YARD	30 FT	NONE
MINIMUM LOT AREA	15,000 SQ.FT.	8,001 SQ.FT.
MAXIMUM LOT COVERAGE	20%	(2,315 / 8,001 = 29%)

BRIAN P. HERTZ
REGISTERED PROFESSIONAL ENGINEER
OF ILLINOIS 7/12/22
Exp: 11/30/23



PLAN EDITION MILESTONES

DATE	BY	DESCRIPTION
07/12/2022	BPH	ISSUED FOR REVIEW

CIVIL ENGINEERING SURVEYING
M GINGERICH GEREUX & ASSOCIATES
MG2A WEST
Professional Design Firm License # 184-005003
P. 815-478-9680 F. 815-478-9685
25620 S. GOUGAR RD., MANHATTAN, IL 60442
www.mg2a.com

DESIGN: BPH
DRAWING: NIB
CHECKED: BPH
APPROVED: BPH

25 CARPENTER STREET
FRANKFORT, ILLINOIS
SITE PLAN

SHEET NO.
1 OF 1

JOB NO. 22-603
© 2020 M. GINGERICH, GEREUX & ASSOCIATES

DOE TO THE UNCERTAINTY OF SEASONAL GROUND WATER TABLES AND THE GEOPHYSICAL CONDITIONS AFFECTING GROUND WATER MOVEMENT, M. GINGERICH, GEREUX & ASSOCIATES TAKES NO RESPONSIBILITY FOR THE MANAGEMENT OF GROUND WATER ASSOCIATED WITH SUB-GRADE CONSTRUCTION. BASEMENTS OR OTHER LINE FACILITIES CONSTRUCTED BELOW THE FINISHED SURFACE GRADE OF THE PROPERTY ARE AT THE RISK OF THE BUILDER/OWNER

A. FURNISH ALL LABOR, MATERIALS, TOOLS, INSURANCE AND PERMITS NECESSARY TO COMPLETE THE WORK AS SHOWN AND AS REASONABLY IMPLIED BY THE DRAWINGS, SPECIFICATIONS, NOTES AND REQUIRED BY ANY CODE WITH JURISDICTION TO COMPLETE THE SCOPE OF WORK FOR A COMPLETE AND PROPERLY FINISHED JOB. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND AGREEMENT THAT A SATISFACTORY JOB IS OBTAINABLE WITH THE INFORMATION AS PROVIDED.

B. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR DIMENSIONAL ACCURACY. ALL DIFFERENCES IN ANTICIPATED DIMENSIONS OR CONDITIONS SHALL BE IMMEDIATELY SUBMITTED IN WRITING TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK OR THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAME.

C. ANY DEVIATION FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND WILL NULLIFY AND VOID ANY ARCHITECTURAL CERTIFICATION PERTAINING TO THIS PROJECT.

ADDITION & REMODEL FOR
CELTIC CONSTRUCTION

25 CARPENTER ST.,
FRANKFORT, ILLINOIS

A. THE 2012 INTERNATIONAL RESIDENTIAL CODE, THE 2012 INTERNATIONAL BUILDING CODE, 2012 INTERNATIONAL MECHANICAL CODE, 2014 ILLINOIS PLUMBING CODE, 2011 NATIONAL ELECTRICAL CODE, 2009 INTERNATIONAL FIRE CODE, 2012 INTERNATIONAL FUEL GAS CODE, 2012 INTERNATIONAL PROPERTY MAINTENANCE.

B. BEFORE FINAL CONSTRUCTION DOCUMENTS ARE ISSUED FOR CONSTRUCTION THEY SHALL BE SUBMITTED TO ALL GOVERNING BUILDING AGENCIES TO INSURE THEIR COMPLIANCE WITH ALL APPLICABLE LOCAL AND NATIONAL CODES. IF CODE DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS APPEAR, THE ARCHITECT SHALL BE NOTIFIED OF SUCH DISCREPANCIES IN WRITING BY THE CONTRACTOR OR BUILDING OFFICIAL, AND ALLOWED TO ADOPT THE CONSTRUCTION DOCUMENTS SO AS TO COMPLY WITH GOVERNING CODES BEFORE CONSTRUCTION BEGINS.

C. UPON RECEIPT OF APPROVAL FROM THE GOVERNING OFFICIAL, APPROVED FINAL CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED TO THE CONTRACTOR BY THE ARCHITECT.

D. IF CODE DISCREPANCIES ARE DISCOVERED DURING THE CONSTRUCTION PROCESS, THE ARCHITECT SHALL BE NOTIFIED IN WRITING AND ALLOWED AMPLE TIME TO REMEDY SAID DISCREPANCIES.

A. THE INTENTION OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS AND SERVICES, NECESSARY FOR COMPLETE AND PROPER EXECUTION OF THE WORK INDICATED ON THE CONSTRUCTION DOCUMENTS OR REASONABLY INFERRED THEREFROM.

B. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND MEASURES IN CONNECTION WITH THE WORK. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONTRACTOR'S OR SUBCONTRACTOR'S SCHEDULES OR FOR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

C. ALL CONTRACTORS, SUBCONTRACTORS, SUPPLIERS AND FABRICATORS SHALL BE RESPONSIBLE FOR THE CONTENT OF THE CONSTRUCTION DOCUMENTS, AND FOR THE SUPPLY AND DESIGN OF APPROPRIATE MATERIALS AND SHALL GUARANTEE THAT ALL WORK IS DONE IN ACCORDANCE WITH THE PROFESSIONAL WORKMANLIKE MANNER BY SKILLED MECHANICS AND SHALL REPLACE ANY MATERIALS OR ITEMS DAMAGED BY SUBCONTRACTORS' PERFORMANCE. SUBCONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT OF OVERLAP OF EACH OTHERS WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK.

D. ALL SUBCONTRACTOR WORK SHALL BE OF QUALITY TO PASS INSPECTIONS BY LOCAL AUTHORITIES, LENDING INSTITUTIONS, ARCHITECT, OR CONTRACTOR. ANY ONE OR ALL OF THE ABOVE MENTIONED INSPECTORS MAY INSPECT THE WORKSHIP AT ANY TIME, AND ANY CORRECTIONS NEEDED TO ENHANCE THE QUALITY OF BUILDING WILL BE DONE IMMEDIATELY.

E. EACH SUBCONTRACTOR, UNLESS SPECIFICALLY EXEMPTED BY THE ITEMS OF HIS SUBCONTRACT AGREEMENT, SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOBSITE ALL TRASH AND DEBRIS NOT LEFT BY OTHER SUBCONTRACTORS. CONTRACTOR WILL DETERMINE HOW SOON AFTER SUBCONTRACTOR COMPLETES EACH PHASE OF HIS WORK THAT TRASH AND DEBRIS WILL BE REMOVED FROM THE SITE.

F. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, ERECTED, USED, CLEANED, AND CONDITIONED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

G. ALL ALTERNATES ARE AT THE OPTION OF THE OWNER AND SHALL BE AT THE OWNERS REQUEST, CONSTRUCTED IN ADDITION TO OR IN LIEU OF THE TYPICAL CONDITION.

USE	LIVE LOAD	DEAD LOAD
BALCONIES(EXTERIOR)	60	7
DECKS	60	7
ROOF RAFTERS	34	10
ROOF RAFTERS W/CATHEDRAL CEILING	34	15
ROOF RAFTERS(HEAVY ROOF)-EX. CLAY, TILE, CEMENT, SLATE	30	17
ATTICS (NO STORAGE WITH ROOF SLOPE NOT STEEPER THAN 3/12)	10	10
ATTICS (LIMITED ATTIC STORAGE)	20	10
FLOORS	40	10
FLOORS (SLEEPING ROOMS)	30	10
STAIRS	30	10
GUARDRAILS AND HANDRAILS (A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP)	200	
WALLS-STUD	10	
WALLS-BRICK(STD)	40	
PARTITIONS OR WALLS (INTERIOR), HORIZONTALLY	5	
FLEXICORE (DECKS)	100	50
FLEXICORE (GARAGE FLOORS)	100	100

TYPE	Fb	E
HEM FIR #2 (DOMESTIC)	850 PSI	1,300,000
S.P.F. #1/#2 (CANADIAN)	875 PSI	1,400,000
MICROLAM LVL	2600 PSI	1,900,000
PARALLAM PSL	2400 PSI	2,000,000
1.3 E TIMBERSTRAND LSL(1/4 3/4" TO 11 1/4")	1700 PSI	1,300,000
1.5E TIMBERSTRAND LSL(11 7/8" TO 18")	2250 PSI	1,500,000

INSTALL IPCO FLASHING, END DAMS, AND WEEP ROPE AT ALL STEEL LINTELS. TERMINATED FLUSH WITH MASONRY FACE.

[illegible]

T-1	TITLE SHEET
SP-1	SPECIFICATION SHEET
A-1	ELEVATION & ROOF PLAN
A-2	ELEVATIONS
A-3	DEMOLITION PLANS
A-4	FOUNDATION PLAN
A-5	FIRST FLOOR PLAN
A-6	SECOND FLOOR PLAN
M-1	MECHANICAL/PLUMBING NOTES
E-1	ELECTRICAL NOTES
E-2	ELECTRICAL FLOOR PLANS
D-1	FRAME DETAILS
D-2	FOUNDATION DETAILS
D-3	WALL SECTIONS

WK OLSON ARCHITECTS INC.-ARCHITECTURAL REG. NO. 184-004117
REGISTRATION EXPIRATION DATE: APRIL OF 2023

ADDITION & REMODEL FOR CELTIC CONSTRUCTION

25 CARPENTER ST.,
FRANKFORD, ILLINOIS

14334 Town Center Dr.
Homer Glen, Illinois 60491

**WKSOLSON
ARCHITECTS
+ INC.**

E-mail: wksolsonarc@aol.com
Tel (708) 301-6111
Fax (708) 301-2503

14334 Town Center Dr.
Homer Glen, Illinois 60491

TITLE SHEET

APP'D: WK

CHECKED: WKO

DRAWN: GEB / GMA

DATE _____

PROJ NO: 322049

PREV NO:(---

[illegible]

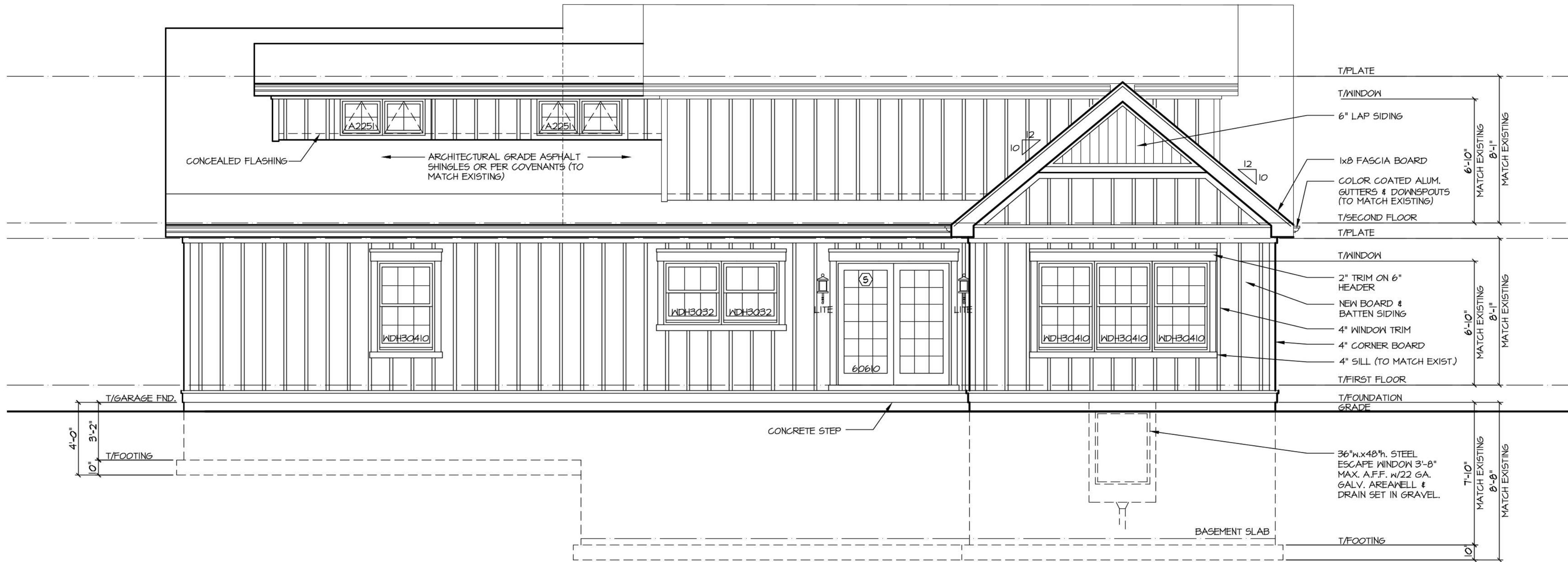
SHEET NUMBER _____

11

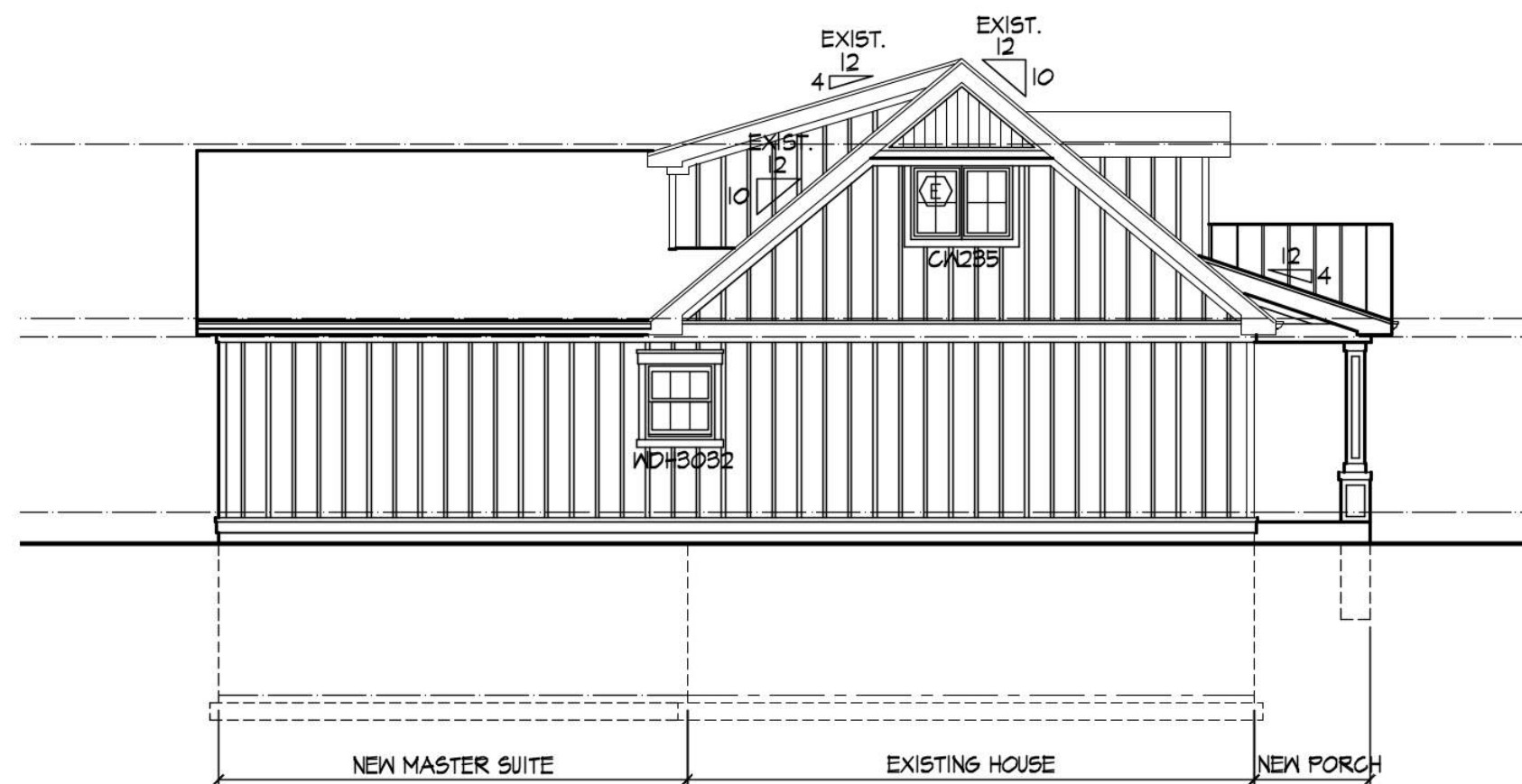
OF 15

2018 IECC COMPLIANCE REQUIREMENTS
AS AMENDED BY THE STATE OF ILLINOIS

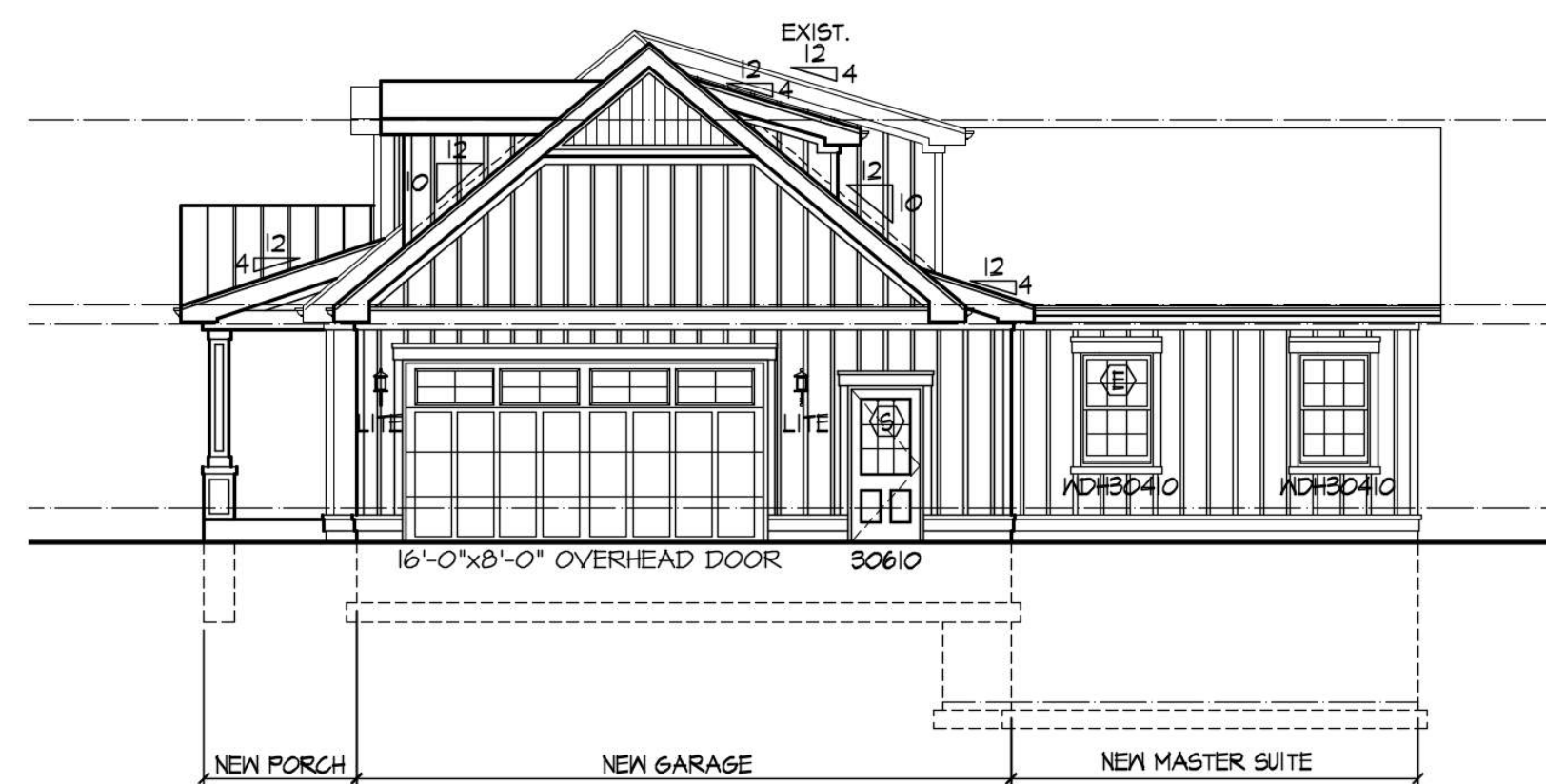
1. A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN THE CEILING/ROOF, WALLS, FOUNDATION (SLAB, BASEMENT WALL, CRAWL SPACE WALL AND/OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS FOR FENESTRATION AND THE SHGC OF FENESTRATION, AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING, WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATE SHALL LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT, WHERE A GAS FIRED UNVENTED ROOM HEATER, ELECTRIC FURNACE OR BASEBOARD ELECTRIC HEATER IS INSTALLED, THE CERTIFICATE SHALL LIST IT "AS APPROPRIATE". AN EFFICIENCY SHALL NOT BE LISTED FOR GAS-FIRED UNVENTED ROOM HEATERS, ELECTRIC FURNACES OR ELECTRIC BASEBOARD HEATERS.
2. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO CREATE AN AIR BARRIER TO LIMIT AIR INFILTRATION. THE BUILDING MUST BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 4 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 2 INCHES(50 PASCALS) AND DONE BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL PRIOR TO FINAL INSPECTION. (IF USING A BUILDING WRAP THAT CAN QUALIFY AS AN AIR BARRIER TAPE ALL SEAMS)
3. PROVIDE GASKET ON DOORS FOR WOOD BURNING FIREPLACES(EXCEPT LISTED AND APPROVED PRE-FAB FIREPLACES).
4. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE I-C-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.
5. A MINIMUM OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS EXCEPT LOW VOLTAGE LIGHTING.
6. BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLenums.
7. AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM AND MUST BE PROGRAMMABLE.
8. ATTIC ACCESS PANELS MUST BE INSULATED EQUIVALENT TO THE SURROUNDING SURFACE AND WEATHER STRIPPED, MUST HAVE DRYWALL ON THE UNDERSIDE.
9. MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM R-3.
10. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO A MIN. OF R-3 WITH A READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE.
- II. INSULATE THE FOLLOWING PIPES WITH R-3 INSULATION.
- A) PIPING LARGER THAN 3/4" NOMINAL DIAMETER
- B) PIPING SERVING MORE THAN ONE DWELLING UNIT
- C) PIPING FROM THE WATER HEATER TO KITCHEN OUTLETS
- D) PIPING LOCATED OUTSIDE THE CONDITIONED SPACE
- E) PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD
- F) PIPING LOCATED UNDER A FLOOR SLAB
- G) BURIED PIPING
- H) SUPPLY AND RETURN PIPING IN REGULATION SYSTEMS OTHER THAN DEMAND REGULATION SYSTEMS
- I) PIPING WITH RUN LENGTHS GREATER THAN THE MAX. RUN LENGTHS FOR THE NOMINAL PIPE DIAMETER
- 9/8" PIPE 30 FEET OR MORE WITH R-3
- 1/2" PIPE 20 FEET OR MORE WITH R-3
- 3/4" PIPE 10 FEET OR MORE WITH R-3
- GREATER THAN 3/4" PIPE 5 FEET OR MORE WITH R-3
12. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT IN USE.
13. SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-5. ALL OTHER DUCTS SHALL BE INSULATED TO A MINIMUM OF R-6. ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. AIR HANDLERS SHALL HAVE AN AIR LEAKAGE OF NO MORE THAN 2% OF THE DESIGN AIR FLOW RATE WHEN TESTED IN ACCORDANCE WITH ASHRAE 153.
14. HEATING AND COOLING EQUIPMENT MUST BE SIZED PER ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODS (SUBMIT CALCS)
15. DUCT TIGHTNESS. IF DUCTS ARE OUTSIDE THE THERMAL ENVELOPE THE DUCTS MUST BE DUCT BASTED TO CHECK FOR TOTAL LEAKAGE OF LESS THAN OR EQUAL TO 4 CFM PER 100 SQUARE FEET OF CONDITIONED FLOOR AREA WHEN TESTED ACROSS THE ENTIRE SYSTEM. TIGHTNESS SHALL BE VERIFIED BY 3RD PARTY.
16. MAINTENANCE INSTRUCTIONS SHALL BE FURNISHED FOR EQUIPMENT AND SYSTEMS THAT REQUIRE PREVENTATIVE MAINTENANCE.
17. BUILDINGS OF UNUSUALLY TIGHT CONSTRUCTION SHALL HAVE ALL COMBUSTION AIR TAKEN FROM THE OUTSIDE.
18. ALL DOORS AND WINDOWS WILL HAVE A U-VALUE OF .30 OR LESS AND A SKYLIGHT U-VALUE OF .35 OR LESS (LEAVE STICKERS ON WINDOWS UNTIL AFTER INSULATION INSPECTION)
19. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR FROM THE EAVE INTO THE ATTIC. FOR AIR IMPERMEABLE INSULATIONS IN VENTED ATTICS A Baffle MUST BE INSTALLED BETWEEN EACH RAFTER ALONG THE SIDE AND OVER THE INSULATION(ANY SOLID MATERIAL IS ACCEPTABLE)
20. THE THICKNESS OF BLOWN-IN OR SPRAYED ROOF-CEILING INSULATION (FIBERGLASS OR CELLULOSE) SHALL BE WRITTEN IN INCHES ON MARKERS THAT ARE INSTALLED AT LEAST ONE FOR EVERY 300 S.F. THROUGHOUT THE ATTIC SPACE.
21. NEW WOOD BURNING FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR.
22. THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC SECTION R303.4 AND DESIGNED TO MEET 3 OR INTERNATIONAL MECHANICAL CODE, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION(HVAC CONTRACTOR TO SUBMIT METHOD OF COMPLIANCE)



REAR ELEVATION
REFER TO SHEET A-1 FOR ELEVATION NOTES



LEFT ELEVATION



RIGHT ELEVATION

REVISIONS

ADDITION & REMODEL FOR
CELTIC CONSTRUCTION

25 CARPENTER ST.,
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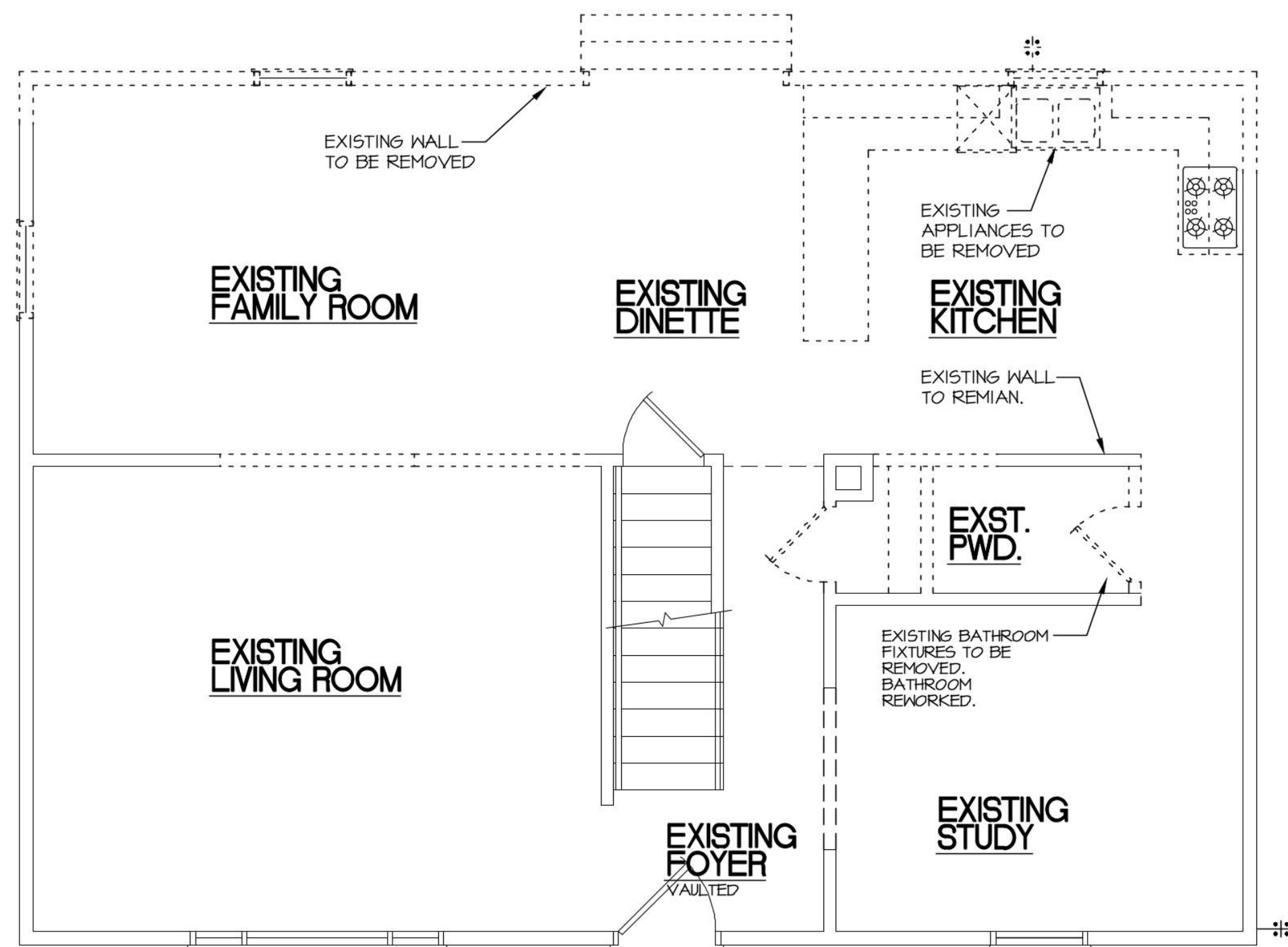
ELEVATIONS

APP'D: WKO
CHECKED: WKO
DRAWN: GEB / GMB
DATE: 06/17/22
PROJ NO: 322044
PREV NO: (---)

SHEET NUMBER

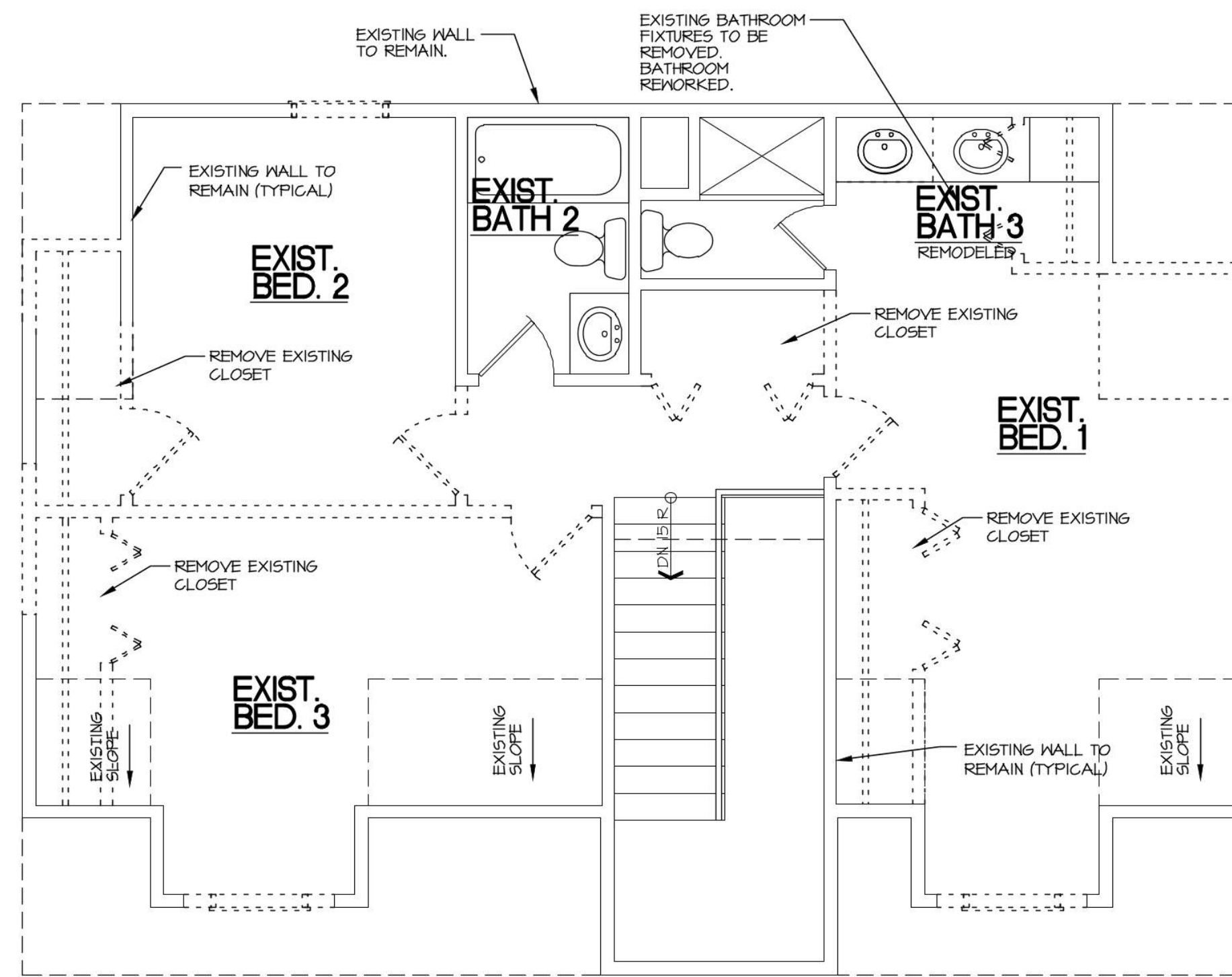
A-2

OF 15



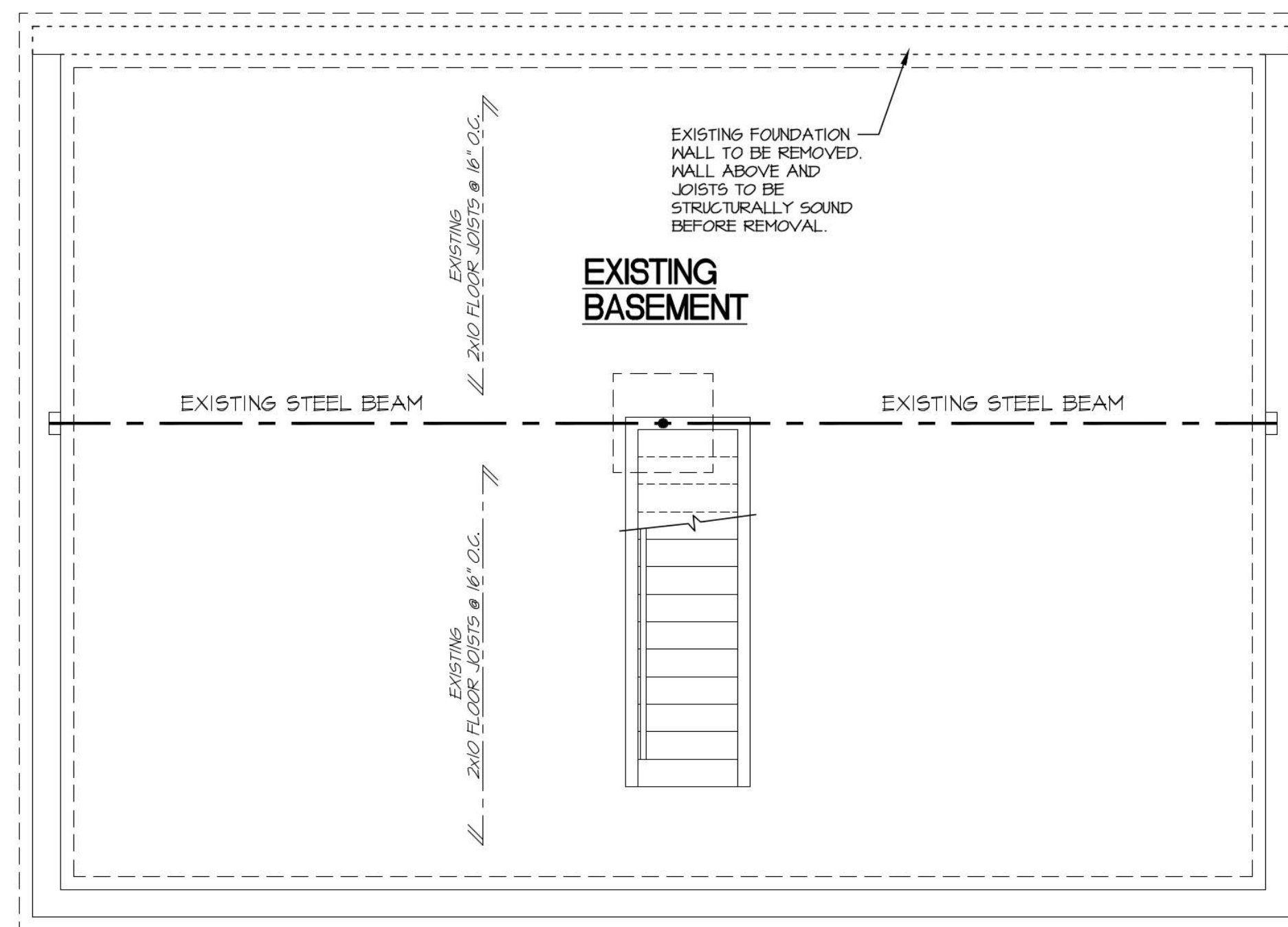
FIRST FLOOR DEMOLITION PLAN

1/4" = 1'-0"



SECOND FLOOR DEMOLITION PLAN

1/4" = 1'-0"



FOUNDATION DEMOLITION PLAN

1/4" = 1'-0"

REVISIONS

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DEMOLITION
PLANS

APP'D: WKO

CHECKED: WKO

DRAWN: SEB / SMB

DATE: 06/17/22

PROJ NO: 322044

PREV NO: (---)

SHEET NUMBER

A-3

OF 15

FRAMING NOTES:DEAD LOAD 10#/S.F.

CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON U.S. SPAN BOOKS. FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR #2 FOR MEMBERS UP TO 12". FOR MEMBERS 12" AND ABOVE USE HEM-FIR.

ALLOWABLE SPANS ARE AS FOLLOWS:

	SPRUCE-PINE-FIR #2			HEM-FIR #2
CEILING JOISTS - 20lbs LIVE LOAD	2"x6"	2"x8"	2"x10"	2"x12"
12" O.C.	14'-4"	18'-4"	22'-11"	23'-6"
16" O.C.	12'-10"	16'-3"	19'-10"	21'-0"
2nd FLOOR, FLOOR JOISTS - 30lbs LIVE LOAD				
12" O.C.		19'-0"	22'-6"	
16" O.C.		17'-2"	19'-8"	
1st FLOOR, FLOOR JOISTS - 40lbs LIVE LOAD				
12" O.C.	17'-3"	20'-4"		
16" O.C.	15'-5"	17'-7"		

MICROLAM LVL AND PARALLAM PSL HEADERS AND BEAMS ARE MANUFACTURED BY "TRUS JOIST MAC MILLAN" OR APPROVED EQUAL.
TJI JOISTS ARE MANUFACTURED BY "TRUS JOIST MAC MILLAN" OR APPROVED EQUAL.

FOUNDATION NOTES

- FOR SPECIFICATIONS SEE SHEET SP-1.
- FOR DETAILS AND WALL SECTIONS SEE SHEET D-1.
- CARPENTER CONTRACTOR TO VERIFY WITH CONTRACTOR IF JOIST SPACING IS TO BE CHANGED TO 12" O.C. UNDER CERAMIC TILE FLOOR AREAS.
- CARPENTER CONTRACTOR TO VERIFY WITH CONTRACTOR IF JOIST SPACING IS TO BE CHANGED TO 12" O.C. UNDER TUB AREAS.
- IF CONCRETE FLOOR, JOISTS & STEEL FOR FIRST FLOOR IS NOT IN PLACE FOUNDATION WALLS SHALL BE BRACED WITH 2"x8" @ 48" TO TOP OF FOUNDATION WALLS 8'-0" O.C. AND AT ALL FOUNDATION CORNERS 32'-0" FROM WALLS.
- ALL FOOTINGS SHALL BE ON UNDISTURBED SOIL OR APPROVED COMPACTED FILL, EITHER OF WHICH MUST HAVE A BEARING CAPACITY OF 3,000 PSF.
- ALL UNDIMENSIONED PARTITIONS ARE 4 1/2" FINISHED (2"x4" STUDS W/ 1/2" DRYWALL BOTH SIDES).
- DOUBLE ALL FLOOR JOISTS UNDER PARALLEL PARTITIONS.
- ALL BASEMENT OUTLETS IN UNFINISHED AREA MUST BE G.F.I.

BASEMENT WALLS, FOUNDATIONS, INTERIOR FLOOR SLABS (EXCEPT GARAGE), AND OTHER CONCRETE NOT EXPOSED TO THE WEATHER IS REQUIRED TO HAVE A MINIMUM 3,000 PSI COMPRESSIVE STRENGTH @ 28 DAYS, AND BE AIR ENTRAINED (5-7% BY VOLUME) WHERE SUBJECT TO FREEZING AND THAWING. BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS, AND OTHER VERTICAL CONCRETE EXPOSED TO THE WEATHER IS REQUIRED TO HAVE A MINIMUM 3,000 PSI COMPRESSIVE STRENGTH AND BE AIR ENTRAINED (5-7% BY VOLUME). PORCHES, GARAGE SLABS, STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS ARE REQUIRED TO HAVE A MINIMUM 3,500 PSI COMPRESSIVE STRENGTH, BE AIR ENTRAINED (5-7% BY VOLUME), AND THE MAXIMUM HEIGHT OF FLY ASH OTHER POZZOLANS, SILICA FUME, OR SLAG SHALL NOT EXCEED THE PERCENTAGES OF TOTAL WEIGHT OF CEMENTITIOUS MATERIALS WHERE EXPOSED TO DEICING CHEMICALS.

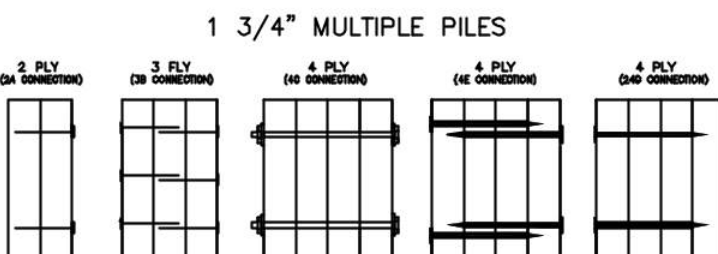
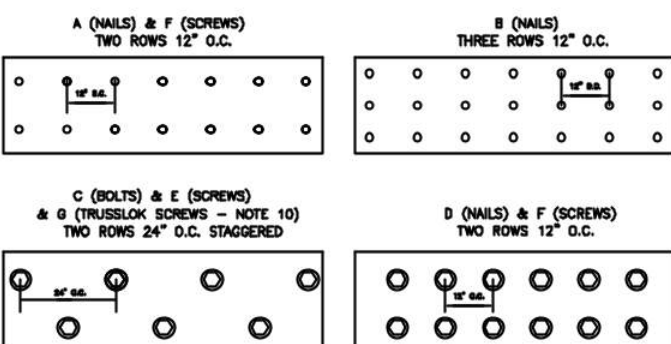
CONCRETE CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/ CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

BACKFILL NOTE:
DUE TO THE LARGE FORCES THAT WILL BE CREATED BY THE SOIL NEXT TO THE BASEMENT WALL, IT IS IMPERATIVE THAT THE BACKFILL NOT BE PLACED UNTIL AFTER THE BASEMENT FLOOR SLAB HAS BEEN POURED AND THE UPPER PORTIONS OF THE WALL ARE RESTRAINED BY EITHER THE FIRST FLOOR OR BY A HORIZONTAL BRACING SYSTEM OR BY BOTH. IT IS ALSO IMPERATIVE THAT THE BACKFILL NOT BE OVER COMPACTED AS THE FORCES GENERATED BY THE SOIL COULD CRACK THE FOUNDATION WALL.

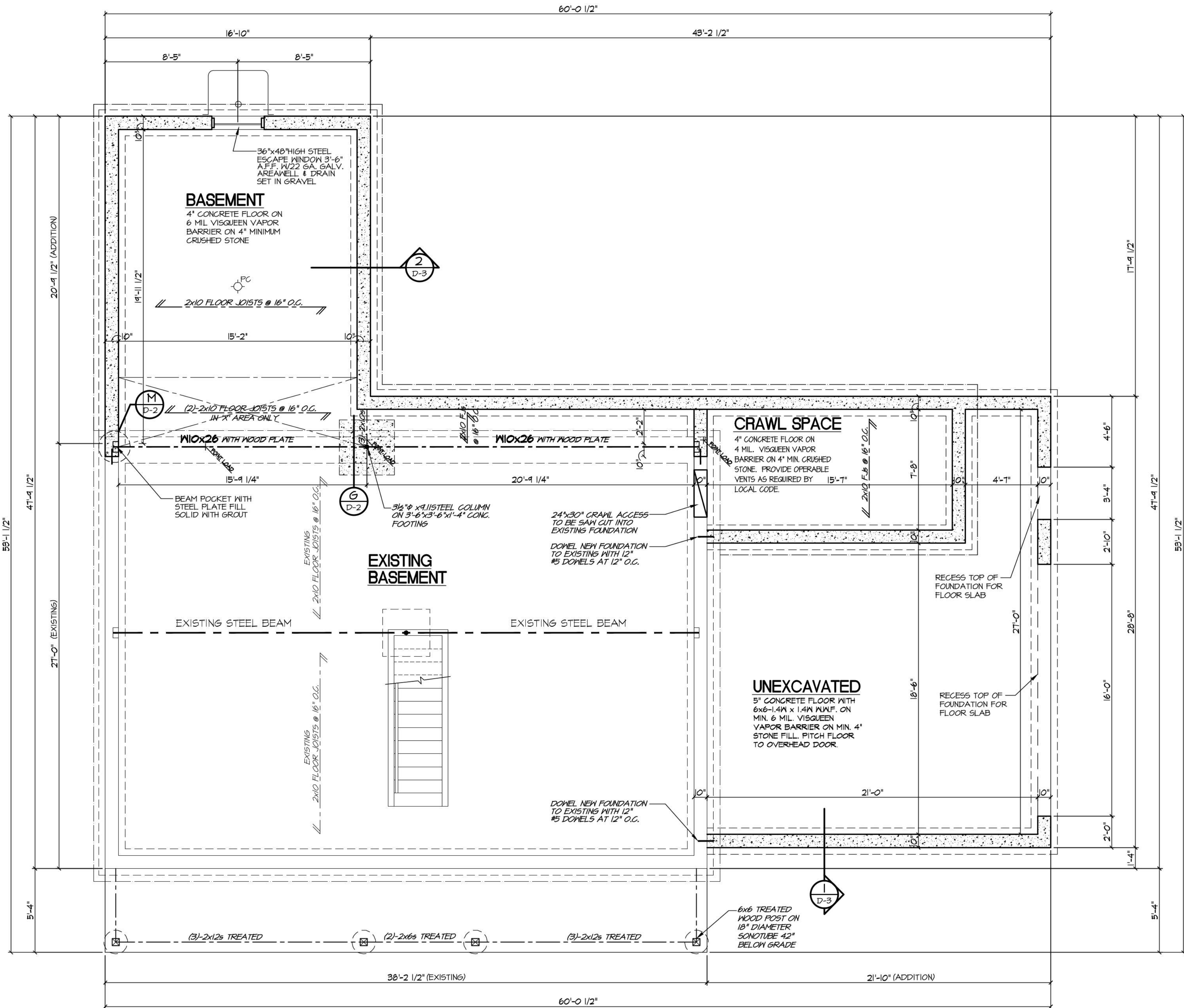
LVL FASTENING SCHEDULE

MAXIMUM UNIFORM LOAD APPLIED TO EITHER OR BOTH OUTSIDE PIECES (POUND PER LINEAL FOOT)

PIECES	1-60 NAILS	1-72 NAILS	2-60 NAILS	2-72 NAILS	3-60 NAILS	3-72 NAILS
NUMBER	2	2	2	2	2	2
1	500	400	500	400	500	400
2	500	400	500	400	500	400
3	500	400	500	400	500	400
4	500	400	500	400	500	400



- NOTES:
- CONFIRM ADEQUACY OF THE BEAM (DEPTH AND NUMBER OF PIECES) FOR CARRYING THE DESIGNATED LOAD.
 - STRESS LEVELS FOR NAIL AND BOLT VALUES IS 100%. INCREASES OF 50% FOR SNOW LOADED OR 25% FOR NON-SNOW LOADED FLOOR CONDITIONS ARE PERMITTED.
 - TOP AND BOTTOM ROWS OF CONNECTIONS SHOULD BE 7" FROM EDGE.
 - BOLT HOLES ARE TO BE THE SAME DIAMETER AS THE BOLT. EVERY BOLT MUST EXTEND THROUGH THE FULL THICKNESS OF THE MEMBER. USE WASHERS UNDER HEAD AND NUT.
 - FOR THREE-PIECE MEMBERS SPECIFIED NAILING IS FROM THE EACH SIDE.
 - TO MINIMIZE ROTATION FOR 3-PIECE MEMBERS SHOULD ONLY BE USED WHEN LOADS ARE APPLIED TO BOTH SIDE OR COMPLETELY ACROSS THE TOP OF THE MEMBER.
 - FOR 3-PIECE MEMBERS MUST BE BOLTED OR ATTACHED WITH P-SCREWS FROM BOTH SIDES.
 - FLOOR JOISTS MUST BE ATTACHED WITH APPROVED METAL HANGERS.
 - SCREWS ARE USE #8 SCREWS OR SIMILAR STRONGER - BE SURE INSTALLED PER MANUFACTURER.
 - INSTRUCTIONS: SCREWS FOR 3-PLY AND 4-PLY MEMBERS MUST BE FROM BOTH SIDES OF BEAM.
 - FASTENERS: TRUSSING SCREWS FOR 2-PLY, 3-PLY, OR 4-PLY LONG FOR 4-PLY. CONNECTIONS MAY BE DOUBLED FOR 12" ON-CENTER SPACINGS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. DO NOT OVERDRIVE SCREWS.



FOUNDATION PLAN

1/4" = 1'-0"

REVISIONS

ADDITION & REMODEL FOR
CELTIC CONSTRUCTION

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FOUNDATION
PLAN

APP'D: WKO

CHECKED: WKO

DRAWN: SEB / SMB

DATE: 06/17/22

PROJ NO: 322044

PREV NO: (---)

SHEET NUMBER

A-4

OF 15

LVL FASTENING SCHEDULE									
MAXIMUM UNIFORM LOAD APPLIED TO EITHER OR BOTH OUTSIDE PIECES (POUND PER LINEAL FOOT)									
PIECES	100' NAILS	1 1/2" BOLTS	BOARDS	NOTES	2) TRUSSELS	3) TRUSSELS	4) TRUSSELS	5) TRUSSELS	6) TRUSSELS
MEMBER	1" x 2"	1" x 2"	1" x 2"	1" x 2"	1" x 2"	1" x 2"	1" x 2"	1" x 2"	1" x 2"
2	200	200	200	200	200	200	200	200	200
4	400	400	400	400	400	400	400	400	400
6	600	600	600	600	600	600	600	600	600
8	800	800	800	800	800	800	800	800	800
10	1000	1000	1000	1000	1000	1000	1000	1000	1000
12	1200	1200	1200	1200	1200	1200	1200	1200	1200
14	1400	1400	1400	1400	1400	1400	1400	1400	1400
16	1600	1600	1600	1600	1600	1600	1600	1600	1600
18	1800	1800	1800	1800	1800	1800	1800	1800	1800
20	2000	2000	2000	2000	2000	2000	2000	2000	2000
22	2200	2200	2200	2200	2200	2200	2200	2200	2200
24	2400	2400	2400	2400	2400	2400	2400	2400	2400
26	2600	2600	2600	2600	2600	2600	2600	2600	2600
28	2800	2800	2800	2800	2800	2800	2800	2800	2800
30	3000	3000	3000	3000	3000	3000	3000	3000	3000
32	3200	3200	3200	3200	3200	3200	3200	3200	3200
34	3400	3400	3400	3400	3400	3400	3400	3400	3400
36	3600	3600	3600	3600	3600	3600	3600	3600	3600
38	3800	3800	3800	3800	3800	3800	3800	3800	3800
40	4000	4000	4000	4000	4000	4000	4000	4000	4000
42	4200	4200	4200	4200	4200	4200	4200	4200	4200
44	4400	4400	4400	4400	4400	4400	4400	4400	4400
46	4600	4600	4600	4600	4600	4600	4600	4600	4600
48	4800	4800	4800	4800	4800	4800	4800	4800	4800
50	5000	5000	5000	5000	5000	5000	5000	5000	5000
52	5200	5200	5200	5200	5200	5200	5200	5200	5200
54	5400	5400	5400	5400	5400	5400	5400	5400	5400
56	5600	5600	5600	5600	5600	5600	5600	5600	5600
58	5800	5800	5800	5800	5800	5800	5800	5800	5800
60	6000	6000	6000	6000	6000	6000	6000	6000	6000
62	6200	6200	6200	6200	6200	6200	6200	6200	6200
64	6400	6400	6400	6400	6400	6400	6400	6400	6400
66	6600	6600	6600	6600	6600	6600	6600	6600	6600
68	6800	6800	6800	6800	6800	6800	6800	6800	6800
70	7000	7000	7000	7000	7000	7000	7000	7000	7000
72	7200	7200	7200	7200	7200	7200	7200	7200	7200
74	7400	7400	7400	7400	7400	7400	7400	7400	7400
76	7600	7600	7600	7600	7600	7600	7600	7600	7600
78	7800	7800	7800	7800	7800	7800	7800	7800	7800
80	8000	8000	8000	8000	8000	8000	8000	8000	8000
82	8200	8200	8200	8200	8200	8200	8200	8200	8200
84	8400	8400	8400	8400	8400	8400	8400	8400	8400
86	8600	8600	8600	8600	8600	8600	8600	8600	8600
88	8800	8800	8800	8800	8800	8800	8800	8800	8800
90	9000	9000	9000	9000	9000	9000	9000	9000	9000
92	9200	9200	9200	9200	9200	9200	9200	9200	9200
94	9400	9400	9400	9400	9400	9400	9400	9400	9400
96	9600	9600	9600	9600	9600	9600	9600	9600	9600
98	9800	9800	9800	9800	9800	9800	9800	9800	9800
100	10000	10000	10000	10000	10000	10000	10000	10000	10000

CARPENTER CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

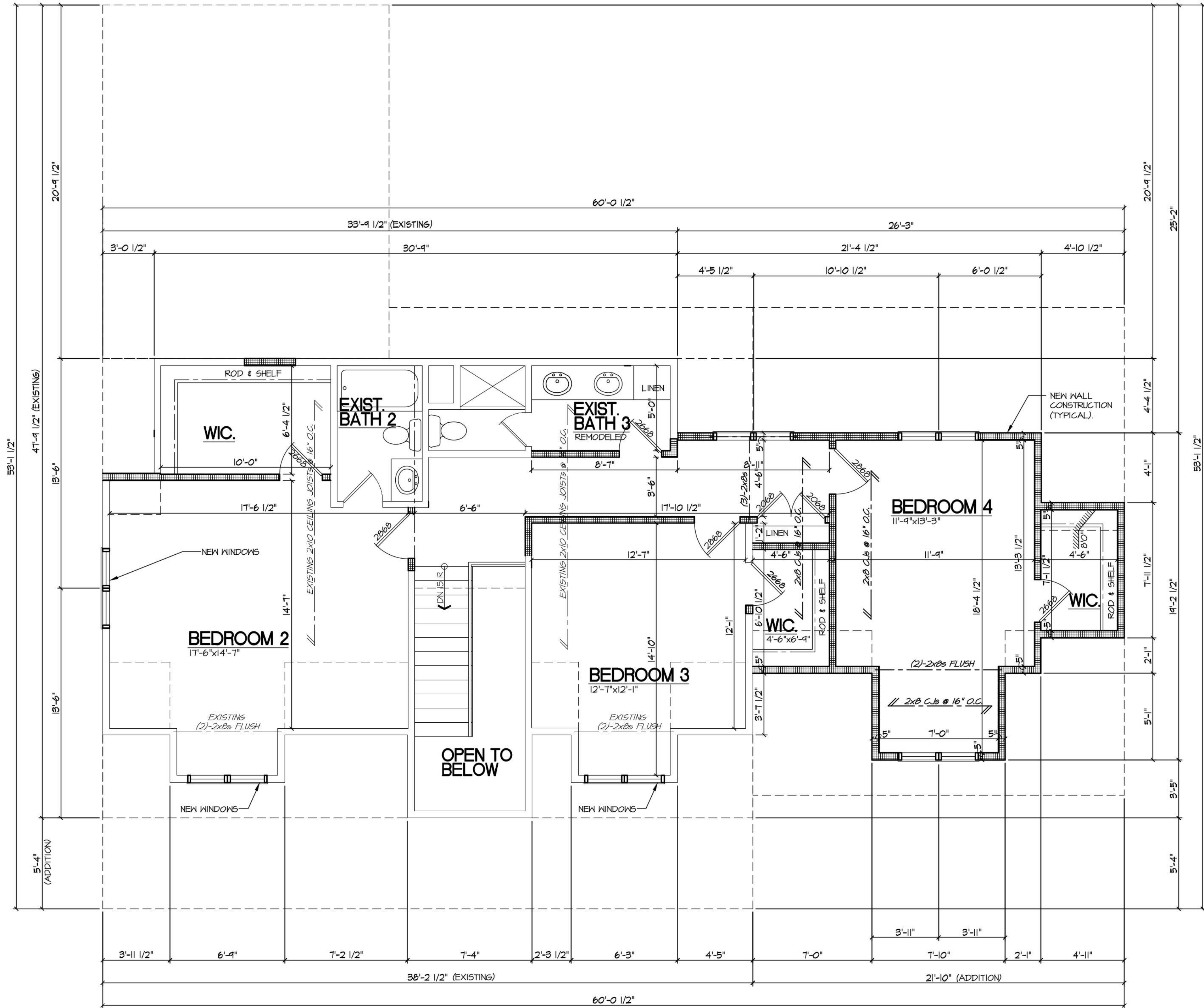
THE ENDS OF ALL JOISTS, BEAMS AND GIRDERS SHALL BEAR A MINIMUM 1'-1/2" ON WOOD OR METAL AND 3" ON MASONRY OR CONCRETE EXCEPT WHERE SUPPORTED ON A 1" BY 4" RISER STRIP AND NAILED TO THE ADJACENT STUD OR BY THE USE OF APPROVED JOIST HANGERS. JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MINIMUM 3" AND BE NAILED TOGETHER WITH A MINIMUM THREE (3) FACE NAILS. JOISTS FRAMING INTO THE SIDE OF A WOOD GIRDER SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OR ON LEDGER STRIPS NOT LESS THAN NOMINAL 2" BY 2".

GENERAL NOTES

1. FOR SPECIFICATIONS SEE SHEET SP-1
2. CARPENTER CONTRACTOR TO VERIFY WITH CONTRACTOR IF JOIST SPACING IS TO BE CHANGED IN CERAMIC TILE FINISHED FLOOR AREAS.
3. SEE ELEVATIONS FOR ALL WINDOW SIZES.
4. ALL UNDIMENSIONED PARTITIONS ARE 4 1/2" FINISHED.
5. SEPARATION WALL/CEILING BETWEEN GARAGE AND LIVING AREA SHALL HAVE MINIMUM 5/8" TYPE X GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF ALL WALLS AND CEILINGS COMMON WITH THE RESIDENCE OR ITS ATTIC. ALSO PROVIDE A MINIMUM 5/8" TYPE X GYPSUM DRYWALL BOARD PROTECTION FOR WALLS NOT COMMON WITH RESIDENCE THAT SUPPORT CEILING.
6. FOR PARTITION DETAILS SEE - W/D1 & N/D1
7. FOR HEADER SIZING SEE - Q/D1
8. FOR STAIR DETAIL SEE - J/D1 & K/D1
9. FOR FIREPLACE DETAILS SEE - A/D3 & C/D3
10. ALL FULL DOWN STAIRS, ACCESS PANELS, SCUTTERS TO ATTIC SPACES SHALL HAVE A SIGN AT THE POINT OF ENTRY. THE SIGN SHALL READ: LIMITED ACCESS ONLY. FOR FIRE DEPARTMENT AND EXPERIENCED WORKMAN KNOWLEDGEABLE IN ATTIC CONSTRUCTION AND DANGERS.

FRAMING NOTES: DEAD LOAD 10#/S.F.			
CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON U.S. SPAN BOOKS. FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR #2 FOR MEMBERS UP TO 12". FOR MEMBERS 12" AND ABOVE USE HEM-FIR.			
ALLOWABLE SPANS ARE AS FOLLOWS:			
CEILING JOISTS - 20lbs LIVE LOAD	SPRUCE-PINE-FIR #2	2"x6"	2"x10"
	14'-4"	18'-4"	22'-11"
	12'-10"	16'-3"	19'-10"
2nd FLOOR, FLOOR JOISTS - 30lbs LIVE LOAD	SPRUCE-PINE-FIR #2	2"x6"	2"x12"
	14'-4"	18'-4"	22'-11"
	12'-10"	16'-3"	19'-10"
1st FLOOR, FLOOR JOISTS - 40lbs LIVE LOAD	SPRUCE-PINE-FIR #2	2"x6"	2"x12"
	14'-4"	18'-4"	22'-11"
	12'-10"	16'-3"	19'-10"

MICROLAM LVL AND PARALLAM PSL HEADERS AND BEAMS ARE MANUFACTURED BY "TRUS JOIST MAC MILLAN" OR APPROVED EQUAL.
T.J. JOISTS ARE MANUFACTURED BY "TRUS JOIST MAC MILLAN" OR APPROVED EQUAL.



SECOND FLOOR PLAN

1/4" = 1'-0"

REVISIONS

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SECOND FLOOR PLAN

APP'D: WKO
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DATE: 06/17/22
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SHEET NUMBER
A-6
OF 15