

PLAN COMMISSION / ZONING BOARD OF APPEALS AGENDA

Thursday, January 25, 2024 6:30 P.M.

Frankfort Village Hall 432 W. Nebraska Street (Board Room)

- 1. Call to Order
- 2. Roll Call
- 3. Approval of Minutes of January 11, 2024

4. Public Hearing: Undeveloped land - Dunkin' Commercial Multi-Tenant Building (Ref# 108)

Request: Special Use Permit for a carry out restaurant; Special Use Permit for drive-up service windows associated with a permitted use; Special Use Permit for outdoor seating associated with a permitted restaurant; Special Use Permit for extended hours of operation (opening at 4:00 a.m.), and Variations from Section 151.041(B)(1)(h) and Section 151.041(B)(1)(i) of the Frankfort Municipal Code to allow a free-standing sign to exceed the maximum permitted area of 15 square feet, and the minimum height of the text on a free-standing sign to be less than 12 inches, for undeveloped property located on the east side of La Grange Road, approximately one quarter mile south of St. Francis Road (PIN: 19-09-15-301-034-0000).

5. Public Hearing: 39 and 49 E. Bowen Street - Chicago Title Land Trust Company Trust No. 8002380636 (Ref# 109)

Request: Variation from Article 6, Section B, Part 4(e) of the Village of Frankfort Zoning Ordinance to allow more than two (2) uninterrupted wall lengths of thirty-five (35) feet or greater along any façade of a primary structure, and to exceed the required maximum 35-foot length of an uninterrupted wall facing a public right-of-way, for the property located in the R-2 Single Family Residential District at 39 and 49 E. Bowen Street, Frankfort, Illinois (PIN: 19-09-22-304-012-0000 and 19-09-22-304-013-0000).

6. Workshop #2: Abbey Woods North

Future Public Hearing Request: Annexation, Rezoning, and Preliminary/Final Plat of Subdivision to create a proposed 26-lot single-family residential subdivision located on the south side of W. St. Francis Road, south of the intersection of W. St. Francis Road and Waterview Trail (PIN: 19-09-15-300-019-0000).

7. Workshop: 219 Pacific Street – Lanigan Residence

Future Public Hearing Request: Variations from various sections of the Village of Frankfort Zoning Ordinance and Land Subdivision Regulations regarding first floor building materials (masonry required, mostly non-masonry proposed), reduced front yard Setback (Maple Street), reduced corner side yard setback (Pacific Street Street), increased maximum lot coverage, reduced lot width, and reduced lot depth, for the property located in the R-2 Single Family Residential District located at 219 Pacific Street (PIN: 19-09-28-223-023-0000).

- 8. Public Comments
- 9. Village Board & Committee Updates
- 10. Other Business
- 11. Attendance Confirmation (February 8, 2024)

12. Adjournment

All applicants are advised to be present when the meeting is called to order. Agenda items are generally reviewed in the order shown on the agenda, however, the Plan Commission/Zoning Board of Appeals reserves the right to amend the agenda and consider items in a different order. The Commission may adjourn its meeting to another day prior to consideration of all agenda items. All persons interested in providing public testimony are encouraged to do so. If you wish to provide public testimony, please come forward to the podium and state your name for the record and address your comments and questions to the Chairperson.

MINUTES



MEETING OF VILLAGE OF FRANKFORT PLAN COMMISSION / ZONING BOARD OF APPEALS

January 11, 2024 – VILLAGE ADMINISTRATION BUILDING

432 W. NEBRASKA STREET

Call to Order:	Chair Schaeffer called the meeting to order at 6:30 PM	
Commissioners Present:	Nichole Schaeffer (Chair), Brian James, Johnny Morris, Jessica Jakubowski, Will Markunas	
Commissioners Absent:	David Hogan, Dan Knieriem	
Staff Present:	Planning & Economic Development Director Mike Schwarz, Senior Planner Christopher Gruba, Planner Amanda Martinez	

Elected Officials Present: None

A. Approval of the Minutes from December 14th, 2023

Chair Schaeffer asked for questions or comments regarding the minutes. There were none.

Motion (#1): To approve the minutes from December 14th, 2023, as presented.

Motion by: James Seconded by: Morris

Approved: (3-0, Jakubowski and Markunas abstained)

B. Public Hearing: 20 S. White Street – Frankfort Arts Association

Amanda Martinez presented the staff report.

The cofounder and president of the Frankfort Arts Association, Christina Cooley, approached the podium. She said that she has a signed lease for the space. She said that they have over 100 artists participating who are not just from Frankfort but from the surrounding area as well. They hope to one day move into a large studio space, but this smaller commercial space will work well for their current needs. She said that the front end of the commercial space would have a retail store and that the back end would have a creative workspace. They would create prints, pottery, woodworking among other art mediums. The artists would also be able to hold their own classes. The business would

operate between 9 am - 9 pm when artists would work, but the retail shop would not be open that entire timespan.

There were no initial questions from the Commission. Chair Schaeffer asked if anyone from the public wished to speak. There were none.

Motion (#2): To close the public hearing.

Motion by: Jakubowski Seconded by: James

Approved by voice vote: (5-0)

Commissioner James said he thought the use would be great for the downtown.

Amanda Martinez asked the Commission if they had any thoughts about the proposed conditions of approval. Chair Schaeffer said that one possible condition would be to prohibit live performances, including the use of musical instruments. Commissioner James said that the use of musical instruments was also discussed for the Studio C project (at 14 Hickory Street) and supported the condition. Commissioner Markunas asked the applicant if musical instruments were intended. Ms. Cooley said that although their intended arts would be very broad, they would mostly focus on the visual arts, although it would be nice if an acoustical guitar could be played periodically. Chair Schaeffer said that she didn't want to prohibit musical instruments such as acoustical guitars. Commissioner James asked if the building is audibly insulated, because he had been in the building and had not heard bowling balls being dropped on the second floor. Commissioner Jakubowski said that she's heard bowling ball noise while being on the first floor but said that she has no concerns about acoustical guitars or a singer.

The Commission discussed the condition of requiring a 15-minute break between classes to accommodate parking space turnover. All commissioners supported this condition.

Motion (#3): Recommend the Village Board approve a Special Use Permit for Indoor Entertainment for an art gallery with associated art classes for the property located at 20 S. White Street, in accordance with the submitted plans, public testimony, and Findings of Fact, subject to the following condition(s):

1. The business shall implement a minimum 15-minute break in between classes to accommodate parking space turnover.

Motion by: Markunas

Seconded by: Morris

Approved: (5-0)

C. Public Hearing (continuation from December 14, 2023): 116 & 118 Kansas Street – Petite Patate

Amanda Martinez presented the staff report.

The applicant, Greg Baxtron, approached the podium. He said that he was born and raised in Frankfort. He started his culinary career in Chicago but has been living and working in New York City for the past 20 years. He said that he chose a French cuisine because it seemed to be missing in Frankfort. He would do brunch on weekends. He doesn't foresee the restaurant disturbing the neighborhood.

Chair Schaeffer asked if anyone from the public wished to speak. There were none.

Motion (#4): To close the public hearing.

Motion by: Jakubowski

Seconded by: James

Approved: (5-0)

Chair Schaeffer asked the Commission for comments. She noted that the business would be open during normal business hours. She also asked about the requirements for the trash enclosure. Amanda Martinez responded that the trash enclosure would be discussed during the following case, for the remodeling of the entire building involving several variations. Chair Schaeffer said that the impact on parking would be small. Commissioner James agreed, noting that there is public parking near the property at the northwest corner of Hickory Street and Nebraska Street. He noted that this would be the furthest west restaurant within the downtown, which helps spread out congestion from restaurant uses.

Mike Schwarz noted that the building at 2 Smith Street will be demolished, and the parking lot would be expanded and resurfaced to increase the parking available at that location.

Commissioner Jakubowski said that she's very excited that this building could be refurbished for restaurant use.

<u>Motion (#5):</u> Recommend the Village Board approve a Special Use Permit to allow a restaurant full-service, with liquor sales located at 116 and 118 Kansas Street (PIN 19-09-28-206-017-0000 and PIN 19-09-28-206-016-0000) in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: James

Seconded by: Markunas

Approved: (5-0)

D. Public Hearing (continuation from December 14, 2023): 116 & 118 Kansas Street – Kevin Kreger

Amanda Martinez presented the staff report.

The project architect, Chris Tokarz, approached the podium and provided a brief explanation of the project. He said that the Tudor style non-masonry addition in the rear was falling apart, and their initial plan was to demolish this addition and replace it. The owner instead decided to increase the footprint of the area beneath the rear addition very slightly with a masonry addition, to allow more usable space on the first floor. The 2nd floor of the rear addition would have a wood deck and the remainder of the 2nd floor of the building would be used for 1 residential unit and a smaller, separate office use.

Chris Tokarz said that a trash enclosure would be placed off of the back of the alley behind the building, measuring 16'x6'. It would be made of a composite fencing product. Chair Schaeffer asked if the enclosure would contain the typical roll-off style dumpsters. Chris Tokarz responded yes. He noted that half of the trash enclosure would house a commercial dumpster and the other half would house residential-style trash containers. Chair Schaeffer asked if the alley was improved. Chris Tokarz responded that the alley is not improved but resembles cobblestone.

Chair Schaeffer asked for clarification regarding the zoning. Amanda Martinez replied that a rezoning is not required. Rather, the trash enclosure will require variations, but not all the details have been received. She noted that the PC/ZBA will review variations for the trash enclosure at a future meeting.

Commissioner Markunas asked where the former commercial dumpster was located. Amanda Martinez responded that it was located on the existing concrete pad that is located completely within the existing 16' wide public alley. Chris Tokarz said that the alley used to contain a lot of debris which has since been cleared.

Chair Schaeffer first asked the commissioners for comments regarding the Special Use Permit for the vacation rental. Commissioner Markunas asked why the applicant chose to make a portion of the 2nd floor a vacation rental instead of an apartment rental or a condo unit. Don Kreger, father of Kevin Kreger, approached the podium. Mr. Kreger said that his son lives out of town much of the time, so he would only be staying at the residential unit periodically throughout the year. While out of town, he would rent out the unit on Airbnb and the remainder of the time it would be unoccupied. Commissioner Markunas asked who would be available to check on the property while it was rented out. Mr. Don Kreger said that he would be the main person keeping an eye on the property because he lives in Frankfort. He also said that there would be cameras outside of the building to allow him to monitor the number of guests coming and going. He said that Frankfort is not known for being a "party town" and that their guests would be more low-key. Chair Schaeffer said that the rental would do very well during Bluegrass Festival.

Commissioner Markunas asked Mr. Kreger if he's reviewed and agreed to all the regulations for vacation rentals. Mr. Kreger responded yes. Commissioner Markunas said that the vacation rental appeared to be "higher end", renting for approximately \$250 per night and hosting a maximum of 4 people. Mr. Kreger concurred.

Commissioner James said that the vacation rental passed in 2021 only permits a unit to be rented out for a total of 60 days within a calendar year. He also said that the Village has the right to review the guest log as well. As such, he feels comfortable with the use.

Commissioner Morris also expressed comfort with the use.

Chair Schaeffer then asked the commission for comments regarding the four variation requests. She noted that she felt comfortable with the variations for building setbacks, since the building is from the 1800s. Commissioner Markunas noted that the building footprint would remain largely the same. Commissioner Jakubowski said that the proposed uses are almost the same as they were before when Cactus Carrol's was open as a restaurant on the ground floor and there were two residential units on the second floor.

Chair Schaeffer asked for public comment.

Resident Deborah Hardwick approached the podium. She asked for clarification about the trash dumpster location and removal. Chris Tokarz said that the trash enclosure would be made of the same fencing that is used for other enclosures within the downtown. Ms. Hardwick said that some trash enclosures are maintained downtown, while others are not. Chris Tokarz said that the commercial dumpster would be steel and have a lid. Ms. Hardwick said that sometimes commercial dumpsters are emptied at 3 am and she wants to avoid that happening here. She also noted that deliveries could be a problem if they also occur at 3 am. Commissioner Markunas asked that since the trash enclosure needs to return to the PC/ZBA in the future for variance(s), whether they could add conditions of approval at that future time. Staff replied yes. Mike Schwarz said that the Municipal Code permits trash collection between 7:00 a.m. and 10:00 p.m.

Motion (#6): To close the public hearing.

Motion by: Markunas Seconded by: Jakubowski

Approved: (5-0)

<u>Motion (#7):</u> Recommend the Village Board approve a Special Use Permit to allow a vacation rental in the H-1 Historic District for the subject property located at 116 Kansas Street (PIN 19-09-28-206-017-0000) in accordance with the reviewed plans, public testimony, and Findings of Fact and subject to the following condition:

1. Compliance with Chapter 123 of the Village of Frankfort Code of Ordinances.

Motion by: James Seconded by: Morris

Approved: (5-0)

Motion (#8): Recommend the Village Board approve the variation request to reduce the required rear yard setback (from the south property line) from 20 feet to 6 feet, on the property located at 116 Kansas Street (PIN 19-09-28-206-017-0000), in accordance with the reviewed plans, public testimony, and Findings of Fact.

Approved: (5-0)

Motion (#9): Recommend the Village Board approve the variation request to reduce the required interior side yard setback (from the east property line) from 5 feet to 1 foot, on the property located at 116 Kansas Street (PIN 19-09-28-206-017-0000), in accordance with the reviewed plans, public testimony and Findings of Fact.

Motion by: Jakubowski

Seconded by: Markunas

Approved: (5-0)

Motion (#10): Recommend the Village Board approve the variation request to reduce the required interior side yard setback (from the west property line) from 5 feet to 3 feet, on the property located at 118 Kansas Street (PIN 19-09-28-206-016-0000), in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: James Seconded by: Jakubowski

Approved: (5-0)

<u>Motion (#11):</u> Recommend the Village Board approve the variation request to waive all required off-street parking for property located in the H-1 Historic District at 116 and 118 Kansas Street (PIN 19-09-28-206-017-0000 and 19-09-28-206-016-0000), in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: Markunas Seconded by: Morris

Approved: (5-0)

E. Public Hearing: 20500 S. La Grange Road, Unit 2S – Pamel Montalbano Massage Therapy

Amanda Martinez presented the staff report.

The applicant, Pamela Montalbano, approached the podium. She said that she's been practicing massage therapy for 13 years and has been sharing a space with an acupuncturist for the last 10 years. She said that she specializes more in women's health. She offers a higher quality massage which is higher cost. She does occasionally see male clients, but only with a referral. She doesn't work evenings and is finished by 6:00 p.m. She would have, at most, 6 appointments per day. She would have 30-40 minutes between clients to clean and disinfect. She does not have any employees, nor intends to in the future.

Commissioner Morris asked how she planned to advertise her business with signage. Ms. Montalbano said that there would be no signage out front, only a small sign in the back, on the rear door. There would be no neon signs or anything of the sort. She said that her business would be located upstairs and that she does not allow "walk-in" appointments. Commissioner Morris asked for an update regarding the shared parking agreement with the property owner to the south. She responded that when the Dancing Marlin is open, their business is generally closed, and vice versa. Amanda Martinez clarified that there is no formal parking agreement in place, only a recorded cross-access easement.

Commissioner James said that he did not have any concerns about parking, but he did have questions regarding the use regulations for massage establishments listed in the Zoning Ordinance. Per the code, he noted that a separate dressing room is required for each gender. Ms. Montalbano replied that clients would change separately in the 175 square-foot massage room, while she would wait outside in the waiting area and then enter with their permission. Commissioner James said that the code also requires that no massage establishment may have any doors that have locks. Ms. Montalbano said that the door to the 175 square-foot massage room would not have a lock, but that the main door into the shared waiting area would. She said that there are only 3 other tenants on the 2nd floor, who do not see clients but only use their units as office space.

Chair Schaeffer said that a business on the second floor could move out and a different one could move in that did see clients. Commissioner Morris asked if the washroom area was shared. The applicant responded yes. She said that there is no direct access between the massage room and the washroom and the only path between the two was the shared waiting area.

Commissioner James asked if there was a service sink, as required per the Zoning Ordinance. The property owner, Harry D'Ercole, approached the podium. He said that he is one of the occupants of one of the office spaces on the 2^{nd} floor. He said that there is one sink in his unit and another sink in the common washroom, both of which would be

available to Ms. Montalbano to use if needed. He also noted that the proposed tenant space had been used for massage therapy in the past.

Chair Schaeffer asked for public comment. There was none.

Motion (#12): To close the public hearing.

Motion by: Jakubowski Seconded by: James

Approved: (5-0)

<u>Motion (#13):</u> Approve an adjustment to the minimum number of required parking spaces to allow the existing 43 parking spaces on the property to serve the existing businesses and the proposed massage establishment.

Motion by: Markunas Seconded by: James

Approved: (5-0)

Motion (#14): Recommend the Village Board approve a Special Use Permit for a Massage Establishment to operate in the B-4 Office District for the property located at 20500 S. LaGrange Road, Unit 2S, Frankfort, Illinois 60423 (PIN 19-09-16-400-031-0000), in accordance with the submitted plans, public testimony, and Findings of Fact, subject to the following two conditions:

- 1. The applicant shall comply with Zoning Ordinance Article 5, Section C, Part 11.1, Use Regulations for Massage Establishments; and
- 2. The applicant shall obtain a Business License.

Motion by: Morris Seconded by: Markunas

Approved: (4-1, James voted no)

Mike Schwarz asked Commissioner James to elaborate, for the record, on his reason(s) for voting no. He replied that he was concerned about the safety of clients and that he was not comfortable with a massage therapy use that was accessible to a shared waiting area.

F. Non-Public Hearing: Voorn Lawndale Plat of Subdivision

Amanda Martinez presented the staff report.

The applicant, Justin Ozinga, approached the podium. He said that he's lived in Frankfort for 20 years and that he has 5 daughters. He wants to subdivide the land to create Lot 2 for his house. The smaller Lot 1 would be created for a separate homeowner, Mike Bilon, who also came to the podium.

Mr. Ozinga said that he chose this property to stay in the school district for his children. Also, he has a disabled brother that uses a wheelchair and that the lot location would allow his brother to get to downtown Frankfort via sidewalks that are not along busy roads.

Commissioner Markunas asked if the narrow part of the "flag lot" for Lot 2 abutting Bown Street would be paved or have a path of any kind. Mr. Ozinga replied that the narrow part of Lot 2 would be all grass but would be treelined on either side. The southernmost yard area of Lot 2 which has frontage along Bowen Street will be fenced with a gate.

Commissioner Markunas asked staff why "flag lots" were undesirable. Mike Schwarz replied that most communities, including the Village of Frankfort regulate the creation of "flag lots" via the Zoning Ordinance and/or Subdivision Regulations to avoid poorly designed neighborhoods that do not allow each lot to have an adequate amount of roadway frontage, which can be problematic for emergency access, school buses, refuse collection, etc. He provided an example of a series of flag lots in another nearby community that resulted in houses being "triple stacked" one behind the other and sharing one driveway located within the "flag" portion of the lot. In this case, there will be no vehicle access to Bowen Street from the proposed Lot 2. The only purpose of the "flag" shape is to allow frontage onto Bowen Street for pedestrian access. This may be a unique situation due to the surrounding street network. Without the proposed Lot 2 frontage along Bowen Street, the residents of the proposed Lot 2 would need to walk a significant distance around other homes along Lawndale Court and Lawndale Boulevard to reach Bowen Street to access the Downtown area. He added that if the subject property hypothetically was combined with the unincorporated parcels to the east and were to be subdivided into additional smaller lots, then there would likely be a new through street (extension of 95th Avenue) along with new public sidewalks.

Commissioner Markunas asked the applicant if they intended to have a curb cut along Bowen Street. Mr. Ozinga replied that there would be one driveway for Lot 2 along Lawndale Court and one driveway along Bowen Street for Lot 1. He said that he wanted the flag lot to be able to have a quicker walking path to downtown, by walking from his house to Bowen Street.

Commissioner James asked staff what the depth of the adjacent lots on either side are. Staff responded that the exact dimension for the depth of the adjacent lots is unknown at this time, but the north property line for Lot 1 closely aligns with the adjacent properties' property lines.

Chair Schaeffer and Commissioner Morris both said they were comfortable with the proposed Plat.

Motion (#15): Recommend the Village Board approve the proposed Preliminary and Final Plat of the Voorn Lawndale Subdivision, which consolidates 39 and 49 E. Bowen Street

(PINS 19-09-22-304-012-0000 and 19-09-22-304-013-0000), subject to staff approval of any necessary technical revisions prior to recording.

Motion by: Markunas Seconded by: Morris

Approved: (5-0)

Chair Schaeffer called for a short recess at 8:00 pm. The meeting was reconvened at 8:05 pm.

G. Public Hearing: Village of Frankfort Zoning Ordinance Text Amendment, Accessory Structures

Chris Gruba presented the staff report. He noted that there was little discussion at the last workshop meeting on October 26th. He said that there seemed to be consensus that residential accessory structures, including pool cabanas and similar structures with at least one open side, could be a minimum size of 250 square feet and a maximum of 1.7% of the area of the lot, not to exceed 1,000 square feet.

The commissioners generally agreed and there was little discussion.

Motion (#16): To close the public hearing.

Motion by: James Seconded by: Jakubowski

Approved: (5-0)

Motion (#17): Recommend the Village Board approve the proposed text amendment relating to Accessory Structures, as listed in Article 5, Section D of the Zoning Ordinance.

Motion by: Morris Seconded by: Jakubowski

Approved: (5-0)

H. Public Hearing: Village of Frankfort Zoning Ordinance Text Amendment, Parking Regulations

Chris Gruba presented the staff report.

Chair Schaeffer said that she liked the rationale for the text amendment, supported by data.

Commissioner Markunas asked staff how Frankfort compares to other nearby communities regarding being too strict or too lax. Chris Gruba replied that Frankfort leans toward being more conservative, or strict, with parking requirements, compared to surrounding communities. He added that he strived to maintain the current parking requirements for all uses, while making the switch from basing parking on employee counts to a calculation based upon gross floor area.

Commissioner James asked how parking would be calculated for a new large commercial PUD, such as for the Silver Cross property. Chris Gruba replied that parking would be calculated as normal, but that a PUD may provide relief from the parking requirements by granting a modification.

Mike Schwarz said that the Zoning Ordinance mentions parking adjustments, eluding perhaps that parking requirements are more of an art than a science. He agreed that calculating parking on gross floor area is much more common and a better method than using the anticipated number of employees.

Motion (#18): To close the public hearing.

Motion by: Jakubowski

Seconded by: James

Approved: (5-0)

Motion (#19): Recommend the Village Board approve the proposed text amendment relating to Off-Street Parking & Loading, as listed in Article 7, Section B, and Article 6, Section C, Part 3(g) of the Zoning Ordinance.

Motion by: Jakubowski

Seconded by: James

Approved: (5-0)

I. Public Comments

There were no public comments.

J. Village Board & Committee Updates

Mike Schwarz noted that there were no Plan Commission/Zoning Board of Appeals matters on the December 18th Village Board agenda.

K. Other Business

Chris Gruba said he learned that Abri Credit Union was seeking to construct a new building along S. La Grange Road in Mokena but that the project did not go through. As such, Abri would remain in Frankfort in their current location in the Vineyards of Frankfort plaza.

L. Attendance Confirmation (January 25th, 2024)

Chair Schaeffer asked Commissioners to please let staff know if someone cannot attend the next meeting.

Motion (#20): Adjournment 8:47 P.M.

The motion was unanimously approved by voice vote (5-0).

Approved January 25th, 2024

As Presented_____ As Amended_____

_____/s/ Nichole Schaeffer, Chair

_____/s/ Secretary

Planning Commission / ZBA



January 25, 2024

Project:	Dunkin' Commercial Multi-Tenant Building
Meeting Type:	Public Hearing
Requests:	(1) Special Use Permit for a carry out restaurant; (2) Special Use Permit for drive-up service windows associated with a permitted use; (3) Special Use Permit for outdoor seating associated with a permitted restaurant; (4) Special Use Permit for extended hours of operation (opening at 4:00 a.m.); (5) Variations from Section 151.041(B)(1)(h) and Section 151.041(B)(1)(i) of the Frankfort Municipal Code to allow a free-standing sign to exceed the maximum permitted area of 15 square feet, and the minimum height of the text on a free-standing sign to be less than 12 inches.
Location:	Vacant Land on the east side of La Grange Road, south of St. Francis Road
Applicant:	Koru Group, PLLC
Prop. Owner:	Krupa Shah
Consultants:	Eric Carlson, AIA, Koru Group; Dave Kudwa, P.E., Koru Group
Report By:	Michael J. Schwarz, AICP

Site Details

Parcel/Lot Size:	5.92 acres		
PIN(s):	19-09-15-301-034-0000		
Existing Zoning:	B-2 Community Business District		
Prop. Zoning:	B-2 Community Business District		
Building(s) / Lot(s): 1 proposed building on 1 lot			
Adjacent Land Use Summary:			

	Land Use	Comp. Plan	Zoning
Subject Property	Undeveloped	Commercial	B-2
North	Natural Area	Environmental Conservation	E-R
South	Commercial	Commercial	B-2
East	Natural Area	Environmental Conservation	E-R
West	Commercial	Commercial	B-2

Project Summary –

The applicant, Koru Group, PLLC, representing the property owner, Krupa Shah, has filed an application requesting (1) Special Use Permit for a carry out restaurant; (2) Special Use Permit for drive-up service windows associated with a permitted use; (3) Special Use Permit for outdoor seating associated with a permitted restaurant; and (4) Special Use Permit for extended hours of operation (opening at 4:00 a.m.), in the B-2 Community Business District, for the undeveloped property known as Lot 2 in Powell Resubdivision, located on the east side of La Grange Road, south of St. Francis Road. In conjunction with the requested Special Uses, the applicant desires to develop an approximately 8,625 square-foot commercial multi-tenant building on the property (8,570 interior net square feet). The proposed building would include five (previously four) tenant spaces. The northern tenant space would include a 2,180 (previously 2,030) square-foot Dunkin' restaurant. The other four tenants have not been disclosed at this time. The PC/ZBA discussed this application at workshop on October 12, 2023 (refer to attached meeting minutes).



Figure 1: Location Map

- The building size and footprint remains the same but the floor plan and building elevations now reflect 5 tenant spaces (formerly 4 tenant spaces). Additionally, the free-standing sign elevation, one of the tenant spaces is proposed to be occupied by Tropical Smoothie Café, which impacts the parking analysis and removes the 15 surplus parking spaces that were estimated based on the former floor plan (refer to additional discussion about parking under the Site Plan heading later in this report).
- The west and north building elevations have changed significantly. On the west elevation facing La Grange Road, the former 3 roof gables and associated pediments along with the rectangular pediment above the Dunkin' space have been removed and a sloped roof with asphalt shingles has been added along much of the roofline. The west building elevation now reflects 2 roof gables with associated triangular pediments at each end of the building facing La Grange Road. Those new pediments now include brick material instead of the former fiber cement fascia material. On the north building elevation, the fiber cement siding adjacent to and above the drive-through window has been removed. These areas now reflect brick material to match the rest of the building.
- Exterior wall signage has been revised so that all tenant wall signs are in the same horizontal alignment. The former plans reflected the Dunkin' wall sign being slightly higher than the other wall signs.
- The proposed free-standing sign has been revised to reflect a brick rather than an opaque background.
- The proposed free-standing sign has increased in size. The former plan reflected two options for the freestanding sign, each of which exceeded the maximum allowable sign face area of 15 square feet. Option 1 included a proposed height of 7 feet and a total sign face area of 30 square feet. Option 2 included a proposed height of 6 feet, 1 inch, and a total sign face area of 15 square feet. The proposed free-standing sign is now 37.5 square feet and includes 4 rows of text (one for each of the tenants other than Dunkin') that are only 7 inches in height. Therefore, the applicant is seeking Variations from Section 151.041(B)(1)(h) and Section 151.041(B)(1)(i) of the Frankfort Municipal Code to allow a free-standing sign to exceed the maximum permitted area of 15 square feet, and the minimum height of the text on a free-standing sign to be less than 12 inches.
- The Site Plan now depicts the proposed outdoor seating areas, including one area near the northwest corner of the building directly in front of the proposed Dunkin' tenant space, and the other near the southwest corner of the building. Both areas would be paved with brick pavers to complement the building and would be partially enclosed with a 3-foot high, black, aluminum decorative fence. The proposed fence is labeled on the Site Plan (Sheet C1.0) and a detail is provided on the Site Plan Details (Sheet SP 1.2). The details for patio furnishings have also been provided. A total of 5 square tables with 4 chairs each and an associated umbrella are proposed. Staff has informed the applicant that no advertising is allowed on the umbrellas as that would constitute additional signage. Therefore, the optional "Dunkin'" umbrella shown on Patio Furniture Selection Sheet would not be permitted. Only the solid color umbrella option would be permitted, subject to consideration by the Plan Commission/Zoning Board of Appeals and Village Board.
- An Exterior Lighting Plan Sheet has been provided which includes newly proposed rope-lighting which would be concealed behind the metal canopies that project from the wall above each storefront.
- The Site Plan has been revised to include one larger stormwater management basin rather than two separate basins.
- The 3 proposed site retaining walls have been revised as follows:

North Retaining Wall:	Previous Plan: 95 feet in length, 6 feet in height at tallest point	
	Current Plan: 105 feet in length, 6 feet in height at tallest point	
South Lower Retaining Wall:	Previous Plan: 337 feet in length, 5 feet in height at tallest point	
	Current Plan: 304 feet in length, 7 feet in height at tallest point	
South Upper Retaining Wall:	Previous Plan: 108 feet in length, 4.5 feet in height at tallest point	
	Current Plan: 227 feet in length, 9.5 feet in height at tallest point	

- Site Plan Details (Sheets SP-1.1 and SP-1.2) have been provided and depict the proposed clearance bar, order canopy, digital preview board, and digital menu board for the proposed drive-through facility.
- A pedestrian crosswalk has been added near the southwest corner of the building, to provide a connection to the existing public sidewalk along La Grange Road.
- The eastern landscape peninsula located along the southern row of parking has been shifted to the east to align with the opposite brick-paved peninsula, thereby providing a more defined transition from the 2-way traffic circulation to the 1-way traffic circulation for the drive-through facility and rear parking area.

Property Background _____

The Village Board approved a donation agreement in October 2016 (Resolution No. 16-68) by which the Chicago Trust Company agreed to donate a ±21.3-acre tract of land to the Village, subject to conditions. The primary purpose of the donation was to allow the Village to expand its existing lift station along LaGrange Road as part of the wastewater treatment consolidation project, as well as the preservation of open space and potential recreational trail opportunities along Hickory Creek. A closing on the property occurred in December 2016. As part of the agreement, the Village agreed to resubdivide the property to simplify the description of the land transfer and fulfill the terms of the agreement. The Final Plat of Resubdivision for Powell Resubdivision (attached) was approved by the Village Board on January 17, 2017. Lot 1 of the Powell Resubdivision is 21.268 acres and Lot 2 (the subject property) is 5.92 acres.

Attachments –

- 1. 2020 Aerial Photograph from Will County GIS
- 2. Final Plat of Powell Resubdivision
- 3. ALTA NSPS Land Title Survey dated 5/30/23, received 9/1/23
- 4. Site Photograph(s) taken 9/21/23
- 5. Exterior Elevations / Monument Sign Detail Sheet A200 dated 1/25/24, received 1/12/24
- 6. First Floor Plan Sheet A101 dated 1/25/24, received 12/26/23
- 7. Canopy Detail, undated, received 1/11/24
- 8. Dunkin' Wall Sign Specifications, undated, received 1/16/24
- 9. Monument Sign Specifications, undated, received 1/16/24
- 10. Exterior Finishes Information Sheet, undated, received 9/1/23
- 11. Exterior Lighting Plan Sheet E1 dated 1/25/24, received 1/22/24
- 12. Exterior Lighting Details and Specifications received 12/26/23
- 13. Patio Furniture Selection Sheet, undated, received 1/12/24
- 14. Site Civil Plans
 - Cover Sheet Sheet C0.1 dated 9/1/23, last revised 1/12/24, received 1/19/24
 - Existing Conditions Sheet C0/2 dated 9/1/23, last revised 1/12/24, received 1/19/24
 - Site Plan Sheet C1.0, dated 9/1/23, last revised 1/12/24, received 1/19/24
 - Access Drive Sheet C1.1 (Fire Truck and Semi-Truck/Trailer Circulation) dated 9/1/23, last revised 1/18/24, received 1/19/24
 - Stormwater Basin Sheet C2.1 dated 9/1/23, last revised 1/12/24, received 1/19/24
 - Grading Plan Sheet 2.0 dated 9/1/23, last revised 12/22/23, received 1/19/24
 - Utility Plan Sheet C3.0 dated 9/1/23, last revised 12/22/23, received 1/19/24
 - Landscape Plan Sheet L1.1 dated 8/24/23, last revised 1/12/24, received 1/12/24
 - Landscape Plan Sheet L1.2 dated 8/24/23, last revised 12/20/23, received 1/12/24
 - Tree Preservation Plan Sheet L1.4 dated 8/24/23, last revised 12/20/23, received 1/12/24
 - Photometric Plan and Light Fixture/Pole Details Sheet C5.0 dated 8/22/23, last revised 1/12/24, received 1/12/24
 - Site Plan Details Sheet SP-1.1 undated, received 1/12/24
 - Site Plan Details Sheet SP-1.2 undated, received 1/12/24
- 15. Wetland Buffer Exhibit Sheet WBE undated, received 1/12/24
- 16. Approved Meeting Minutes from 10/12/23 PC/ZBA Meeting
- 17. PC/ZBA Evaluation Form for Special Use Permit Findings of Fact

18. PC/ZBA Evaluation Form for Variation Findings of Fact

Analysis –

In consideration of the request, staff offers the following points of discussion:

Land Use/Comprehensive Plan

The applicant has desires to develop an approximately 8,625 square-foot commercial multi-tenant building (8,570 net square feet) on Lot 2 in the Powell Resubdivision. The proposed building would include 5 (previously 4) tenant spaces. The northern tenant space would include a 2,180 square-foot Dunkin' restaurant. The other 4 tenants have not been disclosed at this time, although the free-standing sign elevation indicates that one of the tenant spaces is proposed to be occupied by Tropical Smoothie Café. The proposed commercial use is consistent with the adopted *Future Land Use Map* which depicts the subject property as "General Commercial".

Hours of Operation

The applicant has indicated that the proposed business hours of operation for the Dunkin' restaurant are:

• 4:00 a.m. to 8:00 p.m. seven days per week

The proposed hours are outside of the Village's normal hours of operation which are 7:00 a.m. to 11:00 p.m. per Article 6, Part 2(q) of the Zoning Ordinance. Therefore, a Special Use Permit for extended hours of operation (opening at 4:00 a.m.) is being requested specifically for the proposed Dunkin' restaurant.

Zoning and Special Uses

- 1. The subject property is zoned B-2 General Business District.
- 2. The applicant has filed an application requesting:

(1) Special Use Permit for a carry out restaurant (for the Dunkin' restaurant);

(2) Special Use Permit for drive-up service windows associated with a permitted use (for the Dunkin' restaurant);

(3) Special Use Permit for outdoor seating associated with a permitted restaurant (for the Dunkin' restaurant); and

(4) Special Use Permit for extended hours of operation (opening at 4:00 a.m.), in the B-2 General Business District (for the Dunkin' restaurant).

Site Plan

- 1. The Site Plan depicts the proposed 8,625-square-foot building and surrounding parking lot.
- 2. One (1) stormwater detention basin is proposed to the east of the building.
- 3. A large portion of the overall property to the north of the proposed development site contains mapped floodplain.
- 4. The proposed drive-through pick-up window for the proposed Dunkin' restaurant is located at the north end of the building. The drive-through lanes are located along the north and east sides of the building. There are dual drive-through lanes shown on the east side of the building which eventually merge near the northeast corner of the building. The purpose of the dual lanes is to separate the traditional ordering lane from a mobile order lane. The drive though facility complies with the required minimum of 8 stacking spaces behind the pick-up window.
- 5. The Zoning Ordinance specifies the following parking ratios for the various uses of the building:

For the Dunkin' (Restaurant, Fast-Food Category): One (1) space per 75 square feet of gross floor area; plus one (1) space per two (2) employees for the work shift with the largest number of employees; plus on-site queuing for a minimum of eight (8) vehicles waiting at a drive-thru which has been approved as a Special Use. The proposed 2,180 square-foot restaurant would require 30 spaces based on gross floor area, plus another 3 spaces would be required for the estimated 6 employees that would be working during the busiest shift. A total of 36 spaces would be required for the proposed restaurant. The proposed Site Plan reflects queuing for at least 8 vehicles from the pick-up window back. The Site Plan reflects dual drive-through lanes which merge near the pick-up window. One lane is for traditional ordering from a menuboard, the other lane is for mobile-pick-up only.

For the potential Tropical Smoothie Café (Restaurant, Fast-Food Category): One (1) space per 75 square feet of gross floor area; plus one (1) space per two (2) employees for the work shift with the largest number of employees. For the square-footage component of the calculation, a total of 21 spaces would be required for the proposed 1,570 square-foot restaurant.

For the presently unknown commercial uses in the 3 southern tenant spaces (Business Establishment Category): One (1) space per two hundred fifty (250) square feet of gross floor area; plus one (1) space per employee for the work shift with the largest number of employees. The southern three tenant spaces total 4,820 square feet, thereby requiring 20 spaces based on the square-footage component of the calculation, plus an additional number of spaces yet to be determined for employees.

The Site Plan depicts a total of 71 parking spaces, including 3 handicap accessible spaces. Based on the gross floor areas of the tenant spaces and known uses, a minimum of 72 spaces would be required based only the square-footage component of the calculation. The additional employee parking requirements are not currently known for the 4 future commercial uses.

Staff notes that the pending Text Amendment to the Zoning Ordinance pertaining to the parking regulations (removal of the employee count component of the calculation) was recommended for approval at the Plan Commission/Zoning Board of Appeals meeting on January 11, 2024, and will be scheduled for discussion at future Committee-of-the-Whole meeting prior to being considered by the Village Board. In the meantime, given that the current parking regulations still include an employee count component, staff is recommending that the Plan Commission/Zoning Board of Appeals either approve a parking adjustment as permitted by the Zoning Ordinance and/or add a condition to the Special Use Permit for a carry out restaurant (for the Dunkin' restaurant) subject to the Village Board's approval of the pending Text Amendment to the Zoning Ordinance pertaining to the parking regulations (removal of the employee count component of the calculation).

- 6. The Site Plan depicts the required trash enclosure (6 feet tall by 14 feet deep by 26 feet wide) in the southeast corner of the site. The Zoning Ordinance requires that trash enclosures be constructed of materials to match the exterior of the building (in this case brick). The proposed trash enclosure would have a brick exterior to match the proposed building.
- 7. The B-2 Community Business District allows a maximum impervious surface lot coverage of 75%. According to the Site Analysis Table on the Site Plan (attached) the total development area, including the building and parking lot is approximately 2.2 acres out of the overall property area of 5.92 acres, or approximately 37.16% impervious surface lot coverage, thereby complying with the requirement.
- 8. A proposed free-standing multi-tenant panel sign is depicted on the Site Plan, adjacent to the west property line/right-of-way line, and south of the proposed vehicle entrance. As mentioned in the previous staff report, the proposed sign does comply with the required minimum 25-foot setback for a free-standing sign and will need to be relocated on a revised Site Plan. Staff suggests that the sign could be shifted to the area on the north side of the proposed vehicle entrance to comply with the Sign regulations.
- 9. The proposed Site Plan depicts brick paver surfaces near the northwest and southwest corners of the building, which would be able to accommodate potential outdoor seating. At this time, only the northwest area is proposed for outdoor seating associated with the proposed Dunkin' Donuts. Detailed plans for the outdoor seating area, including the proposed fencing, tables, chairs, umbrellas, and other fixtures, along with the number and arrangement of seating spaces, have not been provided at this time.

- 10. The Site Plan reflects two-way vehicle circulation on the west and south sides of the building and one-way vehicle circulation on the east and north sides of the building.
- 11. The Site Plan reflects a proposed point of access on La Grange Road which is located slightly north of the existing driveway access for Terry's RV Center across the street to the west. According to the Project Architect, the Illinois Department of Transportation (IDOT) has provided preliminary comments on the proposed access location. A southbound left-turn lane would be added within the existing median of La Grange Road. A northbound deceleration lane would be added within the existing right-of-way on the east side of La Grange Road.
- 12. During the pre-application phase, staff suggested that cross-access be explored with the shopping center to the south. The Project Architect indicated that the two property owners have discussed potential cross access but that it is not feasible due to the significant grade differential between the two properties. The applicant therefore is seeking a waiver of the required travel lane (cross-access with the adjacent property to the south) under Article 7, Part 4(c) of the Zoning Ordinance. If the Plan Commission desires to approve such a waiver, this would be noted in the meeting minutes as part of the written record. Staff has provided an affirmative motion for consideration.
- 13. Three retaining walls are proposed on the Site Plan. On the north edge of the site, a 105 (previously 95) foot-long wall, 6 feet at its maximum height is proposed. On the south edge of the site, there are two proposed retaining walls, which would result in a terrace along the middle portion. The longer inner wall is 304 (previously 337) feet long and 7 (previously 5) feet at its maximum height. The shorter outer wall is 227 (previously 108) feet long and 9.5 (previously) 4.5 feet at its maximum height. Sections 4.03E(13) and 4.03E(15) of the 2008 Village of Frankfort Design Standards notes that the use of retaining walls is "strongly discouraged" and that any retaining walls over 50' long or 2.5' tall require review and approval by the Plan Commission. If the Plan Commission desires to accept the inclusion of the proposed retaining walls, this acceptance would be noted in the meeting minutes as part of the written record. Staff has provided an affirmative motion for consideration.
- 14. The Village Design Standards require a 7-foot minimum sidewalk width when a row of parking is located adjacent to the sidewalk to allow for 2 feet of vehicle overhang, thereby maintaining a minimum 5' wide walkway. The proposed sidewalks which are along the west and south sides of the building were previously 6.5 feet wide and have now been widened to 7 feet.
- 15. The proposed 2-way drive-aisles along the west and south sides of the building were previously depicted as 24 feet in width, which complies with the minimum width require as required by the Zoning Ordinance. However, the 2008 Design Standards which were adopted by Village Ordinance No. 2392 require drive-aisles to be a minimum of 26 feet in width when they have parking on both sides. This revision has been made.
- 16. The proposed drive-through lanes do not include a "bypass" or "escape" lane aside from a small break in the landscape median near the northeast corner of the building. The Zoning Ordinance does not require such a lane, but it is common practice for drive-through facilities. If such a lane is to be provided, the Site Plan would need to be revised.

Outdoor Seating Plan

- 1. The Site Plan depicts the proposed seating layout plan and perimeter fencing details for the proposed outdoor seating areas associated with a permitted restaurant.
- 2. Two outdoor seating areas are shown on the Site Plan, including one area near the northwest corner of the building directly in front of the proposed Dunkin' tenant space, and the other near the southwest corner of the building. Both areas would be paved with brick pavers to complement the building and would be partially enclosed with a 3-foot high, black, aluminum decorative fence. The proposed fence is labeled on the Site Plan (Sheet C1.0) and a detail is provided on the Site Plan Details (Sheet SP 1.2). The details for patio furnishings have also been provided. A total of 5 square tables with 4 chairs each and an associated umbrella are proposed. Staff has informed the applicant that no advertising is allowed on the umbrellas as that would constitute additional signage. Therefore, the optional "Dunkin'" umbrella shown on Patio Furniture Selection Sheet would not be permitted. Only the solid color umbrella option would be permitted, subject to consideration by the Plan Commission/Zoning Board of Appeals and Village Board.

Staff is recommending a condition that there shall be no advertising on the patio umbrellas or any other furniture.

Tree Preservation Plan

- 1. The applicant conducted a Tree Survey of approximately 324 trees that are located on and offsite from the 5.92-acre overall property. These trees were tagged and numbered.
- 2. The applicant has submitted a Tree Preservation Plan which depicts the existing trees to be preserved and other trees to be removed due to their condition, structure or health reasons. 105 trees are labeled as being located offsite. 71 trees are labeled for removal. 148 trees are labeled for preservation.
- 3. A total of 25 of the 71 existing trees that are labeled for removal are considered "Preservation Trees" per the Landscape Ordinance. These trees require a replacement rate based on their caliper size (1 inch replaced per 1 inch removed). A total of 380 inches of new trees are proposed to mitigate those trees which would be removed.

Landscape Plan

- 1. The applicant has submitted a Landscape Plan which depicts the proposed new trees and other plantings.
- 2. Given the location of an adjacent roadway, the Landscape Ordinance requires a "Transition Yard" as a buffer along the roadway within a minimum 25-foot-wide landscape yard. Per the Village's Landscaping Regulations, the required landscaping in transitional yards shall be comprised of a combination of overstory trees, evergreen trees, ornamental trees, and large shrubs. If shrubs are used, they shall be installed at a minimum height of five feet. Additional small shrubs may be used but shall not count towards meeting the landscape requirements. Also, a minimum of a 25-foot-wide landscaped screen consisting of a minimum of 125 plant units per 100 linear feet of frontage measured along the length of a common boundary between two units. Forty percent of the plant material (by unit count) must be evergreen. The landscape plan shall include a landscape berm of no less than 3 feet in height and shall be in a landscape easement. The regulations state that exceptions will be considered if the berm is determined to conflict with the natural or proposed drainage ways. It should be noted that the existing public sidewalk is located within the landscape yard for the required plantings and berm. However, due to the existing grade change between La Grange Road and the proposed parking lot, the proposed berm is less than 3 feet in height along most of the length of the parking lot but does comply with the minimum planting requirements.
- 3. The Landscape Plan depicts interior and perimeter parking lot landscaping.
- 4. The Landscape Plan depicts foundation plantings around the west, south and east sides of the building.
- 5. The Landscape Plan depicts plantings with the required drive-through lane landscape buffer.
- 6. The Landscape Plan does not depict parkway trees within the La Grange Road right-of-way, which is under the jurisdiction of the Illinois Department of Transportation (IDOT). Typically, IDOT does not desire parkway trees within regional arterial right-of-way. Therefore, staff is recommending a condition that the Landscape Plan be revised to include the required parkway trees (estimated to be 9 trees) elsewhere on the site.

Engineering Plans

1. The applicant has submitted Engineering Plans which are under review by the Village's consulting engineer.

Architecture

- 1. Color Building Elevations have been submitted.
- 2. The overall architectural style is reminiscent of other similar commercial buildings that have been built along La Grange Road over the past 20 years.
- 3. The proposed building includes a gabled roof with architectural grade asphalt shingles. The interior of the roof would be a flat roof for the placement of the rooftop mechanical units. Staff is awaiting details on the height of the rooftop mechanical units, as the Frankfort Fire District has recently requested that parapet walls (in this case a gabled roof) be no higher more than 42 inches from the interior roof deck to provide a

measure of safety for firefighters who may need to transition from a ladder truck onto the interior roof deck and vice versa.

- 4. The proposed single-story building includes four glass storefronts with pediments above the northern and southern tenant spaces.
- 5. The previously proposed Dunkin' pediment has been changed from a rectangular shape to a triangular shape to be consistent with the pediment above the southern tenant space.
- 6. The primary exterior building material is full dimensional brick on all four elevations.
- 7. Four rows of split-face concrete block are depicted for the wainscot material on all four elevations.
- 8. The submitted building elevations depict metal beams that serve as quasi-canopies above each glass storefront.
- 9. The applicant has agreed with staff's suggestion and has added a horizontal accent band consisting of smooth stone to complement the wainscot color be provided near the upper portion of the four elevations, in line with the proposed metal canopies. This provides another measure of relief to break up the large expanses of brick walls.
- 10. The submitted trash enclosure and gate details reflect brick to match the building per the Municipal Code.

Photometrics Plan

- 1. A Photometrics Plan, along with the proposed building and parking lot light fixtures and light pole specifications, has been submitted. The updated plans now reflect rope lighting above the storefronts that was not presented at the workshop meeting. The Project Architect provided a detail which helps depict the placement of the rope lighting and how it will be recessed within the projecting storefront canopies to be hidden from view.
- 2. The revised Photometrics Plan depicts 8 parking lot light poles, with modern LED fixtures mounted at 20 feet. The plan complies with the Zoning Ordinance which allows a maximum mounting height of 20 feet.
- 3. The Photometric Plan is complaint with the maximum allowable 0.5 foot-candles of illumination at the property lines.

Signage

- The submitted exterior signage plans serve as the required Uniform Sign Plan pursuant to the Sign Regulations. The proposed wall sign locations and dimensions are depicted on the Building Elevations sheet and on the Sign Details sheet for the Dunkin' wall sign.
- For the proposed Dunkin' restaurant, which could be considered the anchor tenant, the submitted building elevations reflect one wall sign on the west elevation facing La Grange Road comprised of internally illuminated channel letters in the orange corporate color and an apostrophe in the pink corporate color. The proposed location and dimensions of the wall signs for the other four tenant spaces are noted on the Building Elevations. Although the tenants for those spaces are not presently known, those future wall signs would be comprised of internally illuminated channel letters in white color for some measure of uniformity. Any future wall signs would need to be submitted for staff review prior to issuance of a Sign Permit to confirm that the overall sign area for each wall sign complies with the Sign Regulations, which allow 1 square-foot or sign area for each linear foot of tenant space storefront wall width.
- The submitted Building Elevations depict metal beams that serve as quasi-canopies above each glass storefront. For the proposed Dunkin' tenant space, the metal beam wraps around the corner along a portion of the north elevation and is depicted with a gray color to match the other tenant spaces.
- One new freestanding tenant panel sign is proposed. The applicant previously submitted two options for the workshop discussion. The applicant has selected a slightly larger variation of Option 1 which includes a proposed height of 7 feet and a total sign face area of 37.5 square feet (the previous Option 1 presented at the workshop was 30 square feet). The proposed area of 37.5 square feet exceeds and does not comply with the maximum 15 square feet for a multi-tenant sign for a building less than 9,999 square feet. The proposed Dunkin' tenant panel complies with the minimum 12-inch text height. However, each of the other 4 tenant panels reflect 7-inch text height. Therefore, the applicant is seeking Variations from Section 151.041(B)(1)(h) and Section 151.041(B)(1)(i) of the Frankfort Municipal Code to allow a free-standing sign to exceed the maximum permitted area of 15 square feet, and the minimum height of the text on a free-standing sign to be less than 12 inches.

- The proposed free-standing sign includes a brick sign face background to match the brick on the building. The sign base would consist of split-face concrete masonry unit block to match the wainscot on the building.
- For context, there are a variety of free-standing signs along La Grange Road, some of which predate the Sign Regulations. The adjacent Vineyards Shopping Center to the south includes a freestanding sign that has internally illuminated sign panels. Newer free-standing signs in the vicinity of the subject property such as at the Frankfort Commons (Aldi) Shopping Center, include free-standing signs that have a brick background with non-illuminated tenant panels. For those types of signs, ground-mounted lighting is typically directed at each sign face. The proposed freestanding sign includes non-illuminated sign panels which would only be illuminated by ground-mounted uplighting. The Sign Regulations allow both internal and external sign illumination, but any internally illuminated signs must have an opaque background with only the letters and logo illuminated. All sign illumination must comply with Section 151.101 of the Sign Regulations.
- As stated under the Site Plan heading, a proposed free-standing multi-tenant panel sign is depicted on the Site Plan, adjacent to the west property line/right-of-way line, and south of the proposed vehicle entrance. As mentioned in the previous staff report, the proposed sign does comply with the required minimum 25foot setback for a free-standing sign and will need to be relocated on a revised Site Plan. Staff is recommending a condition that the sign be shifted to the area on the north side of the proposed vehicle entrance to comply with the Sign regulations.
- Site Plan Details (Sheets SP-1.1 and SP-1.2) have been provided and depict the proposed clearance bar, order canopy, digital preview board, and digital menu board for the proposed drive-through facility. The aforementioned items comply with Village requirements.

Adjustments to Required Parking -

For reference during the public hearing, Article 7, Part 5 of the Village of Frankfort Zoning Ordinance describes the circumstances in which the Plan Commission may adjust the minimum number of required parking spaces in the business and industrial districts on a case-by-case basis. In this case, the proposed development reflects a shared parking lot for the use of 5 proposed tenant spaces. Article 7, Part 5 is as follows:

- a. Purpose. The purpose of this section is to allow adjustments to the minimum number of parking spaces required to avoid construction of unnecessary and excessive off-street parking facilities. Reducing the requirements for off-street parking facilities is intended to provide for more cost-efficient site development, to minimize impervious surface, to minimize storm water runoff, to avoid construction of unnecessarily large storm water management facilities, and to provide more landscape areas and open space on business and industrial sites. To achieve these purposes, the Plan Commission may reduce the minimum number of required off-street parking spaces in specific cases as described in this Part 5.
- b. Adjustments. In all business and industrial districts, the minimum number of required parking spaces may be adjusted by the Plan Commission on a case-by-case basis. The petitioner for such an adjustment shall show to the satisfaction of the Plan Commission that adequate parking will be provided for customers, clients, visitors, and employees. The following provisions and factors shall be used as a basis to adjust parking requirements:
 - 1. Evidence That Actual Parking Demands will be Less Than Ordinance Requirements. The petitioner shall submit written documentation and data to the satisfaction of the Plan Commission that the operation will require less parking than the Ordinance requires.
 - 2. Availability of Joint, Shared or Off-Site Parking. The petitioner shall submit written documentation to the satisfaction of the Plan Commission that joint, shared or off-site parking spaces are available to satisfy the parking demand.
 - a) Agreements shall be provided which demonstrate evidence that either parking lots are large enough to accommodate multiple users (joint parking) or that parking spaces will be shared at specific times of the day (shared parking, where one activity uses the spaces during daytime hours and another activity uses the spaces during evening hours.)

b) Off-site parking lots may account for not more than 50-percent of the required parking and shall be located not more than three-hundred (300) feet from the principal use that it is intended to serve.

When a reduction of parking spaces attributable to shared parking or off-site parking is requested, the petitioner shall submit written verification that such parking is available and shall include copies of any contracts, joint lease agreements, purchase agreements, and other such documentation to show that shared parking can be accomplished. Off-site shared parking spaces shall be clearly posted for the joint use of employees, and/or tenants, or customers of each respective use sharing those spaces.

- 3. Use of Alternative Transportation. Upon demonstration to the Plan Commission that effective alternative transportation to the automobile will occur, the Plan Commission may reduce parking requirements. Alternative transportation may include, but is not limited to, bus transit, van pool operations, car pool/ride sharing, and bicycles. Proposals for adjustments of parking under this section shall show how the alternative transportation modes will be implemented, the permanency of such modes, extent of the program, the number of vehicles the mode will replace, and other pertinent information.
- c. Banked Parking Spaces. As a condition of a reduction in parking requirements, the Plan Commission may require banked parking spaces. In such cases, the site plan for the business or industrial use shall provide sufficient open space on the subject site to accommodate the additional parking space otherwise required by this Ordinance. Such open space shall be in addition to required yards, setbacks, driveways, private streets, loading and service areas. Sufficient open space shall be provided which, if converted to parking spaces, would:
 - 1. Provide off-street parking to meet the full requirements of this Ordinance at the time of application, and
 - 2. Ensure that the site shall not exceed the maximum impervious lot coverage as set forth in Article 6.

Standards for Special Uses -

For reference during the workshop, Article 3, Section B, Part 6 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Plan Commission must use to evaluate every special use request.

The Plan Commission shall make written findings of fact and shall refer to any exhibits containing plans and specifications for the proposed special use, which shall remain a part of the permanent record of the Plan Commission. The Plan Commission shall submit same, together with its recommendation to the Village Board for final action. No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Standards for Variations

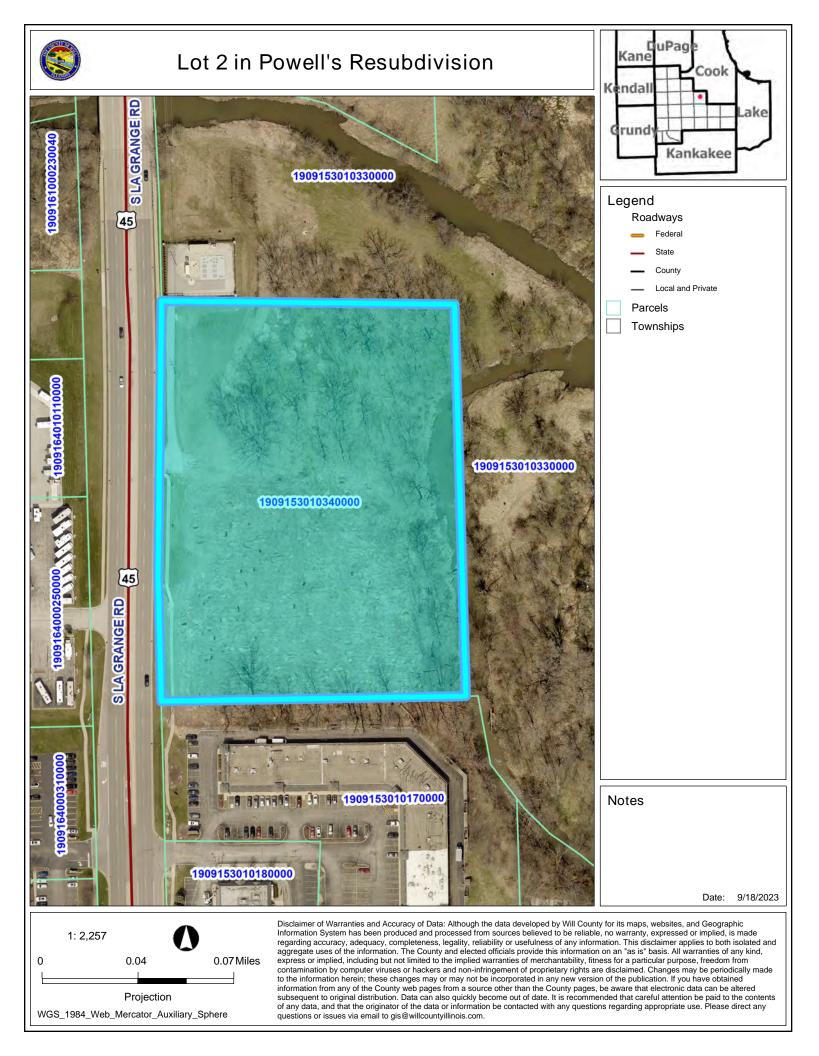
For reference during the Public Hearing, Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request.

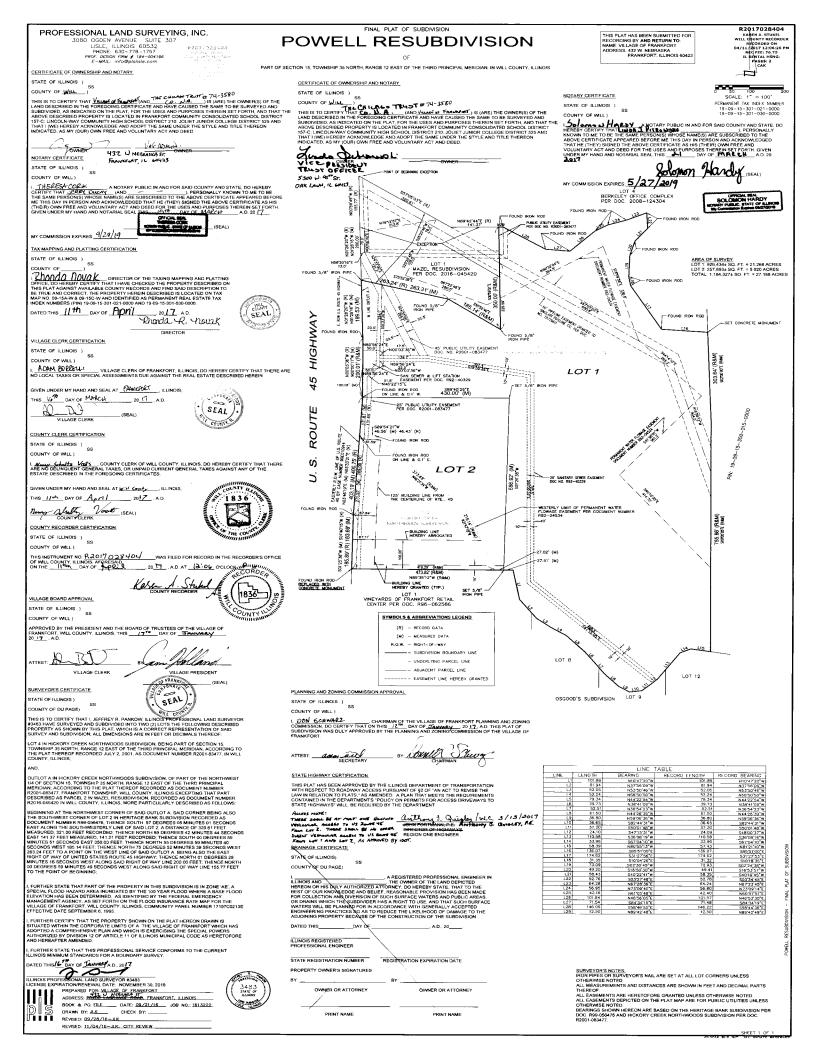
- a. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:
 - 1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
 - 2. That the plight of the owner is due to unique circumstances;
 - 3. That the variation, if granted, will not alter the essential character of the locality.
- b. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making this determination, whenever there are practical difficulties or hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:
 - 1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
 - 2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
 - 3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
 - 4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
 - 5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
 - 6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;
 - That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

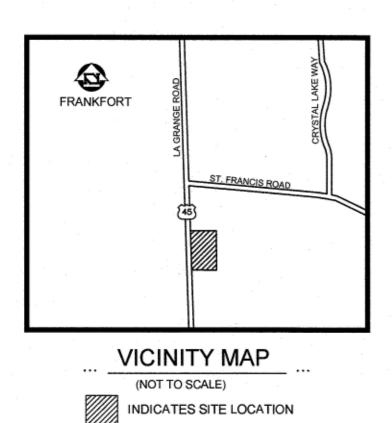
Affirmative Motions_

For the Commission's consideration, staff provides the following potential affirmative motions:

- 1. Approve a waiver of the required travel lane (cross-access with the adjacent property to the south) under Article 7, Part 4(c) of the Zoning Ordinance.
- 2. Approve three (3) retaining walls which exceed 50 feet in length and exceed 2.5 feet in height per the submitted plans, pursuant to Sections 4.03E(13) and 4.03E(15) of the Village of Frankfort Design Standards.
- 3. Recommend that the Village Board approve the request for a Special Use Permit for a carry out restaurant (for the Dunkin' restaurant) for a property located in the B-2 Community Business District located on the east side of La Grange Road, south of St. Francis Road (PIN 19-09-15-301-034-0000), in accordance with the submitted plans, public testimony, and Findings of Fact, and additionally subject to the following conditions:
 - 1. Subject to the Village Engineer's approval of the Final Engineering Plans.
 - 2. Subject to the Village Board's approval of the pending Text Amendment to the Zoning Ordinance pertaining to parking regulations (removal of the employee count component of the calculation).
 - 3. Prior to Village Board consideration, the Site Plan shall be revised to relocate the proposed freestanding sign to the area on the north side of the proposed vehicle entrance to comply with the required minimum 25-foot setback requirement (Section 151.041(B)(1)(b) of the Village of Frankfort Municipal Code). Additionally, the Landscape Plan shall be revised to reflect the required landscaping around the base of the free-standing sign (Section 151.041(B)(1)(b) of the Village of Frankfort Municipal Code).
- 4. Recommend that the Village Board approve the request for a Special Use Permit for drive-up service windows associated with a permitted use (for the Dunkin' restaurant), for a property located in the B-2 Community Business District located on the east side of La Grange Road, south of St. Francis Road (PIN 19-09-15-301-034-0000), in accordance with the submitted plans, public testimony, and Findings of Fact, and additionally subject to the following conditions:
 - 1. Subject to the Village Engineer's approval of the Final Engineering Plans.
- 5. Recommend that the Village Board approve the request for a Special Use Permit for outdoor seating associated with a permitted restaurant (for the Dunkin' restaurant) for a property located in the B-2 Community Business District located on the east side of La Grange Road, south of St. Francis Road (PIN 19-09-15-301-034-0000), in accordance with the submitted plans, public testimony, and Findings of Fact, and additionally subject to the following conditions:
 - 1. Subject to the Village Engineer's approval of the Final Engineering Plans.
 - 2. There shall be no advertising on the patio umbrellas or any other patio furniture.
 - 3. The Special Use Permit for outdoor seating is only valid for those areas depicted on the Site Plan and per the patio furniture details for the proposed Dunkin' restaurant. Any future restaurant on the subject property which may propose patio furniture which is different from the Dunkin' patio furniture details, shall submit patio furniture details for review and approval by Village staff.
- 6. Recommend that the Village Board approve the request for a Special Use Permit for extended hours of operation (for the Dunkin' restaurant opening at 4:00 a.m.) for a property located in the B-2 Community Business District located on the east side of La Grange Road, south of St. Francis Road (PIN 19-09-15-301-034-0000), in accordance with the submitted plans, public testimony, and Findings of Fact.
- 7. Recommend that the Village Board approve the request for Variations from Section 151.041(B)(1)(h) and Section 151.041(B)(1)(i) of the Frankfort Municipal Code to allow a free-standing sign to exceed the maximum permitted area of 15 square feet (37.5 square feet proposed), and the minimum height of the text on a free-standing sign to be less than 12 inches (7 inches proposed), for a property located in the B-2 Community Business District located on the east side of La Grange Road, south of St. Francis Road (PIN 19-09-15-301-034-0000), in accordance with the submitted plans, public testimony, and Findings of Fact.







LEGEND		
S	SANITARY SEWER MANHOLE	
©	EXISTING COMBINED SANITARY/STORM MANHOLE	
	SANITARY SEWER LINE (Flow)	
•	WATER VALVE IN VAULT	
\otimes	WATER VALVE	
w	WATER LINE	
V	FIRE HYDRANT	
Ø	STORM SEWER INLET	
œ	STORM SEWER CATCH BASIN	
6	STORM SEWER MANHOLE	
ST	STORM SEWER LINE (Flow)	
₽. ₽₽	POWER POLE	
	TRANSFORMER BOX/PAD	
\$	LIGHT	
+	SOIL BORING	
¢	TRAFFIC SIGNAL	
hh	HAND HOLE	
A	TELEPHONE BOX / PAD	
ă	GAS VALVE	
— т —	UNDERGROUND TELEPHONE CABLE	
ε	UNDERGROUND ELECTRIC CABLE	
c	UNDERGROUND GAS LINE	
L	UNDERGROUND LIGHT CABLE	
F/0	UNDERGROUND FIBER OPTICS LINE	
0/E	OVERHEAD ELECTRIC LINE	
	CONCRETE CURB & GUTTER	
	DEPRESSED CURB	
e	ELECTRIC MANHOLE	
0	TELEPHONE MANHOLE	
0	SIGN	
x	FENCE LINE	
0	DECIDUOUS TREE	
•	EVERGREEN	
- (399)	BUSH/HEDGE	
. 😌	PINE TREES	
15	REGULAR PARKING SPACE	
ě.	HANDICAP PARKING SPACE	
+695.25	EXISTING GROUND ELEVATION	
690	EXISTING CONTOUR GRADE	
[253.00']	RECORDED DISTANCE	
E	NOTES CORRESPONDING TO SCHEDULE B	

CONTACT JULIE AT 811 OR 800-892-0123 WITH THE FOLLOWING INFORMATION

COUNTY-NAME CITY / TOWNSHIP FRANKFORT

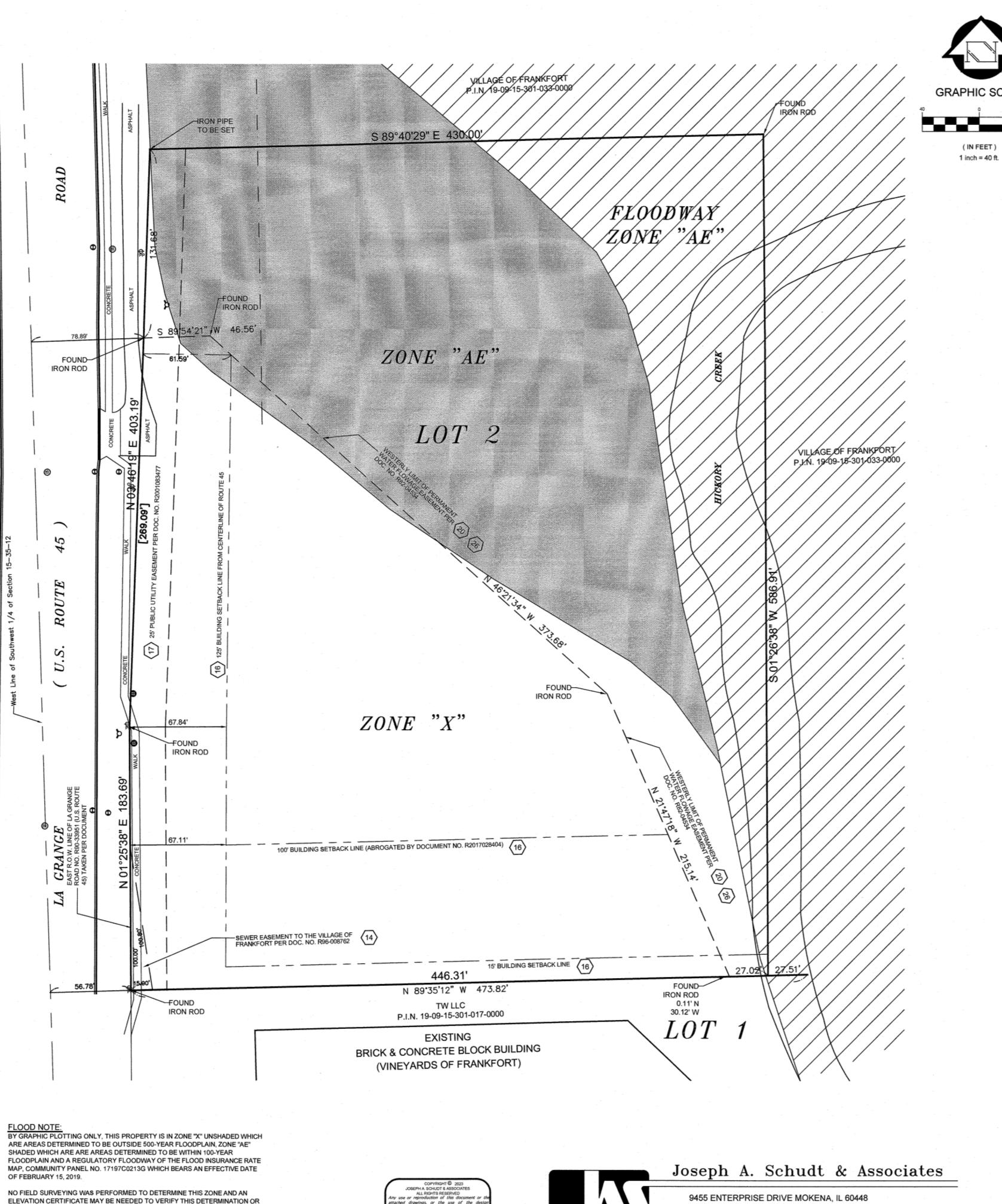
SEC & 1/4 SEC No. SW 1/4 SEC. 15-35-12

Know whote'elow.48 HOURS (2 working days) BEFORE YOU DIG Calbefore you dig.

UTILITY LOCATION: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD INFORMATION AND EXISTING

M:\2009\09-006\09-006-010\dwg\09-006-010-215 Lot 2

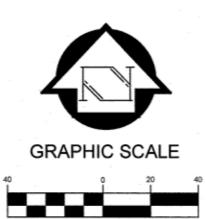
DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT HAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ORDINARY UTILITY SERVICE DROPS OR CONNECTIONS ARE NOT LOCATED OR SHOWN ON SURVEY.



APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

ALL RIGHTS RESERVED Any use or reproduction of this document or the strached drawing, or the use of the design approach ideas or Concepts described in this document and the attached drawing, in whole or in part by any means whatsoever is strictly

PHONE: 708-720-1000 FAX: 708-720-1065 e-mail: survey@jaseng.com http://www.jaseng.com CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES



(IN FEET)

ALTA/NSPS LAND TITLE SURVEY ...

LOT 2 IN POWELL RESUBDIVISION, BEING A SUBDIVISION OF PART OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREIN RECORDED APRIL 11, 2017, AS DOCUMENT NUMBER R2017028404, IN WILL COUNTY, ILLINOIS.

...

P.I.N. 19-09-15-301-034-0000

PROPERTY CONTAINS: 258,483 SQ. FT. (5.932 ACRES), MORE OR LESS.

NOTES:

- 1. DIMENSIONS ON THE PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF, BEARINGS ARE BASED ON THE BEARINGS ON POWELL RESUBDIVISION PLAT AND USED TO DENOTE ANGLES ONLY.
- 2. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
- 3. INFORMATION ON SURVEY BASED ON FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. AF1030621 WITH AN EFFECTIVE DATE OF NOVEMBER 15, 2022.
- 4. P.I.N. 19-09-15-301-034-0000
- 5. MANHOLES SHOWN HEREON REPRESENT UTILITY IMPROVEMENTS WHICH ARE ONLY VISIBLE ABOVE GROUND. THE TYPE OF MANHOLES ARE BASED SOLELY ON THE STAMPED MARKINGS OF THE RIM. NO UNDERGROUND OBSERVATIONS HAVE BEEN MADE TO VERIFY THE ACTUAL USE OR EXISTENCE OF UNDERGROUND UTILITIES.
- 6. PARKING COUNT IS BASED ON VISIBLE STRIPING AT THE TIME OF SURVEY. NO PARKING SPACES ON THIS SITE.
- 7. COMMON ADDRESS FOR SUBJECT PROPERTY IS: 20400 S. LA GRANGE ROAD, FRANKFORT, IL 60423
- 8. ZONED: B2 COMMUNITY BUSINESS DISTRICT (NO ZONING REPORT PROVIDED) (BASED ON VILLAGE OF FRANKFORT ZONING MAP).

9. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE

10. THERE ARE NO BUILDINGS LOCATED ON PROPERTY.

PROCESS OF CONDUCTING THE FIELDWORK.

NOTES CORRESPONDING TO SCHEDULE B

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING DEEDS, EASEMENTS, RIGHTS, COVENANTS, CONDITIONS, RESTRICTIONS, ADJOINERS AND/OR OTHER DOCUMENTS THAT MIGHT EFFECT TITLE TO THE PROPERTY DEPICTED HEREON WAS APPLIED FROM FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. AF1030621, DATED NOVEMBER 15, 2022, AS PROVIDED TO THE SURVEYOR BY THE CLIENT, TITLE COMPANY AND/OR THEIR REPRESENTATIVE(S).

- EASEMENTS FOR SEWER, AS SHOWN ON TH PLAT OF EASEMENT RECORDED AS DOCUMENT NO. R96-008762. (PLOTTED AND SHOWN ON SURVEY TO THE EXTENT POSSIBLE AND PRACTICAL) (14)
- (15) PLAT OF SURVEY RECORDED AS DOCUMENT R97-102876. (IS NOT PLOTTED OR SHOWN ON SURVEY NOT LEGIBLE)
- BUILDING SETBACK LINE(S) AS SHOWN ON THE PLATS OF SUBDIVISION RECORDED AS DOCUMENT NO. R200183477 AND DOCUMENT NO. R2017028404. (PLOTTED ON SHOWN ON SURVEY TO THE EXTENT POSSIBLE AND PRACTICAL)
- EASEMENTS FOR PUBLIC UTILITIES, AS SHOWN ON THE PLATS OF SUBDIVISION RECORDED AS DOCUMENTS NO. R200183477 AND R2017028404. (PLOTTED AND SHOWN ON SURVEY TO THE EXTENT POSSIBLE AND PRACTICAL)
- TERMS AND CONDITIONS OF THE EASEMENT PROVISIONS NOTED ON THE PLAT OF SUBDIVISION. (ARE NOT PLOTTED (18) OR SHOWN ON SURVEY, EASEMENTS ARE PLOTTED AND SHOWN)

GRANT OF EASEMENT TO SINCLAIR PIPE LINE COMPANY FOR PIPE LINE RECORDED AS DOCUMENT NO. 757960, AND THE TERMS AND CONDITIONS CONTAINED THEREIN. (AFFECTS -- SEE RECORDED DOCUMENT FOR PARTICULARS) ASSIGNMENT AND CONVEYANCE MADE BY SINCLAIR PIPE LINE COMPANY TO LEMONT-MONEE CORPORATION, RECORDED SEPTEMBER 19, 1955 AS DOCUMENT 782002. SALE AND ASSIGNMENT MADE BY LEMONT-MONEE CORPORATION TO PURE TRANSPORTATION COMPANY, RECORDED OCTOBER 13, 1958 AS DOCUMENT 783543. PARTIAL RELEASE OF EASEMENT MADE BY PURE TRANSPORTATION COMPANY, RECORDED MAY 03, 1974 AS DOCUMENT R74-10139. (IS NOT PLOTTED OR SHOWN, NOT ON SUBJECT PROPERTY)

- GRANT OF EASEMENT TO THE FOREST PRESERVE DISTRICT OF WILL COUNTY, ILLINOIS FOR PERMANENT WATER FLOWAGE RECORDED AS DOCUMENT NO. R82-04534 AND AS DISCLOSED ON THE PLAT OF SUBDIVISION RECORDED AS (20) DOCUMENT R2017028404, AND THE TERMS AND CONDITIONS CONTAINED THEREIN. SEE POWELL RESUBDIVISION PLAT (PLOTTED AND SHOWN ON SURVEY TO THE EXTENT POSSIBLE AND PRACTICAL)
- AN AGREEMENT RELATING TO THE RECAPTURE OF COSTS OF SEWER SERVICE IMPROVEMENTS RECORDED MAY 28, (21) 1992 AS DOCUMENT NO. <u>R92-40329</u>, AND THE TERMS AND CONDITIONS CONTAINED THEREIN. (IS NOT PLOTTED OR SHOWN. NOT A PLOTTABLE DOCUMENT)
- ANNEXATION AGREEMENT FOR HUGHES & DUGGAN VALLEY VIEW ESTATES SUBDIVISION, FRANKFORT, ILLINOIS 22 RECORDED OCTOBER 17, 1997 AS DOCUMENT NO. R97-091549, AND THE TERMS AND CONDITIONS CONTAINED THEREIN. (IS NOT PLOTTED OR SHOWN. NOT A PLOTTABLE DOCUMENT)
- TERMS, CONDITIONS AND PROVISIONS OF ORDINANCE NO. 1623 ENTITLED AN ORDINANCE ANNEXING CERTAIN LAND 23 INTO THE VILLAGE OF FRANKFORT, WILL COUNTY, ILLINOIS (HUGHES & DUGGAN PROPERTY - RT. 45) RECORDED APRIL 24, 1997 AS DOCUMENT R97-033808. (IS NOT PLOTTED OR SHOWN. NOT A PLOTTABLE DOCUMENT)
- TERMS, CONDITIONS AND PROVISIONS OF ORDINANCE NO. 1654 ENTITLED AN ORDINANCE REZONING CERTAIN PROPERTY WITH SPECIAL USE PERMITS WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL COUNTY, ILLINOIS 24 (HUGHES & DUGGAN PROPERTY - RT. 45) (EXCLUDING TRACT F, LOT 6) RECORDED NOVEMBER 04, 1997 AS DOCUMENT R97-097289.
- TERMS, CONDITIONS AND PROVISIONS OF ORDINANCE NO. 1653 ENTITLED AN ORDINANCE ANNEXING CERTAIN LAND 25 INTO THE VILLAGE OF FRANKFORT, WILL COUNTY, ILLINOIS (HUGHES & DUGGAN PROPERTY - RT. 45) RECORDED NOVEMBER 04, 1997 AS DOCUMENT R97-097299. (IS NOT PLOTTED OR SHOWN. NOT A PLOTTABLE DOCUMENT)
- RIGHTS OF THE INTERESTED PARTIES TO THE FREE AND UNOBSTRUCTED FLOW OF THE WATERS OF THE HICKORY 26 CREEK WHICH MAY FLOW ON OR THROUGH THE LAND. (PLOTTED AND SHOWN ON SURVEY TO THE EXTENT POSSIBLE AND PRACTICAL)

STATE OF ILLINOIS SS

TO: FRANKFORT LAGRANGE PROPERTY, LLC; CNB BANK & TRUST, N.A.;

FIRST AMERICAN TITLE INSURANCE COMPANY;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(a), 8, 9, 13 and 16 of Table A thereof. The field work was completed on April 24th, 2023.

Dated:, A.D. 2023 JOSEPH A. SCHUDT & ASSOCIATES (184-001172)	NARREN OPSIL	
BY Martin Construction	NAP 3152 PROFESSIONAL LAND SURVEYOR STATE OF ILLINOIS	05-30-23 Sheet 1 of 1
Illinois Professional Land Surreyor No. 3152 (exp. 11-30-24)	0	9-006-010

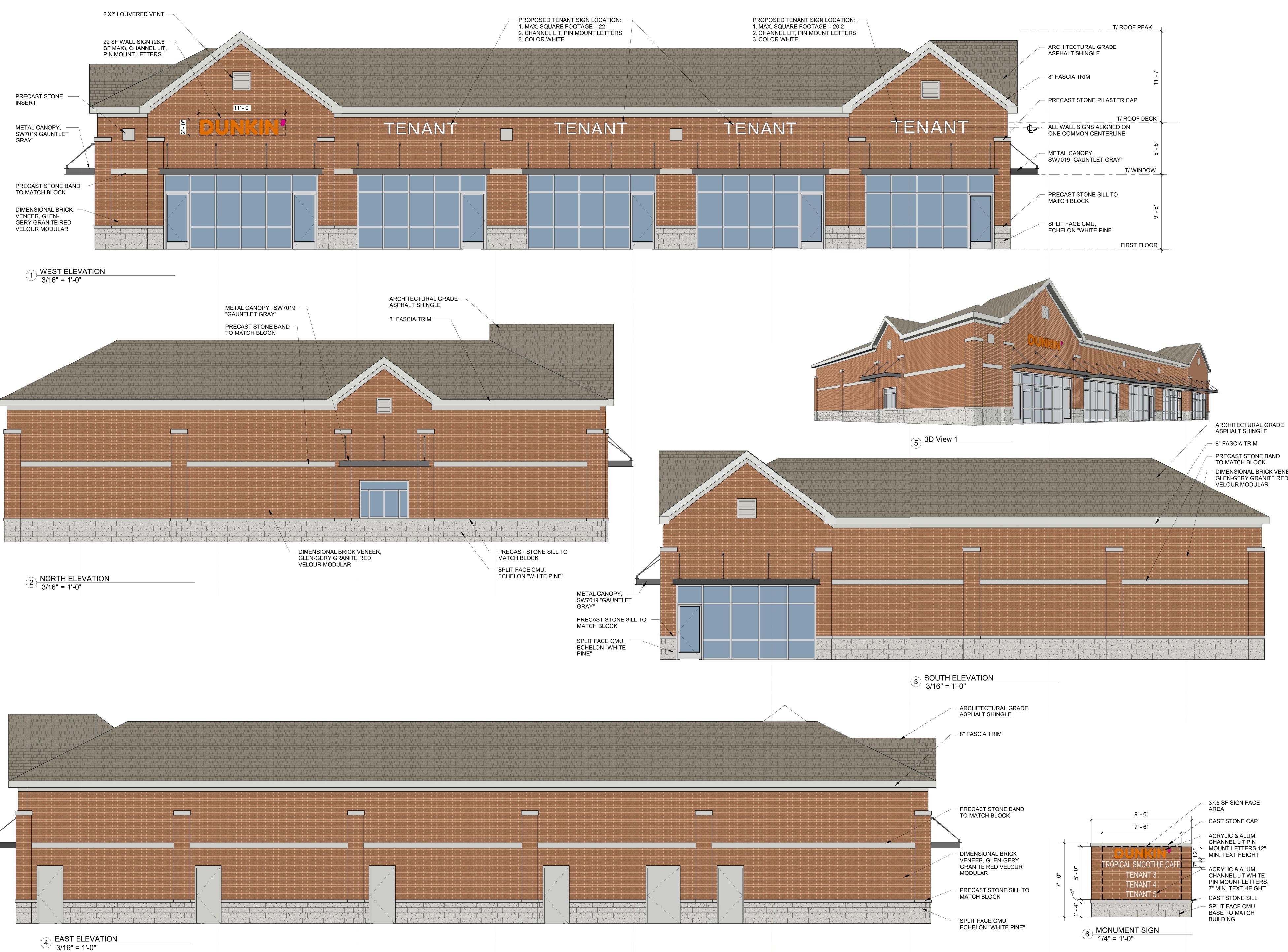
Site Photos – Lot 2 in Powell Resubdivision

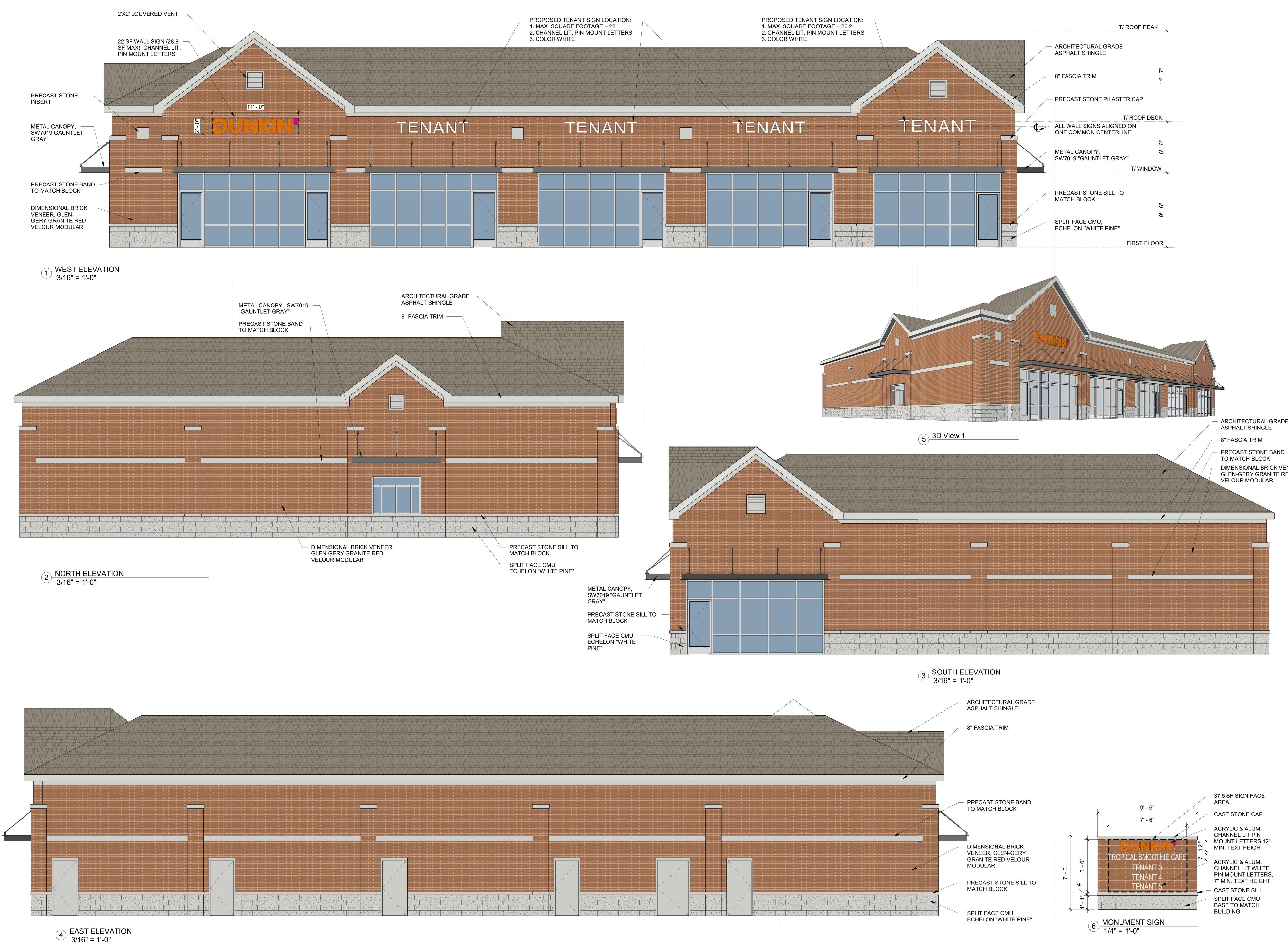


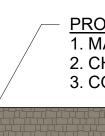
Figure 1: Lot 2 in Powell Resubdivision, viewed looking east from La Grange Road (south end of site).



Figure 2: Lot 2 in Powell Resubdivision, viewed looking east from La Grange Road (north end of site).







DIMENSIONAL BRICK VENEER, GLEN-GERY GRANITE RED

ARCHITECTS | ENGINEERS | SURVEYORS

Koru Group, PLLC 2135 CITY GATE LANE, SUITE 330 NAPERVILLE, IL 60563

> PROFESSIONAL DESIGN FIRM NO. 184.008901-0012

CLIENT:

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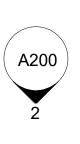
REVISIONS: # DESCRIPTION DATE ZONING REVIEW 08-31-23 11-10-23 ZONING REVIEW 12-22-23 **ZONING REVIEW** 01-25-24 **ZONING REVIEW**

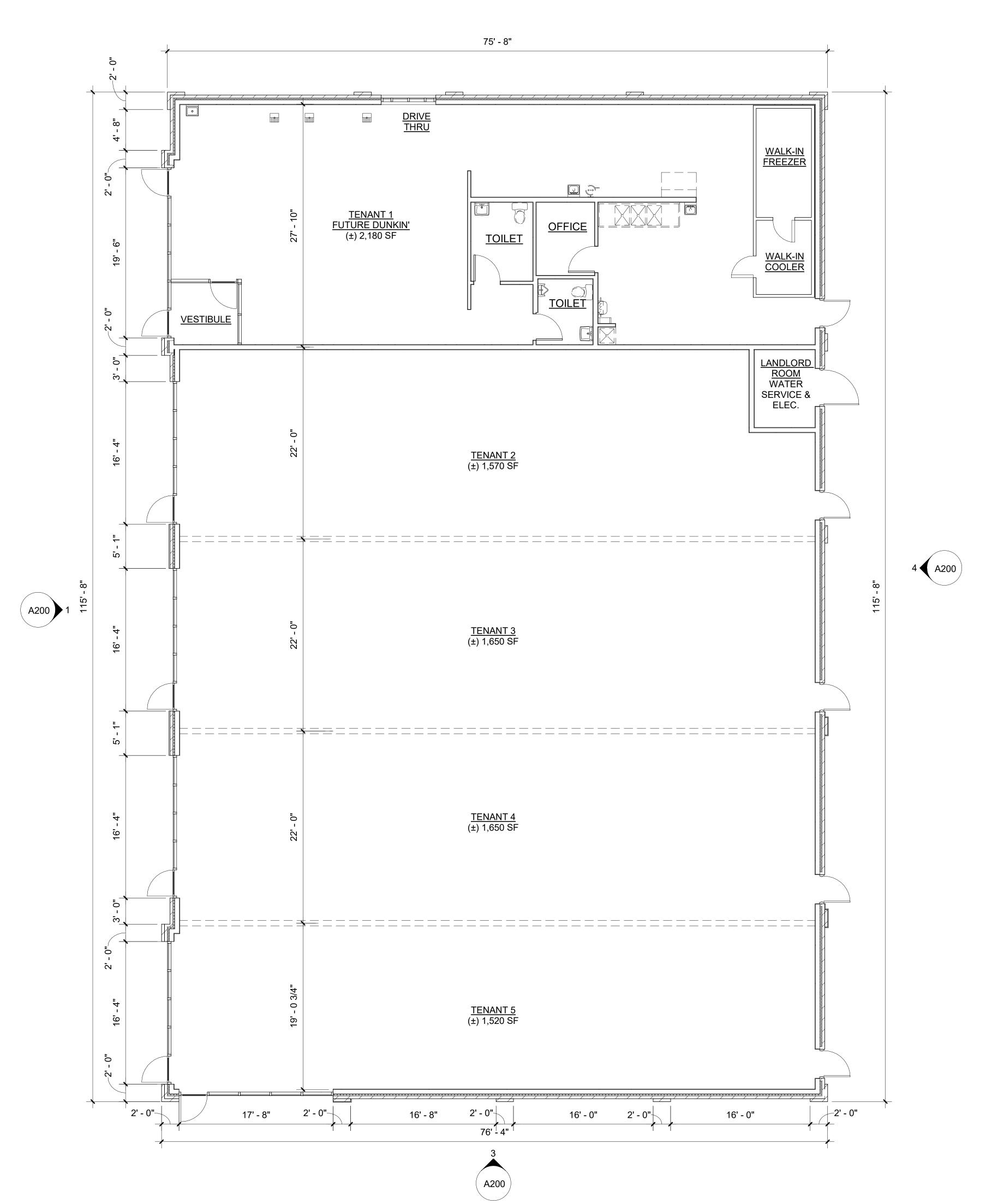
FILE NAME: DRAWN BY: LMB REVIEWED BY: ERC SHEET TITLE:

EXTERIOR ELEVATIONS

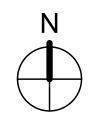
SHEET NO.

A200





1 FLOOR PLAN 1/8" = 1'-0"







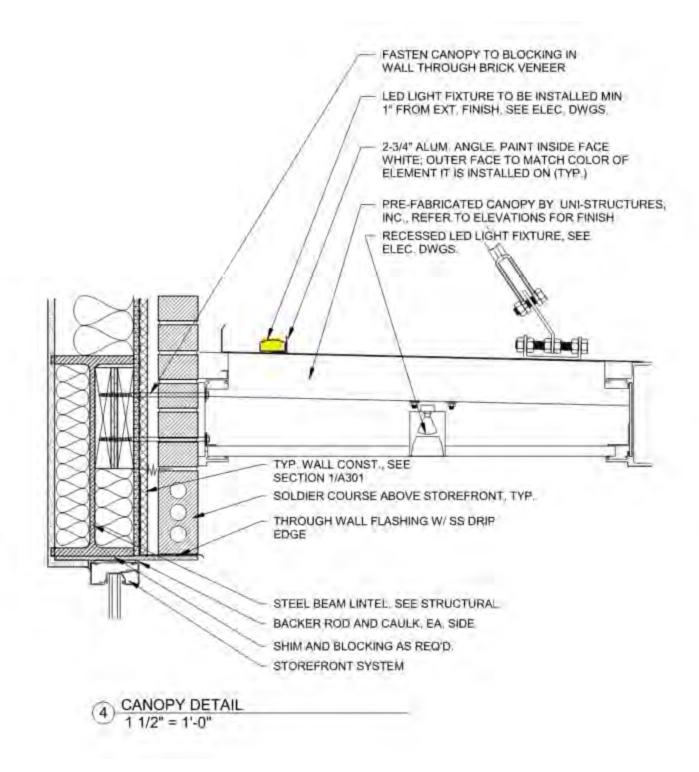
Koru Group, PLLC 2135 CITY GATE LANE, SUITE 330 NAPERVILLE, IL 60563

PROFESSIONAL DESIGN FIRM NO. 184.008901-0012

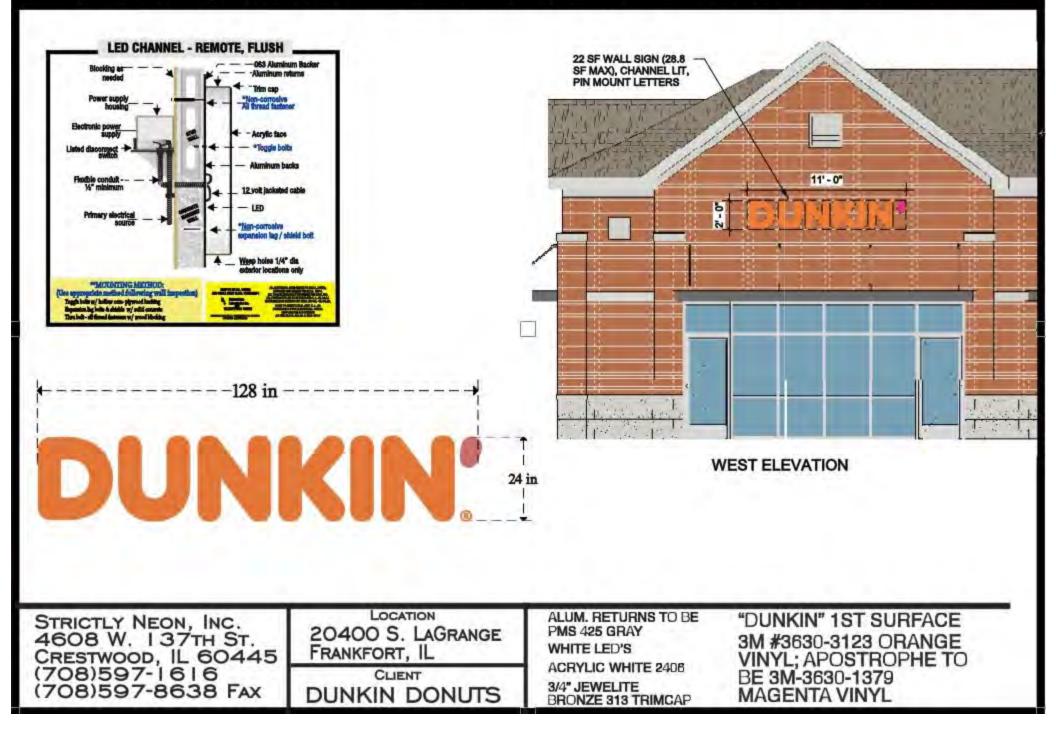
CLIENT: Š **NKIN** σ 0⁰ R H \overline{S} New S S Fra 0 \sim \sim

REVISIONS: DATE 08-31-23 11-10-23 # DESCRIPTION ZONING REVIEW ZONING REVIEW 12-22-23 **ZONING REVIEW** FILE NAME: DRAWN BY: LMB REVIEWED BY: ERC SHEET TITLE: FIRST FLOOR PLAN

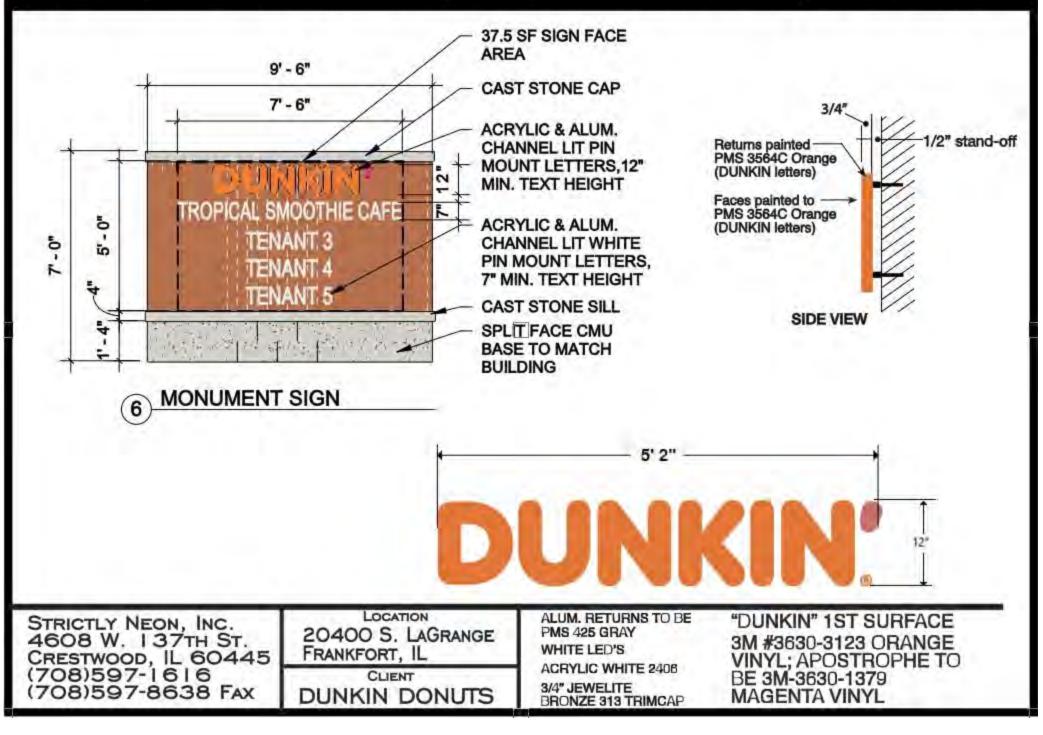
Sheet no. A101



Internally Illuminated Flush Mounted Channel Letters



Non-Illuminated Non-Visable Pin Mounted Acrylic Letters





Franklin Multitenant Development

Exterior Finishes

Brick Veneer:

Glen-Gery "Granite Red Velour" modular



Split Face CMU:

Echelon "White Pine"





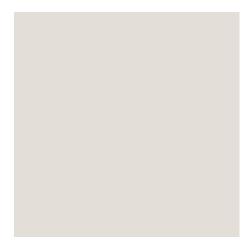
Asphalt Shingle Roof:

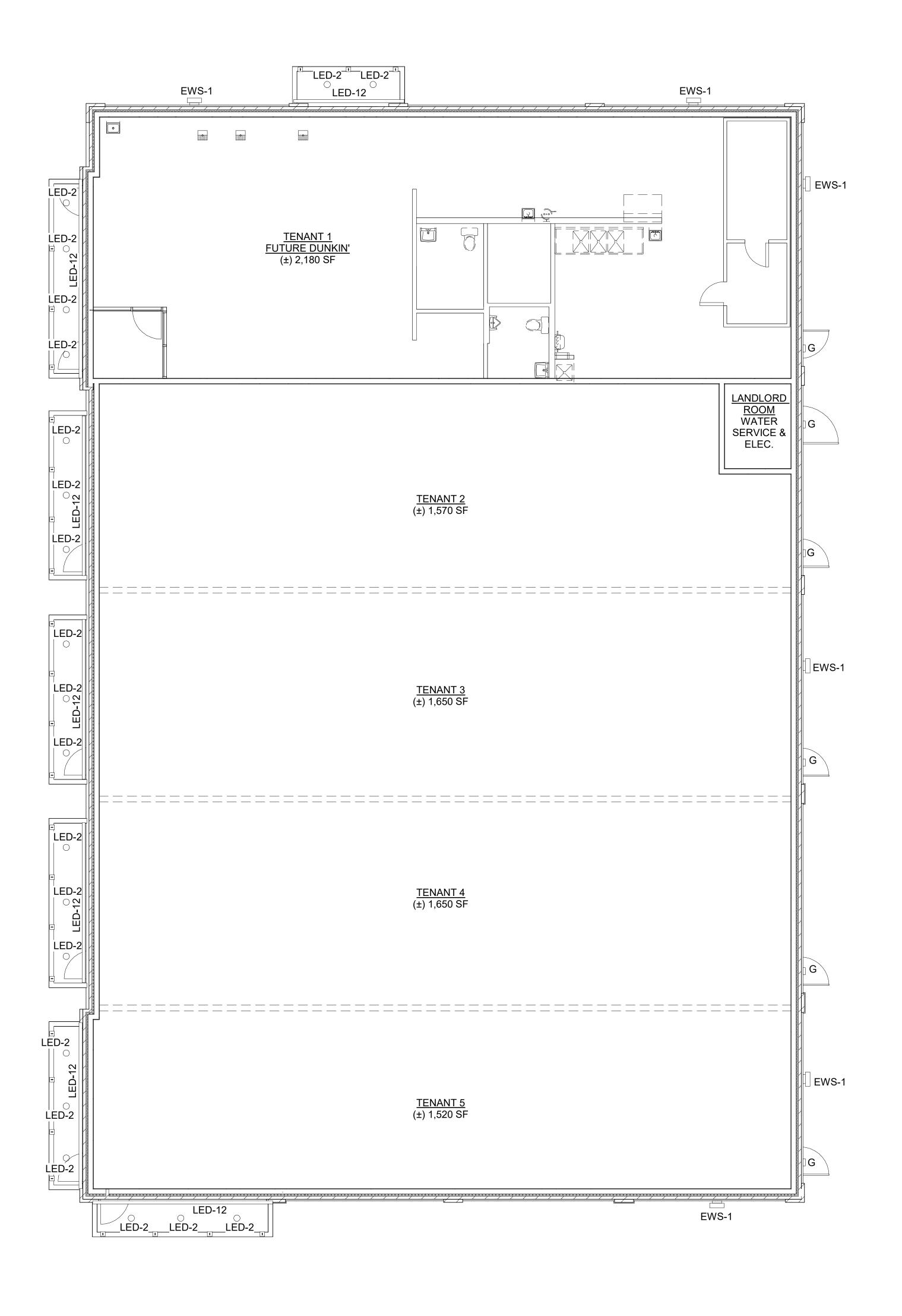
Certain Teed Landmark "Weathered Wood"



Fiber Cement Panels:

Painted Sherwin Williams "Incredible White" SW7028





1 EXTERIOR LIGHTING PLAN 1/8" = 1'-0"

RECEIVED By Mike Schwarz at 11:55 am, Jan 22, 2024



Koru Group, PLLC 2135 CITY GATE LANE, SUITE 330 NAPERVILLE, IL 60563

PROFESSIONAL DESIGN FIRM NO. 184.008901-0012

CLIENT:

Š NIN oad 604 S E D Ţ, ġ, 8 New S Fra 0 \mathbf{O} $\widetilde{\mathbf{N}}$ C \sim Ω **REVISIONS:**

#	DESCRIPTION	DATE				
	ZONING REVIEW	08-31-23				
	ZONING REVIEW	11-10-23				
	ZONING REVIEW	12-22-23				
	ZONING REVIEW	01-25-24				
		•				
FILE	FILE NAME:					

DRAWN BY: LMB REVIEWED BY: ERC SHEET TITLE:

SHEET NO.





DESCRIPTION

The patented Lumark Crosstour[™] LED Wall Pack Series of luminaries provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

SPECIFICATION FEATURES

Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 26W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. Onepiece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages; 5000K, 4000K and 3000K CCT.

Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 26W and 38W series operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized

Catalog #	Туре
Project	
Comments	Date
Prepared by	

electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty

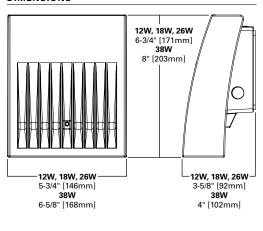
Five-year warranty.



XTOR CROSSTOUR LED

APPLICATIONS: WALL / SURFACE POST / BOLLARD LOW LEVEL FLOODLIGHT INVERTED SITE LIGHTING

DIMENSIONS



ESCUTCHEON PLATES

10" [254mm]



CERTIFICATION DATA

UL/cUL Wet Location Listed LM79 / LM80 Compliant ROHS Compliant ADA Compliant NOM Compliant Models IP66 Ingressed Protection Rated Title 24 Compliant DesignLights Consortium® Qualified*

TECHNICAL DATA

40°C Maximum Ambient Temperature External Supply Wiring 90°C Minimum

EPA

Effective Projected Area (Sq. Ft.): XTOR1B, XTOR2B, XTOR3B=0.34 XTOR4B=0.45

SHIPPING DATA: Approximate Net Weight: 3.7 – 5.25 lbs. [1.7 – 2.4 kgs.]

Powering Business Worldwide

Lumark

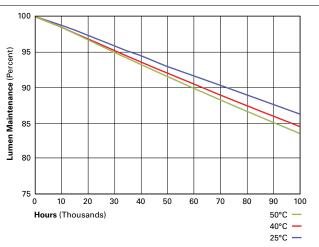
POWER AND LUMENS BY FIXTURE MODEL

LED Information	XTOR1B	XTOR1B-W	XTOR1B-Y	XTOR2B	XTOR2B-W	XTOR2B-Y	XTOR3B	XTOR3B-W	XTOR3B-Y	XTOR4B	XTOR4B-W	XTOR4B-Y
Delivered Lumens (Wall Mount)	1,418	1,396	1,327	2,135	2,103	1,997	2,751	2,710	2,575	4,269	4,205	3,995
Delivered Lumens (With Flood Accessory Kit) ¹	1,005	990	940	1,495	1,472	1,399	2,099	2,068	1,965	3,168	3,121	2,965
B.U.G. Rating ²	B1-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0								
CCT (Kelvin)	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000
CRI (Color Rendering Index)	70	70	70	70	70	70	70	70	70	70	70	70
Power Consumption (Watts)	12W	12W	12W	18W	18W	18W	26W	26W	26W	38W	38W	38W

NOTES: 1 Includes shield and visor. 2 B.U.G. Rating does not apply to floodlighting.

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
XTOR1B Mode	el	
25°C	> 90%	255,000
40°C	> 89%	234,000
50°C	> 88%	215,000
XTOR2B Mode	əl	
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
XTOR3B Mode	əl	
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
XTOR4B Mode	əl	
25°C	> 89%	222,000
40°C	> 87%	198,000
50°C	> 87%	184,000



CURRENT DRAW

Valtana		Mode	l Series	
Voltage	XTOR1B	XTOR2B	XTOR3B	XTOR4B
120V	0.103A	0.15A	0.22A	0.34A
208V	0.060A	0.09A	0.13A	0.17A
240V	0.053A	0.08A	0.11A	0.17A
277V	0.048A	0.07A	0.10A	0.15A
347V	0.039A	0.06A	0.082A	0.12A



ORDERING INFORMATION

Sample Number: XTOR2B-W-WT-PC1

Series ¹	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR1B=Small Door, 12W XTOR2B=Small Door, 18W XTOR3B=Small Door, 26W XTOR4B=Medium Door, 38W	[Blank]=Bright White (Standard), 5000K W=Neutral White, 4000K Y=Warm White, 3000K	[Blank]=Carbon Bronze (Standard) WT=Summit White BK=Black BZ=Bronze AP=Grey GM=Graphite Metallic DP=Dark Platinum	PC1=Photocontrol 120V ² PC2=Photocontrol 208-277V ^{2,3} 347V=347V ⁴ HA=50°C High Ambient ⁴	WG/XTOR=Wire Guard ⁵ XTORFLD-KNC=Knuckle Floodlight Kit ⁶ XTORFLD-TRN=Trunnion Floodlight Kit ⁶ XTORFLD-KNC-WT=Knuckle Floodlight Kit, Summit White ⁶ XTORFLD-TRN-WT=Trunnion Floodlight Kit, Summit White ⁶ EWP/XTOR=Escutcheon Wall Plate, Carbon Bronze EWP/XTOR-WT=Escutcheon Wall Plate, Summit White

NOTES:

1. DesignLights Consortium[®] Qualified and classified for both DLC Standard and DLC Premium, refer to www.designlights.org for details. 2. Photocontrols are factory installed.

Protocontrols are factory installed.
 Order PC2 for 347V models.
 Thru-branch wiring not available with HA option or with 347V. XTOR3B not available with HA and 347V or 120V combination.
 Wire guard for wall/surface mount. Not for use with floodlight kit accessory.
 Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.

STOCK ORDERING INFORMATION

12W Series	18W Series	26W Series	38W Series
XTOR1B=12W, 5000K, Carbon Bronze	XTOR2B=18W, 5000K, Carbon Bronze	XTOR3B=26W, 5000K, Carbon Bronze	XTOR4B=38W, 5000K, Carbon Bronze
XTOR1B-WT=12W, 5000K, Summit White	XTOR2B-W=18W, 4000K, Carbon Bronze	XTOR3B-W=26W, 4000K, Carbon Bronze	XTOR4B-W=38W, 4000K, Carbon Bronze
XTOR1B-PC1=12W, 5000K, 120V PC, Carbon Bronze	XTOR2B-WT=18W, 5000K, Summit White	XTOR3B-WT=26W, 5000K, Summit White	XTOR4B-WT=38W, 5000K, Summit White
XTOR1B-W=12W, 4000K, Carbon Bronze	XTOR2B-PC1=18W, 5000K, 120V PC, Carbon Bronze	XTOR3B-PC1=26W, 5000K, 120V PC, Carbon Bronze	XTOR4B-PC1=38W, 5000K, 120V PC, Carbon Bronze
	XTOR2B-W-PC1=18W, 4000K, 120V PC, Carbon Bronze	XTOR3B-W-PC1=26W, 4000K, 120V PC, Carbon Bronze	XTOR4B-W-PC1=38W, 4000K, 120V PC, Carbon Bronze
	XTOR2B-347V =18W, 5000K, Carbon Bronze, 347V	XTOR3B-347V =26W, 5000K, Carbon Bronze, 347V	XTOR4B-347V =38W, 5000K, Carbon Bronze, 347V
	XTOR2B-WT-PC1=18W, 5000K, 120V PC, Summit White	XTOR3B-PC2=26W, 5000K, 208-277V PC, Carbon Bronze	



Approved:

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/// 10

Type: LSSL-5165-N Fixture: Project: (For Upper Brown mullion)

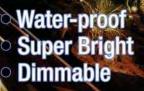
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OUTDOOR LIGHT FIXTURE USED IN UPPER BROWN SOFFIT

Indirect, background and decorative ambient lighting for Commercial and Residential projects!

Date:

LS-STRIP-LIGHT-120V-400L



Technical Specifications					
Item Number	LSSL-5165				
Voltage	120V				
Wattage	4.5 w/ft				
Wire Gauge	20 AWG				
LED Colors	(A) Warm White 3000K (G) (N) Natural White 4000K (G) (D) Daylight 5000K (B) (W) Cool White 6500K (O) (R) Red (P) (Y) Yellow (L) F				
LED Quantity	18 LED/ft				
LED Type	SMD5050 PRO				
LED Brand	Epistar				
PCB Color	White / Brown				
PCB Coating	Double-Side Anti-Corrosior	1			
Luminous Flux (60mA)	23 Lm/LED (400 Lm per ft)				
Luminous Efficacy	110 Lm/W				
Dimmable	Yes (TRIAC)				
IP Code	IP67 Indoor / Outdoor				
Minimum Cut Length	20"				
Max Length	164 Ft (328 ft**)				
Certificate	RoHS				



solutions ighting

All connectors/connections for outdoor use require silocone sealant*

		Appess			
liem No.	Pichane	Description	Item No.	Piciere	Description
LSLD5601	1 Ale	Power Cord, 1.5A Restiller, MAX Run 1014 (338); Bag of 5 (Bag)	LSLD5654	P	Power Cant, 4A Rectilier, MAX Run 25m (000) Rag of 5 (Bag)
LSLD5651	W.	Power Cast, 7A Recliner, MAX Ran Stim (1641) (Sel)	LSLD551	C	Power Canil, 4A Resilier, MAX Run 25m (1001) (Set)
LSLD5603	1	Splice Connector, Ray of 5 (Bag)	LSLD5610		Y-Cend, M-2M, Bag o 5 (Bag)
LSLLD5612	5	L-Connector, Bagof 2 (Bag)	LSLD5622	1 and a start	T-Connector, Bag of (Bag)
LSLD5623		X-Convesior, Bag of 2 (Bag)	LSLD5635	1	Male Pin, Bag of 10 (Bag)
LSLD5618	2	Jumper Cable, 6Pt, Bag of 5 (Bag)	LSLD56181	1	Jamper Cable, 1Ft, Bag of 5 (Bag)
LSLD5618H	0	Jumper Cable, 0.5Ft, Bag of 2 (Bag)	LSLD5604	9	End (Cap, Bag of 5 (Bag)
LSIU34	10	Heat Sminit Tube, Gag of 100 (Gag)	LSLD5606	100	24 Mounting Cips + 48 Science (Bag)
LSS83	<	3Fl U-Channel, Box of 50 (P4)	LSLWL-2CC		LED Flasher, 120V. 8A, 2 Receptacle Stots (Set)
LSWL-3DC		LEO Dimmer, 120V, 5A, 2 Receptade Stats (Sel)			Power cord, 15A rectifier, (Max run length 328 ft) ** ** Special Order. 6-8 week delivery.



HAWK - model: WP-LED2

Endurance Wallpack



Responsible Lighting®

	*
8 ³ / ₈ "	
	IP66, WET

PRODUCT DESCRIPTION

Die cast aluminum factory sealed housings with patent pending design for a water and dust proof IP66 rated outdoor luminaire

FEATURES

- Factory-Sealed LED Light Engine
- Die-Cast Aluminum Construction
- 20° Forward Throw Illumination
- Photo/Motion Sensor Compatible (Sold Separately)
- Built-in Level For Easy Adjustment
- Suitable to install in all directions
- Multi-Function Dimming: ELV (120V) or 0-10V
- 85 CRI
- 100,000 hour rated life

Fixture Type:	
Catalog Number:	
Project:	
Location:	

SPECIFICATIONS

Construction: Die-cast aluminum

Power: Integral driver in luminaire. Universal voltage input (120V-277V) **Dimming:** 100% - 30% with 0 - 10V dimmer (120V - 277V)

100% - 15% with Electronic Low Voltage (ELV) dimmer (120V only)

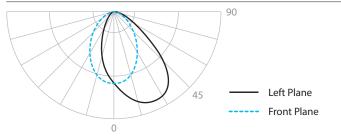
Finish: Architectural Bronze, Graphite, and White

Standards: IP66, Wet Location, ETL & cETL Listed

Total Harmonic Distortion: 35%

Operating Temperature: -40°C (-40°F) to 40°C (104°F)

PHOTOMETRY



Delivered Power Comparable Color Temp CBCP Finish Lumens 30 3000K 1345 1022 19W WP-LED219 39W HID aBZ Architectural Bronze 1056 50 5000K 1435 aGH Architectural Graphite aWT 2050 Architectural White 30 3000K 1436 WP-LED227 27W 70W HID 50 5000K 2095 1478 Example: WP-LED219-30-GH

ACCESSORIES



WAC Lighting www.waclighting.com Phone (800) 526.2588 • Fax (800) 526.2585 Headquarters/Eastern Distribution Center 44 Harbor Park Drive • Port Washington, NY 11050 Phone (516) 515.5000 • Fax (516) 515.5050 **Western Distribution Center** 1750 Archibald Avenue • Ontario, CA 91760 Phone (800) 526.2588 • Fax (800) 526.2585

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. AUG 2017

ORDER NUMBER



Recessed LED Downlight

General Remodel 4", 5", 6" Aperture

PRODUCT SPECIFICATIONS



4" application shown

- Maximum installation compatibility
- Easy, tool-free installation, including Twist & Lock trim feature
- 750 & 1000 lumen outputs
- 2700K, 3000K, 3500K, 4000K CCT
- Flicker-free TRIAC/ELV, 0-10V or Lutron Hi-lume 1% dimming
- 50,000 hr lifetime at 70% lumen maintenance
- 5 year limited warranty



Frame-in Kit

HOUSING: Die-formed steel with powder coat finish (4" frame-in kit, 4" shallow frame-in kit), 20 ga. die-formed aluminum (5" frame-in kit), 22 ga. die-formed aluminum (6" frame-in kit, 6" shallow frame-in kit).

JUNCTION BOX: Galvanized steel. Equipped with (6) ¹/₂" and (1) ³/₄" knockouts with pryout slots to allow straight conduit runs (4" frame-in kit, 4" shallow frame-in kit), equipped with (5) ¹/₂" and (2) ³/₄" knockouts with pryout slots to allow straight conduit runs (5" frame-in kit, 6" frame-in kit, 6" shallow frame-in kit). (4) knockouts for non-metallic sheathed cable installation. Junction box tension spring allows snap-in installation of plate cover for easy access to wiring. Approved for 8 (four-in, four-out) #12 AWG 90 through wire conductors.

MOUNTING: (4) tempered steel spring clips secure housing to ceiling.

CEILING: 1/2" up to 1".

CUTOUT: 4 ³/₁₆" (4" frame-in kit, 4" shallow frame-in kit), 5 ⁵/₈" (5" frame-in kit), 6 ³/₈" (6" frame-in kit, 6" shallow frame-in kit).

Light Engine

LED: Tightly binned, high performing white Cree[®] LED.

LUMEN OUTPUT (POWER): 750 lm (10.8W), 1000 lm (12.8W).

COLOR QUALITY: 93+ CRI, 2-step SDCM.

CCT OPTIONS: 2700K, 3000K, 3500K, 4000K.

CONNECTOR: PowerPlug[®] Luminaire Disconnect Model 182 (TRIAC/ELV), Model 102 (0-10V, Lutron Hi-lume[®] 1%).

INPUT VOLTAGE: 120/277V.

DIMMING: Down to less than 5% for TRIAC/ELV at 120V or 0-10V at 120/277V. Down to less than 1% for Lutron Hi-lume[®] 1% at 120/277V.

LIFETIME: 50,000 hours at 70% lumen maintenance.

PHOTOMETRIC TESTING: Tested in accordance to IESNA LM-79-2008.

LISTINGS: IC rated. cULus Listed. ENERGY STAR[®] qualified. California Title 24 JA8 compliant. ASTM E283 certified Air Tight. UL Listed for Wet Location. CEC listed.

WARRANTY: 5 year limited warranty.

Trim

CONSTRUCTION: Die-cast aluminum. Twist & Lock mounting allows easy tool-free field installation and tight ceiling fit.

Project:	Contact:	Date:			
Product Code: DRDH-R-4/ DRD2M-10-9-40/ DRD2T-R-4-S-W Type: LED2					

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PRODUCT SELECTION GUIDE

FRAME-IN KIT (Product Code Example: DRDHRIC4)

PRODUCT CODE	APPLICATION	IC/NON-IC	APERTURE	DRIVER	
DRDH Housing	Remodel	IC Insulation	4" Aperture	[Blank	Integrated TRIAC/ELV
	Hi-Lume 1% driver 7C	70	0-10V, 750 lm		
		100	0-10V, 1000 lm		
		7C	Lutron LDE1 ¹ , 750 lm		
			5 5" Aperture	10C	Lutron LDE1 ¹ , 1000 lm
			6 6" Aperture	7W	Lutron L3DA3W ² , 750 lm
			6S 6" Shallow	10W	Lutron L3DA3W ² , 1000 lm

LIGHT ENGINE (Product Code Example: DRD2M7927)

PRODUCT CODE	LUMENS (WATTS)	CRI	CCT	DRIVER	
DRD2M Module	7 750 lm (10.8W)	<mark>9</mark> 93+ CRI	27 2700K	[Blank]	Integrated TRIAC/ELV
	<mark>10 1000</mark> lm (12.8W)		30 3000K	Α	Alternate Dimming
			35 3500K		Must be selected if 0-10V, Lutron Hi-Lume 1% or EM driver is selected for frame-in kit driver
			40 4000K		

TRIM (Product Code Example: DRD2TR4SWH)

PRODUCT CODE	SHAPE	APERTURE	STYLE	FINISH	OPTION
DRD2T Trim	R Round	4 4" Aperture	S Smooth	WH White	[Blank] None
	D Deep	5 5" Aperture	B Baffle	BK Black	DF Dead Front
	Only available in 6" aperture; smooth or baffle style; white, low iridescent or custom finish	6 6" Aperture	W Wall Wash Only available in white finish	SW Silver Reflector, White Flange	aperture, smooth
				AZ Low Iridescent Reflector, White Flange Only available in deep shape	style; Compatible with 750 Im light engine only
				CC Custom Color	

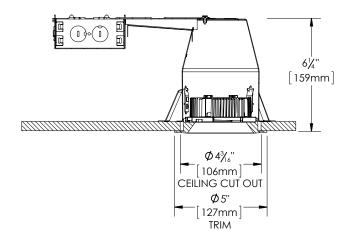
¹ Lutron LDE1 Dimming refers to Lutron Hi-lume 1% EcoSystem LED driver with Soft-on, Fade-to-Black™ ² Lutron L3DAE Dimming refers to Lutron Hi-lume 1% 3-wire LED driver

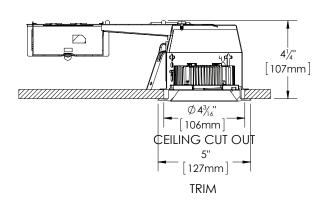


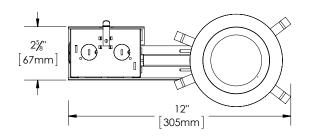
FRAME-IN KIT DIMENSIONS

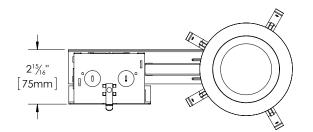
DRDHRIC4 4" Remodel IC Frame-in Kit

DRDHRIC4S 4" Shallow Remodel IC Frame-in Kit







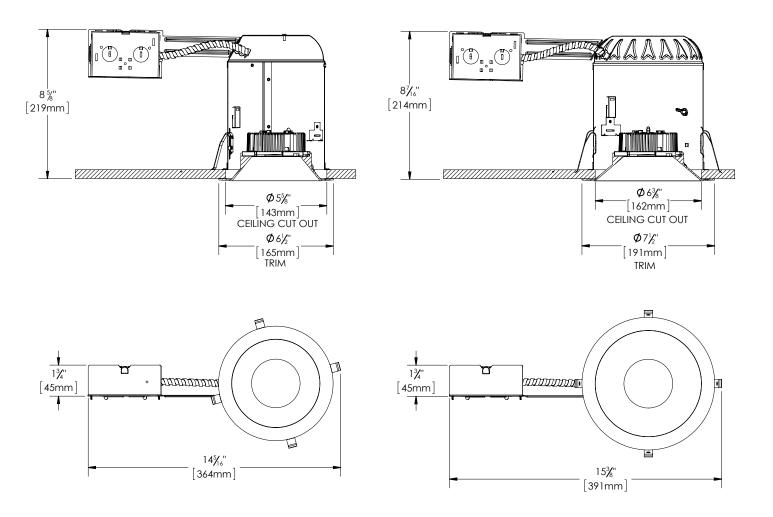




FRAME-IN KIT DIMENSIONS



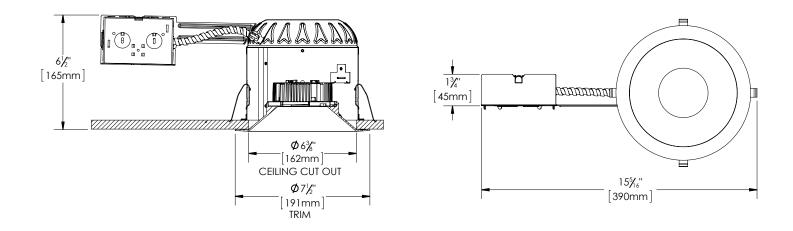
DRDHRIC6 6" Remodel IC Frame-in Kit



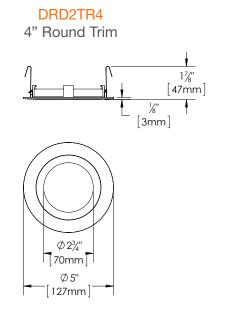


FRAME-IN KIT DIMENSIONS

DRDHRIC6S 6" Shallow Remodel IC Frame-in Kit

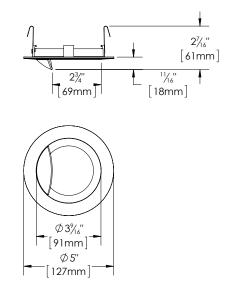


TRIM DIMENSIONS



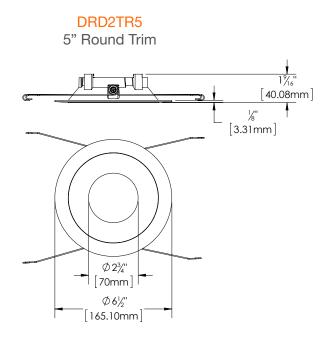
DRD2TR4W

4" Wall Wash Trim

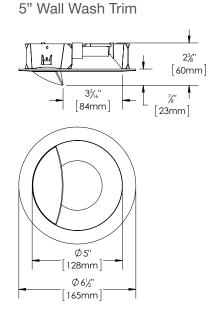




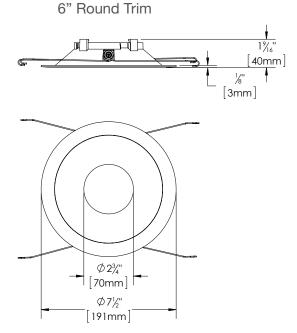
TRIM DIMENSIONS



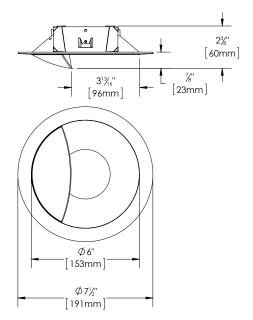
DRD2TR5W



DRD2TR6



DRD2TR6W 6" Wall Wash Trim

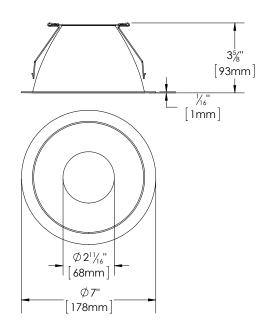


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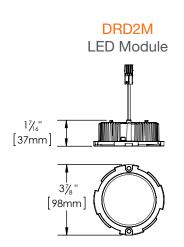


TRIM DIMENSIONS

DRD2TD6 6" Deep Trim



LIGHT ENGINE OVERVIEW



	DRD2M7	DRD2M10
Total Module Lumen Output (Im)	750	1000
Total Rated Power (W)	10.8	12.8
Efficacy (Im/W)	80	85
Color Rendering Index	9	3+
CCT Options	2700K, 3000K,	3500K, 4000K
Optics	Flood	
Binning	2-step SDCM	
Lifetime (L70)	50,000 hours	
Max Ambient Operating Temperature	40°C	
Input Voltage (V)	120/277V	, 50/60Hz
Input Current at 120V (Max)	0.090	0.107
Input Current at 277V (Max)	0.042	0.050
Power Factor >0.9).9
Total Harmonic Distortion	<20%	
Dimming	100%	- 5%

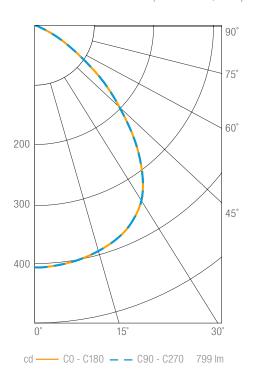
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PHOTOMETRICS

Light Engine: DRD2M7930 (DRD2 Module, 750 lm, 93 CRI, 3000K) Trim: DRD2TR6SWH (DRD2 Trim, 6" Aperture, Smooth, White)

L



uminous	s Intensity
Gamma	C 0°
0.0°	406
5.0°	404
10.0°	400
15.0°	394
20.0°	386
25.0°	373
30.0°	351
35.0°	316
40.0°	265
45.0°	208
50.0°	154
55.0°	100
60.0°	55
65.0°	24
70.0°	8
75.0°	4
80.0°	1
85.0°	0
90.0°	0
alues in car	ndela

Zonal Lumen Summary

Zone	Lumens	Luminaire %
0-30	321	40
0-40	517	65
0-60	768	96
0-90	799	100
0-180	799	100

Illuminance Chart

Distance from LED	Foot Candles	Diameter
2.5'	65	5.1'
5.0'	16	10.1'
7.5'	7	15.2'
9.0'	5	18.3'

V

Beam Angle: 90°

Light Engine: DRD2M10930 (DRD2 Module, 1000 lm, 93 CRI, 3000K) Trim: DRD2TR6SWH (DRD2 Trim, 6" Aperture, Smooth, White)

90° 75° 60° 200 300 45° 400 500 30° 0 15° cd — C0 - C180 — C90 - C270 1046 lm

Gamma	C 0°
0.0°	540
5.0°	537
10.0°	531
15.0°	523
20.0°	510
25.0°	492
30.0°	461
35.0°	411
40.0°	342
45.0°	256
50.0°	172
55.0°	112
60.0°	74
65.0°	48
70.0°	27
75.0°	12
80.0°	6
85.0°	2
90.0°	0

Zonal Lumen Summary

Zone	Lumens	Luminaire %
0-30	425	41
0-40	679	65
0-60	980	94
0-90	1046	100
0-180	1046	100

Illuminance Chart

Beam Angle: 90°

Distance from LED	Foot Candles	Diameter
2.5'	86	4.9'
5.0'	22	9.7'
7.5'	10	14.6'
9.0'	7	17.5'

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DIMMER COMPATIBILITY

econtinended i nase-control binniners (bins down to 5% norminal measured light output)					
Brand	Series	Model Number	Max Load DRD2M7	Max Load DRD2M10	
Control 4	Control 4	C4-APD120	10	9	
Cooper	Decorator	DLC03P, DAL06P	25	20	
Legrand	Adorne	ADTP703TU	35	30	
	Caseta	PD-6WCL	12	10	
	CL Series	AYCL-153, CTCL-153, DVCL-153, LGCL-513, SCL-153, TGCL-513	12	10	
	CL Series	AYCL-253, DVCL-253	20	15	
	Grafik Eye 3000	QSGR-3P	30	25	
Lutron	Grafik Sys / Homeworks	RPM-4A	25	20	
	Grafik Sys / Homeworks	RPM-4U	30	25	
	Maestro CL	MACL-153M, MSCL-OP153M, MSCL-VP153M	12	10	
	Maestro Wireless	MRF2-6ELV, MRF2-6CL	12	10	
	Radio RA	RRD-6NA, RRD-6CL, RRD-6D	12	10	

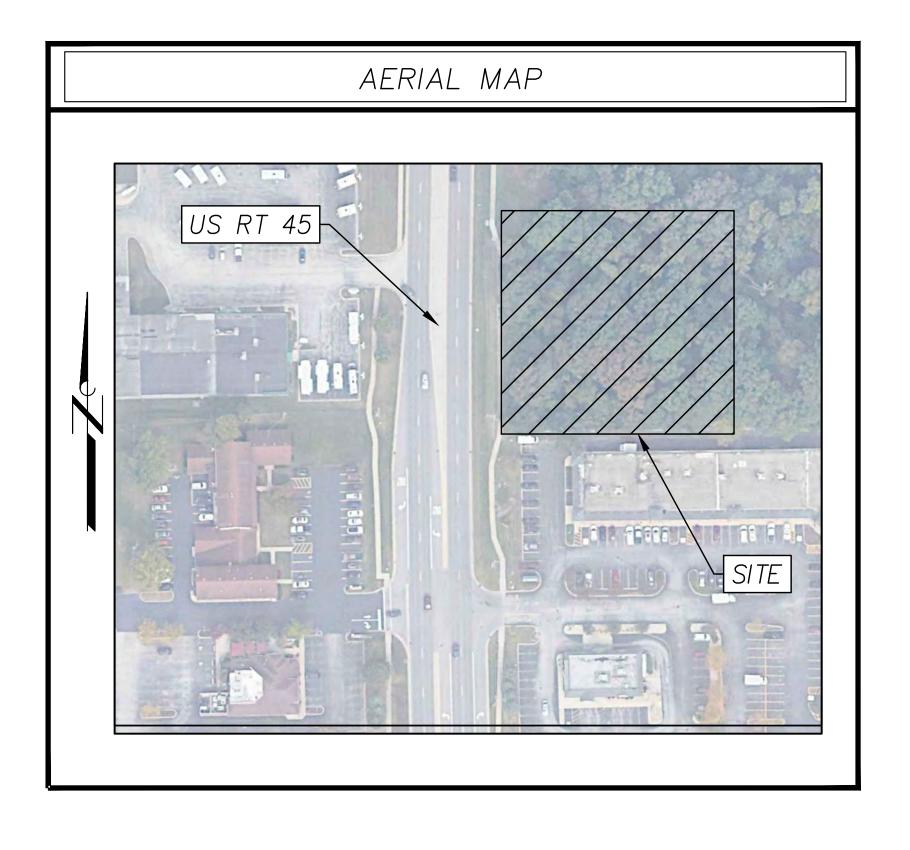
Recommended Phase-control Dimmers (Dims down to 5% nominal measured light output)

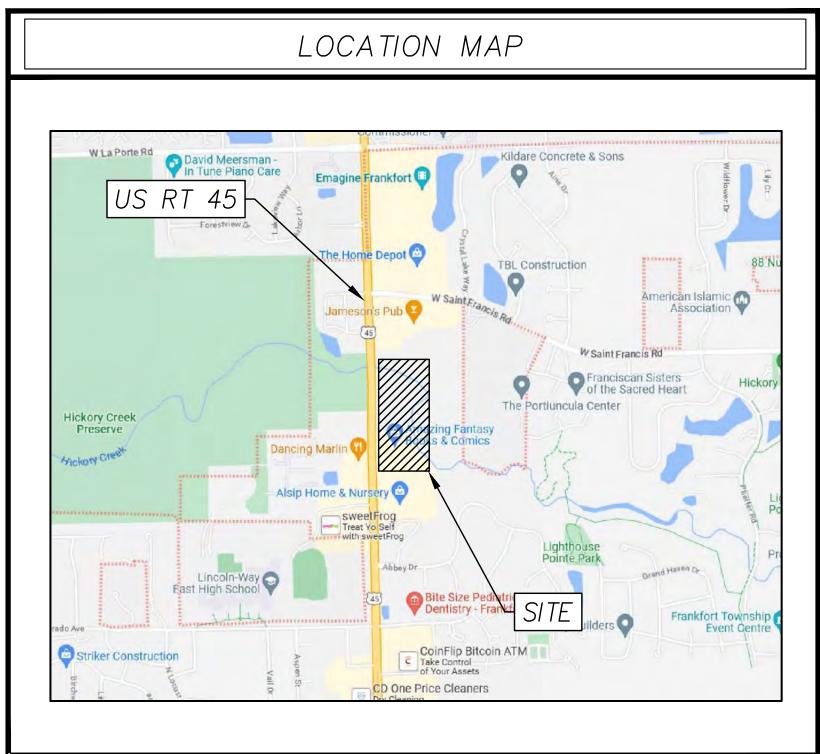
Compatible Phase-control Dimmers¹ (Dims down to 20% nominal measured light output)

Brand	Series	Model Number	Max Load DRD2M7	Max Load DRD2M10
Cooper	Slide	SLC03P, SAL06P	25	20
Legrand	Harmony	H703PTU, HCL453P	30	25
	IllumaTech Slide	IPE04	25	20
Leviton	SureSlide	6621, 6674	10	10
	Diva	DV-600	12	10
	Maestro	MA-600	12	9
	Maestro ELV	MAELV-600, MSCELV-600	35	30
Lutron	Maestro Wireless	MRF2-6ND	12	10
	Power Booster	PHPM-PA, PHPM-WBX	25	20
	Sunrise	SR400RPC120, ZP260QEW	20	15
	Digital Light Management	LMRC-221	160	150
Watt Stopper	Dimming Sensor	PW-100D	14	12

¹ Dimmer compatibility reflects performance compatibility only. Please reference your local codes for application.







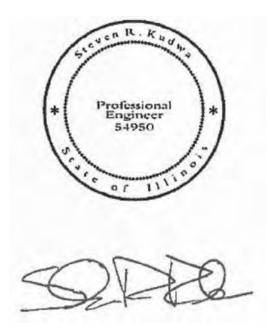
SITE CIVIL PLANS D)

SPECIAL LAND USE & SITE PLAN REVIEW

FRANKFORT, IL

DRAWINGS INDEX				
		DATE		
CO.1	COVER SHEET & INDEX	1/12/24		
C0.2	EXISTING CONDITIONS & DEMOLITION PLAN	1/12/24		
C1.0	SITE PLAN	1/12/24		
C1.1	SITE ACCESS PLAN & TRUCK TURNING	1/12/24		
C2.0	GRADING PLAN	1/12/24		
C2.1	STORMWATER BASIN CALCULATIONS	1/12/24		
C3.0	UTILITY PLAN	1/12/24		
L1.1	LANDSCAPE PLAN – SHEET 1	1/12/24		
L1.2	LANDSCAPE PLAN – SHEET 2	1/12/24		
L1.3	LANDSCAPE PLAN – SHEET 3	1/12/24		
L1.4	LANDSCAPE PLAN – SHEET 4	1/12/24		
C5.0	PHOTOMETRIC PLAN	1/12/24		
SP-1.1	SITE PLAN DETAILS	1/12/24		
SP-1.2	SITE PLAN DETAILS	1/12/24		





WARNING CALL Call 48 hours before you dig ((Excluding Sat., Sun. & Holidays)

> CONTRACTORS SHALL CALL J.U.L.I.E. BEFORE START OF CONSTRUCTION. CALL LOCAL AMERITECH OFFICE FOR LOCATIONS OF FIBEROPTIC CABLES. J.U.L.I.E. DOES NOT MARK THESE LOCATIONS.

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE CODES AND ORDINANCES OF THE VILLAGE OF FRANKFORT.

Steven R. Kudwa, P.E.

LICENSED ENGINEER # 062-054950

(Operates 24 hours a day 365 days a year) BEFORE YOU DIG

PROPERTY DESCRIPTION LOT 2 IN POWELL RESUBDIVISION, BEING A SUBDIVISION OF PART OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREIN RECORDED APRIL 11, 2017, AS DOCUMENT NUMBER R2017028404, IN P.I.N. 19-09-15-301-034-0000 PROPERTY CONTAINS: 258,483 SQ. FT. (5.932 ACRES), MORE OR LESS. DRAINAGE OVERLAY CERTIFICATE } SS. ____062-054950 STATE REGISTRATION NUMBER

STATE OF ILLINOIS COUNTY OF WILL , Steve Kudwa, hereby certify that adequate storm water storage and drainage capacity has been provided for this development, such that surface water from the development will not be diverted onto and cause damage to adjacent property for storms up to and including the one hundred (100) year event, and the design plans are in compliance with all applicable federal, state, county, and village laws and ordinances. DATED THIS______ DAY OF _____, 2021 ILLINOIS REGISTERED PROFESSIONAL ENGINEER

RECEIVED By Mike Schwarz at 11:48 am, Jan 19, 2024

PROJECT TEAM

VILLAGE OF FRANKFORT

<u>MIKE_SCHWARZ</u> MSCHWARZ@FRANKFORTIL.ORG

ILLINOIS DOT

HOWARD HAMILTON HOWARD.J.HAMILTON@ILLINOIS.GOV

GARY R. WEBER ASSOCIATES

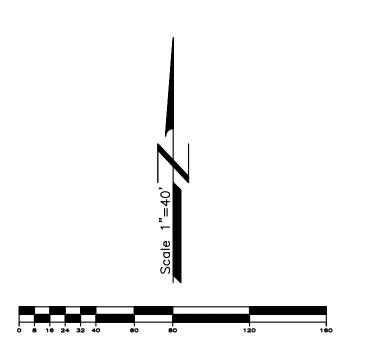
DOUG SHANNON DSHANNON@GRWAINC.COM

Koru Group, PLLC Architects Engineers Surveyors Koru Group, PLLC 2135 CityGate Lane, STE 330 Naperville, IL. 60563
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CONSULTING ENGINEER:
GENERAL CONTRACTOR:
CLIENT:
SITE CIVIL PLANS:
REVISIONS: # DESCRIPTION DATE
PROJECT NUMBER: 23005 DRAWN BY: DJK REVIEWED BY: SRK SHEET TITLE:
COVER SHEET SHEET NO.
C0.1



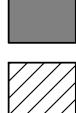
Vegetation Removal

- CONSTRUCTION.



SITE DEMOLITION LEGEND

	TO REMAIN	TO BE REMOVED
Watermain	<i>W</i>	
Storm Sewer	>>	>
Sanitary Sewer	>	》
Overhead Electric	OHL	OH-ELEC
Electric	——————————————————————————————————————	——————————————————————————————————————
Telephone	<i>T</i>	<i>T</i>
Gas	<i>G</i>	<i>G</i>
Storm Manhole	\odot	Ø
Sanitary Manhole	\bigcirc	0
Valve Vault/B—Box	\otimes	8
Storm Inlet	\Box	
Fire Hydrant	ı 💬	Q
Utility Pole		\bullet
Curb & Gutter		
Contour	693	
Trees	\otimes	×
Street Light	-\$-	-¢-
Telephone		
Concrete		
Sign	<u> </u>	<u> </u>
Fence	X	<i>X</i>
Vegetation Removal		



Concrete Removal

SITE DEMOLITION NOTES

1. ALL SEWERS WHICH ARE TO BE ABANDONED SHALL BE REMOVED AND REPLACED WITH APPROVED TRENCH BACKFILL (CA-7) AND COMPACTED TO 95% MODIFIED PROCTOR IF LOCATED IN FUTURE BUILDING AREAS OR 90% IN ANY OTHER LOCATION. PLUGS SHALL BE ON BOTH ENDS OF PIPE FOR A DISTANCE OF 2' AND BE MADE OF NON-SHRINK CONCRETE CONCRETE OR MORTAR.

2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION AND NOTIFY ENGINEER OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BETWEEN EXISTING CONDITIONS AND PROPOSED DESIGN.

3. ALL EXCESS MATERIAL SHALL BE HAULED OFFSITE AND DISPOSED OF PROPERLY. DEMOLITION DEBRIS SHALL NOT BE BURIED ON SITE UNLESS SOIL ENGINEER HAS APPROVED AS ALLOWABLE BACKFILL.

4. DEMOLITION CONTRACTOR SHALL CALL J.U.L.I.E. PRIOR TO ANY DEMOLITION WORK.

5. ALL UTILITIES TO BE ABANDONED SHALL BE CAPPED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROPRIATE UTILITY COMPANIES AND THE GOVERNING MUNICIPALITY.

6. TRAFFIC CONTROL FOR WORK IN THE RIGHT-OF-WAY SHALL MEET I.D.O.T. STANDARDS PER SECTION 700, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. (AS ADAPTED 2012)

7. CONTRACTOR MUST BARRICADE (INCLUDING WARNING LIGHTS) ALL OPEN EXCAVATIONS TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM ENTERING THE AREA.

8. ALL EXCAVATIONS TO BE FILLED IN 9" LIFTS WITH APPROVED ENGINEERED BACKFILL AND COMPACTED TO 95% MODIFIED PROCTOR. 9. EXCAVATION CONTRACTOR SHALL GRADE SITE IN ORDER TO PROVIDE FULL PAVEMENT SECTION PER PAVEMENT DETAIL.

A CONSTRUCTION SCHEDULE SHALL BE COORDINATED WITH ALL ADJACENT PROPERTY OWNERS TO MAINTAIN CONTINUOUS ACCESS TO ALL EXISTING DRIVEWAYS.

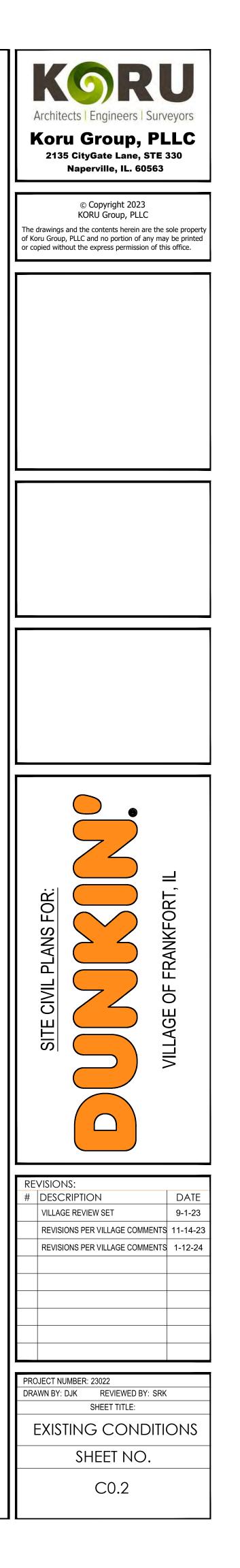
11. ALL MUD SHALL BE REMOVED FROM ALL CONSTRUCTION VEHICLES PRIOR TO EXITING THE CONSTRUCTION SITE. ANY DIRT AND DEBRIS DEPOSITED ON THE ADJACENT ROADWAYS SHALL BE IMMEDIATELY REMOVED FROM SAID ADJACENT ROADWAYS. 12. ALL MANHOLES TO BE ABANDONED SHALL HAVE THE CONE REMOVED AND BACKFILLED PER THE REQUIREMENTS OF THE

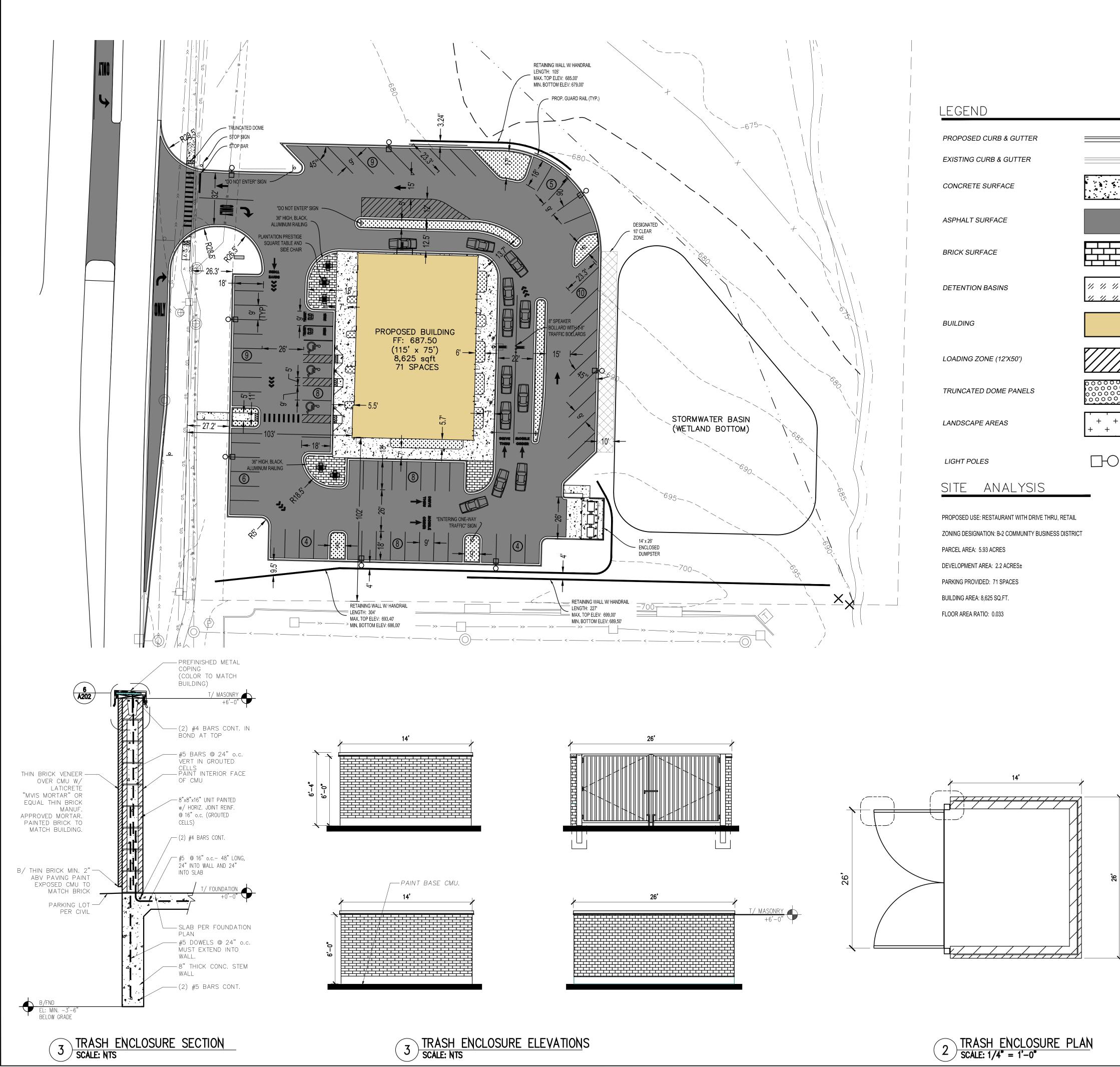
APPROPRIATE UTILITY COMPANY AND THE GOVERNING MUNICIPALITY. 13. DEMOLITION OF ALL UTILITIES (INCLUDING BUT NOT LIMITED TO GAS, ELECTRIC, TELEPHONE AND CABLE) SHALL BE COORDINATED WITH THE GOVERNING MUNICIPALITY AND THE UTILITY COMPANIES.

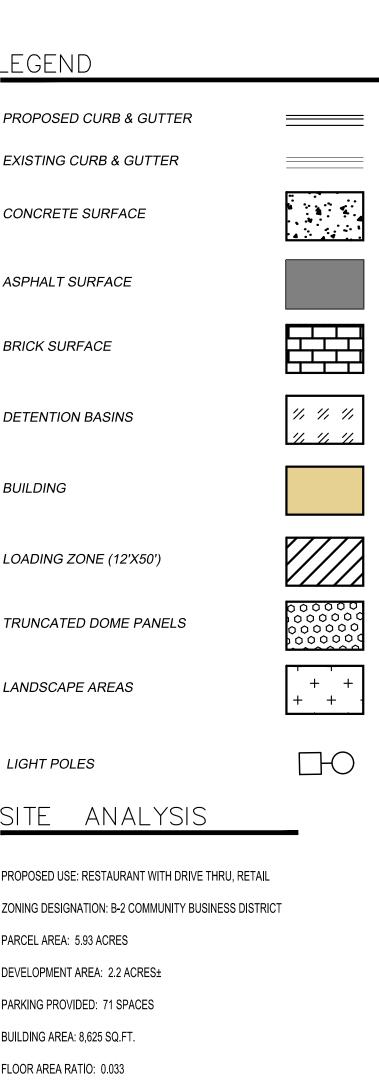
14. EXCAVATE ALL EXISTING LANDSCAPE AREAS, INCLUDING PARKWAYS, TO FULL PAVEMENT DESIGN DEPTH FOR NEW

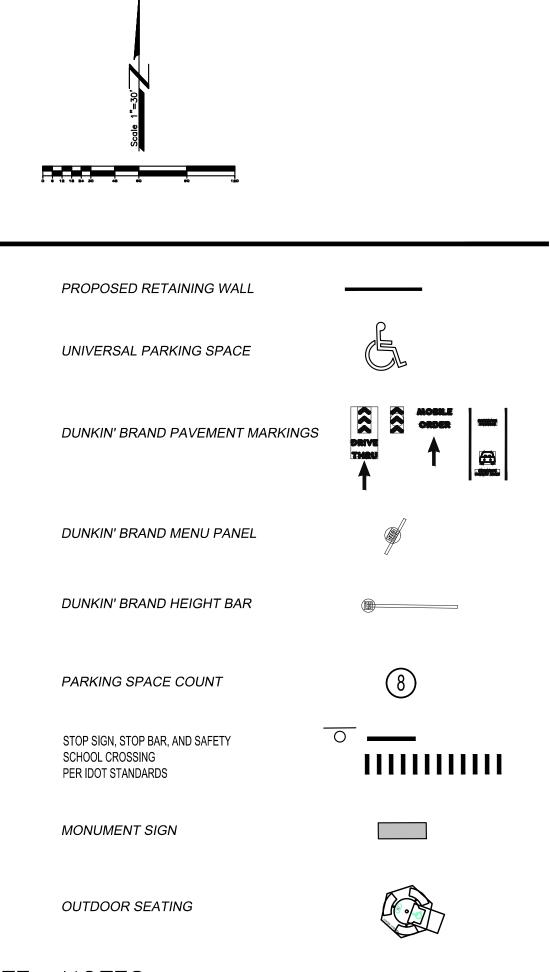
15. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL OF ALL VISIBLE AND UNDERGROUND IMPROVEMENTS INCLUDING BUT NOT LIMITED TO ITEMS SHOWN ON THESE PLANS.

16. GROUND IS TO BE GRADED TO HAVE POSITIVE DRAINAGE AND SEEDED OR IMMEDIATE CONSTRUCTION OF THE NEW BUILDING.









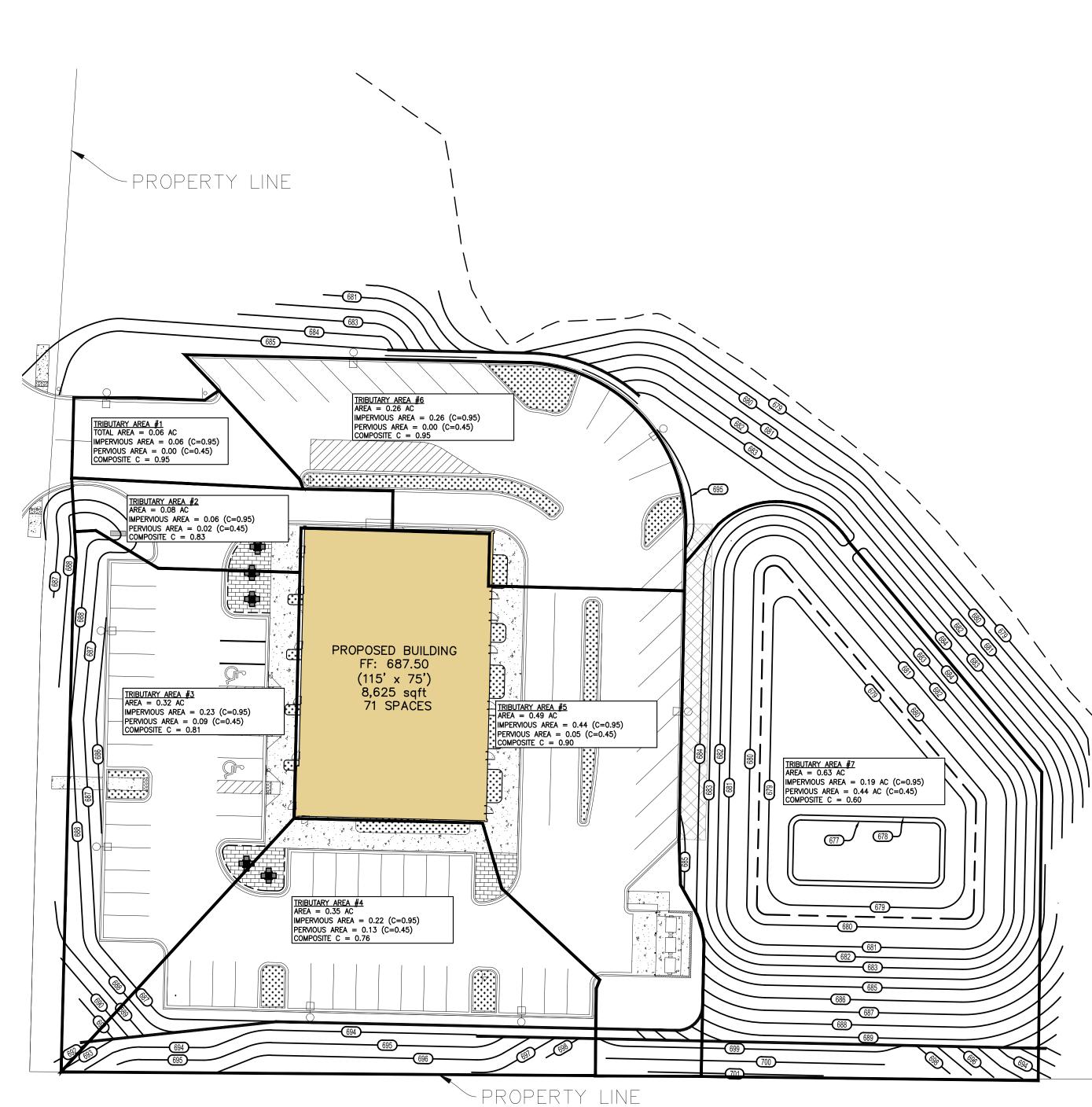
SITE NOTES

1. ALL DIMENSIONS ARE BACK OF CURB UNLESS OTHERWISE NOTED.

- 2. ALL CURB RADII ARE BACK OF CURB UNLESS OTHERWISE NOTED. 3. CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO STARTING WORK AND NOTIFY ENGINEER IF ANY
- DISCREPANCIES ARE FOUND. 4. SIDEWALK AROUND PERIMETER OF BUILDING SHALL BE WALK/PAVEMENT UNLESS OTHERWISE
- SPECIFIED ON PLANS. 5. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION.
- 6. SEE DETAILS FOR BITUMINOUS AND CONCRETE PAVEMENT SECTIONS.
- 7. CONTRACTOR TO PROVIDE TEMPORARY TRAFFIC CONTROL MEASURES DURING CONSTRUCTION OF ENTRANCE IN ACCORDANCE WITH IDOT STANDARDS.
- 8. ADA HANDICAP RAMPS SHALL BE INSTALLED AT ALL LOCATIONS DELINEATED ON PLANS AS WELL AS AT ALL LOCATIONS WHERE SIDEWALK ABUTS DRIVES OR ROADWAYS.
- 9. CONTRACTOR SHALL COMPARE ARCHITECTURAL AND ENGINEERING PLANS FOR INTERFACE COMPATIBILITY.
- 10. ALL CURB AND GUTTER SHALL BE B6:12 UNLESS OTHERWISE NOTED ON PLANS.
- 11. PAVEMENT STRIPING TO BE WHITE, TWO COATS UNLESS OTHERWISE SPECIFIED ON PLANS.

KópRU Architects Engineers Surveyors Koru Group, PLLC 2135 CityGate Lane, STE 330 Naperville, IL. 60563
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SITE CIVIL PLANS FOR:
REVISIONS:#DESCRIPTIONDATEVILLAGE REVIEW SET9-1-23REVISIONS PER VILLAGE COMMENTS11-14-23REVISIONS PER VILLAGE COMMENTS1-12-24
PROJECT NUMBER: 23022 DRAWN BY: DJK REVIEWED BY: SRK SHEET TITLE: SITE PLAN





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/

RUNOFF VOLUME CALCULATIONS

TOTAL DEVELOPED SITE AREA = 2.19 AC <u>STORMWATER BASIN</u> TRIBUTARY AREA = 2.19 AC IMPERVIOUS AREA = 1.46 AC (C=0.95)

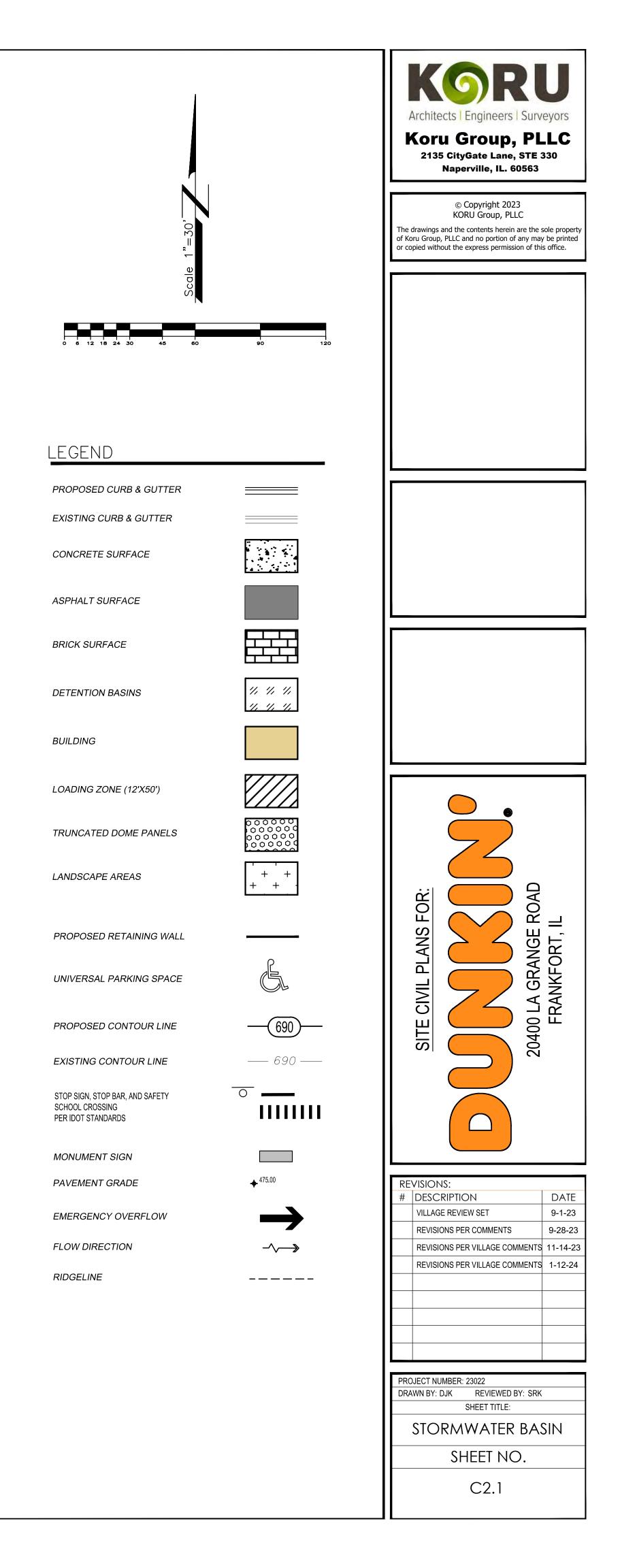
PERVIOUS AREA = 0.73 AC (C=0.45) COMPOSITE C = 0.78

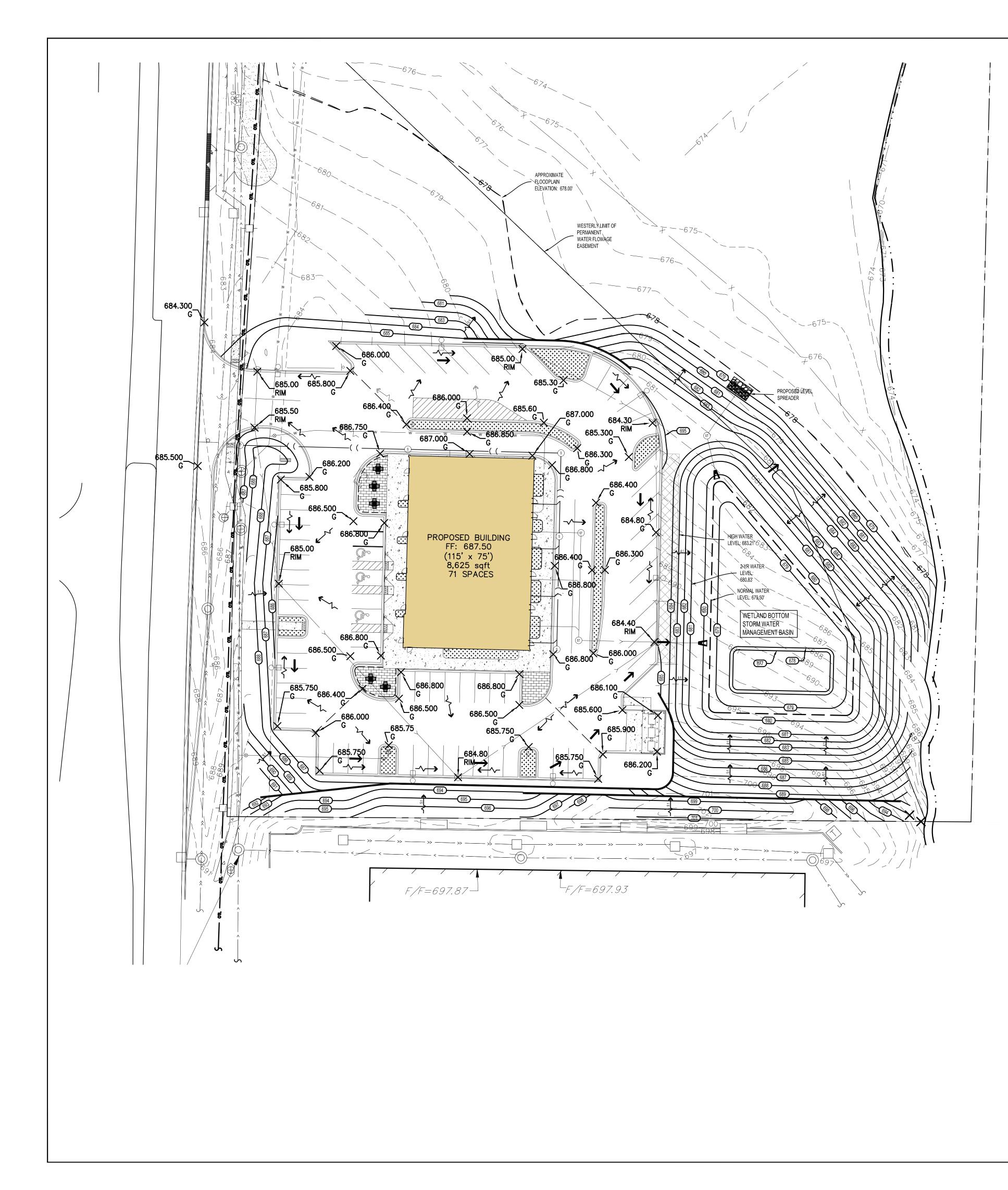
2-YR VOLUME FACTOR = 0.18 100-YR VOLUME FACTOR = 0.50

2-YR STORM VOLUME = 0.39 AC-FT = 16,988 CU.FT. 100-YR STORM VOLUME = 1.10 AC-FT = 47,916 CU.FT.

PROPOSED 2-YR BASIN STORAGE 0.40 AC-FT= 17,220 CU.FT. (2-YR WL=681.00') PROPOSED 100-YR BASIN STORAGE = 1.10 AC-FT = 47,905 CU.FT. (100-YR WL=683.05') ALLOWABLE 2-YR STORAGE RELEASE RATE = (0.04 CFS/AC)*(2.19 AC) = 0.09 CFSALLOWABLE 100-YR STORAGE RELEASE RATE = (0.15 CFS/AC)*(2.19 AC) = 0.33 CFS

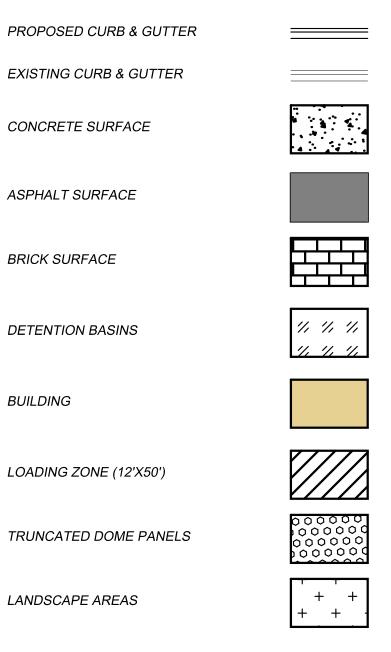
	STAG	E STORA(1	1
ELEV	AREA (sq. ft.)	DEPTH (ft)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL (cu. ft.)
679.500	8,272.09	N/A	N/A	0.00
679.600	8,583.56	0.100	842.73	842.73
679.700	8,903.38	0.100	874.30	1717.03
679.800	9,227.13	0.100	906.48	2623.51
679.900	9,554.77	0.100	939.05	3562.56
680.000	9,888.27	0.100	972.10	4534.66
680.100	10,219.08	0.100	1005.32	5539.98
680.200	10,558.81	0.100	1038.85	6578.83
680.300	10,902.20	0.100	1073.00	7651.84
680.400	11,249.31	0.100	1107.53	8759.37
680.500	11,599.85	0.100	1142.41	9901.78
680.600	11,953.91	0.100	1177.64	11079.42
680.700	12,311.61	0.100	1213.23	12292.66
680.800	12,673.01	0.100	1249.19	13541.84
680.900	13,038.08	0.100	1285.51	14827.36
681.000	13,413.14	0.100	1322.52	16149.87
681.100	13,593.56	0.100	1350.32	17500.20
681.200	13,782.66	0.100	1368.80	18869.00
681.300	13,972.59	0.100	1387.75	20256.75
681.400	14,163.34	0.100	1406.79	21663.53
681.500	14,354.92	0.100	1425.90	23089.44
681.600	14,547.13	0.100	1445.09	24534.53
681.700	14,740.05	0.100	1464.35	25998.88
681.800	14,933.85	0.100	1483.68	27482.56
681.900	15,128.48	0.100	1503.11	28985.67
682.000	15,327.29	0.100	1522.78	30508.44
682.100	15,519.99	0.100	1542.35	32050.80
682.200	15,719.09	0.100	1561.94	33612.74
682.300	15,918.93	0.100	1581.89	35194.63
682.400	16,119.53	0.100	1601.91	36796.54
682.500	16,320.78	0.100	1622.00	38418.55
682.600	16,522.48	0.100	1642.15	40060.70
682.700	16,724.88	0.100	1662.36	41723.06
682.800	16,928.01	0.100	1682.63	43405.69
682.900	17,131.89	0.100	1702.98	45108.68
683.000	17,341.65	0.100	1723.67	46832.35
683.100	17,543.31	0.100	1744.24	48576.58
683.200	17,751.89	0.100	1764.75	50341.33





0 6 12 18 24 30

LEGEND



All proposed grades are edge of pavement unless otherwise noted. See below for top of curb elevation correlation.

T/CURB = (PVMT. GRADE) + 0.42 (NORMAL PITCH CURB) T/CURB = (PVMT. GRADE) + 0.54 (REVERSE PITCH CURB)

GRADING NOTES

 General contractor shall verify existing contours and notify engineer of any discrepancies.
 The general contractor shall spread spoils from utility contractors work to balance the site to the extent possible.

3. Erosion control measures include but are not limited to the following: silt fabric shall be place on each sanitary structure until construction is completed. Fabric shall overlap sanitary manhole opening a minimum of one (1) foot on each side with the solid grate placed on top of fabric to prevent silt from entering sanitary system. Silt fence around perimeter shall remain in place and be maintained until construction is completed. All inlet structures shall be protected with inlet baskets.

4. The general contractor is responsible for erosion control measures. Contractor shall install erosion control measures prior to the start of construction and maintain such measures until grading is complete, parking lot is paved and vegetation has been established. If there is no general contractor, it will then be the responsibility of the grading contractor to install and mainta erosion control measures.

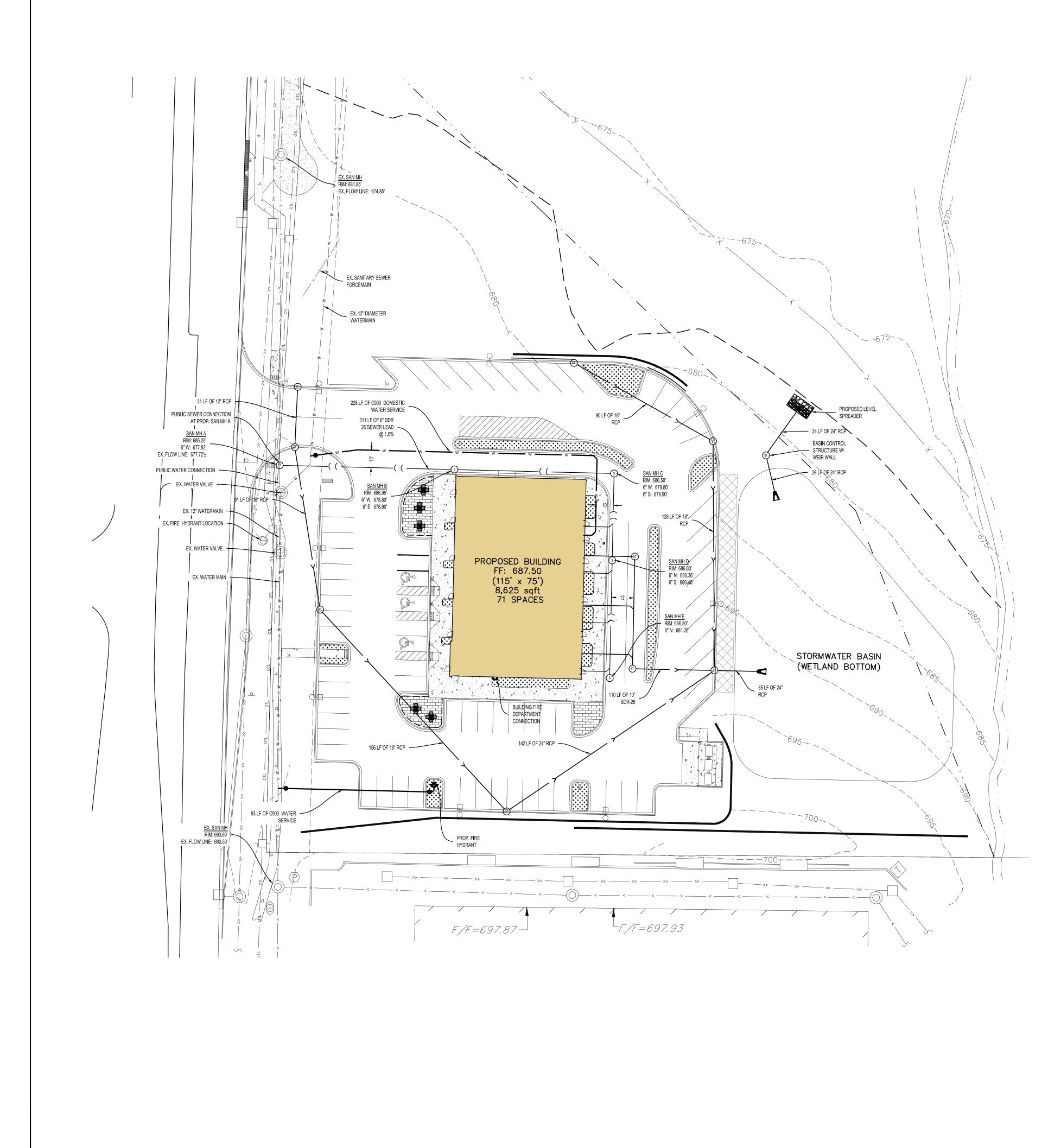
5. The contractor responsible for the installation of the erosion control devices shall maintain all storm water pollution devices throughout construction and until all unframed or non building areas have a uniform perennial vegetative cover with a density of 70 percent or greater. Maintenance includes weekly inspections or an inspection following a rainfall of 1/2 inch in a 24-hour period. The contractor must submit a copy of the inspection report to the owner and engineer at the end of each month and keep a copy of the report on the construction site until the required vegetation cover is in place.

6. If additional erosion control measures not shown on these drawings are required to stop or prevent erosion or are required by any authority having jurisdiction, it shall be the general contractors responsibility to install such devices. The owner or engineer shall be notified of the additional work and cost prior to installation.

The general contractor shall be responsible for notifying the owner and engineer, in writing, c any additional sources of storm water pollution observed during construction and the additional costs required to prevent additional pollution.

8. See soils reports for testing requirements. The final soils reports are dated as follows: Geotechnical Engineering Report prepared by ------ dated ------- --, 20--.

Scale 1"=30'	<text><text><text><text><text><text></text></text></text></text></text></text>
45 60 90 120	
PROPOSED RETAINING WALL	
UNIVERSAL PARKING SPACE	
PROPOSED CONTOUR LINE -690-	
EXISTING CONTOUR LINE — 690 —	
STOP SIGN, STOP BAR, AND SAFETY	
MONUMENT SIGN	
PAVEMENT GRADE + ^{475.00}	
EMERGENCY OVERFLOW	
FLOW DIRECTION -	
to laced hole and t all lintain reas ress rece d end ation	SITE CIVIL PLANS FOR:
" he g, of lat	REVISIONS: # DESCRIPTION DATE VILLAGE REVIEW SET 9-1-23 REVISIONS PER COMMENTS 9-28-23 REVISIONS PER VILLAGE COMMENTS 11-14-23 REVISIONS PER VILLAGE COMMENTS 12-22-23 REVISIONS PROJECT NUMBER: 23022 DRAWN BY: DJK REVIEWED BY: SRK SHEET TITLE: GRADING PLAN
	SHEET NO.
	C2.0

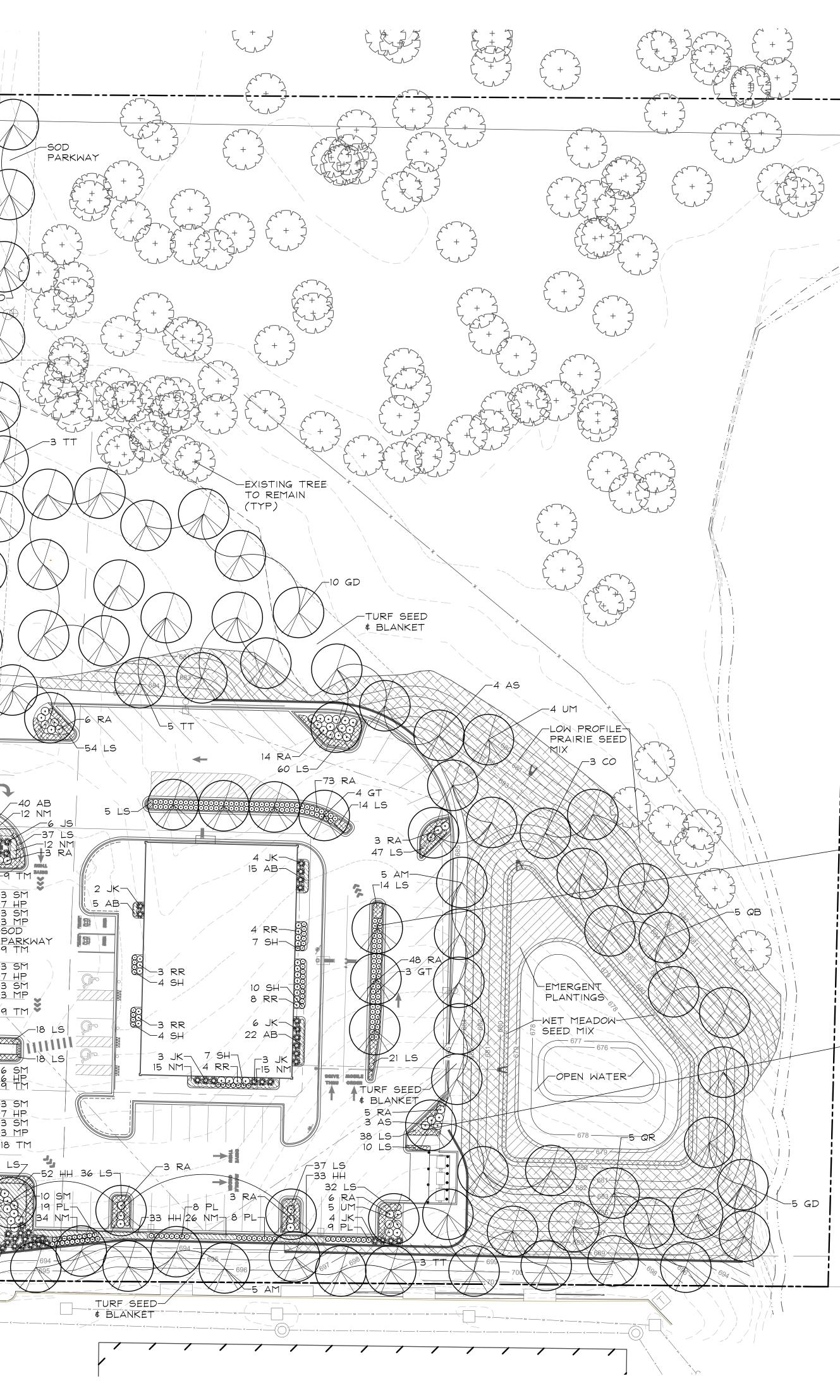


		Scale 1=30		Koorug on the contents herein are the sole property of Koru Group, PLLC and no portion of any may be printed or copied without the express permission of this office.
LEGEND				
PROPOSED CURB & GUTTER		PROPOSED RETAINING WALL		
EXISTING CURB & GUTTER			ſL	
CONCRETE SURFACE		UNIVERSAL PARKING SPACE		
ASPHALT SURFACE		PROPOSED CONTOUR LINE EXISTING CONTOUR LINE	<u> 690 </u>	STRUCTURAL ENGINEER:
BRICK SURFACE		STOP SIGN, STOP BAR, AND SAFETY SCHOOL CROSSING	· · · · · · · · · · · · · · · · · · ·	
DETENTION BASINS	11, 11, 11, 11, 11, 11,	PER IDOT STANDARDS		
BUILDING		PAVEMENT GRADE	↓ 475.00	MEP ENGINEER:
LOADING ZONE (12'X50')		EMERGENCY OVERFLOW	\rightarrow	
TRUNCATED DOME PANELS		RIDGELINE		
LANDSCAPE AREAS	+ + + + + + + + + + + + + + + + + + + +	ELECTRIC TELEPHONE	———— Е ———— ———— Т ————	
STORM SEWER	>	GAS VALVE VAULT / B-BOX	G ☎	CLIENT:
SANITARY SEWER))	FIRE HYDRANT		
WATERMAIN	——w——	LIGHT POLES	■ ≎ ■	
STORM MANHOLE FLARED END SECTION	ST)	TRANSFORMER	T	
SANITARY MANHOLE	V 3			ANS FOR: VGE ROAD
 UTILITY NOTES PRECAST CONCRETE SECTIONS FOR MANHOLES, CATCH BASANITARY MANHOLES SHALL BE IN COMPLIANCE WITH THE VIL EXISTING UTILITIES WHERE POSSIBLE AND NOTIFY ENGINOMSSIONS AS SOON AS POSSIBLE. NO FILTER FABRIC ALLOWED UNDER FRAMES OR GRATES. INSTALLED. ALL INLET PROTECTION SHOULD BE IN ACCORDAPREVENTION PLAN. GENERAL CONTRACTOR SHALL VERIFY SPECIFIC SIZE AND ITELEPHONE PRIOR TO INSTALLATION. ALL EXISTING DRAIN TILE LOCATED WITHIN THE SITE BOUND NECESSARY. ALL DRAIN TILE ENTERING SITE SHALL BE TIED IN MAINTAIN EXISTING DRAINAGE PATTERNS. IN PLACES WHERE DRAINTILE CROSS, THE WATERMAIN SHALL BE INSTALLED WITH CONNECTIONS ARE MADE AND AT THE FIRST MANHOLE OF EACH CONNECTIONS ARE MADE AND AT THE FIRST MANHOLE OF EACH CONNECTIONS ARE MADE AND AT THE FIRST MANHOLE OF EACH CONNECTIONS ARE MADE AND AT THE FIRST MANHOLE OF EACH CONNECTIONS ARE MADE AND AT THE FIRST MANHOLE OF EACH SIGNEMITED FOR THE ROOF DRAINS. ALL ROOF DOWNSPOUTS MUST TIE DIRECTLY INTO THE STORE BE PERMITTED FOR THE ROOF DRAINS. FRAME AND GRATE REQUIREMENTS: STORM STRUCTURE (CARB) - NEENAH R-1557 FRAME STORM STRUCTURE (CURB) - NEENAH R-1557 FRAME STORM STRUCTURE - NEENAH R-1557 FRAME STORM STRUCTURE (NEENS) - NEENAH R-1557 FRAME	LAGE OF FRANKFORT MUNICIPAL CODE. ND ARE NOT NECESSARILY EXCLUSIVE. CONTRAC VEER OF DISCREPANCIES, EXCEPTIONS, OR ALL STRUCTURES SHALL HAVE INLET FILTERS NCE WITH THE APPROVED STORMWATER POLLUTIO OCATION OF CONDUIT FOR GAS, ELECTRIC AND VARY SHALL BE REMOVED OR ABANDONED AS NTO PROPOSED STORM LINE OR REROUTED TO BY THE PROPOSED WATERMAIN AND EXISTING ACTI H CASING 10 FEET ON EITHER SIDE OF CROSSING. ON AT ALL EXISTING MANHOLES WHERE PROPOSED CH PROPOSED SANITARY LINE. ICATIONS IN ARCHITECTURAL PLANS AND CONTRAC DRM SEWER SYSTEM. NO OVERLAND DRAINAGE WIL E, R-2557 TYPE G GRATE	TOR N VE T		REVISIONS REVISIONS PER VILLAGE REVISIONS PER VILLAGE REVISIONS PER VILLAGE REVISIONS PER VILLAGE PROJECT NUMBER: 23022 DRAWN BY: DJK REVISIONS PER VILLAGE DRAWN BY: DJK REVISIONS PER VILLAGE DRAWN BY: DJK REVISIONS PER VILLAGE DRAWN BY: DJK REVISIONS SHEET TITLE UTILLITY PLAN SHEET NO.

PL	ANT	LIST			
Key	Qty	Botanical/Common Name	Size	Remarks	Total Plant Units
		SHADE TREES			Ornes
AM	13	Acer miyabei 'Morton' STATE STREET MAPLE	2 1/2" Cal.		130
AS	13	Acer x saccharum 'Green Mountain' GREEN MOUNTAIN SUGAR MAPLE	2 1/2" Cal.		130
СО	9	Celtis occidentalis COMMON HACKBERRY	2 1/2" Cal.		90
GΤ	7	Gleditsia triacanthos var. inermis 'Skycole' SKYLINE HONEYLOCUST	2 1/2" Cal.		70
GD	18	Gymnacladus diaicus 'Espressa-JFS' ESPRESSO KENTUCKY COFFEETREE	2 1/2" Cal.		180
QB	5	Quercus bicolor SWAMP WHITE OAK	2 1/2" Cal.		50
QR	5	Quercus rubra RED OAK	2 1/2" Cal.		50
ΤT	11	Tilia tomentosa 'Sterling' STERLING SILVER LINDEN	2 1/2" Cal.		110
UM	9	Ulmus 'Morton Glossy' TRIUMPH ELM	2 1/2" Cal.		90
		ORNAMENTAL TREES			
MP	9	Malus 'Prairifire' PRAIRIFIRE CRABAPPLE	6' Ht.	Multi-Stem	45
		DECIDUOUS SHRUBS			
ΗP	27	Hydrangea paniculata 'SMHPLQF' LITTLE QUICK FIRE HYDRANGEA	24" Tall	3' O.C.	27
RA	171	Rhus aromatica 'Gro-low' GRO-LOW SUMAC	24" Wide	4' O.C.	171
RR	22	Rosa 'Radrazz' RED KNOCKOUT ROSE	24" Tall	3' O.C.	22
SM	34	Syringa meyeri 'Palabin' DWARF KOREAN LILAC	24" Tall	4' O.C.	68
		EVERGREEN SHRUBS			
JK	22	Juniperus chinensis 'Kallays Compact' KALLAYS COMPACT PFITZER JUNIPER	24" Wide	4' O.C.	22
JS	6	Juniperus chinensis var. sargentii 'Viridis' GREEN SARGENT JUNIPER	24" Wide	5' O.C.	6
ТМ	33	Taxus x media 'Densiformis' DENSE YEW	24" Wide	4' O.C.	66
		ORNAMENTAL GRASSES			
СК	10	Calamagrostis x acutiflora 'Karl Foerster' FEATHER REED GRASS	#1	30" O.C.	10
PL	61	Panicum virgatum 'Heavy Metal' HEAVY METAL SWITCHGRASS	#1	24" O.C.	61
SH	32	Sporobolus heterolepis PRAIRIE DROPSEED	#1	24" O.C.	32
AB	113	PERENNIALS Allium 'Summer Beauty'	#1	18" O.C.	
		SUMMER BEAUTY ONION			
HH	131	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY	#1	18" O.C.	
NM	114	Nepeta racemosa 'Walker's Low' WALKER'S LOW CATMINT	#1	18" O.C.	
		GROUNDCOVERS			
LS	513	Liriope spicata CREEPING LILYTURF	#SP4	18" O.C.	
		MISC. MATERIALS			
	67 850	SHREDDED HARDWOOD MULCH Sod	C.Y. S.Y.		
	0.67	TURF SEED & EROSION CONTROL BLANKET	AC.		
		PLANT UNITS: 10 UNITS PER SHADE TREE 5 UNITS PER ORNAMENTAL T 2 UNITS PER 36" OR 5' LARG 1 UNITS PER 24" SMALL SHRU	E SHRUB		
		TRANSITION YARD: 274 L			
		LANDSCAPE REQUIRED: 125 PLANT UNITS PER 100 LI		L UNITS: JNITS	
		LANDSCAPE PROVIDED: 8 SHADE TREES 9 ORNAMENTAL TREES 69 5' EVERGREEN SHRUBS 40 5' DECIDUOUS SHRUBS	80 UI 45 UI 138 U 80 UI	NITS NITS	
		GRAND TO	TAL: 343 F	POINTS	

S 4 ROUTE 1 \Box O ANGE 5 GR **HTUOS** SM SM ЦP SM MP 15 TM-

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GENERAL LANDSCAPE NOTES

- 1. Contractor shall verify underground utility lines and is responsible for any damage.
- 2. Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- 3. Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- 4. The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- 5. Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- 6. Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- 7. See General Conditions and Specifications for landscape work for additional requirements.

DRIVE THRU ISLAND LANDSCAPING: 191 LF

LANDSCAPE REQUIRED: 100 PLANT UNITS PER 100 LF

LANDSCAPE PROVIDED:

TOTAL UNITS: 191 UNITS

SHADE TREES 121 DECIDUOUS SHRUBS

70 POINTS 121 POINTS GRAND TOTAL: 191 POINTS

TOTAL:

1151 SF

8 TREES

8 TREES

1915 SF

PARKING ISLANDS: 71 PARKING STALLS LANDSCAPE REQUIRED: SHADE TREE PER 10 STALLS 162 SF ISLAND* PER 10 STALLS *MIN 9'X9'

LANDSCAPE PROVIDED: SHADE TREES PARKING ISLANDS

NATIVE LEGEND

- Qty Description Key 0.06 AC EMERGENT PLANTINGS 0.02 AC WET MEADOW SEED MIX 0.62 AC LOW PROFILE PRAIRIE SEED MIX EXISTING TREE
- NORTH 0 15' 20' 60' 40' Know what's below. Call before you dig. SCALE: 1"=30'



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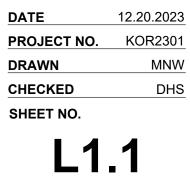
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REVISIONS



NATIVE SEED MIXTURES

Temporary Cover Crop

Cover crops shall be installed in all planting areas containing dry mesic, mesic, and wet mesic soils to, stabilize soils, and combat weed pressure during the germination and establishement of the native seeding area.

Botanical Name	Common Name	lbs / AC
Spring Cover Crop Avena sativa	Seed Oats	30.000
Fall or Dormant Cover Crop	Desman	40.000
Triticum aestivum	Regreen	10.000

Emergent Wetland Plant Mix

Stormwater basin bottoms from NWL to 4" below NWL

Shoreline Emergent

Botanical Name	Common Name	lbs / AC	Plugs / AC.
Alisma subcordatum	Water Plantain	1.250	494
Carex comosa	Bristly Sedge	0.125	494
Carex vulpinoidea	Fox Sedge	0.250	988
Eleocharis obtusa	Blunt Spike Rush	0.250	494
Iris virginica shrevei	Blue Flag	0.500	988
Juncus effusus	Common Rush	0.500	494
Juncus torreyi	Torreys Rush	0.125	494
Leersia oryzoides	Rice Cut Grass	1.250	494
Pontederia cordata	Pickerel Weed	0.250	988
Sagittaria latifolia	Common Arrowhead	1.250	494
	Total Emergent Wetland Mix	5.750	6422

Deep Water Emergent

Stormwater basin bottoms from 4" to 12" below NWL

Botanical Name	Common Name	Plugs / AC.
Acorus americanus	Sweet Flag	988
Scirpus acutus	Hardstem Bulrush	988
Scirpus fluviatilis	River Bulrush	988
Schoenoplectus pungens	Chairmakers Rush	988
Schoenoplectus tabernaemontani	Softstem Bulrush	988
Sparganium eurycarpum	Bur Reed	988
	Total Emergent Wetland Mix	5928
Aquatic Zone Stormwater basin open water comp	onents ≥12" below NWL	

Botanical Name	Common Name	Tubers / AC.
Nymphaea tuberosa	White Water Lily	1250
Nuphar advena	Spatterdock	1250

Total Emergent Wetland Mix

Wet Meadow Seed Mixture

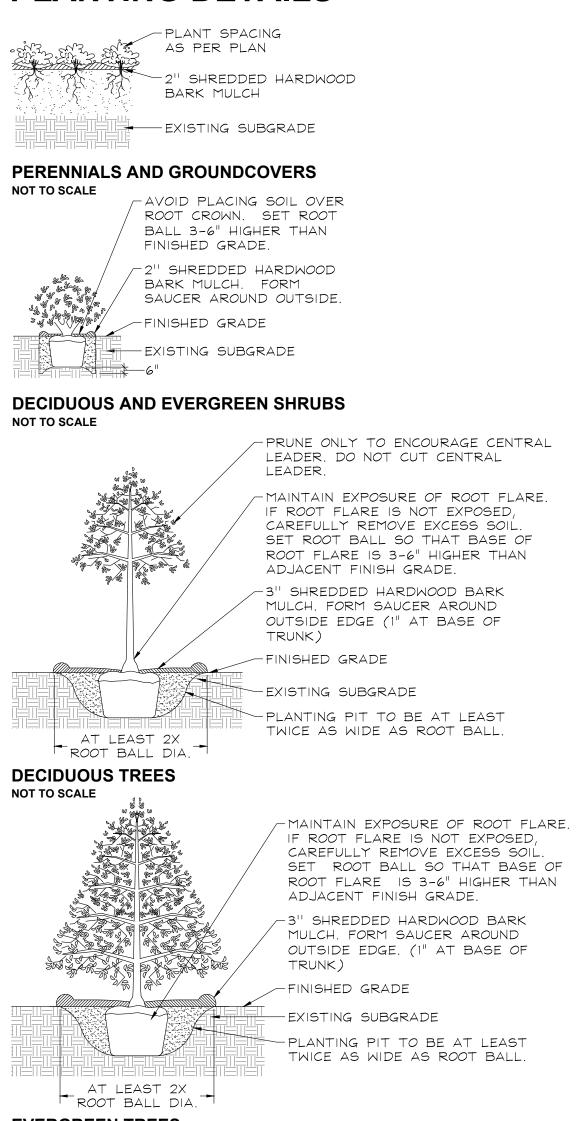
Lower slopes of basin		
Botanical Name	Common Name	lbs / AC
Grasses / Sedges		
Carex bebbii	Bebbs Oval Sedge	0.250
Carex bicknellii	Bicknells Sedge	0.125
Carex brevior	Plains Oval Sedge	0.250
Carex cristatella	Crested Oval Sedge	0.060
Carex molesta	Field Oval Sedge	0.250
Carex normalis	Speading Oval Sedge	0.015
Carex scorparia	Pointed Broom Sedge	0.190
Carex stipata	Common Fox Sedge	0.060
Carex vulpinoidea	Brown Fox Sedge	0.250
Elymus virginicus	Virginia Wild Rye	3.000
Glyceria striata	Fowl Manna Grass	0.130
Juncus dudleyi	Dudleys Rush	0.020
Juncus torreyi	Torreys Rush	0.031
Panicum virgatum	Switch Grass	3.000
Scirpus atrovirens	Dark Green Bulrush	0.060
Scirpus cyperinus	Wool Grass	0.030
	Total Grasses / Sedges	7.721
Wildflowers/Broadleaves		
Asclepias incarnata	Swamp Milkweed	0.125
Bidens cernua	Nodding Bur Marigold	0.190
Boltonia asteroids	False Aster	0.031
Chamaecrista fasciculate	Partridge pea	0.188
Euthamia grammifolia	Grassleaved Goldenrod	0.300
Eupatorium perfoliatum	Common Boneset	0.015
Helenium autumnale	Sneezeweed	0.063
Iris virginica shrevei	Blue Flag Iris	1.000
Lobelia siphilitica	Great Blue Lobelia	0.031
Mimulus ringens	Monkey Flower	0.031
Symphyotrichium novae-angliae	New England Aster	0.250
Pycnanthemum virginianum	Common Mountain Mint	0.063
Rudbeckia fulgida var. sullvantii	Showy Black-Eyed Susan	0.250
Zizia aurea	Golden Alexanders	0.500
	Total Forbs	3.037
	Total Wet Meadow Seed Mix	10.758

Low Profile Prairie with Flowers Seed Mix Upper basin slopes

2500

Botanical Name	Common Name	lbs / AC
Grasses		
Bouteloua curtipendula	Side Oats Grama	8.000
Panicum virgatum	Prairie Switch Grass	0.125
Elymus trachycaulus	Slender Wheatgrass	2.000
Elymus canadenesis	Prairie Wild Rye	1.000
Schizachyrium scoparium	Little Bluestem	6.000
	Total Grasses	17.125
Wildflowers/Broadleaves		
Allium cemuum	Nodding Wild Onion	0,190
Amorpha canscens	Lead Plant	0.125
Asclepia canadensis	Whorled Milkweed	0.063
Asclepias tuberosa	Butterflyweed	0.500
Astragalus canadensis	Canada Milk Vetch	0.063
Coreopsis palmata	Prairie Coreopsis	0.025
Echinacea pallida	Pale Purple Coneflower	1.000
Echinacea purpurea	Purple Coneflower	0.500
Eryngium yuccifolium	Rattlesnake Master	0.125
Lespedeza capitata	Round-Headed Bush Clover	0.125
Liatris aspera	Rough Blazing St <i>a</i> r	0.250
Liatris pycnostachya	Prairie Blazing Star	0.188
Monarda fistulosa	Prairie Bergamot	0.063
Parthenium integrifolium	Wild Quinine	0.016
Penstemon digitalis	Foxglove Beard Tongue	0.125
Petalostemum candidum	White Prairie Clover	0.125
Petalostemum purpureum	Purple Prairie Clover	0.156
Potentilla arguta	Prairie Cinquefoil	0.031
Pycnanthemum tenuifolium	Slender Mountain Mint	0.031
Ratibida pinnata	Yellow Coneflower	0.125
Rudbeckia fulgida var. sullivantii	Showy Black-Eyed Susan	0.500
Rudbeckia hirta	Black-Eyed Susan	0.500
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	0.063
Symphoytrichum leave	Smooth Blue Aster	0.063
Tradescantia ohiensis	Common Spiderwort	0.063
Verbena stricta	Hoary Vervain	0.125
Zizia aurea	Golden Alexanders	0.500
	Total Forbs	5.640
	Total Low Profile Prairie Seed Mix	22.765

PLANTING DETAILS



EVERGREEN TREES NOT TO SCALE

EROSION CONTROL BLANKET-/ ALL SLOPES 4:1 AND GREATER WET MEADOW NWL-24 INCHES ABOVE NWL EMERGENT NWL-12 INCHES IN DEPTH BELOW NWL MESIC-UPLAND PRAIRIE 24 INCHES (+) ABOVE NWL DISTANCE VARIES DISTANCE VARIES DISTANCE VARIES DISTANCE VARIES PLANT COMMUNITY SECTION NOT TO SCALE

OPEN WATER 12 INCHES (+) IN DEPTH BELOW NWL



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REVISIONS

DATE PROJECT NO. DRAWN CHECKED SHEET NO.

12.20.2023 KOR2301 MNW DHS



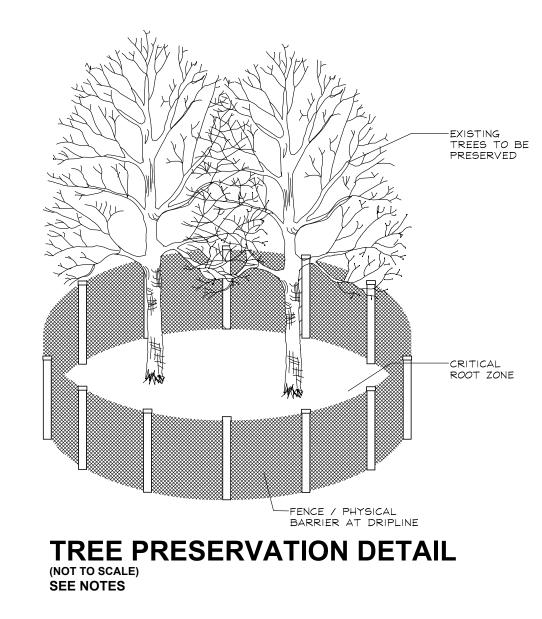






Ĩ	3) Health Rating: Rating	Description	Criteria					
-	1 2	Excellent Good			typical growth for species, no observed defect	ts		
	3	Fair	Less than 30	% dead wood,	minor defects; sound structure, no decay minor crown die-back, minor trunk damage o			
	4 5	Fair to Poor Poor			d wood, lacking full crown, minor disease evid ng full crown, disease or decay evident, struct			
[6	Dead	Less than 10	% living wood,	greater than 50% missing bark, adventitious	growth only, decay]	
NO.	SCIENTIFIC NAME	COMMON NAME	DBH (inches)	CONDITION	STRUCTURE	HEALTH	REMOVE PRESERVE	REPLACEMEN
01	Quercus alb a	White Oak	24	4 - Fair/Poor		30% dead wood, Tip die back, vines	Remove	NA IL
02	Prunus serotina Juglans nigra	Black Oherry Black Walnut	.8 10	4 - Fair/Poor 3 - Fair	Orown Lean	>50% dead wood, Vines 20% dead wood, Vines	Remove Remove	
04 05	Jugtans nigra Jugtans nigra	Black Walnut Black Walnut	10 8	3 - Fair 4 - Fair/Poor	Unbalanced, Grow n Lean Unbalanced, Grow ded	20% dead wood 30% dead wood	Remove Remove	
06	Juglans nigra Celtis occidentalis	Black Walnut Hackberry	5	4 - Fair/Poor 2 - Good	Orow n Lean, Orow ded Orow ded, Sight crow n lean	20% dead wood, Vines Leaf galls	Remove Remove	7
08	Celtis occidentalis Celtis occidentalis	Hackberry Hackberry	5	3Fair 3Fair	Grow h Lean, Grow ded Unbalanced, Grow h Lean, Grow ded	Leaf galls	Remove Remove	
10	Unknown Ailanthus attissima	Unknown Tree of Heaven	18 10	6 - Dead 4 - Fair/Poor	Lean, Crown Lean, Crow ded	20% dead wood	Remove Remove	
12	Celtis occidentalis	Hackberry	5	3 Fair	Lean, Unbalanced, Orow n Lean		Remove	
13	Juglans nigra Morus alba	Black Walnut White Mulberry	8	3 - Fair 4 - Fair/Poor	Lean, Unbalanced, Orowin Lean Lean, Unbalanced, Orowin Lean	10% dead wood 20% dead wood, Vines	Removie Removie	
15 16	Morus alba Ailanthus altissima	White Mulberry Tree of Heaven	7	4 - Fair/Poor 3 - Fair	Strong lean, Unbalanced Unbalanced, Crow n Lean, Crow ded	20% dead wood 10% dead wood	Remove Remove	
17 18	Quercus alba Quercus alba	White Oak White Oak	21 42	3 - Fair 6 - Dead	Lean, Crown Lean		Remove Remove	
19	Quercus rubra	Red Oak	6	2 - Good			Remove	в
20	Prunus seralina Quercus rubra	Black Onerry Red Oak	14. 18	6 - Dead 6 - Dead			Remove Remove	
22	Quercus rubra Quercus rubra	Red Oak Red Oak	12	6 - Dead 6 - Dead			Remove Remove	
24	Prunus serotina Celtis occidentalis	Black Oherry Hackberry	9 6	4 - Fair/Poor 3 - Fair	Strong lean, Unbalanced, Crow n Lean, Crow ded Grow n Lean	20% dead wood Leaf mner, leaf galls	Remove Remove	
26 27	Celtis occidentalis Quercus rubra	Hackberry	11	3 - Fair	CrownLean	20% dead wood, leaf mner, leaf galls	Remove	16
28	Quercus rubra	Red Oak Red Oak	19	2 - Good 2 - Good	Unbalanced Unbalanced		Remove Remove	19
29 30	Quercus rubra Quercus rubra	Red Oak Red Oak	9 14	2 - Good 3 - Fair	Lean, Crown Lean	20% dead wood 20% dead wood	Remove Remove	9
31 32	Quercus rubra Morus alba	Red Oak White Mulberry	7 8	2 - Good 4 - Fair/Poor	Lean. Drown Lean	20% dead wood, Trunk Scar 30% dead wood	Remove Remove	7
33 34	Quercus rubra Quercus rubra	Red Oak Red Oak	22 19	2 - Good 2 - Good	Growin Lean Unbalanced	20% dead wood	Remove	22
35	Ostrya virginiana	Ironw ood	8	3 - Fair	Unbalanced	Tip die back	Remove	8
36 37	Quercus rubra Quercus rubra	Red Oak Red Oak	14 14	2 - Good 2 - Good	Unbalanced.	10% dead wood	Remove Remove	14
38 39	Unknown Ulmus americana	Unknown American Elm	8	6 - Dead 4 - Fair/Poor	Grown Lean	40% dead wood	Remove Remove	
40	Ostrya virginiana Quercus rubra	Ironwood Red Oak	6. 8	3 - Fair 2 - Good	Orow n Lean, Orow ded Lean, Unbalanced	10% dead wood	Remove Remove	6 8
42	Acer saccharum	Sugar Maple	6	2 - Good		Leaf wit (heat?)	Remove	6
13 14	Quercus alb a Unknown	White Oak Unknown	30 6	2 - Good 6 - Dead	Unbalanced	10% dead wood	Remove Remove	30
45	Quercus alba Quercus alba	White Cak White Cak	32	2 - Good 2 - Good	Unbalanced Lean, Unbalanced		Remove	32 26
47 48	Prunus serotina Ostrya virginiana	Black Oherry Tree of Heaven	8 9	5 - Poor 4 - Fair/Poor	Lean Strong lean, Unbalanced, Crowin Lean	>50% dead wood 20% dead wood	Remove Remove	
49	Quercus alb a	White Oak	14	2 - Good	Lean, Unbalanced	2010 0020 0000	Remove	14
50	Quercus alba Prunus serotina	White Oak Black Oherry	28 10	2 - Good 5 - Poor	Lean Strong lean, Crow ded	>50% dead wood	Remove Remove	26
52 53	Celtis occidentalis Ulmus americana	Hackberry American Em	5	4 - Fair/Poor 3 - Fair	Grown Lean, Growded, Stunted Grown Lean, Growded	20% dead wood 20% dead wood	Remove Remove	_
54 55	Prunus serotina Quercus rubra	Black Cherry Red Oak	7 34	6 - Dead 2 - Good	Unbalanced	10% dead wood, Dead Limbs	Remove Remove	34
56	Quercus rubra Prunus serotina	Red Oak	15 9	3 - Fair 6 - Dead	Lean, Crow ded	20% dead wood	Remove	
58	Ulmus americana	Black Oherry Arrenican Elm	6	4 - Fair/Poor	Lean, Crown Lean	30% dead wood, Trunk Scar	Remove Remove	
59 30	Quercus rubra Quercus rubra	Red Oak Red Oak	14 20	2 - Good 4 - Fair/Poor	Strong lean, Unbalanced, Crowin Lean	20% dead wood Cavity	Remove Remove	14
11	Quercus rubra Quercus rubra	Red Oak Red Oak	16	2 - Good 2 - Good	Lean, Unbalanced		Remove Remove	16
33 54	Quercus rubra Quercus rubra	Red Oak Red Oak	14 17	2 - Good 3 - Fair	Unbalanced	30% dead wood, Trunk Scar	Remove Remove	14
35	Juglans nigra	Black Walnut	8	2 - Good	Crown Lean	1	Remove	8
36 57	Ulmus americana Morus alba	American Elm White Mulberry	13 8	4 - Fair/Poor 4 - Fair/Poor	Lean, Unbalanced, Crowin Lean Lean, Crowin Lean, Crowided	30% dead wood 30% dead wood	Remove Remove	
38 39	Celtis occidentalis Juglans nigra	Hackberry Black Walnut	9	3 - Fair 4 - Fair/Poor	Unbalanced, Orow n Lean V-shaped joint, Split Risk, Unbalanced, Crow n Lea	20% dead wood	Remove Remove	
0	Juglans nigra	Black Walnut Red Oak	18	2 - Good	Unbalanced		Remove	18 24
71	Quercus rubra Ulmus americana	American Bm	24 10	2 - Good 2 - Good	Growin Lean		Remove Remove	
73	Ostrya virginiana Quercus rubra	Ironw ood Red Oak	5 14	2 - Good 2 - Good	Lean Unbalanced		Remove Remove	5 14
15 16	Ostrya virginiana Quercus rubra	Ironw ood Red Dak	6 13	3 - Fair 2 - Good	Growin Lean Unbalanced	20% dead wood	Remove Remove	6 13
'7 'B	Quercus rubra Quercus rubra	Red Oak Red Oak	22 16	4 - Fair/Poor 2 - Good	Unbalanced	Large cavity at base (hollow)	Remove Remove	16
9	Quercus rubra	Red Oak	14	2 - Good	Unbalanced	SERVE done mand frames Tambing - D	Remove	14
11	Quercus Iubra Unknown	Red Oak Unknown	16 10	5 - Poor 6 - Dead		>50% dead wood, Cavity, Trunk Scar, Peeling Bark	Remove Remove	
32	Ostrya virginiana Ostrya virginiana	fronwood fronwood	7	3 - Fair 2 - Good	Lean, Unbalanced, Buttress roots	20% dead wood	Remove Remove	7
34	Østrya virginiana Quercus nibra	Ironw ood Red Oak	8 10	3 - Fair 2 - Good	Lean, Unbalanced Lean	20% dead wood	Remove Remove	8 10
16	Quercus rubra Prunus serotina	Red Oak Black Cherry	10	3 - Fair 5 - Poor	Strong lean, Unbalanced	20% dead wood	Remove	(m)
8	Unknown	Unknown	10	6 - Dead	Strong lean, Crow n Lean, Crow ded	30% dead wood	Remove Remove	
9	Prunus serolina Quercus rubra	Black Cherry Red Oak	5,4,3 48	5 - Poor 6 - Dead	Multi Leader, Spik Risk, Lean	>50% dead wood	Remove Remove	
2	Acer saccharum Acer saccharum	Sugar Maple Sugar Maple	10	2 - Good 3 - Fair	Unbalanced V-shaped joint, Multi Leader, Straight		Remove Remove	16
13	Acer saccharum Acer saccharum	Sugar Maple	9	2 - Good 2 - Good	Unbalanced Crow ded		Remove	9
5	Celtis occidentalis	Sugar Maple Hackberry	16	3 - Fair	Lean	Vines girdling	Remove	D
16	Prunus serotina Acer saccharum	Black Cherry Sugar Maple	12 8	5 - Poor 5 - Poor	Strong lean Strong lean, Crow h Lean, Crow ded	40% dead wood, Cavity 20% dead wood	Remove Remove	-
8	Acer saccharum Ulmus americana	Sugar Maple American Em	18 6	4 - Fair/Poor 3 - Fair	Lean, Grown Lean Unbalanced	30% dead wood, Cavity 20% dead wood	Preserve Preserve	
00	Ostrya virginiana	Tree of Heaven	10	3 - Fair	Unbalanced	30% dead wood	Preserve	
)1	Celtis occidentalis Celtis occidentalis	Hackberry Hackberry	8 20	2 - Good 3 - Fair	Crow ded	Vines covering	Preserve Preserve	
)3)4	Prunus serotina Prunus serotina	Black Cherry Black Cherry	10	5 - Poor 4 - Fair/Poor	Strong lean Lean, Grown Lean	>50% dead wood 20% dead wood	Remove Remove	10
15	Celtis occidentalis Acer saccharum	Hackberry Sugar Maple	6	2 - Good 2 - Good	Unbalanced, Crown Lean Unbalanced		Remove	6
37	Acer saccharum	Sugar Maple	7	2 - Good	Unbalanced	ADRI	Remove	7
)8)9	Prunus serotina Prunus serotina	Black Oherry Black Oherry	12 13	4 - Fair/Poor 4 - Fair/Poor	Strong lean, Unbalanced, Crowin Lean Strong lean, Crowin Lean	40% dead wood 30% dead wood, Fungus	Remove Remove	
0	Acer saccharum	Sugar Maple	.8	2 - Good	Unbalanced		Remove IBTOTAL REPLACEMENT:	8

AG NO.			DBH (inches
2111 2112	Acer saccharum Acer saccharum	Sugar Maple Sugar Maple	10
2113	Acer saccharum	Black Cherry	12
2114 2115	Celtis occidentalis Carya cordiformis	Hackberry Bitternut Hickory	10
2116 2117	Juglans nigra Juglans nigra	Black Walnut Black Walnut	9
2118	Juglans nigra Juglans nigra	Black Walnut Black Walnut	14
2120	Celtis occidentalis	Hackberry	5
2121 2122	Juglans nigra Juglans nigra	Black Walnut Black Walnut	9
2123	Juglans nigra Juglans nigra	Black Walnut Black Walnut	14
2125	Juglans nigra	Black Walnut	10
2126	Juglahs nigra Juglahs nigra	Black Walnut Black Walnut	11 12
2128	Juglans nigra Juglans nigra	Black Walnut Black Walnut	11
2130	Juglans nigra	Black Walnut	15
2131 2132	Celtis occidentalis Juglans nigra	Hackberry Black Walnut	9 10
2133 2134	Juglans nigra Juglans nigra	Black Walnut Black Walnut	14 18
2135	Juglans nigra	Black Walnut	13
2136 2137	Juglans nigra Juglans nigra	Black Walnut Black Walnut	14 16
2138 2139	Juglans nigra Ostrya virginiana	Black Walnut Tree of Heaven	15
2140	Juglans nigra	Black Walnut	34
2141 2142	Ostrya virginiana Ostrya virginiana	Tree of Heaven Tree of Heaven	12
2143	Juglans nigra Juglans nigra	Black Walnut Black Walnut	17
2145	Ostrya virginiana	Tree of Heaven	14
2146 2147	Celtis occidentalis Juglans nigra	Hackberry Black Walnut	14
2148 2149	Celtis occidentalis Juglans nigra	Hackberry Black Walnut	5
2150	Juglans nigra	Black Walnut	12
2151 2152	Juglans nigra Juglans nigra	Black Walnut Black Walnut	7
2153 2154	Ostrya virginiana Celtis occidentalis	Tree of Heaven Hackberry	13
2155	Juglans nigra	Black Walnut	34
2156 2157	Juglans nigra Prunus serotina	Black Walnut Black Cherry	28
2158	Prunus serotina Quercus macrocarpa	Black Walnut Bur Oak	28
2160	Populus deltoides	Eastern Cottonwood	10
2161 2162	Quereus macrocarpa Acer negundo	Bur Oak Box Eder	52 11
2163 2164	Geltis occidentalis Ostrya virginiana	Hackberry Tree of Heaven	8
2165	Ostrya virginiana	Tree of Heaven	16
2166 2167	Ostrya virginiana Ostrya virginiana	Tree of Heaven Tree of Heaven	7
2168	Ostrya virginiana Ostrya virginiana	Tree of Heaven Tree of Heaven	7
2170	Juglans nigra	Black Walnut	20
2195 2196	Crataegus mollis Juglans nigra	Haw thorn Black Walnut	5
2197 2198	Jugians nigra Celtis occidentalis	Black Walnut Hackberry	34
2199	Celtis occidentalis	Hackberry	6
2200 2201	Juglans higra Ostrya virginiana	Black Walnut Tree of Heaven	26 14
2202 2203	Juglans nigra Juglans nigra	Black Walnut Black Walnut	.9 16
2204	Prunus seratina	Black Oherry	8
2205 2206	Prunus serotina Juglans nigra	Black Cherry Black Walnut	7 36
2207 2208	Quercus macrocarpa Quercus macrocarpa	Bur Cak Bur Oak	6
2209	Juglans nigra	Black Walnut	28
2210 2211	Juglans nigra Juglans nigra	Black Walnut Black Walnut	20 6
2212	Juglans nigra Juglans nigra	Black Walnut Black Walnut	5
2214	Juglans nigra	Black Walnut	12
2215 2279	Juglans nigra Juglans nigra	Black Walnut Black Walnut	14
2280 2281	Juglans nigra Quercus macrocarpa	Black Walnut Bur Oak	18
2282	Juglans nigra	Black Walnut	11
2283 2284	Juglans nigra Juglans nigra	Black Walnut Black Walnut	6 24
2285 2286	Juglans nigra Gléditsia triacanthos	Black Walnut Honey Locust	25 6
2287	Juglans nigra	Black Walnut	9
2288 2289	Juglans nigra Juglans nigra	Black Walnut Black Walnut	10
2290 2291	Juglans nigra Juglans nigra	Black Walnut Black Walnut	12
2292	Juglans nigra	Black Walnut	8
2293 2294	Juglans nigra Juglans nigra	Black Walnut Black Walnut	12
2295	Quercus macrocarpa Juglans nigra	Bur Cak Black Walnut	6
2297	Juglans nigra	Black Walnut	6
2298 2299	Prunus serotina Juglans nigra	Black Cherry Black Walnut	8,8 26
2300	Celtis occidentalis Celtis occidentalis	Hackberry Hackberry	10
2302	Acer saccharum	Sugar Maple	8
2303 2304	Celtis occidentalis Celtis occidentalis	Hackberry Hackberry	4
2305 2306	Quercus macrocarpa Prunus serotina	Bur Oak Black Oherry	28 6
2307	Juglans nigra	Black Walnut	28
2308 2309	Juglans nigra Celtis occidentalis	Black Walnut Hackberry	30 6
2310 2311	Prunus serotina Juglans nigra	Black Cherry Black Walnut	6
2312	Celtis occidentalis	Hackberry	8
2313 2314	Celtis occidentalis Celtis occidentalis	Hackberry Hackberry	9 8
2315 2316	Quercus macrocarpa Celtis occidentalis	Bur Oak Hackberry	36
2317	Quercus macrocarpa	Bur Oak	38
2318 2319	Quercus macrocarpa Celtis occidentalis	Bur Oak Hackberry	37
2320 2321	Celtis occidentalis Celtis occidentalis	Hackberry Hackberry	4 B
2321	Celtis occidentalis	Hackberry	5
2323	Celtis occidentalis	Hackberry	6

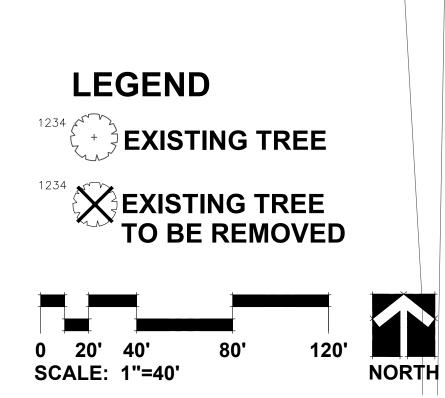


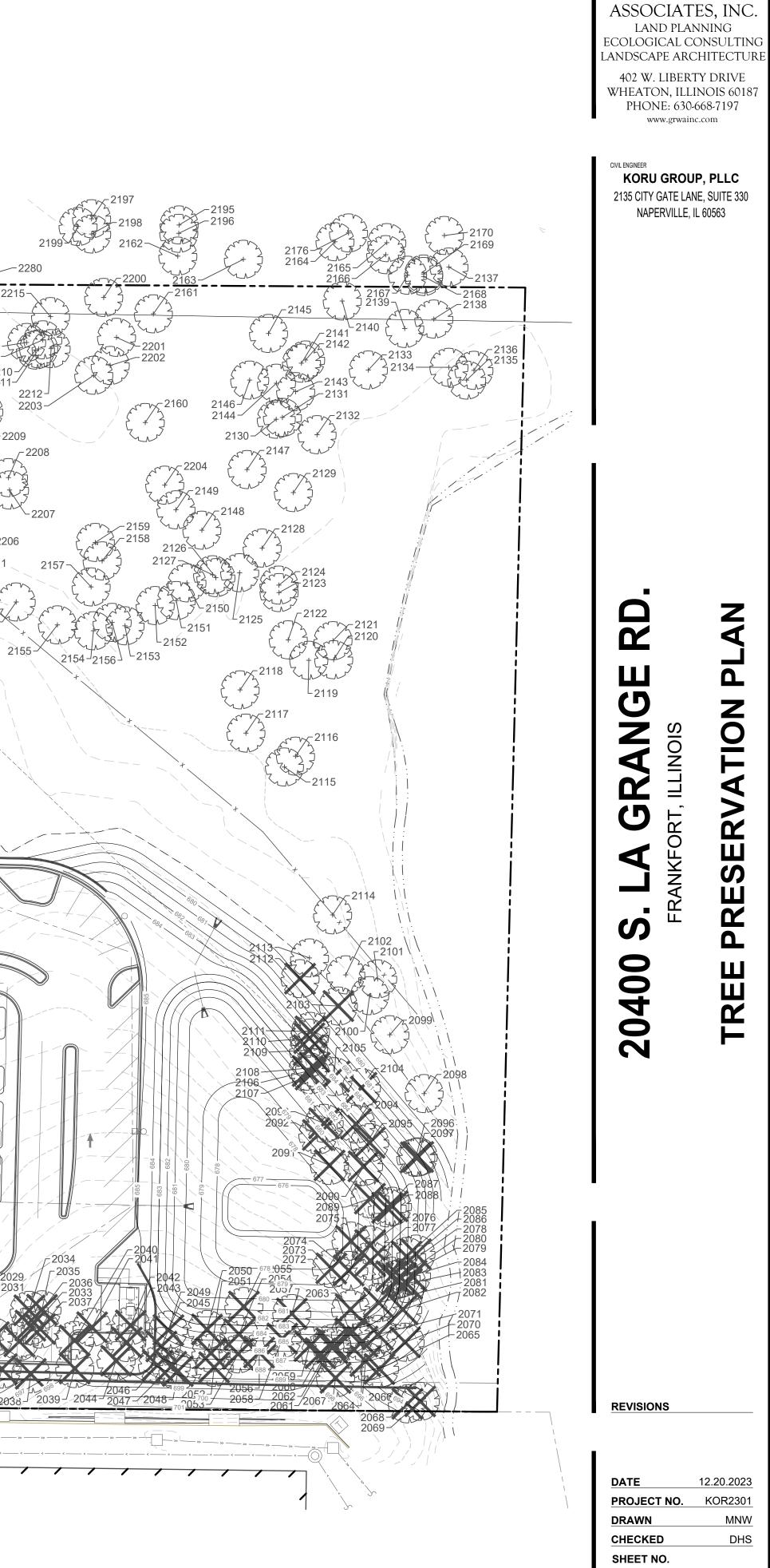
TREE PRESERVATION NOTES

- 48" high snow fence or wood barriers shall extend to the dripline of the tree or tree mass whenever possible, shall be installed before construction begins, and should not be removed until the completion of construction.
- All accidental damage to existing trees that are to be preserved shall be promptly treated as required in accordance with recognized horticultural practices and the instructions of the professional Arborist, Landscape Architect or Horticulturist.
- 3. Broken or badly bruised branches shall be removed with a clean cut. If recommended by the professional Arborist, Landscape Architect or Horticulturist.
- Care shall be exercised by the contractors to protect all overhead limbs and branches from damage by contact with material, machinery or equipment and by damage from engine exhaust.
- 5. Contractors shall protect trees and vegetation against spills or discharge of fuels,lubricating oils, hydraulic fluids, anti-freeze and coolants, calcium chloride, lime and all other similar hydrocarbons, organic chemicals, and other materials which can be harmful.
- 6. When underground utilities are proposed within 5' of a preserved tree trunk, they must be augered if possible.

ONDITION	STRUCTURE	HEALTH	REMOVE/PRESERVE	REPLACEMEN RATE
Fair Good	Lean, Unbalanced Unbalanced	Mond and Haller	Remove Remove	10
Poor Fair	Lean, Growin Lean Lean, Unbalanced	Wood rot, Hollow 20% dead wood, Vines	Preserve Preserve	
Good Fair	Unbalanced Unbalanced	20% dead wood	Preserve Preserve	
Sood Sood	Unbalanced Unbalanced		Preserve Preserve	
Good air/Poor	Unbalanced. Orow n Lean, Growing out the side of creek banks	10% dead wood	Preserve Preserve	-
air air	Crown Lean Lean, Crown Lean	20% dead wood 20% dead wood. Vines	Preserve	
Good	Lean	2010 dead wood, vines	Preserve	
air 300d	Lean, Growin Lean Growin Lean		Preserve Preserve	
Bood	Lean, Crowin Lean	20% dead wood	Preserve Preserve	
Good Good	Lean Lean	20% dead wood	Preserve Preserve	
Good	Lean, Crowin Lean Unbalanced, Crowin Lean	20% dead wood	Preserve Preserve	
air Bood	Lean, Growin Lean Unbalanced	20% dead wood	Preserve Preserve	
air		30% dead wood	Preserve	
air	Unbalanced Unbalanced	20% dead wood	Preserve Preserve	
iood iood	Unbalanced. Unbalanced	20% dead wood	Offste Preserve	
air Good	Unbalanced	30% dead wood 20% dead wood	Preserve Preserve	
bood bood	Unbalanced	10% dead wood 20% dead wood	Preserve	-
air	Lean, Unbalanced	20% dead wood	Preserve	
air air/Poor	Lean, Unbalanced, Crowin Lean Lean, at base	20% dead wood 40% dead wood	Preserve Preserve	
boo boo	Orow n Lean Lean	20% dead wood	Preserve Preserve	
ood	Unbalanced, Crown Lean	30% dead wood	Preserve	
air	Lean, Unbalanced, Grown Lean	20% dead wood	Preserve	
air/Poor air	Lean, Unbalanced, Orow n Lean, Crow ded Unbalanced, Orow n Lean	40% dead wood 20% dead wood	Preserve Preserve	
air/Poor ood	Strong lean, Crowin Lean Crowin Lean	30% dead wood	Preserve Preserve	-
bor air	Lean	>50% dead wood, Hollow 20% dead wood, Dead Lintos	Preserve Preserve	
air/Poor	Lean, Crown Lean	30% dead wood	Preserve	
air	Unbalanced, Crow ded Lean, Crow n Lean	20% dead wood 20% dead wood, Dead Lmbs	Preserve Preserve	
air/Poor air/Poor	Strong lean, Growin Lean Growin Lean	20% dead wood 30% dead wood, Dead Linibs, Hollow, at base	Preserve Preserve	
air/Roor	Strong lean	20% dead wood	Offste Offste	
	V-shaped joint, Double Leader	20% dead wood, Cavity, Trunk Scar 30% dead wood, Dead Limbs	Offsite Offsite	
ar/Poor	Lean, Grown Lean	30% dead wood	Offste	_
air air		30% dead wood 20% dead wood	Cifste Cifste	
air air	Unbalanced Unbalanced	20% dead wood 20% dead wood	Offste Offste	
air/Poor Sood	Lean, Unbalanced Lean, Unbalanced	30% dead wood, Covered in vines	Offste	-
bor air	Unbalanced, Crow ded	>50% dead wood, Hollow 20% dead wood	Offste	1
bood	Grow ded		Offste	
	Lean, Crowin Lean Crowin Lean, Crowided	20% dead wood 30% dead wood	Preserve Preserve	
bood bood	Orowin Lean Unbalanced	20% dead wood 20% dead wood	Preserve Preserve	
	Lean, Unbalanced, Orow n Lean, Orow ded Lean, Orow n Lean, Orow ded	30% dead wood 20% dead wood, Vines	Preserve Preserve	-
áir	Lean	20% dead wood	Preserve	
bood bood	Crow ded Slight crow n lean		Preserve Preserve	
air air	Lean	30% dead wood 20% dead wood	Preserve Preserve	
air/Poor air	Lean, Growin Lean Growin Lean	20% dead wood 20% dead wood	Preserve Preserve	-
air	Unbalanced, Crow ded	20% dead wood	Preserve	
	Lean, Unbalanced, Orowin Lean Lean, Unbalanced, Orowin Lean	20% dead wood 30% dead wood	Preserve Preserve	
bood		20% dead wood	Offste	-
xcellent lood			Preserve Preserve	
air/Poor air/Poor	Strong lean, Growin Lean, Growided	30% dead wood	Preserve	
lood	Lean, Crown Lean	20% dead wood	Preserve Preserve	
air bor	Lean Unbalanced	20% dead wood 50% dead wood, Trunk Damage, Peeling Bark	Preserve Preserve	
ead air/Poor	Lean	30% dead wood, Vines	Preserve Preserve	
air		20% dead wood, Vines 20% dead wood, Vines	Preserve	
iood		20% dead wood	Preserve	
bor		>50% dead wood. Vines >50% dead wood. Vines	Preserve Preserve	
air air/Poor	Lean	Vines 30% dead wood, Vines	Preserve Preserve	
air air/Poor	Unbalanced, Crow ded Spit Risk, Strong lean	Vines >50% dead wood	Preserve Preserve	
bood air	Unbalanced, Crow ded	20% dead wood	Preserve	
air	Unbalanced, Crow ded		Preserve	
lood air/Poor	Unbalanced Orow ded, Strong crow n lean	Leaf galls	Preserve Preserve	-
iood iood	O ow ded	20% dead wood	Preserve Preserve	
oor air/Poor	Strong lean	>50% dead wood 40% dead wood, Vines girdling	Preserve Preserve	
	Lean, Unbalanced, Crowin Lean Crowin Lean, Crowided	30% dead wood	Preserve	
air	Crown Lean, Crowded Crown Lean		Preserve	
iood air	Grown Lean, Grow ded		Preserve Preserve	
air air	Unbalanced, Crown Lean, Crowded Unbalanced, Crown Lean, Crowded		Preserve Preserve	
air	Orow n Lean, Crow ded Lean, Unbalanced, Crow ded	20% dead wood 30% dead wood	Preserve	
air	Unbalanced, Crowin Lean, Crowided	20% dead wood	Preserve	
bood bood	Crow ded	20% dead wood	Preserve Preserve	
Good air/Poor	Grow ded Grow n Lean, Grow ded	30% dead wood, Adventitious Growth	Preserve Preserve	
air	Lean, Unbalanced Crow ded	Leaf galls Leaf galls	Preserve Preserve	
bood				

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GARY R. WEBER

LANDSCAPE WORK PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

The work shall consist of furnishing, transporting and installing all seeds, plants and other materials required for:

- 1. The establishment of trees, shrubs, perennial, annual and lawn areas as shown on Landscape Plan; . The provision of post-planting management as specified herein;
- 3. Any remedial operations necessary in conformance with the plans as specified
- in this document 4. The design, furnishing and installation of a complete underground sprinkler
- system; and 5. Permits which may be required
- 1.2 QUALITY ASSURANCE
- A. Work shall conform to State of Illinois Horticultural Standards and local municipal requirements.
- B. Quality Control Procedures:
- 1. Ship landscape materials with certificates of inspection as required by governmental authorities. Comply with governing regulations applicable to landscape materials.
- 2. Do not make substitutions. If specified landscape material is not obtainable, submit to Landscape Architect proof of non-availability and proposal for use of equivalent material.
- 3. Analysis and Standards: Package standard products with manufacturers certified analysis
- C. Insect Control
- 1. For areas containing standing water less than 3-ft that persist for greater than 7 days, mosquito control may be necessary. Mosquito control should be limited to larvicides applications such as Natular or Vectolex FG, per the EPA and CDC guidance. Larvicide application should be provided by a qualified professional. Contract the North Shore Mosquito Abatement District for service.
- 1.3 SUBMITTALS
- A. Planting Schedule
- Submit three (3) copies of the proposed planting schedule showing dates for each type of planting
- B. Maintenance Instruction Landscape Work

Submit two (2) copies of typewritten instructions recommending procedures to be established by the Owner for the maintenance of landscape work for one full year. Submit prior to expiration of required maintenance periods.

Instructions shall include: watering, fertilizing, spraying, mulching and pruning for plant material and trimming groundcover. Instructions for watering, fertilizing and mowing grass areas shall be provided ten (10) days prior to request for inspection for final acceptance. Landscape Architect shall receive copies of all instructions when issued.

- C. Submit two (2) copies of soil test of existing topsoil with recommendations for soil additive requirement to Landscape Architect for review and written approval.
- D. Submit two (2) samples of shredded hardwood bark mulch, erosion control blankets, and all other products and materials as specified on plans to Landscape Architect for review and written approval.
- E. Nursery packing lists indicating the species and quantities of material installed must be provided to the Owner and/or City upon request.
- 1.4 JOB CONDITIONS
- A. Examine and evaluate grades, soils and water levels. Observe the conditions under which work is to be performed and notify Landscape Architect of unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected in an acceptable manner.
- B. Utilities: Review underground utility location maps and plans; notify local utility location service; demonstrate an awareness of utility locations; and certify acceptance of liability for the protection of utilities during course of work. Contractor shall be responsible for any damage to utilities or property.
- C. Excavation: When conditions detrimental to plant growth are encountered such as rubble fill, adverse drainage conditions or obstructions, notify Landscape Architect before planting.

1.5 GUARANTEES

- A. Guarantee seeded and sodded areas through the specified maintenance period and until final inspection.
- B. Guarantee trees, shrubs, groundcover and perennials for a period of one year after date of acceptance against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others or unusual phenomena or incidents which are beyond Landscape Installer's control.
- C. Native Planting Area Performance Criteria

1ST Full Growing Season: 90% of cover crop shall be established. There shall be no bare areas greater than two (2) square feet in seeded areas. At least 25% of vegetation coverage shall be native, non-invasive species. At least 50% of the emergent species, if planted as plugs shall be alive and apparent.

2nd Full Growing Season: All areas with the exception of emergent zones shall exhibit full vegetative cover. At least 50% of the vegetation coverage shall be native, non-invasive species.

3rd Full Growing Season: At least 75% of vegetation coverage shall be native, non-invasive species. Non-native species shall constitute no more than 25% relative aerial coverage of the planted area. Invasive species for this project shall include the following: Ambrosia artemisiifolia \$ trifida (Common \$ Giant Ragweed), Cirsium arvense (Canada Thistle), Dipsacus Iaciniatus (Cut-Ieaved Teasel), Dipsacus sylvestris (Common Teasel), Lythrum salicaria (Purple Loosestrife), Melilotus sp. (Sweet Clover), Phalaris arundinacea (Reed Canary Grass), Phragmites australis (Giant Reed), Fallopia japonica (Japanese Knotweed), Rhamnus cathartica \$ frangula (Common \$ Glossy Buckthorn), Typha sp. (Broadleaf, Narrowleaf, and Hybrid Cattail).

LANDSCAPE WORK PART 2 - PLANT MATERIALS

- 2.1 LAWN SOD
- Provide strongly rooted sod, not less than two (2) years old and free of weeds and undesirable native grasses. Provide only sod capable of growth and development when planted (viable, not dormant) and in strips not more than 18" wide x 4' long. Provide sod composed of a 5-way blend of Kentucky Bluegrass such as: Midnight, Allure, Viva, Washington, Liberty.
- 2.2 LAWN SEED MIXTURE
- Grass Seed: Provide fresh, clean, new crop seed complying with the tolerance for purity and germination established by the Official Seed Analysts of North America. Provide seed of the grass species, proportions and maximum percentage of weed seed, as specified
- A. Lawn Seed Mixture 5 lbs. / 1,000 sq, ft. 50% Kentucky Bluegrass (98/85)
- 15% Cutter Perennial Ryegrass
- 10%
- Spartan Hard Fescue
- Edge Perennial Ryegrass 10% 10% Express Perennial Ryegrass
- 5% Pennlawn Creeping Red Fescue

- B. Temporary Lawn Seed Mixture 5 lbs. / 1,000 sq, ft. 40% Kentucky Bluegrass (98/85) 40% Perennial Ryegrass 20% Annual Ryegrass
- 25% Discovery Hard Fescue 25% Tiffany Chewings Fescue 25% Florentine Creeping Red Fescue 25% Bighorn Sheeps Fescue
- D. Detention Seed Mixture 7 lbs. / 1000 sq, ft. 70% Kentucky 31 Tall Fescue 30% Perennial Ryegrass
- 2.3 NATIVE PLANTING MIXTURES
- Provide fresh, clean, new crop of the species and proportions as specified. Native seed and live plant material shall be obtained from a reputable supplier (approved by Landscape Architect) that has collected from sources east of the Mississippi River within the same EPA Level III Ecoregion as the project site (Central Corn Belt Plains). Any material sourced from outside this ecoregion must be approved by the Landscape Architect prior to installation.
- For each species, the amount of seed indicated on the specifications shall mean the total amount of pure live seed (PLS) per acre. Seed tags and PLS testing information shall be provided to the Landscape Architect prior to seeding.
- It is the sole responsibility of the Native Landscape Contractor to provide approved seed that meets industry-standard PLS requirements.
- 2.4 GROUNDCOVERS, PERENNIALS AND ANNUALS Provide plants established and well-rooted in removable containers or integral peat pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size shown or listed.
- 2.5 TREES AND SHRUBS
- A. Name and Variety: Provide nursery grown plant material true to name and variety.
- B. Quality: Provide trees, shrubs and other plants complying with the recommendations and requirements of ANSI Z60.1 "Standard for Nursery Stock" and as further specified.
- C. Deciduous Trees: Provide trees of height and caliper listed or shown and with branching configuration recommended by ANSI Z60.1 for type and species required. Provide single stem trees except where special forms are shown or listed. Provide balled and burlapped (B&B) deciduous trees.
- D. Deciduous Shrubs: Provide shrubs of the height shown or listed and with not less than the minimum number of canes required by ANSI Z60.1 for the type and height of shrub required. Provide balled and burlapped (B\$B) deciduous shrubs.
- E. Coniferous Evergreen: Provide evergreens of the sizes shown or listed. Dimensions indicate minimum spread for spreading and semi-spreading type evergreens and height for other types. Provide quality evergreens with well-balanced form complying with requirements for other size relationships to the primary dimension shown. Provide balled and burlapped (B\$B) evergreen trees and containerized shrubs.
- F. Inspection: All plants shall be subject to inspection and review at the place of growth or upon delivery and conformity to specification requirements as to quality, right of inspection and rejection upon delivery at the site or during the progress of the work for size and condition of balls or roots, diseases, insects and latent defects or injuries. Rejected plants shall be removed immediately from the site.
- 2.6 PLANTING SOIL MIXTURE
- Provide planting soil mixture consisting of clean uncompacted topsoil (stockpiled at site) for all planting pits, perennial, annual and groundcover areas. Topsoil shall be conditioned based on any recommendations resulting from the soil test in 1.3.C.
- 2.7 EROSION CONTROL
- equivalent approved equal.
- B. Native Areas Erosion Control Blanket: North American Green S150, or equivalent approved equal.
- C. Shoreline and Sloped Berm Areas Erosion Control Blanket: North American Green SCI50, or equivalent approved equal. To be installed per manufacturer's recommendations.
- D. Refer to latest Engineering \$ Erosion Control Plans for any areas to receive permanent or long-term blanket installation.
- E. Hydroseed Mulch: Conweb 2000 wood fiber mulch with tackifier. Other mulches may be used subject to approval of Landscape Architect. 2.8 MULCH
- Provide mulch consisting of premium shredded hardwood bark. Provide sample to Landscape Architect for approval prior to ordering materials. LANDSCAPE WORK PART 3 - EXECUTION
- 3.1 PLANTING SCHEDULE
- planting schedule for approval by the Landscape Architect. 3.2 PLANTINGS
- A. Sodding New Lawns
- 1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site, do not turn over into soil being prepared for lawns.
- 2. Till to a depth of not less than 6"; apply soil amendments as needed; remove high areas and fill in depressions; till soil to a homogenous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
- 3. Sodded areas shall receive an application of commercial fertilizer at the rate of 10 lbs. per 1,000 sq, ft. and shall have an analysis of 16-8-8.
- 4. Lay sod within 24 hours from time of stripping.
- 5. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Tamp or roll lightly to ensure contact with subgrade. Work sifted soil into minor cracks between pieces of sod; remove excess to avoid smothering of adjacent arass
- 6. Water sod thoroughly with a fine spray immediately after planting.
- B. Seeding New Lawns
- 1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site. Do not turn over into soil being prepared for lawns.
- 2. Till to a depth of not less than 6"; apply soil amendments; remove high areas and fill in depressions; till soil to a homogenous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.

C. Highlands Fescue Seed Mixture - Mixture-7 lbs. / 1,000 sa. ft.

A. Lawn Seed Areas Erosion Control Blanket: North American Green DS75, or

- At least thirty (30) days prior to the beginning of work in each area, submit a

- 3. Seeded lawn areas shall receive an application of commercial fertilizer at the rate of 5 lbs. per 1,000 sq. ft. and shall be 6-24-24. Fertilizer shall be uniformly spread and mixed into the soil to a depth of 1" inches.
- 4. Do not use wet seed or seed which is moldy or otherwise damaged in transit or storage.
- 5. Sow seed using a spreader or seeding machine. Do not seed when wind velocity exceeds five (5) miles per hour. Distribute seed evenly over entire area by sowing equal quantity in two directions at right angles to each other.
- 6. Sow not less than specified rate.
- 7. Rake lawn seed lightly into top 1" of soil, roll lightly and water with a fine spray.
- 8. After the seeding operation is completed, spray a wood fiber mulch (Conweb 2000 with tackifier or approved equal) over the entire arassed area at the rate of 2,000 lbs. per acre. Use a mechanical spray unit to insure uniform coverage. Exercise care to protect buildings, automobiles and people during the application of the mulch.
- 9. DO NOT MOW HIGHLANDS FESCUE SEED MIXTURE.
- C. Seeding Native Areas
- 1. The period for planting prairie seed shall be from April 1 to May 15 or November 1 to just before the first frost. Seeding outside of these timeframes must be approved by the landscape architect. Native seed planted outside of specified timeframes must have at least 60 days of arouth prior to frost. Dormant seeding in winter is possible if soil conditions allow.
- 2. The General Contractor and Native Landscape Contractor shall be responsible for performing all work necessary to achieve and maintain an acceptable seedbed prior to seeding. All areas must be properly prepared before seeding begins. Equipment having low unit pressure ground contact shall be utilized within the planting areas.
- 3. If present, compacted soils shall be disked or raked prior to seeding. Remedial measures for the access area may, at the direction of the Wetland Consultant, involve ripping from 12 to 18 inches of the soil horizon prior to disking.
- 4. Prior to seeding, planting areas shall have at least twelve inches of clean un-compacted topsoil. Clumps, clods, stones over 2" diameter, roots and other extraneous matter shall be removed and disposed of legally off-site.
- 5. Granular mycorrhizal inoculants shall be installed with the seed mix at a rate of 401bs/ acre. Inoculant can be banded under seed, worked into seed or added into spray tanks. Native areas shall not receive fertilizer.
- 6. Contractor shall be solely responsible for the proper handling and storage of the seed according to the best seed handling and storage practices, including fungicide treatments and stratification considerations. Owner shall make no compensation for damage to the seed because of improper storage, cleaning, threshing, or screening operations.
- 7. Except where site conditions preclude their use, seeding shall be performed using a Truax drill, Truax Trillion seeder, or comparable equipment designed specifically for installation of native seed. For areas where site conditions preclude the use of specialized equipment, seed may be installed through hand broadcasting and followed by light raking. Hand broadcast seed shall be spread at twice the specified rate. Other methods of seed installation may be used with prior approval from the Landscape Architect.
- 8. Prior to starting work, all seeding equipment shall be calibrated and adjusted to sow seeds at the proper seeding rate. In general, the optimum seeding depth is 0.25 inch below the soil surface. Areas where the seed has not been incorporated into the soil to the proper depths will not be accepted, and no compensation for materials or labor for the rejected work will be made by the Owner.
- 9. Seeding and soil tracking/firming shall not be done during periods of rain, severe drought, high winds, excessive moisture, frozen ground, or other conditions that preclude satisfactory results
- 10. Wet mesic and emergent areas shall be planted, and seed allowed to germinate (if possible), prior to flooding with significant amounts of water. Any areas of significant permanent water located within the planting area will receive live plugs in lieu of seed.
- 11. After the seeding operation is completed, install erosion control blanket per manufacturer's specifications.
- 12. Emergent plugs shall be planted in natural groupings within designed areas containing saturated soils or shallow inundation. Plants within groupings shall be planted at 2 foot centers.
- 13. Emergent plugs shall not be planted less than the specified rate and shall be protected with goose exclosures surrounding all natural groupings of plugs.
- E. Groundcover and Perennial Beds

Groundcover, perennials, and annuals shall be planted in continuous beds of planting soil mixture a minimum of 8" deep. Install per spacing indicated on plan.

- F. Trees and Shrubs
- 1. Set balled and burlapped (B\$B) stock plumb and in center of pit or trench with top of ball at an elevation that will keep the root flare exposed upon backfill and mulching. Remove burlap from top and sides of balls; retain on bottoms. When set, place additional topsoil backfill around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill
- 2. Dish top of backfill to allow for mulching. Provide additional backfill berm around edge of excavations to form shallow saucer to collect water.
- 3. Mulch pits, trenches and planted areas. Provide not less than 3" thickness of mulch and work into top of backfill and finish level with adjacent finish grades. Maintain exposed root flare at all times.
- 4. Prune only injured or dead branches from flowering trees, if any. Protect central leader of tree during shipping and pruning operations. Prune shrubs to retain natural character in accordance with standard horticultural practices.
- 5. Remove and replace excessively pruned or ill-formed stock resulting from improper pruning.
- 6. The Contractor shall be wholly responsible for assuring that all trees are planted in a vertical and plumb position and remain so throughout the life of this contract and guarantee period. Trees may or may not be staked and guyed depending upon the individual preference of the Contractor; however, any bracing procedure(s) must be approved by the Owner prior to its installation.
- 3.3 INITIAL MAINTENANCE
- A. Begin maintenance immediately after planting, continuing until final acceptance. A minimum of thirty (30) days.
- B. Maintain planted and seeded areas by watering, rolling/regrading, replanting and implementing erosion control as required to establish vegetation free of eroded or bare areas.
- C. Highlands Fescue and Native Planting areas are to be mowed only once per spring during the initial three year establishment period.
- 3.4 NATIVE LANDSCAPED AREAS

CONTINUED MONITORING & MAINTENANCE

A. Monitoring

The Owner shall notify the County upon completion of plantings. The Owner's Environmental Specialist shall inspect the plantings and provide the County with a copy of the planting locations, species, and quantities for verification by the County.

The Owner's Environmental Specialist shall inspect the plantings at least twice per year during the three-year term of the Establishment and Maintenance Cash Bond or Letter of Credit, to determine compliance with the minimum annual performance criteria (See 1.5C Guarantees). A monitoring report will be provided to the County by January 31st following each inspection.

B. Maintenance:

First Season

With the exception of the emergent area, native seeding areas should be mowed to a height of 6" to control annual nonnative and invasive species early in the arowing season. Mowing, including weed whipping, should be conducted during prior to weed seed production. Mowing height and timing may need to be adjusted per target species. Small quantities of undesirable plant species, shall be controlled by hand pulling prior to the development and maturity of the plant. Hand removal shall include the removal of all above-ground and below-ground stems, roots and flower masses prior to development of seeds. Herbicide should be applied as necessary by a trained and licensed operator that is competent in the identification of native and nonnative herbaceous plants. Debris and litter shall be removed from the native areas and storm structures shall be inspected and maintained as necessary.

Second Season

Control of undesirable plant species during the second arowing season shall consist primarily of precise herbicide application. Mowing and weed whipping shall be conducted as needed during the early growing season and as needed to a height of 6 to 8 inches to prevent annual weeds from producing seed. Debris and litter shall be removed from the native areas and storm structures shall be inspected and maintained as necessary.

Third, Fourth, and Fifth Years:

Seasonal mowing and herbicide will continue as above but should be reduced over time. Debris and litter shall be removed from the native areas and storm structures shall be inspected and maintained as necessary. At the completion of the third growing season (dependent on fuel availability; dominance of graminoid species; and favorable weather conditions), fire may be introduced to the planted areas as a management tool.

State and local permits shall be required prior to controlled burning. Burning shall be conducted by trained professionals experienced in managing smoke in urban environments. Prior to a controlled burn, surrounding property owners as well as local fire and police departments shall be notified. A burn plan detailing preferred wind direction and speed, location of fire breaks, and necessary personnel and equipment shall be prepared and utilized in planning and burn implementation.

The initial burn shall be dependent on fuel availability which is directly related to the quantity and quality of grasses contained within the plant matrix. Timing of the burn shall be determined based on results of the annual monitoring indicatina species composition of the management area and other analysis of management goals. Generally, burns shall be scheduled from spring to fall on a rotational basis. Burn frequency shall also be dependent on the species composition within the management area. Generally, a new prairie restoration area shall be burned annually for two years after the second or third growing season after planting and then every 2-3 years thereafter, burning 50-75% of the area.

C. Long Term Wetland and Prairie Management/Maintenance

A final compliance report and Long-Term Operation and Maintenance Plan shall be submitted by the Developer/Owner's Environmental Specialist no less than 60 days prior to the expiration of any landscape Cash Bond or Letter of Credit posted for the native areas. Final acceptance and release shall be determined by the County/City/USACE upon inspection of the site to verify compliance.

The Long -Term Operation and Maintenance Plan shall be written to include auidelines and schedules for burning, mowing, application of herbicide, debris/litter removal and inspection schedule for storm structures and sediment removal.

3.5 CLEAN UP AND PROTECTION

- A. During landscape work, store materials and equipment where directed. Keep pavements clean and work areas and adjoining areas in an orderly condition.
- B. Protect landscape work and materials from damage due to landscape operations, operations by other trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed by Landscape Architect.

3.6 INSPECTION AND ACCEPTANCE

- A. The Landscape Architect reserves the right to inspect seeds, plants, trees and shrubs either at place of growth or at site before planting for compliance with requirements for name, variety, size, quantity, quality and mix proportion.
- B. Supply written affidavit certifying composition of seed mixtures and integrity of plant materials with respect to species, variety and source
- C. Notify the Landscape Architect within five (5) days after completing initial and/or supplemental plantings in each area.
- D. When the landscape work is completed, including maintenance, the Landscape Architect will, upon request, make a final inspection to determine acceptability. After final acceptance, the Owner will be responsible for maintenance.



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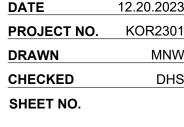
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REVISIONS



12.20.2023 MNW DHS





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	$ \frac{1}{0.0} $	$\begin{array}{cccccccccccccccccccccccccccccccccccc$		Height 20'-35' Marine Grade Finitia All poles are wested rinke, as 10 s finital to pole shaft meterial is a weldable grade hot rolled commercial quality area B Standrafts. Poles have ground Lug welded indeh hand hole opposite aide of the hand-hole. Pole share ground Lug welded indeh hand hole opposite side of the hand-hole. Pole share ground Lug welded indeh hand hole opposite of base plate. Marine Grade Finitia All poles are vested rinke, as 10 s finital as 10 s f

DESIGN NOTES:

159.22 LIGHTING.

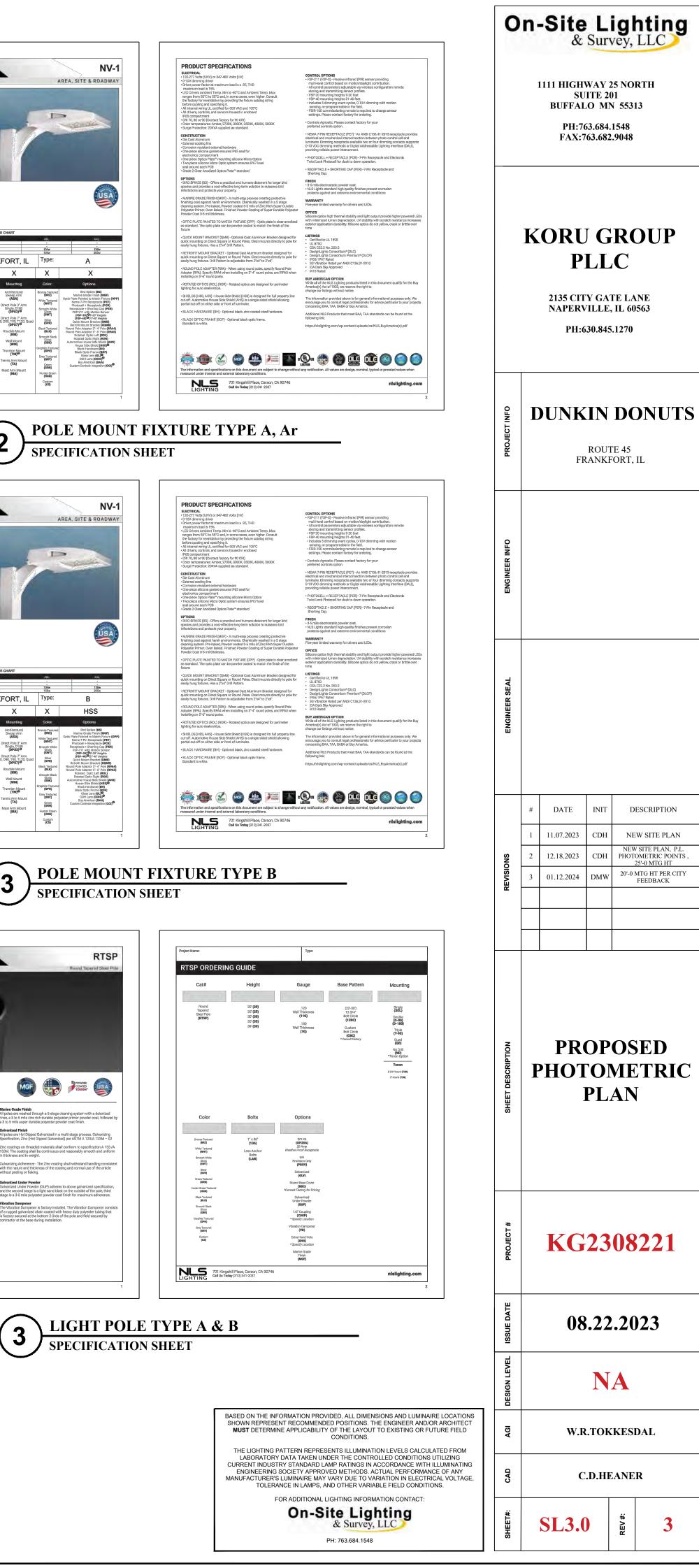
Outdoor lighting, where provided, should enhance the building design and the adjoining landscape. Lighting standards, fixtures and all exposed accessories shall comply with the village's requirements, and design and signs should be harmonious with the design of the surrounding areas. Excessive brightness, flashing lights, and brilliant colors shall not be permitted

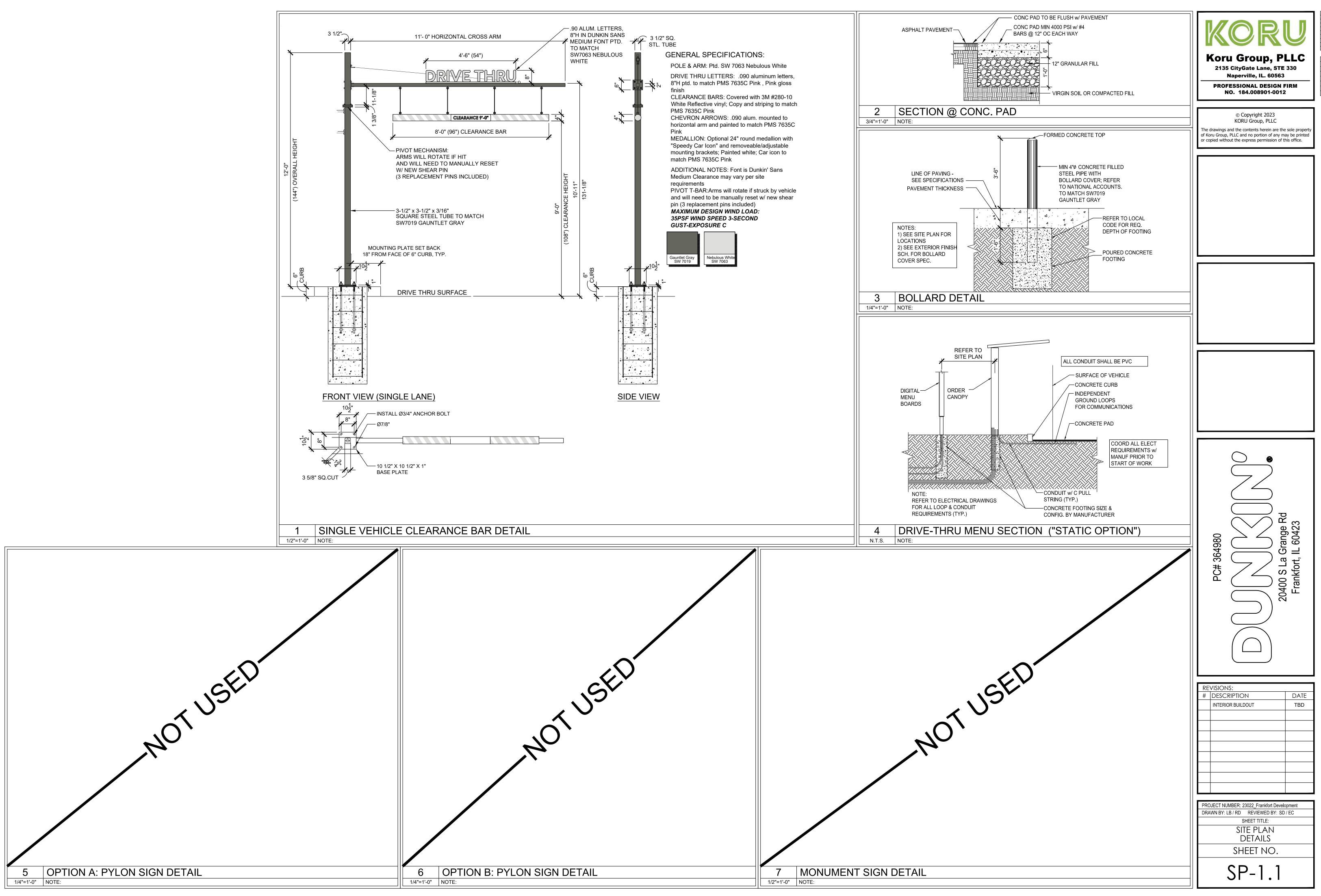
LUMINAIRE	E SCH	EDULE					
SYMBOL	QTY	LABEL	LLF	DESCRIPTION	LUM WATTS	LUM LUMENS	BUG RATING
	5	А	0.900	AREA FIXT 104W LED T4 20'-0 MTG HT (4000K) NLS LIGHTING NV-1-T4-48L-7-40K-UNV	104	12168	B2-U0-G2
	1	Ar	0.900	AREA FIXT 104W LED T4 ROT 90 CCW 20'-0 MTG HT (4000K) NLS LIGHTING NV-1-T4-48L-7-40K-UNV	104	12168	B2-U0-G2
	2	В	0.900	AREA FIXT 104W LED T4 HSS 20'-0 MTG HT (4000K) NV-1-T4-48L-7-40K7-HSS	104	8238	B1-U0-G2
A	6	EWS-1	0.900	WALL PACK FIXT 28W LED T2 (3000K) WAC LIGHTING WP-LED227-30	28	2049	B1-U1-G0
A	5	G	0.900	WALL PACK FIXT 26W LED 8'-0 MTG HT (5000K) LUMARK XTOR3B	25.5	2751	B1-U0-G0
	20	LED-2	0.900	ROUND RECESSED UNDER CANOPY FIXT 12W LED 9'-6 MTG HT (4000K) dmf LIGHTING DRD2M10940GA-M4TRSWH	12.5	941	B1-U1-G0

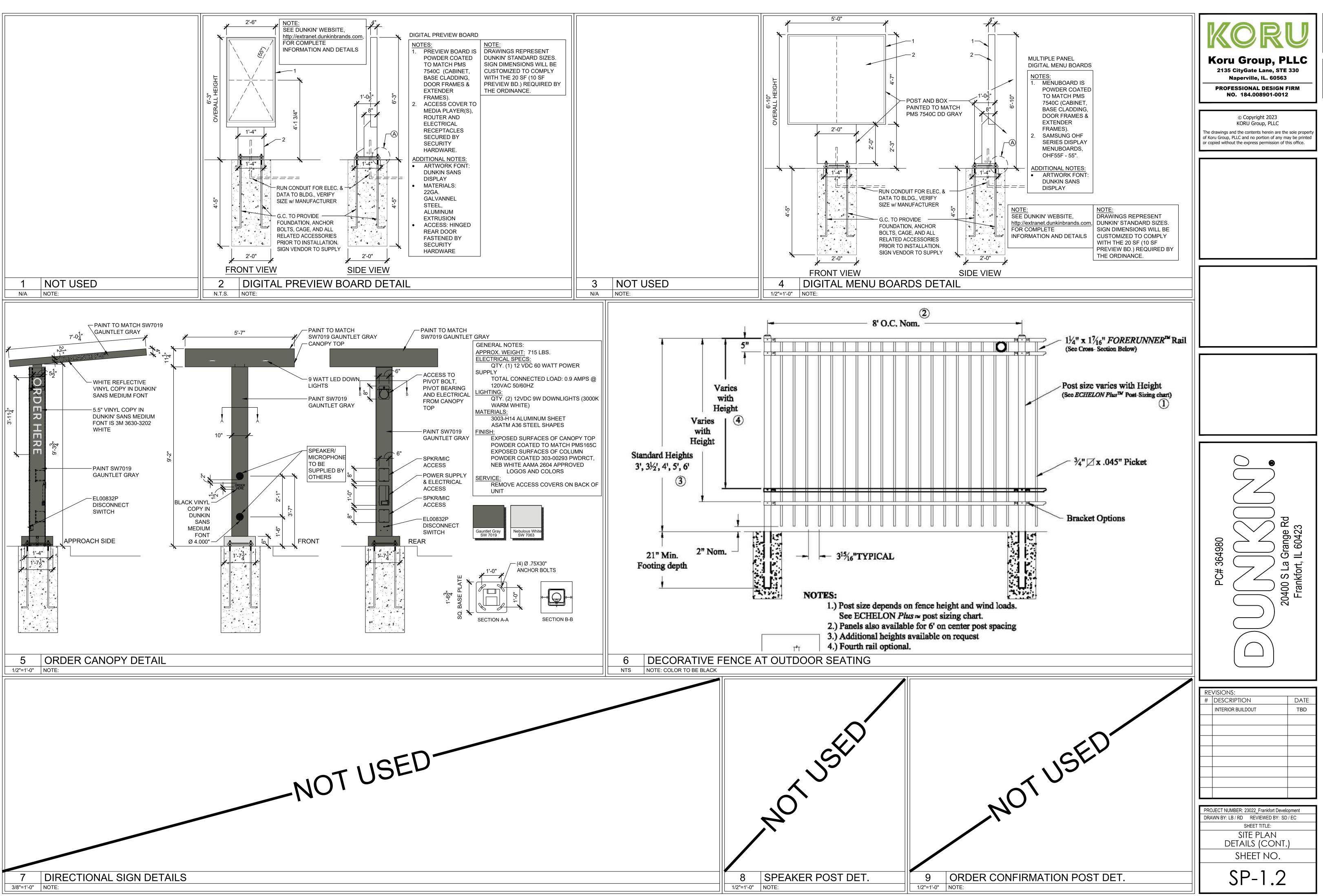
CALCULATION SUMMA	RY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN	# PTS
ALL CALC PTS SHOWN 10' GRID	1.02	8.4	0.0	N.A.	N.A.	960
SOUTH PROP LINE 10' SPACING	0.00	0.0	0.0	N.A.	N.A.	45
WEST PROP LINE 10' SPACING	0.14	0.4	0.0	N.A.	N.A.	47
DRIVE ENRTY	1.23	4.4	0.1	12.30	44.00	19
PARKING AREA	1.65	8.4	0.2	8.25	42.00	410

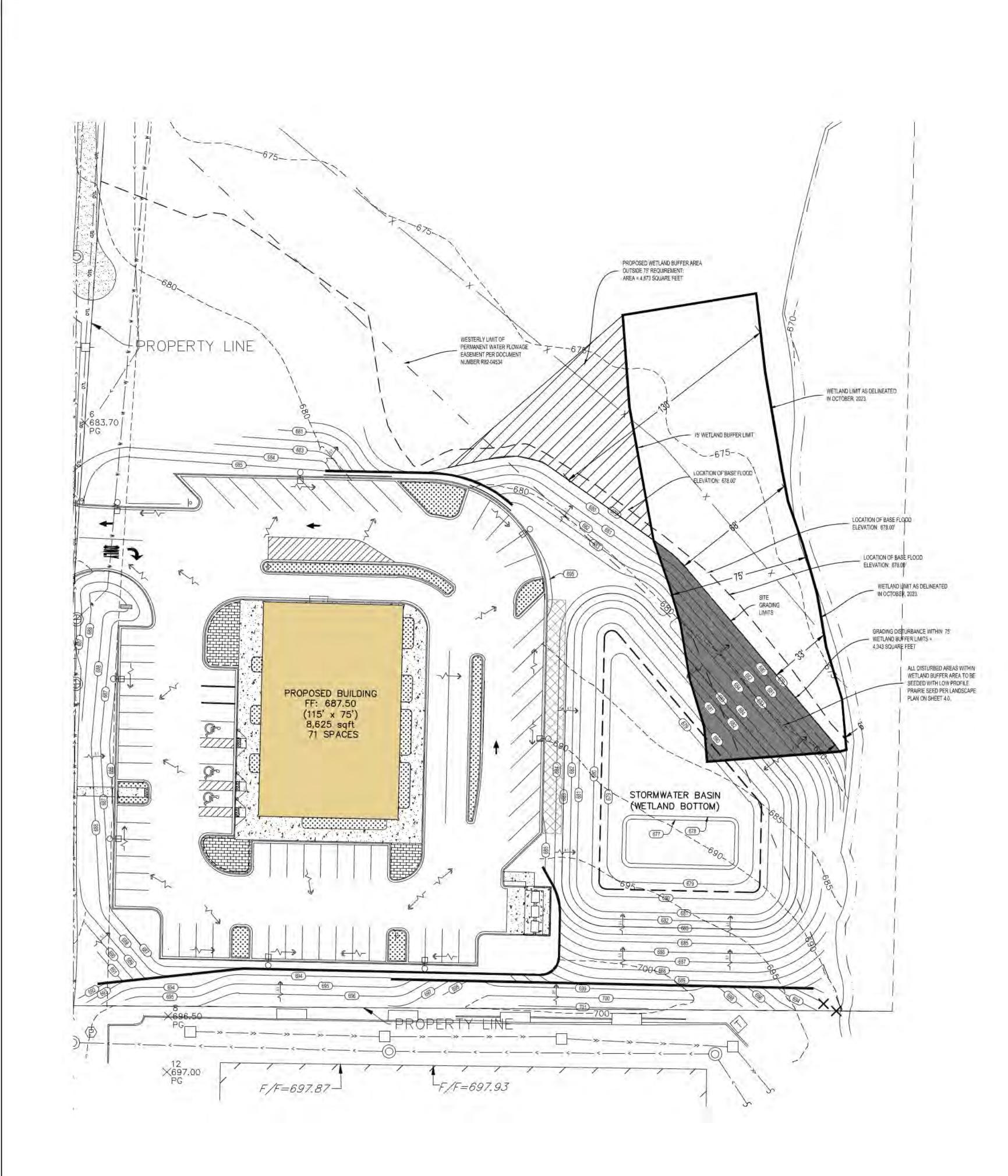
Pole Cap All poles co

novable polymer pole cap installed. All pole caps are









0 6 12 16 24 30 45

LEGEND

UNDISTURBED AREA OUT

DISTURBED AREA WITHIN

	RECEIVED By Mike Schwarz at 11:31 am, Jan 12, 2024) A
Scale 1"=30'		The d of Kor or cop
TSIDE WETLAND BUFFER		
		REV #

Koru Group, PLLC 2135 CityGate Lane, STE 330 Naperville, IL. 60563
© Copyright 2023 KORU Group, PLLC The drawings and the contents herein are the sole property of Koru Group, PLLC and no portion of any may be printed or copied without the express permission of this office.
SITE CIVIL PLANS FOR:
REVISIONS: # DESCRIPTION DATE
PROJECT NUMBER: 23022 DRAWN BY: DJK REVIEWED BY: SRK SHEET TITLE:
WETLAND BUFFER EXH

Approved: (7-0)

<u>Motion (#5):</u> Recommend to the Village Board to approve the Special Use Permit for outdoor recreation greater than 1 acre on Lot 1 of the Roma 2 Resubdivision for the outdoor playing fields, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

Motion by: James Seconded by: Morris

Approved: (7-0)

Motion (#6): Recommend to the Village Board to approve the Variation to permit at 15.2' front landscape setback whereas 20' is required per Article 6, Section C, Part 1, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

Motion by: James Seconded by: Hogan

Approved: (7-0)

<u>Motion (#7)</u>: Recommend to the Village Board to approve the Variation to permit three points of vehicular access to Roma Court, whereas a maximum of two are permitted per Article 6, Section C, Part 2 (n)(3), in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

Motion by: Markunas Seconded by: Jakubowski

Approved: (7-0)

Motion (#8): Recommend approval of a Plat of Resubdivision to consolidate Lot 1 of Roma Resubdivision with Lots 16-18 of East Point Park Subdivision, to create a single Lot 1 of Roma 2 Resubdivision, subject to staff approval of any technical revisions prior to recording.

Motion by: Morris Seconded by: Markunas

Approved: (7-0)

D. Workshop: Dunkin' Donuts

Mike Schwarz presented the staff report and noted that the presentation slides show newly submitted plans.

The applicant, Krupa Shah, and the applicant's architect, Eric Carlson, approached the podium. Eric Carlson added the following points for discussion:

- The grade difference between the north and south sides of the property is very significant.
- The engineers working on the project tried to minimize the amount of retaining walls, so they put them in places that are least visible from the public right-of-way; there is a berm from Route 45 to the parking lot.
- The proposed CMU color for the wainscot of the building will closely match the Vineyards development.
- The applicant, Ms. Shah, had to buy 6 acres and ended up only with 3 acres of buildable land for this project.
- Dunkin has a need for visibility along Route 45. The applicant would like to have space on the monument sign for all four proposed tenant spaces.
- As suggested by staff, the applicant is willing to add a horizontal banding feature on the elevations of the building.
- The applicant would like feedback on the proposed orange, white and pink colors for the Dunkin' signage since it relates to branding.

Chair Schaeffer stated that there may be an error in the staff report pertaining to the hours of operation and asked the applicant for clarification.

The applicant responded that business would open from 4:00 a.m. to 8:00 p.m. Monday through Saturday and 5:00 a.m. to 8:00 p.m. on Sunday. These are the same hours of operation as the existing location.

Chair Schaeffer stated that all the special use requests seem reasonable and asked Commissioners if they have any initial questions on the special use requests.

Commissioner Markunas asked if the furnishings and fencing for the proposed outdoor seating will be submitted to staff.

Eric Carlson responded that they will submit those details after the workshop and that they usually try to keep the fence away from vehicular traffic.

Commissioner Markunas asked staff to assist in guiding the applicant to match other approved outdoor seating locations in the Village of Frankfort.

Mike Schwarz responded that the applicant is not at the point of submitting such details, but he will guide them to be consistent with other locations and that he will ensure that staff receives the details.

Commissioner Morris asked about the Dunkin' Green program.

Eric Carlson responded that the program has not been discussed for a while since the Covid-19 Pandemic.

Commissioner Hogan asked about the proposed retaining wall and if there are any other alternatives that can be discussed by the engineers.

Eric Carlson responded that the project engineers tried a lot of options and had concluded on still having retaining walls but minimizing the amount of retaining wall as much as possible. The entrance along Route 45 becomes steep, so the only people who will see the wall will be the people who visit the subject site.

Commissioner Hogan asked how well the wall will hold up over time.

Eric Carlson responded that the retaining wall is proposed outside of the flood zone so that there won't be any water pushing up against that wall.

Chair Schaeffer stated that there is not much to do with the existing slope on the subject site and it is almost a necessity to have retaining walls to have a flat parking lot. She advised staff and the applicant to make sure there is a structural engineer to ensure the wall will have structural integrity over time.

Commissioner Jakubowski stated that she is fine with the proposed retaining wall because it is not very visible from adjacent properties.

Commissioner James stated that the proposed retaining wall is not a variation request, and the intent of the Code may be more for residential property.

Commissioner Markunas asked if there is any way to have the retaining wall color blend in with the landscaping on the subject site.

Commissioner Jakubowski added that the proposed Abbey Woods North retaining wall has a stone look which may be a good comparison material.

Eric Carlson responded that they could provide more landscaping to make the wall less visible.

Chair Schaeffer asked if there are any native plantings proposed for the wet bottom detention basin.

Eric Carlson responded that they don't know the answer right now on what type of detention will be required, so they are not sure if landscaping will be at the bottom.

Chair Schaeffer asked if the parking lot island will have landscaping.

Mike Schwarz responded that the parking lot islands are required to have landscaping. He also notes that the applicant provided foundation landscaping even though it is not required.

Commissioner Markunas stated that the applicant will need to provide details on the drivethrough overhead bars.

Chair Schaeffer asked if there will be any signage to identify where the one-way circulation in the parking lot starts.

Eric Carlson responded that the newly submitted plans point out such signage.

Commissioner Markunas asked if the applicant knows who the other tenants will be and what their respective hours of operations will be.

The applicant responded that she has started conversations but wanted to hear the feedback from the workshop meeting first.

Commissioner Morris stated that he likes the second drive-through lane being dedicated for mobile orders only. He asked if any parking spaces will be specifically dedicated for carry outs. He asked if there is any data as it relates to parking demand.

The applicant responded that a dedicated carry out space will not be provided on the subject site. She did not have information on parking demand but stated that the business is not really sought as a destination; rather it is more sought after for its drive-through service where it typically takes 88 seconds to get through the drive-through lane.

There was some discussion about the proposed access point along Route 45. Commissioners agreed to discuss the access point after IDOT approval and recommendations are received.

Chair Schaeffer asked about how the transition between two-way and one-way provides circulation.

Eric Carlson responded that the intent is to keep the circulation aligned with the flow of the drive-through lanes to avoid conflicts. Additionally, customers of the other tenants have a choice to get out via the two-way circulation. The parking spaces at the south end of the property will be mostly employee parking.

There was general agreement from Commissioners that the flow around the building was okay with them.

Commissioner Markunas stated that the applicant should move the pavement signage further east and that there should be a one-way sign placed on the south end of the site prior to drivers getting behind the building.

Chair Schaeffer stated that the applicant will need to provide trash enclosure details.

Commissioner Markunas stated that there is not a current need for a multi-use path along La Grange Road because a path is nowhere near the subject site and there are already sidewalks constructed along Lagrange Road.

Commissioner Morris asked staff if the transportation plan speaks to improvements planned for Route 45.

Mike Schwarz responded that the Comprehensive Plan calls for a future path along Route 45 but there is no such path located in the immediate area.

Eric Carlson asked the Commissioners how they would feel if the applicant were to remove the outer landscape island proposed by the drive-through lane on the east side of the property for better circulation.

Commissioner Jakubowski stated that she does not have an issue with removing that landscape island because it helps customers who want to get out of the drivethrough lane sooner.

Commissioner Markunas asked staff if removing the landscape island would add a variation request.

Mike Schwarz responded yes.

Commissioner Markunas advised the applicant not to add a variance request. The landscape island prevents people from backing out of a parking space and hitting a person in the drive through lane.

Chair Schaeffer added that the applicant should keep the landscape island in the plans unless it is a necessity to remove it.

Commissioner Knieriem asked if the calculations done for tree preservation were done before or after the property owners cleared the site.

Mike Schwarz stated that the tagging was done after the site was cleared.

The applicant added that the site was cleared before she purchased the land.

Commissioner Knieriem asked if the applicant had already purchased the site.

The applicant responded that she purchased the site June 2023 and plans to continue operation of Dunkin' in one of the tenant spaces and lease the other tenant spaces.

Commissioner Jakubowski stated that she prefers all tenant spaces to have a similar roof pediment type.

Commissioner Hogan added that he is fine with the shape of the roof pediment but would like the Dunkin' sign to be centered over the door.

Eric Carlson responded that he could not center the Dunkin' sign due to the structure of the roof behind the sign.

Commissioner Markunas stated that the submitted plans show a brick veneer instead of full brick. He suggests putting natural stone on the building.

Eric Carlson passed around samples of the proposed material.

Commissioner James added that there are other restaurant buildings along Lagrange Road that have similar architecture and material to what the applicant is proposing.

Eric Carlson stated that visibility of Dunkin' wall sign is a concern. He asked if they can continue with the square look for the Dunkin' sign since newer built Dunkin's are aiming toward that style.

Chair Schaeffer stated that buildings around the property have gables and that a uniform gable look is preferred.

There was some discussion about adding a band on the elevation to be consistent with other commercial buildings in the Village of Frankfort.

Commissioner James stated that the Dunkin' located at Wolf and 187th is a good comparable for architectural purposes.

The applicant asked the Commissioners how Dunkin', as the anchor of the proposed multitenant building, could stand out more.

Commissioner Markunas stated that a taller roof at the corner unit is typically a way that anchor tenants in the Village of Frankfort stand out.

There was some discussion about comparable anchor tenants that provided a prominent architectural feature such as Dollar Tree or Senso Sushi.

Commissioner Jakubowski stated that she prefers the monument sign to be full brick with the letters for the tenant names attached right onto the brick.

Commissioner Knieriem stated that since the applicant may be willing to change the signage on the building that was specific to their branding, Dunkin' could potentially have their branding colors on the monument sign while all other tenants have white lettering on the monument sign.

Commissioner Knieriem stated that he would be open to compromise on the size of the sign if the applicant agrees to not propose a backlit sign.

Eric Carlson stated that with a larger sign, there is flexibility for the number of tenant signs which was originally a concern of the applicant. He added that Dunkin' appreciates a white background for their signs. He asked how they could implement a white background.

Commissioner Knieriem responded that they could put cultured stone as the light background to put the Dunkin' sign on.

There was a consensus among the Commissioners that the request to vary from the 30-foot required landscaped front yard setback is reasonable because it will help with the concern for visibility and the applicant is willing to make accommodations.

Commissioner Knieriem asked why the applicant is planning on moving from the existing location.

The applicant responded that she is seeking to relocate the business because she would like to own the tenant space rather than lease it. Additionally, the flow of traffic at the existing location is not great and there is no space at the existing location for amenities like outdoor seating.

There was some discussion about lighting around the monument sign.

The applicant asked if another drivethrough or pick-up window would be allowed at the subject site.

Commissioner Knieriem asked how a pick-up window is different from a drive-through window.

The applicant stated that a pick-up window would provide service to people who place an order online and walk to the window to pick-up their online order.

There was consensus among the Commissioners that an additional drivethrough or pickup window service would negatively impact the operation of the anchor tenant, Dunkin'.



Findings of Fact Commissioner Evaluation Form - Special Use Permit

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Plan Commission must use to evaluate every special use permit request. No special use shall be recommended by the Plan Commission unless all the following findings are made.

	STANDARD	NOTES	ME	ETS
a.	That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.		YES	NO
b.	That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.		YES	NO
C.	That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.		YES	NO
d.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.		YES	NO

e.	That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.	YES	NO
f.	That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.	YES	NO
α.	That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.	YES	NO



Standards of Variation Commissioner Evaluation Form

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided.

	STANDARD	NOTES	MEE	TS
1.	That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;		YES	NO
2.	That the plight of the owner is due to unique circumstances;		YES	NO
3.	That the variation, if granted, will not alter the essential character of the locality.		YES	NO

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence.

	STANDARD	NOTES	MEET	S
1.	That the particular physical surroundings, shape			
	or topographical conditions of the specific			
	property involved will bring a particular		YES	NO
	hardship upon the owner, as distinguished from			
	a mere inconvenience, if the strict letter of the			
	regulations was carried out;			

2.	That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same	YES	NO
	zoning classification;		
3.	That the purpose of the variation is not based		
	exclusively upon a desire to make more money	YES	NO
	out of the property;		
4.	That the alleged difficulty or hardship has not		
	been created by any person presently having an	YES	NO
	interest in the property;		
5.	That the granting of the variation will not be		
	detrimental to the public welfare or unduly		
	injurious to other property or improvements in	YES	NO
	the neighborhood in which the property is		
	located;		
6.	That the exterior architectural appeal and		
	functional plan of any proposed structure will		
	not be so at variance with either the exterior		
	architectural appeal and functional plan of the		
	structures already constructed, or in the course	YES	NO
	of construction in the immediate neighborhood		
	or the character of the applicable district, as to		
	cause a substantial depreciation in the property		
	values within the neighborhood; or		
7.	That the proposed variation will not impair an		
	adequate supply of air to adjacent property,		
	substantially increase the danger of fire,	YES	NO
	otherwise endanger the public safety or		
	substantially diminish or impair property values		
	within the neighborhood.		

Planning Commission / ZBA



January 25, 2024

Project:	39 and 49 E. Bowen Street Variance
Meeting Type:	Public Hearing
Request(s):	Variation from Article 6, Section B, Part 4(e) to exceed the allowable wall massing.
Location:	39 and 49 E. Bowen Street
Applicant:	Jarrett Lecas (Gander Builders)
Prop. Owner:	Chicago Land Trust Company Trust No.8002380636
Representative:	Jarrett Lecas (Gander Builders)
Report By:	Amanda Martinez, Planner

Site Details

Existing Lot Size:	±1.51 acres (39 E. Bowen Street)
	±1.02 acres (49 E. Bowen Street)
Proposed Lot Size:	±1.76 acres (Lot 2)
PIN(s):	1909223040120000 and 1909223040130000
Existing Zoning:	R-2 Single-Family Residential District
Building(s) / Lot(s):	2 existing tax parcels and 2 proposed lots
Adjacent Land Use S	ummary:

	Land Use	Comp. Plan	Zoning
Subject Property	Single-family Residential	Single-Family Detached Residential	R-2
North	Single-family Residential	Single-Family Detached Residential	R-2
South	Single-family Residential	Single-Family Detached Residential	R-2
East	Unincorporated	Single-Family Detached Residential	N/A
West	Single-family Residential	Single-Family Detached Residential	R-2

Figure 1: Location Map



Project Summary —

The applicant, Jarrett Lecas, consultant from Gander Builders, representing Chicago Title Land Trust Company Trust No. 8002380636, property owner, requesting a variation from Article 6, Section B, Part 4(e) to allow more than two (2) uninterrupted wall lengths of thirty-five (35) feet or greater along any façade of a primary structure, and to exceed the required maximum thirty-five (35) foot length of an uninterrupted wall facing a public right-of-way, for the property located in the R-2, Single Family Residential District at 39 and 49 E. Bowen Street, Frankfort, Illinois (PIN: 1909223040120000 and 1909223040130000). The applicant intends to accommodate construction of a 10,679 square foot (1st floor, 2nd floor, and basement) home on the 1.76-acre Lot 2 of the proposed Preliminary and Final Plat of the Voorn Lawndale Subdivision. Per the submitted site plan, the home would have three (3) walls that exceed thirty-five (35) feet in length which include the wall facing north (front façade facing Lawndale Court), south (rear façade), and west (garage façade facing west).

Per the proposed Preliminary and Final Plat of the Voorn Lawndale Subdivision, Lot 2 would measure 165 ft. wide by 324.87 ft. deep on the eastern 165 ft. and would measure 49.71 ft. wide by 471.39 ft. deep on the western 49.71 ft. (±1.76 acres). The Plan Commission/Zoning Board of Appeals recommended approval of the plat at its January 11, 2024 meeting, subject to staff approval of any necessary technical revisions prior to recording.

- Aerial Photograph from Will County GIS
- 39 E. Bowen Street Plat of Survey dated 5.16.22
- 49 E. Bowen Street Plat of Survey dated 5.16.22
- 39 and 49 E. Bowen Street Plat of Survey dated 5.16.22
- Site Visit Photographs taken on 12.28.23
- Preliminary and Final Plat of the Voorn Lawndale Subdivision dated 7.14.23
- Architectural Plans dated 8.24.23
- Site Plan received 1.8.24
- Colored Rendering received 1.19.24
- Variation Findings of Fact Responses by Applicant
- Variation Findings of Fact Form for PC/ZBA Commissioners

Analysis —

In consideration of the requests, staff offers the following points of discussion:

- The subject parcels were annexed into the Village of Frankfort in 1912 by Ordinance No. 295. The parcels are zoned R-2 Single-Family Residential District.
- The proposed Preliminary and Final Plat of the Voorn Lawndale Subdivision as well as the proposed site plan for the house construction are under review by the Village Engineer.
- A sidewalk is required along the frontage along Lot 2 (along Lawndale Court) to provide the necessary public improvements per the Village's Subdivision Regulations. A right-of-way dedication will be required to accommodate the required sidewalk. The right-of-way dedication will be reviewed as part of the Village Engineer's review of the Preliminary and Final Plat of the Voorn Lawndale Subdivision.
- The proposed site plan depicts the existing trees on the lot which are intended to remain on site. Staff anticipates that the sidewalk configuration may necessitate the trees fronting Lawndale Court to be removed. The applicant is required by the Building Department to provide 6-7 parkway trees on the final development plans.
- The proposed Preliminary and Final Plat of the Voorn Lawndale Subdivision, site plan, and architectural plans conform with the Zoning Ordinance's residential development requirements, except for the subject request.
- The applicant indicated that full dimensional bricks will be used for the home, so staff requested that the applicant revise the architectural plans to reflect the full dimension brick and stone rather than stating "veneer".
- The intent of Article 6, Section B, Part 4(e) is to ensure that lengthy walls are avoided by requiring multiple wall planes on a facade and to ensure that lengthy walls are not visible from public right-of-way. Article 6, Section B, Part 4(e) allows sideload garage homes to have a maximum of 2 and in this case the applicant proposes a sideload garage.
- Per the submitted site plan, the home would have three (3) wall planes that exceed thirty-five (35) feet in length. The subject walls are proposed facing north (front façade facing Lawndale Court), south (rear façade), and west (west facade).
- North Wall: The length of the subject wall plane on the front façade of the home (which faces public rightof-way) is 38.6 linear feet, exceeding the maximum 35-foot threshold. The subject wall plane is approximately 19.5 feet in height. The subject wall plane consists of the following architectural treatments:

- o Stone accent
- o Stone lintels
- o 10" limestone header
- Covered front porch
- o Cedar columns
- Light fixtures
- Two 36"x120" French doors
- Eight 36"x74" windows
- Eight 36"x24" transom windows
- South Wall: The length of the subject wall plane on the south facade is 38.6 linear feet, exceeding the maximum 35-foot threshold. The subject wall plane is approximately 17.17 feet in height. The subject wall plane consists of the following architectural treatments:
 - o Stone accent
 - o Stone lintel
 - o 10" limestone header
 - o Covered back porch
 - o Cedar columns
 - Five 84"x120" windows
- West Wall: The length of the subject wall plane on the west façade (garage façade) is 48.63 linear feet, exceeding the maximum 35-foot threshold. The subject wall plane is approximately 25.25 feet in height. The subject wall plane consists of the following architectural treatments:
 - o Side load garage
 - o Stone accent
 - o 10" limestone header
 - o Light fixtures
 - Copper metal roofs above windows
 - o One door with a copper metal roof above
 - Two 16'x8' garage doors
 - o Seven 36"x72" windows
 - Six 36"x36" windows
 - Eight 48"x24" transom windows
- The current tax parcel located at 39 E. Bowen Street (1909223040120000) measures 138.80 ft. wide by 473.64 ft. deep (±1.51 acres). The current tax parcel located at 49 E. Bowen Street (1909223040130000) measures 90.39 ft. wide by 475.11 ft. deep (±1.02 acres).
- Lot 2 is proposed as a double frontage lot that measures 165 ft. wide by 324.87 ft. deep on the eastern 165 ft. and measures 49.71 ft. wide by 471.39 ft. deep on the western 49.71 ft. (±1.76 acres). Lot 2 is configured as a double frontage lot to allow for a private pedestrian, tree-lined path/connection to Bowen Street; the property owner indicated that there is no plan to pave the tree-lined path/connection, or to provide any vehicular access to Bowen Street.
- The following table is provided to compare the subject property with the R-2 District dimensional and bulk standards (since the site plan will be revised, staff identifies the dimensions that may change with an asterisk symbol):

	R-2 District Requirements	Parcel Conditions at	Existing Tax Parcel Conditions at 49 E. Bowen Street	Proposed Lot 2	Comments
Minimum Lot Size (acres)	0.34 acres (15,000 sq. ft.)	±1.51 acres	±1.02 acres	±1.76 acres	Complies
Minimum Lot Width (feet)	100 feet	138.80 feet	90.39 feet	214.71 feet	Complies
Minimum Lot Depth (feet)	150 feet	473.64 feet	475.11 feet	324.87 ft. deep on the eastern 165 ft.; and 471.39 ft. deep on the western 49.71 ft	Complies
Minimum Required Setbacks (feet) • Front • Side (East) • Side • (West) • Rear	 30 feet Total 25 feet (not less than 10 on each side) 30 feet 	N/A (vacant)	N/A (vacant)	 *80.7 feet *36.8 feet *12.6 feet *Approx. 165 feet 	Complies
Maximum Height	35 feet	N/A (vacant)	N/A (vacant)	34 feet 4 inches	Complies
Minimum Basement Size	80% of 1 st floor GFA	N/A (vacant)	N/A (vacant)	100% (both the basement and 1 st floor are 4,562 square feet)	Complies
Minimum Gross Floor Area	2,600 square feet (for a 2-story home)	N/A (vacant)	N/A (vacant)	10,679 square feet (2- story home)	Complies
Maximum Impervious Surface Coverage	40%	N/A (vacant)	N/A (vacant)	*Approx. 13.89% (current plan indicates 10.5% based on different acreage; staff requested the applicant revise the lot coverage table)	Complies
Maximum Lot Coverage	20%	N/A (vacant)	N/A (vacant)	*Approx. 8% (current plan indicates 6% based on different acreage; staff requested the applicant revise the lot coverage table)	Complies
Maximum Rear Yard Coverage	30%	N/A (vacant)	N/A (vacant)	0% (no structure is proposed in the required rear yard)	Complies

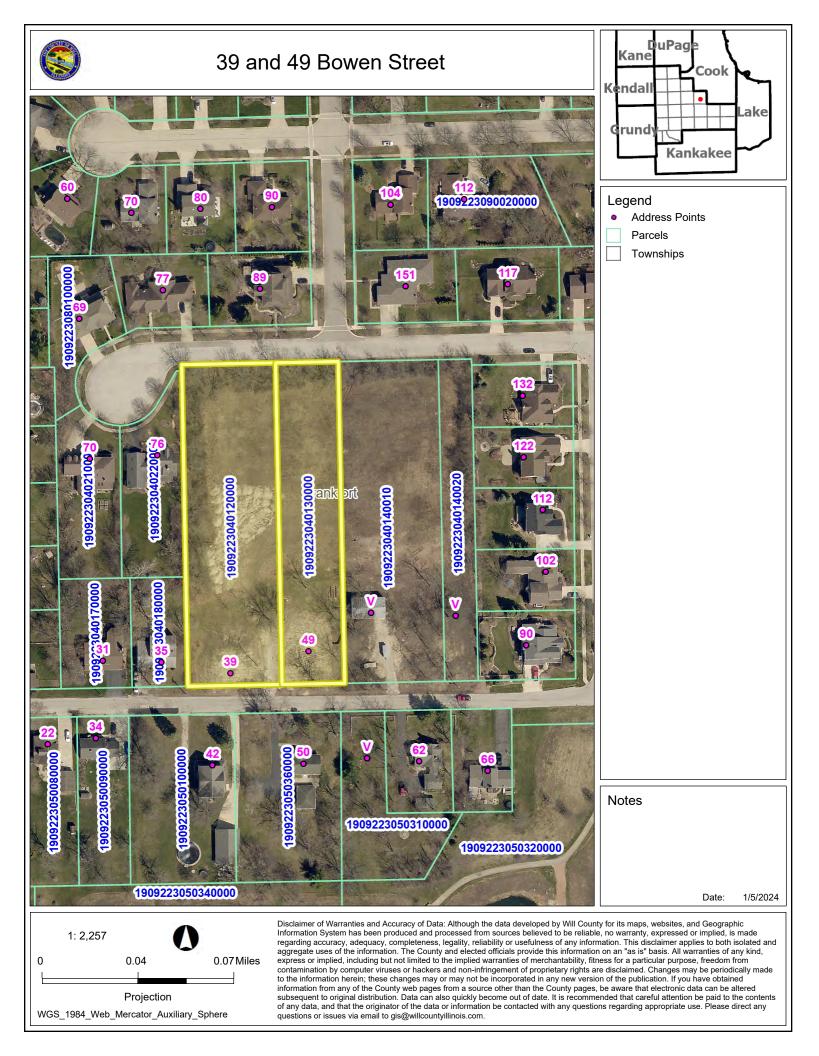
For reference during the Public Hearing, Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request.

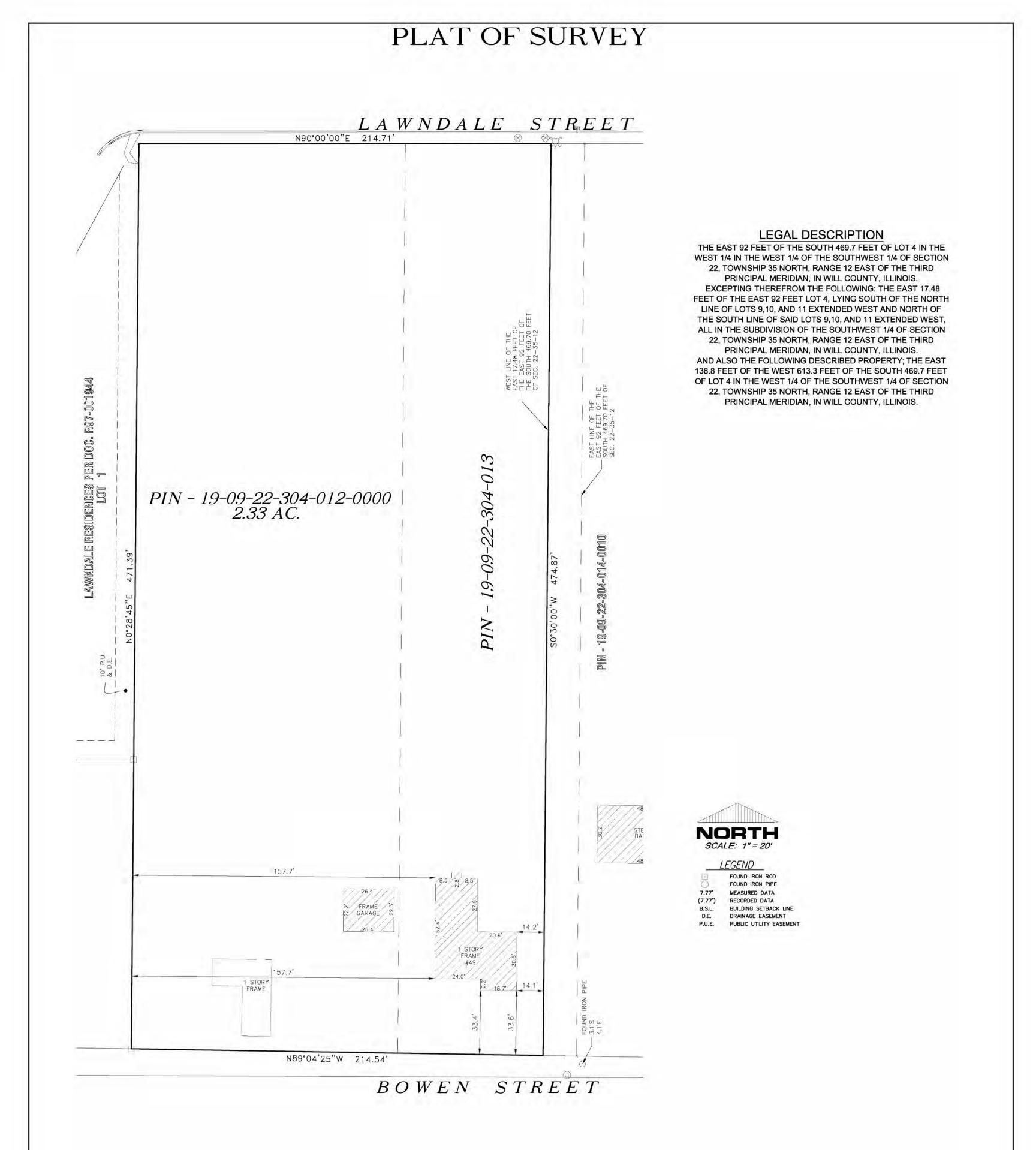
- a. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:
 - 1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
 - 2. That the plight of the owner is due to unique circumstances;
 - 3. That the variation, if granted, will not alter the essential character of the locality.
- b. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making this determination, whenever there are practical difficulties or hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:
 - 1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
 - 2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
 - 3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
 - 4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
 - 5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
 - 6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;
 - 7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

Affirmative Motion ____

For the Commission's consideration, staff provides the following potential affirmative motions:

 Recommend that the Village Board approve the request for a variation to allow more than two (2) uninterrupted wall lengths of thirty-five (35) feet or greater along any façade of a primary structure, and to exceed the required maximum thirty-five (35) foot length of an uninterrupted wall facing a public rightof-way, for the property located in the R-2, Single Family Residential District at 39 and 49 E. Bowen Street, Frankfort, Illinois (PIN: 1909223040120000 and PIN: 1909223040130000), in accordance with the submitted plans, public testimony, and Findings of Fact, and additionally, subject to engineering and Building Permit review.

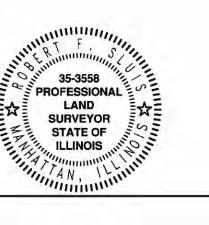




I, ROBERT F. SLUIS, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND LOCATED THE BUILDINGS ON THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY. ALL DISTANCES ARE IN FEET AND DECIMAL PARTS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

GIVEN UNDER MY HAND AND SEAL THIS 16th DAY OF MAY, A.D. 2022.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3558 LICENSE EXPIRES NOVEMBER 30, 2022



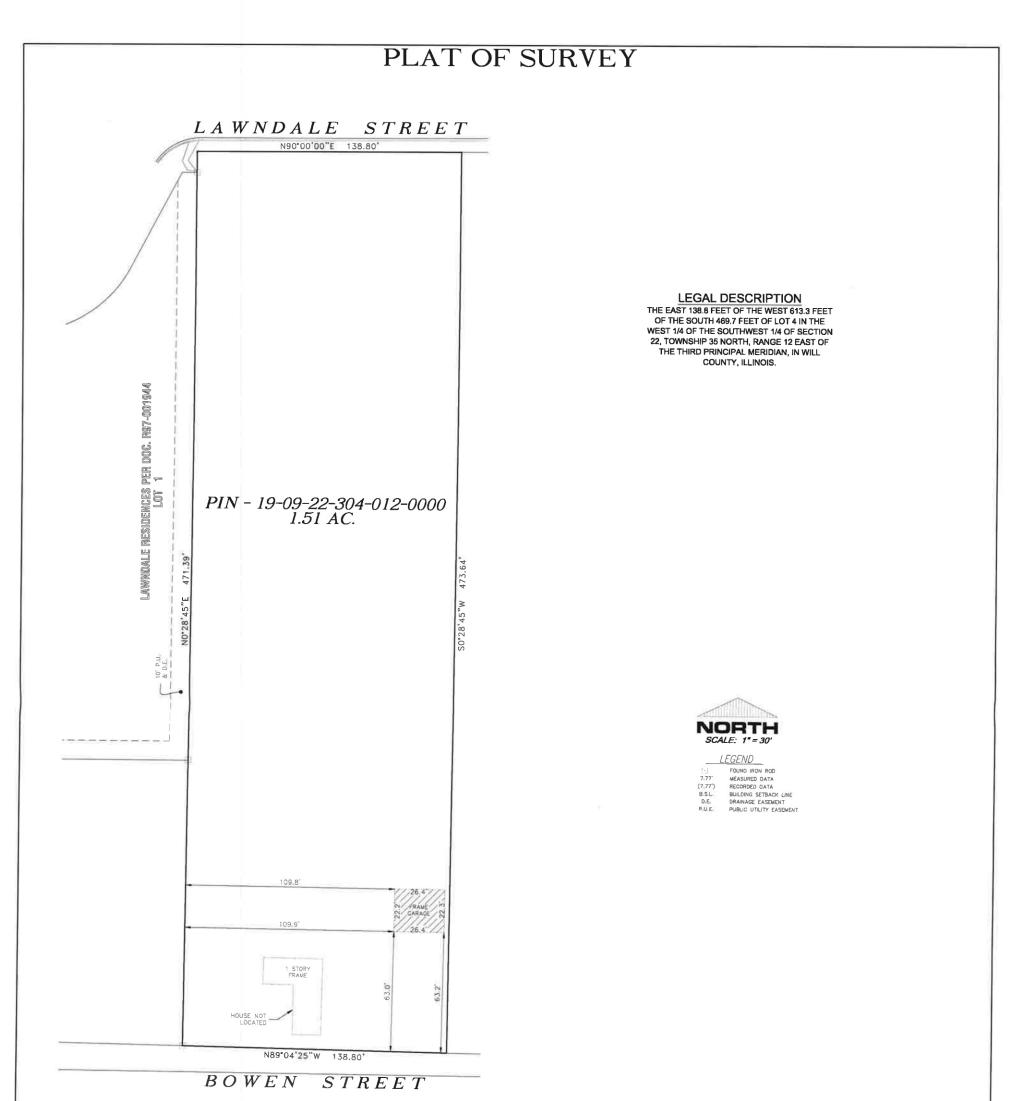


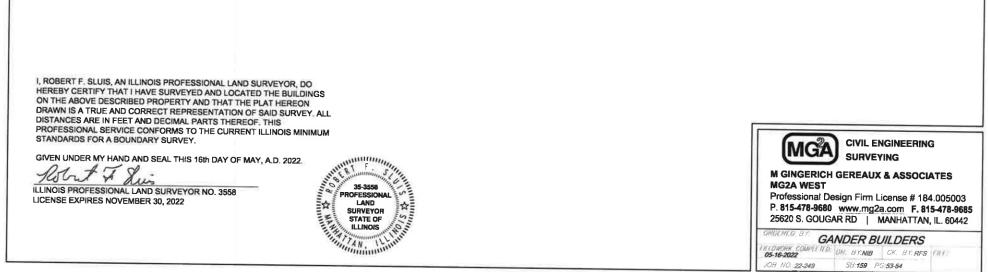
CIVIL ENGINEERING SURVEYING

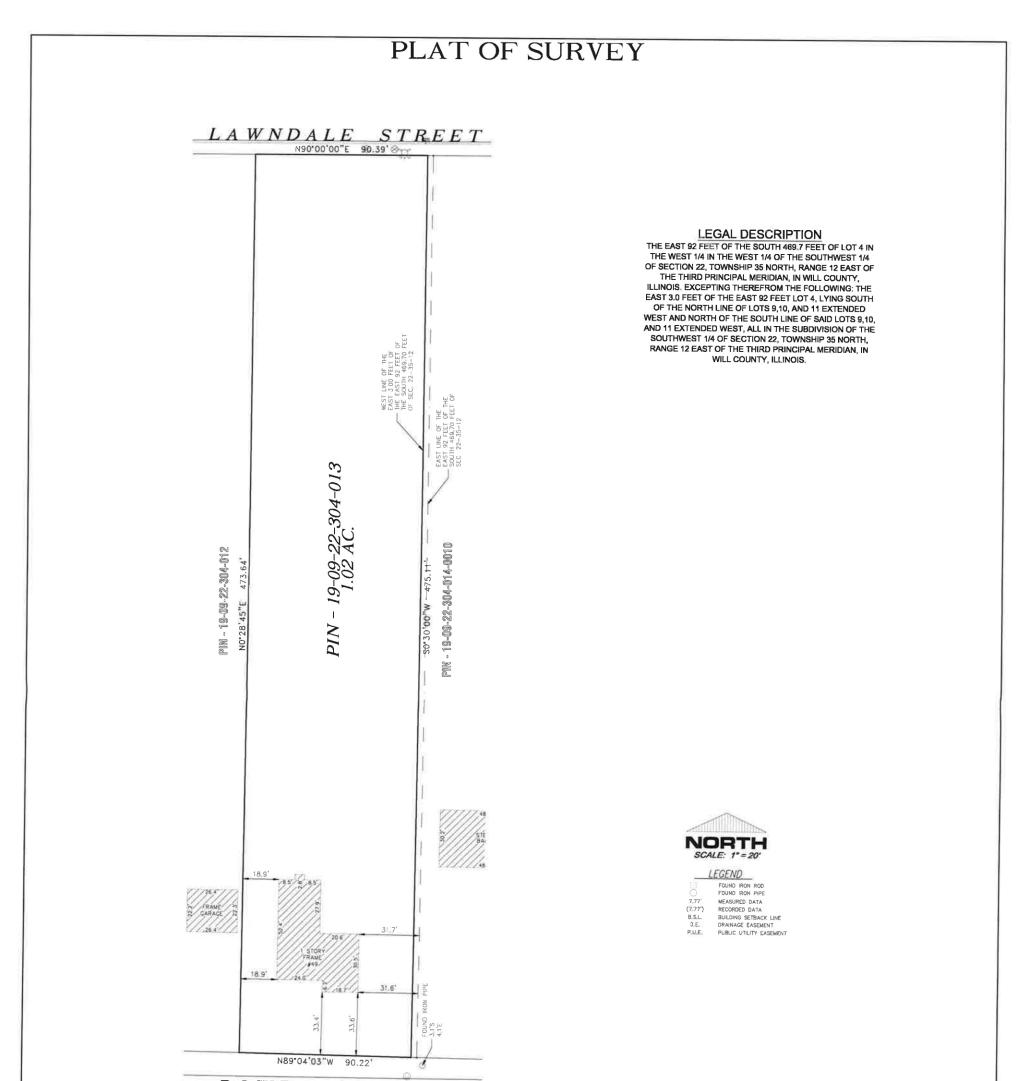
M GINGERICH GEREAUX & ASSOCIATES MG2A WEST Professional Design Firm License # 184.005003 P. 815-478-9680 www.mg2a.com F. 815-478-9685 25620 S. GOUGAR RD | MANHATTAN, IL. 60442 ORDERED BY: BARRY VOORN

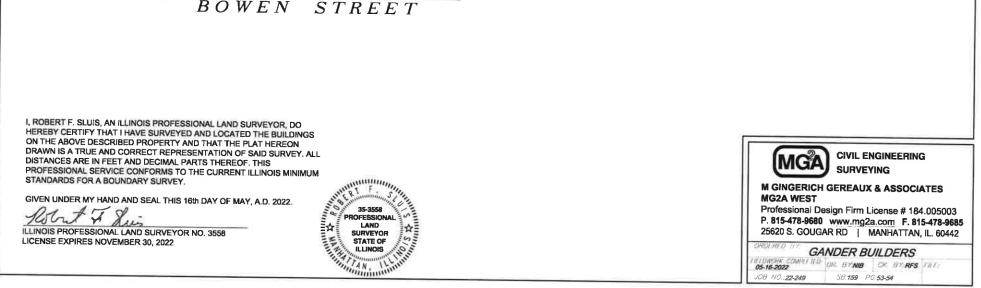
 FIELDWORK
 COMPLETED:
 DR.
 BY:NIB
 CK.
 BY:RFS
 FILL:

 05-16-2022
 SB:159
 PG:53-54
 FILL:
 FILL:









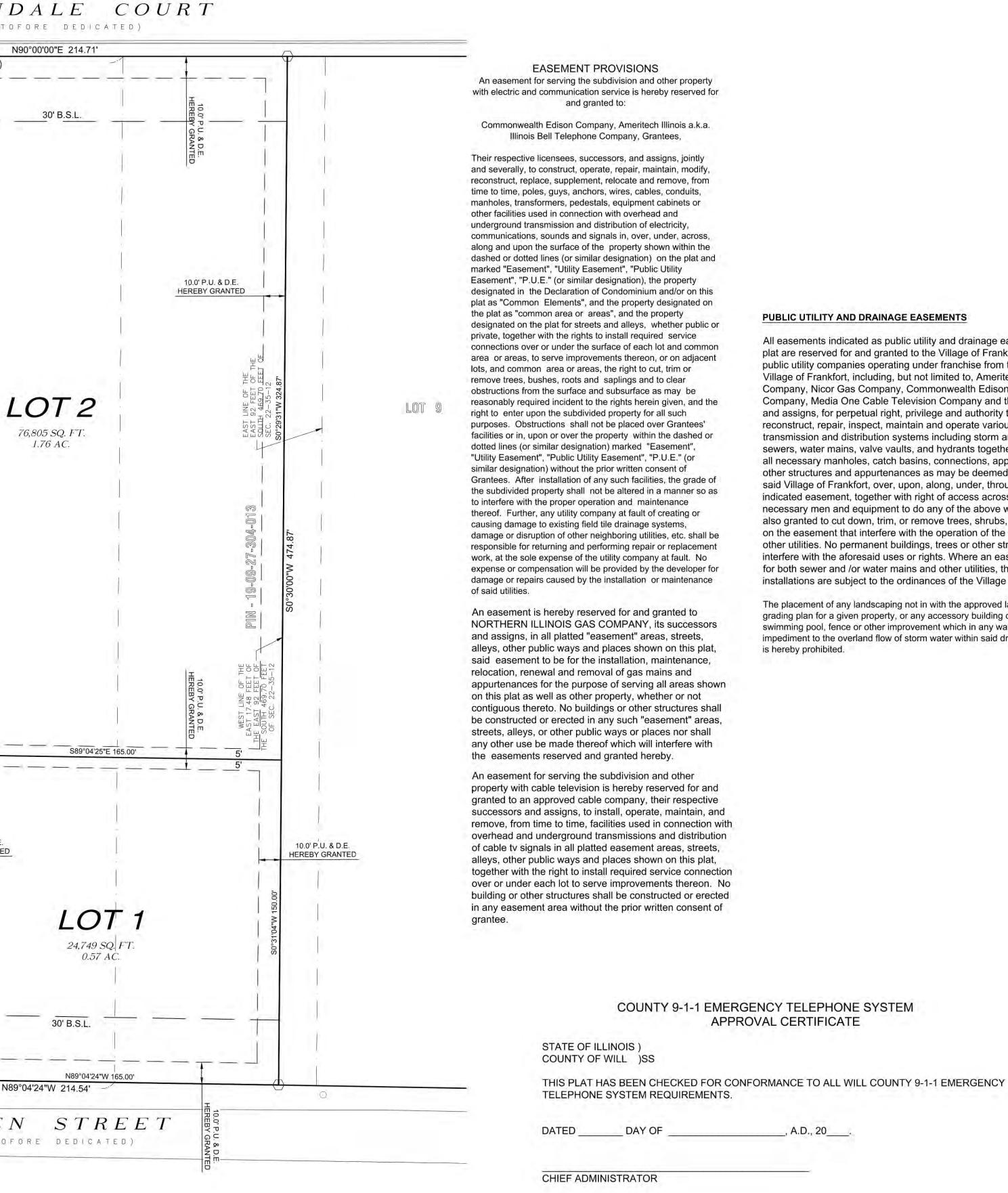
STATE OF ILLINOIS) COUNTY OF WILL)SS		PARCEL 1: PART OF THE EA
THIS IS TO CERTIFY THAT(AND,) IS (ARE) THE OWNER(S) OF THE LAND DESCRIBED IN THE FOREGOING CERTIFICATE AND HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED ON THE PLAT, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND THAT THE SAVE ABOVE DESCRIBED PROPERTY IS LOCATED IN SCHOOL DISTRICT(S): FRANKFORT COMMUNITY CONSOLIDATED ELEMENTARY SCHOOL DISTRICT 157C, LINCOLN WAY COMMUNITY HIGH SCHOOL DISTRICT 210 AND JOLIET JUNIOR COLLEGE 525, AND THAT I (WE) HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED, AS MY (OUR) OWN FREE AND VOLUNTARY ACT AND DEED.		PARCEL 2: THE EAST 92 FEE THEREFROM SOUTH LINE OF
DATED THIS DAY OF, A.D. 20		
OWNER		$L \ A \ W \ N$ (Heret
STATE OF ILLINOIS) COUNTY OF) SS		(138.80')
COUNTY OF) SS I,, A NOTARY PUBLIC IN AND FOR SAID COUNTY		الفتريقية كريك إكراك
AND STATE, DO HEREBY CERTIFY THAT		
(AND),PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) ARE SUBSCRIBED TO THE ABOVE CERTIFICATE APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (THEY) SIGNED THE ABOVE CERTIFICATE AS HIS (THEIR) OWN FREE AND VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN SET FORTH.		
GIVEN UNDER MY HAND AND NOTORIAL SEAL IN COUNTY, ILLINOIS THIS DAY OF A.D., 20		
NOTARY PUBLIC PLANNING AND ZONING COMMISSION APPROVAL CERTIFICATION		
STATE OF ILLINOIS) COUNTY OF WILL)SS		
I,, CHAIRPERSON OF THE VILLAGE OF FRANKFORT PLANNING AND ZONING COMMISSION, DO CERTIFY THAT ON	944	
THIS DAY OF, 20, A.D. THIS PLAT OF SUBDIVISION WAS DULY APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE VILLAGE OF FRANKFORT.	R97=001944	
ON THE DAY OF, 20	DOC	
ATTEST:		
CHAIRPERSON		
BY:	SIDEN	
VILLAGE BOARD CERTIFICATION		
STATE OF ILLINOIS) COUNTY OF WILL)SS	10ALI)4=01
APPROVED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF	LAWNDALE RESIDENCES LOT E 471.39'	9-09-27-304-012
FRANKFORT, WILL COUNTY, ILLINOIS, THISDAY OF, 20, A.D.	□	- M -
ATTEST: VILLAGE CLERK	Ň	
BY:	P.U.	
PRESIDENT	\$ 10 8	0' P.U. & D.E.
SURVEYORS CERTIFICATION		EBY GRANTED
ATE OF ILLINOIS) DUNTY OF WILL) SS		
IONATHAN C. CROSS, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ILLINOIS, DO EREBY CERTIFY THAT UNDER THE DIRECTION OF THE OWNER THEREOF, I HAVE SURVEYED, JBDIVIDED AND PLATTED SAID PROPERTY INTO LOTS AND STREETS ALL OF WHICH IS EPRESENTED ON THE PLAT HEREON DRAWN, THAT PART OF THE SOUTHWEST 1/4 OF SECTION , TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS DLLOWS:		5' 5'
ARCEL 1: ART OF THE EAST 138.8 FEET OF THE WEST 613.3 FEET OF THE SOUTH 469.7 FEET OF LOT 4 IN THE EST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE HRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS		 10.0' P.U. & D.E.
ARCEL 2:		HEREBY GRANTED
HE EAST 92 FEET OF THE SOUTH 469.7 FEET OF LOT 4 IN THE WEST 1/4 OF THE SOUTHWEST 1/4 OF ECTION 22, TOWNSHIP 35 NORTH, RANGE 12 EAST, EXCEPTING THEREFROM THE EAST 17.48 FEET OF HE EAST 92 FEET LOT 4, LYING SOUTH OF THE NORTH LINE OF LOTS 9,10, AND 11 EXTENDED WEST ND NORTH OF THE SOUTH LINE OF SAID LOTS 9,10, AND 11 EXTENDED WEST, ALL IN THE JBDIVISION OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE HIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.		N0°31'04"E 150.00'
DO FURTHER CERTIFY THAT: 1. THE ACCOMPANYING PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION AS MADE BY ME. 2. NO PART OF THIS SUBDIVISION IS LOCATED WITHIN A SPECIAL FLOOD HAZARD		
AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FIRM MAP NUMBER 17197C0213G, EFFECTIVE DATE 02/15/2019.		= $+$ $+$ $-$
 THE PROPERTY IS SITUATED WITHIN CORPORATE LIMITS OF THE VILLAGE OF FRANKFORT. 		
 TO THE BEST OF OUR KNOWLEDGE, ALL REGULATIONS ENACTED BY THE VILLAGE OF FRANKFORT HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT. 		
 ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL. EXTERIOR CORNERS HAVE BEEN MONUMENTED WITH CONCRETE, NOT LESS 		(138.80') N
THAN SIX INCHES (6") IN DIAMETER AND THIRTY-SIX INCHES (36") DEEP, WITH A CENTER COPPER DOWEL THREE INCHES (3") LONG CAST IN PLACE, AND ALL		BOWE
INTERIOR CORNERS ARE TO BE SET WITH 9/16" X 30" IRON RODS WITHIN ONE YEAR FROM DATE OF RECORDATION.		(HERETO
 THIS SUBDIVISION CONTAINS 2.33 ACRES. PIN: 19-09-27-304-012, & 19-09-27-304-013 		
ted this day of, 20, 20, c.		
DR REVIEW PURPOSES ONLY		
nathan C. Cross nois Professional Land Surveyor #035-003880		

License Expires November 30, 2024

PRELIMINARY AND FINAL PLAT OF VOORN LAWNDALE SUBDIVISION

AST 138.8 FEET OF THE WEST 613.3 FEET OF THE SOUTH 469.7 FEET OF LOT 4 IN THE WEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS

ET OF THE SOUTH 469.7 FEET OF LOT 4 IN THE WEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 35 NORTH, RANGE 12 EAST, EXCEPTING THE EAST 17.48 FEET OF THE EAST 92 FEET LOT 4, LYING SOUTH OF THE NORTH LINE OF LOTS 9,10, AND 11 EXTENDED WEST AND NORTH OF THE SAID LOTS 9,10, AND 11 EXTENDED WEST, ALL IN THE SUBDIVISION OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.



SCALE: 1" = 30' P.U. - PUBLIC UTILITY EASEMENT D.E. - DRAINAGE EASEMENT B.S.L. - BUILDING SETBACK LINE

CONCRETE MONUMENT

- FOUND IRON ROD

(###) - RECORDED LABEL

- MEASURED LABEL

PUBLIC UTILITY AND DRAINAGE EASEMENTS

All easements indicated as public utility and drainage easements on the plat are reserved for and granted to the Village of Frankfort and to those public utility companies operating under franchise from the Village of Frankfort, including, but not limited to, Ameritech Telephone Company, Nicor Gas Company, Commonwealth Edison Electric Company, Media One Cable Television Company and their successors and assigns, for perpetual right, privilege and authority to construct, reconstruct, repair, inspect, maintain and operate various utilities, transmission and distribution systems including storm and/or sanitary sewers, water mains, valve vaults, and hydrants together with any and all necessary manholes, catch basins, connections, appliances and other structures and appurtenances as may be deemed necessary by said Village of Frankfort, over, upon, along, under, through said indicated easement, together with right of access across property for necessary men and equipment to do any of the above work; The right is also granted to cut down, trim, or remove trees, shrubs, or other plants on the easement that interfere with the operation of the sewers and other utilities. No permanent buildings, trees or other structures shall interfere with the aforesaid uses or rights. Where an easement is used for both sewer and /or water mains and other utilities, the other utility installations are subject to the ordinances of the Village of Frankfort.

The placement of any landscaping not in with the approved landscape plan or grading plan for a given property, or any accessory building or structure, swimming pool, fence or other improvement which in any way could cause an impediment to the overland flow of storm water within said drainage easement

TAX MAPPING AND PLATTING CERTIFICATION

STATE OF ILLINOIS) COUNTY OF WILL) SS

DIRECTOR OF THE TAX MAPPING AND PLATTING OFFICE DO HEREBY CERTIFY THAT I HAVE CHECKED THE PROPERTY DESCRIPTION ON THIS PLAT AGAINST AVAILABLE COUNTY RECORDS AND FIND SAID DESCRIPTION TO BE TRUE AND CORRECT. THE PROPERTY HEREIN DESCRIBED IS LOCATED ON TAX MAP PAGE # 09-22C-W AND IDENTIFIED AS PERMANENT REAL ESTATE TAX INDEX NUMBER (PIN) 19-09-27-304-012, & 19-09-27-304-013

DATED THIS DAY OF ____A.D., 20____

DIRECTOR

COUNTY CLERK CERTIFICATION

STATE OF ILLINOIS) COUNTY OF WILL)SS

, COUNTY CLERK OF WILL COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, OR UNPAID CURRENT GENERAL TAXES AGAINST ANY OF THE ESTATE DESCRIBED IN THE FOREGOING CERTIFICATES.

WILL COUNTY CLERK

RECORDER CERTIFICATION

STATE OF ILLINOIS) COUNTY OF WILL)SS

THIS INSTRUMENT NO. WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF WILL COUNTY AFORESAID ON THE _____ DAY OF

_____A.D., 20_____ O'CLOCK M.

WILL COUNTY RECORDER

, A.D., 20____

DATE	BY	DESCRIPTION	SURVEYING
12/6/23	BPH	ISSUE FOR REVIEW	M GINGERICH GEREAUX & ASSOCIATES
1/4/24	BPH	ISSUE FOR REVIEW	MG2A WEST
			Professional Design Firm License # 184.00500
			I P 815-478-9680 www.mg2a.com F. 815-478-96
			P. 815-478-9680 www.mg2a.com F. 815-478-90 25620 S. GOUGAR RD MANHATTAN, IL. 604
			25620 S. GOUGAR RD MANHATTAN, IL. 604

THE CONTRACTOR MUST CHECK ALL DIMENSIONS, DETAILS AND JOBSITE CONDITIONS AND BE RESPONSIBLE FOR THEM. THIS FIRM SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION METHODS OR MEANS BY THE CONTRACTOR AND OR ANY SUBCONTRACTOR AND THEIR TRADESMEN.

ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY.

ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" SEE CODE BOOK. UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER ANSI SPECS.

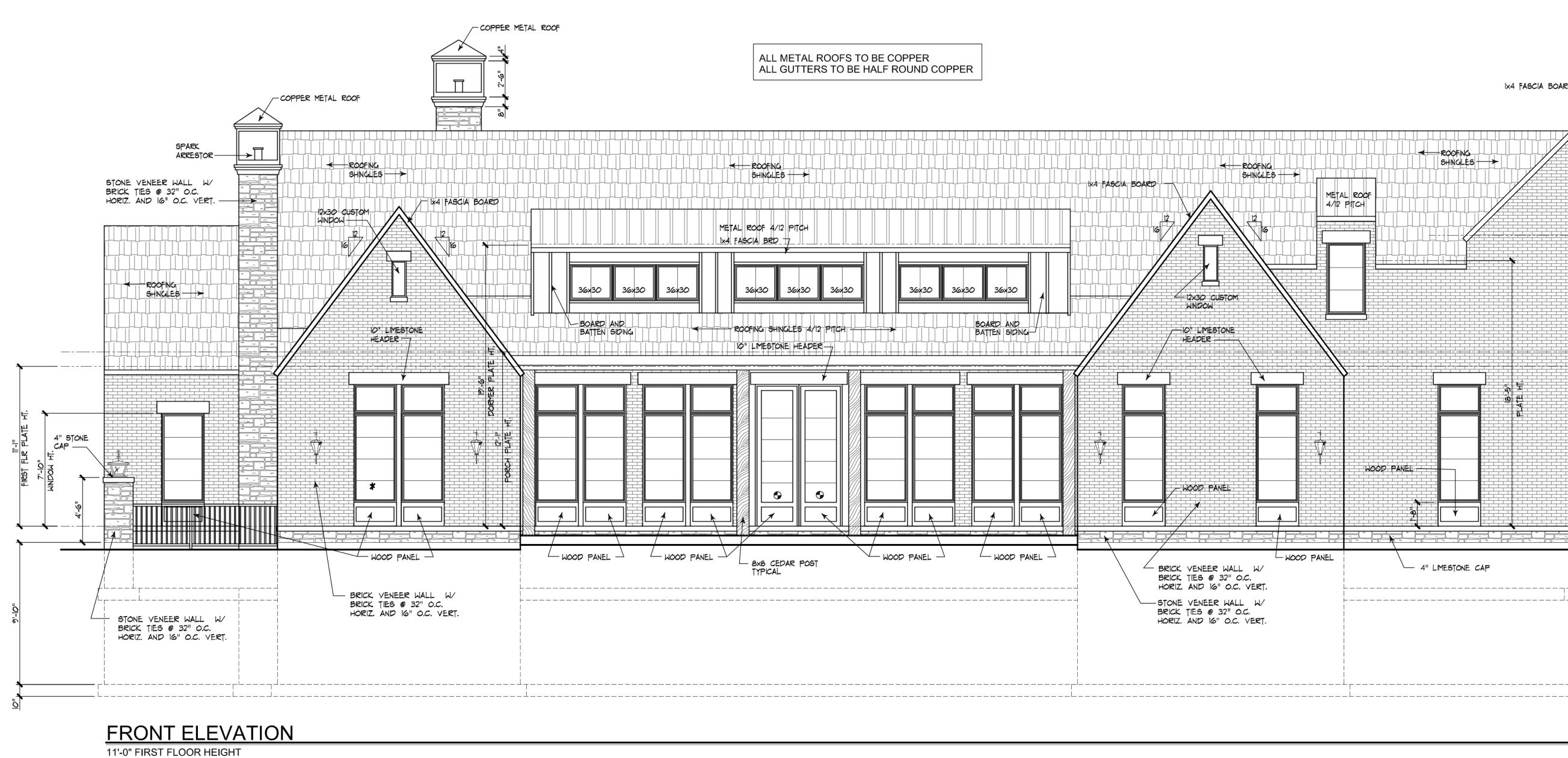
ALL WINDOWS AND PATIO DOORS DESIGNATIONS INDICATES "PELLA" MANUFACTURED WINDOWS. COORDINATE WINDOW AND DOOR MANUFACTURER WITH OWNER FOR EXACT SIZE AND TYPES.

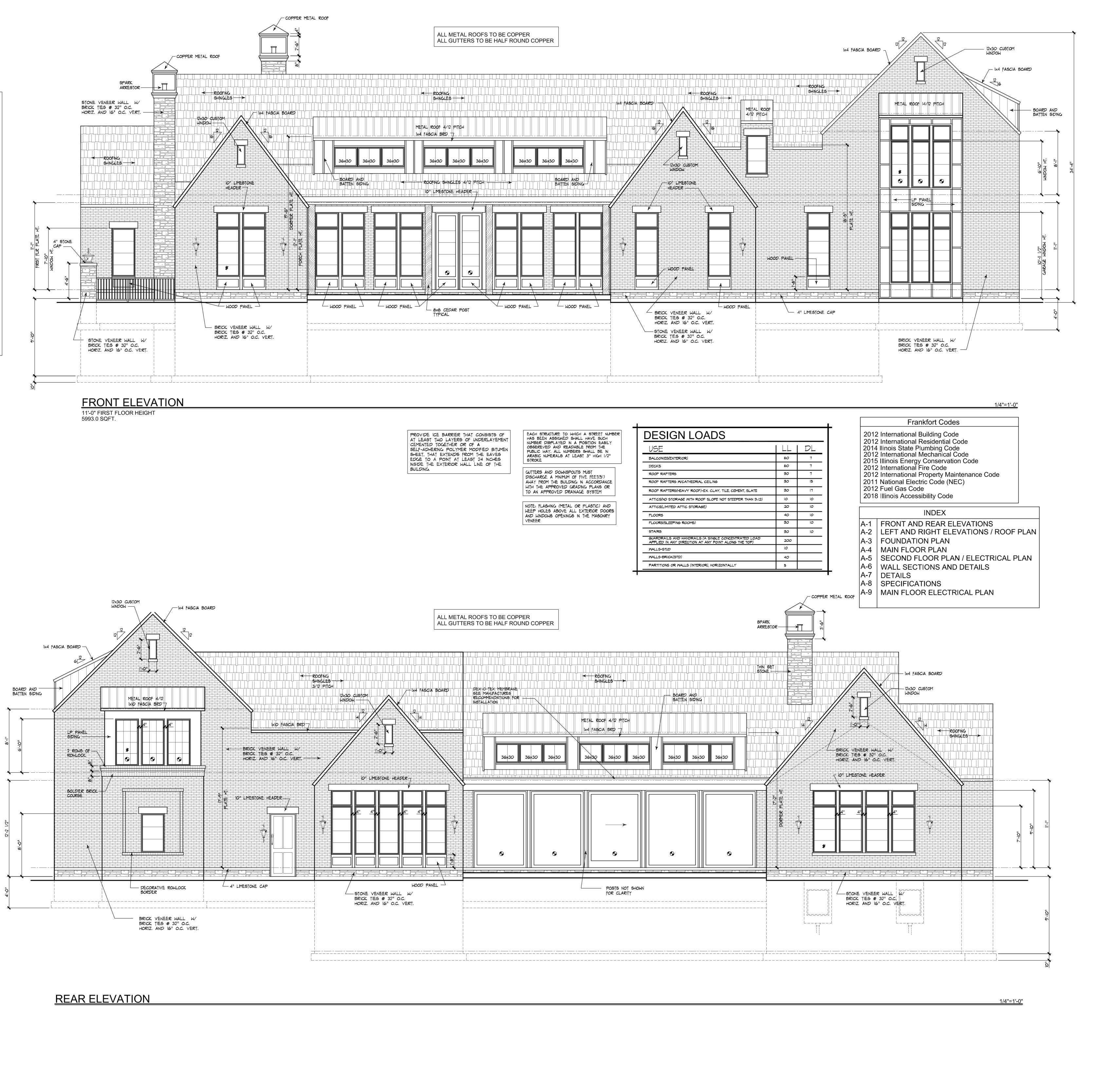
FIREPLACE FLUES TO BE MIN. (2'-0") ABOVE ANY ROOF SURFACE WITHIN A MIN. HORIZONTAL DISTANCE OF (10'-0"). ALL BRICK WORK SHALL BE TYPICAL BRICK VENEER, UNLESS NOTED OTHERWISE.

ALL SOLDIER AND ROWLOCK BRICK COURSE SHALL PROJECT 3/4" FROM FACE OF VENEER UNLESS NOTED OTHERWISE.

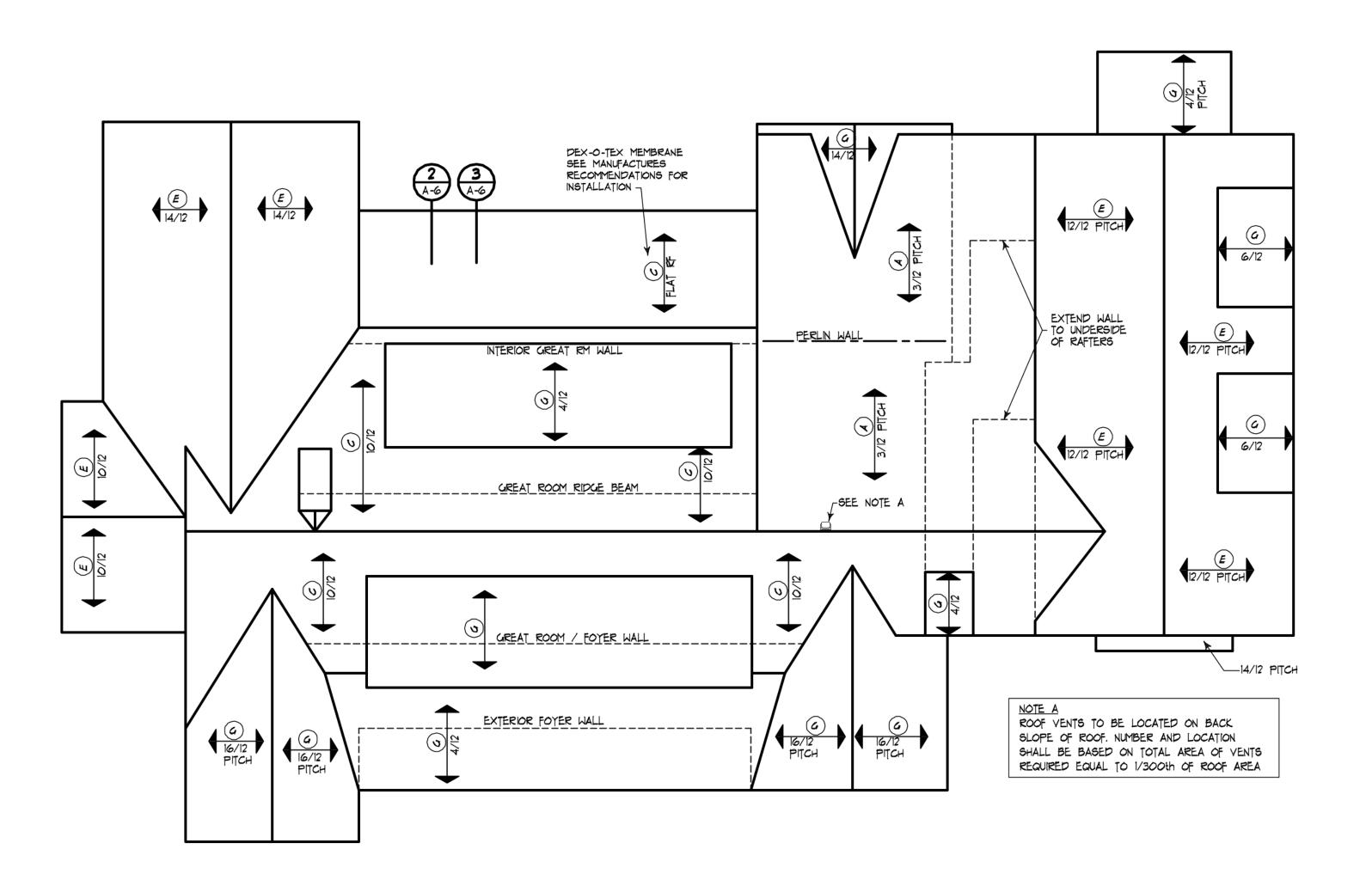
ALL JOIST AND RAFTERS TO BE CANADIAN SPRUCE PINE FIR #1/#2. ARCHITECT IS TO BE NOTIFIED IMMEDIATELY IF SPECIES IS TO BE CHANGED. CONCRETE SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. CONCRETE FOR PORCHES, STEPS, AND GARAGE FLOOR SLABS SHALL BE A MIN. OF 3500 PSI AND A MINIMUM 5% AND MAX. 7% AIR ENTRAINED.

THE BUILDING INSPECTOR MAY REQUIRE A SOIL BEARING TEST TO BE PERFORMED NY A GEOTECHNICAL ENGINEER WITH A REPORT SUBMITTED TO THE COUNTY. IT SHALL BE THE ARCHITECT'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE ENCOUNTERED GROUND MEETS THE DESIGN REQUIREMENTS SPECIFIED IN THE DRAWINGS. EXTERIOR OR LOAD BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE 16 GAGE AND 1 1/2 INCHES WIDE FASTENED TO EACH





DATE JOB # SHEET	Gander Builders	Bulin Custom Designs, Inc.	THESE DRAWINGS, SPECIFICATIONS, DESIGN, AND DETAILS ARE AND SHALL REMAIN THE PROPERTY OF	BY
	Ozinga Residence	Making Dreams become Reality	BULIN CUSION DESIGNS, INC. NO FARI SHALL BE REUSED IN ANY FORM WITHOUT THE EXPRESSED WRITTEN PERMISSION.	
	20 EACT Downon Ct	5703 Arbor Gate Drive, Plainfield, Illinois	WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER	
24.2	Brankfort Illinois	Phone: 815.861.1757 Fax: 815.577.9039	ALT THE DIMENSIONS AND FOR THE JOB, YEAR ALL ALL ALL ALL ALL ALL ALL ALL ALL A	
		BulinCustom@Gmail.com	SHOWN BY THESE DRAWINGS. DRAWN BY:RB	PREVIOUS: 00000



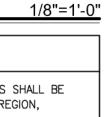
ROOF PLAN

GENERAL ROOF NOTES

- . USE CANADIAN SPRUCE-PINE-FIR NO.1/NO.2 FOR ROOF RAFTERS THRU 2x10's. 2x12's ROOF RAFTERS SHALL BE HEM-FIR(N) PER "THE U.S. SPAN BOOK FOR MAJOR LUMBER SPECIES" 2001 EDITION. SNOW REGION, MEDIUM ROOF COVERING, NO CEILING: 30 PSF LIVE, 15 PSF DEAD: * CARPENTER CONTRACTOR NOTE: THE ABOVE SPAN TABLES ARE TO BE USED FOR REFERENCE FOR MAXIMUM ROOF RAFTER SPAN. IF SUBCONTRACTOR IS ABLE TO SHORTEN THE SPAN BY USE OF PURLINS OR OTHER METHODS HE IS ALLOWED TO DO SO AS LONG AS HE DOES NOT EXCEED RAFTER SPANS ALLOWED BY CODE. FURTHERMORE, IF RAFTER SPAN IN A ROOF AREA CHANGES FROM MAXIMUM SPAN TO A LESSOR SPAN, THE CONTRACTOR MAY MAKE THAT ADJUSTMENT (IE. 2x10's TO 2x8's) BY ADJUSTMENT IN THE BIRD MOUTH CUT.
- 2. HIP OR VALLEY RAFTERS EXCEEDING 24'-0" IN LENGTH SHALL BE 1 3/4" WIDE GANG LAM MEMBERS X RAFTER DEPTH PLUS 2" DEEP. 3. ALL HIP VALLEY CRIPPLE JACKS SHALL BE INSTALLED AND SHALL BE EQUAL IN DEPTH AND SPACING TO
- MAIN RAFTER FRAMING INTO HIP OR VALLEY RAFTER. . COLLAR TIES SHALL BE INSTALLED PER LOCAL GOVERNING BUILDING CODES.
- 5. RAFTERS SHALL BE FRAMED TO EACH OTHER WITH A GUSSET PLATE, OR TO MINIMUM 1-INCH NOMINAL THICKNESS RIDGE BOARD, NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. A MINIMUM 2-INCH NOMINAL THICKNESS VALLEY OR HIP RAFTER IS REQUIRED AT ALL VALLEYS AND HIPS, NOT LESS THAN THE DEPTH OF THE CUT END OF THE RAFTER, AND SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTION.

DESIGN LOADS

USE		
BALCONIES(EXTERIOR)	60	٦
DECKS	60	٦
ROOF RAFTERS	30	٦
ROOF RAFTERS W/CATHEDRAL CEILING	30	15
ROOF RAFTERS(HEAVY ROOF)-EX CLAY, TILE, CEMENT, SLATE	30	17
ATTICS (NO STORAGE WITH ROOF SLOPE NOT STEEPER THAN 3:12)	10	10
ATTICS(LIMITED ATTIC STORAGE)	20	10
FLOORS	40	10
FLOORS(SLEEPING ROOMS)	30	10
STAIRS	30	10
GUARDRAILS AND HANDRAILS (A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP)	200	
WALLS-STUD	0	
WALLS-BRICK(STD)	40	
PARTITIONS OR WALLS (INTERIOR), HORIZONTALLY	5	



RA	TER SCHEDULE
	2 x 12 @ 16" O.C. (HEM-FIR (N)) MAX SPAN OF 22'-3"
B	2 x 12 @ 12" O.C. (HEM-FIR (N)) MAX SPAN OF 25'-9"
\bigcirc	2 x 10 @ 16" O.C. (5.P.F. *2) MAX SPAN OF 18'-5"
Ø	2 x 10 @ 12" O.C. (5.P.F. #2) MAX SPAN OF 21'-4"
E	2 x 8 @ 16" O.C. (S.P.F. #2) MAX SPAN OF 15'-1"
F	2 × 8 @ 12" O.C. (S.P.F. #2) MAX SPAN OF 17'-5"
٩	2 x 6 @ 16" O.C. (5.P.F. #2) MAX SPAN OF 11'-11"
(\mathcal{H})	2 x 6 @ 12" O.C. (S.P.F. #2) MAX SPAN OF 13'-9"

THE CONTRACTOR MUST CHECK ALL DIMENSIONS, DETAILS AND JOBSITE CONDITIONS AND BE RESPONSIBLE FOR THEM. THIS FIRM SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION METHODS OR MEANS BY THE CONTRACTOR AND OR ANY SUBCONTRACTOR AND THEIR TRADESMEN.
ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY.
★ ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" SEE CODE BOOK.

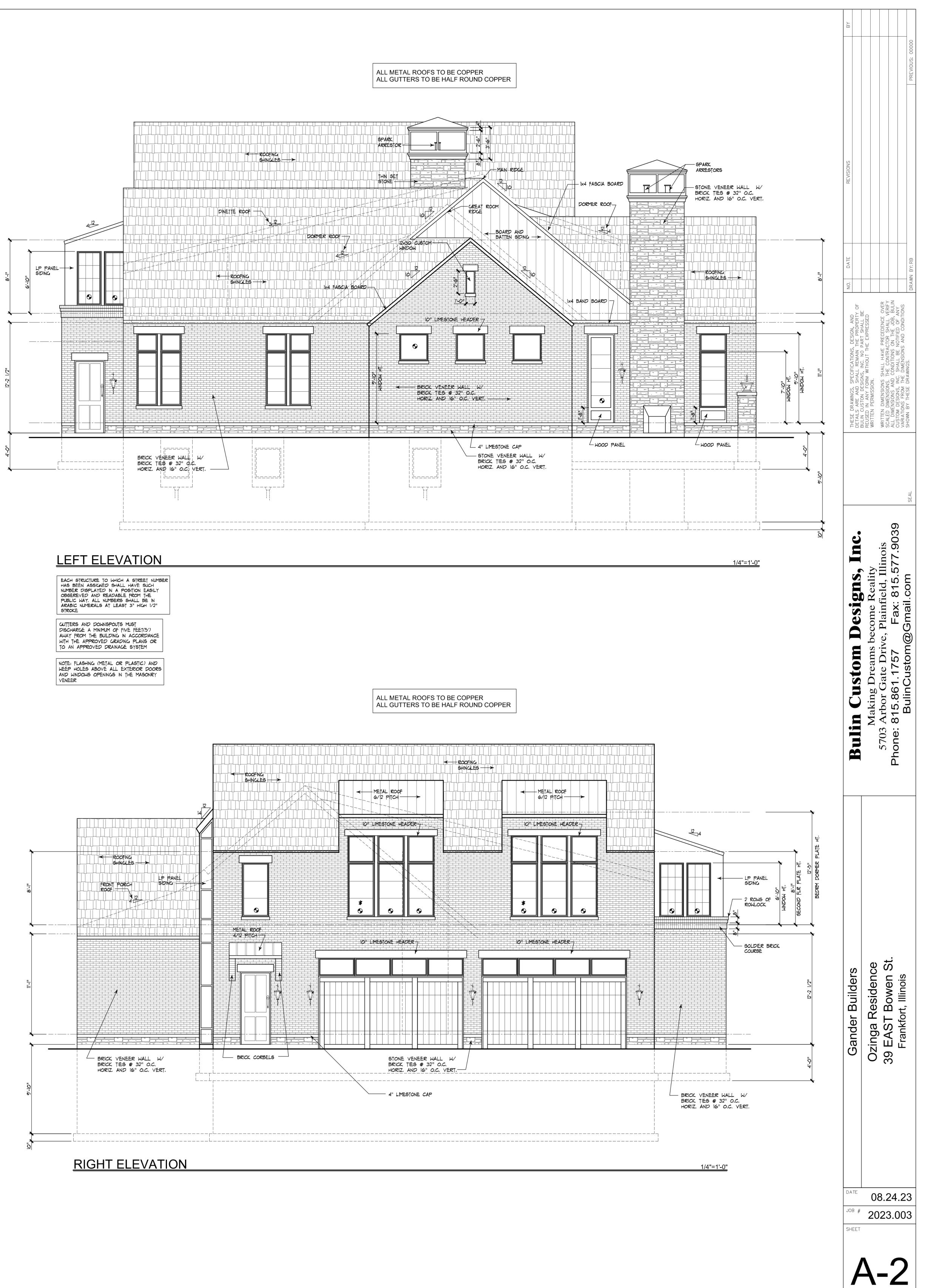
UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER ANSI SPECS. ALL WINDOWS AND PATIO DOORS DESIGNATIONS INDICATES "PELLA" MANUFACTURED WINDOWS.

COORDINATE WINDOW AND DOOR MANUFACTURER WITH OWNER FOR EXACT SIZE AND TYPES. FIREPLACE FLUES TO BE MIN. (2'-0") ABOVE ANY ROOF SURFACE WITHIN A MIN. HORIZONTAL DISTANCE OF (10'-0").

ALL BRICK WORK SHALL BE TYPICAL BRICK VENEER, UNLESS NOTED OTHERWISE. ALL SOLDIER AND ROWLOCK BRICK COURSE SHALL PROJECT 3/4" FROM FACE OF VENEER UNLESS NOTED OTHERWISE.

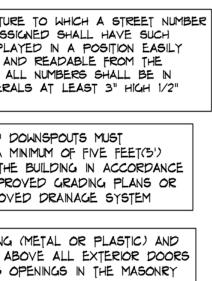
ALL JOIST AND RAFTERS TO BE CANADIAN SPRUCE PINE FIR #1/#2. ARCHITECT IS TO BE NOTIFIED IMMEDIATELY IF SPECIES IS TO BE CHANGED. CONCRETE SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. CONCRETE FOR PORCHES, STEPS, AND GARAGE FLOOR SLABS SHALL BE A MIN. OF 3500 PSI AND A MINIMUM 5% AND MAX. 7% AIR ENTRAINED.

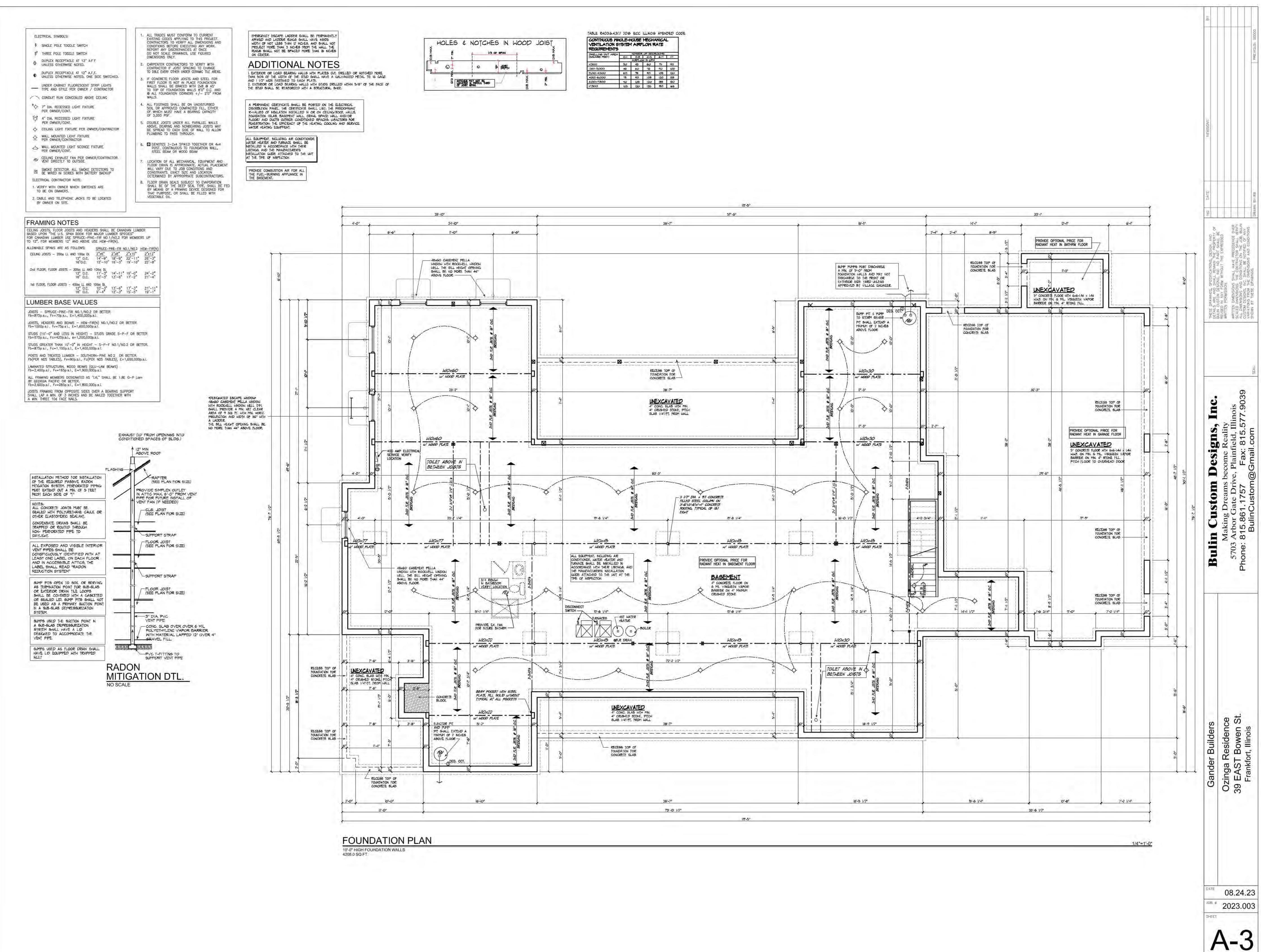
THE BUILDING INSPECTOR MAY REQUIRE A SOIL BEARING TEST TO BE PERFORMED NY A GEOTECHNICAL ENGINEER WITH A REPORT SUBMITTED TO THE COUNTY. IT SHALL BE THE ARCHITECT'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE ENCOUNTERED GROUND MEETS THE DESIGN REQUIREMENTS SPECIFIED IN THE DRAWINGS. EXTERIOR OR LOAD BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE 16 GAGE AND 1 1/2 INCHES WIDE FASTENED TO EACH



EACH STRUCT HAS BEEN AS NUMBER DISP OBSEREVED PUBLIC WAY. ARABIC NUME STROKE
GUTTERS AND DISCHARGE A AWAY FROM T WITH THE APP TO AN APPRO
NOTE: FLASHIN WEEP HOLES AND WINDOWS VENEER







HOLES ¢		HES IN L	4000	JOIST
	0			0 + 0
	ANY HERE THE	-	- WAX	Ž.

	OLE-HOUSE MECHANICAL YSTEM AIRFLOW RATE				
DWELLING UNIT AREA		NUMBER	OF BEDR	ROOMS	
OWELLING UNIT AREA (SQUARE FEET)	0-1	2-8	45	6-7	37
	-	AIRFLO	N IN CEM	1	_
<1500	30	45	60	ち	90
1501-3,000	45	60	75	40	105
9,001-4500	60	ù,	40	105	120
4,501-8,000	75	90	105	120	195
6,001-7,500	40	105	120	195	150
17500	105	120	155	150	165

THE CONTRACTOR MUST CHECK ALL DIMENSIONS. DETAILS AND JOBSITE CONDITIONS AND BE RESPONSIBLE FOR THEM. THIS FIRM SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION METHODS OR MEANS BY THE CONTRACTOR AND OR ANY SUBCONTRACTOR AND THEIR TRADESMEN. ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS O VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY.

ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" SEE CODE BOOK. UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER

ANSI SPECS. RAILINGS: HANDRAILS HAVING MIN. AND MAX. HEIGHTS OF 34 INCHES AND 38 INCHES, RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAY OF THREE OR MORE RISERS AND SHALL EXTEND 6 INCHES BEYOND THE TOP AND BOTTOM RISERS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.

BELOW SHALL HAVE GUARDRAILS. HANDRAILS THAT FORM PART OF A GUARDRAIL SHALL BE 34 INCHES MIN. AND 38 INCHES MAX. THE HAND GRIP PORTION OF THE HANDRAILS SHALL

BE NOT MORE THAN 2 5/8" IN CROSS-SECTIONAL DIMENSION, OR THE SHAPE SHALL PROVIDE AND EQUIVALENT GRIPPING SURFACE. THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FORM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.

PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36 INCHES IN HEIGHT. HANDRAILS THAT FORM PART OF A GUARDRAIL SHALL BE 36 INCHES MIN. AND 38 INCHES MAX. REQUIRED GUARDRAILS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF AN OBJECT 4 INCHES OR MORE IN DIAMETER.

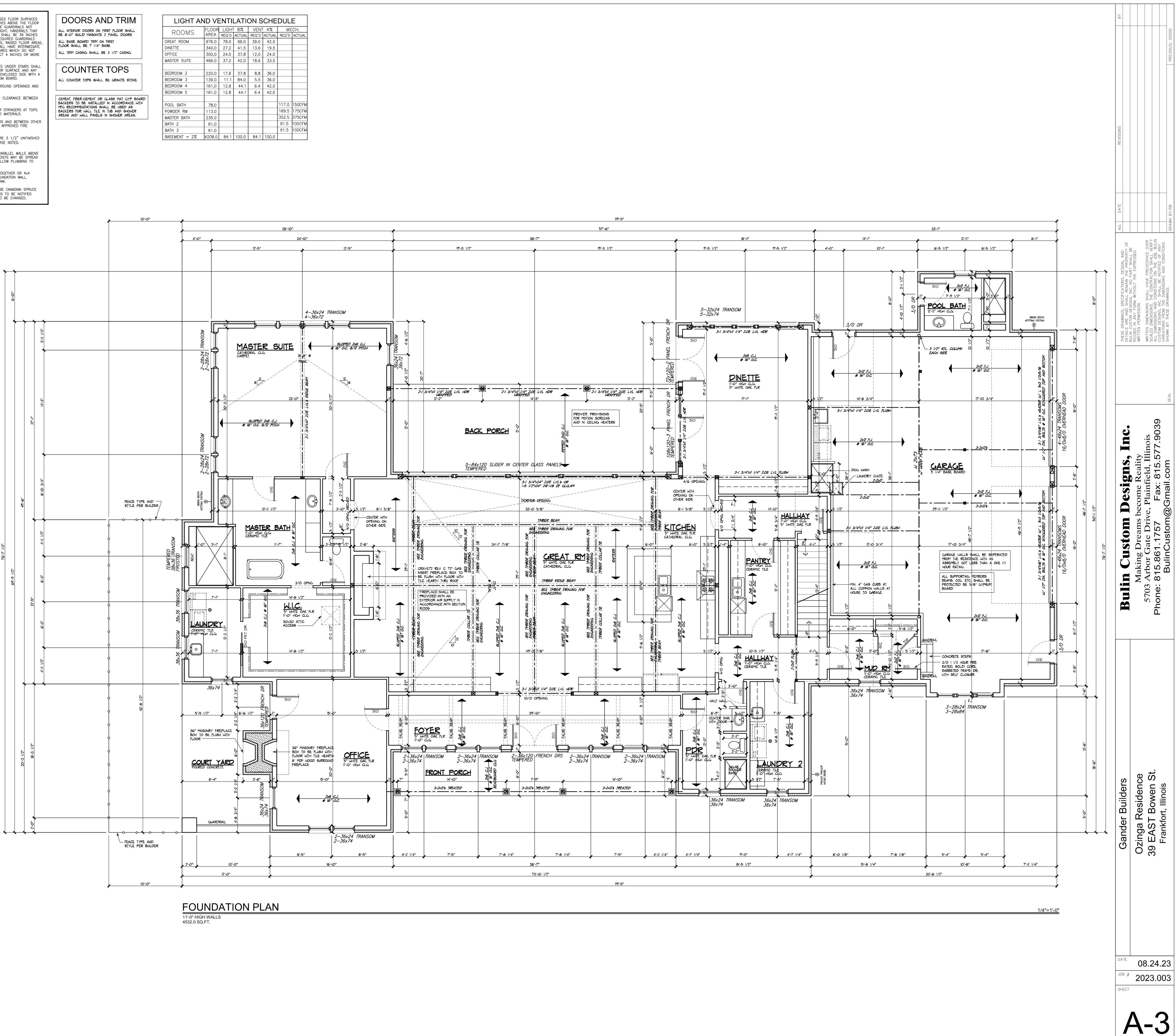
ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE THE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH A MINIMUM OF 1/2 INCH GYPSUM BOARD. DOUBLE FRAMING MEMBERS AROUND OPENINGS AND BELOW PARALLEL PARTITIONS. MAINTAIN MINIMUM OF 2 INCH CLEARANCE BETWEEN FLUES AND FRAMING. FIRE STOP SOFFITS AND STAIR STRINGERS AT TOPS AND BOTTOMS WITH APPROVED MATERIALS. FILL CAVITIES BETWEEN FLOORS AND BETWEEN OTHER FIRE SEPARATED ZONES WITH APPROVED FIRE STOPPING MATERIALS.

OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE (2x4 STUDS) UNLESS OTHERWISE NOTED. (2x4 STUDS) UNLESS OTHERWISE NOTED. DOUBLE JOISTS UNDER ALL PARALLEL WALLS ABOVE BEARING AND NONBEARING, JOISTS MAY BE SPREAD TO EACH SIDE OF WALL TO ALLOW PLUMBING TO PASS THROUGH.

> ⊠ DENOTES 3-2x4 SPIKED TOGETHER OR 4x4 POST, CONTINUOUS TO FOUNDATION WALL, STEEL BEAM OR WOOD BEAM. ALL JOIST AND RAFTERS TO BE CANADIAN SPRUCE PINE FIR #1/#2. ARCHITECT IS TO BE NOTIFIED IMMEDIATELY IF SPECIES IS TO BE CHANGED.

FRAMING NOTE	ES				
CEILING JOISTS, FLOOR JOIST BASED UPON "THE U.S. SPAN FOR CANADIAN LUMBER USE TO 12". FOR MEMBERS 12"	N BOOK FOR SPRUCE-PINE	MAJOR LU E-FIR NO.1	MBER SPE /NO.2 FO	ECIES"	
ALLOWABLE SPANS ARE AS F	OLLOWS:				HEM-FIR(N)
CEILING JOISTS – 201bs LL AI	ND 10lbs DL 12" O.C. 16"O.C.	<u>2"x6"</u> 14'-9" 12'-10"	<u>2"x8"</u> 18'-9" 16'-3"	2"x10" 22'-11" 19'-10"	2"x12" 26'-3" 22'-8"
2nd FLOOR, FLOOR JOISTS -	30lbs LL AND 12" O.C. 16" O.C.	10lbs DL 11'-3" 10'-3"	14'-11" 13'-6"	19'–0" 17'–2"	24'-2" 21'-4"
1st FLOOR, FLOOR JOISTS -	40lbs LL AND 12" O.C. 16" O.C.	10lbs DL 10'-3" 9'-4"	13'-6" 12'-3"	17'–3" 15'–5"	21'-11" 19'-1"
LUMBER BASE	VALUE	S			
JOISTS – SPRUCE-PINE-FIR Fb=875p.s.i., Fv=70p.s.i., E			₹.		
JOISTS, HEADERS AND BEAM Fb=1000p.s.i., Fv=75p.s.i., I	S - HEM-FIF E=1,600,000p	R(N) NO.1/ s.i.	'NO.2 OR	BETTER.	
STUDS (10'-0" AND LESS II Fb=675p.s.i., Fc=425p.s.i.,	N HEIGHT) – e=1,200,000p	STUDS GR .s.i.	ADE S-P	-F OR BE	TTER.
STUDS GREATER THAN 10'-0 Fb=875p.s.i., Fc=1,100p.s.i.	0" IN HEIGHT , E=1,400,00	— S—P—F Op.s.i.	NO.1/NO	0.2 OR BE	TTER.
POSTS AND TREATED LUMBE $Fb(PER NDS TABLES), Fv=90$					o.s.i.
LAMINATED STRUCTURAL WOO Fb=2,400p.s.i., Fv=165p.s.i.,	D BEAMS (GL , E=1,900,000	_U—LAM BE Op.s.i.	EAMS)		
ALL FRAMING MEMBERS DES BY GEORGIA PACIFIC OR BE Fb=2,600p.s.i., Fv=285p.s.i.,	ITER.		_ BE 1.8E	E G—P Lar	n
JOISTS FRAMING FROM OPPO SHALL LAP A MIN. OF 3 INC A MIN. THREE 10d FACE NA	CHES AND BE				

ST	EEL LINTELS FC	R MASONRY
CLEAR SPAN(MAX)	EXTERIOR ANGLES	INTERIOR ANGLES
4'-0"	L 3 1/2" x 3 1/2" x 5/16"	2 L's 3 1/2" x 3 1/2" x 5/16"
6'-0"	L 4" x 3 1/2" x 5/16"	2 L's 4" x 3 1/2" x 5/16"
8'-0"	L 5" x 3 1/2" x 5/16"	2 L's 5" x 3 1/2" x 5/16"



LIGHT A	ND VE	ΕΝΤΙ	LATI	ON S	CHE	DUL	E
DOONE	FLOOR	LIGH	T 8%	VENT	Г 4%	ME	CH.
ROOMS	AREA	REQ'D	ACTUAL	REQ'D	ACTUAL	REQ'D	ACTUA
GREAT ROOM	976.0	78.0	96.0	39.0	42.0		
DINETTE	340.0	27.2	41.5	13.6	19.5		
OFFICE	300.0	24.0	37.8	12.0	24.0		
MASTER SUITE	466.0	37.2	42.0	18.6	33.5		
BEDROOM 2	220.0	17.6	37.8	8.8	36.0		
BEDROOM 3	139.0	11.1	84.0	5.5	36.0		
BEDROOM 4	161.0	12.8	44.1	6.4	42.0		
BEDROOM 5	161.0	12.8	44.1	6.4	42.0		
POOL BATH	78.0					117.0	150CF
POWDER RM	113.0					169.5	175CF
MASTER BATH	235.0					352.5	375CF
BATH 2	61.0					91.5	100CF
BATH 3	61.0					91.5	100CF
BASEMENT = 2%	4208.0	84.1	100.0	84.1	100.0		

RAILINGS: HANDRAILS HAVING MIN. AND MAX. HEIGHTS	FLUES AND FRAMING.
OF 34 INCHES AND 38 INCHES, RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE	FIRE STOP SOFFITS AND STAIR STRINGERS A AND BOTTOMS WITH APPROVED MATERIALS.
DF STAIRWAY OF THREE OR MORE RISERS AND SHALL EXTEND 6 INCHES BEYOND THE TOP AND BOTTOM RISERS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.	FILL CAVITIES BETWEEN FLOORS AND BETWE FIRE SEPARATED ZONES WITH APPROVED FIF STOPPING MATERIALS.
OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS. HANDRAILS THAT FORM PART OF A GUARDRAIL SHALL BE 34 INCHES	ALL UNDIMENSIONED WALLS ARE 3 1/2" UN (2x4 STUDS) UNLESS OTHERWISE NOTED,
MIN, AND 38 INCHES MAX. THE HAND GRIP PORTION OF THE HANDRAILS SHALL BE NOT MORE THAN 2 5/8" IN CROSS-SECTIONAL DIMENSION, OR THE SHAPE SHALL PROVIDE AND	DOUBLE JOISTS UNDER ALL PARALLEL WALL BEARING AND NONBEARING, JOISTS MAY BE TO EACH SIDE OF WALL TO ALLOW PLUMBIN PASS THROUGH.
EQUIVALENT GRIPPING SURFACE. THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FORM A WALL SHALL HAVE A SPACE	DENOTES 3-2x4 SPIKED TOGETHER OR POST, CONTINUOUS TO FOUNDATION WAL STEEL BEAM OR WOOD BEAM.
OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL	ALL JOIST AND RAFTERS TO BE CANADIAN S PINE FIR #1/#2. ARCHITECT IS TO BE NOTI IMMEDIATELY IF SPECIES IS TO BE CHANGED
FRAMING NOTES	TABLE R403
EILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CAI BASED UPON "THE U.S. SPAN BOOK FOR MAJOR LUMBER S FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR NO.1/NO.2 TO 12". FOR MEMBERS 12" AND ABOVE USE HEM-FIR(N).	PECIES"
	NO.1/NO.2 HEM-FIR(N)
CEILING JOISTS - 2016s LL AND 1016s DL 2"x8" 12" O.C. 14'-9" 18"-9" 16"O.C. 12'-10" 16'-3"	22'-11" 26'-3" 130-3,000
2nd FLOOR, FLOOR JOISTS - 30lbs LL AND 10lbs DL 12" O.C. 11'-3" 14'-11 16" O.C. 10'-3" 13'-6'	1" 19'-0" 24'-2" \$1500
1st FLOOR, FLOOR JOISTS - 40lbs LL AND 19lbs DL 12" O C 10'-3" 13'-6' 16" O.C. 9'-4" 12'-3'	, 17'-3" 21'-11" 15'-5" 19'-1"
LUMBER BASE VALUES	
JOISTS – SPRUCE-PINE-FIR NO.1/NO.2 OR BETTER. Fb=B75p.s.i., Fv=70p.s.i., E=1,400,000p.s.i,	
JOISTS, HEADERS AND BEAMS - HEM-FIR(N) NO.1/NO.2 O Fb=1000p.s.i , Fv=75p.s.i , E=1,600,000p.s.i	R BETTER.
STUDS (10'-0" AND LESS IN HEIGHT) - STUDS GRADE S- Fb=675p.s.i., Fc=425p.s.i., e=1,200,000p.s.i.	P-F OR BETTER.
STUDS GREATER THAN 10°-0" IN HEIGHT - S-P-F NO.1/1 Fb=875p.s i., Fc=1,100p.s i., E=1,400,000p.s.i.	NO.2 OF BETTER.
POSTS AND TREATED LUMBER - SOUTHERN-PINE NO.2 Q Fb(PER NDS TABLES), Fv=90p.s.J., Fc(PER NDS TABLES), E	
LAMINATED STRUCTURAL WOOD BEAMS (GLU-LAM BEAMS) Fb=2,400p.s.i., Fv=165p.s.i., E=1,900,000p.s.i.	
ALL FRAMING MEMBERS DESIGNATED AS "LVL" SHALL BE 1. BY GEORGIA PACIFIC OR BETTER. Fb=2,600p.s.l., Fv=285p.s.l., E=1,800,000p.s.i.	8E G-P Lam
JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING S SHALL LAP A MIN, OF 3 INCHES AND BE NAILED TOGETHER A MIN, THREE 10d FACE NAILS.	
STEEL LINTELS FOR MASON	
CLEAR EXTERIOR ANGLES INTERIOR	ANGLES
DPAN(MAX)	1/2 x 5/16
4'-0" L 3 1/2" x 3 1/2" x 5/16" Z L's 3 1/2" x 3	/2" x 5/16"
DPAN(MAX)	the second s

Continuous wh Ventilation st Requirements					
DWELLING UNIT AREA	1	NUMBER	OF BED	ROOMS	-
QUARE FEET)	0-1	AIRFLO)	4-2 NIN CEM	6-7	ET.
500	90	45	60	博	40
501-3,000	45	60	75	90	105
3,001-4500	60	75	90	105	120
4,501-6,000	75	10	109	120	135
5001-7500	10	105	120	195	150

DOORS AND TRIM ALL INTERIOR DOORS ON SECOND FLOOR SHALL BE 7'-0" SOLID MASONITE 2 PANEL DOORS ALL BASE BOARD TRM ON FIRST FLOOR SHALL BE 7 1/4" DAGE ALL TRM CASING SHALL BE 4 1/2" CASING

NOTE: CEMENT, FIBER CEMENT OR GLASS MAT CITESUM BACKERS IN COMPLIANCE WITH ASTM C DB8, C D25 OR C 1178 AND INSTALLED N ACCORDANCE WITH MANUFACTURE'S RECOMMODATIONS SHALL BE USED AS BACKERS FOR WALL TILE N TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS.

THE CONTRACTOR MUST CHECK ALL DIMENSIONS. DETAILS AND JOBSITE CONDITIONS AND BE RESPONSIBLE FOR THEM. THIS FIRM SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION METHODS OR MEANS BY THE CONTRACTOR AND OR ANY SUBCONTRACTOR AND THEIR TRADESMEN.

PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36 INCHES IN HEIGHT. HANDRAILS THAT FORM PART OF A GUARDRAIL SHALL BE 36 INCHES MIN. AND 38 INCHES MAX. REQUIRED GUARDRAILS ON OPEN SIDES OF STARWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR DRNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF AN OBJECT 4 INCHES OR MORE IN DIAMETER.

ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE THE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH A MINIMUM OF 1/2 INCH GYPSUM BOARD. DOUBLE FRAMING MEMBERS AROUND OPENINGS AND BELOW PARALLEL PARTITIONS. MAINTAIN MINIMUM OF 2 INCH CLEARANCE BETWEEN FLUES AND FRAMING. FIRE STOP SOFFITS AND STAIR STRINGERS AT TOPS EEN OTHER FINISHED ABOVE SPREAD G TO 4×4

ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY. ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" SEE CODE BOOK.

UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER

ANSI SPECS.

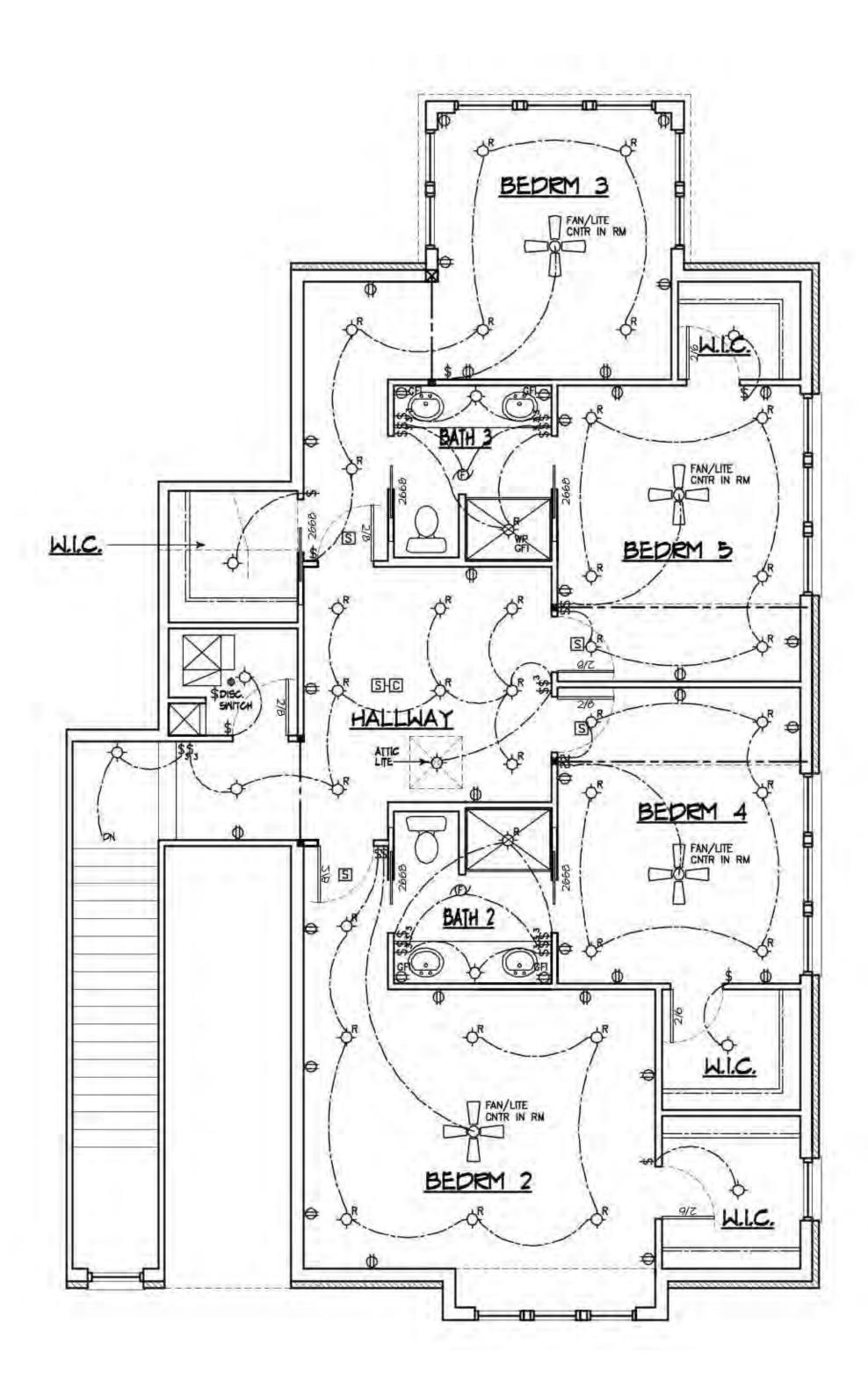
IPRUCE -----

Continuous wh Ventilation s' Requirements	OLE-H	AIRE	LOW R	ANICA	-		
DWELLING UNIT AREA	1. 1. 1. 1.	NUMBER	OF BEDA	ROOMS			
(SOLIARE FEET)	0-1	2-5	4-2	6-7	13		
the start of the second of	AIRFLOW IN GAM						
1300	90	45	60	市	10		
1301-3,000	45	60	75	90	105		
8,001-4,500	60	75	90	105	120		
4501-6,000	75	RO.	109	120	135		
6,001-7,500	40	105	120	185	150		
1500	105	120	155	150	165		

GLUED RIGHT INSULATION GLUED RIGHT INSULATION EQAUL TO R-49 ON ATTIC ACCESS PANEL 1/2" GYPSUM BOARD

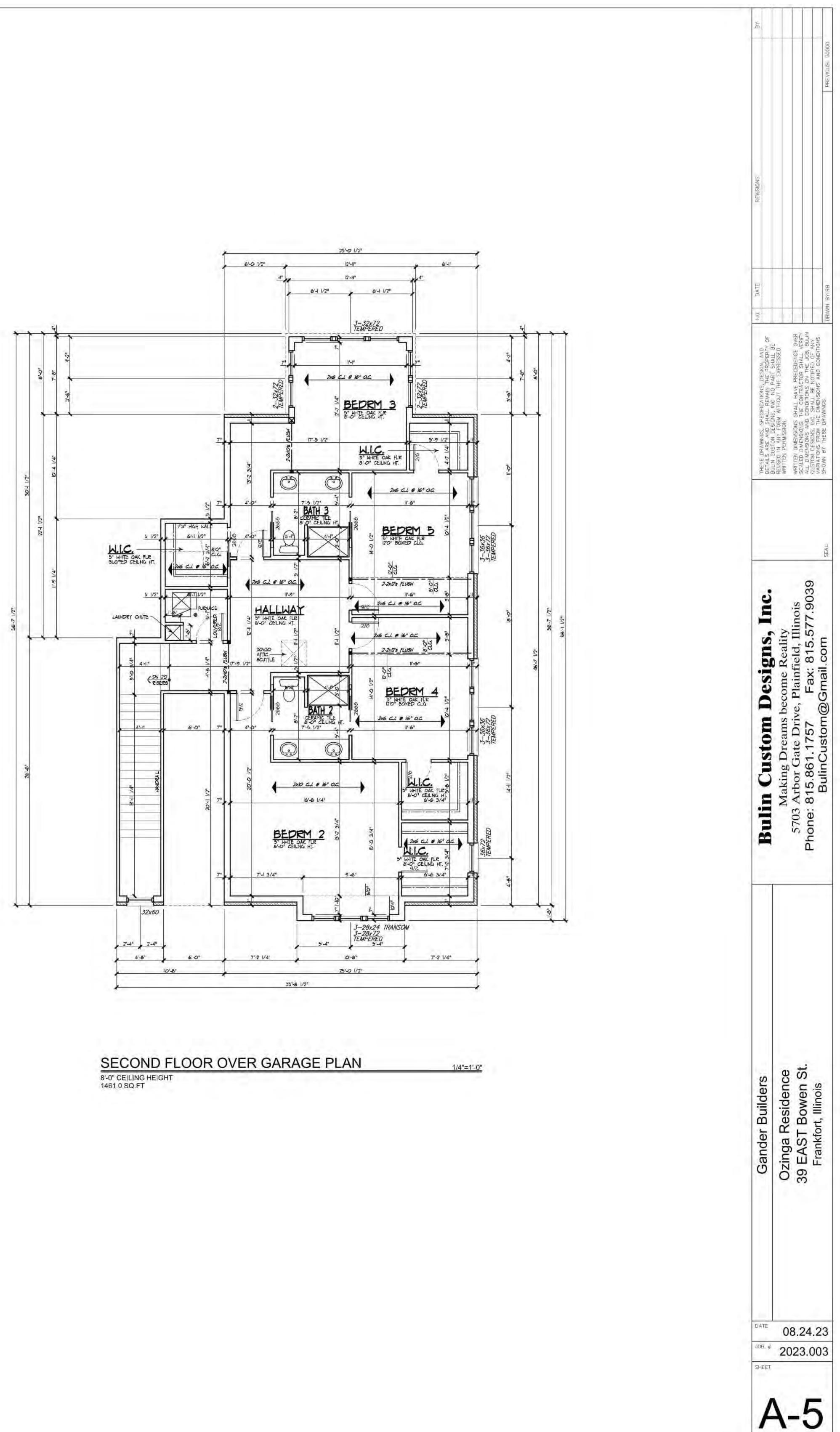
WB HAX	+	1/3 OF SPAN	1	AN BIO
	0	· 문화		0+ 0+
MAX NAX	M MBLE HI			MIN

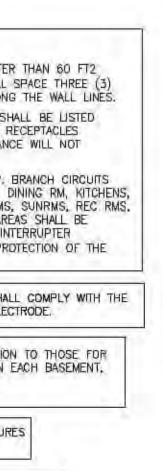




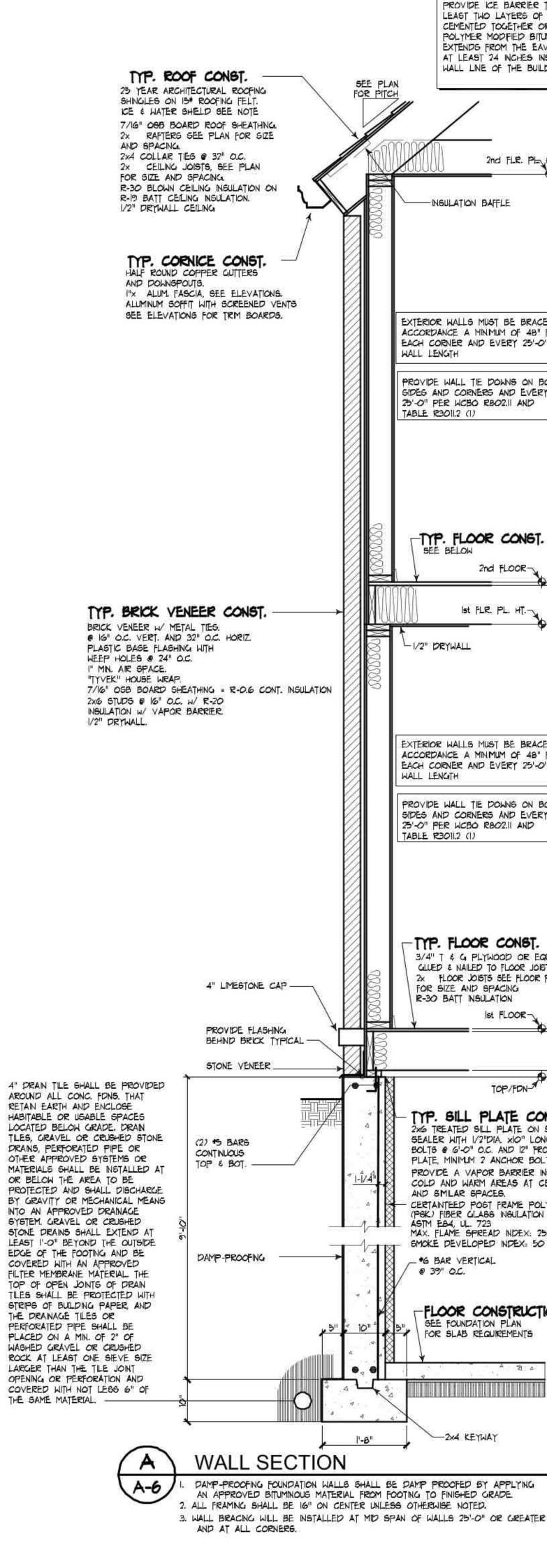
SECOND FLOOR ELECTRICAL PLAN

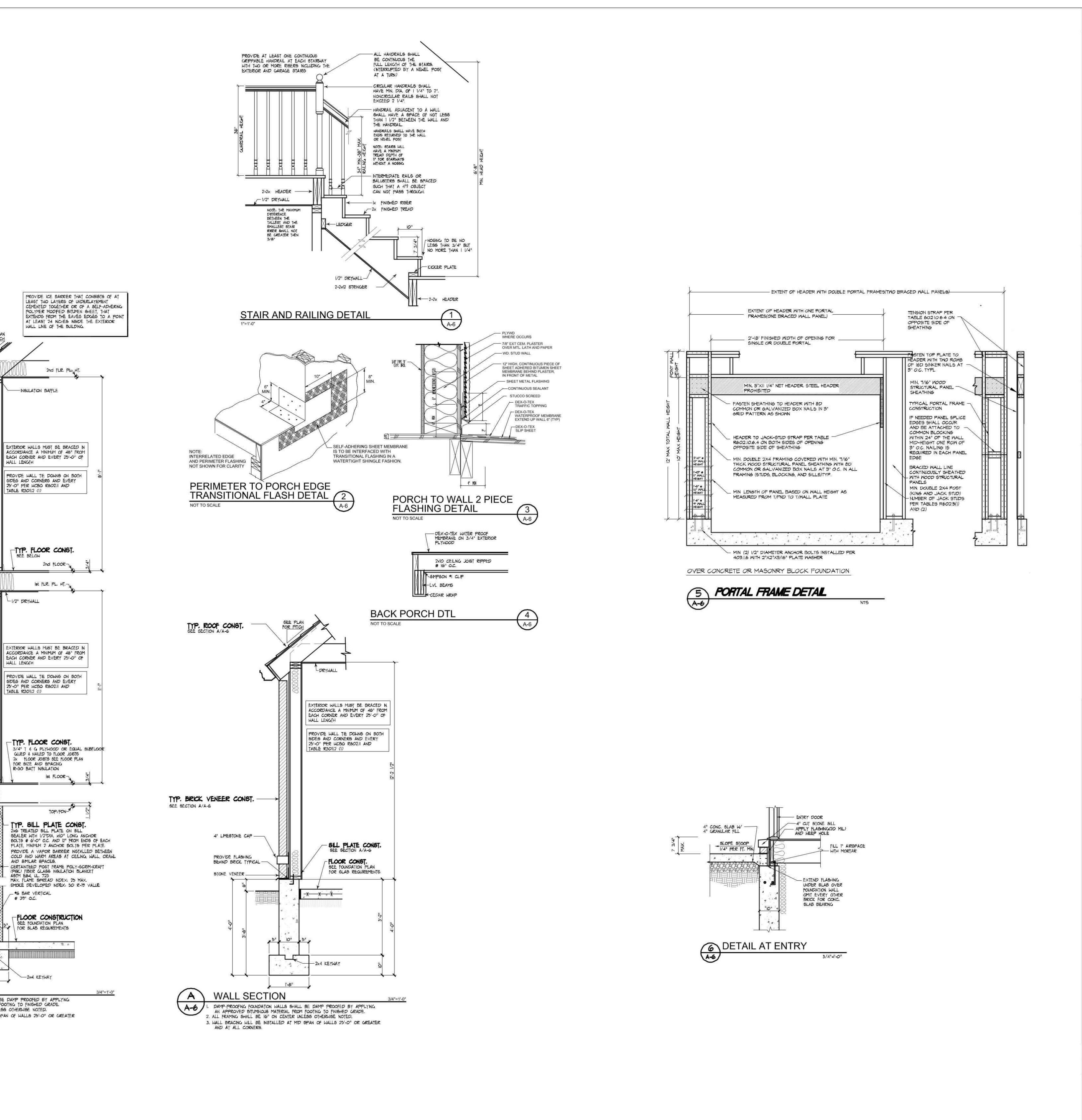
ELECTRICAL SYMBOLS:		NEC ELECTRICAL NOTES
\$ SINGLE POLE TOGGLE SWITCH	MOTOR	FOYERS, NOT PART OF A HALLWAY AND GREATER THAN 60 F
\$ ³ THREE POLE TOGGLE SWITCH	SMOKE DETECTOR. ALL SMOKE DETECTORS TO BE WIRED IN SERIES WITH BATTERY	SHALL HAVE WALL RECEPTACLES IN EACH WALL SPACE THREE FEET OR MORE IN WIDTH AND UNBROKEN ALONG THE WALL I
DUPLEX RECEPTACLE AT 12" A.F.F. UNLESS OTHERWISE NOTED.	BACKUP	ALL 125-VOLT, 15 & 20 AMP RECEPTACLES SHALL BE LISTE TAMPER-RESISTANT RECEPTACLES. EXCEPTION: RECEPTACLES LOCATED BEHIND A NOT EASILY MOVED APPLIANCE WILL NOT REQUIRE A TAMPER-RESISTANT RECEPTACLE.
DUPLEX RECEPTACLE AT 12" A.F.F. UNLESS OTHERWISE NOTED, ONE SIDE SWITCHED.	CEILING FAN JUNCTION BOX CAPPED	ALL 125-VOLT, SINGLE PHASE, 15 & 20 AMP. BRANCH CIRC SUPPLYING OUTLETS INSTALLED IN FAMILY RM, DINING RM, KI
CONDUIT RUN CONCEALED ABOVE CEILING	DC DOOR CHIME	LIVING RM. PARLORS, LIBRARIES, DENS, BEDRMS, SUNRNS, RI CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE
OR RECESSED LIGHT FIXTURE	THERMOSTAT	PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER "COMBINATION TYPE" INSTALLED TO PROVIDE PROTECTION OF BRANCH CIRCUIT.
EB. 4" DIA, EYE-BALL RECESSED LIGHT FIXTURE	PHONE PHONE	DRANCH CIRCUIT.
- 4" DIA, EYE-BALL RECESSED LIGHT FIXTURE		REINFORCING IN THE FOOTING/FOUNDATION SHALL COMPLY W REQUIREMENTS FOR A CONCRETE ENCASED ELECTRODE.
- CEILING LIGHT FIXTURE	ELECTRICAL CONTRACTOR NOTE:	REQUIREMENTS FOR A CONDITETE ENGAGED ELECTRODE.
- WALL MOUNTED LIGHT FIXTURE	 VERIFY WITH OWNER WHICH SWITCHES ARE TO BE ON DIMMERS. CABLE AND TELEPHONE JACKS TO BE LOCATED BY OWNER ON SITE. 	AT LEAST ONE RECEPTACLE OUTLET, IN ADDITION TO THOSE SPECIFIC EQUIPMENT, SHALL BE INSTALLED IN EACH BASEME GARAGE REQUIRE ONE OUTLET PER BAY-TYP.
WALL MOUNTED LIGHT SCONCE FIXTURE	3. PROVIDE ARC, FAULT PROTECTION IN	
P/C FLUORESCENT LIGHT FIXTURE	ALL BEDROOMS PER 1999 N.E.C.	90% OF PERMANENTLY INSTALLED LIGHT FIXTURES
CEILING EXHAUST FAN PER OWNER/CONTRACTOR.	4. ALL CEILING OUTLET ELECTRICAL BOXES SHALL BE CAPABLE OF SUPPORTING CEILING FANS	SHALL HAVE HIGH EFFECIENT LAMPS
VENT DIRECTLY TO OUTSIDE.	5. ALL METAL PIPING SYSTEMS, METAL PARTS OF	
PROVIDE A MIN. OF R5 VALUE INSULATED DUCT WORK FOR EXHAUST FANS IN UNHEATED ATTIC SPACE	ELECTRICAL EQUIPMENT, AND PUMP MOTORS ASSOCIATED WITH THE WHIRLPOOL TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER NO SMALLER THAN A NO. 8 SOLID	ALL CLOSETS SHALL BE: A. RECESSED LIGHTS WITH 6" CLEARENCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE. B. FLOURESCENT LIGHTS WITH 6" CLEARENCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.
		C. INCANDESCENT LIGHTS WITH 12" CLEARENCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.





1/4"=1'-0"





OVER VERIEY BULIN ANY と出口 ALL OB. 문극장 12 3 2 김우류법이 MAIN THE P Elon a LE S HO S, INC. 10246 SHAL THE CON CON SHAL MENSIONS S IENSIONS 7 JIDNS AND 1 SIGNS, INC. FROM THE FROM THE WINDS, SPE RE AND SHA TON DESIGN ANY FORM ERMISSION. SE DRAW TAILS ARE JIN CUSTO JSED IN / JTTEN PEF TTTEN DIM TTTEN DIM ALED DIMENSI STOM DES RIATIONS OWN BY 7 THES BULLI BULLI BULLI WRIT WRIT SCAL ALL VARI VARI SHOW 0 \mathcal{C} 2 9 0 E inc 7 eality Id, III 15.5 Sug o o c ainfi ax: ax: S 0 2 the second second 0 tom Diog te] ing Di or Gat 861. 5 3 U BL BL 8 uli 703 ne: 2 e ti S Residend Bowen rt, Illinois Builder мн, Gander Ozinga 39 EAST Frankf 08.24.23 JOB # 2023.003 SHEET A-6

GENERAL SPECIFICATIONS

ARCHITECTURAL, MECHANICAL AND ELECTRICAL PLANS. 2.) ALL WORK SHALL CONFORM TO ALL GOVERNING BUILDING CODES. 3.) CONTRACTOR SHALL FOLLOW ALL MANUFACTURER STANDARDS AND RECOMMENDATIONS. 4.) CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SQUARE FOOTAGE'S AND CONDITIONS BEFORE PROCEEDING WITH

CONSTRUCTION. 5.) ANY DISCREPANCY IN PLANS ARE TO BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR AND THE ARCHITECT PRIOR TO PROCEEDING WITH PROJECT. INSTALLED WORK SHALL BECOME THE RESPONSIBILITY OF THE GENERAL CONTRACTOR 6.) ALL PARTITION DIMENSIONS ON PLANS ARE NOMINAL DIMENSIONS, NONBEARING PARTITIONS AND WALLS ARE TO

BE LAID OUT SO THAT STOCK COMPONENTS WILL FIT EXACTLY WITHIN INDICATED DMENSIONS. DMENSIONS AT CRITICAL AREAS SUCH AS BEARING WALLS, CLOSETS, BATHTUBS, ETC., MUST BE HELD. 7.) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL RESPECTIVE TRADES WITH THE WORK OF OTHERS, WORK OF EACH TRADE SHALL BE DESKINED SO AS TO PROVIDE CLEARANCE FOR OTHER

TRADES. 8.) DO NOT SCALE DRAWINGS ... CABINET, PLUMBING, HVAC, & ELECTRICAL DRAWINGS ARE SHOWN AS SCHEMATIC LAYOUTS ONLY: EACH CONTRACTOR SHALL LOCATE HIS WORK IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDNANCES. 9.) THESE DOCUMENTS CONTAIN SCHEMATICS OF SUGGESTED CONSTRUCTION, ARCHITECT SHALL NOT BE

RESPONSIBLE FOR ANY VARIATIONS NOT REVIEWED AND APPROVED BY ARCHITECT AND OWNER IN WRITING. 10.) ANY CHANGE ORDERS TO BE SUBMITTED TO ARCHITECT AND OWNER IN WRITING PER A.I.A. SPECIFICATIONS FOR ARCHITECT'S REVIEW AND OWNER'S APPROVAL. IF A CHANGE OF COST IS REQUIRED GENERAL CONTRACTOR MUST OBTAIN OWNER'S APPROVAL PRIOR TO PROCEEDING WITH WORK. II.) THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR

CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS N CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTORS RESPONSIBILITY. 12.) THERE ARE NO JOB SITE OBSERVATIONS IN THIS CONTRACT UNLESS SPECFIED BY ARCHITECT. 13.) THE ARCHITECT IS NOT RESPONSIBLE FOR EXISTING CONDITIONS. 14.) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERFYING ALL DIMENSIONS AND CONDITIONS WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL PLANS.

MATERIALS AND WORKMANSHIP 1.) ALL WORK SHALL BE PERFORMED IN A NEAT AND WORKMANLIKE MANNER.

2.) EACH CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. (INCLUDING MATERIAL AND LABOR NOT SPECIFICALLY LISTED) TO COMPLETE THE CONSTRUCTION OF THE PROJECT AS INDICATED AND SPECIFIED BY THE DRAWINGS, SPECIFICATIONS, AND OWNER'S WRITTEN REQUEST. 3.) MATERIALS AS SPECFIED ON THE DRAWINGS SHALL BE USED. SUBSTITUTIONS OF MATERIALS WILL NOT BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT AND OWNER.

4.) EACH SUBCONTRACTOR SHALL AMEND AND MAKE GOOD AT HIS OWN COST AND DEFECTS OR OTHER FAULTS IN HIS WORKMANSHIP AND/OR MATERIALS. 5.) EACH CONTRACTOR OR SUBCONTRACTOR SHALL LEAVE THE WORK SITE CLEAN IN A BROOM SWEPT CONDITION AND READY FOR TRADES TO FOLLOW EACH DAY. EACH CONTRACTOR OR SUBCONTRACTOR SHALL BE RESPONSIBLE, AT HIS OWN COST, FOR REMOVAL OF HIS DEBRIS AND RUBBISH FROM SITE. COST OF CLEANUP AND REMOVAL OF DEBRIG OR RUBBIGH WHICH MUST BE DONE BY THE OWNER DUE TO FAILURE TO DO SO BY CONTRACTOR OR SUBCONTRACTOR SHALL BE BILLED TO EACH RESPONSIBLE CONTRACTOR OR SUBCONTRACTOR ON A PRORATED BASIS. 6.) EACH CONTRACTOR OR SUBCONTRACTOR SHALL REPAIR ALL DAMAGE TO BUILDING AND WORK OF OTHER TRADES ON A DAILY BASIS. 7.) GENERAL CONTRACTOR SHALL BE FULLY INSURED AND PROVIDE OWNER WITH PERFORMANCE AND MATERIAL AND

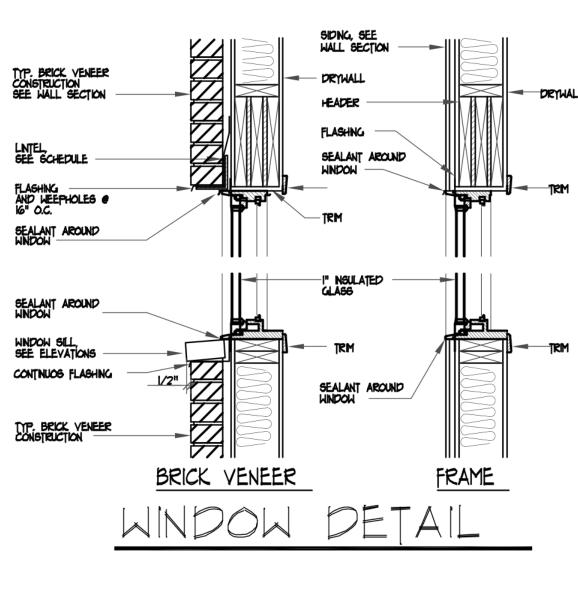
LABOR BONDS. 8.) EACH CONTRACTOR SHALL GUARANTEE ALL MATERIALS OR REPAIR WITHOUT COST TO THE OWNER, ANY SUCH

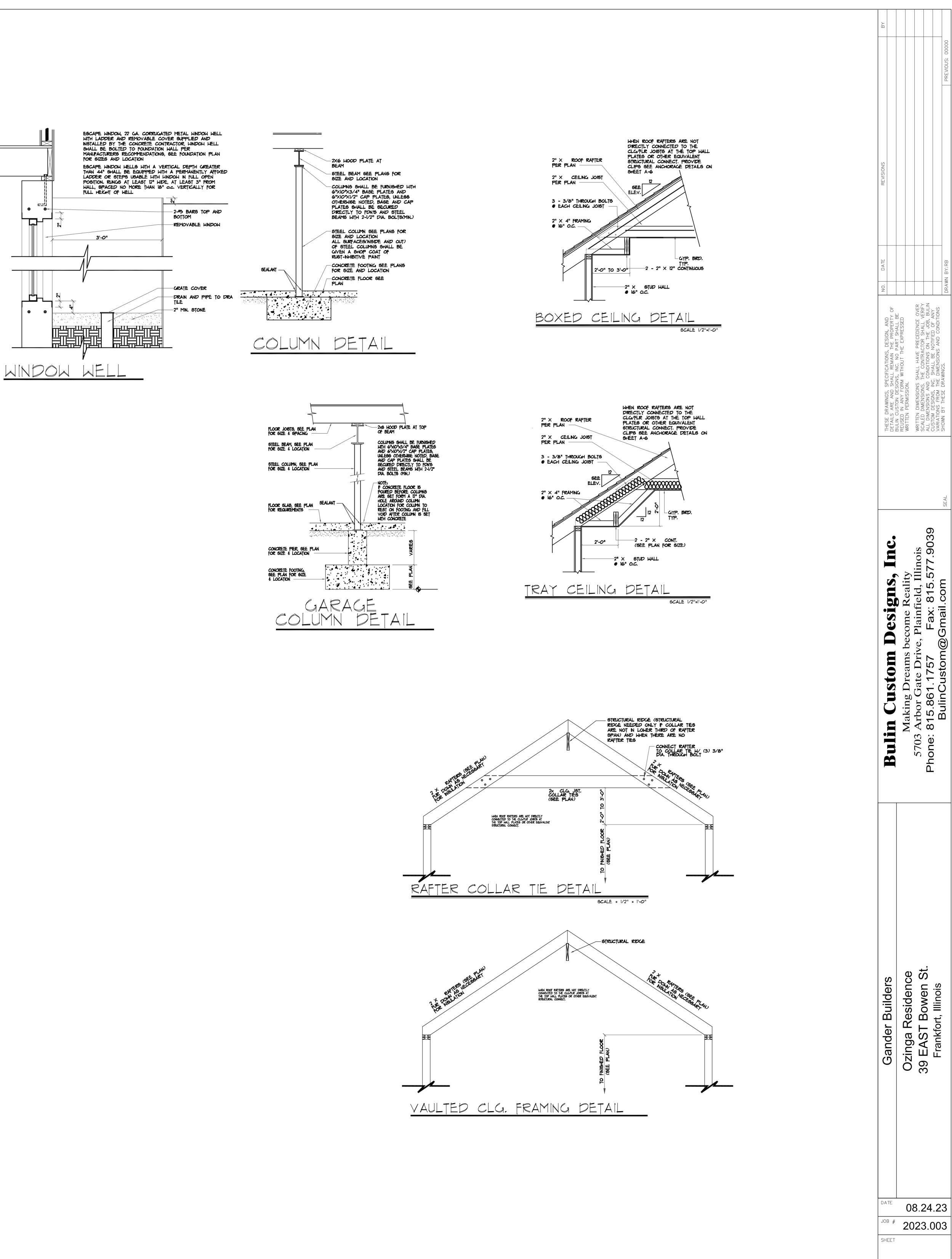
DEFECTS WITHIN ON YEAR TO DATE AFTER FNAL ACCEPTANCE OF THE PROJECT BY THE OWNER, UNLESS OTHERWISE NOTED. HE SHALL ALSO GUARANTEE THAT ALL WORKMANSHIP IS OF HIGH QUALITY AND THAT ALL MATERIALS FURNISHED UNDER THIS CONTRACT FULFILLS THE REQUIREMENTS OF THE SPECIFICATIONS.

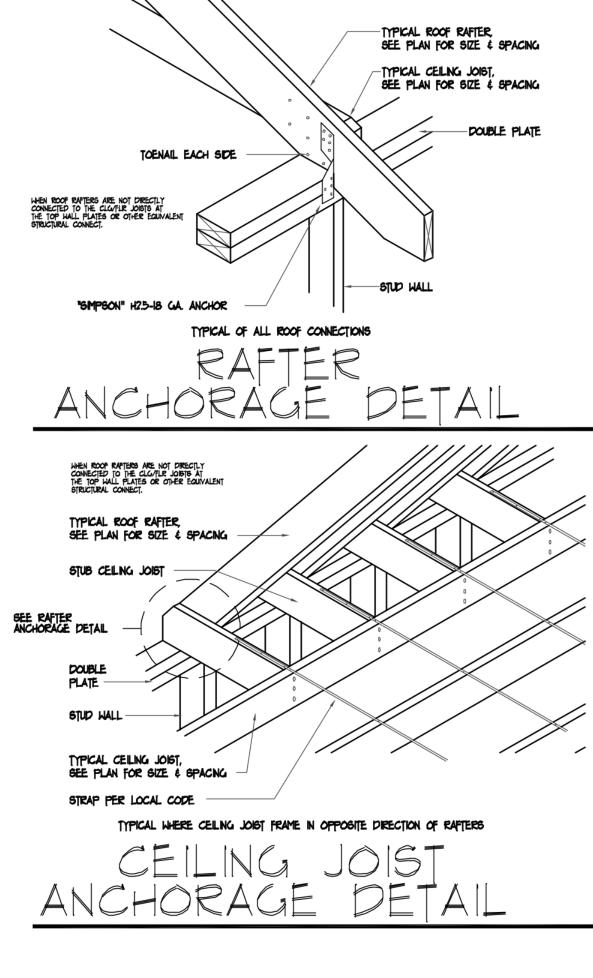
-FLOOR CONST. SEE PLAN -6" HIGH GAS CURB DRIVEWAY - CONCRETE FLOOR SEE -overhead door PLAN CONCRETE FLOOR SE -FOUNDATION WALL SEE WALL SECTIONS GAS CURB DUST SILL

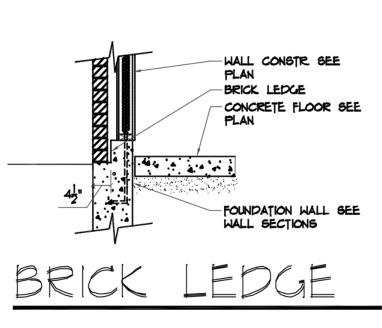
VALL CONSTR.

I.) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS WITH

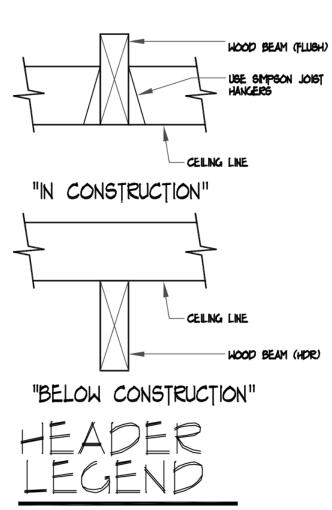


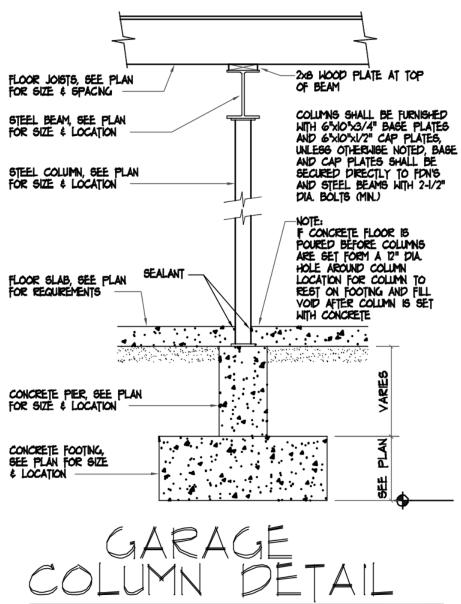


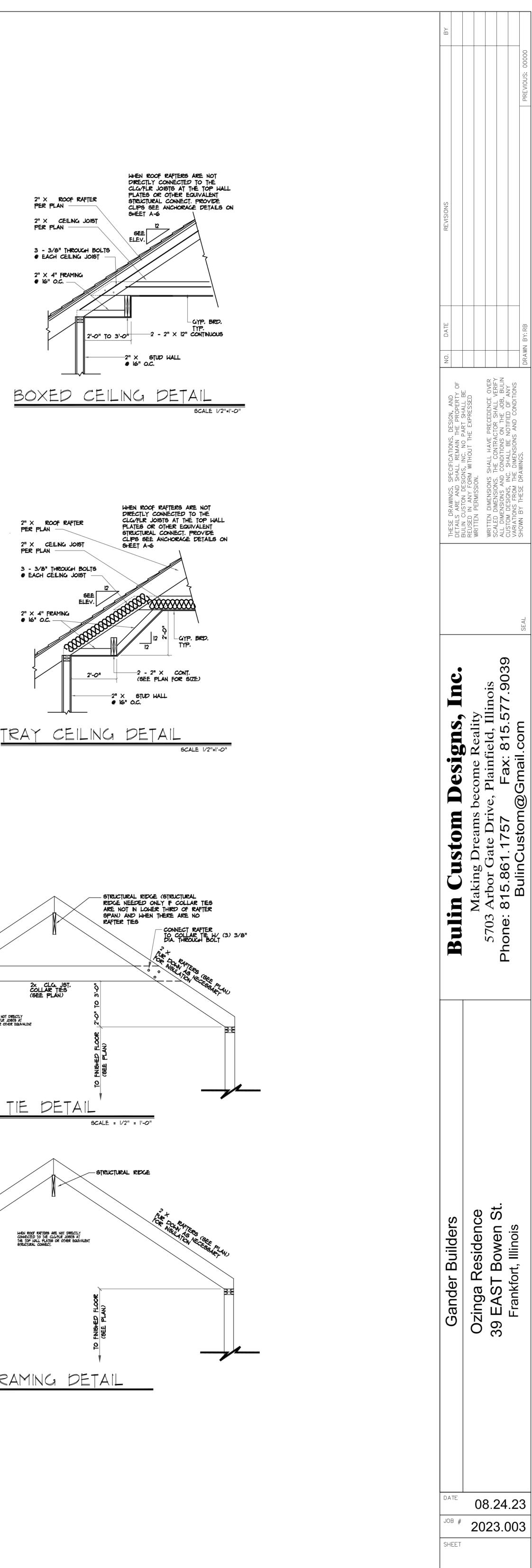




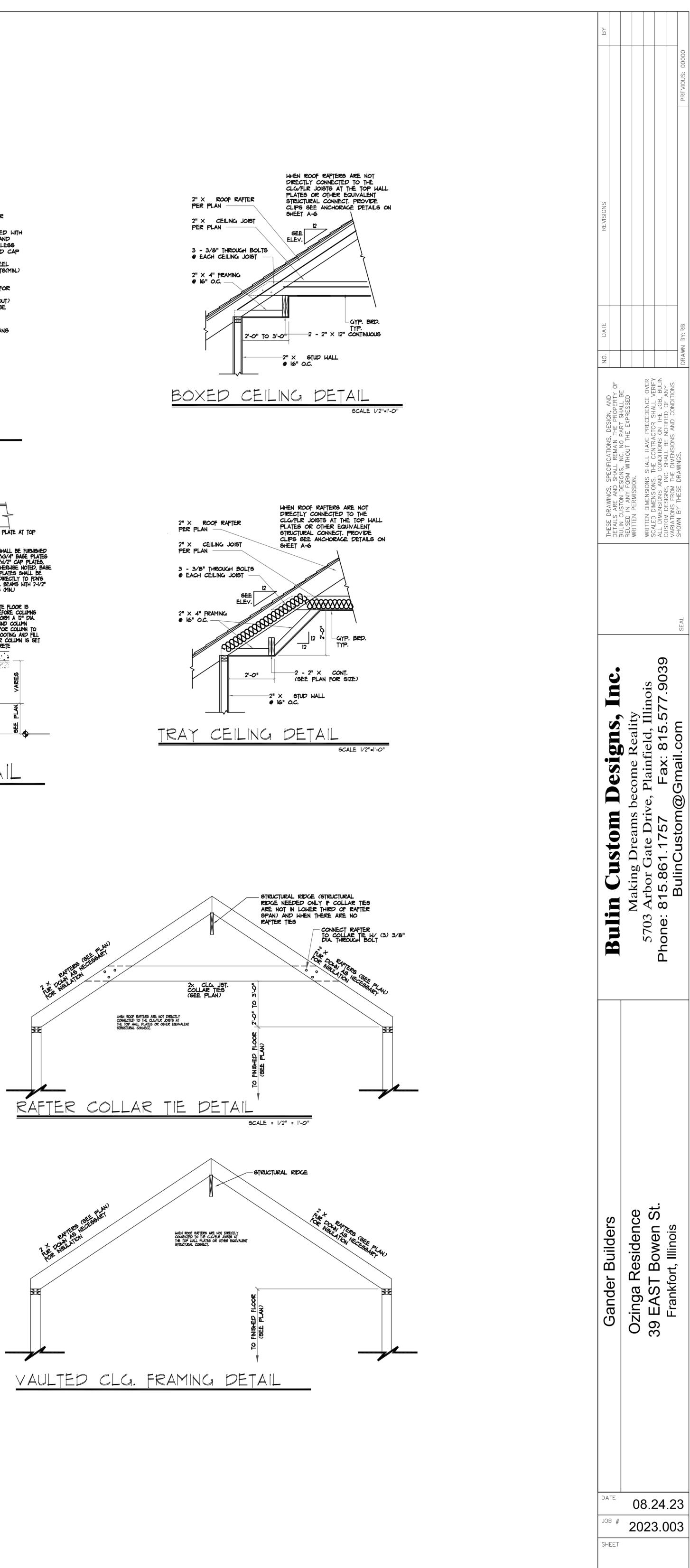
PROVIDE ONLY AT GARAGE OVERHEAD DOORS







A-7



EXCAVATION AND SITE WORK 1.) EXCAVATION CONTRACTOR SHALL STRIP AND RELOCATE TOP SOIL ON SITE FOR REUSE, AS PER THE GENERAL CONTRACTOR'S INSTRUCTIONS, FROM THE AREA OF THE CONSTRUCTION SITE. 2.) BUILDING EXCAVATIONS SHALL OVER DIG A MINIMUM TO PROVIDE ACCESS TO FORM WORK. STEP FOOTINGS WHERE SHOWN ON DRAWINGS. 3.) GENERAL CONTRACTOR TO VERFY IF SOIL STRENGTH AT DESKIN DEPTHS OF EXCAVATION IS 3000 P.S.F.

4.) PROVIDE STRUCTURAL BACKFILL UNDER ALL CONCRETE FLOOR SLABS, SIDEWALKS AND DRIVES. PROVIDE GRANULAR BACKFILL COMPACTED TO REDUCE SETTLEMENT, 6" BELOW AND 1'6" ABOVE FOOTING TILES AND IN TRENCHES FOR WATER, SEWER, GAS, ELECTRIC, ETC. BACKFILL REMAINING WITH COMPACTED SOIL. MAXIMUM LIFT SHALL BE G" LOOSE THICKNESS AND COMPACTED TO MINMUM OF 95% FOR MAXMUM DRY DENSITY IN ACCORDANCE WITH ASTM D 1557-70 MODIFIED PROCTOR. 5.) DO NOT EXCAVATE CLOSER THAN 1:1 SLOPE BELOW FOOTING. 6.) ALL FOOTING DEPTHS SHOWN ARE MINIMUM DEPTHS, AND SHALL NOT BE LEGS THAN 3' G" BELOW FINISH GRADE 7.) MACHINE EXCAVATE DOWN TO LAST 3 INCHES FOR FOOTINGS, HAND EXCAVATE REMAINING SUBSTRATE TO PROVIDE SMOOTH, FLAT BEARING SURFACE. 8.) THE EXCAVATING CONTRACTOR SHALL PROVIDE PUMPING AS NECESSARY TO PERFORM HIS WORK. 9.) EXCAVATING CONTRACTOR SHALL BACKFILL FOUNDATION AFTER FIRST FLOOR FRAMING IS INSTALLED OR AFTER FOUNDATION WALLS HAVE BEEN PROPERLY BRACED BY GENERAL CONTRACTOR. 10.) EXCAVATING CONTRACTOR SHALL ROUGH GRADE SITE AND REPLACE TOP SOIL IN ALL LANDSCAPE AREAS AFTER INSTALLATION OF DRIVES AND WALKS. 11.) FINISH GRADE FOR TOPSOIL IS 8" BELOW TOP OF FOUNDATION. ALL EXCESS DIRT IS TO BE HAULED AWAY TO A LOCATION DESIGNATED BY THE GENERAL CONTRACTOR OR AS WRITTEN OTHERWISE. FINAL GRADE SHALL CONFORM TO GOVERNING CODES FOR PROPER SURFACE WATER DRAINAGE CONTROL. 12.) TREE REMOVAL WILL BE PROVIDED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE STATED. 13.) ALL EXCESS FILL AFTER COMPLETION OF BACKFILL SHALL BE HAULED TO A SITE DESIGNATED BY THE GENERAL CONTRACTOR OR AS WRITTEN OTHERWISE. 14.) ALL LOT STAKING AND BENCH MARKS OF THE BUILDING WILL BE PROVIDED BY THE GENERAL CONTRACTOR, AND SHALL BE INSTALLED BY A LICENSED LAND SURVEYOR. 15.) PROVIDE SOIL SEPARATOR BETWEEN SOIL AND GRANULAR FILL ABOVE FOOTING TILES.

CONCRETE ALL CONCRETE SHALL BE 6 BAG MIX. .) UPON COMPLETION OF EXCAVATION, THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR PUMPING AS NECESSARY TO PERFORM HIS WORK. 2.) ALL FOOTINGS SHALL BEAR ON ORIGINAL UNDISTURBED SOIL OR APPROVED COMPACTED FILL, EITHER OF WHICH MUST HAVE A MINIMUM BEARING CAPACITY OF 3000 P.S.F. 3.) ALL FOOTINGS SHALL EXTEND A MINMUM OF 4'-O" BELOW TOP OF FINISH GRADE OR AS SHOWN ON THE drawings. 4.) ALL CONCRETE CONSTRUCTION SHALL COMPLY WITH THE ACI 318-83, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND ACI 302.1R-80, "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION. 5.) FORM WORK FOR CONCRETE SHALL BE PLYWOOD, METAL OR OTHER ACCEPTABLE PANEL. TYPE MATERIALS TO PROVIDE CONTINUOUS, STRAKHT, SMOOTH EXPOSED SURFACES. PROVIDE FORM MATERIAL WITH SUFFICIENT THICKNESS TO WITHSTAND PRESSURE OF NEWLY-PLACED CONCRETE WITHOUT BOW OR DEFLECTION. PROVIDE FORM-COATING COMPOUNDS THAT WILL NOT BOND WITH, STAN NOR ADVERSELY AFFECT CONCRETE SURFACES, AND WILL NOT MPAIR SUBSEQUENT TREATMENTS OF CONCRETE SURFACES. 6.) THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE GENERAL CONTRACTOR FOR THE PLACING OF ALL SLEEVES IN CONCRETE WALLS FOR TELEPHONE, PLUMBING, ELECTRICAL AND MECHANICAL TRADES. 7.) PROVIDE BLOCK OUTS FOR BEAM POCKETS AND GROUT FULLY AFTER STEEL IS SET. 8.) THE CONCRETE CONTRACTOR SHALL PROVIDE AND INSTALL FOUNDATION REINFORCING STEEL, ANCHOR BOLTS,

ETC. IN CONFORMANCE WITH SIZES AND SHAPES INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE NATURE OF THE WORK. REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO ASTM AG15-81 GRADE GO, MNIMUM SIZE #5 AND WELDED WIRE FABRIC SHALL CONFORM TO ASTM A183, MNMUM SIZE 6 X 6 - 1.4X 1.4, AND BASEMENTS SHALL BE W2.1XW2.1 FOR GARAGE SLAB, PROVIDE SUPPORTS FOR REINFORCING TO LOCATE PROPERLY IN 9.) MINIMUM THICKNESS OF PLACED CONCRETE SHALL BE: FOUNDATION WALL FROST WALLS

BASEMENT SLABS GARAGE SLABS CRAWL SPACE TOPPING PROVIDE REINFORCING AND STONE BASE AS INDICATED ON THE DRAWINGS.

10.) POUR ALL CONCRETE WING WALLS MONOLITHIC WITH FOUNDATION WALLS. PROVIDE ONE NUMBER 3 BAR TOP IN ALL WING WALLS ANCHORED IN CROSS WALL. THE CONCRETE CONTRACTOR SHALL PROVIDE CONCRETE PADS FOR ALL MECHANICAL AND ELECTRICAL EQUIPMENT AS REQUIRED. 11.) ALL WALL THES SHALL BE BROKEN OFF OF FOUNDATION WALLS AND FILLED WITH MASTIC PRIOR TO WATERPROOFING 12.) ALL INTERIOR CONCRETE FLAT WORK SHALL RECEIVE A MINIMUM OF 2 OPERATION STEEL TROWEL FINISH. COAT SLABS WITH A CURING AGENT-SEALER WITHIN 24 HOURS OF POURING.

13.) DRIVEWAY REQUIREMENTS: CONCRETE 5" THICK WITH 6 X 6 -1.4 X 1.4 WELDED WIRE MESH WITH 6" STONE BASE. ASPHALT 2" (TYPE B-4 OR B-3) WITH 6" STONE BASE. 14.) ALL CITY WALKS TO BE 5" THICK WITH 4" THICK STONE BASE. 13.) THE CONCRETE CONTRACTOR SHALL PROVIDE HEATERS WHERE REQUIRED TO MAINTAIN PROPER CURING TEMPERATURE FOR WORK POURED WHEN TEMPERATURES REACH 40 DEGREES OR BELOW OR USE ACCELERATING ADMIXTURE IN CONCRETE SLABS AT TEMPERATURES BELOW 50 DEGREES. 16.) CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ALL CRACKS WHICH LEAK GROUND WATER. 17.) CONCRETE MATERIALS SHALL BE PORTLAND CEMENT ANSI/ASTM C 150 TYPE I, NORMAL WEIGHT AGGREGATES ASTM C33 FROM A SINGLE SOURCE, POTABLE WATER, AIR-ENTRANING ADMIXTURE ANSI/ASTM C260 MAXIMUM 6% FOR EXTERIOR FLAT WORK), WATER REDUCING ADMIXTURE ANSI/ASTM C494 TYPE A WITH MAXMUM 1% CHLORIDE IONS, PERMITTED

DIRECTIONS. BY MOISTURE RETAINING COVER CURING. 20.) PROVIDE 6" GAS CURB BETWEEN GARAGE AND BUILDING. 21.) SLOPE CONCRETE FLOOR 2" DOWN TO OVERHEAD DOORS. PLATE.

23.) ALL CONCRETE WALLS AND FLOOR SLABS TO BE AIR ENTRAINED. 24.) BASEMENT WALLS, FOUNDATION, INTERIOR FLOOR SLABS AND OTHER NON-EXPOSED CONCRETE TO HAVE 3000 PSI STRENGTH. BASEMENT WALLS, FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE EXPOSED IS TO HAVE 3000 PSI STRENGTH. PORCHES, CARPORT SLABS, STEPS EXPOSED TO THE WEATHER AND GARAGE FLOOR SLABS TO HAVE 3500 PSI STRENGTH. 25.) CONCRETE WALLS SHALL BE DAMPROOFED BY APPLYING ONE OF THE FOLLOWING MATERIALS -BITUMINOUS COATING

-THREE POUNDS PER SQUARE YARD OF ACRYLIC MODIFIED CEMENT -TWO-PLY HOT-MOPPED FELTS

-55 POUND ROLL ROOFING -G-MIL POLYVINYL CHLORIDE OR POLYETHYLENE

-40-MIL POLYMER-MODFIED ASPHALT TOP OF THE FOOTING TO FINISHED GRADE 27.) SEE DRAINAGE NOTE IN MISCELLANEOUS

THERMAL AND MOISTURE 1.) ALL EXPOSED NGULATION MUST HAVE A FLAME SPREAD OF 25 OR LEGG. EXPOSED KRAFT PAPER IS NOT PERMITTED. 2.) ALL PLUMBING PIPES (WATER & TRAPS) ON EXTERIOR WALLS TO BE WRAPPED.

"NERVASTRAL" FLASHING OR EQUAL. OR DIRECTION, AND AROUND ROOF OPENINGS, UP ROOF AT ALL GUTTER LINES.

29.) IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SET ALL APPLIANCES. 8.) PROVIDE ICE BARRIER CONSISTING OF AT LEAST 2 LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A 30.) GENERAL CONTRACTOR SHALL SUPPLY ALL ROUGH OPENING SIZES FOR WINDOW, DOORS, SKYLKHTS, MEDICINE SELF-ADHERING POLYMER MODFIED BITUMEN SHEET, THAT EXTENDS FROM THE EAVES EDGES TO A PONT AT LEAST CABINETS, IRONING BOARD, SCUTTLE HOLES, ETC. 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. 31.) GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL DOORS, HARDWARE, TRM INCLUDING BASE AND SHOE, 9.) BASE AND CAP FLASHING WILL BE PROVIDED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION SHELVING, COUNTER TOPS, MILLWORK, BASEMENT STAIRS, WINDOWS, CABINETRY, ETC. INSTRUCTIONS. 32.) HURRICANE STRAPS ARE REQUIRED AT 4'-O" FOR ALL RAFTERS AND 4'-O" FROM EACH CORNER AND 25'0C. 33.) ALL FASTENERS FOR PRESSURE TREATED OR FIRE TREATED WOOD MUST BE OF HOT DIPPED GALVANIZED

10,) PROVIDE ALLMINUM DRIP CAPS OVER ALL DOOR AND WINDOW HEADS INCLUDING GARAGE DOOR AND PATIO DOORS. USE 4 MIL POLYETHYLENE FLASHING AT ALL WINDOW AND DOOR JAMBS. IL) ALL EXTERIOR PERMETER CAULKING SHALL BE WATER AND WEATHERTIGHT. PLASTIC CAULKING COMPOUND SHALL BE NON-STAINING POLYSULPHIDE, ACRYLIC OR BUTYL.

WATER REDUCING ACCELERATOR ADMIXTURE ASTM C494 TYPE C OR E. CALCIUM CHLORIDE SHALL NOT BE 18.) USE ADMIXTURES FOR WATER-REDUCING AND SET-CONTROL IN STRICT COMPLIANCE WITH MANUFACTURER'S 19.) PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURE.

PROVIDE 7 DAY INITIAL CURING AND 7 DAY FINAL CURING. PERFORM CURING OF CONCRETE BY MOIST CURING OR

22.) ANCHOR BOLTS MINIMUM 8" EMBEDMENT @ G'O", FIRST BOLT 12" MAXMUM FROM CORNER, MINIMUM 2 BOLTS PER

2G.) JOINTS IN MEMBRANES SHALL BE LAPPED AND SEALED AND THE DAMP PROOFING SHALL EXTEND FROM THE

3.) NO EXPOSED RIGID FOAM SHEATHING IS PERMITTED ON INSIDE OF ANY ATTIC AREA. 4.) ALL CONCEALED FLASHING TO BE MINIMUM OF NO. 26 GAUGE SHEET METAL. PROVIDE BABY TINS AND VALLEY FLASHING AS REQUIRED, BASE AND SILL FLASHING TO BE EQUAL TO 6 MIL VISQUEEN POLYETHYLENE FILM OR

5.) PROVIDE FLASHING AT ALL WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE

6.) ROOF COUNTER FLASHING MUST BE BENT AND CUT INTO MORTAR JOINTS 7.) WATER AND ICE SHIELD MUBT BE MINIMUM OF 24" INSIDE THE EXTERIOR WALL LINE, IN ALL VALLEYS AND 36" THERMAL AND MOISTURE (CONT.)

12.) ROOF SHINGLES SHALL BE 230 LBS./SQUARE MINIMUM WITH "SEAL TAB" EDGES WIDE FELT AT ALL EAVES (OPTIONAL). A.) MEMBRANE ROOFING WHERE REQUIRED SHALL BE 4-PLY HOT MOPPED TAR AND GRAVEL ROOF SURFACE.

GRAVEL TO BE APPLIED AT A RATE OF 300 LBS./SQUARE. B.) LOW SLOPE ROOFS (LESS THAN 2 1/212 OR MORE THAN 1:12 SLOPE) TO RECEIVE I LAYER OF 90 LBS./SQUARE MNERAL SURFACED ROLL ROOFING ON 2 LAYERS OF 15 LBS./SQUARE FEET. 13.) PROVIDE A VAPOR RETARDOR ON THE WARM-IN-WINTER SIDE OF ALL UNVENTILATED FRAMED WALL, FLOORS AND ROOF/CEILINGS.

14.) ALL VAPOR BARRIERS SHALL BE ON WARM SIDE OF WALLS OR CEILINGS. 15.) PROVIDE MIN. 1" AIR SPACE IN ALL ROOFS OVER INSULATION UNLESS RAFTER SPACE IS FILLED SOLID. 16.) FOUNDATION WALLS AT CRAWL SPACE 1" X 2'O" RIGID INSULATION.

17.) NO EXPOSED RIGID INSULATION ON INSIDE OF BUILDING 18.) ALL BOX SILLS OF FLOOR JOIST TO BE INSTALLED WITH R-30 BATT WITH KRAFT FACING OR APPROVED EQUAL. 19.) SLOPED CEILINGS, SOFFITS BELOW LIVING SPACE AND CEILINGS OF GARAGE UNDER LIVING SPACES SHALL BE INSULATED WITH R-30 BATT LIMITED TO 20% OF THE TOTAL CEILING AREA OR 500 S.F. WHICH EVER IS LESS INGULATION SHALL EXTEND OVER THE TOP WALL PLATE AND NOT BE COMPRESSED.

STRUCTURAL STEEL

1.) ALL STRUCTURAL STEEL SHALL CONFORM TO AISC SPECIFICATIONS FOR ASTM A-36 F4 36,000 PSI STEEL AND SHALL BE SHOP COATED WITH RUST INHIBITIVE PRIMER. 2.) STEEL FLITCH PLATES SHALL BE SHOP DRILLED FOR BOLT. REFER TO DRAWINGS FOR SIZES.

3.) ALL FIELD CONNECTIONS SHALL BE BOLTED WITH 3/4" CONFORMING TO ASTM A-325 HIGH STRENGTH BOLTED IN FRICTION TYPE CONNECTIONS. SHOP CONNECTIONS SHALL BE WELDED USING E 70XX ELECTRODES. 4.) CARPENTER CONTRACTOR SHALL SET. LEVEL AND PLUMB ALL STRUCTURAL STEEL BEAMS AND COLUMNS AS PER PLAN, A CRANE WILL BE PROVIDED BY THE GENERAL CONTRACTOR IF NECESSARY. 5.) PROVIDE STEEL LINTELS FOR MASONRY WORK ACCORDING TO SPECIFICATIONS. DMENSIONS AND SIZES MENTIONED ON THE FOLLOWING CHART: M-14

6.) ONLY STEEL SHIMS WILL BE ALLOWED. 7.) ALL STRUCTURAL STEEL BEAMS HAVING SILL PLATES BEARING ON THEM SHALL HAVE 3/" HOLES ON THE

APPROPRIATE FLANGE (G'O" O.C. MN.) TO SECURE MAXIMUM STRUCTURALLY BEARING CONCRETE. SIZE BEARING PLATES TO SUPPORT MAXIMUM CAPACITY OF SUPPORTED MEMBER. 8.) ALL STRUCTURAL STEEL BEARING ON COLUMN TOP PLATES OR BEARING PLATES ON STRUCTURALLY BEARING CONCRETE. SIZE BEARING PLATES TO SUPPORT MAXIMUM CAPACITY OF SUPPORTED MEMBER. 9.) DMENSIONS OF STRUCTURAL STEEL SHALL BE VERFIED IN FIELD PRIOR TO FABRICATION.

10.) ALL STEEL COLUMNS MUST BE SECURED TO FOUNDATION OR FLOOR TO PREVENT LATERAL MOVEMENT.

FRAMING AND CARPENTRY

1.) PROVIDE AND INSTALL ALL WOOD FRAMING PER CITY, LOCAL AND NATIONAL FOREST PRODUCTS ASSOCIATION SPECIFICATIONS.

2.) PROVIDE FOR INSTALLATION OF STRUCTURAL STEEL AS PER PLAN 3.) VERIFY WITH SPAN TABLE WOOD SPECIES FOR FLOOR AND ROOF FRAMING

4.) ALL SILL PLATES ON TOP OF FOUNDATION WALLS WITHIN THE LIVING AREA TO HAVE ""FIBERGLASS SILL SEALER APPLIED BETWEEN PLATE AND FOUNDATION WALL AND TREATED WOOD PLATES. 5.) ALL WOOD IN PERMANENT CONTACT WITH CONCRETE TO BE PRESSURE TREATED WITH A WATERBORNE PRESERVATIVE. I.C. SILL PLATES AND PORCH POSTS. MUST COMPLY WITH AWPA CI,C2,C3,C4,C9, CI, CIB,C2,C23,C24,C28,P1,P2 AND P3 OR DECAY-RESISTANT HEARTWOOD OF REDWOOD, BLACK LOCUST OR CEDARS. 6.) ALL WOOD FLOOR FRAMING, CEILING FRAMING, AND RAFTER FRAMING SHALL BE S.P.F. CONSTRUCTION GRADE *2 OR SPECIES AND GRADE INDICATED ON PLAN.

7.) NSTALL NECESSARY WASHERS AND NUTS TO ANCHOR BOLTS ON FOUNDATION SILL PLATES AND/OR 4" CARRIAGE BOLTS FOR STEEL BEAM SILL PLATES (6" O.C. MIN.). 8.) ALL WALL FRAMING SHALL BE A MINIMUM OF SPRUCE-PINE-FIR, GRADE STUD +3 LUMBER SIZES AND GRADES INDICATED ON PLANS.

9.) ALL NTERIOR NON-BEARING PARTITIONS SHALL HAVE STUDS AT 16" O.C. WITH DOUBLE 2 × 4 TOP PLATES WITH A NMINUM OVER LAP OF 48" AND SINGLE 2×4 sole plate. 10.) FOR ALL JOISTS, BEAMS AND GIRDERS THE ENDS SHALL BEAR A MINMUM OF 1-1/2" ON WOOD OR METAL AND 3" ON MASONRY OR CONCRETE EXCEPT WHERE SUPPORTED ON A 1" X 4" RIBBON STRIP AND NAILED TO THE ADJACENT STUD OR BY THE USE OF APPROVED JOIST HANGERS. JOIST FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MINMUM 3" AND BE NAILED TOGETHER WITH A MINMUM THREE 10D FACE NAILS. JOIST FRAMING INTO THE SIDE OF A WOOD GIRDER SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OR ON

LEDGER STRIPS NOT LESS THAN NOMINAL 2" × 2". II.) ALL CORNER POSTS SHALL BE NOT LESS THAN (3) 2×4 studs. 12.) DOUBLE JOISTS UNDER ALL BEARING PARTITIONS AND NON-BEARING PARTITIONS WHEN PARALLEL TO JOIST. (ALSO, WHERE PIPING AND DUCTWORK OCCUR AND UNDER BATHTUBS.) 13.) PROVIDE WOOD BLOCKING OR WOOD "X" BRIDGING OR METAL BRIDGING BETWEEN ALL JOISTS AND RAFTERS

WITH MAXIMUM SPACING AT 8' O" O.C. OR EQUAL. 14.) USE METAL FRAMING HANGARS/ANCHORS FOR CONNECTING JOISTS TO FLUSH HEADERS AND WHERE SHOWN ON FRAMING DRAWINGS. 13.) DOUBLE ALL FRAMING MEMBERS AROUND OPENINGS IN FLOORS, CEILINGS AND RAFTERS. EX: STAIRWAYS,

SKYLIGHTS, SCUTTLE HOLES, DOORWAYS, ETC. 16.) ALL TOP PLATES AND SOLE PLATES TO BE SPF-KD GRADE. 17.) ALL EXTERIOR WALLS TO HAVE 1/2" COX PLYWOOD INSTALLED CONTINUOUS FROM SILL PLATE TO UPPER MOST DOUBLE PLATE.

18.) ALL WALL OPENINGS SHALL BE FRAMED WITH (2) 2 X 12 WITH 1/2" PLYWOOD SPACERS EXCEPT WHERE OTHERWISE NOTED. 19.) ALL GARAGE HEADERS SHALL BE (2) 2 X 12 WITH 1/2" PLYWOOD FLITCH PLATE BETWEEN, UNLESS OTHERWISE NOTED ON PLAN. 20.) Exterior wall sheathing for living area to be 1/2" Rigid Sheathing, wall sheathing for garage and ATTIC AREAS TO BE "/" IMPREGNATED FIBROUS SHEETS, UNLESS OTHERWISE NOTED ON PLAN, ALL HOLES IN SHEATHING TO BE PATCHED THE ABOVE APPLICATION MAY BE SUBSTITUTED WITH AN APPROVED EQUAL

APPLICATION. 21.) STRUCTURAL PLYWOOD: A: FLOORING SHALL CONSIST OF 2 LAYERS WITH A TOTAL THICKNESS OF 1-1/4" PROVIDE EITHER2 LAYERS OF 5/8" PLYWOOD OR I LAYER OF 3/4" AND I LAYER OF 1/2" PLYWOOD OSB, PARTICLE BRD OR CHIP BRD ARE NOT ALLOWED

3/4" HARDWOOD FLOORING MAY BE SUBSTITUTED FOR THE SECOND LAYER OR 1/2" PLYOOD WHEN 3/4" SUBFLOOR IS USED. DUROCK AND TILE MAY BE SUBSTITUTED FOR THE SECOND LAYER OF 1/2" PLYWOOD WHEN 3/4" SUBFLOORING is used. B: ROOF SHEATHING 5/8" CDX PLYWOOD NAILED AS PER SPECIFICATION OF AMERICAN

PLYWOOD ASSOCIATION. C: SOFFITS 3/" ACX OR APPROVED EQUAL AND NAILED AS PER SPECIFICATIONS OF

AMERICAN PLYWOOD ASSOCIATION. 22.) ALL WALLS TO HAVE 2" SOLID WOOD FIRE STOPPING AND ALL HEATING, ELECTRICAL AND PLUMBING LINES THROUGH FLOORS ARE TO HAVE SPACES SEALED OFF WITH PARTITIONS AND STUD WALLS AT BOTH FLOOR AND CEILING OF EACH FLOOR LEVEL AND AT JUNCTURE OF ROOF RAFTERS AND WALL 23.) PROVIDE FIRE STOPPING TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL, 1.9.50FFITS, TRAY CEILINGS, SPACE BETWEEN STAIR STRINGERS, PENETRATIONS, ETC, AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES. 24.) PROVIDE 30" X 30" ATTIC ACCESS AND FINISHED CEILING PANEL TO ATTIC. PANEL TO BE INSULATED WITH I"

RIGID FOAM, (ATTIC ACCESS IS NOT TO BE LOCATED IN CLOSETS EXCEPT FOR WALK-IN CLOSETS,) HEIGHT CLEARANCE AT OPENING OF ATTIC ACCESS MUST BE AT LEAST 48" FROM TOP OF CEILING JOIST TO BOTTOM OF RAFTER. ACCESS PANEL MUST HAVE A LAYER OF GYP BRD. 25.) CRAWL SPACE ACCESS PANELS TO BE MINIMUM 30" X 30"

26.) THE HEATING CONTRACTOR IS RESPONSIBLE FOR CUTTING ALL NECESSARY HOLES FOR THEIR DUCTWORK AND VENTS. 27.) ALL NOTCHING AND DRILLING OF STUDS AND JOISTS SHALL BE LOCATED. CUT AND/OR BORED WITHIN THE GUIDELINES OF THE NOTCHING DIAGRAM. NOTCHING AND CUTTING SHALL NOT BE PERMITTED IN HEADERS. 28.) WHEN A STUD IS CUT OR BORED IN EXCESS OF 1/5 DEPTH IT SHALL BE REINFORCED TO BE EQUAL IN CARRYING CAPACITY OF A STUD NOTCHED NOT MORE THAN & ITS DEPTH.

FRAMING AND CARPENTRY (CONT ..

STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER. 34.) RAFTERS SHALL BE FRAMED TO EACH OTHER WITH GUSSET PLATE, OR TO A 1" MIN. RIDGE BOARD NOT LESS IN DEPTH THAN OUT END OF THE RAFTERS. 33, /A MINMUM 2" NOMINAL THICK VALLEY OR HIP RAFTER IS REQUIRED AT ALL VALLEYS AND HIPS, NOT LESS THAN THE DEPTH OF THE CUT END OF THE RAFTER, AND SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PONT. 36.) WALLS TO BE BRACED IN ACCORDANCE W/ SECTION R602.10.3 OF THE INTERNATIONAL RESIDENTIAL CODE. HOLD DOWN ANCHORS DESIGNED WITH AN UPLIFT CAPACITY OF 1800 POUNDS CAN BE USED FOR WALLS NOT LESS THAN 2'8" IN LENGTH. WALLS LESS THAN 2'8" SHALL HAVE HOLD DOWN ANCHORS DESKINED WITH AN UPLIFT CAPACITY OF 1800 POUNDS, AND CONTINUOUS 1/2" PLYWOOD SHEATHING.

DESIGN LOADS roof 30 PSF LIVE LOAD WIND LOAD 15 PSF OVER 30' TO 49' 20 PST BALCONIES AND DECKS 60 PSF GARAGES 50 PSF ATTIC 20 PSF ATTIC (NO STORAGE with roof slope NOT STEEPER THAN 36) FLOOR 40 PSF LIVE LOAD CEILING 20 PSF LIVE LOAD FLOOR (SLEEPING) 40 PSF LIVE LOAD STAIRS 40 PSF LIVE LOAD

STAIRWAYS

WINDER STAIR TREADS (IF ALLOWED BY CITY/VILLAGE CODE) SHALL HAVE A NARROW END OF NOT LESS THAN

G" AND NOT LEGS THAN 10" AT A POINT 12" FROM NARROW END OF TREAD. 2.) HANDRAILS ON GARAGE STAIRS ARE NEEDED IF MORE THAN TWO RISERS IN HEIGHT.) REQUIRED MINIMUM HEADROOM ON STAIRS SHALL BE 6'10" 4.) NONCOMBUSTIBLE STAIR FROM GARAGE.

DRYWALL 1.) PARTITIONS SEPARATING HOUSE AND GARAGE TO BE MINIMUM 3/" ULA TYPE X GYPSUM BOARD, AND CEILINGS.

3.) ALL DRYWALL ON CEILINGS.

2.) PROVIDE 36" FIRE CODE TYPE X DRYWALL ON GARAGE SIDE OF ALL COMMON WALLS AND CEILINGS BETWEEN GARAGE/STORAGE AREAS AND LIVING AREAS. F NO LIVING SPACE OCCURS ABOVE GARAGE, DRYWALL TO BE CONTINUOUS TO UNDERSIDE OF ROOF-DECK.

4.) TUB AND SHOWER RECESS TO HAVE 1/2" CEMENT BOARD WALLS. 5.) PROVIDE MOISTURE RESISTANT GYPSUM OR EQUIVALENT WALL BOARD IN ALL AREAS SUBJECT TO MOISTURE. 6.) FINISH AND INSTALL U.S. GYPSUM OR EQUAL S.W. SYSTEM TAPERED WALLBOARD WITH METAL CORNER BEADS.

PATCH SCREW HEADS; AND OTHERWISE PREPARE SURFACE FOR PAINTING.

AND COVERED WITH NOT LESS THAN 6" OF THE SAME MATERIAL.

JARRANT

I.) EACH CONTRACTOR SHALL GUARANTEE ALL MATERIALS, OR REPAIR WITHOUT COST TO THE OWNER, ANY SUCH DEFECTS WITHIN ONE YEAR TO DATE AFTER FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER, UNLESS OTHERWISE NOTED. HE SHALL ALSO GUARANTEE THAT ALL WORKMANSHIP IS OF HIGH QUALITY AND THAT ALL MATERIALS FURNISHED UNDER THIS CONTRACT FULFILLS THE REQUIREMENTS OF THE SPECIFICATIONS.

MISCELLANEOUS 1.) ADDREGG NUMBERS TO BE 4" MINMUM HEIGHT WITH PROPORTIONATE WIDTH. THE NUMBERS MUST CONTRAST WITH BACKGROUND AND BE EASILY SEEN FROM THE STREET. 2.) ANY STEP DOWN FROM AN EXTERIOR DOOR CANNOT EXCEED 7 3/4".

3.) PROVIDE A LANDING AT THE INSIDE/OUTSIDE OF ANY EXTERIOR DOOR, AT LEAST AS WIDE AS THE DOOR AND 11NMUM 36" WIDE IN PATH OF EGRESS. 4.) DRAINS SHALL BE PROVIDED AROUND ALL CONCRETE OR MASONRY FOUNDATIONS THAT RETAIN EARTH AND ENCLOSE HABITABLE OR USABLE SPACES LOCATED BELOW GRADE. DRANAGE TILES, GRAVEL OR CRUSHED STONE DRANS, PERFORATED PIPE OR OTHER APPROVED SYSTEMS OR MATERIALS SHALL BE INSTALLED AT OR BELOW THE AREA TO BE PROTECTED AND SHALL DISCHARGED BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRANAGE SYSTEM. GRAVEL OR CRUSHED STONE DRANS SHALL EXTEND AT LEAST "-O" BEYOND THE OUTSIDE EDGE OF THE FOOTING AND 6" ABOVE THE TOP OF THE FOOTING AND BE COVERED WITH AN APPROVED FILTER MEMBRANE MATERIAL. THE TOP OF OPEN JOINTS OF DRAIN TILES SHALL BE PROTECTED WITH STRIPS OF BUILDING. PAPER, AND THE DRAINAGE TILES OR PERFORATED PIPE SHALL BE PLACED ON A MINIMUM OF 2" OF WASHED GRAVEL OR CRUBHED ROCK AT LEAST ONE SIEVE SIZE LARGER THAN THE TILE JOINT OPENING OR PERFORATION

VENTILATION

PROVIDE 4" X 10" VENTS ON EXTERIOR SOFFITS EVERY 4' O.C. WITH BUG SCREEN. 2.) PROVIDE VENT CHUTES (INSULATION BAFFLES) IN ATTIC AREA PRIOR TO INSULATION AT LOCATIONS OF EXTERIOR SOFFIT 3.) PROVIDE ATTIC VENTILATION AT A MINIMUM RATIO OF 1:150 AT BOTH RIDGE AND SOFFIT. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1:150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1:300, PROVIDED AT LEAST 30% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, 17.) INSTALL C.O. DETECTORS AS REQUIRED BY CODES OR A VAPOR BARRIER HAVING MAXIMUM I PERM TRANSMISSION RATE IS INSTALLED ON THE WARM SIDE OF THE CEILING. VENTILATING OPENINGS SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH WITH %"½" OPENINGS

4.) VAULTED CEILINGS REQUIRE VENT CHUTES IN EACH RAFTER SPACE AT EXTERIOR WALL AND I" MINIMUM AIR SPACE ABOVE INSULATION. 5.) ROOF VENTS ARE IMPLIED ON ELEVATION DRAWING. PROVIDE 1 VENT/300 SQUARE FEET. 8" X 8" METAL ROOF VENT OR RIDGE VENT OR APPROVED EQUAL. 6.) CRAWL SPACE VENT AREA - I SQUARE FOOT/1500 SQUARE FEET OF AREA. OPENING SHALL BE PLACED TO PROVIDE

CROSS VENTILATION AND BE COVERED WITH AN APPROVED BARRIER. 7.) MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING A CHANGE OF AIR EVERY 12 MINUTES ARE APPROVED FOR BATHROOMS WHICH DO NOT HAVE THE NECESSARY SQUARE FOOT OF NATURAL VENT AREA. 8.) EXHAUST FANS, RANGE HOOD, CLOTHES DRYER TO VENT DIRECTLY TO OUTSIDE IN RIGID METAL DUCT (GALVANIZED STEEL, STANLESS STEEL OR COPPER). DETAILS OF EXHAUST DUCT CONSTRUCTION TO COMPLY WITH MIBOLS AND MIBO2 AND DETAILS TO BE PROVIDED BY OWNER. DRYER DUCTS SHALL NOT EXCEED 25 FT TO OUTSIDE(MAX REDUCE 25 FT PER 43DEGREE BEND/3FT FOR 90 BEND), RANGE HOOD DISCHARGE THROUGH SINGLE WALL DUCT WITH BACK DRAFT DAMPER. 9.) PROVIDE NIMINUM I SQ.FT. OF RELIEF OPENING IN GARAGE FOR EACH CAR. IO.) ALL MECHANICAL EQUIPMENT SHALL HAVE THE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION GUIDE ATTACHED TO THE UNIT AT THE TIME OF INSPECTION.

IL) APPLIANCES SHALL NOT OBTAIN COMBUSTION AIR FROM ANY SLEEPING ROOM, BATHROOM OR TOILET ROOM. PROVIDE COMBUSTION AIR FOR ALL FUEL-BURNING APPLIANCES IN ACCORDANCE WITH MI708 OR MI703. WINDOWS AND DOORS MINDOW U FACTOR . 0.30 OR BETTER

1.) PROVIDE AND INSTALL WINDOWS AND DOORS PER MANUFACTURER'S, CITY AND LOCAL CODES AND SPECIFICATIONS. .) FLASHING (METAL OR PLASTIC) OVER ALL EXTERIOR DOORS AND WINDOWS 3.) 1 1/4" SOLID CORE WOOD DOOR FLUSH PANEL OR APPROVED EQUIVALENT BETWEEN GARAGE AND HOUSE WITH 1 1/4" SOLID WOOD RABBETED JAMB WITH SELF CLOSING DEVICE AND NON-COMBUSTIBLE SILL AND STEP. 4.) WINDOWS AND DOORS TO BE GLAZED WITH INSULATING GLASS IN SIZES DESIGNATED ON ELEVATION AND PLAN. 5.) ALL SOLID CORE EXTERIOR DOORS SHALL RECEIVE 3-3 1/2" BUTT HINGES WITH BEARINGS.

6.) ALL SOLID CORE INTERIOR DOORS SHALL RECEIVE 3-3 1/2" BUTT HINGES. 7.) WINDOWS AND DOORS IN EXCESS OF 9 SQUARE FEET WITH LOWEST EDGE LESS THAN 18" ABOVE FINISHED FLOOR SHALL HAVE APPROVED SAFETY GLAZING. 8.) WINDOWS IN SHOWERS OR TUBS SHALL HAVE APPROVED SAFETY GLAZING.

9.) WINDOWS WITHIN 24" OF THE ARC OF A DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 30" ABOVE THE FLOOR SHALL HAVE APPROVED SAFETY GLAZING 10.) ALL WINDOW DESIGNATIONS ARE OF NOMINAL GLASS SIZES UNLESS OTHERWISE NOTED. 11.) ESCAPE WINDOW WELL IN BASEMENT TO BE MINIMUM 36" × 48". SILL 36" AFF MAX. HORIZONTAL DIMENSIONS TO PROVIDE

MINIMUM NET CLEAR AREA OF 9 sq.ft. 12.) EACH EMERGENCY ESCAPE AND RESCUE WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 3.7 SQUARE FEET. THE NET CLEAR OPENING SHALL BE AT LEAST 24 INCHES IN HEIGHT AND AT LEAST 20 INCHES IN WIDTH. THE WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44 INCHES ABOVE THE FLOOR DOORS TO MECHANICAL ROOMS SHALL BE A MIN. OF 1-3/8" SOLID CORE WOOD DOOR WITH CLOSER 1-3/8" HOLLOW INSULATED METAL DOOR WITH CLOSER OR 30 MIN. RATED DOOR WITH CLOSER.

	60"	4	ХЗ	5 1/2 >	× ¾	
	7'0"	4	ХЗ	12>	< %	
	8'0"	5	ХЗ	3 1/2 >	× %	
	9' 0 "	5	ХЗ	5 1/2 >	× 3%	
	10'0"	6	ХЗ	12>	< 3%	
	INSTALL ALL A	NGLES W	TH LO	ng I	Legs	VE
)	PROVIDE MINIMUM	DOUBLE	LINED	8"	DIAME	ETER

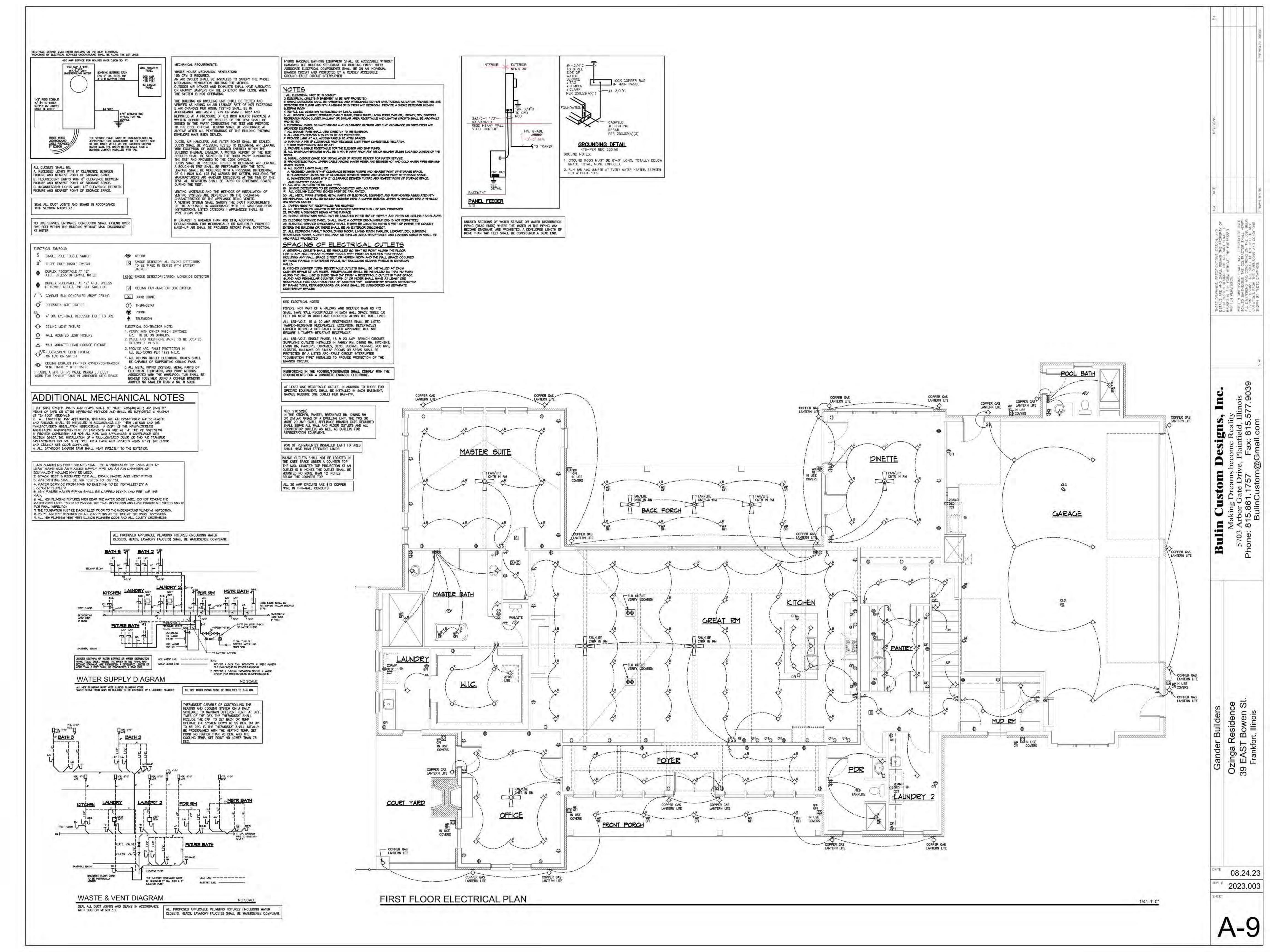
(DUR-O BOARD OR EQUAL); MACHINE TAPE ALL JOINTS WITH "PERFATAPE" JOINT SYSTEM OR APPROVED EQUAL; 4.) 24" AIR CHAMBER AT EACH FIXTURE

5.) 24" AIR CHAMBER AT EACH RIBER 6.) SHUT OFF VALVE AT EACH FIXTURE 7.) SERVICE WEIGHT CAST IRON BELOW GRADE

design	DEPTH									
PROPERTY	5 1/2"	7 1/4"	ອ 1/4"	9 1/2"	1 1/4"	7/8"	4	16"	3	20"
MOMENT(FT-LBS)	2,125	3,555	5,600	5,885	8,070	8,925	12,130	15,555	19,375	12,580
SHEAR(LBS)	1,830	2,410	3,075	3,160	3,740	3,950	4,655	5,320	5,985	6,650
MOMENT OF INERTIA(IN.) *	24	56	١Þ	125	208	244	400	59 7	851	1,16
WEIGHT(PLF)	2.8	3.7	4.7	4,8	5.7	6.1	7.1	8.2	9.2	10.2

	BY	PREVIDUS: 00000	-
	REVISIONS		
MASONRY, FIREPLACE AND CHIMNEY U ALL BECK BHALL CONFORM TO ASTM GENERALIZES OF CASE OF ALL 2) ALL MACKET REMORDERENT MOVICE MULT TE BHALL BE INC CASTED. CONTINUOUS HORIZONTAL MASONEY JOINTS EXHIPACED HIAL THE PLACED IN MALL B' OR MUER. 16" GO. VERTICALLY, PROVIDE CORRENTED MERIAL TES TO ACHORE BECK UNERET TO ADON FRAME STRUCTURE. TES TO BE AT 16" GO. 3) MASON CONTRACTOR SHALL PROVIDE AND TO BUTPORT MORE THAN 227 BG. FT. 3) MASON CONTRACTOR SHALL PROVIDE AND INSTALL ALL HARING AS INJURIED ON PRANISCIG OR AND MYDE NECESSARY TO PROVIDE A WATER THAT CONSTRUCTOR. THEN MALL PLASHING SHALL HAVE HEEPS AT 2' O' G.C. MAXIMUM 4) MORTAR SHALL CONFORM TO ASTM C 270 TIFE M 5) ALL CONFORT TO ASTM C 270 TIFE M 5) ALL CONFORME JOINT AND CAPTOR THE CASES AND TORING ONLY HEN MORTAR STARTS TO REBAST THANG PRESSURE. 7) NEAR CONTRACTOR SHALL CORFORM TACE JOINTS EXPOSED SHALL BE NUMBED WITH A METAL TOOL TO FORM A CONCARE DON'T AND COPERANT INFERIMENTS. FILL ALL HOLES AND JOINTS CALLY HEN MORTAR STARTS TO REBAST THANG PRESSURE. 7) NEAR CONTRACTOR SHALL DURING MARKET BHOVE AND ALL DOCE MORTAR STARTS TO REBAST THANG PRESSURE. 1) MARCON CONTRACTOR SHALL DURING MARK MARKET. 3) ALL MACON CONTRACTOR SHALL DURING MARKET MARK AND REPART THERE INCESSARY. 3) ALL MACON CONTRACTOR SHALL BUT DIATING HARE MORTAR STARTS TO REBAST THANG PRESSURE. 1) MARCON CONTRACTOR SHALL BUT DIATING HARE MARKET MARKET MARKET TO COMPLETE BLICK. 3) ALL NOT CONTRACTOR SHALL BUT DIATING HARE MARKET MARKET MARKET TO COMPLETE MICH AND MARKET MARKET MARKET MARKET MARKET MARKET MARKET TO COMPLETE MICH AND ALL DURING MARKET MARKET MARKET MARKET MARKET MARKET MARKET TO 1) MARCON CONTRACTOR SHALL BUT DIATING HARE MARKET MARKET MARKET TO THE MORTAR STARTS TO 2) ALL REPERTING CONTRACTOR SHALL BUT DIATING MARKET MARKE	E E E	N ON	-
PROVIDE IT LINT NTING DAMPERS AND A 12 NCH SYKLE GHELT. PLUMBING COMPLY MIT ALL LOCAL CODES AND ODDINANCES COMPLY MIT ALL LOCAL CODES AND ODDINANCES COMPLY MIT ALL LOCAL CODES AND ODDINANCES A 24 AC CAMPER AT EACH POTURE A 25 AF AC CAMPER AT EACH POTURE A 26 SHUT OF VALUE AT EACH POTURE A 26 SHUT OF VALUE AT EACH POTURE A 26 SHUT OF VALUE AT EACH POTURE A 27 AR CAMPER AT EACH POTURE A 26 SHUT OF VALUE AT EACH POTURE A 27 AR CAMPER AT EACH POTURE A 26 SHUT OF VALUE AT EACH POTURE A 27 AR CAMPER AT EACH POTURE A 28 SHUT OF VALUE AT EACH POTURE A 29 SHUT OF VALUE AT EACH POTURE A 20 SHUT OF VALUE AT EACH POTURE A 21 SHUT OF VALUE A 21 SHUT OF	Bulin Custom Designs, Inc.	Making Dreams become Reality 5703 Arbor Gate Drive, Plainfield, Illinois Phone: 815.861.1757 Fax: 815.577.9039 BulinCustom@Gmail.com	
B) A ANNAH MARKA GY INETY GO WALE BY INEE GO HEE BALL BE MECHANICAL UN REVICE A REVERT CONVERTIGE ON AND A COLLECTROL DRIGONACT ENTRONO MRM THE LOOD TO THE TOP OF THE COMPARY. MECHANICAL UN REVICES ARE NOT PREMITTED IN ATTICE AND COULD SPACES (COE AMENDMENTS)	Gander Builders	Ozinga Residence 39 EAST Bowen St. Frankfort, Illinois	
	DATE JOB # SHEET	08.24.23 2023.003	-

ND	
M	
ARE. 5/16"	
5	
PLIES	
STRESSES	
ell8,750 psi E=1.9 X 10 psi F=2,600 psi a F=7,50 psi a =7,50 psi a =2,510 psi =2,85 psi	
BY ¾ ∄760000 ≥ VOLUME E66	
ation of load	
DEPTH	



LEGEND

+ 730.00	-	EXISTING SPOT ELEVATION
	-	EXISTING GROUND CONTOUR (PRE-SUBDIVISION)
(_	EXISTING STORM SEWER
<	-	EXISTING SANITARY SEWER
\odot	_	EXISTING STORM CATCH BASIN
\odot	-	EXISTING SANITARY MANHOLE
-	_	PROPOSED FLOW DIRECTION ARROW
PXXX.X x	_	PROPOSED SPOT ELEVATIONS
TCXXX.XX x	-	PROPOSED TOP OF CURB ELEVATIONS
FGF-XXX.XX	(-	SUGGESTED FINISHED GARAGE FLOOR ELEVATION
T/F-XXX.XX	-	SUGGESTED TOP OF FOUNDATION ELEVATION
W/O-XXX.XX	(-	SUGGESTED WALK-OUT BASEMENT FLOOR ELEVATION
FBF-XXX.XX	_	SUGGESTED FINISHED BASEMENT FLOOR ELEVATION
ww	-	PROPOSED WATER SERVICE, 1.5" MIN. TY K COPPER
	-	PROPOSED SANITARY SERVICE, 6" MIN. PVC
		(WATER & SEWER SERVICES TO BE CONSTRUCTED PER LOCAL REQUIREMENTS. FIELD VERIFY EX. SERVICE LOCATIONS & SIZING

ABBREVIATIONS P.U. or P.U.E. - PUBLIC UTILITY EASEMENT B.S.L. - BUILDING SETBACK LINE D.E. - DRAINAGE EASEMENT PCC - PORTLAND CEMENT CONCRETE

PRIOR TO CONSTRUCTION)

LEGAL DESCRIPTION

PARCEL 1:

PART OF THE EAST 138.8 FEET OF THE WEST 613.3 FEET OF THE SOUTH 469.7 FEET OF LOT 4 IN THE WEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS

PARCEL 2:

THE EAST 92 FEET OF THE SOUTH 469.7 FEET OF LOT 4 IN THE WEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 35 NORTH, RANGE 12 EAST, EXCEPTING THEREFROM THE EAST 17.48 FEET OF THE EAST 92 FEET LOT 4, LYING SOUTH OF THE NORTH LINE OF LOTS 9,10, AND 11 EXTENDED WEST AND NORTH OF THE SOUTH LINE OF SAID LOTS 9,10, AND 11 EXTENDED WEST, ALL IN THE SUBDIVISION OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS. NOTES:

1. Building setback line (BSL) and all easements shown taken from recorded plat of subdivision. No title search or survey.

EX. TREE & DIA. (TYP.) FAIR CONDITION

R97-001944

PER DOC.

LAWNDALE RESIDENCES

& D.E.

_ _ _ _

- Proposed grades are not taken from an approved Neighborhood Drainage Plan, as one does not exist. FGF Finished Garage Floor) elevation and T/F (Top of Foundation) elevation based on standard practice and surrounding topographical information available.
- 3. Building footprint provided by others, and should be checked prior to construction.
- Building location should be established by measuring from surveyed property lines and checked by measuring distances to opposing property lines. Building setback line should be staked in the field to verify footprint location on the lot.
- 5. Benchmark taken from previous plan/work completed in subdivision and should be verified for tying into grades indicated, such as spot checking top of curb elevations, adjacent foundation elevation, etc. prior to construction.
- 6. Any and all off-site disturbed areas are to be restored to existing conditions or better, if necessary.
- Prior to Excavation call Joint Utilities Location Information for Excavations "J.U.L.I.E." 1-800-892-0123
- 8. All proposed top of window wells shall be set at T/F 0.30', unless noted otherwise.

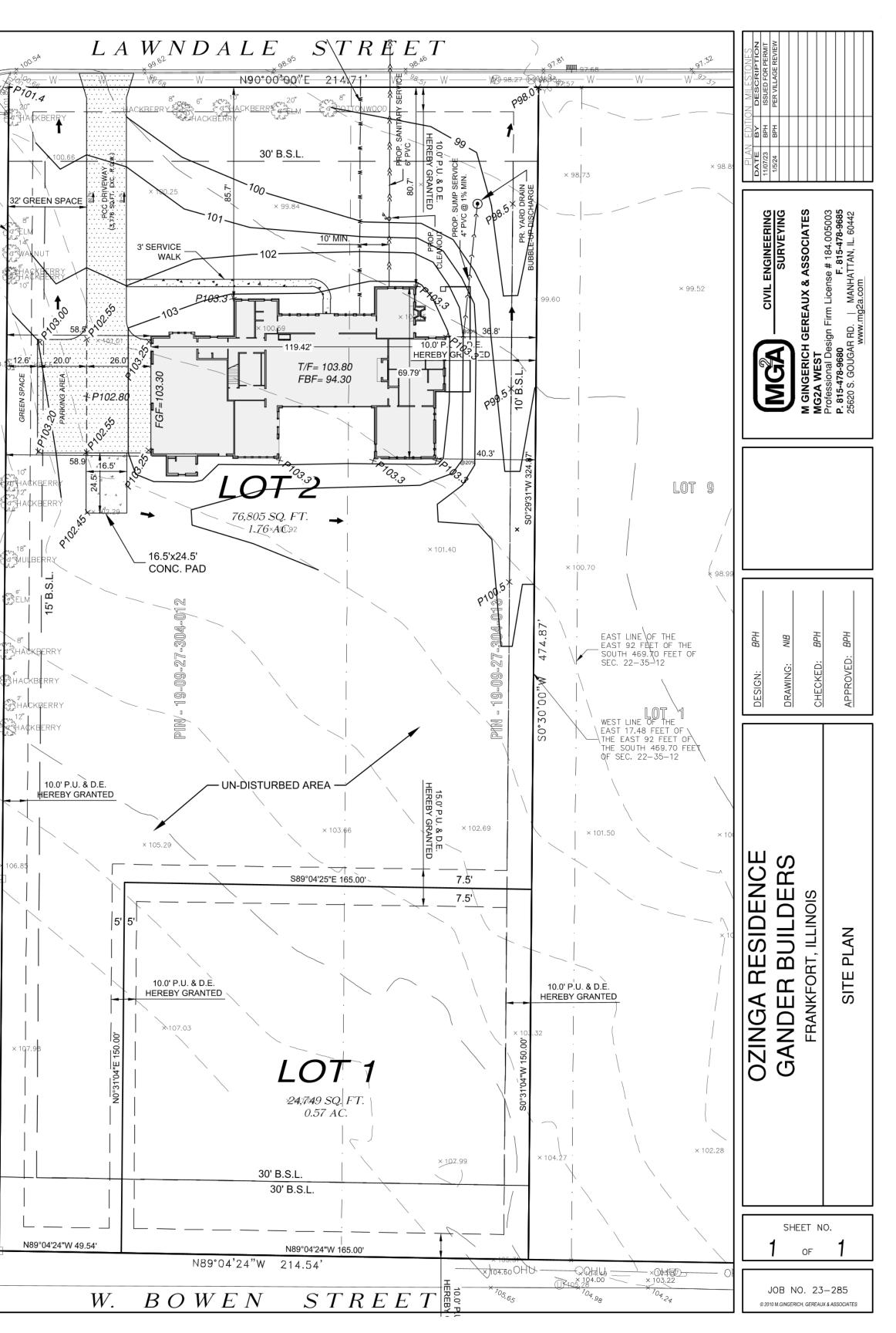
OVERALL LOT COVERAGE TABLE	
LOT AREA = 101,543 SQ.FT. or 2.3	3 ACRE
	PROPOSED (SF)
BUILDING FOOTPRINT AREA	6,100

	-,
DRIVEWAY & CONC. PAD	4,295
SIDEWALK	273
TOTALS	10,668

10.5%

IMPERVIOUS LOT COVERAGE

BENCHMARK: PER SURVEY REGIONAL VRSNOW RTK GNSS NETWORK SET MAG NAIL IN PAVEMENT NEAR SOUTHEAST CORNER OF PROPERTY ELEV.=768.03 (NAVD 88)







Application for Plan Commission / Zoning Board of Appeals Review Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following "Standards of Variation." Please attach additional pages as necessary.

- That the property in question cannot yield a reasonable return if permitted to be used only under The new construction home in question is not finished with final bidding but is estimated to cost over 1 million dollars. It will be increasing the property value of all homes surrounding it. Many exterior luxury finishes are being used on the home including a cedar shake roof, metal accent roofs, limestone sills, and premium Kolbe windows.
- 2. That the plight of the owner is due to unique circumstances; and The wall in question is essentially an interior wall. The front porch roof that is a 4/12 pitch will cover the majority of height of the wall. There are 4 large 6x6 posts that will breakup the wall and will give off the impression of being the "exterior wall". The large glass windows and mixed use of materials will provide ample breakup.
- 3. That the variation, if granted, will not alter the essential character of the locality. This variation will provide a timeless and classic look of symmetry and architectural appeal. This home will have a very "old world" feel. The materials used are consistent with other materials used in the neighborhood.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional "Standards of Variation."

 That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out; Due to the amount of width on the lot the owner would like to scale the house correctly and proportionately on the lot. The wall in question is used to continue the width of the house and keep the roofline low so as to not tower over existing homes in the area.

- That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
 In most circumstances, single family residential lots are not as wide as this lot and therefore do not allow for houses to be wide due to setbacks. This lot allows the house to be wide and therefore the house is scaled appropriately.
- 3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

The proposed variance is strictly to keep the home architecturally appealing and to keep scale correct. If forced to slim down the wall, the home will have a "squeezed" look to it.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

The hardship in question is essentially an interior wall and the property owner is strictly concerned with the aestitic and scale of the proposed home.

- 5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located; This house was tastefully designed to be symmetrical and will not impair the following properties.
- 6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

This home has been tastefully designed to merge into the existing subdivision and increase property values. The materials used are consistent with the other homes in the subdivision.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood. The home will meet all set back requirements and does not increase the danger of fire. Throughout the construction phase silt fencing will be installed to eliminate silt run off and proper jobsite ettiquete will be enforced.



Standards of Variation Commissioner Evaluation Form

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided.

	STANDARD	NOTES	MEE	TS
1.	That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;		YES	NO
2.	That the plight of the owner is due to unique circumstances;		YES	NO
3.	That the variation, if granted, will not alter the essential character of the locality.		YES	NO

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence.

	STANDARD	NOTES	MEETS	5
1.	That the particular physical surroundings, shape			
	or topographical conditions of the specific			
	property involved will bring a particular		YES	NO
	hardship upon the owner, as distinguished from			
	a mere inconvenience, if the strict letter of the			
	regulations was carried out;			

2	That the conditions when which the notition for		
2.	That the conditions upon which the petition for	VEC	
	variation is based would not be applicable,	YES	NO
	generally, to other property within the same		
	zoning classification;		
3.	That the purpose of the variation is not based		
	exclusively upon a desire to make more money	YES	NO
	out of the property;		
4.	That the alleged difficulty or hardship has not		
	been created by any person presently having an	YES	NO
	interest in the property;		
5.	That the granting of the variation will not be		
	detrimental to the public welfare or unduly		
	injurious to other property or improvements in	YES	NO
	the neighborhood in which the property is		
	located;		
6.	That the exterior architectural appeal and		
	functional plan of any proposed structure will		
	not be so at variance with either the exterior		
	architectural appeal and functional plan of the		
	structures already constructed, or in the course	YES	NO
	of construction in the immediate neighborhood		
	or the character of the applicable district, as to		
	cause a substantial depreciation in the property		
	values within the neighborhood; or		
7.	That the proposed variation will not impair an		
	adequate supply of air to adjacent property,		
	substantially increase the danger of fire,	YES	NO
	otherwise endanger the public safety or		
	substantially diminish or impair property values		
1	within the neighborhood.		

Planning Commission / ZBA



January 25, 2023

Project:	Abbey Woods North
Meeting Type:	Workshop #2
Requests:	Rezoning (upon annexation), Preliminary Plat of Subdivision
Location:	South side of St. Francis Road, just east of La Grange Road
Applicant:	O'Malley Builders Inc.
Prop. Owner:	Steven Beemsterboer
Representative:	Shawn O'Malley
Staff Reviewer:	Christopher Gruba

Site Details

Gross Area:	797,583 sq. ft. (18.31 acres)	
Net Area	574,120 sq. ft. (13.18 acres)	
PIN(s):	19-09-15-300-019-0000	
Existing Zoning:	A-1 (County)	
Proposed Zoning:	R-2 (Single-Family Residential)	
Future Land Use:	Single Family Detached Residential	
Lots:	26	

Figure 1. Location Map



Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Undeveloped	Single-Family	A-1 (County)
North	Single-Family	Single-Family	R-2
South	Floodway	Conservation	R-1
East	Religious/ Institutional	Institutional/ Utility	E-R
West	Single Family	Single-Family	A-1 (County)

Project Summary —

The applicant, O'Malley Builders, Inc., is proposing a 25-lot single-family detached residential subdivision for "Abbey Woods North" (the plans at the first workshop included 26 lots). The subject property is located in unincorporated Will County and zoned A-1, Agricultural. The Village's 2019 Comprehensive Plan recommends that the property be developed for Single-Family detached homes. The applicant is proposing to rezone the property to R-2, Single-Family Residential, upon annexation into the Village. The current single parcel would be subdivided into buildable lots and common area lots through a Plat of Subdivision. To serve the proposed 25 lots, Waterview Trail would be extended south of St. Francis Road and would be dedicated public right-of-way. This road extension would terminate in a cul-de-sac. The proposed subdivision would follow a "traditional" development process and would not be a PUD (the reasons for which explained later in this report). As proposed, the development would require several code exceptions, which could be permitted as part of a future annexation agreement.

Attachments

- 1. Aerial Photographs, Village of Frankfort GIS (scales of 1:6,000 and 1:3,000)
- 2. FEMA floodplain and floodway maps
- 3. National Wetland Inventory Map

- 4. 2019 Bike Path Diagram
- 5. Table of Lot Size, Width and Depth, prepared by staff
- 6. 2008 Design Standards excerpt, Street Geometric Criteria
- 7. Subdivision Ordinance (Ord-921) excerpt, Section 9.2-10 Cul-de-sacs
- 8. Draft Covenants and Restrictions, received 6.21.23
- 9. Tree Survey and list of existing trees, received 1.16.24
- 10. Plat of Survey, received 1.16.24
- 11. Plat of Annexation, received 1.16.24
- 12. Preliminary Plat, received 1.16.24
- 13. Preliminary Plat, retaining walls bolded in red, property lines in blue (staff)
- 14. Landscape Plan, received 1.16.24
- 15. Lighting Plan, received 1.16.24
- 16. Truck Turning Plan, received 1.18.24

Analysis _____

2019 Comprehensive Plan:

The Comprehensive Plan designates the subject property as "Single-Family Detached Residential". The proposed use of the property for 25 single-family homes is consistent with the plan.

Zoning:

The subject property is currently zoned A-1, Agricultural, as per the zoning designation of Will County. The applicant is proposing rezoning the property to R-2 (Single-Family Residential), upon annexation into the Village. The R-2 zone district permits single-family homes by-right.

Dimensional Table:

	R-2 Standard	Notes
		Largest: Lot 23: 19,445 SF, Smallest:
Minimum Lot Size	15,000 SF	Lots 18 & 19: 15,000 SF, Avg: 16,110 SF
Minimum Lot Width*	100' typical lot, 120' corner lot	Average: 108'
	150' typical lot, 130' if abuts	Average: 146'
Minimum Lot Depth	permanent open space	Average: 146'
Maximum Density	2.25 d.u./net ac.	Proposed: 1.89 d.u./net ac.
Front Yard Setback	30' min	TBD (custom homes)
Corner Side Yard Setback	30' min	TBD (custom homes)
	10' min ea. side, total 25' both	TBD (custom homes)
Side Yard Setback	sides	TBD (custoff fiories)
Rear Yard Setback	30' min	TBD (custom homes)
Lot Coverage	20% max	TBD (custom homes)
Impervious Lot Coverage	40% max	TBD (custom homes)

*Min lot depth: The minimum lot depth may be decreased by 20' if the rear lot line abuts permanent open space. In this case, those lots that abut the detention ponds may be as little as 130' deep.

Site Plan:

General Comments:

1. The site slopes down noticeably from a high point along St. Francis Drive to the low point of Hickory Creek. A significant portion of the southern end of the site is located in the floodway and cannot be developed.

- 2. The R-2 zone district allows a maximum residential density of up to 2.25 dwelling units/acre. The applicant is proposing a density of 1.89 dwelling units/acre, complying with this requirement.
- 3. All 25 lots meet the minimum lot size requirement of 15,000 square feet for the R-2 zone district.
- 4. Most of the 25 lots meet the minimum lot width requirement of 100' for a typical lot and 120' for a corner lot. Lots 8, 9, and 25 are the only corner lots in the subdivision and all of them do not meet the required 120' lot width. These substandard lots widths would require variations, which could be granted as part of the annexation agreement, and not as traditional variations.
- 5. Most of the 25 lots meet the minimum lot depth requirement of 150' for a typical lot and 130' when the rear lot line of a lot abuts permanent open space (such as either detention pond). Lots 10, 14, 15 and 16 do not meet the minimum lot depth requirement. These substandard lots depths would require variations, which could be granted as part of the annexation agreement, and not as traditional variations.
- 6. The Preliminary Plat illustrates the building setback lines on the lots as well as the proposed building footprint for each house (rectangle). The building footprint should be located behind the building setback line. However, the pie-shaped lots adjacent to the cul-de-sacs are much narrower at the front. Since the R-2 zone district requires a minimum lot width of 100' for non-corner lots, the building footprint (rectangle) was shifted back behind where the 100' width is achieved on these lots. The building setback line should be shifted back for Lots 12, 13, 23 and 24. The building setback line on these lots is incorrectly illustrated and should be corrected with any future plan submittal.
- 7. The applicant is proposing retaining walls on both the east and west sides of the subdivision development. Although the retaining walls are noted on the Plat, staff highlighted them in red on a separate exhibit so they can be seen more clearly. There are 3 separate sections of retaining walls. At the last workshop, the plans illustrated a double-tiered wall, but these have been changed to single walls for each section. The longest wall section is approximately 333'. The tallest of any retaining wall is 5.6'. The 2008 Design Standards (page 70) notes that the use of retaining walls is "strongly discouraged" and that any retaining walls over 50' long or 2.5' tall require review and approval by the Plan Commission. The Design Standards do not note this as a variation, but rather as an approval granted the Plan Commission. If the Plan Commission decides to accept the use of the retaining walls as proposed, this acceptance would be noted in the meeting minutes as part of the written record.
- 8. The applicant is proposing five light poles along the extension of Waterview Trail, south of St. Francis Road. In discussions with Public Works, the streetlights may be the acorn-style fixtures to match those north of St. Francis Road, but the lighting element must be LED. Staff also recommends installing reflectors at the top of the acorn fixture to help minimize light pollution, although this is not a requirement in the Zoning Ordinance. Streetlights without cut-off fixtures, as in this case, cannot exceed 12' tall within the R-2 zone district. The proposed light poles would be 12' measured to the top of the light fixture, meeting this requirement. The light poles must not be spaced more than 300' apart, per page 33 of the Land Subdivision Regulations (Ord-921). The first two lights from St. Francis Road are spaced 323' and 315' apart, not meeting this requirement. Relief may be granted as part of the annexation agreement.
- 9. 50' of the north end of the property must be dedicated to the St. Francis Road right-of-way. This dedication is illustrated on the Preliminary Plat.
- 10. The applicant is requesting several variations for this project, including but not limited to providing less than the minimum required lot widths and depth. In response, staff recommended to the applicant to investigate whether either of the adjacent property owners would consider conveying (selling) a portion

of their land to provide greater flexibility of site design, such as meeting the minimum lot depth requirement. The applicant has informed staff that neither neighboring property is interested.

Parking & Loading:

- 1. Each dwelling unit is required to provide a two-car garage. It's anticipated that each unit will have a 2-car garage, meeting this requirement.
- 2. The extension of Waterview Trail would be dedicated as a public road, complying with the 2008 Design Standards, including the required 66' right-of-way width. On-street parking would be permitted on this new public road.

Vehicular & Pedestrian Circulation:

- The Waterview Trail extension would be approximately 1,200' long, measured from the proposed public sidewalk along St. Francis Road to the end of the cul-de-sac. The 2008 Design Standards (page 97) requires that any dead-end local street shall not exceed 750'. The Subdivision Ordinance (Ord-921, page 50) requires that any dead-end street serving 25 or more homes shall not exceed 500'. The proposed road extension would therefore require relief from both these requirements, which may be provided as part of the annexation agreement.
- 2. The Subdivision Ordinance (page 46) notes that proposed streets shall extend to the boundary lines of the tract to be subdivided. For this reason, and due to the long length of the proposed road extension terminating in a cul-de-sac, staff requested a stub street connection to the undeveloped 18-acre property to the west, commonly known as the Fleck Property. This stub street connection meets the minimum right-of-way width of 66', complete with curbing and 5' sidewalks on either side. However, the street pavement and sidewalks stop short of the Fleck property by about 30'. Staff recommends that all pavement extend to the property line as is required per code. The stub street, with sidewalks, would be required to be installed at the same time as the rest of the right-of-way improvements for the Waterview Trail extension. The plans should be amended prior to the public hearing and staff recommends that this be added as a condition of approval at that time.
- 3. The Subdivision Ordinance notes that the length of a residential block shall not exceed 2,000' (page 52). At approximately 1,200', the proposed Waterview Trail extension complies with this requirement.
- 4. A 6' wide sidewalk is required along the south side St. Francis Road and 5' wide sidewalks along each side of the Waterview Trail extension. Both of the required sidewalks are illustrated on the Preliminary Plat.
- 5. In 2019, the Village drafted preliminary planning documents for a future bike path along the north side of Hickory Creek from La Grange Road near Dollar Tree to an older pedestrian bridge near Lighthouse Pointe Park (see attached exhibit). The bike path crosses through the subject property at the south end, close to Hickory Creek, and would be the first segment of the path to be completed. At staff's request, the applicant has provided a 10' wide bike path connection, closely matching the preliminary plans for the route of the bike path and would allow a future connection to properties on either side. The bike path would be located in a common area within part of Outlot A, to be owned and maintained by the HOA. The bike path would also connect to the cul-de-sac right-of-way, making it accessible to residents of the subdivision. The general public could also access the bike path via St. Francis to the Waterview Trail extension. The proposed retaining walls would not interfere with the bike path.

Stormwater & Drainage:

There is significant floodway over the south 1/5 of the subject property adjacent to Hickory Creek (see attached FEMA exhibits). The proposed development maximizes the number of lots on the site and the applicant has been working closely with Robinson Engineering for preliminary engineering approval. At this time, some of Robinson's preliminary engineering comments have been addressed, although some comments still remain. On-site detention has been provided in two detention ponds: one adjacent to Hickory Creek and one along the western side of the development.

The most significant engineering change since the first workshop is that the double-tiered retaining walls on the east and west sides of the project have been replaced with single-tier walls. This seems to have been achieved by creating a shared drainage swale that straddles the west property line, encroaching slightly onto the Fleck property. The shared drainage swale will require that a 15' wide public utility & drainage easement be placed on the Fleck property. As such, a Plat of Easement will be required on the Fleck property. The Fleck property is currently unincorporated in Will County and any such Plat of Easement would need to be reviewed and approved by Will County. The applicant has been in discussions with Mrs. Fleck regarding the shared drainage swale, but a draft agreement between the two property owners was not available at the time of this report. If desired, the PC/ZBA could add a condition of approval to the Plat of Subdivision that a copy of the recorded 15' public utility and drainage easement on the Fleck property be provided to staff.

Landscaping:

Most of the Village's landscaping requirements are listed in the Landscape Ordinance, although some requirements are listed in the Zoning Ordinance. For the proposed residential subdivision, four (4) basic types of landscaping are required:

- 1. Landscaping adjacent to an Arterial Road (St. Francis): A 25' wide, 3' tall, landscaped berm is required along the length of St. Francis Road. This berm must contain "125 plant units" per 100' of lineal frontage and at least 40% of the plant units must be evergreen. A 3' tall berm is provided along the entire length of St. Francis Road, although there are two gaps east of the proposed Waterview Trail extension, but these have been provided for drainage. The Landscape Ordinance does permit exceptions when the berm would conflict with drainage, as in this case. This 25' landscape berm is located in a 25' wide "no fence, no access" easement, to ensure no fences or vehicular (driveway) connections to St. Francis Road.
- Street Trees (Parkway Plantings) along the Waterview Trail extension: One (1) overstory tree is required for every 35' lineal feet of road frontage. The Landscape Plan notes that three (3) different tree species will be provided for the street trees. The total number of street trees provided complies with this code requirement.
- Landscaping around the perimeter of stormwater detention facilities: Twenty (20) plant units are required for every 100' lineal feet of perimeter around each pond, measured at the high-water level (HWL). It appears that the proposed pond landscaping has been placed above the high-water level.
- 4. <u>Preservation Tree mitigation</u>: The Tree Survey lists all of the existing trees on the property, with 158 existing trees in total. As listed on the Tree Survey itself, 72 of the 158 trees would be removed. Of the 72 trees to be removed, 47 of these are classified as "preservation trees" in the Landscape Ordinance and are "fair" or "good" condition. Preservation trees, due to their desirability for ecological and aesthetic reasons, must be mitigated on-site site with other new trees at least 2.5" in caliper. Preservation trees must be mitigated at a 1:1 ratio of caliper inch removed. The 47 preservation trees to be removed, in fair or good condition, add up to a total of 588". The minimum size of a mitigation tree must be at least 2.5" caliper. As such, at least 235 mitigation trees must be planted on-site, *in addition to the trees and shrubs*

required for the St. Francis berm, detention ponds and street trees. It's unclear whether there is physically enough space in the development to plant all of the mitigation trees on-site. Mitigation trees can't be planted on private lots, below the high-water line of the detention ponds or in the floodway or floodplain. As allowed per the Landscape Ordinance, staff is not requiring the mitigation of preservation trees that are in "poor" or "dead" condition. If space is not available to plant all of the mitigation trees on-site, the developer is required to pay into a Village cash-in-lieu fund.

In summary, the landscaping requirements appear to have been met for the landscape berm, parkway plantings and around the detention pond. <u>However, it's uncertain whether enough mitigation trees have been placed on site to offset the removal of preservation trees</u>. Further work is required between staff and the applicant to <u>determine whether there is a deficiency, and if so, by how much</u>.

Traditional Development vs. PUD:

Staff is recommending that the subdivision be developed in a "traditional" sense and not as a PUD. To support this decision, staff offers the following:

The purpose of PUD's is described in the Zoning Ordinance on page 22: This section is intended to provide the means and guidelines through which tracts of land may be developed through a comprehensive approach, rather than the traditional lot-by-lot treatment afforded by other districts in this ordinance. It is intended to provide a maximum of design freedom by permitting the developer an opportunity to more fully utilize the physical characteristics of the site through the reduction of lot sizes, yards, height and bulk restrictions and mixing of uses. Through the requirement of a development plan, it is the intent that property under this section will be developed through a unified design, providing contiguity between the various elements, and ultimately leading to a better environment. Increased densities may be permitted under this section if such increases can be substantiated on the basis that the superior site design makes greater densities possible, with no reduction of amenities; and keeping with the Village desire to provide a wide range of open space opportunities to serve local park and recreation facilities for active and passive use. This section is not intended to be a device for making increased densities more acceptable, or as a means of circumventing the Village's bulk regulations or standards. This section should only be employed in instances where a benefit for the community can truly be derived from its use.

Staff offers the following:

- 1. Per the definition above, a PUD "...should only be employed in instances where a benefits for the community can truly be derived from its use". It's not clear what benefits are offered or could be offered as proposed. The development does not provide any usable, common open space, community structures such as a gazebo or dog park or preserve any mature trees not located in the floodplain. The only benefit offered is a bike path, which is required pursuant to Section 8.4-1 of the Land Subdivision Regulations which pertains to specific requirements for recreational sites that are included in the Comprehensive Plan. The proposed shared use path is reflected as a "Priority Gap" on Figure 3.2 Frankfort Trail Inventory Map on Page 25 in the Comprehensive Plan.
- 2. The illustration on page 30 of the Zoning Ordinance is intended to provide an example of a typical residential PUD. It illustrates smaller (typically undersized) lots, provides usable common open space, preserves existing wooded areas and provides a larger buffer from a river. The proposed Preliminary Plat for Abbey Woods North maximizes lot sizes, provides no usable open space, removes a large number of existing trees on the site (most of which are located in the floodplain and floodway of Hickory Creek) and the development extends as close as possible to Hickory Creek itself. In short, the proposed plan does not look like the picture.
- 3. The applicant is required to provide "tangible benefits" for PUD developments. These tangible benefits are intended to offset the "exceptions" (variations) requested. These tangible benefits should go above and beyond what is already required by code. Again, the only possible tangible benefit as proposed is a

10' wide bike path, which would have been required for this property anyway. Tangible benefits also sometimes involve additional landscaping above and beyond what is required by code. In addition to the required landscaping around the ponds, the berm along St. Francis Road and the street trees along Waterview Trail, the applicant will be required to plant 235 2.5" caliper trees to mitigate the preservation trees lost. It's quite possible that there isn't enough space to plant these 235 mitigation trees on-site, and therefore there wouldn't be any space beyond that to add additional plantings to reach the level of a tangible benefit.

Other:

- 1. The Fire District has reviewed the proposed site plan and does not have any additional comments at this time.
- 2. A draft of the Covenants and Restrictions have been provided and included with this report.
- 3. The applicant is expected to provide a SHPO clearance letter, which would determine if there are any significant cultural resources that would be impacted by the proposed development.
- 4. On November 8, 2022, the applicant was asked by staff to transmit a copy of the proposed Plat to the School District and Frankfort Park District in accordance with Section 1B of Ordinance No. 2265, commonly referred to as the School and Park Donation Ordinance. On January 19, 2023, the applicant forwarded an email from the Park District, noting that they will be requesting a cash-in-lieu payment from the developer. The payment is a function of the size of each home, which is not known at this time. However, the Park District estimates a cash donation between \$134,559 and \$174,987. To-date, staff has not received a response from the School District but we anticipate that a cash donation based on the bedroom formula, and payable at the time of building permit application will be acceptable.

Code Relief Requested —

The applicant is requesting the following code relief for the project. These requests may be memorialized as part of the Annexation Agreement and its attachments, which may eventually be approved by the Village Board. To "offset" the requested relief, the PC/ZBA may recommend additional amenities for the development, which would be conditions of approval that may also make their way into the future annexation agreement. Conversely, the PC/ZBA may choose to state for the record during the workshop that they are *not* in favor of granting some or all of the relief requests.

The code relief requests, thus far, are as follows:

- The minimum lot depth for the R-2 zone district is 150' for a typical lot, but this lot depth may be decreased to 130' when the rear lot line abuts permanent, common open space. Lots 10, 14, 15 and 16 do not meet the minimum 150' depth requirement. Please see attached Lot Size, Width and Depth exhibit prepared by staff.
- The minimum lot width for the R-2 zone district is 100' for typical lots and 120' for corner lots. There are three (3) corner lots proposed (Lots 8, 9 and 25) that do not meet the 120' minimum width. Please see attached Lot Size, Width and Depth exhibit prepared by staff.
- 3. The 2008 Design Standards note that local access roads that terminate in a cul-de-sac may not exceed 750' long (page 97). The proposed road extension of Waterview Trail, including the cul-de-sac, measures approximately 1,200'.

4. The Subdivision Ordinance (Ord-921), notes that cul-de-sacs or dead-end streets serving 25 or more dwelling units may not exceed 500' in length. The proposed road extension of Waterview Trail, including the cul-de-sac, measures approximately 1,200'.

Rezoning, Findings of Fact -

The Plan Commission shall make written findings of fact and shall submit same, together with its recommendations to the Village Board, for action. Where the purpose and effect of the proposed amendment is to change the zoning classification of particular property, the Plan Commission shall make findings based upon all the evidence presented to it and shall consider among other pertinent matters, the following:

- 1. Existing uses of property within the general area of the property in question;
- 2. The zoning classification of property within the general area of the property in question;
- 3. The suitability of the property in question to the uses permitted under the existing zoning classification;
- 4. The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classification; and
- 5. The change in zoning is in conformance with the comprehensive plan of the Village and its official map.

The proposed R-2 zoning of the subdivision would match the existing R-2 zoning to the north in the Candle Creek Subdivision. The E-R zone district to the east and the R-1 zone district to the south are generally compatible with the proposed R-2 zoning. The property to the west remains unincorporated but has a County zone district of A-1 (agricultural).

Anticipated Review Process —

The anticipated review process is as follows:

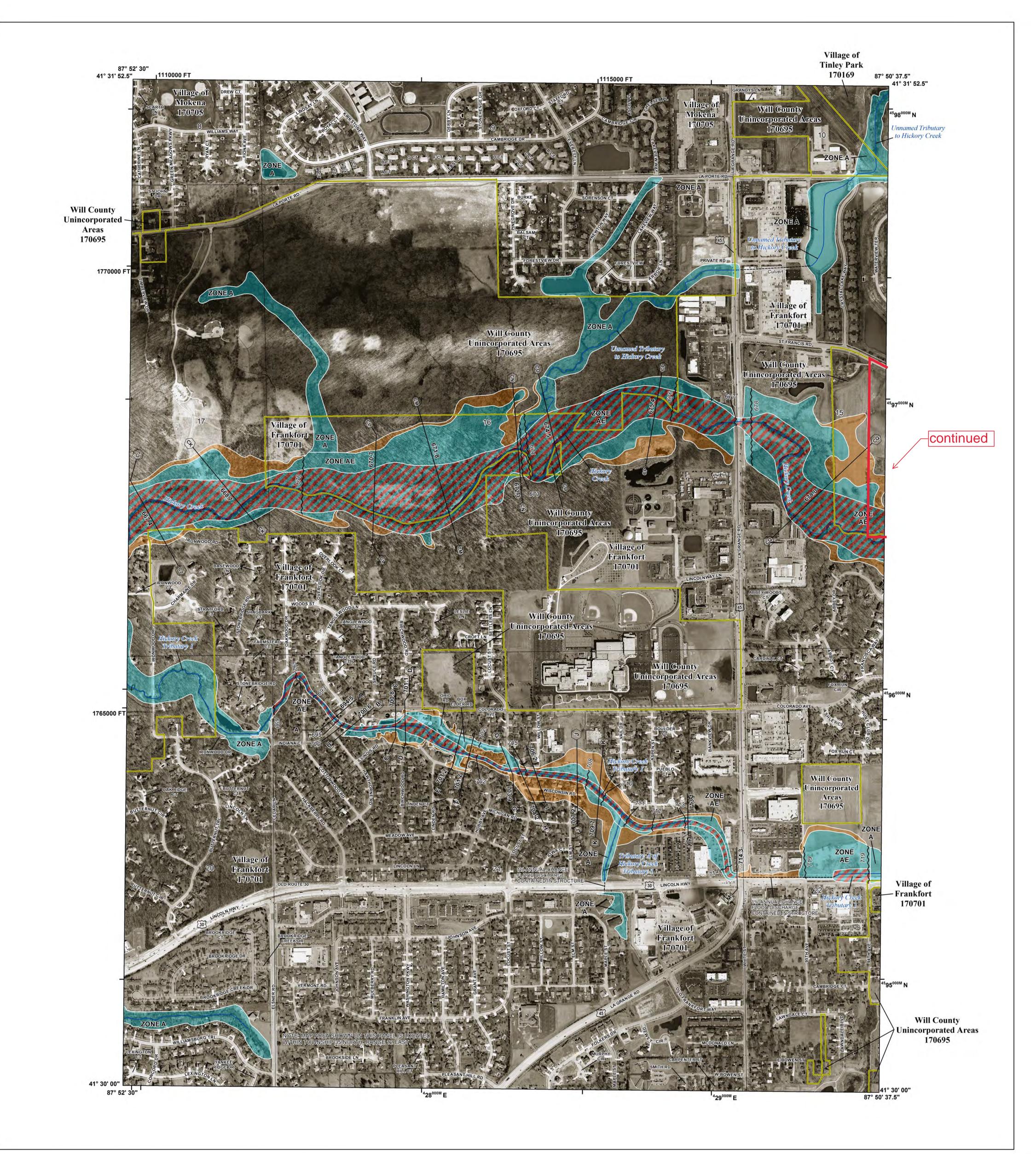
- 1. PC/ZBA workshop #2 (January 25, 2024)
- 2. Applicant and Robinson Engineering work together to obtain Preliminary/Final Engineering approval
- PC/ZBA public hearing: Recommendations made for Rezoning, <u>Preliminary</u> Plat of Subdivision and any code relief requests that would be memorialized as part of the Annexation Agreement. Also, review Plat of Easement for 15' public utility & drainage easement on the Fleck property to the west.
- 4. Staff sends Annexation Agreement to Village Attorney for legal review and comment
- 5. Committee of the Whole review of the Annexation Agreement, including several attachments
- 6. Village Board review and action for Preliminary Plat of Subdivision, Ordinance for Annexation Agreement (Public Hearing and legal notices required), Ordinance for Annexing Certain Land into Village (Plat of Annexation) and Ordinance for Rezoning from E-R (default zoning) to R-2. Also, review of Plat of Easement for Fleck property.
- 7. Return to Plan Commission for review and recommendation of Final Plat of Subdivision
- 8. Return to Village Board for review and action for Final Plat of Subdivision

Abbey Woods North - 26-lot subdivision



Abbey Woods North - 26-lot subdivision





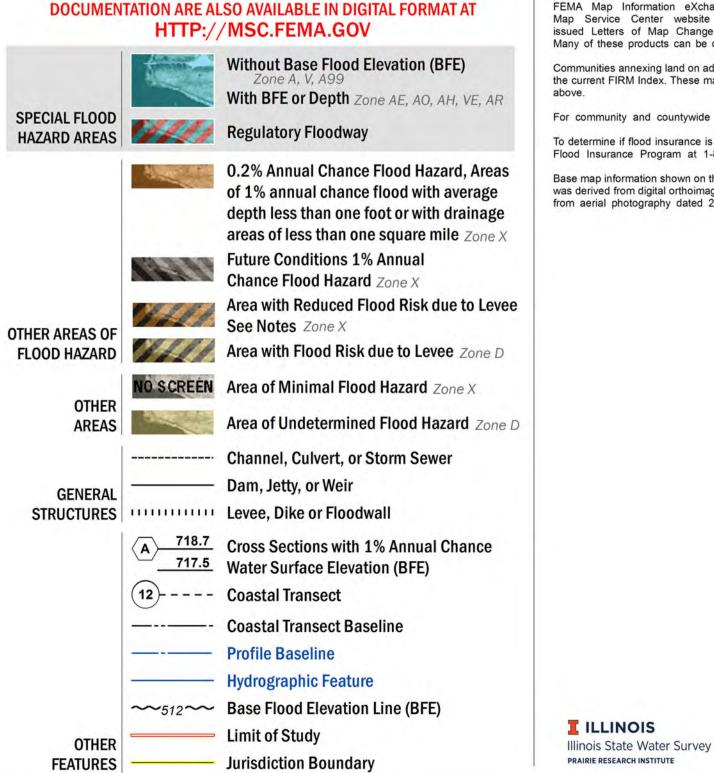
SCALE

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Map Projection:

FLOOD HAZARD INFORMATION

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT THE INFORMATION DEPICTED ON THIS MAP AND SUPPORTING



NOTES TO USERS

For information and questions about this Flood Insurance Rate Map (FIRM), available products associated with this FIRM, including historic versions, the current map date for each FIRM panel, how to order products, or the National Flood Insurance Program (NFIP) in general, please call the FEMA Map Information eXchange at 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA Flood Map Service Center website at http://msc.fema.gov. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the website.

Communities annexing land on adjacent FIRM panels must obtain a current copy of the adjacent panel as well as the current FIRM Index. These may be ordered directly from the Flood Map Service Center at the number listed

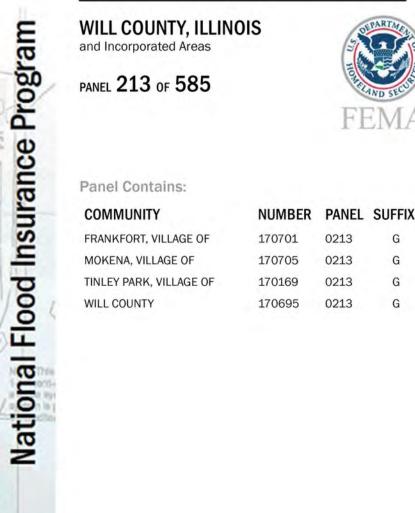
For community and countywide map dates refer to the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community, contact your Insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

Base map information shown on this FIRM was provided in digital format by Will County, Illinois. This information was derived from digital orthoimagery at a spatial resolution of 4 inches where available and 9 inches otherwise, from aerial photography dated 2013.

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NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP



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VERSION NUMBER 2.3.3.3

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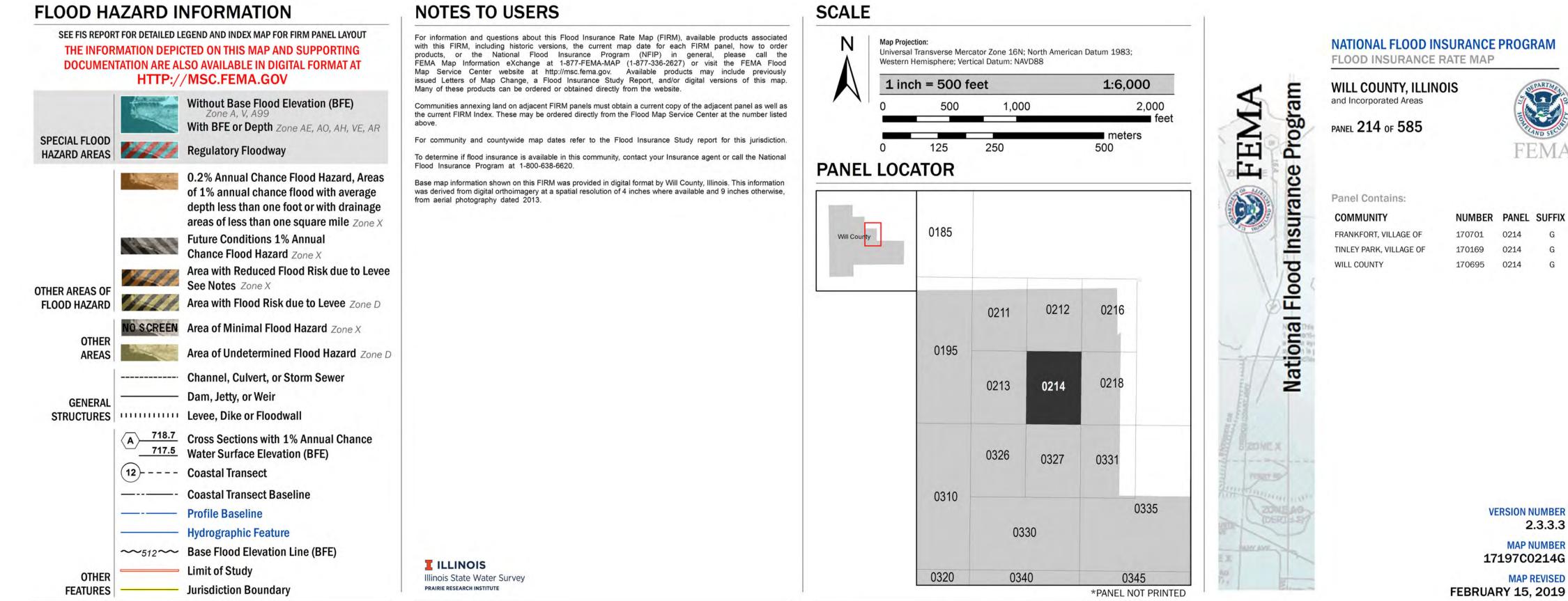
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MAP NUMBER 17197C0213G

MAP REVISED **FEBRUARY 15, 2019**



Unincorporated Areas 170695



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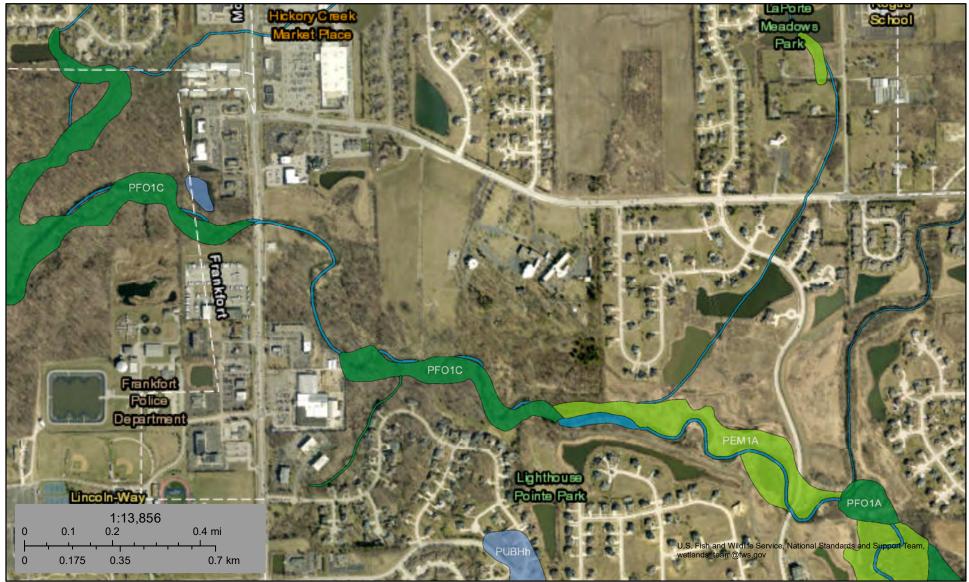
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MAP REVISED



U.S. Fish and Wildlife Service **National Wetlands Inventory**

Abbey Woods North



13

October 13, 2022

Wetlands

- Estuarine and Marine Deepwater

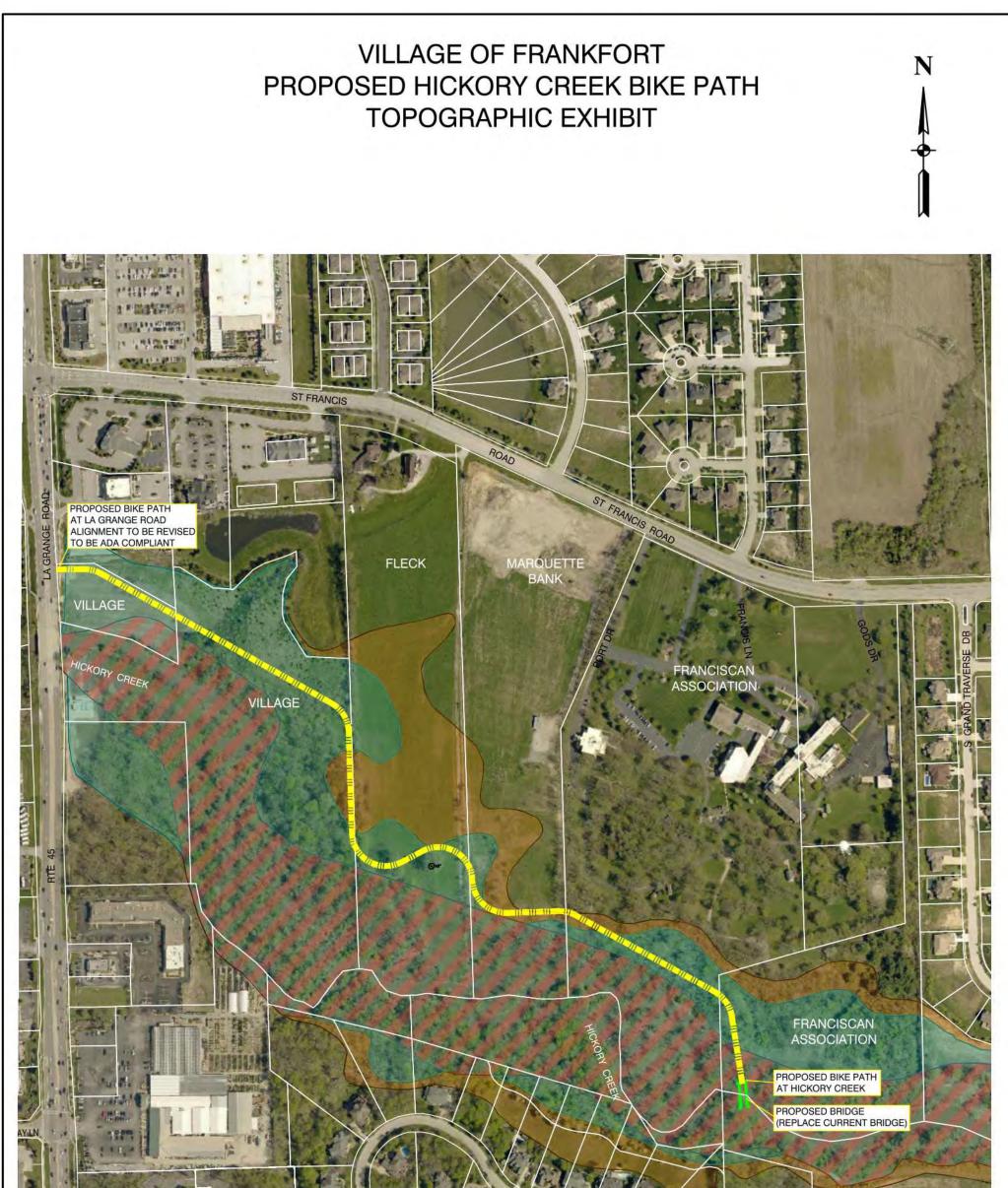
Estuarine and Marine Wetland

Freshwater Forested/Shrub Wetland

Freshwater Pond

Freshwater Emergent Wetland

Lake Other Riverine This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.





14

100

REGULATORY FLOODWAY

0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE ZONE X

SOURCE: FEMA FLOOD INSURANCE RATE MAP DATED FEBRUARY 15, 2019

PREPARED BY:

Lot Summary Table

	Area	Width	Depth	
Lot 1	19,029	138.5	131.2	
Lot 2	17,169	120	130.1	
Lot 3	15,530	119.7	132.5	
Lot 4	15,791	121.1	134.9	
Lot 5	15,463	125	130.8	
Lot 6	15,219	115	132.4	
Lot 7	15,547	100	157.8	
Lot 8	18,294	106.8	151.1	120' required
Lot 9	15,926	106.2	150	120' required
Lot 10	15,072	108.5	123.1	150' required
Lot 11	16,096	100	150.2	
Lot 12	15,021	100	135.3	
Lot 13	17,046	100	169.1	
Lot 14	15,023	110.2	122.5	150' required
Lot 15	15,020	102.6	146.4	150' required
Lot 16	15,018	102.7	146.2	150' required
Lot 17	15,046	116.1	152.1	
Lot 18	15,000	100	150	
Lot 19	15,000	100	150	
Lot 20	15,006	100	150	
Lot 21	16,401	100	162.5	
Lot 22	15,652	100	151	
Lot 23	19,445	100	162.1	
Lot 24	17,135	100	157.4	
Lot 25	17,800	106.6	171.6	120' required
AVG:	16,110	107.96	146.012	

Red text indicates exception required

STREET GEOMETRIC CRITERIA

	REGIONAL ARTERIAL	COMMUNITY ARTERIAL	MAJOR COLLECTOR	NEIGHBORHOOD COLLECTOR	LOCAL ACCESS
Right-of Way width	120'	80-100'	80'	66'	66'
Roadway width ¹	53-77'	36-53'	36'-51'	36'	32'
Sidewalk width ^{2, 3}	6'	6'	5'	5'	5'
Curb type	B-6.24	B-6.24	B-6.12	M-3.12 ⁹	M-3.12
Number of traffic lanes ⁴	4-6	2-4	2-4	2	2
Minimum Lane width	12'	12'	12'	12'	12'
On Street Parking	Prohibited	Prohibited	Prohibited	OneSidePermitted	One Side Permitted
Minimum cul-de-sac pavement radius ⁵	N/A	N/A	55'	N/A	45'
Maximum cul-de-sac length ⁶	N/A	N/A	1000'	N/A	750'
Maximum grade	6%	6%	6%	6%	8%
Minimum gutter grade	0.5%	0.5%	0.5%	0.5%	0.5%
Design Speed Posted Speed ⁷	65 mph *	30-55 mph *	30-45 mph *	30 mph 25 mph	30 mph 25 mph
Minimum Return radius ⁸	40'	40'	40'	30'	20'
Crown	2%	2%	2%	2%	2%

1. Dimensions are measured back to back of curb

2. Sidewalk shall be placed in public right-of-way, 1-foot from the property line unless otherwise approved by the Village Engineer

3. Sidewalk designated as bike path shall be a minimum width of 10' or as designated on the Bicycle Trail Master Plan.

4. Four (4) lanes required for traffic volumes over 15,000 ADT. Six (6) lanes required for traffic volumes over 25,000 ADT.

5. Cul-de-sac right-of-way radius shall be 75-feet for commercial and industrial streets and 65-feet for all others

6. The combined length of the street and diameter of the cul-de-sac

7. *Village streets with curb and gutter shall have 45 mph maximum posted speed. Design and posted speeds shall be determined by sight distance and approved by the Village Engineer.

8. Return radii should meet turning requirements of appropriate design vehicle designated in Section 6.05B.

9. Install B-6.12 if no driveway access is required by the Plan Commission.

NOTE: These are guidelines. Actual design subject to Village review alfel approval.

9.2-9 Tangents

A tangent at least 100 feet in length shall be introduced between reverse curves on major arterials and collector streets.

9.2-10 Culs-de-sac or Dead-End Streets

- a. A cul-de-sac or dead-end street serving less than 25 dwelling units shall not exceed 1,000 feet in length. Culs-de-sac serving 25 or more dwelling units shall not exceed 500 feet in length.
- b. The diameter of a cul-de-sac turnaround (measured at the outside right-of-way) shall be not less than 124 feet. Pavement diameter of a cul-de-sac turnaround shall be not less than 90 feet.

9.2-11 Half-Streets

Street systems in new subdivisions shall be laid out so as to eliminate or avoid half-streets. Where an existing half-street is adjacent to a new subdivision, the other half of the street shall be dedicated by the subdivider. Where a new subdivision abuts an existing street of inadequate right-of-way width, additional right-of-way width may be required to be dedicated by the subdivider to meet the requirements of this section.

9.2-12 Street Intersections

- a. Streets shall be laid out so as to intersect as nearly as possible at right angles. A proposed intersection of two (2) new streets at an angle of less than 75 degrees shall not be acceptable. Not more than two (2) streets shall intersect at any one point unless specifically approved by the Planning Commission. (See Figure 2, page 70, Appendix A).
- Proposed new intersections along one side of an existing street shall wherever practicable coincide with any existing intersections on the opposite side of such street. Street jogs with center line offsets of less than 150 feet shall not be permitted. Where streets intersect

1750-

DECLARATION OF COVENANTS AND RESTRICTIONS FOR ADDES WOODS NORTH SUBDIVISION

THIS DECLARATION is made thisday ofbyas Trusteeunder the provisions of a Trust Agreement dated, and known as Trust No.hereinafter referred to as Declarant.

PREAMBLES:

- A. Declarant owns fee simple title to a certain parcel of real estate in the County of Will, State of Illinois, legally described in Exhibit "A" attached hereto and made a part hereof ("the Property"); and
- B. Declarant and Developer desire to develop a single-family residential development on the Property to be known as Water Chase Estates Subdivision (the "Development"); and

C. Declarant is desirous of submitting the Property to the provisions of this Declaration.

NOW, THEREFORE, Declarant hereby declares that the Property is, and shall be held, transferred, sold, conveyed and occupied, subject to the covenants and restrictions hereinafter set forth.

ARTICLE I

DEFINITIONS

When used in this Declaration, the following words and terms shall have the following meanings:

- 1.1 "Declarant" shall mean and refer to as Trustee under the provisions of a Trust Agreement dated , and known as Trust No. , its beneficiaries, successors and assigns. Any such successor or assignee shall be deemed a Declarant and entitled to exercise all or any rights of the Declarant provided herein if designated as such by Declarant in any instrument recorded for such purposes as provided in Section 8.12.
- 1.2 "Developer" shall mean and refer to , an Illinois limited liability company, which is the owner of 100% of the beneficial interest in, to, and under the Declarant.
- 1.3 "Dwelling" shall mean any building located on a Lot and intended for the shelter and housing of a single family.

1.4 "Homeowners Association" shall mean Abber Woods North Homeowners Association.

1.5 "Improvement" or "Improvements" shall mean and include dwellings, any and all buildings, dwelling accessory building, driveways, pedestrian walkways, fences, decks,

patios, hedges, lawns, sidewalks, planted trees, shrubs and all other structures or landscaping improvements of every kind and description.

"Living Area" shall mean that portion of a dwelling which is enclosed and customarily used for dwelling purposes, and having not less than eight feet (8') of headroom, but shall 1.6 not include porches, terraces, breezeways, attached garage, carports, dwelling accessory buildings, or any portion below ground level at any point. A dwelling accessory building shall mean a subordinate building or a portion of a dwelling, the use of which is incidental to the dwelling and customary in connection with that use.

"Lot" shall mean each part of the property, the size and dimension of which shall be established by the legal description in the Lot Deed conveying such Lot. A Lot may also 1.7 be established pursuant to the Plat of Subdivision or by an instrument in writing executed, acknowledged and recorded by Declarant which designates a part of the property as a Lot for the purposes of the Declaration.

"Lot Deed" shall mean the deed of Declarant conveying a Lot to an owner. 1.8

"Owner" shall mean and refer to the record owner, whether one or more persons, or ree' simple title to any Lot, including Contract Sellers, but excluding those having such interest merely as security for the performance of an obligation. The term "Owner" shall 1.9 include the Developer to the extent Declarant owns Lot and also includes the interest of Developer or a Declarant as a Contract Seller of a Lot.

"Person" or "Persons" shall mean all natural individuals, corporations, partnerships, trustees, or other legal entities capable of holding title to the real property.

1.10 "Property" shall mean and refer to the real estate legally described in Exhibit "A"

- attached hereto and made a part hereof. 1.0
- "Single Family" shall mean one or more persons, each related to the other by blood, marriage or adoption, or a group of not more than three persons not all so related, together with his or their domestic servants, maintaining a common household in a 1.12 dwelling.

"Story" shall mean that portion of a dwelling included between the surface of any floor and the surface of the floor next above, or if there is no floor above, the space between 1.13 the floor and the ceiling next above.

ARTICLE II

- 2.1 It is the responsibility of the HOA to maintain the detention ponds and the bike path (the village only maintains the inlet and outlet structures of the ponds).
- 2.2 It is the responsibility of the HOA to maintain the retaining walls located over the multiple private lots.
- 2.3 It is the responsibility of the HOA to maintain the landscaping on top of and between the retaining walls (rock, native plantings).

ARTICLE III

CONSTRUCTION REQUIREMENTS

3.1 One Single Family Residential Dwelling. Only one single-family residential dwelling shall be built, constructed, erected, or allowed to exist on each lot in the Subdivision. None of the lots in the Subdivision as originally platted shall be divided or resubdivided except for the purpose of combining portions thereof with an adjoining lot or lots provided that no additional building site is created thereby. Any single ownership or single holding by any person or persons which comprises the whole of one of said lots (as originally platted and subdivided) and a part or parts of one or more adjoining lots, for the purposes of this Declaration, shall be deemed to constitute a single lot upon which only one single-family residential dwelling maybe erected, constructed, built or allowed to exist.

- 3.2 Dwelling Styles. Only two-story homes and ranch homes shall be built, constructed, erected or allowed to exist on any lot in the Subdivision. No tri-level homes, bi-level homes, or split-level homes shall be built, constructed, erected or allowed to exist on any lot in the Subdivision. No prefabricated home, modular home, log home or log sided home shall be constructed, built, erected or allowed to exist on any lot in the Subdivision.
- 3.3 Minimum Living Area. A two-story residential dwelling shall contain at least two thousand eight hundred (2,800) square feet of living area, not less than thirteen hundred (1,300) square feet of which will be on the first floor, exclusive of garage, breezeway, porches and basement. A one story residential dwelling shall contain at least two thousand five hundred (2,500) square feet of living area, exclusive of garage, breezeway, porches and basement. Any residential dwelling having more than one story shall be deemed to be a two-story residential dwelling for the purposes of this paragraph 3.3.
- 3.4 Building Set Backs. No building or structure shall be built, constructed, erected or allowed to exist closer to the front lot line or street than the front building set back line shown on the plat of subdivision for that particular lot. There shall be a side yard set back from the sides of the building or structure to the side lot line of each lot as follows: all structures shall be set in from the side lot line a distance of not less than ten (10) feet on the least side, with the sum of the two sides not less than twenty-five (25) feet or as provided by the Village of New Lenox zoning ordinance.
- 3.5 Exterior Construction Materials. The exterior of the first floor of each single-family residential dwelling, to include the garage, shall be constructed of brick or stone. Except for fascia, soffits, gutters and down spouts, no aluminum or vinyl siding shall be allowed on the exterior of any single-family residential dwelling, to include the garage, constructed, erected or built on any lot in the Subdivision.
- 3.6 Roof Material and Pitch. Roofs may only be constructed of architectural grade (i.e. Oak Ridge II, Timberline, Hallmark, etc.) thirty (30) year shingles. The minimum roof pitch of each house is to be 8/12.
- 3.7 Garage Requirements. As appurtenant to the single-family residential dwelling constructed, erected or built on each lot, a private garage of sufficient size to house not less than two (2) standard size American made automobiles shall be constructed or erected, which garage must be either attached directly to the single-family residential dwelling or by an enclosed breezeway and must be architecturally designed to compliment the main single-family residential dwelling. Such garage shall not be used at any time as a residence, whether temporary or permanent.
- 3.8 Driveways. A concrete or paver brick driveway shall be constructed on each lot in the subdivision from the curb line to the entrance of the garage. No asphalt driveways shall be allowed to be constructed or to exist on any lot in the Subdivision.
- 3.9 Sidewalks. Prior to the issuance of an occupancy permit for the Dwelling constructed, built or erected on any lot in the Subdivision or November 30, 2008, whichever date is earlier, the Owner of each lot in the Subdivision shall construct all public sidewalks

required for such lot in accordance with the subdivision ordinance of the Village of New Lenox.

- 3.10 Parkway Landscaping. Prior to the issuance of an occupancy permit for any Dwelling erected on each lot in the Subdivision or November 30, 2008, whichever date is earlier, the Owner of each lot in the Subdivision shall landscape that portion of the parkway between the sidewalk and the curb line which is adjacent to such lot, to include grading, seeding or sodding of the parkway and the planting of the necessary parkway trees in accordance with the landscape plan approved by the Village of New Lenox in regard to the Subdivision and the subdivision landscaping ordinance of the Village of New Lenox. The Subdivision landscaping ordinance of the Village of New Lenox. The Owner of each lot in the subdivision shall be responsible for the watering, replacement and maintenance of the parkway landscaping.
- 3.11 Sump Pump Drains. Prior to the issuance of an occupancy permit hy the Village of New Lenox for a dwelling constructed on any lot in the Subdivision, the Owner shall be responsible to hook up the sump pump drain from the dwelling to the existing sump pump drain installed by the Developer.
- 3.12 Landscaping. Prior to the issuance of an occupancy permit for any Dwelling constructed on each lot in the Subdivision or November 30, 2008, whichever date is earlier, the Owner of each lot in the Subdivision shall plant trees in the front yard of the lot. The size and species of such trees shall be in accordance with the subdivision landscaping ordinance of the Village of New Lenox. Said trees shall be located at least ten (10) feet from the driveway, at least ten (10) from any sidewalk and at least ten (10) feet from the dwelling. The watering, replacement and maintenance of said trees shall be the responsibility of the Owner. Within ninety (90) days after a Dwelling erected on each lot in the Subdivision is occupied or such additional time as necessary due to seasonal requirements, but in no event more than one hundred eighty (180) days after occupancy, the Owner shall establish a lawn and complete the landscaping of the lot.
- 3.13 Grading Plan. Each Owner during construction of the dwelling on each lot shall conform to the grading plan prepared by the Developer's Engineer and approved by the Village Engineer of the Village of New Lenox. Any and all excess fill and excess dirt shall be removed from the lot. No excess fill or dirt shall be placed on any drainage easement or utility easement. At no time shall the contours of any drainage easement or utility easement be disturbed or altered.
- 3.14 Fences. Any and all fences erected on any lot or portion of a lot in the Subdivision shall be bronze colored aluminum open picket fences of the Jerith Manufacturing Company, Inc. Style No. 202 fence design or such other similar fence design. The height of such fence shall be no greater than or no less than sixty inches (60") except as required by the ordinances of the Village of New Lenox. No fence shall be erected beyond the front exterior of the dwelling on the lot. No chain link, wrought iron, wood, split-rail or any other kind of fence other than as set forth above shall be constructed, erected, built or allowed to exist on any lot or any portion of any lot in the Subdivision.

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- 3.15 Swimming Pools. No above ground swimming pools shall be constructed, erected or allowed to exist on any Lot.
- 3.16 Accessory Structures. No accessory structure or building, including but not limited to, barns, stables, sheds, detached garages, pole buildings or greenhouses shall be constructed, erected or allowed to exist on any lot in the Subdivision. For the purposes of this paragraph, patios, decks, swimming pools and gazebos shall not be considered to be accessory structures or buildings.
- 3.17 Construction and Completion of Dwelling. The work of constructing, altering or remodeling any dwelling on any lot in the Subdivision shall be prosecuted diligently from its commencement and until completion thereof. The complete exterior structure or shell, not including finished exterior wall materials (e.g. brick, stone or other approved material), must be completed, erected and constructed within ninety (90) days after the date of construction of such dwelling shall have been commenced. The completed shell covering (including the roof and all exterior walls) on every dwelling commenced to be constructed on any lot in the subdivision shall be completed within six (6) months after the date of commencement of such construction. The affect of this provision shall be to require that from the street and from adjoining lots each such dwelling shall appear completed within said six (6) months.
- 3.1% Destruction of Dwelliug. In the event any dwelling is destroyed either wholly or partially by fire or other casualty, said dwelling shall be promptly rebuilt, repaired or remodeled to conform to this Declaration, or if not rebuilt, repaired or remodeled, all remaining portions of the dwelling, including the foundation and all debris shall, within ninety (90) days from the date of such fire or casualty, be removed from the lot and any excavation remaining on said lot shall be promptly filled with dirt, stone or other fill material.
- 3. [9] Air Conditioning Units. Any and all air conditioning units or condensers shall be located on the side or rear of each Dwelling and shall be landscaped so as to be concealed from view from any street or adjoining lot.

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ARTICLE IV

ARCHITECTURAL CONTROL TO PRESERVE THE BEAUTY, QUALITY AND VALUE OF THE DEVELOPMENT

- 4.1 Necessity of Architectural Review and Approval. No Dwelling or structure of any kind, including, without limitation, any building, fence, wall, swimming pool, tennis court, screen enclosure, decorative building, deck, gazebo, play structure, lighted recreational area, landscaping, landscape device or object structure or other improvement shall be commenced, erected, placed or maintained upon any Lot, nor shall any addition, change or alteration therein or thereof be made, unless and until the plans, specifications and location of the same shall have been submitted to, and approved in writing by the Architectural Review Committee (ARC). All plans and specifications shall be evaluated as to harmony of external design and location in relation to surrounding structures and topography. No foundation shall be poured nor shall construction commence in any manner or respect until the layout for the structure is approved by the ARC.
- 4.2 Architectural Review Committee. The Architectural Review Committee shall consist of two (2) or more members appointed by the Developer. In the event the Developer shall relinquish its authority to appoint the members of the ARC, or shall fail to appoint one or more members to the ARC, or upon the expiration of 10 years from the date of this Declaration, whichever comes first, the members of the ARC shall be appointed by the Board of Directors of the Association.
- 4.3 Powers and Duties of the ARC. The ARC shall have the following powers and duties:
 - To require submission to the ARC of two (2) complete sets of all plans and (a) specifications for any Dwelling or structure of any kind, including, without limitation, any building, swimming pool, tennis court, screen enclosure, decorative building, landscape device or object, structure or other improvement, the construction or placement of which is proposed upon any Lot in the The ARC may review and pre-approve preliminary plans of a Subdivision. proposed Owner prior to the submission of plans and specifications from an architect with the final review and approval contingent upon submission of plans and specifications from a licensed architect provided for herein. The ARC may require submission of samples of building and construction materials proposed for use on any Lot and such additional information as reasonably may be necessary for the ARC to completely evaluate the proposed structure or improvement in accordance with this Declaration including but not limited to, a site plan showing location of the buildings, landscape plan, fences, gas or electric yard light and other structures upon the Lot. At the time the plans and specifications are submitted to the ARC, the Owner shall pay to the ARC a fee of Three Hundred Dollars (\$300.00) for the ARC's services in reviewing the plans and specifications.
 - (b) The ARC shall have the unrestricted right to prevent the building of and to disapprove of any construction plans submitted to it as aforesaid if, in the sole opinion of the ARC:

- (i) Such construction plans are not in accordance with all of the provisions of this Declaration.
- (ii) If the design, exterior and interior size, exterior shape, exterior construction materials or color scheme of the proposed building or other structure is not in harmony with the adjacent buildings, structures of the character of the Development; or
- (iii) If such construction plans as submitted are incomplete; or
- (iv) If the ARC deems the construction plans or any part thereof or any material used on the exterior of the building to be contrary to the spirit or intent of these conditions and restrictions, or contrary to the interest, welfare, or rights of all or any part of the real property, subject hereto, or the Owners thereof, or of the adjacent property Owners, all in the sole and uncontrolled discretion of the ARC; or
- (v) If the ARC shall, within its sole and unlimited opinion and discretion, deem the construction plans or any part thereof or the building or structure to be unacceptable or of such design or proportions, or to be constructed of such unsuitable materials or exterior color schemes as shall depreciate or adversely affect the values of other sites or buildings in the Development.
- (vi) If the elevation, roof lines and color scheme are too monotonous when considered in the context of other existing homes within five (5) lots of the proposed Dwelling.

The decisions of the ARC shall be final. Neither the Developer nor any agent of the Developer nor any member of the ARC shall be responsible in any way for any defects in any construction plans submitted, revised or approved in accordance with the foregoing, nor for any structural or other defects in any work done according to such construction plans.

ARTICLE V

GENERAL RESTRICTIONS

- 5.1 Single-Family Dwelling. Only one dwelling shall be erected or allowed to exist on any of the lots and said dwelling shall be used or occupied principally as a single-family dwelling. No room or rooms in any Dwelling or part thereof may be rented or leased and no paying guests shall be quartered in any Dwelling. Nothing contained in this paragraph, however, shall be construed as preventing the renting or leasing of an entire Dwelling as a single unit to a single family.
- 5.2 Unpermitted Uses. No business or profession of any nature shall be conducted on any lot or in any Dwelling constructed on any lot in the subdivision, except the business of sale of lots and houses in the subdivision by the Developer, its successors or assigns. Each

Dwelling on every lot in the subdivision or any part or portion thereof shall be used or occupied for single-family, private residential purposes exclusively and shall never be used or occupied for trade, commercial, business or agricultural purposes of any kind ornature. The non-permitted uses prohibited shall include, but shall not be limited to, the use of any portion of a Dwelling or lot in the subdivision as an apartment dwelling, hospital, sanitarium, rest home, nursing home, hotel, motel, boarding house, or for the storing of commercial equipment or materials or for professional offices and business or professional purposes. No portion of any dwelling shall be used for child day care, adult day care or pet day care purposes for any remuneration, profit, commercial or financial gain. No portion of any dwelling shall be used for a beauty salon, manicure salon or pet grooming salon. Notwithstanding any provisions of this paragraph to the contrary, nothing herein shall prevent an Owner from using a portion of a dwelling as a home office provided however (i) no advertising of the business or profession is displayed anywhere in or on the Dwelling or the lot; (ii) no portion of the Dwelling or the home office is used to meet with the public, customers and clients; and (iii) no deliveries of goods, materials or merchandise used in the business or profession are made to the Dwelling. Nothing herein shall be construed as to prevent the Developer, its successors or assigns from erecting a single-family residential dwelling on any lot or lots in the subdivision and using such dwellings as a sales office and/or model home for the purpose of the sale of the lots or homes in the Subdivision provided, however, that such use shall be terminated and shall be prohibited after an occupancy permit has been issued for all lots in the Subdivision.

- 5.3 No Temporary Buildings. No temporary house, tool shed, playhouse, detached garage, storage building, camper, travel trailer, habitable motor vehicle, trailer, tent, stand, recreational appurtenance, shack, basement or other structure or building of a temporary character shall be constructed, placed, allowed to exist or used on any lot in the Subdivision at any time as a residence, either temporarily or permanently, and no dwelling erected on any lot shall be occupied in any manner at any time prior to its full completion. Said completion shall be evidenced by issuance of an occupancy permit by the Village of F(ank) by
- 5.4 Vehicles. No trucks, truck-mounted campers, motor homes, trailers, house trailers, buses, boats, boat trailers, travel trailers, campers, junk automobiles, dilapidated or disabled vehicles of any kind shall be maintained, stored or parked on any street or right-of-way in the Subdivision. No trucks, truck-mounted campers, motor homes, trailers, house trailers, buses, boats, boat trailers, travel trailers, campers, junk automobiles, dilapidated or disabled vehicles of any kind, motorcycles, motor bikes, all terrain vehicles or any other vehicle other than an automobile or sports utility vehicle shall be maintained, stored or parked on any of the lots in the Subdivision unless housed or garaged completely in a structure which complies with this Declaration so as to fully screen them from view from the streets and from adjoining lots. This restriction shall not apply to the temporary parking of such vehicles for a period of forty-eight consecutive hours on two (2) occasions during any calendar month.
 - 5.5 Junk, Machinery and Materials. No implements, machinery, lumber or building materials shall be permitted to remain exposed on any lot so that such items are visible from the street or any adjoining lot, except as necessary during the period of construction of a

dwelling thereon. No lot or any portion thereof shall be used for storage of junk or for wrecking yards.

Animals. No more than two (2) dogs, cats or other bona fide household pets per residence may be kept in any dwelling or any lot provided that they are not kept, bred, boarded or maintained for any commercial purposes, or remuneration, profit or financial 5.6 gain and provided they do not make any objectionable noises and do not otherwise create a nuisance or inconvenience to any of the owners of the lots in the Subdivision. No horses, ponies, goats, chickens, other farm animals or foul, or dangerous or predatory animals, reptiles or birds shall be kept in any dwelling or on any lot in the Subdivision. No fence, other than the style of fence allowed under this Declaration, dog run or other enclosure shall be erected or constructed on any lot in the Subdivision for the purposes of containing animals or pets. No dog, cat or other pet shall be permitted to run at large, and when not on a leash, shall be contained on the lot owned by the person having custody of the same by either an invisible electronic fence, a fence of the style approved under this Declaration, or other restraint. Any animals or pets which cause objectionable noises or otherwise constitute a nuisance or inconvenience in the judgment of the Developer or Homeowners Association shall forthwith be removed from the Subdivision by the person having custody of the same.

5.7 Nuisance. No noxious or offensive activity shall be carried on, in any dwelling or upon any lot in the Subdivision, nor shall anything be done thereon which may constitute or become an annoyance or nuisance to any of the other Owners in the Subdivision.

- 5.8 Garbage. All garbage, trash, rubbish and other refuse shall be collected and stored in an area or areas concealed from view except as required for pick up service. All garbage placed at curb side shall be in covered containers. Garbage should not be placed at curb side until after dark on the evening prior to pickup. Containers shall be removed from the curb side on the day of pickup.
- 5.9 Antennas and Satellite Dishes. The operation of ham or other amateur radio stations or the erection of any communication antenna, television antenna, communication dish or satellite dish in excess of two (2) feet in diameter shall not be allowed unless completely screened from view from all streets and adjoining lots. No radio antenna, television antenna or other communication antenna, dish or tower shall be erected on the roof or exterior of any dwelling. No communication towers of any kind or sort shall be erected on any lot in the Subdivision. Notwithstanding any provision of this paragraph to the contrary, nothing herein shall prohibit the erection or placement of a television satellite provided that same is not located on the roof of the Dwelling. No television satellite exist on any lot in the Subdivision.
 - 5.10 Utilities. All public utility cable, television and radio pipes, mains, tiles, conduits, wires, cables, lines, service lincs and other appurtenances constructed, laid or installed on any lot in the Subdivision, must to the extent possible, be buried beneath the ground, except for the necessary pedestals and transformers required to serve the underground facilities.

- 5.11 Exterior Lighting. Outside or exterior lights serving any lot in the Subdivision shall not exceed an illumination of 100 watts per light. Any lights or fixtures attached to Improvements shall not be installed beyond ten feet above the surface of the ground.
- 5.12 Signs. No commercial, advertising or business sign shall be erected or placed upon any Dwelling or lot in the Subdivision other than a 'For Sale" sign not exceeding two foot (2') by three foot (3') in size. This provision shall not apply to any sign which the Developer may erect or authorize identifying and/or advertising the Subdivision, lots in the Subdivision, adjoining land or any model homes which may be deemed necessary by the Developer, its successors and assigns for the operation and sale of the lots and homes in the Subdivision. In addition, a builder of any dwelling in the Subdivision shall be allowed to erect a sign not to exceed four foot (4') by four foot (4') on each lot in the Subdivision owned by the builder. At such time that the dwelling is occupied, such sign shall be removed from the lot. Signs are prohibited upon all public parkways and within ten feet (10') of the street right-of-way.

ARTICLE VI

MAINTENANCE OF SUBDIVISION IMPROVEMENTS

- 6.1 Ownership and Maintenance of Outlots A, B, and C. Upon establishment of the Homeowners Association, but no later than 'the Developer shall convey to the Homeowners Association fee simple title to Outlots A, B, and C. Until such time that Outlots A, B, and C are conveyed to the Homeowners Association, the Developer shall be responsible for the maintenance of same. At such time that Outlots A, B, and C are conveyed to the Homeowners Association the Homeowners Association shall thereafter be responsible for the maintenance of same.
- 6.2 Subdivision Sign Maintenance. Until such time that the Homeowners Association is established, the Developer shall be responsible for the maintenance of the Subdivision identification sign located at or near the Laraway Road entranceway to the Subdivision. Upon establishment of the Homeowners Association, the Homeowners Association shall be responsible for the maintenance of the Subdivision identification sign located at or near the Laraway Road entranceway to the Subdivision.
- 6.3 Homeowners Association Maintenance Requirements. Upon the establishment of the Homeowners Association, the Homeowners Association shall be responsible for and have the following maintenance requirements in regard to the common areas of the Subdivision:
 - (a) To maintain, mow, cut, trim and water the grass and landscaping located on Outlots A, B, and C of the Subdivision;

(c) To maintain the continuous flow and operating capability of the detention lakes located on Outlots A, B, and C of the Subdivision, to maintain and restore the banks and shoreline of same, to maintain the sightly appearance of same and to maintain same in an environmentally safe and non-stagnant condition.

The Homeowners Association shall perform the above maintenance in accordance with and in conformance with the rules, requirements, regulations and ordinances of the Village of Frank fort.

6.4

Owners Maintenance Requirements. The Owner of each lot shall at all times keep said lot in a clean and sightly condition. No trash, litter, junk, boxes, containers, bottles, cans or waste construction material shall be permitted to collect or remain exposed on any lot, except as necessary during the period of construction. The Owner of each lot shall be responsible for the cutting and removal of weeds on a regular basis on each lot so as to conform with the requirements, ordinances and regulations of the Village of Frank Art On a daily basis during the period of construction of a Dwelling on each lot, the Owner of each lot shall remove and clean any and all mud, dirt and debris from the curbs and streets deposited thereby as a result of such construction activity. In the event that during the period of construction of a Dwelling on any lot, any subdivision improvement, to include curbs, streets, sidewalks, light poles, signs, buffalo boxes, storm sewers, sanitary sewer hookups and/or sump pump hookups are damaged, it shall be the responsibility of the Owner of the lot, at Owner's expense to repair or replace same in accordance with the requirements and ordinances of the Village of Frank fort The Owner of each lot shall not alter the grading of any drainage easement or public utility easement. In the event the Village of Frenk fort, within three (3) years after the issuance of an occupancy permit in regard to any Dwelling, shall require the replacement or repair of curbs or sidewalks in front of such lot, the Owner of said lot shall at Owner's expense repair or replace such sidewalk or curb in accordance with the requirements and ordinances of the Village of In the event of the failure of the Owner to make such repairs, Developer Frankfort shall have the right to file a lien against Owner's lot and the improvements thereon for any costs of repairs incurred by the Developer. It shall be the responsibility of each Owner to remove snow and ice from the sidewalk in front of each Owner's lot, and to maintain, mow, cut, trim, water and replace as necessary the grass and trees in the parkway between the sidewalk and curb in front of each Owner's lot in accordance with the requirements and ordinances of the Village of Frankfort

ARTICLE VII

HOMEOWNERS ASSOCIATION

7.1

Organization. The Developer has formed an Illinois not for profit corporation known as

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Abbeyweeds North Homeowners Association.

- 7.2 Membership. Each Owner of a lot in the Subdivision by acceptance of a deed to such lot shall automatically become a member of the Homeowners Association. Membership shall be appurtenant to and may not be separated from ownership of any Lot. Each Member shall be entitled to one (1) vote for each Lot owned by such Member on each matter submitted to a vote of Members; provided, however, that where there is more than one Owner of a Lot, such Co-Owners of a Lot shall only be entitled to one vote. Members shall be subject to assessment for the purposes and duties of the Homeowners Association.
- 7.3 Existence. The Homeowners Association shall have a perpetual existence and shall not be terminated or dissolved.
- 7.4 Control. The initial control of the Homeowners Association shall be with the Developer. The Developer shall turn over control of the Homeowners Association to the Owners at such time deemed appropriate by the Developer; provided however, that control of the Homeowners Association shall be turned over to the Owners no later than that time that, the Dwellings constructed on sixty percent (60%) of the lots in the Subdivision are Owner occupied. At such time that the Developer turns control of the Homeowners Association over to the Owners, the Homeowners Association shall be controlled by a Board of Directors consisting of five (5) directors who shall be elected annually by the Members of the Homeowners Association.
- 7.5 Duties. The Homeowners Association shall hold legal title to Outlots A, B, and C of the Subdivision and shall at all times pay the real estate taxes in regard thereto and keep same insured at all times under a general liability insurance policy. The Homeowners Association shall be responsible for the maintenance of Outlots A, B, and C in accordance with the provisions of Section 6.3 of this Declaration and the rules, requirements, regulations and ordinances of the Village of Frank Port In addition, the Homeowners Association shall have such duties which are ancillary to the above mentioned purposes and such other duties undertaken by the Homeowners Association pursuant to the affirmative vote of two-thirds (2/3) of the Members.
- 7.6 Rights. The Homeowners Association shall have the right to enforce the provisions of this Declaration against the Owner or Owners of each and every Lot in the Subdivision. In addition, the Homeowners Association shall have the right to assess the Members in order to perform the duties set forth in Section 7.5 above.

ARTICLE VIII

ASSESSMENTS

8.1 Developer.

- 8.2 Reserve Assessment. At such time that an occupancy permit is issued in regard to a Dwelling constructed on each lot in the Subdivision, the Owner of the occupied Dwelling shall be subject to a reserve assessment in the amount of Two Hundred Dollars (\$200.00) which shall be paid to the Homeowners Association and held in a reserve account for the purposes and duties set forth in Section 6.3 of this Declaration. At the time of the initial deed of conveyance shall pay a reserve assessment in the amount of Two Hundred Dollars (\$200.00) to the Homeowners Association to be held in a reserve account and used for the purposes and duties set forth in Section 6.3 of the Declaration.
- 8.3 Annual Assessment. The Homeowners Association shall have the right to levy an annual assessment on the Owners for the estimated expenses for the purposes set forth in Section 6.3 of this Declaration, the purposes set forth in Section 7.5 of this Declaration, and any other incidental expenses in operating the Homeowners Association. Such annual assessments shall be made equally among all the Owners. Such annual assessment shall be for a calendar year basis and shall be due and payable by March 1 of each calendar year. The Owner of any lot in the Subdivision on which the Dwelling is occupied subsequent to January 1 but prior to December 31 shall pay a prorated annual assessment at the time that the Dwelling is occupied. The grantee in the initial deed of conveyance from the Declarant in regard to any lot in the Subdivision shall pay a prorated annual assessment from the date of the initial conveyance to December 31.

8.4 Special Assessments. The Homeowners Association shall only have the right to levy special assessments on the Owners for the purposes set forth in Sections 6.3 and 7.5 of this Declaration and only upon the affirmative approval of said special assessment by two-thirds (2/3) of the Members. Any such special assessment shall be assessed equally among all of the Owners. Notwithstanding any provision of this paragraph to the contrary, in the event that the Village of Frankford, exercises its rights under paragraph 8.9 below, the Village of Frankford, shall have the right to levy special assessments on the Owners for the purposes set forth in Section 6.3 of this Declaration.

- 8.5 Exemption. Notwithstanding any provision in this Declaration to the contrary, at no time shall the Developer or any lot owned by the Developer be subject to any assessment, reserve assessment, annual assessment, special assessment or lien for assessment.
- 8.6 Lien For Assessment. The Developer and/or the Homeowners Association shall have a lien against each and every lot for any and all assessments due and payable to the Developer and/or Homeowners Association by the Owners.
- 8.7 Enforcement. Any assessments or other charges which are not paid when due shall be delinquent. If the assessment or charge is not paid within thirty (30) days after the due date, the assessment shall bear interest from and after the due date at the rate of nine percent (9%) per annum, and the Homeowners Association and/or the Developer may bring an action at law against the Owner personally obligated to pay the same, or foreclose the lien against the Owners' lot, and interest, costs and reasonable attorneys' fees incurred in any such action shall be added to the amount of any such over due assessment. The amount of any delinquent and unpaid charges or assessments, and interest, costs and fees as above provided, shall be and become a lien or charge against

14

the Lot of any such Owner when payable and maybe foreclosed by an action brought in the name of the Homeowners Association and/or the Developer as in the case for foreclosure of mortgage liens against real estate.

8.8

Subordination of Lien. The lien of assessments provided for herein shall be subordinate to the lien of any Mortgage now or hereafter placed on the Lots. In the event of the issuance of a deed pursuant to the foreclosure of such prior Mortgage or in lieu of such foreclosure, the grantee of such deed shall take title free and clear of any lien for assessments authorized by this Declaration so long as any such lien shall have arisen prior to the date of recording of any such deed.

8.9 Rights of the Village of Frankfort In the event that at anytime the Homeowners Association fails to perform the duties and requirements set forth in Section 6.3 of this Declaration, in accordance with and in conformance with the rules, requirements, regulations and ordinances of the Village of Frankfort, upon demand by the Village of the Homeowners Association shall assign all of its rights and remedies under this Article VIII, to include, but not limited to, the right to assess the Owners of the Lots in the Subdivision, the right to lien the Lots in the Subdivision for unpaid assessments and liens against the Owners at law or in equity. Thereafter, the Village of Frankfort shall have the right, but not the obligation, on behalf of the Homeowners Association to assess the Owners of the Lots in the Subdivision for any of the purposes set forth in Section 6.3 of this Declaration, the right to collect and expend such assessments, the right to lien the Lots in the Subdivision for such assessments and the right to enforce such assessment and/or liens against the Owners of the Lots in the Subdivision for such assessments and the right to enforce such assessment and/or liens against the Owners of the Constant of the Lots in the Subdivision for such assessments and the right to enforce such assessment and/or liens against the Owners of the Lots in the Subdivision for such assessments and a such assessment and/or liens against the Owners of the Lots in the Subdivision for such assessments and a such assessment and/or liens against the Owners of the Lots in the Subdivision at law or in equity.

ARTICLE IX

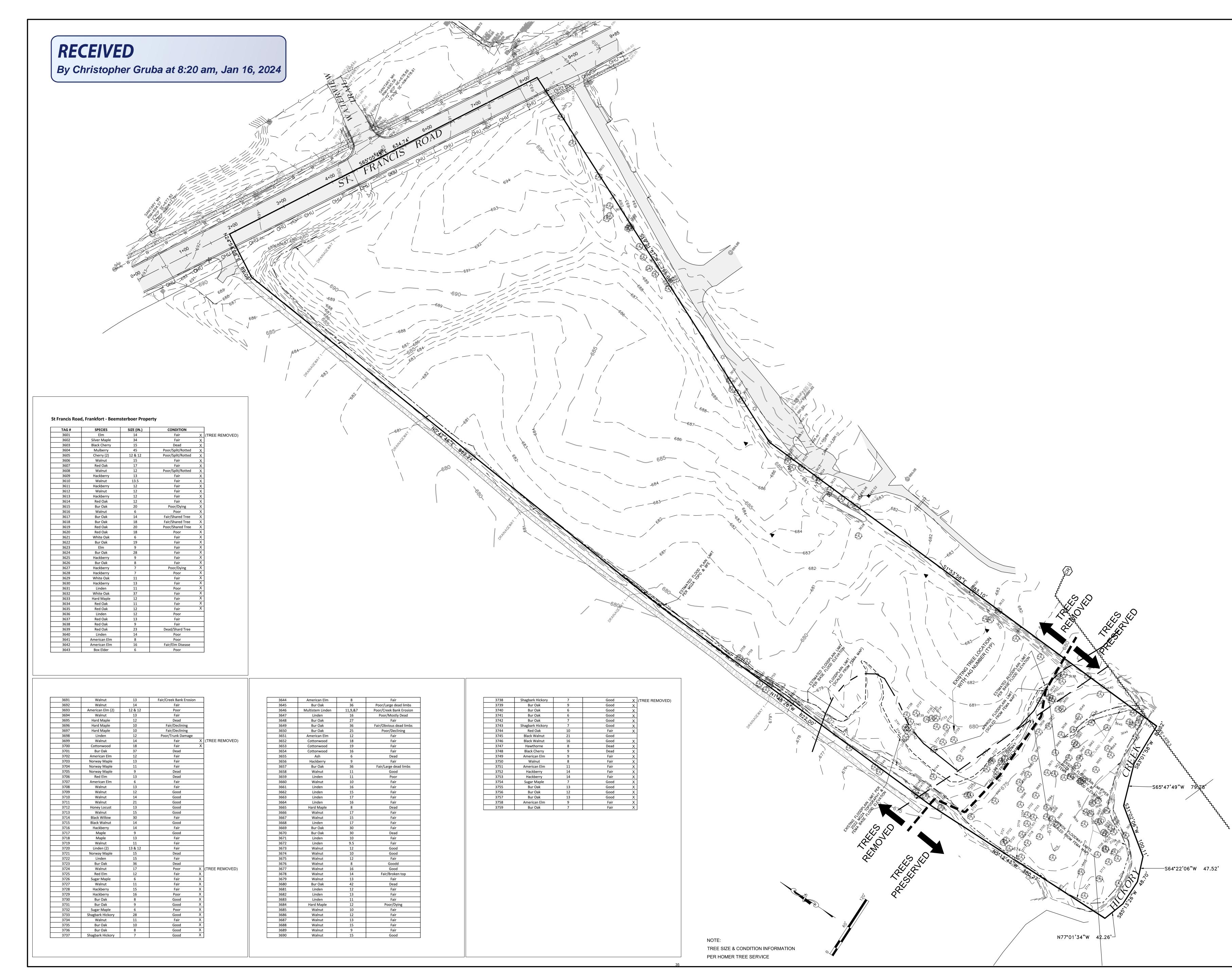
GENERAL PROVISIONS

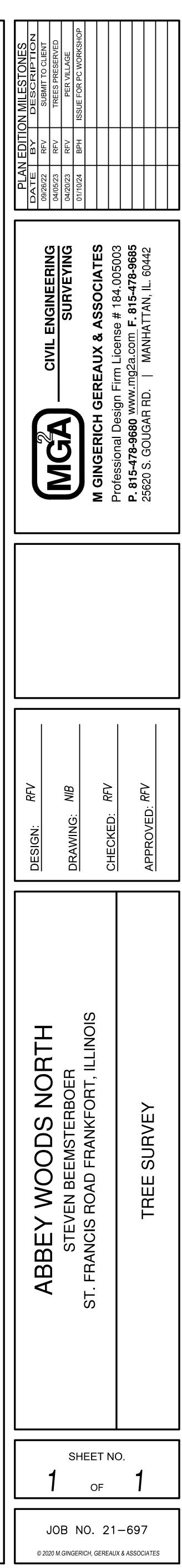
- 9.1 The covenants and restrictions of this Declaration shall run with the land, and shall inure to the benefit of and be enforceable by the Declarant, Developer or the Owner of any Lot, their respective legal representatives, heirs, successors, and assigns, for a term of twenty (20) years from the date this Declaration is recorded in the Office of the Recorder of Deeds of Will County, Illinois, after which time said covenants shall be automatically extended for successive periods often (10) years, subject to amendment as hereinafter provided.
- 9.2 If and to the extent that any of the covenants would otherwise be unlawful or void for violation of (a) the rule against perpetuities, (b) the rule restricting restraints on alienation, or (c) any other applicable statute or common law rule analogous thereto or otherwise imposing limitations upon the time during which such covenants maybe valid, then said covenant shall continue and endure only until the expiration of twenty-one (21) years after the death of the last to survive of the class of persons consisting of all of the lawful descendants of , President of the United States, at the date of this Declaration.

- 9.3 Each grantee of Declarant by taking title to a Lot, and each purchaser under any contract for a deed of conveyance pursuant to which said grantee will take title, accepts said title subject to all covenants, conditions, restrictions, liens and charges, and the jurisdiction, rights and powers created or reserved by this Declaration, and all rights, benefits and privileges of every character hereby granted, created, reserved or declared, and all impositions and obligations hereby imposed shall be deemed and taken to be covenants running with the land, and shall bind any person having at any time any interest or estate in said land, and shall inure to the benefit of such person in like manner as though the provisions of this Declaration were recited and stipulated at length in each and every deed of conveyance, or in any mortgage or trust deed or other evidence of obligation, and the rights described in this Section or described in any other part of this Declaration shall be sufficient to create and reserve such rights to the respective grantees, mortgagees and trustees of such Lot as fully and completely as though such rights were recited fully and set forth in their entity in any such documents.
- 9.4 Developer, the Homeowners Association and each Owner from time to time shall have the right jointly and separately to sue for and obtain a prohibitive or mandatory injunction to prevent the breach of, or to enforce the observance of, the covenants and obligations. above set forth, or any of them, in addition to the right to bring a legal action for damages. In the event the Developer, the Homeowners Association or an Owner brings an action for mandatory injunction to prevent the breach of or to enforce the provisions of this Declaration or a legal action for damages, such party shall be entitled to recover any and all costs, expenses and reasonable attorneys' fees incurred in such suit.
- 9.5 The Owners may revoke, modify, amend or supplement in whole or in part any or all of the covenants, obligations and conditions contained in this Declaration and may release all or any part of the Property from all or any part of this Declaration. All such revocations, modifications, amendments or supplements may be made effective at any time if the Owners of at least two-thirds (2/3) of the Lots and the Developer consent thereto. The consent of Developer shall be necessary until released by Developer. Any such revocations, modifications, amendments or supplements shall be effective only if expressed in a written instrument or instruments executed and acknowledged by each of the consenting Owners, and Declarant, and Developer, and recorded in the Office of the Recorder of Deeds of Will County, Illinois.
- 9.6 Declarant retains the right to amend these Covenants at any time without the approval of the Owners. Any such revocation, modification, amendment or supplement made by the Developer shall be effective only if expressed in a written instrument executed and acknowledged by the Developer and Declarant and recorded in the Office of the Recorder of Deeds of Will County, Illinois. In furtherance of the foregoing, a power coupled with an interest is hereby reserved and granted to the Declarant to make such amendments. Said power shall be irrevocable until such power is relinquished by Declarant. Each deed, mortgage, trust deed, or other evidence of obligation, or other instrument affecting the Lot and the acceptance thereof shall be deemed to be a grant and acknowledgment of, and a consent to the reservation, the power of the Declarant to make such amendments.

- 9.7 Notwithstanding any provision of this Declaration to the contrary, the provisions of Sections 6.3, 7.2, 7.3, 7.5, 8.3, 8.4, 8.6, 8.7 and 8.9 shall not be revoked, modified or amended without the written consent of the Village of Frankfort.
- 9.8 The provisions of this Declaration shall be liberally construed to effectuate the purpose of creating a uniform plan for development for the property.
- 9.9 In the event title to any Lot is conveyed to a titleholding trust, under the terms of which all powers of management, operation and control of the Lot remain vested in the trust beneficiary or beneficiaries, then the beneficiaries thereunder from time to time shall be responsible for payment of all obligations, liens or indebtedness and for the performance of all agreements, covenants, obligations and undertakings chargeable or created under this Declaration against any such Lot. No claim shall be made against any such titleholding trustee personally for payment of any lien or, obligation hereunder created and the trustee shall not be obligated to sequester funds or trust property to apply, in whole or in part, against such lien or obligation. The amount of such lien or obligation shall continue to be a charge or lien upon said Lot and the beneficiaries of such trust, notwithstanding any transfers of the beneficial interest of any such trust of any transfers.
- 9.10 All headings set forth herein are intended for convenience only and shall not be given or construed to have any substantive effect on the provisions of this Declaration. The singular shall include the plural wherever the Declaration so requires, and the masculine the feminine and neuter and vice versa.
- 9.11 If a court of competent jurisdiction shall hold invalid or unenforceable any part of this Declaration, such holding shall not impair, invalidate or otherwise affect the remainder of this Declaration which shall remain in full force and effect.
- 9.12 Notwithstanding anything herein to the contrary, either or both of Declarant and Developer, as Declarant and Developer in their sole discretion may determine, hereby reserve the right to transfer, assign, mortgage or pledge any and all of either's respective privileges, rights, title and interest hereunder, or in the Property, by means of recording an assignment of such with the Office of the Recorder of Deeds of Will County, Illinois. Upon such assignment, either or both of Declarant and Developer, as the case maybe, shall be relieved from any liability arising from the performance or non-performance of such rights and obligations accruing from and after the recording of such assignment. No such successor assignee of the rights of either or both of Declarant and Developer, as the case may be, shall have or incur any liability for the obligations or acts of any predecessor in interest.

This instrument is executed by , not personally but solely as Trustee, as aforesaid, in the exercise of the power and authority conferred upon and vested in it as such Trustee. All the terms, provisions, stipulations, covenants and conditions to be performed by are undertaken by it solely as Trustee, as aforesaid, and not individually, and all statements herein made are made on information and belief and are to be construed accordingly, and no personal liability shall be asserted or be enforceable against by reason of any of the terms, provisions, stipulations, covenants and/or statements contained in this instrument.





PLAT OF SURVEY

RECEIVED

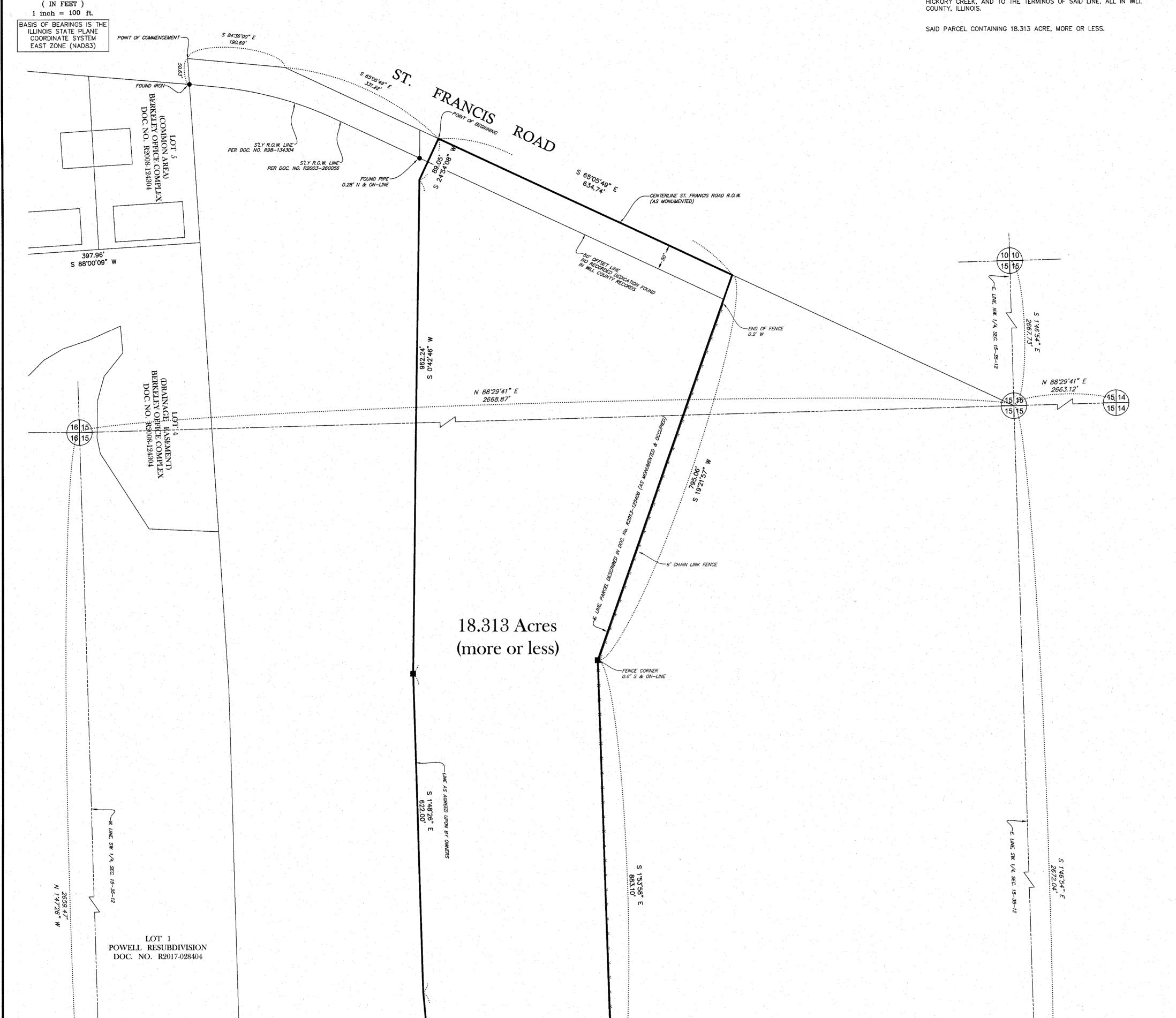
GRAPHIC SCALE

100 .

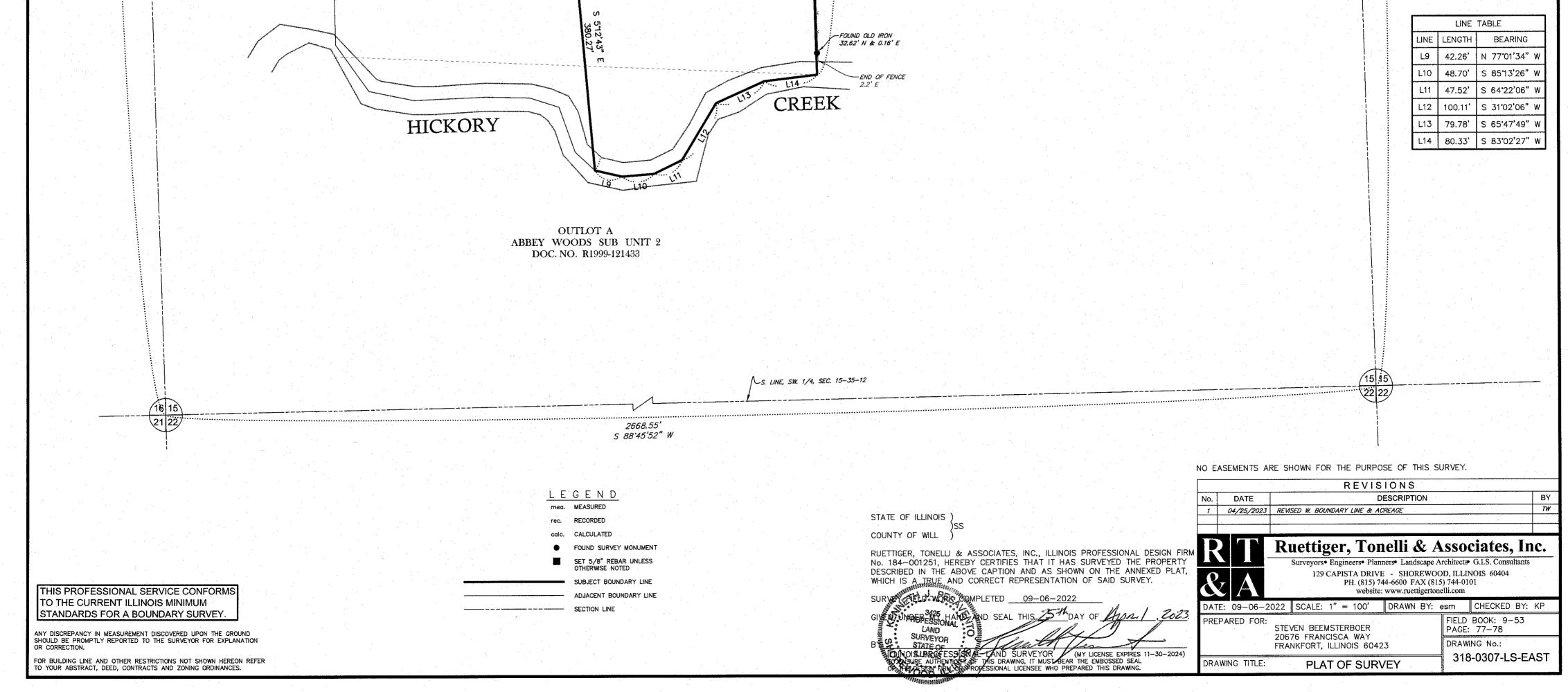
By Christopher Gruba at 8:46 am, Jan 16, 2024

LEGAL DESCRIPTION

THAT PART OF THE WEST HALF OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE CENTERLINE OF ST. FRANCIS ROAD, AS MONUMENTED, LYING NORTH OF THE CENTERLINE OF HICKORY CREEK, AND LYING WEST OF THE EAST LINE OF THE PARCEL OF LAND DESCRIBED IN DOCUMENT NO. R2013–125406, AS MONUMENTED AND OCCUPIED, AND LYING EAST OF THE FOLLOWING DESCRIBED LINE: COMMENCING AT THE NORTHEAST CORNER OF HICKORY CREEK NORTHWOODS SUBDIVISION, BEING A SUBDIVISION OF PART OF SAID SECTION 15, ACCORDING TO THE PLAT THEREOF RECORDED JULY 3, 2001 AS DOCUMENT NO. R2001–083477, SAID NORTHEAST CORNER BEING THE CENTERLINE OF ST. FRANCIS ROAD, AS MONUMENTED; THENCE SOUTH 84 DEGREES 36 MINUTES 00 SECONDS EAST, ON SAID CENTERLINE OF ST. FRANCIS ROAD, 190.69 FEET TO AN ANGLE POINT; THENCE SOUTH 65 DEGREES 05 MINUTES 49 SECONDS EAST, ON SAID CENTERLINE, 331.22 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 24 DEGREES 54 MINUTES 08 SECONDS WEST, 89.05 FEET; THENCE SOUTH 00 DEGREES 42 MINUTES 46 SECONDS WEST, 962.24 FEET; THENCE SOUTH 01 DEGREES 42 MINUTES 46 SECONDS EAST, 622.00 FEET; THENCE SOUTH 05 DEGREES 12 MINUTES 43 SECONDS EAST, 380.27 FEET TO THE CENTERLINE OF SAID HICKORY CREEK, AND TO THE TERMINUS OF SAID LINE, ALL IN WILL COUNTY, ILLINOIS.



FOUND OLD IRON 123.10' N & ON-LINE



PLAT OF ANNEXATION

THE VILLAGE OF FRANKFORT, ILLINOIS

LEGAL DESCRIPTION:

THAT PART OF THE WEST HALF OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE CENTERLINE OF ST. FRANCIS ROAD, AS MONUMENTED, LYING NORTH OF THE CENTERLINE OF HICKORY CREEK, AND LYING WEST OF THE EAST LINE OF THE PARCEL OF LAND DESCRIBED IN DOCUMENT NO. R2013-125406, AS MONUMENTED AND OCCUPIED, AND LYING EAST OF THE FOLLOWING DESCRIBED LINE: COMMENCING AT THE NORTHEAST CORNER OF HICKORY CREEK NORTHWOODS SUBDIVISION, BEING A SUBDIVISION OF PART OF SAID SECTION 15, ACCORDING TO THE PLAT THEREOF RECORDED JULY 3, 2001 AS DOCUMENT NO. R2001-083477, SAID NORTHEAST CORNER BEING THE CENTERLINE OF ST. FRANCIS ROAD, AS MONUMENTED; THENCE SOUTH 84 DEGREES 36 MINUTES 00 SECONDS EAST, ON SAID CENTERLINE OF ST. FRANCIS ROAD, 190.69 FEET TO AN ANGLE POINT; THENCE SOUTH 65 DEGREES 05 MINUTES 49 SECONDS EAST, ON SAID CENTERLINE, 331.22 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 24 DEGREES 54 MINUTES 08 SECONDS WEST, 89.05 FEET; THENCE SOUTH 00 DEGREES 42 MINUTES 46 SECONDS WEST, 962.24 FEET; THENCE SOUTH 01 DEGREE 48 MINUTES 26 SECONDS EAST, 622.00 FEET; THENCE SOUTH 05 DEGREES 12 MINUTES 43 SECONDS EAST, 380.27 FEET TO THE CENTERLINE OF SAID HICKORY CREEK, AND TO THE TERMINUS OF SAID LINE, ALL IN WILL COUNTY, ILLINOIS.

> OWNER: STEVE BEEMSTEBOER 20676 FRANCISCA WAY FRANKFORT, ILLINOIS 60423

> > PRESIDENT AND BOARD OF TRUSTEES CERTIFICATE

STATE OF ILLINOIS) SS COUNTY OF WILL)

APPROVED AND ACCEPTED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL COUNTY, ILLINOIS AT A PUBLIC MEETING HELD: THIS DAY OF , 20 .

VILLAGE CLERK

BY:______ VILLAGE PRESIDENT

ATTEST:

ORDINANCE NO.:

DATE

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS COUNTY OF KANKAKEE

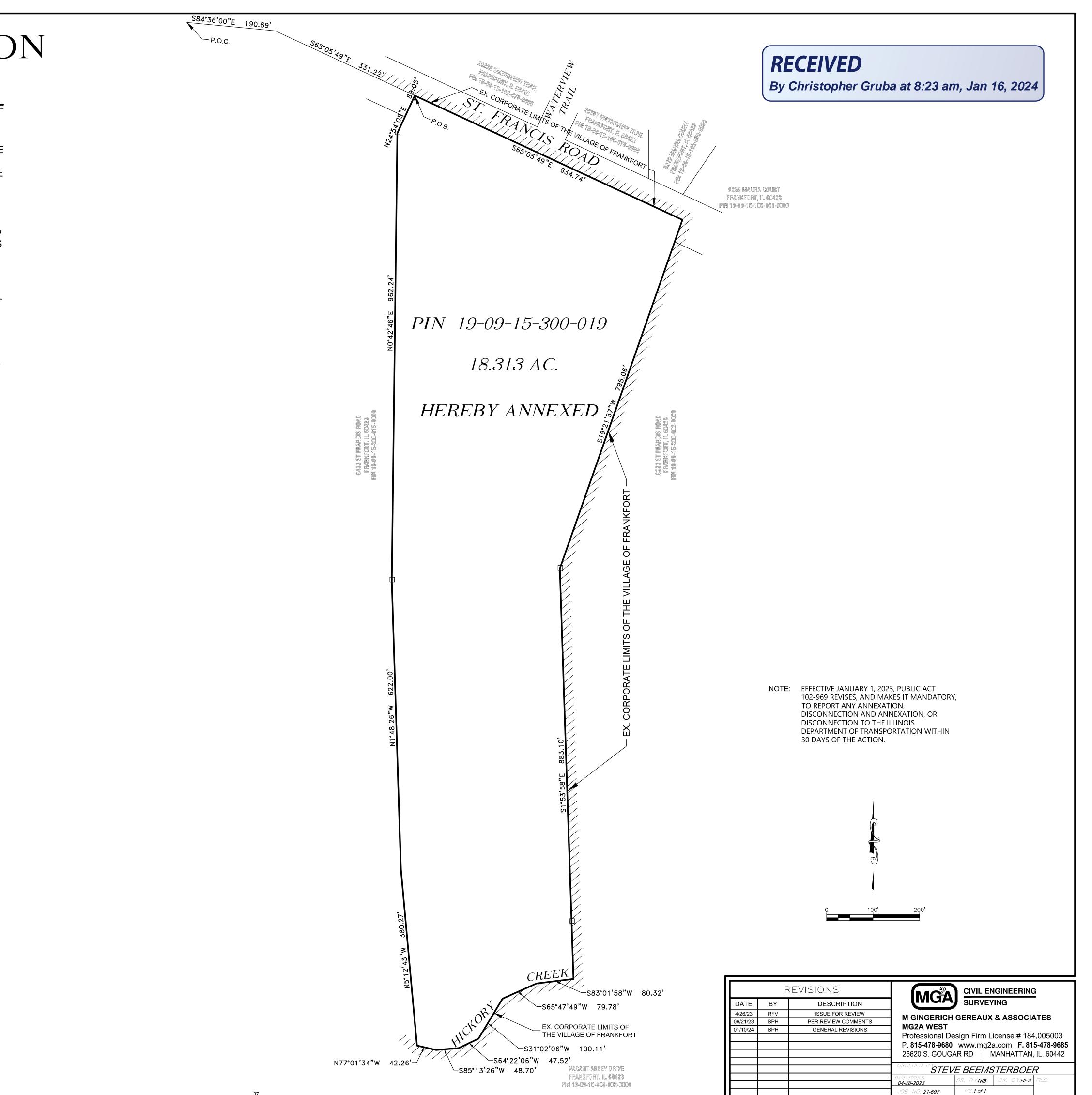
I, <u>MARK J. SCHIERHOLZ</u>, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT AS HEREON DRAWN IS A CORRECT REPRESENTATION OF THE PROPERTY DESCRIBED IN THE FOREGOING CAPTION.

FURTHERMORE, I DESIGNATE THE VILLAGE OF FRANKFORT TO ACT AS MY AGENT FOR THE PURPOSES OF RECORDING THIS DOCUMENT.

DATED THIS 26th DAY OF JANUARY, 2022.

MARK J. SCHIERHOLZ ILLINOIS PROFESSIONAL LAND SURVEYOR MARK J. SCHIERHOLZ 035-003105 BRADLEY, ILLINOIS OF ILLINUT

LICENSE NO. 035-003105 LICENSE EXPIRES NOVEMBER 30, 2024





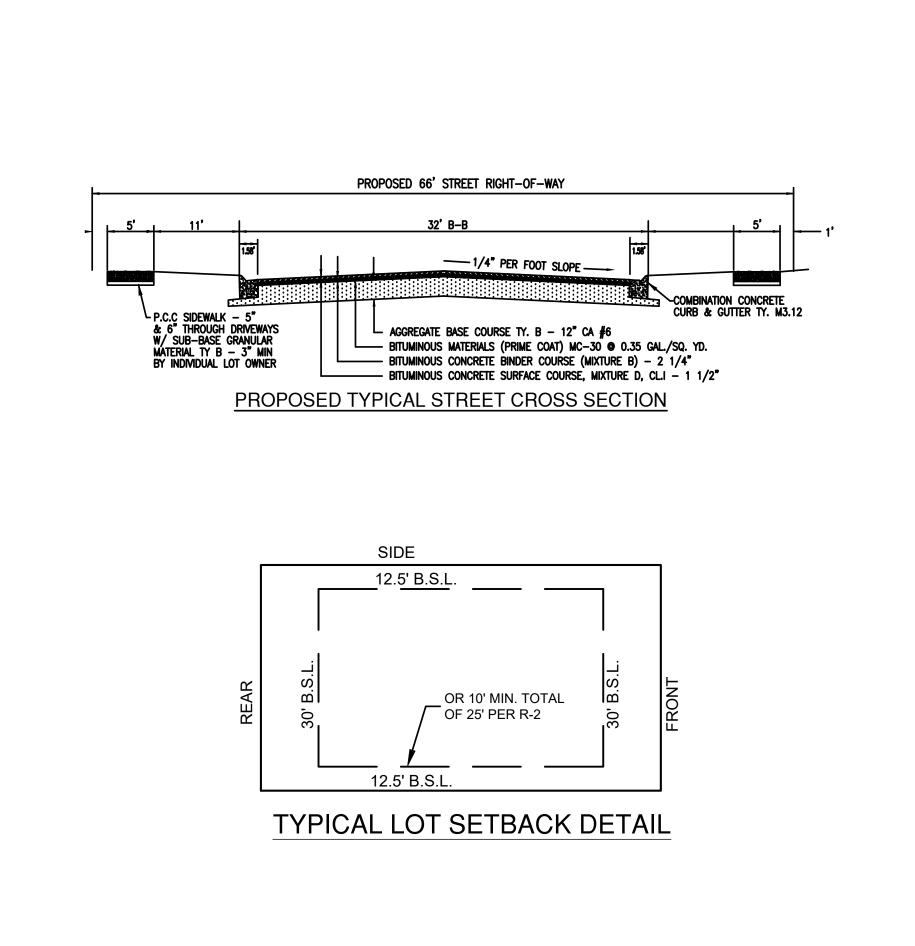
NOTES:

1. OUTLOTS A, B & C, THE DETENTION, BIKE PATH & CONSERVATION AREAS, SHALL BE MAINTAINED BY THE HOA. THIS SHOULD BE ADDED TO THE COVENANTS AND RESTRICTIONS.

2. OUTLOTS D AND E, THE CUL-DE-SAC ISLANDS, SHALL BE MAINTAINED BY THE HOA. THIS SHOULD BE ADDED TO THE COVENANTS AND RESTRICTIONS.

3. THE CUL-DE-SACS HAVE A DIAMETER OF 130 FEET (SHOWN AS A 65-FOOT RADIUS).

- 4. THE CUL-DE-SAC ISLANDS HAVE A DIAMETER OF 40 FEET (SHOWN AS A 20-FOOT RADIUS).
- 5. ALL SIDEWALKS SHALL BE 5 FEET WIDE, EXCEPT THE SIDEWALK ALONG ST FRANCIS ROAD SHALL BE 6 FEET WIDE.
- 6. MAINTENANCE OF ALL LANDSCAPE WALLS WILL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.





LEGAL DESCRIPTION:

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SAID PARCEL CONTAINING 18.313 ACRES, MORE OR LESS.

PIN: 19-09-15-300-019-0000

GROSS SITE ARI	EA	

ST. FRANCIS ROAD ROW ON-SITE ROAD ROW NORTH DETENTION HWL SOUTH DETENTION HWL

NET SITE AREA

PROPOSED ZONING

TOTAL NUMBER OF UNITS

GROSS DENSITY

NET DENSITY

MINIMUM LOT WIDTH

MINIMUM LOT DEPTH

MINIMUM LOT AREA

A CHART

MINIMUM CORNER LOT WIDTH

MAXIMUM BUILDING HEIGHT

REQUIRED FRONT YARD SETBACK

REQUIRED REAR YARD SETBACK

REQUIRED SIDE YARD SETBACK

SITE DATA SUMMARY

18.31 ACRES 0.73 ACRES 2.40 ACRES 1.14 ACRES 0.81 ACRES

18.31 - 5.08 = 13.23 ACRES

R-2 SINGLE-FAMILY

25 UNITS

25/18.31 = 1.37 UNITS/ACRE (GROSS)

25/13.23 = 1.89 UNITS/ACRE (NET)

100-FT

150-FT (130-FT ADJ. TO OPEN SPACE)

15,000 SQ FT

120-FT (106-FT LOTS 8, 9, 25 REQUESTED)

—S65°47'49"W

—S64°22'06"W 47.52'

35-FT

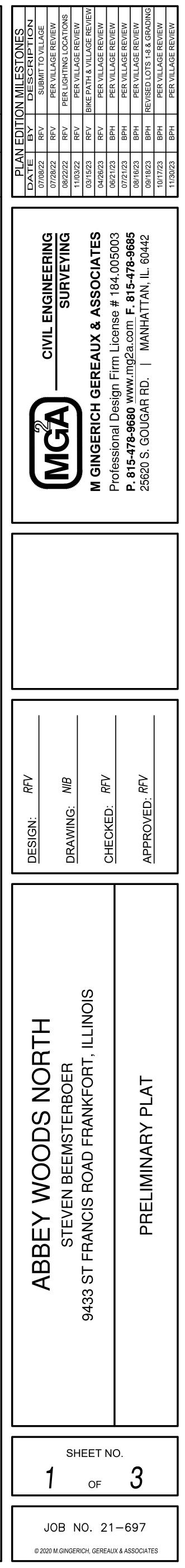
30-FT

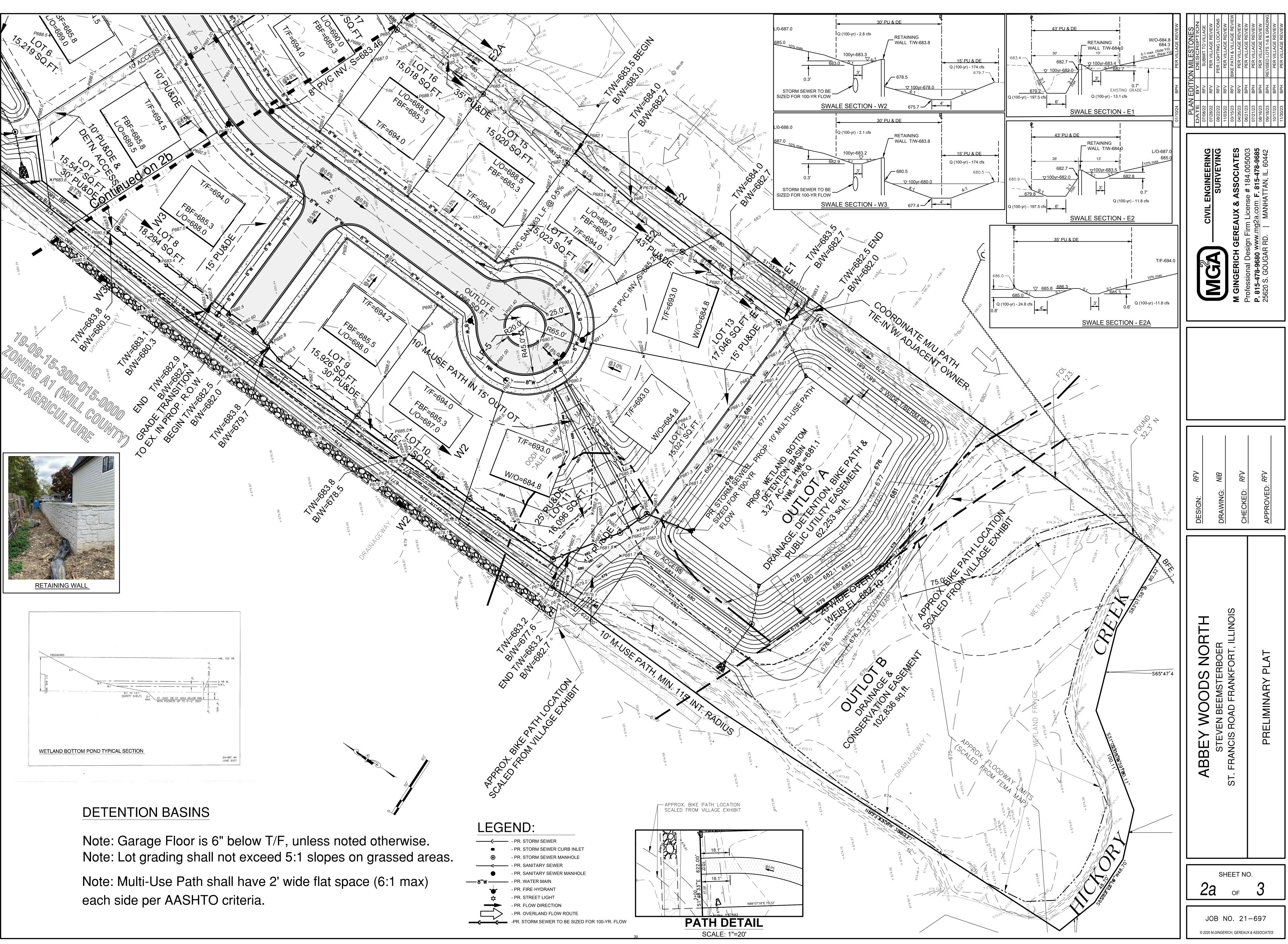
30-FT

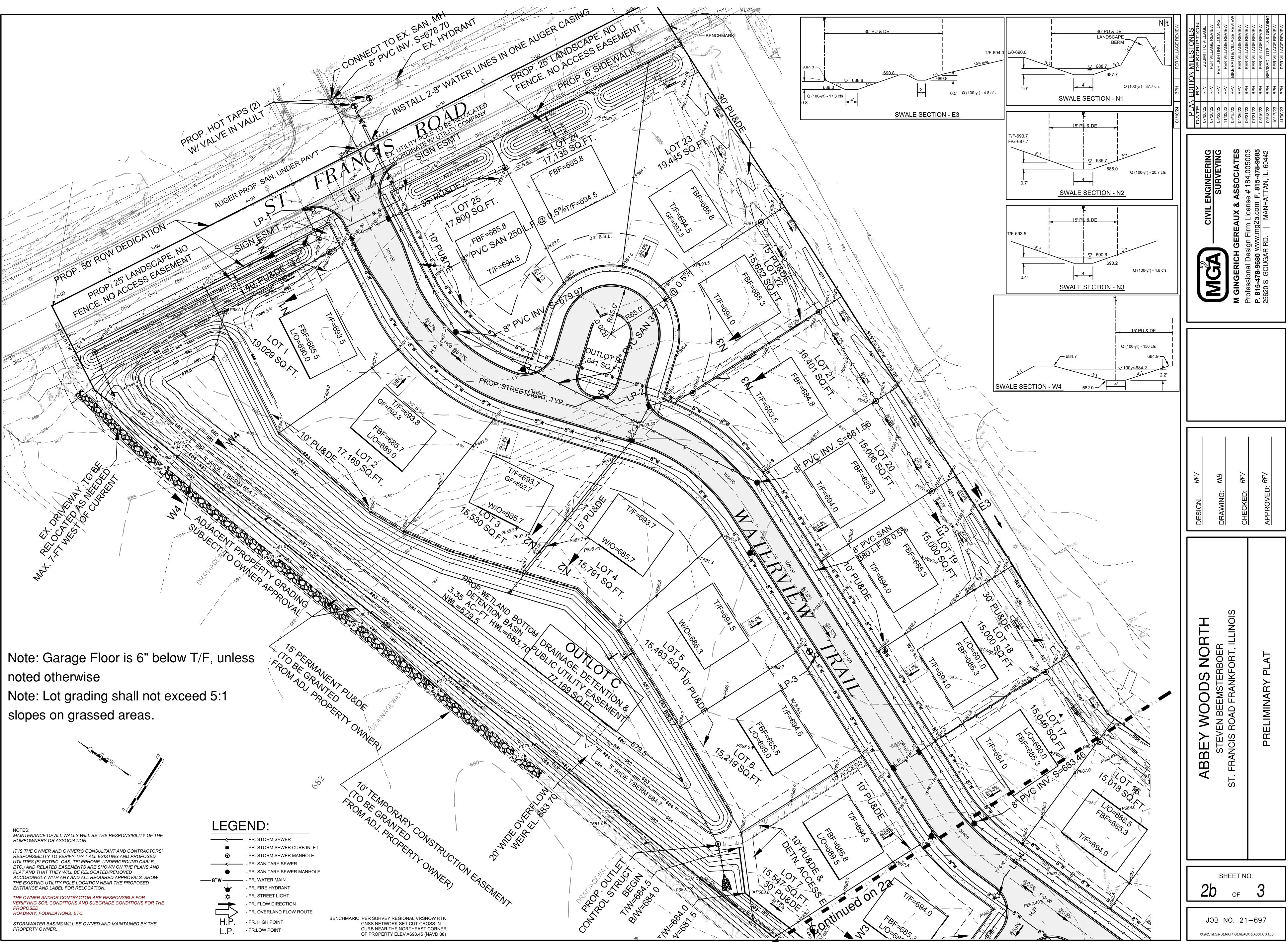
N77°01'34"W 42.26'

25-FT TOTAL (10-FT MIN.)

PER VILLAGE REVIEW	
ВРН	
01/10/24	







	- PR. STORM SEWER	
	- PR. STORM SEWER CURB INLET	
$oldsymbol{\Theta}$	- PR. STORM SEWER MANHOLE	
—	- PR. SANITARY SEWER	
\bullet	- PR. SANITARY SEWER MANHOLE	
—8"W——	- PR. WATER MAIN	
	- PR. FIRE HYDRANT	
\$	- PR. STREET LIGHT	
	- PR. FLOW DIRECTION	
	- PR. OVERLAND FLOW ROUTE	
H.P.	- PR. HIGH POINT	BE
L.P.	- PR.LOW POINT	



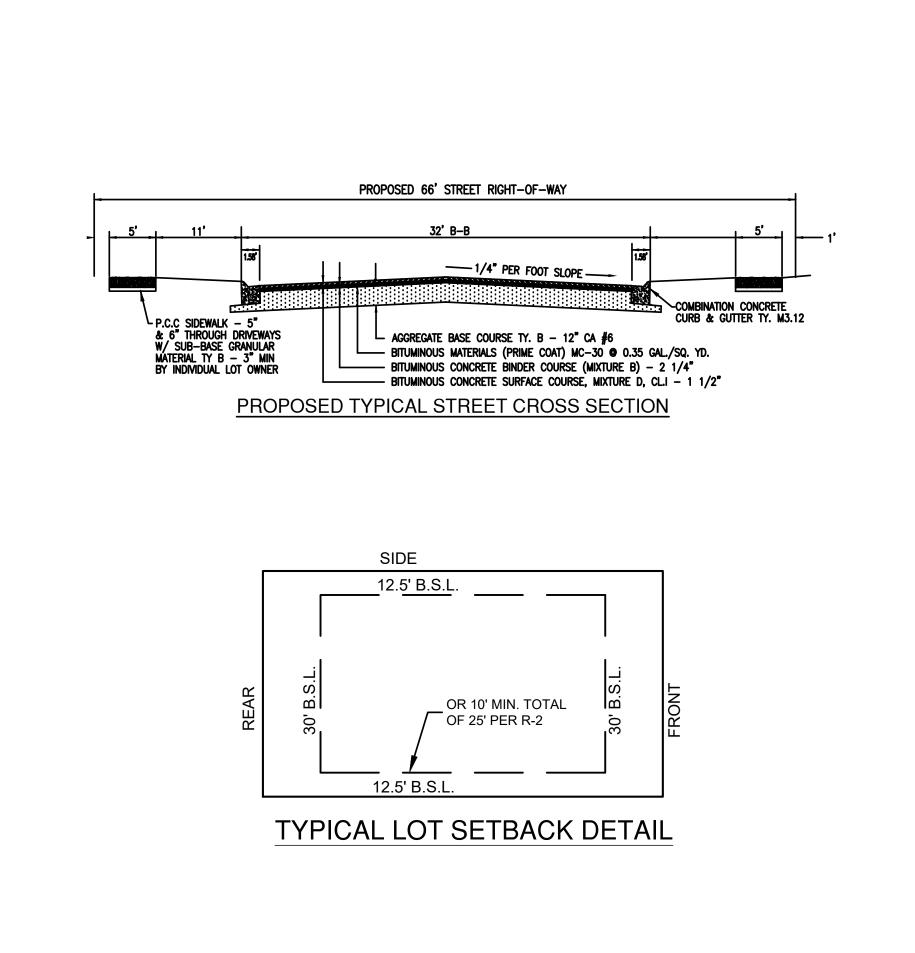
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LOT AREA TABLE
LOT 1

LOT 1
LOT 2
LOT 3
LOT 4
LOT 5
LOT 6
LOT 7
LOT 8
LOT 9
LOT 10
LOT 11
LOT 12
LOT 13
LOT 14
LOT 15
LOT 16
LOT 17
LOT 18
LOT 19
LOT 20
LOT 21
LOT 22
LOT 23
LOT 24
LOT 25
OUTLOT B
OUTLOT E

,	
15,79 ⁻	1 S.F.
15,463	3 S.F.
15,219	9 S.F.
15,547	7 S.F.
18,294	4 S.F.
15,926	6 S.F.
15,072	2 S.F.
16,096	6 S.F.
15,02 ⁻	1 S.F.
17,046	6 S.F.
15,023	
15,020	
15,018	3 S.F.
15,040	6 S.F.
15,000) S.F.
15,000) S.F.
15,000	6 S.F.
16,40 ⁻	1 S.F.
15,652	2 S.F.
19,44	5 S.F.
17,13	5 S.F.
17,800) S.F.
62,25	3 S.F.

19,029 S.F. 17,169 S.F.

15,530 S.F.

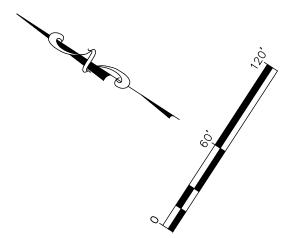
62,253 S.F. 115,270 S.F. 77,169 S.F. 2,641 S.F. 1,066 S.F.

RETAINING WALLS IN RED

DETENTION POND HIGH-WATER LEVEL

t Por Mill

LT CAN



LEGAL DESCRIPTION:

THAT PART OF THE WEST HALF OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE CENTERLINE OF ST. FRANCIS ROAD, AS MONUMENTED, LYING NORTH OF THE CENTERLINE OF HICKORY CREEK, AND LYING WEST OF THE EAST LINE OF THE PARCEL OF LAND DESCRIBED IN DOCUMENT NO. R2013-125406, AS MONUMENTED AND OCCUPIED, AND LYING EAST OF THE FOLLOWING DESCRIBED LINE: COMMENCING AT THE NORTHEAST CORNER OF HICKORY CREEK NORTHWOODS SUBDIVISION, BEING A SUBDIVISION OF PART OF SAID SECTION 15, ACCORDING TO THE PLAT THEREOF RECORDED JULY 2, 2001 AS DOCUMENT NO. R2001-083477, SAID NORTHEAST CORNER BEING THE CENTERLINE OF ST. FRANCIS ROAD, AS MONUMENTED; THENCE SOUTH 84 DEGREES 36 MINUTES 00 SECONDS EAST, ON SAID CENTERLINE OF ST. FRANCIS ROAD, 190.69 FEET TO AN ANGLE POINT; THENCE SOUTH 65 DEGREES 05 MINUTES 49 SECONDS EAST, ON SAID CENTERLINE, 331.22 FEET TO THE POINT OF BEGINNING: THENCE SOUTH 24 DEGREES 54 MINUTES 08 SECONDS WEST, 89.05 FEET; THENCE SOUTH 00 DEGREES 42 MINUTES 46 SECONDS WEST, 962.24 FEET; THENCE SOUTH 01 DEGREE 48 MINUTES 26 SECONDS EAST, 622.00 FEET; THENCE SOUTH 05 DEGREES 12 MINUTES 43 SECONDS EAST, 380.27 FEET TO THE CENTERLINE OF SAID HICKORY CREEK, AND TO THE TERMINUS OF SAID LINE, ALL IN WILL COUNTY, ILLINOIS.

SAID PARCEL CONTAINING 18.313 ACRES, MORE OR LESS.

PIN: 19-09-15-300-019-0000

GROSS	SITE	AREA	

ST. FRANCIS ROAD ROW ON-SITE ROAD ROW NORTH DETENTION HWL SOUTH DETENTION HWL

NET SITE AREA

PROPOSED ZONING

GROSS DENSITY

NET DENSITY

MINIMUM LOT WIDTH

MINIMUM LOT DEPTH

MINIMUM LOT AREA

MINIMUM CORNER LOT WIDTH

MAXIMUM BUILDING HEIGHT

REQUIRED FRONT YARD SETBACK

REQUIRED REAR YARD SETBACK

REQUIRED SIDE YARD SETBACK

SITE DATA SUMMARY

18.31 ACRES 0.73 ACRES 2.40 ACRES 1.14 ACRES 0.81 ACRES

18.31 - 5.08 = 13.23 ACRES

R-2 SINGLE-FAMILY

25 UNITS

25/18.31 = 1.37 UNITS/ACRE (GROSS)

25/13.23 = 1.89 UNITS/ACRE (NET)

100-FT

150-FT (130-FT ADJ. TO OPEN SPACE)

15,000 SQ FT

120-FT (106-FT LOTS 8, 9, 25 REQUESTED)

-S65°47'49"W

—S64°22'06"W 47.52'

35-FT

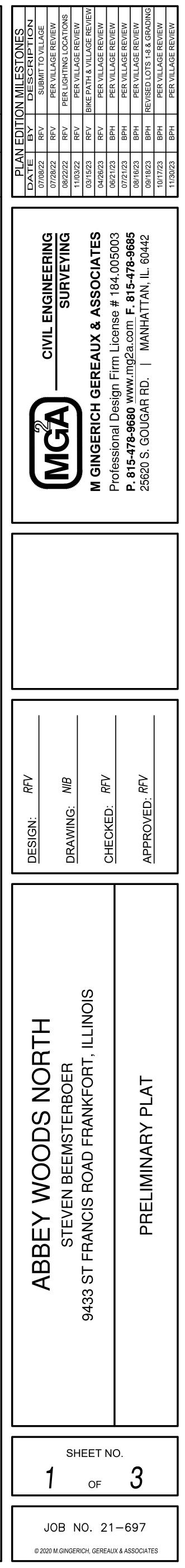
30-FT

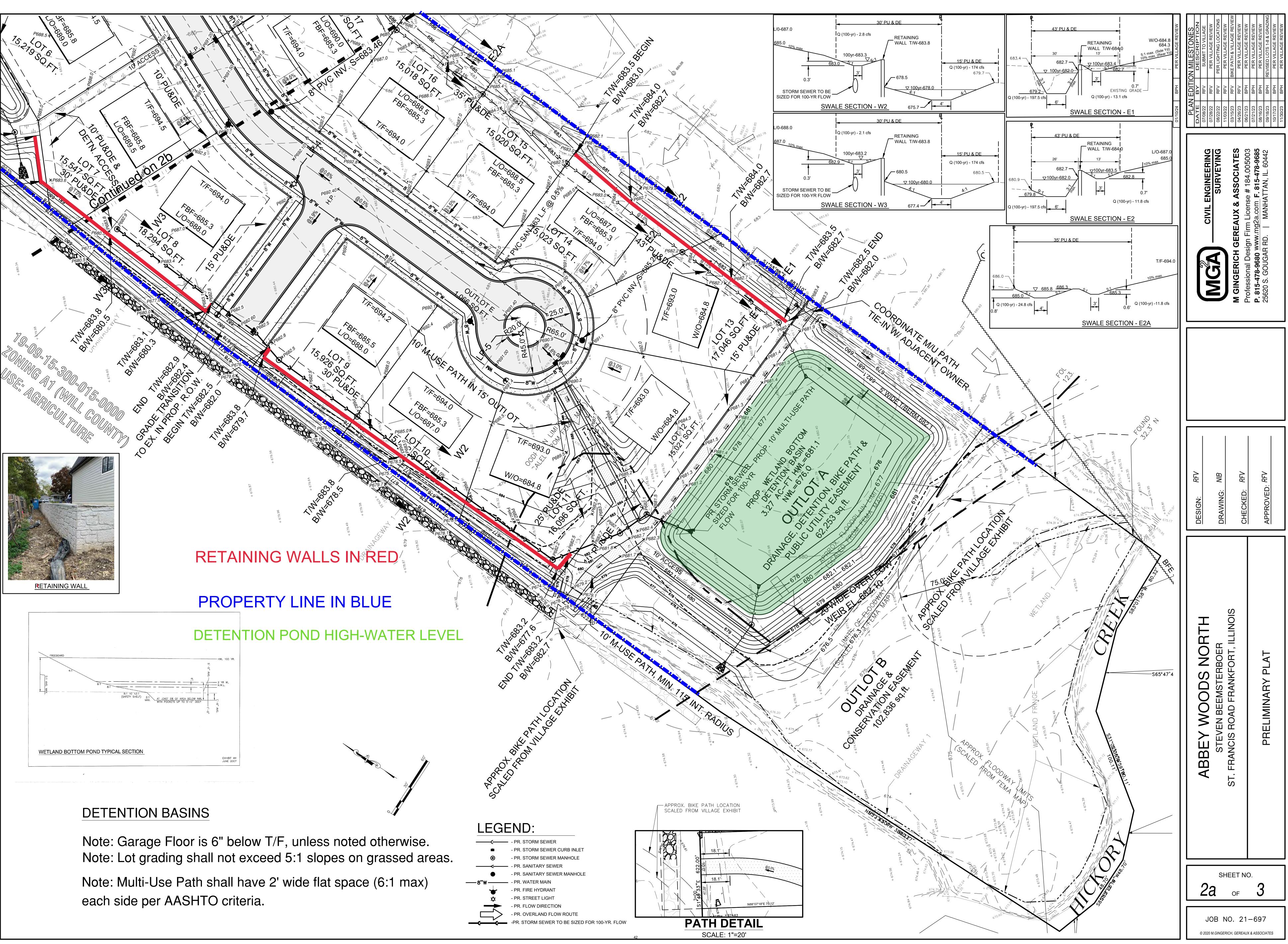
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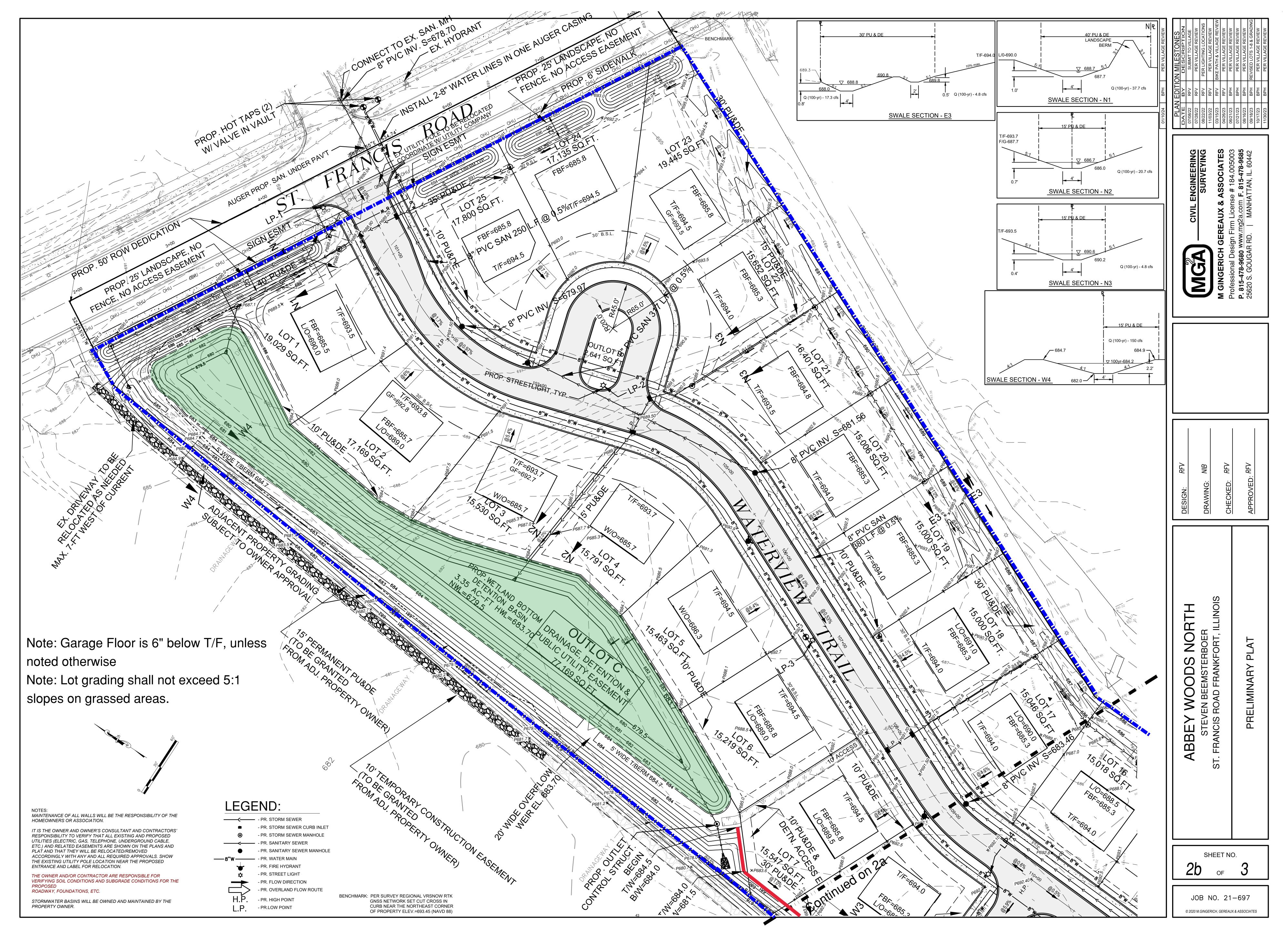
N77°01'34"W 42.26'

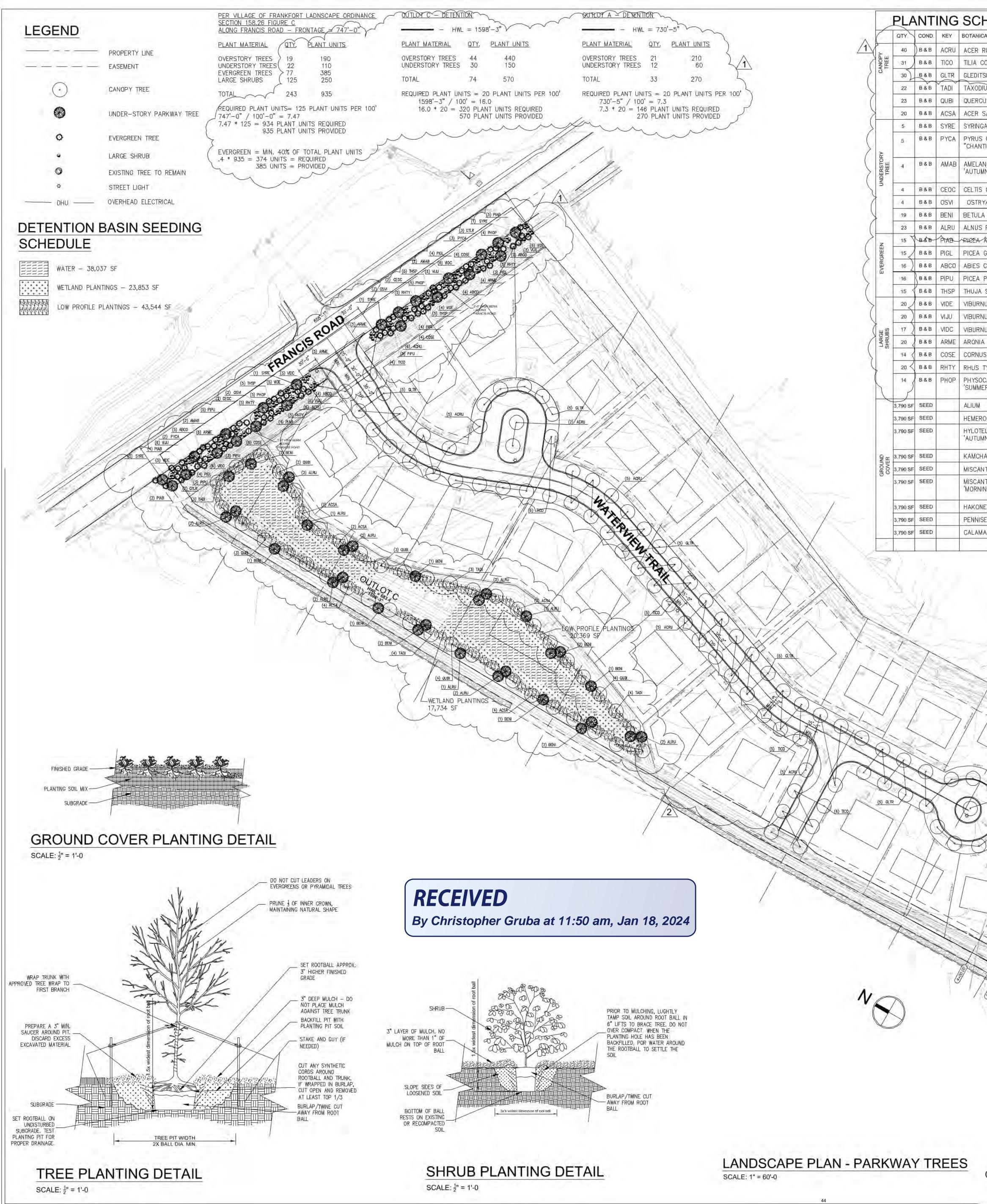
25-FT TOTAL (10-FT MIN.)

PER VILLAGE REVIEW	
ВРН	
01/10/24	









HEDULE			2
ALNAME	COMMON NAME	CALIPER	COMMENTS
RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2.5"	
ORDATA	LITTLELEAF LINDEN 2.5		
SIA TRIACANTHOS	HONEY LOCUST	2,5"	
UM DISFICHUM	BALD CYPRESS	3m	WETLAND BASIN
US BICOLOR	SWAMP WHITE OAK	3"	WETLAND BASIN
SACCHARUM	SUGAR MAPLE	3"	WETLAND BASIN
A RETICULATE	JAPANESE TREE LILAC	5	5' HEIGHT
CALLERYANA TICLEER"	CHANTICLEER PEAR	3	5' HEIGHT
NCHIER GRANDIFLORA IN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	3	5' HEIGHT
OCCIDENTALIS	HACKBERRY	2" 2	
YA VIRGINIANA	IRONWOOD	2"	
A NIGRA	RIVER BIRCH	P	8' CLUMP
RUGOSA	SPECKLED ADLER	/	8' CLUMP
ABIES	NORWAY SPRUCE		6' HEIGHT
GLAUCA	WHITE SPRUCE	6	6' HEIGHT
CONCOLOR	CONCOLOR FIR		6' HEIGHT
PUNGENS	BABY BLUE EYES SPRUCE		5' HEIGHT
STANDISHII X PLICATA	GREEN GIANT ARBORVITAE	1	5' HEIGHT
UM DENTATUM	CHICAGO LUSTRE VIBURNUM		5 GAL., FRANCIS ROAD
IUM × JUDDII	JUDD VIBURNUM		3 GAL, FRANCIS ROAD
UM DENTATUM 'CHRISTOM	BLUE MUFFIN VIBURNUM		5 GAL., FRANCIS ROAD
MELANOCARPA	BLACK CHOKEBERRY	1.0	5 GAL., FRANCIS ROAD
S SERICEA	REDTWIG DOGWOOD		5 GAL., FRANCIS ROAD
TYPHINA 'BAILTIGER'	TIGER EYE SUMAC		5 GAL., FRANCIS ROAD
CARPUS OPULIFOLIUS ER WINE'	SUMMER WINE NINEBARK	12	5 GAL., FRANCIS ROAD
	ALIUM		1 GAL., CUL-DE-SAC ISLAND
OCALLIS STELLA D'ORO	STELLA D'ORO DAYLILY		1 GAL., CUL-DE-SAC ISLAND
ELEPHIUM SPECTABILE			1 GAL,, CUL-DE-SAC ISLAND
ATICUM SEDUM	KAMCHATICUM SEDUM		4" POT, CUL-DE-SAC ISLANI
THUS SINENSIS 'ADAGIO'	ADAGIO GRASS		1 GAL., CUL-DE-SAC ISLAND
ITHUS SINENSIS NG LIGHT	MORNING LIGHT GRASS		1 GAL, CUL-DE-SAC ISLAND
ECHLOA MACRA	JAPANESE FOREST GRASS		1 GAL., CUL-DE-SAC ISLAND
ETUM ALOPECUROIDES	DWARF FOUNTAIN GRASS		1 GAL., CUL-DE-SAC ISLAND
ROSTIS *ACUTIFLORA KARL FOESTER FEATHER REED GRASS			

NOTES:

(1) ACRU

- . NO STREET TREE SHALL BE PLANTED CLOSER THAN THIRTY FEET (30) FROM THE RIGHT-OF-WAY LINE AT AN INTERSECTION OR CLOSER THAN EIGHT FEET (8) FROM ANY DRIVE OR ALLEY WAY.
- 2. LANDSCAPE MATERIALS SHALL BE SELECTED AND LOCATED SO AS NOT TO OBSTRUCT VISUAL OR PHYSICAL ACCESS TO FIRE HYDRANTS. TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER THAN SIX FEET (6) TO FIRE HYDRANTS. RANSFORMERS OR ABOVE GROUND UTILITIES, AND FIFTEEN FEET (15) FROM ANY
- STREET LIGHT 3. THE PARKWAYS SHALL BE PLANTED IN GRASS OR LOW GROUND COVER, EXCEPT WHEN COVERED BY PAVEMENT, TREES, OR SHRUBS

LOW PROFILE PLANTINGS

WETLAND PLANTINGS -

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63

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+ 23,175 SF

6,119 SF

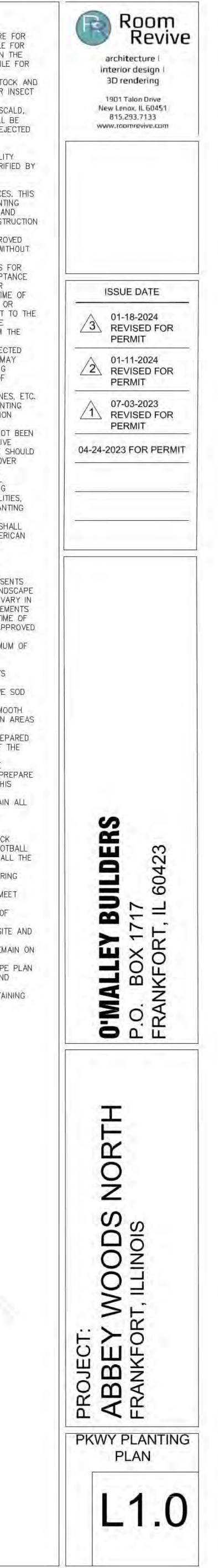
4. PLANTING ALONG FRANCIS ROAD TO BE SET ALONG 3'-O" BERM

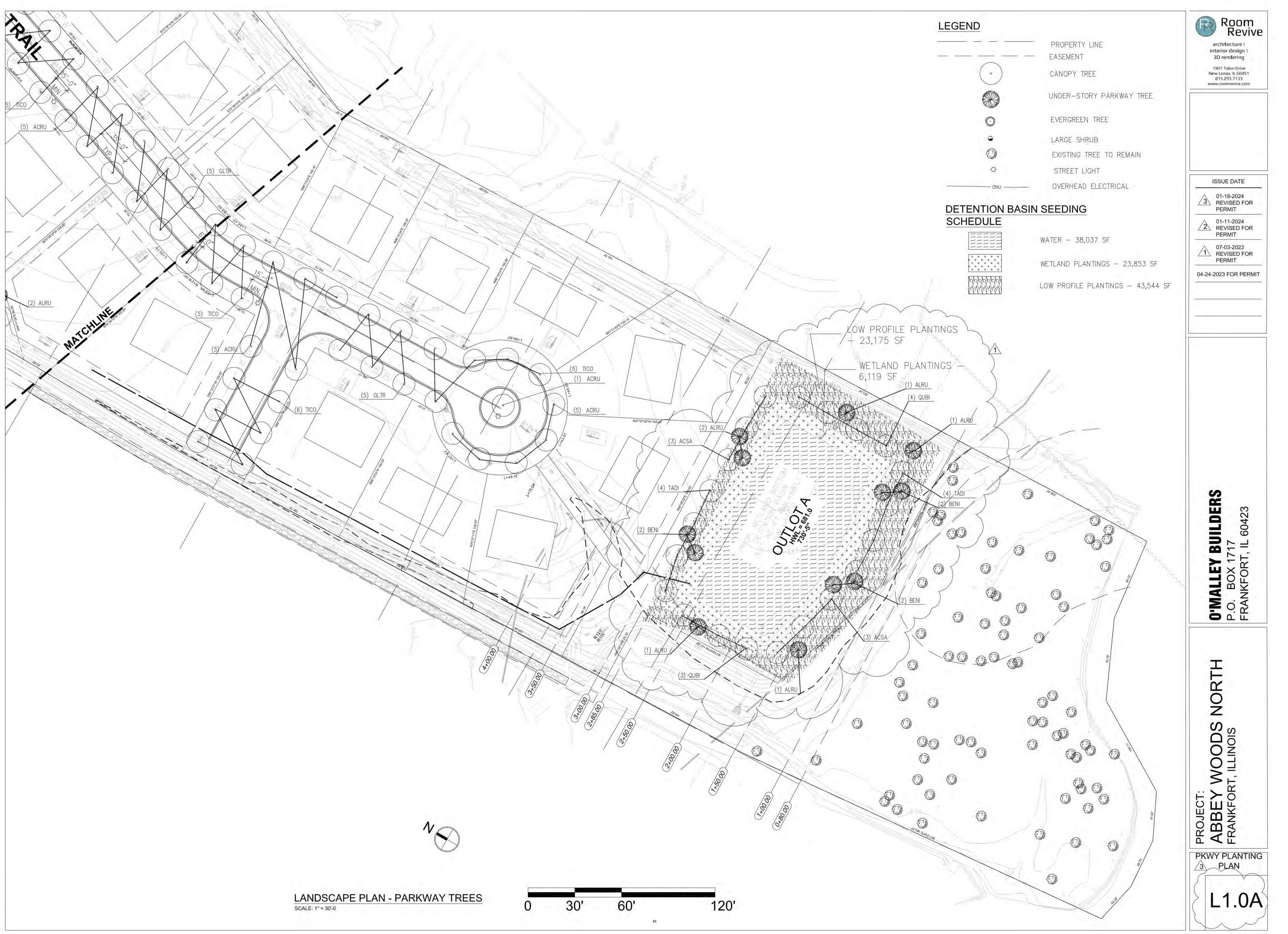
GENERAL NOTES:

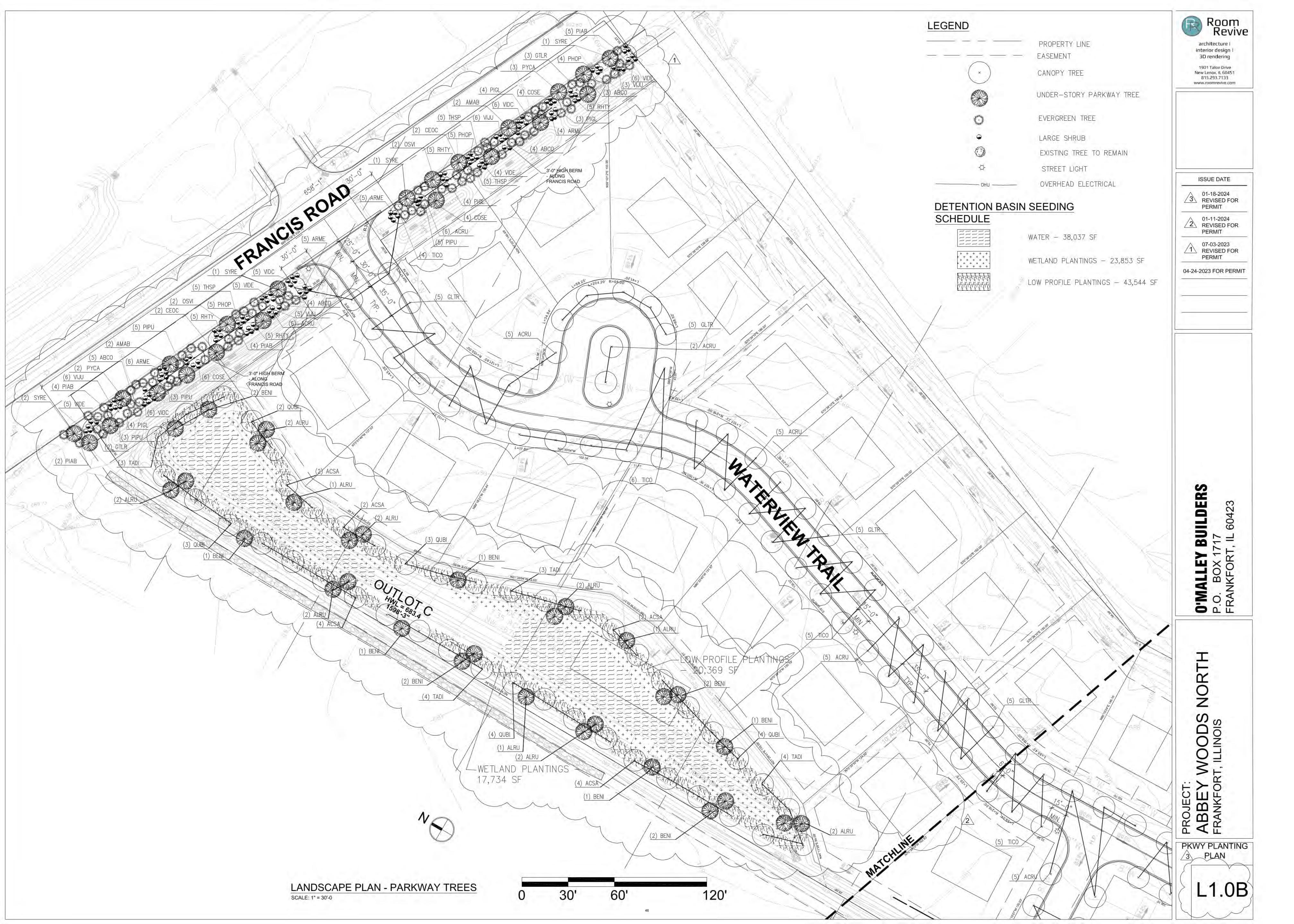
- , PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUANTITIES.
- 2. ALL PLANT MATERIALS SHOULD BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DEFORMED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED, TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS
- MULTI-STEM. 3. ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- 4. ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURE PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- 5. ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- 6. THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR THE PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL PROVIDE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED. FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5'FROM THE TRUNK.
- ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC. SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- ANY AREAS TO BE LUMED AND SEEDED WHICH HAVE NOT BEEN DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 1"-2" OF LOAM OVER SCARIFIED EXISTING SOILS. CARE SHOULD BE GIVEN TO NOT PLACE GREATER THAN 1"OF SOIL OVER
- EXPOSED ROOTS OF EXISTING TREES IN SUCH AREAS. 10. HE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING. ACTIVITIES. CONTRACTOR SHALL REPAIR / REPLACE UTILITIES, PAVING, CURBS, ETC, WHICH IS DAMAGED DURING PLANTING ACTIVITIES
- 11. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1 AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION
- 12. REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY, DIMENSIONS AND EXISTING CONDITIONS
- 13. ALL PLANT MATERIALS ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE VILLAGE IN WRITING.
- 14. ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3"DEPTH.
- 15. ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE. ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE SOD
- AS GROUND COVER, U.N.O. 17. ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH
- AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SOD U.N.O. 18. THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN, IFF ADDITIONAL TOP SOIL IS REQUIREDS, IT IS UP TO THE LANDSCAPE CONTRACTOR TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS
- LANDSCAPE PLAN 19. CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER
- **AUTHORITIES** 20, ALL MATERIAL MUST MEET INDUSTRY STANDARDS 21. ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK
- FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED AND HAVE ALL THE TAGS AND ROPES REMOVED
- 22. TREES SHALL BE STAKED AND GUYED AND HAVE WATERING SAUCER AT BASE
- 23. ALL BEDS TO BE BERMED 12"-24" ABOVE GRADE AND MEET DRAINAGE REQUIREMENTS
- 24. LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS
- 25, REMOVE ALL DEAD, DISEASED PLANT MATERIAL FROM SITE AND
- DISPOSE PROPERLY
- 26. PRUNE AND FERTILIZE ALL EXISTING VEGETATION TO REMAIN ON SITE 27. ANY PROPOSED CHANGES TO THE APPROVED LANDSCAPE PLAN
- SHALL BE SUBMITTED TO THE VILLAGE FOR REVIEW AND APPROVAL
- 28. PROPERTY OWNERS SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING SHOWN ON THE APPROVED PLANS THROUGHOUT THE LIFE OF THE DEVELOPMENT

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02.00







ABBY WOOD S PHASE II MONITORING AND MANAGEMENT PLAN:

SECTION 1.0 NEAR TERM MONITORING AND REPORTING

.1 RESPONSIBLE PARTIES

THE OWNER WILL BE RESPONSIBLE FOR FUNDING AND IMPLEMENTING A THREE YEAR "NEAR TERM" MANAGEMENT AND MAINTENANCE PLAN FOR ESTABLISHING A NATURALIZED LANDSCAPE ASSOCIATED WITH THE PROPOSED ABBY WOODS PHASE II PROJECT STORM WATER FACILITY. THE OWNER MAY ELECT TO CONTRACT MANAGEMENT AND MAINTENANCE SERVICES TO A THIRD PARTY TO ENSURE PROPER IMPLEMENTATION.

1.2 MONITORING METHODOLOGY

AREAS OF NATURALIZED RE-VEGETATION WILL BE MONITORED FOLLOWING METHODLOGIES AS OUTLINED HEREIN, MEANDER SURVEY MONITORING WILL BE PERFORMED ON AN ANNUAL BASIS FOR THREE YEARS AFTER PLANTING IS SUBSTANTIALLY COMPLETE, OR UNTIL THE LANDSCAPE IS ACCEPTED BY THE VILLAGE. ANNUAL VEGETATION MONITORING WILL OCCUR IN AUGUST, SEPTEMBER, OR EARLY OCTOBER, MEANDER SURVEY METHODOLOGY WILL INVOLVE TAKING 5-10 REPRESENTATIVE SITE PHOTOGRAPHS AND PERFORMING A REVIEW OF AT LEAST 20 PERCENT OF EACH VEGETATIVE COMMUNITY TO IDENTIFY THE FOLLOWING

A.) THE LIMBS OF ALL VEGETATION AREAS BY GENERAL COMMUNITY TYPE AND DOMINANT SPECIES WITHIN EACH PLANTING ZONE B.) ALL PLANT SPECIES IN EACH PLANTING ZONE

- C.) THE APPROXIMATE PERCENT GROUND COVER BY NATIVE SPECIES WITHIN EACH PLANTING ZONE
- D.) THE PERCENT GROUND COVER BY NON-NATIVE OR INVASIVE SPECIES IN EACH PLANTING ZONE
- .) EROSION AND SEDIMENTATION PROBLEMS WATER LEVEL OR DRAINAGE PROBLEMS
- G.) AREAS OF BARE SOIL LARGER THAN ONE SQUARE METER

H.) OBSERVATIONS ON SPECIFIC MANAGEMENT STRATEGIES NECESSARY TO ACHIEVE ACCEPTANCE REQUIREMENTS

1.3 REPORTING REQUIREMENTS THE OWNER WILL PROVIDE THE VILLAGE WITH NOTIFICATION 24-HOURS PRIOR TO THE START OF PLANTING INSTALLATION. FOLLOWING SUBSTANTIAL COMPLETION, THE OWNER WILL DOCUMENT THAT NATURAL AREA LANDSCAPE RE-VEGETATION HAS BEEN COMPLETED. NURSERY PACKING LISTS INDICATING THE SPECIES AND QUANTITIES OF MATERIALS INSTALLED WILL ACCOMPANY THIS NOTICE.

IN ADDITION. THE OWNER (OR DESIGNATED REPRESENTATIVE) WILL SUBMIT AN ANNUAL MONITORING REPORT TO THE VILLAGE OF FRANKFORT BY FEBRUARY 28TH OF THE FOLLOWING YEAR EVALUATING THE PROGRESS OF THE NATURALIZED LANDSCAPE TOWARD DESIGN GOALS. THE REPORT WILL CONTAIN LOCATION MAP, A SUMMARY OF ANNUAL MONITORING OBSERVATIONS, A DESCRIPTION OF MANAGEMENT PERFORMED DURING THE YEAR, A TABULAR SUMMARY OF ANNUAL PROGRESS RELATIVE TO ACCEPTANCE STANDARDS, AND A LIST OF RECOMMENDATIONS FOR MANAGEMENT DURING THE UPCOMING YEAR

1.4 ACCEPTANCE REQUIREMENTS

SATISFACTORY LANDSCAPE DEVELOPMENT ASSOCIATED WITH NATURALIZED VEGETATION IN THE STORMWATER FACILITY WILL BE BASED ON THE FOLLOWING ITEMS. THE ATTAINMENT OF THESE ITEMS IS EXPECTED TO RESULT IN ACCEPTANCE OF LANDSCAPE IMPROVEMENT BY THE VILLAGE OF FRANKFORT WITHIN 3 MONTHS OF SEED INSTALLATION (OR 3 MONTHS AFTER THE START OF THE GROWING SEASON FOLLOWING DORMANT SEEDING) AT LEAST 90% OF THE SEEDED AREA AS MEASURED BY AERIAL COVER, WILL BE VEGETATED OR OTHERWISE STABILIZED AGAINST EROSION.

NATURALIZED LANDSCAPE SHALL HAVE MORE THAN ONE SQUARE METER DEVOID OF VEGETATION, AS MEASURED BY AERIAL COVERAGE SEEDED AREAS SHALL HAVE NO RILLS OR GULLIES GREATER THAN 4 INCHES WIDE BY 4 INCHES DEEP, AND BASIN SHORELINE SHALL NOT HAVE MORE THAN 6 INCHES CUT AS A RESULT OF EROSION AREAS SEEDED AS TURF GRASS OR LOW-MAINTENANCE TURF SHALL HAVE 95% GROUND COVER

EMERGENT AREAS SHALL HAVE A MINIMUM OF 35% GROUND COVER (AVG. 50%) AND OTHER WETLAND AND PRAIRIE AREAS SHALL HAVE A MINIMUM OF 35% GROUND COVER (AVG. 60%) BY SPECIES IN THE APPROVED PLANT LIST AND/OR NATIVE SPECIES WITH NATIVE COEFFICIENT OF CONSERVATIONS (C-) VALUES 2 (PER SWINK AND WILHELM 1994 OR MORE CURRENT VERSION) NATURALIZED LANDSCAPES SHALL HAVE A MINIMUM OF 30% PRESENCE BY SPECIES SEEDED OR PLANTED FOR THE PERMANENT MATRIX C-VALUES 2 (PER SWINK AND WILHELM 1994 OR MORE CURRENT VERSION) INSTALLED WOODY MATERIALS SHALL BE ALIVE, IN HEALTHY CONDITION, AND REPRESENTATIVE OF THE SPECIES

NO MORE THAN 25% OF ANY SPECIFIC PLANT COMMUNITY SHALL BE INDIVIDUALLY OR COLLECTIVELY DOMINATED BY NON-NATIVE OR WEEDY SPECIES NONE OF THE THREE MOST DOMINANT SPECIES MAY BE NON-NATIVE WEEDY, INCLUDING BUT NOT LIMITED TO CANADA THISTLE, COMMON REED, REED CANARYGRASS, SWEETCLOVER, KENTUCKY BLUEGRASS, PURPLE LOOSESTRIFE, BARNYARD GRASS, OR SANDBAR WILLOW UNLESS INDICATED ON TEH APPROVED PLANTING PLAN CATTAILS SO NOT COUNT TOWARDS THE 25% WEED CRITERION PROVIDED THEY REPRESENT NO MORE THAN 20% COVER

ALTHOUGH NOT ACCEPTANCE REQUIRE, TNS, THE FOLLOWING MILESTONES WILL BE ASSESSED FOR YEAR 2 NATURAL LANDSCAPE DEVELOPMENT TO HELP DETERMINE. THE NEED FOR AND LEVEL OF MANAGEMENT APPROPRIATE TO ACHIEVE YEAR 3 LANDSCAPE ACCEPTANCE. MIN. GROUND COVER OF 25% BY SPECIES IN THE APPROVED PLANT LIST AND/OR NATIVE WITH C-VALUE 2

MIN. PRESENCE OF 20% BY SPECIES SEEDED OR PLANTED FOR THE PERMANENT MATRIX AND/OR NATIVE SPECIES WITH C-VALUE 2

SECTION 2.0 NEAR TERM MANAGEMENT FOR NATURALIZED LANDSCAPES

NEAR-TERM (IF 3-YEAR) MANAGEMENT FOR NATURALIZED LANDSCAPES ASSOCIATED WITH ABBY WOODS PHASE IL WILL INVOLVE MONITORING AND MANAGEMENT TO PROMOTE GERMINATION AND ESTABLISHMENT OF DESIRED PLANTS. THE FOLLOWING IS A NEAR TERM MAINTENANCE PLAN FOR NATURALIZED LANDSCAPES ASSOCIATED WITH THE DEVELOPMENT 2.1 NEAR-TERM MANAGEMENT TASKS

FOR SEVERAL YEARS AFTER INSTALLATION, NATURALIZED LANDSCAPES WILL BE ON MANAGED ON A REGULAR BASIS TO ENSURE SUCCESSFUL ESTABLISHMENT, SITE CHARACTERISTICS INFLUENCE HOW MANAGEMENT AND MAINTENANCE TECHNIQUES ARE IMPLEMENTED, VEGETATION MANAGEMENT ACTIONS MAY DIFFER FROM THE TASKS AND FREQUENCIES INDICATED BELOW BASED ON SPECIFIC RECOMMENDATIONS FROM VILLAGE-APPROVED NATIVE LANDSCAPE SPECIALIST

2.1.1 UNDESIRABLE PLANT CONTROL

THE OWNER ACKNOWLEDGES THAT IT IS BEST TO PERFORM CORRECTIVE ACTIONS FOR VEGETATION MANAGEMENT EARLY IN THE RE-VEGETATION EFFORT, AGGRESSIVE AND/OR NON-NATIVE SPECIES WILL BE MANAGED SUCH THAT THEIR PRESENCE AND DENSITY DOES NOT THREATEN THE ATTAINMENT OF ACCEPTANCE REQUIREMENTS.

DEPENDING ON THE TYPE OF PLANT TARGETED, CONTROL OF UNDESIRABLE PLANT SPECIES MAY INVOLVE REMOVING ALL ABOVE-GROUND AND BELOW-GROUND STEMS, RODTS, AND FLOWER MOSSES PRIOR TO DEVELOPMENT OF SEEDS. WEEDING WILL AVOID DAMAGING THE NATIVE PLANTINGS AND BE TIMED TO PREVENT DEVELOPMENT OF WEE SEEDS. THE ABILITY TO DIFFERENTIATE BETWEEN WEEDS AND NATIVE SEEDLINGS IS IMPORTANT. PLANTS MAY BE LEFT UNTREATED UNTIL THEY CAN BE POSITIVELY IDENTIFIED.

VARIOUS MEANS OF WEED CONTROL WILL BE EMPLOYED AS APPROPRIATE, AND MAY INCLUDE MECHANICAL CONTROL, CHEMICAL CONTROL AND/OR BIOLOGICAL CONTROL MECHANICAL CONTROL: MECHANICAL CONTROL OF NUISANCE PLANT TYPICALLY INCLUDES CUTTING, MOWING, AND/OR THE DIGGING UP INDIVIDUAL PLANTS BY HAND. IN MAY CASES, CUTTING OR MOWING A PLANT BEFORE ITS SEEDS MATURE WILL MINIMIZE FURTHER SPREAD, CUTTING OR MOWING CLOSE TO THE GROUND SURFACE WITH A WEED EATER OR HAND SCYTHE CAN BE AN EFFECTIVE MEANS OF CONTROL FOR SPECIES SUCH AS SWEET CLOVER, VARIOUS THISTLES AND RAGWEED. FOR GENERAL MOWING OF SWATHS OF VEGETATION, MOWERS WILL BE SET TO A HEIGHT OF 12+ INCHES ABOVE THE GROUND OR TO A HEIGHT THAT TREATS WEEDY SPECIES YET MINIMIZES IMPACTS ON DESIRABLE PLANTS. CHEMICAL CONTROL: WHEN EMPLOYED IN CONJUNCTION WITH PRESCRIBED BURNING AND MECHANICAL CONTROL, THE JUDICIOUS USE OR HERBICIDES CAN BE AN IMPORTANT COMPONENT OF MANAGEMENT PROGRAMS FOR CONTROLLING WEEDS. SOME WEEDS ARE CONTROLLED MORE EFFECTIVELY BY CHEMICAL TREATMENT THAN BY MOST MECHANICAL MEASURES

FOR AGGRESSIVE WEEDS, AN HERBICIDE WILL BE APPLIED. THE USE OF PREVENTATIVE HERBICIDES WILL BE LIMITED TO PROBLEM AREAS WICK APPLICATION WILL BE PREFERRED OVER SPRAY APPLICATION SPRAY APPLICATIONS, IF NECESSARY, SHALL NOT BE USED ON GUSTY DAYS

BIOLOGICAL CONTROL: AN ALTERNATIVE TO CHEMICAL TREATMENT, USE OF BIOLOGICAL CONTROLS PURPLE LOOSESTRIFE WILL BE CONSIDERED PROVIDED SITE CONDITIONS ARE APPROPRIATE TO SUPPORT AND MAINTAIN THE INSECT POPULATION.

2.1.2 WILDLIFE MANAGEMENT

IT IS GENERALLY ACCEPTED THAT THE LONG-TERM USE OF EVEN THE MOST BENIGN PESTICIDES HAS EFFECTS ON WILDLIFE THAT ARE STILL RARELY RESEARCHED. THEREFORE, PESTICIDES WILL NOT BE USED BOARDLY OR ROUTINELY AT THE MITIGATION SITE.

2,1,4 FERTILIZER APPLICATION

A CONSERVATIVE APPROACH TO FERTILIZERS WILL BE TAKEN, TURF MANAGEMENT CHEMICALS WILL NOT BE USED WITHIN AREAS OF NATURALZIED PLANTINGS

2.1.5 DEBRIS MANAGEMENT

DEBRIS WILL BE REMOVED FROM THE DEVELOPMENT AREA EVERY OTHER MONTH BETWEEN MARCH AND NOVEMBER. DEBRIS WILL BE DISPOSED OF AT AN APPROPRIATE OFF-SITE TRASH RECEPTACLE OR HAULED TO AN APPROVED DUMP SITE.

2.2 SCHEDULE OF NEAR-TERM MANAGEMENT ACTIVITIES

2,2,1 TYPICAL 1ST YEAR MANAGEMENT ACTIONS TO PREVENT WEED SEED DEVELOPMENT, MOWING TO A HEIGHT OF 6 INCHES WILL BE PERFORMED WHEN VEGETATION REACHES A HEIGHT OF 12 INCHES

WEEDING PRACTICE WILL AVOID DAMAGING NATIVE PLANTINGS DEBRIS AND LITTER WILL BE DISPENSED AT AN APPROPRIATE OFF SITE TRASH RECEPTACLE

2.2.2 TYPICAL 2ND YEAR ACTIONS

THE SEEDED AREAS WILL BE MOWED TO THE GROUND AS CLOSE AS POSSIBLE IN EARLY SPRING AND CUTTINGS RAKED OR BAGGED.

WEED MANAGEMENT WILL EMPHASIZE BIENNIAL AND PERENNIAL WEEDS, PROPER WEED CONTROL MAY REQUIRE MULTIPLE TREATMENTS OTHER MANAGEMENT PRACTICES WILL INCLUDE LITTER REMOVAL, ACCESS RESTRICTION ENFORCEMENT, AND EROSION CONTROL, INSECT/PEST CONTROL, RESEDING/REPLANTING, WILDLIFE MANAGEMENT AS DETERMINED ON A QUARTERLY BASIS.

2.2.3 TYPICAL 3RD YEAR MANAGEMENT ACTIONS

TYPICAL MANAGEMENT IN THE 3RD GROWING SEASON INVOLVE THE USE OF PRESCRIBED FIRE IN COMBINATION WITH MECHANICAL AND CHEMICAL METHODS FOR CONTROLLING BIENNIAL AND PERENNIAL WEEDS A PERMIT WILL BE OBTAINED FROM THE ENVIRONMENTAL PROTECTION AGENCY PRIOR TO CONDUCTING A PRESCRIBED BURN. A BURN WILL OCCUR MID OCTOBER - APRIL AS WEATHER AND SITE CONDITIONS PERMIT. NOTICE MUST BE OBTAINED FROM THE VILLAGE AND LOCAL AUTHORITIES PRIOR TO A BURN MANAGEMENT OF WEEDS, DEBRIS AND LITTER REMOVAL, ACCESS RESTRICTION ENFORCEMENT, EROSION CONTROL AND REPAIRS. INSECT/PEST CONTROL, RESEEDING/REPLANTING, WILDLIFE MANAGEMENT

SECTION 3.0 LONG TERM MANAGEMENT FOR NATURALIZED LANDSCAPES

TRADITIONAL TURFGRASS MAINTENANCE PRACTICES ARE NOT APPROPRIATE FOR NATURALIZED LANDSCAPES. PROPER MANAGEMENT IS ESSENTIAL AND WILL BE PERFORMED BY PARTIES EXPERIENCED IN NATIVE LANDSCAPE MAINTENANCE

3.1 CONTACT INFORMATION

DYNAMIC M.D. OR AN AUTHORIZED REPRESENTATIVE WILL BE RESPONSIBLE FOR THE TIMELY EXECUTION OF ALL LONG-TERM MAINTENANCE ACTIVITIES WITHIN THE NATURALIZED LANDSCAPE. THE FOLLOWING PARTY SHOULD BE CONTACTED REGARDING MANAGEMENT ACTIVITIES

NAMES, ADDRESSES, CONTACTS AND TELEPHONE NUMBERS OF THE PROPERTY OWNER(S)

NAMES, ADDRESSES, CONTACTS AND TELEPHONE NUMBERS OF THE PARTY RESPONSIBLE FOR OPERATIONS AND MAINTENANCE.

3.2 PROHIBITIVE ACTIVITIES

THIS SECTIONS OUTLINES VARIOUS ACTIVITIES RESTRICTED OR PROHIBITED WITHIN AREAS OF LANDSCAPING EXCEPT AS NEEDED TO ACHIEVE AND MAINTAIN A NATURALIZED LANDSCAPI DUMPING OF YARD WASTE OR DEBRIS

REPLACEMENT OF APPROVED VEGETATION WITH NON-APPROVED MATERIALS CONSTRUCTION OR PLACEMENT OF STRUCTURES

APPLICATION OF PESTICIDES FERTILIZER OR HERBICIDES

MOWING OTHER THAN FOR MEETING SPECIFIC MANAGEMENT GOALS COMMERCIAL, INDUSTRIAL, AGRICULTURAL, RESIDENTIAL DEVELOPMENTS, BUILDINGS OR STRUCTURES INCLUDING BIT NOT LIMITED TO SIGNS, BILLBOARDS, OTHER ADVERTISING MATERIAL OR OTHER STRUCTURES REMOVAL OR DESTRUCTION OF TREA OR PLANTS, MOWING, DRAINING, PLOWING MINING, REMOVAL OF TOPSOIL, SAND, ROCK, GRAVEL, MINERALS OR OTHER MATERIAL OPERATION OF SNOWMOBILES, DUNE BUGGIES, MOTORCYCLES, ALL TERRAIN VEHICLES OR ANY OTHER TYPES OF MOTORIZED VEHICLES.

VILLAGE APPROVAL WILL BE OBTAINED FOR ANY AMENDMENTS THAT ALTER THE SITE BEYOND THE APPROVED DESIGN CONDITION. THE LAND USE RESTRICTIONS MAY BE CHANGES, MODIFIED OR REVOKED ONLY UPON WRITTEN APPROVAL OF OF THE VILLAGE

3.3 LONG-TERM MANAGEMENT TASKS

LONG-TERM MAINTENANCE OF NATURALIZED LANDSCAPES INVOLVE SIGNIFICANTLY LESS EFFORT AND COST THAN FOR LANDSCAPES VEGETATED WITH TRADITIONAL TURFGRASS. ROUTINE MAINTENANCE ACTIVITIES FOR NATURALIZED LANDSCAPES INCLUDE DEBRIS MANAGEMENT INSPECTIONS, VEGETATION MAINTENANCE, AND PEST SPECIES MANAGEMENT. NON-ROUTINE MAINTENANCE AND MANAGEMENT ACTIONS ARE PERFORMED AS SITE SPECIFIC CONDITIONS WARRANT AND INCLUDE SEDIMENT/POLLUTANT REMOVAL, STRUCTURE, REPLACEMENT AND REPLANTING. TABLE 2 PRESENTS A GENERAL SCHEDULE FOR TYPICAL ACTIVITIES WITH LONG-TERM MANAGEMENT OF NATURALIZED LANDSCAPES

3.3.1 DEBRIS AND LITTER MANAGEMENT DEBRIS AND LITTER WILL BE REMOVED EVERY OTHER MONTH BETWEEN MARCH 1 TO OCTOBER AND DISPOSED OF AT AN APPROPRIATE OFF-SITE TRASH RECEPTACLE 3.3.2 STRUCTURAL MANAGEMENT

WATER CONTROL STRUCTURES WILL BE INSPECTED QUARTERLY WITHIN 24 HOURS OF EACH MAJOR RAINSTORM. INSPECTIONS WILL CONFIRM THAT THE RESTRICTOR IS NOT CLOGGED AS WELL AS INCLUDE AN EVALUATION ON THE STABILITY OF THE OUTLET, EMBANKMENTS AND INLETS. OBSERVATIONS WILL BE MADE IN THE PRESENCE AND EXTENT OF EROSION, LACK OF VEGETATION, OR OTHER PROBLEMS SUCH AS SOIL CRACKING, THE OUTLET/INLET STRUCTURE DEGRADATION, SINKHOLES, OR WET AREAS ON SLOPES CAPTURE SEDIMENT AND POLLUTANTS EVENTUALLY RESULT IN A DECREASE IN POOL VOLUME NAD/OR WATER QUALITY. THE NEED FOR SEDIMENT REMOVAL IS EXPECTED WHEN THE POOL VOLUME IS REDUCED BY 15-20 PERCENT.

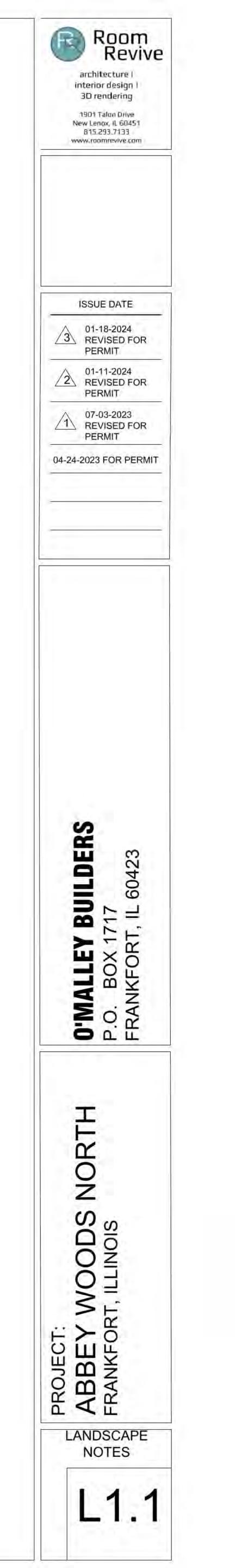
3.3.3 VEGETATION MANAGEMENT

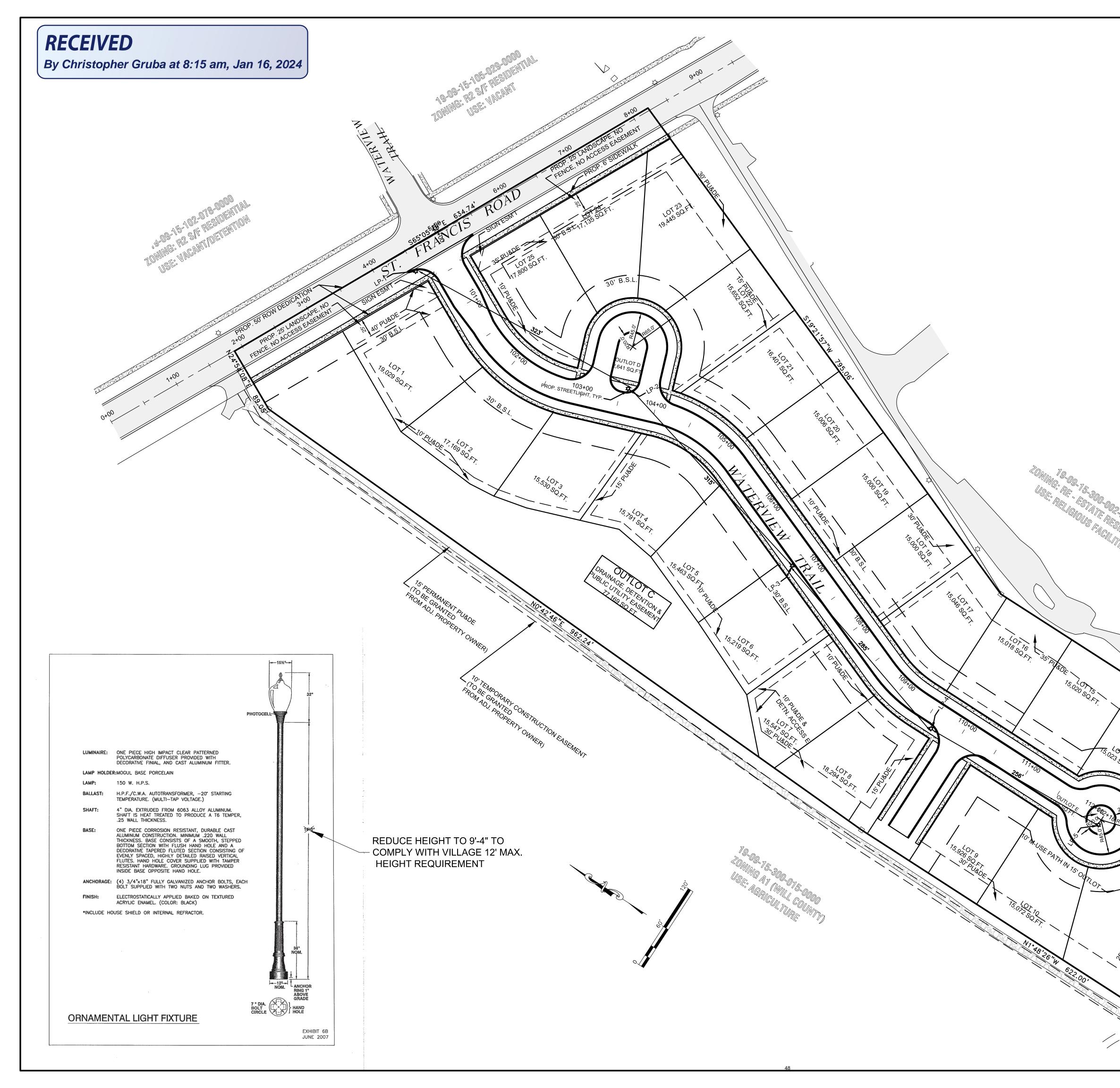
LONG-TERM MANAGEMENT ACTIONS EMPHASIZE REGULAR PRESCRIBED BURNING, ACCOMPANIED HERBICIDE, MOEING, COMBINATION OF THESE PRACTICES. PRESCRIBED BURNING: ESTABLISHED NATURALIZED LANDSCAPES WILL BE BURNED EVERY 2-3 YEARS, LARGER AREAS TO BE DIVIDED AND ONLY A PORTION BURNED EACH YEAR. BURNING IS TO BE CONDUCTED BY A QUALIFIED BURN CONTRACTOR PERMISSION IS NEED BY LOCAL AUTHORITY TO PERFORM A BURN MECHANICAL CONTROL - MOWING OR DIGGING UP OF PLANTS

THE TIMING AND HEIGHT OF MOW DEPENDS ON SPECIES - TYPICALLY 12-18 INCHES HIGH HARD PULLING OR DIGGING CAN PROVIDED CONTROL IF THERE ARE FEWER THAN 100 PLANTS HERBICIDE TREATMENT TO BE PERFORMED BY LICENSED PROFESSIONAL

3.3.4 PESTICIDES AND FUNGICIDE USE PESTICIDES WILL NOT BE USED BROADLY OR ROUTINELY.

3.3.5 OTHER MANAGEMENT ACTIONS ON A PERIODIC BASIS FEES ARE COLLECTED TO COVER MAINTENANCE COSTS WILL BE REEVALUATED AND UPDATED WITH CONTRACTORS WILL BE RENEWED AND CONTACT INFORMATION WILL BE UPDATED ON THE PROJECT

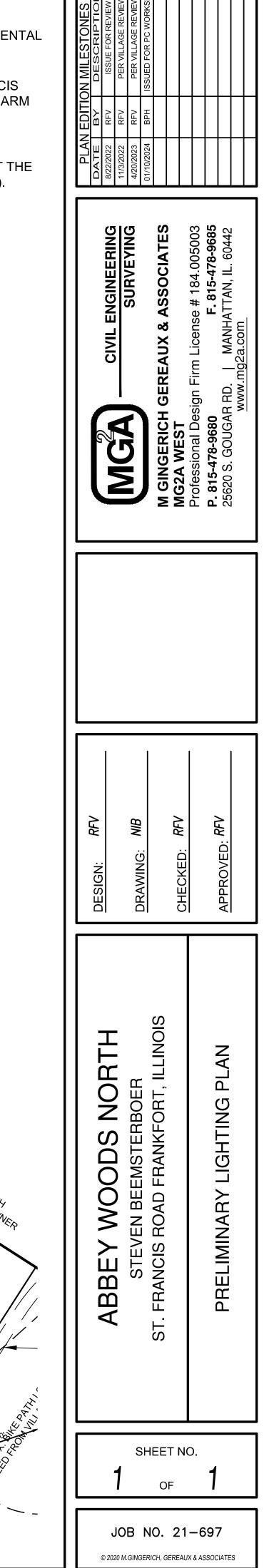




STREETLIGHTING NOTES:

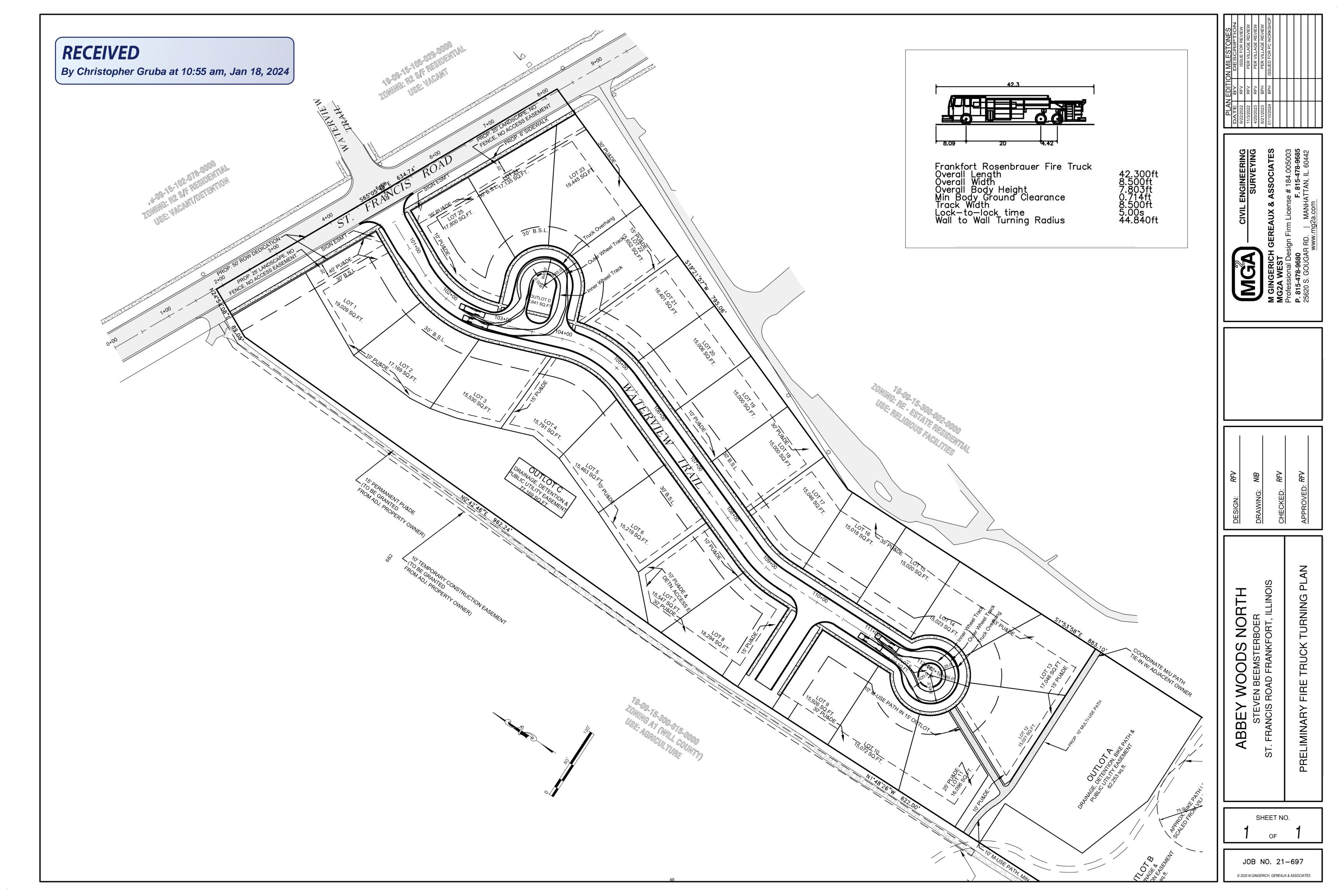
43, p,

- 1. THE EXISTING STREETLIGHT AT WATERVIEW TRAIL IS AN ORNAMENTAL LIGHT FIXTURE.
- 2. THE EXISTING STREETLIGHTS ON THE NORTH SIDE OF ST. FRANCIS ROAD NEAR THE EAST AND WEST LINES OF THE SITE ARE MAST ARM LIGHT FIXTURES.
- 3. THE LIGHT FIXTURES PROPOSED FOR THE SITE ARE VILLAGE OF FRANKFORT STANDARD ORNAMENTAL LIGHT FIXTURES, EXCEPT THE HEIGHT IS REDUCED TO 12' MAXIMUM (PER ZONING ORDINANCE).
- 4. NUMBER OF LIGHT FIXTURES PROPOSED IS FIVE (5)



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X X X X



Planning Commission / ZBA

FRANKFORT

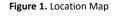
January 25, 2024

Project:	Lanigan Residence		
Meeting Type:	Workshop		
Request:	7 Variations related to new single-family home		
Location:	219 Pacific Street		
Applicant:	Linden Group Architects		
Prop. Owner:	William & Donna Lanigan		
Representative:	Grant Currier		
Staff Reviewer:	Christopher Gruba, Senior Planner		
Site Details			
Lot Size:	15,526 sq. ft.		
PIN(s):	19-09-28-223-023-0000		
Existing Zoning:	R-2		
Proposed Zoning:	N/A		

Proposed Zoning:N/ABuildings / Lots:1 house w/ attached garageProposed house:4,375 sq. ft. (gross living area)Proposed garage:894 sq. ft. (attached)

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Residential	Single-Family Detached	R-2
North	Residential	Single-Family Detached	R-2
South	Residential	Single-Family Detached	R-2
East	Residential	Single-Family Detached	R-2
West	Residential	Single-Family Attached	R-4





Project Summary

William and Donna Lanigan purchased the vacant corner property at 219 Pacific Street to construct a new singlefamily home with a gross living area of 4,375 square feet. There was a former house on this property that was demolished in July 2022 but unfortunately, no plan or survey exists of the former house. The proposed house would require 7 variations. A Plat of Subdivision will also be required, since the parcel was never platted as a lot (it is currently metes & bounds). The architect has described the style of the proposed house as "Midwestern Colonial with farmhouse and craftsman influence". The house would have a full basement. Even though the property has the address of 219 Pacific Street, the side adjacent to Maple Street is shorter which technically makes it the front property line. The seven (7) variations requested are:

- 1. 1st Floor Building Materials (masonry required, mostly non-masonry proposed)
- 2. Front Yard Setback (Maple Street)
- 3. Corner Side Yard Setback (Pacific Street Street)
- 4. Maximum Lot Coverage
- 5. Insufficient Lot Width (Zoning Ordinance)
- 6. Insufficient Lot Depth (Zoning Ordinance)
- 7. Insufficient Lot Width and Depth (Land Subdivision Regulations, Ord-921)

Attachments -

- 1. Location Map, prepared by staff (VOF GIS) scale 1:1,000
- 2. Downtown Boundary Map (excerpt from 2019 Comprehensive Plan) with subject property noted
- 3. Downtown Residential Guidelines (Quick Checklist excerpt)
- 4. Variation Findings of Fact, received 1.19.24
- 5. Survey, received December 28, 2023
- 6. Plat of Subdivision, received 1.19.24
- 7. Submittal prepared by Ideal Designs, received 12.28.23, containing the following:
 - a. Site Plan
 - b. Building Elevations
 - c. Floor Plans
- 8. 3D architectural rendering of house, received 1.19.24

Analysis —

Summary of Variation Requests

The seven variations requests can be summarized in the chart below:

Variation Request	Code Requirement	Proposed House/Property
1 st Floor Building Materials	Masonry	Cement Board, some masonry
Front Yard Setback (Maple)	30'	22.6'
Corner Side Yard Setback (Pacific)	30'	24.9'
Maximum Lot Coverage	20% maximum (3,105 SF)	28.9% (4,487 SF)
Lot Width	120' (corner lot)	101.28′
Lot Depth	150'	147.31′
Lot Width & Depth (Sub Ord-921) 120' & 150'		Same as above

Existing, Non-Conformities

The existing parcel has several existing non-conforming features:

- 1. The R-2 zone district requires a minimum lot width of 120' for a <u>corner</u> property. The lot width is measured along the front property line, which in this case is Maple Street. The existing width of the property is 101.28', requiring a variation.
- 2. The R-2 zone district requires a minimum lot depth of 150' for any property. The lot width is measured along the corner side yard property line, which in this case is Pacific Street. The existing width of the property is 147.31', requiring a variation.
- 3. The existing property does not have a 5' wide sidewalk along Pacific Street. As residential properties are developed, either new lots or existing lots, sidewalks are required to be installed within the right-of-way along street frontages. The Village typically requires that a sidewalk be installed, or a cash-in-lieu payment be made to the Village.

Variation requests, enumerated

First Floor Building Materials:

The Zoning Ordinance requires that all homes in the R-2 zone district be wrapped in masonry on all sides of the 1st floor. The code official may permit up to 15% non-masonry materials for architectural accent features but certain materials are prohibited outright (plywood, vinyl, steel, aluminum).

1. The proposed house mostly contains a mix of cement board siding, stone masonry and face brick.

- 2. There are existing one-story homes to both the east and north of the subject property and both of them are full masonry (brick).
- 3. There are a total of 23 houses that have frontage along Maple Street between Pacific Street and Kansas Street. Of the 14 homes on the east side of Maple Street, 6 of them are full masonry (43%). Of the 9 homes on the west side of Maple Street, 3 are full masonry (33%).
- 4. There are a total of 18 houses that have frontage along Pacific Street and are visible from Pacific Street between Maple Street and the dead-end. Of the 8 homes on the north side of Pacific Street, 4 are full masonry (50%). Of the 18 homes on the south side of Pacific Street, 8 are full masonry (44%).

Front Yard Setback (Maple Street):

The applicant is proposing a 22.6' front yard setback for the new house, whereas 30' is required. The front yard setback is measured from the front property line along Maple Street to the unenclosed front porch. Staff calculated the approximate setback for all homes along the <u>east</u> side of Maple Street, between Pacific Street and Nebraska Street (1,400' +/-). As per the chart below, the average setback of homes on the east side of Maple Street is approximately 28.3', which is further from the street than the requested 22.6' setback.

E. Side Maple Street (south to north)		
Address	Street	Approximate Setback
235	Maple	28
227	Maple	25
221	Maple	30
217	Maple	24
215	Maple	27
203	Maple	28
230	Utah	37
145	Maple	44
133	Maple	26
119	Maple	22
117	Maple	26
220	Nebraska	23
Average		28.3

Corner Side Yard Setback (Pacific Street):

The applicant is proposing a 24.9' corner side yard setback for the new house, whereas 30' is required. The corner side yard setback is measured from the front property line along Pacific Street to the attached garage. Staff calculated the approximate setback for all homes along the <u>north</u> side of Pacific Street, between Maple Street and where it dead-ends (1,400' +/-). As per the chart below, the average setback of homes on the north side of Pacific Street is approximately 21.6', which is closer to the street than the requested 24.9' setback.

N. Side Pacific Street (west to east)		
Address Street		Approximate Setback
256	Walnut	30
255	Walnut	26

131	Pacific	4
255	Hickory	12
252	Oak	22
255	Oak	13
21	Pacific	30
17	Pacific	36
Average		21.6

Maximum Lot Coverage:

The proposed lot coverage for the new house would be 28.9% (4,487 SF), whereas 20% (3,105 SF) is the maximum allowed.

- 1. There are no known surveys or site plans from the former house, which was demolished in 2022, making comparison impossible between the former house and the proposed house.
- 2. Although lot coverage is a separate issue from impervious lot coverage, storm sewers exist along both Maple Street and Pacific Street. Public Works will require that the basement sump pump be connected to the storm sewer. Other drainage connections, such as roof gutters, are not required by Public Works.

Minimum Lot Width:

The existing parcel is not a subdivided lot and will require a Plat of Subdivision. The resulting lot will be substandard for lot width for a *corner* lot in the R-2 zone district, requiring a variation. The Zoning Ordinance requires that a corner lot be at least 120' wide, whereas the proposed lot would be 101.28' wide.

Minimum Lot Depth:

The resulting lot will be substandard for lot depth for a lot in the R-2 zone district, requiring a variation. The Zoning Ordinance requires that a lot be at least 150' deep, whereas the proposed lot would be 147.31' deep.

Land Subdivision Regulations (Ord-921):

The Land Subdivision Regulations, section 9.5-1, notes that lot width and depth must conform to the Zoning Ordinance requirements. The proposed lot would be deficient in both width and depth as noted above, but a separate variation is required from Ord-921, similar to the new home variation project for 99 N. White Street.

Trees & Landscaping

There are currently 2 trees on the existing property and 4 trees within the rights-of-way of Pacific and Maple. The 2 trees on the property would be removed. The applicant is proposing to preserve all 4 parkway trees, as they are very mature and in fairly good condition.

Downtown Residential Design Guidelines (2019 Comp Plan) _____

The site is located within the boundary of downtown, as illustrated in the Downtown Residential Design Guidelines (see attached map).

The proposed site improvements employ some desirable elements as listed in the Downtown Frankfort Residential Design Guidelines of the 2019 Comprehensive Plan. There are also proposed elements that do not meet the guidelines. The "Quick Checklist" from these guidelines has been included with this report. The identifier in the parenthesis signifies the page number within the guidelines.

Meets Guidelines:

- The house has multiple-pane windows. (B-2)
- There is a well-defined entryway, with a covered front porch and columns. (B-2)
- The primary entryway faces the public street. (B-8)
- The proposed front setback would be about the same as those along Walnut Street. (B-4)
- A variety of materials are used to create texture. (B-11)
- The second floor is smaller than the first floor, softening the appearance (B-16)

Does not meet Guidelines:

- The garage is attached, not detached. (page B-1)
- There are no roof dormers. (page B-2)
- The driveway is not narrow. (B-2, B-13)
- The house may be oversized for the lot at 4,375 SF (total living area, not including the porch). The house to the north is 1,234 SF and the house to the east is 2,044 SF, both notably smaller. (B-2)
- The house would be notably larger than other homes along both Pacific and Maple streets. (B-4)
- The house does not adhere to a single, historical style from the late 1800s to early 1900s (Victorian, Colonial, Revival, Craftsman, American Foursquare). (B-5 through B-7)
- Predominantly non-masonry homes are preferable. (B-11)

Partial history of variations for downtown homes-

The subject property, as well as most of all single-family homes within the downtown, are zoned R-2, single-family residential. There are a few homes in the downtown zoned H-1, R-3 and R-4. The R-2 zone requirements are as follows:

Standard (R-2)	Requirement
Lot Size	15,000 square feet
Lot Width	100'
Lot Depth	150'
Front Yard Setback	30'
Side Yard Setback	At least 25' total, not less than 10' each side
Rear Yard Setback	30'
Building Height	35′
Lot Coverage Max (%)	20% (25% for a one-story house)
Impervious Coverage Max (%)	40%
Driveway setback	5' (4' side loaded)
Accessory structure setback	10' from side or rear lot lines

The following is a partial list of recent variations granted for homes in the downtown:

213 Kansas (Kirsch) (PC review 1.24.19) Lot Size: 6,183 square feet Lot Width: 61.83' Lot Depth: 100'

Variations granted:

- 1. Front yard setback: 13.4'
- 2. Side yard setbacks: of 10' and 10'
- 3. Rear yard setback: 15.1'
- 4. Lot coverage: 30%
- 5. Driveway setback: 0.5'
- 6. First floor building materials (masonry required)

215 Kansas (Gallagher) (PC review 8.14.08)

Lot Size: 4,950 square feet Lot Width: 50' Lot Depth: 100'

Variations granted:

- 1. Lot Coverage: 38.3% (20% max permitted)
- 2. First floor building materials for accessory structure (masonry required)
- 3. Detached garage side yard setback: 0' (10' required)

140 Walnut (McLean) (PC review 1.25.18) Lot Size: 6,275 square feet Lot Width: 50' Lot Depth: 125.5'

Variations granted:

- 1. Front yard setback: 15.67' (30' required)
- 2. Side yard setback: 5' (10' required)
- 3. Lot coverage: 33.5% (20% max permitted)
- 4. First floor building materials (masonry required)

200 W. Nebraska (Leonard) (PC review 11.8.12)

Lot Size: 7,000 square feet Lot Width: 70' Lot Depth: 100'

Variations granted:

- 1. Lot Coverage: 34% (20% max permitted)
- 2. Driveway setback: 0' (5' required)
- 3. Detached garage setback: 0' from south lot line, 4.1' from west lot line (10' required)
- 4. Detached garage height: 21' 4" (15' max permitted)

210 Walnut (Winters) (PC review 3.10.11)

Lot Size: 11,044 square feet Lot Width: 90' Lot Depth: 130'

Variations granted:

- 1. Front yard setback: 19' (30' required)
- 2. Building height: 36' (35' max permitted)
- 3. Lot Coverage: 29% (20% max permitted)
- 4. Driveway setback: 2' (5' required)
- 5. First floor building materials (masonry required)

6. Accessory structure setback: 2' to both north and west property lines (10' required)

23 W. Bowen Street (Gander) (PC review 8.22.13)

Lot Size: 8,270 square feet Lot Width: 52' Lot Depth: 172'

Variations granted:

- 1. Side yard setback: 6.4' (10' required)
- 2. Lot Coverage: 26% (20% max permitted)
- 3. Driveway setback: 2' (5' required)
- 4. First floor building materials (masonry required)
- 5. Accessory structure setback from side property line: 5' (10' required)

147 White Street (Lalley) (PC review 7.8.10)

Lot Size: 21,484 square feet Lot Width: 130' Lot Depth: 165'

Variation granted:

1. Detached garage setback 6.5' from side property line (10' required)

44 W. Bowen Street (Carroll/Watson) (PC review 8.12.10)

Lot Size: 16,175 square feet Lot Width: 100' Lot Depth: 160'

Variation granted:

1. Accessory structure (shed) 0' setback from rear property line (10' required)

140 Maple (Triezenberg) (PC review 9.8.16)

Lot Size: 6,250 square feet Lot Width: 50' Lot Depth: 130'

Variation granted:

1. Driveway setback 0' (5' required)

143 Kansas Street (Brown) (PC review 3.25.21)

Lot Size: 5,000 square feet Lot Width: 50' Lot Depth: 100'

Variations granted:

- 1. Front yard setback: 10' (30' required)
- 2. Side yard setback: 5' (13' required)

- 3. Detached garage setback from rear property line: 0.5' (10' required)
- 4. Detached garage setback from side property line: 2' (10 required)
- 5. Driveway setback: 2' (5' required)
- 6. Lot coverage: 41% (20% max permitted)
- 7. Impervious lot coverage: 46% (40% max permitted)
- 8. First floor building materials (masonry required)

213 Nebraska Street (Plantz) (PC review 10.27.22)

Lot Size: 6,687 square feet Lot Width: 67.5' Lot Depth: 99'

Variations granted:

- 1. Front Yard Setback: 12' 7" (30' required)
- 2. 1st Floor Building Materials (masonry required)
- 3. Detached Garage Setback: 5' 7" (10' required)
- 4. Rear Yard Coverage: 32% (30% maximum)
- 5. Lot Coverage: 32.8% (20% maximum)
- 6. Impervious Lot Coverage: 41.9% (40% maximum)
- 7. Garage Height: 20' 5 ½" (15' maximum)

108 Walnut Street (Sleeman) (PC review 9.14.23)

Lot Size: 6.376 square feet Lot Width: 50' Lot Depth: 130'

Variations granted:

- 1. Front Yard Setback: 21.8' (30' required)
- 2. Side Yard Setback (N): 8.5' (10' required)
- 3. Side Yard Setback (S): 4.9' (10' required)
- 4. Lot Coverage: 36.7% (20% max)
- 5. Impervious Lot Coverage: 45.2% (40% max)
- 6. 1st Floor Building Materials: Masonry required, wood composite proposed

Affirmative Motions (for future public hearing only)-

- 1. Recommend the Village Board approve the variation request for 1st floor building materials to allow non-masonry siding on the property located at 219 Pacific Street, in accordance with the reviewed plans, public testimony and findings of fact.
- 2. Recommend the Village Board approve the variation request to reduce the required front yard setback for the primary structure from 30' to 22.6', on the property located at 219 Pacific Street, in accordance with the reviewed plans, public testimony and findings of fact.
- 3. Recommend the Village Board approve the variation request to reduce the required corner side yard setback for the primary structure from 30' to 24.9', on the property located at 219 Pacific Street, in accordance with the reviewed plans, public testimony and findings of fact.
- 4. Recommend the Village Board approve the variation request to exceed the maximum lot coverage to allow 28.9% instead of 20%, on the property located at 219 Pacific Street, in accordance with the reviewed plans, public testimony and findings of fact.

- 5. Recommend the Village Board approve the variation request to reduce the minimum lot width to 101.28' instead of 120' for a corner property, on the property located at 219 Pacific Street, in accordance with the reviewed plans, public testimony and findings of fact.
- 6. Recommend the Village Board approve the variation request to reduce the minimum lot depth to 147.31' instead of 150', on the property located at 219 Pacific Street, in accordance with the reviewed plans, public testimony and findings of fact.
- 7. Recommend the Village Board approve the variation from Section 9.5-1 of the Village of Frankfort Land Subdivision Regulations to approve a Plat of Subdivision for a lot width and depth which do not conform to the requirements of the Village of Frankfort Zoning Ordinance, in accordance with the reviewed plans, public testimony and findings of fact.

219 Pacific Street (variation requests)



0 100 200 400 Feet



Downtown Frankfort Boundary Map

QUICK CHECKLIST

The set of questions listed below are framed in such a way that if your answer is "yes" - it is likely that the design is on the right track towards contributing to the type of character and quality Frankfort seeks to maintain. The photos shown to the right are examples of residences that fulfill these design ideals. If the answer is not clear, or is questionable, you should look for ways to improve upon this design element.

Note: All new residential construction, building additions, and development in general must comply with the Zoning Ordinance regulations including but not limited to setbacks, height, lot coverage, and building materials.

.....

 Does the building architecture complement and fit the character of surrounding structures - consider scale, setback, building height? 	☐ Yes ☐ No ☐ Maybe
2 Does the structure's architecture delineate and highlight the primary entrance?	□ Yes □ No □ Maybe
3. Are the proposed building materials consistent with the intended architectural style of the home and complementary to the materials utilized on the homes in the surrounding area?	□ Yes □ No □ Maybe
4. Are simplified roof forms provided that are consistent with both the intended architectural style and roof forms of homes in the surrounding area?	□ Yes □ No □ Maybe
5. Are there step-backs to the facade and / or architectural details that add depth and dimension, i.e. porches, bay windows?	☐ Yes ☐ No ☐ Maybe
6. Are there interesting architectural details and landscape treatments integrated on site that complement the residence?	□ Yes □ No □ Maybe
 Are the predominate facade colors / building materials of a natural color palette that is complementary to the homes in the surrounding area. 	□ Yes □ No □ Maybe







2023-0196 PROPOSED NEW RESIDENCE FOR WILLIAM AND DONNA LANIGAN LINDENGROUP ARCHITECTS 2024-01-09



VILLAGE OF FRANKFORT

Application for Plan Commission / Zoning Board of Appeals Review Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following "Standards of Variation." Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

This lot as platted is undersized lot by +- 14% compared to minimum lot dimensions per code. The property in question was purchased by William and Donna Lanigan for the sole purpose of designing and building their own single family residence, to be occupied by themselves. In order to meet their needs, reasonable minor variations

2. That the plight of the owner is due to unique circumstances; and

The Owner's desire to build a two story (4) Bedroom residence with unfinished Basement and attached Garage and hereby request reasonable minor variances to the adopted zoning code given the size of their corner lot as platted does not meet minimum Village size standards.

3. That the variation, if granted, will not alter the essential character of the locality.

The variations if granted will not alter the essential character of this residential block. The architectural design and home's scale endeavor to compliment the neighborhood and follow the design intent of the Village's Residential Design Guidelines.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional "Standards of Variation."

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

This lot as platted is undersized lot by +- 14% compared to minimum R-2 corner lot dimensions per code. The property was purchased for the sole purpose of designing and building a single family residence. In order to meet Owners' needs and position the structure on the site, reasonable minor variations to the adopted zoning code are hereby requested.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

The conditions upon which this petition for variations apply would not specifically be applicable to other properties within the same zoning classification as this is a unique corner lot with site and Owner specific design considerations.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

The Owner's have purchased this vacant property to build their dream home together and enjoy living in Frankfort for many years to come. The size and layout of their proposed home is based on their needs and their needs alone.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

The variances requested have not been created by any person or entity presently having an "interest" in the property.

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

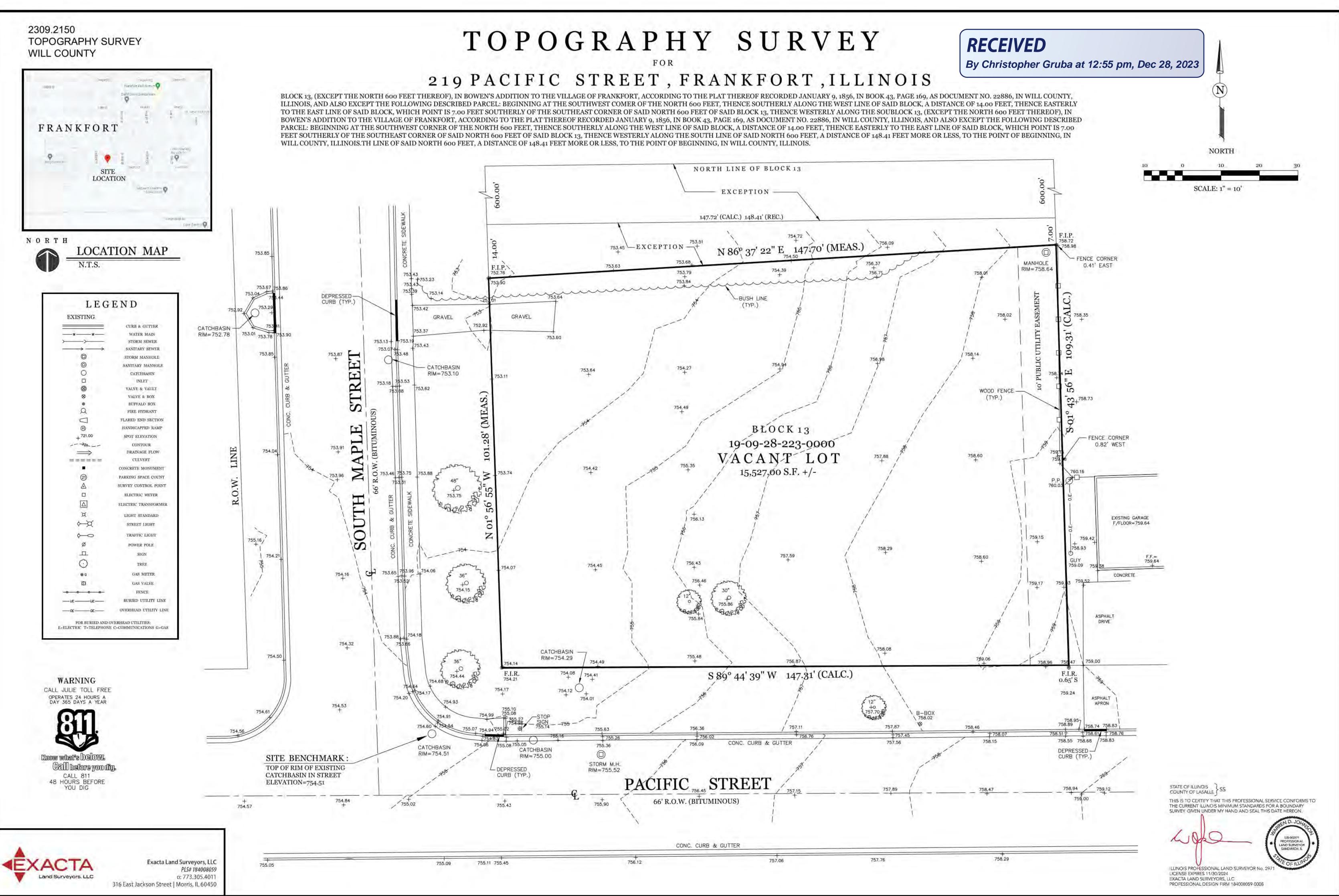
The variations if granted will not be detrimental to the public's welfare or unduly injurious to other property or improvements in the neighborhood. The design endeavors to compliment the neighborhood and follow the design intent of the Village's Residential Design Guidelines.

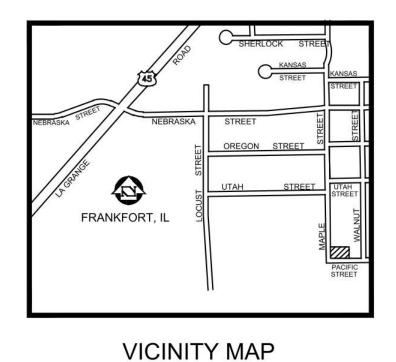
6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

The variations if granted will not alter the essential character of this residential block. The design intent is to compliment the neighborhood. As presented, this is a quality design with significant architectural detailing and design sensitivity.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

The variations if granted will not impair an adequate supply of air to adjacent property or increase the danger of fire, or endanger the public safety or substantially diminish or impair property values within the neighborhood.





219 PACIFIC STREET SUBDIVISION

RECEIVED

By Christopher Gruba at 9:23 am, Jan 19, 2024

Easement Provisions An easement for serving the subdivision and other property with electric and communications service is hereby reserved for and granted to

(NOT TO SCALE)

INDICATES SITE LOCATION

At&t Telephone Company Authorized C.A.J.V. Franchise

Commonwealth Edison Company

their respective successors and assigns, jointly and severally, to install, operate, maintain and remove, from time to time, facilities used in connection with underground transmission and distribution of electricity and sounds and signals in, under, across, along and upon the surface of the property shown within the dashed lines on the plat and marked "Easement", the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", and the property designated on the plat as "Common area or areas", and the property designated on the plat for streets and alleys, whether public or private, together with the right to install required service connections under the surface of each lot and common area or areas to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over grantees' facilities or in, upon or over the property within the dashed lines marked "Easement" without the prior written consent of grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have that meaning set forth for such term in Section 2(e) of "An act in relation to condominiums" (Illinois Revised Statutes, Ch. 30, par. 302(e), as amended from time to time.

The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole as an appurtenance to the separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by terms such as, "outlots" An" conserve not les nortes by "open verdate", and egranted, tacommon ground", "parking and common area". The terms "common area or areas" and "Common Elements" includes real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, Service Business District or structures such as a pool or retention pond, or mechanical equipment. Relocation of facilities will be done by Grantees at cost of Grantor/Lot Owner, upon written request

NI-Cor Gas Company

its respective successors and assigns ("NI-Cor") to install, operate, maintain, repair, replace and remove, facilities used in connection with the transmission and distribution of natural gas in, over, under, across, along and upon the surface of the property shown on this plat marked "Easement," "Common Area or Areas" and streets and alleys, whether public or private, and the property designated in the Declaration of Condominium and/or on this plat as "Common Elements," together with the right to install required service connections over or under the surface of each lot and Common Area or Areas to serve improvements thereon, or on adjacent lots, and Common Area or Areas, and to serve other property, adjacent or otherwise, and the right to remove obstructions, including but not limit to, trees, bushes, roots and fences, as may be reasonably required incident to the rights herein given, and the right to enter upon the property for all such purposes. Obstructions shall not be placed over NI-Cor's facilities or in, upon or over the property identified on this plat for utility purposes without the prior written consent of NI-Cor. After installation of any such facilities, the grade of the property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have that meaning set forth for such term in Section 605/2(e) of the "Condominium Property Act" (Illinois Compiled Statutes, Ch. 765, Sec. 605/2(e)) as amended from time to time.

The term "Common Area or Areas" is defined as a lot, parcel or area of real property, including real property surfaced with interior driveways and walkways, the beneficial use and enjoyment of which is reserved in whole as an appurtenance to the separately owned lots, parcels or areas within the property, even though such areas may be designated on this plat by other terms.

PUBLIC UTILITY AND DRAINAGE EASEMENTS ALL EASEMENTS INDICATED AS PUBLIC UTILITY AND DRAINAGE EASEMENTS ON THE PLAT ARE RESERVED FOR AND GRANTED TO THE VILLAGE OF FRANKFORT AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF FRANKFORT, INCLUDING, BUT NOT LIMITED TO, AMERITECH TELEPHONE COMPANY, NICOR GAS COMPANY, COMMONWEALTH EDISON ELECTRIC COMPANY, COMCAST TELEVISION COMPANY AND THEIR SUCCESSORS AND ASSIGNS, FOR PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE VARIOUS UTILITIES, TRANSMISSION AND DISTRIBUTION SYSTEMS INCLUDING STORM AND/OR SANITARY SEWERS, WATER MAINS, VALVE VAULTS, AND HYDRANTS TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE OF FRANKFORT, OVER, UPON, ALONG, UNDER, THROUGH SAID INDICATED EASEMENT, TOGETHER WITH RIGHT OF ACCESS ACROSS PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK; THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM, OR REMOVE TREES, SHRUBS, OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS AND OTHER UTILITIES. NO PERMANENT BUILDINGS, TREES OR OTHER STRUCTURES SHALL INTERFERE WITH THE AFORESAID USES OR RIGHTS. WHERE AN EASEMENT IS USED FOR BOTH SEWER AND/OR WATER MAINS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF FRANKFORT. THE PLACEMENT OF ANY LANDSCAPING NOT IN WITH THE APPROVED LANDSCAPE PLAN OR GRADING PLAN FOR A GIVEN PROPERTY, OR ANY ACCESSORY BUILDING OR STRUCTURE, SWIMMING POOL, FENCE OR OTHER IMPROVEMENT WHICH IN ANY WAY COULD CAUSE AN IMPEDIMENT TO THE OVERLAND FLOW OF STORM WATER WITHIN SAID DRAINAGE EASEMENT IS HEREBY PROHIBITED.

NOTE: (XXX.XX') MEASURED DISTANCE, (N X°XX'XX" E) MEASURED BEARING [XXX.XX'] RECORDED DISTANCE, [N X°XX'XX" E] RECORD BEARING

G+1 G n Tr — 33.00' —— 6

TAX MAPPING AND PLATTING CERTIFICATION

_ _ _ _ _ _ _ _

STATE OF ILLINOIS) COUNTY OF WILL) SS

HEREIN DESCRIBED IS LOCATED ON TAX MAP NO. _____ AND IDENTIFIED AS PERMANENT REAL ESTATE TAX INDEX NUMBER (PIN) 19-09-28-223-023-0000. DAY OF DATED THIS

DIRECTOR

COUNTY CLERK CERTIFICATION

STATE OF ILLINOIS) COUNTY OF WILL) SS

AGAINST ANY OF THE ESTATE DESCRIBED IN THE FOREGOING CERTIFICATES. GIVEN UNDER MY HAND AND SEAL AT

DAY OF

COUNTY CLERK

COUNTY RECORDER CERTIFICATION

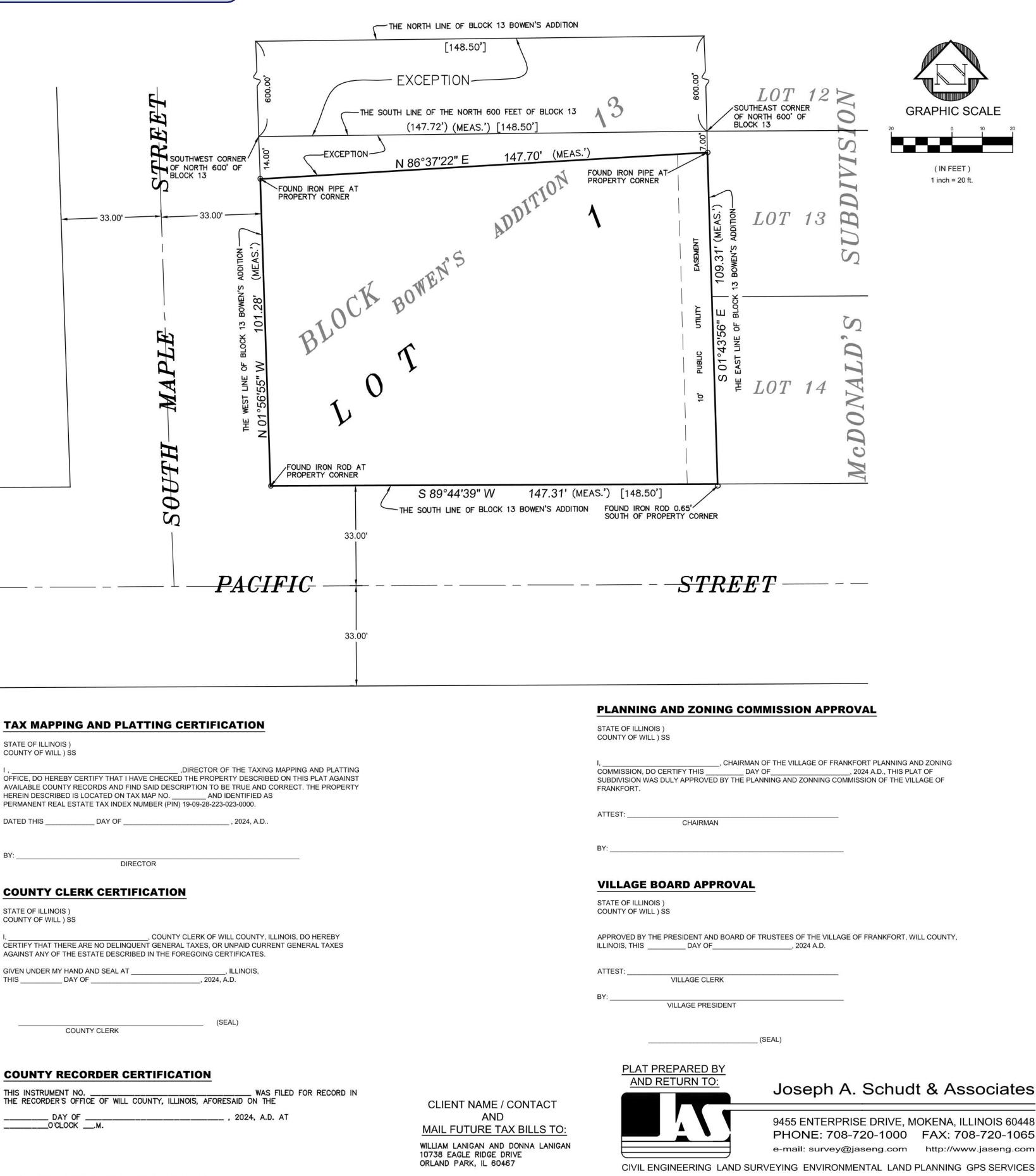
THIS INSTRUMENT NO. THE RECORDER'S OFFICE OF WILL COUNTY, ILLINOIS, AFORESAID ON THE

DAY OF ____ _OCLOCK __.M.

BEING A SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF FRANKFORT WILL COUNTY, ILLINOIS.

P.I.N. = 19-09-28-223-023-0000

CONTAINING 15,527 SQ.FT., 0. 356 ACRE



ILLINOIS PROFESSIONAL DESIGN FIRM 184-001172



OWNER'S CERTIFICATE

STATE OF COUNTY OF

THIS IS TO CERTIFY THAT WILLIAM LANIGAN AND DONNA LANIGAN , AS JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP, AS THE OWNERS OF THE LAND DESCRIBED IN THE FOREGOING CERTIFICATE HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED ON THE PLAT, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND THAT THE SAME ABOVE DESCRIBED PROPERTY IS LOCATED IN SCHOOL DISTRICTS: FRANKFORT SCHOOL DISTRICT 157C AND LINCOLN-WAY SCHOOL DISTRICT 210, AND JOLIET JUNIOR COLLEGE DISTRICT 525 AND THAT THEY HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED, AS THEIR OWN FREE AND VOLUNTARY ACT AND DEED.

DATED THIS _____ DAY OF _____ , A.D. 2024.

NOTARY CERTIFICATE

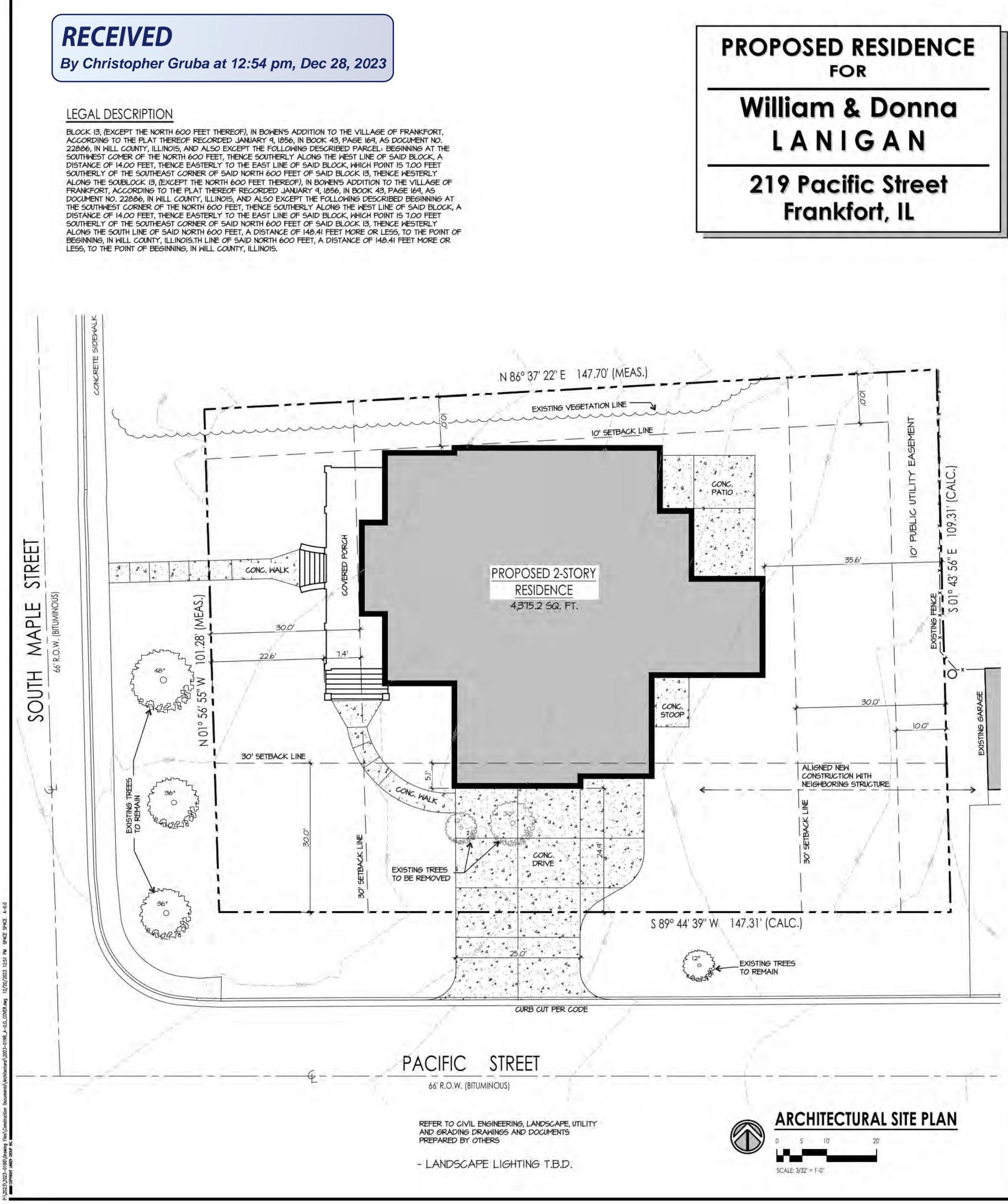
STATE OF COUNTY OF

NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, DO HEREBY CERTIFY THAT WILLIAM LANIGAN AND DONNA LANIGAN DID PERSONALLY APPEAR BEFORE ME THIS DAY AND ACKNOWLEDGE THAT THEY DID SIGN THE HEREON DRAWN PLAT AS THEIR FREE AND VOLUNTARY ACT.

GIVEN MY SIGNATURE AND SEAL

DATED THIS _____DAY OF___ , A.D. 2024

	NOTARY PUBLIC		
MY COMM	IISSION EXPIRES		
DRAIN	NAGE CERTIFICATE		
	FILLINOIS)		
	OF WILL) SS		
CHANGED SURFACE COLLECT SUBDIVID ACCORDA	BEST OF OUR KNOWLEDGE AND BELIEF D BY THE CONSTRUCTION OF SUCH SUBE WATER DRAINAGE WILL BE CHANGED, RI ION AND DIVERSION OF SUCH SURFACE WER HAS THE RIGHT TO USE, AND THA ANCE WITH GENERALLY ACCEPTED EN OD OF DAMAGE TO ADJOINING PROPE FION.	IVISION OR ANY PART THERI EASONABLE PROVISIONS HAV WATER INTO PUBLIC AREAS T SUCH SURFACE WATERS GINEERING PRACTICES SO	EOF, OR, THAT IF SUCH E BEEN MADE FOR THE OR DRAINS WHICH THE WILL BE PLANNED IN AS TO REDUCE THE
DATED T	HIS DAY OF	, A.D. 2024.	
			_
	REGISTERED PROFESSIONAL E	NGINEER	
2	OWNER OR ATTORNEY		_
<u>s</u>	URVEYORS CERTIFICATIO	<u>DN</u>	
ST	URVEYORS CERTIFICATIO	<u>DN</u>	
ST CC	TATE OF ILLINOIS) OUNTY OF WILL) SS		
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R-2 ZON	ING DISTRICT / I	LOT & BUILDI	N	
DESCRIPTION	REQUIRED	PROPOSED / A	4C	
MINIMUM LOT SIZE/AREA	15,000 5Q. FT.	15,526.8 SQ. 1		
MINIMUM CORNER LOT WIDTH	120.0'	WEST IOI.28' EAS		
MINIMUM LOT DEPTH	150.0	NORTH 147.70'	9	
CORNER LOT SIDE YARD	30.0'	24.9' (MATCH AD		
FRONT YARD SETBACK	30.0'	22.6'		
NORTH SIDE YARD SETBACK	10.0' 10			
REAR YARD SETBACK	30.0'	35.6'	35.6' 10.0'	
REAR YARD SETBACK: ACCESSORY	10.0'	10.0'		
MAXIMUM BUILDING HEIGHT	35.0'	35.0'		
MAX. LOT COVERAGE- I.E. STRUCTURES	20% (3,105.4 SQ. FT.)	4,486.9 SQ. FT.	1	
MAX. IMPERVIOUS AREA	40% (6,210.8 SQ. FT.)	6199.1 SQ. FT.		
MAX. REAR YARD COVERAGE	30% of 2,054.59 SF- R.Y. (616.4 SQ. FT.ALLOWABLE)	+- 160 50. FT.		
MIN. GROSS FLOOR AREA	2,600 5Q. FT.	4,375.2 50.	F	
MAIN LEVEL GROSS AREA		3,220.7 50.	. F	
UPPER LEVEL GROSS AREA		1,154.6 SQ.	FT	
ATTACHED GARAGE		894.1 SQ.	FT	
COVERED PORCH (FRONT)		372.1 50. F		
REAR PATIO AREAS		437.7 50.	FT	
FRONT WALK(S)		353.4 SQ.	FT	
DRIVEWAY (WITHIN PROPERTY LINE)	1	921.2 50.	FT.	

FRANKFORT ADOPTED CO

2012	International Residential Code
2014	Illinois State Plumbing Codes
2012	International Mechanical Code
2015	International Energy Conservation Code
2012	International Fire Code
2012	International Property Maintenance Code
2011	National Electrical Code
2012	International Fuel Gas Code
2018	Illinois Accessibility Code
VILLAG	E OF FRANKFORT LOCAL AMENDMENTS:

CHAPTER 150: BUILDING REGULATIONS

PER FRANKFORT ORDINANCE 179, CODE SECTION 150.25 & 201 RESIDENCE OVER 5,000 SQ. FT. SHALL BE PROTECTED THROU APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE I INTERNATIONAL FIRE CODE AS AMENDED.

RESIDENTIAL SPRINKLER SYSTEM SHALL BE "DESIGN - BUILD" GENERAL CONTRACTOR SHALL SUBMIT REQUIRED DRAWINGS / THE VILLAGE OF FRANKFORT FOR REVIEW AND APPROVAL B PROTECTION DISTRICT.

CIVIL TO COORDINATE WATER SERVICE AS REQUIRED

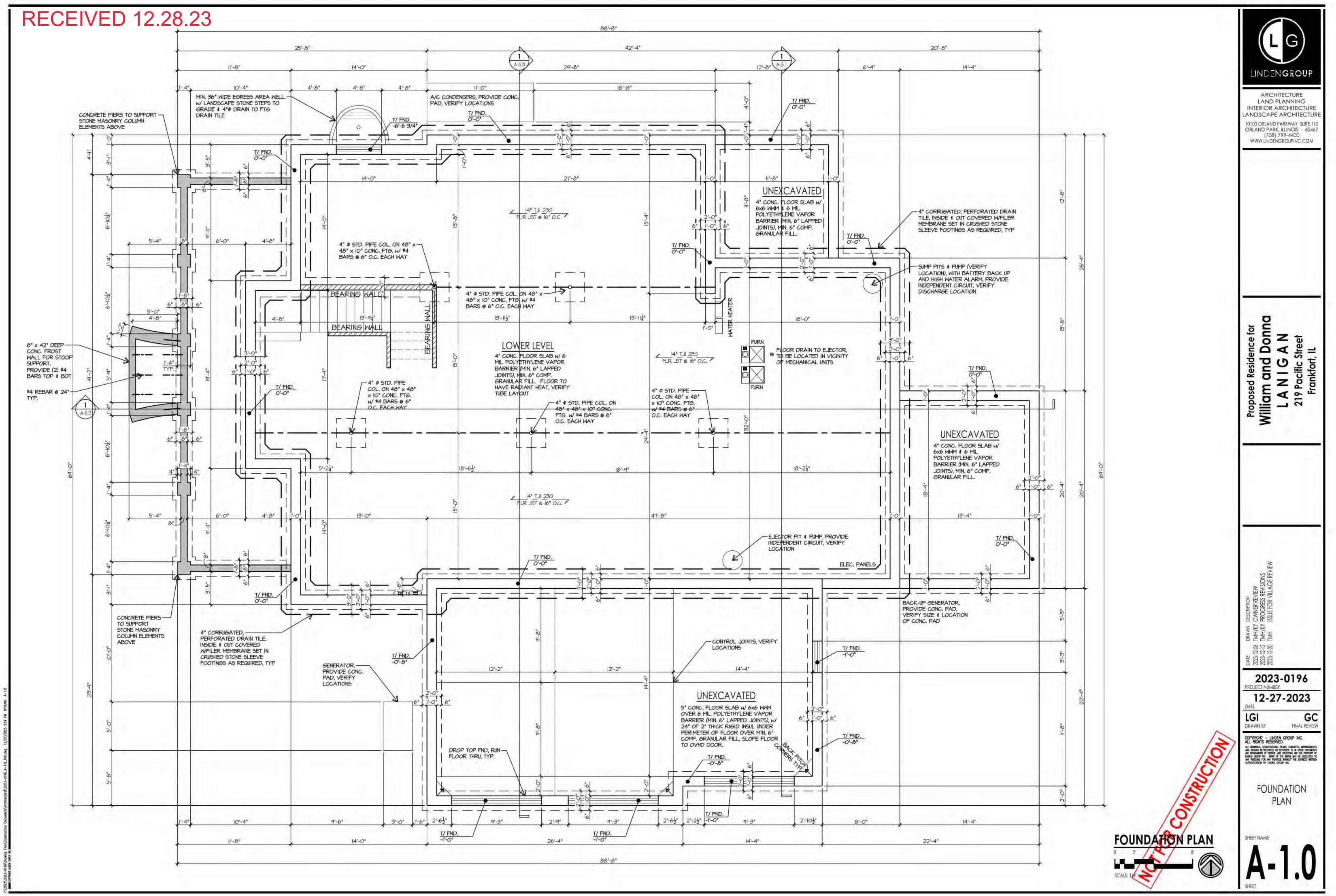
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roof snow Load	WIND DESIGN SPEED	FOUNDATION FROST DEPTH	SEISMI DESIGI CATEGO
34 lbs.	90 mph	42 INCHES	в

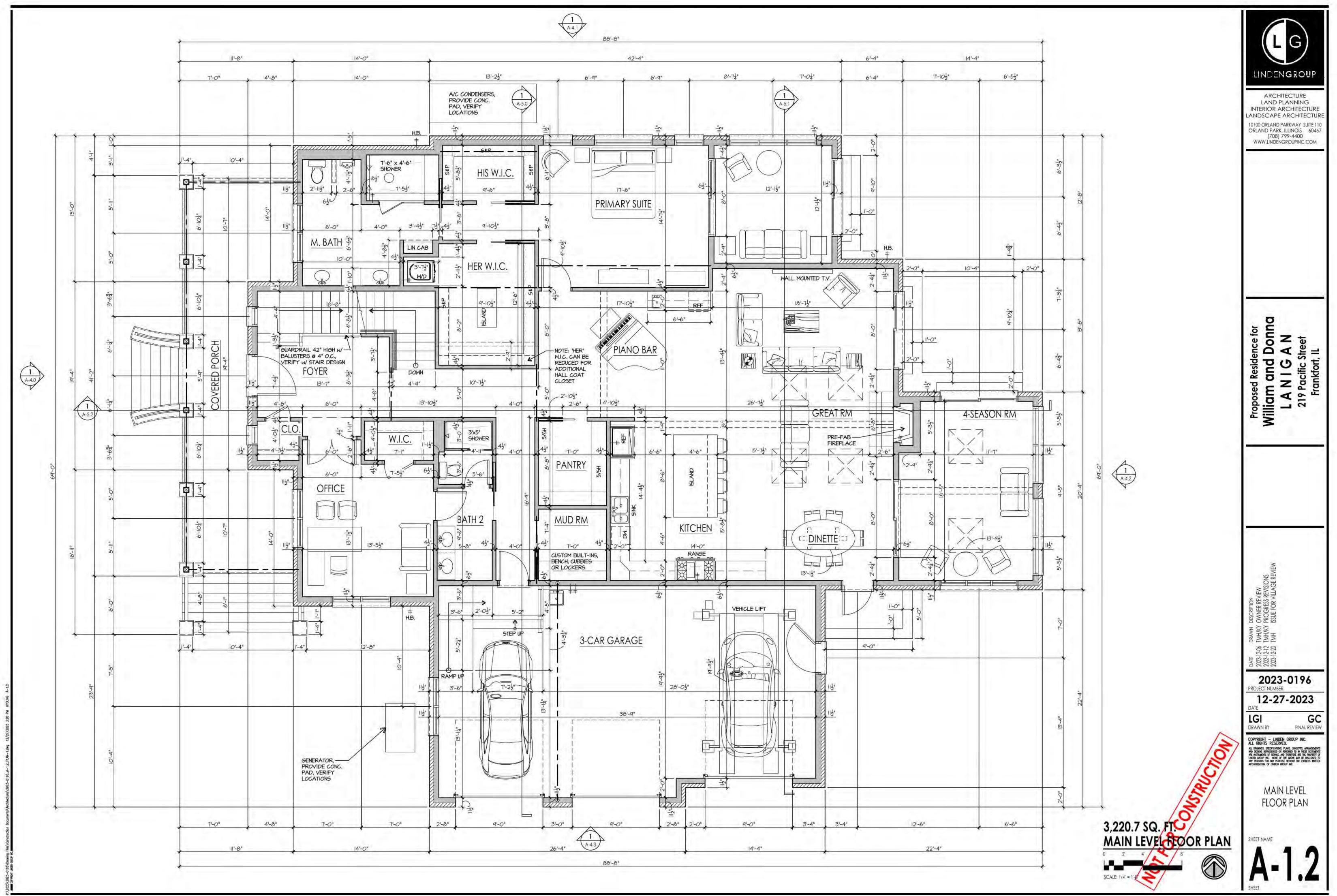
VICINITY MAP

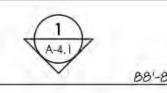


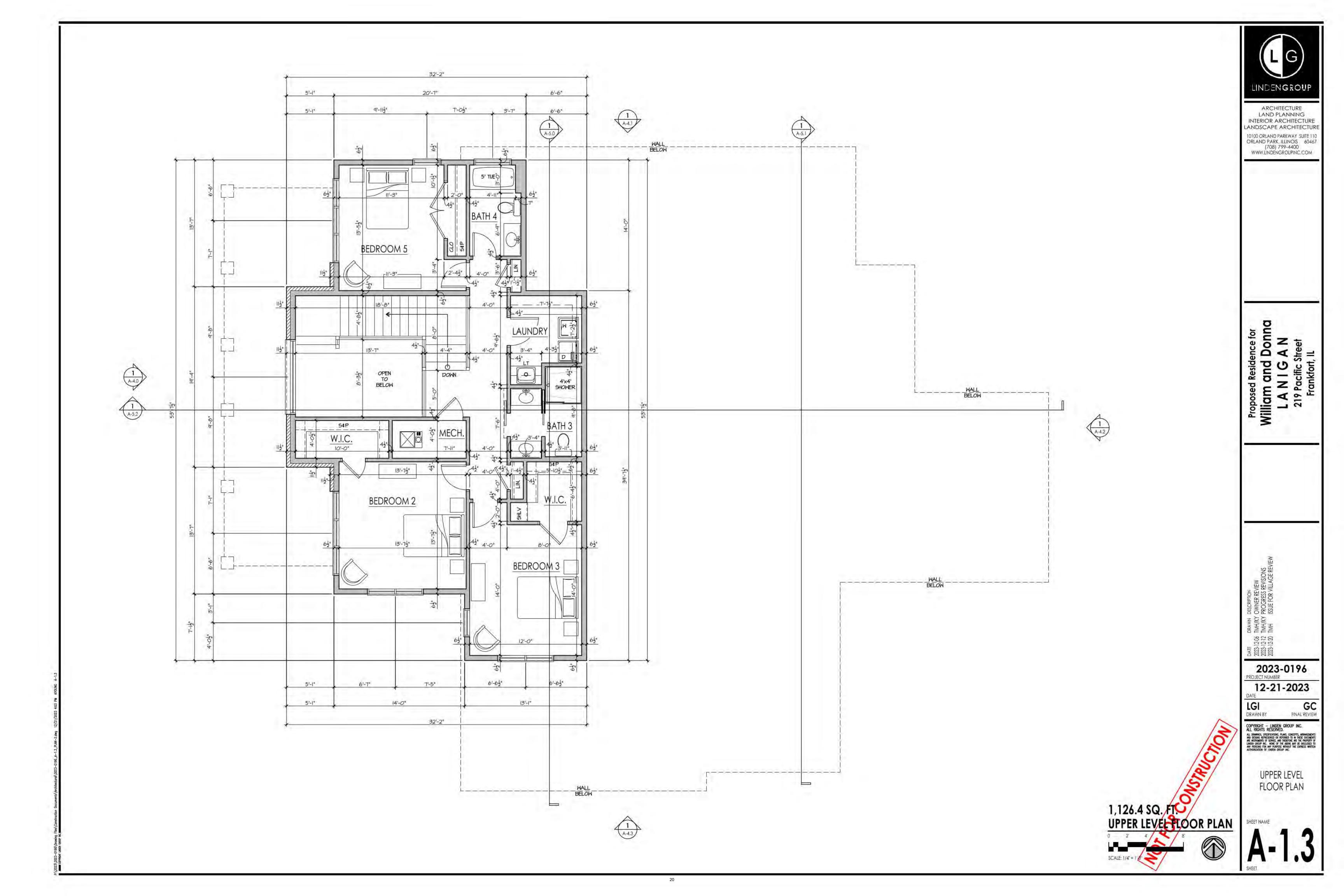
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CTUAL	VARIANCE / DIFFERENCE	A-0.0	COVERS		TECTURAL SITE	PLAN		(LG)
FT.	OVER 526.8 SF-04	A-1.0		ATION PLAN				
SOUTH	UNDER BY 18.12' UNDER BY 2.69'	A-1.1		LOWER LEVEL FLOOR FLAN				
JACENT)	5.1' OVER	A-1.2		EVEL FLOOR P				LINDENGROUP
	7,4' OVER (FRONT PORCH)	A-1.3		EVEL FLOOR				ARCHITECTURE LAND PLANNING
	ок ок	A-1:4	ROOFP					INTERIOR ARCHITECTURE
	оĸ	A-2.0		EVEL FRAMIN	GRIAN			10100 ORLAND PARKWAY SUITE 110 ORLAND PARK, ILLINOIS 60467 (708) 799-4400
	ок	A-21		EVEL FRAMIN				WWW,LINDENGROUPINC.COM
28.9 % 39.9 %	8.9 % OVER OK	A-2.2		RAMING PLA				
		A-4.0		EVATION				
7,80 %	ок	A-4.1		ELEVATION				
FT.	OK	A-4.2		EVATION				
FT.		A-4.3		ELEVATION				
т.		A-5.0		SECTIONS				
т. Г.		A-5.1		ECTIONS				
Τ.		A-5.2	DETAILS					
т.		A-8.0		LEVEL ELECTR	CALMAN			
т.		A-8.1		EVEL ELECTRIC				
		A-8.2		EVEL ELECTRI				Proposed Residence for William and Donna L A N I G A N 219 Pacific Street Frankfort, IL
DDES		A-9.0		CATIONS	CALLUN			Proposed Residence for filliam and Donn L A N I G A N 219 Pacific Street Frankfort, IL
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ORY	DECAY SLIGHT TO	TERMITE MODERATE TO	WEATHERING	245		INDEX	TEMP	DRAWN TMH/KY TMH/KY TMH
	MODERATE	HEAVY	SEVERE	0° F	REQUIRED			DATE 2023-12-06 2023-12-12 2023-12-20
		- UTILITH - LANDS - PERMI - LANDS - SECUR - LOW V - WATER REFER TO DOCUMENT I hereby certify, and belief, that under my super applicable build codes of Frankfort, IL	CONNECTIONS, CAPE LIGHTING TS CAPE DESIGN ITY SYSTEM OLTAGE SOFTENER CIVIL ENGINEER TS PREPARED BY these plans have vision and comply ng and zoning ordi	FEES, ETC.	UTILITY AND GRAD	SHES	AN CONTRACT	BOORDA-ODIP66 PROJECT NUMBER BL2-200-20023 DATE BLG GC DATE CONVENTION GC DATE GC DATE
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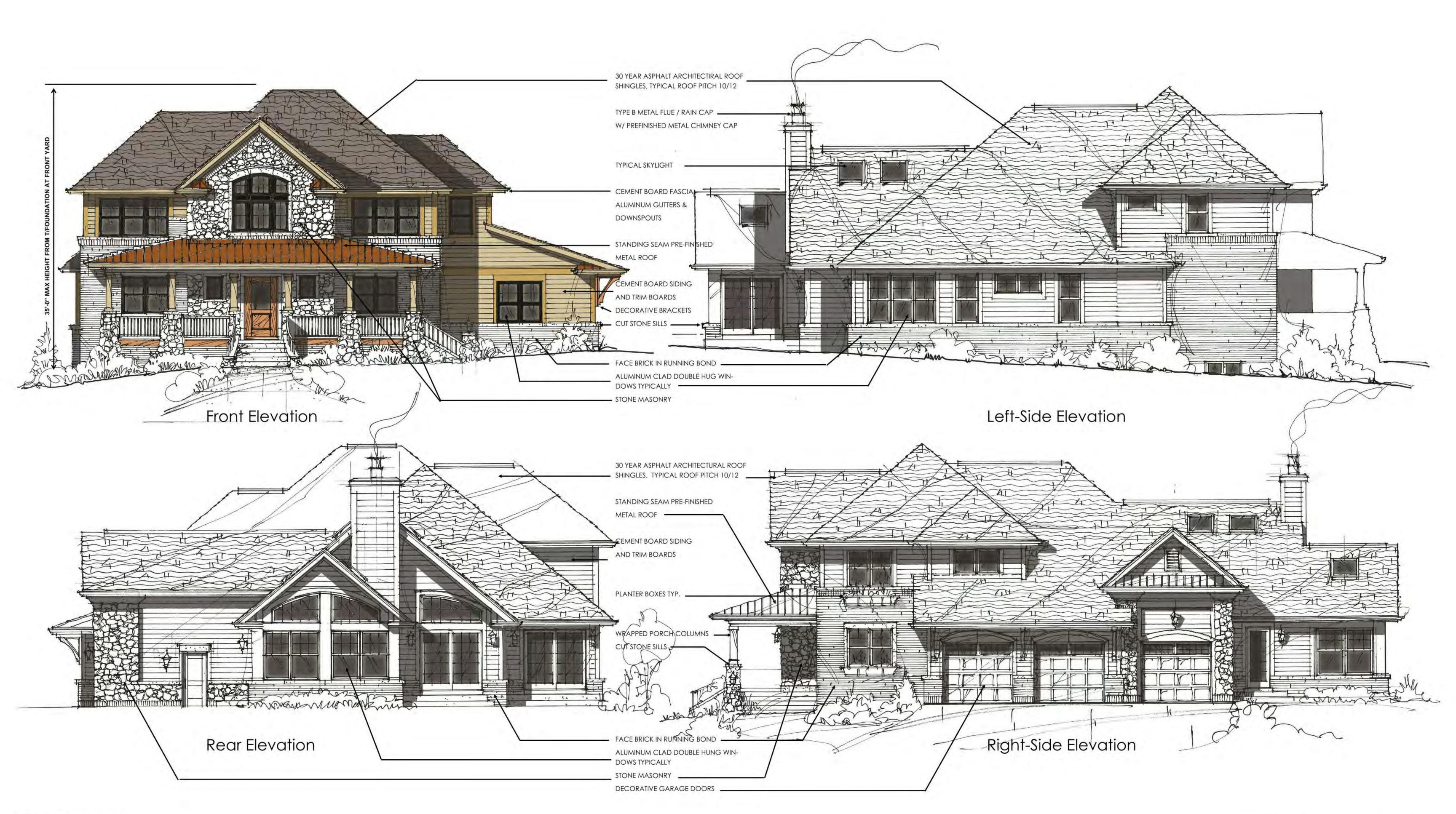
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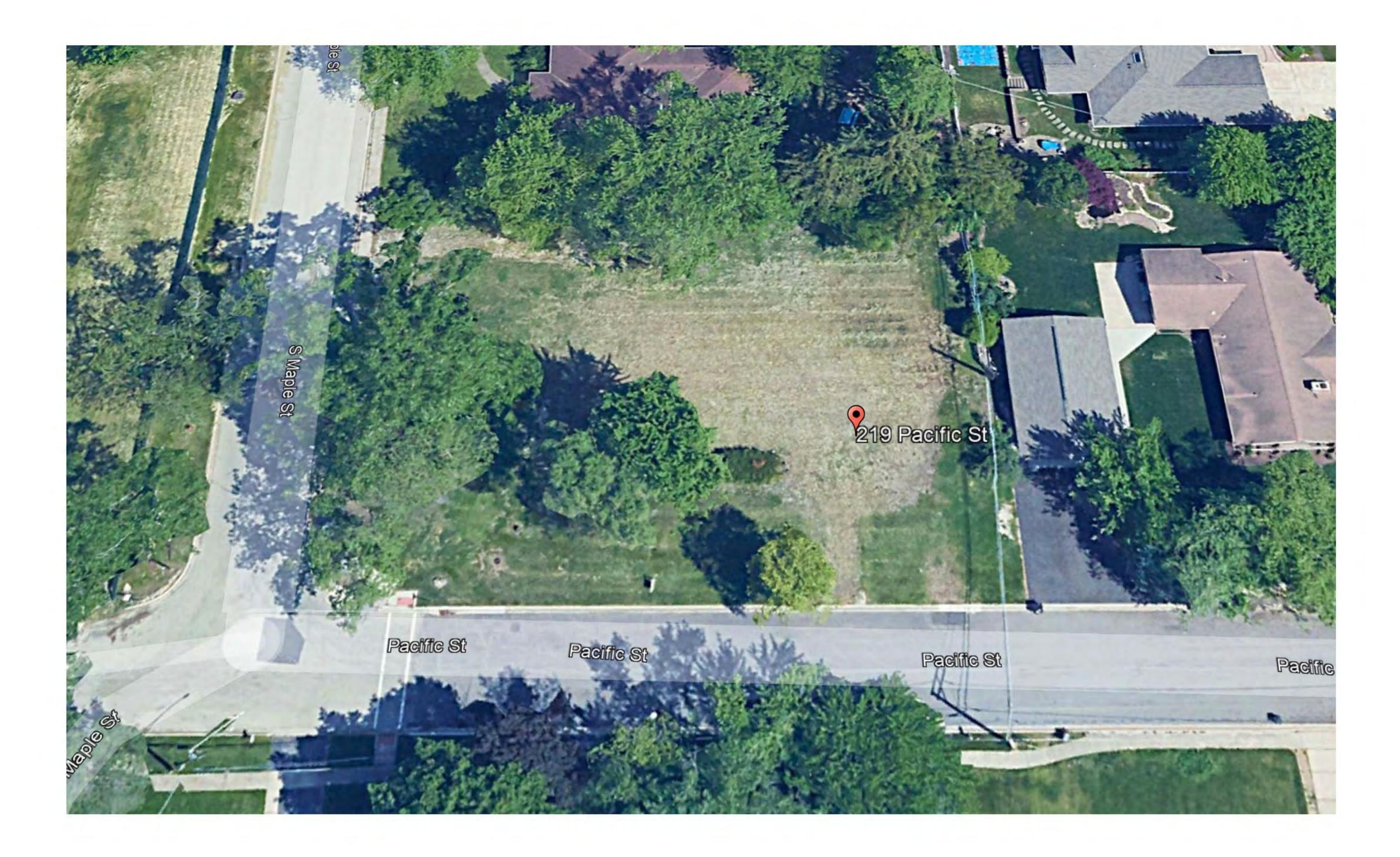
Concept Design - Frankfort Submittal 01

219 Pacific Street Frankfort, IL

William and Donna Lanigan Residence



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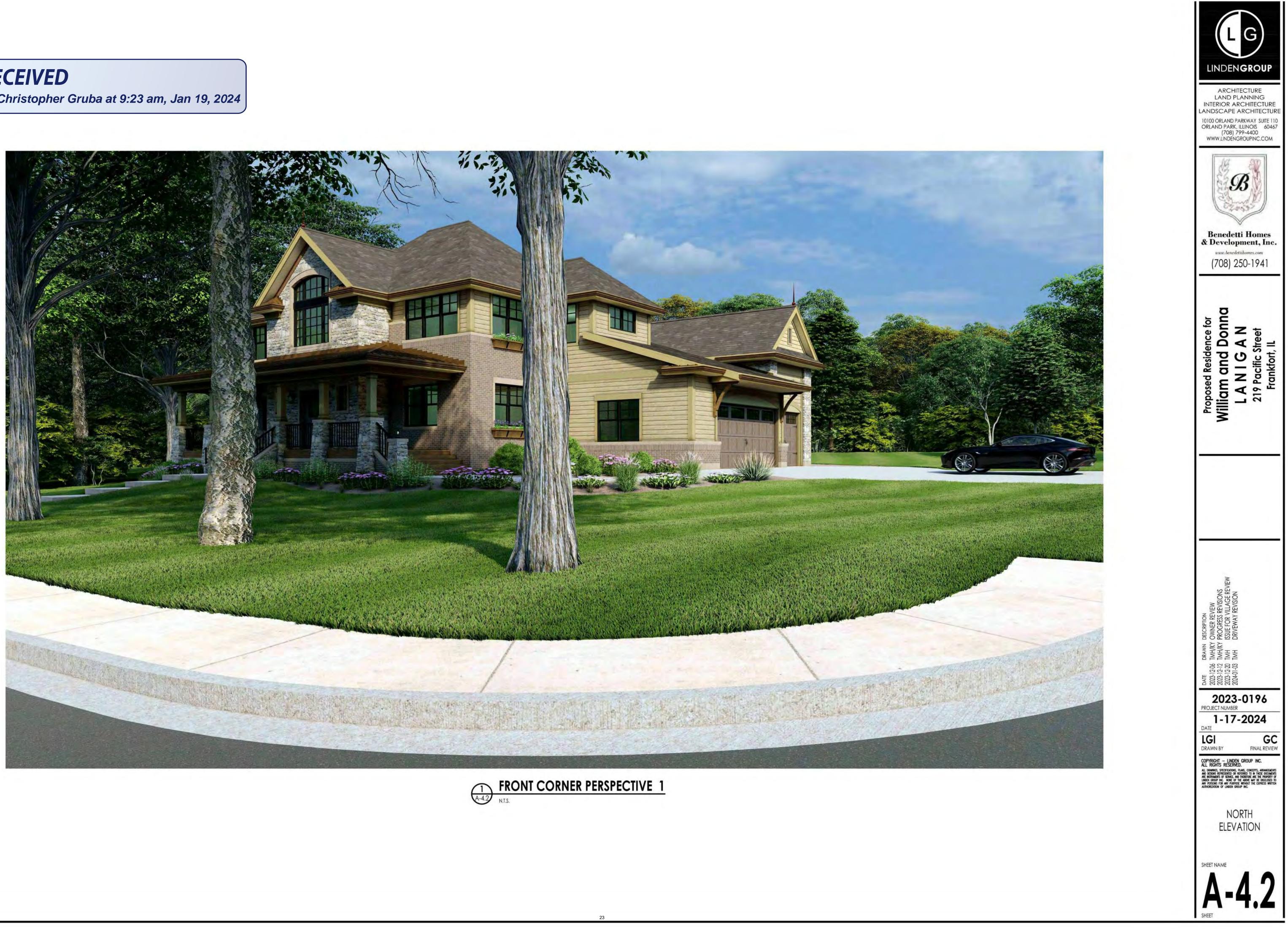
William and Donna Lanigan Residence

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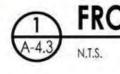
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G LINDEN GROUP ARCHITECTURE LAND PLANNING INTERIOR ARCHITECTURE LANDSCAPE ARCHITECTURE 10100 ORLAND PARKWAY SUITE 110 ORLAND PARK, ILLINOIS 60467 (708) 799-4400 WWW.LINDENGROUPINC.COM B 12453 Benedetti Homes & Development, Inc. (708) 250-1941 σ 9 đ О Frankfort, IL ◄ Ω Str 0 and LANIG 219 Pacific ANI 2 σ Proposed William GERE TMH/KY OV TMH/KY OV TMH/KY PR TMH ISS TMH DR DATE 2023-12-06 2023-12-12 2023-12-20 2024-01-03 2023-0196 PROJECT NUMBER 1-17-2024 DATE LGI DRAWN BY GC FINAL REVIEW COPYRIGHT - LINDEN GROUP INC. ALL RIGHTS RESERVED. AL DRWINKS, SFEDFRATIONS, PLANS, CONCEPTS, ARBANGEMENTS AND DESIGNS REPRESENTED OR REFERED TO IN THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE, AND THEREFORE ARE THE PROPERTY OF LINDEN GROUP INC. NOME OF THE ABOVE MAY BE DISCLOSED TO ANY PRESONS FOR ANY PLANDOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF LINDEN GROUP INC. NORTH ELEVATION SHEET NAME



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	Benedetti Homes
-	& Development, Inc. www.benedetiihomes.com (708) 250-1941
	Proposed Residence for Villiam and Donna L A N I G A N 219 Pacific Street Frankfort, IL
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