



**PLAN COMMISSION / ZONING BOARD OF APPEALS
AGENDA**

SPECIAL MEETING

**Thursday, September 7, 2023
6:30 P.M.**

**Frankfort Village Hall
432 W. Nebraska Street (Board Room)**

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Minutes of August 24, 2023**
- 4. Public Hearing: Sparks Drive-Through Coffee Shop – Hickory Creek Market Place Subdivision (Ref #106)**
Requests: Proposed Major Change to the Hickory Creek Market Place Planned Unit Development, including several Zoning Ordinance and Municipal Code exceptions, for a proposed new commercial building and four (4) Special Use Permits for a carry-out restaurant, drive-up service windows associated with a permitted use, outdoor seating associated with a permitted restaurant, and extended hours of operation (opening earlier than 7:00 a.m.) (PIN: 19-09-15-101-002-0000).
- 5. Public Hearing: 108 Walnut Street – Ruzich Residence (Ref#104)**
Requests: Six (6) zoning variations to construct a new single-family residence, pertaining to a reduced front yard setback, reduced side yard setbacks, increased lot coverage, increased impervious lot coverage and first-floor building materials (PIN: 19-09-28-211-006-0000).
- 6. Public Hearing: 7654 W. Lincoln Highway - Circle K Redevelopment (Ref #108)**
(CONTINUATION OF PUBLIC HEARING FROM 5/11/23, 6/22/23, 7/27/23 AND 8/10/23)
Request: Zoning Map Amendment (Rezoning) from the default ER Estate Residential District to the B-2 Community Business District (currently Will County C-2 Local Commercial District and C-3 General Commercial District) upon annexation; Special Use Permits for (1) an automobile fueling station, (2) accessory liquor sales, and (3) extended hours of operation (24 hours, 7 days per week); Requests for variations related to the front and rear building setbacks, depth of a landscape transition yard (along Route 30), quantity of plant materials in the landscape transition yard (along Route 30), signage, and cross-access; Preliminary and Final Plat of Subdivision to establish a lot of record (PINS: 19-09-24-101-029).
- 7. Workshop: 21420 S. Harlem Avenue – Thrift Home & Restoration (The Bridge Teen Center)**
Future Public Hearing Requests: (1) Special Use Permit for a Planned Unit Development including certain zoning exceptions; and (2) Special Use Permit for indoor retail sales of goods, between 5,000 and 10,000 square feet, in the B-4 Office District, and a Preliminary and Final Plat of Resubdivision (PIN 19-09-24-401-022-0000).
- 8. Public Comments**
- 9. Village Board & Committee Updates**
- 10. Other Business**
- 11. Attendance Confirmation (September 14, 2023)**

12. Adjournment

All applicants are advised to be present when the meeting is called to order. Agenda items are generally reviewed in the order shown on the agenda, however, the Plan Commission/Zoning Board of Appeals reserves the right to amend the agenda and consider items in a different order. The Commission may adjourn its meeting to another day prior to consideration of all agenda items. All persons interested in providing public testimony are encouraged to do so. If you wish to provide public testimony, please come forward to the podium and state your name for the record and address your comments and questions to the Chairperson.



MINUTES

MEETING OF VILLAGE OF FRANKFORT PLAN COMMISSION / ZONING BOARD OF APPEALS

August 24, 2023 –VILLAGE ADMINISTRATION BUILDING

432 W. NEBRASKA STREET

Call to Order: Chair Markunas called the meeting to order at 6:30 PM

Commissioners Present: Will Markunas (acting Chair), Dan Knieriem, Brian James, Jessica Jakubowski, David Hogan

Commissioners Absent: Nichole Schaeffer

Staff Present: Director of Community and Economic Development Mike Schwarz, Senior Planner Christopher Gruba, Planner Amanda Martinez

Elected Officials Present: None

A. Approval of the Minutes from July 27th, 2023

Motion (#1): To approve the minutes from July 27th, 2023, as presented.

Motion by: Jakubowski

Seconded by: Knieriem

Approved: (4-0-1) (James abstained)

B. Workshop: 700 Iron Gate – Paluri Residence Sports Court

Amanda Martinez presented the staff report. She noted that the applicant is requesting a 1,253 square foot sports court for pickleball in his backyard.

Applicant/Owner Mr. Paluri approached the podium. He said that he wanted to install a sports court instead of a swimming pool. He noted that his engineer, Brian Malone, prepared the plans and that all improvements will not exceed the 40% maximum impervious lot coverage. He said that he could install a fence, if needed. His landscape architect, Paul Cracco, was present as well. Mr. Cracco noted that if preferred, they could install giant green arborvitae around the court.

Amanda Martinez noted that when the sports court regulations were drafted by staff, there were six requests for sports courts between 2015-2016 and that the average size requested was 1,023 square feet. She stated that the size of a regulation pickleball court is 880 square

feet. Mr. Paluri stated that 880 square feet is regulation for two players, but a court for four players is larger.

Commissioner Hogan asked if the subdivision has any HOA requirements regarding a privacy fence, such as a cedar fence. Mr. Paluri said that the HOA gave him permission and that the HOA would accept any type of fence allowed by the Village.

Commissioner Jakubowski asked if the HOA has any regulations for fencing. Amanda Martinez said that according to the applicant the HOA did not have a problem with any proposed fencing. However, under the Zoning Ordinance, if the fence would be located less than 30' from either property line adjacent to a street, then it would need to be a decorative fence not to exceed 4' tall. A fence which is set back beyond 30' could be a privacy fence.

Commissioner Hogan said that he's heard that playing pickleball creates a lot of noise, with the specific paddles and balls that are used. Mr. Paluri said that his lot is a corner lot and that there is likely more noise generated from Colorado Avenue at times. He also said that his lot backs up to a common lot to the rear, used for stormwater detention. He also said that he thought that children in a swimming pool would create more noise. Commissioner Hogan said that trees (presumably evergreen) would help the most to dampen the sound.

Commissioner James asked staff to provide some background of the sports court text amendment. Chris Gruba said that sports courts were formally limited to 144 square feet. Since this seemed a little unreasonable, the size was increased to 650 square feet and that anything above that would require a Special Use Permit. He said that the 650 square foot figure was roughly based on being half the size of a basketball court. Commissioner James asked if most sports courts requests in the past were for basketball. Chris Gruba replied yes. Commissioner James asked if a basketball hoop could be installed next to a driveway without needing a Special Use Permit. Chris Gruba couldn't recall but could look into it.

Commissioner Jakubowski said that she had similar concerns regarding the size of the court and the noise for pickleball. There was some discussion regarding the property immediately to the north of 700 Iron Gate. Amanda Martinez said that she is currently working with an applicant that wants to combine Lots 2 and 3 in the Iron Gate Estates Subdivision to create a larger lot. Commissioner Jakubowski said that some kind of fencing would be helpful to contain pickleballs. She said that the placement of the sports court would be worse if the subject property were located further into the back of the residential subdivision.

Commissioner Hogan asked the applicant if a fence was needed to keep pickleballs from traveling into Colorado Avenue.

The applicant responded that due to the weight of the ball it most likely will not travel far out from the property, but if a fence was needed, he would have no problem putting a fence around the court.

Commissioner Knieriem said that he also had concerns about noise and that the subject property doesn't have much of a backyard compared to other lots in the subdivision. He said that the proposed pickleball court would take up most of the backyard and that the lot is not ideal for the sports court. Mr. Paluri said that the property is still under the 40% impervious lot coverage, and he wants to mow less grass.

Acting Chair Markunas said that the noise concern is valid. He was also concerned because the property to the north has not been developed yet for a house and that those future buyers would not have a voice in this decision. He noted that the proposed sports court may be too bulky. He said that since the property does abut Colorado Avenue, a fence would be a good idea. As proposed, he thought that it might be difficult to obtain final approval by the Board. He asked staff if a swimming pool in the same location would require a Variation or Special Use Permit. Chris Gruba said that a pool in the same location would not require either, as long as the 40% impervious lot coverage was not exceeded.

Commissioner Jakubowski stated that she is opposed to a wood cedar privacy fence and that a faux wrought iron fence would look nicer. Commissioner Hogan agreed and added that landscape screening should also be incorporated around the fence. Mr. Paluri said that he didn't want to install a privacy (opaque) fence anyway.

Acting Chair Markunas said that a 3D rendering would be helpful to visualize the sports court, when viewed from Colorado Avenue. He said he wasn't sure that a pool would generate more noise than pickleball, which has a unique sound. He asked the applicant if he had received clear direction from the Commission. Mr. Paluri replied yes.

C. Workshop: 9115 Roma Court – Roma Sports Building Addition and Outdoor Recreation

Christopher Gruba presented the staff report and noted an error on the agenda about the number of requests for this project. The agenda noted 5 Special Use Permits and 2 Variations, there are only 4 Special Use Permits and 2 Variations.

Acting Chair Markunas asked if the applicant would like to approach the podium and add additional information to the staff report that was presented.

The applicant, Steve Rotondi responded that he does not have anything to add to what was said in the staff report.

Acting Chair Markunas asked staff if the 3 Special Use Permits for outdoor recreation for Lots 17, 18, 19 are retroactive requests.

Christopher Gruba responded yes, a soccer field was put in place that straddles Lots 16, 17, and 18 and had not received Special Use Permits for outdoor recreation. The proposed Special Use Permit for these lots would retroactively approve the soccer field use.

The applicant added that he owns the 3 vacant lots that have nothing permanent on them and that the lots had received a previous approval. He stated that is why he bought the 3 additional lots across the street and would like to use them as additional soccer fields because it should not be an issue to put more fields next to existing fields.

Acting Chair Markunas asked staff if the applicant came in requesting approval for the 3 existing soccer fields.

Christopher Gruba responded that the applicant may have obtained building permits for an irrigation system for the soccer field north of the Roma Court facility.

Commissioner Knieriem asked if the four courts proposed inside the building addition would be used for volleyball. Mr. Rotondi replied yes. Commissioner Knieriem said that if each volleyball team has 12 people, that would result in an increase of 96 players that could be there on a weekend for volleyball tournaments. He stated there could be an overlapping of cars on tournament weekends.

The applicant responded that there are around 5 or 6 weekends that hold substantial events. He stated that on tournament weekends, approximately 50 cars park on the street, the adjacent company to the west allows his customers to park in their parking lot, and there are bus shuttle services provided.

Commissioner Knieriem stated he has a concern with children running in the streets due to the lack of sidewalks.

Commissioner Knieriem asked if the applicant understands that there is a risk of liability by using the lots north of Roma Court as a soccer field even though they were not given formal approval for the use.

The applicant stated that he owns the land, he only put portable goals on the lots, and he has the players sign waivers. He added that residents enjoy going to the facility and there are frequent collaborations with the park district, so he wants to come into compliance to make it a great place.

Acting Chair Markunas added that he appreciated what the facility does for the community but what Commissioner Knieriem means is that Lots 16-18 need get into compliance to ensure safety.

The applicant stated if he was allowed to put fencing around the entire property, he would do so.

Acting Chair Markunas asked if extending parking to the east to add parking spaces to the parking lot could be an option to alleviate the parking concern.

The applicant responded that he would consider that option.

Commissioner James stated that there are comparable volleyball facilities that can be helpful for staff's analysis. He added that he would like to see any agreements the applicant has with others for parking.

Commissioner Hogan stated that he is a user of the facility and observed that there are many people who just drop their kid off instead of staying so there is a concern for the traffic flow to get in and out. He added that parents spend more time in northern Illinois because there are not many facilities around here, so he would like to help find a solution.

Commissioner Knieriem asked staff what business are permitted and not permitted on the property since it is in an industrial setting.

Christopher Gruba responded that the soccer fields on Lot 1 had received a Special Use Permit for outdoor recreation but that Lots 16-18 had not received such approval. He stated that the Special Use Permits for Lots 16-18 were discussed by the Plan Commission in 2018 and 2019.

Commissioner James asked if the request in 2019 received a vote.

Christopher Gruba responded that the public hearing request never received a vote and was tabled indefinitely.

The applicant's engineer, Robin Ersfeldt, approached the podium and explained that they chose to provide an exit in the middle of the parking lot because it would avoid users having to deal with traffic in the parking lot.

Commissioner Knieriem asked what the triangular empty lot is for on the site plan.

The applicant stated that it would be used for a 5-foot by 5-foot field for smaller children.

There was discussion about the applicant possibly losing a field to accommodate the Commissioners' suggestion to expand the parking lot to the east.

Commissioner Knieriem asked what fields exist indoors.

The applicant responded that there is a 31,000 square foot turf field that sometimes gets separated into two smaller fields. He stated that the turf field can also be used for baseball and batting cages and that the upstairs has basketball courts and volleyball courts.

Christopher Gruba asked the applicant if he had a desire to combine all of the lots.

The applicant responded that yes, he would like to combine the lots.

There was discussion about ways to prevent balls from running off the property.

Commissioner James requested renderings to help visualize the project especially to prove why it could fit in an industrial setting.

Commissioner Jakubowski stated there is a need to implement fencing around the property since there have been accidents that have happened in Frankfort where a car goes over the curb.

The applicant asked if he is only allowed to put portable material in the front yard.

Commissioner Jakubowski responded it should be a permanent feature even if not necessarily a fence.

Commissioner James asked what the height of the building and the building addition was and echoed the need for a rendering to see how the building would look from different angles.

Robin Ersfeldt added that by expanding the proposed parking lot, the applicant would be alleviating the parking concern that Commissioners have since the parking lot would be able to accommodate the cars that currently park on the street.

Christopher Gruba asked the applicant to show the off-street parking spaces on Roma Court on the site plan the next time it is submitted.

Robin Ersfeldt responded that she will mark the on-street parking spaces.

Acting Chair Markunas asked the applicant if he had received adequate direction.

Steve Rotondi replied yes.

D. Workshop: 655 Center Road – King Heating & Cooling

Amanda Martinez presented the staff report. The applicant is proposing a building addition to the existing building.

Grant Currier, the project architect and President of Linden Group, approached the podium. He said that there was a typo on the application and the site plan did not have the north setback labeled. The setback from the existing (and proposed) building to the north property line is 5.7', not 10.5'. He said that the building was constructed in 1971. He said the Village's Zoning Ordinance was revised in 2001, at which point the existing building became non-conforming in several aspects. He said that as a corner lot, it's difficult to meet the required 50' setback from both streets. He noted that the rooftop mechanical units would be screened. He said that the buildings on Ontario Street have varying styles and materials that include CMU, brick, board & batten, metal, etc. He said that he is proposing brick on the side of the addition facing Ontario Street, but that the east and north sides of the building would be split-face CMU block. The brick would be slightly wrapped around

the side of the east elevation. He said that the existing building to the north is entirely metal-sided and by that comparison, the proposed split-face CMU block is higher quality.

Acting Chair Markunas asked for comments regarding the existing conditions and proposed variations. He noted that the applicant was requesting a variation to reduce the required interior side yard (north yard) from 20' to 5.7' to match the existing building's setback.

Commissioner Knieriem asked if the owner of the property also owns the adjacent properties to the north and east. Staff responded that the owner owns the property to the east but not to the north. He was concerned that east side of the building addition would not look good if viewed from the property to the east. He asked if there would be 21' of separation between the proposed addition and the building to the east. Mr. Currier replied yes.

Acting Chair Markunas said that he didn't have any concerns with the north interior side yard setback since it follows the existing building. He then asked for comments regarding the rear setback to the east property line.

Commissioner Knieriem asked what the existing driveway would be used for on the east side of the building. Amanda Martinez noted that this driveway is existing asphalt that would need to be removed to provide the required 5' parking area setback from the rear property line. The driveway exists today and is considered existing, non-conforming. However, since the site is being altered, a variation would be required to keep the existing asphalt in place without providing a 5' greenspace buffer. Mike Schwarz added that both the subject property and the property to the east are non-compliant regarding the driveway setback. If the driveway on the east side of the subject property was removed, the driveway on the property to the east would likely become unusable since it's approximately 5' wide. Acting Chair Markunas said that the applicant should follow staff's suggestion and remove the 5' asphalt strip with grass, since this would remove one of the variation requests. Mr. Currier noted that grass might not grow in this location but could look into other plantings.

Acting Chair Markunas asked the Commission for comments regarding the utilization of split-face CMU block on the east and north elevations.

Commissioner Hogan asked for the length of both the north and east façades. Mr. Currier said that the north side of the building addition would be 46'-8" and the east side would be 60'-8". Commissioner Hogan said that additions of a smaller area (length) should be as aesthetically pleasing as possible. Commissioner James said that the proposed split-face CMU block is less appealing than brick.

Commissioner Jakubowski asked if the split-face CMU block would be painted. Mr. Currier said that it would be painted white to match the trim on the building. She thought that the building addition should look more cohesive with the existing building.

Commissioner Knieriem agreed with Commissioners James and Jakubowski, in that the addition should be 100% brick. He said that changes to buildings in existing, older, neglected industrial parks should be made as nice as possible to stop the industrial park from getting worse. A thoughtful, quality building addition has the potential to stop the regression.

Commissioner Jakubowski asked if the split-face CMU could be painted a color to match the brick, instead of white.

Acting Chair Markunas said that the CMU block is inappropriate for the addition in any color. He said that it's a corner lot on a property that is visible as you approach the downtown and that building additions should look uniform with the existing building.

Commissioner Knieriem asked about the existing fence in the front of the building facing Center Road. He questioned whether this fence ever obtained formal approval from the Village. He said that since the fence is close to Center Road and detracts from the appeal of the building that it should be removed. Amanda Martinez said that she'd investigate whether the fence had received formal approval. Commissioner Knieriem said that the entire property seems to be missing landscaping.

Commissioner James said that this corner lot needed increased appeal.

Acting Chair Markunas said that what they are proposing looks much better than what exists today and added that the landscape requirements should be adhered to.

The Commission asked about a Photometric Plan. Mr. Currier said that one will be provided for the next meeting. He said that only wall pack lights were being proposed.

Commissioner Knieriem asked about the existing outdoor utility vehicle parking and if the vehicles would be parked overnight. Mr. Currier said that the building addition would allow parking of some vehicles inside the building. Commissioner Knieriem asked staff if there's a restriction on overnight parking. Amanda Martinez said that overnight parking of vehicles is considered outdoor storage per the Zoning Ordinance and would require a Special Use Permit. Commissioner Knieriem said that it might be warranted to add a condition of approval that no vehicles be parked overnight.

Commissioner Knieriem asked if there was a plan to address drainage and noted that when buildings are spaced close together, water can pool and cause problems. He said that the gutters should be tied into the storm sewers and not allowed to sheet flow over the parking lot and onto adjacent lots. Mr. Currier said that they had not engaged a civil engineer yet but that they would take this under consideration.

Commissioner Janes asked if 7 parking spaces were proposed after the building addition. Mr. Currier said that there are currently 12 which would be reduced to 7. Amanda Martinez

noted that on-street parking is permitted on Ontario Street. Commissioner James said that if a variation was not being requested for parking, then he didn't object to the loss of parking spaces.

There was some discussion regarding the existing, smaller rolling dumpster on the east side of the building. Amanda Martinez noted that by Code, it should be contained within an enclosure. Mr. Currier said that he'd find out if the dumpster would be moved indoors or whether it would be housed in an enclosure. Commissioner Knieriem asked what all the items were that are located outside of the building facing Center Road. Mr. Currier replied that it was a collection of junk.

Acting Chair Markunas asked Mr. Currier if he had received adequate direction. He replied yes.

E. Public Comments

There were no public comments.

F. Village Board & Committee Updates

Mike Schwarz noted that the annual Illinois APA conference is approaching, and Plan Commissioner training is being offered on September 13th. If any commissioners wish to attend, he asked to be notified by tomorrow.

Commissioner Hogan noted the less than attractive appearance of some of the industrial properties along Ontario Street. Also, he asked what is being done about the appearance of the Butera Center.

Mike mentioned that staff is aware of the concerns regarding property maintenance. Village staff has been in communication with the owner of the Butera Center to address property maintenance issues.

Commissioner Knieriem asked if the Mech House at 11 N. White Street is being torn down.

Mike responded that the Village Board recently authorized the demolition of the Village-owned house to accommodate a potential future municipal parking lot. The Village recently advertised a public viewing of the property for any members of the public to bid on salvageable construction materials such as millwork, doors, and stained-glass windows. Information is available on the Village web site.

Commissioner Knieriem asked about the status of the proposed Olde Frankfort Mall Building Addition and the proposed multi-tenant retail building at 7 N. White Street.

Chris Gruba responded that the applicant is still looking into potential options for off-site parking to serve the residential units within the proposed addition. There is no confirmed

date for when the zoning and plat requests associated with the project will be scheduled for Village Board consideration.

Mike Schwarz mentioned that the building permit has not been issued for the 7 N. White Street project which was previously approved by the Village Board. The project architect submitted building elevations which include some adjustments to the window locations as well as one rear door.

G. Other Business

Amanda Martinez noted that staff approved a Minor Change to the PUD for the property located at 32 W. Nebraska to modify the previously approved metal staircase. No action is required by the PC/ZBA.

H. Attendance Confirmation (September 7th, 2023)

Chair Markunas said that there will be a special PC/ZBA meeting held on September 7th and to let staff know if they cannot attend. Acting Chair Markunas and Commissioner Knieriem said that they will not be able to attend. Chris Gruba said that he had received confirmation from 4 other commissioners which is the minimum needed for a quorum.

Motion (#2): Adjournment 9:10 P.M.

Motion by: Jakubowski

Seconded by: Knieriem

The motion was unanimously approved by voice vote (5-0).

Approved September 7th, 2023

As Presented _____ As Amended _____

_____/s/ Nichie Schaeffer, Chair

_____/s/ Secretary

Project: Sparks Coffee Co. – New Construction
Meeting Type: Public Hearing
Request: Major change to PUD, and four additional Special Use Permits
Location: Hickory Creek Marketplace, Outlot 1E
Applicant: Aliana Winkle
Prop. Owner: Winkle R E Properties
Representative: Applicant
Staff report by: Christopher Gruba, Senior Planner

Site Details

Lot Size: 1.12 acres
PIN: 19-09-15-101-002-0000
Existing Zoning: B-3, General Business (with PUD overlay)
Proposed Zoning: N/A
Buildings: 1
Total Sq. Ft.: 945 sq. ft.

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Vacant	General Comm.	B-3 PUD
North	Commercial	General Comm.	B-3 PUD
South	Commercial	General Comm.	B-3 PUD
East	Commercial	General Comm.	B-3 PUD
West	Commercial	N/A	C-2 (Mokena)

Figure 1. Location Map



Project Summary

The applicant, Aliana Winkle, is seeking to develop the existing vacant outlot immediately to the west of Emagine Theater for use as a drive-through coffee shop (now known as Sparks Coffee). Customers would have the option of using the drive-through windows and taking coffee to-go or parking at the site and ordering from the walk-up window. This property is the last undeveloped outlot in the Hickory Creek Marketplace PUD, which was originally approved in 1997 (Ord-1654). The project would require a Major Change to the existing PUD for the construction of the new building (technically a Special Use Permit), plus four (4) additional Special Use Permit requests for a carry-out restaurant, a drive-through, outdoor seating, and extended hours.

Attachments

1. Aerial Photograph, Village of Frankfort GIS (1:3,000 scale)
2. A 3-D isometric aerial image of the Hickory Creek Marketplace (Google images)
3. Findings of Fact for Special Use Permit and Major Change to a PUD
4. Plan Commission meeting minutes excerpt from November 10th, 2022, January 26th, 2023 & June 8th, 2023
5. Village Board meeting minutes excerpt from June 20th, 2023
6. Photographs of site, taken by staff 11.1.22 and August 2, 2023
7. Project submittal, including Site Plan, Landscape Plan, Building Elevations, etc., received July 24th, 2023
8. Exterior Signage Package, received May 1st, 2023

History

A brief history of the project is as follows:

- Complete application and fees received, May 12, 2022
- PC/ZBA Workshop, November 10, 2022
- PC/ZBA Public Hearing #1, January 26, 2023: All Special Use Permits were recommended unanimous approval. The Major PUD change was recommended approval by a split 3-2 vote.
- Committee of the Whole: February 8, 2023. There was some discussion of the project on this date. The applicant elected to return to the PC/ZBA for a second public hearing to address comments.
- PC/ZBA Public Hearing #2: June 8, 2023: All Special Use Permits were recommended unanimous approval. The Major PUD change was recommended approval by a split 6-1 vote.
- Village Board: June 20, 2023: The Board reviewed and commented on the project. In conjunction with the applicant, the Board remanded the project to the PC/ZBA.

Major changes to plans since the last public hearing on June 8th, 2023

At the last public hearing on June 8th, the PC/ZBA recommended unanimous approval for the Special Use Permits for the carry-out restaurant, drive-through use, the outdoor seating and the extended hours of operation. However, the Plan Commission recommended approval of the Special Use Permit for the Major Change to a PUD through a split 6-1 vote.

At the Village Board meeting on June 20th, the Board provided feedback and comments regarding the project. Most notably, some members of the Board recommended against the use of the red accent stripe on the front façade, as well as the higher parapet on the south wall of the building projecting higher than the other three walls (see meeting minutes excerpt). The Board recommended and the applicant agreed that the project should return to the PC/ZBA as a public hearing to address the comments.

For ease of reference, staff notes the changes to the plans since the June 8th public hearing:

1. The vertical red, metal accent stripe on the front (north) façade has been removed.
2. All four sides of the building have a parapet of the same height, with the exception of the arched elements that rise 3.5' above the parapets on the east and west elevations.
3. All of the cultured stone on the building has been replaced with flat, white limestone ("Renaissance Masonry Sill") to match the existing outparcel buildings rather than the Emagine Theater building.
4. The individual brick size was made larger in size to better match the existing outparcel buildings.
5. The former metal bronze awnings on the north, east and west façades are now red in color.
6. The proposed light poles are now noted on the plans to match the existing light poles in the PUD.
7. The Landscape Plan has been changed to add screening around the dumpster enclosure, per the PC/ZBA's condition of approval on June 8th, 2023.
8. The Landscape Plan now illustrates that the existing, mature Honey Locust tree at the southeast corner of the site will be preserved. The lowest branches of the Honey Locust tree are at least 6' above grade and do not impair vehicular visibility. As such, staff recommends against *major* pruning of this tree.
9. The rooftop access ladder was relocated from outside the building to inside of the building.
10. Please note that the proposed signage has NOT changed, but the building elevation drawings were not updated. The wall and ground signs continue to comply with the applicable codes. The signage building elevation drawings will need to be updated before this project can proceed to the Board.

Land Use

1. The property is zoned B-3, General Business, with a PUD overlay for a commercial plaza development. This zone district is primarily intended to “provide areas to be used for most types of retailing and service uses, including those uses that are oriented toward the service of automobiles”. The proposed drive-through coffee shop meets the general intent of this zone district.
2. The construction of the proposed coffee shop building within the PUD for Hickory Creek Marketplace requires a Major Change to the existing PUD. Major PUD changes were required to construct the outlot buildings for Autozone and Jimmy John’s (Ord-2329 and Ord-2419).
3. The proposed drive-through coffee shop in the B-3 zone district would require five (5) Special Use Permits for the following:
 - Major Change to a PUD
 - Carry-out restaurant
 - Drive-through windows
 - Outdoor seating
 - Extended hours of operation

Normal business hours within the Village are from 7 am – 11 pm. A Special Use Permit was required for a drive-through use and extended hours of operation for Steak & Shake (Ord-2269), which was permitted to be open from 5 am to 1 am. Sparks Coffee is requesting to be open from 5:30 am – 8 pm Monday – Saturday and from 6 am – 6 pm on Sunday, which can be allowed through a Special Use Permit.

Site Plan

The underlying zone district of B-3 (General Business) contains dimensional requirements regarding building setbacks, height, etc. Additionally, the PUD is governed by Ord-1654, which has some dimensional regulations that supersede the Zoning Ordinance. Deviation from either of these regulations can be permitted as part of the Major Change to the PUD (exceptions). Although there is no vehicular access to La Grange Road, there is a 125’ front yard setback requirement from the centerline of the road. By definition, the east property line is then considered the rear yard and the north and south property lines are considered side yards. The proposed building would be set back 125’ from the centerline of La Grange Road, meeting the front yard setback requirement.

Below are the dimensional standards applicable to the subject property:

	Lot Size	Front Yard Setback (to centerline)	Front Yard Landscape Setback	Side Yard Setbacks	Rear Yard Setback	Building Height	Impervious Lot Coverage
Required	20,000 SF	125'	25'	15'	30'	25'*	70%
Proposed	52,272 SF	125'	25'	73.6'/115.4'	89.5'	21'	56.6%

*per Ord-1654, PUD

Accessory structures in the B-3 zone district must be set back at least 10’ from any property line. The proposed trash enclosure is located 5’ from the south side property line, requiring an exception. The proposed trash enclosure would be constructed of brick to match the building and complies with all other requirements listed in the Zoning Ordinance (height, gates).

A sidewalk connection from the building to the existing sidewalk along La Grange Road was discussed during the Plan Commission workshop on November 10, 2022. At that time, the Plan Commission expressed a preference to

preserve the existing, mature, 25' wide landscape buffer along La Grange Road, instead providing a sidewalk connection that would disturb the landscaping. The sidewalk connection would have also required cutting into the existing berm within this landscape easement. As such, the sidewalk connection has been removed on the latest plan revisions. Since a sidewalk connection is technically required, an exception would need to be granted as part of the Major change to the PUD.

An outdoor seating area is proposed on the north side of the building. The outdoor seating area would measure approximately 800 square feet and may contain tables, chairs and benches. Article 5, Section C, Part 14 of the Zoning Ordinance requires that all restaurant outdoor seating be enclosed by a fence or wall at least 3' tall, regardless of whether alcohol is sold. Sheet A306 of the submittal illustrates a 3' tall metal railing that would mostly enclose the outdoor seating area. The outdoor seating area would be further buffered from the drive aisles by an approximately 5' wide landscape bed. A pedestrian walk-up ordering window is proposed on the west side of the building, adjacent to the outdoor dining area.

During the last public hearing on June 8th, there was some discussion regarding the proposed outdoor seating fencing and that it should match Camino Viejo's outdoor seating fencing on the outlot to the north. This was not made a condition of approval at the last public hearing. However, the PC/ZBA may wish to add this as a condition of approval at this public hearing.

Building Materials/Architecture

Building materials and architecture are regulated by the Zoning Ordinance (Article 7, Section A, Parts 5 & 8) and by the existing PUD (Ord-1654). As such, the proposed building materials and architecture should generally match the other buildings in Hickory Creek Marketplace.

Staff offers the following comments:

1. The primary building materials are brick and limestone, both intended to match the brick and stone on the adjacent outlot building to the north (Outlot 1D). The brick is used on all four sides of the building and is the primary building material. The limestone would primarily be used as wainscot along the base of the building, as well as the base of the drive-through support columns. The metal façade with the red accent stripe on the north building elevation was removed, as a recommendation of the Village Board on June 20th. In lieu of this, the applicant is proposing to change the color of the metal canopies from bronze to red. Article 7, Section A, Part 5 (i) of the Zoning Ordinance states that *"while it is recognized that color is a very subjective matter and that creativity should not be stifled, colors should nonetheless be used harmoniously and with some restraint"*. For comparison, the outlot building on outlot 1D (Mattress Firm/Pizza Hut) currently has green awnings as an accent color, and the former Steak & Shake building has black and white striped awnings.
2. Historically, the Village has required that canopy support beams (for drive-throughs and gas station canopies) be fully wrapped in masonry. The combined mix of stone and brick wrapping meets and exceeds expectations.
3. The roof would be flat, matching all other buildings in the development. The parapet of the roof would have arches on the east and west sides to mirror the other buildings in this development. All rooftop mechanical units would be screened by masonry parapets, as depicted on Sheet A110. One ground-mounted mechanical unit is proposed, being a transformer located within the landscaped area immediately south of the building.
4. A full basement is proposed as illustrated on Sheet A101. Although not defined on the floorplan, it was stated by the applicant at the workshop meeting that the basement will be used for storage.
5. An exterior ladder for roof access was attached to the south side of the building but was removed and relocated to inside of the building and will not be visible to the public.

6. Historically, the Village has not permitted the use of thin brick on commercial buildings. At the workshop and public hearings, the PC/ZBA stated that the building be constructed of regular brick, not thin brick as originally proposed. The use of regular brick was also made a condition of approval at the last public hearing. It's believed that the building elevations and trash enclosure now propose regular brick. Staff recommends adding this as a condition of approval, like it was at the last public hearing.

Parking & Circulation

The subject property is located between the existing outlots for Old National Bank and the strip commercial building that contains Mattress Firm, Pizza Hut, etc. The subject property would only be accessible via a shared access drive within Hickory Creek Marketplace; there would be no new access to La Grange Road. There would be no cross-access between the subject property and the two adjacent outlots. Traffic would enter the site from the northern access driveway only and circulate on-site in a counterclockwise fashion. Traffic could exit the site from either the southern access driveway (one-way out) or the northern access driveway (two-way).

Staff offers the following comments:

1. Parking for fast food (carry-out) restaurants is required a ratio of 1 space per 75 square feet of gross floor area, plus 1 space for every 2 employees during the largest working shift. The building would be 945 square feet and staffed by up to 4 people at once, requiring 15 spaces. A total of 24 parking spaces would be provided on-site, including 1 ADA space, complying with the parking requirement. The Zoning Ordinance is silent regarding whether outdoor seating area is counted toward the total parking requirement for restaurant uses. For the purposes of this report, the outdoor seating area was not counted toward the total parking required. If the outdoor seating area was counted as floor area of the restaurant, a total of 25 parking spaces would be required.
2. Per the existing PUD (Ord-1654), each parcel must provide its own parking on-site. There is a "reciprocal easement agreement" within Ord-1654, which allows for shared access between parcels (but not shared parking) within the PUD.
3. The drive-through lane would consist of dual lanes, similar to the McDonald's on La Grange Road. The proposed order board complies with Ord-3338 regulating electronic digital menu boards. The applicant has also noted that orders may be taken by employees outside the building, similar to the operations of a Chick-fil-A restaurant. A 14.5' wide bypass lane exists adjacent to the drive-through lane.
4. Both Village staff and Robinson Engineering recommended that the southern access drive to the property be made two-way instead of one-way exit only. As proposed, the southern exit-only driveway is 21' wide, which is only slightly narrower than the northern two-way driveway at 25'. As such, motorists may try to treat the one-way driveway as two-way which could cause confusion. Staff recommended that the southeast access drive be widened and made two-way or narrowed so that it's obviously a one-way driveway. The applicant believes that if the southeast access were made to be two-way, it could lead to motorists "cutting in line" at the drive-through and has elected to keep this access as proposed.

Loading

1. Due to the small size of the building (945 sq. ft.), a loading space is not required per the Zoning Ordinance. Staff still recommends discussing where and how loading would occur on-site.

Landscaping

1. There is a 25' wide landscape easement located along La Grange Road for all properties in the PUD, including the subject property. The landscape easement on the subject property has a small berm (2' +/-) and contains several mature trees and shrubs, notably evergreen trees.
2. The Landscape Plan illustrates additional plantings of shrubs and ground cover within the landscape buffer within the easement, including evergreen shrubs and decorative grass. The proposed yews will

reach 3-4' tall and the proposed decorative grass will reach 2-6' tall, which will help obscure the view of cars in the drive-through and their headlights from La Grange Road.

3. The Landscaping Regulations as listed in §158.30(B) of the *Code of Ordinances* require that a 5' wide landscape bed be located adjacent to drive-through lanes, separating the drive-through lanes from other vehicular use areas. This landscape bed was not included on the Site Plan (or Landscape Plan) but could be waived as an exception under the Major Change to the PUD.
4. Landscaping is proposed around the trash enclosure and within the center of the site around the building and outdoor seating area.
5. Two evergreen trees in fair/poor condition would be removed along the east property line and are not classified as preservation trees. The existing Honey Locust tree at the southeast corner is in good condition and would be preserved, as recommended by the PC/ZBA during the last public hearing. The applicant is proposing to plant 2 Swamp White Oak trees along the east property line, 1 Street Maple south of the building and 4 fir trees along the southern property line around the proposed trash enclosure.

Lighting

1. A Photometric Plan has been provided illustrating 6 new 20' tall light poles. The light levels comply with the levels permitted in the Zoning Ordinance.
2. The proposed light poles would match the existing light poles in the PUD in terms of design and color.
3. The maximum height of light poles in the B-3 zone district is 25'. The proposed light poles would be 20' tall, complying with this requirement.
4. In addition to 6 six light poles, there would also be 4 recessed can lights beneath the drive-through canopy.

Signage

Signage for Outparcel 1E is governed by the following:

- Ord-1654, Exhibit E (Hickory Creek Marketplace)
- Ord- 3338 (Menu Boards)
- Sign Code, Village of Frankfort

An exterior sign package (Uniform Sign Plan) has been provided, illustrating the wall signs, directional signs and the menu board. Staff reviewed the proposed signage against all applicable sign codes and the previous signage approvals for the Hickory Creek Marketplace PUD and found that all of the proposed signs comply. However, the building elevation drawings within the Uniform Sign Plan are outdated and must be revised prior to review by the Village Board.

Ord-1654 notes the following:

- Up to 2 wall signs are permitted
- Logos are permitted
- Up to 2 lines of text permitted
- Wall signs may have up to 3 colors
- Letters/symbols can't exceed 42" tall
- Letter depth can't exceed 6"
- Raceways are not permitted
- Length of sign can't exceed 70% of the frontage
- 25 SF of sign area per lineal foot of building frontage

The Hickory Creek Marketplace multi-tenant buildings, unlike the single-building outlots, may only have white channel letter wall signs, except for the anchor tenants of Emagine, Staples and Home Depot. For example, the single tenant buildings of Autozone and Steak & Shake have orange and red signage, whereas the multi-tenant building containing Mattress Firm and Pizza Hut has all-white signage. As a single-tenant building, Sparks Coffee would be permitted up to 3 different colors for its wall signage.

Two large ground signs exist for Hickory Creek Marketplace: one sign along La Porte Road and the other at the main entrance to the PUD along La Grange Road. These two large ground signs only contain the names of the anchor tenant stores of Home Depot, Emagine and Staples. There is one smaller ground sign located midblock along La Grange Road, between the plaza's main entrance and La Porte Road, in front of the strip retail building containing Mattress Firm. This smaller ground sign contains the names of some of the smaller tenants, including Goodwill, Pizza Hut and Great Clips. The subject property, Outlot 1E, was purchased by the applicant, whereas much of the rest of the PUD is owned by "Hickory Creek Market Place". Since the properties are within the same PUD but under separate ownership, it's uncertain whether the applicant could place their name on the smaller ground sign.

Preliminary Engineering

The site is currently served by Village water, sanitary and storm utilities. Per a review by Robinson Engineering, on-site stormwater detention for Hickory Creek Marketplace is already provided in the detention pond behind Emagine Theater. Any final engineering review work is expected to be minor.

Requests – Summarized

Exceptions:

There are four (4) exceptions requested:

1. Reduced trash enclosure setback of 5' (10' required from any lot line)
2. Relief from the required 5' wide landscape bed adjacent to drive through lanes
3. Relief from the required sidewalk connection from the building to the existing sidewalk along La Grange Road
4. Relief from the Landscape Ordinance's requirement of installing 1 landscape island or "finger" every 10 parking spaces.

Special Use Permits:

There are five (5) Special Use Permits requested:

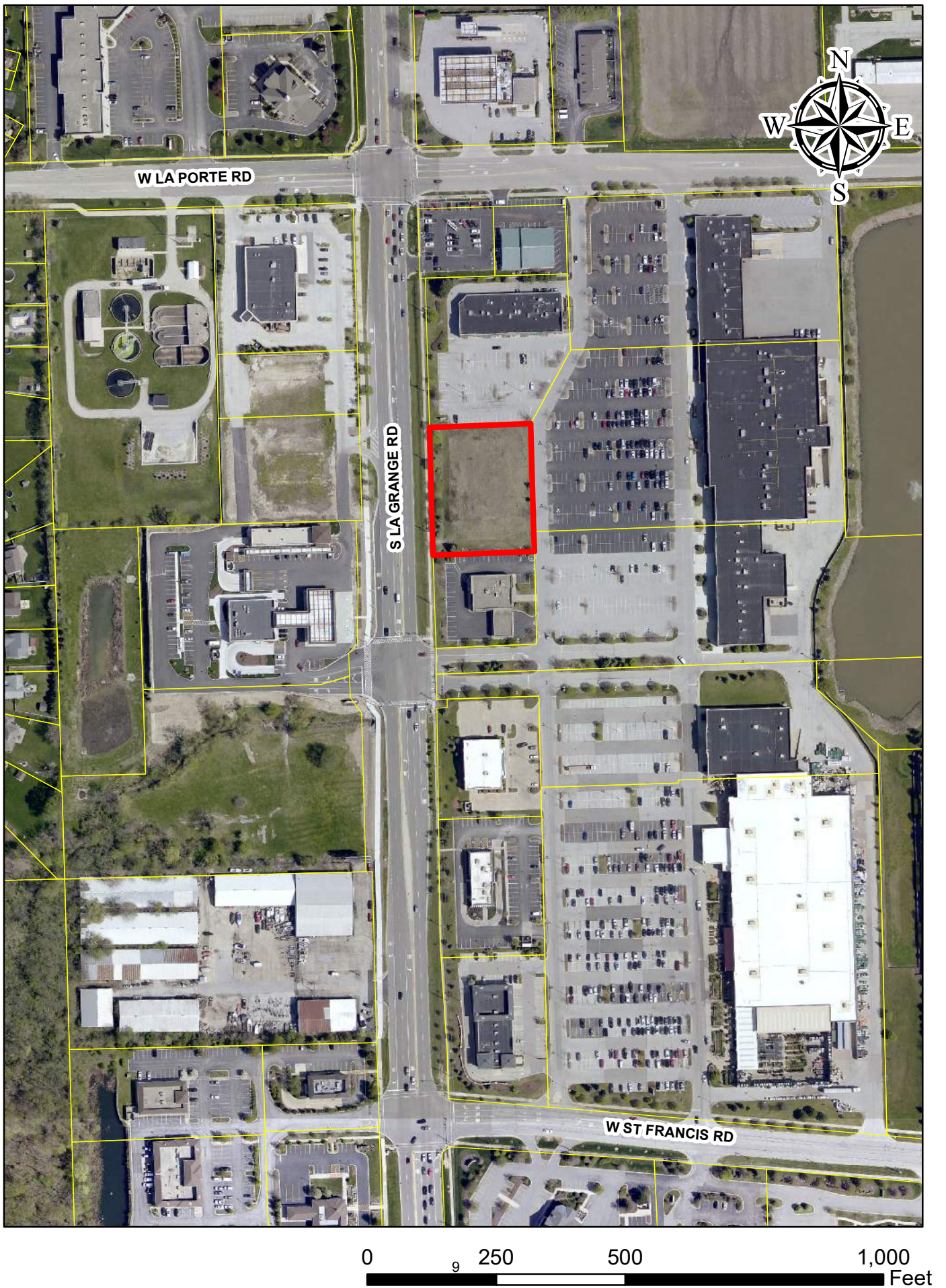
1. Major Change to a PUD
2. Carry-out restaurant
3. Drive-up service windows associated with a permitted use
4. Outdoor seating associated with a permitted restaurant
5. Extended hours of operation

Affirmative Motions

1. Recommend to the Village Board to approve the Major Change to a PUD, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval, using standard brick instead of thin brick on the building and the following exceptions:
 - a. Reduced trash enclosure setback of 5' (10' required from any lot line)
 - b. Relief from the required 5' wide landscape bed adjacent to drive through lanes
 - c. Relief from the required sidewalk connection from the building to the existing sidewalk along La Grange Road

2. Recommend the Village Board approve a Special Use Permit to allow a carry-out restaurant use on the property located at Outlot 1E in Hickory Creek Marketplace, in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned on final engineering approval.
3. Recommend the Village Board approve a Special Use Permit to allow drive-up service windows associated with a permitted use on the property located at Outlot 1E in Hickory Creek Marketplace, in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned on final engineering approval.
4. Recommend the Village Board approve a Special Use Permit to allow outdoor seating associated with a permitted restaurant on the property located at Outlot 1E in Hickory Creek Marketplace, in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned on final engineering approval.
5. Recommend the Village Board approve a Special Use Permit to allow extended hours of operation (5:30 am – 8 pm Monday – Saturday and from 6 am – 6 pm on Sunday) on the property located at Outlot 1E in Hickory Creek Marketplace, in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned on final engineering approval.

Major PUD Change - Caffeinated Concepts







Application for Plan Commission / Zoning Board of Appeals Review
Planned Unit Development (PUD) Standards

Article 3, Section F, Part 4 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every PUD Preliminary Plan and Final Plan. The Plan Commission must consider the extent to which the proposal fulfills the following seven standards. To assist the Plan Commission in their review of the PUD request, please provide responses to the following “Review Standards.” Please attach additional pages as necessary.

1. The plan is designed to protect the public health, welfare and safety.
The plan is designed in a way that will protect the public in every way as soon as they enter the property.

2. The proposed development does not cause substantial injury to the value of other property in the immediate area.
The proposed development has been designed to fit the aesthetic and match the value of the other property in the immediate area.

3. The plan provides for protection of the aesthetic and function of the natural environment, which shall include, but not be limited to, flood plains, streams, creeks, lakes, ponds, wetlands, soil and geologic characteristics, air quality, vegetation, woodlands, and steep slopes.
The plan maintains and exceeds the aesthetic and function of the natural environment by keeping existing and adding landscaping.

4. The plan provides for and ensures the preservation of adequate recreational amenities and common open spaces.
The plan provides a fenced in patio with table and bench-style seating for the public to enjoy.

5. Residential use areas may provide a variety of housing types to achieve a balanced neighborhood.
The plan adds balance to the area.
6. The planned unit development provides land area to accommodate cultural, educational, recreational and other public and quasi-public activities to serve the needs of the residents thereof.
The planned unit development adds to the existing accommodations in the surrounding area, serving the needs of the public.
7. The proposed development provide for the orderly and creative arrangement of all land uses with respect to each other and to the entire Village.
The proposed development respectfully provided orderly and creative arrangement of the land use to the village.

Article 3, Section F, Part 5, letter 'd' of the Village of Frankfort Zoning Ordinance lists two additional "findings" or "standards" related specifically to residential or mixed-use PUDs to permit uses that are otherwise not permitted in the underlying zoning district. For these specific types of proposals, the Plan Commission must also find the following. Please provide responses to the following additional "Review Standards."

1. That the uses permitted by such exceptions are necessary or desirable and are appropriate with respect to the primary purpose of the planned unit development;
The use these exceptions would allow are desirable and appropriate with respect to the primary purposes of the PUD.
2. That the uses permitted by such exception are not of such a nature or so located as to exercise a detrimental influence on the surrounding neighborhood;
The uses permitted by the exception is not of such a nature or location that will exercise detrimental influence on the surrounding neighborhood.



Application for Plan Commission / Zoning Board of Appeals Review
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.

The establishment will permit only low speed on site to enter into queue, ensuring a safe environment for the public. The establishment’s access points were thoughtfully placed to not allow cramming in the drive-thru and will not be detrimental to public health.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The site has been vacant for years, our establishment will improve the site’s aesthetics. The special use will not be injurious to the use and enjoyment of the other properties, as the queuing will be contained on the parcel. The neighbors are commercial not residential; therefore, the special use will not diminish property value.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The establishment will not impede the normal and orderly development, for food service is already a permitted use in the district, the drive-thru is merely the method of product delivery and will be contained on site.

4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

Our establishment is committed to high quality building, utilizing a mixture of both brick and stone. It will match the quality and construction of the neighboring level of development.

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

The building will only be around 750 square feet; the utilities were placed to withstand the larger surrounding buildings. Consumers will enter our establishment from the access points provided to the marketplace, both north and south.

6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Those traveling from the north will turn left on to La Porte rd then right in to the marketplace. They will follow the road until they take a right in to our establishment. Those traveling from the south will take a right into the marketplace then a left at the 4-way stop, leading them to make a left in to our establishment. Those access points have been approved to handle Frankfort traffic.

7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Our project will follow all applicable codes.



MINUTES

MEETING OF VILLAGE OF FRANKFORT PLAN COMMISSION / ZONING BOARD OF APPEALS

November 10, 2022–VILLAGE ADMINISTRATION BUILDING

432 W. NEBRASKA STREET

Call to Order: Chair Rigoni called the meeting to order at 6:30 PM

Commissioners Present: Chair Maura Rigoni, Brian James, Nichole Schaeffer, Dan Knieriem, Will Markunas

Commissioners Absent: Jessica Jakubowski, David Hogan

Staff Present: Director of Community and Economic Development Mike Schwarz, Senior Planner Chris Gruba, Planner Drew Duffin

Elected Officials Present: None

A. Approval of the Minutes from October 27th, 2022

Motion (#1): To approve the minutes from October 27th, 2022.

Motion by: Knieriem

Seconded by: Schaeffer

Approved: (4-0, Commissioner Markunas Abstained)

B. Workshop: Drive Through Coffee Shop – Hickory Creek Marketplace Subdivision

Chris Gruba gave the staff report.

The applicant and the architect approached the stand. The architect explained that their civil engineer could not make it to the meeting. Neither person had anything more to add.

Chair Rigoni asked for comments on the proposed use.

Commissioner Knieriem asked if the proposed restaurant was part of a larger chain or an independent restaurant.

The applicant our responded that the proposed building would be their first location, but that their short-term goal was to open ten locations in total.

Commissioner Knieriem asked if the applicant was in the restaurant business.

The applicant stated that restaurants were a family business.

Commissioner Knieriem asked if the applicant was from the Frankfort area.

The applicant stated she was from the area.

Commissioner Knieriem said he thought the location was a good spot for this use, especially given the other coffee uses nearby were always busy. It was a good location. He asked how their concept differed from other coffee shops.

The applicant explained that they would utilize a double drive-through lane, which would help to manage throughput. There would also be runners delivering orders to car windows, similar to Chick-fil-A or Portillo's.

Commissioner Knieriem asked if there would be an app for preordering from the restaurant, since there were no proposed order boards.

The applicant said that there might be in the future.

Commissioner Knieriem asked whether the proposed basement would be used for storage.

The applicant responded that it would.

Commissioner Knieriem thanked the applicant for their work to align color scheme of the proposed building with the surrounding buildings in the PUD. He believed it looked good.

Commissioner Schaeffer agreed with Commissioner Knieriem. She asked if there would be any indoor seating.

The applicant said there would not be, and that the inside would be employees only.

Commissioner Schaeffer asked where the applicant would source the business' coffee from.

The app explained they were looking at different roasters at the moment. Ideally, they would pick someone local, but no decision had been made yet.

Commissioner Markunas asked how runners would take orders.

The applicant responded that runners would use tablets.

Commissioner Markunas asked if those same runners would deliver orders to cars.

The applicant said they would.

Commissioner Markunas asked the applicant if they were looking to eliminate the drive-through chokepoint by allowing people to pull out of the line once they received their orders.

The applicant said that was the case.

Commissioner James expressed his concern for the safety of people moving through the site, both pedestrians and drivers, based on the proposed layout.

The applicant noted that it was a priority for her as well.

The architect noted that there was striping on the site plan to alert drivers to areas which would be frequented by pedestrians.

Commissioner James noted that the proposed building was a relatively niche design. He thought the Plan Commission should consider how the proposed structure could be used by a future occupant. It was a good location, and the Plan Commission should consider that when deciding on their recommendation.

Chair Rigoni noted that the uses seemed appropriate. She also said that she was struggling to understand how the drive-through would work, since it was an uncommon approach to handling drive-through traffic. She asked for comments on the list of exceptions developed by staff which might be requested at a future public hearing.

Commissioner Markunas asked why the applicant did not redesign the northern entrance to be a two-way entrance, rather than an exit-only driveway.

The applicant explained that they wanted all cars entering the site to enter the drive through line. Having an entrance on the north side of the property could result in people cutting into line.

Commissioner Markunas asked if the applicant would consider changing the north driveway into a two-way driveway. From a safety perspective, he believed that some people would turn in through there anyway.

The applicant said she was open to making that change.

The architect stated that they could change the design to make it clear that driveway was not an entrance.

Commissioner Markunas explained that people could still use it as an entrance anyway.

Commissioner Knieriem agreed. Widening north entrance would make the property friendlier to patrons. He could see the applicant's concern, but believed it would be better to make it a two-way entrance.

Chair Rigoni noted that, given parking was proposed along the south property line, there ought to be a way to access that parking without needing to drive all the way around the building. She thought the building should be reoriented, and be laid out similar to the Steak n' Shake to the south. Most drive-throughs in Frankfort were not build so close to La Grange Road, and flipping the proposed design so the drive-through was on the east side of the property would be consistent with other development, and would eliminate the need for the exception to reduce the required building setback from the centerline of La Grange Road.

Commissioner James added that it could also provide the applicant an opportunity to better utilize their proposed signage.

Chair Rigoni made clear that she was not trying to change the applicant's design, but asked the applicant to consider what the Plan Commission was suggesting.

The architect noted that the proposed drive-through was oriented a certain way, and changing it would be inconvenient to drivers.

Chair Rigoni clarified that she was asking the applicant to consider reorienting the site plan so that a drive-through would work as normal. She noted that the proposed canopy was larger than normal for a restaurant, and that the proposed canopy appeared more like a bank drive-through.

Commissioner Markunas added that reorienting the building would help with parking too, since a patron would not need to drive all the way around the drive through line to access parking.

The architect asked for the Plan Commission for clarity on their suggested reorientation. He noted that reorienting the building the way they suggested would push the building back further from La Grange Road.

Chair Rigoni noted that the building would be a fixed point. She asked staff to make sure the setbacks of the proposed building were aligned with nearby buildings rather than focus on following the letter of the Zoning Ordinance.

Commissioner Knieriem asked if the Plan Commission's suggestion was clear to the applicant.

The applicant said it was, and that they had considered a similar design before. They wanted to be closer to the road, however.

Chair Rigoni said she understood that desire, but that they would still have to meet setback requirements. She suggested the applicant look at how Steak n' Shake laid out their building so the drive-through was away from La Grange Road.

Commissioner Schaeffer asked if the exceptions related to the setback from La Grange Road would be unneeded if the building was reoriented.

Chair Rigoni said it was possible.

An aerial view of the nearby Steak n' Shake was displayed on the screen.

The architect stated that the Steak n' Shake layout was a potential option. He thought the Plan Commission was suggesting relocating the proposed parking on the east side of the property to the west side, close to La Grange Road.

Commissioner Schaeffer said that they applicant should also keep in mind that there would be landscaping between their building and La Grange Road. People drove fast along that road, and may not clearly see your building when passing. She understood their desire to get as close to La Grange Road as possible, but it might not be as advantageous as they were thinking.

Commissioner Markunas noted that reorienting the building would also mean the large proposed sign on the east façade would face La Grange Road.

The architect agreed.

Chair Rigoni asked for comments relating to the proposed building and building materials.

Commissioner Markunas stated he thought they were good. He was glad the applicant had worked with staff. The current proposal gave the building an individual character but still tried to match surrounding area.

Commissioner James agreed, but expressed his concern with the proposed thin brick veneer. He noted that the Plan Commission preferred structural brick.

Commissioner Schaeffer agreed. She stated that she liked the lighter stone accents. She added that while structural brick may cost more, but was standard in the Village.

Commissioner Knieriem added that if a car hit the thin brick around the canopy column, it would be an issue for the business. It would be an issue for the driver if the applicant instead used full structural brick.

Chair Rigoni noted that there was uniformity in the surrounding shopping center, and that the applicant was the last one to develop their property. The proposal did not incorporate an arch element into their design, which was present in other buildings in the PUD. To her, the biggest sticking point was architecture. On its own, the proposed design was great, and would appear so at another location. Her issue was how it related to the other buildings around it. The proposed building was not cohesive, especially with the red coloring.

Commissioner Knieriem asked Chair Rigoni which arches she was referring to.

Chair Rigoni explained that the arch element was incorporated differently with each building, but was present regardless. Building designs became flatter as they approached the intersection of St. Francis Road and La Grange Road.

The applicant asked if the building to the north of their property had arch elements.

Chair Rigoni said there was an arch in the stone detailing above the entryway. She turned the conversation toward landscaping. She asked if staff was looking for direction on the potential tradeoff between connecting to the sidewalk along La Grange Road and removing a large evergreen tree.

Chris Gruba explained that connecting to the sidewalk along La Grange Road was required per code, and the applicant was looking to install it, but the Plan Commission could consider waiving that requirement at the request of the applicant.

Commissioner Knieriem noted that if the building was reoriented, it might not be an issue.

Chair Rigoni asked if any other buildings had a connection to that sidewalk.

Chris Gruba noted that Steak n' Shake had one.

Commissioner Knieriem noted that there was not a lot of pedestrian traffic on La Grange Road, and asked the applicant if they wanted the sidewalk connection.

The applicant said they had no preference either way.

Commissioner Markunas noted that not installing the sidewalk could be cheaper.

Commissioner Schaeffer stated that it was a different story near the high school, but that in the area near the applicant, there were very few pedestrians. She then asked if the landscaping in the north west corner would screen headlights on the turn radius.

Chris Gruba said that some plants would, but not all. Staff asked for taller landscaping to screen headlights, but none had been proposed yet.

Chair Rigoni noted that since the site might be laid out differently at the next meeting, the applicant had a chance to address concerns about headlights. She asked the Plan Commission if they had any comments on the proposed signage.

Commissioner Markunas noted that two different sign sets were given to staff, and asked which ones the applicant was going to use.

The applicant stated they would use the signage details found on the proposed elevations.

Chair Rigoni asked if the proposed signage met the Village regulations.

Chris Gruba stated that the proposed signage currently exceeded regulations.

Commissioner Knieriem asked the applicant if they were looking to paint a sign on the wall.

The applicant explained that their intent was to install a box sign.

Commissioner Schaeffer asked if it would be illuminated.

The applicant said it would.

Chris Gruba stated that, as proposed, the development did not comply with the PUD sign regulations.

Commissioner Markunas said that staff could work with the applicant to meet the requirements.

The architect asked if they would be allowed to paint the wall.

Chair Rigoni said she did not think it would be.

Chris Gruba said it was not allowed, according to the PUD Ordinance for Hickory Creek Marketplace.

Chair Rigoni noted they proposed more than two signs, which was not allowed per Code.

The architect noted that they should remove the proposed canopy signs, which would address the number of signs. That would leave only the size regulations to comply with.

Commissioner Markunas agreed, and said that they could work with staff to meet code.

The applicant asked if unilluminated signs were still considered signs per code.

Chair Rigoni said they were.

There was some discussion on the regulation which required a landscape barrier between bypass lanes and drive-through lanes. The Plan Commission expressed that they were generally alright with the applicant not meeting that code requirement.

Chris Gruba asked if the Plan Commission had any comments on the outdoor seating area.

Commissioner Knieriem noted that the building was located along La Grange Road, which had high traffic volumes. He suggested the applicant consider installing extra landscaping to help reduce noise.

Chris Gruba asked if the Plan Commission thought the proposal was ready to come to a Public Hearing.

Chair Rigoni said she was, unless there were any major changes. She asked what time the restaurant would close.

The applicant said that they would close at 8:00.

Commissioner Schaeffer asked if they would sell food.

The applicant stated that they would sell pre-prepared foods such as pastries, but nothing else.

C. Workshop: 15 Ash Street – Old Frankfort Mall

Chris Gruba gave the staff report.

The applicants, Mike and Chris, approached the stand. They were joined by Chris Tokarz, their architect. They brought an additional presentation for the PC as well, which was not able to be displayed on screen due to technical issues.

The architect explained that they had originally proposed parking along White Street. The Public Works Department and Village staff recommended against adding on-street parking within the right-of-way of White Street but were amenable to adding a 12'x50 loading space within the right-of-way. The architect had done a lot of reorganization of tenant spaces on the interior of the building, so that all would have street access. Other changes were made to accommodate the transformer, but their options were limited since the building was so close to the lot lines. He created an alcove that would allow for an on-site interior transformer, the design of which had yet to be finalized. All tenants would have access to a street and an interior area for back-of-house needs. The landscape plan showed that trees would be provided within the rights-of-way of Ash, White and Kansas streets. The current plan did not include two trees which were proposed on Ash Street and Kansas Street, but they would be added to comply with code. The building was in a unique situation, since there were streets on three sides and no rear property line, which resulted in certain variances. The proposed building would fill out the property. The applicant stated that the project would not be feasible unless the building were expanded to nearly all property lines. One other major change was to the second-floor residential hall. They took some space out of the bowling alley, so now the proposed dwelling units were larger. The tradeoff they made was in losing event space within the bowling alley, but the existing bowling alley lanes would remain. A proposed roof deck and observation deck would be located above the bowling alley and above the 3rd floor of the addition, respectively. On the third floor, there was a proposed roof deck and observation deck. In regard to comments on the building height, Kansas Street slopes up from White Street to Oak Street. The proposed 45-foot building height was measured at White Street, but 42 feet on Ash Street. 28 Kansas Street was currently the highest building along Kansas



MINUTES

MEETING OF VILLAGE OF FRANKFORT PLAN COMMISSION / ZONING BOARD OF APPEALS

January 26, 2023 –VILLAGE ADMINISTRATION BUILDING

432 W. NEBRASKA STREET

Call to Order: Chair Rigoni called the meeting to order at 6:30 PM

Commissioners Present: Chair Maura Rigoni, Brian James, Dan Knieriem, Will Markunas, Nichole Schaeffer

Commissioners Absent: David Hogan, Jessica Jakubowski

Staff Present: Director of Community and Economic Development Mike Schwarz, Senior Planner Christopher Gruba

Elected Officials Present: Trustee Daniel Rossi

A. Approval of the Minutes from January 12th, 2023

Motion (#1): To approve the minutes from January 12th, 2023.

Motion by: Knieriem

Seconded by: Markunas

Approved: (4-0, Commissioner Schaeffer Abstained)

B. **Public Hearing: Drive-Through Coffee Shop – Hickory Creek Marketplace Subdivision**

Chair Rigoni swore in member of the audience wishing to provide testimony.

Chris Gruba presented the staff report and summarized the changes to the plans since the workshop meeting.

Chair Rigoni asked the applicant if she wanted to make additional comments.

Aliana Winkle approached the podium and offered to answer any additional questions from the commission.

The project architect approached the podium and offered to answer any questions from the commission. He stated that is has been about eight months since they filed an application, and they did take into account the comments that were provided at the workshop.

Chair Rigoni asked if there was anyone in the audience wishing to provide testimony. There was no response.

Motion (#2): To close the public hearing.

Motion by: Schaeffer

Seconded by: Markunas

Approved: 5-0

Chair Rigoni asked the commission if there was any questions or comments on the special uses. There were none.

Chair Rigoni asked the commission if there were any questions or comments on the Major Change to the PUD. There were none.

Chair Rigoni asked the commission if there were any questions about the site plan.

Commissioner Schaeffer asked about the direction of traffic flow.

Aliana Winkle stated that the flow would be clockwise around the building.

Commissioner Knieriem asked about the order taking.

Aliana Winkle stated that all order taking will be done outdoors at the drive-up and the order takers will have head-to-toe custom clothing and outdoor heaters for the winter months.

Chair Rigoni asked if there would be a menu board.

Aliana responded that they will just have a small signpost for customers to scan a QR code, which would bring up the menu on their phone.

Chair Rigoni asked staff if they received the complete signage plan for the site including any menu boards and directional signs.

Chris Gruba responded no, only the wall and canopy signage was submitted as provided in the packet.

Commissioner Knieriem asked if the commission had any issue with the waiver of the landscaping around the bypass lane. There was consensus that this was not an issue.

Commissioner Knieriem asked about the type of brick that is proposed.

The project architect stated that they are proposing to use thin brick.

There was some discussion among the commissioner members about the dimension of the brick and Village standards that would apply.

Commissioner Schaeffer stated that she is fine with the architecture.

Commissioner Markunas stated that bringing in the arches on the canopies helps. He also stated that the thin brick has not been allowed in the Hickory Creek Marketplace development.

The project architect stated that dimensional brick would add more cost to the project, but they could install this by adding a concrete sill or brick ledge.

Commissioner James asked about the east elevation, which shows that the dominant material is the lighter color brick and the accents are the darker brick, which is different from the other buildings in the Hickory Creek Marketplace development.

The project architect responded that he looked at the brick colors on the Emagine Theatre which has a similar situation.

Chair Rigoni state that she serious concerns about the architecture and the color scheme not matching the rest of the Hickory Creek Marketplace PUD. This is the last site and the proposed building should match the other buildings such as Steak and Shake.

Chair Rigoni asked the commissioners if there were any questions or comments about parking.

There was consensus that parking was not an issue.

Chair Rigoni asked the commission if there were any questions or comments about circulation.

There was consensus that circulation was not an issue.

Chair Rigoni asked the commission if there were any questions or comments about loading.

There was consensus that loading was not an issue.

Chair Rigoni asked if the commission if there were any questions or comments about landscaping.

There was consensus that landscaping was not an issue.

Chair Rigoni asked staff about the fence detail.

Chris Gruba responded that the fence around the outdoor seating would be a black metal fence.

Chair Rigoni asked the commission if there were any questions or concerns about lighting.

There was consensus that lighting was not an issue.

Chair Rigoni asked the commission if there were any questions or comments about signage.

Chair Rigoni stated that it was clear from the feedback that the commission provided at the workshop that the applicant was supposed to comply with Ordinance No. 1654.

Chair Rigoni asked the applicant is she was choosing to deviate from the original signage.

Alaina replied yes but she will not die on that hill.

Chair Rigoni asked the commission members if there were any question or comments about signage.

Commissioner James stated that he no questions at this time.

Commissioner Markunas stated to the applicant that we talked at the workshop about matching the PUD as far as signage.

Commissioner Schaeffer stated that she likes the retro sign on the east side, but maybe if they have to remove signage, it can be done on the canopy.

Alina Winkle responded that they did flip that retro sign to the LaGrange Road (west) side.

Commissioner Knieriem stated that he agrees that the Municipal Code only allows two signs, and he supports that. They can come back later for another variation if needed.

There was some discussion about signage as related to the overall PUD and the timing of making any request for deviations.

Chair Rigoni stated that the commission didn't even let Starbucks have signage on the canopy of the drive through.

Chair Rigoni stated that the commission is looking for the applicant to meet the Village's Sign Code. She added that should they decide they do not want to meet the Sign Code staff needs more information in order to identify all of the deviations.

Chair Rigoni stated that she does not feel comfortable with the signage as presented.

Commissioner Markunas stated the commission would be comfortable with a stipulation that the signage would be in accordance with the requirements of the Hickory Creek Marketplace PUD.

Chair Rigoni noted that the Village standard condition which states "in accordance with the submitted plans" would not apply to the signage plan as it is currently presented.

Chair Rigoni asked about the parapet wall screening the rooftop units.

Chris Gruba affirmed that the rooftop HVAC units would be screened from view.

There was some discussion about the location of the rooftop ladder.

Commissioner Knieriem stated that this exterior ladder will invite trouble.

The project architect state that the ladder does not need to be on the La Grange Road (west) side, so thank you for pointing that out. The ladder will have a lock-up cage to keep people from climbing.

Chair Rigoni asked staff why two trees had to be removed.

Chris Gruba deferred to the applicant to respond.

Robin Ersfeldt, the project engineer, approached the podium stated that one tree was removed to clear the sight triangle as vehicles enter and exit the site.

Chair Rigoni stated that she was concerned about the net loss of one tree when there is room on the site to add another tree.

Chair Rigoni asked if there were any other questions or comments.

Mike Schwarz mentioned that the light poles within the parking lot will be lower than the other lots within the development and just wanted to make sure that was on the record should there be any concerns from the commission. He noted that the new light poles will have LED style fixtures and will not have the “shoe-box” style fixtures which are found on the existing taller parking lot light poles in the development. The paint color of the new light poles and fixtures as well as the concrete bases would match the existing light poles and fixtures.

Motion (#3): Recommend to the Village Board to approve the Major Change to a PUD including the following exceptions to the Zoning Ordinance:

1. Reduced trash enclosure setback of 5’ (10’ required from any lot line);
2. Relief from the required 5’ wide landscape bed adjacent to drive through lanes; and,
3. Relief from the required sidewalk connection from the building to the existing sidewalk along La Grange Road,

in accordance with the reviewed plans and public testimony, conditioned on:

1. Final engineering approval;
2. Using standard brick instead of thin brick on the building;
3. Submittal and staff review and approval of a complete signage package which is in accordance with Ordinance No. 1654; and,
4. Relocation of the exterior rooftop access ladder to a side other than the west façade.

Motion by: Markunas

Seconded by: Schaeffer

Approved: (3-2) (Rigoni, James voted no)

Motion (#4): Recommend the Village Board approve a Special Use Permit to allow a carry-out restaurant use on the property located at Outlot 1E in Hickory Creek Marketplace, in accordance with the reviewed plans and public testimony and conditioned on final engineering approval.

Motion by: Knieriem

Seconded by: Schaeffer

Approved: (5-0)

Motion (#5): Recommend the Village Board approve a Special Use Permit to allow drive-up service windows associated with a permitted use on the property located at Outlot 1E in Hickory Creek Marketplace, in accordance with the reviewed plans and public testimony and conditioned on final engineering approval.

Motion by: James

Seconded by: Knieriem

Approved: (5-0)

Motion (#6): Recommend the Village Board approve a Special Use Permit to allow outdoor seating associated with a permitted restaurant on the property located at Outlot 1E in Hickory Creek Marketplace, in accordance with the reviewed plans and public testimony and conditioned on final engineering approval.

Motion by: James

Seconded by: Schaeffer

Approved: (5-0)

Motion (#7): Recommend the Village Board approve a Special Use Permit to allow extended hours of operation (5:30 am – 8 pm Monday – Saturday and from 6 am – 6 pm on Sunday) on the property located at Outlot 1E in Hickory Creek Marketplace, in accordance with the reviewed plans and public testimony and conditioned on final engineering approval.

Motion by: Markunas

Seconded by: Schaeffer

Approved: (5-0)

C. Public Comments

There were none.

D. Village Board & Committee Updates

Mike Schwarz noted that the Village Board approved the following items at their meeting on January 17th, 2023, which had previously appeared before the Plan Commission:

- Taqueria Mammy Chaya Special Use Permit for Accessory Liquor Sales: 21206 S. LaGrange Road - Ordinance was approved.
- Formal Legal Objection to Rezoning: Will County Zoning Case ZC-22-045 - PIN: 18-13-08-100-014-0000 – Resolution was approved.

E. Other Business

There was no other business.

C. Public Hearing: Sparks Drive-Through Coffee Shop – Hickory Creek Marketplace

Chris Gruba presented the staff report and summarized changes to the plans since the Village Board meeting.

The applicant Aliana Winkle and her architect Eric Pederson approached the podium.

Aliana Winkle summarized the changes to the plan.

Chair Schaeffer asked if there were any initial questions or comments from the other members.

Commissioner Knieriem stated that he has no questions or comments.

Commissioner Markunas stated that he has no questions or comments.

Commissioner Jakubowski stated that she has no questions or comments.

Commissioner James stated that he has no questions or comments.

Commissioner Wallrich asked Ms. Winkle if this is her first of the ten proposed locations.

Alaina Winkle replied yes.

Commissioner Wallrich asked if there is any reason why the transformer can't be moved out of the landscape bed.

The project architect Eric Peterson stated that it needs to be closer to the building.

Commissioner Wallrich asked what is the transformer size.

Eric Pederson replied that it is a standard size.

Commissioner James stated that he has no questions or comments.

Chair Schaeffer asked if there is anyone in the audience wishing to provide testimony.

There was no response.

Motion #4: Close the public hearing.

Motion by: Knieriem

Seconded by: Jakubowski

Approved: (7-0)

Chair Schaeffer asked the other members if they have any questions for the applicant.

Commissioner Wallrich stated that there is less than a 1% slope at the far south end of the site near the public sidewalk, so that might be the perfect place to make a sidewalk connection. Steak-n-Shake provided a sidewalk.

Commissioner Wallrich asked staff how this building aligns with the existing building setbacks to the north and south.

Chris Gruba responded that they align very closely.

Commissioner Wallrich asked staff if the type of fence around the outdoor seating area matches that of the Mexican restaurant located in the same shopping center?

Chris Gruba replied that he is not sure.

Commissioner Wallrich asked about the purpose of the sidewalk located along the drive-through lane curb.

Aliana Winkle explained that it is similar to Chic-fil-et where employees will take orders.

Commissioner Wallrich pointed out on the screen the potential location for a sidewalk connection to the public sidewalk along La Grange Road.

There was some discussion about the why the initial sidewalk connection was removed from the site plan based on discussion at the previous public hearing.

Commissioner James stated that he likes the inclusion of bike racks.

Commissioner Jakubowski stated that she was out of town at the previous public hearing, but she agrees about the inclusion of the proposed bike racks.

There was some discussion about the location of the bike racks. There was consensus that they should remain close to the building.

Commissioner Knieriem asked the applicant if the building exterior will include full size brick.

Aliana Winkle replied yes.

Commissioner James stated that this is the last piece of the puzzle and fits in very well architecturally with the rest of the shopping center.

Commissioner Wallrich takes exception to the architecture and the building materials. She was with the Village during the review of the original Hickory Creek Marketplace PUD.

The intent of a PUD is to "develop with a unified design, providing contiguity between the various elements". The goal is to have center look like it was built at one time by same developer despite the reality of it being built over time. Sparks does not reflect the theme of the center and most especially the outlots. All of our commercial centers have a unified design:

Frankfort Crossings (Jewel) - during the second phase we built a sample brick wall to make sure the brick matched.

Prairie Crossing (Kohl's) - all outlots have the same detail of stone medallions and common materials.

Frankfort Crossing (Aldi, Taco Bell) - these have the same arch and green shutters despite national branded architecture, and this is repeated across the street with dollar store.

Garden Gate (Culvers) - has the same fence design.

Hickory Creek Marketplace - all buildings have the same architecture, even the Steak-n-Shake building.

Even our office centers such as President's Row have matching architecture.

The north and south facades need to reflect the arches - like Steak-n-Shake. Cultured stone is only used on Emagine (formerly Dominicks) as an anchor. The anchor is allowed distinction, but the outlots on La Grange are supposed to have similar architecture to each other. The applicant can use the limestone block on bottom and change up the brick pattern, such as stacking, herringbone, running bond, etc. This is our last outlot, so why are we changing the requirements now? The use of black window frames is an issue as all other windows are anodized aluminum. The ladder on the outside is an issue. Every other fast-food establishment has their ladder located internally. With this proposal you can see the back of the parapet, which is awkward architecture and looks like fake façade. She stated that she appreciates the incorporation of the arches along the roofline of the building. She would like a photo of the brick sample placed adjacent to the existing brick in the shopping center for comparison. She would like this building to look just like the other outlots in terms of the stone base and the window frames and colors. Prairie Crossings, Frankfort Commons, Garden Gate, the Vineyards and other centers all have the same outlot architecture. She doesn't have an issue with the corrugated metal on the façade but doesn't like the flat edge top. She also does not think the red vertical stripe should be approved as it should be considered as additional area of wall signage.

Commissioner Wallrich asked if staff interpreted the sign regulations to include the red vertical stripe on the façade toward the wall signage allowance.

Chris Gruba stated that staff has not interpreted the sign regulations to include the red stripe.

Commissioner Wallrich stated that the edge of the canopy top/roof should be brick instead of metal. The outdoor ladder has not been provided in any other fast-food restaurant. It's not necessary. She likes the arch on the drive-up.

Chris Gruba asked Commissioner Wallrich about her concern about the height of the metal parapet on the north façade.

Commissioner Wallrich clarified that the height of those elements stick slightly above the parapet and can be seen from the back.

Commissioner Wallrich stated that the other outlot buildings have green awnings.

Commissioner Wallrich stated that she likes the articulation of the columns on the west side. Modifying the brick pattern would also be welcome.

Commissioner James stated that he has no comments.

Chair Schaeffer stated that she appreciates the changes to the plans. The applicant has met the intent of the PUD. She has no other comments on the site plan and elevations.

Chair Schaeffer stated that the next topic is traffic circulation.

Commissioner Wallrich stated that she agrees with the engineer that the south access should be a two-way; a landscape island should be added to identify that there is a one-way exit eastbound out of the drive-through circulation lane. A south two-way access would allow more direct access for a garbage truck. If they put landscape islands around the east side of the drive-up and narrow down the one-way running east at the south side of building, people would not head west from the two-way at the south entrance. Make the east parking stalls perpendicular, otherwise if it is not a two-way, they can use the east parking to go around the building.

Chair Schaeffer asked the other members for thoughts on the one way versus two-way south access.

Alana Winkle stated they were seeking counterclockwise circulation for better safety.

Chair Schaeffer pointed out that the wall sign with the arrow on the east façade should point in the direction of the flow of the drive-through traffic.

Alana Winkle agreed and stated that they will make that change.

Chair Schaeffer asked the other members if there were any other comments on the topic of traffic circulation.

Commissioner Markunas stated that he has no other comments on traffic circulation.

Chair Schaeffer asked the other members if there were any comments on loading.

There was no response from the other members.

Chair Schaeffer asked the other members if there were any comments on landscaping.

Commissioner Knieriem stated that the Landscape Plan meets code so there are no issues.

Commissioner Markunas stated that there was a lot of previous discussion related to landscaping. He just wants to see landscaping added around the trash enclosure as it's illustrated on Sheet A305, which shows more landscaping than the Landscape Plan (sheet L-1).

Commissioner James stated that he has nothing to add.

Commissioner Wallrich asked about the location of the junipers that are stated on the Landscape Plan. She can't find them.

Eric Peterson responded.

Commissioner Wallrich asked why are we waiving the 5-foot landscape requirement between the drive aisle and the parking area when of the 12 other fast-food drive-throughs in town, seven comply, two have fences for separation, two predate the ordinance requirements, and one is not next to a parking area.

Commissioner Wallrich asked why the honey locust located on the east side of the site and adjacent to the ring road for the shopping center is coming down. She would rather see that tree kept. She stated that the evergreens along the La Grange on the south end of the site are in bad shape block the view of the site. She would be open to trimming them back or removing them as long as they are replaced.

Aliana Winkle and Eric Pederson both stated that the sight visibility triangle may have been a concern when deciding to remove the 3 trees at the east side of the site, but they can take a look at it.

Chair Schaeffer asked if the lower branches of the Honey locust can be trimmed to allow that tree to remain.

Commissioner Hogan stated that he has nothing to add.

Chair Schaeffer asked the other members if there were any comments on lighting.

Commissioner Hogan stated that he has no issues with respect to lighting.

Commissioner Wallrich asked staff about the color of the light poles. Will they match in style?

Chris Gruba replied that the proposed light pole heads for Sparks Coffee may not exactly match the existing light pole heads in the rest of the plaza. This is because the existing light poles in the shopping center pre-date the widespread use of LED lights and that the older “shoebox” style fixtures may have housed sodium or mercury light bulbs. Manufacturers may no longer provide the “shoebox” light pole heads..

Chair Schaeffer asked the other members if there were any comments about signage.

Commissioner Knieriem stated that he has no comments with respect to signage. The applicant and her architect took the previous comments into account.

Commissioner Markunas stated that he has no comments with respect to signage.

Commissioner James stated that he thinks these (signs) will look cool.

Commissioner Wallrich asked staff if they reviewed the Sign Code in terms of wall sign distance from the walls?

Chris Gruba replied yes.

Chair Schaeffer asked the other members if there were any comments about engineering.

There was no response.

Chair Schaeffer restated the four zoning exceptions that were being requested.

Commissioner Wallrich asked if staff could include a condition that staff check the brick sample to confirm that the proposed brick and stone colors will match the existing outlot brick and stone colors. She would also like a similar condition added for lighting.

Chair Schaeffer replied yes.

Eric Pederson shared the building material samples with the PC/ZBA members. Chris Gruba stated that these conditions can be added to the Major Change motion.

Motion (#5): Recommend to the Village Board approval of a Major Change to the Hickory Creek Marketplace PUD for the proposed Sparks Coffee on Outlot 1E, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on:

1. Subject to final engineering approval;
2. The building exterior shall reflect standard brick instead of thin brick veneer;
3. Landscaping be added around the trash enclosure as illustrated on Sheet A305;

4. A brick sample shall be submitted for staff review to confirm that the proposed brick and stone colors will match the existing outlot brick and stone colors; and,
5. Light fixture and pole details for the proposed parking lot lights shall be submitted for staff review to confirm color consistency with the existing parking lot lights;

and the Major Change to the Hickory Creek Marketplace PUD for the proposed Sparks Coffee on Outlot 1E, shall include the following exceptions:

1. Reduced trash enclosure setback of 5' (10' required from any lot line);
2. Relief from required 5' wide landscape bed adjacent to drive through lanes;
3. Relief from the required sidewalk connection from the building to the existing sidewalk along La Grange Road; and,
4. Relief from the Landscape Ordinance's requirement of installing 1 landscape island or "finger" every 10 parking spaces.

Motion by: Markunas

Seconded by: Knieriem

Approved: (6-1, Wallrich dissenting)

Motion (#6): Recommend to the Village Board approval of a Special Use Permit to allow a carry-out restaurant use on the property located at Outlot 1E in Hickory Creek Marketplace, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval.

Motion by: Knieriem

Seconded by: James

Approved: (7-0)

Motion (#7): Recommend to the Village Board approval of a Special Use Permit to allow drive-up service windows associated with a permitted use on the property located at Outlot 1E in Hickory Creek Marketplace, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval.

Motion by: Knieriem

Seconded by: James

Approved: (7-0)

Motion (#8): Recommend the Village Board approve a Special Use Permit to allow outdoor seating associated with a permitted restaurant on the property located at Outlot 1E in Hickory Creek Marketplace, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval.

Motion by: Hogan

Seconded by: Jakubowski

Approved: (7-0)

Motion (#9): Recommend the Village Board approve a Special Use Permit to allow extended hours of operation (5:30 am – 8 pm, Monday through Saturday and 6 am – 6 pm on Sundays) on the property located at Outlot 1E in Hickory Creek Marketplace, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval.

Motion by: Markunas

Seconded by: James

Approved: (7-0)

Chris Gruba noted that this project would likely continue to the Village Board on June 20th for final action.

D. Public Hearing: 9232 Gulfstream Road, Unit C – 86 Degrees Auto Group LLC

Mike Schwarz presented the staff report.

The applicants, Yaxin Yu and her husband and business partner Mufei “Murphy” Han, approach the podium. They said they would be selling used cars only.

Commissioner Markunas asked if the business is all conducted online or if people come to the location to view cars. He asked if there would be “walk-in” sales. Mr. Han replied that there are times when online customers want to visit the site to inspect vehicles before sales, and that there may also be some walk-in customers. He did note that most sales are conducted online. He said that this would be a new business for them.

Commissioner James asked if their business would require a car trailer to tow vehicles to the site. Mr. Han responded no. He added that they usually obtain most of their cars from the Manheim Auto Auction and drive them to their warehouse.

Commissioner Wallrich asked if they planned to do any auto repair or body work. Mr. Han responded no.

Motion (#10): Close the public hearing.

Motion by: Jakubowski

Seconded by: Wallrich

Approved: (7-0)

Commissioner Knieriem asked if there would be any cars parked in the striped parking lot. Mr. Yu responded no.

D. Plan Commission Report Summary

1. 86 Degrees Auto Group, LLC Special Use Permit for Automobile Sales: 9232 Gulfstream Road, Unit C – Ordinance
(Waive 1st and 2nd Readings)

Accept the Plan Commission recommendation, waive the First and Second Readings, and pass AN ORDINANCE (NO. 3406) GRANTING A SPECIAL USE PERMIT FOR AUTOMOBILE SALES TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (86 DEGREES AUTO GROUP, LLC - 9232 GULFSTREAM ROAD, UNIT C), to permit the operation of 86 Degrees Auto Group, LLC, for automobile sales, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned upon there shall be no sales inventory vehicles displayed or/or stored in the existing exterior striped parking spaces, and the applicant and/or the property owner shall install mesh screening on the existing chain-link fence that encloses the outdoor storage area prior to occupancy of Unit C.

Trustee Savaria made a motion, seconded by Trustee Petrow, to approve the Unanimous Consent Agenda.

Following a motion to approve, Trustees Borrelli, Leddin, Rigoni, Rossi, and Savaria presented a brief overview of the consent agenda docket items under consideration for approval.

Prior to the vote, Trustee Rigoni made the following statement “As many know, I am employed part-time by Robinson Engineering, Ltd. For the record, I am not an owner, officer or registered agent and I do not have any financial interest in Robinson Engineering Ltd. beyond my part-time employment. However, I will be abstaining from line item C-4 on the Consent Agenda. My vote will apply to all other line items.”

Clerk Schubert called the roll. Ayes: Trustees Borrelli, Leddin, Petrow, Rigoni, Rossi, and Savaria. Nays: None. The motion carried.

PLAN COMMISSION REPORT SUMMARY

A. Sparks Coffee Co: Hickory Creek Market Place, Outlot 1E

1. Major Planned Unit Development (PUD) Change – Ordinance
2. Special Use Permits for Carry-Out Restaurant, Drive-Up Service Windows, Outdoor Seating, and Extended Hours of Operation – Ordinance

Trustee Savaria presented a brief overview of the Sparks Coffee Co. development. He reported applicant Aliana Winkle requests Village Board approval of a Major Planned Unit Development (PUD) Change and four special uses for the construction of Sparks Coffee Co., a drive-thru coffee shop, on the final undeveloped outlot in the Hickory Creek Market Place shopping center. The Special Use requests are for a carry-out restaurant, drive-up service windows, outdoor seating, and extended hours of operation to permit a 5:30 A.M. opening. Customers would have the option of using the drive-through windows and taking coffee to-go or parking at the site and ordering from the walk-up window.

At the June 8, 2023 Public Hearing on the project, the Plan Commission discussed the site, architectural, landscape, photometric, and signage plans for the proposed project. The Commissioners forwarded a split (6-1) recommendation to approve the Major PUD Change and four unanimous (7-0) recommendations to the Village Board to grant the special use requests subject to several conditions. The dissenting vote was based on the proposed architecture and the building materials not reflecting a unified design of the architecture of the existing outlots of the original Hickory Creek Market Place PUD.

Trustee Savaria made a motion, seconded by Trustee Leddin, to accept the Plan Commission recommendation, waive the First and Second Readings, and pass an Ordinance approving a Major PUD Change to Hickory Creek Market Place, for the construction of Sparks Coffee Co., a drive-through coffee shop, on Outlot 1E, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned upon final engineering approval; building exterior shall reflect standard brick instead of thin brick veneer; landscaping be added around the trash enclosure as illustrated on Sheet A305; a brick sample shall be submitted for staff review to confirm that the proposed brick and stone colors will match the existing brick and stone colors; and light fixture and pole details for the proposed parking lot lights shall be submitted for staff review to confirm color consistency with the existing parking lot lights.

Trustee Savaria made a motion to accept the Plan Commission recommendations, waive the First and Second Readings, and pass an Ordinance granting Special Use Permits for a carry-out restaurant, outdoor seating, drive-up service windows, and extended hours of operation of 5:30 A.M. Monday through Saturday, and 6:00 A.M. opening on Sundays, to permit the operation of Sparks Coffee Co., proposed for Outlot 1E of the Hickory Creek Market Place, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval.

Mayor Ogle stated the motions will be considered separately and opened the floor for discussion regarding the Major PUD Change request.

Administrator Piscia provided samples of the brick and stone materials proposed for the construction of the building. Members reviewed the samples and questioned if the brick was consistent with the existing brick in the Hickory Creek Market Place shopping center. The size and color of the brick looked similar but were not confirmed to match the existing materials in the shopping center.

Mayor Ogle noted the project architect for Sparks Coffee Co. provided an updated Building Elevations and Color Renderings, along with Sheet A100 (Floor + Roof Plan) to show that the previously proposed exterior roof access ladder has been relocated to the interior of the building which was emailed to the Village Board earlier today.

Mayor Ogle invited trustee and audience comment on the Major PUD Change prior to a vote.

Trustee Rigoni voiced concerns with the architecture of the proposed building, commenting on the stark panel with the red banding on the front of the building in comparison to arches on the other

outlots. She felt it was important for the last outlot in the center to look cohesive with the other outlots in the Hickory Creek Market Place and meet Village standards.

Trustee Savaria echoed Trustee Rigoni's comments, citing the red stripe accent feature on the north façade and the parapet height of the north façade as his main concerns. He preferred to see the brick lowered to match the elevation of the rest of the proposed building. Trustee Savaria asked for clarification regarding the voting procedure.

Attorney Mahoney stated that if the motion is denied, the applicant would have to wait one year for reapplication. He further stated that the Village Board has the authority to send the item back to the Plan Commission or postpone to a certain time.

Trustee Petrow also echoed some of the sentiments expressed and felt it was important for the size of the brick to match the rest of the development.

Trustee Borrelli echoed the concerns expressed with the red stripe and the height of the façade on the north elevation of the building.

Trustee Rossi voiced concern with the red vertical stripe.

Trustee Leddin agreed with the comments of the Trustees and felt it was important for the architecture to be unified with the rest of the shopping center.

Mayor Ogle invited Ms. Winkle to the podium, and he further explained the voting options for the Village Board. Ms. Winkle voiced her preference for the item to return to the Plan Commission.

Trustees Savaria and Leddin requested permission to withdraw the second and the motion on the table related to Sparks Coffee Co. The trustees unanimously consented.

Trustee Savaria made a motion, seconded by Trustee Leddin, to refer the proposed Sparks Coffee Co. back to the Plan Commission for further consideration.

Clerk Schubert called the roll. Ayes: Trustees Borrelli, Leddin, Petrow, Rigoni, Rossi, and Savaria. Nays: None. The motion carried.

Mayor Ogle stated the Village Board remanded Sparks Coffee Co. back to the Plan Commission.

B. Grounded Coffee Bar Special Use Permit for Outdoor Seating: 19 Ash Street - Ordinance (Waive 1st and 2nd Readings)

Trustee Rigoni presented a brief overview of the Grounded Coffee Bar special use request. She reported that applicant Stephen Giannone proposes to install a temporary, outdoor seating area along the north façade of the Olde Frankfort Mall building, adjacent to the existing Grounded Coffee Bar, located at 19 Ash Street. The outdoor seating area would measure approximately 735 square feet and would be enclosed by the existing split rail fence adjacent to the public sidewalk













Existing outdoor fencing for Camino Viejo (Outlot 1D to the north)





LEGAL DESCRIPTION

PARCEL 1: OUTLOT 1E IN HICKORY CREEK MARKET PLACE SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 15, 1998 AS DOCUMENT R98-081103, IN WILL COUNTY, ILLINOIS.

PARCEL 2: EASEMENT FOR THE BENEFIT OF PARCEL 1 FOR INGRESS AND EGRESS AS CREATED BY RECIPROCAL EASEMENT AGREEMENT DATED OCTOBER 15, 1997 AND RECORDED OCTOBER 27, 1997 AS DOCUMENT NUMBER R97-094266; AS AMENDED BY FIRST AMENDMENT TO RECIPROCAL EASEMENT AGREEMENT RECORDED MAY 4, 2009 AS DOCUMENT NUMBER R2009073603, AND AS AMENDED BY DOCUMENT RECORDED DECEMBER 5, 2006 AS DOCUMENT NUMBER R2006-201080.

PARCEL 3: EASEMENT FOR THE BENEFIT OF PARCEL 1 AS GRANTED IN RECIPROCAL CONSTRUCTION EASEMENT AND OPERATING AGREEMENT DATED AUGUST 25, 1998 AND RECORDED AUGUST 27, 1998 AS DOCUMENT NUMBER R98-100594 MADE BY DOMINIC'S REALTY TRUST AND T-L HICKORY CREEK MARKET PLACE INC.

NOTES

- THIS SURVEY IS BASED ON THE LEGAL DESCRIPTION AND EASEMENTS OF THE RECORDED PLAT OF HICKORY CREEK SUBDIVISION, PER DOCUMENT NO. R98-081103, WILL COUNTY PUBLIC RECORDS.
- THE BASIS OF BEARINGS FOR THIS SURVEY IS THE ILLINOIS STATE PLANE COORDINATE SYSTEM, NAD 83 (2011), ZONE 1201 (ILLINOIS EAST)
- THIS SITE FALLS WITHIN THE FOLLOWING ZONE

"OTHER FLOOD AREAS: ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD FLOODPLAIN)

AS DEFINED BY THE FLOOD INSURANCE RATE MAP FOR THE VILLAGE OF FRANKFORT, COMMUNITY NUMBER 170701, MAP NUMBER 171970213G HAVING A REVISED DATE OF FEBRUARY 15, 2019

ABBREVIATIONS

O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
TF = TOP OF FOUNDATION
FF = FINISHED FLOOR
FES = FLARED END SECTION
VCP = VITRIFIED CLAY PIPE
DIP = DUCTILE IRON PIPE
PVC = POLYVINYL CHLORIDE
RCP = REINFORCED CONCRETE PIPE
CMP = CORRUGATED METAL PIPE
(R) = RECORD BEARING OR DISTANCE
(M) = MEASURED BEARING OR DISTANCE
(C) = CALCULATED BEARING OR DISTANCE
(D) = DEED BEARING OR DISTANCE
N = NORTH
S = SOUTH
E = EAST
W = WEST
A = ARC LENGTH
R = RADIUS
CH = CHORD
B.S.L. = BUILDING SETBACK LINE
U.E. = UTILITY EASEMENT
D.E. = DRAINAGE EASEMENT
P.U.E. = PUBLIC UTILITY EASEMENT
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
BC = BACK OF CURB
BDC = BACK OF DEPRESSED
FL = FLOW LINE
C = CONCRETE
P = PAVEMENT
G = GRAVEL
EW = EDGE OF WALK
TW = TOP OF WALL
TP = TOP OF PIPE
IE = INVERT ELEVATION
RL = PROPERTY LINE
DS = DOWN SPOUT
SL = SHORE LINE
TSF = TRANSFORMER
B = PAVERS

LINE LEGEND

— LIMITS OF LAND PER LEGAL DESCRIPTION
— ADJACENT LAND
— PARCEL LINE
— EASEMENT LINE
— CENTERLINE
— BUILDING SETBACK LINE
— SECTION LINE
— EXISTING CONTOUR

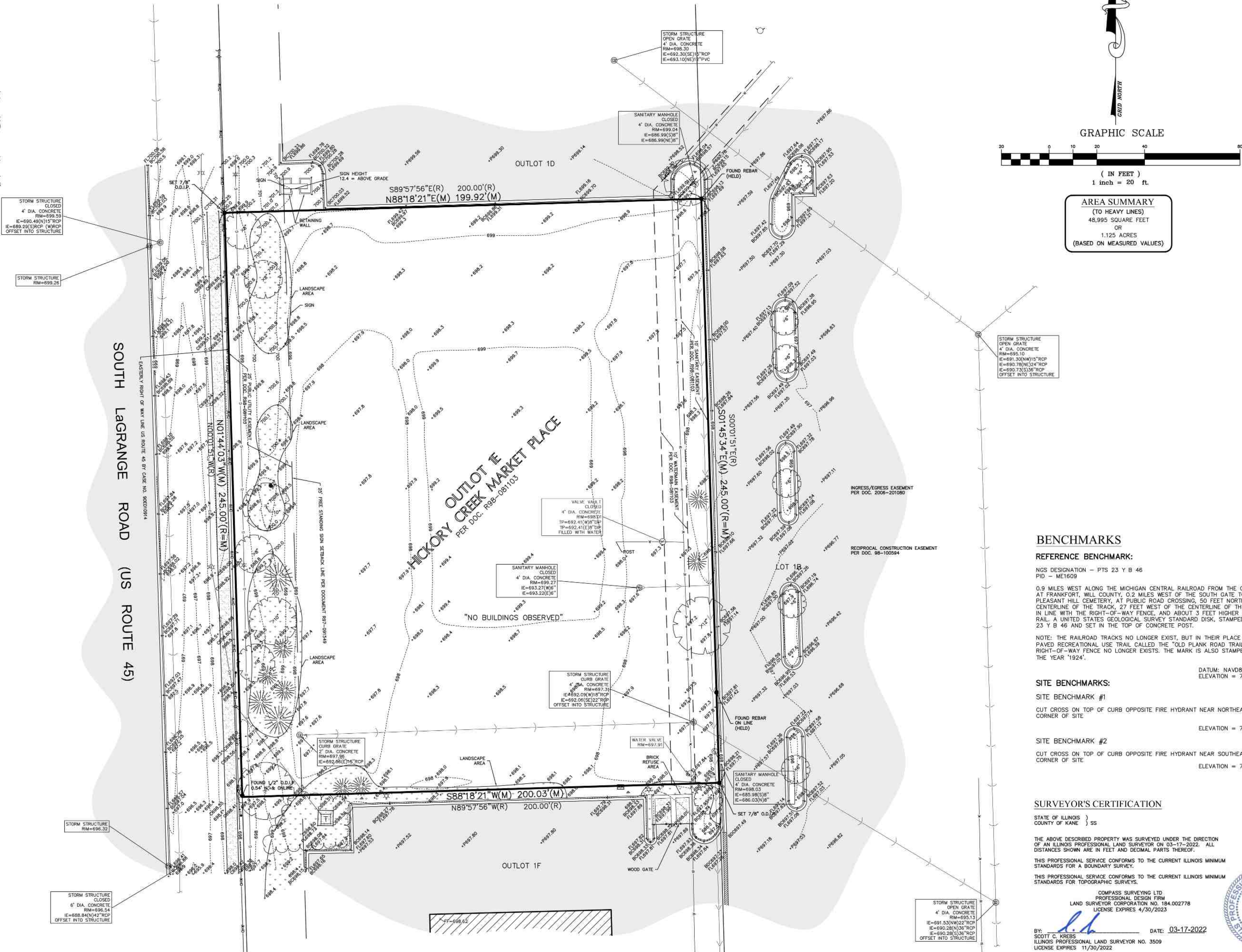
LEGEND

- FOUND 7/8" O.D.I.P. UNLESS OTHERWISE NOTED (HELD LOCATION)
- CONCRETE MONUMENT
- + CROSS IN CONCRETE
- ⊙ MANHOLE
- ⊙ STORM STRUCTURE
- ⊙ SANITARY MANHOLE
- ⊙ CLEANOUT
- ⊙ FLARED END SECTION
- ⊙ TRANSFORMER PAD
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ ELECTRIC PEDESTAL
- ⊙ ELECTRIC MARKER
- ⊙ UTILITY POLE
- ⊙ UTILITY POLE W/LIGHT
- ⊙ UTILITY POLE W/TSF
- ⊙ GUY POLE
- ⊙ OVERHEAD TRAFFIC SIGNAL
- ⊙ TRAFFIC SIGNAL MANHOLE
- ⊙ LIGHT
- ⊙ LIGHT POLE
- ⊙ HAND HOLE
- ⊙ VALVE VAULT
- ⊙ FIRE HYDRANT
- ⊙ IRRIGATION CONTROL VALVE
- ⊙ POST INDICATOR VALVE
- ⊙ SIAMSE WATER CONNECTION
- ⊙ WATER MARKER
- ⊙ WATER METER
- ⊙ VALVE BOX
- ⊙ B/BOX
- ⊙ SPRINKLER CONTROL VALVE
- ⊙ TELEPHONE MANHOLE
- ⊙ TELEPHONE NETWORK INTERFACE
- ⊙ TELEPHONE MARKER
- ⊙ TELEPHONE PEDESTAL
- ⊙ CABLE TELEVISION PEDESTAL
- ⊙ CONTROL BOX
- ⊙ WETLAND FLAG
- ⊙ GAS METER
- ⊙ GAS VALVE
- ⊙ GAS WORKER
- ⊙ DOWN SPOUT
- ⊙ BORING HOLE
- ⊙ MONITORING WELL
- ⊙ GATE POST
- ⊙ BOLLARD POLE
- ⊙ SIGN
- ⊙ FLAG POLE
- ⊙ MAILBOX
- ⊙ SANITARY SEWER
- ⊙ STORM SEWER
- ⊙ WATER MAIN
- ⊙ GAS MAIN
- ⊙ OVERHEAD WIRES
- ⊙ TELEPHONE LINE
- ⊙ CONFERUS TREE W/APPROX. DIAMETER
- ⊙ DECIDUOUS TREE W/APPROX. DIAMETER
- ⊙ MULTI-STEM
- ⊙ (DRIP LINE SHOWN IS APPROXIMATE)
- ⊙ TREE LINE
- ⊙ ELEVATION
- ⊙ BITUMINOUS PAVEMENT
- ⊙ CONCRETE SURFACE
- ⊙ DEPRESSED CURB
- ⊙ GRAVEL SURFACE
- ⊙ LANDSCAPE AREA
- ⊙ STONE SURFACE
- ⊙ DETECTABLE TACTILE WARNING SURFACE
- ⊙ BRICK PAVERS
- ⊙ WOOD FENCE
- ⊙ CHAIN LINK FENCE
- ⊙ METAL FENCE
- ⊙ METAL GUARDRAIL
- ⊙ OVERHEAD TRAFFIC ARM

RECEIVED

By Christopher Gruba at 10:09 am, May 11, 2022

BOUNDARY AND TOPOGRAPHIC SURVEY



BENCHMARKS

REFERENCE BENCHMARK:

NSS DESIGNATION - PTS 23 Y B 46
PID - ME1609

0.9 MILES WEST ALONG THE MICHIGAN CENTRAL RAILROAD FROM THE CITY HALL AT FRANKFORT, WILL COUNTY, 0.2 MILES WEST OF THE SOUTH GATE TO THE PLEASANT HILL CEMETERY, AT PUBLIC ROAD CROSSING, 50 FEET NORTH OF THE CENTERLINE OF THE TRACK, 27 FEET WEST OF THE CENTERLINE OF THE ROAD, IN LINE WITH THE RIGHT-OF-WAY FENCE, AND ABOUT 3 FEET HIGHER THAN THE RAIL & UNITED STATES GEOLOGICAL SURVEY STANDARD DISK, STAMPED PTS NO 23 Y B 46 AND SET IN THE TOP OF CONCRETE POST.

NOTE: THE RAILROAD TRACKS NO LONGER EXIST, BUT IN THEIR PLACE IS A PAVED RECREATIONAL USE TRAIL CALLED THE "OLD PLANK ROAD TRAIL". THE RIGHT-OF-WAY FENCE NO LONGER EXISTS. THE MARK IS ALSO STAMPED WITH THE YEAR "1924".

DATUM: NAVD83 DATUM
ELEVATION = 745.66

SITE BENCHMARKS:

SITE BENCHMARK #1

CUT CROSS ON TOP OF CURB OPPOSITE FIRE HYDRANT NEAR NORTHEAST CORNER OF SITE

ELEVATION = 704.88

SITE BENCHMARK #2

CUT CROSS ON TOP OF CURB OPPOSITE FIRE HYDRANT NEAR SOUTHEAST CORNER OF SITE

ELEVATION = 702.87

SURVEYOR'S CERTIFICATION

STATE OF ILLINOIS
COUNTY OF KANE } SS

THE ABOVE DESCRIBED PROPERTY WAS SURVEYED UNDER THE DIRECTION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR ON 03-17-2022. ALL DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

COMPASS SURVEYING LTD.
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184.002778
LICENSE EXPIRES 4/30/2023

BY: SCOTT C. KREBS DATE: 03-17-2022
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509
LICENSE EXPIRES 11/30/2022



Know what's below.
Call before you dig.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS. THE SURVEYOR HAS NOT GUARANTEED THE LOCATION, DEPTH, OR CHARACTER OF THE UTILITIES SHOWN. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE COMPLETELY ACCURATE. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY CHANGES TO THE UTILITIES SINCE THE DATE OF THE SURVEY. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY CHANGES TO THE UTILITIES SINCE THE DATE OF THE SURVEY. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY CHANGES TO THE UTILITIES SINCE THE DATE OF THE SURVEY.

NO.	DATE	BY	REVISIONS
1	03-24-22	PC	JK
2	03-24-22	PC	JK
3	03-24-22	PC	JK
4	03-24-22	PC	JK
5	03-24-22	PC	JK
6	03-24-22	PC	JK
7	03-24-22	PC	JK
8	03-24-22	PC	JK
9	03-24-22	PC	JK
10	03-24-22	PC	JK

PROJECT: Seven Brew - Frankfort

CLIENT: Watermark Engineering Resources, LTD.
2631 Ginger Woods Parkway, Suite 100
Frankfort, IL 60142

ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING

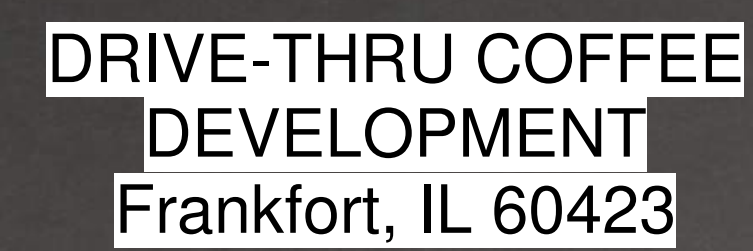
2631 GINGER WOODS PARKWAY, STE. 100
FRANKFORT, IL 60142
PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

SCALE: 1" = 20'

1 OF 1

PROJ. NO.: 22.0067

By Christopher Gruba at 4:38 pm, Jul 24, 2023



KEYSTONE
PLANNING+DESIGN

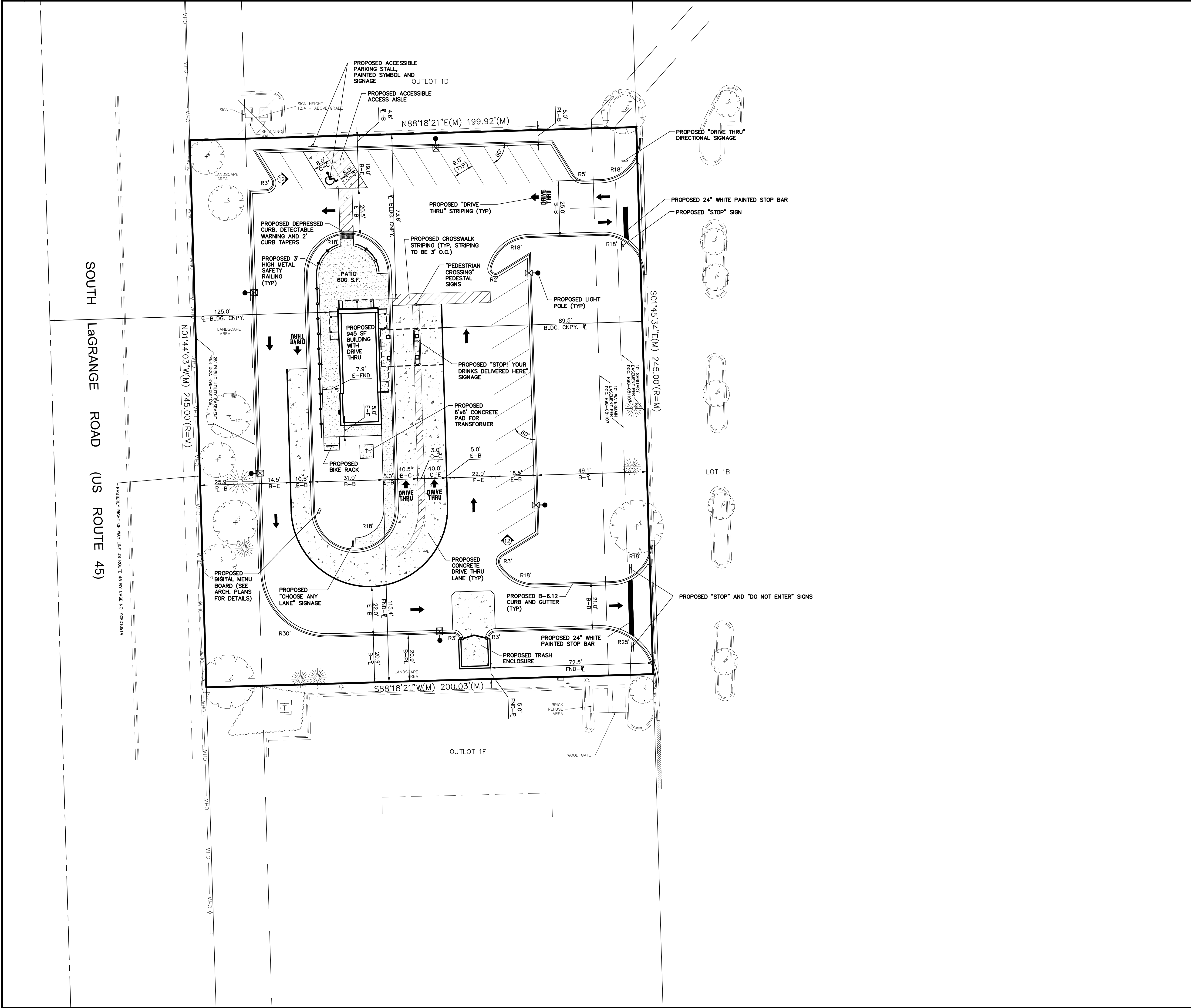


KEYSTONE
CONSTRUCT, LLC

No	Description	Date
.	CONCEPT	2/14/2022
	STAFF RVW	5/28/2022

COVER

XG000



GENERAL NOTES:

1. THESE PLANS ARE BASED ON THE (BOUNDARY AND TOPOGRAPHIC SURVEY)
(SURVEY PROJECT #22.0067 DATED 03/24/2022)
PREPARED BY: COMPASS SURVEYING LTD
2631 GINGER WOODS PARKWAY, STE 100, AURORA, IL 60502
(630) 820-9100

2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

ON SITE PARKING DATA

REGULAR SPACES	23
ADA ACCESSIBLE SPACES	1
TOTAL SPACES	24

PARKING REQUIREMENT = 1 SPACE PER 75 S.F. OF BUILDING AND OUTDOOR DINING AREA PLUS 1 SPACE PER 2 EMPLOYEES.

945 SF + 600 SF/75 + 5 EMPLOYEES/2 = 24 SPACES REQ.

SITE DATA

LOT AREA	=	48,995 S.F. (1.125 AC.)
PROPOSED PERVIOUS	=	21,250 S.F. (43.4%)
EXISTING PERVIOUS	=	48,995 S.F. (100%)
PROPOSED IMPERVIOUS	=	27,745 S.F. (56.6%)
EXISTING IMPERVIOUS	=	0 S.F. (0%)
BUILDING AREA	=	945 S.F.
OUTDOOR DINING AREA	=	600 S.F.

- GEOMETRIC PLAN NOTES:**
1. PROPOSED IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE WESTERN PROPERTY LINE.
 2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
 3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
 5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

SITE PLAN

DATE	06/17/22
REVISIONS	PER VILLAGE COMMENT LTR DATED 6/7/22
1	PER 7/1/22 STAFF COMMENTS AND 7/26/22 ENGINEERING COMMENTS
2	PER 9/2/22 ENGINEERING COMMENTS
3	PER PC WORKSHOP COMMENTS
4	DIGITAL MENU BOARD LOCATION ADDED PER PC COMMENTS
5	2/29/23

Prepared For:

ALIANA WINKLE
Frankfort, IL

SPARKS COFFEE
S. La Grange Road, South of W. Laporte Road
Frankfort, Illinois

Prepared By:

Watermark Engineering Resources
watermark-engineering.com | 2631 Ginger Woods Play | Aurora, IL 60502 | (630) 375-1800

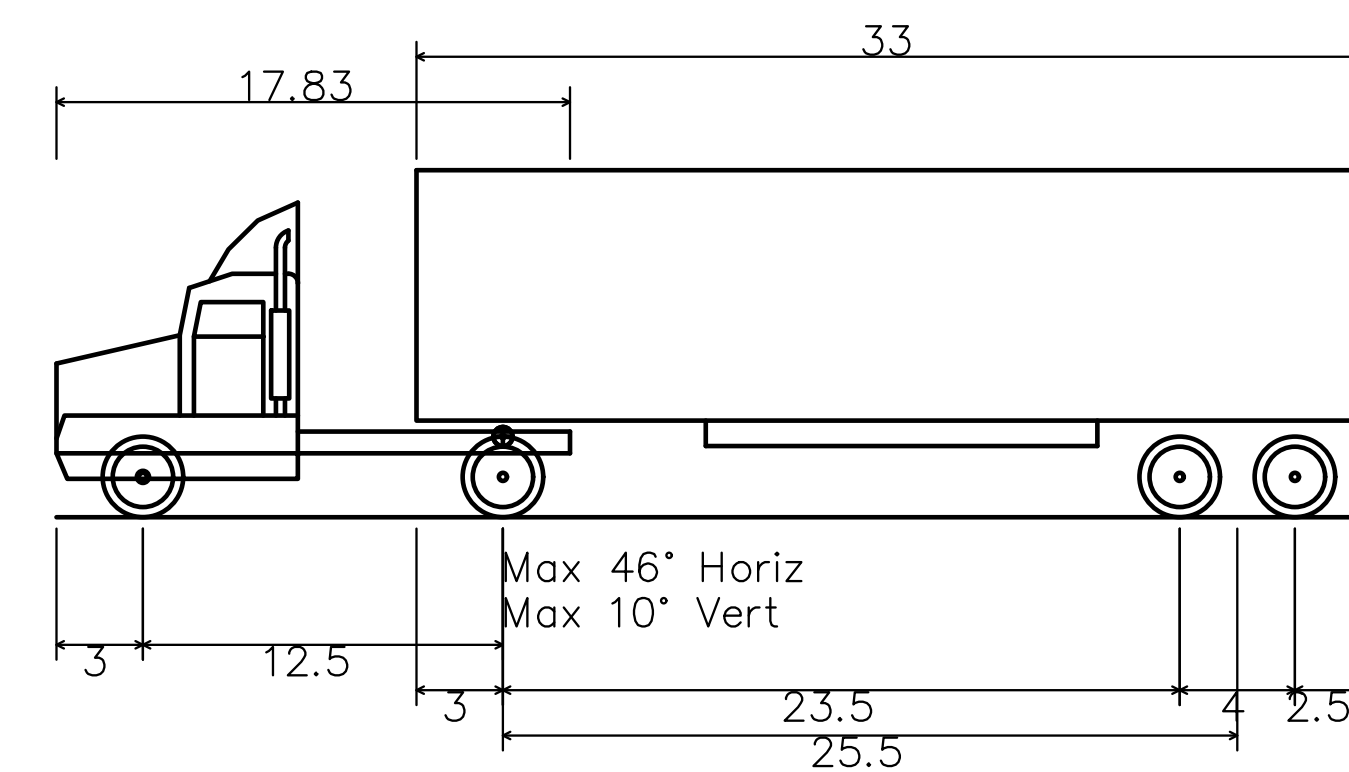
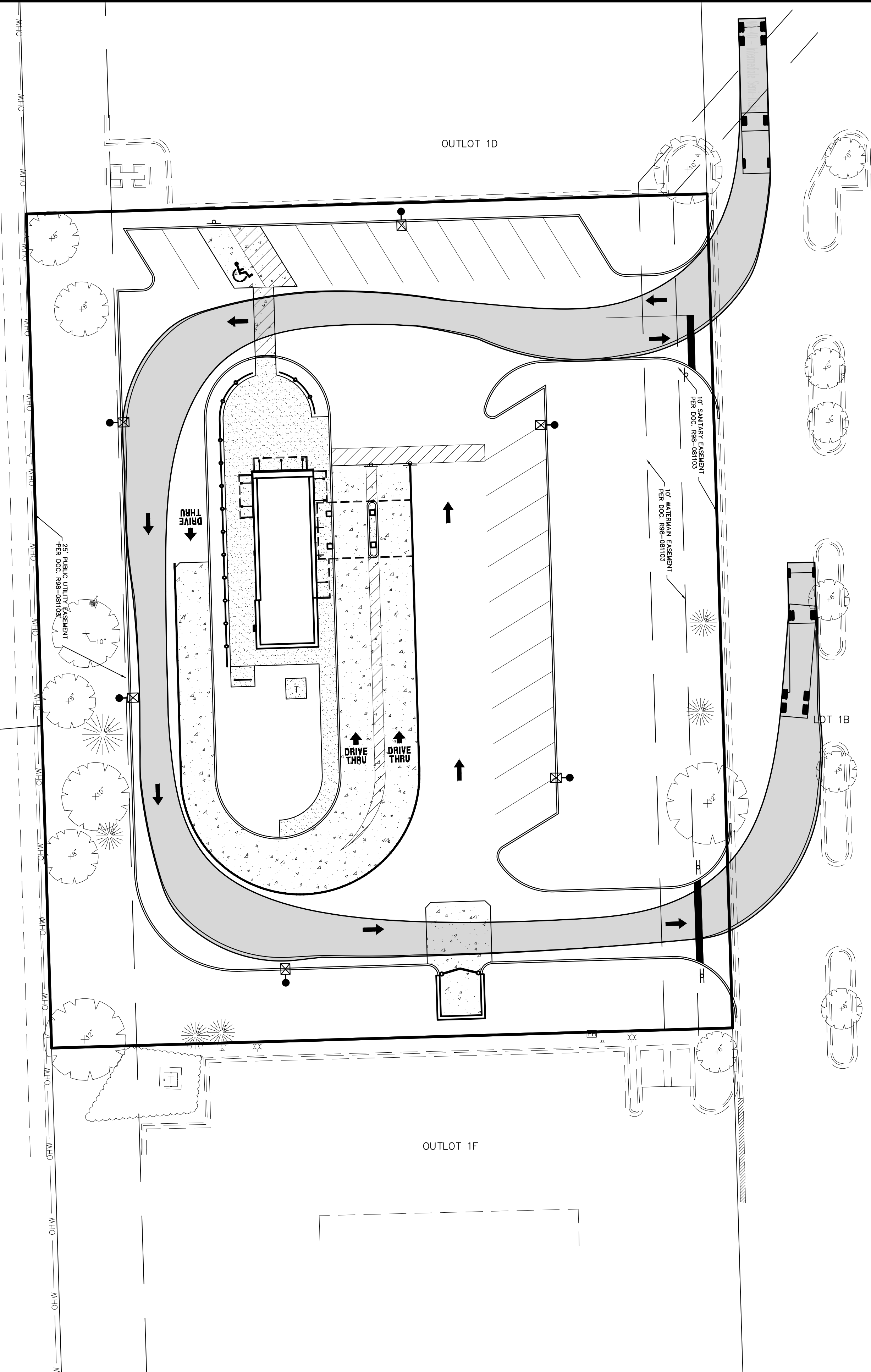
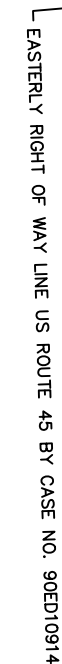
CHECKED BY: J. MILLER
DESIGN BY: D. OLSON
DRAWN BY: D. OLSON
DATE: MAY 26, 2022
SCALE: 1" = 20'
PROJECT NO.: 22-026

1 of 1

SITE PLAN

By Christopher Gruba at 1:12 pm, Jul 25, 2023

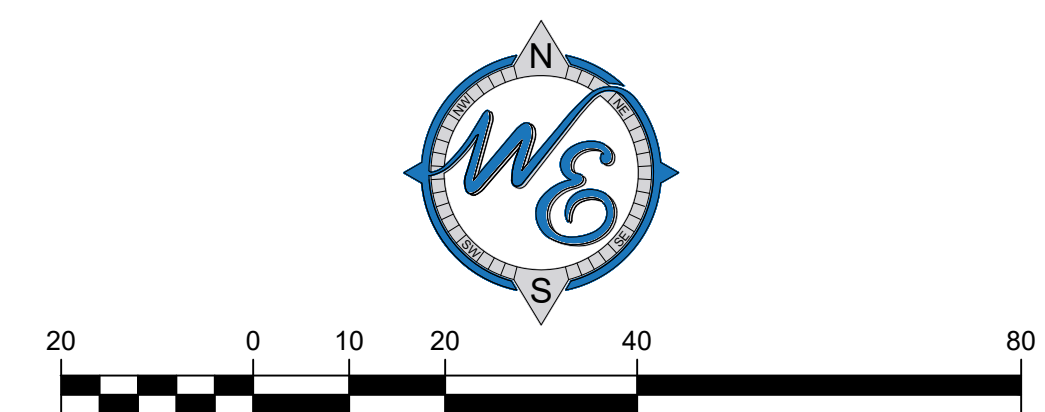




WB-40 – Intermediate Semi-Trailer

Overall Length	40'0"
Overall Width	8'6"
Overall Body Height	13'6"
Min Body Ground Clearance	1'6"
Track Width	5'6"
Lock-to-lock time	10.0 sec
Curb to Curb Turning Radius	20.0 ft

45.500ft
8.000ft
12.052ft
1.334ft
8.000ft
4.00s
40.000ft



DELIVERY TRUCK CIRCULATION PLAN

CHECKED BY: J.MILLER

DESIGN BY: D.OLSON

DRAWN BY: D. OLSON

DATE: NOVEMBER 28, 2022

SCALE: 1" = 20'

PROJECT NO.: 22-026

ALIANA WINKLE
Frankfort, IL

CAFFEINATED CONCEPTS
La Grange Road
Frankfort, Illinois

Prepared By:

Prepared For:

Wat Ermark 
Engineering
RESOURCES

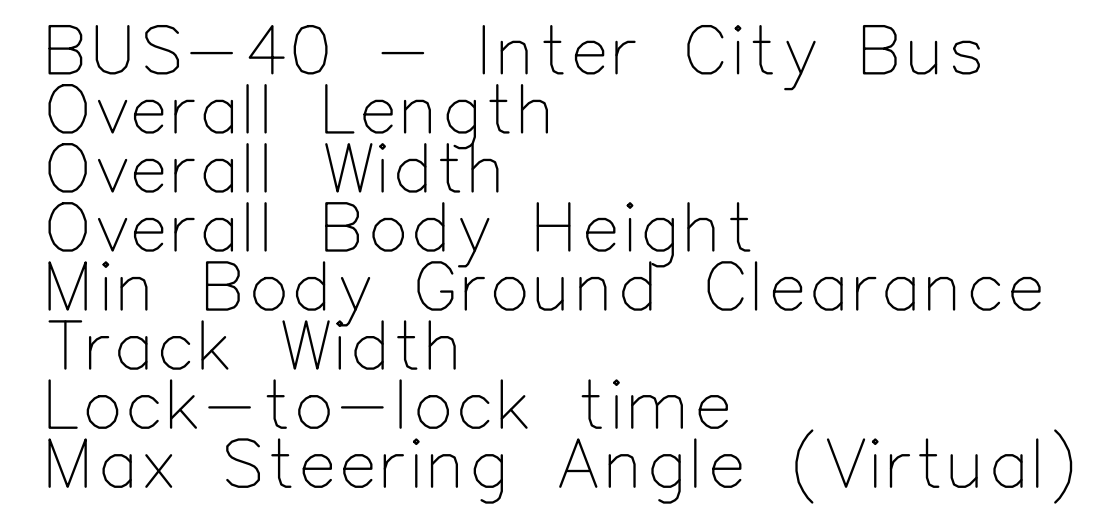
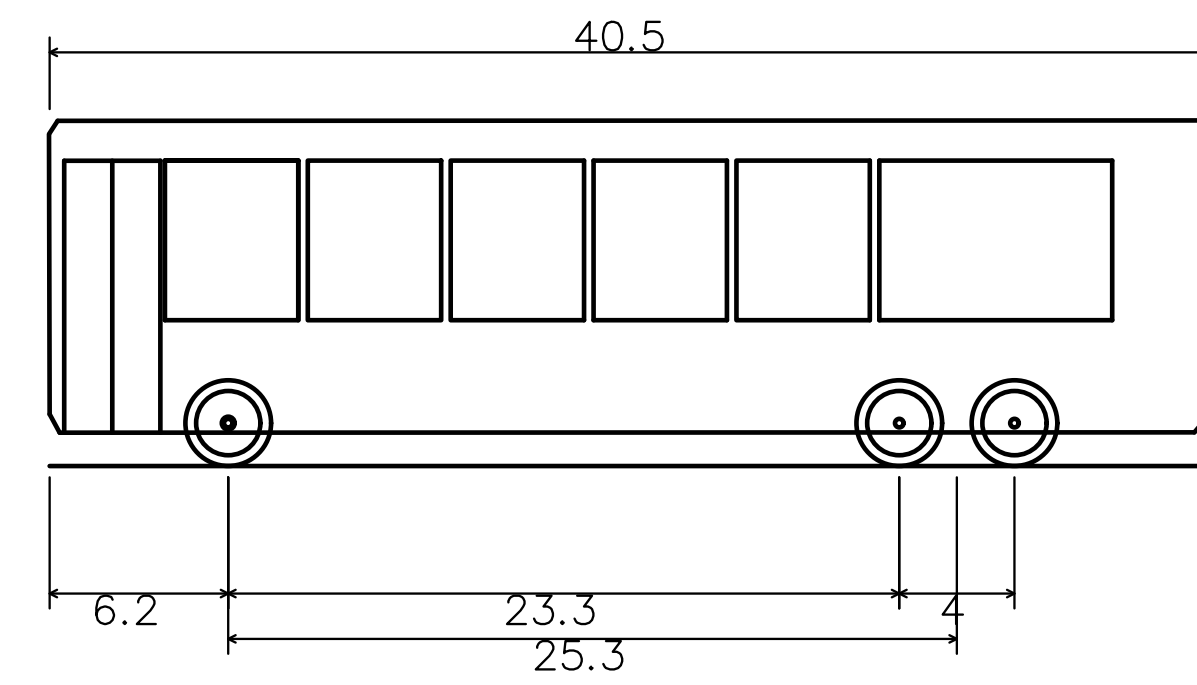
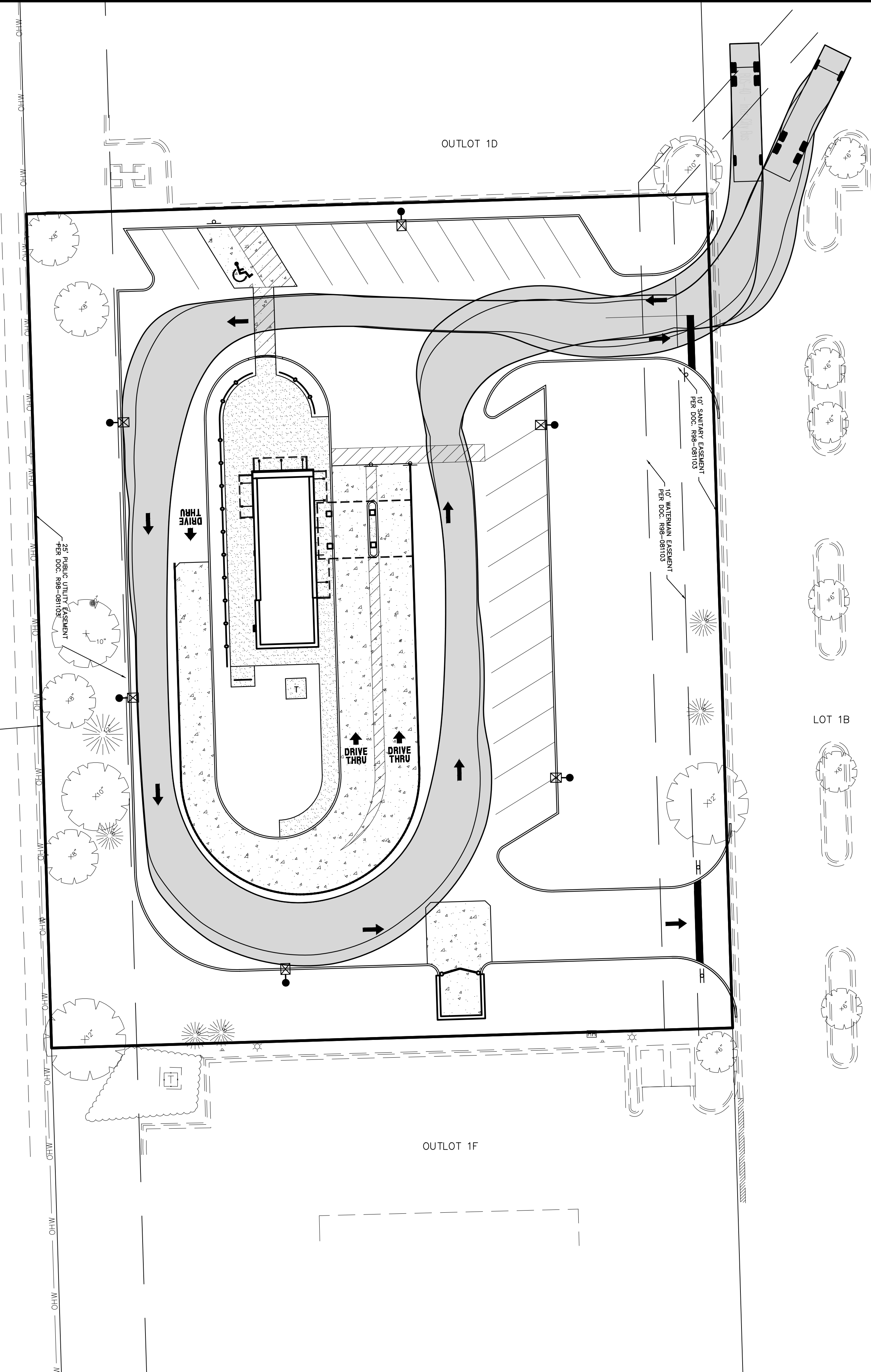
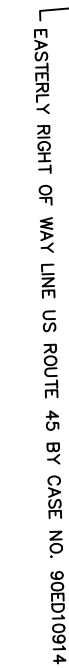
2831 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 471-1000
k-engineering.com

watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

PROJECT NO.: ZZ-020	watermark engineering, inc.
---------------------	-----------------------------

DELIVERY TRUCK CIRCULATION PLAN

1 of 1



Overall Length

Overall Width

Overall Body Height

Min Body Ground Clearance

Track Width

Lock-to-lock time

Max Steering Angle (Virtual)

40.500ft
8.500ft
12.000ft
1.158ft
8.500ft
5.00s
41.90°

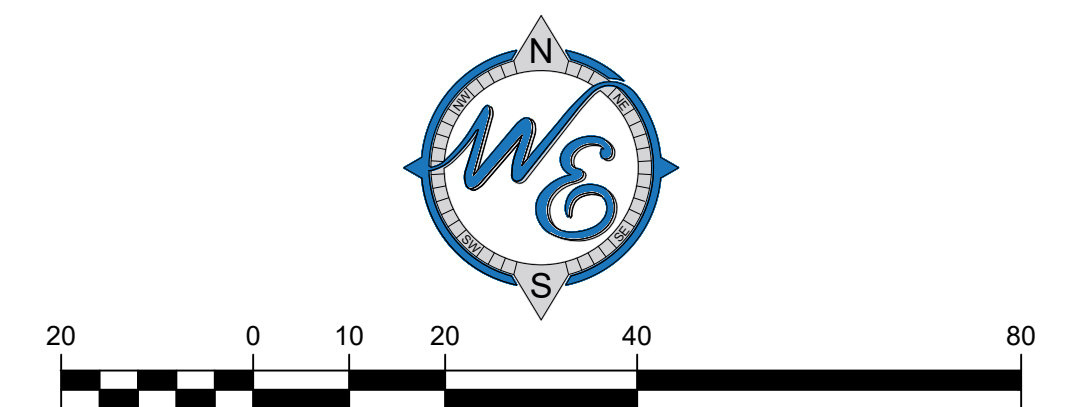
8.500ft

12.000ft

1.158ft

8.500ft

5.00s

 41.90° 

FIRE TRUCK CIRCULATION PLAN

DESIGN BY: D. OLSON

DESIGN BY: D. OLSON

DESIGN BY: D. OLSON

DESIGN BY: D. OLSON

DESIGN BY: D. OLSON

DESIGN BY: D. OLSON

DESIGN BY: D. OLSON

ALIANA WINKLE
Frankfort, IL

ALIANA WINKLE
Frankfort, IL

ALIANA WINKLE
Frankfort, IL

ALIANA WINKLE
Frankfort, IL

ALIANA WINKLE
Frankfort, IL

Prepared By:

Prepared By:

Prepared By:

Prepared By:

Prepared By:

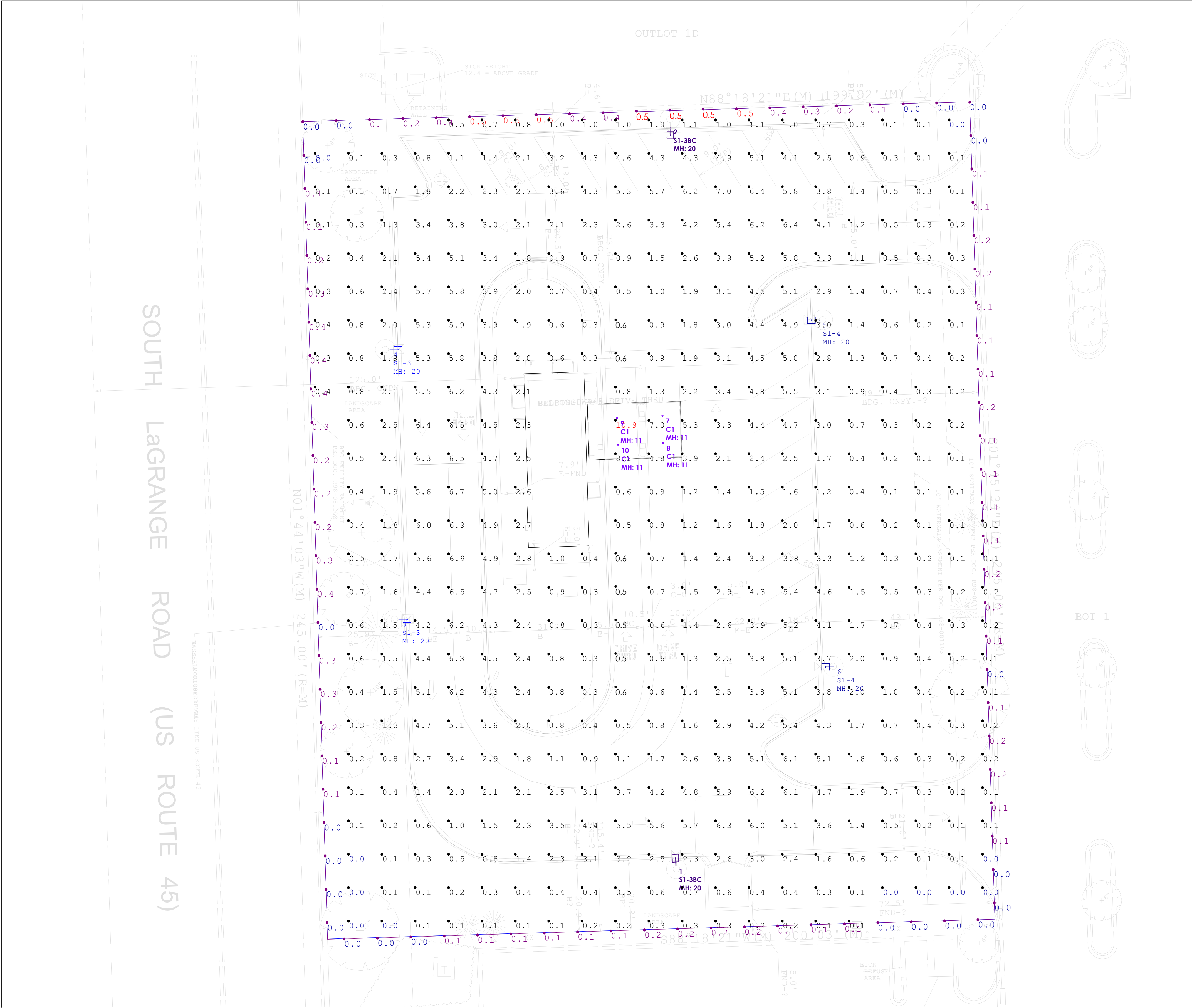
Prepared By:

FIRE TRUCK CIRCULATION PLAN

Luminaire Schedule - Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.										
Symbol	Qty	Tag	Arrangement	Luminaire Lumens	Arr. Lum. Lumens	Luminaire Watts	Arr. Watts	LLF	Manufacturer	Description
	4	C1	Single	996	996	14.4	14.4	0.900	DALS Lighting Inc.	RGR4-CC-XX
	2	S1-3	Single	21714	21714	153.6	153.6	0.900	BEACON PRODUCTS	RAR2-320L-165-4K7-3-X-AX-WHX
	2	S1-3BC	Single	12760	12760	145	145	0.900	BEACON PRODUCTS	RAR-2-320L-165-4K7-3-AX-WHX-BC
	2	S1-4	Single	21310	21310	153.6	153.6	0.900	BEACON PRODUCTS	RAR2-320L-165-4K7-4W-X-AX-WHX

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Max/Min	Avg/Min	Description	
PROPERTY LINES	Illuminance	Fc	0.15	0.5	0.0	N.A.	N.A.	READINGS @ GRADE	
SITE Planar	Illuminance	Fc	2.11	10.9	0.0	N.A.	N.A.	READINGS @ GRADE	
PARKING LOT	Illuminance	Fc	3.46	7.0	0.5	14.00	6.92	READINGS @ GRADE	

Luminaire Location Summary				
LumNo	Label	Mtg Ht	Orient	Tilt
1	RAR-2-320L-165-4K7-3-BC_1	20	92	0
2	RAR-2-320L-165-4K7-3-BC_1	20	270	0
3	RAR2-320L-165-4K7-3 (1)	20	0	0
4	RAR2-320L-165-4K7-3 (1)	20	0	0
5	RAR2-320L-165-4K7-4W (1)	20	180	0
6	RAR2-320L-165-4K7-4W (1)	20	180	0
7	RGR4	11	0	0
8	RGR4	11	0	0
9	RGR4	11	0	0
10	RGR4	11	0	0



PARKING LOT DESIGN GUIDE	MAINTAINED HORIZONTAL		MAINTAINED VERTICAL		MAXIMUM	
	APPLICATION AND TASK	AVERAGE (FC)	RANGE (FC)	AVERAGE (FC)	RANGE (FC)	AVG:MIN
PARKING (UNCOVERED) ZONE 3 (URBAN)	1.5	0.75 - 3	0.8	0.4 - 1.6	4:1	15:1
PARKING (UNCOVERED) ZONE 2 (SUBURBAN)	1	0.5 - 2	0.6	0.3 - 1.2	4:1	15:1
SAFETY (BUILDING EXTERIOR)	1	0.5 - 2	-	-	FOR SECURITY ISSUES, RAISE AVG. TO 3	
SIMPLIFIED RECOMMENDATIONS BASED ON IES 'THE LIGHTING HANDBOOK' 10TH EDITION AND IES RP-20-14. INDIVIDUAL APPLICATIONS WILL DETERMINE SPECIFIC RECOMMENDATIONS. PLEASE REFER TO THE MOST RECENT HANDBOOK FOR A MORE DETAILED EVALUATION AND ADDITIONAL APPLICATIONS. THESE RECOMMENDATIONS DO NOT SUPERCEDE ANY APPLICABLE CODES.						

NOTES
PG-ENLIGHTEN IS NEITHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE. CODE COMPLIANCE REVIEW BY OTHERS.
ANY VARIANCE FROM REFLECTANCE VALUES, OBSTRUCTIONS, LIGHT LOSS FACTORS OR DIMENSIONAL DATA WILL AFFECT THE ACTUAL LIGHT LEVELS OBTAINED.
THIS ANALYSIS IS A MATHEMATICAL MODEL AND CAN BE ONLY AS ACCURATE AS IS PERMITTED BY THE THIRD-PARTY SOFTWARE AND THE IES STANDARDS USED.
FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR FIELD CONDITIONS. THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES.
FIXTURE TYPES AND QUANTITIES BASED ON PROVIDED LAYOUT AND DRAWINGS ARE FOR REFERENCE ONLY. TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS.
CALCULATION GRID VALUES 10'-0" O.C.



DRAWN BY:
Josh Burge
josh.burge@pg-enlighten.com
847.228.1199

PG CONTACT:
Marc Pilipuf
Marc.Pilipuf@pg-enlighten.com
847.228.1199

1 2 3
REVISIONS

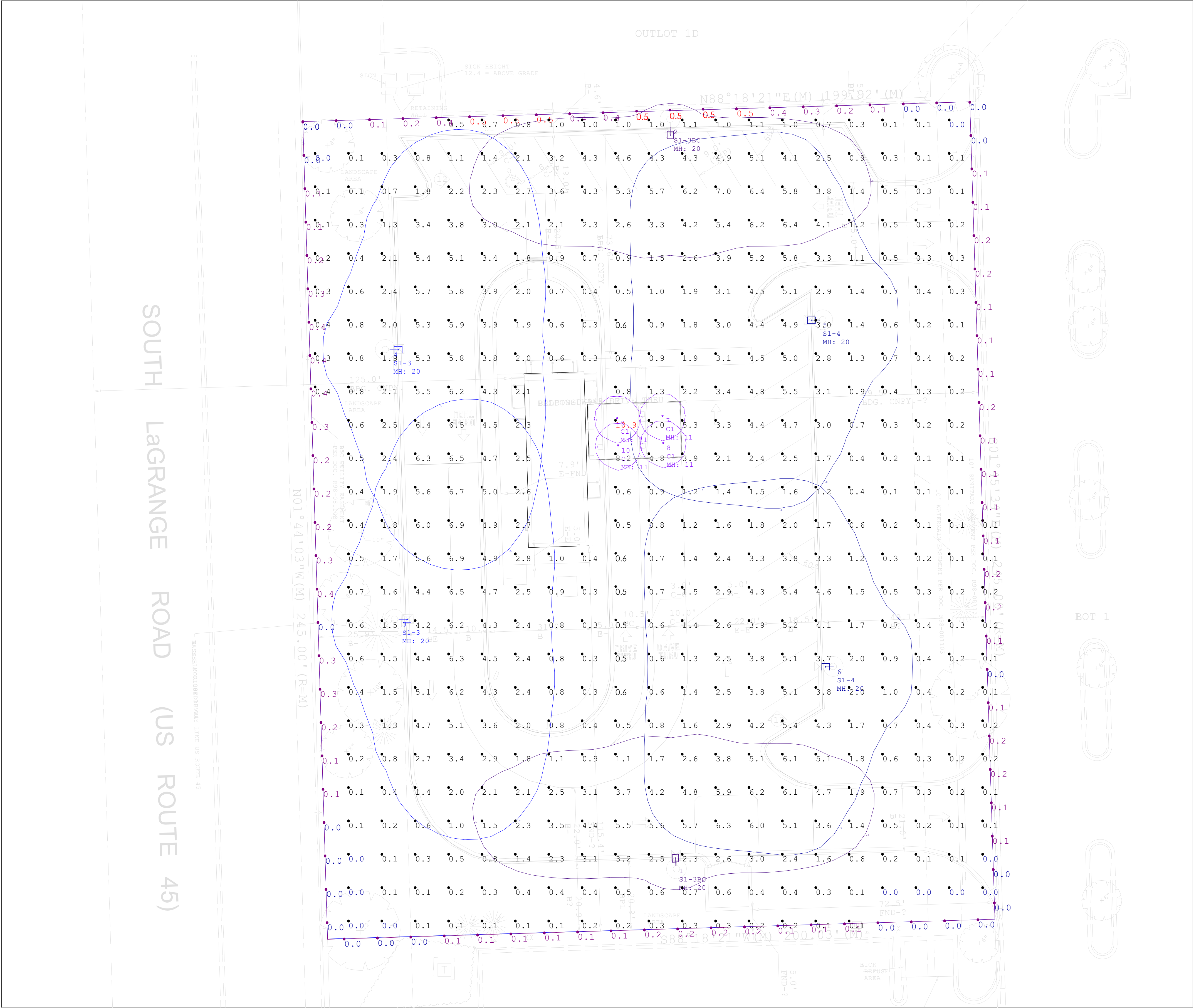
PROJECT NAME:
FRANKFORT COFFEE

CLIENT NAME:
KEYSTONE PLANNING + DESIGN

Luminaire Schedule - Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.										
Symbol	Qty	Tag	Arrangement	Luminaire Lumens	Arr. Lum. Lumens	Luminaire Watts	Arr. Watts	LLF	Manufacturer	Description
	4	C1	Single	996	996	14.4	14.4	0.900	DALS Lighting Inc.	RGR4-CC-XX
	2	S1-3	Single	21714	21714	153.6	153.6	0.900	BEACON PRODUCTS	RAR2-320L-165-4K7-3-X-AX-WHX
	2	S1-3BC	Single	12760	12760	145	145	0.900	BEACON PRODUCTS	RAR-2-320L-165-4K7-3-AX-WHX-BC
	2	S1-4	Single	21310	21310	153.6	153.6	0.900	BEACON PRODUCTS	RAR2-320L-165-4K7-4W-X-AX-WHX

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Max/Min	Avg/Min	Description	
PROPERTY LINES	Illuminance	Fc	0.15	0.5	0.0	N.A.	N.A.	READINGS @ GRADE	
SITE Planar	Illuminance	Fc	2.11	10.9	0.0	N.A.	N.A.	READINGS @ GRADE	
PARKING LOT	Illuminance	Fc	3.46	7.0	0.5	14.00	6.92	READINGS @ GRADE	

Luminaire Location Summary				
LumNo	Label	Mtg Ht	Orient	Tilt
1	RAR-2-320L-165-4K7-3-BC_1	20	92	0
2	RAR-2-320L-165-4K7-3-BC_1	20	270	0
3	RAR2-320L-165-4K7-3 (1)	20	0	0
4	RAR2-320L-165-4K7-3 (1)	20	0	0
5	RAR2-320L-165-4K7-4W (1)	20	180	0
6	RAR2-320L-165-4K7-4W (1)	20	180	0
7	RGR4	11	0	0
8	RGR4	11	0	0
9	RGR4	11	0	0
10	RGR4	11	0	0



Scale: 1 inch= 16 Ft.

PARKING LOT DESIGN GUIDE	MAINTAINED HORIZONTAL		MAINTAINED VERTICAL		MAXIMUM	
	APPLICATION AND TASK	AVERAGE (FC)	RANGE (FC)	AVERAGE (FC)	RANGE (FC)	AVG:MIN
PARKING (UNCOVERED) ZONE 3 (URBAN)	1.5	0.75 - 3	0.8	0.4 - 1.6	4:1	15:1
PARKING (UNCOVERED) ZONE 2 (SUBURBAN)	1	0.5 - 2	0.6	0.3 - 1.2	4:1	15:1
SAFETY (BUILDING EXTERIOR)	1	0.5 - 2	-	-	FOR SECURITY ISSUES, RAISE AVG. TO 3	
SIMPLIFIED RECOMMENDATIONS BASED ON IES 'THE LIGHTING HANDBOOK' 10TH EDITION AND IES RP-20-14. INDIVIDUAL APPLICATIONS WILL DETERMINE SPECIFIC RECOMMENDATIONS. PLEASE REFER TO THE MOST RECENT HANDBOOK FOR A MORE DETAILED EVALUATION AND ADDITIONAL APPLICATIONS. THESE RECOMMENDATIONS DO NOT SUPERCEDE ANY APPLICABLE CODES.						

NOTES
PG-ENLIGHTEN IS NEITHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE. CODE COMPLIANCE REVIEW BY OTHERS.
ANY VARIANCE FROM REFLECTANCE VALUES, OBSTRUCTIONS, LIGHT LOSS FACTORS OR DIMENSIONAL DATA WILL AFFECT THE ACTUAL LIGHT LEVELS OBTAINED.
THIS ANALYSIS IS A MATHEMATICAL MODEL AND CAN BE ONLY AS ACCURATE AS IS PERMITTED BY THE THIRD-PARTY SOFTWARE AND THE IES STANDARDS USED.
FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR FIELD CONDITIONS. THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES.
FIXTURE TYPES AND QUANTITIES BASED ON PROVIDED LAYOUT AND DRAWINGS ARE FOR REFERENCE ONLY. TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS.
CALCULATION GRID VALUES 10'-0" O.C.



DRAWN BY:
Josh Burge
josh.burge@pg-enlighten.com
847.228.1199

PG CONTACT:
Marc Plilpuf
Marc.Plilpuf@pg-enlighten.com
847.228.1199

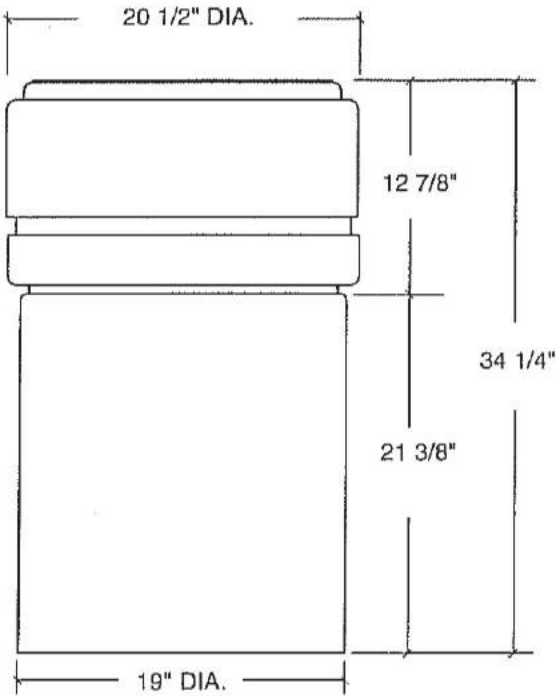
1	2	3
REVISIONS		

PROJECT NAME:

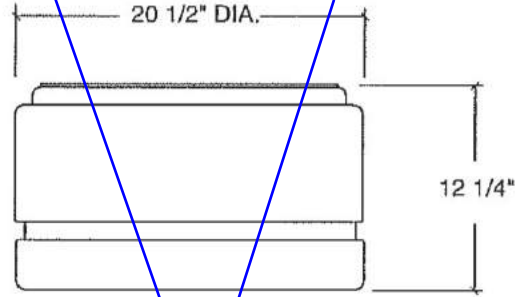
FRANKFORT COFFEE

CLIENT NAME:
KEYSTONE PLANNING + DESIGN

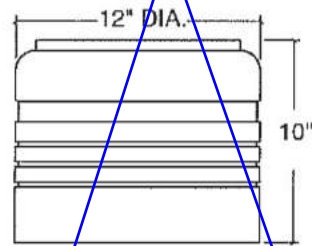
Ordering Guide



For this base order Prefix ACBR-34



For this base order Prefix ACBR-12



For this base order Prefix ACBR-10

THE INTENT IS TO MATCH THE EXISTING LIGHT POLES ELSEWHERE IN THE PUD. IF THE PUD OWNER CHANGES SUCH LIGHTING DESIGN, WITH FRANKFORT APPROVAL, DURING OR BEFORE OUR PROJECT COMPLETION, WE WOULD LIKE TO MATCH THE NEW UPDATED LIGHTING

Ordering Information

ArtFORMS [®] Prefix	ArtFORMS [®] Size	ArtFORMS [®] Color Band	
ACBR - Round	10 - 10" 12 - 12" 34 - 34"	45 - Light Gold	51 - Dark Red
		20 - Charcoal Metallic	21 - Tomato Red
		55 - Black	575 - Beige
		94 - Blue Metallic	50 - White
		01 - Chrome	NO - No Option
		59 - Dark Green	

ACBR - 34 - 94



LSI LIGHTING SYSTEMS, A Division of LSI Industries Inc.
10000 ALLIANCE ROAD • P.O. BOX 42728 • CINCINNATI, OHIO 45242
(513)793-3200 • FAX (513)793-0147

Exhibit C-1

RATIO Series

AREA/SITE LIGHTER

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available



RELATED PRODUCTS

[Air](#)
[Cimarron LED](#)
[Ratio Family](#)



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Rectilinear form mimics the traditional shoebox form factor keeping a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish

OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 80, 160, 320 or 480 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Standard square arm mount, compatible with 83 drill pattern
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.
- Knuckle arm fitter option available for 2-3/8" OD tenon. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7-pin options)

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz

ELECTRICAL (CONTINUED)

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3. Automatically takes fixture off-line for protection when device is compromised

CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photo control receptacle option available for twist lock photoccontrols or wireless control modules (control accessories sold separately)
- 0-10 V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
- SiteSync™ wireless control system is available via 7-pin See ordering information and details at: www.hubbelllighting.com/sitesync
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor
- wiSCAPE™ available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin

CERTIFICATIONS

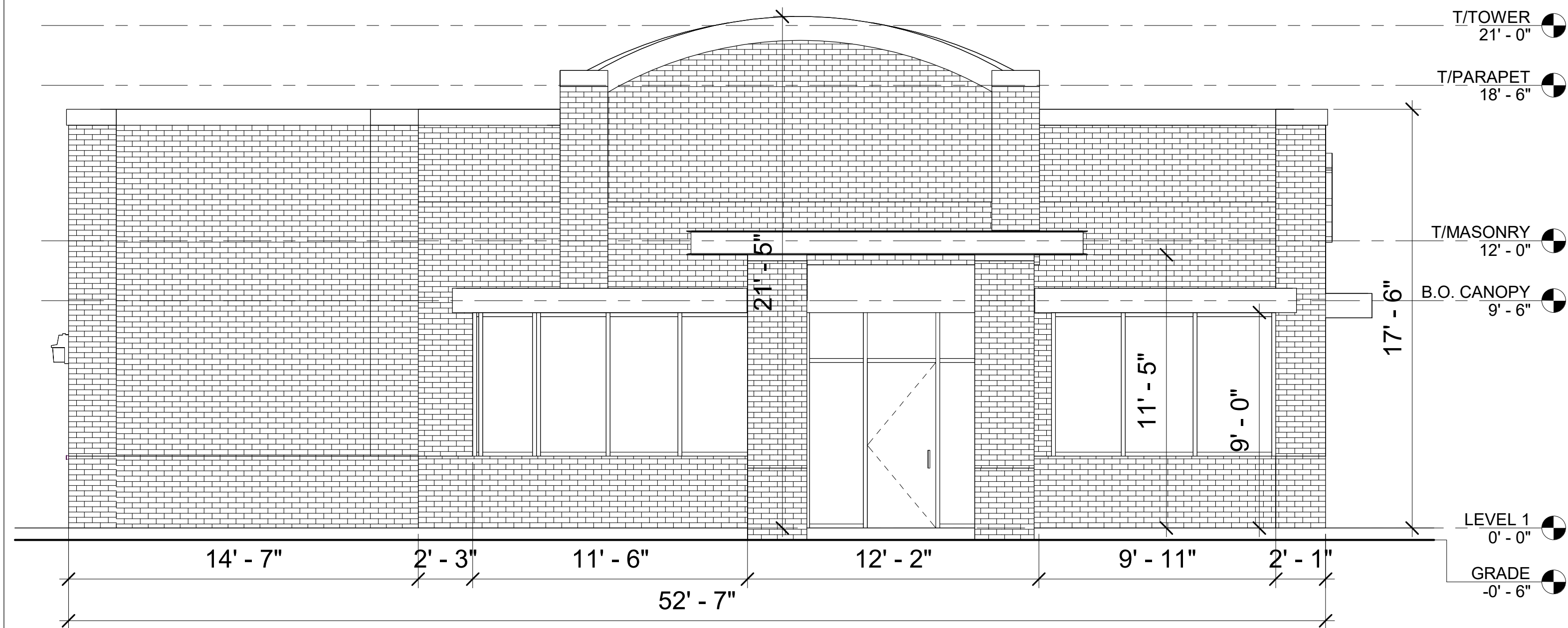
- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- Fixture is IP66 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American Construction Materials under Trade Agreements effective 04/23/2020. See [Buy American Solutions](#)

WARRANTY

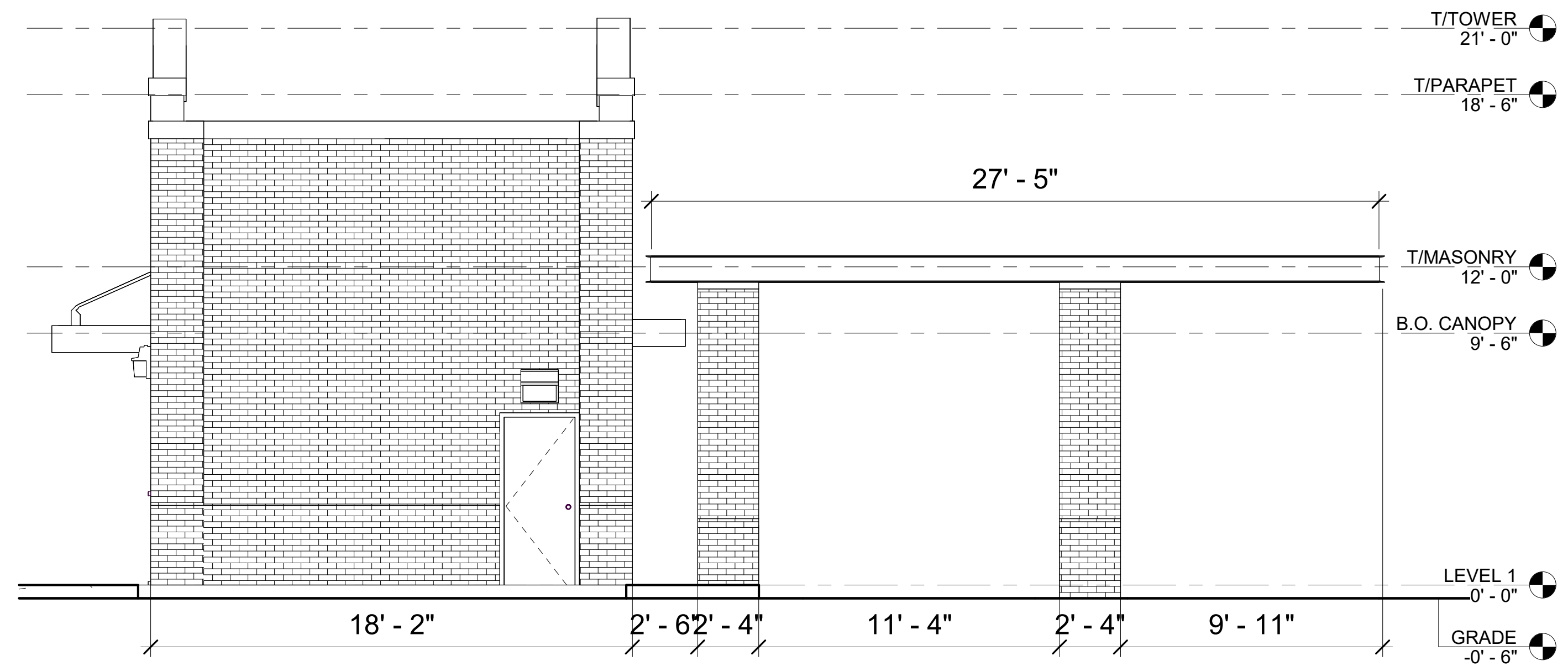
- 5 year limited warranty
- See [Full Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	3,000-48,000
Wattage Range	25-340
Efficacy Range (LPW)	115-155
Fixture Projected Life (Hours)	170-60K
Weights lbs. (kg)	13.5-24 (6.1-10.9)

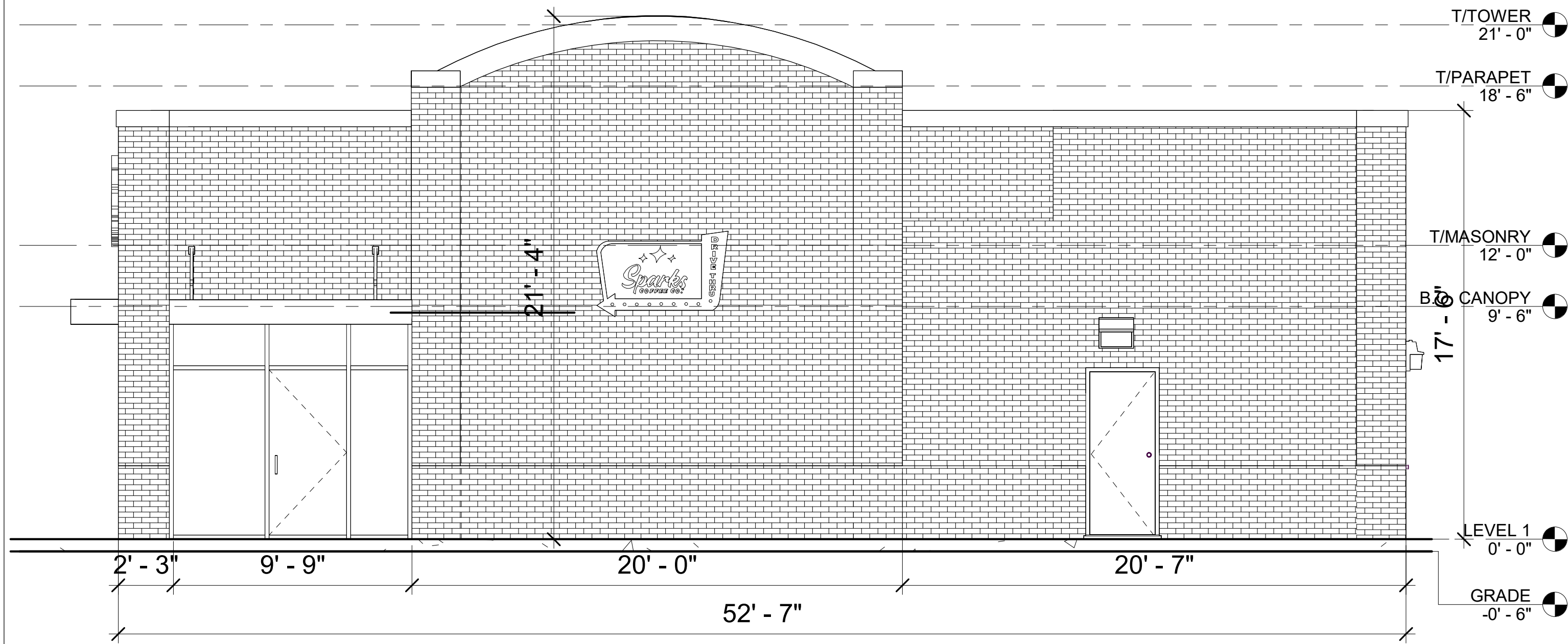
THE INTENT IS TO MATCH THE EXISTING LIGHT POLES ELSEWHERE IN THE PUD. IF THE PUD OWNER CHANGES SUCH LIGHTING DESIGN, WITH FRANKFORT APPROVAL, DURING OR BEFORE OUR PROJECT COMPLETION, WE WOULD LIKE TO MATCH THE NEW UPDATED LIGHTING



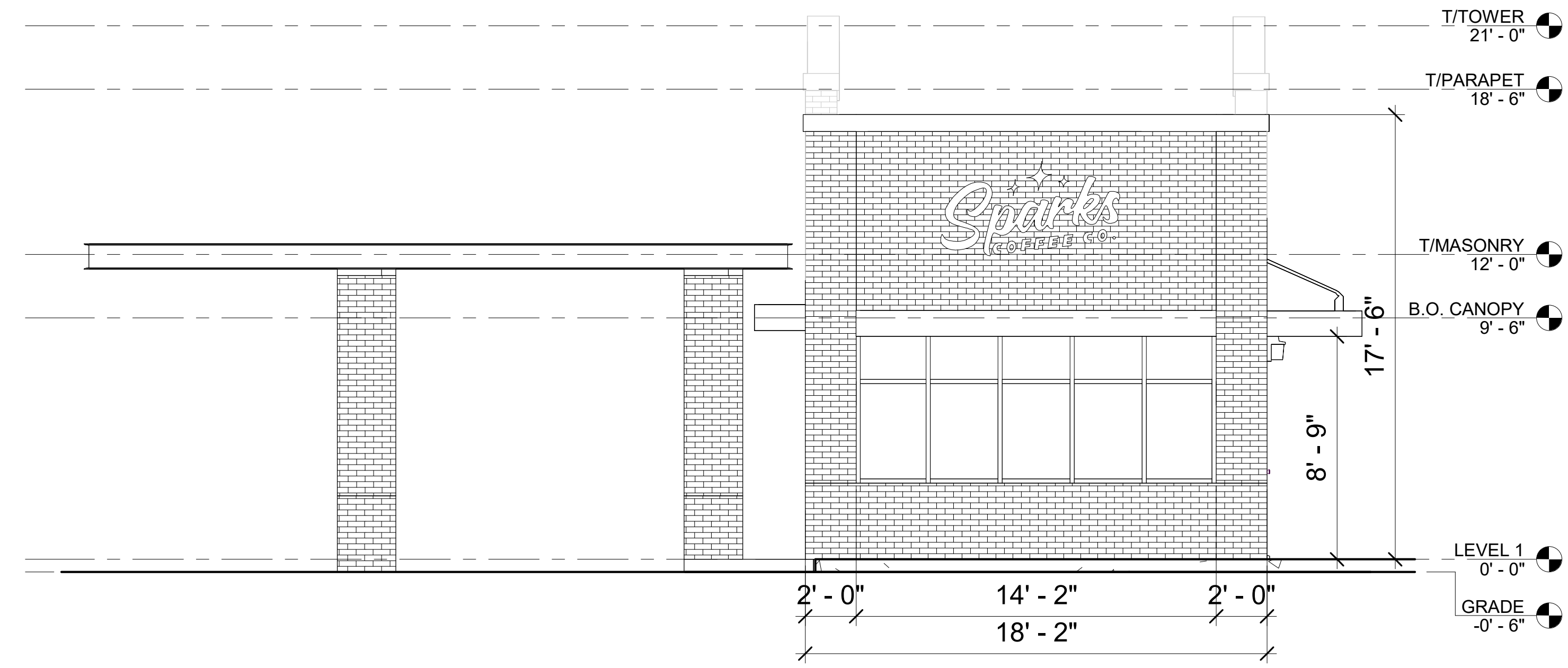
1 EAST ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



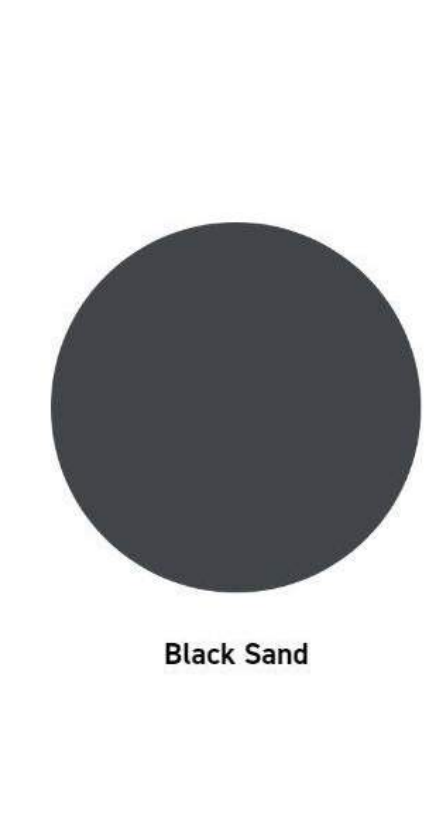
4 NORTH ELEVATION
1/4" = 1'-0"

REFER TO A299 RENDERINGS
FOR BUILDING MATERIALS

No.	Description	Date
	CONCEPT	2/14/2022
	STAFF RVW LETTER	6/14/2022
	STAFF RESPONSE	8/30/2022

Exterior Elevations

A300



Black Sand



FORTRESS RAILING, H-SERIES
36" H



RENAISSANCE MASONRY SILL E-01 (STONE-06)



WATERFORD BRICK E-01 (BRICK)
MATCH LARGER BRICK MODULE SIZE TO THE
NEIGHBORING BUILDINGS WITHIN THE PUD



Aged Bronze

BERRIDGE AGED BRONZE



DARK BRONZE STOREFRONT

No.	Description	Date
	STAFF RVW LETTER	6/14/2022
	STAFF RESPONSE	8/30/2022

IFZ UPDATED
ELEVATIONS

A299 IFZ

Scale



No.	Description	Date
	STAFF RVW	5/28/2022

RENDERINGS

XA000

Scale

RECEIVED
By Christopher Gruba at 11:16 am, Aug 03, 2023

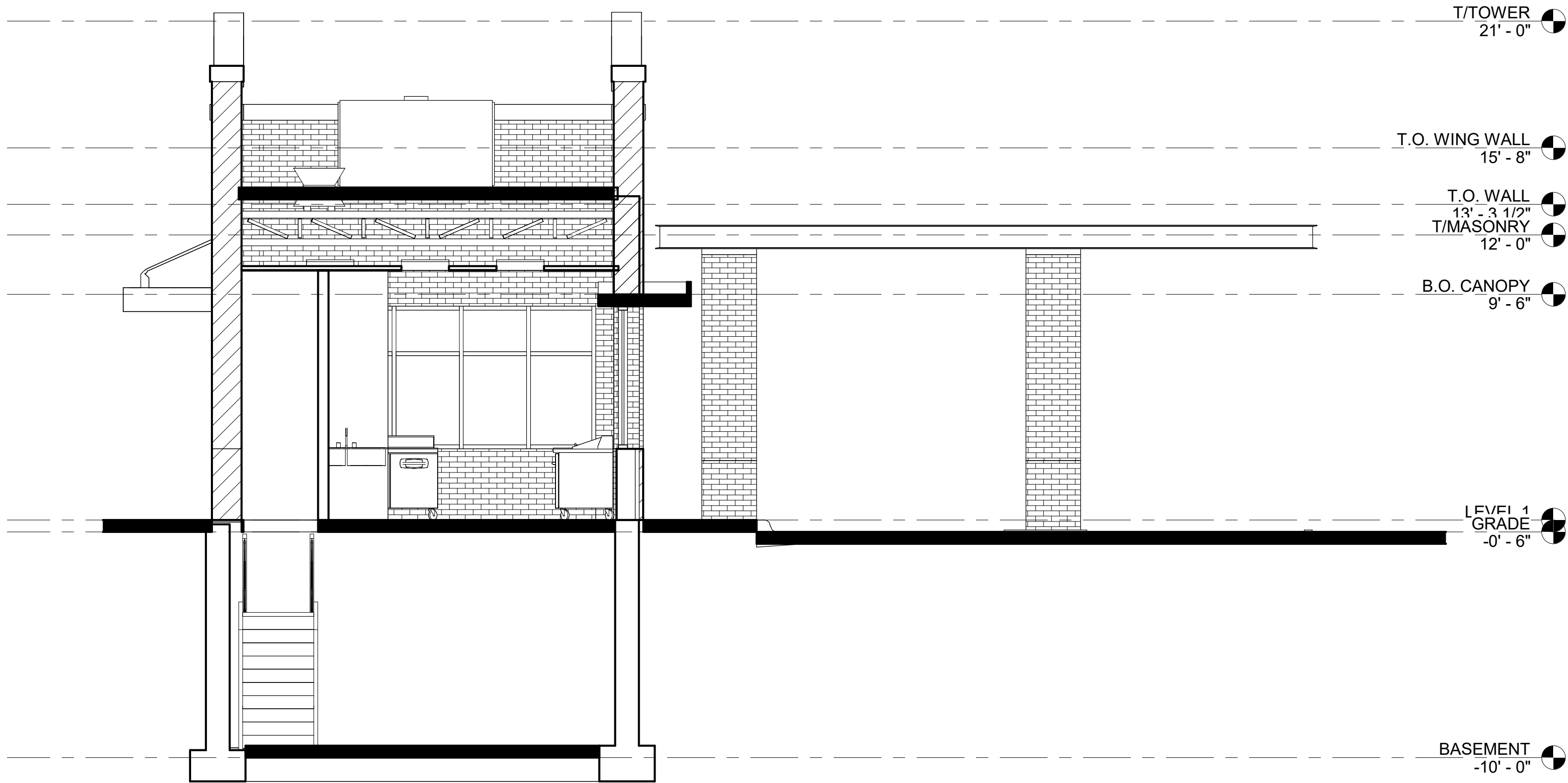
DRIVE-THRU COFFEE DEVELOPMENT
Frankfort, IL 60423

No.	Description	Date
	STAFF RVW LETTER	6/14/2022
	STAFF RESPONSE	8/30/2022

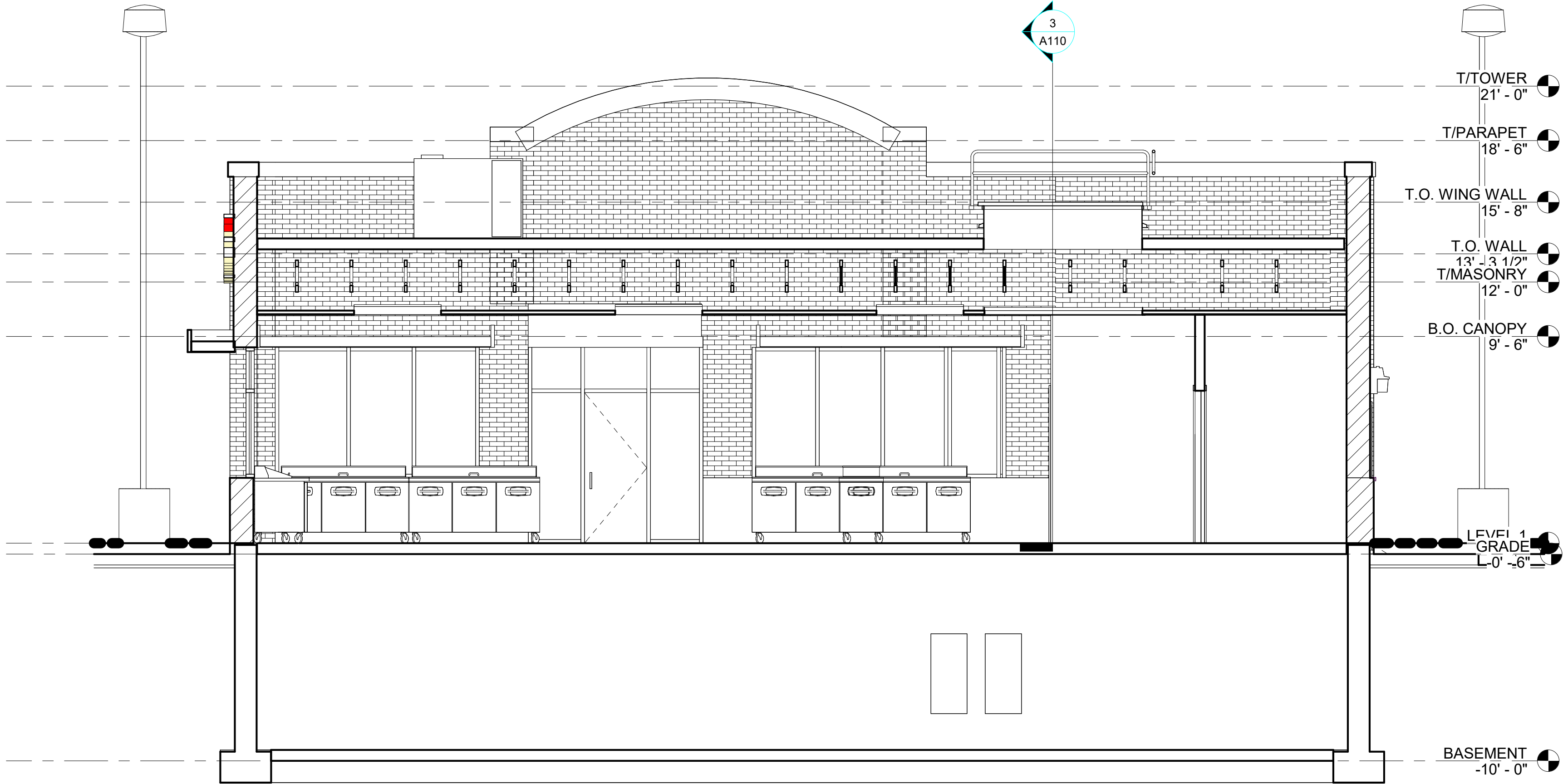
Basement Plan + Sections

A101

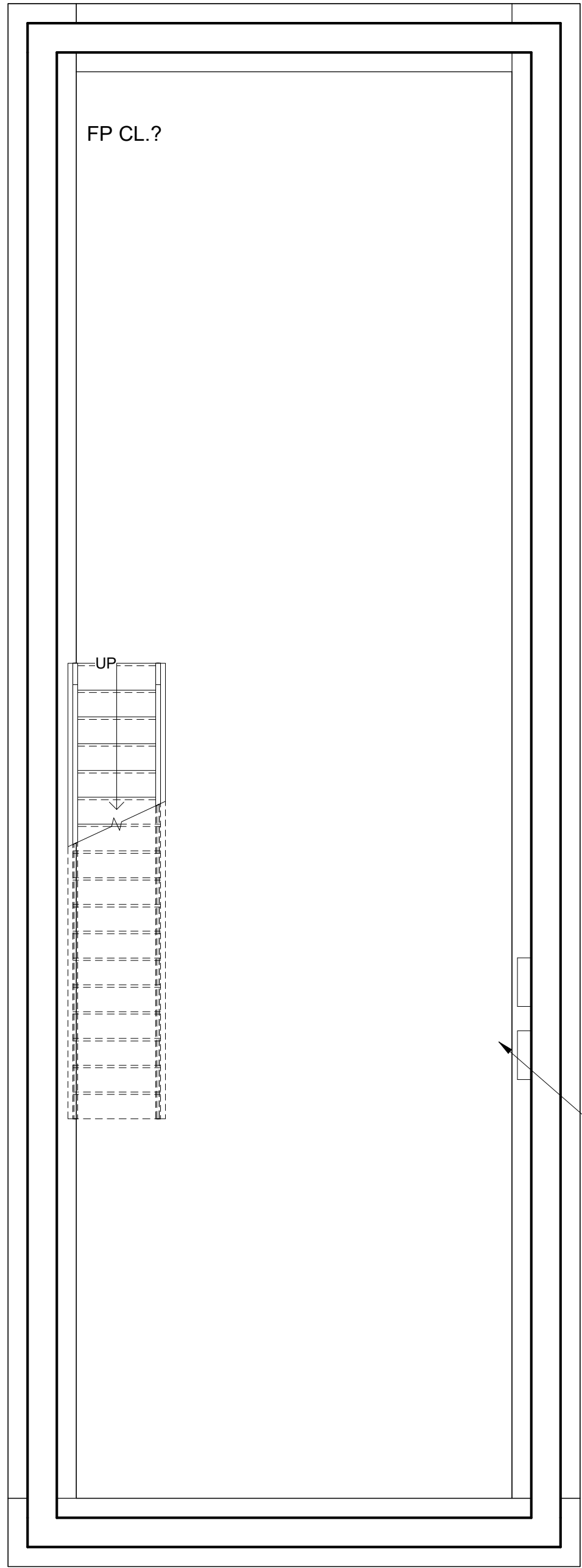
Scale 1/4" = 1'-0"



1 Section 2
1/4" = 1'-0"

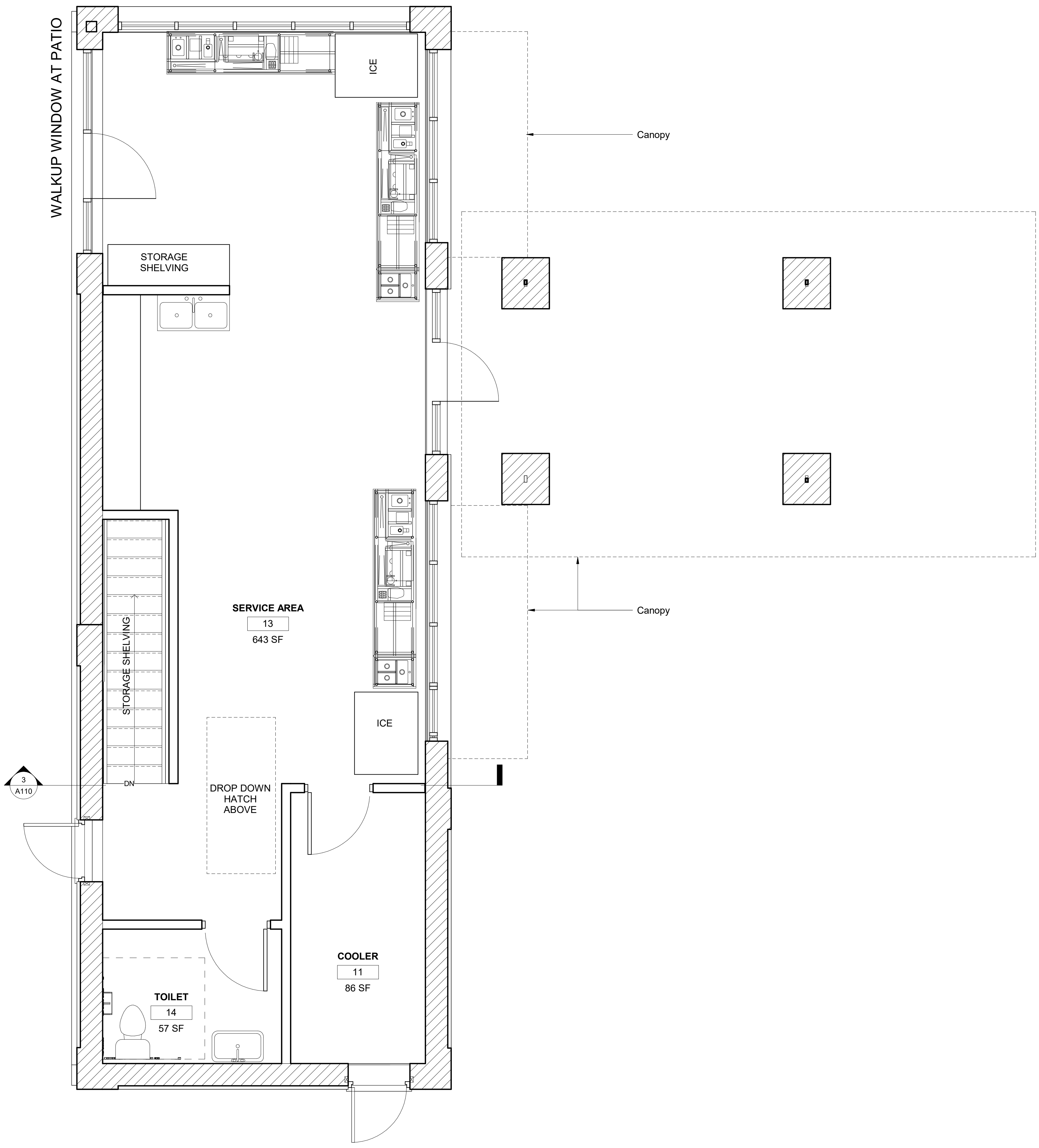


3 SECTION5
1/4" = 1'-0"

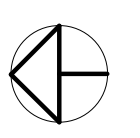
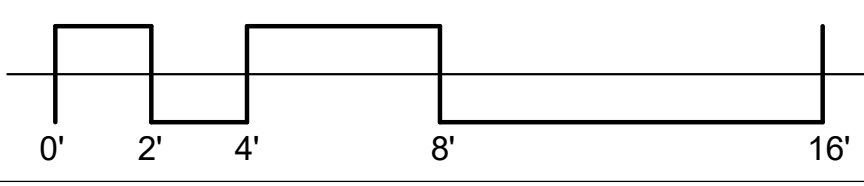


2 BASEMENT
1/4" = 1'-0"

RECEIVED
By Christopher Gruba at 11:15 am, Aug 03, 2023



1 NEW COFFEE PROTOTYPE FLOOR PLAN
3/8" = 1'-0"



Scale 3/8" = 1'-0"

KEYSTONE
PLANNING+DESIGN

KEYSTONE
CONSTRUCT, LLC

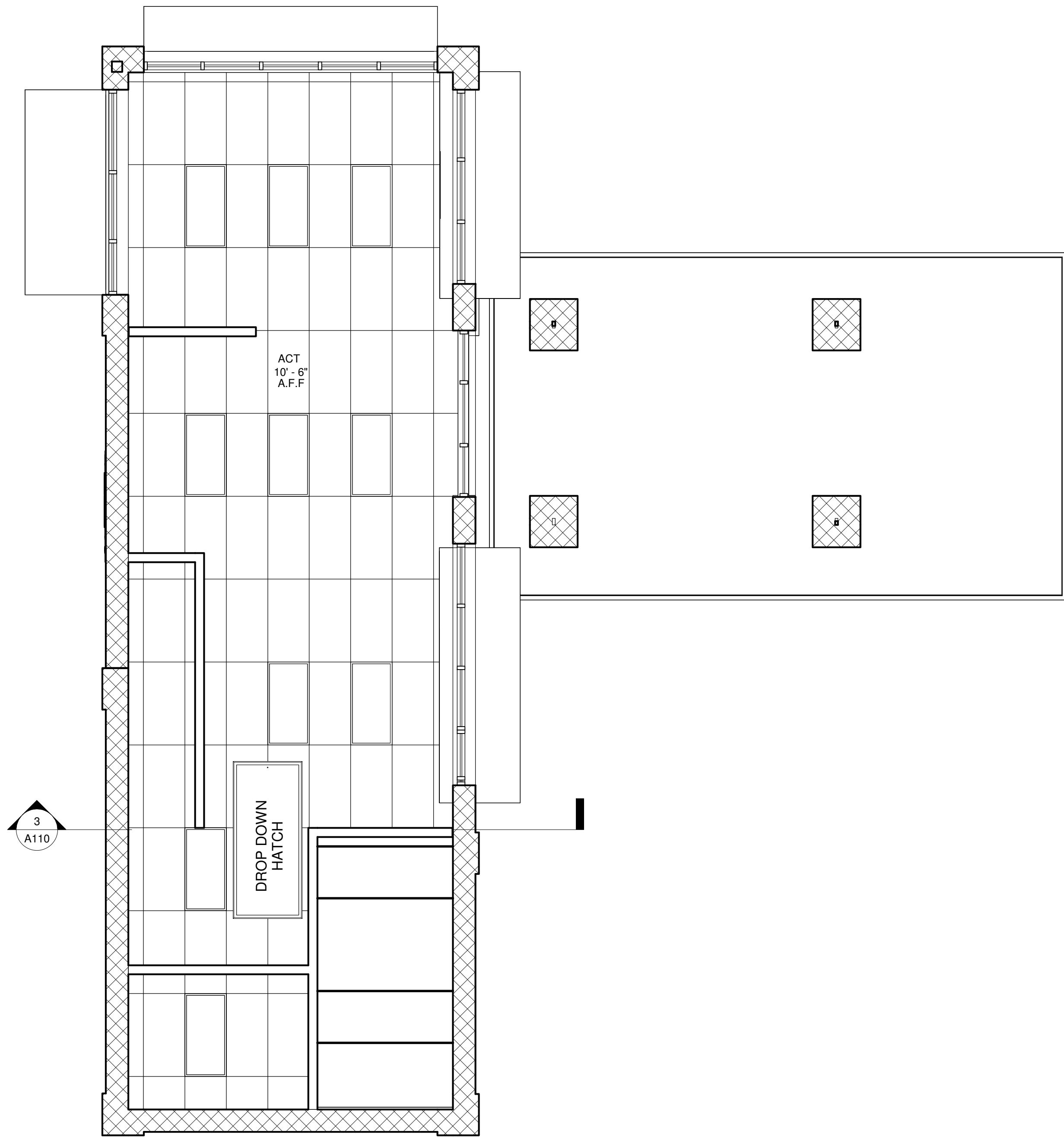
418 Clinton Pl., River Forest, IL 60305
KeystonePlanningDesign.com

DRIVE-THRU COFFEE DEVELOPMENT
Frankfort, IL 60423

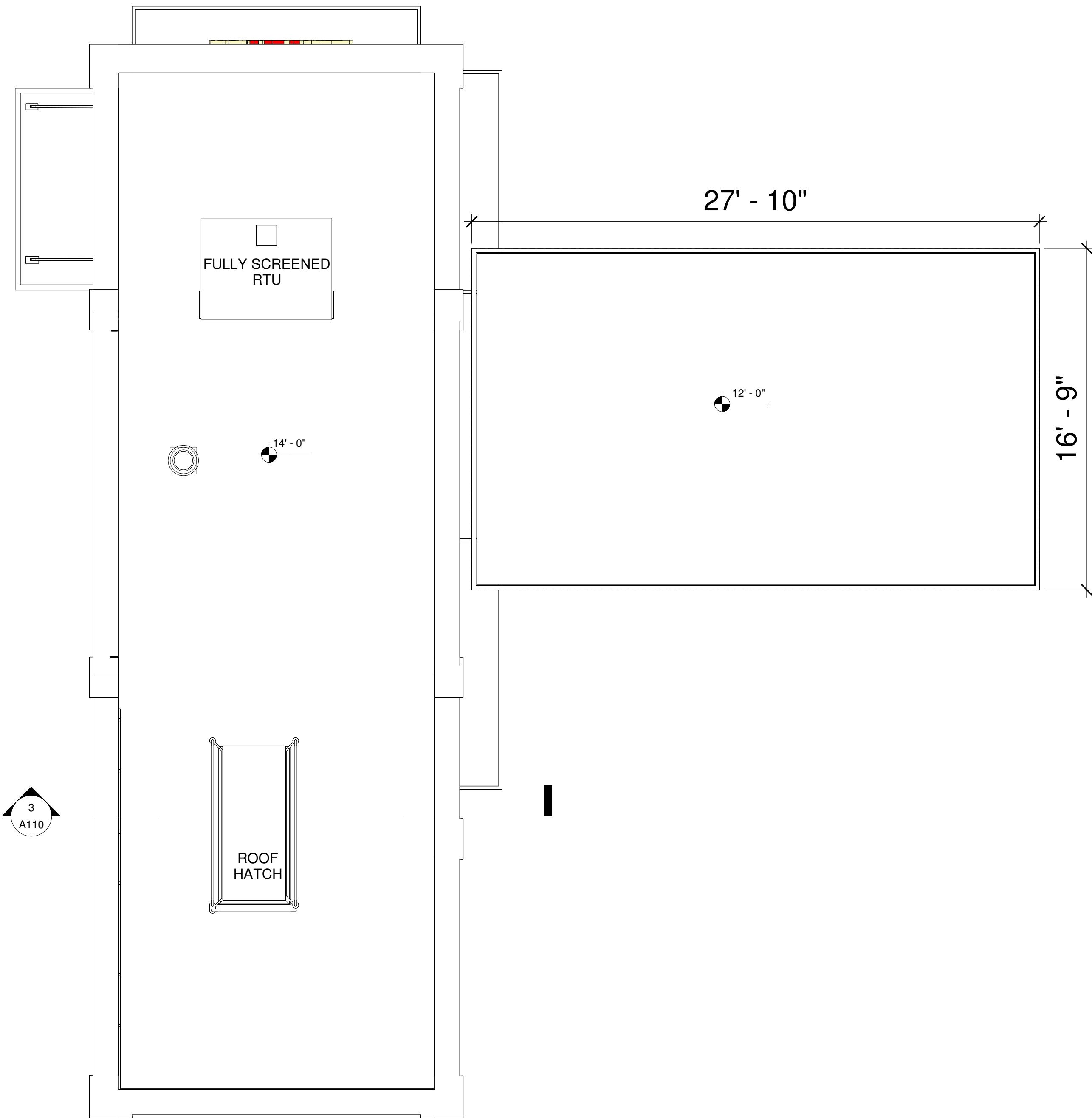
No.	Description	Date
	CONCEPT	2/14/2022
	STAFF RVW LETTER	6/14/2022
	STAFF RESPONSE	8/30/2022

Floor Plan

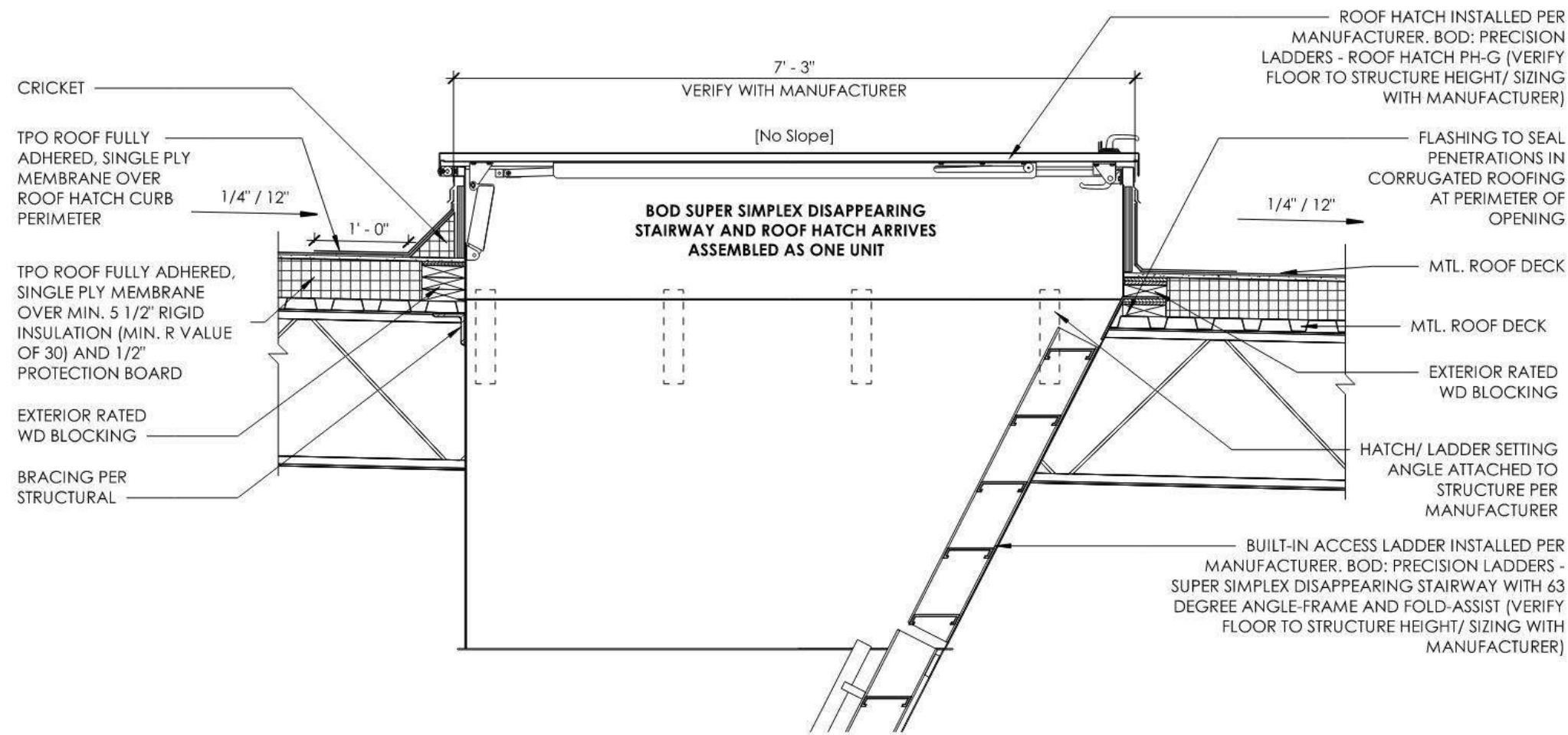
A100



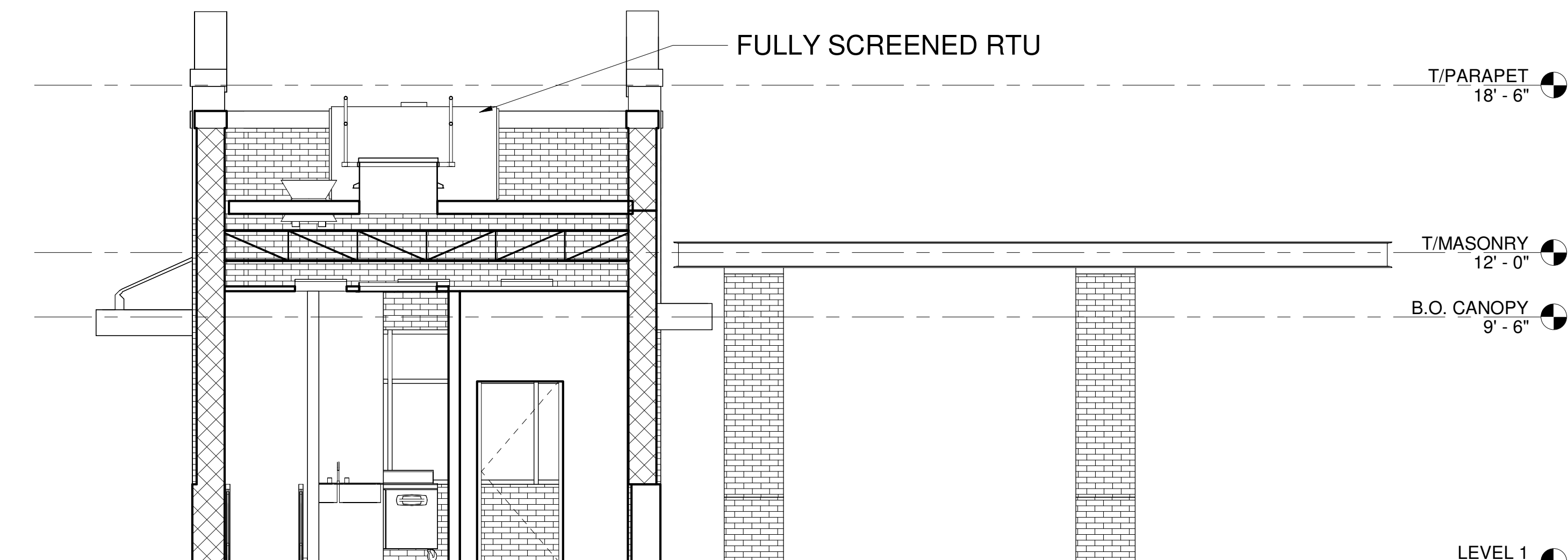
1 LEVEL 1
1/4" = 1'-0"



2 Roof Plan
1/4" = 1'-0"



4 Drop Down Hatch
12" = 1'-0"



3 RTU SCREENING
1/4" = 1'-0"

No.	Description	Date
	CONCEPT	2/14/2022
	STAFF RVW LETTER	6/14/2022
	STAFF RESPONSE	8/30/2022

RCP + Roof Plan

A110

55" Double Samsung Digital Menu Board

Designed for your digital signage application

QSRDMB255

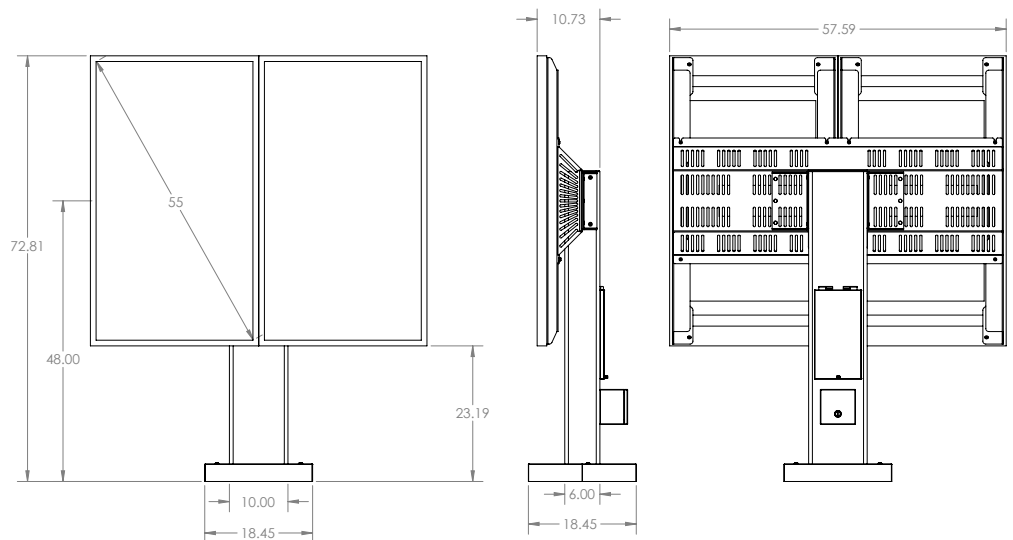
The PDG QSRDMB255 is made for the QSR industry and supports (2) Samsung 55" OHF displays. This digital drive thru menu board is rated for temperatures of -20f to 122f and is wind load rated up to 140 mph. This system is unique in that there are no custom designed display cabinets. The Samsung OHF display is already IP56 rated and does not require additional protection from the environment.

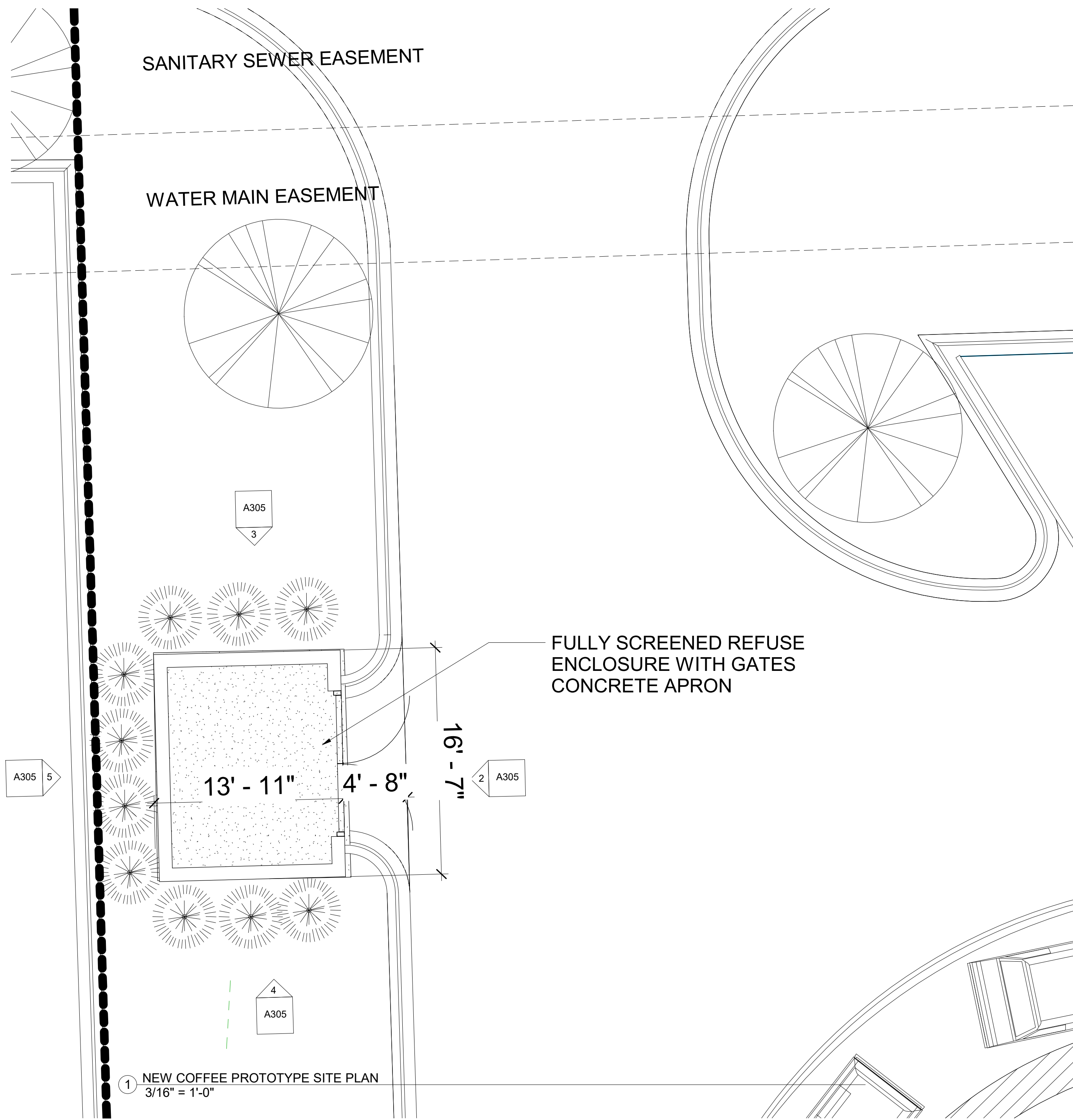
Since this solution is a digital board mount you can buy the display or PDG can purchase IT if that is preferred. PDG stocks this solution and can ship in (24) hours.

Constructed using 7 GA. high impact steel braces and 1/4" thick walled tubing which will insure longevity and years of use. This DMB solution is first primed with a zinc rich primer and can be painted virtually any color you want. For high traffic areas there is an optional front cover bumper housing available.

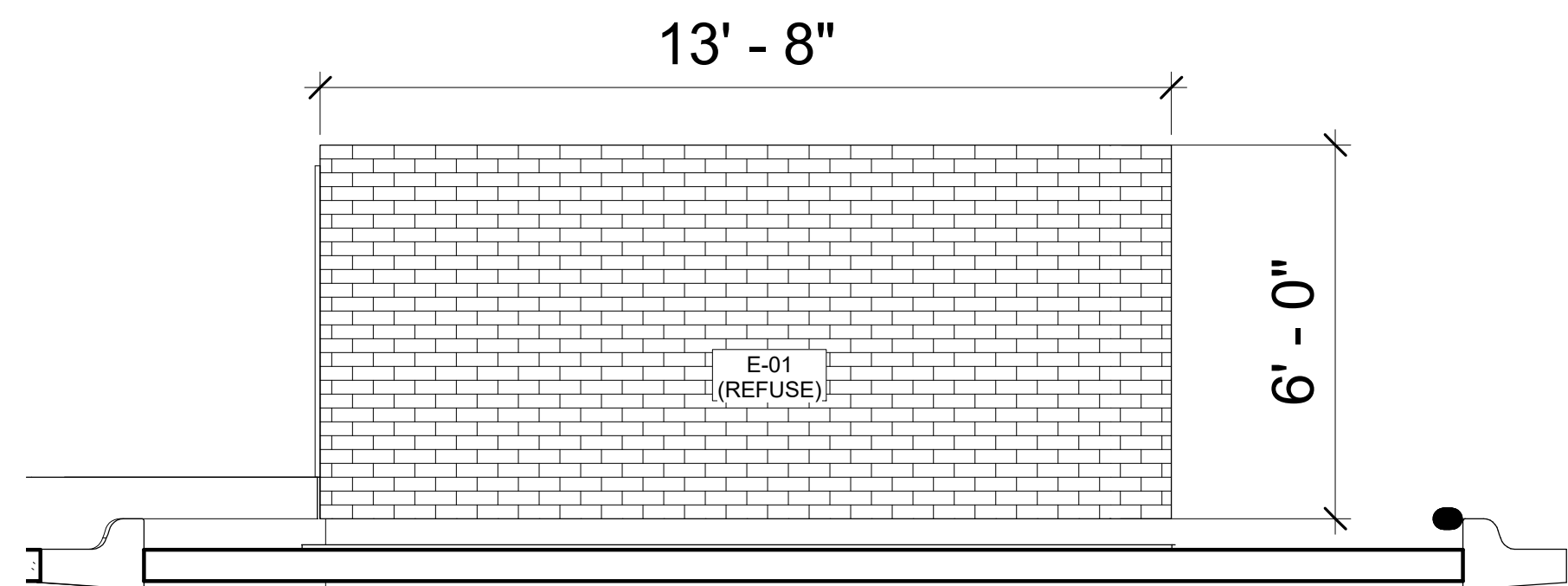
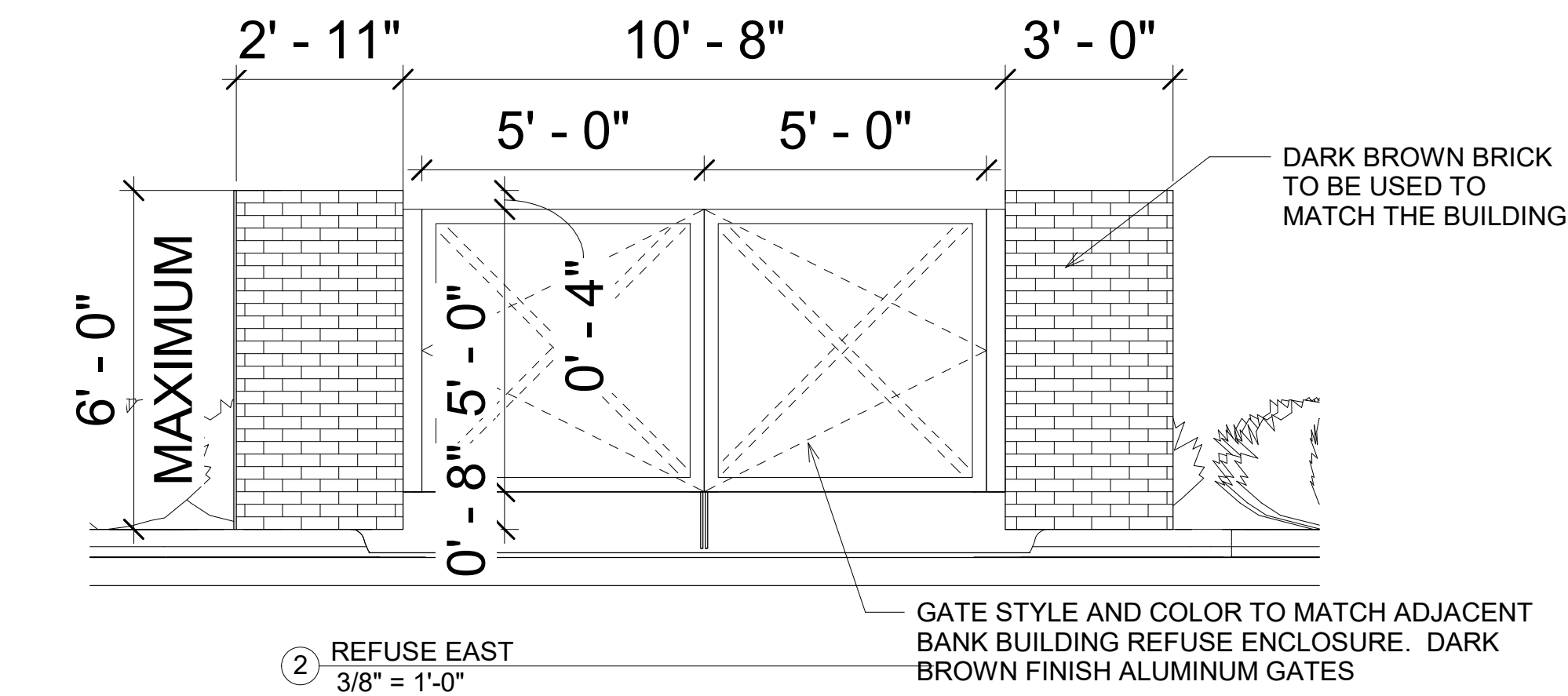


This solution comes equipped with a 4-outlet quad box and a Zero Surge model OEM6-20W-120 power filter. With this fully designed system surge issues are a thing of the past.



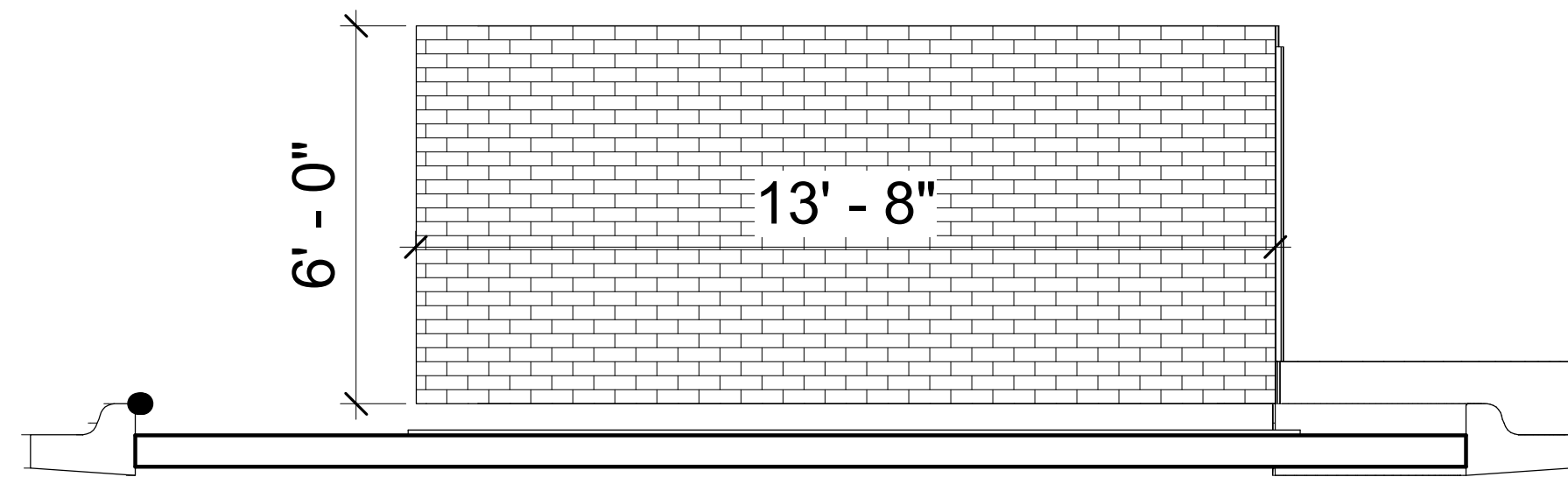


EXAMPLE NEIGHBORING REFUSE ENCLOSURE



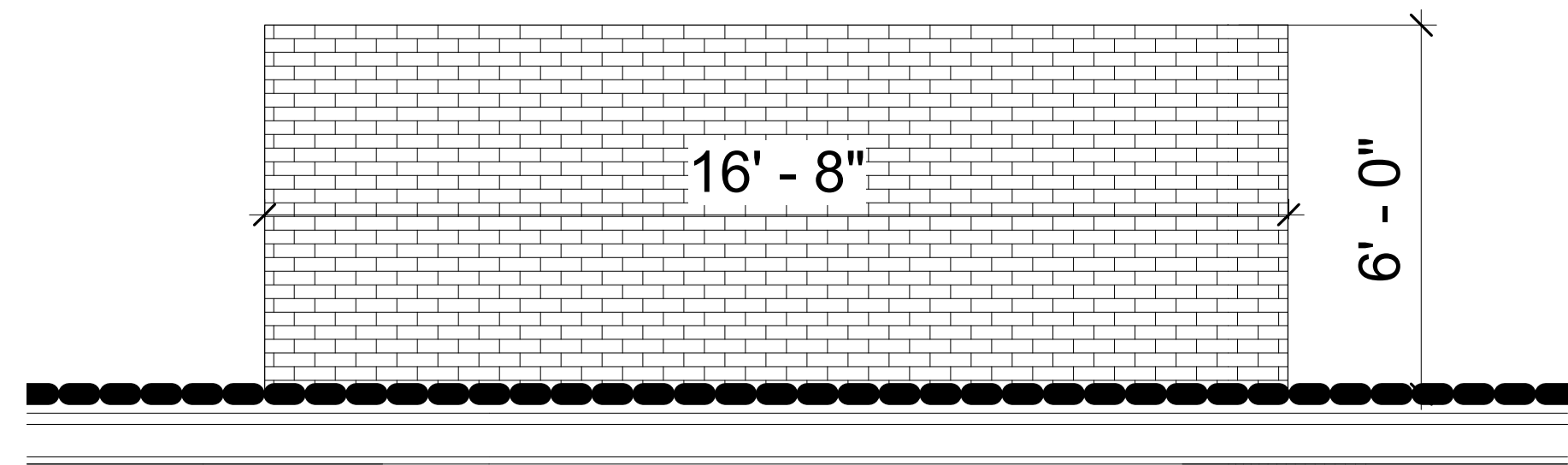
3

REFUSE NORTH
3/8" = 1'-0"



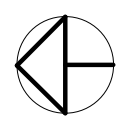
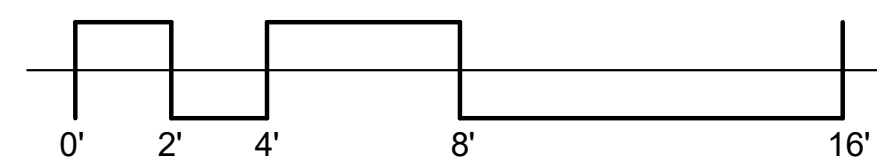
4

REFUSE SOUTH
3/8" = 1'-0"



5

REFUSE WEST
3/8" = 1'-0"



Scale

As indicated

No.	Description	Date
1	ORIGINAL PLAN	10/22/2021
2	REVISED	11/10/2021
3	CONCEPT	2/14/2022
4	STAFF RVW	5/28/2022
5	STAFF RVW LETTER	6/14/2022
6	STAFF RESPONSE	8/30/2022

SITE REFUSE
ENCLOSURE
ELEVATIONS

A305

RECEIVED 5.1.23



Sparks

COFFEE CO.™

EXTERIOR SIGNAGE PACKAGE

v6 2023

ALL WALL AND GROUND SIGNS COMPLY WITH SIGN CODE REGULATIONS

SEE BUILDING ELEVATION DRAWINGS FOR CORRECT BUILDING ELEVATIONS



**CORPORATE
IDENTIFICATION
SOLUTIONS**

CUSTOMER	SPARKS COFFEE CO
SITE NUMBER	N/A

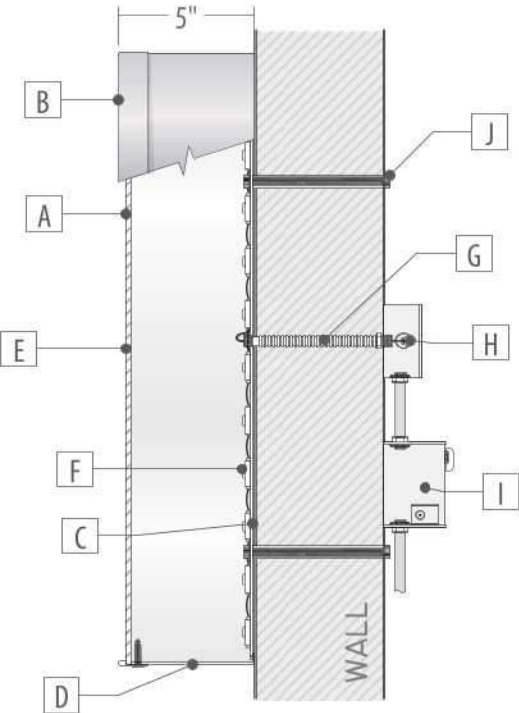
LOCATION	FRANKFORT, IL
ACCOUNT REP	MIKE SHELLY

DRAWN BY	GC
DATE	05/01/23
REVISION	06
SCALE	NTS

CORPORATE ID SOLUTIONS
5563 N ELSTON AVE.
CHICAGO, IL 60630
P: 773-763-9600 F: 773-763-9606
CORPORATEIDSOLUTIONS.COM

CUSTOMER ACCEPTANCE
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SIGNATURE _____
DATE _____

ILLUMINATED CHANNEL LETTERS



SIDE DETAIL

- CHANNEL LETTER - FACE & HALO LIT**
- A White acrylic faces with (2) color 3M translucent vinyl decoration
 - B 1" jewelite trim cap painted black
 - C clear acrylic back
 - D .040 aluminum returns painted (1) Black
 - E Interior painted reflective white
 - F White LED illumination
 - G U.L. listed conduit as per code
 - H U.L. listed housing (splice point if needed)
 - I Power supply (120v typ.)
 - J 5/16" min. all thread thru bolts



CORPORATE
IDENTIFICATION
SOLUTIONS

CUSTOMER
SPARKS COFFEE CO

SITE NUMBER
N/A

LOCATION
FRANKFORT, IL

ACCOUNT REP
MIKE SHELLY

DRAWN BY
GC

DATE
05/01/23

REVISION
06

SCALE
NTS

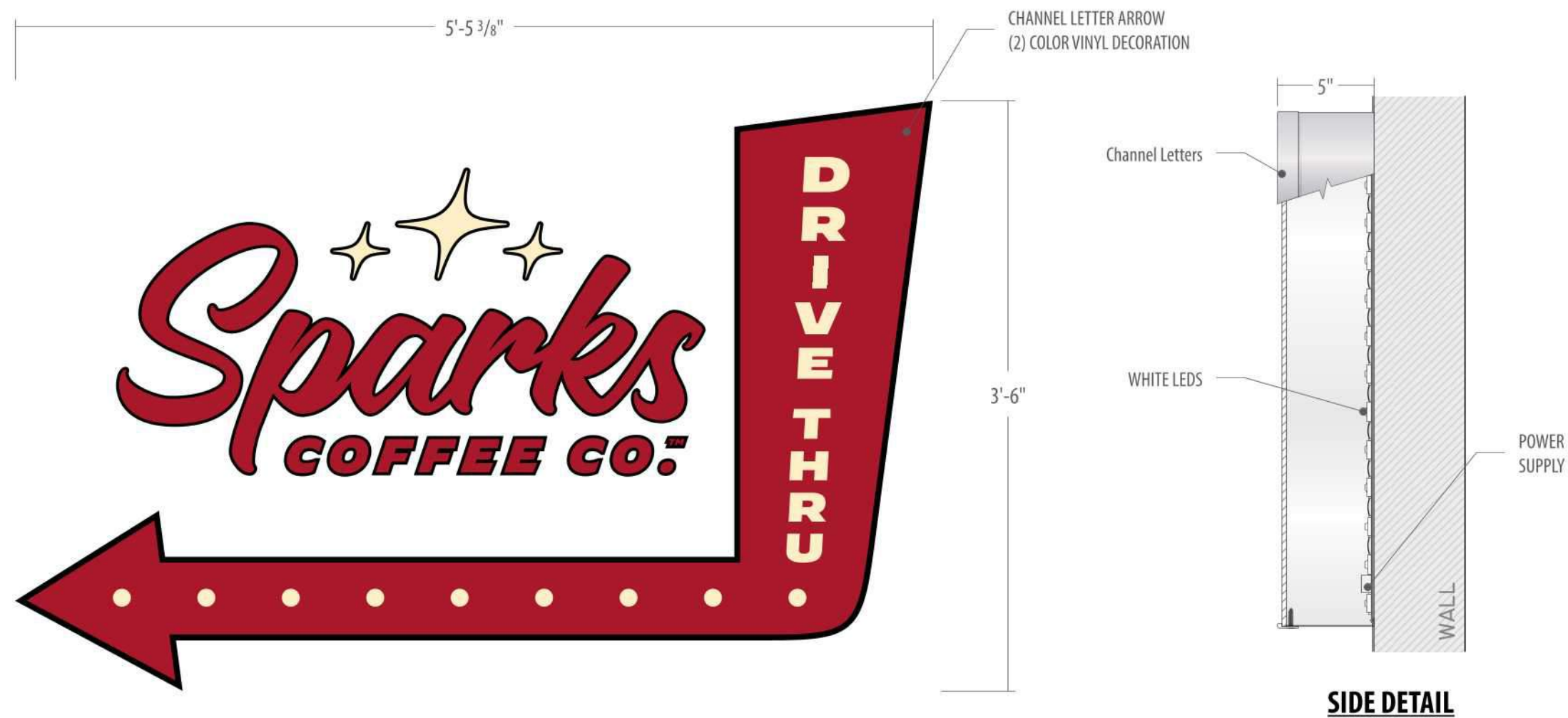
CORPORATE ID SOLUTIONS
5563 N ELSTON AVE.
CHICAGO, IL 60630
P: 773-763-9600 | F: 773-763-9606
CORPORATEIDSOLUTIONS.COM

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SIGNATURE _____ DATE _____

ILLUMINATED CHANNEL LETTERS



**CORPORATE
IDENTIFICATION
SOLUTIONS**

CUSTOMER
SPARKS COFFEE CO

SITE NUMBER
N/A

LOCATION
FRANKFORT, IL

ACCOUNT REP
MIKE SHELLY

DRAWN BY
GC

DATE 69
05/01/23

REVISION
06

SCALE
NTS

CORPORATE ID SOLUTIONS
5563 N ELSTON AVE.
CHICAGO, IL 60630
P: 773-763-9600 | F: 773-763-9606
CORPORATEIDSOLUTIONS.COM

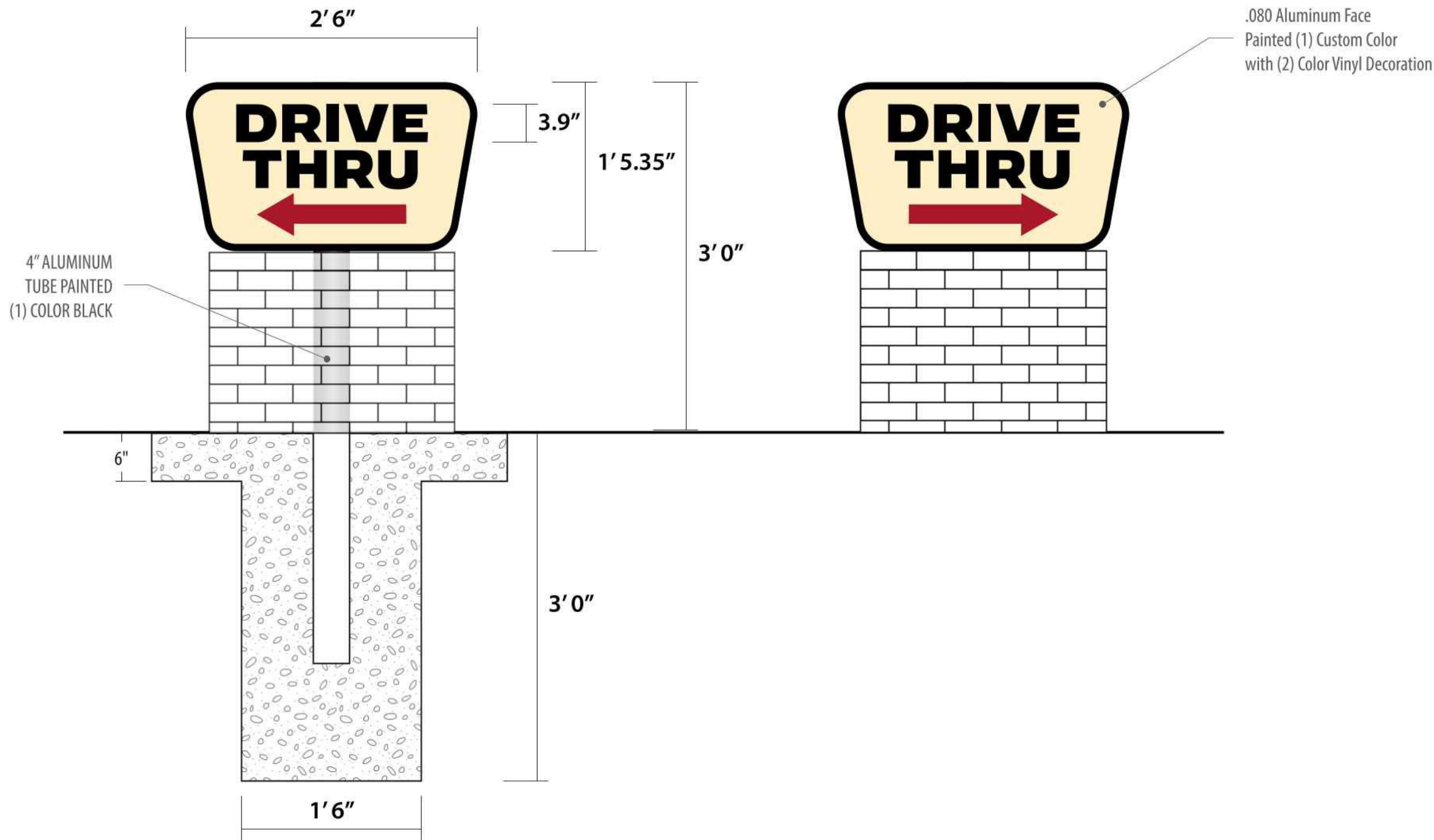
CUSTOMER ACCEPTANCE

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SIGNATURE _____ **DATE** _____

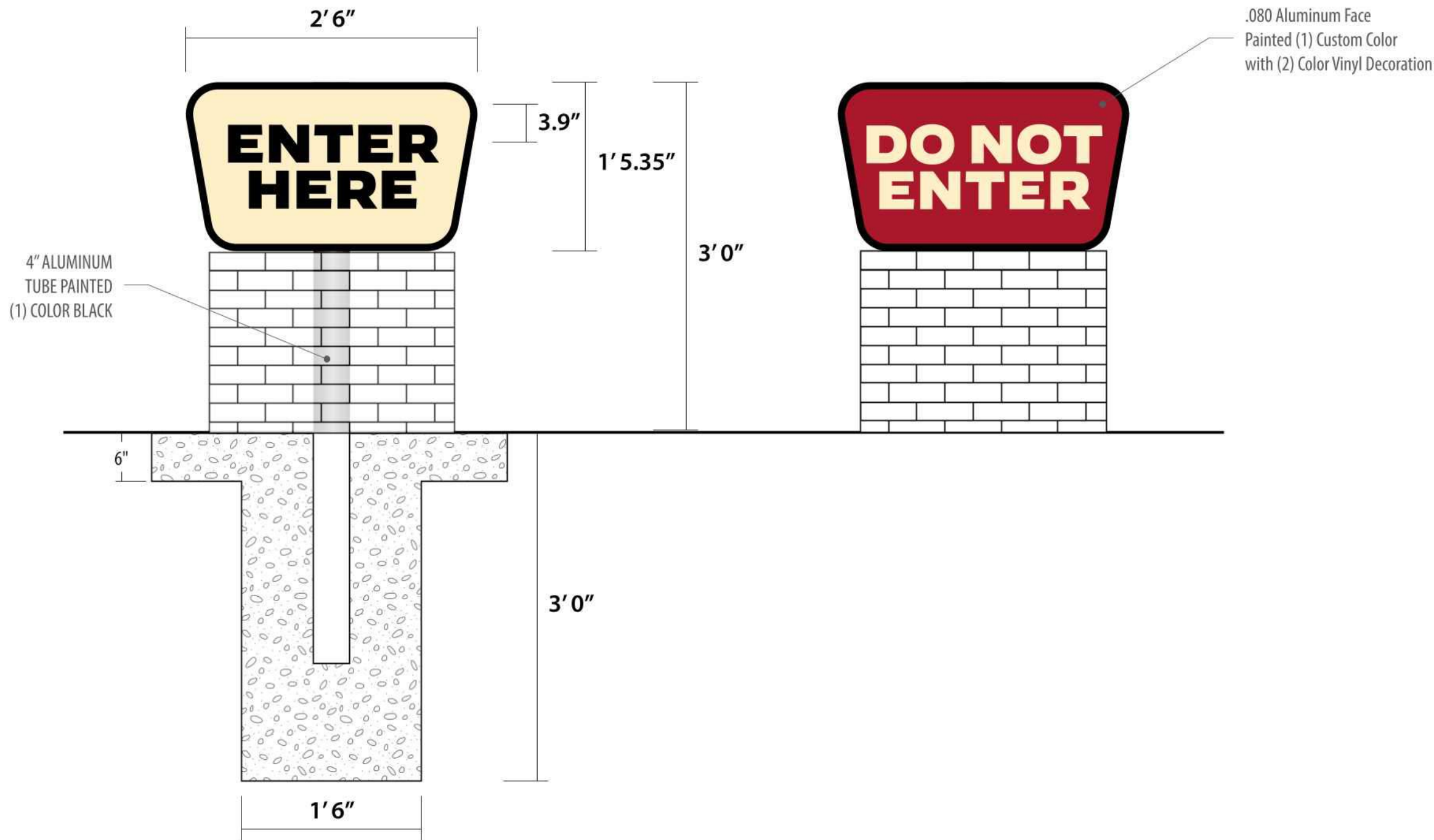
DRIVE THRU DIRECTIONAL – NON-ILLUMINATED

DOUBLE SIDED NON-ILLUMINATED DIRECTIONAL SIGNS



NOTES:
RED COLOR FOR ARROW TO BE PMS 187
OR SIMILAR. BACKGROUND COLOR TO BE PMS DS 5-7C
DO NOT STRETCH ARTWORK TO FIT – ENLARGE PROPORTIONATELY

ENTER & DO NOT ENTER DIRECTIONAL – NON-ILLUMINATED
DOUBLE SIDED NON-ILLUMINATED DIRECTIONAL SIGNS



NOTES:
RED COLOR FOR ARROW TO BE PMS 187
OR SIMILAR. BACKGROUND COLOR TO BE PMS DS 5-7C
DO NOT STRETCH ARTWORK TO FIT – ENLARGE PROPORTIONATELY



**CORPORATE
IDENTIFICATION
SOLUTIONS**

CUSTOMER	SPARKS COFFEE CO
SITE NUMBER	N/A

LOCATION	FRANKFORT, IL
ACCOUNT REP	MIKE SHELLY

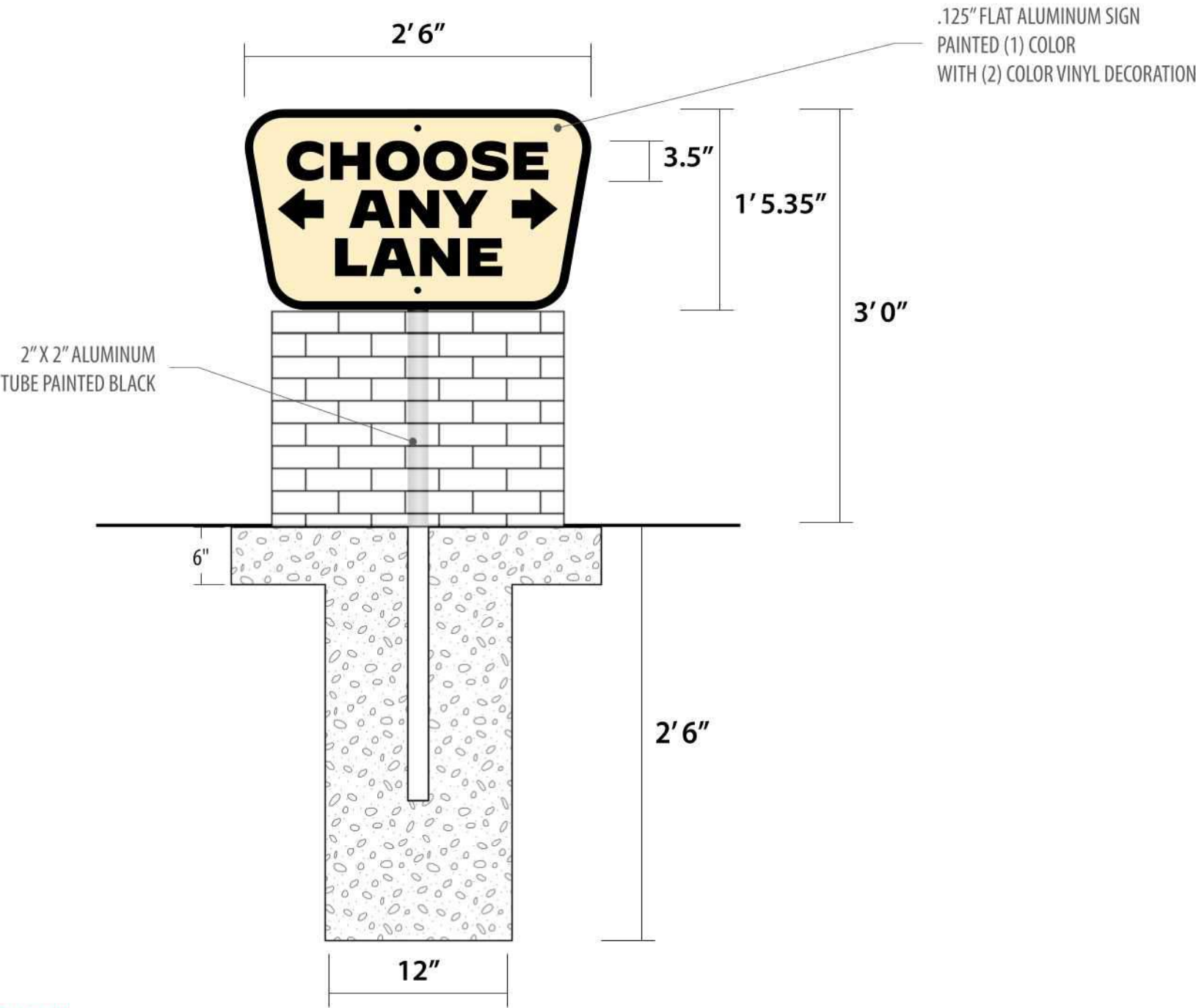
DRAWN BY	GC
REVISION	06
DATE	05/01/23
SCALE	NTS

CORPORATE ID SOLUTIONS
5563 N ELSTON AVE.
CHICAGO, IL 60630
P: 773-763-9600 F: 773-763-9606
CORPORATEIDSOLUTIONS.COM

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DRIVE THRU LANE CHOICE – SINGLE SIDED NON-ILLUMINATED

QTY (1) SINGLE SIDED NON-ILLUMINATED INFOMATIONAL SIGN



NOTES:
BACKGROUND COLOR TO BE PMS DS 5-7C
DO NOT STRETCH ARTWORK TO FIT – ENLARGE PROPORTIONATELY
SIGN TO BE MADE OUT OF MAX METAL 1/8"
SIGN TO BE MOUNTED ON A POLE



**CORPORATE
IDENTIFICATION
SOLUTIONS**

CUSTOMER	
SPARKS COFFEE CO	
SITE NUMBER	
N/A	

LOCATION	
FRANKFORT, IL	
ACCOUNT REP	
MIKE SHELLY	

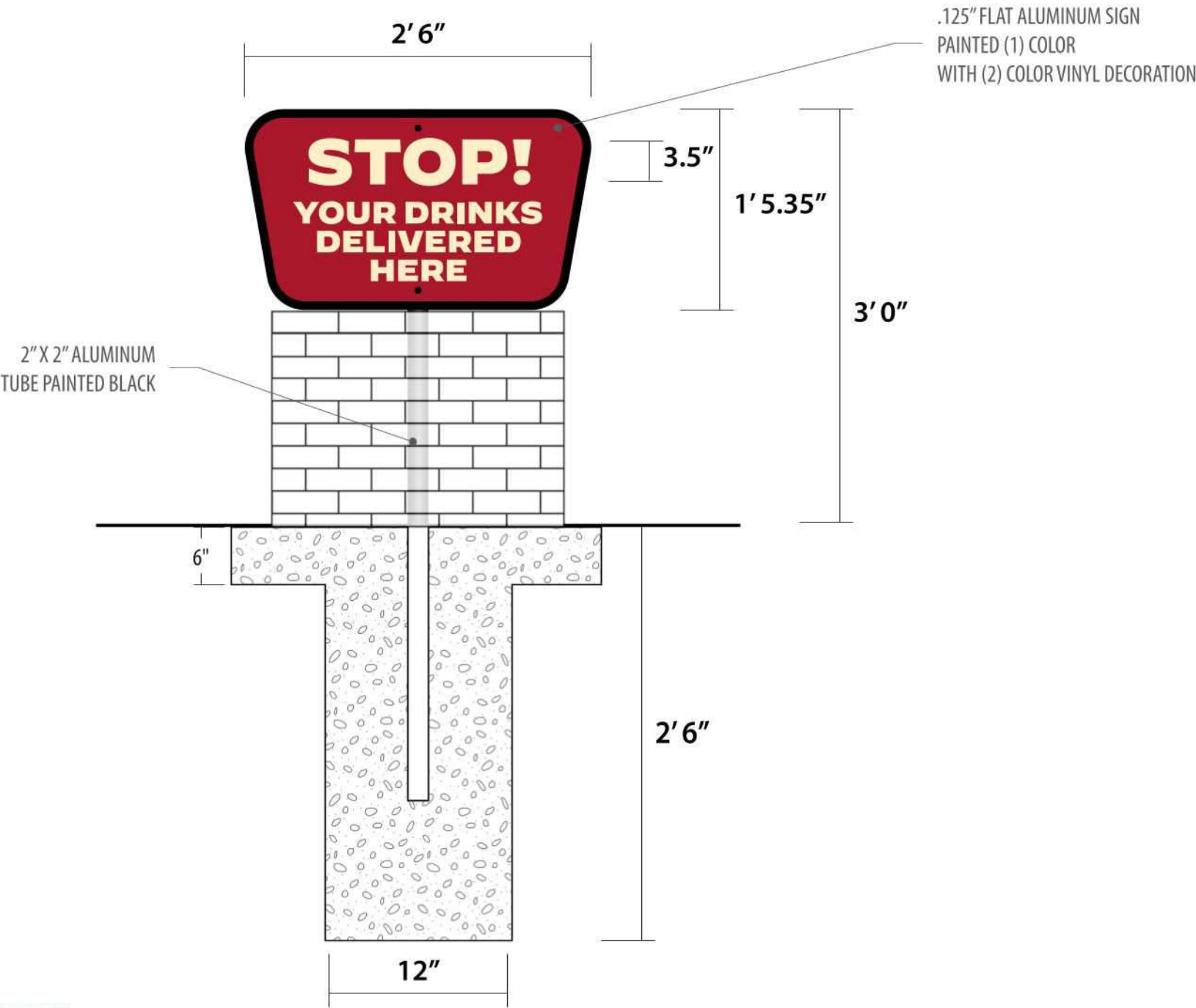
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GC	
REVISION	
06	
DATE	
05/01/23	
SCALE	
72 NTS	

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SIGNATURE	DATE

DRIVE THRU STOP SIGN – SINGLE SIDED NON-ILLUMINATED

QTY (1) SINGLE SIDED NON-ILLUMINATED INFOMATIONAL SIGN



NOTES:
BACKGROUND COLOR TO BE PMS DS 5-7C
DO NOT STRETCH ARTWORK TO FIT – ENLARGE PROPORTIONATELY
SIGN TO BE MADE OUT OF MAX METAL 1/8"
SIGN TO BE MOUNTED ON A POLE



**CORPORATE
IDENTIFICATION
SOLUTIONS**

CUSTOMER	SPARKS COFFEE CO
SITE NUMBER	N/A

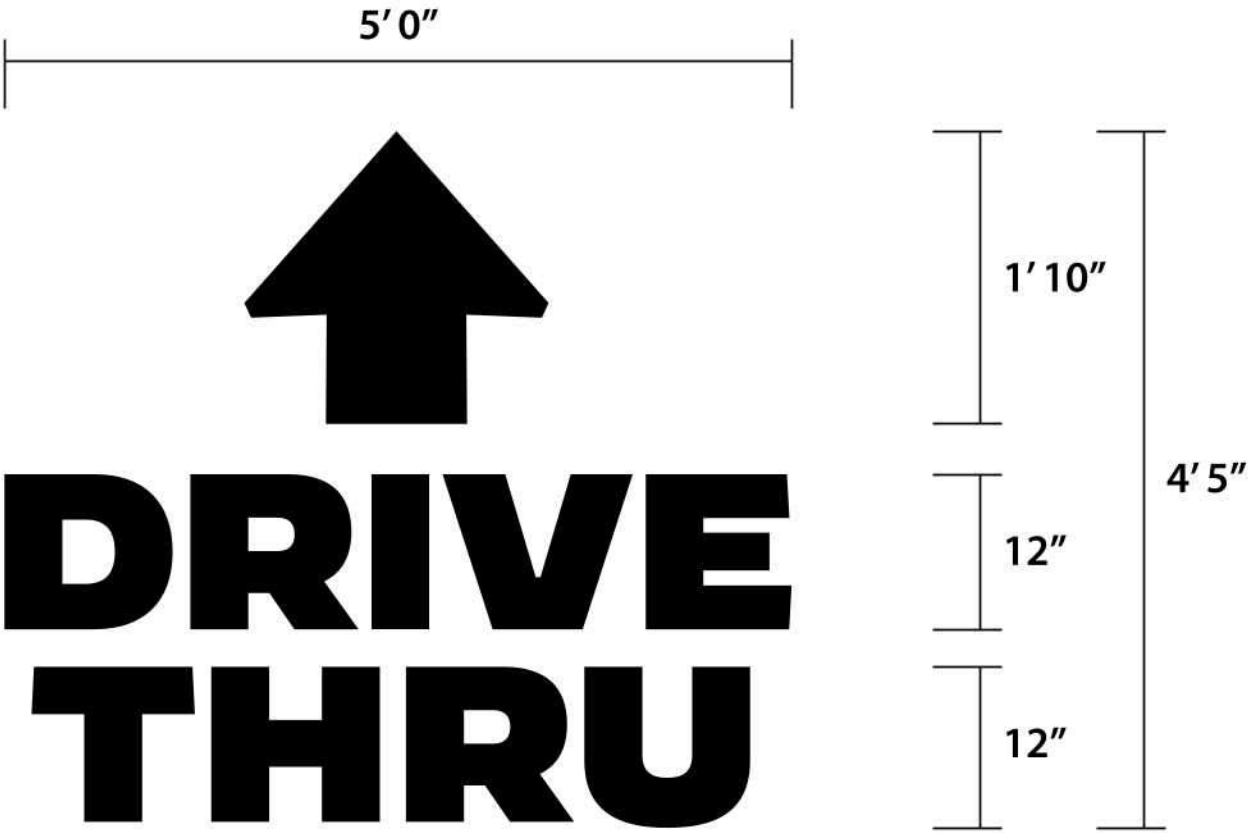
LOCATION	FRANKFORT, IL
ACCOUNT REP	MIKE SHELLY

DRAWN BY	GC
REVISION	06
DATE	05/01/23
SCALE	73 NTS

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SIGNATURE _____
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DRIVEWAY LETTERING



NOTES:
ARROW & LETTERING TO BE PAINTED WHITE ON BLACK ASPHALT OR YELLOW ON CONCRETE



**CORPORATE
IDENTIFICATION
SOLUTIONS**

CUSTOMER	SPARKS COFFEE CO
SITE NUMBER	N/A

LOCATION	FRANKFORT, IL
ACCOUNT REP	MIKE SHELLY

DRAWN BY	GC
REVISION	06
DATE	05/01/23
SCALE	NTS

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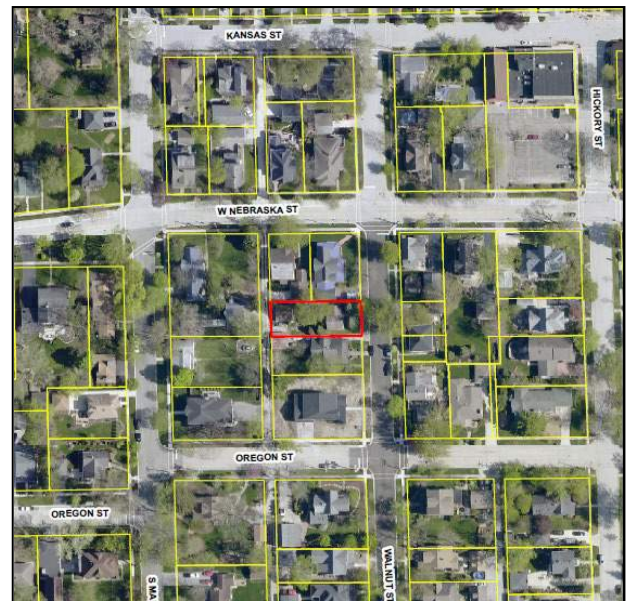
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SIGNATURE _____
DATE _____

Project: Ruzich Residence
Meeting Type: Public Hearing
Request: 6 Variations related to the tear down/rebuild of a single-family home
Location: 108 Walnut Street
Applicant: Jim Sleeman
Prop. Owner: Sleeman Construction, Inc.
Representative: Jim Sleeman
Staff Reviewer: Christopher Gruba, Senior Planner

Site Details

Lot Size: 6,376 sq. ft.
PIN(s): 19-09-28-211-006-0000
Existing Zoning: R-2
Proposed Zoning: N/A
Buildings / Lots: 1 house w/ attached garage
Proposed house: 2,801 sq. ft. (not including garage)
Proposed garage: 500 sq. ft. (attached to house)

Figure 1. Location Map



Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Residential	Single-Family	R-2
North	Residential	Single-Family	R-2/R-4
South	Residential	Single-Family	R-2
East	Residential	Single-Family	R-2
West	Residential	Single-Family	R-2

Project Summary

The applicant, Jim Sleeman, seeks to construct a new single-family home to replace the existing smaller home on the lot. The architect has described the style of the proposed house as Modern Farmhouse. The house would have a full basement. To accommodate the proposed new house, the applicant is requesting the following six (6) variations:

1. Front Yard Setback
2. Side Yard Setback (north)
3. Side Yard Setback (south)
4. Maximum Lot Coverage
5. Impervious Lot Coverage
6. 1st Floor Building Materials

Attachments

1. Lot Coverage and Impervious Lot Coverage comparison table with other new homes in the downtown
2. Location Map, prepared by staff (VOF GIS) scales at 1:1,500 and 1:500.
3. Existing Storm Sewer Map of Downtown Area

4. Downtown Boundary Map (excerpt from 2019 Comprehensive Plan) with subject property noted
5. Downtown Residential Guidelines (Quick Checklist excerpt)
6. Variance Findings of Fact, submitted by applicant
7. PC/ZBA minutes from workshop meeting on April 27, 2023 (excerpt)
8. Photographs of newer homes in the immediate area, provided by applicant:
 - a. 117 Maple
 - b. 122 Walnut
 - c. 140 Walnut
9. Submittal prepared by Ideal Designs, received 7.25.23, containing the following:
 - a. Site Plan
 - b. Survey
 - c. Building Elevations
 - d. Floor Plans
 - e. 3D architectural color rendering of house, with adjacent homes for comparison
 - f. Color overhead view of proposed house with lot lines

History

This project was reviewed as a workshop on April 27th, 2023. At that time, 6 variations were also requested. The current variation requests are listed below:

Variation Request	Code Requirement	Existing House	Current Plans
Front Yard Setback	30'	21.88'	21.8'
Side Yard Setback (North)	10' (25' both)	6.1'	8.5'
Side Yard Setback (South)	10' (25' both)	6.2'	4.9'
Lot Coverage	20% max	22.7% (1,449 SF)	36.7% (2,339 SF)
Impervious Lot Coverage	40% max	30.4% (1,941 SF)	45.2% (2,881 SF)
First Floor Building Materials	Full Masonry	Wood	Wood Composite

Main Changes to the Plans since the Workshop

The architecture has largely remained the same. The project received minor changes since the workshop meeting:

1. The house was shrunk slightly from a footprint of 2,372 SF to 2,339 SF.
2. The house was shifted slightly south, to provide the Fire Code separation requirement of 10' between the proposed house and the existing house to the north. In doing so, the house was also moved 0.4' closer to the south side property line.
3. The driveway was narrowed from 18' to 16' wide.
4. The rear yard sidewalk connection from the patio to the driveway was changed from concrete to individual patio blocks.

Analysis

Existing Home, Non-Conformities

The existing home and lot have several existing non-conforming features:

1. The R-2 zone district requires a minimum lot size of 15,000 square feet, 100' width and 150' depth. The existing lot is 6,376 square feet in area, 50' wide and 129.74' deep and is therefore non-conforming

regarding lot size, width and depth. Since the subject property is a singular lot of record (platted as Lot 3 in Block 8 in the Original Town of Frankfort), nor is there a need to dedicate any additional right-of-way, a Plat of Resubdivision is not required, and therefore a variation is not required to permit a new undersized lot pursuant to Article 6, Section B of the Zoning Ordinance.

2. The existing house is set back 21.88' from the front property line, whereas 30' is required.
3. The existing house is set back 6.1' and 6.2' from the north and south side property lines respectively, whereas at least 10' is required on each side with a total of 25' on both sides.
4. The existing house and garage result in a lot coverage of 22.7%, exceeding the maximum coverage of 20%.
5. The Village ordinance requires two-story homes within the R-2 zone district provide a minimum square footage of 2,600 square feet of floor area (1st and 2nd floor areas). The existing house is 1,308 square feet in livable area and is considered existing, non-conforming.
6. The existing detached garage is set back 5.36' from the north side property line, whereas the minimum required setback is 10'.
7. The existing gravel driveway is located approximately 3' from the side property line, whereas at least 5' is required. Driveways must meet this setback requirement whether they are paved or gravel.
8. The existing house has wood siding, whereas the entire 1st floor is required to be wrapped in masonry.

Proposed Home – Requested Variations:

1. House Front Yard Setback

The following tables list the *approximate* front yard setbacks of the homes on both sides of Maple Street between Kansas Street and Pacific Street:

	Address (West Side)	Setback to Walnut (ft.)		Address (East Side)	Setback to Walnut (ft.)
	Walnut	16	Kansas	144	5
	Nebraska	203	Nebraska	143	19
	Nebraska	200	Nebraska	144	9
	(existing) 108	22	Walnut	115	9
	Walnut	112	Walnut	119	8
	Walnut	122	Walnut	133	22
	Walnut	130	Walnut	139	17
	Walnut	140	Walnut	143	18
	Walnut	142	Walnut	151	17
	Walnut	150	Utah	142	14
	Walnut	202	Walnut	213	20
	Walnut	210	Walnut	223	12
	Walnut	216	Walnut	231	13
	Walnut	228	Walnut	233	12
	Walnut	234	Walnut	235	10
	Walnut	236	Walnut	245	17
	Walnut	250	Walnut	255	34
	Walnut	256			
	Avg.	17.8			15.1

Avg. both sides:	16.4
-------------------------	-------------

The proposed setback of 21.8' from the front property line is greater than the average existing setback on either side of Walnut Street.

2. Side Yard Setback (North)

- a) The proposed house would be set back 8.5' from the north side property line, whereas at least 10' is required. The north side of the house does have a fireplace that projects 2' into the side yard setback. Fireplaces that are 2' deep or less are exempt from the house setback requirements.
- b) The current plans have shifted the house south slightly, to provide a 10' separation between the house and the existing house to the north. 10' is required for fire safety in the Building Code.

3. Side Yard Setback (South)

- a) There is a jog in the south side property line closer to the public alley. The proposed house would be set back 4.9' from the south property line, where the property line jogs closer to the house. The majority of the house would be set back 7.9' from the south side property line, whereas 10' is required.

4. Lot Coverage

- a) The Village of Frankfort Zoning Ordinance permits a maximum lot coverage of 20% for a two-story home within the R-2 zoning district resulting in a maximum permitted coverage of 1,275.2 square feet for the subject property. Structures with roofs count toward lot coverage.
- b) The former home and garage amounted to approximately 1,449 square feet for a 22.7% lot coverage and was considered existing, non-conforming.
- c) The proposed home and detached garage equate to a lot coverage of 2,339 square feet (36.7%), in excess of ordinance requirements, requiring a variation.

5. Impervious Lot Coverage

- a) The Village of Frankfort Zoning Ordinance permits a maximum impervious lot coverage of 40% for homes within the R-2 zoning district resulting in a permitted coverage of 2,550.4 square feet for the subject property. The house, driveway and sidewalk count toward impervious lot coverage.
- b) The former home, garage, driveway and concrete walks amounted to approximately 1,941 square feet for a 30.4% impervious lot coverage and was considered existing, non-conforming.
- c) The proposed home and detached garage equate to an impervious lot coverage of 2,881 square feet (45.2%), in excess of ordinance requirements and will require a variation.

6. First Floor Building Materials variation

- a) The Zoning Ordinance requires that the entire 1st floor of all homes within the R-2 zoning district be constructed of masonry (*brick, stone, etc.*). The proposed house would be primarily faced with LP Smart Siding (wood composite) with accents of board & batten siding.
- b) Most of the homes along both sides of Walnut Street between Kansas Street and Pacific Street are non-masonry in construction. There are 35 homes that have frontage on Walnut Street. Of those, 10 are of masonry construction, or 29%.

2019 Comprehensive Plan:

108 Walnut is located within the Downtown area, as illustrated in the Residential Design Guidelines in the 2019 Comprehensive Plan. Although the guidelines are not enforceable, they can be used to judge the merits of

proposed residential projects in the downtown area. Staff has offered brief responses as to whether the proposed house renovations meet the intent of the Residential Design Guidelines.

Elements that appear to comply with the Downtown Residential Design Guidelines:

1. The garage utilizes the adjacent public alley (page B-13).
2. The house employs high-quality wood composite materials (page B-2).
3. The building's architecture delineates the primary entrance. Entryway features including covered porches are desirable (page B-4).
4. The house employs similar architectural elements and detailing on all sides of the home (page B-5).
5. The new construction mostly respects the established front yard setbacks within the area (page B-18).

Elements that don't appear to comply with the Downtown Residential Design Guidelines:

1. Houses should be sized appropriately for their lots and in relation to neighboring homes (page B-2). The proposed house would require a lot coverage variation to allow 36.7% instead of 20% and may not be considered an appropriate size.
2. Modern house styles should be avoided (page B-2). The proposed house style of "Modern Farmhouse" is not one of the recommended architectural styles (page B-5).

Dwelling Size:

1. The Village ordinance requires that two-story homes within the R-2 zone district provide a minimum square footage of 2,600 square feet of floor area (1st and 2nd floor areas). The existing house is 914 square feet in livable area (not including the detached garage) and is considered existing, non-conforming. The proposed house would be 2,801 square feet (not including the attached garage), meeting this requirement.

Existing Trees:

1. The applicant has indicated to staff that all of the existing trees on the property would be removed. There are several evergreen trees and one very large Silver Maple on the property. None of the trees are classified as "preservation trees" in the Landscape Ordinance and therefore do not require mitigation.
2. There are 2 street trees within the existing right-of-way between the sidewalk and the curb of Walnut Street that should remain. Staff recommends adding this as a condition of approval.

Past Variation Approvals in the Downtown Area:

For reference, the following addresses in the downtown have received variations for building additions or site improvements:

215 Kansas (Gallagher) (PC review 8.14.08)

Standard	Provided
Lot Size: 15,000 SF min	4,950
Lot Width: 100' min	50'
Lot Depth: 150' min	100'

Variations granted:

1. Lot Coverage: 38.3% (20% max permitted)
2. First floor building materials for accessory structure (masonry required)
3. Detached garage side yard setback: 0' (10' required)

147 White Street (Lalley) (PC review 7.8.10)

Standard	Provided
Lot Size: 15,000 SF min	21,484
Lot Width: 100' min	130'
Lot Depth: 150' min	165'

Variation granted:

1. Detached garage setback 6.5' from side property line (10' required)

44 W. Bowen Street (Carroll/Watson) (PC review 8.12.10)

Standard	Provided
Lot Size: 15,000 SF min	16,175
Lot Width: 100' min	100' (approximately)
Lot Depth: 150' min	160' (approximately)

Variation granted:

1. Accessory structure (shed) 0' setback from rear property line (10' required)

210 Walnut (Winters) (PC review 3.10.11)

Standard	Provided
Lot Size: 15,000 SF min	11,044
Lot Width: 100' min	90' (approximate)
Lot Depth: 150' min	130' (approximate)

Variations granted:

1. Front yard setback: 19' (30' required)
2. Building height: 36' (35' max permitted)
3. Lot Coverage: 29% (20% max permitted)
4. Driveway setback: 2' (5' required)
5. First floor building materials (masonry required)
6. Accessory structure setback: 2' to both north and west property lines (10' required)

200 W. Nebraska (Leonard) (PC review 11.8.12)

Standard	Provided
Lot Size: 15,000 SF min	7,000
Lot Width: 100' min	70'
Lot Depth: 150' min	100'

Variations granted:

1. Lot Coverage: 34% (20% max permitted)
2. Driveway setback: 0' (5' required)
3. Detached garage setback: 0' from south lot line, 4.1' from west lot line (10' required)
4. Detached garage height: 21' 4" (15' max permitted)

23 W. Bowen Street (Gander) (PC review 8.22.13)

Standard	Provided
Lot Size: 15,000 SF min	8,720
Lot Width: 100' min	52' (approximately)
Lot Depth: 150' min	172' (approximately)

Variations granted:

1. Side yard setback: 6.4' (10' required)
2. Lot Coverage: 26% (20% max permitted)
3. Driveway setback: 2' (5' required)
4. First floor building materials (masonry required)
5. Accessory structure setback from side property line: 5' (10' required)

140 Maple (Triezenberg) (PC review 9.8.16)

Standard	Provided
Lot Size: 15,000 SF min	6,250
Lot Width: 100' min	50' (approximately)
Lot Depth: 150' min	130' (approximately)

Variation granted:

1. Driveway setback 0' (5' required)

140 Walnut (McLean) (PC review 1.25.18)

Standard	Provided
Lot Size: 15,000 SF min	6,275
Lot Width: 100' min	50'
Lot Depth: 150' min	125.5'

Variations granted:

1. Front yard setback: 15.67' (30' required)
2. Side yard setback: 5' (10' required)
3. Lot coverage: 33.5% (20% max permitted)
4. First floor building materials (masonry required)

213 Kansas (Kirsch) (PC review 1.24.19)

Standard	Provided
Lot Size: 15,000 SF min	6,183
Lot Width: 100' min	61.83'
Lot Depth: 150' min	100'

Variations granted:

1. Front yard setback: 13.4' (30' required)

2. Side yard setbacks: of 10' and 10' (at least 25' total both sides required)
3. Rear yard setback: 15.1' (30' required)
4. Lot coverage: 30% (20% max permitted)
5. Driveway setback: 0.5' (5' required)
6. First floor building materials (masonry required)

143 Kansas Street (Brown) (PC review 3.25.21)

Standard	Provided
Lot Size: 15,000 SF min	5,000
Lot Width: 100' min	50'
Lot Depth: 150' min	100'

Variations granted:

1. Front yard setback: 10' (30' required)
2. Side yard setback: 5' (13' required)
3. Detached garage setback from rear property line: 0.5' (10' required)
4. Detached garage setback from side property line: 2' (10 required)
5. Driveway setback: 2' (5' required)
6. Lot coverage: 41% (20% max permitted)
7. Impervious lot coverage: 46% (40% max permitted)
8. First floor building materials (masonry required)

240 Center Road (Oltman) (PC review 9.22.22)

Standard	Provided
Lot Size: 15,000 SF min	38,350
Lot Width: 100' min	100'
Lot Depth: 150' min	370.4'

Variations granted:

1. Driveway setback from side property line: 1' (4' required)
2. Driveway turning radius: 25' (26' required)
3. First floor building materials (masonry required)

213 Nebraska (Plantz) (PC review 7.27.23, Board review scheduled for 8.7.23)

Standard	Provided
Lot Size: 15,000 SF min	6,687
Lot Width: 100' min	67.5'
Lot Depth: 150' min	99.1'

Variations requested:

1. Front yard setback: 12' 5 ¾" (30' required)
2. 1st Floor building materials (masonry required)
3. Accessory building setback (detached garage): 5' 7" (10' required)
4. Rear Yard Coverage: 32% (30% max)
5. Lot Coverage: 32.8% (20% max)

6. Impervious Lot Coverage: 41.9% (40% max)
7. Detached Garage Height: 20' 5 ½" (15' max)
8. Minimum dwelling unit area: 2,511 SF (2,600 SF min)

Affirmative Motions

1. Recommend the Village Board approve the variation request to permit a front yard setback of 21.8' instead of 30', on the property located at 108 Walnut Street, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned upon preserving the two existing trees within the right-of-way of Walnut Street.
2. Recommend the Village Board approve the variation request to permit a 8.5' north side yard setback instead of 10', on the property located at 108 Walnut Street, in accordance with the reviewed plans, public testimony, and Findings of Fact.
3. Recommend the Village Board approve the variation request to permit a 4.9' south side yard setback instead of 10', on the property located at 108 Walnut Street, in accordance with the reviewed plans, public testimony, and Findings of Fact.
4. Recommend the Village Board approve the variation request to permit a lot coverage of 36.7%, instead of 20%, on the property located at 108 Walnut Street, in accordance with the reviewed plans, public testimony, and Findings of Fact.
5. Recommend the Village Board approve the variation request to permit an impervious lot coverage of 45.2%, instead of 40%, on the property located at 108 Walnut Street, in accordance with the reviewed plans, public testimony, and Findings of Fact.
6. Recommend the Village Board approve the variation request to permit non-masonry siding (LP Smart Siding) on the entire 1st floor of the building, instead of masonry, on the property located at 108 Walnut Street, in accordance with the reviewed plans, public testimony, and Findings of Fact.

Percentage Increase <u>Over Initial Coverage</u>								Average of other homes
	Applicant	Comparison	Comparison	Comparison	Comparison	Comparison	Comparison	
Address	108 Walnut	143 Kansas	213 Nebraska	213 Kansas	140 Walnut	23 W. Bowen	25 Carpenter	
Name	Ruzich	Brown	Plantz	Kirsch	McLean	Gander	Kerley	
Lot Size (SF)	6,376	5,000	6,687	6,183	6,275	8,720	8,000	6,811
Existing (Original) Lot Coverage (%)	22.7%	38.0%	24.0%	21.7%	28.5%	15.3%	18.0%	24.3%
Proposed Lot Coverage (%)	36.7%	41.0%	32.8%	30.0%	33.5%	26.0%	29.0%	32.1%
Lot Coverage % Difference (increased)	14.0%	3.0%	8.8%	8.3%	5.0%	10.7%	11.0%	7.8%
Existing (Original) Impervious Lot Coverage (%)	30.4%	41.0%	41.0%	No variance	No variance	No variance	No variance	41.0%
Proposed Impervious Lot Coverage (%)	45.2%	46.0%	41.9%					44.0%
Impervious Lot Coverage % Difference (increased)	14.8%	5.0%	0.9%	N/A	N/A	N/A	N/A	

Percentage Increase <u>Over the Maximum Permitted per Code</u>								Average of other homes
	Applicant	Comparison	Comparison	Comparison	Comparison	Comparison	Comparison	
Address	108 Walnut	143 Kansas	213 Nebraska	213 Kansas	140 Walnut	23 W. Bowen	25 Carpenter	
Name	Ruzich	Brown	Plantz	Kirsch	McLean	Gander	Kerley	
Lot Size (SF)	6,376	5,000	6,687	6,183	6,275	8,720	8,000	6,811
Maximum Lot Coverage Permitted (For 2-story home)	20.0%	20.0%	20.0%	20.0%	20.0%	20.0%	20.0%	
Proposed Lot Coverage (%)	36.7%	41.0%	32.8%	30.0%	33.5%	26.0%	29.0%	32.1%
Lot Coverage % Difference (increased)	16.7%	21.0%	12.8%	10.0%	13.5%	6.0%	9.0%	12.1%
Maximum Impervious Lot Coverage Permitted	40.0%	40.0%	40.0%	No variance	No variance	No variance	No variance	
Proposed Impervious Lot Coverage (%)	45.2%	46.0%	41.9%					44.0%
Impervious Lot Coverage % Difference (increased)	5.2%	6.0%	1.9%	N/A	N/A	N/A	N/A	

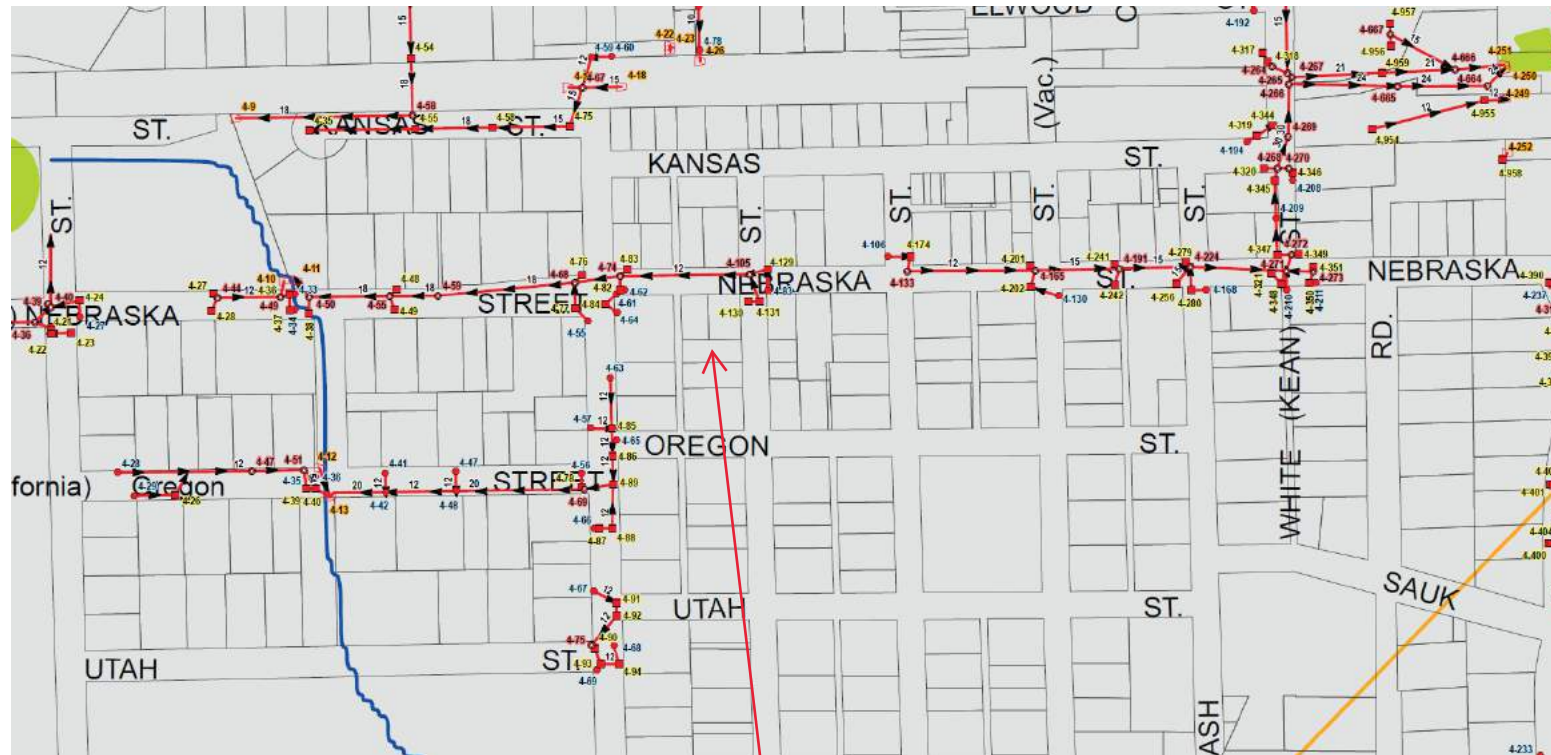
108 Walnut - house tear down/rebuild



108 Walnut - house tear down/rebuild



Existing Storm Sewer Map



108 Walnut

Downtown Frankfort Boundary Map
(Downtown Residential Design Guidelines - 2019 Comp Plan)



B | downtown residential design guidelines

QUICK CHECKLIST

The set of questions listed below are framed in such a way that if your answer is “yes” - it is likely that the design is on the right track towards contributing to the type of character and quality Frankfort seeks to maintain. The photos shown to the right are examples of residences that fulfill these design ideals. If the answer is not clear, or is questionable, you should look for ways to improve upon this design element.

Note: All new residential construction, building additions, and development in general must comply with the Zoning Ordinance regulations including but not limited to setbacks, height, lot coverage, and building materials.

- | | |
|---|--|
| 1. Does the building architecture complement and fit the character of surrounding structures - consider scale, setback, building height? | <input type="checkbox"/> Yes
<input type="checkbox"/> No
<input type="checkbox"/> Maybe |
| 2. Does the structure's architecture delineate and highlight the primary entrance? | <input type="checkbox"/> Yes
<input type="checkbox"/> No
<input type="checkbox"/> Maybe |
| 3. Are the proposed building materials consistent with the intended architectural style of the home and complementary to the materials utilized on the homes in the surrounding area? | <input type="checkbox"/> Yes
<input type="checkbox"/> No
<input type="checkbox"/> Maybe |
| 4. Are simplified roof forms provided that are consistent with both the intended architectural style and roof forms of homes in the surrounding area? | <input type="checkbox"/> Yes
<input type="checkbox"/> No
<input type="checkbox"/> Maybe |
| 5. Are there step-backs to the facade and / or architectural details that add depth and dimension, i.e. porches, bay windows? | <input type="checkbox"/> Yes
<input type="checkbox"/> No
<input type="checkbox"/> Maybe |
| 6. Are there interesting architectural details and landscape treatments integrated on site that complement the residence? | <input type="checkbox"/> Yes
<input type="checkbox"/> No
<input type="checkbox"/> Maybe |
| 7. Are the predominate facade colors / building materials of a natural color palette that is complementary to the homes in the surrounding area. | <input type="checkbox"/> Yes
<input type="checkbox"/> No
<input type="checkbox"/> Maybe |





Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
The existing home is uninhabital as is. The tax assessor agreed and reduced the property tax due to the condition of the home.
2. That the plight of the owner is due to unique circumstances; and
Rehabbing this home is not possible due to the condition.
3. That the variation, if granted, will not alter the essential character of the locality.
We are proposing a home that is consistent with the new homes in downtown Frankfort as well as the 2 new homes on the same street.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
As owner, I cannot repair the home due to its current condition. For the safety and well being of the surrounding neighbors, this home should be deemed uninhabital.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
The current structure is undersized in width compared to surrounding homes and a variance is needed to bring the petitioned home to current required standards, ie., size, width, etc
3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
The proposed variation(s) would improve the standard Franfort has set fourth. This has nothing to do with making more money but more to do with enhancing the area.
4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
The home was bought as is, with the possibility of rehabbing the existing structure. Due to the unsafe nature of same it is best to tear the home down and rebuild to provide a safe residence for the future homeowner.
5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
On the contrary, granting approval for the variation, will vastly improve the neighborhood
6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or
The proposed variance(s) does fall within the Village specifications.
7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.
The proposed variation will not interfere with the air quality and/or increase any danger to the properties in or around the site.

The applicant explained that they had proposed installing turf on top of the asphalt because some of the children they worked with would put things in their mouth, and they did not want those children to ingest things that weren't edible, such as mulch.

Commissioner James said that he thought the turf and sand fill option seemed like the best idea. He also suggested that they look for opportunities to keep play equipment out of the sun, so that the play area did not appear neglected.

The applicant said that they replace toys when they become outdated.

Commissioner James said he had no concerns about the existing parking. He asked if Action Behavior Centers had set drop off and pick up times.

The applicant said that some kids would start at 8:00, 8:15, or 9:00, while others may only come in the afternoon for half-days. Some might be dropped off by a school bus and added that there were dedicated spots for drop off.

Chair Rigoni asked if traffic moving on and off the site functioned like the KinderCare to the east.

The applicant said that it did.

Chair Rigoni asked how tall the proposed fence would be.

The applicant said it would be four feet tall, and that they were open to different designs of the outdoor area if needed.

Commissioner Knieriem suggested having a strip of landscaping between the drive aisle of the parking lot and the proposed play area. That would provide a curb and plants as additional barriers for traffic.

Chair Rigoni said that she would not want her child to not feel like they were playing in a parking lot. She added that the building was occupied.

G. Workshop: 108 Walnut Street – Demolition and New Home Construction

Chris Gruba gave the staff report.

The applicant, Gabriel Garcia of Ideal Designs, and Jim Sleeman, the builder, approached the stand.

Chair Rigoni asked for comments about the proposed front yard setback.

The Plan Commissioners had no concerns with the proposed front yard setback request.

Chair Rigoni asked what the side yard setbacks were for the existing home.

The builder said that they were 6.2 feet on either side.

The applicant added that the setbacks they were proposing were larger than the existing home, though the setback on the south yard were different due to the strange shape of the lot in the southwest corner.

Commissioner James asked if the proposed side yard setback would be 8.3 on the south yard if the lot were not an irregular shape.

The applicant said that it would be, yes.

Chair Rigoni asked if there were any other comments on the proposed side yard setbacks.

Commissioner Knieriem said that the side yard setbacks they were proposing were better than what currently existed on the lot.

Commissioner Markunas agreed.

Commissioner James asked how much space there would be between the proposed garage and the garage on the property to the south.

Chair Rigoni asked if a certain amount of space was required between the two structures by the Fire District.

Chris Gruba said he was unsure if there was such a requirement.

Chair Rigoni asked staff to make sure that the proposed home met that requirement if it existed.

Commissioner Schaeffer asked if the existing screen fence on the north side of the house would remain.

The applicant said that it would.

Chair Rigoni asked if there were any comments on the proposed lot coverage and impervious coverage variations. She recalled talking at length about those requests when the Plan Commission was considering the property at 217 Nebraska Street, which sat on a similarly sized lot.

The builder noted that the home at 140 Walnut Street had a smaller setback.

Commissioner Schaeffer excused herself from the dais at 8:22 P.M.

Chair Rigoni asked for comments about the proposed lot coverage and impervious lot coverage variations. She asked staff what was included in the impervious lot coverage calculation other than the proposed home.

Chris Gruba stated that the driveway and sidewalks were included in the impervious lot coverage calculation. The sidewalks were narrowed to try and reduce the total impervious area.

There was some discussion of a rear yard setback which the applicant had initially proposed to staff, but which was dropped prior to the workshop.

The builder added that the impervious lot coverage also included the proposed porches.

Commissioner Knieriem asked if the proposed pavers were counted towards the impervious lot coverage calculation.

Commissioner Schaeffer returned to the dais at 8:24 P.M.

Commissioner Markunas stated that he thought the requested amount of impervious area was high when he first saw it, but acknowledged that the lot was undersized for the R-2 zone district.

There was some discussion of previous cases the Plan Commission had considered that had similar lot dimensions.

Commissioner Knieriem said that he was a stickler for the impervious lot coverage requirements in the downtown area because flooding was a big issue around there. He asked if there were any nearby storm sewers.

Chris Gruba said he was unsure.

The builder said he could connect the gutters to storm sewers if it was needed.

There was some more discussion on stormwater drainage.

Chair Rigoni asked what changes could be made to the proposed plans to reduce the impervious lot coverage. She suggested that the driveway might be keeping the impervious lot coverage figure high.

The applicant said that he could make the driveway shorter, but that they would then need to request a variation for the rear yard setback.

Commissioner James noted that the proposed porch and patio were both of reasonable sizes. Those had both been points of discussion with a previous case. The current proposal appeared to have a high impervious lot coverage because of the large home and large driveway.

The builder said that a detached garage would not really work for the proposed home. Other homes nearby had attached garages. They could shorten the driveway by changing to a detached garage, but it would not have a large impact on the impervious lot coverage.

Chair Rigoni said that she thought the attached/detached garage situation was less of an issue since the garage was located in the rear of the home.

There was some discussion about whether pavers were counted as impervious surface.

Commissioner Schaeffer said that she wanted to know how the current proposal compared to past proposals proportionately.

The builder noted that they were giving up a lot of lot area for the required side yards, nearly a third of the total lot area.

Chair Rigoni said that each proposal in the area which had requested a variation from the impervious lot coverage requirement was asking for a larger and larger variation. She wanted to understand the progression of those requests over time.

Commissioner James noted that the property at 143 Kansas Street had proposed more impervious lot coverage on a smaller lot.

Commissioner Schaeffer said that she was more concerned about the impervious lot coverage request than the lot coverage request, since the former had more to do with stormwater infiltration and flooding.

There was some discussion about moving the house further back on the lot to shorten the driveway.

Commissioner Knieriem asked Chair Rigoni if she was more concerned about the proposed setbacks or the proposed impervious lot coverage.

Chair Rigoni said she was more concerned about the impervious lot coverage. The proposed setbacks would improve the impact of the property on the overall streetscape. This was not the case with the impervious lot coverage.

There was some discussion about paving the alley to the west of the property.

Commissioner Schaeffer said that she wanted to understand the proportionality of the lot coverage and impervious lot coverage requests with the existing home and the proposed home. She also would like to see a comparison to other recent cases which made similar requests.

Chair Rigoni asked that the figures for the proposed home be compared to the most recent case that requested a variation for lot coverage and impervious lot coverage in the downtown. She wanted to know how the currently proposed home would look on a lot from a previous approval, and whether they would require a similar variance or a greater variance on that lot.

Commissioner Knieriem added that he wanted to see if there was a nearby catch basin that the home could connect to. He reiterated that water could be a major issue for homeowners in the downtown.

Chair Rigoni asked if there were any comments regarding the request to use non-masonry materials on the first floor of the home.

Commissioners Knieriem and Markunas said they were comfortable with the proposed materials.

Chair Rigoni thanked the applicant for not proposing white siding, as well as for using the proposed metal roof only as an accent.

There was some discussion around brick chimneys.

Chris Gruba said there were none.

Chair Rigoni asked if there were any other comments or questions.

The builder said that he would look into drainage solutions.

Chair Rigoni thanked the applicant for submitting renderings of the home, particularly those that showed what it might look like along the street.

Chris Gruba asked if the Plan Commission had any comments about trees.

Chair Rigoni asked the applicant to do a tree survey, and to include the trees in the right-of-way. They might be impacted during construction.

The builder said he intended to remove the right-of-way trees and replace them in kind after construction was finished.

H. Public Comments

There were no public comments.

I. Village Board & Committee Updates

Mike Schwarz notified the Plan Commission of two recent Village Board approvals:

- On April 17th, the Village Board approved the Plat of Resubdivision for Lighthouse Pointe.

Mike Schwarz thanked Chair Rigoni for her work on the Plan Commission and wished her well in her new role as Trustee.

122 Walnut









Residential
Commercial
ALTA

PLAT OF SURVEY

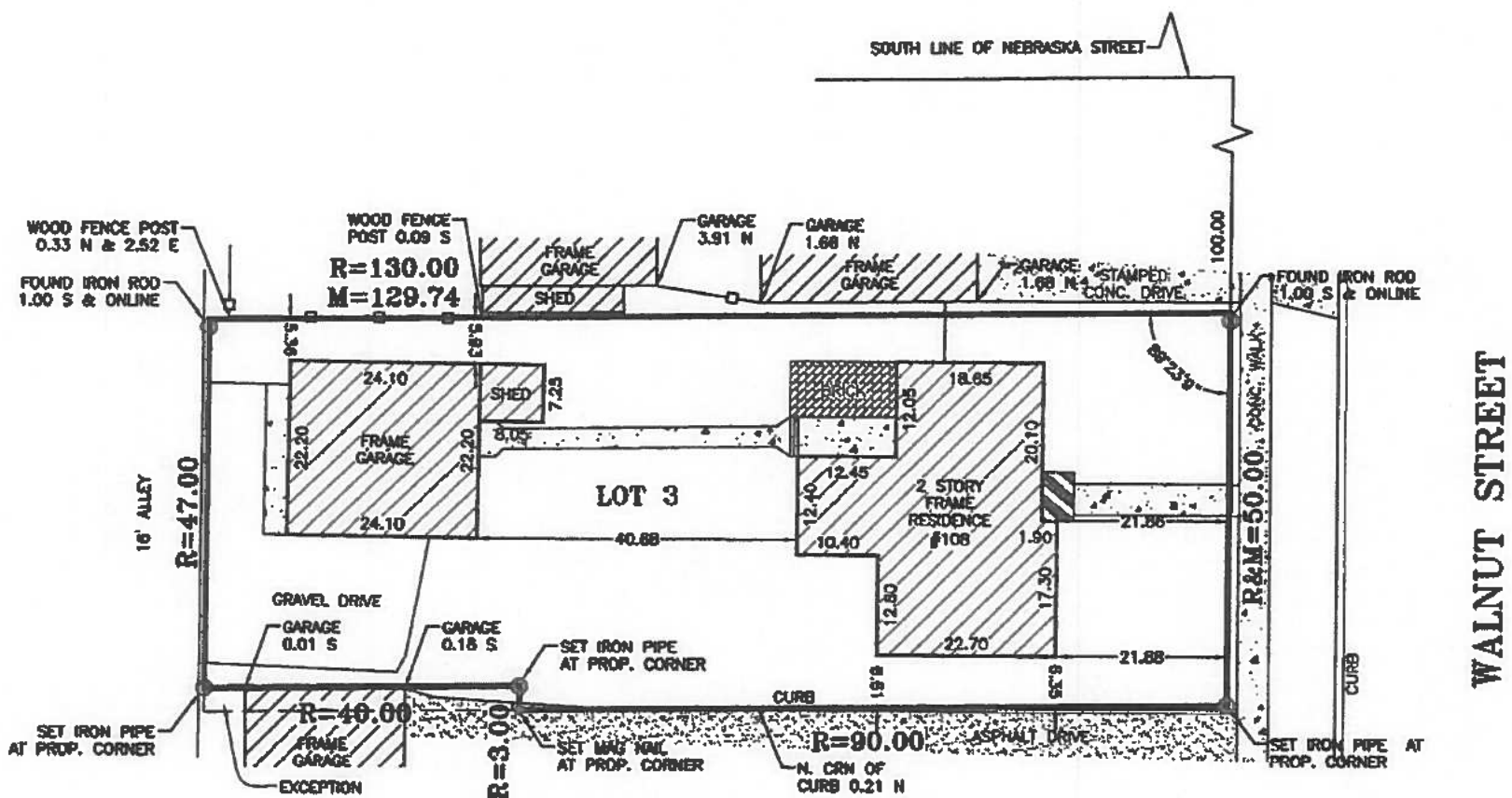
Studnicka and Associates, Ltd.
studnicka2000@gmail.com

Topographical
Condominium
Site Plans

Tel. 815 485-0445
Fax 815 485-0528

17901 Haas Road
Mokena, Illinois 60448

LOT 3, EXCEPT THE SOUTH 3 FEET OF THE WEST 40 FEET THEREOF, IN BLOCK 8 IN THE ORIGINAL TOWN OF FRANKFORT, BEING A SUBDIVISION OF PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 9, 1856 IN BOOK 43, PAGE 168, AS DOCUMENT NO. 228771, IN WILL COUNTY, ILLINOIS.



Scale: 1" = 20 feet

Distances are marked in feet and decimals.

Ordered by: Al Beaudreau

Order No.: 19-7-156

Compare all points before building by same and at once report any difference. For building lines, restrictions, or easements not shown hereon, refer to abstract, deed or ordinance.

Field work completed: 7/30/19

Drawn by: J.G.S.

Proofed by: T.S.

Design Firm Registration # 184-002791

STATE OF ILLINOIS }
COUNTY OF WILL }



Studnicka and Associates, Ltd., an Illinois Land Surveying Corporation does hereby certify that this professional service conforms to the current Illinois standards for boundary survey.

Mokena, IL, July 31, A.D. 2019

by

License No. 3304 Expires 11/30/20



ideal
DESIGNS

22088



DESIGNS

22088

16' ALLEY
47.01'

WD FENCE

**ADJACENT
PROPERTY
FRAME GARAGE**

129.77'

ADJACENT
PROPERTY
FRAME GARAGE

ADJACENT
CONC DRIVE

ADJACENT
PROPERTY
FRAME GARAGE

40.00'

3.00'

CURB

90.00'



NEW DRIVEWAY

NEW PATO BLOCKS WALK

**REAR
COVERED
PATTO**

**NEW
ATTACHED
GARAGE**

**NEW
2 STORY
FRAME
RESIDENCE
#108**

**FRONT
COVERED
PORCH**

NEW 2FT CONC WALK

CON PUBLIC WALK 50.00'

CURB

22088

WALNUT STREET



A Custom Home For **Dan & Paige Ruzich** **108 Walnut St., Frankfort, IL**

INDEX:

- I. Site Plan - Existing and Proposed
- II. Plat of Survey
- III. Geometric Site Plan - New Home Overlay
- IV. Elevations and Floor Plans
- V. Rendered Streetscape
- VI. Front Elevation Rendering
- VII. Color Site Rendering

RECEIVED

By Christopher Gruba at 1:54 pm, Jul 25, 2023

OWNER:

Dan & Paige Ruzich
 13241 Jean Creek Dr.
 Orland Park, IL 60462
 Dan: 708-267-5965
 Paige: 815-630-8077
danruzich4@gmail.com

GENERAL CONTRACTOR:

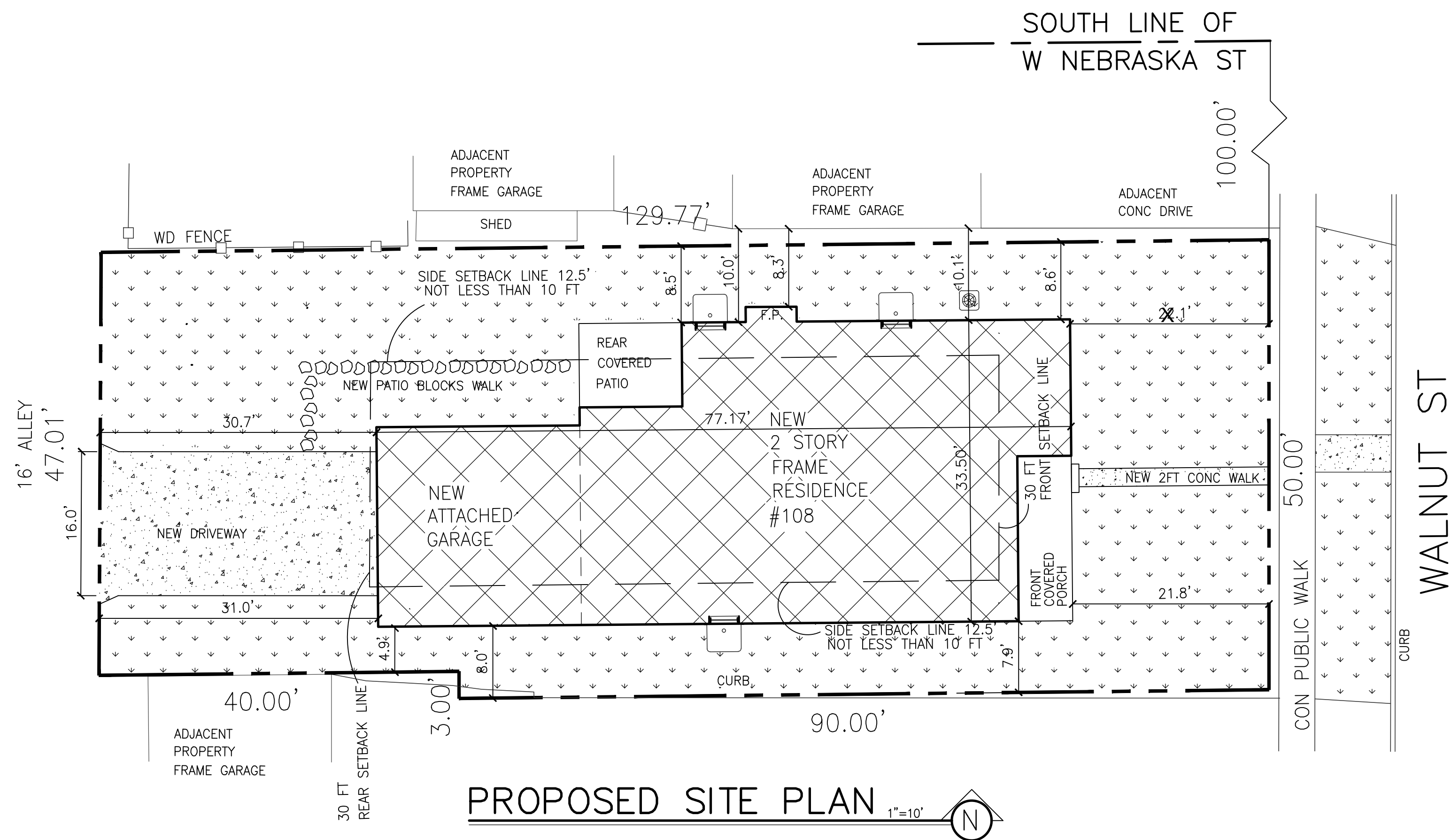
Sleeman Construction, Inc.
 Jim Sleeman
 10779 Yankee Ridge Dr.
 Frankfort, IL 60423
 Phone: 815-405-9046
j.sleeman@comcast.net

SURVEYOR:

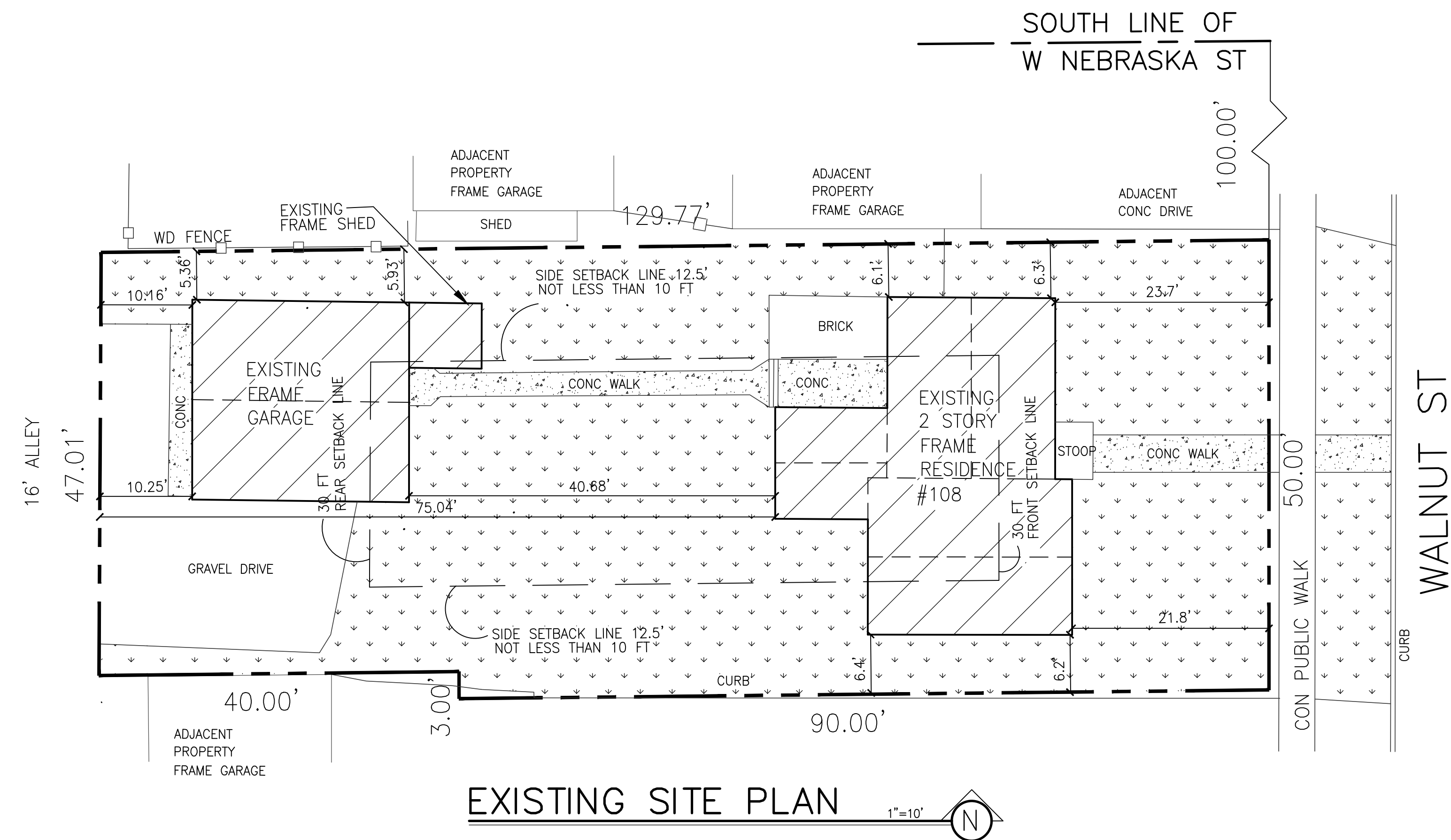
M. Gingerich Gereaux & Assoc.
 Brian Hertz
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 Manhattan, IL 60442
 Phone: 815-478-9680
bhertz@mg2a.com
www.mg2a.com

ARCHITECT:

Ideal Designs, Inc.
 Gabriel Garcia
 20960 Frankfort Square Rd., Suite A
 Frankfort, IL 60423
 Phone: 708-407-8028
gabe@idealcustomdesigns.com
www.idealcustomdesigns.com



PROPOSED SITE PLAN 1"=10'



EXISTING SITE PLAN 1"=10'

ZONING DATA				
ZONING DISTRICT:	R-2 SINGLE FAMILY RESIDENTIAL DISTRICT			
USE:	SINGLE FAMILY DWELLING			
DENSITY, DIMENSIONAL, AND OTHER STANDARDS				
	REQUIRED	ACTUAL (EXISTING)	ACTUAL (PROPOSED)	COMPLY
DWELLING UNITS:	2.25 MAX.	1	1	YES
LOT SIZE:	15,000 S.F.	6,376 S.F.	6,376 S.F.	NO
LOT WIDTH:	100 FT. MIN.	50'	50'	NO
LOT DEPTH:	150 FT. MIN.	129.77'	129.77'	NO
MINIMUM REQUIRED YARDS:				
	REQUIRED MINIMUM	ACTUAL (EXISTING)	ACTUAL (PROPOSED)	COMPLY
FRONT YARD	30 FT.	21.8'	21.8'	NO
SIDE YARD (SOUTH)	12.5' NOT LESS THAN 10 FT. ON ANY SIDE	6.2'	4.9' & 7.9'	NO
SIDE YARD (NORTH)	12.5' NOT LESS THAN 10 FT. ON ANY SIDE	6.1'	8.5'	NO
REAR YARD	30 FT.	75.04'	30.7'	YES
BULK DIMENSIONS:				
	REQUIRED	ACTUAL (EXISTING)	ACTUAL (PROPOSED)	COMPLY
HEIGHT:	35 FT. MAX.	22'-4"	32'-4"	YES
MAXIMUM LOT COVERAGE:	1,275 S.F. MAX. (20% MAX.)	1,507 S.F. (23.6%) (HOUSE, GARAGE, SHED)	2,339 S.F. (36.7%) (HOUSE, GARAGE, COVERED PORCH & PATIO)	NO
IMPERVIOUS COVERAGE:	2,550 S.F. MAX (40% MAX.)	1,941 S.F. MAX (30.4% MAX.)	2,881 S.F. MAX (45.2% MAX.)	NO
GROSS FLOOR AREA:	MORE THAN ONE STORY = MIN. 2,600 S.F.	1,308 S.F.	3,263 S.F.	YES
BASEMENTS:	EACH DWELLING UNIT REQUIRES A BASEMENT EQUAL TO 80% OF THE GROUND FLOOR AREA OF THE FIRST STORY	770 S.F. (84%)	1,475 S.F. (100%)	YES

HOUSE GROSS SQ. FT. AREAS		
	EXISTING	PROPOSED
BASEMENT:	770 SF	1,475 SF
FIRST FLOOR:	914 SF	1,622 SF
SECOND FLOOR:	394 SF	1,641 SF
TOTAL GROSS FLOOR AREA (1ST + 2ND):	1,308 SF	3,263 SF

BUILDING FOOTPRINT AREA:		
	EXISTING	PROPOSED
BUILDING FOOTPRINT AREA-FIRST FLOOR:	914 SF	1,622 SF
FRONT COVERED PORCH:		110 SF
REAR COVERED PATIO:		107 SF
GARAGE	535 SF	500 SF
BUILDING FOOTPRINT AREA TOTAL:	1,449 SF	2,339 SF

IMPERVIOUS COVERAGE CALCULATION		
	EXISTING	PROPOSED
BUILDING FOOTPRINT AREA	1,449 SF	2,339 SF
SHED	58 SF	0 SF
FRONT STOOP	27 SF	0 SF
REAR YARD CONC WALK	114 SF	0 SF
REAR BRICK PATIO	93 SF	0 SF
REAR CONC PATIO	70 SF	0 SF
CONC AT GARAGE	49 SF	0 SF
FRONT PROPERTY WALK	81 SF	41 SF
DRIVEWAY:		501 SF
TOTAL:	1,941 SF	2,881 SF



SITE LOCATION MAP
NO SCALE

LAND DESCRIPTION
LOT 3, EXCEPT THE SOUTH 3 FEET OF THE WEST 40 FEET THEREOF, IN BLOCK 8 IN THE ORIGINAL TOWN OF FRANKFORT, BEING A SUBDIVISION OF A PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 9, 1856 IN BOOK 43, PAGE 168, AS DOCUMENT NO. 228771, IN WILL COUNTY, ILLINOIS

BULK REQUIREMENTS TABLE

TOTAL AREA = 6,357 6,376 SQ. FT.
EXISTING / PROPOSED ZONING: R-2
EXISTING / PROPOSED USE: SINGLE-FAMILY RESIDENTIAL

	REQUIRED	PROPOSED
MINIMUM FRONT YARD	30 FT	21.8 FT
MINIMUM SIDE YARD	10 FT MIN (TOTAL OF 25-FT)	4.9 FT (S) & 7.9 FT (S) & 8.5 FT (N)
MINIMUM REAR YARD	30 FT	30.7 FT
MINIMUM LOT AREA	15,000 SQ. FT.	6,357 6,376 SQ. FT.
MAXIMUM LOT COVERAGE	20%	2,339 / 6,357 6,376 = 36.7%

MAXIMUM LOT COVERAGE TABLE
LOT AREA = 6,357 6,376 SQ. FT.

	PROPOSED (SF)
BUILDING FOOTPRINT AREA (inc. porches)	2,339
LOT COVERAGE (2-STORY)	36.7% (20%=1,275 ALLOWABLE)

MAXIMUM IMPERVIOUS COVERAGE TABLE
LOT AREA = 6,357 6,376 SQ. FT.

	PROPOSED (SF)
BUILDING FOOTPRINT AREA (inc. porches)	2,339
DRIVEWAY	501
SIDEWALK	41
TOTALS	2,881
PERVIOUS AREA	3,495
IMPERVIOUS LOT COVERAGE	45.2% (40%=2,550 ALLOWABLE)

LEGEND

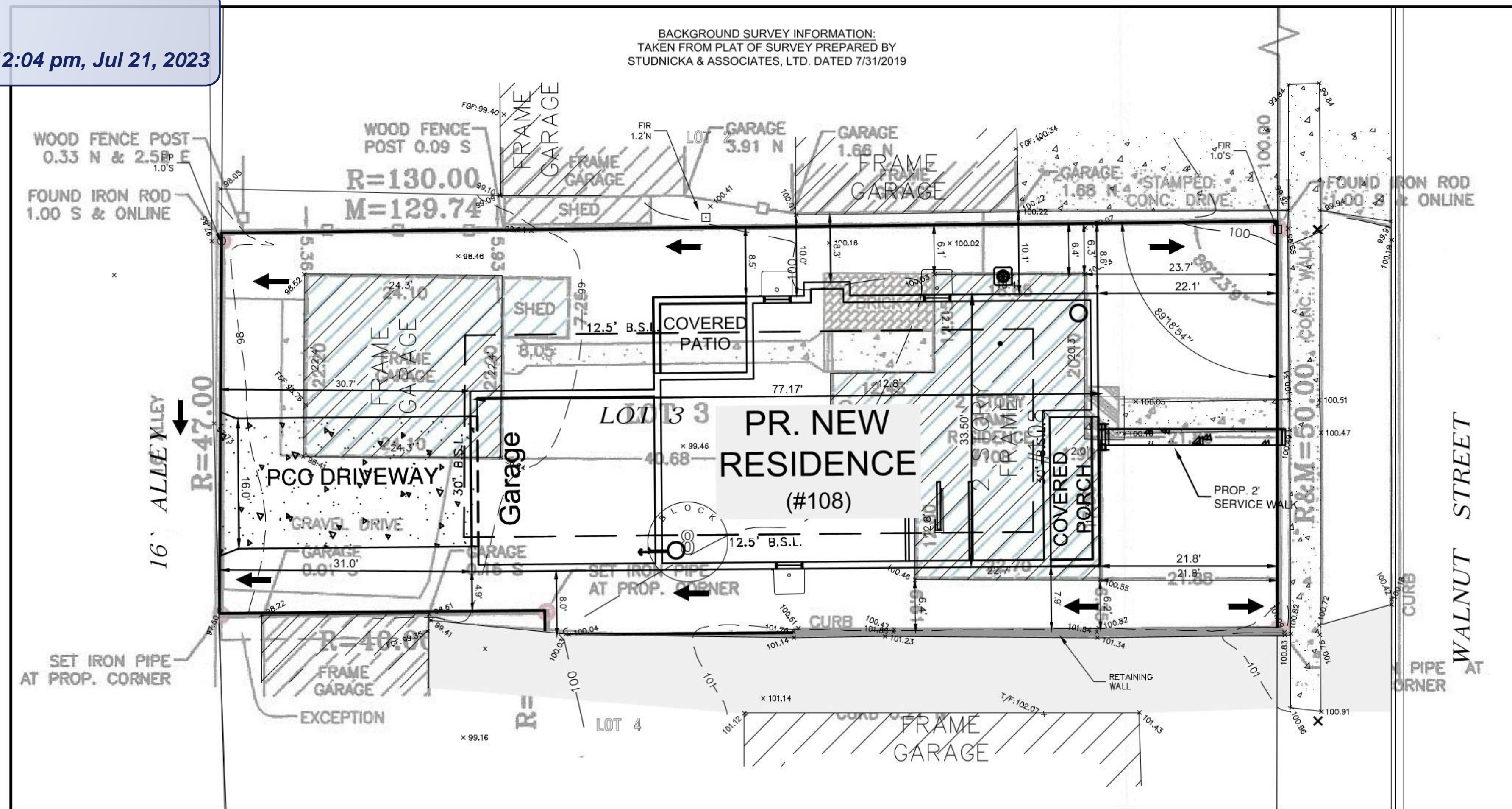
+730.00	- EXISTING SPOT ELEVATION	- PROPOSED WATER SERVICE, 1.5" MIN. TY K COPPER
---	- EX. GROUND CONTOUR (PRE-SUBDIVISION)	- PROPOSED SANITARY SERVICE, 6" MIN. PVC
-	- EXISTING STORM SEWER	(WATER & SEWER SERVICES TO BE CONSTRUCTED PER LOCAL REQUIREMENTS. FIELD VERIFY EX. SERVICE LOCATIONS & SIZING PRIOR TO CONSTRUCTION)
-	- EXISTING SANITARY SEWER	
⊙	- EXISTING STORM CATCH BASIN	
⊙	- EXISTING SANITARY MANHOLE	
→	- PROPOSED FLOW DIRECTION ARROW	
PXXX.XX	- PROPOSED SPOT ELEVATIONS	ABBREVIATIONS
TCXXX.XX	- PROPOSED TOP OF CURB ELEVATIONS	P.U. or P.U.E. - PUBLIC UTILITY EASEMENT
FGF-XXX.XX	- SUGGESTED FINISHED GARAGE FLOOR ELEVATION	B.S.L. - BUILDING SETBACK LINE
T/F-XXX.XX	- SUGGESTED TOP OF FOUNDATION ELEVATION	D.E. - DRAINAGE EASEMENT
FBF-XXX.XX	- SUGGESTED FINISHED BASEMENT FLOOR ELEVATION	PCC - PORTLAND CEMENT CONCRETE

THE EXISTING GROUND CONTOURS ARE BASED UPON A TOPOGRAPHIC SURVEY OF THE ORIGINAL GROUND. ANY DISTURBED AREAS SHALL BE GRADED TO MATCH THE ORIGINAL GROUND TOPOGRAPHY AND PROPOSED GROUND CONTOURS. THE TOPOGRAPHY OF DISTURBED AREAS SHALL BE CHECKED BY THE INDIVIDUAL BUILDER.

DUE TO THE UNCERTAINTY OF SEASONAL GROUND WATER TABLES AND THE GEOPHYSICAL CONDITIONS AFFECTING GROUND WATER MOVEMENT, M. GINGERICH, GEREUX & ASSOCIATES TAKES NO RESPONSIBILITY FOR THE MANAGEMENT OF GROUND WATER ASSOCIATED WITH SUB-GRADE CONSTRUCTION. BASEMENTS OR OTHER LIKE FACILITIES CONSTRUCTED BELOW THE FINISHED SURFACE GRADE OF THE PROPERTY ARE AT THE RISK OF THE BUILDER/OWNER

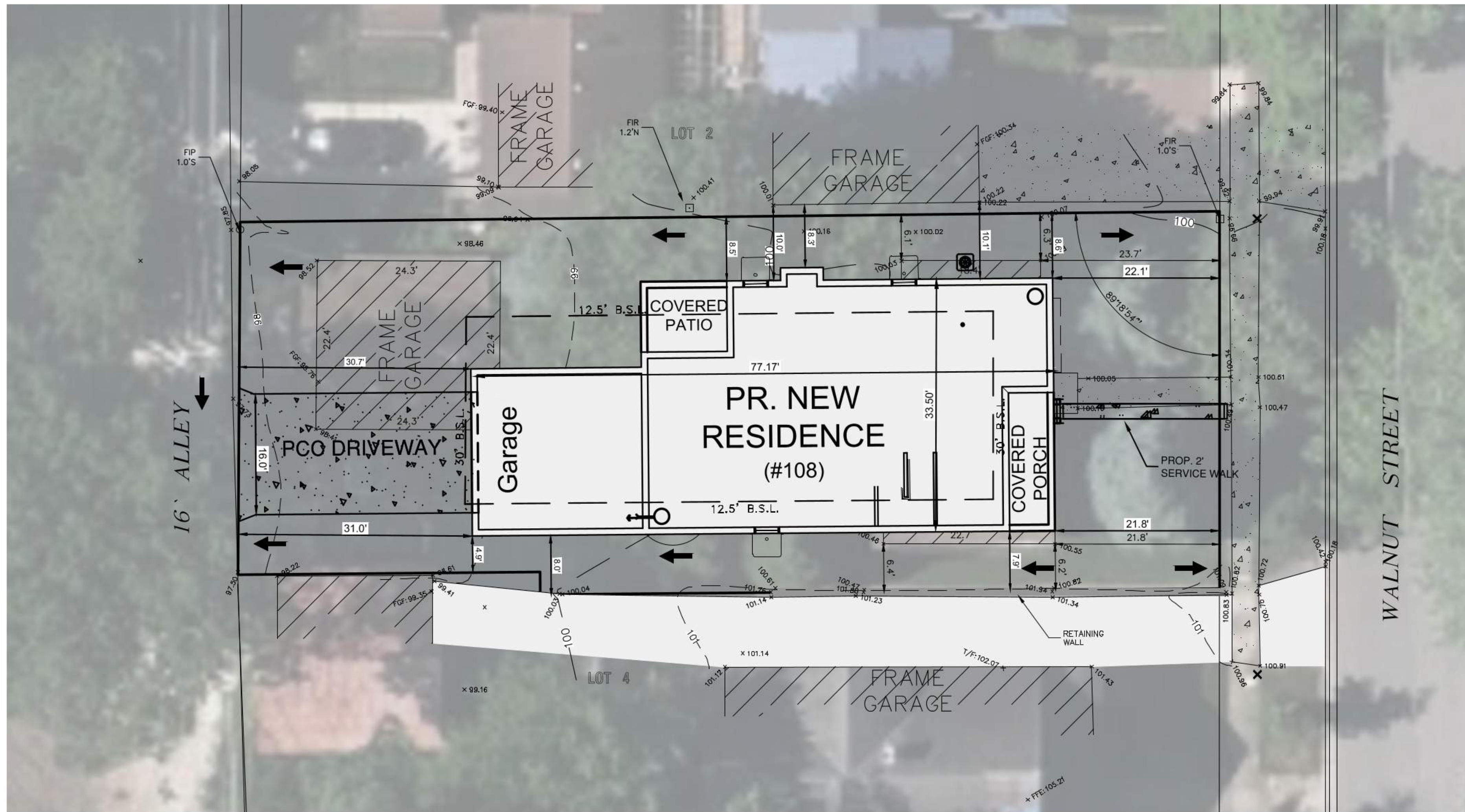
RECEIVED

By Christopher Gruba at 12:04 pm, Jul 21, 2023



PROPOSED OVERLAY w/ EXISTING CONDITIONS

SCALE: 1"=10'



DATE	BY	DESCRIPTION
02/17/23	BPH	ISSUED FOR REVIEW
03/02/23	BPH	PER VILLAGE REVIEW
03/28/23	BPH	PER VILLAGE REVIEW
06/19/23	BPH	PER SURVEY WORK
07/17/23	BPH	PER VILLAGE REVIEW
07/21/23	BPH	SETBACK TABLE

CIVIL ENGINEERING
SURVEYING



M GINGERICH GEREUX & ASSOCIATES
MC2A WEST
Professional Design Firm License # 184-005003
P. 815-478-9680 F. 815-478-9685
25620 S. GOUGAR RD., MANHATTAN, IL 60442
www.mg2a.com

DESIGN: RSR

DRAWING: RSR

CHECKED: BPH

APPROVED: BPH

108 WALNUT STREET
FRANKFORT, ILLINOIS

GEOMETRIC SITE PLAN

SHEET NO.

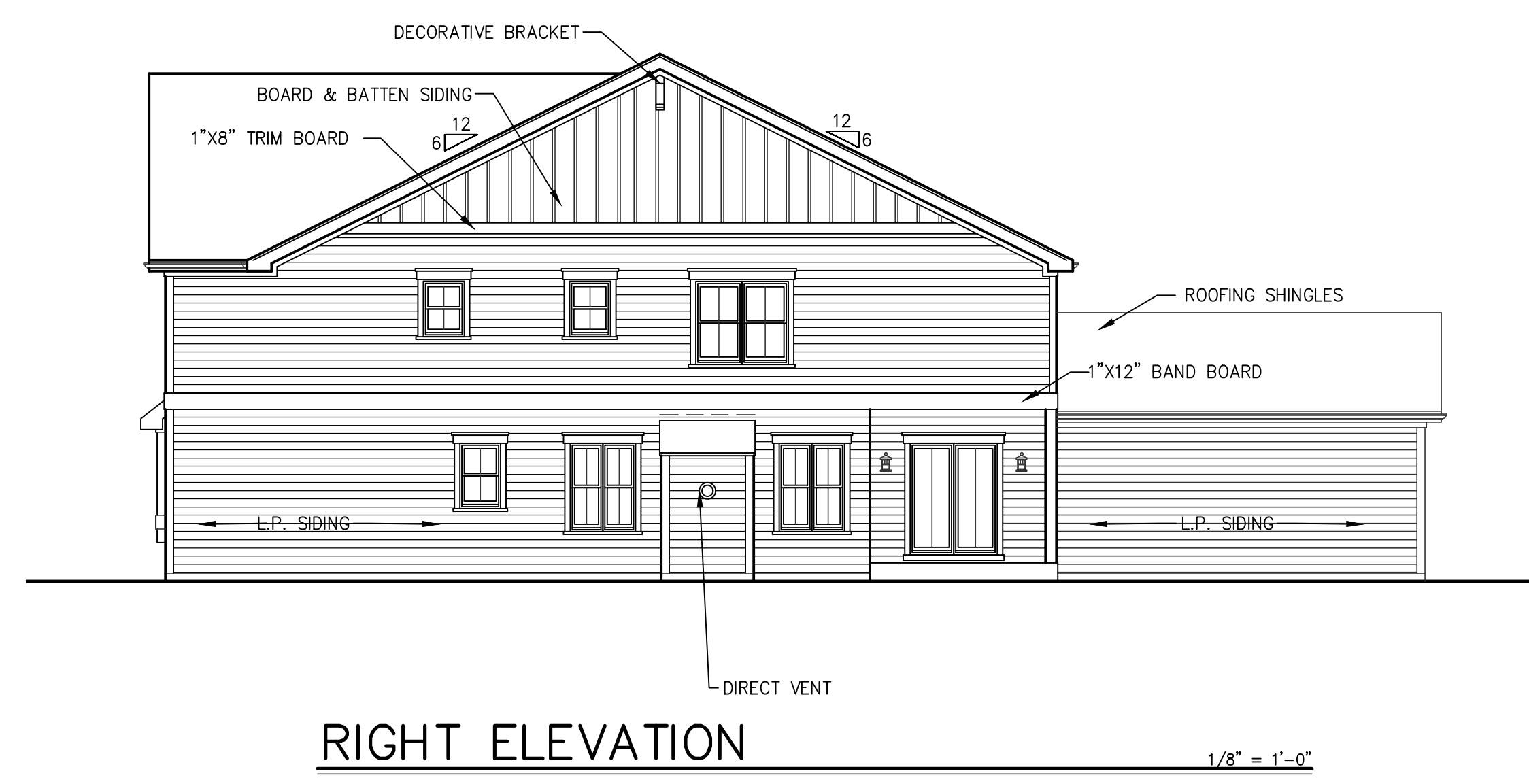
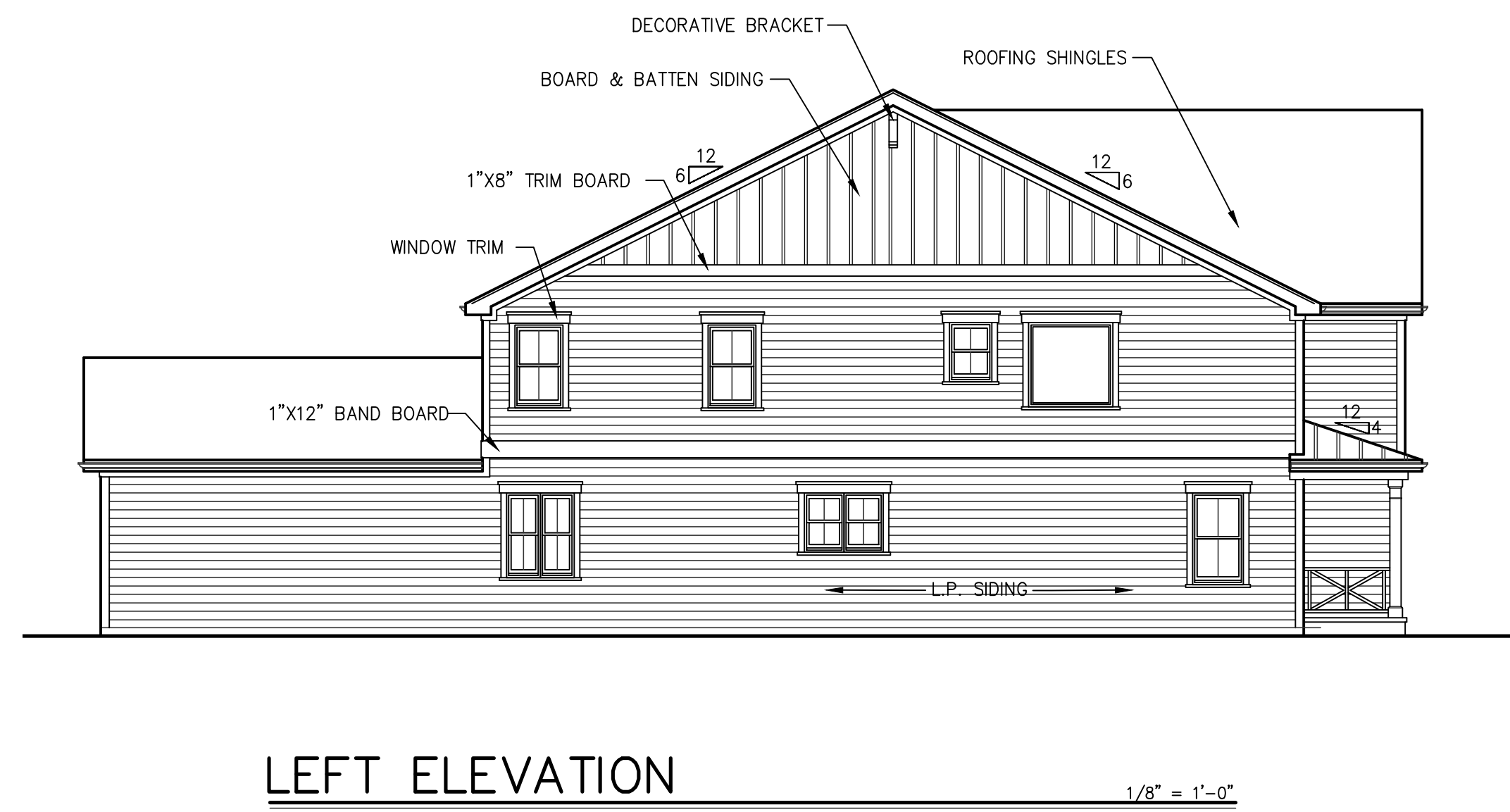
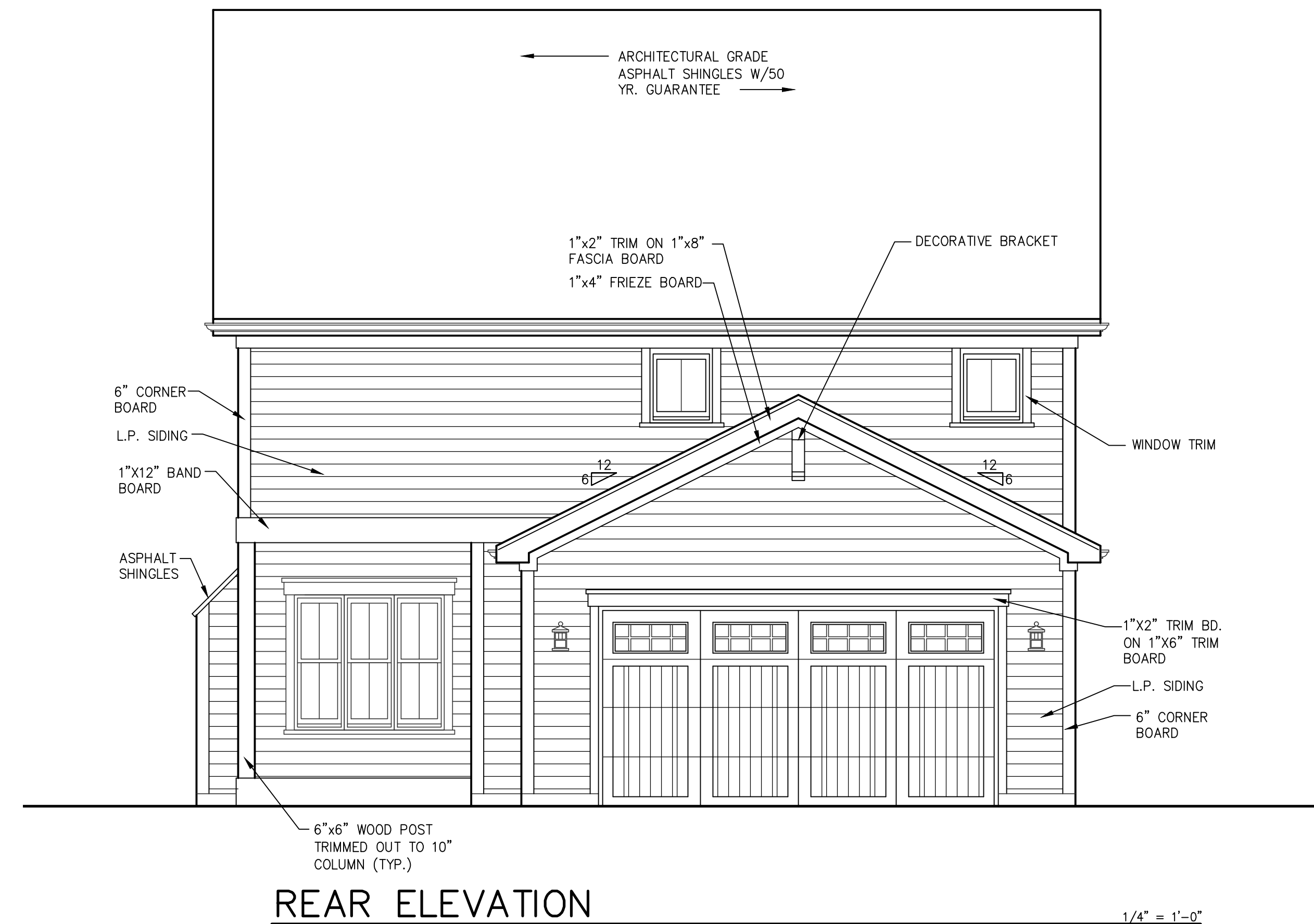
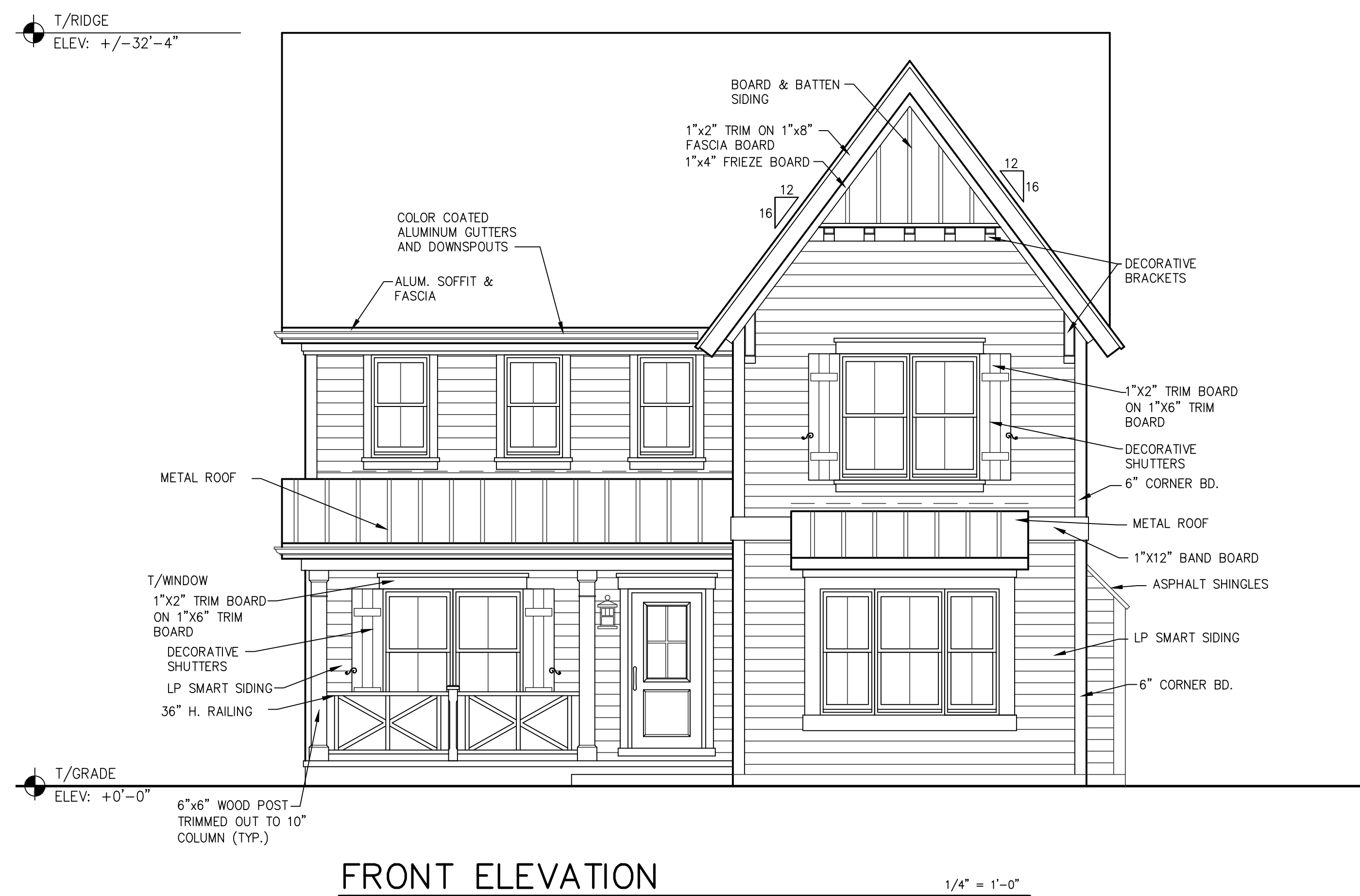
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OF

1

JOB NO. 23-027

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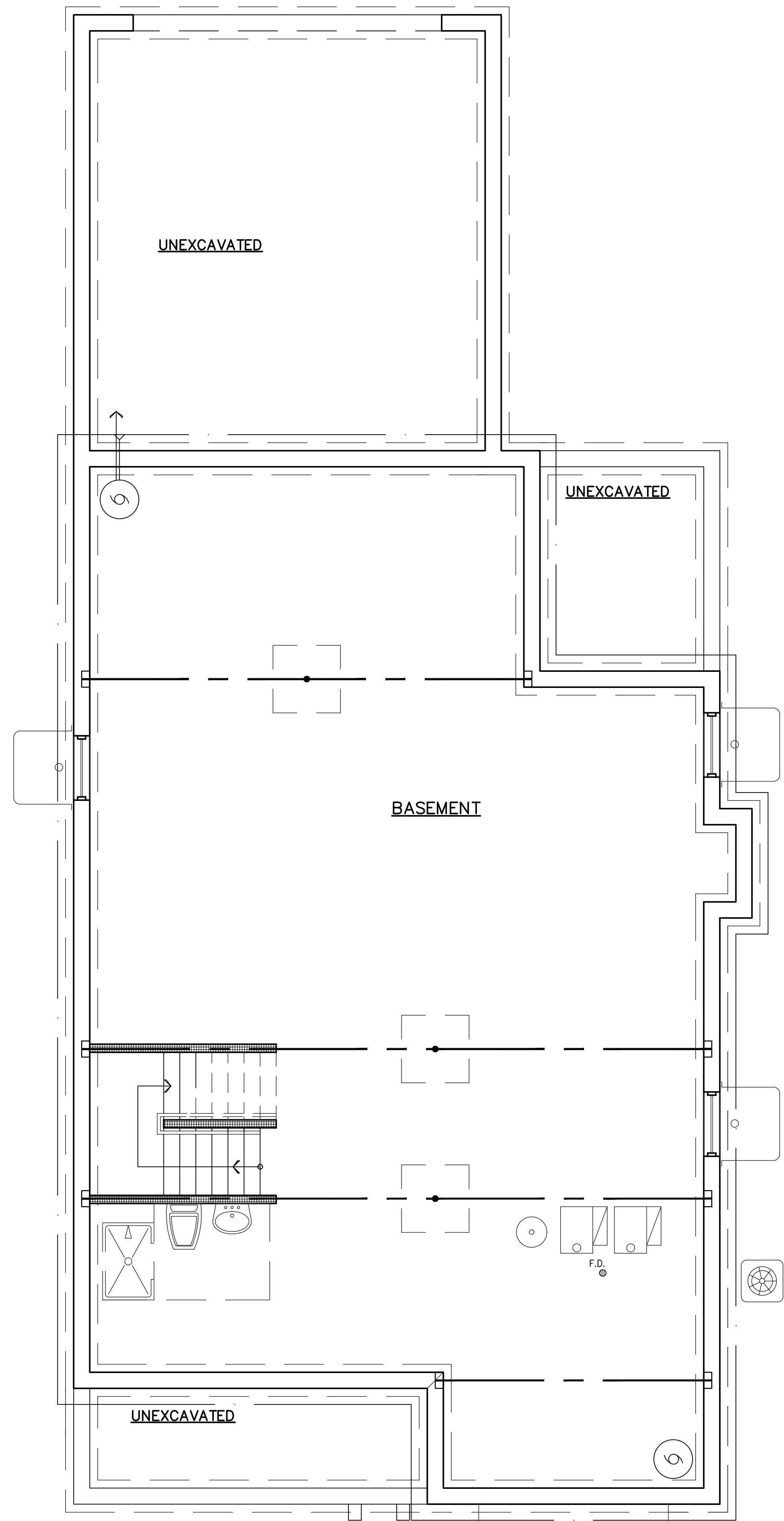
ideal
DESIGNS
ARCHITECTS / DESIGNERS
20960 FRANKFORT SQ. RD.
SUITE A
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T: (708) 407-8028
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gabe@idealcustomdesigns.com
www.idealcustomdesigns.com

A CUSTOM HOME FOR
SLEEMAN BUILDERS
108 WALNUT STREET
FRANKFORT, ILLINOIS

DESIGN FIRM REG. NO.
184.006972
EXP. DATE
4-30-23

REVISIONS		
REV #	DATE:	REV. PER:
DATE: 06-28-23		
DRAWN BY:	PAP	
PREVIOUS NO.	-	
PROJECT NO. 22088		

SHEET NUMBER
A-2



FOUNDATION PLAN

INTERIOR AREA: 1,475 SQ. FT.

1/4"=1'-0"

ideal

DESIGNS

ARCHITECTS / DESIGNERS

20960 FRANKFORT SQ. RD.

SUITE A

FRANKFORT, ILLINOIS

T: (708) 407-8028

F: (779) 333-7960

gabe@idealcustomdesigns.com

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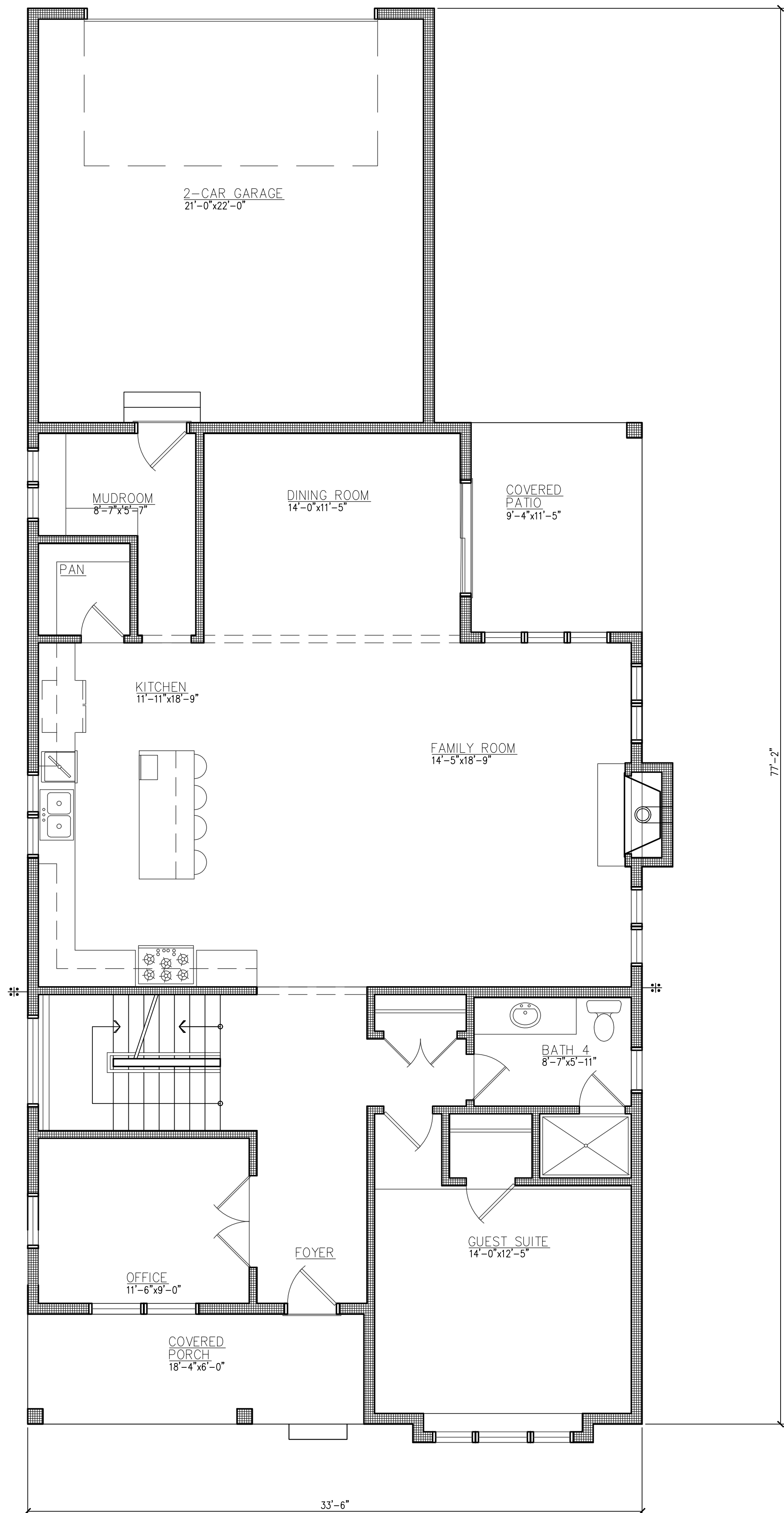
A CUSTOM HOME FOR
SLEEMAN BUILDERS
108 WALNUT STREET
FRANKFORT, ILLINOIS

DESIGN FIRM REG. NO.
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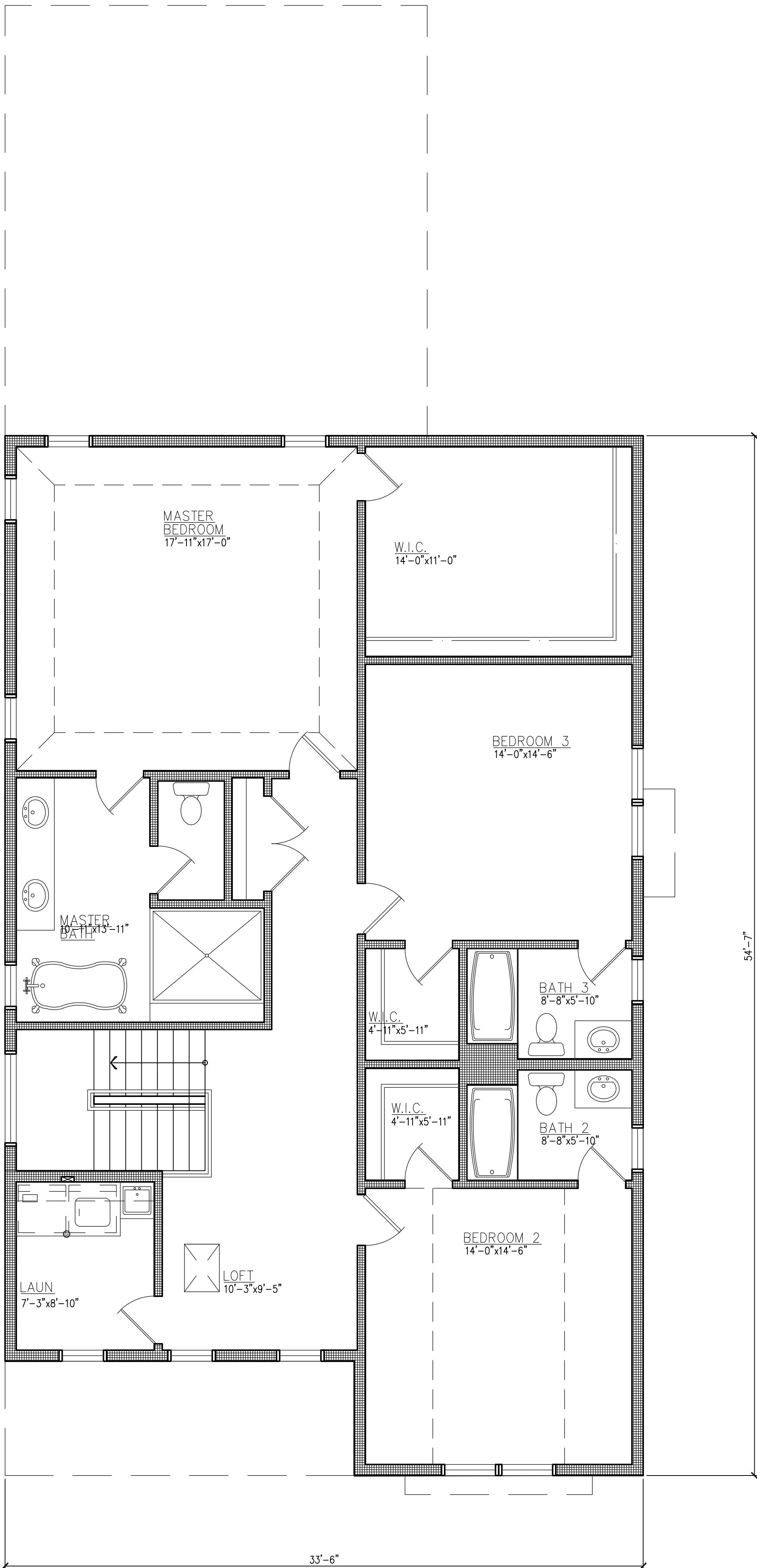
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DATE:		
06-28-23		
DRAWN BY:	PAP	
PREVIOUS NO.		-
PROJECT NO.		
22088		

SHEET NUMBER

A-3



FIRST FLOOR PLAN
GROSS FLOOR AREA = 1,622 SQ. FT.



SECOND FLOOR PLAN
GROSS FLOOR AREA = 1,641 SQ. FT.

ideal

DESIGNS

ARCHITECTS / DESIGNERS

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SUITE A

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REVISIONS		
REV #	DATE:	REV. PER:
DATE: 06-28-23		
DRAWN BY:		PAP
PREVIOUS NO.		-
PROJECT NO. 22088		

SHEET NUMBER

A-4

Project: Circle K Redevelopment
Meeting Type: Public Hearing
Requests: Petition for Annexation (via an Annexation Agreement); Zoning Map Amendment (Rezoning) from the default E-R Estate Residential District to B-2 Community Business District (currently Will County C-2 and C-3); Special Use Permits for (1) an automobile fueling station, (2) accessory liquor sales, and (3) extended hours of operation. The pending Annexation Agreement includes requests for variations related to building and fuel canopy setbacks, landscape yards, plant materials, signage, and cross-access. Approval of a single-lot Plat of Subdivision is also requested to establish a lot of record.
Location: 7654 W. Lincoln Highway
Applicant: RDK Ventures, LLC
Prop. Owner: RDK Ventures, LLC
Consultants: Matt Adas, RLA, and Ryan Swanson, P.E., Arc Design Resources, Inc.
Representative: Matt Adas, RLA, and Ryan Swanson, P.E., Arc Design Resources, Inc.
Report By: Michael J. Schwarz, AICP

Site Details

Lot Size: 1.665 acres (72,518 SF)
PIN(s): 19-09-24-101-013-0000 and 19-09-24-101-016-0000
Existing Zoning: Will County C-2 Local Commercial and C-3 General Commercial
Prop. Zoning: B-2 Community Business District; Special Use Permits for an automobile fueling station, (2) accessory liquor sales, and (3) extended hours of operation.
Building(s) / Lot(s): 1 building/1 lot
Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Commercial	General Commercial	Will County C-2,C-3
North	Vacant	General Commercial	Will County C-3
South	Vacant; Single-Family Detached Residential	Gen. Commercial; Single-Family Detached Residential	B-4;R-4 PUD
East	Commercial (Bank)	General Commercial	Will County C-3
West	Vacant	General Commercial	B2

Figure 1: Location Map



Project Summary

The applicant, RDK Ventures, LLC has filed an application requesting annexation (via an Annexation Agreement); Zoning Map Amendment (Rezoning) from the default E-R Estate Residential District to the B-2 Community Business District (currently Will County C-2 and C-3); Special Use Permits for (1) an automobile fueling station, (2) accessory liquor sales, and (3) extended hours of operation. The pending Annexation Agreement includes

requests for variations related to the front and rear building and fuel canopy setbacks, depth of a landscaped transition yard (front), quantity of plant materials in the landscaped transition yard (front), signage, and cross-access, for the property located at 7654 W. Lincoln Highway, Frankfort, Illinois (PINs: 19-09-24-101-013-0000 and 19-09-24-101-016-0000). Approval of a single-lot Plat of Subdivision is also requested to establish a lot of record.

The subject property is 1.665 acres and is located at the northeast corner of Illinois Route 30/Lincoln Highway and Frankfort Square Road, which is presently in unincorporated Will County. The subject property is currently improved with a Circle K/Shell Gas Station and Convenience Store and an accessory drive-through car wash. The applicant is proposing to demolish the existing gas station/convenience store and accessory car wash in order to redevelop the site with a new 5,069 square-foot gas station/convenience store on the proposed new 1.665-acre lot.

Property Background

In late September 2021, the Village received the required notice of a Will County application concerning the subject property. Shortly thereafter staff researched Village records and learned that the Village currently provides water and sanitary sewer utilities to the property. Staff informed the Will County staff and the applicant that annexation to the Village is necessary to accommodate the proposed redevelopment. Section 51.004 of the Municipal Code (*Requirements for Utilizing the Village Public Utility System*) includes a provision that requires the annexation as follows:

(F) Recognizing the Village Utility System currently serves property located outside of the village's corporate limits, this section shall not apply to those unincorporated properties currently interconnected to and utilizing the Village Utility System so long as the existing zoning and current actual use of those properties as of the effective date of this section is not amended or in any way altered or changed.

Ordinance No. 2570, which was passed on March 16, 2009, is the effective date of the aforementioned provision. The proposed redevelopment includes the removal of the existing drive-through car wash facility and the entire site plan as it exists today would be altered to accommodate the proposed redevelopment. Therefore, the proposed annexation, rezoning, special uses, variations, and Plat of Subdivision require Village approval given that the proposed redevelopment will occur after March 16, 2009, if approved.

The Plan Commission/Zoning Board of Appeals conducted a workshop session regarding the project on October 27, 2022, and a public hearing on May 11, 2023 (refer to attached meeting minutes). After a lengthy discussion, the public hearing was kept open and continued to June 22, 2023, to allow the applicant to address various comments. On June 22, 2023, the public hearing was again kept open and continued to July 27, 2023. On July 27, 2023, the public hearing was again kept open and continued to August 10, 2023. The August 10, 2023 meeting was cancelled due to a lack of a quorum. Per the advice of the Village Attorney, the public hearing was re-advertised and surrounding property owners were re-notified for the Special Meeting on September 7, 2023.

Attachments

1. 2020 Aerial Photograph from Village of Frankfort GIS
2. Site Photographs taken 10.21.22
3. ALTA/NSPS Land Title and Topographic Survey dated 4.27.20, received 9.23.22
4. Plat of Annexation last revised 2.22.23, received 3.2.23
5. Preliminary and Final Plat of Subdivision for Frankfort Subdivision last revised 3.28.23, received 4.10.23
6. Layout Plan last revised 8.4.23, received 8.4.23
7. Tree Preservation/Tree Removal Plan (Labeled as Landscape Plan) dated 10.6.21
8. Landscape Plan last revised 4.7.23, received 8.1.23
9. Landscape Plan Zoning Data not dated, received 8.2.23
10. Privacy Fence Detail not dated, received 5.5.23

11. Trash Enclosure Site Details and Elevations last revised 4.16.21, received 8.1.23
12. Building Exterior Elevations (Sheet A-2.1) not dated, received 8.1.23
13. Fuel Canopy Elevations (Sheet A2-2) last revised 5/18.22, received 8.4.23
14. Exterior Sign Package (Pages 1-6) last revised 7.31.23, received 8.4.23
15. Photometric Plan dated last revised 9.23.22, received 10.21.22
 - Isometric Plan of Exterior Light Fixtures received 10.21.22
 - Daytime and Evening Illumination Renderings received 10.21.22
 - Parking Lot, Canopy, Soffit, and Wall-Mounted Light Fixture Specifications received 10.21.22
16. Civil Engineering Plans last revised 8.4.23, received 8.4.23 (****PDF only/paper copy available upon request***)
 - Cover Sheet
 - General Notes
 - Removals Plan
 - SWPPP Plan
 - Layout Plan
 - Grading Plan
 - Grading Details
 - U.S. Route 30 Cross-Sections
 - Drainage Plan
 - Utility Plan
 - Utility Plan and Profiles
 - Details
 - Underground Detention Details
 - WMQ Device Detail
 - Village Details
 - IUM Details
 - IDOT Details
 - Landscape Plan
 - Site Plan Comparison – Site Plan R.O.W. Exhibit
17. Site Plan Comparison – Site Plan R.O.W. Exhibit last revised 8.1.23, received 8.4.23
18. Truck Turning Exhibit – Emergency Vehicle, last revised 3.2.23, received 3.2.23
19. Truck Turning Exhibit – Delivery Truck, last revised 1.20.23, received 2.1.23
20. Truck Turning Exhibit – Fuel Delivery, last revised 1.20.23, received 2.1.23
21. PC/ZBA Meeting Minutes of 10.27.22
22. PC/ZBA Meeting Minutes of 5.11.23
23. Applicant's Responses to the Findings of Fact Standards
24. Zoning Map Amendment Findings of Fact Commissioner Evaluation Form
25. Special Use Permit Findings of Fact Commissioner Evaluation Form
26. Variation Findings of Fact Commissioner Evaluation Form

Analysis

In consideration of the request, staff offers the following points of discussion:

Summary of Plan Revisions Since the Public Hearing on May 11th, 2023

1. The Layout Plan (Site Plan) has been updated to show the relocation of the air machine and vacuum from the curb line near Route 30 to the landscape area at the south end of the five parking spaces located on the west side of the building.
2. The Layout Plan (Site Plan) has been updated to depict the areas along the west, south and east sides of the building where temporary outdoor displays areas would be located (subject to permit applications for limited duration). Staff is recommending a condition that any such temporary outdoor displays shall be limited to the height of the bottom of the windows along the south elevation, with the exception that any storage cage for propane tanks shall be allowed at its customary height, but shall only be located adjacent to the east elevation.
3. The Layout Plan (Site Plan) has been updated to depict a slightly wider drive-aisle per engineering review comments.

4. The Layout Plan (Site Plan) has been updated to depict two (2) handicap accessible parking spaces as required by the Zoning Ordinance.
5. The Landscape Plan has been updated to reflect additional trees and shrubs located behind the building. Also, a Landscape Plan Zoning Data Exhibit has been provided to demonstrate compliance with the Landscape Ordinance planting requirements.
6. The Building Elevations have been updated to replace the previous Nichiha fiber cement board with brick. The wainscot on all four sides of the building now includes stone. The red horizontal stripes that comprised individual Nichiha fiber cement panels on each side of the wall sign on the south elevation have been removed.
7. The Fuel Canopy Elevations have been updated to reflect all support columns wrapped in brick up to the underside of the canopy. Also, the red and yellow colors on the fuel canopy have been changed to "Shell Warm White" color.
8. The Trash Enclosure Site Details and Elevations have been updated to reflect brick to match the primary exterior building material.
9. The Exterior Sign Package has been updated to reflect the removal of the red light band on all sides of the fuel canopy (which removed one sign variation) and the red and yellow colors on the fuel canopy have been changed to "Shell Warm White" color.
10. The Exterior Sign Package has been updated to reflect the ground sign having columns on each side wrapped in stone materials to match the wainscot on the building.

Comprehensive Plan

1. The Future Land Use Map in the *Your Frankfort Your Future 2040 Comprehensive Plan* designates the subject property as "General Commercial".
2. On Page 72 in Chapter 7 (Economic Prosperity) of the *Your Frankfort Your Future 2040 Comprehensive Plan*, Goal 7.3 is to "Encourage and support appropriate infill development in commercial corridors." One of the stated policies on Page 70 is to "Improve the appeal of infill sites with targeted infrastructure and access improvements, and marketing efforts. For Frankfort, this may include annexation of currently unincorporated areas within the Route 30 East Corridor."
3. On Page 86 in Chapter 8 (Land Use) of the *Your Frankfort Your Future 2040 Comprehensive Plan*, one of the stated annexation priorities is the unincorporated properties in the Route 30 East Corridor between 84th Avenue on the west and Harlem Avenue on the East. The Plan states, "This corridor is the Village's front door, and incorporation would provide the Village with the ability to regulate the character and development in this corridor."

Annexation/Development

1. The subject property is contiguous to the Village of Frankfort boundary along its west and south roadway frontages and is therefore eligible for annexation.
2. The applicant has submitted a Petition for Annexation and requests approval of an Annexation Agreement which would memorialize the various zoning requests associated with the proposed redevelopment of the subject property. Annexation agreements typically are presented to the Committee-of-the-Whole for discussion following the Plan Commission/Zoning Board of Appeals review process. A public hearing on the terms of the Annexation Agreement would be required at a future Village Board meeting.
3. The applicant proposes to construct a 5,069 square-foot Circle K gas station/convenience store on the property located at 7654 W. Lincoln Highway. The existing gas station/convenience store and accessory car wash buildings would be demolished.

Zoning / Special Uses

1. The property is zoned C-2 Local Commercial District (west parcel) and C-3 General Commercial District (east parcel) in Will County. Upon annexation, the applicant is requesting a Zoning Map Amendment (Rezoning) from the default E-R Estate Residential District to the B-2 Community Business District; Special Use Permits for (1) an automobile fueling station, (2) accessory liquor sales, and (3) extended hours of operation (open 24 hours, 7 days per week). The pending Annexation Agreement would include requests for variations

related to the front and rear building setbacks, depth of a landscaped transition yard (front), quantity of plant materials in the landscaped transition yard (front), signage, and cross-access.

2. The Village's Zoning Ordinance does not contain specific use standards for automobile fuel stations, though these types of businesses are classified as special uses.
3. The Village's Zoning Ordinance contains specific use standards for liquor sales and accessory liquor sales as follows:

Part 25: Liquor Sales (all use categories)

(Am. Ord. 2643, passed 03.15. 10)

- a. *In addition to being in compliance with all applicable zoning requirements, any establishment providing for the sale or consumption of alcoholic beverages shall also be subject to the regulations of the Village of Frankfort Code of Ordinances, Chapter 113 as amended from time to time.*
- b. *No special use permit shall be issued for the sale at retail of any alcoholic liquor within 100 feet of any church, school, other than an institution of higher learning, hospital, home for the aged or indigent persons or for veterans, their spouses or children or any military or naval station provided this prohibition shall not apply to restaurants or other establishments where the sale of alcoholic liquors is not the principal business.*
- c. *Any person, corporation or other entity that intends to provide alcoholic liquor for sale or consumption shall furnish proof of liquor liability insurance in accordance with Illinois State Statute.*
- d. *Evidence of violation of any use standard or condition of approval shall be grounds to initiate a reversion hearing to rescind zoning rights granted for the sale of liquor at the non-compliant location.*
- e. *In the event that the Liquor Commissioner revokes the liquor license of any individual, business or other entity, the Plan Commission shall initiate a public hearing to consider the reversion of zoning rights that permit the sale or consumption of alcoholic liquors at the offending location.*

Part 26: Accessory Liquor Sales

(Am. Ord. 2643, passed 03.15. 10)

- a. *The sale of alcoholic beverages must be a supplementary component of the business or operation and may not comprise the majority of the total revenues generated.*
 - b. *Retail liquor displays shall not exceed 10% of the gross floor area of the business.*
4. Chapter 113 (*Intoxicating Liquor*) of the Frankfort Municipal Code governs the sale of alcoholic beverages in the Village. It is staff's understanding that the applicant would be seeking a Class F-3 liquor license. Per the Code, this class is described as follows:

(3) Class F-3 — Convenience store (carry-outs). Class F-3 licenses shall authorize the retail sale by convenience stores of alcoholic liquors in their original packages with seals unbroken for consumption at places other than upon the licensed premises. The consumption of alcoholic liquors upon such premises is expressly prohibited. For the purpose of this division, "convenience store" shall mean a retail establishment with a floor area of 5,000 square feet or less offering for sale a limited line of groceries and household items intended for the convenience of the neighborhood. Alcoholic liquors shall not occupy more than 10% of the floor area. Except in refrigerated areas, displays of merchandise for sale shall not exceed five feet in height.

Chapter 113 includes the following definition of the term "Floor Area":

FLOOR AREA. Of the area open to the general public inside a retail establishment, that portion which is designed and used exclusively for the display of merchandise for sale.

Based on the above definition, the proposed Circle K gas station/convenience store has a gross floor area of 5,069 square feet, but the customer floor area is 3,247 square feet. The Code requires that a maximum of 10% of the customer floor area (in this case no more than 324 square feet) may be devoted to the

display of alcoholic liquors. The applicant has indicated that the beverage cooler containing beer and other cold alcohol-based items is 301 square feet in area and the remaining non-refrigerated shelf space devoted to alcoholic beverages will be less than the remaining balance of 23 square feet, thus complying with the Code.

5. The applicant is requesting approval of a Special Use for extended hours of operation (open 24 hours, 7 days per week). The existing business located in unincorporated Will County is open 24 hours, 7 days per week.
6. There are slight differences between the Village and Will County Codes related to the hours for sale of alcohol.

Will County hours for the sale of alcohol are as follows:

- (1) Sundays, 10:00 a.m. until 1:00 a.m.;
- (2) Mondays through Thursdays, 6:00 a.m. until 1 :00 a.m. the following day;
- (3) Fridays and Saturdays, 6:00 a.m. until 2:00 a.m. the following day;
- (4) Christmas Eve, closing time shall be 12:00 midnight and on New Year's Eve, closing time shall be 3:00 a.m. on January 1; and
- (5) All establishments may remain open until 2:00 a.m. the day before a national holiday.

Section 113.36 (*Hours of Sales*) of the Frankfort Municipal Code is as follows:

Note: The normal hours of operation for a business within the village are 7:00 a.m. until 11:00 p.m. Establishments with operating hours outside of these normal operating hours must be approved as a special use according to the regulations of Article 3, Section E of the Zoning Ordinance. (Excerpted from the Village of Frankfort Zoning Ordinance 2001, Article 6, Section C, Part 2, paragraph q, Hours of Operation.)

(A) No licensee shall keep open or allow his or her place of business to remain open or sell or offer for sale at retail, or offer to give away on any licensed premises, any alcoholic liquor in the village between the hours of 1:00 a.m. and 6:00 a.m. The sale of alcoholic liquors shall cease immediately at the aforesaid hour of 1:00 a.m.

(B) The Local Liquor Control Commissioner may, in his or her discretion, further reasonably restrict the above general hours during which any licensee may keep open or allow his or her place of business to remain open, or sell, offer for sale or give away any alcoholic liquor on any licensed premises when, in the Local Liquor Control Commissioner's judgment, a further restriction would be in the best interest of the public and the village and in furtherance of the general welfare and safety thereof. Any license so further restricted as to time shall, when issued, indicate on the face thereof the hours during which the licensee thereunder may keep open or allow his or her place of business to remain open as aforesaid.

(Ord. 1105, passed 12-5-83; Am. Ord. 2274, passed 4-3-06; Am. Ord. 2545, passed 12-1-08; Am. Ord. 2826, passed 1-7-13; Am. Ord. 2831, passed 2-19-13) Penalty, see§ 113.99

§ 113.37 CLOSING HOURS FOR LICENSED PREMISES.

(A) No member of the general public shall remain in or upon the licensed premises after the hour of 1:00 a.m. Should any person be found upon or leaving the licensed premises after the hour of 1:00 a.m., the village shall have the right to presume that such person was served alcoholic liquor after the hour of 1:00 a.m. and such presumption may be raised in any court in a proceeding for violation of the terms of this chapter or at any hearing concerning the revocation of the license issued to the licensee of the premises in question. Further, with regard to any license restricted by the Local Liquor Control Commissioner to a closing time different than the general hours set forth in § 113.36 hereof, the above and foregoing provisions of this section shall apply and shall be construed to mean the closing time indicated on said license which is so further restricted as to time.

(B) Nothing in division (A) of this section shall apply to the licensee, members of his or her family or his or her employees, agents or servants if found upon or leaving the licensed premises after the hour of 1:00 a.m., nor shall division (A) of this section apply to premises which have been granted a Class F-2 or F-3 or F-5 liquor license.

(Ord. 1105, passed 12-5-83; Am. Ord. 2274, passed 4-3-06; Am. Ord. 2826, passed 1-7-13) Penalty, see § 113.99

Layout Plan (Site Plan)

1. The submitted Layout Plan (Site Plan) depicts a one story, 5,069 square-foot Circle K gas station/convenience store situated in the north central portion of the property, with the front entrance to the building oriented to face Illinois Route 30/Lincoln Highway. A separate fueling canopy would be located in front of the building.
2. Pending IDOT and Village approval, the four (4) existing vehicular access points to the site would be consolidated into two (2) new access points – a full access onto Route 30 and a full access onto Frankfort Square Road – are proposed. There is an existing signalized intersection at Frankfort Square Road and Illinois Route 30/Lincoln Highway.
3. The proposed principal building is 194.1 feet from the centerline of Route 30 per the Site Plan Right-of-Way Exhibit submitted by the applicant, and therefore complies with the minimum 125-foot setback from the centerline of a major highway per the Zoning Ordinance.
4. The proposed fuel canopy is 38.6 feet from the property line along Route 30, which is 111.6 feet, from the centerline of Route 30 per the Site Plan Right-of-Way Exhibit submitted by the applicant, and therefore requires a variation as it does not comply with the minimum 125-foot setback from the centerline of a major highway per the Zoning Ordinance.
5. The proposed fuel canopy and principal building would require the following variations:
 - 1) Variation to allow a reduction of the required minimum front yard setback for the fuel canopy from 150 feet to 111.6 feet, from the centerline of Route 30. [Article 6, Section C, Part 1 of the Zoning Ordinance]
 - 2) Variation to allow a reduction of the required minimum interior side yard setback for the principal building from 15 feet to 10 feet from the north property line. [Article 6, Section C, Part 1 of the Zoning Ordinance]
6. The Village of Frankfort Zoning Ordinance requires automobile fueling stations to provide parking at a rate of one (1) space per employee for the work shift with the largest number of employees, plus one (1) space per 150 square feet of gross floor area for any convenience store. Spaces at fueling positions may be counted as parking spaces.
7. A total of 36 parking spaces are depicted on the Site Plan, including two (2) handicap accessible spaces, which complies with the Zoning Ordinance.
8. Although not labeled on the Layout Plan, a loading berth area is provided along the west side of the proposed principal building, in front of the trash enclosure. The Zoning Ordinance requires one (1) loading berth, a minimum of 50 feet in length, 12 feet in width, and 14 feet in vertical clearance.
9. Article 7, Section A, Part 4(c) of the Zoning Ordinance requires construction of vehicular travel lanes, service drives, driveways, or other access connections, which will permit vehicular travel on the site and to and from adjacent properties in accordance with the following:
 1. *Adjacent to any major or minor arterial street a travel lane not less than twenty-four (24') feet in width shall be constructed to afford access to adjoining properties.*
 2. *The Plan Commission may waive the requirement for constructing a travel lane as is set forth in this Subsection when:*
 - a) *There is no existing or proposed vehicular travel lane abutting the subject property on either side, and*

b) The adjoining property(s) is used or zoned for single family detached dwellings, or

c) The adjoining property(s) is occupied by a use, which by its nature would suggest that there will be a limited desire for travel between such use and the one proposed.

The subject property is adjacent to an existing bank with a drive-through facility to the east and adjacent to vacant land owned by the bank to the north. Therefore, Sections 2(a) and 2(c) above would appear to apply, therefore authorizing the Plan Commission to waive this requirement.

10. The Layout Plan depicts a bike rack near the southeast corner of the building.
11. The Layout Plan depicts a brick trash enclosure on the west side of the building. The area of the enclosure is approximately 351 square feet (26 feet x 13 feet, 6 inches). The height of the enclosure is 6 feet 6 inches.
12. The Layout Plan depicts six sections of 6-foot-tall wooden fencing connecting the northwest corner of the proposed building with the brick trash enclosure. A fence detail depicting the height, material and color of the fence has been provided.
13. The Layout Plan depicts an air machine and vacuum in the landscape area at the south end of the five parking spaces located on the west side of the building.
14. The Layout Plan depicted the areas along the west, south and east sides of the building where temporary outdoor displays areas would be located (subject to permit applications for limited duration). Staff is recommending a condition that any such temporary outdoor displays shall be limited to the height of the windows along the south elevation.
15. The Layout Plan depicts new 5 feet wide concrete sidewalks within the public right-of-way along both street frontages. The new sidewalk now extends to the street intersection to provide an opportunity for a future crosswalk to be provided across Frankfort Square Road. Existing crosswalk and pedestrian signals are provided across Route 30 from the northwest corner of the intersection to the southwest corner of the intersection.

Landscape Plan / Tree Preservation Plan

1. The applicant has submitted a Landscape Plan which depicts the proposed new plantings as well as identifies any existing trees and shrubs to be preserved or removed.
2. The proposed Landscape Plan would require the following variations:
 - 1) Variation to allow a reduction of the required minimum landscaped front yard depth (adjacent to Route 30) from 25 feet to 3.8 feet [Article 6, Section C, Part 1 and Part 2(d) of the Zoning Ordinance].
 - 2) Variation to allow a reduction of the quantity of required plant materials within the landscaped front yard (adjacent to Route 30) [Article 7, Section D, Part 1 of the Zoning Ordinance, and Section 158.30 of the Landscape Ordinance].
3. The Tree Preservation Plan depicts the removal of three (3) existing Boxelder trees in the north central portion of the site in the area behind the proposed new building. None of those trees to be removed are considered "Preservation Trees" per the Landscape Ordinance. The Plan also depicts eight (8) existing shrubs to be removed along the east and west sides of the existing drive-through car wash facility.
4. Two separate conventional dry bottom stormwater management basins are provided in the southwest and northeast corners of the site and would be planted with grass and/or native grass with new trees and shrubs planted around the perimeters.
5. Several dead trees in the Route 30 right-of-way will be replaced and the existing trees and shrubs will be preserved.

1. The applicant has submitted Civil Engineering Plans which have been reviewed by the Village's Consulting Engineer.
2. The proposed B2 General Commercial District requires a maximum impervious surface lot coverage of 75%. Per the applicant's design engineer, the proposed development has an impervious surface lot coverage of 43,450 square feet (60%) and will comply with the requirement. The existing site has an impervious surface lot coverage of 42,515 square feet (58.6%).

Architecture

1. The applicant proposes to construct a single-story building with a flat roof, including dominant tower elements at the southwest and southeast corners.
2. Article 7, Section A, Part 5(f) of the Zoning Ordinance states, *"Architecture must be consistent with the quality and character of Frankfort architecture and the Village's policy for original and unique design."*
3. Article 7, Section A, Part 5(f) of the Zoning Ordinance states that *"Flat roofs and mansard roofs are discouraged except where such roofs are the predominant style in the neighborhood."* Staff notes that there are a mix of roof types in the vicinity of the subject property.
4. HVAC mechanical units will be located on the roof and will be screened to their full height by parapet walls on all four sides.
5. The predominant exterior material on all elevations is now brick in a red/brown color to be selected.
6. A 3-foot, 2-inch stone wainscot is proposed on all elevations, with additional stone material located above the wainscot on each building corner.
7. The overall height of the building is 23 feet which would comply with the maximum height of 35 feet in the B2 Community Business District.
8. The elevation detail of the proposed trash enclosure depicts the brick to match the building and to comply with the Municipal Code.
9. The fuel canopy elevations indicate that the six (6) columns which support the fuel canopy will be wrapped in brick to match the building elevations.

Photometrics/Site Lighting Plan

1. The applicant has provided a Photometrics Plan, light fixture specifications, and isometric plans showing the distribution of light on the property during daytime and evening lighting conditions. The Plan depicts five (5) new 18-foot-tall parking lot lights (the height includes the base). The parking lot light fixtures are flat-head LED lights.
2. Parking lot light fixtures may be mounted at 25 feet or less, which is the maximum height permitted by the Municipal Code. The Village's Municipal Code requires decorative bases for all parking lot light poles. No details have been provided for the bases for the light poles, but the applicant has indicated that either standard concrete color or red color concrete will be provided for the light pole bases.
3. The Photometric Plan depicts a total of seven (7) sconce and security lights on the north, east and west building elevations.
4. The Photometric Plan depicts a total of twenty-four (24) lights on the ceiling of the fuel canopy.
5. The Photometric Plan demonstrates that the light readings would be no greater than 0.5 footcandles at the property lines and would therefore comply with the Zoning Ordinance.

Signage

1. The applicant is proposing a total of eight (8) exterior signs – one (1) ground sign along U.S. Route 30/Lincoln Highway at the southwest corner of the site, one (1) wall sign on the south building elevation, one (1) wall sign on the west building elevation, three (3) canopy signs on the south, west, and east elevations of the fuel canopy, and two (2) non-illuminated directional signs at each vehicular entrance.
2. The applicant is proposing a 48 square-foot monument sign along U.S. 30/Lincoln Highway near the southwest corner of the site. The proposed sign is 8 feet wide and 6 feet high and mounted on a 2-foot base constructed of stone material to match the wainscot on the building. The maximum height of a sign for a gas station (which includes the base) is 6 feet but may be increased up to 10% to allow ornamental features.

3. The applicant is seeking the following variations related to the proposed signage package:
 - 1) Variation to allow a reduction of the required minimum setback of a freestanding sign from 25 feet to 10 feet [Municipal Code Section 151.041(B)(1)(b)]. This is due to the right-of-way width at this location, which places the sign much further back from the street.
 - 2) Variation to allow an increase of the required maximum height of a freestanding sign from 6 feet to 7 feet [Municipal Code Section 151.060(B)(1)(g)].
 - 3) Variation to allow an increase of the required maximum area of a freestanding fuel station sign from 30 square feet to 48 square feet [Municipal Code Section 151.060(B)(1)(h)].

Standards for Zoning Map Amendments

For reference during the public hearing, Article 3, Section D, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every Zoning Map Amendment request.

The Plan Commission shall make written findings of fact and shall submit same, together with its recommendations to the Village Board, for action. Where the purpose and effect of the proposed amendment is to change the zoning classification of particular property, the Plan Commission shall make findings based upon all the evidence presented to it and shall consider among other pertinent matters, the following:

- 1) Existing uses of property within the general area of the property in question;
- 2) The zoning classification of property within the general area of the property in question;
- 3) The suitability of the property in question to the uses permitted under the existing zoning classification;
- 4) The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classification; and
- 5) The change in zoning is in conformance with the comprehensive plan of the Village and its official map.

Standards for Special Uses

For reference during the public hearing, Article 3, Section B, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every Special Use request.

The Plan Commission shall make written findings of fact and shall refer to any exhibits containing plans and specifications for the proposed special use, which shall remain a part of the permanent record of the Plan Commission. The Plan Commission shall submit same, together with its recommendation to the Village Board for final action. No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Standards for Variations

For reference during the public hearing, Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every Variation request.

- a. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:
 - 1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
 - 2. That the plight of the owner is due to unique circumstances;
 - 3. That the variation, if granted, will not alter the essential character of the locality.
- b. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making this determination, whenever there are practical difficulties or hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:
 - 1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
 - 2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
 - 3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
 - 4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
 - 5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
 - 6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;
 - 7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

Summary of Requested Variations

The requested variations are as follows:

1. Variation to allow a reduction of the required minimum front yard setback from 150 feet to 111.6 feet from the centerline of Route 30 for the fuel canopy. [Article 6, Section C, Part 1 of the Zoning Ordinance];
2. Variation to allow a reduction of the required minimum corner side yard from 50 feet to 38 feet, 6 inches for the fuel canopy. [Article 6, Section C, Part 1 of the Zoning Ordinance];
3. Variation to allow a reduction of the required minimum interior side yard setback for the principal building from 15 feet to 10 feet from the north property line. [Article 6, Section C, Part 1 of the Zoning Ordinance];
4. Variation to allow a reduction of the required minimum landscaped front yard from 25 feet to 3.5 feet adjacent to Route 30 [Article 6, Section C, Part 1 and Part 2(d) of the Zoning Ordinance];
5. Variation to allow a reduction of the quantity of required plant materials within the landscaped front yard adjacent to Route 30 [Article 7, Section D, Part 1 of the Zoning Ordinance, and Section 158.30 of the Landscape Ordinance]; (Some of these required plant materials will be provided elsewhere on the site.)
6. Waiver of the required travel lane (cross-access with the adjacent property to the north and east) [Article 7, Part 4(c) of the Zoning Ordinance];
7. Variation to allow a reduction of the required minimum setback of a freestanding sign from 25 feet to 10 feet [Municipal Code Section 151.041(B)(1)(b)];
8. Variation to allow an increase of the required maximum height of a freestanding sign from 6 feet to 7 feet [Municipal Code Section 151.060(B)(1)(g)];
9. Variation to allow an increase of the required maximum area of a freestanding fuel station sign from 30 square feet to 48 square feet [Municipal Code Section 151.060(B)(1)(h)]; and,

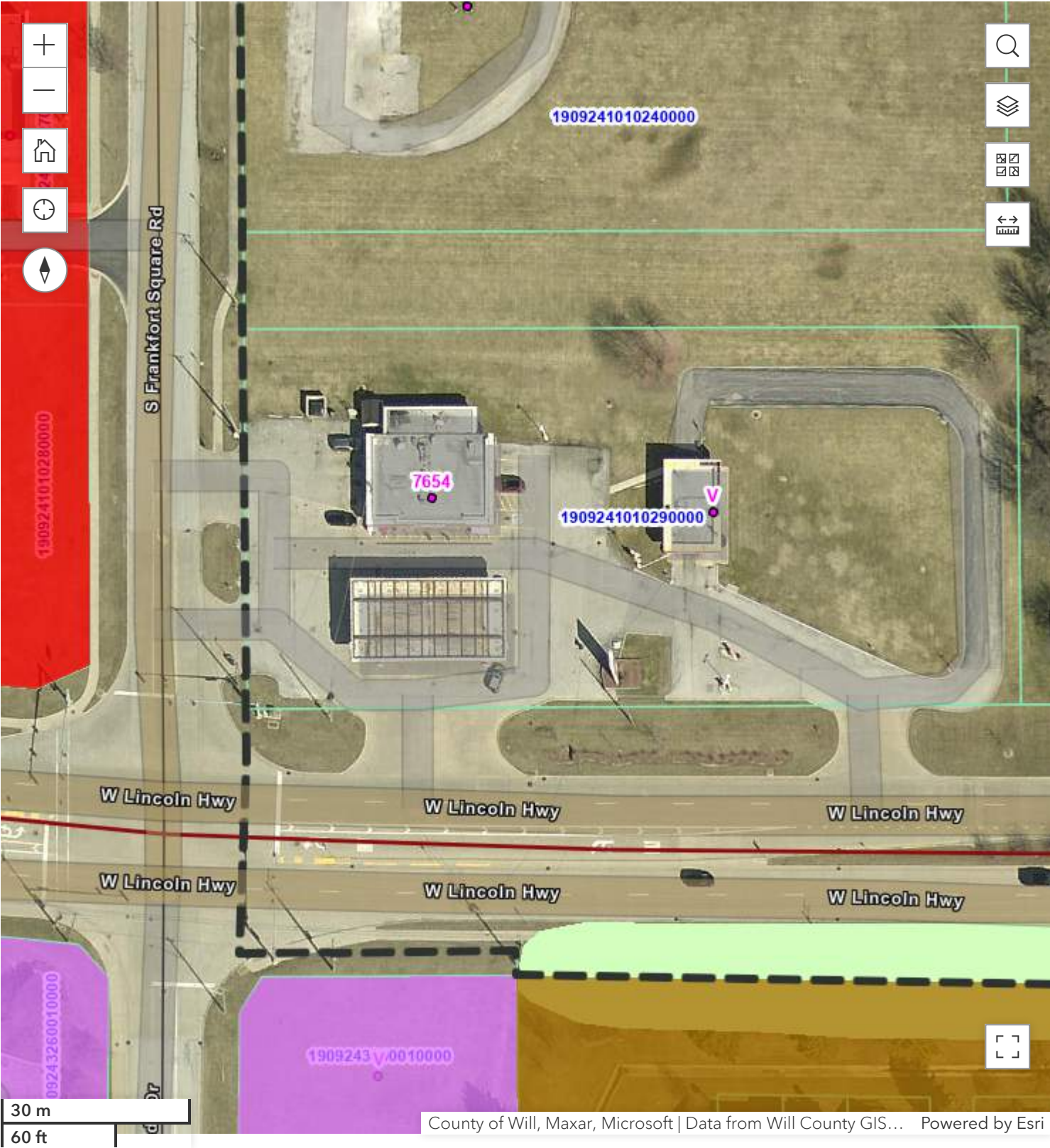
Note: Although three (3) of the requested variations are related to signage and are variations from the Municipal Code (not the Zoning Ordinance), the Plan Commission/Zoning Board of Appeals has an opportunity to make a recommendation to the Village Board on these variations which are being requested in conjunction with the pending annexation agreement. In addition to the removal of the red-backlit sign around the fuel canopy, a previously requested variation related to the maximum area of the changeable copy portion of the free-standing signage was removed following the workshop session on October 27, 2022.

Affirmative Motions

1. Recommend to the Village Board approval of a Zoning Map Amendment (Rezoning) from the default E-R Estate Residential District to the B-2 Community Business District upon annexation, for the subject property located at 7654 W. Lincoln Highway;
2. Recommend to the Village Board approval of a Special Use Permit for an automobile fueling station [Article 5, Section B of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval; and additionally subject to the following conditions:
 1. A detail for the base of the parking lot light poles shall be provided, subject to staff review and approval;
 2. Temporary outdoor display of merchandise shall be limited to the areas depicted on the Layout Plan, subject to permit applications for limited duration per the Zoning Ordinance.
3. Recommend to the Village Board approval of a Special Use Permit for accessory liquor sales [Article 5, Section B of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact;
4. Recommend to the Village Board approval of a Special Use for Permit for extended hours of operation (open 24 hours) [Article 5, Section B of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact;

5. Recommend to the Village Board approval of a Variation to allow a reduction of the required minimum front yard setback from 150 feet to 111.6 feet from the centerline of Route 30 for the fuel canopy [Article 6, Section C, Part 1 of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
6. Recommend to the Village Board approval of a Variation to allow a reduction of the required minimum corner side yard from 50 feet to 38 feet, 6 inches for the fuel canopy [Article 6, Section C, Part 1 of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
7. Recommend to the Village Board approval of a Variation to allow a reduction of the required minimum interior side yard from 15 feet to 10 feet along the north property line [Article 6, Section C, Part 1 of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
8. Recommend to the Village Board approval of a Variation to allow a reduction of the required minimum landscaped front yard from 25 feet to 3.5 feet [Article 6, Section C, Part 1 and Part 2(d) of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
9. Recommend to the Village Board approval of a Variation to allow a reduction of the quantity of required plant materials within the landscaped front yard facing Route 30 (required plant units to be dispersed throughout the site) [Article 7, Section D, Part 1 of the Zoning Ordinance, and Section 158.30 of the Landscape Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
10. Recommend to the Village Board approval of a waiver of the required travel lane (cross-access with the adjacent property to the north and east) [Article 7, Part 4(c) of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
11. Recommend to the Village Board approval of a Variation to allow a reduction of the required minimum setback of a freestanding sign from 25 feet to 10 feet [Municipal Code Section 151.041(B)(1)(b)] for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
12. Recommend to the Village Board approval of a Variation to allow an increase of the required maximum height of a freestanding sign from 6 feet to 7 feet [Municipal Code Section 151.060(B)(1)(g)], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
13. Recommend to the Village Board approval of a Variation to allow an increase of the required maximum area of a freestanding fuel station sign from 30 square feet to 48 square feet [Municipal Code Section 151.060(B)(1)(h)], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
14. Recommend to the Village Board approval of the Preliminary and Final Plat of Circle K Frankfort Subdivision, subject to any necessary technical revisions prior to recording.

Frankfort GIS Viewer



Site Photos – 7654 W. Lincoln Highway



Figure 1: 7654 W. Lincoln Highway, viewed looking northeast from the intersection of U.S. Route 30/Lincoln Highway and Frankfort Square Road.



Figure 2: 7654 W. Lincoln Highway, viewed looking east from the parking lot adjacent to Frankfort Square Road.



Figure 3: Existing pylon sign for Circle K at 7654 W. Lincoln Highway.



Figure 4: South and east elevations of existing Circle K building at 7654 W. Lincoln Highway.



Figure 5: South and east elevations of existing Circle K accessory drive-through car wash located at 7654 W. Lincoln Highway.



Figure 6: East and north elevations of existing Circle K accessory drive-through car wash located at 7654 W. Lincoln Highway.



Figure 7: 7654 W. Lincoln Highway, viewed looking west from near the east property line adjacent to Old Plank Trail Community Bank.



Figure 8: View looking west along Route 30 from the existing eastern vehicle entrance of Circle K located at 7654 W. Lincoln Highway.



Figure 9: Existing air machine and vacuum at Circle K located at 7654 W. Lincoln Highway.



Figure 10: Existing trash enclosure, unscreened dumpster, and north and west building elevations of Circle K located at 7654 W. Lincoln Highway.

VICINITY MAP

- Existing Zoning/ Land Use
1. Current Site Zoning: C-2 General Commercial District
 2. Current Site Use: Convenience Store with Fuel Sales
 3. Surrounding Land Use and Zoning:
 - a. North: Vacant Lot (C-3)
 - b. East: Commercial Bank (C-3)
 - c. South: Across IL Route 30/W. Lincoln Hwy, City Commercial (C)
 - d. West: Across S. Frankfort Square Rd./Hunterswood Dr., Strip Mall (C)
 4. Zoning Site Restrictions/Requirements:
 - a. Minimum Lot Area: 12,000 sq. ft.
 - b. Maximum Building Height: 45'
 - c. Minimum Building Setbacks:
 - i. Front: 30'
 - ii. Side: 10'
 - iii. Rear: 20'
 - d. Minimum Canopy Setbacks:
 - i. Front: 30' to canopy edge
 - ii. Side: 10' to canopy edge
 - iii. Rear: 20' to canopy edge
 - e. Where does each setback apply:
 - i. Front: 30'
 - ii. Side: 10'
 - iii. Rear: 20'
 - f. Minimum Frontage: 80'
 - g. Maximum Lot Coverage: Not Specified
 - h. Maximum Floor Area Ratio (FAR): 2.0

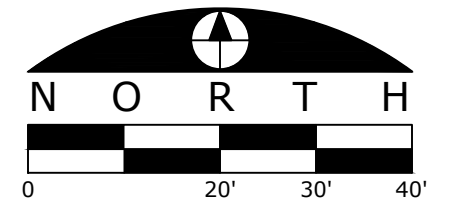
ALTA/NSPS LAND TITLE SURVEY

OF
PART OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 35
NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN
WILL COUNTY, ILLINOIS

- Notes:
1. All Storm and Sanitary Main are Gravity Main unless otherwise noted on the survey.

ARC DESIGN
RESOURCES INC.

5291 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303
www.arcdesign.com
Design Firm License No. 184-001334



SYMBOL LEGEND

---	PROPERTY LINE
- - -	RIGHT-OF-WAY LINE
---	CENTER LINE
---	CURB AND GUTTER
---	OVERHEAD UTILITIES
O/U	GAS LINE
T	TELEPHONE LINE
E	ELECTRIC LINE
W	WATER LINE
---	SANITARY SEWER LINE
---	STORM SEWER LINE
---	CONTOUR LINE
S	SANITARY MANHOLE
D	STORM MANHOLE AREA INLET
□	CURB CATCHBASIN INLET
⊗	VALVE VAULT
⊙	VALVE BOX
⊕	FIRE HYDRANT ASSEMBLY
⊖	MONITORING WELL
⊗	UTILITY POLE
⊕	GUY WIRE AND ANCHOR
⊖	ELECTRIC METER
⊗	TELEPHONE JUNCTION VAULT
⊕	TELEPHONE PEDESTAL
⊖	GAS METER
⊗	GAS VALVE
⊕	A.D.A. COMPLIANT PARKING
⊖	LUMINAIRE AND POST
⊗	SIGN AND POST
⊕	BOLLARD
⊖	BENCHMARK LOCATION
⊗	DECIDUOUS TREE
⊕	BUSH
⊖	TRAFFIC SIGNAL
⊗	SIGNAL CONTROL CABINET
⊕	HANDHOLE
10	NUMBER OF PARKING SPACES

IL ROUTE 30 (W. LINCOLN HIGHWAY)

Public Right-of-Way, 4-Lane Concrete Roadway w/ Turn Lanes

COPYRIGHT 2020

SHEET 1 of 2
ARC 20033 Rev: 04/27/2020

General Exceptions

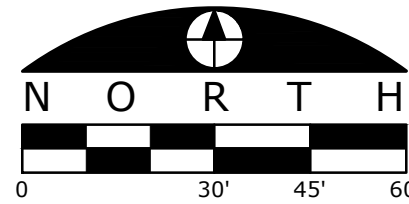
- COPYRIGHT 2020

My current license expires 11/30/2020

S. FRANKFORT SQUARE ROAD

SHEET 2 of 2
ARC 20033 Rev: 04/27/2020

Bearings are based upon G.P.S. observations and referenced to the Illinois State Plane Coordinate System - East Zone NAD 83 (2007).



BLOCK 60

FRANKFORT SQUARE
UNIT NO. 18
Recorded April 17, 1985 as
Document No. R85-11449

PLAT OF ANNEXATION

TO

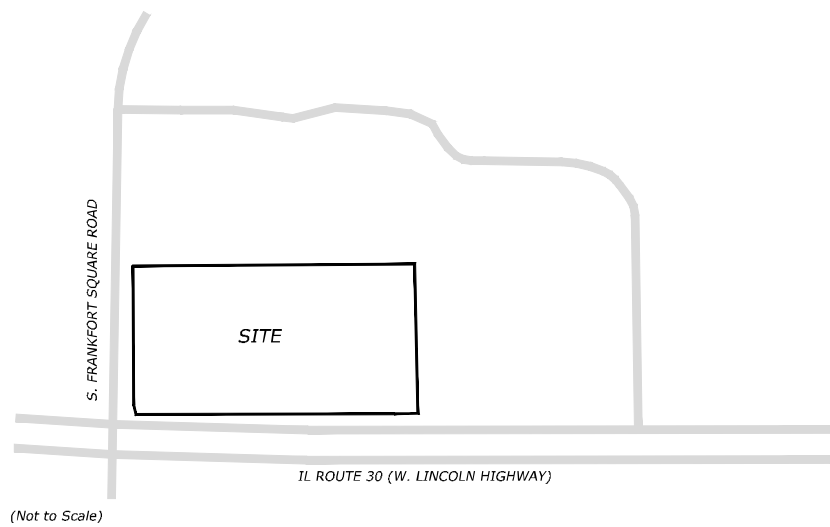
THE VILLAGE OF FRANKFORT, ILLINOIS

OF

PART OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 35
NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN
WILL COUNTY, ILLINOIS



VICINITY MAP (Not to Scale)



SYMBOL LEGEND

	PROPERTY LINE &
	SECTION LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	CENTER LINE &
	SET SURVEY MONUMENT
	FOUND SURVEY MONUMENT
	RECORD DISTANCE
	MEASURED DISTANCE
	VILLAGE OF FRANKFORT
	AREA TO BE ANNEXED

NOTES

- ACCORDING TO 65 ILCS 5/7-1-1 THE NEW BOUNDARY SHALL EXTEND TO THE FAR SIDE OF ANY ADJACENT HIGHWAY AND SHALL INCLUDE ALL OF EVERY HIGHWAY WITHIN THE AREA ANNEXED. THESE HIGHWAYS SHALL BE CONSIDERED TO BE ANNEXED EVEN THOUGH NOT INCLUDED IN THE LEGAL DESCRIPTIONS SET FORTH IN THE PETITION FOR ANNEXATION.
- SOURCE OF EXISTING MUNICIPAL LIMITS IS OBSERVED FIELD DATA AND WILL COUNTY GIS.

CERTIFICATION BY SURVEYOR

STATE OF ILLINOIS)
COUNTY OF WINNEBAGO) S.S.

ANNEXATION DESCRIPTION

A parcel of land being part of the Northwest Quarter of Section 24, Township 35 North, Range 12 East of the Third Principal Meridian, Will County, Illinois, described as follows:

Commencing at the Southwest corner of Lot 1 in Block 60 as designated upon Frankfort Square Unit No. 18, being a subdivision of part of the North Half of Section 24 Township 35 North, Range 12 East of the Third Principal Meridian, the plat of which subdivision was recorded April 17, 1985 as Document No. R85-11449 in the Recorder's Office of Will County, Illinois, said point also lying in the East line of a public road designated Frankfort Square Road per Plat of Dedication recorded March 10, 1976 as Document No. R76-06506 in said Recorder's Office; thence Southerly along the East line of said Frankfort Square Road along a circular curve to the left whose radius is 260.00 feet and whose center lies to the East, the long chord of which curve bears South 4 degrees 00 minutes 07 seconds West, a chord distance of 38.05 feet to a point of tangency; thence South 0 degrees 11 minutes 38 seconds East along the East line of said Frankfort Square Road, a distance of 231.33 feet to the Point of Beginning for the hereinafter described parcel of land; thence North 89 degrees 38 minutes 00 seconds East, a distance of 400.03 feet to the East line of the West 400' lying East of the East Line of said Frankfort Square Road; thence South 0 degrees 11 minutes 38 seconds East along said East line of the West 400' lying East of the East Line of said Frankfort Square Road, a distance of 182.22 feet to the North line of a public road designated U.S. Route 30 per Agreed Final Judgement Order in Will County Case No. 10-ED-107 between the Illinois Department of Transportation and RDK Ventures, LLC recorded January 9, 2012 as Document No. R2012003602 in said Recorder's Office; thence South 89 degrees 54 minutes 05 seconds West along the North line of said U.S. Route 30, a distance of 400.03 feet to the East line of said Frankfort Square Road; thence North 0 degrees 11 minutes 38 seconds West along the East line of said Frankfort Square Road, a distance of 180.35 feet to the Point of Beginning, containing 72,519 square feet, 1.665 acres, more or less, all being situated in the County of Will and the State of Illinois.

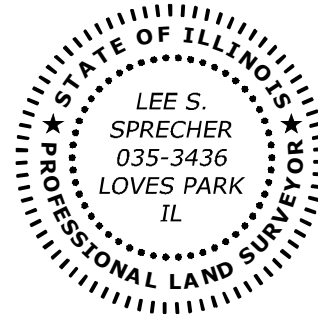
Dimensions are given in feet and decimals of a foot. Iron pins 3/4-inch in diameter and 4 feet long have been found or set at all points marked on the plat with a solid dot, and iron pins 5/8-inch in diameter and 3 feet long have been found or set at all other lot corners.

This professional service conforms to the current Illinois Minimum Standards for a Boundary Survey

Given under my hand and Seal this _____ day of _____, 2023.

Lee S. Sprecher
Illinois Professional Land Surveyor No. 3436
Arc Design Resources, Inc.
5291 Zenith Parkway
Loves Park, IL 61111
(815) 484-4300

My current license expires _____.



VILLAGE BOARD APPROVAL

Approved by the Village President and Village Board of Trustees of the Village of Frankfort, Illinois at a meeting held this _____ day of _____, 2023.

By: _____ Attest: _____
Village President Village Clerk

Annexation Ordinance No. _____
Adopted _____, 2023

Client Name:

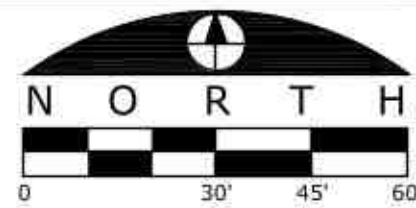
RDK Ventures LLC
500 Warrenville Road
Lisle, IL 60532
(815) 762-4861

Please Return To:

Arc Design Resources
5291 Zenith Parkway
Loves Park, IL 61111
(815) 484-4300

RECEIVED
By Mike Schwarz at 1:51 pm, Mar 02, 2023

SHEET 1 of 1
ARC 20033
Rev: 02/22/2023

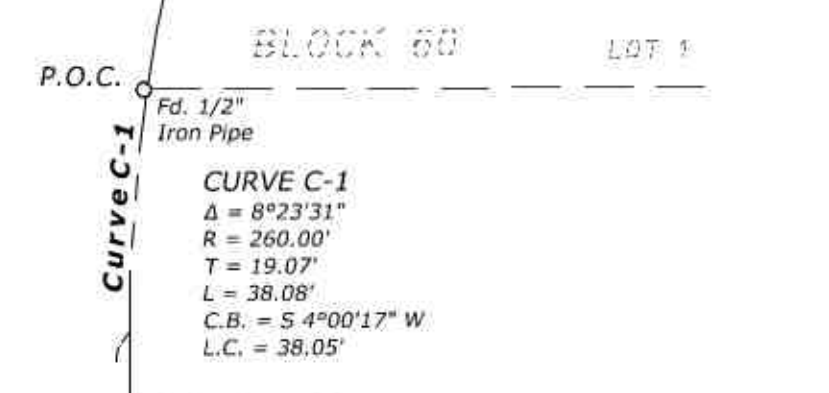


Bearings are based upon G.P.S. observations and referenced to the Illinois State Plane Coordinate System - East Zone NAD 83 (2007).

OWNER:
RDK VENTURES, LLC
PO Box 347
Columbus, IN 47202

FRANKFORT SQUARE
UNIT NO. 18
Recorded April 17, 1985 as
Document No. R85-11449

Please Return To:
Arc Design Resources
5291 Zenith Parkway
Loves Park, IL 61111
(815) 484-4300



VICINITY MAP (Not to Scale)

SYMBOL LEGEND	
	PROPERTY LINE & SECTION LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	CENTER LINE & SET SURVEY MONUMENT
	FOUND SURVEY MONUMENT
	SET CONCRETE MONUMENT
	RECORD DISTANCE
	MEASURED DISTANCE

CERTIFICATE OF OWNERSHIP

STATE OF _____)
COUNTY OF _____) S.S.

This is to certify that RDK Ventures, LLC is the owner of the land described in the foregoing certificate and have caused the same to be surveyed and subdivided, as indicated on the plat, for the uses and purposes therein set forth, and that the aforementioned described property is located in Summit Hill School District No. 161 (Frankfort), High School District No. 210 (Lincoln-Way Community) and Junior College District No. 525 (Joliet Junior College) and that I (we) hereby acknowledge and adopt the same under the style and title thereon indicated, as my (our) own free and voluntary act and deed.

By: _____
Signature Title

CERTIFICATE OF NOTARY

STATE OF _____)
COUNTY OF _____) S.S.

I, _____, A Notary Public in and for said County and State, do hereby certify that _____ personally known to me to be the same person(s) whose name(s) are subscribed to the above certificate appeared before me this day in person and acknowledged that he (they) signed the above certificate as his (their) own free and voluntary act and deed for the uses and purposes therein set forth. Given under my hand and notarial seal this _____ day _____ of A.D. 2023.

Notary Public

SURVEY CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF WINNEBAGO) S.S.

This is to certify that I, Lee S. Sprecher, an Illinois Registered Land Surveyor, have platted from the record the property being part of the Northwest Quarter of Section 24, Township 35 North, Range 12 East of the Third Principal Meridian, Will County, Illinois, described as follows:

A parcel of land being part of the Northwest Quarter of Section 24, Township 35 North, Range 12 East of the Third Principal Meridian, Will County, Illinois, described as follows:

Commencing at the Southwest corner of Lot 1 in Block 60 as designated upon Frankfort Square Unit No. 18, being a subdivision of part of the North Half of Section 24 Township 35 North, Range 12 East of the Third Principal Meridian, the plat of which subdivision was recorded April 17, 1985 as Document No. R85-11449 in the Recorder's Office of Will County, Illinois, said point also lying in the East line of a public road designated Frankfort Square Road per Plat of Dedication recorded March 10, 1976 as Document No. R76-06506 in said Recorder's Office; thence Southerly along the East line of said Frankfort Square Road along a circular curve to the left whose radius is 260.00 feet and whose center lies to the East, the long chord of which curve bears South 4 degrees 00 minutes 07 seconds West, a chord distance of 38.05 feet to a point of tangency; thence South 0 degrees 11 minutes 38 seconds East along the East line of said Frankfort Square Road, a distance of 231.33 feet to the Point of Beginning for the hereinafter described parcel of land; thence North 89 degrees 38 minutes 00 seconds East, a distance of 400.03 feet to the East line of the West 400' lying East of the East Line of said Frankfort Square Road; thence South 0 degrees 11 minutes 38 seconds East along said East line of the West 400' lying East of the East Line of said Frankfort Square Road, a distance of 182.22 feet to the North line of a public road designated U.S. Route 30 per Agreed Final Judgement Order in Will County Case No. 10-ED-107 between the Illinois Department of Transportation and RDK Ventures, LLC recorded January 9, 2012 as Document No. R2012003602 in said Recorder's Office; thence South 89 degrees 54 minutes 05 seconds West along the North line of said U.S. Route 30, a distance of 400.03 feet to the East line of said Frankfort Square Road; thence North 0 degrees 11 minutes 38 seconds West along the East line of said Frankfort Square Road, a distance of 180.35 feet to the Point of Beginning, containing 72,519 square feet, 1.665 acres, more or less, all being situated in the County of Will and the State of Illinois.

The accompanying plat is a true and correct representation of said survey and subdivision as made by me.

The above described property is not located within any regulated flood zones according to the Flood Insurance Rate Map (17197C0218G) for Will County, Illinois revised February 15, 2019.

The plat is situated within the corporate limits of the Village of Frankfort.

To the best of our knowledge, all regulations enacted by the Village of Frankfort have been complied with in the preparation of this plat.

Dimensions are given in feet and decimals of a foot. Iron pins 3/4-inch in diameter and 4 feet long have been found or set at all points marked on the plat with a solid dot, and iron pins 5/8-inch in diameter and 3 feet long have been found or set at all other lot corners.

Given under my hand and Seal this _____ day of _____, 2023.

Lee S. Sprecher
Illinois Professional Land Surveyor No. 3436
Arc Design Resources, Inc.
5291 Zenith Parkway
Loves Park, IL 61111
(815) 484-4300

My current license expires: _____



COUNTY CLERK CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF WILL) S.S.

I, _____ County Clerk of _____ County, Illinois, do hereby certify that there are no delinquent general taxes, or unpaid current general taxes against any of the estate described in the foregoing certificates.

Given under my hand and seal at _____, Illinois, this _____ day of _____, 2023, A.D.

County Clerk

COUNTY RECORDER CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF WILL) S.S.

This instrument No. _____ was filed for record in the recorder's office of _____ County, Illinois, aforesaid on the _____ day of _____, 2023, A.D. at _____ o'clock _____ M.

County Recorder

PLANNING AND ZONING COMMISSION APPROVAL

STATE OF ILLINOIS)
COUNTY OF WILL) S.S.

I, _____, Chairman of the Village of Frankfort Planning and Zoning Commission, do certify that on this _____ day of _____, 2023, A.D. this plat of subdivision was duly approved by the Planning and Zoning Commission of the Village of Frankfort.

Attest: _____
Chairman

By: _____

TAX MAPPING AND PLATTING CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF WILL) S.S.

I, _____, Director of the Tax Mapping and Platting Office, do hereby certify that I have checked the property described on this Plat against available county records and find said description to be true and correct. The property hereon described is located on Tax Map No. _____ and identified as Permanent Real Estate Tax Index Number (PIN): _____

Dated this _____ day of _____, 2023.

Director

VILLAGE BOARD APPROVAL

STATE OF ILLINOIS)
COUNTY OF WILL) S.S.

Approved by the President and the Board of Trustees of the Village of Frankfort, _____ County, Illinois, this _____ day of _____, 2023, A.D.

By: _____
Village President

Attest: _____
Village Clerk

EASEMENT PROVISIONS

Public Utility and Drainage Easements

All easements indicated as public utility and drainage easements on the plat are reserved for and granted to the Village of Frankfort and to those public utility companies operating under franchise from the Village of Frankfort, including, but not limited to, Ameritech Telephone Company, Nicor Gas Company, Commonwealth Edison Electric Company, Comcast Television Company and their successors and assigns, for perpetual right, privilege and authority to construct, reconstruct, repair, inspect, maintain and operate various utilities, transmission and distribution systems including storm and/or sanitary sewers, water mains, valve vaults, and hydrants together with any and all necessary manholes, catch basins, connections, appliances and other structures and appurtenances as may be deemed necessary by said Village of Frankfort, over, upon, along, under, through said indicated easement, together with right of access across property for necessary men and equipment to do any of the above work; The right is also granted to cut down, trim, or remove trees, shrubs, or other plants on the easement that interfere with the operation of the sewers and other utilities. No permanent buildings, trees or other structures shall interfere with the aforesaid uses or rights. Where an easement is used for both sewer and/or water mains and other utilities, the other utility installations are subject to the ordinances of the Village of Frankfort.

The placement of any landscaping not in with the approved landscape plan or grading plan for a given property, or any accessory building or structure, swimming pool, fence or other improvement which in any way could cause an impediment to the overland flow of storm water within said drainage easement is hereby prohibited.

Surface Overland Flow Easement

All easements indicated as "SURFACE OVERLAND FLOW EASEMENT" on this plat are reserved for and granted to the Village of Frankfort. No buildings, other structures or landscaping shall be erected or maintained in the SURFACE OVERLAND FLOW EASEMENT areas that would adversely affect the free flow of storm water. Each owner or subsequent purchaser shall be equally responsible for maintaining the SURFACE OVERLAND FLOW EASEMENT areas and shall not destroy or modify grades or slopes without having first received prior written approval of the Village of Frankfort. In the event any owner or subsequent purchaser fails to properly maintain the SURFACE OVERLAND FLOW EASEMENT areas, the Village of Frankfort or any other unit of local government having jurisdiction over drainage, shall have the right to perform, or have performed on its behalf, any maintenance work to or upon the SURFACE OVERLAND FLOW EASEMENT area reasonably necessary to insure proper flow of storm water and charge the owner or subsequent purchaser for the maintenance work performed.

Detention Easement

All easements indicated as detention easements on this plat are reserved for and granted to the Village of Frankfort and to their successors and assigns. No buildings or structures shall be placed on said easement, but the easement may be used for other purposes that do not adversely affect the storage/free flow of storm water. Each owner or subsequent purchaser shall be equally responsible for maintaining the detention easement and shall not destroy or modify grades, slopes or approved landscaping without having first received prior written approval from the Village of Frankfort.

In the event any owner or subsequent purchaser fails to properly maintain the detention easements, the Village of Frankfort shall have the right, but not the obligation, to perform, or have performed on its behalf, any maintenance work to or upon the water detention area reasonably necessary to insure adequate stormwater storage and free flow of stormwater through the detention easement area.

In the event the Village of Frankfort shall be required to perform, or have performed on its behalf, any maintenance work to or upon the water detention area easement, the cost together with an additional sum of ten percent (10%) of said cost completion of the work constitutes a lien against any lot or lots created by this Plat which may require maintenance. The lien may be foreclosed by an action brought by or on behalf of the Village of Frankfort.

DEPARTMENT OF TRANSPORTATION CERTIFICATION

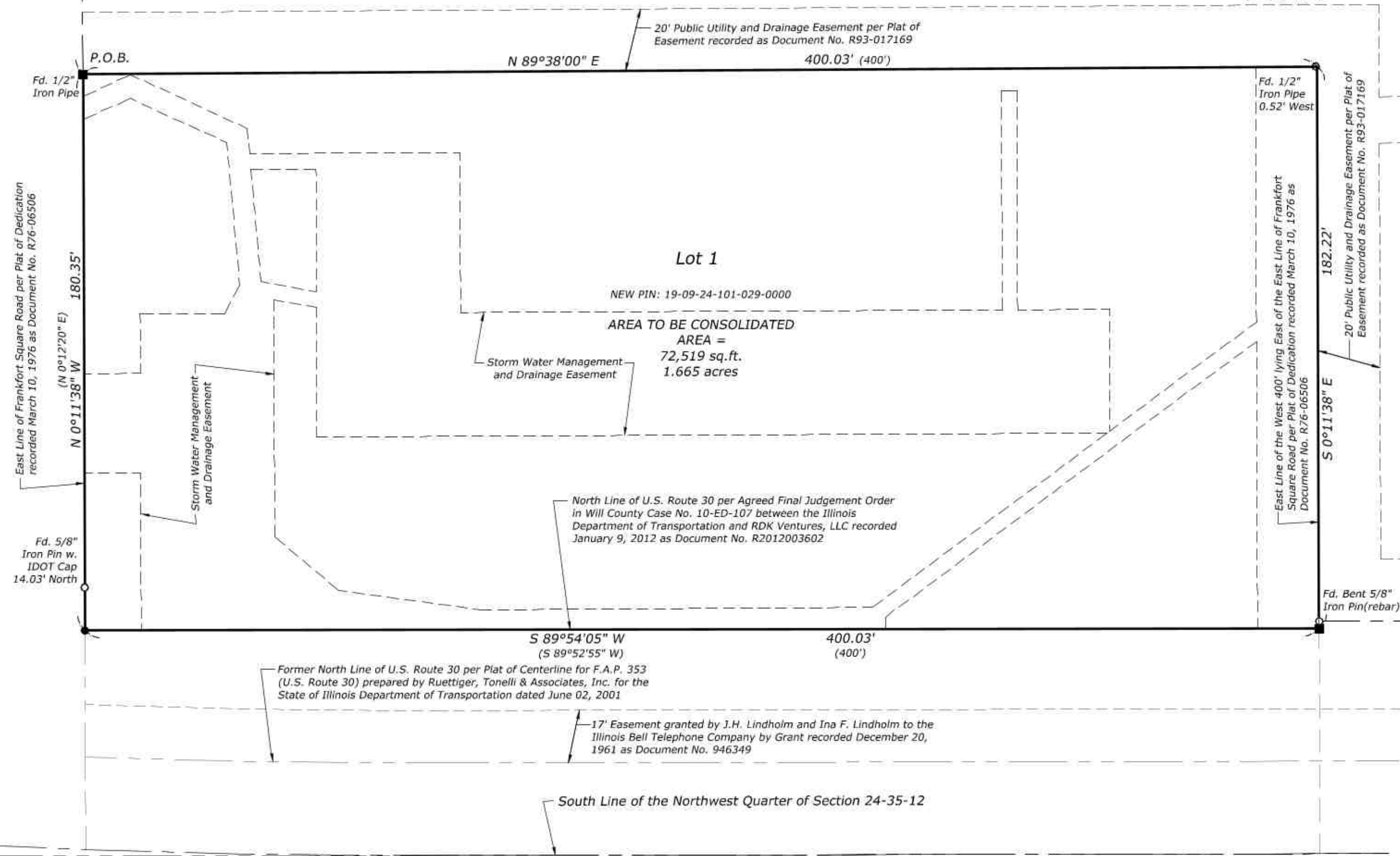
This plat has been approved by the Illinois Department of Transportation with respect to roadway access pursuant to 765 ILCS 205/2, as amended. A plan that meets the requirements contained in the Departments "Policy on Permits for Access Driveways to State Highways" will be required by the Department.

Dated this _____ day of _____, 2023.

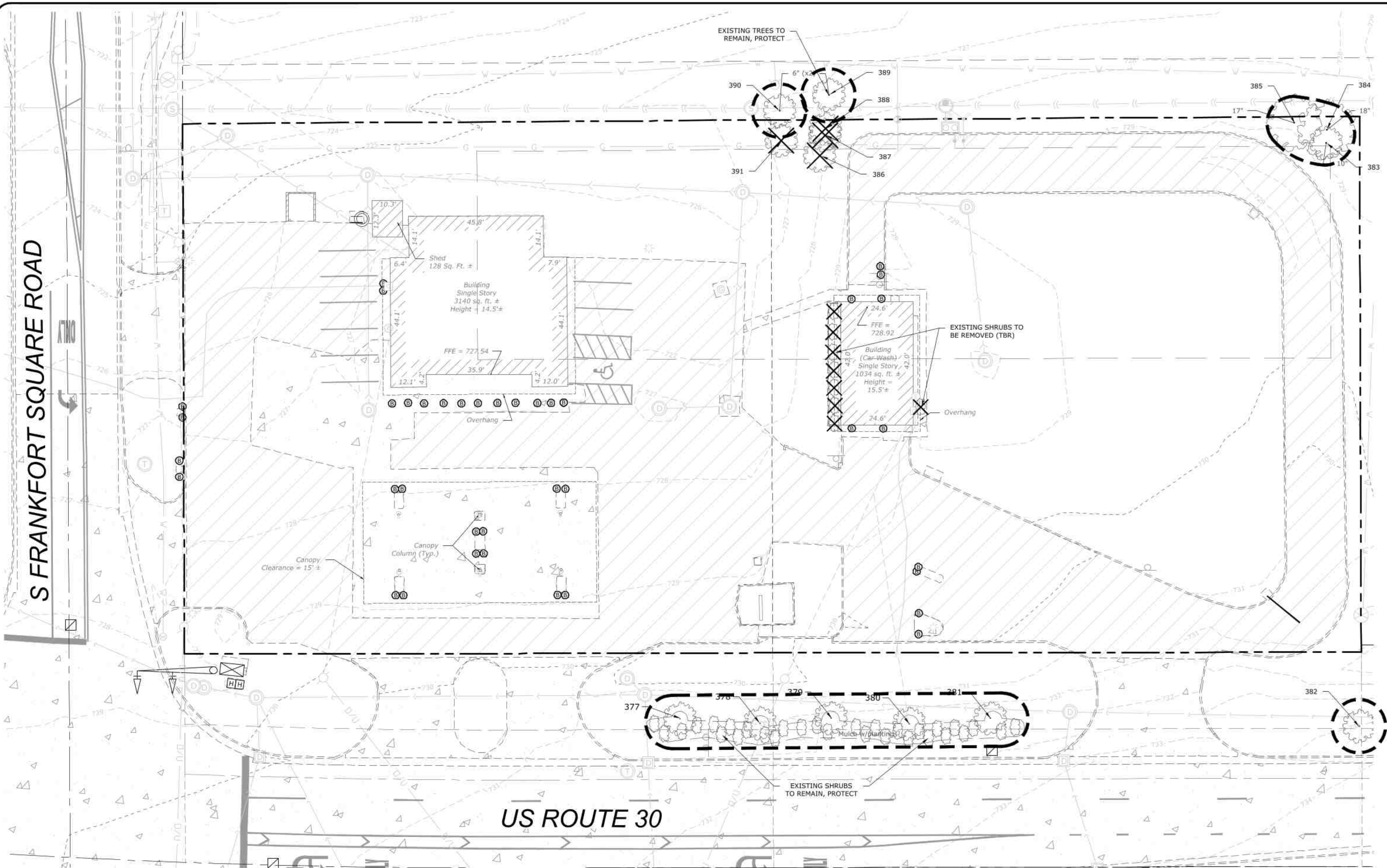
Region One Engineer

S. FRANKFORT SQUARE ROAD

CAPEL COMMISSIONS
Recorded October 20, 2023 as Document No. R2023012579



IL ROUTE 30 (W. LINCOLN HIGHWAY)
(Right-of-Way Varies)

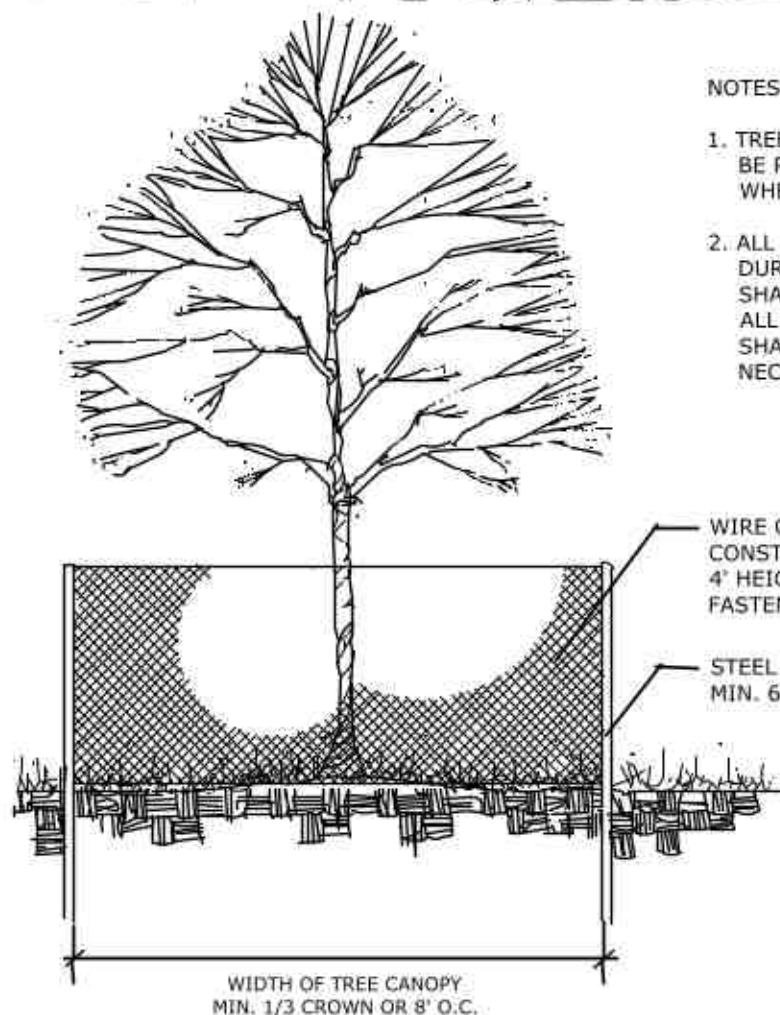


LEGEND

	PROPERTY LINE
	LOT LINE
	EXISTING RIGHT-OF-WAY
	EXISTING EASEMENT LINE
	EXISTING CURB AND GUTTER
	EXISTING CURB AND GUTTER TO BE REMOVED
	EXISTING SANITARY SEWER TO REMAIN
	EXISTING SANITARY SEWER TO BE REMOVED
	EXISTING STORM SEWER TO REMAIN
	EXISTING STORM SEWER TO BE REMOVED
	EXISTING WATER TO REMAIN
	EXISTING WATER TO BE REMOVED
	EXISTING OVERHEAD UTILITIES TO REMAIN
	EXISTING OVERHEAD UTILITIES TO BE REMOVED
	EXISTING GAS MAIN TO REMAIN
	EXISTING GAS MAIN TO BE REMOVED
	EXISTING FENCE TO REMAIN
	EXISTING FENCE TO BE REMOVED
	EXISTING CONTOUR LINE
	EXISTING PAVEMENT, CONCRETE SIDEWALKS OR FOUNDATIONS TO BE REMOVED
	EXISTING BUILDINGS AND APPURTENANCES TO BE REMOVED
	"TO BE REMOVED"
	"SALVAGE"
	"TYPICAL" FOR ALL SIMILAR ITEMS
	EXISTING WATER TO REMAIN
	EXISTING WATER TO BE REMOVED
	EXISTING SIGN TO REMAIN
	EXISTING SIGN TO BE REMOVED
	EXISTING GAS METER TO REMAIN
	EXISTING GAS METER TO BE REMOVED
	EXISTING ELECTRIC METER TO REMAIN
	EXISTING ELECTRIC METER TO BE REMOVED
	EXISTING STORM SEWER TO REMAIN
	EXISTING STORM SEWER TO BE REMOVED
	EXISTING SANITARY SEWER TO REMAIN
	EXISTING SANITARY SEWER TO BE REMOVED
	BENCHMARK
	EXISTING TRAFFIC SIGNAL MAST ARM
	EXISTING SIGNAL CONTROLLER
	EXISTING LIGHT POLE TO REMAIN
	EXISTING LIGHT POLE TO BE REMOVED
	EXISTING SHRUBS TO REMAIN
	EXISTING SHRUBS TO BE REMOVED
	EXISTING TREE TO REMAIN WITH TREE # AND PROTECTIVE FENCING (AS SHOWN OR NECESSARY)
	EXISTING TREE TO BE REMOVED

NOTES:

1. TREE PROTECTION SHALL BE PLACED AT DRIPLINE WHENEVER POSSIBLE
2. ALL ROOTS EXPOSED DURING CONSTRUCTION SHALL BE PROTECTED. ALL DAMAGED ROOTS SHALL BE PRUNED AS NECESSARY.



TREE PROTECTION DETAIL

NOT TO SCALE

TREE PRESERVATION NOTES

1. All grading and construction equipment shall be restricted within the protection fencing limits. No excess soil, additional fill, liquids or construction debris shall be placed within the protection fencing limits or root zone of any tree that is noted to be preserved.
2. Crushed limestone, hydrocarbons and other materials detrimental to trees or vegetation shall not be dumped within the protection fencing limits or root zone of any tree not at any higher location where drainage toward the tree could conceivably effect the health of the tree.
3. Appropriate protective fencing shall be temporarily installed for protection of preserved vegetation or trees as shown on plan.
4. All required protective fencing must be in place before any on site construction can begin. The protective fencing must remain in place and be maintained during the entire construction period.
5. The protective fencing material must be a minimum of 4' height and can be plastic mesh, orange preferred (or green), wire or chain-link. All fencing shall be installed to the outer extents of the tree canopy (drip line) or at minimum within the outer 1/3 of the tree canopy. All fencing must be secured to metal posts driven into the ground and spaced no further than 6 feet apart.
6. Fencing must be properly maintained during the entire construction period.
7. No other fencing, wires or attachments, other than those approved materials for bracing, guying or wrapping shall be attached to any tree or vegetation during construction. All reasonable measures necessary to prevent the destruction or damage to trees or plant material (other than those specified to be removed) shall be taken.
8. No grading or earthwork is to occur within the fenced tree protection limits nor is any soil to be removed from within the protective fencing without prior approval of arborist, engineer or landscape architect.
9. If any trees that are noted within or near the areas to be developed will affect more than 1/3 of the root system, the site foreman with approval from an arborist, engineer or landscape architect may remove such trees.

TREE REMOVAL NOTES

1. Contractor shall verify locations of all underground utilities prior to beginning construction on his phase of work. Electric, gas, telephone, and cable television can be located by calling J.U.L.I.E. at '811'. For regional locating, contact "Digger's Hotline". Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
2. Contractor is responsible for application and cost of all necessary permits (tree removal) and code verifications. Submit copies of all documents to owner, job superintendent, engineer or landscape architect.
3. The removal of all trees noted on plans and related operations shall be organized, overseen and/or completed by a certified arborist or tree removal company that is licensed and bonded with the local municipality.
4. Trees shall be removed in accordance with current arboriculture practices. Tree removal shall be conducted in a manner that protects all surrounding structures and preserved trees from damage. All tree stumps shall be ground to a minimum depth of 12" below grade, including crown roots, shavings packed into hole or filled with topsoil and restored with seed and erosion blanket.
5. At no time shall any tree or vegetation be forcibly removed in such a manner that would damage surrounding trees or vegetation, root systems or substructures.
6. All invasive trees and vegetation and species as outlined by local municipality or as noted by engineer, arborist or landscape architect that may not be listed on tree inventory or plans shall be removed from areas as shown.

TREE #	COMMON NAME	SCIENTIFIC NAME	SIZE (DBH)	CONDITION	SAVE	REMOVE	RECOMMENDATION/NOTES
377	Maple, Red var.	Acer rubrum var.	3"	Good			
378	Maple, Red var.	Acer rubrum var.	3"	Good			
379	Maple, Red var.	Acer rubrum var.	3"	Good			
380	Maple, Red var.	Acer rubrum var.	3"	Good			
381	Maple, Red var.	Acer rubrum var.	3"	Good			
382	Oak, White	Quercus bicolor	4"	Good			On property line
383	Boxelder	Acer negundo	3 x 6"	Fair			Mult-stemmed
384	Boxelder	Acer negundo	3 x 6"	Fair			Mult-stemmed
385	Boxelder	Acer negundo	2 x 6"	Fair			On property line / Mult-stemmed
386	Boxelder	Acer negundo	3 x 9"	Good	X		IDA
387	Boxelder	Acer negundo	6"	Good	X		IDA
388	Boxelder	Acer negundo	10"	Good	X		On property line
389	Boxelder	Acer negundo	2 x 8"	Good			Offsite / Mult-stemmed, each leaning
390	Boxelder	Acer negundo	6"	Fair			Offsite / crooked trunk
391	Boxelder	Acer negundo	9"	Good	X		IDA

*IDA = In Development Area

ARC DESIGN
RESOURCES INC.

5201 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303
www.arcdesign.com
Illinois Design Firm License No. 184-001334

PROJECT NAME
OWNER'S NAME

CIRCLE K FRANKFORT

7654 W LINCOLN HWY
FRANKFORT, IL 50423
WILL CO.

RDV VENTURES LLC
500 WARRENVILLE ROAD
LISLE, IL 60532
(815) 762-4861

CONSULTANTS

ISSUED FOR

ITEM	DATE
1. COORDINATION	2021 08-13
2. COORDINATION	2021 09-15
3. AGENCY REVIEW	2021 10-06
4. ---	---
5. ---	---
6. ---	---
7. ---	---
8. ---	---
9. ---	---
10. ---	---
11. ---	---
12. ---	---

REVISIONS

ITEM	DATE
1. ---	---
2. ---	---
3. ---	---
4. ---	---
5. ---	---
6. ---	---

SHEET TITLE

LANDSCAPING PLAN

DRAWN	TWL
CHECKED	LND
PM	RCS

PROJECT NUMBER
SHEET NUMBER

20033

L01

CIRCLE K
FRANKFORT

7654 W LINCOLN HWY
FRANKFORT, IL 50423
WILL CO.

RDV VENTURES LLC
500 WARRENVILLE ROAD
LISLE, IL 60532
(815) 762-4861

CONSULTANTS

ISSUED FOR

	DATE
1. COORDINATION	08-13-2021
2. COORDINATION	09-15-2021
3. AGENCY REVIEW	10-08-2021
4. AGENCY REVIEW	08-01-2022
5. AGENCY REVIEW	12-05-2022
6. AGENCY REVIEW	03-02-2023
7. AGENCY REVIEW	04-07-2023
8. ---	---
9. ---	---
10. ---	---
11. ---	---
12. ---	---

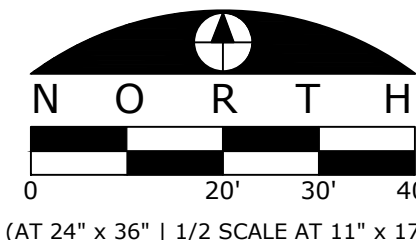
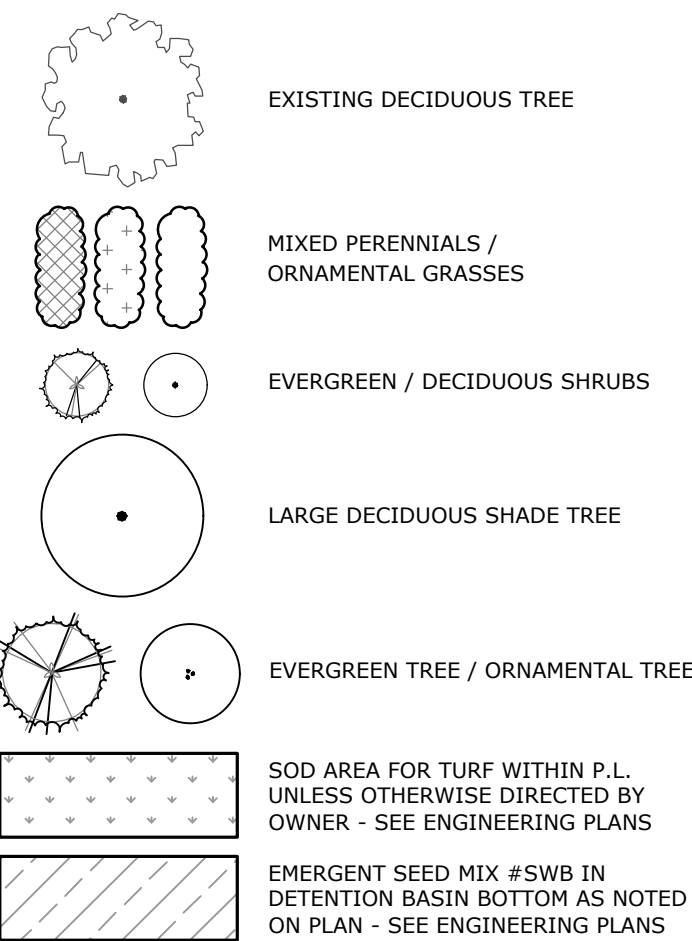
REVISIONS	DATE
1. ---	---
2. ---	---
3. ---	---
4. ---	---
5. ---	---
6. ---	---

SHEET TITLE

LANDSCAPE PLAN

DRAWN	MPA
CHECKED	LND
PM	RCS

LEGEND



PLANT LIST

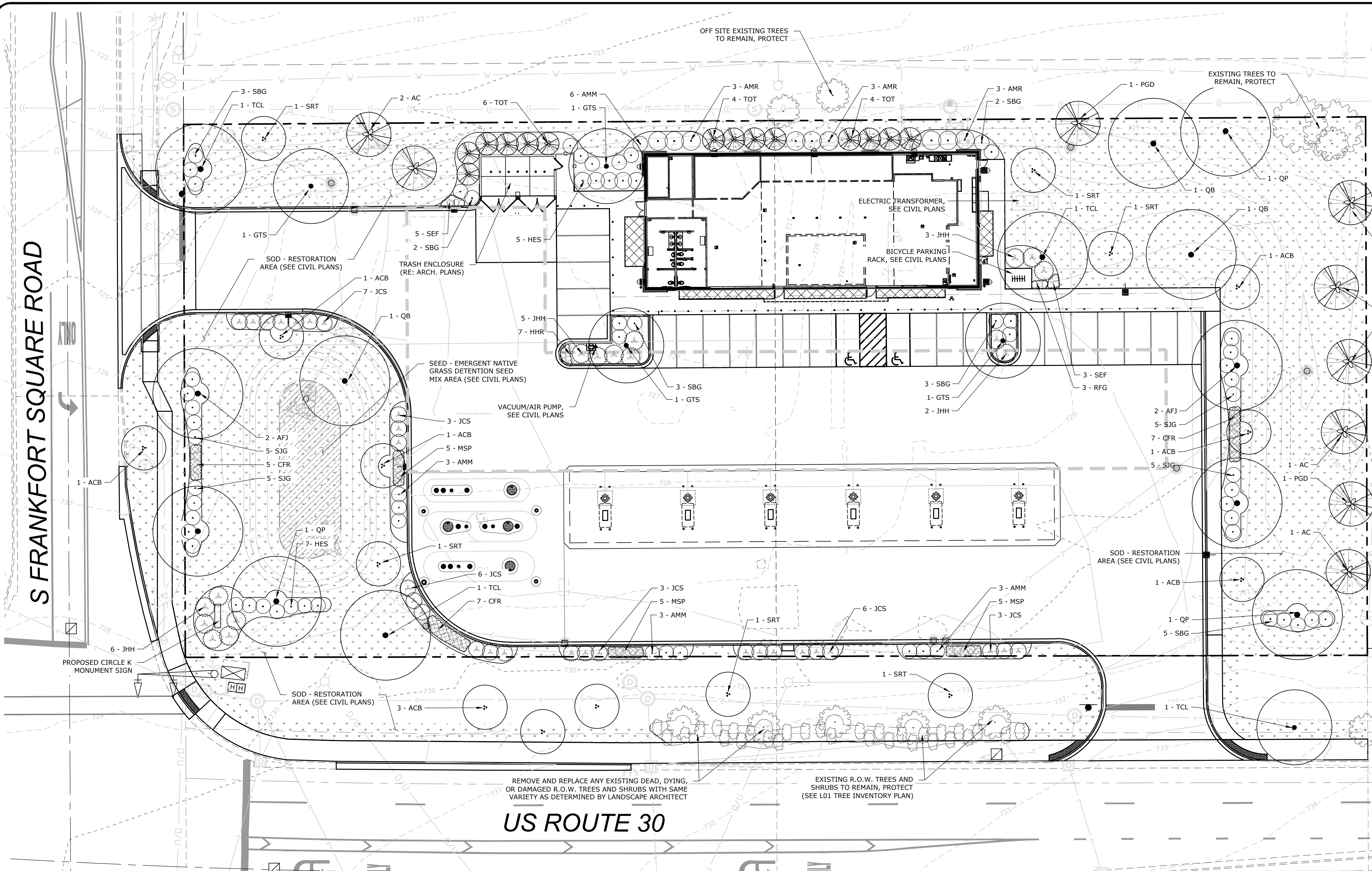
KEY	QTY	Botanical name COMMON NAME	SIZE	REMARKS
AC	5	Abies concolor WHITE FIR	6'	EVERGREEN
ACB	9	Amelanchier canadensis 'Brilliantissima' AUTUMN BRILLIANCE SERVICEBERRY	6'	ORNAMENTAL / MULTISTEM
AFJ	4	Acer freemanii x 'Jeffersred' JEFFERSRED HYBRID RED MAPLE	2.5"	
GTS	4	Gleditsia triacanthos 'Skyline' SKYLINE HONEYLOCUST	2.5"	HYBRID / FRUITLESS
PGD	4	Picea glauca 'Densata' BLACK HILLS SPRUCE	6'	EVERGREEN
QB	3	Quercus bicolor SWAMP WHITE OAK	2.5"	
QP	3	Quercus palustris PIN OAK	2.5"	
SRT	6	Syringa reticulata JAPANESE TREE LILAC	2.5"	ORNAMENTAL / STANDARD
TCL	4	Tilia cordata LITTLE LEAF LINDEN	2.5"	
TOT	14	Thuja occidentalis 'Techny' TECHNY HARDY ARBORVITAE	5'	EVERGREEN / UPRIGHT
AMM	15	Aronia melanocarpa 'Morton' IRIQUOIS BEAUTY CHOKEBERRY	24" / 5 GAL	
AMR	9	Aronia melanocarpa 'Professor Ed' RED CHOKEBERRY	30" / 5 GAL	
HES	12	Hydrangea x 'Endless Summer' ENDLESS SUMMER HYDRANGEA	24" / 5 GAL	
JCS	28	Juniperus chinensis 'Sargentii' GREEN SARGENT JUNIPER	24" / 5 GAL	EVERGREEN
JHH	16	Juniperus horizontalis 'Hughes' HUGHES JUNIPER	24" / 5 GAL	EVERGREEN
SBG	18	Spiraea betulifolia 'Glow Girl' GLOW GIRL TOR SPIREA	24" / 5 GAL	
SJG	20	Spiraea japonica 'Galen' GALEN DOUBLE PLAY ARTISAN SPIREA	24" / 5 GAL	
CFR	19	Calamagrostis acutiflora 'Karl Forster' FEATHER REED GRASS	GAL	3'-0" O.C. - ORN. GRASS
HHR	7	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY	GAL	2'-0" O.C. - PERENNIAL
MSP	15	Miscanthus sinensis 'Purpureascens' PURPLE MAIDEN GRASS	GAL	3'-0" O.C. - ORN. GRASS
RFG	3	Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSAN	GAL	2'-0" O.C. - PERENNIAL
SEF	8	Salvia x 'East Friesland' FRIESLAND MEADOW SAGE	GAL	2'-0" O.C. - PERENNIAL

PLANTING NOTES

- Landscape Contractor (Contractor) shall make a site visit prior to bidding/construction to inspect the current site conditions and review proposed planting plan and related work. Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
- Contractor shall verify locations of all underground utilities prior to beginning construction on this phase of work. Electric, gas, telephone, and cable television can be located by calling J.U.L.I.E. at '811'. For regional locating, contact "Digger's Hotline". Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
- Contractor is responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to owner and landscape architect.
- Contractor shall grade entire site to correct surface irregularities in preparation for sod/seed. Roto-til, disc, drag, harrow or hand rake sub grade in all lawn areas and remove construction debris, foreign matter or stones larger than 2". Grading shall provide slopes which are smooth, continuous, free from depressions or ridges. Level, rake and roll as necessary to an even and true condition and obtain positive drainage in all areas. Finish grades shall meet the approval of owner prior to lawn installation.
- All disturbed areas should be brought to grade with "topsoil" to a depth of 6 inches in areas to be seeded or sodded, and 12 inches for all interior (curbed) landscape islands. All lawn areas are to be finished with mulch, straw mulch, seed, sod, etc. or as noted. All lawn areas to be watered until a healthy stand of grass is established. [see seed/sod notes for acceptance details].
- Quantity lists are supplied as a convenience; however, the contractor should verify all quantities. The drawings shall take precedence over the lists.
- Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways, downspouts, etc.; however, quantities and sizes shall remain consistent with these plans.
- Size & grading standards of plant material shall conform to the latest addition of ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association. Plant material shall be nursery grown and be either balled and burlap or container grown.
- All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.
- Any plant materials with damaged or crooked/disfigured leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected by Landscape Architect and/or Owner. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump.
- Upon inspection and acceptance of all landscape items by Landscape Architect and/or Owner the contractor shall assume maintenance responsibilities for a period of thirty (30) days, for all plant material, to include: watering, cultivating, weeding, pruning, mulching and spraying as necessary to keep plants free of insects and in a

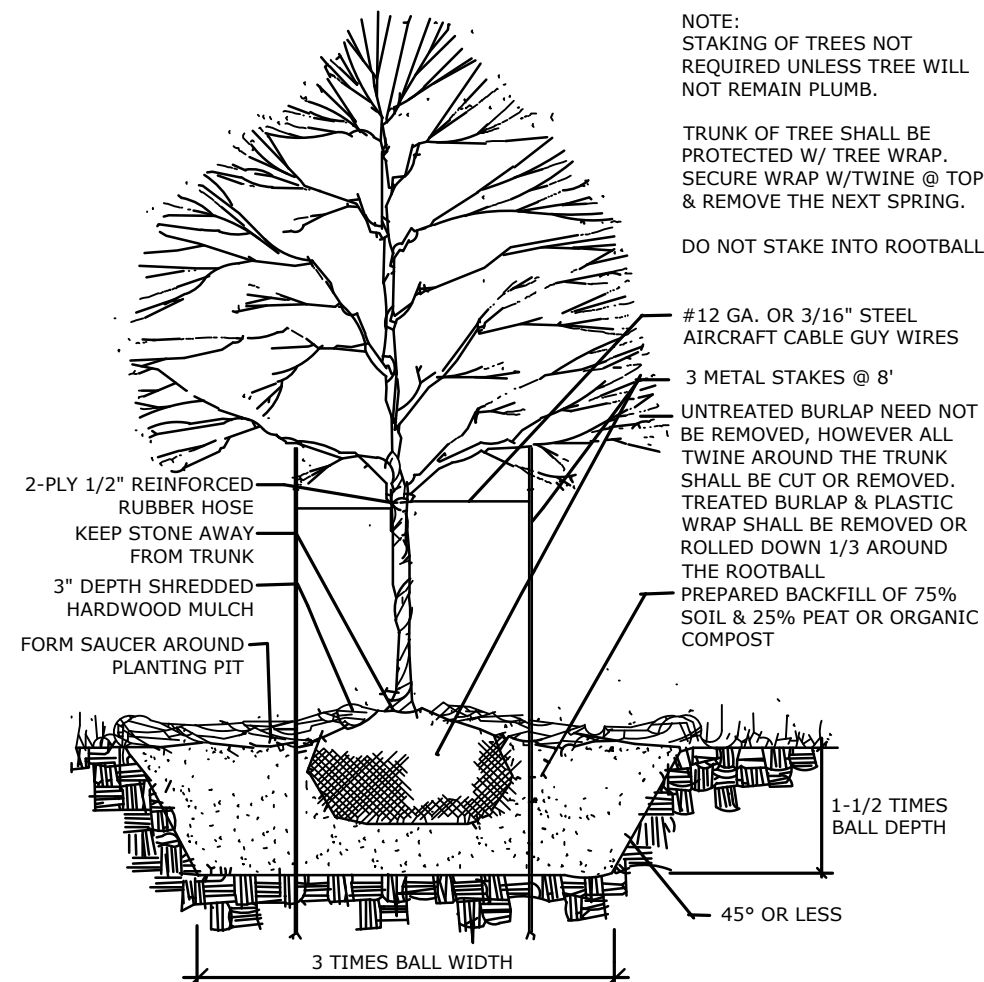
healthy, vigorous condition until responsibility is transferred to the owner (see below).

- All plant material shall be guaranteed for one (1) year after acceptance by landscape architect and/or owner. After the first thirty (30) days, the owner shall assume maintenance responsibilities as described (see above). Contractor shall replace without cost to owner any dead or unacceptable plants, as determined by the landscape architect at the end of one (1) year guarantee period. Contractor shall notify immediately, in writing, any concerns related to maintenance practices.
- All planting beds and tree saucers shall be mulched continuous with 3" depth shredded hardwood mulch, see planting details. All deciduous trees (shade / ornamental) that are not located in a planting bed shall be mulched with a 3'-0" diameter circle. Evergreen trees shall be mulched to outer-most branches at the time of installation.
- Planting edge delineation at all planting bed lines and tree saucers shall require a minimum 4" depth "vee" shaped cultivated, spaded edge with a vertical face abutting all lawn areas and sloped to inside of plant bed continuous between lawn and mulched areas as indicated on plan.
- Contractor to sod all disturbed lawn areas. Sod shall be locally sourced.
- All sodded turf areas shall be fertilized at installation with 6-20-20 analysis, at a rate of 6 lbs. per 1,000 s.f. A second application of 21-7-14 to be applied at rate of 6 lbs. per 1,000 s.f. after the first cutting. Acceptance and guarantee notes shall apply to all sodded areas.
- Contractor to install native seed mix Emergent Stormwater/bio-infiltration mix (or approved equal), #SWB placed from normal water line to 1'-0" above the normal water line (nwl) or as noted on plans. Seed mix available from Agrecol, native seed & plant nursery 1-608-223-3571 (www.agrecol.com). Seed mix to be applied at a minimum rate of 6 lbs. per acre or as specified by nursery.
- All seeded areas shall be covered with straw mulch or erosion control netting, within three (3) days of seeding. All areas that are not on slopes greater than 5:1 shall be mulched using crimped straw or hay either hand or machine applied at 2 ton per acre. Crimp mulch with a straight disc or a specialized roller pulled at right angles to the slopes. Hay, or threshed straw shall be seed free.



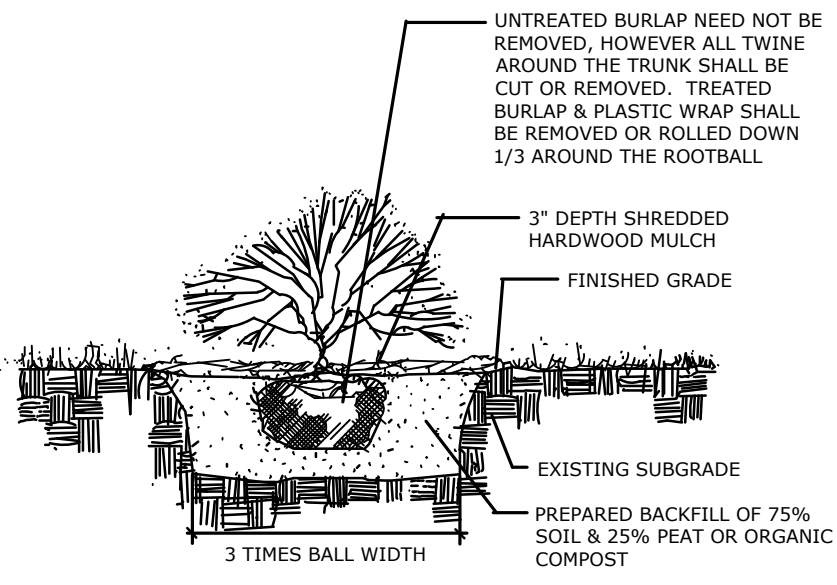
S FRANKFORT SQUARE ROAD

US ROUTE 30



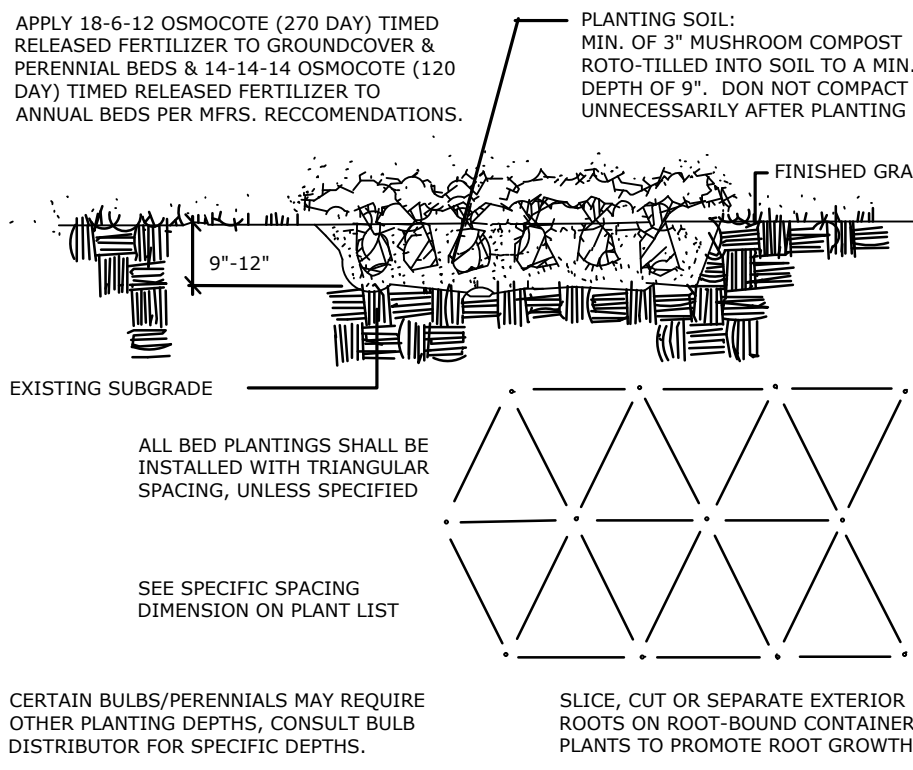
TREE PLANTING DETAIL

NOT TO SCALE



SHRUB PLANTING DETAIL

NOT TO SCALE



BED PLANTING DETAIL

(GROUND COVER, PERENNIALS & ANNUALS)

NOT TO SCALE

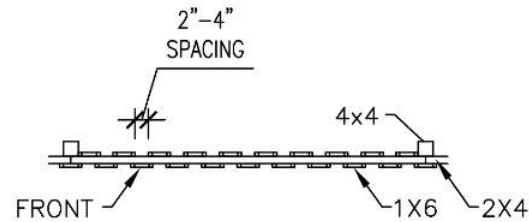
LANDSCAPE ZONING DATA							
Circle K - Frankfort, IL - US Route 30 & Frankfort Sq. Rd.							
Requirement	Required Width (ft)	Provided Width (ft)	Provided Length (ft)	Required Plant Qty and Type	Required Plantings	Provided Plantings	Notes
Parkway Plantings							
US Route 30	n/a	n/a	365'	1 Tree / 35'	10 Trees	10 Trees (4 new + 6 exist.)	
Frankfort Sq. Rd	n/a	n/a	145'	1 Tree / 35'	4 Trees	4 Trees	
Transition Yard (adj. to other zoning)							
Rear Yard (North)	25'	n/a	n/a	125 Units / 100' (40% everg.)	n/a	2 overstory (20 Units), 8 evergreen (64 Units) 21 lg. shrubs (42 Units) 126 Plant Units provided* in lieu of Frankfort Sq. Rd.	Plants not required, same or similar zoning. Plant Units shown are used to meet the Frankfort Sq. Rd. parkway requirement*.
Side Yard (East)	25'	n/a	n/a	125 Units / 100' (40% everg.)	n/a	4 exist. Trees (40 Units) 8 overstory (80 Units) 7 evergreen (56 Units) 7 ornamental (35 Units) 37 lg. shrubs (74 Units) 285 Plant Units provided* in lieu of US Route 30	Plants not required, same or similar zoning. Plant Units shown are used to meet the US Route 30 parkway requirement*.
Stormwater Detention Facility							
Detention facility (west)	n/a	n/a	213' HWL	20 Units / 100' w/ (30% cover native emergent grass)	43 Plant Units + 30% min. native emergent grass	2 overstory (20 Units), 13 lg. shrubs (26 Units) 46 Plant Units Total + 35% native emergent grass cover	
Parking Lot & Vehicular Use Areas - Adj. to residential or public ROW							
US Route 30 - Parkway Planting greenspace / screening area	25' greenspace, min. 10' screen	3.5' screen width	269'	150 Units / 100' w/ (75% evergr.)	403 Plant Units w/ 75% evergr.	2 ornamental (10 Units) 24 lg. shrubs (48 Units) 30 exist. Shrubs (60 Units) 118 Plant Units provided 403 Plant Units Required 285 Unit balance at Side Yard*	*Due to the narrow frontage along US Route 30, some of the quantities of plant units are achieved by dispersing plant material around the perimeter of the site.
Frankfort Square Rd. - Parkway Planting greenspace / screening area	25' greenspace, min. 10' screen	10' screen width	142'	150 Units / 100' w/ (75% evergr.)	213 Plant Units w/ 75% evergr.	2 overstory (20 Units) 3 ornamental (15 Units) 26 lg. shrubs (52 Units) 87 Plant Units provided 213 Plant Units Required 126 Unit balance at Rear Yard*	*Not all of the plant material was able to be planted in the frontage due to the detention basin, signage, and driveway access, some of the quantities of plant units are achieved by dispersing plant material around the perimeter of the site.
Parking Lot & Vehicular Use Areas - Interior drive / parking lot landscape							
Parking Lot Islands	1/10 spaces 9'x18' 162 SF area	9'	18'	1 tree per island	2 islands (2 trees) w/ 324 SF area	2 islands (2 trees) w/ 455 SF area	
Additional plants (rear/north)	n/a	n/a	n/a	n/a	n/a	8 evergreen (64 Units) 3 lg. shrubs (6 Units) 70 Plant Units Total	Plant material added per PC/ZBA recommendation.

RECEIVED

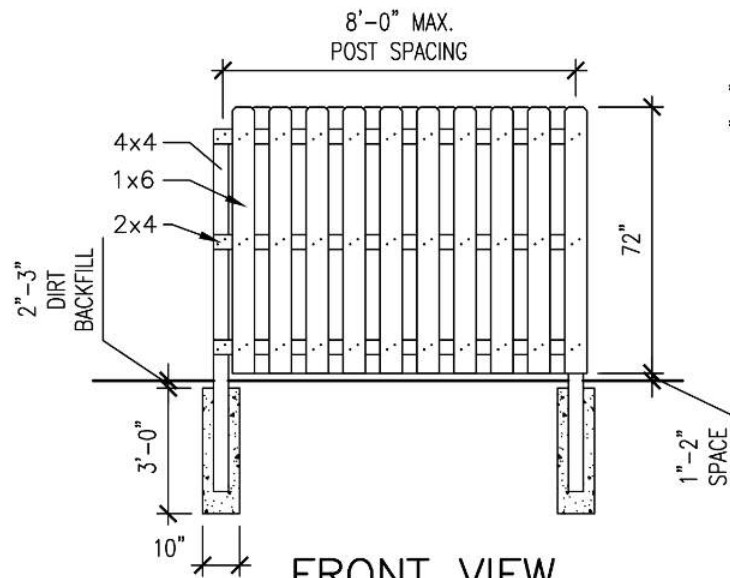
By Mike Schwarz at 2:40 pm, Aug 02, 2023

PRIVACY FENCE DETAIL

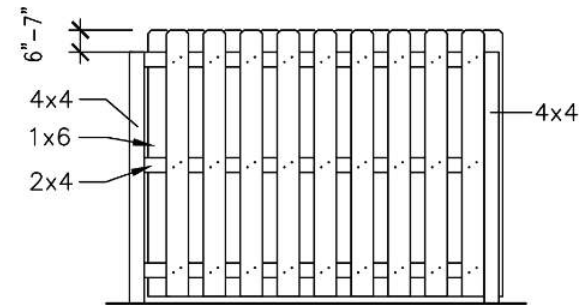
NOT TO SCALE



TOP VIEW



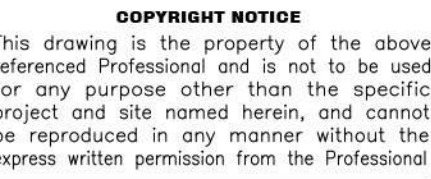
FRONT VIEW



NOTE: NUMBER OF BOARDS WILL VARY DEPENDING ON SPACE BETWEEN BOARDS AND ACTUAL WIDTH OF BOARDS.

REAR VIEW

STRAIGHT SHADOWBOX PRIVACY FENCING

**PROFESSIONAL SEAL****PROFESSIONAL IN CHARGE**

ARCH PROF IN CHARGE

PROJECT MANAGER
 DCU, PM

QUALITY CONTROL

ARCH QC

DRAWN BY

ARCH DRAW

PROJECT NAME

**CIRCLE K
STORES INC.**CITY
US STATE**ADDRESS LINE 1**

ADDRESS LINE 2

ADDRESS_LINE_2



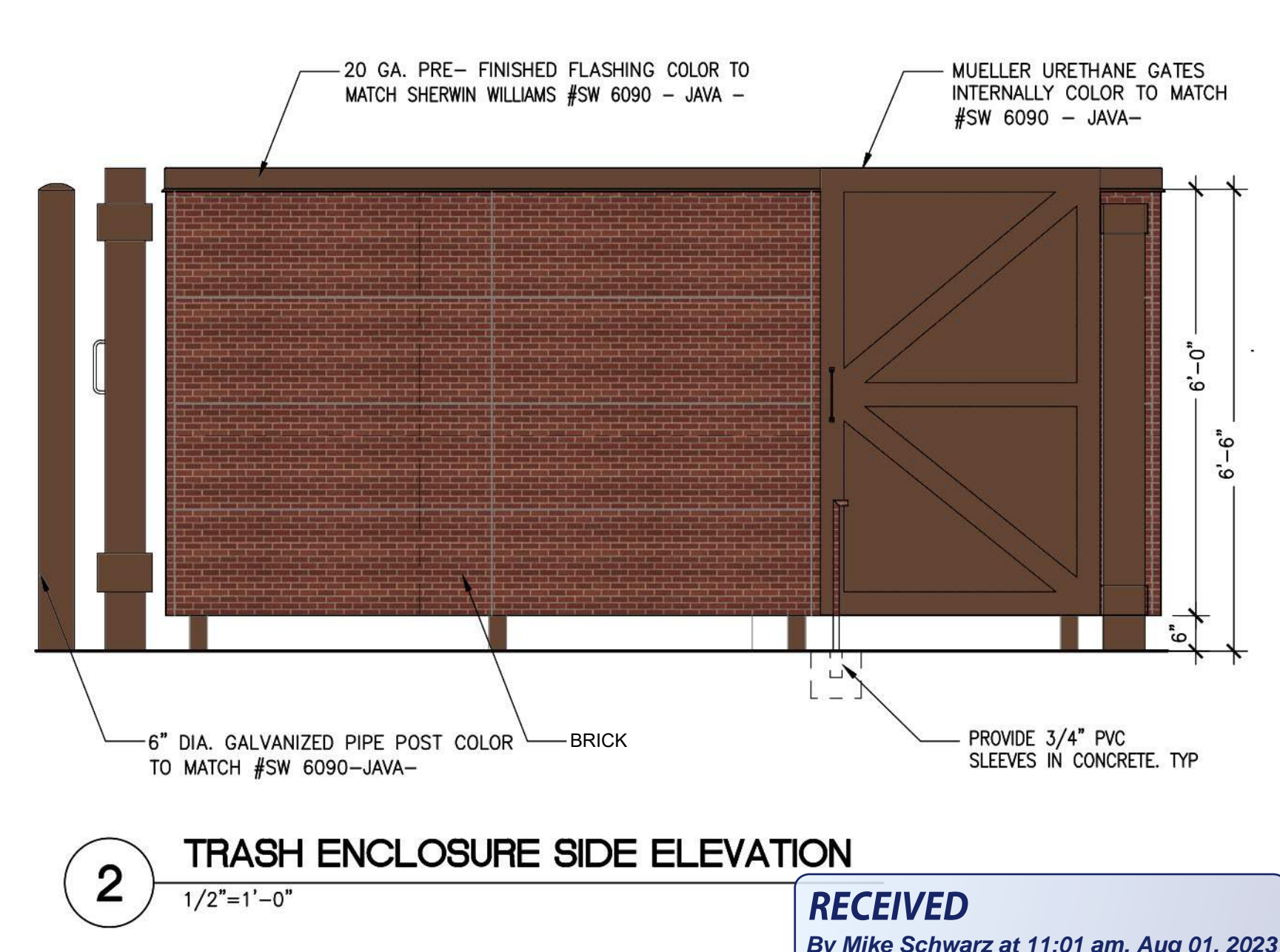
PROJECT NUMBER

SHEET TITLE

SITE DETAILS

SHEET NUMBER

SD1.3

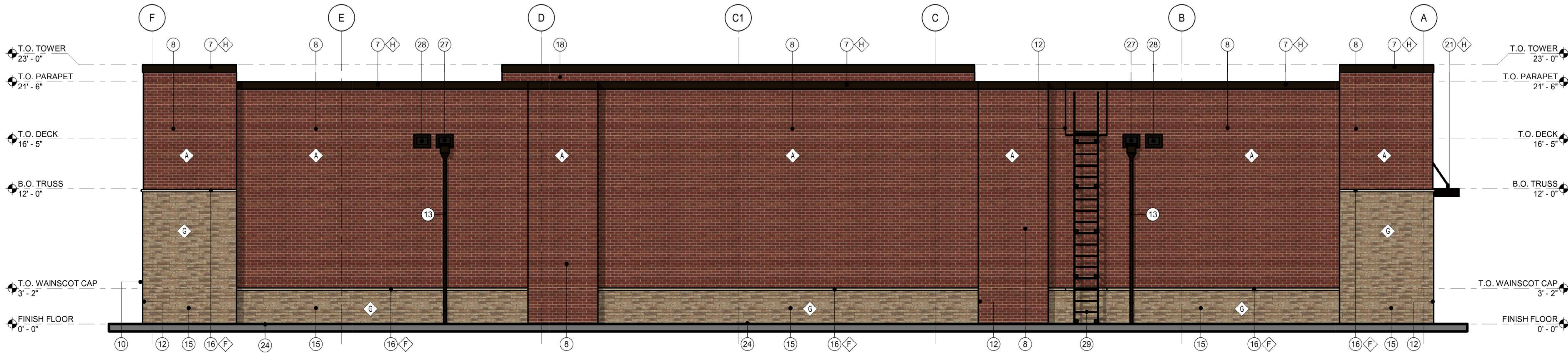


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By Mike Schwarz at 11:01 am, Aug 01, 2023



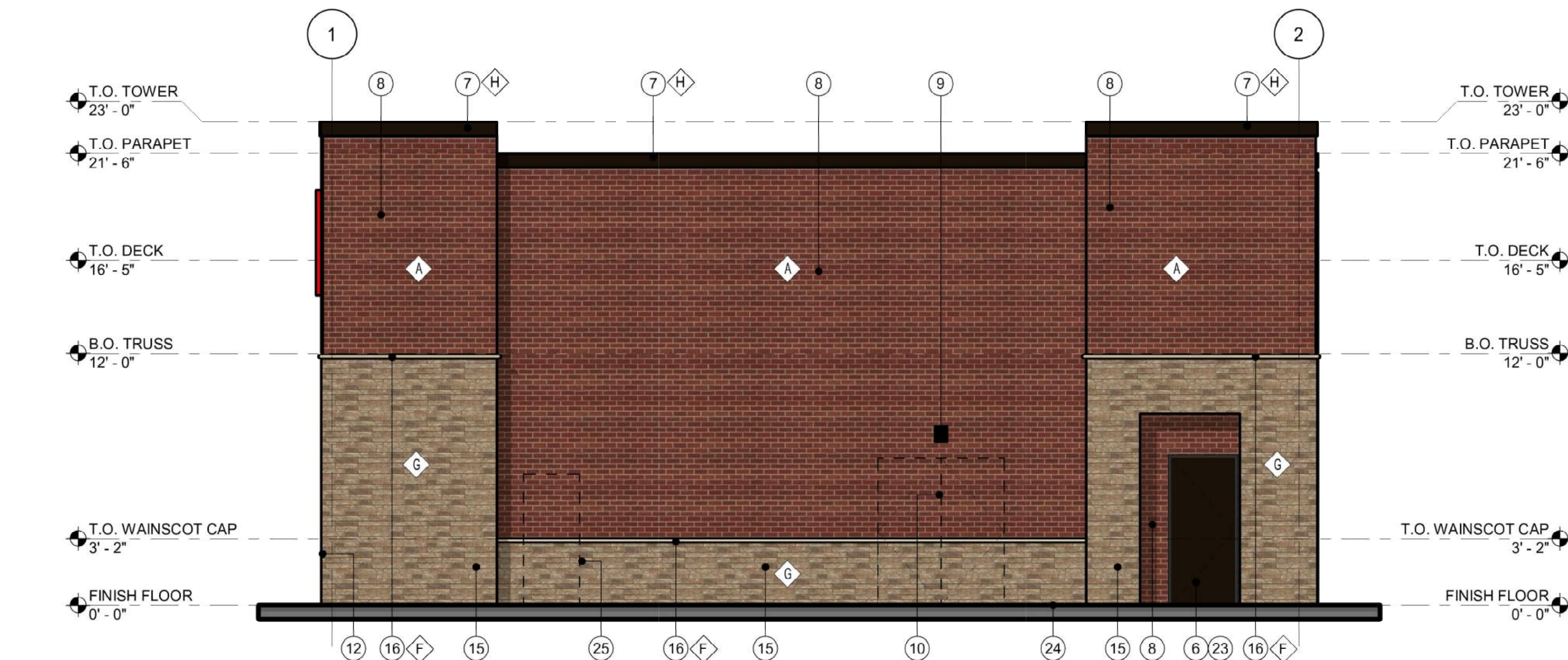
1 FRONT ELEVATION

SCALE : 3/16" = 1'-0"



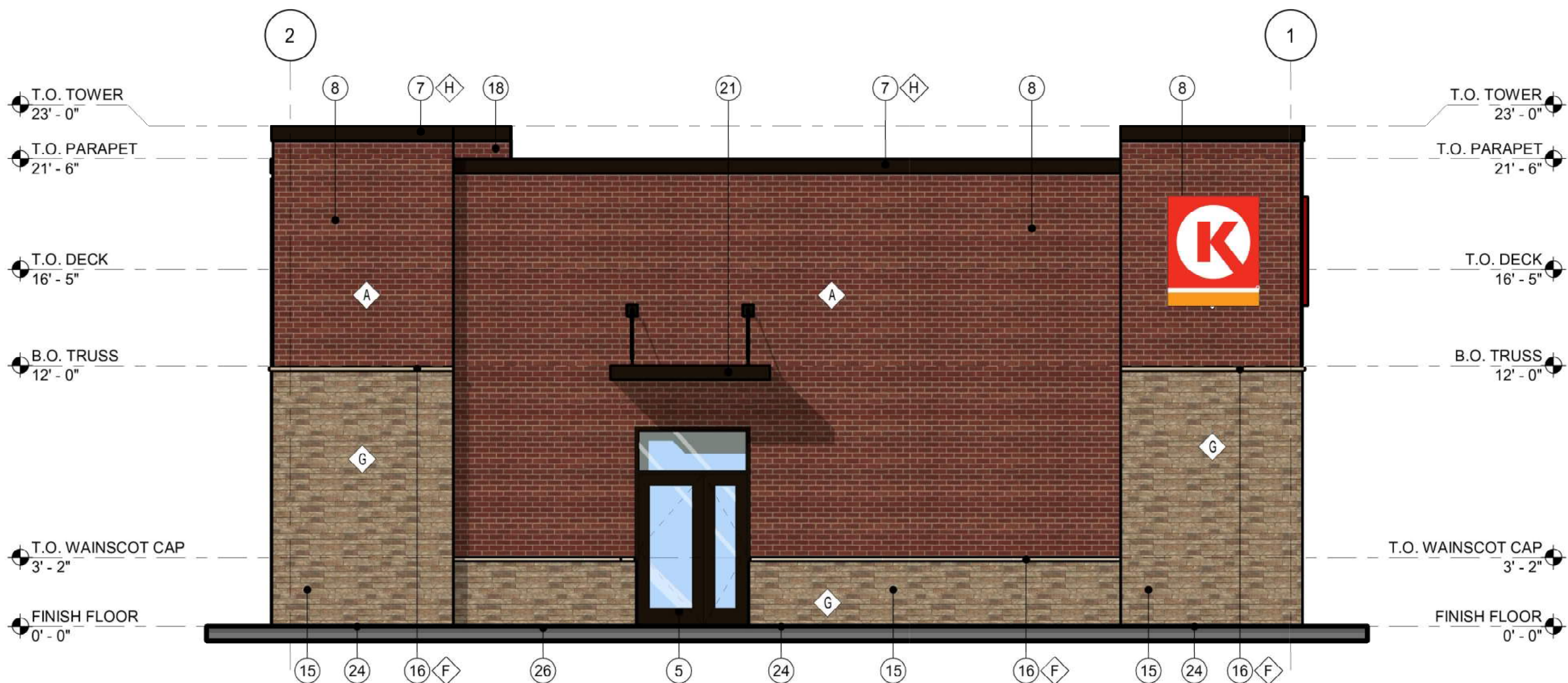
2 BACK ELEVATION

SCALE : 3/16" = 1'-0"



3 SOUTH ELEVATION

SCALE : 3/16" = 1'-0"



4 NORTH ELEVATION

SCALE : 3/16" = 1'-0"

KEY NOTES #

1. STEEL COLUMN WRAP WITH BREAK METAL
2. NOT USED
3. DARK BRONZE ANODIZED WINDOW FRAME W/ CLEAR GLASS WINDOW SYSTEM
4. INTERNALLY ILLUMINATED SIGN (UNDER SEPARATE PERMIT)
5. DARK BRONZE ANODIZED DOOR WITH CLEAR GLASS STOREFRONT SYSTEM
6. SERVICE DOOR, PAINT TO MATCH SURROUNDING WALL
7. PRE-FINISHED METAL COPING
8. BRICK FACADE
9. WALL MOUNTED LIGHT FIXTURE, COLOR: BLACK. SEE ELECTRICAL PLANS
10. SES PANEL LOCATION. SEE ELECTRICAL PLANS
11. NOT USED
12. 1-1/2" STAINLESS STEEL CORNER KEY EDGE, TYP. TO ALL CORNERS
13. DOWNSPOUT, SEE PLUMBING PLANS
14. ADDRESSING LOCATION: 8" TALL BLACK NUMBERS. FINAL AREA LOCATION TO BE DETERMINED BY FIRE DEPARTMENT
15. 1-3/8" THK. x 6" NICHHA KURASTONE HIGH FIBER CEMENT WAINSCOT
16. WATERTABLE CAP
17. NOT USED
18. PARAPET WALL BEYOND
19. (KNOX) KEY-BOX AT 6'-0" AFF (IF REQUIRED BY FIRE DEPARTMENT)
20. FIRE DEPARTMENT CONNECTION (IF REQUIRED)
21. ALUMINUM AWNING WITH SUPPORT RODS ABOVE THE SIDE ENTRY DOOR BY CIRCLE K VENDOR PROVIDE BLOCKING IN EXTERIOR WALL FOR AWNING AND SUPPORTS
22. EMERGENCY FUEL SHUT-OFF SWITCH, REFER TO SHEET F1.0 - FUEL PIPING FLOOR PLAN
23. INSULATED METAL DOOR
24. BASE FLASHING
25. CO2 TANK WITH METAL LOUVERED CONTAINER
26. EXTERIOR FINISH TO EXTEND ABOVE SIDEWALK/GRADE, SEE DETAILS 8/A8.1 & 11/A8.1
27. LEADER BOX. SEE PLUMBING PLANS
28. EMERGENCY OVERFLOW SCUPPER. SEE PLUMBING PLANS
29. METAL ROOF ACCESS LADDER WITH SECURITY DOOR

FINISH SCHEDULE #

- A - BRICK
- COLOR TO BE SELECTED
- B - NOT USED
- C - 1" INSULATED, DOUBLE PANED CLEAR GLASS
- D - *SHERWIN WILLIAMS #SW 4081
- **SAFETY RED
- E - *SHERWIN WILLIAMS #SW 7005
- CIRCLE K WHITE
- F - STONE WATERTABLE
- COLOR TO BE SELECTED
- G - STONE
- COLOR TO BE SELECTED
- H - *SHERWIN WILLIAMS #SW 6090
- FIRESTONE MANSARD BROWN SR (USE FOR PRE-FINISHED METAL COPING)
- I - CIRCLE K ORANGE #PMS 144

* USE SHERWIN WILLIAMS MANUFACTURER ONLY
** COLOR TO BE PRE-ORDERED TO ENSURE AVAILABILITY AT TIME OF CONSTRUCTION
*** CONFIRM WITH OWNER'S REP

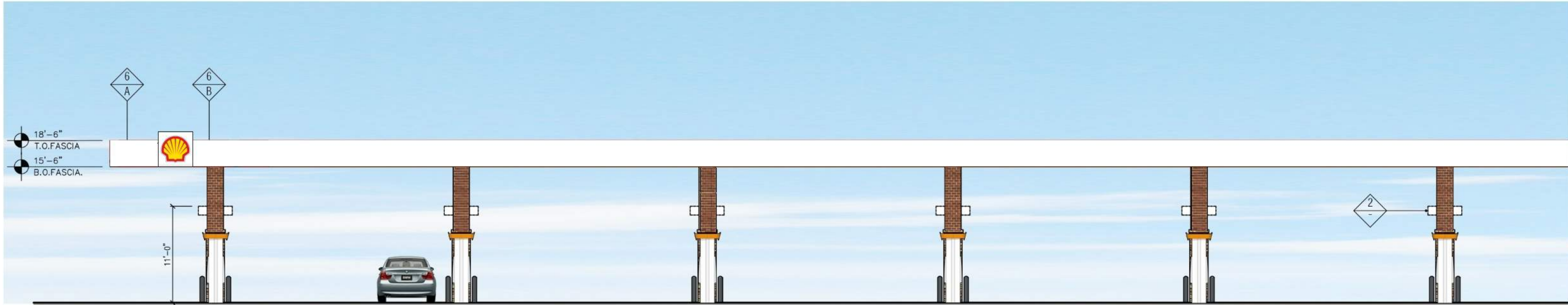
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By Mike Schwarz at 10:59 am, Aug 01, 2023

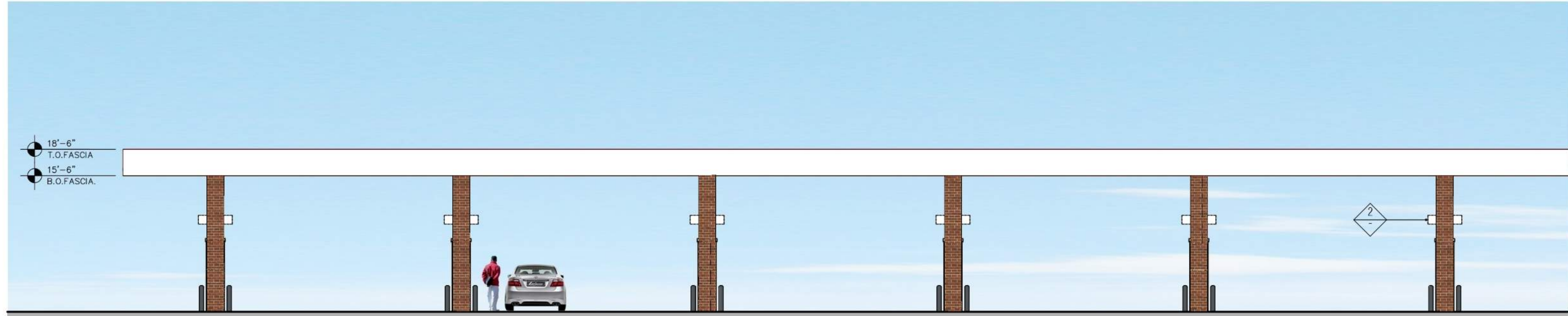


3 "SIDE" ELEVATION (EAST)
SCALE: 1/8" = 1'-0"

4 "SIDE" ELEVATION (WEST)
SCALE: 1/8" = 1'-0"



2 "FRONT" ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"



1 "REAR" ELEVATION (NORTH)
SCALE: 1/8" = 1'-0"

rdc.

11921 Freedom Drive #1110
Reston, Va 20190
t 703.668.0086
rdcollaborative.com

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PROFESSIONAL SEAL

REVISIONS	
ISSUE	DATE
R3.1	05/18/22

PROFESSIONAL IN CHARGE
XX
PROJECT MANAGER
XX
QUALITY CONTROL
XX
DRAWN BY
XX

PROJECT NAME

CIRCLE K STORES, INC.

1234 STREET ADDRESS
ANYTOWN, US STATE

PROTOCOL # R3.1 05/18/22



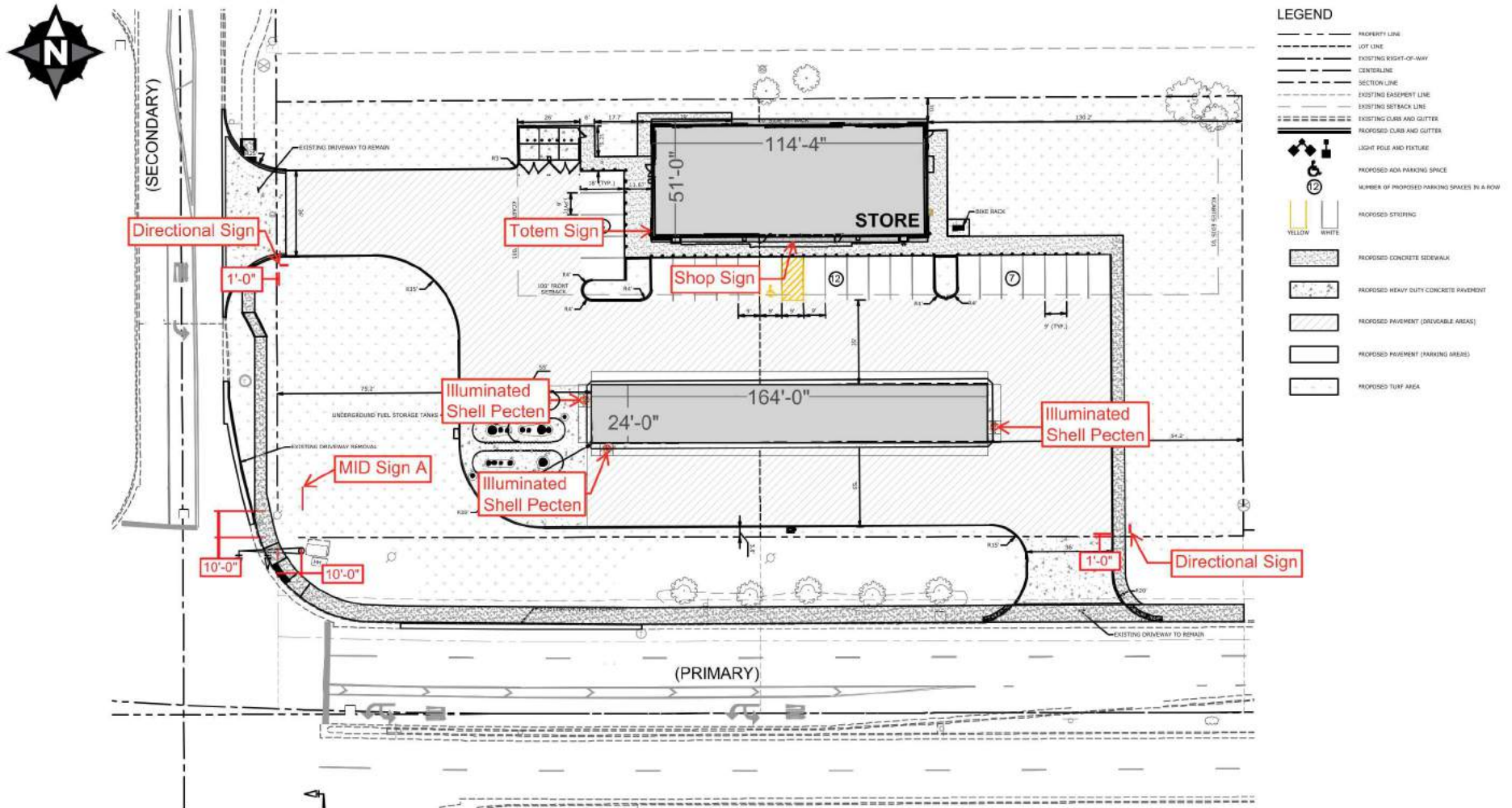
CIRCLE K STORE INC.
PROJECT NUMBER: XXXX

FUEL CANOPY ELEVATIONS (VS07)

A2-2

RECEIVED
By Mike Schwarz at 9:06 am, Aug 04, 2023

7654 W LINCOLN HWY



**CORPORATE
IDENTIFICATION
SOLUTIONS**

CUSTOMER
CIRCLE K

SITE NUMBER
6718

LOCATION
FRANKFORT, IL

ACCOUNT REP
BEN DEHAYES

DRAWN BY
MH

DATE
07/31/23

REVISION
09

SCALE
NTS

CORPORATE ID SOLUTIONS
5563 N ELSTON AVE.
CHICAGO, IL 60630
P: 773-763-9600 | F: 773-763-9606
CORPORATEIDSOLUTIONS.COM

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DATE

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By Mike Schwarz at 9:57 am, Aug 04, 2023

PROPOSED



LEVEL A
NEW CONSTRUCTION

	HEIGHT	FRONT	SIDES
BUILDING INFO	23'-0"	114'-4"	51'-0"

	SIGN DESCRIPTION	QTY	SIZE	AREA
A	Illuminated Circle K Channel Letters	1	5'-0" x 12'-8 3/8"	60 SF
B	Illuminated Circle K Totem Channel	1	5'-0" x 4'-2"	20.8 SF



SCALE: 1:40



CORPORATE
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CUSTOMER	CIRCLE K
SITE NUMBER	6718

LOCATION	FRANKFORT, IL
ACCOUNT REP	BEN DEHAYES

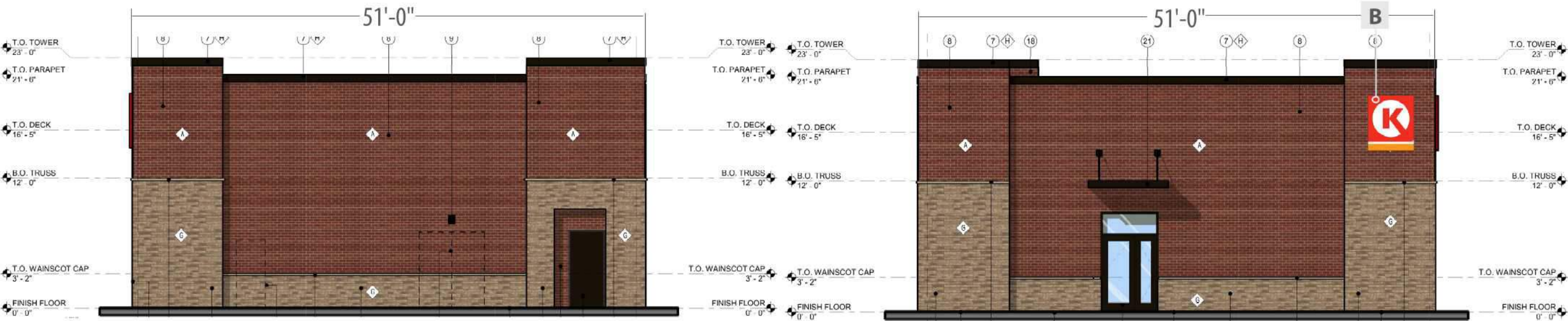
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DATE	07/31/23

REVISION	09
SCALE	NTS

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SIGNATURE	DATE

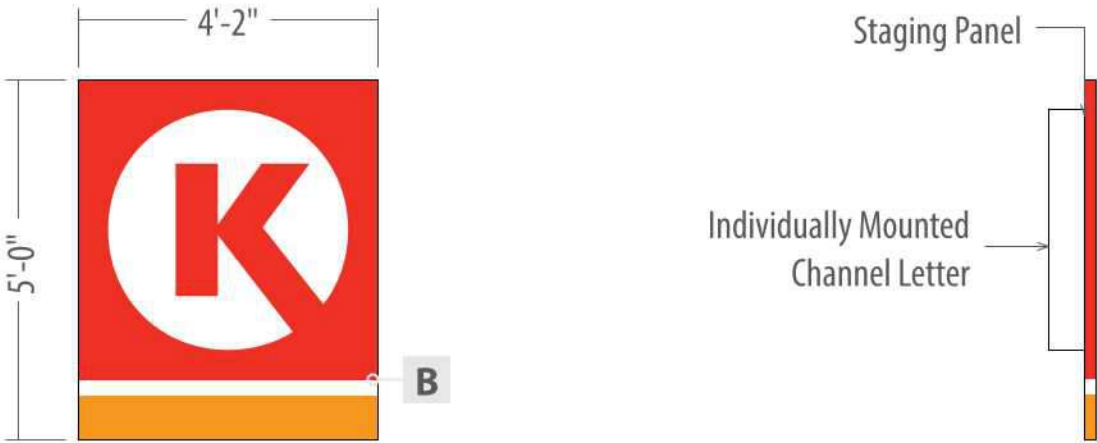
PROPOSED



LEVEL A
NEW CONSTRUCTION

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BUILDING INFO	23'-0"	114'-4"	51'-0"

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SCALE: 3/8"=1'-0"



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SOLUTIONS

CUSTOMER
CIRCLE K

SITE NUMBER
6718

LOCATION
FRANKFORT, IL

ACCOUNT REP
BEN DEHAYES

DRAWN BY
MH

DATE
07/31/23

REVISION
09

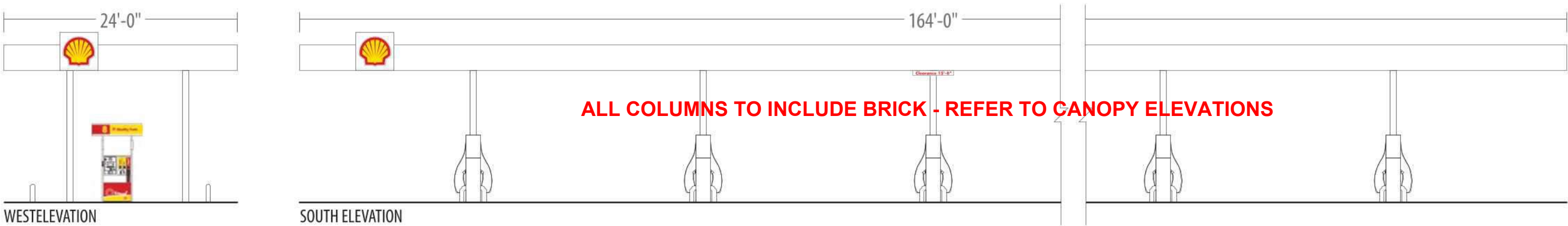
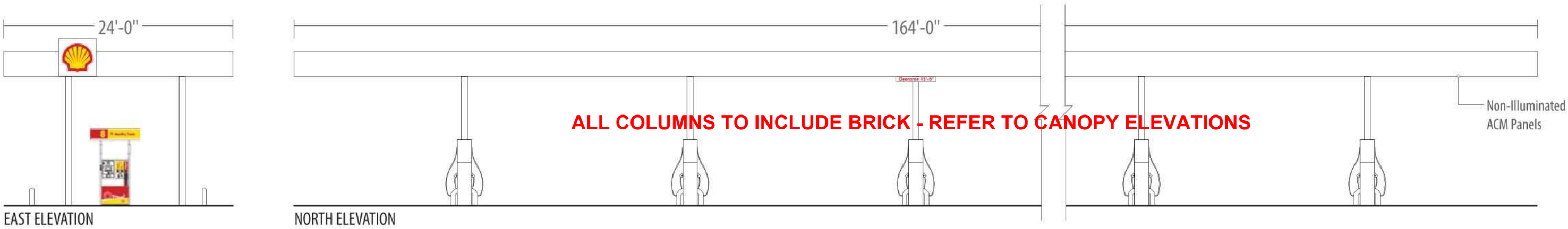
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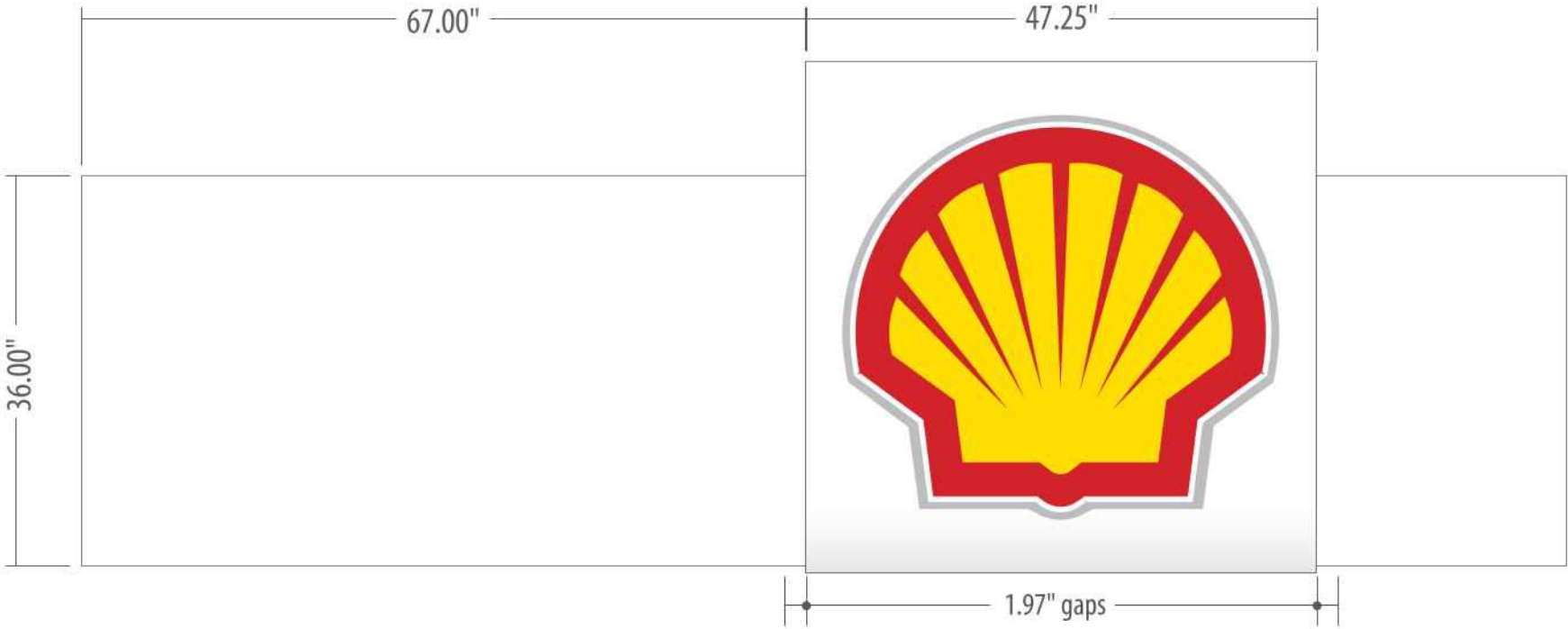
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SIGNATURE _____ DATE _____



ARTWORK REFLECTS CURRENT SURVEY

SOUTH ELEVATION			
Gas Island Canopy Fascia	36" x 164'-0"	492.0 SF	3.1% of available space
Shell Illuminated Pecten	47.25" x 47.25"	15.5 SF	
EAST ELEVATION			
Gas Island Canopy Fascia	36" x 24'-0"	72.0 SF	21.5% of available space
Shell Illuminated Pecten	47.25" x 47.25"	15.5 SF	
WEST ELEVATION			
Gas Island Canopy Fascia	36" x 24'-0"	72.0 SF	21.5% of available space
Shell Illuminated Pecten	47.25" x 47.25"	15.5 SF	
NORTH ELEVATION			
Non-Illuminated ACM			



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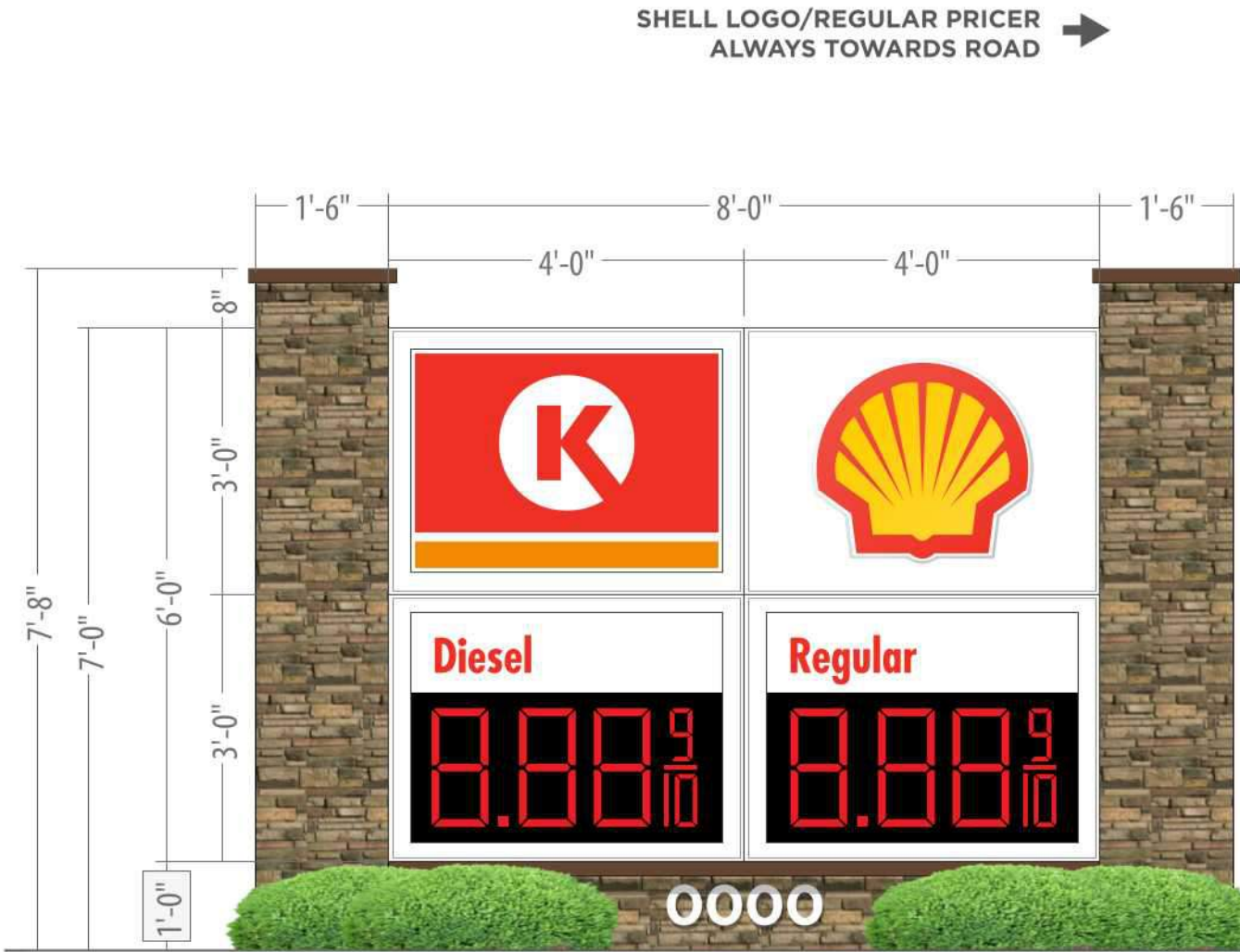
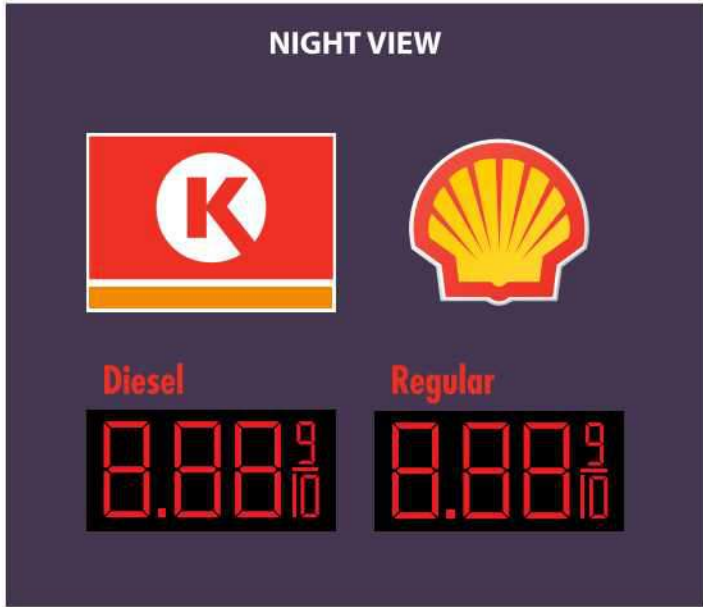
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SIGNATURE _____ DATE _____



MID SIGN A
48.0 SF

16" GREEN LED DIGITS
WINDOW AREA: 18" X 40" = 5.0 SF

4" TOGGLES
WINDOW AREA: 5" X 32.5" = 1.1 SF

16" RED LED DIGITS
WINDOW AREA: 18" X 40" = 5.0 SF

TOTAL LED AREA = 11.1 SF

6" TALL ADDRESS
NUMERALS

MONUMENT BASE TO BE CONSTRUCTED FROM
MATERIALS THAT ARE COMPLIMENTARY TO THE BUILDING



CORPORATE
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SOLUTIONS

CUSTOMER
CIRCLE K

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ACCOUNT REP
BEN DEHAYES

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DATE
07/31/23

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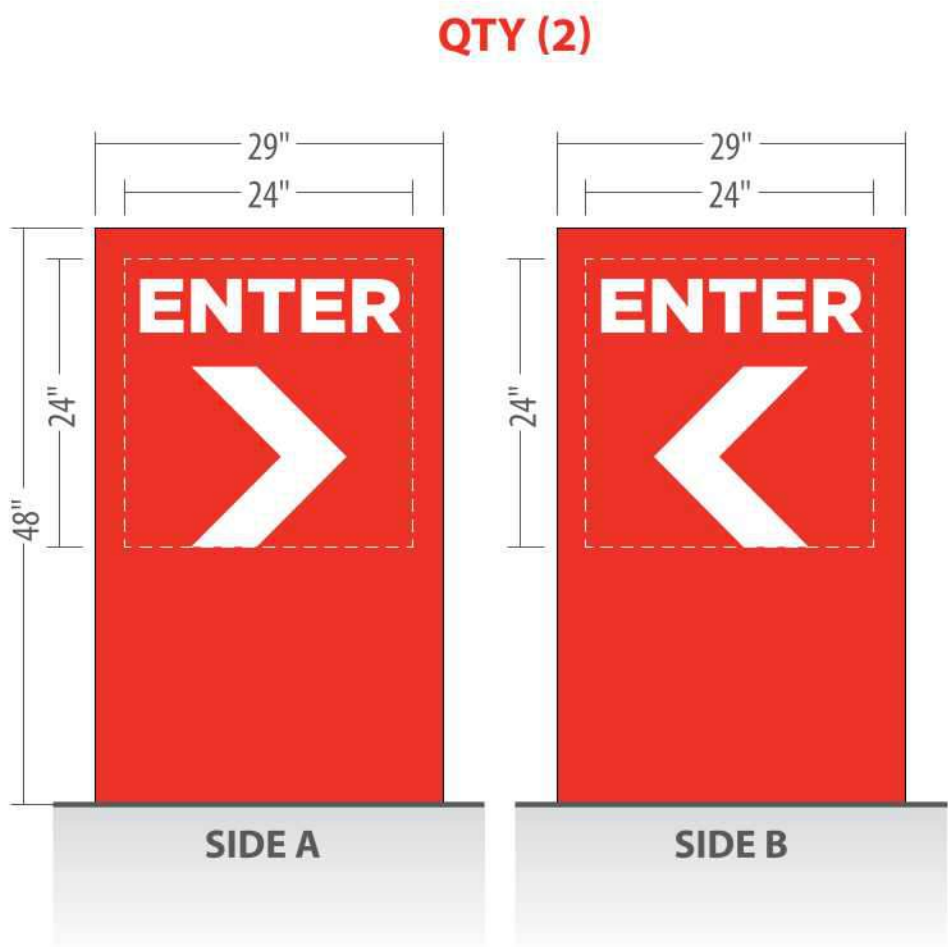
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SIGNATURE _____ DATE _____



DIRECTIONAL A
NON-ILLUMINATED
4.0 SF



CORPORATE
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SOLUTIONS

CUSTOMER	CIRCLE K
SITE NUMBER	6718

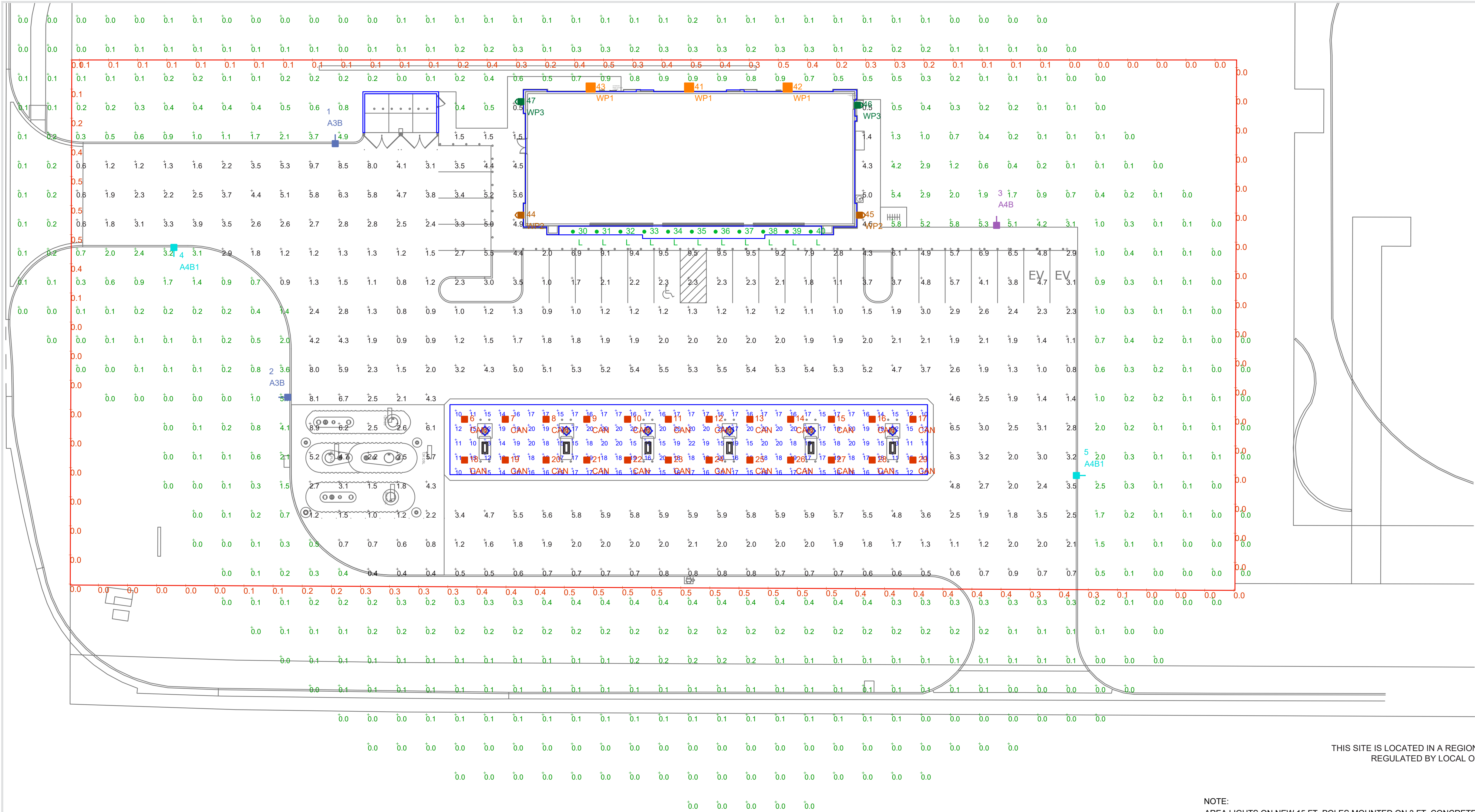
LOCATION	FRANKFORT, IL
ACCOUNT REP	BEN DEHAYES

DRAWN BY	MH
DATE	07/31/23

REVISION	09
SCALE	NTS

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SIGNATURE _____
DATE _____











THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES

NOTE:
AREA LIGHTS ON NEW 15 FT. POLES MOUNTED ON 3 FT. CONCRETE BASES



ILLUMINATION LEVELS ARE THE RESULT OF CONDITIONS OR REQUESTS BY OTHERS
RED LEONARD ASSOCIATES IS NOT RESPONSIBLE
FOR INCIDENTS CAUSED BY INSUFFICIENT LIGHTING
AND DOES NOT RECOMMEND THESE LEVELS FOR
SECURITY AND SAFETY REASONS

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	3.00	9.7	0.4	7.50	24.25
PROPERTY LINE	0.19	0.5	0.0	N.A.	N.A.
UNDEFINED	0.38	5.8	0.0	N.A.	N.A.
UNDER CANOPY	16.47	22	10	1.65	2.20



LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A3B	18
2	A3B	18
3	A4B	18
4	A4B1	18
5	A4B1	18
6	CAN	17.5
7	CAN	17.5
8	CAN	17.5
9	CAN	17.5
10	CAN	17.5
11	CAN	17.5
12	CAN	17.5
13	CAN	17.5
14	CAN	17.5
15	CAN	17.5
16	CAN	17.5
17	CAN	17.5
18	CAN	17.5
19	CAN	17.5
20	CAN	17.5
21	CAN	17.5
22	CAN	17.5
23	CAN	17.5
24	CAN	17.5
25	CAN	17.5
26	CAN	17.5
27	CAN	17.5
28	CAN	17.5
29	CAN	17.5
30	L	12
31	L	12
32	L	12
33	L	12
34	L	12
35	L	12
36	L	12
37	L	12
38	L	12
39	L	12
40	L	12
41	WP1	14.5
42	WP1	14.5
43	WP1	14.5
44	WP2	14.5
45	WP2	14.5
46	WP3	14.5
47	WP3	14.5

LUMINAIRE SCHEDULE											
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LATF	DIMMING LUMEN MULTIPLIER	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	CATALOG LOGIC
	2	A3B	Single	12699	1.030	1.000	1.030	B2-U0-G2	104	208	Cree Inc OSQ-ML-B-XX-XX + OSQM-B-16L-57K7-3M-UL-NM-XX + OSQ-BLSMF
	1	A4B	Single	12349	1.030	1.000	1.030	B2-U0-G2	104	104	Cree Inc OSQ-ML-B-XX-XX + OSQM-B-16L-57K7-4M-UL-NM-XX + OSQ-BLSMF
	2	A4B1	Single	6799	1.030	1.000	1.030	B1-U0-G2	54	108	Cree Inc OSQ-ML-B-XX-XX + OSQM-B-16L-57K7-4M-UL-NM-XX-Q1 + OSQ-BLSMF
	24	CAN	Single	10847	1.030	0.510	0.525	B3-U0-G1	44.55	1069.2	BETALED, A DIVISION OF RUUD LIGHTING CAN-228-SL-RM-06-E-UL-XX-525-57K (SET DIAL @ 2)
	11	L	SINGLE	1800	1.030	1.000	1.030	B1-U0-G0	20.5	225.5	Cree Lighting LR6X-18L-40K-120V
	3	WP1	Single	1884	1.030	1.000	1.030	B0-U0-G1	25	75	CREE, INC. SEC-EDG-2MB-WM-02-E-UL-XX-350-40K-DIM (OPTICS ROTATED 180 DEGREES)(BXSE9293&)
	2	WP2	SINGLE	8877	1.030	1.000	1.030	B2-U0-G2	100	200	CREE, INC. SEC-EDG-4M-WM-06-E-UL-XX-525-40K
	2	WP3	SINGLE	2993	1.030	0.150	0.155	B1-U0-G1	5.55	11.1	CREE, INC. SEC-EDG-4M-WM-02-E-UL-XX-525-40K-DIM (SET @ 1.4V)



AREA





CANOPY

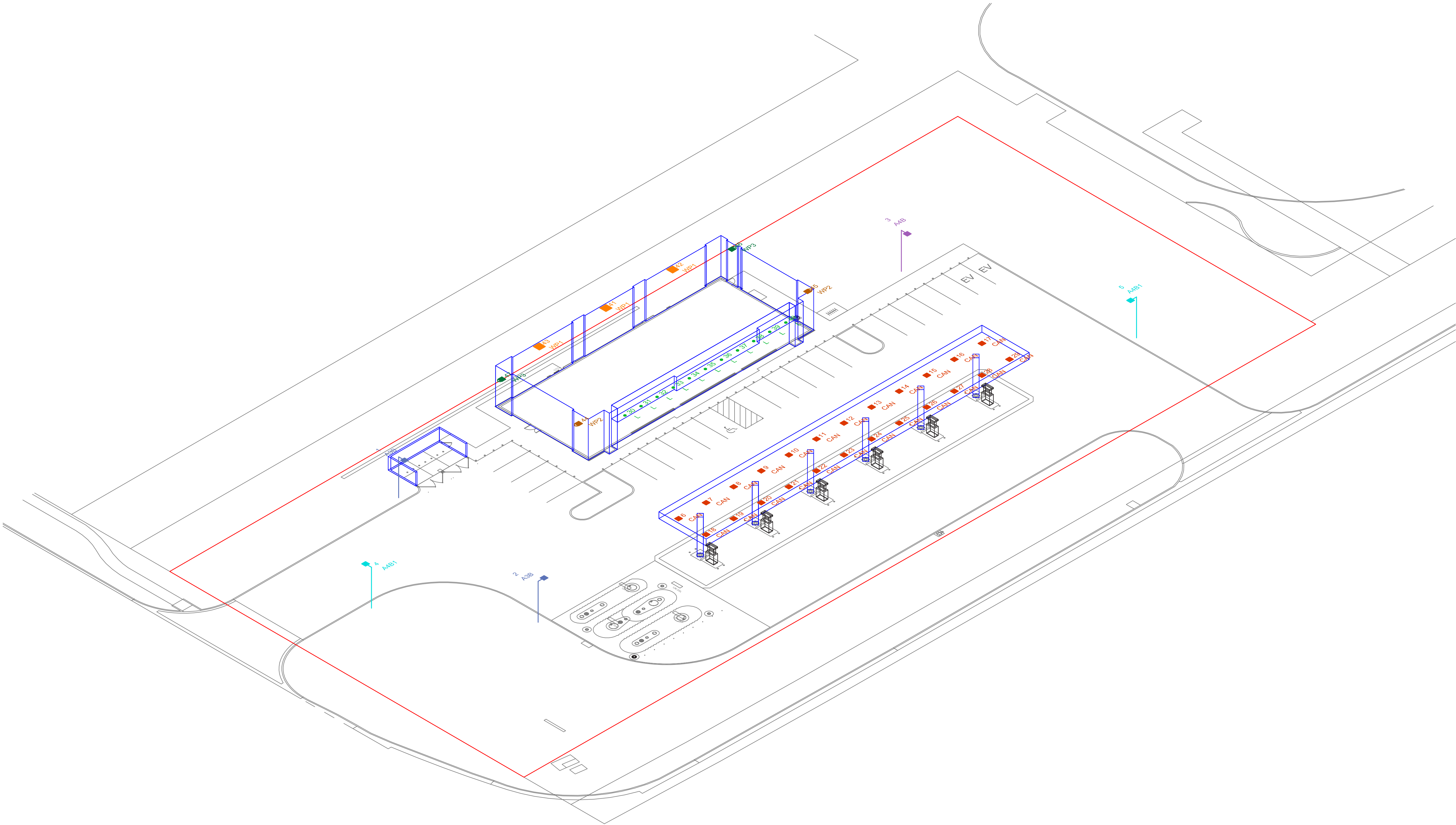


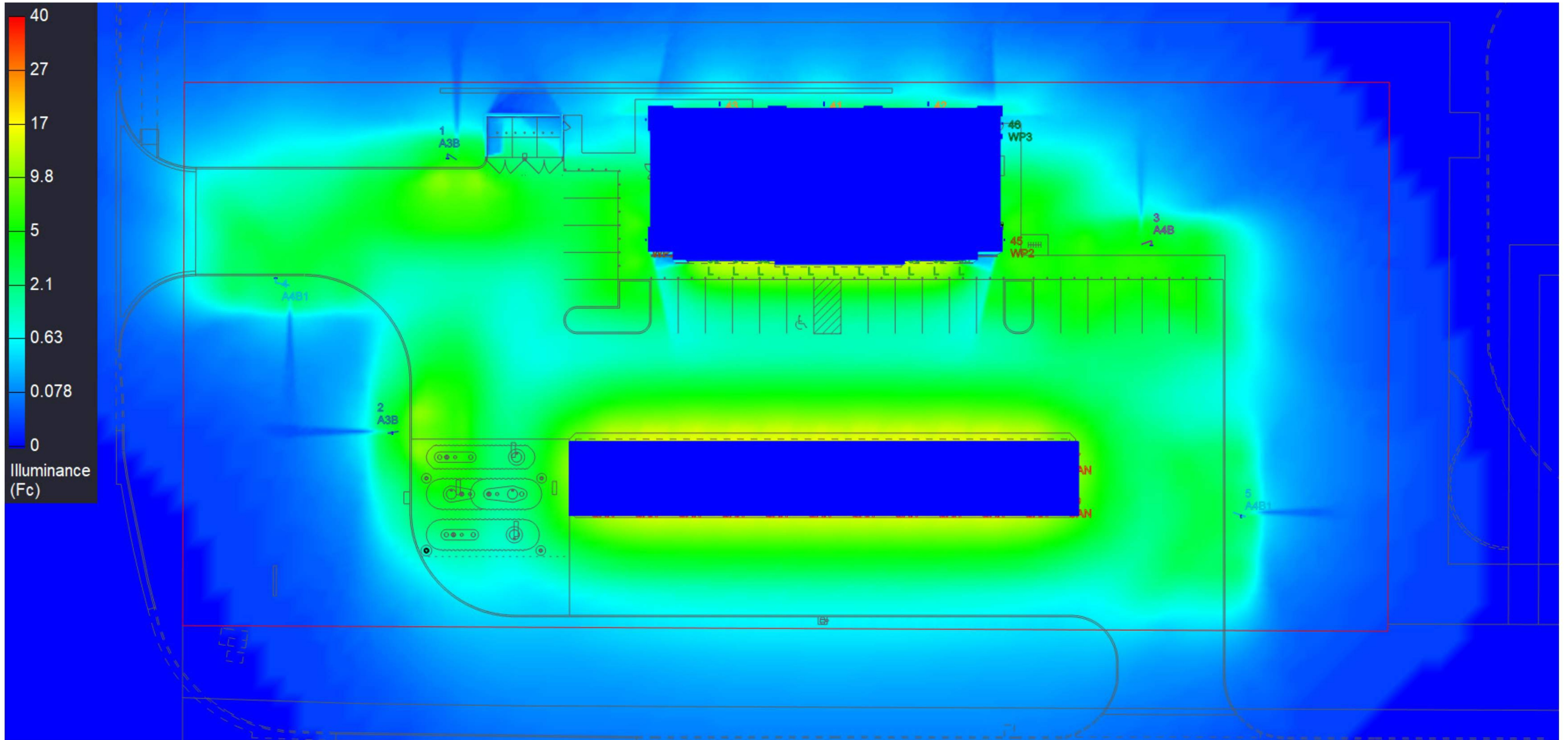
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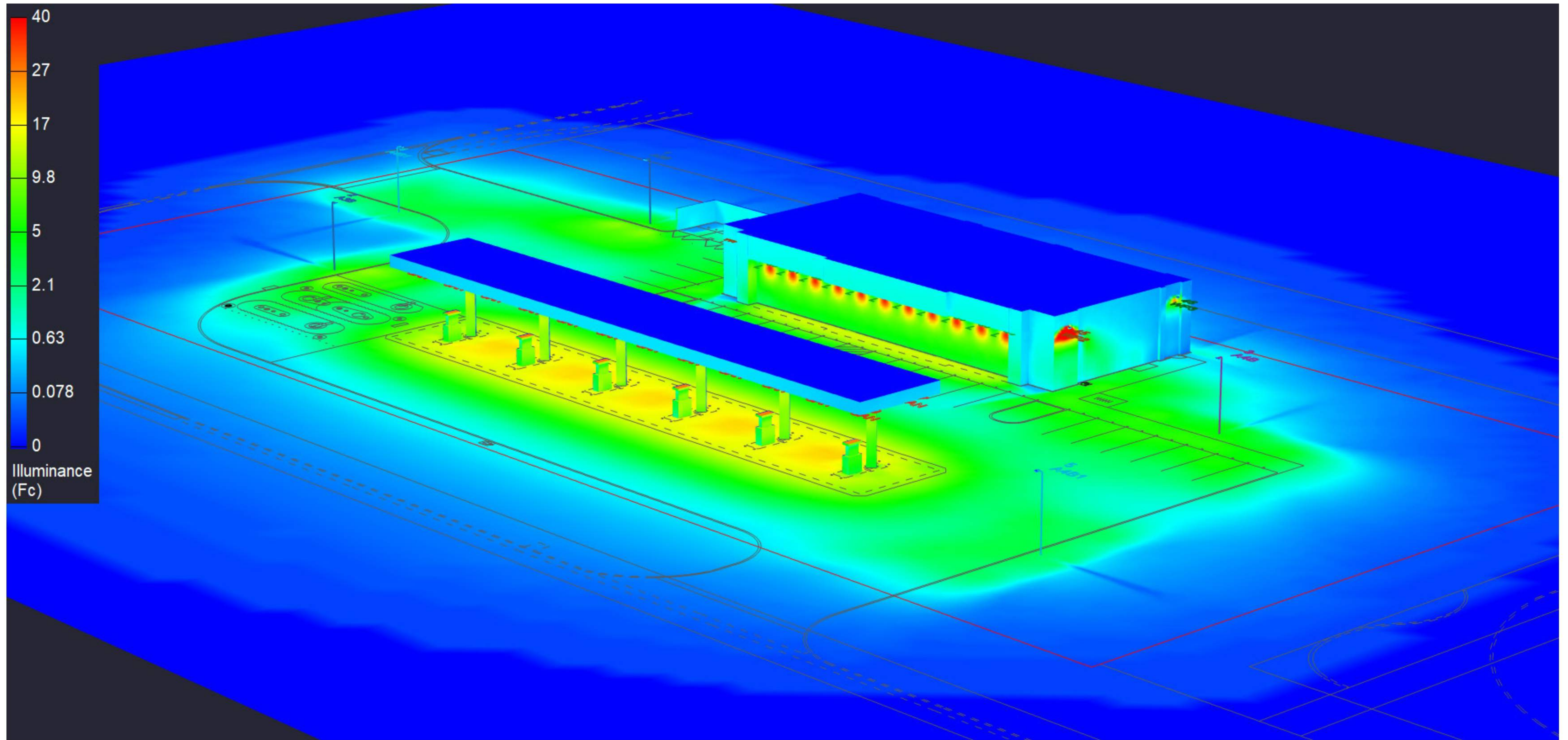
WALL MOUNTED

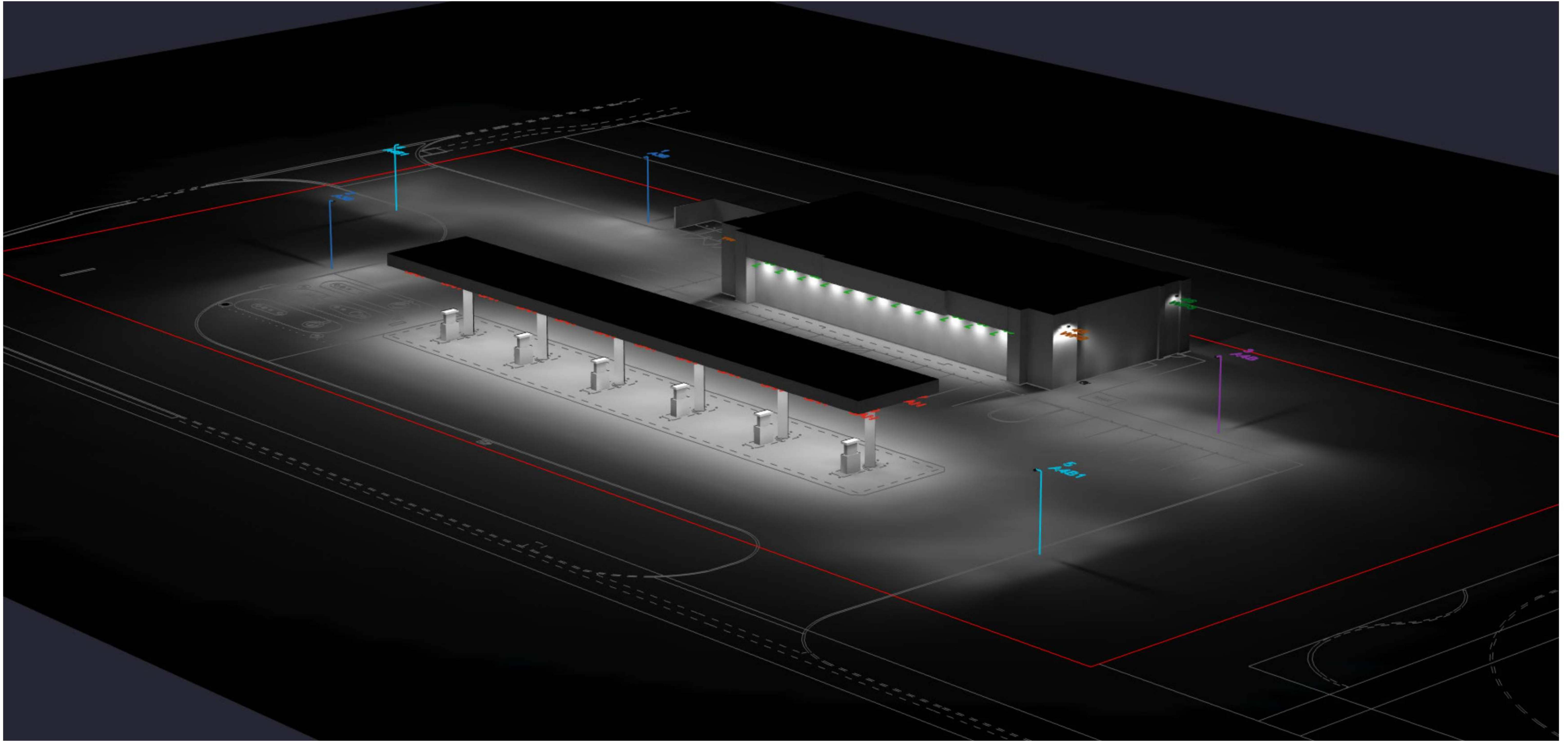












CIRCLE K FRANKFORT

7654 W LINCOLN HWY
FRANKFORT, IL 50423

GENERAL NOTES

- The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. Neither the engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the engineer inspects and controls the physical construction on a contemporary basis at the site.
- The contractor, by agreeing to perform the work, agrees to indemnify and hold harmless the owner, the engineer, the city, and all agents and assigns of those parties, from all suits and claims arising out of the performance of said work, and further agrees to defend or otherwise pay all legal fees arising out of the defense of said parties.
- In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractors safety measures, in, or near the construction site. The contractor is responsible for maintaining adequate signs, barricades, fencing, traffic control devices and measures, and all other measures that are necessary to protect the safety of the site at all times.
- Maintain access for vehicular and pedestrian traffic as required for other construction activities. Use traffic control devices to include temporary striping, flagmen, barricades, warning signs, and warning lights shall be in accordance with current MUTCD and IDOT standards.
- All phases of the site work for this project shall meet or exceed industry standards and requirements set forth by the the owner's "Description of Work", Will County, the State of Illinois, and this plan set.
- The Will County, IL must be notified at least two (2) working days prior to the commencement or resumption of any work.
- The contractor shall coordinate all permit and inspection requirements with responsible local, state, and federal agencies. The contractor shall include the costs of this coordination and all inspection fees in the bid price.
- All work performed by the contractor shall come with a warranty against defects in workmanship and materials. This warranty period shall run concurrent with the required warranty periods the owner must provide to each local government agency, as a condition of the permit.
- The contractor will be held solely responsible for and shall take precautions necessary to avoid property damage to adjacent properties during the construction of this project.
- All structures, inlets, pipes, swales, roads and public egresses must be kept clean and free of dirt and debris at all times.
- Any field tiles encountered during construction shall be recorded showing size, location, and depth by the contractor, and either reconnected and rerouted or connected to the storm sewer system. The owner shall be notified immediately upon encountering any tile.
- The contractor shall field verify the elevations of the benchmarks prior to commencing work. The contractor shall also field verify the location and elevation of existing pipe inverts, curb or pavement where matching into existing work. The contractor shall field verify horizontal control by referencing property corners to known property lines. Notify the engineer of discrepancies in either vertical or horizontal control prior to proceeding.
- All elevations are on NAVD 88 datum.
- Parking areas designated as A.D.A. and all sidewalk shall be compliant with state and local A.D.A. requirements.
- Tactile warning plates per IDOT specifications shall be placed at all locations where sidewalk that is to be replaced intersects public roads and at locations indicated in this plan set.
- The contractor shall verify the location of all utilities in the field prior to construction. This includes sanitary sewer, water main, storm sewer, ComEd, Nicor Gas, and telecommunications providers, if any. The J.U.L.I.E. number is 1-800-892-0123.
- Property corners shall be carefully protected until they have been referenced by a Professional Land Surveyor.
- The contractor shall keep careful measurements and records of all construction and shall furnish the Engineer, the Owner and the City with record drawings in a digital format compatible with AutoCAD Release 14 upon completion of his work.
- Any excess dirt or materials shall be placed by the contractor onsite at the owner's direction or as indicated on the plans.
- Notify the owner and Will County of any existing wells. Obtain permit form the Illinois Bureau of Minerals and the State Water Survey. Cap and abandon wells in accordance with local, state, and federal regulations.
- Finish grade shall in all areas not specifically reserved for storm water management shall drain freely. No ponding shall occur. Tolerances to be observed will be measured to the nearest 0.04 of a foot for paved surfaces and 0.10 of a foot for unpaved areas.

Surface Water Drainage Certificate
(State of Illinois)
(County of Will) ss

To the best of our knowledge and belief, the drainage of surface waters will not be changed by the construction of the lot improvements of any part thereof, or, that if such surface water drainage will be changed, adequate provisions have been made for collection and diversion of such surface waters into public areas, or drains which the owner has a right use, and that such surface waters will not be deposited on the property of adjoining land owners in such concentrations as may cause damage to the adjoining property because of the construction of these lot improvements.

Dated this ____ day of _____, A.D., 20 ____

Engineer's Signature

Engineer's Seal

VICINITY MAP



DIAL 811 OR (800)
892-0123

OWNER:

RDK VENTURES LLC

500 WARRENVILLE ROAD
LISLE, IL 60532
(815) 762-4861

ENGINEER:



Sheet List Table

Sheet Number	Sheet Title
C00	COVER
C01	GENERAL NOTES
C02	REMOVALS PLAN
C03	SWPPP PLAN
C04	SWPPP (2)
C05	LAYOUT PLAN
C06	GRADING PLAN
C06.1	GRADING DETAILS
C06.2	US ROUTE 30 CROSS-SECTIONS
C07	DRAINAGE PLAN
C08	UTILITY PLAN
C08.1	UTILITY PLAN AND PROFILES
C09	DETAILS
C10	DETAILS
C11	ADS DETAILS
C12	ADS DETAILS
C13	VILLAGE DETAILS
C14	VILLAGE DETAILS
C15	IUM DETAILS
C16	IUM DETAILS
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C18	IDOT DETAILS
C19	IDOT DETAILS
L01	LANDSCAPE PLAN

APPROVAL

WILL COUNTY, IL
IEPA
ILLINOIS DEPARTMENT OF TRANSPORTATION

DATE

PENDING
PENDING
PENDING

UTILITY OFFICIALS

WILL COUNTY LAND USE DEPT.:
LISA NAPLES
DEVELOPMENT ANALYST 1
58 E CLINTON STREET, SUITE 100
JOLIET, IL 60432
(815) 774-3321
PLANNING@WILLCOUNTYILLINOIS.COM

WATER & SEWER:
VILLAGE OF FRANKFORT
432 W NEBRASKA STREET
FRANKFORT, IL 60423
(815) 469-2177

ELECTRIC:
COMED
(877) 426-6331

GAS:
NICOR GAS
(877) 642-6748

TELECOMMUNICATIONS:

ATT
(800) 288-2020

COMCAST
(800) 934-6489

RECEIVED

By Mike Schwarz at 11:50 am, Aug 04, 2023



PROJECT NAME
OWNER'S NAME

CIRCLE K
FRANKFORT

7654 W LINCOLN HWY
FRANKFORT, IL 50423
WILL CO.

RDK VENTURES LLC
500 WARRENVILLE ROAD
LISLE, IL 60532
(815) 762-4861

CONSULTANTS

ISSUED FOR

DATE	
08-13-2021	1. COORDINATION
09-15-2021	2. COORDINATION
10-08-2021	3. AGENCY REVIEW
08-01-2022	4. AGENCY REVIEW
12-05-2022	5. AGENCY REVIEW
03-02-2023	6. AGENCY REVIEW
08-04-2023	7. AGENCY REVIEW
---	8. ---
---	9. ---
---	10. ---
---	11. ---
---	12. ---

DATE	ITEM
---	1. ---
---	2. ---
---	3. ---
---	4. ---
---	5. ---
---	6. ---

SHEET TITLE

COVER

DRAWN	TWL
CHECKED	LND
PM	RCS

PROJECT NUMBER
SHEET NUMBER

20033

C00

GENERAL PAVING NOTES

- All pavement shall be constructed in accordance with the following:
 - Concrete pavement shall be constructed in accordance with the Illinois Department of Transportation (IDOT) "Standard Specifications for Road and Bridge Construction" (Standard Specifications), latest edition, including all updates and standards thereto.
 - Standards and requirements of Will County.
 - Additional details and requirements provided in the contract documents, including this plan set.
- All proposed pavement areas shall be stripped of all topsoil and unsuitable material and excavated or filled to within 0.10 feet of design subgrade.
- The subgrade of pavement areas shall be free of all unsuitable material and shall be compacted to a minimum 95 per cent of Standard proctor density.
- The subgrade shall be proof rolled, inspected and approved by the Will County prior to placing the base material. Notify the engineer at least 48 hours prior to finished subgrade preparation.
- The earthwork contractor shall be responsible for removal of spoil material from the underground contractors, preparing the roadway subgrade, proof rolling, placing topsoil to a minimum depth of 4 inches to finished grade in the parkways areas only, grading of drainage swales, and all other tasks as directed by the owner or engineer.
- The quantities contained in these documents are approximate and estimated, and are presented as a guide to the contractor in determining the scope of work. It is the Contractor's responsibility to determine all quantities and to become familiar with the site and soil conditions.
- The paving Contractor is responsible for the final subgrade preparation, proof rolling, the pavement base, binder, and surface, and all final clean-up and related work associated with the paving operation.
- The proposed pavement shall be of the type and thickness as specified in the engineering drawings, and constructed in strict conformance with the previously referenced IDOT standard specifications and Will County.
- Areas of deficient paving, including compaction, smoothness, thickness, and asphalt mixture, shall be delineated, removed, and replaced in compliance with Specifications requirements unless corrected otherwise as directed and approved by the owner.
- Field quality control tests specified herein will be conducted by the owner's Independent Testing Laboratory (ITL) at no cost to the contractor. Any testing and inspection resulting from the requirements of necessary permits by Will County or the State of Illinois shall be at the contractor's expense. The contractor shall perform additional testing as considered necessary by the contractor for assurance of quality control. Retesting required as a result of failed initial tests shall be at the contractor's expense.
 - Field testing, frequency, and methods may vary as determined by and between the owner, the ITL and Will County.
 - Testing shall be performed on finished surface of each asphalt concrete course for smoothness, using 10'-0" straightedge applied parallel with, and at right angles to centerline of paved area. The following tolerances in 10 ft shall not be exceeded: Base Course Surface: 1/4-inch, Wearing Course Surface: 1/8-inch.
 - No ponding shall occur on paved surfaces.

WATER UTILITY NOTES

- Water mains and services shall be constructed in accordance with the following:
 - "Standard Specifications for Water and Sewer Main Construction in Illinois" (Standard Specifications), Seventh Edition dated 2014 (and all revisions and supplements thereto).
 - All applicable state and local plumbing codes.
 - Additional details and requirements provided in the contract documents, including this plan set.
 - Village of Frankfort watermain codes.
- Where criteria of the aforementioned specifications conflict, the more stringent criteria shall be implemented.
- Contact all public and private utility companies 48 hours prior to any excavation. Cost of replacement or repair of existing utilities damaged as a result of the contractor's operation shall be the contractor's responsibility.
- Water service lines shall be Type K soft temper seamless copper water tubing complying with ASTM B88.
- Service saddles for connecting to PVC pipes shall be full sleeve stainless steel saddles (McDonald Series No. 3805, Mueller Series No. H16000 or equal).
- Curb stops shall be Mueller No. H15204, Mark II Oriseal or equal.
- Service boxes shall be extension type with stationary rods, Mueller series H10300 or equal.
- The minimum cover for all water main and water service pipe is 5'. The maximum cover for all water main and service pipe is 7'.
- All water lines under and within two feet of any existing or proposed street pavement or curb shall be backfilled with IDOT approved granular backfill material.
- Trench backfill shall be placed in lifts not to exceed 12" compacted to 95% of maximum Standard proctor density.
- Water main separation from storm and sanitary sewer shall conform to section 41-2.01 of the Standard Specifications.
- No object may be constructed, maintained or installed within 48 inches of a fire hydrant. No trees, bushes, walls, or other obstacles which may hide or impede the use of a fire hydrant will not be permitted.
- Connections to Existing Mains. All connections to the County water distribution system shall be made under full water service pressure unless otherwise approved by the County Engineer at locations approved by the County Engineer.
- Pressure Test.
 - As part of the construction, the water mains shall be pressure tested in accordance with Section 41-2.12 of the Standard Specifications.
 - All newly laid pipe shall be subjected to a hydrostatic pressure of 150 pounds per square inch. Duration of each pressure test shall be for a period of not less than two hours. Each valved section of pipe shall be filled with water and the specified test pressure shall be applied by means of a pump connected to the pipe.
 - Before applying the specified test pressure, all air shall be expelled from the pipe. All leaks shall be repaired until tight. Any cracked or defective pipes, fittings, valves, or hydrants discovered in consequence of this pressure test shall be removed and replaced and the test repeated until satisfactory results are obtained.
- All testing shall be done after the installation of service lines. Suitable means shall be provided for determining the quantity of water lost by leakage under the specified test pressure in accordance with Section 41-2.14C of the Standard Specifications.
- Disinfection.
 - Water from the existing distribution system or other source of supply shall be controlled so as to flow slowly into the newly laid pipeline during the application of chlorine gas. The rate of chlorine mixture flow shall be in such proportion to the rate of water entering the pipe that the chlorine dose applied to the water entering the newly laid pipe shall be at least forty to fifty ppm, or enough to meet the requirements during the retention period. This may require as much as one hundred ppm of chlorine in the water left in the line after chlorination.
 - Valves shall be manipulated so that the strong chlorine solution in the line being treated will not flow back into the line supplying the water.
 - Treated water shall be retained in the pipe long enough to destroy all spore-forming bacteria. This retention period shall be at least twenty-four hours. After the chlorine-treated water has been retained for the required time, the chlorine residual at the pipe extremities and at other representative points should be at least ten ppm.
 - In the process of chlorinating newly laid pipe, all valves or other appurtenances shall be operated while the pipeline is filled with the chlorinating agent.
 - All water mains and services shall be disinfected and tested according to the requirements of the Standards for Disinfecting Water Mains, AWWA C601. All disinfection shall be performed by an independent firm exhibiting experience in the methods and techniques of this operation, and shall be approved by the County.
- Final Flushing and Testing.
 - Following chlorination, all treated water shall be thoroughly flushed from the newly laid pipeline at its extremities until the replacement water, throughout its length shall, upon test, be approved as safe water by the County Engineer. This quality of water delivered by the new main should continue for a period of at least two full days as demonstrated by laboratory examination of samples taken from a tap located and installed in such a way as to prevent outside contamination. Samples should never be taken from an unsterilized hose or from a fire hydrant, because such samples seldom meet current bacteriological standards.
 - After disinfecting and flushing, water samples shall be collected by the contractor on two successive days, with notice given, so that the collection may be witnessed by the County. Bacteriological sampling and analysis of the samples shall be performed by a laboratory approved by the Illinois Department of Public Health and the County. Should the initial treatment result in an unsatisfactory bacterial test, the procedure shall be repeated until satisfactory results are obtained. The contractor or developer shall pay for the sampling and analysis. Results of the analysis shall be transmitted by the laboratory directly to the County Engineer. Test results shall indicate the date the sample was collected, the date the analysis was made, the exact locations at which samples were taken, the firm submitting the sample, and the project at which the samples were collected. Sufficient samples shall be collected in order to insure that the system is bacteriologically safe.
- Any areas where solid rock is encountered when laying the water main, approved bedding material shall be used.

SANITARY SEWER NOTES

- Sanitary Sewer shall be constructed in accordance with the following:
 - "Standard Specifications for Water and Sewer Main Construction in Illinois" (Standard Specifications), Seventh Edition dated 2014 (and all revisions and supplements thereto).
 - All applicable state and local plumbing codes.
 - Additional details and requirements provided in the contract documents, including this plan set.
- Where criteria of the aforementioned specifications conflict, the more stringent criteria shall be implemented.
- Contact all public and private utility companies 48 hours prior to any excavation. Cost of replacement or repair of existing utilities damaged as a result of the contractor's operation shall be the contractor's responsibility.
- The contractor shall field verify the elevations of the benchmarks prior to commencing work. The contractor shall also field verify location, elevation and size of existing utilities, and verify floor, curb or pavement elevations where matching into existing work. The contractor shall field verify horizontal control by referencing shown coordinates to known property lines. Notify engineer of discrepancies in either vertical control prior to proceeding with work.
- Refer to building plans for exact locations of new utility entries.
- Install cleanouts and manholes in accordance with the standard details in this plan set and with the aforementioned standard specifications. The contractor shall adjust all cleanouts and manhole castings to final grade as defined in this plan set.
- Cap ends of any conduits installed and mark ends.
- All sanitary sewers under and within two feet of any existing or proposed pavement shall be backfilled with granular backfill material IDOT gradation FA-6 or approved equal (grade 8 or grade 9).
- Sanitary sewer services shall be 6" watermain quality SDR 26 PVC in accordance with ASTM D2241. All services shall be sloped from the main at 1% minimum unless otherwise noted.
- Joints for all sanitary sewer shall conform to ASTM D-3212 for PVC pipe. Pipes shall be joined by means of a flexible gasket. Gaskets for PVC pipe joints shall be in conformance with ASTM A21.11-79 (AWWA C111).
- All new sanitary manholes shall be vacuum tested in accordance with ASTM C1244.
- All utility and service trenches within three (3) feet of paved surfaces, or at a distance specified by the Engineer, shall be backfilled with CA-7 (Virgin Crushed Limestone). FA-6 (clean beach sand) material shall be used in all other unpaved locations.
- Disconnection of existing services shall be by means of cutting into existing wye or tee and replacing with a straight piece of equal size pipe and making the final connection with non-shear mission couplings. Disconnection of all services must be performed prior to the demolition of an existing structure.
- Existing services to be abandoned shall be filled or removed.
- Infiltration testing.
 - It is the intent of this title to secure a sewer system with a minimum amount of infiltration. The maximum allowable infiltration shall not exceed two hundred gallons per inch of diameter of sewer per mile per twenty-four hour day at any time for any section of the system. The joints shall be tight and any joint with visible leakage or leakage in excess of the amount specified above shall be repaired at the contractor's expense.
 - The repair must be of a permanent nature and of a quality equal to initial work which is constructed in conformance with the applicable specifications.
 - Immediately after the completion of the sewer trench, including stubs, shall be inundated to normal ground water level or eighteen inches above the top of sewer pipe, whichever is higher. At that time, infiltration tests shall be made to determine compliance with the allowable infiltration criteria. To measure the amount of infiltration, the contractor shall furnish, install, and maintain a v-notch shape crested weir in a metal frame tightly secured at the lower end of each sewer test section as directed by the Will County engineer or his / her authorized representative. The Will County engineer or his / her authorized representative will check the infiltration by measuring the flow over such weirs. When infiltration is demonstrated to be within the allowable limits, the contractors shall remove such weirs.
- Exfiltration testing:
 - If during the construction of the sewer system the engineer determines that it is impractical to obtain a proper infiltration test, then a test for watertightness shall be made by bulkheading the sewer at the manhole at the lower end of the section under test and filling the sewer with water to eighteen inches above the top of the sewer in the manhole at the upper end of the section. Leakage will then be the measured amount of water added to maintain the above described level at a maximum allowable exfiltration rate of two hundred gallons per inch of diameter of sewer per mile per twenty-four hour day at any time for any section of the system.
- Air testing:
 - In lieu of infiltration or exfiltration testing, the Will County engineer may permit air testing in accordance with ASTM C828.
- Deflection testing for flexible conduit
 - All sanitary sewer bulkhead shall be deflection tested after 30 days following final backfill operations.
 - If the deflection test is to be run using a rigid bar or mandrel, it shall have a diameter equal to 95% of the base diameter of the pipe as described in ASTM D3034. The test shall be performed without mechanical pulling devices.
 - Wherever possible and practical, the testing shall initiate at the downstream lines and proceed towards the upstream lines.
 - Maximum allowable pipe deflection is 5%. Where deflection is found to be in excess of 5% of the original pipe diameter, the contractor shall excavate to the point of excess deflection and carefully compact around the point excess deflection was found. The line shall then be retested for deflection. If after the initial testing the deflected pipe fail to return to the original size (inside diameter), the line shall be replaced at the contractor's expense.
- All new sanitary manholes shall be vacuum tested in accordance with ASTM C1244.

STORM SEWER NOTES

- Storm sewer shall be constructed in accordance with the following:
 - "Standard Specifications for Water and Sewer Main Construction in Illinois" (Standard Specifications), Seventh Edition dated 2014 (and all revisions and supplements thereto).
 - Standards and requirements of Will County.
 - Additional details and requirements provided in the contract documents, including this plan set.
- Where criteria of the aforementioned specifications conflict, the more stringent criteria shall be implemented.
- All storm sewer pipe shall be reinforced concrete pipe unless otherwise specified in this plan set.
- All storm sewer system elements shall conform to the following specifications:
 - Storm pipe:
 - Reinforced circular concrete pipe (12" diameter and larger) shall be Class III (minimum), wall B, in accordance with ASTM C76.
 - Polyvinyl Chloride (PVC) pipe shall conform with ASTM D3034.
 - Joints for storm pipe:
 - Reinforced concrete pipe shall be in accordance with ASTM CA43 ("O" ring).
 - PVC shall be solvent welded joints per ASTM D2855 or flexible elastomeric seals per ASTM D3212.
 - Manholes and Catch Basins:
 - Manholes and catch basins shall be precast reinforced concrete in accordance with ASTM C478.
 - Adjusting rings:
 - C.2.a. No more than 2 precast concrete adjusting rings shall be allowed.
 - C.2.b. Precast concrete adjusting rings shall have a maximum height of 8 inches.
 - For pipe and frame seals, all pipe connection openings shall be precast with resilient rubber watertight pipe to manhole sleeves or seals. External flexible watertight sleeves shall also extend from the manhole cone to the manhole frame.
 - All bottom sections shall be monolithically precast including bases and invert flowlines.
- Castings (Unless otherwise noted within the plans):
 - Curb inlets / catch basins: Neenah R3502-D
 - Depressed curb inlets / catch basins: R-3506-A2
 - Catch basin / manhole type "D":
 - Grate: Neenah R-2504 ("Open" manholes only)
 - Frame: Neenah R-1713
 - Catch basin (unpaved areas; "beehive"): Neenah R-4340-B
- Inspect pipe for defects and cracks before being lowered into the trench, piece by piece. Remove and replace defective, damaged or unsound pipe or pipe that has had its grade disturbed after laying. Protect open ends with a stopper to prevent earth or other material from entering the pipe during construction. Remove dirt, excess water, and other foreign materials from the interior of the pipe during the pipe laying progress.
- Install pipe in accordance with manufacturer's written recommendations.
- Commence installation at the lowest point for each segment of the route. Lay RCP with the groove or bell end up-stream.
- Lay pipe to the required line and slope gradients with the necessary fittings, bends, manhole, risers and other appurtenances placed at the required location as noted on Drawings.
- All utility and service trenches within three (3) feet of paved surfaces, or at a distance specified by the Engineer, shall be backfilled with CA-7 (Virgin Crushed Limestone). FA-6 (clean beach sand) material shall be used in all other unpaved locations.
- Compact backfill to 98 percent of maximum density in accordance with ASTM D698, (or 95 percent of maximum density, in accordance with ASTM D1557) obtained at optimum moisture as determined by AASHTO T180.
- Do not backfill trenches until required tests are performed and utility systems comply with and are accepted by applicable governing authorities.
- Backfill trenches to contours and elevations shown on the drawings.

EARTHWORK NOTES

- A geotechnical exploration has been performed for this development. Reference Report of Geotechnical Exploration performed by APEC, Job Number 2020-046 (Collins, P.E.).
- Unsuitable Materials:
 - Assume that if unsuitable materials are encountered and the replacement of these materials is required, this situation shall be handled as follows:
 - The site contractor shall notify the general contractor immediately. The project superintendent, prior to the undercutting being completed, shall approve any additional undercutting. The quantities shall be verified by the engineer as the additional removal is being completed.
 - If approved by the engineer, the materials shall be removed and replaced with compacted granular materials and compacted in accordance to required standards. The cost of this work shall be an extra to the contract, with the cost being adjusted by change order.
 - If the site contractor is furnishing any off site materials, a representative sample of such materials shall be furnished to the general contractor's approved testing agency to determine a proctor.
 - These materials shall be placed as homogeneously as possible to facilitate accurate compaction and moisture testing.
- Definition for materials
 - "Organic material" is defined as material having an organic content in excess of 8% or as determined by the project owner's engineer.
 - Topsoil shall be friable and loamy (loam, sandy loam, silt loam, sandy clay loam, or clay loam).
 - Sand content shall generally be less than 70% by weight.
 - Clay content shall generally be less than 35% by weight.
 - Organic soils, such as peat or muck, shall not be used as topsoil.
 - Topsoil shall be relatively free from large roots, weeds, brush, or stones larger than 25 mm (1 inch). At least 90% shall pass the 2.00 mm (no. 10) sieve.
 - Topsoil pH shall be between 5.0 and 8.0. Topsoil organic content shall not be less than 1.5% by weight. Topsoil shall contain no substance that is potentially toxic to plant growth.
 - "Existing on-site material within moisture content limits" is defined as material of such a quality that the specified compaction can be met without any additional work other than "densifying" with a roller. Scarification and drying of this material will not need to be done prior to compaction.
 - "Existing on-site material NOT within moisture content limits" is defined as material with a high moisture content that can not meet specified compaction requirements without scarification and drying, chemical stabilization, etc. of this material prior to compaction.
- "Unsuitable material" is defined as any materials that:
 - Cannot be utilized as "topsoil" (organic) for landscape areas.
 - Cannot be utilized as "engineered fill" regardless of moisture content and / or does not structurally meet the standards of the project owner's engineer's recommendations for "engineered fill".
 - Can be defined as natural materials or materials from "demolition" and / or excavated areas (i.e., materials that would not be suitable for "engineered fill").
- "Off-site material" is defined as any materials that are brought from any area not indicated on this plan set.
 - "Trench backfill" shall be defined as any materials used for the purposes of backfilling any trench and / or any excavation requiring backfilling. Refer to "Standards for fill areas" to determine acceptable materials and procedures.
 - The term "stripping" or "strip" as used herein shall be defined as the removal of all "organic materials" from a given area. The term "organic materials" is defined as material having an organic content over 8% based on ASTM D2974, or as defined by the owner's engineer.
- Standards for cut areas:
 - A "cut area" is defined as any area where "engineered fill" is not required to bring the site to design subgrade elevation. Instead, excavation or "cutting" is required to achieve design subgrade elevation ("engineered fill" being defined as any material being "offsite material").
 - In "cut areas" the site contractor shall perform one of the following procedures at the discretion and in the presence of a representative of the owner's engineer and the project architect:
 - For exposed building or parking lot subgrades consisting primarily of granular soils, the exposed subgrade should be compacted / densified by at least one (1) pass of a smooth-drummed vibratory roller having a minimum gross weight of 10 tons.
 - For exposed building or parking lot subgrades consisting primarily of cohesive soils, the exposed subgrades should be proof-rolled with a fully-loaded six-wheel truck having a minimum gross weight of 25 tons. The maximum allowable deflection under the specified equipment shall be 1/2".
 - In the event that adequate stability of granular soils subgrades cannot be achieved by the procedures as outlined in item 1 above, or that deflections greater than 1/2" are observed during the "proof rolling" of cohesive soils subgrades (as outlined in item 2 above) additional corrective measures will be required. These measures could include, but not necessarily be limited to, scarification, moisture conditioning, re-compaction, undercutting and replacement with engineered fill.
 - It shall be considered as part of the scope of these documents (and thus part of this contractor's responsibility) to perform scarification and drying of the subgrade per Illinois Department of Transportation (IDOT) standards (scarify a 16" depth for 3 days). If this does not work then additional drying measures shall be an extra to the contract.
- Any proposed corrective measures by the contractor should be reviewed by the owner's engineer and the project architect. In the event that in the opinion of the owner's engineer and / or the project architect proof rolling is not a good indicator of the subgrade stability, an alternative method shall be specified by the owner's engineer and / or the project architect.
- Standards for fill areas:
 - A "fill" area is defined as any area where material is required to adjust the existing elevation to a proposed subgrade elevation (these areas require installation of "engineered fill" to achieve design subgrade elevation). "Engineered fill" material can be defined as either "granular soil" or "soil" that is either from the construction site or is "offsite material". Materials having their origin from the construction site is referred to as "borrow". The composition and the compaction standards of the engineered fill for this project will be specified by owner's engineer and the project architect.
 - In "fill" areas, "borrow" materials are allowed to be utilized as engineered fill such that the site contractor compacts the "borrow" areas to the specified compaction.
- Compaction standards (for engineered fill and back filled areas)
 - Prior to placement of fill in areas below the design grade, the exposed subgrade should be observed by a representative of the owner's engineer to evaluate that adequate stripping has been performed. Additionally, the proof rolling or compacting procedures outlined in the "standards for cut areas" section of these notes should be performed. It is typical practice to proof roll (and densify if necessary) exposed subgrades prior to filling. If soft or unstable subgrades are observed, these areas should be stabilized or undercut. Minimum compaction standards are based upon a percentage of the fill or backfill material's maximum standard proctor dry density (ASTM D698). All engineered subgrades should meet the following minimum compaction:
 - Areas under foundations bases:
 - 95% standard proctor for all fill placed below foundation base elevation in the building area.
 - Areas under floor slabs and above foundations/footing bases:
 - 95% standard proctor for all fill placed more than 12 inches below final grade for support of floor slabs and above foundation base elevation in the building area.
 - Areas under floor slabs and above foundations/footing bases:
 - 95% standard proctor for fill placed in the upper 12 inches of design subgrade below slabs. The granular fill under the floor slab should be compacted to a minimum of 95% standard proctor.
 - Areas under pavement sections:
 - 95% standard proctor for all fill placed more than 12 inches below passenger car pavement sections and 95% standard proctor for the top 12 inches.
 - Landscape areas:
 - 90% standard proctor for all fill placed in landscape areas. These areas should be brought to grade with "topsoil" to a depth of 12 inches in areas to be seeded, 6 inches in areas to be sodded, and 24 inches for all interior curbed landscape islands.
 - Base course portion of pavement sections:
 - 95% standard proctor for all base course materials that are part of a "pavement section".
 - The option of utilizing the modified proctor (ASTM D1557) in lieu of the specified standard proctor (ASTM D698) shall be at the discretion of the general contractor, contingent upon written approval by the architect and owner's engineer.
 - All backfill and fill materials shall be placed in lifts not greater than 8" in loose depth. Before compacting, moisten or aerate each layer as necessary to provide optimum moisture content. Compact each layer to required percentage of maximum density of the area.
- Finish grading:
 - The term "finish grading" as used herein shall be defined as that condition that areas not receiving a finish product such as parking areas, driveways, roadways, sidewalks, etc. Finish graded areas would generally be those areas receiving "landscaping" such as seed, sod, trees, bushes, mulch, etc.
 - The site contractor is responsible for "finish grading" all areas within the perimeter of the "construction site". The definition of the "construction site" is the area encompassing all disturbed areas that were disturbed as a result of the construction process relating to the general contract of which this site contract was part of.

DEMOLITION NOTES

- The contractor shall be responsible for the demolition and removal of all items that impede the proper placement of any items proposed by this plan set.
- The removal work shall include but not be limited to: obtaining all demolition permits required, removal of the existing trenches, sealing of the existing water well(s), removal any septic system or dry wells (if any) and other items to complete the removals.
- The contractor shall remove all materials deemed unsuitable by the engineer within eight inches of the proposed building footprint to the depth that such unsuitable materials exist. Voids shall be filled in accordance with the "Earthwork Notes" on this plan sheet.
- Tree removal shall include the complete removal of all stumps and roots.
- The contractor shall coordinate disconnection, removal, and relocation of the existing utilities with the appropriate utility companies. The contractor shall be responsible for all fees that are levied by utility companies in conjunction with demolition and removal of existing utilities.
- Disposal of all materials shall comply with all local, state, and federal regulations. All waste material shall be disposed of off-site. The contractor shall be responsible for the removal of all materials from the site, including all associated permits and regulatory requirements.
- The contractor shall be familiar with the appropriate specifications for well abandonment, materials, procedures, and access to equipment required to properly seal wells (if any). The contractor shall be responsible to obtain, complete, and file the appropriate forms through Will County and the Illinois Environment Protection Agency (IEPA).
- The contractor shall maintain all existing utility services to adjacent lots. Interruption of services to adjacent lots shall not occur without proper approval. A minimum of 48 hours notice shall be given to the property owners prior to the connection of the new services. The contractor shall be responsible for costs associated with the connection of temporary utility services, if required, to facilitate construction staging.
- The contractor shall ensure that all existing parking, sidewalks, drives, etc., are free and clear of any construction activity and / or excavated and hauled material to ensure easy and safe pedestrian and vehicular traffic to and from adjacent sites.
- The contractor shall perform a full-depth saw cut along the perimeter of pavement removal that abuts existing pavement that is to remain.
- Any damage sustained by items that are to remain in place shall be repaired or replaced to the owner's satisfaction at no cost to the owner.



PROJECT NAME
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WILL CO.

RDK VENTURES LLC
500 WARRENVILLE ROAD
LISLE, IL 60532
(815) 762-4861

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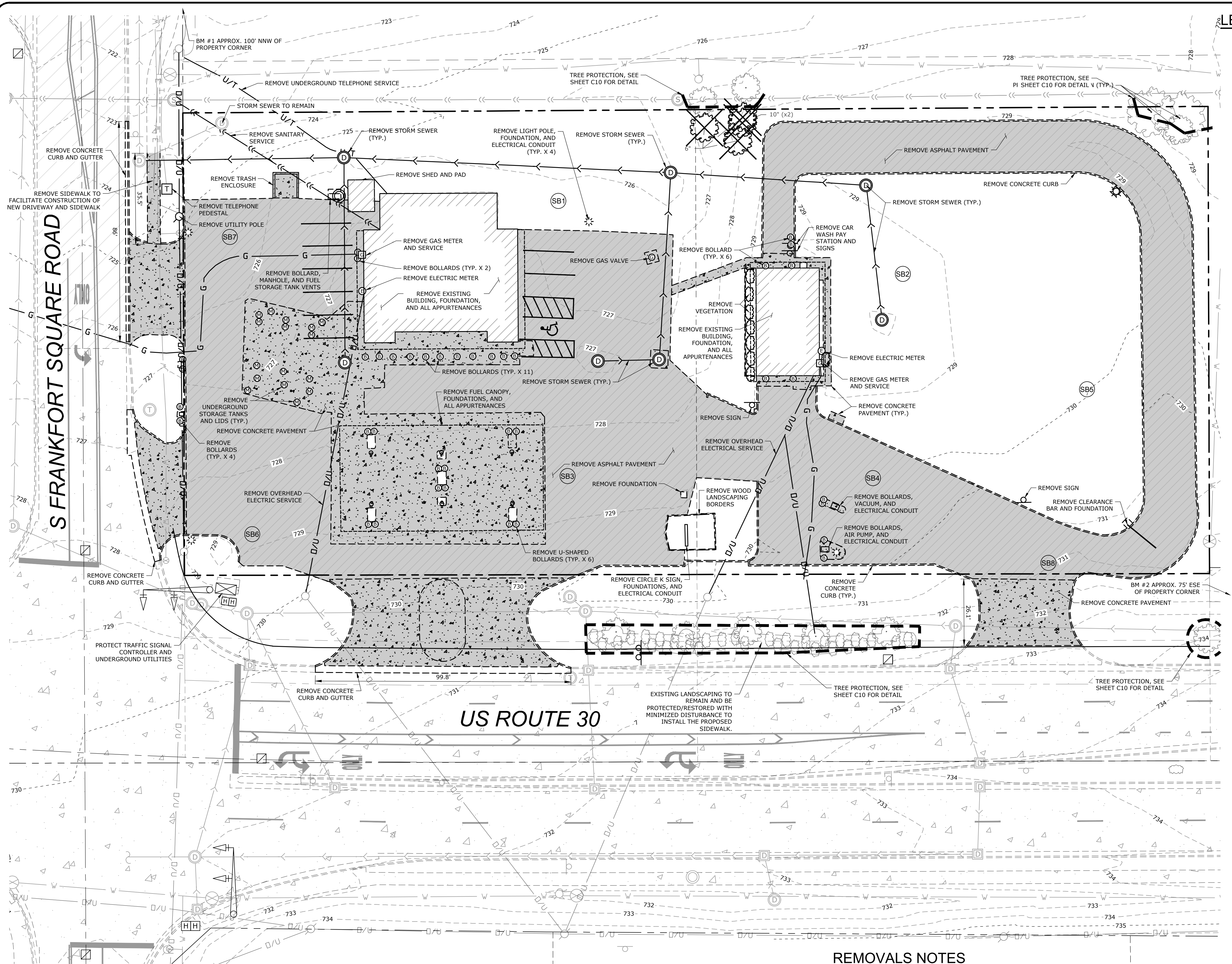
GENERAL NOTES

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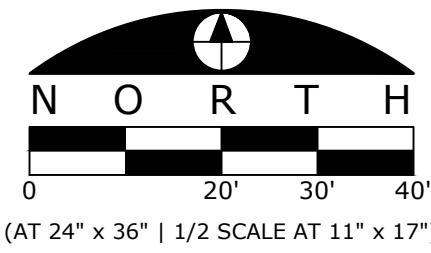


LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- CENTERLINE
- SECTION LINE
- EXISTING EASEMENT LINE
- EXISTING SETBACK LINE
- EXISTING PAVEMENT TO REMAIN
- EXISTING PAVEMENT TO BE REMOVED
- EXISTING STRIPING
- EXISTING STRIPING TO BE REMOVED
- EXISTING SANITARY SEWER TO REMAIN
- EXISTING SANITARY SEWER TO BE REMOVED
- EXISTING STORM SEWER TO REMAIN
- EXISTING STORM SEWER TO BE REMOVED
- EXISTING WATER TO REMAIN
- EXISTING WATER TO BE REMOVED
- EXISTING OVERHEAD UTILITIES TO REMAIN
- EXISTING OVERHEAD UTILITIES TO BE REMOVED
- EXISTING GAS LINE TO REMAIN
- EXISTING GAS LINE TO BE REMOVED
- EXISTING TELECOMMUNICATIONS LINE TO REMAIN
- EXISTING TELECOMMUNICATIONS LINE TO BE REMOVED
- EXISTING CONTOUR LINE
- EXISTING ASPHALT PAVEMENT TO BE REMOVED
- EXISTING ASPHALT PAVEMENT TO REMAIN
- EXISTING CONCRETE PAVEMENT TO BE REMOVED
- EXISTING CONCRETE PAVEMENT TO REMAIN
- "TYPICAL" FOR ALL SIMILAR ITEMS
- EXISTING SIGN TO REMAIN
- EXISTING SIGN TO BE REMOVED
- BENCHMARK
- EXISTING BOLLARD TO REMAIN
- EXISTING WATER UTILITIES TO REMAIN
- EXISTING UTILITY POLE AND GUY WIRE TO REMAIN
- EXISTING UTILITY POLE TO BE REMOVED
- EXISTING GAS METER TO BE REMOVED
- EXISTING TELEPHONE PEDESTAL TO REMAIN
- EXISTING TELEPHONE PEDESTAL TO BE REMOVED
- EXISTING ELECTRIC METER TO BE REMOVED
- EXISTING STORM SEWER TO REMAIN
- EXISTING GUTTER DOWNSPOUT TO BE REMOVED
- EXISTING STORM SEWER TO BE REMOVED
- EXISTING SANITARY SEWER TO REMAIN
- EXISTING TELECOMMUNICATION MANHOLE TO REMAIN
- EXISTING TRAFFIC SIGNAL MAST ARM
- EXISTING HANDHOLES
- EXISTING TRAFFIC SIGNAL CONTROLLER
- EXISTING LIGHT POLE TO BE REMOVED
- EXISTING SHRUBS TO REMAIN
- EXISTING SHRUBS TO BE REMOVED
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- APPROXIMATE SOIL BORING LOCATION
- EXISTING TREE TO REMAIN WITH TREE PROTECTION FENCING (AS NECESSARY)

REMOVALS NOTES

- COORDINATE ALL UTILITY REMOVALS WITH THE APPROPRIATE UTILITY PROVIDER. NOT ALL UNDERGROUND UTILITIES MAY BE SHOWN ON SURVEY.
- COORDINATE WORK WITHIN THE US-30 RIGHT-OF-WAY WITH IDOT.
- COORDINATE WORK WITHIN SOUTH FRANKFORT SQUARE ROAD WITH WILL COUNTY.



BENCHMARKS (IL STATE PLANES - EAST ZONE, NAVD 88 DATUM)

BENCHMARK 1 (N 1763479.86, E 1129523.15) BOLT IN "MUELLER" ON FIRE HYDRANT LOCATED APPROXIMATELY 350' NORTH OF THE CL OF US-30 AND 25' WEST OF THE CL OF S FRANKFORT SQUARE ROAD	721.81
BENCHMARK 2 (N 1763181.85, E 1130010.91) NW BOLT ON FIRE HYDRANT LOCATED APPROXIMATELY 55' NORTH OF CL OF US-30 AND 510' EAST OF CL OF S FRANKFORT SQUARE ROAD	733.97

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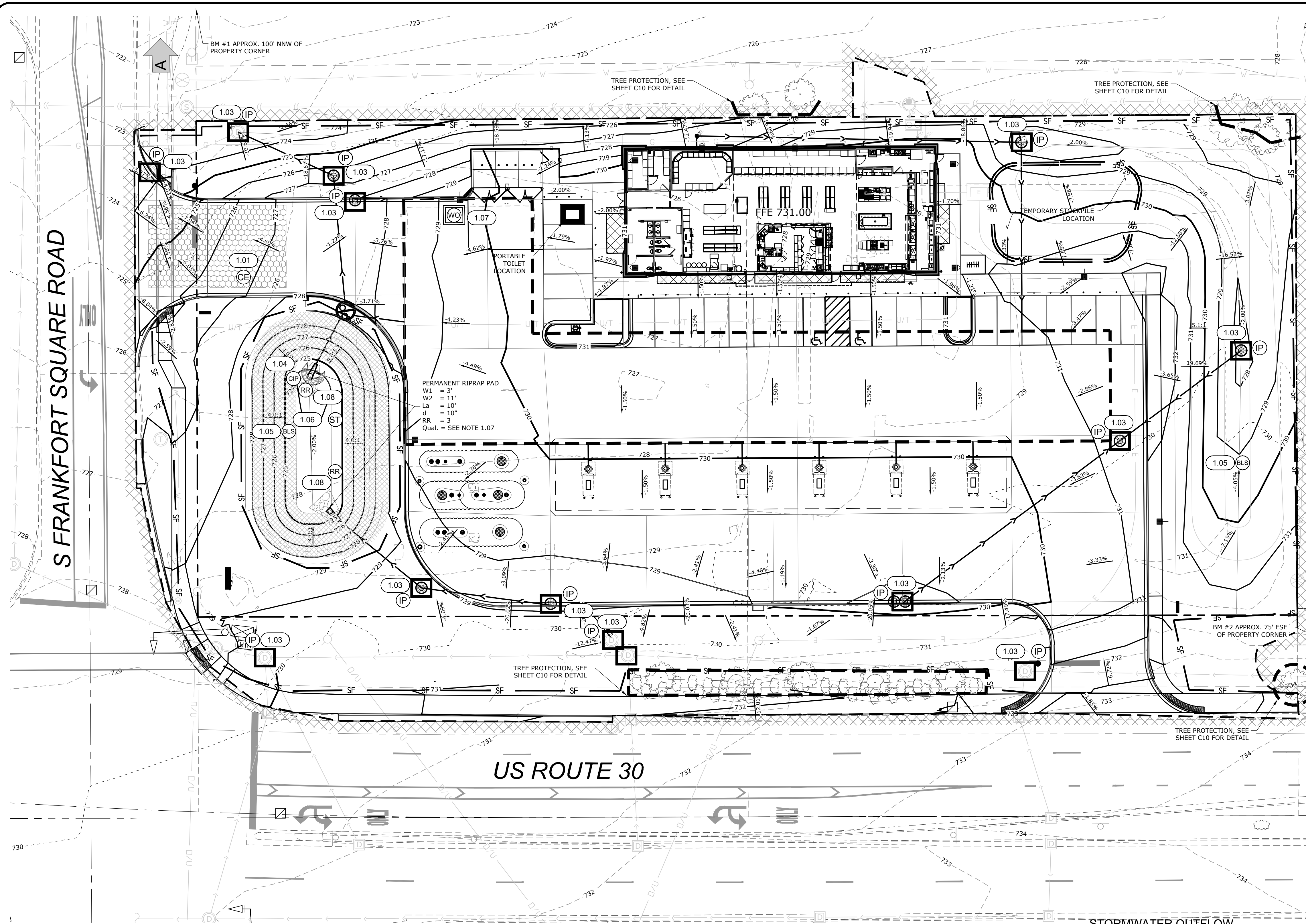
REMOVALS PLAN

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C02



LEGEND

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- LOT LINE
- EXISTING RIGHT-OF-WAY
- CENTERLINE
- SECTION LINE
- EXISTING EASEMENT LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- LIMITS OF DISTURBANCE
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- STORM STRUCTURE
- DIRECTION OF OVERLAND FLOOD ROUTE
- DIRECTION OF OVERLAND FLOW AND SLOPE
- TURF AREA (SEE LANDSCAPING PLAN FOR TYPE)
- SEE SPECIFIC KEY NOTE ON THIS SHEET
- EXISTING TREE TO REMAIN WITH TREE PROTECTION FENCING (AS NECESSARY)

EROSION DETAILS (SEE SWPPP DETAILS SHEET FOR ITEMS BELOW)

- 1.01 CE TEMPORARY STONE CONSTRUCTION EXIT
- 1.02 SF TEMPORARY SILT FENCE
- 1.03 IP INLET PROTECTION PER STRUCTURE TYPE
- 1.04 CIP CULVERT INLET PROTECTION (H = 1' MIN.)
- 1.05 BLS SHORT TERM SLOPE EROSION CONTROL BLANKET DURING CONSTRUCTION ACTIVITIES
- 1.06 ST TEMPORARY SEDIMENT TRAP
- 1.07 WO CONCRETE WASHOUT
- 1.08 RR RIP-RAP PAD (SEE PLAN FOR RIP-RAP DIMENSIONS) PLACE PERMANENT RIP-RAP IMMEDIATELY FOLLOWING THE REMOVAL OF TEMPORARY BMP'S

EROSION CONTROL REFERENCE NOTES

- 1.01 SEE CONSTRUCTION ENTRANCE DETAIL IN SWPPP BINDER. THE CONSTRUCTION EXIT SHALL BE A MINIMUM OF 24" IN WIDTH AND 50' FEET IN LENGTH FROM EXISTING PAVED SURFACE. ALL CONSTRUCTION TRAFFIC MUST UTILIZE CONSTRUCTION EXITS PER DETAIL TO ACCESS THE PUBLIC ROAD. DURING CONSTRUCTION, THE CONSTRUCTION EXITS MAY BE SHIFTED AT THE CONTRACTOR'S DISCRETION TO FACILITATE GRADING OPERATION. EXIT MUST TERMINATE AT EXISTING PAVED SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE RUNOFF FROM THE CONSTRUCTION EXIT IS DIRECTED BACK TOWARD THE SITE OR THAT THE RUNOFF IS CLEAR OF SEDIMENT.
- 1.02 THE CONTRACTOR MAY PERMANENTLY REMOVE ANY PORTION OF THE PERIMETER SILT FENCE AFTER ESTABLISHMENT OF FINAL GRADE AND/OR FINAL STABILIZATION RENDERS THE RESPECTIVE PORTION OF THE PERIMETER SILT FENCE UPSTREAM OF A DISTURBANCE AND/OR INEFFECTIVE AS A BEST MANAGEMENT PRACTICE. ANY SUCH REMOVAL SHALL BE NOTED ON THE SWPPP SITE MAPS ALONG WITH UPSTREAM STABILIZATION AND GRADING CONDITIONS.
- 1.03 NO STRUCTURE SHALL BE ALLOWED TO BE PROTECTED WITH ANY MEASURE OTHER THAN THOSE DETAIL IN THIS SWPPP SITE MAP FOR MORE THAN 48 HOURS OR IF RAIN IS IMMINENT. STRUCTURES THAT WILL NOT RECEIVE A CASTING WITHIN 48 HOURS OF INSTALLATION SHALL RECEIVE INLET PROTECTION. UPON INSTALLATION OF THE GRATE, INLET PROTECTION SHALL BE INSTALLED RESPECTIVE TO THE TYPE OF GRATE. STRUCTURES WITH CLOSED LIDS WILL NOT REQUIRE PROTECTION FOLLOWING INSTALLATION OF LID. CONTRACTOR SHALL NOTE TIME STRUCTURE INSTALLATION (AND PROTECTION INSTALLATION, INCLUDING TYPES OF PROTECTION) ARE EMPLOYED. WHENEVER PIPE INSTALLATION IS HALTED FOR MORE THAN 24 HOURS OR WHEN RAIN IS IMMINENT, THE OPEN END SHALL BE PROTECTED WITH A TEMPORARY BULK HEAD. A 34" SHEET OF PLYWOOD THAT EXTENDS 6" BEYOND THE OUTSIDE DIAMETER OF THE PIPE SHALL BE PLACED AGAINST THE EXPOSED PIPE END. GRAVEL SHALL BE PLACED AGAINST THE PLYWOOD IN SUFFICIENT QUANTITY SO AS TO ENSURE THE TIGHTEST POSSIBLE SEAL. THE TRENCH SHALL BE DEWATERED PRIOR TO REMOVING THE BULKHEAD.
- 1.04 CIP SHALL BE PLACED TO PROTECT THE UPSTREAM END OF THE PERMANENT OUTFALL PIPE PRIOR TO PIPE INSTALLATION. CIP SHALL NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ACHIEVED.
- 1.05 SHORT TERM EROSION CONTROL FABRIC NAG SC150 SHALL BE APPLIED TO ALL SLOPES 4:1 OR STEEPER THAN 4:1 PRIOR TO PERMANENT SEEDING. FOLLOW MANUFACTURER SPECIFICATIONS FOR INSTALLATION. CONTRACTOR SHALL NOTE ALL AREAS WHERE NAG SC150 HAS BEEN INSTALLED RELATIVE TO ABSOLUTE GRADERS AND FURNISH THESE BOUNDARIES TO THE CIVIL ENGINEER UPON REQUEST. PERMANENT SEEDING SHOULD BE PLANTED AS SOON AS IT IS PRACTICAL. TO ENSURE PROPER GERMINATION PRIOR TO TERMINATION OF PERMIT COVERAGE, THE CONTRACTOR SHALL PLANT PERMANENT SEEDINGS AS SPECIFIED ON THE LANDSCAPING PLAN AS SOON AS FINAL BASIN GRADES ARE ESTABLISHED AS SPECIFIED ON THE GRADING PLAN. SEE SITE LANDSCAPING PLAN FOR EXACT GROUND COVER TYPE AND LOCATION.
- 1.06 PROVIDE TEMPORARY SEDIMENT TRAP IN LOCATION OF DETENTION UNTIL DETENTION IS CONSTRUCTED. SEE CONSTRUCTION SPECIFICATION AND DEWATERING DETAIL INCLUDED IN SWPPP BINDER
- 1.07 SEE DETAIL IUM-654BW. THE USE OF THE CONSTRUCTION AREA WASHOUTS IN IUM-654SB AND IUM-643-ET OR APPROVED EQUIVALENT IS ALSO ALLOWABLE. CONCRETE WASHOUT AREA MAY BE RELOCATED AS NECESSARY AS CONSTRUCTION PROGRESSES.
- 1.08 SEE DETAIL IL-611 FROM THE ILLINOIS URBAN MANUAL. STONE FOR RIPRAP SHALL CONSIST OF FIELD STONE OR ROUGH UNHEWN QUARRY STONE. THE STONE SHALL BE HARD AND ANGULAR AND A QUALITY THAT WILL NOT DISINTEGRATE UPON EXPOSURE TO WATER OR WEATHERING. THE SPECIFIC GRAVITY OF THE INDIVIDUAL STONE SHALL BE AT LEAST 2.5. THE MEDIAN SIZE OF THE STONE SHALL BE 5 INCHES. RECYCLED CONCRETE EQUIVALENT MAY BE USED IN LIEU OF STONE PROVIDED IT HAS A DENSITY OF AT LEAST 150 POUNDS PER CUBIC FOOT, AND DOES NOT HAVE ANY EXPOSED STEEL OR REINFORCING BARS.

SWPPP INFORMATION SIGN

3" (SUGGESTED SIZE TO DISPLAY NEEDED LETTERING AND NOTICES)

SWPPP INFORMATION

COPY OF NOI

DETAILED DESCRIPTION OF THE LOCATION OF THE SWPPP DOCUMENTATION (CERTIFICATIONS, INSPECTION FORMS, AND SITE MAPS) ON THE SITE. IF DOCUMENTATION IS NOT ON SITE, A DETAILED SET OF DIRECTIONS MUST BE GIVEN TO THE DOCUMENT LOCATION. SWPPP DOCUMENTS MUST BE AVAILABLE FOR INSPECTION WHILE CONSTRUCTION ACTIVITY IS PRESENT.

CONTACT INFORMATION (NAME AND PHONE NUMBER) MUST BE DISPLAYED FOR THE PERSON(S) RESPONSIBLE FOR SWPPP IMPLEMENTATION AND MAINTENANCE, AND FOR THE PERSON(S) RESPONSIBLE FOR KEEPING THE SWPPP DOCUMENTS (IF OTHER THAN THE PERSON NAMED RESPONSIBLE FOR SWPPP IMPLEMENTATION).

3" (SUGGESTED) INCREASE AS REQUIRED WHEN ADDITIONAL NOTICES ARE APPLICABLE

SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).

SITE DESCRIPTION

SITE LOCATION:
LOCATED AT 7600 US-30 (NE CORNER OF US-30 AND S FRANKFORT SQUARE ROAD), FRANKFORT, WILL COUNTY, IL, 60423, BEING A PORTION OF THE NW QUARTER OF SECTION 24, RANGE 12E OF THE THIRD PRINCIPAL MERIDIAN.
LATITUDE: 41.506839
LONGITUDE: -87.506839

ADJACENT PROPERTIES: THE SITE IS BORDERED BY A VACANT LOT TO THE NORTH, A BANK TO THE EAST, A RESIDENTIAL NEIGHBORHOOD TO THE SOUTH, AND A COMMERCIAL DEVELOPMENT TO THE WEST.

SITE TOPOGRAPHY: THE SITE GENERALLY SLOPES DOWN FROM THE SOUTH TO THE NORTH OF THE LOT. THE EXISTING SITE IS A CIRCLE K GAS STATION, CONVENIENCE STORE, AND CAR WASH. THE EXISTING SITE CONSISTS OF ROOFTOPS AND LANDSCAPED AND PAVED SURFACES.

RAINFALL INFORMATION: THE TOTAL AVERAGE ANNUAL RAINFALL FOR THE PROJECT AREA IS APPROXIMATELY 41 INCHES.

POST-CONSTRUCTION CONDITIONS: POST-CONSTRUCTION RUNOFF COEFFICIENT OF THE SITE: 0.75 (IMPERVIOUS C = 0.95, PERVIOUS C = 0.45).

TOTAL SITE AREA: LIMITS OF SITE = 1.66 ACs
SITE IMPERVIOUS AREA: 1.00 ACs
SITE SEEDED AREA: 0.66 ACs

LIMITS OF DISTURBANCE: ± 2.03 ACs

ENVIRONMENTAL PERMITS - OTHER THAN NPDES, STORMWATER AND/OR EROSION AND SEDIMENT CONTROL: WETLANDS-NONE

THREATENED AND ENDANGERED SPECIES: THERE ARE NO KNOWN ISSUES RELATED TO THREATENED AND ENDANGERED SPECIES

HISTORICAL PROPERTIES: THERE ARE NO KNOWN ISSUES RELATED TO HISTORICAL PRESERVATION

- SEQUENCE OF CONSTRUCTION**
1. PLACE SWPPP BOX ON SITE. SWPPP BOX SHALL CONTAIN A COPY OF THE LETTER OF COVERAGE AND ILLINOIS GENERAL PERMIT. SWPPP BOX SHALL CONSIST OF LARGE MAILBOX WITH THE LETTERS "SWPPP" ON THE SIDES. MAILBOX SHALL BE SUPPORTED BY A 4"x4" POST IN A 5-GALLON BUCKET OF CONCRETE, TO ALLOW THE BOX TO BE PORTABLE AND REUSABLE.
 2. PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL, AND MATERIAL STORAGE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
 3. CONSTRUCT THE SILT FENCES ON THE SITE. INSTALL INLET PROTECTION DEVICES IN EXISTING STRUCTURES.
 4. DEMOLISH BUILDINGS.
 5. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENuded AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
 6. CONSTRUCT TEMPORARY SEDIMENT TRAP AND INSTALL OUTLET CONTROL PROTECTION AND LEVEL SPREADER.
 7. INSTALL UTILITIES, UNDERDRAINS, AND STORM SEWERS. INSTALL INLET PROTECTION CONCURRENTLY.
 8. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 9. PREPARE AREA OF SITE FOR PAVING FOR PARKING AREAS.
 10. PAVE AREA OF SITE.
 11. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
 12. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

STORMWATER OUTFLOW CONTRIBUTING AND RECEIVING WATERS

FROM SITE - DRAINAGE AREA "A" (1.67 ACRES) CONSISTING OF LANDSCAPED AREAS, PAVED AREAS AND BUILDINGS. ALL FLOWS TREATED BY PERIMETER AND INTERMEDIATE BMP'S AND TRANSPORTED VIA OVERLAND FLOW AND UNDERGROUND STORM SEWER. THIS DRAINAGE AREA ULTIMATELY DRAINS TO THE PUBLIC UNDERGROUND STORM SEWER IN THE SOUTH FRANKFORT SQUARE RIGHT OF WAY.

TO RECEIVING WATERS - ULTIMATELY CONVEYED TO THE HICKORY CREEK, LOCATED APPROXIMATELY 1.0 MILES TO THE WEST OF THE SITE.

NORTH

0 20' 30' 40'

(AT 24" x 36" | 1/2 SCALE AT 11" x 17")

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SWPPP PLAN

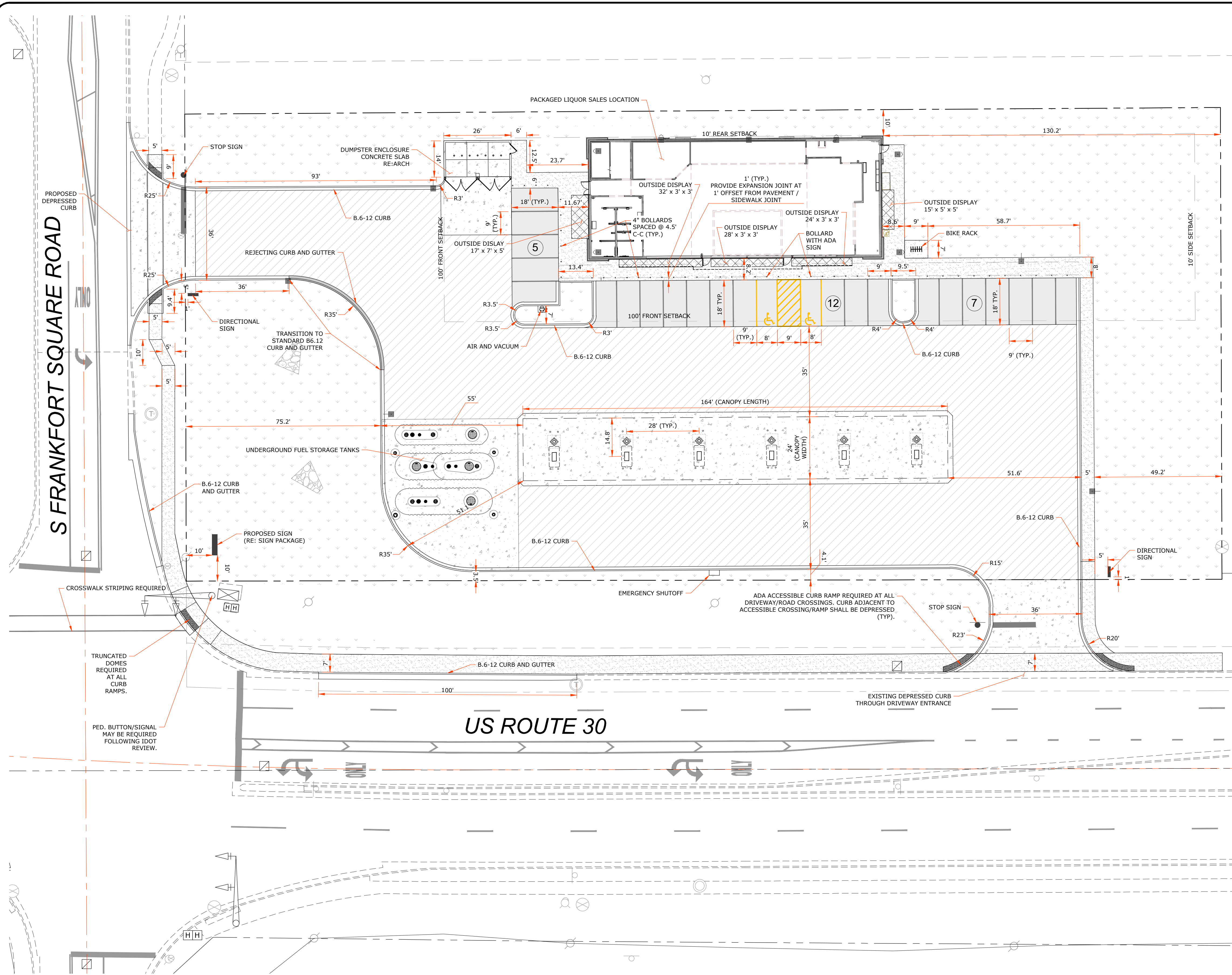
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****ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DIRECTED BY THE VILLAGE ENGINEER****



LEGEND

PROPERTY LINE

LOT LINE**LAYOUT PLAN**

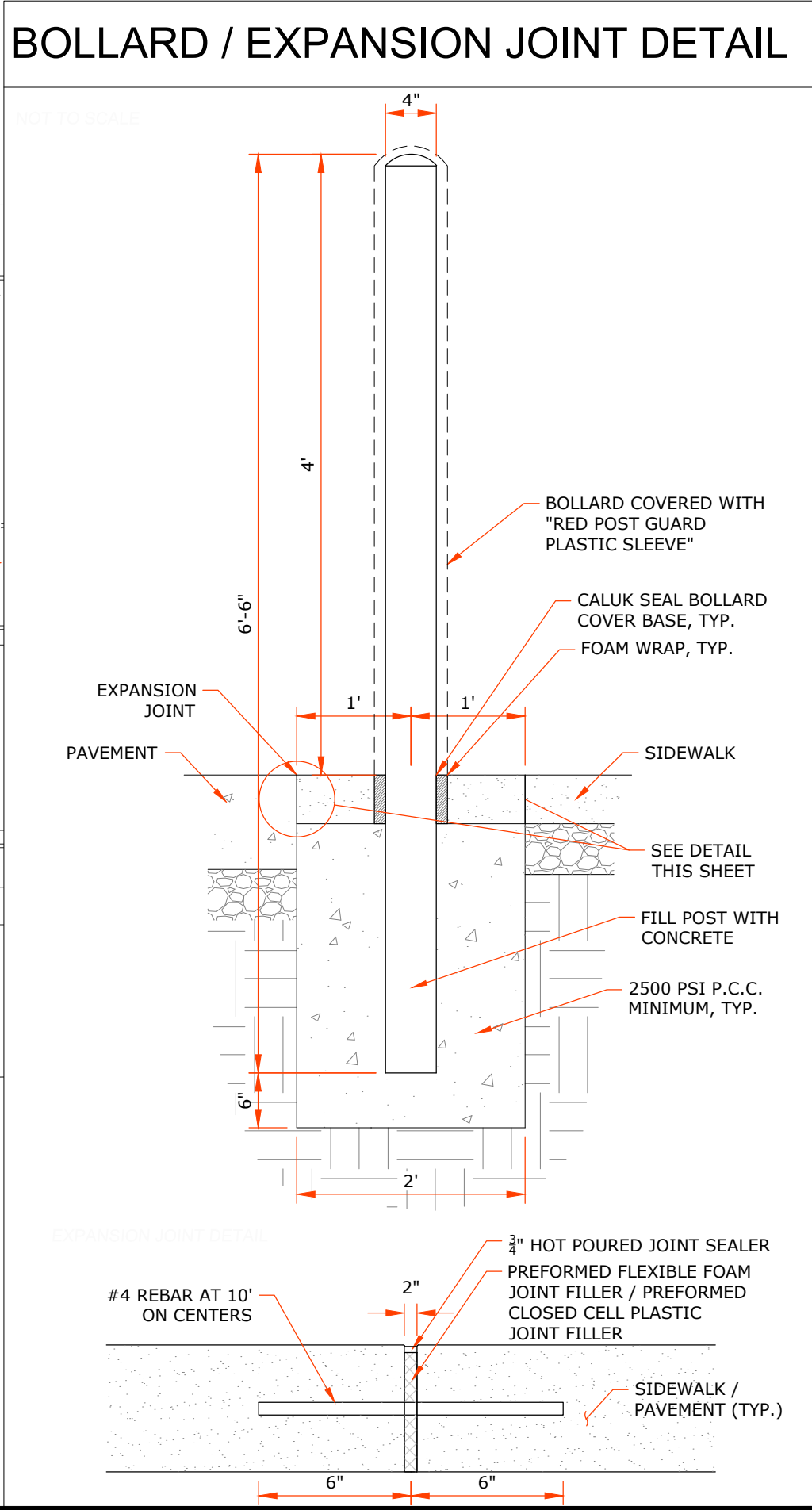
1. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

2. DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.

3. SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.

4. ALL RADII AND DIMENSIONS ARE TO THE BACK OF CURB OR EDGE OF PAVEMENT WHERE APPLICABLE.

5. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.



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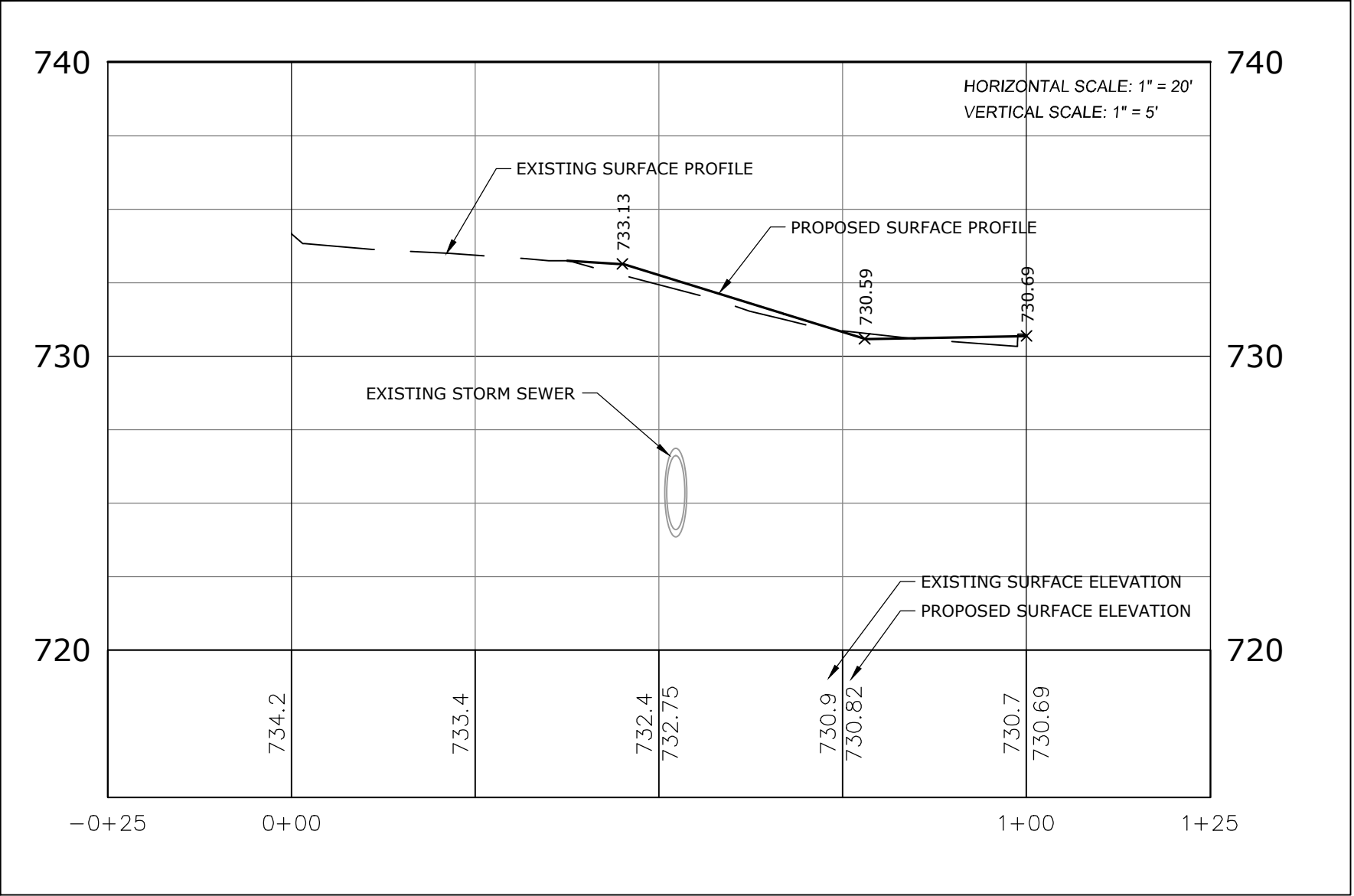
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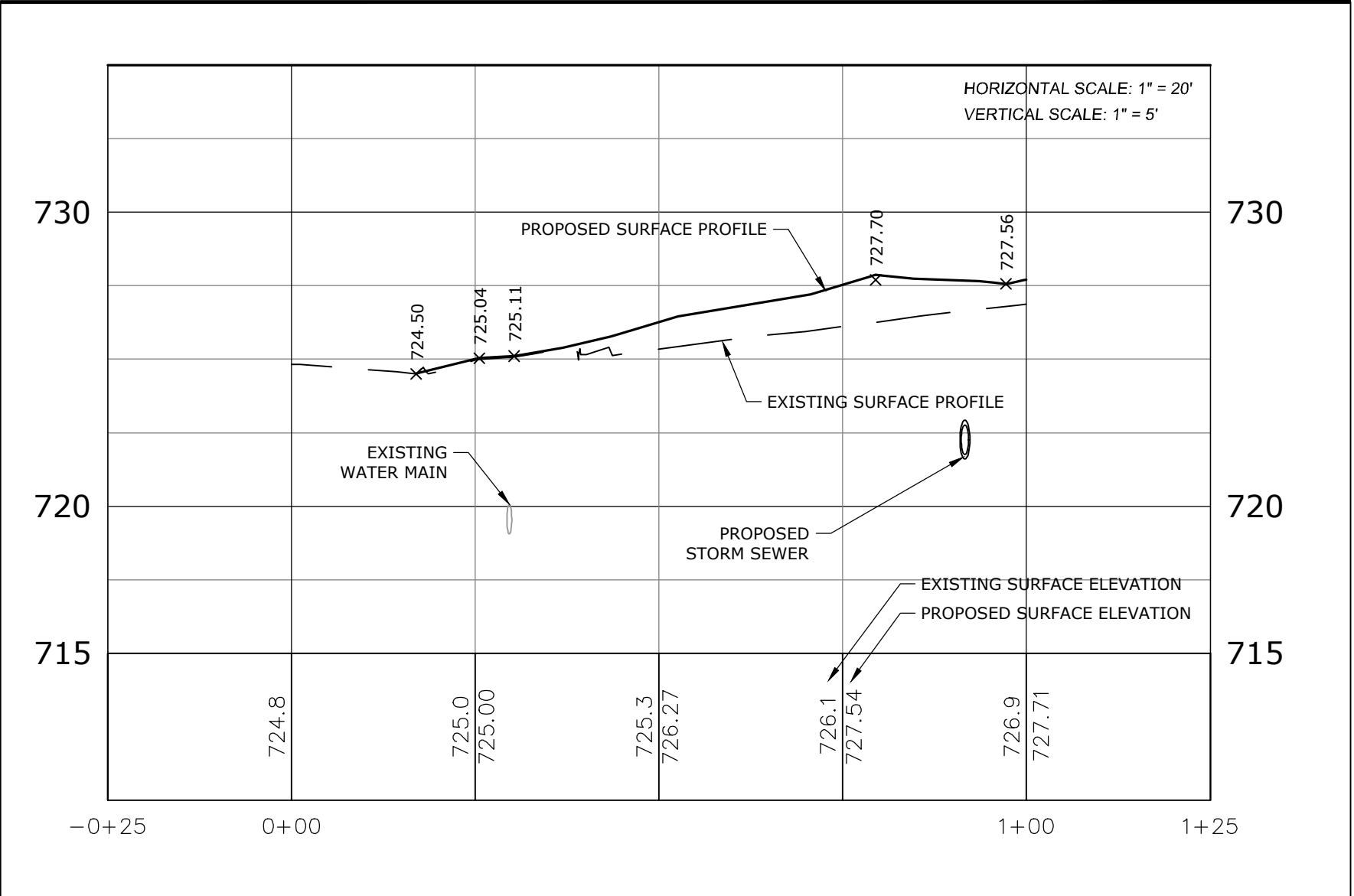
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C05**

US ROUTE 30 ENTRANCE PROFILE



S FRANKFORT SQUARE RD ENTRANCE PROFILE



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- PROPERTY LINE
LOT LINE
EXISTING RIGHT-OF-WAY
CENTERLINE
SECTION LINE
EXISTING EASEMENT LINE
PROPOSED CURB AND GUTTER
EXISTING CURB AND GUTTER
PROPOSED STORM SEWER
EXISTING STORM SEWER
PROPOSED GRADE BREAK LINE
PROPOSED CONTOUR LINE
EXISTING CONTOUR LINE
PROPOSED CATCH BASIN OR MANHOLE
PROPOSED CLEANOUT
DIRECTION OF SHEET FLOW
TOP OF WALK ELEVATION
TOP OF PAVEMENT ELEVATION
FINISHED GRADE ELEVATION
MATCH EXISTING TOP OF WALKWAY ELEVATION
MATCH EXISTING TOP OF PAVEMENT ELEVATION
BENCHMARK
EMERGENCY OVERLAND FLOW ROUTE

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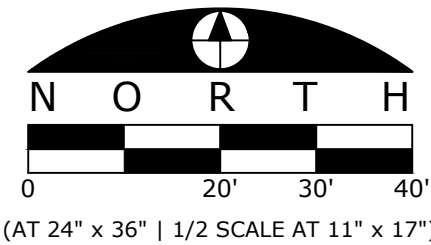
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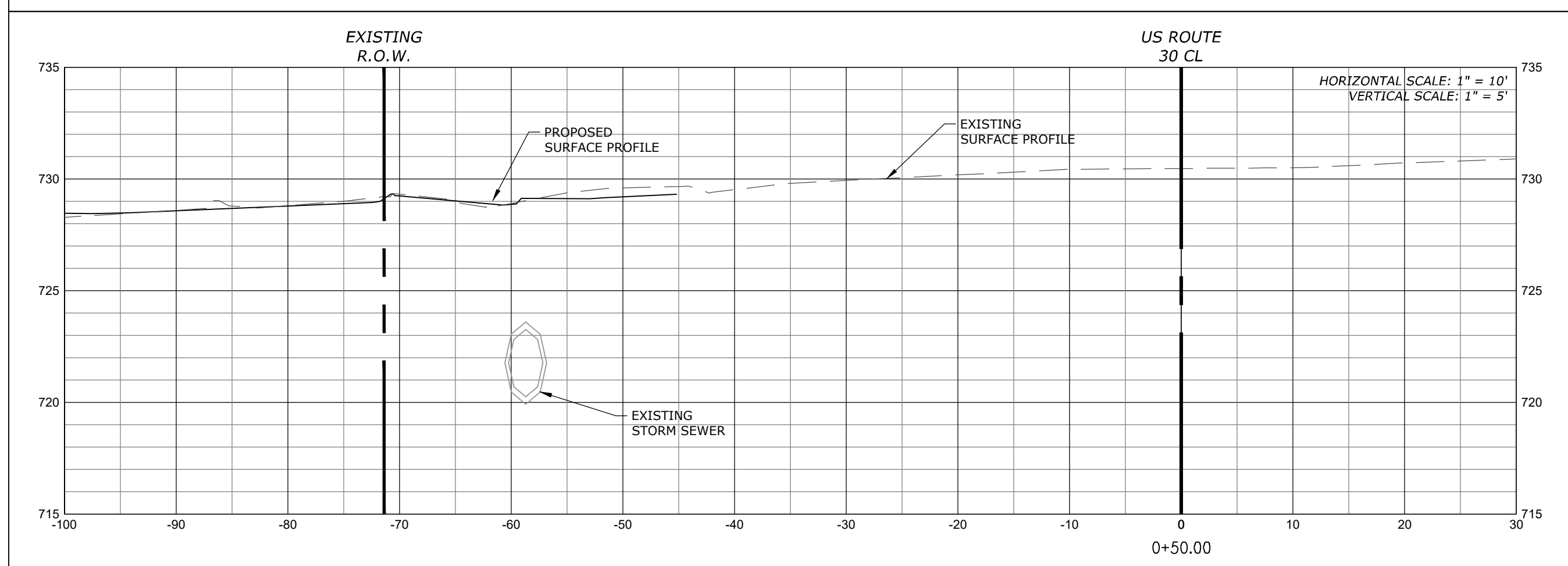
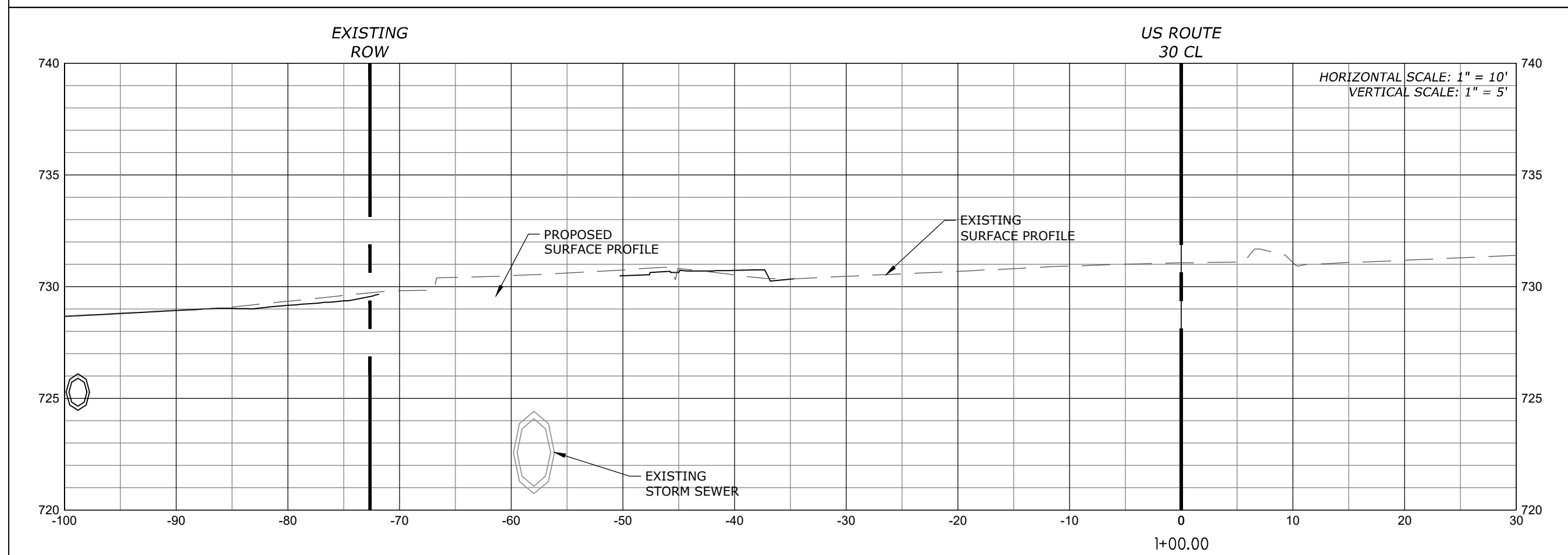
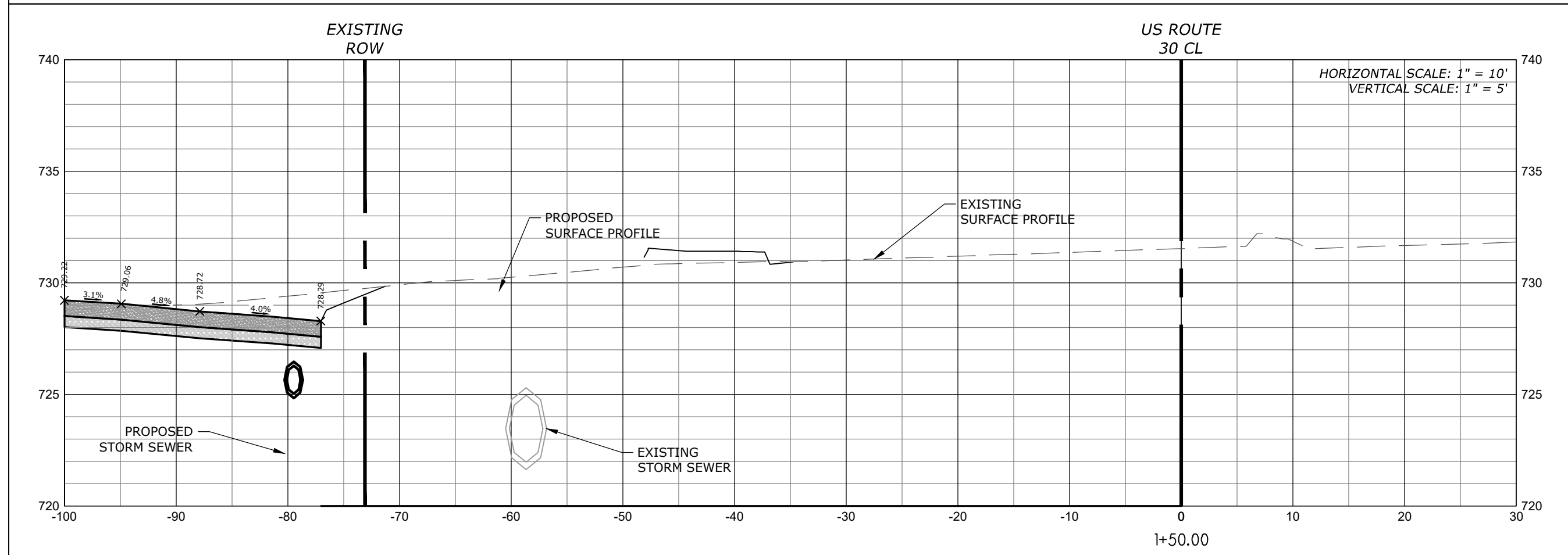
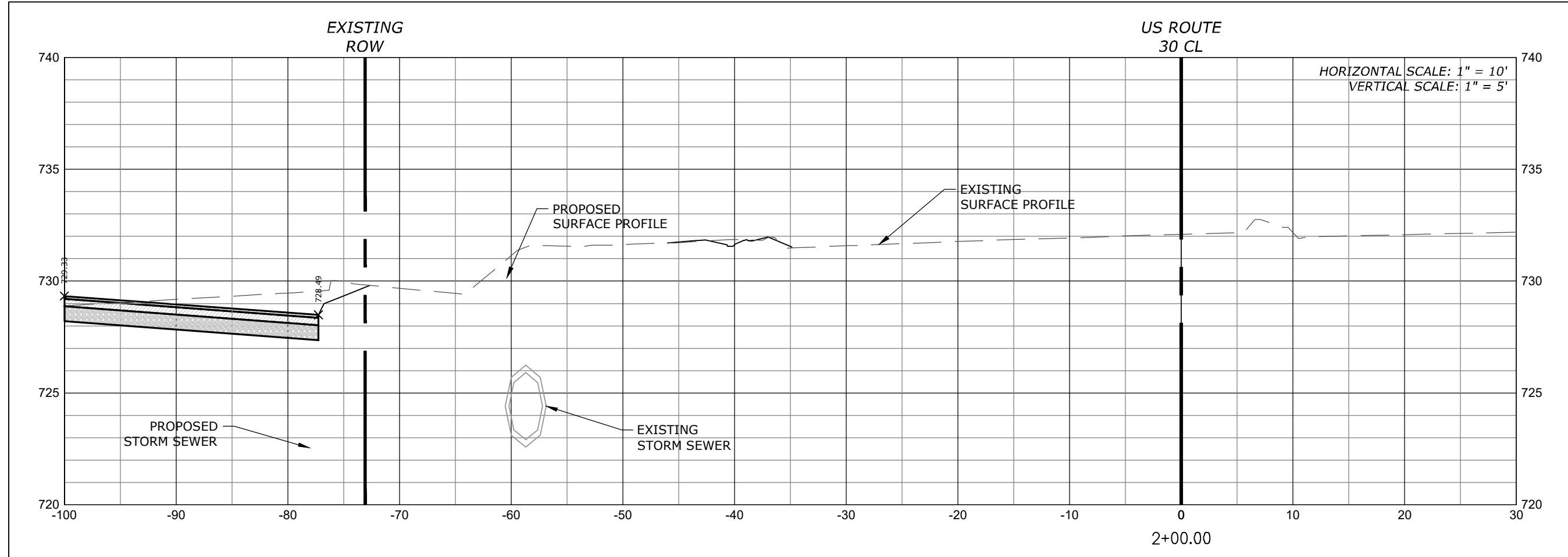
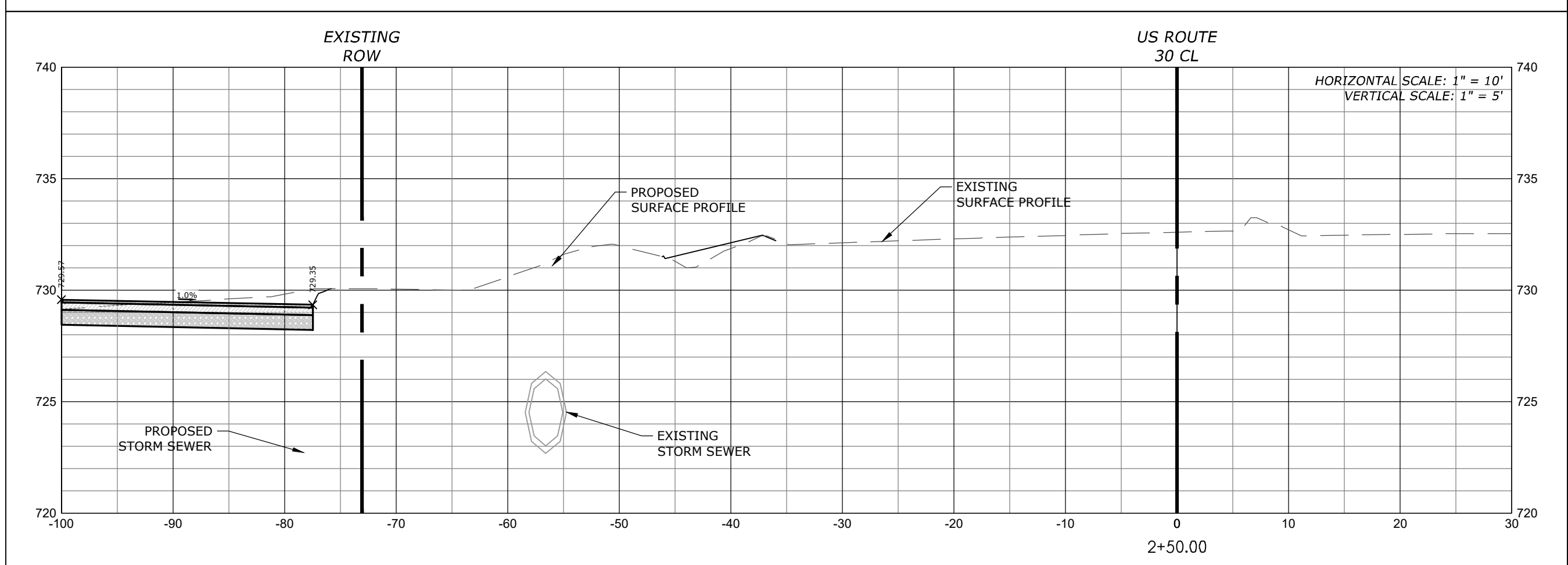
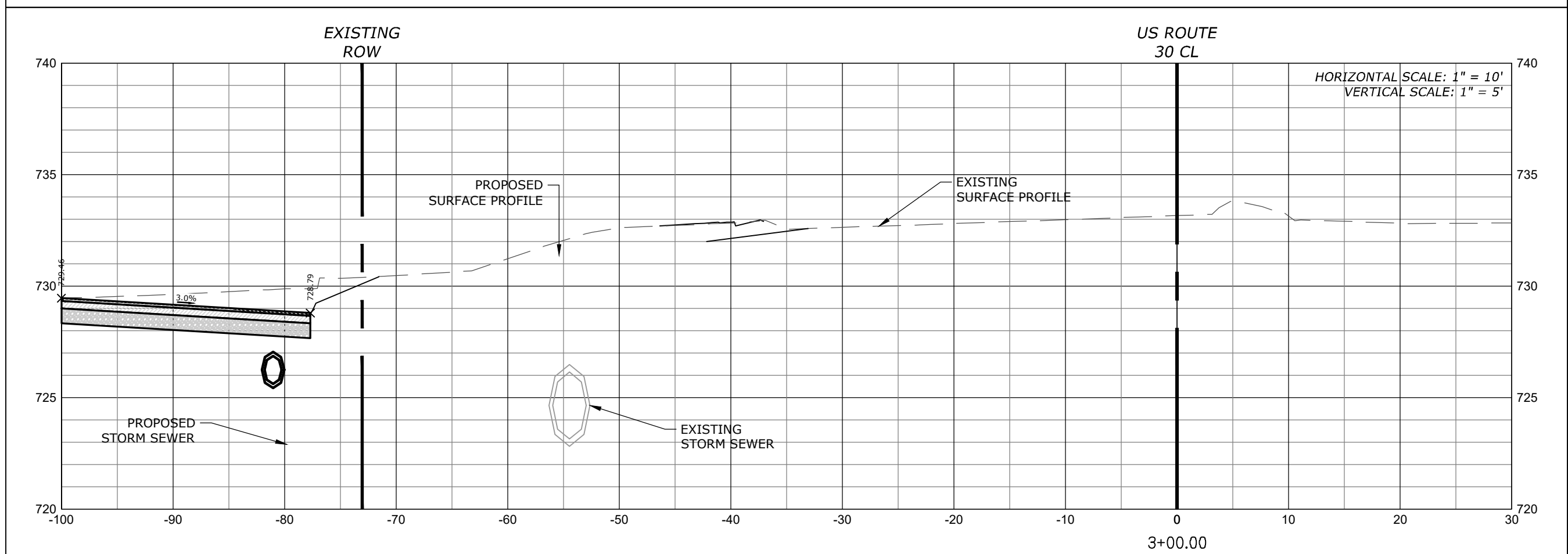
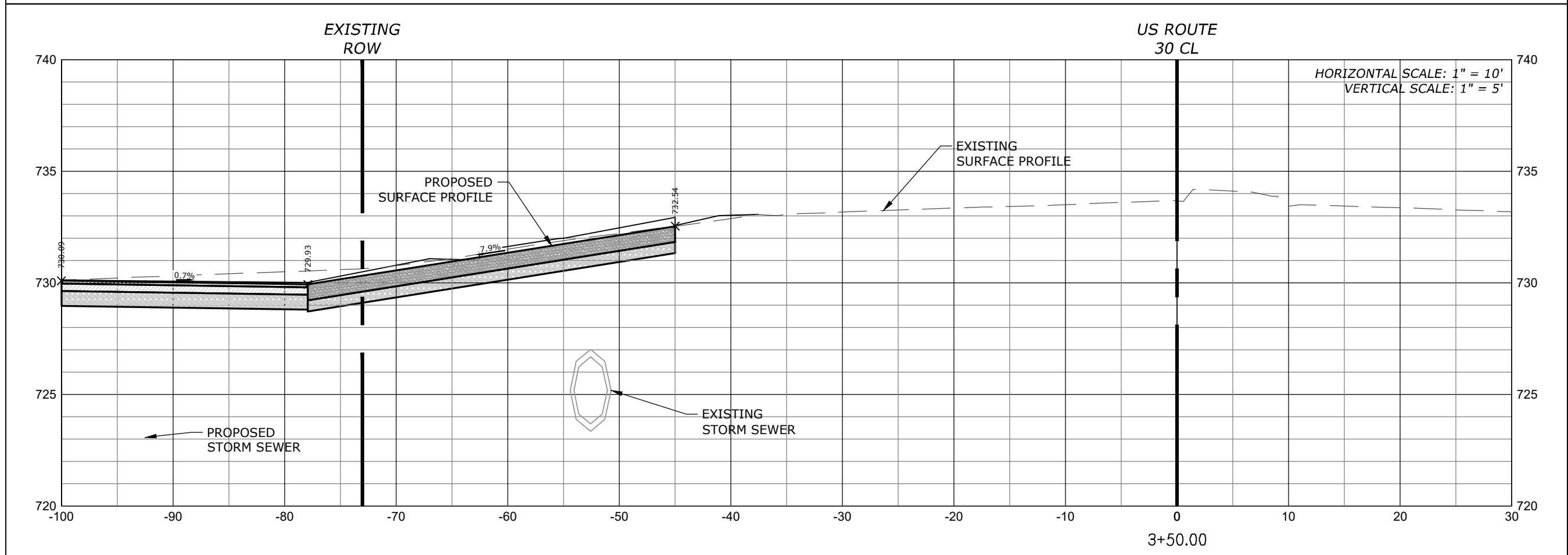
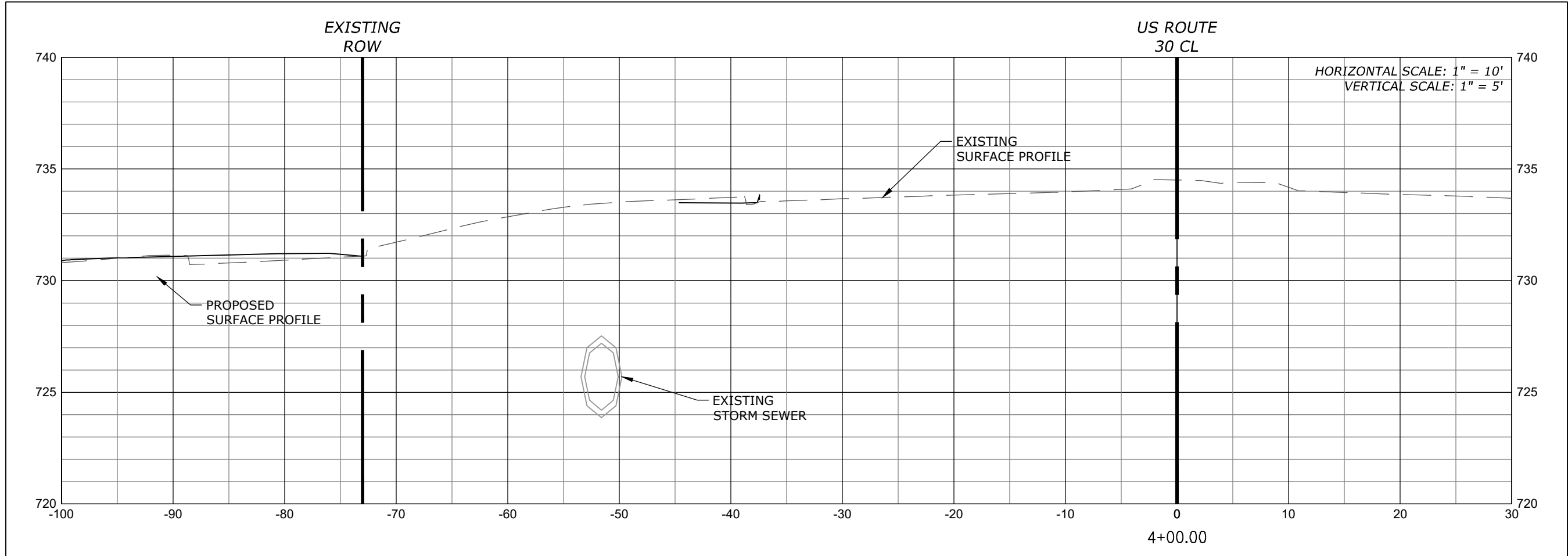
GRADING DETAILS

DRAWN	TWL
CHECKED	LND
PM	RCS

PROJECT NUMBER SHEET NUMBER
20033
C06.1



BENCHMARKS (IL STATE PLANES - EAST ZONE, NAVD 88 DATUM)	
BENCHMARK 1 (N 1763479.86, E 1129523.15) BOLT IN "MUELLER" ON FIRE HYDRANT LOCATED APPROXIMATELY 350' NORTH OF THE CL OF US-30 AND 25' WEST OF THE CL OF S FRANKFORT SQUARE ROAD	721.81
BENCHMARK 2 (N 1763181.85, E 1130010.91) NW BOLT ON FIRE HYDRANT LOCATED APPROXIMATELY 55' NORTH OF CL OF US-30 AND 510' EAST OF CL OF S FRANKFORT SQUARE ROAD	733.97



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PROJECT NAME
OWNER'S NAME

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7654 W LINCOLN HWY
FRANKFORT, IL 50423
WILL CO.

RDV VENTURES LLC
500 WARRENVILLE ROAD
LISLE, IL 60532
(815) 762-4861

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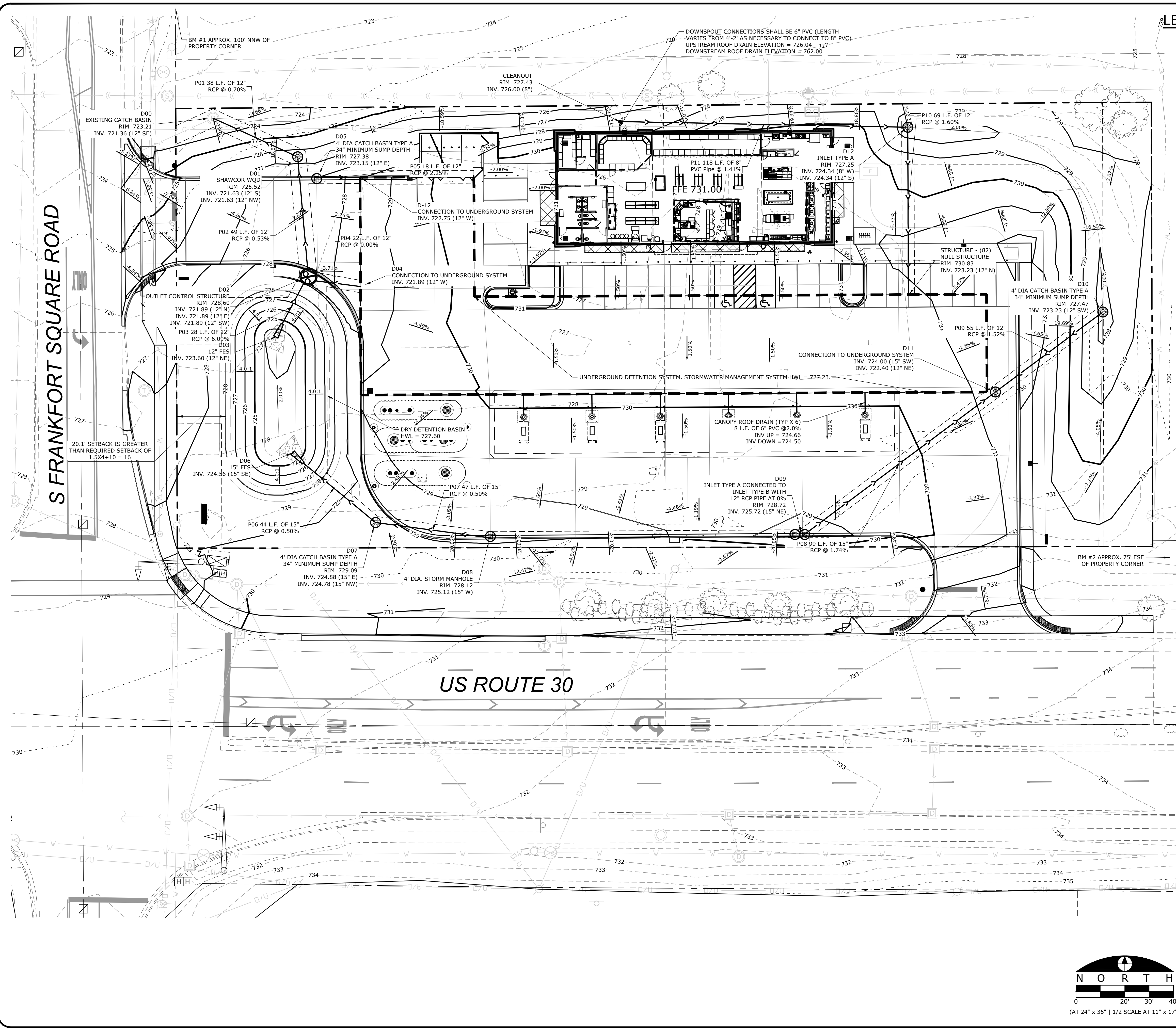
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**US ROUTE 30
CROSS-SECTIONS**

DRAWN TWL
CHECKED LND
PM RCS

PROJECT NUMBER
SHEET NUMBER

**20033
C06.2**



LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- CENTERLINE
- SECTION LINE
- EXISTING EASEMENT LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED GRADE BREAK LINE
- PROPOSED CONTOUR LINE
- EXISTING CONTOUR LINE
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SEWER
- PROPOSED GAS MAIN
- PROPOSED UNDERGROUND ELECTRIC SERVICE
- PROPOSED TELEPHONE SERVICE
- EXISTING MANHOLE OR CATCH BASIN
- PROPOSED CATCH BASIN OR MANHOLE
- PROPOSED CLEANOUT
- DIRECTION OF SHEET FLOW

NOTES

1. ALL DRAINAGE STRUCTURES SHALL HAVE OPEN GRATES EXCEPT THE WQD AND OUTLET CONTROL STRUCTURE. SEE DETAIL FOR WQD AND OUTLET CONTROL STRUCTURE DETAIL FOR CASTING REQUIREMENTS.

RIM ELEVATION DEFINITION

UNPAVED CURB
RIM ELEV. RIM ELEV.

DETENTION STAGE STORAGE (WEST)

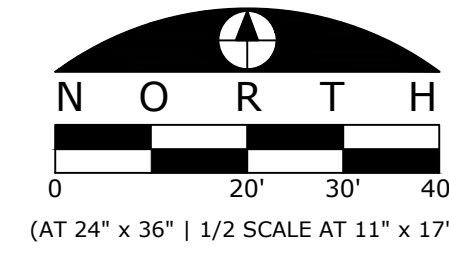
Elevation (feet)	Surface (sq-ft)	Storage (cubic-feet)
723.66	0	0
724.76	1,252	616
725.76	2,103	2,349
726.76	2,885	4,833
727.60	3,622	7,559

DETENTION STAGE STORAGE (UNDERGROUND)

Elevation (feet)	Storage (cubic-feet)
721.89	0
725.39	29,012

BENCHMARKS (IL STATE PLANES - EAST ZONE, NAVD 88 DATUM)

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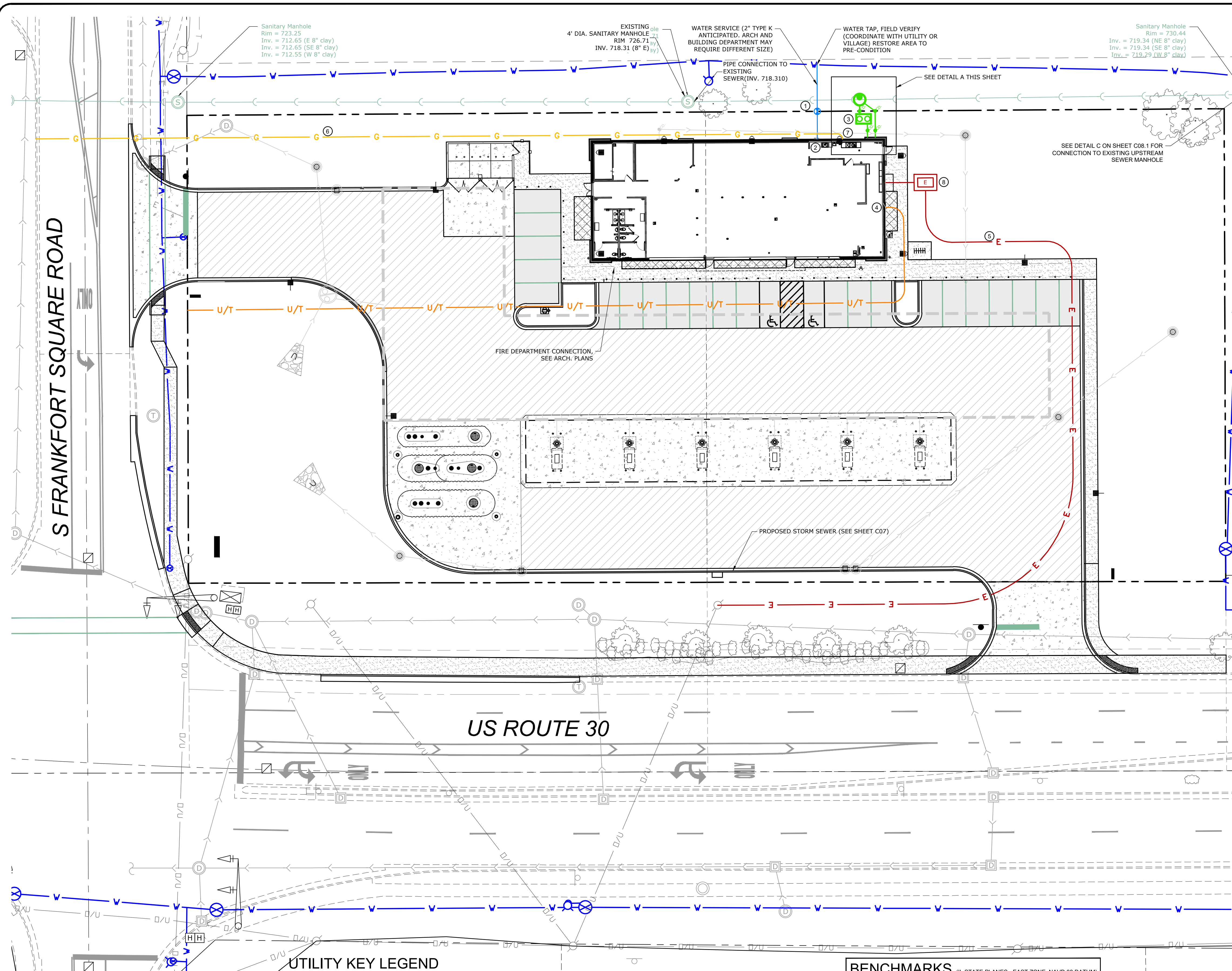
DRAINAGE PLAN

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CHECKED	LND
PM	RCS

PROJECT NUMBER
SHEET NUMBER

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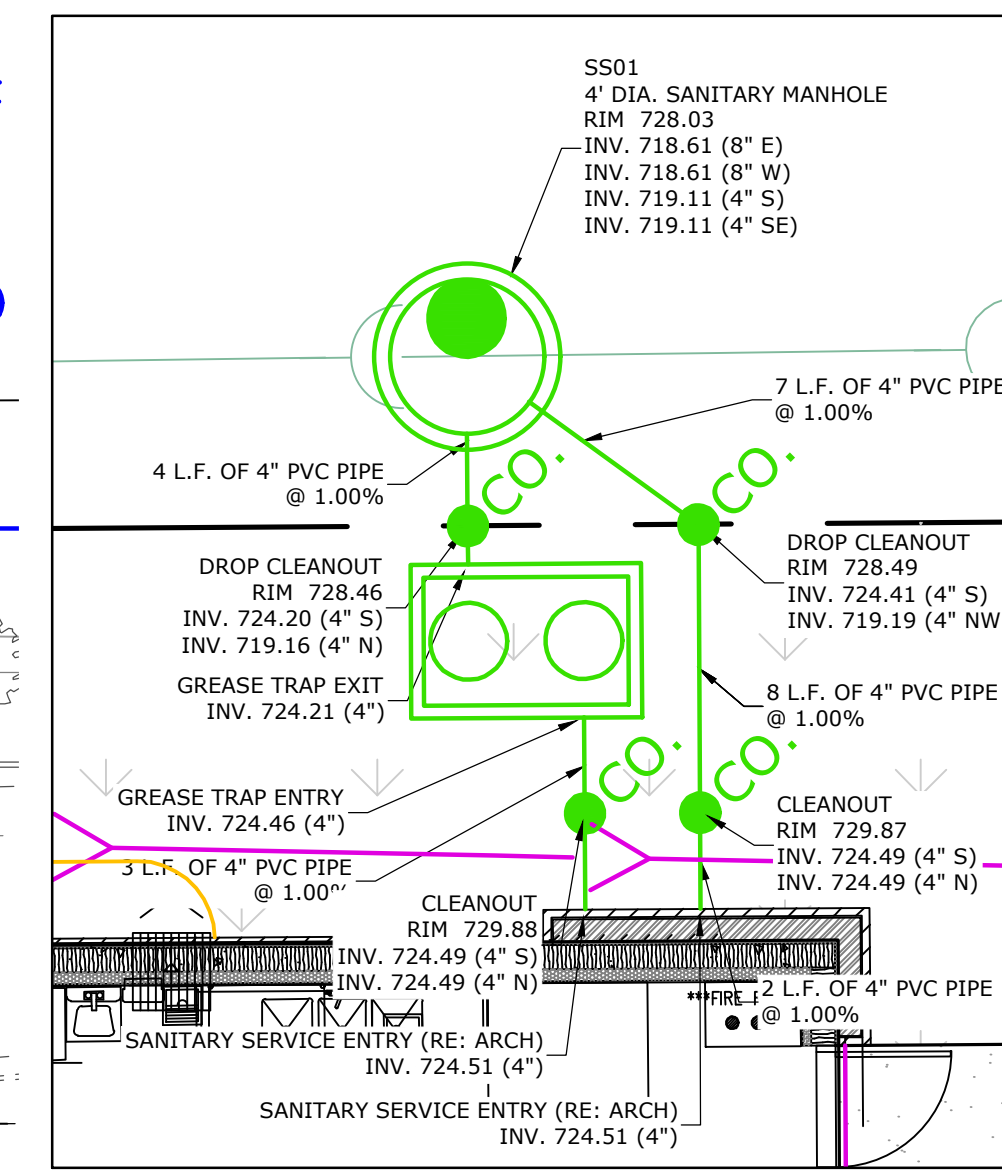
C07



LEGEND

- PROPERTY LINE
- W EXISTING WATER MAIN
- W PROPOSED WATER SERVICE
- SS EXISTING SANITARY SEWER
- SS PROPOSED SANITARY SEWER
- SS PROPOSED STORM SEWER
- G EXISTING GAS MAIN
- G PROPOSED GAS LINE
- E PROPOSED UNDERGROUND ELECTRIC SERVICE
- U/T PROPOSED TELEPHONE SERVICE
- O/U EXISTING OVERHEAD UTILITY LINES
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING WATER VALVE
- EXISTING WATER VALVE
- EXISTING MANHOLE OR CATCH BASIN
- PROPOSED SANITARY MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- LIGHT POLE AND FIXTURE

DETAIL A



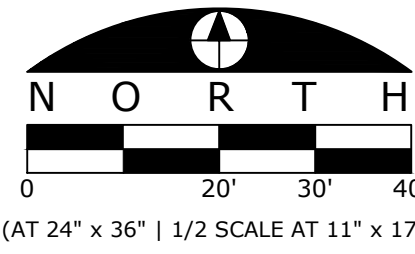
UTILITY NOTES

- THE CONTRACTOR SHALL PROVIDE PROPER SAFETY DEVICES IN ACCORDANCE WITH OSHA STANDARDS FOR ALL STAFF WORKING IN OPEN TRENCH CONDITIONS. TRENCH BOXES AND OTHER SHORING SHALL BE REQUIRED FOR ALL TRENCH WORK, IN THE RIGHT-OF-WAY, AND ON PRIVATE PROPERTY, WHILE THE SITE IS UNDER CONSTRUCTION.
- ALL PRIVATE WATER MAINS CONSTRUCTED ON THE PROPERTY ARE TO BE CONSTRUCTED WITH MATERIALS THAT FOLLOW THE STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL REQUIREMENTS FOR PIPE MATERIAL AND OTHER WATER MAIN APPURTENANCES PRIOR TO THE START OF CONSTRUCTION.
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK BY OTHERS, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- CONTACT ALL PUBLIC AND PRIVATE UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- CONTACT SUPERINTENDENT OF PUBLIC WORKS 2 WORKING DAYS BEFORE ANY WATER MAIN CONNECTIONS ARE PERFORMED. ALL CONNECTIONS SHOULD BE MADE BY A LICENSED PLUMBER.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- REFER TO BUILDING PLANS FOR EXACT LOCATIONS OF NEW UTILITY ENTRIES.
- CONTRACTOR SHALL SET ALL CLEANOUT, CASTINGS, AND VALVE BOXES TO FINISHED GRADE.
- ROUTE SITE ELECTRICAL TO LIGHT POLES, CANOPY, SIGN, ETC., AS SHOWN ON ARCHITECTURAL PLANS.

UTILITY KEY LEGEND

- CURB BOX (LOCATED AT PROPERTY LINE OR AS DIRECTED BY UTILITY OR VILLAGE)
- DOMESTIC WATER / FIRE SERVICE ENTRY (RE: ARCH)
- 500 GAL. GREASE TRAP (RE: ARCH / MEP)
- PROPOSED PHONE SERVICE (2 4" CONDUITS (VERIFY WITH UTILITY))
- PROPOSED ELECTRICAL SERVICE WITH PAD MOUNTED TRANSFORMER (3 PHASE, 800 AMP, 120/208 VOLTS, 4 WIRE)
- PROPOSED 2" SCH. 40 STEEL PIPE GAS SERVICE (COORDINATE INSTALLATION AND SLEEVING REQUIREMENTS WITH NICOR PRIOR TO CONSTRUCTION). FINAL LOADING BTUs TBD.
- GAS SERVICE ENTRY AND METER (RE: ARCH)
- PROPOSED PAD MOUNTED TRANSFORMER

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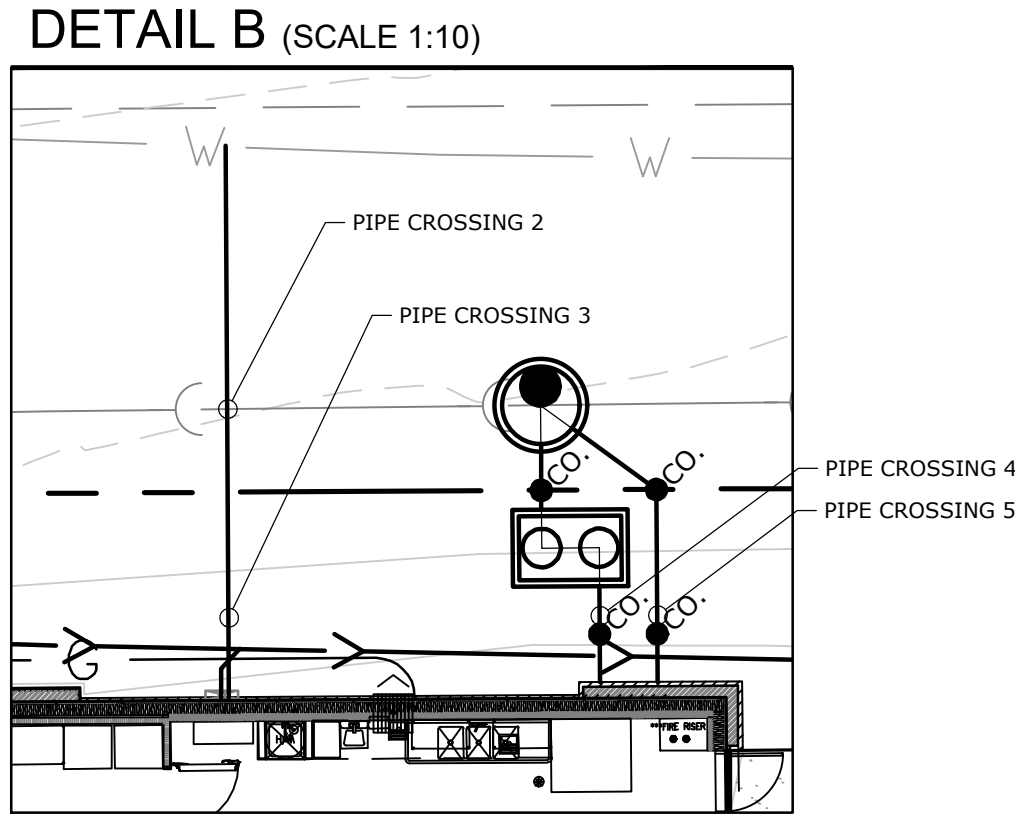
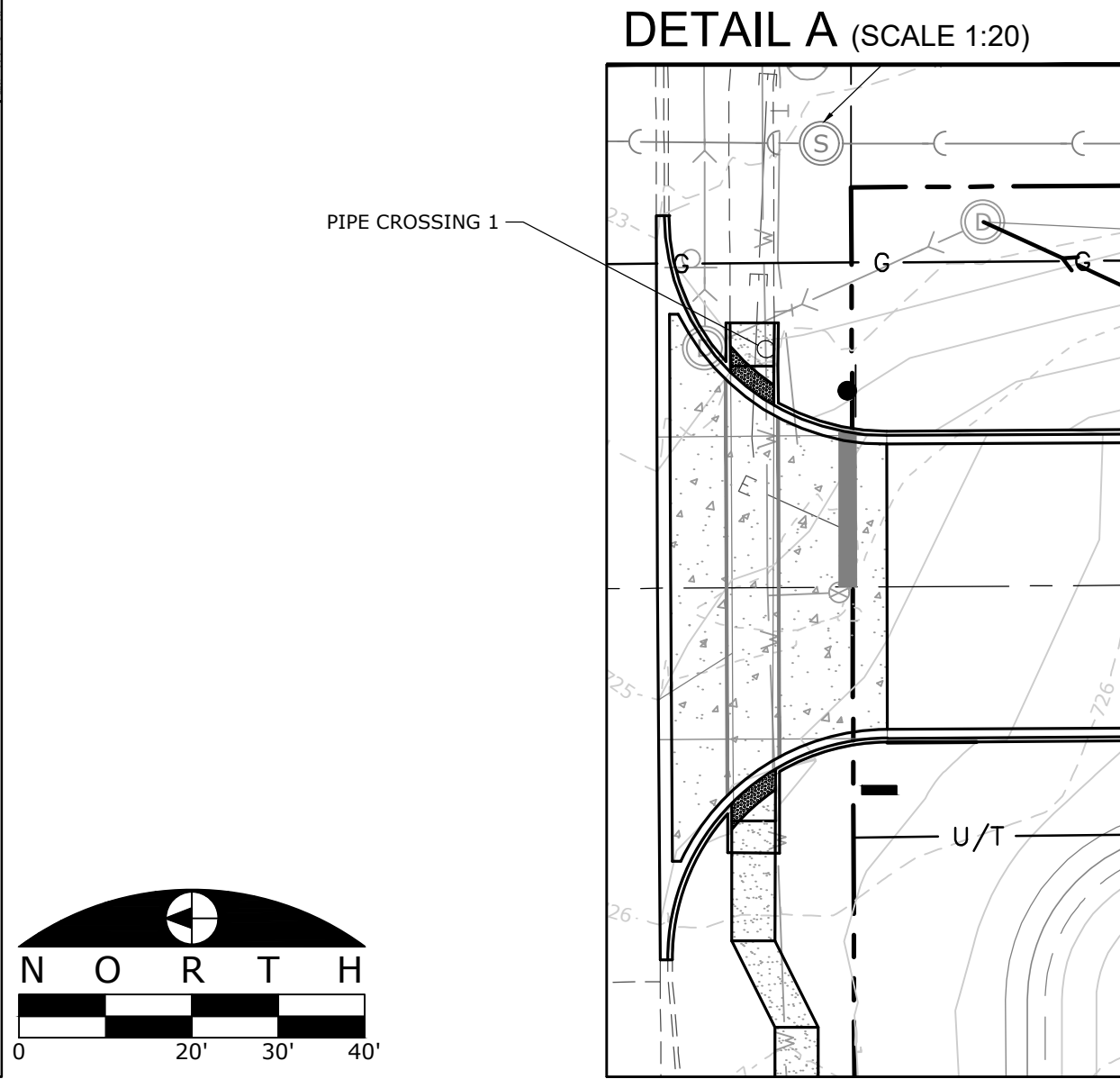
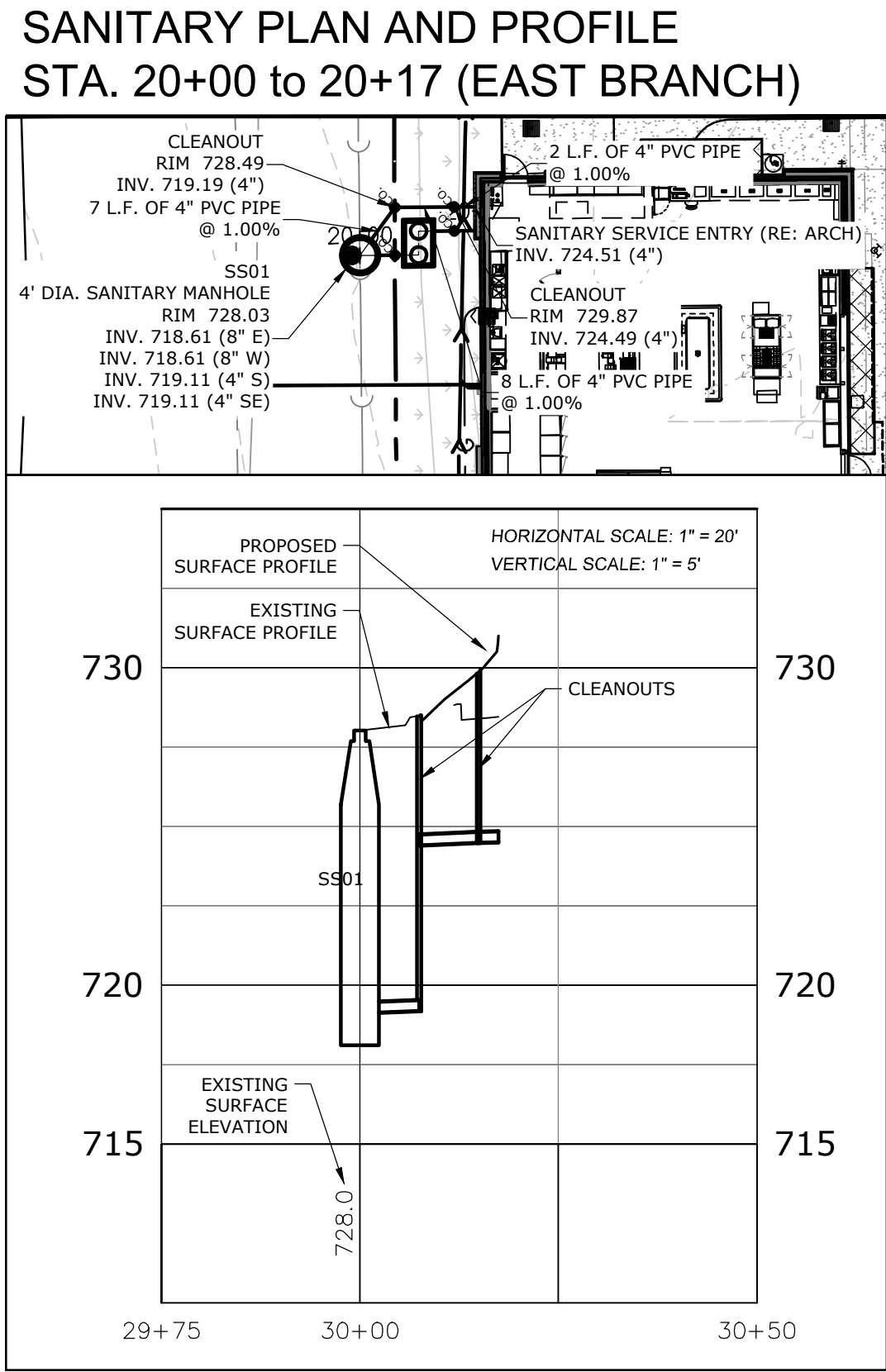
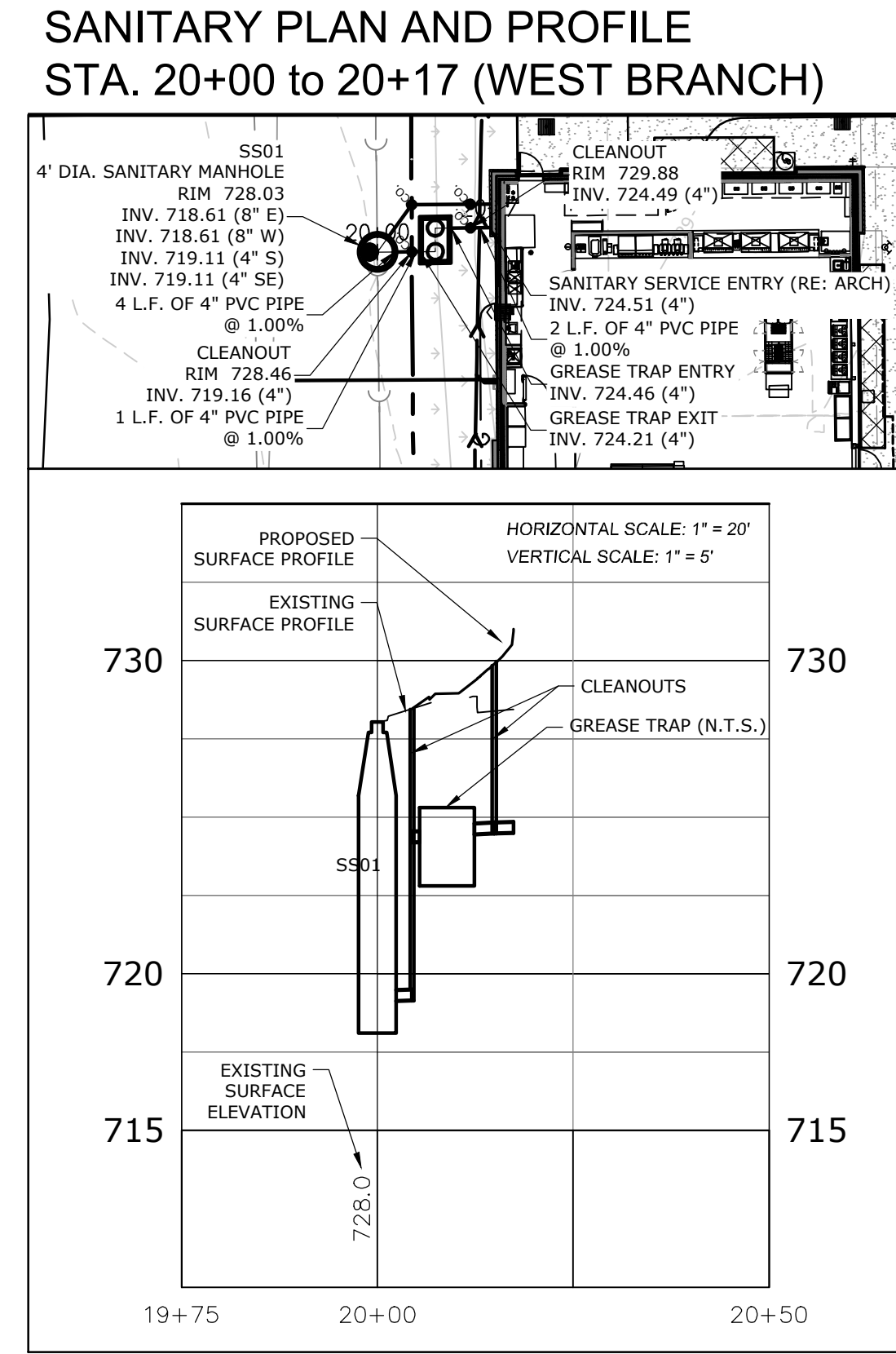
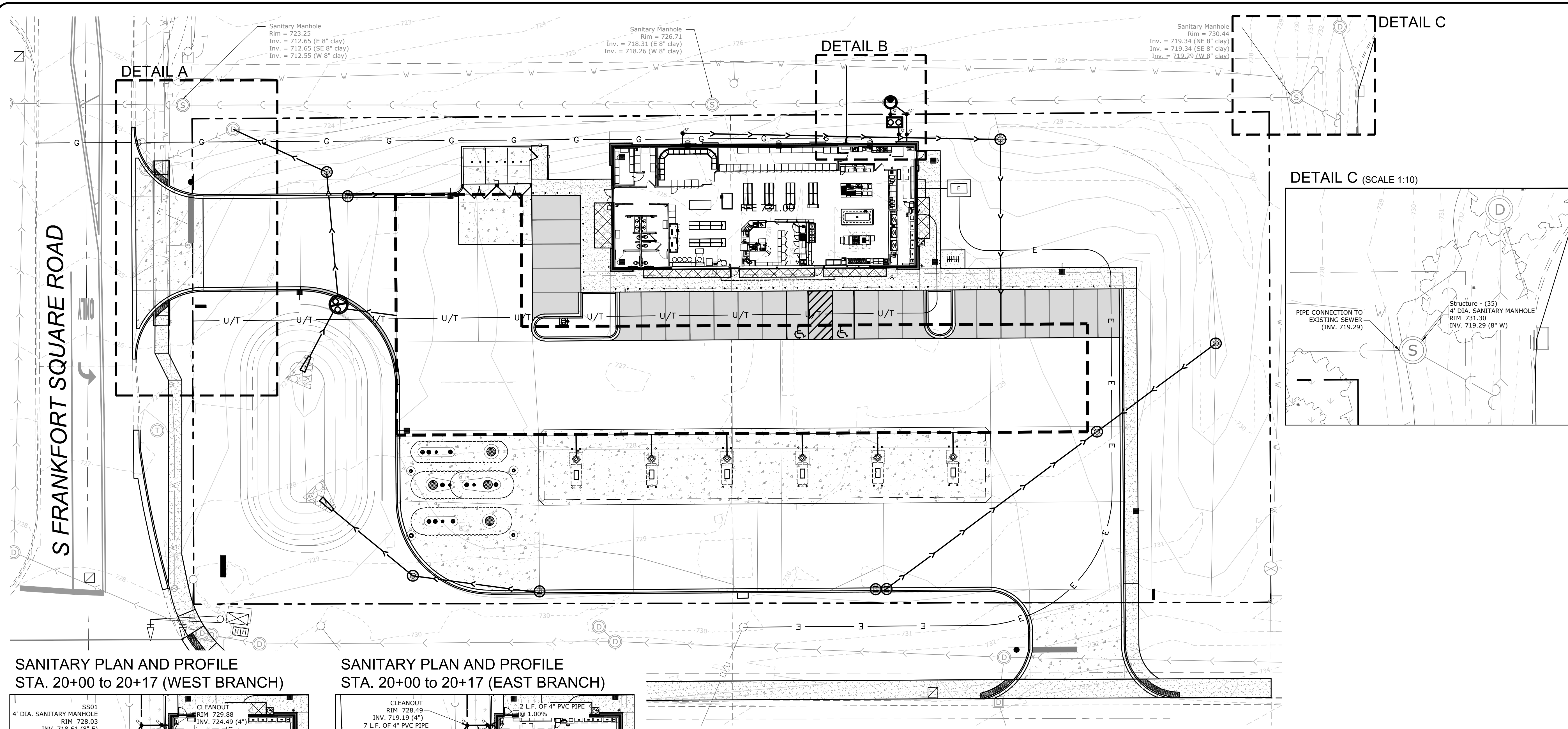
UTILITY PLAN

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PROJECT NUMBER
SHEET NUMBER

20033

C08



PIPE CROSSING TABLE			
PIPE CROSSING	PIPE	ELEV	CLEARANCE
PIPE CROSSING 1 BOTTOM OF TOP PIPE TOP OF BOTTOM PIPE	STORM WATER	718.9 UNKNOWN	CONTRACTOR TO VERIFY ELEVATION OF WATER PIPE PRIOR TO INSTALLATION OF STORM SEWER
PIPE CROSSING 2 BOTTOM OF TOP PIPE TOP OF BOTTOM PIPE	WATER SEWER	721.00' 718.51'	>1.5'
PIPE CROSSING 3 BOTTOM OF TOP PIPE TOP OF BOTTOM PIPE	STORM WATER	726.59' 721.00'	>1.5'
PIPE CROSSING 4 BOTTOM OF TOP PIPE TOP OF BOTTOM PIPE	STORM SEWER	726.33' 724.83'	1.5'
PIPE CROSSING 5 BOTTOM OF TOP PIPE TOP OF BOTTOM PIPE	STORM SEWER	726.37' 724.76'	1.61'

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SHEET TITLE

**UTILITY PLAN AND
PROFILES**

DRAWN TWL
CHECKED LND
PM RCS

PROJECT NUMBER
SHEET NUMBER

**20033
C08.1**



HYDROCHAIN™ VAULT

COMPOSITE VAULTS FOR MAXIMUM FLEXIBILITY, CAPACITY AND SUSTAINABILITY

The classic double-barrel vault shape of this innovative five-component Vault system provides both structural strength and design flexibility for stormwater management systems. Manufactured of lightweight composite material, site owners and contractors experience savings at every stage: shipping costs, excavation and installation labor and equipment costs, plus significant costs with the reduced need for stone backfill.

The underground vault system can eliminate the need for holding ponds, creating opportunities for green space. Adding end caps, cover tiles, close-offs and locks to the vaults offers unlimited design flexibility and creates a stormwater system with high-volume capacity per square foot.

HOW THE VAULT SYSTEM WORKS



- Stormwater flows into the inlet control structure.
- From there, stormwater flows into the main header row (forebay section), which contains trimmed end caps (weirs). The main header row can be configured in any shape or size to capture whatever volume is needed for the first flush of a rain event.
- The main header row incorporates a sediment barrier where total suspended solids (TSS) settle out on the sediment floor.
- As the flow increases in a rain event, stormwater flows over the weirs into the vault system's entire storage area.
- If desired, an outlet control structure can be used to control the release rate through an existing storm sewer system.
- Inspection ports can be added anywhere in the system.
- Maintenance of the header row is easily done through the inlet control structure.
- If a liner is used with the system, the water can be used for irrigation or greywater.

Superior to Concrete

Modular design for **quicker, easier installation** than concrete vaults

Conserves energy with less equipment used in **shipping and installation**

Can be configured for **multidirectional water flow**

Corrosion-resistant composite and **eco-friendly** soy resin

Designed to withstand **H-25/HS-25 axle loads**

Superior to Chambers

Up to 70% reduction of stone backfill

Design flexibility with configurations and accessories

More storage space with open bottom

XERXES®

HYDROCHAIN™ VAULT

HYDROCHAIN PRODUCTS FOR STORMWATER SYSTEMS OF ANY SCOPE

HydroChain Vaults can be installed as the foundation for a HydroChain System. The vault sections can be configured in numerous ways and in unlimited numbers to accommodate large volumes of stormwater. It is the ultimate composite solution to maximize stormwater management while minimizing site footprint.

BACKED BY DECADES OF SUCCESSFUL INSTALLATIONS

- 15 years of composite manufacturing and stormwater treatment technology
- Site-specific product design by in-house engineers
- Stringent quality control of manufacturing
- Comprehensive installation instructions

VAULT CAPACITIES

This chart includes storage volumes, dimensions and weights.

	U.S. Measurement	Metric Measurement
Bare vault system storage (vault and covers)	41.4 cu ft per unit	1.17 m³ per unit
Installed storage (per unit)	50 cu ft per unit	1.42 m³ per unit
Installed storage (per sq ft or sq m)	4.24 cu ft per square foot	1.29 m³ per square meter
W x H x L & Weights	41.3" x 36" x 41.3" 50 lbs	1049 mm x 914 mm x 1049 mm 22.7 kg

These estimates are based on 50,000 cu ft vault system with cover tray, 6 in / 15 cm base stone, 12 in / 30 cm top stone, and 40% porosity.

VAULT COMPONENTS

- Vault chamber – Maximizes storage value within a smaller footprint while retaining the same 4-foot section height as the standard S29 chamber system
- End cap – Allows complete design flexibility and flow rates
- Close off – Fills in the gap between the vaults and trays, preventing top backfill from entering the system
- Tray – Reduces the need for top stone backfill by creating a total cover plate
- Lock – Ensures that trays are locked together for added strength



Contact watersales@shawcor.com for more information on configuring chambers to meet your project requirements.

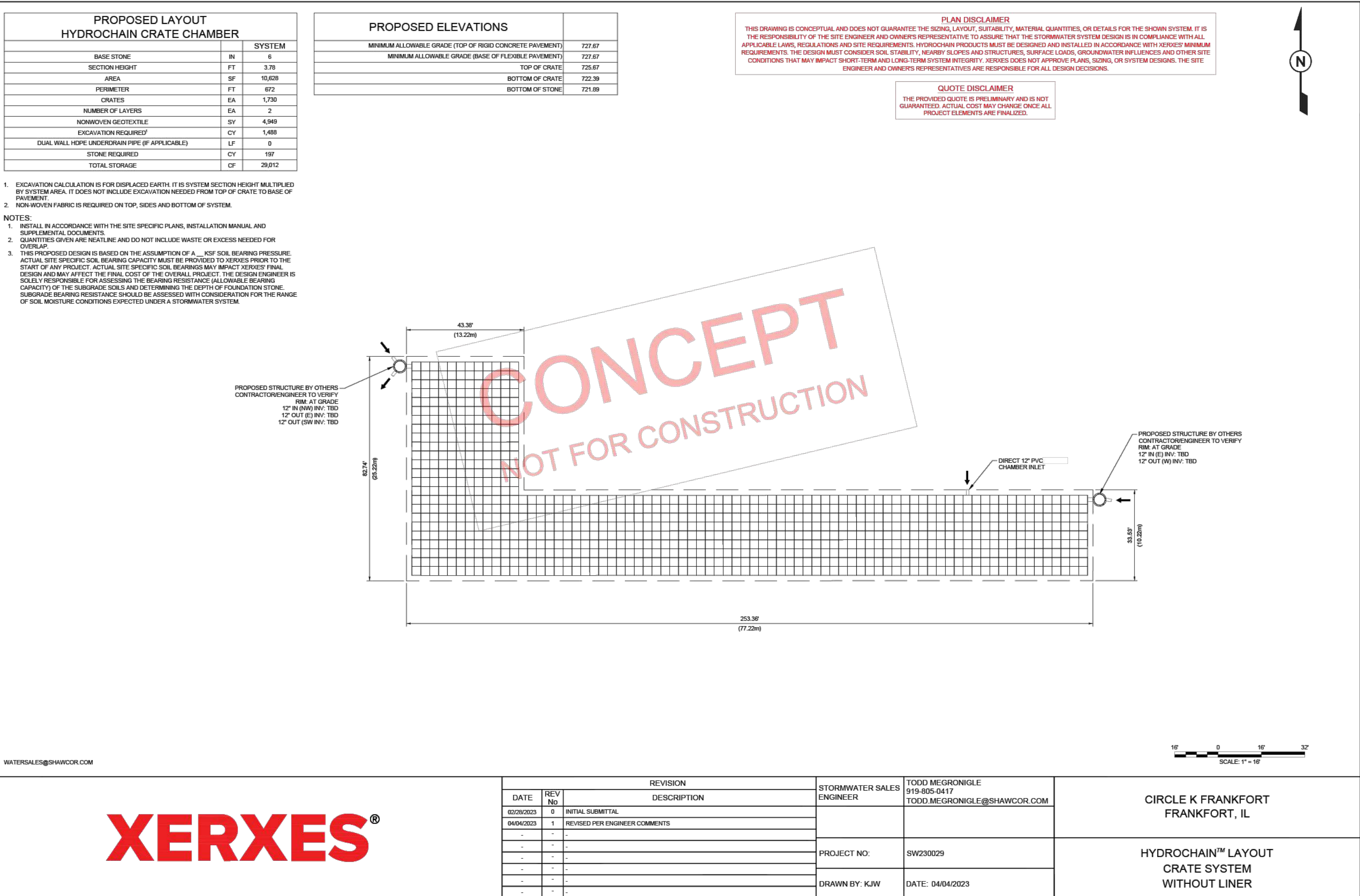
We are a global materials science technology company specializing in products and solutions for the water, energy, infrastructure and transportation markets. We continually pursue sustainable solutions that protect the environment, conserve resources and extend asset life.

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SHEET TITLE

**UNDERGROUND
DETENTION
DETAILS**

DRAWN: TWL
CHECKED: LND
PM: RCS

PROJECT NUMBER
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20033

C11

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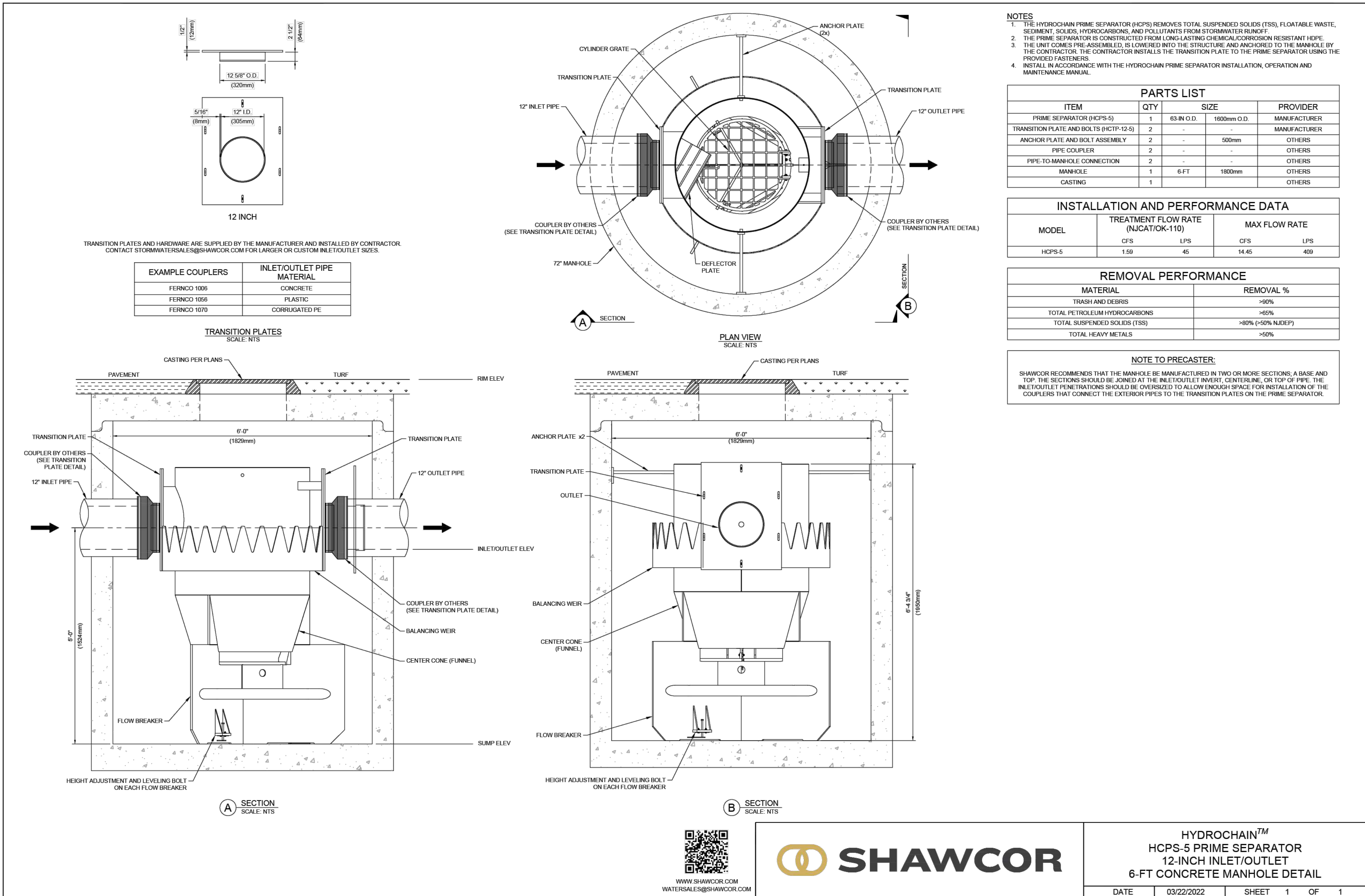
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DETAIL

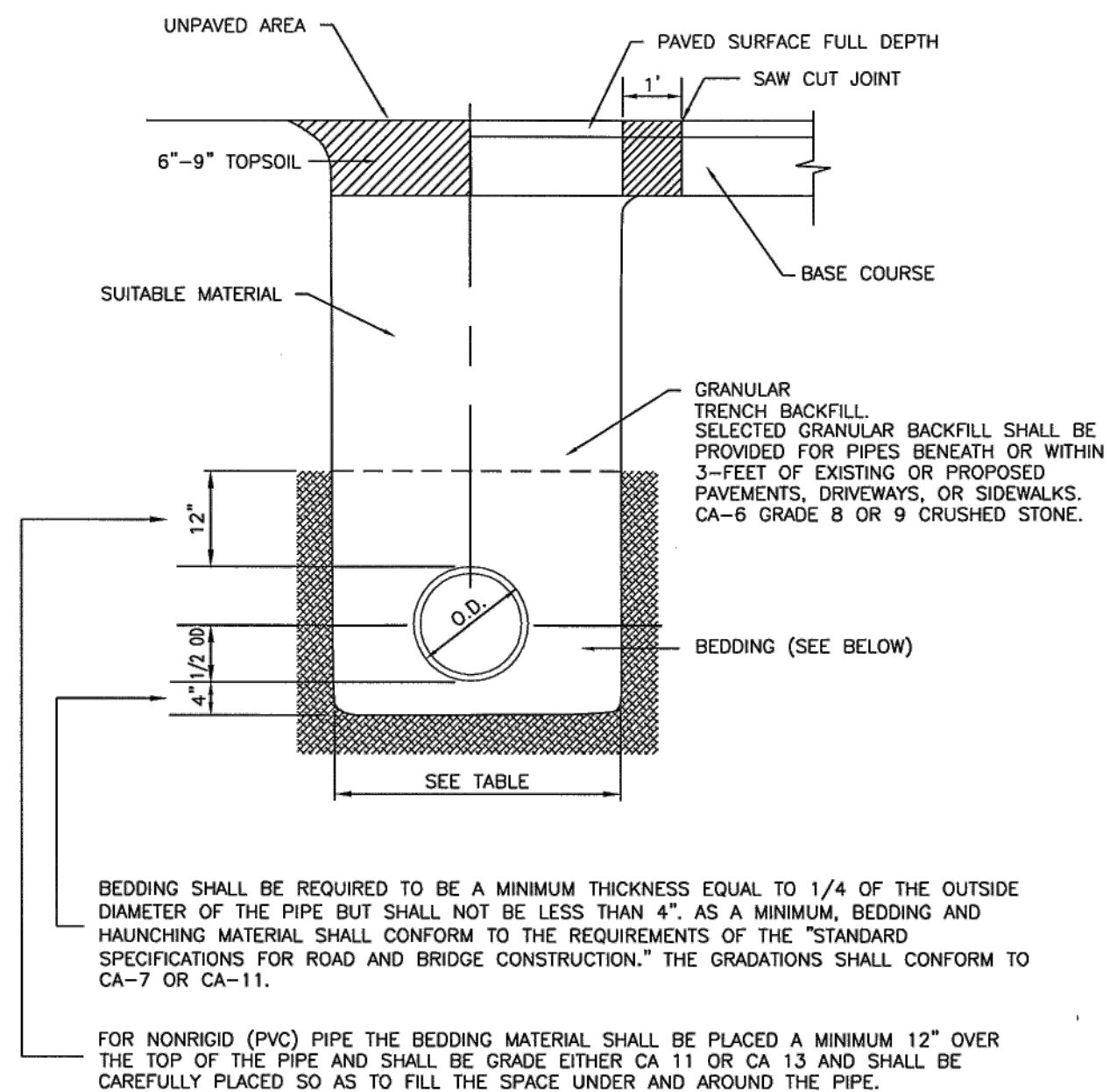
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PROJECT NUMBER
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C12





NOMINAL PIPE SIZES (INCHES)	TRENCH WIDTHS* (INCHES)
12 OR SMALLER	30
14-18	36
20-24	48
27-30	55
33 OR LARGER	1 1/3 TIMES PIPE O.D.

*TO COMPLY WITH OSHA REQUIREMENTS.

TRENCH BACKFILL DETAIL

EXHIBIT 2A
JUNE 2007

PRIOR TO PIPE LAYING AND JOINTING, THE TRENCH SHALL BE SUFFICIENTLY DEWATERRED TO MAINTAIN THE WATER LEVEL IN THE TRENCH AT OR BELOW THE BASE OF THE BEDDING. STATE/FEDERAL PERMITS, LICENSE AGREEMENTS, OR OTHER REQUIRED APPROVALS SHALL BE OBTAINED PRIOR TO DEWATERING.

SANITARY SEWER PIPE, SERVICE LINES AND THE JOINT SPECIFICATION SHALL BE AS FOLLOWS:

PIPE	PIPE MATERIAL	JOINT MATERIAL
DUCTILE IRON PIPE	ANSI A-21.51 CL50	ASA A-21.11
PVC SDR 26 (24" DIA. OR LESS)	ASTM D-3034	ASTM D-3212
PVC PROFILE PIPE (OVER 24" DIAMETER)	ASTM F-1803	ASTM D-3212
VTYON	ASTM D-1784	ASTM D-3212

WHERE SEPARATION FROM WATER MAIN CANNOT BE MAINTAINED AS REQUIRED BY IL RS, SANITARY SEWER SHALL BE MECHANICAL JOINT PVC PRESSURE PIPE MEETING C-900 OR C-905.

SEWERS SHALL BE LAID STRAIGHT IN BOTH HORIZONTAL AND VERTICAL PLANES BETWEEN MANHOLES WITH A MINIMUM COVER OF 4'.

SANITARY SEWERS SHALL BE LOCATED A MINIMUM OF 10' FROM ANY BUILDING AND MEETING SEPARATION REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS.

SERVICE LINES SHALL BE CONNECTED TO THE SEWER USING A WYE AT THE 10:00 AND 2:00 POSITIONS. SERVICE LINES NOT IMMEDIATELY CONNECTED TO THE BUILDING TO BE SERVED SHALL BE TIGHTLY PLUGGED, USING A PLUG PROVIDED BY THE PIPE MANUFACTURER FOR SUCH USE.

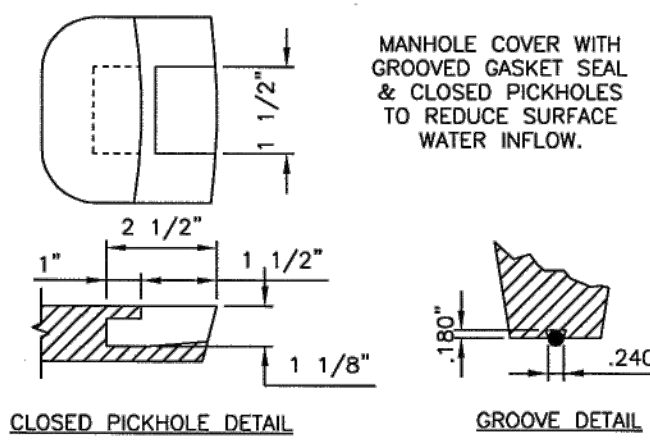
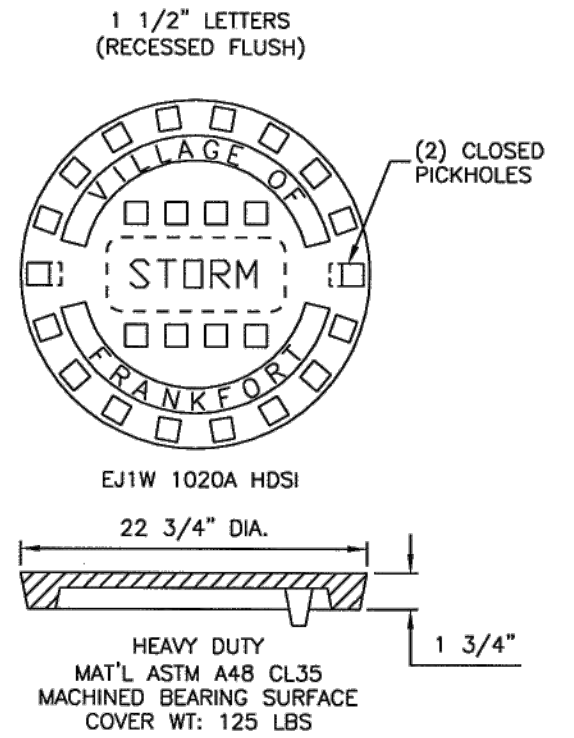
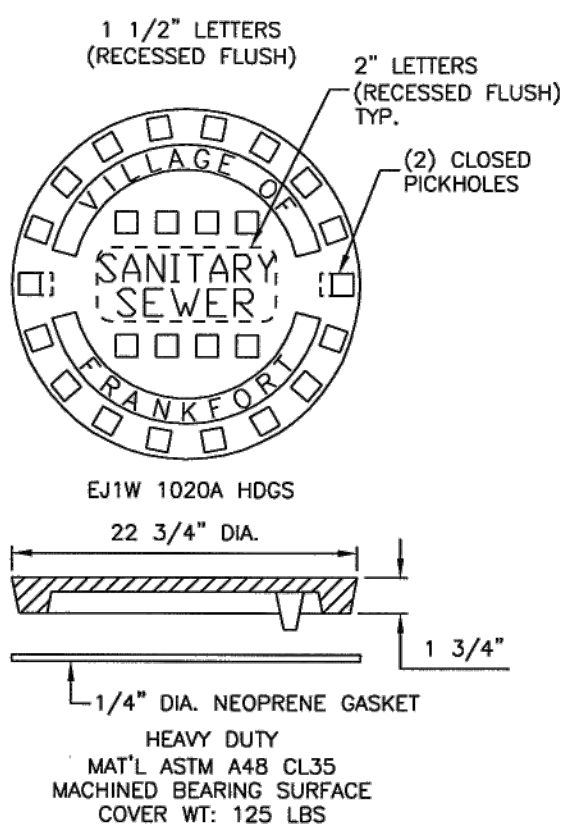
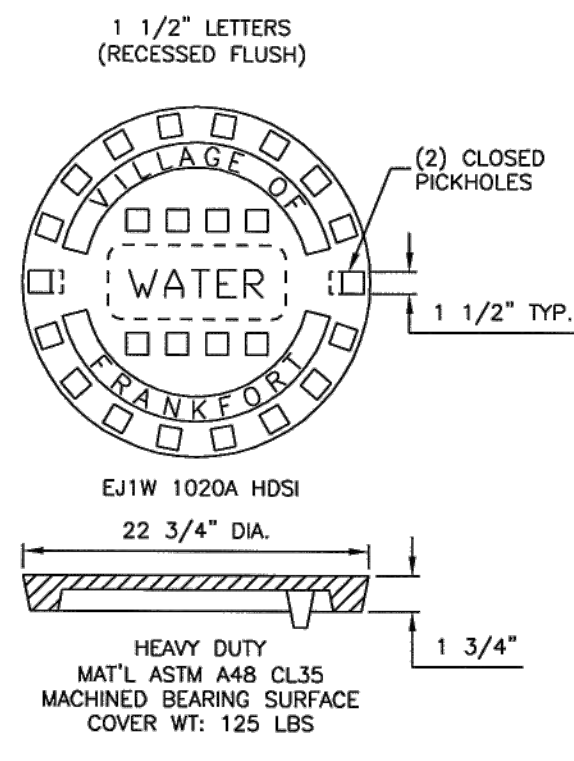
ALL SEWERS SHALL BE PRESSURE AND DEFLECTION TESTED IN ACCORDANCE WITH THE LATEST EDITION OF STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS.

VACUUM TESTING OF EACH MANHOLE SHALL BE CARRIED OUT IMMEDIATELY AFTER ASSEMBLY, AFTER ALL CONNECTIONS ARE MADE, AND PRIOR TO BACKFILLING. ALL LIFT HOLES SHALL BE PLUGGED WITH AN APPROVED NON-SHRINK GROUT. NO GROUT WILL BE PLACED IN THE HORIZONTAL JOINTS BEFORE TESTING. ALL PIPES ENTERING THE MANHOLE SHALL BE PLUGGED, TAKING CARE TO SECURELY BRACE THE PLUGS FROM BEING DRAWN INTO THE MANHOLE. THE TEST HEAD SHALL BE PLACED AT THE INSIDE OF THE TOP OF THE FRAME AND THE SEAL INFLATED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION. IF USING A "PLATE" STYLE MANHOLE TESTER, POSITION THE PLATE ON THE FRAME. A VACUUM OF 10 INCHES OF MERCURY SHALL BE DRAWN AND THE VACUUM PUMP SHUT OFF. WITH THE VALVES CLOSED, THE TIME SHALL BE MEASURED FOR THE VACUUM TO DROP TO 9 INCHES. THE MANHOLE SHALL PASS IF THE TIME IS GREATER THAN 60 SECONDS FOR A 48" DIAMETER MANHOLE, 75 SECONDS FOR A 60" MANHOLE AND 90 SECONDS FOR A 72" MANHOLE. IF THE MANHOLE FAILS THE TEST, MAKE NECESSARY REPAIRS AND REPEAT TEST PROCEDURES UNTIL A SATISFACTORY TEST IS OBTAINED.

ALL PUBLIC SANITARY SEWER EXTENSIONS SHALL BE INTERNALLY VIDEO TAPED BY REMOTE CAMERA. TAPES SHALL BE IN COLOR USING VHS OR CD-ROM FORMAT AND SUBMITTED WITH WRITTEN REPORTS TO THE VILLAGE ENGINEER FOR HIS REVIEW AND APPROVAL PRIOR TO ACCEPTANCE OF THE SEWER IMPROVEMENTS BY THE VILLAGE.

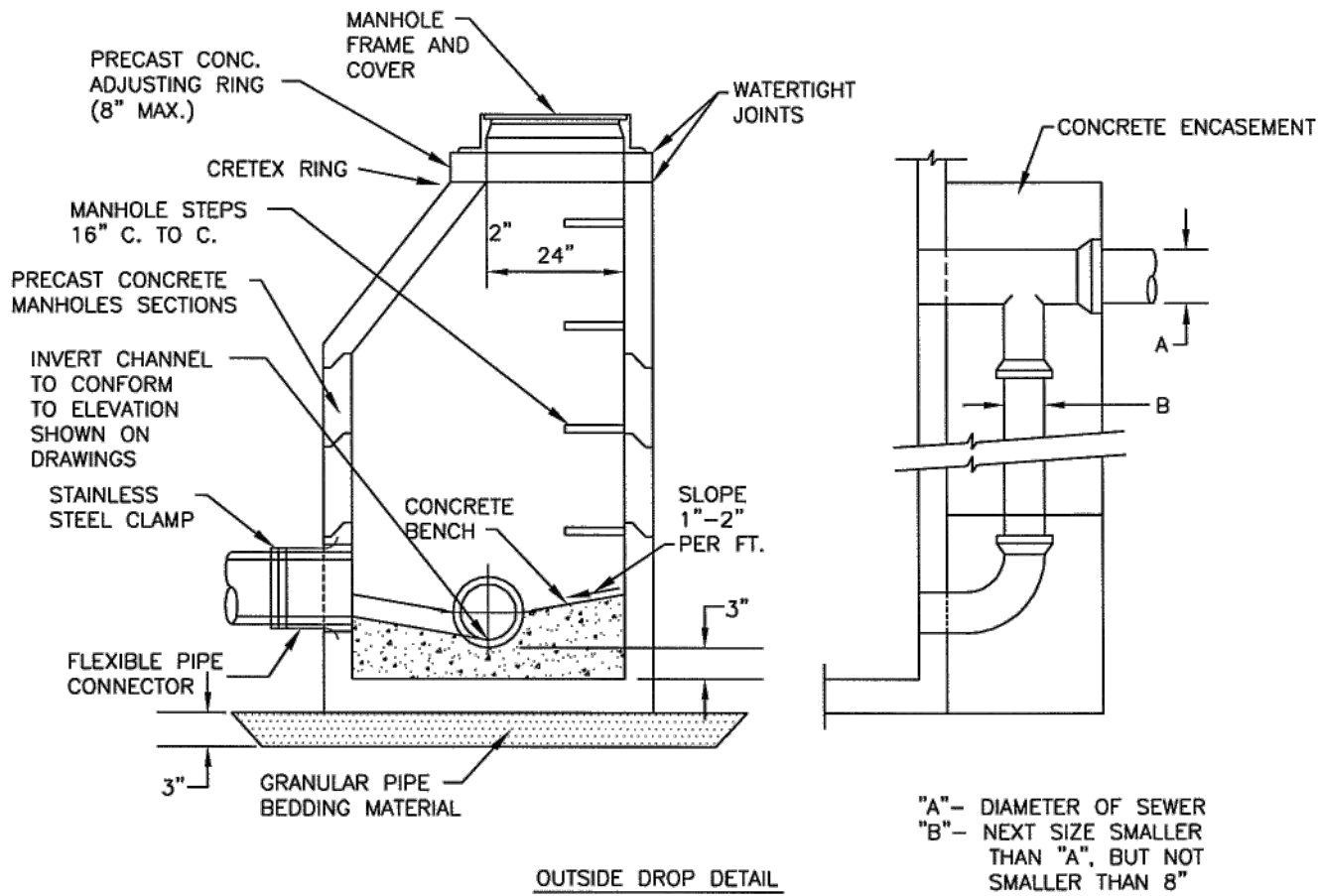
SANITARY SEWER SPECIFICATIONS

EXHIBIT 3A
JUNE 2007



SPECIAL LETTERED MANHOLE COVER

EXHIBIT 2B
JUNE 2007



- NOTES:
- ALL MANHOLES SHALL BE PRECAST, REINFORCED CONCRETE SECTIONS PER ASTM C-478.
 - USE 4'-0" INTERNAL DIAMETER FOR SEWER SIZES 8" THRU 21", 5'-0" DIAMETER FOR SEWER SIZES 24" THRU 33" UNLESS OTHERWISE NOTED.
 - ECCENTRIC CONES REQUIRED, FLAT SLAB TOPS PERMITTED ONLY FOR MANHOLES TOO SHALLOW FOR CONES.
 - ALL MANHOLES SHALL CONTAIN EPOXY COATED CAST IRON STEPS.
 - ALL JOINTS BETWEEN MANHOLE SECTIONS SHALL BE SEALED WITH MASTIC JOINT MATERIAL. ALL SANITARY MANHOLES SHALL BE PROVIDED WITH AN EXTERNAL ADAPTOR SEAL OR EQUAL, WITH A RUBBER SLEEVE TO SEAL THE OUTSIDE OF THE CHIMNEY FROM THE MANHOLE FRAME DOWN TO THE CORBEL, INSTALLED PER MANUFACTURERS INSTRUCTIONS.
 - USE OUTSIDE DROP WHEN ANY ENTERING SEWER INVERT DIFFERS BY 2'-0" OR MORE FROM INVERT OF MANHOLE.
 - MANHOLES SHALL BE VACUUM TESTED.

SANITARY MANHOLE DETAIL

EXHIBIT 3B
JUNE 2007

ARC DESIGN
RESOURCES INC.

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Illinois Design Firm License No. 184-001334

PROJECT NAME
OWNER'S NAME

CIRCLE K
FRANKFORT

7654 W LINCOLN HWY
FRANKFORT, IL 50423
WILL CO.

RDK VENTURES LLC
500 WARRENVILLE ROAD
LISLE, IL 60532
(815) 762-4861

CONSULTANTS

ISSUED FOR

	DATE
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REVISIONS

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SHEET TITLE

VILLAGE DETAILS

DRAWN TWVL
CHECKED LND
PM RCS

PROJECT NUMBER
SHEET NUMBER

20033

C13

STORM SEWERS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C76 MINIMUM CLASS III WITH O-RING JOINTS CONFORMING TO ASTM C443.

ALL STRUCTURE CONNECTIONS SHALL BE CONCRETE SEWER PIPE, ASTM C14 FOR EXTRA STRENGTH PIPE.

SUMP PUMP SERVICE CONNECTIONS SHALL BE 4" PVC SDR 26 UNLESS OTHERWISE NOTED.

CORRUGATED METAL PIPE SHALL BE HOT-DIPPED GALVANIZED STEEL OR ALUMINUM STEEL CONFORMING TO AASHTO M36.

- FOR 21" DIAMETER PIPE AND SMALLER, PROVIDE 16 GAUGE CMP.
- FOR 24" DIAMETER PIPE AND LARGER, PROVIDE 12 GAUGE CMP.

MINIMUM COVER SHALL BE 3' MINIMUM UNLESS SPECIAL PRECAUTIONS ARE SPECIFIED.

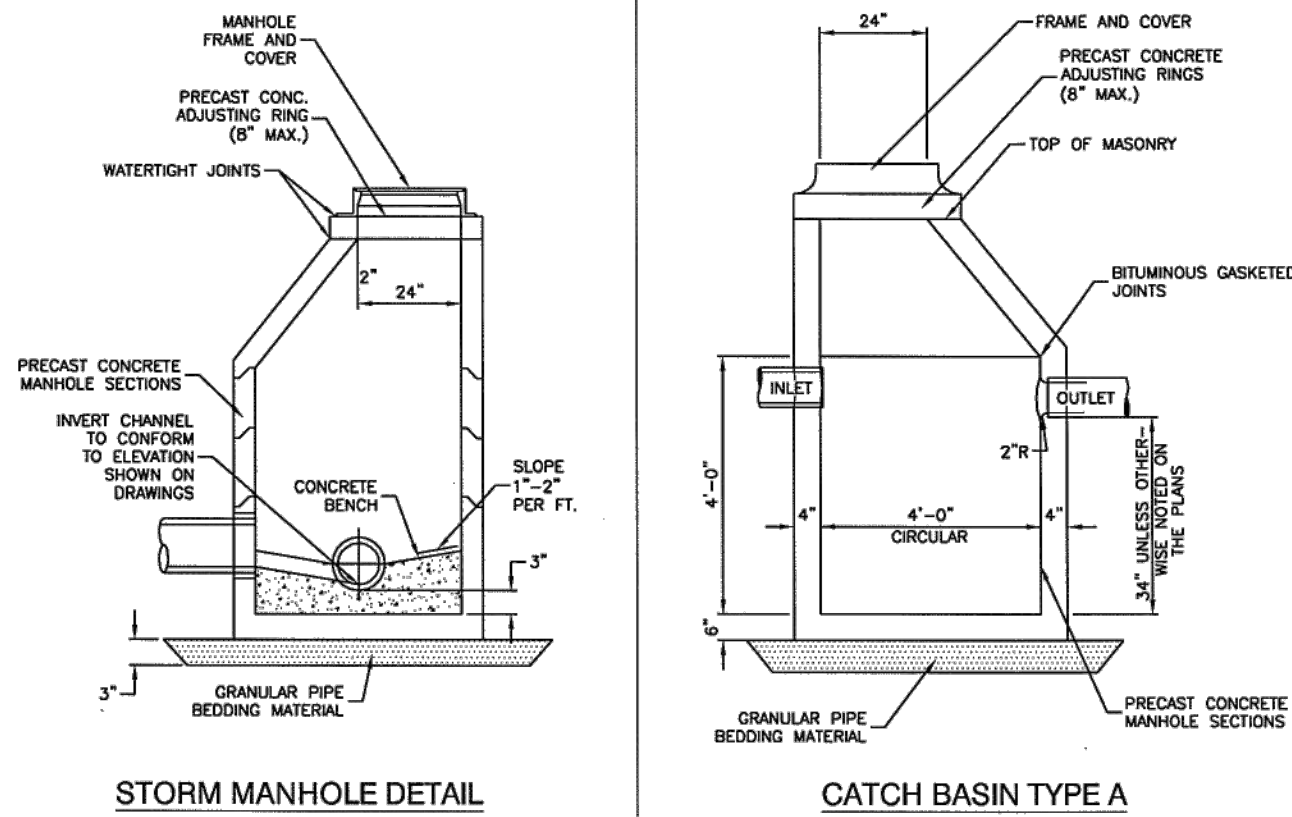
ALL FLARED END SECTIONS LESS THAN 48" (EFFECTIVE DIAMETER) REQUIRE GRATES IN ACCORDANCE WITH IDOT SPECIFICATIONS.

ALL CASTINGS SHALL BE MADE IN THE U.S.A. WITH U.S.A. MATERIALS. CLOSED COVERS SHALL BE STAMPED PER EXHIBIT 2B. OPEN COVERS SHALL HAVE THE GRATES AS SPECIFIED.

STRUCTURE LOCATION	STRUCTURE LABEL	MANUFACTURER NUMBER	MINIMUM OPEN AREA
BARRIER CURB			
MOUNTABLE CURB			
PAVED AREAS			
GRASSED AREAS			

STORM SEWER SPECIFICATIONS

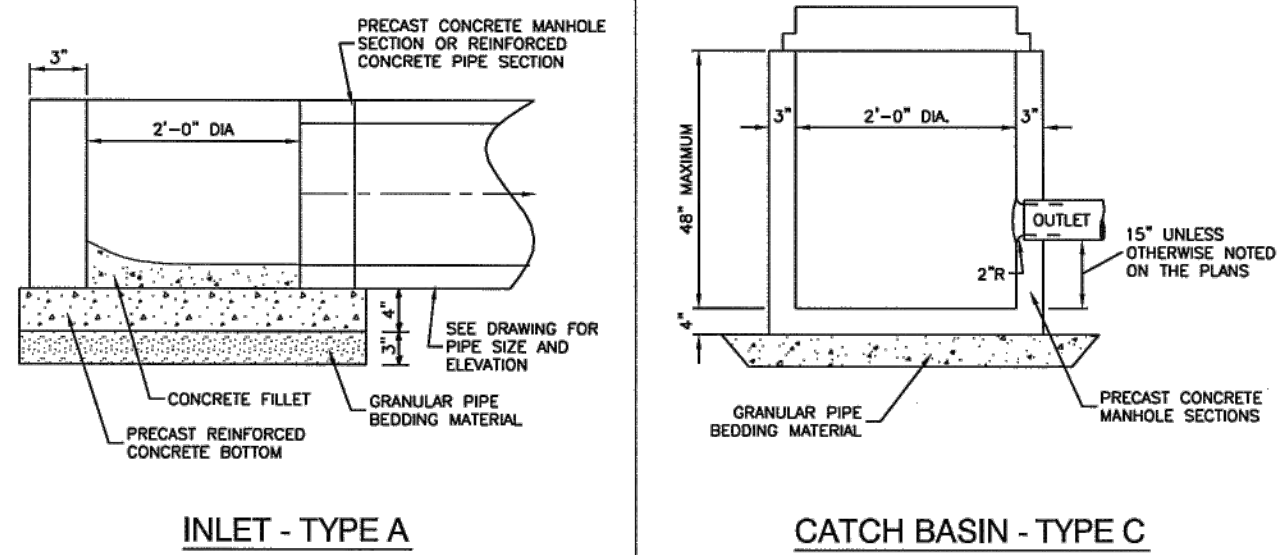
EXHIBIT 4A
JUNE 2007



- NOTES:
1. ALL CATCH BASINS SHALL BE 4'-0" DIAMETER UNLESS OTHERWISE NOTED ON THE PLANS.
 2. USE ECCENTRIC CONES UNLESS OTHERWISE INDICATED ON THE DRAWINGS. FLAT SLAB TOPS PERMITTED ONLY FOR MANHOLES TO SHALLOW FOR CONES.
 3. USE THE TYPE OF FRAME AND COVER INDICATED ON THE DRAWINGS AND/OR EXHIBIT 4A.
 4. A 2" WIDE NON-HARDENING BUTYL RUBBER MASTIC OF 1/4" MINIMUM THICKNESS SHALL BE INSTALLED BETWEEN ALL MANHOLE SECTIONS AND ADJUSTING RINGS FOR ALL STRUCTURES LYING IN PAVEMENT.

STORM MANHOLE & CATCH BASIN

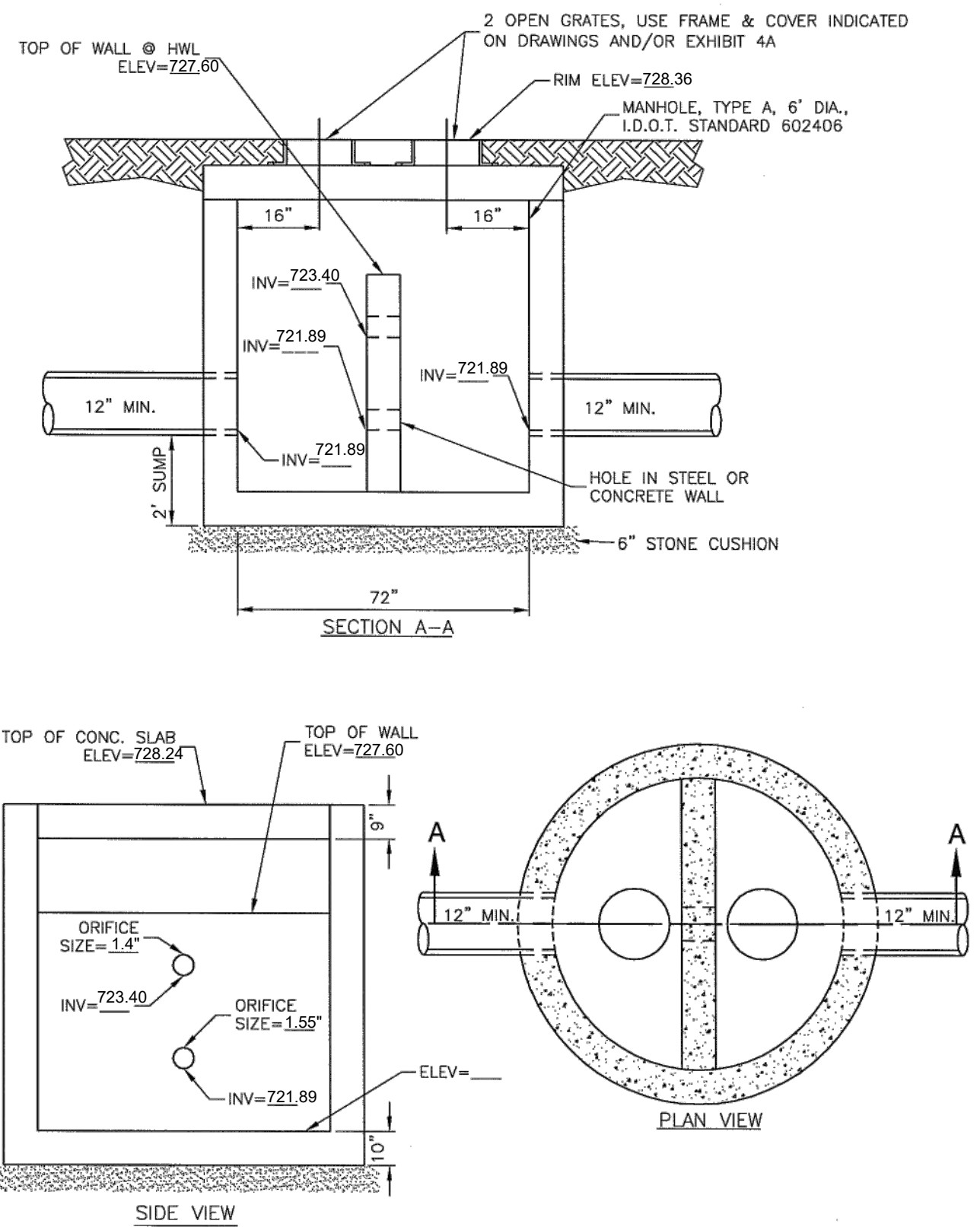
EXHIBIT 4B
JUNE 2007



- NOTES:
1. USE THE FRAME & COVER INDICATED ON DRAWINGS AND/OR EXHIBIT 4A.
 2. A 2" WIDE NON-HARDENING BUTYL RUBBER MASTIC OF 1/4" MINIMUM THICKNESS SHALL BE INSTALLED BETWEEN ALL MANHOLE SECTIONS AND ADJUSTING RINGS FOR ALL STRUCTURES LYING IN PAVEMENT.

STORM INLETS

EXHIBIT 4C
JUNE 2007



TYPICAL OUTLET CONTROL STRUCTURE (RECOMMENDED)

EXHIBIT 4E
JUNE 2007

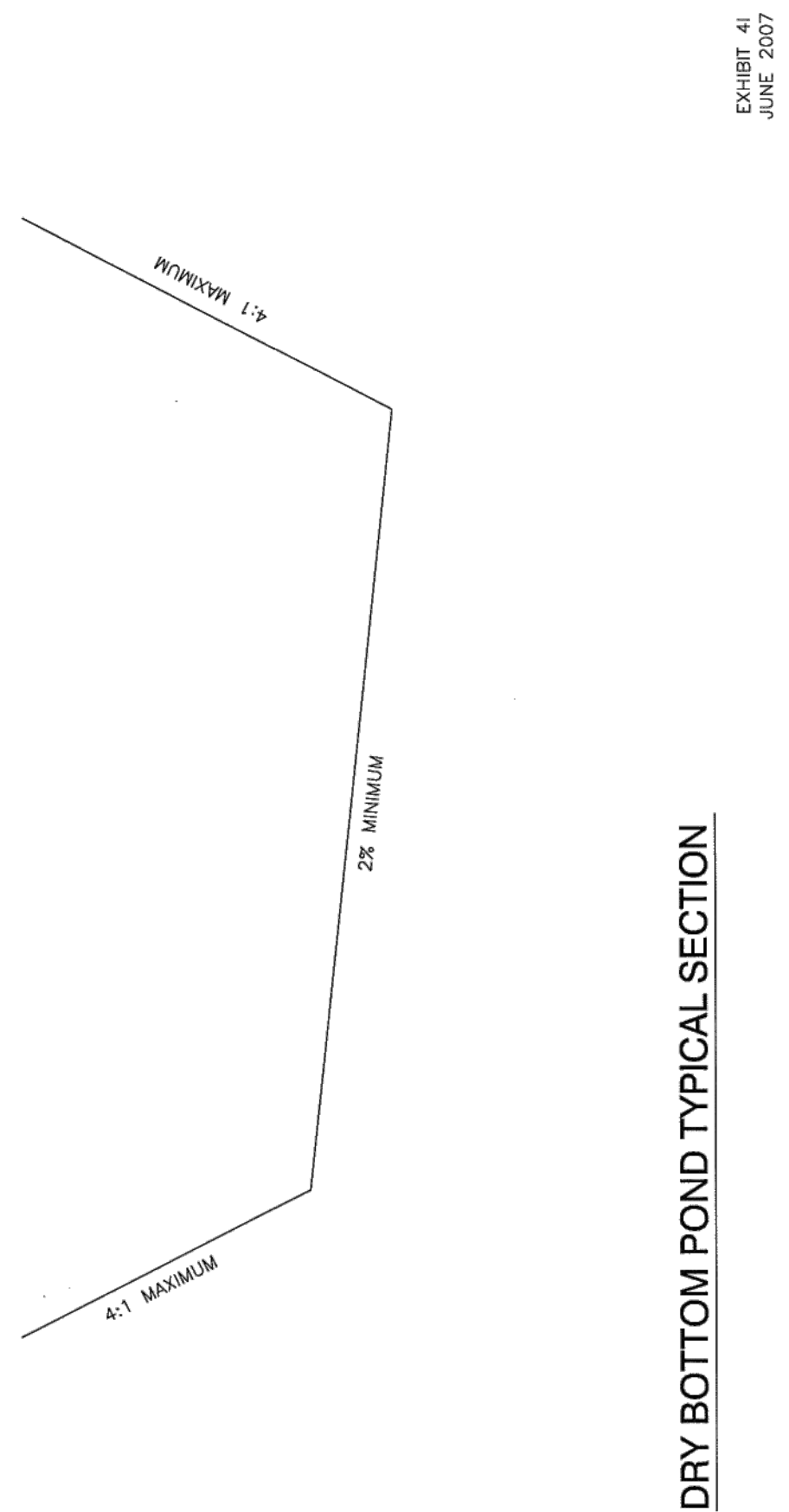
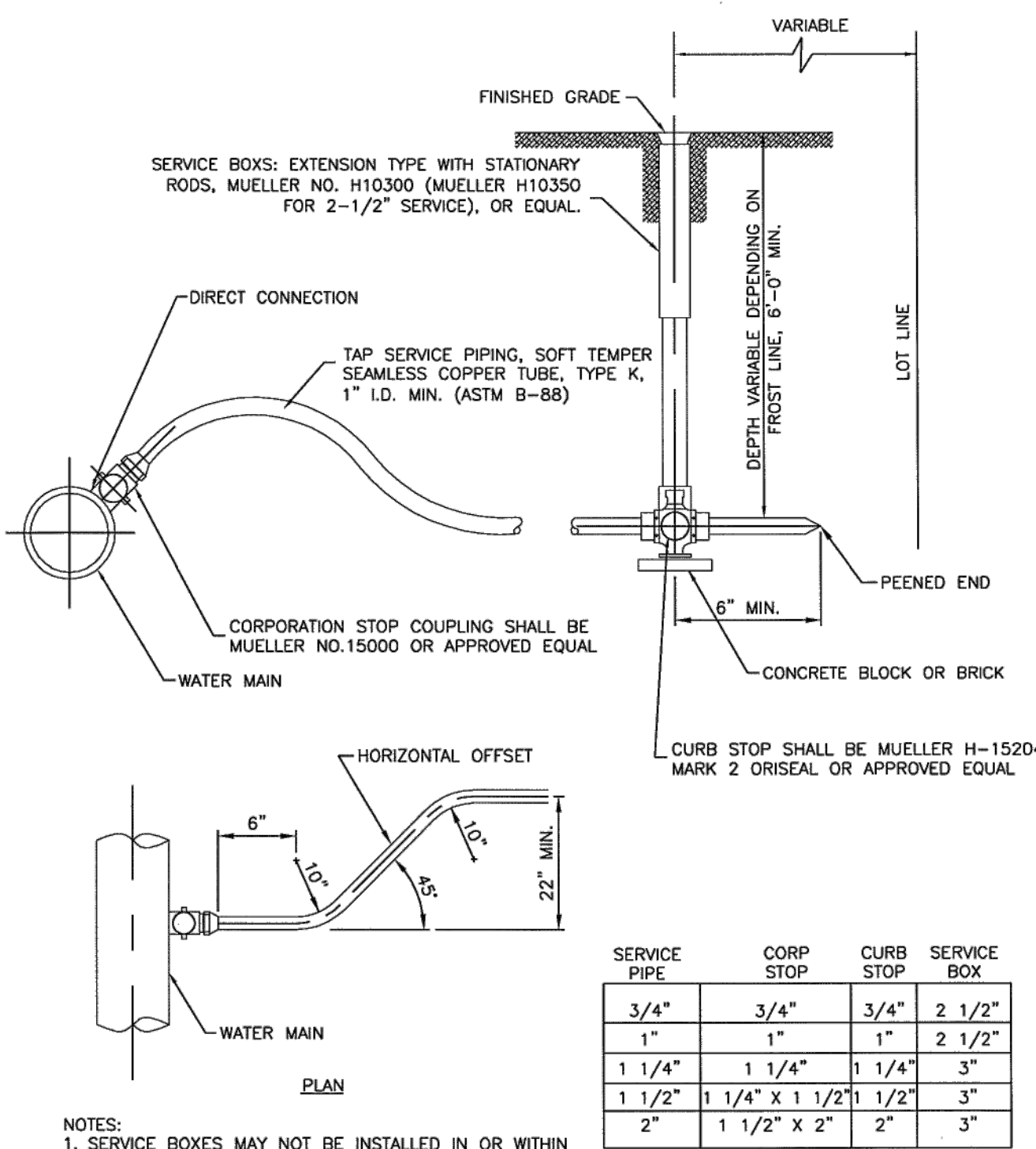


EXHIBIT 4I
JUNE 2007



- NOTES:
1. SERVICE BOXES MAY NOT BE INSTALLED IN OR WITHIN 2' OF ANY PAVEMENT OR WALK.
 2. ALL SERVICE TAPS SHALL BE FULL STAINLESS STEEL OR WITH A MANUFACTURED TAP COUPLING.
 3. PROVIDE FULL SLEEVE STAINLESS STEEL SERVICE SADDLES FOR CONNECTIONS TO PVC PIPES, McDONALD SERIES NO. 3805 OR MUELLER SERIES NO. H16000, OR EQUAL.

TYPICAL WATER SERVICE INSTALLATION

EXHIBIT 5F
JUNE 2007

PROJECT NAME
OWNER'S NAME

CIRCLE K FRANKFORT

7654 W LINCOLN HWY
FRANKFORT, IL 50423
WILL CO.

RDK VENTURES LLC
500 WARRENVILLE ROAD
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(815) 762-4861

CONSULTANTS

ISSUED FOR

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REVISIONS	DATE
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SHEET TITLE

VILLAGE DETAILS

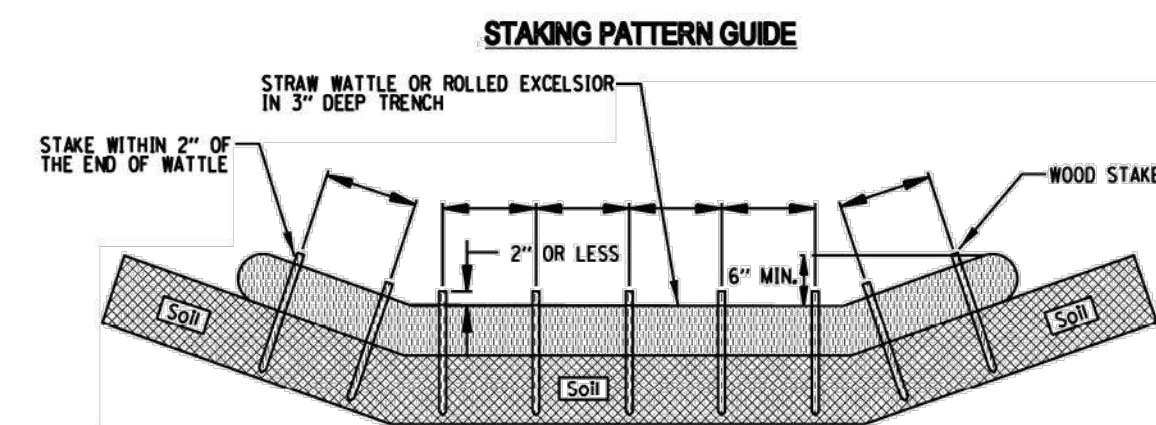
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CHECKED: LND
PM: RCS

PROJECT NUMBER
SHEET NUMBER

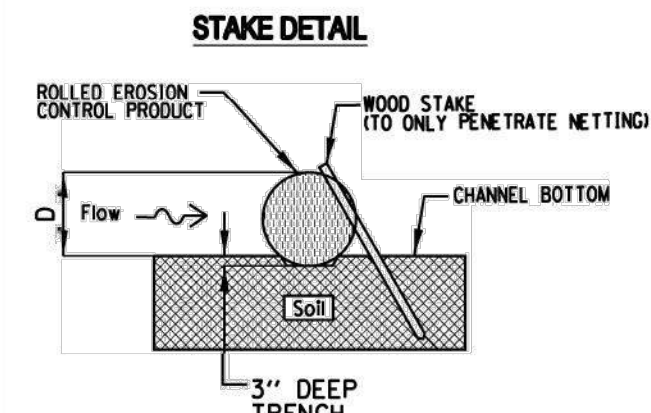
20033

C14

ROLLED EROSION CONTROL PRODUCTS



- NOTES:
1. OVERLAP MINIMUM IS THE DIAMETER OF THE ROLL.
 2. 4" SPACING FOR WATTLES.
 3. 2" SPACING FOR ROLLED EXCELSIOR.
 4. OR SPACE ACCORDING TO MANUFACTURER'S SPECIFICATIONS.



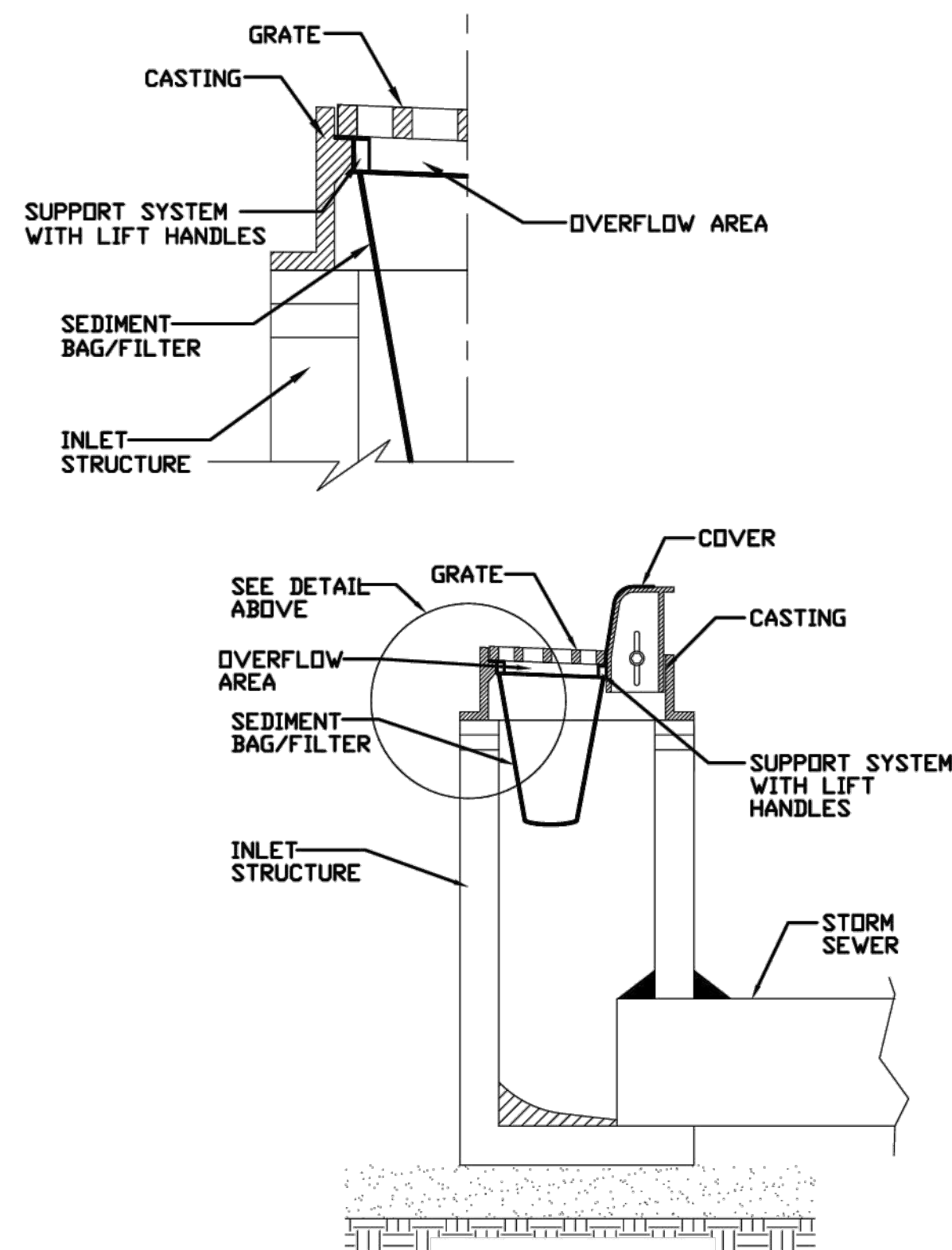
- NOTES:
1. DRAWINGS ARE NOT TO SCALE.
 2. ENDS OF WATTLES OR ROLLED EXCELSIOR SHALL BE TURNED AT LEAST 6" UPSLOPE.
 3. RECOMMENDED STAKES ARE 1 1/8" WIDE x 1 1/8" THICK x 30" LONG.
 4. STAKES SHALL NOT EXTEND ABOVE THE STRAW WATTLE MORE THAN 2".
 5. SPACING: THE TOE OF THE UPSTREAM DITCH CHECK SHALL CREATE A HORIZONTAL LINE WITH THE TOP OF THE DOWNSTREAM DITCH CHECK.

REFERENCE
Project _____
Designed _____ Date _____
Checked _____ Date _____
Approved _____ Date _____



STANDARD DWG. NO.
IUM-514
SHEET 1 OF 1
DATE 08-2-2019

INLET PROTECTION - PAVED AREAS DROP-IN PROTECTION

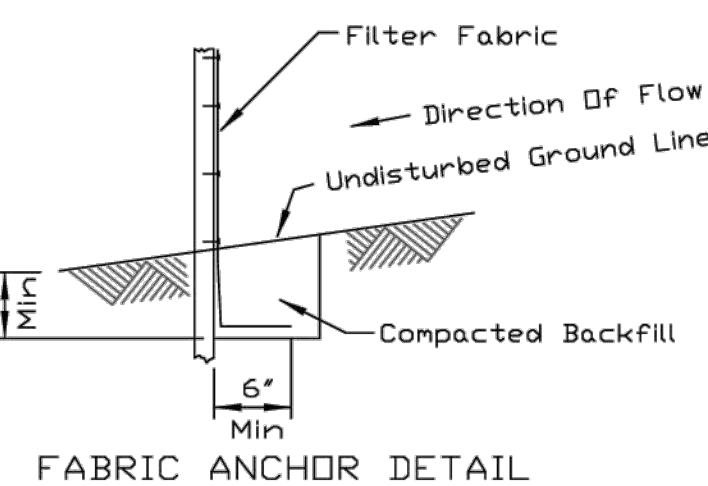
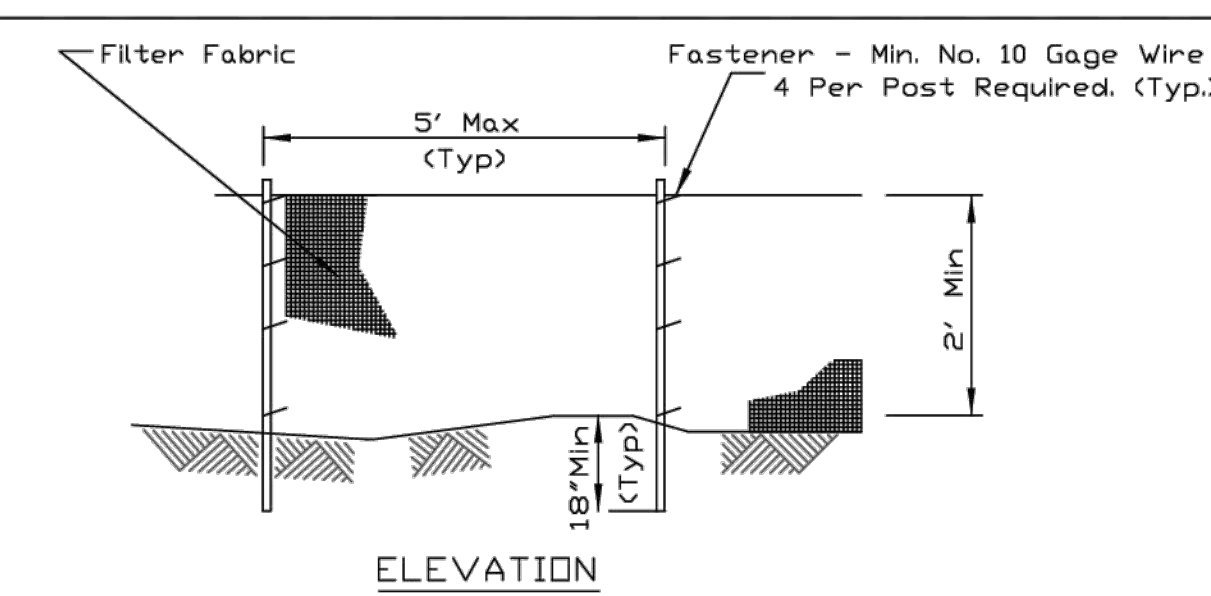


REFERENCE
Project _____
Designed _____ Date _____
Checked _____ Date _____
Approved _____ Date _____



STANDARD DWG. NO.
IUM-561D
SHEET 1 OF 1
DATE 01-11-11

SILT FENCE PLAN



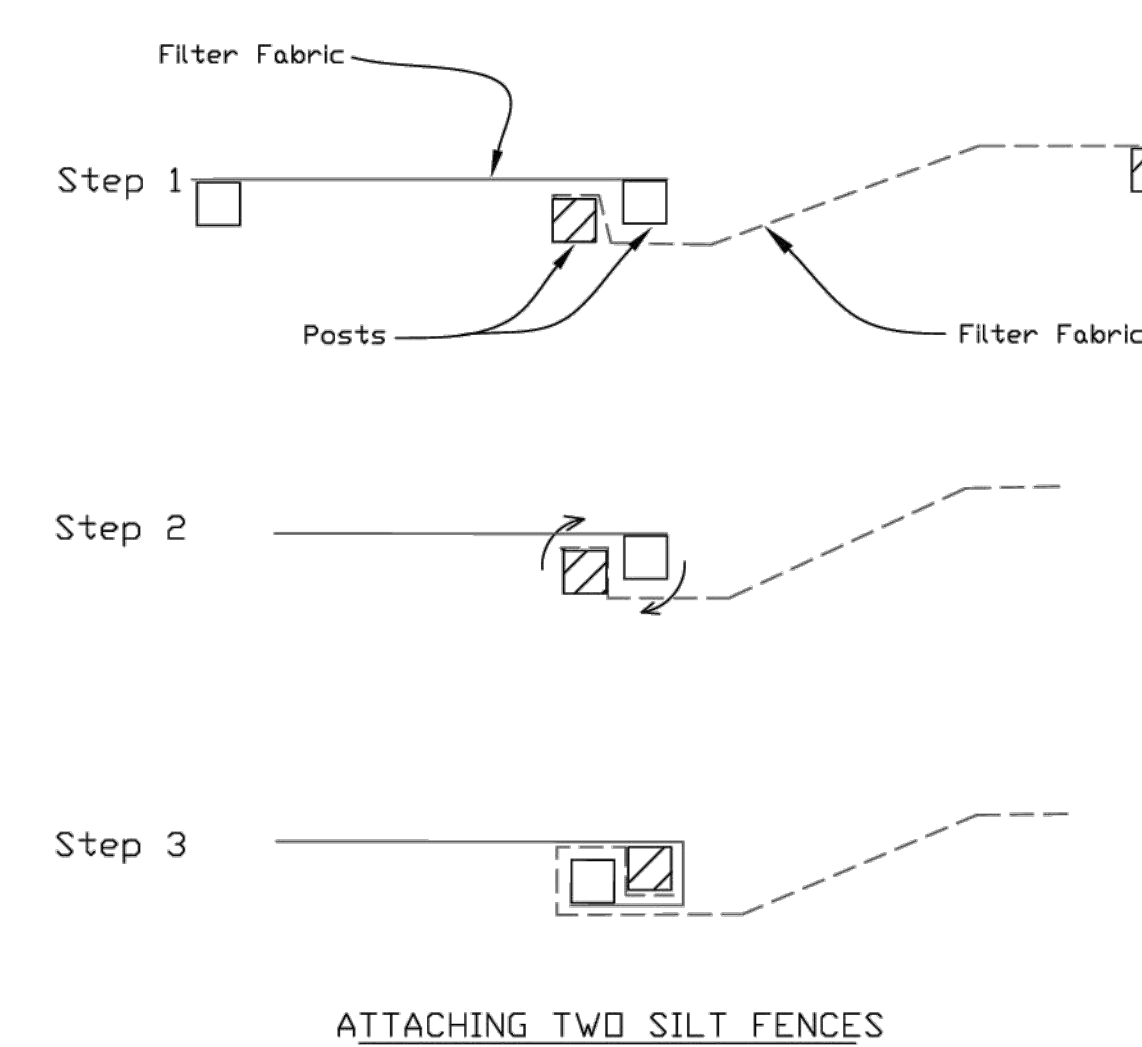
- NOTES:
1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
 2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 40 for woven.
 3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE
Project _____
Designed _____ Date _____
Checked _____ Date _____
Approved _____ Date _____



STANDARD DWG. NO.
IUM-620A
SHEET 1 OF 2
DATE 3-16-12

SILT FENCE - SPLICING TWO FENCES



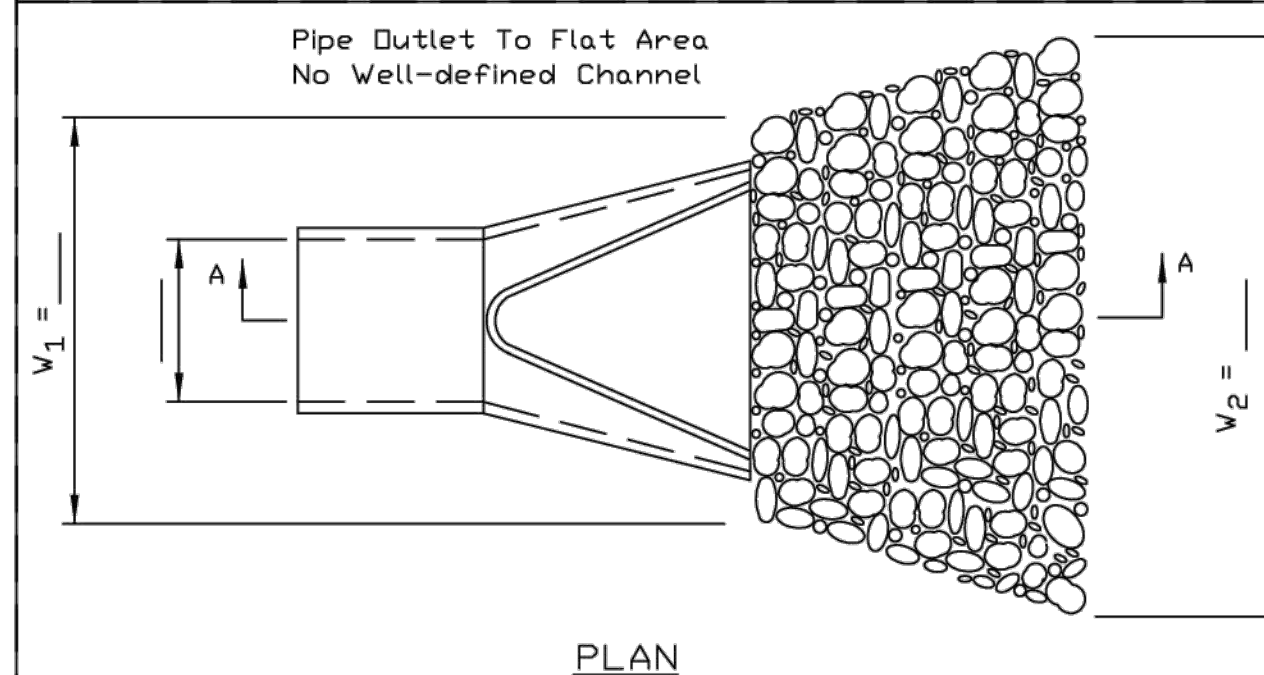
1. Place the end post of the second fence inside the end post of the first fence.
2. Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
3. Cut the fabric near the bottom of the stakes to accommodate the 6' flap.
4. Drive both posts a minimum of 18 inches into the ground and bury the flap.
5. Compact backfill (particularly at splices) completely to prevent stormwater piping.

REFERENCE
Project _____
Designed _____ Date _____
Checked _____ Date _____
Approved _____ Date _____



STANDARD DWG. NO.
IUM-620B(W)
SHEET 1 OF 1
DATE 3-16-2012

PIPE OUTLET TO FLAT AREA



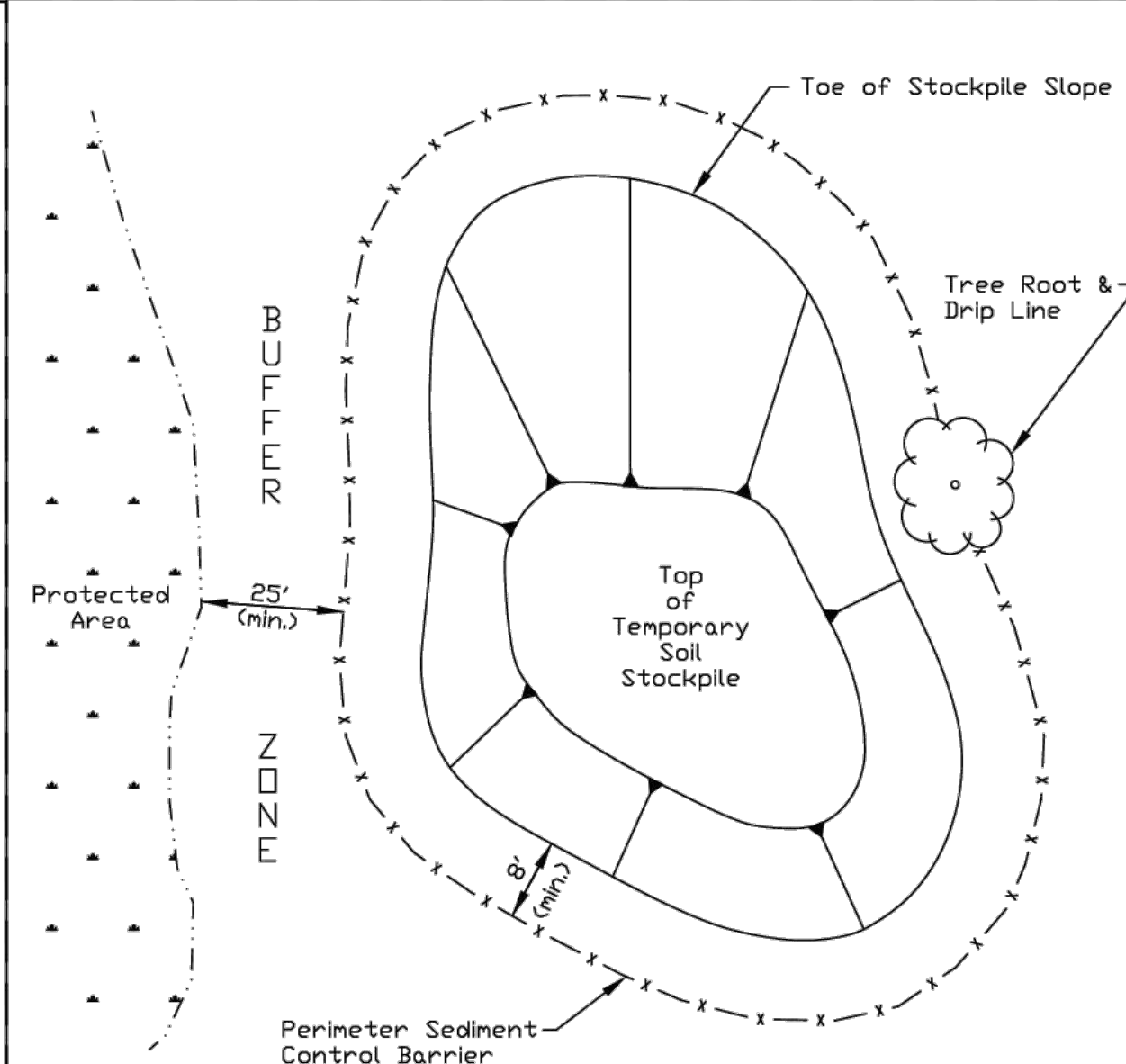
- NOTES:
1. The filter fabric shall meet the requirements in material specifications 592 GEOTEXTILE Table 1 or 2, class I, II or III.
 2. The rock riprap shall shall meet the IDOT requirements for the following gradation: RR _____, Quality _____.
 3. The riprap shall be placed according to construction specification 61 LODSE ROCK RIPRAP. The rock may be equipment placed.

REFERENCE
Project _____
Designed _____ Date _____
Checked _____ Date _____
Approved _____ Date _____



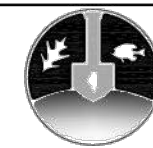
STANDARD DWG. NO.
IL-610
SHEET 1 OF 1
DATE 9-15-93

TEMPORARY SOIL STOCKPILE DETAIL



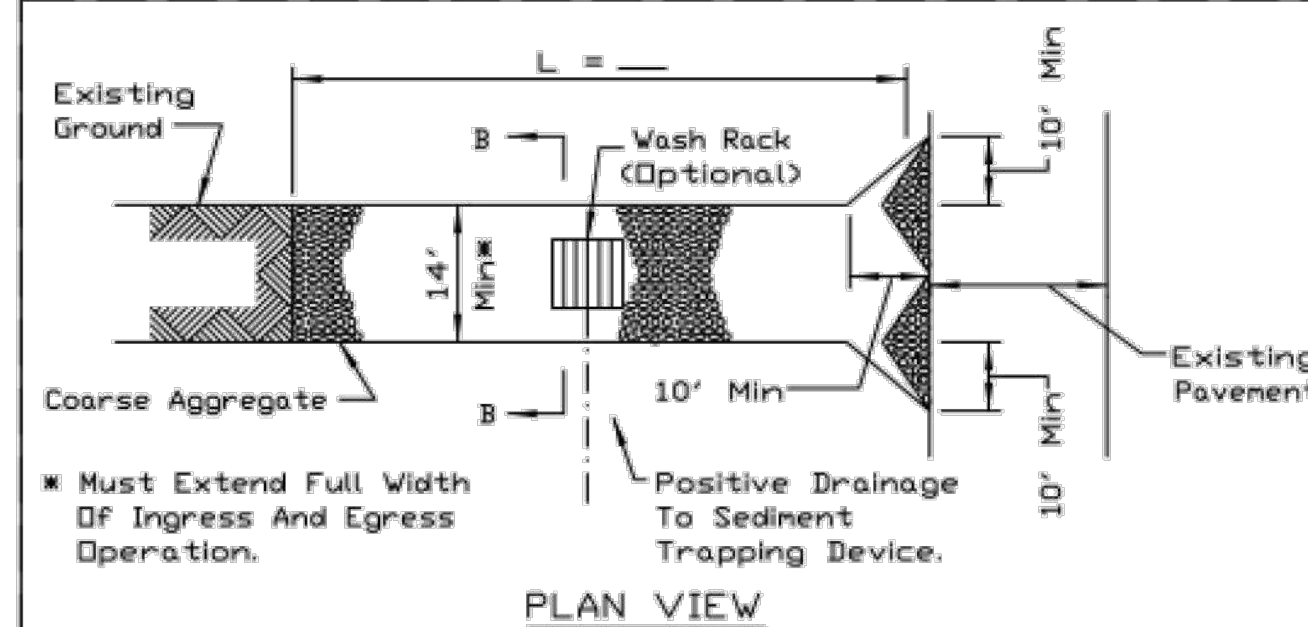
- NOTES:
1. Stockpile slopes should be based on angle of repose of the soil material to avoid potential sloughing of the slope.
 2. Soil stockpile to be stabilized in accordance with practical standards.
 3. Do not locate stockpile within overland drainage flow path, designated floodways, drip line or over the root crown of adjacent trees.
 4. Provisions for sediment control practices may be required along haul roads and entrance/exit locations for access the soil stockpile that can create flow path for stormwater runoff.
 5. Installation of benches, terraces, or slope interrupters should be considered.
 6. Avoid building soil stockpiles on impervious surfaces.
 7. Linear sediment trap surrounding the stockpile base may be used to control sediment.

REFERENCE
Project _____
Designed _____ Date _____
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Approved _____ Date _____



STANDARD DWG. NO.
IUM-627
SHEET 1 OF 1
DATE JANUARY 2017

STABILIZED CONSTRUCTION ENTRANCE PLAN



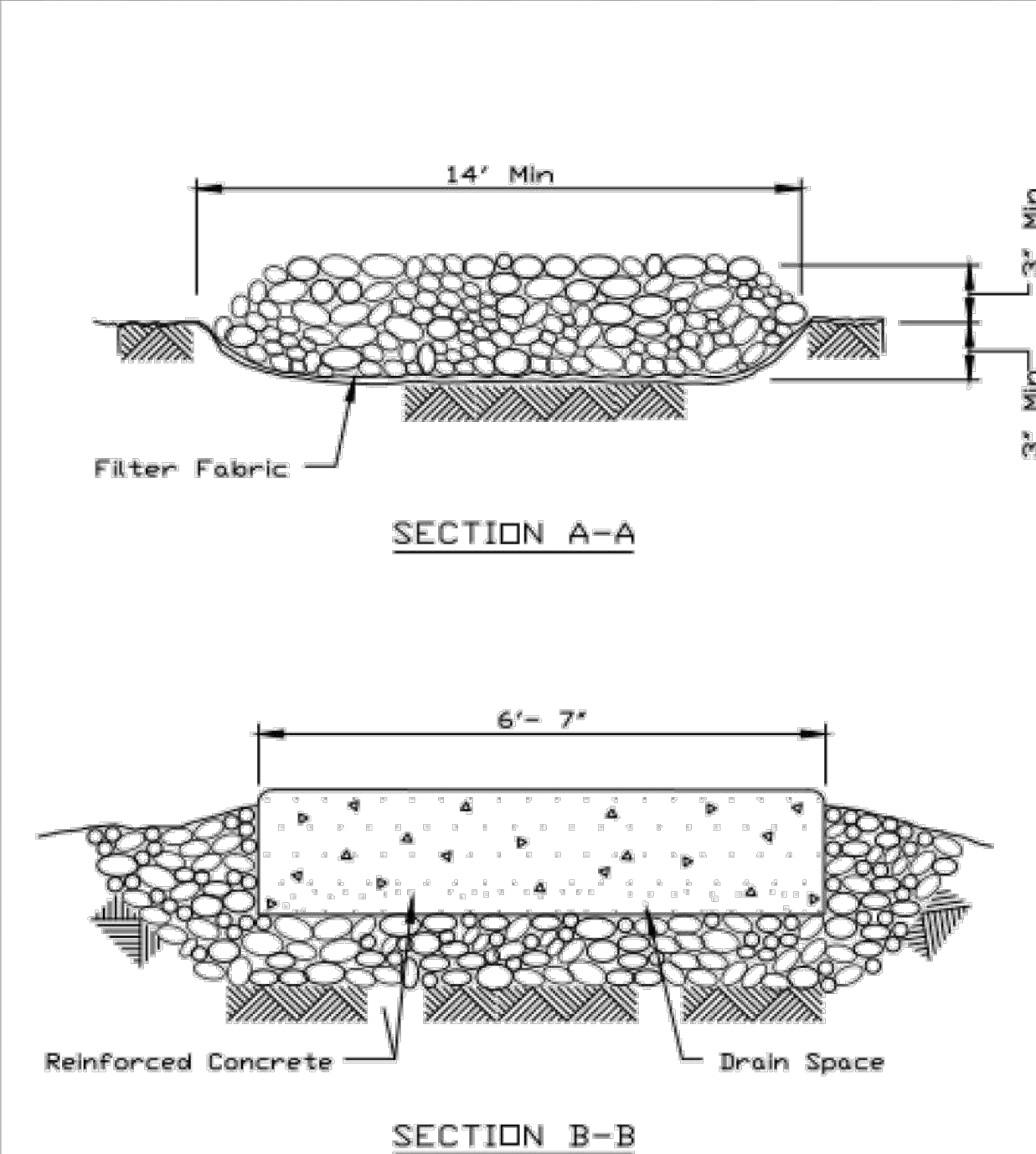
- NOTES:
1. Filter fabric shall meet the requirements of material specification 592 GEOTEXTILE, Table 1 or 2, Class I, II or IV and shall be placed over the cleared area prior to the placing of rock.
 2. Rock or reclaimed concrete shall meet one of the following IDOT coarse aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according to construction specification 25 ROCKFILL using placement Method 1 and Class III compaction.
 3. Any drainage facilities required because of washing shall be constructed according to manufacturers specifications.
 4. If wash racks are used they shall be installed according to the manufacturer's specifications.

REFERENCE
Project _____
Designed _____ Date _____
Checked _____ Date _____
Approved _____ Date _____



STANDARD DWG. NO.
IL-630
SHEET 1 OF 2
DATE 8-18-94

STABILIZED CONSTRUCTION ENTRANCE PLAN



REFERENCE
Project _____
Designed _____ Date _____
Checked _____ Date _____
Approved _____ Date _____



STANDARD DWG. NO.
IL-630
SHEET 2 OF 2
DATE 8-18-94

ARC DESIGN RESOURCES INC.

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Illinois Design Firm License No. 184-001334

PROJECT NAME
OWNER'S NAME

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RDV VENTURES LLC
500 WARRENVILLE ROAD
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(815) 762-4861

CONSULTANTS

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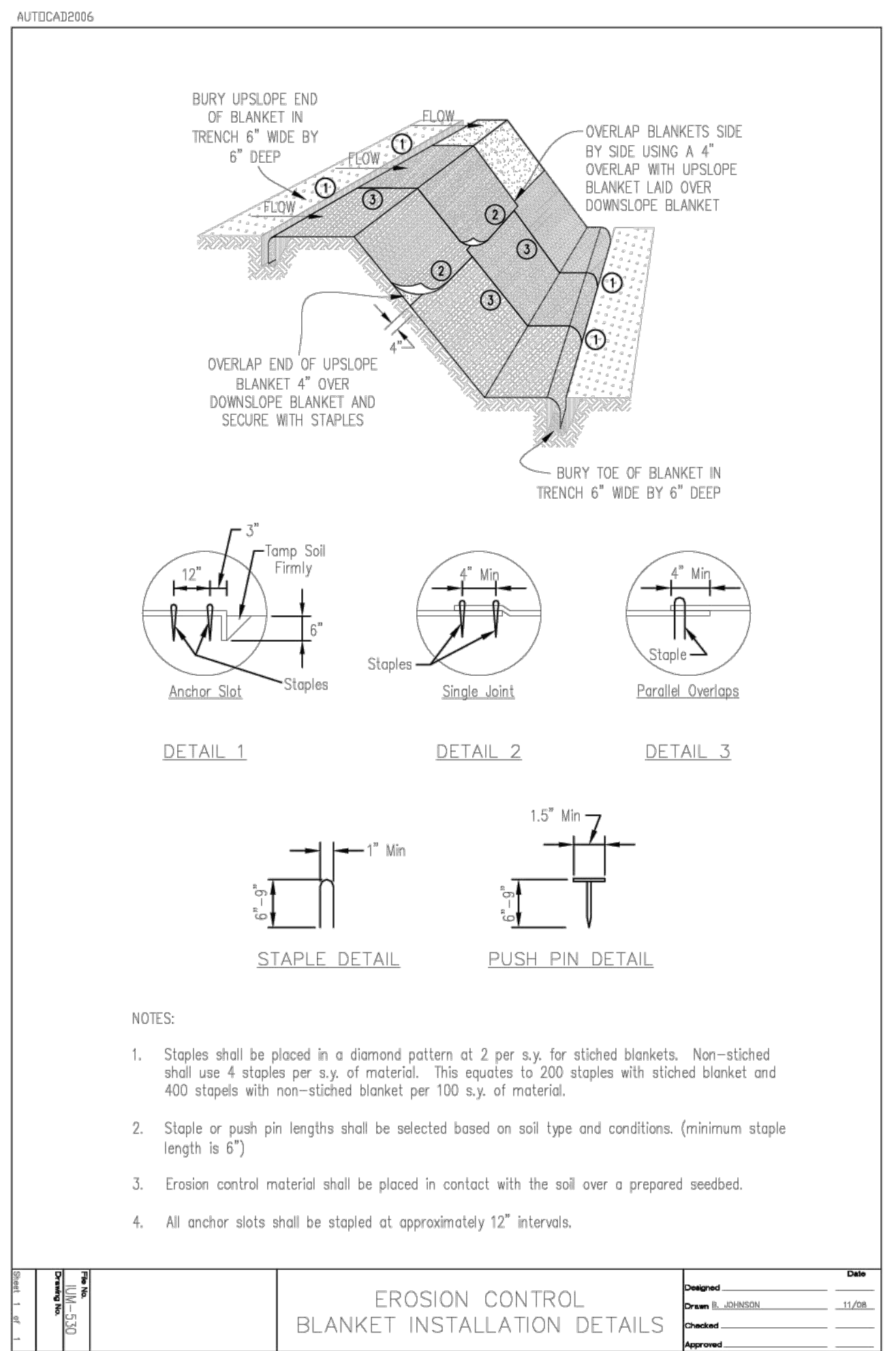
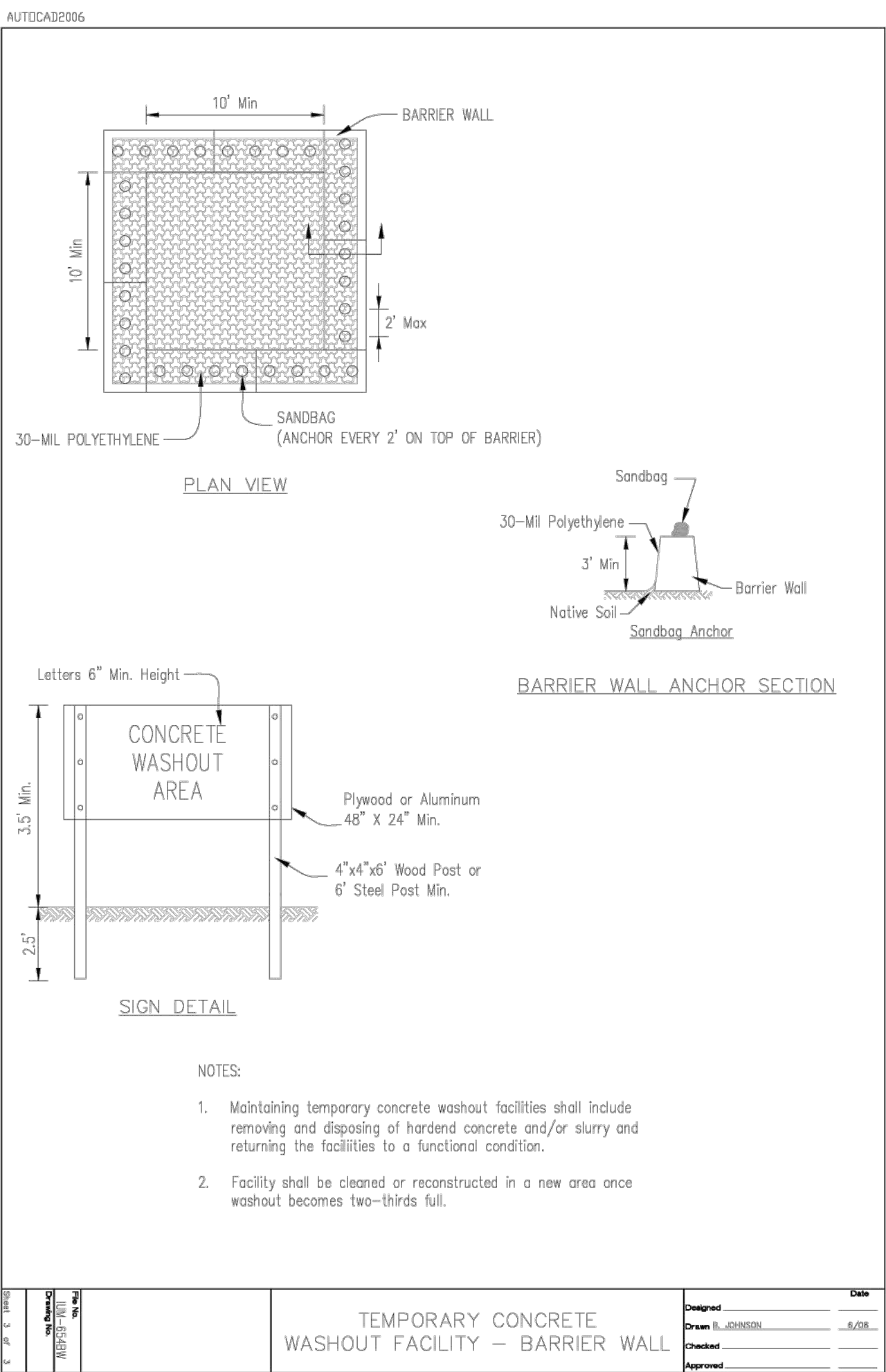
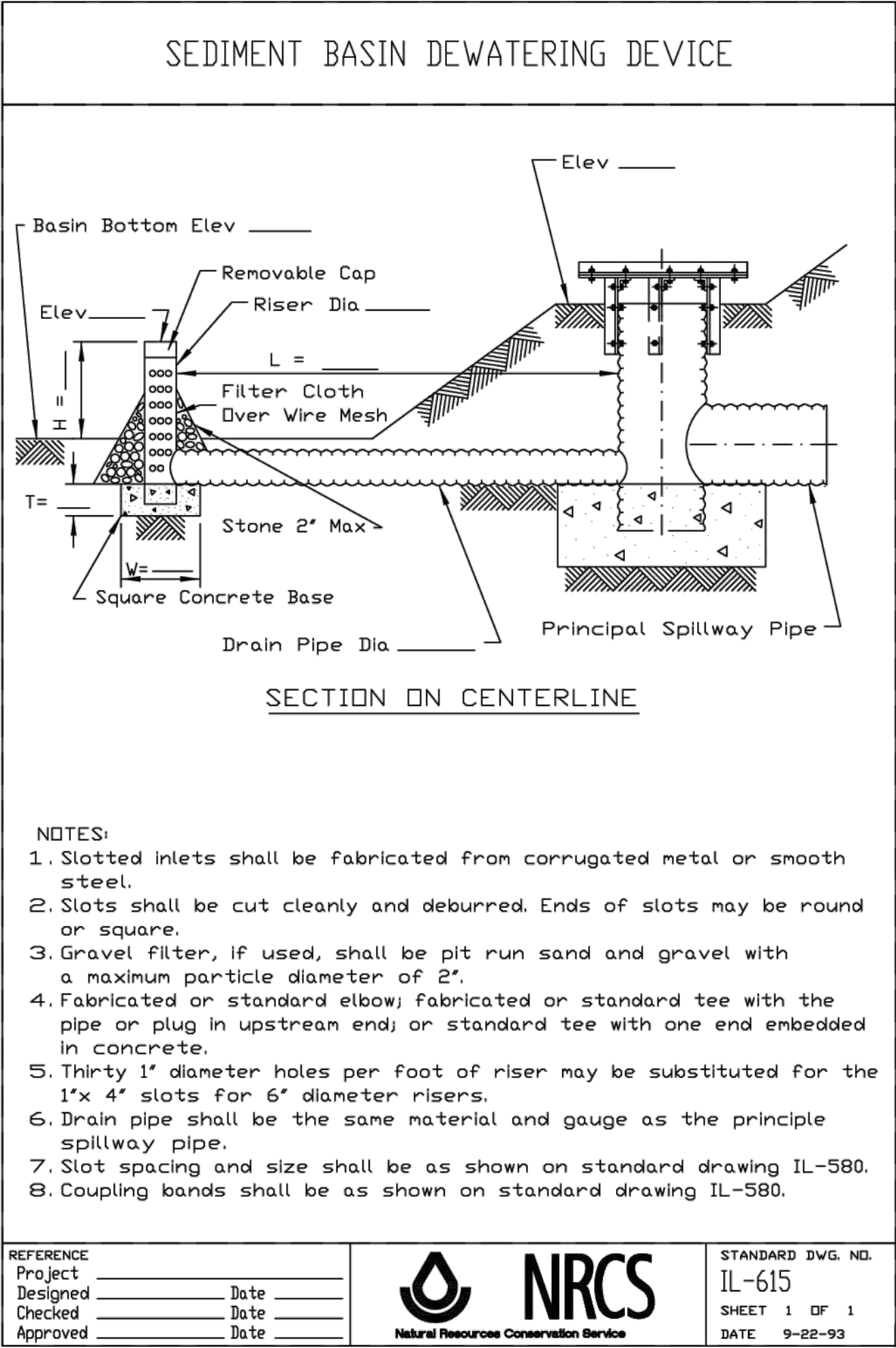
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PROJECT NUMBER
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20033

C15



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FRANKFORT**

7654 W LINCOLN HWY
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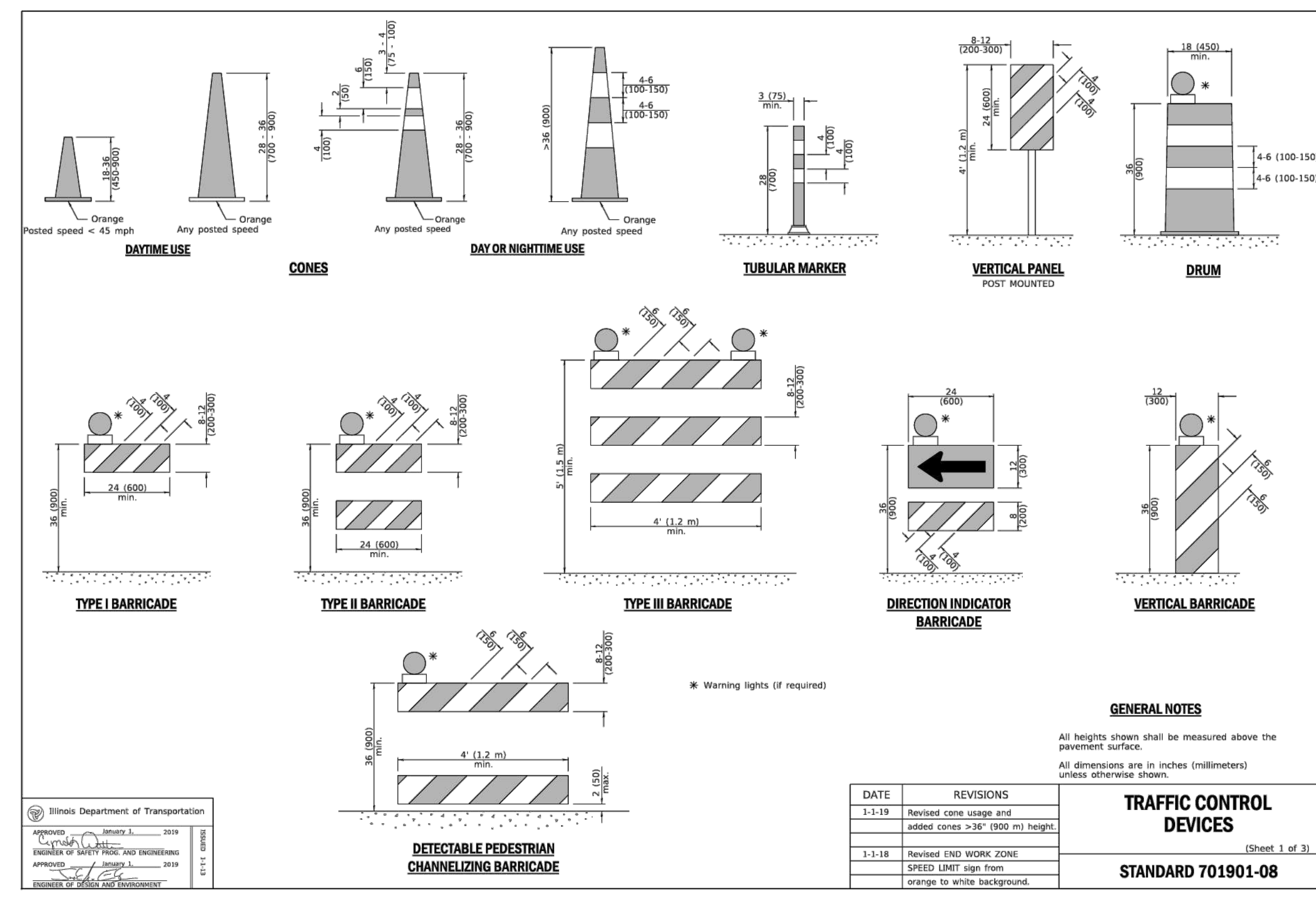
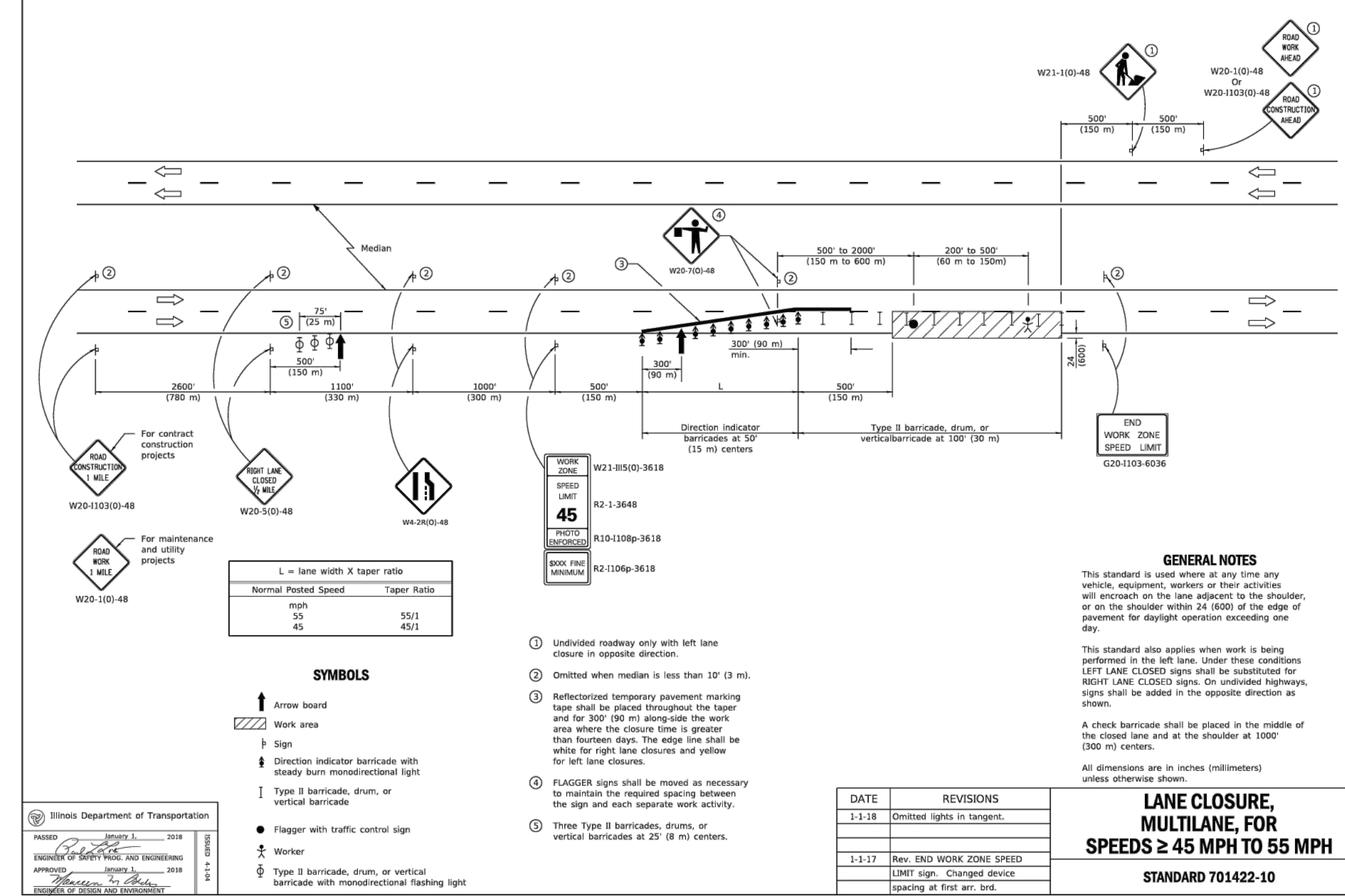
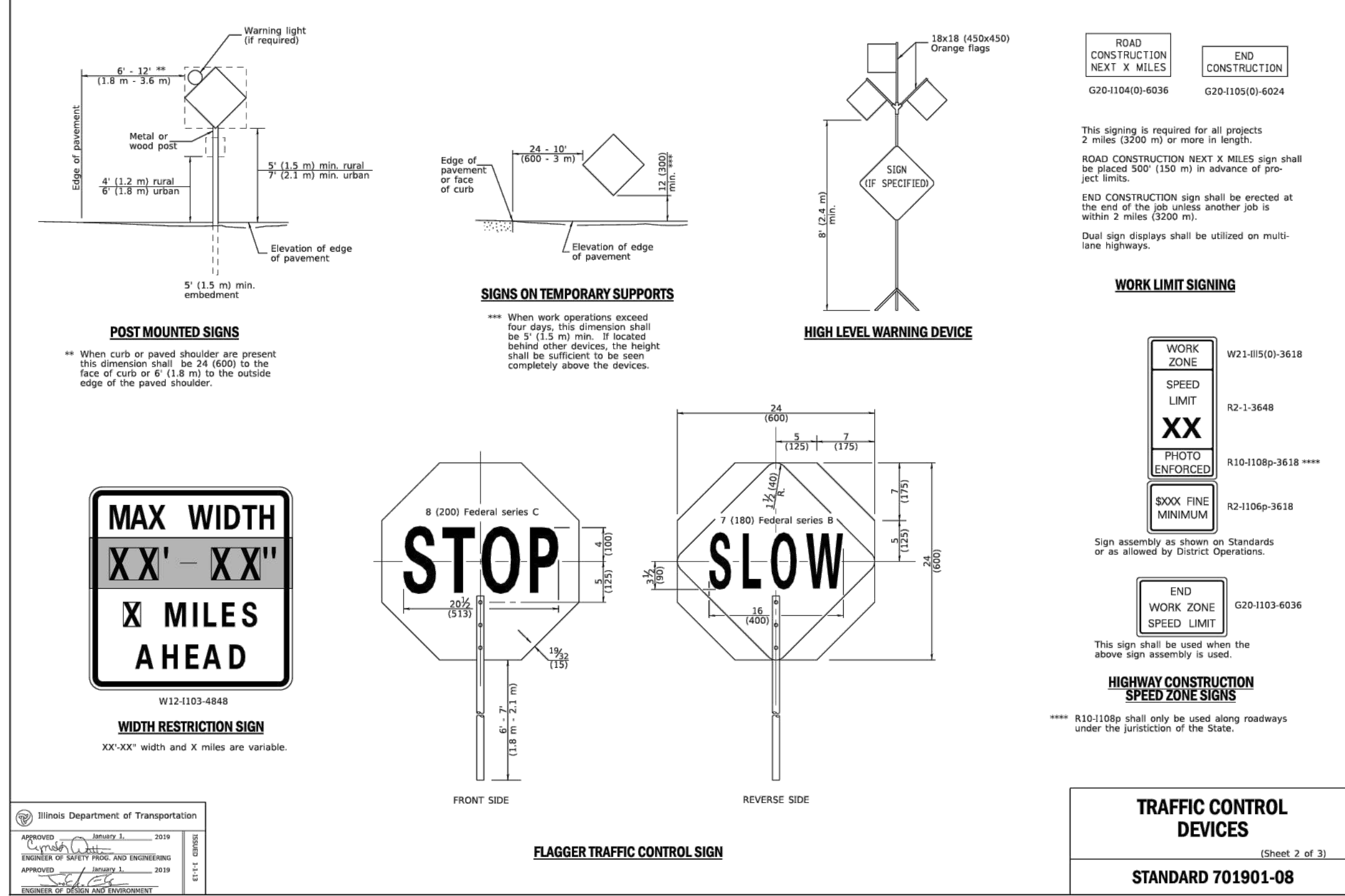
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PROJECT NUMBER
SHEET NUMBER

20033

C16



ARC DESIGN RESOURCES INC.

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IDOT DETAILS

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PROJECT NUMBER
SHEET NUMBER

20033

C17

ARC DESIGN
RESOURCES INC.

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LOVES PARK, IL 61111
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Illinois Design Firm License No. 184-001334

PROJECT NAME
OWNER'S NAME

CIRCLE K
FRANKFORT

7654 W LINCOLN HWY
FRANKFORT, IL 50423
WILL CO.

RDK VENTURES LLC
500 WARRENVILLE ROAD
LISLE, IL 60532
(815) 762-4861

CONSULTANTS

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REVISIONS

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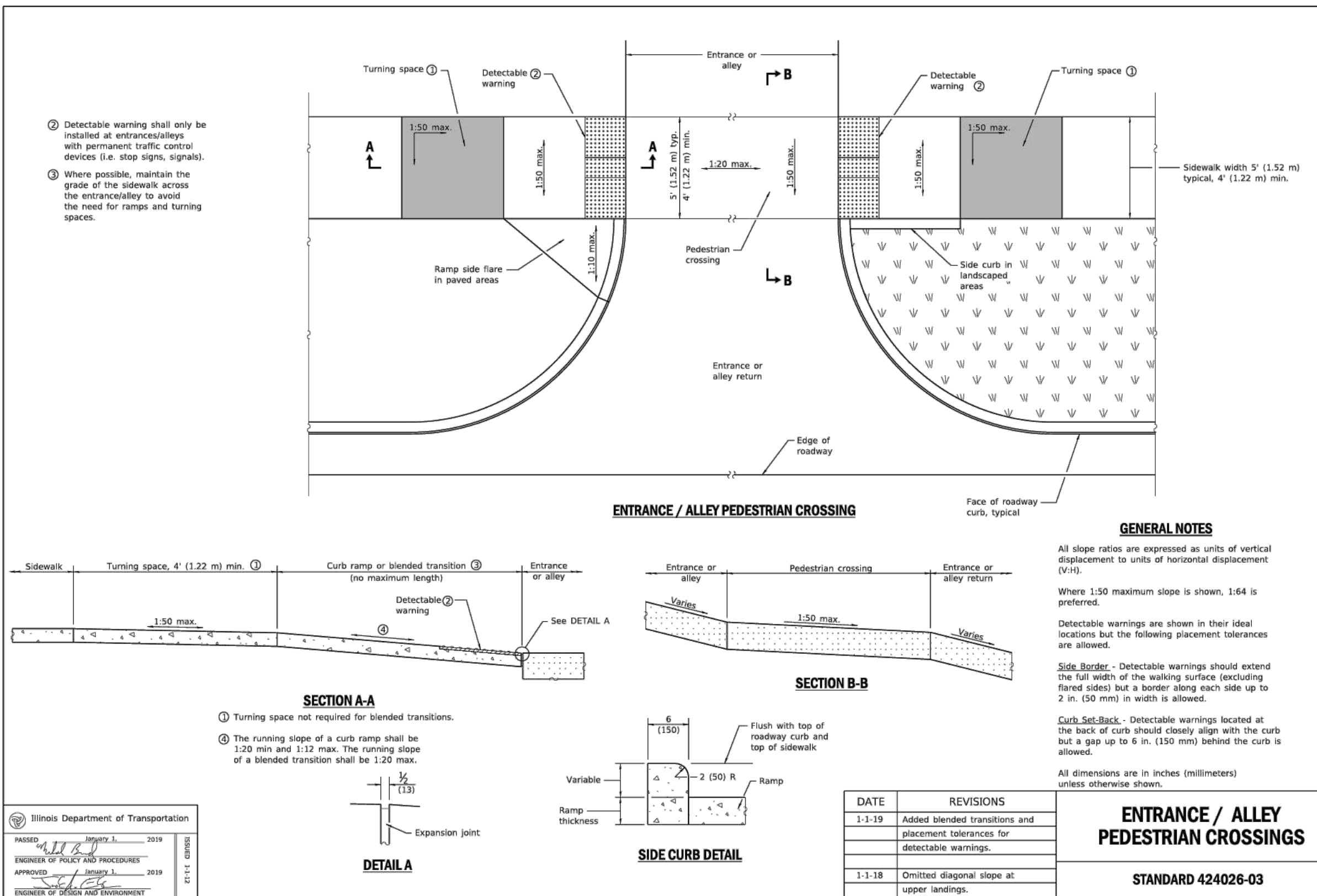
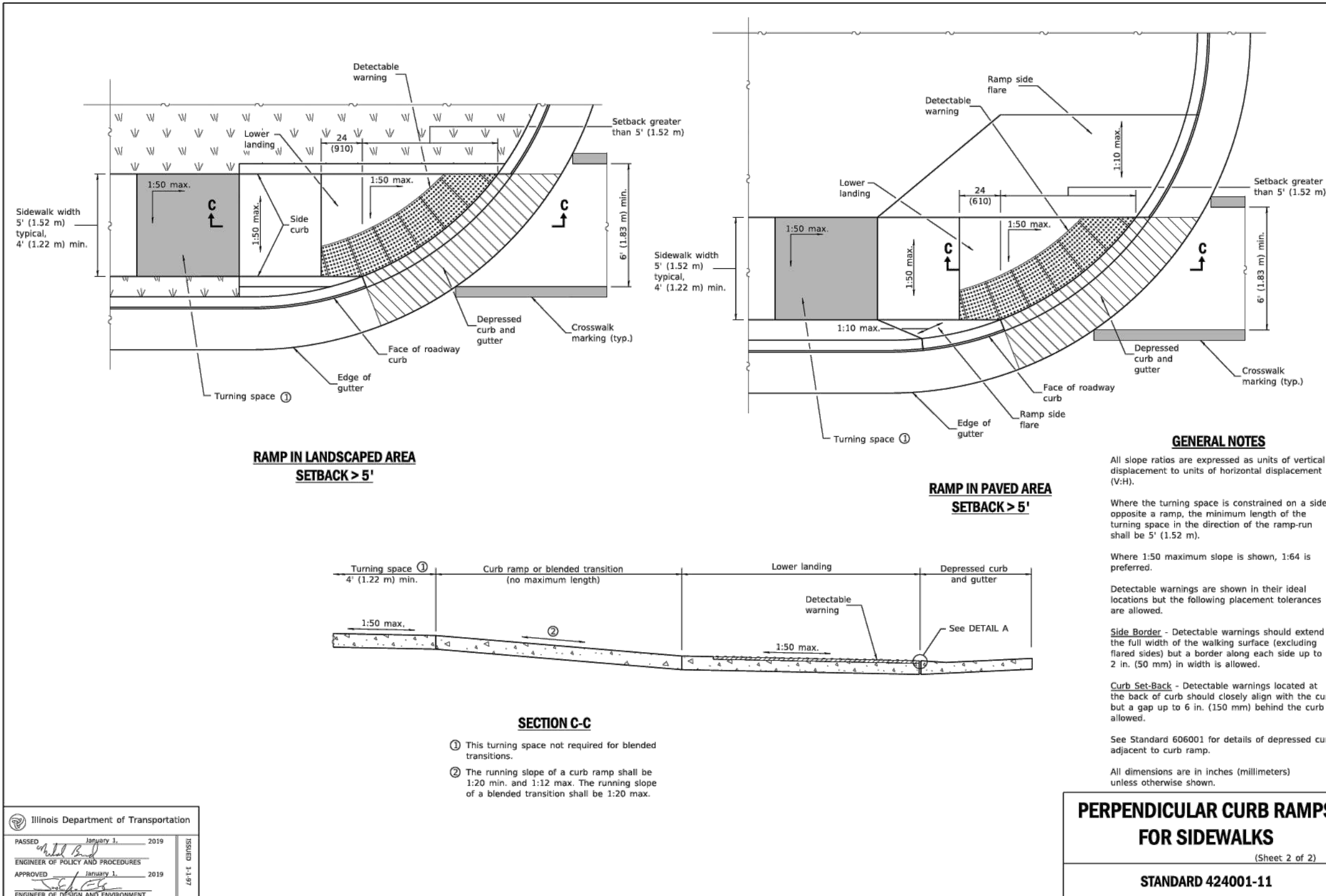
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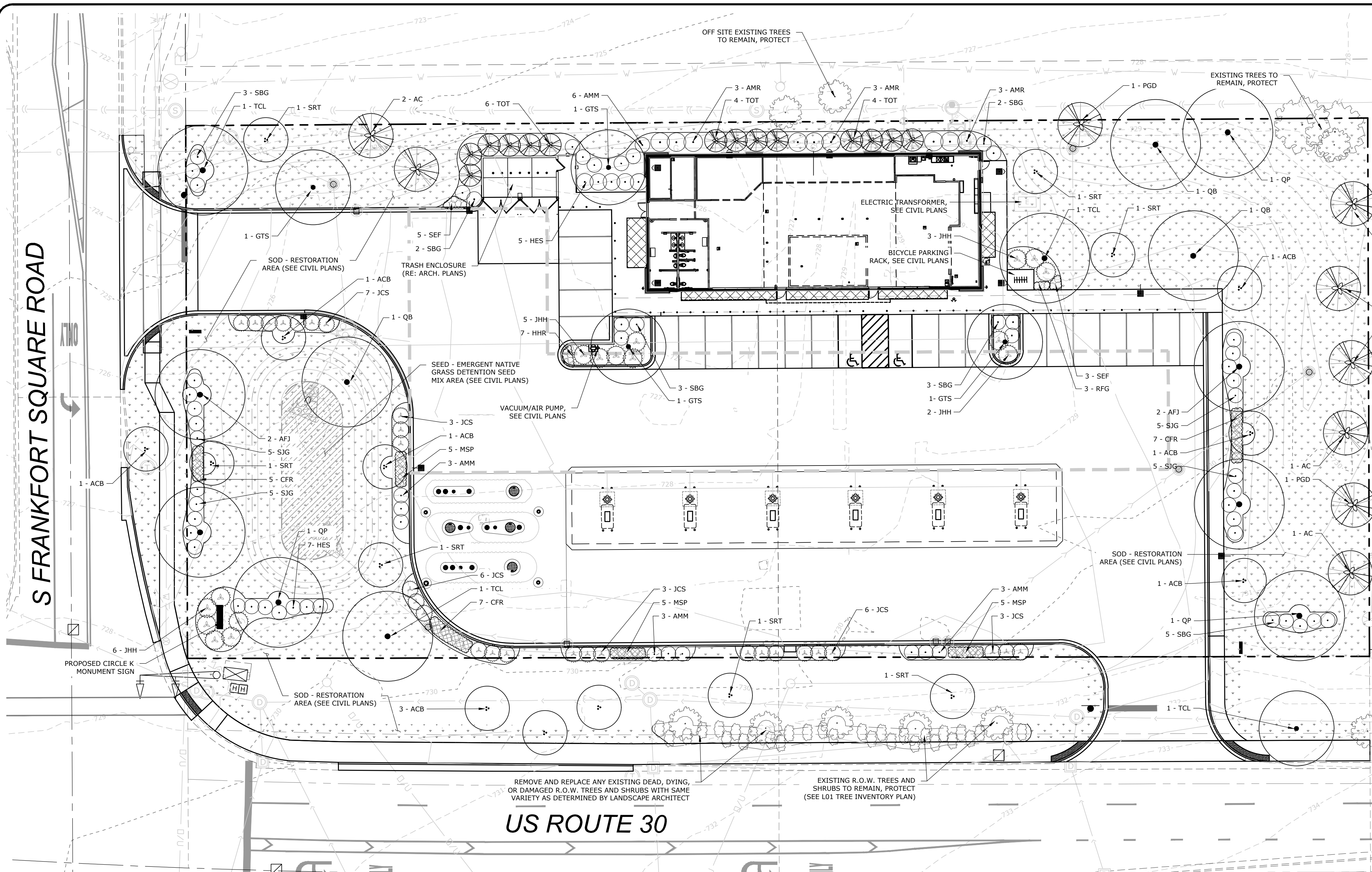
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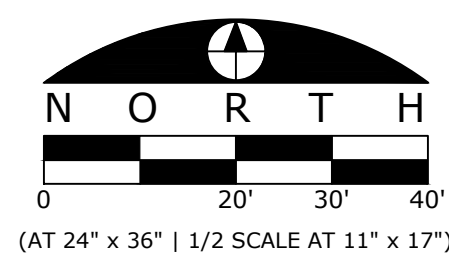
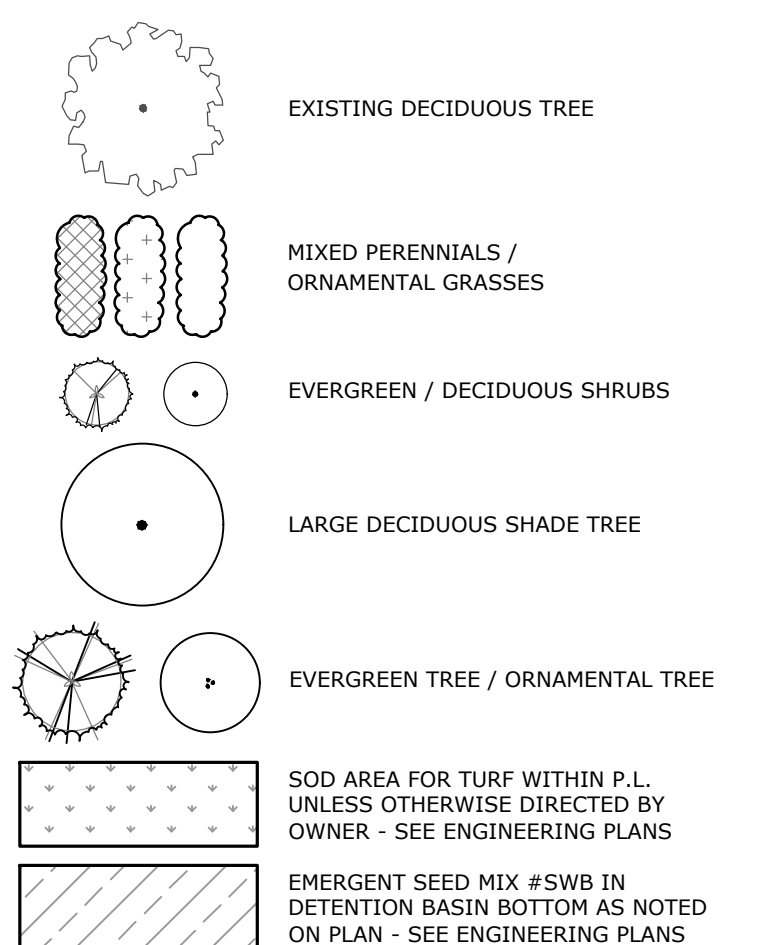
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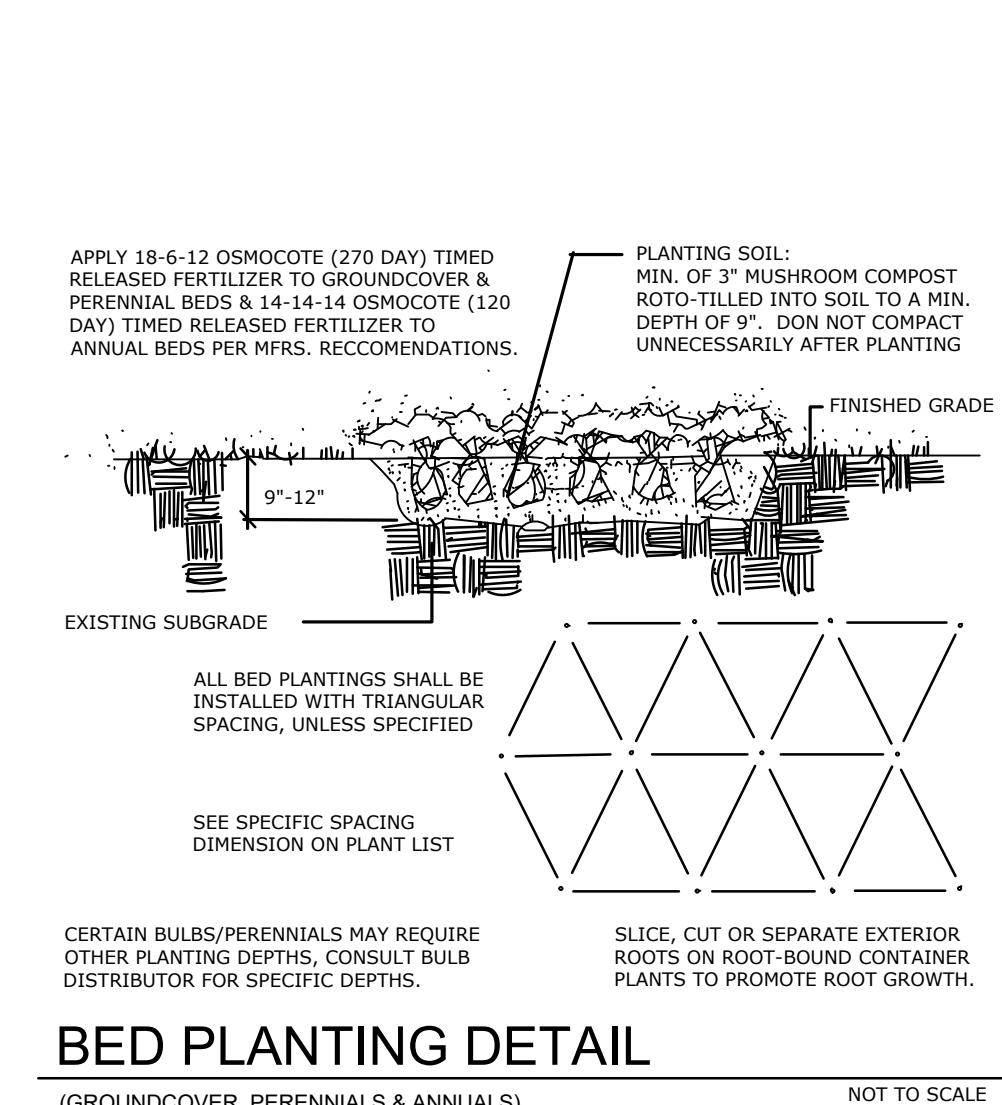
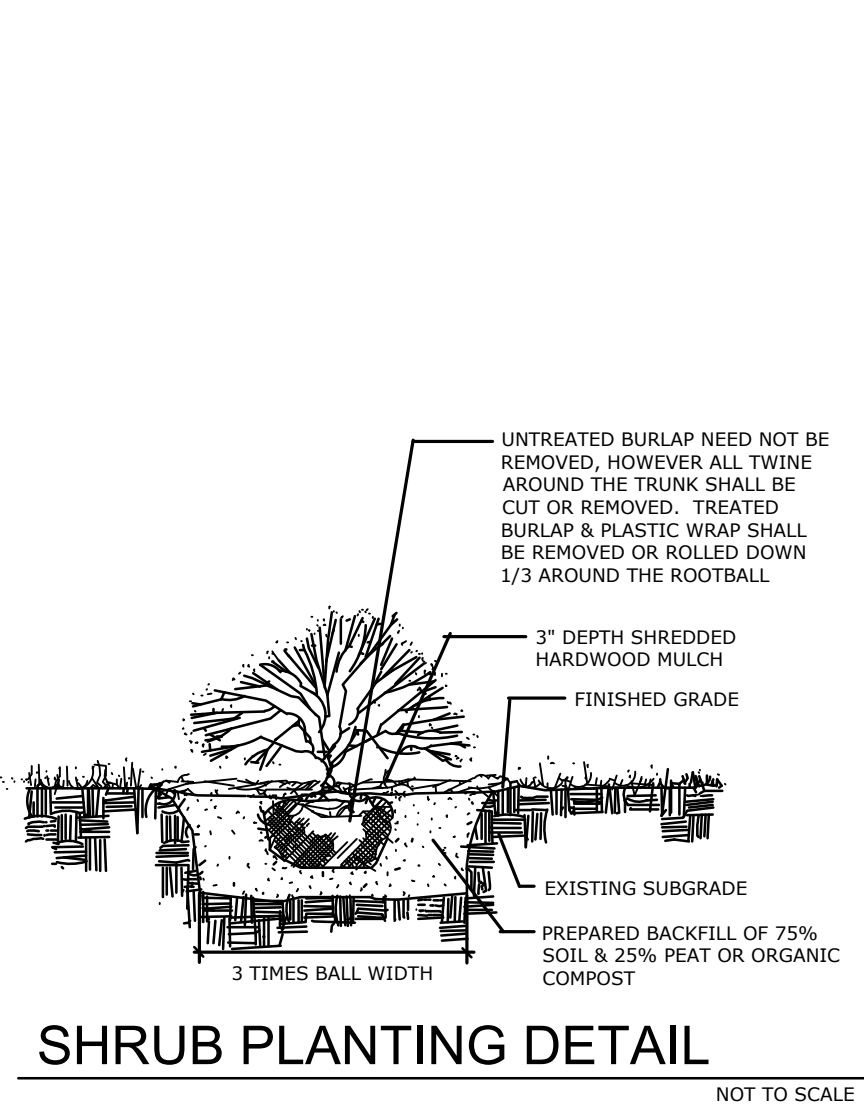
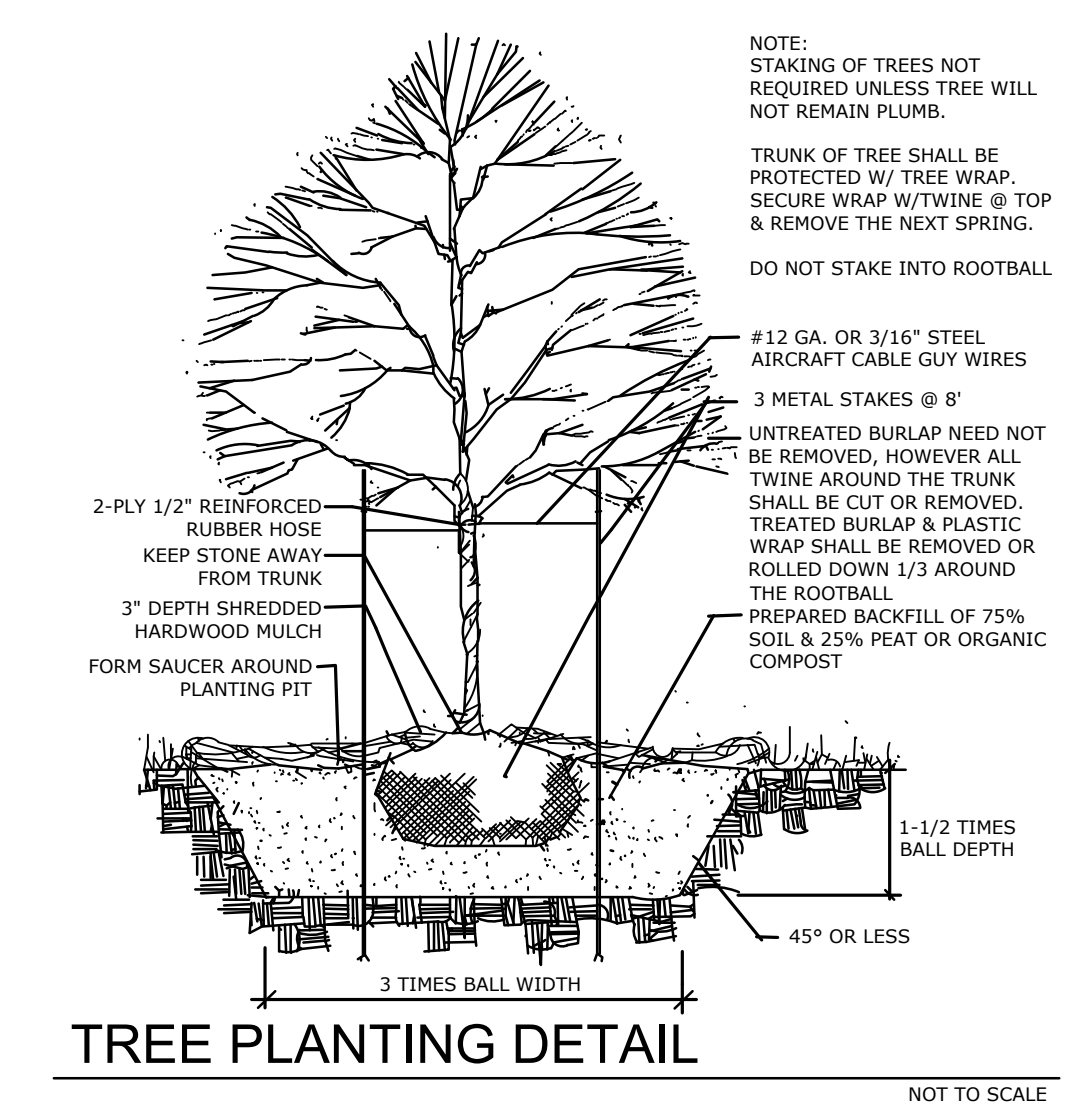


LEGEND



PLANT LIST

KEY	QTY	Botanical name COMMON NAME	SIZE	REMARKS
AC	5	Abies concolor WHITE FIR	6'	EVERGREEN
ACB	9	Amelanchier canadensis 'Brilliantissima' AUTUMN BRILLIANCE SERVICEBERRY	6'	ORNAMENTAL / MULTISTEM
AFJ	4	Acer freemanii x 'Jeffersred' JEFFERSRED HYBRID RED MAPLE	2.5"	
GTS	4	Gleditsia triacanthos 'Skyline' SKYLINE HONEYLOCUST	2.5"	HYBRID / FRUITLESS
PGD	4	Picea glauca 'Densata' BLACK HILLS SPRUCE	6'	EVERGREEN
QB	3	Quercus bicolor SWAMP WHITE OAK	2.5"	
QP	3	Quercus palustris PIN OAK	2.5"	
SRT	7	Syringa reticulata JAPANESE TREE LILAC	2.5"	ORNAMENTAL / STANDARD
TCL	4	Tilia cordata LITTLE LEAF LINDEN	2.5"	
TOT	14	Thuja occidentalis 'Techny' TECHNY HARDY ARBORVITAE	6'	EVERGREEN / UPRIGHT
AMM	15	Aronia melanocarpa 'Morton' IRIQUOIS BEAUTY CHOKEBERRY	24" / 5 GAL	
AMR	9	Aronia melanocarpa 'Professor Ed' RED CHOKEBERRY	30" / 5 GAL	
HES	12	Hydrangea x 'Endless Summer' ENDLESS SUMMER HYDRANGEA	24" / 5 GAL	
JCS	28	Juniperus chinensis 'Sargentii' GREEN SARGENT JUNIPER	24" / 5 GAL	EVERGREEN
JHH	16	Juniperus horizontalis 'Hughes' HUGHES JUNIPER	24" / 5 GAL	EVERGREEN
SBG	18	Spiraea betulifolia 'Glow Girl' GLOW GIRL TOR SPIREA	24" / 5 GAL	
SJG	20	Spiraea japonica 'Galen' GALEN DOUBLE PLAY ARTISAN SPIREA	24" / 5 GAL	
CFR	19	Calamagrostis acutiflora 'Karl Forster' FEATHER REED GRASS	GAL	3'-0" O.C. - ORN. GRASS
HHR	7	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY	GAL	2'-0" O.C. - PERENNIAL
MSP	15	Miscanthus sinensis 'Purpureascens' PURPLE MAIDEN GRASS	GAL	3'-0" O.C. - ORN. GRASS
RFG	3	Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSAN	GAL	2'-0" O.C. - PERENNIAL
SEF	8	Salvia x 'East Friesland' FRIESLAND MEADOW SAGE	GAL	2'-0" O.C. - PERENNIAL



PLANTING NOTES

- Landscape Contractor (Contractor) shall make a site visit prior to bidding/construction to inspect the current site conditions and review proposed planting plan and related work. Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
- Contractor shall verify locations of all underground utilities prior to beginning construction on his phase of work. Electric, gas, telephone, and cable television can be located by calling J.U.L.I.E. at '811'. For regional locating, contact "Digger's Hotline". Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
- Contractor is responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to owner and landscape architect.
- Contractor shall grade entire site to correct surface irregularities in preparation for sod/seed. Roto-til, disc, drag, harrow or hand rake sub grade in all lawn areas and remove construction debris, foreign matter or stones larger than 2". Grading shall provide slopes which are smooth, continuous, free from depressions or ridges. Level, rake and roll as necessary to an even and true condition and obtain positive drainage in all areas. Finish grades shall meet the approval of owner prior to lawn installation.
- All disturbed areas should be brought to grade with "topsoil" to a depth of 6 inches in areas to be seeded or sodded, and 12 inches for all interior (curbed) landscape islands. All lawn areas are to be finished with mulch, straw mulch, seed, sod, etc. or as noted. All lawn areas to be watered until a healthy stand of grass is established. [see seed/sod notes for acceptance details].
- Quantity lists are supplied as a convenience; however, the contractor should verify all quantities. The drawings shall take precedence over the lists.
- Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways, downspouts, etc.; however, quantities and sizes shall remain consistent with these plans.
- Size & grading standards of plant material shall conform to the latest addition of ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association. Plant material shall be nursery grown and be either balled and burlap or container grown.
- All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.
- Any plant materials with damaged or crooked/disfigured leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected by Landscape Architect and/or Owner. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump.
- Upon inspection and acceptance of all landscape items by Landscape Architect and/or Owner the contractor shall assume maintenance responsibilities for a period of thirty (30) days, for all plant material, to include: watering, cultivating, weeding, pruning, mulching and spraying as necessary to keep plants free of insects and in a

- healthy, vigorous condition until responsibility is transferred to the owner (see below).
- All plant material shall be guaranteed for one (1) year after acceptance by landscape architect and/or owner. After the first thirty (30) days, the owner shall assume maintenance responsibilities as described (see above). Contractor shall replace without cost to owner any dead or unacceptable plants, as determined by the landscape architect at the end of one (1) year guarantee period. Contractor shall notify immediately, in writing, any concerns related to maintenance practices.
- All planting beds and tree saucers shall be mulched continuous with 3" depth shredded hardwood mulch, see planting details. All deciduous trees (shade / ornamental) that are not located in a planting bed shall be mulched with a 3'-0" diameter circle. Evergreen trees shall be mulched to outer-most branches at the time of installation.
- Planting edge delineation at all planting bed lines and tree saucers shall require a minimum 4" depth "vee" shaped cultivated, spaded edge with a vertical face abutting all lawn areas and sloped to inside of plant bed continuous between lawn and mulched areas as indicated on plan.
- Contractor to sod all disturbed lawn areas. Sod shall be locally sourced.
- All sodded turf areas shall be fertilized at installation with 6-20-20 analysis, at a rate of 6 lbs. per 1,000 s.f. A second application of 21-7-14 to be applied at rate of 6 lbs. per 1,000 s.f. after the first cutting. Acceptance and guarantee notes shall apply to all sodded areas.
- Contractor to install native seed mix Emergent Stormwater/bio-infiltration mix (or approved equal), #SWB placed from normal water line to 1'-0" above the normal water line (nwl) or as noted on plans. Seed mix to be available from Agrecol, native seed & plant nursery 1-608-223-3571 (www.agrecol.com). Seed mix to be applied at a minimum rate of 6 lbs. per acre or as specified by nursery.
- All seeded areas shall be covered with straw mulch or erosion control netting, within three (3) days of seeding. All areas that are not on slopes greater than 5:1 shall be mulched using crimped straw or hay either hand or machine applied at 2 ton per acre. Crimp mulch with a straight disc or a specialized roller pulled at right angles to the slopes. Hay, or threshed straw shall be seed free.

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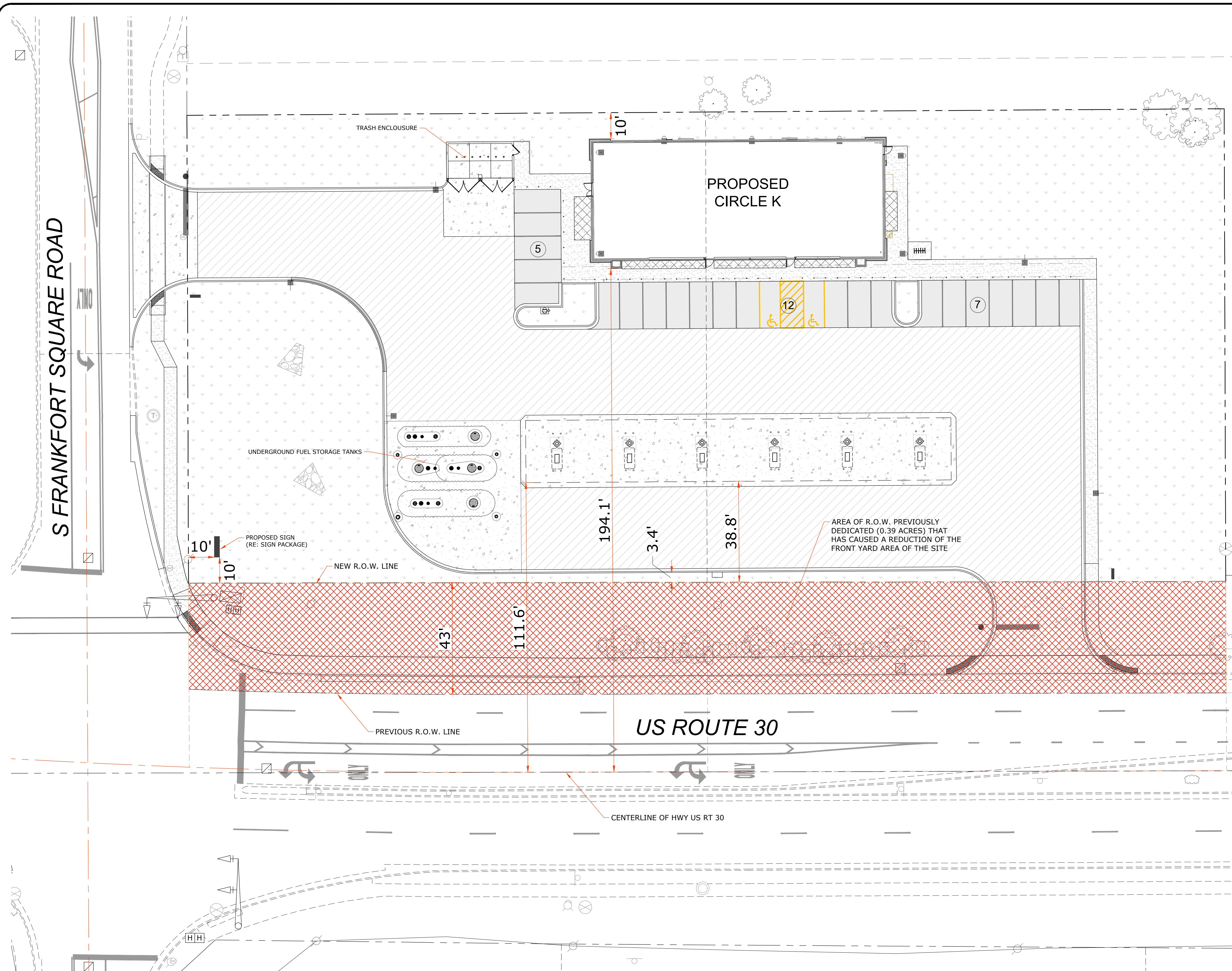
LANDSCAPE PLAN

DRAWN MPA
CHECKED LND
PM RCS

PROJECT NUMBER
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20033

L01



- LEGEND**
- PROPERTY LINE
 - LOT LINE
 - EXISTING RIGHT-OF-WAY
 - CENTERLINE
 - SECTION LINE
 - EXISTING EASEMENT LINE
 - EXISTING SETBACK LINE
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB AND GUTTER
 - LIGHT POLE AND FIXTURE
 - PROPOSED ADA PARKING SPACE
 - NUMBER OF PROPOSED PARKING SPACES IN A ROW
 - PROPOSED STRIPING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED HEAVY DUTY CONCRETE PAVEMENT
 - PROPOSED PAVEMENT (DRIVEABLE AREAS)
 - PROPOSED PAVEMENT (PARKING AREAS)
 - PROPOSED TURF AREA
 - PREVIOUS ROW DEDICATED AREA

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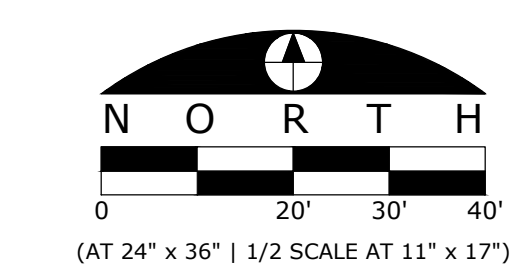
SHEET TITLE

**C0 SITE PLAN
COMPARISON -
V03 SITE PLAN
R.O.W. EXHIBIT**

DRAWN TWL
CHECKED LND
PM RCS

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Application for Plan Commission / Zoning Board of Appeals Review
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.



Application for Plan Commission / Zoning Board of Appeals Review
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Application for Plan Commission / Zoning Board of Appeals Review
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

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3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

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6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.



Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

If the permitted regulations and conditions were followed, the business development, in tandem with meeting the other site standards per Ordinance, would not facilitate the proposed use; therefore we are requesting the variance to allow the minimum front yard setback to be reduced from 150' to 111.6' (from the CL of Hwy 30).

2. That the plight of the owner is due to unique circumstances; and

The unique lot shape (long and narrow) and to meet all of the other necessary site standards per Village Ordinance requires the unique circumstance to have the front yard setback reduced to less than the minimum.

3. That the variation, if granted, will not alter the essential character of the locality.

The proposed reduced front yard setback variance (to the building facade), if granted, is actually approximately 25' further back than the existing business facade and will not alter the local character.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

If the strict letter of the Ordinance was enforced this particular site, due to the unique long and narrow shape of the lot (created prior to annexation), would greatly reduce the build-able area of the lot and/or require an awkward store shape or smaller store.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

The unique shape of the lot (created prior to annexation) is a condition which generally would not be applicable to other businesses along the same business corridor because of properties with varying parcel shapes or sizes.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

The nature of the convenience store is to provide service and convenience and without the variance, the store would have to be altered or reduced potentially reducing the variety of convenience products for the neighborhood and customers.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

The variation for the front yard setback is based on a typical building design executed by the business and has no relation to any person with interest in the property.

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

The variation of the front yard setback (for proposed convenience store) is compatible to the existing business in the neighborhood and will not be detrimental or affect the general welfare of the public.

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

The proposed building will have an enhanced architectural appeal with natural stone, other interesting materials and colors and will provide an enhancement to the neighborhood and increase the property values.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

The proposed building setback, will require mechanical equipment to be mounted on the roof, behind parapet screening walls, and with significant height to not impair air flow, exhaust or noise to adjacent properties or increase the danger of fire or any other safety concern which would diminish neighborhood property values.



Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

If the permitted regulations and conditions were followed, the business development, in tandem with meeting the other site standards per Ordinance, would not facilitate the designed proposed use; therefore we are requesting the variance to allow the minimum interior side yard to be reduced from 15' to 10'.

2. That the plight of the owner is due to unique circumstances; and

To meet or make additional adjustments to the other necessary site standards per Village Ordinance requires the unique circumstance to have the rear yard reduced to less than the minimum.

3. That the variation, if granted, will not alter the essential character of the locality.

The proposed reduced interior side yard variance (to the building facade), if granted, will not not alter the character of the neighborhood.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

If the strict letter of the Ordinance was enforced this particular site, due to the unique long and narrow shape of the lot (created prior to annexation), would greatly reduce the build-able area of the lot and/or require an awkward store shape or smaller store.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

The unique shape of the lot (created prior to annexation) is a condition which generally would not be applicable to other businesses along the same business corridor because of properties with varying parcel shapes or sizes.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

The nature of the convenience store is to provide service and convenience and without the variance, the store would have to be altered or reduced, potentially reducing the variety of convenience products for the neighborhood and customers.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

The variation for the reduction of the interior side yard is based on a typical building design executed by the business, and other site design standards, and has no relation to any person with interest in the property.

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

The variation of the minimum interior side yard (for proposed convenience store building) is compatible to the existing business in the neighborhood and will not be detrimental or affect the general welfare of the public.

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

The proposed building will have an enhanced architectural appeal with natural stone, other interesting materials, and colors and will provide an enhancement to the neighborhood and increase the property values.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

The proposed reduced interior side yard minimum, will require mechanical equipment to be mounted on the roof, behind parapet screening walls, and with significant height to not impair air flow, exhaust or noise to adjacent properties or increase the danger of fire or any other safety concern which would diminish neighborhood property values.



Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
2. That the plight of the owner is due to unique circumstances; and
3. That the variation, if granted, will not alter the essential character of the locality.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or
7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.



Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

2. That the plight of the owner is due to unique circumstances; and

3. That the variation, if granted, will not alter the essential character of the locality.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
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Application for Plan Commission / Zoning Board of Appeals Review
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7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.



Findings of Fact Commissioner Evaluation Form - Amendment

Article 3, Section D, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every amendment or zoning classification change request. The Plan Commission shall consider the following and make findings established by the evidence provided.

	STANDARD	NOTES	MEETS	
a1.	Existing uses of property within the general area of the property in question;		YES	NO
a2.	The zoning classification of property within the general area of the property in question;		YES	NO
a3.	The suitability of the property in question to the uses permitted under the existing zoning classification;		YES	NO
a4.	The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classification;		YES	NO
a5.	The change in zoning is in conformance with the comprehensive plan of the Village and its official map.		YES	NO



Findings of Fact Commissioner Evaluation Form - Special Use Permit

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. No special use shall be recommended by the Plan Commission unless all the following findings are made.

	STANDARD	NOTES	MEETS	
a.	That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.		YES	NO
b.	That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.		YES	NO
c.	That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.		YES	NO
d.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.		YES	NO

e.	That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.		YES	NO
f.	That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.		YES	NO
g.	That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.		YES	NO



Standards of Variation Commissioner Evaluation Form

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided.

	STANDARD	NOTES	MEETS	
1.	That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;		YES	NO
2.	That the plight of the owner is due to unique circumstances;		YES	NO
3.	That the variation, if granted, will not alter the essential character of the locality.		YES	NO

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence.

	STANDARD	NOTES	MEETS	
1.	That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;		YES	NO

2.	That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;		YES	NO
3.	That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;		YES	NO
4.	That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;		YES	NO
5.	That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;		YES	NO
6.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or		YES	NO
7.	That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.		YES	NO

Project: Thrift Home & Restoration (The Bridge Teen Center)

Meeting Type: Workshop

Requests: (1) Special Use Permit for a Planned Unit Development with certain Village ordinance modifications/exceptions; (2) Special Use Permit for indoor retail sales of goods, between 5,000 and 10,000 square feet in the B-4 Office District; (3) Preliminary and Final Plat of Resubdivision

Location: 21420 S. Harlem Avenue

Applicants: Rob and Priscilla Steinmetz, representing The Bridge Teen Center, a 501c3 non-profit corp.

Prop. Owner: Bridge Thrift Center Not-for-Profit

Consultants: Patrick McCarty, Jr., PWM Architecture, LLC

Report By: Michael J. Schwarz, AICP

Site Details

Parcel/Lot Size: 5.3 acres

PIN(s): 19-09-24-401-021-0000
19-09-24-401-022-0000
19-09-24-401-019-0000
19-09-24-401-020-0000

Existing Zoning: B-4 Office District

Prop. Zoning: B-4 Office District with a Special Use Permit for a PUD, and a Special Use Permit for indoor retail sales of goods, between 5,000 and 10,000 square feet

Building(s) / Lot(s): 3 proposed buildings / 2 proposed lots

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Office (Vacant)	General Commercial	B-4
North	Undeveloped	General Commercial	B-2
South	SF Detached Residential	SF Detached Residential	R-2
East	Agriculture	General Commercial	Cook County
West	SF Detached Residential	SF Detached Residential	R-2

Figure 1: Location Map



Project Summary

The applicants, Rob and Priscilla Steinmetz, representing The Bridge Teen Center, a 501c3 non-profit corporation, have filed an application requesting a Special Use Permit for a Planned Unit Development and a Special Use Permit for indoor retail sales of goods, between 5,000 and 10,000 square feet in the B-4 Office District for the 5.3-acre property located on the west side of Harlem Avenue, south of Route 30/Lincoln Highway, commonly known as 21420 S. Harlem Avenue.

According to the Fact Sheet provided by the applicants, the proposed “Thrift Home & Restoration” would sell used furniture, home goods, antiques and collectibles, crafts and creations from local artisans, small potted plants,

salvaged architectural elements, repurposed and “upcycled” items, jewelry, and accessories and select designer apparel. The profits from the business would be used to support the mission of The Bridge Teen Center which is located at 15555 71st Court in Orland Park. The retail operation would also provide employment and retail training opportunities for area students as well as provide volunteer opportunities for teen and adult individuals and groups. Future proposals for the use of the adjacent lots that are included in overall property would be brought to the Village for future consideration.

The overall subject property includes Lots 5 and 6 in the Georgetown Square Subdivision (recorded in 1987) and Lots 97 and 98 in the Georgetown Subdivision 1st Addition (recorded in 1989). In conjunction with the special use, the applicants will also need to request approval of a Final Plat of Resubdivision to adjust the existing lot lines so that the existing parking lot is located entirely on the same lot as the existing building. Currently, portions of the unfinished parking lot encroach onto the adjacent lots.

Project Background

The Plan Commission/Zoning Board of Appeals held a workshop on this project on July 14, 2022 (refer to attached meeting minutes). At that time, the discussion primarily focused on the proposed changes to the existing building elevations.

Property Background

The Georgetown professional building located at 21420 Harlem Avenue is a 9,196 square-foot office building that was constructed in 1992 and never occupied. The interior space was never completed. The building has a gravel floor, and the interior wall framing remains unfinished. The roofing shingles are poor condition. It is currently not known when the property was annexed into the Village of Frankfort. The property was rezoned to the B-4 Office District in 2002.

Attachments

1. 2020 Aerial Photographs from Will County GIS
2. Site Photographs taken 7/8/22
3. Profile and Prospectus for The Bridge, received 3/22/22
4. Fact Sheet for Thrift Home & Restoration, received 5/24/22
5. Plats of Survey of four individual lots dated 4/29/08, received 5/24/22
6. Plat of Survey of overall property dated 4/19/23, received 7/18/23
7. Topographic Survey of overall property dated 4/19/23, received 7/18/23
8. Preliminary and Final Plat of The Bridge Re-Subdivision dated 7/12/23, received 7/18/23
9. Master Site Plan last revised 6/21/23, received 7/18/23
10. Architectural Site Plan last revised 6/27/23, received 7/18/23
11. AutoTURN® Exhibit for Fire Truck Circulation dated 5/22/23, received 7/18/23
12. Floor Plan / Building Elevations last revised 2/17/23, received 7/18/23
13. 3D Rendering view from Southeast near ground level, received 7/18/23
14. 3D Rendering view from Southeast from overhead angle, received 7/18/23
15. 3D Rendering view from Northeast from overhead angle, received 7/18/23
16. 3D Rendering view from North from overhead angle, received 7/18/23
17. 3D Rendering view from Northwest from overhead angle, received 7/18/23
18. Keim® Mineral Masonry Paint Information, received 7/18/23
19. Timberline® UHD Shingles Information, received 7/18/23
20. Conceptual Image of future Retail Building, received 7/18/23
21. Conceptual Image of future Greenhouse Building, received 7/18/23
22. Tree Preservation Plan dated 6/2/23, received 7/18/23
23. Landscape Plan last revised 6/29/23, received 7/18/23
24. Landscape Notes last revised 6/29/23, received 7/18/23

25. Lighting/Photometric Plan dated 4/16/23, received 7/18/23
26. Parking Lot Light Fixture Specifications, received 7/18/23
27. Building Light Fixture Specifications, received 7/18/23
28. Final Engineering Plans dated 7/7/23, received 7/18/23
29. PC/ZBA Meeting Minutes of 7/14/22

Analysis

In consideration of the request, staff offers the following points of discussion:

Land Use/Comprehensive Plan

The applicant has desires to establish and operate a retail thrift store within an existing unfinished office building. The applicant proposes to rehabilitate and renovate the existing 9,196 square-foot, brick, one-story unfinished office building and to re-pave and expand the associated unfinished parking lots. The applicant has provided a Fact Sheet which describes the proposed business (see attached). The Future Land Use Map within the 2040 Comprehensive Plan designates the subject property as "General Commercial". The proposed retail use is consistent with the Future Land Use Map.

Hours of Operation

The applicant has indicated that the proposed business hours of operation are:

- 10:00 a.m. to 7:00 p.m. Tuesday through Thursday
- 10:00 a.m. to 5:00 p.m. Monday, Wednesday, Friday, Saturday
- Closed Sunday and Monday

The proposed hours are within the Village's normal hours of operation which are 7:00 a.m. to 11:00 p.m. per Article 6, Part 2(q) of the Zoning Ordinance.

Employees

The applicant previously indicated that on a given day, he would estimate a rotating schedule of 2-3 employees and 4-5 volunteers.

Zoning and Special Uses

1. The subject property is zoned B-4 Office District.
2. The Zoning Ordinance does not contain specific use standards for the B-4 Office District.
3. The applicant is requesting a Special Use Permit for a Planned Unit Development (PUD), which is an allowable Special Use in the B-4 Office District. The purpose of the PUD is to allow a phased approach to the planned improvements to the building and property, as well as regulate the potential future development of a vacant lot to the south of the existing building. A PUD would allow some flexibility in the phasing of certain improvements such as landscaping and a proposed future accessory retail building and greenhouse, as well as allow for certain zoning exceptions as may be necessary because the existing partial development of the property predates the current Zoning Ordinance.
4. A Special Use Permit for indoor retail sales of goods, between 5,000 and 10,000 square feet is required in the B-4 Office District. The Table of Permitted and Special Uses in the Zoning Ordinance limits retail sales area in the B-4 Office District to a total of 10,000 square feet. The existing building is 9,196 square feet. The proposed future retail building to the south of the existing building would add 3,600 square feet for a total of 12,796 square feet of retail sales area. Article 3, Section F, Part 5 of the Zoning Ordinance states, *"The Plan Commission may recommend, and Village Board may authorize, that there be permitted in part of the area of a proposed planned unit development, and for the duration of such development, specified uses not permitted by the use regulations of the district in which said development is located. Such mixed Residential PUDs (see Part 7) or Mixed Use PUDs (see Part 8) shall not be approved unless the Plan Commission shall find:*

That the uses permitted by such exceptions are necessary or desirable and are appropriate with respect to the primary purpose of the planned unit development;

That the uses permitted by such exception are not of such a nature or so located as to exercise a detrimental influence on the surrounding neighborhood;

Planned Unit Development

Article 3, Section F of the Zoning Ordinance is the chapter pertaining to Planned Unit Developments. Part 10 of this section outlines the requirements for the “Preliminary Development Plan”. Part 11 of this section outlines the requirements for the “Final Development Plan.” In this case, it is staff’s understanding that due to the relatively small land area (5.3 acres) that would comprise the proposed Planned Unit Development, as well as the limited scope of the near-term and proposed future development activity, the applicant desires to seek concurrent approval of both the Preliminary Development Plan and Final Development Plan.

The application submittal requirements for the Preliminary Development Plan are summarized as follows (with the status as noted):

Preliminary Development Plan – Application Submittal Requirement	Submittal Status
Ownership (entire site under single ownership)	Compliant
Boundary Survey and Legal Description	Compliant
Site Location Map	Compliant
Topographical Survey	Compliant
Existing Zoning and Land Use Map	Compliant (available via Village GIS)
Concept Plan	Compliant
Statement of Character	Compliant via the uses labeled on the Master Site Plan and the Fact Sheet submitted by the applicant
Drawings <ul style="list-style-type: none"> a) Existing and proposed roads (NA) b) Existing and proposed easements c) Gross and Net Density of residential uses (NA) d) Schematic street lighting and public area lighting (NA) e) Landscape Plan per Village ordinances f) Engineering plans for stormwater and floodplain management per Village ordinances 	Compliant
Traffic Study <ul style="list-style-type: none"> a) General description of existing roads on and adjacent to the development with proposed road improvements b) Circulation diagram indicating movement of vehicles, goods and pedestrians c) Any special engineering features and traffic control devices needed to facility traffic safety 	A Traffic Study has not been requested at this time. The Plan Commission may recommend waiving this requirement.
Village Ordinance Report	Staff has noted various modifications, exceptions and variations from the Zoning Ordinance as found in this report.
Market Study (if deemed necessary by the Code Official)	A Market Study has not been requested by Village staff for the proposed project.
Environmental Study	An Environmental Study has not been requested at this time given that the property is already partially developed for a commercial use.
Construction Schedule	The applicant has not yet stated the anticipated construction date, the stages in which the project will be built, or the approximate date that each stage will be completed.
Covenants	Not applicable. At this time, there are no proposed agreements, provisions or covenants and by-laws which will govern the use, maintenance, and continued protection of the Planned Unit Development.
Titles and Certificates	Compliant
Open Space and Recreation Areas and Facilities	Not applicable
Architectural Renderings	Compliant for the existing principal building (the proposed future accessory retail building and future greenhouse are represented by conceptual images)

Notices (Names and addresses of persons to whom public hearing notices will be sent)	Village staff will provide this prior to the public hearing.
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The application submittal requirements for the Final Development Plan are summarized as follows (with the status as noted):

Final Development Plan – Application Submittal Requirement	Submittal Status
Final Plat of Subdivision	Compliant
Final Site Plan	Compliant via the submitted Master Site Plan
Final Covenants (if any)	Not applicable
Deeds or Easement Agreement (if any) conveying ownership interest in any parcel subject to public ownership	Not applicable
Article of Incorporation (if any) for homeowners, merchants or business or property owners' association	Not applicable
Engineering drawings and specifications for: a) Sanitary and storm sewer systems b) Water supply system c) Street lighting and public area lighting systems d) Sidewalks, trails, and paths e) Storm water management f) Floodplain management g) Erosion control plan h) Other such engineering drawings as may be required	Compliant
Estimate of the cost of installation of all proposed public improvements	Required as part of the engineering review process
Plan or report regarding the impact of the proposed development on the natural environment	Not applicable
Final architectural renderings and facades	Compliant for the existing principal building; Non-compliant for the proposed future accessory retail building and future greenhouse (Currently these are represented by conceptual images)
Certificate from the County Collector that no taxes or special assessments are owed	Not yet submitted
Certificates and signature blocks as required by Illinois Statutes and the Plat Act (and the Village Land Subdivision Ordinance)	Required as part of the plat review process

Existing Site-Related Non-Conformities

Given that the subject property was partially developed prior to the current Zoning Ordinance, there are various existing site related non-conformities which are summarized as follows:

- Minimum front yard setback from the centerline of the right-of-way a major highway (excluding Route 30 and Laraway Road)
 - Article 6, Section C, Part 1 of the Zoning Ordinance requires a 125-foot minimum setback.
 - The existing building is approximately 113 feet from the centerline of Harlem Avenue.
- Minimum front yard setback
 - Article 6, Section C, Part 1 of the Zoning Ordinance requires a minimum 50-foot front setback.
 - The existing building is 49 feet from the east property line per the civil engineering plans.
- Minimum rear yard setback
 - Article 6, Section C, Part 1 of the Zoning Ordinance requires a minimum 30-foot rear yard setback.
 - The existing building is 29.9 feet from the west property line per the civil engineering plans.
- Sidewalk width adjacent to the south side of the building
 - Village Design Standards require 7 feet minimum sidewalk width when a row of parking is located adjacent to the sidewalk to allow for 2 feet of vehicle overhang, thereby maintaining a minimum 5' wide walkway.
 - The existing sidewalk is approximately 3 feet wide; Wheel stops have been requested along this row of parking spaces to prevent vehicle overhang and maintain compliance with ADA, Illinois Accessibility Code and Village minimum sidewalk width requirements.
- Width of parking lot landscape islands (planting beds)
 - The Village Landscaping Regulations require a minimum dimension of 9 feet (width) for planting beds.

- The existing north parking lot island is 7.15 feet wide; Existing south parking lot island is 7.10 feet wide.
- Height of parking lot light poles
 - The Zoning Ordinance allows parking lot light poles to be a maximum of 20 feet in the B-4 Office District.
 - The 4 existing parking lot light poles have a height of 25 feet.

Proposed Ordinance Modifications/Exceptions as part of the PUD

Staff has noted several modifications/exceptions from Village ordinances that the applicant is seeking or may need to seek as part of the proposed Planned Unit Development:

- Continuation of the existing site-related non-conformities as noted in the preceding section.
- Reduction of the required minimum setback of a freestanding sign from 25 feet to 10 feet [Municipal Code Section 151.041(B)(1)(b)].
- Increase of the required maximum area of a freestanding sign for a single-tenant commercial building which has a total building size of 0 to 9,999 square feet, from 15 square feet to 18 square feet [Municipal Code Section 151.041(h)];
- Potential future accessory retail building which might include non-masonry exterior materials [Article 7, Section A, Part 5(e) of the Zoning Ordinance];
- Potential future accessory retail building and potential future greenhouse building, each of which would exceed the maximum allowable 144 square-foot size for an accessory structure [Article 5, Section D, Part 2(b)(2) of the Zoning Ordinance]; and
- Potential future accessory retail building and potential future greenhouse building, each of which *might* exceed the maximum allowable 15-foot height for an accessory structure, based on the conceptual images that have been provided at this time [Article 5, Section D, Part 2(c)(1) of the Zoning Ordinance].

Site Plan

1. The Architectural Site Plan depicts the existing building and proposed expanded parking lots.
2. The Master Site Plan (PUD Development Plan) depicts the existing building, proposed parking lots, a proposed future one-story, 5,400 square-foot (60' x 90') accessory retail building, and a proposed future 1,800 square-foot (30' x 60') glass greenhouse. The proposed future buildings would be located on the same lot as the existing building, immediately to the south of the to-be-completed south parking lot.
3. The Zoning Ordinance specifies a parking ratio of one (1) space per two hundred fifty (250) square feet of gross floor area plus one (1) space per employee for the work shift with the largest number of Employees. The existing 9,196 square-foot building therefore requires 37 parking spaces (including 2 handicap accessible spaces) for the building square footage, and another 5 spaces for the estimated number of employees and volunteers during any given shift, for a total of 42 parking spaces. A total of 59 spaces, including 3 handicap accessible spaces, are provided on the proposed Site Plan. Of that total, 14 spaces are designated for employees. If approved, the proposed future accessory retail building would require an additional 15 parking spaces per the Zoning Ordinance. The proposed 59 total spaces would accommodate the Zoning Ordinance required parking for the proposed future accessory retail building.
4. The Architectural Site Plan depicts the required trash enclosure which is located at the west end of the existing row of parking spaces on the north side of the existing building. The Zoning Ordinance requires that trash enclosures be constructed of materials to match the exterior of the building (in this case brick). Details for the proposed trash enclosure have not been provided at this time.
5. The Project Architect previously indicated that the existing decorative brick walls on either side of the driveway entrance would likely be removed due to their deteriorating condition. In a recent conversation with staff, the project architect indicated that the applicant would like to try and repair the existing decorative brick walls (refer to attached site photos).
6. Neither the Architectural Site Plan nor the Master Site Plan depict the existing stormwater detention basin which is located off-site to the north. The Village Engineer has reviewed the applicant's proposed completion and expansion of the existing parking lots, to confirm that the existing basin has adequate capacity to serve the existing building and paved areas.

7. The B-4 Office District requires a maximum impervious surface lot coverage of 70%. According to the Impervious Area Table on Sheet 5 of the Final Engineering Plans (attached) the existing building, expanded parking lots, existing and proposed curb and gutter, and existing and proposed sidewalks add up to 58,703 square feet, or approximately 25.44% impervious surface lot coverage. The proposed future accessory buildings would increase this slightly, but the proposed new lot would easily remain in compliance with the maximum allowable impervious surface coverage.
8. The Frankfort Fire District is requesting removal of an existing curbed landscape island at the northeast corner of the building, to be replaced with asphalt, to allow a fire truck to circulate through the north parking lot.

Tree Preservation Plan/Landscape Plan

1. The applicant has submitted a Tree Preservation Plan which depicts the existing trees to be preserved. A total of 29 existing trees are labeled as being preserved. A total of 27 trees are noted as being in good condition. Two trees are noted as being in poor condition. Except for one existing 8-inch ornamental pear tree located along the west property line, several houses to the south of the existing building, all other trees to be preserved are located along or just inside the east property line.
2. The applicant has submitted a Landscape Plan which depicts the proposed new trees and other plantings.
3. No new plantings are proposed around the perimeter of the naturalized stormwater detention basin. This area currently is planted with cattails and other water tolerant vegetation.
4. Given that the adjacent homes to the west and to the south of the subject property, the Landscape Ordinance requires a "Transition Yard" as a buffer between the proposed commercial and existing residential land uses. Per the Village's Landscaping Regulations, the required landscaping in transitional yards shall be comprised of a combination of overstory trees, evergreen trees, ornamental trees, and large shrubs. If shrubs are used, they shall be installed at a minimum height of five feet. Additional small shrubs may be used, but shall not count towards meeting the landscape requirements. Also, a minimum of a 25-foot-wide landscaped screen consisting of a minimum of 125 plant units per 100 linear feet of frontage measured along the length of a common boundary between two units. Forty percent of the plant material (by unit count) must be evergreen. The landscape plan shall include a landscape berm of no less than 3 feet in height to be located in a landscape easement. The regulations state that exceptions will be considered if the berm is determined to conflict with the natural or proposed drainage ways. In this case, the applicant is seeking to install the required plant material but not provide a berm, which could potentially impede the existing and proposed drainage conditions.
5. The Landscape Plan depicts 8 distinct "areas" along the back of each of the adjacent lots that have a full rear lot line shared with the subject property. The Landscape Plan Notes sheet contains a series of data boxes (refer to "West Property Line Screening Areas" boxes) that indicate how closely each of these individual areas will come to meeting the minimum required plant materials. Some areas indicate more than the required plant units, other areas indicate slightly less.
6. It should be noted that the Landscape Plan does not indicate any buffer landscaping along the south property line where two existing homes have significant landscape screening on their property. A modification/exception to the required landscaping is requested.
7. The Landscape Plan depicts the "parking lot screening areas". The Landscape Plan Notes sheet contains a series of data boxes (refer to "Parking lot Screening Areas" boxes) that indicate how closely each of these individual areas will come to meeting the minimum required plant materials. Some areas indicate more than the required plant units, other areas indicate slightly less.
8. Foundation plantings (shrubs) are proposed around all four sides of the existing building.
9. The existing parking lot islands on the north and south sides of the building will be planted with two trees at each end and one tree in the center, as well as numerous small shrubs throughout.

Engineering Plans

1. The applicant has submitted Engineering Plans which have been reviewed by the Village's consulting engineer. At least one round of review has been completed at this time.
2. One of the notable comments in the engineering review letter dated August 18, 2023, pertains to the planned bike path along Harlem Avenue at this location. The right-of-way adjacent to this property is identified as a "Priority Gap" in trails in the Village's Comprehensive Plan (Figure 6.10). Village staff is requesting a 10-foot-wide asphalt shared use path along Harlem Avenue. Alternatively, the applicant should indicate if there is a request for an ordinance modification/exception to this required path. At a minimum, a sidewalk would typically be required. If it is the applicant's desire to not construct the path, then the Village Engineer has requested that the shared use path should be shown on the plan as "future", and that any necessary easement be provided on the Plat of Resubdivision. Previous similar requests have resulted in cash-in-lieu contributions for future improvements by the Village and/or other entities.

Architecture

1. Building Elevations and color 3D renderings have been provided.
2. The applicant intends to paint the existing red brick facades with Keim Mineral Masonry Paint in "Classic White" color.
3. The existing roof would be completely reconstructed and covered with GAF Timberline UHD shingles in "Charcoal" color.
4. A covered dock enclosure would be added to the northwest corner of the building to provide a screened area for donation drop-offs. The dock enclosure wall material would be brick to match the building. The new gabled roof over the dock enclosure would include asphalt roofing shingles to match the main roof.
5. The rear windows on the west elevation and the two westernmost windows on the south elevation would be darkened with spandrel glass. The applicant desires to add this material to retain the current fenestration pattern, yet conceal these window openings, since they will be blocked by shelving on the interior.
6. The two small pediments above the doors on the south elevation would be stained wood siding.

Photometrics Plan

1. The applicant has submitted a Photometrics Plan, along with the proposed building and parking lot light fixtures and light pole specifications. The Photometrics Plan complies with the maximum allowable light level of 0.5 footcandles along all outer property lines.
2. Twelve (12) wall-mounted "goose-neck" style light fixtures are proposed around the building – three (3) light fixtures per facade. These would be mounted at 12 feet above the ground and would aim light downward and toward the exterior walls. The specified shade diameter is 10 inches.
3. The color will be black the goose neck building light fixtures and dark bronze for the parking lot light fixtures to match the existing light poles.
4. The maximum light pole height in the B-4 Office District is 20 feet. Given that the applicant is proposing to re-use the four (4) existing parking lot light poles which each have a 25-foot height, and which pre-date the current Zoning Ordinance, a modification of the allowable fixture height (increase from 20 feet to 25 feet) is requested as part of the PUD.
5. The Village's Municipal Code requires decorative bases for all parking lot light poles. The four (4) existing parking lot light poles each have a modest metal base which is located atop a small concrete pedestal. These light poles are located within the parking lot islands and would be mostly concealed by landscaping.

Signage

1. The submitted building elevations and building renderings reflect a one wall sign on the east elevation facing Harlem Avenue.
2. One new freestanding sign is proposed. The sign complies with the height and area regulations of the Sign Ordinance, but the proposed 10-foot setback from the east property line would require a modification from the 25-foot setback requirement.
3. The applicants desire to remove the existing monument sign which includes white text indicating "Georgetown". According to the Project Architect, the existing text would be removed and donated to the adjacent Georgetown Homeowner's Association to be used in the repair/replacement of one of their existing subdivision ground signs.

4. A small directional sign is proposed. The sign complies with the Sign Ordinance.

Preliminary and Final Plat of Subdivision

In conjunction with the Special Uses, the applicants are also requesting approval of a Preliminary and Final Plat of Resubdivision to adjust the existing lot lines so that the existing parking lot is located entirely on the same lot as the existing building. The proposed Plat of Resubdivision would consolidate the northern two lots – Lots 5 and 6 in Georgetown Square Subdivision – into one new lot and would consolidate the southern two lots – Lots 97 and 98 in Georgetown Subdivision First Addition – into one new lot. The proposed plat has been reviewed by the Village Engineer and some minor technical revisions are necessary prior to recording.

Standards for Special Uses

For reference during the workshop, Article 3, Section B, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use request.

The Plan Commission shall make written findings of fact and shall refer to any exhibits containing plans and specifications for the proposed special use, which shall remain a part of the permanent record of the Plan Commission. The Plan Commission shall submit same, together with its recommendation to the Village Board for final action. No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Standards for Planned Unit Developments

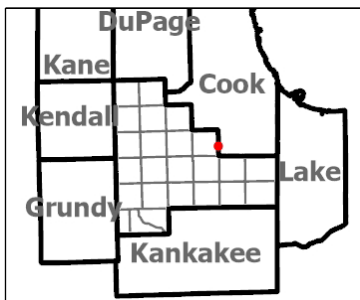
For reference during the workshop, Article 3, Section F of the Village of Frankfort Zoning Ordinance refers to Planned Unit Developments (refer to complete Article 3 attached). Part 4 of said Section F refers to the review standards the must be considered.

In granting or withholding approval of Preliminary PUD Plans and Final PUD Plans (in this case, the applicant would be seeking concurrent approval of a Preliminary and Final PUD Plan), the Plan Commission and the Village Board shall consider the extent to which the application fulfills the requirements of this Ordinance and the following standards:

- a. The plan is designed to protect the public health, welfare and safety.
- b. The proposed development does not cause substantial injury to the value of other property in the immediate area.
- c. The plan provides for protection of the aesthetic and function of the natural environment, which shall include, but not be limited to, flood plains, streams, creeks, lakes, ponds, wetlands, soil and geologic characteristics, air quality, vegetation, woodlands, and steep slopes.
- d. The plan provides for and ensures the preservation of adequate recreational amenities and common open spaces.
- e. Residential use areas may provide a variety of housing types to achieve a balanced neighborhood.
- f. The planned unit development provides land area to accommodate cultural, educational, recreational and other public and quasi-public activities to serve the needs of the residents thereof.
- g. The proposed development provide for the orderly and creative arrangement of all land uses with respect to each other and to the entire Village.



21420 S. Harlem Avenue



Legend

- Address Points
- Roadways
 - Federal
 - State
 - County
 - Local and Private
- Parcels LY
- Townships
- Wetlands
 - Lacustrine
 - Palustrine
 - Riverine
 - Upland

Notes

Date: 4/5/2022

1: 2,257



0 0.04 0.07 Miles

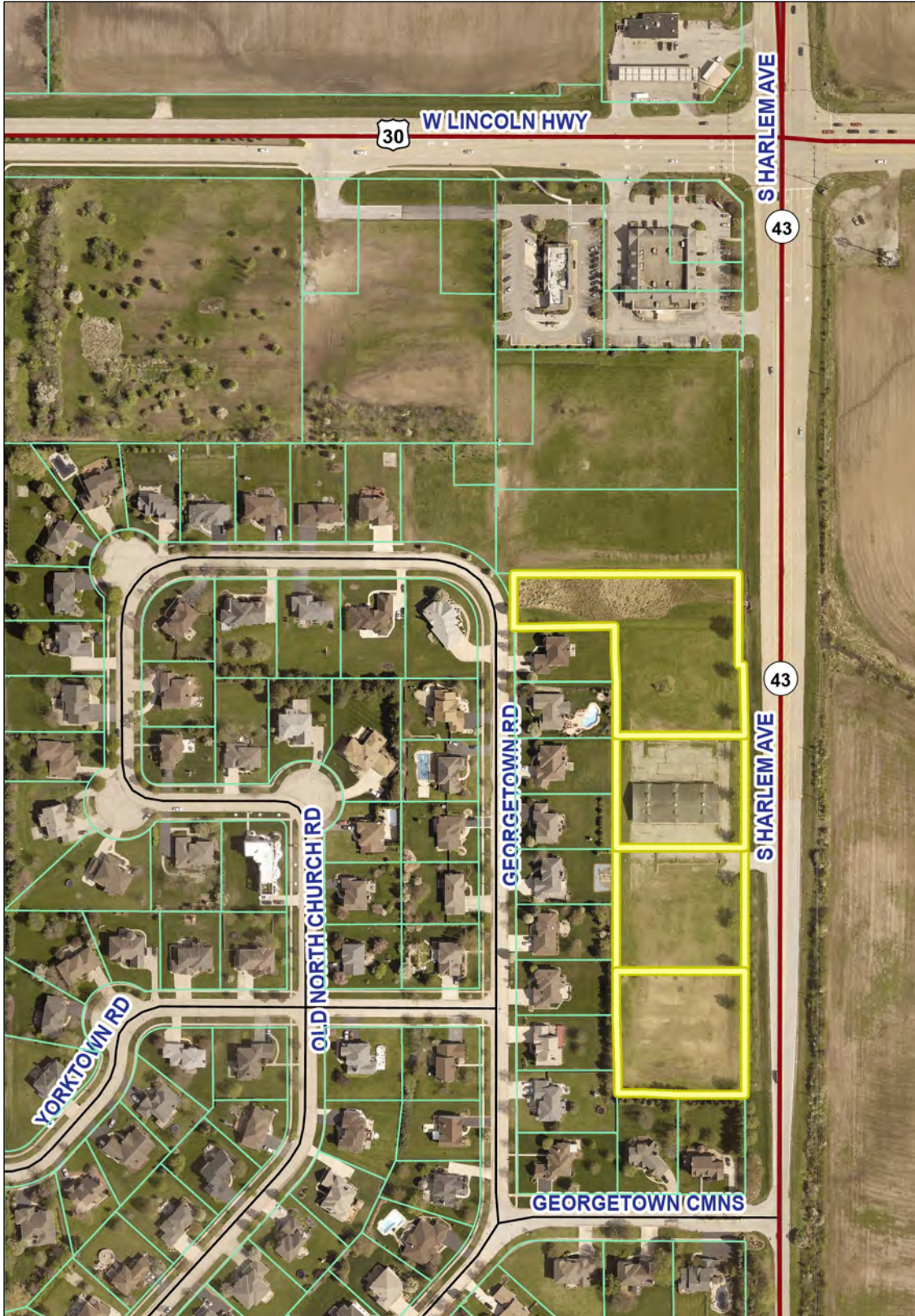
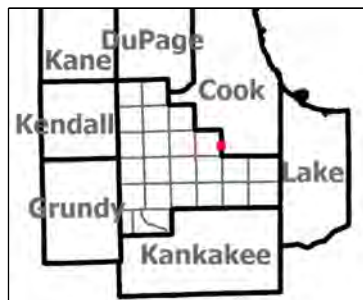
Projection

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Thrift Home & Restoration - 21420 S. Harlem Avenue



Legend

Roadways

- Federal
- State
- County
- Local and Private

Parcels LY

Townships

Notes

Date: 6/29/2022

1: 4,514

0 0.07 0.14 Miles

Projection

WGS_1984_Web_Mercator_Auxiliary_Sphere

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Site Photos – 21420 S. Harlem Avenue (July 8, 2022)



Figure 1: 21420 S. Harlem Avenue, viewed looking northwest from the driveway entrance to the site.



Figure 2: Decorative brick wall on south side of driveway entrance from Harlem Avenue.



Figure 3: Back (west) side of decorative brick wall on north side of driveway entrance from Harlem Avenue.



Figure 4: Cross-access drive-aisle on east side of building, viewed looking north.



Figure 5: East and North Building Elevations, viewed looking southwest.



Figure 6: North parking lot, viewed looking west. Homes in Georgetown Subdivision visible in background.



Figure 7: South parking lot, viewed looking west. Homes in Georgetown Subdivision visible in background.



Figure 8: West transitional yard, viewed looking north. Homes in adjacent Georgetown visible at left.



Figure 9: West transitional yard, viewed looking south. Homes in adjacent Georgetown visible at right.



Figure 10: South main entrance to building.



Figure 11: Undeveloped property adjacent to south, viewed looking south from south parking lot.



PROFILE & PROSPECTUS



ABOUT THE BRIDGE



The Bridge Teen Center is an innovative 501(c)(3) nonprofit organization that provides FREE holistically-designed afterschool programs for students in 7th-12th grade. Our programs are unique in that they are offered exclusively for teens, are designed around the interests and needs of teens in the suburbs, are facilitated almost exclusively by adult volunteers from the community, and are offered to students **free of charge**.

Our free programs are divided into five different “buckets” which include: Everyday Life, Educational Support, Mind/Body, Community Connections and Expressive Arts. From trades programs to culinary demos to art programs and job readiness training, 350+ programs are offered annually.

We are a place for students not just to BE, but to BECOME.

In our changed world, teens face many challenges – including mental health, suicidal tendencies, self-deception as a result of social media, anxiety, and more. We proactively address these issues by providing a positive, supportive, and safe environment where teens can **CONNECT** with peers and positive adult mentors, **ENGAGE** in life changing programs and events, and be **EMPOWERED** to challenge themselves to grow in ways they never dreamt possible.

Our programs have been recognized at the local, state, and national level by many well-known organizations over the years, including the Afterschool Alliance, Illinois Afterschool Network, US Conference of Mayors, John Maxwell, and more. Over the last 12 years, The Bridge has emerged as a national trendsetter in teen afterschool programming and is contacted for guidance from groups and organizations all over the country on a regular basis.

TEEN CENTER TIMELINE

JUNE 2010

The first 2,400 square foot “temporary” location opens in Orland Park.



JULY 2013

The Bridge purchases the entire 24,000 sq. foot building they had been renting since 2010.



DECEMBER 2015

The Bridge completes another expansion project to double their space for a second time.



NOVEMBER 2017

The Bridge Teen Center wins Chick-fil-A's True Inspiration Award.



AUGUST 2019

A new single-night attendance record is set on Friday, August 23rd with 214 students.



APRIL 2020

Despite the COVID-19 shelter-in mandate, we provided 'Bridge @ Home' kits and 'Bridge @ Zoom' programming to students.



JULY 2020

Resumed in-person programs with COVID-19 safety guidelines for students, volunteers and staff.



NOVEMBER 2021

November is officially declared 'Empowering Teens Month' in Illinois by the governor in honor of The Bridge Teen Center's free holistic programs.



MAY 2011

The first expansion is completed to double The Bridge's square footage.



JULY 2015

The Bridge's anti-bullying initiatives earn Orland Park a national Livability Award from the U.S. Conference of Mayors.



JANUARY 2016

The Bridge Thrift Store is launched to raise funds and provide new job-readiness programs & service opportunities for students.



MARCH 2018

The Bridge becomes the sole host of the long-running Chef's Auction fundraiser, and raises a record \$149,310 in the first year.



MARCH 2020

The Bridge Thrift Store awarded "Best Thrift Store" Southwest Choice Award.



JUNE 2020

The Bridge Thrift Store reopens to the public with COVID-19 safety guidelines.



OCTOBER 2020

The Bridge serves their 10,000th unique student since opening in 2010.



REDEFINING THRIFT



The Bridge Thrift Store is not your typical charitable resale shop.

Founded in 2016, our brand has been built around quality, cleanliness, organization, and stylish merchandising. Not only is the store known for high quality merchandise at great prices, but as evidenced by the reviews shared here, it is known for exceptional guest services and a commitment to supporting local teens and families.

From the moment you walk in, it is evident that this is not like other stores in its category. Department store style sections feature clean and organized merchandise. Unique and unexpected additions include a 360 degree jewelry counter in the heart of the store, an award-winning "Antiques & Cool Junk" section, and creative signage that rivals the largest national retailers. **It is a store our students are proud to be part of.**

Not only does the store generate significant revenue and feet on the street, but it provides **meaningful opportunities for suburban teens.** From short-term community service opportunities to group service projects to participating in the innovative "Thriftastic" job readiness program, valuable skills are being shared with young people that will be carried with them throughout life. The store is amazing, but it can be argued that the impact on the community is even more impressive.

The Bridge Thrift Store is seeking a second location in the Frankfort area. The purpose of this expansion is to increase sustainable revenue for The Bridge Teen Center, provide more convenient service and job readiness programming for students in the Lincoln-Way area, and to provide a destination for individuals looking to give their gently used merchandise to a **LOCAL cause that supports LOCAL families** (instead of national organizations with unknown beneficiaries).

THRIFTASTIC PROGRAM



Encouraging, Affirming and Preparing for the Future...

As the job market continues to rapidly evolve, programs that equip young people for future positions are more crucial than ever before. The Bridge Teen Center and The Bridge Thrift Store are responding to this need in a profound way. Our "Thriftastic" job readiness programming is intentionally designed to challenge students to discover new talents, develop as leaders, and learn to function as part of a thriving team.

The Thriftastic program is designed to help introduce students to the concept of serving others while gaining hard and soft skills, maintaining a committed schedule, and serving as part of a team. There are four progressive program tiers, where students set specific goals and measure their outcomes (with staff). A booklet is used throughout the program to track benchmarks and facilitate meaningful discussions as students build their professional and leadership skills.

Over the last year, this program has grown exponentially - tripling projections. We also saw major growth in overall volunteerism, with a 140% increase over the prior year (600+ students). Students consistently refer to their roles as their 'jobs' and have a sense of ownership over their specific areas. They have a purpose and are valued for their service. Many are even counting down the days until they can earn paid positions at the store.

This program consistently provides students with an invaluable opportunity to learn and grow in a safe and nurturing (yet challenging) environment. We are privileged to speak into their lives and encourage and affirm them in their daily tasks. We are also building relationships with them and helping them to gain confidence. **We are preparing them for more than just a job - we are preparing them to become hard-working, well-rounded young adults that contribute to their community.**

BY THE NUMBERS



92%

% of Donations Directed to Program

10,800+

Different Students Served Since 2010

128

Local Communities Served Since 2010

350+

Free Programs Offered Per year

\$0

Ongoing Government Funding Received

500-800

New Students Welcomed Per Year



115-170

Transactions Per Day

1,000,000+

Transactions Since 2016

\$45,000+

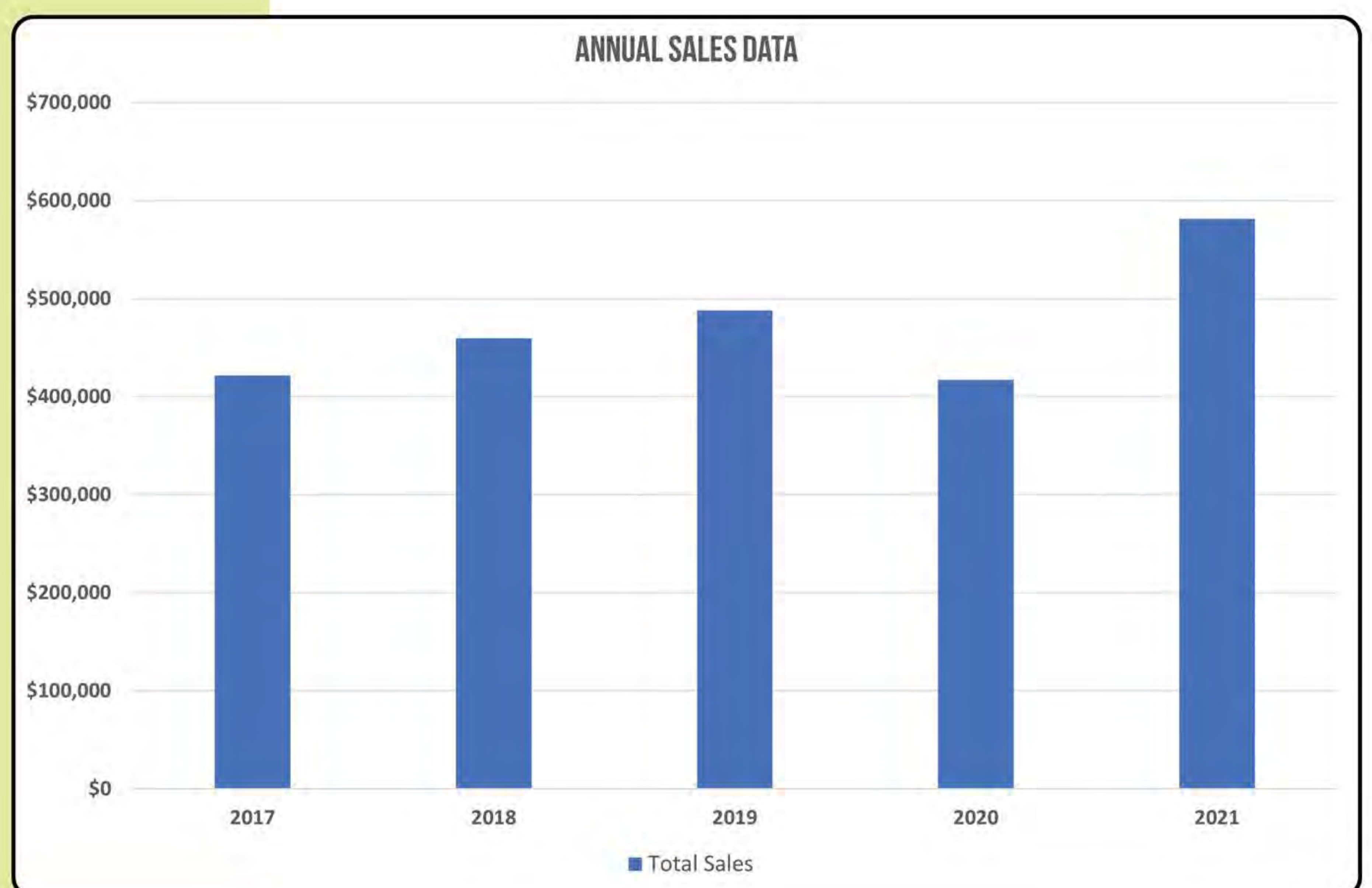
Average Monthly Revenue

\$2,000,000+

Donated Since 2016

600+

Student Volunteers Per Year



STORE FEEDBACK

AWARDS:

2019 WINNER
BEST THRIFT STORE

22ND
Century
MEDIA

2020 WINNER
BEST THRIFT STORE

SOUTHWEST
CHOICE
AWARDS
PRESENTED BY 22ND CENTURY MEDIA

2020 WINNER
BEST ANTIQUES

SOUTHWEST
CHOICE
AWARDS
PRESENTED BY 22ND CENTURY MEDIA

Reviews ★★★★★

**“Not your typical
Thrift Store...”**

**“...this place is so clean
and organized.”**

**“...a treasure of a
thrift store...”**

**“...the store always
blows my mind.”**

**“...wonderful nice
inviting people
work there...”**

“Such a cute store!”

**“I love this store
and everything
it stands for.”**

**“...very clean, organized
and stylish....”**

WHAT'S NEXT: OUR VISION



Showroom style/specialty thrift store, focusing on higher end home goods (includes furniture, decor, antiques and collectibles).



Curated retail space for unique offerings such as house plants, vintage items, and dedicated space for "pop-up" shops that feature the work of local artisans.



Second operation provides more opportunity/closer proximity for current and new Lincoln-Way area students to engage in our job readiness programming.



Outdoor green space with meadow and quiet space to promote emotional and mental health in a welcoming and safe environment for students.

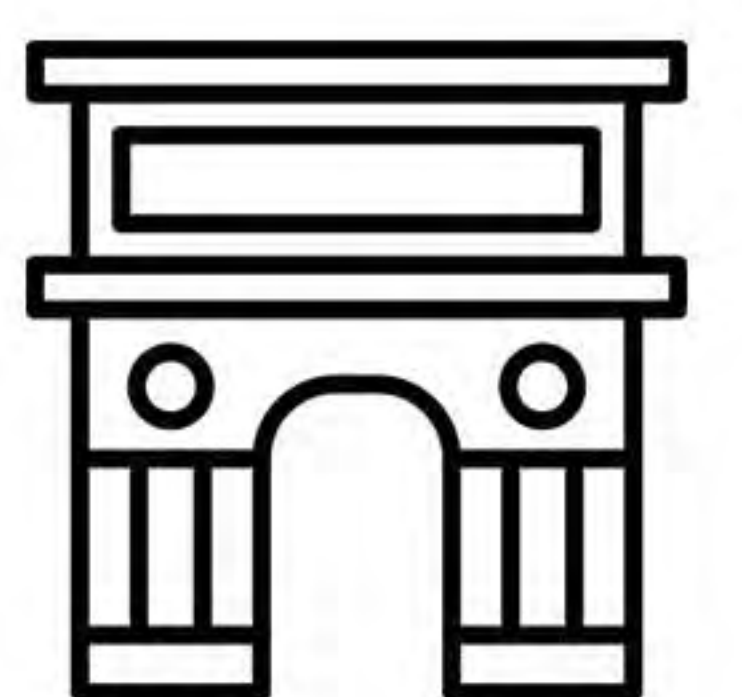


Additional space will be added in time to include:

Extension of The Bridge Teen Center's gardening programming, to include a year-round educational greenhouse and space for additional STEM programs.



Additional retail space for repurposing and architectural salvage inventory - further distinguishing our brand as unique in our sector.



REAL IMPACT



SUSTAINABILITY

Revenue from a second Thrift Store location will provide an additional 20-30% of The Bridge Teen Center's operating budget, making the organization less reliant on unstable donations and event fundraising.



BUILDING FUTURES

The ability to expand our thriving "Thriftastic" job readiness programming means we will have the opportunity to impact many more young lives in communities surrounding Frankfort. This will be especially important as the job market remains competitive for employers who seek qualified, experienced workers.



NEXT GENERATION

Contributing now to building out a second store location will represent a direct investment in our local teens and families - making sure The Bridge is available to them for many years to come in communities we have yet to consistently reach.



LOCAL IMPACT

Additional space that provides amenities our existing facility cannot will open up new opportunities for thousands of local teens - not only through expanded job readiness programming but also through a broader base of outdoor programs that focus on STEM and gardening.



RALLYING COMMUNITY

The Bridge is built on the support of the local community in virtually every way. A second store location will allow us to expand opportunities for community members, local clubs, churches and other groups to serve locally in support of teens and families in their own backyard.

CONTACT INFO



STORE LOCATION:

15605 S. Harlem
Orland Park, IL 60462



EMAIL:

priscilla@thebridgeteencenter.org



MAIN PHONE:

708.532.0500



ORGANIZATION WEBSITE:
THEBRIDGETEENCENTER.ORG



SOCIAL MEDIA:

[FB.COM/BRIDGETHRIFT](https://www.facebook.com/BRIDGETHRIFT)
[FB.COM/BRIDGETC](https://www.facebook.com/BRIDGETC)
INSTAGRAM: BRIDGETHRIFT
INSTAGRAM: THEBRIDGETC

RECEIVED

By Mike Schwarz at 2:55 pm, May 24, 2022



RETAIL SALES OF DONATED GOODS:

- Furniture
- Home Goods
- Antiques & Collectibles
- Crafts & Creations from Local Artisans
- Small Potted Plants
- Salvaged Architectural Elements
- Repurposed & Upcycled Items
- Jewelry
- Accessories & Select Designer Apparel

JOB READINESS TRAINING & VOLUNTEERISM:

- Retail Training Area for Students
- Ongoing Teen Volunteerism (Individuals & Groups)
- Volunteer Opportunities for Adults (Individuals & Groups)

CONNECTIVITY TO THE BRIDGE TEEN CENTER:

- Although there is a clear affiliation with The Bridge Teen Center, this location is NOT a Teen Center.
- The building is being purchased by The Bridge Thrift Store, NOT The Bridge Teen Center.
- The Bridge Teen Center is simply the beneficiary of proceeds from this establishment.
- Future proposals for use of the adjacent vacant parcels will be brought to the village for consideration.

STORE HOURS:

- Sunday/Monday: CLOSED
- Tuesday/Thursday: 10-7
- Monday/Wednesday/Friday/Saturday: 10-5

RECEIVED
By Mike Schwarz at 2:57 pm, May 24, 2022

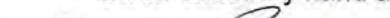


- IRON PIPE RECOVERED
□ IRON ROD RECOVERED
■ IRON ROD SET
(100.0) RECORDED DIMENSION
100.00 MEASURED DIMENSION

A part of Lot 5, in Georgetown Square, being a Subdivision of part of the Southeast Quarter of Section 24, Township 35 North, Range 12 East of the Third Principal Meridian, according to the plat thereof recorded January 13, 1987 as Document Number R87-1983, in Will County, Illinois described as follows: Beginning at an iron rod at the Northeast corner of said Lot 5; thence South 00°00'02" West a distance of 288.31 feet to an iron rod at the Southeast corner of said Lot 5; thence North 89°49'08" West along the South line of said Lot 5 a distance of 229.77 feet to an iron rod on the East line of Georgetown Subdivision, recorded as Document Number 89-25414; thence North 00°00'03" West a distance of 193.47 feet to an iron rod at the Northeast corner of Lot 63 in said Georgetown Subdivision; thence North 89°45'36" West a distance of 180.03 feet to an iron rod at the Northwest corner of said Lot 63; thence North 00°01'08" West along the East line of said Georgetown Subdivision a distance of 95.82 feet to an iron rod on the North line of said Lot 5; thence South 89°39'24" East a distance of 409.84 feet to the point of beginning, containing 1.918 acres more or less, SUBJECT TO rights of way for road, drainage and easement apparent or of record.

This is to certify that on April 16 and 24, 2008, at the request of GEORGE SARRIS, Agent, I, John C. Barrett, an Illinois Professional Land Surveyor, certify that this survey was made on the ground, that this plat correctly represents the facts found at the time of survey and that this professional service conforms to the current applicable Illinois Professional Land Surveyor Association Standards. This survey does not guarantee title information. Valid only if original Surveyor's Seal is affixed.

Given under my hand and seal this 29th day of April, 2008.


I.P.L.S. #2997 Expires 11-30-08
John C. Barrett 367 South Schuyler Avenue
Tyson Engineering, Inc. Kankakee, IL 60901
Design Firm License #184-001136



Job #S08121

NOTES:

1. This professional service conforms to the current Illinois minimum standards for a boundary survey.
2. Please check Land Description with Deed and report any discrepancy immediately.
3. Compare all points before building by same and report any discrepancies at once.
4. Building lines, if any, shown hereon are building lines shown on the recorded subdivision plat.
5. Consult local authorities for building lines established by local ordinance.
6. No title or easement documentation was provided by the Agent. Property lines, easements and rights-of-way shown hereon are based solely on information furnished by the agent. The Land Surveyor did not do a title search to locate any other easements or agreements of record.

PLAT OF SURVEY

SCALE 1" = 50'

LEGEND

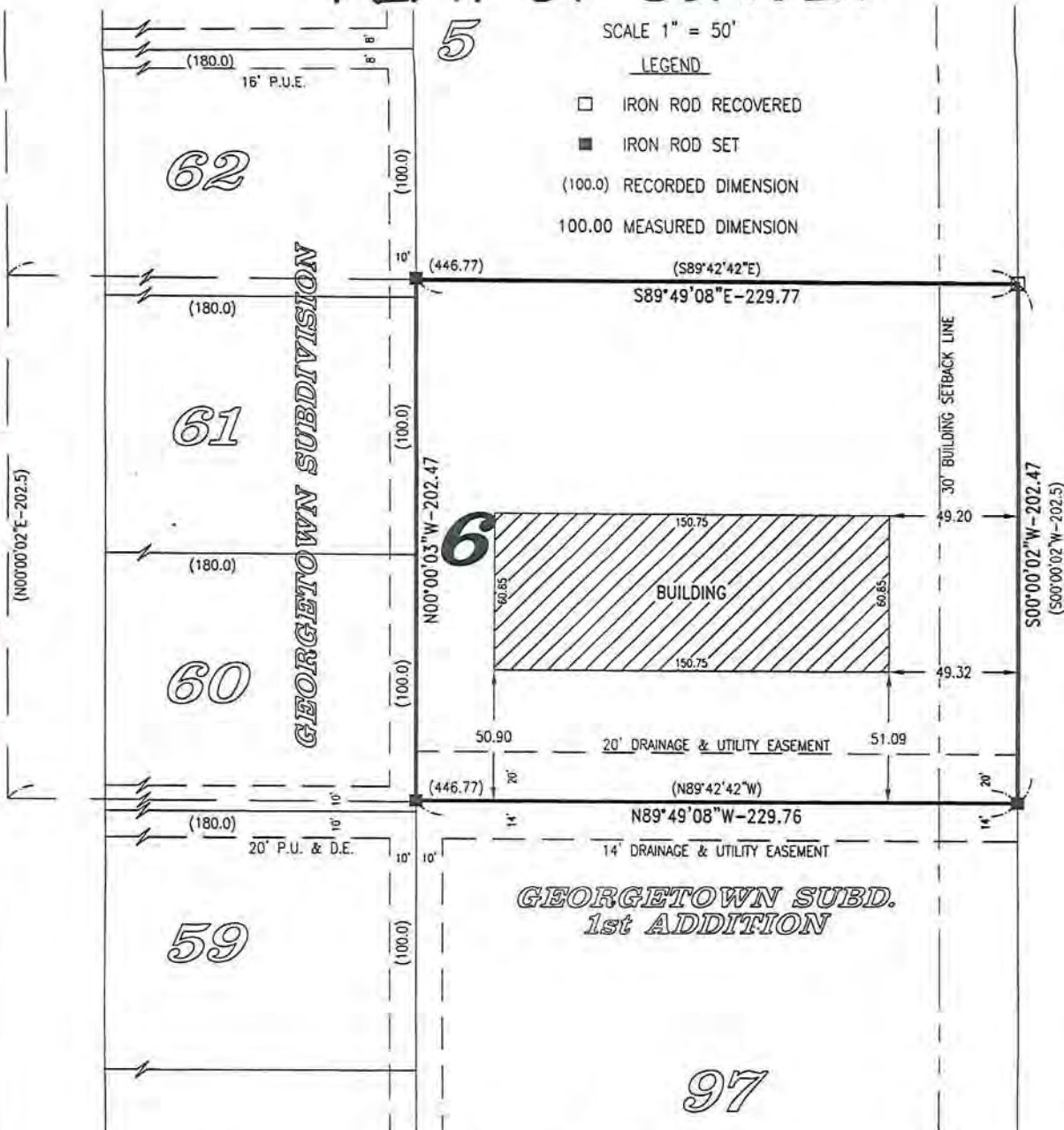
- IRON ROD RECOVERED
- IRON ROD SET
- (100.0) RECORDED DIMENSION
- 100.00 MEASURED DIMENSION

(140')



HARLEM AVENUE

(140')



SUGGESTED LAND DESCRIPTION

A part of Lot 6, in Georgetown Square, being a Subdivision of part of the Southeast Quarter of Section 24, Township 35 North, Range 12 East of the Third Principal Meridian, according to the plat thereof recorded January 13, 1987 as Document Number R87-1983, in Will County, Illinois described as follows: Beginning at an iron rod at the Northeast corner of said Lot 6; thence South 00°00'02" West a distance of 202.47 feet to an iron rod at the Southeast corner of said Lot 6; thence North 89°49'08" West along the South line of said Lot 6 a distance of 229.76 feet to an iron rod on the East line of Georgetown Subdivision recorded as Document Number 89-25414; thence North 00°00'03" West along said East line a distance of 202.47 feet to an iron rod on the North line of said Lot 6; thence South 89°49'08" East a distance of 229.77 feet to the point of beginning, containing 1.068 acres more or less, SUBJECT TO rights of way for road, drainage and easement apparent or of record.

This is to certify that on April 16, 2008, at the request of **GEORGE SARRIS**, Agent, I, John C. Barrett, an Illinois Professional Land Surveyor, certify that this survey was made on the ground, that this plat correctly represents the facts found at the time of survey and that this professional service conforms to the current applicable Illinois Professional Land Surveyor Association Standards. This survey does not guarantee title information. Valid only if original Surveyor's Seal is affixed.

Given under my hand and seal this 29th day of April, 2008.

John C. Barrett
 John C. Barrett I.P.L.S. #2997 Expires 11-30-08
 367 South Schuyler Avenue
 Tyson Engineering, Inc. Kankakee, IL 60901
 Design Firm License #184-001136



RECEIVED

MAY 14 2008

Job #S08122

VILLAGE OF FRANKFORT

NOTES:

1. This professional service conforms to the current Illinois minimum standards for a boundary survey.
2. Please check Land Description with Deed and report any discrepancy immediately.
3. Compare all points before building by same and report any discrepancies at once.
4. Building lines, if any, shown hereon are building lines shown on the recorded subdivision plat.
5. Consult local authorities for building lines established by local ordinance.
6. No title or easement documentation was provided by the Agent. Property lines, easements and rights-of-way shown hereon are based solely on information furnished by the agent. The Land Surveyor did not do a title search to locate any other easements or agreements of record.

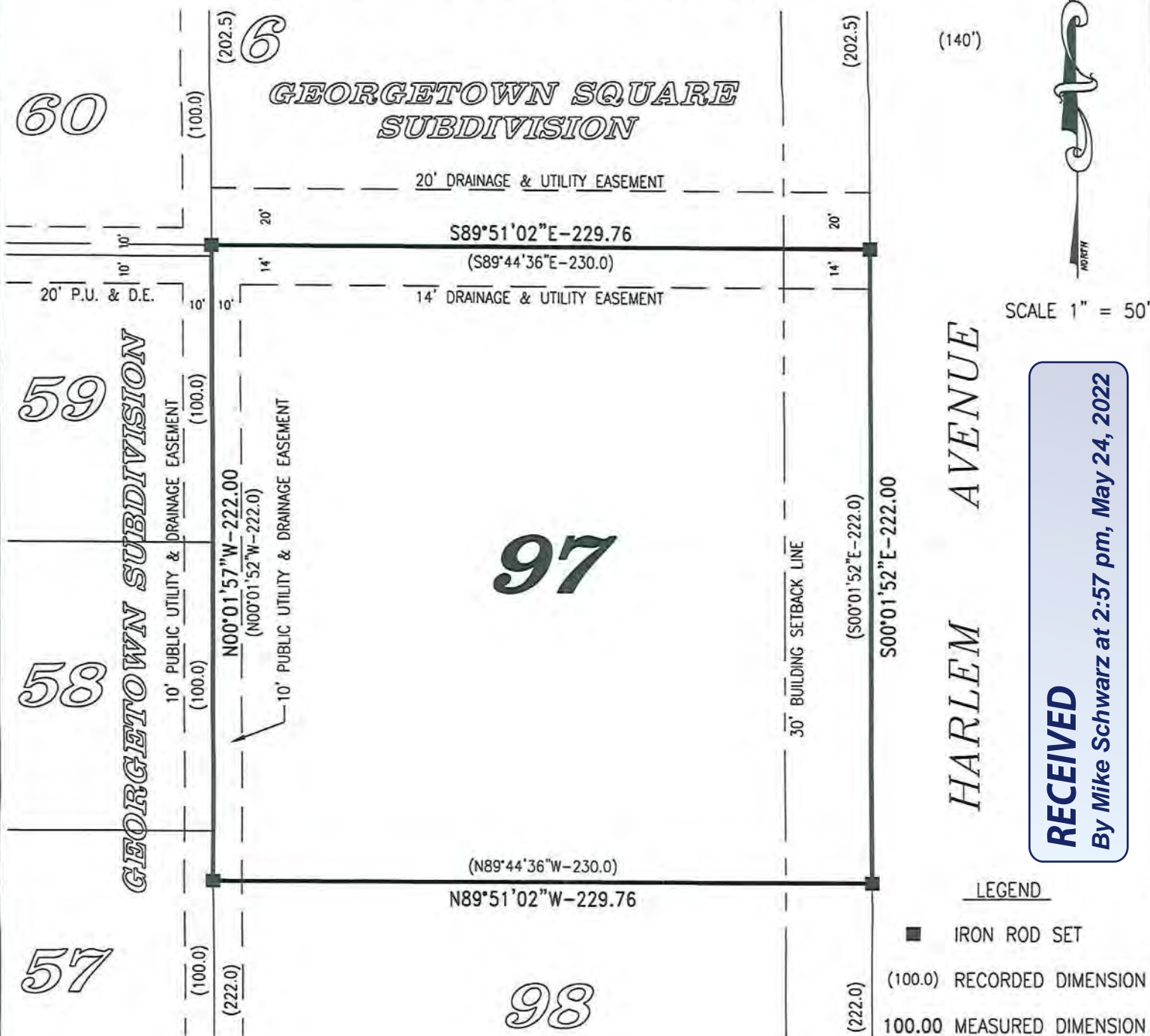
RT - SB 152/46 KM

P:\2008\08122\dwg\08122.dwg 4/29/2008 9:22:48 AM CDT

RECEIVED

By Mike Schwarz at 2:57 pm, May 24, 2022

PLAT OF SURVEY



LEGAL DESCRIPTION

Lot 97 Georgetown Subdivision First Addition being a Subdivision of part of the Southeast Quarter of Section 24, Township 35 North, Range 12 East of the Third Principal Meridian in Will County, Illinois.

This is to certify that on April 16, 2008, at the request of GEORGE SARRIS, Agent, I, John C. Barrett, an Illinois Professional Land Surveyor, certify that this survey was made on the ground, that this plat correctly represents the facts found at the time of survey and that this professional service conforms to the current applicable Illinois Professional Land Surveyor Association Standards. This survey does not guarantee title information. Valid only if original Surveyor's Seal is affixed.

Given under my hand and seal this 25th day of April, 2008.

 I.P.L.S. #2997 Expires 11-30-08
John C. Barrett 367 South Schuyler Avenue
Tyson Engineering, Inc. Kankakee, IL 60901
Design Firm License #184-001136

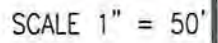


Job #S08123

NOTES:

1. This professional service conforms to the current Illinois minimum standards for a boundary survey.
2. Please check Land Description with Deed and report any discrepancy immediately.
3. Compare all points before building by same and report any discrepancies at once.
4. Building lines, if any, shown hereon are building lines shown on the recorded subdivision plat.
5. Consult local authorities for building lines established by local ordinance.
6. No title or easement documentation was provided by the Agent. Property lines, easements and rights-of-way shown hereon are based solely on information furnished by the agent. The Land Surveyor did not do a title search to locate any other easements or agreements of record.

(140')



By Mike Schwarz at 2:57 pm, May 24, 2022

RT - SB 152/46 KM

OF THE BRIDGE RE-SUBDIVISION



ADDRESS
21410 - 21500 S. HARLEM AVENUE
FRANKFORD, ILLINOIS 60423

**PARCEL IDENTIFICATION
NUMBER**

RESERVED FOR THE WILL COUNTY RECORDER OF DEEDS



IL. STATE ROUTE 43 (S. HARLEM AVENUE)
(HERETOFORE DEDICATED)

1. ALL AREAS ARE PLUS OR MINUS.
2. ALL DISTANCES ARE IN FEET AND DECIMAL PARTS THEREOF.
3. ALL EASEMENTS ARE HEREBY GRANTED TO THE VILLAGE OF FRANKFORT, ILLINOIS.
4. LOTS 1 AND 2 SHALL HAVE ONLY ONE ACCESS TO IL ROUTE 43 (S. HARLEM AVENUE).
5. THERE SHALL BE NO ACCESS FROM THE STORMWATER DETENTION EASEMENT TO HARLEM AVENUE.
6. THE CURRENT OR SUBSEQUENT TITLE HOLDERS OF LOT 1 SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER DETENTION EASEMENT.

FD.	FOUND	N	S	NORTH
####	RECORD DIMENSION	E	SOUTH	
####	MEASURED DIMENSION	E	EAST	
FIP	FOUND IRON PIPE	W	WEST	
FIR	FOUND IRON ROD OR PIN			
P.U.E.	PUBLIC UTILITY EASEMENT			
D.E.	DRAINAGE EASEMENT			
B.S.L.	BUILDING SETBACK LINE			
SQ. FT.	SQUARE FEET			
I.E.E.	INGRESS-EGRESS EASEMENT			

FOUND IRON PIPE
 FOUND IRON ROD / REBAR
 SET 5/8" x 24" IRON PIPE
 SET CONCRETE MONUMENT
 BOUNDARY LINE
 EXISTING RIGHT OF WAY LINE
 EXISTING EASEMENT LINE
 SECTIONAL LINE
 PROPOSED LOT LINE
 PROPOSED EASEMENT LINE

RECEIVED
By Mike Schwarz at 5:18 pm, Jul 18, 2023

SEE SHEET 2 OF 3 FOR PROPOSED CONDITIONS

1 OF 1

3

EXISTING CONDITIONS

DESIGNTEK ENGINEERING, INC.
CONSULTING, CIVIL ENGINEERING & LAND SURVEYING
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
FAX: (708) 326-4692
IL PROF. LIC. NO.: 184-003740

FINAL PLAT
FOR
THE BRIDGES RE-SUBDIVISION
FRANKFORD, ILLINOIS

PWM ARCHITECTURE, LLC
3603 CHESAPEAKE ROAD
T. CHARLES, ILLINOIS 60175

[illegible]

PROJECT INFORMATION
Project No.: 23-0010
Scale: 1" = 40'
Date: 07/12/2023
Field Date: 04/10/2022
Drawn By: SJL
Checked By: MJF

FINAL PLAT

OF
THE BRIDGE RE-SUBDIVISION

BEING A RE-SUBDIVISION OF LOTS 5 & 6 IN GEORGETOWN SQUARE AND LOTS 97 & 98 IN GEORGETOWN SUBDIVISION FIRST ADDITION, BEING SUBDIVISIONS OF PART OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

BASIS OF BEARING

THE BASIS OF BEARINGS IS THE ILLINOIS STATE PLANE SYSTEM - EAST ZONE 1201, NORTH AMERICAN DATUM 1983 (NAD '83, 2011 ADJUSTMENT)

SITE DATA

GROSS AREA: 230,795 SQ. FT.
PROPOSED LOT 1: 179,738 SQ. FT.
PROPOSED LOT 2: 51,057 SQ. FT.

PARCEL IDENTIFICATION NUMBER

PARCEL 1: 19-09-24-401-021
PARCEL 2: 19-09-24-401-022
PARCEL 3: 19-09-24-401-023
PARCEL 4: 19-09-24-401-020

ADDRESS

21410 - 21500 S. HARLEM AVENUE
FRANKFORT, ILLINOIS 60423

GRAPHIC SCALE
(IN FEET)
1 Inch = 40 ft.

RESERVED FOR THE WILL COUNTY RECORDER OF DEEDS

GEORGETOWN ROAD
(HERETOFORE DEDICATED)

IL. STATE ROUTE 43 (S. HARLEM AVENUE)
(HERETOFORE DEDICATED)

WILL COUNTY
COOK COUNTY

NOTES

- ALL AREAS ARE PLUS OR MINUS.
- ALL DISTANCES ARE IN FEET AND DECIMAL PARTS THEREOF.
- ALL EASEMENTS ARE HEREBY GRANTED TO THE VILLAGE OF FRANKFORT, ILLINOIS.
- LOTS 1 AND 2 SHALL HAVE ONLY ONE ACCESS TO IL ROUTE 43 (S. HARLEM AVENUE.)
- THERE SHALL BE NO ACCESS FROM THE STORMWATER DETENTION EASEMENT TO HARLEM AVENUE.
- THE CURRENT OR SUBSEQUENT TITLE HOLDERS OF LOT 1 SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER DETENTION EASEMENT.

ABBREVIATIONS		LEGEND	
FD.	FOUND	FIP	FOUND IRON PIPE
(###)##	RECORD DIMENSION	● FIP	FOUND IRON ROD/REBAR
####	MEASURED DIMENSION	○ SIP	SET 5/8" x 24" IRON PIPE
FIP	FOUND IRON PIPE	■ SCM	SET CONCRETE MONUMENT
P.U.E.	PUBLIC UTILITY EASEMENT	---	BOUNDARY LINE
D.E.	DRAINAGE EASEMENT	---	EXISTING EASEMENT LINE
B.S.L.	BUILDING SETBACK LINE	---	SECTIONAL LINE
SQ. FT.	SQUARE FEET	---	PROPOSED LOT LINE
I.E.E.	INGRESS-EGRESS EASEMENT	---	PROPOSED EASEMENT LINE

PWM ARCHITECTURE, LLC
3603 CHESAPEAKE ROAD
ST. CHARLES, ILLINOIS 60175

FINAL PLAT
FOR
THE BRIDGES RE-SUBDIVISION
FRANKFORT, ILLINOIS

DESIGNTEK ENGINEERING, INC.
CONSULTING, CIVIL ENGINEERING & LAND SURVEYING
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
FAX: (708) 326-4961
IL PROF. LIC. No.: 184-003740

PROJECT INFORMATION
Project No.: 23-0010
Scale: 1" = 40'
Date: 07/12/2023
Field Date: 04/10/2023
Drawn By: SJL
Checked By: MJF

2 OF 3

PROPOSED CONDITIONS

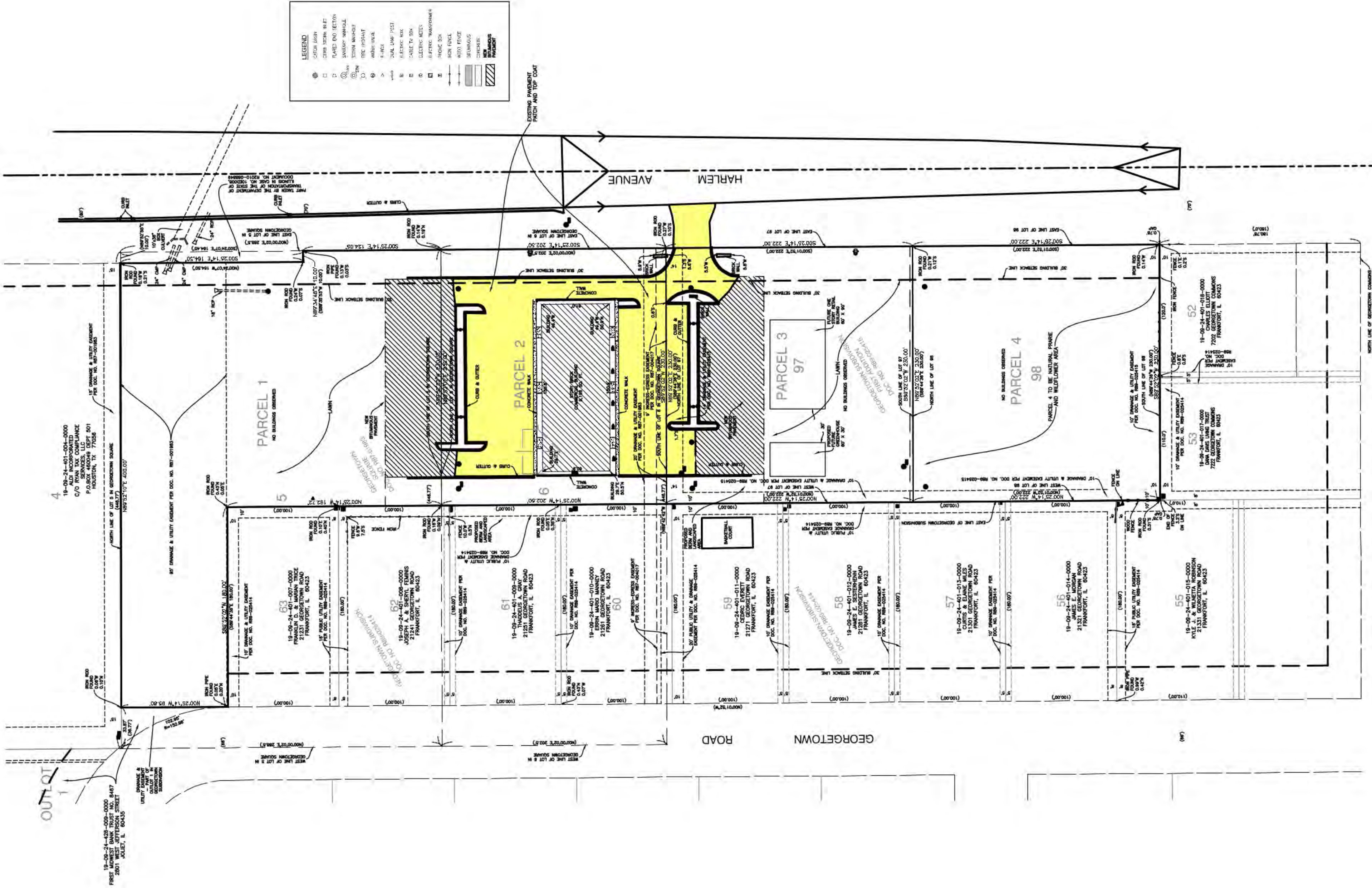
SEE SHEET 1 OF 3 FOR EXISTING CONDNTIONS



PROJECT
LOCATION

VICINITY MAP
(NOT TO SCALE)

PARCEL 1 AREA	81,954 SQUARE FEET	OR	1.882 ACRES	KNOWN AS:	21410 SOUTH HARLEM AVENUE, FRANKFORT, ILLINOIS 60423 (PARCEL 1)
PARCEL 2 AREA	48,574 SQUARE FEET	OR	1.089 ACRES		21420 SOUTH HARLEM AVENUE, FRANKFORT, ILLINOIS 60423 (PARCEL 2)
PARCEL 3 AREA	51,059 SQUARE FEET	OR	1.172 ACRES		21470 SOUTH HARLEM AVENUE, FRANKFORT, ILLINOIS 60423 (PARCEL 3)
PARCEL 4 AREA	51,059 SQUARE FEET	OR	1.172 ACRES		21500 SOUTH HARLEM AVENUE, FRANKFORT, ILLINOIS 60423 (PARCEL 4)
GROSS AREA	230,646 SQUARE FEET	OR	5.295 ACRES		



1 MASTER SITE PLAN
SP1.1 1"=60'-0"

RECEIVED
By Mike Schwarz at 5:19 pm, Jul 18, 2023

PWM
ARCHITECTURE,
LLC
3603 CHESAPEAKE RD
SAINT CHARLES, IL 60175

06-21-23	FOR REVIEW
02-06-23	FOR REVIEW
01-01-23	FOR REVIEW
12-15-22	FOR REVIEW
05-27-22	FOR REVIEW
NO	DATE
NO	ISSUE / REVISION

BRIDGE
21420 S Harlem Avenue
Frankfort, Illinois

PROJECT NO.:	JLP
DRAWN BY:	JLP
CHECKED BY:	PWM

MASTER SITE PLAN

SP1.1

3603 CHESAPEAKE RD
SAINT CHARLES, IL. 60175

[illegible]

BRIDGE
21420 S Harlem Avenue
Frankfort, Illinois

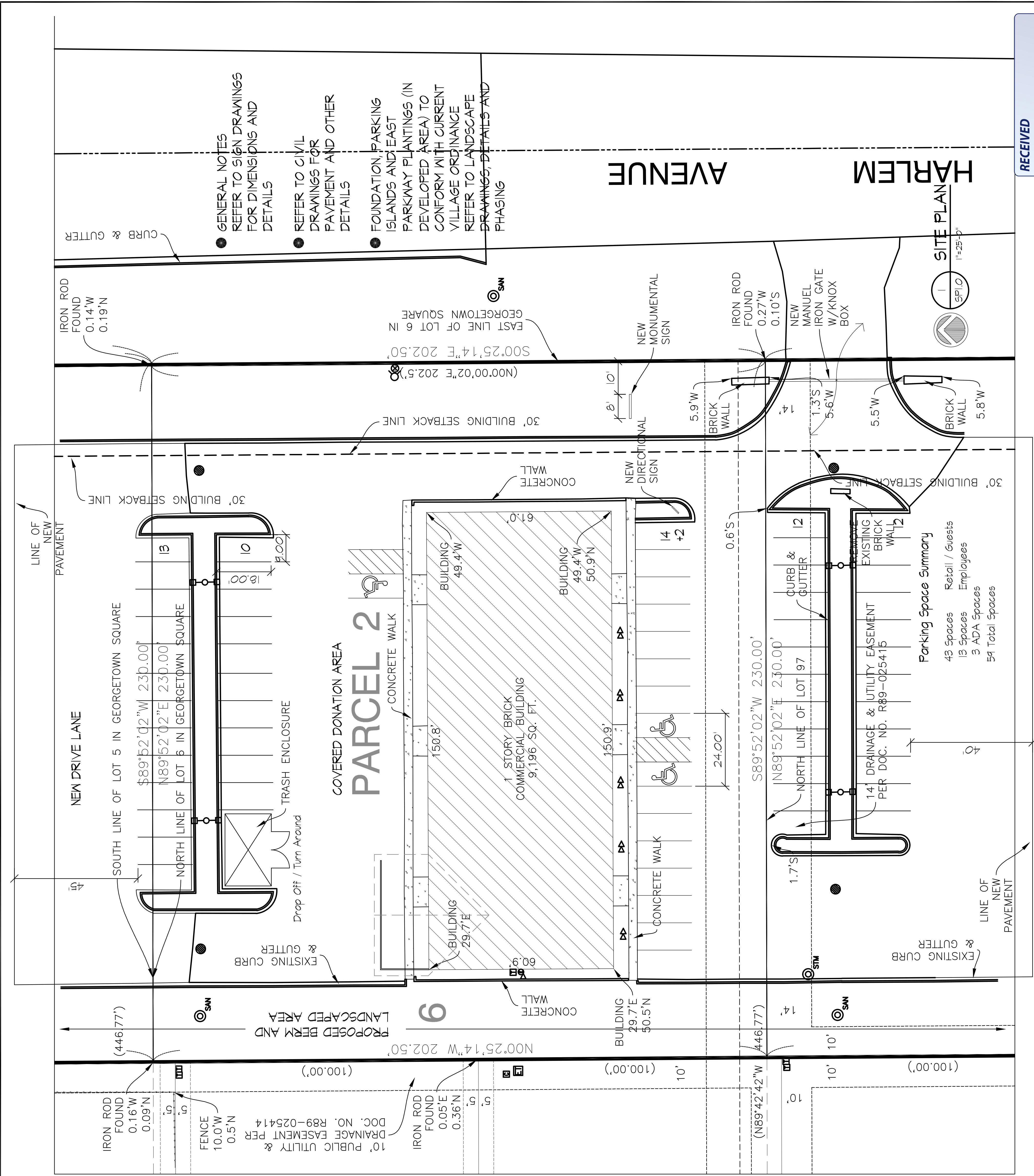
PROJECT NO.:	
DRAWN BY:	JJP
CHECKED BY:	PWM

SHEET TITLE:

ARCHITECTURAL SITE PLAN

SHEET:

SP1.0



RECEIVED

By Mike Schwarz at 5:20 pm, Jul 18, 2023

	02-17-23	FOR REVIEW
	01-04-23	FOR REVIEW
	05-27-22	FOR REVIEW
	04-24-22	FOR REVIEW
	04-26-22	FOR REVIEW
	04-25-22	FOR REVIEW
	04-20-22	FOR REVIEW
NO.	04-10-22	FOR REVIEW
NO.	DATE	ISSUE /REVISION

BRIDGE
21420 S Harlem Avenue
Frankfort, Illinois

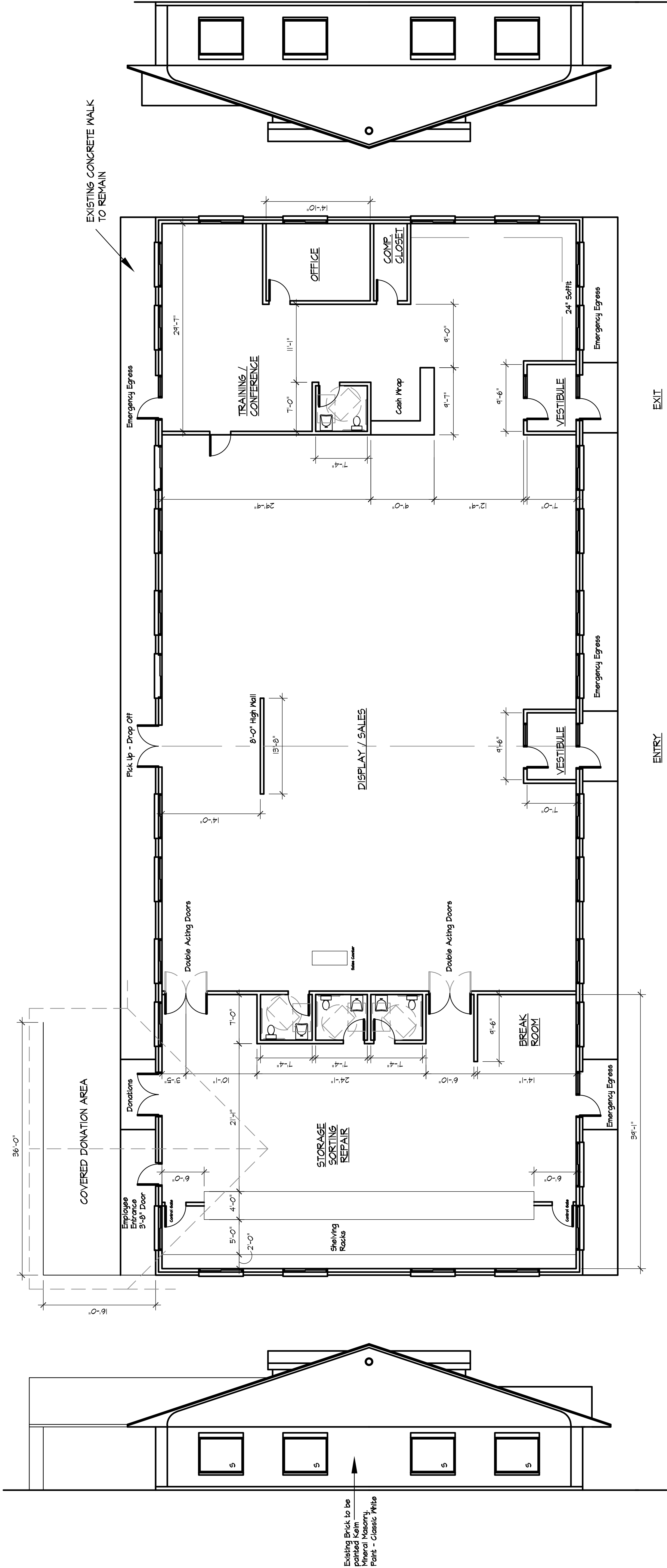
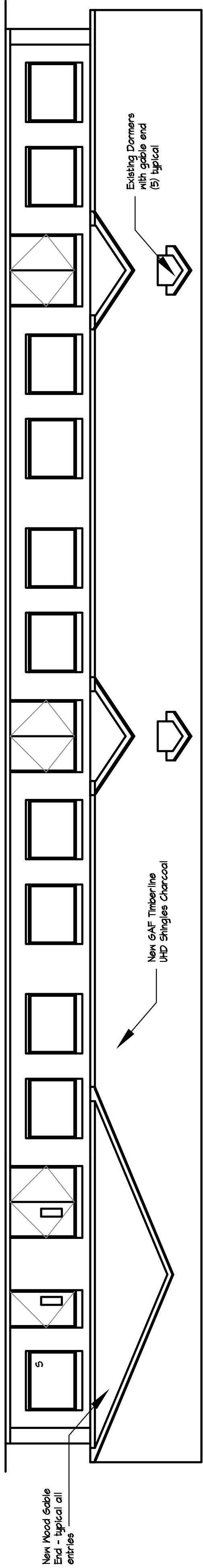
PROJECT NO.:	
DRAWN BY:	JUP
CHECKED BY:	PWM

SHEET TITLE:

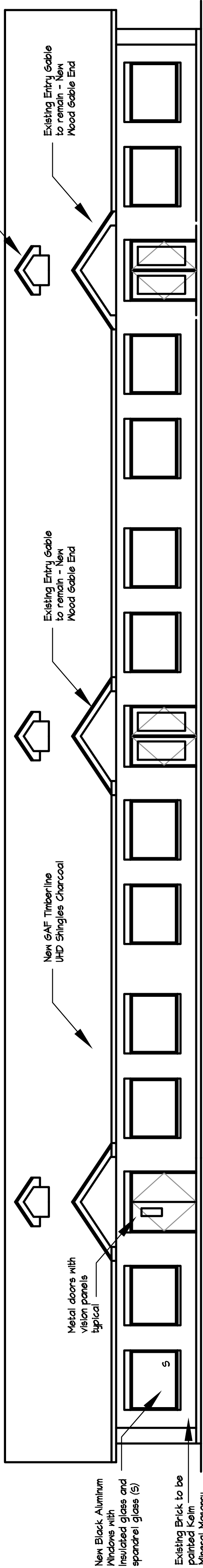
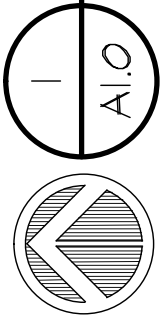
FLOOR PLAN

SHEET:

A1.0



FLOOR PLAN - ELEVATIONS



RECEIVED

By Mike Schwarz at 5:20 pm, Jul 18, 2023













MINERAL MASONRY PAINT

BREATHABLE AND EXTREMELY DURABLE
MINERAL PAINT FROM EUROPE

FOR BRICK, STONE, STUCCO AND FIBER
CEMENT SIDING



Mineral White

RECEIVED

By Mike Schwarz at 5:26 pm, Jul 18, 2023

KEIM® MINERAL MASONRY PAINT

THE PERFECT PAINT *for all* MASONRY

Today, Keim gives you a choice to paint the exterior of your brick, stone or stucco home without having to worry about future maintenance or peeling paint problems. Many home remodel experts have shied away from painting brick exteriors because water and moisture can cause problems and damage for ordinary acrylic and latex house paints. These paints are not breathable, and seal masonry so it can no longer breathe naturally. Mineral Masonry Paint never seals the brick and allows moisture to release without any damage to your beautiful paint finish and it keeps wind-driven rain out too!



Mineral Masonry Paint is made from naturally occurring materials including mineral silicate binder for a highly durable, long-lasting paint that won't peel or flake off. And because Granital uses only UV resistant pigments, colors are permanent and won't fade or change, no matter how harsh the environment. This mineral paint is also naturally hygienic due to its high pH and is resistant to mold and mildew growth, without the addition of pesticides or biocides. Your new paint finish will look cleaner and fresher for decades.



Mineral paint will never peel from brick. Here, ordinary acrylic latex paint is peeling due to moisture escaping from the masonry surface.

A VERY LOW MAINTENANCE PAINT *for* BRICK, STONE *and* MASONRY SURFACES

Granital is quite different from ordinary latex or acrylic house paints. The mineral molecular structure of Granital is very similar to brick and masonry, giving it a natural affinity. Granital literally penetrates and fuses with the masonry forming permanent chemical bonds. And this mineral silicate structure is highly vapor permeable with perm ratings of 77+ to ensure a breathable paint. This means moisture that can accumulate in your home's walls will diffuse outward without resistance, keeping walls dryer. Trapped moisture can cause structural damage over time and can contribute to mold growth.

COLOR *and* BEAUTY THAT LASTS DECADES

Mineral Masonry Paint is extremely resistant to harsh UV, which also extends the weather resistance of your home's finish. Both the paint's mineral silicate binder and the earthen mineral oxide colors are not affected by UV. These pigments, that occur in Nature, never fade and the entire paint finish is completely "inert" and cannot be degraded.

And mineral colors have a depth of beauty and radiance only found in Nature. Ordinary house paints cannot match the brilliance and true colors of Granital, nor can they match the extraordinary mineral matte finish, which some describe as "velvety".

Mineral Masonry Paint's penetration into the masonry, the chemical fusion that takes place and the UV stability of both silicate binder and mineral pigments are the fundamental reasons for the extraordinarily high lifetime of silicate paints. In Europe, some of Keim's first paint projects date back to 1881 and still look gorgeous today!



DURABLE *and* EASY TO RENEW

While the look and feel of Mineral Masonry Paint is stunning, it is easier to maintain and renew than ordinary house paints. It will never peel, bubble or blister, so you will never need to scrape surfaces of loose paint to ready it for another fresh coat. Simply wash aged surfaces to remove dirt, dust or bio-growth, then refresh with another coat. It's that simple. And adding layers of new paint never changes the breathability of the finish. Additional layers simply add more character to the finish and never locks in moisture.

RECEIVED

By Mike Schwarz at 5:25 pm, Jul 18, 2023

Timberline® UHD Shingles

Your best choice for an ultra-dimensional wood-shake look.

★★★★★ 4.8 (452) [WRITE A REVIEW](#)ALL COLORS ☒ BY YOUR AREA

Color/Finish: Charcoal

[FIND A CONTRACTOR \(/EN-US/ROOFING-CONTRACTORS/RESIDENTIAL\)](#)

ABOUT (<https://www.gaf.com/en-us/roofing-products/residential-roofing-products/shingles/timberline/architectural/timberline-uhd>)

SPECS (<https://www.gaf.com/en-us/roofing-products/residential-roofing-products/shingles/timberline/architectural/timberline-uhd/specifications>)

DOCS (<https://www.gaf.com/en-us/roofing-products/residential-roofing-products/shingles/timberline/architectural/timberline-uhd/documents>)

Why Timberline® UHD?

Timberline® UHD Shingles will cost you just pennies-a-day more than standard architectural shingles. In return, you will enjoy a thicker, ultra-dimensional wood-shake look for your roof—and can increase your home's resale value, too.

[eComedes](https://gaf.ecomedes.com/products/gaf/timberline-uhd-shingles) <https://gaf.ecomedes.com/products/gaf/timberline-uhd-shingles>

See how this product can help you meet your environmental goals. View sustainability information here. (<https://gaf.ecomedes.com/products/gaf/timberline-uhd-shingles>)

BEST INVESTMENT
May increase the resale value of your home.

ULTRA-DIMENSIONAL
Timberline UHD Shingles feature GAF's proprietary color blends and enhanced shadow effect for an ultra-dimensional woodshake look.

ADVANCED STAIN RESISTANCE
Protects against algae, mold, and mildew. Advanced Stain Release Algae-Fighting technology fights ugly blue-green stains.

■ **Ultra-Dimensional Look:** Up to 53% thicker than standard architectural shingles. Timberline® UHD Shingles feature GAF's proprietary color blends and enhanced shadow effect for an ultra-dimensional woodshake look on your roof.

■ **Highest Roofing Fire Rating:** UL Class A, Listed to ANSI/UL 790.

■ **High Performance:** Designed with **Advanced Protection™ Shingle Technology** (<https://www.gaf.com/en-us/roofing-products/residential-roofing-products/shingles/timberline/architectural/timberline-uhd/specifications>), which reduces the use of natural materials and provides superior protection for your home.

We use cookies to optimize our website, enhance site navigation, analyze site usage, and assist in our marketing efforts. (<https://www.gaf.com/en-us/roofing-products/residential-roofing-products/shingles/timberline/architectural/timberline-uhd/specifications>)

Cookie Preferences

Accept Cookies

■ **Stays in Place:** Dual Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph (209 km/h).¹

■ **Peace of Mind:** Lifetime 1st transferable warranty with Smart Choice® Protection (non-priced material and installation labor coverage) for the lifetime years.²

■ **Perfect Finishing Touch:** Use Timberline® Premium Ridge-Cap Shingles or Ridgecap® Premium Ridge-Cap Shingles.³

■ **25-year StainGuard Plus™ Algae Protection Limited Warranty** against blue-green algae discoloration. Proprietary GAF Time-Release Algae-Fighting Technology. (<https://www.gaf.com/en-us/roofing/stainguard-plus>) helps protect your shingles from unsightly stains.⁴

¹Comparison refers to Timberline HD® Shingles. Thickness varies by shingle size and shingle for comparison.

²Your shingles will be covered up to the maximum wind speed where CM-19 is installed using 6 nails per shingle and GAF Starter Style Products installed at the eaves and rakes. Maximum Wind Speed Coverage is 180 mph with Special Installation or 110 mph without Special Installation. See GAF Shingle & Accessory Limited Warranty for complete details.

³See GAF Shingle & Accessory Limited Warranty for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Limited Warranty and means as long as the original individual owner(s) of a single-family detached residence for the second owner(s) in certain circumstances cover the property where the shingles are installed. For uninsulated areas and meeting the above criteria, Lifetime coverage is not applicable.

⁴These products are not available in all areas. Visit Ridge-Cap Shingle Product Availability for details.

⁵25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products and in packages bearing the StainGuard Plus™ logo. See GAF Shingle & Accessory Limited Warranty for complete coverage, restrictions, and qualifying products.

(Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.)

GAF factory-certified roofing companies near you

Please enter your zip code below to see recommended contractor in your area.

ENTER ZIP CHANGE

Related products for Timberline® UHD



TIMBERLINE HDZ®
Shingles

[LEARN MORE > /EN-US/PRODUCTS/TIMBERLINE-HDZ](#)



TIMBERLINE® AN
Shingles

[LEARN MORE > /EN-US/PRODUCTS/TIMBERLINE-AN-SHINGLES](#)



GRAND SEQUOIA®
Shingles

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Reviews

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Roofing Shingles

Select a row below to filter reviews

5★	413
4★	17
3★	7
2★	1
1★	10

At a Glance: Customer Ratings

Overall **★★★★★**

1-8 of 483 Reviews

Sort by: Most Recent

★★★★★ Delano Dream

Beautiful New GAF timberline Ultra HDZ Lifetime Roof System

The beautiful newly launched GAF timberline Ultra HDZ -Dual Shadow Lifetime Shingle Roof in Powder Gray completely transformed the aging appearance of our home. It is a timeless color with a definition that enhances the depth and high quality of this Roof System. We couldn't recommend it more highly!

Select a color: Powder Gray

Recommends this product ☒ Yes

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TREE PRESERVATION PLAN

GEORGETOWN ROAD
(HERETOFORE DEDICATED)

S. HARLEM AVENUE
(HERETOFORE DEDICATED)

TREE PRESERVATION PLAN

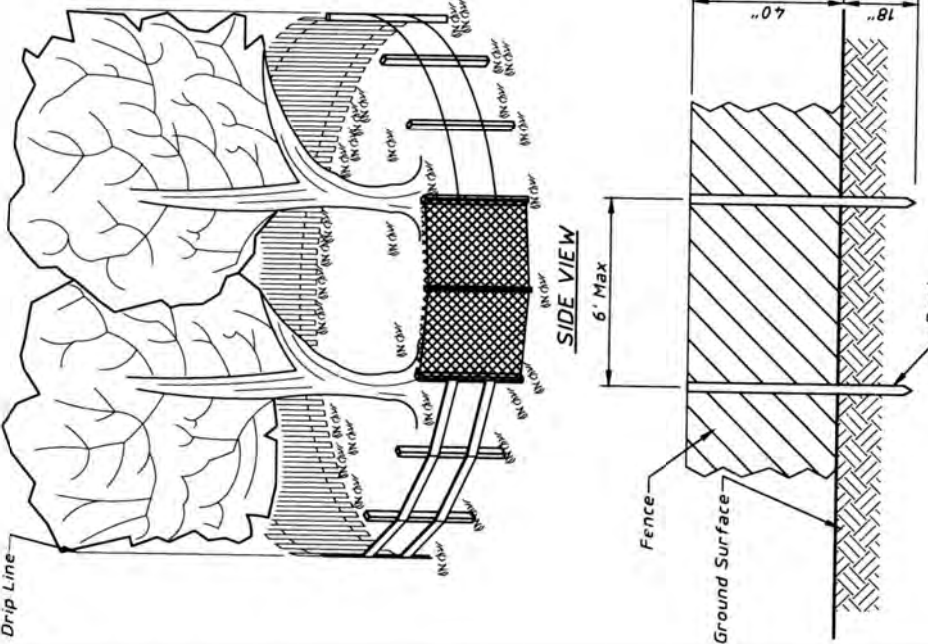
1. Brightly colored construction fence shall be installed at the periphery of the trees dripline or beyond. The barrier shall be a minimum of forty-eight (48") inches in height and must be securely anchored to fence posts a minimum distance of five (5') feet on center.
2. Grading and construction equipment is **prohibited** from encroaching on the drip line of any tree to be preserved.
3. Materials or vehicles shall not be stored, driven, or parked within the drip line of any trees.
4. Crushed limestone, or any other material, which may be detrimental to trees, shall not be discarded or placed within the drip line of any tree nor shall material be located at any elevation, which would contribute runoff of such material toward the trees.
5. Utility lines shall be augured to prevent damage to tree root systems when an underground utility line is to be located within (5') feet of the trunk of a tree designated for preservation.

PLEASE NOTE:

Trees to be preserved which have been subjected to activity within the drip line should be selectively pruned or thinned ten (10) percent by a certified arborist. All dead wood shall be removed.

TREE PROTECTION - FENCING

Label	Botanical Name	Common Name	Size
A	Celtis occidentalis	Hackberry	7"
B	Acer saccharinum	Silver Maple	40"
C	Celtis occidentalis	Hackberry	5"
D	Celtis occidentalis	Hackberry	5"
E	Celtis occidentalis	Hackberry	7"
F	Celtis occidentalis	Hackberry	4"
G	Acer saccharinum	Silver Maple	40"
H	Celtis occidentalis	Hackberry	6"
I	Celtis occidentalis	Hackberry	7"
J	Acer saccharinum	Silver Maple	12"
K	Celtis occidentalis	Hackberry	7"
L	Celtis occidentalis	Hackberry	7"
M	Acer saccharinum	Silver Maple	40"
N	Celtis occidentalis	Hackberry	7"
O	Celtis occidentalis	Hackberry	7"
P	Acer saccharinum	Silver Maple	15"
Q	Acer saccharinum	Silver Maple	40"
R	Acer x freemanii	Autumn Blaze Maple	6"
S	Acer x freemanii	Autumn Blaze Maple	5"
T	Acer saccharinum	Silver Maple	40"
U	Acer x freemanii	Autumn Blaze Maple	5"
V	Acer x freemanii	Autumn Blaze Maple	5"
W	Acer saccharinum	Silver Maple	40"
X	Acer x freemanii	Autumn Blaze Maple	6"
Y	Acer x freemanii	Autumn Blaze Maple	6"
Z	Acer saccharinum	Silver Maple	18"
AA	Acer saccharinum	Silver Maple	18"
BB	Acer saccharinum	Silver Maple	24"
CC	Pyrus species	Ornamental Pear	8"



POST AND FENCE DETAIL

1. Fence posts shall be either standard steel posts or wood posts with a minimum cross sectional area of 3.0 sq. in..
2. The fence may be either 40" high snow fence, 40" plastic web fencing or any other material as approved by the engineer.

LANDSCAPE PLAN

GEORGETOWN ROAD
(HERETOFORE DEDICATED)

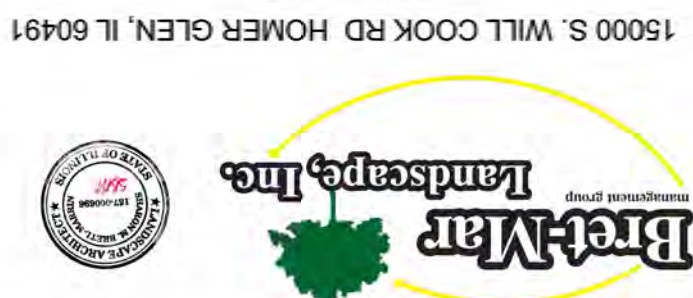
S. HARLEM AVENUE
(HERETOFORE DEDICATED)

GEORGETOWN COMMONS
(HERETOFORE DEDICATED)

REVISIONS		
NO.	DATE	DESCRIPTION
1	06/23	
2	7/23	
BY		

PWM ARCHITECTURE, LLC

LANDSCAPE PLAN FOR:
21420 S. HARLEM AVENUE
FRANKFORD, IL 60423

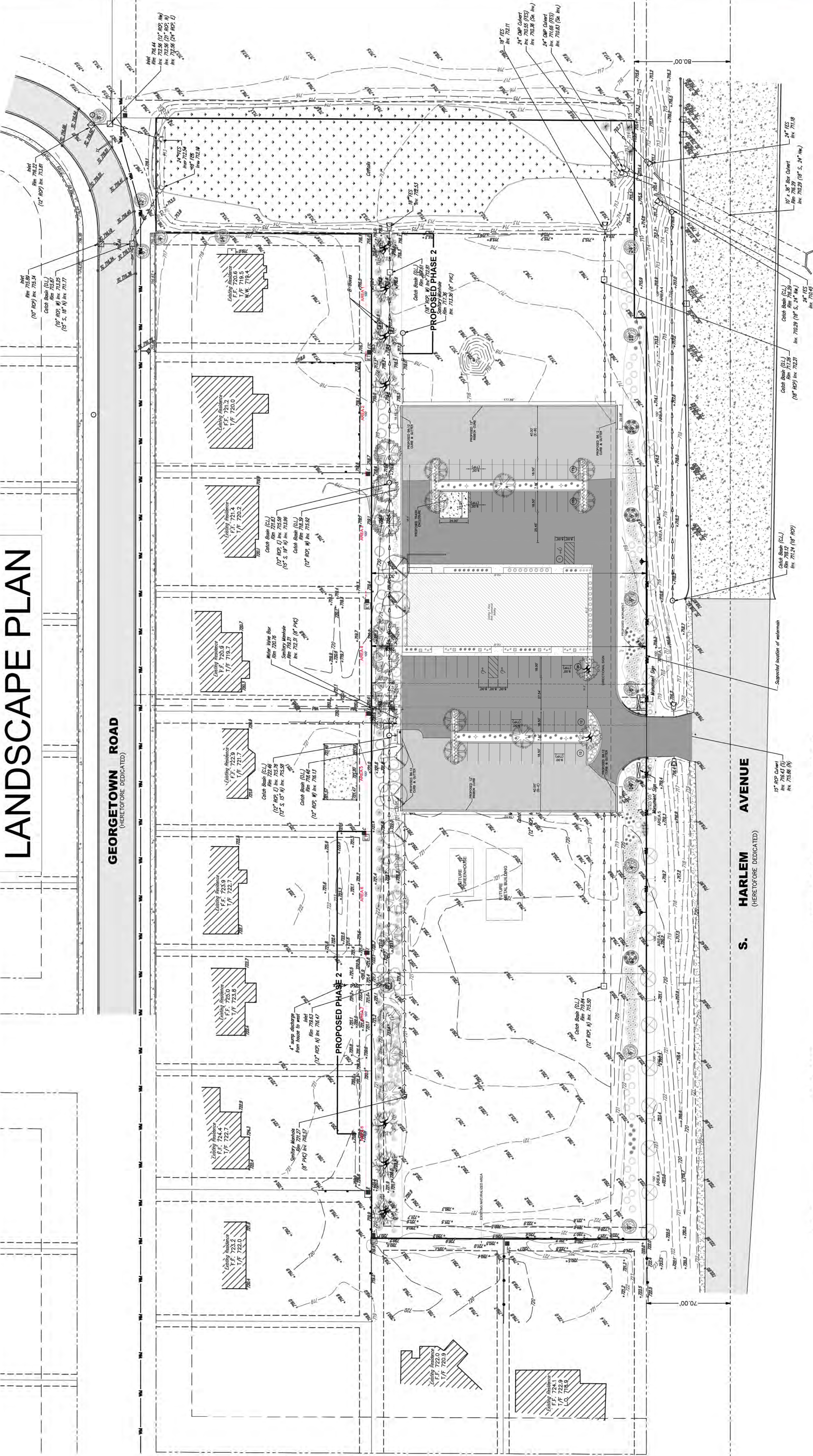


15000 S. WILL COOK RD. HOMER GLEN, IL 60491
708-301-2225

PROJECT INFORMATION
DATE: 6/20/23
REVISED: 5/2/23

SHEET 2 OF 3

EXISTING CONDITIONS



SEE PAGE 3 FOR LANDSCAPE PLAN NOTES

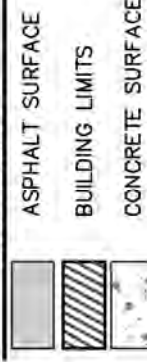


BENCHMARKS

SITE BENCHMARK: THE NORTHWEST FLANGE BOLT ON FIRE HYDRANT LOCATED IN FRONT OF ADDRESS 21420 S. HARLEM AVENUE, SHOWN HEREON.
ELEVATION: 720.28 (NAVD 88)

RECEIVED
By Mike Schwarz at 5:16 pm, Jul 18, 2023

HATCHING



ABBREVIATIONS

EXIST. SPOT ELEVATION	EXIST. RIGHT-OF-WAY LINE
CMP CORRUGATED METAL PIPE	ADJACENT LOT LINE
D.E. DRAINAGE EASEMENT	EASEMENT LINE
EXIST. EXISTING FLOOR	BUILDING SETBACK LINE
F.F. FINISHED FLOOR	CEILING EASEMENT LINE
FL. FLOW LINE	WROUGHT IRON FENCE
INV. INVERT	WOOD FENCE
INV. INVERT	WATER MAIN
P.U.E. PUBLIC UTILITY EASEMENT	SANITARY SEWER
I.E.E. INGRESS-EGRESS EASEMENT	STORM SEWER
RGP. REINFORCED CONCRETE PIPE	SUMP SERVICE
SAN. SANITARY SEWER	TOP OF CURB
T/F. TOP OF FOUNDATION	DEPRESSED CURB
L.O. LOOK-OUT	W.W. WINDOW WELL
U.E. UTILITY EASEMENT	REVERSE PITCH CURB & GUTTER
N. NORTH	CONTOUR LINE
E. EAST	
W. WEST	
(###) RECORD/DEED	
(###) MEASURED	

LINE TYPES

PROPERTY LINE	EXIST. RIGHT-OF-WAY LINE
ADJACENT LOT LINE	EASEMENT LINE
BUILDING SETBACK LINE	CEILING EASEMENT LINE
WROUGHT IRON FENCE	WOOD FENCE
WATER MAIN	SANITARY SEWER
STORM SEWER	SUMP SERVICE
TOP OF CURB	DEPRESSED CURB
W.W. WINDOW WELL	REVERSE PITCH CURB & GUTTER
CONTOUR LINE	

LEGEND

B-BOX	TRANSFORMER PAD	FLARED END SECTION	PARKING LOT LIGHT (1)
SIGN	STORM INLET	SANITARY CLEANOUT	CABLE TV PEDESTAL
ADJACENT LOT LINE	CATCH BASIN	CLOSED LID MANHOLE	ELECTRIC PEDESTAL
EASEMENT LINE	CEILING EASEMENT LINE	WROUGHT IRON FENCE	TEL. ELEC. CABLE PEDESTALS
BUILDING SETBACK LINE	WOOD FENCE	WATER MAIN	ELECTRIC METER
CEILING EASEMENT LINE	SANITARY SEWER	STORM SEWER	FOUND IRON PIPE
WROUGHT IRON FENCE	SUMP SERVICE	TOP OF CURB	DECIDUOUS TREE
WOOD FENCE	DEPRESSED CURB	W.W. WINDOW WELL	W/ TRUNK SIZE
WATER MAIN	REVERSE PITCH CURB & GUTTER	CONTOUR LINE	CONIFEROUS TREE
SANITARY SEWER			CONIFEROUS TREE
STORM SEWER			CONIFEROUS TREE
SUMP SERVICE			CONIFEROUS TREE
TOP OF CURB			CONIFEROUS TREE
DEPRESSED CURB			CONIFEROUS TREE
W.W. WINDOW WELL			CONIFEROUS TREE
REVERSE PITCH CURB & GUTTER			CONIFEROUS TREE
CONTOUR LINE			CONIFEROUS TREE

LANDSCAPE NOTES

PARKING LOT SCREENING AREA 1				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
Existing	<i>Acer saccharum</i>	Silver Maple	various	4
	<i>Picea glauca</i>	Black Hills Spruce	10'	3
	<i>Juniperus chinensis 'Sea Green'</i>	Seagreen Juniper	36"	31
	<i>Juniperus chinensis sargentii 'Viridis'</i>	Green Sargent Juniper	#3	5
	<i>Spiraea x bumalda 'Goldmound'</i>	Goldmound Spirea	#3	10
	<i>Euonymus alatus compacta</i>	Compact Burning Bush	#3	3
	<i>Hydrangea paniculata 'Limelight'</i>	Limelight Hydrangea	#5	3
	<i>Allium 'Millenium'</i>	Allium	#1	38
	<i>Pennisetum alopecuroides</i>	Fountain Grass	#1	8
Note: Picea glauca to be planted near north detention basin				
TOTAL UNITS			EVERGREEN UNITS	153
			REQUIRED UNITS	150

PARKING LOT SCREENING AREA 2				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
Existing	<i>Acer saccharum</i>	Silver Maple	various	4
	<i>Thuja plicata 'Green Giant'</i>	Green Giant Arborvitae	10'	3
	<i>Juniperus chinensis 'Sea Green'</i>	Seagreen Juniper	36"	40
	<i>Hydrangea paniculata 'Limelight'</i>	Limelight Hydrangea	#5	6
	<i>Allium 'Millenium'</i>	Allium	#1	2
TOTAL UNITS			EVERGREEN UNITS	156
			REQUIRED UNITS	104
			REQUIRED UNITS	150

PARKING LOT SCREENING AREA 3				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
Existing	<i>Acer saccharum</i>	Silver Maple	various	2
	<i>Thuja plicata 'Green Giant'</i>	Green Giant Arborvitae	10'	7
	<i>Juniperus chinensis 'Sea Green'</i>	Seagreen Juniper	36"	12
	<i>Hydrangea paniculata 'Limelight'</i>	Limelight Hydrangea	#5	6
TOTAL UNITS			EVERGREEN UNITS	112
			REQUIRED UNITS	80
			REQUIRED UNITS	150

PARKING LOT SCREENING AREA 4				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
Existing	<i>Acer saccharum</i>	Silver Maple	various	2
	<i>Thuja plicata 'Green Giant'</i>	Green Giant Arborvitae	10'	7
	<i>Hydrangea paniculata 'Limelight'</i>	Limelight Hydrangea	#5	5
TOTAL UNITS			EVERGREEN UNITS	86
			REQUIRED UNITS	56
			REQUIRED UNITS	150

PARKING LOT SCREENING AREA 5				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
Existing	<i>Acer species</i>	Maple	various	2
Existing	<i>Celtis occidentalis</i>	Hackberry	various	2
	<i>Thuja plicata 'Green Giant'</i>	Green Giant Arborvitae	10'	3
	<i>Juniperus chinensis 'Sea Green'</i>	Seagreen Juniper	36"	31
	<i>Juniperus chinensis sargentii 'Viridis'</i>	Green Sargent Juniper	#3	5
	<i>Spiraea x bumalda 'Goldmound'</i>	Goldmound Spirea	#3	10
	<i>Euonymus alatus compacta</i>	Compact Burning Bush	3'	3
	<i>Hydrangea paniculata 'Limelight'</i>	Limelight Hydrangea	#5	3
	<i>Allium 'Millenium'</i>	Allium	#1	38
	<i>Pennisetum alopecuroides</i>	Fountain Grass	#1	8
TOTAL UNITS			EVERGREEN UNITS	113
			REQUIRED UNITS	91
			REQUIRED UNITS	150

PARKING LOT SCREENING AREA 6				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
Existing	<i>Acer species</i>	Maple	various	1
Existing	<i>Celtis occidentalis</i>	Hackberry	various	3
	<i>Thuja plicata 'Green Giant'</i>	Green Giant Arborvitae	10'	3
	<i>Juniperus chinensis 'Sea Green'</i>	Seagreen Juniper	36"	40
	<i>Hydrangea paniculata 'Limelight'</i>	Limelight Hydrangea	#5	6
	<i>Allium 'Millenium'</i>	Allium	#1	2
TOTAL UNITS			EVERGREEN UNITS	154
			REQUIRED UNITS	104
			REQUIRED UNITS	150

PARKING LOT SCREENING AREA 7				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
Existing	<i>Acer species</i>	Maple	various	1
Existing	<i>Celtis occidentalis</i>	Hackberry	various	3
	<i>Thuja plicata 'Green Giant'</i>	Green Giant Arborvitae	10'	7
	<i>Juniperus chinensis 'Sea Green'</i>	Seagreen Juniper	36"	20
TOTAL UNITS			EVERGREEN UNITS	136
			REQUIRED UNITS	96
			REQUIRED UNITS	150

PARKING LOT SCREENING AREA 8				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
Existing	<i>Acer species</i>	Maple	various	1
Existing	<i>Celtis occidentalis</i>	Hackberry	various	3
	<i>Thuja plicata 'Green Giant'</i>	Green Giant Arborvitae	10'	7
	<i>Hydrangea paniculata 'Limelight'</i>	Limelight Hydrangea	#5	7
TOTAL UNITS			EVERGREEN UNITS	110
			REQUIRED UNITS	56
			REQUIRED UNITS	150

NORTH PARKING LOT				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	<i>Ulmus carpinifolia x parvifolia 'Frontier'</i>	Frontier Elm	2.5"	5
	<i>Spiraea x bumalda 'Goldmound'</i>	Goldmound Spirea	#3	21
	<i>Hemerocallis Stella D'Oro</i>	Stella D'Oro Daylily	#1	62
TOTAL UNITS				71

SOUTH PARKING LOT				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	<i>Ulmus carpinifolia x parvifolia 'Frontier'</i>	Frontier Elm	2.5"	3
	<i>Syringa reticulata 'Ivory Silk'</i>	Ivory Silk Lilac Tree	2.5"	2
	<i>Juniperus chinensis sargentii 'Viridis'</i>	Green Sargent Juniper	#3	18
	<i>Spiraea x bumalda 'Goldmound'</i>	Goldmound Spirea	#3	20
	<i>Hemerocallis Stella D'Oro</i>	Stella D'Oro Daylily	#1	44
TOTAL				88

BUILDING FOUNDATION LANDSCAPE				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	<i>Aronia melanocarpa 'Marion'</i>	Iroquois Beauty Chokeberry	#3	10
	<i>Spiraea x bumalda 'Goldmound'</i>	Goldmound Spirea	#3	22
	<i>Hydrangea paniculata 'ILVOB'</i>	Bobo Hydrangea	#5	19
	<i>Hemerocallis Stella D'Oro</i>	Stella D'Oro Daylily	#1	18
	<i>Colanagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Grass	#1	6
TOTAL				80

WEST PROPERTY LINE SCREENING AREA 1				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	<i>Betula nigra</i>	River Birch	12"	3
	<i>Thuja occidentalis 'Tectony'</i>	Tectony Arborvitae	6'	12
	<i>Forsythia 'Mandowick'</i>	Mandowick Forsythia	5'	12
TOTAL UNITS			EVERGREEN UNITS	153
			REQUIRED UNITS	10
			REQUIRED UNITS	125

WEST PROPERTY LINE SCREENING AREA 2				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	<i>Picea glauca</i>	Black Hills Spruce	7'	5
	<i>Thuja occidentalis 'Tectony'</i>	Tectony Arborvitae	6'	6
	<i>Betula nigra</i>	River Birch	12"	3
	<i>Platanus x cordifolia</i>	Excelsation London Planetree	2.5"	1
	<i>Forsythia 'Mandowick'</i>	Mandowick Forsythia	5'	17
	<i>Viburnum dentatum 'Chicago Lustre'</i>	Chicago Lustre Viburnum	5'	6
TOTAL UNITS			EVERGREEN UNITS	141
			REQUIRED UNITS	55
			REQUIRED UNITS	125

WEST PROPERTY LINE SCREENING AREA 3				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	<i>Picea glauca</i>	Black Hills Spruce	7'	8
	<i>Thuja occidentalis 'Tectony'</i>	Tectony Arborvitae	6'	7
	<i>Platanus x cordifolia</i>	Excelsation London Planetree	2.5"	2
	<i>Spiraea White Oak</i>	Spiraea White Oak	2.5"	1
	<i>Autumn Brilliance Serviceberry</i>	Autumn Brilliance Serviceberry	7'	2
	<i>Chicago Lustre Viburnum</i>	Chicago Lustre Viburnum	5'	19
TOTAL UNITS			EVERGREEN UNITS	128
			REQUIRED UNITS	50
			REQUIRED UNITS	125

WEST PROPERTY LINE SCREENING AREA 4				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	<i>Picea glauca</i>	Black Hills Spruce	7'	2
	<i>Thuja occidentalis 'Tectony'</i>	Tectony Arborvitae	6'	11
	<i>Excelsation London Planetree</i>	Excelsation London Planetree	2.5"	3
	<i>Spiraea White Oak</i>	Spiraea White Oak	2.5"	1
	<i>Autumn Brilliance Serviceberry</i>	Autumn Brilliance Serviceberry	7'	5
	<i>Chicago Lustre Viburnum</i>	Chicago Lustre Viburnum	5'	5
TOTAL UNITS			EVERGREEN UNITS	130
			REQUIRED UNITS	40
			REQUIRED UNITS	125

WEST PROPERTY LINE SCREENING AREA 5				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	<i>Thuja occidentalis 'Tectony'</i>	Tectony Arborvitae	6'	5
	<i>Excelsation London Planetree</i>	Excelsation London Planetree	2.5"	1
	<i>Spiraea White Oak</i>	Spiraea White Oak	2.5"	3
	<i>Autumn Brilliance Serviceberry</i>	Autumn Brilliance Serviceberry	7'	4
	<i>Chicago Lustre Viburnum</i>	Chicago Lustre Viburnum	5'	13
TOTAL UNITS			EVERGREEN UNITS	120
			REQUIRED UNITS	40
			REQUIRED UNITS	125

WEST PROPERTY LINE SCREENING AREA 6				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	<i>Thuja occidentalis 'Tectony'</i>	Tectony Arborvitae	6'	10
	<i>Ulmus carpinifolia x parvifolia 'Frontier'</i>	Frontier Elm	2.5"	3
	<i>Forsythia 'Mandowick'</i>	Mandowick Forsythia	5'	16
TOTAL UNITS			EVERGREEN UNITS	117
			REQUIRED UNITS	40
			REQUIRED UNITS	125

WEST PROPERTY LINE SCREENING AREA 7				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	<i>Thuja occidentalis 'Tectony'</i>	Tectony Arborvitae	6'	10
	<i>Ulmus carpinifolia x parvifolia 'Frontier'</i>	Frontier Elm	2.5"	2
	<i>Autumn Brilliance Serviceberry</i>	Autumn Brilliance Serviceberry	7'	3
	<i>Mandowick Forsythia</i>	Mandowick Forsythia	5'	17
TOTAL UNITS			EVERGREEN UNITS	140
			REQUIRED UNITS	40
			REQUIRED UNITS	125

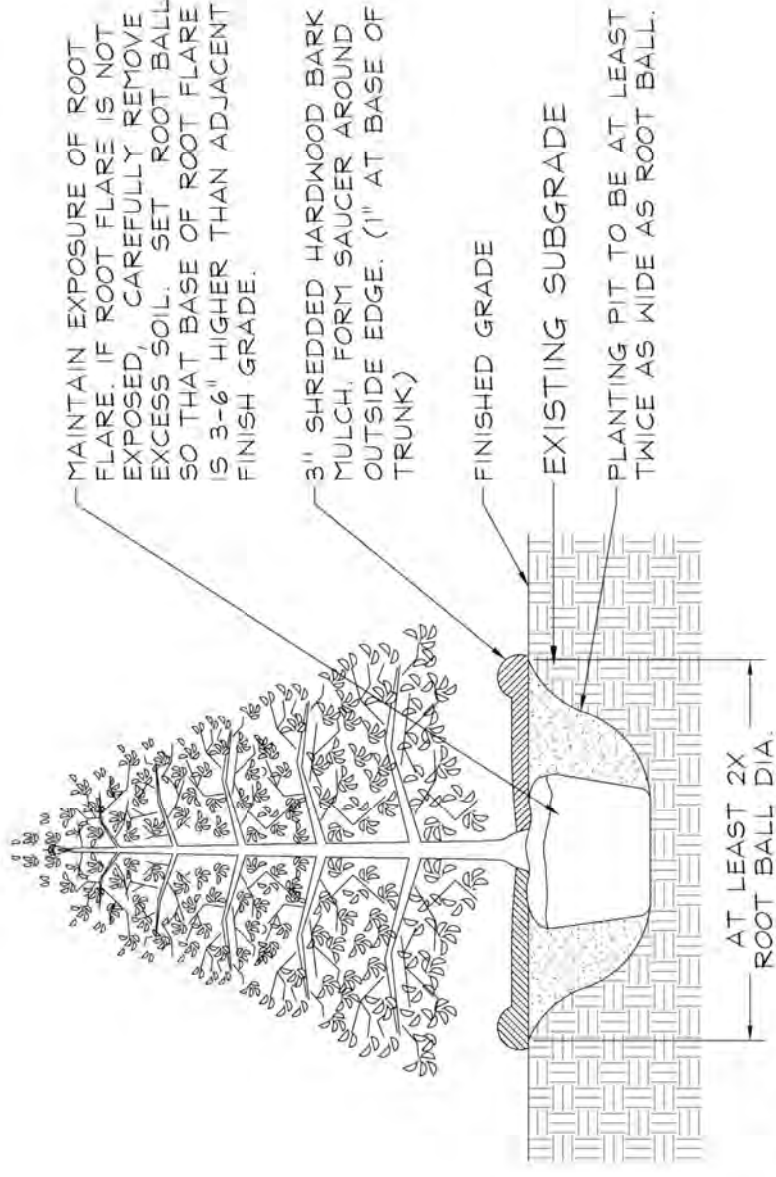
WEST PROPERTY LINE SCREENING AREA 8				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	<i>Thuja occidentalis 'Tectony'</i>	Tectony Arborvitae	6'	15
	<i>Betula nigra</i>	River Birch	12"	3
	<i>Mandowick Forsythia</i>	Mandowick Forsythia	5'	23
TOTAL UNITS			EVERGREEN UNITS	151
			REQUIRED UNITS	75
			REQUIRED UNITS	125

AVOID PLACING SOIL OVER ROOT CROWN. SET ROOT BALL 3-6" HIGHER THAN FINISHED GRADE.

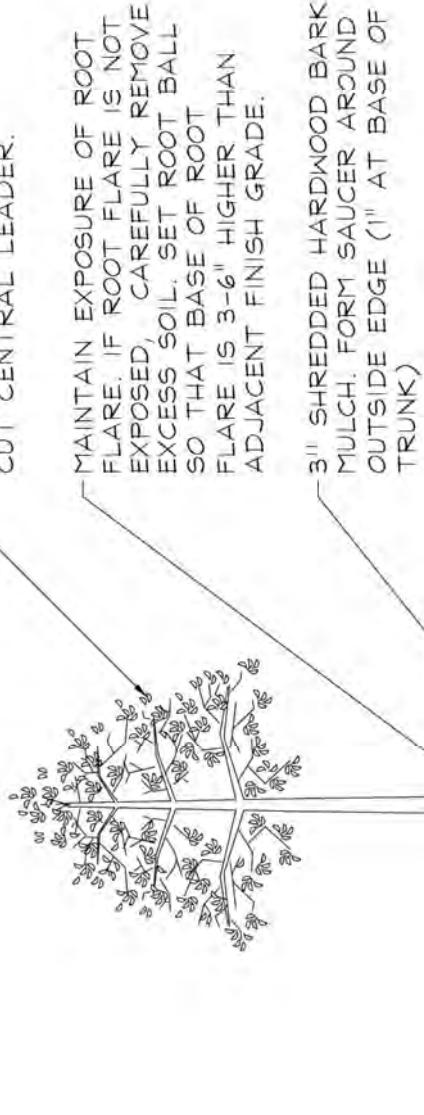
2" SHREDDED HARDWOOD BARK MULCH. FORM SAUCER AROUND OUTSIDE.

FINISHED GRADE
EXISTING SUBGRADE
6"

DECIDUOUS AND EVERGREEN SHRUBS
NOT TO SCALE



EVERGREEN TREES
NOT TO SCALE



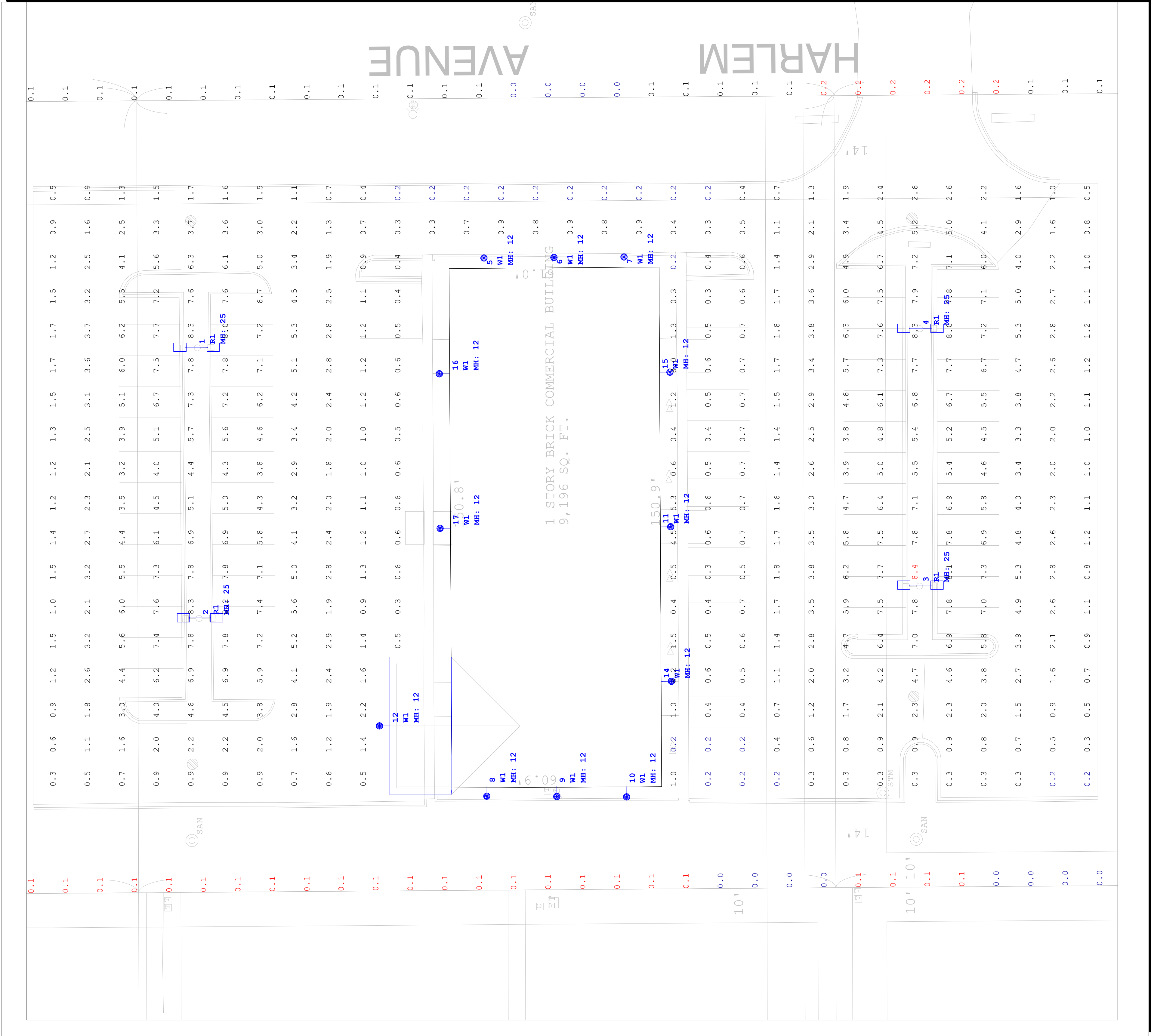
DECIDUOUS TREES
NOT TO SCALE

PLAN NOTES:

- The contractor shall provide and install all plant materials in quantities sufficient to complete the planting shown on the drawing, unless noted. All plants shall comply to the requirements of the current American Standard for Nursery Stock, published by the American Association of Nurseryman. Plants should meet size, genus, species, and variety, and be in good health; free of disease, insects, and defects. No "Park Grade" material shall be accepted. Plants can be substituted by the approval of the Landscape Architect or the Village.
- All plants shall be watered during the first 24 hour period after installation. Contractor is responsible for watering sod once. A schedule must be agreed upon with the owner, before sod is installed, of who, when, and how sod is being properly watered. The contractor is responsible for the site visits to ensure that proper watering is being done, in order for sod to be established and healthy.
- Plants shall be balled and burlapped or container grown specified. No root bound material shall be accepted and all wrapping material made of synthetics or plastics shall be removed at the time of plantings. It is the contractors option to roll back burlap from the top of the ball.
- All shrub beds and tree rings shall receive 4" depth of shredded hardwood mulch. All new tree rings shall be 5' in diameter. All perennials shall receive 2" depth of shredded hardwood mulch.
- All plants shall be set plumb. It is the contractors options to stake deciduous trees, but it is also his responsibility to assure plants remain plumb until the guarantee period.
- Prune, thin out, and shape new plants in accordance with standard horticultural practices to retain their natural character. Don't cut tree leader. Remove any injured, damaged, dead, or crossed branches from the plant at the time of installation. All plant material shall be at the same relationship to finish grade as the plants original grade before digging.
- All ground cover and flower beds are to receive 5" depth organic compost and sand mix, which shall be rototilled into the existing topsoil. Trees and shrubs shall be backfilled with good existing topsoil.
- The contractor shall locate the existence of all underground utilities prior to starting. The contractor must also keep the pavement and work area in a neat and orderly condition throughout the construction process.
- Owner shall provide contractor with finish grade from the approved grading plan to a tenth of an inch, with sufficient quality topsoil. If imported topsoil or spreading existing topsoil is required it shall be done at the owners expense. All construction debris should be removed by the general contractor.
- Sod shall extend to all property lines, unless otherwise noted.
- All edging to be a spaded natural edging. No steel or plastic edging shall be used unless noted.
- Information contained in "Plan Notes" take precedence over other information.

RECEIVED

By Mike Schwarz at 5:15 pm, Jul 18, 2023



RECEIVED
By Mike Schwarz at 5:20 pm, Jul 18, 2023

Luminaire Schedule - Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.

Symbol	Qty	Tag	Arrangement	Luminaire Lumens	Arr. Lum. Lumens	Luminaire Manufacturer	Description
	12	W1	Single	2972	35.9	CT	VCSLSA10LDD3030KFM
	4	R1	Back-Back	19477	258.8	U.S. ARCHITECTURAL LIGHTING	RZR-PLD-VSQ-N-80LED-525mA-40K

NOTES

PG-ENLIGHTEN IS NEITHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE. ANY VARIANCE FROM REFLECTANCE VALUES, OBSTRUCTIONS, LIGHT LOSS FACTORS OR DIMENSIONAL DATA WILL AFFECT THE ACTUAL LIGHT LEVELS OBTAINED.

THIS ANALYSIS IS A MATHEMATICAL MODEL AND CAN BE ONLY AS ACCURATE AS IS PERMITTED BY THE THIRD-PARTY SOFTWARE AND THE LIES STANDARDS USED.

FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR FIELD CONDITIONS. THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES. FIXTURE TYPES AND QUANTITIES BASED ON PROVIDED LAYOUT AND DRAWINGS ARE FOR REFERENCE ONLY. TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS.

CALCULATION GRID VALUES 10'-0" O.C.

APPLICATION AND TASK	MAINTAINED HORIZONTAL			MAINTAINED VERTICAL			MAXIMUM	
	AVERAGE [FC]	RANGE [FC]	AVERAGE [FC]	RANGE [FC]	AVERAGE [FC]	RANGE [FC]	AVG/MIN	MAX/MIN
PARKING (UNCOVERED) ZONE 3 (URBAN)	1.5	0.75 - 3	0.8	0.4 - 1.6	4:1	15:1		
PARKING (UNCOVERED) ZONE 2 (SUBURBAN)	1	0.5 - 2	0.6	0.3 - 1.2	4:1	15:1		
SAFETY (BUILDING EXTERIOR)	1	0.5 - 2	-	-	-	-	FOR SECURITY ISSUES, RAISE AVG. TO 3	

SIMPLIFIED RECOMMENDATIONS BASED ON IES 'THE LIGHTING HANDBOOK' 10TH EDITION AND IES RP-20-14. INDIVIDUAL APPLICATIONS WILL DETERMINE SPECIFIC RECOMMENDATIONS. PLEASE REFER TO THE MOST RECENT HANDBOOK FOR A MORE DETAILED EVALUATION AND ADDITIONAL APPLICATIONS. THESE RECOMMENDATIONS DO NOT SUPERCEDE ANY APPLICABLE CODES.

PROJECT NAME: BRIDGE - 21420 S HARLEM FRANKFORT, IL

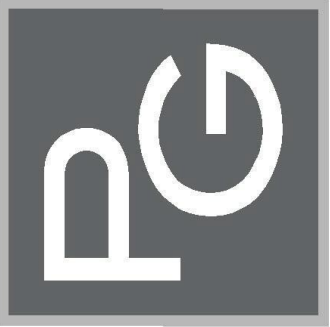
CLIENT NAME: Patrick W. McCarty, Jr - PWM ARCHITECTURE LLC

PG CONTACT:

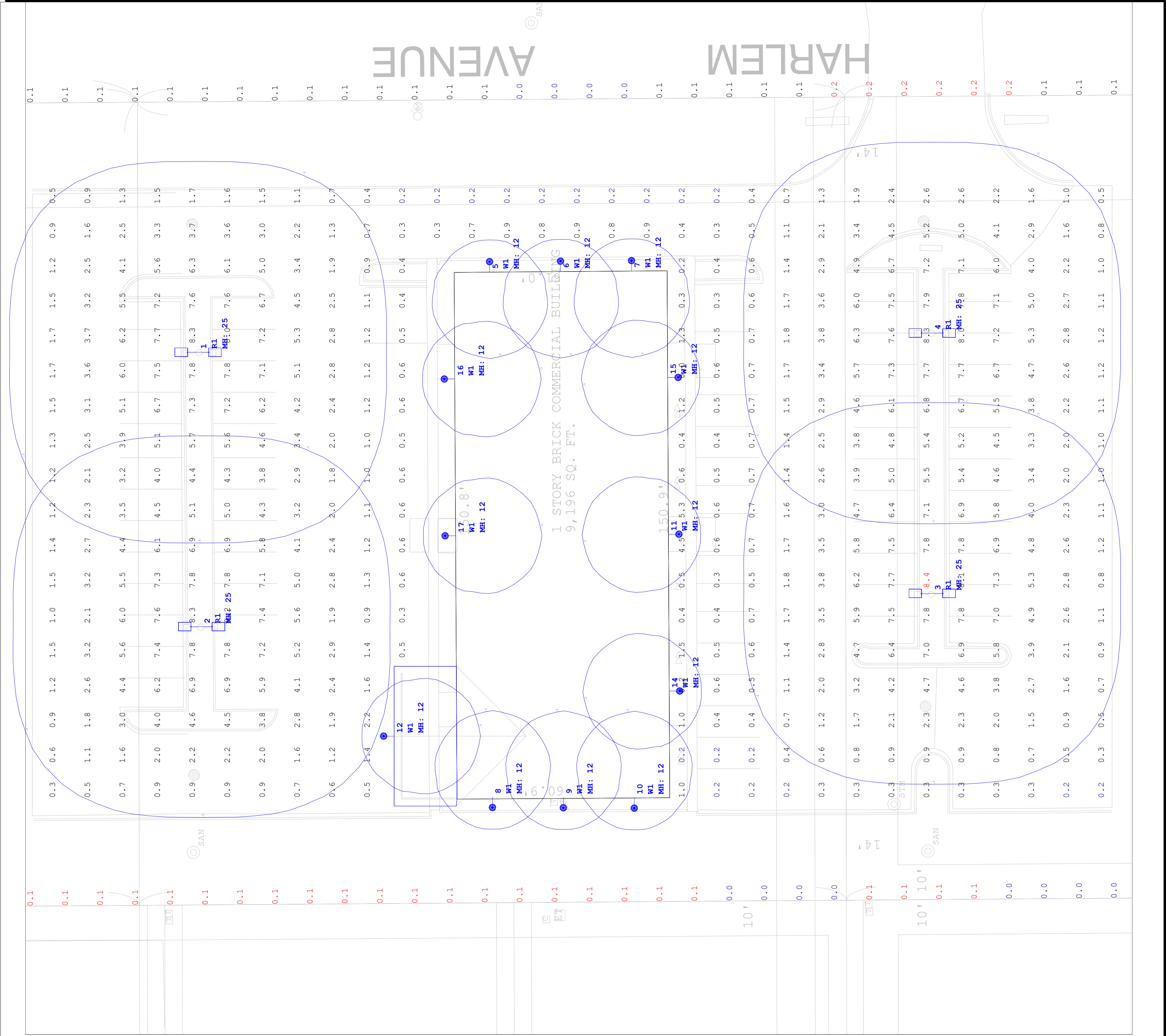
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REVISIONS
1
2
3



enlighten



EXPEDITED AVAILABILITY

QSR - PLED

SPECIFICATIONS

OPTICAL HOUSING

Heavy cast low copper aluminum (A356 alloy; <0.2% copper) assembly with integral cooling fins. The Optical Panel mounting surface is milled flat (surface variance $\pm .003"$) to facilitate thermal transfer of heat to housing and cooling fins. Solid barrier wall separates optical and electrical compartments. The optical and electrical compartments are integrated to create one assembly. Minimum wall thickness is .188".

ELECTRICAL HOUSING w/ INTEGRATED ARM

Heavy cast low copper aluminum (A356 alloy; <0.2% copper) assembly with integral cooling ribs surrounding the electrical compartment and a flat surface on the top of the arm to accommodate a photocell receptacle. Solid barrier wall separates optical and electrical compartments. The optical compartment and electrical compartment with the integrated support arm combine to create one assembly. Minimum wall thickness is .188". Cast and hinged driver assembly cover is integrated with wiring compartment cover.

PLED™ OPTICS

Emitters (LED's) are arrayed on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED refractor. LED optics completely seal each individual emitter to meet an IP66 rating. In asymmetric distributions, a micro-reflector inside the refractor re-directs the house side emitter output towards the street side and functions as a house side shielding element. Refractors are injection molded H12 acrylic. Each LED refractor is sealed to the PCB over an emitter and all refractors are retained by an aluminum frame. Any one Panel, or group of Panels in a luminaire, have the same optical pattern. LED refractors produce standard site/area distributions. Panels are field replaceable and field rotatable in 90° increments. LED's are 3000K or 4000K CCT.

LED DRIVER(S)

Constant current electronic with a power factor of >.90 and a minimum operating temperature of -40°F/-40°C. Driver(s) is/are UL and cUL recognized and mounted directly against the Electrical Housing to facilitate thermal transfer, held down by universal clamps to facilitate easy removal. In-line terminal blocks facilitate wiring between the driver and optical arrays. Drivers accept an input of 120-277V, 50/60Hz or 347V-480V, 50,60Hz. (0 - 10V dimmable driver is standard. Driver has a minimum of 3KV internal surge protection. Luminaire supplied with 20KV surge protector for field accessible installation.)

FINISH

Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step media blast and iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability.

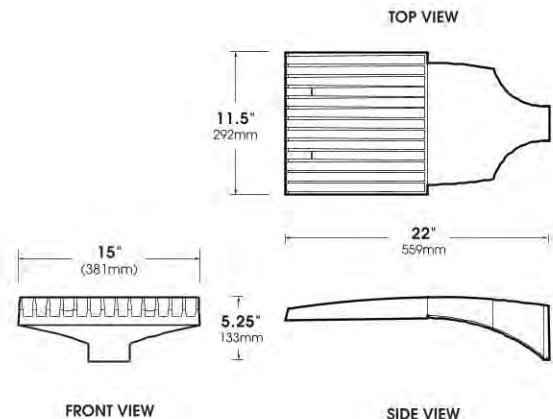
PROJECT NAME: _____

PROJECT TYPE: _____



QSR-LED

PATENT PENDING



RECEIVED

By Mike Schwarz at 5:26 pm, Jul 18, 2023

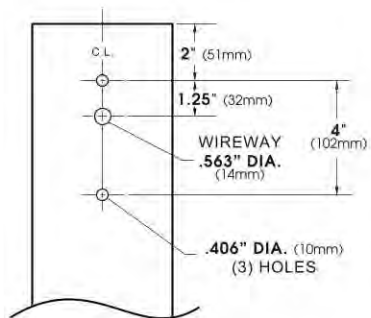


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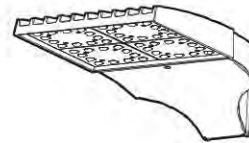


S P E C I F I C A T I O N S

POLE DRILLING TEMPLATE



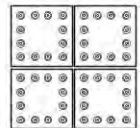
PLED™ MODULES



QSR-LED
E.P.A.= 0.45
Available in:
48 & 24LED Module



24 LED Array



48 LED Array

S P E C / O R D E R I N G I N F O R M A T I O N

CATALOG #	LED COUNT	VOLTAGE	WATTS	LUMENS	REPLACES HID	OPTIONS	
* = Specify Voltage							
<input type="checkbox"/> QSR/2480/PLED-III/(X)/(CX)/RAL-8019/DBZ	24	<input type="checkbox"/> 120	68	7548	150W	<input type="checkbox"/> HOUSE SIDE SHIELD HS-PLED SURGE PROTECTOR. . . . SP (Now included with luminaire for field installation)	
<input type="checkbox"/> QSR/2480/PLED-IV/(X)/(CX)/RAL-8019/DBZ	24	<input type="checkbox"/> 208	68	7480	150W		
<input type="checkbox"/> QSR/4850/PLED-III/(X)/(CX)/RAL-8019/DBZ	48	<input type="checkbox"/> 240	79	10349	250W		
<input type="checkbox"/> QSR/4850/PLED-IV/(X)/(CX)/RAL-8019/DBZ	48	<input type="checkbox"/> 277	79	10270	250W		
<input type="checkbox"/> QSR/4810/PLED-III/(X)/(CX)/RAL-8019/DBZ	48		160	18240	400W		
<input type="checkbox"/> QSR/4810/PLED-IV/(X)/(CX)/RAL-8019/DBZ	48		160	18040	400W		
* = Specify Voltage							
<input type="checkbox"/> QSR/2480/PLED-III/(X)/(CX)/RAL-8019/DBZ	24	<input type="checkbox"/> 347	68	7548	150W		
<input type="checkbox"/> QSR/2480/PLED-IV/(X)/(CX)/RAL-8019/DBZ	24	<input type="checkbox"/> 480	68	7480	150W		
<input type="checkbox"/> QSR/4850/PLED-III/(X)/(CX)/RAL-8019/DBZ	48		79	10349	250W		
<input type="checkbox"/> QSR/4850/PLED-IV/(X)/(CX)/RAL-8019/DBZ	48		79	10270	250W		
<input type="checkbox"/> QSR/4810/PLED-III/(X)/(CX)/RAL-8019/DBZ	48		160	18240	400W		
<input type="checkbox"/> QSR/4810/PLED-IV/(X)/(CX)/RAL-8019/DBZ	48		160	18040	400W		

NOTE:

(X) = indicate voltage (CX) = WW (3000K) or NW (4000K)

NOTE:

(X) = indicate voltage (CX) = WW (3000K) or NW (4000K)



EXPEDITED AVAILABILITY

QSR - PLED

W/ POLE RATED* FOR 100MPH (*AASHTO 2000)

SPECIFICATIONS

FIXTURE HOUSING

Heavy cast low copper aluminum (A356 alloy; <0.2% copper) assembly with integral cooling fins. The Optical Panel mounting surface is milled flat (surface variance $\leq .003"$) to facilitate thermal transfer of heat to housing and cooling fins. Solid barrier wall separates optical and electrical compartments. The optical and electrical compartments are integrated to create one assembly. Minimum wall thickness is .188".

ARM MOUNTING

Heavy cast low copper aluminum (A356 alloy; <0.2% copper) assembly with integral cooling ribs surrounding the electrical compartment and a flat surface on the top of the arm to accommodate a photocell receptacle. Solid barrier wall separates optical and electrical compartments. The optical compartment and electrical compartment with the integrated support arm combine to create one assembly. Minimum wall thickness is .188". Cast and hinged driver assembly cover is integrated with wiring compartment cover.

PLED* OPTICS

Emitters (LED's) are arrayed on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED refractor. LED optics completely seal each individual emitter to meet an IP66 rating. A micro-reflector inside the refractor re-directs the house side emitter output towards the street side and functions as a house side shielding element. Refractors are injection molded H12 acrylic. Each LED refractor is sealed to the PCB over an emitter and all refractors are retained by an aluminum frame. Any one Panel, or group of Panels in a luminaire, have the same optical pattern. LED refractors produce Type III and Type IV site/area distributions. Panels are field replaceable and field rotatable in 90° increments. LED's are 3000K or 4000K CCT.

LED DRIVERS

Constant current electronic with a power factor of >.90 and a minimum operating temperature of -40°F. Driver(s) is/are UL and cUL recognized and mounted directly against the Electrical Housing to facilitate thermal transfer, held down by universal clamps to facilitate easy removal. In-line terminal blocks facilitate wiring between the driver and optical arrays. Drivers accept an input of 120-277V, 50/60Hz or 347V-480V, 50/60Hz. (0-10V dimmable driver is standard. Driver has a minimum of 3KV internal surge protection. Luminaire supplied with 20KV surge protector for field accessible installation.)

POLE

SHAFT

4" square, fabricated from high grade structural steel tube. Shaft conforms to ASTM-A-501 - 68 specifications. Meets or exceeds minimum yield strength of 46,000 p.s.i. Wall thickness 11 Ga. (.120 wall). Reinforced hand hole is furnished with cover, shaft is furnished with ground lug located inside pole on wall opposite hand hole.

BASE PLATE

Fabricated from structural quality hot rolled steel. Meets or exceeds minimum yield strength of 36,000 p.s.i. base telescopes and is circumferentially welded to pole shaft. Slotted bolt holes provide 1" flexibility on either side of bolt circle centerline.

ANCHORAGE

(4) anchor bolts fabricated from hot rolled steel bar, minimum yield strength of 50,000 p.s.i. bolts have "L" bend on one end and are threaded on the other end. Bolts are fully galvanized and are furnished with two nuts and two washers.

BASE COVER

Fabricated from heavy gauge quality carbon steel. Two piece cover conceals base.

FINISH (Applies to Luminaire and Pole)

Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step sand blast and iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability. Smooth finish is standard.

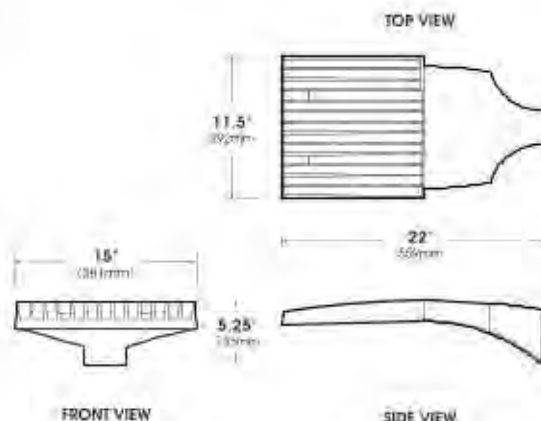
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FIXTURE TYPE: _____



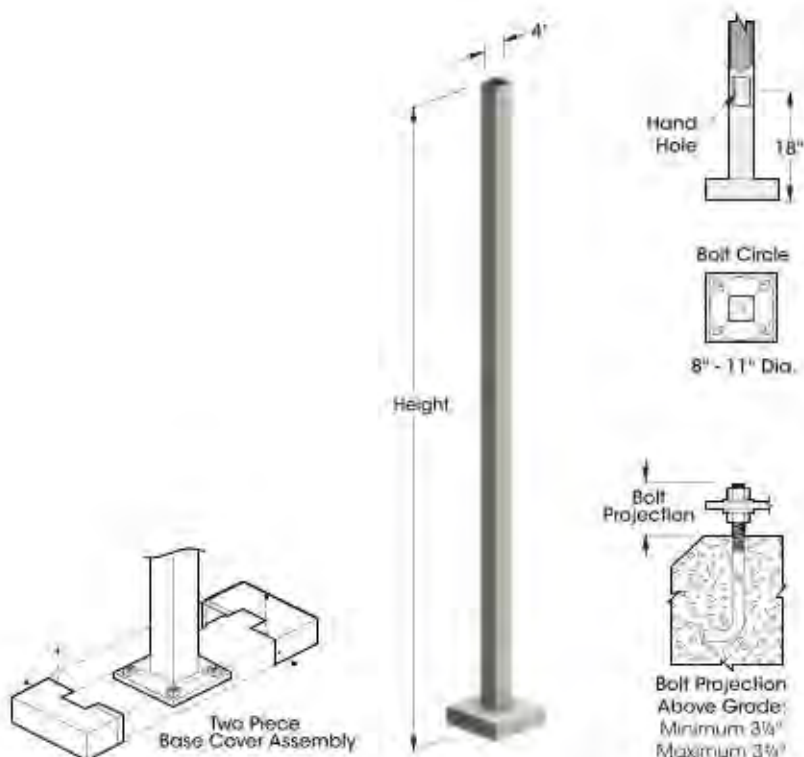
PATENT PENDING

QSR-LED

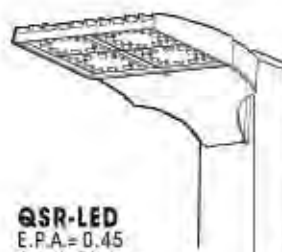


SPECIFICATIONS

POLE



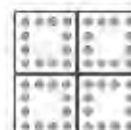
PLED™ MODULES



QSR-LED
E.P.A. = 0.45
Available in:
48 & 24LED Module



24 LED Array



48 LED Array

SPEC / ORDERING INFORMATION

POLE	CATALOG #	VOLTAGE	WATTS	LUMENS	REPLACES HID	LED COUNT	OPTIONS
15'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-154-11/QSR/2480/PLED-III/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 120	68	7548	150W	24	<input type="checkbox"/> HOUSE SIDE SHIELD HS-PLED <input type="checkbox"/> SURGE PROTECTOR SP (Now included with a luminaire for field installation)
15'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-154-11/QSR/2480/PLED-IV/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 208	68	7480	150W	24	
20'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-204-11/QSR/4850/PLED-III/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 240	79	10349	250W	48	
20'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-204-11/QSR/4850/PLED-IV/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 277	79	10270	250W	48	
25'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-254-11/QSR/4810/PLED-III/(X)/(CX)/RAL-8019/DBZ		160	18240	400W	48	
25'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-254-11/QSR/4810/PLED-IV/(X)/(CX)/RAL-8019/DBZ		160	18040	400W	48	
15'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-154-11/QSR/2480/PLED-III/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 347	68	7548	150W	24	
15'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-154-11/QSR/2480/PLED-IV/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 480	68	7480	150W	24	
20'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-204-11/QSR/4850/PLED-III/(X)/(CX)/RAL-8019/DBZ		79	10349	250W	48	
20'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-204-11/QSR/4850/PLED-IV/(X)/(CX)/RAL-8019/DBZ		79	10270	250W	48	
25'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-254-11/QSR/4810/PLED-III/(X)/(CX)/RAL-8019/DBZ		160	18240	400W	48	
25'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-254-11/QSR/4810/PLED-IV/(X)/(CX)/RAL-8019/DBZ		160	18040	400W	48	

NOTE:

(X) = indicate voltage (CX) = WW (3000K) or NW (4000K)



EXPEDITED AVAILABILITY

QSR-LED TWIN ASSEMBLY

W/ POLE RATED* FOR 100MPH (*AASHTO 2000)

SPECIFICATIONS

FIXTURE

HOUSING

Heavy cast low copper aluminum (A356 alloy; <0.2% copper) assembly with integral cooling fins. The Optical Panel mounting surface is milled flat (surface variance $\leq .003"$) to facilitate thermal transfer of heat to housing and cooling fins. Solid barrier wall separates optical and electrical compartments. The optical and electrical compartments are integrated to create one assembly. Minimum wall thickness is .188".

ARM MOUNTING

Heavy cast low copper aluminum (A356 alloy; <0.2% copper) assembly with integral cooling ribs surrounding the electrical compartment and a flat surface on the top of the arm to accommodate a photocell receptacle. Solid barrier wall separates optical and electrical compartments. The optical compartment and electrical compartment with the integrated support arm combine to create one assembly. Minimum wall thickness is .188". Cast and hinged driver assembly cover is integrated with wiring compartment cover.

LED* OPTICS

Emitters (LED's) are arrayed on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED refractor. LED optics completely seal each individual emitter to meet an IP66 rating. A micro-reflector inside the refractor re-directs the house side emitter output towards the street side and functions as a house side shielding element. Refractors are injection molded H12 acrylic. Each LED refractor is sealed to the PCB over an emitter and all refractors are retained by an aluminum frame. Any one Panel, or group of Panels in a luminaire, have the same optical pattern. LED refractors produce Type III and Type IV site/area distributions. Panels are field replaceable and field rotatable in 90° increments. LED's are 3000K or 4000K CCT.

LED DRIVERS

Constant current electronic with a power factor of >.90 and a minimum operating temperature of -40°F. Driver(s) is/are UL and cUL recognized and mounted directly against the Electrical Housing to facilitate thermal transfer, held down by universal clamps to facilitate easy removal. In-line terminal blocks facilitate wiring between the driver and optical arrays. Drivers accept an input of 120-277V, 50/60Hz or 347V-480V, 50, 60Hz. (0 - 10V dimmable driver is standard. Driver has a minimum of 3KV internal surge protection. Luminaire supplied with 20KV surge protector for field accessible installation.)

POLE

SHAFT

4" square, fabricated from high grade structural steel tube. Shaft conforms to ASTM-A-501 - 68 specifications. Meets or exceeds minimum yield strength of 46,000 p.s.i. Wall thickness 11 Ga. (.120 wall). Reinforced hand hole is furnished with cover, shaft is furnished with ground lug located inside pole on wall opposite hand hole.

BASE PLATE

Fabricated from structural quality hot rolled steel. Meets or exceeds minimum yield strength of 36,000 p.s.i. base telescopes and is circumferentially welded to pole shaft. Slotted bolt holes provide 1" flexibility on either side of bolt circle centerline.

ANCHORAGE

(4) anchor bolts fabricated from hot rolled steel bar, minimum yield strength of 50,000 p.s.i. bolts have "L" bend on one end and are threaded on the other end. Bolts are fully galvanized and are furnished with two nuts and two washers.

BASE COVER

Fabricated from heavy gauge quality carbon steel. Two piece cover conceals base.

FINISH (Applies to Luminaire and Pole)

Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step sand blast and iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability. Smooth finish is standard.

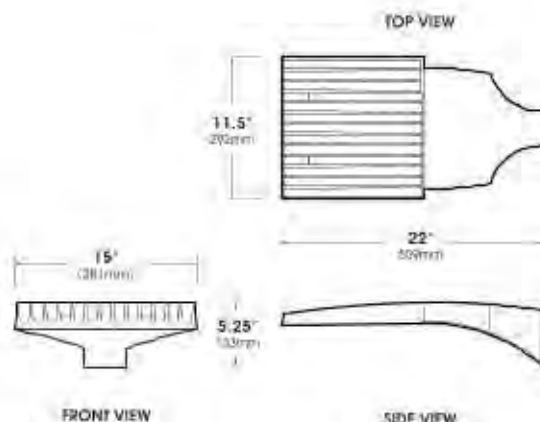
PROJECT NAME: _____

FIXTURE TYPE: _____



QSR-LED

PATENT PENDING

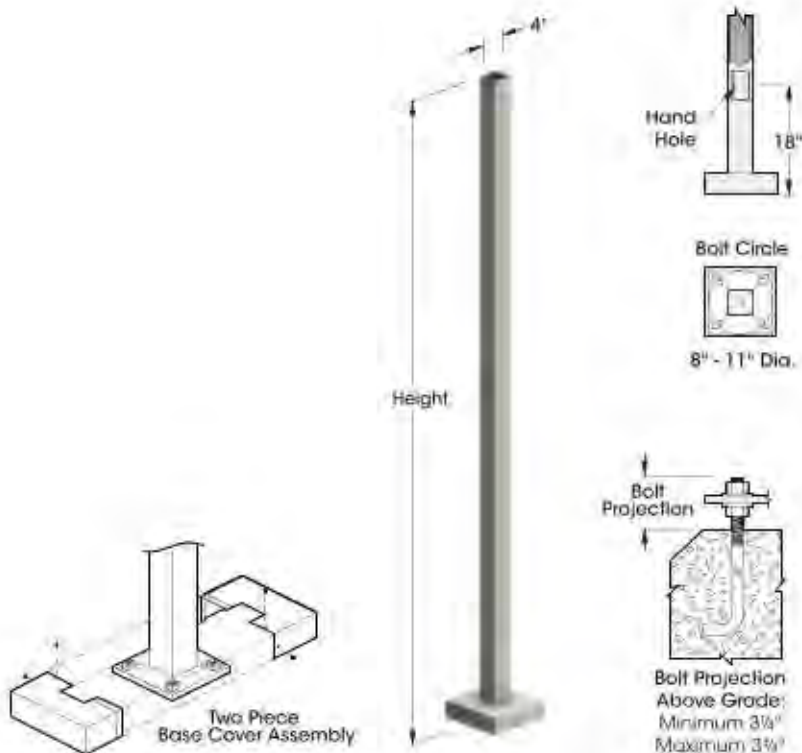


QSR - PLED TWIN ASSEMBLY

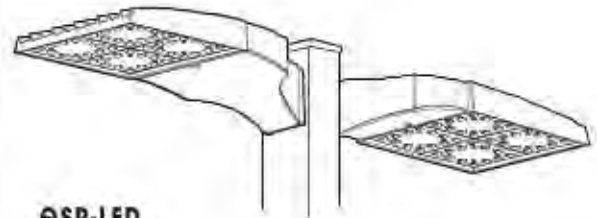
100 MPH PROMOTION

SPECIFICATIONS

POLE



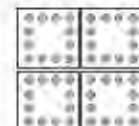
PLED™ MODULES



QSR-LED
E.P.A. = 0.45
Available in:
48 & 24 LED Module



24 LED Array



48 LED Array

SPEC / ORDERING INFORMATION

POLE	CATALOG #	VOLTAGE	WATTS	LUMENS	REPLACES HID	LED COUNT	OPTIONS
15'0"- 4" Sq - 11Ga	<input type="checkbox"/> SNTS-154-11-2180/QSR/2480/PLED-III/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 120	68	7548	150W	24	<input type="checkbox"/> HOUSE SIDE SHIELD
15'0"- 4" Sq - 11Ga	<input type="checkbox"/> SNTS-154-11-2180/QSR/2480/PLED-IV/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 208	68	7480	150W	24	<input type="checkbox"/> HS-PLED
20'0"- 4" Sq - 11Ga	<input type="checkbox"/> SNTS-204-11-2180/QSR/4850/PLED-III/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 240	79	10349	250W	48	<input type="checkbox"/> SURGE PROTECTOR
20'0"- 4" Sq - 11Ga	<input type="checkbox"/> SNTS-204-11-2180/QSR/4850/PLED-IV/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 277	79	10270	250W	48	<input type="checkbox"/> SP
25'0"- 4" Sq - 11Ga	<input type="checkbox"/> SNTS-254-11-2180/QSR/4810/PLED-III/(X)/(CX)/RAL-8019/DBZ		160	18240	400W	48	(Now included with a luminaire for field installation)
25'0"- 4" Sq - 11Ga	<input type="checkbox"/> SNTS-254-11-2180/QSR/4810/PLED-IV/(X)/(CX)/RAL-8019/DBZ		160	18040	400W	48	
15'0"- 4" Sq - 11Ga	<input type="checkbox"/> SNTS-154-11-2180/QSR/2480/PLED-III/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 347	68	7548	150W	24	
15'0"- 4" Sq - 11Ga	<input type="checkbox"/> SNTS-154-11-2180/QSR/2480/PLED-IV/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 480	68	7480	150W	24	
20'0"- 4" Sq - 11Ga	<input type="checkbox"/> SNTS-204-11-2180/QSR/4850/PLED-III/(X)/(CX)/RAL-8019/DBZ		79	10349	250W	48	
20'0"- 4" Sq - 11Ga	<input type="checkbox"/> SNTS-204-11-2180/QSR/4850/PLED-IV/(X)/(CX)/RAL-8019/DBZ		79	10270	250W	48	
25'0"- 4" Sq - 11Ga	<input type="checkbox"/> SNTS-254-11-2180/QSR/4810/PLED-III/(X)/(CX)/RAL-8019/DBZ		160	18240	400W	48	
25'0"- 4" Sq - 11Ga	<input type="checkbox"/> SNTS-254-11-2180/QSR/4810/PLED-IV/(X)/(CX)/RAL-8019/DBZ		160	18040	400W	48	

NOTE:

(X) = indicate voltage (CX) = WW (3000K) or NW (4000K)



EXPEDITED AVAILABILITY

QSR - PLED

W/ POLE RATED* FOR 140MPH (*AASHTO 2000)

SPECIFICATIONS

FIXTURE HOUSING

Heavy cast low copper aluminum (A356 alloy; <0.2% copper) assembly with integral cooling fins. The Optical Panel mounting surface is milled flat (surface variance $\pm .003"$) to facilitate thermal transfer of heat to housing and cooling fins. Solid barrier wall separates optical and electrical compartments. The optical and electrical compartments are integrated to create one assembly. Minimum wall thickness is .188".

ARM MOUNTING

Heavy cast low copper aluminum (A356 alloy; <0.2% copper) assembly with integral cooling ribs surrounding the electrical compartment and a flat surface on the top of the arm to accommodate a photocell receptacle. Solid barrier wall separates optical and electrical compartments. The optical compartment and electrical compartment with the integrated support arm combine to create one assembly. Minimum wall thickness is .188". Cast and hinged driver assembly cover is integrated with wiring compartment cover.

PLED* OPTICS

Emitters (LED's) are arrayed on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED refractor. LED optics completely seal each individual emitter to meet an IP66 rating. A micro-reflector inside the refractor re-directs the house side emitter output towards the street side and functions as a house side shielding element. Refractors are injection molded H12 acrylic. Each LED refractor is sealed to the PCB over an emitter and all refractors are retained by an aluminum frame. Any one Panel, or group of Panels in a luminaire, have the same optical pattern. LED refractors produce Type III and Type IV site/area distributions. Panels are field replaceable and field rotatable in 90° increments. LED's are 3000K or 4000K CCT.

LED DRIVERS

Constant current electronic with a power factor of >.90 and a minimum operating temperature of -40°F. Driver(s) is/are UL and cUL recognized and mounted directly against the Electrical Housing to facilitate thermal transfer, held down by universal clamps to facilitate easy removal. In-line terminal blocks facilitate wiring between the driver and optical arrays. Drivers accept an input of 120-277V, 50/60Hz or 347V-480V, 50/60Hz. (0-10V dimmable driver is standard. Driver has a minimum of 3KV internal surge protection. Luminaire supplied with 20KV surge protector for field accessible installation.)

POLE

SHAFT

4" square, fabricated from high grade structural steel tube. Shaft conforms to ASTM-A-501 - 68 specifications. Meets or exceeds minimum yield strength of 46,000 p.s.i. Wall thickness for 15'0" is 11 Ga. (.120"). Wall thickness for 20'0" and 25'0" is 7 Ga. (.180"). Reinforced hand hole is furnished with cover, shaft is furnished with ground lug located inside pole on wall opposite hand hole.

BASE PLATE

Fabricated from structural quality hot rolled steel. Meets or exceeds minimum yield strength of 36,000 p.s.i. base telescopes and is circumferentially welded to pole shaft. Slotted bolt holes provide 1" flexibility on either side of bolt circle centerline.

ANCHORAGE

(4) anchor bolts fabricated from hot rolled steel bar, minimum yield strength of 50,000 p.s.i. bolts have "L" bend on one end and are threaded on the other end. Bolts are fully galvanized and are furnished with two nuts and two washers.

BASE COVER

Fabricated from heavy gauge quality carbon steel. Two piece cover conceals base.

FINISH (Applies to Luminaire and Pole)

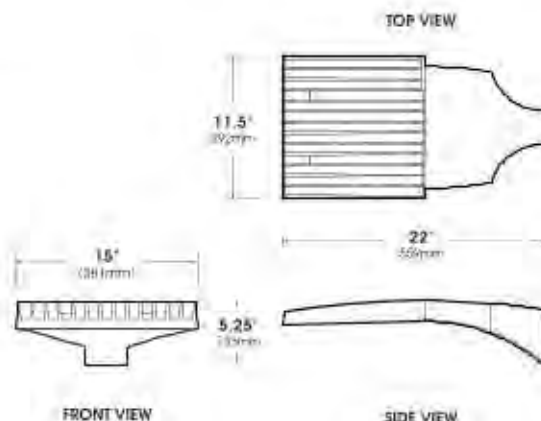
Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step sand blast and iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability. Smooth finish is standard.

PROJECT NAME: _____

FIXTURE TYPE: _____



PATENT PENDING



2020174

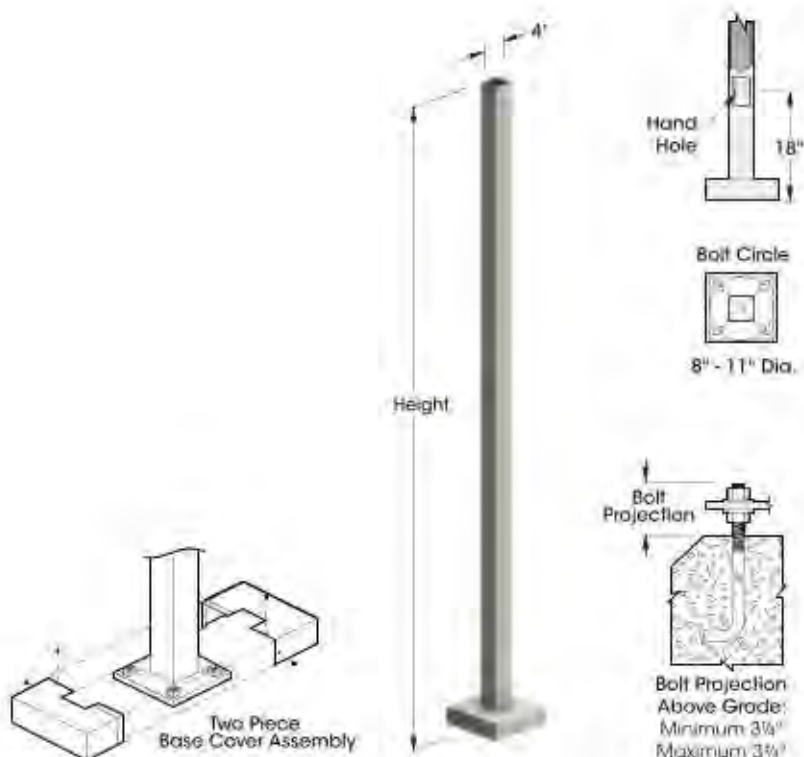
U.S. Architectural Lighting

605 West Wacker Drive, Suite 200, Chicago, IL 60601
Phone: (312) 235-2000 Fax: (312) 235-2001
www.usalighting.com



SPECIFICATIONS

POLE



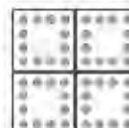
PLED™ MODULES



QSR-LED
E.P.A. = 0.45
Available in:
48 & 24LED Module



24 LED Array



48 LED Array

SPEC / ORDERING INFORMATION

POLE	CATALOG #	VOLTAGE	WATTS	LUMENS	REPLACES HID	LED COUNT	OPTIONS
15'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-154-11/QSR/2480/PLED-III/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 120	68	7548	150W	24	<input type="checkbox"/> HOUSE SIDE SHIELD HS-PLED <input type="checkbox"/> SURGE PROTECTOR SP (Now included with a minimum for field installation)
15'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-154-11/QSR/2480/PLED-IV/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 208	68	7480	150W	24	
20'0" - 4" Sq - 7Ga	<input type="checkbox"/> SNTS-204-7/QSR/4850/PLED-III/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 240	79	10349	250W	48	
20'0" - 4" Sq - 7Ga	<input type="checkbox"/> SNTS-204-7/QSR/4850/PLED-IV/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 277	79	10270	250W	48	
25'0" - 4" Sq - 7Ga	<input type="checkbox"/> SNTS-254-7/QSR/4810/PLED-III/(X)/(CX)/RAL-8019/DBZ		160	18240	400W	48	
25'0" - 4" Sq - 7Ga	<input type="checkbox"/> SNTS-254-7/QSR/4810/PLED-IV/(X)/(CX)/RAL-8019/DBZ		160	18040	400W	48	
15'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-154-11/QSR/2480/PLED-III/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 347	68	7548	150W	24	
15'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-154-11/QSR/2480/PLED-IV/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 480	68	7480	150W	24	
20'0" - 4" Sq - 7Ga	<input type="checkbox"/> SNTS-204-7/QSR/4850/PLED-III/(X)/(CX)/RAL-8019/DBZ		79	10349	250W	48	
20'0" - 4" Sq - 7Ga	<input type="checkbox"/> SNTS-204-7/QSR/4850/PLED-IV/(X)/(CX)/RAL-8019/DBZ		79	10270	250W	48	
25'0" - 4" Sq - 7Ga	<input type="checkbox"/> SNTS-254-7/QSR/4810/PLED-III/(X)/(CX)/RAL-8019/DBZ		160	18240	400W	48	
25'0" - 4" Sq - 7Ga	<input type="checkbox"/> SNTS-254-7/QSR/4810/PLED-IV/(X)/(CX)/RAL-8019/DBZ		160	18040	400W	48	

NOTE:

(X) = indicate voltage (CX) = WW (3000K) or HW (4000K)



EXPEDITED AVAILABILITY

QSR-LED TWIN ASSEMBLY

w/ POLE RATED* FOR 140MPH (*AASHTO 2000)

SPECIFICATIONS

FIXTURE

HOUSING

Heavy cast low copper aluminum (A356 alloy, <0.2% copper) assembly with integral cooling fins. The Optical Panel mounting surface is milled flat (surface variance $\leq \pm .003"$) to facilitate thermal transfer of heat to housing and cooling fins. Solid barrier wall separates optical and electrical compartments. The optical and electrical compartments are integrated to create one assembly. Minimum wall thickness is .188".

ARM MOUNTING

Heavy cast low copper aluminum (A356 alloy, <0.2% copper) assembly with integral cooling ribs surrounding the electrical compartment and a flat surface on the top of the arm to accommodate a photocell receptacle. Solid barrier wall separates optical and electrical compartments. The optical compartment and electrical compartment with the integrated support arm combine to create one assembly. Minimum wall thickness is .188". Cast and hinged driver assembly cover is integrated with wiring compartment cover.

PLED* OPTICS

Emitters (LED's) are arrayed on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED refractor. LED optics completely seal each individual emitter to meet an IP66 rating. A micro-reflector inside the refractor re-directs the house side emitter output towards the street side and functions as a house side shielding element. Refractors are injection molded HT2 acrylic. Each LED refractor is sealed to the PCB over an emitter and all refractors are retained by an aluminum frame. Any one Panel, or group of Panels in a luminaire, have the same optical pattern. LED refractors produce Type III and Type IV site/area distributions. Panels are field replaceable and field rotatable in 90° increments. LED's are 3000K or 4000K CCT.

LED DRIVERS

Constant current electronic with a power factor of > .90 and a minimum operating temperature of -40°F. Driver(s) is/are UL and cUL recognized and mounted directly against the Electrical Housing to facilitate thermal transfer, held down by universal clamps to facilitate easy removal. In-line terminal blocks facilitate wiring between the driver and optical arrays. Drivers accept an input of 120-277V, 50/60Hz or 347V-480V, 50, 60Hz. (0-10V dimmable driver is standard. Driver has a minimum of 3KV internal surge protection. Luminaire supplied with 20KV surge protector for field accessible installation.)

POLE

SHAFT

4" square, fabricated from high grade structural steel tube. Shaft conforms to ASTM-A-501 - 68 specifications. Meets or exceeds minimum yield strength of 46,000 p.s.i. Wall thickness for 15'0" is 11Ga. (.120"). Wall thickness for 20'0" and 25'0" is 7Ga. (.180"). Reinforced hand hole is furnished with cover. Shaft is furnished with ground lug located inside pole on wall opposite hand hole.

BASE PLATE

Fabricated from structural quality hot rolled steel. Meets or exceeds minimum yield strength of 36,000 p.s.i. base telescopes and is circumferentially welded to pole shaft. Slotted bolt holes provide 1" flexibility on either side of bolt circle centerline.

ANCHORAGE

(4) anchor bolts fabricated from hot rolled steel bar; minimum yield strength of 50,000 p.s.i. bolts have "L" bend on one end and are threaded on the other end. Bolts are fully galvanized and are furnished with two nuts and two washers.

BASE COVER

Fabricated from heavy gauge quality carbon steel. Two piece cover conceals base.

FINISH (Applies to Luminaire and Pole)

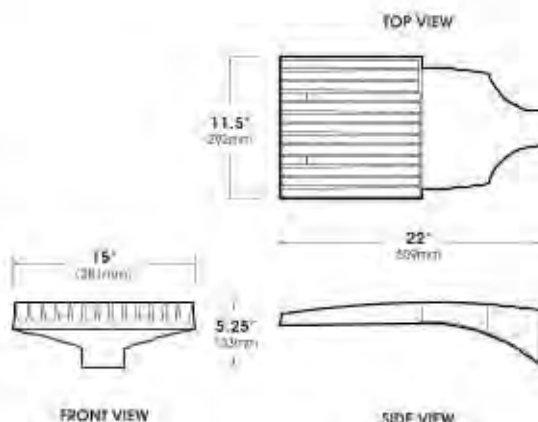
Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step sand blast and iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability. Smooth finish is standard.

PROJECT NAME: _____

FIXTURE TYPE: _____



PATENT PENDING

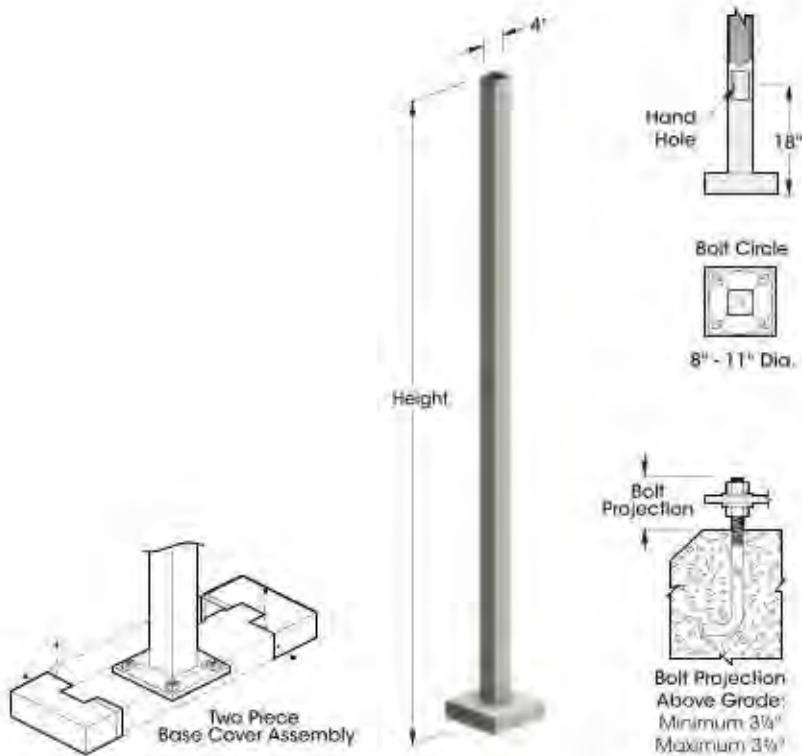


QSR - PLED TWIN ASSEMBLY

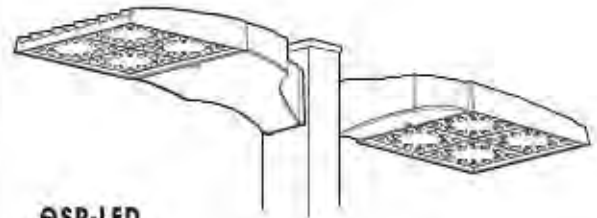
140 MPH PROMOTION

SPECIFICATIONS

POLE



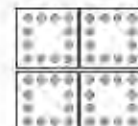
PLED™ MODULES



QSR-LED
E.P.A. = 0.45
Available in:
48 & 24 LED Module



24 LED Array



48 LED Array

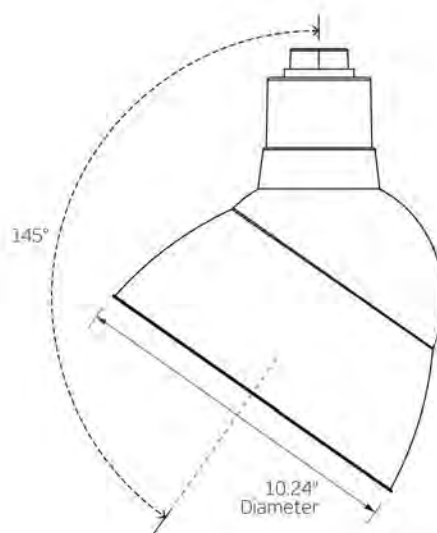
SPEC / ORDERING INFORMATION

POLE	CATALOG #	VOLTAGE	WATTS	LUMENS	REPLACES HID	LED COUNT	OPTIONS
		* = Specify Voltage	Lumens Per Fixture				
15'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-154-11-2180/QSR/2480/PLED-III/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 120	68	7548	150W	24	<input type="checkbox"/> HOUSE SIDE SHIELD HS-PLED
15'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-154-11-2180/QSR/2480/PLED-IV/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 208	68	7480	150W	24	
		<input type="checkbox"/> 240					<input type="checkbox"/> SURGE PROTECTOR SP (Now included with a minimum for field installation)
20'0" - 4" Sq - 7Ga	<input type="checkbox"/> SNTS-204-7-2180/QSR/4850/PLED-III/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 277	79	10349	250W	48	
20'0" - 4" Sq - 7Ga	<input type="checkbox"/> SNTS-204-7-2180/QSR/4850/PLED-IV/(X)/(CX)/RAL-8019/DBZ		79	10270	250W	48	
25'0" - 4" Sq - 7Ga	<input type="checkbox"/> SNTS-254-7-2180/QSR/4810/PLED-III/(X)/(CX)/RAL-8019/DBZ		160	18240	400W	48	
25'0" - 4" Sq - 7Ga	<input type="checkbox"/> SNTS-254-7-2180/QSR/4810/PLED-IV/(X)/(CX)/RAL-8019/DBZ		160	18040	400W	48	
		* = Specify Voltage					
15'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-154-11-2180/QSR/2480/PLED-III/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 347	68	7548	150W	24	
15'0" - 4" Sq - 11Ga	<input type="checkbox"/> SNTS-154-11-2180/QSR/2480/PLED-IV/(X)/(CX)/RAL-8019/DBZ	<input type="checkbox"/> 480	68	7480	150W	24	
20'0" - 4" Sq - 7Ga	<input type="checkbox"/> SNTS-204-7-2180/QSR/4850/PLED-III/(X)/(CX)/RAL-8019/DBZ		79	10349	250W	48	
20'0" - 4" Sq - 7Ga	<input type="checkbox"/> SNTS-204-7-2180/QSR/4850/PLED-IV/(X)/(CX)/RAL-8019/DBZ		79	10270	250W	48	
25'0" - 4" Sq - 7Ga	<input type="checkbox"/> SNTS-254-7-2180/QSR/4810/PLED-III/(X)/(CX)/RAL-8019/DBZ		160	18240	400W	48	
25'0" - 4" Sq - 7Ga	<input type="checkbox"/> SNTS-254-7-2180/QSR/4810/PLED-IV/(X)/(CX)/RAL-8019/DBZ		160	18040	400W	48	






VC SERIES | LED Vintage RLM: Angled Sign Lighter

- Classic style RLM Luminaires inspired by vintage fixtures and redesigned with the latest technology and materials
- Multiple Mounting Options for a wide range of applications
- Durable weather resistant Polyester Powder Coat Finishes, Electrostatically applied and Thermo-Cured



SA10
10 Inch Angled Sign Lighter

WATTAGE	10W	14W	18W	22W	36W
LUMEN OUTPUT (3000K) ¹	950 Lm	1300 Lm	1650 Lm	2000 Lm	3000 Lm
COLOR TEMPERATURE	2700K / 3000K / 3500K / 4000K				
CRI	90+				
COLOR CONSISTENCY	3-Step MacAdam Ellipse Tolerance, 3 SDCM				
INPUT POWER	120-277VAC 60Hz				
DIMMING TYPE	0-10V Dimming				
AMBIENT OPERATING TEMP	-30°C (-22°F) to 45°C (113°F)				
   LISTINGS	cCSAus Listed to UL and CSA Standards; Suitable for Dry, Damp or Wet locations ² Can be used to comply with the 2019 Title 24 Part 6 JA8 High Efficacy LED Light Source Requirements Wet Location Pendants and Flush Mount Luminaires must be mounted under covered ceilings ²				
WARRANTY	Five (5) year replacement after date of purchase				
SYSTEM RATING	50,000 Hours @ 70% Lumen Maintenance				

¹ Approximate Lumen output based on 3000K performance; see photometric test results for additional information

² Staged Ceiling Pendants (HSM) only suitable for Dry or Damp Locations

DATE

PROJECT

TYPE

VC SERIES | LED Vintage RLM: Angled Sign Lighter

ORDERING INFORMATION

Example Order: VCSLSA10LDD1630KLG1 - S

VCSLSA10

1. Shade Size	2. LED Series	Color Temp	3. Mounting	4. Finish ⁵
VCSLSA10 - 10 In.	LDD8 - 10W LDD12 - 14W LDD16 - 18W LDD20 - 22W LDD30 - 36W	27K - 2700K 30K - 3000K 35K - 3500K 40K - 4000K	FM - Flush Mount LSM6³ - 6 In. Stem Mount Pendant LSM12³ - 12 In. Stem Mount Pendant LSM24³ - 24 In. Stem Mount Pendant LSM36³ - 36 In. Stem Mount Pendant HSM6³ - 6 In. Stem Mount Pendant, Sloped Ceiling Canopy HSM12³ - 12 In. Stem Mount Pendant, Sloped Ceiling Canopy HSM24³ - 24 In. Stem Mount Pendant, Sloped Ceiling Canopy HSM36³ - 36 In. Stem Mount Pendant, Sloped Ceiling Canopy LGN1⁴ - Gooseneck Design 1 LGN2⁴ - Gooseneck Design 2 LGN3⁴ - Gooseneck Design 3 LGN4⁴ - Gooseneck Design 4 LGN5⁴ - Gooseneck Design 5	B - Jet Black G - Evergreen P - Sky White S - Vintage Steel CXXXX⁶ - Custom Finish Specify RAL Number

3. All Stems have 3/4-Inch NPT (National Pipe Taper) Threaded Ends.

4. See Page 4 for Gooseneck Design Options.

5. Finish Selection determines Shade and Mounting Hardware colors; Interior of all Shades is Sky White, except Vintage Steel.

Vintage Steel Shade will have the same finish on interior and exterior of Shade.

6. Custom Finish will require additional lead time and extra charge.

The following pages will walk through ordering details

DATE

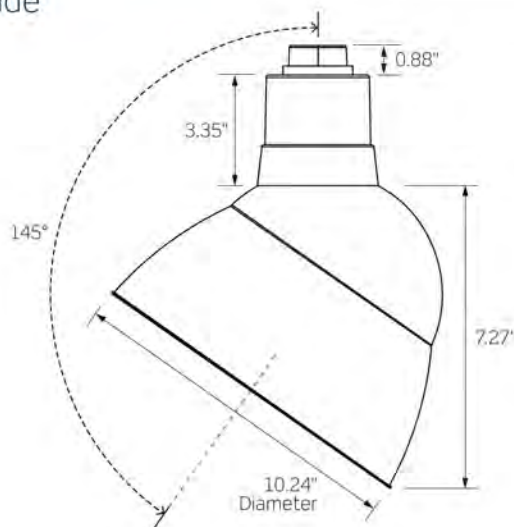
PROJECT

TYPE

VC SERIES | LED Vintage RLM: Angled Sign Lighter

ORDERING INFORMATION

STEP 1 | Select Shade



SA10
10 Inch Angled Sign Lighter

STEP 2 | Select LED Option

- 120 - 277 VAC Input
- 0 - 10V Dimming
- 2700K, 3000K, 3500K, 4000K
- 90 +CRI
- Color Consistency within a 3-Step MacAdam Ellipse Tolerance; 3 SDCM
- Frosted Domed Lens
- The following dimmers are compatible and provide dimming down to 1.1%:
Leviton IP710, Lutron Diva DVSTV-WH, Lutron Nova NTSTV-DV

LED

LED
LDD - LED with
Domed
Frosted Lens

LED Series
8 - 10W
12 - 14W
16 - 18W
20 - 22W
30 - 36W

Color Temp
27K - 2700K
30K - 3000K
35K - 3500K
40K - 4000K

DELIVERED OUTPUT

3000K, 90CRI, Frosted Domed Lens, Sky White Interior Shade Finish

WATTAGE	10W		14W		18W		22W		36W	
	LUMENS*	LM/W	LUMENS*	LM/W	LUMENS*	LM/W	LUMENS*	LM/W	LUMENS*	LM/W
SL10	967	96	1326	96	1667	94	1988	91	2971	83

*For Vintage Steel shade finish, multiply delivered lumens by 0.62

DATE

PROJECT

TYPE

VC SERIES | LED Vintage RLM: Angled Sign Lighter

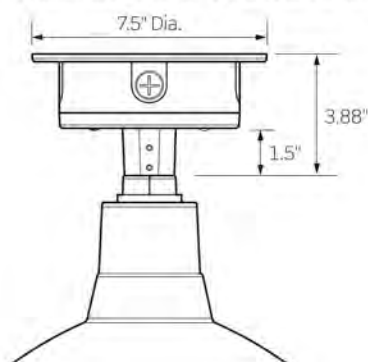
ORDERING INFORMATION

STEP 3 | Select Mounting Style

CANOPY OPTIONS

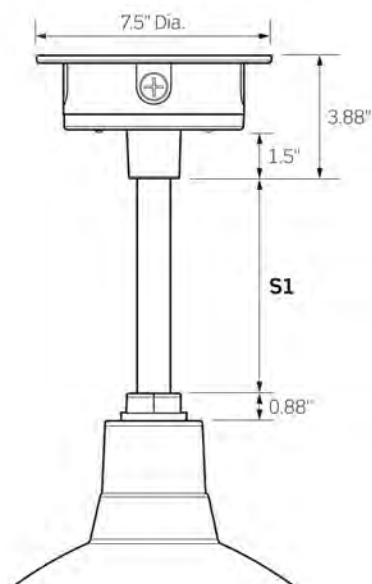
FM

Flush Mount with LED Driver Housing



LSM

Stem Mount

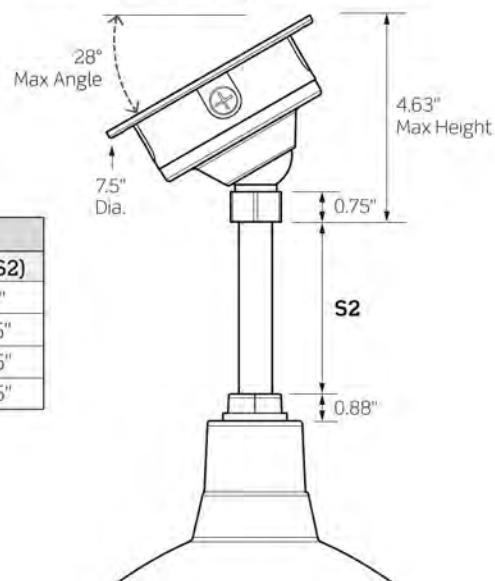


Standard Stem Lengths:
6, 12, 24 and 36 Inch

VISIBLE STEM LENGTHS		
Mount	LSM (S1)	HSM (S2)
6 In. Nominal	3.88"	4.25"
12 In. Nominal	9.88"	10.25"
24 In. Nominal	21.88"	22.25"
36 In. Nominal	33.88"	34.25"

HSM

Sloped Ceiling Canopy with Stem Mount



Gooseneck Options follow

DATE

PROJECT

TYPE

VC SERIES | LED Vintage RLM: Angled Sign Lighter

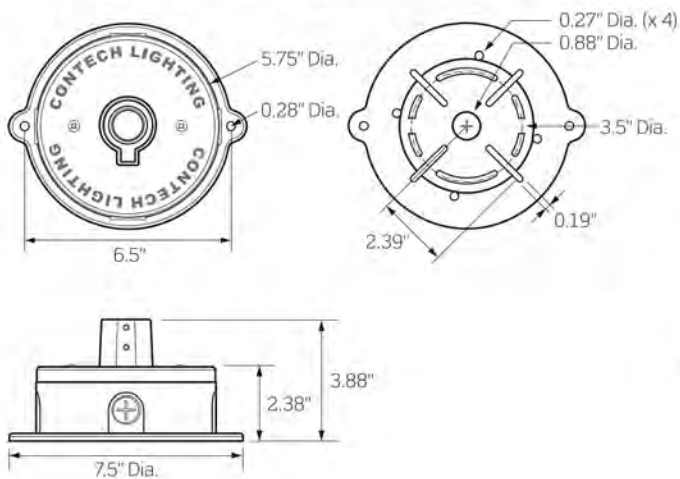
ORDERING INFORMATION

STEP 3 | Select Mount

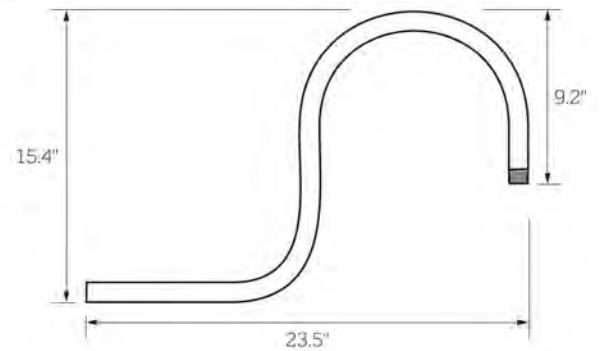
3/4-INCH NPT GOOSENECKS

Wall Flange & Driver Compartment

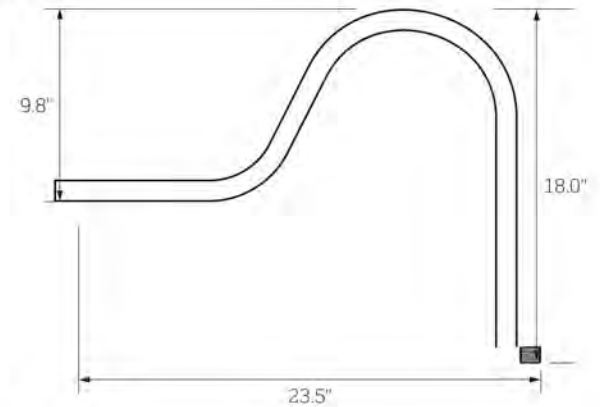
Included with Gooseneck



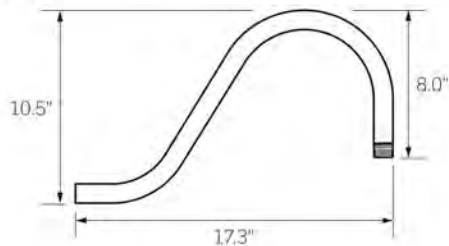
LGN3



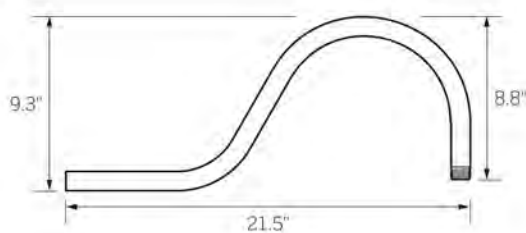
LGN4



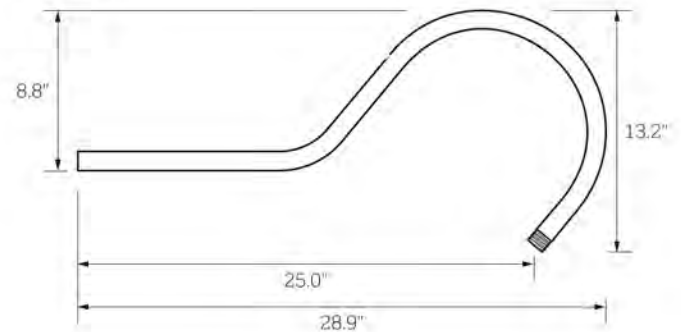
LGN1



LGN2



LGN5



DATE

PROJECT

TYPE

VC SERIES | LED Vintage RLM: Angled Sign Lighter

ORDERING INFORMATION

STEP 4 | Select Finish

- Standard finishes are high gloss polyester powder coat with excellent corrosion resistance properties
- Finish selection determines Shade and Mounting Hardware colors
- Interior of all Shades is Sky White, except Vintage Steel. Vintage Steel Shade will have the same finish on interior and exterior of Shade
- Custom Finish will require additional lead time and extra charge



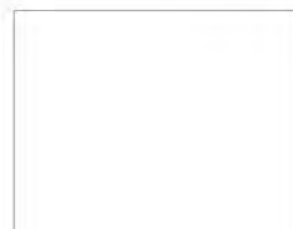
B - Jet Black



G - Evergreen



P - Sky White



S - Vintage Steel



CXXXX - Custom Finish
Specify RAL Number

For a list of 177 Custom Finish RAL numbers, see Vintage RLM RAL Colors data sheet

PRODUCT CONSTRUCTION

- **SHADES:** Powder Coated Spun Aluminum
- **ENCLOSURE and CONDUIT PLUGS:** Powder Coated Cast Aluminum
- **DOMED LENS:** Polycarbonate
- **WALL FLANGES, CANOPIES and SHADE NUTS:** Powder Coated Cast Aluminum
- **GOOSENECKS:** Powder Coated Schedule 40 Aluminum Pipe
- **STEMS:** Powder Coated Schedule 40 Carbon Steel Pipe
- **EXPOSED HARDWARE:** Stainless Steel

DATE

PROJECT

TYPE

VC SERIES | LED Vintage RLM: Angled Sign Lighter

PHOTOMETRICS

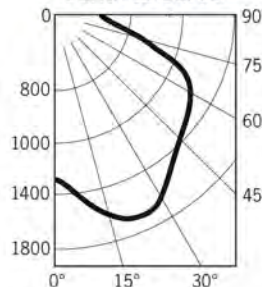
VCSLDSA10: 10-Inch Angled Sign Lighter, White Interior, 3000Lm, 3000K

Fixture Delivered Lumens: 2971.4
Total Watts@120V: 35.9
Lumens Per Watt: 82.8
Center Beam Candle Power: 1709.5
Beam Distribution: 85.2°
Spacing Criterion: 1.10
Color Rendering Index (CRI)¹: 90.8
Color Temperature (CCT)²: 3067K
Designed for 50,000 Hour Lamp Life³
LM-63 Test No. G21120606
LM-79 Test No. S21111101

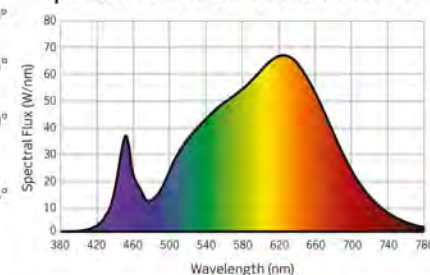
Intensity Distribution

DISTANCE (FT.)	FOOTCANDLES (FC)	BEAM DIAMETER (FT.)
6 FT	35.5	18.4
8 FT	20.0	24.5
10 FT	12.8	30.6
12 FT	8.9	36.7
14 FT	6.5	42.9
16 FT	5.0	49.0

Candela Curve



Spectral Power Distribution Chart⁴



1. Accuracy of Rendering Colors 2. Color Appearance of Light Source 3. Dependent on Surrounding Temperatures 4. Colors Present within the Light Source

PHOTOMETRIC MULTIPLICATION FACTORS

Lumen output values fluctuate based on Color Temperature, Luminaire Wattage/Output and Shade Finish. To estimate lumen output of these various options, multiply 3000K results by the following:

CCT MULTIPLIERS			
CCT	STD CRI	CCT	STD CRI
2700K	0.96	3500K	1.05
3000K	N/A	4000K	1.08

VINTAGE STEEL FINISH MULTIPLIER
0.62

DATE

PROJECT

TYPE

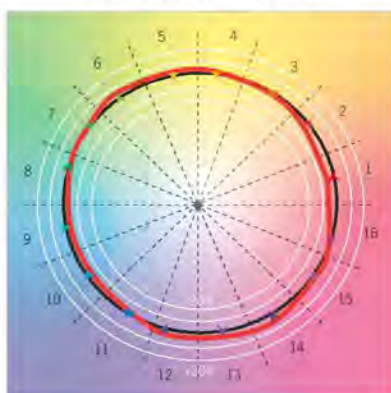
VC SERIES | LED Vintage RLM: Angled Sign Lighter

TM-30 DATA: VCSLSA10LDD3030K

10-Inch Angled Sign Lighter, White Interior, 3000Lm, 3000K

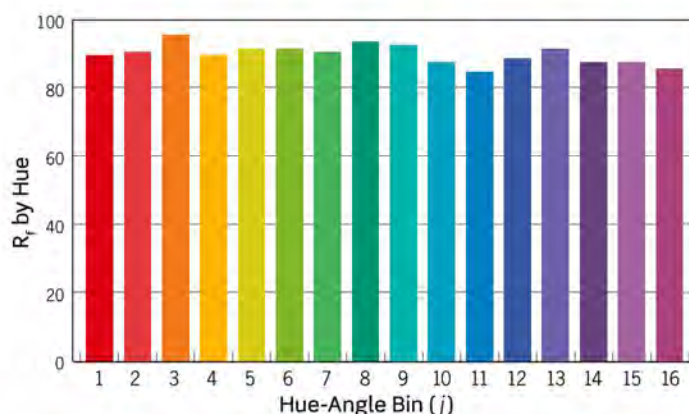
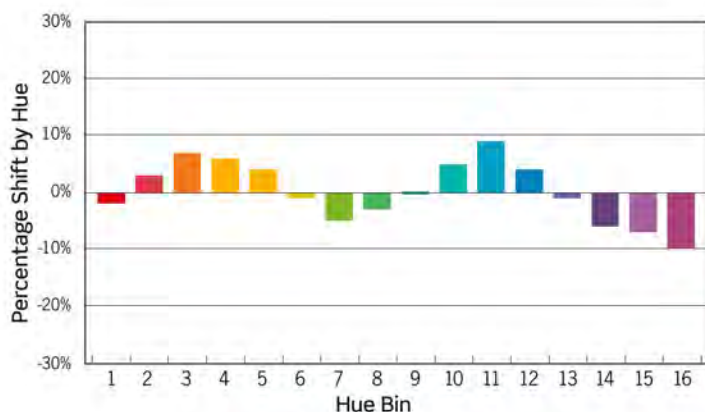
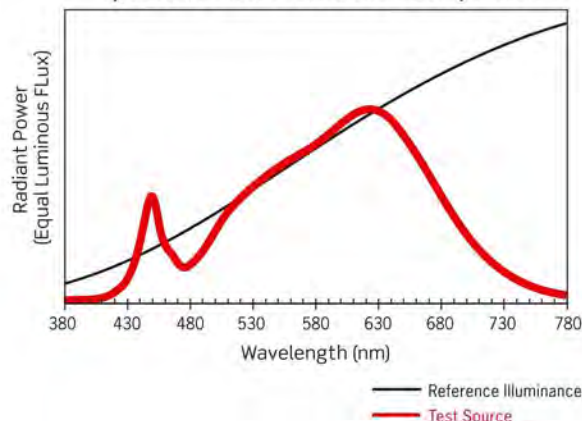
R_f	91
R_g	101
CCT(K)	3067K
D_{uv}	0.0015
u^I	0.2477
v^I	0.5221

Color Vector Graphic



— Reference Illuminance — Test Source

Spectral Power Distribution Comparison



HUE BIN	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
HUE SHIFT	-2%	3%	7%	6%	4%	-1%	-5%	-3%	0%	5%	9%	4%	-1%	-6%	-7%	-10%
R _f VALUE	91	92	87	91	93	93	92	95	94	89	86	90	93	89	89	87

ANSI/IES TM-30-18 Color Rendition Report Test No. S21111101
Colors are for visual orientation purposes only

FOR

FRANKFORD, ILLINOIS

PWM ARCHITECTURE, LLC
3603 CHESAPEAKE ROAD
ST. CHARLES, ILLINOIS 60175

DESIGNTEK ENGINEERING, INC.
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961

DESIGNTEK ENGINEERING, INC.
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961

1. THE EXACT LOCATION OF UNDERGROUND UTILITIES SUCH AS GAS, TELEPHONE, FIBER OPTIC, ELECTRIC, CABLE TV AND PIPE LINES ARE UNKNOWN. THE CONTRACTOR SHALL CONTACT JULIE (1-800-892-0123 OR 811) AND ALL OTHER UTILITY OWNERS WHICH ARE IN THE PROJECT LIMITS BEFORE COMMENCING EXCAVATION.

2. THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI / ASCE 38-02 ENTITLED "STANDARD TO THE GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

DRAINAGE CERTIFICATE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE LOT IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THESE LOT IMPROVEMENTS.

DATED 7th DAY OF JULY, 2023

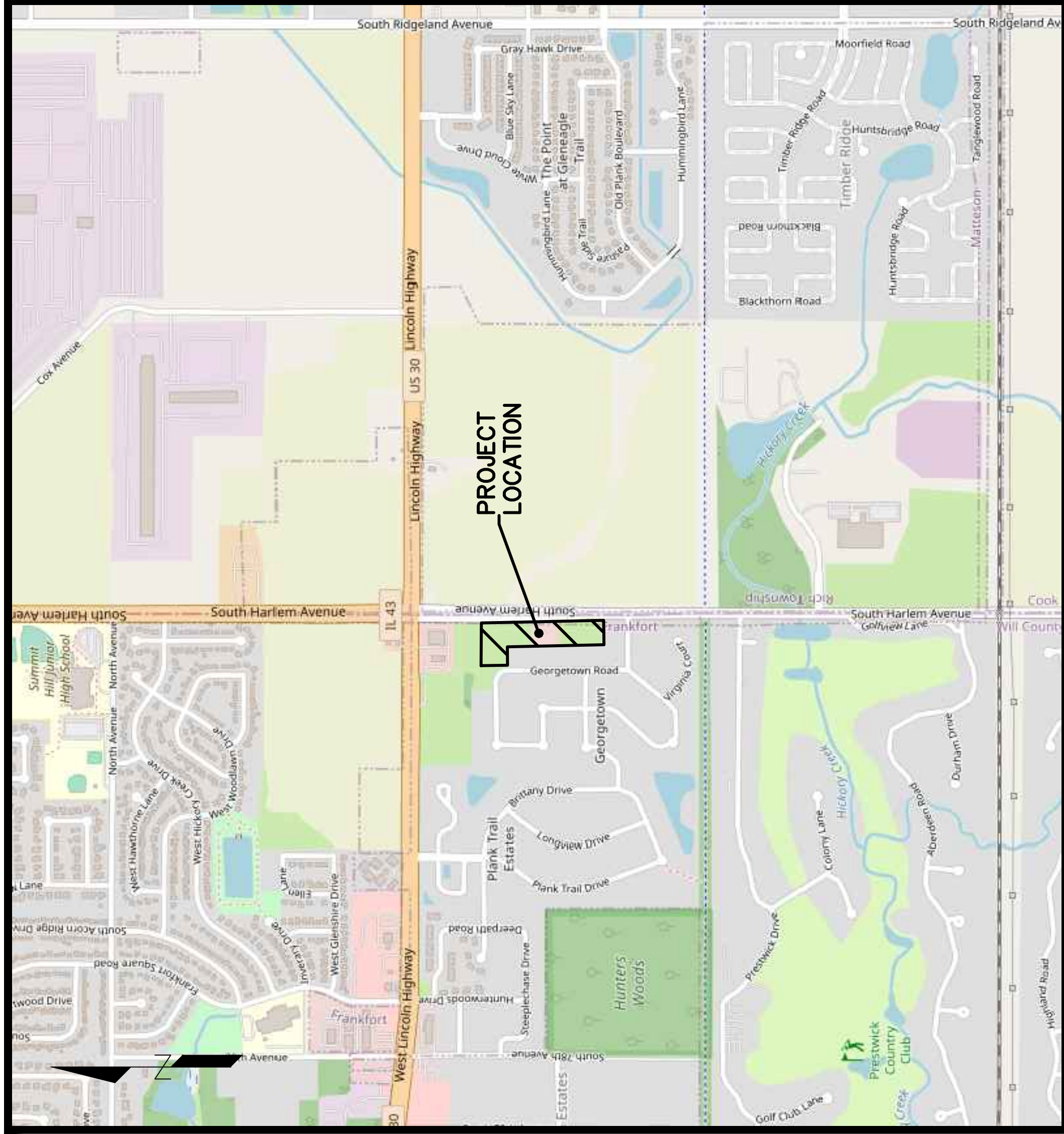
PARCEL 1: LOT 5 OF THE GEORGETOWN SQUARE (EXCEPT THAT PART TAKEN FOR THE DEPARTMENT OF TRANSPORTATION AS DOCUMENT NUMBER 9867-25414) AND (EXCEPT THAT PART TAKEN BY THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS IN CASE NUMBER 000048, RECORDED AS DOCUMENT NUMBER 020008849) BEING A PORTION OF THE 1/4 SECTION 24, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE 10TH PRINCIPAL MERIDIAN, THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE 10TH PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 13, 1987 AS DOCUMENT NO. R87-01983 AND CERTIFICATE OF CORRECTION RECORDED JANUARY 23, 1987 AS DOCUMENT R87-04017, IN WILL COUNTY, ILLINOIS.

LOT 6 IN GEORGETOWN SQUARE (EXCEPT THAT PART TAKEN FOR GEORGETOWN SUBDIVISION RECORDED AS DOCUMENT NUMBER R89-25414), BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 13, 1987 AS DOCUMENT NO. R87-01983 AND CERTIFICATE OF CORRECTION RECORDED JANUARY 23, 1987 AS DOCUMENT R87-04017, IN WILL COUNTY, ILLINOIS.

LOT 97 IN GEORGETOWN SUBDIVISION FIRST ADDITION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 30, 1989 AS DOCUMENT NO. R89-25415, IN WILL COUNTY, ILLINOIS.

LOT 98 IN GEORGETOWN SUBDIVISION FIRST ADDITION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 30, 1989 PS DOCUMENT NO. R89-25415.

NOT TO SCALE



BENCHMARKS

SITE BENCHMARK: THE NORTHWEST FLANGE BOLT ON FIRE HYDRANT LOCATED IN FRONT OF ADDRESS 21420 S. HARLEM AVENUE, SHOWN HEREON.
ELEVATION: 720.28 (NAVD 88)

EXISTING		PROPOSED	
	SANITARY SEWER		SANITARY SEWER
	SANITARY MANHOLE		SANITARY MANHOLE
	STORM SEWER		STORM SEWER
	STORM SERVICE		STORM SERVICE
	CATCH BASIN		CATCH BASIN
	OPEN LID STORM MANHOLE		OPEN LID STORM MANHOLE
	CLOSED LID STORM MANHOLE		CLOSED LID STORM MANHOLE
	STORM INLET		STORM INLET
	FLARED END SECTION		FLARED END SECTION
	WATER MAIN		WATER MAIN
	WATER SERVICE		WATER SERVICE
	VALVE VAULT		VALVE VAULT
	B-BOX		B-BOX
	HYDRANT		HYDRANT
	VALVE BOX		VALVE BOX
	STREET LIGHT		STREET LIGHT
	UTILITY POLE		UTILITY POLE
	RETAINING WALL		RETAINING WALL
	SILT FENCE		SILT FENCE
	CONTOUR		CONTOUR
	FORCE MAIN		FORCE MAIN
	SPOT GRADES		SPOT GRADES
	TOP OF FOUNDATION		TOP OF FOUNDATION
	FINISH GRADE		FINISH GRADE
	FINISH FLOOR		FINISH FLOOR
	GARAGE FLOOR		GARAGE FLOOR

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REVIEW SET
NOT FOR CONSTRUCTION

PWM ARCHITECTURE, LLC
3603 CHESAPEAKE ROAD
ST. CHARLES, ILLINOIS 60175

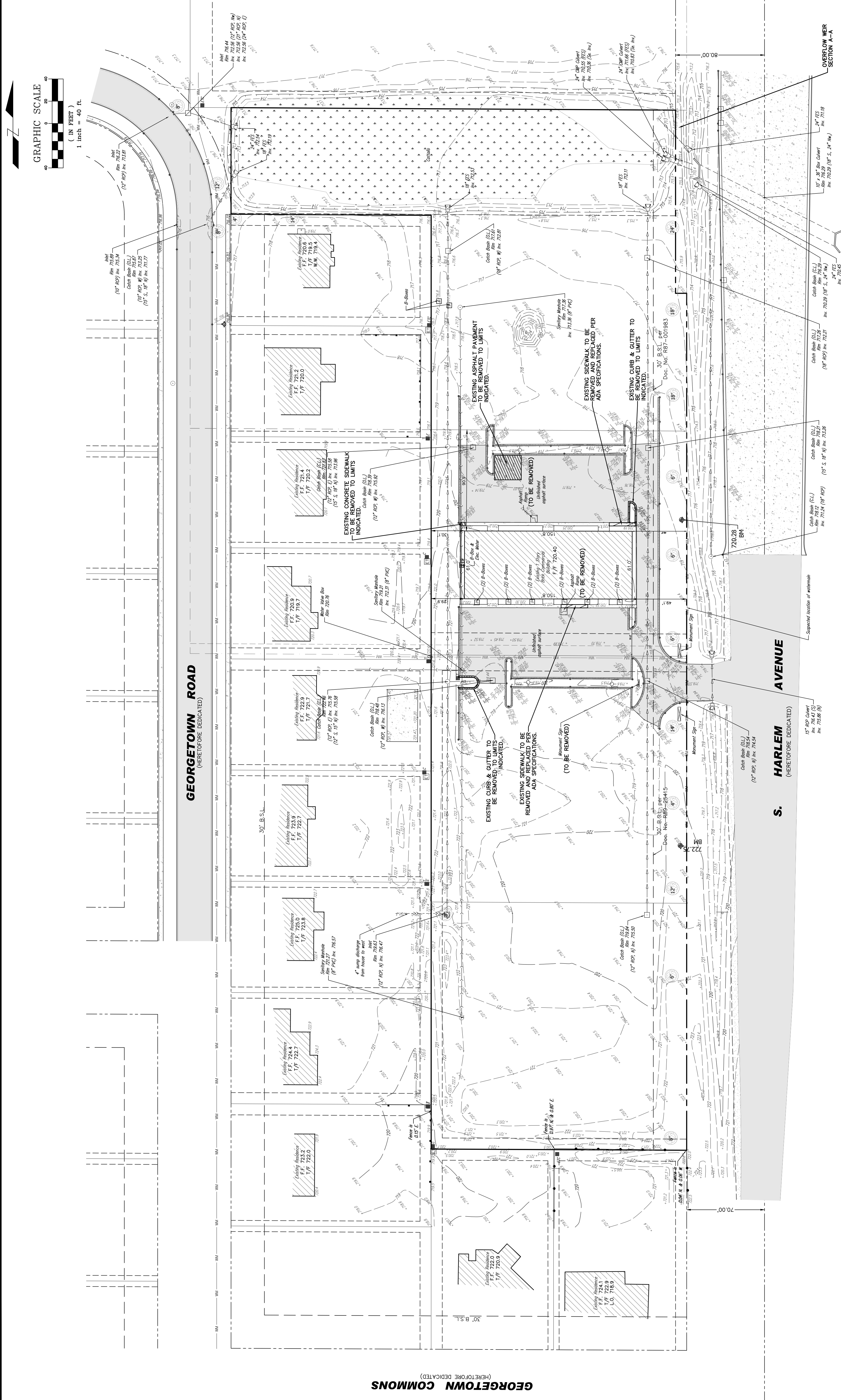
FRANKFURT, ILLINOIS



PROJECT INFORMATION
Project No.: 23-0010
Scale: AS NOTED
Date: 07-07-2023
Design By: MJF
Drawn By: DJB

	<div style="text-align: right; margin-bottom: 10px;"> IL PROF. LIC. NO.: 184-003740 </div> <div style="text-align: right;"> FAX: (708) 326-4962 (708) 326-4961 MOKENA, ILLINOIS 60448 9930 W. 190TH STREET, SUITE L </div>
DESIGNTEK ENGINEERING, INC. <small>CONSULTING, CIVIL ENGINEERING & LAND SURVEYING</small>	
EXISTING CONDITIONS & REMOVAL PLAN	

FINAL ENGINEERING PLANS FOR THE BRIDGE THRIFT STORE 21420 S. HARLEM AVENUE FRANKFORT, ILLINOIS	PWM ARCHITECTURE, LLC 3603 CHESAPEAKE ROAD ST. CHARLES, ILLINOIS 60175
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DESIGNTEK ENGINEERING, INC.
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IL PROF. LIC. NO.: 184 - 003740














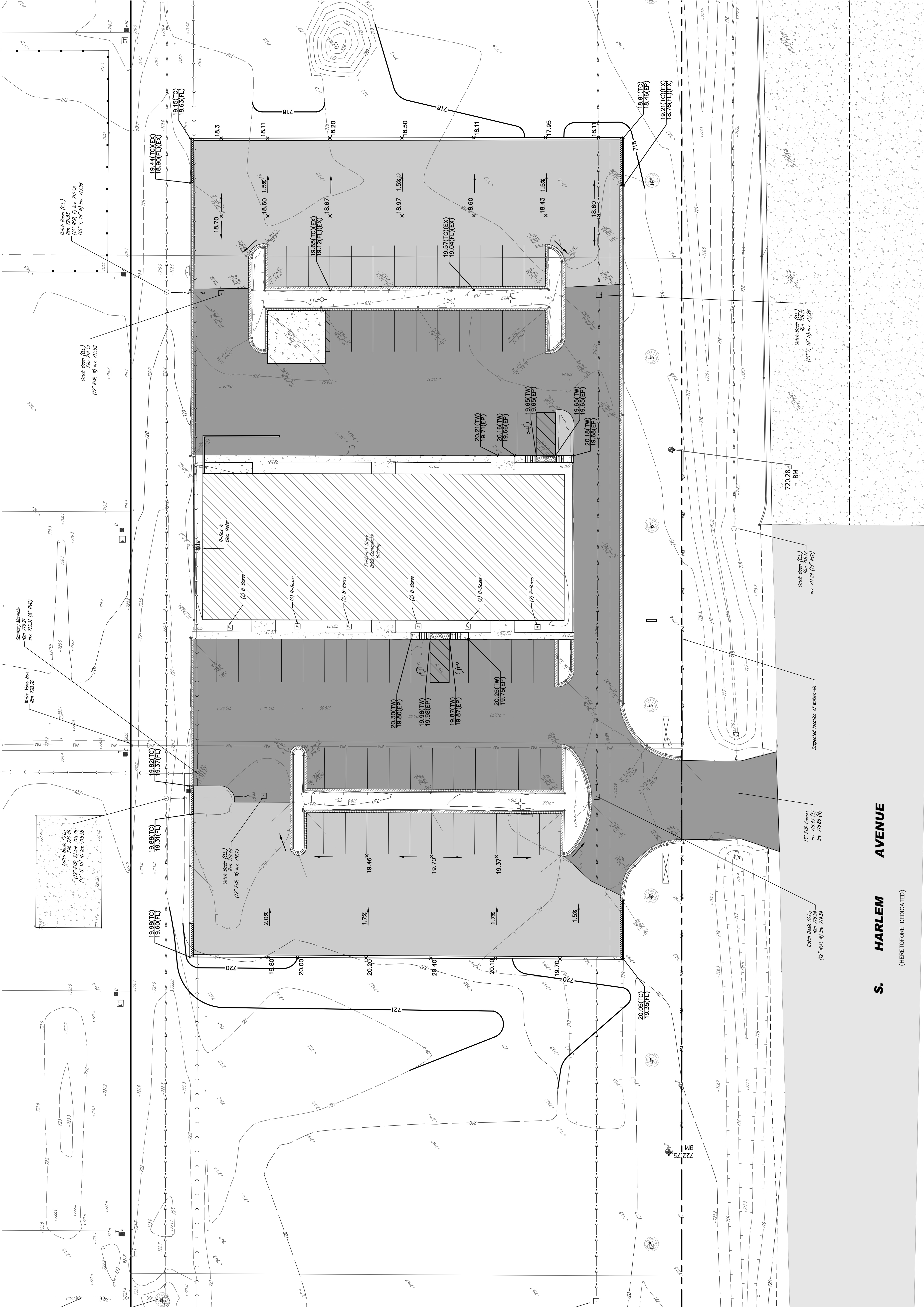
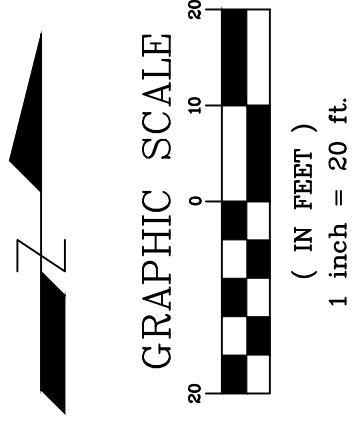
FINAL ENGINEERING PLANS
FOR
THE BRIDGE THRIFT STORE
10-21500 S. HARLEM AVENUE
FRANKFORD, ILLINOIS

PWM ARCHITECTURE, LLC
3603 CHESAPEAKE ROAD
ST. CHARLES, ILLINOIS 60175

PROJECT INFORMATION
Project No.: 23-0010
Scale: 1"=20'
Date: 07-07-2023
Design By: MJF
Drawn By: DJB
Checked By: MJF



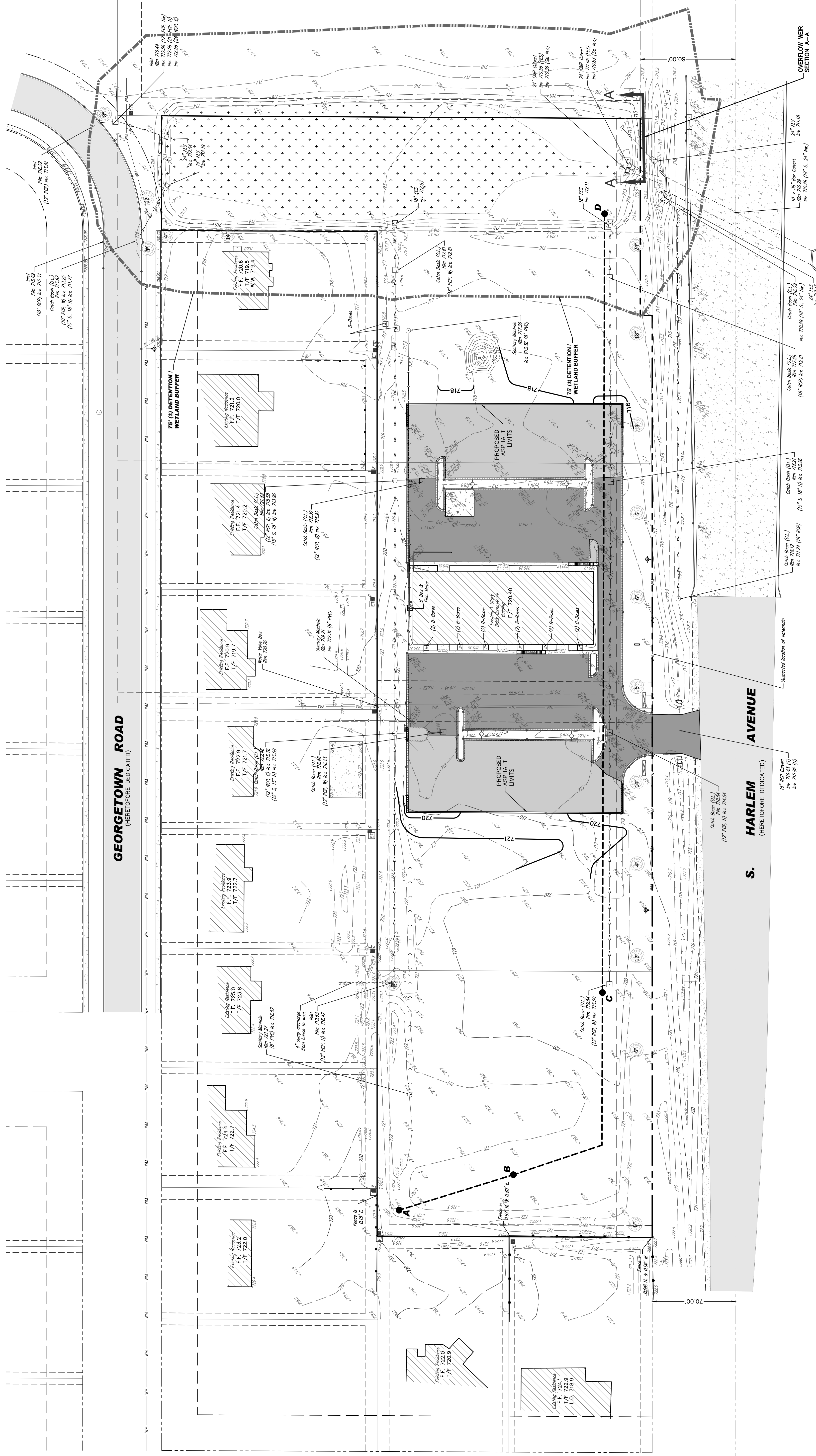
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|--------|---|----------------------------|
| XXXXXX |  | EXISTING SPOT ELEVATION |
| |  | TOP OF CURB ELEVATION |
| |  | EDGE OF PAVEMENT ELEVATION |
| |  | PROPOSED SPOT ELEVATION |
| |  | FLOW ARROW |
| |  | OVERLAIN FLOOD ROUTE |
| |  | MATCH EXISTING |
| |  | TOP OF CURB |
| |  | TOP OF DEPRESSED CURB |
| |  | HIGH POINT |
| |  | BRICK LEDGE |



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FINAL ENGINEERING PLANS
FOR
THE BRIDGE THRIFT STORE
FRANKFORD, ILLINOIS

PWM ARCHITECTURE, LLC
3603 CHESAPEAKE ROAD
: CHARLES, ILLINOIS 60175

[illegible]

LEGEND

----- TIME OF CONCENTRATION PATH

Approved Meeting Minutes Excerpt - 7/14/22 PC/ZBA Meeting

There were none.

Motion (#2): Motion to close the public hearing.

Motion by: Hogan

Seconded by: Jakubowski

Approved: (4-0)

Chair Rigoni asked if the Commission had any other comments or questions.

There were none.

Motion (#3): Recommend that the Village Board approve the request for a variation from Article 6, Section B, Part 2(g)(2) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding on the first floor of an existing home in conjunction with proposed first floor addition and exterior remodeling in the R-2 Single-Family Residential District located at 324 Center Road, in accordance with the submitted plans, public testimony, and Findings of Fact.

Motion by: Jakubowski

Seconded by: Hogan

Approved: (4-0)

Motion (#4): Recommend that the Village Board approve the request for a variation from Article 6, Section B, Part 2(l) of the Village of Frankfort Zoning Ordinance to reduce the requirement that a basement be equal to 80% of the ground floor area of the first story to 60.55% in the R-2 Single-Family Residential District located at 324 Center Road, in accordance with the submitted plans, public testimony, and Findings of Fact.

Motion by: James

Seconded by: Hogan

Approved: (4-0)

Chair Rigoni asked the applicant to contact staff with questions about the next steps for the project.

C. **Workshop: 21420 S. Harlem Avenue – Thrift Home and Restoration (The Bridge Teen Center)**

Schwarz summarized the staff report.

Chair Rigoni asked the applicant to step forward, and asked if she had anything to add.

Priscilla Steinmetz, the applicant, and Patrick McCarty, the architect, approached the podium.

The architect thanked staff for their help compiling information on the subject property. He explained that he had an engineer out to assess the integrity of the building, who reported that the “shell” was intact. Work would need to be done on the roof, which need

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replacing. Additionally, the applicant wants to remove the existing dormers on the building to achieve a more modern-looking building. The applicant also desires to change the windows to be more modern, in particular the windows toward the back of the building, which would have shelving and storage covering them on the interior. The proposal would update the shell of the building and then create interior office, storage, and retail space. The interior would have an open concept on the sales floor. The east side would have the point-of-sale machine, while the west side would be left for offices and storage space, with the sales floor in between. For the exterior layout, the south side of the building would be considered the front. This would leave the north side for drop-off donations, logistics, and employee parking. He stated that the applicant and he were looking to comply with all relevant zoning regulations and to avoid the need for any variations. The applicant wanted to join the center two of the four lots in question into one lot, which would address parking needs for the building. It would also leave the northernmost and southernmost lots for other uses and future development. Finally, the architect stated that he was waiting for information on the status of existing utilities, namely water and sewer, to be sure that they had no issues. He was happy to answer any questions in relation to engineering or architecture, and that the applicant could speak more to the operations and use of the property.

The applicant stated she was grateful for the guidance of staff and the Plan Commission while they strive to make a difference in the community. She explained that the Bridge Teen Center operates out of Orland Park and that the organization has helped over 11,000 Lincoln-Way students over the years. The current location operates a thrift store, and the applicant is now looking to open a second location. The teen center has a job readiness program and the second location would help expand that as well. The center has served many families in Frankfort, so moving to the Village seemed like a logical next step. The job readiness program has helped students from 7th to 12th grade develop job, leadership, and professional skills. Since starting the program, current membership tripled the initial size. Emphasis with the program was placed on helping students who did not feel they had a place they belonged, and giving them a space to be themselves, while growing and learning. The teen center also offers jobs to certain teens, currently 15 teens are employed. The applicant stated that the teen center also has ongoing community service work, which is especially helpful for local high school students who struggle to find places to earn service hours which also promoted individual growth opportunities. The teen center serves 128 communities across the Chicagoland area, and the National Honor Society often connects students with the center for volunteer opportunities. Families also volunteer, not just individual teens. Needless to say, The Bridge Teen Center is flourishing at its current location, and it even serves as a model for teen programming nationwide.

The applicant continued by explaining how they wanted the proposed thrift store to not just feel like a thrift store, but instead to be an aspirational place where students could learn in an environment which felt modern. She stated they were looking to emulate Chip and Joanna Gaines, and Crate and Barrel in the design of the thrift shop. The applicant expressed her intention to promote a clean space that did not feel like a thrift store inside or out. Cameras would be installed to monitor donations. The existing thrift store uses a trailer to store and organize incoming donations and workers regularly organize the donations received and keep the space looking clean. The new location would also serve as a place to run job readiness training events, since the current location was too small.

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All profits from the thrift store would be to support The Bridge. The existing store provides the center with approximately 30% of its operating budget, and a second store would allow the non-profit to become more self-sufficient, especially given the state of the economy. The proposed thrift store would store and sell donated items such as furniture and other home goods, to supplement the sale of clothing and antiques at the first location. Plants would also be sold from the thrift store.

Chair Rigoni asked the Commissioners to focus on the big picture of the proposal since the current item was a workshop.

Commissioner Jakubowski asked how donation drop-off would work, and whether it would be open to the public.

The applicant responded that donations would be accepted during retail hours.

Commissioner Jakubowski asked what intake would look like from an operational point of view.

The architect responded that there was only one entrance to the site off of Harlem Avenue. The parking lot to the north of the building would be dedicated to employee parking and donation drop-off. Donations would enter the building from the area on the plans marked as a dock enclosure and from there enter straight into the building. All logistical work would be done on the north side of the building, and the public-facing operations, including parking and entrances, would be on the south side.

Commissioner Jakubowski asked if donations would be accepted during all open hours.

The applicant responded that they would, and that someone would be on duty to bring them inside, to prevent any donations from being damaged. Customers were not supposed to see the back-of-house work being done.

Commissioner Jakubowski asked if sales and donations would happen simultaneously.

The applicant said that they would, but that weather would be a factor in whether donations would be accepted or not. The current location accepts roughly 30 donations per day, but traffic varies depending on the time of day, different seasons, weather conditions. Some donations would be turned away, if they were deemed not sellable, such as unsold items from garage sales. Information on the items the thrift store would not accept is clearly posted and publicly available, and most people abide by those rules. This proposed new location would have twice the space for donations as the current one.

The architect added that the drop-off space could be closed and locked.

The applicant explained that donations would not be accepted in bad weather.

Chair Rigoni asked if there were any comments regarding the retail component of the Special Use.

Commissioner James stated that given what was shown by the Future Land Use Map from the Frankfort Comprehensive Plan, as well as what development exists in the area currently, opening the property to a commercial use is reasonable. Ideally the building's

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main entrance would face to the east towards Harlem Avenue, rather than south, but that was not feasible. He wondered if future buildings would be built to match the orientation of the existing building or to face towards Harlem Avenue.

The architect agreed that the orientation of the building was not ideal, and that if the building did not already exist they would build a structure which faced Harlem Avenue, but the applicant had no intention to demolish what was there and rebuild.

Commissioner James noted that the existing shell was originally intended for an office use, which would explain the orientation of the building. He expressed that an important consideration for the future should be whether later developments were built to look consistent with the existing building or in a way appropriate for their use, which would make the existing building stand out.

Chair Rigoni asked whether the site was developed as a Planned Unit Development.

Staff responded it was not.

The architect noted that there were originally plans for four buildings, all oriented the same way. The applicant intended to combine the middle two lots for their thrift store.

Commissioner Hogan asked if the applicant planned to purchase all four lots.

The architect stated that all four lots were being sold together. The applicant wanted to hold on to the other lots for later use or to sell to others in the future.

Staff noted that much of the northernmost lot was a mapped floodplain, which could not be built on.

The architect asked if an unfinished drive aisle at the Walgreens to the north of the property was intended to connect to the proposed thrift store.

Staff responded it was not.

Commissioner Hogan stated that the use was appropriate for the space. It did not seem like there was going to be much development nearby anytime soon, and he was glad that someone was taking an interest in the site. He noted that there were some complexities from a use perspective, but he had no real issue with the proposed use.

Chair Rigoni wondered whether other commercial developments would go that far south along Harlem Avenue. Perhaps the office use should remain across all lots, or blend the retail use with the existing zoning around it. She noted that vehicle access was challenging for the location, and that retail may not be as successful as a result. Therefore, a blend of retail with office uses may be an ideal mix. She noted it was important that there was a clear understanding of the whole development. The proposed thrift store was not like traditional commercial uses, but she wanted to keep the integrity of the office use for the other lots. She stated that she struggled with the proposal since there were still many unanswered questions in regard to the site plan. She wanted to meet the needs of the applicant while also blending with the potential future fabric of the surrounding spaces.

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Commissioner Jakubowski noted that the area around the development was largely residential. Turning on or off this road anywhere but an intersection was often a challenge for drivers due to the amount of traffic at peak hours.

The applicant agreed that traffic there was rough.

Chair Rigoni stated that there was not much concern with what was there at the moment, and that she understood the applicant would improve the existing property. She wanted to know how allowing retail in that location would impact the local fabric of the community. She did not know what the intention was behind the initial B-4 Office zoning was, but was happy to see interest in the property regardless.

The architect asked if there was any support for allowing the special use on only the middle lots.

Chair Rigoni asked in response if the applicant wanted the Special Use permit for all four properties.

Staff clarified that per the application, all four parcels were under consideration for the Special Use Permit. However, that could be changed and the lot or lots granted the permit could be made clearer after a resubdivision.

Chair Rigoni stated that her understanding was that the Special Use Permit was for the lot with the existing building, not all four lots. She did not want a Special Use Permit granted for undeveloped land without knowing what would go there in the future. She then asked about how much activity was anticipated at the loading dock marked on the plans.

The architect clarified that it was a three-sided enclosure, not a loading dock, which would provide protection from the elements for items entering and leaving the store.

Commissioner Hogan asked if the proposed dock was similar to one at another location in Orland Park.

The applicant responded she was unsure. There would not be any large trucks entering the site; the space was intended for cars to pull up and load or unload items.

Commissioner James asked what kind of truck would deliver larger items such as furniture.

The architect said a box truck would deliver those items, no large vehicles.

Chair Rigoni asked if the drop-off space was intended for any sort of outdoor storage.

The architect responded it was not.

Chair Rigoni explained she did not want anything to be left outside after being dropped off.

Commissioner Hogan asked if there had been any traffic studies conducted for the site.

Chair Rigoni noted that Cook County has jurisdiction over Harlem Avenue.

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The architect responded that no traffic study had been done.

Commissioner Hogan encouraged the applicant to have a traffic study done to get a sense of what kind of infrastructure would be needed and what was there already. He reiterated that granting a Special Use Permit to fewer lots was more agreeable than for all four lots. It is possible that another party may come along and look to also have a non-traditional retail space, but the main concern is with how operations would work, how traffic would flow, whether the use and design match the character of the neighborhood, and whether the space would benefit the operation of a thrift store. He also stated she would like to see landscaping in the area where the screening fence was proposed.

Chair Rigoni added that the Plan Commission typically looks for landscaping in areas like the one under consideration, and that fences were usually reserved for areas with more intense uses.

The architect responded that he had not put much work into the landscaping just yet. The limiting factor for landscape screening was the utility easement located near the rear property line.

Chair Rigoni stated that there was space for landscaping.

The architect agreed that there was space for landscaping and clarified he was just trying to manage expectations.

Commissioner Jakubowski suggested a wrought iron-style aluminum fencing in lieu of the proposed white, opaque PVC fencing.

Commissioner Hogan asked if the applicant had spoken with the neighbors about the proposal.

The architect responded that the sale of the property was not finalized yet.

The applicant added that The Bridge was trying to be fiscally smart, and would not buy the property if they would not be granted the Special Use Permit they applied for.

Chair Rigoni asked about the intention behind installing the fence along the rear property line.

The architect responded that the main intention for the fence was for screening to give the neighbors more privacy.

Chair Rigoni expressed that she would like to see more passive screening, such as landscaping, rather than just a fence.

The applicant asked whether the Plan Commission was seeking old trees and mature landscaping to screen the property.

Chair Rigoni responded that the Village had experience using landscaping to screen properties effectively, and that landscaping was preferable to a fence.

The applicant asked whether other properties incorporated both fencing and landscaping.

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Chair Rigoni responded that other properties had installed both landscaping and fencing, and stated that the fencing was commonly faux wrought iron.

Commissioner Jakubowski stated that the Homeowner's Association of the nearby neighborhood may have some concerns.

Chair Rigoni asked whether the width of drive aisle on the west side of the building was currently 15 feet or would be reduced to 15 feet.

The architect stated that the drive aisle was currently 15 feet, but it would not be used to allow traffic to flow from the south to the north side of the building, or vice versa.

Chair Rigoni asked about the width of the drive aisles on the south side of the building.

The architect responded that the drive aisles were 20 feet.

Chair Rigoni remarked that typically 24 feet were required for the Fire Department.

Staff clarified that 24 feet is required for drive-aisles with parking on both sides, but 20 feet is sufficient for access and movement.

Chair Rigoni asked whether the pavement for the parking lot would just stop without a curb at its end.

The architect said that it would and that the decision to design it that way was largely a cost consideration. He noted there was enough space for vehicles to turn around via a three-point-turn, but no drive aisles would be designated for continuous flow.

Chair Rigoni stated that the applicant would need to consider how the proposed trash enclosure would impact vehicle flow on the north side of the property.

Staff mentioned that there was not a lot of buildable area available on the north side of the property.

Chair Rigoni agreed, and noted that the Plan Commission would need clarity on vehicle flow through the site to help them understand how the paved area would be laid out and allow for access to the building and space to maneuver. She then moved the discussion to the proposed architectural changes, and asked the applicant if they were going to keep the existing color of the brick.

The architect said they were not looking to keep that color, and instead change the existing red brick façade's color to an off-white.

Commissioner Jakubowski asked if there would be any technical issues with changing the color of the façade.

The architect responded there would not be, and that the applicant was intending to update the building for a more modern look.

Chair Rigoni asked what changes would be made to the roof material.

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The architect said they would use darker shingles to contrast with the lighter-colored walls. In addition, the windows would be single-pane with no muntins.

Chair Rigoni stated that the proposed design did not match with the architecture of the nearby houses, which was a concern.

Commissioner Jakubowski noted that nearby commercial developments were designed to look more traditional and less modern, which was also true for the abutting residential neighborhood. The current structure matches better with the local fabric than the proposed design, which made deviation a concern. Another concern was with the covered windows on the west side of the proposed design. The renderings looked like the windows were just boarded up. She requested more detail on the design of the window covers.

Commissioner James noted that there were examples of buildings with similar designs appearing in the downtown area. He was unsure whether future nearby B-4 developments would want to match the proposed style.

The applicant noted that the proposed designs drew inspiration from Downtown Frankfort.

Chair Rigoni said that while she understood wanting to draw inspiration from local buildings, the look and feel of Downtown Frankfort was unique. Additionally, the proposed building was not in or near downtown, so nearby architecture was more important to consider and draw inspiration from. By changing the building from office use to retail use, the Plan Commission and the applicant would be changing the dynamic of the area around the property. She wondered if such a change would set a pattern for future development, and was not sure. She noted that while the proposed thrift shop was a form of retail, it was different from more traditional retail uses.

Commissioner Hogan stated that, on the other hand, denying a Special Use Permit may result in leaving the property vacant for the foreseeable future, similar to the past 30 years.

Chair Rigoni agreed, and stated she was unsure about what to do.

Staff noted that the existing structure was built in the Federalist style. Staff also noted that with the floodplain on the northern end of the property, there might only be one or two additional buildings on the property, so the number of future buildings that would have to either match or deviate from the current proposal was small.

Discussion continued about how the floodplain would impact the future development of the site.

Chair Rigoni said she wanted to make sure the design of the proposed building matched the fabric of the nearby neighborhood. It was also important to know what buildable area would be left over after the lots were resubdivided. Lastly, to make sure that the Special Use Permit, if granted, would only apply to the existing building, and not to the undeveloped lots as well.

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Staff explained that the next steps for the project would include a resubdivision, which would allow for the Special Use Permit to be more specifically applied to the building and not include the adjacent undeveloped lots.

Commissioner Hogan also noted that additional detail from the applicant regarding the building renderings and proposed landscaping would also be beneficial to the Plan Commission. He suggested the applicant consider different designs for the covered windows.

Staff suggested using tinted panes to allow future uses to modify the windows in case they wished to use them as windows.

Chair Rigoni said she appreciated the design considerations which were present in the submitted materials. The Plan Commission was looking for clarity now to avoid confusion on design elements later.

Staff asked if the members of the Plan Commission were alright with the proposed modifications to the roof.

The architect explained that dormers and other decorative elements of the roof were being taken out because they had deteriorated since construction.

Staff asked the applicant if they felt that they had enough clarity on the Plan Commission's concerns with visuals and aesthetics.

The architect stated that they wanted to change the roof to look cleaner. What existed currently was a combination of non-essential utility and decorative elements which were never completed.

Chair Rigoni asked where the mechanical units would be located if the rooftop utility elements were removed.

The architect responded that those parts were not designed yet, but were planned to be located on the ground in the rear of the building.

Chair Rigoni noted that may be a future concern for the Plan Commission as well, depending on what the next round of drawings showed. The Plan Commission wanted to avoid an industrial look.

Commissioner Jakubowski asked that the applicant have more detailed renderings for the next time, since what was submitted currently had a big box store look. She said she would like some design changes so the building better matched the architecture of the nearby homes.

The applicant asked for the Plan Commission to clarify whether they wanted the brick to remain or if they were okay with the brick being painted over.

Chair Rigoni stated she was looking for a balance between nearby architecture and what the applicant was looking to do.

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Staff added that the Federalist style of architecture was characterized by red brick, dark shingles, and roof dormers. Staff then asked the Plan Commission if they were alright with moving away from that design somewhat.

Chair Rigoni responded that she was, depending on what the next set of submitted designs showed.

Commissioner Hogan said the ground-level elevations showed a long, empty roofline, and that he would like to see changes to it to make it less boring.

D. Workshop: 10235 W. Lincoln Highway – Opa! Addition

Gruba summarized the case.

Chair Rigoni asked the applicant to approach the podium.

Steve Francis, the architect for the project, approached the podium. He stated that they were looking to enclose the patio so they could provide additional seating during the winter or other periods of inclement weather. The addition would match with the existing materials. The existing wall sign would move forward and remain in relatively the same location: on the gable facing Lincoln Highway. There would also be some minor changes to the exterior brickwork to accommodate the larger changes.

Chair Rigoni asked the members of the Plan Commission if they had any questions or comments about the act of enclosing the patio space.

Commissioner Hogan agreed that the restaurant needed more seating and asked if more seats would be added within the existing outdoor patio footprint.

The architect responded that the reason for the addition was to keep existing space available despite weather conditions, and that the overall amount of seating within the patio footprint would not increase beyond what it is today.

Commissioner James agreed that the addition made sense. He saw no problem with the use.

Commissioner Hogan asked if there would be any changes to square footage or if the existing exterior wall would be removed.

The architect responded there would be no change to square footage and the current exterior wall would remain.

Commissioner Jakubowski asked whether there would be four additional tables on the proposed outdoor deck area.

The architect said there would be four new tables.

Chair Rigoni asked if the proposed enclosure met the setback requirements from Route 30.

Staff responded they were unsure, but believed they did.