



## PLAN COMMISSION / ZONING BOARD OF APPEALS AGENDA

Thursday, August 24, 2023  
6:30 P.M.

Frankfort Village Hall  
432 W. Nebraska Street (Board Room)

---

1. **Call to Order**
2. **Roll Call**
3. **Approval of Minutes of July 27, 2023**
4. **Workshop: 700 Iron Gate Court – Paluri Residence Sports Court**  
Future Public Hearing Request: Special Use Permit for a sports court that exceeds 650 square feet in the R-2 Single-Family Residential District (PIN: 19-09-21-121-013-0000).
5. **Workshop: 9115 Roma Court – Roma Sports Building Addition and Outdoor Recreation**  
Future Public Hearing Requests: Two (2) Special Use Permits for indoor recreation for building addition and outdoor recreation on Lot 1 and three (3) Special Use Permits for outdoor recreation on Lots 16-18. Two (2) variations to permit a reduced front landscape setback and three points of vehicle access on Lot 1.
6. **Workshop: 655 Center Road – King Heating and Cooling**  
Future Public Hearing Requests: Proposed Zoning Variations to (1) reduce the required interior side yard setback from 20 feet to 10 feet, 5 inches, and (2) reduce the required rear yard setback from 30 feet to 10 feet, 5 inches, and other Zoning Variations as may be necessary, in the I-2 General Industrial District (PIN: 19-09-27-301-002-0000).
7. **Public Comments**
8. **Village Board & Committee Updates**
9. **Other Business**
  - A. Notification of a Minor Change to the Row House limited Property PUD for the property located at 32 Nebraska Street (PIN 19-09-28-214-001-0000).
10. **Attendance Confirmation (September 7, 2023 Special Meeting)**
11. **Adjournment**

---

All applicants are advised to be present when the meeting is called to order. Agenda items are generally reviewed in the order shown on the agenda, however, the Plan Commission/Zoning Board of Appeals reserves the right to amend the agenda and consider items in a different order. The Commission may adjourn its meeting to another day prior to consideration of all agenda items. All persons interested in providing public testimony are encouraged to do so. If you wish to provide public testimony, please come forward to the podium and state your name for the record and address your comments and questions to the Chairperson.



## MINUTES

### MEETING OF VILLAGE OF FRANKFORT PLAN COMMISSION / ZONING BOARD OF APPEALS

July 27, 2023 –VILLAGE ADMINISTRATION BUILDING

432 W. NEBRASKA STREET

**Call to Order:** Chair Schaeffer called the meeting to order at 6:31 PM

**Commissioners Present:** Chair Nichole Schaeffer, Dan Knieriem, Paula Wallrich, Jessica Jakubowski, Will Markunas, David Hogan

**Commissioners Absent:** Brian James

**Staff Present:** Director of Community and Economic Development Mike Schwarz, Senior Planner Christopher Gruba, Planner Amanda Martinez, Director of Building Services Adam Nielsen

**Elected Officials Present:** None

#### A. Approval of the Minutes from July 13<sup>th</sup>, 2023

**Motion (#1):** To approve the minutes from July 13<sup>th</sup>, 2023, as presented.

Motion by: Jakubowski

Seconded by: Knieriem

Approved: (5-0-1) (Hogan abstained)

Chair Schaeffer swore in members of the public who wanted to provide testimony.

#### B. Public Hearing: 213 Nebraska Street – Plantz Residence (Ref #107)

Christopher Gruba presented the staff report.

Chair Schaeffer asked if the applicant wanted to approach the podium for public testimony.

Chair Schaeffer asked if any of the Plan Commissioners had comments or questions.

Commissioner Hogan asked at what stage was it determined that there needed to be demolition.

Gabe Garcia, the applicant/architect for the project, responded that during excavation there was deteriorated wood, so it was determined that the home needs to be rebuilt.



Commissioner Hogan asked staff at what point did the applicant identify the said information to the Village.

Christopher Gruba responded that on May 1<sup>st</sup>, staff noticed that only one wall was left standing, instead of leaving several rooms on the first and second floor preserved as per the formerly approved plans.

Commissioner Knieriem asked if there are any rendering showing the proposed house and garage together, for a side-by-side comparison.

Christopher Gruba responded that staff requested the rendering and did not receive it from the applicant.

The applicant responded the person who does their renderings is out of town.

There was discussion about flooding issues on the subject property, specifically around the garage area.

Commissioner Wallrich asked if there is a private storm system.

Christopher Gruba responded that there is an existing storm drain along Nebraska Street that could possibly be connected to.

The applicant stated that they moved the garage east toward the alley because the garage area was flooding the most.

Chair Schaeffer reaffirmed that there were previous discussions on connecting the downspouts to the sewer on Nebraska Street.

Commissioner Wallrich asked if there were previous discussions on pervious options.

The applicant responded they did improve impervious area compared to the former house.

Christopher Gruba noted that he thought that the former house that existed on the lot included an impervious lot coverage of 41%, while the proposed house would have a 41.9% impervious lot coverage.

Laura Plantz approached the podium and responded that the former house was rotting and now they are revisiting the approved material from the previous meeting to try and make it the same as the approved plans. She stated they can change anything that has made the house different from what was approved previously.

There was discussion about the plans showing different square footage and a potential decrease in size.

Christopher Gruba asked the applicant if there was a survey done midway through that may have given more accurate dimensions.

The applicant apologized for the confusion and stated that the first survey was inaccurate, and the second survey is more accurate, both surveys had been stamped by civil engineers.

Commissioner Markunas asked if this request is essentially a clean-up because it is more accurate information.

The applicant responded yes.

Commissioner Wallrich asked if there was a building permit issued for this project.

Adam Nielson approached the podium and responded there was a demolition permit issued. It was noted midway through that there was mold and wood rot, so the demolition project went further than what was approved for. The building permit is on hold until it can be released for issuance following the outcome of this application.

Chair Schaeffer asked if anyone in the public wanted to speak before closing the public hearing. No public comments were given.

**Motion (#2):** Close the public hearing.

Motion by: Jakubowski

Seconded by: Markunas

Approved: (6-0)

Chair Schaeffer requested to go through the variations one by one for Commissioners' comments and noted that most variations were approved in the previous meeting. The first variation to discuss was the front yard setback.

Commissioner Knieriem asked if the porch was added on when comparing the former house and the previously approved house.

The applicant responded yes.

Christopher Gruba stated that the front yard setback for the former house was measured from the bay windows. The former house had some stairs and a stoop, but this was not included in the former front yard setback calculation.

Commissioner Wallrich added that the bay window area should have been considered a wing wall.

Commissioner Knieriem asked why the applicant cannot meet the setback that the adjacent neighbors have.

The applicant responded that meeting the setback line that the neighbors have would result in having only a 4' deep porch.

Commissioner Knieriem asked if the applicant can shift the porch.

Commissioner Wallrich stated she is uncomfortable with the front yard setback variation and that there is an option to decrease the depth of the porch and make it wrap around to the other balcony doors which would meet the setback the neighbors have and increase deck area.

The applicant responded that if they changed the porch, it would increase the impervious surface and lot coverage.

Angela Jensen approached the podium and stated they had already tried the option that Commissioner Wallrich mentioned but it was not approved by the Village.

Christopher Gruba added that the very first iteration of the plans included a much larger front porch with an octagonal shaped extension that encroached into the west side yard setback, which would have required another variance. In order to avoid this additional variance and also help decrease the total lot coverage and impervious lot coverage, staff recommended that the octagonal portion be removed.

Angela Jensen asked why there is discussion on variations that have already been approved.

Commission Wallrich explained that a new construction home is a blank slate in which the home abides by the Village's regulations whereas a remodel takes into consideration existing conditions. The variations were discussed at a previous meeting that some of the commissioners were not present for.

The applicant explained he is putting the home exactly how it was, and that the tragedy was unforeseen. The clients want the porch to have distance from the alley and the Village requests space for turning radius in the alley.

Commissioner Jakubowski stated that if the porch gets rearranged, it will affect the sunlight received in the home's living area.

Commissioner Markunas mentioned he had been in the construction industry for 30 years and knows from experience that unseen situations happen when you are digging things up. The home was deteriorating and from what is being said, the home that was originally there is being put back in place.

Christopher Gruba reaffirmed only inches or feet are different from the first plans and that is most likely from the second set of plans having more accurate information.

Commissioner Markunas stated he has no problem with the inch difference. He sees this as correcting the unforeseen condition while rebuilding exact same home. Commissioners already had discussion on the variations in the previous meeting and in this meeting, it is just adapting what was previously approved to today's set of plans.

Commissioner Jakubowski agreed with Commissioner Markunas and stated that the applicant should have a dry basement and that it is unnecessary to rehash old approvals.

Chair Schaeffer agreed and stated that most downtown homes are non-conforming especially in terms of setbacks along Nebraska Street and Kansas Street.

Commissioner Wallrich stated she has no concerns with any of the other variations, but she is still concerned with the precedent that will be set by the front yard setback.

There was discussion about the correct square footage being proposed, the more accurate plans show 2,511 square feet.

Commissioner Knieriem mentioned he had visited the house once and noticed the pools of water by the garage. He recommended to connect the downspouts to public storm sewer.

Chair Shaeffer noted the Commissioners can condition the approval upon the downspouts being connected to Village storm sewer. Usually, sump pumps go to the person's yard.

Commissioner Wallrich asked what if the condition is set but the Village does not want them to connect to public storm sewer. There are projects like Abbey Wood Townhomes that implemented rain gardens.

Adam Nielsen approached the podium and stated that the Building Department anticipated that they will be tying into the storm sewer on Nebraska Street. the Village has seen this before where a house had connected its small catch basin to the storm sewer on Nebraska.

Commissioner Knieriem asked if the roof height of the garage has changed since the last set of plans.

Christopher Gruba responded no.

Chair Schaeffer added that there should be no accessory dwelling unit above the garage and that will need to be a condition as well.

**Motion (#3):** Recommend the Village Board approve the variation request to permit a front yard setback of 12 5 ¼" instead of 30', on the property located at 213 Nebraska Street, in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: Jakubowski

Seconded by: Hogan

Approved: (5-1, Wallrich voted no)

**Motion (#4):** Recommend the Village Board approve the variation request to permit non-masonry siding on the entire 1st floor of the building, instead of masonry, on the property located at 213 Nebraska Street, in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: Jakubowski

Seconded by: Markunas

Approved: (6-0)

**Motion (#5):** Recommend the Village Board approve the variation request to permit a 5' 7" rear yard setback for an accessory structure instead of 10', on the property located at 213 Nebraska Street, in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: Wallrich

Seconded by: Markunas

Approved: (6-0)

**Motion (#6):** Recommend the Village Board approve the variation request to permit a rear yard lot coverage of 32%, instead of 30%, on the property located at 213 Nebraska Street, in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: Jakubowski

Seconded by: Wallrich

Approved: (6-0)

**Motion (#7):** Recommend the Village Board approve the variation request to permit a lot coverage of 32.8%, instead of 20%, on the property located at 213 Nebraska Street, in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: Markunas

Seconded by: Wallrich

Approved: (6-0)

**Motion (#8):** Recommend the Village Board approve the variation request to permit an impervious lot coverage of 41.9%, instead of 40%, on the property located at 213 Nebraska Street, in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: Wallrich

Seconded by: Markunas

Approved: (6-0)

**Motion (#9):** Recommend the Village Board approve the variation request to permit a 20' 5 ½" tall accessory structure (detached garage), instead of 15', on the property located at 213 Nebraska Street, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned upon that the garage shall not be used as an accessory dwelling unit.

Motion by: Knieriem

Seconded by: Wallrich

Approved: (6-0)

**Motion (#10):** Recommend the Village Board approve the variation request to permit an undersized dwelling unit of 2,511 square feet, instead of 2,600 square feet, on the property located at 213 Nebraska Street, in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: Markunas

Seconded by: Jakubowski

Approved: (6-0)

**C. Public Hearing Continued from 5/11/23 and 6/22/23: 7654 W. Lincoln Highway - Circle K Redevelopment (Ref #108)**

Mike Schwarz noted that the applicant requested that this public hearing again be kept open and continued to the August 10, 2023 PC/ZBA meeting.

**Motion (#11):** Keep open and continue the public hearing to the August 10, 2023 PC/ZBA meeting.

Motion by: Jakubowski

Seconded by: Hogan

Approved: (6-0)

**D. Public Hearing: 18 and 20 Elwood Street – Move Pilates Studio (Ref#109)**

Amanda Martinez presented the staff report.

Chair Schaeffer asked if the applicant wanted to approach the podium for public testimony.

Ellen Foody, the applicant, approached the podium and introduced herself and explained why she is proposing her business at the subject location.

Commissioner Wallrich noted that suggested condition that there be a 15-minute scheduling span between classes is a great idea.

Commissioner Knieriem noted that the business is a great fit for the space.

Chair Schaeffer asked if anyone in the public wanted to provide input.

Kurt Nissen approached the podium and stated that he is a homeowner located at 49 Elwood Street and that he and his neighbors strongly oppose the business opening at 5:00 a.m. since there would be car headlights and noise.

Commissioner Wallrich asked if the applicant needs a variation for parking.

Amanda Martinez responded that the Zoning Ordinance mentions parking adjustments and that the adjustment can be discussed at this meeting by the Commissioners.

Commissioner Wallrich asked if this case puts the applicant into an adjustment or a variance situation.

Mike Schwarz responded typically uses have a specific parking calculation based on employee counts and square footage. For mixed use retail centers, the Zoning Ordinance assumes tenants are all operating at the same time, but realistically they won't be, so the Zoning Ordinance includes language about parking adjustments, which provides some flexibility for required parking counts if there is shared parking available. Additionally, there is language in the Zoning Ordinance that specifically recognizes that off-street parking in the downtown area is difficult for private developments.

Commissioner Markunas asked if there would be any loud music playing.

The applicant responded that typically music is playing in the background, but it never goes louder than her voice since she needs to instruct the class. The doors won't be propped open, and the music will not be blaring.

Commissioner Wallrich asked what the biggest class size would be.

The applicant responded they have only 8 machines now, but the space allows for 10, so 10 people in a class would be the biggest class size.

Chair Schaeffer asked if the motions were supposed to be separate or all at once.

Mike Schwarz recommended that there be separate motions for each Special Use request.

**Motion (#12):** Close the public hearing.

Motion by: Jakubowski

Seconded by: Hogan

Approved: (6-0)

**Motion (#13):** Recommend the Village Board approve a Special Use Permit for Indoor Recreation for a health/fitness facility in the H-1 Historic District, for the property located at 18-20 Elwood Street, Frankfort, IL 60423 (PIN: 19-09-21-410-035-0000), in

accordance with the submitted plans, public testimony, and Findings of Fact, subject to the following two (2) conditions:

1. The applicant shall obtain a Business License; and
2. The business shall implement a minimum 15-minute break in between classes to accommodate parking space turnover.

Motion by: Wallrich

Seconded by: Knieriem

Approved: (6-0)

**Motion (#14):** Recommend the Village Board approve a Special Use Permit for extended hours of operation (opening at 5:00 a.m.), for the property located at 18-20 Elwood Street, Frankfort, IL 60423 (PIN: 19-09-21-410-035-0000), in accordance with the submitted plans, public testimony, and Findings of Fact, subject to the following two (2) conditions:

1. The applicant shall obtain a Business License; and
2. The business shall implement a minimum 15-minute break in between classes to accommodate parking space turnover.

Motion by: Markunas

Seconded by: Hogan

Approved: (6-0)

**E. Public Hearing: 9975 W. Lincoln Highway Unit 3 – Veelii Spa (Ref#110)**

Amanda Martinez presented the staff report.

Chair Schaeffer asked if the applicant wanted to approach the podium for public testimony.

Jing Wang, the applicant, approached the podium and introduced herself, her business, and her request.

Commissioner Markunas asked if there are any other services provided besides massages.

The applicant responded no.

Commissioner Markunas asked staff if the business decided to expand, would they need to come back through the process.

Amanda Martinez responded yes.

Chair Schaeffer asked if there is enough space to add another massage room if the applicant wanted to.



The applicant responded that the one big room is going to be for the massages and the small space behind will be restricted to only employees.

**Motion (#15):** Close the public hearing.

Motion by: Jakubowski

Seconded by: Markunas

Approved: (6-0)

**Motion (#16):** Recommend the Village Board approve a Special Use Permit for a Massage Establishment to operate in the B-2 Community Business District for the property located at 9975 W. Lincoln Highway, Suite #3, Frankfort, Illinois 60423 (PIN 19-09-21-416-002-0000), in accordance with the submitted plans, public testimony, and Findings of Fact, subject to the following conditions:

1. The applicant shall comply with Zoning Ordinance Article 5, Section C, Part 11.1, Use Regulations for Massage Establishments.
2. The applicant shall obtain a Business License.

Motion by: Markunas

Seconded by: Hogan

Approved: (6-0)

#### **F. Public Comments**

There were no public comments.

#### **G. Village Board & Committee Updates**

Mike Schwarz noted that the Special Use Permit for outdoor seating for El Mezcal Restaurant located at 9645 Lincolnway Lane, Units 105-107 was approved by the Village Board at its meeting on July 24<sup>th</sup>.

#### **H. Other Business**

Mike Schwarz noted that the American Planning Association, Illinois Chapter, is having its annual conference in Naperville in September which typically consists of one of the three-days being devoted to in-depth Plan Commissioner training.

Chair Schaeffer asked when staff would need confirmation from Commissioners if they could attend in order to register for the conference as a group.

Mike Schwarz responded within the next couple of weeks should be fine.

#### **I. Attendance Confirmation (August 10<sup>th</sup>, 2023)**

Chair Schaeffer asked the members of the Plan Commission who will be present at the August 10<sup>th</sup> meeting.

Commissioners who were present responded that they will be present on August 10<sup>th</sup>, except for Dan Knieriem and David Hogan.

**Motion (#18):** Adjournment 8:01 P.M.

Motion by: Markunas

Seconded by: Jakubowski

The motion was unanimously approved by voice vote (6-0).

Approved August 24<sup>th</sup>, 2023

As Presented \_\_\_\_\_ As Amended \_\_\_\_\_

\_\_\_\_\_/s/ Nichie Schaeffer, Chair

\_\_\_\_\_/s/ Secretary

**Project:** Paluri Residence Sports Court  
**Meeting Type:** Workshop  
**Request:** Special Use for a Sports Court Exceeding 650 SF  
**Location:** 700 Iron Gate Court  
**Subdivision:** Iron Gate Estates  
**Applicant:** Kishore Paluri  
**Prop. Owner:** Applicant  
**Representative:** Applicant  
**Report by:** Amanda Martinez, Planner

### Site Details

**Lot Size:** 17,936 SF  
**PIN(s):** 19-09-21-121-013-0000  
**Existing Zoning:** R-2  
**Prop. Zoning:** N/A  
**Buildings / Lots:** 1 Building; 1 Lot  
**Adjacent Land Use Summary:**

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>North</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>South</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>East</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>West</b>	Single-family Residential (detention pond)	Single-Family Detached Residential	R-2

Figure 1. Location Map



### Project Summary

The applicant, Kishore Paluri, is requesting special use approval to permit the construction of a 1,253 square foot concrete sports court (pickleball court) in the interior (east) side yard of the property located at 700 Iron Gate Court. The Village of Frankfort Zoning Ordinance limits permitted by-right sports courts to a maximum size of 650 square feet and subjects any sports court larger than 650 square feet in size to special use approval. The subject parcel is a 17,936 square foot corner lot identified as Lot 1 in Iron Gate Estates Subdivision. The subject parcel is located at the northwest corner of Iron Gate Court and Colorado Avenue, the corner at the subdivision's entrance.

### Attachments

- 2022 Aerial Photograph from Will County GIS
- Plat of Survey received on 8.1.23
- Site Visit Photographs taken 8.11.23
- Sports Court Proposal on a Detailed Grading Plan, prepared by Martin M. Engineering, Inc., dated 7.18.23
- Landscaping Proposal on a Detailed Grading Plan, prepared by GC Designs received on 8.1.23
- HOA Approval Letter received on 8.14.23

## Analysis

---

In consideration of the request, staff offers the following points of discussion:

- The applicant is seeking to construct a singular 1,253 square foot concrete sports court (pickleball court) behind the home located at 700 Iron Gate Court within the Iron Gate Estates Subdivision.
- The Iron Gate Estates Subdivision consists of 9 residential lots. Of those 9 lots, only 3 have homes currently built on them. To the east of the subject parcel is Outlot 11, which is reserved for the subdivision's detention pond. There would not be a residence built on the said outlot.
- Article 5, Section C, Part 40 of the Village Ordinance regulates the construction of sports courts with the following specific use standards:
  - *One (1) sports court is permitted per lot.*
  - *Sports courts shall be located in the rear yard only.*
  - *Sports courts shall be set back at least 10' from any side or rear property line.*
  - *Total impervious coverage of the lot shall not exceed the limitations of the zoning district as defined in Article 6.*
  - *Screening: If the fencing provided is anything other than solid fencing, the sports court shall be effectively screened from view from outside the lot by densely planted compact trees or hedges, providing at least fifty percent opacity when viewed between two (2) feet and five (5) feet above the ground.*
  - *Sports courts shall not be illuminated.*
  - *No more than 1 goal, basketball or otherwise, are permitted per sports court.*
  - *No appurtenances shall exceed fifteen (15) feet in height.*
- Per the Village Ordinance's definition of a front lot line, the yard along Colorado avenue is considered the front yard and the yard along the west property line is considered the interior side yard, where the sports court is proposed. Practically, the applicant uses the west yard as his rear yard since his home faces east. Per Article 5, Section C, Part 40, sports courts are limited to the rear yard only. Based on a strict interpretation of this section, a variation would be necessary to allow the sports court within the interior side yard. However, staff believes that the intent of this section was to restrict sports courts to the rear of the home.
- The required 10-foot setbacks for sports courts mentioned in Article 5, Section C, Part 40 have been met in the submitted proposal.
- The maximum lot coverage permitted is 20% for the R-2 zoning district. Per the Village Ordinance's definition of lot coverage, sports courts do not count towards this calculation.
- The maximum impervious coverage permitted is 40% for the R-2 zoning district. The impervious coverage percentage for the property without including the sports court is 29.79% (5,343 square feet). When including the proposed sports court, the impervious coverage percentage for the property is increased to 39.98% (7,170 square feet), still meeting the bulk and density regulations for the R-2 Single-family District mentioned in Article 6.
- Per Article 5, Section C, Part 40, the illumination of sports courts is strictly prohibited. The applicant has stated that no lighting will be installed.
- Per Article 5, Section C, Part 40, appurtenances on the sports court are limited to 15 feet in height. The net for the pickleball court would be approximately 3 feet in height. The applicant also seeks to install a

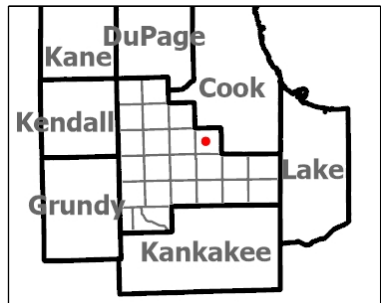
basketball hoop at one end on the court that would be approximately 12.5 feet in height. Both appurtenances comply with the 15-foot maximum.

- The applicant is proposing to construct retaining walls on north and west areas of the sports court that will have a concrete top to blend with the court and will be no more than 2.5 feet tall. The retaining walls occupy approximately 25 square feet of the sports court area.
- Staff notes that the Code states if plantings or fencing encroaches into the corner side yard or front yard, the maximum height shall be 4 feet (additionally, 50% of the square footage of the overall dimensions of the fence shall be open). In this case, the proposed plantings would encroach the 30-foot setback from Colorado Avenue in which the limitation of 4 feet in height would apply. The proposed fence is not proposed within the 30-foot setback from Colorado which allows the fence to be taller than 4 feet.
- Staff has identified fencing and planting options that could appropriately screen the proposed sports court from adjacent properties and public right-of-way. The applicant has agreed to screen the sports court area with one of the following options, subject to the preference of the Plan Commission/Zoning Board of Appeals:
  - 1) **A single row of evergreen planting material, (plantings along Colorado planted at 2 feet in height).** The submitted landscape plan shows 24 American Arborvitaes bordering the north and west perimeters of the sports court. The American Arborvitaes would be 6 feet tall and planted 2 feet apart. There would be 17 Densi Yews bordering the south perimeter of the sports court (along Colorado Avenue). The Densi Yews would be planted at 2 feet tall and 18 inches apart and would grow to 4 feet once matured. The submitted landscape plan would remain as shown.
  - 2) **A single row of evergreen planting material, (plantings along Colorado planted at 4 feet in height).** The north and west perimeters of the sports court are proposed with 24 American Arborvitaes that would be 6 feet tall and planted 2 feet apart. There would be 17 evergreens bordering the south perimeter of the sports court (along Colorado Avenue) and the evergreens would be planted at 4 feet tall and 18 inches apart. The landscape plan would be revised to change the Densi Yews height at the time of planting.
  - 3) **Staggering rows of plantings along Colorado planted at 2 feet in height.** The submitted landscape plan could be revised to provide evergreen planting material in staggered rows rather than in a straight singular row that borders the sports court. The applicant would propose American Arborvitaes and Densi Yews in a similar fashion to option #1, the only differences being the positioning and number of plantings.
  - 4) **Staggering rows of plantings along Colorado planted at 4 feet in height.** The submitted landscape plan could be revised to provide evergreen planting material in staggered rows rather than in a straight singular row that borders the sports court. The applicant would propose evergreens in a similar fashion to option #2, the only differences being the positioning and number of plantings.
  - 5) **A 5-foot-tall cedar wood privacy fence.** The fence is proposed to border the sports court's north, west, and south perimeter resulting in a 99-foot-long fence line. The proposed sports court has an exact 30-foot setback from Colorado Avenue, the same setback that would be needed for the fence to ensure it can be a privacy fence rather than a 4-foot open-style fence. That means that if the fence option is chosen, the applicant may have to reduce the size of the court by 1 foot to ensure the fence does not encroach into the front yard.
- The applicant received a Homeowner's Association approval letter for the sports court project (including approval for the sports court layout, fencing and planting options, and a sprinkler system) on 8.13.23. The approval letter is included in the attachments.





# 700 Iron Gate Court



## Legend

- Parcels
- Townships

## Notes

Date: 8/14/2023

1: 2,257



0 0.04 0.07 Miles

Projection

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

Disclaimer of Warranties and Accuracy of Data: Although the data developed by Will County for its maps, websites, and Geographic Information System has been produced and processed from sources believed to be reliable, no warranty, expressed or implied, is made regarding accuracy, adequacy, completeness, legality, reliability or usefulness of any information. This disclaimer applies to both isolated and aggregate uses of the information. The County and elected officials provide this information on an "as is" basis. All warranties of any kind, express or implied, including but not limited to the implied warranties of merchantability, fitness for a particular purpose, freedom from contamination by computer viruses or hackers and non-infringement of proprietary rights are disclaimed. Changes may be periodically made to the information herein; these changes may or may not be incorporated in any new version of the publication. If you have obtained information from any of the County web pages from a source other than the County pages, be aware that electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended that careful attention be paid to the contents of any data, and that the originator of the data or information be contacted with any questions regarding appropriate use. Please direct any questions or issues via email to [gis@willcountyillinois.com](mailto:gis@willcountyillinois.com).

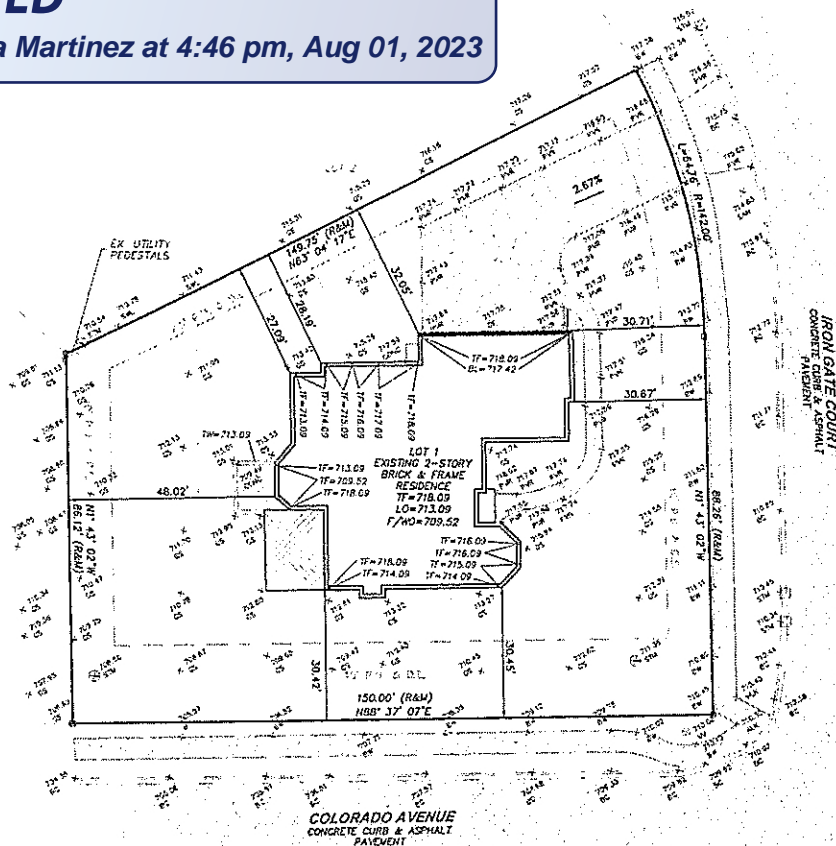


# PLAT OF SURVEY

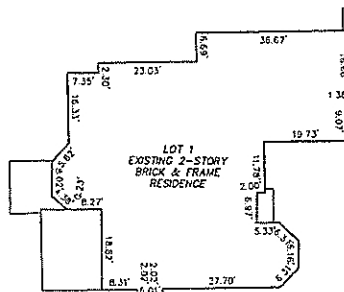
LOT 1 IN IRON GATE ESTATES, BEING A SUBDIVISION OF PART OF THE NORTH WEST 1/4 OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 5, 2017 AS DOCUMENT NO. R2017-069838, AND CERTIFICATE OF CORRECTION RECORDED SEPTEMBER 20, 2017 AS DOCUMENT NO. R2017-074869, IN WILL COUNTY, ILLINOIS.

**RECEIVED**

By Amanda Martinez at 4:46 pm, Aug 01, 2023



## BUILDING DIMENSIONS



## LEGEND

- FOUND IRON ROD
- FOUND IRON PIPE
- ✚ FOUND CROSS IN CONCRETE
- BOUNDARY LINE
- ADJACENT PROPERTY LINE
- - - ON-SITE STRUCTURE LINE
- - - OFF-SITE STRUCTURE LINE
- CENTER LINE
- RIGHT-OF-WAY LINE
- BUILDING SETBACK LINE
- EXISTING EASEMENT LINE
- SANITARY SEWER
- STORM SEWER
- CATCH BASIN
- OPEN LID MANHOLE
- CLOSED LID MANHOLE
- DRAIN
- STREET LIGHT
- WATER MAIN
- VALVE
- HYDRANT
- EXISTING UTILITY POLE
- EXISTING D-BOX
- EXISTING FENCE

## SURFACE LEGEND

- EXISTING BITUMINOUS PAVEMENT
- EXISTING PAVING
- EXISTING CONCRETE PAVEMENT
- EXISTING DECK/COVERED PORCH

## GRAPHIC SCALE



STATE OF ILLINOIS }  
COUNTY OF WILL }

I, BRIAN MALONE, CERTIFY THAT I HAVE SURVEYED THE PROPERTY DESCRIBED HEREON AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

MOKENA, ILLINOIS, NOVEMBER 29, 2022.

B. Malone  
LICENSE EXPIRES 11/30/24  
PROFESSIONAL LAND SURVEYOR NO. 035.003974

COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCES AT ONCE. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, CONTRACT, TITLE POLICY, ZONING ORDINANCE, ETC.



## BENCHMARK

"X" MARKED ON THE BACK OF CURB NEAR THE EXTENSION OF THE NORTH LINE OF LOT 1.  
ELEV. = 716.90

## PROPERTY ADDRESS

700 IRON GATE COURT  
FRANKFORT, IL

## ABBREVIATIONS:

- P.U.D.E. PUBLIC UTILITY & DRAINAGE EASEMENT
- B.S.L. BUILDING SETBACK LINE
- T.F. TOP OF FOUNDATION
- G.F. GARAGE FLOOR
- L.O. LOOK OUT
- W.O. WALK OUT
- W.W. WINDOW WELL
- D.S. DROP SIDING
- B.L. BRICK LEDGE
- S.P. SUMP PUMP

MARTIN M. Engineering, Inc.

SITE DESIGN CIVIL ENGINEERS & SURVEYORS

20123 OAKWOOD DRIVE

MOKENA, ILLINOIS 60448

VOICE: (708) 955-1323

FAX: (708) 955-1324

LICENSE NO. 184.005285-0010

ORDERED BY: MALLOW CONSTRUCTION GROUP  
SCALE: 1"=20' JOB NO. 21-174; FINAL GRADING SURVEY  
BASIS OF BEARINGS: APPROVED PLAT FOR IRON GATE ESTATES

## Site Photographs of 700 Iron Gate Court (taken 8.1.23)

Looking at the Rear/Corner Side Yard from Colorado Ave.:





Looking at the Front of the Home from Iron Gate Court:



Looking at the Front of the Home/Driveway from Iron Gate Court:





# DETAILED GRADING PLAN

LOT 1 IN IRON GATE ESTATES, BEING A SUBDIVISION OF PART OF THE NORTH WEST 1/4 OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 5, 2017 AS DOCUMENT NO. R2017-069838, AND CERTIFICATE OF CORRECTION RECORDED SEPTEMBER 20, 2017 AS DOCUMENT NO. R2017-074869, IN WILL COUNTY, ILLINOIS.

## NOTES:

### EROSION CONTROL

TO BE APPLIED PER THE ILLINOIS URBAN MANUAL, LATEST EDITION. SEDIMENT & EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES. THE SEDIMENT & EROSION CONTROL MEASURES SHALL BE PROPERLY MAINTAINED THROUGHOUT THE PROJECT & SHALL REMAIN IN PLACE UNTIL THE FINAL VEGETATED COVER HAS BEEN ESTABLISHED AND/OR PERMANENT EROSION CONTROL MEASURES HAVE BEEN INSTALLED. ANY SEDIMENT & EROSION CONTROL MEASURES THAT ARE REMOVED, AS A RESULT OF ANY CONSTRUCTION ACTIVITIES, MUST BE PROPERLY REINSTALLED PRIOR TO THE END OF EACH DAY.

CONSTRUCTION ACCESS SHALL BE LIMITED TO THE PROPOSED CONSTRUCTION ENTRANCE, AS IDENTIFIED ON THE APPROVED SITE/GRADING PLAN.

CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION TO DETERMINE IF ANY CONFLICTS EXIST. THE DESIGN ENGINEER MUST BE NOTIFIED PRIOR TO START OF CONSTRUCTION. COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCES AT ONCE. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, CONTRACT, TITLE POLICY, ZONING ORDINANCE, ETC

ANY DIRT, STONES, OR DEBRIS TRACKED ONTO PUBLIC SIDEWALKS OR STREETS SHALL BE REMOVED BY THE END OF EACH WORKDAY.

FOR UNDERGROUND UTILITY LOCATIONS AND PRIOR TO ANY CONSTRUCTION, CONTACT J.U.L.I.E., TOLL FREE 1-800-892-0123.

THE EXISTING UTILITY AND DRAINAGE EASEMENTS SHALL BE RESTORED TO THE EXISTING CONDITION ONCE THE CONSTRUCTION HAS BEEN COMPLETED. ANY DAMAGE TO THE ROAD, DRIVEWAY, CURB, PARKWAY, OR SIDEWALK SHALL BE RESTORED, AT THE PERMITTEE'S COST, IN A TIMELY MANNER.

EXISTING TOPOGRAPHY WAS PERFORMED DURING THE FINAL GRADING SURVEY PRIOR TO LANDSCAPING BEING PLACED ON 11/29/22.

### SITE BENCHMARK

"X" MARKED ON THE BACK OF CURB NEAR THE EXTENSION OF THE NORTH PROPERTY LINE  
ELEV.=716.90

BUILDER:  
GC DESIGNS

FINISHED GRADE=(SEE PLANS)

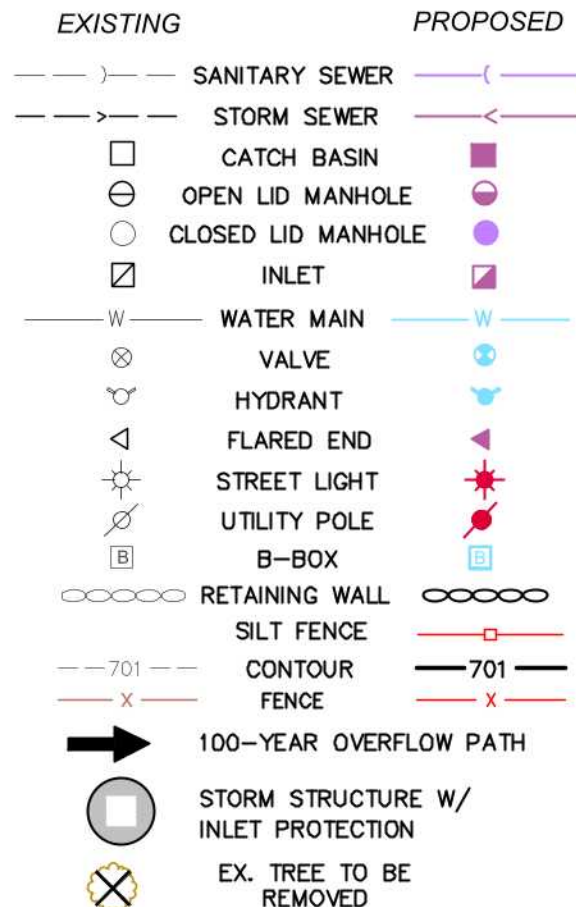
12"x12" NDS  
1200 SQUARE  
YARD INLET W/  
1200FF CATCH  
BASIN FILTER

NOTES:

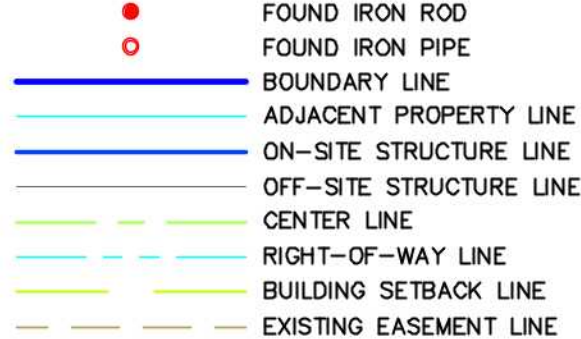
1. NDS YARD INLETS CAN BE OBTAINED AT HOME DEPOT & LOWES HARDWARE STORES. FOR ADDITIONAL INFORMATION ON ORDERING NDS SQUARE YARD INLETS AND ACCESSORIES, PLEASE REFER TO WWW.NDSPRO.COM

**PROPOSED YARD INLET**  
NOT TO SCALE

## LEGEND FOR OBJECTS

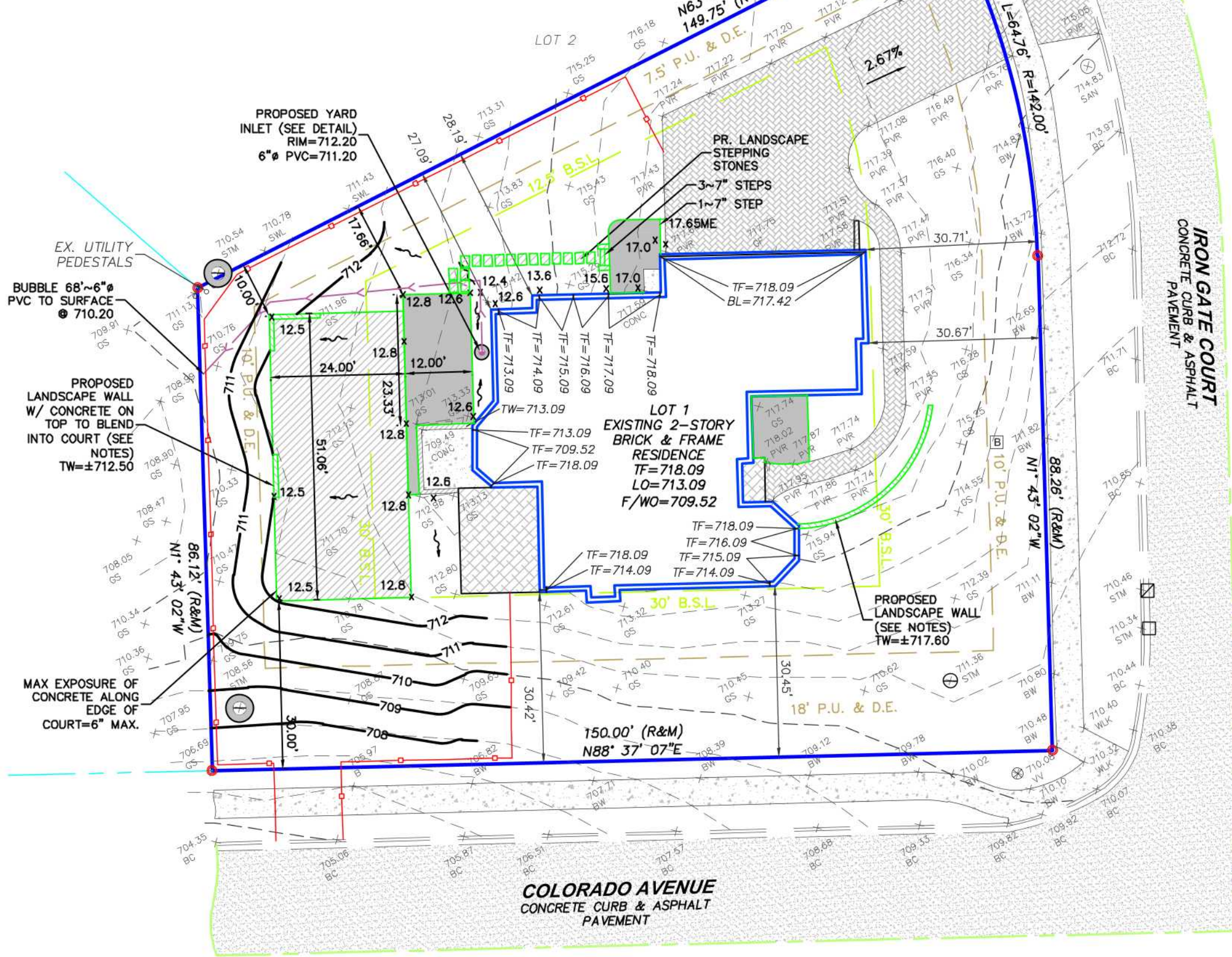


## LEGEND FOR SURVEY LINES



NOTE: THE PROPOSED LANDSCAPING WALLS SHALL HAVE A MAX HEIGHT=2.50'. THE WALLS HAVE BEEN SHOWN FOR GRADING PURPOSES ONLY & SHALL BE DESIGNED BY OTHERS. MARTIN M. ENGINEERING, INC. MAKES NO REPRESENTATION AS TO THE STRUCTURAL DESIGN OF THE PROPOSED RETAINING WALLS.

## PROPOSED PLAN





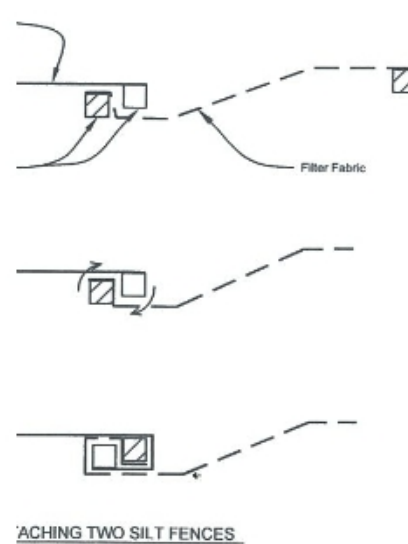
# DETAILED GRADING PLAN

LOT 1 IN IRON GATE ESTATES, BEING A SUBDIVISION OF PART OF THE NORTH WEST 1/4 OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 5, 2017 AS DOCUMENT NO. R2017-069838, AND CERTIFICATE OF CORRECTION RECORDED SEPTEMBER 20, 2017 AS DOCUMENT NO. R2017-074869, IN WILL COUNTY, ILLINOIS.

## END FOR OBJECTS

	PROPOSED
SANITARY SEWER	
STORM SEWER	
CATCH BASIN	
OPEN LID MANHOLE	
CLOSED LID MANHOLE	
INLET	
WATER MAIN	
VALVE	
HYDRANT	
FLARED END	
STREET LIGHT	
UTILITY POLE	
B-BOX	
RETAINING WALL	
SILT FENCE	
CONTOUR	
FENCE	
100-YEAR OVERFLOW PATH	
STORM STRUCTURE W/ INLET PROTECTION	
EX. TREE TO BE REMOVED	

## T FENCE PLAN



Inside the end post of the first fence.  
is in a clockwise direction to create a tight seal with the fabric material.  
as into the ground and bury the flap.



## T FENCE PLAN

Fastener - Min. No. 10 Gauge Wire  
4 Per Post Required. (Typ.)



## LEGEND FOR SURVEY LINES

	FOUND IRON ROD
	FOUND IRON PIPE
	BOUNDARY LINE
	ADJACENT PROPERTY LINE
	ON-SITE STRUCTURE LINE
	OFF-SITE STRUCTURE LINE
	CENTER LINE
	RIGHT-OF-WAY LINE
	BUILDING SETBACK LINE
	EXISTING EASEMENT LINE

NOTE: THE PROPOSED LANDSCAPING WALLS SHALL HAVE A MAX HEIGHT=2.50'. THE WALLS HAVE BEEN SHOWN FOR GRADING PURPOSES ONLY & SHALL BE DESIGNED BY OTHERS. MARTIN M. ENGINEERING, INC. MAKES NO REPRESENTATION AS TO THE STRUCTURAL DESIGN OF THE PROPOSED RETAINING WALLS.

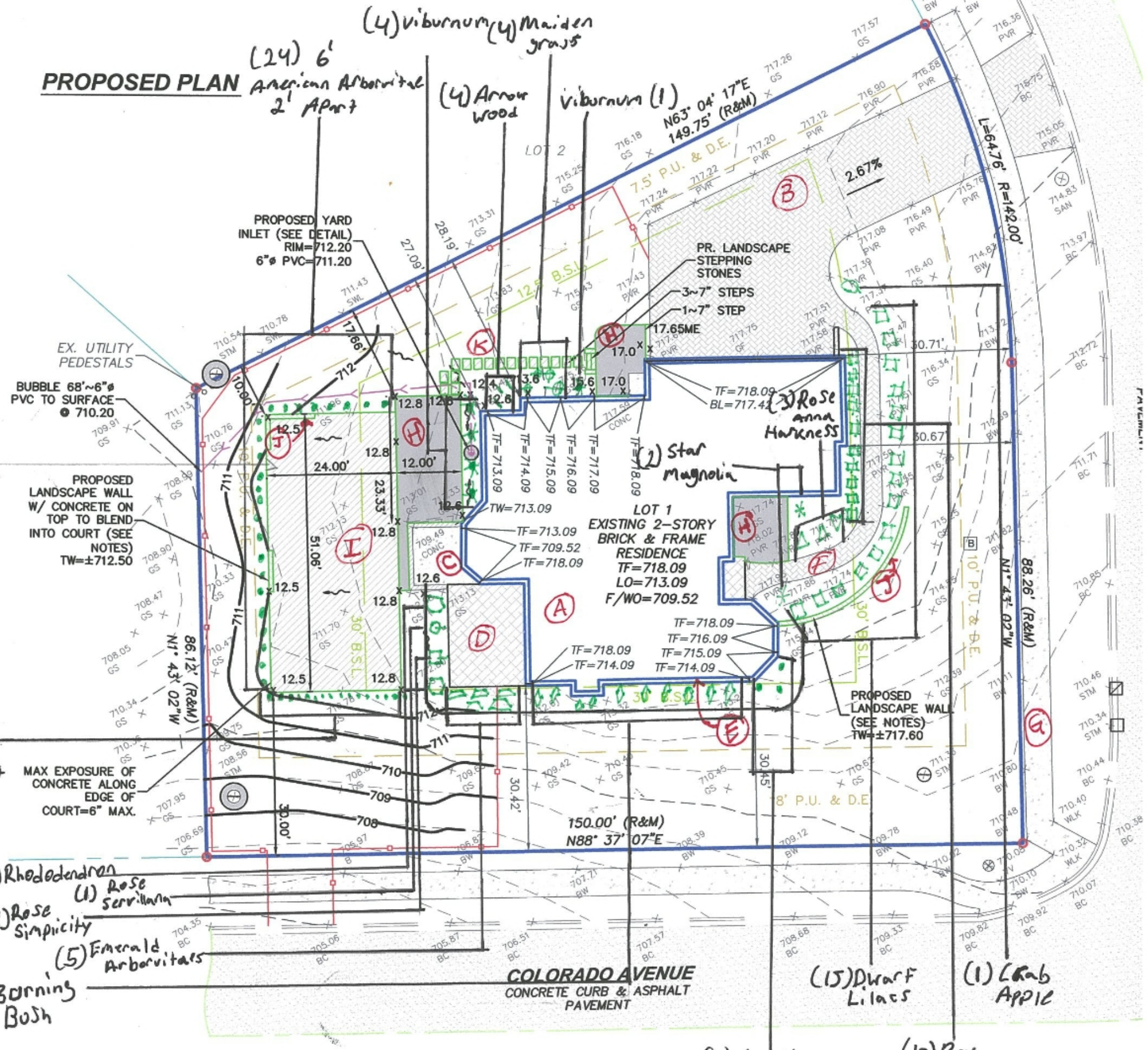
## PAVEMENT LEGEND

	PROPOSED PAVERS		EXISTING PAVERS
	EXISTING BITUMINOUS PAVEMENT		EXISTING CONCRETE
	PROPOSED CONCRETE		EXISTING DECK/COVERED PORCH

## LOT COVERAGE

LOT AREA	= 17,936 SF
PRIMARY BUILDING	= 3,059 SF
BUILDING COVERAGE	= 17.06%
EX. PAVER DRIVE	= 1,580 SF
EX. COVERED PORCH	= 30 SF
EX. COVERED PATIO	= 265 SF
EX. WALLS	= 28 SF
EX. PAVER WALKS	= 270 SF
EX. CONCRETE	= 112 SF
EX. COVERAGE	= 5,344 SF (29.79%)
PR. PAVERS	= 527 SF
PR. SPORT COURT	= 1,207 SF
PR. WALLS	= 47 SF
PR. CONCRETE STEPPERS	= 56 SF
TOTAL COVERAGE	= 7,181 SF (40%)

## PROPOSED PLAN





# IRON GATE ESTATES

Homeowners Association

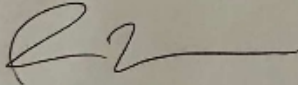
August 13, 2023

To whom this may concern,

Iron Gate Estates approves the landscaping plan for 700 Iron gate ct. including the following:

1. Pickle ball court as laid out by the landlord
2. Alternate fence around the pickle ball court, if needed in lieu of the plants and trees proposed by the landlord
3. Sprinkler system

Regards,

A handwritten signature in black ink, appearing to read 'Ron Varek', with a stylized flourish at the end.

Ron Varek

Iron Gate Estates HOA

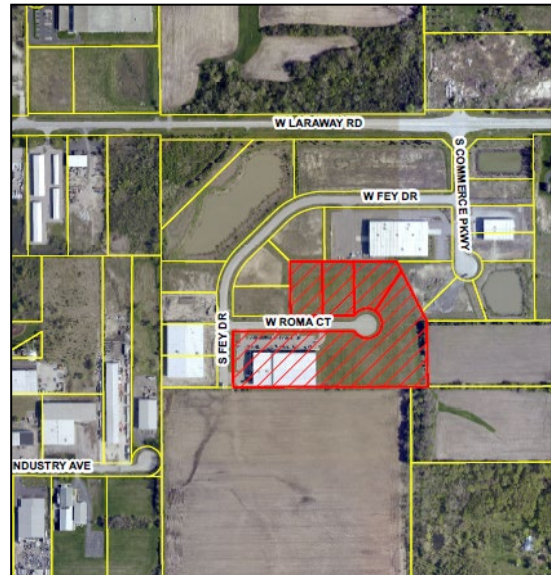
**Project:** Roma Sports – Building addition and outdoor sports fields  
**Meeting Type:** Workshop  
**Requests:** 4 Special Use Permits and 2 Variations  
**Location:** 9115 Roma Court  
**Applicant:** Steve Rotondi  
**Prop. Owner:** Xpress Holdings, LLC  
**Representative:** Steve Rotondi  
**Staff Reviewer:** Christopher Gruba, Senior Planner

### Site Details

**Lot Sizes:** 7.18 acres Lot 1, 1 acre each Lots 16-18  
**PIN(s):** 19-09-34-202-025-0000, 19-09-34-202-010-0000, 19-09-34-202-009-0000, 19-09-34-202-008-0000  
**Existing Zoning:** I-1 (all lots)  
**Proposed Zoning:** N/A  
**Future Land Use:** Business Park  
**Buildings:** 1  
**Total Sq. Ft.:** 50,140 SF existing, 70,940 SF proposed  
**Adjacent Land Use Summary:**

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Indoor Rec.	Business Park	I-1
<b>North</b>	Light Industrial/ Undeveloped	Business Park	I-1
<b>South</b>	Undeveloped	Business Park	A-1 (County)
<b>East</b>	Undeveloped	Business Park	A-1 (County)
<b>West</b>	Light Industrial	Business Park	I-2

Figure 1. Location Map



### Project Summary

The applicant is proposing to construct a 20,800 square foot building addition onto the existing Roma Sports building to provide more indoor recreation space. The existing parking lot would also be expanded from 78 spaces to 149 spaces. Although the original building received a Special Use Permit for indoor recreation, the expansion of the building will require a new Special Use Permit. Additionally, there is an existing soccer field straddling Lots 16-18 that had not received a Special Use Permit for outdoor recreation on properties greater than 1 acre. This soccer field is located on 3 separate lots of record, requiring 3 additional Special Use Permits. Lastly, the applicant is requesting two variations in conjunction with the proposed building addition and site improvements.

#### Requests Summarized:

1. Special Use Permit for indoor recreation (building addition on Lot 1)
2. Special Use Permit for outdoor recreation over 1 acre (soccer field on Lot 16)
3. Special Use Permit for outdoor recreation over 1 acre (soccer field on Lot 17)
4. Special Use Permit for outdoor recreation over 1 acre (soccer field on Lot 18)
5. Variation for 3 points of vehicle access to Roma Court, whereas 2 are permitted (Lot 1).
6. Variation for 15.2' front landscape setback, whereas 20' is required (Lot 1).

## Attachments

---

1. Aerial image (1:6,000 scale) – VOF GIS
2. Plat of Survey, dated May 4, 2023
3. Findings of Fact (Special Use Permit), applicant responses
4. Findings of Fact (Variation), applicant responses
5. Photographs of subject property
6. Photographs of other buildings within the East Point Park subdivision
7. Manufacturer specifications for building-mounted lights
8. PC/ZBA meeting minutes excerpt of September 11, 2014 (review of original building)
9. Board meeting minutes excerpt of September 15, 2014 (approval of original Special Use Permits and variation)
10. Original Subdivision Plat (formerly known as Harper Business Park, now East Point Park)
11. Engineering Plans, dated August 11, 2023
12. Truck Turning Plan (fire), dated July 25, 2023
13. Truck Turning Plan (delivery), dated July 25, 2023
14. Photometric Plan, dated August 11, 2023
15. Building Elevations, dated July 25, 2023
16. Floor Plan, dated July 25, 2023

## Analysis

---

### Zoning

The Roma Sports building and two soccer fields occupy Lot 1 of the Roma Resubdivision. One soccer field on the north side of Roma Court straddles Lots 16-18 of East Point Park. All of these lots are zoned I-1, Limited Industrial.

### Site Design

1. The proposed building addition on Lot 1 complies with the dimensional requirements for the I-1 zone district:

	Required	Proposed/Existing
<b>Minimum Lot Size</b>	1 acre	7.18 acres
<b>Minimum Lot Width</b>	100'	870' +/-
<b>Front Setback (north)</b>	50'	77.7'
<b>Corner Side Setback (west)</b>	20'	105' +/-
<b>Side Setback (east)</b>	20'	415' +/-
<b>Rear Setback (south)</b>	30'	30'
<b>Building Height (of addition)</b>	35'	34' 8"
<b>Lot Coverage</b>	No Max	22.7%
<b>Impervious Lot Coverage (Lot 1)</b>	80%	46%

2. The applicant is proposing a parking lot expansion in conjunction with the building addition. As proposed, the parking lot would have three (3) points of vehicular access to Roma Court. The Zoning Ordinance only permits two points of vehicular access, requiring a variation (page 130). The applicant has noted that the existing facility can become very congested during tournaments and that three points of access are necessary to provide adequate exiting of patrons. The Public Works Department has reviewed the proposed plans and does not object to three points of access on Roma Court.
3. It does not appear that the plans for the original building included a dumpster or dumpster enclosure. A "floating" dumpster was observed by staff during a site inspection this spring. Per §50.01 of the Municipal Code, dumpsters must be contained within an enclosure made of materials that match the

building. Although a detail of the proposed enclosure was not provided at the time of this report, the Geometric Plan notes that a new masonry (CMU) dumpster enclosure will be provided near the existing loading space. The enclosure would be between 5-6' tall and have an opaque wood gate. As proposed, the enclosure would comply with §50.01 of the Municipal Code.

4. No fences or retaining walls are proposed.
5. The Fire District has reviewed the proposed site plan and does not have any additional comments currently.
6. A 7' wide concrete pedestrian sidewalk is proposed along the north and east sides of the proposed building addition.

#### Floorplan

1. The 20,800 square foot building addition would provide area for 4 additional sports courts, each measuring 60'x30'. The addition would also include a 2,232 square foot storage room, with a mezzanine above it of the same size, also used for storage.
2. There will be no bleacher-type seating provided within the building addition, per the proposed floorplan.
3. There will be no indoor food concessions inside the new building addition.

#### Parking & Loading

1. Indoor recreation facilities require *"1 parking space for every 4 patrons based upon the maximum occupancy of the facility, plus 1 parking space for each employee during the largest working shift"*. The Geometric Plan (Sheet C-2) notes that the entire building after the addition would provide a maximum occupancy of 495 patrons. The applicant also noted that there may be up to 3 employees during the largest working shift. As such, the indoor recreation use would require a total of 127 parking spaces.
2. Outdoor recreation facilities require *"1 parking space for every 10,000 square feet of gross land area"*. After the proposed building addition and parking lot expansion, three soccer fields of different sizes would remain on Lot 1 and Lots 16-18. The combined area of the three soccer fields is 98,237 square feet, requiring 10 parking spaces.
3. With both indoor and outdoor uses combined, a total of 137 parking spaces would be required per Code (127 + 10). The site plan illustrates a total of 149 parking spaces, including 9 ADA-accessible spaces, meeting this requirement.
4. The Zoning Ordinance requires a minimum drive aisle width of 19' when serving two rows of 60° angle parking. The drive aisle within the parking lot is 23.5' wide, meeting this requirement. The existing drive aisle in front of the existing building is also 23.5' wide.
5. The Zoning Ordinance requires at least 1 loading space, measuring 12' x 50'. The original approved plans for Roma Sports included one 14'x61' loading area near the southwest corner of the building. This loading area is currently blocked by several new parking stalls that were painted after the building was built. Staff has requested that these parking spaces be removed in order to provide access to the loading space in perpetuity. The Geometric Plan (Sheet C-2) notes that these parking spaces will be removed to provide access to the loading space.



6. Concrete curbs are required for all paved areas and have been provided.

#### Architectural Style and Building Materials

1. The Zoning Ordinance lists regulations for new construction within the I-1 zone district:
  - a) *Exterior walls shall be of face brick, architectural steel and aluminum, stone, glass, exposed aggregate panels, textured or architecturally finished concrete, steel, or wood. Equivalent or better materials, or any combination of the above, may be used in a well-conceived or creative application.*
  - b) *Common brick and concrete block are prohibited as exterior building materials.*
  - c) *Split face block is only permitted on front and side facades where architectural features (such as columns, horizontal bands, etc.) are incorporated into said façades.*
  - d) *Corrugated metal or pre-engineered metals installed with exposed fasteners are only permitted on front facades if 50% of said front façade is masonry, and are only permitted on side facades where architectural features (such as columns, horizontal bands, etc.) are incorporated into said side façades.*
2. The proposed building addition is intended to exactly match the existing building in terms of architecture and materials, with the exception that the addition will not be as tall as the existing portion.
3. The building addition would have two new rooftop mechanical units, measuring approximately 15'x20'. The proposed gabled roof does not have any parapets and as such, these new units would be screened behind metal screenwalls as tall as the units. The screenwalls would be made of the same metal material as the building and painted to match. No ground-mounted mechanical units are proposed.
4. There are three (3) other existing buildings in the East Point Park subdivision, with a fourth in the process of being constructed. The HB Fuller building to the north is primarily constructed of split face CMU block and corrugated metal. The other buildings for Architectural Grilles & Sunshades, Inc. and Southwest Town Mechanical (HVAC) include construction materials such as split face CMU block, corrugated metal, brick and decorative window louvers. Photographs of these buildings have been included with the staff report.

#### Stormwater & Drainage

1. Robinson Engineering has performed a cursory review and has indicated that the subdivision has been pre-engineered for drainage. There are existing storm sewers that collect water from all sides of Lot 1 and direct it to existing detention ponds within the subdivision. Further engineering review will be required prior to a future public hearing.
2. There are no wetlands or floodplains on the subject property.

#### Landscaping

The proposed Landscape Plan complies with all the requirements listed in the Landscape Ordinance, including for street trees and parking lot landscaping. However, the Zoning Ordinance requires a 20' wide landscape setback along the front property line along Roma Court (page 127). The existing parking lot is set back 15.2' from the front property line and is considered existing, non-conforming. It's unclear how a deficient landscape setback was

originally permitted for Lot 1, as no variation records were located by staff, nor was the property developed as a PUD. Regardless, the expansion of the parking lot along Roma Court, set back 15.2' from the front property line, will require a variation.

#### Lighting

A photometric plan has been provided by the applicant. The site will be illuminated with 2 new light poles and 7 new building-mounted wall pack lights. The proposed lighting complies with the requirements listed in the Zoning Ordinance.

### ***Special Use Request***

---

The following findings of fact are used to judge the merit of a special use permit request. The applicant has provided responses to these findings of fact in a separate attachment.

#### **Findings of Fact:**

No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

### ***Variation Requests***

---

The following findings of fact are used to judge the merit of a variation request. The applicant has provided responses to these findings of fact in a separate attachment.

#### **Findings of Fact:**

No variation shall be recommended by the Plan Commission, unless such Commission shall find that all three of the following criteria are met:

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
2. That the plight of the owner is due to unique circumstances; and
3. That the variation, if granted, will not alter the essential character of the locality.

In addition to the above 3 required criteria, the Plan Commission shall also take into consideration the following 7 criteria:

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;
7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

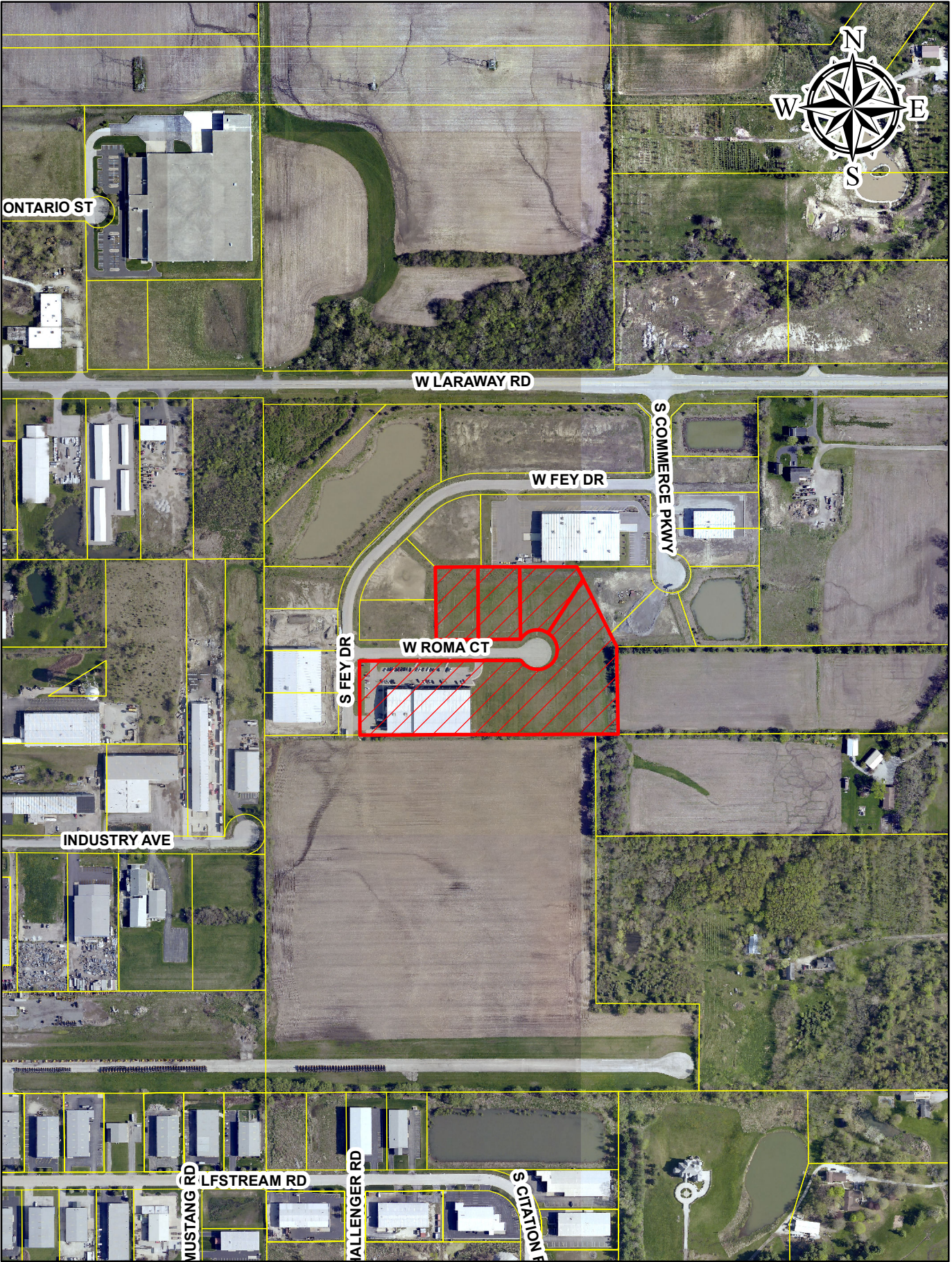
***Affirmative Motions (for future public hearing only)*** \_\_\_\_\_

1. Recommend to the Village Board to approve the Special Use Permit for indoor recreation on Lot 1 of the Roma Sports Resubdivision, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
2. Recommend to the Village Board to approve the Special Use Permit for outdoor recreation greater than 1 acre on Lot 16 of the East Point Subdivision, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
3. Recommend to the Village Board to approve the Special Use Permit for outdoor recreation greater than 1 acre on Lot 17 of the East Point Subdivision, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
4. Recommend to the Village Board to approve the Special Use Permit for outdoor recreation greater than 1 acre on Lot 18 of the East Point Subdivision, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
5. Recommend to the Village Board to approve the Variation to permit at 15.2' front landscape setback whereas 20' is required per Article 6, Section C, Part 1, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

6. Recommend to the Village Board to approve the Variation to permit three points of vehicular access to Roma Court, whereas a maximum of two are permitted per Article 6, Section C, Part 2 (n)(3), in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.



9115 Roma Court - Building Addition & Outdoor Recreation







Application for Plan Commission / Zoning Board of Appeals Review  
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
  
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
  
3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
  
4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.



Application for Plan Commission / Zoning Board of Appeals Review  
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

The variances being requested for this site pertain to decreasing a landscape setback to 15.2' as well as the request for 3 points of access to Roma Court. Both of these variances allow for better traffic circulation (as it relates to patrons) through the parking lot for the existing and new building addition.

2. That the plight of the owner is due to unique circumstances; and

Existing surrounding conditions are being met, and traffic patterns throughout the existing site have been looked at to determine the safest and most appropriate circulation for patrons.

3. That the variation, if granted, will not alter the essential character of the locality.

The variation is for a slight decrease in a landscaped area as well as for an increase in the number of access points allowed. These variations do not affect the character of the locality and instead enhance what is already existing.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

Existing surrounding conditions are being met, and traffic patterns throughout the existing site have been looked at to determine the safest and most appropriate circulation for patrons. Following the strict letter of the regulations would result in fewer available parking spaces as well as fewer points of entry/exit, which could cause congestion and potential for unsafe conditions out in front of the existing and proposed buildings.



2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

The conditions upon which the petitions for variation are based are specific to the use of the existing and proposed buildings in this development.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

The purpose of the variations being requested are based on providing better traffic circulation throughout the site, which relates to safety more than anything else.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

The landscape setback that is being requested is in order to match what was previously approved by the Village such that the new and existing parking areas will line up. The request for an additional point of access relates to the creation of an additional parking lot east of the new building addition.

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

The granting of the variation will not be detrimental to the public welfare, but instead will be beneficial to patrons by providing safe traffic circulation throughout the site.

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

The variances being requested do not affect the exterior architectural appeal and functional plan in any way.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

The proposed variations only affect the parking areas of the site, therefore, none of the items mentioned above will be impaired in any way. The variances are being requested in order to stay in line with, as well as improve the existing conditions at the site and the surrounding industrial park.









ADJACENT BUILDING, HB FULLER - 9001 W. FEY (LOTS 9-12)



ADJACENT BUILDING, HB FULLER - 9001 W. FEY (LOTS 9-12)





SOUTHWEST TOWN MECHANICAL - 22349 S. COMMERCE PARKWAY (LOTS 4 & 5)



ARCHITECTURAL GRILLES & SHADES, 22442 W. FEY (LOTS 26-38)







# LEDMPALPRO200-300 200-300 Watt, Premium Multi-Purpose LED Area Luminaire



Project:	
Type:	
Catalog #:	

## STANDARD



## FEATURES

- Available in 4000k (neutral white) and 5000k (cool white) color temperatures.\*
- Long-life LEDs provide up to 372,000 hours of operation with at least 70% of initial lumen output (L<sub>70</sub>).\*\*
- Available models provide from 26,203 to 46,268 lumens, and from 117 to 153 lumens per watt (LPW).
- IES roadway photometric distributions include types III & V.
- Available in 120-277V or 347-480V (50-60Hz).
- 0-10vdc dimming capability is standard.
- Power factor > 0.90.
- Total harmonic distortion < 20%.
- Color rendering index > 80.
- Optional glare shields (full & half) & wire guards are available.
- Optional factory NEMA photocell receptacle installation.
- Die cast aluminum housing with durable, dark bronze powder coat finish.
- Driver enclosure is sealed with a water-tight, silicon rubber gasket.
- Easy installation in new construction or retrofit applications.

\* Contact factory for other color temperatures and lumen packages.  
 \*\* L70 hours are IES TM-21-11 calculated hours.



## WARRANTY & LISTINGS

- cULus listed for wet locations in ambient temperatures from -20°C to 45°C (-4°F to 113°F).
- IP66 rated for ingress protection.
- DLC premium approved.
- Flicker-free per IEEE1789-2015 (no observable adverse effects of flicker at 100% light output level).
- Rated for 3G vibration.
- Lens is IK 9 rated for protection from external impacts.
- Salt fog tested for 1,000 hours (ASTM B117). After salt fog testing, paint rated at 9 per ASTM D1654-05 scratch test.
- Complies with FCC Part 15, class B.
- Complies with EN61000-4-5, surge immunity protection (6kV).
- 5-year warranty of all electronics and housing.

Note: 120-277V models also available in roadway types 2 & 4 as well as NEMA flood 3H3V, 4H4V, 5H5V, & 7H7V. Consult factory for details.

Note: 347-480V models are also available in the distributions listed above but are not DLC qualified.

## ORDERING INFORMATION

Example: LEDMPALPRO200-4K-T3-UNC-P

Model	Color Temperature	Distribution	Voltage	Photocell Receptacle <sup>1</sup>	Mounting Options (Order 1 Separately)
LEDMPALPRO200	4K 4000k	T3 Type III	UNC 347-480V	P NEMA photocell receptacle	LEDMPALPRO-YK-L Yoke Bracket, 200-300W
LEDMPALPRO240	5K 5000k	T5 Type V	Blank 120-277V	Blank No receptacle	LEDMPALPRO-TR Trunnion Bracket, 80-300W
LEDMPALPRO280					LEDMPALPRO-ARM Arm Bracket, 80-300W
LEDMPALPRO300					LEDMPALPRO-SF Slip-Fitter Bracket, 80-300W
					JL-205C23-IP65 NEMA Photocell

<sup>1</sup> Ships with shorting cap.

# LEDMPALPRO200-300 200-300 Watt, Premium Multi-Purpose LED Area Luminaire



## ELECTRICAL DATA

Model	Color Temp.	CRI <sup>1</sup>	Luminaire Lumens	Luminaire Watts	Lumens Per Watt	Input Voltage <sup>2</sup>	Input Current (A)			Power Factor	THD <sup>3</sup>	L <sub>70</sub> Hours <sup>4</sup>
							120V	240V 200V	277V 480V			
LEDMPALPRO200-4K-T3	4000k	> 80	26,924	205	132	120-277	1.71	0.85	0.74	> 90%	< 20%	131,000
LEDMPALPRO200-5K-T3	5000k	> 80	27,429	204	135	120-277	1.70	0.85	0.74	> 90%	< 20%	131,000
LEDMPALPRO200-4K-T5	4000k	> 80	26,442	205	129	120-277	1.71	0.85	0.74	> 90%	< 20%	131,000
LEDMPALPRO200-5K-T5	5000k	> 80	27,071	205	132	120-277	1.71	0.85	0.74	> 90%	< 20%	131,000
LEDMPALPRO240-4K-T3	4000k	> 80	29,589	240	124	120-277	2.00	1.00	0.87	> 90%	< 20%	372,000
LEDMPALPRO240-5K-T3	5000k	> 80	29,926	240	125	120-277	2.00	1.00	0.87	> 90%	< 20%	372,000
LEDMPALPRO240-4K-T5	4000k	> 80	27,944	231	121	120-277	1.93	0.96	0.83	> 90%	< 20%	372,000
LEDMPALPRO240-5K-T5	5000k	> 80	28,410	231	123	120-277	1.93	0.96	0.83	> 90%	< 20%	372,000
LEDMPALPRO280-4K-T3	4000k	> 80	34,424	279	123	120-277	2.32	1.16	1.01	> 90%	< 20%	372,000
LEDMPALPRO280-5K-T3	5000k	> 80	34,907	279	125	120-277	2.32	1.16	1.01	> 90%	< 20%	372,000
LEDMPALPRO280-4K-T5	4000k	> 80	32,546	278	117	120-277	2.32	1.16	1.00	> 90%	< 20%	372,000
LEDMPALPRO280-5K-T5	5000k	> 80	32,956	278	119	120-277	2.32	1.16	1.00	> 90%	< 20%	372,000
LEDMPALPRO300-4K-T3	4000k	> 80	44,615	305	146	120-277	2.54	1.27	1.10	> 90%	< 20%	175,000
LEDMPALPRO300-5K-T3	5000k	> 80	45,555	305	149	120-277	2.54	1.27	1.10	> 90%	< 20%	175,000
LEDMPALPRO300-4K-T5	4000k	> 80	43,141	305	141	120-277	2.54	1.27	1.10	> 90%	< 20%	173,000
LEDMPALPRO300-5K-T5	5000k	> 80	44,098	305	144	120-277	2.54	1.27	1.10	> 90%	< 20%	173,000
LEDMPALPRO200-4K-T3-UNC	4000k	> 80	26,445	194	136	347-480	N/A	0.56	0.40	> 90%	< 20%	131,000
LEDMPALPRO200-5K-T3-UNC	5000k	> 80	27,065	194	139	347-480	N/A	0.56	0.40	> 90%	< 20%	131,000
LEDMPALPRO200-4K-T5-UNC	4000k	> 80	26,203	195	134	347-480	N/A	0.56	0.41	> 90%	< 20%	131,000
LEDMPALPRO200-5K-T5-UNC	5000k	> 80	26,801	195	137	347-480	N/A	0.56	0.41	> 90%	< 20%	131,000
LEDMPALPRO240-4K-T3-UNC	4000k	> 80	32,022	242	132	347-480	N/A	0.70	0.50	> 90%	< 20%	131,000
LEDMPALPRO240-5K-T3-UNC	5000k	> 80	32,770	242	135	347-480	N/A	0.70	0.50	> 90%	< 20%	131,000
LEDMPALPRO240-4K-T5-UNC	4000k	> 80	31,268	241	130	347-480	N/A	0.69	0.50	> 90%	< 20%	131,000
LEDMPALPRO240-5K-T5-UNC	5000k	> 80	31,989	241	133	347-480	N/A	0.69	0.50	> 90%	< 20%	131,000
LEDMPALPRO280-4K-T3-UNC	4000k	> 80	36,233	283	128	347-480	N/A	0.82	0.59	> 90%	< 20%	131,000
LEDMPALPRO280-5K-T3-UNC	5000k	> 80	37,054	282	131	347-480	N/A	0.81	0.59	> 90%	< 20%	131,000
LEDMPALPRO280-4K-T5-UNC	4000k	> 80	36,417	285	128	347-480	N/A	0.82	0.59	> 90%	< 20%	131,000
LEDMPALPRO280-5K-T5-UNC	5000k	> 80	37,304	285	131	347-480	N/A	0.82	0.59	> 90%	< 20%	131,000
LEDMPALPRO300-4K-T3-UNC	4000k	> 80	45,356	303	150	347-480	N/A	0.87	0.63	> 90%	< 20%	176,000
LEDMPALPRO300-5K-T3-UNC	5000k	> 80	46,268	303	153	347-480	N/A	0.87	0.63	> 90%	< 20%	176,000
LEDMPALPRO300-4K-T5-UNC	4000k	> 80	44,191	302	146	347-480	N/A	0.87	0.63	> 90%	< 20%	177,000
LEDMPALPRO300-5K-T5-UNC	5000k	> 80	45,122	302	150	347-480	N/A	0.87	0.63	> 90%	< 20%	177,000

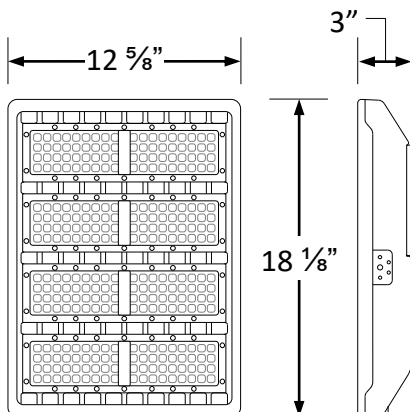
<sup>1</sup> Color rendering index.

<sup>2</sup> All 50-60Hz.

<sup>3</sup> Total harmonic distortion.

<sup>4</sup> L<sub>70</sub> refers to the number of hours at which lumen output declines to 70% of the initial level. L<sub>70</sub> hours are IES TM-21-11 calculated hours.

## DIMENSIONS



## EFFECTIVE PROJECTED AREAS (EPA's)

200W, 240W, 280W, 300W

Front = 0.32 square feet  
Side = 0.45 square feet  
Face = 1.91 square feet

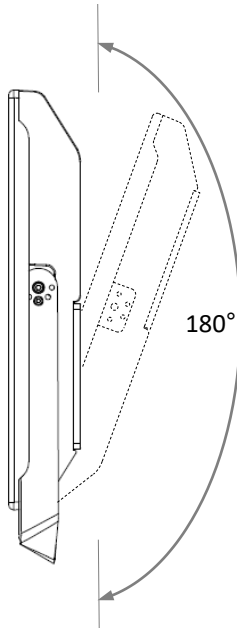
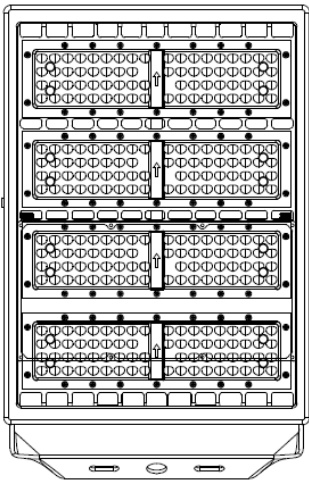
Model	Voltage	Weight
200W	120-277V	13.9 lbs.
240W	120-277V	14.3 lbs.
280W	120-277V	16.1 lbs.
300W	120-277V	16.1 lbs.
200W	347-480V	15 lbs.
240W	347-480V	15 lbs.
280W	347-480V	16.1 lbs.
300W	347-480V	16.3 lbs.



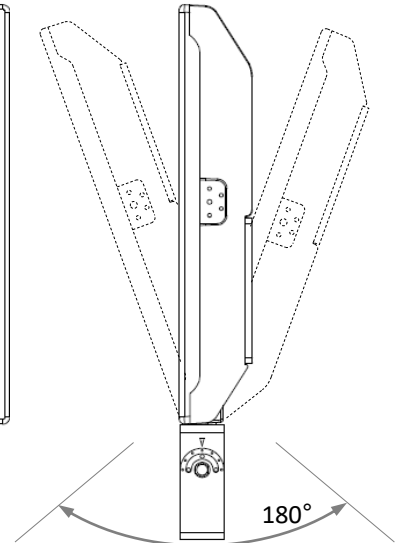
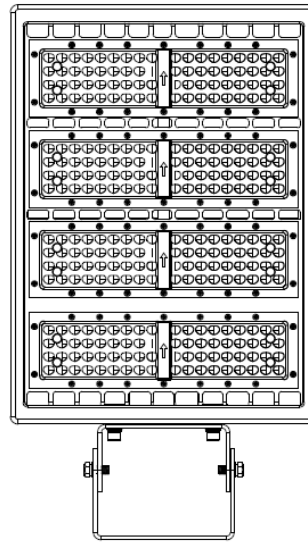
# LEDMPALPRO200-300 200-300 Watt, Premium Multi-Purpose LED Area Luminaire

**BEST**  
LIGHTING PRODUCTS

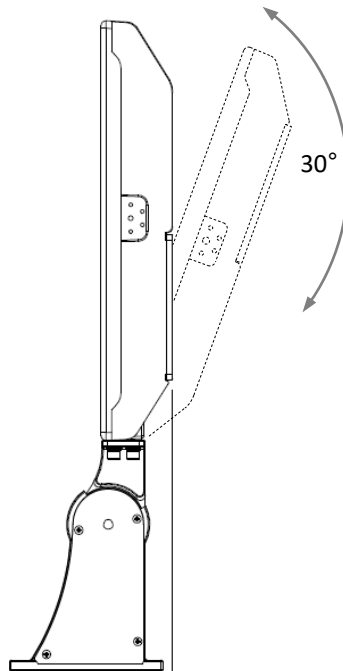
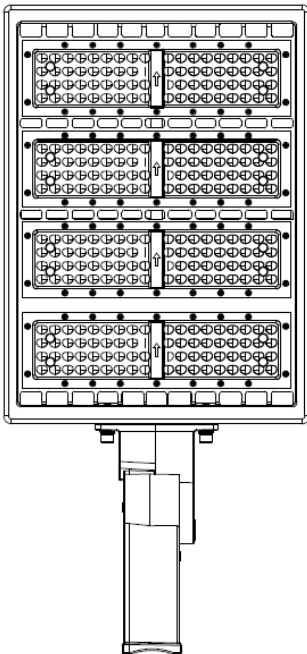
## MOUNTING ACCESSORIES



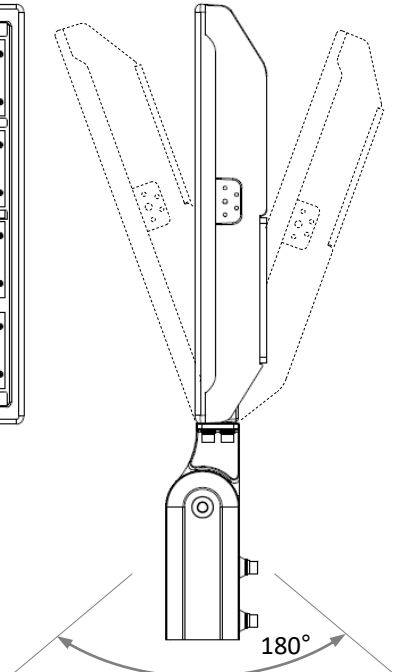
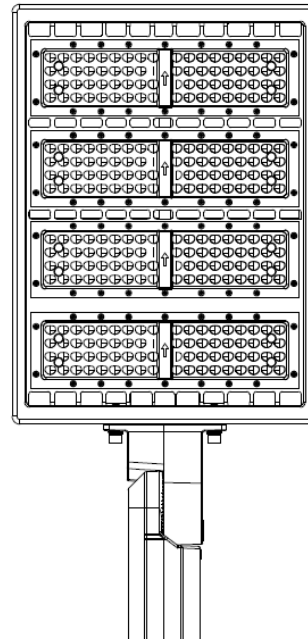
**Yoke Mount**  
LEDMPALPRO-YK-L



**Trunnion Mount**  
LEDMPALPRO-TR



**Adjustable Arm Mount**  
LEDMPALPRO-ARM



**Slip-Fitter Mount**  
LEDMPALPRO-SF

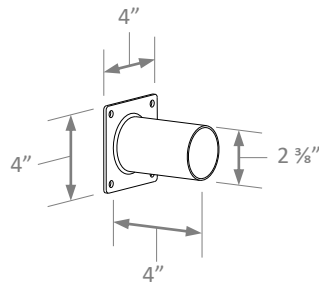
# LEDMPALPRO200-300 200-300 Watt, Premium Multi-Purpose LED Area Luminaire



## MOUNTING ACCESSORIES

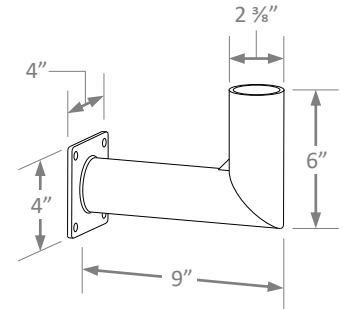
### Wall Mount Bracket

LEDMPALPRO-WMB



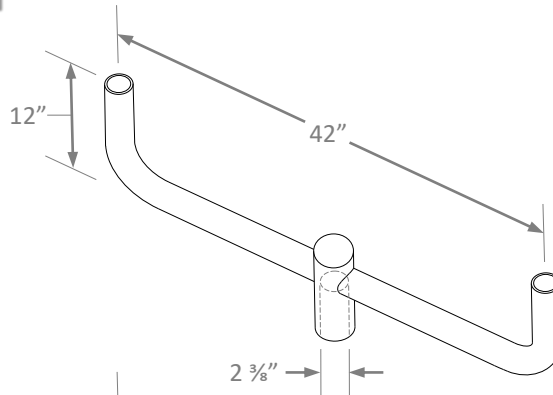
### Wall Mount Bracket, 90°

LEDMPALPRO-WMB90



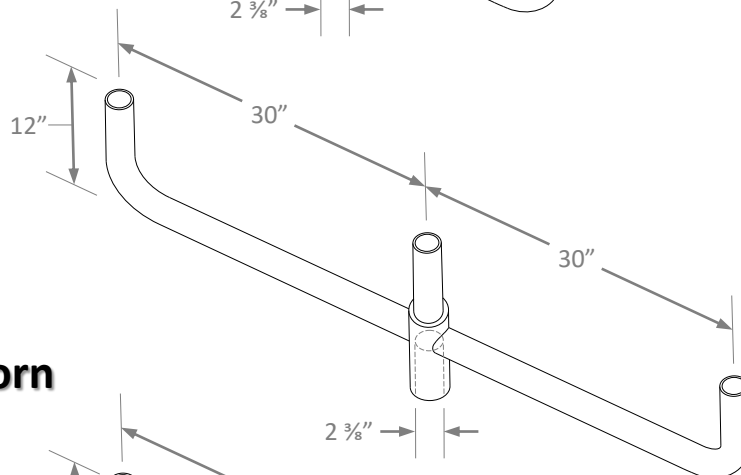
### Double 180° Bullhorn Mounting Bracket

LEDMPALPRO-D180BH



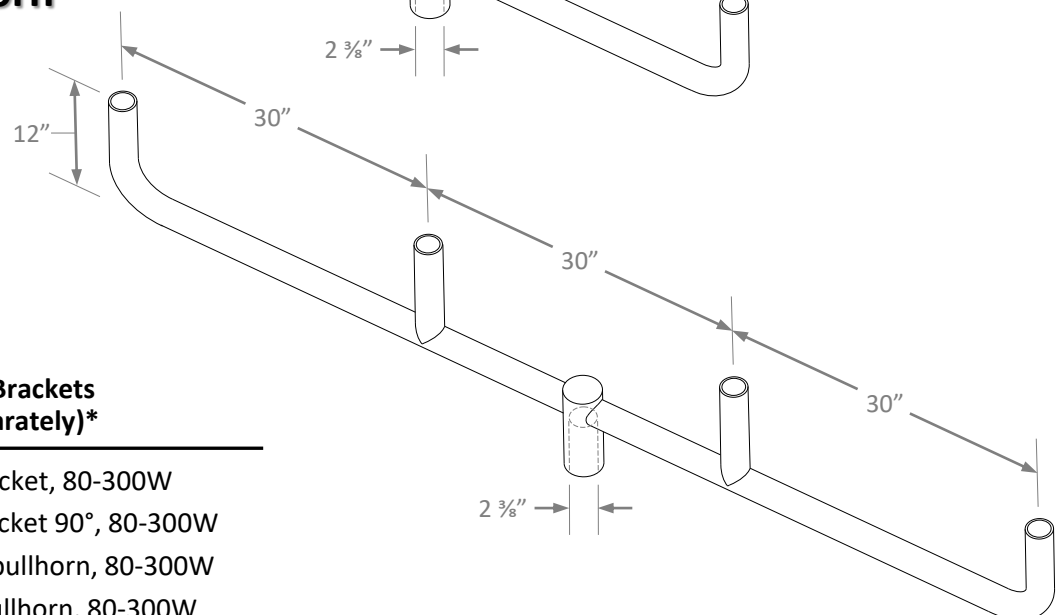
### Triple 180° Bullhorn Mounting Bracket

LEDMPALPRO-T180BH



### Quadruple 180° Bullhorn Mounting Bracket

LEDMPALPRO-Q180BH



#### Mounting Brackets (Order Separately)\*

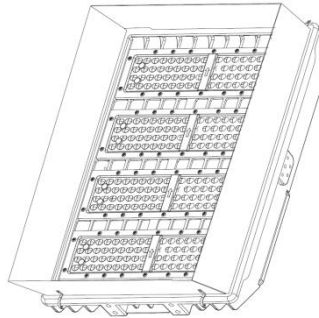
LEDMPALPRO-WMB	Wall Bracket, 80-300W
LEDMPALPRO-WMB90	Wall bracket 90°, 80-300W
LEDMPALPRO-D180BH	Double bullhorn, 80-300W
LEDMPALPRO-T180BH	Triple bullhorn, 80-300W
LEDMPALPRO-Q180BH	Quadruple bullhorn, 80-300W

\*Bullhorns require  
slip-fitter mount

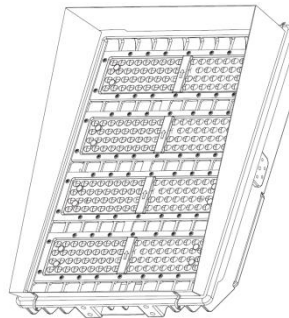
# LEDMPALPRO200-300 200-300 Watt, Premium Multi-Purpose LED Area Luminaire



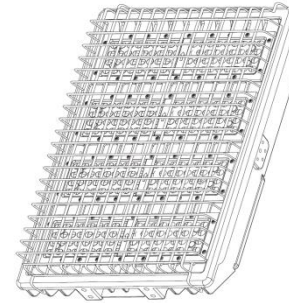
## SHIELDS, WIRE GUARDS & NEMA PHOTOCELL INSTALLATION KIT



**Full Shield**



**Half Shield**

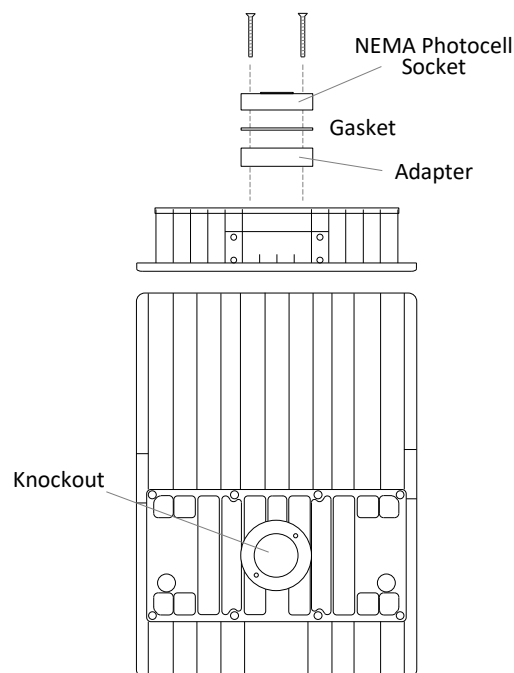


**Wire Guard**

Can be used in conjunction with shields

### Accessories (Order Separately)

LEDMPALPRO-FGS-L	Full Glare Shield, 200-300W
LEDMPALPRO-HGS-L	Half Glare Shield, 200-300W
LEDMPALPRO-WG-L	Wire Guard, 200-300W



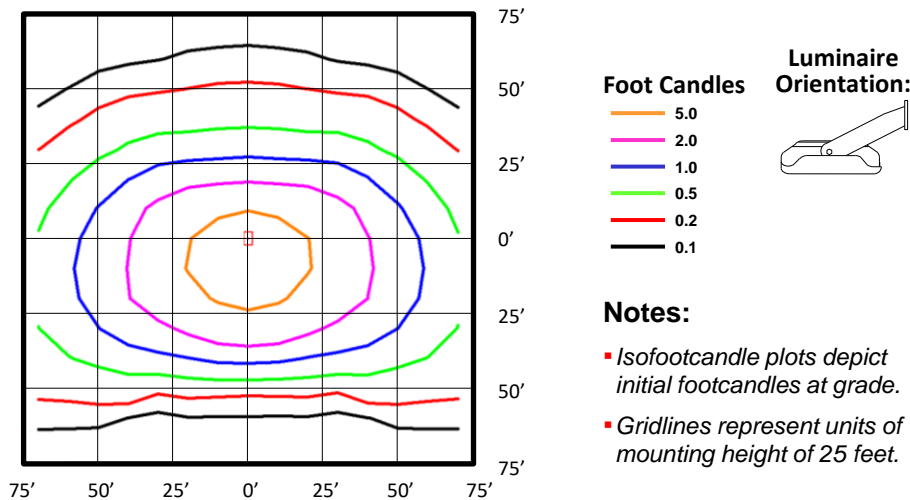
**Factory Installed NEMA  
Photocell Receptacle**

# LEDMPALPRO200-300 200-300 Watt, Premium Multi-Purpose LED Area Luminaire



## PHOTOMETRIC DATA – IES Roadway Distributions

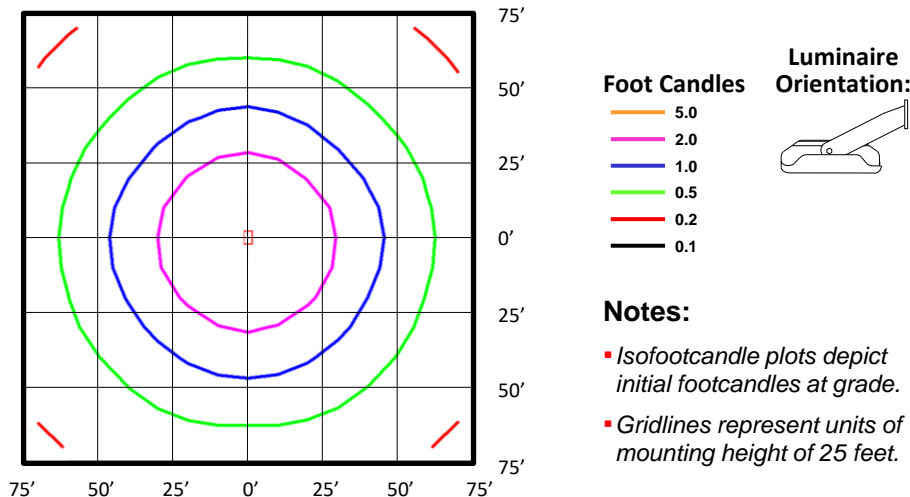
### LEDMPALPRO200-4K-T3 (26,924 Lumens, Type III Distribution)



#### BUG Rating: B4-U3-G4

Zone	Lumens	%
FL - Front - Low (0-30)	2,665	10%
FM - Front - Medium (30-60)	9,003	33%
FH - Front - High (60-80)	5,225	19%
FVH - Front - Very High (80-90)	402	1%
<b>Total Forward Light</b>	<b>17,294</b>	<b>64%</b>
BL - Back - Low (0-30)	1,900	7%
BM - Back - Medium (30-60)	4,457	17%
BH - Back - High (60-80)	2,988	11%
BVH - Back - Very High (80-90)	170	1%
<b>Total Back Light</b>	<b>9,516</b>	<b>35%</b>
UL - Up Light - Low (90-100)	19	0%
UH - Up Light - High (100-180)	95	0%
<b>Total Up Light</b>	<b>114</b>	<b>0%</b>
<b>Total Lumens</b>	<b>26,924</b>	<b>100%</b>

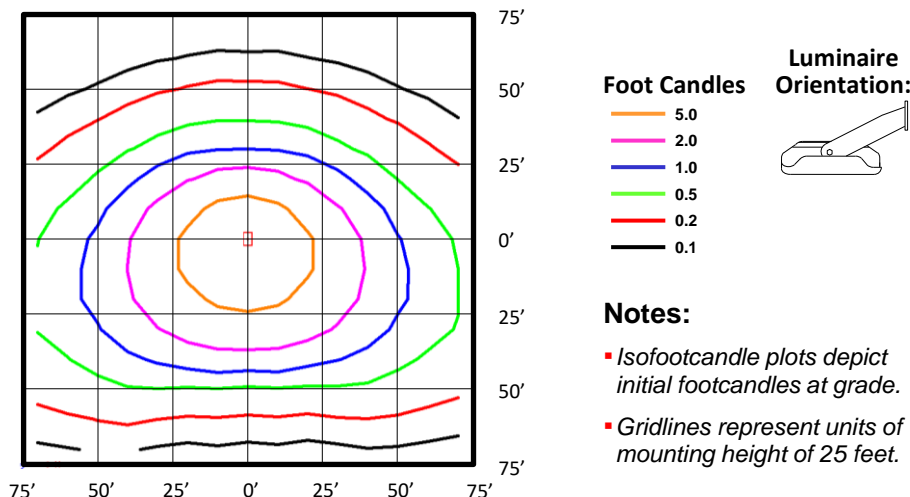
### LEDMPALPRO200-4K-T5 (26,442 Lumens, Type V Distribution)



#### BUG Rating: B5-U3-G5

Zone	Lumens	%
FL - Front - Low (0-30)	1,374	5%
FM - Front - Medium (30-60)	5,326	20%
FH - Front - High (60-80)	5,977	23%
FVH - Front - Very High (80-90)	806	3%
<b>Total Forward Light</b>	<b>13,483</b>	<b>51%</b>
BL - Back - Low (0-30)	1,324	5%
BM - Back - Medium (30-60)	4,912	19%
BH - Back - High (60-80)	5,635	21%
BVH - Back - Very High (80-90)	927	4%
<b>Total Back Light</b>	<b>12,798</b>	<b>48%</b>
UL - Up Light - Low (90-100)	32	0%
UH - Up Light - High (100-180)	129	0%
<b>Total Up Light</b>	<b>161</b>	<b>1%</b>
<b>Total Lumens</b>	<b>26,442</b>	<b>100%</b>

### LEDMPALPRO240-4K-T3 (29,589 Lumens, Type III Distribution)



#### BUG Rating: B4-U0-G4

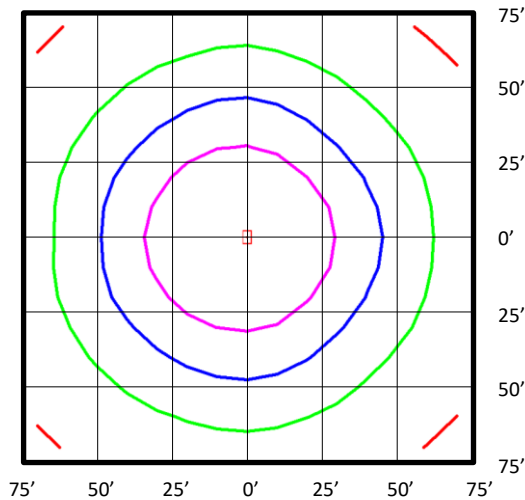
Zone	Lumens	%
FL - Front - Low (0-30)	3,329	11%
FM - Front - Medium (30-60)	9,480	32%
FH - Front - High (60-80)	5,766	19%
FVH - Front - Very High (80-90)	460	2%
<b>Total Forward Light</b>	<b>19,035</b>	<b>64%</b>
BL - Back - Low (0-30)	2,613	9%
BM - Back - Medium (30-60)	5,147	17%
BH - Back - High (60-80)	2,613	9%
BVH - Back - Very High (80-90)	181	1%
<b>Total Back Light</b>	<b>10,554</b>	<b>36%</b>
UL - Up Light - Low (90-100)	0	0%
UH - Up Light - High (100-180)	0	0%
<b>Total Up Light</b>	<b>0</b>	<b>0%</b>
<b>Total Lumens</b>	<b>29,589</b>	<b>100%</b>

# LEDMPALPRO200-300 200-300 Watt, Premium Multi-Purpose LED Area Luminaire



## PHOTOMETRIC DATA – IES Roadway Distributions

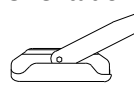
### LEDMPALPRO240-4K-T5 (27,944 Lumens, Type V Distribution)



#### Foot Candles



#### Luminaire Orientation:



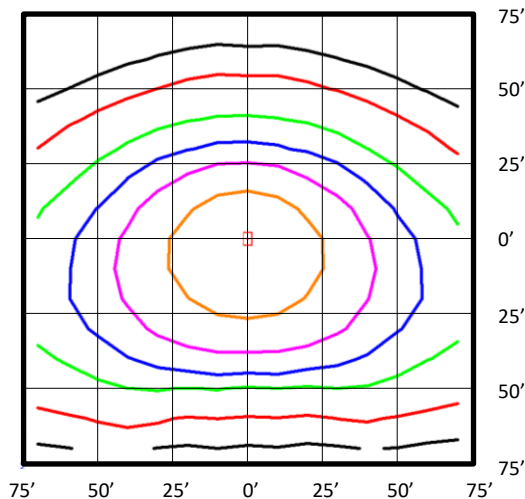
#### Notes:

- Isofootcandle plots depict initial footcandles at grade.
- Gridlines represent units of mounting height of 25 feet.

#### BUG Rating: B5-U0-G5

Zone	Lumens	%
FL - Front - Low (0-30)	1,381	5%
FM - Front - Medium (30-60)	5,510	20%
FH - Front - High (60-80)	6,265	22%
FVH - Front - Very High (80-90)	959	3%
<b>Total Forward Light</b>	<b>14,115</b>	<b>51%</b>
BL - Back - Low (0-30)	1,361	5%
BM - Back - Medium (30-60)	5,353	19%
BH - Back - High (60-80)	6,116	22%
BVH - Back - Very High (80-90)	999	4%
<b>Total Back Light</b>	<b>13,829</b>	<b>49%</b>
UL - Up Light - Low (90-100)	0	0%
UH - Up Light - High (100-180)	0	0%
<b>Total Up Light</b>	<b>0</b>	<b>0%</b>
<b>Total Lumens</b>	<b>27,944</b>	<b>100%</b>

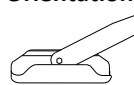
### LEDMPALPRO280-4K-T3 (34,424 Lumens, Type III Distribution)



#### Foot Candles



#### Luminaire Orientation:



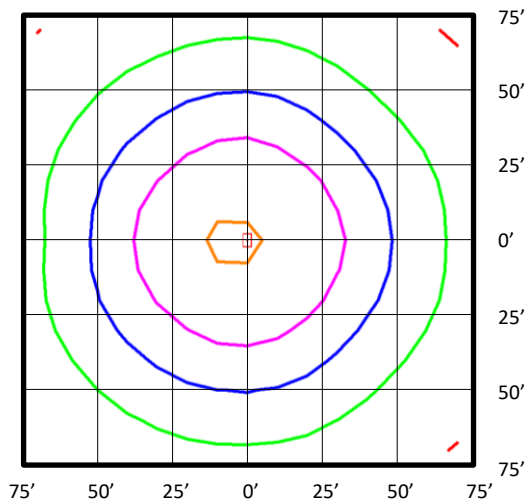
#### Notes:

- Isofootcandle plots depict initial footcandles at grade.
- Gridlines represent units of mounting height of 25 feet.

#### BUG Rating: B4-U0-G4

Zone	Lumens	%
FL - Front - Low (0-30)	3,878	11%
FM - Front - Medium (30-60)	11,130	32%
FH - Front - High (60-80)	6,596	19%
FVH - Front - Very High (80-90)	498	1%
<b>Total Forward Light</b>	<b>22,101</b>	<b>64%</b>
BL - Back - Low (0-30)	3,019	9%
BM - Back - Medium (30-60)	6,015	17%
BH - Back - High (60-80)	3,081	9%
BVH - Back - Very High (80-90)	208	1%
<b>Total Back Light</b>	<b>12,323</b>	<b>36%</b>
UL - Up Light - Low (90-100)	0	0%
UH - Up Light - High (100-180)	0	0%
<b>Total Up Light</b>	<b>0</b>	<b>0%</b>
<b>Total Lumens</b>	<b>34,424</b>	<b>100%</b>

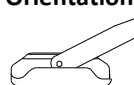
### LEDMPALPRO280-4K-T5 (32,546 Lumens, Type V Distribution)



#### Foot Candles



#### Luminaire Orientation:



#### Notes:

- Isofootcandle plots depict initial footcandles at grade.
- Gridlines represent units of mounting height of 25 feet.

#### BUG Rating: B5-U0-G5

Zone	Lumens	%
FL - Front - Low (0-30)	1,622	5%
FM - Front - Medium (30-60)	6,459	20%
FH - Front - High (60-80)	7,277	22%
FVH - Front - Very High (80-90)	1,095	3%
<b>Total Forward Light</b>	<b>16,453</b>	<b>51%</b>
BL - Back - Low (0-30)	1,595	5%
BM - Back - Medium (30-60)	6,256	19%
BH - Back - High (60-80)	7,090	22%
BVH - Back - Very High (80-90)	1,152	4%
<b>Total Back Light</b>	<b>16,093</b>	<b>49%</b>
UL - Up Light - Low (90-100)	0	0%
UH - Up Light - High (100-180)	0	0%
<b>Total Up Light</b>	<b>0</b>	<b>0%</b>
<b>Total Lumens</b>	<b>32,546</b>	<b>100%</b>

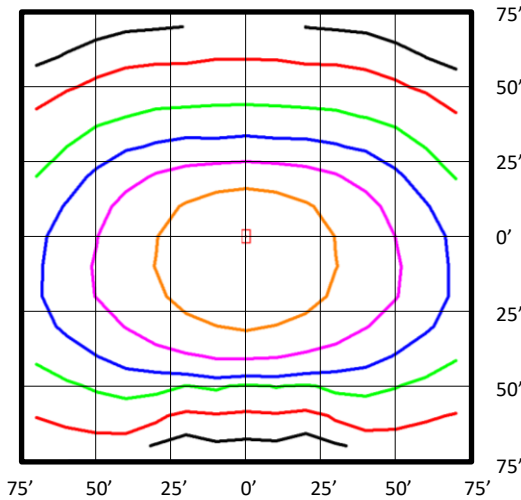


# LEDMPALPRO200-300 200-300 Watt, Premium Multi-Purpose LED Area Luminaire



## PHOTOMETRIC DATA – IES Roadway Distributions

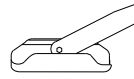
### LEDMPALPRO300-4K-T3 (44,615 Lumens, Type III Distribution)



#### Foot Candles



#### Luminaire Orientation:



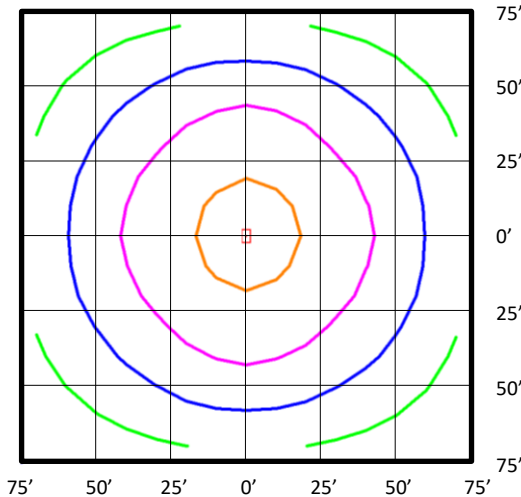
#### Notes:

- Isofootcandle plots depict initial footcandles at grade.
- Gridlines represent units of mounting height of 25 feet.

### BUG Rating: B4-U3-G4

Zone	Lumens	%
FL - Front - Low (0-30)	4,598	10%
FM - Front - Medium (30-60)	14,735	33%
FH - Front - High (60-80)	8,614	19%
FVH - Front - Very High (80-90)	729	2%
<b>Total Forward Light</b>	<b>28,676</b>	<b>64%</b>
BL - Back - Low (0-30)	3,294	7%
BM - Back - Medium (30-60)	7,213	16%
BH - Back - High (60-80)	4,913	11%
BVH - Back - Very High (80-90)	317	1%
<b>Total Back Light</b>	<b>15,736</b>	<b>35%</b>
UL - Up Light - Low (90-100)	34	0%
UH - Up Light - High (100-180)	169	0%
<b>Total Up Light</b>	<b>203</b>	<b>0%</b>
<b>Total Lumens</b>	<b>44,615</b>	<b>100%</b>

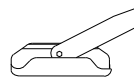
### LEDMPALPRO300-4K-T5 (43,141 Lumens, Type V Distribution)



#### Foot Candles



#### Luminaire Orientation:



#### Notes:

- Isofootcandle plots depict initial footcandles at grade.
- Gridlines represent units of mounting height of 25 feet.

### BUG Rating: B5-U3-G5

Zone	Lumens	%
FL - Front - Low (0-30)	2,016	5%
FM - Front - Medium (30-60)	8,123	19%
FH - Front - High (60-80)	9,611	22%
FVH - Front - Very High (80-90)	1,529	4%
<b>Total Forward Light</b>	<b>21,279</b>	<b>49%</b>
BL - Back - Low (0-30)	2,036	5%
BM - Back - Medium (30-60)	8,303	19%
BH - Back - High (60-80)	9,750	23%
BVH - Back - Very High (80-90)	1,546	4%
<b>Total Back Light</b>	<b>21,634</b>	<b>50%</b>
UL - Up Light - Low (90-100)	46	0%
UH - Up Light - High (100-180)	182	0%
<b>Total Up Light</b>	<b>229</b>	<b>1%</b>
<b>Total Lumens</b>	<b>43,141</b>	<b>100%</b>

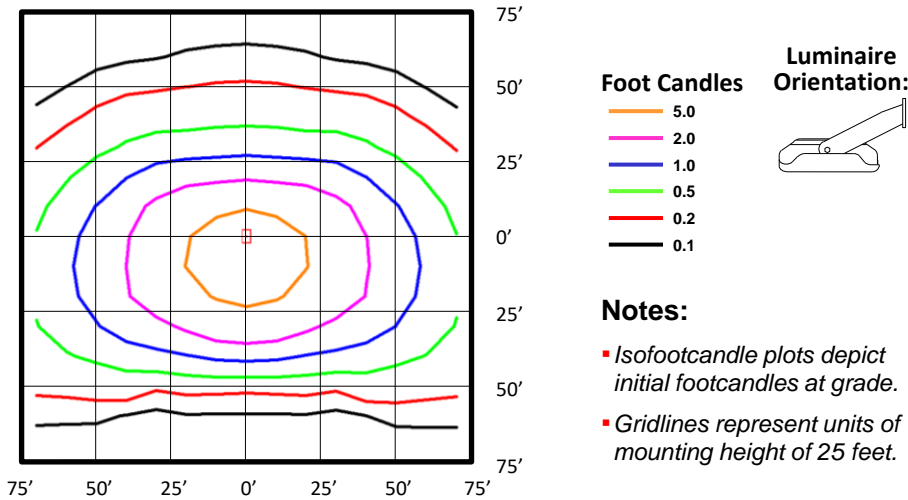


# LEDMPALPRO200-300 200-300 Watt, Premium Multi-Purpose LED Area Luminaire



## PHOTOMETRIC DATA – IES Roadway Distributions

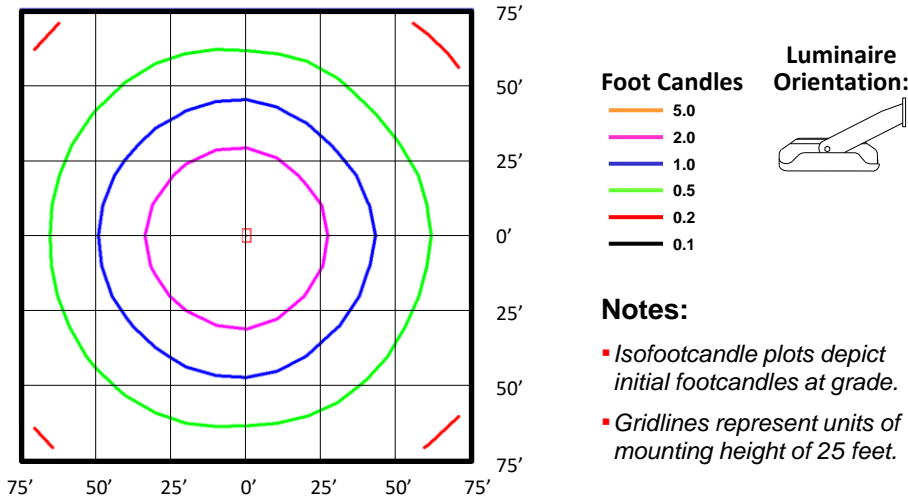
### LEDMPALPRO200-4K-T3-UNC (26,445 Lumens, Type III Distribution)



#### BUG Rating: B4-U3-G4

Zone	Lumens	%
FL - Front - Low (0-30)	2,617	10%
FM - Front - Medium (30-60)	8,830	33%
FH - Front - High (60-80)	5,132	19%
FVH - Front - Very High (80-90)	395	1%
<b>Total Forward Light</b>	<b>16,974</b>	<b>64%</b>
BL - Back - Low (0-30)	1,869	7%
BM - Back - Medium (30-60)	4,379	17%
BH - Back - High (60-80)	2,938	11%
BVH - Back - Very High (80-90)	168	1%
<b>Total Back Light</b>	<b>9,355</b>	<b>35%</b>
UL - Up Light - Low (90-100)	19	0%
UH - Up Light - High (100-180)	97	0%
<b>Total Up Light</b>	<b>116</b>	<b>0%</b>
<b>Total Lumens</b>	<b>26,445</b>	<b>100%</b>

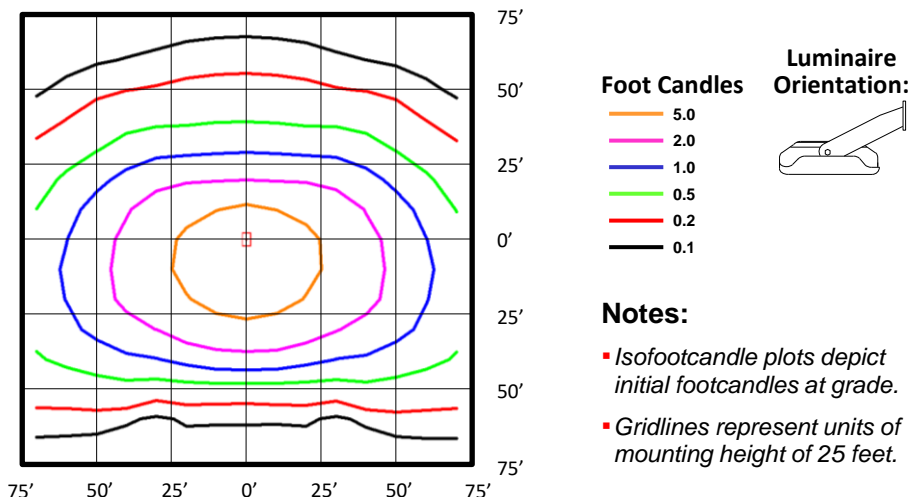
### LEDMPALPRO200-4K-T5-UNC (26,203 Lumens, Type V Distribution)



#### BUG Rating: B5-U3-G5

Zone	Lumens	%
FL - Front - Low (0-30)	1,333	5%
FM - Front - Medium (30-60)	5,237	20%
FH - Front - High (60-80)	5,915	23%
FVH - Front - Very High (80-90)	774	3%
<b>Total Forward Light</b>	<b>13,259</b>	<b>51%</b>
BL - Back - Low (0-30)	1,312	5%
BM - Back - Medium (30-60)	5,000	19%
BH - Back - High (60-80)	5,688	22%
BVH - Back - Very High (80-90)	787	3%
<b>Total Back Light</b>	<b>12,787</b>	<b>49%</b>
UL - Up Light - Low (90-100)	32	0%
UH - Up Light - High (100-180)	125	0%
<b>Total Up Light</b>	<b>157</b>	<b>1%</b>
<b>Total Lumens</b>	<b>26,203</b>	<b>100%</b>

### LEDMPALPRO240-4K-T3-UNC (32,022 Lumens, Type III Distribution)



#### BUG Rating: B4-U3-G4

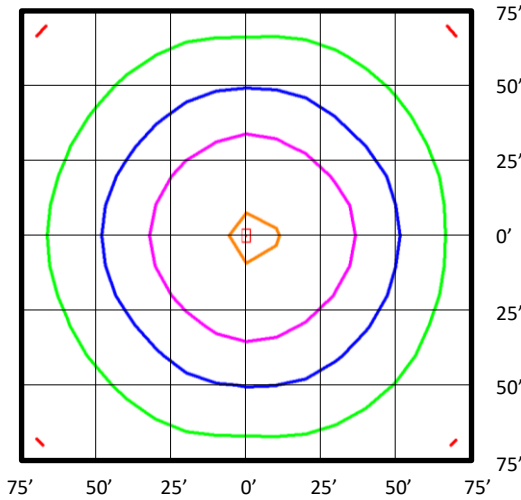
Zone	Lumens	%
FL - Front - Low (0-30)	3,168	10%
FM - Front - Medium (30-60)	10,688	33%
FH - Front - High (60-80)	6,214	19%
FVH - Front - Very High (80-90)	479	1%
<b>Total Forward Light</b>	<b>20,549</b>	<b>64%</b>
BL - Back - Low (0-30)	2,264	7%
BM - Back - Medium (30-60)	5,303	17%
BH - Back - High (60-80)	3,558	11%
BVH - Back - Very High (80-90)	203	1%
<b>Total Back Light</b>	<b>11,328</b>	<b>35%</b>
UL - Up Light - Low (90-100)	24	0%
UH - Up Light - High (100-180)	121	0%
<b>Total Up Light</b>	<b>145</b>	<b>0%</b>
<b>Total Lumens</b>	<b>32,022</b>	<b>100%</b>

# LEDMPALPRO200-300 200-300 Watt, Premium Multi-Purpose LED Area Luminaire



## PHOTOMETRIC DATA – IES Roadway Distributions

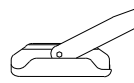
### LEDMPALPRO240-4K-T5-UNC (31,268 Lumens, Type V Distribution)



#### Foot Candles



#### Luminaire Orientation:



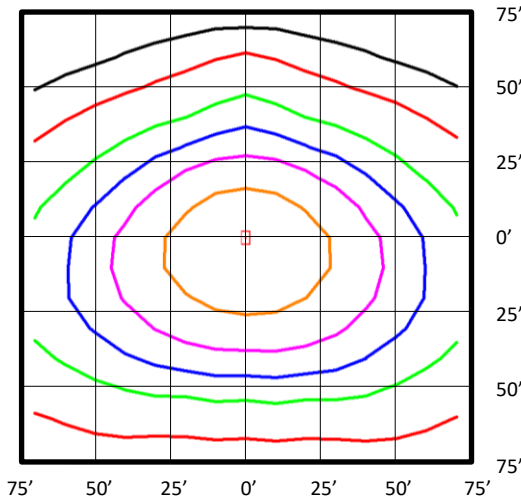
#### Notes:

- Isofootcandle plots depict initial footcandles at grade.
- Gridlines represent units of mounting height of 25 feet.

#### BUG Rating: B5-U3-G5

Zone	Lumens	%
FL - Front - Low (0-30)	1,611	5%
FM - Front - Medium (30-60)	6,266	20%
FH - Front - High (60-80)	6,916	22%
FVH - Front - Very High (80-90)	886	3%
<b>Total Forward Light</b>	<b>15,678</b>	<b>50%</b>
BL - Back - Low (0-30)	1,597	5%
BM - Back - Medium (30-60)	6,113	20%
BH - Back - High (60-80)	6,786	22%
BVH - Back - Very High (80-90)	906	3%
<b>Total Back Light</b>	<b>15,401</b>	<b>49%</b>
UL - Up Light - Low (90-100)	37	0%
UH - Up Light - High (100-180)	152	0%
<b>Total Up Light</b>	<b>189</b>	<b>1%</b>
<b>Total Lumens</b>	<b>31,268</b>	<b>100%</b>

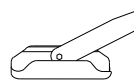
### LEDMPALPRO280-4K-T3-UNC (36,233 Lumens, Type III Distribution)



#### Foot Candles



#### Luminaire Orientation:



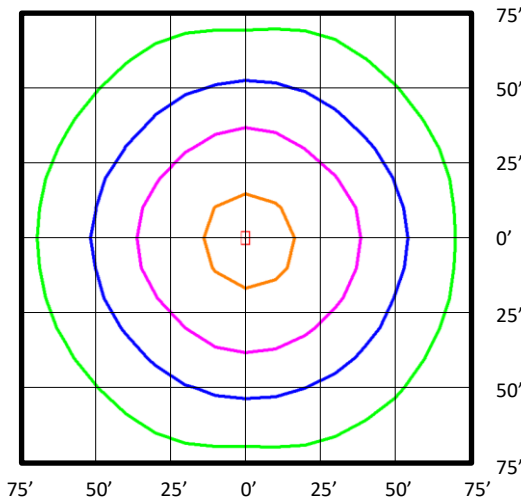
#### Notes:

- Isofootcandle plots depict initial footcandles at grade.
- Gridlines represent units of mounting height of 25 feet.

#### BUG Rating: B4-U3-G4

Zone	Lumens	%
FL - Front - Low (0-30)	4,010	11%
FM - Front - Medium (30-60)	11,296	31%
FH - Front - High (60-80)	6,980	19%
FVH - Front - Very High (80-90)	555	2%
<b>Total Forward Light</b>	<b>22,841</b>	<b>63%</b>
BL - Back - Low (0-30)	3,076	8%
BM - Back - Medium (30-60)	6,523	18%
BH - Back - High (60-80)	3,409	9%
BVH - Back - Very High (80-90)	229	1%
<b>Total Back Light</b>	<b>13,238</b>	<b>37%</b>
UL - Up Light - Low (90-100)	25	0%
UH - Up Light - High (100-180)	129	0%
<b>Total Up Light</b>	<b>154</b>	<b>0%</b>
<b>Total Lumens</b>	<b>36,233</b>	<b>100%</b>

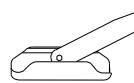
### LEDMPALPRO280-4K-T5-UNC (36,417 Lumens, Type V Distribution)



#### Foot Candles



#### Luminaire Orientation:



#### Notes:

- Isofootcandle plots depict initial footcandles at grade.
- Gridlines represent units of mounting height of 25 feet.

#### BUG Rating: B5-U3-G5

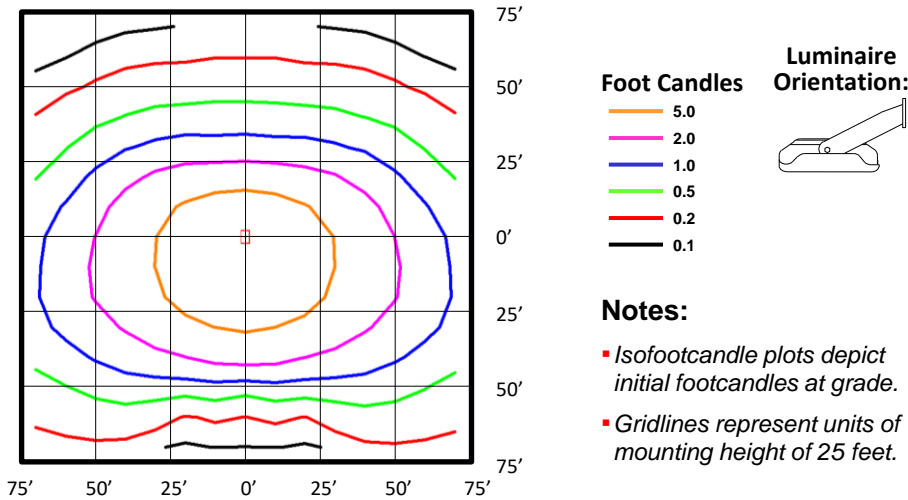
Zone	Lumens	%
FL - Front - Low (0-30)	1,922	5%
FM - Front - Medium (30-60)	7,330	20%
FH - Front - High (60-80)	8,010	22%
FVH - Front - Very High (80-90)	1,273	3%
<b>Total Forward Light</b>	<b>18,535</b>	<b>51%</b>
BL - Back - Low (0-30)	1,879	5%
BM - Back - Medium (30-60)	6,962	19%
BH - Back - High (60-80)	7,798	21%
BVH - Back - Very High (80-90)	1,052	3%
<b>Total Back Light</b>	<b>17,692</b>	<b>49%</b>
UL - Up Light - Low (90-100)	39	0%
UH - Up Light - High (100-180)	151	0%
<b>Total Up Light</b>	<b>190</b>	<b>1%</b>
<b>Total Lumens</b>	<b>36,417</b>	<b>100%</b>

# LEDMPALPRO200-300 200-300 Watt, Premium Multi-Purpose LED Area Luminaire



## PHOTOMETRIC DATA – IES Roadway Distributions

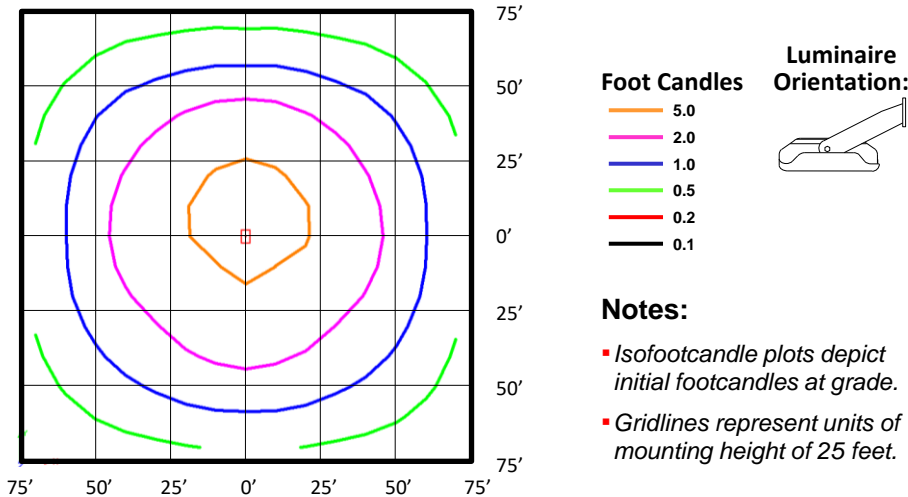
### LEDMPALPRO300-4K-T3-UNC (45,356 Lumens, Type III Distribution)



#### BUG Rating: B4-U3-G5

Zone	Lumens	%
FL - Front - Low (0-30)	4,424	10%
FM - Front - Medium (30-60)	14,724	32%
FH - Front - High (60-80)	9,376	21%
FVH - Front - Very High (80-90)	882	2%
<b>Total Forward Light</b>	<b>29,405</b>	<b>65%</b>
BL - Back - Low (0-30)	3,223	7%
BM - Back - Medium (30-60)	7,279	16%
BH - Back - High (60-80)	4,928	11%
BVH - Back - Very High (80-90)	308	1%
<b>Total Back Light</b>	<b>15,738</b>	<b>35%</b>
UL - Up Light - Low (90-100)	38	0%
UH - Up Light - High (100-180)	175	0%
<b>Total Up Light</b>	<b>213</b>	<b>0%</b>
<b>Total Lumens</b>	<b>45,356</b>	<b>100%</b>

### LEDMPALPRO300-4K-T5-UNC (44,191 Lumens, Type V Distribution)



#### BUG Rating: B5-U3-G5

Zone	Lumens	%
FL - Front - Low (0-30)	1,809	4%
FM - Front - Medium (30-60)	8,375	19%
FH - Front - High (60-80)	9,863	22%
FVH - Front - Very High (80-90)	1,457	3%
<b>Total Forward Light</b>	<b>21,504</b>	<b>49%</b>
BL - Back - Low (0-30)	1,904	4%
BM - Back - Medium (30-60)	9,762	22%
BH - Back - High (60-80)	9,717	22%
BVH - Back - Very High (80-90)	1,063	2%
<b>Total Back Light</b>	<b>22,446</b>	<b>51%</b>
UL - Up Light - Low (90-100)	54	0%
UH - Up Light - High (100-180)	187	0%
<b>Total Up Light</b>	<b>241</b>	<b>1%</b>
<b>Total Lumens</b>	<b>44,191</b>	<b>100%</b>



**MINUTES**  
**REGULAR MEETING OF VILLAGE OF FRANKFORT**  
**PLAN COMMISSION / ZONING BOARD OF APPEALS**  
**SEPTEMBER 11, 2014 – FRANKFORT POLICE STATION**  
**20602 LINCOLN-WAY LANE**

**Call to Order**

Chair Don Schwarz called the meeting to order at 6:30 P.M.

Commissioners Present: Bob Beeson, Dave Schumpp, Alicia Hanlon, Neil Nunamaker, Jim Matlock, and Don Schwarz

Commissioners Absent: Sue Anstett

Staff Present: Assistant Director of Development Services Zach Brown and Development Services Intern Austin Folan

Elected Officials Present: Liaison to the Village Board, Trustee Mike Stevens

**A. Approval of Minutes from August 14, 2014**

**Motion (#1):** Approve the minutes from August 14, 2014 as presented.

Motion by: Matlock      Seconded by: Hanlon  
Approved (6 to 0)

**B. Public Hearing – Roma Sports Club Special Use**

Request: Special use permits for indoor and outdoor recreation and a building height variance from 35 ft. to 42 ft. to accommodate the construction and operation of Roma Sports Club on lots 20-25 in the East Point Industrial Park. Other request: Final Plat Approval.

Chair Schwarz swore in all intending to testify.

Assistant Director Brown presented the staff report and provided an overview of the request. Mr. Brown noted that at the time of the report there were several issues outstanding however staff had since continued to work with the applicant to ensure all outstanding items were addressed. The applicants were present and offered no additional comments.

**Motion (#2):** Close the public hearing.

Motion by: Schumpp      Seconded by: Matlock  
Approved (5 to 0)

During the Plan Commission Discussion:

- Commissioners questioned the need for the increased building height. Mr. Rotondi noted that the increased height was necessary to accommodate baseball and volleyball use;
- Staff confirmed that site plan E was the correct site plan;
- Members questioned previous height variances in industrial areas. Staff noted that they were not aware of any recent height variances for industrial buildings;
- Commissioner Hanlon questioned if allowing the outdoor fields would impact the land use rights of the adjacent properties. Staff confirmed that there would be no impact or restriction of land uses were the outdoor fields approved;
- Members discussed the proposed use and whether or not sidewalks should be installed on the north or south side of Mark Court. The applicant noted that private sidewalks were proposed along the north side of the building that would provide pedestrian access from the parking lot to the outdoor fields. Commissioners agreed that the public sidewalks should be deferred to the north side of the road;
- Commissioners discussed the encroachment of the proposed fields into the required setbacks and determined that the impacts were negligible given the additional green space provided within the right of way;
- Member Matlock requested that the applicant not store any hazardous materials in the building;
- The applicant agreed to work with staff to revise the photometric and landscape plans to meet ordinance requirements and was amenable to adding conditions to that effect;
- Commissioners questioned if a safety barrier was necessary within the cul-de-sac to protect patrons from vehicles. The developer Jeff Graefen was present and noted that increased curb heights are provided in industrial areas and that they were adequate stop most vehicles. Commissioners agreed that additional barriers were unnecessary;
- Member Schwarz noted that he was encouraged to see development happening within the subdivision however expressed concern regarding the number of outstanding issues. Member Schwarz requested that the applicant work with staff to address the outstanding conditions prior to proceeding to Village Board for approval;
- Chair Schwarz reviewed the recommended conditions with the applicant. After discussion Commissioners requested that staffs recommended condition pertaining to construction of additional parking facilities should they become necessary be removed noting that such a condition would be challenging to enforce and that the provided parking was consistent with the minimum standards established by the Zoning Ordinance;
- Staff noted that a plat of subdivision was not provided and as such the plat would be brought back to the Commission at a future meeting for consideration;

**Motion (#3):** Recommend the Village Board approve a special use for indoor recreation and entertainment to permit the operation of Roma Sports Club, in accordance with the reviewed plans and public testimony and conditioned upon staff approval of a revised landscape plan, staff approval of a revised photometric plan, no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours, and final engineering approval.

Motion by: Nunamaker      Seconded by: Beeson  
Approved (5 to 0)

**Motion (#4):** Recommend the Village Board approve a special use for outdoor recreation and entertainment to permit the operation of Roma Sports Club, in accordance with the reviewed plans and public testimony and conditioned upon staff approval of a revised landscape plan, staff approval of a revised photometric plan, no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours, and final engineering approval.

Motion by: Matlock      Seconded by: Beeson  
Approved (5 to 0)

**Motion (#5):** Recommend the Village Board approve a height variance from 35' to 42' operation of Roma Sports Club, in accordance with the reviewed plans and public testimony and conditioned upon staff approval of a revised landscape plan, staff approval of a revised photometric plan, no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours, and final engineering approval.

Motion by: Schumpp      Seconded by: Matlock  
Approved (5 to 0)

**C. Committee Update** – Trustee Stevens reviewed topics discussed at committee meetings the previous night.

**D. Village Board Update** - Trustee Stevens summarized action taken by the Village Board at their prior meetings.

**E. Other Business** – **Assistant** Director Brown noted that a building permit was under review for the property located at 28 Kansas Street and discussed items that will be considered at the September 25<sup>th</sup> Plan Commission meeting.

**F. Attendance Confirmation** – Member Nunamaker noted he would not be available to attend the August 28 meeting.

**Motion (#6):** Adjournment (7:35)

Motion by: Beeson      Seconded by: Hanlon  
Unanimously approved by voice vote.



grant to Don and Victoria Melton, business owners of the Build-A-Bun restaurant, for retail space improvements made to the property located at 6 Elwood Street within the Grainery building.

E. Economic Development/1890's Committee Report

1. Escrow Agreement Approval: 28 W. Kansas Street Property – Resolution

Adopt A RESOLUTION (NO. 14-34) AUTHORIZING EXECUTION OF AN ESCROW AGREEMENT BETWEEN THE VILLAGE OF FRANKFORT, 28 KANSAS LLC, AND CNB BANK & TRUST, N.A., REGARDING THE 28 W. KANSAS STREET PROPERTY, in the amount of \$220,000 in incentive funding for the re-development of the 28 W. Kansas Street property.

F. Plan Commission Report Summary

1. **Roma Sports Club:** Lots 20-25 East Point Industrial Park – Ordinances

a. Special Use Permits for Indoor and Outdoor Recreation

Accept the Plan Commission recommendation, waive the First and Second Readings, and adopt AN ORDINANCE (NO. 2941) GRANTING SPECIAL USE PERMITS FOR INDOOR AND OUTDOOR RECREATION TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (ROMA SPORTS CLUB – 9125 MARK COURT, EAST POINT INDUSTRIAL PARK), to accommodate construction of a new 50,000 sq. ft. building and relocation of Roma Sports Club/Xpress Solutions, in accordance with the reviewed plans and public testimony, conditioned upon staff approval of a revised landscape plan; staff approval of a revised photometric plan; no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours; and final engineering approval.

b. Building Height Variance

Accept the Plan Commission recommendation, waive the First and Second Readings, and adopt AN ORDINANCE (NO. 2942) GRANTING A BUILDING HEIGHT VARIANCE TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (ROMA SPORTS CLUB – 9125 MARK COURT, EAST POINT INDUSTRIAL PARK), granting a height variance from the 35-foot requirement to 42 feet to the property located at 9125 Mark Court within the East Point Industrial Park, in accordance with the reviewed plans and public testimony, conditioned upon staff approval of a revised landscape plan; staff approval of a revised photometric plan; no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours; and final engineering approval.

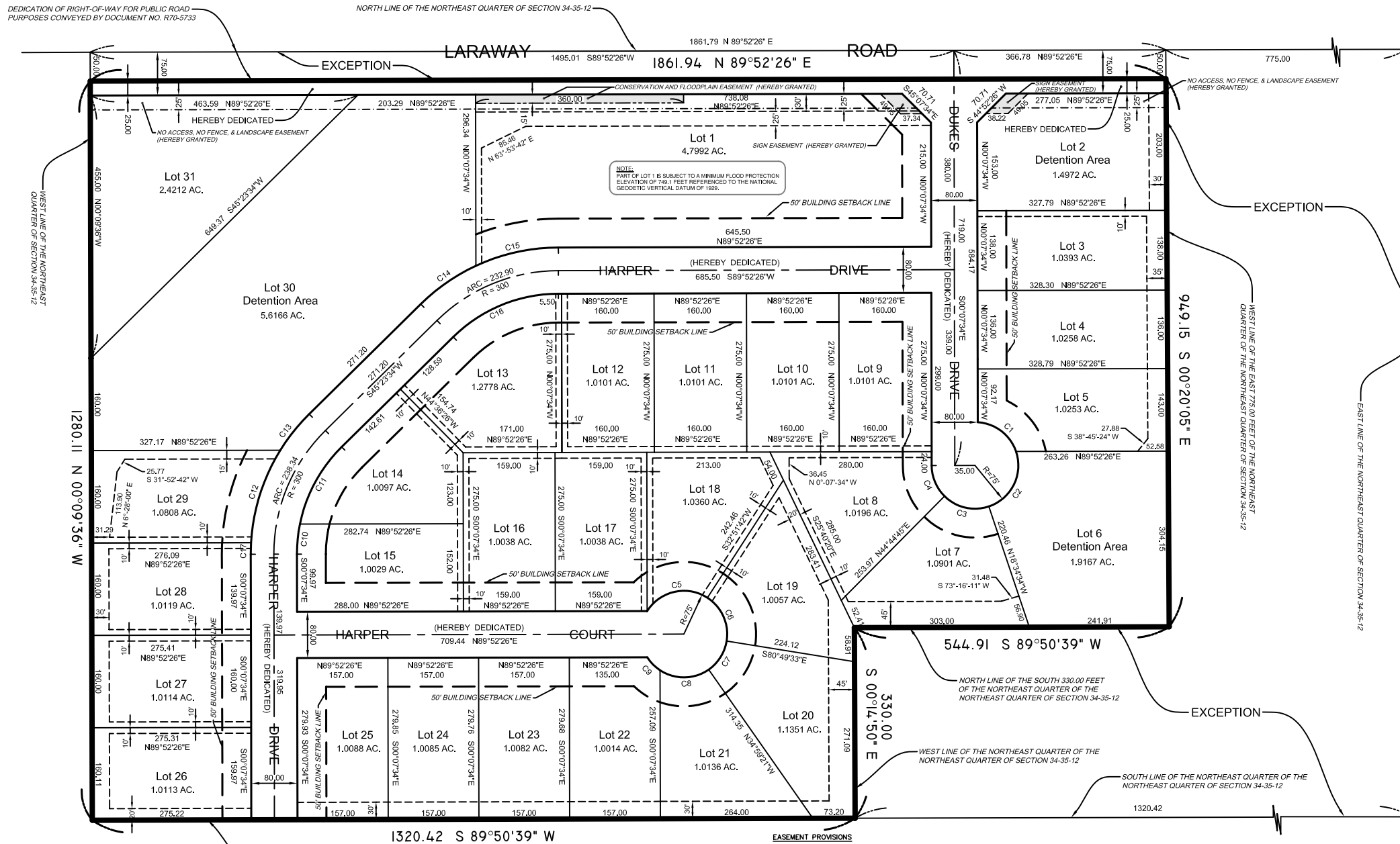
Trustee Trevarthan made a motion (#1), seconded by Trustee Kennedy, to approve the Unanimous Consent Agenda.

ENGINEERS SURVEYORS  
737 West Exchange St. Crete, IL 60417  
ph 708.672.4994 fax 708.672.3739

# HARPER BUSINESS PARK

## PLAT OF SUBDIVISION

BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.



NOTE:  
LOTS 2, 6, 30 AND 31 SHALL BE OWNED AND MAINTAINED BY A PROPERTY OWNERS ASSOCIATION.

NOTE:  
ALL OF LOTS 2, 6 AND 30 ARE DESIGNATED AS A PUBLIC UTILITY, DRAINAGE AND STORM WATER DETENTION EASEMENT.

NOTE:  
UNLESS OTHERWISE NOTED ALL EASEMENTS SHOWN ARE HEREBY GRANTED AS PUBLIC UTILITY AND DRAINAGE EASEMENTS.

PROPERTY INDEX NUMBER  
09-34-200-010  
09-34-200-015

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	88.38	75.00	67°30'52"	83.35	N52°32'47"W
C2	118.09	75.00	90°12'47"	106.26	N26°19'03"E
C3	82.89	75.00	63°19'18"	78.73	S76°54'55"E
C4	59.07	75.00	45°07'42"	57.56	S22°41'25"E
C5	118.80	75.00	90°45'25"	106.76	S77°29'00"W
C6	86.80	75.00	66°18'44"	82.04	N23°58'56"W
C7	60.00	75.00	45°50'12"	58.41	N32°05'33"E
C8	89.54	75.00	68°24'24"	84.32	N89°12'51"E
C9	31.71	75.00	24°13'31"	31.48	S44°28'11"E
C10	52.38	260.00	11°32'33"	52.29	S05°38'43"W
C11	154.18	260.00	33°58'34"	151.93	S28°24'16"W
C12	169.68	340.00	28°35'39"	167.93	S17°32'51"W
C13	80.40	340.00	13°32'53"	80.21	S38°37'07"W
C14	116.83	340.00	19°41'17"	116.26	S55°14'12"W
C15	147.13	340.00	24°47'35"	145.98	S77°28'38"W
C16	201.85	260.00	44°28'52"	196.82	S67°30'00"W
C17	20.04	340.00	3°22'35"	20.03	N01°33'44"E

**EASEMENT PROVISIONS**

AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATION SERVICE IS HEREBY RESERVED FOR AND GRANTED TO THE FOLLOWING COMPANIES:

**NORTHERN ILLINOIS GAS COMPANY**

THE UNDERSIGNED, ENGINEER AND SURVEYOR, DO HEREBY CERTIFY THAT THE ABOVE EASEMENT IS NECESSARY FOR THE PROPER OPERATION OF THE GAS SERVICE TO THE SUBDIVISION AND OTHER PROPERTY. THE EASEMENT IS GRANTED TO THE NORTHERN ILLINOIS GAS COMPANY, A CORPORATION OF ILLINOIS, FOR THE TERM OF YEARS, AND THE EASEMENT IS TO BE USED FOR THE PURPOSES OF THE GAS SERVICE TO THE SUBDIVISION AND OTHER PROPERTY.

**ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2430**  
LICENSE EXPIRES: NOVEMBER 30, 2008

**ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-002235**

STATE OF ILLINOIS }  
COUNTY OF WILL }

WE, TECH 3 CONSULTING GROUP, INC. DO HEREBY CERTIFY THAT AT THE REQUEST OF HARPER BUSINESS PARK, LLC WE HAVE MADE A SURVEY OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS. WE HAVE SET ROW ROADS AT ALL LOT CORNERS AND POINTS OF CURVATURE. ALSO THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 34 (EXCEPTING THE NORTH 80.0 FEET THEREOF, TAKEN FOR ROAD PURPOSES), ALL IN TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, WILL COUNTY, ILLINOIS.

WE FURTHER CERTIFY THAT WE HAVE SUBDIVIDED SAID TRACT INTO LOTS AND STREETS ALL AS SHOWN ON THE HEREIN DRAIN PLAT ENTITLED "HARPER BUSINESS PARK" IN FRANKFORT, ILLINOIS. WE HAVE SET ROW ROADS AT ALL LOT CORNERS AND POINTS OF CURVATURE.

THE AREA COVERED BY THIS PLAT IS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF FRANKFORT, ILLINOIS, CONTAINING SOLELY ACRES, MORE OR LESS.

AN EXAMINATION HAS BEEN MADE OF THE FLOOD INSURANCE RATE MAP OF THE NATIONAL FLOOD INSURANCE PROGRAM FOR THIS AREA OF WILL COUNTY, ILLINOIS. BEING MAP NUMBER 1719702327E - EFFECTIVE DATE SEPTEMBER 8, 1985, THE NATIONAL FLOOD INSURANCE PROGRAM HAS DETERMINED THAT PART OF LOT 31 IS DESIGNATED AS "ZONE A" DEFINED AS NO BASE FLOOD ELEVATIONS DETERMINED. THE REMAINDER OF THE ABOVE DESCRIBED PROPERTY IS DESIGNATED AS "ZONE X" DEFINED AS AREAS TO BE OUTSIDE 500-YEAR FLOODPLAIN. THIS STATEMENT IS FOR FLOOD INSURANCE PURPOSES ONLY AND DOES NOT NECESSARILY INDICATE ALL AREAS SUBJECT TO FLOODING.

WE FURTHER CERTIFY THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED HEREON AND THAT THE PLAT HEREON DRAIN IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

SIGNED AND SEALED THIS 6<sup>TH</sup> DAY OF SEPTEMBER, A.D. 2005.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2430  
LICENSE EXPIRES: NOVEMBER 30, 2008  
ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-002235

STATE OF ILLINOIS }  
COUNTY OF WILL }

MARK T. RUANE DOES HEREBY CERTIFY THAT HE IS THE HOLDER OF RECORD TITLE TO THE HEREON DESCRIBED PROPERTY AND THAT HE HAS CAUSED SAID PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN ON THE PLAT HEREON DRAIN.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2005.

BY: \_\_\_\_\_  
MARK T. RUANE

STATE OF ILLINOIS }  
COUNTY OF WILL }

I, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT MARK T. RUANE PERSONALLY KNOWN TO ME TO BE THE OWNER OF SAID PROPERTY WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT APPEARED BEFORE ME THIS DAY IN PERSON AND PERSONALLY ACKNOWLEDGED THAT AS OWNER OF SAID PROPERTY, HE SIGNED AND DELIVERED THE SAID INSTRUMENT AS HIS OWN FREE AND VOLUNTARY ACT, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2005.

MY COMMISSION EXPIRES \_\_\_\_\_ A.D. 20 \_\_\_\_.

NOTARY PUBLIC

STATE OF ILLINOIS }  
COUNTY OF WILL }

FIRST MORTGAGE BANK, AS MORTGAGEE HOLDING MORTGAGE DATED \_\_\_\_\_ AND RECORDED AS DOCUMENT NO. \_\_\_\_\_ CONSENT TO THE SUBDIVISION OF THE PROPERTY HEREON DESCRIBED.

BY: \_\_\_\_\_

ATTEST:

STATE OF ILLINOIS }  
COUNTY OF WILL }

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE AFORESAID, HEREBY CERTIFY THAT \_\_\_\_\_ AND \_\_\_\_\_ WHO ARE PERSONALLY KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THE EXECUTION OF THIS INSTRUMENT IN THEIR CAPACITY FOR THE USES AND PURPOSES THEREIN SET FORTH AS THE FREE AND VOLUNTARY ACT AND DEED OF SAID COMPANY FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2005.

MY COMMISSION EXPIRES \_\_\_\_\_ A.D. 20 \_\_\_\_.

NOTARY PUBLIC

### SCHOOL DISTRICT CERTIFICATE

STATE OF ILLINOIS }  
COUNTY OF WILL }

THIS IS TO CERTIFY THAT I, \_\_\_\_\_, AS OWNER OF THE PROPERTY HEREON DESCRIBED IN THE SURVEYOR'S CERTIFICATE, AND KNOWN AS "HARPER BUSINESS PARK" SUBDIVISION, TO THE BEST OF MY KNOWLEDGE, IS LOCATED WITHIN THE BOUNDARIES OF THE \_\_\_\_\_ (GRADE SCHOOL DISTRICT) AND \_\_\_\_\_ (HIGH SCHOOL DISTRICT) IN WILL COUNTY, ILLINOIS.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2005.

BY: \_\_\_\_\_  
OWNER

RECORDER

STATE OF ILLINOIS }  
COUNTY OF WILL }

THIS INSTRUMENT NO. \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF WILL COUNTY AFORESAID ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2005, AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M., AND RECORDED IN BOOK OF PLATS AT PAGE \_\_\_\_\_.

WILL COUNTY RECORDER

COUNTY CLERK

STATE OF ILLINOIS }  
COUNTY OF WILL }

THIS IS TO CERTIFY THAT I FIND NO DELINQUENT OR UNPAID CURRENT TAXES OR SPECIAL ASSESSMENTS AGAINST ANY OF THE REAL ESTATE DESCRIBED IN THE FOREGOING CERTIFICATES.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2005.

WILL COUNTY CLERK

TAX MAPPER

STATE OF ILLINOIS }  
COUNTY OF WILL }

I, \_\_\_\_\_, DIRECTOR OF THE TAX MAPPING AND PLATTING OFFICE DO HEREBY CERTIFY THAT I HAVE CHECKED THE PROPERTY DESCRIPTION ON THIS PLAT AGAINST AVAILABLE COUNTY RECORDS, AND FIND SAID DESCRIPTION TO BE TRUE AND CORRECT. THE PROPERTY HEREON DESCRIBED IS LOCATED ON TAX MAP # \_\_\_\_\_ AND IDENTIFIED AS PERMANENT REAL ESTATE TAX INDEX NUMBER (PIN) \_\_\_\_\_.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2005.

DIRECTOR

### CERTIFICATE OF COUNTY HIGHWAY

STATE OF ILLINOIS }  
COUNTY OF WILL }

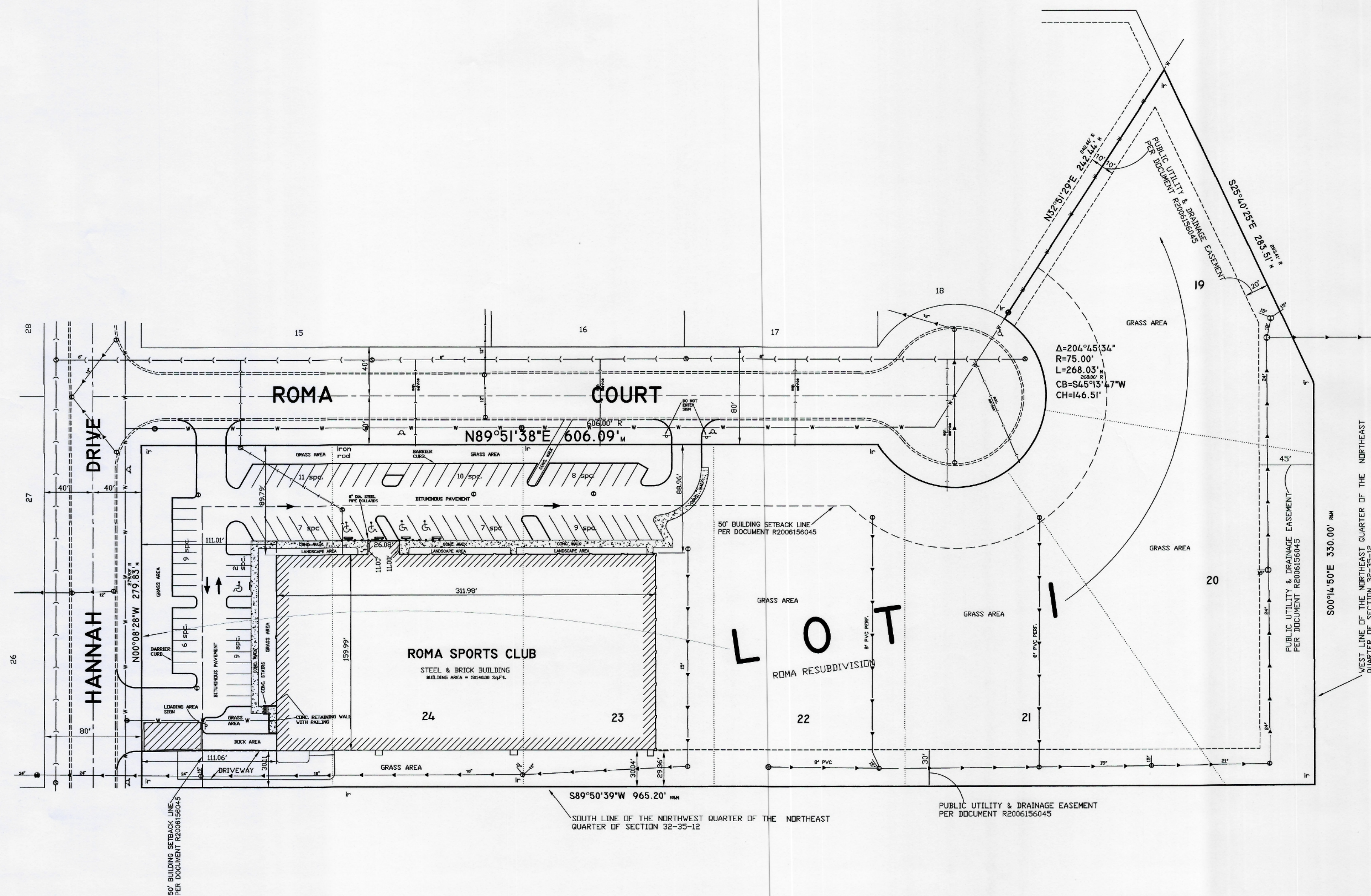
DIRECT ACCESS TO LARAWAY ROAD, COUNTY HIGHWAY 74 FROM LOTS 1, 2, 30 AND 31 IS PROHIBITED. APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2005. AS TO ROADWAY ACCESS TO COUNTY HIGHWAY 74, ALSO KNOWN AS LARAWAY ROAD.

WILL COUNTY ENGINEER

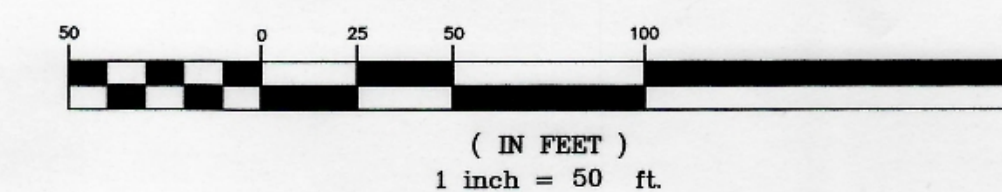


*By Christopher Gruba at 10:23 am, May 04, 2023*

LOT 1 IN ROMA RESUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 30, 2015, AS DOCUMENT R2015054429, IN WILL COUNTY, ILLINOIS.



GRAPHIC SCALE



**Know what's below.  
Call before you dig.**

CALL 48 HOURS BEFORE YOU DIG  
(EXCLUDING SAT., SUN. & HOL.)  
CALL 811 or 1-800-892-0123

NOTE:  
NO UTILITIES LOCATED ON THIS DRAWING  
FOR UTILITY INFORMATION CALL J.U.I.E.  
PRIOR TO ANY EXCAVATION.

LEGEND	
☆	EXIST. LIGHT POLE
⊗	EXIST. SANITARY MANHOLE
⊗	EXIST. FIRE HYDRANT
⊗	EXIST. POWER POLE
⊗	EXIST. MANHOLE
⊗	EXIST. STORM SEWER INLET
⊗	EXIST. WATER VALVE & VAULT
⊗	EXIST. WATER VALVE
W                      EXIST. WATER LINE	
→	EXIST. STORM SEWER LINE
→	EXIST. SAN SEWER LINE
=====	EXIST. CURB & GUTTER
-x-x-x-	EXIST. FENCE LINE
TS	EXIST. UTILITY POST/STAKE
---	EXIST. STREET GUARD RAIL
---	EXIST. BARBED C

ASSOCIATED SURVEYING GROUP, LLC

Illinois Prof. Design Firm No. 184-004973  
P.O. BOX 810 BOLINGBROOK, IL 60440  
PH (630) 759-0205 FAX (630) 759-9291

FIELDWORK DATE: 4-26-23  
CLIENT: ROMA SPORTS CLUB  
JOB NO.: 88839-23

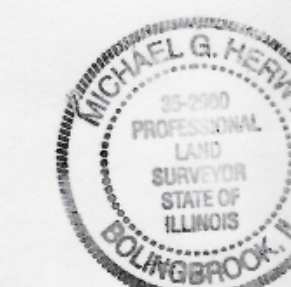
STATE OF ILLINOIS )  
COUNTY OF WILL ) SS

I, Michael G. Herwy, an Illinois Professional Land Surveyor, do hereby certify that "This professional service conforms to the current Illinois minimum standards for a boundary survey", and that the Plat hereon drawn is a correct representation of said survey.

Dated, this 3rd day of May, 2023 A.D., at Bolingbrook, IL

*Michael S. Harvey*  
Illinois Professional Land Surveyor No. 035-2900 License Expires 11-30-24

FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN  
HEREON REFER TO YOUR DEED, TITLE POLICY, ORDINANCE, ETC.





RECEIVED

By Christopher Gruba at 10:05 am, Aug 11, 2023

PRELIMINARY ENGINEERING PLANS

FOR

ROMA SPORTS CLUB

AT

9115 ROMA COURT

VILLAGE OF FRANKFORT

WILL COUNTY, ILLINOIS

INDEX

CIVIL ENGINEERING PLANS		REVISIONS						
		1	2	3	4	5	6	7
C-1	COVER SHEET							
C-2	GEOMETRIC PLAN	X						
C-3	GRADING AND UTILITY PLAN							
C-4	PROJECT DETAILS							
C-5	PROJECT SPECIFICATIONS							
SUPPORTING DOCUMENTS		REVISIONS						
		1	2	3	4	5	6	7
1 of 1	PLAT OF SURVEY							
L-1	LANDSCAPE PLAN	X						
1 of 2	PHOTOMETRIC PLAN							
2 of 2	PHOTOMETRIC PLAN							

NOTE: THE DESIGNS CONTAINED IN THE ABOVE PLANS AND SUPPORTING DOCUMENTS WERE PREPARED WITH THE UNDERSTANDING THAT THEY WOULD BE USED AS A WHOLE PLAN SET. EACH CONSTRUCTION DISCIPLINE IS TO USE ALL THE PLANS AND SUPPORTING DOCUMENTS TOGETHER AS A WHOLE AND NOT AS SEPARATE DOCUMENTS. EACH CONTRACTOR IS TO BECOME COMPLETELY FAMILIAR WITH THE WHOLE PLAN SET AND THE EXISTING SITE CONDITIONS. SHOULD ANYTHING WITH ALL THESE PLANS AND SUPPORTING DOCUMENTS BE INCONSISTENT WITH THE SITE CONDITIONS THEN THE CONTRACTOR IS TO CONTACT THE ENGINEER IMMEDIATELY BEFORE ANY CONSTRUCTION IS STARTED.

LOCATION MAP



LEGEND

DESCRIPTION	PROPOSED	DESCRIPTION	PROPOSED
CATCH BASIN		DEPRESSED CURB	
INLET		CONTOUR LINE	
STORM MANHOLE		FINISHED FLOOR ELEVATION	
SANITARY MANHOLE		PAVEMENT ELEVATION	
VALVE VAULT		MATCH EXISTING ELEVATION	
FIRE HYDRANT		GROUND ELEVATION	
FLARED END SECTION		TOP OF WALK ELEVATION	
OVERHEAD ELECTRIC WIRES		TOP OF RETAINING WALL ELEVATION	
TRANSFORMER PAD		FLOW LINE ELEVATION	
TELEPHONE PEDESTAL		TOP OF CURB ELEVATION	
TELEPHONE MANHOLE		RIM ELEVATION	
CABLE TELEVISION PEDESTAL		DOWNSPOUT LOCATION	
COMMONWEALTH EDISON MANHOLE		PERVIOUS AREA SLOPE DIRECTION	
B/BOX		PAVEMENT SLOPE DIRECTION	
LIGHT POLE		OVERLAND OVERFLOW DIRECTION	
SIGN		INLET PROTECTION	
BOLLARD POLE		INLET BASKET FILTER	
WATER MAIN		WOOD FENCE	
GAS MAIN		CHAIN LINK FENCE	
ELECTRIC LINE		METAL GUARDRAIL	
TELEPHONE LINE		CONCRETE SURFACE	
CABLE TV LINE			
SANITARY SEWER			
STORM SEWER			
GUY POLE			

EXISTING	
☆	EXIST. LIGHT POLE
⊙	EXIST. SANITARY MANHOLE
⊕	EXIST. FIRE HYDRANT
⊖	EXIST. POWER POLE
⊗	EXIST. MANHOLE
⊕	EXIST. STORM SEWER INLET
⊕	EXIST. WATER VALVE & VAULT
⊕	EXIST. WATER VALVE
—	EXIST. WATER LINE
—	EXIST. STORM SEWER LINE
—	EXIST. SAN SEWER LINE
—	EXIST. CURB & GUTTER
—	EXIST. BARRIER CURB
—	EXIST. FENCE LINE
⊕	EXIST. UTILITY PEDESTAL
—	EXIST. STEEL GUARD RAIL
⊕	DECIDUOUS TREE

BENCHMARK

REFERENCE BENCHMARK  
NAVD 88

VILLAGE OF FRANKFORT CONTROL MONUMENT STATION NAME 934 LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION AT CENTER ROAD AND STEGER ROAD. TOP OF IRON ROD IN PVC PIPE.  
ELEVATION = 785.26

SITE BENCHMARKS

1. TOP OF CUT CROSS IN CURB AT EXISTING FIRE HYDRANT LOCATED ON SOUTH SIDE OF ROMA COURT APPROXIMATELY 230 FEET EAST OF HANNAH DRIVE. ELEVATION = 758.76

2. TOP OF ARROW BOLD AT EXISTING FIRE HYDRANT LOCATED ON SOUTH SIDE OF ROMA COURT APPROXIMATELY 486 FEET EAST OF HANNAH DRIVE. ELEVATION = 762.89

Know what's Below.  
Call before you dig.



STATE OF ILLINOIS) SS  
COUNTY OF KANE)

I, JEFFREY C. MILLER, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE CIVIL ENGINEERING PLANS, NOT THE SUPPORTING DOCUMENTS, AS LISTED IN THE INDEX, HAVE BEEN PREPARED BY WATERMARK ENGINEERING RESOURCES, LTD. UNDER MY PERSONAL DIRECTION. THESE PLANS ARE INTENDED TO BE USED AS AN INTEGRAL PART OF THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

CHECKED BY: J. MILLER  
DESIGN BY: R. ERSFELDT  
DRAWN BY: R. ERSFELDT  
DATE: JULY 18, 2023  
SCALE: NONE  
PROJECT NO.: 23-017

ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 62-045858.  
MY LICENSE EXPIRES ON 11-30-23.

UNLESS THIS DOCUMENT BEARS ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE DESIGN ENGINEER, IT IS NOT A VALID DOCUMENT.

ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.002989

COVER SHEET

C-1

COVER SHEET



The diagram illustrates two pavement cross-sections. The top section, labeled 'SIDEWALK', consists of a 5" P.C.C. (SIX BAG MIX) layer, a 4" BASE COURSE, CRUSHED STONE OR LIMESTONE (CA-6) layer, and a COMPACTED SUB-BASE layer. The bottom section, labeled 'STANDARD DUTY', consists of a 1 1/2" HOT-MIX ASPHALT SURFACE COURSE, MIX "C" (IL-3.5, N50; PG 64-22) layer, a 2" HOT-MIX ASPHALT BINDER COURSE, (IL-19, N50; PG 64-22) layer, a 10" BASE COURSE, CRUSHED STONE OR LIMESTONE (CA-6) layer, and a COMPACTED SUB-BASE layer.

**SIDEWALK**

- 5" P.C.C. (SIX BAG MIX)
- 4" BASE COURSE, CRUSHED STONE OR LIMESTONE (CA-6)
- COMPACTED SUB-BASE

**STANDARD DUTY**

- 1 1/2" HOT-MIX ASPHALT SURFACE COURSE, MIX "C" (IL-3.5, N50; PG 64-22)
- 2" HOT-MIX ASPHALT BINDER COURSE, (IL-19, N50; PG 64-22)
- 10" BASE COURSE, CRUSHED STONE OR LIMESTONE (CA-6)
- COMPACTED SUB-BASE

1. REFERENCE I.D.O.T. STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 406 FOR BINDER & SURFACE COURSES AND SECTION 351 FOR AGGREGATE BASE COURSE.
2. THE APPLICATION RATES FOR THE PRIME COAT AND TACK COAT ARE TO BE 0.30 AND 0.10 GALLONS PER SQUARE YARD, RESPECTIVELY.
3. SEE PROJECT SPECIFICATIONS FOR SUB-BASE AND BASE COURSE COMPACTION.
4. ALL CONCRETE FLATWORK TO INCLUDE A JOINTING PATTERN SUBMITTAL TO THE CONSTRUCTION MANAGER. CONTRACTOR TO STAY AS CLOSE TO 9'x9' SQUARE PANELS IN LARGE CONCRETE FLATWORK AREAS AS POSSIBLE.
5. FOR SIDEWALKS, PROVIDE TOOLED JOINTS AT 5' O.C., CONTRACTION JOINTS AT 15' O.C., EXPANSION JOINTS AT 45' O.C.
6. PROVIDE AN EXPANSION JOINT ADJACENT TO ALL STRUCTURES. THESE JOINTS SHOULD BE SEALED WITH A TOOL-FINISHED SILICONE SEALANT PER I.D.O.T. STANDARD.

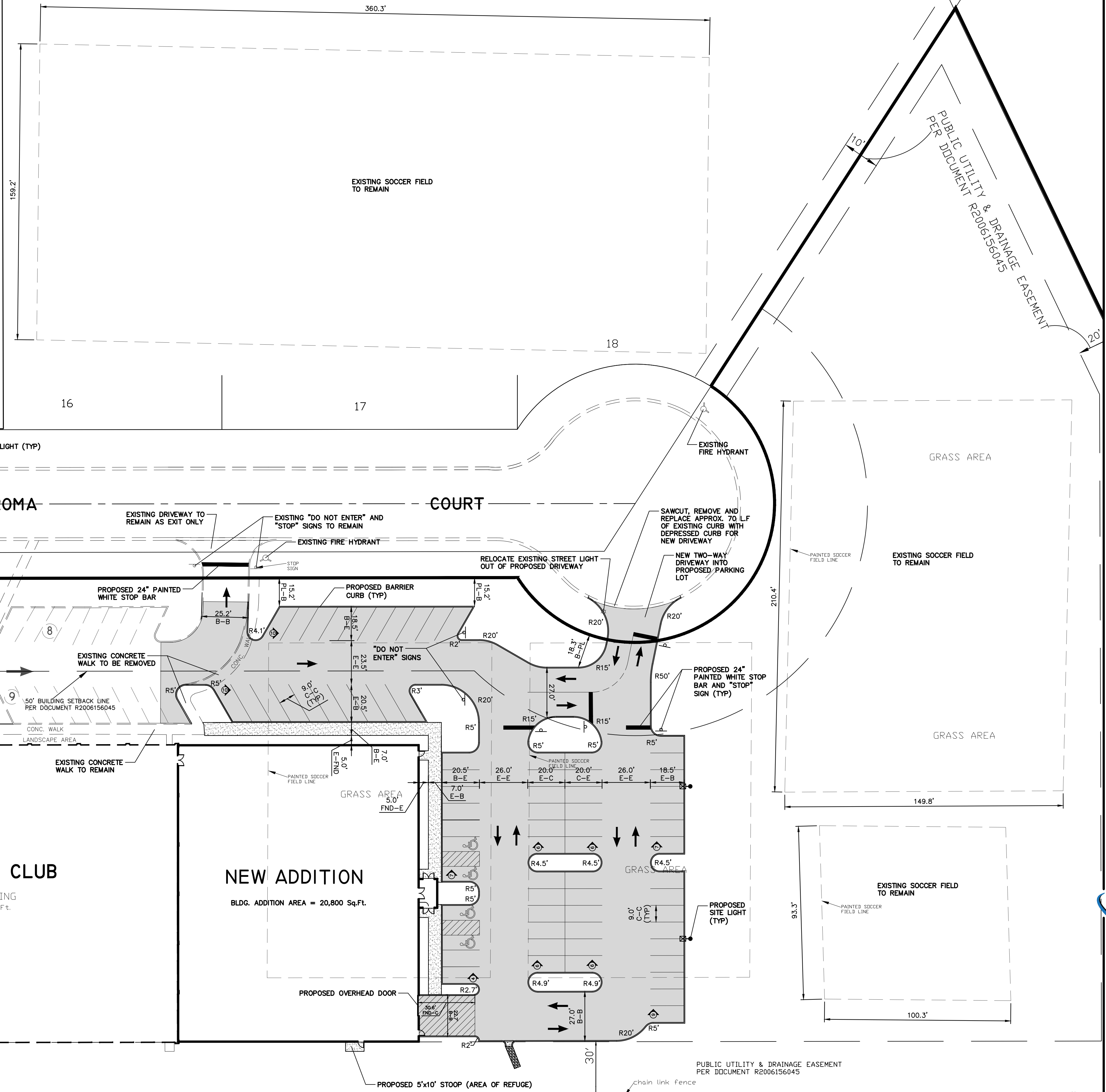
EXISTING REGULAR SPACES	73
<u>EXISTING ADA ACCESSIBLE SPACES</u>	<u>5</u>
TOTAL EXISTING SPACES	78
PROPOSED REGULAR SPACES	67
<u>PROPOSED ADA ACCESSIBLE SPACES</u>	<u>4</u>
TOTAL PROPOSED SPACES	71

1 SPACE/4 PATRONS PLUS 1 SPACE/EMPLOYEE DURING THE  
LARGEST WORK SHIFT =  $(495/4) + (3) = 127$  SPACES

1 SPACE/10,000 S.F. OF GROSS (SOCCER FIELD) LAND AREA  
TOTAL SOCCER FIELD LAND AREA = 98,237 S.F.  
REQUIRED PARKING = 10 SPACES

\*TOTAL PROVIDED PARKING = 149 SPACES

ZONING	=	I-1
TOTAL LOT AREA	=	312,836 S.F. (7.18 AC.)
TOTAL IMPERVIOUS AREA	=	145,973 S.F. (3.35 AC.)(46%)(INCLUDES EXISTING AND PROPOSED)
PERVIOUS AREA	=	166,863 S.F. (3.83 AC.)(54%)(INCLUDES EXISTING AND PROPOSED)
BUILDING AREA	=	70,940 S.F. (INCLUDES EXISTING AND PROPOSED)
F.A.R.	=	0.22
MAXIMUM TOTAL OCCUPANCY FOR BOTH THE EXISTING BUILDING AND THE BUILDING ADDITION	=	495
MAXIMUM # OF EMPLOYEES FOR BOTH THE EXISTING BUILDING AND THE BUILDING ADDITION AT ONE TIME	=	3



1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY  
(SURVEY PROJECT #88839-23 DATED 06/14/23)  
PREPARED BY: ASSOCIATED SURVEYING GROUP, LLC.  
1 PALOS COURT, BOLINGBROOK, IL 60440  
(630) 759-0205

2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

1. PROPOSED IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE EXISTING CONDITIONS AS SHOWN.
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

F = FACE	FNC = FENCE
FND = FOUNDATION	R = RADIUS
B = BACK	C = CENTER
E = EDGE	PL = PROPERTY LINE



## GEOMETRIC PLAN

[illegible]

Prepared By:



DESIGNED BY: R. ERSFELDT  
DRAWN BY: R. ERSFELDT  
DATE: JULY 18, 2023  
SCALE: 1" = 30'  
PROJECT NO.: 23-017

C-2

## GEOMETRIC PLAN

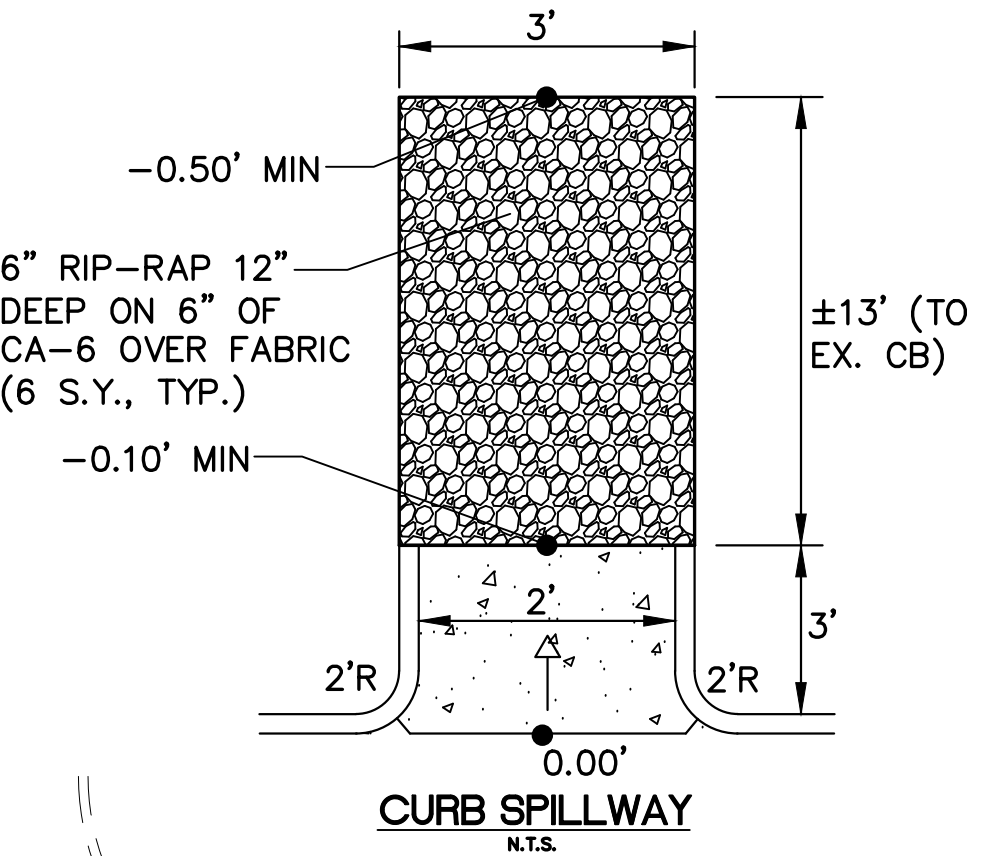


REFERENCE BENCHMARK  
NAVD 88

VILLAGE OF FRANKFORT CONTROL MONUMENT STATION NAME  
934 LOCATED AT THE NORTHEAST CORNER OF THE  
INTERSECTION AT CENTER ROAD AND STEGER ROAD. TOP OF  
IRON ROD IN PVC PIPE. ELEVATION = 785.26

SITE BENCHMARKS

1. TOP OF CUT CROSS IN CURB AT EXISTING FIRE HYDRANT  
LOCATED ON SOUTH SIDE OF ROMA COURT APPROXIMATELY  
230 FEET EAST OF HANNAH DRIVE. ELEVATION = 758.76
2. TOP OF ARROW BOLD AT EXISTING FIRE HYDRANT LOCATED  
ON SOUTH SIDE OF ROMA COURT APPROXIMATELY 486 FEET  
EAST OF HANNAH DRIVE. ELEVATION = 762.89

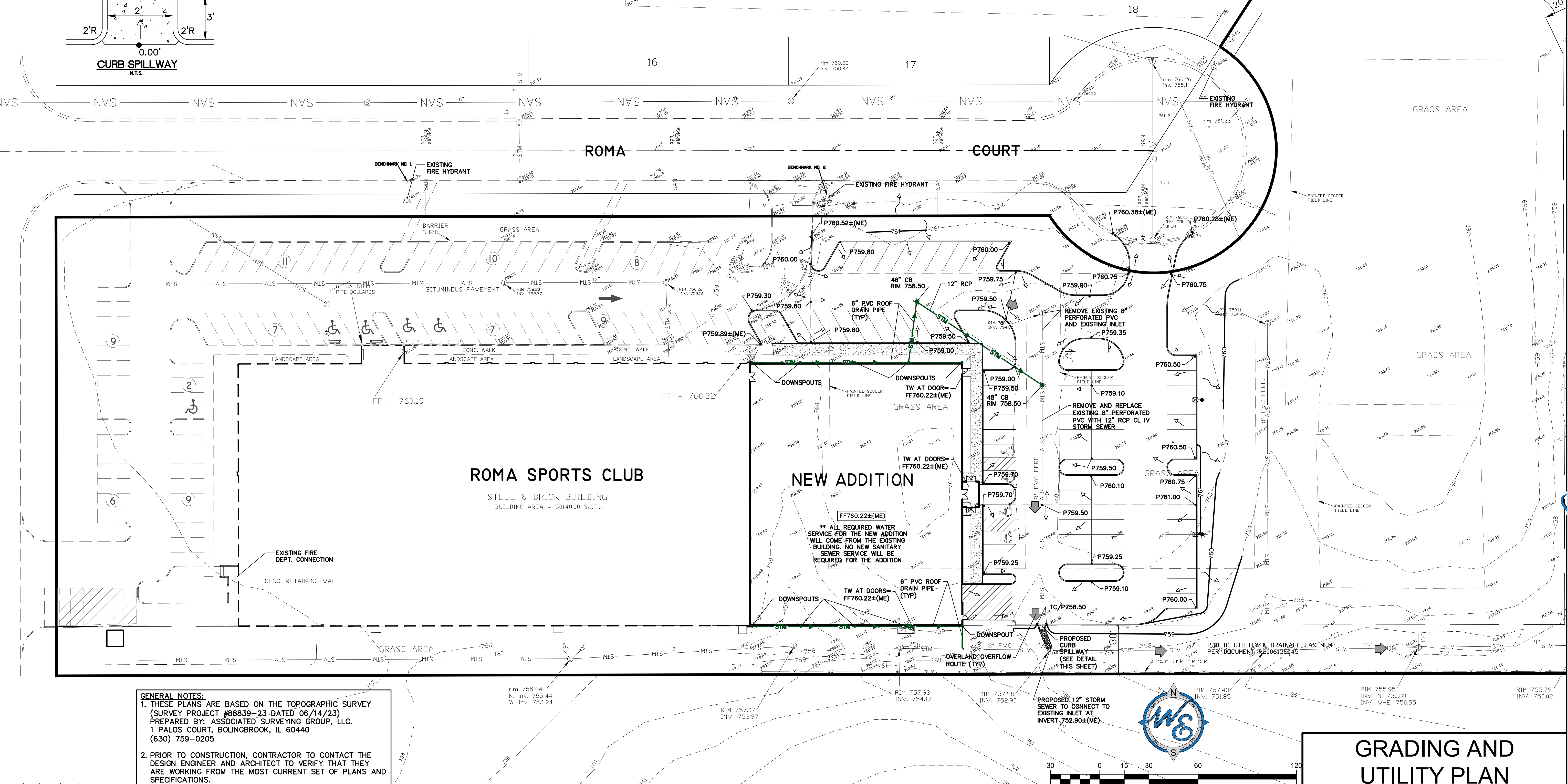


GRADING AND UTILITY PLAN NOTES:

1. UNLESS OTHERWISE SPECIFIED, TOP OF CURB (TC) AND/OR TOP OF WALK ELEVATIONS ARE 0.5' HIGHER THAN THE ADJACENT FLOW LINE (FL) OR PAVEMENT (P) ELEVATIONS.
2. IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS  $\pm$ , THE ELEVATION HAS BEEN DETERMINED BASED ON INTERPOLATED GRADES FROM THE SURVEY. CONTRACTOR IS TO VERIFY THESE GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES AND REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE  $\pm$  GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.
3. PAVING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO WEED HOLES, WICKS, DRAINAGE SCUPPERS OR PIPES, AND LANDSCAPING.
4. ALL RETAINING AND/OR DECORATIVE LANDSCAPE WALLS OR CURBS SHOWN ON THIS PLAN, INCLUDING DETAILS AND SECTIONS, ARE TO ILLUSTRATE GENERAL LOCATION, LENGTH, AND HEIGHT. STRUCTURAL DESIGN, INCLUDING PROPER DRAINAGE, TIE-BACKS, AND SHORING AS WELL AS CONSTRUCTION MEANS ARE NOT ADDRESSED AS PART OF THESE PLANS. A STRUCTURAL ENGINEER SHOULD BE ENGAGED BY THE GENERAL CONTRACTOR AS THEY DEEM NECESSARY. WATERMARK ENGINEERING RESOURCES ASSUMES NO LIABILITY FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURAL ELEMENT.
5. PRIOR TO CONSTRUCTION OF ANY UTILITIES, CONTRACTOR IS TO VERIFY THAT THE PROPOSED UTILITIES SHOWN ON THIS PLAN THAT ENTER THE PROPOSED BUILDING(S) CORRESPOND WITH THE UTILITIES ON THE PLUMBING PLANS AS THEY EXIT THE BUILDING(S). CONTRACTOR TO REPORT IN WRITING ANY DISCREPANCIES IN SIZE, LOCATION, OR INVERT ELEVATION TO THE DESIGN ENGINEER IMMEDIATELY FOR RESOLUTION OF THE CONFLICT IN WRITING.
6. GENERAL CONTRACTOR TO COORDINATE THE INSTALLATION AND PERMITTING OF THE PUBLIC UTILITIES, SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE AND FIBER OPTICS, WITH THE PUBLIC UTILITY COMPANIES AND ARCHITECT PRIOR TO CONSTRUCTION. THE INSTALLATION OF THE PUBLIC UTILITIES AND NECESSARY SLEEVING TO BE INCLUDED AS PART OF GENERAL CONTRACTOR'S SCOPE OF WORK FOR THIS PROJECT.

STORMWATER SUMMARY:

PER THE "ROMA SPORTS COMPLEX" CIVIL ENGINEERING PLANS PREPARED BY MCBRIDE ENGINEERING, INC. DATED 2-5-15, THE DRAINAGE FOR THE AREA THAT IS NOW THE PROPOSED BUILDING ADDITION AND PARKING LOT WAS ORIGINALLY DESIGNED TO DRAIN INTO THE EXISTING PERFORATED PVC PIPES BETWEEN THE EXISTING SOCCER FIELDS AND EVENTUALLY TO THE EXISTING 15" STORM - SEWER THAT IS LOCATED IN THE DRAINAGE EASEMENT ALONG THE EAST AND SOUTH SIDES OF THE SITE. THE EXISTING 15" STORM SEWER ULTIMATELY OUTLETS TO THE EAST AND INTO AN EXISTING DETENTION FACILITY PROVIDED ON LOT 6 OF THE EAST POINT PARK SUBDIVISION. THE PROPOSED PLANS FOR THE BUILDING ADDITION AND NEW PARKING LOT MEET THE ORIGINAL DESIGN INTENT AS SHOWN.

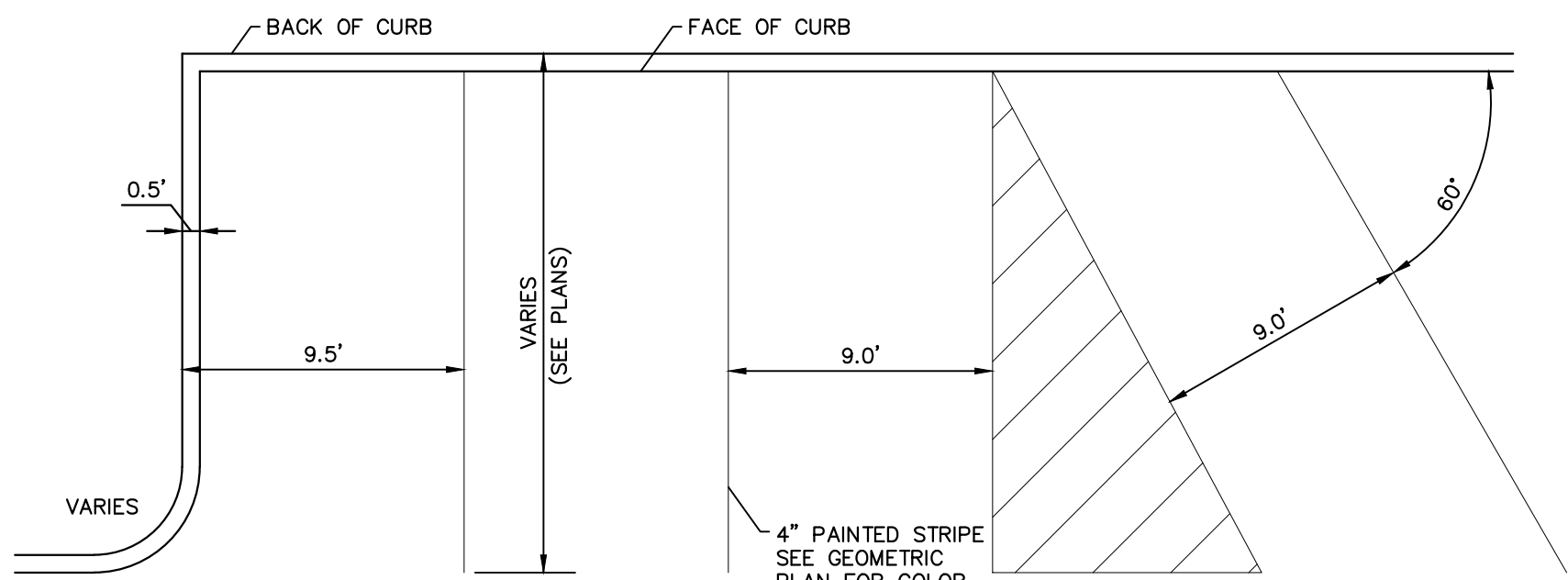


GENERAL NOTES:

1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #88839-23, DATED 06/14/23) PREPARED BY: ASSOCIATED SURVEYING GROUP, LLC. 1 PALOS COURT, BOLINGBROOK, IL 60440 (630) 759-0205
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

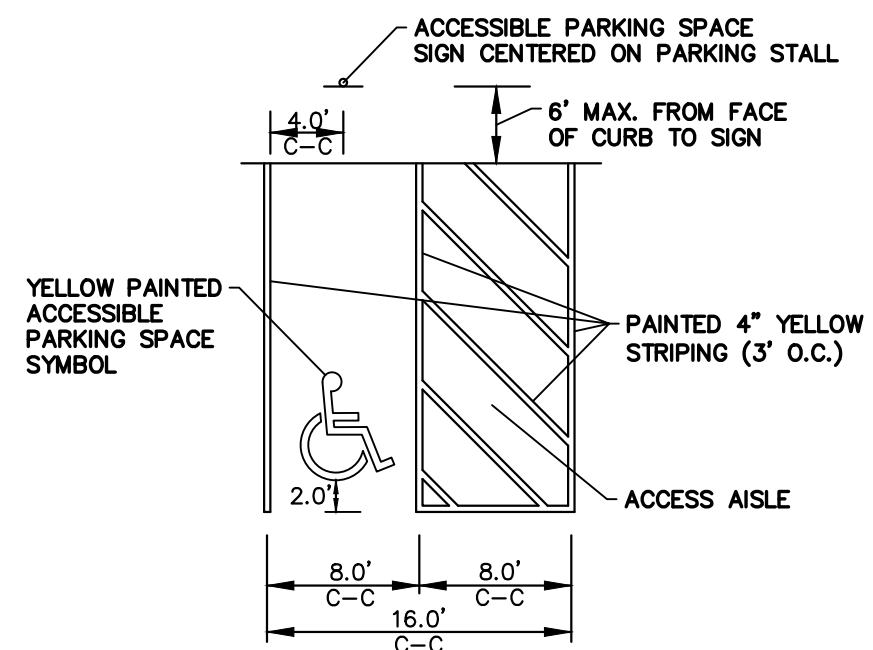
DATE	8/10/2023
REVISIONS	NO REVISIONS
NO	1
Prepared For:	XPRESS HOLDINGS, LLC. 9115 Roma Court Frankfort, IL 60423 ROMA SPORTS COMPLEX 9115 Roma Court Frankfort, Illinois 60423
Prepared By:	
watermark-engineering.com   2631 Ginger Woods Pkwy   Aurora, IL 60502   (630) 375-1800	
CHECKED BY: J. MILLER	
DESIGN BY: R. ERSFELDT	
DRAWN BY: R. ERSFELDT	
DATE: JULY 18, 2023	
SCALE: 1" = 30'	
PROJECT NO.: 23-017	
C-3	



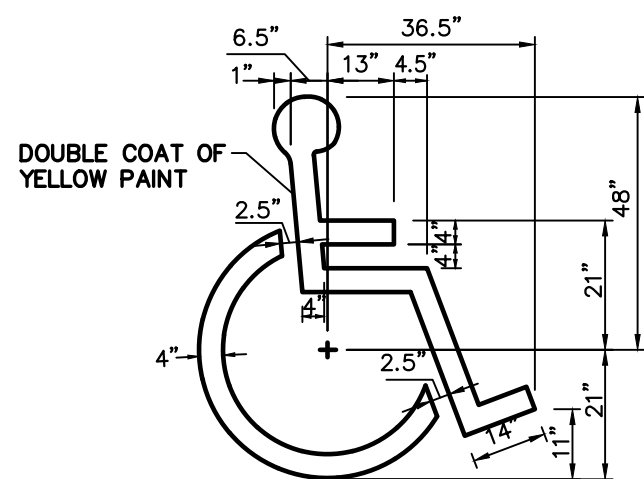


- NOTES:
1. PARKING STALLS ARE 9' APART, STARTING FROM FACE OF CURB TO PAINTED STRIPE.
  2. FACE OF CURB DIMENSION IS 6" FROM BACK OF CURB. THE EDGE OF PAVEMENT IS 12" FROM FACE OF CURB.

### PARKING STALLS WITH BARRIER CURB (TYP.)

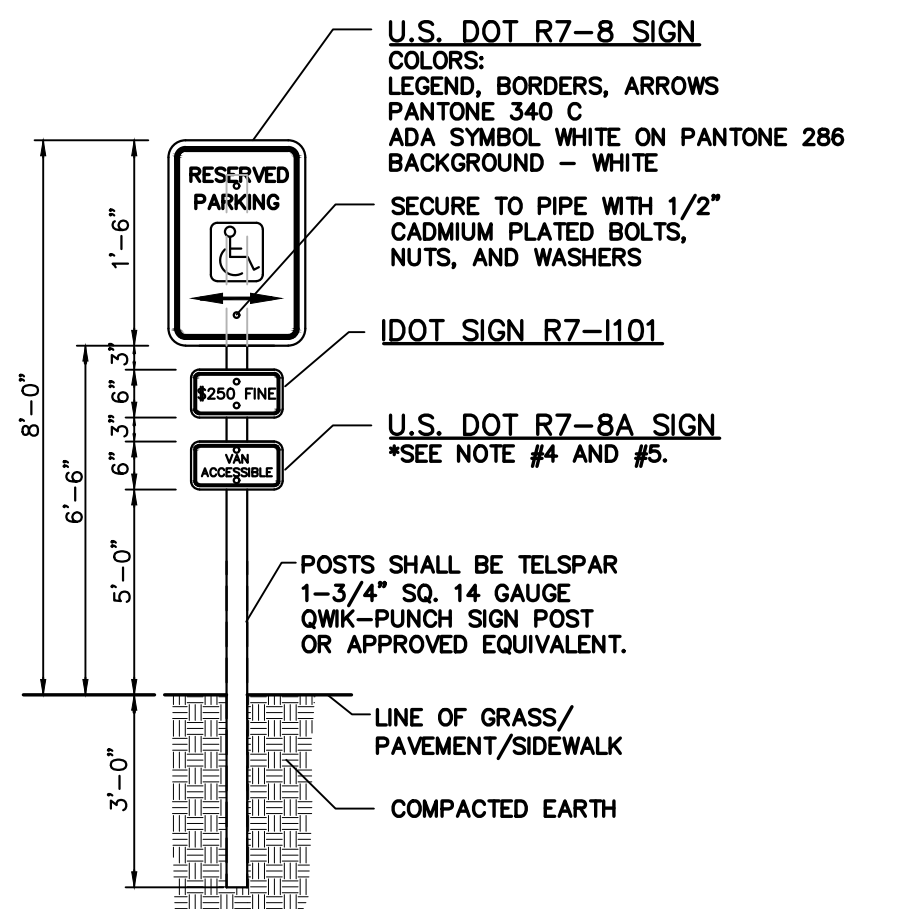


### ACCESSIBLE PARKING SPACE DETAIL



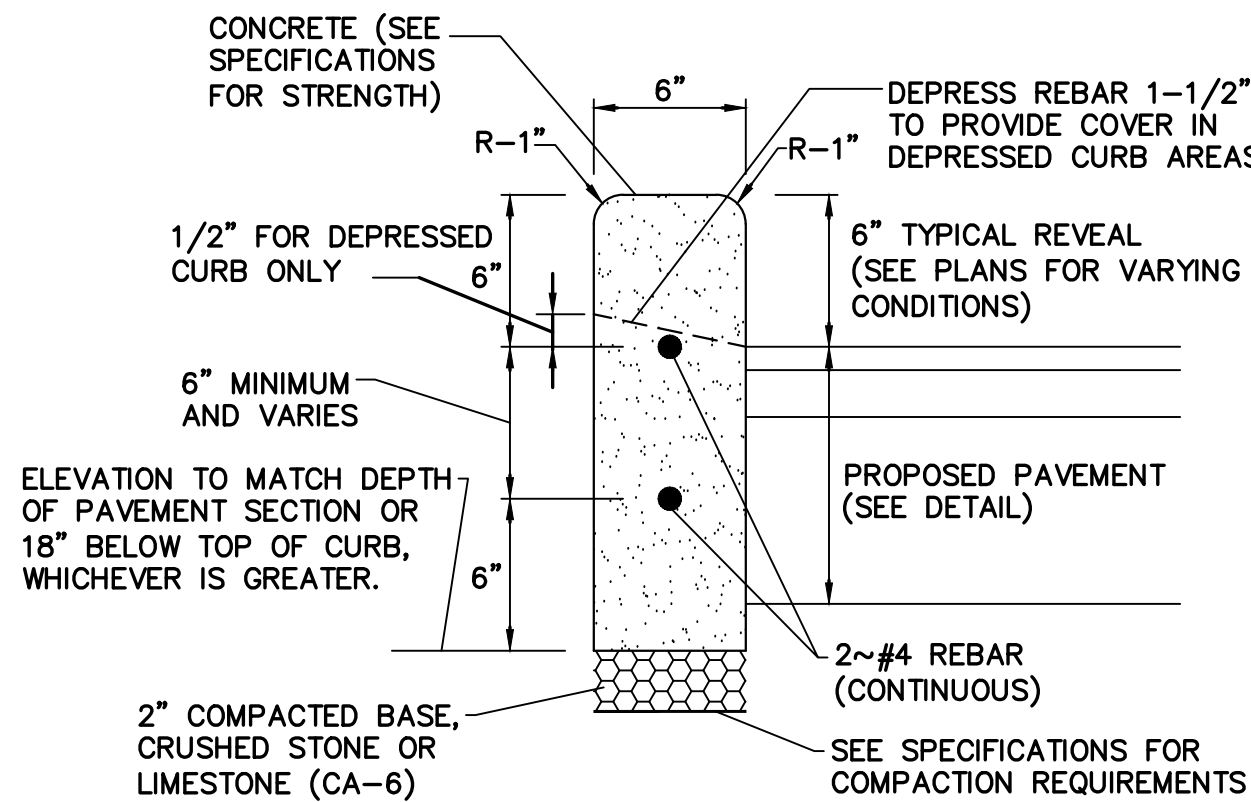
### ACCESSIBLE PARKING SPACE SYMBOL

1. SYMBOL IS CENTERED ON WIDTH OF PARKING STALL AND 2' FROM THE END OF THE STALL.



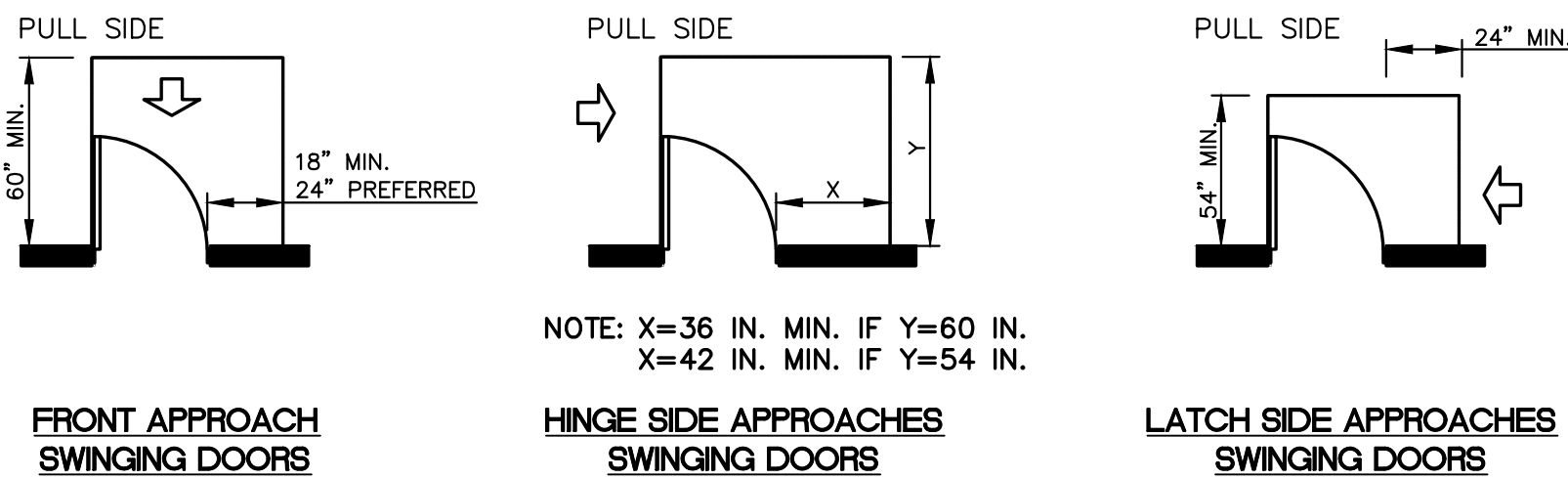
1. WHERE A FINE IN EXCESS OF \$250 IS ESTABLISHED BY A MUNICIPALITY BY ORDINANCE IN ACCORDANCE WITH THE STATUTES, THE ACTUAL AMOUNT OF THE FINE SHOULD BE SHOWN. THIS PLATE MAY BE MOUNTED DIRECTLY BELOW THE R7-8 SIGN OR COMBINED WITH THAT SIGN ON A SINGLE 12 INCH BY 24 INCH PANEL.
3. ON THE RESERVED PARKING SIGN, THE ARROW SHOULD BE OMITTED WHERE THERE IS ONLY ONE SPACE. THE ARROW MAY ALSO BE MADE TO POINT IN ONLY ONE DIRECTION. THE ARROW MAY ALSO BE REPLACED BY "TIME" SUCH AS 9 AM-5 PM WHERE A PART TIME RESTRICTION EXISTS.
4. ONE IN EVERY SIX ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE 8 FEET WIDE MINIMUM AND SHALL BE DESIGNATED "VAN ACCESSIBLE".
5. THE LOWEST BOTTOM EDGE OF THE LOWEST REQUIRED SIGN SHALL BE MOUNTED AT 60" ABOVE FINISHED GRADE.
6. COLORS FOR BOTH IDOT SIGN R7-1101 AND USDOT R7-8A, LEGEND, BORDERS AND ARROWS TO BE GREEN, NON-REFLECTORIZED (PANTONE 340C) BACKGROUND-WHITE REFLECTORIZED

### ACCESSIBLE PARKING SPACE SIGN DETAIL

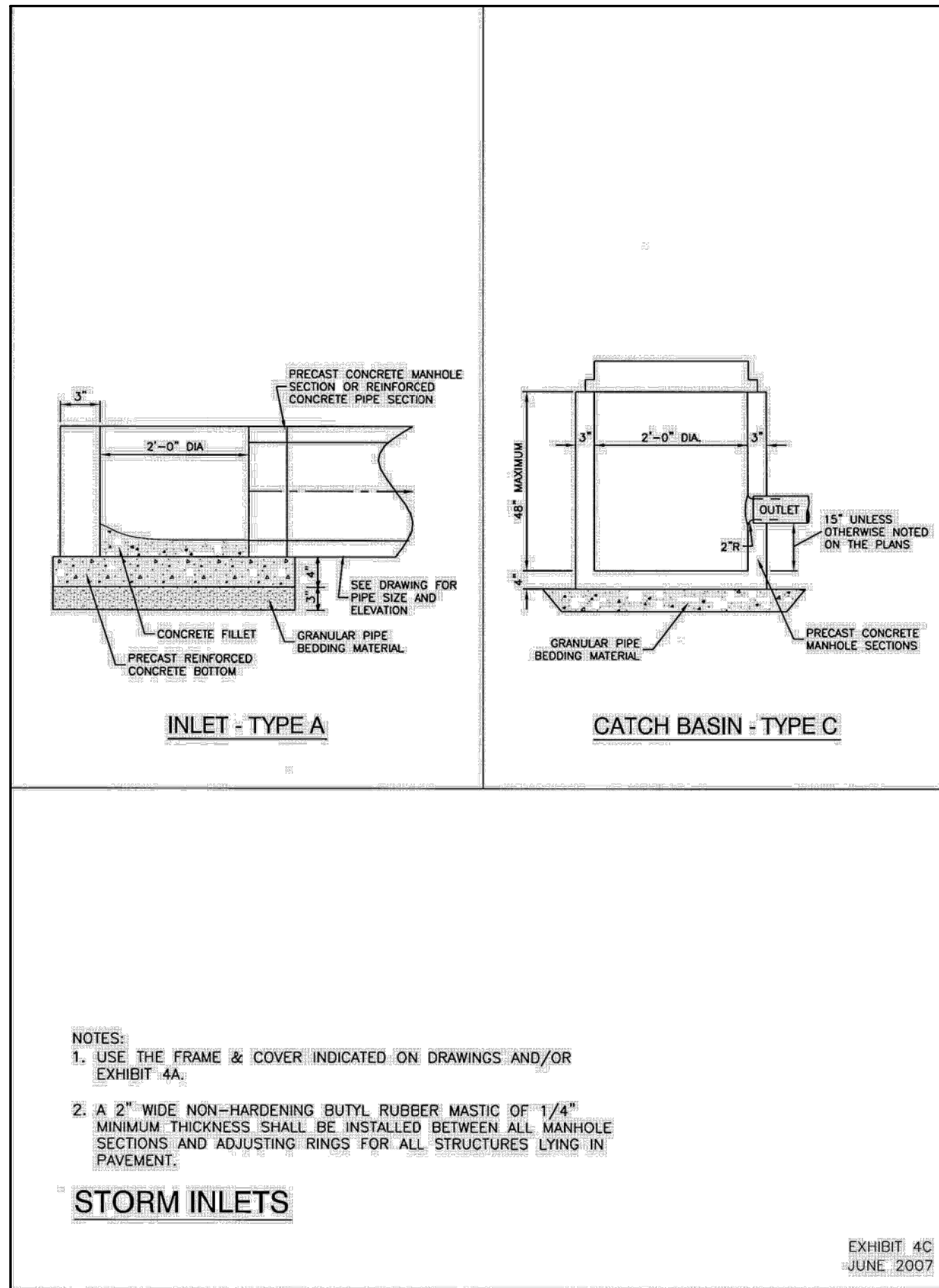


### TYPE "C" BARRIER CURB

1. PROVIDE 1/2" EXPANSION JOINTS EVERY 45' O.C.
2. PROVIDE HAND TOOLED CONTRACTION JOINTS EVERY 15' O.C.



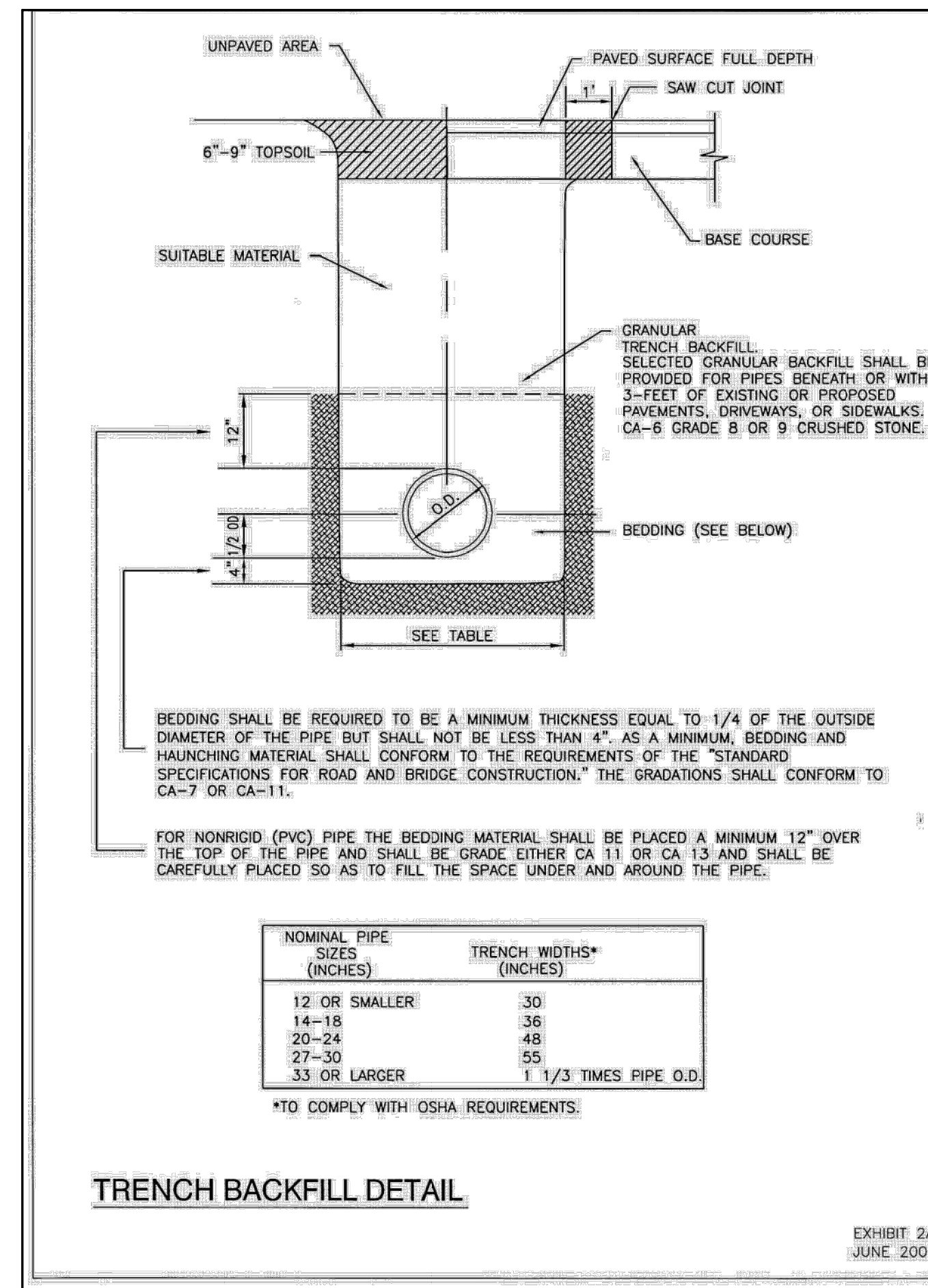
### TYPICAL ACCESSIBLE LANDING AREA DETAIL



- NOTES:
1. USE THE FRAME & COVER INDICATED ON DRAWINGS AND/OR EXHIBIT 4A.
  2. A 2" WIDE NON-HARDENING BUTYL RUBBER MASTIC OF 1/4" MINIMUM THICKNESS SHALL BE INSTALLED BETWEEN ALL MANHOLE SECTIONS AND ADJUSTING RINGS FOR ALL STRUCTURES LYING IN PAVEMENT.

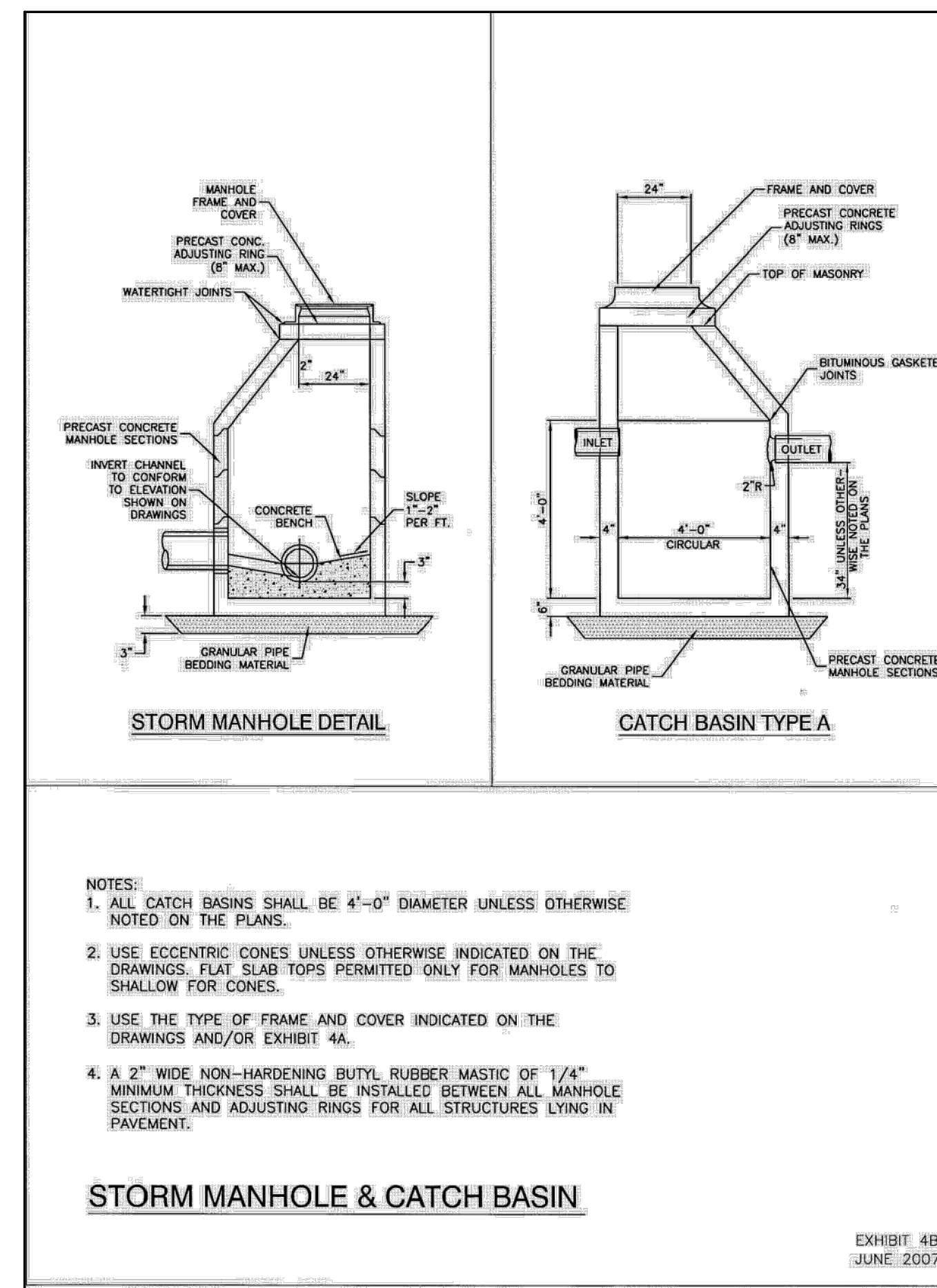
### STORM INLETS

EXHIBIT 4C  
JUNE 2007



### TRENCH BACKFILL DETAIL

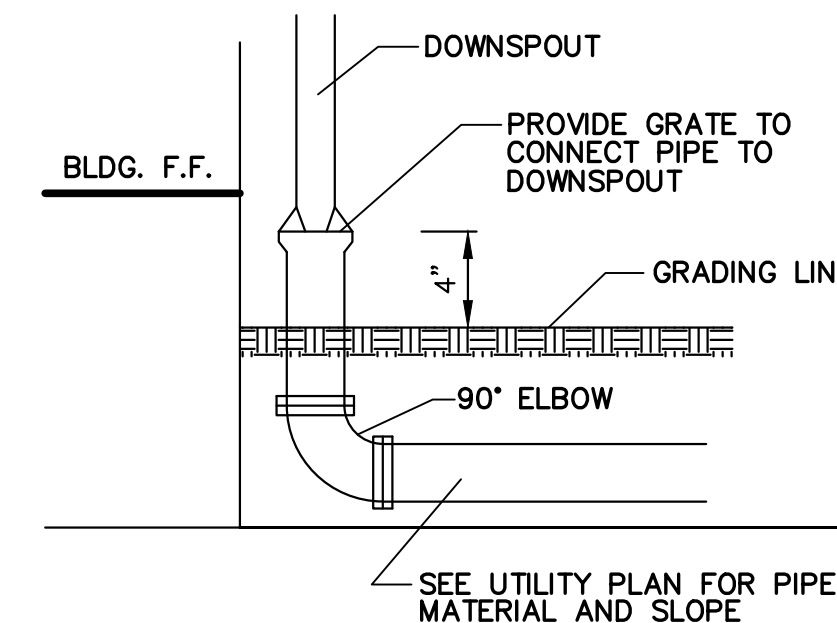
EXHIBIT 2A  
JUNE 2007



- NOTES:
1. ALL CATCH BASINS SHALL BE 4'-0" DIAMETER UNLESS OTHERWISE NOTED ON THE PLANS.
  2. USE ECCENTRIC CONES UNLESS OTHERWISE INDICATED ON THE DRAWINGS. FLAT SLAB TOPS PERMITTED ONLY FOR MANHOLES TO SHALLOW FOR CONES.
  3. USE THE TYPE OF FRAME AND COVER INDICATED ON THE DRAWINGS AND/OR EXHIBIT 4A.
  4. A 2" WIDE NON-HARDENING BUTYL RUBBER MASTIC OF 1/4" MINIMUM THICKNESS SHALL BE INSTALLED BETWEEN ALL MANHOLE SECTIONS AND ADJUSTING RINGS FOR ALL STRUCTURES LYING IN PAVEMENT.

### STORM MANHOLE & CATCH BASIN

EXHIBIT 4B  
JUNE 2007



### DOWNSPOUT CONNECTION DETAIL

## PROJECT DETAILS

DATE	8/10/2023
REVISIONS	NO REVISIONS
NO.	1
Prepared For:	XPRESS HOLDINGS, LLC. 9115 Roma Court Frankfort, IL 60423 ROMA SPORTS COMPLEX 9115 Roma Court Frankfort, Illinois 60423
Prepared By:	
Checked By:	J. MILLER
Design By:	R. ERSFELDT
Drawn By:	R. ERSFELDT
Date:	JULY 16, 2023
Scale:	NONE
Project No.:	23-017
watermark-engineering.com	1 2631 Ginger Woods Pkwy   Aurora, IL 60502   (630) 375-1800
PROJECT DETAILS	C-4



PROJECT SPECIFICATIONS

1. CONTRACTOR IS TO FOLLOW ALL ORDINANCES AND REQUIREMENTS OF THE STATE, COMMUNITY, LOCAL DISTRICTS AND THE ILLINOIS ACCESSIBILITY CODE (IAC). ALL PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS WELL AS THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS" CURRENT EDITIONS.
2. THE CONTRACTOR SHALL INDEMNIFY WATERMARK ENGINEERING RESOURCES, LTD (THE DESIGN ENGINEER), ARCHITECT AND OWNER, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONDUCTING WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS, AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THIS DEVELOPMENT.
3. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS THAT ARE REQUIRED BY THE LOCAL AGENCIES.
4. PRIOR TO BID AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL INSPECT THE SITE TO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE PLANS AND THE ACTUAL CONDITIONS AT THE SITE. IF ANY DISCREPANCIES ARE FOUND, AT ANY TIME BEFORE OR DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY (BEFORE ANY ADDITIONAL IMPROVEMENTS ARE INSTALLED) IN ORDER TO OBTAIN WRITTEN CONFIRMATION BY THE DESIGN ENGINEER AS TO ANY REVISIONS THAT MAY NEED TO BE MADE TO THE PLANS.
5. PRIOR TO CONSTRUCTION, CONTRACTOR IS TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.
6. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER, ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION, AND ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION 2 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE APPROPRIATE CONSTRUCTION INSPECTIONS.
7. THE MUNICIPALITY SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE IMPROVEMENTS.
8. PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS, THE CONTRACTOR MUST CALL J.U.L.I.E. FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES (GAS, ELECTRIC, TELEPHONE) AT 1-800-892-0123, 48 HOURS PRIOR TO DIGGING.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS PER THE MUNICIPALITY AND/OR ANY OTHER AGENCY REQUIREMENTS. ANY CHANGES TO THE DRAWINGS MUST BE REPORTED TO THE DESIGN ENGINEER BEFORE WORK PROGRESSES.
10. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY THE MUNICIPALITY.
11. ALL QUANTITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. IF DISCREPANCIES OCCUR, THE CONTRACTOR IS TO CONTACT THE DESIGN ENGINEER IMMEDIATELY AND NO WORK IS TO BE DONE UNTIL APPROVED BY THE DESIGN ENGINEER.
12. ANY RESTORATION NEEDED BECAUSE OF CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR AT AN ADDITIONAL COST.
13. TRENCH BACKFILL MATERIAL, CRUSHED STONE OR Limestone (CA-6) IS REQUIRED UNDER AND WITHIN TWO FEET (2') OF SIDEWALKS AND PAVED AREAS. THIS BACKFILL SHALL BE IN SIX INCH (6") LIFTS AND COMPACTED TO 95% STANDARD PROCTOR.
14. CONTRACTOR IS TO PROVIDE ALL TEMPORARY SIGNAGE AS REQUIRED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION AND LOCAL MUNICIPALITIES.
15. ALL EXISTING DRAIN TILES THAT ARE ENCOUNTERED ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION OR REROUTED TO THE PROPOSED STORM SEWER SYSTEM.
16. RESTORATION OF EXISTING RIGHT-OF-WAYS IS TO BE COMPLETED WITH FOUR INCH (4") MINIMUM TOPSOIL AND SALT TOLERANT SOD UNLESS OTHERWISE NOTED.
17. THE WATER SYSTEM CANNOT BE SHUT DOWN WITHOUT CONSENT BY THE OWNER OF THE SYSTEM.
18. ALL FRAME ADJUSTMENTS SHALL BE MADE WITH PRE-CAST CONCRETE RINGS CONFORMING TO ASTM C-39 AND CANNOT EXCEED TWELVE INCHES (12").
19. FRAMES SHALL BE SET WITH #2 ST1K8 (OR EQUAL) MATERIAL TO PREVENT LEAKAGE.
20. THE REINFORCED CONCRETE SECTIONS SHALL BE LAID IN MORTAR, SEALED WITH EXTERNAL SEALING BANDS, OR SEALED USING MASTIC JOINT SEALER. WHEN MASTIC JOINT SEALER IS USED, THE MATERIAL SHALL COMPLETELY FILL THE JOINT AFTER THE UNITS HAVE BEEN BROUGHT TOGETHER.
21. STEPS IN STRUCTURES SHALL BE MADE OF COPOLYMER POLYPROPYLENE PLASTIC WITH CONTINUOUS ONE HALF INCH (1/2") GRADE SIXTY (60) STEEL REINFORCEMENT, STEP PSI-PF, AS MANUFACTURED BY M.A. INDUSTRIES, INC., OR APPROVED EQUAL. STEPS TO BE SPACED SIXTEEN INCHES (16") ON-CENTER.
22. ALL INSTRUMENTS ARE TO BE PROPERLY CALIBRATED PRIOR TO CONSTRUCTION USE.
23. ALL PARKING LOT LIGHT POLES ARE TO BE CONSTRUCTED AT THE INTERSECTION OF PARKING LOT STRIPING OR IN LANDSCAPE AREAS WITH A MINIMUM OF 2' CLEARANCE BETWEEN THE BACK OF CURB AND THE EDGE OF THE PARKING LOT LIGHT BASE UNLESS OTHERWISE SPECIFIED.
24. GENERAL CONTRACTOR TO BECOME FAMILIAR WITH AND APPLY THE ADA MINIMAL REQUIREMENTS AND REPORT TO ARCHITECT/DESIGN ENGINEER ANY DISCREPANCIES BEFORE CONSTRUCTION. THIS INCLUDES, BUT NOT LIMITED TO, TRANSITIONS TO EXISTING CONDITIONS.
25. CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR.
26. PAVING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO WEEP HOLES, WICKS, DRAINAGE SCUPPERS OR PIPES, AND LANDSCAPE.

PAVEMENT

1. ALL PAVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING REFERENCES AS THEY APPLY: STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION; MANUAL FOR STRUCTURAL DESIGN OF PORTLAND CEMENT CONCRETE PAVEMENT, ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION; DESIGN MANUAL, ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
2. ALL BASE COURSE AND SUB-BASE AREAS SHALL BE COMPACTED TO 95% STANDARD LABORATORY DENSITY, PER I.D.O.T. SECTION 301, BEFORE THE BASE COURSE MATERIALS ARE INSTALLED. THE SUB-BASE SHALL BE PROOF-ROLLED TO THE SATISFACTION OF THE ENGINEER, HIS AGENT, AND/OR THE SOILS ENGINEER. COMPACTION AND DENSITY TESTS SHALL BE TAKEN AT THE OWNER'S OPTION.
3. ALL CONCRETE TO BE MINIMUM 3500 PSI, SALT TOLERANT, 6 BAG MIX WITH A SPRAY ON SEALER.
4. EXPANSION AND CONTRACTION JOINTS SHALL BE TOOL FINISHED.
5. BINDER COURSE TO BE PLACED WHEN TEMPERATURE IS AT LEAST 40°F AND RISING. SURFACE COURSE TO BE PLACED WHEN TEMPERATURE IS AT LEAST 45°F AND RISING.
6. ALL PROPOSED PAVEMENT, SIDEWALKS, AND CURBS ARE TO BE CONSTRUCTED TO WITHIN A TOLERANCE OF 0.05' OF THE PROPOSED ELEVATIONS EXCEPT IN THE ACCESSIBLE STALLS OR ACCESSIBLE ROUTES.
7. PRIOR TO SEAL COATING, ALL ASPHALT AREAS ARE TO BE CLEAN AND DRY. ALL LOOSE MATERIALS ARE TO BE REMOVED. ALL GREASE TO BE REMOVED. ALL CRACKS ARE TO BE FILLED PER IDOT STANDARDS. ALL PAINTED STRIPING TO BE MODIFIED SHALL BE "BLACKED OUT" WITH BLACK PAINT (1 COAT MINIMUM, 2 COATS IF NECESSARY), ALLOWED TO THOROUGHLY DRY PER PAINT MANUFACTURER, PRIOR TO SEAL COATING. ALL AREAS THAT ARE ADJACENT TO THE SEAL COATED AREA ARE TO BE MASKED (I.E. SIDEWALKS, CONCRETE SURFACES, BRICK SURFACES, GUTTERS, CATCHBASINS/INLETS, ETC.) PRIOR TO SEAL COATING TO BE APPLIED. AIR TEMPERATURE TO BE 50°F AND RISING. APPLICATION RATE TO BE SUCH THAT ALL SURFACES OF THE ASPHALT BEING COATED IS THOROUGHLY COVERED IN ONE COAT. SPRAYING IS NOT ALLOWED. ALL SEAL COATING SHOULD BE APPLIED BY SQUEEGEE OR BRUSHES. THE BITUMINOUS SEAL COATING MATERIAL SHOULD NOT BE ALLOWED TO ENTER STORM SEWERS AND SHOULD BE ALLOWED TO DRY AT LEAST 18 HOURS PRIOR TO VEHICULAR USE. CRACK FILLER AND SEAL COATING MATERIALS ARE TO BE FREE OF COAL TAR.

STORM SEWER SPECIFICATIONS

1. ALL REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C-76 SPECIFICATIONS WITH ASTM C-443 FLAT GASKET JOINTS, OR ASTM C-361 "O-RING" JOINTS WHEN WATER MAIN QUALITY JOINTS ARE REQUIRED.
2. ALL PLASTIC PIPE SHALL BE P.V.C. WITH SDR26 WALL THICKNESS AND CONFORM TO D-3034 SPECIFICATIONS WITH ASTM D-3212 GASKET TYPE JOINTS.
3. ALL WATERMAIN QUALITY PLASTIC PIPE SHALL BE P.V.C. CONFORMING TO NSF STANDARD 14 AND: ASTM STANDARD D 2241 OR AWWA STANDARD C900 OR C905. JOINTING SHALL BE PRESSURE SLIP JOINTED. ELASTOMERIC SEALS (GASKETS) USED FOR PUSH-ON JOINTS SHALL COMPLY WITH ASTM STANDARD F477, AND SHALL BE PRESSURE RATED IN ACCORDANCE WITH ASTM D3139 OR ASTM D 3212.
4. ALL STRUCTURE LIDS SHALL BE IMPRINTED "STORM".
5. ALL FRAMES AND LIDS SHALL CONFORM TO ASTM A-48.
6. ALL SEWERS ARE TO BE INSTALLED FROM THE DOWNSTREAM END UPSTREAM. IF ANY CONFLICTS OR INFORMATION INCONSISTENT WITH SITE CONDITIONS ARE ENCOUNTERED, THE DESIGN ENGINEER IS TO BE CONTACTED PRIOR TO THE INSTALLATION OF ANYTHING.
7. IN PAVED AREAS, ALL FRAMES AND LIDS SHALL BE: NEENAH R-2050 OR R-2502 WITH TYPE D GRATE AT LOW POINTS; OR NEENAH R-3261-A IN CURB AND GUTTER; OR NEENAH R-1550-A WITH SOLID LID, UNLESS OTHERWISE SPECIFIED.
8. IN NON-PAVED AREAS, ALL FRAMES AND LIDS SHALL BE: NEENAH R-2090 OR R-2060 WITH TYPE B GRATE AT LOW POINTS; OR NEENAH R-1550-A WITH SOLID LID, UNLESS OTHERWISE SPECIFIED.
9. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER.
10. ALL FLARED END SECTIONS (FES) ARE TO BE INSTALLED WITH TRASH GRATES.

GRADING

1. GEOTECHNICAL REPORTS AS PREPARED BY OWNER (OR REPRESENTATIVE) SHALL BE REFERRED TO PRIOR TO EARTH MOVING AND/OR UTILITY CONSTRUCTION.
2. UNSTABLE SOIL SHALL BE REMOVED OR STABILIZED.
3. CONTRACTOR IS TO MAINTAIN A POSITIVE DRAINAGE PATTERN AT THE END OF EACH DAY. CARE SHOULD BE TAKEN TO INSURE THAT DRAINAGE IS NOT REROUTED OR BLOCKED IN A WAY THAT MAY BE INJURIOUS TO ADJACENT LAND.
4. THE SUB-BASE BELOW STRUCTURES, PAVEMENTS OR NEW STRUCTURAL FILL SHALL BE PROOF ROLLED. IF SOIL RUTS, PUMPS, DEFLECTS EXCESSIVELY OR EXHIBITS EXCESSIVE MOVEMENT OR MOISTURE, THEN THE UNSTABLE SOIL SHALL BE UNDERCUT AND REPLACED WITH STRUCTURAL FILL OR DISCING AND DRYING TO NEAR OPTIMUM MOISTURE SO SOIL CAN BE PROPERLY COMPACTED. THIS PROCESS IS TO BE OBSERVED BY A GEOTECHNICAL ENGINEER.
5. ALL FILLS SHALL BE PLACED IN 8" LIFTS COMPACTED TO A MINIMUM OF 98% STANDARD LABORATORY DENSITY PER ASTM D698 UNDER AND WITHIN INFLUENCE OF THE BUILDING, A MINIMUM OF 95% STANDARD LABORATORY DENSITY PER ASTM D698 UNDER AND WITHIN THE INFLUENCE OF ALL OTHER IMPERVIOUS AREAS, AND A MINIMUM OF 90% STANDARD LABORATORY DENSITY PER ASTM D698 IN ALL LANDSCAPE AREAS.
6. EROSION CONTROL SHALL BE PROVIDED PRIOR TO ANY DISTURBANCES. SEE EROSION CONTROL PLANS FOR ADDITIONAL SPECIFICATIONS AND DETAILS.
7. PROVIDE TOPSOIL RESPREAD PER THE FOLLOWING UNLESS OTHERWISE NOTED:
- A. 4" MINIMUM IN GRASS OR SOD AREAS.
  - B. 6" MINIMUM IN PLANTING AREAS.
  - C. 12" MINIMUM IN LANDSCAPE ISLANDS.
8. ALL TOPSOIL TO BE FRIABLE (NOT COHESIVE), WEED FREE, AND FREE OF ROCKS, LARGE ROOTS AND UNNATURAL DEBRIS.
9. ALL GRADING IS TO BE CONSTRUCTED TO WITHIN A TOLERANCE OF 0.10' OF THE PROPOSED ELEVATIONS. SEE PAVEMENT SPECIFICATIONS FOR PAVEMENT TOLERANCES.

VILLAGE OF FRANKFORT STORM SEWER SPECS

STORM SEWERS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C76 MINIMUM CLASS III WITH O-RING JOINTS CONFORMING TO ASTM C443.

ALL STRUCTURE CONNECTIONS SHALL BE CONCRETE SEWER PIPE, ASTM C14 FOR EXTRA STRENGTH PIPE.

SUMP PUMP SERVICE CONNECTIONS SHALL BE 4" PVC SDR 26 UNLESS OTHERWISE NOTED.

CORRUGATED METAL PIPE SHALL BE HOT-DIPPED GALVANIZED STEEL OR ALUMINUM STEEL CONFORMING TO AASHTO M35.

- FOR 21" DIAMETER PIPE AND SMALLER, PROVIDE 16 GAUGE CMP.
- FOR 24" DIAMETER PIPE AND LARGER, PROVIDE 12 GAUGE CMP.

MINIMUM COVER SHALL BE 3' MINIMUM UNLESS SPECIAL PRECAUTIONS ARE SPECIFIED.

ALL FLARED END SECTIONS LESS THAN 48" (EFFECTIVE DIAMETER) REQUIRE GRATES IN ACCORDANCE WITH IDOT SPECIFICATIONS.

ALL CASTINGS SHALL BE MADE IN THE U.S.A. WITH U.S.A. MATERIALS. CLOSED COVERS SHALL BE STAMPED PER EXHIBIT 2B. OPEN COVERS SHALL HAVE THE GRATES AS SPECIFIED.

STRUCTURE LOCATION	STRUCTURE LABEL	MANUFACTURER NUMBER	MINIMUM OPEN AREA
BARRIER CURB			
MOUNTABLE CURB			
PAVED AREAS			
GRASSED AREAS			

STORM SEWER SPECIFICATIONS

EXHIBIT 4A  
JUNE 2007

\*\* IF THERE ARE ANY DISCREPANCIES BETWEEN THE STANDARD SPECIFICATIONS AND THE VILLAGE OF FRANKFORT SPECIFICATIONS, THE VILLAGE OF FRANKFORT SPECIFICATIONS SHALL GOVERN

PROJECT SPECIFICATIONS

CHECKED BY: J. MILLER  
DESIGN BY: R. ERSFELDT  
DRAWN BY: R. ERSFELDT  
DATE: JULY 18, 2023  
SCALE: NONE  
PROJECT NO.: 23-017

C-5

DATE  
8/10/2023

REVISIONS  
NO REVISIONS

NO  
1

Prepared For:  

XPRESS HOLDINGS, LLC.  
9115 Roma Court  
Frankfort, IL 60423

ROMA SPORTS COMPLEX  
9115 Roma Court  
Frankfort, Illinois 60423

Prepared By:  

Watermark Engineering Resources

watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

PROJECT SPECIFICATIONS

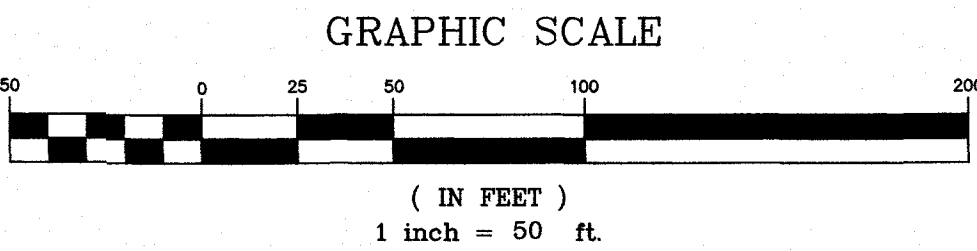
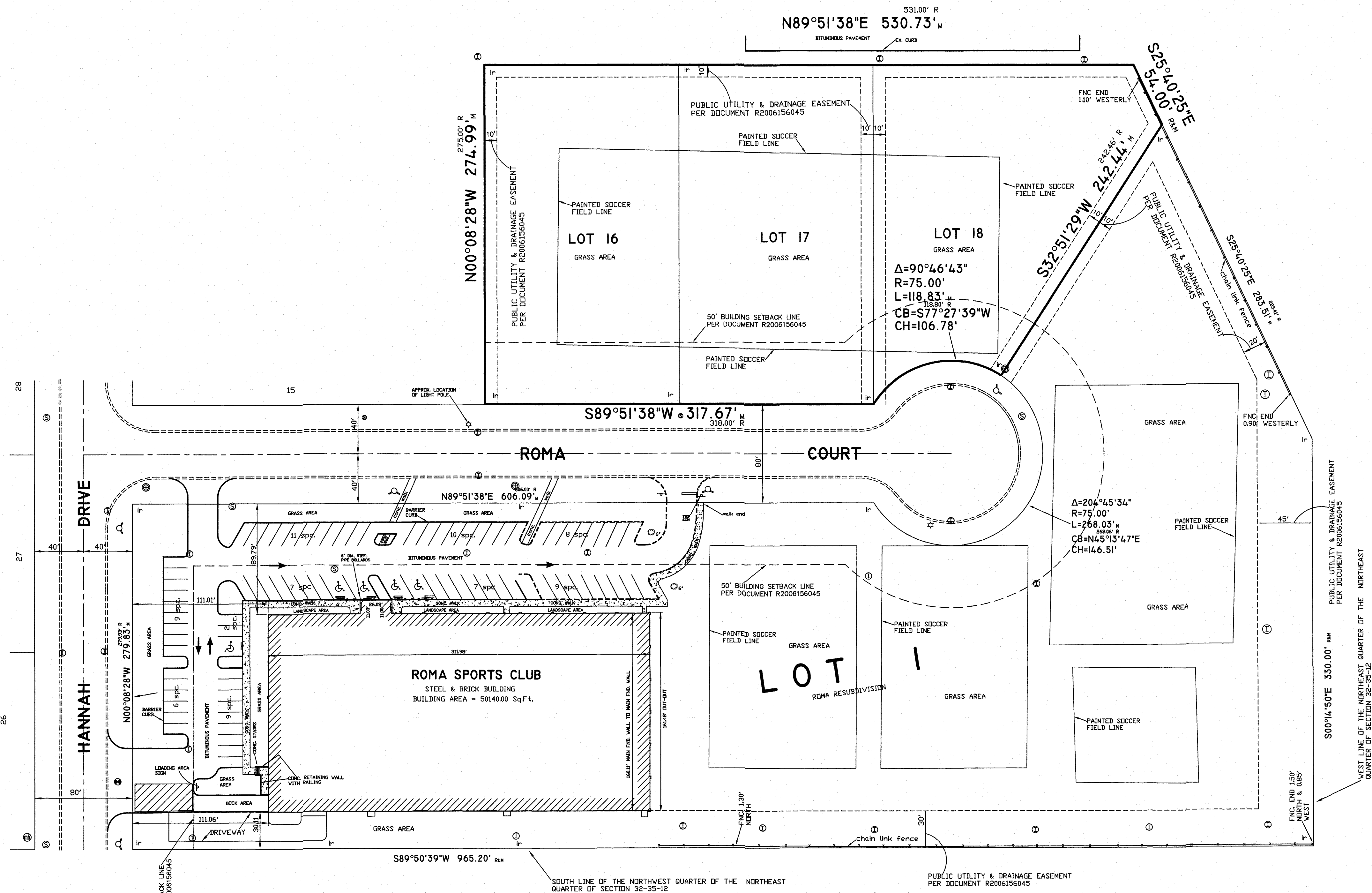
J:\dwgs\23\jbs\23017\23017.dwg, 23017

39



PLAT OF SURVEY

LOTS 16 THROUGH 18 BOTH INCLUSIVE IN EAST POINT PARK, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 15, 2006 AS DOCUMENT R2006-156045, IN WILL COUNTY, ILLINOIS.



Know what's below.  
Call before you dig.  
CALL 48 HOURS BEFORE YOU DIG  
(EXCLUDING SAT., SUN. & HOL.)  
CALL 811 or 1-800-892-0123

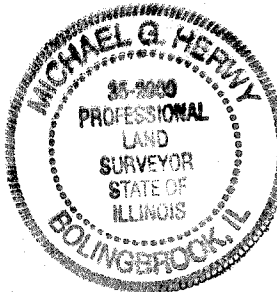
NOTE:  
NO UTILITIES LOCATED ON THIS DRAWING  
FOR UTILITY INFORMATION CALL JULIE.  
PRIOR TO ANY EXCAVATION.

LEGEND	
☆	EXIST. LIGHT POLE
⊙	EXIST. SANITARY MANHOLE
⊕	EXIST. FIRE HYDRANT
⊖	EXIST. POWER POLE
⊗	EXIST. MANHOLE
⊙	EXIST. STORM SEWER INLET
⊕	EXIST. WATER VALVE & VAULT
⊖	EXIST. WATER VALVE
—	EXIST. WATER LINE
—	EXIST. STORM SEWER LINE
—	EXIST. SAN SEWER LINE
—	EXIST. CURB & GUTTER
—	EXIST. FENCE LINE
—	EXIST. UTILITY PEDESTAL
—	EXIST. STEEL GUARD RAIL
—	EXIST. BARRIER CURB
—	DECIDUOUS TREE

ASSOCIATED SURVEYING GROUP, LLC

Illinois Prof. Design Firm No. 184-004973  
P.O. BOX 810 BOLINGBROOK, IL 60440  
PH (630) 759-0205 FAX (630) 759-9291

FIELDWORK DATE: 6-14-23  
CLIENT: ROMA SPORTS CLUB  
JOB NO: 88839-23



STATE OF ILLINOIS >  
COUNTY OF WILL > SS

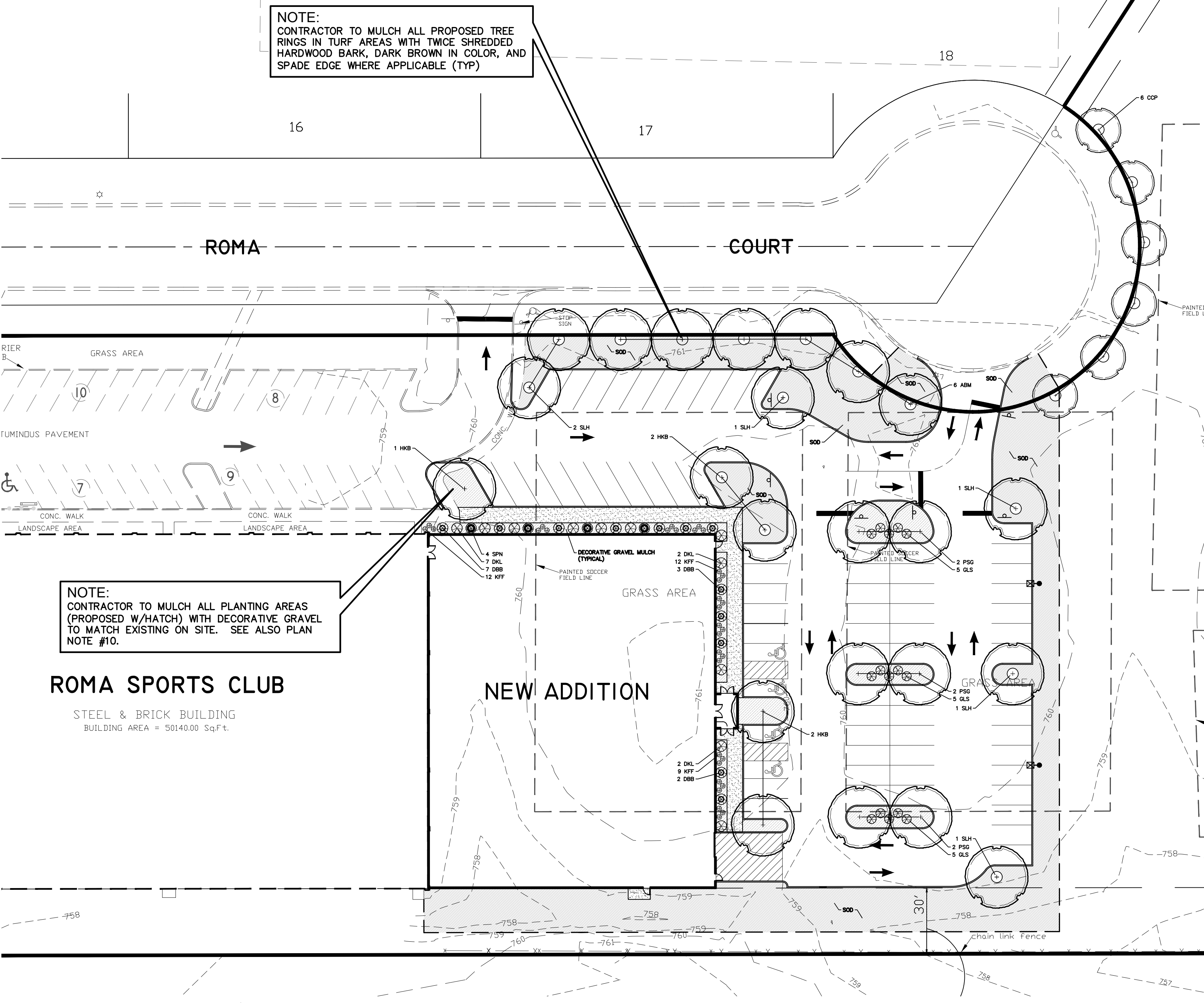
I, Michael G. Herwy, an Illinois Professional Land Surveyor, do hereby certify that "This professional service conforms to the current Illinois minimum standards for a boundary survey", and that the Plat hereon drawn is a correct representation of said survey.

Dated, this 17th day of July, 2023 A.D., at Bolingbrook, IL

*Michael G. Herwy*  
Michael G. Herwy  
Illinois Professional Land Surveyor No. 035-2300 License Expires 11-30-24

FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREIN REFER TO YOUR DEED, TITLE POLICY, ORDINANCE, ETC.





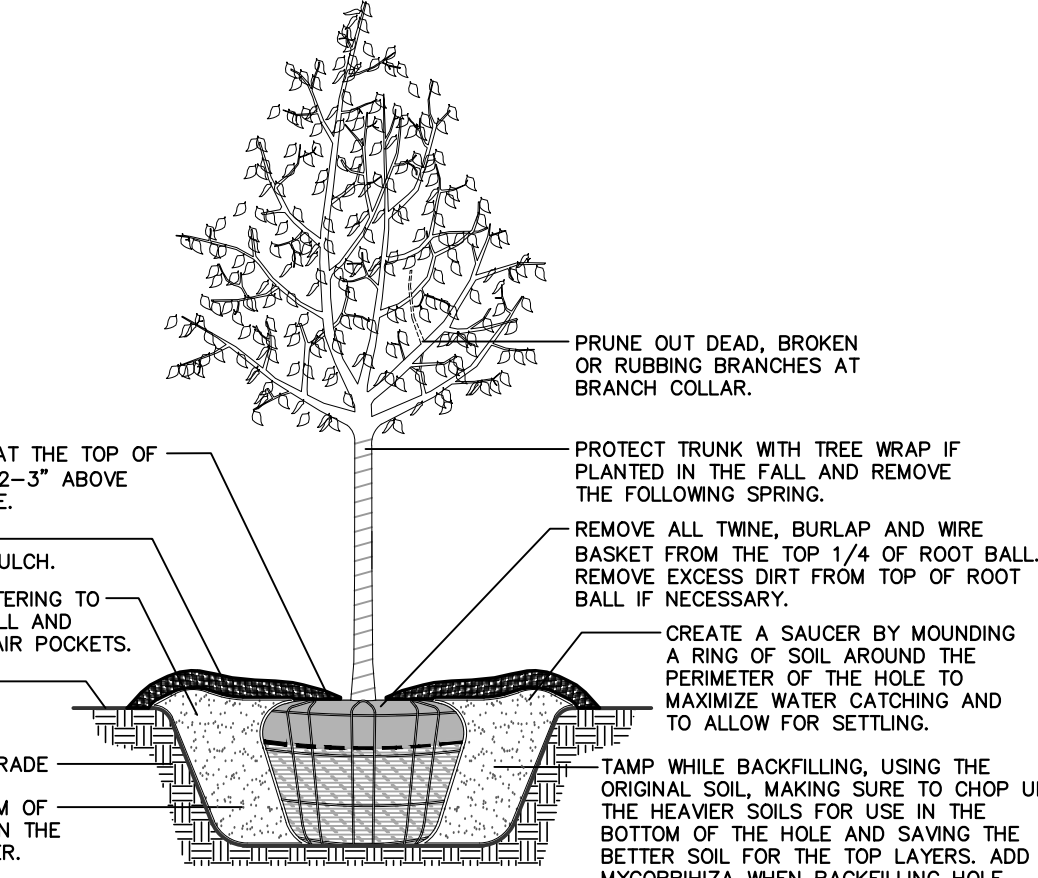
NOTE:  
CONTRACTOR TO MULCH ALL PROPOSED TREE RINGS IN TURF AREAS WITH TWICE SHREDDED HARDWOOD BARK, DARK BROWN IN COLOR, AND SPADE EDGE WHERE APPLICABLE (TYP)

NOTE:  
CONTRACTOR TO MULCH ALL PLANTING AREAS (PROPOSED W/HATCH) WITH DECORATIVE GRAVEL TO MATCH EXISTING ON SITE. SEE ALSO PLAN NOTE #10.

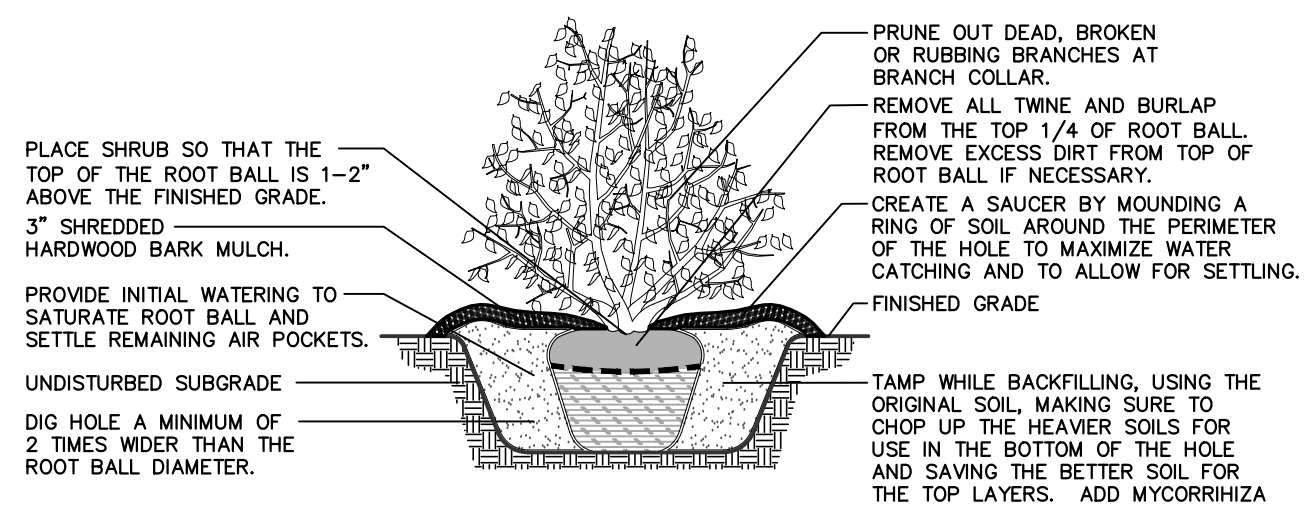
ROMA SPORTS CLUB

STEEL & BRICK BUILDING  
BUILDING AREA = 90140.00 SqFt.

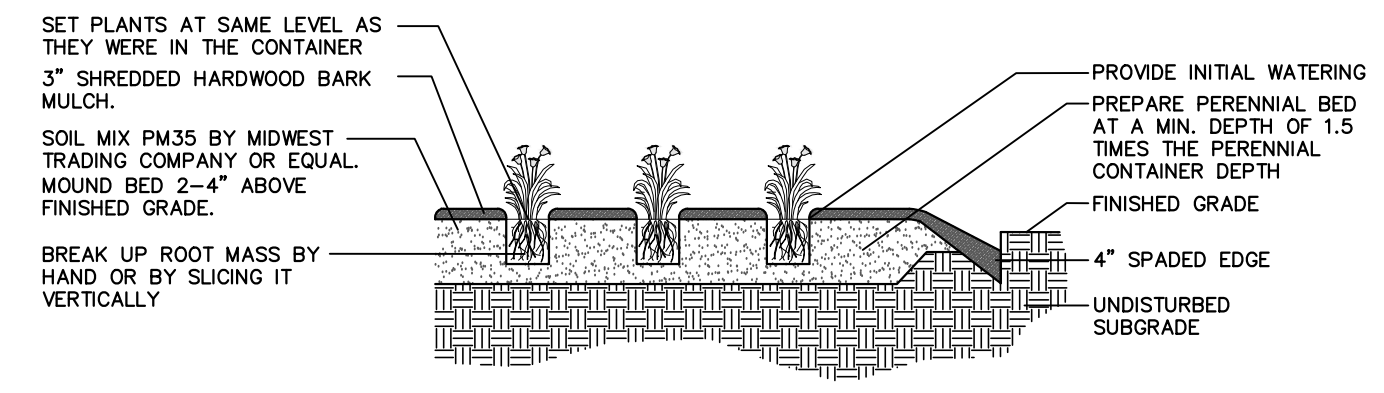
NEW ADDITION



TREE PLANTING DETAIL  
NOT TO SCALE. USE ONLY ZONE HARDY PLANT MATERIAL.



SHRUB PLANTING DETAIL  
NOT TO SCALE. USE ONLY ZONE HARDY PLANT MATERIAL.



PERENNIAL PLANTING DETAIL  
NOT TO SCALE. USE ONLY ZONE HARDY PLANT MATERIAL.

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL BE HARDY TO THE ZONE IT IS BEING PLANTED IN. ALL TREES AND SHRUBS ARE TO BE BALLED AND BURLAPED UNLESS OTHERWISE NOTED AND SHALL BE GROWN IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT.
2. PLANT SIZES CALLED OUT ON THIS PLAN ARE THE MINIMUM SIZE REQUIRED. PLANTS WHICH FAIL TO MEET THE SIZES LISTED, SHALL BE REJECTED AT THE EXPENSE OF THE CONTRACTOR.
3. CONTRACTOR MUST VERIFY ALL MATERIAL QUANTITIES AS DEPICTED ON THE DRAWING. THE PLANT LIST PROVIDED ON THIS PLAN IS FOR CONVENIENCE ONLY.
4. SUBSTITUTIONS MAY NOT BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER.
5. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES AND UTILITY LOCATORS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOT BEGIN ANY WORK ON-SITE UNTIL ALL UTILITIES HAVE BEEN LOCATED. CONTRACTOR SHALL OBTAIN "AS-BUILT" PLANS FOR ALL IRRIGATION AND LIGHTING PRIOR TO CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITIES INCLUDING IRRIGATION AND LIGHTING. ALL DAMAGE SHALL BE REPAIRED TO A NEW CONDITION IN ACCORDANCE WITH ALL CODES AT NO COST TO THE OWNER - SEE NOTE 5.
7. ALL UNSUITABLE MATERIAL (CONCRETE, AGGREGATE STONE, CRUSHED ASPHALT, BRICK ETC.) SHALL BE REMOVED, INCLUDING HAUL OFF, PRIOR TO PLANTING AND SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
8. SOIL MIX PM35 BY MIDWEST TRADING COMPANY OR EQUAL SHALL BE ROTOTILLED INTO ALL PERENNIAL AND ANNUAL PLANTING BEDS PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL. A SLOW RELEASE, GRANULAR FERTILIZER SHALL BE APPLIED TO ALL ANNUAL AND PERENNIAL PLANTING BEDS AT THE RECOMMENDED RATE, AND SHALL BE ROTOTILLED IN WITH THE ABOVE SOIL MIXTURE BEFORE THE PLANT MATERIAL IS INSTALLED.
9. CONTRACTOR TO PROVIDE THOROUGH INITIAL WATERING OF ALL PLANTINGS WITHIN 12 HOURS OF INSTALLATION TO ENSURE ALL AIR POCKETS HAVE BEEN REMOVED AROUND ROOT BALL.
10. IF DESIGNATED, ALL PLANT BED AREAS ARE TO BE MULCHED WITH 2" OF DECORATIVE GRAVEL (TO MATCH EXISTING GRAVEL MULCH ON SITE). FINAL GRADE (AFTER SETTLING) SHALL BE 1" BELOW ADJACENT CURBS.
11. ALL (UN-DESIGNATED) PLANT BED AREAS AND TREE RINGS ARE TO BE MULCHED WITH 3" OF DOUBLE SHREDDED HARDWOOD MULCH AND SHALL BE SEPARATED WITH A SPADE EDGE ALONG PERIMETERS ADJACENT TO TURF AREAS. FINAL GRADE (AFTER SETTLING) SHALL BE 1" BELOW ADJACENT CURBS.
12. ALL TURF AREAS ARE TO BE A MINIMUM OF A FIVE WAY BLUEGRASS BLEND, UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL INSTALLED TURF AREAS UNTIL TIME OF KNOTTING. IF TURF SEED AND SOD OCCUR ON THE SAME PROJECT, CONTRACTOR SHALL VERIFY AND USE SEED MIXTURES TO MATCH SOD.
13. AREAS TO BE SODDED SHALL BE WITH AN "APPROVED TURFGRASS SOD" OF PREMIUM GRADE. SOD SHALL BE A 5 WAY BLEND OF IMPROVED KENTUCKY BLUEGRASS VARIETIES THAT HAS BEEN GROWN LOCALLY TO THE PROJECT SITE. SOD MUST BE MATURED FOR 2 FULL GROWING SEASONS PRIOR TO HARVEST CUTTING AND BE HEALTHY WITH WELL ESTABLISHED ROOTS. SOD SHALL BE FREE OF DISEASE, INSECTS AND DEBRIS. SOD SHALL BE UNIFORM IN LEAF COLOR, TEXTURE, AND DENSITY. SOD SHALL BE DELIVERED, INSTALLED, AND WATERED WITHIN 24 HOURS OF HARVEST IN WHICH TEMPERATURES DO NOT EXCEED 90 DEGREES (F) NOR LESS THAN 55 DEGREES (F). SOD SHALL BE MACHINE-CUT AT A MINIMUM UNIFORM SOIL THICKNESS (1.5" OF SOD IS DESIRED) BUT SOD THICKNESS SHALL BE A THICKNESS NECESSARY FOR PLANT VIABILITY. SOD SHALL BE LAID IN STAGGERED STRAIGHT LINES, TIGHTLY AGAINST EACH OTHER WITHOUT STRETCHING OR OVERLAPPING. SOD STAKES SHALL BE USED ON ALL SLOPES 4:1 OR GREATER.
14. CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS (INTENDED OR UNINTENDED) AT A MINIMUM, TO THE ORIGINAL CONDITION UNLESS OTHERWISE NOTED.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE HEALTH AND VIABILITY OF THE PROPOSED PLANT MATERIAL INCLUDING WATERING, PROTECTION FROM PHYSICAL DAMAGE FROM THE TIME PLANT IS SELECTED THROUGH IT'S INSTALLATION.
16. CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL REMAINING PLUMB UNTIL THE END OF THE GUARANTEE PERIOD. PLANTS MAY NOT BE STAKED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT/DESIGNER.
17. CONTRACTOR TO GUARANTEE PLANT MATERIAL AND LABOR FOR A MINIMUM OF ONE YEAR FROM THE TIME OF INSTALLATION.
18. THE CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH AND ABIDING BY THE LANDSCAPE ORDINANCES FOR THE SPECIFIC JURISDICTION IN WHICH THE WORK IS TAKING PLACE.
19. BIDDERS SHALL BE RESPONSIBLE FOR EXAMINING THE SITE, PRIOR TO PREPARING BID, TO BECOME FAMILIAR WITH THE SPECIFIC SITE CONSTRAINTS.
20. ALL EXISTING ON-SITE PLANT MATERIAL NOT EFFECTED BY CONSTRUCTION OR THE PROPOSED LANDSCAPE, SHALL BE PROTECTED AS PART OF THIS PLAN. EXISTING LANDSCAPE IN AREAS OF CONSTRUCTION AND PROPOSED LANDSCAPE SHALL BE REMOVED AS PART OF THIS PLAN.
21. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF ALL THE ITEMS SHOWN ON THE PLANS.
22. IF IRRIGATION IS DEEMED NECESSARY, THE DESIGN AND INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. AN IRRIGATION PLAN ALONG WITH AN AS BUILT OF THE IRRIGATION SYSTEM SHALL BE PREPARED FOR OWNER REVIEW AND APPROVAL. CONTRACTOR SHALL GUARANTEE PERFORMANCE, PARTS, AND LABOR FOR A PERIOD OF 1 YEAR FROM THE DATE OF FINAL APPROVAL.
23. IF EXISTING IRRIGATION IS PRESENT ON SITE, CONTRACTOR SHALL ADJUST, ADD TO, OR SUBTRACT FROM, THE EXISTING IRRIGATION SYSTEM TO ACCOMMODATE ANY PROPOSED ALTERATIONS/ADDITIONS TO THE EXISTING LANDSCAPE. CONTRACTOR SHALL PROVIDE THE OWNER AN AS BUILT OF THE IRRIGATION SYSTEM AND ALL CHANGES TO THE SYSTEM AFFECTED BY THIS PROJECT.
24. PROVIDE TOPSOIL RE-Spread PER THE FOLLOWING UNLESS OTHERWISE NOTED:  
A. 4" MINIMUM IN GRASS OR SOD AREAS  
B. 6" MINIMUM IN PLANTING AREAS  
C. 12" MINIMUM IN LANDSCAPE ISLANDS

ON SITE PARKING DATA

EXISTING REGULAR SPACES	73
EXISTING ADA ACCESSIBLE SPACES	5
TOTAL EXISTING SPACES	78
PROPOSED REGULAR SPACES	67
PROPOSED ADA ACCESSIBLE SPACES	4
TOTAL PROPOSED SPACES	71

REQUIRED PARKING FOR BUILDINGS

1 SPACE/4 PATRONS PLUS 1 SPACE/EMPLOYEE DURING THE LARGEST WORK SHIFT = (495/4) + (3) = 127 SPACES

REQUIRED PARKING FOR SOCCER FIELDS

1 SPACE/10,000 S.F. OF GROSS (SOCCER FIELD) LAND AREA  
TOTAL SOCCER FIELD LAND AREA = 98,237 S.F.  
REQUIRED PARKING = 10 SPACES

\*TOTAL REQUIRED PARKING = 137 SPACES

\*TOTAL PROVIDED PARKING = 149 SPACES

SITE DATA

ZONING	=	I-1
TOTAL LOT AREA	=	312,836 S.F. (7.18 AC.)
TOTAL IMPERVIOUS AREA	=	145,973 S.F. (3.35 AC.)(46%)(INCLUDES EXISTING AND PROPOSED)
PERVIOUS AREA	=	166,863 S.F. (3.83 AC.)(54%)(INCLUDES EXISTING AND PROPOSED)
BUILDING AREA	=	70,940 S.F. (INCLUDES EXISTING AND PROPOSED)
F.A.R.	=	0.22
MAXIMUM TOTAL OCCUPANCY FOR BOTH THE EXISTING BUILDING AND THE BUILDING ADDITION	=	495
MAXIMUM # OF EMPLOYEES FOR BOTH THE EXISTING BUILDING AND THE BUILDING ADDITION AT ONE TIME	=	3

PLANT LIST

SHADE, ORNAMENTAL AND CONIFEROUS TREES

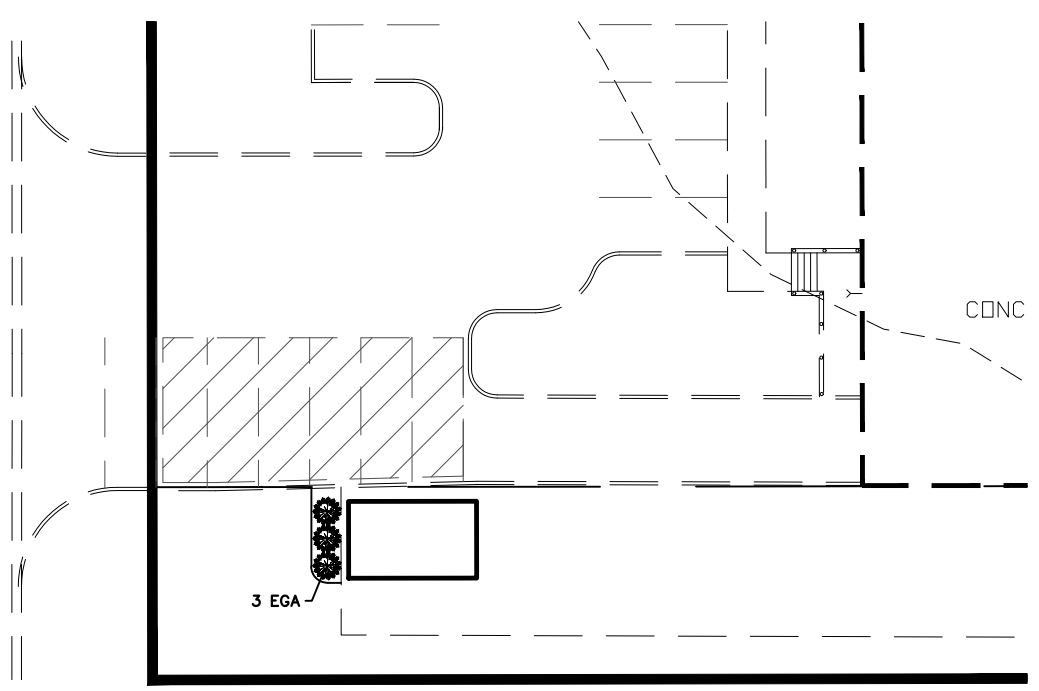
QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
6	ABM	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2 1/2" Cal.
6	CCP	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2 1/2" Cal.
5	HKB	Celtis occidentalis	Common Hackberry	2 1/2" Cal.
6	PSG	Ginkgo biloba 'Princeton Sentry' (Male Only)	Princeton Sentry Ginkgo	2 1/2" Cal.
6	SLH	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Thornless Honeylocust	2 1/2" Cal.

FLOWERING AND EVERGREEN SHRUBS

QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
12	DBB	Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 Gal. (36" Ht.)
11	DKL	Syringa meyeri Palibin	Dwarf Korean Lilac	5 Gal. (36" Ht.)
3	EGA	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	5" Ht.
15	GLS	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	5 Gal. (18"-24" Ht.)
4	SPN	Physocarpus opulifolius 'Seward'	Summer Wine Ninebark	5 Gal. (36" Ht.)

PERENNIALS, ORNAMENTAL GRASS AND GROUNDCOVERS

QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
33	KFF	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	3 Gal.
	SOD	Sodded Lawn, Bluegrass Variety		

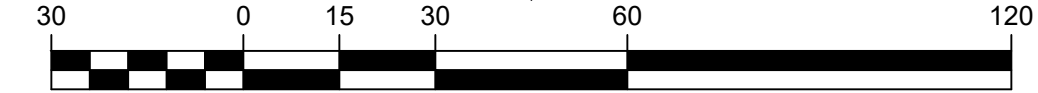


PROPOSED TRASH ENCLOSURE (SW OF BUILDING)  
SCALE: 1" = 30'-0"

Know what's Below.  
Call before you dig.



LANDSCAPE PLAN  
DESIGNED BY  
JOSEPH D. DAVITO, PLA  
J. DAVITO DESIGN, INC.  
(847) 469-8797



LANDSCAPE PLAN

DATE  
8/10/2023

REVISIONS  
REVISIONS PER VILLAGE OF FRANKFORT

NO  
1

Prepared For:  
XPRESS HOLDINGS, LLC.  
9115 Roma Court  
Frankfort, IL 60423  
ROMA SPORTS COMPLEX  
9115 Roma Court  
Frankfort, Illinois 60423

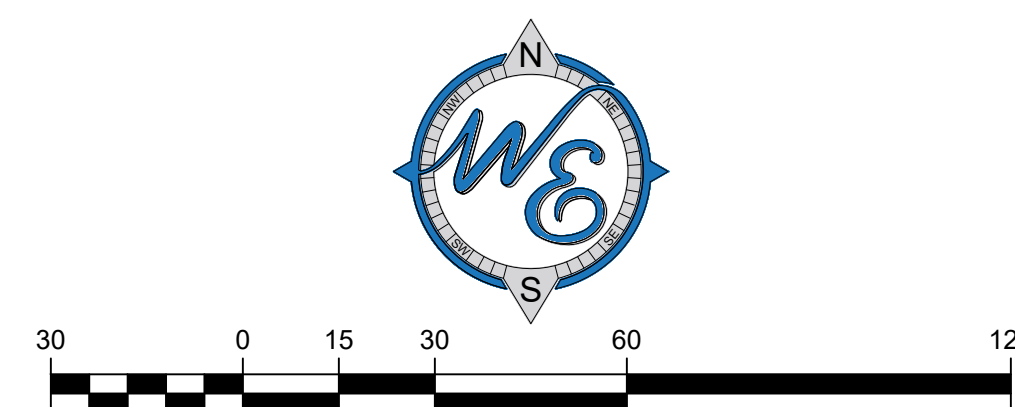
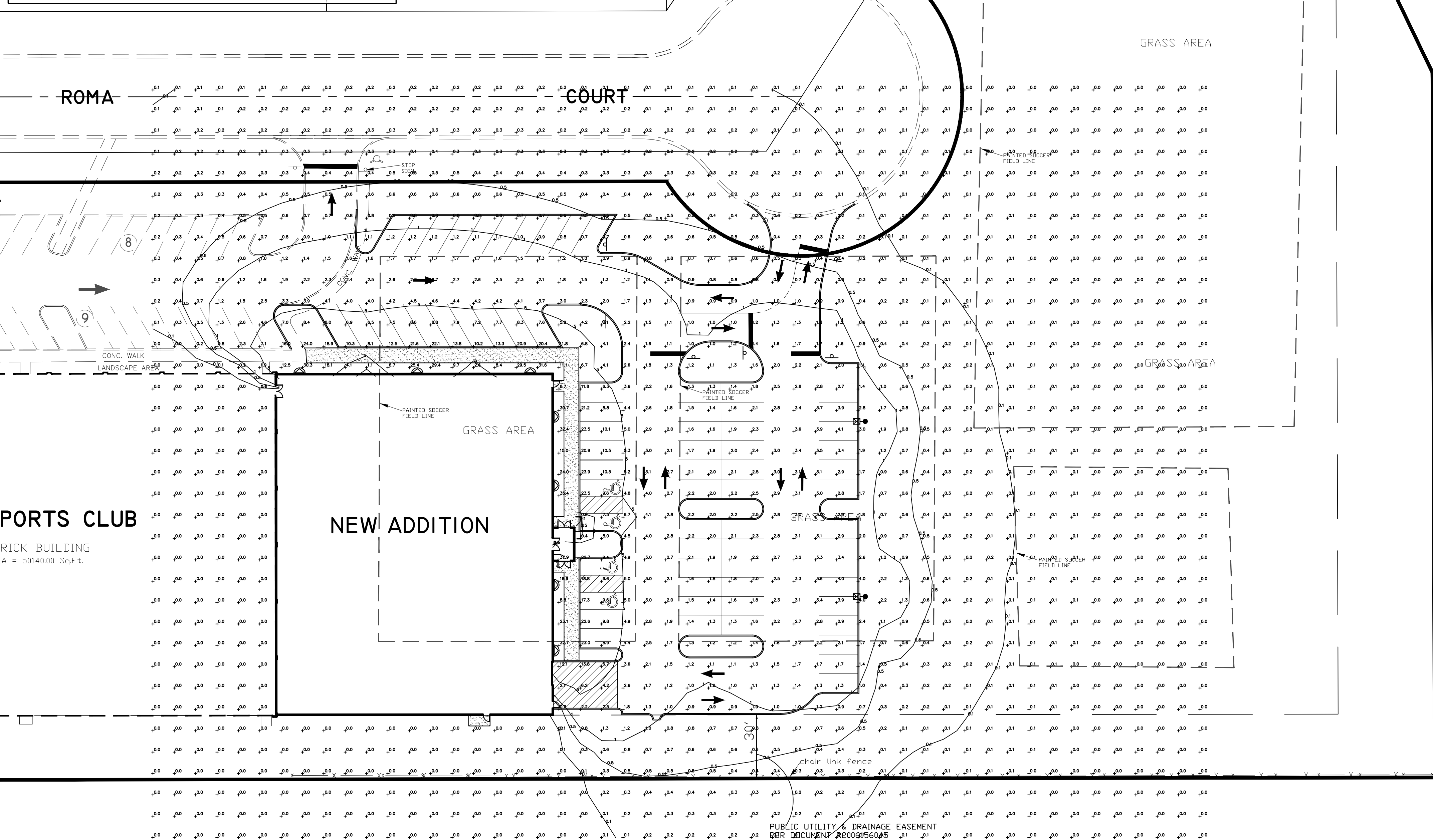
Prepared By:  
Joseph D. Davito

CHECKED BY: J. DAVITO  
DESIGN BY: J. DAVITO  
DRAWN BY: J. DAVITO  
DATE: JULY 18, 2023  
SCALE: 1" = 30'  
PROJECT NO.: 23-017

L-1

LANDSCAPE PLAN







# LEDMPALPRO200-300 200-300 Watt, Premium Multi-Purpose LED Area Luminaire



Project:	
Type:	
Catalog #:	



## STANDARD



## FEATURES

- Available in 4000k (neutral white) and 5000k (cool white) color temperatures.\*
- Long-life LEDs provide up to 372,000 hours of operation with at least 70% of initial lumen output (L70).\*\*\*
- Available models provide from 26,203 to 46,268 lumens, and from 117 to 153 lumens per watt (LPW).
- IES roadway photometric distributions include types III & V.
- Available in 120-277V or 347-480V (50-60Hz).
- 0-10vdc dimming capability is standard.
- Power factor > 0.90.
- Total harmonic distortion < 20%.
- Color rendering index > 80.
- Optional glare shields (full & half) & wire guards are available.
- Optional factory NEMA photocell receptacle installation.
- Die cast aluminum housing with durable, dark bronze powder coat finish.
- Driver enclosure is sealed with a water-tight, silicon rubber gasket.
- Easy installation in new construction or retrofit applications.

## WARRANTY & LISTINGS

- cULus listed for wet locations in ambient temperatures from -20°C to 45°C (-4°F to 113°F).
- IP66 rated for ingress protection.
- DLC premium approved.
- Flicker-free per IEEE1789-2015 (no observable adverse effects of flicker at 100% light output level).
- Rated for 3G vibration.
- Lens is IK 9 rated for protection from external impacts.
- Salt fog tested for 1,000 hours (ASTM B117). After salt fog testing, paint rated at 9 per ASTM D1654-05 scratch test.
- Complies with FCC Part 15, class B.
- Complies with EN61000-4-5, surge immunity protection (6kV).
- 5-year warranty of all electronics and housing.

Note: 120-277V models also available in roadway types 2 & 4 as well as NEMA flood 3H3V, 4H4V, 5H5V, & 7H7V. Consult factory for details.

Note: 347-480V models are also available in the distributions listed above but are not DLC qualified.

\* Contact factory for other color temperatures and lumen packages.  
\*\*\* L70 hours are IES TM-21-11 calculated hours.

## ORDERING INFORMATION

Example: LEDMPALPRO200-4K-T3-UNC-P

Model	Color Temperature		Distribution		Voltage		Photocell Receptacle <sup>1</sup>		Mounting Options (Order 1 Separately)	
LEDMPALPRO200	4K	4000k	T3	Type III	UNC	347-480V	P	NEMA photocell receptacle	LEDMPALPRO-YK-L	Yoke Bracket, 200-300W
LEDMPALPRO240	5K	5000k	T5	Type V	Blank	120-277V	Blank	No receptacle	LEDMPALPRO-TR	Trunnion Bracket, 80-300W
LEDMPALPRO280									LEDMPALPRO-ARM	Arm Bracket, 80-300W
LEDMPALPRO300									LEDMPALPRO-SF	Slip-Fitter Bracket, 80-300W
									JL-205C23-IP65	NEMA Photocell

<sup>1</sup> Ships with shorting cap.

BEST LIGHTING PRODUCTS • 1213 ETNA PARKWAY, PATASKALA OH 43062 • 740-964-1198 • www.bestlighting.net  
Specifications and dimensions subject to change without notice.

Revision 1.5 – 2/15/21

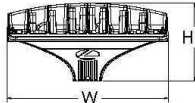
## D-Series Size 2 LED Area Luminaire



### d-series

### Specifications

EPA:	1.06 ft <sup>2</sup> (0.10 m <sup>2</sup> )
Length:	40.59" (1031 mm)
Width:	16.76" (426 mm)
Height H1:	8.11" (206 mm)
Height H2:	3.96" (101 mm)
Weight:	46 lbs (20.9 kg)



### Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity. Greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of up to 80% vs. 1000W HID and expected service life of over 100,000 hours.

### Ordering Information

EXAMPLE: DSX2 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX2 LED							
Series	LEDs	Color temperature <sup>1</sup>	Color Rendering Index <sup>2</sup>	Distribution		Voltage	Mounting
DSX2 LED	Forward optics (this section 70CRI only)			AFR Automotive front row	TSM Type V medium	MVOLT (120V-277V) <sup>6</sup>	Shipped included
	P1 P5	30K 3000K	70CRI	T1S Type I short	TSLG Type V low glare	HVOLT (347V-480V) <sup>6A</sup>	SPA Square pole mounting (#8 drilling)
	P2 P6	40K 4000K	70CRI	T2M Type II medium	TSW Type V wide	XVOLT (277V-480V) <sup>6A</sup>	RPA Round pole mounting (#8 drilling)
	P3 P7	50K 5000K	70CRI	T3M Type III medium	BLC3 Type III backlight control <sup>4</sup>		SPAS Square pole mounting (#5 drilling) <sup>8</sup>
	P4 P8	(this section 80CRI only, extended lead times apply)		T3LG Type III low glare <sup>3</sup>	BLC4 Type IV backlight control <sup>4</sup>		RPAS Round pole mounting (#5 drilling) <sup>8</sup>
	P10 <sup>1</sup> P13 <sup>1</sup>	27K 2700K	80CRI	T4M Type IV medium	LCCO Left corner cutoff <sup>5</sup>		SPASN Square narrow pole mounting (#8 drilling)
	P11 <sup>1</sup> P14 <sup>1</sup>	30K 3000K	80CRI	T4LG Type IV low glare <sup>3</sup>	RCCO Right corner cutoff <sup>5</sup>		
	P12 <sup>1</sup>	35K 3500K	80CRI	TFTM Forward throw medium			WBA Wall bracket <sup>8</sup>
		40K 4000K	80CRI				MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)
		50K 5000K	80CRI				

Control options			Other options		Finish <i>(required)</i>		
<b>Shipped installed</b>			<b>Shipped installed</b>				
NLTAIR2 PIRHN	nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40" mounting height, ambient sensor enabled at 26". <sup>1A, 1A.0A.01</sup>	PER7	Seven-pin receptacle only (controls ordered separate) <sup>1A.01</sup>	SPD20KV	20KV surge protection	DBBXD	Dark Bronze
		FAO	Field adjustable output <sup>1A.01</sup>	HS	Houseshield (black finish standard) <sup>2A</sup>	DBLXD	Black
PIR	High/Low, motion/ambient sensor, 8-40" mounting height, ambient sensor enabled at 26". <sup>1A.01</sup>	BL30	Bi-level switched dimming, 30% <sup>1A.01</sup>	L90	Left rotated optics <sup>1</sup>	DNALXD	Natural Aluminum
		BL50	Bi-level switched dimming, 50% <sup>1A.01</sup>	R90	Right rotated optics <sup>1</sup>	DWHXD	White
PER	NEMA twist-lock receptacle only (controls ordered separate) <sup>1A</sup>	DMG	0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>1A</sup>	CCE	Coastal Construction <sup>2A</sup>	DDBLXD	Textured dark bronze
		HA	50°C ambient operation <sup>2A</sup>	HA	50°C ambient operation <sup>2A</sup>	DBLBDX	Textured black
PERS	Five-pin receptacle only (controls ordered separate) <sup>1A.01</sup>	DS	Dual switching <sup>1A.01</sup>	<b>Shipped separately</b>		DNALDX	Textured natural aluminum
				EGSR	External Glare Shield (reversible, field install required, matches housing finish)	DWHQXD	Textured white
				BSDB	Bird Spikes (field install required)		



One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com  
© 2011-2023 Acuity Brands Lighting, Inc. All rights reserved.

DSX2-LED  
Rev. 04/25/23  
Page 1 of 10



### FEATURES & SPECIFICATIONS

**INTENDED USE** — These specifications are for USA standards only. Square Straight Aluminum is a general purpose light pole for up to 35-foot mounting heights. This pole provides a lighter and naturally corrosion-resistant option for mounting area light fixtures and floodlights.

**CONSTRUCTION** — **Pole Shaft:** The pole shaft is of uniform wall thickness and is made of extruded 6000 series aluminum alloy tubing that is heat treated to a T6 temper to provide maximum strength. The shaft is uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5", 6" and 6.75".

**Pole Top:** Options include tenon top, drilled for side-mount fixture, tenon with drilling (includes extra hand-hole) and open top. A cast aluminum top cap is provided for all poles that will receive drilling patterns for side-mount luminaire arm assemblies or when ordered with open top (PT) option. The top cap resists intrusion of moisture and environmental contaminants.

**Handhole:** A handhole opening with grounding provision is provided near the base. Standard positioning varies with shaft width as follows: 4" shaft, handhole at 12"; 5" shaft, handhole at 14"; 6" and 6.75" shaft, handhole at 18" on side A. Positioning the handhole lower than standard may not be possible and requires engineering review; consult Tech Support - Outdoor for further information. Every handhole includes a cover and cover attachment hardware. The handhole for a pole specified with a 4" or 5" shaft width has a nominal dimension of 2" x 4"; the handhole for a pole specified with a 6" or 6.75" shaft width has a nominal dimension of 2.63" x 5".

**Anchor Base/ Cover/ Bolts:** Anchor base is cast from 356 alloy aluminum and is supplied with 4 nut cover disks. A full 2-piece cast aluminum anchor base cover is available as an option.

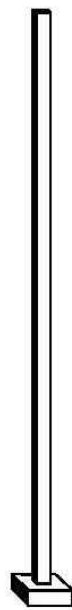
Anchor bolts are manufactured to ASTM F1554 Standards Grade 55, (55KSI minimum yield strength and tensile strength of 75-95 KSI). Upper portion of anchor bolt is galvanized per ASTM A-153; bolts have an "L" bend on bottom end and are galvanized a minimum of 12" on the threaded end.

**FINISH** — Extra durable painted finish is coated with TQC (Triglycidyl isocyanurate) Polyester powder that meets SA and SB classifications of ASTM D3159. Standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Tennis Green, Bright Red and Steel Blue colors. Other finishes include Brushed Aluminum, and Anodized Dark Bronze, Anodized Natural Aluminum and Anodized Black. Architectural Colors and Special Finishes are available by quote and include, but are not limited to RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint applications.

**WARRANTY** — 1-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**NOTE:** Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

Catalog Number	
Notes	
Type	



### Anchor Base Poles

# SSA

SQUARE STRAIGHT ALUMINUM

Prepared For:

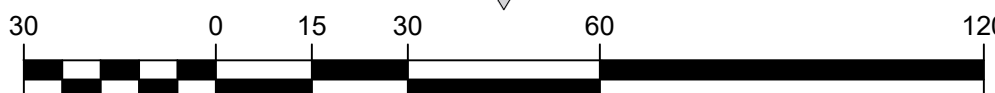
XPRESS HOLDINGS, LLC.  
9115 Roma Court  
Frankfort, IL 60423  
ROMA SPORTS COMPLEX  
9115 Roma Court  
Frankfort, Illinois 60423

Prepared By:

CHECKED BY: JEFF MILLER  
DESIGN BY: D. OLSON  
DRAWN BY: D. OLSON  
DATE: JULY 18, 2023  
SCALE: 1" = 30'  
PROJECT NO.: 23-017

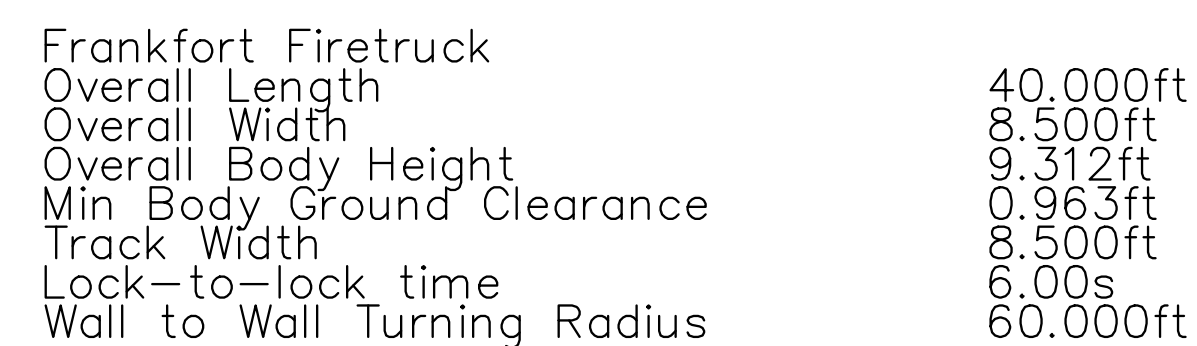
2 of 2

PHOTOMETRIC PLAN



# PHOTOMETRIC PLAN





*By Christopher Gruba at 12:49 pm, Jul 25, 2023*



# FIRETRUCK CIRCULATION PLAN

CHECKED BY: J. MILLER
DESIGN BY: R. ERSFELDT
DRAWN BY: R. ERSFELDT
DATE: JULY 18, 2023
SCALE: 1" = 30'
PROJECT NO.: 23-017

1 of 1

PROJECT NO.: 23-017	watermark-eng
---------------------	---------------

# FIRETRUCK CIRCULATION PLAN

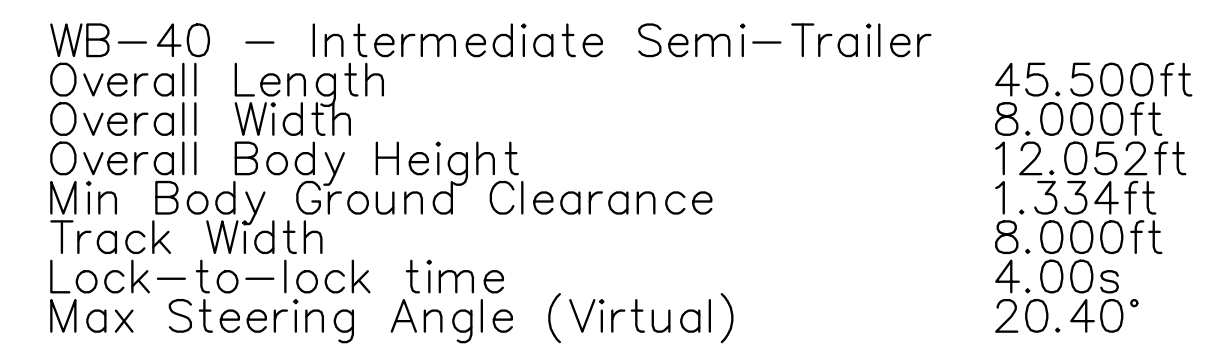
W atmark **Engineering**  
RESOURCES

Prepared By:
--------------

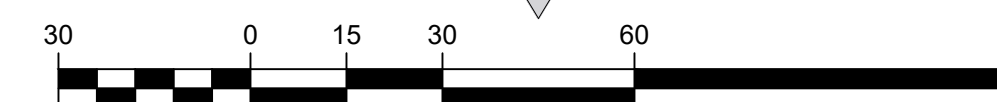
**XPRESS HOLDINGS, LLC.**  
9115 Roma Court  
Frankfort, IL 60423

**ROMA SPORTS COMPLEX**  
9115 Roma Court  
Frankfort, Illinois 60423

[illegible]



By Christopher Gruba at 12:49 pm, Jul 25, 2023



## DELIVERY TRUCK CIRCULATION PLAN

DESIGN BY: R. ERSFELDT  
DRAWN BY: R. ERSFELDT  
DATE: JULY 18, 2023  
SCALE: 1" = 30'  
PROJECT NO.: 23-017

1 of 1

## DELIVERY TRUCK CIRCULATION PLAN

**Wat** **Engineering**  
**mark** **RESOURCES**

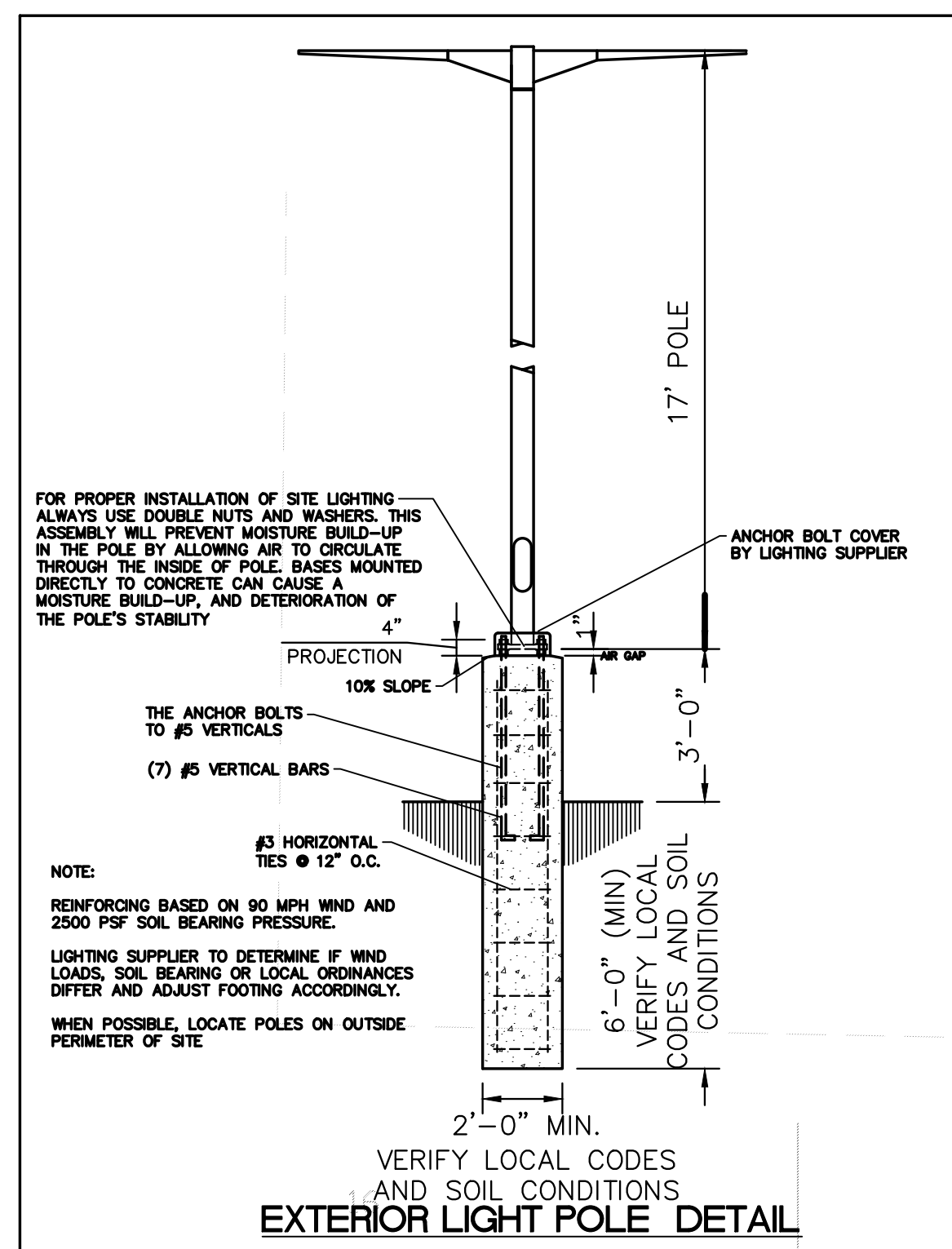
Prepared By:

**ROMA SPORTS COMPLEX**  
9115 Roma Court  
Frankfort, Illinois 60423

[illegible]

Prepared For:






**By Christopher Gruba at 10:03 am, Aug 11, 2023**

**GENERAL NOTES:**

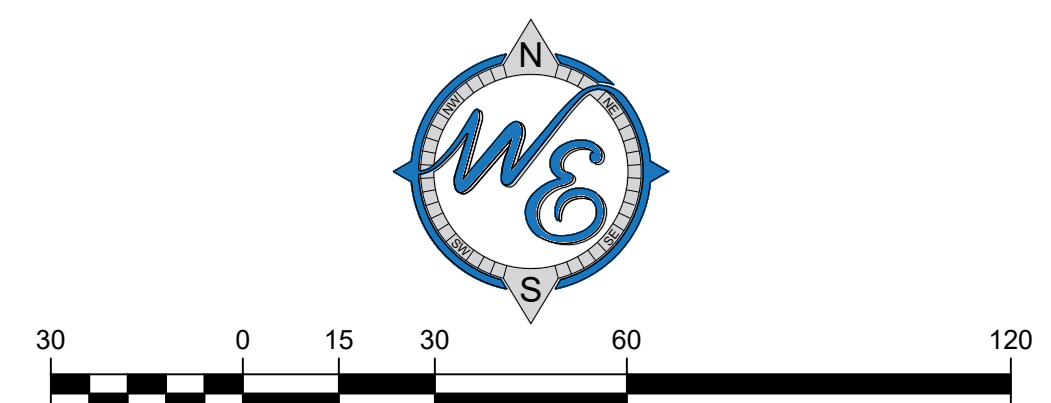
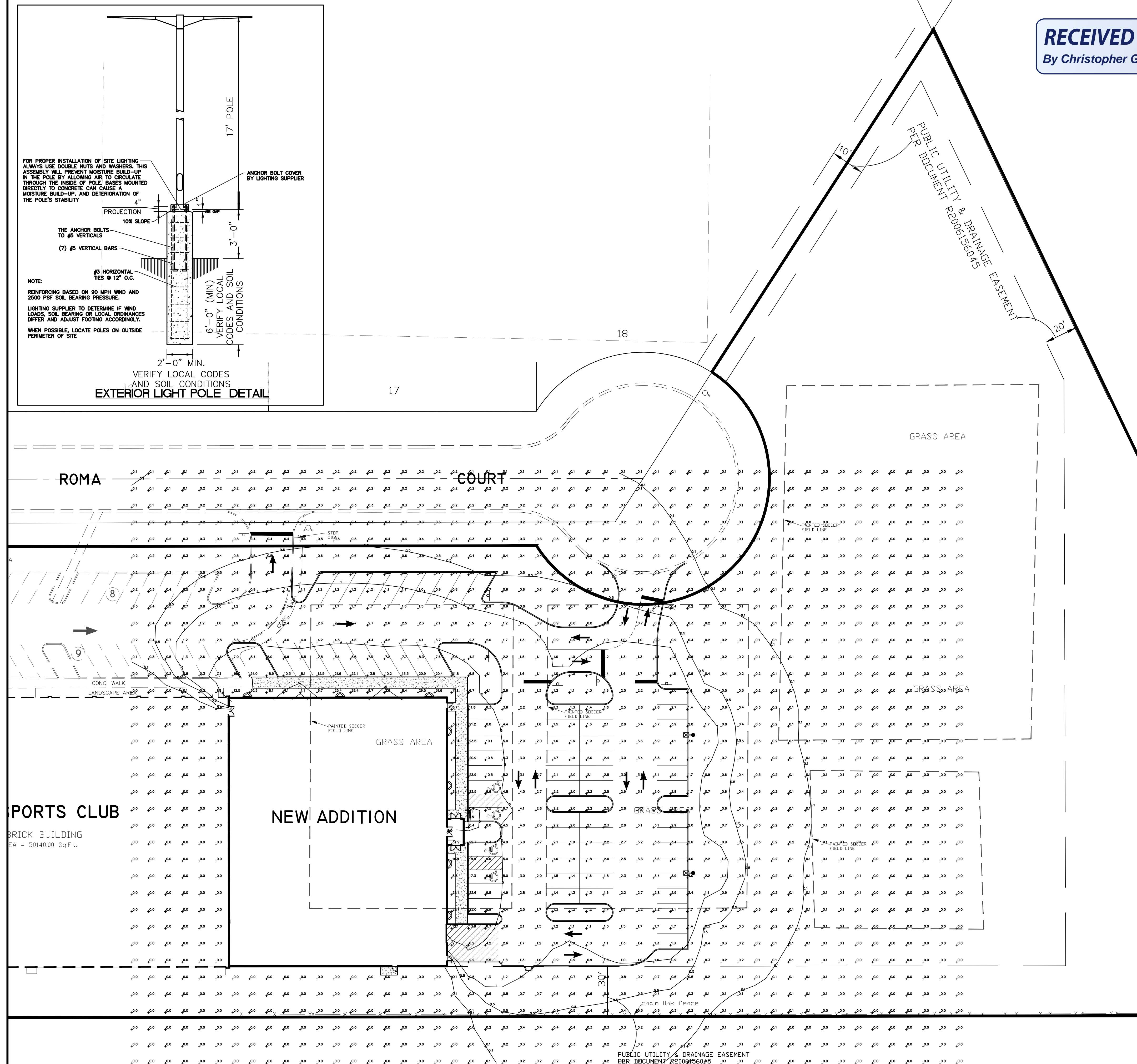
1. THESE PLANS ARE BASED ON THE PLAT OF SURVEY (SURVEY PROJECT #88839-23 DATED 04/26/23) PREPARED BY: ASSOCIATED SURVEY GROUP, LLC.  
1 PALOS COURT, BOLINGBROOK, IL 60440  
(630) 759-0205
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

QUANTITIES		
FIXTURE TYPE:	SYMBOL	QUANTITY
DSX2 LED P1 40K 80CRI T4M DBLXD		2
LEDMPAL-39L-4K-T5-120V (MOUNTING ANGLE = 60 DEG.)		7
POLE TYPE:	SYMBOL	QUANTITY
SSA-17-DBLXD		2


<b>PHOTOMETRIC SUMMARY</b>	
<b>PARKING LOT AREA:</b>	
AVERAGE	3.4
MAXIMUM	23.9
MINIMUM	0.5
AVG/MIN	6.8:1

NOTES:

1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE CRITERIA SHOWN IN THE "QUANTITIES" NOTE, LOCATED ON THIS SHEET. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVEL SHOWN AND WILL NOT BE THE RESPONSIBILITY OF WATERMARK ENGINEERING RESOURCES, LTD.
2. MOUNTING HEIGHT OF FIXTURES  
WALL = 15'-5"  
POLE = 20'  
POLE MOUNTING HEIGHT INCLUDES A 3' HIGH CONCRETE BASE, TO BE PROVIDED BY THE CONTRACTOR AS PART OF THIS PLAN, AND A 17' HIGH POLE.
3. DISTANCE BETWEEN READINGS \_\_\_\_\_ 10' \_\_\_\_\_
4. FOOTCANDLE LEVELS SHOWN ARE MAINTAINED. MAINTENANCE FACTOR USED ON THIS DRAWING IS 1.0
5. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ON ADJOINING PROPERTIES OR ROADWAYS.
6. HOUSE SIDE SHIELDS ARE NOT ALWAYS ABLE TO BE MODELED DUE TO THE UNAVAILABILITY OF THE PROPER .IES FILES. IN THESE INSTANCES OTHER MANUAL ACCOMMODATIONS MAY BE MADE DURING THE MODELING PROCESS TO SIMULATE CUT OFF AT PROPERTY LINES OR ELSEWHERE.
7. CONTRACTOR TO VERIFY PROPER ORDERING INFORMATION INCLUDING BUT NOT LIMITED TO, VOLTAGE AND MOUNTING, PRIOR TO ORDERING OR INSTALLING SPECIFIED LUMINAIRES AND/OR POLES. ALL LIGHT FIXTURES TO BE FULL CUT OFF.
8. LOCATE WALL PACKS AS NOTED, CONTRACTOR SHALL FIELD ADJUST MOUNTINGS ON BUILDING TO DETERMINE A UNIFORM HEIGHT AND SPACING. WALL PACKS SHALL BE PLACED ON A SYMMETRICAL PATTERN TO MATCH BUILDING ARCHITECTURE AND FINAL LOCATION SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO INSTALLATIONS.
9. ALL LIGHTING INSTALLATION AND ASSOCIATED WORK SHALL MEET BUILDING AND ELECTRICAL CODES.
10. CONTRACTOR IS RESPONSIBLE TO VERIFY AND CONFIRM MATERIALS AND LABOR FOR ALL ELECTRICAL SOURCES, CONDUIT, SLEEVES, CONCRETE FOUNDATIONS, POLES, LUMINAIRES, AND ALL NECESSARY PARTS FOR PROPER LIGHTING INSTALLATIONS. ALL PROPOSED LIGHTING WORK SHALL NOT INTERFERE OR INTERRUPT EMERGENCY INGRESS AND EGRESS LIGHTING FIXTURES OR SECURITY SYSTEMS.
11. PROPOSED LIGHTING SHALL INCLUDE PHOTOCELL ON/OFF SWITCHING. CONTRACTOR VERIFY IF ANY LIGHTS NEED MANUAL OR WIRELESS ON/ OFF SWITCHES WITH OWNER'S REPRESENTATIVE.
12. THIS PLAN IS FOR LIGHTING PERFORMANCE. ALL MEANS, METHODS, AND ASSIGNED EQUIPMENT IS THE RESPONSIBILITY OF THE INSTALLER TO DETERMINE AND AT THEIR DISCRETION. ALL INSTALLATIONS SHALL BE COMPLETE AND FINISHED. ANY GAPS OR EXPOSED MOUNTINGS WILL BE REJECTED.
13. ALL PROPOSED CONDUIT AND WIRE SERVICES SHALL BE CONCEALED AND HIDDEN SO AS NOT TO BE SEEN OR VISUALLY NOTICEABLE. FINAL LOCATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
14. ALL PAINTING NEEDS SHALL BE DONE BY A PROFESSIONAL. COLORS AND TYPES OF PAINT SHALL MATCH ACCORDINGLY TO ADJACENT COLORS AND MATERIALS. VERIFY AND COORDINATE WITH OWNER'S REPRESENTATIVE ALL WORK.
15. ALL RESTORATION SHALL BE DONE TO THE SATISFACTION OF THE OWNER AT NO CHARGE OR EXPENSE TO THE OWNER.
16. WHETHER NOTED ON THE PLANS OR NOT ALL NOT ASSIGNED WORK WITH THE PHOTOMETRIC PLAN INSTALLATION AND CONSTRUCTION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL AS NEEDED.
17. CONTRACTOR SHALL FIELD ADJUST BASED ON ELECTRICAL SUPPLY AND PROVIDE WRING AS NEEDED FOR PROPER INSTALLATION, IF NEEDED, CONTRACTOR SHALL CONSULT AN ELECTRICAL ENGINEER.
18. CONTRACTOR RESPONSIBLE FOR ALL LUMINAIRE INSTALLATIONS, REPLACEMENTS, CONSTRUCTION REMOVALS AND DISPOSALS.
19. CONTRACTOR SHALL FIELD ADJUST AS APPROVED BY OWNER. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE FOR ALL RESTORATION OR FABRICATIONS NEEDS. SHOP DRAWINGS OR MATCH UPS MAYBE NECESSARY FOR APPROVALS PRIOR TO INSTALLATIONS. VERIFY AS NEEDED.
20. ANY FABRICATIONS SHALL BE DONE WITH NON-CORROSIVE EXTERIOR GRADE MATERIALS AND FINISHES TO PROTECT BUILDING FROM ANY STAINING.

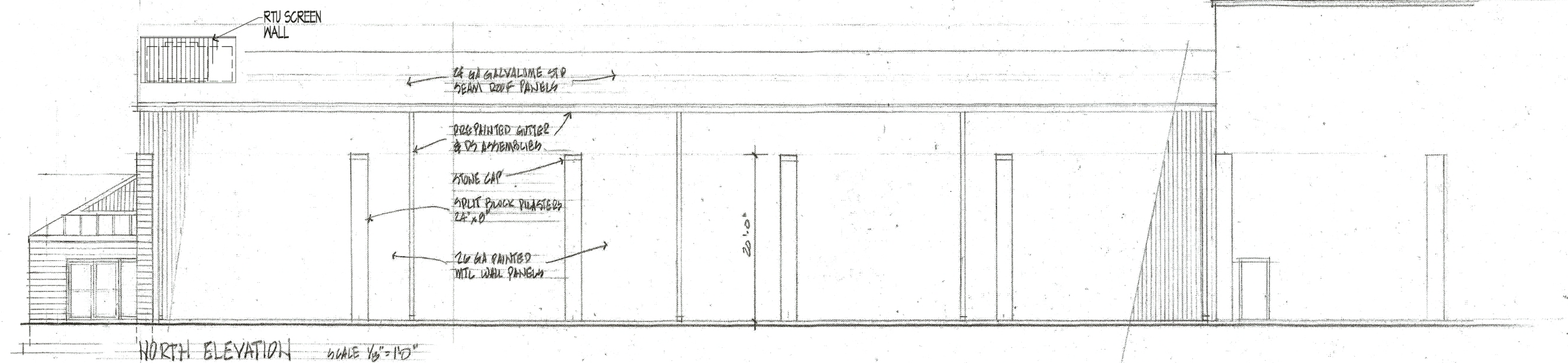


# PHOTOMETRIC PLAN

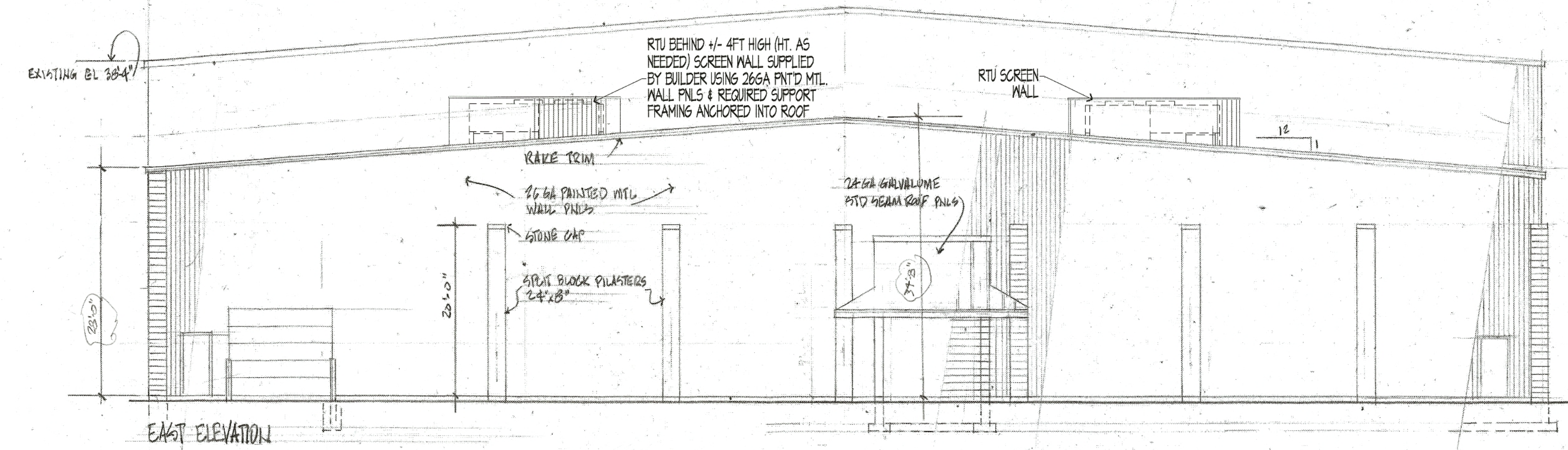
1 of 2	CHECKED BY: JEFF MILLER DESIGN BY: D. OLSON DRAWN BY: D. OLSON DATE: JULY 18, 2023 SCALE: 1" = 30' PROJECT NO.: 23-017	 watermark-engineering.com   263.1 Ginger Woods Pkwy   Aurora, IL 60502   (630) 375-1800	Prepared By:		Prepared For:  <b>XPRESS HOLDINGS, LLC.</b> 9115 Roma Court Frankfort, IL 60423  <b>ROMA SPORTS COMPLEX</b> 9115 Roma Court Frankfort, Illinois 60423	
			NO.	REVISIONS	DATE	



EXISTING NEW ADDITION

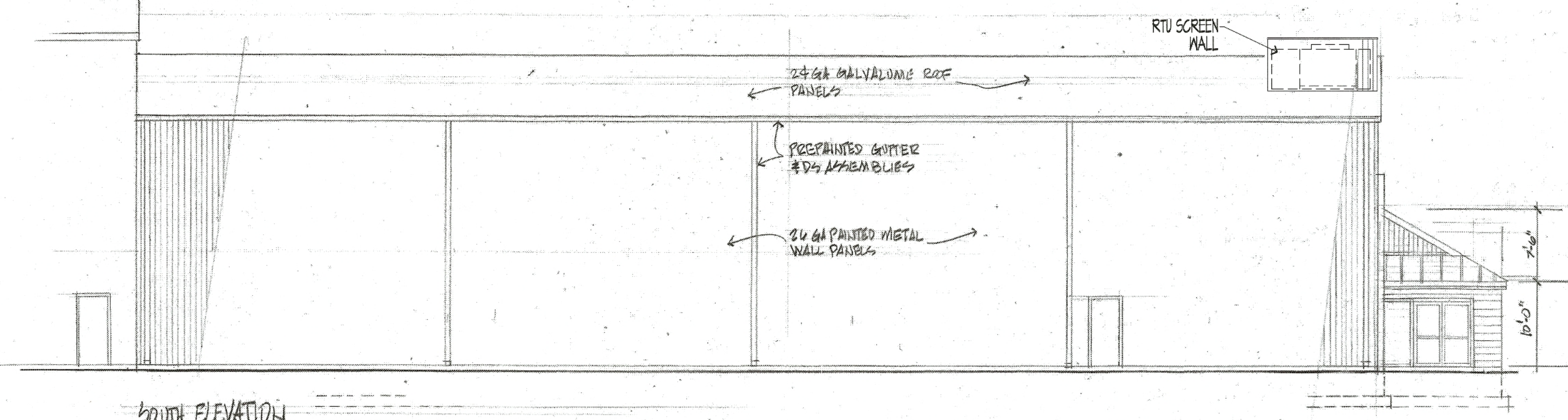


NORTH ELEVATION SCALE 1/8" = 1'-0"




EAST ELEVATION

EXISTING NEW ADDITION

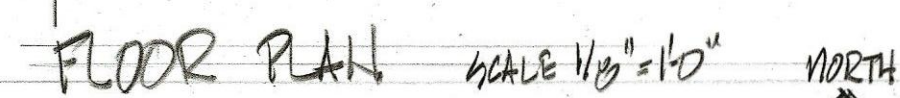


SOUTH ELEVATION

	ADDITION TO THE	DATE
	ROMA SPORTS CLUB	FEB 17, 2023
	9115 ROMA CT	REVISED
	FRANKFORT, ILLINOIS	MAY 12, 2023
m.j.root • architect		DRAWING
324 center rd. frankfort, illinois 60423		3
815-484-0777		CL 6



*By Christopher Gruba at 12:50 pm, Jul 25, 2023*



m i n o r t a r c h i t e c t

324 center rd. frankfort, illinois 60423 815-464-0777

vised

owing

2



**Project:** King Heating and Cooling Building Addition

**Meeting Type:** Workshop

**Request(s):** (1) Reduce the required interior side yard (north yard) setback from 20 feet to 10 feet, 5 inches, and (2) Reduce the required rear yard (east yard) setback from 30 feet to 10 feet, 5 inches, in the I-2 General Industrial District, to allow construction of a building addition.

**Location:** 655 Center Road

**Applicant:** Bob Harden, King Heating and Cooling

**Prop. Owner:** Timothy E. Willson

**Consultants:** Grant Currier, Linden Group Architects

**Representative:** None

**Report By:** Michael J. Schwarz, AICP and Amanda Martinez, Planner

### Site Details

**Lot Size:** 24,554 SF (0.56-acres)

**PIN(s):** 19-09-27-301-002-0000

**Existing Zoning:** I-2, General Industrial District

**Prop. Zoning:** N/A

**Building(s) / Lot(s):** 1 building / 1 lot

**Existing Building:** 4,068 SF

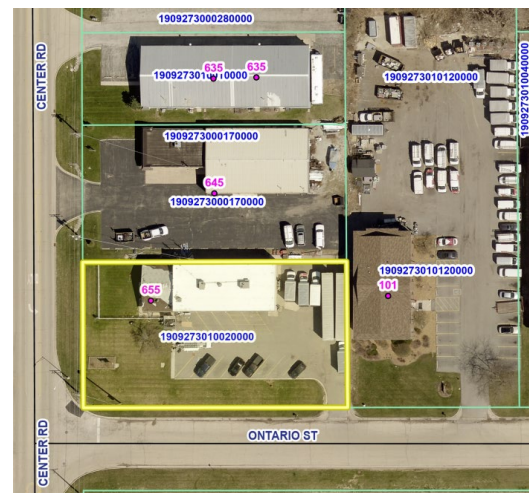
**Prop. Addition:** 3,832 SF

**Prop. Building Total:** 7,900 SF

**Adjacent Land Use Summary:**

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Light Industrial	Business Park	I-2
<b>North</b>	Light Industrial	Business Park	I-2
<b>South</b>	Agriculture	Business Park	E-R
<b>East</b>	Light Industrial (also owned by the applicant)	Business Park	I-2
<b>West</b>	Single-Family Residential	Business Park	E-R

Figure 1: Location Map



### Project Summary

The applicant, King HVAC Systems, LLC, is seeking to build a 2,832 square-foot building addition onto the east side of an existing 4,068 square-foot one-story light industrial building located at 655 Center Road (PIN#: 19-09-27-301-002-0000). The proposed expansion also includes an approximate 1,000 square-foot mezzanine, which would increase the proposed addition's total square footage to 3,832 square feet. The proposed addition and mezzanine would increase the total building size from 4,068 square feet to 7,900 square feet located on the 0.56-acre parcel. The applicant intends to expand the building in order to create additional storage and operational space for the existing heating and cooling business. The applicant is currently requesting the following variations (2):

1. Reduce the required interior side yard (north yard) setback from 20 feet to 10 feet, 5 inches; and
2. Reduce the required rear yard setback (east yard) from 30 feet to 10 feet, 5 inches.

Following discussion from the workshop, the following additional variations (3) may be necessary:



1. Building material (please see the Architecture/Elevations section of this staff report for more details);
2. A 5-foot parking lot setback requirement along the east property line (please see the mentioned non-conforming features in the Existing Conditions and Proposed Variations section of this staff report for more details); and
3. Screening of rooftop equipment (please see the mentioned non-conforming features in the Existing Conditions and Proposed Variations section of this staff report for more details).

## **Attachments**

---

- 2022 Aerial Photograph from Will County GIS
- Photographs of site taken 8.2.23
- Plat of Survey dated 7.29.09 and received 6.18.23
- Preliminary Site Plan dated 6.7.23, received 6.20.23
- Preliminary Exterior Elevations last revised 6.15.23, received 6.18.23
- Preliminary Landscape Plan received 8.8.23
- Variation Findings of Fact prepared by applicant
- Variation Findings of Fact Commissioner Evaluation Form

## **Analysis**

---

In consideration of the requests, staff offers the following points of discussion:

- Article 3, Section H, Part 3, referenced below, states that site plan review is necessary for the below listed activities. Site plan review is required to assure compliance with all applicable requirements of this Zoning Ordinance.

*The following activities require a site plan:*

*a. All permitted uses in residential zoning districts, except the following:*

- 1. Individual single family detached dwellings.*
- 2. Agricultural structures on farmsteads.*

*b. Subdivisions.*

*c. All permitted uses in business zoning districts.*

*d. All permitted uses in manufacturing zoning districts.*

*e. When an alteration or amendment is proposed to the site improvements or design of a previously approved site plan.*

*f. All special uses and Planned Unit Developments.*

*g. Government buildings.*

*h. Changes in the use of land or existing buildings, except for those listed in paragraph (a) above, which result in an expansion, rebuilding, relocation, reconstruction, change in use, or increase in intensity of use or zoning, except for normal maintenance, including painting, repairs, and cleaning that does not significantly alter the façade or appearance of the building.*

*i. Accessory uses and structures, unless the requirement for site plan review is waived by the Code Official.*

*j. All other uses, and changes from existing uses, for which a site plan is required as determined by the Code Official.*

- According to the Frankfort Township Assessor Property Search web page, the existing building was constructed in 1971. The Village of Frankfort's current Zoning Ordinance was adopted in 2001, which classifies the subject lot is legally non-conforming. Article 10, Section I regulates properties that are considered non-conforming and states that variations may be requested with the below mentioned parameters.

*Variations for existing non-conforming buildings, structures, lots or uses may be reviewed and granted by the Village Board, after a public hearing by the Zoning Board of Appeals. Review of variation applications for non-conforming buildings, structures, lots or uses shall be made in accordance with the standards for variation application review set forth in Article 3, Section B; and may be granted only within the following parameters:*

- To reduce any required yard setback, lot area, or lot dimension, or to increase lot coverage percentage, floor area ratio (FAR) or structure height for any lot in any zoning district.
- To reduce the number of required off-street parking and loading spaces.

#### Existing Conditions and Proposed Variations

- The following table is provided to compare the subject property with the I-2 General Industrial District dimensional and bulk standards:

	I-2 District Requirements	Existing Property Conditions	Proposed Property Conditions	Comments
Minimum Lot Size (square feet)	43,560 SF	24,554 SF	24,554 SF	Legally Non-Conforming
Minimum Lot Width (Feet)	100 feet	116.63 feet	116.63 feet	Complies
Landscaped Front Yard	20 feet (25 feet arterial or collector roads)	20 feet	20 feet	Complies
Front Yard Setback from ROW Centerline of Center Road	125 feet	80 feet (approximate)	80 feet (approximate)	Legally Non-Conforming
Minimum Required Yards (feet) <ul style="list-style-type: none"> <li>Front (West)</li> <li>Corner Side (South)</li> <li>Interior Side (North)</li> <li>Rear (East)</li> </ul>	<ul style="list-style-type: none"> <li>50 feet</li> <li>50 feet</li> <li>20 feet</li> <li>30 feet</li> </ul>	<ul style="list-style-type: none"> <li>50 feet</li> <li>75 feet</li> <li>10 feet, 5 inches</li> <li>55 feet</li> </ul>	<ul style="list-style-type: none"> <li>50 feet</li> <li>50 feet</li> <li>10 feet, 5 inches</li> <li>10 feet, 5 inches</li> </ul>	<ul style="list-style-type: none"> <li>The existing interior side yard setback is Legally Non-Conforming.</li> <li>Variation requested: Reduce the required interior side yard (north yard) setback from 20 feet to 10 feet, 5 inches.</li> </ul>



				<ul style="list-style-type: none"> <li>Variation requested: Reduce the required rear yard (east yard) setback from 30 feet to 10 feet, 5 inches.</li> </ul>
<b>Maximum Height (feet)</b>	35 feet	19 feet 4 inches (approximate)	30 feet, 10 5/8 inches	Complies
<b>Maximum Impervious Coverage</b>	85%	77.8%	77.8%	Complies

- Additional non-conforming features not listed in the above table:
  - The submitted landscape plan is the first to be reviewed for this property and will bring the number of plantings into compliance;
  - The existing ingress/egress width is 15 feet wide compared to the required 20-foot minimum width. The proposed shifting of the western curb in the submitted site plan will bring it into compliance;
  - The existing parking lot and curb alignment encroaches all area in the rear (east) yard rather than adhering to the 5-foot parking lot setback. Staff suggested complying with the parking lot setback along the east property line by replacing existing asphalt with a landscaped/grass yard; and
  - The existing building consists of rooftop equipment that is not screened, making it incompliant with the current Zoning Ordinance's screening requirements. Staff suggested complying with the screening requirements by implementing individual architectural screens around the rooftop equipment.
- The existing property is a portion of the original Lot 1 in Johnson's Addition to Frankfort, a subdivision which was recorded in 1972.
- The applicant is seeking a variation to in order to create more useable warehouse space and enough space for their trucks to have adequate circulation; per the applicant's findings of facts, the mentioned hardship is the business operating on a small, narrow lot.
- The existing building already encroaches the interior yard setback on the northern side of the property, thus, the applicant is proposing that the addition follows the same 10-foot 5-inch setback.
- The proposed addition would also encroach the rear yard setback on the eastern side of the property whereas the existing building currently complies with this setback.
- The existing 24,556 square-foot property is smaller than a standard one acre (43,560 square-foot) I-2 lot as required by the Zoning Ordinance. The Zoning Ordinance also regulates corner lots with a minimum setback of 50 feet along the yards that face a public street.

#### **Architecture/Elevations:**

- Article 6, Section C, Part 3 (f)(3) of the Zoning Ordinance states the requirements for exterior building materials as follows:

*Exterior Building Materials*

*a) Exterior walls shall be of face brick, architectural steel and aluminum, stone, glass, exposed aggregate panels, textured or architecturally finished concrete, steel, or wood. Equivalent or better materials, or any combination of the above, may be used in a well-conceived or creative application.*

*b) Common brick and concrete block are prohibited as exterior building materials except on the rear facade.*

*c) Split face block is only permitted on the front facade where architectural features (such as columns, horizontal bands, etc.) are incorporated into said façade.*

*d) Corrugated metal or pre-engineered metals installed with exposed fasteners are only permitted on front facades if 50% of said front façade is masonry.*

- The north and east elevations which are mostly obscured by other nearby buildings is proposed to have stained split-face C.M.U. (concrete block). The project's architect has been informed that concrete block is prohibited as an exterior building material on the north elevation per Article 6, Section C, Part 3 (f)(3)(b) that is referenced above. Staff has requested that brick be provided on all elevations of the proposed addition to match the existing building's material and to avoid a variation from Article 6, Section C, Part 3 (f)(3)(b). The architect deferred providing brick on all elevations in order to receive feedback from the Commissioners first. If the stained split-face block is received well by Commissioners, the applicant will need to request an additional variation to allow the prohibited material.
- Per the submitted preliminary building elevations, the proposed addition would have brick on the south and west elevations which are visible from the public right-of-way will match the existing building.
- The proposed addition would have a south-facing gable roof to be consistent with the office portion of the existing building. The proposed roof material is asphalt shingles to match the roof over the office portion of the existing building.
- White vertical metal-ribbed siding is proposed under the south and north facing gables of the proposed addition. The same material would be provided above the brick material and below the roofline on the east and west elevations.
- Three (3) double-hung windows are proposed under the south and north facing gables of the proposed addition to allow natural light into the warehouse and mezzanine area. The proposed windows will match the existing building's windows.
- Three (3) 12-foot by 12-foot metal overhead garage doors are proposed on the south elevation. There will be three (3) small windows on each garage door to allow additional natural light into the space. The existing business currently keeps business vehicles outdoors. The submitted site plan shows the proposed building addition would replace where the trucks typically park on the site. The three (3) new garage bays will provide space for business vehicles and other equipment and materials to be kept indoors.

#### **Landscape Plan:**

- The existing site is legal non-conforming and does not provide as much landscaping that would be required with the current Zoning Ordinance. Staff requested that the applicant provide a preliminary landscape plan for the workshop meeting in order to preview compliance; the applicant plan to make revisions based on staff's comments after the workshop meeting. Staff's comments are as follows:
  - Please identify the diameter of the trees on the next iteration
  - Please identify the height of the shrubs on the next iteration
  - Please provide planting specifications on the next iteration
  - Please identify plant species on the next iteration



- Note: the submitted landscape plan is compliant with 10 feet wide vegetative strip
- Note: the submitted landscape plan is compliant with 150 planting units per 100 linear feet
- Note: the submitted landscape plan is compliant with parkway trees requirement

#### **Photometric Plan:**

- Staff requested that the applicant provide a photometric plan and specification sheet for any lighting on site; the applicant has deferred from providing a photometric plan and specification sheet until after the 8.10.23 workshop.
- The applicant confirmed that there will not be any parking lot light poles proposed. Per the submitted building elevations, there are three (3) lights on the proposed building addition. The building elevations show decorative lighting on the west elevation near the main door and the south elevation between the garage doors.

#### **Parking/Site Circulation:**

- The existing building use includes both office and warehouse use. For purposes of calculating required parking, the building is most closely classified as a “warehouse” use. The Village of Frankfort’s off-street parking requirements specify that a warehouse use shall require one (1) parking space per employee for the work shift with the largest number of employees plus one (1) parking space per 5,000 square feet of gross floor area.
- The proposed approximate 6,900 square-foot building with five (5) employees would require seven (7) parking spaces. The subject property has twelve (12) existing, striped parking spaces; the submitted site plan shows 7 proposed striped parking spaces, compliant with The Village of Frankfort’s off-street parking requirements.
- The adjacent lot to the east is owned by the same property owner as the subject property and the building on the adjacent lot to the east is also utilized by the same heating and cooling business. Per the plat of survey and submitted site plan, the 5-foot 7-inch concrete driveway that connects the two lots will remain.
- The subject site is accessed by one (1) ingress/egress point along Ontario Street. The access point is currently 15 feet wide, which does not comply with the 20-foot minimum width required by Article 6, Section C, Part 2 (n). The applicant is proposing to widen the access point to 32 feet, which is compliant with the Zoning Ordinance and is the maximum width permissible.

#### ***Standards for Variations***

---

For reference during the workshop, Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request.

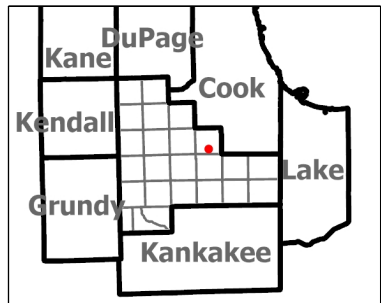
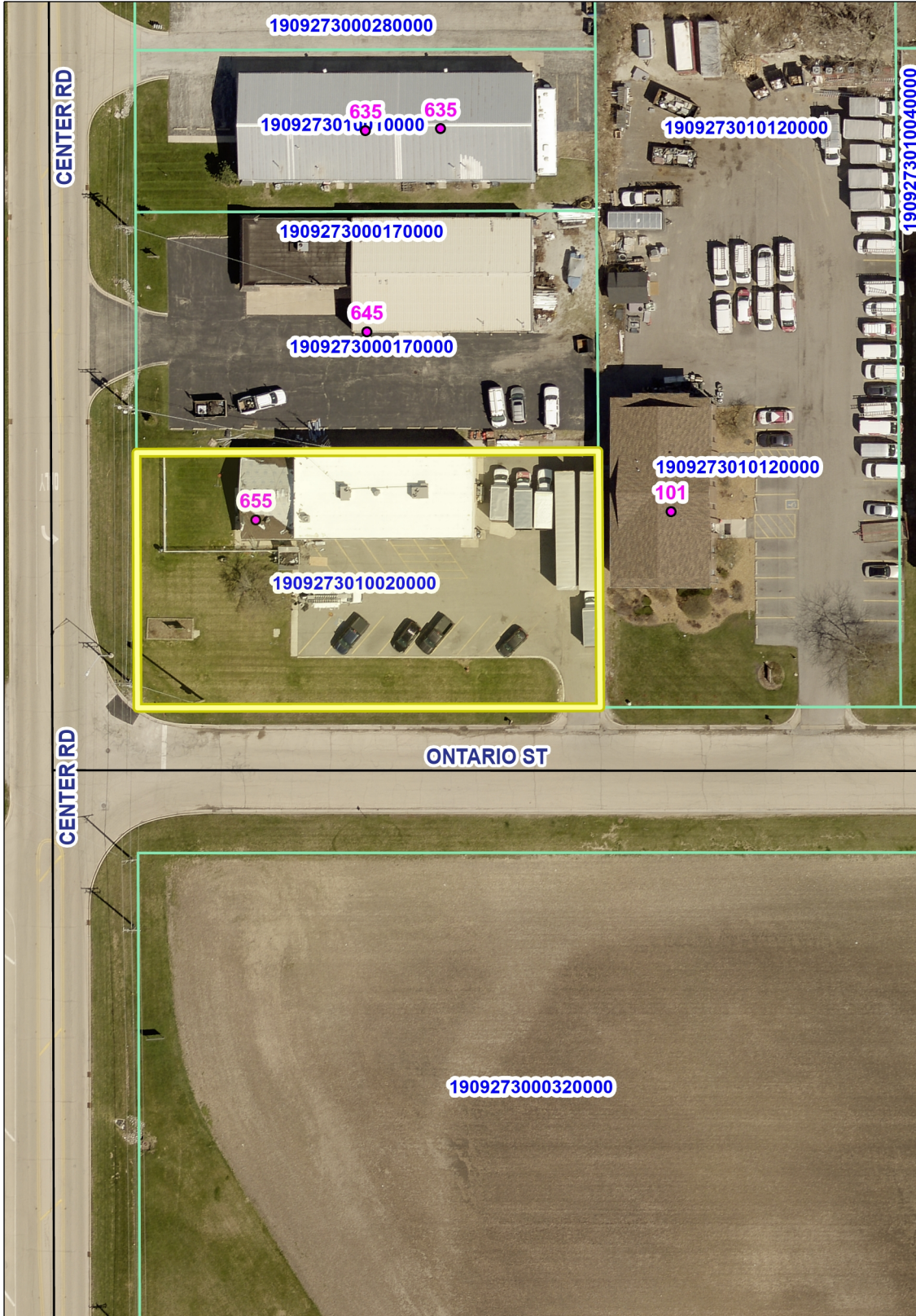
- a. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:
  1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
  2. That the plight of the owner is due to unique circumstances;
  3. That the variation, if granted, will not alter the essential character of the locality.

- b. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making this determination, whenever there are practical difficulties or hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:
1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
  2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
  3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
  4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
  5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
  6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;
  7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.





# 655 Center Road



## Legend

- Address Points
- Roadways
  - Federal
  - State
  - County
  - Local and Private
- Parcels
- Townships

## Notes

Date: 7/3/2023

1: 1,128

0 0.02 0.04 Miles

Projection

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

Disclaimer of Warranties and Accuracy of Data: Although the data developed by Will County for its maps, websites, and Geographic Information System has been produced and processed from sources believed to be reliable, no warranty, expressed or implied, is made regarding accuracy, adequacy, completeness, legality, reliability or usefulness of any information. This disclaimer applies to both isolated and aggregate uses of the information. The County and elected officials provide this information on an "as is" basis. All warranties of any kind, express or implied, including but not limited to the implied warranties of merchantability, fitness for a particular purpose, freedom from contamination by computer viruses or hackers and non-infringement of proprietary rights are disclaimed. Changes may be periodically made to the information herein; these changes may or may not be incorporated in any new version of the publication. If you have obtained information from any of the County web pages from a source other than the County pages, be aware that electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended that careful attention be paid to the contents of any data, and that the originator of the data or information be contacted with any questions regarding appropriate use. Please direct any questions or issues via email to [gis@willcountyillinois.com](mailto:gis@willcountyillinois.com).

## Site Photographs Taken 8.2.23

North and West Elevations:





West Elevation:



South Elevation:



South and East Elevations:







# PLAT OF SURVEY

CENTER STREET

IRON BAR FOUND

116.63' REC/MEAS

LINE

210.37' REC/MEAS

18148 S. MARTIN AVE. HOMEWOOD, IL 60430 708-I-SURVEY (478-7839) 708-478-4076 FAX

IRON BAR FOUND

ASPHALT O.L. E-W

90°09'51"

1-STORY  
BRICK COMMERCIAL  
BUILDING

CONC.

ASPHALT

50' BUILDING

30'

BUILDING

LINE

ASPHALT 0.3' W

IRON PIPE FOUND

210.55' REC/MEAS

ONTARIO STREET

RECEIVED

By Mike Schwarz at 4:37 pm, Jul 18, 2023

LOT AREA:  
24,553.3 SQ. FT.  
0.56 ACRES

LOT 1, EXCEPT THE NORTH 75 FEET IN JOHNSON'S ADDITION TO FRANKFORT, BEING A SUBDIVISION OF A PART OF THE SOUTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 27, IN TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 26, 1972 AS DOCUMENT R72-21179, IN WILL COUNTY, ILLINOIS.

AS PER CLIENT/AGENT, MONUMENTS NOT RECOVERED AT THE TIME OF THIS SURVEY WERE NOT RESET.

STATE OF ILLINOIS)  
S.S.  
COUNTY OF COOK)

STATE OF ILLINOIS REG. # 184-002702

ON BEHALF OF STREAMLINE SURVEY, INC. I HEREBY CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

STREAMLINE SURVEY, INC.

BY: REGISTERED ILLINOIS LAND SURVEYOR

DATED: 07-30-09

DATE OF LICENSE EXPIRATION: NOVEMBER 30, 2010

DATE OF FIELD WORK COMPLETION: JULY 29, 2009

REVIEW YOUR DESCRIPTION AND PHYSICAL EVIDENCE WITH THIS PLAT AND REPORT ANY DIFFERENCES YOU MAY FIND.

ALL DISTANCES AS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF. NO ANGLES OR DISTANCES ARE TO BE DETERMINED BY SCALING.

SCALE: 1"=30'

JOB NO.: 09-0666

ADDRESS: 655 CENTER RD.

FRANKFORT, IL

P.I.N.: 09-27-301-002

TOWNSHIP: FRANKFORT

ORDERED BY: DONALD P. BAILEY

© STREAMLINE SURVEY, INC. 2009

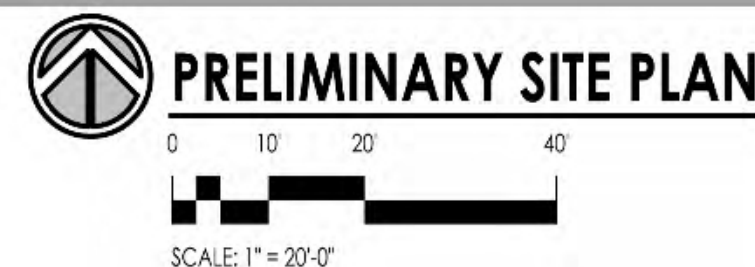
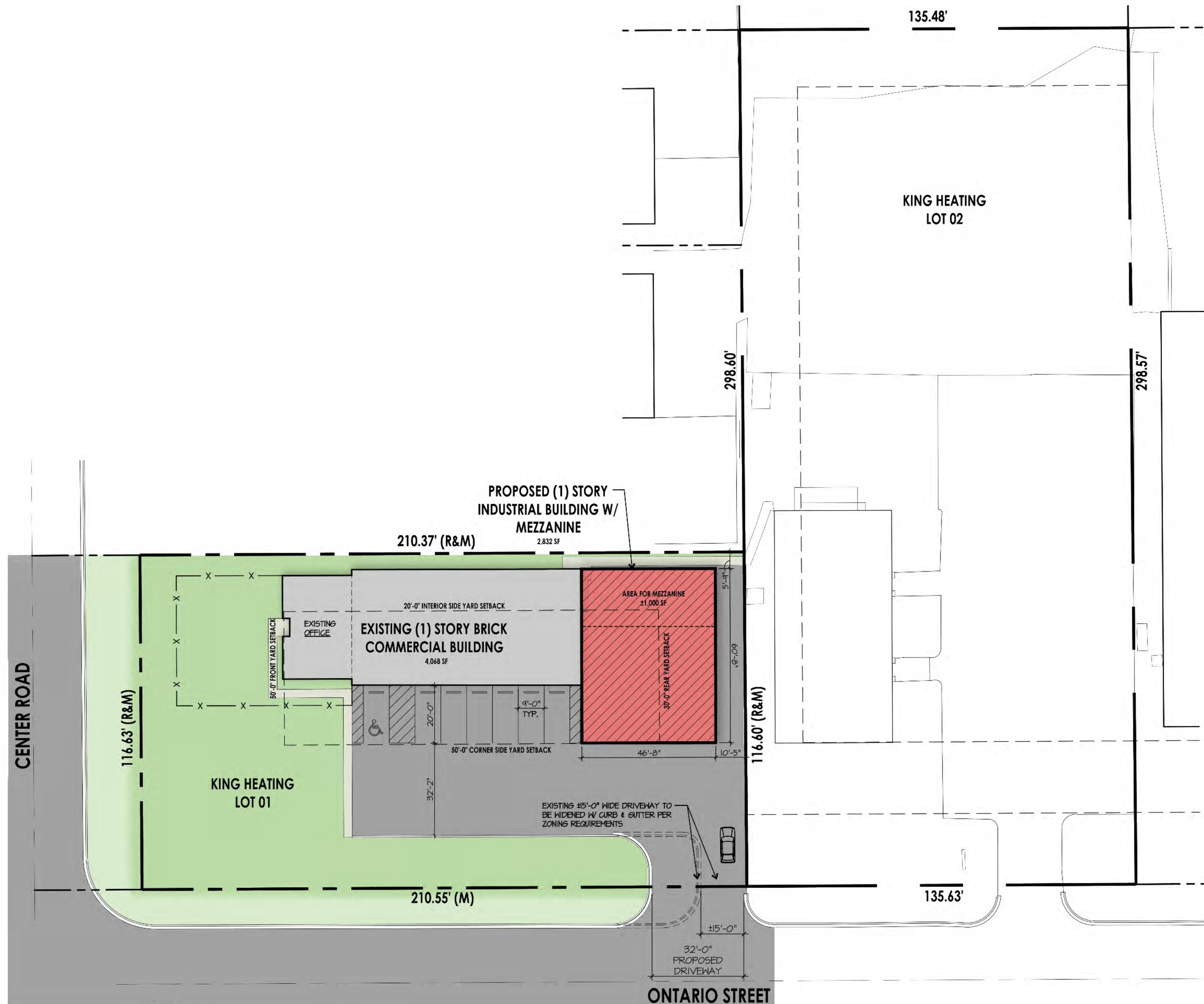


S

STREAMLINE SURVEY PRINTS EXCLUSIVELY ON 100% POST CONSUMER CONTENT PAPER



P:\2023\2023-0070\Drawings\Title\Site\Land-Zoning\2023-0070\_Site\_Plan\_06-05-2023.dwg, 7/17/2023 3:03 PM, WBSNC, PL-13  
DATE: 06-07-2023 AS OWNER REVIEW



ZONING DATA		
PER FRANKFORT ZONING MAP, ADOPTED 3-20-2023,		
I-2 GENERAL INDUSTRIAL DISTRICT		
PERMITTED USES - BUILDING TRADES' AND CONTRACTOR'S OFFICE, WAREHOUSE & WHOLESALE ESTABLISHMENTS		
SETBACKS (PER ZONING CODE)		
FRONT YARD (CENTER RD)	= 50'	
CORNER SIDE YARD	= 50'	
REAR YARD	= 30'	
LANDSCAPED FRONT YARD	= 20'	
TOTAL SITE AREA = 43,560 S.F. MIN. 24,516 S.F.		
MIN LOT WIDTH=	100' MIN.	116.63'
BUILDING AREA =	NOT SPECIFIED	4,068 SF ACTUAL, 6,999 SF PROPOSED
BUILDING HEIGHT=	35'	30'-4"
LOT COVERAGE =	NOT TO EXCEED 85%	71.8%
PARKING REQUIREMENTS:		
WAREHOUSE: ONE (1) SPACE PER EMPLOYEE FOR THE WORK SHIFT WITH THE LARGEST NUMBER OF EMPLOYEES; PLUS ONE (1) SPACE PER 5,000 SQUARE FEET OF GROSS FLOOR AREA.		
5 EMPLOYEES + 1 PER 5,000 @ 6,900 SQFT = 7 PARKING STALLS		

- | GENERAL NOTES |   |
|---------------|---|
| 1.            | ALL EASEMENTS, SETBACKS, RIGHT-OF-WAYS, DEDICATIONS, AND PLATTED SURVEY ARE TO BE CONFIRMED |
| 2.            | ALL STORM WATER MANAGEMENT SHALL BE CONFIRMED WITH CIVIL ENGINEER OF RECORD                 |
| 3.            | THIS DRAWING/ILLUSTRATION IS ONLY DIAGRAMMATIC AND FOR INFORMATION PURPOSES ONLY            |
| 4.            | PARKING REQUIREMENTS TO BE CONFIRMED WITH LOCAL JURISDICTION                                |
| 5.            | LANDSCAPE REQUIREMENTS TO BE CONFIRMED WITH LOCAL JURISDICTION                              |
| 6.            | FINAL BUILDING FOOTPRINT(S) TO BE CONFIRMED   |
| 7.            | SITE LIGHTING TO BE CONFIRMED   |



ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
10100 ORLAND PARKWAY SUITE 110  
ORLAND PARK, ILLINOIS 60467  
(708) 799-4400  
WWW.LINDENGROUPINC.COM

KING MECHANICAL  
PROPOSED WAREHOUSE  
655 CENTER ROAD & 101 ONTARIO STREET  
FRANKFORT, IL 60423

2023-0070  
PROJECT NUMBER  
7-13-2023  
DATE  
AS GWC  
DRAWN BY FINAL REVIEW

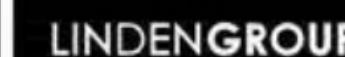
COPYRIGHT - LINDEN GROUP INC.  
ALL RIGHTS RESERVED.  
ALL DRAWING, SPECIFICATIONS, DETAILS, CALCULATIONS, MEASUREMENTS  
AND NOTATIONS ARE THE PROPERTY OF LINDEN GROUP INC. NO PART OF THIS DOCUMENT  
SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS  
ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY  
ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN  
AUTHORIZATION OF LINDEN GROUP INC.

PRELIMINARY  
SITE PLAN

SHEET NAME  
PD-1.0  
SHEET

RECEIVED  
By Mike Schwarz at 4:36 pm, Jul 18, 2023





ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE

10100 ORLAND PARKWAY SUITE 110  
ORLAND PARK, ILLINOIS 60467  
(708) 799-4400  
WWW.LINDENGROUPINC.COM

**KING MECHANICAL  
PROPOSED WAREHOUSE**  
655 CENTER ROAD & 101 ONTARIO STREET  
FRANKFURT, IL 60423

655 CENTER ROAD & 1  
FRANKFORT IL 60123

DATE	DRAWN	DESCRIPTION
04-07-2023	AS	OWNER REVIEW

2023-0070

PROJECT NUMBER  
**6-15-2023**

AS  
DRAWN BY

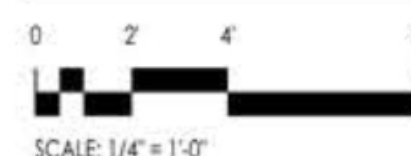
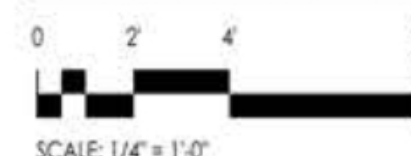
**COPYRIGHT - LINDEN GROUP INC.  
ALL RIGHTS RESERVED.**

### PRELIMINARY ELEVATIONS

SHEET NAME

## PD-1.2

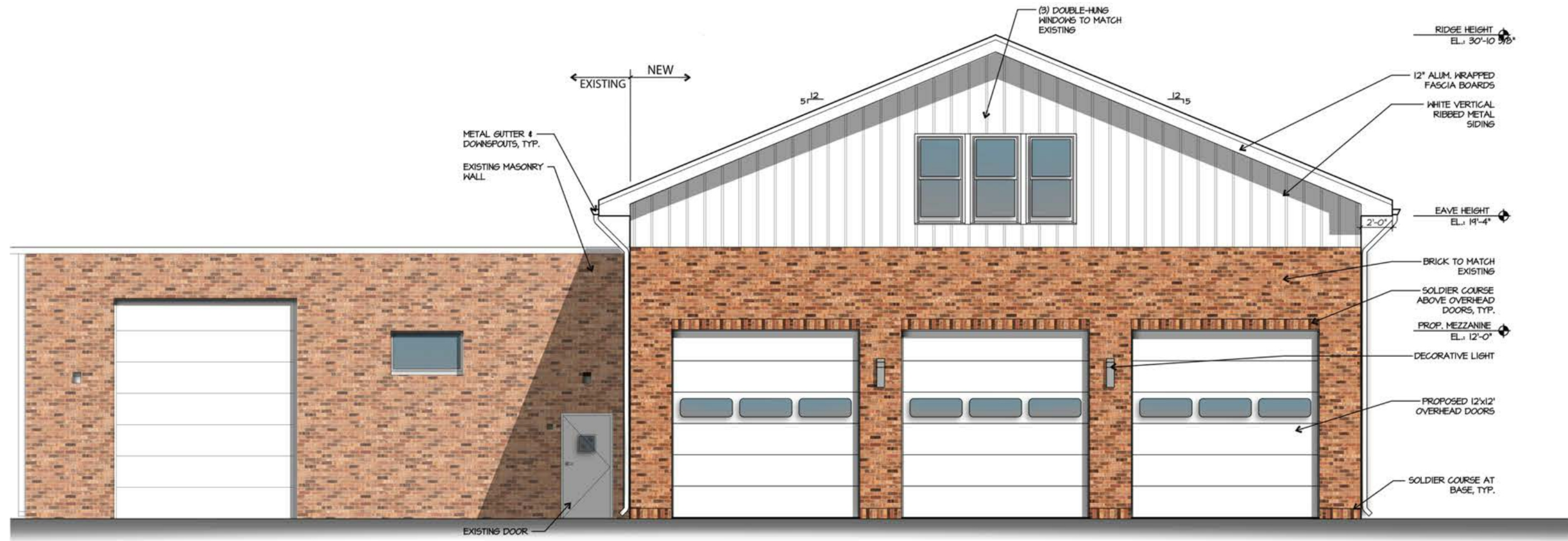
**CHEE**



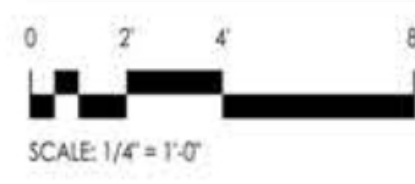
RECEIVED

By Mike Schwarz at 4:36 pm, Jul 18, 2023

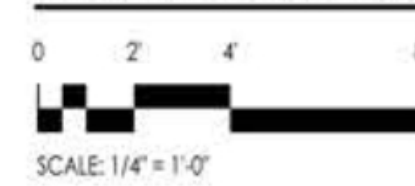




SOUTH ELEVATION



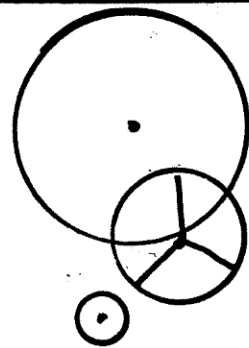
WEST ELEVATION





CENTER ROAD

LEGEND



DECIDUOUS OVERSTORY TREE @ 2.5" BB

DECIDUOUS UNDERSTORY TREE @ 2.0" BB

LG DECIDUOUS SHRUB

EVERGREEN SHRUB

SMALL DECIDUOUS SHRUB

PROPOSED (1) STORY  
INDUSTRIAL BUILDING W/  
MEZZANINE

2,832 SF

EXISTING (1) STORY BRICK  
COMMERCIAL BUILDING

4,048 SF

20'-0" INTERIOR SIDE YARD SETBACK

20'-0" FRONT YARD SETBACK

20'-0" CORNER SIDE YARD SETBACK

PARKING LOT

EXISTING  
OVERSTORY TREE

LOT 01

EXISTING RAISED  
PLANTER + SIGN

U.P. + SIREN

EXISTING 15'-0" WIDE DRIVEWAY TO  
BE MODIFIED BY CURB & GUTTER PER  
ZONING REQUIREMENTS

FIRE HYDRANT

32'-0"  
PROPOSED  
DRIVEWAY

ONTARIO STREET

116.60' (R&M)

OVERHEAD WIRES

U.P.



PRELIMINARY SITE PLAN

KING  
MECHANICAL  
WAREHOUSE

655 Center Road &  
101 Ontario Street  
Frankfort, IL 60423

IRG  
Ives/Ryan  
Group, Inc.

Landscape Architecture  
Park & Recreation Design  
Municipal Consulting

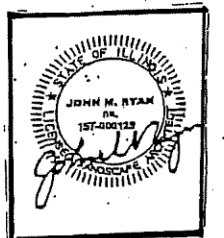
1741 S Wiesbrook Rd  
Wheaton, IL 60189  
Office-Cell 630.738-0726

PRELIMINARY  
LANDSCAPE PLAN

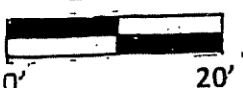
PROJECT NO.: JOB NO.:  
L1623-9394

DATE: 8-08-23  
SCALE: 1" = 20'  
PLANNER: JMR  
DRAWN BY:  
CHECKED:

SHEET  
L-1



1"=20'



811

Know what's below.  
Call before you dig.

## LANDSCAPE REQUIREMENTS – COMPLIANCE CALCULATIONS

( per Village of Frankfort Landscape Ordinance – Code of Ordinances-Section 158)

Sec. 158.31 PARKWAY PLANTING	REQUIRED	PROVIDED
<b>ONTARIO STREET</b>		
178.55 LF div. by 35' = 5.10 PARKWAY TREES	5	5 – Deciduous Overstory Trees @ 2.5" BB
<b>CENTER ROAD</b>		
116 LF div. by 25' = 4.64 PARKWAY TREES	5	5 – Deciduous Understory Trees @ 2.0" BB ( due to overhead wires)
Sec. 158.30 (a) PARKING LOT SCREENING	REQUIRED	PROVIDED PLANT UNITS (P.U.s)
<b>WEST FRONTAGE ( Center Rd)</b>		
53 LF div. by 100' = .53 x 150 P.U.= 79.5	80 P.U.s	1-Dec. Overstory Tree (existing) = 10 2-Understory Trees @ 5 P.U. = 10 8-Large Shrubs @ 2 P.U. = 16 44- Small Shrubs @ 1 P.U. = 44 TOTAL P.U.s..... 80
<b>SOUTH FRONTAGE (Ontario St)</b>		
93 LF div. by 100' = .93 x 150 P.U. = 139.5	140 P.U.s	2-Dec.Overstory Trees @ 10P.U. =20 2-Underastory Trees @ 5 P.U. = 10 10-Large Shrubs @ 2 P.U. = 20 90-Small Shrubs @ 1 P.U. = 90 TOTAL P.U.s..... 140

### KING MECHANICAL WAREHOUSE

655 Center Road &  
101 Ontario Street  
Frankfort, IL 60423



Landscape Architecture  
Park & Recreation Design  
Municipal Consulting

1741 S Wiesbrook Rd  
Wheaton, IL 60189  
Office-Cell 630.738-0726

### PRELIMINARY LANDSCAPE PLAN

PROJECT NO.: JOB NO.:  
**L1623-9394**

DATE: **8-08-23**

SCALE: **1" = 20'**

PLANNER: **JMR**

DRAWN BY: \_\_\_\_\_

CHECKED: \_\_\_\_\_

SHEET  
**L-2**







Application for Plan Commission / Zoning Board of Appeals Review  
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

This is an older industrial property on a corner lot with existing setback non-conformities to the north side yard. Unfortunately due to a narrow lot and 50 foot setbacks on both frontages, buildable area is severely diminished.

2. That the plight of the owner is due to unique circumstances; and

King Heating is and has been in a growth mode given the current state of the economy and demand for quality HVAC services. The company is desirous to remain in the Village of Frankfort.

3. That the variation, if granted, will not alter the essential character of the locality.

The property is located in an Industrial Zoning District / Corridor. The property abuts a currently owned parcel by King Heating directly to the East. The proposed architecture is consistent with developments in the area and works to match the existing building to remain.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

Due to the limited opportunities to expand the building's warehousing area and provide adequate truck circulation we are requesting a variation for the rear yard setback. The variation for the northern side-yard setback is primarily for an existing non-conformity as well as the building addition is proposed to align with the face of existing north facade.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

The conditions upon which the petition for variation(s) are site specific and unique to this property.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

The purpose of the variation is to enable the Owner to improve his warehousing capacity at this location in Frankfort which is centralized to King Heating's operations.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

The alleged difficulty or hardship has not been created by any person presently having an interest in the property.

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

The granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood.

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

The exterior architecture of the addition will be consistent with The Village of Frankfort's high aesthetic quality standards as well as blend in with the existing building. The proposed expansion will not cause a substantial depreciation in the property values within the neighborhood or community.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

The proposed expansion will be designed and built within the extents of applicable local building codes. Further, the project will not impair an adequate supply of air to adjacent properties, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.





### Standards of Variation Commissioner Evaluation Form

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided.

	STANDARD	NOTES	MEETS	
1.	That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;		YES	NO
2.	That the plight of the owner is due to unique circumstances;		YES	NO
3.	That the variation, if granted, will not alter the essential character of the locality.		YES	NO

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence.

	STANDARD	NOTES	MEETS	
1.	That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;		YES	NO

2.	That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;		YES	NO
3.	That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;		YES	NO
4.	That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;		YES	NO
5.	That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;		YES	NO
6.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or		YES	NO
7.	That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.		YES	NO



# Memo

**To:** Plan Commission/Zoning Board of Appeals  
Adam Nielsen, Director of Building Services

**From:** Amanda Martinez, Planner

**Date:** August 24, 2023

**Re:** 32 W. Nebraska Street - Minor Change to the Row House Limited PUD

---

Staff received an application for a Minor Change to the Row House Limited Planned Unit Development (PUD) in order to expand a stair landing area located at 32 W. Nebraska Street (PIN #19-09-28-214-001-0000). The applicant proposes to construct a 5'5.5" by 6'11" (±38.5 square feet) stair landing area to attach to the existing staircase that is on the west elevation of the existing garage building. The proposed stair landing expansion area will aesthetically and structurally match the existing metal staircase regarding material, color, and style. The subject property is a 14,260 square foot lot that is commonly known as the "ROW House Limited Property". The subject property is zoned as H-1 Historic District and consists of a mixed-use building fronting Nebraska Street, a parking lot in the rear of the building, and a two-story garage in the parking lot (along the south property line).

After staff's research of the property and review of the applicant's request, the proposed scope of work, which only pertains to the modification of the existing exterior metal staircase, was deemed to be a Minor Change to the PUD.

Per Zoning Ordinance Article 3, Section F, Part 12, e, "the Code Official may approve minor changes in the planned unit development which do not change the concept or intent of the development and shall convey all decisions to the Plan Commission in writing." This memo serves as notification to the Plan Commission of staff's approval of the proposed Minor Change to PUD for the property located at 32 Nebraska Street (PIN #19-09-28-214-001-0000) which grants approval for the proposed stair landing expansion project.

The following points are provided for additional background information:

- The applicant applied for and was granted a Special Use for a PUD in 1999. The PUD ordinance included rezoning the property from C-1 to H-1.
- In 2008, the applicant applied for and was granted a Major Change to the PUD to construct a garage addition (the second floor of the garage) which at the time was stated as being intended for office space for the property owner/developer. The second floor of the garage is currently being used as a dwelling, which is considered a permitted use in the H-1 District as a residence of a business proprietor.
- On July 18, 2023, the applicant applied for a Certificate of Appropriateness requesting approval of the stair landing expansion project from the Historic Preservation Commission. The Historic Preservation Commission held a meeting

on August 16, 2023 and granted approval of the Certificate of Appropriateness by a vote of 3-0. The Commissioners discussed that this was a newer building located within the Historic District and their purview is limited to the aesthetic design of the proposed stair landing expansion. Prior to the Historic Preservation Commission meeting on August 16, staff received an anonymous letter that raised concerns about the existing use of the second floor of the garage building among other concerns about privacy for an adjacent property owner.

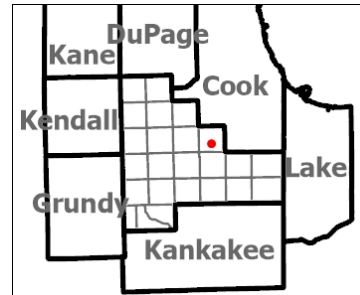
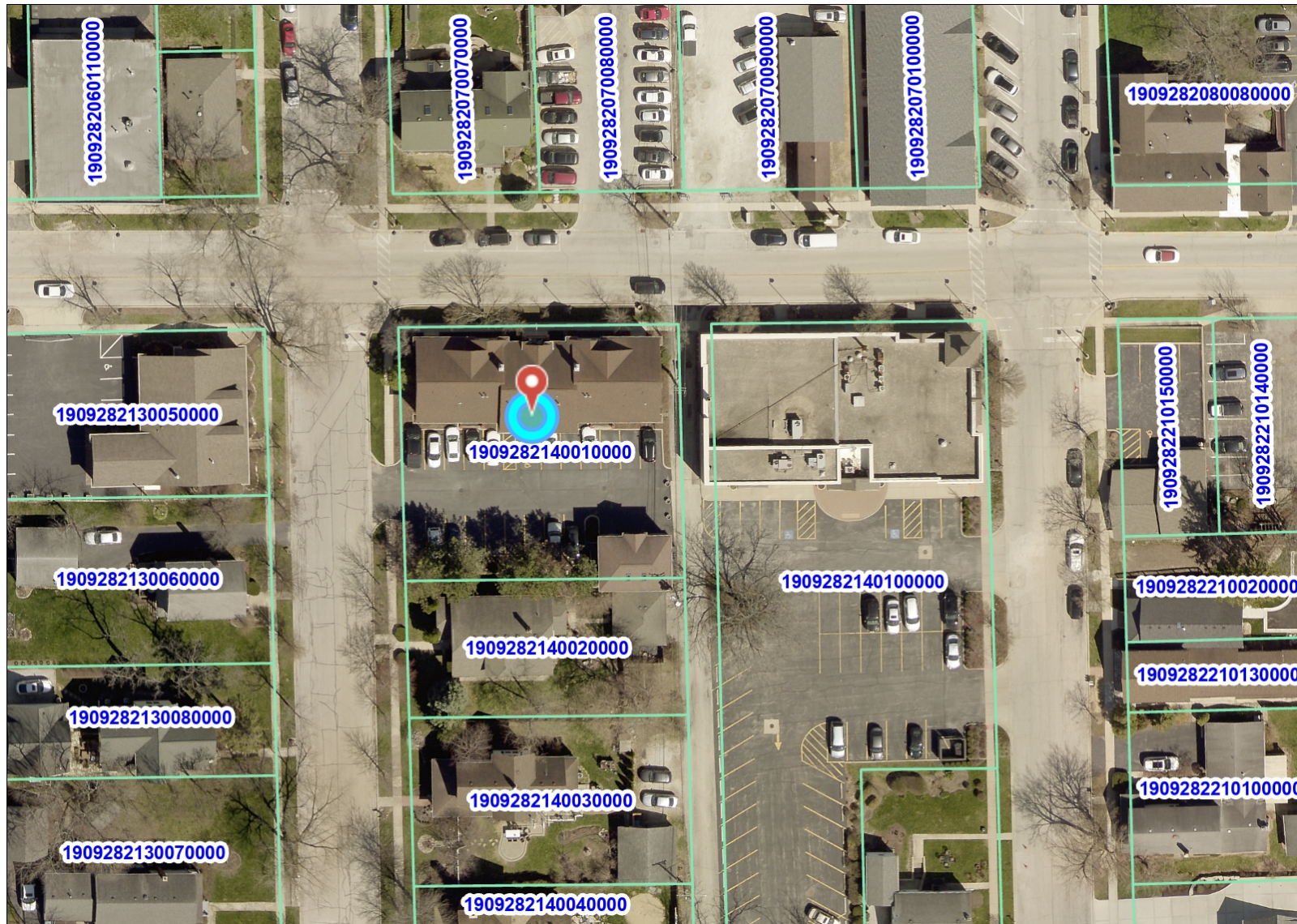
Staff will work with the Will County 9-1-1 GIS Department to correctly assign a street address for the garage building. Staff will work with the applicant to try to add additional screening to alleviate the concern about privacy for the adjacent property owner. Staff will send an approval letter to the applicant with similar information.

This memo serves as notification to the Plan Commission of staff's approval of the Minor Change to the Row House Limited PUD to modify the previously approved exterior metal staircase.





## 32 Nebraska Street



### Legend

- Parcels
- Townships

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

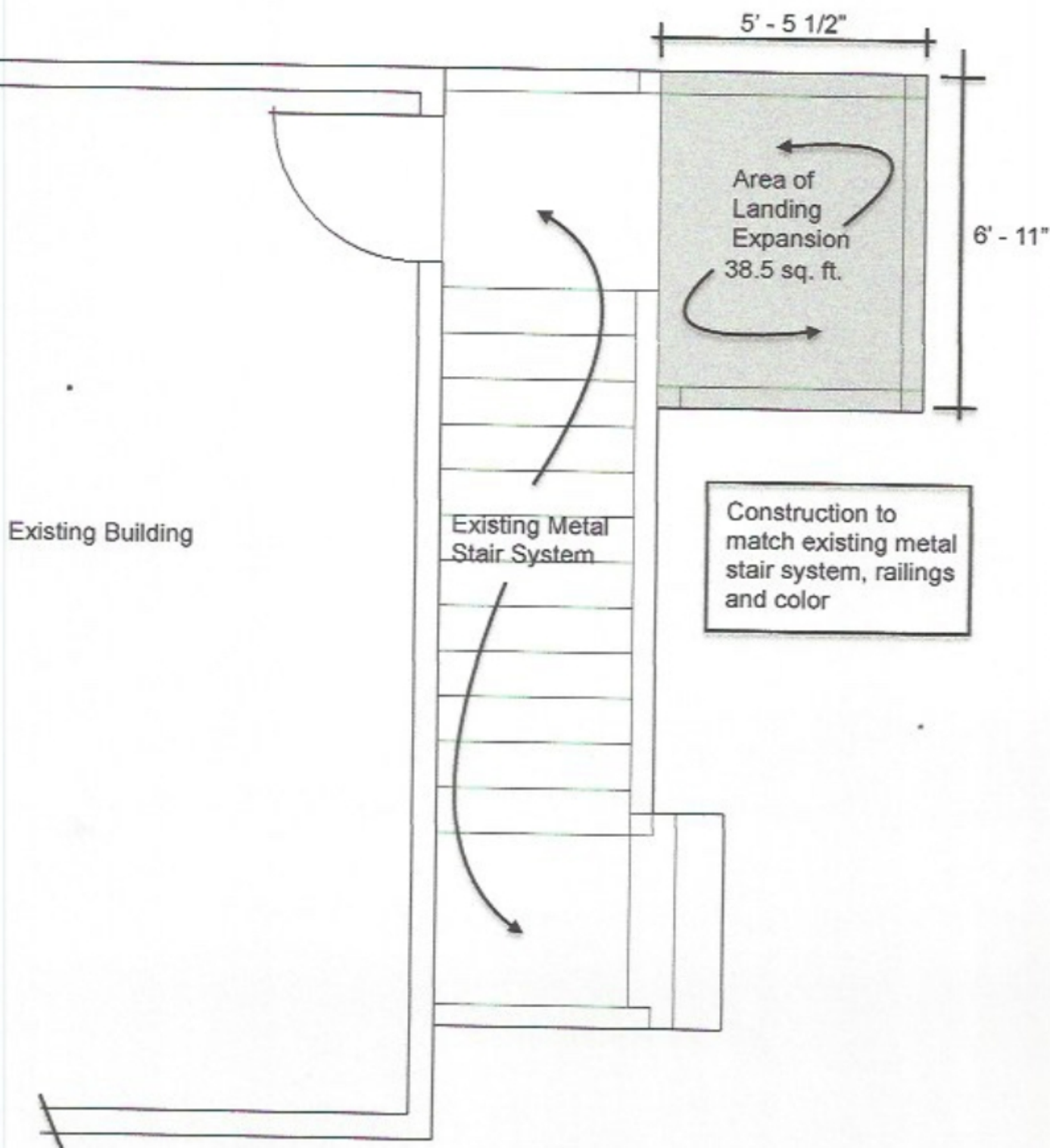
0 0.02 0.0 Miles

1:1,128



Disclaimer of Warranties and Accuracy of Data: Although the data developed by Will County for its maps, websites, and Geographic Information System has been produced and processed from sources believed to be reliable, no warranty, expressed or implied, is made regarding accuracy, adequacy, completeness, legality, reliability or usefulness of any information. This disclaimer applies to both isolated and aggregate uses of the information. The County and elected officials provide this information on an "as is" basis. All warranties of any kind, express or implied, including but not limited to the implied warranties of merchantability, fitness for a particular purpose, freedom from contamination by computer viruses or hackers and non-infringement of proprietary rights are disclaimed. Changes may be periodically made to the information herein; these changes may or may not be incorporated in any new version of the publication. If you have obtained information from any of the County web pages from a source other than the County pages, be aware that electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended that careful attention be paid to the contents of any data, and that the originator of the data or information be contacted with any questions regarding appropriate use. Please direct any questions or issues via email to [gis@willcountyillinois.com](mailto:gis@willcountyillinois.com).

Notes



**Proposed Stair Landing Expansion**  
32 W. Nebraska St. Frankfort, IL. 60423

**Rowhouse Ltd.**  
708-351-9964

July 17, 2023



NEBRASKA

ST.

EXISTING 8'-6" CONCRETE CURB & ASPHALT PAVEMENT

124.00

LOT 1

PROPOSED BUILDING  
F. F. EL. = 760.3

AREA OF  
STAIR  
LANDING  
EXPANSION

NOTE:  
ADD 1 STEP (7 1/2") @ EXISTING  
SIDEWALK TO MAKE UP GRADE  
DIFFERENCE

VILLAGE RECORDS INDICATE THERE  
IS AN EXISTING STUD 8.3 FEET SOUTH  
OF MANHOLE, LOCATE & CONNECT

50 LF 6" PVC SDR 25 SANITARY  
SEWER @ 1.00 % MIN.

4" DIA. TYPE 'A' SANITARY MANHOLE  
W/ TYPE 1 FRAME AND CLOSED LID  
RM. EL. = 759.3 (MATCH) INV. = 754.0

2" DIA. TYPE 'A' INLET W/ E&W 1037  
FRAME AND GRATE RM. EL. = 758.7  
INV. CL. = 757.2

PUBLIC

15.00

LOT 2

124.00

OAK

115.00

8" CL 62 DUCTILE  
IRON WATERMAIN

5 SPACES @ 9' = 45'

6 SPACES @ 9' = 54'

20 LF 6" PVC SDR 20  
SANI SEWER @ 1.00 % MIN.

REMOVE  
EXISTING  
WALK

70 LF 12" RCP CL 12  
STORM SEWER @ 0.02 %

R = 5'  
TYP. B.C.

R = 2.5'  
TYP. B.C.

R = 4'

MATCH

BRICK  
GARAGE

EXISTING  
ASPHALT  
PAVEMENT







