



**PLAN COMMISSION / ZONING BOARD OF APPEALS
AGENDA**

**Thursday, May 23, 2024
6:30 P.M.**

**Frankfort Village Hall
432 W. Nebraska Street (Board Room)**

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Minutes of May 9, 2024**
- 4. Parking Adjustment for 9500 W. Lincoln Highway (barbershop)**
Request: Approve an adjustment to the minimum number of required parking spaces to allow the existing 79 parking spaces on the property to serve the existing businesses and the proposed barber shop, in the B-2 Community Business District (PIN: 19-09-22-100-066-0000).
- 5. Public Hearing: 9426 Corsair Road – Triple Crown Training/Top Velocity (Ref#109) **Public Hearing continued from April 25, 2024****
Request: Special Use Permit for indoor recreation for a baseball training facility in the I-1 Limited Industrial District (PINs: 19-09-34-302-013-0000).
- 6. Workshop: 20091 S. La Grange Road – Chick-Fil-A**
Future Public Hearing Requests: (1) Major Change to the Hickory Creek Market Place Planned Unit Development for the proposed redevelopment of Outlot 2B in the Resubdivision of Hickory Creek Marketplace Subdivision, including certain modifications to Zoning Ordinance and Municipal Code requirements; (2) Special Use Permit for a proposed carry-out restaurant; (3) a Special Use Permit for drive-through service windows associated with a permitted restaurant; (4) Special Use for outdoor seating associated with a permitted restaurant; and (5) Special Use for extended hours of operation in the B-3 General Business District (PIN: 19-09-15-101-044-0000).
- 7. Public Comments**
- 8. Village Board & Committee Updates**
- 9. Other Business**
- 10. Attendance Confirmation (June 13, 2024)**
- 11. Adjournment**

All applicants are advised to be present when the meeting is called to order. Agenda items are generally reviewed in the order shown on the agenda, however, the Plan Commission/Zoning Board of Appeals reserves the right to amend the agenda and consider items in a different order. The Commission may adjourn its meeting to another day prior to consideration of all agenda items. All persons interested in providing public testimony are encouraged to do so. If you wish to provide public testimony, please come forward to the podium and state your name for the record and address your comments and questions to the Chairperson.

In compliance with the Americans with Disabilities Act and other applicable Federal and State laws, the meeting will be accessible to individuals with disabilities. Persons requiring auxiliary aids and/or services should contact the Community Development Department at (815) 469-2177, preferably no later than five days before the meeting.



MINUTES

MEETING OF VILLAGE OF FRANKFORT PLAN COMMISSION / ZONING BOARD OF APPEALS

May 9, 2024 –VILLAGE ADMINISTRATION BUILDING

432 W. NEBRASKA STREET

Call to Order: Chair Schaeffer called the meeting to order at 6:30 PM

Commissioners Present: Nichole Schaeffer (Chair), Brian James, Johnny Morris, Dan Knieriem, Jessica Jakubowski, Will Markunas

Commissioners Absent: David Hogan

Staff Present: Community & Economic Development Director Mike Schwarz,
Senior Planner Chris Gruba, Planner Amanda Martinez,
Administrative Assistant Lisa Paulus

Elected Officials Present: Mayor Keith Ogle

A. Approval of the Minutes from April 25th, 2024

Chair Schaeffer asked for questions or comments regarding the minutes. There were none.

Motion (#1): To approve the minutes from April 25th, 2024.

Motion by: James Seconded by: Morris

Abstained: Jakubowski, Markunas

Approved: (4-0-2)

Chair Schaeffer asked members of the audience to raise their hands if they intend to provide testimony during any of the public hearings this evening. A number of people raised their hands. Chair Schaeffer then swore in those members of the audience wishing to provide testimony. She asked the members of the audience if this evening's meeting was the first Plan Commission meeting that they have been to. A number of people raised their hands. Chair Schaeffer explained the Plan Commission's role and how the meeting is typically conducted.

B. Public Hearing: Abbey Woods North (Ref #108) Public Hearing continued from April 25, 2024

Christopher Gruba presented the staff report.

The applicant, Shawn O'Malley, approached the podium.

Mr. O'Malley stated he would like to add a clarification that they meet or exceed the 15,000 square feet lot requirement. They removed one of the lots to meet the requirement.

Chair Schaeffer asked the public if there were any comments. There were no comments.

Commissioner Markunas asked who is responsible for maintaining the east side of the retaining wall on the east side of the property.

The applicant's Engineer, Brian Hertz, responded that the difference in grade is 1.5 feet and will be located within the easement. The applicant added that easement is on the resident's property, so it would be the responsibility of the individual homeowners to mow their yards behind the east retaining walls.

Commissioner Markunas asked if there were still problems with the water on the adjacent property.

The applicants Engineer responded that they did a lot of work with the Village's engineer Robinson Engineering to make sure that water drains to Hickory Creek in the proper way, thus addressing all of the Village's engineer comments.

Commissioner Markunas asked if the HOA rules will include a written agreement to maintain the swale along the west side of the property.

The applicant responded yes.

Commissioner James asked if the applicant was okay with paying the cash-in-lieu fee for mitigation of the preservation trees to be removed.

The applicant responded that they are already absorbing all the costs of improving the property to make it developable, so he does not think it is fair to pay cash-in-lieu fee for preservation tree mitigation.

Chris Gruba responded that this topic could be discussed at the Village Board level.

The applicant added that they are putting excess landscaping and making the subdivision look very nice. He would like to discuss this topic with the Village Board.

Commissioner James asked if the stub street Letter of Credit would be mentioned in the annexation agreement. He added that he understands this is a difficult plot of land and adding the stub street makes those adjacent corner lots deficient for lot width.

Chair Shaeffer asked if the commissioners had any concerns about the draft CCR's. There were no concerns.

Christopher Gruba mentioned that a "no fence" easement was added on both sides of the development beyond the retaining walls on the Preliminary Plat. He asked the applicant if it was his intention to also include the "no fence" easement on the east side of the development, behind Lots 13 & 14. There was some discussion but Shawn O'Malley responded that he would like to not include a "no fence" easement behind Lots 13 & 14, since they are more easily accessible for lawn mowing. The Commission generally agreed with this request. Christopher Gruba noted that this change could be considered a technical revision to the Plat.

Chair Shaeffer asked if there were any questions. There were none. She asked for a motion.

Chair Shaeffer added the stub street Letter of Credit as a condition to Motion #6 of the project.

Motion (#2): To close the public hearing.

Motion by: Jakubowski Seconded by: Morris

Approved: 6-0

Motion (#3): To approve the use of retaining walls that exceed 50' long, as noted on page 70 of the Design Standards, in accordance with the reviewed plans, public testimony and Findings of Fact.

Motion by: Markunas Seconded by: James

Approved: 6-0

Motion (#4): To recommend the Village Board approve the rezoning request for the parcel (19-09-15-300-019-0000) from E-R to R-2 upon annexation, in accordance with the reviewed plans, public testimony and Findings of Fact.

Motion by: Jakubowski Seconded by: Morris

Approved: 6-0

Motion (#5): To recommend the Village Board approve the Preliminary Plat of Subdivision for Abbey Woods North, in accordance with the reviewed plans and public

testimony, subject to any necessary technical revisions, conditioned upon preliminary engineering approval, dedication of right-of-way for St. Francis Road, that the outlots (including detention ponds) and the 15' wide public utility and drainage easement on the Fleck property be maintained by the Abbey Woods North Homeowners Association and providing staff a copy of the recorded Plat of Easement for the Fleck property.

Motion by: James

Seconded by: Jakubowski

Approved: 6-0

Motion (#6): To recommend the Village Board approve an exception to the 2008 Design Standards to permit a cul-de-sac local street that exceeds 750' long for Waterview Trail, to be included as part of the annexation agreement for Abbey Woods North, in accordance with the reviewed plans and public testimony.

Motion by: Jakubowski

Seconded by: Markunas

Approved: 6-0

Motion (#7): To recommend the Village Board approve an exception to the Land Subdivision Regulations (Ord-921) to permit a cul-de-sac street serving 25 units or more that exceeds 500' long for Waterview Trail, to be included as part of the annexation agreement for Abbey Woods North, in accordance with the reviewed plans and public testimony.

Motion by: James

Seconded by: Jakubowski

Approved: 6-0

Motion (#8): To recommend the Village Board approve an exception from the Land Subdivision Regulations (Ord-921) to permit a stub street to the west that does not extend to the boundary line of the development, to be included as part of the annexation agreement for Abbey Woods North, in accordance with the reviewed plans and public testimony.

Motion by: Jakubowski

Seconded by: James

Approved: 6-0

Motion (#9): To recommend the Village Board approve a variation request to reduce the minimum corner lot width to 106.8' instead of 120' for Lot 8, which may be included as part of the Annexation Agreement for Abbey Woods North, in accordance with the reviewed plans, public testimony and Findings of Fact.

Motion by: Markunas

Seconded by: Jakubowski

Approved: 6-0

Motion (#10): To recommend the Village Board approve a variation request to reduce the minimum corner lot width to 106.2' instead of 120' for Lot 9, which may be included as part of the Annexation Agreement for Abbey Woods North, in accordance with the reviewed plans, public testimony and Findings of Fact.

Motion by: Markunas Seconded by: Morris

Approved: 6-0

Motion (#11): To recommend the Village Board approve a variation request to reduce the minimum corner lot width to 106.6' instead of 120' for Lot 25, which may be included as part of the Annexation Agreement for Abbey Woods North, in accordance with the reviewed plans, public testimony and Findings of Fact.

Motion by: James Seconded by: Jakubowski

Approved: 6-0

Motion (#12): To recommend the Village Board approve a variation request to reduce the minimum lot depth to 123.1' instead of 150' for Lot 10, which may be included as part of the Annexation Agreement for Abbey Woods North, in accordance with the reviewed plans, public testimony and Findings of Fact.

Motion by: Morris Seconded by: James

Approved: 6-0

Motion (#13): To recommend the Village Board approve a variation request to reduce the minimum lot depth to 122.5' instead of 150' for Lot 14, which may be included as part of the Annexation Agreement for Abbey Woods North, in accordance with the reviewed plans, public testimony and Findings of Fact.

Motion by: Jakubowski Seconded by: Morris

Approved: 6-0

Motion (#14): To recommend the Village Board approve a variation request to reduce the minimum lot depth to 146.4' instead of 150' for Lot 15, which may be included as part of the Annexation Agreement for Abbey Woods North, in accordance with the reviewed plans, public testimony and Findings of Fact.

Motion by: James Seconded by: Markunas

Approved: 6-0

Motion (#15): To recommend the Village Board approve a variation request to reduce the minimum lot depth to 146.2' instead of 150' for Lot 16, which may be included as part of the Annexation Agreement for Abbey Woods North, in accordance with the reviewed plans, public testimony and Findings of Fact.

Motion by: Morris

Seconded by: Jakubowski

Approved: 6-0

C. Public Hearing: 20825 S. La Grange Road – Planet Fitness (Ref #104)

Christopher Gruba presented the staff report.

The applicant, Mason Goodwin, and regional manager, Terry Brennan, approached the podium.

Mr. Brennan stated he was the regional manager overseeing this location. He stated Planet Fitness will be open 24 hours for just 5 of the 7 operating days. The location will be open from 7:00 am Sunday morning until 10:00 pm Friday night. Saturday hours are 7:00 am to 7:00 pm. Then again, Sunday will reopen at 7:00 am.

Chair Schaeffer thanked Mr. Brennan for the update and opened the meeting to initial questions for staff or either applicant.

Commissioner Morris asked if those hours mentioned are franchise hours.

Mr. Brennan replied yes. Over 125 Planet Fitness clubs are open with these same hours. The locations in Illinois and Wisconsin run on the same hours, even locations in Canada.

Commissioner James asked why the applicant chose this location for their business.

Mr. Brennan stated Frankfort is an up-and-coming area, and the location is ideal. They do have a location in New Lenox, but this location would allow them to grow as a company. They'd like to spread into another growing community with a happy and healthy environment.

Commissioner James asked if there were any metrics involved in choosing the location.

Mr. Brennan Stated at least 20 percent of the population of memberships at the New Lenox location were Frankfort addresses on the memberships. They've seen a large population at

the New Lenox location, and also a lot of traffic from Tinley Park and surrounding areas, and it sounds like Frankfort would be a good location for Planet Fitness.

Commissioner James asked if the property owner was in attendance tonight for the meeting.

The applicant replied no.

Commissioner James asked if the owner had submitted anything.

Christopher Gruba replied they submitted a signed floor plan.

Commissioner Jakubowski asked when their business is the busiest.

The applicant replied 6:00 am to 8:00 am as well as anywhere from 4:00 pm to 8:00 pm, depending on the day, weather, and additional conditions.

Commissioner Markunas asked if Mr. Brennan ran the New Lenox Planet Fitness location as well.

Mr. Brennan replied yes.

Commissioner Markunas asked if he had seen any issues with the parking lot or security issues as a result of the location being open 24 hours a day.

Mr. Brennan replied no.

Commissioner Markunas asked if the police or anything had been ever called.

Mr. Brennan replied not that he'd ever seen, no.

Commissioner Markunas asked staff how many other Frankfort businesses were allowed 24 hours a day, 7 days a week operating hours.

Christopher Gruba replied that Anytime Fitness in the Jewel-Osco plaza was open 24 hours a day. The area's gas stations are not open 24 hours a day.

Commissioner Markunas asked if the applicant was aware of The Sign Code requirements. He advised the applicant to make sure they were within the parameters and clarified with Mr. Brennan.

Commissioner Knieriem asked about the interior walls, and questioned if they would be putting up a wall to split the existing unit in the interior of the space.

The applicant replied yes.

Commissioner Knieriem asked if there was an additional exit available.

The applicant stated there will be an additional exit door on the back side of the Planet Fitness.

Commissioner Knieriem asked if there would be a key card for entry.

The applicant replied yes. The member will scan in and an employee will be at the front desk of the Planet Fitness at all times.

Commissioner Knieriem asked if there were any issues at the Anytime Fitness near Jewel Osco that operates 24 hours a day.

Christopher Gruba stated that staff reached out to the Frankfort Police Department and there has been no news that anything has happened at that location.

Commissioner Knieriem stated he didn't think that Anytime Fitness was staffed.

Christopher Gruba replied that Planet Fitness would be staffed.

Commissioner Jakubowski inquired about the minimum staffing for this location.

The applicant replied the minimum staffing would be one person at all times.

Chair Shaeffer asked if the Planet Fitness would have security cameras that would record and be accessible, and if the Frankfort Police and Frankfort Fire Department would be provided with key cards to get in.

Mr. Brennan replied yes, they have surveillance cameras that would be recorded. The Frankfort Police and Frankfort Fire Department would have access to entering Planet Fitness by Knox Box, which is a box that would hold a key to the facility and anything else within Planet Fitness in case of emergency.

Chair Schaeffer asked whether the store frontage of Planet Fitness would remain transparent as far as the glass windows.

The applicant replied that some of their locations, including in Las Vegas, have tinted windows, but this location would have a clear glass storefront.

Chair Schaeffer asked the applicant to please work with staff on signage.

Commissioner James asked about the signage for the location since an existent space was being split.

Christopher Gruba stated wall signage is based on the linear footage of the storefront. All the signs in the plaza are green, but he believes the former Butera sign was Red and the existing Bargain Mania sign is Green. He stated we could cross that bridge at a later point if the applicant requests to deviate from the original signage approval.

Commissioner Schaefer asked staff to see if that would be a PUD.

Commissioner Morris stated that the Village of Frankfort is an up-and-coming town with a community interface. He stated Planet Fitness had some boycotting going on on social media platforms and asked if any of that had been resolved.

Mr. Brennan stated that the gender issue arose in Alaska, and they had received some feedback. However, he stated he had not had any issues nor experienced any issues. He has visited 50 Planet Fitness locations and has never had that be an issue.

Chair Schaeffer opened the hearing to the public for comments.

Resident Ray Bora approached the podium. He stated he lives in the Hunt Club neighborhood right behind the proposed Planet Fitness and had concerns. He stated he didn't mind the health club. He mentioned Frankfort has 3 fitness clubs in the vicinity, but his main concern is the 24 hour operation. Mr. Bora stated he believed that nothing good happens from midnight to 7:00 in the morning. He stated this area is surrounded by a lot of homes and Planet Fitness will bring in a lot of people to the area that don't belong. Mr. Bora also added it's hard to get people to manage the 3rd shift. He stated Planet Fitness is also across the street from the high school, and at 3:00 pm that area gets backed up with traffic congestion, and it's not a safe situation. Mr. Bora stated he did not want it overrun by people, especially if they don't live around here. He thanked the Commission for listening to his thoughts and ideas.

Resident Lester Lindley approached the podium. He stated he lives in the Hunt Club neighborhood as well. Mr. Lindley is concerned about the traffic getting from the parking lot onto Colorado Avenue. He noted people from Starbucks are coming out and to that lane, and sometimes they act like they have the right of way. There's a short light there, the left

turn lane is always congested, and he didn't want any car accidents. Mr. Lindley also stated coming out of the driveway, there is a stop sign that is usually obscured by bush this time of year. He stated the stop sign cannot be seen from further back and suggested it would be great if there could be a big stop sign and even flashing red lights to let traffic know they don't have the right of way getting onto Colorado Avenue. Also, there's several fitness centers in the area. He also had the following questions: Why have a fob so they can get there anytime they want? Why the clientele they're looking for from 11:00 pm at night to 7:00 am? Why would you appeal to someone who already has access to another place? Will there be an age minimum to become a member? Mr. Lindley was also concerned with staffing. He asked if there would be any food served at the Planet Fitness or loud music playing that would be able to be heard outside.

Chair Shaeffer stated the applicant confirmed there would be no loud music, and there will be background music inside the club, and the Commission could address the food and music question.

Resident Beth Tomczak approached the podium. She stated she has been a resident for 20 years, and she has been involved in the fitness industry for over 40 years in 3 different states and has seen the fitness industry change. She stated when you want to bring value to community, think about a service that you pay less for now than you did 20-30 years ago. A membership to a fitness facility used to be a couple hundred dollars a month. We have 16 health clubs in the Frankfort area, and \$40 if you get your best rate. \$10 a month is sales driven not service driven. Service is secondary, but they get people in to get the bills paid. In her experiences, the lower the price point, the increase in the problems, theft, and fights. She stated offering a membership for such a small price has benefits, but you pay for it in other areas. She stated she has witnessed police coming in and out of gyms looking for people, when the gym upped their price, they had a decrease in police calls. She stated gym memberships aren't taxable as far as she was aware, and she would love to see something else there. She stated she wanted to see a Trader Joes in Frankfort. A lot of these gyms also are small businesses that have been struggling since Covid, a lot of them were employing our residents.

Resident Tom Thagos approached the podium. He stated he lives in the Hunt Club neighborhood. He stated he was excited for Planet Fitness, regarding that property which he believes is borderline obsolete. However, he stated that he does believe the 24-hour operation is a bad idea. He stated there already is a facility on 159th Street that someone looking for a gym could use late in the night. He believed a health club being open 24 hours a day contributes to a rise in crime. He stated that a kid that's paid minimum wage working will not deter crime from the parking lot and Frankfort Police providing information would help. He was concerned the 24-hour

business hours would become a pattern for other businesses and may not be good for the community or residents.

Chair Schaeffer motioned to close the public hearing.

Motion (#16): To close the public hearing.

Motion by: Jakubowski

Seconded by: Morris

Approved: 6-0

Chair Schaeffer asked the applicant to approach the podium.

Chair Schaeffer addressed the recreation aspect of the business and asked what would be included.

Mason Goodwin stated the Planet Fitness was unsure of what the recreation aspect would be, and that the facility was for working out, as in health and fitness. He stated the business has fitness equipment. Some locations have massage chairs, deep tissue massage chairs, and tanning beds, but applicant was unsure if this location would have those amenities and it would be determined at a later date. There may possibly be classes.

Chair Schaeffer asked the minimum age to participate at Planet Fitness.

Terry Brennan stated a member aged 13 or 14 has to be with adult at all times. A 15-year-old member is allowed a membership as long as parent or guardian has signed off on it, and at age 18 or older a member can have membership or come on own. No minor is allowed to bring a guest.

Chair Schaeffer questioned Planet Fitness' staffing process. She inquired about the process for selecting those manning the door, and for wee hours are you taking that into consideration for seasoned employees instead of young folks.

Terry Brennan stated there is a 3-step interview process with an assistant manager and a club manager. After that, the applicant would interview with Mr. Brennan. When the overnight position is staffed, one of the first things Mr. Brennan looks for is security background. Leadership positions, that stuff is taken into account. Mr. Brennan stated he has had good experiences with the people he has hired for that position. He stated Planet Fitness does not perform background checks for their employees.

Chair Schaeffer asked the applicant to explain the need for overnight hours.

Mr. Brennan stated there are 3 shifts to everyone's workday. Being open 24 hours broadens their horizons to people. He stated people working different shifts can still come in and get a healthy lifestyle.

Commissioner Markunas asked what type of food or drink Planet Fitness would offer.

Mr. Brennan replied they do not sell any kind of food, and the site would have a vending machine that would sell water, Gatorade, and Muscle Milk.

Commissioner Markunas asked the applicant to explain the music Planet Fitness would be using and the volume used.

Mr. Brennan stated the music was background music. Gym members that wore headphones would not be able to hear the music. The music is used so people aren't working out in silence. He added the treadmills can tune into the tv with headphones. The volume is minimal.

Commissioner Jakubowski mentioned Planet Fitness' crowd meter online showed very minimal attendance from 10:00pm to 3:00am.

Mr. Brennan stated the minimal attendance during those hours was accurate. He estimated 20 to 30 members on average throughout the overnight hours would use the Planet Fitness.

Commissioner Morris stated when establishing a new business in community, there's specific data. He asked if Planet Fitness had any specific data that related to coming to Frankfort. He asked the applicant if the company talked to their customers to help figure out the scheduled operating hours.

Mr. Brennan stated the hours are franchise hours. Planet Fitness has a real estate team that picks out locations and finds spots that would be beneficial for Planet Fitness to get into.

Commissioner Morris asked if that was driven by finances.

Mr. Brennan stated it was driven by traffic monitoring and things of that nature.

Chair Schaeffer asked if the franchise hours were set in stone, or if Planet Fitness can deviate from the 24 hours.

Mr. Brennan stated they could potentially deviate from the 24 hours.

Commissioner Morris asked if there were any deviations from the 24 hours at any of the 125 Planet Fitness locations.

Mr. Brennan replied no, not that he was aware of.

Commissioner James stated with the average of 2 to 3 people an hour overnight, it would be far less traffic than a grocery store. He'd like to describe the flow of people coming in and out of the building. He asked about the average length of work out.

Mr. Brennan stated the average length of a workout at Planet Fitness is approximately an hour.

Chair Schaeffer asked Staff if the Village or the property owner of the plaza could look at the bush blocking the view of the stop sign by the Starbucks near Colorado Avenue that Mr. Lindley had mentioned.

Christopher Gruba stated for Public Works it could be a condition of approval that the stop sign should be more visible.

Chair Schaeffer stated for lights or flashing lights around the stop sign would be a new concept for the Village and was unsure of this approach.

Christopher Gruba stated there is a sign code for flashing lights and that he could research this topic.

Chair Schaeffer suggested the Village could look into that specific stop sign at this location for public health and safety since it is congested in that area, and drivers do tend to fly out of that area. She stated she is aware the stop sign - it's on private property but if staff could look into that it would be helpful.

Chair Schaeffer explained for members who have never been to a Commission meeting before, it's up to the business owners and property owners for who decides to put up a lease or set up shop. The Commission's job is to review the requests. She stated a Trader Joes would be lovely but the Commission has no control over that.

Commissioner James stated that large tenant spaces are hard to fill, so dividing it up this space would make it easier to lease the remaining portion of the existing Bargain Mania space. Looking at this in totality it could open the doors for other things.

Mike Schwarz stated any potential conditions should have direct correlation to the requested Special Use Permit. The Commission may certainly add conditions, but these must have what are referred to as a "rational nexus" to mitigate something like sound, security, etc.

Seeing that a member of the audience desired to ask an additional question, Chair Schaeffer asked the other Commissioners if they would like to reopen the public hearing. There was consensus to do so. Chair Schaeffer asked for a motion to reopen the public hearing.

Motion (#17): To re-open the public hearing.

Motion by: Markunas

Seconded by: Jakubowski

Approved: 6-0

Mr. Lindley approached the podium. He requested clarification that Planet Fitness would be imposing a certain requirement from the franchise. He expressed concern that the franchise will dictate to the Board and the Village as of what to do. He stated he would not like to live in a town, no matter how up and coming it is, if franchises dictated rules to us.

Chair Schaeffer stated the applicants were open to discussion.

Beth Tomczak approached the podium and stated she thought the Commission was zoning the site for a specific use.

Chair Schaeffer stated this is a Special Use request to have a fitness facility in the B-2 zone district. Fitness is considered indoor recreation so that is the request. Anytime Fitness had to do the same process. In B-2 zoning, there is an array of allowed uses that are allowed by right. When a business that comes in that isn't permitted by right, they come in to request that right.

Chair Schaeffer asked the applicant to provide Frankfort Police with key cards. She recommended installing a Knox Box and to not block the transparent windows.

Chair Schaeffer asked for a motion to re-close the public hearing.

Motion (#18): To re-close the public hearing.

Motion by: Jakubowski

Seconded by: Morris

Approved: 6-0

Commissioner Jakubowski asked if Anytime Fitness has always been 24 hours a day, 7 days a week operation.

Christopher Gruba replied yes.

Commissioner Schaeffer added Anytime Fitness has been at the location for 10 to 11 years. She asked the Commission if the use of Planet Fitness at the proposed location seemed appropriate.

Commissioner Knieriem replied yes, it fits with the additional uses in the plaza.

Commissioner Markunas added that it may spur more businesses, so the use is good.

Commissioner James replied he believes it is consistent and appropriate.

Chair Schaeffer, Commissioner Jakubowski, and Commissioner Morris agreed.

Chair Schaeffer asked the Commission if there were concerns for the proposed hours of operation.

Commissioner Morris mentioned he did not see the data to be able to support the proposed 24 hours a day 7 days a week.

Commissioner James stated the hours were not an issue for him because there is another competitor with the same hours.

Commissioner Markunas stated he does not feel there is a need for overnight hours.

Commissioner Knieriem stated he does not have an issue with the hours.

Chair Schaeffer mentioned that she concurs with the proposed hours since there is already a precedent with Anytime Fitness.

Mike Schwarz stated that it was important for the Commission but especially the applicant to be aware that if the Commission does recommend to adjust the allowable hours to match the applicant testimony this evening based on several days per week being less than 24 hours, and if the Special Use Permit request is ultimately approved by the Village Board, if there is any deviation from the approved hours, , even for just 30 minutes, the applicant would have to come back through the Special Use Permit process and appear before this Commission in the future. The motion should be clear. The submitted application requests 24 hours per day, 7 days per week, but the applicant stated on record this evening that they would be open less than 24 hours on some days

Chair Schaeffer asked if Planet Fitness can operate less than 24 hours.

Mike Schwarz stated the applicant would have to come back to any such condition.

Chair Schaeffer confirmed with the applicant they understood they'd have to petition to change hours again if the Commission adjusts the hours to those that were stated during their testimony.

Commissioner Markunas asked if we simply change the verbiage in the request.

Michael Schwarz replied yes.

Commissioner Markunas asked the applicant to approach the podium. He asked the applicant if they fully understood what was being discussed. He repeated what Mr. Schwarz stated that the verbiage could be modified by the Commission to the hours that were stated during the applicant testimony. He stated if the applicant wanted to increase the hours later,

they would have to come back for an additional Special Use Permit to amend the limited hours. He asked the applicants if they would like to continue with requesting the 24 hour verbiage per the submitted application.

The applicant stated they wanted to keep the 24-hour verbiage.

Commissioner Markunas stated it may help the applicant's cause to use to limit their hours per their testimony.

The applicant stated they still wanted to stay with the 24-hour verbiage.

Chair Schaeffer stated the floorplan is fine, there is a bathroom facility, there will be no loud music outside or outside, there only will be ambient music. Parking is self-explanatory. There is no shortage of parking in the shopping center.

Motion (#19): To approve an adjustment to the minimum number of required parking spaces from 103 parking spaces to zero spaces, to allow the existing 501 parking spaces on the property to serve the proposed fitness facility and the existing businesses in this shopping plaza.

Motion by: Markunas Seconded by: James

Approved: 6-0

Motion (#20): Recommend the Village Board approve a Special Use Permit for indoor recreation (Planet Fitness) at 20825 S. La Grange Road, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned upon final approval from the Building Department and that the rear egress door shall remain closed at all times to avoid the emission of sound beyond the tenant space.

Motion by: Jakubowski Seconded by: Markunas

Approved: 6-0

Motion (#20): Recommend the Village Board approve a Special Use Permit for extended hours of operation, for a 24-hour/day operation at 20825 S. La Grange Road, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned upon final approval from the Building Department and that the rear egress door shall remain closed at all times to avoid the emission of sound beyond the tenant space.

Motion by: James Seconded by: Knieriem

Approved: 4-2

(Voting no: Markunas, Morris)

Commissioner Markunas stated he voted no because it's centered around security and bringing people not from our area into our area at that time of day.

Commissioner Morris agreed, and stated he voted no because he felt the same way and would need more data.

Chair Schaeffer stated this application will move on to the Village Board for consideration.

Christopher Gruba stated it will likely be June 3, 2024 because this evening's minutes will have to be approved.

Chair Schaeffer suggested that the applicants stay in contact with Mr. Gruba.

D. Public Hearing: 19977 S. La Grange Road – Crepology Inc. (Ref #106)

Amanda Martinez presented a summary of the staff report.

The applicant, Ahmed Ibrahim, approached the podium and provided background on the proposed business.

Commissioner Knieriem asked if the business has other existing locations.

The applicant responded that this is the first Crepology location.

Commissioner Knieriem asked if the applicant had any other restaurant businesses.

The applicant responded that his family owned and operated two Mediterranean restaurants.

There was some discussion on how the applicant's business model was curated.

The applicant added that the business plans to serve mostly desserts because the theatre is next door.

Commissioner Markunas asked if the applicant will be seeking liquor sales.

The applicant responded no.

Chair Schaeffer welcomed the business to the community. She asked if anyone in the public had comments. Hearing no comments, she asked for a motion.

Motion (#22): To close the public hearing.

Motion by: Jakubowski

Seconded by: James

Approved: 6-0

Motion (#23): Approve an adjustment to the minimum number of required parking spaces to allow the existing 558 parking spaces in the subject plaza to serve the existing businesses and the proposed carry-out restaurant.

Motion by: James

Seconded by: Markunas

Approved: 6-0

Motion (#24): Recommend the Village Board approve a Special Use Permit for a Carry-Out Restaurant in the B-3 Community Business District for the property located at 19977 S. La Grange Rd., Frankfort, Illinois 60423 (PIN: 19-09-15-101-006-0000), in accordance with the submitted plans, public testimony, and Findings of Fact.

Motion by: Markunas

Seconded by: Morris

Approved: 6-0

E. Workshop: 890 Glennbarr Lane – Vandenberg Construction, LLC

Amanda Martinez presented a summary of the staff report.

The applicant, Trace Vandenberg, approached the podium.

Chair Schaeffer opened the workshop up for initial questions. There were none.

Chair Schaeffer stated the biggest discussion tonight will be the size of the proposed home on the existing size of the lot. It is her opinion that the proposed house is oversized for the lot. The options would be to encroach into the required rear yard setback or size down the house. She stated the lot is under the required 40,000 square foot lot size that the E-R District requires.

Trace Vandenberg stated the house size was under the Village direction to meet the requirements. It's a unique lot, and they're trying to fit a 3,000 square foot house on the lot.

Chair Schaeffer stated she would have concerns with where the house would sit on the lot with regards to the way the houses are orientated next to it. The houses surrounding it are older, but the scale is smaller.

Chair Schaeffer opened the meeting for comments.

Commissioner Knieriem asked if there was anything developed on this lot.

Amanda Martinez stated in 1995 the lot was still sitting vacant, and showed the Commission aerial photographs. She is assuming perhaps it is because of the gas pipeline that runs through the property.

Chair Schaeffer asked how long Mr. Vandenberg has owned the property.

The applicant stated that he purchased the property last year.

Ms. Martinez stated the applicant and staff wanted a workshop prior to a public hearing so the staff could guide the applicant, so it is more digestible with the surrounding homes.

Commissioner Markunas asked about the original proposed home of 2,700 square feet, if there were any variations needed on that home design.

Ms. Martinez replied only with the square footage and the rest of the variations are for the existing non-conforming lot size, width, and area.

Commissioner Markunas stated when you have a blank slate, it can be difficult for him to get around variations. He agreed it is a very challenging lot. He stated the more sprawl you have, especially in the Prestwick neighborhood, you start getting very close to other properties. He suggested having one variation to have a smaller home that does not encroach into the required rear yard.

Commissioner Knieriem suggested the applicant speak with the neighbors. He believes their opinion matters. Something in writing from the neighbors could go a long way.

Commissioner Markunas agreed and stated once the applicant comes to a final reconciliation of what he'd like to do, it would help coming back to the Commission with approval of neighbors.

Commissioner Jakubowski agreed with Commissioner Markunas. She stated she moved to the Prestwick neighborhood because of the space. She noted the space between the lots is pleasant. She agreed approval from the neighbors would be good. She stated building a new home in that area may help with the values of homes in the area.

Trace Vandenberg stated that is what he was originally trying to do. He was not trying to get where they are now.

Commissioner James stated he liked the smaller home over a setback variance. He liked the mid-century modern architecture of the home.

Chair Schaeffer asked if the applicant was building the home for himself or a buyer.

Trace Vandenberg replied that he was building the home for a buyer. He added that the home will be constructed using full dimensional masonry.

Chair Schaeffer asked if the buyer would understand if there were ever a problem, the gas pipeline easement is there on the lot and part of the proposed driveway may need to be dug up.

The applicant stated just the driveway of the home will be on the gas line easement.

Commissioner Jakubowski asked if they had any discussions with the HOA of Prestwick.

Trace Vandenberg stated the HOA sent him in the direction of the Village. He stated it sounded like the Village didn't want it to be under the requirements of the 3,000 square foot ranch. It sounds like it's encroaching, so the applicant is not sure of which direction to go.

Chair Schaeffer stated it sounds like a hardship of the land, maybe they can go back to the HOA.

Michael Schwarz stated HOA requirements cannot be less restrictive than Village ordinance requirements; but they can be more restrictive.

Commissioner Markunas suggested the applicant show his plans to the neighbors and see if he can get backing from the neighbors.

Trace Vandenberg asked if the Commission wanted him to go back to the HOA before coming back to the Commission, and what was the square footage the Commission was looking for.

Chair Schaeffer stated she thinks he has a smaller house to meet the setback requirements, and whatever that was will meet the number. She recommended getting HOA approval and talking to the neighbors before coming back.

Trace Vandenberg asked what if the HOA or neighbors didn't like the idea.

Chair Schaeffer stated if the HOA says no, come back to the Commission asking for a variation, but that the Commission was suggesting that the applicant begin as a blank slate.

Amanda Martinez stated the one tree to be removed on the lot is a Hackberry tree, but it is in poor condition. Cash in lieu of or a new tree that is the same caliper size would suffice to mitigate the proposed tree removal.

Commissioner Markunas stated he knew the neighbors of this property and asked the applicant about the story behind the trees that were previously removed from the lot.

The applicant acknowledged that some trees were removed without permission of the Village and that they were fined.

Chair Schaeffer asked the applicant if he was amenable to the necessary tree mitigation.

Trace Vandenberg stated that he agreed.

Commissioner Markunas asked staff if preliminary engineering has looked at these plans and suggested the Commission look at the standing water on the property. There is a lot of standing water. He stated there is no culvert, there's the gas pipeline easement there.

Chair Schaeffer asked if there was any more direction for the applicant.

Commissioner Knieriem stated no one wants to buy a house that runs a sump pump 24-7 and advised the applicant to have an engineering firm advise the applicant on water.

Amanda Martinez stated the building department does request review from the Village Engineer as needed when receiving new construction permit applications.

Commissioner Knieriem stated sometimes if there's a drainage structure to look into, tying in the gutters, sump pumps, it's really important for a low property to not make the situation worse.

Commissioner Schaeffer stated if there are no storm structures, the applicant may have to think about the grading of the site.

From the audience, the applicant's father stated that engineering plans have to be submitted to the Building Department.

Chair Schaeffer stated the Commission was trying to help the best they can. She asked the other Commissioners if they had any other direction to provide applicant. There was no

response. She stated she would like to suggest speaking to the neighbors to get the approval and the HOA as well and shrinking the size of the house to fit within the required building setbacks.

Trace Vandenberg asked what if there is not an HOA approval letter.

Amanda Martinez suggested that an HOA approval letter would be helpful for the Commission and that the applicant can come without the letter, but that would not be helpful.

Commissioner Markunas stated even if the applicant doesn't have the HOA letter, they still have the neighbors that do have concerns, it still carries weight. He asked the applicant to stake out the corners of the proposed house, which would be helpful for the neighbors.

Chair Schaeffer asked the applicant to please keep working with Ms. Martinez, she can help with anything.

Chair Schaeffer opened the workshop to public comment.

Dr. Antoine Lewis, a neighbor directly behind house, approached the podium. He stated the Commission mentioned the issue of neighbors and carries weight, but it would be hard for the applicant to make a good impression when he had already made a bad one. Dr. Lewis stated he saw someone just come in and cut the Hackberry trees right down. He had heard through the grapevine the applicant didn't have the correct permits. Secondly, Dr. Lewis stated he looked out at the area, and he just saw fences everywhere. He stated the applicant can't have fences there, and this isn't goodwill. He stated it appeared as if the applicant looked like he didn't care and the applicant was going to do what he was going to do. Dr. Lewis stated he was here to let the Commission know how the residents are currently feeling. Dr. Lewis asked why the request was brought in the first place, and offered to give context. He stated the older gentleman who was the original owner wouldn't sell the lot, and later his kids sold the lot to the applicant. Over the years Dr. Lewis has noticed, like Commissioner Markunas, the flooding at the lot is actually quite an extreme issue. Dr. Lewis stated he does have a sump pump issue as well as hydrostatic pressure issues there. He stated it would be nice to know what would be done with flooding, but the residents have heard nothing. He stated he is pleased to hear the required rear yard setback has not been reduced. He stated you buy in Prestwick Frankfort for the space. He stated the applicant is a builder, and that's a tricky lot. He said he would like to see the data as to why it adds value. The house should not encroach on the neighbors. He has a deep concern for how it's being done, riding roughshod over the neighbors.

Nicole Underwood, a neighbor adjacent to the lot, east of the lot, approached the podium. She stated there's going to be 4 residents that are greatly impacted by this home, especially when talking about the building setbacks. She stated for her understanding it's a spec home, to be put on the market and sold. She stated she wanted to reiterate the applicant saw her and the neighbors out there. She states she would mow the lot the applicant now owns and she was in turn allowed a garden on the lot. She stated there was then green fencing and within a week someone was there cutting down the tree, thankfully someone called the Village and they stopped and got fined. The logs just sat, as debris for months, which was unsettling. Ms. Underwood stated there were plenty of opportunities for the applicant to approach us. She stated she thinks the applicant wants to build a home and sell it off and that's it. She stated she was very happy they have an active HOA. She stated she would like additional info on gas pipeline. The tree cutting set the tone of the whole thing.

Chair Schaeffer stated NICOR would likely have to be contacted directly.

Commissioner Knieriem asked if the HOA had been notified. He suggested getting the HOA together to voice concerns and they can email them to staff as well and we can address them before making a decision.

Ryan Cassler, a neighbor adjacent lot to the southeast, approached the podium. He stated the biggest thing is trying to get the house smaller, the setback would be a big deal for the Lewis family. The trees cut without a permit was unfortunate, and the applicant didn't call 411 for the fence installation which he understands narrowly missed the gas pipeline. He requested that the applicant please make sure the house stakeout is done properly, as a safety issue. He believes Adam from Village does have emails related to the safety concerns.

Amanda Martinez confirmed that is correct.

Mr. Cassler said he has a 2,800 square foot ranch, and a 2,700 square foot home would fit more proportionately. He asked if the pipeline easement is considered a hardship.

Chair Shaeffer stated she believes the utility would be a hardship, that it's kind of at your own risk, if it's under your driveway it's up to you to replace the driveway.

Commissioner Knieriem suggested the applicant speak with the HOA that downsizing would fit in with the other homes, such as Mr. Cassler's home.

Chair Schaeffer said back when the lot was originally platted it was considered Estate Residential zoning and it's not what the updated Zoning Ordinance currently allows in terms of minimum area.

Chair Schaeffer asked if there were any other public comments. There was none.

F. Public Comments

There were no public comments.

G. Village Board & Committee Updates

Mike Schwarz noted that the following projects were approved by the Village Board at its May 6th Village board meeting:

1. CV LLC, a Special Use Permit for Auto Sales at 9416 Gulfstream Road, Unit 2, was approved.
2. EquipmentShare.com Inc., Special Use Permits for large equipment rental, sales and serves, as well as outdoor storage was approved.

Other Business

Chair Schaeffer thanked Rob Piscia and Michael Schwarz for allowing her to attend the virtual Chairperson Roundtable presented by The Illinois Chapter of the American Planning Association. She announced a recording of the webinar will also be made available to any member of the Commission.

H. Attendance Confirmation (April 25th, 2024)

Chair Schaeffer asked Commissioners to please let staff know if they cannot attend the next meeting.

Motion (#25): Adjournment 9:30 P.M.

Motion by: Jakubowski

Seconded by: Markunas

The motion was unanimously approved by voice vote (6-0).

Approved May 23, 2024

As Presented_____ As Amended_____

_____/s/ Nichole Schaeffer, Chair

_____/s/ Secretary

Project: Ala W. Alsharbini barbershop
Meeting Type: Non-Public Hearing
Request: Parking adjustment for personal service establishment (barbershop)
Location: 9500 W. Lincoln Highway, Suite 4
Applicant: Ala Alsharbini
Prop. Owner: Eagle Eye Construction
Representative: Kanton Harzich
Plan Reviewer: Christopher Gruba, Senior Planner

Site Details

Lot Size: 46,479 SF (1.07 acres)
PIN(s): 19-09-22-100-066-0000
Existing Zoning: B-2
Proposed Zoning: N/A
Buildings: 1
Total Sq. Ft. tenant: 1,127 SF (Unit 4)

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Commercial	Commercial	B-2
North	Commercial	Commercial	B-2
South	Commercial	Commercial	B-2
East	Undeveloped	Mixed-Use	B-2
West	Commercial	Commercial	B-2

Figure 1. Location Map



Project Summary

Ala Alsharbini is proposing to operate a barbershop at 9500 W. Lincoln Highway, within Unit 4 of the existing commercial plaza. Barbershops (personal service) are a use permitted by-right in the B-2 zone district. However, this use would exceed the amount of parking provided when all existing uses are combined. This shopping plaza has a total of 79 parking spaces. The existing tenants require a total of 74 parking spaces and the proposed use would require 9 parking spaces, placing the total required at 83 parking spaces.

Article 7, Section B, Part 5 of the Zoning Ordinance states that the PC/ZBA may grant a parking adjustment for commercial properties on a case-by-case basis, and this is detailed further in this report. Recent examples of parking adjustments granted by the PC/ZBA include the expansion of Bear Down Barbecue at 20857 & 20859 S. La Grange Road and Planet Fitness at 20825 S. La Grange Road. Parking adjustments are approved by the PC/ZBA and do not require action by the Board. Should the parking adjustment be approved, the applicant may apply for a business license and any required building permits.

Attachments

- GIS Maps of the property at scales of 1:1,000 and 1:2,000, prepared by staff
- Survey of property
- Description of business and hours of operation, received via email on April 30, 2024

Analysis

In consideration of the request, staff offers the following points of discussion:

1. The proposed use would be a barbershop (personal service), for hair and beard trimming.
2. A floorplan was not provided, but the applicant has stated in writing that the space will contain up to four (4) chairs.
3. The applicant has stated that only one (1) employee is proposed now, but that there may be up to 4 employees in the future.
4. The proposed hours of operation would be Monday - Saturday 10 am – 9 pm and Sunday 10 am – 5 pm. The Village's normal business hours are 7 am – 11 pm.
5. Unit 4 is the last remaining vacant tenant space in this plaza at this time.

Parking

The Village's parking regulations in the Zoning Ordinance were amended on April 8, 2024. Formerly, personal services required 1 parking space per 200 square feet of gross floor area, plus one for each employee in the largest shift. Under the old code, this use would have required 10 parking spaces. The current regulations require 1 parking space per 125 square feet of gross floor area, without involving employee counts which are unreliable and can fluctuate. Under the current code, this use requires 9 parking spaces. The parking analysis for this shopping plaza is provided below. There is no "suite 5" in this commercial plaza.

Available Parking Spaces				79
Existing parking analysis				
Suite	Name	Sq. ft.	Parking req'd per code	Parking req'd
1	Aquatics store	1,127	General retail: 1:250	5
2&3	Sorrison's	3,381	Restaurant, full-service: 1:85	40
4	Barbershop	1,127	Personal Service: 1:125	9
6	Specialty Grocery*	1,127	Convenience Store: 1:150	15
7	Specialty Grocery*	1,127	Convenience Store: 1:150	
8	Perfect Nails	1,127	Personal Service: 1:125	9
9	Currency Exchange	1,127	General retail: 1:250	5
All Uses		10,143		83

Parking:

The Zoning Ordinance permits the Plan Commission to adjust the parking required in business and industrial districts on a case-by-case basis. A parking deficiency has been observed at this shopping plaza during certain times, specifically during dinner hours when Sorriso's restaurant is open. The parking deficiency is more pronounced on weekends than weekdays. Outside of these times, such as noon on a weekday, there is ample parking. There is no recorded cross-access easement or parking agreement between this property and Mariano's or Walgreens. Walking to the subject property from either Mariano's or Walgreens would be challenging due to a landscaped berm to the north and several busy drive aisles to the west.

The Plan Commission may approve an adjustment to the to the required on-site parking from 9 spaces to 0 spaces per Article 7, Section B, Part 5 (b) of the Zoning Ordinance as follows:

"The following provisions and factors shall be used as a basis to adjust parking requirements:

- 1. Evidence That Actual Parking Demands will be Less Than Ordinance Requirements. The petitioner shall submit written documentation and data to the satisfaction of the Plan Commission that the operation will require less parking than the Ordinance requires.*
- 2. Availability of Joint, Shared or Off-Site Parking. The petitioner shall submit written documentation to the satisfaction of the Plan Commission that joint, shared, or off-site parking spaces are available to satisfy the parking demand.*
 - a) Agreements shall be provided which demonstrate evidence that either parking lots are large enough to accommodate multiple users (joint parking) or that parking spaces will be shared at specific times of the day (shared parking, where one activity uses the spaces during daytime hours and another activity uses the spaces during evening hours.)*
 - b) Off-site parking lots may account for not more than 50-percent of the required parking and shall be located not more than three-hundred (300) feet from the principal use that it is intended to serve."*

The applicant has not provided evidence or written documentation as noted above. However, staff has performed a thorough parking analysis of this shopping plaza as part of the proposed parking requirements text amendment (attached).

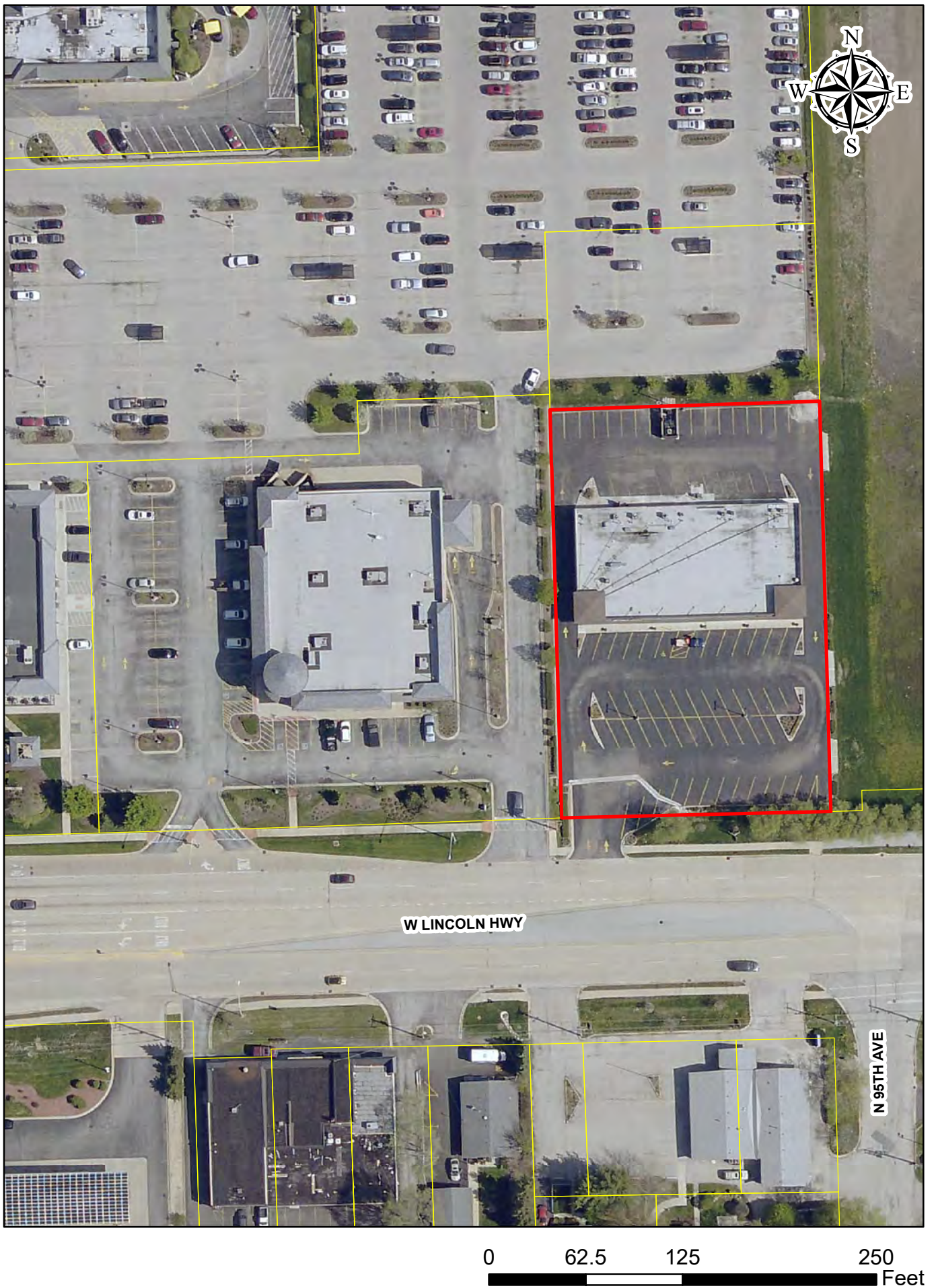
Affirmative Motions _____

1. Approve an adjustment to the minimum number of required parking spaces from 9 spaces to 0 spaces to allow the existing 79 parking spaces on the property to serve the existing businesses and the proposed barbershop, in accordance with the public testimony.

9500 W. Lincoln Highway, Unit 4



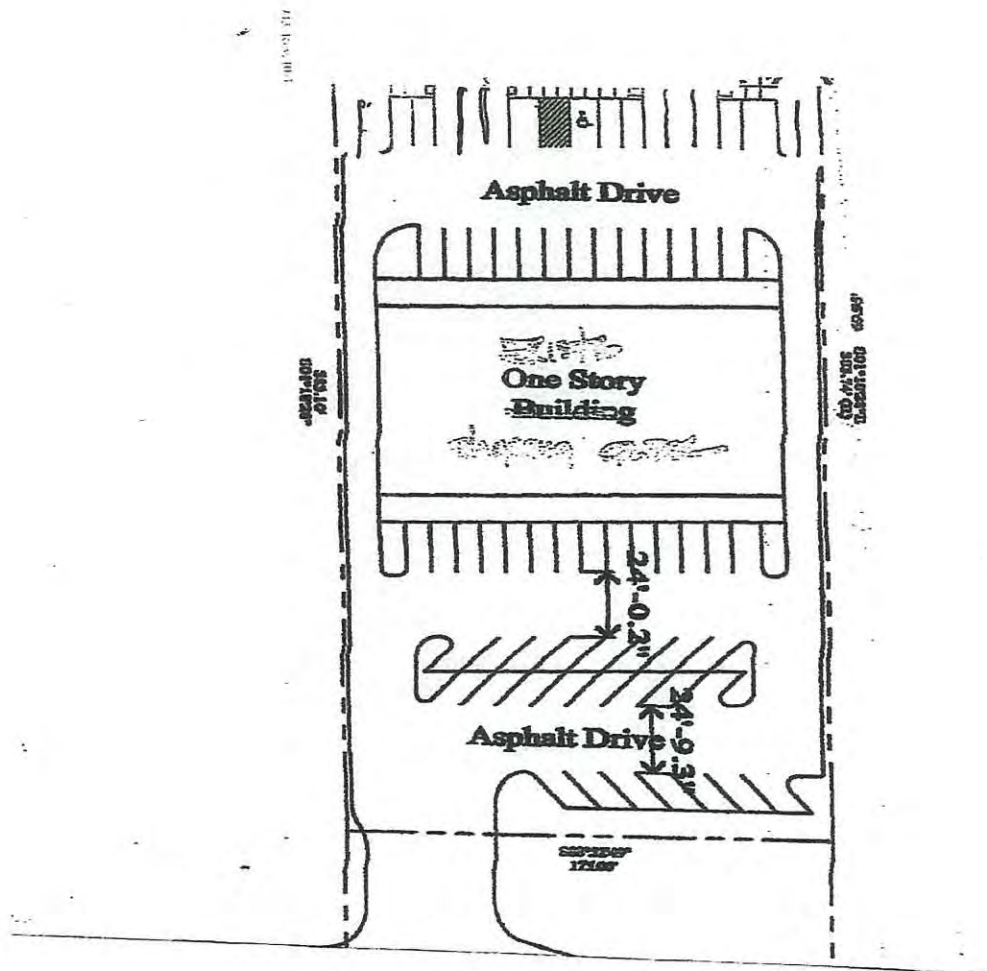
9500 W. Lincoln Highway, Unit 4



EAGLE EYE
Construction Co., Inc.



Rockwood Square
9500 Lincoln Hwy.
Frankfort, IL 60423



From: [Alaa Alsherbini](#)
To: [Chris Gruba](#)
Subject: Re: 9500 W. Lincoln Highway, Unit
Date: Tuesday, April 30, 2024 2:53:20 PM

CAUTION: This e-mail originated outside of the Village's email system.
DO NOT click links or open attachments unless you confirm the incoming address of the sender and know the content is safe.

Hello Chris,

- So my hours gonna be, Monday to Saturday from 10:00am- 9:00pm, And Sunday from 10:00 am- 5:00pm.

- So far I'll have one employee and later will have total 3 to 4 employees.

-it's gonna be 3-4 barber chairs.

- it's gonna be haircut and beard service like beard trim and lining.

Thank you so much
Best Regards

On Wed, Apr 24, 2024 at 11:00 AM Chris Gruba <cgruba@frankfortil.org> wrote:

Hi, Alaa –

As we discussed, we would need to take a proposed barbershop to the Plan Commission for them to grant a “parking adjustment”. Currently, there are 79 parking spaces on site. With all tenants filled (including the barbershop), the code would require 83 spaces.

Please fill out the attached application – it must be signed by the property owner, whom I think is either Greg Iser or his daughter Penny Iser. You can either drop off the signed application or email it to me. When the owner signs it, it must be notarized by a registered notary (someone that witnesses the owner's signature). There are free notaries at Village Hall if the owner does not have a notary. The meeting would be on May 9th at 6:30 pm at Village Hall. The Plan Commission asks that someone attend the meeting to answer any questions.

Lastly, would you please email me a brief description of your business? It should at least include the following:

- Hours of operation
- Number of employees

Project:	Triple Crown Training
Meeting Type:	Public Hearing
Requests:	Special Use Permit for Indoor Recreation
Location:	9426 Corsair Road
Applicant:	David W. Posley Jr.
Prop. Owner:	UMC Meds, LLC
Consultants:	None
Representative:	Applicant
Report By:	Amanda Martinez, Planner

Site Details

Lot Size:	44,536 sq. ft. (±1 Acres)
PIN(s):	19-09-34-302-013-0000
Existing Zoning:	I-1
Prop. Zoning:	I-1 with a Special Use Permit for Indoor Recreation
Buildings / Lots:	1 building / 1 lot
Total Sq. Ft.:	±12,000 sq. ft.
Average Lot Size:	N/A
Unresolved Items:	Landscaping, drainage easement, impervious surface, drive aisle width, surface/fencing in the rear of the building, curb and gutter, and sq. ft. of new pavement.

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Industrial	Industrial	I-1
North	Industrial	Industrial	I-1
South	Industrial	Industrial	I-1
East	Industrial	Industrial	I-1
West	Industrial	Industrial	I-1

Figure 1. Location Map



Project Summary

The applicant, David W. Posley Jr., representing Triple Crown Training LLC, a tenant/lessee on behalf of the property owner, UMC Meds, LLC, has filed an application requesting a Special Use Permit for Indoor Recreation to open an indoor baseball training facility at 9426 Corsair Road. Concurrent with the Special Use Permit request, the applicant is requesting a parking adjustment for the required number of parking spaces associated with the proposed Indoor Recreation use. The subject property is zoned I-1 light industry district and is located within the Airport Industrial Park. A Special Use Permit was granted in 2012 (Ord. 2806) for a similar operation (National Rhino Sports Academy) at this location. The longevity of the discontinuance of the special use requires the business to obtain a new Special Use Permit.

The request has been reviewed as a workshop discussion at the March 7, 2024, Plan Commission meeting where Commissioners provided the applicant with feedback that additional parking is needed for an Indoor Recreation use to be in the industrial zoning district. The request was then considered at the March 21, 2024, Plan Commission meeting as a public hearing was held and was continued to the April 25, 2024, Plan Commission meeting to ensure that a site plan that complies with the Village's code requirements was provided. At the April 25, 2024, Plan Commission meeting, staff was awaiting a site plan that complies with the Village's code requirements. For today's meeting, the applicant submitted a site plan that still does not comply with the Village's code requirements.

Attachments

1. Aerial Photograph from Will County GIS
2. Site Photographs taken 3.1.24
3. ALTA/NSPS Land Title Survey dated 9.29.21 and received 2.15.24
4. Floor Plan received 2.16.24
5. Revised Floor Plan received 2.23.24
6. Revised Site Plan received 5.13.24
7. Property Owner Request for Parking Adjustment email received 3.11.24
8. Business Operation Letter received 2.22.24
9. Top Velocity Program Brochure received 2.14.24
10. Top Velocity Website Homepage
11. PC/ZBA Meeting Minutes from March 7, 2024
12. PC/ZBA Meeting Minutes from March 21, 2024
13. PC/ZBA Meeting Minutes from April 25, 2024
14. Mortenson Roofing Co., Inc. Letter received 4.17.24
15. Mortenson Roofing Co., Inc. Email received 4.11.24
16. Findings of Fact provided by applicant and received 2.16.24
17. Special Use Permit Findings of Fact Form for Plan Commissioners

Updates since Public Hearing (4.25.24)

For this public hearing continuation (second continuation), staff provides the following updates from the April 25, 2024, Plan Commission meeting which held the first public hearing continuation for this project:

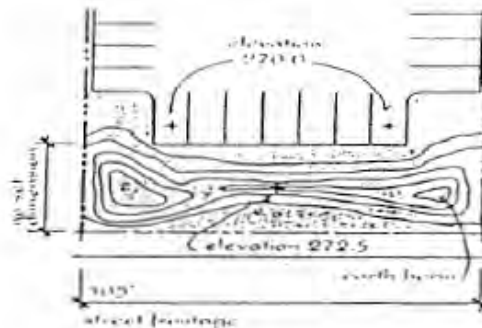
- The parking adjustment requested is to reduce the minimum number of required parking spaces from 64 parking spaces to 26 parking spaces as depicted on the submitted site plan.
- The property owner has confirmed that the trash will be located indoors. An indoor location for trash handling complies with the Village's requirements for screening of trash.
- Attached to this staff report is the most recent site plan that was submitted by the applicant. Staff notes that the submitted site plan does not comply with the Village's requirements. Staff received correspondence from the property owner which states that no further revisions will be made to the submitted site plan (attached to this staff report).
- Staff's review comments on the submitted site plan is as follows (staff requested that the applicant provide responses to each review comment, however, no response has been received and the property owner confirmed that they will not be making further revisions):
 - Impervious surface coverage calculation for the entire site, not just the parking area, is missing on the site plan (the maximum impervious surface for the site shall be 80% or below).
 - Staff requested confirmation that the applicant will comply with landscaping as required for parking lots that are proposed with 3 or more new parking spaces per the Village's Landscape Ordinance. The requirements for landscaping for parking lots are as follows (the applicant would need to choose one of the four options provided below):

A. Vehicular Use Areas Adjacent to residential uses and public right-of-way.

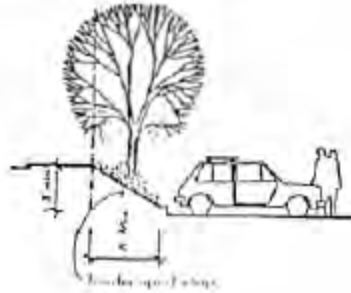
1. Off street parking lots for three (3) or more cars or other vehicular use areas shall provide an effectively solid landscape screen of the parking area from adjacent residential uses and public ROW. The landscaping shall consist of one of the following options:
 - a. A minimum ten foot wide vegetative screen along the perimeter of the parkway area. This may be located in the 25-foot green space required in commercial and industrial districts. This screen shall consist of 150 plant units per one hundred (100) linear feet and at least seventy-five percent (75%) of plant material must be evergreen.

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- b. A berm that is at least two and one half feet (2 ½') higher than the finished elevation of the parking lot (at the nearest point) and landscaping that includes 125 plant units per one-hundred (100) linear feet. A minimum of fifty percent (50%) of the plant material must be evergreen. Plantings should be designed in a natural grouping; a linear design is discouraged. The berm shall be graded in an undulating manner to appear more natural.

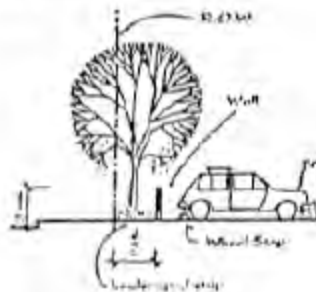


- c. A minimum six foot (6') wide vegetative screen along a minimum three foot (3') grade drop from the adjacent green area to the parking lot, with landscaping that includes 100 plant units per one-hundred (100) linear feet. A minimum of fifty percent (50%) of the plant material must be evergreen. Slope should not exceed a 4:1 ratio.



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- d. A three foot (3') high fence of brick or stone with a minimum six-foot wide planting strip planted with fifty (50) plant units per one-hundred (100) linear feet. A minimum of seventy-five percent (75%) of the plant material must be overstory or evergreen trees.



- The proposed drive aisle widths in the rear of the proposed parking lot do not comply with the required 24' minimum width per the Zoning Ordinance.
- Staff is concerned if the slope of the loading dock will intrude on the parking space where vehicles need to reverse in that direction.
- Staff requested confirmation on what surface will be in the rear of the subject lot behind the building (i.e. asphalt, gravel and/or grass).
- Staff requested confirmation if the existing fence will remain.
- Staff requested confirmation if curb and gutter is proposed.
- Staff requested the square footage of the new pavement.

- Staff would need to ensure that the 60' drainage easement is not impacted, and if it were (which it appears to be), the Village Engineer would need to be involved in reviewing the plan for the parking lot expansion prior to Plan Commission consideration. It is unclear where the drainage easement is located in relation to the proposed parking lot.

Updates since Public Hearing (3.21.24)

For this public hearing continuation, staff provides the following updates from the March 21, 2024, Plan Commission meeting which held the first public hearing for this project:

- Staff received an email and letter from Mortenson Roofing Co., Inc. located at 9505 Corsair Rd., which is across the street from the subject property. The business owner described the reasons why their business objects to this project and described the traffic when National Rhino Sports Academy was located in the subject building. The correspondence with the said business owner is attached to this staff report (letter and email follow-up).
- The parking adjustment requested is to reduce the minimum number of required parking spaces from 64 parking spaces to 25 parking spaces as depicted on the submitted site plan.
- This site plan that was submitted for the April 25, 2024, Plan Commission meeting did not comply with the Village's code requirements, although it showed more parking spaces than the initial iteration. Staff's review comments were as follows:
 - The architect/engineer/land surveyor's information is missing on the site plan. The Zoning Ordinance states that *"site plans, or any portion thereof, involving engineering, architecture, or land surveying, shall be respectively certified by an engineer, architect, or land surveyor authorized by the State to practice as such."*
 - Impervious surface coverage information is missing on the site plan (the maximum impervious surface for the site shall be 80% or below).
 - The Landscape Ordinance was sent in previous various emails. Landscaping is required for parking lots that are proposed with 3 or more new parking spaces (i.e. parking lot screening and landscape islands).
 - It is unclear what the pavement setback to the west is (a 5-foot setback is required).
 - It is unclear what the drive aisle width dimension between the parking spaces is, after the ingress/egress point.
 - It is unclear why the existing loading dock area is not shown like the other parts of the building.
 - It is unclear what the drive aisle width dimension is between the loading dock and the closest parking space. Staff is concerned if the slope of the loading dock will intrude on the parking space where vehicles need to reverse in that direction.
 - It is unclear what surface will be in the rear of the subject lot behind the building (i.e. asphalt, gravel and/or grass).
 - It is unclear if the existing fence will remain.
 - It is unclear if curb and gutter is proposed.
 - Staff would like to know the square footage of the new pavement.
 - Staff would like to know why the ADA spaces seem to be further from the front door entrance.
 - Staff would like to know if a new trash enclosure is proposed.

Analysis

In consideration of the request, staff offers the following points of discussion:

Proposed Use

- The applicant is requesting a Special Use Permit for Indoor Recreation to operate a private indoor baseball training facility at 9426 Corsair Road.
- The subject property consists of a ±12,000 square foot industrial building on a ± 1-acre lot located within the Airport Industrial Park.
- The subject site would be a new franchise location for the business known as Triple Crown Training which facilitates the “Top Velocity Academy Program”, a baseball training program that consists of high-quality equipment, curriculum, and coaches.
- Existing franchise locations are:
 - Top Velocity Head Quarters located in Covington, Louisiana
 - Top Velocity York located in York, Pennsylvania
 - Top Velocity Dayton located in Moraine, Ohio
 - Top Velocity Charlotte located in Pineville, North Carolina
 - Top Velocity Argyle located in Argyle, Texas
 - Top Velocity San Diego located in San Diego, California
 - Top Velocity Burlingame located in Burlingame, California
 - Top Velocity Central Long Island located in Bohemia, New York
 - Top Velocity Boca Raton located in Boca Raton, Florida
 - Top Velocity Nampa located in Nampa, Idaho
 - Top Velocity Salado located in Salado, Texas
- The applicant stated that the space is still intact from the previous baseball training facility that used the space.
- Per the submitted ALTA/NSPS Land Title Survey, the vestibule is 31.79’ x 60.90’ (per the submitted floor plan, the vestibule is approximately 39’ x 9’ 6” and has two bathrooms). After entering the vestibule, patrons would then enter the turf and netted area that is approximately 109’ x 79’.
- Per the submitted floor plan, there will be a 2’ x 6’ counter for retail products, ancillary to their use but a staple part of their Top Velocity Academy Program since they offer nutritional guidance and supplements as part of the program. The submitted floor plan shows that the counter will be in the very front of the space.
- Per the submitted floor plan, there will be 5 pitching and throwing lanes in the approximately 18’7” x 47’ 8” room in the rear of the space. The floor plan also shows an approximately 18’7” x 47’ 8” weight room next to the pitching/throwing room.
- Per the submitted business operations letter, the business would have 4 employees on-site (2 of the 4 are the main coaches).
- The business intends to have the training facility mainly for players that are members of their program. The applicant verbally stated that the business will be open to the public as well as the members of their programs. Per the submitted business operation letter, the business would allow teams to have a contract with the business. The teams would have an assigned time to be at the facility. The teams will have 2 days a week of 2-hour training.
- Per the submitted business operation letter, the business would have 2 programs, Top Velocity Academy Program and Start Right Training. The Start Right Training program would occur 2-5 days a week for 8 weeks. The Top Velocity Academy Program brochure is attached to this staff report; according to the Top Velocity website, this program operates 5 days a week.
- At the March 7th workshop meeting, the applicant stated that the maximum operating scenario for their business would be 2 teams. At the March 21st public hearing, the applicant clarified that the maximum operating scenario would be 1 team at a time.
- The applicant is proposing hours of operation within the permissible hours of operation (7am to 11pm), thus, no special use approval is required for extended hours of operation.

- The proposed business hours of operation are Monday through Sunday: 7:00am-11:00pm. The applicant stated in the business operation letter that the peak hours would be from 5:00pm-9:00pm.
- Photos from staff's site visit on March 1, 2024, and Google Street View images show that there is a roll out dumpster (no trash enclosure). Staff requested that the applicant either revise the floor plan to show where the trash bin goes indoors or implement a trash enclosure on the site plan that complies with the Village trash enclosure standards (staff requested a better visualization of the loading dock area to see if there was a possibility for an indoor trash bin to be in that area). The applicant responded they would use the trash bin as-is since other properties within the Industrial Park do not comply with the trash handling requirement.

Parking

- Concurrent with the Special Use Permit request, the applicant is requesting a parking adjustment for the required number of parking spaces associated with the proposed Indoor Recreation use.
- The applicant has stated their intention is to have their business operate by pick up and drop off. The property owner has stated that the property has sufficient parking for the proposed special use.
- The Zoning Ordinance, prior to the new parking text amendment, required Indoor Recreation facilities to provide "1 parking space for every 4 patrons based upon the maximum occupancy of the facility, plus 1 parking space for each employee during the largest working shift".
- The previous baseball training business that was at this location (National Rhino Sports Academy) had 10 pitching/batting lanes and the same maximum operation of 2 teams (approximately 24 people including the coaches); the previous baseball training business was required to provide 6 parking spaces. Staff at the time referenced the American Planning Association parking standards that suggested 1-4 parking stalls per batting cage and used the maximum operating occupancy.
- To be consistent, staff considered the parking analysis that was provided for the previous baseball training business. According to the submitted floor plan and the American Planning Association parking standards, the 5 pitching/throwing lanes would yield a requirement of 5-20 parking stalls.
- At the March 7, 2024, workshop and March 21, 2024, public hearing meetings, staff took a more conservative approach and conducted the parking analysis based on "maximum occupancy", as was stated in the Zoning Ordinance at the time; the required number of parking spaces for the proposed use equated to 64 parking spaces. The new regulations (as of April 8, 2024, when staff's parking text amendment was approved (Ord. 3445)) require 1 parking space for every 200 square feet for Indoor Recreation use, which equates to a requirement of 60 parking spaces.
- The submitted ALTA/NSPS Land Title Survey shows that there are 7 existing parking spaces provided on the subject site. Staff would like to emphasize that the ALTA/NSPS Land Title Survey also shows a 60-foot drainage easement in the rear of the property, which seems to be standard for several of the nearby lots within the Airport Industrial Park Subdivision. There are some lots in the subdivision which have a lesser width drainage easement.
- Staff notes that the applicant is allowed to move forward with a request for a parking adjustment (rather than a variation) as the Commission is allowed to approve or deny parking adjustments.
- The west side of the parking lot and the rear of the subject lot is unpaved, gravel (Will County GIS aerial images show that the gravel was put in between 2015-2017 with a setback from the west property line; then in 2018, the gravel was extended to the property line).
- Staff advised the property owner to revise the site plan to show grass instead of gravel, especially the gravel that has been placed in the 60-foot drainage easement that is in the rear of the property. There has been no confirmation on whether this is in the applicant's proposal. It was not depicted on the site plan that is attached to this staff report.

Standards for Parking Adjustments

Article 7 Section B Part 5 in the Village Ordinance provides for parking adjustments to the minimum number of parking spaces required, subject to case-by-case approval by the Plan Commission. The following provisions and factors shall be used as a basis to adjust parking requirements:

1. Evidence That Actual Parking Demands will be Less Than Ordinance Requirements. The petitioner shall submit written documentation and data to the satisfaction of the Plan Commission that the operation will require less parking than the Ordinance requires.
2. Availability of Joint, Shared or Off-Site Parking. The petitioner shall submit written documentation to the satisfaction of the Plan Commission that joint, shared, or off-site parking spaces are available to satisfy the parking demand.
 - a. Agreements shall be provided which demonstrate evidence that either parking lots are large enough to accommodate multiple users (joint parking) or that parking spaces will be shared at specific times of the day (shared parking, where one activity uses the spaces during daytime hours and another activity uses the spaces during evening hours.)
 - b. Off-site parking lots may account for not more than 50-percent of the required parking and shall be located not more than three-hundred (300) feet from the principal use that it is intended to serve.”

Standards for Special Uses

Article 3, Section B, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use request. No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

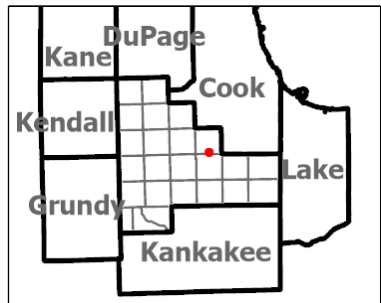
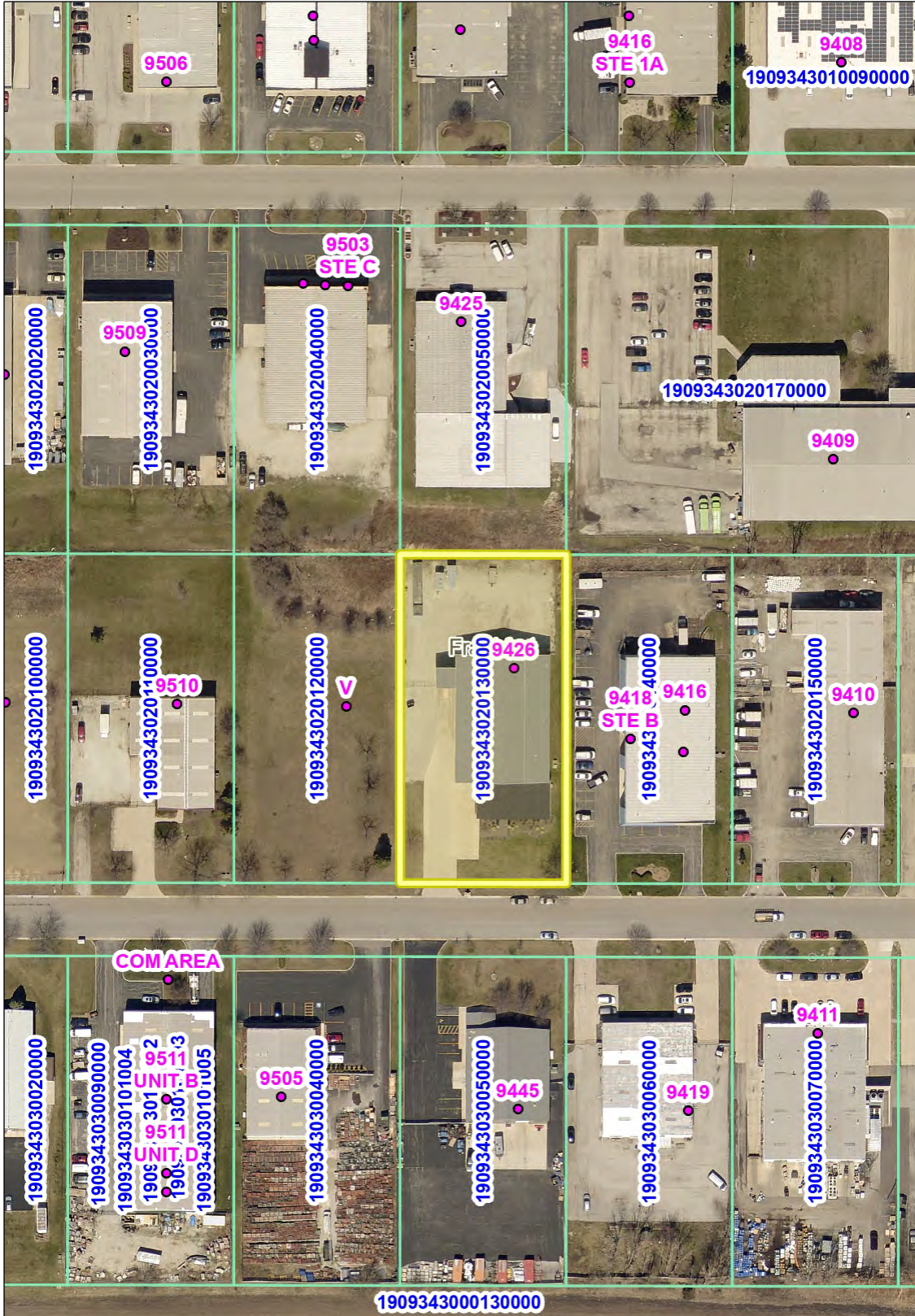
Affirmative Motions

For the Plan Commission's consideration, staff is providing the following proposed affirmative motions:

1. Approve an adjustment to reduce the minimum number of required parking spaces from 60 parking spaces to 26 parking spaces as depicted on the submitted site plan, subject to staff and engineering approval.
2. Recommend the Village Board approve a Special Use Permit for Indoor Recreation (baseball training facility) in the I-1 Light Industrial District for the property located at 9426 Corsair Road, Frankfort, IL 60423 (PIN: 19-09-34-302-013-0000), in accordance with the submitted plans, public testimony, and Findings of Fact, subject to implementation of 15-minute breaks in between the offered scheduled time slots for any group trainings/classes, to accommodate parking space turnover.



9426 S. Corsair Rd.



Legend

- Address Points
- Parcels
- Townships

Notes

Date: 3/1/2024

1: 2,257



0 0.04 0.07 Miles

Projection

WGS_1984_Web_Mercator_Auxiliary_Sphere

Disclaimer of Warranties and Accuracy of Data: Although the data developed by Will County for its maps, websites, and Geographic Information System has been produced and processed from sources believed to be reliable, no warranty, expressed or implied, is made regarding accuracy, adequacy, completeness, legality, reliability or usefulness of any information. This disclaimer applies to both isolated and aggregate uses of the information. The County and elected officials provide this information on an "as is" basis. All warranties of any kind, express or implied, including but not limited to the implied warranties of merchantability, fitness for a particular purpose, freedom from contamination by computer viruses or hackers and non-infringement of proprietary rights are disclaimed. Changes may be periodically made to the information herein; these changes may or may not be incorporated in any new version of the publication. If you have obtained information from any of the County web pages from a source other than the County pages, be aware that electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended that careful attention be paid to the contents of any data, and that the originator of the data or information be contacted with any questions regarding appropriate use. Please direct any questions or issues via email to gis@willcountyillinois.com.

Site Visit Photos Taken on 3.1.24



PLAT OF SURVEY

LOT 21 IN AIRPORT INDUSTRIAL PARK, A SUBDIVISION OF PART OF THE NORTH 80 ACRES OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, AND IN RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 9, 1988, AS DOCUMENT NUMBER R88-36799 AND CERTIFICATE OF CORRECTION RECORDED OCTOBER 21, 1988, AS DOCUMENT NUMBER R88-50495, IN WILL COUNTY, ILLINOIS.



Center Road
East Right of Way Line

Legend:

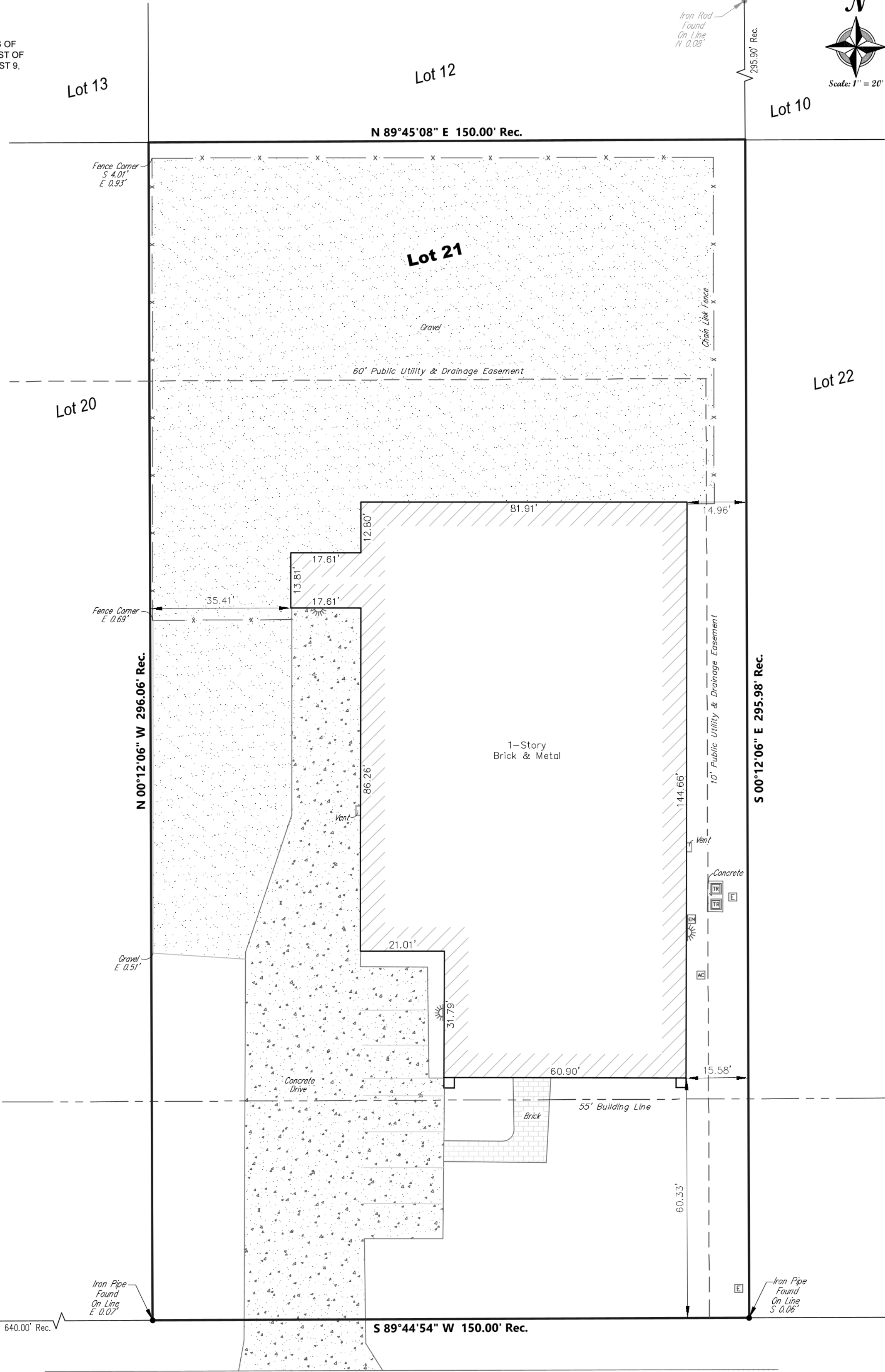
- Set 1/2" Iron Pipe
- Found Iron Pipe
- X-Found Cross

Surveyor Notes:

- Field Work Completed on 9-28-21
- Prepared for Robert A. Egan, P.C., for real estate transaction.
- Site Address: 9426 Corsair Road, Frankfort, IL 60423
- Pin No.: 19-09-34-302-013
- The easements shown hereon are provided from the current title and the use of the recorded subdivision plat. No search of the records for easements or encumbrances was made as part of this survey.
- Compare deed description and site conditions with the data given on this plat and report any discrepancies to the surveyor at once.
- Auto Cad Files will not be released under this contract.
- The utilities as shown on this drawing were developed from the information available. This is not implied nor intended to be the complete inventory of utilities in this area. It is the clients responsibility to verify the location of all utilities (whether shown or not) and protect said utilities from any damage.
- All building dimensions and ties are to the current siding material and not to the foundation.
- Bearings are assumed.
- No boundary corners were set at time of field survey. Boundary corners will be set a later date.
- This plat was prepared with the aid of Fidelity National Title Insurance Company file number WJ21030738 dated July 30, 2021.

State of Illinois)
SS)
County of Lake)

We, Land Surveying Services, Inc. do hereby state that we have surveyed and mapped the property and that this is the Plat that represents the conditions found on the ground. Given under my hand and seal this 29th day of September, A.D. 2021, in Lake Zurich, Illinois.
Gloria Jean Koter, an agent for Land Surveying Services, Inc.
Gloria Jean Koter, Registered Land Surveyor, License No. 035-003323, License Expiration Date 11-30-22
This professional service conforms to the current Illinois minimum standards for a boundary survey.



Drafted By: ER	Field Work: DA	10-11-21
Revision		Date



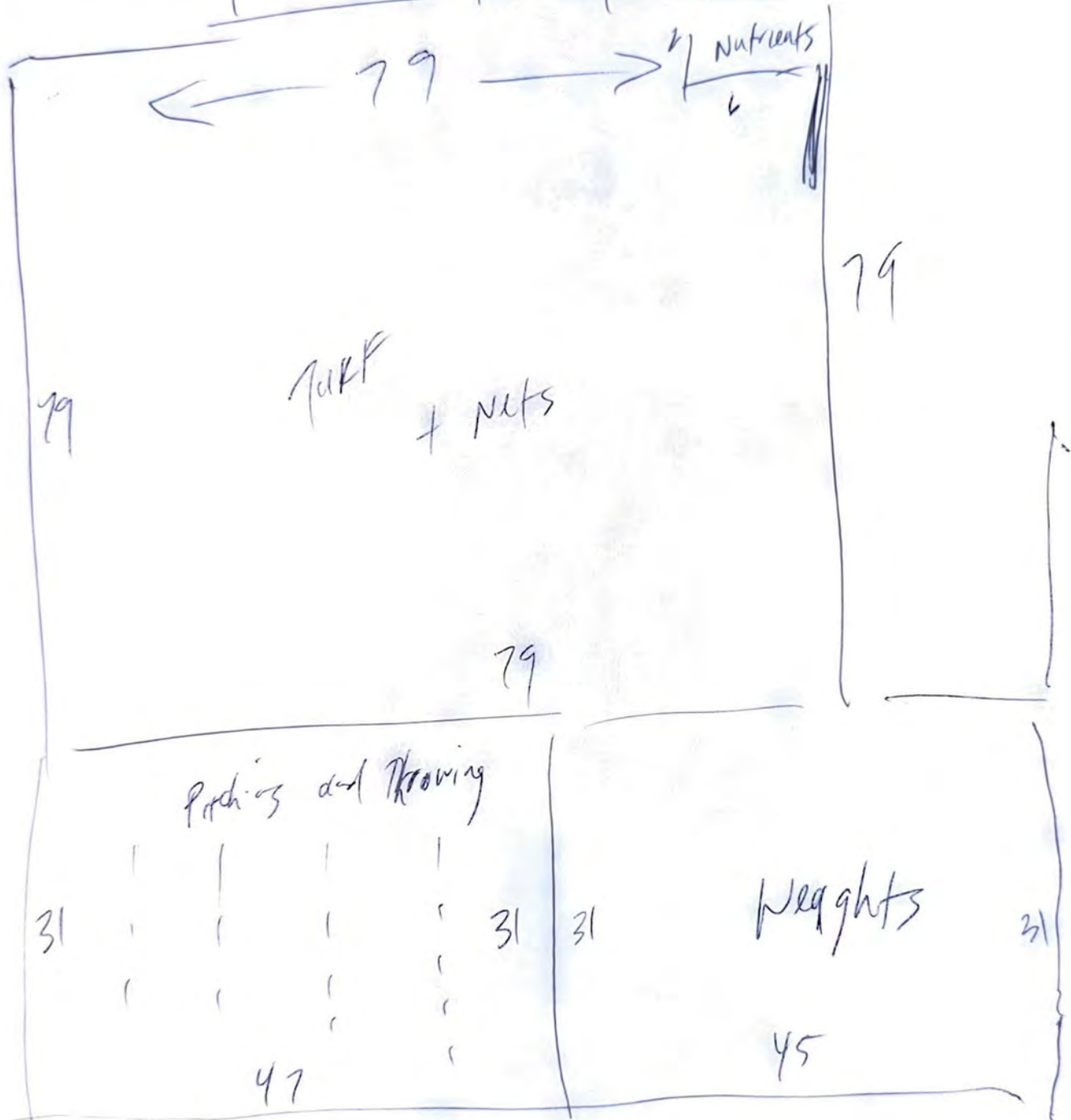
Land Surveying Services, Inc.

1182 Heather Drive Lake Zurich, Illinois 60047
Ph. (847)847-1079 Fax. (847)847-1279
Professional Design Firm License No. 184-003632

Field Work Completed: 9-28-21	Scale: 1" = 20'	Date: 9-29-21
Site Address: 9426 Corsair Road Frankfort, Illinois		

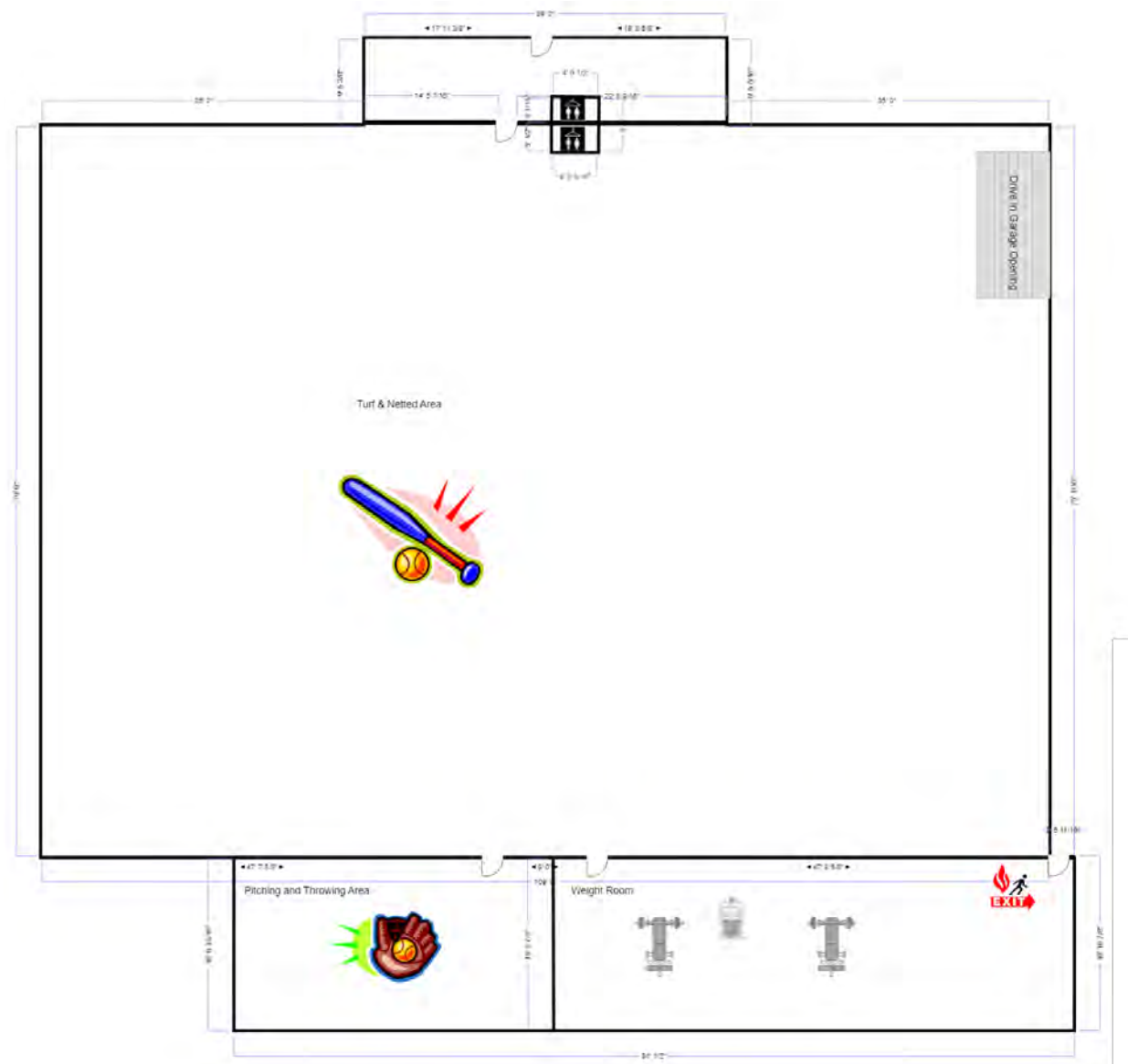
Job Number LS211667
Sheet Number SURVEY

Sheet Name
PLAT OF SURVEY

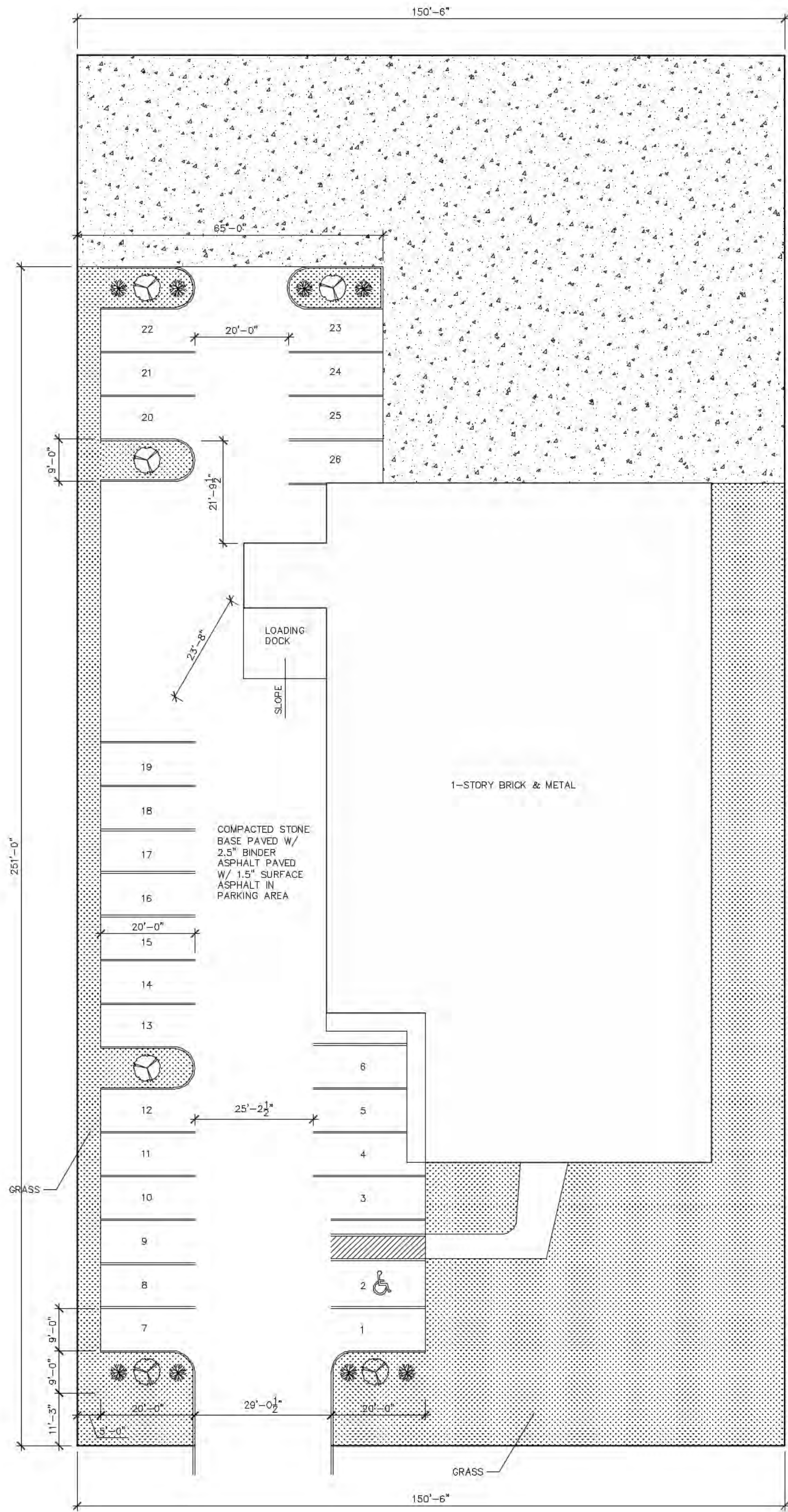


From: [Legacy Advisor](#)
To: [Amanda Martinez](#); [Corey Stallings](#); [Curtis Stallings](#); [D.H.](#)
Subject: Floor Plan* Edit
Date: Thursday, February 22, 2024 4:12:44 PM
Attachments: [Triple Crown Training FloorPlan.png](#)

CAUTION: This e-mail originated outside of the Village's email system.
DO NOT click links or open attachments unless you confirm the incoming address of the sender and know the content is safe.



See attached



PARKING AREA IMPERVIOUS SURFACE = 12,818 S.F.
28.3% OF AREA

MIN. INT. LANDSCAPED ISLANDS = 3

REQ. LANDSCAPED AREA = 414 S.F.
ACTUAL LANDSCAPED AREA = 514 S.F.

LANDSCAPED AREA TREE REQ. = 1 PER
LANDSCAPED ISLAND

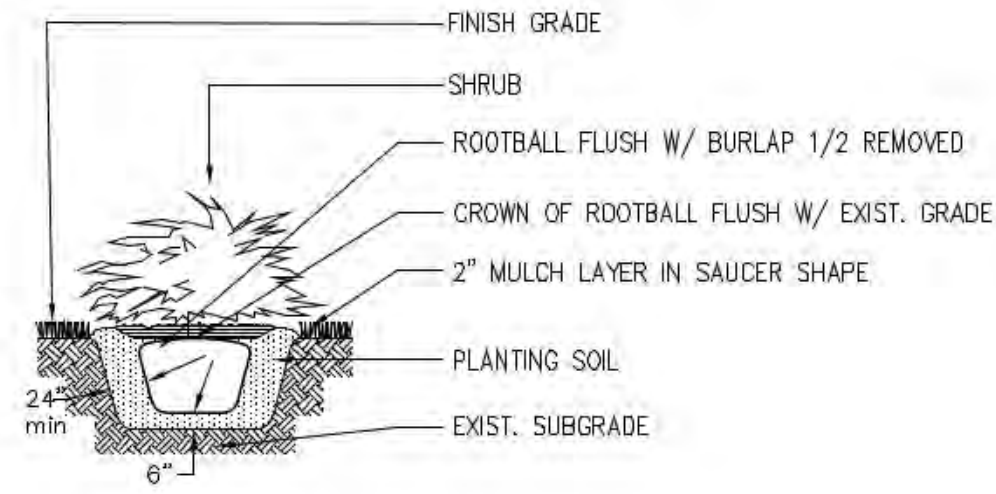
WEST SETBACK = 5'

SOIL
MINIMUM 2" EXCAVATION BELOW SURFACE
BACKFILL INTERNAL ISLANDS W/ TOP SOIL TO
TOP OF CURB THEN MOUND SOIL AN ADDITIONAL
6". ALL TOPSOIL TO BE COVERED WITH MULCH.

SOIL COMPOSITION: 45-77% SILT, 0-25% CLAY,
25-33% SAND

SOIL ACIDITY: PH 6.0-7.0

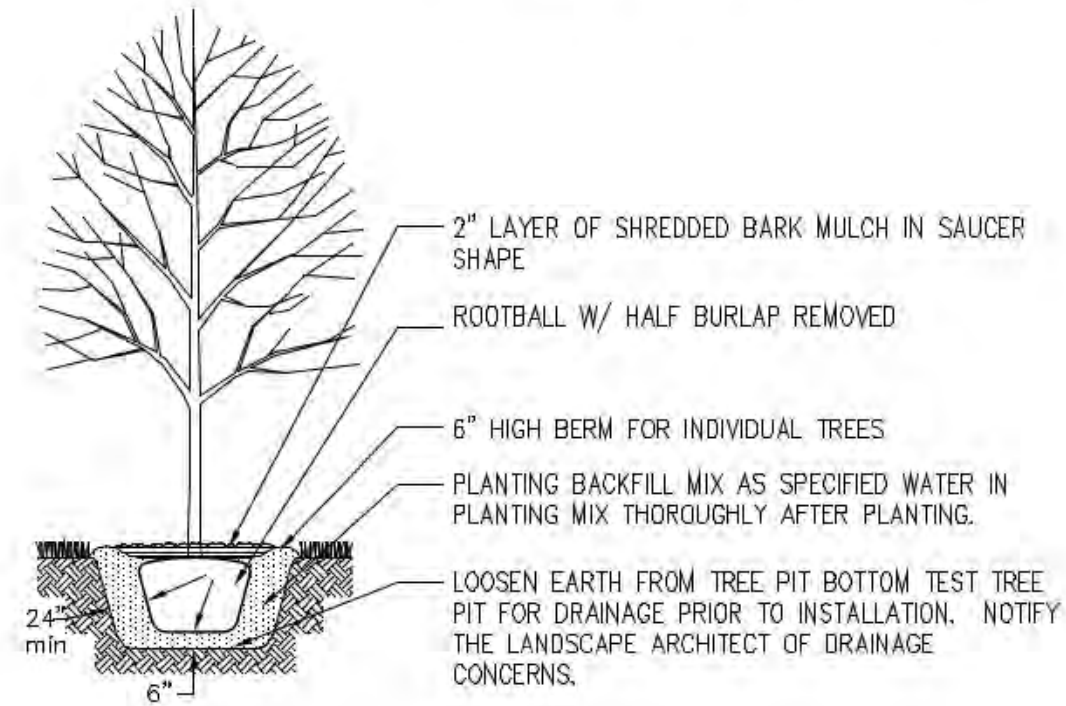
SOIL ORGANIC CONTENT: 3-5%



3 SHRUB PLANTING

NOT TO SCALE

REMOVE ENOUGH WHOLE BRANCHES, NOT JUST END TIPS, TO
REDUCE FOLIAGE BY A THIRD. DO NOT LEAVE "Y" CROTCHES
OR DOUBLE LEADERS. ALL PRUNING IS TO BE DONE AFTER
PLANTING, RETAINING NORMAL PLANT FORM.



2 DECIDUOUS TREE PLANTING - SINGLE STEM

NOT TO SCALE



PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TOTAL	ADDITIONAL NOTES
	CORYLUS AMERICANA	AMERICAN FILBERT	2"-6"	12		
AF	ACER SACCHARUM	SUGAR MAPLE	3" CAL.	B&B	6	

OBA
DESIGN BUILD CONSULTANTS



ISSUED FOR:
REVIEW

DATE
5-13-24

SHEET - L-1

LANDSCAPE PLAN
9426 CORSAR RD FRANKFORT, IL

From: [O H](#)
To: [Amanda Martinez](#); [Adam Nielsen](#); [Michael Schwarz](#); [Legacy Adviser](#); [Cutrice Stallings](#); [Corey Stallings](#)
Subject: Re: 9426 Corsair Rd - Triple Crown Training DOCS
Date: Wednesday, March 13, 2024 9:18:43 AM
Attachments: [We sent you safe versions of your files.msg](#)
[Certified mailing 031124.pdf](#)

CAUTION: This e-mail originated outside of the Village's email system.
DO NOT click links or open attachments unless you confirm the incoming address of the sender and know the content is safe.

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

Certified mailing 031124 sent.

On Mon, Mar 11, 2024 at 7:53 PM O H <ohassad1@gmail.com> wrote:

Attached is the site plan purchased from <https://getasiteplan.com/> which shows the proposed parking. There are 15-18 parking spots available on the existing concrete (not including the street parking available).

I do not believe this was necessary to purchase as the plat of survey shows the same information. I am doing this to comply with the Frankfort Code.

I have already expressed my frustration via email and in person regarding the disregard for enforcing codes across the board. Truly, this makes me feel like it's discriminatory as it is blatantly obvious my neighbors are not following code.

- I purchased this property in 2018. It was still set up as National Rhino Sports Academy when I received ownership. Clearly there was an existing baseball training academy 2012-2015 without issue, otherwise if there was a special permit or parking issue, the building would have been up to code prior to my purchase. Triple Crown Training is a drop off operation. There is still adequate parking available on the driveway. There is also free street parking. Triple crown can easily follow National Rhino Sports Academy's workflow operation to avoid the parking issue before I invest 100k+ into asphaltting the property.
- Image 1 attached shows my Property and neighbors'. Clearly they are not up to code as they asphalted beyond the easement and the city did nothing about it. You are trying to force me to asphalt but I can only asphalt 60ft away from the property line. The Neighbor is now causing me an issue with water running off into my property because they did not follow code and you did not enforce it upon them.
- Image 2 + 20240309_124756.jpg + 20240309_124811.jpg attached: The property on 22763 S Center Rd, Frankfort, IL 60423, Arctic Snow and Ice Control has gravel parking during business hours and overnight. This is not code.

Please keep the scheduled public hearing regarding 9426 Corsair Rd. If this is removed from the agenda, my legal team is prepared to take action.

Triple Crown Training

Top Velocity Performance Center (Chicago - South)

Total of 4 employees Rotating between Trainers and Office staff.

Prime Hours: 5-9pm M-F = 20 hours per week /80 hours per month

Revenue Generators:

- 8 Teams
- 30 Academy Members
- 30 Start Right Members

Business Model Review:

1. Team Contracts: 8 teams. Use of facility at assigned times which includes 2xs a week for 2 hours with access to 2-3 lanes.

2. Top Velocity Academy Program

3. Start Right Training: 2xs a week for 8 weeks for players 14 and under

WHAT IS **TOP VELOCITY?**

TopVelocity is a game-changer in the world of baseball player development programs.

As the undisputed leader in the field, Top Velocity offers exciting and customized training programs that are designed to help athletes of all levels and positions unlock their true potential on the field.

TopVelocity is revolutionizing the way athletes train and perform by offering the most complete cutting-edge science-based training system in the game that produces results while preventing injury.

With the latest in advanced technology, including an artificial intelligence-driven player evaluation system, Top Velocity is able to establish an exact "roadmap" for each athlete to achieve elite levels of performance.

If you're ready to take your game to the next level, TopVelocity is the training program for you!



START NOW



LOCATIONS



TopVelocity Performance Centers are franchise locations offering the same high-quality training program as TopVelocity Headquarters. With state-of-the-art equipment, personalized coaching, and a comprehensive training curriculum, TopVelocity Performance Centers are specifically designed to enhance overall athletic performance.

www.topvelocity.center

UNLEASH YOUR FULL POTENTIAL



PERFORMANCE *Centers*

THE MOST **ADVANCED** PLAYER
DEVELOPMENT PROGRAMS IN
THE GAME!



PERFORMANCE
Centers

TRAINING OPTIONS

PLAYER EVALUATION

The Top Velocity Evaluation is an essential step for athletes entering into our training programs to establish current ability and assign training goals.



START RIGHT TRAINING

This program is designed to introduce beginner methods of TopVelocity Training.



TOPVELOCITY ACADEMY MEMBERSHIP

Each player receives a complete evaluation with a customized training platform to follow under the guidance of a certified instructor.



TOPVELOCITY REMOTE COACHING

If you can't travel to headquarters or join a local TopVelocity Performance Center, you can get started with a personal coach thru TopVelocity Remote Coaching.



**- EDUCATION OF
OUR ATHLETES**

**- SCIENCE BACKED
TRAINING**

**- EVALUATION
SYSTEM UTILIZING A/I**

**- SPECIALIZED
TRAINING EQUIPMENT**

**- PROPRIETARY
DRILLS**

**- CUSTOMIZED
TRAINING APP**

**- INJURY
PREVENTION**

- RESULTS

**PITCHING VELOCITY
THROWING VELOCITY**

EXIT VELO

POP TIME

FASTPITCH

NUTRITION



CALL NOW
1-985-TOPVELO

**UNLEASH YOUR
FULL POTENTIAL**

www.topvelocity.center



TOP VELOCITY PERFORMANCE CENTERS

IF YOU WANT TO TRAIN WITH THE BEST PLAYER DEVELOPMENT PROGRAM IN THE NATION, TOP VELOCITY IS THE PLACE TO BE!

THE PURPOSE OF TOP VELOCITY PERFORMANCE CENTERS

In 2020, due to the overwhelming demand of coaches and players throughout the world, Top Velocity™ set out on a mission to bring Top Velocity™ methods to local communities. Through

our licensed facilities and certified instructors thousands of aspiring athletes will now have unlimited access to Top Velocity™ training methods in their hometown.

Top Velocity™ programs are specifically designed to enhance the overall athletic performance in all skilled movements of baseball and softball athletes. Regardless of your specific position on the field we have a program for you.

The Top Velocity™ System of training provides the best player development program in the world with a progressive curriculum of Science-Based training methods that is proven to help every athlete reach their full potential. From 6-year-old athletes to the Pros, the Top Velocity program provides a proven way to improve your athletic performance NATURALLY while reducing the risk of injury.

Top Velocity Performance Centers are an extension of Headquarters and provide a local training option while maintaining Top Velocity™ standards through our live virtual training.

Find your nearest location and schedule to attend our next event to experience why Top Velocity™ has been the industry leader in player development training for 15+ years, helping thousands of coaches and athletes of all ages through our proven science-based biomechanical training systems.

THE TOP VELOCITY PROGRAM

What is TopVelocity Baseball Training?



FIND A LOCATION



TAKE A LOOK INSIDE OUR FACILITIES



START TRAINING NOW!

Each affiliate location follows the successful training format developed over the past 15+ years that has produced more 90+mph testimonials than any other training program in the game.

Whether you are just beginning your training or an elite performer looking to increase your performance, Top Velocity and Top Velocity Performance Centers have a program to fit your needs.

STEPS TO MEMBERSHIP:

PLAYER INTERVIEW



First step is to schedule your FREE Player Interview to discuss your goals. Once you enter the facility you will see there is something special happening in a Top Velocity Performance Center. You will meet with a staff member who will take you on a tour of the facility pointing out all the special features of a Top Velocity Performance Center. Make sure to review the goal banners which will outline how to reach your goals.

PROGRAM RECOMMENDATION



Following your interview you will be provided our best program recommendation based upon your age, skill level, and goals.

Standard Program Options:

- Start Right Intro Clinic (2 days a week)
- Start Right Training (5 days a week)
- Top Velocity Academy Training Membership (over 12yos – 5 days a week)
- Clinic
- Camp

MEMBERSHIP SELECTED



Once you have selected your program you will be registered for your Training Group or specific class. Each athlete will establish their Top Velocity account and will be provided access to education, training, and evaluation systems through an application on their phone or internet login. All of our training memberships start with the Complete Evaluation to establish a baseline

of performance and will be provided a customized training program through our artificial intelligence programming. If you have selected a clinic or intro class you will receive a base evaluation to establish general performance metrics to educate the athlete of their current performance level. As with all of our introductory clinics, classes, and workshops, we encourage each athlete to take the next steps towards our unlimited membership options to start training with a customized training program in our academy program.

PLAYER EVALUATION



The proprietary Top Velocity evaluation assesses over 50 individual measurements which are entered into the Trademarked Top Velocity Artificial Intelligence Program to establish a baseline and assess the athletes current ability. Once the data is entered the athletes will receive their customized training program with a roadmap to elite metrics.

The Top Velocity Evaluation is an essential step for athletes entering into our training programs for the following reasons:

1. Establish a baseline of current ability
2. Assign Customized Training
3. Establishment future Goals
4. Records and Monitors Progress

The Top Velocity evaluation is recommended every 2-4 weeks for those who select the Top Velocity membership. After the initial evaluation, each athlete and parent meets individually with a Team Member to review the results.

3X/2X VELOCITY CAMP



The 3X Pitching Velocity Programs and the 2X Position Player Programs were built to develop the healthily high velocity athlete. This is the premier offering and the program that has built the success of Top Velocity. Each player joining a membership will be provided the complete camp training with Certified Instructors in your affiliate location who will work directly with your athlete following Coach Brent via live remote broadcast from headquarters. This is the \$2997 program for the 2 day training and will be included in your Top Velocity Performance Center Membership at a discount.

START RIGHT TRAINING



The Start Right Training Program is provided for the 4 weeks following the attendance of the 3X/2X Velocity Camp to ensure proper proficiency in all med ball and throwing drills. Weekly training times provide the instruction needed to master these drills. For the Athletes who are not interested in the full commitment of the Membership, they have the option to begin training through the Start Right Intro Clinic which walks an athlete through the Beginner Drills over a 4-8 week program. After completing the intro clinic, athletes who qualify are invited to apply for membership with all its benefits.

TOP VELOCITY ACADEMY



After the player is properly onboarded into their training program they are provided their customized Top Velocity Training application on their phone for ease of instruction. Athletes are placed in training groups to follow their 5 day a week training program.

REACH YOUR GOALS

Start your customized training platform and study all materials to further your understanding of what it takes to be a professionally trained athlete. Re-evaluations should be performed every 2-4 weeks to establish your next level of training. Follow the program and reach your goals!

WHY TOP VELOCITY GETS RESULTS!

Start Building Your Baseball Franchise NOW!



WHAT MAKES TOP VELOCITY DIFFERENT?

COMPLETE EVALUATION

With the proprietary Top Velocity evaluation you have the best player evaluation system in the game. No matter what level you are currently we will make you better.

EDUCATION

We pride ourself on educating our athletes and providing scientific data to substantiate our findings. Top Velocity recommendations are not an opinion but are rather based on science to allow each athlete to follow a system that produces results as compared to the traditional anecdotal information provided by most coaches.

MOBILITY TRAINING

A cutting-edge mobility routine to unlock your bodies power production and reduce injury.

DRILLS

A proprietary medicine ball overload velocity training program in addition to a complete throwing program that significantly reduces injury.

OLYMPIC LIFTING

A Science built strength and conditioning program to optimize mass, power, and motor control to develop an explosive elite athlete.

ANAEROBIC CONDITIONING

To enhance high performance stamina and recovery.

NUTRITION PROGRAM

The purpose of this program is to educate the athlete regarding optimal nutrition as part of optimizing performance and remove misinformation currently on the market.

PITCH DEVELOPMENT

Once on the training program our athlete's have an opportunity to develop a more complete arsenal through advanced analysis of spin, pitch grip, and ball release techniques used by the Pro's.

CUSTOMIZED PROGRAMS

Each of our athletes will receive a customized training program following a complete biometric evaluation. Our proprietary evaluation and trademarked Artificial Intelligence program develops an exact roadmap for each athlete to reach elite metrics following their training program.

OTHER WAYS TO START WITH TOP VELOCITY!

CLINICS

Not all players are ready for our membership and training model. Clinics are a great way to get started and learn better techniques. Clinics offered are Throwing Velocity, Hitting Velocity, Catcher Sub 2.0, Weight Training, Speed & Agility, Arm Care, and Nutrition.

START RIGHT INTRO CLINIC

The Start Right Intro Clinic is a program designed primarily for the under 12 age group to introduce the Top Velocity methods to athletes covering a course format of 10 different training agendas focused on throwing and hitting skills development. This training will teach younger athletes proper mechanics and introduce advanced training methods in a class setting.

Following this training, athletes are eligible to select the Start Right Training Membership which provides up to 5 day a week training for the committed athlete.

SEASONAL TRAINING

For the multi-sport athlete, our seasonal training programs offer an instructor led program designed to fast-track an athlete through the Top Velocity methods. The programs include Off-Season, Pre-Season, and In-Season group instruction.

HOLIDAY OR SUMMER PROGRAMS

These programs are designed for fun and education. Each session includes instruction in Top Velocity methods and competitive games to keep your young athlete active during the school breaks.

TEAM TRAINING

The Team Training program is a special offering that provides a weekly scheduled workout program for teams looking for an edge. Each session provides a dynamic warm-up, TopV med ball drills, baseball drills, and finishes each session with speed & agility training. Teams are encouraged to use the batting cage prior to workouts to maximize their training time. Each athlete will receive periodic evaluations to establish a baseline and monitor development throughout the program.

READY TO DOMINATE THE COMPETITION?

CLICK THE LINK BELOW TO GET STARTED TODAY!

SIGN UP

Top Velocity Performance Centers, LLC

17588 Hard Hat Dr.

Covington, LA 70433

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Chair Schaeffer expressed her general agreement with the proposal.

Commissioner Markunas said that the materials were well suited for the architecture.

Mike Schwarz explained the removal of the variation for the proposed metal roof. He stated that staff took a conservative approach in interpreting the language in the Zoning Ordinance. Upon further review of the language, staff determined that a variation for the metal roof is not required. He said that the requirement for the masonry siding has always been in the Zoning Ordinance and therefore this variation still applies. The property is not located within the downtown boundary and therefore the Residential Design Guidelines within the 2019 Comprehensive Plan do not apply.

Chair Schaeffer said that the property is almost entirely surrounded by commercial uses. She said that an all-brick exterior could appear monotonous and that the proposed house is “anti-monotony”.

Motion (#16): Recommend the Village Board approve a variation request to allow non-masonry siding for first floor and second-floor building materials on a house proposed on Lot B in the Aurthur T. McIntosh and Company’s Kean Avenue, S. 95th Ave. (19-09-22-300-025-0000), in accordance with the reviewed plans, public testimony and Findings of Fact.

Motion by: Markunas

Seconded by: Jakubowski

Approved: (5-0)

F. Non-Public Hearing: Triple Crown Training

Amanda Martinez presented the staff report.

Applicant David Wayne Posley Jr. approached the podium.

Commissioner Morris asked if they have operations in other states, if this location will be a franchisee and if the applicant could explain why they chose Frankfort as a location. The applicant replied that his clients are Frankfort residents, and that the operation will be a franchise.

Commissioner Markunas said that being a franchise, he is assuming that the parent company has design standards for how it looks. The applicant said that there are no plans to modify the existing building.

Commissioner Knieriem asked the applicant if he was the owner. The applicant responded that he is a representative of the owners and the lead instructors. Commissioner Knieriem asked if they would only focus on baseball if it was previously a Rhino Sports Academy

and if Triple Crown would own it. The applicant replied that they would only focus on baseball, that it was in fact a former Rhino facility and that Triple Crown would lease the building. Commissioner Knieriem asked if all sports activities would be indoor, and nothing would be outdoors. The applicant responded that was correct. The applicant said there would be no outdoor field to play baseball because this facility would only be used for training and practice. Commissioner Knieriem said that there is a shortage of this type of use in Frankfort.

Chair Schaeffer asked if the facility would ever be rented out for parties or events. The applicant responded no.

Chair Schaeffer asked for comments regarding parking. She said that the gravel in the rear yard was not approved to be there and should be removed. It could either be restored with grass or it could be paved for a rear parking lot. She said that since the facility would be relatively large, that more on-site parking would likely be required. The applicant noted that they would likely prefer to pave the rear yard for parking. Mike Schwarz noted that any new parking lot on site would need to be reviewed for engineering compliance and would require curb & gutter, etc. The plans would need to be prepared by a licensed architect or engineer. The applicant asked the Commission how much parking he needs for the proposed use. Chair Schaeffer replied that that is what is being debated tonight. The applicant asked if there were any records showing that parking “spillover” was an issue when Rhino was there. Amanda Martinez noted that Rhino did not have any conditions for parking attached to their approval. She noted that the required parking for Rhino was based upon what the applicants said they needed at the time. However, the code technically states that the required parking must be based upon “maximum occupancy”, which would equate to 64 parking spaces, which probably won’t be able to fit on site. The applicant responded that this facility would be primarily for pick-up and drop-off of youths and that he’d prefer to not spend the money to pave a parking lot expansion.

Commissioner Markunas asked what the maximum occupancy would be of the facility. The applicant responded that there would be a maximum of 2 teams at once, or about 30 people. Chair Schaeffer said that most of the players will be young and not driving to the facility. Commissioner Knieriem said that typically, parents pick up and drop off children at once, which can lead to a mess of cars at once. He said that he would prefer it if the site plan could be reworked to provide a one-way entrance and one-way exit to allow proper circulation. He said that the existing 5-6 existing parking spaces would be deficient. He said that as an industrial property, he would not want kids being picked up in the streets, crossing the street or otherwise being in the street. He believed that approximately 34-40 on-site parking spaces would be required. Mike Schwarz noted that the property could not exceed an impervious lot coverage of 80% and to keep that in mind.

Commissioner Markunas said that he estimates 2/3rds of the parents would sit in the parking lot and read a book while waiting for practice to end. As such, parking will be required on-site. Amanda Martinez noted that on-street parking does not technically count toward the amount of required parking. There was general discussion regarding the amount of parking that should be required. The Commission seemed to agree that 30 spaces would be required.

Commissioner Knieriem asked if a trash enclosure was considered, taking into account turning movements for emergency vehicles. Commissioner Markunas asked the applicant if they received proper directions. They replied yes.

G. Public Comments

None.

H. Village Board & Committee Updates

Mike Schwarz noted that the following projects were approved by the Village Board at its meeting on March 4, 2024:

- The Voorn Lawndale Subdivision (preliminary and final plat); and
- The 39 and 49 E. Bowen Street Wall Massing Variation (Ord. 3441).

I. Other Business

None.

J. Attendance Confirmation (March 21st, 2024)

Chair Schaeffer asked Commissioners to please let staff know if someone cannot attend the next meeting.

Motion (#13): Adjournment 8:58 P.M.



Motion by: Jakubowski

Seconded by: Knieriem

The motion was unanimously approved by voice vote (5-0).

Approved March 21st, 2024

As Presented _____ As Amended ☒

 /s/ Nichole Schaeffer, Chair
 /s/ Secretary

No one else wished to speak.

Motion (#5): To close the public hearing.

Motion by: James

Seconded by: Knieriem

Approved by voice vote: (5-0)

Motion (#6): To recommend to the Village Board approval of the Plat of Vacation of a portion of the unimproved Ash Street public right-of-way, totaling approximately 5,209 square feet in area, generally located at the southern terminus of Ash Street, in accordance with the approved plans and public testimony, and subject to any necessary technical revisions prior to recording.

Motion by: Jakubowski

Seconded by: James

Approved: (5-0)

D. Public Hearing: 9426 Corsair Road – Triple Crown Training/Top Velocity

Amanda Martinez presented the staff report.

The applicant, Corey Stallings, approached the podium. He said that he's a new resident in Frankfort. He said that this would be his business and he'd be a baseball coach. He asked if the Commission had concerns about parking on-site. He said that there would never be any more than 10-15 players at any point, nor more than one team at any time. He noted that most students arrive via carpooling, typically 3-4 kids per car, and that he does not encourage parents to stay on site to stay with their kids. He said that weekends would be the busiest times.

Chair Schaeffer asked Mr. Stallings if he was the prospective business owner. He said yes, but he would not be the building owner. Chair Schaeffer said that the Commission needed to determine the appropriate amount of parking required, but in order to do that, they needed to sort out the site plan revisions that are needed.

The building owner, Omar Hassad, approached the podium. He said that the building used to house a baseball training facility and that his proposal would be exactly the same. He said that he doesn't need the money generated by the facility, but rather he wanted to find the right tenant for the building to be able to give back to the community. He said that he recently purchased the Walgreen's in Frankfort at Wolf Road and Laraway Road. He said that he would not invest another penny in Frankfort unless he's able to get approval for the baseball training facility. He said that he was willing to spend \$100,000 to pave the rear of the property for parking, but he cancelled the job once he found out that the parking lot would need to be set back 60' from the rear property line because of the drainage easement.

He said that there would be four employees and that everyone else usually carpools. He asked about the requirement for a trash dumpster and trash enclosure. He said that the proposed use would not generate trash. He said that he has pictures of other businesses in the area that have dumpsters without trash enclosures and wondered why his facility would require a trash enclosure. He said that he felt that a lot of roadblocks and obstacles had been put in place only for him and his tenant. He said that he has a problem when the code isn't applied equally to everyone.

Chair Schaeffer said that the Commission is focused on the request before them, not on other properties. She noted that the applicant's request for a Special Use Permit opens the process for the request to be reviewed per code and by the Commission. She noted that Village staff needed to look at the code for deficiencies and that some were found with his property. Specifically, she noted that the gravel was illicit, being placed in a drainage easement without approval from the Village. She noted that when the facility was operated by Rhino Sports Academy, the rear yard was grass, not gravel.

Mr. Hassad said that he would not change the property at all and would not provide any more on-site parking.

There was discussion among the Commission that the representative at the workshop meeting said that there would be a maximum of 2 teams, or 30 people, at any one time. Mr. Hassad said that the representative was incorrect and that there would never be more than 15 players. Chair Schaeffer asked the applicant to go on record stating that there would never be any more than 15 players at the facility at any time. Mr. Stallings agreed to this.

Mr. Hassad said that the PC/ZBA just approved a Special Use Permit for Bear Down Barbecue and waived all required off-street parking. Chair Schaeffer said that the commercial plaza containing Bear Down Barbecue has ample parking. She noted that the proposed baseball training facility could not technically count on-street parking toward the parking requirement. She noted that the baseball training facility was going to be popular and that there will likely be a high demand and there will be kids from everywhere that will come to this facility. She noted that many parents wouldn't be leaving during practice and would stay on-site.

There was some discussion that other properties in the area were not in compliance with the code requirements regarding parking lot improvements. Commissioner James said that the Village has a code enforcement department that can address other properties that are out of compliance, but that the PC/ZBA does not address code enforcement.

Chair Schaeffer said that she is trying to help the applicant be successful in the process, since the Board may not view the Special Use Permit request favorably if the site plan does not meet code.

Amanda Martinez said that when Great American Bagel, a few buildings to the east, came before the Plan Commission for a Special Use Permit, the request was approved with the condition that they improve their site for more parking. A site plan showing the parking lot improvements was attached to the ordinance that was granted.

Mr. Hassad asked the PC/ZBA for their word that the Village would force compliance on properties that are currently not in compliance with the code.

The conversation turned to the required off-street parking. Chair Schaeffer said that applicants must engage with a professional engineer, architect, or land surveyor to prepare a site plan that meets code.

Amanda Martinez called attention to the drainage easement in the rear yard and that there is still a lot of missing information on the site plan. Chair Schaeffer said that the drainage easement in the rear yard is large and that there may be a path to vacating all or a portion of the easement, but it would require engineering review. Amanda Martinez noted that they would need engineering review and approval to pave within the existing drainage easement if they chose that path. Mr. Hassad said that the rear yard still gets very damp and that the gravel helps the drainage otherwise it would have standing water and a mosquito habitat.

Chair Schaeffer asked that Mr. Stallings confirm the number of staff and their vehicles, and he said there would be 2 cars for staff, himself, and his wife and 12-15 kids at any one time. She clarified with Mr. Stallings that there would be no more than 15 kids at any one time. Mr. Stallings said that there would never be any more than 2 coaches at once. He said that the entire back room of the facility is dedicated for one-on-one training.

Commissioner Morris asked the applicant if they were considering travel teams, since they mentioned the White Sox. Mr. Stallings said that he is friends with the White Sox. Commissioner Morris said that in terms of moving forward, there is no data, that the story is changing, and they can't get to the business at hand. He said that the Commission needs to ensure safety. He again asked for more data and specifically more data about who their clients will be.

Chair Schaeffer said that the facility could also increase in popularity over time if it becomes more successful. Mr. Stallings said that the facility was intended to be successful from the start. He said that he'd have 10 teams on a rotating basis, but not more than 1 team practicing at a time. They would not be open until 3:30 p.m. during the school year.

Chair Shaeffer asked where high school students were going to park, because it's unlikely that they'll all carpool. Commissioner Knieriem said that they haven't yet addressed overlapping times of attendees.

Commissioner Morris said that at the workshop meeting, they had all agreed that 30 parking spaces were required. Commissioner Knieriem postulated that there are an average of 15 kids per team, about 3-4 instructors and 2 staff, equating to about 20 parking spaces. Mr. Stallings agreed with this. Commissioner Knieriem mentioned that the site plan should be reworked to remove the proposed parallel parking spaces because it seemed to go against the overall traffic flow. Mike Schwarz suggested that if the Commission members were amenable to allowing any off-site parking, coaches and high schoolers could park on the street to allow drivers with small children to park in the on-site parking spaces. Commissioner Knieriem recommended that the applicant work with an engineer to ensure proper striping of the parking lot, including ADA accessible spaces. He noted an instance from another community in the past where an ADA space was deficient by 1' and that it led to a lawsuit.

Chair Schaeffer asked the applicants how much time they need to prepare a site plan with engineering review. She said that April 11th is probably not realistic. She said they could aim for April 25th.

Motion (#7): To continue and keep open the public hearing until the April 25th, 2024, PC/ZBA meeting.

Motion by: Morris

Seconded by: Jakubowski

Approved: (5-0)

Chair Schaeffer recessed the Commission for a 5-minute break at 8:20 pm. The meeting resumed at 8:25 pm.

E. Workshop #3: 10211 W. Lincoln Highway – Rhumbar

Mike Schwarz presented the staff report.

The applicant, Joji Tirumalareddy, representing Tulips Chicago LLC dba Rhumbar, approached the podium and mentioned that he would like to rectify all issues as the rent on the property is increasing.

Chair Schaeffer responded that the restaurant use seems reasonable and that the one extra seat in the bar area that staff mentioned needs to be removed on the floor plan is fine for now since that will be changed prior to the public hearing.

Commissioner Jakubowski asked the applicant what the proposed hours of operation are.

The applicant responded that the business would operate from 11 a.m. – 12 a.m. during weekdays.



MINUTES

MEETING OF VILLAGE OF FRANKFORT PLAN COMMISSION / ZONING BOARD OF APPEALS

April 25, 2024 –VILLAGE ADMINISTRATION BUILDING

432 W. NEBRASKA STREET

- Call to Order:** Chair Schaeffer called the meeting to order at 6:51 PM
- Commissioners Present:** Nichole Schaeffer (Chair), Brian James, Johnny Morris, Dan Knieriem
- Commissioners Absent:** David Hogan, Jessica Jakubowski, Will Markunas
- Staff Present:** Community & Economic Development Director Mike Schwarz, Planner Chris Gruba, Planner Amanda Martinez, Administrative Assistant Lisa Paulus
- Elected Officials Present:** None

A. Approval of the Minutes from April 11th, 2024

Chair Schaeffer asked for questions or comments regarding the minutes. There were none.

Motion (#1): To approve the minutes from April 11th, 2024.

Motion by: James

Seconded by: Knieriem

Approved: (4-0)

Chair Schaeffer asked members of the audience to raise their hands if they intend to provide testimony during any of the public hearings this evening. A number of people raised their hands. Chair Schaeffer then swore in those members of the audience wishing to provide testimony.

B. **Public Hearing: 9426 Corsair Road- Triple Crown Training/ Top Velocity (Ref#109)**

Amanda Martinez summarized the tabling request. There were no questions from the commissioners.

Motion (#2): To keep open and table the public hearing until May 23rd, 2024.

Motion by: Morris

Seconded by: James

Approved: 4-0

C. Public Hearing: Abbey Woods North (Ref #108) Public Hearing Continued from April 11, 2024

Christopher Gruba summarized the tabling request. He noted the applicant needed more time to gather additional information.

Motion (#3): To keep open and table the public hearing until May 9th, 2024.

Motion by: James

Seconded by: Morris

Approved: 4-0

D. Public Hearing: 9416 Gulfstream Road, Unit 2 – CV, LLC (Ref#106)

Christopher Gruba presented a summary of the staff report.

The property owner's representative Alex Genova and the business manager Sammy Nakhleh representing the business owner approached the podium.

Sammy Nakhleh stated commercial vehicles will be brought to the site after being purchased by their company. Decals on recently purchased vehicles will be removed and the vehicles will be then sold at the Manheim Auction. There will be no walk-in sales of vehicles. Every vehicle will be enclosed in the building.

Commissioner James asked if the vehicles are shipped or delivered to the site.

Sammy Nakhleh stated the vehicles purchased for the company are either shipped to the site or the company's employees will drive the vehicles back from the auction to the site. He added that it typically depends on the quantity of vehicles purchased and how far the purchased vehicles are located from the site.

Chair Schaeffer asked if they planned to do any auto repair or body work on the vehicles. Mr. Nakhleh responded no. He added they only remove existing decals from the body of the vehicle.

Commissioner Knieriem asked what benefit would their customer have purchasing a vehicle from CV, LLC versus purchasing directly from the auction themselves.

Village of Frankfort Community Development
432 W. Nebraska St.,
Frankfort, IL 60423
Attention; Amanda Martinez, Planner

April 11, 2024

Re: 9426 Corsair Rd. – Triple Crown Training/Top Velocity Special Use Permit hearing April 25, 2024

I am the owner of Mortenson Roofing Company, Inc. and also the owner of the property located at 9505 Corsair Rd., Frankfort, IL 60423 across the street from the subject property. We built our building on Corsair Rd. and our business has been at the location in Frankfort for more than 20 years. We are completely against the granting of a special use permit for use of the subject property as a baseball training facility.

We remember the nuisance the last baseball training facility was that operated for a short time at that location approximately 10 years ago. That business caused terrible problems and disruption to our business. As stated in the previous meeting minutes of the Frankfort Plan Commission, the building owner said that the proposed use of the building would be used exactly as it was at that time. We clearly remember in the middle of the afternoon, 30 or more cars from the baseball facility parked on the both sides of the street directly in front of our property, making it nearly impossible for the daily semi-trailer trucks to back in or pull out of our parking and loading area. A few times the street was so full with cars, we had parents using our parking lot to wait on picking up kids. Having teams come in for one hour at a time causes there to be double the amount of cars nearly the entire time with people coming, going, parking, waiting and getting in and out of the facility and in and out of vehicles. We had kids playing catch in the middle of the street and hanging out on the nearby properties next to the street. There were teams waiting to get in the facility, conducting infield practice in the vacant lot adjacent this property and directly across the street from our property.

The applicant for the permit and owner of the business stated that "there would never be more than 10 to 15 players at any point, nor more than one team at any time". This is a dishonest statement. I have a little experience with this subject. I managed baseball teams with my three sons for 20 years in Mokena and also used baseball training facilities. When one team is in the facility practice areas and batting cages, the next team is always there waiting at least 15 or 20 minutes early, so they can get into the cages immediately upon the end of one teams time and the beginning of their time in the facility or the batting cages. This overlap of teams coming and going every hour easily doubles the 10 to 15 players estimate to 30 players and coaches, plus the employees of the facility, requiring rides, parking and causing terrible traffic congestion on the street in front of our business. This was exactly what we experienced when this property was somehow previously used as a baseball training facility.

We purchased the property and built our building 20 years ago in this Frankfort **industrial park** for the zoning restrictions and allowances that are in place and to be with other similar type businesses like ours, without the kind of disruption that businesses not zoned for industrial parks might cause to our everyday business. Corsair Road is not designed for the amount of traffic flow and parking that comes with a baseball training facility. Semi-trailer truck traffic and other heavy construction vehicles coming in and out of the industrial park don't mix well with kids playing catch in the middle of the street and kids getting in and out of cars on both sides of the road. Adding parking to the subject property would not solve these problems. The subject property is not zoned, designed or suited for a baseball training facility.

Michael Lukis
President
Mortenson Roofing Co. Inc.
9505 Corsair Rd.
Frankfort, IL 60423
(888)773-7306
michael.lukis@mortensonroofing.com
www.mortensonroofing.com

From: [Michael Lukis](#)
To: [Amanda Martinez](#)
Subject: Re: 9426 Corsair Rd Public Hearing
Date: Thursday, April 11, 2024 4:09:45 PM

CAUTION: This e-mail originated outside of the Village's email system.
DO NOT click links or open attachments unless you confirm the incoming address of the sender and know the content is safe.

Amanda,

One other note that I did not include a comment about the applicants comments, made at the previous meeting about carpooling. The applicant's comments that 3-4 kids will carpool for practice is absolute nonsense. I coached baseball for 20 years and saw kids arrive individually, unless in a very rare instance 2 kids live right next to each other. Even then they typically arrived separately. Parents don't waste the time running around and picking up other kids to go to a nearby baseball practice. They might carpool for distant games, but not local practices. Those comments from these applicants show they will say anything they can think of, whether true or not, to try and get this special use approval.

Michael Lukis
Tile Roofs, Inc.
9505 Corsair Rd.
Frankfort, IL 60423
toll-free; (888)708-8453
e-mail; tileroofs@aol.com
web site; www.tileroofs.com

On Wednesday, April 10, 2024 at 09:59:54 AM CDT, Amanda Martinez <amartinez@frankfortil.org> wrote:

Hi Mike,

Thanks for the call just a few minutes ago- below in my signature line is my contact info.

Please send me an email or drop off a letter at the Village Hall (432 W. Nebraska St.) before 9426 Corsair's scheduled public hearing date which is on April 25th. If you have it in by April 19th, I will be able to attach it to the staff report that gets distributed to the Plan Commission/Zoning Board of Appeals and Village Board (either way, at the meeting it will be on record that you have given input).

Also, please see the attached 250-foot Buffer Map for 9426 Corsair Rd. that is curated from the Will County GIS System (highlighted are properties that are required to be notified per Village policy).

VILLAGE OF
FRANKFORT
INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following "Findings of Fact." Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.

Yes, it will not. We have ample space on property and operations will be conducted in Building.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already ~~used~~ ^{used}, nor substantially diminish and impair property values within the neighborhood.

YES, it will not. We have ample space on property and operations will be conducted in Building

3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Yes, it will not. The streets are big and we will not have a lot of traffic.

4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

We will not have any change to exterior.

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

Yes all utilities are adequate and current infrastructure.

6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Yes we look forward to minimal traffic only pickup / drop off.

7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

This special use will be used according to Plan Commission recommendations and Village Board approval.



Findings of Fact Commissioner Evaluation Form - Special Use Permit

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. No special use shall be recommended by the Plan Commission unless all the following findings are made.

	STANDARD	NOTES	MEETS	
a.	That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.		YES	NO
b.	That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.		YES	NO
c.	That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.		YES	NO
d.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.		YES	NO

e.	That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.		YES	NO
f.	That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.		YES	NO
g.	That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.		YES	NO

Project:	Chick-Fil-A
Meeting Type:	Workshop
Request:	Major change to PUD, Special Use Permits (4)
Location:	20091 S. La Grange Rd. (Outlot 2B in Hickory Creek Marketplace)
Applicant:	HR Green, Inc.
Prop. Owner:	Charm III, LLC
Representative:	Applicant (Joe Vavrina of HR Green)
Staff report by:	Amanda Martinez, Planner

Site Details

Lot Size:	1.21 acres
PIN:	19-09-15-101-044-0000
Existing Zoning:	B-3 PUD
Proposed Zoning:	N/A
Buildings:	1
Total Sq. Ft.:	4,886 sq. ft.
Unresolved Items:	Tree Survey, Preliminary Engineering, Landscape Plan revisions, Sign Plan revisions, Building Elevation revisions, Engineering Plan (Site Plan) revisions, proof of consent for off-site crosswalk(s), and outdoor seating furnishings.

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Vacant	General Comm.	B-3 PUD
North	Commercial	General Comm.	B-3 PUD
South	Commercial	General Comm.	B-3 PUD
East	Commercial	General Comm.	B-3 PUD
West	Commercial	N/A	C-2 (Mokena)

Figure 1. Location Map



Project Summary

The applicant, HR Green, Inc. on behalf of Chick-Fil-A, is seeking to redesign the Steak n Shake site located within Hickory Creek Marketplace. The project entails demolishing the extant 4,500 sq. ft. Steak n Shake building and constructing a 4,886 sq. ft. building to house Chick-Fil-A. The 1.21-acre property is subject to the Hickory Creek Marketplace PUD, which was originally approved in 1997 (Ord-1654) and the Village's new construction regulations. The project would require a Major Change to the existing PUD for the redevelopment of the outlot (Outlot 2B in Hickory Creek Marketplace), including construction of the new building, plus four (4) Special Use Permit requests for a carry-out restaurant, a drive-through service window, outdoor seating, and extended hours of operation.

Attachments

1. Aerial Photograph from Will County GIS
2. Project Narrative received 5.3.24

3. Staff Site Visit Photographs taken 5.17.24
4. ALTA Survey received 5.3.24
5. Engineering Plans received 5.3.24
6. Building and Refuse Elevation received 5.3.24
7. Floor Plan received 5.3.24
8. Landscape Plan received 5.3.24
9. Sign Package received 5.3.24
10. Photometric Plan received 5.3.24
11. Exterior Lighting Cut Sheets received 5.3.24
12. Review Comment Response Letter received 5.16.24
13. Findings of Fact for Special Use Permit and PUD with Applicant's Responses received 5.3.24
14. Findings of Fact for a PUD with Applicant's Responses received 5.14.24
15. Findings of Fact for Special Use Permit and PUD for Commissioners

Analysis

Staff offers the following comments for discussion:

Land Use

1. The property is zoned B-3, General Business, with a PUD overlay for the entire Hickory Creek Marketplace development. The construction of the proposed new restaurant building within the existing PUD for the Hickory Creek Marketplace development requires a Major Change to the existing PUD.
2. The subject property is identified as General Commercial in the Village's Future Land Use Map. Additionally, per the Zoning Ordinance: "The B-3 General Business District is intended to provide areas to be used for most types of retailing and service uses, including those uses that are oriented toward the service of automobiles".
3. Steak n Shake closed its doors around the year 2021. The longevity of the discontinuance of the Special Uses for a carry-out restaurant with a drive-through service window requires the business to obtain new Special Use Permits.
4. The proposed project in the B-3 zone district would require four (4) Special Use Permits as follows:
 - a) Carry-out restaurant
 - b) Drive-through service window
 - c) Outdoor seating
 - d) Extended hours of operation

Hours of Operation

1. Per Article 6 Section C Part 2 (q), permissible hours of operation for non-residential uses are 7:00 a.m. to 11:00 p.m.
2. The applicant is requesting approval of a Special Use Permit in order to operate from 6:00 a.m. to 11:00 p.m. Monday through Saturday.
3. A Special Use Permit was approved for extended hours of operation for Steak & Shake (Ord-2269), which was permitted to operate from 5:00 a.m. to 1:00 a.m.
4. Per the project narrative, Chick-Fil-A is anticipating 15 employees on site at peak hours.

Outdoor Seating

1. In addition to the proposed restaurant, the applicant is proposing approximately 225 sq. ft. of outdoor dining space (adjacent to the west side of the building). Outdoor seating areas require special approval in any commercial zoning district.

2. The applicant depicts the outdoor seating on the submitted site plan, identifying that there will be 6 tables and 24 seats.
3. Article 5, Section C, Part 14 of the Zoning Ordinance requires that any outdoor seating be enclosed by a fence or wall at least 3' in height. Staff has requested more details for review of the proposed outdoor seating furnishings and fencing. Staff suggested neutral, sturdy furnishings and black open-style metal fencing that would match other recently approved restaurant outdoor seating areas.

Site Plan/ Engineering Plans

1. The submitted preliminary engineering plans are currently under review by the Village Engineer. Staff believes that the review comments will be minimal as the entire Hickory Creek Marketplace development was previously reviewed prior to the initial development.
2. This project proposes slightly more impervious area than the Steak n Shake development. The Steak n Shake development has proposed 72% impervious surface coverage, Chick-Fil-A is proposing 76% impervious surface coverage, and the Zoning Ordinance only allows 70% impervious surface coverage (resulting in the need for the applicant to request a modification as a part of the Major Change to the PUD as well as the need for the Village Engineer to review the submitted stormwater report).
3. The submitted site plan shows that the proposed pavement setback does not comply with the required 5' pavement setback from all property lines (the Steak n Shake development also did meet this requirement). The applicant is currently proposing a 4.5' pavement setback along the south property line, a 4.3' setback along the north property line, and a 4.5' pavement setback along the east property line. The applicant has stated in the attached review comment response letter that they have revised the site plan to be able to meet this 5' pavement setback requirement on all sides.
4. Typically, the required building setback is measured from the property line or centerline of La Grange Road to the nearest canopy on the building. The proposed principal building meets all the required setbacks in the B-3 zone district. However, the proposed canopy over the drive through lane encroaches approximately 20' into the front yard setback (required is 50', provided is approximately 30') and encroaches approximately 30' into the road centerline setback (required is 125', provided is approximately 90'). Thus, the applicant is requesting a modification for the front yard setback and road centerline setback as part of the Major Change to the PUD.
5. Accessory structures in the B-3 zone district must be set back at least 10' from any property line and 10' from the principal building. The proposed trash enclosure is located 20.8' west of the east property line and approximately 4.2' from the north property line which would require the need for a modification as part of the Major Change to the PUD.
6. Per the Zoning Ordinance, accessory structures in the B-3 zone district must be limited to 144 sq. ft. in size. The applicant is requesting a modification in the PUD to permit Chick-Fil-A to exceed the maximum square footage for the trash enclosure that also include space for a storage room (for landscaping and cleaning supplies).
7. A sidewalk connection is proposed from the building to the existing sidewalk along La Grange Road and from the building to the existing shared parking lot for the multi-tenant buildings. ADA ramps are also proposed on the east side of the building. Staff requested documentation that the property owner has given approval for the off-site crosswalk. The applicant provided information in the review comment response letter that the property owner has given approval of the development plans that include the crosswalks.

Parking / Circulation

1. The subject property would only be accessible via a shared access drive within Hickory Creek Marketplace; there would be no new access to La Grange Road. There would be no cross-access between the subject property and the two adjacent outlots. The submitted engineering plans show that the applicant is proposing only one access point, and it would function as ingress and egress for the site.
2. The existing PUD for Hickory Creek Marketplace (Ord-1654) requires each outlot parcel to provide on-site parking, as the shared parking agreement excludes the outlot parcels.
3. Per the Zoning Ordinance's off-street parking requirements, fast food (carry-out) restaurants are required to provide 1 parking space per 100 sq. ft. and depiction of at least 8 vehicles stacked in any proposed drive-through lane(s). The proposed building for Chick-Fil-A is 4,886 sq. ft., which would require 49 parking spaces. The applicant is proposing 49 parking spaces, which complies with said off-street parking requirement. Staff requested depiction of vehicles stacked in the drive through. For reference only, the existing Steak n Shake site has 62 parking spaces.
4. Parking stalls are required to be 9'x18' per the Zoning Ordinance. The proposed parking stalls meet this size requirement, except for the two ADA spaces near the building. The applicant has stated that the space in between the two ADA spaces provides extra room for vehicles and handicapped patrons (see the attached review comment response letter).
5. There will be two bike racks installed near the flagpole and drive-through lanes clearance bar, just west of the parking spaces that are adjacent to the building.
6. The drive-through would consist of dual lanes, thus there will be two menu boards. The dual lanes would measure 25' wide, each lane being 10' wide.
7. Per the project narrative submitted by the applicant, Chick-Fil-A strives to take orders from customers in a personable way which means that orders would be given to employees that are outside and instead of a traditional pick-up window, there is a full-sliding door that allows employees to walk out and directly serve meals to customers face-to-face (see building elevations for reference on how the door appears to work as a window).
8. There would be no bypass lane throughout the length of the drive-through lanes. Immediately after the patrons exit the drive-through lane, the drive-aisle has one-way vehicle movement heading north leading to the ingress/egress point (similar to the drive aisle heading into the drive through lanes). Staff suggested that the dual lanes merge before the patrons are headed to the one-way drive-aisle. The applicant responded that their business operation calls for the lanes to be separated since the employees will have the flexibility to deliver to whichever order they have ready first.
9. Two-way circulation is limited to only some parking areas. The drive aisles that would allow two-way vehicle movements are as follows: the north drive aisle, the center drive aisle, and the drive aisle adjacent to the building (except for the length of the two west parking spaces).
10. The Zoning Ordinance states that loading berths are required for buildings that are over 5,000 sq. ft. The proposed building is just under 5,000 sq. ft., which yields no requirement for a loading berth.

Building Elevations/Architecture

1. The proposed new restaurant building is 26' in height, including the proposed parapets, which is compliant with the maximum 35' building height mentioned in the Zoning Ordinance. For reference, the extant Steak n Shake building is 24' in height.
2. The primary building materials are listed on the submitted building elevations as dark bronze metal, chocolate wire cut brick, whitehall brick, stone water table, and cast stone, all intended to match or closely match the brick and stone on the adjacent multi-tenant and single-tenant buildings. The applicant

submitted a sample of the proposed chocolate wire cut brick (photos attached to the staff report, and samples will be at the meeting).

3. Per staff's suggestion, the applicant added an accent stone inset feature to the building to further break up the brickwork and to be consistent with the adjacent buildings within the Hickory Creek Marketplace development. The cast stone parapet and accent brick horizontal band are proposed to emulate the Emagine Theater building's architecture. Staff requested more detail on the proposed cast stone to better identify the color.
4. The proposed knee wall ("stone water table") measures 3' in height and is constructed of stone to match the adjacent buildings. Staff requested more detail on the proposed knee wall material.
5. The proposed aluminum framed tempered doors and windows are proposed in the color dark bronze.
6. The applicant confirmed that all rooftop mechanical units would be screened by the proposed cast stone parapets by providing an RTU outline on the building elevations. No ground-mounted mechanical units are proposed, other than a transformer located in the landscaped area that is southeast of the building.
7. There are two free-standing steel canopies in the color dark bronze. One canopy is located where the menu boards are located, just west of the building. The other canopy is located where the drive-through service window is located, just east of the building. The two canopies are wrapped with masonry to match the proposed principal building. There are smaller additional canopies on the elevations that are powder coated aluminum in the color dark bronze (i.e. overhead the entrance doors on the north elevation, the window on the west elevation, the door on the south elevation).
8. The proposed trash enclosure would be constructed of brick to match the building which complies with the Village's masonry requirement. Additionally, per the Municipal Code, trash enclosures must be limited to 6' in height (whereas the Zoning Ordinance states accessory structure heights shall be limited to 15'). The proposed height of the trash enclosure is approximately 8'8" (not including the cast stone cap; staff requested confirmation on the exact height). Thus, the applicant is requesting a modification for the trash enclosure height (and size) as part of the Major Change to the PUD.
9. The proposed gate on the trash enclosure is approximately 8' in height. The proposed gate on the trash enclosure is in the color dark bronze to match the principal building's architectural features. The proposed metal door for the storage room also matches the proposed dark bronze color.
10. Staff has requested that the signage depicted on the building elevations match the sign package that was submitted. Alternatively, the applicant may remove signage from the elevations and simply note the location of wall signage.

Landscaping

1. There is a required 25' wide landscape setback located along La Grange Road for all properties in the Hickory Creek Marketplace PUD. The applicant is proposing to maintain the 25' landscape setback area, including preserving most mature trees that have grown within the said area. Per the submitted grading plan, the existing and proposed landscape setback area does not appear to have a 2.5' tall berm which is required to screen the parking lot that is adjacent to the right-of-way. The review comment response letter states that the applicant is requesting a modification for the berm requirement as part of the Major Change to the PUD due to preserving existing vegetation. Also, it does appear that the adjacent outlots do not include a 2.5' minimum berm along La Grange Road.
2. Landscaping is proposed around the trash enclosure, near the outdoor seating area, near the drive through, and along the north, east, and south property lines which exceeds the requirements stated in the Landscape Ordinance.

3. A more detailed tree survey is needed to ensure that there is compliance with the tree preservation requirements listed in the Landscape Ordinance. If any trees are identified as a preservation tree per the Landscape Ordinance, the tree(s) will need to be properly mitigated in a 1:1 ratio (same caliper size as the removed tree) or a cash in lieu fee (\$100/caliper inch). If the trees are not identified as preservation trees, no further action is necessary.
4. Per the Sign Ordinance, menu boards that are proposed facing the right-of-way (in this case La Grange Road) require heavy landscaping. Staff requested that the applicant provide evergreen planting material along La Grange to provide adequate screening of the menu board year-round.
5. Per the Landscape Ordinance, landscape islands are required for every 10 parking spaces. The proposed site plan shows that the parking spaces along the north property line do not have a parking island to meet this requirement. Staff notes that the proposed landscaped parking islands are slightly smaller in width and area (landscape islands are required to be a minimum of 9' wide and 162 sq. ft.) to ensure that parking remains compliant. The review comment response letter states that the applicant is requesting a modification through the PUD to allow for fewer and smaller parking islands on this lot.
6. The proposed landscape plan shows that Crabapples and Elms are proposed. Per the Landscape Ordinance, Crabapples and Elms identified as unacceptable trees. Staff requested that the applicant replace these two species of trees with the recommended trees provided in the ordinance.
7. Per the Landscape Ordinance, the applicant is required to provide parkway trees since the site is being modified more than 25%. The parkway trees would need to be spaced every 35' along La Grange Road. There are 4 existing parkway trees along the property's frontage. Staff requested that the applicant provide additional parkway trees to achieve compliance. The review comment response letter states that the applicant is requesting a modification for the parkway tree requirement as part of the Major Change to the PUD due to utilities and existing vegetation.
8. Staff finds that the "CC, AB, PA3, PA, HS, MP, RX, CH, and BG" plantings provided in the landscape setback does in fact meet the minimum quantity of planting units that are required to screen the parking lot from the right-of-way (required is 312 plant units, provided is 326 plant units). Staff notes that the said minimum quantity of planting units along La Grange Road is a requirement that is in addition to the following requirements: a 2.5' berm, menu board screening, parkway trees, and tree preservation mitigation (if applicable).

Lighting

1. A Photometric Plan has been provided illustrating 6 proposed light poles that are 23' in height, which complies with the required maximum height of 25' for light poles. For reference, staff notes that Sparks Coffee (Outlot 1E), the most recent development in Hickory Creek Marketplace, was approved to with 20' light pole heights. For consistency among the outlots, the applicant and commission may want to consider a maximum 20' pole height.
2. The Zoning Ordinance requires that the light pole base be a decorative light pole base. Staff requested that the applicant provided some architectural features to the proposed parking light pole bases to meet this requirement and match the light pole bases in the Hickory Creek Marketplace development.
3. The existing light pole fixtures within Hickory Creek Marketplace are painted white, with a "shoebox" style light fixture. The applicant is proposing downlit LED light poles that are in the color black (specification sheet is attached). Staff recommends that the light poles be painted in the color white to match the other light poles within the development.
4. In addition to the parking lot light poles, there would also be recessed can lights beneath the two free-standing canopies. Staff requested that the recessed can lights be included in the photometrics calculations. Per the review comment response letter, the applicant notes that it was not included in the parking lot statistics because it only provide illumination directly underneath the canopy.

5. The building elevations show that there are 5 light fixtures on the south elevation and 5 light fixtures on the west elevation (specification sheet is attached). Additionally, there is a flood light proposed on the roof of the building with the purpose of illuminating the proposed flagpole.
6. The Zoning Ordinance requires that the maximum illumination emitted from menu boards is 30 footcandles, 4 feet away from the menu board signs. The review comment response letter states that the applicant is requesting a modification for the menu board's maximum illumination requirement as part of the Major Change to the PUD since the canopy lights and menu board lights may be overlapping and the applicant would prefer to keep underneath the canopies illuminated for the safety of the employees that work in the drive-through area.
7. Per the Zoning Ordinance, the required maximum illumination at the property lines is 0.5 footcandles. The submitted photometric plan shows that the north, east, and south property lines are exceeding this requirement. The review comment response letter states that the applicant will comply with the 0.5 maximum footcandle requirement at the property lines.

Signage

1. In addition to sign regulations provided within the Sign Ordinance, signage for the Hickory Creek Marketplace Development is governed by Ord-1654, Exhibit E. Summarized, Ord-1654 states that wall signage for the subject property shall abide by the following:
 - a) Up to 2 wall signs are permitted
 - b) Logos are permitted
 - c) Up to 2 lines of text permitted
 - d) Wall signs may have up to 3 colors
 - e) Letters/symbols can't exceed 42" tall
 - f) Letter depth can't exceed 6"
 - g) Raceways are not permitted
 - h) Length of sign can't exceed 70% of the frontage
 - i) 25 SF of sign area per lineal foot of building frontage
 - j) Letter backs are 0.090 or greater
- 2) Staff requested confirmation that the applicant would comply with the tenant signage criteria listed in Ord-1654; the applicant would need to revise the letter backs to be 0.090 or greater and depict that the letter depth does not exceed 6". Additionally, the submitted signage shows that the proposed wall signs exceed the maximum allowable height which is 3.5' (the proposed wall signs depict 6' height). The review comment response letter states that the applicant is requesting a modification for the signs' height as part of the Major Change to the PUD.
- 3) Staff requested that the applicant remove sign E or sign D as only one of these sign locations (east or south elevation) since the Sign Ordinance only allows for up to 3 wall signs. Additionally, sign F would exceed the allowable quantity of wall signs per elevation.
- 4) Flagpoles are considered an exempt sign per the Sign Ordinance. Staff notes that the height of the proposed flagpole is 50'. Staff suggested that the applicant decrease the flagpole height to match the height of building. The review comment response letter states that the applicant will be decreasing the height of the flagpole to 25' tall.
- 5) The proposed menu boards are 8' height. The Sign Ordinance requires menu boards to be limited to 7' in overall height. Staff requested that the applicant decrease the height of the menu boards by one foot. The review comment response letter states that the applicant will be decreasing the height of the menu boards to 6' tall which complies with the 7' maximum height.

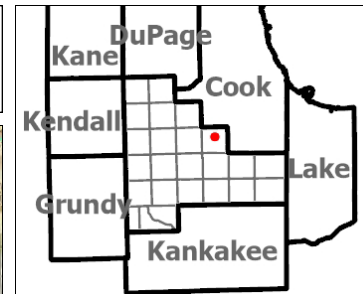
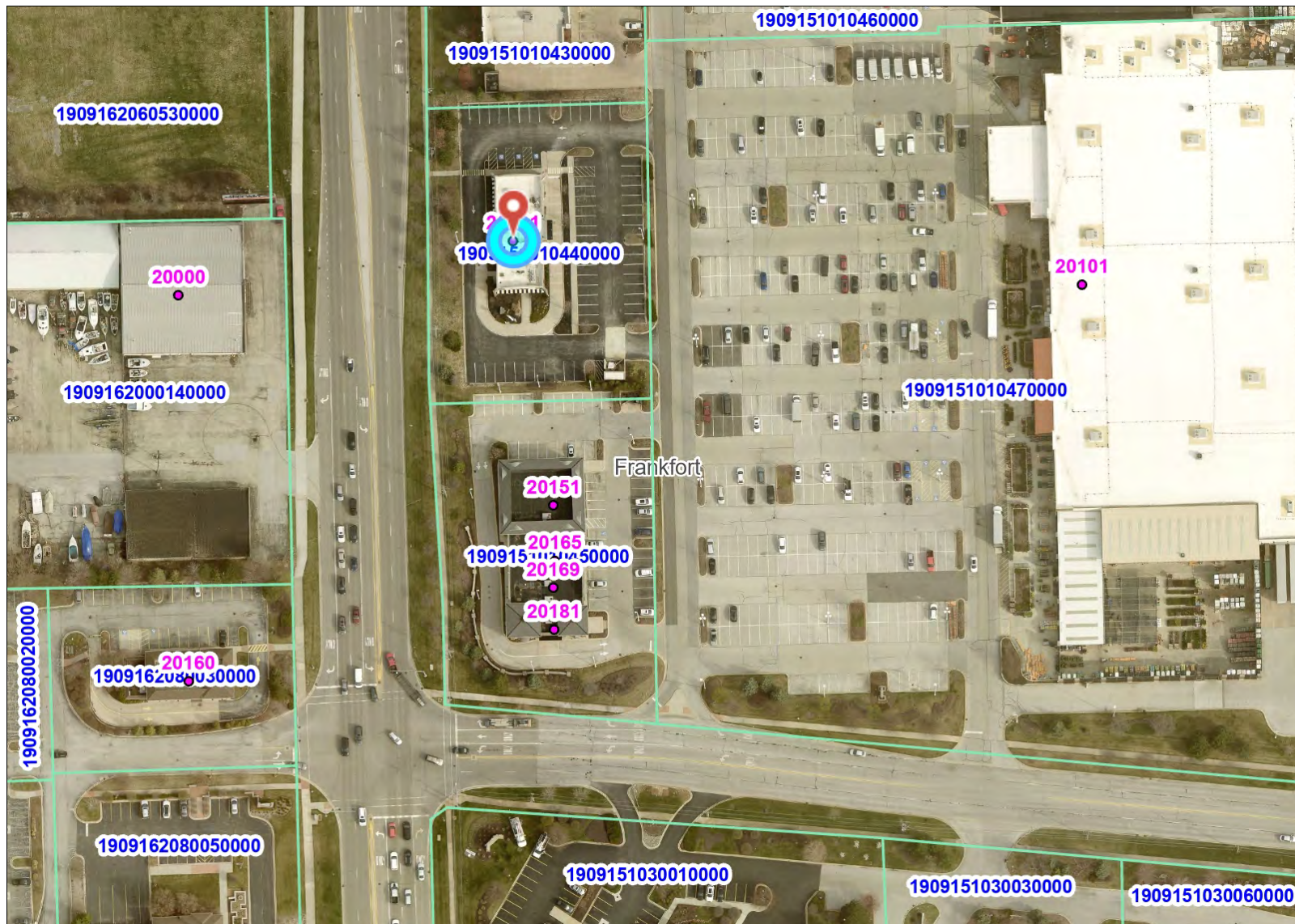
- 6) For aesthetics, staff suggested that the color of the drive-through clearance bar match the dark bronze color proposed on the principal building. The review comment response letter states that the applicant will be changing the color of the clearance bar to the dark bronze color.
- 7) For the window decals, it is required per the Sign Ordinance to limit the amount of information and limit the area of the sign to 25% of the total frontage window area. The proposed window decals cover more surface area of the glass than allowed.

Future Affirmative Motions

1. Recommend to the Village Board to approve the Major Change to the Hickory Creek Marketplace PUD for the redevelopment of Outlot 2B for a proposed Chick-Fil-A restaurant, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval.
2. Recommend the Village Board approve a Special Use Permit to allow a carry-out restaurant for the property located at 20091 S. La Grange Rd., in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval.
3. Recommend the Village Board approve a Special Use Permit to allow drive-up service windows associated with a permitted use for the property located at 20091 S. La Grange Rd., in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval.
4. Recommend the Village Board approve a Special Use Permit to allow outdoor seating associated with a permitted restaurant for the property located at 20091 S. La Grange Rd., in accordance with the reviewed plans, public testimony and Findings of Fact, conditioned on final engineering approval.
5. Recommend the Village Board approve a Special Use Permit to allow extended hours of operation for the property located at 20091 S. La Grange Rd., in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval.



20091 S. La Grange Rd.



Legend

- Address Points
- Parcels
- Townships

WGS_1984_Web_Mercator_Auxiliary_Sphere

0 0.04 0.1 Miles

1:2,257



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Notes



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Project Narrative

Site Summary

Chick-fil-A (CFA) is proposing to redevelop a 1.21-acre site located near the northeast corner of LaGrange Road and W. Saint Francis Road intersection in the Village of Frankfort. The site is more specifically located at the following address: 20091 LaGrange Road, Frankfort, IL 60423. The project site is currently occupied by an existing Steak n Shake restaurant with an associated parking lot. The existing building & parking lot will be demolished. CFA is proposing to construct a new single story 4,900 square foot free-standing restaurant, dual drive-thru facility with free-standing canopies, 47 stall parking lot, and associated utilities. The property is currently zoned B-3 (General Business District. Although operating hours have not yet been defined, many CFA restaurants are generally open Monday through Saturday, between 6:00 AM to 10:30 PM, closed on Sundays. CFA is anticipating that a total of 15-20 employees will be at the restaurant during the largest shift.

Lot Layout/Configuration

The CFA building has been situated on the south side of the site in order to achieve the following: provide the maximum number of parking stalls; provide a sufficiently long drive-thru lane to promote efficient restaurant operations; and to provide adequate visibility to the new store. Providing ample vision will be key to the success of the CFA restaurant as it will attract potential new customers that are traveling along the adjacent roadways. Positioning the building in this location & orientation allows an outdoor patio to be located on the west side of the building which will feature 6 tables for a total of 24 outdoor seats. An ornamental aluminum fence will be installed around the perimeter to create a barrier between the patio and the adjacent greenspace & drive-thru lane. The proposed site layout also provides direct pedestrian connectivity to the sidewalk along LaGrange Road. Pedestrian access will also be provided to the adjacent parking lot to the east.

The CFA parking lot will be located north of the building and will feature a total of 47 total spaces. The parking lot has been configured with one-way traffic flow on the west and east sides of the site at the entrance & exit of the drive-thru lane. Two-way traffic flow is proposed throughout the rest of the parking lot. The parking has been designed in this way in order to maximize circulation and minimize backups onto adjacent access drives. Access to the parking lot will be provided at the northeast corner of the property from the internal access drive along the east side of the site.

A sufficiently long CFA dual drive-thru lane is proposed to begin on the northwest corner of the CFA site. The drive-thru lane will then run along the west, south, and east sides of the site and ultimately exit near the northeast corner of the restaurant building. The drive-thru lane has been positioned in a way to create a separation between dine-in & drive-thru traffic in order to prevent congestion within the parking lot. CFA is proposing to install two free-standing canopies over the drive-thru lane: An order point canopy to be located just west of the CFA building; and an order meal delivery canopy to be located on the east side of the CFA building, over the pick-up window.



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CFA's drive-thru operation consists of two lanes of customer ordering and two lanes of meal fulfillment. This dual flex lane concept allows the restaurant operator to use the outer lane as either a second meal fulfillment lane or as a by-pass lane at their discretion to properly support the operational needs of his or her business. If/when the outer lane is not in use, a series of magnetic delineators will be used to merge cars back into one lane for meal fulfillment at the window. Providing the two full lanes gives the operator the most flexibility to service their guests effectively and efficiently. Additionally, Chick-fil-a has a philosophy of encouraging a team member forward drive-thru operation to provide a personal guest experience and increase overall efficiency. CFA has achieved this through incorporating the ability for team members to take meal orders & payment face-to-face prior to guests arriving at the meal fulfillment area and through team members executing outdoor meal delivery in the meal fulfillment area. Enhancements have also been made at the pick-up window through implementation of a drive thru door. The enhancement constitutes replacing the typical window with a multi-function door, that also can function as a window. The purpose of the drive thru door is to allow team members to stage more meals and beverages indoors while they are delivering meals outside, directly to vehicle windows. The door allows easier access to the meals without passing them through a small window. This change helps to create an efficient drive-thru operation and improve the overall guest experience. During non-peak times or periods of inclement weather, the door can be closed and will function as a standard pickup window. Innovative features such as these are what have earned Chick-fil-A best drive-thru in America for ten consecutive years as determined by a nationally recognized quick service authority. Out of all the quick service restaurants surveyed, Chick-fil-A scored the highest in order accuracy, friendliness of the order takers, and speed of service.

Deliveries to the site will occur both after operating hours via key drops and during non-peak hours of operating days. The semi-truck deliveries will be made overnight and would occur 1-2 times a week with the smaller box truck type deliveries occur daily.

A dual bin trash enclosure has been situated at the northeast corner of the site and will be constructed utilizing materials to compliment the principal building.

The Chick-fil-A site will be attractively landscaped to provide year-round interest and to meet the intent of the Village Code.

Signage

Signage for the CFA restaurant will be paramount and has been designed to notify potential customers that are approaching the site from multiple directions. In an effort to assist them in locating the restaurant, signage is proposed on all four elevations. Appropriate signage will be key to the success of the restaurant.



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Building Elevations

The Chick-fil-A building has been designed with a mixture of brick veneer, prefinished metal, and glass. The mechanical units for heating/cooling will be located on the roof and will be screened via a parapet wall to meet Village Code requirements. Accent light via wall sconces are proposed around the building to provide nighttime interest. The trash enclosure will incorporate the same colored brick veneer as the building to maintain consistency. The dumpsters inside of the enclosure will be screened from the front by durable double gates with prefinished plastic lumber (weathered wood).

The Chick-fil-A Story

It's a story that began when a man named Truett Cathy was born in 1921 in the small town of Eatonton, Georgia, about 80 miles from Atlanta, where he grew up. Truett's mom ran a boarding house, which meant she had to cook a lot of meals – but Truett helped, and he paid close attention, and picked up cooking and serving tips that would come in quite handy later. Along the way, he also learned to be quite the entrepreneur. He sold magazines door to door, delivered newspapers all over the neighborhood, and sold Coca-Colas from a stand in his front yard and all the while he was learning the importance of good customer service.

After serving his country in World War II, in 1946 Truett used the business experience he gained growing up and opened his first restaurant with his brother, Ben, calling it the Dwarf Grill (later renamed the Dwarf House). Hamburgers were on the menu but, ironically, no chicken because he said it took too long to cook. Truett worked hard with that first venture, but considered Sunday to be a day of rest, for himself and his employees and as you know, that's a practice that Chick-fil-A honors to this day.

The early 60s would be a pivotal time in Truett's life. That's when he first took a boneless breast of chicken and spent the next few years experimenting until he found the perfect mix of seasonings. He breaded and cooked the filet so that it stayed juicy, put it between two buttered buns and added two pickles for extra measure and in 1963 unveiled what we now know as the Chick-fil-A Chicken Sandwich. As far as the name, Truett says it just came to him. He had it registered that year in 1963 and created a logo that has been updated but is still very similar to the original designed 50 years ago.

The Chick-fil-A sandwich was a huge hit, and in 1967 Truett opened his first Chick-fil-A restaurant in an enclosed shopping mall where, up to that point, food normally wasn't sold. Frankly, the developer of the Greenbriar Shopping Center in Atlanta wasn't too keen on serving food inside his mall, but as we know that turned out to be a very smart decision on his part, and especially Truett's. Today, Truett is recognized as the pioneer in quick-service mall food. It wasn't until 1986 that Chick-fil-A opened its first "freestanding" restaurant on North Druid Hills Road in Atlanta. Today there are over 2,300 restaurants locations in 47 states.



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Chick-fil-A is now the largest quick-service chicken restaurant and one of the largest that's privately-held. Three generations of Cathy family members are involved in the business, including Truett's sons Dan (the president and CEO) and Bubba (senior VP) and also, his grandchildren.

Our Food

There are a lot of things people say they like about Chick-fil-A, but it all begins with the food, and especially the Original Chick-fil-A Chicken Sandwich. It was a significant product innovation, and it remains our best-selling item on the menu. Our innovations didn't stop with the chicken sandwich. In 1982, we were the first restaurant to sell chicken nuggets nationally, and three years later added our trademark Waffle Potato Fries to the menu, and we still use 100% fully refined peanut oil, which is cholesterol and trans fat free. In 2010, we introduced the Chick-fil-A Spicy Chicken Sandwich. With its special blend of peppers and other seasonings, it became such a "hot" selling item that we soon after introduced the Spicy Chicken Biscuit. More recently and within the last couple years we introduced to our menu a new grilled chicken sandwich and grilled chicken nuggets along with the most recent addition of mac & cheese. People also like the fact that we offer a variety of menu options for those wanting foods that are lower in calories, carbs or fats, such as the Chick-fil-A Chargrilled Chicken Sandwich, entrée salads and fruit cups and by the way, fruit cups are an option with our kid's meals these days. In fact, Men's Health magazine named us "America's Healthiest Chain Restaurant for Kids." The high quality of our food is the number one reason people keep coming back to Chick-fil-A but there are a few more reasons – and one has four legs and is a terrible speller.

Serving our Customers

Whenever you ask people what they like about Chick-fil-A, one of first things they say is "the service" and it's an important part of our story, because it goes back to Truett's experience as a young businessman and to the values he instilled in Chick-fil-A. We call it Second Mile Service, and it's based on the belief that if someone asks you to carry something for them one mile, you do one better and carry it for them two. Its doing those unexpected things that make people feel special. Our drive-thru has been voted "America's #1 drive-thru" for six years in a row. We do our best to ensure a quick and pleasurable experience, and might even have a nugget for the family pet when you arrive at the window. But no matter if you're being served in our restaurants, at our drive-thrus, or with an outside delivery, you can always count on our team members responding to your words of thanks with two special words of their own – "My pleasure."

Chick-fil-A Philosophy & Operator/Employment Model

The Company's philosophy is that their restaurants become integral parts of the communities in which they are located. Chick-fil-A makes scholarships available to store employees and sponsors the Winshape Foundation which supports a family of programs designed to encourage outstanding young people nationwide. The Foundation has a college program and operates a series of camps, homes, and retreats. On the local level, individual restaurant operators typically engage in community support activities such as sponsoring youth sports teams, supporting educational activities, and leadership initiatives. Finally, and in accordance with company policy, the operators and employees in each Chick fil A Restaurant strive for a level of customer service unequaled in the



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quick-service food industry. It is quite common to go into a Chick-fil-A and have your tray carried to your table, have people clear your table, and ask if they can come and refresh your beverage.

Beyond the above, Chick-fil-A's operator's model is very unique in the fast food industry. In their situation, the operator is part owner with Chick-fil-A. It's similar to a franchise except they usually have one location. Sometimes they have two but for the most part they have one location and what that provides is a situation where they have very competent partners with great character in the restaurants who are deeply involved in the community. What Chick-fil-A likes to say is that their operators are in business for themselves, but not by themselves. It is very unusual for an operator to shut down and the retention rate for operators is about 98%. A typical Chick-fil-A store will employ approximately 60 - 80 jobs with approximately 120 jobs created for temporary construction employment. A typical store will operate between the hours of 6:30am to 10:00pm; Monday thru Saturday and are always closed on Sundays.

SITE PHOTOGRAPHS TAKEN 5.17.24

Chocolate wire cut brick compared to the Town Center Bank building:



Chocolate wire cut brick compared to the AutoZone building:



Chocolate wire cut brick compared to the Home Depot building:



Chocolate wire cut brick compared to the Emagine Theater building:



Chocolate wire cut brick compared to the existing Steak n Shake building:



Existing light poles/fixtures:







Existing Steak n Shake drive through window/lane:







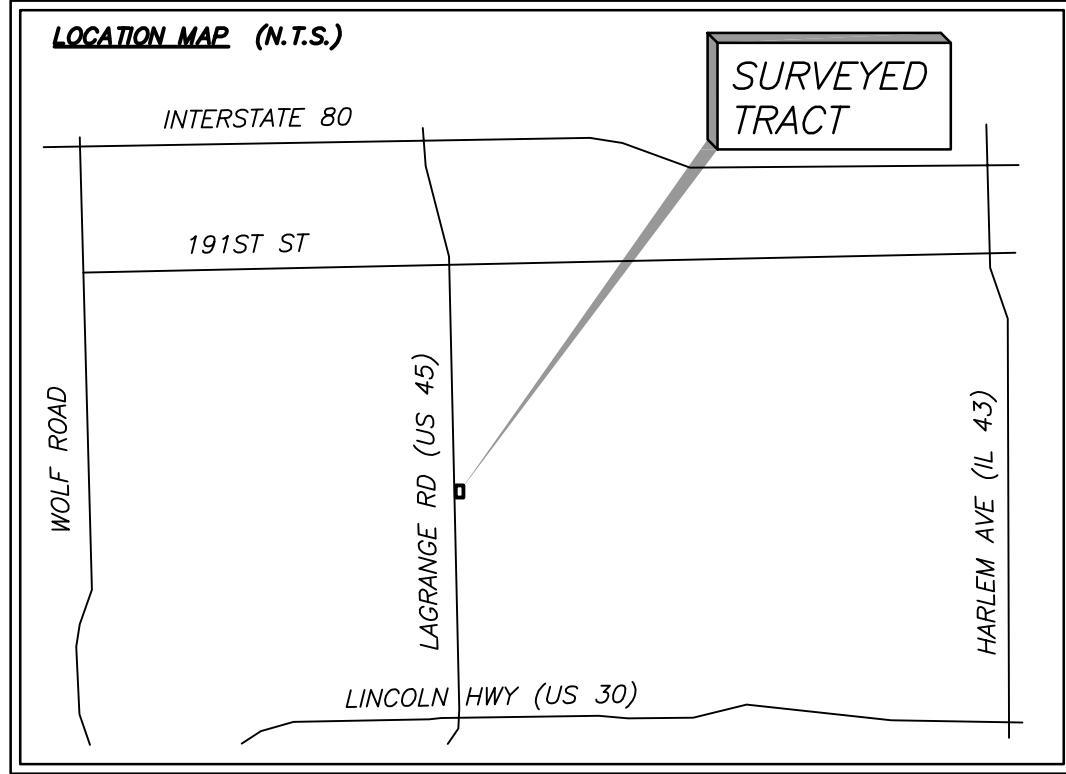


Existing Steak n Shake trash enclosure:





ALTA/NSPS LAND TITLE SURVEY



SITE BENCHMARKS

DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

SOURCE BENCHMARK (NOT GRAPHICALLY SHOWN HEREON)
FRANKFORT MONUMENT 921
ELEVATION = 712.472 (NAVD 88)

SITE BENCHMARK #1 (SBM #1):
SOUTHEAST ARROW BOLT ON UPPER FLANGE OF HYDRANT LOCATED
APPROXIMATELY 68 FEET EAST OF THE SOUTHEAST CORNER OF "AUTO
ZONE" BUILDING.
ELEVATION = 702.61 (NAVD 88)

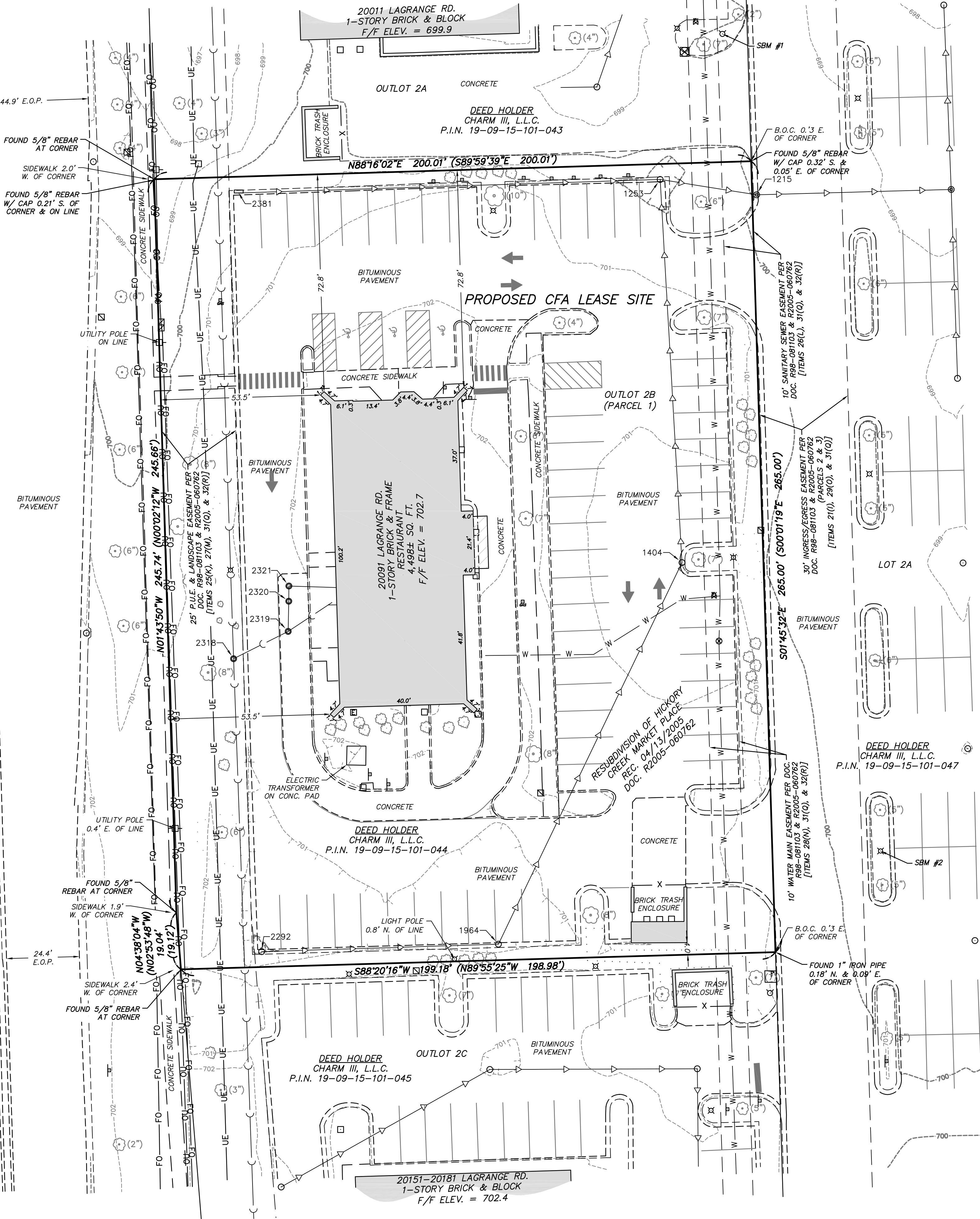
SITE BENCHMARK #2 (SBM #2):
NORTHWEST BOLT ON LIGHT POLE BASE LOCATED APPROXIMATELY 50
FEET NORTHEAST OF THE SOUTHEAST CORNER OF THE SURVEYED TRACT.
ELEVATION = 703.03 (NAVD 88)

UTILITY STRUCTURES	
1215	STORM MANHOLE RIM: 690.56 INV W: 694.96 (15" RCP) INV E: 693.56 (18" RCP)
1253	STORM CATCH BASIN RIM: 699.46 INV W: 695.41 (12" RCP) INV S: 695.11 (12" RCP) INV E: 695.41 (15" RCP) SUMP: 692.66
1404	STORM CATCH BASIN RIM: 700.01 INV SW: 696.76 (12" RCP) INV N: 696.76 (12" RCP) SUMP: 694.61
1964	STORM CATCH BASIN RIM: 700.34 INV W: 696.34 (12" RCP) INV NE: 696.34 (12" RCP) SUMP: 693.54
2292	STORM CATCH BASIN RIM: 699.84 INV E: 696.59 (12" RCP) SUMP: 694.74
2318	SANITARY MANHOLE W/ INTERNAL DROP RIM: 701.85 INV NE: 695.9± (6" PVC) INV NE: 682.9± (6" PVC) INV N: 682.05 (12" PVC) INV S: 681.95 (12" PVC)
2319	SANITARY MANHOLE RIM: 701.78 INV N: 697.23 (6" PVC) INV NE: 697.23 (6" PVC) INV SW: 697.18 (6" PVC)
2320	GREASE TRAP RIM: 701.77 INV S: 697.27 (6" PVC)
2321	GREASE TRAP RIM: 701.82 INV E: 697.32 (6" PVC)
2381	STORM INLET RIM: 700.36 INV E: 695.66 (12" RCP)

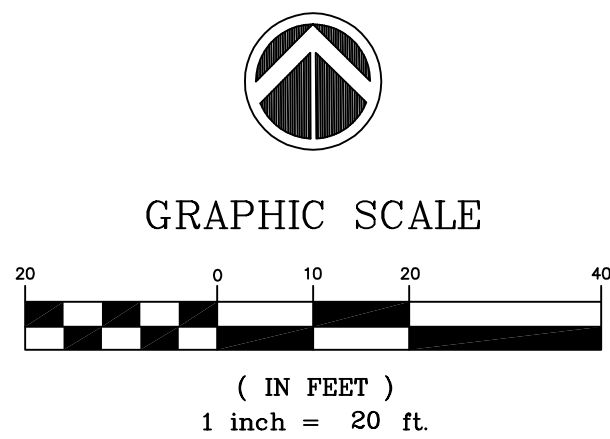
- NO DISTANCE SHOULD BE ASSUMED BY SCALING.
- NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED UNLESS SHOWN AND NOTED.
- NO REPRESENTATION AS TO OWNERSHIP, USE, OR POSSESSION SHOULD BE HEREON IMPLIED.
- DIMENSIONS ARE IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.
- DIMENSIONS ALONG CURVES ARE ARC DISTANCES UNLESS OTHERWISE NOTED.
- FIELD WORK FOR THIS SURVEY WAS COMPLETED ON: 04/04/24
- THIS SURVEY WAS PERFORMED FOR:
Chick-fil-A, Inc., a Georgia corporation
- COMPARE YOUR DESCRIPTION AND SITE MARKINGS WITH THIS PLAT AND AT ONCE REPORT ANY DISCREPANCIES WHICH YOU MAY FIND.

LAGRANGE ROAD (U.S. ROUTE 45)
VARIABLE WIDTH PUBLIC RIGHT-OF-WAY

BITUMINOUS PAVEMENT



LEGEND	
ELECTRIC METER	—
ELECTRIC UTILITY BOX	—
GAS VALVE	—
SIGN	—
STORM MANHOLE	—
STORM CATCH BASIN	—
STORM INLET	—
SANITARY MANHOLE	—
BOLLARD	—
LIGHT POLE	—
UTILITY HANDHOLE	—
FIRE HYDRANT	—
WATER VALVE BOX	—
DECIDUOUS TREE	—
CONIFEROUS TREE	—
BUSH	—
SHRUB LINE	—
OVERHEAD UTILITY LINE	—
UNDERGROUND ELECTRIC	—
UNDERGROUND GAS	—
UNDERGROUND FIBER	—
UNDERGROUND WATER	—
UNDERGROUND STORM	—
UNDERGROUND SANITARY	—
FENCE	—
BUILDING	—
BUILDING OVERHANG	—
RECORD DATA	(XXX.XX')
RIGHT OF WAY	R.O.W.
BACK OF CURB	B.O.C.
FINISHED FLOOR	F/F
PUBLIC UTILITY EASEMENT	P.U.E.



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

REVIEWS	BY:	DATE:
1		
2		
3		
4		
5		
6		

ALTA/NSPS
LAND TITLE SURVEY

CHICK-FILA
VILLAGE OF FRANKFORT,
WILL COUNTY, ILLINOIS

Illinois Professional Design Firm # 184-001322

323 Alana Drive,
New Lenox, Illinois 60451
t. 815.462.9324 f. 815.462.9328
www.hrgreen.com

STORE #05669
20091 LAGRANGE RD.
FRANKFORT, IL 60423

FRANKFORT (IL) FSU

SHEET TITLE

DWG EDITION PRELIM
REVISION

Job No.: 2302964
Store : 05669
Date : 04/08/24
Drawn By : NAB
Checked By: MD

Sheet
1 OF 2

ALTA/NSPS LAND TITLE SURVEY

LEGAL DESCRIPTION PER TITLE COMMITMENT NUMBER CCH2303544LI

PARCEL 1:
OUTLOT 2B IN THE RESUBDIVISION OF HICKORY CREEK MARKET PLACE SUBDIVISION, BEING A SUBDIVISION OF LOT 2, AND OUTLOTS 2A, 2B AND 2C IN HICKORY CREEK MARKET PLACE BEING A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 15, 1998 AS DOCUMENT NO. R98-81103, IN WILL COUNTY, ILLINOIS.

PARCEL 2:
EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL 1 AS CONTAINED IN THE PLAT OF HICKORY CREEK MARKET PLACE SUBDIVISION RECORDED AS DOCUMENT NO. R98-081103.

PARCEL 3:
EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL 1 AS CONTAIN IN THE PLAT OF RESUBDIVISION OF HICKORY CREEK MARKET PLACE RECORDED AS DOCUMENT NO. R2005-060762.

PARCEL 4:
NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS SET FORTH IN THE RESTRICTION AGREEMENT AND GRANT OF EASEMENT RECORDED MAY 04, 2005 AS DOCUMENT NO. R2005073604.

PARCEL 5:
NON-EXCLUSIVE EASEMENTS FOR THE BENEFIT OF PARCEL 1 AS SET FORTH IN RECIPROCAL EASEMENT AGREEMENT RECORDED OCTOBER 27, 1997 AS DOCUMENT NO. R97-094266.

PARCEL 6:
NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 CONTAINED IN DECLARATION OF DRAINAGE EASEMENT RECORDED AUGUST 27, 1998 AS DOCUMENT NO. R98-100592 AND AMENDED AND RESTATED BY DECLARATION RECORDED OCTOBER 27, 1998 AS DOCUMENT NO. R98-127559 AND RE-RECORDED AS DOCUMENT NO. R99-106919.

LAND AREA = 52,986± SQUARE FEET OR 1.216± ACRES

TABLE A ITEM NOTES

ITEMS REFERRED TO HEREON PER TABLE A – OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS FROM 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS.

ITEM 1: MONUMENTS ARE SHOWN HEREON.
ITEM 2: ADDRESSES OF THE SURVEYED TRACT OBSERVED BY THE SURVEYOR ARE SHOWN HEREON.
ITEM 3: FLOOD ZONE DESIGNATION IS NOTED HEREON.
ITEM 4: TOTAL GROSS LAND AREA IS SHOWN HEREON.
ITEM 6B: CURRENT ZONING CLASSIFICATION IS B-3, GENERAL BUSINESS DISTRICT, PER VILLAGE OF FRANKFORT ZONING MAP. BUILDING SETBACK REQUIREMENTS NOTED HEREON PER VILLAGE OF ZONING ORDINANCE ARTICLE 6 SECTION C.
ITEM 7A: EXTERIOR DIMENSIONS OF BUILDINGS ON THE SURVEYED TRACT OBSERVED AT THE TIME OF THE FIELDWORK ARE SHOWN HEREON.
ITEM 7B(1): SQUARE FOOTAGE OF BUILDINGS ON THE SURVEYED TRACT OBSERVED AT THE TIME OF THE FIELDWORK IS SHOWN HEREON.
ITEM 8: SUBSTANTIAL VISIBLE IMPROVEMENTS WITHIN THE TOPOGRAPHIC SURVEY LIMITS AS OBSERVED AT THE TIME OF THE FIELDWORK ARE SHOWN HEREON.
ITEM 9: STRIPING, NUMBER AND TYPE OF CLEARLY IDENTIFIABLE PARKING SPACES OBSERVED AT THE TIME OF THE FIELDWORK ARE SHOWN HEREON. SURVEYED TRACT CONTAINS 59 REGULAR SPACES AND 3 DISABLED SPACES.
ITEM 11A: UTILITIES BASED ON VISIBLE ABOVE GROUND EVIDENCE OBSERVED AT THE TIME OF THE FIELDWORK ARE SHOWN HEREON.
ITEM 13: NAMES OF ADJOINING OWNERS OF PLATTED LANDS ARE SHOWN HEREON PER WILL COUNTY GIS VIEWER.
ITEM 16: NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WAS OBSERVED AT THE TIME OF THE FIELDWORK.
ITEM 17: NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED AT THE TIME OF THE FIELDWORK.
ITEM 19: PROFESSIONAL LIABILITY INSURANCE INFORMATION AVAILABLE UPON REQUEST.
ITEM 20: NO EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL WAS OBSERVED AT THE TIME OF THE FIELDWORK.

FLOOD ZONE NOTE

SURVEYED TRACT LIES WITHIN ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FIRM MAP NUMBER 17197C0213G, BEARING AN EFFECTIVE DATE OF FEBRUARY 15, 2019.

ZONING TABLE			
B-3 – GENERAL BUSINESS DISTRICT			
B-3	ZONE		
BUSINESS	USE		
10 ACRES	AREA (MINIMUM)		
100 FEET	LOT SIZE	WIDTH (MINIMUM)	
30 FEET	REAR		
15 FEET	SIDE		
50 FEET	FRONT		
N/A	FLOOR AREA RATIO		
70%	LOT COVERAGE		
35 FEET	MAXIMUM BUILDING HEIGHT		

ADDITIONAL NOTES

- ALL BEARINGS SHOWN HEREON REFERENCE THE ILLINOIS STATE PLANE COORDINATE SYSTEM – EAST ZONE (NAD83-2011).
- THE LOCATION OF UTILITIES SHOWN HEREON ARE BASED UPON VISIBLE ABOVE GROUND EVIDENCE AND FLAGS AND/OR MARKINGS BY OTHERS AS OBSERVED ON 04/04/2023 IN RESPONSE TO JULIE LOCATE TICKET A240962588. ADDITIONAL UTILITIES MAY EXIST WHICH THE SURVEYOR IS UNAWARE OF AND THEREFORE NOT SHOWN ON THIS SURVEY.
- SURVEYED TRACT TAX IDENTIFICATION NUMBERS ARE SHOWN HEREON.
- MATTERS SHOWN ON RECORDED PLATS PROVIDED TO THE SURVEYOR ARE SHOWN ON THE SURVEY.
- THE LAND DESCRIBED IN THE SURVEY IS THE SAME AS THE LAND DESCRIBED IN CHICAGO TITLE INSURANCE COMPANY TITLE COMMITMENT NUMBER CCH2303544LI, BEARING AN EFFECTIVE DATE OF FEBRUARY 29, 2024.
- SURVEYED TRACT HAS INDIRECT ACCESS TO THE PUBLIC RIGHT OF WAY FOR LAGRANGE ROAD (U.S. ROUTE 45) AND ST. FRANCIS ROAD VIA AN INGRESS/EGRESS EASEMENT PER DOC. R2005-060762.
- THE SURVEYED TRACT IS CONTIGUOUS TO THE RIGHT OF WAY OF LAGRANGE ROAD (U.S. ROUTE 45) WITH NO GAPS, GORES, HIATUS OR OVERLAPS.
- POTENTIAL ENCROACHMENTS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK ARE SHOWN HEREON.
- NO VISIBLE EVIDENCE OF SITE BEING USED AS A BURIAL GROUND OR CEMETERY WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

SURVEYOR'S CERTIFICATE

TO: CHICK-FIL-A, INC., A GEORGIA CORPORATION
CHARM III, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY
CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6B, 7A, 7B(1), 8, 9, 11A, 13, 16, 17, 19, AND 20 OF TABLE A THEREOF.
THE FIELDWORK WAS COMPLETED ON 04/04/2023.
DATE: 04/08/2024

PRELIMINARY

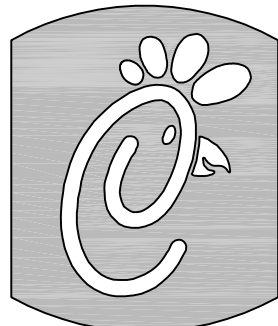
NEAL A. BALLAH, PLS
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 4025
EMAIL: NBALLAH@HARGREEN.COM
LICENSE EXPIRATION DATE: 11/30/2024

SUMMARY PER TITLE COMMITMENT

THIS SURVEY IS BASED, IN PART, ON COMMITMENT FOR TITLE INSURANCE BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NUMBER CCH2303544LI, BEARING AN EFFECTIVE DATE OF FEBRUARY 29, 2024.

NOTES CORRESPONDING TO SCHEDULE B, PART I ITEMS

- ITEMS 1-20 ARE NOT SURVEY RELATED.
21. (I) Terms, provisions, and conditions relating to the easement described as Parcel 2 thru 6 contained in the instrument creating said easement. Rights of the adjoining owner or owners to the concurrent use of said easement.
22. (G) Terms and conditions contained in annexation agreement dated September 8, 1997 and recorded October 17, 1997 as document no. R97-91549 relating to subdivision improvements, road improvements, extensions of water and sewer mains, detention facilities, landscaping requirements, sign requirements, etc.
- ITEM INCLUDES THE SURVEYED TRACT. ITEM IS NOT SURVEY RELATED.
23. (H) Covenants and restrictions (but omitting any such covenant or restriction based on race, color, religion, sex, handicap, familial status or national origin unless and only to the extent that said covenant (a) is exempt under chapter 42, section 3607 of the United States Code or (b) relates to handicap but does not discriminate against handicapped persons), relating to easements, building restrictions, maintenance, signs, etc. Contained in the reciprocal easement agreement made by and between State Bank of countryside, as trustee under trust agreement dated January 16, 1995 and known as trust number 95-1923 and Dominick's Realty Trust 1997, recorded October 27, 1997 as document no. R97-94266 which does not contain a reversionary or forfeiture clause. Along with the rights of the adjoining owner or owners to the concurrent use of said easement. First Amendment recorded May 4, 2005 as document no. R2005-73603. Second Amendment recorded December 5, 2006 as document no. R2006-201080.
- ITEM INCLUDES THE SURVEYED TRACT. ITEM INCLUDES EASEMENTS THAT ARE BLANKET IN NATURE AND THEREFORE NOT PLOTTABLE.
24. (J) Covenants, conditions, restrictions and easements but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, relating in part to association, assessment and lien therefor, as set forth in the document set forth below, as amended from time to time recorded on May 4, 2005 as recording no. R2005-073604. First Amendment recorded on December 13, 2007 as Document No. R2007-177095.
- ITEM INCLUDES THE SURVEYED TRACT. ITEM INCLUDES EASEMENTS THAT ARE BLANKET IN NATURE AND THEREFORE NOT PLOTTABLE.
25. (K) Easement for public utility, and the easement provisions and grantees as set forth on the Plat of Hickory Creek Market Place Subdivision recorded July 15, 1998 as document no. R98-81103, over the following: 25 feet along the west line of Outlot 2b.
- EASEMENT IS ON THE SURVEYED TRACT AND IS SHOWN HEREON.
26. (L) Easement for sanitary sewer, and the easement provisions and grantees as set forth on the Plat of Hickory Creek Market Place Subdivision recorded July 15, 1998 as document no. R98-81103, over the following: 10 feet along the East line of Outlot 2b.
- EASEMENT IS ON THE SURVEYED TRACT AND IS SHOWN HEREON.
27. (M) Easements for public utilities as contained on Plat of Hickory Creek Market Place Subdivision recorded July 15, 1998 as document no. R98-81103 no. as shown on the survey executed by Manhard consulting LTD. Dated July 14, 2008.
- EASEMENT IS ON THE SURVEYED TRACT AND IS SHOWN HEREON.
28. (N) Easement for water main as contained on plat of Hickory Creek Market Place Subdivision recorded July 15, 1998 as document no. R98-81103 as shown on the survey executed by Manhard consulting LTD. dated July 14, 2008.
- EASEMENT IS ON THE SURVEYED TRACT AND IS SHOWN HEREON.
29. (O) Access restriction found on Hickory Creek Place Subdivision that direct access from Outlets 2B Route 45 is prohibited. The only access to Route 45 shall be via the 100 feet wide ingress and egress easement located in the south 50 feet of approximately the West 467 feet of Lot 1a and the North 50 feet of approximately the North 50 feet of approximately the West 467 feet of Lot 2
- INGRESS/EGRESS EASEMENT LIES ADJACENT TO THE SURVEYED TRACT AND IS SHOWN HEREON.
30. (P) Covenants and restrictions contained in declaration of Drainage Easement recorded August 27, 1998 as document no. R98-100592 and amended and restated by declaration recorded October 27, 1998 as document no. R98-127559 and re-recorded as document no. R99-106919 relating to among other things drainage facilities and maintenance of same and the terms and provisions contained therein.
- ITEM INCLUDES THE SURVEYED TRACT. EASEMENT IS BLANKET IN NATURE AND THEREFORE NOT PLOTTABLE.
31. (Q) Easements as shown on Plat of Resubdivision of Hickory Creek Market Place recorded April 13, 2005 as document no. R2005-060762 as as shown on the survey executed by Manhard Consulting LTD. Dated July 14, 2008 as follows: a 10 foot sanitary sewer easement along the easterly 10 feet; a water main easement along the Easterly 10 feet; a 25 foot landscape easement affecting the Westerly 25 feet; a 30 foot ingress and egress easement running along the Easterly boundary of the subject land.
- EASEMENTS ARE ON THE SURVEYED TRACT AND ARE SHOWN HEREON.
32. (R) Easements as shown on Plat of Resubdivision of Hickory Creek Market Place recorded April 13, 2005 as document no. R2005 060762 granted to Commonwealth Edison Company, Ameritech Illinois aka Illinois Bell Telephone, Northern Illinois Gas Company and the Village of Frankfort to install, maintain, repair and replace their equipment together with right of access thereto and the terms and provisions contained therein as shown on the survey executed by Manhard Consulting LTD. dated July 14, 2008.
- EASEMENTS ARE ON THE SURVEYED TRACT AND ARE SHOWN HEREON.
- 33-35 ITEMS 33-35 ARE NOT SURVEY RELATED.



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

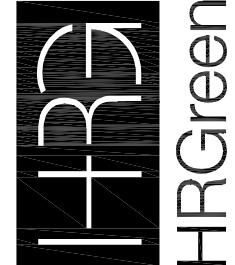
REVISIONS

BY:	DATE:	1	2	3	4	5	6

ALTA/NSPS
LAND TITLE SURVEY
CHICK-FIL-A
VILLAGE OF FRANKFORT,
WILL COUNTY, ILLINOIS

Illinois Professional Design Firm # 184-001322

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FRANKFORT, IL 60423

FRANKFORT (IL) FSU

SHEET TITLE

DWG EDITION PRELIM
REVISION

Job No. : 2302964

Store : 05669

Date : 04/08/24

Drawn By : NAB

Checked By: MD

Sheet

2 OF 2

R-# REMOVAL TAGS		
REMOVALS / RELOCATES / ADJUSTMENTS		
NUMBER		REMARKS
R-1	BUILDING AND FOUNDATION	REMOVE
R-2	BITUMINOUS PAVEMENT	REMOVE
R-3	CONCRETE SIDEWALK	REMOVE
R-4	CONCRETE PAVEMENT	REMOVE
R-5	CONCRETE CURB & GUTTER	REMOVE
R-6	TRASH ENCLOSURE & STORAGE ROOM	REMOVE
R-7	FENCE/GATE	REMOVE
R-8	LIGHT POLE	REMOVE
R-9	SIGN	REMOVE
R-10	BOLLARD	REMOVE
R-11	CONCRETE CURB	REMOVE
R-12	TREE	REMOVE
R-13	SHRUB/VEGETATION	REMOVE
R-14	TRANSFORMER & PAD	REMOVE (COORDINATE W/ UTILITY COMPANY)
R-15	ELECTRIC METER & SERVICE LINE	REMOVE (COORDINATE W/ UTILITY COMPANY)
R-16	GAS METER & SERVICE LINE	REMOVE
R-17	WATER SERVICE LINE	REMOVE
R-18	WATER VALVE	REMOVE
R-19	GREASE TRAP	REMOVE
R-20	SANITARY STRUCTURE	REMOVE
R-21	SANITARY SERVICE LINE	REMOVE
R-22	STORM SEWER	REMOVE
R-23	STORM STRUCTURE	REMOVE
R-24	VEGETATION LINE	REMOVE
R-25	TELEPHONE HANDHOLE	REMOVE
A-1	WATER VALVE VAULT	ADJUST RIM TO FG
A-2	SANITARY MANHOLE	ADJUST RIM TO FG

TRAFFIC CONTROL NOTES:

- ALL APPLICABLE VILLAGE PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN VILLAGE ROW OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE VILLAGE.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.

LEGEND

- INDICATES FULL DEPTH SAWCUT
- INDICATES CONC./SIDEWALK REMOVAL (FULL DEPTH)
- INDICATES BIT./ASPHALT REMOVAL (FULL DEPTH)
- INDICATES BUILDING & FOUNDATION REMOVAL
- INDICATES MISC. REMOVAL ITEMS (SEE THIS SHEET FOR SIZE AND QUANTITY)
- INDICATES EXIST. CONCRETE CURB & GUTTER AND WALL REMOVAL
- INDICATES UTILITIES TO BE REMOVED
- INDICATES TREE AND BRUSH REMOVAL (SEE LANDSCAPING PLANS FOR SIZE AND QUANTITY)
- INDICATES TREE AND BRUSH PROTECTION (SEE LANDSCAPING PLANS FOR SIZE AND QUANTITY)

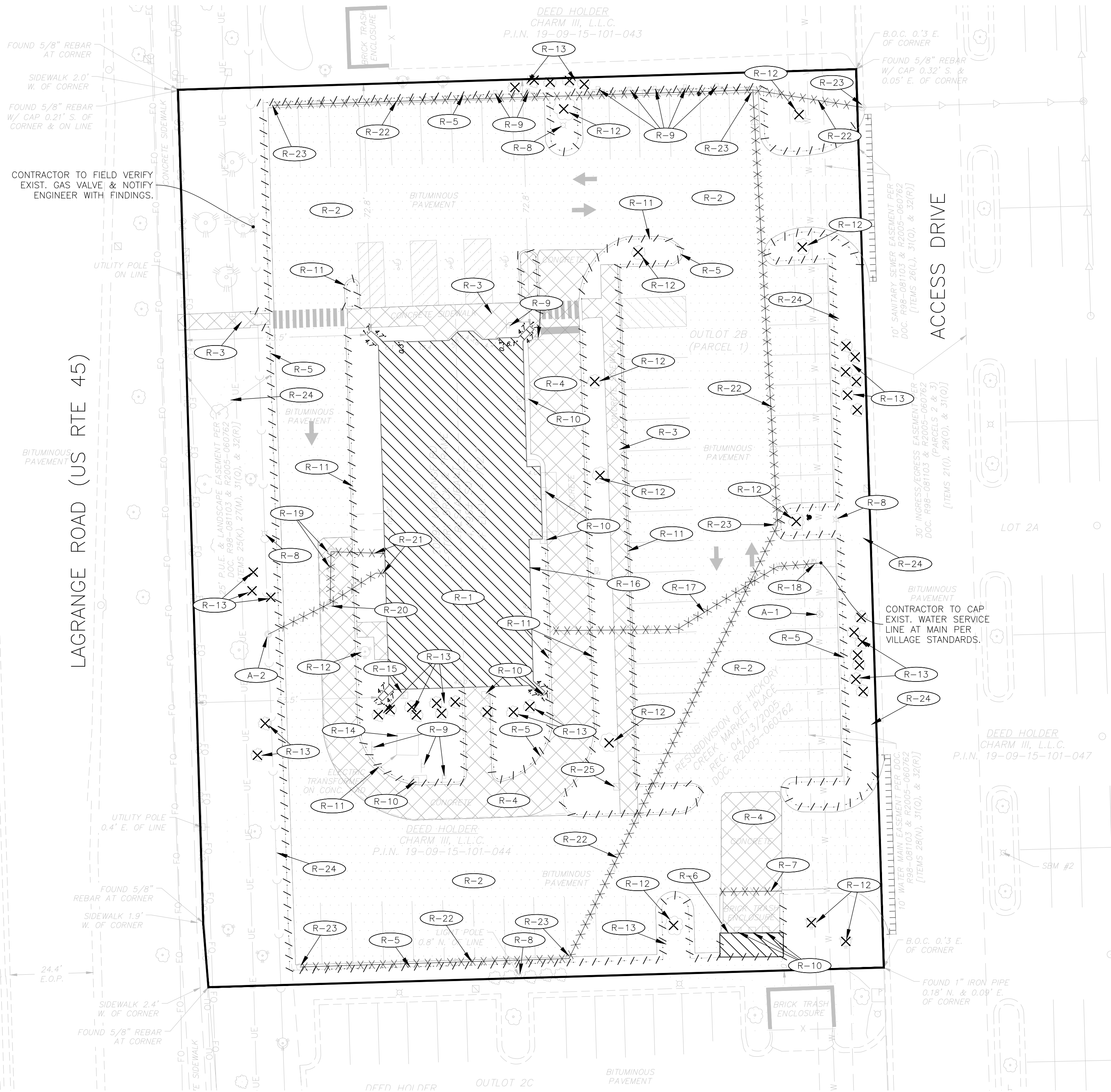
STAGING NOTES:

(STAGING SUBJECT TO CHANGES PER SITE CONTRACTORS SCHEDULE AND METHODS OF OPERATION)

- EROSION CONTROL MEASURES AND STOCKPILE STAGING
- CONSTRUCTION ENTRANCES
- PLAN REMOVALS
- PROPOSED UNDERGROUND
- GRADING
- PAVING

PROJECT NOTES:

- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES, IN ADDITION TO, NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED. (INCLUDING STORM WATER POLLUTION PREVENTION PLAN PER THE DEVELOPMENT CRITERIA.) SEE SHEET C-302 FOR EROSION CONTROL MEASURES)
- ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
- ALL STRUCTURES & DEBRIS SHALL BE REMOVED PRIOR TO CONSTRUCTION & DISPOSED OF OFFSITE.
- ANY EXISTING FIELD DRAIN TILES ENCOUNTERED SHALL BE RECONNECTED OR CONNECTED TO THE NEAREST STORM SEWER.
- CONTRACTOR TO KEEP ACCESS DRIVE OPEN AT ALL TIMES WITH MINOR CLOSINGS ALLOWED FOR PAVING ACTIVITIES.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL BITUMINOUS PAVEMENT REMOVAL AREAS SHALL BE SAWCUT.
- CONTRACTOR SHALL INSTALL CONSTRUCTION FENCING AND SIGNAGE AROUND CONSTRUCTION BOUNDARIES TO PROTECT PEDESTRIANS.



0 20'
1" = 20'

BAR IS ONE INCH ON
OFFICIAL DRAWINGS
0 1"
IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY

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SHEET
DEMOLITION PLAN

SHEET NUMBER
C-100

1A DIRECTIONAL ARROW (C-400)

1B PAINTED HANDICAP PARKING SYMBOL (C-400)

2A DRIVE-THRU GRAPHICS (C-400)

2B STOP BAR GRAPHIC (C-400)

3 CROSSWALK MARKINGS (C-400)

4 MULTI-LANE DIRECTIONAL GRAPHICS (C-400)

5 STANDARD OR HANDICAP PARKING STALL PER CODE (C-400)

5A 4" SOLID WHITE STRIPING

5B 4" SOLID YELLOW STRIPING

6 4" SKIP DASH YELLOW STRIPING

6 SOLID PLASTIC WHEEL STOP (C-400)

7 BOLLARD MOUNTED SIGN (C-400)

8 CURB RAMP w/ SHORT FLARED SIDES (GRASSED AREAS) (C-400)

9 CURB RAMP w/ FLARED SIDES (IN SIDEWALK) (C-400)

10 RETURNED CURB HANDICAP RAMP (C-400)

11 SIDEWALK ACCESSIBLE RAMP (C-401)

12 DETECTABLE WARNING DEVICE (C-401)

13 TYPICAL ADA RAMP & HANDRAIL (C-401)

14 CONCRETE SIDEWALK (C-401)

15 CONCRETE SIDEWALK w/ CURB & GUTTER (C-401)

16 ENTRY DOOR FROST SLAB DETAIL (C-401)

17 CONCRETE BOLLARD (C-401)

18 CONCRETE CURB & GUTTER (C-401)

18A SPILLING CURB & GUTTER

18B CATCHING CURB & GUTTER

18C DEPRESSED SPILLING CURB & GUTTER

18D DEPRESSED CATCHING CURB & GUTTER

18E SPILLING GUTTER SECTION AT ACCESSIBLE RAMP

18F CATCHING GUTTER SECTION AT ACCESSIBLE RAMP

18G MOUNTABLE CURB & GUTTER

19 LANDSCAPE & IRRIGATION PROTECTOR (C-401)

20 TYPICAL HMAC PAVEMENT SECTION (C-402)

21 BUTT JOINT (C-402)

22 CONCRETE PAVEMENT DRIVE-THRU LANE (C-402)

23 CONCRETE APRON AT TRASH ENCLOSURE (C-402)

24 PAVEMENT EDGE DETAIL (START & END OF DRIVE-THRU LANES) (C-402)

25 CONCRETE PAVEMENT SECTIONS (C-402)

26 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT (C-402)

27 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT (C-402)

28 CONTRACTION JOINT (C-402)

29 KEYED CONSTRUCTION JOINT (C-402)

30 LONGITUDINAL BUTT JOINT (C-402)

31 EXPANSION JOINT (C-402)

32 DRIVE-THRU PLAN — FLUSH WITH FFE (C-403)

33 DRIVE-THRU ISOMETRIC (C-403)

34 DRIVE-THRU ORDER POINT ISLAND (C-403)

35 MENU BOARD LOOP DETECTION SYSTEM (C-403)

36 BUILDING DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM) (C-403)

37 CANOPY DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM) (C-403)

38 SCREENED REFUSE ENCLOSURE (REFER TO ARCH PLANS FOR ADDITIONAL DETAILS) (C-403)

39 CLEAN-OUT (OUTSIDE OF BUILDING) (C-403)

40 THICKENED PAVEMENT STRUCTURES (C-403)

41 STORM STRUCTURE WEEP HOLE DETAILS (C-403)

42 ALUMINUM HANDRAIL (REFER TO ARCH PLANS)

43 OMITTED

44 DRIVE-THRU CLEARANCE BAR (REFER TO SIGNAGE PACKAGE)

45 GREASE TRAP

46 PROPOSED TRANSFORMER

47 BIKE RACK

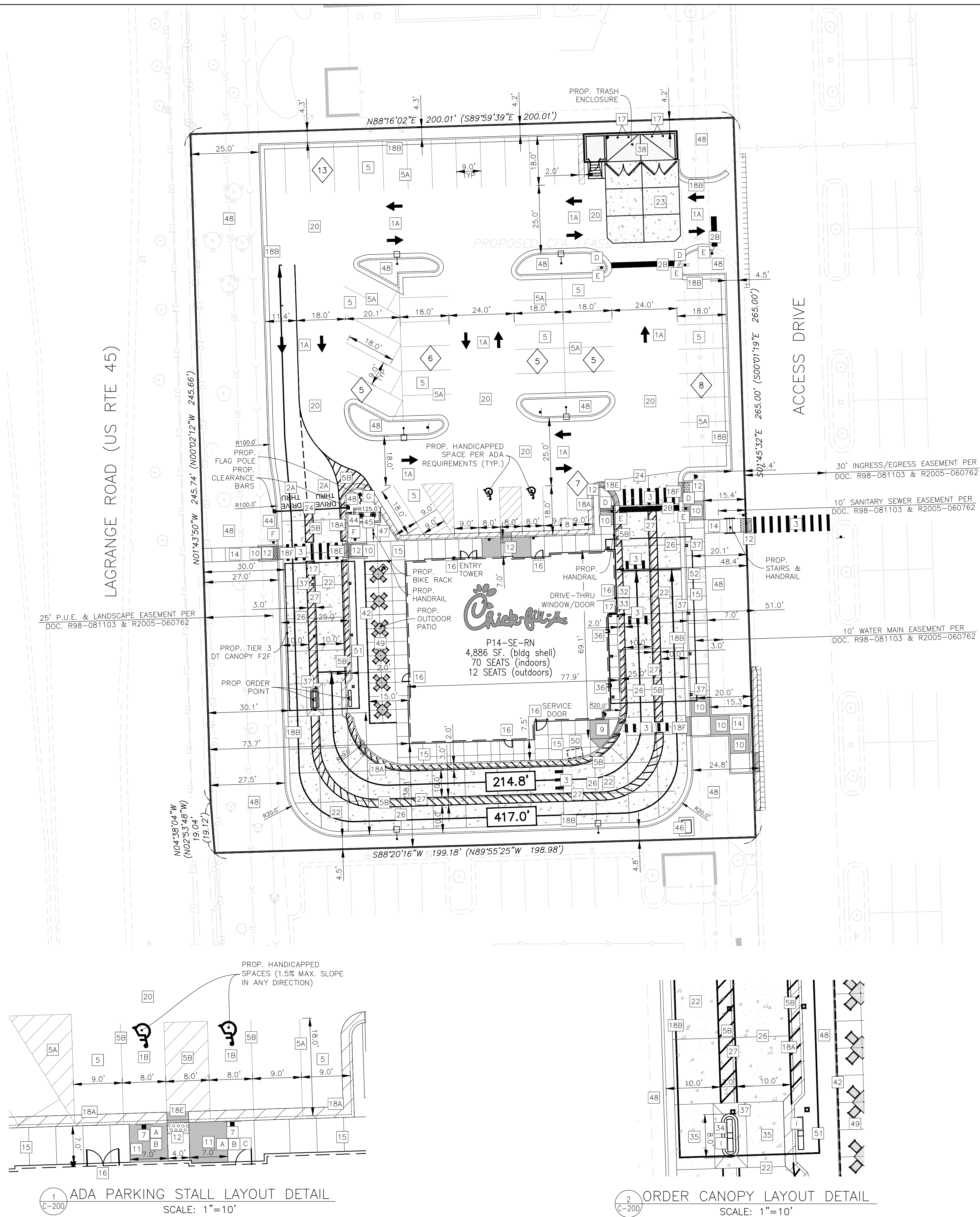
48 LANDSCAPED AREA

49 TYPICAL LOCATION FOR OUTDOOR TABLES (REFER TO ARCH PLANS)

50 CONCRETE PAD FOR OPTIONAL CASH STATION

51 FREE-STANDING ORDER POINT CANOPY

52 FREE-STANDING OUTSIDE MEAL DELIVERY CANOPY



DESCRIPTION

SHEET NUMBER

C-200

GRADING & DRAINAGE NOTES

- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. THE JURISDICTION UTILITY REQUIREMENTS SHALL ALSO BE MET, AS WELL AS COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT.
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE ALONG ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE, ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- SEE EROSION CONTROL PLAN FOR EROSION CONTROL MEASURES AND NOTICES.
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, & ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. NO ON SITE BURNING WILL BE ALLOWED
- ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
- NO PART OF THE PROPOSED PROJECT IS LOCATED WITHIN A FLOOD HAZARD AREA
- SPOT ELEVATIONS SHOWN ARE @ EDGE OF PAVEMENT UNLESS OTHERWISE NOTED ON PLAN.
- ALL CONCRETE CURB & GUTTER SHALL BE TYPE B-6.18 CURB UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL STORM SEWER JOINTS SHALL HAVE O-RING GASKETS.
- MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.

- BACKFILL TO THE TOP OF CURBS.
- SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS
- ALL SIDEWALK CROSS SLOPES SHALL BE A MAXIMUM OF 1.5%.
- DESIGNATED HANDICAP PARKING AREAS SHALL BE GRADED TO A MAXIMUM OF 1.5%
- SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING OF PAVEMENT.
- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
- ALL FIELD TILES ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON THE RECORD PLANS BY THE CONTRACTOR.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE MOST CURRENT CITY OF NAPERVILLE STANDARDS AND SPECIFICATIONS.

GENERAL NOTES:

- ACCESSIBLE PARKING, RAMPS, AND SIGNAGE SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- 1 WEEK PRIOR TO CONSTRUCTION WITHIN CITY OR STATE ROW OR ANY CONNECTION TO PUBLIC SEWERS, CONTRACTOR SHALL NOTIFY THE APPROPRIATE CITY ENGINEERING DIVISION.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT. CUT/TRIM EXPANSION JOINTS TO BE FLUSH WITH SURFACE.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR SHALL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OR MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
- ALL CONSTRUCTION WITHIN PUBLIC ROW/EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND LATEST EDITION OF IDOT DESIGN STANDARDS
- EXCAVATION SHALL BE IN ACCORDANCE WITH THE GEO TECHNICAL REPORT PREPARED FOR THIS PROJECT.
- CONTRACTOR TO GRADE 4" BELOW THE BACK OF CURB TO ALLOW FOR THE PLACEMENT OF TOPSOIL. A MINIMUM OF 4" OF TOPSOIL SHALL BE PLACED IN ALL PLANTING BEDS AND ALL GRASSED AREAS. GRADED AREAS TO BE HELD DOWN TO THE APPROPRIATE ELEVATION TO ACCOUNT FOR TOPSOIL. SEE SHEET L-101 FOR DETAILS.

TRAFFIC CONTROL NOTES:

- ALL APPLICABLE CITY/STATE PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY/STATE ROW OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.

IMPERVIOUS AREA DATA:

- LOT SIZE: 52,986 SQ. FT. (1.22 AC.)
- EXISTING IMPERVIOUS AREA: 38,303 SQ. FT.
- PROPOSED IMPERVIOUS AREA: 40,287 SQ. FT.

STORM TAGS

- REFER TO SHEET PS-101 FOR TAG INFO

NOTE:

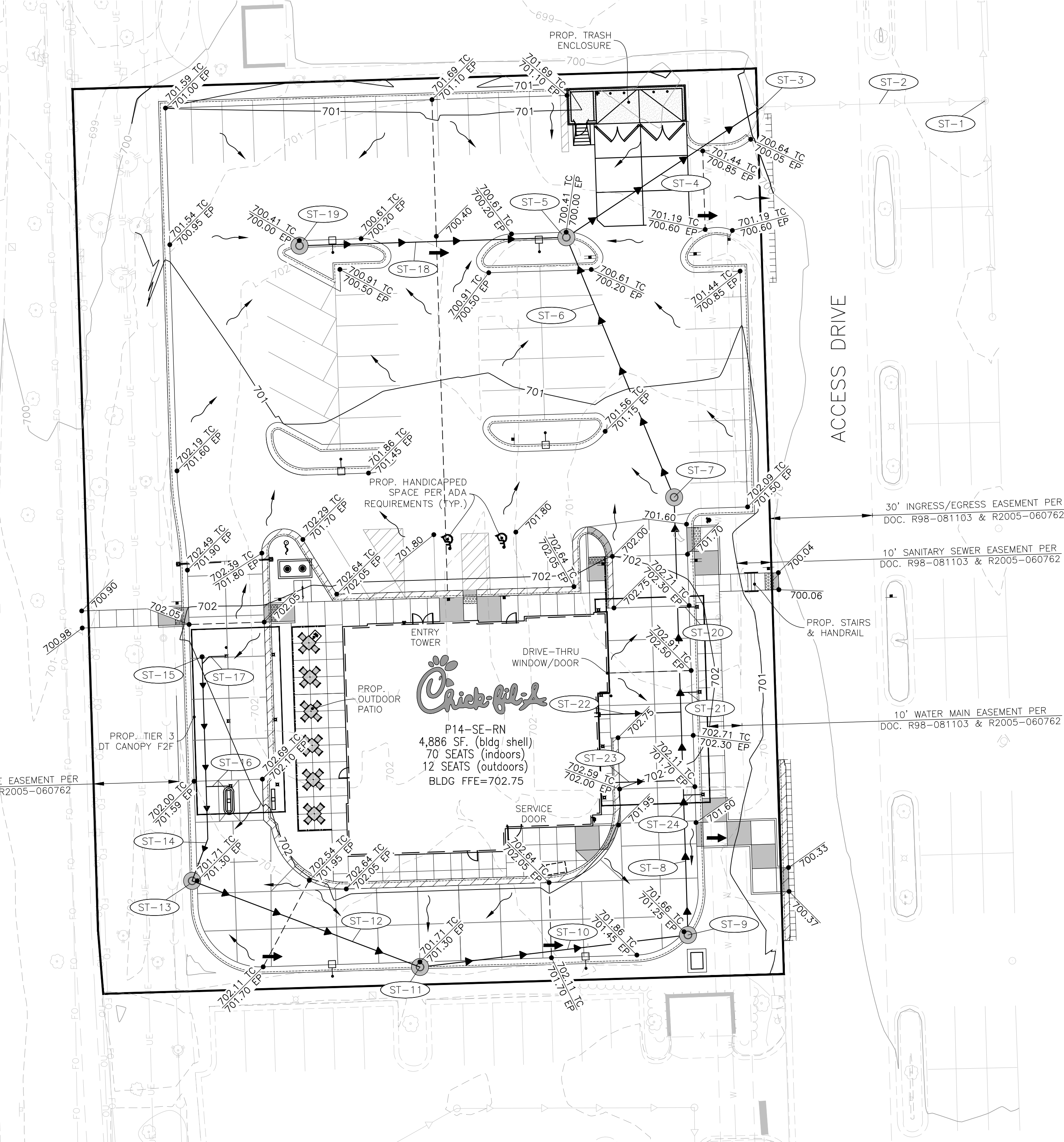
- ALL STORM STRUCTURES WITHIN PAVED AREAS REQUIRE WEEP HOLES. SEE DETAIL 10 ON SHEET C-403 FOR WEEP HOLE DETAILS.

HATCH LEGEND

- | | | | |
|--|--|--|---|
| | DENOTES REVERSE (SPILLING) CURB & GUTTER | | DENOTES AREA OF DEPRESSED SIDEWALK |
| | DENOTES CONCRETE CURB & GUTTER (CATCHING) | | DENOTES EXISTING AND OR PROPOSED SPOT ELEVATIONS. |
| | DENOTES AREA OF DEPRESSED SPILLING CURB & GUTTER | | DENOTES PROPOSED DRAINAGE DIRECTION ARROW. |
| | DENOTES AREA OF DEPRESSED CATCHING CURB & GUTTER | | DENOTES PROPOSED OVERFLOW DIRECTION ARROW. |

LAGRANGE ROAD (US RTE 45)

25' P.U.E. & LANDSCAPE EASEMENT PER DOC. R98-081103 & R2005-060762



0 20'
1" = 20'

BAR IS ONE INCH ON
OFFICIAL DRAWINGS
IF NOT ONE INCH,
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SHEET
GRADING PLAN
SHEET NUMBER
C-300

UTILITY NOTES

- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR DUTY SERVICE SIZES AND EXACT LOCATIONS. CONTRACTOR TO CONFIRM SIZES OF ALL SERVICES PRIOR TO INSTALLATION. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- MAINTAIN A MINIMUM OF 5.0' COVER OVER ALL WATER MAINS & SERVICES.
- MAINTAIN A MINIMUM OF 4.0' COVER OVERALL SANITARY SEWER.
- ADJUST ALL MANHOLES AND FRAMES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF FRANKFORT.
- 12" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY/STORM SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND PUBLIC WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY CALL JULIE AT 1-800-892-0123 AT LEAST 72 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- LOCATION OF SITE UTILITIES SHALL BE VERIFIED WITH PROPER UTILITY COMPANY PROVIDING SERVICE.
- ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
- SEE SITE SPECIFICATIONS "UNDERGROUND UTILITIES" FOR BACKFILLING AND COMPACTION REQUIREMENTS.
- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- ELECTRICAL SERVICE TO PAD MOUNTED TRANSFORMER SHALL BE RUN UNDERGROUND, FROM ROW TO TRANSFORMER LOCATION. ASSOCIATED COST BY GENERAL CONTRACTOR.
- ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- FOR EXACT LIGHT POLE LOCATIONS SEE PHOTOMETRICS PLAN.
- MATERIAL PERMITTED FOR USE AS SANITARY SEWER PIPES SHALL BE SDR 26 FOR 4" & 6".
- NICOR WILL FURNISH AND INSTALL THE GAS MAINS AND GAS SERVICE UP TO AND INCLUDING THE METER. CONTRACTOR TO PROVIDE (1) 4" SCHEDULE 40 PVC CONDUIT UNDER PAVED AREAS IS PAVING IS COMPLETE PRIOR TO NICOR INSTALLING SERVICE LINE.
- CONTRACTOR TO FURNISH AND INSTALL (1) 4" SCHEDULE 40 PVC CONDUITS FOR TELEPHONE SERVICE FROM ATT PEDESTAL TO BUILDING. ATT TO SUPPLY, PROVIDE AND INSTALL PRIMARY TELEPHONE SERVICE. CONDUITS TO BE INSTALLED A MINIMUM 24" BELOW FINISHED GRADE.
- CONTRACTOR TO FURNISH AND INSTALL (2) 4" SCHEDULE 40 PVC CONDUITS WITH PULL WIRE FOR PRIMARY ELECTRIC SERVICE. COMED TO PROVIDE AND INSTALL PRIMARY ELECTRIC SERVICE. CONTRACTOR TO FURNISH AND INSTALL (4) 4" SCHEDULE 40 PVC CONDUITS WITH PULL WIRE FOR SECONDARY ELECTRIC SERVICE. CONDUITS SHALL HAVE A MINIMUM OF 36" OF COVER. CONTRACTOR TO PROVIDE AND INSTALL TRANSFORMER PAD AND SECONDARY SERVICE IN ACCORDANCE WITH COMED SPECIFICATIONS AND REQUIREMENTS. TRANSFORMER PAD SHALL BE INSTALLED TO FINAL GRADE AND LEVELED.
- CONTRACTOR TO FURNISH AND INSTALL (1) 3" SCHEDULE 40 PVC CONDUIT WITH PULL STRING FOR ISP SERVICE FROM ATT MAIN TO BUILDING. ATT TO SUPPLY, PROVIDE AND INSTALL ISP SERVICE. CONDUIT TO BE INSTALLED MINIMUM 24" BELOW FINISHED GRADE.
- ALL SEWER CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE VILLAGE OF FRANKFORT.
- ALL CONNECTIONS TO PUBLIC SANITARY SEWERS SHALL BE PER VILLAGE OF FRANKFORT.
- THE CFA FIRE SERVICE LINE SHALL BE PVC C900 PIPE WITH TRACER WIRE PER CITY STANDARDS.
- ALL FIELD TILES ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON THE RECORD PLANS BY THE CONTRACTOR.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- PROVIDE UNDERDRAINS FROM SEEPS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FILL SLOPE.
- ALL PROPOSED PIPE CONNECTIONS TO EXISTING OR PROPOSED MANHOLES SHALL CONFORM TO ASTM-C923.

MISCELLANEOUS NOTES:

- ALL BUILDING UTILITY SERVICE LOCATIONS TO BE VERIFIED W/ ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- FOR EXACT LIGHT POLE LOCATIONS SEE PHOTOMETRICS PLAN
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE VILLAGE AND/OR IDOT TO OBTAIN APPLICABLE PERMITS.
- WORK WITHIN THE ROW SHALL BE DONE IN ACCORDANCE WITH THE VILLAGE SPECIFICATIONS.
- ONLY THE VILLAGE OF FRANKFORT PUBLIC WORKS DEPARTMENT MAY OPERATE EXISTING VALVES.
- THE CONTRACTOR MUST CONTACT THE VILLAGE OF FRANKFORT PUBLIC WORKS DEPARTMENT TO SCHEDULE INSPECTIONS FOR ALL WORK WITHIN THE ROW.
- TRACER WIRE ON THE WATER SERVICE SHALL BE CONNECTED TO THE TRACER WIRE ON THE WATER MAIN AND INSTALLED IN ACCORDANCE WITH THE VILLAGE SPECIFICATIONS.
- ANY WORK PERFORMED IN THE ROW SHALL BE PERFORMED BY A CITY "QUALIFIED" CONTRACTOR AND MONITORED BY PUBLIC WORKS.

ONSITE WATERLINE NOTES:

- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
- ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED AUXILIARY GATE VALVE.
- ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED BEFORE ACCEPTANCE. SEE SITE WORK SPECIFICATIONS.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.

LEGEND:

● DENOTES MAINTAIN 18" VERTICAL SEPARATION PER IEPA'S REQUIREMENTS

S-# SANITARY SEWER TAGS

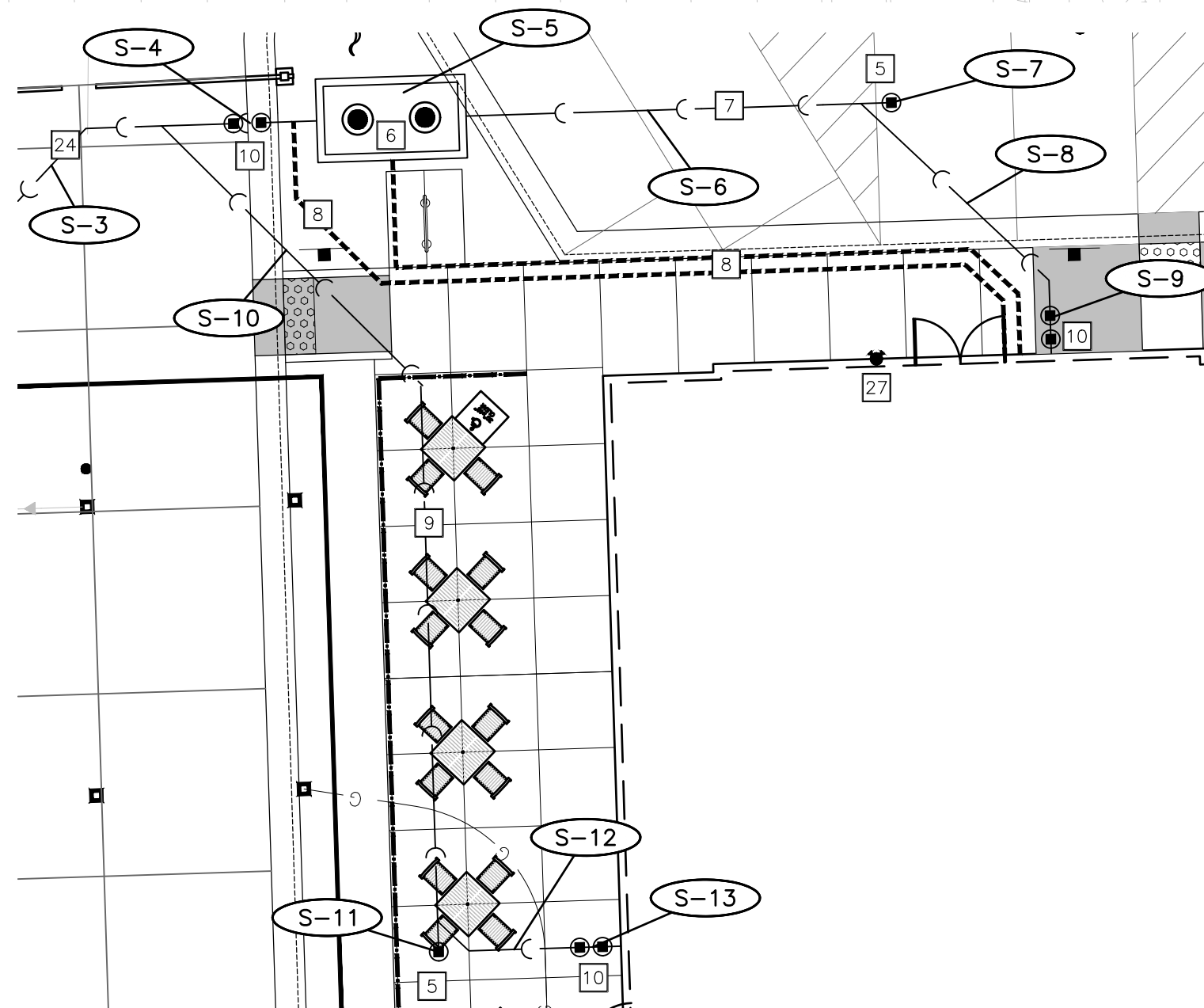
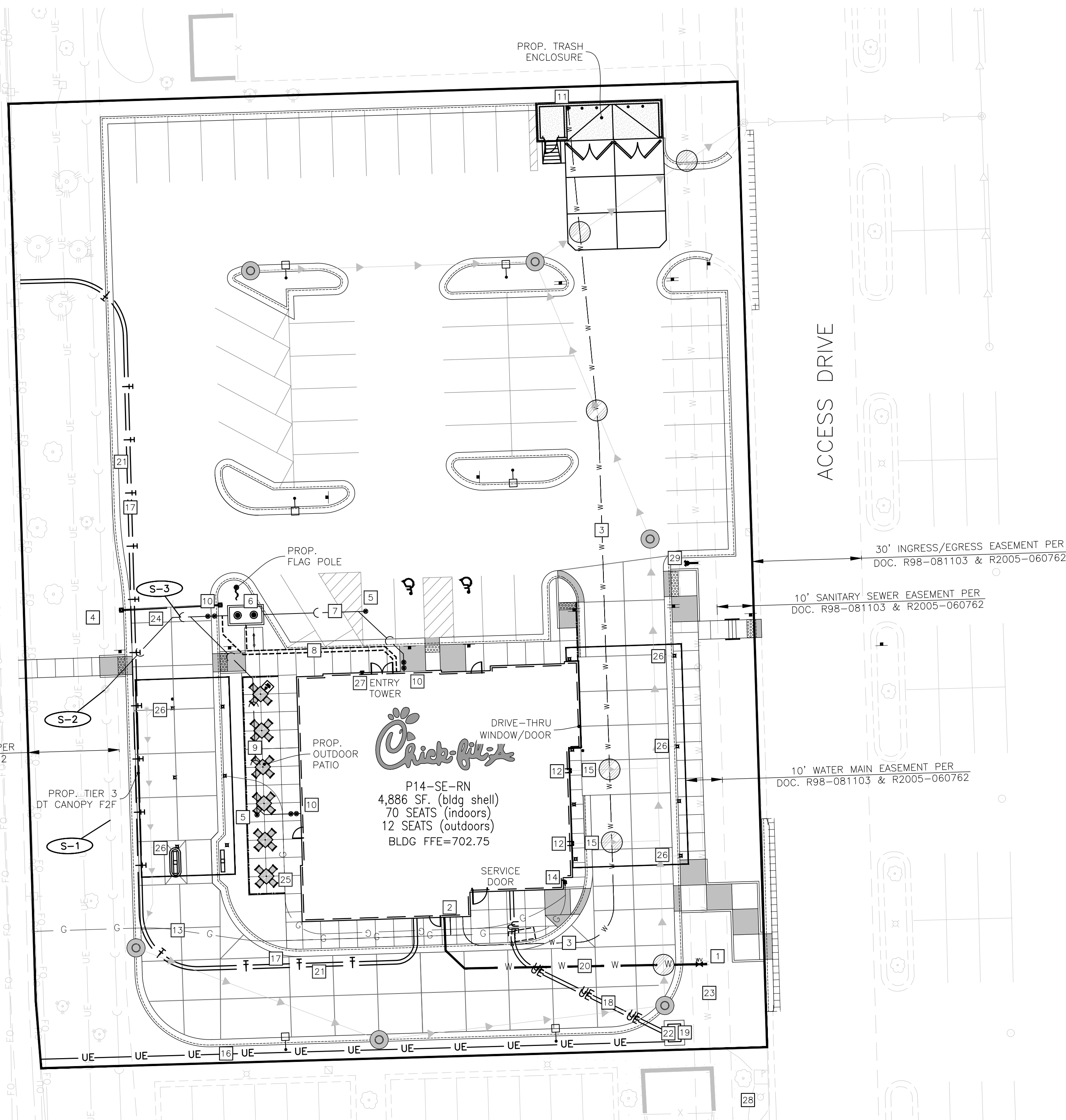
- SEE SHEET PS-101 FOR TAGS

A CONFLICT TAGS

- SEE SHEET PS-101 FOR TAGS

LAYOUT NOTES

- PAY CONNECTION FEES FOR 2" DOMESTIC / 6" FIRE WATER SERVICE AND METER. DOMESTIC SERVICE TO SPLIT OFF FIRE SERVICE INTERNAL OF BUILDING.
- 1.5" SOFT COPPER (TYPE K) IRRIGATION LINE TO HAVE SEPARATE METER LOCATION ADJACENT TO DOMESTIC WATER METER INTERNAL TO THE BUILDING. MAINTAIN MIN. 5.0' COVER.
- 3/4" CW TO DUMPSTER POST HYDRANT (SOFT COPPER TYPE K). MAINTAIN MIN. 5.0' COVER.
- CONNECTION TO EXIST. 12" PVC SANITARY MAIN. CONTRACTOR TO VERIFY INVERT AT MAIN PRIOR TO ORDERING STRUCTURES. SEE SANITARY TAGS FOR INFO.
- 4" OR 6" CLEAN OUT (SEE DETAIL). CLEANOUT SHALL BE FLUSH W/ PAVEMENT & INSTALLED UNDER A PROTECTIVE METAL BOX COVER SIMILAR TO A METER PIT COVER WITH A TRAFFIC BEARING LID.
- PRECAST 1,500 GAL. CAPACITY GREASE TRAP. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR. TOP OF MANHOLE TO BE 0.2' ABOVE FINISH GRADE AND MATCH SIDEWALK GRADES WHERE REQUIRED. VERIFY GREASE TRAP MEETS CITY/COUNTY SPECIFICATIONS PRIOR TO INSTALLATION. REFER TO PLUMBING PLAN, SHEET P-101.
- 4" KITCHEN WASTE LINE (SEE SANITARY TAGS FOR INFO)
- 3" VENT LINE. CONNECT TO GREASE INTERCEPTOR. (SEE SHEET P-101 FOR LOCATION)
- 4" RESTROOM WASTE LINE (SEE SANITARY TAGS FOR INFO)
- 4" OR 6" TWO-WAY CLEAN OUT (REFER TO PLUMBING PLANS)(SEE DETAIL 37/C-403)
- DUMPSTER POST HYDRANT. REFER TO THE FIXTURE CONNECTION SCHEDULE (P-303) DEPICTED ON THE PROJECT PLUMBING PLANS.
- DOWNSPOUT FOR ROOF DRAINAGE (REFER TO ARCHITECTURAL PLANS)
- PROPOSED GAS SERVICE (SEE NOTE 19)
- COORDINATE GAS METER INSTALLATION WITH GAS COMPANY.
- 8" PVC SDR 26 ROOF DRAIN PIPE SYSTEM (CONNECT TO SITE STORM DRAIN)
- UNDERGROUND PRIMARY ELECTRIC SERVICE. (SEE NOTE 21)
- UNDERGROUND PRIMARY TELEPHONE SERVICE. (SEE NOTE 20)
- UNDERGROUND SECONDARY ELECTRIC SERVICE TO BUILDING. (SEE NOTE 21)
- PROPOSED PAD MOUNTED TRANSFORMER PER ELECTRIC COMPANY STANDARDS. SEE SERVICE UTILITY NOTES, THIS SHEET.
- 6" PVC C900 PIPE - FIRE SERVICE. MAINTAIN MIN. 5.0' COVER.
- UNDERGROUND ISP SERVICE (SEE NOTE 22)
- INSTALL TRANSFORMER PAD (SEE NOTE 21)
- EXISTING WATER MAIN. CONTRACTOR TO VERIFY EXACT LOCATION, SIZE, & DEPTH.
- 6" PVC SDR-26 SANITARY SERVICE PIPE
- 1.5" GAS SERVICE LINE TO DRIVE-THRU CANOPY
- 6" PVC SDR 26 CANOPY DRAIN SYSTEM (CONNECT TO SITE STORM DRAIN)
- PROP. FDC LOCATION
- EXIST. FIRE HYDRANT
- PROP. FIRE HYDRANT & AUXILIARY VALVE PER CITY STANDARDS



UTILITY LAYOUT BLOW-UP DETAIL
SCALE: 1"=10'



0 20'
1" = 20'

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY

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FSR# 05669

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SHEET	PLUMBING SITE PLAN

SHEET NUMBER
PS-100

ST-#	STORM TAGS		
ST-1	EXIST. STM MH RIM = 698.55 INV = 693.25 S 15" RCP INV = 693.25 W 18" RCP INV = 693.20 N 21" RCP	ST-12	68 LIN FT SS RCP, 12" @ 0.51%
ST-2	EXIST. 61 LIN FT SS RCP, 18" @ 0.51%	ST-13	STM SWR CB 4' DIA., R-3235 TY A GRATE T/C = 701.71 INV = 698.25 SE 12" RCP INV = 698.35 NE 6" PVC
ST-3	EXIST. STM MH RIM = 699.56 INV = 694.96 W 15" RCP (MORTAR CLOSED) INV = 693.56 E 18" RCP INV = 695.00 SW 15" RCP (TO BE CORED) (CONTRACTOR TO REPLACE STRUCTURE, IF NEW INVERT CANNOT BE CORED)	ST-14	65 LIN FT SS PVC, 6" SDR 26 @ 1.00%
ST-4	65 LIN FT SS RCP, 15" @ 1.00%	ST-15	CLEANOUT (SEE DETAIL) RIM = 702.05 INV = 699.00
ST-5	STM SWR CB 4' DIA., R-3235 TY A GRATE T/C = 700.41 INV = 695.65 NE 15" RCP INV = 696.00 SE/W 12" RCP	ST-16	7 LIN FT SS PVC CANOPY DRAIN, 6" SDR 26 @ 1.00%
ST-6	79 LIN FT SS RCP, 12" @ 0.95%	ST-17	8 LIN FT SS PVC CANOPY DRAIN, 6" SDR 26 @ 1.00%
ST-7	STM SWR MH 4' DIA., R-1713 CL RIM = 701.50 INV = 696.75 NW/S 12" RCP	ST-18	76 LIN FT SS RCP, 12" @ 0.66%
ST-8	124 LIN FT SS RCP, 12" @ 0.60%	ST-19	STM SWR CB 2' DIA., R-3235 TY A GRATE T/C = 700.41 INV = 696.50 E 12" RCP
ST-9	STM SWR CB 4' DIA., R-3235 TY A GRATE T/C = 701.66 INV = 697.50 N/W 12" RCP	ST-20	5 LIN FT SS PVC CANOPY DRAIN, 6" SDR 26 @ 1.00%
ST-10	75 LIN FT SS RCP, 12" @ 0.53%	ST-21	5 LIN FT SS PVC CANOPY DRAIN, 6" SDR 26 @ 1.00%
ST-11	STM SWR CB 4' DIA., R-3235 TY A GRATE T/C = 701.71 INV = 697.90 E/NW 12" RCP	ST-22	24 LIN FT SS PVC ROOF DRAIN, 8" SDR 26 @ 1.00%
ST-12	68 LIN FT SS RCP, 12" @ 0.51%	ST-23	24 LIN FT SS PVC ROOF DRAIN, 8" SDR 26 @ 1.00%
ST-13	STM SWR CB 4' DIA., R-3235 TY A GRATE T/C = 701.71 INV = 698.25 SE 12" RCP INV = 698.35 NE 6" PVC	ST-24	5 LIN FT SS PVC CANOPY DRAIN, 6" SDR 26 @ 1.00%

NOTE:
* ALL STORM STRUCTURES WITHIN PAVED
AREAS REQUIRE WEEP HOLES. SEE
DETAIL 10 ON SHEET C-403 FOR
WEEP HOLE DETAILS.

S-#	SANITARY SEWER TAGS
S-1	EXIST. 367 LIN FT SAN SWR MAIN, 12" PVC @ 0.57%
S-2	EXIST. SAN DROP MH RIM = 701.85 INV = 682.05 N 12" PVC INV = 681.95 S 12" PVC INV = 682.90 NE 6" PVC (LOWER) INV = 695.90 NE 6" PVC (UPPER)
S-3	40 LIN FT SAN SWR, 6" PVC (SDR 26) @ 1.28%
S-4	TWO-WAY CLEAN OUT (SEE DETAIL) RIM = 701.65 INV = +/- 696.35
S-5	GREASE TRAP (1,500 GAL.) SEE BUILDING PLUMBING PLAN FOR DETAILS RIM(S) = 702.20 W, 702.20 E INV = 696.58 (INLET) INV = 696.41 (OUTLET)
S-6	28 LIN FT SAN SWR, 4" PVC (SDR 26) @ 2.00%
S-7	CLEAN OUT (SEE DETAIL) RIM = 701.95 INV = +/- 697.14
S-8	22 LIN FT SAN SWR, 4" PVC (SDR 26) @ 2.00% INV @ S-6 = 697.10 INV @ BLDG = 697.55 (VERIFY W/ ARCH)
S-9	TWO-WAY CLEAN OUT (SEE DETAIL) RIM = 702.70 INV = +/- 697.51
S-10	62 LIN FT SAN SWR, 4" PVC (SDR 26) @ 2.00% INV @ S-3 = 696.28
S-11	CLEAN OUT (SEE DETAIL) RIM = 702.65 INV = +/- 697.52
S-12	13 LIN FT SAN SWR, 4" PVC (SDR 26) @ 2.00% INV @ S-10 = 697.48 INV @ BLDG = 697.75 (VERIFY W/ ARCH)
S-13	TWO-WAY CLEAN OUT (SEE DETAIL) RIM = 702.70 INV = +/- 697.71

A	CONFLICT TAGS
* NOT INCLUDED WITH THIS SUBMITTAL.	



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FSR# 05669

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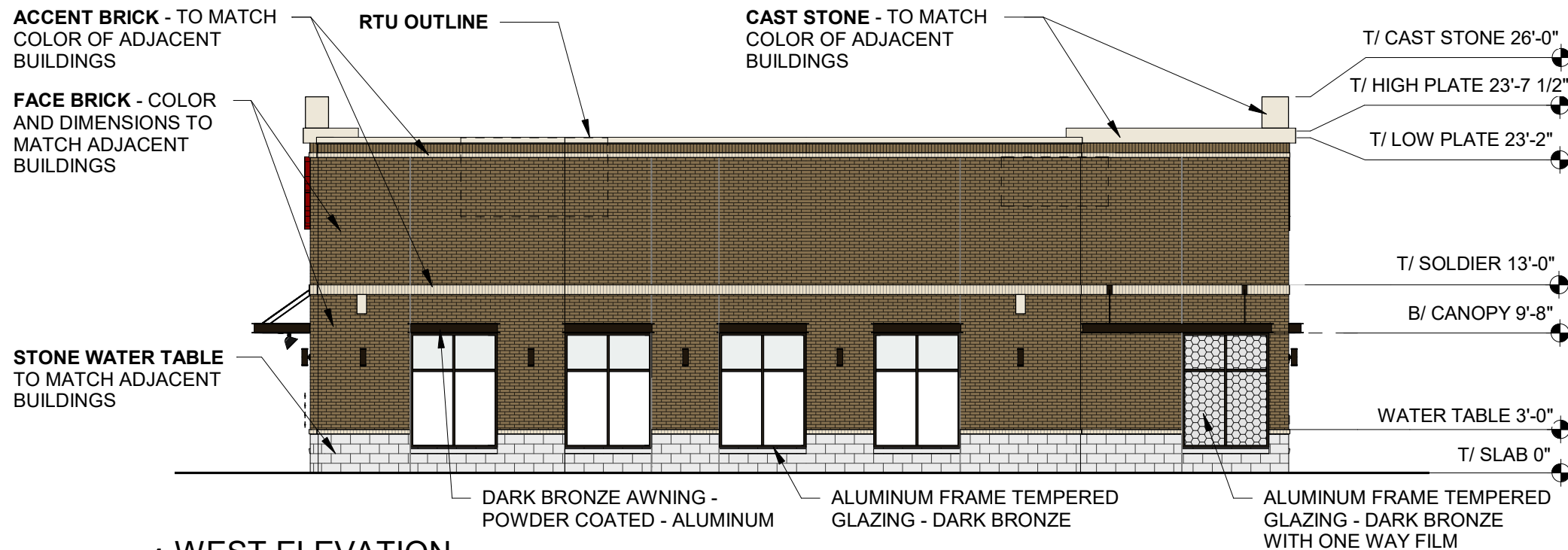
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SHEET
UTILITY TAGS


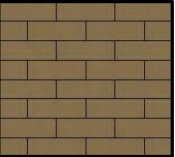


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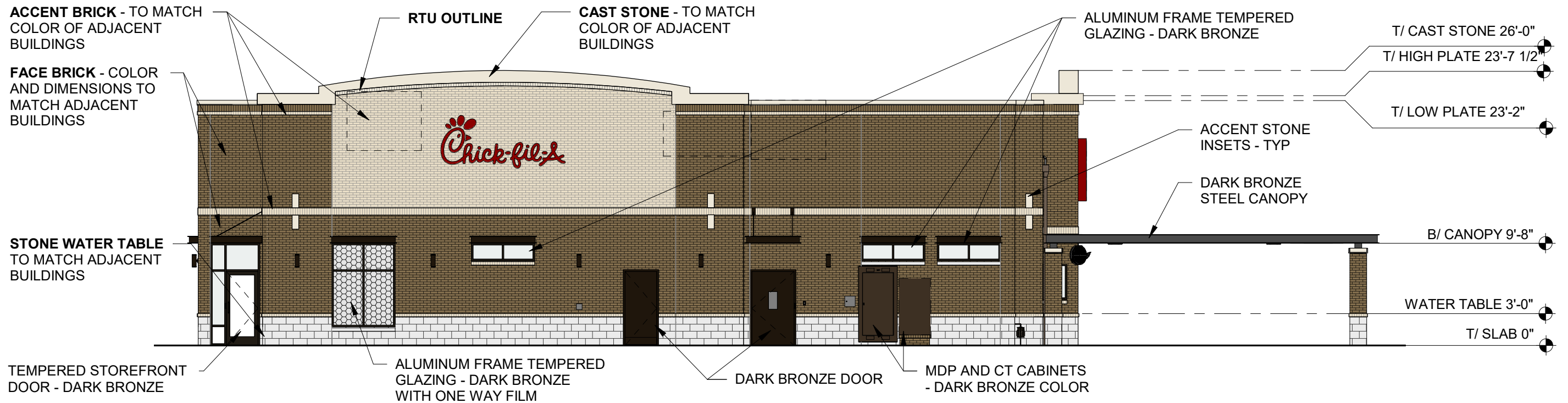
PS-101

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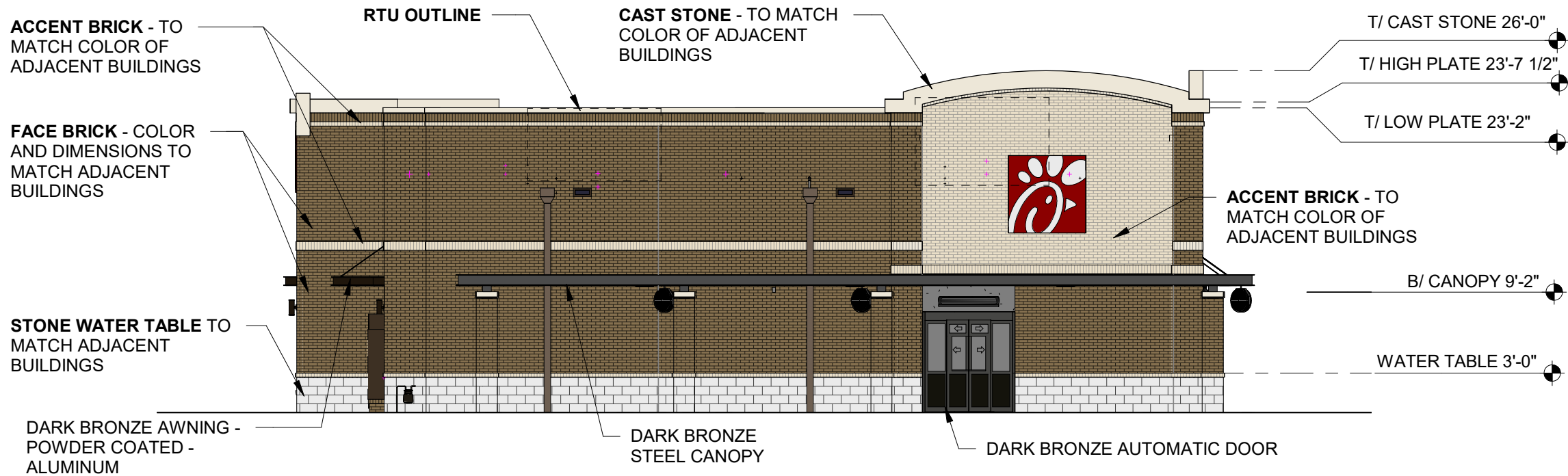
1 WEST ELEVATION
N.T.S.

EXTERIOR FINISHES	
	ACCENT BRICK BRICK VENEER COLOR: WHITEHALL SIZE: MODULAR
	FACE BRICK BRICK VENEER COLOR: CHOCOLATE WIRECUT SIZE: MODULAR
	PREFINISHED METAL COVING COLOR: MIDNIGHT BRONZE
	STOREFRONT COLOR: DARK BRONZE

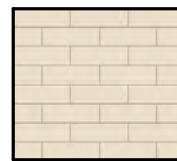


2 SOUTH ELEVATIONS
N.T.S.

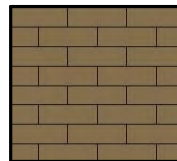
ELEVATION CONCEPT



EXTERIOR FINISHES



ACCENT BRICK
BRICK VENEER
COLOR: WHITEHALL
SIZE: MODULAR



FACE BRICK
BRICK VENEER
COLOR: CHOCOLATE WIRECUT
SIZE: MODULAR



PREFINISHED METAL COPING
COLOR: MIDNIGHT BRONZE



STOREFRONT
COLOR: DARK BRONZE

2 EAST ELEVATION

N.T.S.



1 NORTH ELEVATION

N.T.S.

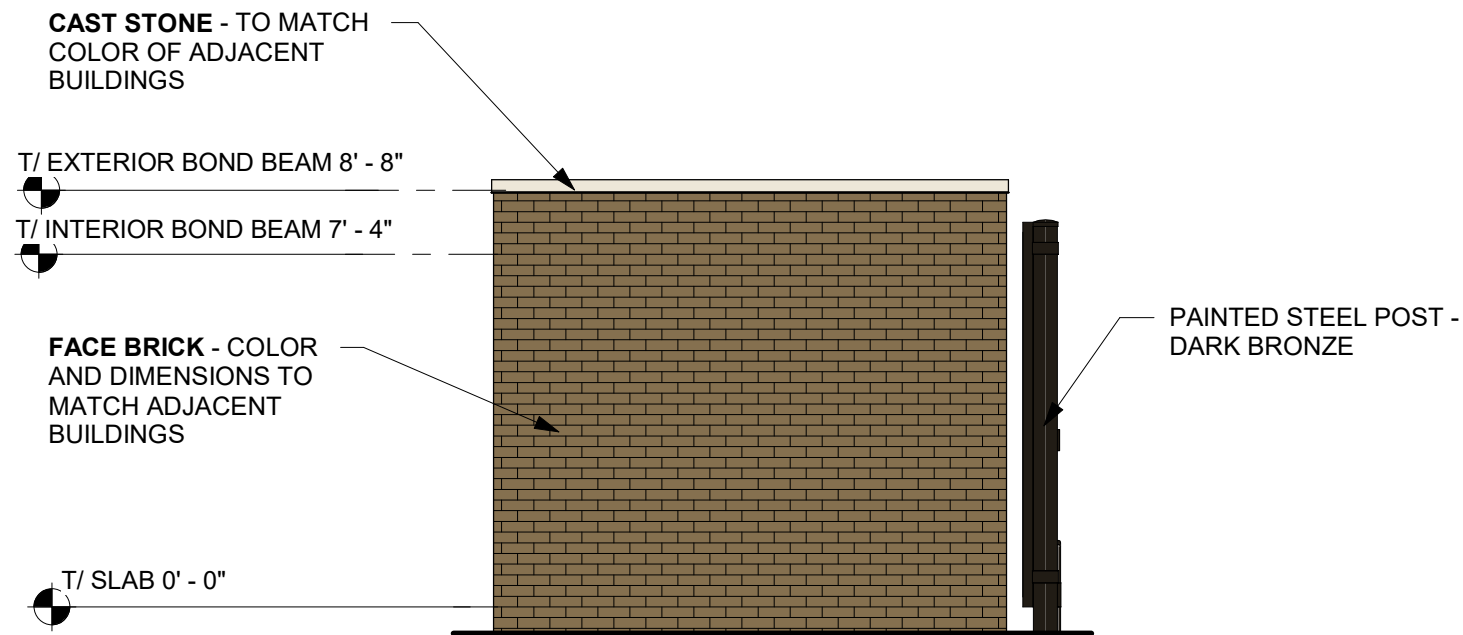
ELEVATION CONCEPT

05669, Frankfort FSU, Frankfort, IL 00000


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04/29/2024







EXTERIOR FINISHES



ACCENT BRICK
 BRICK VENEER
 COLOR:
 WHITEHALL
 SIZE: MODULAR

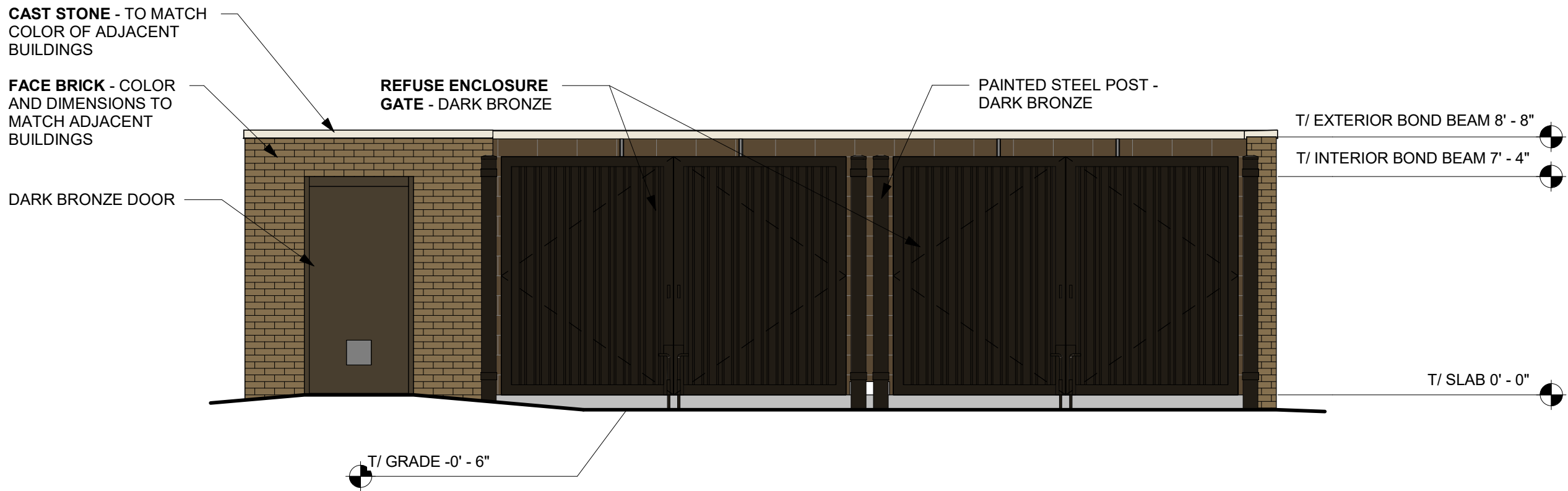


FACE BRICK
 BRICK VENEER
 COLOR:
 CHOCOLATE WIRECUT
 SIZE: MODULAR



GATE
 COLOR: DARK BRONZE

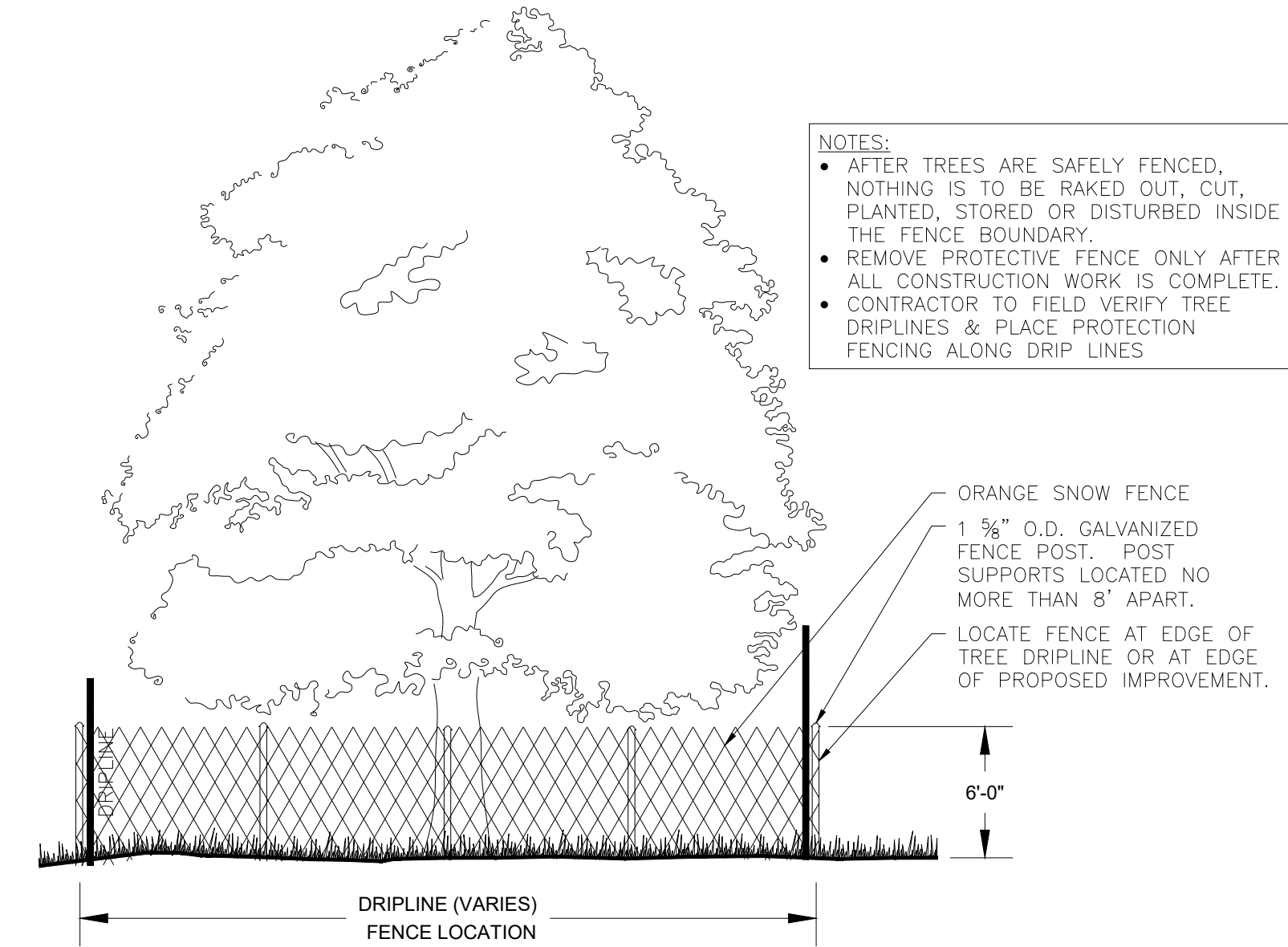
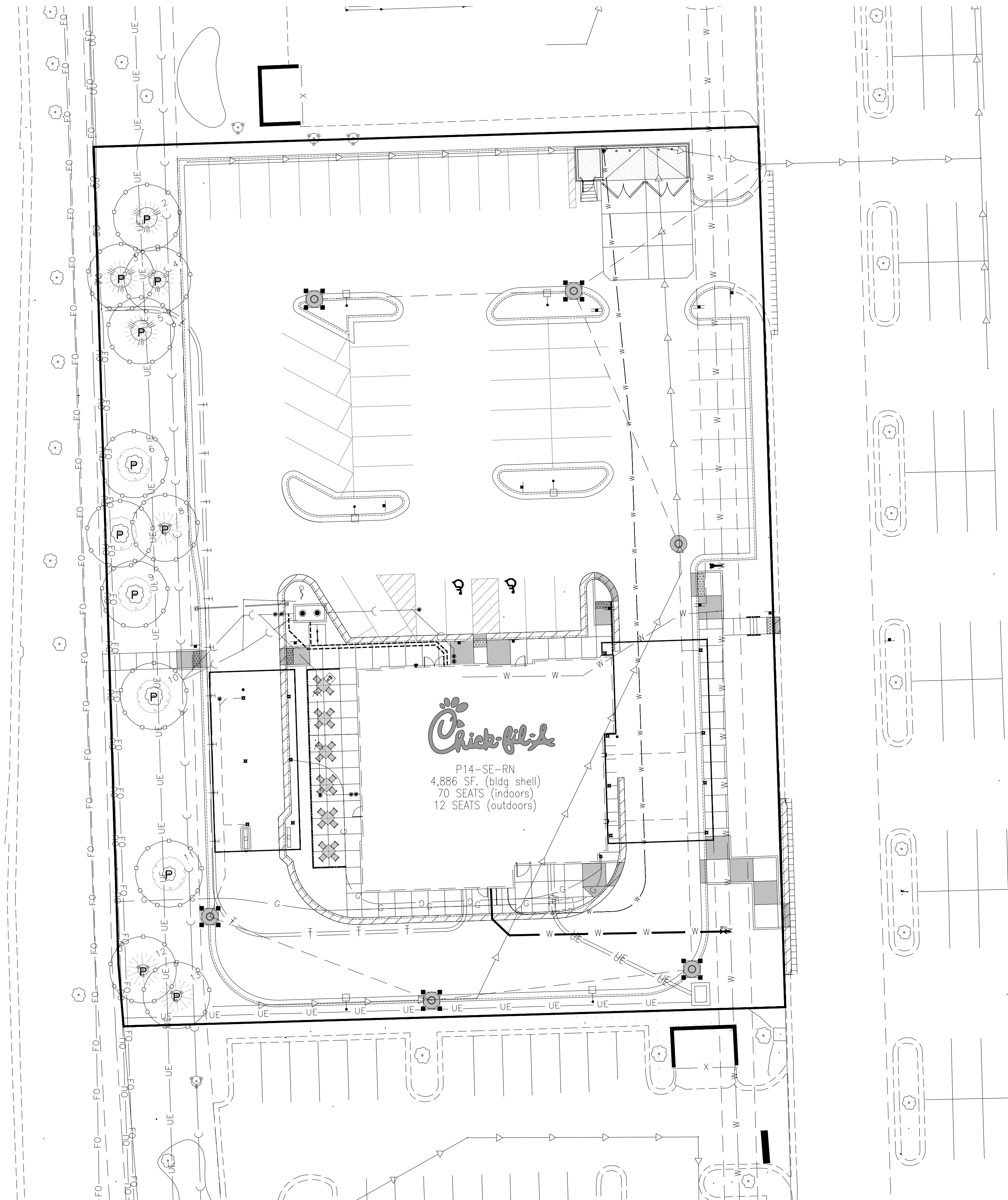
1 REFUSE ENCLOSURE SIDE ELEVATION
N.T.S.



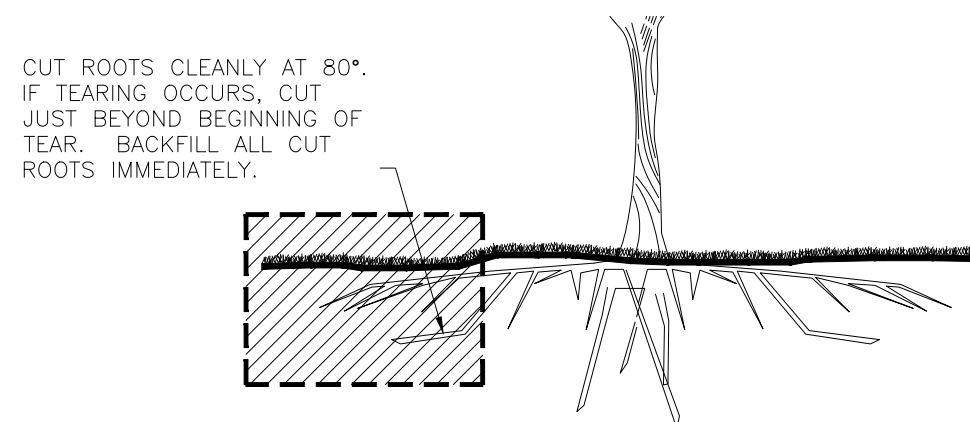
2 REFUSE ENCLOSURE FRONT ELEVATION
N.T.S.

REFUSE ENCLOSURE





1 TYP. TREE PROTECTION SNOW FENCE DETAIL
SCALE: NTS



2 TYP. ROOT PRUNING DETAIL
SCALE: NTS

TREE PROTECTION KEY

EXISTING TREE TO BE PRESERVED

TOTAL QUANTITIES (IN VICINITY OF DISTURBANCE AND PROPOSED IMPROVEMENTS)

TOTAL EXISTING TREES TAGGED 14

GENERAL NOTES

- THE INTENT IS TO KEEP THE EXISTING TREES TO BE PRESERVED IN TACT THROUGHOUT THE DURATION OF CONSTRUCTION ON-SITE. IF THE TREES ARE DAMAGED DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR REPLACING PER THE MUNICIPALITY'S ORDINANCE.
- CONTRACTOR IS RESPONSIBLE FOR THE HAUL-OFF OF ALL TREES AND OTHER VEGETATION TO BE REMOVED.



0 20'
1" = 20'

BAR IS ONE INCH ON
OFFICIAL DRAWINGS
0 1"
IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY

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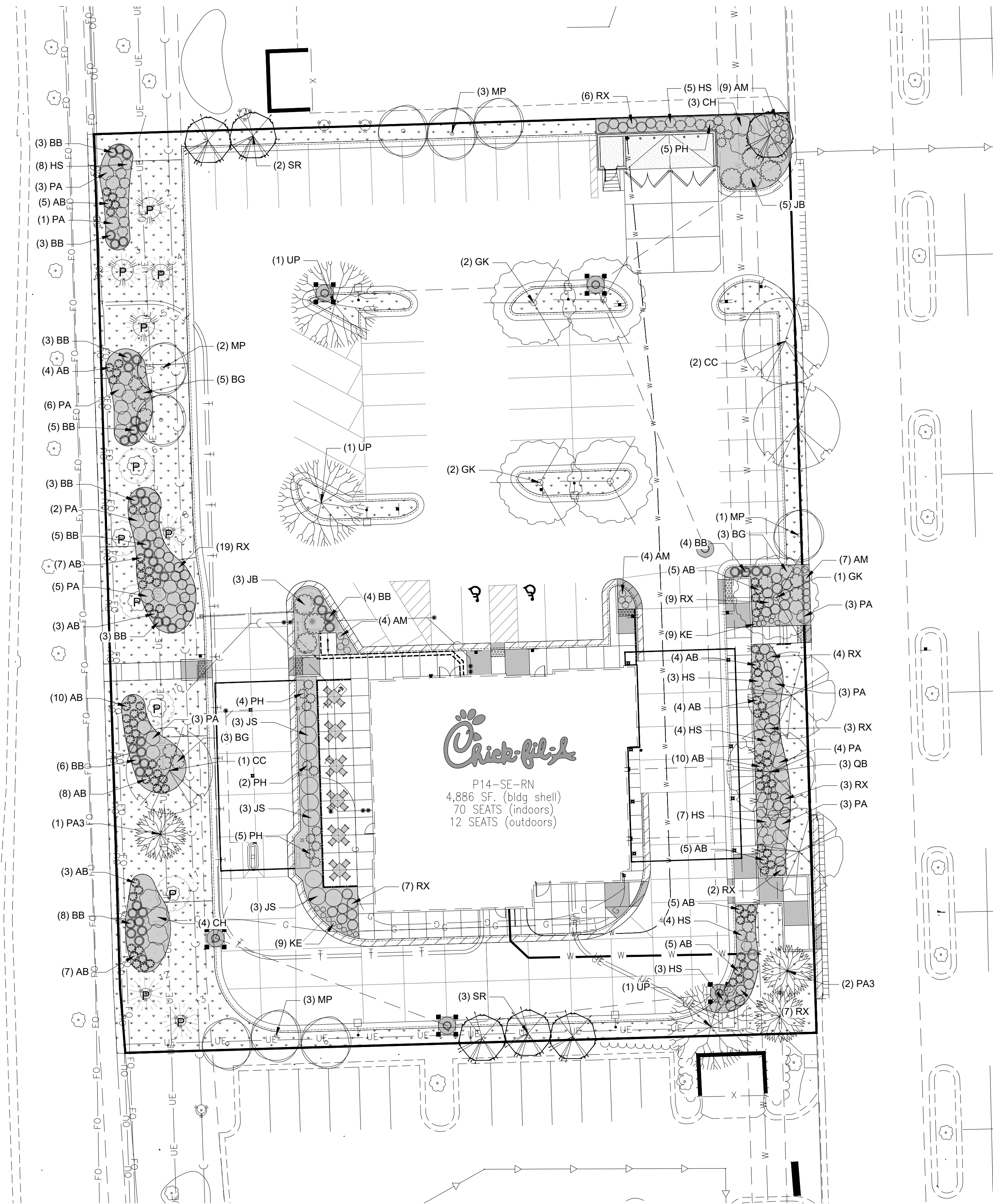
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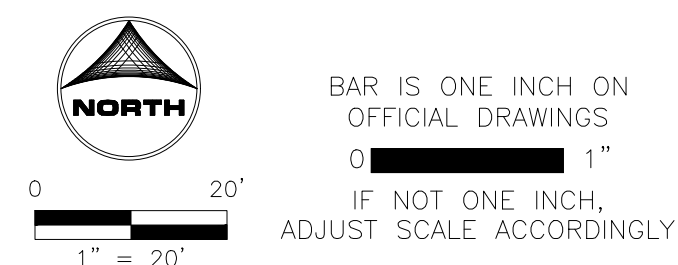
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SHEET TREE PRESERVATION PLAN	
SHEET NUMBER L-100	



GROUNDCOVER LEGEND			
SYMBOL	DESCRIPTION		
	SOD TURF	9,519 SF	
	SHREDDED WOOD MULCH	4,002SF	

PLANT SCHEDULE				
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
DECIDUOUS TREES				
	CC	3	CELTIS OCCIDENTALIS 'CHICAGOLAND' / CHICAGOLAND HACKBERRY	2.5" CAL.
	GK	5	GYMNOCLADUS DIOICUS / KENTUCKY COFFEETREE	2.5" CAL.
	QB	3	QUERCUS BICOLOR / SWAMP WHITE OAK	2.5" CAL.
	UP	3	ULMUS AMERICANA 'PRINCETON' / PRINCETON AMERICAN ELM	2.5" CAL.
EVERGREEN TREES				
	PA3	3	PICEA ABIES / NORWAY SPRUCE	6' HT.
ORNAMENTAL TREES				
	MP	9	MALUS X 'PRAIRIFIRE' / PRAIRIFIRE CRABAPPLE	2" CAL.
	SR	6	SYRINGA RETICULATA / JAPANESE TREE LILAC	2" CAL.
DECIDUOUS SHRUBS				
	BG	12	BUXUS X 'GREEN VELVET' / GREEN VELVET BOXWOOD	5 GAL.
	CH	7	CORNUS ALBA 'BAILHALO' / IVORY HALO® TATARIAN DOGWOOD	5 GAL.
	HS	34	HYDRANGEA MACROPHYLLA 'HORTHAMP' / SEASIDE SERENADE® HAMPTONS HYDRANGEA	5 GAL.
	PA	33	PHYSOCARPUS ALTERNANS / DWARF NINEBARK	5 GAL.
	RX	60	ROSA X 'RUIRIO091A' / NITTY GRITTY™ PEACH ROSE	5 GAL.
EVERGREEN SHRUBS				
	AB	87	ABIES BALSAMEA 'NANA' / DWARF BALSAM FIR	5 GAL.
	JS	9	JUNIPERUS CHINENSIS 'SPARTAN' / SPARTAN JUNIPER	5 GAL.
	JB	8	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP CREEPING JUNIPER	5 GAL.
GRASSES				
	BB	47	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL.
	PH	16	PANICUM VIRGATUM 'HEAVY METAL' / HEAVY METAL SWITCH GRASS	1 GAL.
PERENNIALS				
	AM	24	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL.
	KE	18	KNIPHOFIA X 'ECHO ROJO' / ECHO ROJO RED HOT POKER	1 GAL.

SITE CALCULATIONS			
LANDSCAPE REQUIREMENTS			
LANDSCAPE AREA ADJACENT TO AN ARTERIAL ROW (LEGRANGE ROAD)			
A MINIMUM OF 25 FOOT WIDE LANDSCAPED AREA CONSISTING OF A MINIMUM OF 125 PLANT UNITS PER 100 LINEAR FEET OF FRONTAGE. FORTY PERCENT (40%) OF THE PLANT MATERIAL BY UNIT COUNT MUST BE EVERGREEN. THE LANDSCAPE PLAN SHALL INCLUDE A LANDSCAPE BERM NO LESS THAN THREE FEET (3') IN HEIGHT TO BE LOCATED IN A LANDSCAPE, NO FENCE AND NO ACCESS EASEMENT.			
AREA/MATERIAL	ORDINANCE	REQUIRED	PROVIDED
264 LF	125 PLANT UNITS/100 LF	312 PLANT UNITS	326 PLANT UNITS
DRIVE-THRU LANES			
DRIVE-THRU LANES SHALL BE SEPARATED FROM ADJACENT DRIVEWAYS, PARKING LOT AISLES AND OTHER VEHICULAR USES AREA BY A CURBED PLANTING BED ALONG THE ENTIRE LENGTH OF THE LANE. THE PLANTING BED SHALL BE A MINIMUM OF FIVE FEET WIDE (5') WIDE (EXCLUDING THE CURB) AND SHALL CONTAIN A MINIMUM OF ONE-HUNDRED (100) PLANT UNITS PER ONE-HUNDRED (100) LINEAR FEET.			
AREA/MATERIAL	ORDINANCE	REQUIRED	PROVIDED
292 LF	100 PLANT UNITS/100 LF	292 PLANT UNITS	296 PLANT UNITS



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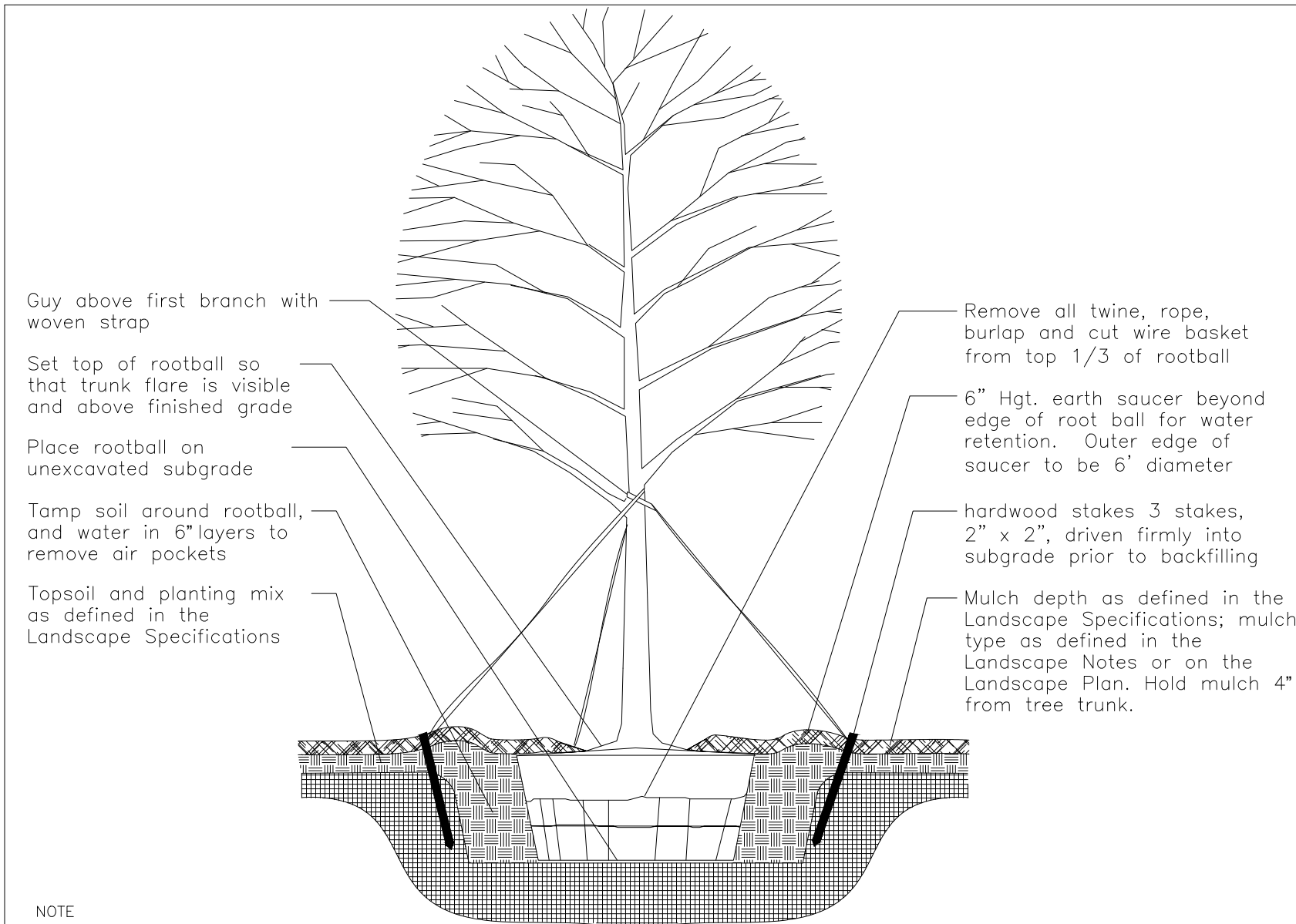
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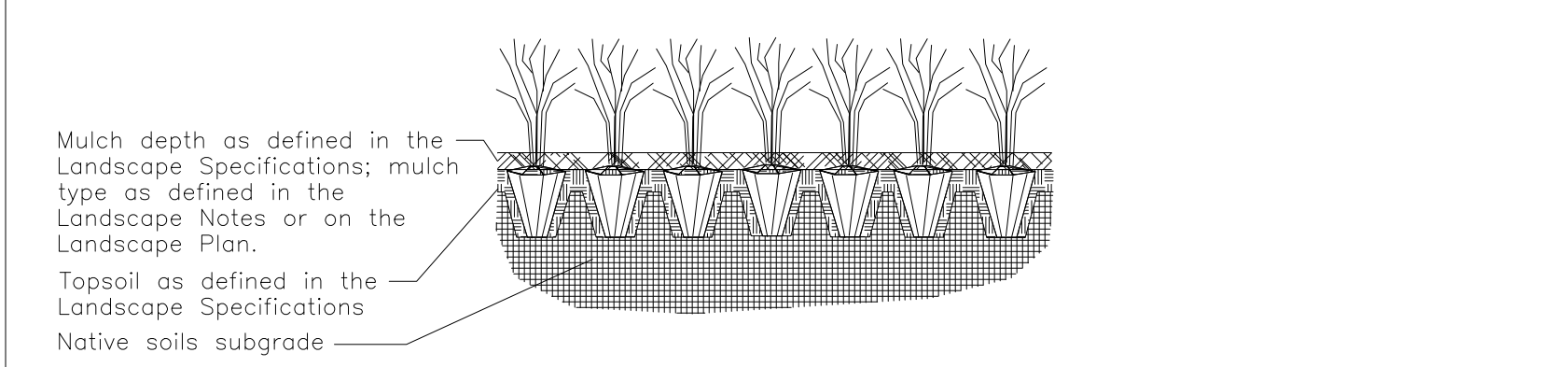
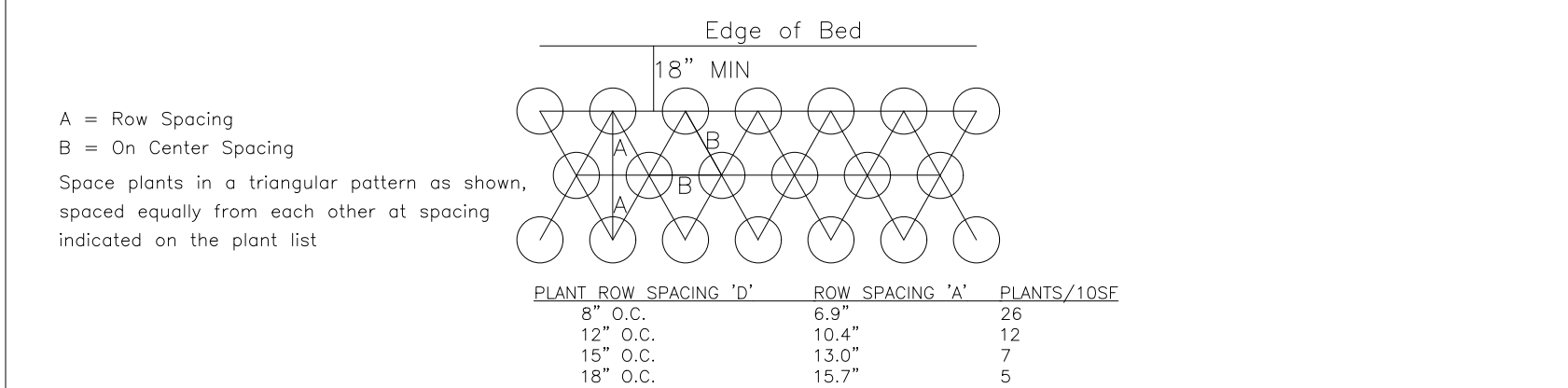
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SHEET LANDSCAPE PLAN	
SHEET NUMBER	L-101



- NOTE
- Hole to be twice the width of the rootball.
 - Do not heavily prune tree at planting. Prune only crossover limbs, broken or dead branches; Do not remove the terminal buds of branches that extend to the edge of the crown.
 - Each tree must be planted such that the trunk flare is visible at the top of the rootball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the rootball with soil. Mulch to be held back 4" away from trunk.
 - Remove Guy Wires and Staking when warranty period has expired (after one year).

1 TREE PLANTING AND STAKING DETAIL

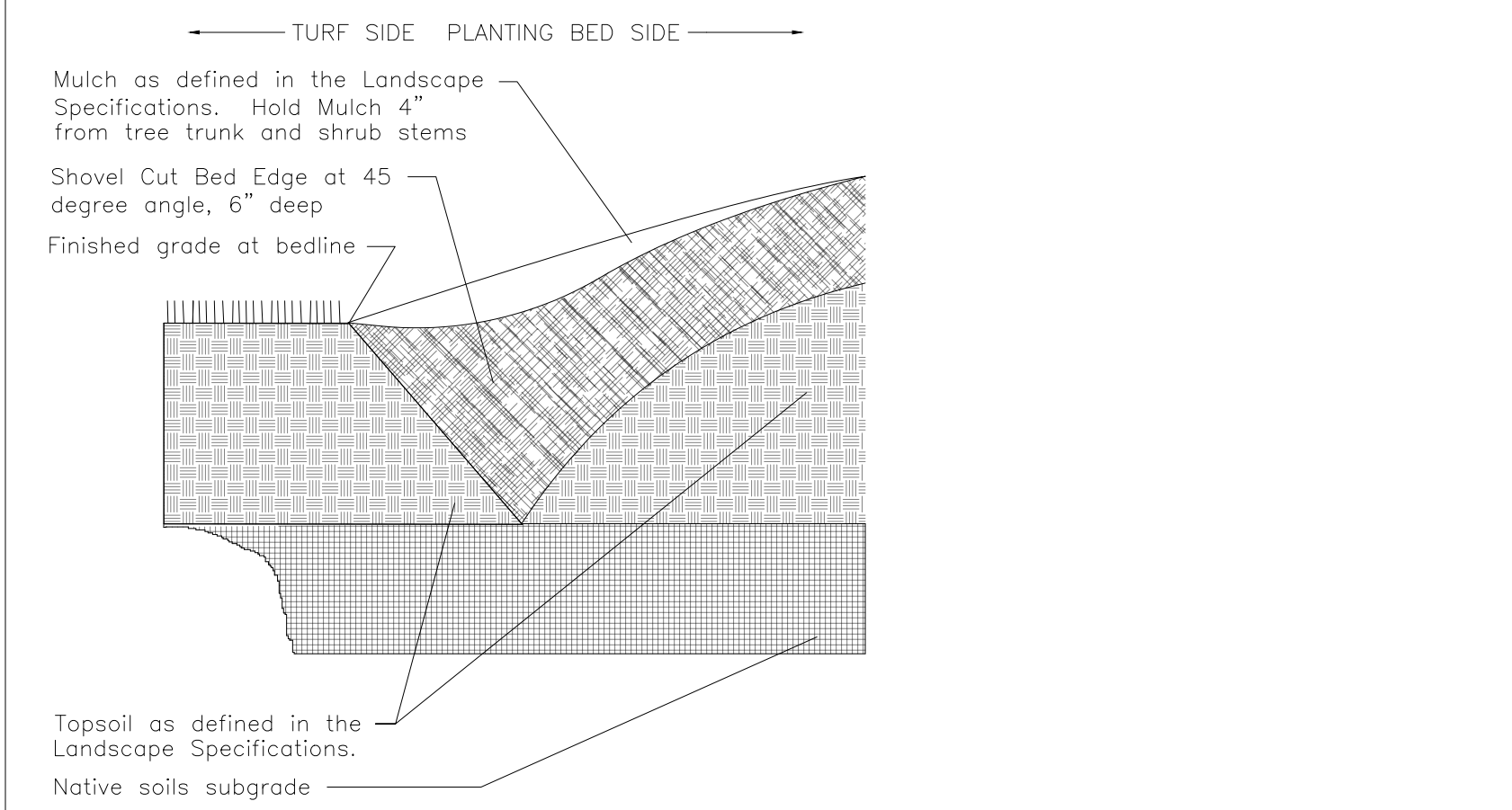
SCALE: NTS



- NOTE
- Space groundcover plants in accordance with indicated spacing listed on the plant list, or as shown on the landscape plan.
 - Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants.
 - Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

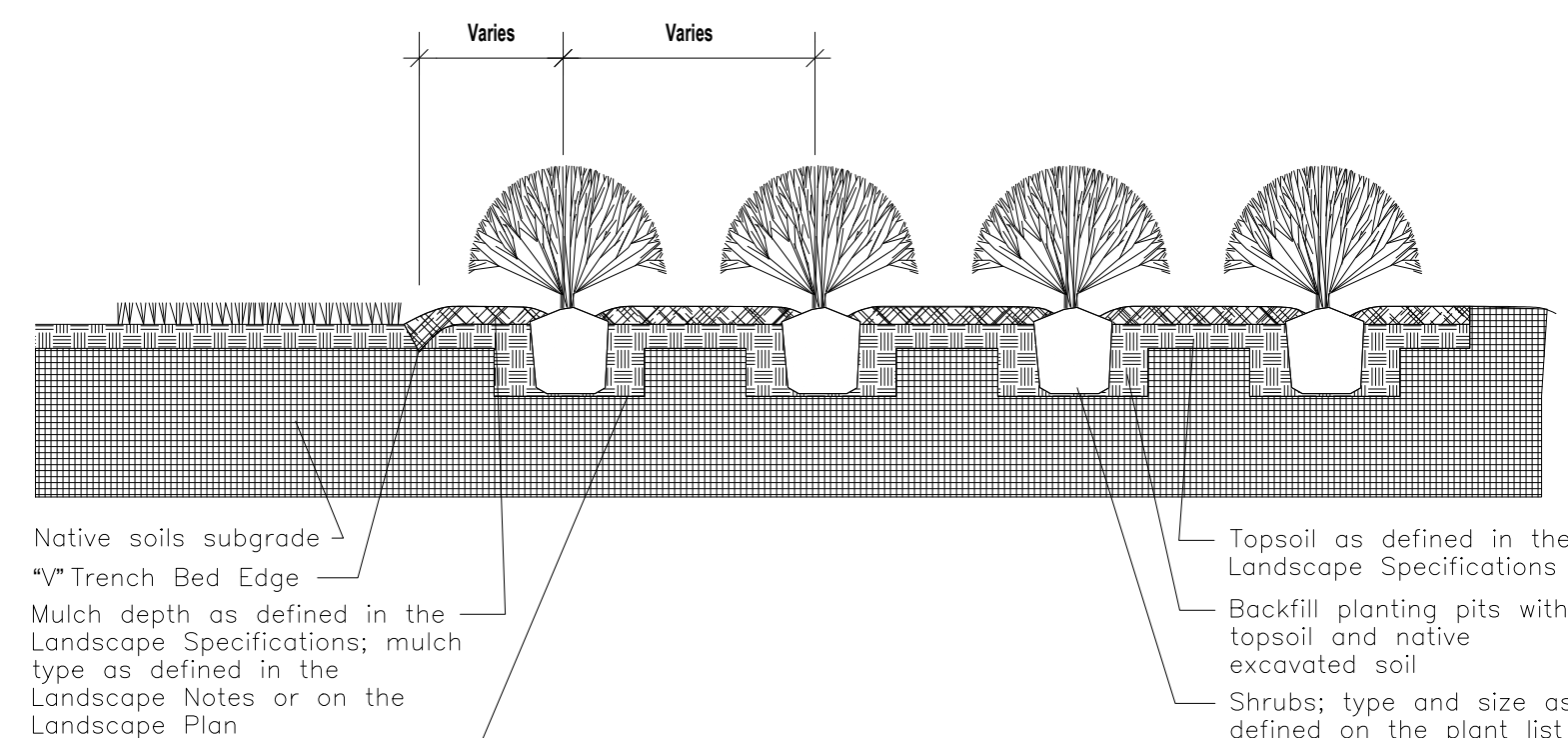
3 GROUNDCOVER PLANTING DETAIL

SCALE: NTS



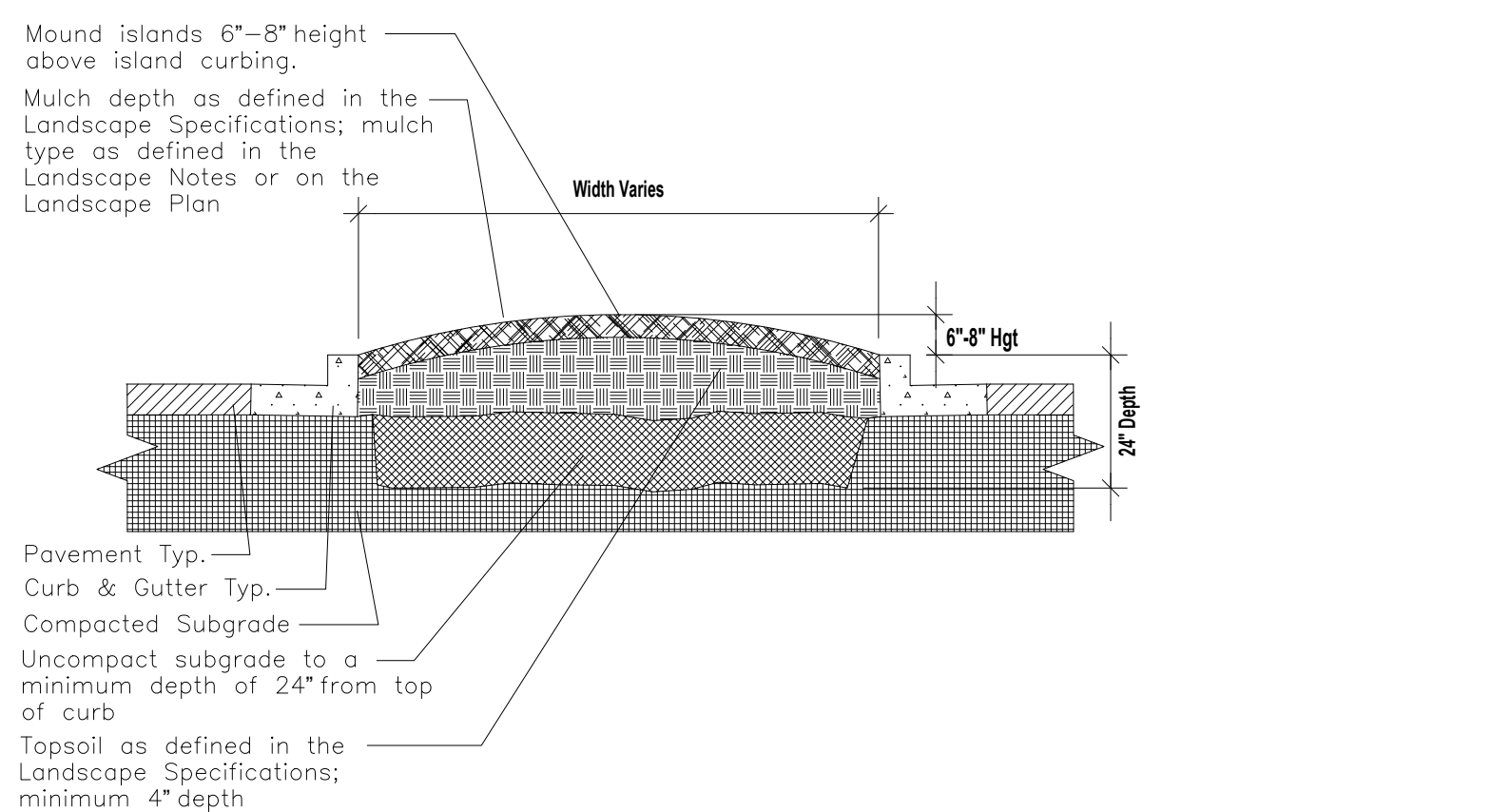
5 "V" TRENCH BED EDGING

SCALE: NTS



2 SHRUB BED PLANTING DETAIL

SCALE: NTS



- NOTE
- Clean construction debris from within landscape island areas (ie. concrete, rocks, rubble, building materials, ect), prior to installing topsoil and plant material.
 - Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum bermed 6"-8" height above island curbing.
 - Island plant material as per the Landscape Plan.
 - Install plant material as per tree, shrub and ground cover planting details, and as defined in the Landscape Specifications.
 - Install mulch or sod as specified on the Landscape Plan, and as defined in the Landscape Specifications.

4 PARKING ISLAND BERMING DETAIL

SCALE: NTS

GENERAL NOTES

- BASE MAP INFORMATION IS ACCURATE AS OF THE DATE PRINTED ON THIS PACKAGE.
- THE LANDSCAPE PLANS CONTAINED HEREIN ILLUSTRATE APPROXIMATE LOCATIONS OF ALL SITE CONDITIONS. REFER TO SURVEY, ARCHITECTURAL, CIVIL ENGINEERING, STRUCTURAL, ELECTRICAL, IRRIGATION AND ALL OTHER DRAWINGS, IF AVAILABLE, FOR ADDITIONAL DETAILED INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF AND FIELD VERIFYING ALL RELATED EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONTACTING JULIE, THE COUNTY PUBLIC WORKS DEPARTMENT, THE MUNICIPALITY AND ANY OTHER PUBLIC OR PRIVATE AGENCIES NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF APPARENT CONFLICTS WITH CONSTRUCTION AND UTILITIES SO THAT ADJUSTMENTS CAN BE PLANNED PRIOR TO INSTALLATION. IF FIELD ADJUSTMENTS ARE NECESSARY DUE TO EXISTING UTILITY LOCATIONS THEY MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY AND ALL COSTS OR OTHER LIABILITIES INCURRED DUE TO DAMAGE OF SAID UTILITIES/STRUCTURES/ETC.
- THE CONTRACTOR SHALL COMPLY WITH ALL CODES APPLICABLE TO THIS WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUBCONTRACTORS AND OTHER CONTRACTORS OF RELATED TRADES, AS REQUIRED, TO ACCOMPLISH THE PLANTING AND RELATED OPERATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL PLANT MATERIAL WITH THE INSTALLATION OF OTHER IMPROVEMENTS SUCH AS HARDSCAPE ELEMENTS AND RELATED STRUCTURES. ANY DAMAGE TO EXISTING IMPROVEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ALL AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED BY OPERATIONS OF OR RELATED TO THE CONTRACTOR'S WORK.
- ALL SURFACE DRAINAGE SHALL BE DIVERTED AWAY FROM STRUCTURES AND NOTED SITE FEATURES IN ALL AREAS AT A MINIMUM OF 2% SLOPE OR AS SHOWN ON THE CIVIL ENGINEERING PLANS. ALL AREAS SHALL POSITIVELY DRAIN AND ALL ISLANDS SHALL BE CROWNED 1" IN HEIGHT PER 1' IN ISLAND WIDTH.
- THE CONTRACTOR SHALL STAKE ALL TREE LOCATIONS AND THE PERIMETER OF SHRUB/PERENNIAL BEDS PRIOR TO INSTALLATION AND CONTACT THE OWNER'S REPRESENTATIVE FOR APPROVAL. FINAL LOCATION AND STAKING OF ALL PLANT MATERIALS SHALL BE ACCEPTED BY THE OWNER'S REPRESENTATIVE IN ADVANCE OF PLANTING.
- IF CONFLICTS ARISE BETWEEN THE SIZE OF AREAS AND PLANS, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO INSTALLATION.
- WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES IN THE PLANT LIST ARE FOR INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKE-OFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS. IN CASE OF ANY DISCREPANCIES, PLANS TAKE PRECEDENCE OVER CALL-OUTS AND/OR THE PLANT LIST(S).
- PLANTS ARE TO BE TYPICAL IN SHAPE AND SIZE FOR SPECIES. PLANTS PLANTED IN ROWS OR GROUPS SHALL BE MATCHED IN FORM. PLANTS SHALL NOT BE ROOT-BOUND OR LOOSE IN THEIR CONTAINERS. HANDLE ALL PLANTS WITH CARE IN TRANSPORTING, PLANTING AND MAINTENANCE UNTIL INSPECTION AND FINAL ACCEPTANCE. FIELD COLLECTED MATERIAL SHALL NOT BE USED UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
- SHREDDED HARDWOOD MULCH, FERTILIZING, AS SPECIFIED, STAKING, WATERING AND ONE (1) YEAR PLANT WARRANTY FOR INSTALLED PLANT MATERIAL, SHALL BE CONSIDERED INCIDENTAL TO THE PLANT ITEMS.
- MUSHROOM COMPOST SHALL BE FINELY SCREENED, HOMOGENOUS, DECOMPOSED ORGANIC MATERIAL SUITABLE FOR HORTICULTURAL USE. MIX THOROUGHLY IN PLANT BED BEFORE INSTALLING PLANTS.

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR TO READ AND UNDERSTAND THE LANDSCAPE SPECIFICATIONS (SHEET L-103) PRIOR TO FINALIZING BIDS. THE LANDSCAPE SPECIFICATIONS SHALL BE ADHERED TO THROUGHOUT THE CONSTRUCTION PROCESS.
- CONTRACTOR RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- CONTRACTOR RESPONSIBLE FOR PROTECTING EXISTING TREES FROM DAMAGE DURING CONSTRUCTION.
- ALL PLANTING AREAS SHALL BE CLEANED OF CONSTRUCTION DEBRIS (IE. CONCRETE, ROCK, RUBBLE, BUILDING MATERIALS, ETC.) PRIOR TO ADDING AND SPREADING OF THE TOPSOIL.
- ALL SHRUBS BEDS (EXISTING AND NEW) TO BE MULCHED WITH A 3 INCH MINIMUM LAYER OF DOUBLE SHREDDED HARDWOOD MULCH.
- ALL ANNUAL AND PERENNIAL BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12 INCHES AND AMENDED WITH 4 INCHES OF ORGANIC MATERIAL. MULCH PLANTED ANNUAL AND PERENNIAL BEDS WITH 2 INCH DEPTH OF MINI NUGGETS.
- PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH OF THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE. BACK TO BE A MIX OF 4 PARTS TOPSOIL AND 1 PART ORGANIC SOIL CONDITIONER (IE. NATURE'S HELPER OR PRO MIX). BACKFILL AND TAMP BOTTOM OF HOLE PRIOR TO PLANTING SO TOP OF ROOT BALL DOES NOT SETTLE BELOW SURROUNDING GRADE.
- EXISTING GRASS IN PROPOSED PLANTING AREAS TO BE KILLED AND REMOVED AND AREA TO BE HAND RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO PLANTING SHRUBS.
- ANY EXISTING GRASS DISTURBED DURING CONSTRUCTION TO BE FULLY REMOVED, REGRADED AND REPLACED. ALL TIRE MARKS AND INDENTIONS TO BE REPAIRED.
- SOIL TO BE TESTED TO DETERMINE FERTILIZER AND LIME REQUIREMENTS AND DISTRIBUTED PRIOR TO LAYING SOD.
- SOD TO BE DELIVERED FRESH (CUT LESS THAN 24 HOURS PRIOR TO ARRIVING ON SITE), LAID IMMEDIATELY, ROLLED, AND WATERED THOROUGHLY IMMEDIATELY AFTER PLANTING. EDGE OF SOD IS TO BE "V" TRENCHED.
- ALL CHANGES TO DESIGN OR PLANT SUBSTITUTIONS ARE TO BE AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- ALL LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH ANSI Z60.1 THE "AMERICAN STANDARD FOR NURSERY STOCK" AND THE ACCEPTED STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM.
- ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ADDING A MIN OF 4" OF CLEAN FRIABLE TOPSOIL IN ALL PLANTING BEDS AND ALL GRASSED AREAS. GRADED AREAS TO BE HELD DOWN THE APPROPRIATE ELEVATION TO ACCOUNT FOR TOPSOIL. SEE SPECIFICATIONS FOR REQUIRED TOPSOIL CHARACTERISTICS.
- IN ALL PARKING LOT ISLANDS, THE GENERAL CONTRACTOR IS RESPONSIBLE TO REMOVE ALL DEBRIS, FRACTURE/LOOSEN SUBGRADE TO A MIN. 24" DEPTH. ADD TOPSOIL TO A 6"-8" BERM HEIGHT ABOVE ISLAND CURBING; REFER TO LANDSCAPE SPECIFICATIONS AND LANDSCAPE ISLAND DETAIL.
- PRIOR TO BEGINNING WORK, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS, AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.
- STAKE ALL EVERGREEN AND DECIDUOUS TREES AS SHOWN IN THE DETAILS THIS SHEET.
- REMOVE ALL STAKES AND GUYING FROM ALL TREES AFTER ONE YEAR FROM PLANTING.
- WATER THOROUGHLY TWICE IN FIRST 24 HOURS AND APPLY MULCH IMMEDIATELY.
- SITE TO BE 100% IRRIGATED IN ALL PLANTING BEDS AND GRASS AREA BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SEE IRRIGATION PLAN FOR DESIGN.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, AND REPAIRED OR REPLACED AS NEEDED.
- NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- CONTRACTOR SHALL USE CAUTION WHEN DIGGING TREE PITS IN THE VICINITY OF UNDERGROUND UTILITY LINES AND MAY NEED TO HAND DIG THE PITS IN MANY OF THESE INSTANCES.



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NO.	DATE	DESCRIPTION

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SHEET		
LANDSCAPE NOTES & DETAILS		
SHEET NUMBER		
L-102		

PRELIMINARY

PRELIMINARY
NOT FOR CONSTRUCTION

LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

DESCRIPTION

- PROVIDE TREES, SHRUBS, GROUND COVERS, SOD, AND ANNUALS/PERENNIALS AS SHOWN AND SPECIFIED ON THE LANDSCAPE PLAN. THE WORK INCLUDES:
1. SOIL PREPARATION.
 2. TREES, SHRUBS, GROUND COVERS, AND ANNUALS/PERENNIALS.
 3. PLANTING MIXES.
 4. TOP SOIL, MULCH AND PLANTING ACCESSORIES.
 5. MAINTENANCE.
 6. DECORATIVE STONE.

RELATED WORK:

1. IRRIGATION SYSTEM; SEE IRRIGATION SPECIFICATIONS (NOT INCLUDED IN PACKAGE).

QUALITY ASSURANCE

PLANT NAMES INDICATED; COMPLY WITH "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT LISTED CONFORM GENERALLY WITH NAMES ACCEPTED BY THE NURSERY TRADE. PROVIDE STOCK TRUE TO BOTANICAL NAME AND LEGIBLY TAGGED.

COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK." A PLANT SHALL BE DIMENSIONED AS IT STANDS IN ITS NATURAL POSITION.

ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS.

NURSERY STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL COST, AND PROVIDING THAT THE LARGER PLANTS WILL NOT BE CUT BACK TO THE MINIMUM SIZE INDICATED BY TWO MEASUREMENTS SO THAT ONLY A MAXIMUM OF 25% ARE OF THE MINIMUM SIZE INDICATED AND 75% ARE OF THE MAXIMUM SIZE INDICATED.

BEFORE SUBMITTING A BID, THE CONTRACTOR SHALL HAVE INVESTIGATED THE SOURCES OF SUPPLY AND BE SATISFIED THAT THEY CAN SUPPLY THE LISTED PLANTS IN THE SIZE, VARIETY AND QUALITY AS SPECIFIED. FAILURE TO TAKE THIS PRECAUTION WILL NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY FOR FURNISHING AND INSTALLING ALL PLANT MATERIALS IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS WITHOUT ADDITIONAL COST TO THE OWNER. THE LANDSCAPE ARCHITECT SHALL APPROVE ANY SUBSTITUTES OF PLANT MATERIAL, OR CHANGES IN PLANT MATERIAL, SIZE, PRIOR TO THE LANDSCAPE CONTRACTOR SUBMITTING A BID.

DELIVER, STORAGE AND HANDLING

TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKSMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED. SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APPROVED "ANTI-DESICCANT" IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK. PROTECT ALL PLANTS FROM DRYING OUT. IF PLANTS CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY, PROPERLY PROTECT THEM WITH SOIL, WET PEAT MOSS, OR IN A MANNER ACCEPTABLE TO THE LANDSCAPE ARCHITECT. WATER HEELED-IN PLANTINGS DAILY. NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES. COVER PLANTS TRANSPORTED ON OPEN VEHICLES WITH A PROTECTIVE COVERING TO PREVENT WIND BURN.

PROJECT CONDITIONS

PROTECT EXISTING UTILITIES, PAVING, AND OTHER FACILITIES FROM DAMAGE CAUSED BY LANDSCAPE OPERATIONS.

A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS ARE SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.

THE IRRIGATION SYSTEM WILL BE INSTALLED PRIOR TO PLANTING. LOCATE, PROTECT AND MAINTAIN THE IRRIGATION SYSTEM DURING PLANTING OPERATIONS. REPAIR IRRIGATION SYSTEM COMPONENTS DAMAGED DURING PLANTING OPERATIONS, AT THE CONTRACTOR'S EXPENSE. REFER TO THE IRRIGATION SPECIFICATIONS, IRRIGATION PLAN AND IRRIGATION DETAILS.

DO NOT BEGIN LANDSCAPE ACCESSORY WORK BEFORE COMPLETION OF FINAL GRADING OR SURFACING.

WARRANTY

WARRANT PLANT MATERIAL TO REMAIN ALIVE, BE HEALTHY AND IN A VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER COMPLETION AND FINAL ACCEPTANCE OF ENTIRE PROJECT.

REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR ARE IN AN UNHEALTHY, OR UNSIGHTLY CONDITION, AND HAVE LOST THEIR NATURAL SHAPE DUE TO THE BRANCHES, OR OTHER CAUSES DUE TO THE CONTRACTOR'S NEGLIGENCE. THE COST OF SUCH REPLACEMENT(S) IS AT THE CONTRACTOR'S EXPENSE. WARRANT ALL REPLACEMENT PLANTS FOR 1 YEAR AFTER INSTALLATION.

WARRANTY SHALL NOT INCLUDE DAMAGE, LOSS OF TREES, PLANTS, OR GROUND COVERS CAUSED BY FIRES, FLOODS, FREEZING RAINS, LIGHTNING STORMS, WINDS OVER 15 MILES PER HOUR, WINTER KILL CAUSED BY EXTREME COLD, SEVERE WINTER CONDITIONS NOT TYPICAL OF PLANTING AREA, AND/OR ACTS OF VANDALISM OR NEGLIGENCE ON A PART OF THE OWNER.

REMOVE AND IMMEDIATELY REPLACE ALL PLANTS, FOUND TO BE UNSATISFACTORY DURING THE INITIAL PLANTING INSTALLATION. MAINTAIN AND PROTECT PLANT MATERIAL, LAWNS, AND IRRIGATION UNTIL FINAL ACCEPTANCE IS MADE.

ACCEPTANCE

INSPECTION OF PLANTED AREAS WILL BE MADE BY THE OWNER'S REPRESENTATIVE.

1. PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN COMPLIED WITH AND PLANT MATERIALS ARE ALIVE AND IN A HEALTHY, VIGOROUS CONDITION.

UPON ACCEPTANCE, THE CONTRACTOR SHALL COMMENCE THE SPECIFIED PLANT MAINTENANCE.

CODES, PERMITS AND FEES

OBTAIN ANY NECESSARY PERMITS FOR THIS SECTION OF WORK AND PAY ANY FEES REQUIRED FOR PERMITS.

THE ENTIRE INSTALLATION SHALL FULLY COMPLY WITH ALL LOCAL AND STATE LAWS AND ORDINANCES, AND WITH ALL ESTABLISHED CODES APPLICABLE THERETO; ALSO AS ENACTED ON THE LANDSCAPE AND IRRIGATION CONSTRUCTION SET.

PART 2 - PRODUCTS

MATERIALS

PLANTS: PROVIDE TYPICAL OF THEIR SPECIES OR VARIETY, WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DISFIGURING KNOTS, SUN SCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL PLANTS SHALL HAVE A FULLY DEVELOPED FORM WITHOUT VOIDS AND OPEN SPACES. PLANTS HELD ON STORAGE WILL BE REJECTED IF THEY SHOW SIGNS OF GROWTH DURING THE STORAGE PERIOD.

1. BALLED AND PLANTS WRAPPED WITH BURLAP, TO HAVE FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK." CRACKED OR MUSHROOMED BALLS, OR SIGNS OF CIRCILING ROOTS ARE NOT ACCEPTABLE.
2. CONTAINER- GROWN STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
 - 2.1. NO PLANTS SHALL BE LOOSE IN THE CONTAINER.
 - 2.2. CONTAINER STOCK SHALL NOT BE POT BOUND.
 - 2.3. PLANTS PLANTED IN ROWS SHALL BE MATCHED IN FORM.
 - 2.4. PLANTS LARGER THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT.
 - 2.5. IF THE USE OF LARGER PLANTS IS ACCEPTABLE, INCREASE THE SPREAD OF ROOTS OR ROOT BALL IN PROPORTION TO THE SIZE OF THE PLANT.
 - 2.6. THE HEIGHT OF THE TREES, MEASURED FROM THE CROWN OF THE ROOTS TO THE TOP OF THE TOP BRANCH, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
 - 2.7. NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1" AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
 - 2.8. EVERGREEN TREES SHALL BE BRANCHED TO THE GROUND OR AS SPECIFIED IN PLANT LIST.
 - 2.9. SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
 - 2.10. THE MEASUREMENTS FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE HEIGHT OF THE TOP OF THE PLANT AND NOT THE LONGEST BRANCH.
 - 2.11. SINGLE STEMMED OR THIN PLANTS WILL NOT BE ACCEPTED.
 - 2.12. SIDE BRANCHES SHALL BE GENEROUS, WELL-TWIGGED, AND THE PLANT AS A WHOLE WELL-BUSHED TO THE GROUND.
 - 2.13. PLANTS SHALL BE IN A MOIST, VIGOROUS CONDITION, FREE FROM DEAD WOOD, BRUISES, OR OTHER ROOT OR BRANCH INJURIES.

ACCESSORIES

TOPSOIL: SHALL BE FERTILE, FRABLE, NATURAL, TOPSOIL, OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINABLE ARIAL SITE, REASONABLY FREE FROM CLAY, LUMPS, COARSE SANDS, STONES, ROCKS, STICKS, AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE OF BETWEEN PH 6.0 AND 8.6.

NOTE: ALL PLANTING AREAS SHALL BE CLEANED OF CONSTRUCTION DEBRIS (IE. CONCRETE, RUBBLE, STONES, BUILDING MATERIAL, ETC.) PRIOR TO ADDING AND SPREADING OF THE TOP SOIL.

1. SOD AREAS: SPREAD A MINIMUM 4" LAYER OF TOP SOIL AND RAKE SMOOTH.
2. PLANTING BED AREAS: SPREAD A MINIMUM 4" LAYER OF TOP SOIL AND RAKE SMOOTH.
3. LANDSCAPE ISLANDS/MEDIAN: FRACTURED/CROSSED EXISTING SUBGRADE TO A MINIMUM 24" DEPTH. REMOVE AND REPLACE ANY SUBGRADE UNSUITABLE FOR PLANTING. ONCE SUBGRADE IS CLEAN OF DEBRIS AND LOOSENED, ADD TOPSOIL TO A MINIMUM BERM 6"-8" HEIGHT ABOVE ISLAND CURBING.
4. ANNUAL/PERENNIAL BED AREAS: ADD A MINIMUM OF 4" ORGANIC MATTER AND TILL TO A MINIMUM 12" DEPTH.

MULCH: TYPE SELECTED DEPENDENT ON REGION AND AVAILABILITY; SEE LANDSCAPE PLANS FOR TYPE OF MUCH TO BE USED. HOLD MULCH 4" FROM TREE TRUNKS AND SHRUB STEMS.

1. HARDWOOD: 6 MONTH OLD WELL ROTTED DOUBLE SHREDDED NATIVE HARDWOOD BARK MULCH NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH. FREE OF WOOD CHIPS AND SAWDUST. INSTALL MINIMUM DEPTH OF 3".
2. PINE STRAW: PINE STRAW TO BE FRESH HARVEST, FREE OF DEBRIS, BRIGHT IN COLOR. BALES TO BE WIRED AND TIGHTLY BOUND. NEEDLES TO BE DRY. INSTALL MINIMUM DEPTH OF 3".
3. RIVER ROCK: (COLOR) LIGHT GRAY TO BUFF TO DARK BROWN, WASHED RIVER ROCK, 1" - 3" IN SIZE. INSTALL IN SHRUB BEDS TO AN EVEN DEPTH OF 3". WEED CONTROL BARRIER TO BE INSTALLED UNDER ALL ROCK MULCH AREAS. USE CAUTION DURING INSTALLATION NOT TO DAMAGE PLANT MATERIAL.
4. MINI NUGGETS: INSTALL TO A MINIMUM DEPTH OF 2"-3" AT ALL LOCATIONS OF ANNUAL AND PERENNIAL BEDS. LIFT THE STEMS AND LEAVES OF THE ANNUALS AND CAREFULLY SPREAD THE MULCH TO AVOID INJURING THE PLANTS. GENTLY BRUSH THE MULCH OFF THE PLANTS.

GUYNING/STAKING:

1. ARBORTREE GREEN (OR WHITE) STAKING AND GUYING MATERIAL TO BE FLAT, WOVEN, POLYPROPYLENE MATERIAL, 3/2" WIDE 900 LB. BREAK STRENGTH. ARBORTREE SHALL BE FASTENED TO STAKES IN A MANNER WHICH PERMITS TREE MOVEMENT AND SUPPORTS THE TREE.
2. REMOVE GUYING/STAKING AFTER ONE YEAR FROM PLANTING.

TREE WRAP: TREE WRAPS SHOULD BE USED ON YOUNG, NEWLY PLANTED THIN-BARKED TREES (CHERRY, CRABAPPLE, HONEY LOCUST, LINDEN, MAPLE, MOUNTAIN ASH, PLUM) THAT ARE MOST SUSCEPTIBLE TO SUN SCALD/WINTERBURN. STANDARD WATERPROOFED TREE WRAPPING PAPER 2-12" WIDE. MAKE OF 2 LAYERS OF CREPE DRIFT PAPER WEIGHING NOT LESS THAN 30 LBS. PER REAM, CEMENTED TOGETHER WITH ASPHALT. WRAP THE TREE IN THE FALL AND LEAVE THE WRAP IN PLACE THROUGHOUT THE WINTER AND EARLY SPRING. TREE WRAPS ARE TEMPORARY AND NO LONGER NEEDED ONCE TREES DEVELOP CORKY BARK.

PART 3 - EXECUTION

INSPECTION

PRIOR TO BEGINNING WORK, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOP SOIL PROVIDED BY THE GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS, AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.

PREPARATION

PLANTING SHALL BE PERFORMED ONLY BY EXPERIENCED WORKMEN FAMILAR WITH PLANTING PROCEDURES UNDER THE SUPERVISION OF A QUALIFIED SUPERVISOR.

LOCATE PLANTS AS INDICATED ON THE PLANS OR AS APPROVED IN THE FIELD AFTER STAKING BY THE LANDSCAPE CONTRACTOR. IF OBSTRUCTIONS ARE ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS, DO NOT PROCEED WITH PLANTING OPERATIONS UNTIL ALTERNATE PLANT LOCATIONS HAVE BEEN SELECTED AND APPROVED BY THE LANDSCAPE ARCHITECT. SPACING OF PLANT MATERIAL SHALL BE AS SHOWN ON THE LANDSCAPE PLAN.

EXCAVATE CIRCULAR PLANT PITS WITH VERTICAL SIDES, EXCEPT FOR PLANTS SPECIFICALLY INDICATED TO BE PLANTED IN BEDS. PROVIDE SHRUB PITS AT LEAST 12" GREATER THAN THE DIAMETER OF THE ROOT SYSTEM AND 24" GREATER FOR TREES. DEPTH OF PIT SHALL ACCOMMODATE THE ROOT SYSTEM. PROVIDE UNDISTURBED SUB GRADE TO HOLD ROOT BALL AT NURSERY GRADE AS SHOWN ON THE DRAWINGS.

INSTALLATION

SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE AND ALIGNMENT. SET PLANTS UPRIGHT, PLUMB, AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO EACH OTHER OR ADJACENT STRUCTURE. SET PLANT MATERIAL 2" - 3" ABOVE THE FINISH GRADE. NO FILLING WILL BE PERMITTED AROUND TRUNKS OR STEMS. BACKFILL THE PIT WITH TOPSOIL MIX AND EXCAVATED MATERIAL. DO NOT USE FROZEN OR MUDDY MIXTURES FOR BACKFILLING. FORM A RING OF SOIL AROUND THE EDGE OF EACH PLANTING PIT TO RETAIN WATER.

AFTER BALLED AND WRAPPED IN BURLAP PLANTS ARE SET, MIDDLE PLANTING SOIL MIXTURE AROUND BASES OF BALLS AND FILL ALL VOIDS.

1. REMOVE ALL BURLAP, ROPES, AND WIRES FROM THE TOP 1/3 OF THE ROOT BALL.

SPACE GROUND COVER PLANTS IN ACCORDANCE WITH INDICATED DIMENSIONS. ADJUST SPACING AS NECESSARY TO EVENLY FILL PLANTING BED WITH INDICATED QUANTITY OF PLANTS. PLANT TO WITHIN 24" OF THE TRUNKS OF TREES AND SHRUBS WITHIN PLANTING BED AND TO WITHIN 18" OF EDGE OF BED.

MULCHING:

1. MULCH TREE AND SHRUB PLANTING PITS AND SHRUB BEDS WITH REQUIRED MULCHING MATERIAL (SEE LANDSCAPE PLAN FOR MULCH TYPE); DEPTH OF MULCH AS NOTED ABOVE. HOLD MULCH BACK 4" AWAY FROM TREE TRUNKS AND SHRUB STEMS. THOROUGHLY WATER MULCH AREAS. AFTER WATERING, RAKE MULCH TO PROVIDE A UNIFORM FINISHED SURFACE.

DECORATIVE STONE: (WHERE INDICATED ON LANDSCAPE PLAN)

1. INSTALL WEED CONTROL BARRIER OVER SUB-GRADE PRIOR TO INSTALLING STONE. LAP 6" ON ALL SIDES.
2. PLACE STONE WITHOUT DAMAGING WEED BARRIER.
3. ARRANGE STONES FOR BEST APPEARANCE AND TO COVER ALL WEED BARRIER FABRIC.

WRAPPING, GUYING, STAKING:

1. INSPECT TREES FOR INJURY TO TRUNKS, EVIDENCE OF INSECT INFESTATION, AND IMPROPER PRUNING BEFORE WRAPPING.
2. WRAPPING:
 - 2.1. WRAP TRUNKS OF ALL YOUNG NEWLY PLANTED TREES KNOWN TO HAVE THIN BARK. WRAP SPIRALLY FROM BOTTOM TO TOP WITH SPECIFIED TREE WRAP AND SECURE IN PLACE.
 - 2.2. OVERLAP 1/2 THE WIDTH OF THE TREE WRAP STRIP AND COVER THE TRUNK FROM THE GROUND TO THE HEIGHT OF THE SECOND BRANCH.
 - 2.3. SECURE TREE WRAP IN PLACE WITH TWINE WOUND SPIRALLY DOWNWARD IN THE OPPOSITE DIRECTION, TIED AROUND THE TREE IN AT LEAST 3 PLACES IN ADDITION TO THE TOP AND BOTTOM.
3. WRAP THE TREES IN THE FALL AND LEAVE THE WRAP IN PLACE THROUGHOUT THE WINTER AND EARLY SPRING.
- 3.5. TREE WRAPS ARE TEMPORARY AND NO LONGER NEEDED ONCE THE TREES DEVELOP CORKY BARK.
3. STAKING/GUYING:
 - 3.1. STAKE/GUY ALL TREES IMMEDIATELY AFTER LAWN SODDING OPERATIONS AND PRIOR TO ACCEPTANCE.
 - 3.2. STAKE DECIDUOUS TREES 2" CALIPER AND LESS. STAKE EVERGREEN TREES UNDER 7'-0" TALL.
 - 3.2.1. STAKES ARE PLACED IN LINE WITH PREVAILING WIND DIRECTION AND DRIVEN INTO UNDISTURBED SOIL.
 - 3.2.2. TIES ARE ATTACHED TO THE TREE AS HIGH AS PRACTICAL.
 - 3.3. GUY DECIDUOUS TREES OVER 2" CALIPER. GUY EVERGREEN TREES 7'-0" TALL AND OVER.
 - 3.3.1. GUY WIRES TO BE ATTACHED TO THREE STAKES DRIVEN INTO UNDISTURBED SOIL, WITH ONE STAKE PLACED IN THE DIRECTION OF THE PREVAILING WIND.
 - 3.3.2. TIES ARE ATTACHED TO THE TREE AS HIGH AS PRACTICAL.
 - 3.3.3. THE AXIS OF THE STAKE SHOULD BE AT 90 DEGREE ANGLE TO THE AXIS ON THE PULL OF THE GUY WIRE.
4. REMOVE ALL GUYING AND STAKING AFTER ONE YEAR FROM PLANTING.

PRUNING:

1. PRUNE DECIDUOUS TREES AND EVERGREENS ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.

WORKSMANSHIP

DURING LANDSCAPE/IRRIGATION INSTALLATION OPERATIONS, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING STRUCTURES. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER TO THE OPERATORS, THE OCCUPANTS AND ANY PEDESTRIANS.

UPON COMPLETION OF INSTALLATION OPERATIONS, ALL EXCESS MATERIALS, EQUIPMENT, DEBRIS AND WASTE MATERIAL SHALL BE CLEANED UP AND REMOVED FROM THE SITE, UNLESS PROVISIONS HAVE BEEN GRANTED BY THE OWNER TO USE ON-SITE TRASH RECEPTACLES. SWEEP PARKING AND WALKS CLEAN OF DIRT AND DEBRIS. REMOVE ALL PLANT TAGS AND OTHER DEBRIS FROM LAWNS AND PLANTING AREAS.

ANY DAMAGE TO THE LANDSCAPE, THE STRUCTURE, OR THE IRRIGATION SYSTEM CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR WITHOUT CHARGE TO THE OWNER.

MAINTENANCE

CONTRACTOR SHALL PROVIDE MAINTENANCE UNTIL WORK HAS BEEN ACCEPTED BY THE OWNER'S REPRESENTATIVE.

MAINTENANCE SHALL INCLUDE MOWING, FERTILIZING, MULCHING, PRUNING, CULTIVATION, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS AND LAWN FREE OF INSECTS AND DISEASE.

1. RE-SET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
2. REPAIR GUY WIRES AND STAKES AS REQUIRED. REMOVE ALL STAKES AND GUY WIRES AFTER 1 YEAR.
3. CORRECT DEFICIENCIES AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON PERMIT.
4. WATER TREES, PLANTS AND GROUND COVER BEDS WITHIN THE FIRST 24 HOURS OF INITIAL PLANTING, AND NOT LESS THAN PER WEEK UNTIL FINAL ACCEPTANCE.

LANDSCAPE MAINTENANCE SPECIFICATIONS

THE CONTRACTOR SHALL PROVIDE AS A SEPARATE BID, MAINTENANCE FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF THE PROJECT LANDSCAPING. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER OR PROVIDE THE NAME OF A REPUTABLE LANDSCAPE CONTRACTOR WHO CAN PROVIDE MAINTENANCE.

STANDARDS

ALL LANDSCAPE MAINTENANCE SERVICES SHALL BE PERFORMED BY TRAINED PERSONNEL USING CURRENT, ACCEPTABLE HORTICULTURAL PRACTICES.

ALL WORK SHALL BE PERFORMED IN A MANNER THAT MAINTAINS THE ORIGINAL INTENT OF THE LANDSCAPE DESIGN.

ALL CHEMICAL APPLICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT COUNTY, STATE AND FEDERAL LAWS. USING EPA REGISTERED MATERIALS AND METHODS OF APPLICATION. THESE APPLICATIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED CERTIFIED APPLICATOR.

APPROVALS

ANY WORK PERFORMED IN ADDITION TO THAT WHICH IS OUTLINED IN THE CONTRACT SHALL ONLY BE DONE UPON WRITTEN APPROVAL BY THE OWNER'S REPRESENTATIVE (GENERAL MANAGER OF THE RESTAURANT).

ALL SEASONAL COLOR SELECTIONS SHALL BE APPROVED BY THE GENERAL MANAGER PRIOR TO ORDERING AND INSTALLATION.

SOIL TESTING

THE MAINTENANCE CONTRACTOR SHALL PERFORM SOIL TESTS AS NEEDED TO IDENTIFY IMBALANCES OR DEFICIENCIES CAUSING PLANT MATERIAL DECLINE. THE OWNER SHALL BE NOTIFIED OF THE RECOMMENDATION FOR APPROVAL, AND THE NECESSARY CORRECTIONS MADE AT AN ADDITIONAL COST TO THE OWNER.

ACCEPTABLE SOIL TEST RESULTS

	LANDSCAPE TREES AND SHRUBS	TURF
pH RANGE	5.0 - 7.0	6.0 - 7.0
ORGANIC MATTER	> 1.5%	> 2.5%
MAGNESIUM (Mg)	100+ LBS/ACRE	100+ LBS/ACRE
PHOSPHORUS (P2O5)	150+ LBS/ACRE	150+ LBS/ACRE
POTASSIUM (K2O)	120+ LBS/ACRE	120+ LBS/ACRE
SOLUBLE SALTS/ CONDUCTIVITY	NOT TO EXCEED 900PPM/1.9MMHOS/CM IN SOIL. NOT TO EXCEED 1400 PPM/2.5 MMHOS/CM IN HIGH ORGANIC MIX.	NOT TO EXCEED 900PPM/1.9MMHOS/CM IN SOIL. NOT TO EXCEED 1400 PPM/2.5 MMHOS/CM IN HIGH ORGANIC MIX.

WORKSMANSHIP

DURING LANDSCAPE MAINTENANCE OPERATIONS, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING STRUCTURES. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER TO THE OPERATORS, THE OCCUPANTS AND ANY PEDESTRIANS.

UPON COMPLETION OF MAINTENANCE OPERATIONS, ALL DEBRIS AND WASTE MATERIAL SHALL BE CLEANED UP AND REMOVED FROM THE SITE, UNLESS PROVISIONS HAVE BEEN GRANTED BY THE OWNER TO USE ON-SITE TRASH RECEPTACLES.

ANY DAMAGE TO THE LANDSCAPE, THE STRUCTURE, OR THE IRRIGATION SYSTEM CAUSED BY THE MAINTENANCE CONTRACTOR, SHALL BE REPAIRED BY THE MAINTENANCE CONTRACTOR WITHOUT CHARGE TO THE OWNER.

TURF

GENERAL CLEAN UP

PRIOR TO MOWING, ALL TRASH, STICKS, AND OTHER UNWANTED DEBRIS SHALL BE REMOVED FROM LAWNS, PLANT BEDS, AND PAVED AREAS.

MOWING

WARM SEASON GRASSES (IE. BERMUODA GRASS) SHALL BE MAINTAINED AT A HEIGHT OF 1" TO 2" DURING THE GROWING SEASON.

COOL SEASON GRASSES, INCLUDING BLUE GRASS, TALL FESCUE, PERENNIAL RYEGRASS, ETC., SHALL BE MAINTAINED AT A HEIGHT OF 2" TO 3" IN SPRING AND FALL. FROM JUNE THROUGH SEPTEMBER, MOWING HEIGHT SHALL BE MAINTAINED AT NO LESS THAN 3".

THE MOWING OPERATION INCLUDES TRIMMING AROUND ALL OBSTACLES, RAKING EXCESSIVE GRASS CLIPPINGS AND REMOVING DEBRIS FROM WALKS, CURBS, AND PARKING AREAS. CAUTION: WEED EATERS SHOULD NOT BE USED AROUND TREES BECAUSE OF POTENTIAL DAMAGE TO THE BARK.

EDGING

EDGING OF ALL SIDEWALKS, CURBS AND OTHER PAVED AREAS SHALL BE PERFORMED ONCE EVERY OTHER MOWING. DEBRIS FROM THE EDGING OPERATIONS SHALL BE REMOVED AND THE AREAS SWEEP CLEAN. CAUTION SHALL BE USED TO AVOID FLYING DEBRIS.

LIMING & FERTILIZING

A SOIL TEST SHALL BE TAKEN TO DETERMINE WHETHER AN APPLICATION OF LIMESTONE IN LATE FALL IS NECESSARY. IF LIMESTONE IS REQUIRED, THE LANDSCAPE CONTRACTOR SHALL SPECIFY THE RATE, OBTAIN APPROVAL FROM THE OWNER AND APPLY IT AT AN ADDITIONAL COST. A UNIT PRICE FOR LIMING OF TURF SHALL ACCOMPANY THE BID BASED ON A RATE OF 50 POUNDS PER 1000 SQUARE FEET.

FERTILIZER SHALL BE APPLIED IN AREAS BASED ON THE EXISTING TURF SPECIES.

LAWN WEED CONTROL: HERBICIDES

SELECTION AND PROPER USE OF HERBICIDES SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY. ALL CHEMICAL APPLICATIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED CERTIFIED APPLICATOR. READ THE LABEL PRIOR TO APPLYING ANY CHEMICAL.

INSECT & DISEASE CONTROL FOR TURF

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE SITE CONDITIONS ON EACH VISIT TO DETERMINE IF ANY INSECT PEST OR DISEASE PROBLEMS EXIST. THE CONTRACTOR SHALL IDENTIFY THE INSECT PEST OR DISEASE, AS WELL AS THE HOST PLANT, AND THEN CONSULT THE MOST CURRENT EDITION OF THE COOPERATIVE EXTENSION SERVICE'S "COMMERCIAL INSECTICIDE RECOMMENDATION FOR TURF" FOR CONTROL. THE LICENSED APPLICATOR SHALL BE FAMILIAR WITH THE LABEL PROVIDED FOR THE SELECTED PRODUCT PRIOR TO APPLICATION.

INSPECTION AND TREATMENT TO CONTROL INSECT PESTS SHALL BE INCLUDED IN THE CONTRACT PRICE.

TREES, SHRUBS, & GROUND COVER

PRUNING

ALL ORNAMENTAL TREES, SHRUBS AND GROUND COVER SHALL BE PRUNED WHEN APPROPRIATE TO REMOVE DEAD OR DAMAGED BRANCHES. DEVELOP THE NATURAL SHAPES. DO NOT SHEAR TREES OR SHRUBS. IF PREVIOUS MAINTENANCE PRACTICE HAS BEEN TO SHEAR AND BALL, THEN A NATURAL SHAPE WILL BE RESTORED GRADUALLY.

PRUNING GUIDELINES:

1. PRUNE THOSE THAT FLOWER BEFORE THE END OF JUNE IMMEDIATELY AFTER FLOWERING. FLOWER BUDS DEVELOP DURING THE PREVIOUS GROWING SEASON. FALL, WINTER OR SPRING PRUNING WOULD REDUCE THE SPRING FLOWERING DISPLAY.
2. PRUNE THOSE THAT FLOWER IN SUMMER OR AUTUMN IN WINTER OR SPRING BEFORE NEW GROWTH BEGINS, SINCE THESE PLANTS DEVELOP FLOWERS ON NEW GROWTH.

3. DELAY PRUNING PLANTS GROWN FOR ORNAMENTAL FRUITS, SUCH AS COTONEASTERS, PYRACANTHAS AND VIBURNUMS.
4. HOLLIES AND OTHER EVERGREENS MAY BE PRUNED DURING WINTER IN ORDER TO USE THEIR BRANCHES FOR SEASONAL DECORATION. HOWEVER, SEVERE PRUNING OF EVERGREENS SHOULD BE DONE IN EARLY SPRING ONLY.
5. BROADLEAF EVERGREEN SHRUBS SHALL BE HAND-PRUNED TO MAINTAIN THEIR NATURAL APPEARANCE AFTER THE NEW GROWTH HARDENS OFF.
6. HEDGES OR SHRUBS THAT REQUIRE SHEARING TO MAINTAIN A FORMAL APPEARANCE SHALL BE PRUNED AS REQUIRED. DEAD WOOD SHALL BE REMOVED FROM SHEARED PLANTS BEFORE THE NEXT SHEARING OF THE SEASON.
7. CONIFERS SHALL BE PRUNED, IF REQUIRED, ACCORDING TO THEIR GENUS.
 - 7.1. YEW, JUNIPERS, HEMLOCKS, ARBORVITAE, AND FALSE-CYPRESS MAY BE PRUNED AFTER NEW GROWTH HAS HARDENED OFF IN LATE SUMMER. IF SEVERE PRUNING IS NECESSARY, IT MUST BE DONE IN EARLY SPRING.
 - 7.2. FIRS AND SPRUCES MAY BE LIGHTLY PRUNED IN LATE SUMMER, FALL, OR WINTER AFTER COMPLETING GROWTH. LEAVE SIDE BUDS. NEVER CUT CENTRAL LEADER.
 - 7.3. PINES MAY BE LIGHTLY PRUNED IN EARLY JUNE BY REDUCING CANDLES.
8. GROUNDCOVER SHALL BE PRUNED AND PRUNED AS NEEDED TO CONTAIN IT WITHIN ITS BORDERS.
9. THINNING: REMOVE BRANCHES AND WATER SPROUTS BY CUTTING THEM BACK TO THEIR POINT OF ORIGIN ON PARENT STEMS. THIS METHOD RESULTS IN A MORE OPEN PLANT, WITHOUT STIMULATING EXCESSIVE GROWTH. THINNING IS USED ON CREPE MYRTLES, LILACS, VIBURNUMS, SMOKE BUSH, ETC.
10. PLANT BRANCH REMOVAL: REMOVE OLDEST BRANCHES OF SHRUB AT GROUND, LEAVING THE YOUNGER, MORE VIGOROUS BRANCHES. NEVER REMOVE WEAK STEMS. ON OVERGROWN PLANTS, THIS METHOD MAY BE BEST DONE OVER A THREE-YEAR PERIOD. RENEWAL PRUNING MAY BE USED ON ABELIA, FORSYTHIA, DEUTZIA, SPIREA, ETC.

PLANTS OVERHANGING PASSAGEWAYS AND PARKING AREAS AND DAMAGED PLANTS SHALL BE PRUNED AS NEEDED.

SHADE TREES THAT CANNOT BE ADEQUATELY PRUNED FROM THE GROUND SHALL NOT BE INCLUDED IN THE MAINTENANCE CONTRACT. A CERTIFIED ARBORIST UNDER A SEPARATE CONTRACT SHALL PERFORM THIS TYPE OF WORK.

SPRING CLEANUP

PLANT BEDS SHALL RECEIVE A GENERAL CLEANUP BEFORE FERTILIZING AND MULCHING. CLEANUP INCLUDES REMOVING DEBRIS AND TRASH FROM BEDS AND CUTTING BACK HERBACEOUS PERENNIALS LEFT STANDING THROUGH WINTER, E.G. ORNAMENTAL GRASSES, SEDUM AUTUMN JOY.

FERTILIZING

FOR TREES, THE RATE OF FERTILIZATION DEPENDS ON THE TREE SPECIES, TREE VIGOR, AREA AVAILABLE FOR FERTILIZATION, AND GROWTH STAGE OF THE TREE. MATURE SPECIMENS BENEFIT FROM FERTILIZATION EVERY 3 TO 4 YEARS; YOUNGER TREES SHALL BE FERTILIZED MORE OFTEN DURING RAPID GROWTH STAGES.

THE CURRENT RECOMMENDATION IS BASED ON THE RATE OF 1000 SQUARE FEET OF AREA UNDER THE TREE TO BE FERTILIZED. FOR DECIDUOUS TREES, 2 TO 6 POUNDS OF NITROGEN PER 1000 SQUARE FEET; FOR NARROW-LEAF EVERGREENS, 1 TO 4 POUNDS OF NITROGEN PER 1000 SQUARE FEET; FOR BROAD-LEAF EVERGREENS, 1 TO 3 POUNDS OF NITROGEN PER 1000 SQUARE FEET.

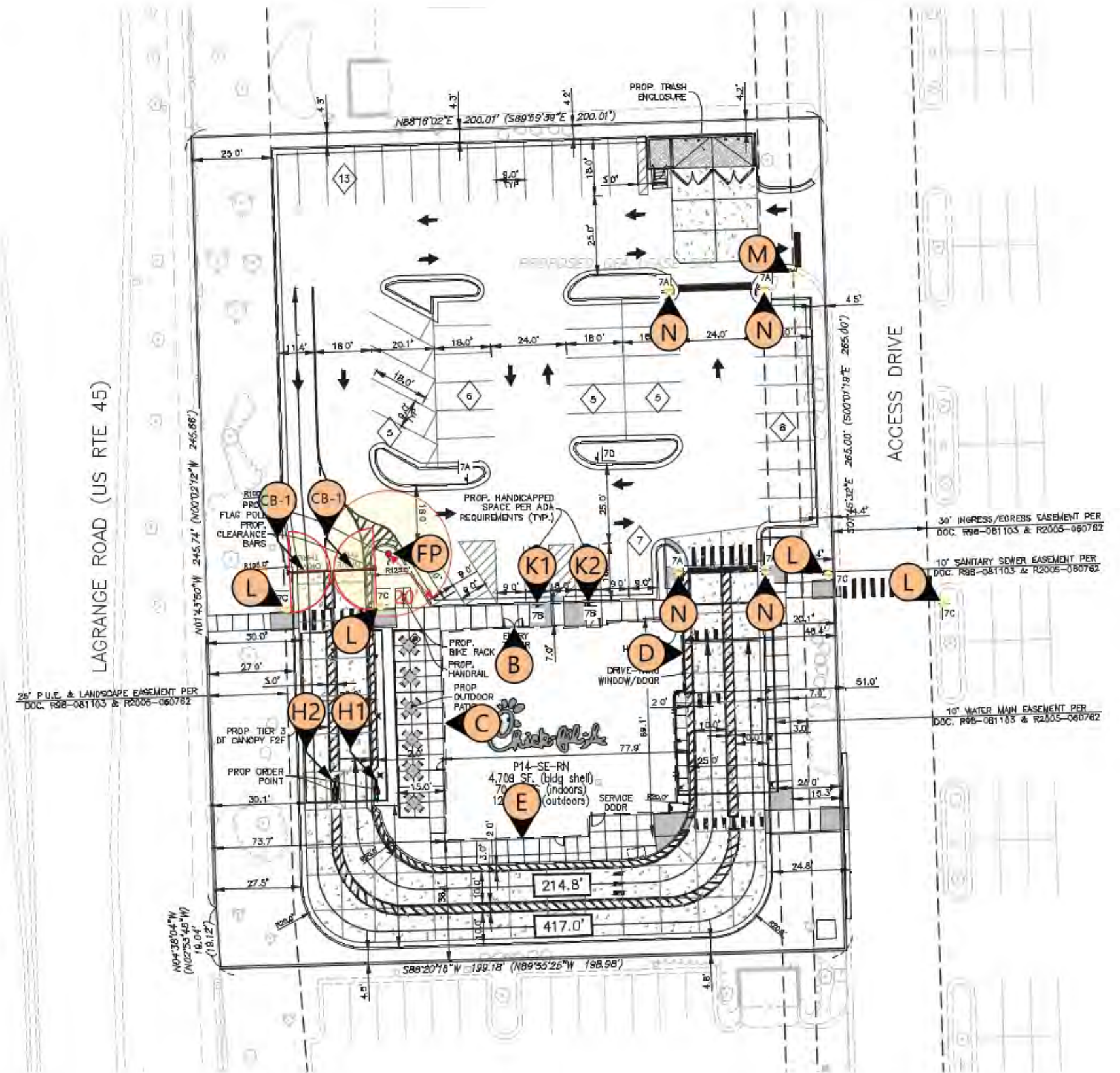
SHRUBS AND GROUNDCOVER SHALL BE TOP-DRESSED WITH COMPOST 1" DEEP, OR FERTILIZED ONCE IN MARCH WITH 10-6-4 ANALYSIS FERTILIZER AT THE RATE OF 3 POUNDS PER 100 SQUARE FEET OF BED AREA. ERICACEOUS MATERIAL SHALL BE FERTILIZED WITH AN ERICACEOUS FERTILIZER AT THE MANUFACTURER'S RECOMMENDATION RATE. IF PLANTS ARE GROWING POORLY, A SOIL SAMPLE SHOULD BE TAKEN.

MULCHING

ANNUALLY, ALL TREE AND SHRUB BEDS WILL BE PREPARED AND MULCHED, TO A MINIMUM DEPTH OF 3" WITH QUALITY MULCH TO MATCH EXISTING. BED PREPARATION SHALL INCLUDE REMOVING ALL WEEDS, CLEANING UP SAID BED, EDGING AND CULTIVATING DECEASED MULCH INTO THE SOIL. DEBRIS FROM EDGING IS TO BE REMOVED FROM BEDS' SURFACES WHERE APPLICABLE. IF DEEMED NECESSARY, A PRE-EMERGENT HERBICIDE MAY BE APPLIED TO THE SOIL TO INHIBIT THE GROWTH OF FUTURE WEEDS.

Item	Description	Qty	Sign Area	Allowed
B	Wall Sign - Script 5.0' (red)	1	58.75	BELOW
C	Wall Sign - Script 5.0' (red)	1	58.75	BELOW
D	Wall Sign - Channel Icon 6.0'	1	36.00	BELOW
E	Wall Sign - Script 5.0' (red)	1	58.75	BELOW
Aggregate Totals			98.62	83.79

Item	Description	Qty
K1	DOT - Handicapped Parking	1
K2	DOT - Handicapped Parking (Van)	1
L	DOT - Pedestrian Sign	4
M	DOT - Stop (30")	1
N	DOT - Stop / Do Not Enter	4
H1-H2	Menu Board (Lane 1 and 2)	2
CB-1	Clearance Bar (single) 13.00'	2
FP	Flag pole (50')	1



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Lake City, GA 30260
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SITE PLAN

DRAWING FILE: CFA - FRANKFORT, IL SIGNAGE.CDR

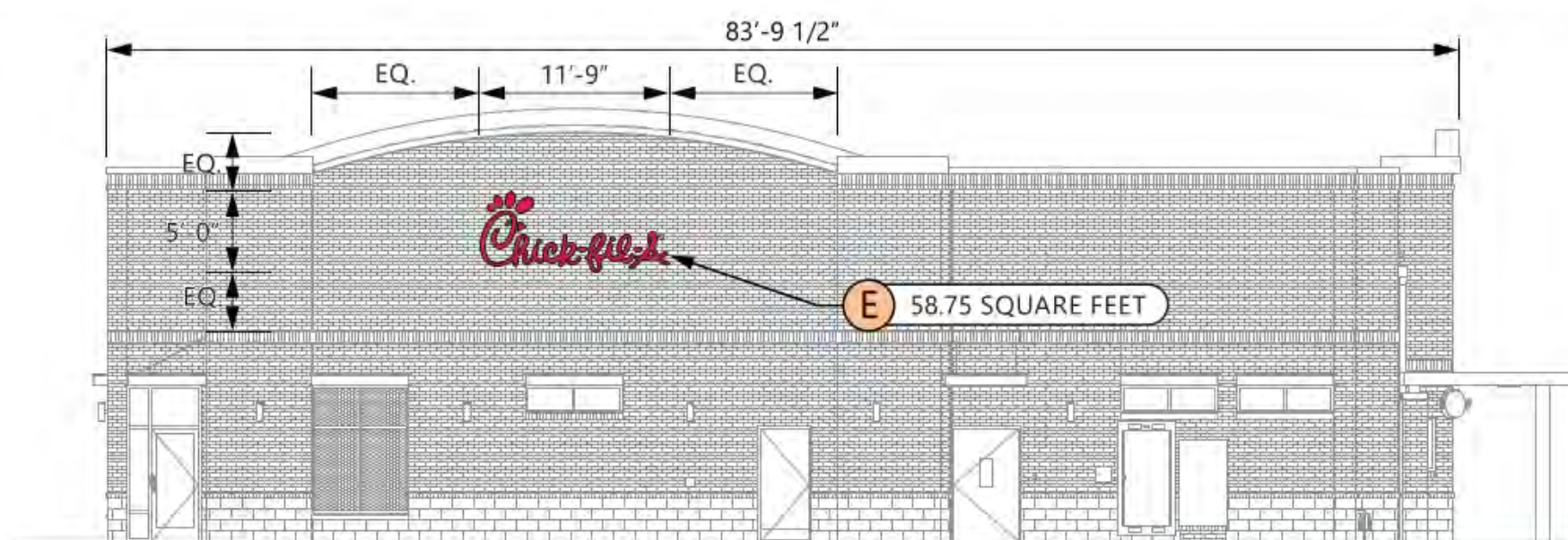
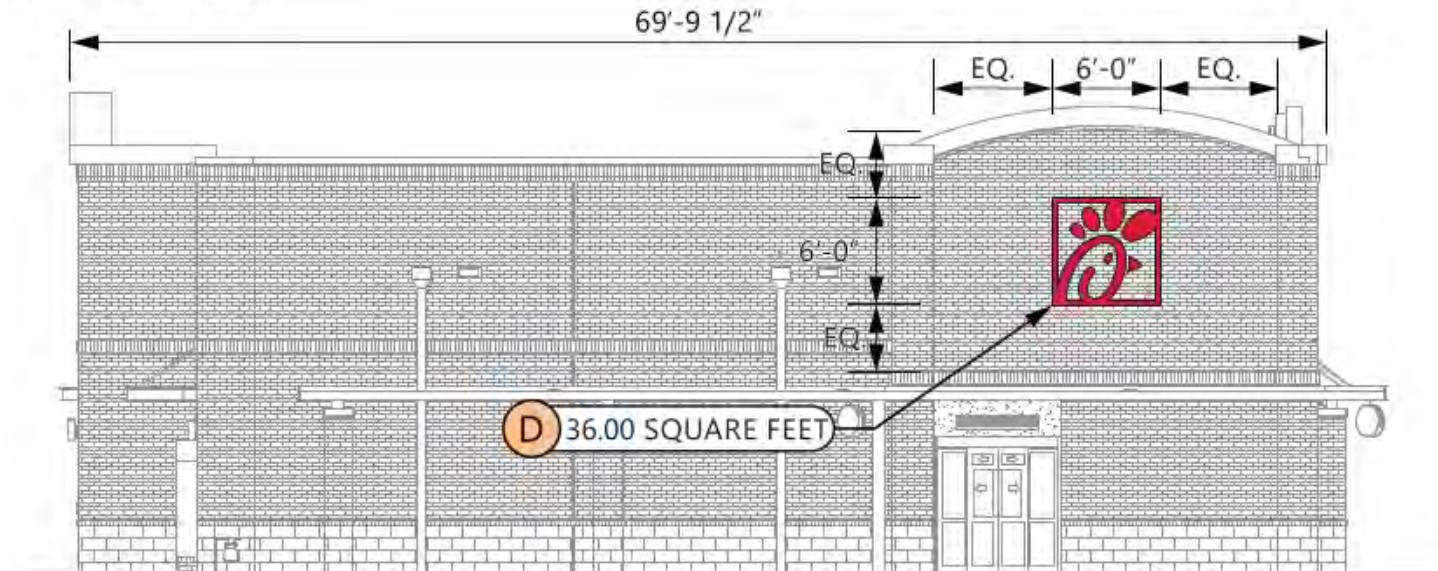
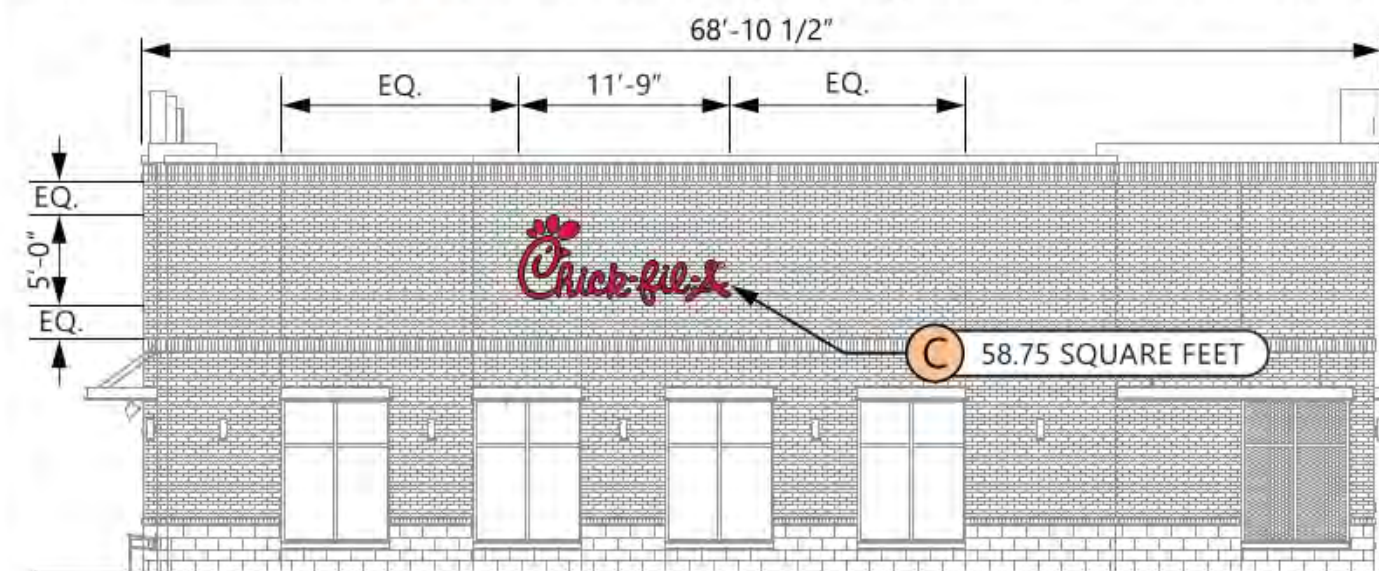
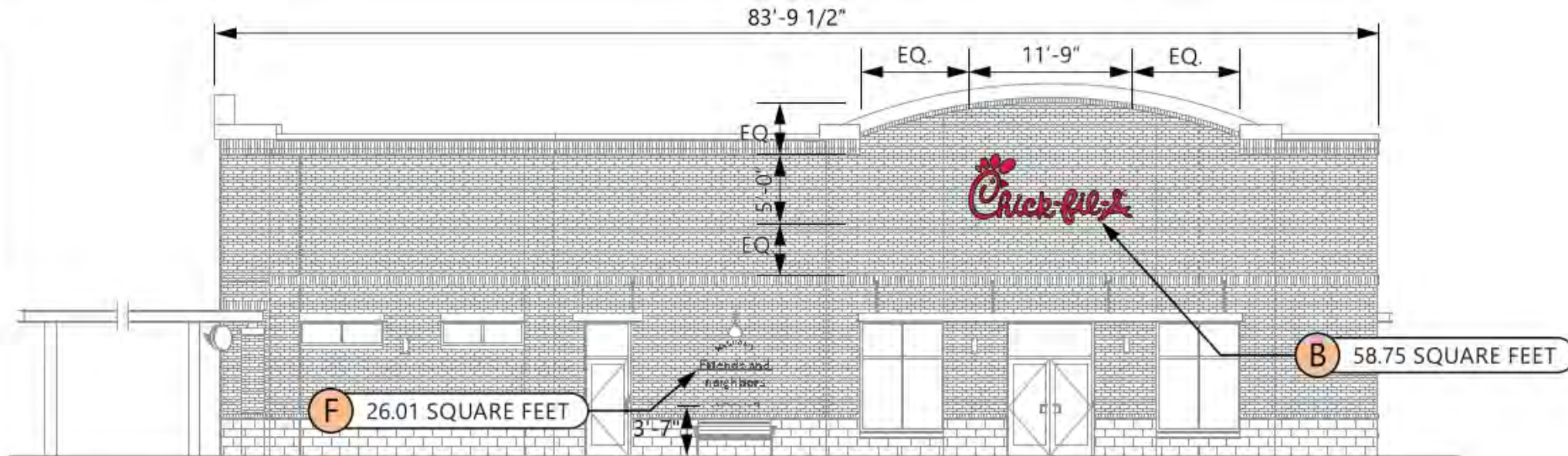
ALL ELECTRICAL
SIGNS ARE
120 VOLTS
UNLESS
OTHERWISE INDICATED

DRAWN BY: Ben Holliday
ACCOUNT REP: Ben Holliday
DRAWING DATE: March 18, 2024
REVISION DATE: May 7, 2024

STORE NUMBER	STORE ADDRESS
L05669	Chick-fil-A at Frankfort, IL 20091 S La Grange Rd Frankfort, IL 60423

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SITE
PLAN



ELEVATIONS

SCALE - 3/32" = 1'-0"

ELEVATIONS

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BUILDING
ELEVATIONS



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2023 P14 SE RN Brick

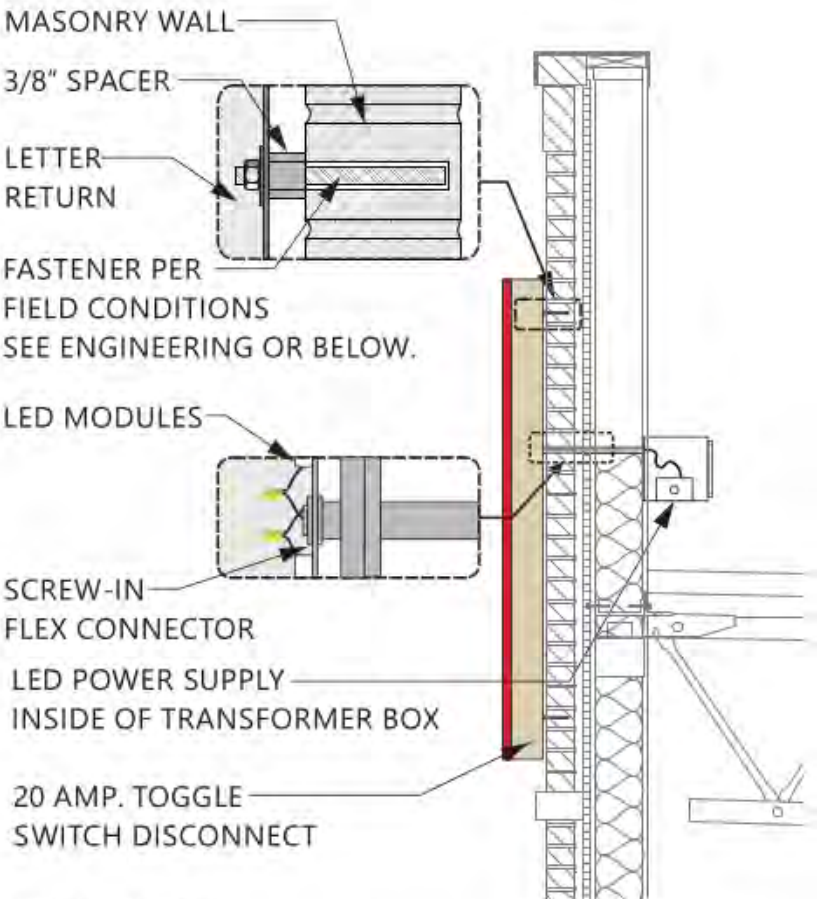
SPECIFICATIONS

CHICK-FIL-A SCRIPT LETTERS
LETTERS ARE LED-ILLUMINATED
CHANNEL LETTERS MOUNTED
ON ALUMINUM SURFACE OF BUILDING
WITH TRANSFORMERS REMOTELY
LOCATED BEHIND THE WALL IN
UL APPROVED TRANSFORMER BOXES.
FACES ARE 3/16" ACRYLIC
RETURNS ARE .063 ALUMINUM
BACKS ARE .080 ALUMINUM
ALL RETURNS ARE ARC-WELDED TO
LETTER BACKS

- CHANNEL LETTER FACES
2793 RED ACRYLIC
TRIMCAP RETAINER-
1" RED JEWELITE TRIMCAP
- ALUMINUM RETURNS
PAINTED TO MATCH
SHERWIN WILLIAMS
SW6108 LATTE



ELEVATION
SCALE - 1/2" = 1'- 0"



FASTENER NOTE:
USE 18-8 STAINLESS STEEL BOLTS W/ SPACERS THRU EIFS.
EXPANSION BOLTS IN CONCRETE OR BRICK WALLS.
TOGGLE BOLTS IN CONCRETE BLOCK OR PANEL WALLS.
TEK SCREWS IN METAL STUDS. LAG-BOLTS IN WOOD STUDS.
ALL THREAD BOLTS WITH BLOCKING BETWEEN STUDS.

CROSS-SECTION
SCALE - 1/2" = 1'- 0"



CLAYTON
Signs
50 YEARS
1974-2024

CHANNEL LETTERS (RED ILLUMINATION)

LED's
JTSLS016R-0.4 RED LED
POWER SUPPLY
BL-120-12-60 POWER SUPPLY



CONNECT THE AC LINE TO THE
BLACK (LINE) AND WHITE
(NEUTRAL) INPUT WIRES OF THE
POWER SUPPLY USING 18-14 AWG
TWIST ON WIRE CONNECTORS.
GROUND POWER SUPPLY GROUND
WIRE TO GROUNDING SCREW.
REPLACE JUNCTION BOX COVER.

WET LOCATION

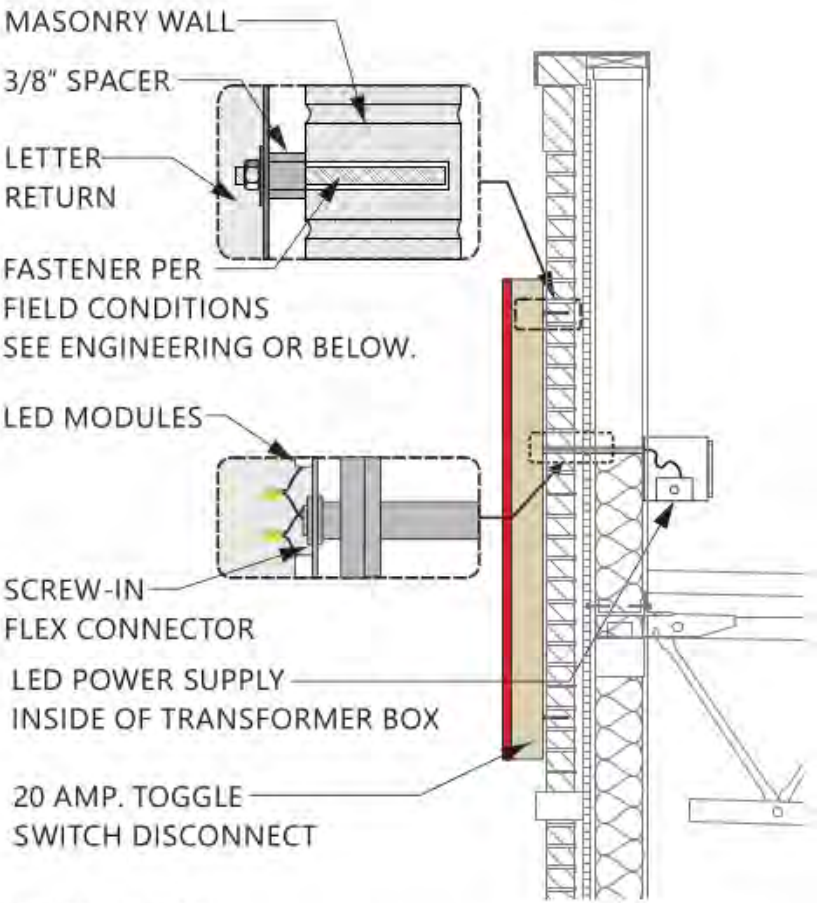


THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN.

SPECIFICATIONS

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SPECIFICATIONS

FLAT CUT-OUT ALUMINUM LETTERS, 1/2" THICK, PIN-MOUNTED TO WALL.

COLORS



MATTHEWS PAINT
EQUUS BRONZE METALLIC
MP20181



ELEVATION
SCALE - 1" = 1'- 0"

FONTS -
 APERCU BOLD
 CAECILIA COM 85 HEAVY



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WELCOME WALL SIGN
 DIMENSIONAL GRAPHICS

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STORE NUMBER	STORE ADDRESS
L05669	Chick-fil-A at Frankfort, IL 20091 S La Grange Rd Frankfort, IL 60133

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LOCATION
 F

SPECIFICATIONS

ALUMINUM CONSTRUCTION CABINETS
WITH DIGITAL DISPLAY BOARDS
WITH STATIC IMAGES

MENU BOARDS FURNISHED
BY COATES GROUP AND
INSTALLED BY HONOR BUILT

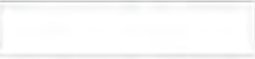
MENU BOARD COLUMN AND FRAMING
FURNISHED AND INSTALLED BY
PATTISON SIGN GROUP

ANCHOR CAGES AND FOOTINGS
FURNISHED AND INSTALLED BY
CLAYTON SIGNS

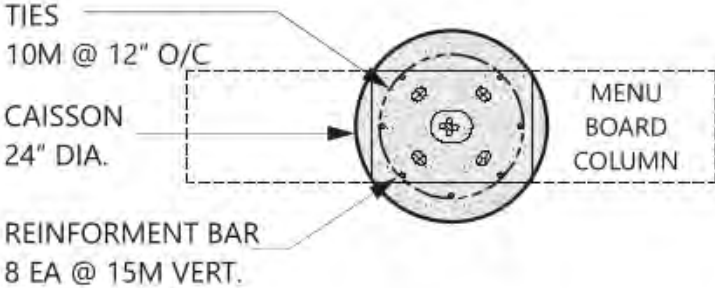
COLORS



CHICK-FIL-A DARK BRONZE

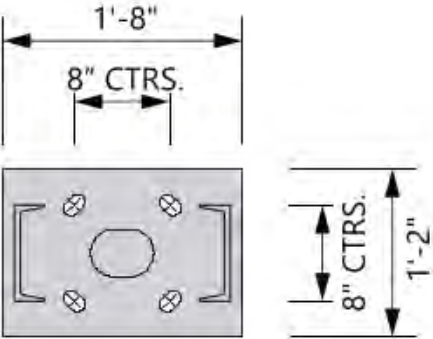


WHITE REFLECTIVE VINYL FILM



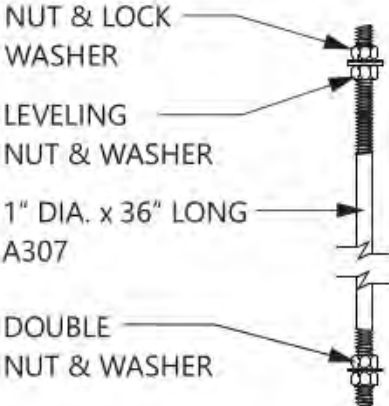
PLAN VIEW

SCALE - 1/2" = 1'- 0"



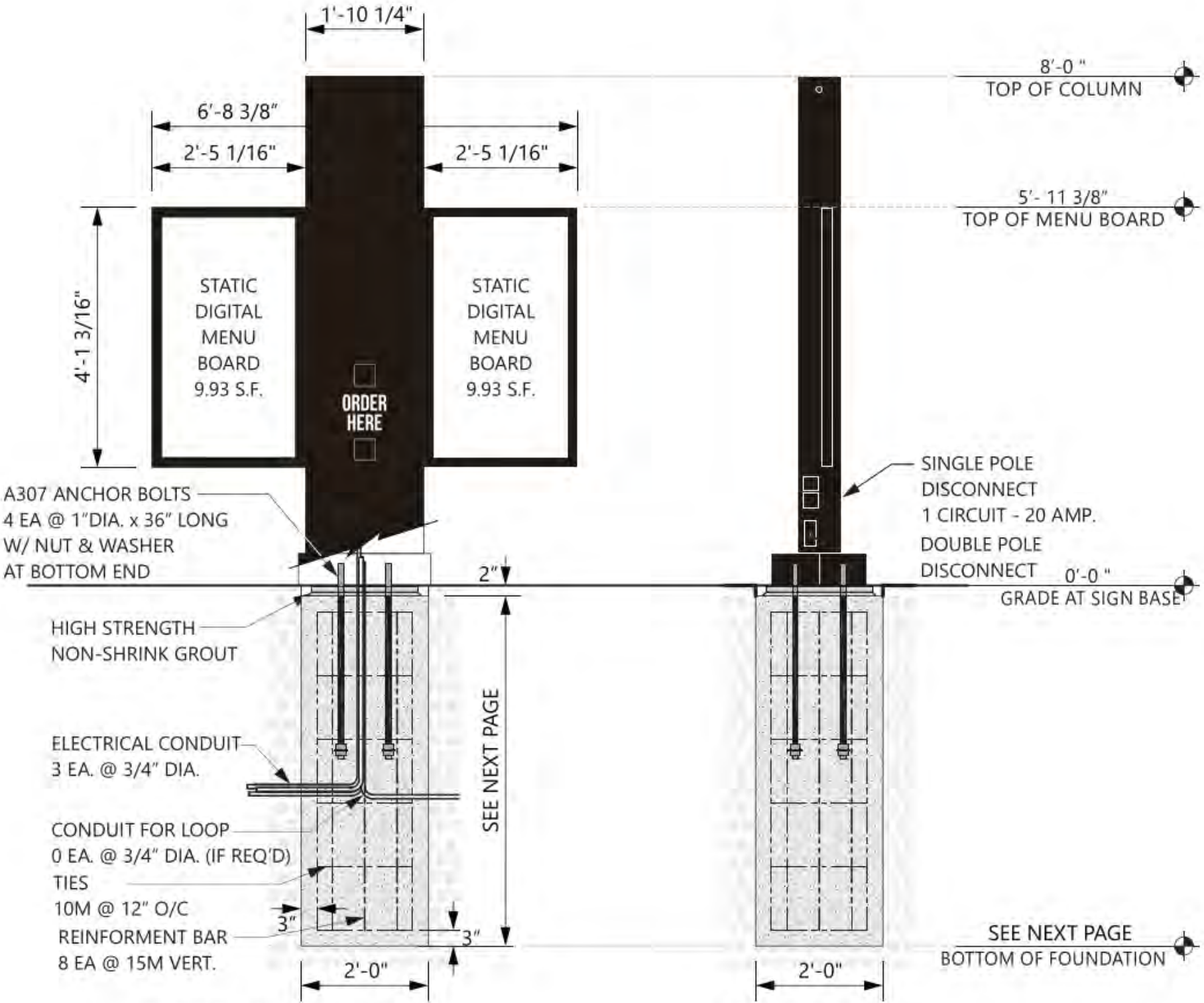
BASE PLATE DETAIL

SCALE - 3/4" = 1'- 0"



ANCHOR BOLT - QTY. 4

NOT TO SCALE



ELEVATION

SCALE - 1/2" = 1'- 0"

END VIEW

SCALE - 1/2" = 1'- 0"



5198 North Lake Drive
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STATIC DIGITAL DRIVE-THRU
MENU BOARDS

DRAWING FILE EFA - FRANKFORT, IL SIGNAGE.CDR

ALL ELECTRICAL
SIGNS ARE
120 VOLTS
UNLESS
OTHERWISE INDICATED

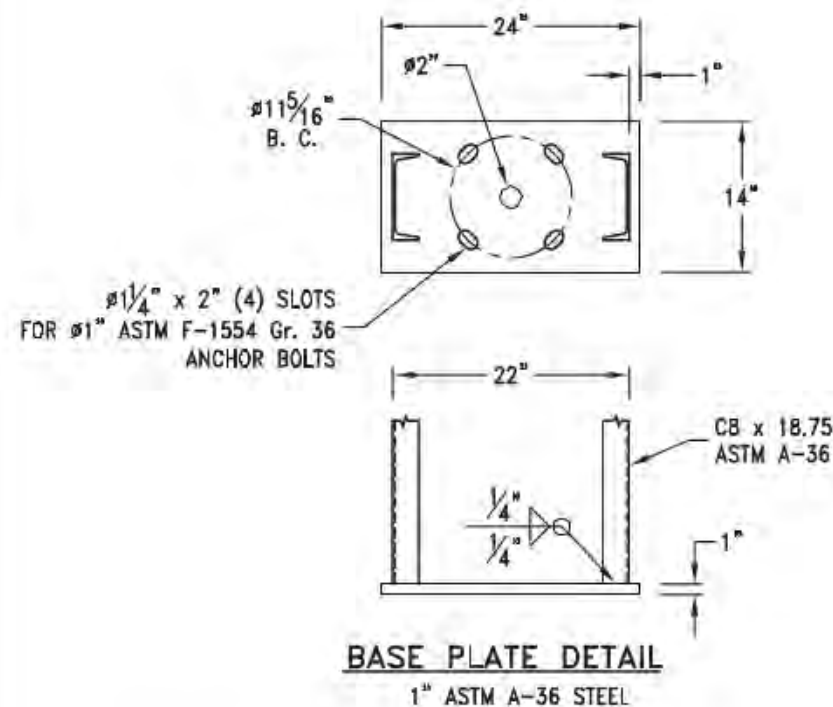
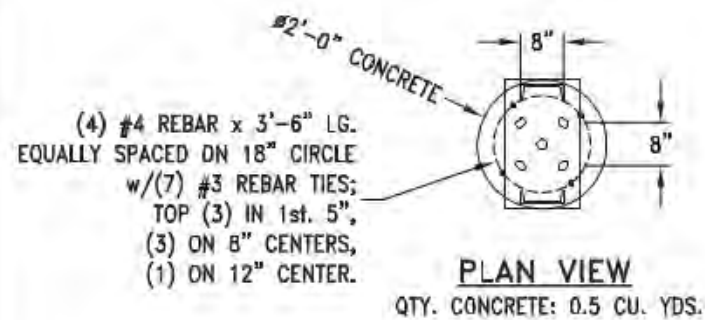
DRAWN BY: Ben Holliday
ACCOUNT REP: Ben Holliday
DRAWING DATE: March 18, 2024
REVISION DATE: May 7, 2024

STORE NUMBER	STORE ADDRESS
L05669	Chick-fil-A at Frankfort, IL 20091 S La Grange Rd Frankfort, IL 60133

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LOCATION
H1/H2

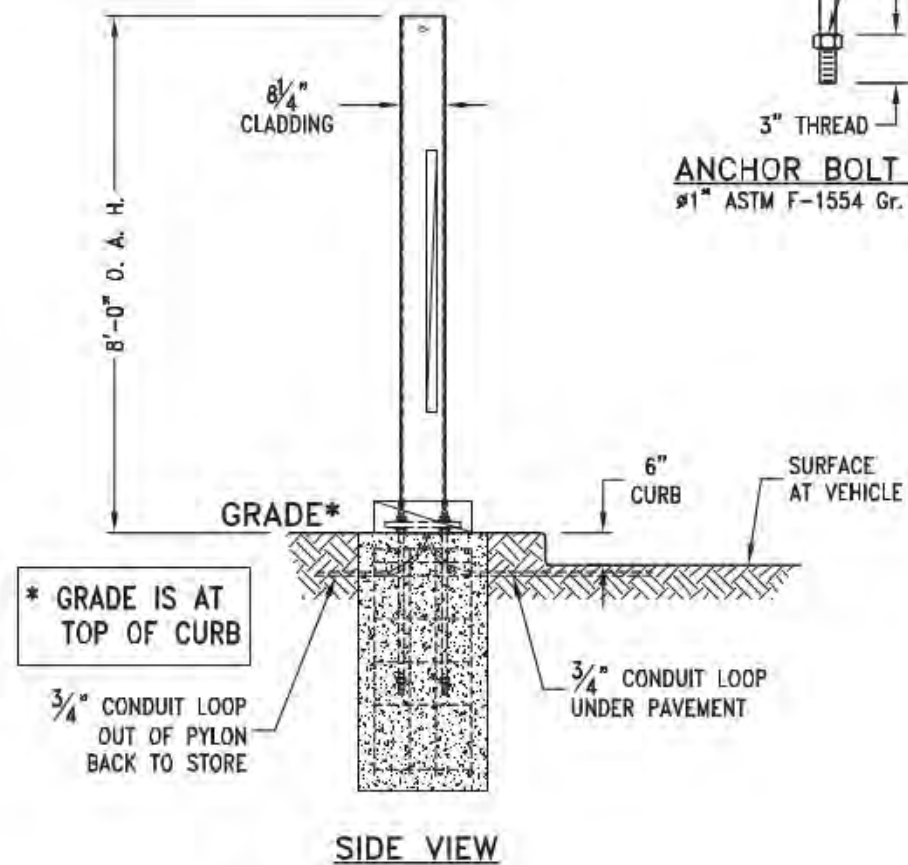
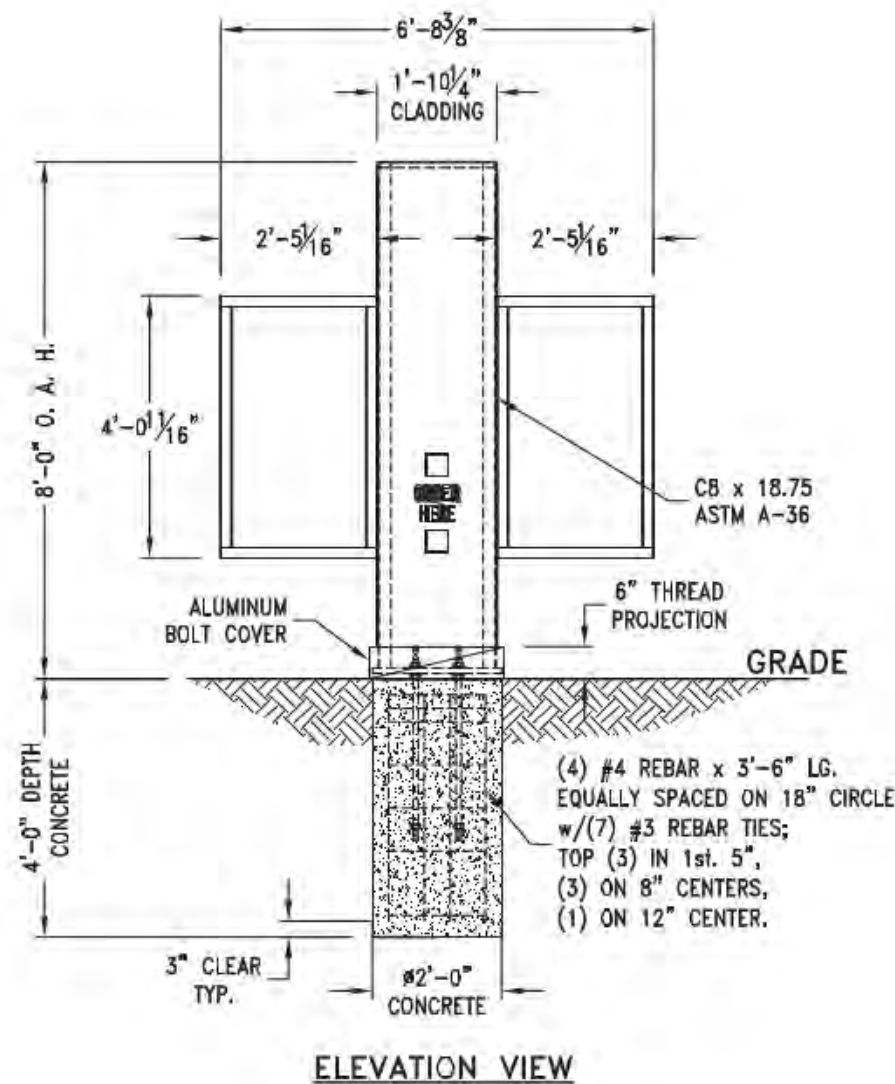


FOUNDATION DESIGN NOTES:

1. Concrete shall have a minimum compressive strength of 3000 PSI at 28 days.
2. Reinforcing steel shall be ASTM A-615 Gr. 60.
3. Caisson footing designed using a soil bearing force of 150 PSF per foot Lateral. If this soil condition does not exist, it is the Erector's responsibility to have a new footing designed for the existing soil conditions by a Licensed Engineer.
4. Anchor bolts shall be ASTM F-1554 Gr. 36 steel.

DESIGN WIND LOAD:

Based on the 2015 International Building Code (ASCE 7-10)
using Risk Category II, Exposure C and 115 mph wind speed.



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STATIC DIGITAL DRIVE-THRU
MENU BOARDS

DRAWING FILE: EFA - FRANKFORT, IL SIGNAGE C06

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SIGNS ARE
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UNLESS
OTHERWISE INDICATED

DRAWN BY: Ben Holliday
ACCOUNT REP: Ben Holliday
DRAWING DATE: March 18, 2024
REVISION DATE: May 7, 2024

STORE NUMBER: L05669
STORE ADDRESS: Chick-fil-A at Frankfort, IL
20001 S La Grange Rd.
Frankfort, IL 60141

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LOCATION
H1/H2

LOCATION
K1/K2

SPECIFICATIONS

SIGN PANELS

SIGNS PANELS
PANELS ARE .080" ALUMINUM. BACKS TO BE PAINTED TO MATCH POSTS.
POSTS ARE 2" x 2" SQUARE ALUMINUM TUBING CAPPED ON TOP



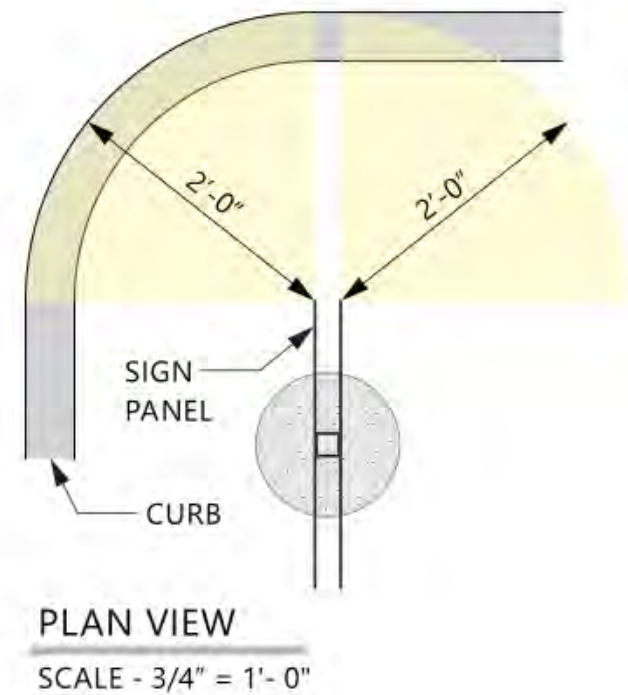
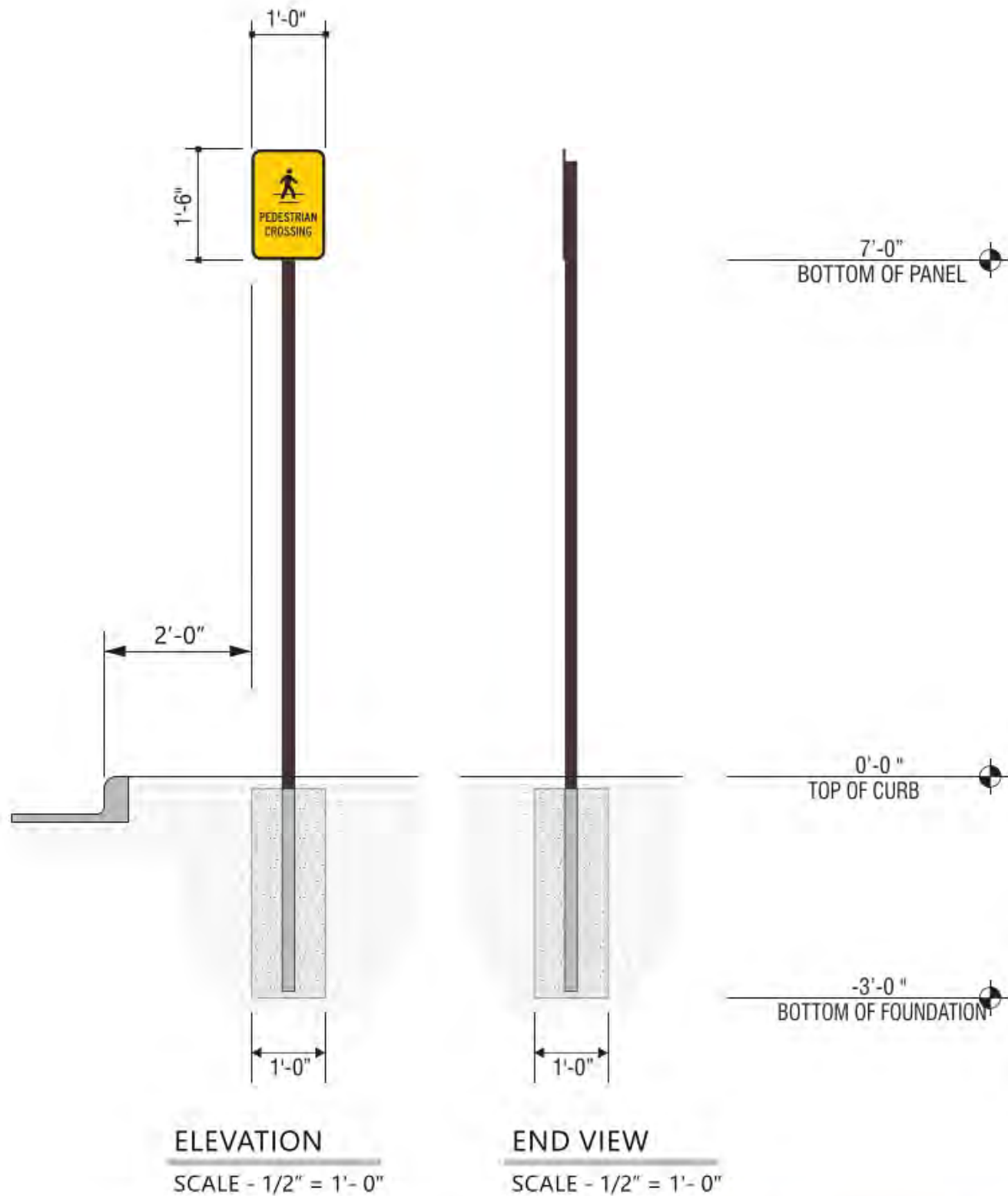
BACK OF SIGN PANEL AND POST
MP 20181 DARK BRONZE
SW #DDM460012



SIGN PANEL (IF SHOWN)
BLACK REFLECTIVE



SIGN PANEL (IF SHOWN)
3M 680-81 YELLOW REFLECTIVE



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DOT REGULATORY TRAFFIC SIGNS

DRAWING FILE - CFA - FRANKFORT, IL SIGNAGE.CDR

ALL ELECTRICAL
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OTHERWISE INDICATED

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STORE NUMBER	STORE ADDRESS
L05669	Chick-fil-A at Frankfort, IL 20091 S La Grange Rd Frankfort, IL 60423

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LOCATION

L

SPECIFICATIONS

SIGN PANELS

PANELS ARE .080 ALUMINUM
WITH REFLECTIVE BACKGROUND
AND GRAPHICS.

SIGN POSTS

POSTS ARE 2" x 2" SQUARE
ALUMINUM TUBING CAPPED ON TOP



SIGN PANEL

3M #680-82 REFLECTIVE RED.

SIGN PANEL

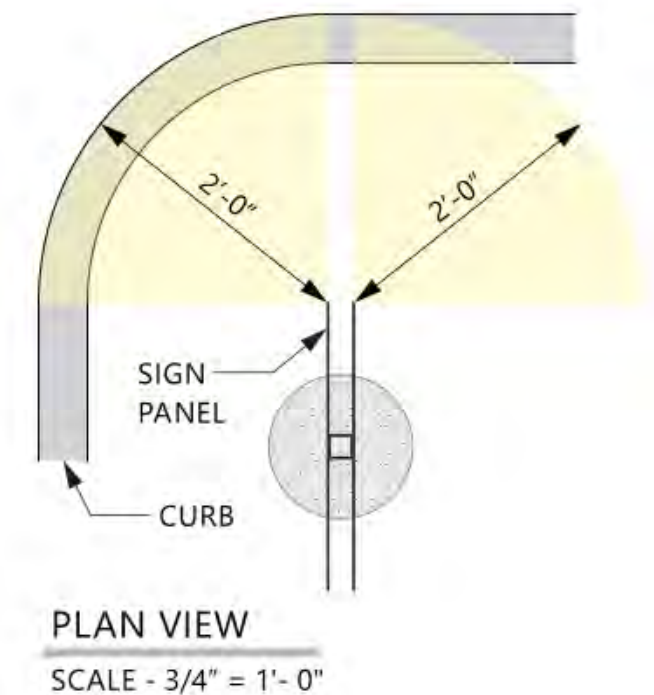
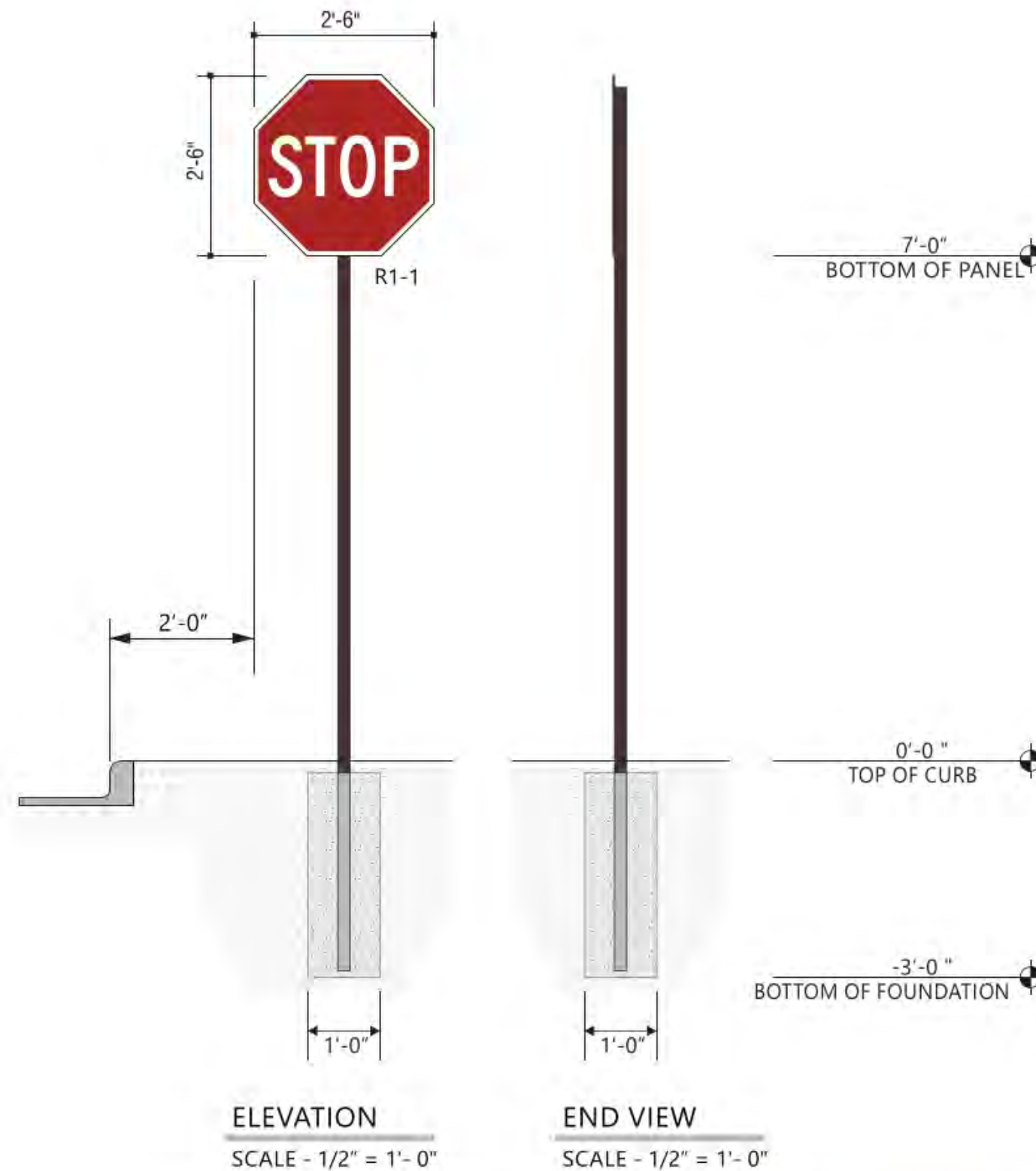
3M #680-10 REFLECTIVE WHITE



BACK OF SIGN PANEL AND POST

MP 20181 DARK BRONZE

SW #DDM460012



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DOT REGULATORY TRAFFIC SIGNS

DRAWING FILE - CFA - FRANKFORT, IL SIGNAGE.CDR

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ACCOUNT REP:	Ben Holliday
DRAWING DATE:	March 18, 2024
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LOCATION
M

SPECIFICATIONS

SIGN PANELS

PANELS ARE .080 ALUMINUM
WITH REFLECTIVE BACKGROUND
AND GRAPHICS.

SIGN POSTS

POSTS ARE 2" x 2" SQUARE
ALUMINUM TUBING CAPPED ON TOP



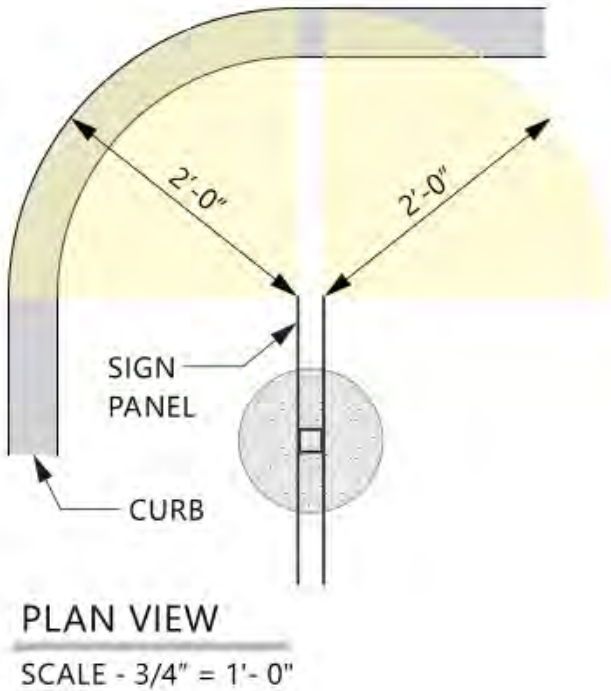
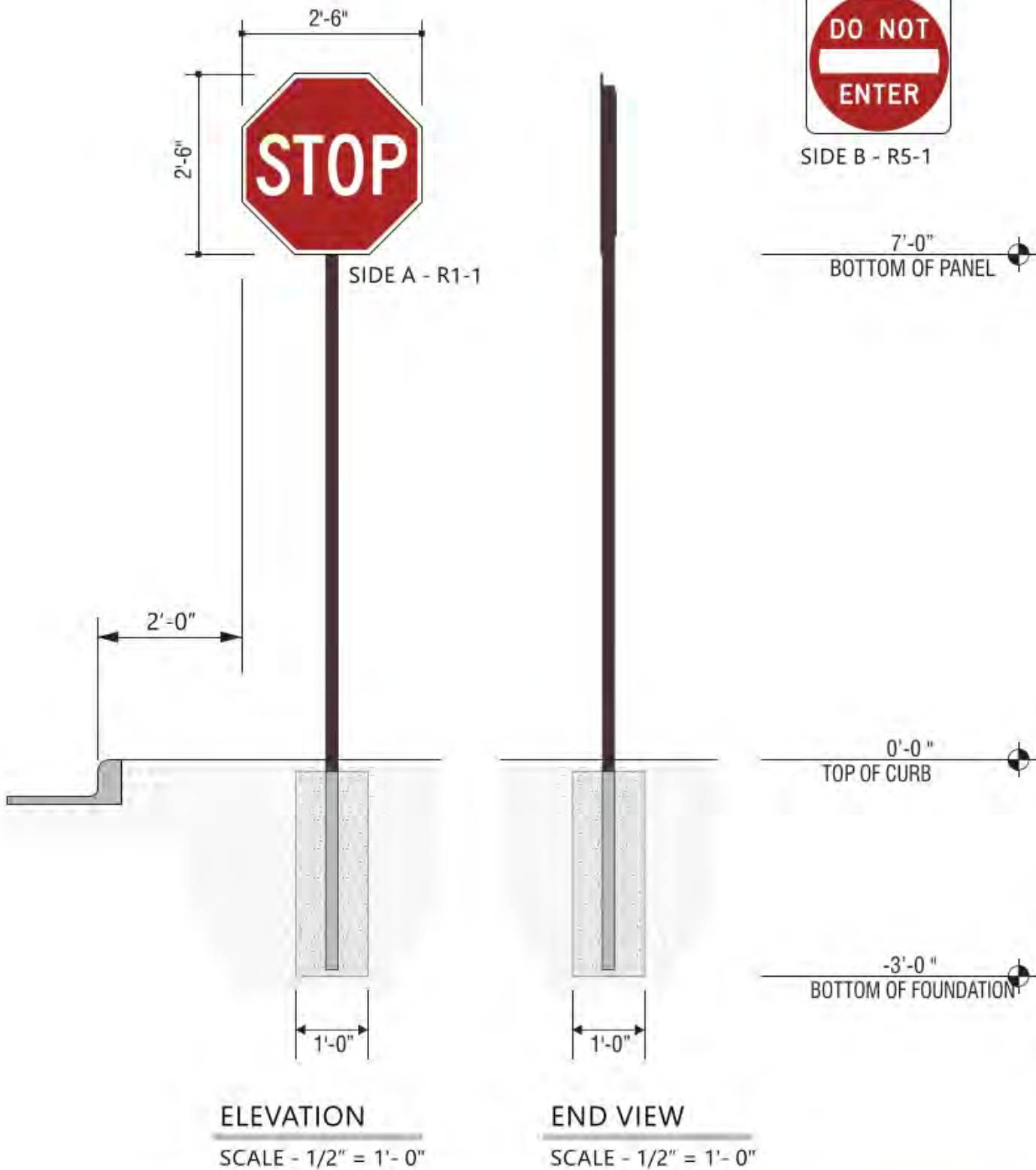
SIGN PANEL
3M #680-82 REFLECTIVE RED.



SIGN PANEL
3M #680-10 REFLECTIVE WHITE



BACK OF SIGN PANEL AND POST
MP 20181 DARK BRONZE
SW #DDM460012



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DOT REGULATORY TRAFFIC SIGNS

DRAWING FILE - CFA - FRANKFORT, IL SIGNAGE.CDR

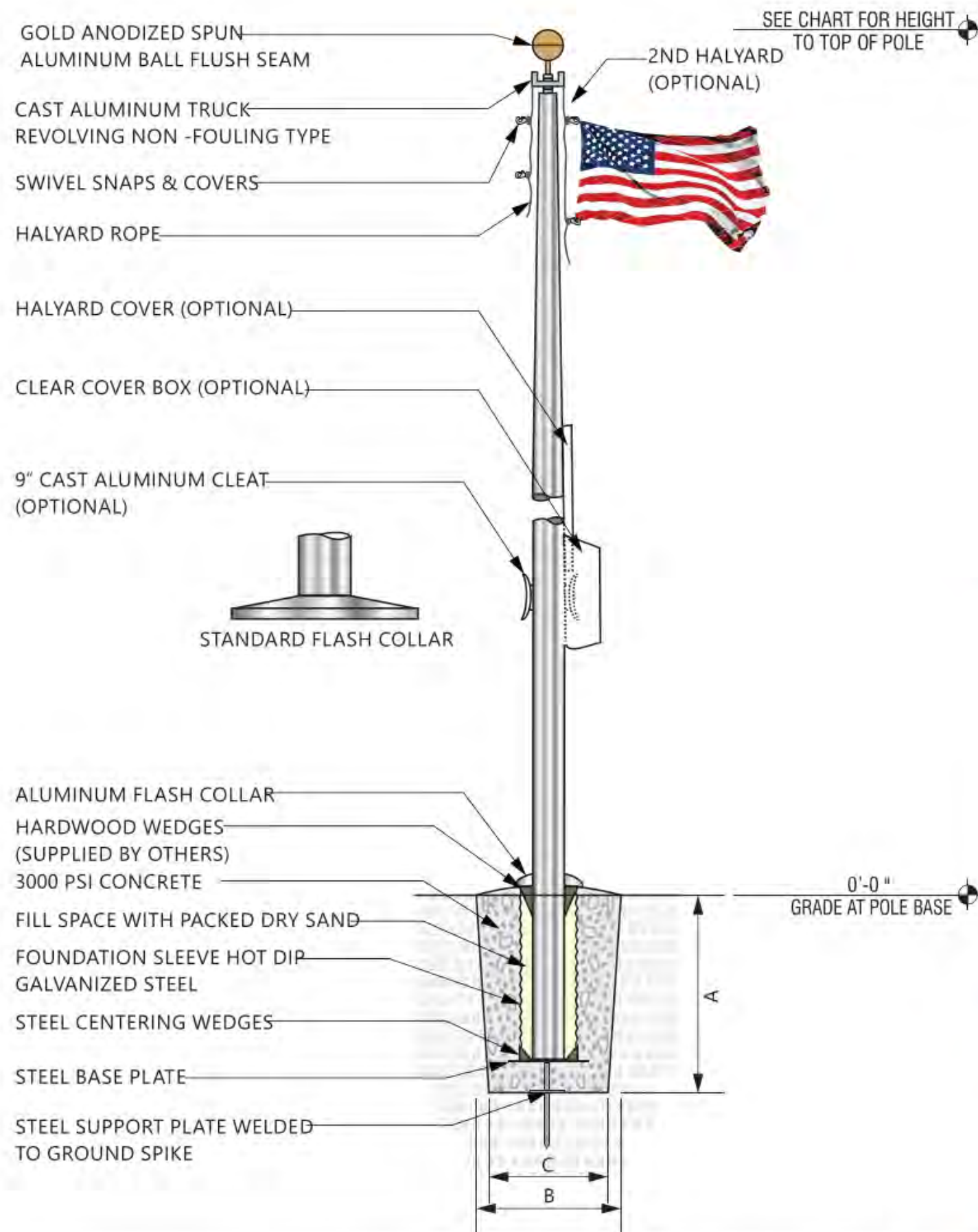
ALL ELECTRICAL
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LOCATION
N



FLAG SIZES

POLE	A	B	MATERIAL
20'	3'0"	5'0"	POLYESTHER
25'	4'0"	6'0"	POLYESTHER
30'	5'0"	8'0"	POLYESTHER
35'	6'0"	10'0"	POLYESTHER
40'	8'0"	12'0"	POLYESTHER
45'	8'0"	12'0"	POLYESTHER
50'	12'0"	18'0"	POLYESTHER

FOUNDATION SIZES

HEIGHT	A	B	C
20'	3'6"	30"	24"
25'	3'6"	30"	24"
30'	3'6"	30"	24"
35'	4'0"	36"	30"
40'	4'6"	42"	36"
45'	5'0"	48"	42"
50'	5'6"	48"	42"

GROUND SLEEVE AND CONCRETE INSTALLED
BY THE GENERAL CONTRACTOR
POLE INSTALLED ON PRE-INSTALLED GROUND
SLEEVE BY SIGN CONTRACTOR



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FLAG POLE

DRAWING FILE CFA - FRANKFORT, IL SIGNAGE.CDR

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ACCOUNT REP: Ben Holliday
DRAWING DATE: March 18, 2024
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STORE NUMBER: L05669
STORE ADDRESS: Chick-fil-A at Frankfort, IL
20091 S La Grange Rd.
Frankfort, IL 60423

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LOCATION
FP

SPECIFICATIONS

CLEARANCE BAR

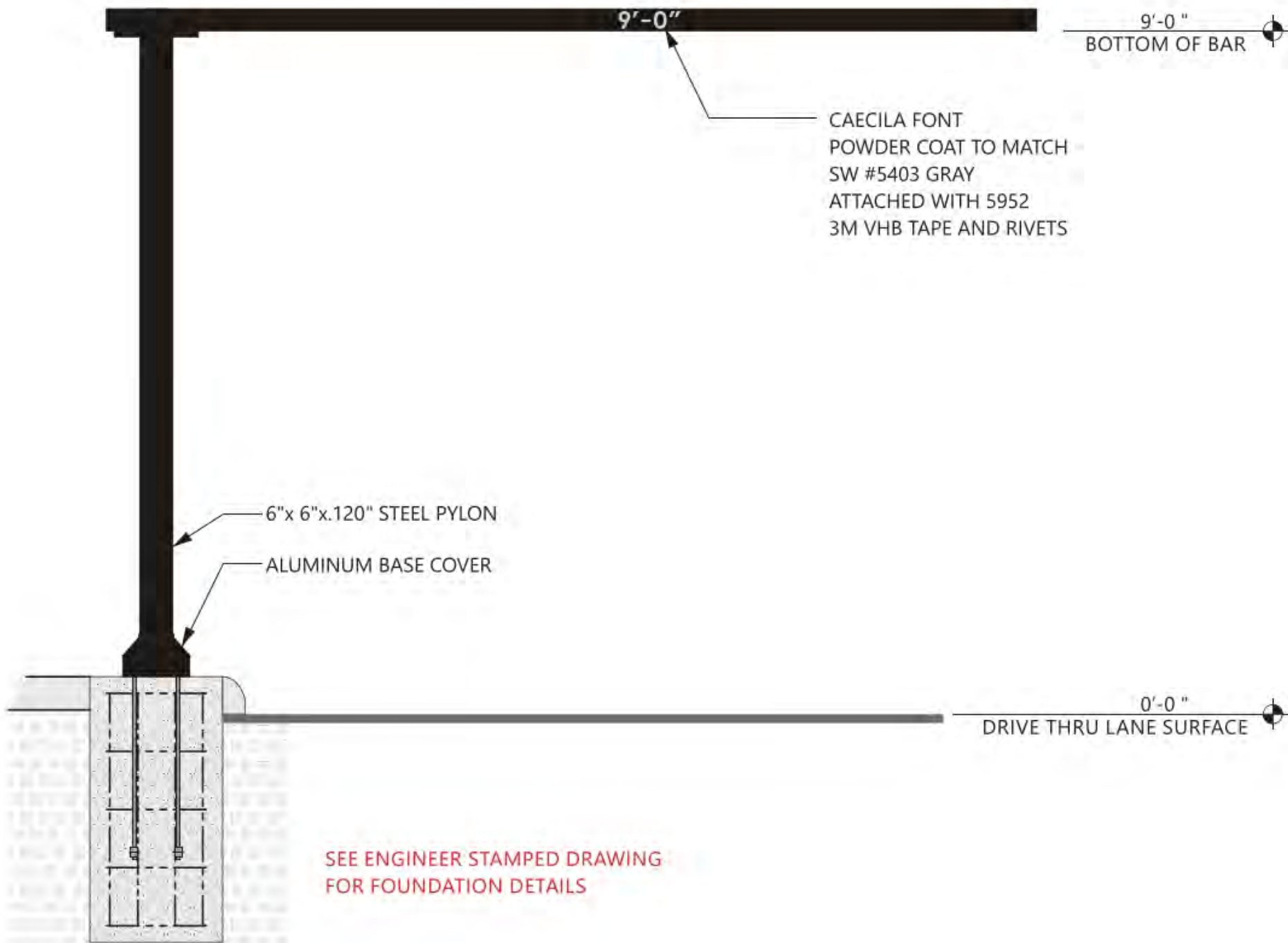
COLORS



MATTE BLACK TEXTURED



SHERWIN WILLIAMS
SW 5403 GRAY



CAISSON
24" DIA.

CURB AND DRIVE
LANE SURFACE

PLAN VIEW

SCALE - 1/2" = 1'- 0"



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DRIVE-THRU
CLEARANCE BAR

DRAWING FILE - CFA - FRANKFORT, IL SIGNAGE.CDR

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OTHERWISE INDICATED

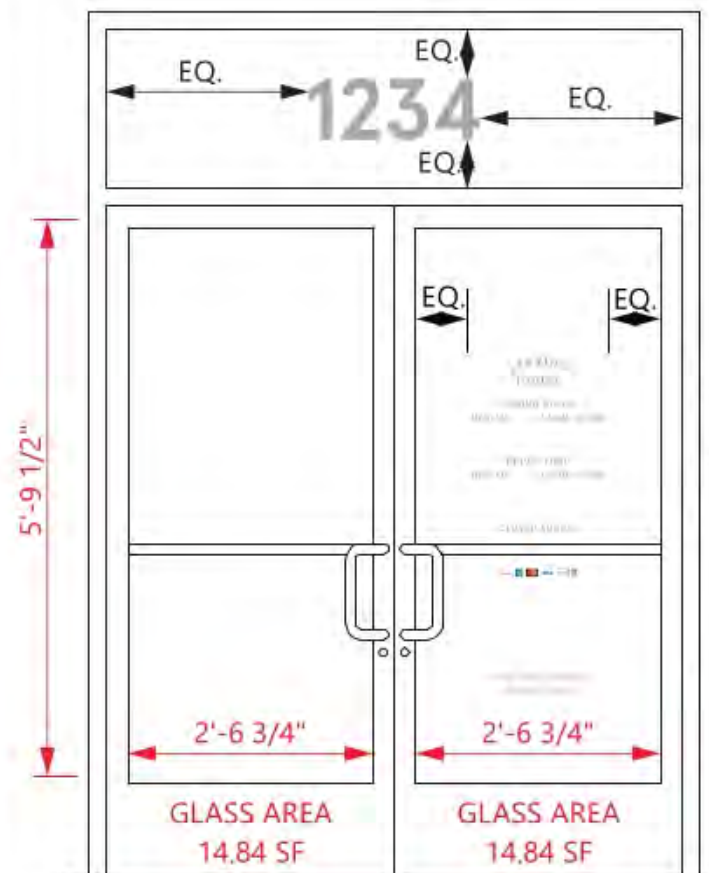
DRAWN BY: Ben Holliday
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DRAWING DATE: March 18, 2024
REVISION DATE: May 7, 2024

STORE NUMBER
L05669

STORE ADDRESS
Chick-fil-A at Frankfort, IL
20091 S La Grange Rd.
Frankfort, IL 60423

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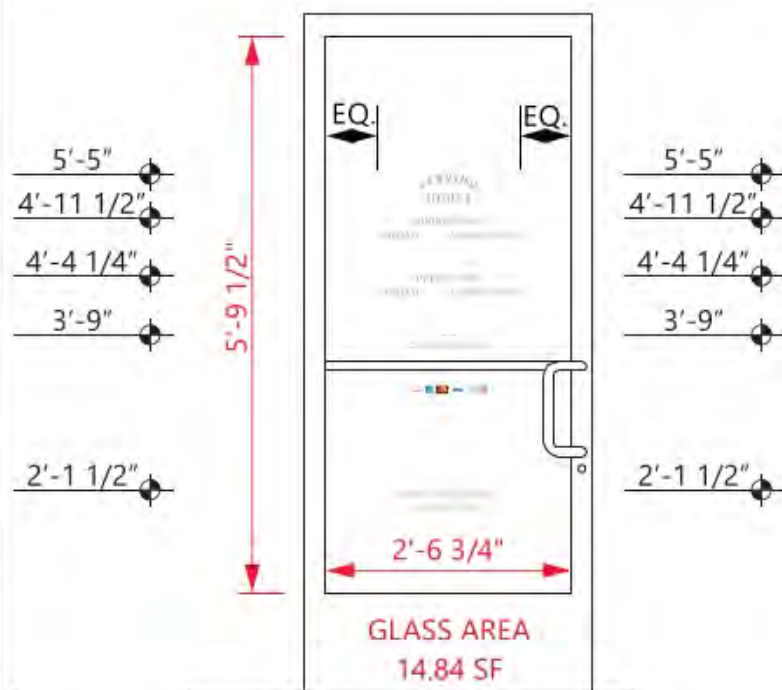
LOCATION
CB-1



ELEVATION

SCALE - 1/2" = 1'-0"

DOOR WINDOW AREA - 14.84 SF
WINDOW GRAPHIC AREA - 0.662 SF



ELEVATION

SCALE - 1/2" = 1'-0"



SMOKE FREE PROPERTY
NO SMOKING

ELEVATION

SCALE - 1 1/2" = 1'-0"

3.50" x 7.40" = 0.18 SF

0.75" x 8.50" = 0.04 SF

0.75" x 16.50" = 0.09 SF

0.75" x 7.90" = 0.04 SF

0.75" x 16.50" = 0.09 SF

0.25" x 1.47" = 0.002 SF

0.75" x 9.75" = 0.05 SF

1.00" x 9.45" = 0.07 SF

0.75" x 12.00" = 0.06 SF

0.75" x 8.00" = 0.04 SF

0.662 SF TOTAL GRAPHIC AREA

LETTERING IS 3M #7725-10 OPAQUE WHITE VINYL FILM (SHOWN IN GREY FOR ILLUSTRATION)
CREDIT CARD LOGOS ARE INDIVIDUAL PRINTED DECALS ON CLEAR FILM.
ALL GRAPHICS ARE APPLIED TO EXTERIOR SURFACE OF GLASS.
STORE HOURS MAY BE DIFFERENT PER STORE.
SUNDAY HAS RED VINYL FILM STRIKE THROUGH ON IT.
PROVIDE EXTRA 6:00 PER EACH SET.

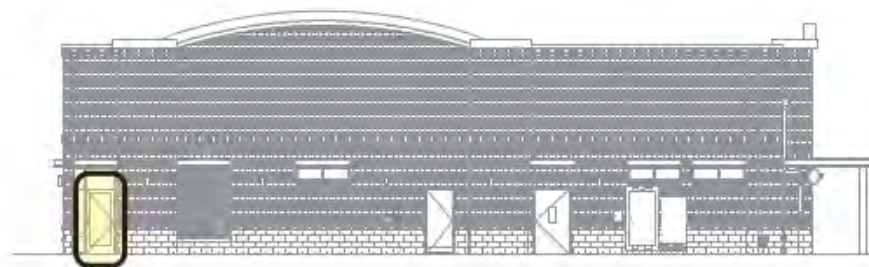
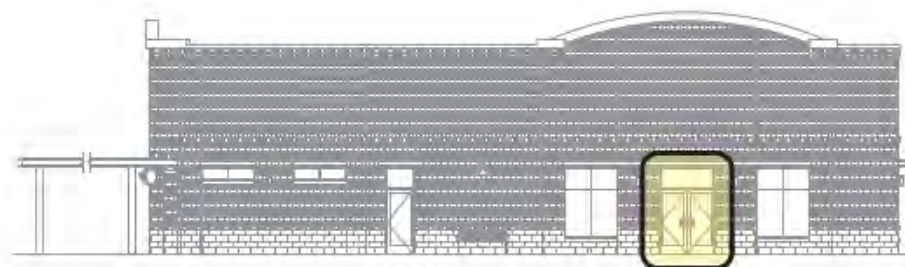
8" 1234

8" TALL ADDRESS NUMBERS ARE 3M #7725-10 OPAQUE WHITE VINYL FILM APPLIED TO EXTERIOR SURFACE OF GLASS. (SHOWN IN GREY FOR ILLUSTRATION)
APERCU BOLD FONT

VERIFY ADDRESS BEFORE MAKING NUMBERS

ELEVATION

NOT TO SCALE



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WINDOW GRAPHICS

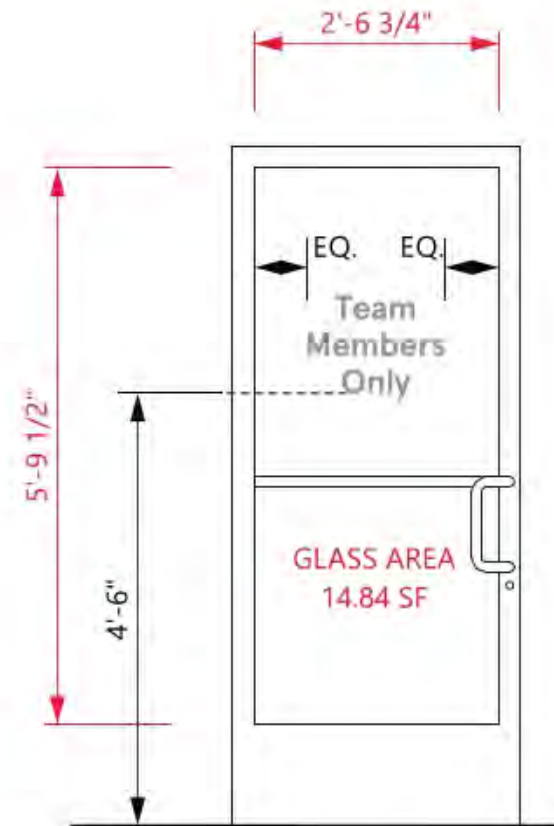
DRAWING FILE - CFA - FRANKFORT, IL SIGNAGE.CDR

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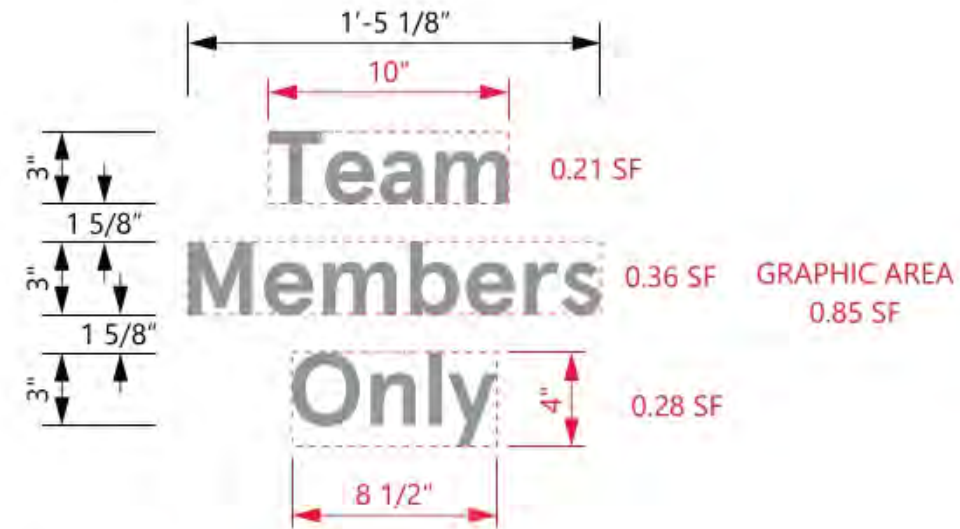
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ELEVATION
SCALE - 1/2" = 1'- 0"



ELEVATION
SCALE - 1 1/2" = 1'- 0"

LETTERING IS 3M 7725-10
OPAQUE WHITE APPLIED VINYL
ALL GRAPHICS ARE APPLIED TO
EXTERIOR SURFACE OF GLASS.
(SHOWN IN GREY FOR ILLUSTRATION
PURPOSES ONLY)



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WINDOW GRAPHICS


DRAWING FILE - CFA - FRANKFORT, IL SIGNAGE.CDR

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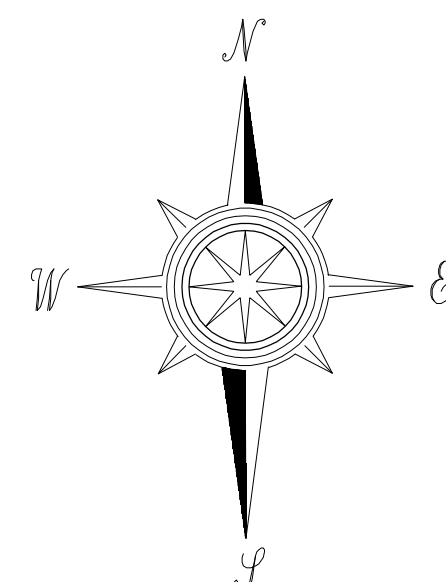
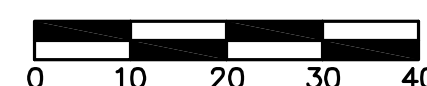
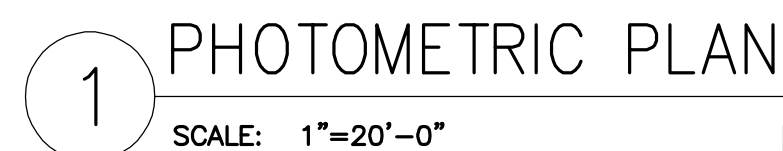
CHICK-FIL-A
FRANKFORT FSU
220091 S LA GRANGE RD
FRANKFORT, IL 60423

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

SHEE

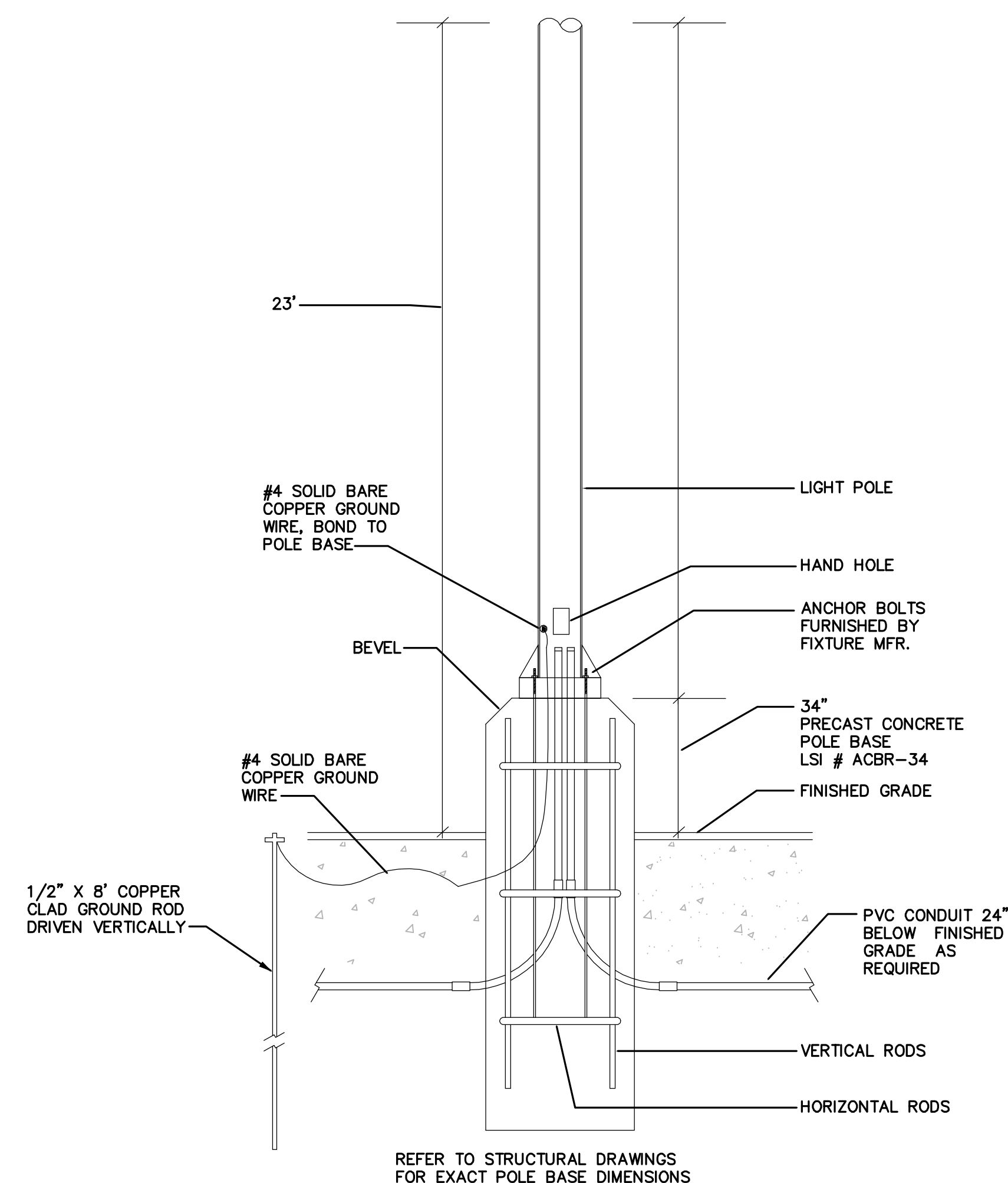
SHEET NUMBER

E-102



PHOTOMETRIC STATISTICS (MAINTAINED) IN PARKING LOT (NOT INCLUDING UNDER CANOPY LIGHTING)	
AVERAGE	2.9 FC
MAX	6.7 FC
MIN	0.6 FC

FIXTURE	HEIGHT (UNLESS NOTED OTHERWISE)	LIGHT LOSS FACTOR	COLOR	LIGHT FIXTURE SPECIFICATION	POLE	COMMENTS
001	23'	.9	4000K	CURRENT/BEACON - RAR2-320L-165-4K7-5QW	20' POLE OF SIZE, STYLE, AND FINISH TO MATCH EXISTING IN DEVELOPMENT (SINGLE LUMINAIRE)	
002	23'	.9	4000K	CURRENT/BEACON - RAR2-320L-165-4K7-4-HSS-90-B	20' POLE OF SIZE, STYLE, AND FINISH TO MATCH EXISTING IN DEVELOPMENT (SINGLE LUMINAIRE)	
0A	8'	.9	3000K	PROGRESS LIGHTING - P5675-31 WITH TOP COVER LENS		
OK	ON ROOF	.9	4000K	HUBBELL - FL-42L-95-4K-7-N-U-K-DB		FLOODLIGHT AIMED AT FLAG AFTER DARK
K	8'	.9	3000K	HUBBELL - LNC-5LU-3K-3-1		
S	9'	.9	3000K	HI-LITE - H-18112-91/B-13-91-20W		
Z1	10'	.9	3000K	PROVIDED WITH CANOPY		
Z2	9'-6"	.9	3000K	LSI - CRUS-SC-LED-LW30-UE-WHT		



2 TYPICAL POLE BASE DETAIL
NOT TO SCALE

RATIO Series

AREA/SITE LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available



CONTROL TECHNOLOGY



SERVICE PROGRAMS

STOCK QS10

SPECIFICATIONS

CONSTRUCTION

- Rectilinear form mimics the traditional shoebox form factor keeping a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish

OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 80, 160, 320 or 480 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

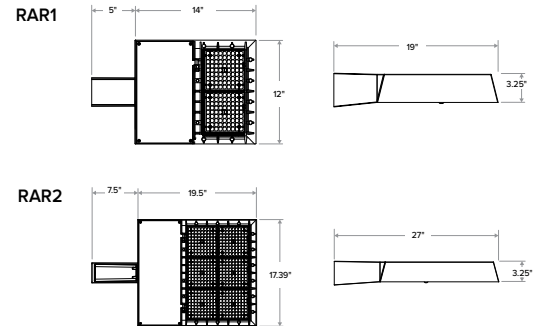
- Standard square arm mount, compatible with B3 drill pattern
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.
- Knuckle arm fitter option available for 2-3/8" OD tenon. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7-pin options)

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised

CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0- 10 V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor



	Weight	EPA at 0°
RAR1	13.5 lbs / 6.1 kg	.45ft. ² / .13m ²
RAR2	24 lbs / 10.9 kg	.55ft. ² / .17m ²

CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations on this page are DLC Qualified. Refer to www.designlights.org for the most up-to-date list.
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- Fixture is IP66 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9) and Trade Agreements Act (FAR 52.225-11). See Buy America(n) Solutions (link to <http://www.currentlighting.com/resources/america-solutions>)

WARRANTY

- 5 year limited warranty
- See [HLI Standard Warranty](#) for additional information



RATIO Series

AREA/SITE LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

Gray Shading

= Service Program
Limit of 15 luminaires



ORDERING GUIDE

Example: RAR1-80L-25-3K7-2-UNV-ASQ-BL-NXW-BG

CATALOG #

ORDERING INFORMATION

Series	# LEDs - Wattage	CCT/CRI	Distribution	Optics Rotation	Voltage
RAR1 Ratio Area Size 1	80L-25 25W - 3,000 Lumens 80L-39 39W - 5,200 Lumens 80L-50 50W - 6,000 Lumens 160L-70 70W - 9,000 Lumens 160L-100 100W - 12,000 Lumens 160L-115 115W - 15,000 Lumens 160L-135 135W - 18,000 Lumens	3K7 3000K, 70 CRI 4K7 4000K, 70 CRI 5K7 5000K, 70 CRI	2 IES TYPE II 3 IES TYPE III 4W IES TYPE IV 4F IES TYPE IV Forward 5QW IES TYPE V	Blank for no rotation L Optic rotation left R Optic rotation right	UNV Universal 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V
RAR2 Ratio Area Size 2	320L-110 110W - 15,000 Lumens 320L-140 140W - 18,000 Lumens 320L-165 165W - 21,000 Lumens 480L-185 185W - 24,000 Lumens 480L-210 210W - 27,000 Lumens 480L-240 240W - 30,000 Lumens 480L-255 255W - 36,000 Lumens 480L-295 295W - 42,000 Lumens 480L-340 340W - 48,000 Lumens				
Mounting	Color	Control Options Network		Options	
ASQ Arm mount for square pole/flat surface	BLT Black Matte Textured	NXWS16F NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{6,7}		BC Backlight control ⁸	
ASQU Universal arm mount for square pole/flat surface-Does not include round pole adapt or B3 drill pattern	BLS Black Gloss Smooth	NXWS40F NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{6,7}		F Fusing ⁵	
Mounting Round Poles	DBT Dark Bronze Matte Textured	NXW NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor ^{6,7}		TB Terminal block	
A_ Arm mount for round pole ¹ B3 drill pattern	DBS Dark Brone Gloss Smooth	Control Options Other		2PF 2 power feed with 2 drivers ²	
A_U Universal arm mount for round pole ¹	GTT Graphite Matte Textured	SCP_F Programmable occupancy sensor ^{3,4}			
Mounting Other	LGS Light Grey Gloss Smooth	7PR 7-Pin twist lock receptacle			
WB Wall bracket	PSS Platinum Silver Smooth	7PR-SC 7-Pin receptacle with shorting cap			
MAF Mast arm fitter for 2-3/8" OD horizontal arm	WHT White Matte Textured	7PR-MD40F Low voltage sensor for 7PR			
K Knuckle	WHS White Gloss Smooth	7PR-TL 7-Pin PCR with photocontrol			
	VGT Verde Green Textured	ADD AutoDim Timer Based Dimming			
	Color Option	ADT AutoDim Time of Day Dimming			
	CC Custom Color	BTS-14F Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens ⁹			
		BTS-40F Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens ⁹			
		BTSO-12F Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens ⁹			

Notes:

- 1 Replace "_" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole
- 2 Not available with 25, 50, 255, 295 & 340W configurations
- 3 At least one SCPREMOTE required to program SCP motion sensor
- 4 Replace "_" with 8F or 40F lens
- 5 Must specify voltage
- 6 Networked Controls cannot be combined with other control options
- 7 Not available with 2PF option
- 8 BC not available on 4F distributions
- 9 BTS and BTSO available for 50 Watts or higher and only on 120-277 voltage








RATIO Series

AREA/SITE LIGHTER

OUTDOOR LIGHTING CONTROLS OPTIONS

CONTROLS FUNCTIONALITY



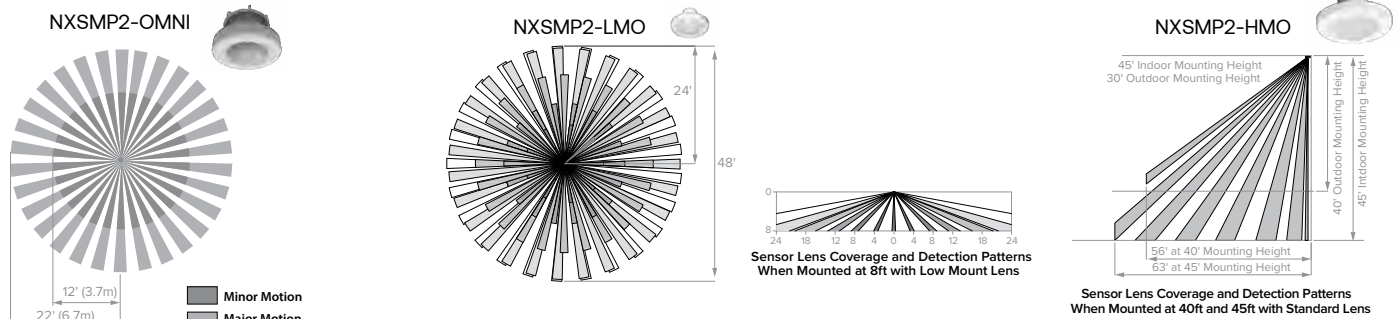
Control Option Ordering Logic & Description			Control Option Functionality								Control Option Components		
			Networkable	Grouping	Scheduling	Occupancy/ Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming			Sensor Height
NX Wireless	NXOFM1R1D-UNV	NX 7-Pin Twist-Lock® with NX Networked Wireless Radio, Integral Automatic Dimming Photocell, Integral Single Pole Relay with Dimming, and Bluetooth Programming	✓	✓	✓	Paired with external control	✓	✓	✓	✓	-		NXOFM1R1D-UNV
	NXW	NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor	✓	✓	✓	-	-	✓	✓	✓	-		NXRM2-H
	NXWS16F	NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	16ft		NXSMP2-LMO
	NXWS40F	NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	40ft		NXSMP2-HMO
Independent	BTSO-12F	Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	12ft		BTSMP-OMNI-O
	BTS-14F	Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	14ft		BTSMP-LMO
	BTS-40F	Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	40ft		BTSMP-HMO

DEFAULT SETTINGS

NX Wireless	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	15 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	0%
	Daylight Sensor	Disabled
	Bluetooth	Enabled
	2.4GHz Wireless Mesh	On
	"Passcode Factory Passcode: HubbN3T!"	Enabled

Stand Alone	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	8 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	50%
	Daylight Sensor	Disabled

NX WIRELESS COVERAGE PATTERNS



NX LIGHTING CONTROLS FREE APP

CONTROLS TECH SUPPORT 800-888-8006 (7:00 AM - 7:00 PM)



The NX Lighting Controls App is free to use mobile application for programming both NX Lighting Controls System or Standalone Bluetooth Sensors. The mobile app allows you to configure devices, discover and setup wireless enable luminaires and program NX system settings.

Apple App: <https://apps.apple.com/us/app/nx-lighting-controls/id962112904>

Google Play: https://play.google.com/store/apps/details?id=io.cordova.NXBTR&hl=en_US&gl=US



Apple App



Google Play



RATIO Series

AREA/SITE LIGHTER

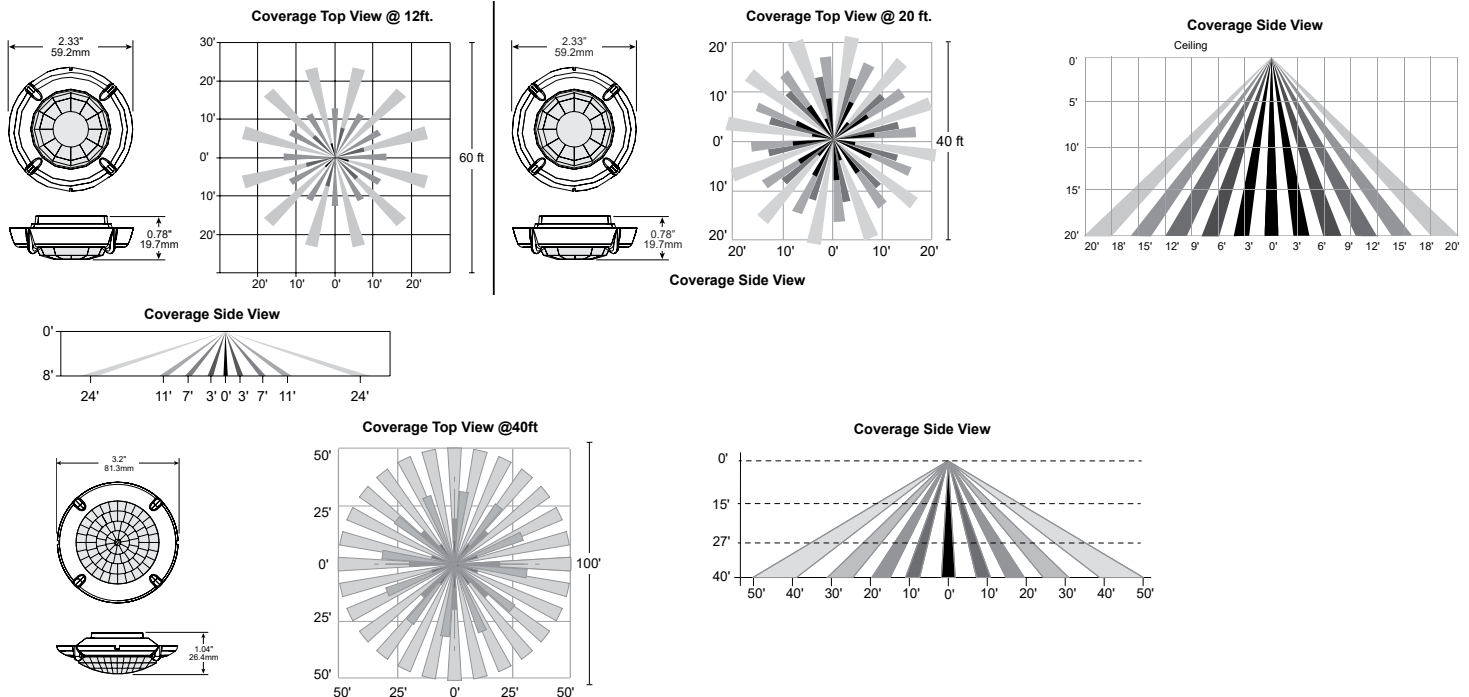
DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

OUTDOOR LIGHTING CONTROLS OPTIONS

CONTROLS FUNCTIONALITY

Control Option Ordering Logic & Description		Control Option Functionality									Control Option Components		
		Networkable	Grouping	Scheduling	Occupancy/ Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height			
Independent	SCP_F	Sensor Control Programmable, sensor range, reference product specification for height selections	-	-	-	✓	✓	✓	✓	-	8ft or 20ft	SCP_F	
	ADD	AutoDIM Timer Based Dimming	-	-	✓	-	-	-	✓	-	-	ADD	
	ADT	AutoDIM Time of Day Dimming	-	-	✓	-	-	-	✓	-	-	ADT	
	7PR	7-Pin Receptacle	-	-		Paired with external control	-	Paired with external control	-	Paired with external control	-	-	7PR
	7PR-SC	7-Pin Receptacle with shorting cap	-	-	-	-	-	-	-	-	-		7PR-SC
	7PR-TL	7-Pin with photocontrol	-	-	-	-	✓	-	✓	-	-		7PR-TL

COVERAGE PATTERNS FOR SCP_F



PROGRAMMED CONTROLS

ADD-AutoDim Timer Based Options

- Light delay options from 1-9 hours after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1-9 hours after the light has been dimmed previously.

EX: ADD-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	1-9 Hours	6 - Delay 6 hours
Auto-Dim Brightness	10-100% Brightness	5 - Dim to 50% brightness
Auto-Dim Return	Delay 0-9 Hours	R6 - Return to full output after 6 hours

ADT-AutoDim Time of Day Based Option

- Light delay options from 1AM-9PM after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1AM-9PM after the light has been dimmed previously.

EX: ADT-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	12-3 AM and 6-11 PM	6 - Dim at 6PM
Auto-Dim Brightness	10-100% Brightness	5 - Dim to 50%
Auto-Dim Return	12-6 AM and 9-11P	R6 - Return to full output at 6AM

RATIO Series

AREA/SITE LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Mounting	Finish
RAR1-100-4K-3	12,000	100W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR1-100-4K-4W	12,000	100W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
RAR1-135-4K-3	18,000	135W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR1-135-4K-4W	18,000	135W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
RAR2-165-4K-3	21,000	165W	320L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR2-165-4K-4W	21,000	165W	320L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze

POLE COMBOS

Catalog Number	Pole	Single or Double Head	Fixture	Lumens	Wattage	Distribution	CCT/CRI	Mounting	Finish
RAR1-100-4K7-3-S20	20' Square Straight Steel	Single Head	RAR1-100-4K-3	12,000	100W	Type 3	4000K/70CRI	Square Arm	Dark Bronze
RAR1-100-4K7-4W-S20	20' Square Straight Steel	Single Head	RAR1-100-4K-4W	12,000	100W	Type 4W	4000K/70CRI	Square Arm	Dark Bronze
RAR1-100-4K7-3-S20-2X	20' Square Straight Steel	Double Head (180°)	RAR1-100-4K-3	12,000	100W	Type 3	4000K/70CRI	Square Arm	Dark Bronze
RAR1-100-4K7-4W-S20-2X	20' Square Straight Steel	Double Head (180°)	RAR1-100-4K-4W	12,000	100W	Type 4W	4000K/70CRI	Square Arm	Dark Bronze
RAR1-100-4K7-3-S25	25' Square Straight Steel	Single Head	RAR1-100-4K-3	12,000	100W	Type 3	4000K/70CRI	Square Arm	Dark Bronze
RAR1-100-4K7-4W-S25	25' Square Straight Steel	Single Head	RAR1-100-4K-4W	12,000	100W	Type 4W	4000K/70CRI	Square Arm	Dark Bronze
RAR1-100-4K7-3-S25-2X	25' Square Straight Steel	Double Head (180°)	RAR1-100-4K-3	12,000	100W	Type 3	4000K/70CRI	Square Arm	Dark Bronze
RAR1-100-4K7-4W-S25-2X	25' Square Straight Steel	Double Head (180°)	RAR1-100-4K-4W	12,000	100W	Type 4W	4000K/70CRI	Square Arm	Dark Bronze
RAR1-135-4K7-3-S20	20' Square Straight Steel	Single Head	RAR1-135-4K-3	18,000	135W	Type 3	4000K/70CRI	Square Arm	Dark Bronze
RAR1-135-4K7-4W-S20	20' Square Straight Steel	Single Head	RAR1-135-4K-4W	18,000	135W	Type 4W	4000K/70CRI	Square Arm	Dark Bronze
RAR1-135-4K7-3-S20-2X	20' Square Straight Steel	Double Head (180°)	RAR1-135-4K-3	18,000	135W	Type 3	4000K/70CRI	Square Arm	Dark Bronze
RAR1-135-4K7-4W-S20-2X	20' Square Straight Steel	Double Head (180°)	RAR1-135-4K-4W	18,000	135W	Type 4W	4000K/70CRI	Square Arm	Dark Bronze
RAR1-135-4K7-3-S25	25' Square Straight Steel	Single Head	RAR1-135-4K-3	18,000	135W	Type 3	4000K/70CRI	Square Arm	Dark Bronze
RAR1-135-4K7-4W-S25	25' Square Straight Steel	Single Head	RAR1-135-4K-4W	18,000	135W	Type 4W	4000K/70CRI	Square Arm	Dark Bronze
RAR1-135-4K7-3-S25-2X	25' Square Straight Steel	Double Head (180°)	RAR1-135-4K-3	18,000	135W	Type 3	4000K/70CRI	Square Arm	Dark Bronze
RAR1-135-4K7-4W-S25-2X	25' Square Straight Steel	Double Head (180°)	RAR1-135-4K-4W	18,000	135W	Type 4W	4000K/70CRI	Square Arm	Dark Bronze
RAR2-165-4K7-3-S20	20' Square Straight Steel	Single Head	RAR2-165-4K-3	21,000	165W	Type 3	4000K/70CRI	Square Arm	Dark Bronze
RAR2-165-4K7-4W-S20	20' Square Straight Steel	Single Head	RAR2-165-4K-4W	21,000	165W	Type 4W	4000K/70CRI	Square Arm	Dark Bronze
RAR2-165-4K7-3-S20-2X	20' Square Straight Steel	Double Head (180°)	RAR2-165-4K-3	21,000	165W	Type 3	4000K/70CRI	Square Arm	Dark Bronze
RAR2-165-4K7-4W-S20-2X	20' Square Straight Steel	Double Head (180°)	RAR2-165-4K-4W	21,000	165W	Type 4W	4000K/70CRI	Square Arm	Dark Bronze
RAR2-165-4K7-3-S25	25' Square Straight Steel	Single Head	RAR2-165-4K-3	21,000	165W	Type 3	4000K/70CRI	Square Arm	Dark Bronze
RAR2-165-4K7-4W-S25	25' Square Straight Steel	Single Head	RAR2-165-4K-4W	21,000	165W	Type 4W	4000K/70CRI	Square Arm	Dark Bronze
RAR2-165-4K7-3-S25-2X	25' Square Straight Steel	Double Head (180°)	RAR2-165-4K-3	21,000	165W	Type 3	4000K/70CRI	Square Arm	Dark Bronze
RAR2-165-4K7-4W-S25-2X	25' Square Straight Steel	Double Head (180°)	RAR2-165-4K-4W	21,000	165W	Type 4W	4000K/70CRI	Square Arm	Dark Bronze
SSSH-20-40-STK	20' Square Straight Steel	Pole Only	Not Included						
SSSH-25-40-STK	25' Square Straight Steel	Pole Only	Not Included						
SSSH-STK-4-KIT		Kit Only	Not Included						



RATIO Series

AREA/SITE LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

CONTROLS

Control Options

Standalone

SCPREMOTE Order at least one per project location to program and control

Networked – Wireless

WIR-RME-L LightGRID+ External Fixture Module^{1,2}

NX Networked – Wireless

NXOFM-1R1D-UNV NX Wireless, Daylight Harvesting, BLE, 7 pin twisted lock

Notes:

- 1 Works with external networked photosensor
- 2 LightGRID+ Gateway required for system programming

OPTIONS AND ACCESSORIES - STOCK (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> RARRPA3DB	Round pole adapter 3.5" to 4.13" for ASQ arm, 3.5" to 4.13" OD pole, dark bronze finish
<input type="checkbox"/> RARA3UDB	Universal mount for square pole or round pole 3.5" to 4.13", dark bronze finish
<input type="checkbox"/> RARBC80L	Ratio backlight control 80L
<input type="checkbox"/> RARBC160L	Ratio backlight control 160L
<input type="checkbox"/> RARBC320L	Ratio backlight control 320L
<input type="checkbox"/> RARBC480L	Ratio backlight control 480L

ACCESSORIES AND REPLACEMENT PARTS - MADE TO ORDER

Catalog Number	Description
<input type="checkbox"/> RAR-ASQU-XX	Universal arm mount for square pole/flat surface ²
<input type="checkbox"/> RAR-A_U-XX	Universal arm mount for round poles ^{1,2}
<input type="checkbox"/> RAR-RPA_-XX	Round pole adapter ^{1,2}
<input type="checkbox"/> SETAVP-XX	4" square pole top tenon adapter, 2 3/8" OD slipfitter ²
<input type="checkbox"/> RETAVP-XX	4" round pole top tenon adapter; 2 3/8" OD slipfitter for max. Four fixtures (90°); order 4" round pole adapters separately ²
<input type="checkbox"/> BIRD-SPIKE-3	Ratio size 1 bird deterrent/spikes
<input type="checkbox"/> BIRD-SPIKE-4	Ratio size 2 bird deterrent/spikes
<input type="checkbox"/> RARWB-XX	Wall bracket - use with Mast Arm Fitter or Knuckle ²

- 1 Replace "-" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole
- 2 Replace "XX" with desired color/paint finish

RATIO Series

AREA/SITE LIGHTER

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RAR1	25	25.4	2	3438	135	1	0	1	3445	136	1	0	1	3240	128	1	0	1
			3	3460	136	1	0	1	3467	136	1	0	1	3260	128	1	0	1
			4W	3406	134	1	0	1	3412	134	1	0	1	3209	126	1	0	1
			5QW	3483	137	2	0	1	3490	137	2	0	1	3282	129	2	0	1
	39	39	2	5263	139	1	0	2	5273	139	1	0	2	4960	131	1	0	2
			3	5297	139	1	0	2	5308	140	1	0	2	4991	131	1	0	2
			4W	5200	137	1	0	2	5210	137	1	0	2	4900	129	1	0	2
			5QW	5333	140	3	0	1	5344	141	3	0	1	5025	132	3	0	1
	50	49.8	2	6310	127	1	0	2	6323	127	1	0	2	5946	120	1	0	2
			3	6349	128	1	0	2	6362	128	1	0	2	5983	120	1	0	2
			4W	6233	125	1	0	2	6245	126	1	0	2	5873	118	1	0	2
			5QW	6392	129	3	0	1	6405	129	3	0	1	6023	121	3	0	1
	70	68.4	2	9486	139	1	0	2	9505	139	1	0	2	8938	131	1	0	2
			3	9544	140	1	0	2	9563	140	1	0	2	8993	131	1	0	2
			4W	9395	137	1	0	2	9414	138	1	0	2	8853	129	1	0	2
			5QW	9608	140	4	0	2	9628	141	4	0	2	9054	132	4	0	2
	100	90.0	2	11976	133	2	0	2	12000	133	2	0	2	11285	125	2	0	2
			3	12050	134	2	0	2	12074	134	2	0	2	11354	126	2	0	2
			4W	11861	132	2	0	2	11885	132	2	0	2	11177	124	2	0	2
			5QW	12131	135	4	0	2	12155	135	4	0	2	11431	127	4	0	2
	115	109.7	2	15572	142	2	0	2	15494	141	2	0	2	14871	136	2	0	2
			3	15833	144	2	0	2	15754	144	2	0	2	15121	138	2	0	2
			4W	15281	139	2	0	3	15205	139	2	0	3	14623	133	2	0	3
			5QW	15732	143	4	0	2	15653	143	4	0	2	15024	137	4	0	2
	135	133.3	2	17971	135	3	0	3	17881	134	3	0	3	17163	129	3	0	3
			3	18272	137	2	0	2	18181	136	2	0	2	17450	131	2	0	2
			4W	17635	132	2	0	3	17547	132	2	0	3	16876	127	2	0	3
			5QW	18156	136	4	0	2	18065	136	4	0	2	17339	130	4	0	2

RAR2 Performance Data on next page

* Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

RATIO Series

AREA/SITE LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RAR2	110	100.3	2	15326	153	2	0	3	15357	153	2	0	3	14442	144	2	0	3
			3	15421	154	2	0	3	15452	154	2	0	3	14531	145	2	0	3
			4W	15180	151	2	0	2	15210	152	2	0	2	14304	143	2	0	2
			5QW	15525	155	4	0	2	15556	155	4	0	2	14629	146	4	0	2
	140	133.2	2	19395	146	2	0	3	19434	146	2	0	3	18276	137	2	0	3
			3	19515	147	2	0	3	19554	147	2	0	3	18389	138	2	0	3
			4W	19210	144	2	0	3	19248	145	2	0	3	18101	136	2	0	3
			5QW	19647	148	5	0	3	19686	148	5	0	3	18513	139	5	0	3
	165	153.6	2	21651	141	3	0	3	21695	141	3	0	3	20402	133	3	0	3
			3	21785	142	3	0	3	21828	142	3	0	3	20527	134	3	0	3
			4W	21444	140	3	0	3	21487	140	3	0	3	20206	132	3	0	3
			5QW	21932	143	5	0	3	21976	143	5	0	3	20666	135	5	0	3
	185	174.5	2	26046	149	3	0	3	26098	150	3	0	3	24543	141	3	0	3
			3	26207	150	3	0	3	26259	150	3	0	3	24694	142	3	0	3
			4W	25797	148	3	0	4	25849	148	3	0	4	24308	139	3	0	4
			5QW	26384	151	5	0	3	26437	152	5	0	3	24861	143	5	0	3
	210	198.2	2	28848	145	3	0	4	28906	146	3	0	4	27184	137	3	0	4
			3	29027	146	3	0	4	29085	147	3	0	4	27351	138	3	0	4
			4W	28572	144	3	0	4	28630	144	3	0	4	26924	136	3	0	4
			5QW	29222	147	5	0	4	29281	148	5	0	4	27536	139	5	0	4
	240	226.9	2	32087	141	3	0	4	32151	142	3	0	4	30235	133	3	0	4
			3	32285	142	3	0	4	32350	143	3	0	4	30422	134	3	0	4
			4W	31780	140	3	0	4	31844	140	3	0	4	29946	132	3	0	4
			5QW	32503	143	5	0	4	32568	144	5	0	4	30627	135	5	0	4
	255	257.0	2	37040	144	3	0	4	36854	143	3	0	4	35373	138	3	0	4
			3	37660	147	3	0	4	37472	146	3	0	4	35966	140	3	0	4
			4W	36347	141	3	0	5	36166	140	3	0	5	34782	135	3	0	5
			5QW	37420	146	5	0	4	37233	145	5	0	4	35736	139	5	0	4
	295	294.0	2	41733	142	3	0	4	41524	141	3	0	4	39855	136	3	0	4
			3	42432	144	3	0	4	42220	144	3	0	4	40523	138	3	0	4
			4W	40953	139	3	0	5	40748	139	3	0	5	39190	133	3	0	5
			5QW	42162	143	5	0	4	41951	143	5	0	4	40264	137	5	0	4
	340	347.1	2	48392	139	4	0	5	48150	139	4	0	5	46215	133	4	0	5
			3	49203	142	3	0	4	48957	141	3	0	4	46989	135	3	0	4
			4W	47488	137	4	0	5	47261	136	4	0	5	45443	131	4	0	5
			5QW	48889	141	5	0	5	48645	140	5	0	5	46689	135	5	0	5

* Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

RATIO Series

AREA/SITE LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

ELECTRICAL DATA

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RAR1	25	120	0.21	25.4
		208	0.12	
		240	0.11	
		277	0.09	
	39	120	0.32	38.0
		208	0.18	
		240	0.16	
		277	0.14	
		347	0.11	
		480	0.08	
	50	120	0.42	49.8
		208	0.24	
		240	0.21	
		277	0.18	
	70	120	0.57	68.4
		208	0.33	
		240	0.29	
		277	0.25	
	100	120	0.75	90.0
		208	0.43	
		240	0.38	
		277	0.32	
	115	120	0.91	109.7
		208	0.53	
		240	0.46	
		277	0.40	
		347	0.32	
		480	0.23	
	135	120	1.11	133.3
		208	0.64	
		240	0.56	
		277	0.48	

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RAR2	110	120	0.84	100.3
		208	0.48	
		240	0.42	
		277	0.36	
	140	120	1.11	133.2
		208	0.64	
		240	0.56	
		277	0.48	
	165	120	1.28	153.6
		208	0.74	
		240	0.64	
		277	0.55	
	185	120	1.45	174.5
		208	0.84	
		240	0.73	
		277	0.63	
	210	120	1.65	198.3
		208	0.95	
		240	0.83	
		277	0.72	
	240	120	1.89	226.9
		208	1.09	
		240	0.95	
		277	0.82	
	255	120	2.14	257.0
		208	1.24	
		240	1.07	
		277	0.93	
		347	0.74	
		480	0.54	
	295	120	2.45	294.0
		208	1.41	
		240	1.23	
		277	1.06	
		347	0.85	
		480	0.61	
	340	120	2.89	347.1
		208	1.67	
		240	1.45	
		277	1.25	
		347	1.00	
		480	0.72	

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0° C	32° F	1.03
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	0.99
40° C	104° F	0.98
50° C	122° F	0.97

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

PROJECTED LUMEN MAINTENANCE

Ambient Temperature	OPERATING HOURS					
	0	25,000	TM-21-11 L90 36,000	50,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.97	0.95	0.93	0.86	238,000
40°C / 104°F	0.99	0.96	0.95	0.93	0.85	225,000

MICRO STRIKE LUMEN MULTIPLIER

Micro Strike Lumen Multiplier			
CCT	70 CRI	80 CRI	90 CRI
2700K	x	0.841	x
3000K	x	0.861	0.647
3500K	x	0.9	x
4000K	1	0.926	0.699
5000K	1	0.937	0.791
Phosphor Coated Amber Multiplier			
AP	0.71		

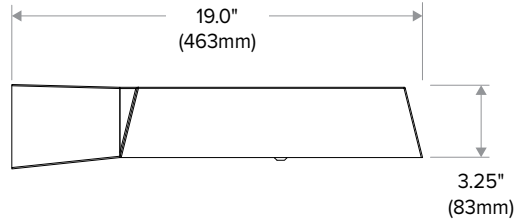
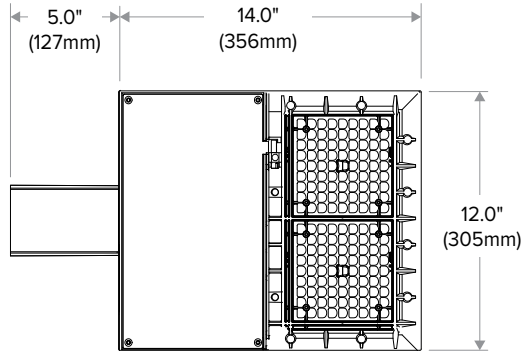
RATIO Series

AREA/SITE LIGHTER

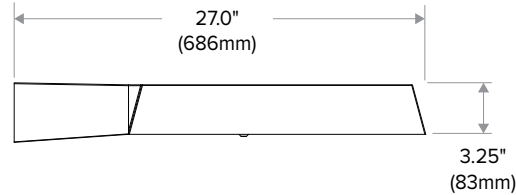
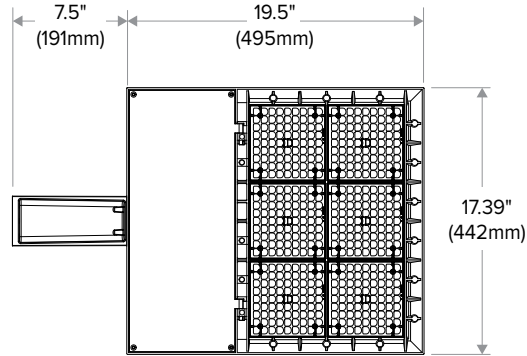
DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

DIMENSIONS

RAR1

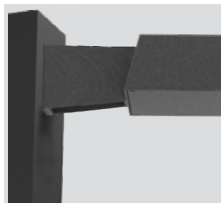


RAR2



ADDITIONAL INFORMATION

MOUNTING



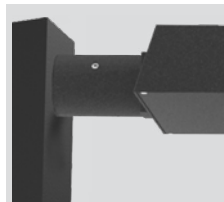
Arm Mount – ASQ: Fixture ships with integral arm for ease of installation.



Knuckle – Knuckle mount 15° aiming angle increments for precise aiming and control, fits 2-3/8" tenons or pipes.



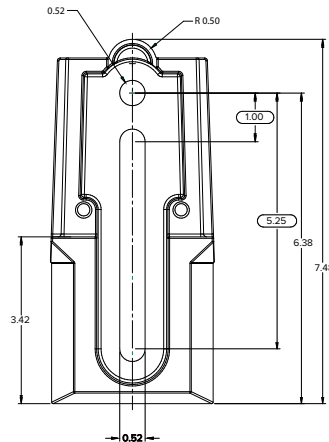
Universal Mounting – Universal mounting block for ease of installation. Compatible with drill patterns from 2.5" to 4.5" and S2 and B3 drill patterns



MAF – Fits 2-3/8" OD arms Roadway applications.



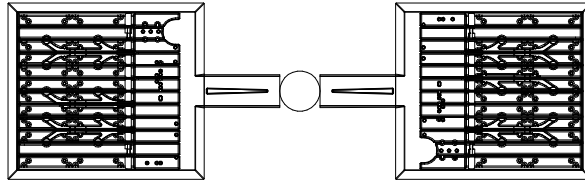
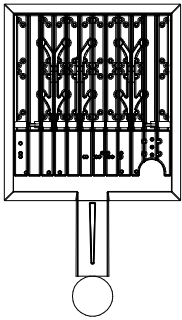
Wall Mount – Wall mount bracket designed for building mount applications.



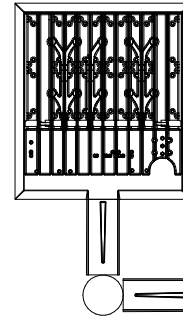
RATIO Series

AREA/SITE LIGHTER

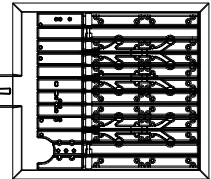
EPA (RAR1)



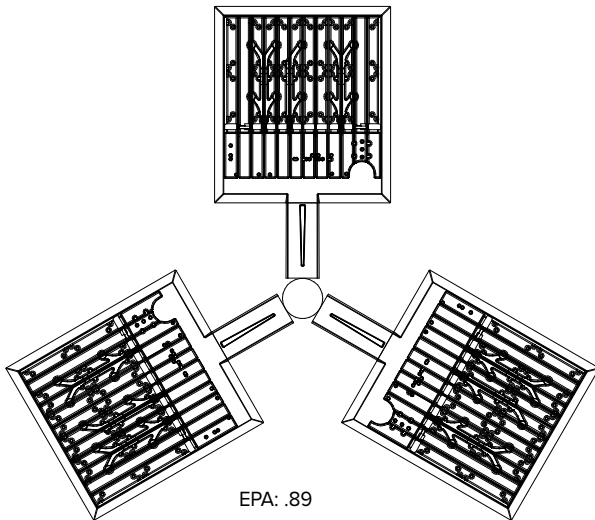
EPA: .99



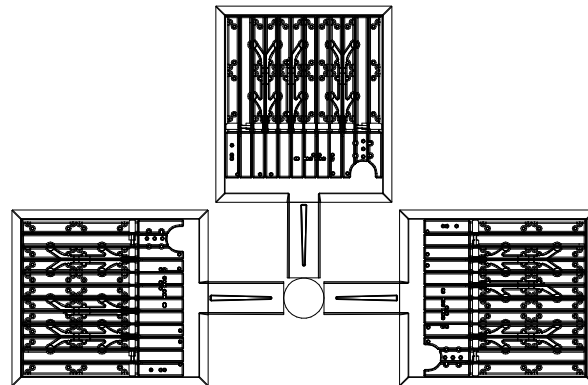
EPA: .62



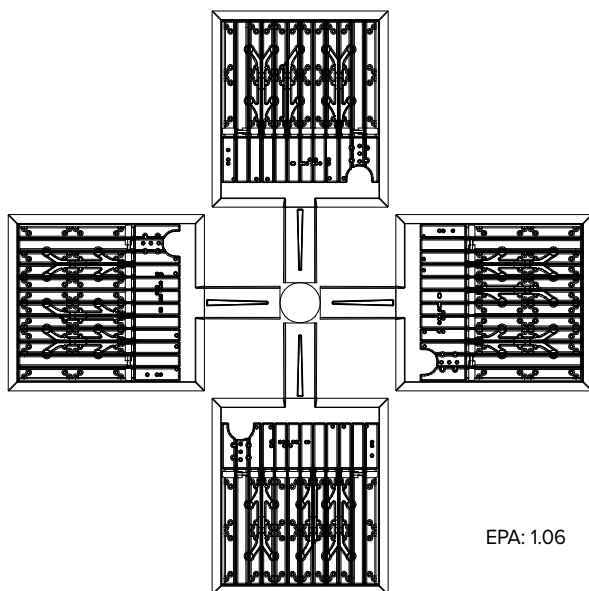
EPA Knuckle Mount 0 degrees: .43
EPA Knuckle Mount 30 degrees: .55
EPA Arm Mount: .0 degrees 38



EPA: .89



EPA: .99

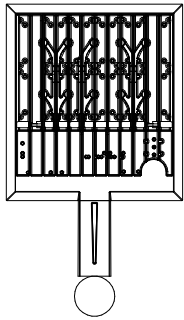


EPA: 1.06

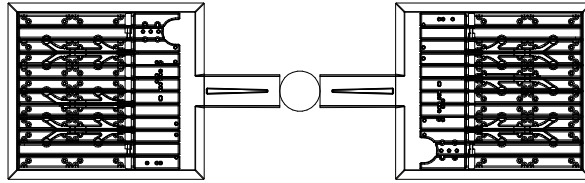
RATIO Series

AREA/SITE LIGHTER

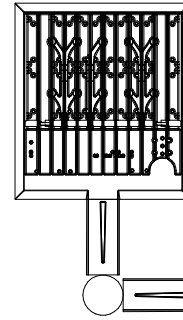
EPA (RAR2)



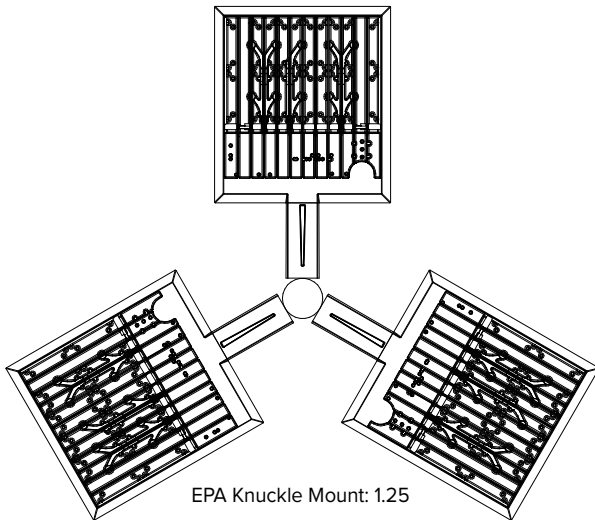
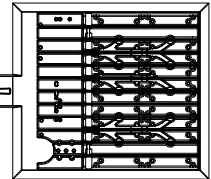
EPA Knuckle Mount: .52
EPA Arm Mount: .55



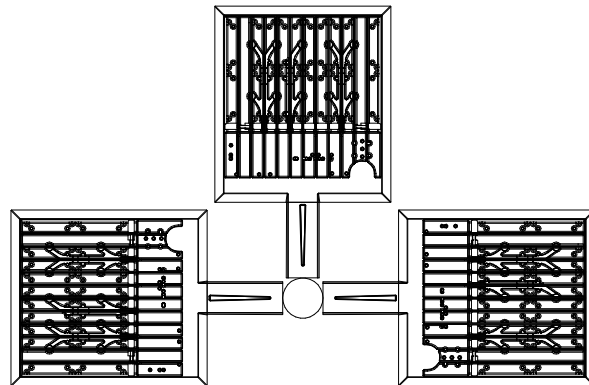
EPA: 1.486



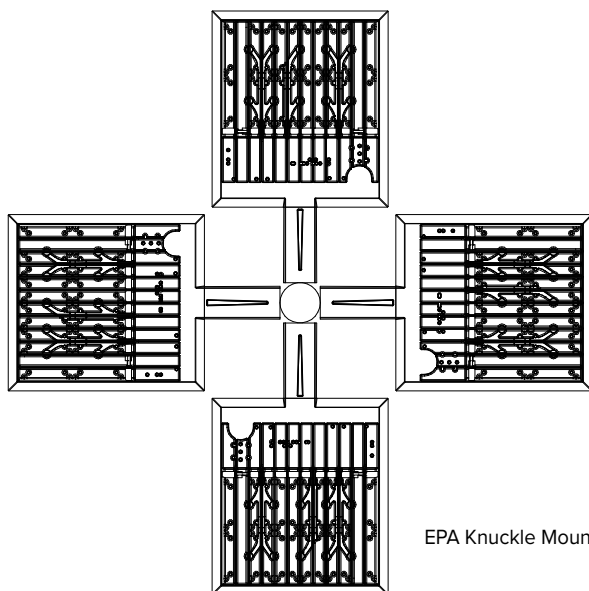
EPA Knuckle Mount: .87



EPA Knuckle Mount: 1.25



EPA Knuckle Mount: 1.41



EPA Knuckle Mount: 1.56

RATIO Series

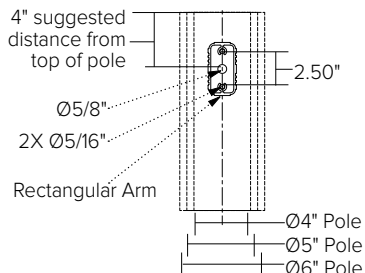
AREA/SITE LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

ADDITIONAL INFORMATION (CONT'D)

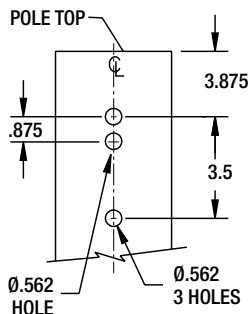
ARM MOUNT (ASQ)

Compatible with Pole drill pattern B3



UNIVERSAL MOUNTING (ASQU)

Compatible with pole drill pattern S2



PROGRAMMED CONTROLS

ADD-AutoDim Timer Based Options

- Light delay options from 1-9 hours after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1-9 hours after the light has been dimmed previously.

EX: ADD-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	1-9 Hours	6
Auto-Dim Brightness	0-9% Brightness	5
Auto-Dim Return	Delay 0-9 Hours	R6

ADT-AutoDim Time of Day Based Option

- Light delay options from 1AM-9PM after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1AM-9PM after the light has been dimmed previously.

EX: ADT-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	12-3 AM and 6-11 PM	6
Auto-Dim Brightness	0-9% Brightness	5
Auto-Dim Return	12-6 AM and 9-11P	R6

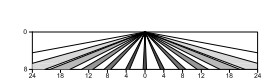
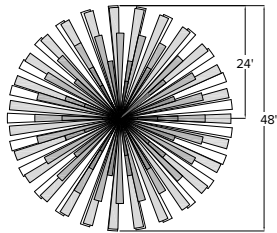
RATIO Series

AREA/SITE LIGHTER

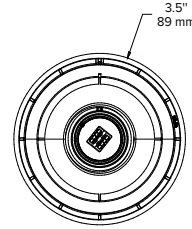
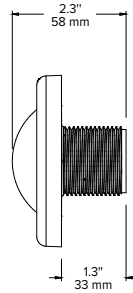
DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

ADDITIONAL INFORMATION (CONT'D)

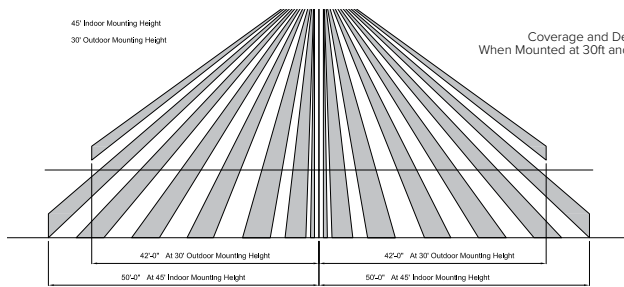
NXSP-14F



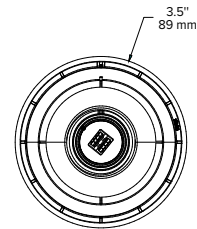
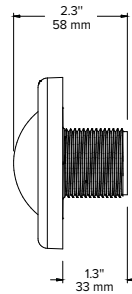
Sensor Lens Coverage and Detection Patterns
When Mounted at 8ft with Low Mount Lens



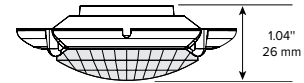
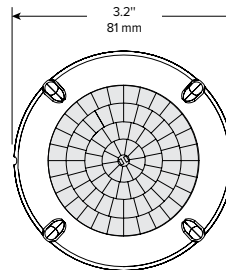
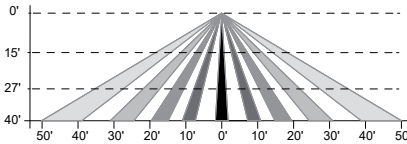
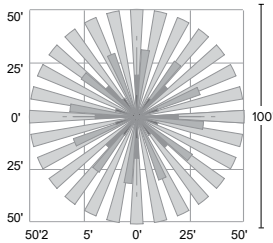
NXSP-30F



Coverage and Detection Patterns
When Mounted at 30ft and 45ft with Standard Lens



SCP-40F



RAR1 EPA

RAR-1	
EPA at 0°	EPA at 30°
.45ft. ² .13m ²	.56ft. ² .17m ²

RAR2 EPA

RAR-2	
EPA at 0°	EPA at 30°
.55ft. ² .17m ²	1.48ft. ² .45m ²

SHIPPING

Catalog Number	G.W(kg)/CTN	Carton Dimensions		
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
RAR1	15 (6.8)	20.75 (52.7)	15.125 (38.4)	6.9375 (17.6)
RAR2	19 (8.6)	25 (63.5)	15.125 (38.4)	6.9375 (17.6)

RATIO Series

AREA/SITE LIGHTER

DATE: _____ LOCATION: _____

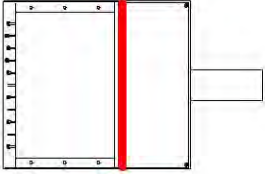
TYPE: _____ PROJECT: _____

CATALOG #: _____

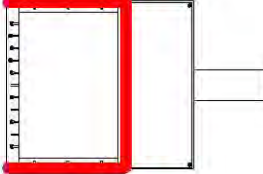
ADDITIONAL INFORMATION (CONT'D)

RATIO HOUSE SIDE SHIELD

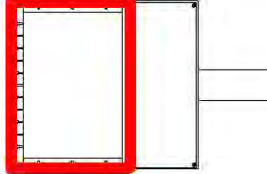
RARx HSS-90-B-xx



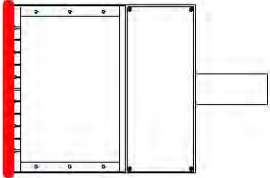
RARx HSS-270-BSS-xx



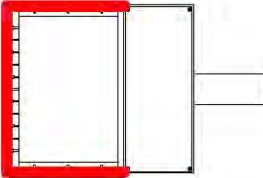
RARx HSS-360-xx



RARx HSS-90-F-xx

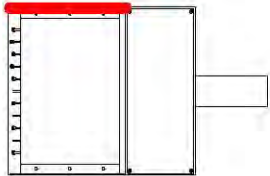


RARx HSS-270-FSS-xx

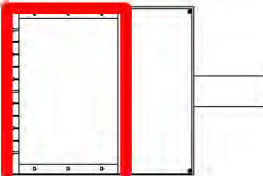


Note: Not to be used with
Occupancy Sensors as the shield
may block the light to the sensor

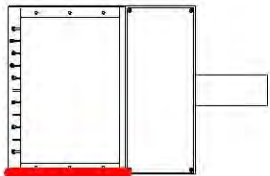
RARx HSS-90-S-xx



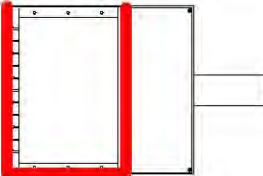
RARx HSS-270-FSB-xx



RARx HSS-90-S-xx



RARx HSS-270-FSB-xx





DATE: _____ TYPE: _____

NAME: _____

PROJECT: _____

Halogen/incandescent

P5675-31

Cylinder

5" up/down cylinder with heavy duty aluminum construction and die cast wall bracket. Powder coated finish. Wet location listed when used with P8799 top cover lens

Category: Outdoor

Finish: Black (powdercoat)

Construction: Cast aluminum construction
metal shade



Width: 5"
Height: 14"
Depth: 7-7/8"
H/CTR: 7"

MOUNTING	ELECTRICAL	LAMPING	ADDITIONAL INFORMATION
Wall mounted Mounting strap for outlet box included Back plate covers a standard 4" hexagonal recessed outlet box 4-1/2" sq.	Pre-wired 6" of wire supplied 120V	Quantity: 2 75W PAR-30 or BR-30 Medium base porcelain sockets With two General Electric retrofit lamps #LED12P30RW83025	cCSAus Damp location listed location listed 1 year warranty Companion fixtures are available

FLL LED FLOODLIGHT

Cat.#

Job

Type



HUBBELL
Outdoor Lighting

Approvals

SPECIFICATIONS

Intended Use:

Large LED flood with beam distribution for lighting applications such as safety/security, facade, area, or signs

Construction:

- Corrosion resistant, rugged die-cast aluminum housing with powder coat paint finish
- Tempered glass lens protects LEDs and allows for cleaning/debris removal
- Vented housing isolates LED module from driver, maximizing product life and performance
- Visor, louver and vandal accessories available

LED:

- 28 high power LED's (Stock/MTO)
- 42 high power LED's (MTO)
- 140 high power LED's (Stock)
- Ambient operating temperature -35°C to 40°C
- Stock Versions: 4000K and 5000K CCT
- MTO Versions: 3000K nominal with 80 CRI, 4000K and 5000K CCT nominal with 70 CRI

Optical/Electrical:

- Variety of NEMA distributions - N (3x3), M (4x4), RM (5x4) and W (6x6) - for wide range of lighting applications; Stock version Wide (6x6) only
- 120-277V operation, 50/60Hz, 95W, 1050mA, 100 LPW (Stock/MTO - 28LED)
- 120-277V operation, 50/60Hz, 150W, 158mA, 98 LPW (Stock only - 140LED)

Optical/Electrical (Cont.)

- 120-277V, 347V, and 480V operation, 50/60Hz, 95W, 700mA, up to 119 LPW (MTO only - 42LED)
- IP65 fixture, Driver IP66 and RoHS compliant
- 10KV surge protector comes standard
- 0-10V dimming driver standard, continuous dimming option to have leads pulled out for easy connection

Installation:

- Knuckle mount 15' aiming angle increments for precise aiming and control, fits 2-3/8" tenons or pipes
- Heavy duty steel yoke with adjustable stainless steel hardware, mounting holes for one center - 3/4" bolt or two side - 3/8" bolts
- 3' SEOWW cord with yoke mount

Listings:

- IP65, Listed to UL1598 for use in wet locations.
- DLC Qualified (4000K and 5000K models only); Consult DLC website for more details: <https://www.designlights.org/QPL>
- EPA = 1.0ft²

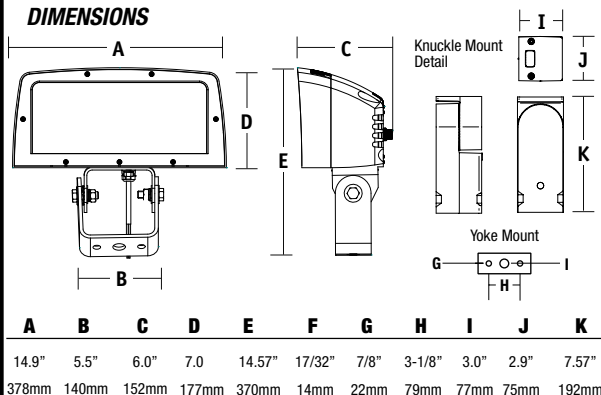
Warranty:

For more information visit:
<http://www.hubbelllighting.com/resources/warranty/>

PRODUCT IMAGE(S)



DIMENSIONS



CERTIFICATIONS/LISTINGS



SHIPPING INFORMATION

Catalog Number	G.W.(kg)/CTN	Carton Dimensions		
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
FLL (Single Carton)	25 (12.3) lbs	17.72" (45)	13.0" (33)	10.00" (25.5)

Carton dimensions for shipping purposes only

ORDERING INFORMATION - STOCK VERSION

Catalog Number	Mount	Max Candle Power	Beam Pattern	Wattage	# Drivers/ Current	Voltage	Color Temperature/ CRI	Lumens	LPW	Weight lbs. (kg)	Finish
FLL-95-Y	Yoke	7789	Wide	97w	1@700mA	120-277V	5000K/70	10600	109	20 (9.0)	Bronze
FLL-95-4K-Y	Yoke	7265	Wide	97w	1@700mA	120-277V	4000K/70	10173	105	20 (9.0)	
FLL-150-4K-U-Y	Yoke	5627	Wide	150w	1@158mA	120-277V	4000K/80	14665	98	20 (9.0)	
FLL-150-5K-U-Y	Yoke	5731	Wide	150w	1@158mA	120-277V	5000K/80	14764	98.4	20 (9.0)	
FLL-150-4K-U-K	Knuckle	5627	Wide	150w	1@158mA	120-277V	4000K/80	14665	98	20 (9.0)	
FLL-150-5K-U-K	Knuckle	5731	Wide	150w	1@158mA	120-277V	5000K/80	14764	98.4	20 (9.0)	

ORDERING INFORMATION - MADE TO ORDER

FLL		-		-		-	7	-		-		-		-		-					
FAMILY		# LEDS		WATTS		CCT		CRI		DISTRIBUTION		VOLTAGE		MOUNTING		FINISH		CONTROL OPTION		OPTIONS	
FLL	FACTOR	28L	28 LED	95	95W	3K	3000K	7	70 CRI	N	3x3	U	120V-277V	K	Knuckle	DB	Bronze	PC	Photocontrol (voltage specified and determined by voltage field)	F	Fusing 120 or 277V only (determined by voltage field)
	Flood	42L	42 LED			4K	4000K			M	4x4	1	120V	Y	Yoke	BL	Black				
	Large					5K	5000K			RM	5x4	2	208V			WH	White				
										W	6x6	3	240V			GR	Gray	CD	Continuous dimming		
												4	277V			PS	Platinum silver				
												5 ¹	480V			CC	Custom color				
												F ¹	347V								

¹ 42L only

ACCESSORIES & REPLACEMENT PARTS - Order Separately

Catalog Number	Description
FLL-VISOR-DB	Bronze top visor (Tap holes in lens frame for field installation)
93053186	FLL28, 95w, 120-277V Dimming driver, 1050mA (1 Qty)
93053187	FLL140, 95w, 120-277V Dimming driver, 700mA (1 Qty)
FLL-LOUVER-BL	Black adjustable louver
ARF-SPC	Polycarbonate vandal shield
4024C	Steel slipfitter for 2" pipe, 2 3/8" OD yoke mount, bronze finish
4040	Heavy-duty steel wall/pole bracket; bronze Lektrocote®



FLL-LOUVER-BL



ARF-SPC



FLL-VISOR-XX

PERFORMANCE DATA - Stock

PERFORMANCE DATA - Stock				4K (4000K nominal)				5K (5000K nominal)		
# OF LEDS	DRIVE CURRENT (MILLIAMPS)	SYSTEM WATTS	DISTRIBUTION TYPE	NEMA	LUMENS	LPW	MAX BEAM CANDLEPOWER	LUMENS	LPW	MAX BEAM CANDLEPOWER
28	1050mA	95W	W	6 x 6	8992	94.5	6805	9557	100.6	6935
140	158mA	150W	W	7 x 7	14665	98	5627	14764	98.4	5731

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment, application and inherent performance tolerances of the electrical components.

PERFORMANCE DATA - MTO

# OF LEDS	DRIVE CURRENT	SYSTEM WATTS	DIST. TYPE	NEMA	FIELD ANGLE H° X V°	5K (5000K nominal, 70 CRI)			4K (4000K nominal, 70 CRI)			3K (3000K nominal, 80 CRI)		
						LUMENS	LPW ¹	MAX BEAM CANDLEPOWER	LUMENS	LPW ¹	MAX BEAM CANDLEPOWER	LUMENS	LPW ¹	MAX BEAM CANDLEPOWER
28	1050mA	95W	W	6 x 6	107° x 107°	9557	100.6	6935	-	-	-	-	-	-
42	700mA	97W	N	3 x 3	32° x 32°	10860	114	91770	10263	108	85000	7473	80	63093
			M	4 x 4	53° x 53°	11400	119	46836	10335	108	33566	7654	81	26201
			RM	5 x 5	84° x 86°	9806	102	17388	8889	93	14733	6702	71	11395
			W	6 x 6	107° x 107°	10967	113	8024	10173	105	7265	7694	79	5475

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

PROJECTED LUMEN MAINTENANCE

OPERATING HOURS – FLL-28L						
AMBIENT TEMP.	0	25,000	50,000	¹ TM-21-11 60,000	100,000	Calculated L70 (HOURS)
25°C / 77°F	1.00	0.94	0.91	0.88	0.79	>149,000
40°C / 104°F	1.00	0.92	0.90	0.87	0.76	>132,000

Nichia 219B, 1080mA, 85°C

OPERATING HOURS – FLL-42L						
AMBIENT TEMP.	0	25,000	50,000	¹ TM-21-11 60,000	100,000	Calculated L70 (HOURS)
25°C / 77°F	1.00	0.98	0.96	0.96	0.94	>625,000
40°C / 104°F	1.00	0.96	0.94	0.93	0.90	>435,000

OPERATING HOURS – FLL-150						
AMBIENT TEMP.	0	25,000	50,000	¹ TM-21-11 60,000	100,000	Calculated L70 (HOURS)
25°C / 77°F	1.00	0.96	0.94	0.93	0.89	>331,000
40°C / 104°F	1.00	0.95	0.92	0.90	0.85	>237,000

Nichia NFSL757DT-V1, 150mA, 85°C

ELECTRICAL DATA

# OF LEDS	NUMBER OF DRIVERS	DRIVE CURRENT (mA)	INPUT VOLTAGE (V)	CURRENT (Amps)	SYSTEM POWER (W)
28	1	1050mA	120	0.82	95
			277	0.36	95
42	1	700mA	120	.80	96
			277	.35	96
140	1	158mA	120	1.25	150
			277	0.54	150

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

AMBIENT TEMPERATURE	LUMEN MULTIPLIER
0°C	1.02
10°C	1.01
20°C	1.00
25°C	1.00
30°C	1.00
40°C	0.99

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).



HUBBELL
Outdoor Lighting

Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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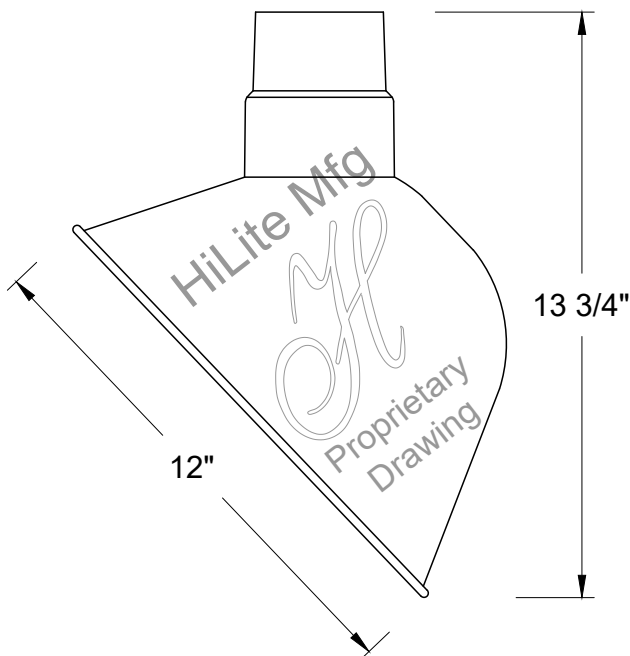


H-18112

Angle Shade Collection

**HI-LITE MFG.
CO., INC**

13450 Monte Vista Avenue
Chino, California 91710
Telephone: (909) 465-1999
Toll Free: (800) 465-0211
Fax: (909) 465-0907
web: www.hilitemfg.com
e-mail: sales@hilitemfg.com



Job Name:

Type:

Quantity:

FINISH -Multi-stage pretreatment procedure using materials of polyester/polished powder coat, baking enamel liquid, raw metals, and galvanized finishes.

Standard Finishes are: 91(Black), 93(White), 95(Dark Green), 96(Galvanized), BR47(Powder Coat Rust), BK01(Black Texture), GN20(Powder Coat Patina).

Upgraded Finishes are: 29, 66, 82, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 133, 134, 135, 136, 98, 101, 102, 137, 138, 139, 140, 121, 122, 123, 124, 125, 126, 11, 01, 22, 25, 33, 77, 89, 24, 44, 48, 49, 15, 16.

(Custom finishes available).

For interior finish of fixture refer to color chart on pages 344-348.

MOUNTING - Stem, Arm, and Flush mounting available.

ACCESSORIES - CGU(Cast Guard and Glass), LCGU(Large Cast Guard and Glass), WGU(Wire Guard and Glass), LWGU(Large Wire Guard and Glass), ARN(Acorn Globe), LARN(Large Acorn Globe), WGR(Wire Guard) and SK(Swivel Knuckle) available.

REFLECTOR - Heavy duty, spun shade, aluminum 6061-0 and/or 1100-0, galvanized 22 gauge, steel 20/22 gauge, copper 032/040 and brass 032/040 construction. Dependant on finish.

SOCKETS/LAMPS - Available in:

Incandescent

- rated 200 watt max/120 volt, medium base.

Compact Fluorescent(CFL)

- rated 13/18/26/32/42/57 watt max/120/277 volt, GX24Q base.

Metal Halide(MH)

- rated 35/50/70/100/150/175 watt max/120/208/240/277 volt, medium base, 4KV socket.

High Pressure Sodium(HPS)

- rated 50/70/100/150 watt max/120/277 volt, medium base.

Light-Emitted Diode(LED)

-See LED specification sheet.

MADE IN THE U.S.A.

Suitable for wet location.



DESCRIPTION

The Halo Surface LED Downlight (SLD) is designed with technology to create an ultra-low profile **Z1** with the performance and look of a traditional downlight. SLD4 is designed for installation in many 3-1/2" and 4" round or octagon junction boxes. May also retrofit in 4" aperture IC and Non-IC recessed housings*. Dedicated LED wiring connector meets high-efficacy code requirement in recessed downlighting. Suitable for residential or commercial installations. Ideal for closets, storage areas, attics and basements. Compliant with NFPA® 70, NEC® Section 410.16 (A)(3) and 410.16 (C)(5).

SPECIFICATION FEATURES

CONSTRUCTION

- Die cast aluminum trim ring and die formed aluminum frame

OPTICS

- WaveStream™ technology provides uniform luminance from a low profile flat lens
- AccuAim™ optics provide directional control for the "cone-of-light" beam distribution of a traditional downlight
- Precision molded lens features high transmission polymer with UV stabilized protecting film

DESIGNER TRIMS

Accessories (sold separately)

SLD designer trims are accessory rings that attach to the SLD for a permanent finish. Refer to SLD accessories specification sheet for details.

- White (Paintable)
- Satin Nickel
- Tuscan Bronze

ELECTRICAL JUNCTION BOX MOUNTING

- SLD may be used in compatible electrical junction boxes in direct contact with insulation including spray foam insulation
- Suitable for installation in many 3-1/2" and 4" octagon and round electrical junction boxes.
Note: Driver consumes 3 cubic inches of junction box.
- Installer must ensure compatibility of fit, wiring and proper mounting in the electrical junction box. This includes all applicable national and local electrical and building codes.
- Proprietary Slot-N-Lock quick installation system for junction box installation

- T-bracket with Slot-N-Lock mounting tabs included.

RECESSED HOUSING MOUNTING Friction Blade

- Pre-installed precision formed friction blades included
- Friction blade design allows the SLD to be installed in any position within the housing aperture (360 degrees)

* **Note:** Not for use in recessed housings in direct contact with spray foam insulation refer to NEMA LSD 57-2013

LED

- Trilateral linear LED assembly is integrated in trim perimeter.
- Color Temperature: 2700K, 3000K, 3500K, 4000K
- CRI options: 80 and 90+
 - 90 CRI can be used to comply with California Title 24 High Efficacy requirements. Certified to California Appliance Efficiency Database under JA8
- L70 at 50,000 hours projected in accordance with TM-21

WARRANTY

Eaton provides a five year limited warranty on the SLD LED

LED CHROMATICITY

- A tight chromaticity specification ensures LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) over the useful life of the LED
- LED chromaticity of 3 SDCM exceeds ENERGY STAR® color standards per ANSI C78.377-2008
- 90 CRI model features high color performance with R9 greater than 50

- Every Halo LED is quality tested, measured, and serialized in a permanent record to register lumens, wattage, CRI and CCT.
- Halo LED serialized testing and measurement ensures color and lumen consistency on a per-unit basis, and validates long-term product consistency over time

ELECTRICAL CONNECTIONS Junction Box

- Compatible with many 3-1/2" x 2" and 4" x 1-1/2" round and octagon boxes (2-1/8" deep boxes recommended)

- Supply Wire Adapter with LED quick connector included

Recessed Housings

- LED connector is compatible with Halo 4" H995 and H245 Series LED Housings
- LED Connector meets California Title-24 high-efficacy luminaire standard as a non-screw base
- The included E26 Edison screw-base adapter provides capability for retrofit*
- LED connector is a non-screwbase luminaire disconnect for tool-less installation

LED DRIVER

- Driver is a 120V input high efficiency, dimmable electronic power supply providing DC power to the LED array
- Driver features high power factor, low THD, and has integral thermal protection in the event of over temperature or internal failure.
- Driver is replaceable if it should be required



SLD4058xxWH

80CRI
2700K, 3000K, 3500K,
and 4000K

SLD4059xxWH

90CRI
2700K, 3000K, 3500K,
and 4000K

4" Surface LED Downlight

Suitable for
ceiling or wall
electrical junction boxes

Suitable for
4" recessed
housing retrofit
(IC, Non-IC & AIR-TITE™)

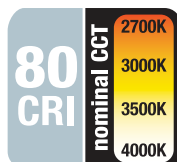
ENERGY DATA

	80 CRI	90 CRI
Lumens (4000K models)	800	710
Input Voltage	120V	120V
Frequency	50/60 Hz	50/60 Hz
Input Current	0.10 A	0.10 A
Input Power	12.2 W	12 W
Efficiency (4000K models)	66 lm/W	59 lm/W
THD	≤ 20%	
Power Factor	≥ 0.90	
T Ambient	-30 - +40°C	
Sound Rating	Class A	

NOMENCLATURE

SLD405830WH

405 = 4" SLD
8 = >80 CRI
30 = 3000K
WH = Matte White



Refer to ENERGY STAR® Certified Products List.



Refer to ENERGY STAR® Qualified Products List.
Can be used to comply with California Title 24 High Efficacy requirements.
Certified to California Appliance Efficiency Database under JA8.
Indoor LED nominal CCT of 4000K or less.

DIMMING

- Designed for continuous dimming capability to nominally 5% with many 120V Leading Edge (LE) and Trailing Edge (TE) phase control dimmers. Dimming to 5% is best assured using dimmers with low end trim adjustment. Consult dimmer manufacturer for compatibility and conditions of use. (Note some dimmers require a neutral in the wallbox.)

COMPLIANCE

- cULus Listed ceiling and wall
- cULus Damp Location listed ceiling and wall
- cULus Wet Location Listed, ceiling only (shower rated)
- Suitable for use in closets, compliant with NFPA® 70, NEC® Section 410.16 (A)(3) and 410.16 (C)(5)

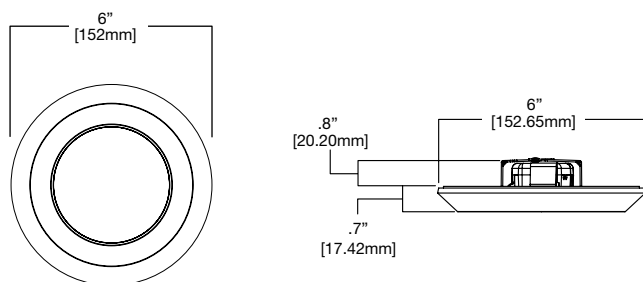
- SLD may be used in compatible electrical junction boxes in direct contact with insulation including spray foam insulation
- May be installed in IC recessed housings in direct contact with insulation (Not for use in recessed housings in direct contact with spray foam insulation. Refer to NEMA LSD 57-2013)
- UL Classified when used in retrofit with listed housings (See Housing Compatibility)
- EMI/RFI: meets FCC 47CFR Part 15 Class B limits, and is suitable for use in residential and commercial installations
- Airtight certified per ASTM E283 (not exceeding 2.0 CFM under 57 Pascals pressure difference)
- 90 CRI: Can be used to comply with California Title 24 High Efficacy requirements.
- 80 CRI: Can be used to comply with California Title 24 Non-Residential Lighting Controls requirements as a LED luminaire.
- Can be used for International Energy Conservation Code (IECC)
- ENERGY STAR® Certified luminaire - consult ENERGY STAR® Certified Product List
- Contains no mercury or lead and RoHS compliant.
- Photometric testing in accordance with IES LM-79
- Lumen maintenance projections in accordance with IES LM-80 and TM-21

**SLD4058xxWH**

80CRI

**2700K, 3000K, 3500K,
and 4000K****SLD4059xxWH**

90CRI

**2700K, 3000K, 3500K,
and 4000K****4" Surface LED
Downlight****Suitable for
ceiling or wall
electrical junction boxes****Suitable for
4" recessed
housing retrofit
(IC, Non-IC & AIR-TITE™)****DIMENSIONS****ORDERING INFORMATION****SAMPLE NUMBER:** SLD405927WH SLD4TRMSN**Junction Box Installation:** Order junction box separately, as supplied by others, to complete installation.**Recessed Installation:** Order Halo recessed housing separately to complete installation.

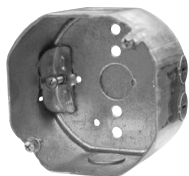
Models	Color Rendering Index	Color Temperature (CCT)	Finish	Accessories
SLD405= 4" Surface LED Downlight, 120V	8=80 CRI 9=90 CRI	27=2700K 30=3000K 35=3500K 40=4000K	WH=White	Designer Trims Fit over the SLD4 for a designer finish SLD4TRMSN=4" SLD Satin Nickel SLD4TRMTBZ=4" SLD Tuscan Bronze SLD4TRMWH=4" SLD White (paintable) J-Box Spacer Extension Ring Add 15/16" depth when SLD driver cannot fit into installed junction box SLD4EXT=4" Surface LED J-Box Extender, 7.75" O.D. RAD Adapters When junction box is mounted flat on a ceiling or beam surface (not recessed in ceiling) SLD4RAD=4" SLD Round Surface J-Box Adapter, 6.15" O.D. (For 4-inch round or octagon junction boxes) Spare Parts SLD4ACCKIT=4" Accessory Parts Replacement Kit (Screwbase adapter, torsion springs, friction blades) SLD4BRKT=4" Junction Box Bracket & Screws Refer to SLD Accessories specification sheet for further information.
California non-E26 Models SLD405927WH-CA SLD405930WH-CA SSLD405935WH-CA SSLD405940WH-CA				

HOUSING COMPATIBILITY

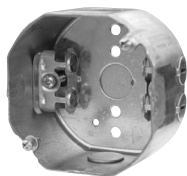
The SLD4 is UL Listed in Halo recessed housings, and is UL Classified for use with any 4 inch diameter recessed housing constructed of steel or aluminum with an internal volume that exceeds 62.3 in³ in addition to those noted below:

Compatible Halo LED Housings with LED luminaire connector (high-efficacy compliant)		
HALO LED	Recessed Can Size	Catalog Number
	4"	H995ICAT, H995RICAT, H245ICAT, H245RICAT
Compatible Halo Incandescent E26 Screwbase Housings		
HALO	Recessed Can Size	Catalog Number
	4"	H99ICAT, H99TAT, H99RTAT, E4ICATSB, E4TATSB, E4RTATSB

COMPATIBLE WITH EATON'S CROUSE-HINDS JUNCTION BOXES



TP316
for non-metallic cable
4" x 4" x 2-1/8"
(102mm x 102mm x 54mm)



TP317
for metal clad cable
4" x 4" x 2-1/8"
(102mm x 102mm x 54mm)

- **TP316** - for non-metallic cable
- **TP317** - for metal clad cable
- UL Listed
- Refer to www.crouse-hinds.com

COMPATIBLE WITH MANY OTHER JUNCTION BOXES*



4" octagon light fixture/fan steel box
4" x 4" x 2-1/8"
(102mm x 102mm x 54mm)



4" octagon steel box
4" x 4" x 1-1/2"
(102mm x 102mm x 38mm)



4" round new work non-metallic box with hanger bar assembly
4" diameter x 2-3/16" (102mm x 56mm)



4" round new work non-metallic light fixture/fan box
4" diameter x 2-3/16"
(102mm x 56mm)



3-1/2" round new work non-metallic ceiling box
3-1/2" diameter x 2-3/4"
(89mm x 70mm)



3-1/2" round old work non-metallic box
4-1/4" O.D. flange, 3-1/2" I.D. x 2-5/8"
(108mm O.D., 89mm I.D. x 67mm)



4" round surface mount box
4" diameter x 1-1/2"
(102mm x 38mm)
Requires SLD4RAD adapter

*This is a representative list of compatible junction boxes only. Information contained in this literature about other manufacturers' products is from published information made available by the manufacturer and is deemed to be reliable, but has not been verified. Eaton makes no specific recommendation on product selection and there are no warranties of performance or compatibility implied. Installer must determine that site conditions are suitable to allow proper installation of the SLD mounting bracket in the box.

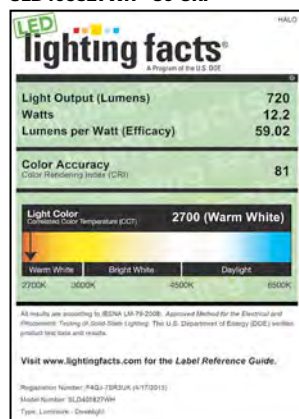
PRODUCT DATA

Cat No.	CRI	CCT	Lumens	Power (W)	LPW
SLD405827WH	81	2700	720	12.2	59
SLD405830WH	81	3000	750	12.2	61
SLD405835WH	81	3500	780	12.2	64
SLD405840WH	81	4000	800	12.2	66
SLD405927WH	92	2700	650	12	54
SLD405930WH	92	3000	670	12	56
SLD405935WH	92	3500	690	12	58
SLD405940WH	92	4000	710	12	59

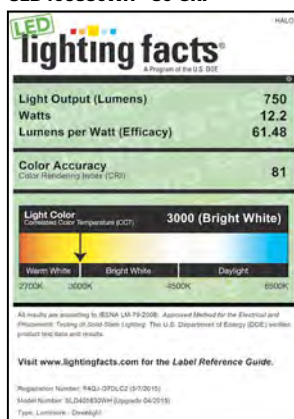
Performance values are presented as typical for the model(s) indicated. Field results may vary.

LIGHTING FACTS®

SLD405827WH - 80 CRI



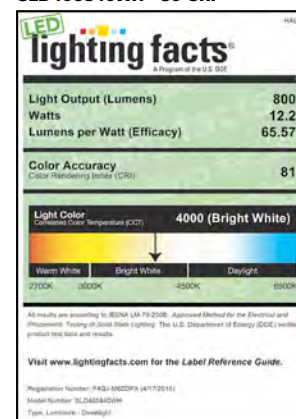
SLD405830WH - 80 CRI



SLD405835WH - 80 CRI



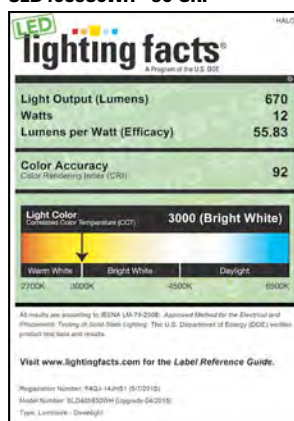
SLD405840WH - 80 CRI



SLD405927WH - 90 CRI



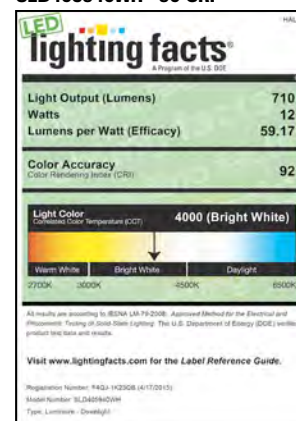
SLD405930WH - 90 CRI



SLD405935WH - 90 CRI



SLD405940WH - 90 CRI





Catalog # : _____ Project : _____

Z2

Prepared By : _____ Date : _____

Scottsdale® Legacy (CRUS)

LED Canopy Luminaire



OVERVIEW

Lumen Package	6,000 - 22,000
Wattage Range	61 - 159
Efficacy Range (LPW)	95 - 148
Weight lbs(kg)	27 (12.2)

QUICK LINKS

[Ordering Guide](#)[Performance](#)[Photometrics](#)[Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Features a ultra-slim 3/4" profile die-cast housing, with flat glass lens. Unit is water-resistant, sealed and IP67 rated. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.
- Standard color is white and is finished with LSI's DuraGrip® polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.
- Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

Optical System

- Features an array of select, mid-power, high brightness, high efficiency LED chips; 5000K, 4000K, 3000K color temperature, 70 CRI.
- Choice of Symmetrical or Asymmetrical, which directs light through a clear tempered glass lens, to provide a uniform distribution.
- Five Lumen Packages: VLW (9,000), LW (10,000), SS (13,000), HO (18,000), VHO (22,000).

Electrical

- High performance factory programmable driver features over-voltage, under voltage, short-circuit and over temperature protection with integral surge protection

that meets IEEE C62.41.2 and ANSI C82.77-5 Location Category C Low standards. Additional 10kV surge protection device meets a minimum Category C Low standards (per ANSI/IEEE C62.41.2).

- Driver components are fully encased in potting for moisture resistance. Complies with IEC and FCC standards. 0-10 V dimming supplied standard with all drive currents.
- Die-cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and contributes to attaining the lowest operating temperatures available. Seals to optical housing via one-piece molded silicone gasket.
- Universal voltage power supply, 120-277 VAC, 50/60 HZ and 347-480 VAC, 50/60 HZ input.
- -40°C to 50°C (-40°F to +122°F) ambient operating temperature.
- Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location. See LSI website for specific guidance.

Hazardous Location

- Designed for lighter than air fuel applications. Product is suitable for Class 1 Divisions 2 only when properly installed per LSI installation instructions. See lsi-industries.com for specific guidance. LW

and SS lumen packages only.

Installation

- One-person installation.
- Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit.
- Retro panels are available for existing Encores as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

Warranty

- LSI LED Fixtures carry a 5-year warranty or 10-year warranty with registration for petroleum applications only (contact your LSI representative for details).

Listings

- UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.
- Meets Buy American Act requirements.





Scottsdale® Legacy LED Canopy Luminaire

ORDERING GUIDE

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TYPICAL ORDER EXAMPLE: **CRUS SC LED SS 50 UE WHT**

Prefix	Distribution	Light Source	Drive Current	Color Temp	Input Voltage	Finish	Options
CRUS - LED Canopy Luminaire	SC - Symmetric	LED	VLW - Very Low Watt	50 - 5,000K	UE - Universal Voltage (120 - 277V) 347 - 480V	WHT - White BRZ - Bronze BLK - Black	HL ² - Hazardous Location
	AC ¹ - Asymmetric		LW - Low Watt SS - Super Saver HO - High Output VHO - Very High Output	40 - 4,000K 30 - 3,000K			

Notes:

1 - AC distribution utilizes a reflector which alters the look from a standard SC distribution.

2 - LW and SS lumen packages only

PERFORMANCE

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DELIVERED LUMENS*											
Lumen Package	Distribution	3000K CCT			4000K CCT			5000K CCT			Avg. Watts
		Delivered Lumens	Efficacy	BUG Ratings	Delivered Lumens	Efficacy	BUG Ratings	Delivered Lumens	Efficacy	BUG Ratings	
VLW	SC	7933	130	B3-U0-G1	7977	131	B3-U0-G1	9055	148	B3-U0-G1	61
	AC	6687	110	B2-U0-G1	6723	110	B2-U0-G1	7632	125	B2-U0-G2	
LW	SC	9221	125	B3-U0-G1	9272	125	B3-U0-G1	10525	142	B3-U0-G1	74
	AC	7783	105	B2-U0-G1	7826	106	B2-U0-G1	8884	120	B2-U0-G2	
SS	SC	11980	122	B3-U0-G1	12046	128	B3-U0-G1	13674	140	B3-U0-G1	98
	AC	10159	104	B3-U0-G2	10215	104	B3-U0-G2	11595	118	B3-U0-G2	
HO	SC	16325	124	B3-U0-G1	16415	124	B3-U0-G1	18633	141	B3-U0-G1	132
	AC	13269	101	B3-U0-G2	13342	101	B3-U0-G2	15145	115	B3-U0-G2	
VHO	SC	19641	124	B4-U0-G2	19749	124	B4-U0-G2	22418	141	B4-U0-G2	159
	AC	15124	95	B3-U0-G2	15207	96	B3-U0-G2	17262	109	B3-U0-G2	

*LED Chips are frequently updated therefore values are nominal.

RECOMMENDED LUMEN MAINTENANCE					
Ambient Temperature C	0 hrs.	25K hrs.	50K hrs.	75K hrs.	100K hrs
25	25	100%	97%	92%	88%
30	30	100%	97%	92%	88%
35	40	100%	95%	90%	85%
40	50	100%	94%	89%	83%

FOOTNOTES:

- 1 - Lumen maintenance values at 25°C are calculated per TM-21 based on LM-80 data and in-situ luminaire testing.
- 2 - In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing ((DUT) i.e. the packaged LED chip).
- 3 - In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times NA LM-80-08 total test duration (in hours) for the device under testing ((DUT) i.e. the packaged LED chip).





PHOTOMETRICS

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Luminaire photometry has been conducted by an accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

See <http://www.lsi-industries.com/products/led-lighting-solutions.aspx> for detailed photometric data.

CRUS-SC-SS-50

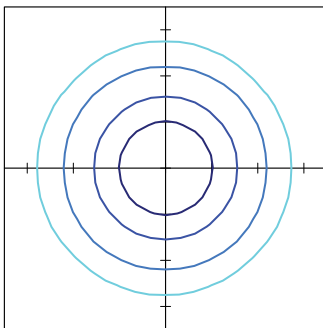
LUMINAIRE DATA

Wide Distribution	
Description	5000 Kelvin, 70 CRI
Delivered Lumens	13,674
Watts	97.9
Efficacy	140
IES Type	Type VS - Very Short
BUG Rating	B3-U0-G1

Zonal Lumen Summary

Zone	Lumens	%Luminaire
Low (0-30)°	3652.2	26.7%
Medium (30-60)°	7382.4	54.0%
High (60-80)°	2489.8	18.2%
Very High (80-90)°	149.4	1.1%
Uplight (90-180)°	0.0	0.0%
Total Flux	13673.8	100%

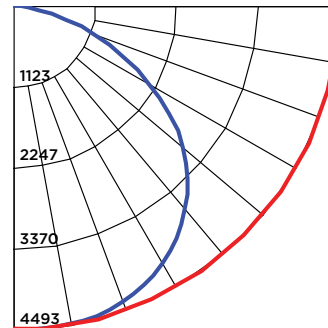
ISO FOOTCANDLE PLOT



15' Mounting Height / 10' Grid Spacing

10 FC 5 FC 2 FC 1 FC

POLAR CURVE



CRUS-AC-SS-50

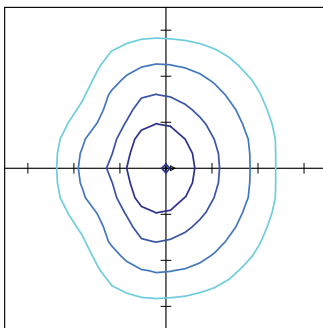
LUMINAIRE DATA

Wide Distribution	
Description	5000 Kelvin, 70 CRI
Delivered Lumens	11595
Watts	98.8
Efficacy	117
IES Type	Type III - Very Short
BUG Rating	B2-U0-G2

Zonal Lumen Summary

Zone	Lumens	%Luminaire
Low (0-30)°	2766.0	23.9%
Medium (30-60)°	5868.8	50.6%
High (60-80)°	2712.2	23.4%
Very High (80-90)°	248.1	2.1%
Uplight (90-180)°	0.0	0.0%
Total Flux	11595.1	100%

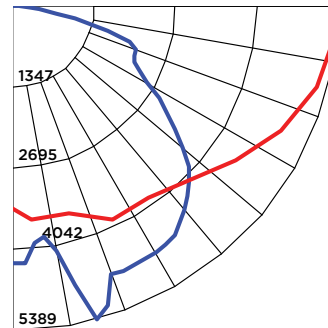
ISO FOOTCANDLE PLOT



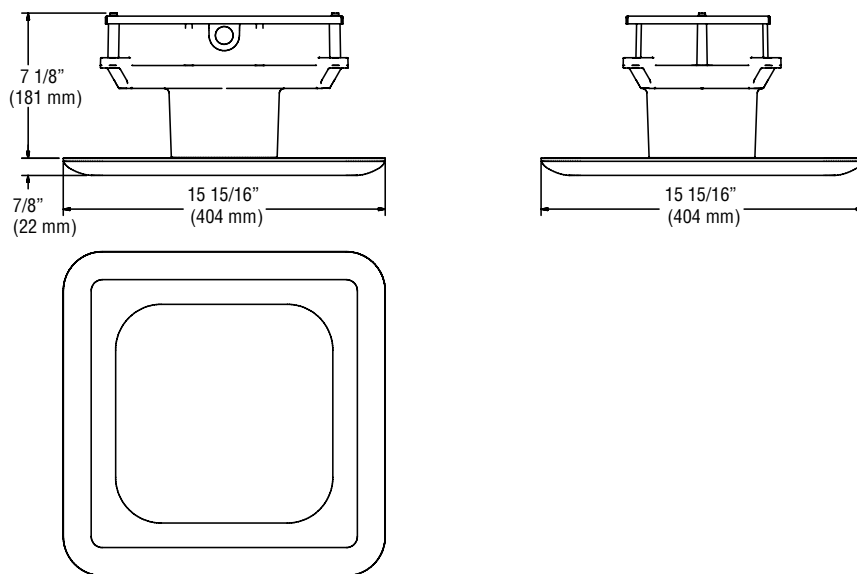
15' Mounting Height / 10' Grid Spacing

10 FC 5 FC 2 FC 1 FC

POLAR CURVE



PRODUCT DIMENSIONS

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▶ 1391 Corporate Drive | Suite 203
McHenry, IL 60050
Main 815.385.1778 + **Fax** 713.965.0044
▶ **HRGREEN.COM**

May 16, 2024

Ms. Amanda Martinez
Village of Frankfort
432 W. Nebraska St
Frankfort, IL 60423

Re: Chick-Fil-A Project – SUP & PUD Change Application
HR Green Project No.: 2302964

Dear Ms. Martinez:

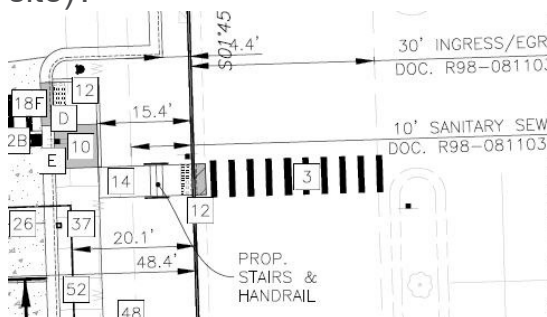
Below are response comments to the email dated May 13, 2024. The responses to each comment are listed below in **bold** font following each comment.

Background information that the Plan Commission may want to know:

1. How many employees in a typical shift?
RESPONSE: 15 employees.
2. Will this location have a franchise owner? Does that franchise owner oversee multiple locations?
RESPONSE: CFA utilizes an operator/owner model which is similar to a franchisee but slightly different. Operators are typically only allowed one location so that they can focus on success of the restaurant as well as becoming an integral part of the community.
3. Details on the outdoor seating, furnishing, and fencing is required to be provided since the applicant is requesting a special use for outdoor seating. Fencing should look similar to Camino Viejo (and 3' in height max), furnishing should be sturdy and neutral colors (including the umbrellas if any are proposed; please note that there shall be no advertising on the umbrellas).
RESPONSE: These should have been included in the previous submittal, but they have been included in this resubmittal. CFA standard patio railing is 3'-0" prefinished, dark bronze, powder coated aluminum and closely resembles what is being used at Camino Viejo. Patio furniture is of a similar color and finish. Chick-Fil-A umbrellas are Tuuci and can be customized to remove any branding if required.

Site Plan/Engineering Plan:

1. Is there proof of the plaza property owner approving the painted crosswalk (as this is planned to be off-site)?



RESPONSE: The landlord has reviewed & approved the Chick-fil-A site plan, including the painted crosswalk.



2. Please depict stacking of cars in the drive through lanes (8 stacking spaces are required).
RESPONSE: Drive-thru stacking exhibit has been included in this submittal that shows the layout of the cars within the drive thru lane.
3. Provided pavement setback on the south is 4.5'; required is 5'.
RESPONSE: Site plan has been revised to maintain a 5' setback.
4. Provided pavement setback on the north is 4.3'; required is 5'.
RESPONSE: Site plan has been revised to maintain a 5' setback.
5. Provided pavement setback on the east is 4.5'; required is 5'.
RESPONSE: Site plan has been revised to maintain a 5' setback.
6. What is the width of the curb entrance? (requires is a minimum of 20' and a maximum of 32')?
RESPONSE: The entrance at the NE corner of the site will be 25' wide. A dimension label has been added to the Site Plan.
7. What is the square footage of the trash enclosure? 144 sq. ft is the maximum allowable size.
RESPONSE: Trsh enclosure is 370 SF which includes the storage room. As this area exceeds the maximum allowable, Chick-fil-A requests a Code exception.
8. Please provide an Auto Turn Exhibit for review.
RESPONSE: An AutoTurn Exhibit has been provided in this resubmittal.
9. What is the setback for the trash enclosure from the east property line?
RESPONSE: The trash enclosure is proposed to be setback 20.8' from the east property line.
10. Parking spaces are required to be 9'x18'; provided for the ADA spaces is 8'x18', just below the required minimum dimensions for parking spaces.
RESPONSE: Federal and Illinois ADA guidelines require handicap stalls to be 8'x18' with an adjacent accessible aisle that is also 8'x18'. So in reality the total area available for maneuvering is 16' wide vs. the typical 9' for a regular parking stall. Furthermore widening the ADA stalls to 9' will further reduce the adjacent landscape islands that are already code deficient. Chick-fil-A requests a Code exception.

Architectural Elevations:

1. There is a welcome sign on the north elevation, I am recommending removing this sign as it is no longer proposed in the sign package (and exceeds the allowable quantity of wall signs).
RESPONSE: We will comply and remove the sign on the north elevation.
2. Please add the stone water table and cast stone to the exterior finishes legend to provide more details on these building materials (the same as you have provided for the brick).
RESPONSE: Stone water table will be revised to show a material that aligns with the stone water tables at the surrounding buildings. Color and materials to match.

3. Please confirm the number of seats indoors and outdoors. The floor plan does not show the furnishings indoors, so it is hard to tell and the statement of "12 seats outdoors" is not reflective of the plans showing more than 12 seats in the outdoor seating area.

RESPONSE: *There will be 70 indoor seats and 24 outdoor seats.*

4. The dark rectangle shown on the image below appears to be a vent, please confirm.



RESPONSE: *Dark rectangle represents thru-wall overflow scupper at drainage side of building.*

5. The height of the trash enclosure states 8'8" (5'-6' max height required); does this include the stone cap? Can you please explain why the height of the trash enclosure cannot comply with the max allowable height? It would be best to meet this requirement to avoid an additional modification request.

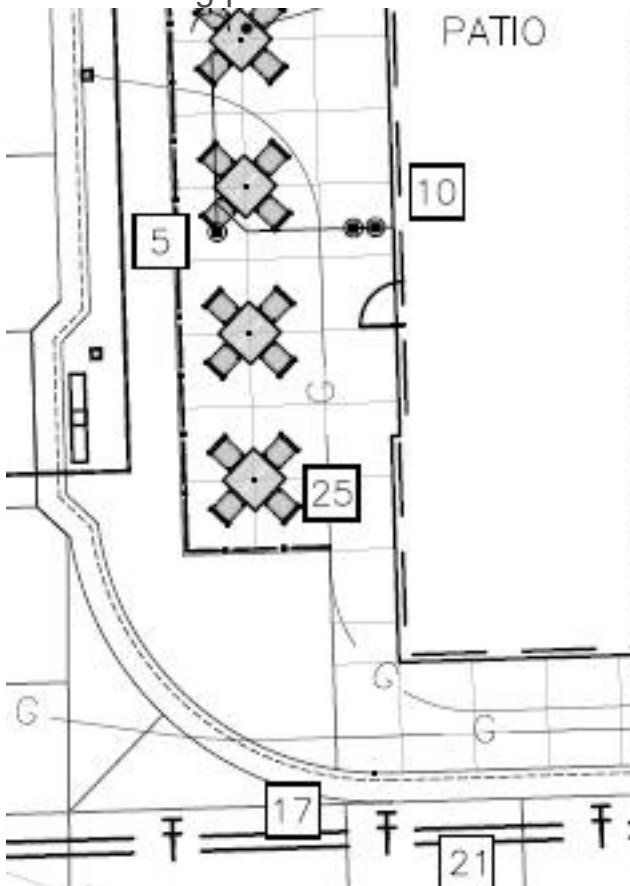
RESPONSE: *Standard trash enclosure includes fully enclosed accessory storage space. This room contains a lockable full height door and overhead ventilation, which drives the height of the trash enclosure. **Chick-fil-A requests a Code exception to exceed the allowable trash enclosure height.***

6. Any spec sheets for the building materials?

RESPONSE: *Full specs are available for all building materials, and the architect can provide any that might be requested.*

Floor Plan:

1. The following plans do not match:





1. SIGN E&D: Remove sign E OR sign D as only one of the sign locations (east or south elevation) would be considered a point of ingress/egress to the development.

- SIGN E:
 - The proposed sign exceeds the maximum allowable height which is 3.5' (submitted plan shows 5' height)
RESPONSE: *Chick-fil-A would like to request an exception to allow the wall sign to be 5' in height.*
 - Revise to ensure that letter backs are 0.090 or greater (submitted plan shows 0.080 aluminum back)
RESPONSE: *Revised to 0.090 backs.*
 - What is the depth of the aluminum return? 5" depth as mentioned via email would comply. Please confirm.
RESPONSE: *The aluminum return is 5". Revised drawings to show this.*



- SIGN D:
 - The proposed sign exceeds the maximum allowable height which is 3.5' (submitted plan shows 6' height)
RESPONSE: Chick-fil-A would like to request an exception to allow the wall sign to be 5' in height.
 - Revise to ensure that letter backs are 0.090 or greater (submitted plan shows 0.080 aluminum back)
RESPONSE: Revised to 0.090 backs.
 - What is the depth of the aluminum return? 5" depth as mentioned via email would comply. Please confirm.
RESPONSE: The aluminum return is 5". Revised drawings to show this.
- 2. Ok to remove location F sheet since no longer proposed, correct?
RESPONSE: Sign F has been removed.
- 3. SIGN FP: Flagpole sign is considered an exempt sign. However, the height being greater than 50' is not customary and will most likely be discussed at the Plan Commission meeting. Staff recommends decreasing the height to 25' or lower. The most recently approved flagpole height in a commercial PUD is 25'.
RESPONSE: Revised flagpole to 25 feet tall.
- 4. SIGN H1&H2:
 - (menu boards):
 - 8' height is depicted, 7' overall height is the required maximum height allowed.
RESPONSE: Revised menu boards to be 6 feet tall.
- 5. SIGN B:
 - The proposed sign exceeds the maximum allowable height which is 3.5' (submitted plan shows 5' height)
RESPONSE: Chick-fil-A would like to request an exception to allow the wall sign to be 5' in height.
 - Revise to ensure that letter backs are 0.090 or greater (submitted plan shows 0.080 aluminum back)
RESPONSE: Revised to 0.090 backs.
 - What is the depth of the aluminum return? 5" depth as mentioned via email would comply. Please confirm.
RESPONSE: The aluminum return is 5". Revised drawings to show this.
- 6. SIGN C:
 - The proposed sign exceeds the maximum allowable height which is 3.5' (submitted plan shows 5' height)
RESPONSE: Chick-fil-A would like to request an exception to allow the wall sign to be 5' in height.
 - The to ensure that letter backs are 0.090 or greater (submitted plan shows 0.080 aluminum back)
RESPONSE: Revised to 0.090 backs.

- What is the depth of the aluminum return? 5" depth as mentioned via email would comply. Please confirm.

RESPONSE: The aluminum return is 5". Revised drawings to show this.

7. For aesthetics, please match the color of the clearance bar to the dark bronze color proposed on the principal building.

RESPONSE: Changed color to dark bronze.

8. For the window decals:

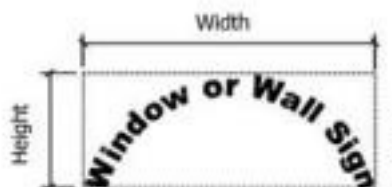
- The items of information of a Window Sign shall be limited to the name, address, telephone number, and business hours. Slogans are not permitted.

RESPONSE: So noted.

- The maximum allowable area of a Window Sign is 25% of the total frontage window area.

RESPONSE: Reduced space between lines to get total area within 25% of window.

- Include spacing when calculating square footage.



RESPONSE: So noted.

Photometric Plan:

1. Please include under canopy lighting for calculating photometric statistics.

RESPONSE: The canopy lights have been included in the model but they have been left out of the parking lot statistics. They have been left out since the canopy lights will only provide light underneath the canopies and marginally extend past the footprint of the canopies. A uniformity ratio table has been included on the revised photometric plan which details the following ratios: parking lot only; areas under canopies only; and parking lot & canopies combined. A Code exception is requested to exceed the allowable uniformity ratios due to the canopies.

2. Required max illumination is 30 footcandles, 4 feet away from the menu board signs; please provide the 4-foot dimension on the photometric plan so that this requirement can be reviewed.

RESPONSE: The illumination underneath the canopies will exceed the allowable 30 footcandles. A Code exception is requested to exceed the allowable due to safety concerns.

3. The required max illumination at the property lines are 0.5 footcandles. The submitted plan shows that the north, east, and south property lines are exceeding this requirement.

RESPONSE: Photometric plan has been revised to meet the maximum 0.5 footcandle requirement at all property lines.

4. In the B-1, B-2, B-3, B-4 and OR districts, light standards shall have a decorative base"; the subject property is zoned B-3 yielding the requirement to provide a decorative base on the light poles.

RESPONSE: Pole base detail on the photometric plan has been revised to reflect the decorative base.



5. Please depict compliance with the below regulation.
- d. Within parking lots, the uniformity ratios shall not exceed the following:
- maximum to minimum: 8:1, average to minimum: 4:1

RESPONSE: A uniformity ratio table has been included on the photometric plan. The proposed parking lot lighting (excluding the canopy lights) meets Code requirements. If the canopy lights need to be included in the parking lot uniformity ratio, **than a Code exception will be requested to exceed the allowable.**

6. For context, why is a flood light on the roof? Is the purpose to illuminate the flagpole or the building? Please confirm the proposed flood light complies with the below requirements.

For building and ground surfaces, the average maintained light level shall not exceed the following foot-candles:

floodlights directed toward buildings and ground signs:

light colored surfaces	5.0 foot-candles
medium-light colored surfaces	10.0 foot-candles
medium-dark surfaces	15.0 foot-candles

Village of Frankfort
Article 7: Site Development Regulations

dark surfaces	20.0 foot-candles
parking areas:	4.5 foot-candles
building entrances and exits:	0.5 foot-candles

RESPONSE: The flood light is located on the roof to illuminate the flagpole near the NW corner of the building.

Landscape Plan:

1. The tree preservation plan lacks information on the trees proposed for removal; there would need to be a tree survey that indicates the tree species, caliper size, and condition. If any trees are identified as a preservation tree per our landscape ordinance, the tree(s) will need to be properly mitigated in a 1:1 ratio (same caliper size as the removed tree) or a cash in lieu fee (\$100/caliper inch). If the trees are not identified as preservation trees, no further action is necessary?
- RESPONSE:** Tree preservation plan has been updated to include the requested tree survey info.
2. It is required to have menu boards not facing the ROW. The menu boards are proposed facing ROW, so to avoid a request for an exception, please meet the requirement by providing evergreen trees that screen the menu boards. Staff recommends that the provided evergreen trees be placed along La Grange to provide adequate screening of the drive thru lane that faces the ROW.
- RESPONSE:** Evergreen trees have been added to screen menu board.
3. One landscape island is required every 10 parking spaces. The parking spaces along the north property line do not have a parking island shown.
- RESPONSE:** Due to the need for the proposed number of parking stalls, an additional landscape island cannot be provided. **Chick-fil-A requests a Code exception.**



4. Please provide dimensions for the landscape islands. 9' minimum width is required and shall extend the length of the parking stall. Each planting bed shall be a minimum of 162 square feet (please confirm compliance).

RESPONSE: *Additional landscape island dimensions have been provided. Due needing to maintain the proposed number of parking stalls, 9' landscape islands cannot be met in some instances. Chick-fil-A requests a Code exception.*

5. Crabapples and elms are unacceptable trees; please replace these two species of trees (there is a recommended tree list in the appendix of our landscape ordinance).

RESPONSE: *Crabapples and elms have been removed and replaced with different species of trees.*

6. Parkway trees are required (1 per 35', so please show the 35' spacing dimension).

RESPONSE: *Due to utility conflicts and the preservation of existing trees, we are unable to meeting the 1 per 35' requirement but it should be noted that the Le Grange Road frontage is heavily landscaped. Chick-fil-A would like to ask for a Code exception on the additional parkway trees.*

7. Please depict compliance with the 2.5' berm requirement along La Grange Rd. (via grading and landscape plan)

RESPONSE: *Due to preserving as many mature trees as possible along La Grange Road, a berm will not be able to be added. Chick-fil-A requests a Code exception.*

8. "Blonde Ambition" is used various times in the landscape setback area, please note that this ornamental grass does not qualify in achieving the necessary plant units; I recommend using evergreen shrubs or trees in this landscape setback area.

RESPONSE: *Blonde Ambition are not being used towards the plant unit counts. Blonde Ambition has been added for aesthetic purposes and to help break up large massing's of shrubs and evergreens.*

9. Are the heights of all shrubs 36"+?

RESPONSE: *The height of all shrubs counting towards the large shrub plant unit are 36" and above.*

10. Per the ALTA survey, the frontage is 245.74 linear feet (please confirm the dimension of the frontage along La Grange Rd.); based on 245.74 LF, 308 plant units are required. Per my calculations (including the provided CC, AB, PA3, PA, HS, MP, RX, CH, and BG plantings in the landscape setback area), there are 237 planting units provided to meet this parking lot screening requirement.

RESPONSE: *The west property line on the ALTA survey is broken up into two segments: 245.74' & 19.04'. The 19.04' section is located at the SW corner. The total frontage equals 264 lineal feet.*

Utilizing 264 LF, 312 plant units are required. We have 5 existing overstory trees at 50 plant units and 7 existing Evergreen Trees at 35 plant units. We have added an additional 241 plant units with 1 additional overstory tree, 1 additional evergreen tree, 2 additional ornamental trees and 108 additional large shrubs with 40% of them being evergreen shrubs. Total we are providing 326 plant units, 13 plant units over what is being required along the frontage.

Additionally, we calculated 292 LF for the drive-thru lane requiring 292 plant units. We are exceeding that with 5 Overstory trees at 50 plant units, 6 ornamental trees at 30 units, 2 evergreen trees at 10 units and 103 large shrubs at 206 units. Total we are providing 296 plant units, 4 plant units over what is required along the drive-thru lane.



If you have any questions or need additional information, please do not hesitate to contact me at 815-385-1778 or via email at jvavrina@hrgreen.com.

Sincerely,

HR GREEN, INC.

Joseph Vavrina, PE
Midwest Regional Director – Land Development

EH/clb



Chick-fil-A, Inc. | 5200 Buffington Road Atlanta, Georgia 30349-2998 | chick-fil-a.com | 404.765.8000

Village of Frankfort

Special Use Permit – Findings of Fact

** Chick-fil-A is requesting a Special Use Permit for the following: Drive-Thru Lane; Outdoor Seating Area; and Extended Operating Hours.*

1. *That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.*

Allowing the proposed drive-thru lane, outdoor patio, and extended operating hours will not be detrimental to public health, safety, morals, comfort or general welfare. The proposed drive-thru lane will create a separation between dine-in & drive-thru traffic in order to prevent congestion & promote safety within the parking lot. The drive-thru lane will also ensure that the restaurant operates efficiently thus eliminating impacts to adjacent roadways. The proposed outdoor patio will provide a beneficial amenity to the general public as patrons will be able to enjoy their food outdoors during warm months of the year. The extended operating hours will also offer another beneficial amity to the general public as it will provide the community another food option either early in the morning or later in the evening. It should be noted that the requested extended hours are only slightly outside of Village allowable operating hours.

2. *That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*

The proposed drive-thru lane, outdoor patio, and extended operating hours will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The subject property is located within a commercial subdivision with retail uses surrounding the property. The proposed use will only help bolster area by generating additional traffic & potential customers. The requested drive-thru lane special use will ensure minimal impacts to adjacent access drives within the subdivision. The outdoor patio and extended operating hours special uses will not have any negative impact to the surrounding area.



Chick-fil-A, Inc. | 5200 Buffington Road Atlanta, Georgia 30349-2998 | chick-fil-a.com | 404.765.8000

3. *That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.* **Establishment of the drive-thru lane, outdoor patio or extended operating hours will not impeded the normal and orderly development and improvement of surrounding property for a number of reasons. First and foremost the previous use was a quick service restaurant with a drive thru lane thereby establishing the drive thru component many years ago which would not prevent neighboring properties from maintaining and/or redeveloping their parcel. Secondly the presence of an outdoor patio and/or extended operating hours would not impeded surrounding properties from redeveloping and/or improving their developments.**

4. *That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.*

The architecture of the building has been modified/enhanced to incorporate many features of surrounding buildings such as; utilizing a similar brick color/size used throughout the center, incorporating cast stone arch elements over portions of the roof line, inclusion of accent bricks and stones as well as a stone water table similar to what is found in surrounding buildings. The redevelopment of this property will remove an aging vacant building and refresh it with a new vibrant building that will share many of the same design elements as surrounding buildings to continue the cohesiveness of the overall development. Like any new redevelopment of a shuttered building property values would only expect to increase not be diminished; especially with the specific user of the building.

5. *That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.*

The proposed CFA development will maintain or provide access, utilities, and drainage facilities to the subject property. Access will be provided to the shared access drive on the east side of the site and the proposed restaurant utility lines will tie into existing infrastructure. The site, including the proposed drive-thru lane, has been designed to ensure efficient restaurant operations to eliminate impacts to adjacent roadways and properties.



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6. *That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.*

The proposed CFA development will maintain access to the site at the northeast corner of the property. The CFA site has been designed to provide the maximum number of parking stalls and provide a sufficiently long drive-thru lane. Achieving these will ensure efficient restaurant operations which will minimize any traffic impacts to adjacent roadways. The site has also been configured to create a separation between dine-in and drive-thru traffic which will also help alleviate any potential offsite traffic impacts.

7. *That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.*

The requested drive-thru lane, outdoor seating area, and extended operating hours special uses will conform to the applicable regulations of the district in which it is located to the maximum extent practicable. The proposed special uses will ensure efficient restaurant operations and will provide beneficial amenities to restaurant patrons.



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Village of Frankfort

Planned Unit Development (PUD) Standards

** Chick-fil-A is requesting a Major Change to the Hickory Marketplace PUD to accommodate the Chick-fil-A development.*

1. *The plan is designed to protect the public health, welfare and safety.*

The proposed CFA development has been designed to protect the public health, welfare and safety. The site has been configured to create a separation between dine-in and drive-thru traffic by positioning the drive-thru lane along the exterior of the site. Doing so prevents customers from having to cross the drive-thru lane to access the restaurant which increases safety. Creating this separation also helps alleviate congestion within the parking lot which will increase safety for customers. The overall site design will help the restaurant operate efficiently thus minimizing impacts to adjacent roadways and increasing safety for the public. It should also be noted that the site will be signed appropriately with traffic signs and pedestrian crossing signs.

2. *The proposed development does not cause substantial injury to the value of other property in the immediate area.*

The proposed CFA development will not cause substantial injury to the value of other property in the immediate area. The CFA development will be replacing an existing Steak 'n Shake restaurant which is the same use as CFA (quick service restaurant with drive-thru lane). The CFA development has been designed in a way that will promote efficient operations which will minimize any offsite impacts. The proposed architectural elements and landscaping are designed to meet Village Code and will compliment the surrounding area.

3. *The plan provides for protection of the aesthetic and function of the natural environment, which shall include, but not be limited to, flood plains, streams, creeks, lakes, ponds, wetlands, soil and geologic characteristics, air quality, vegetation, woodlands, and steep slopes.*

The proposed CFA development has been designed to maintain as much existing mature vegetation as possible. The mature trees along the LaGrange Road frontage are proposed to be preserved and new landscape will be tastefully integrated in this area. The CFA development will not be impacting any other existing natural / environmental features.



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4. *The plan provides for and ensures the preservation of adequate recreational amenities and common open spaces.*

The CFA development will include the construction of an outdoor patio along the west side of the building. The outdoor patio will feature 6 tables for a total of 24 seats. The patio will be accessible from the sidewalk along the front of the building as well as a pedestrian connection from the sidewalk located along the east side of LaGrange Road.

5. *Residential use areas may provide a variety of housing types to achieve a balanced neighborhood.*

No residential uses are proposed or will be impacted as part of the CFA development. The proposed development will be replacing the existing quick service restaurant use.

6. *The planned unit development provides land area to accommodate cultural, educational, recreational and other public and quasi-public activities to serve the needs of the residents thereof.*

The proposed CFA development will only be replacing the existing Steak 'n Shake quick service restaurant use. The CFA restaurant will not be impacting any existing cultural, educational, and recreational activities/features of the Hickory Marketplace PUD. The CFA restaurant will provide a quick service restaurant use to the community and an additional place for the public to gather.

7. *The proposed development provide for the orderly and creative arrangement of all land uses with respect to each other and to the entire Village.*

The proposed CFA development has been designed to compliment the existing Hickory Marketplace PUD and the Village in general. The architectural elements and landscaping have been designed to meet the intent of Village Code and will be aesthetically pleasing. The proposed CFA development will be replacing the existing quick service restaurant use in kind.



Findings of Fact Commissioner Evaluation Form - Special Use Permit

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. No special use shall be recommended by the Plan Commission unless all the following findings are made.

	STANDARD	NOTES	MEETS	
a.	That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.		YES	NO
b.	That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.		YES	NO
c.	That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.		YES	NO
d.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.		YES	NO

e.	That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.		YES	NO
f.	That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.		YES	NO
g.	That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.		YES	NO



Review Standards Commissioner Evaluation Form - Planned Unit Development (PUD)

Article 3, Section F, Part 4 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every PUD Preliminary Plan and Final Plan. The Plan Commission shall consider the extent to which the proposal fulfills the following standards.

	STANDARD	NOTES	MEETS	
a.	The plan is designed to protect the public health, welfare and safety.		YES	NO
b.	The proposed development does not cause substantial injury to the value of other property in the immediate area.		YES	NO
c.	The plan provides for protection of the aesthetic and function of the natural environment, which shall include, but not be limited to, flood plains, streams, creeks, lakes, ponds, wetlands, soil and geologic characteristics, air quality, vegetation, woodlands, and steep slopes.		YES	NO
d.	The plan provides for and ensures the preservation of adequate recreational amenities and common open spaces.		YES	NO
e.	Residential use areas may provide a variety of housing types to achieve a balanced neighborhood.		YES	NO

f.	The planned unit development provides land area to accommodate cultural, educational, recreational and other public and quasi-public activities to serve the needs of the residents thereof.		YES	NO
g.	The proposed development provide for the orderly and creative arrangement of all land uses with respect to each other and to the entire Village.		YES	NO

Article 3, Section F, Part 5, letter 'd' of the Village of Frankfort Zoning Ordinance lists two additional "findings" or "standards" related specifically to residential or mixed-use PUDs to permit uses that are otherwise not permitted in the underlying zoning district. For these specific types of proposals, the Plan Commission must also find the following.

	STANDARD	NOTES	MEETS	
d1.	That the uses permitted by such exceptions are necessary or desirable and are appropriate with respect to the primary purpose of the planned unit development;		YES	NO
d2.	That the uses permitted by such exception are not of such a nature or so located as to exercise a detrimental influence on the surrounding neighborhood;		YES	NO