



**PLAN COMMISSION / ZONING BOARD OF APPEALS  
AGENDA**

**Thursday, May 11, 2023  
6:30 P.M.**

**Frankfort Village Hall  
432 W. Nebraska Street (Board Room)**

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- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Minutes of April 27, 2023**
- 4. Public Hearing: 99 N. White Street – Quinlan/Aarts Residence (Ref #106)**  
Requests: Variation to permit the use of non-masonry siding on the first floor of a single-family home (Zoning Ordinance, Article 6, Section B); Variation to reduce the minimum lot area for a property zoned R-2 District from 15,000 square feet to 13,439 square feet (Zoning Ordinance, Article 6, Section B, Part 1); Variation from Section 9.5-1 of the Village of Frankfort Land Subdivision Regulations to approve a Plat of Subdivision with a lot size which does not conform to the requirements of the Village of Frankfort Zoning Ordinance. Other: Preliminary and Final Plat of Subdivision to establish a lot of record and dedicate public right-of-way (PIN: 19-09-22-304-019-0000).
- 5. Public Hearing: 8563 Stone Creek – Maida Residence (Ref #107)**  
Request: Variation to permit a 5' tall fence in the required front yard, whereas the maximum height is 4' (Zoning Ordinance Article 7, Section F), (PIN: 19-09-35-308-011-0000).
- 6. Public Hearing: 7654 W. Lincoln Highway - Circle K Redevelopment (Ref #108)**  
Request: Zoning Map Amendment (Rezoning) from the default ER Estate Residential District to the B-2 Community Business District (currently Will County C-2 Local Commercial District and C-3 General Commercial District) upon annexation; Special Use Permits for (1) an automobile fueling station, (2) accessory liquor sales, and (3) extended hours of operation (24 hours, 7 days per week); and requests for variations related to the front and rear building setbacks, depth of a landscape transition yard (along Route 30), quantity of plant materials in the landscape transition yard (along Route 30), signage, and cross-access (PINS: 19-09-24-101-029).
- 7. Workshop: 742 Franklin Avenue – Raimondi Residence Corner Side Yard Variation**  
Future Public Hearing Request: Variation to reduce the minimum required corner side yard from 30 feet to 14 feet for a proposed in-ground pool in the R-2 Single-Family Residential District (PIN 19-09-21-303-001-0000).
- 8. Public Comments**
- 9. Village Board & Committee Updates**
- 10. Other Business**
- 11. Attendance Confirmation (May 25, 2023)**
- 12. Adjournment**

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All applicants are advised to be present when the meeting is called to order. Agenda items are generally reviewed in the order shown on the agenda, however, the Plan Commission/Zoning Board of Appeals reserves the right to amend the agenda and consider

items in a different order. The Commission may adjourn its meeting to another day prior to consideration of all agenda items. All persons interested in providing public testimony are encouraged to do so. If you wish to provide public testimony, please come forward to the podium and state your name for the record and address your comments and questions to the Chairperson.





## MINUTES

### MEETING OF VILLAGE OF FRANKFORT PLAN COMMISSION / ZONING BOARD OF APPEALS

April 27, 2023 –VILLAGE ADMINISTRATION BUILDING

432 W. NEBRASKA STREET

**Call to Order:** Chair Rigoni called the meeting to order at 6:30 PM

**Commissioners Present:** Chair Maura Rigoni, Brian James, Dan Knieriem, Nichole Schaeffer, Jessica Jakubowski, Will Markunas

**Commissioners Absent:** David Hogan

**Staff Present:** Director of Community and Economic Development Mike Schwarz, Senior Planner Chris Gruba, Planner Drew Duffin

**Elected Officials Present:** None

#### A. Approval of the Minutes from April 13<sup>th</sup>, 2023

**Motion (#1):** To approve the minutes from April 13<sup>th</sup>, 2023.

Motion by: Knieriem      Seconded by: Schaeffer

Approved: (4-0, Commissioners Jakubowski and Markunas Abstained)

#### B. Plat of Dedication for Pfeiffer Road Extension

Mike Schwarz gave the staff report.

Commissioner Knieriem asked if there was a timeline set for the project.

Mike Schwarz said that the Village had looked into construction costs last year. Due to asphalt prices, the Village decided to wait before proceeding with the project. He said there was no firm timeline for construction at this point in time.

Chair Rigoni said that the current item was not a public hearing item, but that she would welcome any comments from members of the public if anyone wished to speak.

There were no comments.

**Motion (#2):** To recommend that the Village Board approve the Plat of Dedication, subject to any necessary additional technical review prior to recording.

Motion by: Markunas

Seconded by: Jakubowski

Approved: (6-0)

**C. Public Hearing: 7 N. White Street – Integrus Development Multi-Tenant Commercial Building (Ref. #107)**

Chair Rigoni swore in those members of the public who wished to speak.

Chris Gruba gave the staff report.

The applicant, Dan Elliot, approached the podium. He said that he had nothing else to add, but was available to answer questions.

Chair Rigoni asked if there were any initial questions from the Plan Commission.

There were none.

Chair Rigoni asked if there was anyone in the audience who wished to make public comment.

There were no public comments.

**Motion (#3):** To close the Public Hearing.

Motion by: Schaeffer

Seconded by: James

Approved: (6-0)

Chair Rigoni asked if the other members of the Plan Commission had any other questions.

There were none.

Chair Rigoni asked staff if there were any changes to the proposal between the previous meeting and the current meeting.

Chris Gruba replied that there were no changes.

**Motion (#4):** Recommend the Village Board approve a Special Use Permit to allow a restaurant, full-service, with liquor sales, on Lot 1 of the Old Plank Trail Commons Subdivision, commonly known as 3 N. White Street, in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: James

Seconded by: Schaeffer

Approved: (6-0)

Chair Rigoni said that this case would be brought to the Village Board on May 1<sup>st</sup>.

**D. Workshop: 20500 S. La Grange Road – Sage Salon**

Drew Duffin presented the staff report.

The applicant, Talitha Henison, approached the stand. She said that the salon would have no more than three stylists. She planned to use the office to manage the administrative needs of the business. Her salon offered hair cutting services, nothing out of the ordinary.

Commission Knieriem stated that he had no comments, and that the application seemed straight forward to him.

Commissioner Markunas said that he had spoken with another business owner who operated in the same building. They had observed that the parking lot could get busy there on Fridays and on weekends. He believed that it was a result of spillover parking from the restaurant to the south. He asked if the applicant owned any other businesses.

The applicant said that she did, a salon in Mokena and another in Tinley Park. They operated under the same name.

Commissioner Markunas asked when the salon would open.

The applicant said she would open as soon as she was allowed.

Commissioner James asked who the previous occupant of the tenant space was.

Drew Duffin said he was not sure.

The applicant stated she was also unsure.

Chair Rigoni said she had no questions.

Commissioner James stated that it was common for dental offices to skew the parking requirements for a site. He noted that the subject property never seemed to have a lot of cars. He suggested that it might be worth looking at the code requirement and possibly reducing it in the future.

**E. Workshop: 165 Industry Avenue, Unit 3 – CNC Lawncare**

Drew Duffin presented the staff report.

The applicant, Chad Uthe, approached the stand. He explained that his business Provided landscaping services for Homeowner's Associations, as well as full landscape architecture and construction services.

Commissioner Markunas asked how long the applicant had been in business.

The applicant stated that it was their 24th season.

Commissioner Markunas asked if the business was currently operating in the unit under consideration.

The applicant said that they were.

Commissioner Markunas asked if the applicant was currently using the other parcel for storing material.

The applicant said that he was. He added that the properties were owned by a different landlord when he had first moved in. They were using the northern portion of the property now for outdoor storage. Specifically, they used it to store miscellaneous materials which would come and go frequently.

Commissioner Markunas asked the applicant if he accessed the site off of Industry Avenue.

The applicant said that he did, and that employees would park on east side of the property.

Commissioner Markunas asked if the applicant ever used the driveway on the northeast corner of the subject property.

The applicant said that they do, but only rarely.

Commissioner James said that the proposed use was consistent with other businesses in the area. One of the subject parcels was currently an island, and he thought that a Plat of Resubdivision would make the most sense in order to connect the two subject properties together.

Commissioner Schaeffer asked the applicant to give more detail about what materials were stored in the rear of the property.

The applicant explained that they stored miscellaneous aggregates, brick, stone, and palletized materials on the northern end of the property.

Commissioner Schaeffer asked if he meant bulk gravel when he mentioned aggregates.

The applicant said that he did not, and that those materials were stored on the southern end of the property.

Commissioner Schaeffer asked if they stored any chemicals on site.

The applicant said they did not store chemicals.

Commissioner Jakubowski said that the property owner should combine the lots, and that she had no other comments.

Commissioner Knieriem asked if the applicant would plant any trees or live material on the property.

The applicant explained that they ordered plant material as they need it. Nothing was stored for more than a week. There would be no trees planted or small plant nursery.

Commissioner Knieriem asked the applicant if he was the property owner.

The applicant said he was not, but that the property owner was in the audience. The applicant had been at this location for two years. The previous occupant was a lawn and irrigation company, who had made the set up in the back with storage.

Chair Rigoni asked if the applicant was currently operating at the subject property now and was only asking for the Special Use Permits at this time.

Drew Duffin said that that was the case.

Chair Rigoni asked if the applicant was operating illegally as a result.

Drew Duffin said yes.

Chair Rigoni asked if the applicant had a Business License.

Drew Duffin said that he was not aware of an issued Business License.

Chair Rigoni asked if the applicant was already operating their business with outdoor storage.

Drew Duffin said that was correct.

The applicant explained that he moved into the current space during COVID, and that it was a chaotic time. He said that it should have been taken care of then.

Chair Rigoni asked if there was material being stored on the north side of the property.

Drew Duffin said there was.

Chair Rigoni said that she had gone out to the site, and that the improvements that were there were not typical of what one would see in Frankfort. It looked as though there was a lot of dumping going on the back. Moving forward, she wanted to know what material would be stored on-site, and where.

Commissioner Schaeffer noted that, with respect to outdoor storage, fencing was usually required. She asked if this was the same in this case.

Mike Schwarz said that outdoor storage had to be screened, even in the I-2 district. Storing uncontained bulk materials would require a Special Use Permit.

Chair Rigoni asked what Special Use Permits were required for the current case.

Mike Schwarz stated that there were two issues. One issue was that there was some bulk material being stored where the building sat. The other issue was that there were two separate parcels, one with a principal use and one with an accessory use. The accessory use was technically not in connection with the main parcel. Staff believed that the property owner was unwilling to consolidate the two parcels.

Chair Rigoni said that, in terms of screening, the current proposal could get out of hand, since there was no defined area showing where material would be stored. Designating a fenced-in storage area would work to contain the stored material. She asked how big the northern parcel was. She said that she was hesitant to approve a blanket Special Use Permit for the entire parcel, and suggested that maybe the storage area should be specified on a plan. She added that there was a clause in the Village of Frankfort Zoning Ordinance which talked about adjacent non-conforming lots. She wanted to make sure that the Special Use Permit for Uncontained Bulk Materials was clear about where material would be stored.

Commissioner Markunas asked the applicant if he had applied for business license.

The applicant said that he had.

Commissioner Markunas asked if that was what prompted the workshop.

The applicant said that it was.

Chair Rigoni asked if there were any other businesses on the southern lot storing materials.

The applicant said that there were none.

Mike Schwarz noted that if the applicant was storing uncontained bulk material, then a Special Use Permit would be required.

Chair Rigoni asked how much extra room would be needed on the northern parcel for outdoor storage. She asked if there was a plan that showed the storage area.

Drew Duffin said that he had received no such plan.

Commissioner Schaeffer asked if the applicant could screen every side of the storage area that needed to be screened other than where the area would be accessed from.

Commissioner Markunas noted that it was hard to see the storage area from the south, east, and west.

Commissioner Knieriem said that he believed the Plan Commission would be overburdening the applicant if they required him to put a fence up against the building. He also asked if the large pile of material shown in the site photos was compost.

The applicant said that it was, and that that material came and went.

Commissioner Knieriem added that it looked as though there was a berm on the north end of the property. He asked the applicant if they were taking material off the property.

The applicant said that they would not be chancing the grading of property.

Chair Rigoni said that her concerns were not so much related to the use, but more about defining where storage would be and how it would be contained.

Commissioner Knieriem observed that the property to the north of the subject property was a retention area and therefore non-buildable.

Commissioner Schaeffer asked if there was a concern with stormwater and drainage in the storage area.

Mike Schwarz noted that the storage area would need to be paved.

The applicant noted that he would prefer to move the pallets rather than pave the outdoor storage area.

Commissioner Markunas asked that the applicant please define where the outdoor storage area would be located for next time.

Commissioner Schaeffer said the applicant should work with staff to make sure the storage area met code and the parameters of the Special Use Permit.

Chair Rigoni also suggested that a condition be added to a future motion that no chemicals or fertilizers were to be stored on-site.

Mike Schwarz said that staff was looking for direction on how to address the situation of the two separate parcels. Staff recommended consolidating the properties, but the property owner was not willing to consolidate. He added that it would take time to get Plat of Consolidation drafted and approved.

Chair Rigoni said that consolidation would be the best path forward, and suggested that the Plat of Consolidation be completed and approved within some amount of time after the Special Use Permits were approved.

#### **F. Workshop: 10043 W. Lincoln Highway – Action Behavior Centers**

Drew Duffin gave the staff report.

The applicant, Jacquelyn Fara, approached the stand. She explained that Action Behavior Centers offered intensive, one-on-one therapy, as well as testing and assessment for children with autism. They wanted to provide an outdoor space that was also a safe environment for their clients where they could work on gross motor skills, such as kicking balls. Their goal as an organization was to get all kids back into the school setting.

Commissioner Knieriem asked staff to clarify which parking spaces the applicant was proposing to remove. He asked if the proposed outdoor space would be used in the winter.

The applicant explained that the temperature would need to be to be over 50 degrees for the children to go outdoors. The reason they were planning to cover all five parking spaces was to prevent someone from parking alongside the play space, which would pose a safety risk. The applicant added that they were proposing a faux wrought iron fence to match what was used by KinderCare. They could also do a privacy fence if that was preferable.

Commissioner Knieriem asked if the proposed fence would be mounted into the ground.

The applicant said that it would be.

Commissioner Knieriem asked if Action Behavior Centers owned the building.

The applicant said they did not.

Commissioner Knieriem observed that the exterior of the building had quite a bit of damage.

The applicant said they were working with the landlord to resolve that.



Commissioner Jakubowski said that she had a concern about safety, with only having an aluminum fence between the play area and the parking lot.

Applicant noted that the building was vacant before they moved in, and that they had spent over a million dollars to renovate it.

Commissioner Knieriem recalled that the Plan Commission had required the Wine Thief to install landscape planters around their outdoor seating area as a preventative measure.

Commissioner Schaeffer asked if the issue with removing an ADA-accessible parking spot could be resolved if the outdoor play area was located on the east side of the entryway rather than the west.

Drew Duffin said that while there is no ADA-accessible parking space on the east side of the entrance ramp, the submitted survey showed that there is a sanitary manhole in that portion of the lot that shouldn't be covered by layer of turf.

Chair Rigoni said that she understood the need for an outdoor area. Her biggest concern was that it would look like an afterthought. It should look like it was always planned to be there. She said that the Wine Thief had no bollards because they looked bad. However, there was still a need for safety. She suggested installing a raised curb, for a more permanent set up. She asked the applicant if they used the south entrance.

The applicant said they would only use it for accessing the outdoor space.

Chair Rigoni asked if they could incorporate that entryway into the design to make the play area look like a part of the main structure. She said that she appreciated it being in the back of the building rather than the front. She did not want the changes to appear temporary, and she did not want to see bollards.

Commissioner Markunas said that safety was the top priority. He asked that the applicant make sure people wouldn't have to walk into a lane of traffic to get to the play area. He also suggested that they propose some safety barrier other than a bollard. He suggested either a raised concrete curb or a brick knee wall with the wrought iron fence on top. He also told the applicant to work with staff to make sure they were compliant with the Americans with Disabilities Act.

The applicant explained that safety was an important priority for them as well, and said that each kid would have a therapist with them whenever they were outside.

Commissioner James asked if the gate to the outdoor area would be on the east side, next to the southern entryway.

The applicant said that it would be.

The applicant explained that they had proposed installing turf on top of the asphalt because some of the children they worked with would put things in their mouth, and they did not want those children to ingest things that weren't edible, such as mulch.

Commissioner James said that he thought the turf and sand fill option seemed like the best idea. He also suggested that they look for opportunities to keep play equipment out of the sun, so that the play area did not appear neglected.

The applicant said that they replace toys when they become outdated.

Commissioner James said he had no concerns about the existing parking. He asked if Action Behavior Centers had set drop off and pick up times.

The applicant said that some kids would start at 8:00, 8:15, or 9:00, while others may only come in the afternoon for half-days. Some might be dropped off by a school bus and added that there were dedicated spots for drop off.

Chair Rigoni asked if traffic moving on and off the site functioned like the KinderCare to the east.

The applicant said that it did.

Chair Rigoni asked how tall the proposed fence would be.

The applicant said it would be four feet tall, and that they were open to different designs of the outdoor area if needed.

Commissioner Knieriem suggested having a strip of landscaping between the drive aisle of the parking lot and the proposed play area. That would provide a curb and plants as additional barriers for traffic.

Chair Rigoni said that she would not want her child to not feel like they were playing in a parking lot. She added that the building was occupied.

#### **G. Workshop: 108 Walnut Street – Demolition and New Home Construction**

Chris Gruba gave the staff report.

The applicant, Gabriel Garcia of Ideal Designs, and Jim Sleeman, the builder, approached the stand.

Chair Rigoni asked for comments about the proposed front yard setback.

The Plan Commissioners had no concerns with the proposed front yard setback request.

Chair Rigoni asked what the side yard setbacks were for the existing home.

The builder said that they were 6.2 feet on either side.

The applicant added that the setbacks they were proposing were larger than the existing home, though the setback on the south yard were different due to the strange shape of the lot in the southwest corner.

Commissioner James asked if the proposed side yard setback would be 8.3 on the south yard if the lot were not an irregular shape.

The applicant said that it would be, yes.

Chair Rigoni asked if there were any other comments on the proposed side yard setbacks.

Commissioner Knieriem said that the side yard setbacks they were proposing were better than what currently existed on the lot.

Commissioner Markunas agreed.

Commissioner James asked how much space there would be between the proposed garage and the garage on the property to the south.

Chair Rigoni asked if a certain amount of space was required between the two structures by the Fire District.

Chris Gruba said he was unsure if there was such a requirement.

Chair Rigoni asked staff to make sure that the proposed home met that requirement if it existed.

Commissioner Schaeffer asked if the existing screen fence on the north side of the house would remain.

The applicant said that it would.

Chair Rigoni asked if there were any comments on the proposed lot coverage and impervious coverage variations. She recalled talking at length about those requests when the Plan Commission was considering the property at 217 Nebraska Street, which sat on a similarly sized lot.

The builder noted that the home at 140 Walnut Street had a smaller setback.

Commissioner Schaeffer excused herself from the dais at 8:22 P.M.

Chair Rigoni asked for comments about the proposed lot coverage and impervious lot coverage variations. She asked staff what was included in the impervious lot coverage calculation other than the proposed home.

Chris Gruba stated that the driveway and sidewalks were included in the impervious lot coverage calculation. The sidewalks were narrowed to try and reduce the total impervious area.

There was some discussion of a rear yard setback which the applicant had initially proposed to staff, but which was dropped prior to the workshop.

The builder added that the impervious lot coverage also included the proposed porches.

Commissioner Knieriem asked if the proposed pavers were counted towards the impervious lot coverage calculation.

Commissioner Schaeffer returned to the dais at 8:24 P.M.

Commissioner Markunas stated that he thought the requested amount of impervious area was high when he first saw it, but acknowledged that the lot was undersized for the R-2 zone district.

There was some discussion of previous cases the Plan Commission had considered that had similar lot dimensions.

Commissioner Knieriem said that he was a stickler for the impervious lot coverage requirements in the downtown area because flooding was a big issue around there. He asked if there were any nearby storm sewers.

Chris Gruba said he was unsure.

The builder said he could connect the gutters to storm sewers if it was needed.

There was some more discussion on stormwater drainage.

Chair Rigoni asked what changes could be made to the proposed plans to reduce the impervious lot coverage. She suggested that the driveway might be keeping the impervious lot coverage figure high.

The applicant said that he could make the driveway shorter, but that they would then need to request a variation for the rear yard setback.

Commissioner James noted that the proposed porch and patio were both of reasonable sizes. Those had both been points of discussion with a previous case. The current proposal appeared to have a high impervious lot coverage because of the large home and large driveway.

The builder said that a detached garage would not really work for the proposed home. Other homes nearby had attached garages. They could shorten the driveway by changing to a detached garage, but it would not have a large impact on the impervious lot coverage.

Chair Rigoni said that she thought the attached/detached garage situation was less of an issue since the garage was located in the rear of the home.

There was some discussion about whether pavers were counted as impervious surface.

Commissioner Schaeffer said that she wanted to know how the current proposal compared to past proposals proportionately.

The builder noted that they were giving up a lot of lot area for the required side yards, nearly a third of the total lot area.

Chair Rigoni said that each proposal in the area which had requested a variation from the impervious lot coverage requirement was asking for a larger and larger variation. She wanted to understand the progression of those requests over time.

Commissioner James noted that the property at 143 Kansas Street had proposed more impervious lot coverage on a smaller lot.

Commissioner Schaeffer said that she was more concerned about the impervious lot coverage request than the lot coverage request, since the former had more to do with stormwater infiltration and flooding.

There was some discussion about moving the house further back on the lot to shorten the driveway.

Commissioner Knieriem asked Chair Rigoni if she was more concerned about the proposed setbacks or the proposed impervious lot coverage.

Chair Rigoni said she was more concerned about the impervious lot coverage. The proposed setbacks would improve the impact of the property on the overall streetscape. This was not the case with the impervious lot coverage.

There was some discussion about paving the alley to the west of the property.

Commissioner Schaeffer said that she wanted to understand the proportionality of the lot coverage and impervious lot coverage requests with the existing home and the proposed home. She also would like to see a comparison to other recent cases which made similar requests.

Chair Rigoni asked that the figures for the proposed home be compared to the most recent case that requested a variation for lot coverage and impervious lot coverage in the downtown. She wanted to know how the currently proposed home would look on a lot from a previous approval, and whether they would require a similar variance or a greater variance on that lot.

Commissioner Knieriem added that he wanted to see if there was a nearby catch basin that the home could connect to. He reiterated that water could be a major issue for homeowners in the downtown.

Chair Rigoni asked if there were any comments regarding the request to use non-masonry materials on the first floor of the home.

Commissioners Knieriem and Markunas said they were comfortable with the proposed materials.

Chair Rigoni thanked the applicant for not proposing white siding, as well as for using the proposed metal roof only as an accent.

There was some discussion around brick chimneys.

Chris Gruba said there were none.

Chair Rigoni asked if there were any other comments or questions.

The builder said that he would look into drainage solutions.

Chair Rigoni thanked the applicant for submitting renderings of the home, particularly those that showed what it might look like along the street.

Chris Gruba asked if the Plan Commission had any comments about trees.

Chair Rigoni asked the applicant to do a tree survey, and to include the trees in the right-of-way. They might be impacted during construction.

The builder said he intended to remove the right-of-way trees and replace them in kind after construction was finished.

## **H. Public Comments**

There were no public comments.

## **I. Village Board & Committee Updates**

Mike Schwarz notified the Plan Commission of two recent Village Board approvals:

- On April 17<sup>th</sup>, the Village Board approved the Plat of Resubdivision for Lighthouse Pointe.

Mike Schwarz thanked Chair Rigoni for her work on the Plan Commission and wished her well in her new role as Trustee.

Mike Schwarz thanked Drew Duffin for his work with the Village of Frankfort.

## **J. Other Business**

Drew Duffin notified the Plan Commission that staff had approved a minor change to the Cedarhurst Senior Living Planned Unit Development. The changes included five additional parking spaces, the relocation of a light pole, and a new storage shed. There was some discussion about whether the storage shed was disapproved when the original project was voted on by the Plan Commission.

Chair Rigoni thanked Drew Duffin for his work with the Village of Frankfort.

Chair Rigoni thanked the other members of the Plan Commission for continually working together as a group, and for maintaining good relations with one another, even when there were disagreements. That did not always happen with other commissions. She hoped to bring that same quality to the Village Board.

The other members of the Plan Commission all congratulated Chair Rigoni and thanked her for her work.

## **K. Attendance Confirmation (April 27<sup>th</sup>, 2023)**

Chair Rigoni asked the members of the Plan Commission to notify staff if they know they would not be able to attend the May 11<sup>th</sup> meeting.

**Motion (#5):** Adjournment 9:58 P.M.

Motion by: Schaeffer                      Seconded by: Markunas

The motion was unanimously approved by voice vote.

Approved May 11<sup>th</sup>, 2023

As Presented \_\_\_\_\_ As Amended \_\_\_\_\_

\_\_\_\_\_/s/ Nichie Schaeffer, Chair

\_\_\_\_\_/s/ Secretary

**Project:** 99 N. White Street  
**Meeting Type:** Public Hearing  
**Request:** Two variations from Zoning Ordinance for first floor building materials and for creating an undersized R-2 zone lot. Variation from Section 9.5-1 of the Village of Frankfort Land Subdivision Regulations to create an undersized R-2 zone lot.  
**Location:** 99 N. White Street  
**Applicant:** Kimberly Quinlan and John Aarts  
**Prop. Owner:** Same as Applicants  
**Representative:** Same as Applicants

### Site Details

**Lot Size (gross):** 17,377 sq. ft. +/-  
**Lot Size minus ROW:** 13,439 sq. ft. +/-  
**PIN(s):** 19-09-22-304-019-0000  
**Existing Zoning:** R-2  
**Proposed Zoning:** N/A  
**Buildings / Lots:** 1  
**Total Sq. Ft.:** 2,616 sq. ft.

### Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Residential	Single Fam. Attached Res.	R-2
<b>North</b>	Residential	Single Fam. Attached Res.	R-2
<b>South</b>	Residential	Single Fam. Res.	R-2
<b>East</b>	Residential	Single Fam. Attached Res.	R-2
<b>West</b>	Commercial	Mixed Use	H-1

Figure 1. Location Map



### Project Summary

The applicants, Kimberly Quinlan and John Aarts, are proposing to construct a new single-family home on the vacant property located at 99 N. White Street. The house would be located within the Downtown Area, as illustrated in the Downtown Frankfort Residential Design Guidelines (appendix B of the 2040 Comprehensive Plan). The applicants are proposing to construct a two-story, 2,616 square foot home, which would face toward White Street. The proposed home is designed with elements of Shingle-style architecture and is finished with non-masonry, wood-composite siding.

Based on information gathered from available property records, the boundaries of the subject property extend west to the center line of White Street. The property was also never legally subdivided in accordance with the Subdivision Regulations. As such, a Plat of Subdivision is required to both create a legally subdivided lot and to formally dedicate the portion the northbound lane of White Street in front of the property to the Village. To bring the property into compliance with the Zoning Ordinance and to accommodate the proposed home, the applicant requests approval of variations for first-floor building materials and to create a lot smaller than the minimum 15,000 square-foot requirement of the R-2 zoning district. In addition, the applicant is seeking approval of a Plat of Subdivision in order to create the lot.



## **Attachments**

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1. Location Map, prepared by staff (VOF GIS) scale 1:500 & 1:2,000
2. Downtown Boundary Map (excerpt from 2019 Comprehensive Plan) with subject property noted
3. Downtown Residential Design Guidelines (Quick Checklist excerpt)
4. Variation Findings of Fact, submitted by applicant
5. Plat of Survey, received February 17, 2023
6. Color Rendering of proposed house for Quinlan-Aarts Residence
7. Photographs of property, taken by staff April 6, 2023
8. PC/ZBA minutes of March 11, 2021 (Former approval of Michau-Bertrand Residence)
9. PC/ZBA minutes of May 27, 2021 (Former approval of Michau-Bertrand Residence)
10. PC/ZBA minutes of April 13, 2023 (Current submittal, Quinlan-Aarts Residence)
11. Formerly approved plans for Michau-Bertrand Residence (2021)
12. Current proposed plans for Quinlan-Aarts Residence (Site Plan, Floor Plan & Elevations)
13. Plat of Subdivision for Quinlan-Aarts Residence

## **History**

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Previous property owners have requested relief from the requirements of the Zoning Ordinance for 99 N. White Street on at least two other occasions in the past decade. Both cases are summarized briefly below, and available records are attached for reference.

### **2013 Application (Knecht Residence)**

#### Requests:

- Reduce front yard setback from 30 feet to 18.5 feet;
- Reduce corner side yard setback from 30 feet to 20.25 feet;
- Increase maximum lot coverage from 20% to 24.03%; and,
- Permit the use of non-masonry building materials on the first floor (Hardie-board).

#### Plan Commission Public Hearing (December 12<sup>th</sup>, 2013):

- There was some discussion at this meeting about what would happen to the parking spaces along White Street. Staff explained to the Plan Commission that adjustments would be made as necessary.
- Each request received an unanimously favorable recommendation to the Village Board.

#### Village Board Meeting (December 16<sup>th</sup>, 2013):

- All requests were approved at the Village Board Meeting as part of the Unanimous Consent Agenda.

### **2021 Application (Michau-Bertrand Residence)**

#### Requests:

- Permit the use of non-masonry building materials on the first floor; and,
- Reduce rear yard setback from 30 feet to 23.4 feet.

#### Plan Commission Workshop (March 11<sup>th</sup>, 2021):

- There was some discussion on the orientation of the driveway as proposed at the workshop.
- The applicants and Commissioners discussed the details of the proposed building materials, including color, style, and type.
- There was some discussion of how the subject property might better align with the neighboring properties with respect to the front yard setback.
- The Plan Commission discussed the location of the proposed driveway, which was to be located on the south side of the property, and the nearby AT&T utility boxes.

Plan Commission Public Hearing (May 27<sup>th</sup>, 2021):

- Changes from the Workshop include changing the proposed driveway from an 'S' shape to a hammerhead shape, using two different brands of siding to add visual variety, and replacing the previously proposed stone chimney with a brick chimney.
- There was some discussion about which trees would be removed from the property, and the applicants indicated that they did not intend to remove any trees.
- There was also discussion about the water line which would need to be relocated for 99 E. Bowen Street, which would be handled when the applicants were closer to starting construction.
- Both requests received unanimously favorable recommendations from the Plan Commission.

Village Board Meeting (June 7<sup>th</sup>, 2021):

- Both variations were approved by the Village Board as part of the Unanimous Consent Agenda.

**2023 Application (Quinlan-Aarts Residence)**

Plan Commission Workshop (April 13, 2023):

- Planner Duffin relayed that the Traffic Advisory Committee met on March 29, 2023 and that they recommended that the proposed driveway could connect to White Street, but that only 1 on-street parking space may be lost in the process.

***Analysis*** 

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In consideration of the request, staff offers the following points of discussion:

**Building Materials Variation**

- The Village of Frankfort Zoning Ordinance requires that all homes within the R-2 zoning district be constructed with the entire first floor finished in masonry.
- The applicants propose to construct a two-story home finished with a combination of shake style composite siding and horizontal composite siding. While the home does not fall neatly into any one architectural category, it does include elements of Shingle-style homes, which were popular between 1880 and 1910.
- Building materials variations are regularly approved in the downtown area as many of the homes were constructed prior to the adoption of current ordinance requirements.
- The homes on this block of White Street are constructed mostly of non-masonry siding. Two (2) of the total 19 single-family homes have masonry (brick) construction on White Street between La Grange Road and Elwood Street. This equates to 11% of the homes having masonry construction and complying with the R-2 first-floor building materials requirement.
- The proposed non-masonry construction is consistent with the recommendations of the Downtown Residential Design Guidelines which require that building materials be appropriate to the architectural style of the home and encourages the use of non-masonry materials when appropriate for that architectural style. One of the defining characteristics Shingle-style architecture is the use of wood siding. Wood shingle composite siding (which has the appearance of wood siding) is proposed on the White Street façade, and all other sides of the house would have horizontal wood composite siding.

## **Downtown Residential Design Guidelines**

### Architectural Style

- The guidelines require homes adhere to a single historic architectural style. While the design of this home does not fit neatly into any architectural style, it does include some elements of Shingle-style homes, which were popular from 1880 to 1910. Those elements include the use of shingle siding on the White Street façade, strips of three or more windows, and plain porch supports.

### Building Materials

- The guidelines require building materials be appropriate to the architectural style of the home and encourage the use of non-masonry materials when appropriate for the architectural style. The use of non-masonry shingle style siding is consistent with the architectural style of the home.
- The guidelines encourage the use of a combination of different materials to create texture and charm. A combination of horizontal composite siding and shingle composite siding is proposed.

### **Lot Size Variation and Plat of Subdivision**

- Currently, 99 N. White Street has an area of approximately 17,377 square feet (a rectangle roughly 117.5' by 147.89'). However, the western property line extends to the center line of White Street, meaning that about 3,877 square feet, or about 22%, of the property is comprised of White Street, the parkway, and the sidewalk.
- The submitted Plat of Subdivision dedicates the 3,877 square feet which is improved as public right-of-way. This results in a remaining property with an area of 13,439 square feet, which is smaller than the minimum required lot size in the R-2 districts, which is 15,000 square feet.
- Despite the smaller lot area, the proposed home meets all the required setbacks for all four yards on the 13,439 square foot lot.

### **Site Layout**

#### Building

- Per the Zoning Ordinance, the front lot line of a corner lot is the shorter line adjacent to a street right-of-way. Currently (i.e., prior to subdividing the property), the property has a lot line along White Street and a lot line along Bowen Street. The lot line on White Street is 116.45 feet long, while the line on Bowen Street is 147.89 feet long, making White Street the front lot line.
- As noted above, the subject property includes the northbound lane of White Street, which will be dedicated as public right-of-way through the submitted Plat of Subdivision. This reduces the length of the property line along Bowen Street by 33 feet. After the right-of-way is dedicated, the Bowen Street lot line will be 114.89 feet in length. This will make the lot line approximately 18 inches shorter than the White Street lot line and thus the new front lot line, per the Zoning Ordinance. However, the "front" of the building will remain facing White Street.

#### Garage

- The design guidelines require garages be designed in a manner so as to not to compromise the architectural integrity of the proposed home and not dominate any façade which faces a public street. The guidelines also encourage the use of alley-oriented garages where available. Based on the Zoning

Ordinance definitions for the different yards on the property, the applicants are proposing an attached side-loading, rear-facing garage on the north end of the building.

- The guidelines suggest the use of narrow one-car wide driveways at the point of connection to the public right-of-way and that driveway flares be utilized to increase the driveway width closer to the garage. The proposed driveway is 10' wide at the property line and widens to 25.51' in front of the garage door. For reference, a maximum width of 28' is permitted in the R-2 district.
- There are four public parking spaces along White Street that abut 99 N. White Street. In order to construct the home and the driveway as shown on the site plan, the northernmost parking space would need to be removed. The Traffic Advisory Committee (TAC) met on March 29<sup>th</sup>, and voted to recommend that the northernmost on-street parking space be removed to accommodate the proposed driveway.
- At least one tree will be removed in order to accommodate the proposed driveway. Per the submitted site plan, one existing Silver Maple in the northwest corner of the property will be removed. Staff has confirmed with the applicants that the second Silver Maple on the north end of the property will remain.
- Silver Maples are included in the list of Unacceptable Trees found in Appendix G of the Landscape Ordinance. This means that the applicants do not need Village approval in order to remove them. Additionally, there are no provisions of the Landscape Ordinance which require the property owner to plant replacement trees.
- The site plan illustrates an attached garage. Although detached garages are preferable per the design guidelines, the nature of the corner lot makes the placement of a detached garage difficult. If the garage were detached from the house, it would become an accessory structure and would be subject to different requirements. A detached garage would have to maintain a 10' setback from the rear yard or side yard property lines and must also be set back at least 30' from the White Street or Bowen Street property lines. Detached garages must also maintain a 10' separation from the house.

### ***Affirmative Motions***

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1. Recommend the Village Board approve the variation request for first-floor building materials to allow non-masonry siding on the property located at 99 N. White Street, in accordance with the reviewed plans and public testimony and conditioned upon dedication of prescriptive right-of-way to the Village.
2. Recommend the Village Board approve the variation request to reduce the minimum required lot size for the property located at 99 N. White Street from 15,000 square feet to 13,439 square feet, in accordance with the reviewed plans and public testimony and conditioned upon dedication of prescriptive right-of-way to the Village.
3. Recommend the Village Board approve the variation from Section 9.5-1 of the Village of Frankfort Land Subdivision Regulations to approve a Plat of Subdivision with a lot size which does not conform to the requirements of the Village of Frankfort Zoning Ordinance, in accordance with the reviewed plans and public testimony and conditioned upon dedication of prescriptive right-of-way to the Village.
4. Recommend that the Village Board approve the Plat of Resubdivision, subject to any necessary technical revisions prior to recording.



# 99 N. White - Quinlan-Aarts Residence





# 99 N. White - Quinlan-Aarts Residence





Downtown Frankfort Boundary Map  
(Downtown Residential Design Guidelines - 2019 Comp Plan)





## B | downtown residential design guidelines

### QUICK CHECKLIST

The set of questions listed below are framed in such a way that if your answer is “yes” - it is likely that the design is on the right track towards contributing to the type of character and quality Frankfort seeks to maintain. The photos shown to the right are examples of residences that fulfill these design ideals. If the answer is not clear, or is questionable, you should look for ways to improve upon this design element.

**Note:** All new residential construction, building additions, and development in general must comply with the Zoning Ordinance regulations including but not limited to setbacks, height, lot coverage, and building materials.

- |   |  |
|---|--|
| 1. Does the building architecture complement and fit the character of surrounding structures - consider scale, setback, building height?  | <input type="checkbox"/> <b>Yes</b><br><input type="checkbox"/> <b>No</b><br><input type="checkbox"/> <b>Maybe</b> |
| 2. Does the structure's architecture delineate and highlight the primary entrance?  | <input type="checkbox"/> <b>Yes</b><br><input type="checkbox"/> <b>No</b><br><input type="checkbox"/> <b>Maybe</b> |
| 3. Are the proposed building materials consistent with the intended architectural style of the home and complementary to the materials utilized on the homes in the surrounding area? | <input type="checkbox"/> <b>Yes</b><br><input type="checkbox"/> <b>No</b><br><input type="checkbox"/> <b>Maybe</b> |
| 4. Are simplified roof forms provided that are consistent with both the intended architectural style and roof forms of homes in the surrounding area?                                 | <input type="checkbox"/> <b>Yes</b><br><input type="checkbox"/> <b>No</b><br><input type="checkbox"/> <b>Maybe</b> |
| 5. Are there step-backs to the facade and / or architectural details that add depth and dimension, i.e. porches, bay windows?   | <input type="checkbox"/> <b>Yes</b><br><input type="checkbox"/> <b>No</b><br><input type="checkbox"/> <b>Maybe</b> |
| 6. Are there interesting architectural details and landscape treatments integrated on site that complement the residence?   | <input type="checkbox"/> <b>Yes</b><br><input type="checkbox"/> <b>No</b><br><input type="checkbox"/> <b>Maybe</b> |
| 7. Are the predominate facade colors / building materials of a natural color palette that is complementary to the homes in the surrounding area.                                      | <input type="checkbox"/> <b>Yes</b><br><input type="checkbox"/> <b>No</b><br><input type="checkbox"/> <b>Maybe</b> |





**RECEIVED**

By aduffin at 9:31 am, Feb 17, 2023

VILLAGE OF  
**FRANKFORT**  
INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review  
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following "Standards of Variation." Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

*understood.*

2. That the plight of the owner is due to unique circumstances; and

*n/a*

3. That the variation, if granted, will not alter the essential character of the locality.

*no we believe it follows suit with  
rest of homes.*

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional "Standards of Variation."

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

*would lose curb appeal and not fit overall  
aesthetic of neighborhood.*

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

we see a lot of homes in downtown Frankfort with 1st floor building material not

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property; <sup>brick</sup> (masonry)  
no, it's for the charm & character of area/home.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

no.

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

no, it will suit nicely.

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

no.

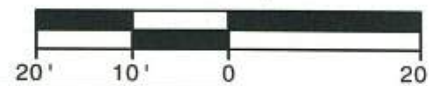
7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

no.

LEGEND  
A = ASSUMED  
C = CALCULATED  
CH = CHORD  
CL = CENTERLINE  
D = DEED  
E = EAST  
F.I.P. = FOUND IRON PIPE  
F.I.R. = FOUND IRON ROD  
FT. = FEET/FOOT  
L = ARC LENGTH  
M = MEASURED  
N = NORTH  
NE = NORTHEAST  
NW = NORTHWEST  
P.O.B. = POINT OF BEGINNING  
P.O.C. = POINT OF COMMENCEMENT  
R = RECORD  
RAD = RADIUS  
R.O.W. = RIGHT OF WAY  
S = SOUTH  
S.I.P. = SET IRON PIPE  
S.I.R. = SET IRON ROD  
SE = SOUTHEAST  
SW = SOUTHWEST  
W = WEST  
X = CHAIN LINK FENCE  
O = WOOD FENCE  
□ = METAL FENCE  
△ = VINYL FENCE  
--- = EASEMENT LINE  
- - - = SETBACK LINE  
- - - = INTERIOR LOT LINE

# PLAT OF SURVEY OF

THE WEST 147.89 FEET OF THE NORTH 117.5 FEET OF THE SOUTH  
793.33 FEET OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 35  
NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING  
NORTH OF THE INDIAN BOUNDARY LINE, IN WILL COUNTY, ILLINOIS.



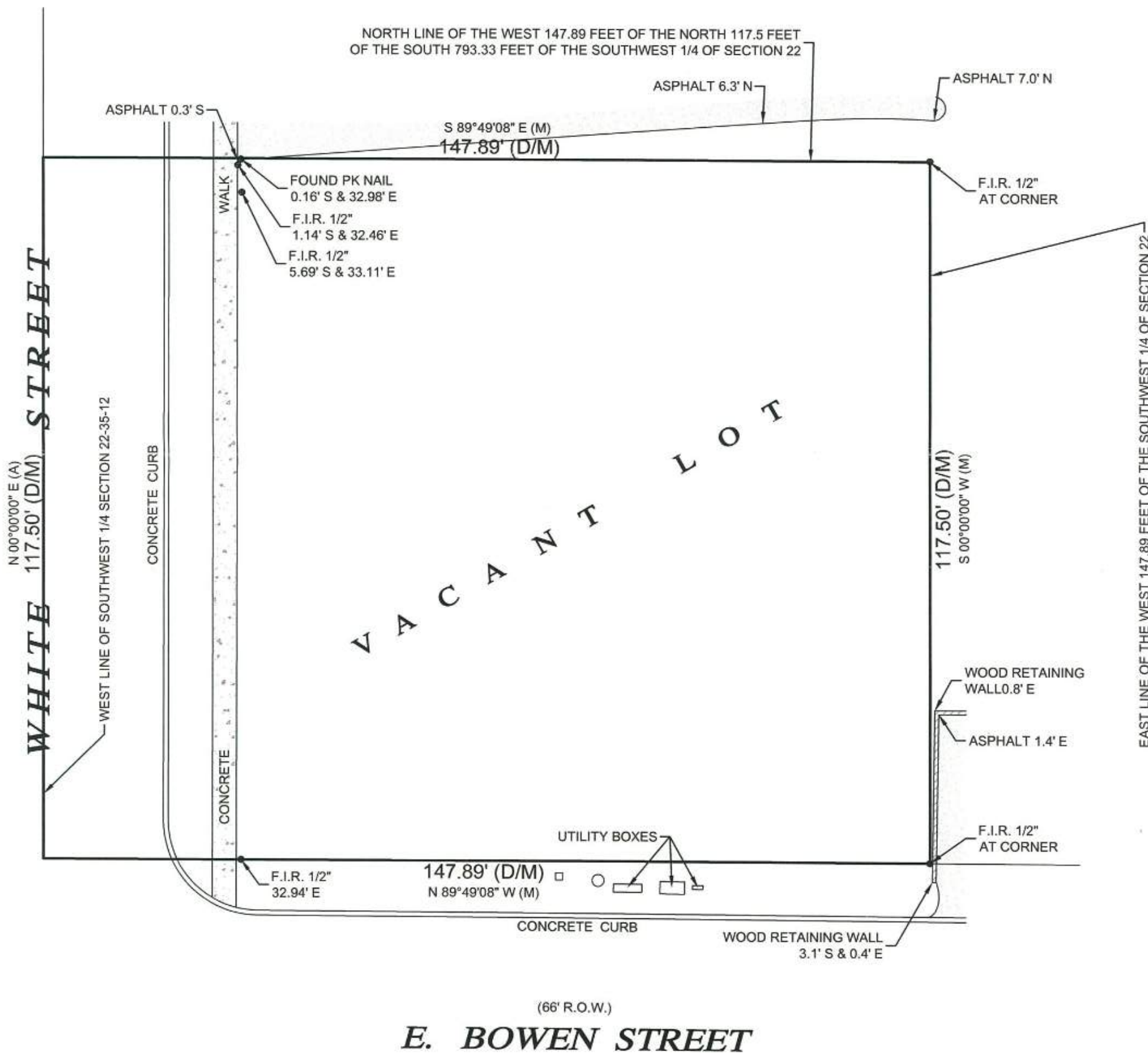
BASIS OF BEARING:  
WEST LINE OF N. WHITE STREET AS FOUND  
MONUMENTED AND OCCUPIED PER RECORD  
SUBDIVISION.  
N 00°00'00" E (A)

AREA OF SURVEY:

"CONTAINING 17,377 SQ. FT. OR 0.39 ACRES MORE OR LESS"

**RECEIVED**

By aduffin at 9:31 am, Feb 17, 2023



Morris Engineering, Inc.  
515 Warrenville Road, Lisle, IL 60532  
Phone: (630) 271-0770  
FAX: (630) 271-0774  
WEBSITE: WWW.ECIVIL.COM

STATE OF ILLINOIS } SS  
COUNTY OF DUPAGE }  
I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND  
SURVEYOR, DO HEREBY CERTIFY THAT "THIS PROFESSIONAL  
SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM  
STANDARDS FOR A BOUNDARY SURVEY," AND THAT THE  
PLAT HEREON DRAWN IS A CORRECT REPRESENTATION  
OF SAID SURVEY.

DATED, THIS 6TH DAY OF APRIL, A.D.,  
2022, AT LISLE, ILLINOIS.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2317  
LICENSE EXPIRATION DATE NOVEMBER 30, 2022  
ILLINOIS BUSINESS REGISTRATION NO. 184-001245



## NOTE:

- ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
- ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
- COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
- NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

ADDRESS COMMONLY KNOWN AS 99 N. WHITE STREET  
FRANKFORT, ILLINOIS

CLIENT JOSEPH KOSTECK, ATTORNEY AT LAW

FIELDWORK DATE (CREW) 04/05/2022 (DS)

DRAWN BY: RT REVISED: JOB NO. 22-03-0608









Facing east across White Street



North side of property





Facing southeast from northwest corner of property



Facing northeast from southwest corner of property





Facing north from south of property



Facing northwest from southeast corner of property

### **C. Workshop: 99 N. White Street**

Future Public Hearing Request: New construction of a single-family dwelling within Downtown Frankfort, zoned R-2, requiring at least two variances.

Senior Planner, Christopher Gruba, presented the staff report and provided an overview of the request noting that the request provides for 20% lot coverage, which is the maximum permitted coverage in this zone district. The applicants, Mark Michau and Christy Bertrand, were present for discussion and noted that the request is on an undersized lot and are possibly looking to make changes to the driveway from a curved driveway to straight if able to shift everything to the west.

During the Plan Commission Discussion:

- Commissioner Michuda noted to the applicants to look at their options with the driveways since curved driveways could be difficult to some when driving in reverse;
- Chair Rigoni noted if applicants move the home further west closer to White Street, they will possibly eliminate the need for the rear yard setback variance request, but then require a front yard setback variance;
- Commissioner Markunas noted based on the site map the home will need to be moved west approximately 25 feet to clear the electrical boxes on the south side of the street;
- Commissioner Michuda questioned the applicant if there are any color renderings for the building materials. Applicant noted that at this point they are choosing earth tone colors similar to the picture provided in the staff report;
- Commissioners discussed building materials on the proposal. Applicant noted they are proposing a continuous wood shingle wall cladding on the front façade facing White Street and the corner side of the house facing East Bowen Street. Commissioners suggested to incorporate the same material on the north and east sides of the home. Applicant noted they will be using Hardie Shake and Hardie Board throughout the home;
- Chair Rigoni requested staff to provide study of similar requests for the public hearing review;
- Commissioner Michuda noted her concern with the height and scale of the proposal. Applicant noted the builder is aware of the requirements and will be working with builder to meet the requirements. Mr. Lecas noted the proposed height appeared to be 35 feet tall and noted that the home to the south of the proposal seems to be between 32-35 feet tall;
- Commissioner Markunas questioned the building materials for the columns proposed for the front entrance of the home. Applicant noted they are open to suggestions. Commissioner Markunas suggested for the builder to look at the guidelines for acceptable materials;



- Chair Rigoni suggested for the applicant to verify the floor plan from the preliminary site plan since the scale of the garage looks much larger on the site plan;
- Commissioner Hogan questioned the applicant if the mature trees will be preserved. Applicant noted they are looking to keep the trees;
- Commissioner Michuda suggested for the applicant to contact AT&T and find out if the electrical boxes on the South side of the street can be moved over to adjust the location of the driveway moving it further west and questioned who is responsible to pay for the relocation. Resident, Steve Lecas residing at 90 Lawndale Blvd suggested for the applicant to contact AT&T but noted it is the owner's responsibility to pay to move the feeder boxes;
- Commissioners discussed the setbacks noting that they should stay in line with the other homes and suggested for the applicant to look at their options to shift the home to the west closer to White Street and provide updated plans for the public hearing;
- Mark Adams and Danette Muscarella members of the Old Town Homeowners Association suggested for Plan Commission members to review the proposal and keep in mind the 2040 Comprehensive plan and questioned if the HOA approval was not required for the workshop. Chair Rigoni reiterated that the approval is not required for workshop but will be required for the public hearing.

#### **D. Workshop: 613 Prestwick Drive**

Future Public Hearing Request: Demolition of the existing single-family dwelling and construction of a new home, zoned E-R, requiring at least three variances.

Senior Planner, Christopher Gruba, presented the staff report and provided an overview of the request noting the existing home meets the first-floor building materials requirement. The applicants, Steve and Jarrett Lecas, were present and noted the home was owned previously by Victor Varner's father with 1970's floor plan and are now looking to build a new "old Frankfort style farmhouse" on the existing lot.

During the Plan Commission Discussion:

- Commissioner Markunas expressed concern with the proposed composite siding material and noted the building materials on the homes next to the proposal on the east and west both were constructed with all brick;
- Commissioner Hogan questioned the builder regarding the need for variance request. Builder Steve Lecas noted the owner chose their style of home with the proposed siding building materials. Builder also noted that there are many other homes in the Prestwick area that do not meet the first-floor building materials requirement;



**MINUTES  
MEETING OF VILLAGE OF FRANKFORT  
PLAN COMMISSION / ZONING BOARD OF APPEALS  
MAY 27, 2021 – VILLAGE ADMINISTRATION BUILDING  
432 W. NEBRASKA STREET**

**Call to Order** Chair Rigoni called the meeting to order at 6:31 P.M.

**Commissioners Present:** Will Markunas, Dan Knieriem, Lisa Hogan, Ken Guevara, and Chair Maura Rigoni

**Commissioners Absent:** Kris Michuda

**Staff Present:** Senior Planner Christopher Gruba, Senior Planner Janine Farrell, Director of Community and Economic Development Michael Schwarz

**Elected Officials Present:** None

**A. Approval of the Minutes from May 13, 2021**

**Motion (#1):** Approval of the minutes from May 13, 2021.

Motion by: Knieriem                      Seconded by: Hogan

Approved: (4 to 1)

Abstain: (1) Guevara

Chair Rigoni swore in all those wishing to provide public testimony and introduced the meeting process for the public.

- B. Public Hearing Request: 99 N. White Street – Michau/Bertrand Variance (Ref. # 104)** Public Hearing Request: Two (2) variances in the R-2 zoning district to permit the construction of new single-family residential dwelling, located at 99 N. White Street. The variances would permit a 23.4' rear yard setback whereas 30' is required and permit the use of non-masonry siding.

Senior Planner, Christopher Gruba, presented the staff report and provided an overview of the request. This proposal was originally held as a Plan Commission/Zoning Board of Appeals workshop on March 11, 2021. Since that meeting, the applicants, Mark Michau and Christy Bertrand, have incorporated the Plan Commission's suggested changes. A right-of-way dedication along White Street is now shown on the site plan. The driveway has been altered from an 'S' to a hammerhead shape due to the location of the utility boxes. The chimney is now brick instead of stone. Additional architectural details were added to the facades, specifically shake shingles. Gruba reconfirmed the two variation requests, rear yard setback to accommodate a screened-in porch and the use of non-masonry materials on the first floor. Gruba noted that there is some masonry,

stone, located on the first floor. Although the parcel is nonconforming for lot size and depth, the proposal still meets the maximum 20% lot coverage permitted. The house also meets the height limitation of 35 ft.

Chair Rigoni asked the applicants if they wished to speak.

The applicants, Mark Michau and Christy Bertrand, explained the changes that were made to the proposal after the March workshop meeting. The driveway was altered to avoid utility boxes, the fireplace is now brick, a covered porch was added, and shake shingles were added.

Chair Rigoni asked the Commissioners if there were any initial questions.

- Commissioners Guevara, Hogan, and Markunas did not have any questions.
- Commissioner Knieriem confirmed with the applicants that the rear setback variation request was due to the covered porch. Commissioner Knieriem noted the creative driveway solution to the utility box issue.
- Chair Rigoni asked the applicants which trees were to remain and which were to be removed on the property. The applicants stated that they wished to keep all silver maples on the property, but may need to remove a branch from one tree. Rigoni noted that trees and landscaping soften the non-masonry facades and recommended tree preservation.

Chair Rigoni asked if anyone from the public wished to speak on the matter.

- Scott Gallatin, the neighbor to the rear at 99 E. Bowen Street, introduced himself. Mr. Gallatin stated that his questions about the landscaping were answered and understood that a water line must be relocated for this construction. The applicants confirmed that as construction nears, they will work with Mr. Gallatin on scheduling the water line relocation.

Chair Rigoni clarified for the public that the Commissioners' comments might seem brief but that is due to the fact that this proposal was brought forward as a workshop previously.

During the Plan Commission Discussion:

- Chair Rigoni asked the Commissioners to address the variation for the non-masonry materials first.
- Commissioner Knieriem thanked the applicants for taking the comments made during the workshop into consideration;
- Commissioner Markunas seconded Commissioner Knieriem's comment. Commissioner Markunas complimented the driveway modification, the brick chimney, and that the applicants did not exceed the maximum lot coverage

permitted;

- Chair Rigoni appreciated the mix of materials used on the residence and commented that the homes in the downtown area generally deviate from full brick or masonry;
- Commissioner Hogan seconded the previous comments and complimented the applicants on the proposal;
- Commissioner Guevara also seconded the previous comments.
- Chair Rigoni asked the Commissioners to discuss the rear yard setback variation.
- Commissioners Markunas, Guevara, and Knieriem had no comments;
- Commissioner Hogan noted the inconvenient location of the utility boxes which results in the driveway and house placement closer to the rear yard;
- Chair Rigoni confirmed with staff that the remainder of the house met the rear yard setback, that the covered porch was the only portion which encroached into the rear yard. Chair Rigoni also confirmed with staff that the same building materials noted on the first page of the plans were continued on the other facades.
- Chair Rigoni questioned the proposed condition of requiring a snow fence for tree protection. Gruba stated that the trees most likely impacted by the construction were the silver maples in the southwest, southeast, and northeast portions of the property. The applicants reaffirmed their intention to retain the silver maples on the property and provide adequate protection for them during construction. They stated that the two large shrubs located along White Street would be removed, but the landscaping next to the utility boxes would remain. Chair Rigoni reinforced that trees should be preserved and protected during construction. This intention is memorialized as a conversation during the meeting as opposed to a condition of the variation.

**Motion (#2):** Recommend the Village Board approve the variance request for first-floor building materials to allow non-masonry siding on the property located at 99 N. White Street, in accordance with the reviewed plans and public testimony and conditioned upon dedication of prescriptive right-of-way to the Village.

Motion by: Knieriem

Seconded by: Hogan

Approved: (5 to 0)

**Motion (#3):** Recommend the Village Board approve the variance request to reduce the required rear yard setback (east) for the primary structure from 30' to 23.4', on the property located at 99 N. White Street, in accordance with the reviewed plans and public testimony and conditioned upon dedication of prescriptive right-of-way to the

Village.

Motion by: Hogan

Seconded by: Knieriem

Approved: (5 to 0)

**C. Public Hearing Request: 20553 S. La Grange Road – Abri Credit Union Major PUD Change & Special Use (Ref. # 108)**

Gruba stated that the applicant requested this case be tabled until June 10, 2021. Chair Rigoni requested that should the applicant wish to table the case again on June 10, that it should be done so “indefinitely.” Commissioner Guevara confirmed with staff that the attorneys for Abri Credit Union and Dunkin’ Donuts are still working on the cross-access issues.

**Motion (#4):** Table the public hearing to June 10, 2021.

Motion by: Hogan

Seconded by: Markunas

Approved: (5 to 0)

**D. Public Comments**

There were no public comments.

**E. Village Board and Committee Update**

There were no Village Board or Committee updates.

**F. Other Business**

Schwarz asked Chair Rigoni if the Commission would be interested in having training sessions once a new Commissioner is appointed. These sessions would be based upon the 2019 APA-IL/Chaddick Institute presentation, but led by Village staff. Schwarz envisions approximately three sessions, 20-30 minutes each, held at the end of the regular meeting when the agenda permits. Chair Rigoni and the other Commissioners were supportive of the idea. Chair Rigoni stated that it would be beneficial if the Village Board was also invited to attend since there are new Trustees. Commissioner Knieriem stated that the Historic Preservation Commission should also be invited.

**G. Attendance Update**

All members present confirmed their availability for the next Plan Commission meeting to be held on June 10, 2021.

**Motion (#5):** Adjournment (6:57 PM)

Motion by: Hogan

Seconded by: Knieriem

Unanimously approved by voice vote.



Commissioner James noted that, in regard to a previous Indoor Entertainment applicant in the same shopping center (Facen4Ward), their business was based on the idea of having a lot of people in a small space. He asked the applicant to consider adding some soundproofing materials to the walls.

Chair Rigoni asked the applicant if he had any soundproofing material installed at the Homer Glen location.

The applicant said that they did. He added that his neighbors at that location included oral surgeons and therapists, and that he had not received any complaints.

Commissioner Knieriem asked if the Plan Commission could condition approval on the installation of acoustic panels.

Chair Rigoni said that they could. She added that one of the differences between the present application and the one previously heard by the Plan Commission was in the number of people who would be on-site at once. The current proposed use would have fewer people and their noise would be volume-controlled.

Commissioner Schaeffer asked the applicant to provide photos of the acoustic paneling they would install in the space to be included in the Public Hearing packet.

Commissioner Knieriem suggested the applicant ask his current neighbors if they could write letters of support for the Public Hearing.

Chair Rigoni asked if the Public Hearing date was set.

Staff said that no date was confirmed, but that May 11<sup>th</sup> was an option.

Chair Rigoni told the applicant to ask the landlord to pave the parking lot.

#### **E. Workshop: 99 N. White Street – Quinlan/Aarts Residence**

Drew Duffin presented the staff report.

Kimberly Quinlan, the applicant, approached the podium. She stated she had nothing to add.

Chair Rigoni asked staff if the applicant was requesting any other variances.

Drew Duffin said that the proposed home met all other standards.

Chair Rigoni asked if the request for a variation to reduce the lot area would have been required by any other applicant.

Drew Duffin said that any other applicant would need to make the same request.



Commissioner Knieriem asked the applicant if she owned the property.

The applicant said that they had bought the property from the previous owner roughly six months after they decided not to build on the property.

Commissioner Knieriem asked the applicant how soon they wanted to break ground.

The applicant said as soon as possible.

Commissioner Knieriem asked the applicant include color renderings of the proposed home for the next meeting. He also asked if there was room to sit on the porch.

The applicant said that there would be.

Commissioner Knieriem asked for that detail to be clear in the renderings.

The applicant said they would have that detail.

Commissioner Knieriem asked if the porch was open on the sides.

The applicant said it was.

Commissioner Schaeffer asked what color the proposed shingles would be.

The applicant said they would be gray.

Commissioner James asked about the loss of one parking space on White Street.

Drew Duffin said that the Traffic Advisory Committee recommended the parking space could be removed to accommodate the proposed driveway.

Chair Rigoni noted that each proposal brought before the Plan Commission on this property required fewer and fewer variations. She also said that she appreciated staff and the applicant going through design guidelines for analysis and design, respectively. She also stated her appreciation for the side-loaded garage.

## **F. Public Comments**

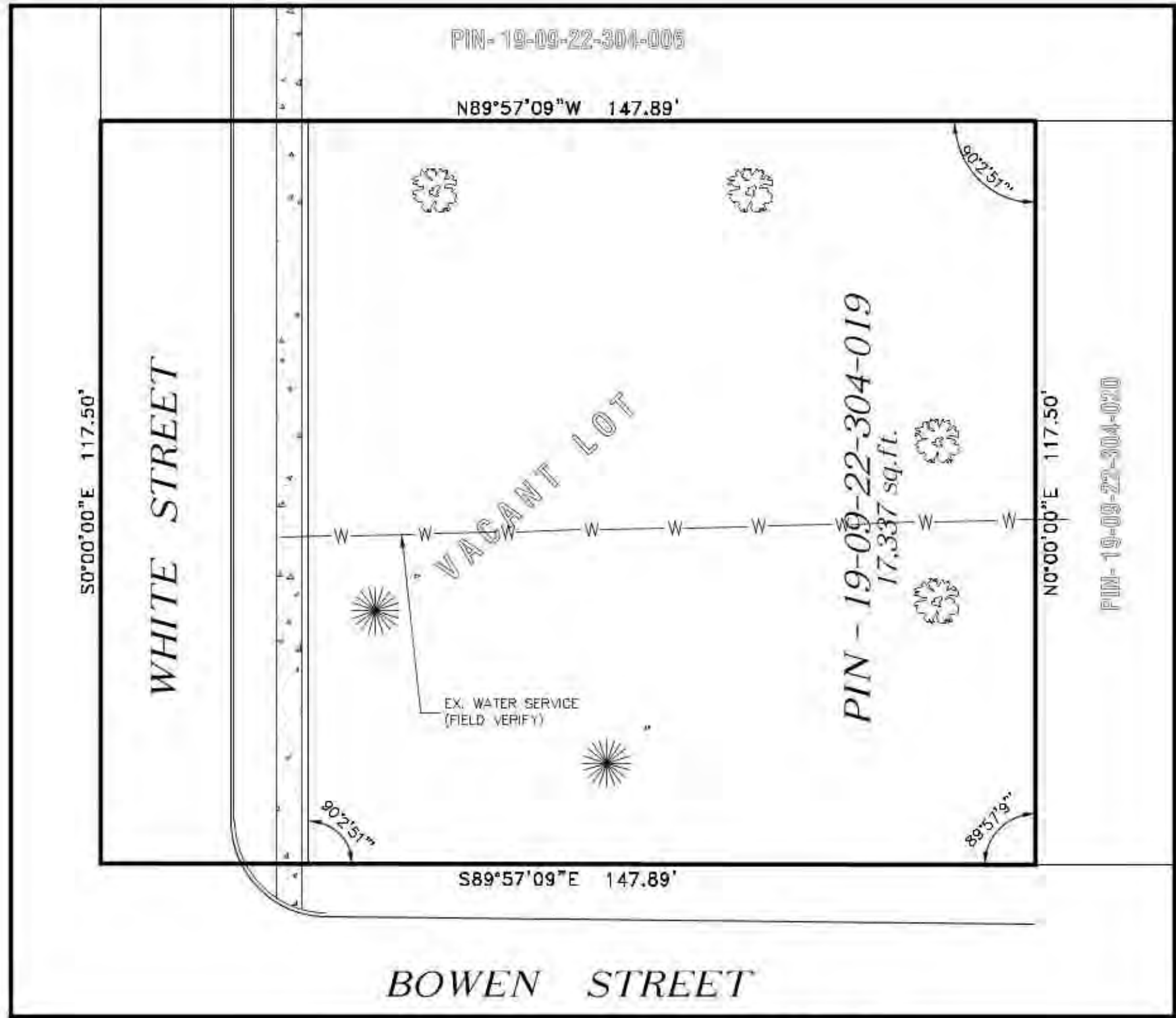
There were no public comments.

## **G. Village Board & Committee Updates**

Mike Schwarz notified the Plan Commission of two recent Village Board approvals:

- On March 20<sup>th</sup>, the Village Board approved the 2023 Official Zoning Map





EXISTING CONDITIONS

SCALE: 1"=20'

LAND DESCRIPTION

THE WEST 147.89 FEET OF THE NORTH 117.50 FEET OF THE SOUTH 793.33 FEET OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE INDIAN BOUNDARY LINE, IN WILL COUNTY, ILLINOIS

BULK REQUIREMENTS TABLE

TOTAL AREA (NET AFTER R.O.W. DEDICATION) = 13,500 SQ.FT.  
EXISTING / PROPOSED ZONING: R-2  
EXISTING / PROPOSED USE: SINGLE-FAMILY RESIDENTIAL

	REQUIRED	REQUESTED VARIANCE
MINIMUM FRONT YARD	30 FT	NONE
MINIMUM SIDE YARD	10 FT MIN (TOTAL OF 25-FT)	NONE
MINIMUM REAR YARD	30 FT	23 FT
MINIMUM LOT AREA	15,000 SQ.FT.	13,500 SQ.FT.
MAXIMUM LOT COVERAGE	20%	NONE (2,706 / 13,500 = 20.0%)

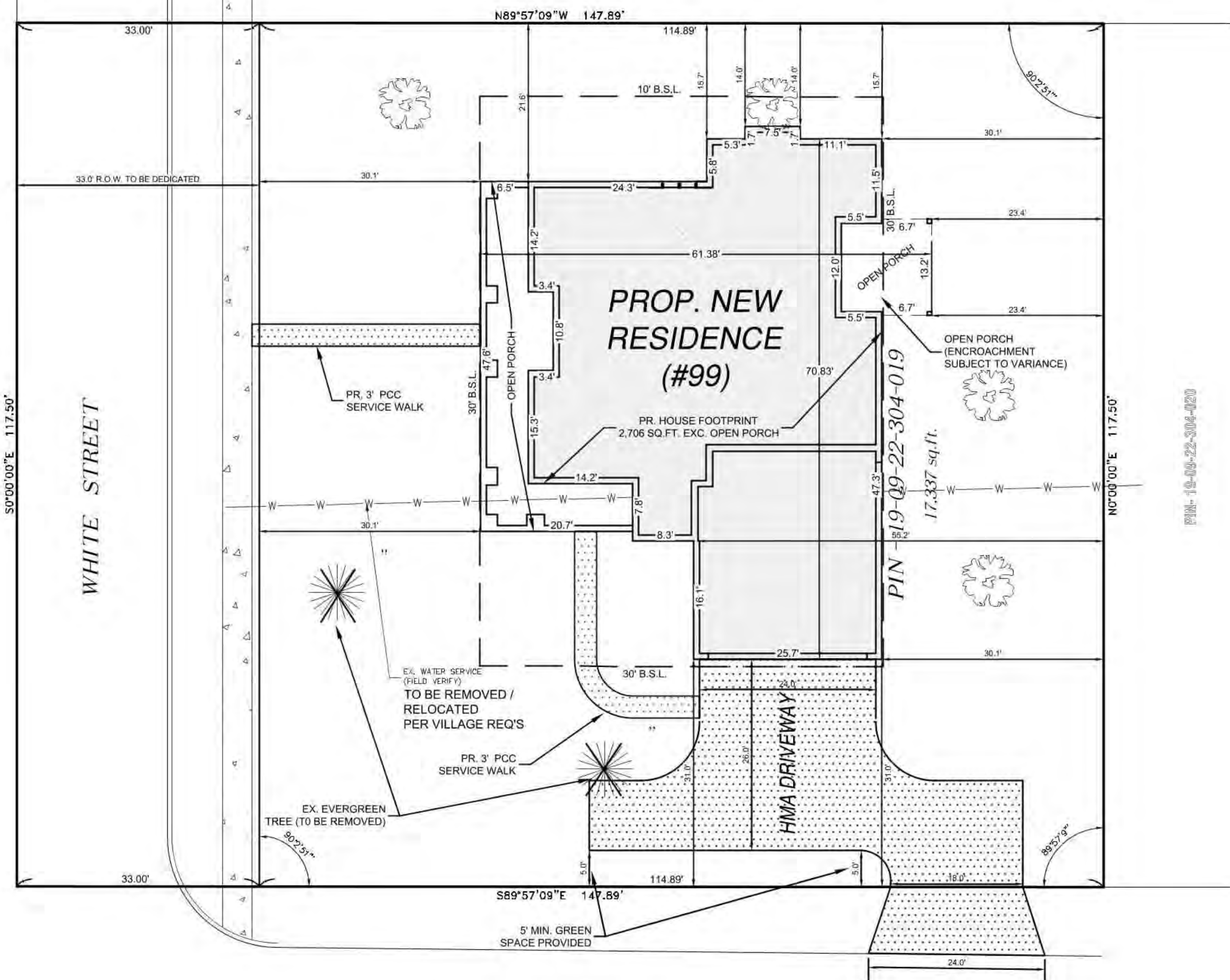
NOTES:

- Building setback lines (BSL) shown are per zoning. Property is zoned in the R-2 district, setbacks are subject to review and variance approval by Village. Current zoning and approved variances of property should be verified prior to construction.
- All right of way and/or off-site disturbed areas shall be restored to existing conditions or better, if necessary.
- Building footprint provided by others, and should be checked prior to construction. Refer to architectural plans for actual building footprint dimensions.
- Existing lot and dimensions taken from survey completed by others. No survey work completed by MG2A for this plan. Field verify locations and information prior to starting construction.
- Building location should be established by measuring from surveyed property lines and checked by measuring distances to opposing property lines. Building setback line should be staked in the field to verify footprint location on the lot.
- All proposed sanitary sewer service line installation work will comply with all local sanitary sewer specifications and requirements. No visible service locations were found by MG2A, unless otherwise shown.
- Prior to Excavation call Joint Utilities Location Information for Excavations "J.U.L.I.E." 1-800-892-0123



SITE LOCATION MAP  
NO SCALE

FORMERLY APPROVED PLANS FOR  
MICHAU-BERTRAND RESIDENCE



BOWEN STREET

RECEIVED

By Christopher Gruba at 2:20 pm, Apr 23, 2021

APPROVED

DATE	BY	DESCRIPTION
2/11/21	BPH	ISSUE FOR REVIEW
3/30/21	BPH	ISSUE FOR REVIEW
4/23/21	BPH	PER VILLAGE REVIEW

CIVIL ENGINEERING  
SURVEYING



M GINGERICH GEREUX & ASSOCIATES  
Professional Design Firm License # 184.005003  
P. 815-478-9680 www.mg2a.com F. 815-478-9685  
25820 S. GOUGAR RD. | MANHATTAN, IL 60442

DESIGN: BPH  
DRAWING: MB  
CHECKED: BPH  
APPROVED: BPH

99 N. WHITE STREET  
FRANKFORT, ILLINOIS

PRELIMINARY SITE PLAN

SHEET NO.

1 OF 1

JOB NO. 21-073

© 2020 M. GINGERICH, GEREUX & ASSOCIATES

THE EXISTING GROUND CONTOURS ARE BASED UPON A TOPOGRAPHIC SURVEY OF THE ORIGINAL GROUND. ANY DISTURBED AREAS SHALL BE GRADED TO MATCH THE ORIGINAL GROUND TOPOGRAPHY AND PROPOSED GROUND CONTOURS. THE TOPOGRAPHY OF DISTURBED AREAS SHALL BE CHECKED BY THE INDIVIDUAL BUILDER.

DUE TO THE UNCERTAINTY OF SEASONAL GROUND WATER TABLES AND THE GEOPHYSICAL CONDITIONS AFFECTING GROUND WATER MOVEMENT, M. GINGERICH, GEREUX & ASSOCIATES TAKES NO RESPONSIBILITY FOR THE MAINTENANCE OF GROUND WATER ASSOCIATED WITH SUB-GRADE CONSTRUCTION. BASEMENTS OR OTHER LIKE FACILITIES CONSTRUCTED BELOW THE FINISHED SURFACE GRADE OF THE PROPERTY ARE AT THE RISK OF THE BUILDER/OWNER.







Received 4.23.21

# FORMERLY APPROVED PLANS FOR MICHAU-BERTRAND RESIDENCE



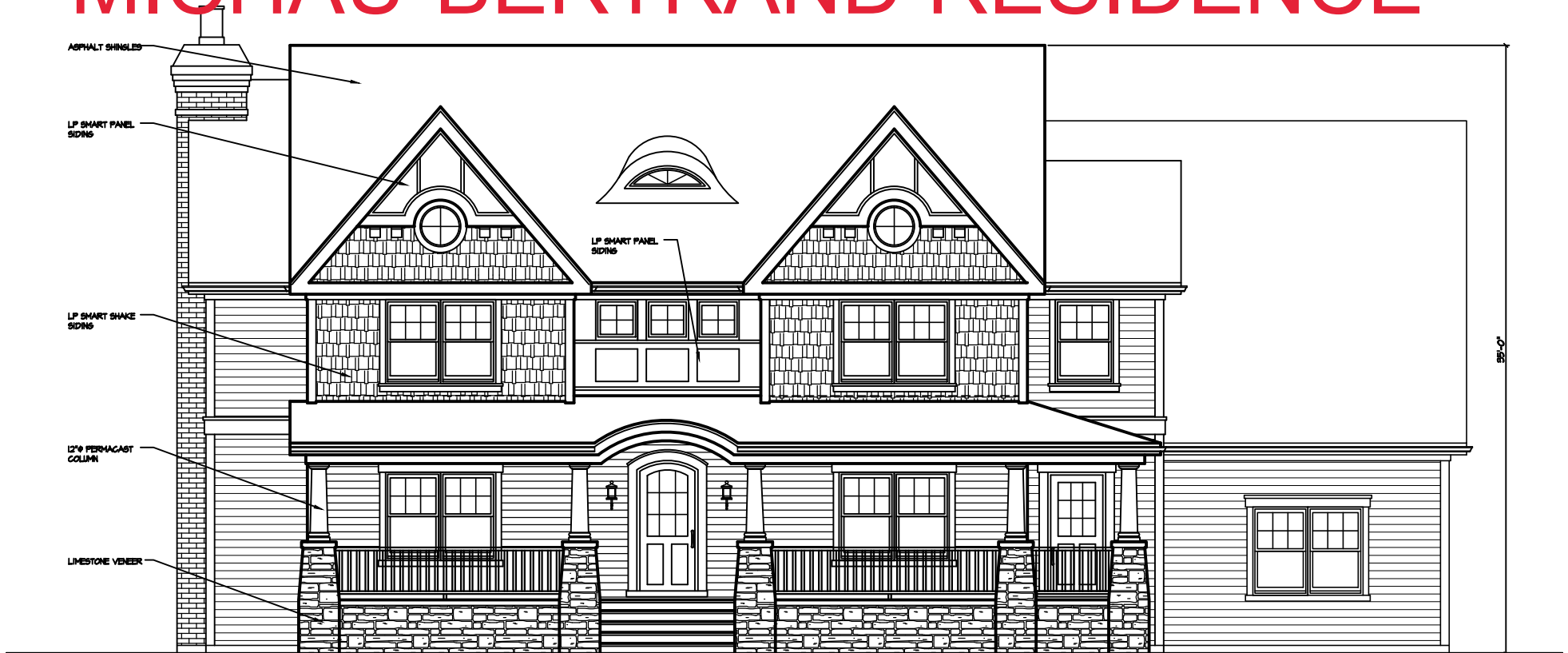


**RECEIVED**

By Christopher Gruba at 5:08 pm, Apr 28, 2021

FRONT (WEST FACADE)

# FORMERLY APPROVED PLANS FOR MICHAU-BERTRAND RESIDENCE



SOUTH ELEVATION - BOWEN STREET



FORMERLY APPROVED PLANS FOR  
MICHAU-BERTRAND RESIDENCE



**RECEIVED**

*By Christopher Gruba at 5:09 pm, Apr 28, 2021*

REAR (EAST FACADE)



FORMERLY APPROVED PLANS FOR  
MICHAU-BERTRAND RESIDENCE

**RECEIVED**

*By Christopher Gruba at 5:10 pm, Apr 28, 2021*

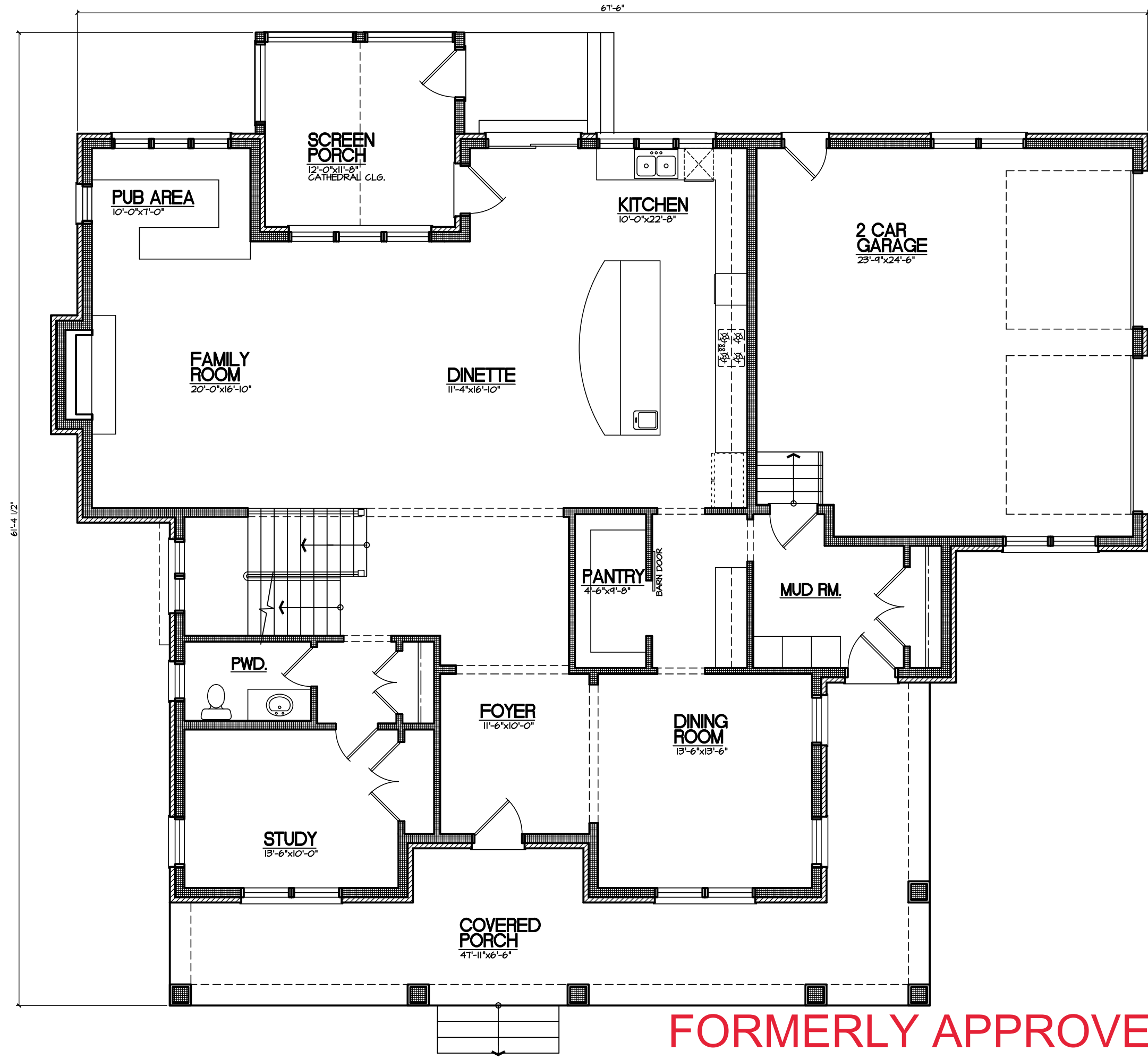
SIDE (NORTH FACADE)



FORMERLY APPROVED PLANS FOR  
MICHAU-BERTRAND RESIDENCE

REC 2.8.21

FIRST FLOOR



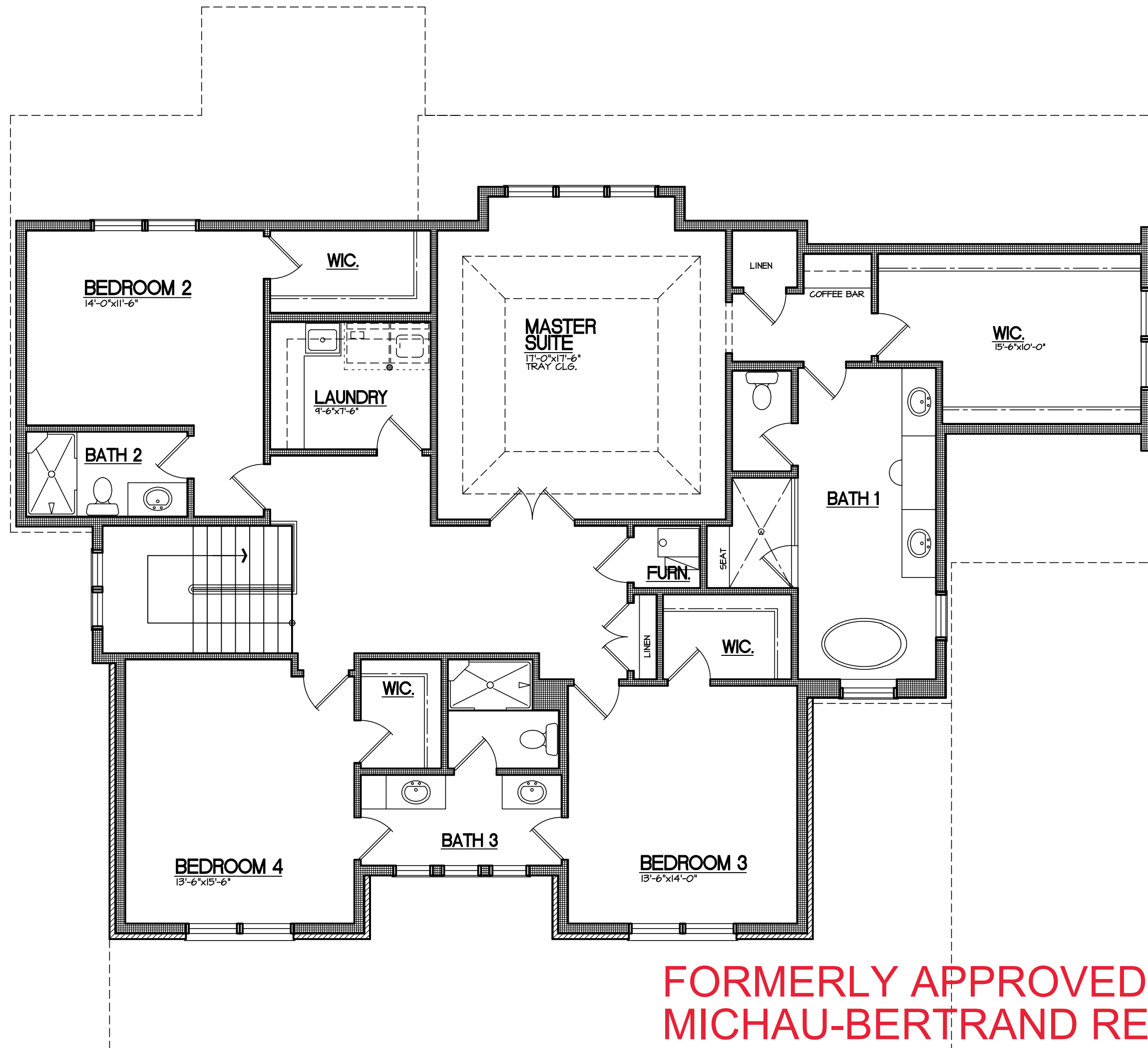
FORMERLY APPROVED PLANS FOR  
MICHAU-BERTRAND RESIDENCE

FIRST FLOOR PLAN - 2,017 SF  
GARAGE - 628 SF  
F.A.R. - 2,645 SF (2,645 ALLOW)  
TOTAL LIVING AREA - 4,091 SF

1/4" = 1'-0"

REC 2.8.21

SECOND FLOOR



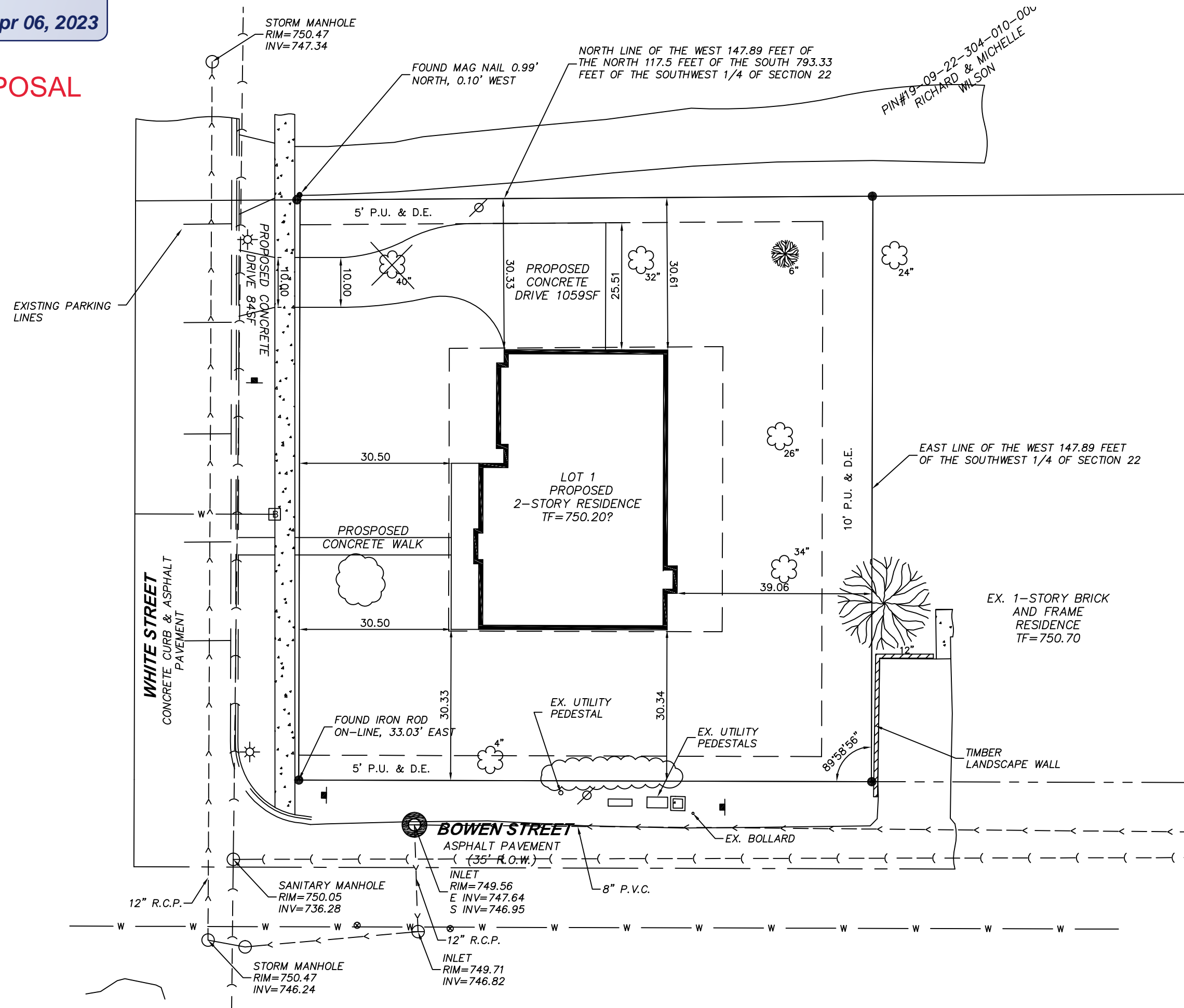
FORMERLY APPROVED PLANS FOR  
MICHAU-BERTRAND RESIDENCE

SECOND FLOOR PLAN - 2,074 SF

1/4" = 1'-0"

***By aduffin at 10:25 am, Apr 06, 2023***


## CURRENT PROPOSAL

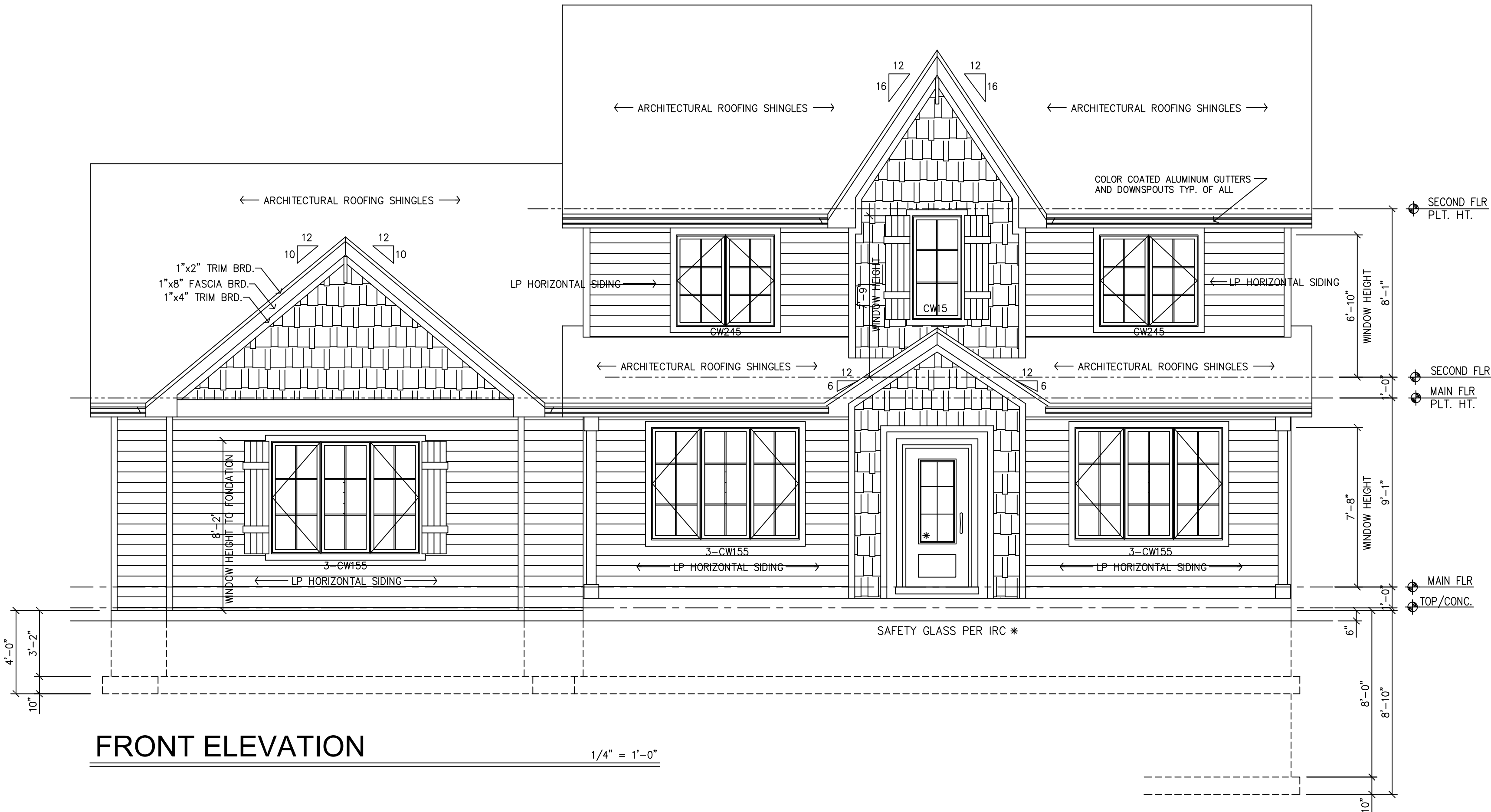
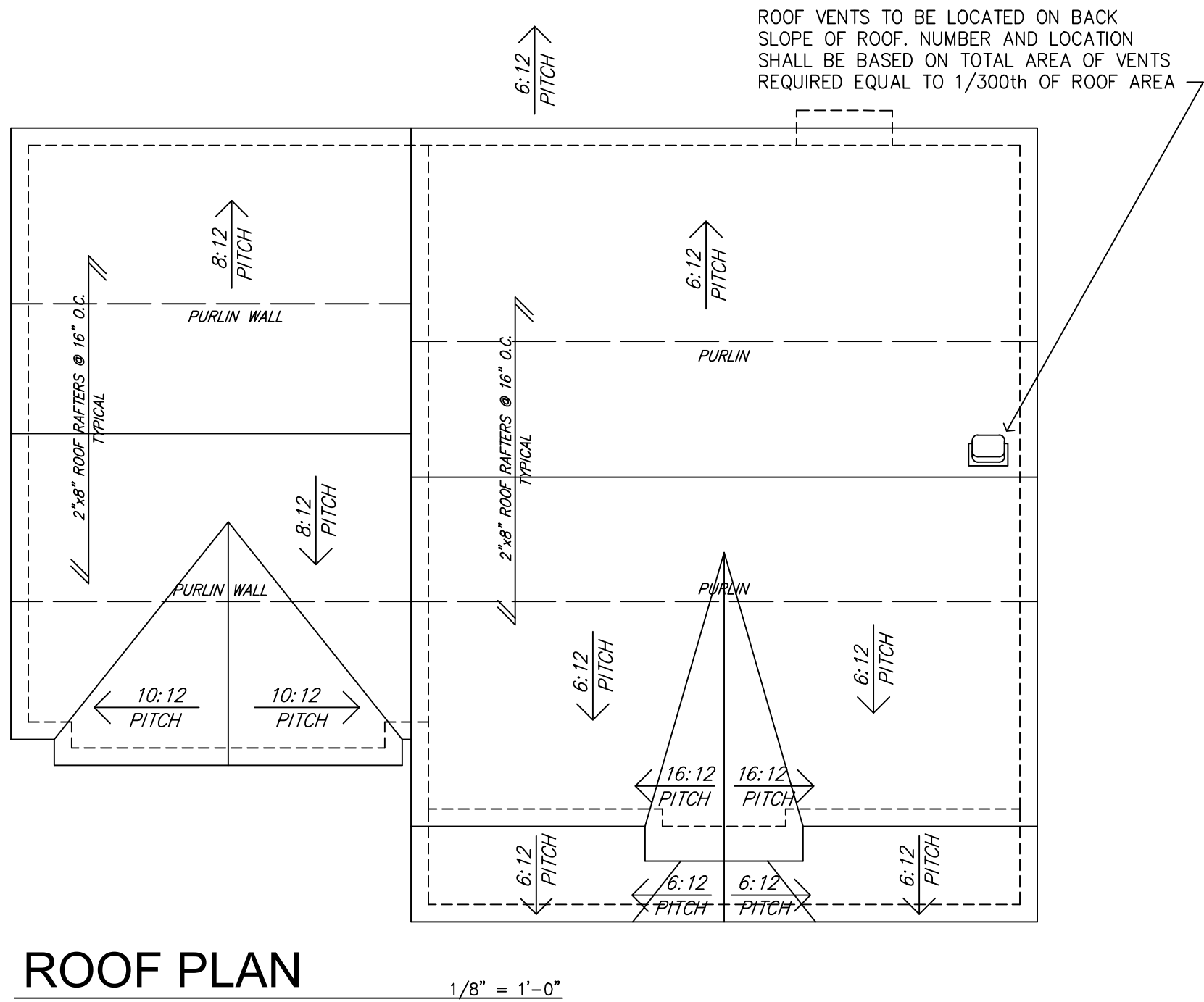




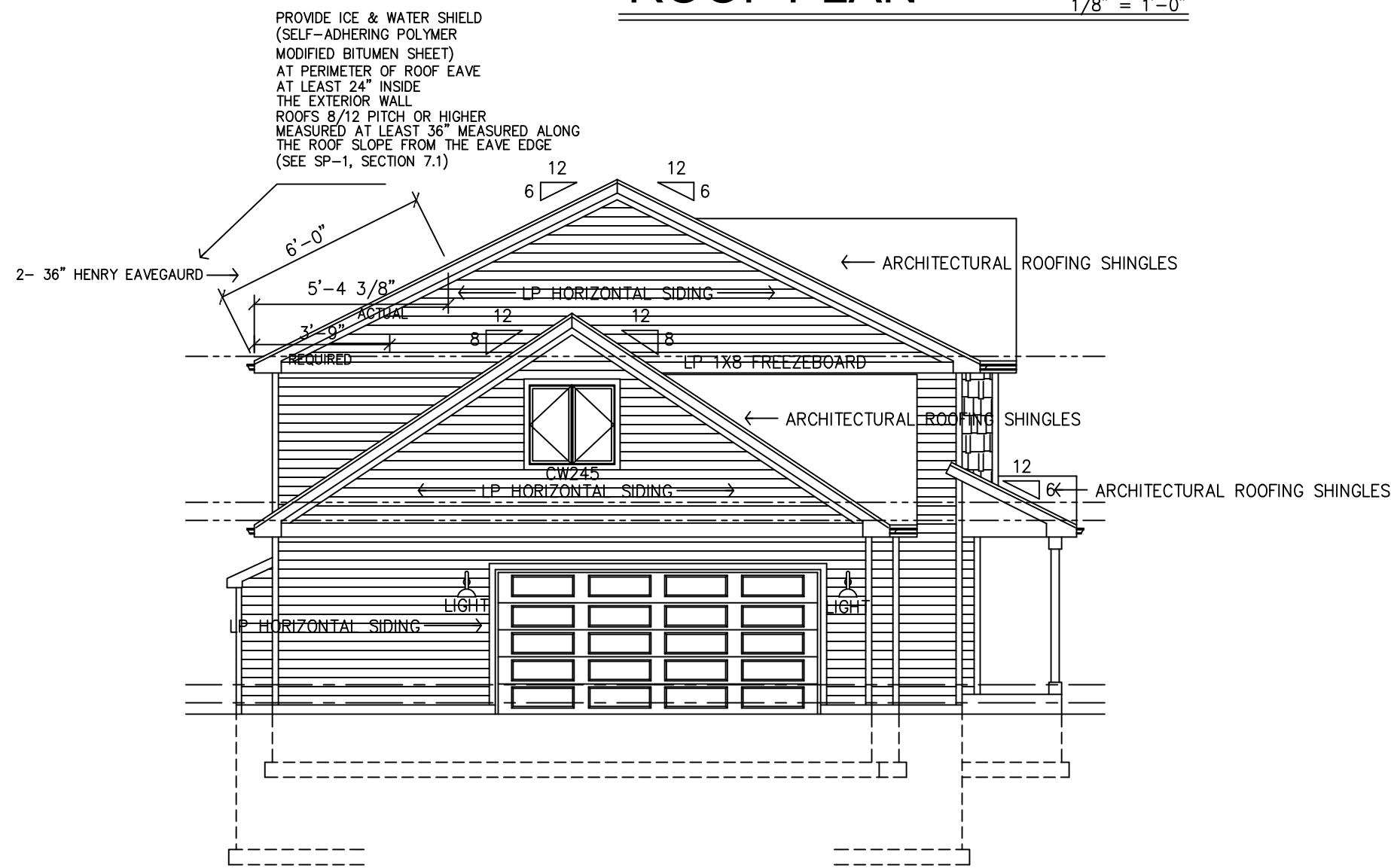
ELEVATION NOTES

1. PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS.
2. PROVIDE DRIP CAPS AT ALL WINDOWS, DOORS AND RAKES.
3. WRAP EAVE RETURNS WITH RAIN GUTTER AND FLASH AS SHOWN.
4. FIREPLACE FLUES TO BE MIN. ( 2'-0" ) ABOVE ANY ROOF SURFACE WITHIN MIN. HORIZONTAL DISTANCE OF ( 10'-0" ).
5. WINDOW DESIGNATIONS INDICATES "PELLA" MANUFACTURED CLAD WINDOWS. COORDINATE WINDOW AND DOOR MFR. WITH OWNER FOR EXACT SIZES AND TYPES.
6. ALL BRICK WORK SHALL BE TYPICAL FACE BRICK, UNLESS OTHERWISE NOTED.
7. ALL SOLDIER AND ROWLOCK BRICK COURSE SHALL PROJECT 3/4" FROM FACE OF WALL UNLESS OTHERWISE NOTED.

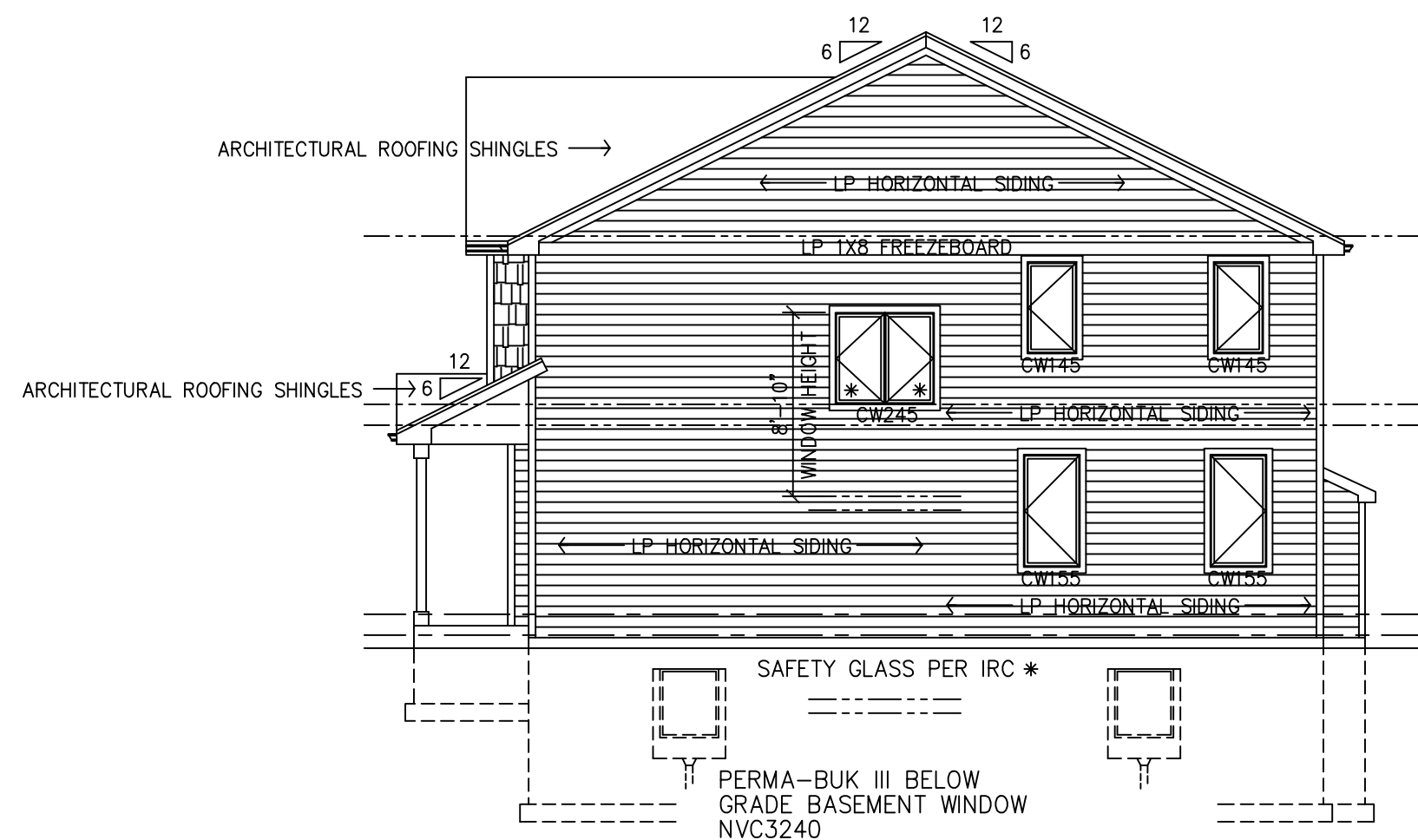
OPERABLE WINDOWS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, SHALL HAVE THE LOWEST PART OF THE WINDOW'S CLEAR OPENING A MINIMUM OF 24-INCHES ABOVE THE FINISHED FLOOR OF THE ROOM.  
(SEE D-2a, DETAIL 



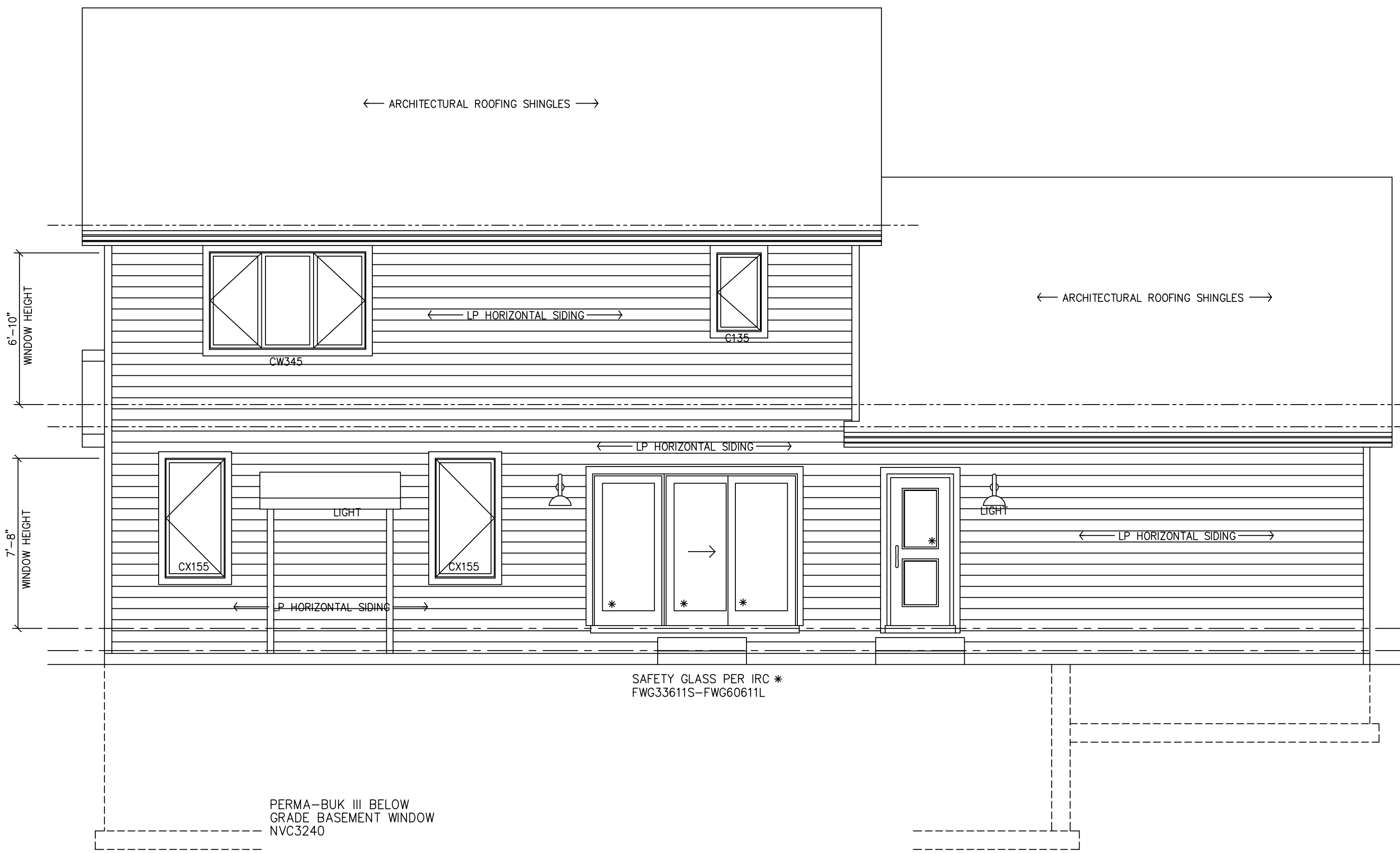
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



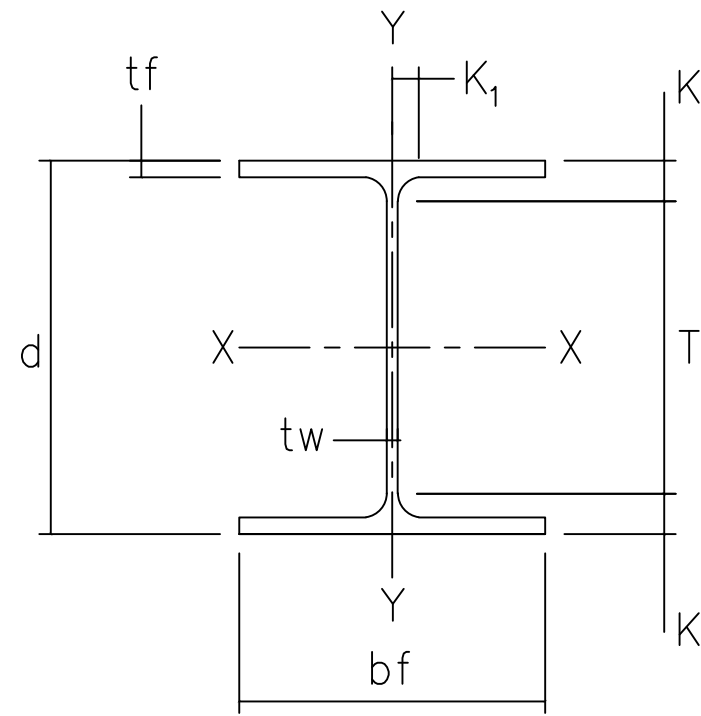
REAR ELEVATION

BASEMENT FLOOR = 1229 SF  
GARAGE = 695.0 SF

MAIN FLOOR = 1372 SF  
SECOND FLOOR = 1290 SF  
TOTAL = 2662 SF

REVISIONS		THE QUINLAN RESIDENCE	
		CAMELOT HOMES, INC.	
		21627 SCHOOLHOUSE ROAD, NEW LENOX, ILLINOIS, 60451	
		TEL: 815-462-0010	
		MARK@CAMELOT-HOMES.COM	
Copyright 2023: Camelot Homes, Inc. is the sole owner and reserves the rights to these plans and the ideas expressed therein. They may not be reproduced or copied in any form or assigned to a third party w/out written permission from Camelot Homes, Inc.		TWO CAR GARAGE ELEVATIONS "A" 9' WALLS ON FIRST FLOOR W/ FULL BASEMENT 99 N. WHITE STREET	
0255800		SHEET NUMBER	
SCALE: 1/4"=1'-0"		A-1a	
DATE: 2-17-2023		1 OF 9	
CADD NO.: 34103			





STEEL BEAM TABLE

DESIGNATION	AREA A	DEPTH d	WEB		FLANGE		DISTANCE		
			THICKNESS tw	tw 2	WIDTH bf	THICKNESS tf	T	K	K <sub>1</sub>
	IN. <sup>2</sup>	IN.	IN.	IN.	IN.	IN.	IN.	IN.	IN.
W10x17	4.99	10.11	10 1/8	0.240	1/4	1/8	4.010	4	0.330
W10x22	6.49	10.17	10 1/8	0.240	1/4	1/8	5.750	5 3/4	0.360
W10x39	11.5	9.92	9 7/8	0.315	5/16	3/16	7.985	8	0.530

TABLE R403.5.6 (1)

CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (SQUARE FOOT)	0-1	2-3	4-5	6-7
<1500	30	45	60	75
1501-3000	45	60	75	90
3001-4500	60	75	90	105
4501-6000	75	90	105	120

WHOLE-HOUSE MECHANICAL VENTILATION				
CONDITIONED SQ. FTG.	BEDROOMS	FACTOR	REQUIRED	ACTUAL
3919.0	3	1.5	112.5 CFM	130+ CFM

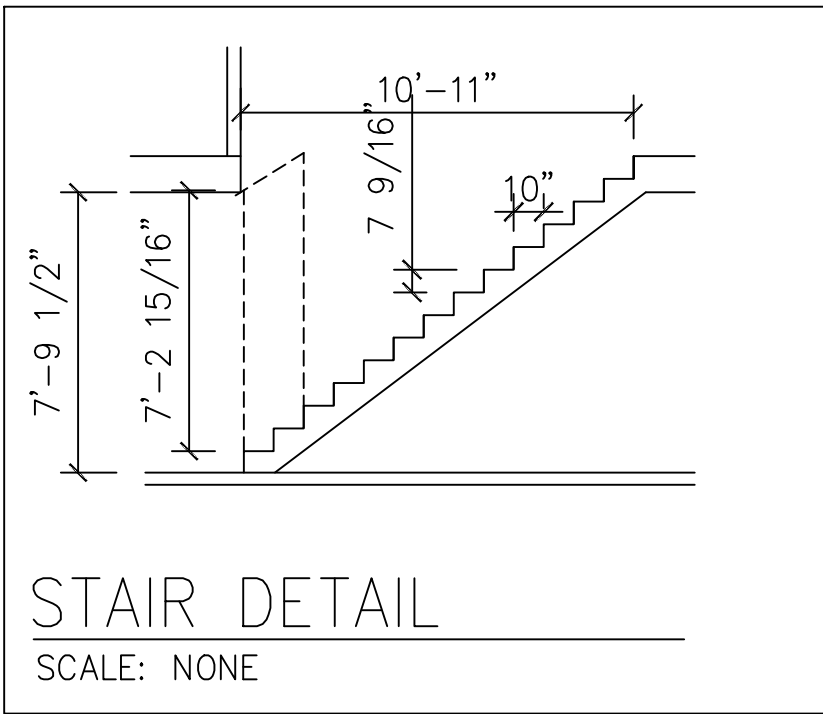
APRILAIRE 8126 TO BE INSTALLED ON FRESH AIR INTAKE DUCT CONNECTED TO THE RETURN DUCT ON THE FURNACE. SYSTEM TO BE PROGRAMMED TO INITIALIZE FOR 40 MINUTS FOR EVERY 1 HOUR CYCLE. VENTILATION CFM IS BASED ON MINIMUM SYSTEM STATIC PRESSURE OF .3 AND DUCT LENGTH OF 30 FT.

TABLE R403.5.6 (2)

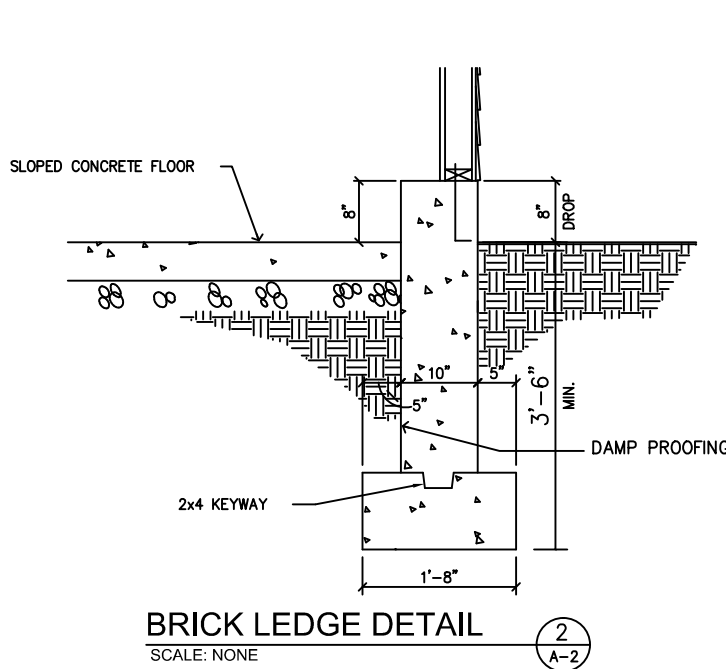
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS.

RUN- TIME PERCENTAGE IN EACH 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR	4	3	2	1.5	1.3	1

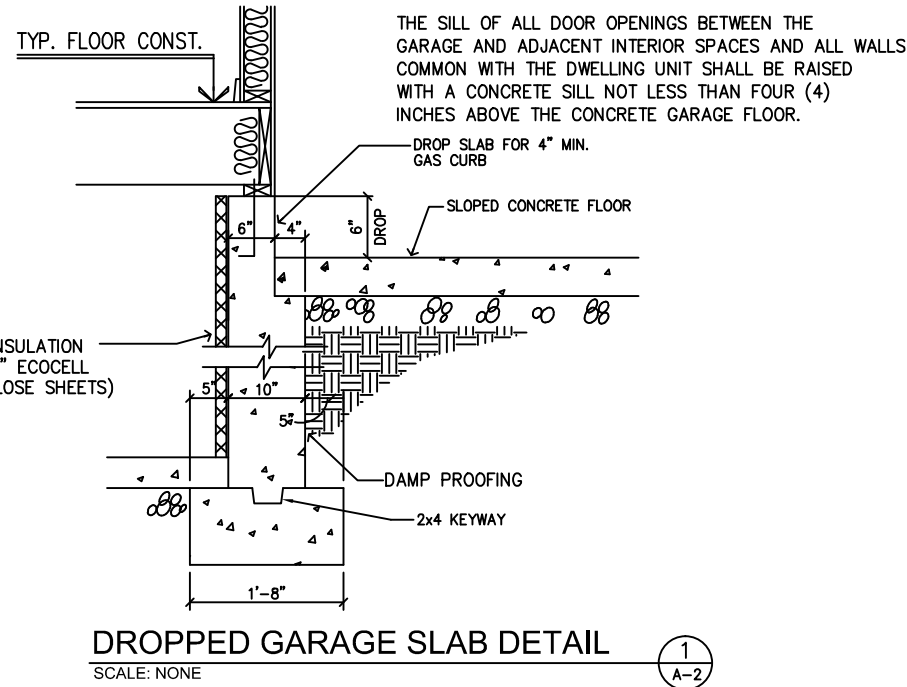
## WHOLE HOUSE MECHANICAL VENTILATION SYSTEM



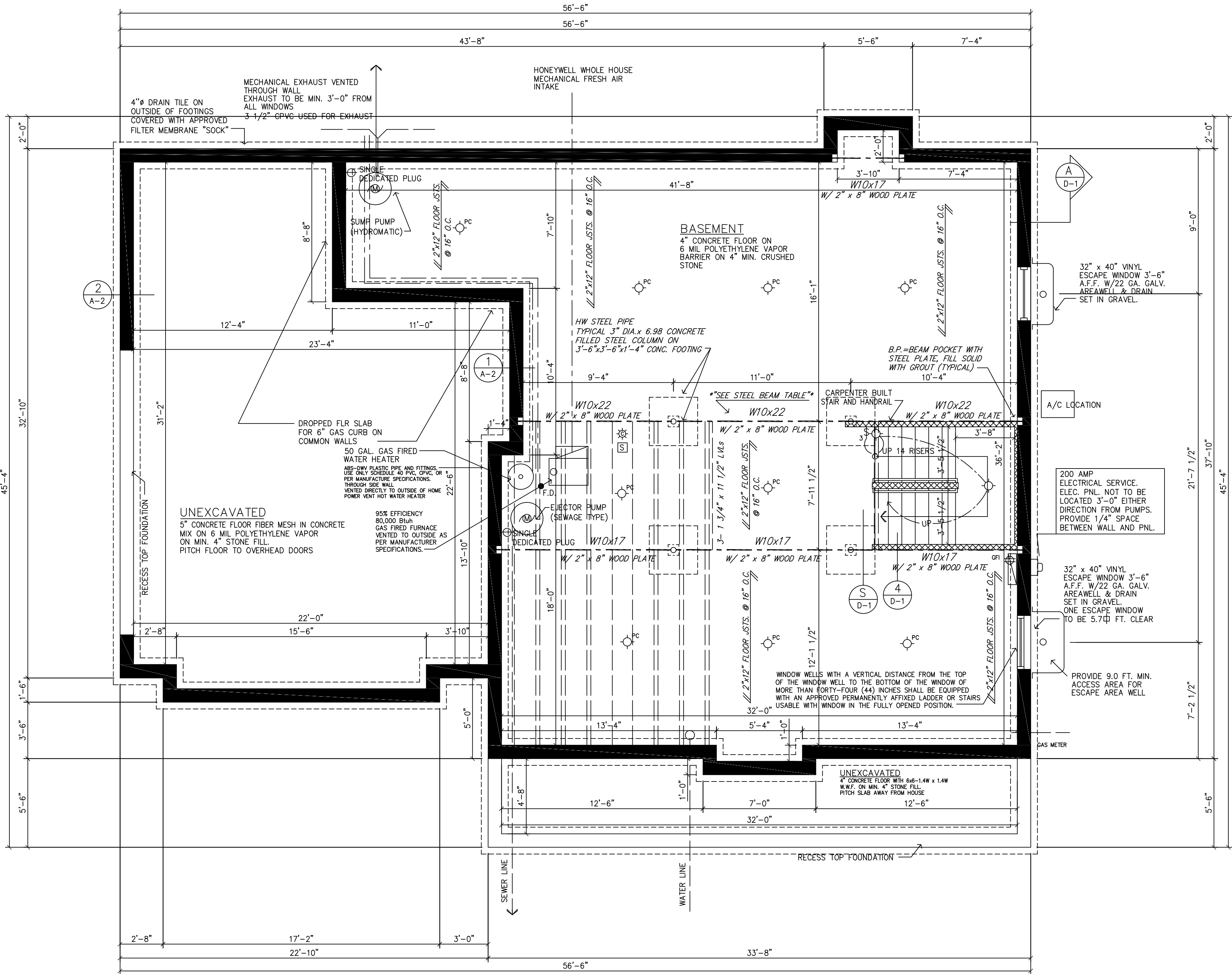
STAIR DETAIL  
SCALE: NONE



BRICK LEDGE DETAIL  
SCALE: NONE



DROPPED GARAGE SLAB DETAIL  
SCALE: NONE



BASEMENT VENTILATION		
SQ. FTG.	REQUIRED	ACTUAL
1229.0	24.6	13.0+ MECH.

## FULL BASEMENT PLAN

1/4" = 1'-0"

100% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES ARE TO BE HIGH-EFFICACY LAMPS.

REVISIONS

THE QUINLAN RESIDENCE

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ELEVATION "A"  
THREE CAR GARAGE  
FOUNDATION PLAN  
W/ FULL 9' BASEMENT  
99 N. WHITE STREET

0122900

SCALE: 1/4" = 1'-0"

DATE: 2-17-2023

CADD NO.: 34103

SHEET NUMBER

A-2a

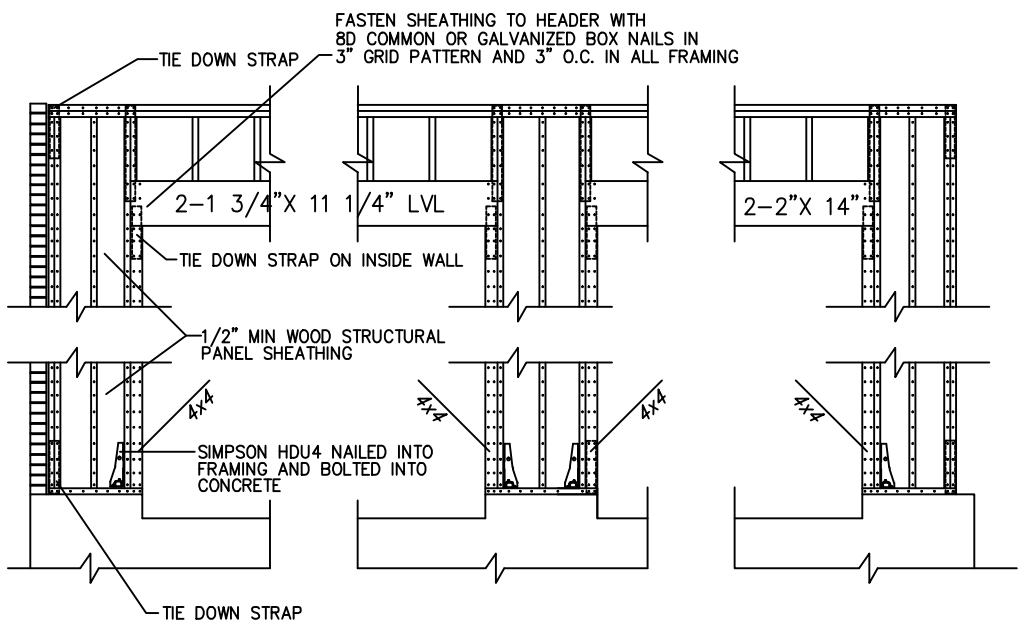
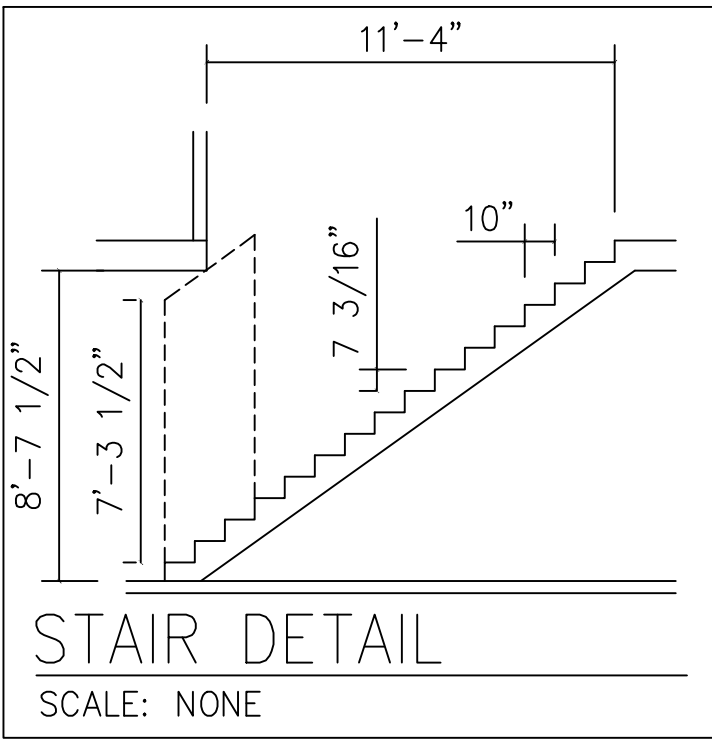
2 OF 9

WINDOW EGRESS SCHEDULE					
ROOMS	UNIT NO.	CLEAR OPENING		HEIGHT	NOTES
		SQ. FT.	WIDTH		
MASTER SUITE	CW145	7.3	20"	47 15/16"	
BEDROOM 2	CW145	7.3	20"	47 15/16"	
BEDROOM 3	CW145	7.3	20"	47 15/16"	
BASEMENT	NVW3240	6.5	25"	37 3/8"	
MINIMUM REQUIREMENTS		5.7	20"	24"	

- \* ALL UNDIMENSIONED PARTITIONS ARE 4 1/2" FINISHED ( 2"x4" STUDS WITH GYPSUM BOARD EACH SIDE. ) UNLESS OTHERWISE NOTED.
- \* ALL WALLS AT 45° ANGLE UNLESS NOTED OTHERWISE.
- \* HEADER:  
2-2"x12" WITH 1/2" x11" PLYWOOD PLATE
- \* DOUBLE JOISTS UNDER ALL PARALLEL WALLS ABOVE BEARING AND NONBEARING WALLS

LIGHT AND VENTILATION SCHEDULE											
ROOMS	TOTAL WALL AREA	TOTAL DOOR AREA	TOTAL WINDOW AREA	FLOOR AREA	LIGHT REQ'D	8% ACTUAL	VENT REQ'D	4% ACTUAL	MECH. REQ'D	ACTUAL	
KITCHEN		62.5	14.77	210.5	16.85	37.29	8.42	15.31			
FAMILY ROOM			49.4	315.0	25.2	40.0	12.6	36.4			
STUDY			38.4	149.8	12.0	30.0	6.0	18.2			
DINING ROOM			38.4	142.5	11.4	30.0	5.7	18.2			
MASTER SUITE			31.0	249.0	19.9	24.0	10.0	14.6			
BEDROOM 2			20.8	147.8	11.8	16.0	5.9	14.6			
BEDROOM 3			20.8	164.1	13.1	16.0	6.6	14.6			
MASTER BATH			6.8	89.5					100 CFM		
BATH 2				56.4					50 CFM		
POWDER ROOM				22.8					50 CFM		
LAUNDRY		35.6									
FOYER		20.0									
BASEMENT											
WALL (FRONT SIDE)	312.5										
WALL (LEFT SIDE)	293.75										
WALL (RIGHT SIDE)	293.75		17.8								
WALL (REAR SIDE)	312.5										
FIRST FLOOR											
WALL (FRONT SIDE)	456.0										
WALL (RIGHT SIDE)	396.4										
WALL (LEFT SIDE)	396.4										
WALL (REAR SIDE)	456.0										
SECOND FLOOR											
WALL (FRONT SIDE)	305.8										
WALL (RIGHT SIDE)	361.8										
WALL (LEFT SIDE)	361.8										
WALL (REAR SIDE)	305.8										

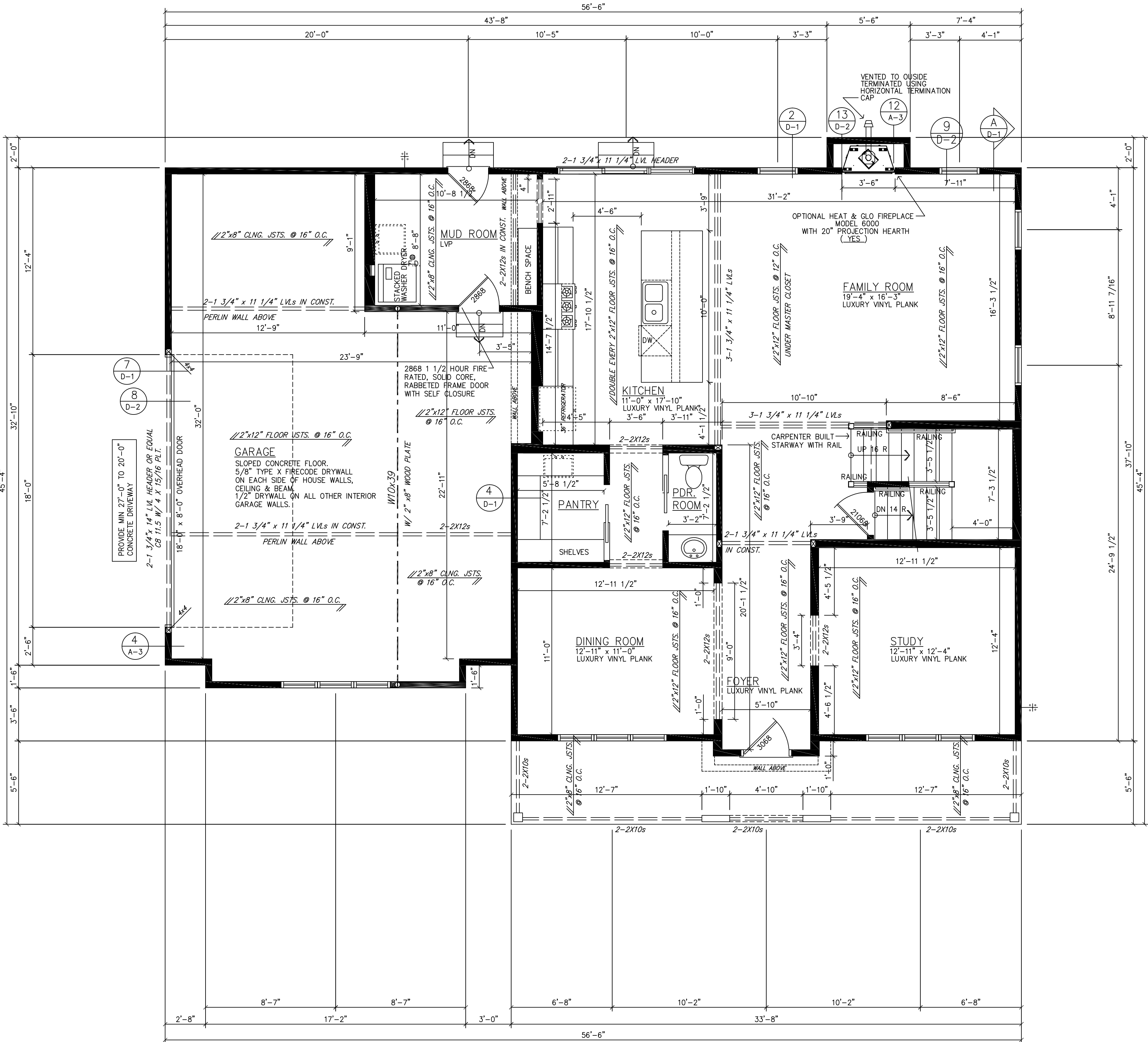
	LIGHT 2%		VENT 2%	
	REQ'D	ACTUAL	REQ'D	ACTUAL
BASEMENT	1228.9	24.6	13.6 + ARTIF.	24.6
			13.0 + MECH.	



GARAGE WALL BRACING  
SCALE: 1/4" = 1'-0"

## FIRST FLOOR PLAN

100% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES ARE TO BE HIGH-EFFICACY LAMPS.



REVISIONS		

THE QUINLAN RESIDENCE

**CAMELOT HOMES, INC.**  
21827 SCHOOLHOUSE ROAD, NEW LENOX, ILLINOIS, 60451  
TEL: 815-462-0010  
MARK@CAMELOT-HOMES.COM

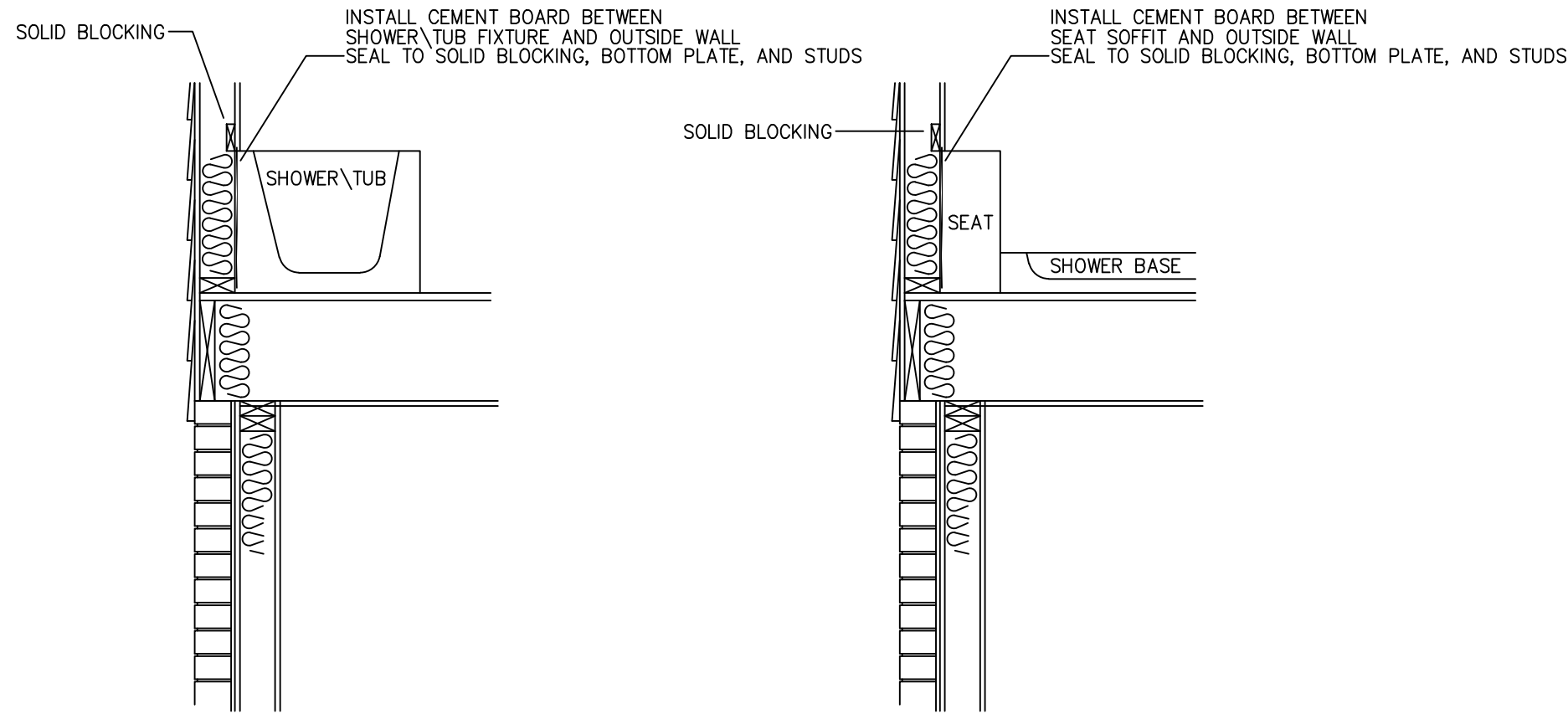
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ELEVATION "C"  
THREE CAR GARAGE  
MAIN FLOOR PLAN  
W/ 9' WALLS ON FIRST FLOOR  
99 N. WHITE STREET

0122500
SCALE: 1/4"=1'-0"
DATE: 2-17-2023
CADD NO.: 34103
SHEET NUMBER

**A-3a**  
3 OF 9

- \* ALL UNDIMENSIONED PARTITIONS ARE 4 1/2" FINISHED ( 2"x4" STUDS WITH GYPSUM BOARD EACH SIDE. ) UNLESS OTHERWISE NOTED.
- \* ALL WALLS AT 45° ANGLE UNLESS NOTED OTHERWISE.
- \* HEADER: 2-2"x12" WITH 1/2" x11" PLYWOOD PLATE
- \* DOUBLE JOISTS UNDER ALL PARALLEL WALLS ABOVE BEARING AND NONBEARING WALLS



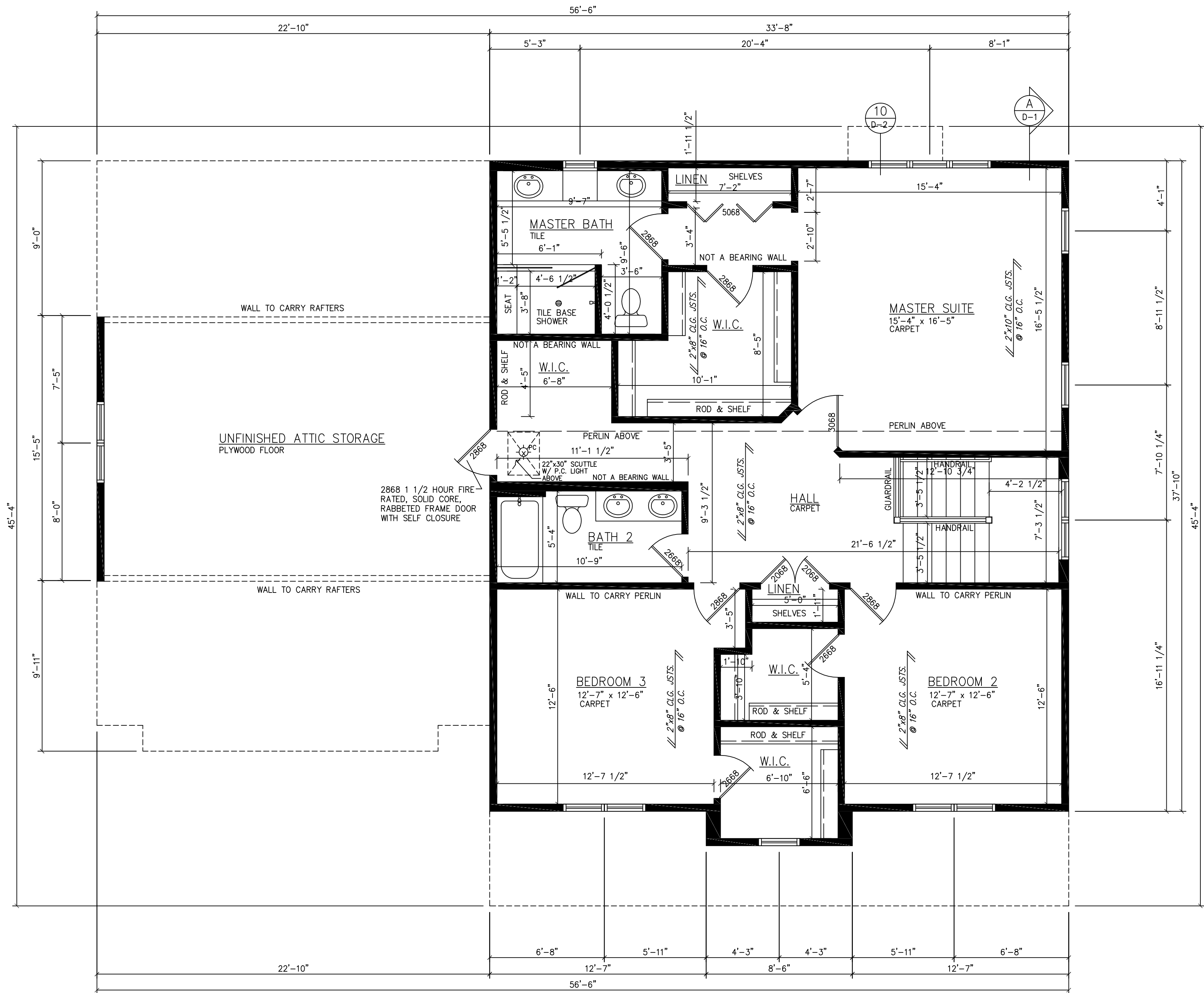
### AIR BARRIER BATH DETAIL

SCALE: NONE

NOTES:

DETAIL APPLIES TO ANY SOAKER TUBS, SHOWER\TUB, SHOWER BASES, OR SOFFITS LOCATED ALONG EXTERIOR WALLS.

BATT INSULATION MUST BE INSTALLED BEHIND FIXTURES PRIOR TO INSTALLATION OF THE TYVEK AIR BARRIER AND FIXTURE.



### SECOND FLOOR PLAN

1/4" = 1'-0"

REVISIONS

#### THE QUINLAN RESIDENCE

#### CAMELOT HOMES, INC.

21627 SCHOOLHOUSE ROAD, NEW LENOX, ILLINOIS, 60451  
TEL: 815-462-0010 MARK@CAMELOT-HOMES.COM

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ELEVATION "C"  
THREE CAR GARAGE  
SECOND FLOOR PLAN  
(9' WALLS ON FIRST FLOOR)  
99 N. WHITE STREET

0133300  
SCALE: 1/4"=1'-0"  
DATE: 2-17-2023  
CADD NO.: 34103  
SHEET NUMBER

A-4a



SURVEYORS CERTIFICATE:

STATE OF ILLINOIS }  
COUNTY OF WILL } SS

I, BRIAN MALONE, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ILLINOIS, DO HEREBY CERTIFY THAT UNDER THE DIRECTION OF THE OWNER THEREOF, I HAVE SURVEYED, SUBDIVIDED AND PLATTED SAID PROPERTY INTO LOTS AND STREETS ALL OF WHICH IS REPRESENTED ON THE PLAT HEREON DRAWN, THAT PART OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

BEING A RESUBDIVISION OF THE WEST 147.89 FEET OF THE NORTH 117.5 FEET OF THE SOUTH 793.33 FEET OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE INDIAN BOUNDARY LINE, IN WILL COUNTY, ILLINOIS.

I DO FURTHER CERTIFY THAT:

1. THE ACCOMPANYING PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE SAID SURVEY AND SUBDIVISION AS MADE BY ME.
2. THIS IS TO CERTIFY THAT THE PARCELS INCLUDED IN THIS PLAT OF SUBDIVISION ARE NOT LOCATED IN THE SPECIAL FLOOD HAZARD AREA IDENTIFIED FOR THE VILLAGE OF FRANKFORT, ILLINOIS, BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE FLOOD INSURANCE RATE MAP, PANEL NO. 171970020130, EFFECTIVE DATE 2/15/19.
3. THE PROPERTY OR PLAT IS SITUATED WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF FRANKFORT.
4. TO THE BEST OF OUR KNOWLEDGE, ALL REGULATIONS ENACTED BY THE VILLAGE OF FRANKFORT HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.
5. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL.

DATED AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

REGISTERED ILLINOIS LAND SURVEYOR \_\_\_\_\_



COMMONWEALTH EDISON & AMERITECH EASEMENT PROVISIONS

AN EASEMENT FOR SERVING THE SUBDIVISION & OTHER PROPERTY WITH ELECTRIC AND COMMUNICATION SERVICE IS HEREBY RESERVED FOR AND GRANTED TO:

COMMONWEALTH EDISON COMPANY  
AND AMERITECH ILLINOIS A.K.A. ILLINOIS BELL TELEPHONE COMPANY, GRANTEEES,

THEIR RESPECTIVE LICENSEES, SUCCESSORS, AND ASSIGNS, JOINTLY AND SEVERALLY, TO CONSTRUCT, OPERATE, REPAIR, MAINTAIN, MODIFY, RECONSTRUCT, REPLACE, SUPPLEMENT, RELOCATE, AND REMOVE, FROM TIME TO TIME, POLES, GUYS, ANCHORS, WRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS, EQUIPMENT CABINETS OR OTHER FACILITIES USED IN CONNECTION WITH OVERHEAD & UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, COMMUNICATIONS, SOUNDS AND SIGNALS IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) ON THE PLAT & MARKED "EASEMENT", "UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION), THE PROPERTY DESIGNATED IN THE DECLARATION OF CONDOMINIUM AND/OR ON THIS PLAT AS "COMMON ELEMENTS", AND THE PROPERTY DESIGNATED ON THE PLAT AS "COMMON AREA OR AREAS", AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHTS TO INSTALL REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE SURFACE OF EACH LOT & COMMON AREA OR AREAS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES, ROOTS AND SAPLINGS AND TO CLEAR OBSTRUCTIONS FROM THE SURFACE & SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEEES FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) MARKED "EASEMENT", "UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION) WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION & MAINTENANCE THEREOF. THE TERM "COMMON ELEMENTS" SHALL HAVE THE MEANING SET FORTH FOR SUCH TERM IN THE "CONDOMINIUM PROPERTY ACT", CHAPTER 765 ILCS 605/2, AS AMENDED FROM TIME TO TIME. THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE OR AS AN APPORTIONMENT TO THE SEPARATELY OWNED LOTS, PARCELS OR AREAS WITHIN THE PLANNED DEVELOPMENT, EVEN THOUGH SUCH BE OTHERWISE DESIGNATED ON THE PLAT BY TERMS SUCH AS "OUTLOTS", "COMMON ELEMENTS", "OPEN SPACE", "OPEN AREA", "COMMON GROUND", "PARKING", AND "COMMON AREA". THE TERM "COMMON AREA OR AREAS", AND THE TERM "COMMON ELEMENTS" INCLUDE THE REAL PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, BUT EXCLUDES REAL PROPERTY PHYSICALLY OCCUPIED BY A BUILDING, SERVICE BUSINESS DISTRICT OR STRUCTURES SUCH AS A POOL, RETENTION POND OR MECHANICAL EQUIPMENT. RELOCATION OF FACILITIES WILL BE DONE BY GRANTEEES AT COST OF THE GRANTOR/LOT OWNER, UPON WRITTEN REQUEST.

NORTHERN ILLINOIS GAS COMPANY EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED AND GRANTED TO:  
NORTHERN ILLINOIS GAS COMPANY

ITS SUCCESSORS AND ASSIGNS, IN ALL PLATTED "EASEMENT" AREAS, STREETS, ALLEYS, OTHER PUBLIC WAYS AND PLACES SHOWN ON THIS PLAT, SAID EASEMENT TO BE FOR THE INSTALLATION, MAINTENANCE, RELOCATION, RENEWAL AND REMOVAL OF GAS MAINS AND APPURTENANCES FOR THE PURPOSE OF SERVING ALL AREAS SHOWN ON THIS PLAT AS WELL AS ANY OTHER PROPERTY, WHETHER OR NOT CONTIGUOUS THERETO. NO BUILDINGS OR OTHER STRUCTURES SHALL BE CONSTRUCTED OR ERECTED IN ANY SUCH "EASEMENT" AREAS, STREETS, ALLEYS, OR OTHER PUBLIC WAYS OR PLACES NOR SHALL ANY OTHER USE BE MADE THEREOF WHICH WILL INTERFERE WITH THE EASEMENTS RESERVED AND GRANTED HEREBY.

VILLAGE OF FRANKFORT EASEMENT PROVISIONS

A PERPETUAL EASEMENT IS HEREBY GRANTED TO THE VILLAGE OF FRANKFORT, A MUNICIPAL CORPORATION OF ILLINOIS, ITS SUCCESSORS AND ASSIGNS, FOR THE FULL AND FREE RIGHT AND AUTHORITY TO INSTALL, CONSTRUCT, AND OTHERWISE ESTABLISH, RELOCATE, REMOVE, RENEW, REPLACE, OPERATE, INSPECT, REPAIR AND MAINTAIN WATER MAINS, FIRE HYDRANTS, VALVES, & WATER SERVICE FACILITIES, SANITARY SEWER PIPES, MANHOLES, AND SEWER CONNECTIONS, STORM SEWER PIPES, MANHOLES, INLETS, STORM WATER DETENTION AND STORM SEWER SERVICE CONNECTIONS, ELECTRIC TRANSMISSION AND DISTRIBUTION WIRES AND CABLES, COMMUNITY ANTENNA TELEVISION SYSTEMS, AND SUCH OTHER APPURTENANCES AND FACILITIES AS MAY BE NECESSARY OR CONVENIENTLY RELATED TO SAID WATER MAINS, SANITARY SEWER PIPES, STORM SEWER PIPES, STORM WATER DETENTION, ELECTRIC TRANSMISSION AND DISTRIBUTION WIRES AND CABLES, COMMUNITY ANTENNA TELEVISION SYSTEM, IN, ON, UPON, OVER, THROUGH, ACROSS, AND UNDER ALL OF THAT REAL ESTATE HEREON DESCRIBED AND DESIGNATED AS WITHIN PUBLIC UTILITY AND DRAINAGE EASEMENTS. SAID EASEMENTS BEING DESIGNATED BY THE DASHED LINES AND DESIGNATIONS OF WIDTH.

ALL EASEMENT INDICATED AS PUBLIC UTILITY AND DRAINAGE EASEMENTS ON THE PLAT ARE RESERVED FOR AND GRANTED TO THE VILLAGE OF FRANKFORT AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF FRANKFORT, INCLUDING BUT NOT LIMITED TO, AMERITECH TELEPHONE COMPANY, NICOR GAS COMPANY, COMMONWEALTH EDISON ELECTRIC COMPANY, MEDIA ONE CABLE TELEVISION COMPANY AND THEIR SUCCESSORS AND ASSIGNS, FOR PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE VARIOUS UTILITIES, TRANSMISSION AND DISTRIBUTION SYSTEMS INCLUDING STORM AND/OR SANITARY SEWERS, WATER MAINS, VALVE VAULTS, AND HYDRANTS TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE OF FRANKFORT, OVER, UPON, ALONG, UNDER, THROUGH SAID INDICATED EASEMENT, TOGETHER WITH RIGHT OF ACCESS ACROSS PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK; THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE TREES, SHRUBS, OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS AND OTHER UTILITIES. NO PERMANENT BUILDINGS, TREES OR OTHER STRUCTURES SHALL INTERFERE WITH THE AFORESAID USES OR RIGHTS. WHERE AN EASEMENT IS USED FOR BOTH SEWER AND/OR WATER MAINS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF FRANKFORT.

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)  
COUNTY OF WILL) SS

I, \_\_\_\_\_, COUNTY CLERK OF \_\_\_\_\_ COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, OR UN-PAID CURRENT GENERAL TAXES AGAINST ANY OF THE ESTATE DESCRIBED IN THE FORGOING CERTIFICATE.

GIVEN UNDER MY HAND AND SEAL AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D.

WILL COUNTY CLERK \_\_\_\_\_

COUNTY RECORDER CERTIFICATE

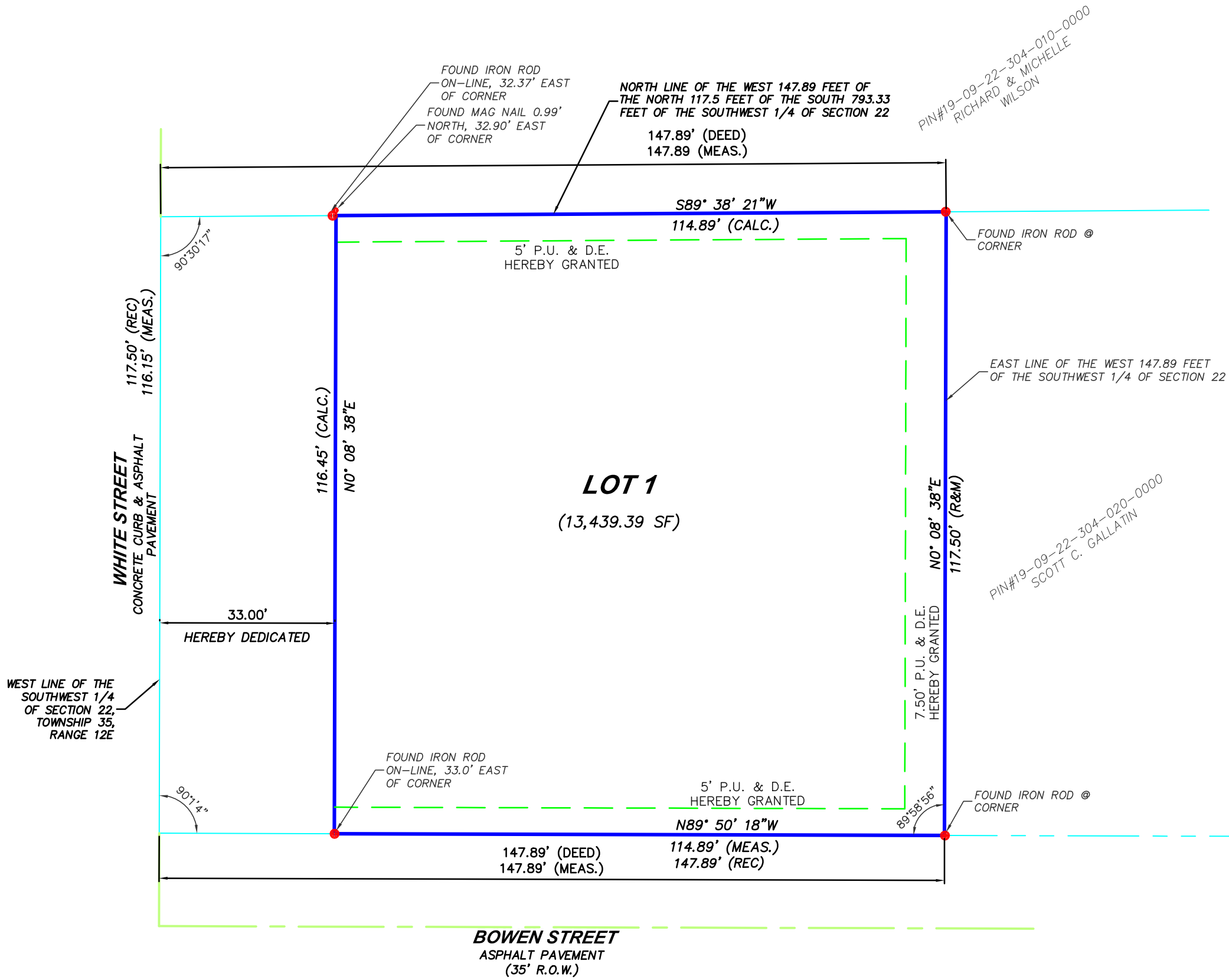
STATE OF ILLINOIS)  
COUNTY OF WILL) SS

THIS INSTRUMENT NO. \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDERS OFFICE OF WILL COUNTY, ILLINOIS, AFORESAID THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D. AT \_\_\_\_\_ O'CLOCK, \_\_\_\_M AND MICROFILMED.

WILL COUNTY RECORDER \_\_\_\_\_

BENJAMIN'S WAY SUBDIVISION

BEING A RESUBDIVISION OF THE WEST 147.89 FEET OF THE NORTH 117.5 FEET OF THE SOUTH 793.33 FEET OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE INDIAN BOUNDARY LINE, IN WILL COUNTY, ILLINOIS.



LEGEND

- FOUND IRON ROD
- FOUND IRON PIPE
- FOUND CROSS IN CONCRETE
- BOUNDARY LINE
- ADJACENT PROPERTY LINE
- ON-SITE STRUCTURE LINE
- OFF-SITE STRUCTURE LINE
- CENTER LINE
- RIGHT-OF-WAY LINE
- BUILDING SETBACK LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE

AREA OF SUBDIVISION

13,439 SQUARE FEET, 0.469 ACRES

LOT 1 PIN #

19-09-22-304-019-0000

THIS PLAT HAS BEEN PREPARED BY:

MARTIN M. ENGINEERING, INC.  
20123 OAKWOOD DRIVE  
MOKENA, IL 60448

PLEASE RETURN THE RECORDED PLAT TO THE ABOVE MAILING ADDRESS UPON RECORDING.

RECEIVED

By aduffin at 10:13 am, Apr 21, 2023

ABBREVIATIONS

P.U. & D.E. PUBLIC UTILITY & DRAINAGE EASEMENT  
REC. RECORD MEASUREMENT  
MEAS. MEASURED MEASUREMENT

NOTE

ALL EASEMENTS ARE HEREBY GRANTED PUBLIC UTILITY & DRAINAGE UNLESS OTHERWISE NOTED.

ALL EXTERIOR CORNERS OF THE SUBDIVISION SHALL BE SET PRIOR TO THE RECORDING OF THE FINAL PLAT. INTERIOR PROPERTY CORNERS SHALL BE MONUMENTED WITHIN ONE YEAR AFTER FLAT RECORDING AND/OR PRIOR TO THE CONVEYANCE OF ANY PARCEL WITHIN THE SUBDIVISION.

CERTIFICATE OF OWNERSHIP AND SCHOOL DISTRICT CERTIFICATE

STATE OF ILLINOIS)  
COUNTY OF WILL) SS

THIS IS TO CERTIFY THAT KIMBERLY ANN QUINLAN & JOHN MAURICE AARTS ARE THE OWNER(S) OF RECORD OF FEE SIMPLE TITLE TO THE REAL PROPERTY LEGALLY DESCRIBED IN THIS PLAT OF SUBDIVISION AND EASEMENT DEDICATION AND THAT HER/SHE/IT HAS CAUSED THE REAL PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN ON THIS PLAT.

TO THE BEST OF THE OWNER'S KNOWLEDGE, THE REAL PROPERTY LEGALLY DESCRIBED ON THIS PLAT OF SUBDIVISION AND EASEMENT DEDICATION LIES WITHIN THE FOLLOWING SCHOOL DISTRICTS:

FRANKFORT ELEMENTARY SCHOOL DISTRICT NO. 157-C  
LINCOLNWAY COMM. HIGH SCHOOL DISTRICT NO. 210  
JOLIET JUNIOR COLLEGE COMMUNITY COLLEGE DISTRICT 525

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

BY: \_\_\_\_\_ KIMBERLY ANN QUINLAN

BY: \_\_\_\_\_ JOHN MAURICE AARTS

NOTARY PUBLIC CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF WILL ) SS

THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DOES CERTIFY THAT KIMBERLY ANN QUINLAN & JOHN MAURICE AARTS, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE SIGNED AND DELIVERED THE SAID INSTRUMENT UNDER HIS/HER OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES SET FORTH IN THE INSTRUMENT.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_, (SEAL)

NOTARY PUBLIC

VILLAGE BOARD APPROVAL

STATE OF ILLINOIS)  
COUNTY OF WILL) SS

APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, COUNTY OF WILL, STATE OF ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D.

BY: \_\_\_\_\_ VILLAGE PRESIDENT (SEAL)

ATTEST: \_\_\_\_\_ VILLAGE CLERK

PLANNING COMMISSION CERTIFICATE

STATE OF ILLINOIS)  
COUNTY OF WILL) SS

I, \_\_\_\_\_, CHAIRMAN OF THE PLANNING COMMISSION OF THE VILLAGE OF FRANKFORT, COUNTY OF WILL, STATE OF ILLINOIS, HEREBY CERTIFY THAT THE SAID COMMISSION HAS DULY APPROVED THE FINAL PLAT OF BENJAMIN'S WAY SUBDIVISION ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIRMAN \_\_\_\_\_

SECRETARY \_\_\_\_\_

OWNER & DESIGN ENGINEER'S CERTIFICATE AS TO DRAINAGE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE PLANNED CONSTRUCTION ON THE REAL PROPERTY DESCRIBED ON THIS PLAT OF RESUBDIVISION AND EASEMENT DEDICATION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DRAINAGE TO THE ADJOINING PROPERTY BECAUSE OF THE PLANNED CONSTRUCTION ON THE SUBDIVIDED REAL PROPERTY.

By: \_\_\_\_\_ OWNER By: \_\_\_\_\_ REGISTERED ENGINEER

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

MARTIN M. Engineering, Inc.  
SITE DESIGN CIVIL ENGINEERS & SURVEYORS  
20123 OAKWOOD DRIVE  
MOKENA, ILLINOIS 60448  
VOICE: (708) 995-1323  
FAX: (708) 995-1384  
LICENSE NO. 184.005285-0010



ORDERED BY: \_\_\_\_\_ CAMELOT HOMES  
SCALE: 1"=20' JOB NO. 23-040; BENJAMIN'S WAY SUBDIVISION  
BASIS OF BEARINGS: ASSUMED  
REVISION DATE: 04/19/23-REVISED PER VILLAGE PLANNER COMMENTS



SITE LOCATION

NOT TO SCALE



**Project:** Snapp-Maida Residence  
**Meeting Type:** Public Hearing  
**Request:** Variation for residential fence height  
**Location:** 8563 Stone Creek  
**Applicant:** Jordan Snapp Maida  
**Prop. Owner:** Same  
**Representative:** Same  
**Staff Reviewer:** Christopher Gruba, Senior Planner

### Site Details

**Lot Size:** 0.71 acres (30,864) sq. ft.  
**PIN(s):** 19-09-35-308-011-0000  
**Existing Zoning:** R-2  
**Proposed Zoning:** N/A  
**Buildings / Lots:** 1 house w/ attached garage  
**House size:** 4,258 square feet

### Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Residential	Single-Family	R-2
<b>North</b>	Residential	Single-Family	R-2
<b>South</b>	Residential	Single-Family	R-2
<b>East</b>	Residential	Single-Family	R-2
<b>West</b>	Residential	Single-Family	R-2

Figure 1. Location Map



### Project Summary

The applicant, Jordan Snapp-Maida, seeks to construct a new 5' tall faux wrought iron fence along the secondary frontage of her property located at 8563 Stone Creek Boulevard. The house is a corner lot with frontage on both Stone Creek Boulevard and Blue Stone Court. The fence would be placed along the frontage along Blue Stone Court. Fences within the required 30' front yard setback must be decorative in nature, being at least 50% visibly transparent and 4' tall or less. The proposed fence would measure 5' tall for its entire length, requiring a variation from Article 7, Section G, Part 1 of the Zoning Ordinance.

### Attachments

1. Location Map, prepared by staff (VOF GIS) scale 1:4000 & 1:1,000
2. Variation Findings of Fact, submitted by applicant
3. Plat of Survey
4. Detail of proposed fence
5. Landscape Plan with location of fence noted

### Analysis

Staff offers the following comments regarding the variation request:

1. The property is an irregularly shaped corner lot, having frontage on both Stone Creek Boulevard and Blue Stone Court. The driveway access is from Blue Stone Court. The lot is conforming with regard to lot area, width and depth for the R-2 zone district.
2. The Zoning Ordinance requires that all fencing within a required 30' front yard setback must be decorative and 4' tall or under within the R-2 zone district. The applicant is proposing a decorative faux wrought iron fence in the front yard.
3. The proposed fence would be set back 10' from the front property line along Blue Stone Court in order to provide additional landscaping and screening of the fence from view of the street. The Landscape Plan illustrates 9 Giant Arborvitae, 3 Spruce Trees and 2 Redpointe Maples between the fence and the sidewalk. Additional landscaping is proposed along perimeter of the fence within the rear yard.
4. The lots with access to Blue Stone Court (where the fence would be placed) are almost entirely developed, with six homes that have driveway access to Blue Stone Court. As such, the fence would only be primarily noticeable to these 6 residents (including the applicant) and not the entire subdivision.

### ***Standards for Variations***

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For reference during the public hearing, Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request.

- a. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:
  1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
  2. That the plight of the owner is due to unique circumstances;
  3. That the variation, if granted, will not alter the essential character of the locality.
- b. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making this determination, whenever there are practical difficulties or hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:
  1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
  2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
  3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
  4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
  5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
  6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variation with either the exterior architectural appeal and functional plan of the structures already



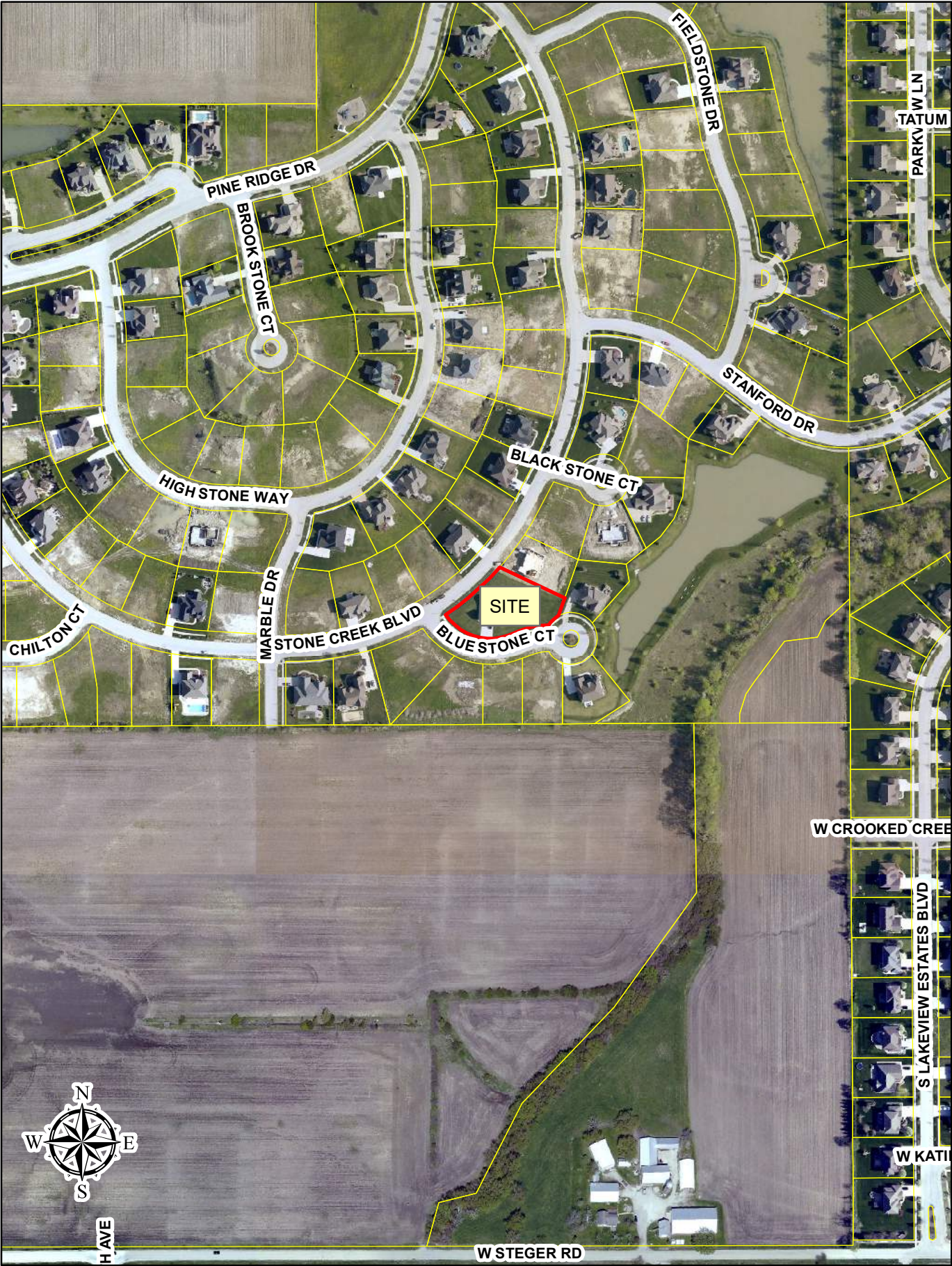
constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;

That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

***Affirmative Motions*** \_\_\_\_\_

1. Recommend the Village Board approve the variation from Article 7, Section G, Part 1 of the Zoning Ordinance to permit installation of a 5' tall decorative fence within the required 30' front yard setback, on the property located at 8563 Stone Creek Boulevard, in accordance with the reviewed plans and public testimony.

8563 Stone Creek - variance request



0 250 500 1,000 Feet



# 8563 Stone Creek - Fence Height Variation







Application for Plan Commission / Zoning Board of Appeals Review  
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

Following the current fence guidelines, we would lose a sizeable portion of our yard. In doing so, we would not be left with much usable space in our backyard.

2. That the plight of the owner is due to unique circumstances; and

Our property is oddly shaped, and our house sits at a strange angle on the property. Additionally, we are worried about the safety of our toddler with an aggressive dog living behind us (hence the desire for a 5 foot fence rather than a 4 foot fence).

3. That the variation, if granted, will not alter the essential character of the locality.

Our fence will match those of the other fenced homes in our neighborhood. Our fence plan met the strict aesthetic and functional guidelines set forth by our HOA board. Our landscaping plan also includes trees and bushes between the fence and the street along Blue Stone Court, reducing a portion of the view of the fence.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional "Standards of Variation."

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

Because of the way our house is angled on our oddly shaped lot, we would lose a good portion of our usable backyard space. Additionally, we would not be able to utilize our backyard due to the safety concern without a 5 foot fence.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

We have a uniquely shaped lot, unlike others in our area, that is preventing us from putting up the fence necessary to keep our child safe.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

We have no plans to move from this house, we are hoping it will be our forever home for our family.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

No one has this particular interest in our property.

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

We have met the strict aesthetic and functional guidelines set forth by our HOA board. If approved, our fence will match those of every other fenced home in our neighborhood.

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

We have met the strict aesthetic and functional guidelines set forth by our HOA board.  
If approved, our fence will match those of every other fenced home in our neighborhood.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

No, this fence will not impair an adequate supply of air to the adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood. If approved, our fence will match those of every other fenced home in our neighborhood.



RECEIVED

By Christopher Gruba at 8:43 am, Apr 19, 2023

# PLAT OF SURVEY

LOT 34 IN STONE CREEK PHASE TWO, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER AND THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 27, 2005 AS DOCUMENT NO. R2005-227899 AND CORRECTED BY CERTIFICATE OF CORRECTION RECORDED OCTOBER 23, 2006 AS DOCUMENT R2006-177065, IN WILL COUNTY, ILLINOIS.

## LEGEND

- FOUND IRON ROD
- FOUND IRON PIPE
- EASEMENT LINE
- EXISTING UTILITY POLE
- EXISTING B-BOX
- X — EXISTING FENCE

## SURFACE LEGEND

- EXISTING BITUMINOUS PAVEMENT
- EXISTING CONCRETE PAVEMENT
- EXISTING PAVERS
- EXISTING DECK/COVERED PORCH

SCALE: 1"=30'  
BASIS OF BEARING=APPROVED  
SUBDIVISION PLAT FOR STONE CREEK  
BENCHMARK= "X" MARKED ON BACK OF CURB  
AT THE EXTENSION OF THE NORTH PROPERTY  
LINE.  
ELEV.=759.31

**WINEMILLER & ASSOCIATES, INC.**  
PROFESSIONAL LAND SURVEYORS

3340 WEST 194th STREET, HOMERWOOD, ILLINOIS 60430  
PHONE (708) 799-1098 FAX (708) 799-1698

CLIENT: SLIGO FIVE CONSTRUCTION  
PROPERTY ADDRESS: 8563 STONE CREEK BLVD., FRANKFORT, IL  
JOB NO. 15-179  
DESCRIPTION: FINAL GRADING SURVEY LOT 34 - STONE CREEK

STATE OF ILLINOIS )  
COUNTY OF COOK )

I, SAMUEL R. WINEMILLER, CERTIFY THAT I HAVE SURVEYED THE PROPERTY DESCRIBED HEREON AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

HOMERWOOD, ILLINOIS, DECEMBER 27, 2016.

LICENSE EXPIRES 11/30/18  
PROFESSIONAL LAND SURVEYOR NO. 035-03233

COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCES AT ONCE. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, CONTRACT, TITLE POLICY, ZONING ORDINANCE, ETC.



BLUE STONE COURT  
CONCRETE CURB & ASPHALT  
PAVEMENT





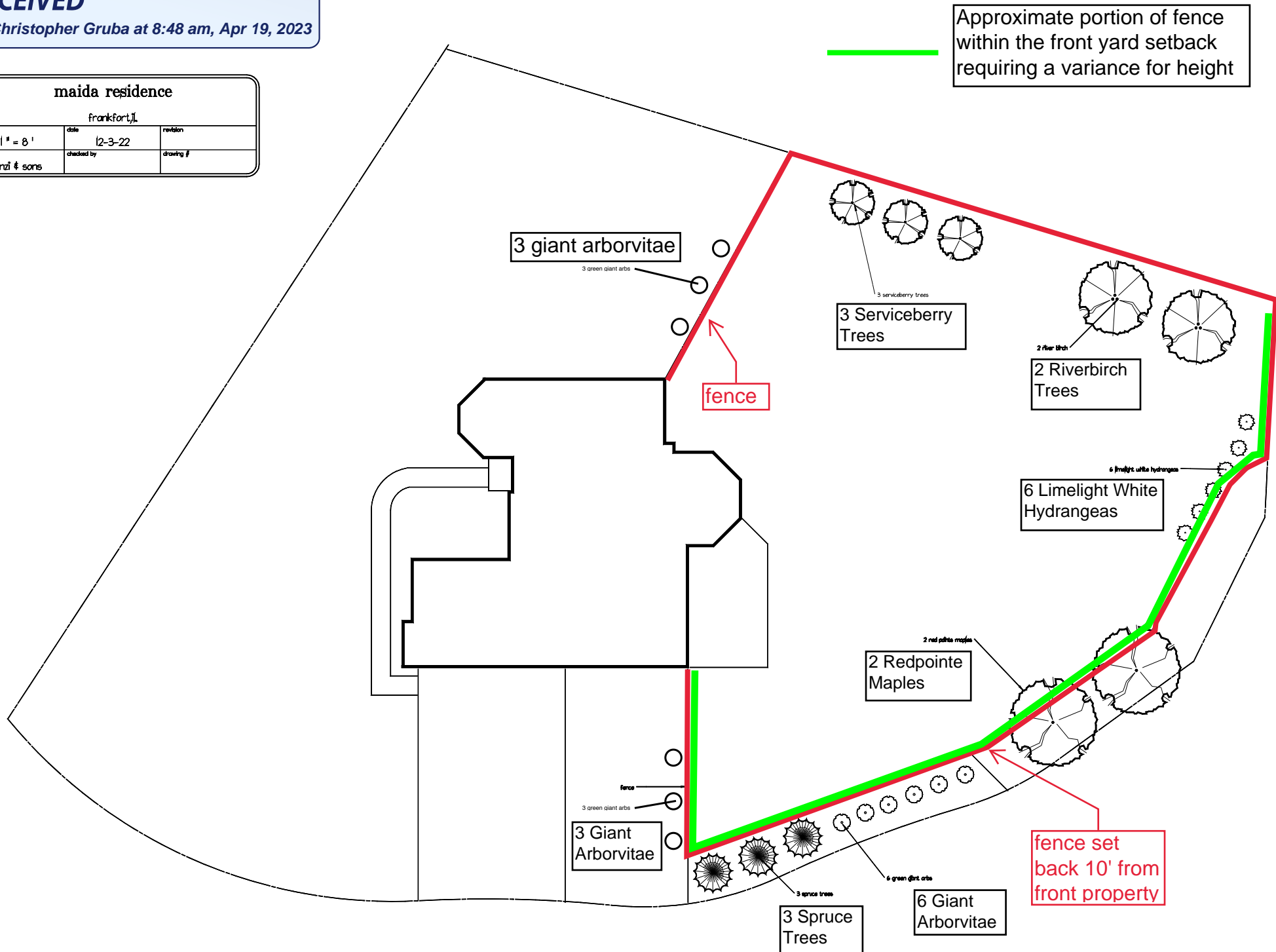


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By Christopher Gruba at 8:48 am, Apr 19, 2023

**maida residence**

client	frankfort, il		
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**Project:** Circle K Redevelopment  
**Meeting Type:** Public Hearing  
**Requests:** Proposed Annexation (via an Annexation Agreement); Zoning Map Amendment (Rezoning) from the default E-R Estate Residential District to B-2 Community Business District (currently Will County C-2 and C-3); Special Use Permits for (1) an automobile fueling station, (2) accessory liquor sales, and (3) extended hours of operation. The pending Annexation Agreement includes requests for variations related to building and fuel canopy setbacks, landscape yards, plant materials, signage, and cross-access.  
**Location:** 7654 W. Lincoln Highway  
**Applicant:** RDK Ventures, LLC  
**Prop. Owner:** RDK Ventures, LLC  
**Consultants:** Matt Adas, RLA, and Ryan Swanson, P.E., Arc Design Resources, Inc.  
**Representative:** Matt Adas, RLA, and Ryan Swanson, P.E., Arc Design Resources, Inc.  
**Report By:** Michael J. Schwarz, AICP

### Site Details

**Lot Size:** 1.665 acres (72,518 SF)  
**PIN(s):** 19-09-24-101-013-0000 and 19-09-24-101-016-0000  
**Existing Zoning:** Will County C-2 Local Commercial and C-3 General Commercial  
**Prop. Zoning:** B-2 Community Business District; Special Use Permits for an automobile fueling station, (2) accessory liquor sales, and (3) extended hours of operation.  
**Building(s) / Lot(s):** 1 building/1 lot  
**Adjacent Land Use Summary:**

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Commercial	General Commercial	Will County C-2,C-3
<b>North</b>	Vacant	General Commercial	Will County C-3
<b>South</b>	Vacant; Single-Family Detached Residential	Gen. Commercial; Single-Family Detached Residential	B-4;R-4 PUD
<b>East</b>	Commercial (Bank)	General Commercial	Will County C-3
<b>West</b>	Vacant	General Commercial	B2

Figure 1: Location Map



### Project Summary

The applicant, RDK Ventures, LLC has filed an application requesting annexation (via an Annexation Agreement); Zoning Map Amendment (Rezoning) from the default E-R Estate Residential District to the B-2 Community Business District (currently Will County C-2 and C-3); Special Use Permits for (1) an automobile fueling station, (2) accessory liquor sales, and (3) extended hours of operation. The pending Annexation Agreement includes requests for variations related to the front and rear building and fuel canopy setbacks, depth of a landscaped

transition yard (front), quantity of plant materials in the landscaped transition yard (front), signage, and cross-access, for the property located at 7654 W. Lincoln Highway, Frankfort, Illinois (PINs: 19-09-24-101-013-0000 and 19-09-24-101-016-0000). Approval of a single-lot Plat of Subdivision is also requested.

## **Property Background**

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The subject property is located at the northeast corner of U.S. Route 30/Lincoln Highway and Frankfort Square Road and is currently improved with a Circle K/Shell Gas Station and Convenience Store and an accessory drive-through car wash. The applicant is proposing to demolish the existing gas station/convenience store and accessory car wash and redevelop the site with a new 5,069 square-foot gas station/convenience store.

In late September 2021, the Village received the required notice of a Will County application concerning the subject property. Shortly thereafter staff researched Village records and learned that the Village currently provides water and sanitary sewer utilities to the property. Staff informed the Will County staff and the applicant that annexation to the Village is necessary to accommodate the proposed redevelopment. Section 51.004 of the Municipal Code (*Requirements for Utilizing the Village Public Utility System*) includes a provision that requires the annexation as follows:

*(F) Recognizing the Village Utility System currently serves property located outside of the village's corporate limits, this section shall not apply to those unincorporated properties currently interconnected to and utilizing the Village Utility System so long as the existing zoning and current actual use of the those properties as of the effective date of this section is not amended or in any way altered or changed.*

Ordinance No. 2570, which was passed on March 16, 2009, is the effective date of the aforementioned provision. The proposed redevelopment includes the removal of the existing drive-through car wash facility and the entire site plan as it exists today would be altered to accommodate the proposed redevelopment. Therefore, the proposed annexation, rezoning, special uses, variations, and Plat of Subdivision require Village approval given that the proposed redevelopment will occur after March 16, 2009 if approved.

The Plan Commission/Zoning Board of Appeals conducted a workshop session regarding the project on October 27, 2022 (refer to attached meeting minutes).

## **Attachments**

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1. 2020 Aerial Photograph from Village of Frankfort GIS
2. Site Photographs taken 10.21.22
3. ALTA/NSPS Land Title and Topographic Survey dated 4.27.20, received 9.23.22
4. Civil Engineering Plans last revised 4.7.23, received 4.10.23
  - o Cover Sheet
  - o General Notes
  - o SWPPP Plan
  - o SWPPP Plan
  - o Layout Plan
  - o Grading Plan
  - o Grading Details
  - o Drainage Plan
  - o Utility Plan
5. Landscape Plan last revised 4.7.23, received 4.10.23
6. Tree Preservation/Tree Removal Plan dated 10/06/21
7. Building Elevations dated 9/20/22, received 12.6.22
  - o Building Exterior Elevations
  - o Class C Column Finish

- Trash Enclosure Details
- 8. Exterior Sign Package dated 11.22.22, received 12.6.22
  - Site Plan
  - Storefront (South Elevation)
  - Storefront (East and West Elevations)
  - Canopy Signs
  - Mid Sign (Ground Sign)
  - Directional Signs
- 9. Evening Photo Example of Backlighting for red banding on canopy received 12.6.22
- 10. Photometric Plan dated 9.23.22, received 9.23.22
  - Isometric Plan of Exterior Light Fixtures received 10.21.22
  - Daytime and Evening Illumination Renderings received 10.21.22
  - Parking Lot, Canopy, Soffit, and Wall-Mounted Light Fixture Specifications received 10.21.22
- 11. Preliminary and Final Plat of Subdivision last revised 4.19.23, received 4.19.23
- 12. PC/ZBA Meeting Minutes of 10.27.22
- 13. Applicant's Responses to the Findings of Fact Standards

## Analysis

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In consideration of the request, staff offers the following points of discussion:

### Comprehensive Plan

1. The Future Land Use Map in the *Your Frankfort Your Future 2040 Comprehensive Plan* designates the subject property as "General Commercial".
2. On Page 72 in Chapter 7 (Economic Prosperity) of the *Your Frankfort Your Future 2040 Comprehensive Plan*, Goal 7.3 is to "Encourage and support appropriate infill development in commercial corridors." One of the stated policies on Page 70 is to "Improve the appeal of infill sites with targeted infrastructure and access improvements, and marketing efforts. For Frankfort, this may include annexation of currently unincorporated areas within the Route 30 East Corridor."
3. On Page 86 in Chapter 8 (Land Use) of the *Your Frankfort Your Future 2040 Comprehensive Plan*, one of the stated annexation priorities is the unincorporated properties in the Route 30 East Corridor between 84th Avenue on the west and Harlem Avenue on the East. The Plan states, "This corridor is the Village's front door, and incorporation would provide the Village with the ability to regulate the character and development in this corridor."

### Annexation

1. The subject property is contiguous to the Village of Frankfort boundary along its west and south roadway frontages.
2. The applicant requests approval of an annexation agreement which would memorialize the various zoning requests associated with the proposed redevelopment of the subject property. Annexation agreements typically are presented to the Committee-of-the-Whole for discussion following the Plan Commission/Zoning Board of Appeals review process. A public hearing on the terms of the annexation agreement would be required at a future Village Board meeting.

### Zoning / Special Uses

1. The applicant proposes to construct a 5,069 square-foot Circle K gas station/convenience store on the property located at 7654 W. Lincoln Highway. The existing gas station/convenience store and accessory car wash buildings would be demolished.
2. The subject property is 1.665 acres and is located at the northeast corner of Illinois Route 30/Lincoln Highway and Frankfort Square Road, which is presently in unincorporated Will County.
3. The property is zoned C-2 Local Commercial District (west parcel) and C-3 General Commercial District (east parcel) in Will County. Upon annexation, the applicant is requesting a Zoning Map Amendment (Rezoning) from the default E-R Estate Residential District to the B-2 Community Business District; Special Use Permits



for (1) an automobile fueling station, (2) accessory liquor sales, and (3) extended hours of operation (open 24 hours, 7 days per week). The pending Annexation Agreement would include requests for variations related to the front and rear building setbacks, depth of a landscaped transition yard (front), quantity of plant materials in the landscaped transition yard (front), signage, and cross-access.

4. The Village's Zoning Ordinance does not contain specific use standards for automobile fuel stations, though these types of businesses are classified as special uses.
5. The Village's Zoning Ordinance contains specific use standards for liquor sales and accessory liquor sales as follows:

**Part 25: Liquor Sales (all use categories)**

*(Am. Ord. 2643, passed 03.15. 10)*

- a. *In addition to being in compliance with all applicable zoning requirements, any establishment providing for the sale or consumption of alcoholic beverages shall also be subject to the regulations of the Village of Frankfort Code of Ordinances, Chapter 113 as amended from time to time.*
- b. *No special use permit shall be issued for the sale at retail of any alcoholic liquor within 100 feet of any church, school, other than an institution of higher learning, hospital, home for the aged or indigent persons or for veterans, their spouses or children or any military or naval station provided this prohibition shall not apply to restaurants or other establishments where the sale of alcoholic liquors is not the principal business.*
- c. *Any person, corporation or other entity that intends to provide alcoholic liquor for sale or consumption shall furnish proof of liquor liability insurance in accordance with Illinois State Statute.*
- d. *Evidence of violation of any use standard or condition of approval shall be grounds to initiate a reversion hearing to rescind zoning rights granted for the sale of liquor at the non-compliant location.*
- e. *In the event that the Liquor Commissioner revokes the liquor license of any individual, business or other entity, the Plan Commission shall initiate a public hearing to consider the reversion of zoning rights that permit the sale or consumption of alcoholic liquors at the offending location.*

**Part 26: Accessory Liquor Sales**

*(Am. Ord. 2643, passed 03.15. 10)*

- a. *The sale of alcoholic beverages must be a supplementary component of the business or operation and may not comprise the majority of the total revenues generated.*
  - b. *Retail liquor displays shall not exceed 10% of the gross floor area of the business.*
6. Chapter 113 (*Intoxicating Liquor*) of the Frankfort Municipal Code governs the sale of alcoholic beverages in the Village. It is staff's understanding that the applicant would be seeking a Class F-3 liquor license. Per the Code, this class is described as follows:

*(3) Class F-3 — Convenience store (carry-outs). Class F-3 licenses shall authorize the retail sale by convenience stores of alcoholic liquors in their original packages with seals unbroken for consumption at places other than upon the licensed premises. The consumption of alcoholic liquors upon such premises is expressly prohibited. For the purpose of this division, "convenience store" shall mean a retail establishment with a floor area of 5,000 square feet or less offering for sale a limited line of groceries and household items intended for the convenience of the neighborhood. Alcoholic liquors shall not occupy more than 10% of the floor area. Except in refrigerated areas, displays of merchandise for sale shall not exceed five feet in height.*

Chapter 113 includes the following definition of the term "Floor Area":

*FLOOR AREA. Of the area open to the general public inside a retail establishment, that portion which is designed and used exclusively for the display of merchandise for sale.*

Based on the above definition, the proposed Circle K gas station/convenience store has a gross floor area of 5,069 square feet, but the customer floor area is 3,247 square feet. The Code requires that a maximum of 10% of the customer floor area (in this case no more than 324 square feet) may be devoted to the display of alcoholic liquors. The applicant has indicated that the beverage cooler containing beer and other cold alcohol-based items is 301 square feet in area and the remaining non-refrigerated shelf space devoted to alcoholic beverages will be less than the remaining balance of 23 square feet, thus complying with the Code.

7. The applicant is requesting approval of a special use for extended hours of operation (open 24 hours, 7 days per week). The existing business located in unincorporated Will County is open 24 hours, 7 days per week.
8. There are slight differences between the Village and Will County Codes related to the hours for sale of alcohol.

Will County hours for the sale of alcohol are as follows:

- (1) Sundays, 10:00 a.m. until 1:00 a.m.;
- (2) Mondays through Thursdays, 6:00 a.m. until 1 :00 a.m. the following day;
- (3) Fridays and Saturdays, 6:00 a.m. until 2:00 a.m. the following day;
- (4) Christmas Eve, closing time shall be 12:00 midnight and on New Year's Eve, closing time shall be 3:00 a.m. on January 1; and
- (5) All establishments may remain open until 2:00 a.m. the day before a national holiday.

Section 113.36 (*Hours of Sales*) of the Frankfort Municipal Code is as follows:

*Note: The normal hours of operation for a business within the village are 7:00 a.m. until 11:00 p.m. Establishments with operating hours outside of these normal operating hours must be approved as a special use according to the regulations of Article 3, Section E of the Zoning Ordinance. (Excerpted from the Village of Frankfort Zoning Ordinance 2001, Article 6, Section C, Part 2, paragraph q, Hours of Operation.)*

*(A) No licensee shall keep open or allow his or her place of business to remain open or sell or offer for sale at retail, or offer to give away on any licensed premises, any alcoholic liquor in the village between the hours of 1:00 a.m. and 6:00 a.m. The sale of alcoholic liquors shall cease immediately at the aforesaid hour of 1:00 a.m.*

*(B) The Local Liquor Control Commissioner may, in his or her discretion, further reasonably restrict the above general hours during which any licensee may keep open or allow his or her place of business to remain open, or sell, offer for sale or give away any alcoholic liquor on any licensed premises when, in the Local Liquor Control Commissioner's judgment, a further restriction would be in the best interest of the public and the village and in furtherance of the general welfare and safety thereof. Any license so further restricted as to time shall, when issued, indicate on the face thereof the hours during which the licensee thereunder may keep open or allow his or her place of business to remain open as aforesaid.*

*(Ord. 1105, passed 12-5-83; Am. Ord. 2274, passed 4-3-06; Am. Ord. 2545, passed 12-1-08; Am. Ord. 2826, passed 1-7-13; Am. Ord. 2831, passed 2-19-13) Penalty, see§ 113.99*

#### **§ 113.37 CLOSING HOURS FOR LICENSED PREMISES.**

*(A) No member of the general public shall remain in or upon the licensed premises after the hour of 1:00 a.m. Should any person be found upon or leaving the licensed premises after the hour of 1:00 a.m., the village shall have the right to presume that such person was served alcoholic liquor after the hour of 1:00 a.m. and such presumption may be raised in any court in a proceeding for violation of the terms of this chapter or at any hearing concerning the revocation of the license issued to the licensee of the premises in question. Further, with regard to any license restricted by the Local Liquor Control Commissioner to a closing time different than the general hours set forth in § 113.36 hereof, the above and foregoing provisions of this section shall apply and shall be construed to mean the closing time indicated on said license which is so further restricted as to time.*

*(B) Nothing in division (A) of this section shall apply to the licensee, members of his or her family or his or her employees, agents or servants if found upon or leaving the licensed premises after the hour of 1:00 a.m., nor shall division (A) of this section apply to premises which have been granted a Class F-2 or F-3 or F-5 liquor license.*

*(Ord. 1105, passed 12-5-83; Am. Ord. 2274, passed 4-3-06; Am. Ord. 2826, passed 1-7-13) Penalty, see § 113.99*

## **Site Plan**

1. The submitted Site Plan depicts a one story, 5,069 square-foot Circle K gas station/convenience store situated in the north central portion of the property, with the front entrance to the building oriented to face Illinois Route 30/Lincoln Highway. A separate fueling canopy would be located in front of the building.
2. Pending IDOT and Village approval, the four (4) existing vehicular access points to the site would be consolidated into two (2) new access points – a full access onto Route 30 and a full access onto Frankfort Square Road – are proposed. There is an existing signalized intersection at Frankfort Square Road and Illinois Route 30/Lincoln Highway.
3. The proposed principal building is 121 feet from the property line along Route 30, which is 194 feet from the centerline of Route 30 per the applicant's Plat of Survey, and therefore complies with the Zoning Ordinance.
4. The proposed fuel canopy is 38.6 feet from the property line along Route 30, which is 107 feet, 2 inches from the centerline of Route 30 per the applicant's Plat of Survey, and therefore requires a variation.
5. The proposed fuel canopy and principal building would require the following variations:
  - 1) Variation to allow a reduction of the required minimum front yard setback for the fuel canopy from 150' to 107 feet, 2 inches from the centerline of Route 30. [Article 6, Section C, Part 1 of the Zoning Ordinance]
  - 2) Variation to allow a reduction of the required minimum rear yard setback for the principal building from 30' to 10' from the north property line. [Article 6, Section C, Part 1 of the Zoning Ordinance]
6. The Village of Frankfort Zoning Ordinance requires automobile fueling stations to provide parking at a rate of one (1) space per employee for the work shift with the largest number of employees, plus one (1) space per 150 square feet of gross floor area for any convenience store. Spaces at fueling positions may be counted as parking spaces.
7. A total of 36 parking spaces are depicted on the Site Plan, including one (1) handicap accessible space, which complies with the Zoning Ordinance.
8. Although not labeled on the Site Plan, a loading berth area is provided along the west side of the proposed principal building, in front of the trash enclosure. The Zoning Ordinance requires one (1) loading berth, a minimum of 50' in length, 12' in width, and 14' in vertical clearance.
9. Article 7, Section A, Part 4(c) of the Zoning Ordinance requires construction of vehicular travel lanes, service drives, driveways, or other access connections, which will permit vehicular travel on the site and to and from adjacent properties in accordance with the following:
  1. *Adjacent to any major or minor arterial street a travel lane not less than twenty-four (24') feet in width shall be constructed to afford access to adjoining properties.*
  2. *The Plan Commission may waive the requirement for constructing a travel lane as is set forth in this Subsection when:*
    - a) *There is no existing or proposed vehicular travel lane abutting the subject property on either side, and*
    - b) *The adjoining property(s) is used or zoned for single family detached dwellings, or*

*c) The adjoining property(s) is occupied by a use, which by its nature would suggest that there will be a limited desire for travel between such use and the one proposed.*

The subject property is adjacent to an existing bank with a drive-through facility to the east and adjacent to vacant land owned by the bank to the north. Therefore, Sections 2(a) and 2(c) above would appear to apply, therefore authorizing the Plan Commission to waive this requirement.

10. The Site Plan depicts a bike rack near the southeast corner of the building.
11. The Site Plan depicts a trash enclosure on the west side of the building.
12. The Site Plan depicts six sections of 6'-tall wooden fencing connecting the northwest corner of the proposed building with the trash enclosure. A fence detail depicting the height, material and color of the fence has not been provided at this time. Staff has requested that this detail be provided.
13. The Site Plan depicts an air and vacuum machine in the front yard adjacent to Route 30. Staff suggests a condition that this machine be relocated to the northernmost parking stall on the west side of the building or to the easternmost parking stall on the east side of the building to improve the aesthetic appearance of the site and devote the entire landscaped yard to plant materials facing Route 30.
14. The Site Plan depicts new 5' wide concrete sidewalks within the public right-of-way along both street frontages. Staff has suggested that the new sidewalk be extended to the street intersection to provide an opportunity for a future crosswalk to be provided across Frankfort Square Road. An existing crosswalk and pedestrian signals are provided across Route 30 from the northwest corner of the intersection to the southwest corner of the intersection.

#### **Landscape Plan / Tree Preservation Plan**

1. The applicant has submitted a Landscape Plan which depicts the proposed new plantings as well as identifies any existing trees and shrubs to be preserved or removed.
2. Staff has reviewed the Landscape Plan and has several comments, which may be addressed prior to Village Board consideration as conditions to be attached to any motion for approval.
3. The following trees depicted on the Landscape Plan are listed in Appendix G of the Landscape Ordinance, "Plant Material List for Unacceptable Trees" and must be removed and replaced with other acceptable species:
  - MXA, Adirondack Crabapple (3 proposed)
  - MXI, Ivory Spear Crabapple (3 proposed)
4. The proposed Landscape Plan would require the following variations:
  - 1) Variation to allow a reduction of the required minimum landscaped front yard depth (adjacent to Route 30) from 25' to 3.8' [Article 6, Section C, Part 1 and Part 2(d) of the Zoning Ordinance].
  - 2) Variation to allow a reduction of the quantity of required plant materials within the landscaped front yard (adjacent to Route 30) [Article 7, Section D, Part 1 of the Zoning Ordinance, and Section 158.30 of the Landscape Ordinance].
5. The Tree Preservation Plan depicts the removal of three (3) existing Boxelder trees in the north central portion of the site in the area behind the proposed new building. None of those trees to be removed are considered "Preservation Trees" per the Landscape Ordinance. The Plan also depicts eight (8) existing shrubs to be removed along the east and west sides of the existing drive-through car wash facility.
6. Two separate conventional dry bottom stormwater management basins are provided in the southwest and northeast corners of the site and would be planted with grass with new trees and shrubs planted around the perimeter.
7. Several dead trees in the Route 30 right-of-way will be replaced and the existing trees and shrubs will be preserved.



## Engineering Plans

1. The applicant has submitted Civil Engineering Plans which have been reviewed by the Village's Consulting Engineer.
2. The proposed B2 General Commercial District requires a maximum impervious surface lot coverage of 75%. Per the applicant's design engineer, the proposed development has an impervious surface lot coverage of 43,450 square feet (60%) and will comply with the requirement. The existing site has an impervious surface lot coverage of 42,515 square feet (58.6%).

## Architecture

1. The applicant proposes to construct a single-story building with a flat roof, including dominant tower elements at the southwest and southeast corners.
2. Article 7, Section A, Part 5(f) of the Zoning Ordinance states, *"Architecture must be consistent with the quality and character of Frankfort architecture and the Village's policy for original and unique design."*
3. Article 7, Section A, Part 5(f) of the Zoning Ordinance states that *"Flat roofs and mansard roofs are discouraged except where such roofs are the predominant style in the neighborhood."* Staff notes that there are a mix of roof types in the vicinity of the subject property.
4. HVAC mechanical units will be located on the roof and will be screened to their full height by parapet walls on all four sides.
5. The predominant exterior material on all elevations is Nichiha fiber cement board in tan and brown earthtone colors except for one row painted in red on the front elevation on either side of the main entrance.
6. A 3'-2" cultured stone wainscot is proposed on all elevations.
7. Staff has suggested that the applicant increase the percentage of cultured stone on the building by increasing the height of the stone on the tower elements of the front façade. To date, the applicant has not made this change.
8. The overall height of the building is 23 feet which would comply with the maximum height of 35 feet in the B2 Community Business District.
9. The elevation detail of the proposed trash enclosure depicts the use of the Nichiha fiber cement products to match the building. Staff notes that the Village requires masonry materials on the walls of trash enclosures, therefore this detail will need to be revised. This may be added as a condition of approval.
10. The canopy elevations indicate that the six (6) columns which support the fuel canopy will include the same Nichiha fiber cement products to match the building elevations.

## Photometrics/Site Lighting Plan

1. The applicant has provided a Photometrics Plan, light fixture specifications, and isometric plans showing the distribution of light on the property during daytime and evening lighting conditions. The Plan depicts five (5) 18-foot tall parking lot lights (the height includes the base). The parking lot light fixtures are flat-head LED lights.
2. Parking lot light fixtures may be mounted at 25 feet or less, which is the maximum height permitted by the Municipal Code. The Village's Municipal Code requires decorative bases for all parking lot light poles. No details have been provided for the bases for the light poles. This may be added as a condition of approval.
3. The Photometric Plan depicts a total of seven (7) sconce and security lights on the north, east and west building elevations.
4. The Photometric Plan depicts a total of twenty-four (24) lights on the ceiling of the fuel canopy.
5. The Photometric Plan demonstrates that the light readings would be no greater than 0.5 footcandles at the property lines and would therefore comply with the Zoning Ordinance.

## Signage

1. The applicant is proposing a total of eight (8) exterior signs – one (1) ground sign along U.S. Route 30/Lincoln Highway at the southwest corner of the site, one (1) wall sign on the south building elevation, one (1) wall

sign on the west building elevation, three (3) canopy signs on the south, west, and east elevations of the fuel canopy, and two (2) non-illuminated directional signs at each vehicular entrance.

2. The applicant is proposing a 48 square-foot monument sign along U.S. 30/Lincoln Highway near the southwest corner of the site. The proposed sign is 7 feet wide and 6 feet high and mounted on a 2-foot base constructed of Nichiha fiber cement material to match the building. The maximum height of a sign for a gas station is 6 feet but may be increased up to 10% to allow ornamental features.
3. The applicant is seeking the following variations related to the proposed signage package:
  - 1) Variation to allow a reduction of the required minimum setback of a freestanding sign from 25' to 10' [Municipal Code Section 151.041(B)(1)(b)]. This is due to the right-of-way width at this location, which places the sign much further back from the street.
  - 2) Variation to allow an increase of the required maximum height of a freestanding sign from 7' to 8' [Municipal Code Section 151.060(B)(1)(g)].
  - 3) Variation to allow an increase of the required maximum area of a freestanding fuel station sign from 30 square feet to 48 square feet [Municipal Code Section 151.060(B)(1)(h)].
  - 4) Variation to allow the red bar (banding) along the bottom on all sides of the canopy with backlighting only on three sides: the east, south and west sides (no backlighting on the north/building side). [Municipal Code Section 151.060(B)(1)(i)]. Staff has suggested that the backlighting be removed and that the red bar be reduced in width along all four side of the fuel canopy so that only short non-illuminated sections of the red bar are included on either side of the illuminated Shell Pecten (logo) signs.

### ***Standards for Zoning Map Amendments***

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For reference during the public hearing, Article 3, Section D, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every Zoning Map Amendment request.

The Plan Commission shall make written findings of fact and shall submit same, together with its recommendations to the Village Board, for action. Where the purpose and effect of the proposed amendment is to change the zoning classification of particular property, the Plan Commission shall make findings based upon all the evidence presented to it and shall consider among other pertinent matters, the following:

- 1) Existing uses of property within the general area of the property in question;
- 2) The zoning classification of property within the general area of the property in question;
- 3) The suitability of the property in question to the uses permitted under the existing zoning classification;
- 4) The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classification; and
- 5) The change in zoning is in conformance with the comprehensive plan of the Village and its official map.

### ***Standards for Special Uses***

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For reference during the public hearing, Article 3, Section B, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every Special Use request.

The Plan Commission shall make written findings of fact and shall refer to any exhibits containing plans and specifications for the proposed special use, which shall remain a part of the permanent record of the Plan Commission. The Plan Commission shall submit same, together with its recommendation to the Village Board for final action. No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.



- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

### ***Standards for Variations***

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For reference during the public hearing, Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every Variation request.

- a. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:
  - 1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
  - 2. That the plight of the owner is due to unique circumstances;
  - 3. That the variation, if granted, will not alter the essential character of the locality.
- b. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making this determination, whenever there are practical difficulties or hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:
  - 1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
  - 2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
  - 3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
  - 4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
  - 5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
  - 6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already

constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

### ***Summary of Requested Variations***

A summary of the requested variations is as follows:

1. Variation to allow a reduction of the required minimum front yard setback for the fuel canopy from 150' to 107—2" from the centerline of Route 30. [Article 6, Section C, Part 1 of the Zoning Ordinance];
2. Variation to allow a reduction of the required minimum rear yard setback for the principal building from 30' to 10' from the north property line. [Article 6, Section C, Part 1 of the Zoning Ordinance];
3. Variation to allow a reduction of the required minimum landscaped front yard from 25' to 3.5' adjacent to Route 30 [Article 6, Section C, Part 1 and Part 2(d) of the Zoning Ordinance];
4. Variation to allow a reduction of the quantity of required plant materials within the landscaped front yard adjacent to Route 30 [Article 7, Section D, Part 1 of the Zoning Ordinance, and Section 158.30 of the Landscape Ordinance];
5. Waiver of the required travel lane (cross-access with the adjacent property to the north and east) [Article 7, Part 4(c) of the Zoning Ordinance];
6. Variation to allow a reduction of the required minimum setback of a freestanding sign from 25' to 10' [Municipal Code Section 151.041(B)(1)(b)];
7. Variation to allow an increase of the required maximum height of a freestanding sign from 6' to 7' [Municipal Code Section 151.060(B)(1)(g)];
8. Variation to allow an increase of the required maximum area of a freestanding fuel station sign from 30 square feet to 48 square feet [Municipal Code Section 151.060(B)(1)(h)]; and,
9. Variation to allow the red bar (banding) along the bottom on all sides of the canopy with backlighting only on three sides: the east, south and west sides (no backlighting on the north/building side). [Municipal Code Section 151.060(B)(1)(i)].

Note: Although four (4) of the requested variations are related to signage and are variations from the Municipal Code (not the Zoning Ordinance), the Plan Commission/Zoning Board of Appeals has an opportunity to make a recommendation to the Village Board on these variations which are being requested in conjunction with the pending annexation agreement. A previously-requested Variation related to the maximum area of the changeable copy portion of the free-standing signage has been removed following the workshop session.

### ***Affirmative Motions***

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1. Recommend to the Village Board approval of a Zoning Map Amendment (Rezoning) from the default ER Estate Residential District to the B2 Community Business District upon annexation, for the subject property located at 7654 W. Lincoln Highway;
2. Recommend to the Village Board approval of a Special Use Permit for an automobile fueling station [Article 5, Section B of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval; and additionally subject to the following conditions:
  1. The air and vacuum machine shall be relocated to the northernmost parking stall on the west side of the building or to the easternmost parking stall on the east side of the building, subject to staff review and approval;

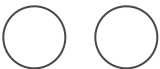
2. The trash enclosure detail shall be revised to meet the masonry requirement of the Zoning Ordinance, and materials shall match the color of the building materials, subject to staff review and approval;
  3. A detail for the base of the parking lot light poles shall be provided, subject to staff review and approval;
  4. There shall be no outdoor display of merchandise.
3. Recommend to the Village Board approval of a Special Use for accessory liquor sales [Article 5, Section B of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
  4. Recommend to the Village Board approval of a Special Use for extended hours of operation (open 24 hours) [Article 5, Section B of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
  5. Recommend to the Village Board approval of a Variation to allow a reduction of the required minimum front yard setback from 150' to 107'-2" [Article 6, Section C, Part 1 of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
  6. Recommend to the Village Board approval of a Variation to allow a reduction of the required minimum rear yard from 30' to 10' along the north property line [Article 6, Section C, Part 1 of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
  7. Recommend to the Village Board approval of a Variation to allow a reduction of the required minimum landscaped front yard from 25' to 3.5' [Article 6, Section C, Part 1 and Part 2(d) of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
  8. Recommend to the Village Board approval of a Variation to allow a reduction of the quantity of required plant materials within the landscaped front yard facing Route 30 (required plant units to be dispersed throughout the site) [Article 7, Section D, Part 1 of the Zoning Ordinance, and Section 158.30 of the Landscape Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
  9. Recommend to the Village Board approval of a waiver of the required travel lane (cross-access with the adjacent property to the north and east) [Article 7, Part 4(c) of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
  10. Recommend to the Village Board approval of a Variation to allow a reduction of the required minimum setback of a freestanding sign from 25' to 10' [Municipal Code Section 151.041(B)(1)(b)]; Variation to allow an increase of the required maximum height of a freestanding sign from 6' to 7' [Municipal Code Section 151.060(B)(1)(g)], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;
  11. Recommend to the Village Board approval of a Variation to allow an increase of the required maximum area of a freestanding fuel station sign from 30 square feet to 48 square feet [Municipal Code Section 151.060(B)(1)(h)], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;

Recommend to the Village Board approval of a Variation to allow the red bar (banding) along the bottom on all sides of the canopy with backlighting only on three sides: the east, south and west sides (no backlighting on the north/building side). [Municipal Code Section 151.060(B)(1)(i)], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;



12. Recommend to the Village Board approval of the Preliminary/Final Plat for Circle K Frankfort Subdivision, subject to any necessary technical revisions prior to recording.

# Frankfort GIS Viewer



## Site Photos – 7654 W. Lincoln Highway



*Figure 1: 7654 W. Lincoln Highway, viewed looking northeast from the intersection of U.S. Route 30/Lincoln Highway and Frankfort Square Road.*



*Figure 2: 7654 W. Lincoln Highway, viewed looking east from the parking lot adjacent to Frankfort Square Road.*





*Figure 3: Existing pylon sign for Circle K at 7654 W. Lincoln Highway.*



*Figure 4: South and east elevations of existing Circle K building at 7654 W. Lincoln Highway.*



*Figure 5: South and east elevations of existing Circle K accessory drive-through car wash located at 7654 W. Lincoln Highway.*



*Figure 6: East and north elevations of existing Circle K accessory drive-through car wash located at 7654 W. Lincoln Highway.*



*Figure 7: 7654 W. Lincoln Highway, viewed looking west from near the east property line adjacent to Old Plank Trail Community Bank.*



*Figure 8: View looking west along Route 30 from the existing eastern vehicle entrance of Circle K located at 7654 W. Lincoln Highway.*





Figure 9: Existing air machine and vacuum at Circle K located at 7654 W. Lincoln Highway.



Figure 10: Existing trash enclosure, unscreened dumpster, and north and west building elevations of Circle K located at 7654 W. Lincoln Highway.



## VICINITY MAP

- Existing Zoning/ Land Use
1. Current Site Zoning: C-2 General Commercial District
  2. Current Site Use: Convenience Store with Fuel Sales
  3. Surrounding Land Use and Zoning:
    - a. North: Vacant Lot (C-3)
    - b. East: Commercial Bank (C-3)
    - c. South: Across IL Route 30/W. Lincoln Hwy, City Commercial (C)
    - d. West: Across S. Frankfort Square Rd./Hunterswood Dr., Strip Mall (C)
  4. Zoning Site Restrictions/Requirements:
    - a. Minimum Lot Area: 12,000 sq. ft.
    - b. Maximum Building Height: 45'
    - c. Minimum Building Setbacks:
      - i. Front: 30'
      - ii. Side: 10'
      - iii. Rear: 20'
    - d. Minimum Canopy Setbacks:
      - i. Front: 30' to canopy edge
      - ii. Side: 10' to canopy edge
      - iii. Rear: 20' to canopy edge
    - e. Where does each setback apply:
      - i. Front: 30'
      - ii. Side: 10'
      - iii. Rear: 20'
    - f. Minimum Frontage: 80'
    - g. Maximum Lot Coverage: Not Specified
    - h. Maximum Floor Area Ratio (FAR): 2.0

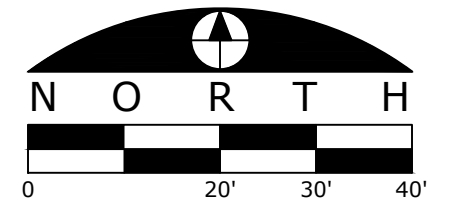
## ALTA/NSPS LAND TITLE SURVEY

OF  
PART OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 35  
NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN  
WILL COUNTY, ILLINOIS

- Notes:
1. All Storm and Sanitary Main are Gravity Main unless otherwise noted on the survey.

ARC DESIGN  
RESOURCES INC.

5291 ZENITH PARKWAY  
LOVES PARK, IL 61111  
VOICE: (815) 484-4300  
FAX: (815) 484-4303  
www.arcdesign.com  
Design Firm License No. 184-001334



## SYMBOL LEGEND

---	PROPERTY LINE
- - -	RIGHT-OF-WAY LINE
---	CENTER LINE
---	CURB AND GUTTER
---	OVERHEAD UTILITIES
O/U	GAS LINE
T	TELEPHONE LINE
E	ELECTRIC LINE
W	WATER LINE
---	SANITARY SEWER LINE
---	STORM SEWER LINE
750	CONTOUR LINE
S	SANITARY MANHOLE
D	STORM MANHOLE   AREA INLET
□	CURB CATCHBASIN   INLET
⊗	VALVE VAULT
⊕	VALVE BOX
⊙	FIRE HYDRANT ASSEMBLY
⊗	MONITORING WELL
⊙	UTILITY POLE
⊙	GUY WIRE AND ANCHOR
E	ELECTRIC METER
T	TELEPHONE JUNCTION
T	TELEPHONE PEDESTAL
G	GAS METER
G	GAS VALVE
A.D.A.	A.D.A. COMPLIANT PARKING
L	LUMINAIRE AND POST
S	SIGN AND POST
B	BOLLARD
⊙	BENCHMARK LOCATION
⊙	DECIDUOUS TREE
⊙	BUSH
⊙	TRAFFIC SIGNAL
⊙	SIGNAL CONTROL CABINET
⊙	HANDHOLE
10	NUMBER OF PARKING SPACES

IL ROUTE 30 (W. LINCOLN HIGHWAY)

Public Right-of-Way, 4-Lane Concrete Roadway w/ Turn Lanes

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SHEET 1 of 2  
ARC 20033 Rev: 04/27/2020



SCHEDULE B, PART II  
EXCEPTIONS

General Exceptions

- Rights or claims of parties in possession not shown by Public Records. **(Not a survey matter.)**
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the Land. **(Please refer to the survey.)**
- Easements, or claims of easements, not shown by the Public Records. **(No parole evidence was collected as a part of this survey therefore we have no knowledge of any easements or claims thereof not shown by the public records.)**
- Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records. **(Not a survey matter.)**
- Taxes or special assessments which are not shown as existing liens by the Public Records. **(Not a survey matter.)**
- We should be furnished a properly executed ALTA statement and, unless the land insured is a condominium unit, a survey if available. Matters disclosed by the above documentation will be shown specifically. **(Please refer to the survey.)**
- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I--Requirements are met. **(Not a survey matter.)**
- For each policy to be issued as identified in Schedule A, Item 2; the Company shall not be liable under this commitment until it receives a designation for a Proposed Insured, acceptable to the Company. As provided in Commitment Condition 4, the Company may amend this commitment to add, among other things, additional exceptions or requirements after the designation of the Proposed Insured. **(Not a survey matter.)**
- Note for additional information: The WILL County Recorder requires that any documents presented for recording contain the following information: a. The name and address of the party who prepared the document; b. The name and address of the party to whom the document should be mailed after recording; c. All permanent real estate tax index numbers of any property legally described in the document; d. The address of any property legally described in the document; e. All deeds should contain the address of the grantee and should also note the name and address of the party to whom the tax bills should be sent; f. Any deeds conveying undivided land, or portions of subdivided land, may need to be accompanied by a properly executed "Plat Act Affidavit." This exception will not appear on the policy when issued. **(Not a survey matter.)**
- Taxes for the years 2019 and 2020. **(Not a survey matter.)**  
Taxes for the years 2019 and 2020 are not yet due or payable.  
Permanent Tax No.: 19-09-24-101-016-0000 (Affects Parcel 1)  
Note: Taxes for the year 2018 amounting to \$11,502.50 are paid of record.  
Taxes for the years 2019 and 2020. **(Not a survey matter.)**  
Taxes for the years 2019 and 2020 are not yet due or payable.  
Permanent Tax No.: 19-09-24-101-013-0000 (Affects Parcel 2)  
Note: Taxes for the year 2018 amounting to \$36,293.38 are paid of record.  
Note: The Land lies within Will County, Illinois, all of which is subject to the Predatory Lending Database Program Act (765 ILCS 77/70 et seq. as amended) (The Act). On and after July 1, 2008, a Certificate of Compliance with the Act or a Certificate of Exemption must be obtained at time of closing in order for the Company to record any insured mortgage. If the closing is not conducted by the Company, a Certificate of Compliance or Certificate of Exemption must be attached to any mortgage to be recorded. **(Not a survey matter.)**
- Right of First Refusal in favor of Equilon Enterprises, LLC as contained in Special Warranty Deed recorded January 14, 2010 as Document No. R2010005322. **(Not a survey matter.)**  
Note: We should be furnished evidence in writing as to the compliance of the terms and provisions of said right of first refusal set forth in said document.
- Notification of Code/Ordinance Violation recorded September 19, 2018 as Document No. R2018065796 and the terms, provisions and conditions contained therein. (For further particulars, see record.) **(Not a survey matter.)**
- The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance from the entity named below. **(Not a survey matter.)**  
Limited Liability Company: RDK Ventures LLC, a Delaware limited liability company  
a. A copy of its operating agreement, if any, and any and all amendments, supplements and/or modifications thereto, certified by the appropriate manager or member.  
b. If a domestic Limited Liability Company, a copy of its Articles of Organization and all amendment thereto with the appropriate filing stamps.  
c. If the Limited Liability Company is member-managed a full and complete current list of members certified by the appropriate manager or member.  
d. A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created  
e. If less than all members, or managers, as appropriate, will be executing the closing documents, furnish evidence of the authority of those signing.  
The Company reserves the right to add additional items or make further requirements after review of the requested documentation.
- The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance from the entity named below. **(Not a survey matter.)**  
Limited Liability Company: Mac's Convenience Stores LLC, a Delaware limited liability company  
a. A copy of its operating agreement, if any, and any and all amendments, supplements and/or modifications thereto, certified by the appropriate manager or member.  
b. If a domestic Limited Liability Company, a copy of its Articles of Organization and all amendment thereto with the appropriate filing stamps.  
c. If the Limited Liability Company is member-managed a full and complete current list of members certified by the appropriate manager or member.  
d. A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created  
e. If less than all members, or managers, as appropriate, will be executing the closing documents, furnish evidence of the authority of those signing.  
The Company reserves the right to add additional items or make further requirements after review of the requested documentation.
- Existing unrecorded leases and all rights thereunder of the lessees and of any person or party claiming by, through or under the lessees. **(Not a survey matter.)**
- The Company should be furnished a statement that there is no property manager employed to manage the Land, or, in the alternative, a final lien waiver from any such property manager. **(Not a survey matter.)**
- The acreage indicated in the legal description on Schedule A is solely for the purpose of identifying the Land. The Company does not insure the quantity of the Land. **(Not a survey matter.)**
- Rights of the public, the State of Illinois and the municipality in and to that part of the Land, if any, taken or used for road purposes, together with utility rights therein. **(Please refer to the survey.)**
- Rights of Way for drainage tiles, ditches, feeders, laterals and underground pipes, if any. **(No documentation was provided to us pertaining to any such rights of way.)**
- Rights, if any, of public and quasi-public utilities in the land. **(We were not provided any documentation pertaining to any such rights. Therefore we have no knowledge of any such rights.)**
- Grant dated September 11, 1961 and recorded December 20, 1961 as Document No. 946349 made by J.H. Lindholm and Ina F. Lindholm to Illinois Bell Telephone Company, its successors and/or assigns, the right, privilege and authority to construct, reconstruct, operate and maintain lines of telephone and telegraph, consisting of such poles, wires, cables, anchors, guys, conduits, manholes and other fixtures as the grantee may from time to time require, upon, along, and under the public roads, streets and highways, on or adjoining property in a strip of land 17 feet in width through West 5 acres of the Southwest 1/4 of Northeast 1/4 of Section 24 and through the East 1/2 of the Northwest 1/4; said strip being parallel with, adjacent to and immediately North of North right of way line of U.S. Route 30 which adjoins property on the South. (For further particulars, see record.) **(The Easement falls within the Right-of-Way for U.S. Route 30. Please refer to the survey for the location and to said Document for more particular information.)**
- Use restriction noted in those Leaking Underground Storage Tank Environmental Notices recorded August 20, 1998 as Document No. 98097523 and July 31, 2009 as Document No. 2009093128, as follows: The groundwater under the site shall not be used as a potable water supply. **(Not a survey matter.)**
- Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not

limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document. **(Not a survey matter but it affects the property. Please refer to said Document for more particular information.)**

Recording Date: January 14, 2010  
Recording No: R2010005322

Relating to, In part: Brand Covenant and Branding Agreement; Use of the premises; Storage of Potable Water; and Right of First Refusal. (For further particulars, see record.)

26. Terms, provisions, conditions and limitations contained in the Access Agreement between Equilon Enterprises LLC, doing business as Shell Oil Products US, and RDK Ventures LLC dated January 6, 2010 and recorded January 14, 2010 as Document No. R2010005323. **(Not a survey matter but it may affect the property. Please refer to said Document for more particular information.)**

Legal Description contained in Commitment for Title Insurance issued by Chicago Title Insurance Company, Commitment No. 5257-2000162

PARCEL 1:

A TRACT OF LAND IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, BEING THE SOUTH 250.00 FEET OF THE EAST 200 FEET OF THE WEST 400 FEET LYING EAST OF THE EAST LINE OF THE FRANKFORT SQUARE ROAD, AS DEDICATED BY DEDICATION RECORDED ON MARCH 10, 1976 AS DOCUMENT NO. R76-6506 AND NORTH OF THE CENTER LINE OF LINCOLN HIGHWAY (U.S. ROUTE 30), IN WILL COUNTY, ILLINOIS.

PARCEL 2:

A TRACT OF LAND IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, BEING THE SOUTH 250.00 FEET OF THE WEST 200 FEET LYING EAST OF THE EAST LINE FRANKFORT SQUARE ROAD, AS DEDICATED BY DEDICATION RECORDED ON MARCH 10, 1976 AS DOCUMENT NO. R76-6506 AND NORTH OF THE CENTER LINE OF LINCOLN HIGHWAY (U.S. ROUTE 30), IN WILL COUNTY, ILLINOIS.

ALSO DESCRIBED AS:

PART OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, WILL COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE FOLLOWING COURSES TO THE POINT OF BEGINNING ARE PREVIOUSLY DESCRIBED IN "DEDICATION DOCUMENT" RECORDED AS R76-6506. COMMENCING ON THE EAST LINE OF FRANKFORT SQUARE ROAD 423.04 FEET, AS MEASURED ON AN ARC ALONG SAID EAST LINE, SOUTH OF THE SOUTHWEST CORNER OF LOT 23, BLOCK 30 OF FRANKFORT SQUARE UNIT 10 AS RECORDED MARCH 20, 1975 AS DOCUMENT NO. R75-6431; THENCE SOUTH 30 DEGREES 08 MINUTES 46 SECONDS WEST, A DISTANCE OF 65.88 FEET TO THE POINT OF CURVATURE OF A TANGENT CURVE, CONCAVE TO THE EAST, HAVING A RADIUS OF 260.00 FEET, A CENTRAL ANGLE OF 29 DEGREES 56 MINUTES 29 SECONDS, AND A CHORD OF 134.33 FEET BEARING SOUTH 15 DEGREES 10 MINUTES 33 SECONDS WEST; THENCE SOUTH ALONG SAID CURVE, A DISTANCE OF 135.87 FEET; THENCE SOUTH 0 DEGREES 12 MINUTES 20 SECONDS WEST, A DISTANCE OF 214.85 FEET TO THE POINT OF BEGINNING AT A POINT 250 FEET NORTH OF THE CENTER LINE OF LINCOLN HIGHWAY (U.S. ROUTE 30); THENCE SOUTH 89 DEGREES 39 MINUTES 09 SECONDS EAST, A DISTANCE OF 399.82 FEET; THENCE SOUTH 0 DEGREES 12 MINUTES 20 SECONDS WEST, A DISTANCE OF 200.28 FEET TO THE NORTH RIGHT OF WAY LINE OF SAID LINCOLN HIGHWAY; THENCE NORTH 89 DEGREES 39 MINUTES 09 SECONDS WEST ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 399.82 FEET TO SAID EAST LINE OF FRANKFORT SQUARE ROAD; THENCE NORTH 0 DEGREES 12 MINUTES 20 SECONDS EAST, A DISTANCE OF 200.28 FEET TO THE POINT OF BEGINNING; SAID DESCRIBED TRACT CONTAINING 80.076 SQUARE FEET (1.84 ACRES), MORE OR LESS; AND EXCEPTING THEREFROM THAT PART TAKEN IN CASE NO. 10-ED-107 BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION FOR HIGHWAY PURPOSES CONTAINED IN AGREED FINAL JUDGMENT ORDER FILED DECEMBER 29, 2011 AND RECORDED JANUARY 9, 2012 AS DOCUMENT NO. R2012003602

ALSO DESCRIBED AS

A parcel of land being part of the Northwest Quarter of Section 24, Township 35 North, Range 12 East of the Third Principal Meridian, Will County, Illinois, described as follows:

Commencing at the Southwest corner of Lot 1 in Block 60 as designated upon Frankfort Square Unit No. 18, being a subdivision of part of the North Half of Section 24 Township 35 North, Range 12 East of the Third Principal Meridian, the plat of which subdivision was recorded April 17, 1985 as Document No. R85-11449 in the Recorder's Office of Will County, Illinois, said point also lying in the East line of a public road designated Frankfort Square Road per Plat of Dedication recorded March 10, 1976 as Document No. R76-06506 in said Recorder's Office; thence Southerly along the East line of said Frankfort Square Road along a circular curve to the left whose radius is 260.00 feet and whose center lies to the East, the long chord of which curve bears South 4 degrees 00 minutes 07 seconds West, a chord distance of 38.05 feet to a point of tangency; thence South 0 degrees 11 minutes 38 seconds East along the East line of said Frankfort Square Road, a distance of 231.33 feet to the Point of Beginning for the hereinafter described parcel of land; thence North 89 degrees 39 minutes 09 seconds East, a distance of 400.03 feet to the East line of the West 400' lying East of the East Line of said Frankfort Square Road; thence South 0 degrees 11 minutes 38 seconds East along said East line of the West 400' lying East of the East Line of said Frankfort Square Road, a distance of 182.22 feet to the North line of a public road designated U.S. Route 30 per Agreed Final Judgement Order in Will County Case No. 10-ED-107 between the Illinois Department of Transportation and RDK Ventures, LLC recorded January 9, 2012 as Document No. R2012003602 in said Recorder's Office; thence South 89 degrees 54 minutes 05 seconds West along the North line of said U.S. Route 30, a distance of 400.03 feet to the East line of said Frankfort Square Road; thence North 0 degrees 11 minutes 38 seconds West along the East line of said Frankfort Square Road, a distance of 180.35 feet to the Point of Beginning, containing 72,519 square feet, 1.665 acres, more or less, all being situated in the County of Will and the State of Illinois.

SURVEYOR'S NOTES

- Survey is based on field work performed by Arc Design Resources on March 30, 2020.
- No investigation concerning environmental and subsurface conditions, or for the existence of underground or overhead containers or facilities which may affect the use or development of this property was made as part of this survey.
- The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available. The surveyor has not physically located all of the underground utilities.
- The above described property is not located within any regulated flood zones according to the Flood Insurance Rate Map (17197C0218G) for Will County, Illinois revised February 15, 2019.
- Surveyed property is based upon the legal description contained in Commitment for Title Insurance, Commitment No. 5257-2000162 issued by Chicago Title Insurance Company effective date February 19, 2020.
- Bearings are based upon G.P.S observations and referenced to the Illinois State Plane Coordinate System - East Zone. Vertical Datum - NAD83
- There was no evidence of any recent earth moving activity at the time of survey.
- Utility Company Contacts.  
ATTY/DISTRIBUTION: 1-800-288-2020  
COMCAST: 1-800-534-6489  
COMED: 1-800-334-7661  
ENTERPRISE PRODUCTION OPERATING: 1-888-883-6308  
FRANKFORT TOWNSHIP ROAD DISTRICT: 1-708-479-9673  
NICOR GAS: 1-888-682-6741  
VILLAGE OF FRANKFORT: 1-815-469-2177

SURVEYOR'S CERTIFICATION:

To Chicago Title Insurance Company and Circle K Stores Inc.:

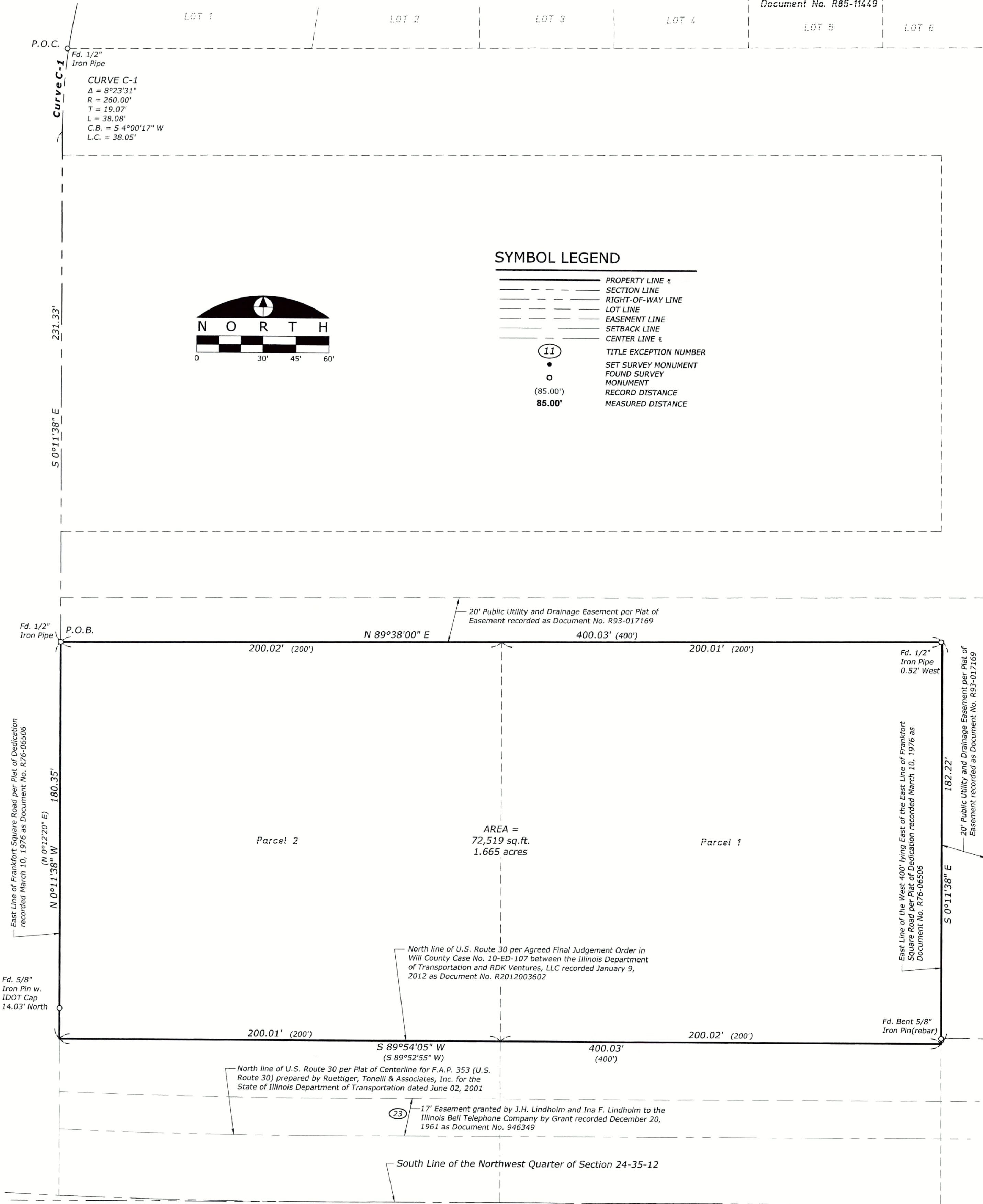
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 3, 4, 5, 6a, 7b1, 7c, 8, 9, 11, 13, 16, 17, 18 of Table A thereof. The fieldwork was completed on March 30, 2020.

Dated this 27th day of APRIL, 2020.

Lee S. Sprecher  
Illinois Professional Land Surveyor No. 3436  
Arc Design Resources, Inc.  
5291 Zenith Parkway  
Loves Park, IL 61111  
(815)484-4300

My current license expires 11/30/2020

S. FRANKFORT SQUARE ROAD





# CIRCLE K FRANKFORT

7654 W LINCOLN HWY  
FRANKFORT, IL 50423

RECEIVED

By Mike Schwarz at 9:52 am, Apr 10, 2023



## GENERAL NOTES

- The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. Neither the engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the engineer inspects and controls the physical construction on a contemporary basis at the site.
- The contractor, by agreeing to perform the work, agrees to indemnify and hold harmless the owner, the engineer, the city, and all agents and assigns of those parties, from all suits and claims arising out of the performance of said work, and further agrees to defend or otherwise pay all legal fees arising out of the defense of said parties.
- In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractors safety measures, in, or near the construction site. The contractor is responsible for maintaining adequate signs, barricades, fencing, traffic control devices and measures, and all other measures that are necessary to protect the safety of the site at all times.
- Maintain access for vehicular and pedestrian traffic as required for other construction activities. Use traffic control devices to include temporary striping, flagmen, barricades, warning signs, and warning lights shall be in accordance with current MUTCD and IDOT standards.
- All phases of the site work for this project shall meet or exceed industry standards and requirements set forth by the the owner's "Description of Work", Will County, the State of Illinois, and this plan set.
- The Will County, IL must be notified at least two (2) working days prior to the commencement or resumption of any work.
- The contractor shall coordinate all permit and inspection requirements with responsible local, state, and federal agencies. The contractor shall include the costs of this coordination and all inspection fees in the bid price.
- All work performed by the contractor shall come with a warranty against defects in workmanship and materials. This warranty period shall run concurrent with the required warranty periods the owner must provide to each local government agency, as a condition of the permit.
- The contractor will be held solely responsible for and shall take precautions necessary to avoid property damage to adjacent properties during the construction of this project.
- All structures, inlets, pipes, swales, roads and public egresses must be kept clean and free of dirt and debris at all times.
- Any field tiles encountered during construction shall be recorded showing size, location, and depth by the contractor, and either reconnected and rerouted or connected to the storm sewer system. The owner shall be notified immediately upon encountering any tile.
- The contractor shall field verify the elevations of the benchmarks prior to commencing work. The contractor shall also field verify the location and elevation of existing pipe inverts, curb or pavement where matching into existing work. The contractor shall field verify horizontal control by referencing property corners to known property lines. Notify the engineer of discrepancies in either vertical or horizontal control prior to proceeding.
- All elevations are on NAVD 88 datum.
- Parking areas designated as A.D.A. and all sidewalk shall be compliant with state and local A.D.A. requirements.
- Tactile warning plates per IDOT specifications shall be placed at all locations where sidewalk that is to be replaced intersects public roads and at locations indicated in this plan set.
- The contractor shall verify the location of all utilities in the field prior to construction. This includes sanitary sewer, water main, storm sewer, ComEd, Nicor Gas, and telecommunications providers, if any. The J.U.L.I.E. number is 1-800-892-0123.
- Property corners shall be carefully protected until they have been referenced by a Professional Land Surveyor.
- The contractor shall keep careful measurements and records of all construction and shall furnish the Engineer, the Owner and the City with record drawings in a digital format compatible with AutoCAD Release 14 upon completion of his work.
- Any excess dirt or materials shall be placed by the contractor onsite at the owner's direction or as indicated on the plans.
- Notify the owner and Will County of any existing wells. Obtain permit form the Illinois Bureau of Minerals and the State Water Survey. Cap and abandon wells in accordance with local, state, and federal regulations.
- Finish grade shall in all areas not specifically reserved for storm water management shall drain freely. No ponding shall occur. Tolerances to be observed will be measured to the nearest 0.04 of a foot for paved surfaces and 0.10 of a foot for unpaved areas.

Surface Water Drainage Certificate  
(State of Illinois)  
(County of Will) ss

To the best of our knowledge and belief, the drainage of surface waters will not be changed by the construction of the lot improvements of any part thereof, or, that if such surface water drainage will be changed, adequate provisions have been made for collection and diversion of such surface waters into public areas, or drains which the owner has a right use, and that such surface waters will not be deposited on the property of adjoining land owners in such concentrations as may cause damage to the adjoining property because of the construction of these lot improvements.

Dated this \_\_\_\_ day of \_\_\_\_\_, A.D., 20 \_\_\_\_

Engineer's Signature

Engineer's Seal

## VICINITY MAP



Call  
Before  
You Dig  
DIAL 811 OR (800)  
892-0123

OWNER:

RDK VENTURES LLC

500 WARRENVILLE ROAD  
LISLE, IL 60532  
(815) 762-4861

ENGINEER:



## Sheet List Table

SHEET NUMBER	SHEET TITLE
C00	COVER
C01	GENERAL NOTES
C02	REMOVALS PLAN
C03	SWPPP PLAN
C04	SWPPP (2)
C05	LAYOUT PLAN
C06	GRADING PLAN
C06.1	GRADING DETAILS
C06.2	US ROUTE 30 CROSS-SECTIONS
C07	DRAINAGE PLAN
C08	UTILITY PLAN
C08.1	UTILITY PLAN AND PROFILES
C09	DETAILS
C10	DETAILS
C11	ADS DETAILS
C12	ADS DETAILS
C13	VILLAGE DETAILS
C14	VILLAGE DETAILS
C15	IUM DETAILS
C16	IUM DETAILS
C17	IDOT DETAILS
C18	IDOT DETAILS
C19	IDOT DETAILS
L01	LANDSCAPE PLAN

## APPROVAL

WILL COUNTY, IL  
IEPA  
ILLINOIS DEPARTMENT OF TRANSPORTATION

## DATE

PENDING  
PENDING  
PENDING

## UTILITY OFFICIALS

WILL COUNTY LAND USE DEPT.:  
LISA NAPLES  
DEVELOPMENT ANALYST 1  
58 E CLINTON STREET, SUITE 100  
JOLIET, IL 60432  
(815) 774-3321  
PLANNING@WILLCOUNTYILLINOIS.COM

WATER & SEWER:  
VILLAGE OF FRANKFORT  
432 W NEBRASKA STREET  
FRANKFORT, IL 60423  
(815) 469-2177

ELECTRIC:  
COMED  
(877) 426-6331

GAS:  
NICOR GAS  
(877) 642-6748

TELECOMMUNICATIONS:

ATT  
(800) 288-2020

COMCAST  
(800) 934-6489

PROJECT NAME  
OWNER'S NAME

CIRCLE K  
FRANKFORT

7654 W LINCOLN HWY  
FRANKFORT, IL 50423  
WILL CO.

RDK VENTURES LLC  
500 WARRENVILLE ROAD  
LISLE, IL 60532  
(815) 762-4861

CONSULTANTS

ISSUED FOR

	DATE
1. COORDINATION	08-13-2021
2. COORDINATION	09-15-2021
3. AGENCY REVIEW	10-06-2021
4. AGENCY REVIEW	08-01-2022
5. AGENCY REVIEW	12-05-2022
6. AGENCY REVIEW	03-02-2023
7. AGENCY REVIEW	04-07-2023
8. ---	---
9. ---	---
10. ---	---
11. ---	---
12. ---	---

REVISIONS

ITEM	DATE
1. ---	---
2. ---	---
3. ---	---
4. ---	---
5. ---	---
6. ---	---

SHEET TITLE

COVER

DRAWN TWL  
CHECKED LND  
PM RCS

PROJECT NUMBER  
SHEET NUMBER

20033

C00



## GENERAL PAVING NOTES

- All pavement shall be constructed in accordance with the following:
  - Concrete pavement shall be constructed in accordance with the Illinois Department of Transportation (IDOT) "Standard Specifications for Road and Bridge Construction" (Standard Specifications), latest edition, including all updates and standards thereto.
  - Standards and requirements of Will County.
  - Additional details and requirements provided in the contract documents, including this plan set.
- All proposed pavement areas shall be stripped of all topsoil and unsuitable material and excavated or filled to within 0.10 feet of design subgrade.
- The subgrade of pavement areas shall be free of all unsuitable material and shall be compacted to a minimum 95 per cent of Standard proctor density.
- The subgrade shall be proof rolled, inspected and approved by the Will County prior to placing the base material. Notify the engineer at least 48 hours prior to finished subgrade preparation.
- The earthwork contractor shall be responsible for removal of spoil material from the underground contractors, preparing the roadway subgrade, proof rolling, placing topsoil to a minimum depth of 4 inches to finished grade in the parkways areas only, grading of drainage swales, and all other tasks as directed by the owner or engineer.
- The quantities contained in these documents are approximate and estimated, and are presented as a guide to the contractor in determining the scope of work. It is the Contractor's responsibility to determine all quantities and to become familiar with the site and soil conditions.
- The paving Contractor is responsible for the final subgrade preparation, proof rolling, the pavement base, binder, and surface, and all final clean-up and related work associated with the paving operation.
- The proposed pavement shall be of the type and thickness as specified in the engineering drawings, and constructed in strict conformance with the previously referenced IDOT standard specifications and Will County.
- Areas of deficient paving, including compaction, smoothness, thickness, and asphalt mixture, shall be delineated, removed, and replaced in compliance with Specifications requirements unless corrected otherwise as directed and approved by the owner.
- Field quality control tests specified herein will be conducted by the owner's Independent Testing Laboratory (ITL) at no cost to the contractor. Any testing and inspection resulting from the requirements of necessary permits by Will County or the State of Illinois shall be at the contractor's expense. The contractor shall perform additional testing as considered necessary by the contractor for assurance of quality control. Retesting required as a result of failed initial tests shall be at the contractor's expense.
  - Field testing, frequency, and methods may vary as determined by and between the owner, the ITL and Will County.
  - Testing shall be performed on finished surface of each asphalt concrete course for smoothness, using 10'-0" straightedge applied parallel with, and at right angles to centerline of paved area. The following tolerances in 10 ft shall not be exceeded: Base Course Surface: 1/4-inch, Wearing Course Surface: 1/8-inch.
  - No ponding shall occur on paved surfaces.

## WATER UTILITY NOTES

- Water mains and services shall be constructed in accordance with the following:
  - "Standard Specifications for Water and Sewer Main Construction in Illinois" (Standard Specifications), Seventh Edition dated 2014 (and all revisions and supplements thereto).
  - All applicable state and local plumbing codes.
  - Additional details and requirements provided in the contract documents, including this plan set.
  - Village of Frankfort watermain codes.
- Where criteria of the aforementioned specifications conflict, the more stringent criteria shall be implemented.
- Contact all public and private utility companies 48 hours prior to any excavation. Cost of replacement or repair of existing utilities damaged as a result of the contractor's operation shall be the contractor's responsibility.
- Water service lines shall be Type K soft temper seamless copper water tubing complying with ASTM B88.
- Service saddles for connecting to PVC pipes shall be full sleeve stainless steel saddles (McDonald Series No. 3805, Mueller Series No. H16000 or equal).
- Curb stops shall be Mueller No. H15204, Mark II Oriseal or equal.
- Service boxes shall be extension type with stationary rods, Mueller series H10300 or equal.
- The minimum cover for all water main and water service pipe is 5'. The maximum cover for all water main and service pipe is 7'.
- All water lines under and within two feet of any existing or proposed street pavement or curb shall be backfilled with IDOT approved granular backfill material.
- Trench backfill shall be placed in lifts not to exceed 12" compacted to 95% of maximum Standard proctor density.
- Water main separation from storm and sanitary sewer shall conform to section 41-2.01 of the Standard Specifications.
- No object may be constructed, maintained or installed within 48 inches of a fire hydrant. No trees, bushes, walls, or other obstacles which may hide or impede the use of a fire hydrant will not be permitted.
- Connections to Existing Mains. All connections to the County water distribution system shall be made under full water service pressure unless otherwise approved by the County Engineer at locations approved by the County Engineer.
- Pressure Test.
  - As part of the construction, the water mains shall be pressure tested in accordance with Section 41-2.12 of the Standard Specifications.
  - All newly laid pipe shall be subjected to a hydrostatic pressure of 150 pounds per square inch. Duration of each pressure test shall be for a period of not less than two hours. Each valved section of pipe shall be filled with water and the specified test pressure shall be applied by means of a pump connected to the pipe.
  - Before applying the specified test pressure, all air shall be expelled from the pipe. All leaks shall be repaired until tight. Any cracked or defective pipes, fittings, valves, or hydrants discovered in consequence of this pressure test shall be removed and replaced and the test repeated until satisfactory results are obtained.
- All testing shall be done after the installation of service lines. Suitable means shall be provided for determining the quantity of water lost by leakage under the specified test pressure in accordance with Section 41-2.14C of the Standard Specifications.
- Disinfection.
  - Water from the existing distribution system or other source of supply shall be controlled so as to flow slowly into the newly laid pipeline during the application of chlorine gas. The rate of chlorine mixture flow shall be in such proportion to the rate of water entering the pipe that the chlorine dose applied to the water entering the newly laid pipe shall be at least forty to fifty ppm, or enough to meet the requirements during the retention period. This may require as much as one hundred ppm of chlorine in the water left in the line after chlorinating.
  - Valves shall be manipulated so that the strong chlorine solution in the line being treated will not flow back into the line supplying the water.
  - Treated water shall be retained in the pipe long enough to destroy all spore-forming bacteria. This retention period shall be at least twenty-four hours. After the chlorine-treated water has been retained for the required time, the chlorine residual at the pipe extremities and at other representative points should be at least ten ppm.
  - In the process of chlorinating newly laid pipe, all valves or other appurtenances shall be operated while the pipeline is filled with the chlorinating agent.
  - All water mains and services shall be disinfected and tested according to the requirements of the Standards for Disinfecting Water Mains, AWWA C601. All disinfection shall be performed by an independent firm exhibiting experience in the methods and techniques of this operation, and shall be approved by the County.
- Final Flushing and Testing.
  - Following chlorination, all treated water shall be thoroughly flushed from the newly laid pipeline at its extremities until the replacement water, throughout its length shall, upon test, be approved as safe water by the County Engineer. This quality of water delivered by the new main should continue for a period of at least two full days as demonstrated by laboratory examination of samples taken from a tap located and installed in such a way as to prevent outside contamination. Samples should never be taken from an unsterilized hose or from a fire hydrant, because such samples seldom meet current bacteriological standards.
  - After disinfecting and flushing, water samples shall be collected by the contractor on two successive days, with notice given, so that the collection may be witnessed by the County. Bacteriological sampling and analysis of the samples shall be performed by a laboratory approved by the Illinois Department of Public Health and the County. Should the initial treatment result in an unsatisfactory bacterial test, the procedure shall be repeated until satisfactory results are obtained. The contractor or developer shall pay for the sampling and analysis. Results of the analysis shall be transmitted by the laboratory directly to the County Engineer. Test results shall indicate the date the sample was collected, the date the analysis was made, the exact locations at which samples were taken, the firm submitting the sample, and the project at which the samples were collected. Sufficient samples shall be collected in order to insure that the system is bacteriologically safe.
- Any areas where solid rock is encountered when laying the water main, approved bedding material shall be used.

## SANITARY SEWER NOTES

- Sanitary Sewer shall be constructed in accordance with the following:
  - "Standard Specifications for Water and Sewer Main Construction in Illinois" (Standard Specifications), Seventh Edition dated 2014 (and all revisions and supplements thereto).
  - All applicable state and local plumbing codes.
  - Additional details and requirements provided in the contract documents, including this plan set.
- Where criteria of the aforementioned specifications conflict, the more stringent criteria shall be implemented.
- Contact all public and private utility companies 48 hours prior to any excavation. Cost of replacement or repair of existing utilities damaged as a result of the contractor's operation shall be the contractor's responsibility.
- The contractor shall field verify the elevations of the benchmarks prior to commencing work. The contractor shall also field verify location, elevation and size of existing utilities, and verify floor, curb or pavement elevations where matching into existing work. The contractor shall field verify horizontal control by referencing shown coordinates to known property lines. Notify engineer of discrepancies in either vertical control prior to proceeding with work.
- Refer to building plans for exact locations of new utility entries.
- Install cleanouts and manholes in accordance with the standard details in this plan set and with the aforementioned standard specifications. The contractor shall adjust all cleanouts and manhole castings to final grade as defined in this plan set.
- Cap ends of any conduits installed and mark ends.
- All sanitary sewers under and within two feet of any existing or proposed pavement shall be backfilled with granular backfill material IDOT gradation FA-6 or approved equal (grade 8 or grade 9).
- Sanitary sewer services shall be 6" watermain quality SDR 26 PVC in accordance with ASTM D2241. All services shall be sloped from the main at 1" minimum unless otherwise noted.
- Joints for all sanitary sewer shall conform to ASTM D-3212 for PVC pipe. Pipes shall be joined by means of a flexible gasket. Gaskets for PVC pipe joints shall be in conformance with ASTM A21.11-79 (AWWA C111).
- All new sanitary manholes shall be vacuum tested in accordance with ASTM C1244.
- All utility and service trenches within three (3) feet of paved surfaces, or at a distance specified by the Engineer, shall be backfilled with CA-7 (Virgin Crushed Limestone). FA-6 (clean beach sand) material shall be used in all other unpaved locations.
- Disconnection of existing services shall be by means of cutting out existing wye or tee and replacing with a straight piece of equal size pipe and making the final connection with non-shear mission couplings. Disconnection of all services must be performed prior to the demolition of an existing structure.
- Existing services to be abandoned shall be filled or removed.
- Infiltration testing.
  - It is the intent of this title to secure a sewer system with a minimum amount of infiltration. The maximum allowable infiltration shall not exceed two hundred gallons per inch of diameter of sewer per mile per twenty-four hour day at any time for any section of the system. The joints shall be tight and any joint with visible leakage or leakage in excess of the amount specified above shall be repaired at the contractor's expense.
  - The repair must be of a permanent nature and of a quality equal to initial work which is constructed in conformance with the applicable specifications.
  - Immediately after the completion of the sewer trench, including stubs, shall be inundated to normal ground water level or eighteen inches above the top of sewer pipe, whichever is higher. At that time, infiltration tests shall be made to determine compliance with the allowable infiltration criteria. To measure the amount of infiltration, the contractor shall furnish, install, and maintain a v-notch shape crested weir in a metal frame tightly secured at the lower end of each sewer test section as directed by the Will County engineer or his / her authorized representative. The Will County engineer or his / her authorized representative will check the infiltration by measuring the flow over such weirs. When infiltration is demonstrated to be within the allowable limits, the contractors shall remove such weirs.
- Exfiltration testing:
  - If during the construction of the sewer system the engineer determines that it is impractical to obtain a proper infiltration test, then a test for watertightness shall be made by bulkheading the sewer at the manhole at the lower end of the section under test and filling the sewer with water to eighteen inches above the top of the sewer in the manhole at the upper end of the section. Leakage will then be the measured amount of water added to maintain the above described level at a maximum allowable exfiltration rate of two hundred gallons per inch of diameter of sewer per mile per twenty-four hour day at any time for any section of the system.
- Air testing:
  - In lieu of infiltration or exfiltration testing, the Will County engineer may permit air testing in accordance with ASTM C828.
- Deflection testing for flexible conduit
  - All sanitary sewer pipe shall be deflection tested after 30 days following final backfill operations.
  - If the deflection test is to be run using a rigid bar or mandrel, it shall have a diameter equal to 95% of the base diameter of the pipe as described in ASTM D3034. The test shall be performed without mechanical pulling devices.
  - Wherever possible and practical, the testing shall initiate at the downstream lines and proceed towards the upstream lines.
  - Maximum allowable pipe deflection is 5%. Where deflection is found to be in excess of 5% of the original pipe diameter, the contractor shall excavate to the point of excess deflection and carefully compact around the point excess deflection was found. The line shall then be retested for deflection. If after the initial testing the deflected pipe fail to return to the original size (inside diameter), the line shall be replaced at the contractor's expense.
- All new sanitary manholes shall be vacuum tested in accordance with ASTM C1244.

## STORM SEWER NOTES

- Storm sewer shall be constructed in accordance with the following:
  - "Standard Specifications for Water and Sewer Main Construction in Illinois" (Standard Specifications), Seventh Edition dated 2014 (and all revisions and supplements thereto).
  - Standards and requirements of Will County.
  - Additional details and requirements provided in the contract documents, including this plan set.
- Where criteria of the aforementioned specifications conflict, the more stringent criteria shall be implemented.
- All storm sewer pipe shall be reinforced concrete pipe unless otherwise specified in this plan set.
- All storm sewer system elements shall conform to the following specifications:
  - Storm pipe:
    - Reinforced circular concrete pipe (12" diameter and larger) shall be Class III (minimum), wall B, in accordance with ASTM C76.
    - Polyvinyl Chloride (PVC) pipe shall conform with ASTM D3034.
  - Joints for storm pipe:
    - Reinforced concrete pipe shall be in accordance with ASTM CA43 ("O" ring).
    - PVC shall be solvent welded joints per ASTM D2855 or flexible elastomeric seals per ASTM D3212.
  - Manholes and Catch Basins:
    - Manholes and catch basins shall be precast reinforced concrete in accordance with ASTM C478.
  - Adjusting rings:
    - C.2.a. No more than 2 precast concrete adjusting rings shall be allowed.
    - C.2.b. Precast concrete adjusting rings shall have a maximum height of 8 inches.
  - For pipe and frame seals, all pipe connection openings shall be precast with resilient rubber watertight pipe to manhole sleeves or seals. External flexible watertight sleeves shall also extend from the manhole cone to the manhole frame.
  - All bottom sections shall be monolithically precast including bases and invert flowlines.
- Castings (Unless otherwise noted within the plans):
  - Curb inlets / catch basins: Neenah R3502-D
  - Depressed curb inlets / catch basins: R-3506-A2
  - Catch basin / manhole type "D":
    - Grate: Neenah R-2504 ("Open" manholes only)
    - Frame: Neenah R-1713
  - Catch basin (unpaved areas; "beehive"): Neenah R-4340-B
- Inspect pipe for defects and cracks before being lowered into the trench, piece by piece. Remove and replace defective, damaged or unsound pipe or pipe that has had its grade disturbed after laying. Protect open ends with a stopper to prevent earth or other material from entering the pipe during construction. Remove dirt, excess water, and other foreign materials from the interior of the pipe during the pipe laying progress.
- Install pipe in accordance with manufacturer's written recommendations.
- Commence installation at the lowest point for each segment of the route. Lay RCP with the groove or bell end up-stream.
- Lay pipe to the required line and slope gradients with the necessary fittings, bends, manhole, risers and other appurtenances placed at the required location as noted on Drawings.
- All utility and service trenches within three (3) feet of paved surfaces, or at a distance specified by the Engineer, shall be backfilled with CA-7 (Virgin Crushed Limestone). FA-6 (clean beach sand) material shall be used in all other unpaved locations.
- Compact backfill to 98 percent of maximum density in accordance with ASTM D698, (or 95 percent of maximum density, in accordance with ASTM D1557) obtained at optimum moisture as determined by AASHTO T180.
- Do not backfill trenches until required tests are performed and utility systems comply with and are accepted by applicable governing authorities.
- Backfill trenches to contours and elevations shown on the drawings.

## EARTHWORK NOTES

- A geotechnical exploration has been performed for this development. Reference Report of Geotechnical Exploration performed by APEC, Job Number 2020-046 (Collins, P.E.).
- Unsuitable Materials:
  - Assume that if unsuitable materials are encountered and the replacement of these materials is required, this situation shall be handled as follows:
    - The site contractor shall notify the general contractor immediately. The project superintendent, prior to the undercutting being completed, shall approve any additional undercutting. The quantities shall be verified by the engineer as the additional removal is being completed.
    - If approved by the engineer, the materials shall be removed and replaced with compacted granular materials and compacted in accordance to required standards. The cost of this work shall be an extra to the contract, with the cost being adjusted by change order.
    - If the site contractor is furnishing any off site materials, a representative sample of such materials shall be furnished to the general contractor's approved testing agency to determine a proctor.
  - These materials shall be placed as homogeneously as possible to facilitate accurate compaction and moisture testing.
- Definition for materials
  - "Organic material" is defined as material having an organic content in excess of 8% or as determined by the project owner's engineer.
  - Topsoil shall be friable and loamy (loam, sandy loam, silt loam, sandy clay loam, or clay loam).
    - Sand content shall generally be less than 70% by weight.
    - Clay content shall generally be less than 35% by weight.
    - Organic soils, such as peat or muck, shall not be used as topsoil.
  - Topsoil shall be relatively free from large roots, weeds, brush, or stones larger than 25 mm (1 inch). At least 90% shall pass the 2.00 mm (no. 10) sieve.
  - Topsoil pH shall be between 5.0 and 8.0. Topsoil organic content shall not be less than 1.5% by weight. Topsoil shall contain no substance that is potentially toxic to plant growth.
  - "Existing on-site material within moisture content limits" is defined as material of such a quality that the specified compaction can be met without any additional work other than "densifying" with a roller. Scarification and drying of this material will not need to be done prior to compaction.
  - "Existing on-site material NOT within moisture content limits" is defined as material with a high moisture content that can not meet specified compaction requirements without scarification and drying, chemical stabilization, etc. of this material prior to compaction.
- "Unsuitable material" is defined as any materials that:
  - Cannot be utilized as "topsoil" (organic) for landscape areas.
  - Cannot be utilized as "engineered fill" regardless of moisture content and / or does not structurally meet the standards of the project owner's engineer's recommendations for "engineered fill".
  - Can be defined as natural materials or materials from "demolition" and / or excavated areas (i.e., materials that would not be suitable for "engineered fill").
- "Off-site material" is defined as any materials that are brought from any area not indicated on this plan set.
  - "Trench backfill" shall be defined as any materials used for the purposes of backfilling any trench and / or any excavation requiring backfilling. Refer to "Standards for fill areas" to determine acceptable materials and procedures.
  - The term "stripping" or "strip" as used herein shall be defined as the removal of all "organic materials" from a given area. The term "organic materials" is defined as material having an organic content over 8% based on ASTM D2974, or as defined by the owner's engineer.
- Standards for cut areas:
  - A "cut area" is defined as any area where "engineered fill" is not required to bring the site to design subgrade elevation. Instead, excavation or "cutting" is required to achieve design subgrade elevation ("engineered fill" being defined as any material being "offsite material").
  - In "cut areas" the site contractor shall perform one of the following procedures at the discretion and in the presence of a representative of the owner's engineer and the project architect:
    - For exposed building or parking lot subgrades consisting primarily of granular soils, the exposed subgrade should be compacted / densified by at least one (1) pass of a smooth-drummed vibratory roller having a minimum gross weight of 10 tons.
    - For exposed building or parking lot subgrades consisting primarily of cohesive soils, the exposed subgrades should be proof-rolled with a fully-loaded six-wheel truck having a minimum gross weight of 25 tons. The maximum allowable deflection under the specified equipment shall be 1/2".
  - In the event that adequate stability of granular soils subgrades cannot be achieved by the procedures as outlined in item 1 above, or that deflections greater than 1/2" are observed during the "proof rolling" of cohesive soils subgrades (as outlined in item 2 above) additional corrective measures will be required. These measures could include, but not necessarily be limited to, scarification, moisture conditioning, re-compaction, undercutting and replacement with engineered fill.
  - It shall be considered as part of the scope of these documents (and thus part of this contractor's responsibility) to perform scarification and drying of the subgrade per Illinois Department of Transportation (IDOT) standards (scarify a 16" depth for 3 days). If this does not work then additional drying measures shall be an extra to the contract.
- Any proposed corrective measures by the contractor should be reviewed by the owner's engineer and the project architect. In the event that in the opinion of the owner's engineer and / or the project architect proof rolling is not a good indicator of the subgrade stability, an alternative method shall be specified by the owner's engineer and / or the project architect.
- Standards for fill areas:
  - A "fill" area is defined as any area where material is required to adjust the existing elevation to a proposed subgrade elevation (these areas require installation of "engineered fill" to achieve design subgrade elevation). "Engineered fill" material can be defined as either "granular soil" or "soil" that is either from the construction site or is "offsite material". Materials having their origin from the construction site is referred to as "borrow". The composition and the compaction standards of the engineered fill for this project will be specified by owner's engineer and the project architect.
  - In "fill" areas, "borrow" materials are allowed to be utilized as engineered fill such that the site contractor compacts the "borrow" areas to the specified compaction.
- Compaction standards (for engineered fill and back filled areas)
  - Prior to placement of fill in areas below the design grade, the exposed subgrade should be observed by a representative of the owner's engineer to evaluate that adequate stripping has been performed. Additionally, the proof rolling or compacting procedures outlined in the "standards for cut areas" section of these notes should be performed. It is typical practice to proof roll (and densify if necessary) exposed subgrades prior to filling. If soft or unstable subgrades are observed, these areas should be stabilized or undercut. Minimum compaction standards are based upon a percentage of the fill or backfill material's maximum standard proctor dry density (ASTM D698). All engineered subgrades should meet the following minimum compaction:
    - Areas under foundations bases:
      - 95% standard proctor for all fill placed below foundation base elevation in the building area.
    - Areas under floor slabs and above foundations/footing bases:
      - 95% standard proctor for all fill placed more than 12 inches below final grade for support of floor slabs and above foundation base elevation in the building area.
    - Areas under pavement sections:
      - 95% standard proctor for all fill placed more than 12 inches below passenger car pavement sections and 95% standard proctor for the top 12 inches.
  - Landscape areas:
    - 90% standard proctor for all fill placed in landscape areas. These areas should be brought to grade with "topsoil" to a depth of 12 inches in areas to be seeded, 6 inches in areas to be sodded, and 24 inches for all interior curbed landscape islands.
  - Base course portion of pavement sections:
    - 95% standard proctor for all base course materials that are part of a "pavement section".
- The option of utilizing the modified proctor (ASTM D1557) in lieu of the specified standard proctor (ASTM D698) shall be at the discretion of the general contractor, contingent upon written approval by the architect and owner's engineer.
- All backfill and fill materials shall be placed in lifts not greater than 8" in loose depth. Before compacting, moisten or aerate each layer as necessary to provide optimum moisture content. Compact each layer to required percentage of maximum density of the area.
- Finish grading:
  - The term "finish grading" as used herein shall be defined as that condition that areas not receiving a finish product such as parking areas, driveways, roadways, sidewalks, etc. Finish graded areas would generally be those areas receiving "landscaping" such as seed, sod, trees, bushes, mulch, etc.
  - The site contractor is responsible for "finish grading" all areas within the perimeter of the "construction site". The definition of the "construction site" is the area encompassing all disturbed areas that were disturbed as a result of the construction process relating to the general contract of which this site contract was part of.

## DEMOLITION NOTES

- The contractor shall be responsible for the demolition and removal of all items that impede the proper placement of any items proposed by this plan set.
- The removal work shall include but not be limited to: obtaining all demolition permits required, removal of the existing trees, sealing of the existing water well(s), removal any septic system or dry wells (if any) and other items to complete the removals.
- The contractor shall remove all materials deemed unsuitable by the engineer within eight inches of the proposed building footprint to the depth that such unsuitable materials exist. Voids shall be filled in accordance with the "Earthwork Notes" on this plan sheet.
- Tree removal shall include the complete removal of all stumps and roots.
- The contractor shall coordinate disconnection, removal, and relocation of the existing utilities with the appropriate utility companies. The contractor shall be responsible for all fees that are levied by utility companies in conjunction with demolition and removal of existing utilities.
- Disposal of all materials shall comply with all local, state, and federal regulations. All waste material shall be disposed of off-site. The contractor shall be responsible for the removal of all materials from the site, including all associated permits and regulatory requirements.
- The contractor shall be familiar with the appropriate specifications for well abandonment, materials, procedures, and access to equipment required to properly seal wells (if any). The contractor shall be responsible to obtain, complete, and file the appropriate forms through Will County and the Illinois Environment Protection Agency (IEPA).
- The contractor shall maintain all existing utility services to adjacent lots. Interruption of services to adjacent lots shall not occur without proper approval. A minimum of 48 hours notice shall be given to the property owners prior to the connection of the new services. The contractor shall be responsible for costs associated with the connection of temporary utility services, if required, to facilitate construction staging.
- The contractor shall ensure that all existing parking, sidewalks, drives, etc., are free and clear of any construction activity and / or excavated and hauled material to ensure easy and safe pedestrian and vehicular traffic to and from adjacent sites.
- The contractor shall perform a full-depth saw cut along the perimeter of pavement removal that abuts existing pavement that is to remain.
- Any damage sustained by items that are to remain in place shall be repaired or replaced to the owner's satisfaction at no cost to the owner.



PROJECT NAME  
OWNER'S NAME

## CIRCLE K FRANKFORT

7654 W LINCOLN HWY  
FRANKFORT, IL 50423  
WILL CO.

RDK VENTURES LLC  
500 WARRENVILLE ROAD  
LISLE, IL 60532  
(815) 762-4861

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## GENERAL NOTES

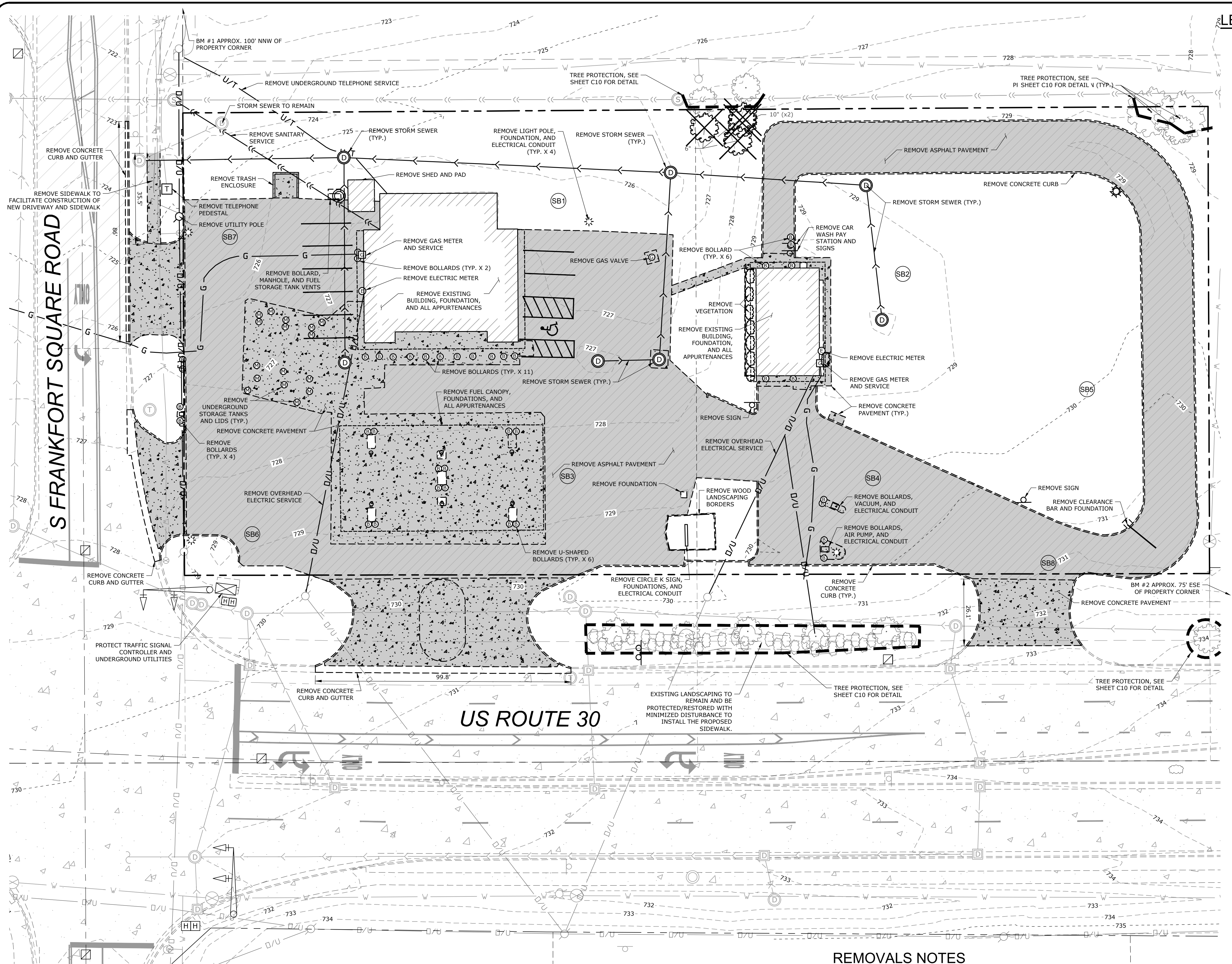
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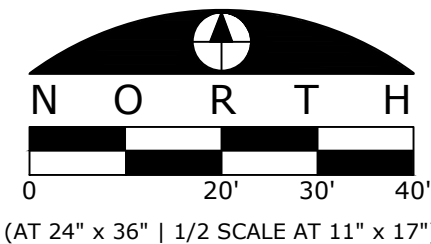


## LEGEND

	PROPERTY LINE
	LOT LINE
	EXISTING RIGHT-OF-WAY
	CENTERLINE
	SECTION LINE
	EXISTING EASEMENT LINE
	EXISTING SETBACK LINE
	EXISTING PAVEMENT TO REMAIN
	EXISTING PAVEMENT TO BE REMOVED
	EXISTING STRIPING
	EXISTING STRIPING TO BE REMOVED
	EXISTING SANITARY SEWER TO REMAIN
	EXISTING SANITARY SEWER TO BE REMOVED
	EXISTING STORM SEWER TO REMAIN
	EXISTING STORM SEWER TO BE REMOVED
	EXISTING WATER TO REMAIN
	EXISTING WATER TO BE REMOVED
	EXISTING OVERHEAD UTILITIES TO REMAIN
	EXISTING OVERHEAD UTILITIES TO BE REMOVED
	EXISTING GAS LINE TO REMAIN
	EXISTING GAS LINE TO BE REMOVED
	EXISTING TELECOMMUNICATIONS LINE TO REMAIN
	EXISTING TELECOMMUNICATIONS LINE TO BE REMOVED
	EXISTING CONTOUR LINE
	EXISTING ASPHALT PAVEMENT TO BE REMOVED
	EXISTING ASPHALT PAVEMENT TO REMAIN
	EXISTING CONCRETE PAVEMENT TO BE REMOVED
	EXISTING CONCRETE PAVEMENT TO REMAIN
	"TYPICAL" FOR ALL SIMILAR ITEMS
	EXISTING SIGN TO REMAIN
	EXISTING SIGN TO BE REMOVED
	BENCHMARK
	EXISTING BOLLARD TO REMAIN
	EXISTING WATER UTILITIES TO REMAIN
	EXISTING UTILITY POLE AND GUY WIRE TO REMAIN
	EXISTING UTILITY POLE TO BE REMOVED
	EXISTING GAS METER TO BE REMOVED
	EXISTING TELEPHONE PEDESTAL TO REMAIN
	EXISTING TELEPHONE PEDESTAL TO BE REMOVED
	EXISTING ELECTRIC METER TO BE REMOVED
	EXISTING STORM SEWER TO REMAIN
	EXISTING GUTTER DOWNSPOUT TO BE REMOVED
	EXISTING STORM SEWER TO BE REMOVED
	EXISTING SANITARY SEWER TO REMAIN
	EXISTING TELECOMMUNICATION MANHOLE TO REMAIN
	EXISTING TRAFFIC SIGNAL MAST ARM
	EXISTING HANDHOLES
	EXISTING TRAFFIC SIGNAL CONTROLLER
	EXISTING LIGHT POLE TO BE REMOVED
	EXISTING SHRUBS TO REMAIN
	EXISTING SHRUBS TO BE REMOVED
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN
	APPROXIMATE SOIL BORING LOCATION
	EXISTING TREE TO REMAIN WITH TREE PROTECTION FENCING (AS NECESSARY)

## REMOVALS NOTES

- COORDINATE ALL UTILITY REMOVALS WITH THE APPROPRIATE UTILITY PROVIDER. NOT ALL UNDERGROUND UTILITIES MAY BE SHOWN ON SURVEY.
- COORDINATE WORK WITHIN THE US-30 RIGHT-OF-WAY WITH IDOT.
- COORDINATE WORK WITHIN SOUTH FRANKFORT SQUARE ROAD WITH WILL COUNTY.



## BENCHMARKS (IL STATE PLANES - EAST ZONE, NAVD 88 DATUM)

<b>BENCHMARK 1</b> (N 1763479.88, E 1129523.15) BOLT IN "MUELLER" ON FIRE HYDRANT LOCATED APPROXIMATELY 350' NORTH OF THE CL OF US-30 AND 25' WEST OF THE CL OF S FRANKFORT SQUARE ROAD	721.81
<b>BENCHMARK 2</b> (N 1763181.85, E 1130010.91) NW BOLT ON FIRE HYDRANT LOCATED APPROXIMATELY 55' NORTH OF CL OF US-30 AND 510' EAST OF CL OF S FRANKFORT SQUARE ROAD	733.97

**ARC DESIGN**  
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## REMOVALS PLAN

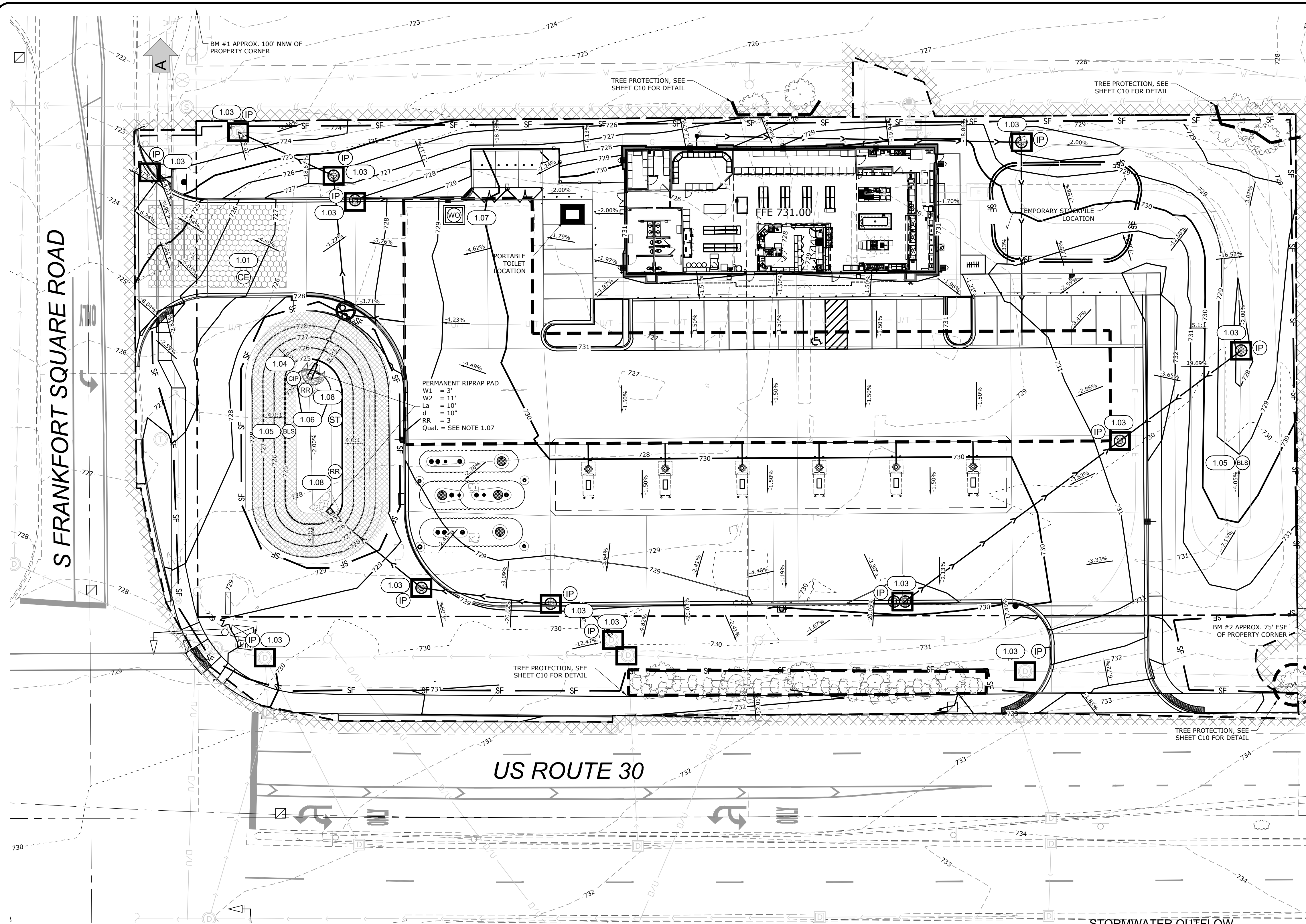
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### LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- CENTERLINE
- SECTION LINE
- EXISTING EASEMENT LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- LIMITS OF DISTURBANCE
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- STORM STRUCTURE
- DIRECTION OF OVERLAND FLOOD ROUTE
- DIRECTION OF OVERLAND FLOW AND SLOPE
- TURF AREA (SEE LANDSCAPING PLAN FOR TYPE)
- SEE SPECIFIC KEY NOTE ON THIS SHEET
- EXISTING TREE TO REMAIN WITH TREE PROTECTION FENCING (AS NECESSARY)

### EROSION DETAILS (SEE SWPPP DETAILS SHEET FOR ITEMS BELOW)

1.01	CE	[Symbol]	TEMPORARY STONE CONSTRUCTION EXIT
1.02	SF	[Symbol]	TEMPORARY SILT FENCE
1.03	IP	[Symbol]	INLET PROTECTION PER STRUCTURE TYPE
1.04	CIP	[Symbol]	CULVERT INLET PROTECTION (H = 1' MIN.)
1.05	BLS	[Symbol]	SHORT TERM SLOPE EROSION CONTROL BLANKET DURING CONSTRUCTION ACTIVITIES
1.06	ST	[Symbol]	TEMPORARY SEDIMENT TRAP
1.07	WO	[Symbol]	CONCRETE WASHOUT
1.08	RR	[Symbol]	RIP-RAP PAD (SEE PLAN FOR RIP-RAP DIMENSIONS) PLACE PERMANENT RIP-RAP IMMEDIATELY FOLLOWING THE REMOVAL OF TEMPORARY BMP'S

### EROSION CONTROL REFERENCE NOTES

1.01 SEE CONSTRUCTION ENTRANCE DETAIL IN SWPPP BINDER. THE CONSTRUCTION EXIT SHALL BE A MINIMUM OF 24" IN WIDTH AND 50' FEET IN LENGTH FROM EXISTING PAVED SURFACE. ALL CONSTRUCTION TRAFFIC MUST UTILIZE CONSTRUCTION EXITS PER DETAIL TO ACCESS THE PUBLIC ROAD. DURING CONSTRUCTION, THE CONSTRUCTION EXITS MAY BE SHIFTED AT THE CONTRACTOR'S DISCRETION TO FACILITATE GRADING OPERATION. EXIT MUST TERMINATE AT EXISTING PAVED SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE RUNOFF FROM THE CONSTRUCTION EXIT IS DIRECTED BACK TOWARD THE SITE OR THAT THE RUNOFF IS CLEAR OF SEDIMENT.

1.02 THE CONTRACTOR MAY PERMANENTLY REMOVE ANY PORTION OF THE PERIMETER SILT FENCE AFTER ESTABLISHMENT OF FINAL GRADE AND/OR FINAL STABILIZATION RENDERS THE RESPECTIVE PORTION OF THE PERIMETER SILT FENCE UPSTREAM OF A DISTURBANCE AND/OR INEFFECTIVE AS A BEST MANAGEMENT PRACTICE. ANY SUCH REMOVAL SHALL BE NOTED ON THE SWPPP SITE MAPS ALONG WITH UPSTREAM STABILIZATION AND GRADING CONDITIONS.

1.03 NO STRUCTURE SHALL BE ALLOWED TO BE PROTECTED WITH ANY MEASURE OTHER THAN THOSE DETAIL IN THIS SWPPP SITE MAP FOR MORE THAN 48 HOURS OR IF RAIN IS IMMINENT. STRUCTURES THAT WILL NOT RECEIVE A CASTING WITHIN 48 HOURS OF INSTALLATION SHALL RECEIVE INLET PROTECTION. UPON INSTALLATION OF THE GRATE, INLET PROTECTION SHALL BE INSTALLED RESPECTIVE TO THE TYPE OF GRATE. STRUCTURES WITH CLOSED LIDS WILL NOT REQUIRE PROTECTION FOLLOWING INSTALLATION OF LID. CONTRACTOR SHALL NOTE TIME OF STRUCTURE INSTALLATION (AND PROTECTION INSTALLATION, INCLUDING TYPES OF PROTECTION) ARE EMPLOYED. WHENEVER PIPE INSTALLATION IS HALTED FOR MORE THAN 24 HOURS OR WHEN RAIN IS IMMINENT, THE OPEN END SHALL BE PROTECTED WITH A TEMPORARY BULK HEAD. A 34" SHEET OF PLYWOOD THAT EXTENDS 6" BEYOND THE OUTSIDE DIAMETER OF THE PIPE SHALL BE PLACED AGAINST THE EXPOSED PIPE END. GRAVEL SHALL BE PLACED AGAINST THE PLYWOOD IN SUFFICIENT QUANTITY SO AS TO ENSURE THE TIGHTEST POSSIBLE SEAL. THE TRENCH SHALL BE DEWATERED PRIOR TO REMOVING THE BULKHEAD.

1.04 CIP SHALL BE PLACED TO PROTECT THE UPSTREAM END OF THE PERMANENT OUTFALL PIPE PRIOR TO PIPE INSTALLATION. CIP SHALL NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ACHIEVED.

1.05 SHORT TERM EROSION CONTROL FABRIC NAG SC150 SHALL BE APPLIED TO ALL SLOPES 4:1 OR STEEPER THAN 4:1 PRIOR TO PERMANENT SEEDING. FOLLOW MANUFACTURER SPECIFICATIONS FOR INSTALLATION. CONTRACTOR SHALL NOTE ALL AREAS WHERE NAG SC150 HAS BEEN INSTALLED RELATIVE TO ASBUILT GRADERS AND FURNISH THESE BOUNDARIES TO THE CIVIL ENGINEER UPON REQUEST. PERMANENT SEEDING SHOULD BE PLANTED AS SOON AS IT IS PRACTICAL. TO ENSURE PROPER GERMINATION PRIOR TO TERMINATION OF PERMIT COVERAGE, THE CONTRACTOR SHALL PLANT PERMANENT SEEDINGS AS SPECIFIED ON THE LANDSCAPING PLAN AS SOON AS FINAL BASIN GRADES ARE ESTABLISHED AS SPECIFIED ON THE GRADING PLAN. SEE SITE LANDSCAPING PLAN FOR EXACT GROUND COVER TYPE AND LOCATION.

1.06 PROVIDE TEMPORARY SEDIMENT TRAP IN LOCATION OF DETENTION UNTIL DETENTION IS CONSTRUCTED. SEE CONSTRUCTION SPECIFICATION AND DEWATERING DETAIL INCLUDED IN SWPPP BINDER

1.07 SEE DETAIL IUM-654BW. THE USE OF THE CONSTRUCTION AREA WASHOUTS IN IUM-654SB AND IUM-643-ET OR APPROVED EQUIVALENT IS ALSO ALLOWABLE. CONCRETE WASHOUT AREA MAY BE RELOCATED AS NECESSARY AS CONSTRUCTION PROGRESSES.

1.08 SEE DETAIL IL-611 FROM THE ILLINOIS URBAN MANUAL. STONE FOR RIPRAP SHALL CONSIST OF FIELD STONE OR ROUGH UNHEWN QUARRY STONE. THE STONE SHALL BE HARD AND ANGULAR AND A QUALITY THAT WILL NOT DISINTEGRATE UPON EXPOSURE TO WATER OR WEATHERING. THE SPECIFIC GRAVITY OF THE INDIVIDUAL STONE SHALL BE AT LEAST 2.5. THE MEDIAN SIZE OF THE STONE SHALL BE 5 INCHES. RECYCLED CONCRETE EQUIVALENT MAY BE USED IN LIEU OF STONE PROVIDED IT HAS A DENSITY OF AT LEAST 150 POUNDS PER CUBIC FOOT, AND DOES NOT HAVE ANY EXPOSED STEEL OR REINFORCING BARS.

### SWPPP INFORMATION SIGN

3" (SUGGESTED SIZE TO DISPLAY NEEDED LETTERING AND NOTICES)

#### SWPPP INFORMATION

COPY OF NOI

DETAILED DESCRIPTION OF THE LOCATION OF THE SWPPP DOCUMENTATION (CERTIFICATIONS, INSPECTION FORMS, AND SITE MAPS) ON THE SITE. IF DOCUMENTATION IS NOT ON SITE, A DETAILED SET OF DIRECTIONS MUST BE GIVEN TO THE DOCUMENT LOCATION. SWPPP DOCUMENTS MUST BE AVAILABLE FOR INSPECTION WHILE CONSTRUCTION ACTIVITY IS PRESENT.

CONTACT INFORMATION (NAME AND PHONE NUMBER) MUST BE DISPLAYED FOR THE PERSON(S) RESPONSIBLE FOR SWPPP IMPLEMENTATION AND MAINTENANCE, AND FOR THE PERSON(S) RESPONSIBLE FOR KEEPING THE SWPPP DOCUMENTS (IF OTHER THAN THE PERSON NAMED RESPONSIBLE FOR SWPPP IMPLEMENTATION).

3" (SUGGESTED) INCREASE AS REQUIRED WHEN ADDITIONAL NOTICES ARE APPLICABLE

\*SWPPP INFORMATION MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.

SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).

### SITE DESCRIPTION

**SITE LOCATION:**  
LOCATED AT 7600 US-30 (NE CORNER OF US-30 AND S FRANKFORT SQUARE ROAD), FRANKFORT, WILL COUNTY, IL, 60423, BEING A PORTION OF THE NW QUARTER OF SECTION 24, RANGE 12E OF THE THIRD PRINCIPAL MERIDIAN.  
LATITUDE: 41.506839  
LONGITUDE: -87.506839

**ADJACENT PROPERTIES:** THE SITE IS BORDERED BY A VACANT LOT TO THE NORTH, A BANK TO THE EAST, A RESIDENTIAL NEIGHBORHOOD TO THE SOUTH, AND A COMMERCIAL DEVELOPMENT TO THE WEST.

**SITE TOPOGRAPHY:** THE SITE GENERALLY SLOPES DOWN FROM THE SOUTH TO THE NORTH OF THE LOT. THE EXISTING SITE IS A CIRCLE K GAS STATION, CONVENIENCE STORE, AND CAR WASH. THE EXISTING SITE CONSISTS OF ROOFTOPS AND LANDSCAPED AND PAVED SURFACES.

**RAINFALL INFORMATION:** THE TOTAL AVERAGE ANNUAL RAINFALL FOR THE PROJECT AREA IS APPROXIMATELY 41 INCHES.

**POST-CONSTRUCTION CONDITIONS:** POST-CONSTRUCTION RUNOFF COEFFICIENT OF THE SITE: 0.75 (IMPERVIOUS C = 0.95, PERVIOUS C = 0.45).

**TOTAL SITE AREA:** LIMITS OF SITE = 1.66 ACs  
SITE IMPERVIOUS AREA: 1.00 ACs  
SITE SEEDED AREA: 0.66 ACs

**LIMITS OF DISTURBANCE:** ± 2.03 ACs

**ENVIRONMENTAL PERMITS - OTHER THAN NPDES, STORMWATER AND/OR EROSION AND SEDIMENT CONTROL:** WETLANDS-NONE

**THREATENED AND ENDANGERED SPECIES:** THERE ARE NO KNOWN ISSUES RELATED TO THREATENED AND ENDANGERED SPECIES

**HISTORICAL PROPERTIES:** THERE ARE NO KNOWN ISSUES RELATED TO HISTORICAL PRESERVATION

- ### SEQUENCE OF CONSTRUCTION
1. PLACE SWPPP BOX ON SITE. SWPPP BOX SHALL CONTAIN A COPY OF THE LETTER OF COVERAGE AND ILLINOIS GENERAL PERMIT. SWPPP BOX SHALL CONSIST OF LARGE MAILBOX WITH THE LETTERS "SWPPP" ON THE SIDES. MAILBOX SHALL BE SUPPORTED BY A 4"x4" POST IN A 5-GALLON BUCKET OF CONCRETE, TO ALLOW THE BOX TO BE PORTABLE AND REUSABLE.
  2. PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL, AND MATERIAL STORAGE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
  3. CONSTRUCT THE SILT FENCES ON THE SITE. INSTALL INLET PROTECTION DEVICES IN EXISTING STRUCTURES.
  4. DEMOLISH BUILDINGS.
  5. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENuded AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
  6. CONSTRUCT TEMPORARY SEDIMENT TRAP AND INSTALL OUTLET CONTROL PROTECTION AND LEVEL SPREADER.
  7. INSTALL UTILITIES, UNDERDRAINS, AND STORM SEWERS. INSTALL INLET PROTECTION CONCURRENTLY.
  8. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
  9. PREPARE AREA OF SITE FOR PAVING FOR PARKING AREAS.
  10. PAVE AREA OF SITE.
  11. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
  12. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

### STORMWATER OUTFLOW CONTRIBUTING AND RECEIVING WATERS

**FROM SITE - DRAINAGE AREA "A" (1.67 ACRES)**  
CONSISTING OF LANDSCAPED AREAS, PAVED AREAS AND BUILDINGS. ALL FLOWS TREATED BY PERIMETER AND INTERMEDIATE BMP'S AND TRANSPORTED VIA OVERLAND FLOW AND UNDERGROUND STORM SEWER. THIS DRAINAGE AREA ULTIMATELY DRAINS TO THE PUBLIC UNDERGROUND STORM SEWER IN THE SOUTH FRANKFORT SQUARE RIGHT OF WAY.

**TO RECEIVING WATERS - ULTIMATELY CONVEYED TO THE HICKORY CREEK, LOCATED APPROXIMATELY 1.0 MILES TO THE WEST OF THE SITE.**

**NORTH**

0 20' 30' 40'

(AT 24" x 36" | 1/2 SCALE AT 11" x 17")

### ARC DESIGN RESOURCES INC.

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PROJECT NAME  
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### SWPPP PLAN

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PROJECT NUMBER  
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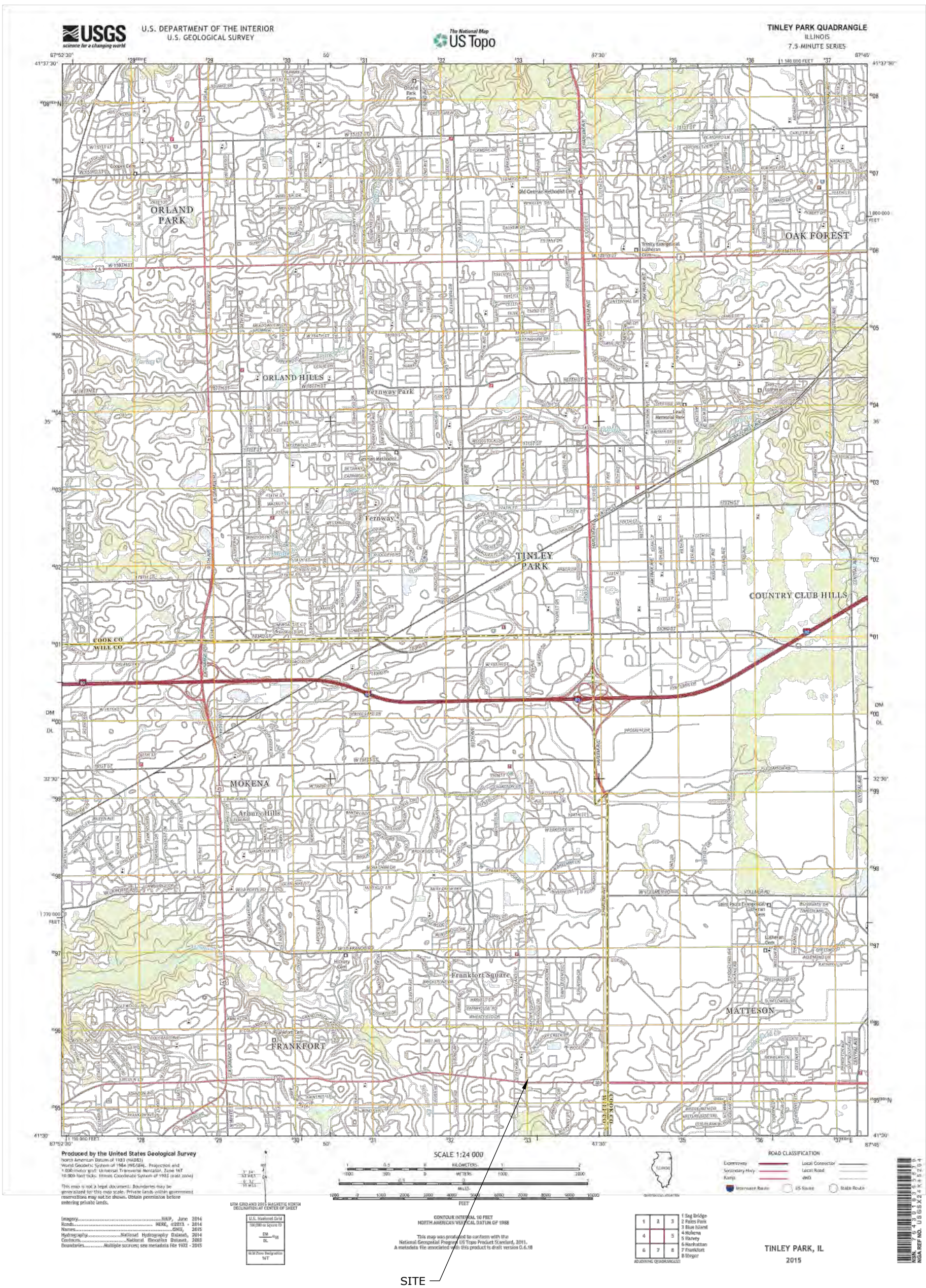
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\*\*ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DIRECTED BY THE VILLAGE ENGINEER\*\*



USGS TOPOGRAPHICAL MAP



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SWPPP (2)

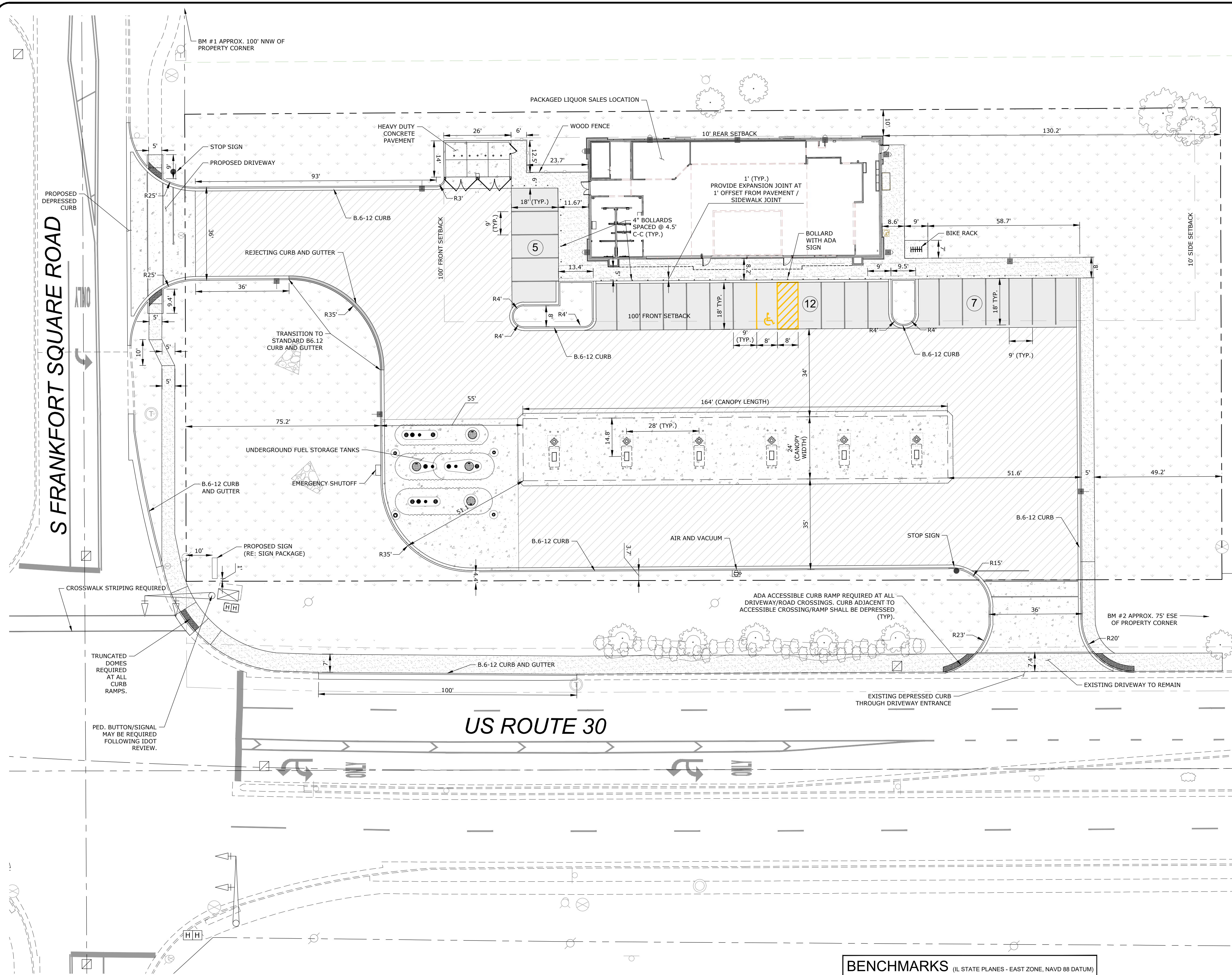
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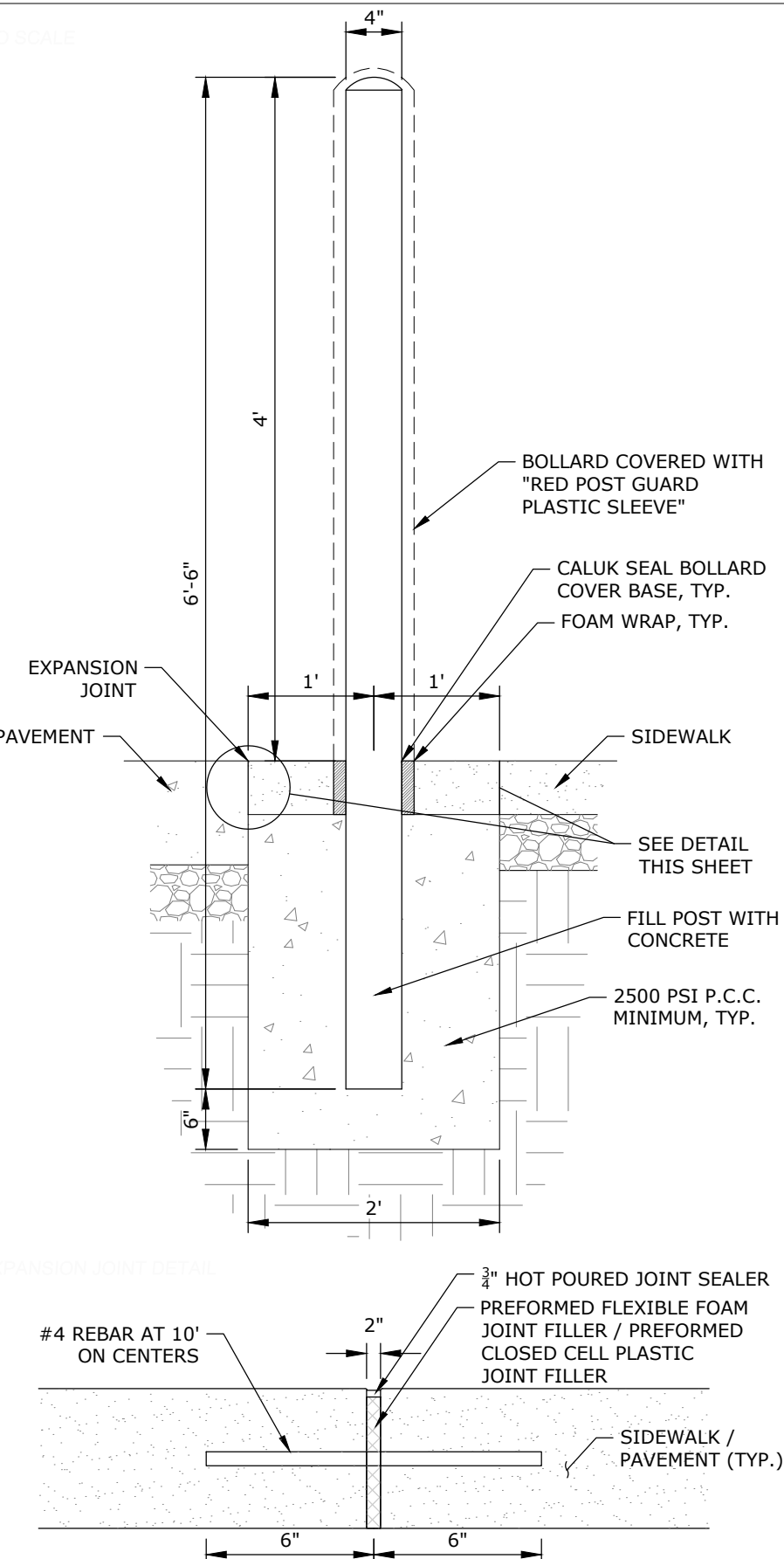
LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- CENTERLINE
- SECTION LINE
- EXISTING EASEMENT LINE
- EXISTING SETBACK LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- LIGHT POLE AND FIXTURE
- PROPOSED ADA PARKING SPACE
- NUMBER OF PROPOSED PARKING SPACES IN A ROW
- PROPOSED STRIPING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED PAVEMENT (DRIVEABLE AREAS)
- PROPOSED PAVEMENT (PARKING AREAS)
- PROPOSED TURF AREA

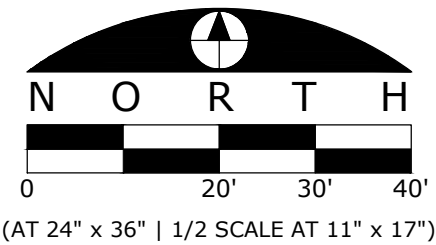
LAYOUT PLAN

- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
- ALL RADII AND DIMENSIONS ARE TO THE BACK OF CURB OR EDGE OF PAVEMENT WHERE APPLICABLE.
- SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.

BOLLARD / EXPANSION JOINT DETAIL



BENCHMARKS (IL STATE PLANES - EAST ZONE, NAVD 88 DATUM)	
BENCHMARK 1 (N 1763479.86, E 1129523.15) BOLT IN "MUELLER" ON FIRE HYDRANT LOCATED APPROXIMATELY 350' NORTH OF THE CL OF US-30 AND 25' WEST OF THE CL OF S FRANKFORT SQUARE ROAD	721.81
BENCHMARK 2 (N 1763181.85, E 1130010.91) NW BOLT ON FIRE HYDRANT LOCATED APPROXIMATELY 55' NORTH OF CL OF US-30 AND 510' EAST OF CL OF S FRANKFORT SQUARE ROAD	733.97



ARC DESIGN  
RESOURCES INC.

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LOVES PARK, IL 61111  
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Illinois Design Firm License No. 184-001334

PROJECT NAME  
OWNER'S NAME

CIRCLE K  
FRANKFORT

7654 W LINCOLN HWY  
FRANKFORT, IL 50423  
WILL CO.

RDK VENTURES LLC  
500 WARRENVILLE ROAD  
LISLE, IL 60532  
(815) 762-4861

CONSULTANTS

ISSUED FOR		DATE
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SHEET TITLE

LAYOUT PLAN

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PROJECT NUMBER  
SHEET NUMBER

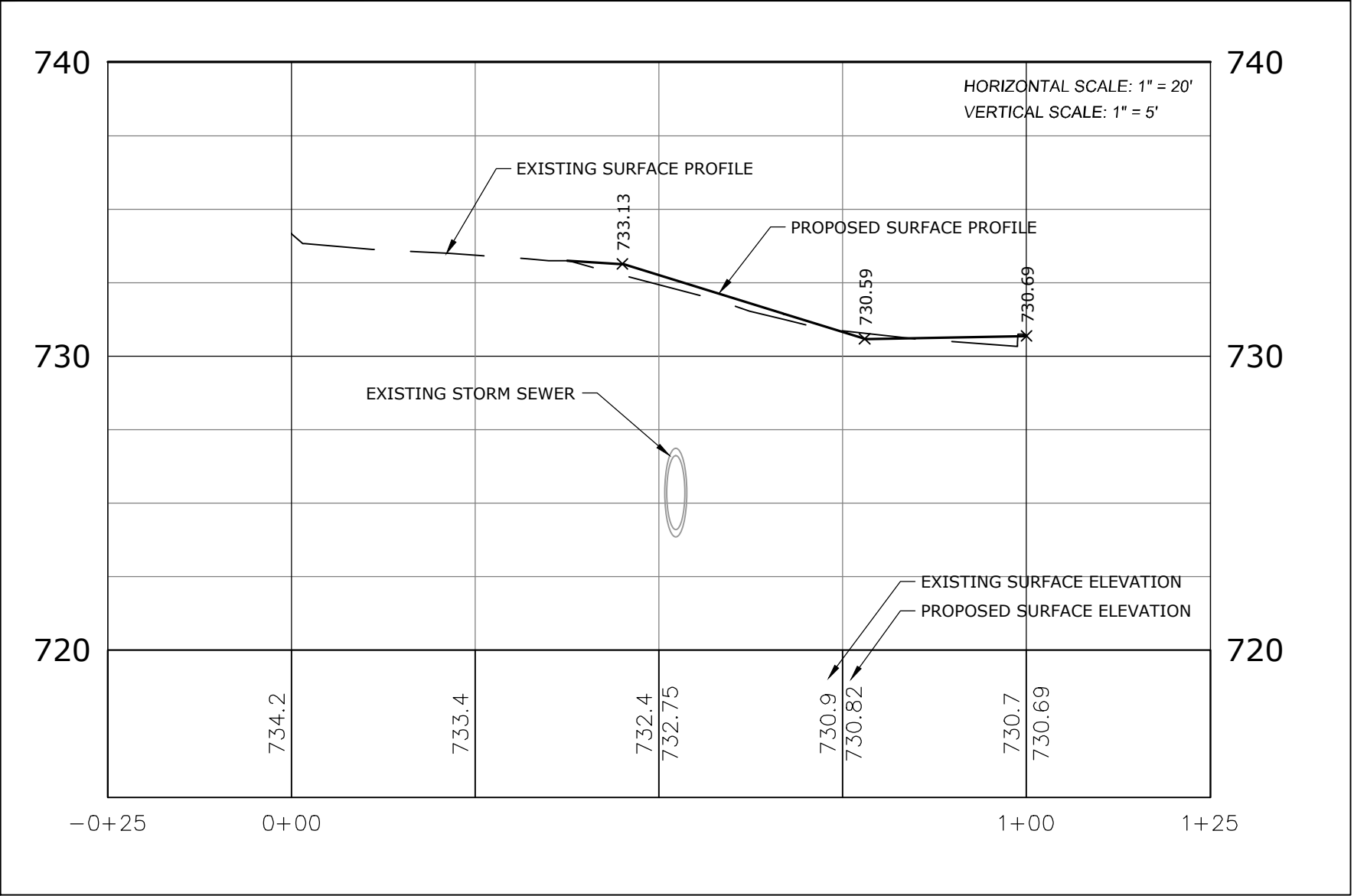
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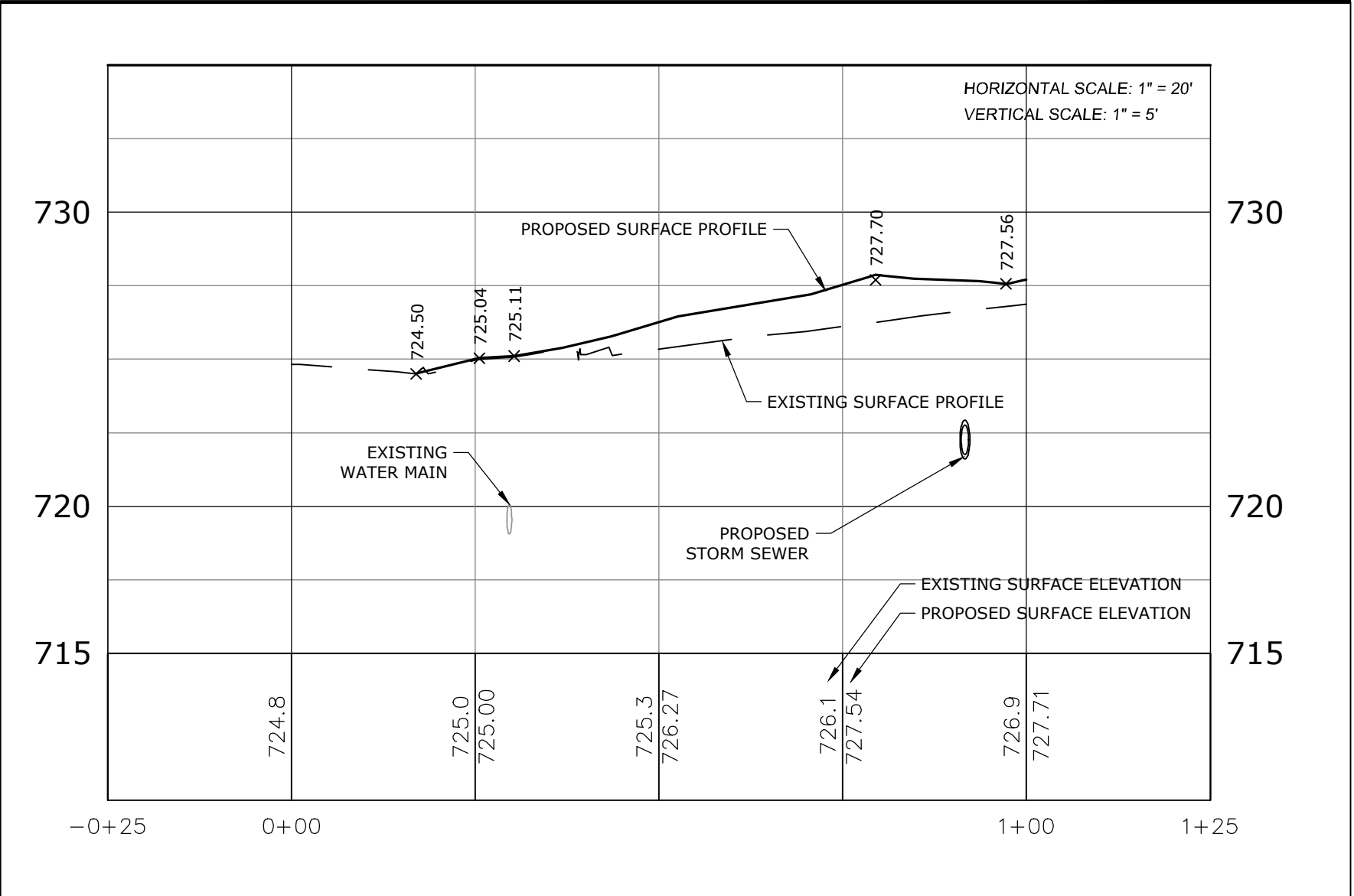




US ROUTE 30 ENTRANCE PROFILE



S FRANKFORT SQUARE RD ENTRANCE PROFILE



LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- CENTERLINE
- SECTION LINE
- EXISTING EASEMENT LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED GRADE BREAK LINE
- PROPOSED CONTOUR LINE
- EXISTING CONTOUR LINE
- PROPOSED CATCH BASIN OR MANHOLE
- PROPOSED CLEANOUT
- DIRECTION OF SHEET FLOW
- TOP OF WALK ELEVATION
- TOP OF PAVEMENT ELEVATION
- FINISHED GRADE ELEVATION
- MATCH EXISTING TOP OF WALKWAY ELEVATION
- MATCH EXISTING TOP OF PAVEMENT ELEVATION
- BENCHMARK
- EMERGENCY OVERLAND FLOW ROUTE

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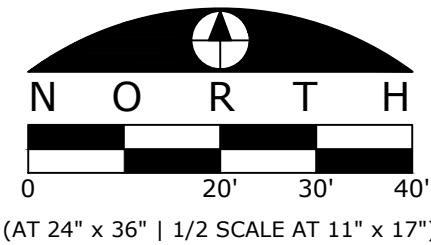
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DRAWN TWL  
CHECKED LND  
PM RCS

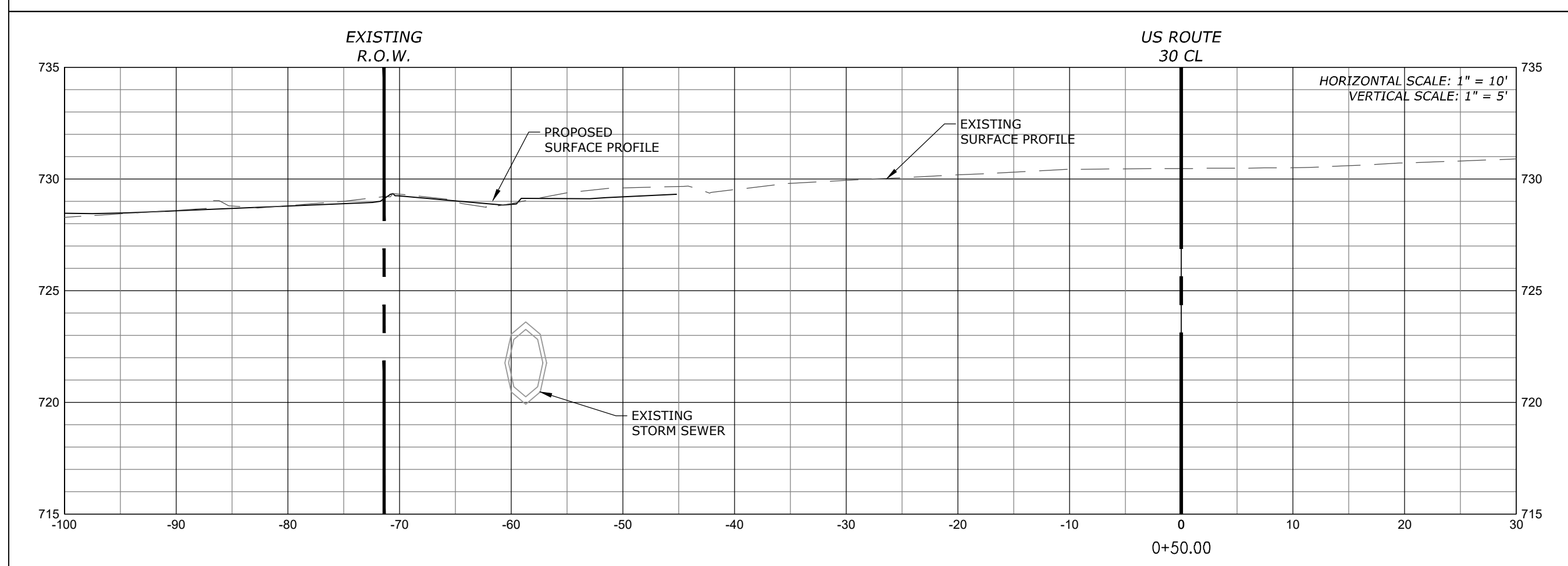
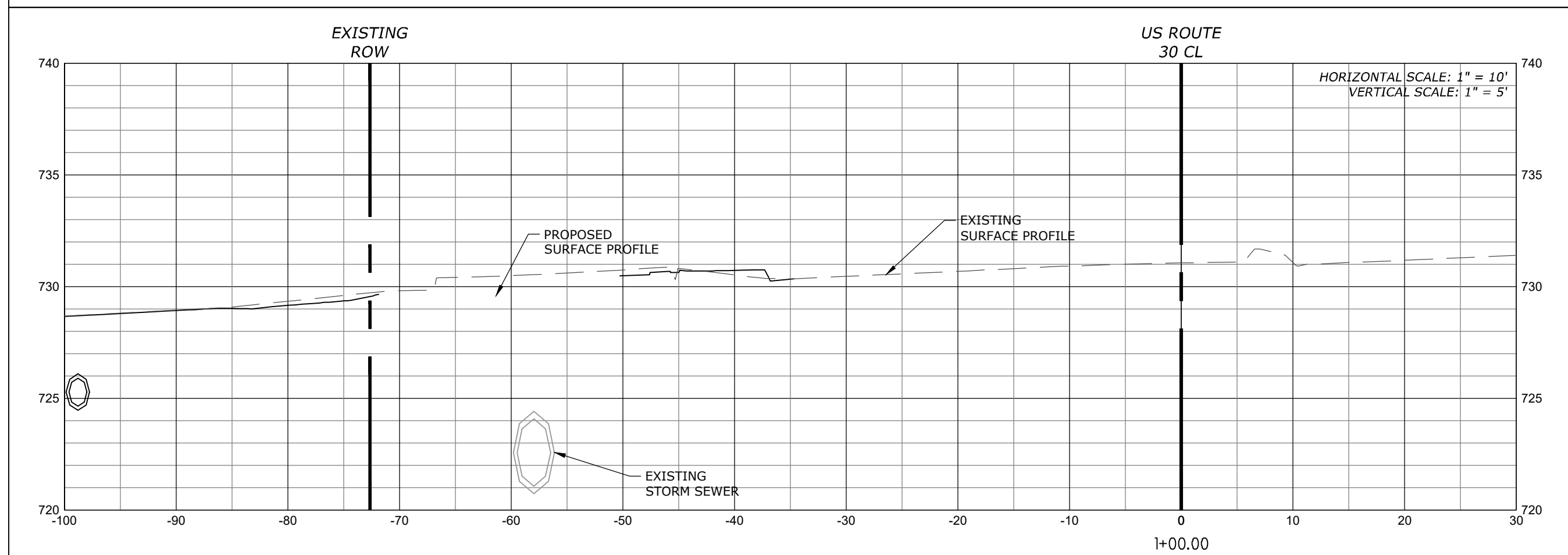
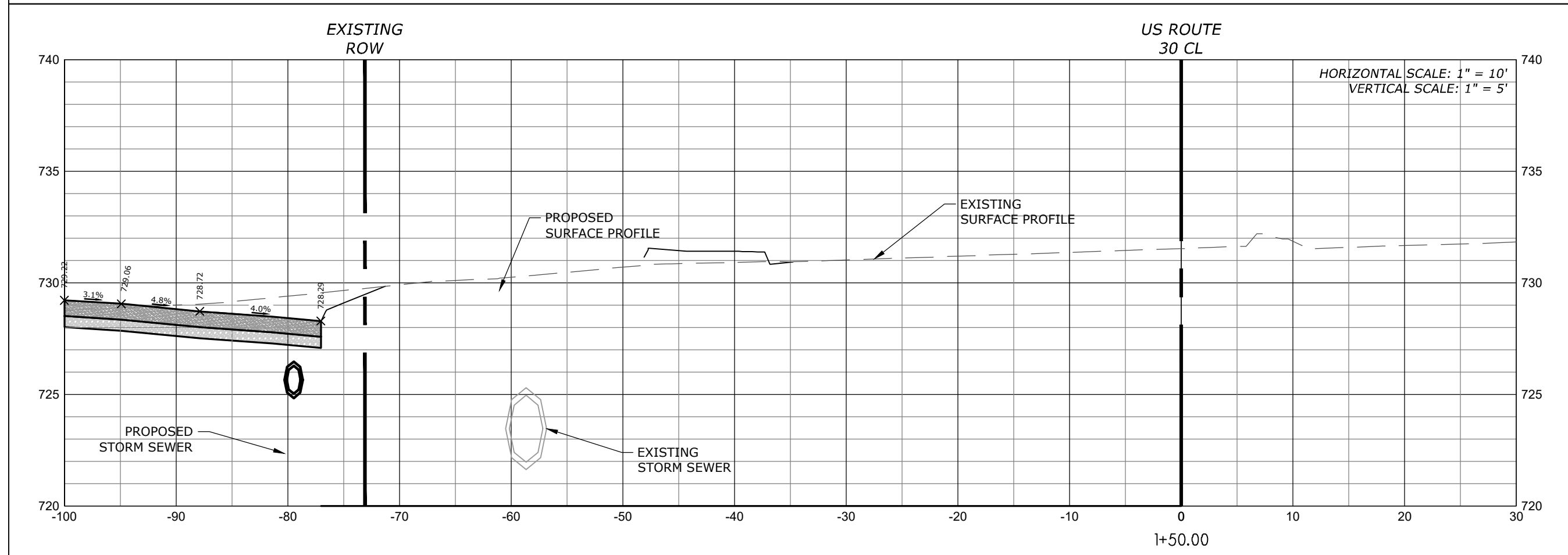
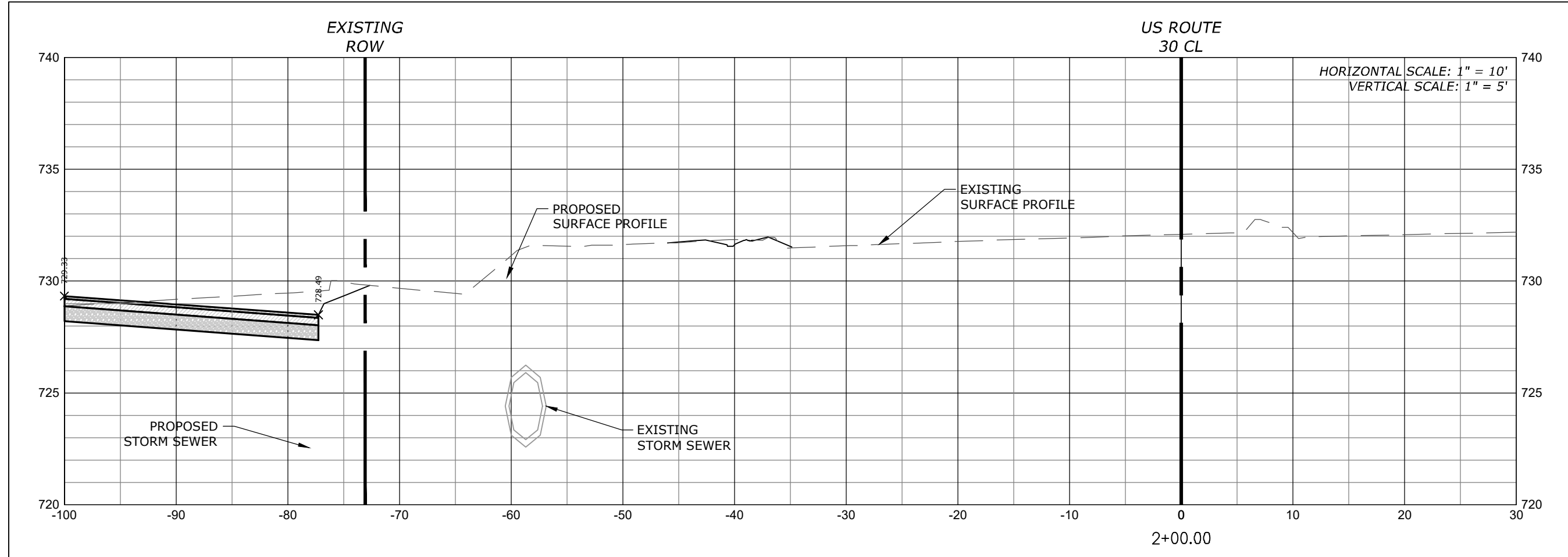
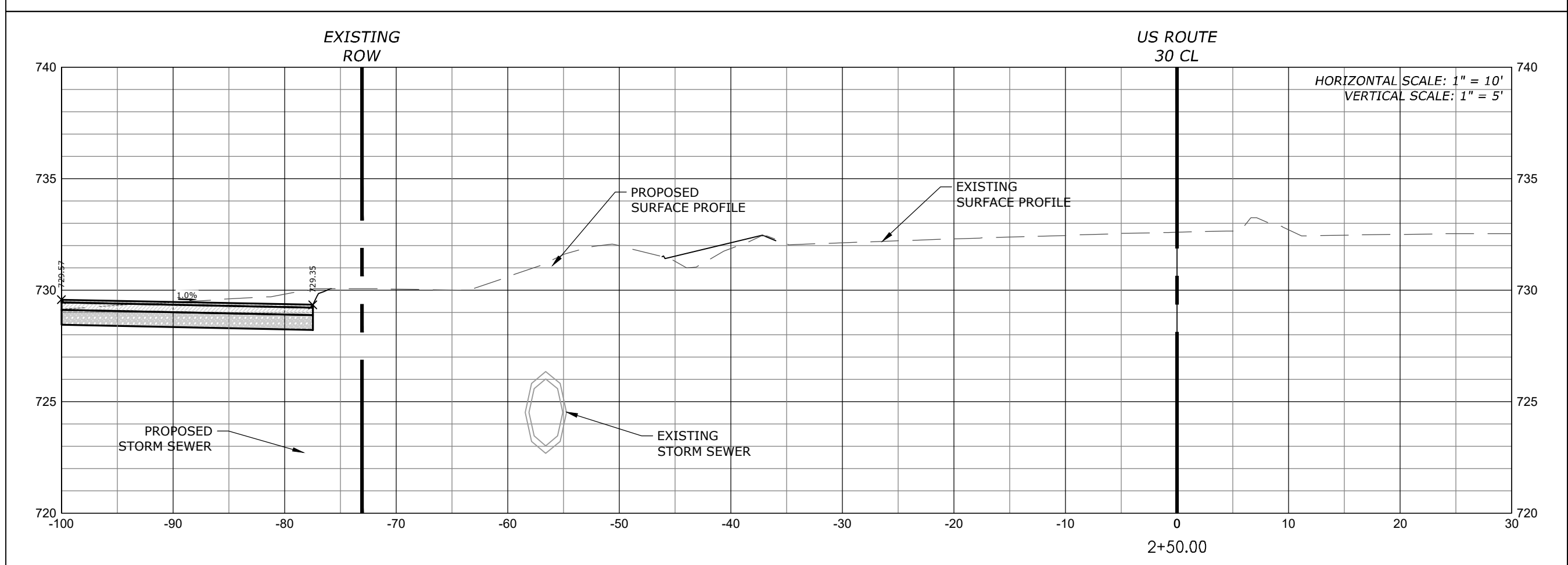
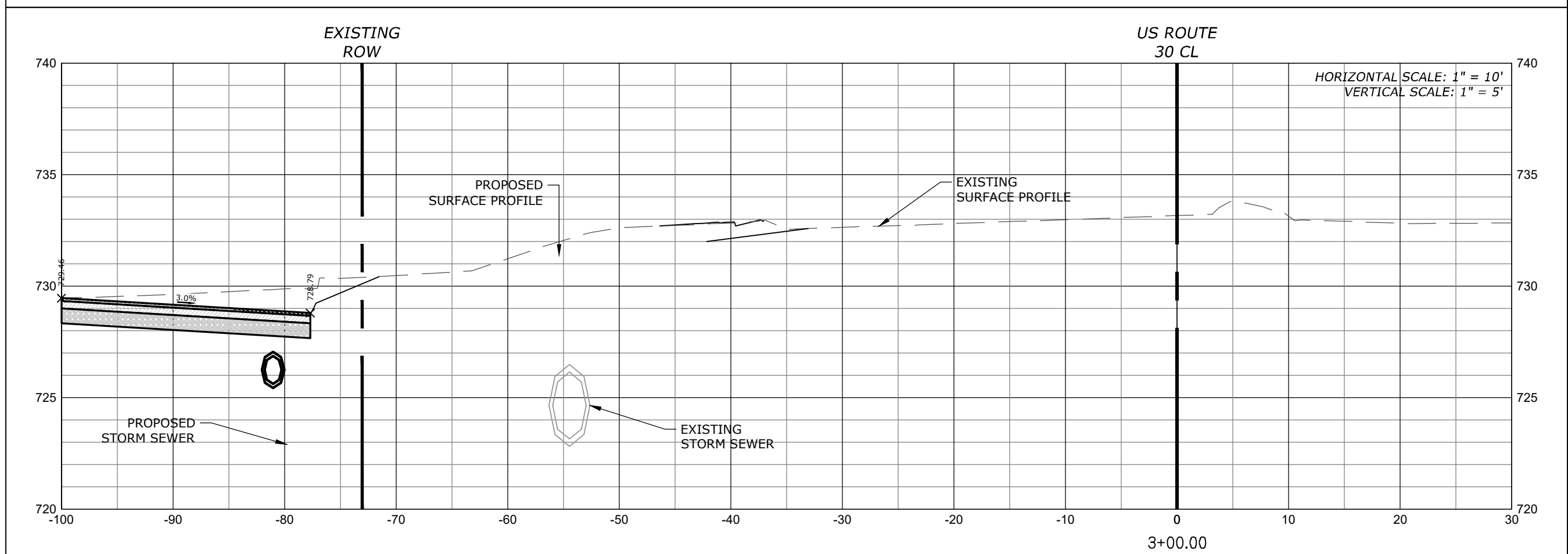
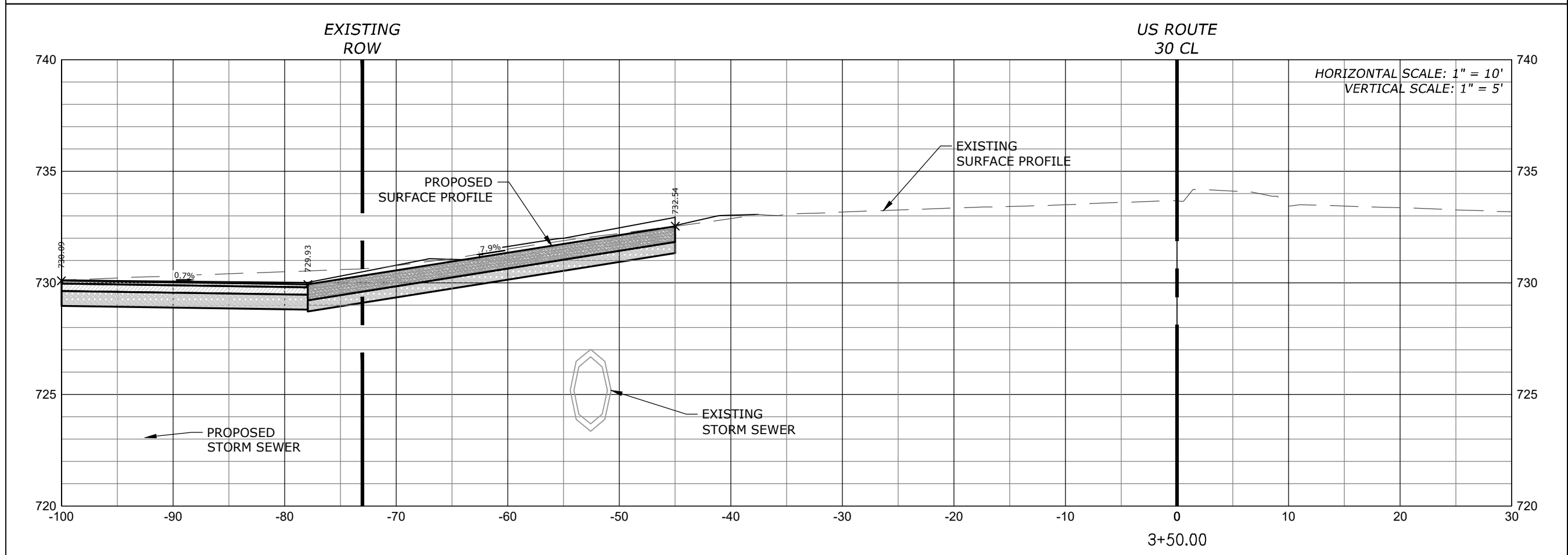
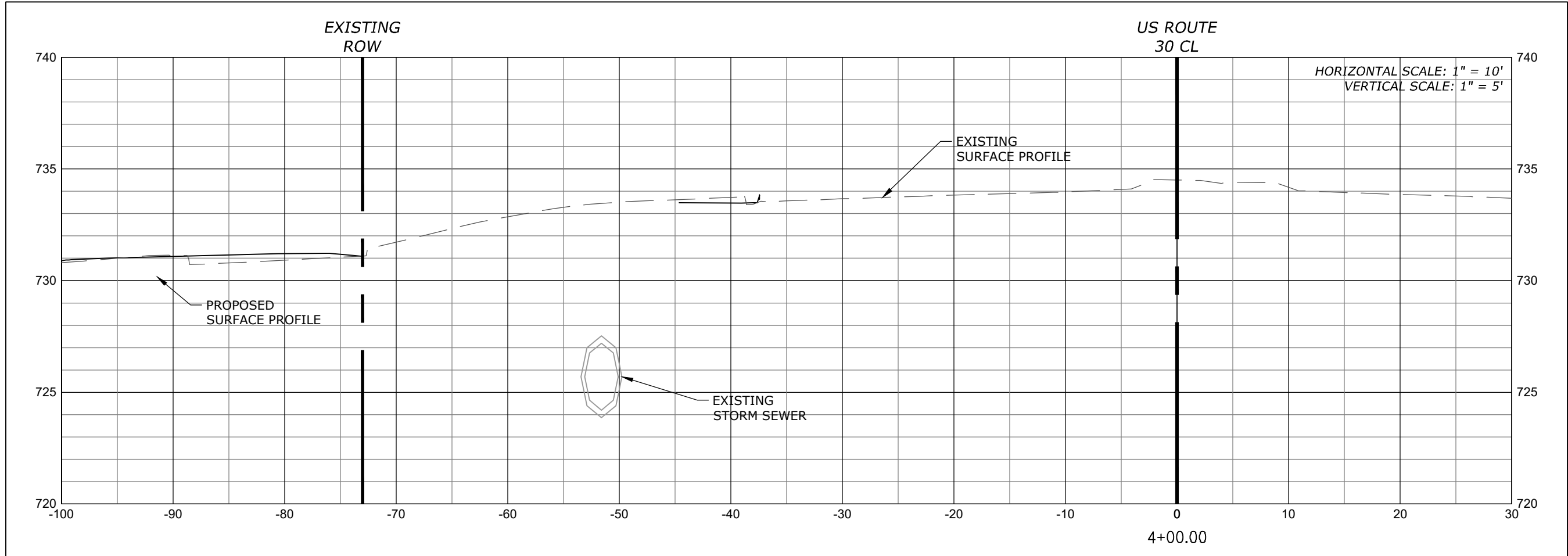
PROJECT NUMBER  
SHEET NUMBER

**20033**

**C06.1**



BENCHMARKS (IL STATE PLANES - EAST ZONE, NAVD 88 DATUM)	
<b>BENCHMARK 1</b> (N 1763479.86, E 1129523.15) BOLT IN "MUELLER" ON FIRE HYDRANT LOCATED APPROXIMATELY 350' NORTH OF THE CL OF US-30 AND 25' WEST OF THE CL OF S FRANKFORT SQUARE ROAD	721.81
<b>BENCHMARK 2</b> (N 1763181.85, E 1130010.91) NW BOLT ON FIRE HYDRANT LOCATED APPROXIMATELY 55' NORTH OF CL OF US-30 AND 510' EAST OF CL OF S FRANKFORT SQUARE ROAD	733.97



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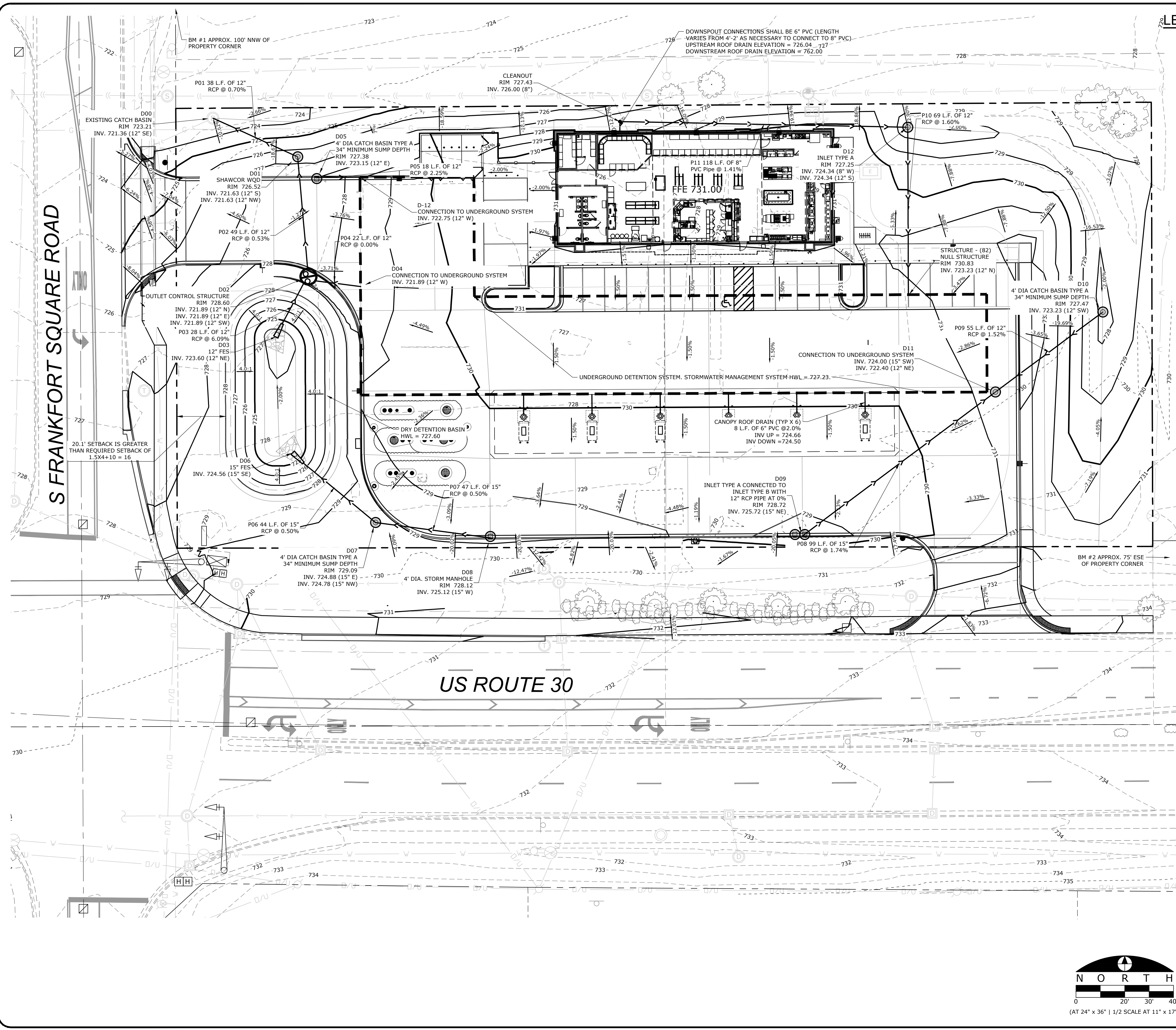
**US ROUTE 30  
CROSS-SECTIONS**

DRAWN TWL  
CHECKED LND  
PM RCS

PROJECT NUMBER  
SHEET NUMBER

**20033  
C06.2**





**LEGEND**

- PROPERTY LINE
- - - LOT LINE
- - - EXISTING RIGHT-OF-WAY
- - - CENTERLINE
- - - SECTION LINE
- - - EXISTING EASEMENT LINE
- == PROPOSED CURB AND GUTTER
- - - EXISTING CURB AND GUTTER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- - - PROPOSED GRADE BREAK LINE
- - - PROPOSED CONTOUR LINE
- - - EXISTING CONTOUR LINE
- - - PROPOSED WATER SERVICE
- - - PROPOSED SANITARY SEWER
- - - PROPOSED GAS MAIN
- - - PROPOSED UNDERGROUND ELECTRIC SERVICE
- - - PROPOSED TELEPHONE SERVICE
- EXISTING MANHOLE OR CATCH BASIN
- PROPOSED CATCH BASIN OR MANHOLE
- PROPOSED CLEANOUT
- 1.6% DIRECTION OF SHEET FLOW

**NOTES**

1. ALL DRAINAGE STRUCTURES SHALL HAVE OPEN GRATES EXCEPT THE WQD AND OUTLET CONTROL STRUCTURE. SEE DETAIL FOR WQD AND OUTLET CONTROL STRUCTURE DETAIL FOR CASTING REQUIREMENTS.

**RIM ELEVATION DEFINITION**

UNPAVED CURB  
RIM ELEV. RIM ELEV.

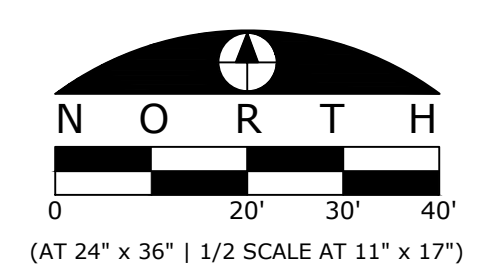
**DETENTION STAGE STORAGE (WEST)**

Elevation (feet)	Surface (sq-ft)	Storage (cubic-feet)
723.66	0	0
724.76	1,252	616
725.76	2,103	2,349
726.76	2,885	4,833
727.60	3,622	7,559

**DETENTION STAGE STORAGE (UNDERGROUND)**

Elevation (feet)	Storage (cubic-feet)
721.89	0
725.39	29,012

BENCHMARKS (IL STATE PLANES - EAST ZONE, NAVD 88 DATUM)	
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SHEET TITLE

**DRAINAGE PLAN**

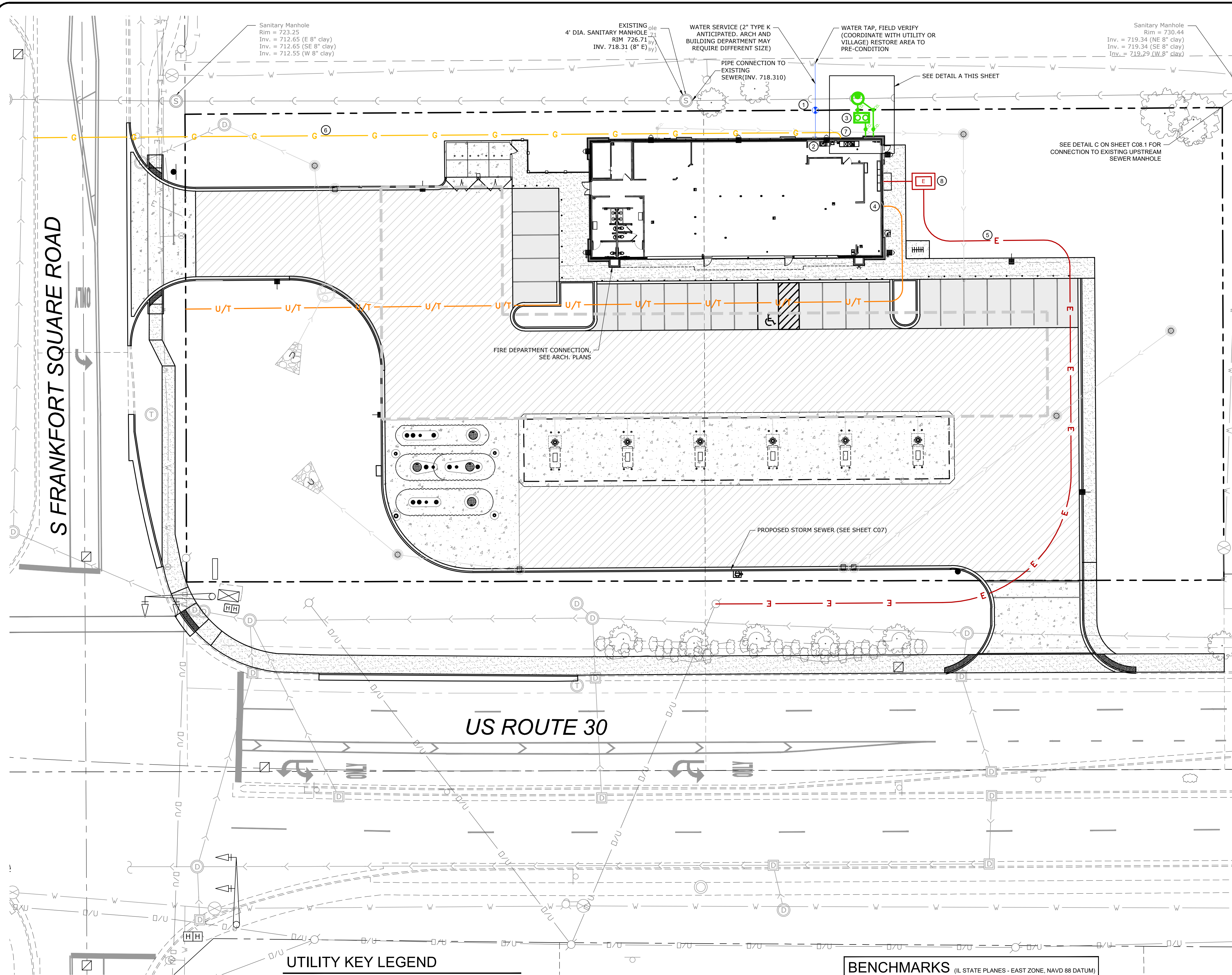
DRAWN	TWL
CHECKED	LND
PM	RCS

PROJECT NUMBER  
SHEET NUMBER

**20033**

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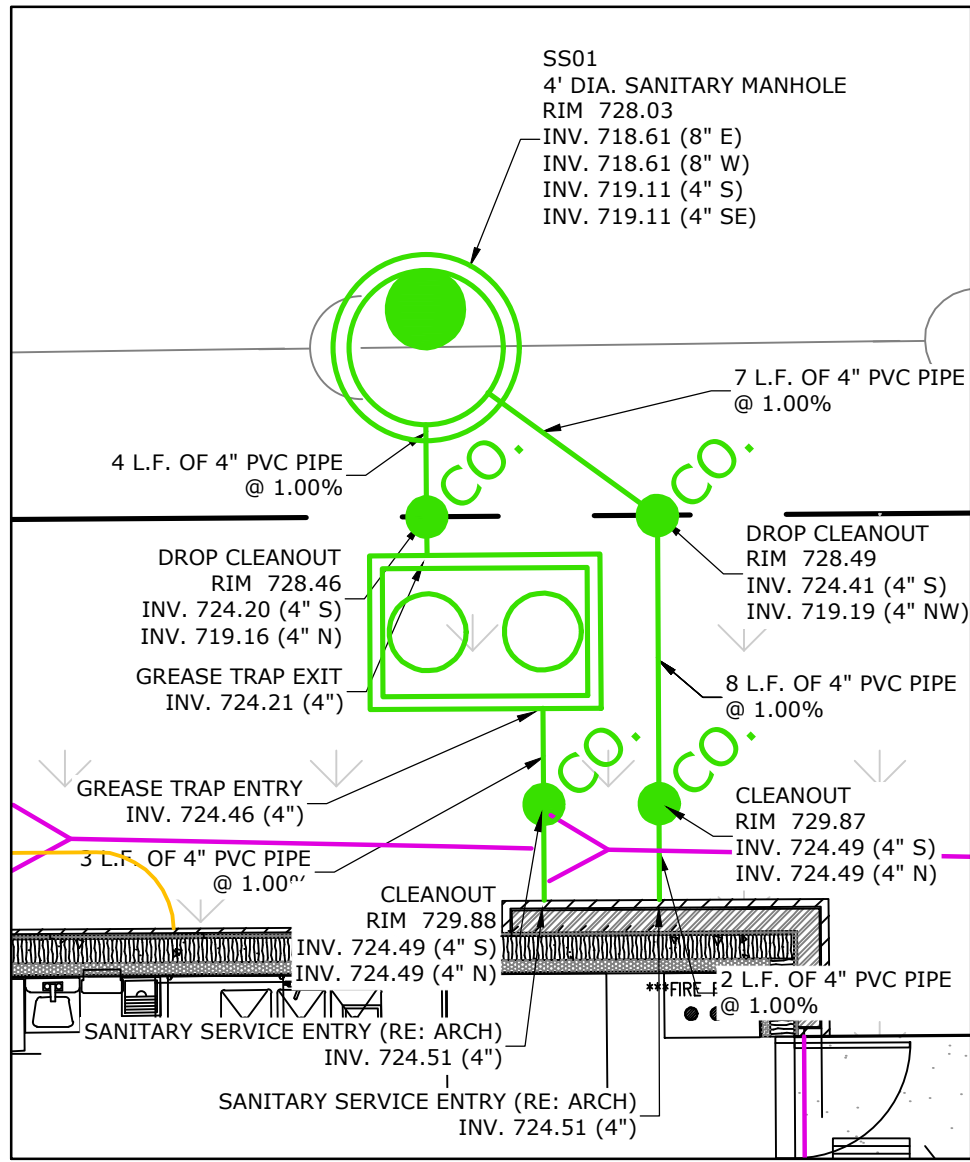




LEGEND

- PROPERTY LINE
- EXISTING WATER MAIN
- PROPOSED WATER SERVICE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- EXISTING GAS MAIN
- PROPOSED GAS LINE
- PROPOSED UNDERGROUND ELECTRIC SERVICE
- PROPOSED TELEPHONE SERVICE
- EXISTING OVERHEAD UTILITY LINES
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING WATER VALVE
- EXISTING WATER VALVE
- EXISTING MANHOLE OR CATCH BASIN
- PROPOSED SANITARY MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- LIGHT POLE AND FIXTURE

DETAIL A



UTILITY NOTES

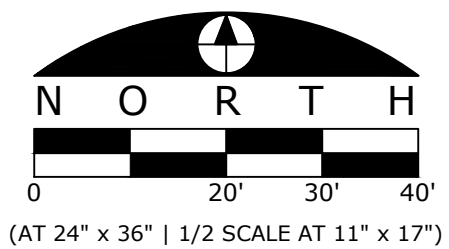
- THE CONTRACTOR SHALL PROVIDE PROPER SAFETY DEVICES IN ACCORDANCE WITH OSHA STANDARDS FOR ALL STAFF WORKING IN OPEN TRENCH CONDITIONS. TRENCH BOXES AND OTHER SHORING SHALL BE REQUIRED FOR ALL TRENCH WORK, IN THE RIGHT-OF-WAY, AND ON PRIVATE PROPERTY, WHILE THE SITE IS UNDER CONSTRUCTION.
- ALL PRIVATE WATER MAINS CONSTRUCTED ON THE PROPERTY ARE TO BE CONSTRUCTED WITH MATERIALS THAT FOLLOW THE STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL REQUIREMENTS FOR PIPE MATERIAL AND OTHER WATER MAIN APPURTENANCES PRIOR TO THE START OF CONSTRUCTION.
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK BY OTHERS, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- CONTACT ALL PUBLIC AND PRIVATE UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- CONTACT SUPERINTENDENT OF PUBLIC WORKS 2 WORKING DAYS BEFORE ANY WATER MAIN CONNECTIONS ARE PERFORMED. ALL CONNECTIONS SHOULD BE MADE BY A LICENSED PLUMBER.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- REFER TO BUILDING PLANS FOR EXACT LOCATIONS OF NEW UTILITY ENTRIES.
- CONTRACTOR SHALL SET ALL CLEANOUT, CASTINGS, AND VALVE BOXES TO FINISHED GRADE.
- ROUTE SITE ELECTRICAL TO LIGHT POLES, CANOPY, SIGN, ETC., AS SHOWN ON ARCHITECTURAL PLANS.

UTILITY KEY LEGEND

- CURB BOX (LOCATED AT PROPERTY LINE OR AS DIRECTED BY UTILITY OR VILLAGE)
- DOMESTIC WATER / FIRE SERVICE ENTRY (RE: ARCH)
- 500 GAL. GREASE TRAP (RE: ARCH / MEP)
- PROPOSED PHONE SERVICE (2 4" CONDUITS (VERIFY WITH UTILITY))
- PROPOSED ELECTRICAL SERVICE WITH PAD MOUNTED TRANSFORMER (3 PHASE, 800 AMP, 120/208 VOLTS, 4 WIRE)
- PROPOSED 2" SCH. 40 STEEL PIPE GAS SERVICE (COORDINATE INSTALLATION AND SLEEVING REQUIREMENTS WITH NICOR PRIOR TO CONSTRUCTION). FINAL LOADING BTUs TBD.
- GAS SERVICE ENTRY AND METER (RE: ARCH)
- PROPOSED PAD MOUNTED TRANSFORMER

BENCHMARKS

(IL STATE PLANES - EAST ZONE, NAVD 88 DATUM)	
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SHEET TITLE

**UTILITY PLAN**

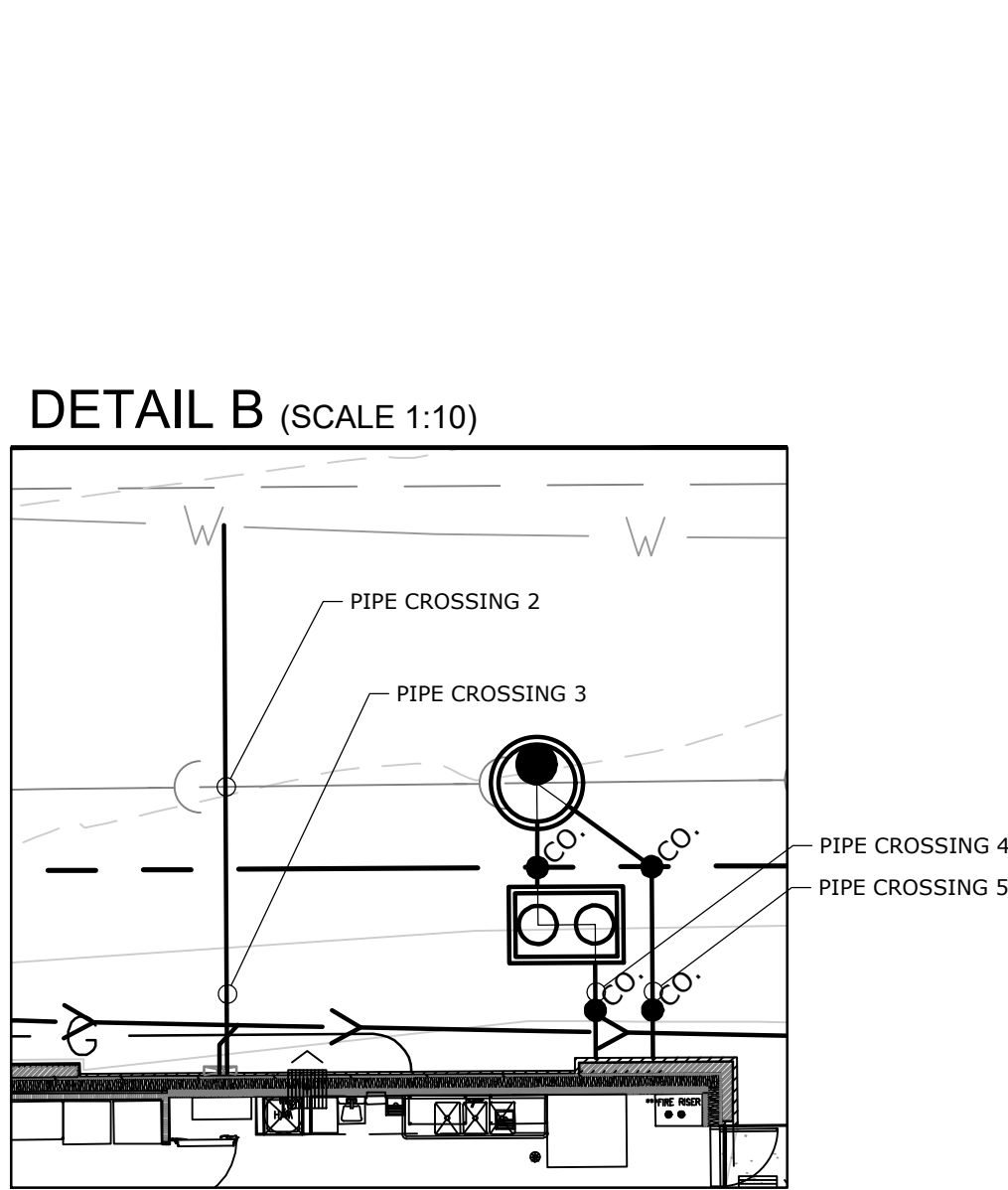
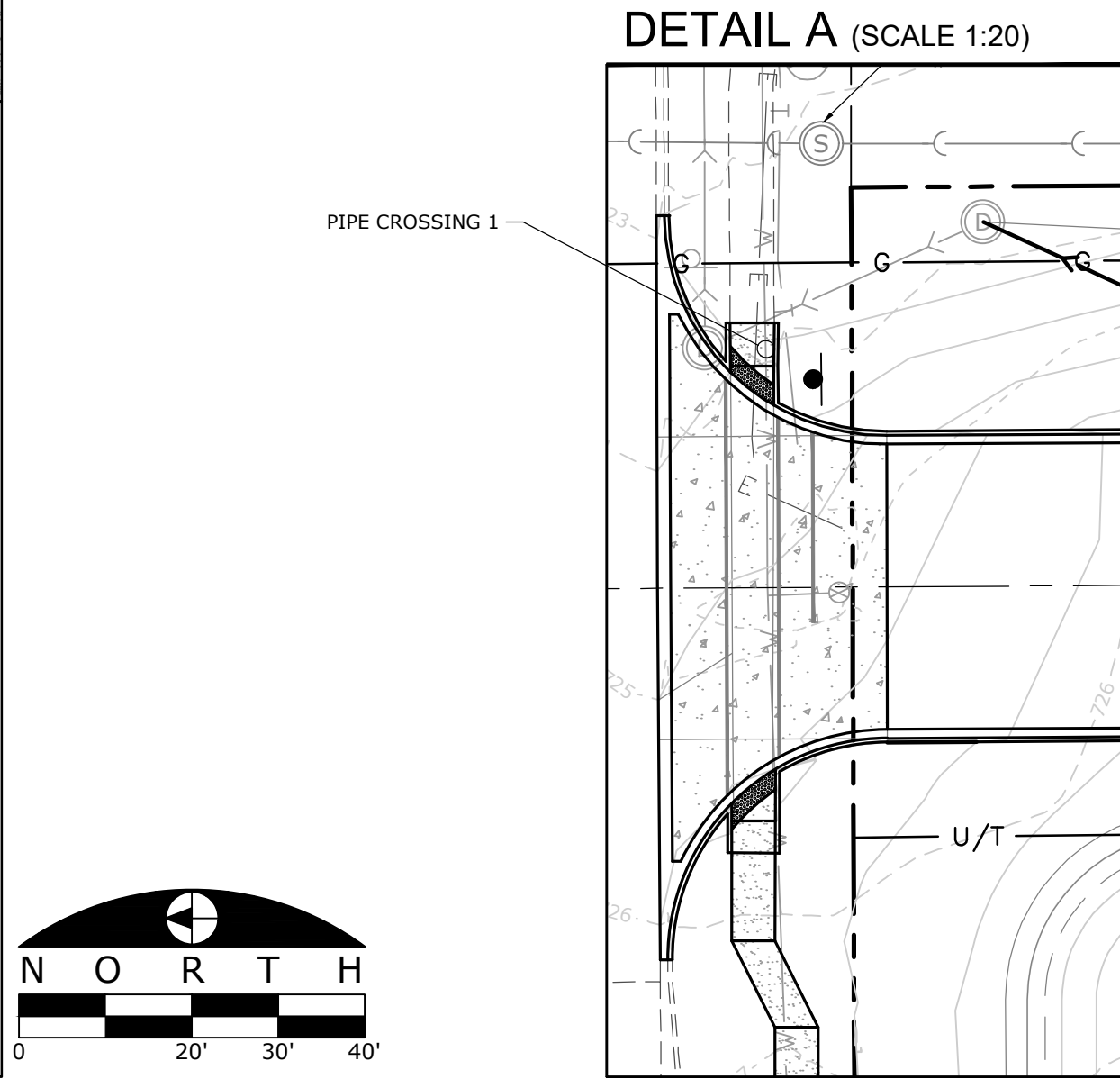
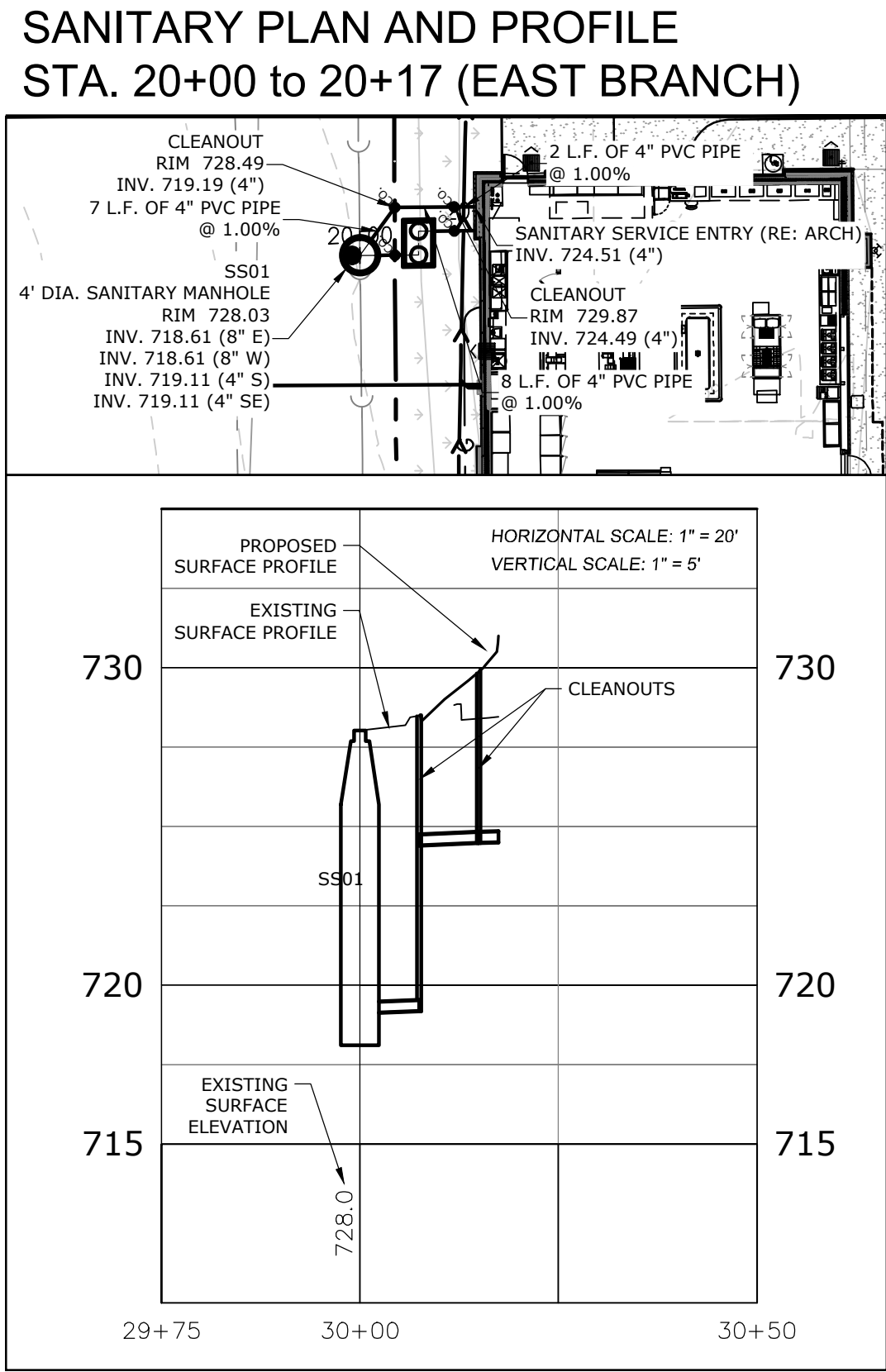
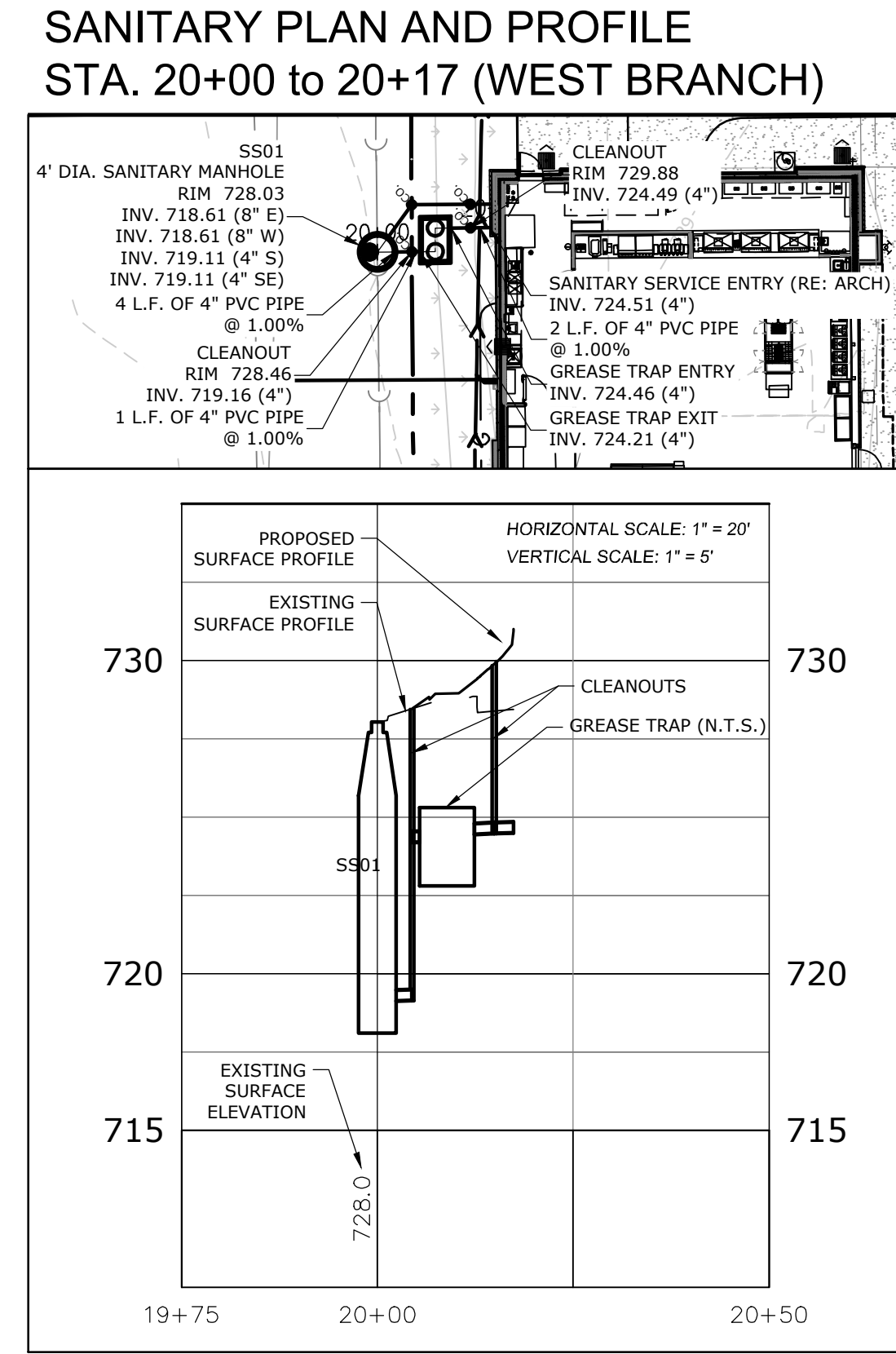
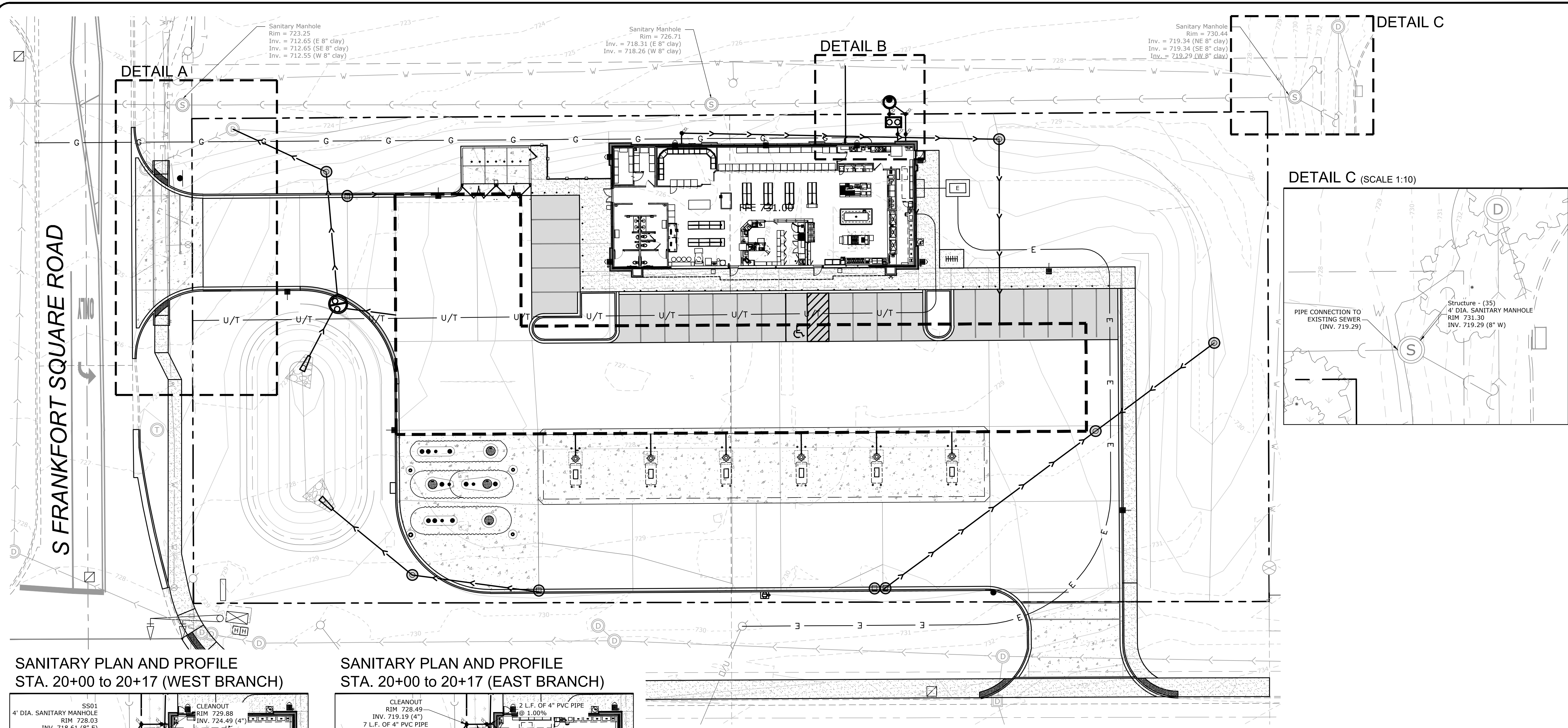
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PROJECT NUMBER  
SHEET NUMBER

**20033**

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PIPE CROSSING TABLE			
PIPE CROSSING	PIPE	ELEV	CLEARANCE
PIPE CROSSING 1 BOTTOM OF TOP PIPE TOP OF BOTTOM PIPE	STORM WATER	718.9 UNKNOWN	CONTRACTOR TO VERIFY ELEVATION OF WATER PIPE PRIOR TO INSTALLATION OF STORM SEWER
PIPE CROSSING 2 BOTTOM OF TOP PIPE TOP OF BOTTOM PIPE	WATER SEWER	721.00' 718.51'	>1.5'
PIPE CROSSING 3 BOTTOM OF TOP PIPE TOP OF BOTTOM PIPE	STORM WATER	726.59' 721.00'	>1.5'
PIPE CROSSING 4 BOTTOM OF TOP PIPE TOP OF BOTTOM PIPE	STORM SEWER	726.33' 724.83'	1.5'
PIPE CROSSING 5 BOTTOM OF TOP PIPE TOP OF BOTTOM PIPE	STORM SEWER	726.37' 724.76'	1.61'

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**UTILITY PLAN AND  
PROFILES**

DRAWN TWL  
CHECKED LND  
PM RCS

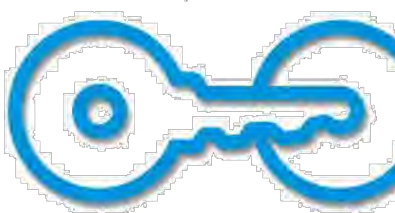
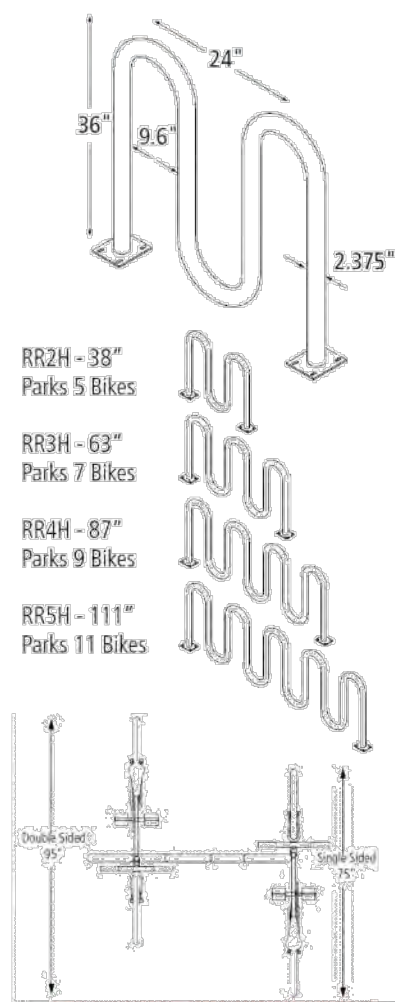
PROJECT NUMBER  
SHEET NUMBER

**20033**

**C08.1**



## Rolling Rack



Product	Rolling Rack
Capacity	*Capacities are based on a double sided configuration. If racks are placed up against a wall you will lose half of the capacity. RR2H: 5 Bikes RR3H: 7 Bikes RR4H: 9 Bikes RR5H: 11 Bikes
Materials	2.375" OD Schedule 40 pipe
Finishes	Standard options: Galvanized Or Powder Coated RAL 9005, RAL 9008, RAL 9001, RAL 9003, RAL 9006, RAL 9004, RAL 9002, RAL 9007, RAL 9009, RAL 9010, RAL 9011, RAL 9012, RAL 9013, RAL 9014, RAL 9015, RAL 9016, RAL 9017, RAL 9018, RAL 9019, RAL 9020, RAL 9021, RAL 9022, RAL 9023, RAL 9024, RAL 9025, RAL 9026, RAL 9027, RAL 9028, RAL 9029, RAL 9030, RAL 9031, RAL 9032, RAL 9033, RAL 9034, RAL 9035, RAL 9036, RAL 9037, RAL 9038, RAL 9039, RAL 9040, RAL 9041, RAL 9042, RAL 9043, RAL 9044, RAL 9045, RAL 9046, RAL 9047, RAL 9048, RAL 9049, RAL 9050, RAL 9051, RAL 9052, RAL 9053, RAL 9054, RAL 9055, RAL 9056, RAL 9057, RAL 9058, RAL 9059, RAL 9060, RAL 9061, RAL 9062, RAL 9063, RAL 9064, RAL 9065, RAL 9066, RAL 9067, RAL 9068, RAL 9069, RAL 9070, RAL 9071, RAL 9072, RAL 9073, RAL 9074, RAL 9075, RAL 9076, RAL 9077, RAL 9078, RAL 9079, RAL 9080, RAL 9081, RAL 9082, RAL 9083, RAL 9084, RAL 9085, RAL 9086, RAL 9087, RAL 9088, RAL 9089, RAL 9090, RAL 9091, RAL 9092, RAL 9093, RAL 9094, RAL 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9995, RAL 9996, RAL 9997, RAL 9998, RAL 9999, RAL 10000

Also available in Thermoplastic or Stainless steel.

**Installation Methods**  
**In ground mount** is embedded into concrete base. Specify in ground mount for this option.

**Foot Mount** has two 5.25" x 5.5" foot plates with 4 anchors per foot. Specify foot mount for this option.

**Spec Use & Setbacks**  
**Wall Setbacks:** For racks set parallel to a wall:  
Minimum: 36"  
Recommended: 90"

**For racks set perpendicular to a wall:**  
Minimum: 24"  
Recommended: 36"

**Distance Between Racks:**  
Minimum: 24"  
Recommended: 36"

**Street Setbacks:**  
Parallel to street: 24"  
Perpendicular to street: 36"

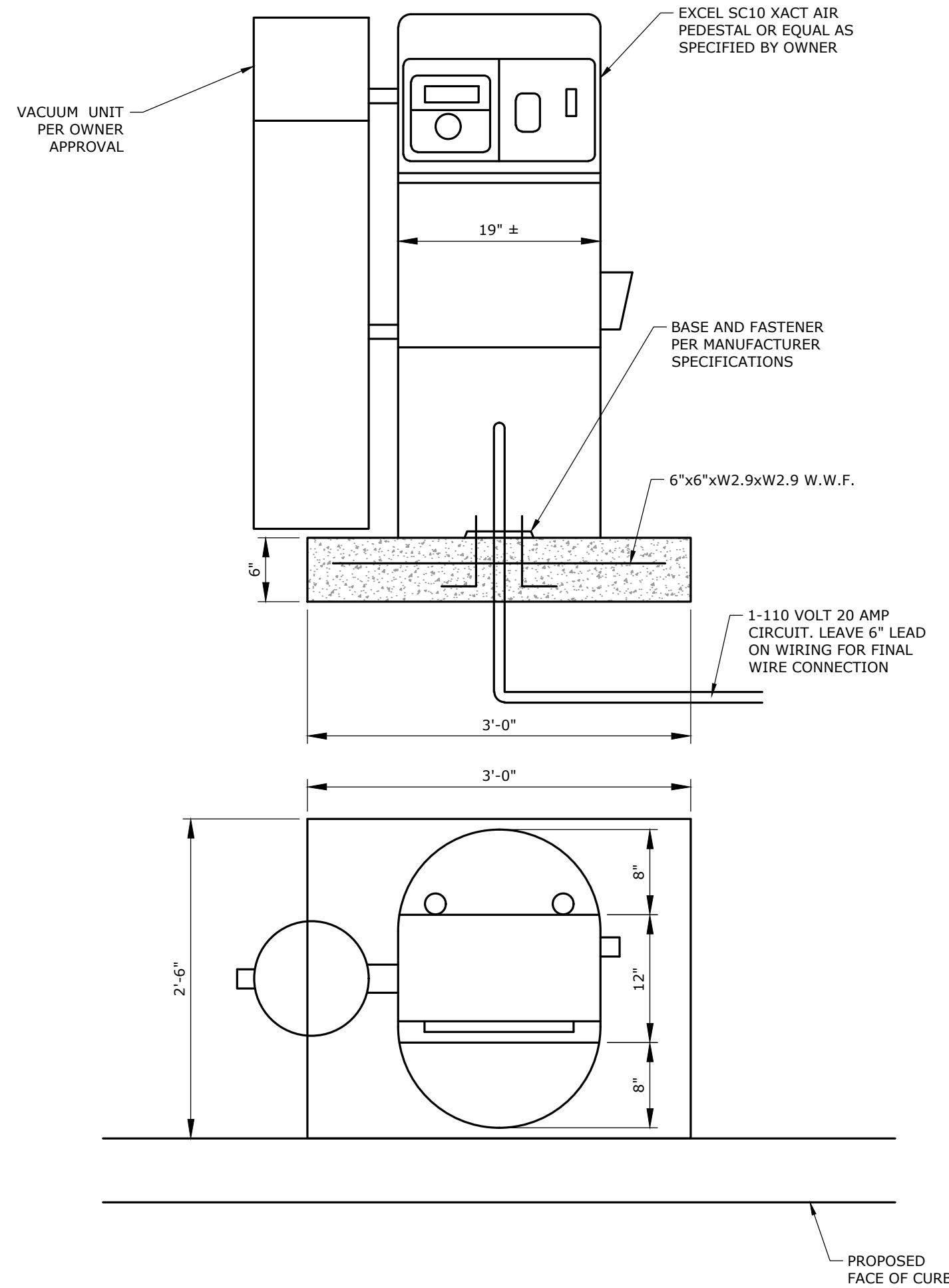
**American Bicycle Security Company**  
P.O. Box 7359  
Ventura, CA 93005  
Ph: (800) 245-3723 or (805) 933-3688  
Fax: (805) 933-1865  
www.ameribike.com  
Email: turtle@ameribike.com

**Example of rack in use**

**Example of rack in use**

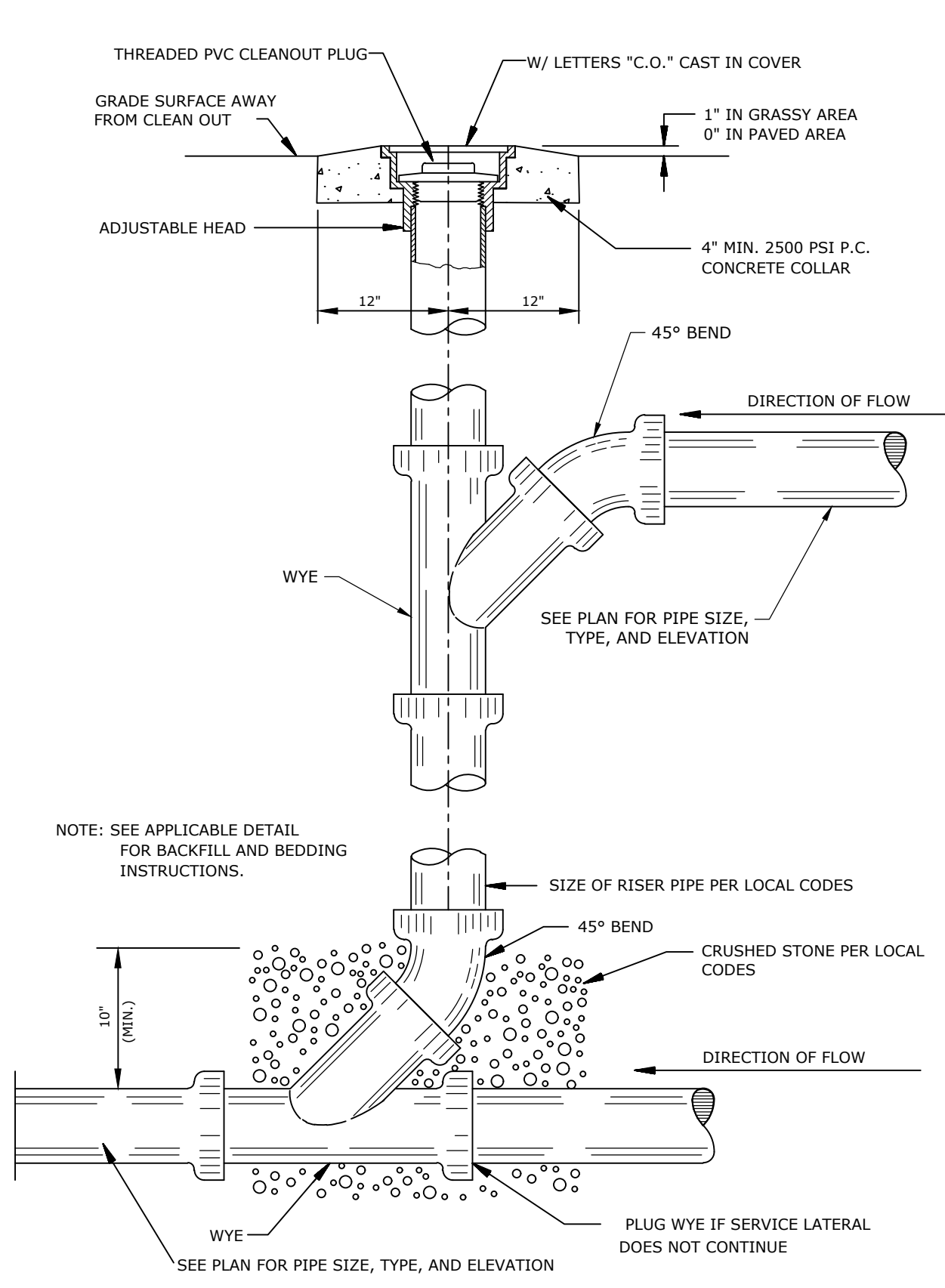
## AIR / VACUUM DETAIL

NOT TO SCALE



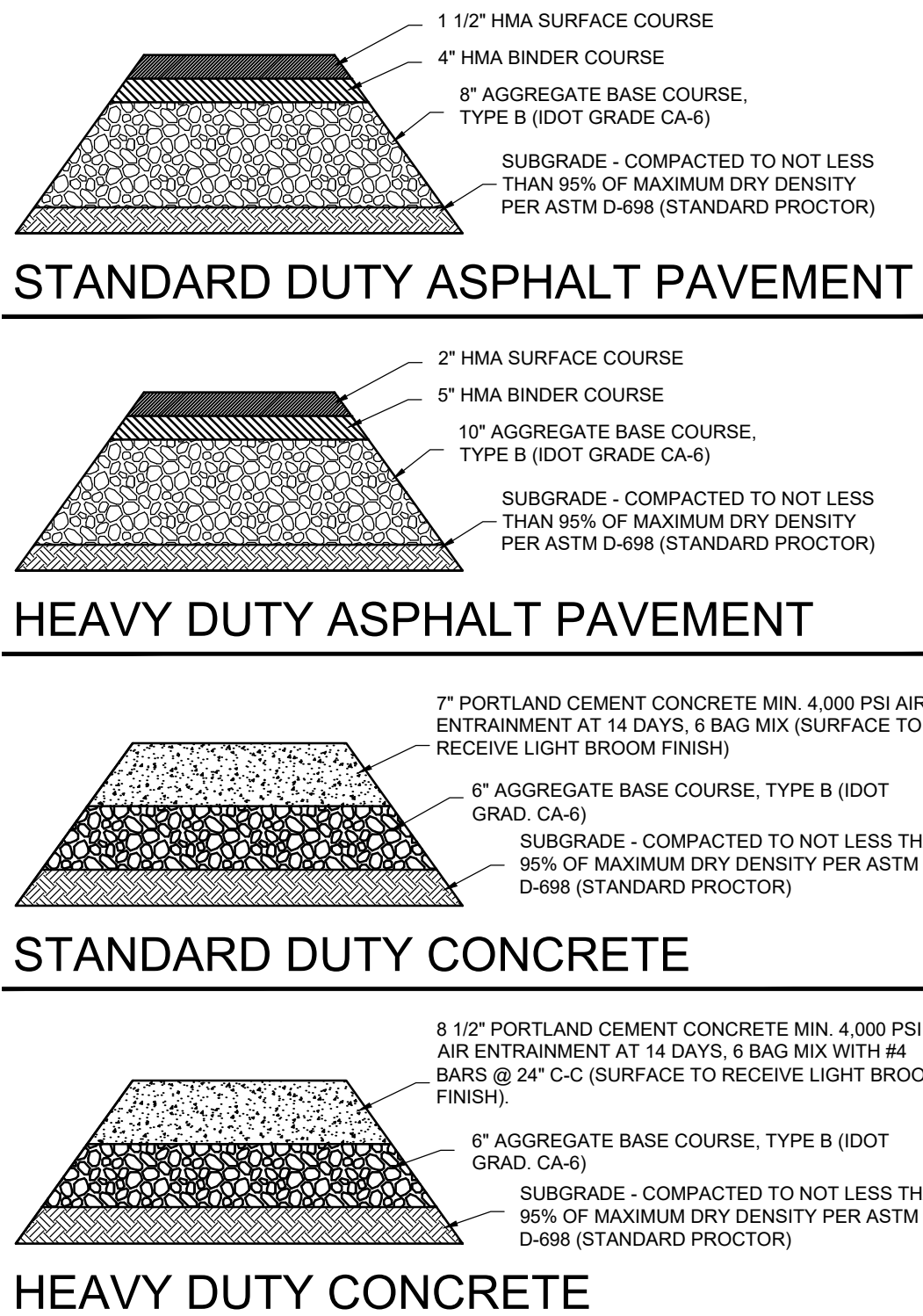
## SEWER DROP CLEANOUT DETAIL

NOT TO SCALE



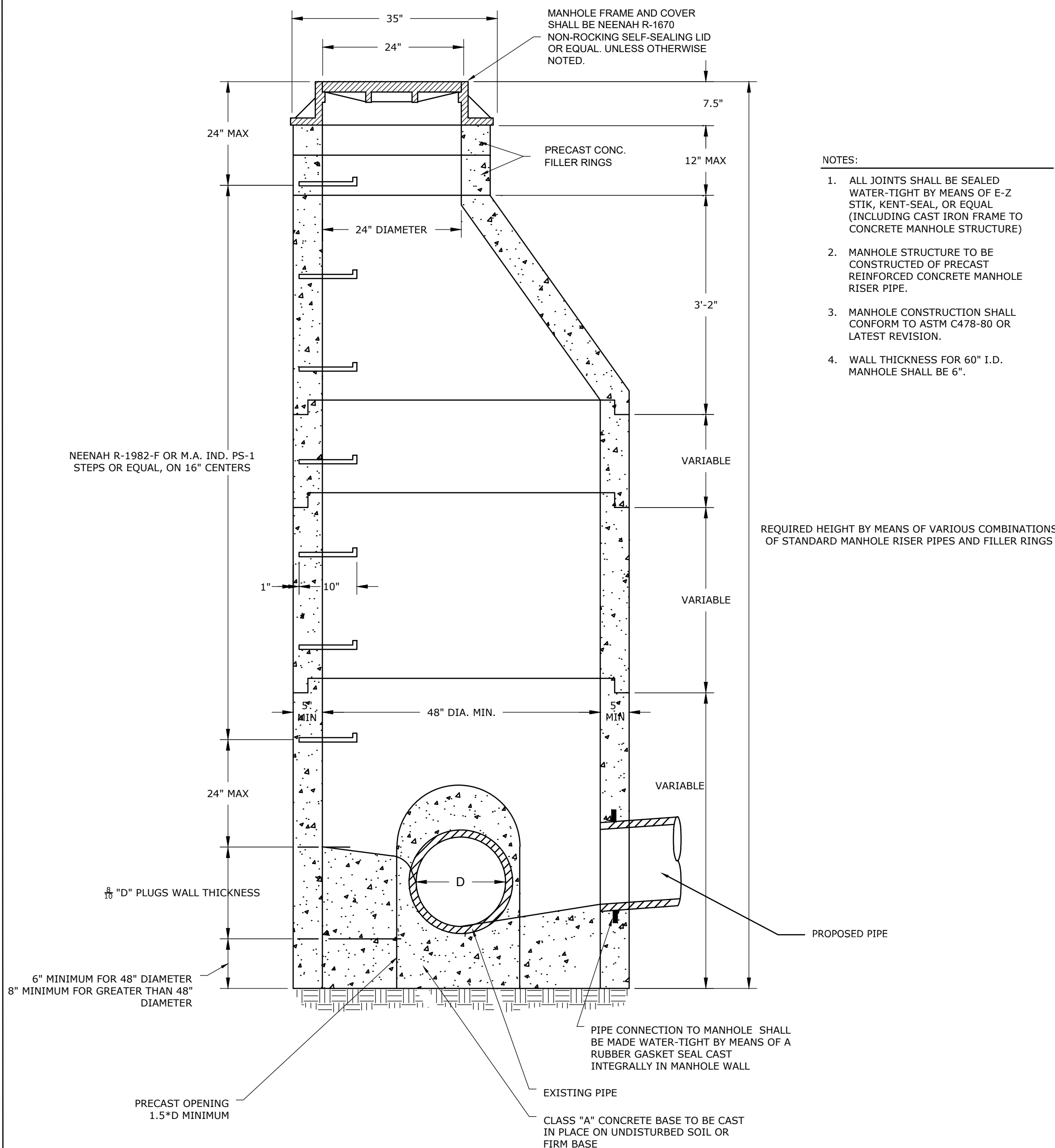
## PAVEMENT DETAILS

NOT TO SCALE



## SANITARY MANHOLE OVER EXISTING SEWER DETAIL

NOT TO SCALE



- NOTES:
1. ALL JOINTS SHALL BE SEALED WATER-TIGHT BY MEANS OF E-Z STIK, KENT-SEAL, OR EQUAL (INCLUDING CAST IRON FRAME TO CONCRETE MANHOLE STRUCTURE)
  2. MANHOLE STRUCTURE TO BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE MANHOLE RISER PIPE.
  3. MANHOLE CONSTRUCTION SHALL CONFORM TO ASTM C478-80 OR LATEST REVISION.
  4. WALL THICKNESS FOR 60" I.D. MANHOLE SHALL BE 6".

ARC DESIGN  
RESOURCES INC.

5291 ZENITH PARKWAY  
LOVES PARK, IL 61111  
VOICE: (815) 484-4300  
FAX: (815) 484-4303

www.arcdesign.com  
Illinois Design Firm License No. 184-001334

PROJECT NAME  
OWNER'S NAME

CIRCLE K  
FRANKFORT

7654 W LINCOLN HWY  
FRANKFORT, IL 50423  
WILL CO.

RDV VENTURES LLC  
500 WARRENVILLE ROAD  
LISLE, IL 60532  
(815) 762-4861

CONSULTANTS

ISSUED FOR

	DATE
1. COORDINATION	08-13-2021
2. COORDINATION	08-15-2021
3. AGENCY REVIEW	10-06-2021
4. AGENCY REVIEW	08-01-2022
5. AGENCY REVIEW	12-05-2022
6. AGENCY REVIEW	03-02-2023
7. AGENCY REVIEW	04-07-2023
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REVISIONS

ITEM	DATE
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SHEET TITLE

DETAILS

DRAWN TWL  
CHECKED LND  
PM RCS

PROJECT NUMBER  
SHEET NUMBER

20033

C09









## HYDROCHAIN™ VAULT

### COMPOSITE VAULTS FOR MAXIMUM FLEXIBILITY, CAPACITY AND SUSTAINABILITY

The classic double-barrel vault shape of this innovative five-component Vault system provides both structural strength and design flexibility for stormwater management systems. Manufactured of lightweight composite material, site owners and contractors experience savings at every stage: shipping costs, excavation and installation labor and equipment costs, plus significant costs with the reduced need for stone backfill.

The underground vault system can eliminate the need for holding ponds, creating opportunities for green space. Adding end caps, cover tiles, close-offs and locks to the vaults offers unlimited design flexibility and creates a stormwater system with high-volume capacity per square foot.

#### HOW THE VAULT SYSTEM WORKS



- Stormwater flows into the inlet control structure.
- From there, stormwater flows into the main header row (forebay section), which contains trimmed end caps (weirs). The main header row can be configured in any shape or size to capture whatever volume is needed for the first flush of a rain event.
- The main header row incorporates a sediment barrier where total suspended solids (TSS) settle out on the sediment floor.
- As the flow increases in a rain event, stormwater flows over the weirs into the vault system's entire storage area.
- If desired, an outlet control structure can be used to control the release rate through an existing storm sewer system.
- Inspection ports can be added anywhere in the system.
- Maintenance of the header row is easily done through the inlet control structure.
- If a liner is used with the system, the water can be used for irrigation or greywater.

### Superior to Concrete

Modular design for **quicker, easier installation** than concrete vaults

**Conserves energy** with less equipment used in **shipping and installation**

Can be configured for **multidirectional water flow**

**Corrosion-resistant** composite and **eco-friendly** soy resin

Designed to withstand **H-25/HS-25 axle loads**

### Superior to Chambers

**Up to 70% reduction** of stone backfill

**Design flexibility** with configurations and accessories

**More storage space** with open bottom

**XERXES®**

## HYDROCHAIN™ VAULT

### HYDROCHAIN PRODUCTS FOR STORMWATER SYSTEMS OF ANY SCOPE

HydroChain Vaults can be installed as the foundation for a HydroChain System. The vault sections can be configured in numerous ways and in unlimited numbers to accommodate large volumes of stormwater. It is the ultimate composite solution to maximize stormwater management while minimizing site footprint.

#### BACKED BY DECADES OF SUCCESSFUL INSTALLATIONS

- 15 years of composite manufacturing and stormwater treatment technology
- Site-specific product design by in-house engineers
- Stringent quality control of manufacturing
- Comprehensive installation instructions

#### VAULT CAPACITIES

This chart includes storage volumes, dimensions and weights.

	U.S. Measurement	Metric Measurement
Bare vault system storage (vault and covers)	41.4 cu ft per unit	1.17 m³ per unit
Installed storage (per unit)	50 cu ft per unit	1.42 m³ per unit
Installed storage (per sq ft or sq m)	4.24 cu ft per square foot	1.29 m³ per square meter
W x H x L & Weights	41.3" x 36" x 41.3" 50 lbs	1049 mm x 914 mm x 1049 mm 22.7 kg

These estimates are based on 50,000 cu ft vault system with cover tray, 6 in / 15 cm base stone, 12 in / 30 cm top stone, and 40% porosity.

#### VAULT COMPONENTS

- Vault chamber** – Maximizes storage value within a smaller footprint while retaining the same 4-foot section height as the standard S29 chamber system
- End cap** – Allows complete design flexibility and flow rates
- Close off** – Fills in the gap between the vaults and trays, preventing top backfill from entering the system
- Tray** – Reduces the need for top stone backfill by creating a total cover plate
- Lock** – Ensures that trays are locked together for added strength



Contact [watersales@shawcor.com](mailto:watersales@shawcor.com) for more information on configuring chambers to meet your project requirements.

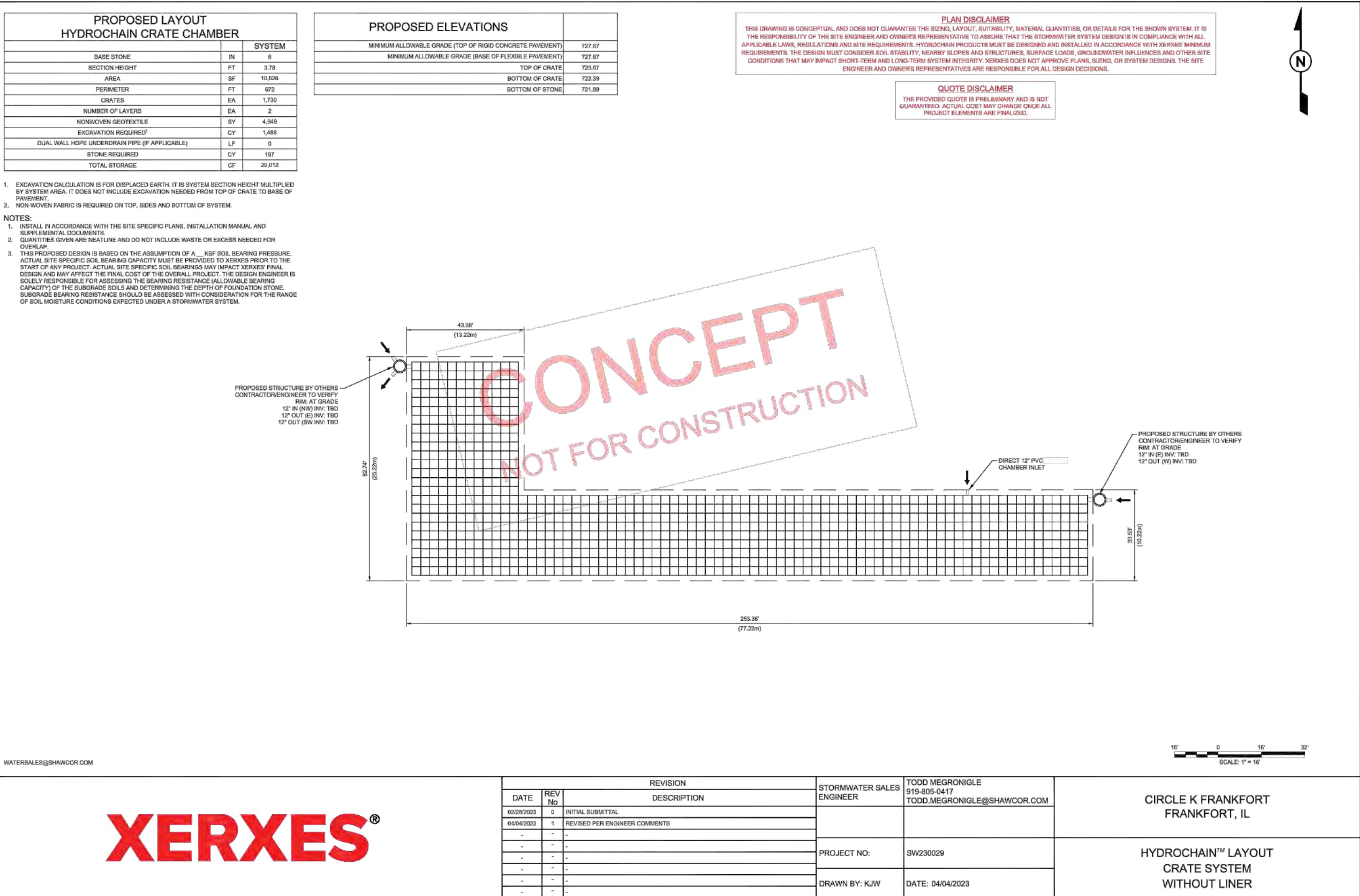
We are a global materials science technology company specializing in products and solutions for the water, energy, infrastructure and transportation markets. We continually pursue sustainable solutions that protect the environment, conserve resources and extend asset life.

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watersales@shawcor.com

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XH-V0223



**XERXES®**



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[www.arcdesign.com](http://www.arcdesign.com)  
Illinois Design Firm License No. 184-00134

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OWNER'S NAME

**CIRCLE K  
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WILL CO.

RDK VENTURES LLC  
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REVISIONS

ITEM	DATE
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SHEET TITLE

**UNDERGROUND  
DETENTION  
DETAILS**

DRAWN TWL  
CHECKED LND  
PM RCS

PROJECT NUMBER  
SHEET NUMBER

**20033**

**C11**



PROJECT NAME  
OWNER'S NAME

CIRCLE K  
FRANKFORT

7654 W LINCOLN HWY  
FRANKFORT, IL 50423  
WILL CO.

RDK VENTURES LLC  
500 WARRENVILLE ROAD  
LISLE, IL 60532  
(815) 762-4861

CONSULTANTS

ISSUED FOR

	DATE
1. COORDINATION	08-13-2021
2. COORDINATION	09-15-2021
3. AGENCY REVIEW	10-06-2021
4. AGENCY REVIEW	08-01-2022
5. AGENCY REVIEW	12-05-2022
6. AGENCY REVIEW	03-02-2023
7. AGENCY REVIEW	04-07-2023
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REVISIONS

ITEM	DATE
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SHEET TITLE

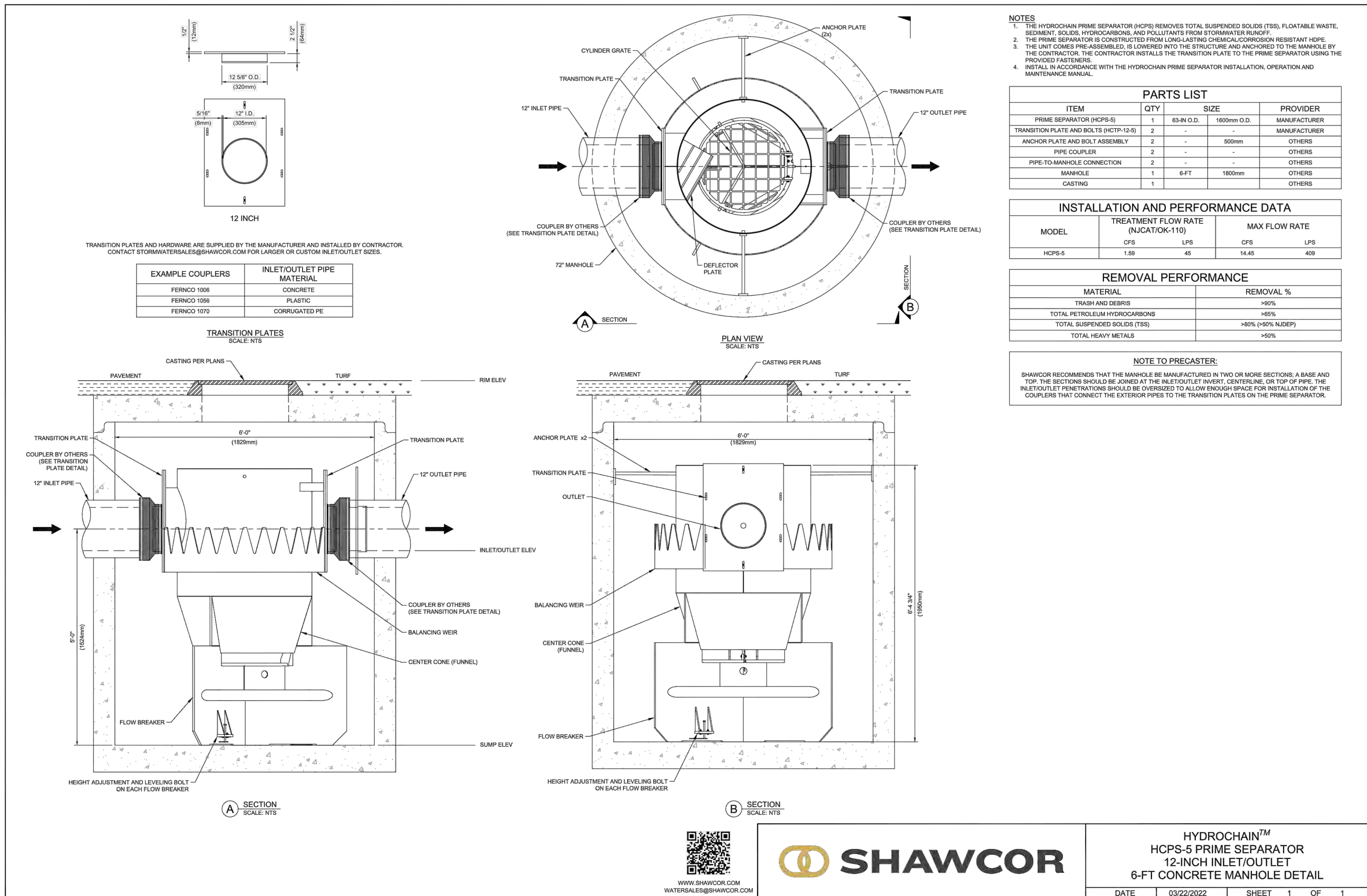
WMQ DEVICE  
DETAIL

DRAWN TWL  
CHECKED LND  
PM RCS

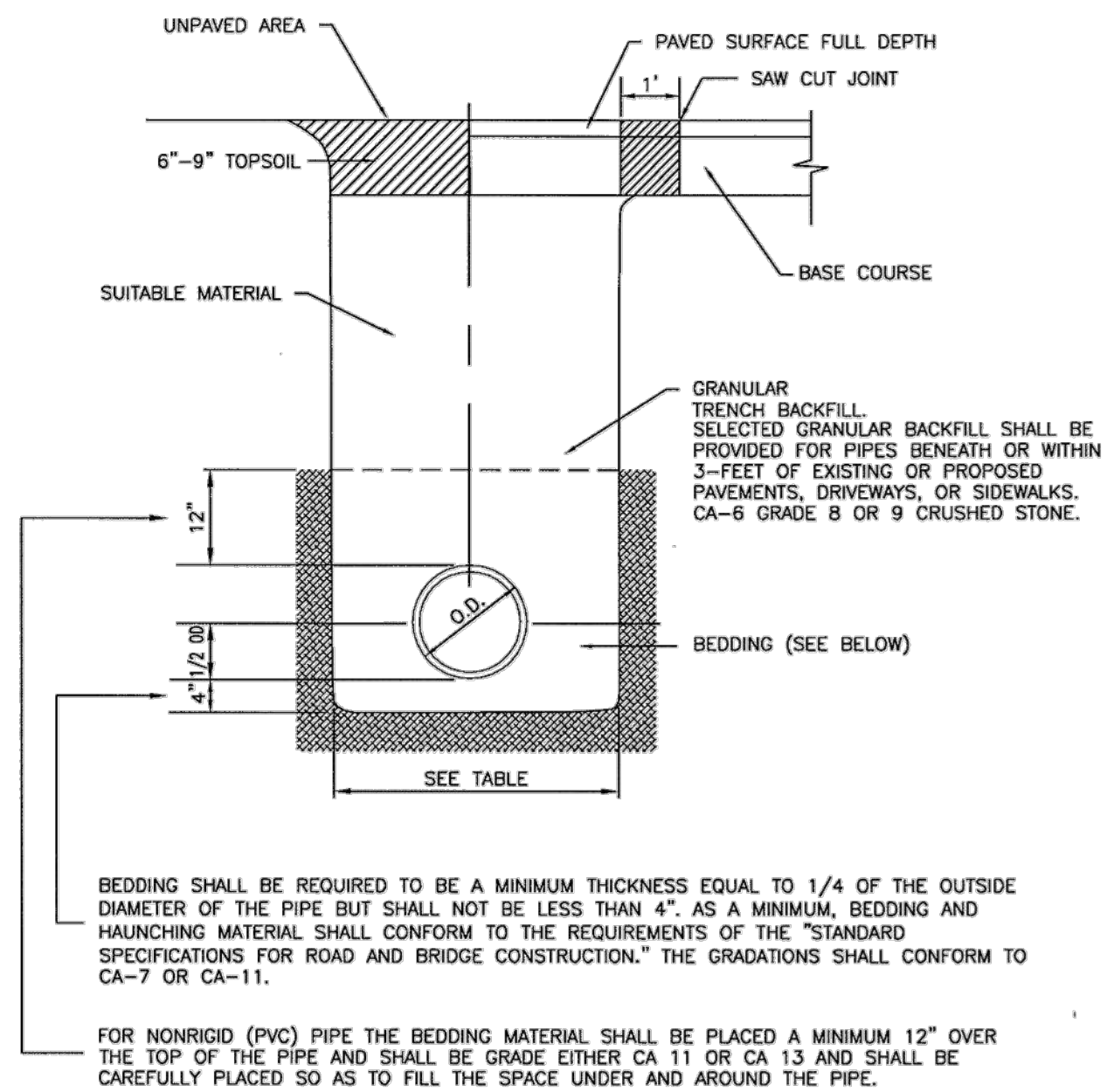
PROJECT NUMBER  
SHEET NUMBER

20033

C12







NOMINAL PIPE SIZES (INCHES)	TRENCH WIDTHS* (INCHES)
12 OR SMALLER	30
14-18	36
20-24	48
27-30	55
33 OR LARGER	1 1/3 TIMES PIPE O.D.

\*TO COMPLY WITH OSHA REQUIREMENTS.

TRENCH BACKFILL DETAIL

EXHIBIT 2A  
JUNE 2007

PRIOR TO PIPE LAYING AND JOINTING, THE TRENCH SHALL BE SUFFICIENTLY DEWATERRED TO MAINTAIN THE WATER LEVEL IN THE TRENCH AT OR BELOW THE BASE OF THE BEDDING. STATE/FEDERAL PERMITS, LICENSE AGREEMENTS, OR OTHER REQUIRED APPROVALS SHALL BE OBTAINED PRIOR TO DEWATERING.

SANITARY SEWER PIPE, SERVICE LINES AND THE JOINT SPECIFICATION SHALL BE AS FOLLOWS:

PIPE	PIPE MATERIAL	JOINT MATERIAL
DUCTILE IRON PIPE	ANSI A-21.51 CL50	ASA A-21.11
PVC SDR 26 (24" DIA. OR LESS)	ASTM D-3034	ASTM D-3212
PVC PROFILE PIPE (OVER 24" DIAMETER)	ASTM F-1803	ASTM D-3212
VTOLON	ASTM D-1784	ASTM D-3212

WHERE SEPARATION FROM WATER MAIN CANNOT BE MAINTAINED AS REQUIRED BY IL RS, SANITARY SEWER SHALL BE MECHANICAL JOINT PVC PRESSURE PIPE MEETING C-900 OR C-905.

SEWERS SHALL BE LAID STRAIGHT IN BOTH HORIZONTAL AND VERTICAL PLANES BETWEEN MANHOLES WITH A MINIMUM COVER OF 4'.

SANITARY SEWERS SHALL BE LOCATED A MINIMUM OF 10' FROM ANY BUILDING AND MEETING SEPARATION REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS.

SERVICE LINES SHALL BE CONNECTED TO THE SEWER USING A WYE AT THE 10:00 AND 2:00 POSITIONS. SERVICE LINES NOT IMMEDIATELY CONNECTED TO THE BUILDING TO BE SERVED SHALL BE TIGHTLY PLUGGED, USING A PLUG PROVIDED BY THE PIPE MANUFACTURER FOR SUCH USE.

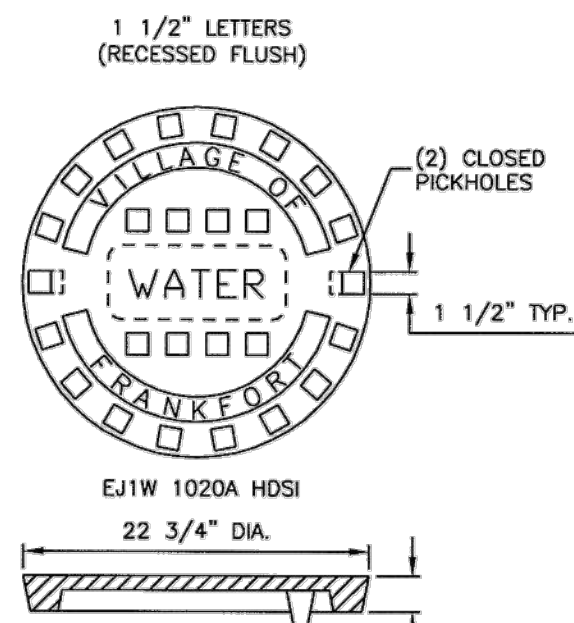
ALL SEWERS SHALL BE PRESSURE AND DEFLECTION TESTED IN ACCORDANCE WITH THE LATEST EDITION OF STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS.

VACUUM TESTING OF EACH MANHOLE SHALL BE CARRIED OUT IMMEDIATELY AFTER ASSEMBLY, AFTER ALL CONNECTIONS ARE MADE, AND PRIOR TO BACKFILLING. ALL LIFT HOLES SHALL BE PLUGGED WITH AN APPROVED NON-SHRINK GROUT. NO GROUT WILL BE PLACED IN THE HORIZONTAL JOINTS BEFORE TESTING. ALL PIPES ENTERING THE MANHOLE SHALL BE PLUGGED, TAKING CARE TO SECURELY BRACE THE PLUGS FROM BEING DRAWN INTO THE MANHOLE. THE TEST HEAD SHALL BE PLACED AT THE INSIDE OF THE TOP OF THE FRAME AND THE SEAL INFLATED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION. IF USING A "PLATE" STYLE MANHOLE TESTER, POSITION THE PLATE ON THE FRAME. A VACUUM OF 10 INCHES OF MERCURY SHALL BE DRAWN AND THE VACUUM PUMP SHUT OFF. WITH THE VALVES CLOSED, THE TIME SHALL BE MEASURED FOR THE VACUUM TO DROP TO 9 INCHES. THE MANHOLE SHALL PASS IF THE TIME IS GREATER THAN 60 SECONDS FOR A 48" DIAMETER MANHOLE, 75 SECONDS FOR A 60" MANHOLE AND 90 SECONDS FOR A 72" MANHOLE. IF THE MANHOLE FAILS THE TEST, MAKE NECESSARY REPAIRS AND REPEAT TEST PROCEDURES UNTIL A SATISFACTORY TEST IS OBTAINED.

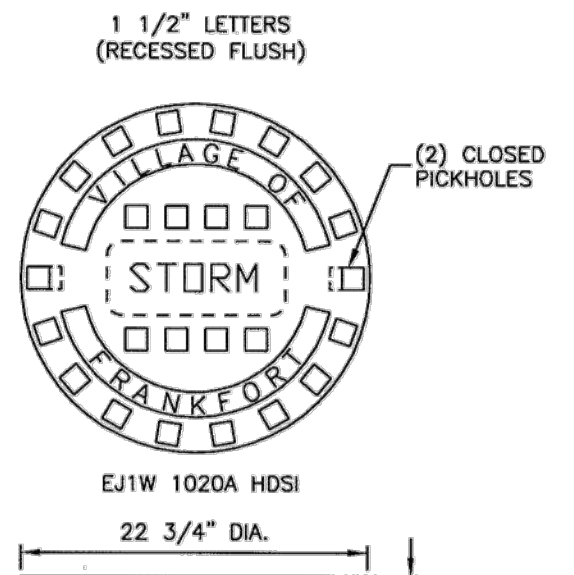
ALL PUBLIC SANITARY SEWER EXTENSIONS SHALL BE INTERNALLY VIDEO TAPED BY REMOTE CAMERA. TAPES SHALL BE IN COLOR USING VHS OR CD-ROM FORMAT AND SUBMITTED WITH WRITTEN REPORTS TO THE VILLAGE ENGINEER FOR HIS REVIEW AND APPROVAL PRIOR TO ACCEPTANCE OF THE SEWER IMPROVEMENTS BY THE VILLAGE.

SANITARY SEWER SPECIFICATIONS

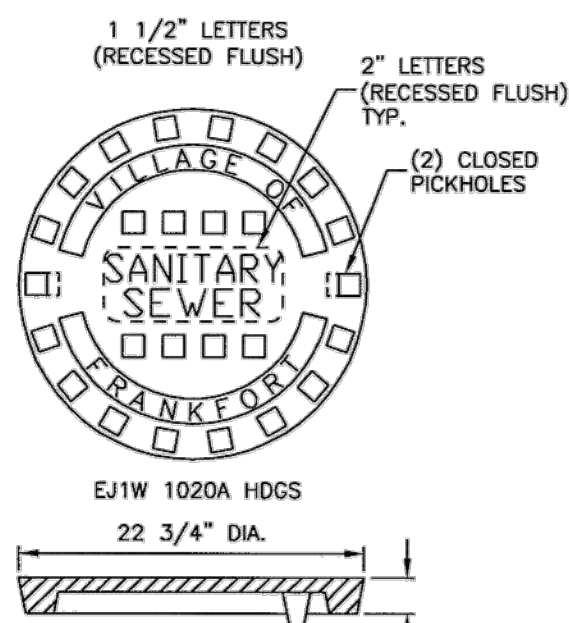
EXHIBIT 3A  
JUNE 2007



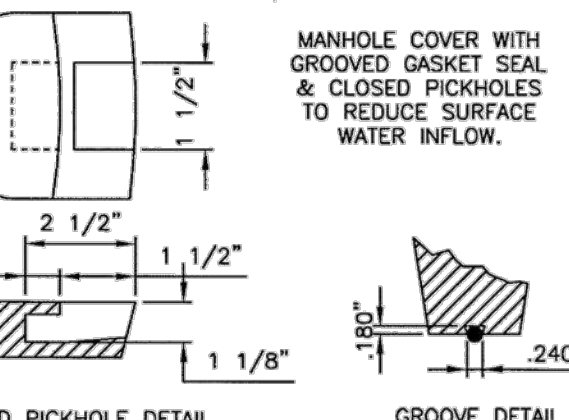
HEAVY DUTY  
MAT'L ASTM A48 CL35  
MACHINED BEARING SURFACE  
COVER WT: 125 LBS



HEAVY DUTY  
MAT'L ASTM A48 CL35  
MACHINED BEARING SURFACE  
COVER WT: 125 LBS

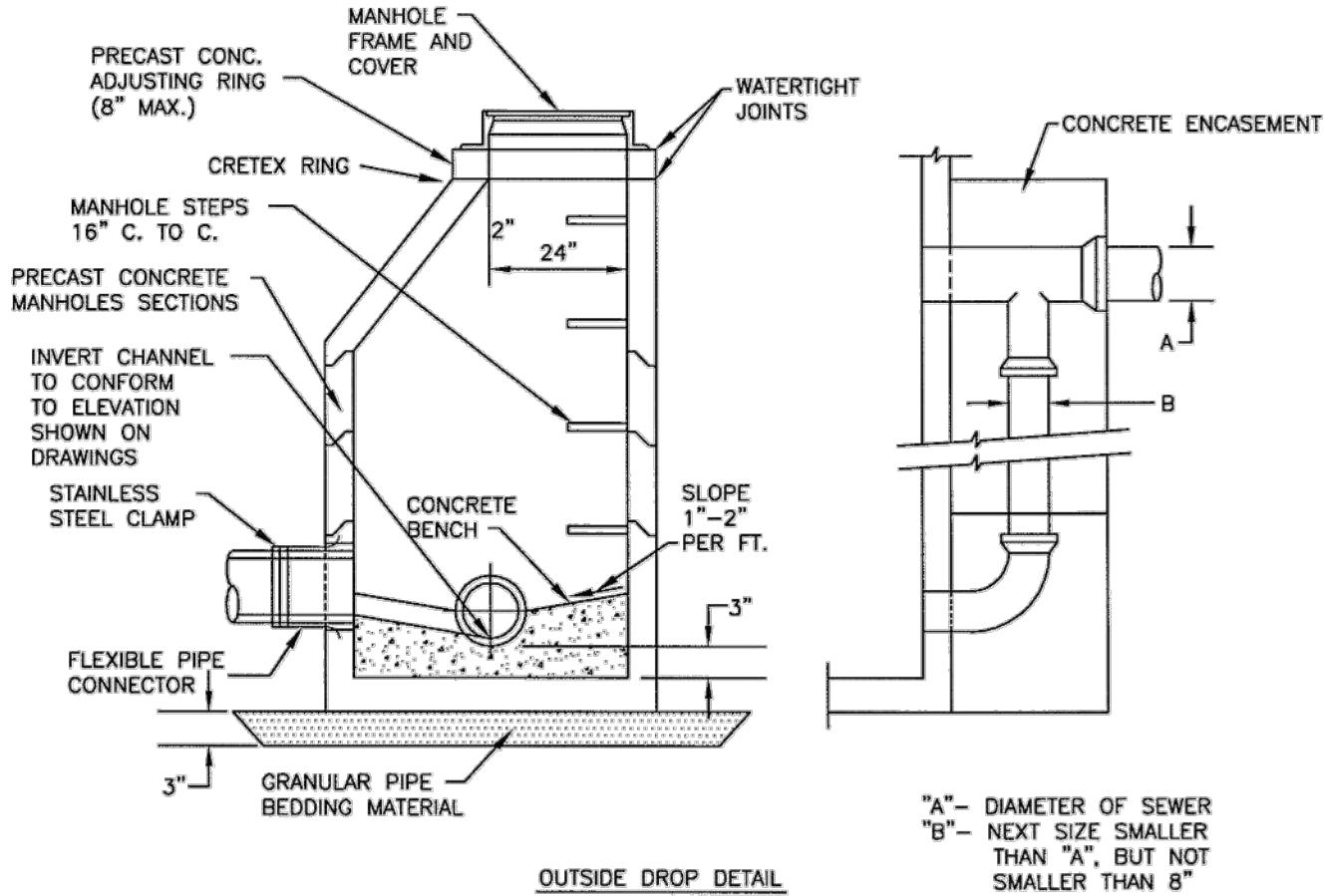


HEAVY DUTY  
MAT'L ASTM A48 CL35  
MACHINED BEARING SURFACE  
COVER WT: 125 LBS



SPECIAL LETTERED MANHOLE COVER

EXHIBIT 2B  
JUNE 2007



- NOTES:
- ALL MANHOLES SHALL BE PRECAST, REINFORCED CONCRETE SECTIONS PER ASTM C-478.
  - USE 4'-0" INTERNAL DIAMETER FOR SEWER SIZES 8" THRU 21", 5'-0" DIAMETER FOR SEWER SIZES 24" THRU 33" UNLESS OTHERWISE NOTED.
  - ECCENTRIC CONES REQUIRED, FLAT SLAB TOPS PERMITTED ONLY FOR MANHOLES TOO SHALLOW FOR CONES.
  - ALL MANHOLES SHALL CONTAIN EPOXY COATED CAST IRON STEPS.
  - ALL JOINTS BETWEEN MANHOLE SECTIONS SHALL BE SEALED WITH MASTIC JOINT MATERIAL. ALL SANITARY MANHOLES SHALL BE PROVIDED ADAPTOR SEAL OR EQUAL, WITH A RUBBER SLEEVE TO SEAL THE OUTSIDE OF THE CHIMNEY FROM THE MANHOLE FRAME DOWN TO THE CORBEL, INSTALLED PER MANUFACTURERS INSTRUCTIONS.
  - USE OUTSIDE DROP WHEN ANY ENTERING SEWER INVERT DIFFERS BY 2'-0" OR MORE FROM INVERT OF MANHOLE.
  - MANHOLES SHALL BE VACUUM TESTED.

SANITARY MANHOLE DETAIL

EXHIBIT 3B  
JUNE 2007

ARC DESIGN  
RESOURCES INC.

5281 ZENITH PARKWAY  
LOVES PARK, IL 61111  
VOICE: (815) 484-4300  
FAX: (815) 484-4303  
www.arcdesign.com  
Illinois Design Firm License No. 184-001334

PROJECT NAME  
OWNER'S NAME

CIRCLE K  
FRANKFORT

7654 W LINCOLN HWY  
FRANKFORT, IL 50423  
WILL CO.

RDK VENTURES LLC  
500 WARRENVILLE ROAD  
LISLE, IL 60532  
(815) 762-4861

CONSULTANTS

ISSUED FOR

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REVISIONS

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SHEET TITLE

VILLAGE DETAILS

DRAWN TWVL  
CHECKED LND  
PM RCS

PROJECT NUMBER  
SHEET NUMBER

20033

C13



STORM SEWERS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C76 MINIMUM CLASS III WITH O-RING JOINTS CONFORMING TO ASTM C443.

ALL STRUCTURE CONNECTIONS SHALL BE CONCRETE SEWER PIPE, ASTM C14 FOR EXTRA STRENGTH PIPE.

SUMP PUMP SERVICE CONNECTIONS SHALL BE 4" PVC SDR 26 UNLESS OTHERWISE NOTED.

CORRUGATED METAL PIPE SHALL BE HOT-DIPPED GALVANIZED STEEL OR ALUMINUM STEEL CONFORMING TO AASHTO M36.

- FOR 21" DIAMETER PIPE AND SMALLER, PROVIDE 16 GAUGE CMP.
- FOR 24" DIAMETER PIPE AND LARGER, PROVIDE 12 GAUGE CMP.

MINIMUM COVER SHALL BE 3" MINIMUM UNLESS SPECIAL PRECAUTIONS ARE SPECIFIED.

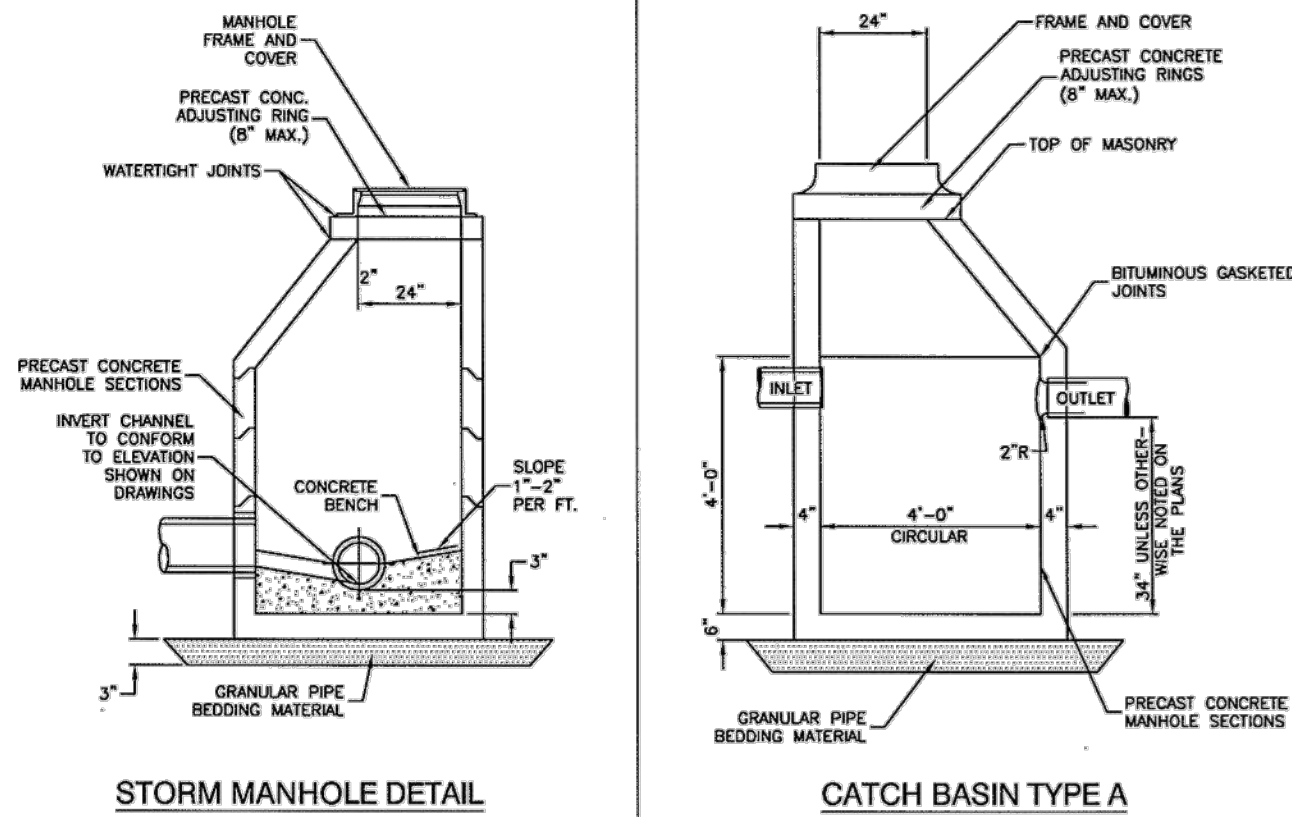
ALL FLARED END SECTIONS LESS THAN 48" (EFFECTIVE DIAMETER) REQUIRE GRATES IN ACCORDANCE WITH IDOT SPECIFICATIONS.

ALL CASTINGS SHALL BE MADE IN THE U.S.A. WITH U.S.A. MATERIALS. CLOSED COVERS SHALL BE STAMPED PER EXHIBIT 2B. OPEN COVERS SHALL HAVE THE GRATES AS SPECIFIED.

STRUCTURE LOCATION	STRUCTURE LABEL	MANUFACTURER NUMBER	MINIMUM OPEN AREA
BARRIER CURB			
MOUNTABLE CURB			
PAVED AREAS			
GRASSED AREAS			

#### STORM SEWER SPECIFICATIONS

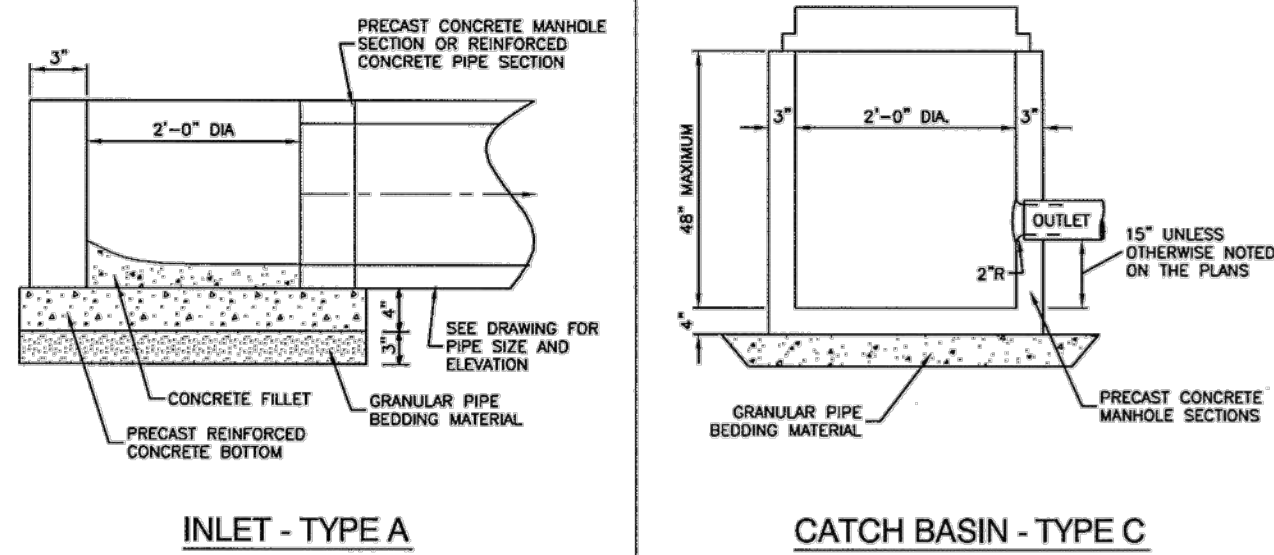
EXHIBIT 4A  
JUNE 2007



- NOTES:
1. ALL CATCH BASINS SHALL BE 4'-0" DIAMETER UNLESS OTHERWISE NOTED ON THE PLANS.
  2. USE ECCENTRIC CONES UNLESS OTHERWISE INDICATED ON THE DRAWINGS. FLAT SLAB TOPS PERMITTED ONLY FOR MANHOLES TO SHALLOW FOR CONES.
  3. USE THE TYPE OF FRAME AND COVER INDICATED ON THE DRAWINGS AND/OR EXHIBIT 4A.
  4. A 2" WIDE NON-HARDENING BUTYL RUBBER MASTIC OF 1/4" MINIMUM THICKNESS SHALL BE INSTALLED BETWEEN ALL MANHOLE SECTIONS AND ADJUSTING RINGS FOR ALL STRUCTURES LYING IN PAVEMENT.

#### STORM MANHOLE & CATCH BASIN

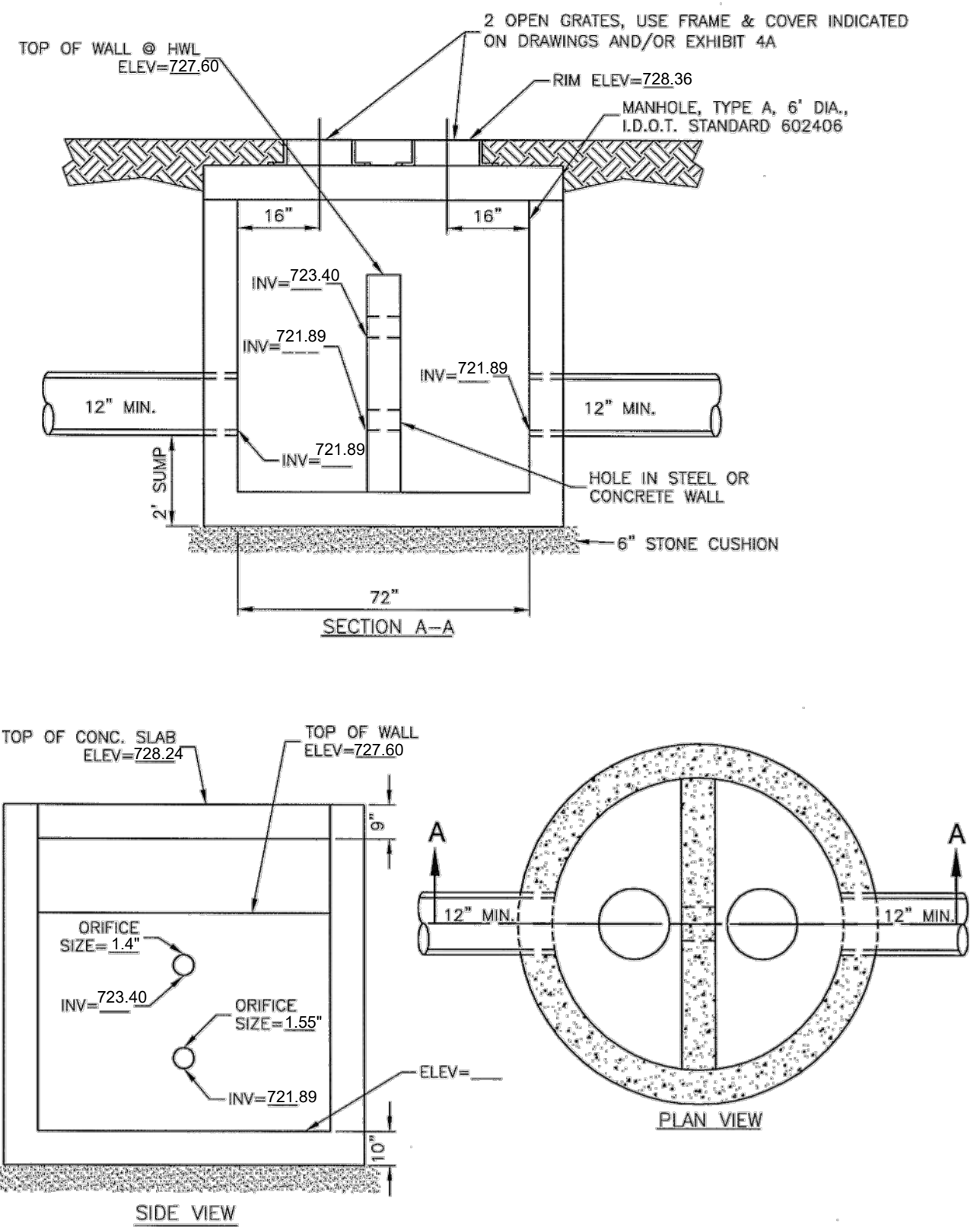
EXHIBIT 4B  
JUNE 2007



- NOTES:
1. USE THE FRAME & COVER INDICATED ON DRAWINGS AND/OR EXHIBIT 4A.
  2. A 2" WIDE NON-HARDENING BUTYL RUBBER MASTIC OF 1/4" MINIMUM THICKNESS SHALL BE INSTALLED BETWEEN ALL MANHOLE SECTIONS AND ADJUSTING RINGS FOR ALL STRUCTURES LYING IN PAVEMENT.

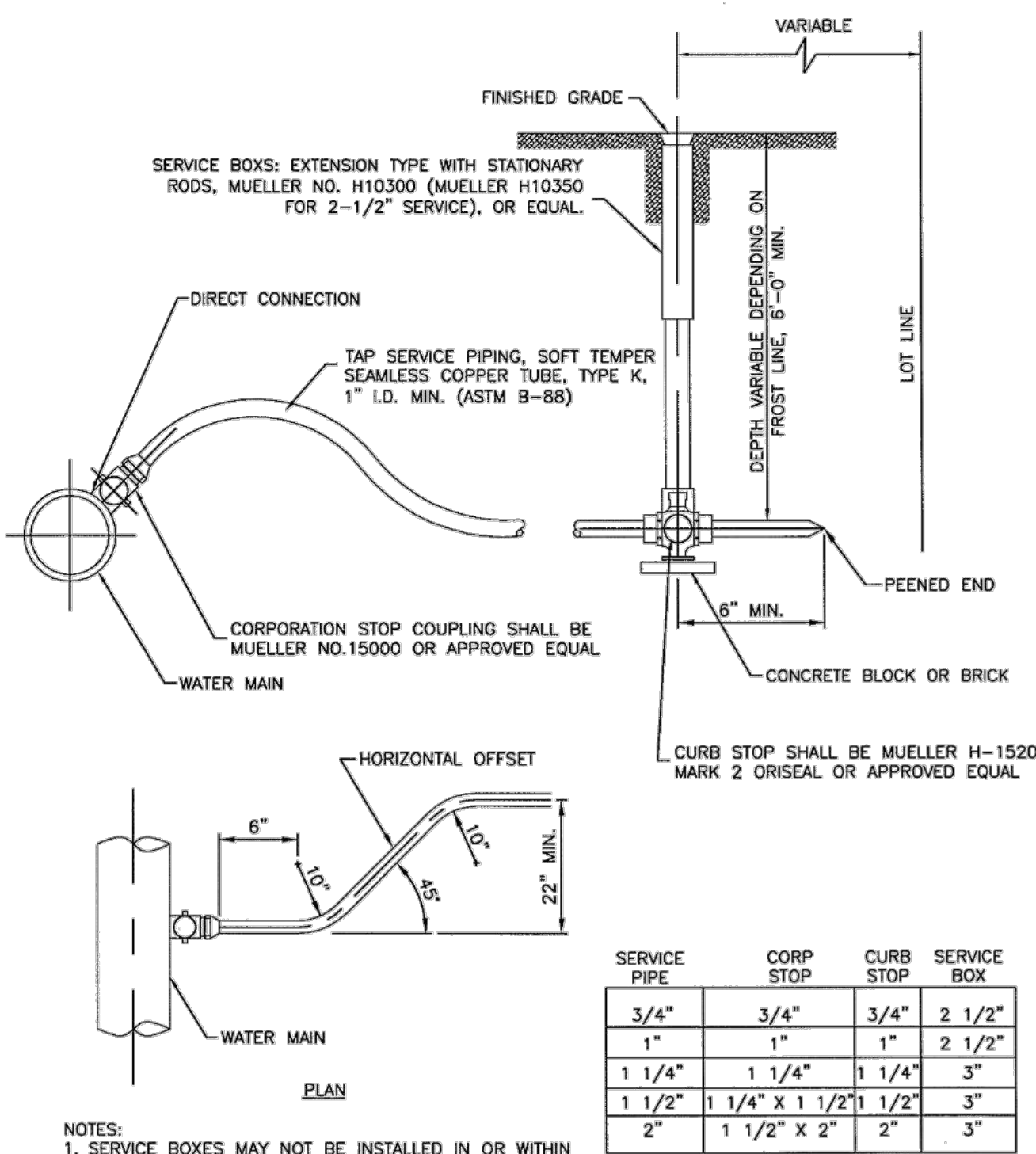
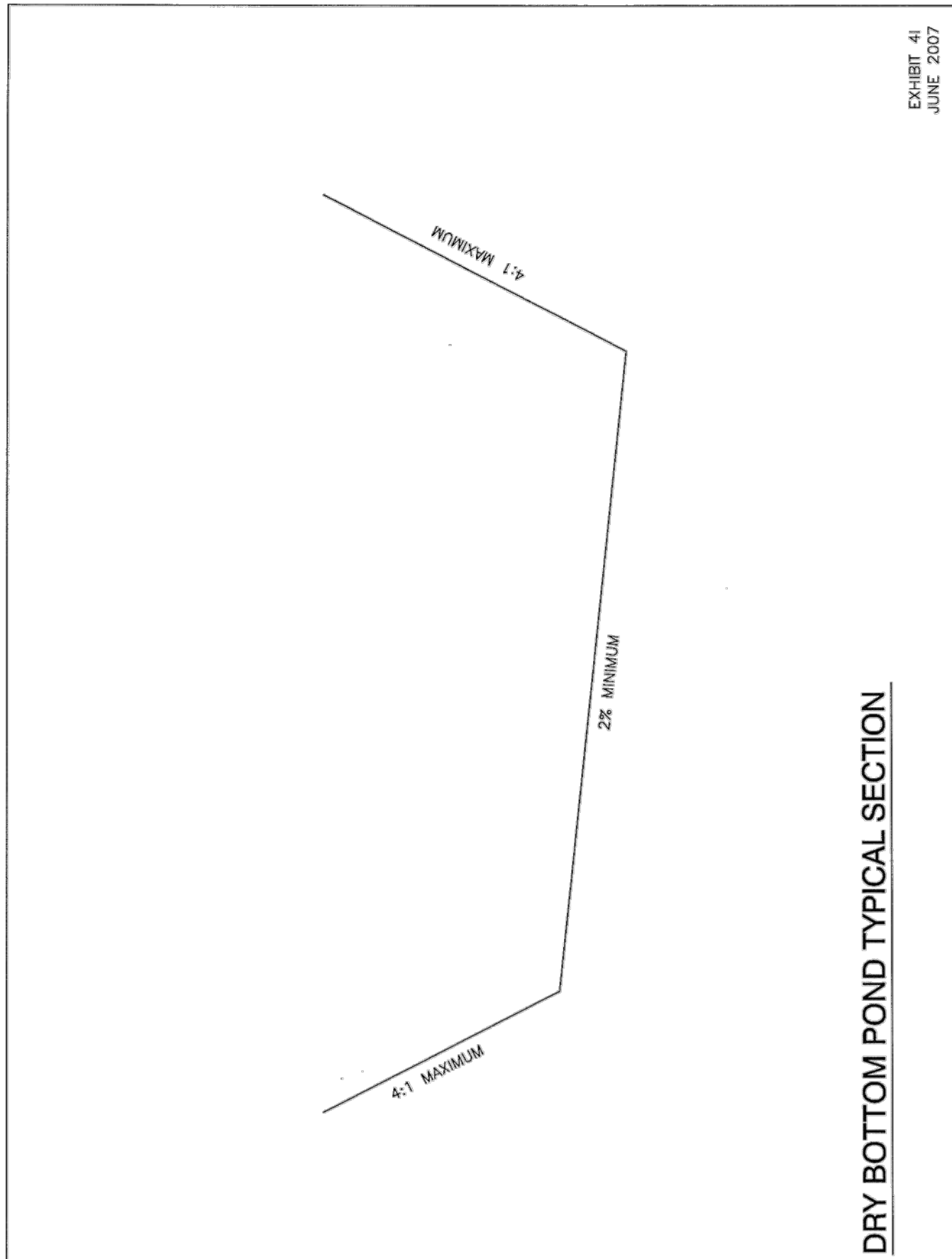
#### STORM INLETS

EXHIBIT 4C  
JUNE 2007



#### TYPICAL OUTLET CONTROL STRUCTURE (RECOMMENDED)

EXHIBIT 4E  
JUNE 2007



- NOTES:
1. SERVICE BOXES MAY NOT BE INSTALLED IN OR WITHIN 2' OF ANY PAVEMENT OR WALK.
  2. ALL SERVICE TAPS SHALL BE FULL STAINLESS STEEL OR WITH A MANUFACTURED TAP COUPLING.
  3. PROVIDE FULL SLEEVE STAINLESS STEEL SERVICE SADDLES FOR CONNECTIONS TO PVC PIPES, McDONALD SERIES NO. 3805 OR MUELLER SERIES NO. H16000, OR EQUAL.

#### TYPICAL WATER SERVICE INSTALLATION

EXHIBIT 5F  
JUNE 2007

PROJECT NAME  
OWNER'S NAME

#### CIRCLE K FRANKFORT

7654 W LINCOLN HWY  
FRANKFORT, IL 50423  
WILL CO.

RDK VENTURES LLC  
500 WARRENVILLE ROAD  
LISLE, IL 60532  
(815) 762-4861

CONSULTANTS

ISSUED FOR

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REVISIONS

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SHEET TITLE

#### VILLAGE DETAILS

DRAWN TWL  
CHECKED LND  
PM RCS

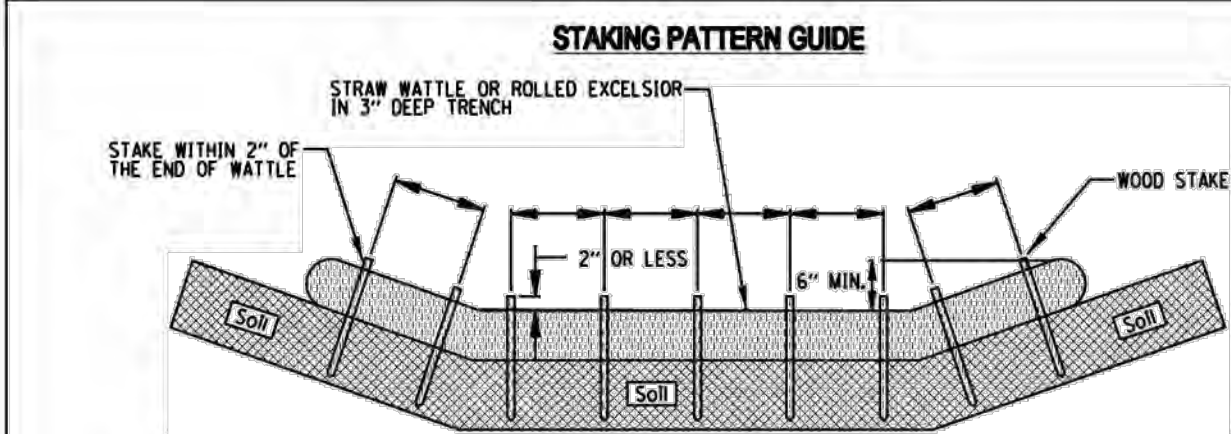
PROJECT NUMBER  
SHEET NUMBER

20033

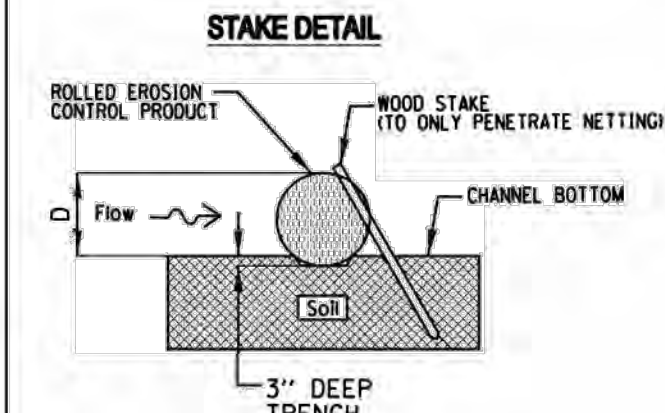
C14



## ROLLED EROSION CONTROL PRODUCTS



- NOTES:
1. OVERLAP MINIMUM IS THE DIAMETER OF THE ROLL.
  2. 4" SPACING FOR WATTLES.
  3. 2" SPACING FOR ROLLED EXCELSIOR.
  4. OR SPACE ACCORDING TO MANUFACTURER'S SPECIFICATIONS.



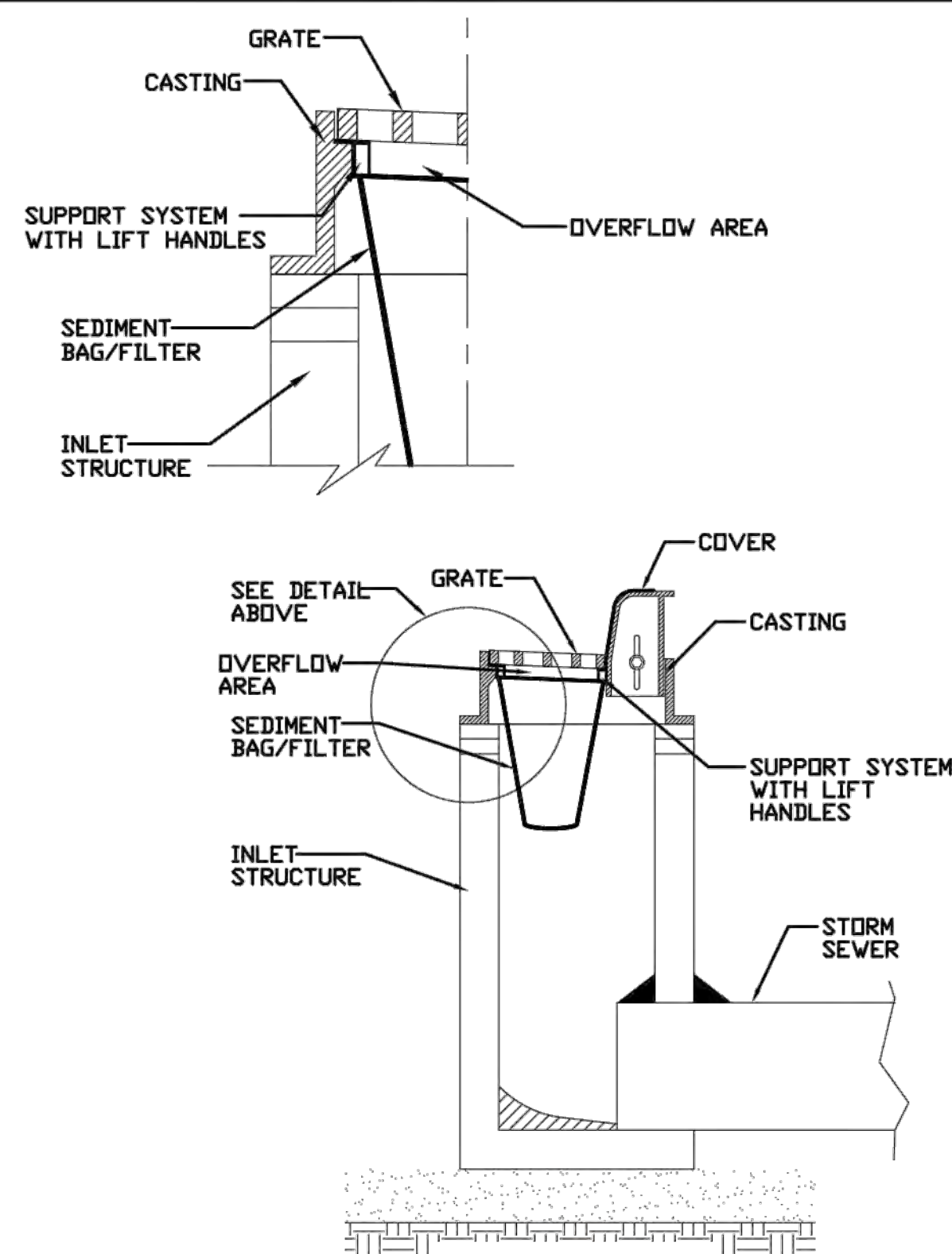
- NOTES:
1. DRAWINGS ARE NOT TO SCALE.
  2. ENDS OF WATTLES OR ROLLED EXCELSIOR SHALL BE TURNED AT LEAST 6" UPSLOPE.
  3. RECOMMENDED STAKES ARE 1 1/8" WIDE x 1 1/8" THICK x 30" LONG.
  4. STAKES SHALL NOT EXTEND ABOVE THE STRAW WATTLE MORE THAN 2".
  5. SPACING: THE TOE OF THE UPSTREAM DITCH CHECK SHALL CREATE A HORIZONTAL LINE WITH THE TOP OF THE DOWNSTREAM DITCH CHECK.

REFERENCE  
Project \_\_\_\_\_  
Designed \_\_\_\_\_  
Checked \_\_\_\_\_  
Approved \_\_\_\_\_



STANDARD DWG. NO.  
**IUM-514**  
SHEET 1 OF 1  
DATE 08-2-2019

## INLET PROTECTION - PAVED AREAS DROP-IN PROTECTION

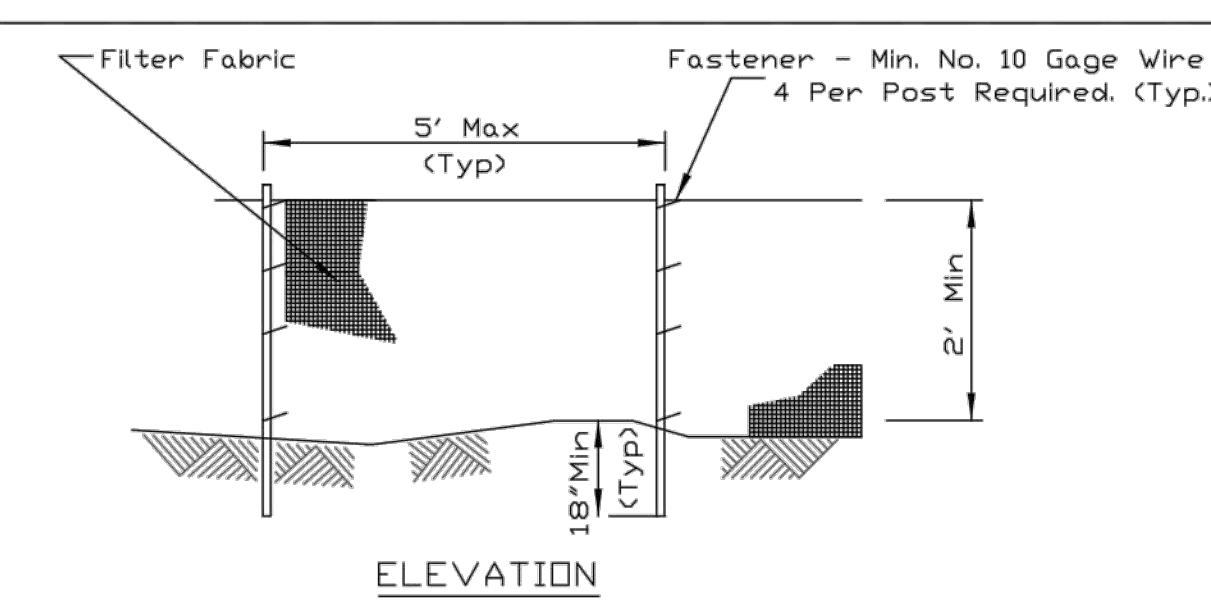


REFERENCE  
Project \_\_\_\_\_  
Designed \_\_\_\_\_  
Checked \_\_\_\_\_  
Approved \_\_\_\_\_

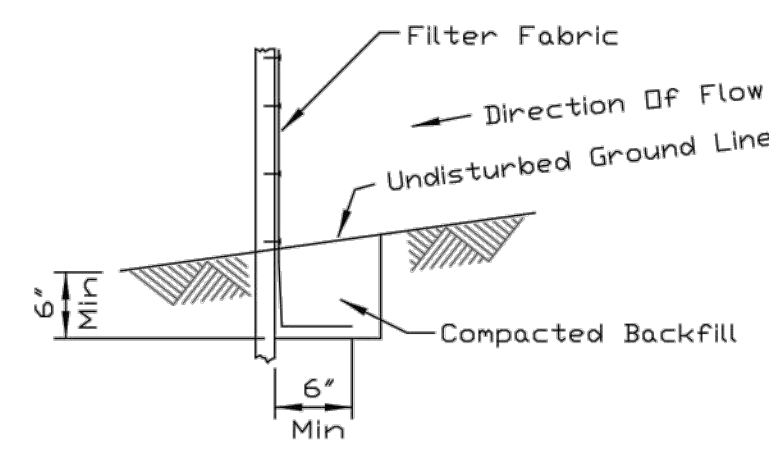


STANDARD DWG. NO.  
**IUM-561D**  
SHEET 1 OF 1  
DATE 01-11-11

## SILT FENCE PLAN



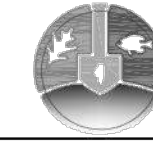
ELEVATION



FABRIC ANCHOR DETAIL

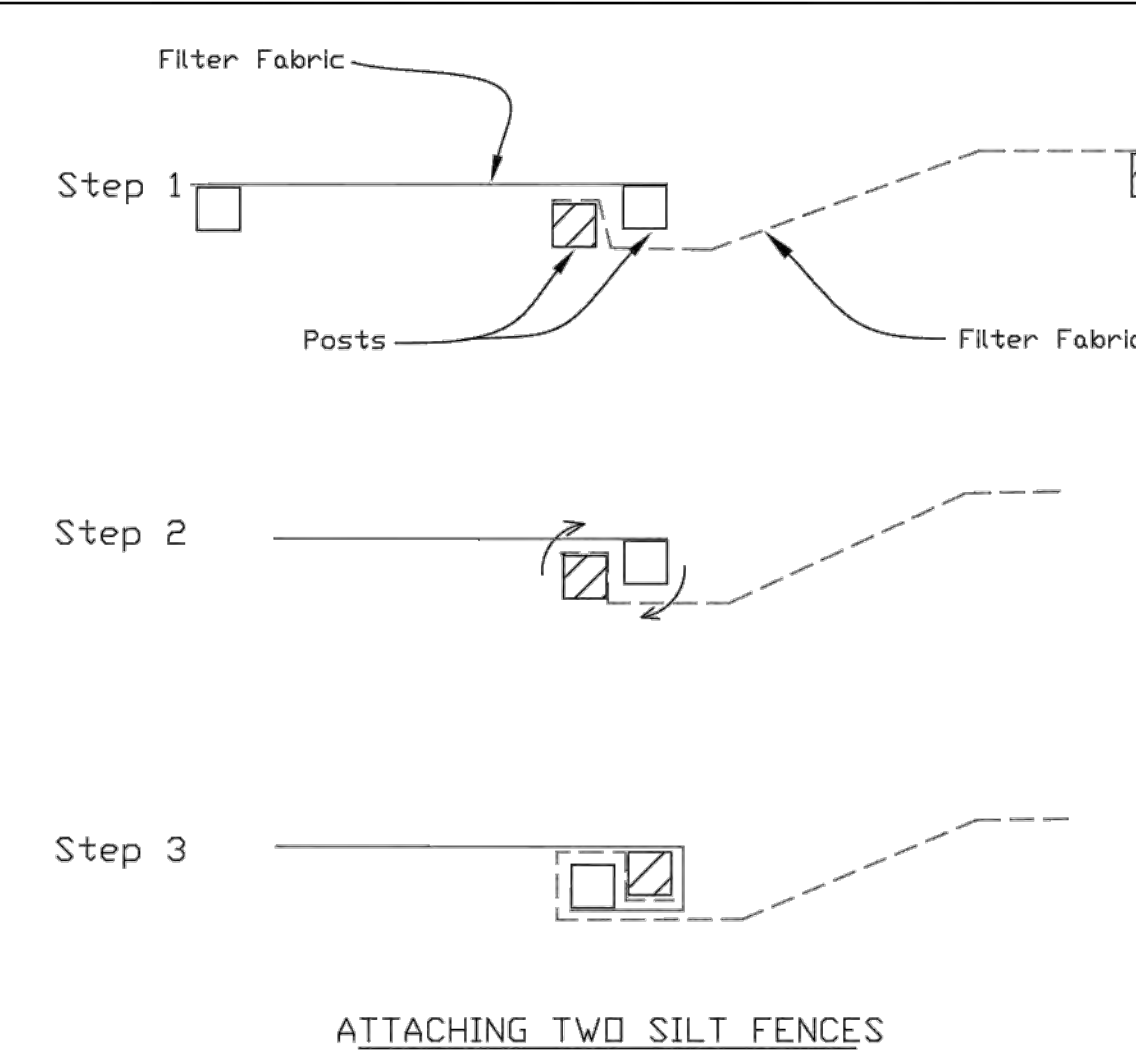
- NOTES:
1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
  2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 40 for woven.
  3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE  
Project \_\_\_\_\_  
Designed \_\_\_\_\_  
Checked \_\_\_\_\_  
Approved \_\_\_\_\_



STANDARD DWG. NO.  
**IUM-620A**  
SHEET 1 OF 2  
DATE 3-16-12

## SILT FENCE - SPLICING TWO FENCES



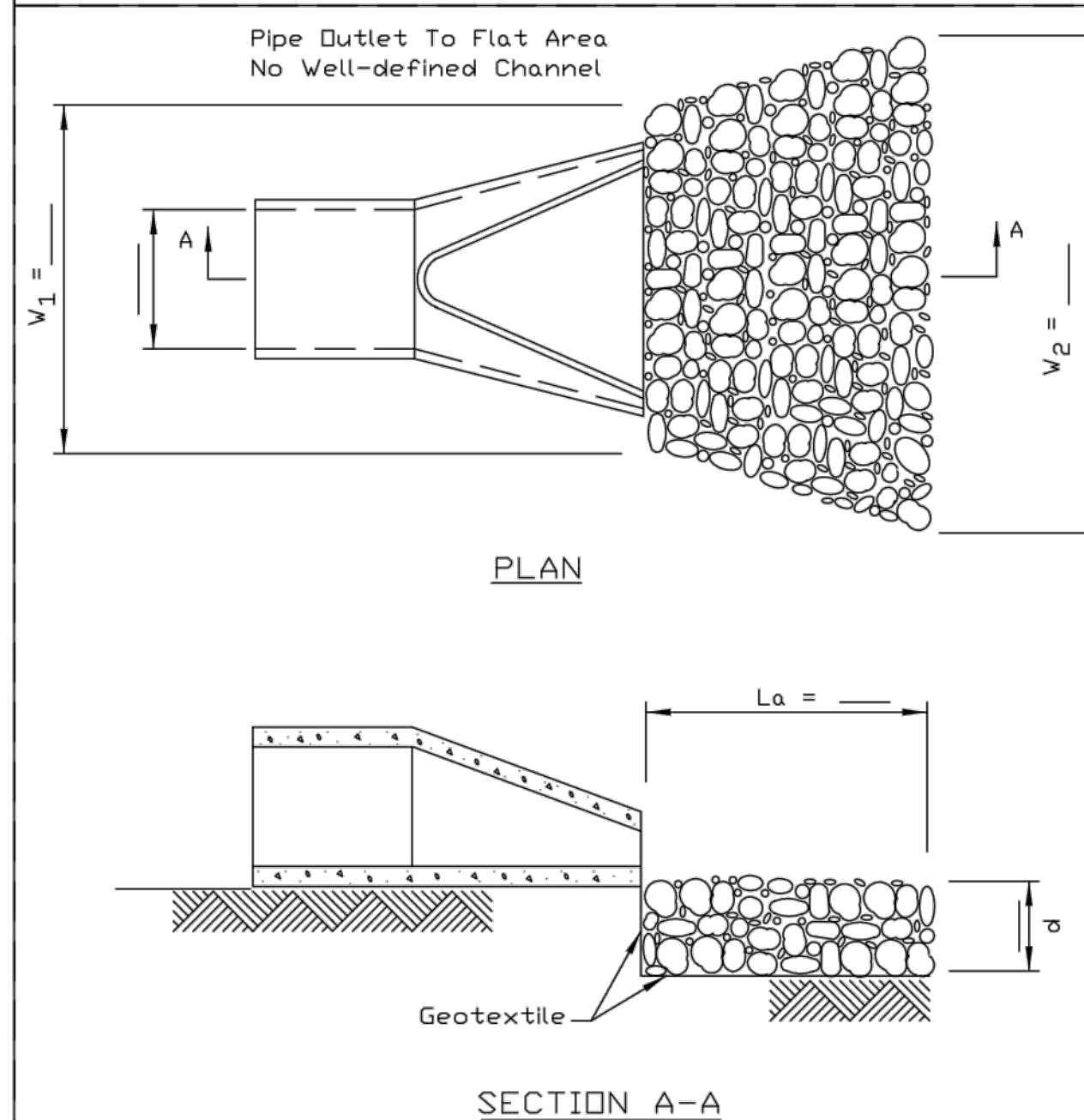
1. Place the end post of the second fence inside the end post of the first fence.
2. Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
3. Cut the fabric near the bottom of the stakes to accommodate the 6" flap.
4. Drive both posts a minimum of 18 inches into the ground and bury the flap.
5. Compact backfill (particularly at splices) completely to prevent stormwater piping.

REFERENCE  
Project \_\_\_\_\_  
Designed \_\_\_\_\_  
Checked \_\_\_\_\_  
Approved \_\_\_\_\_



STANDARD DWG. NO.  
**IUM-620B(W)**  
SHEET 1 OF 1  
DATE 3-16-2012

## PIPE OUTLET TO FLAT AREA



SECTION A-A

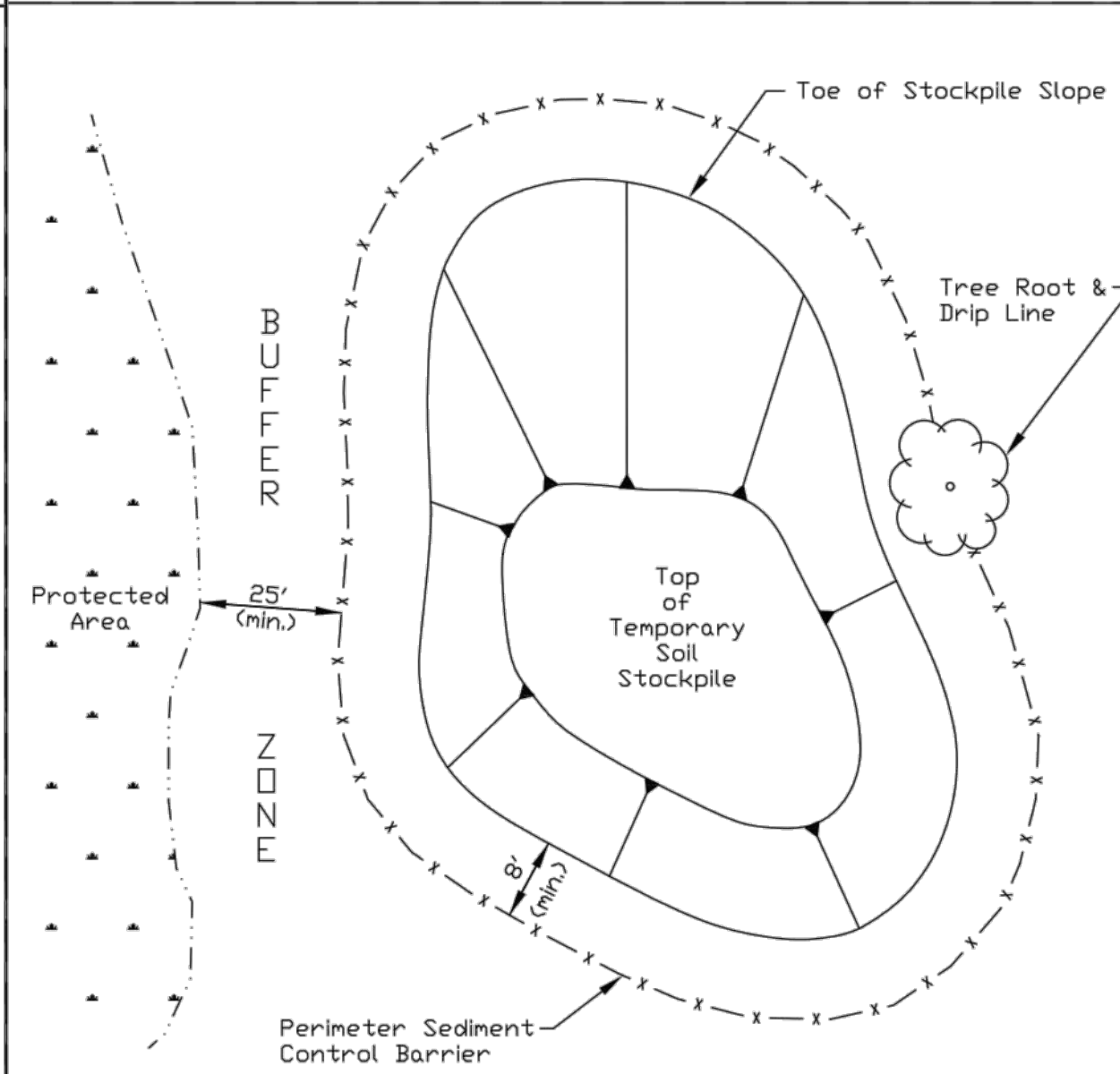
- NOTES:
1. The filter fabric shall meet the requirements in material specifications 592 GEOTEXTILE Table 1 or 2, class I, II or III.
  2. The rock riprap shall shall meet the IDOT requirements for the following gradation: RR \_\_\_\_\_, Quality \_\_\_\_\_.
  3. The riprap shall be placed according to construction specification 61 LODGE ROCK RIPRAP. The rock may be equipment placed.

REFERENCE  
Project \_\_\_\_\_  
Designed \_\_\_\_\_  
Checked \_\_\_\_\_  
Approved \_\_\_\_\_



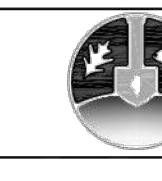
STANDARD DWG. NO.  
**IL-610**  
SHEET 1 OF 1  
DATE 9-15-93

## TEMPORARY SOIL STOCKPILE DETAIL



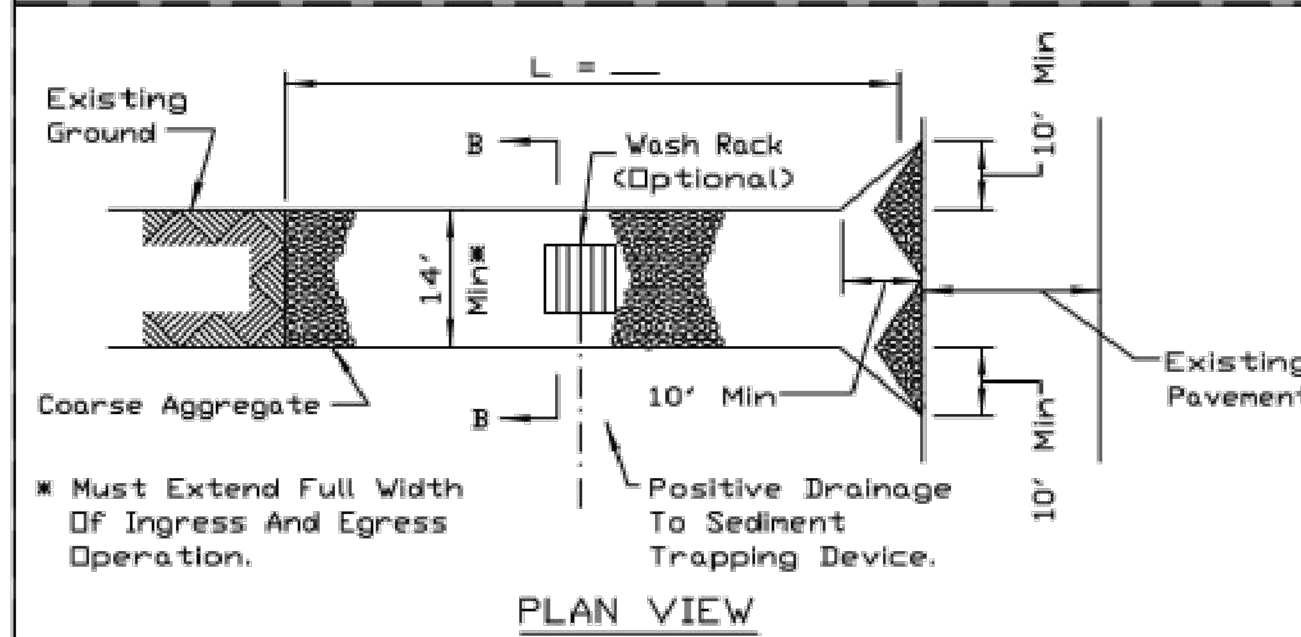
- NOTES:
1. Stockpile slopes should be based on angle of repose of the soil material to avoid potential sloughing of the slope.
  2. Soil stockpile to be stabilized in accordance with practical standards.
  3. Do not locate stockpile within overland drainage flow path, designated floodways, drip line or over the root crown of adjacent trees.
  4. Provisions for sediment control practices may be required along haul roads and entrance/exit locations for access the soil stockpile that can create flow path for stormwater runoff.
  5. Installation of benches, terraces, or slope interrupters should be considered.
  6. Avoid building soil stockpiles on impervious surfaces.
  7. Linear sediment trap surrounding the stockpile base may be used to control sediment.

REFERENCE  
Project \_\_\_\_\_  
Designed \_\_\_\_\_  
Checked \_\_\_\_\_  
Approved \_\_\_\_\_

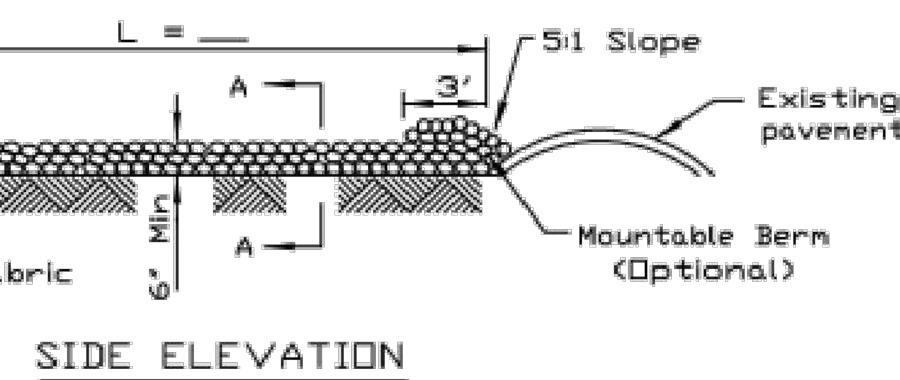


STANDARD DWG. NO.  
**IUM-627**  
SHEET 1 OF 1  
DATE JANUARY 2017

## STABILIZED CONSTRUCTION ENTRANCE PLAN



PLAN VIEW



SIDE ELEVATION

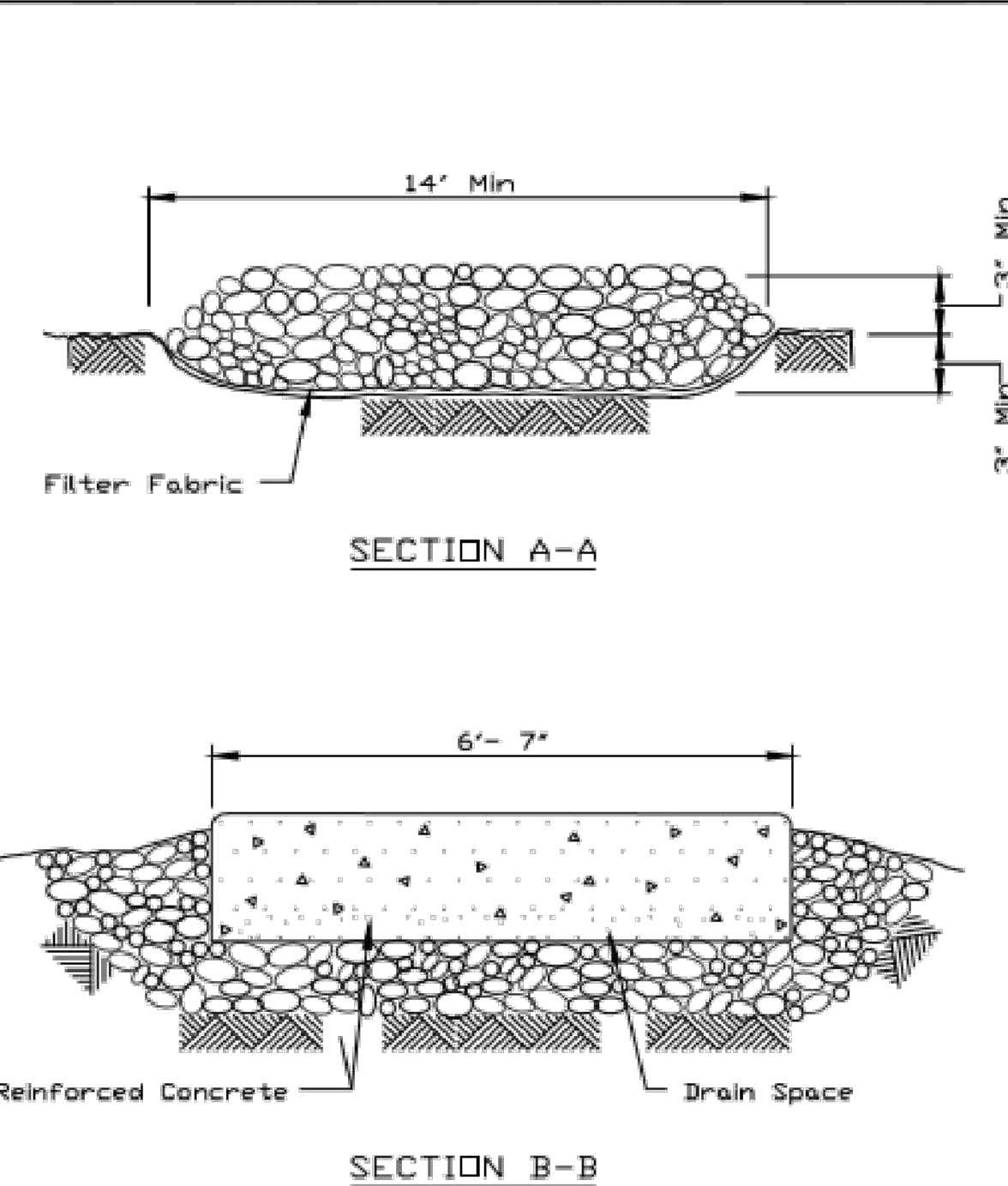
- NOTES:
1. Filter fabric shall meet the requirements of material specification 592 GEOTEXTILE, Table 1 or 2, Class I, II or IV and shall be placed over the cleared area prior to the placing of rock.
  2. Rock or reclaimed concrete shall meet one of the following IDOT coarse aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according to construction specification 25 ROCKFILL using placement Method 1 and Class III compaction.
  3. Any drainage facilities required because of washing shall be constructed according to manufacturers specifications.
  4. If wash racks are used they shall be installed according to the manufacturer's specifications.

REFERENCE  
Project \_\_\_\_\_  
Designed \_\_\_\_\_  
Checked \_\_\_\_\_  
Approved \_\_\_\_\_



STANDARD DWG. NO.  
**IL-630**  
SHEET 1 OF 2  
DATE 8-18-94

## STABILIZED CONSTRUCTION ENTRANCE PLAN



SECTION A-A

SECTION B-B

REFERENCE  
Project \_\_\_\_\_  
Designed \_\_\_\_\_  
Checked \_\_\_\_\_  
Approved \_\_\_\_\_



STANDARD DWG. NO.  
**IL-630**  
SHEET 2 OF 2  
DATE 8-18-94

## ARC DESIGN RESOURCES INC.

5281 ZENITH PARKWAY  
LOVES PARK, IL 61111  
VOICE: (815) 484-4300  
FAX: (815) 484-4303  
www.arcdesign.com  
Illinois Design Firm License No. 184-001334

PROJECT NAME  
OWNER'S NAME

## CIRCLE K FRANKFORT

7654 W LINCOLN HWY  
FRANKFORT, IL 50423  
WILL CO.

RDV VENTURES LLC  
500 WARRENVILLE ROAD  
LISLE, IL 60532  
(815) 762-4861

CONSULTANTS

ISSUED FOR

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REVISIONS	DATE
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SHEET TITLE

## IUM DETAILS

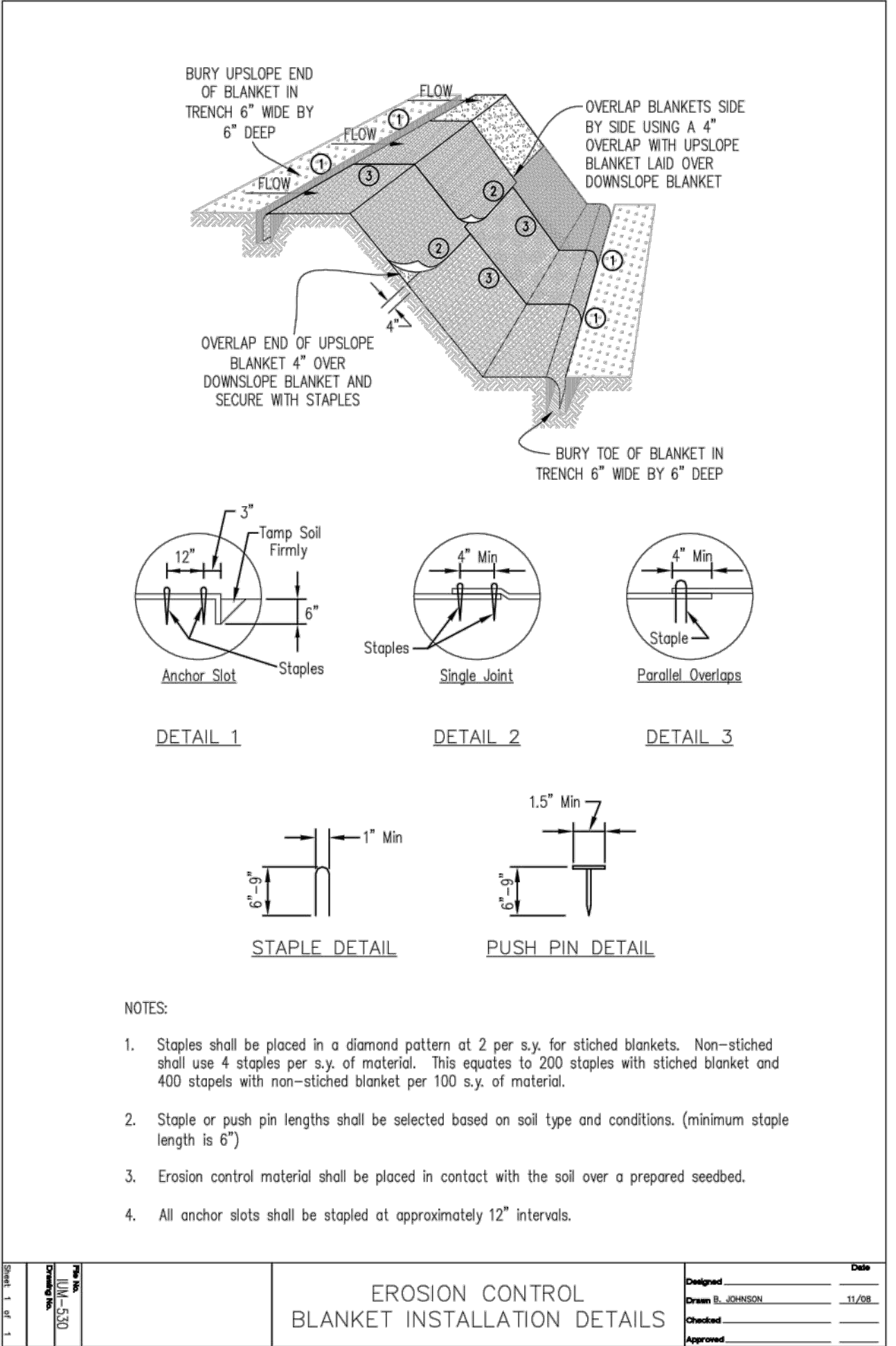
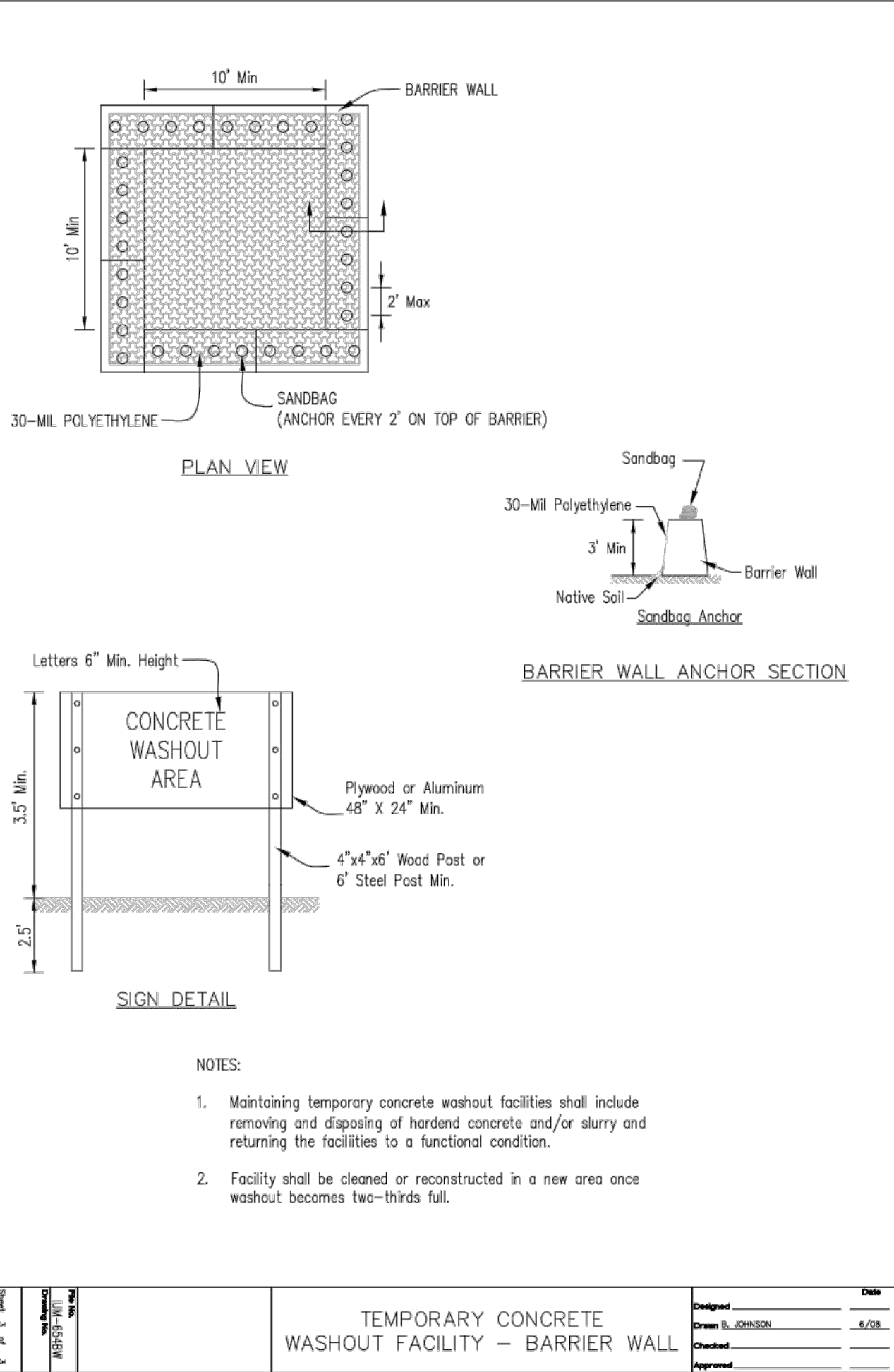
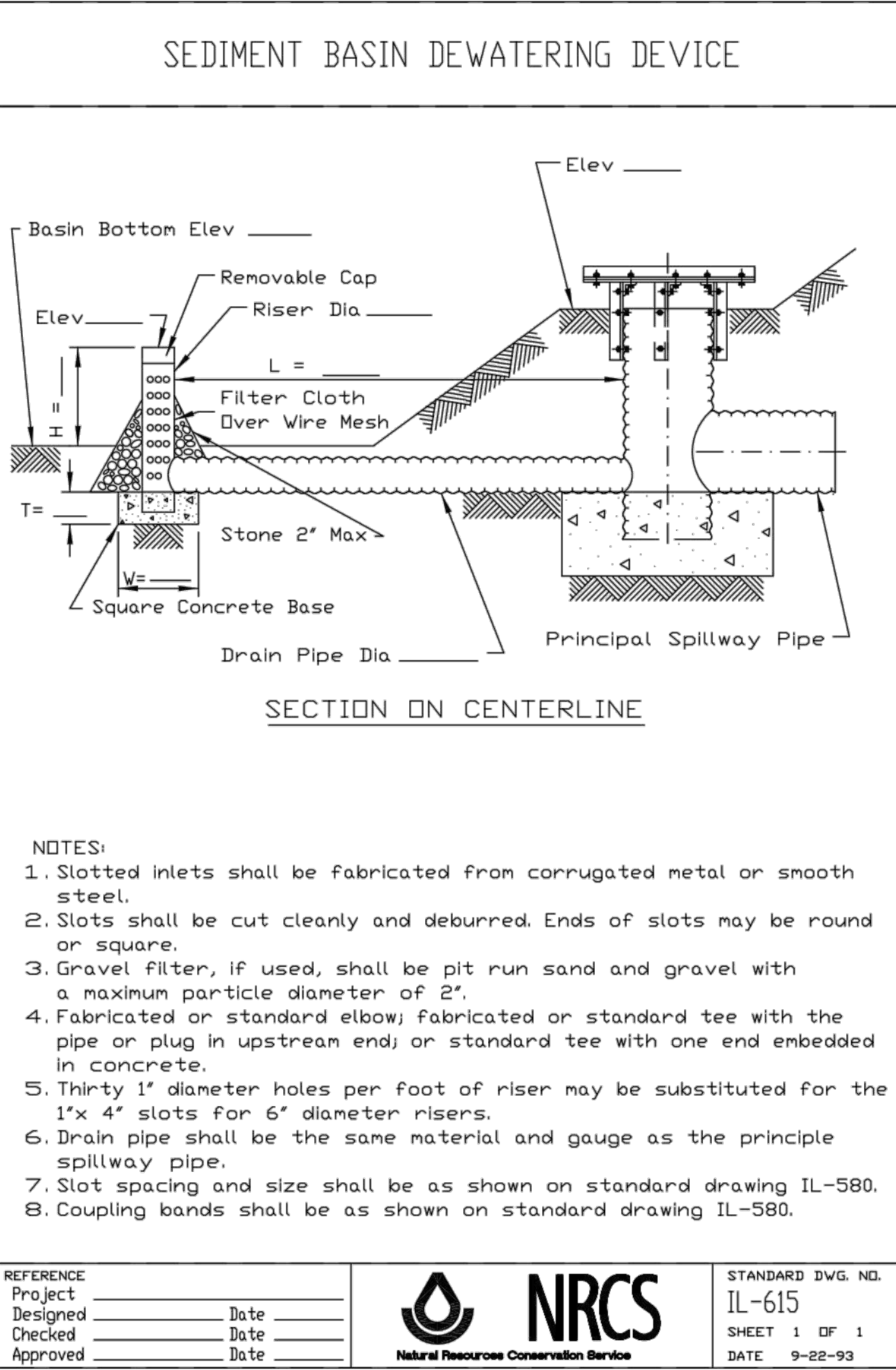
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PROJECT NUMBER  
SHEET NUMBER

20033

C15





**ARC DESIGN**  
RESOURCES INC.

5291 ZENITH PARKWAY  
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Illinois Design Firm License No. 184-001334

PROJECT NAME  
OWNER'S NAME

**CIRCLE K  
FRANKFORT**

7654 W LINCOLN HWY  
FRANKFORT, IL 50423  
WILL CO.

RDV VENTURES LLC  
500 WARRENVILLE ROAD  
LISLE, IL 60532  
(815) 762-4861

CONSULTANTS

ISSUED FOR		DATE
1. COORDINATION		08-13-2021
2. COORDINATION		08-15-2021
3. AGENCY REVIEW		10-08-2021
4. AGENCY REVIEW		08-01-2022
5. AGENCY REVIEW		12-05-2022
6. AGENCY REVIEW		03-02-2023
7. AGENCY REVIEW		04-07-2023
8. ---		---
9. ---		---
10. ---		---
11. ---		---
12. ---		---
REVISIONS		
ITEM	DATE	
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SHEET TITLE

**IUM DETAILS**

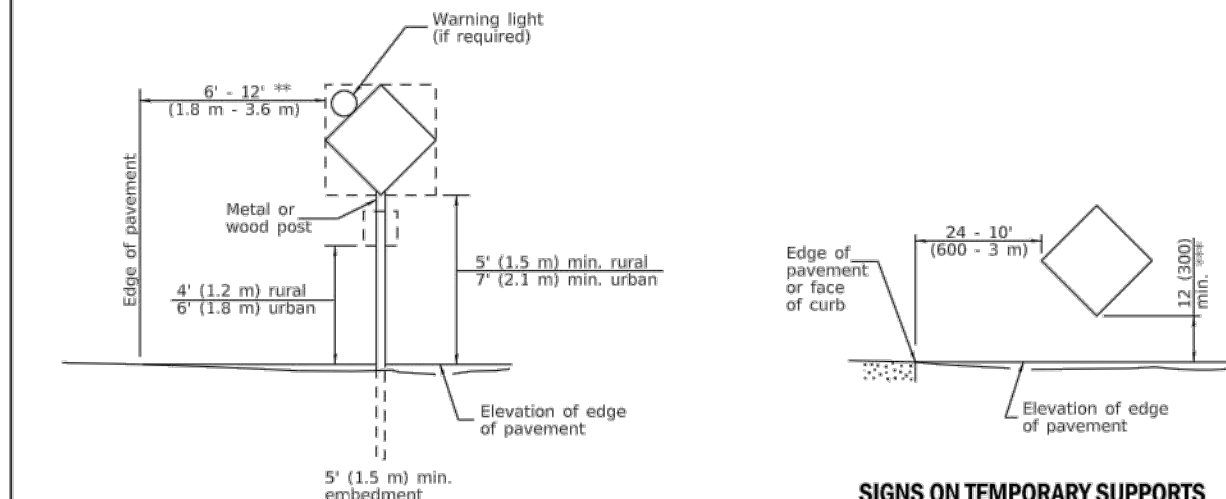
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CHECKED \_\_\_\_\_ LND  
PM \_\_\_\_\_ RCS

PROJECT NUMBER  
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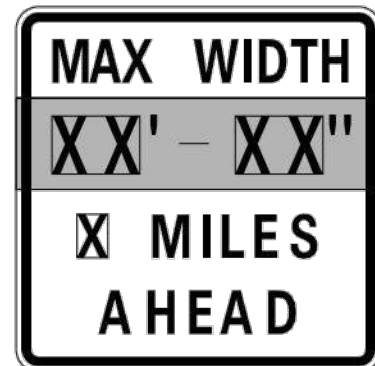
**C16**





#### POST MOUNTED SIGNS

\*\*\* When curbs or paved shoulder are present this dimension shall be 24 (600) to the face of curb or 6' (1.8 m) to the outside edge of the paved shoulder.

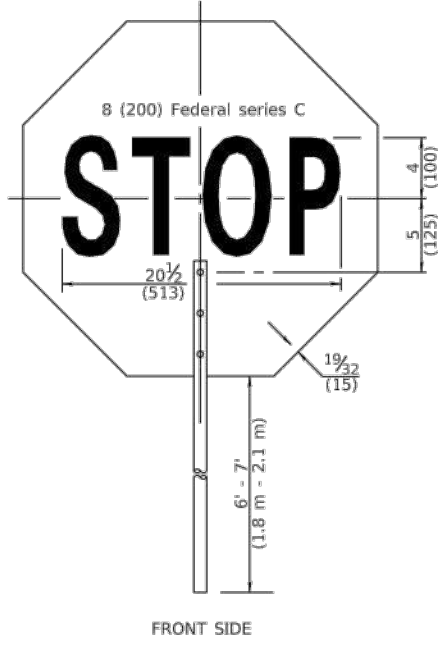


#### WIDTH RESTRICTION SIGN

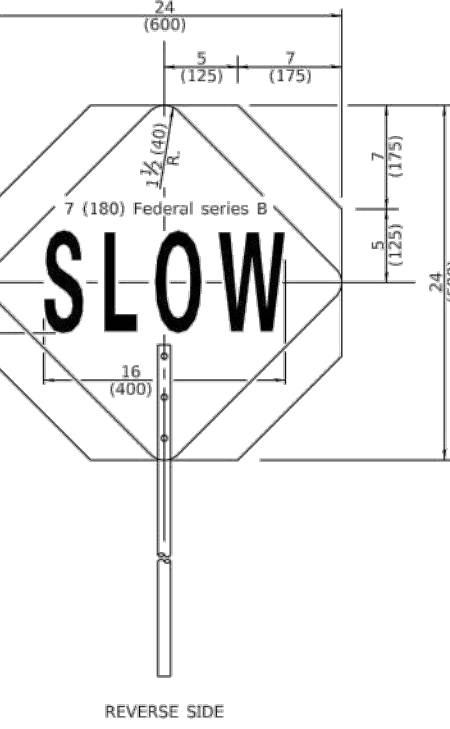
XX'-XX" width and X miles are variable.

#### SIGNS ON TEMPORARY SUPPORTS

\*\*\* When work operations exceed four days, this dimension shall be 5' (1.5 m) min. If located behind other devices, the height shall be sufficient to be seen completely above the devices.

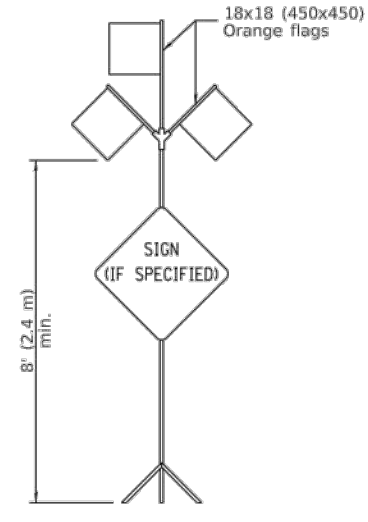


FRONT SIDE



REVERSE SIDE

#### HIGH LEVEL WARNING DEVICE



ROAD CONSTRUCTION NEXT X MILES	END CONSTRUCTION
G20-1104(0)-6036	G20-1105(0)-6024

This signing is required for all projects 2 miles (3200 m) or more in length. ROAD CONSTRUCTION NEXT X MILES sign shall be placed 500' (150 m) in advance of project limits.

END CONSTRUCTION sign shall be erected at the end of the job unless another job is within 2 miles (3200 m).

Dual sign displays shall be utilized on multi-lane highways.

#### WORK LIMIT SIGNING

WORK ZONE	W21-115(0)-3618
SPEED LIMIT	R2-1-3648
PHOTO ENFORCED	R10-1108p-3618 ****
BOOK FINE MINIMUM	R2-1106p-3618

Sign assembly as shown on Standards or as allowed by District Operations.

END WORK ZONE SPEED LIMIT	G20-1103-6036
---------------------------	---------------

This sign shall be used when the above sign assembly is used.

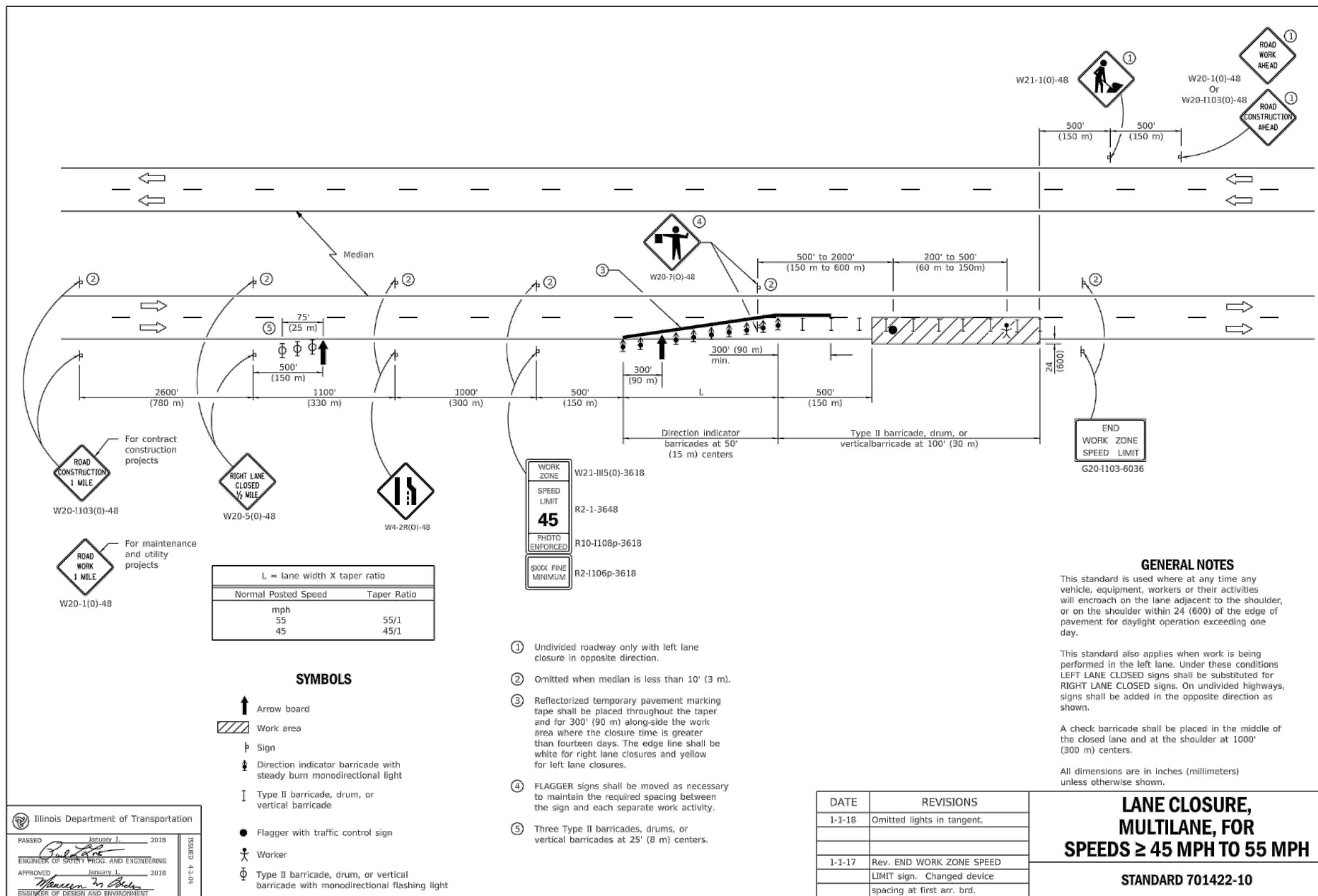
#### HIGHWAY CONSTRUCTION SPEED ZONE SIGNS

\*\*\*\* R10-1108p shall only be used along roadways under the jurisdiction of the State.

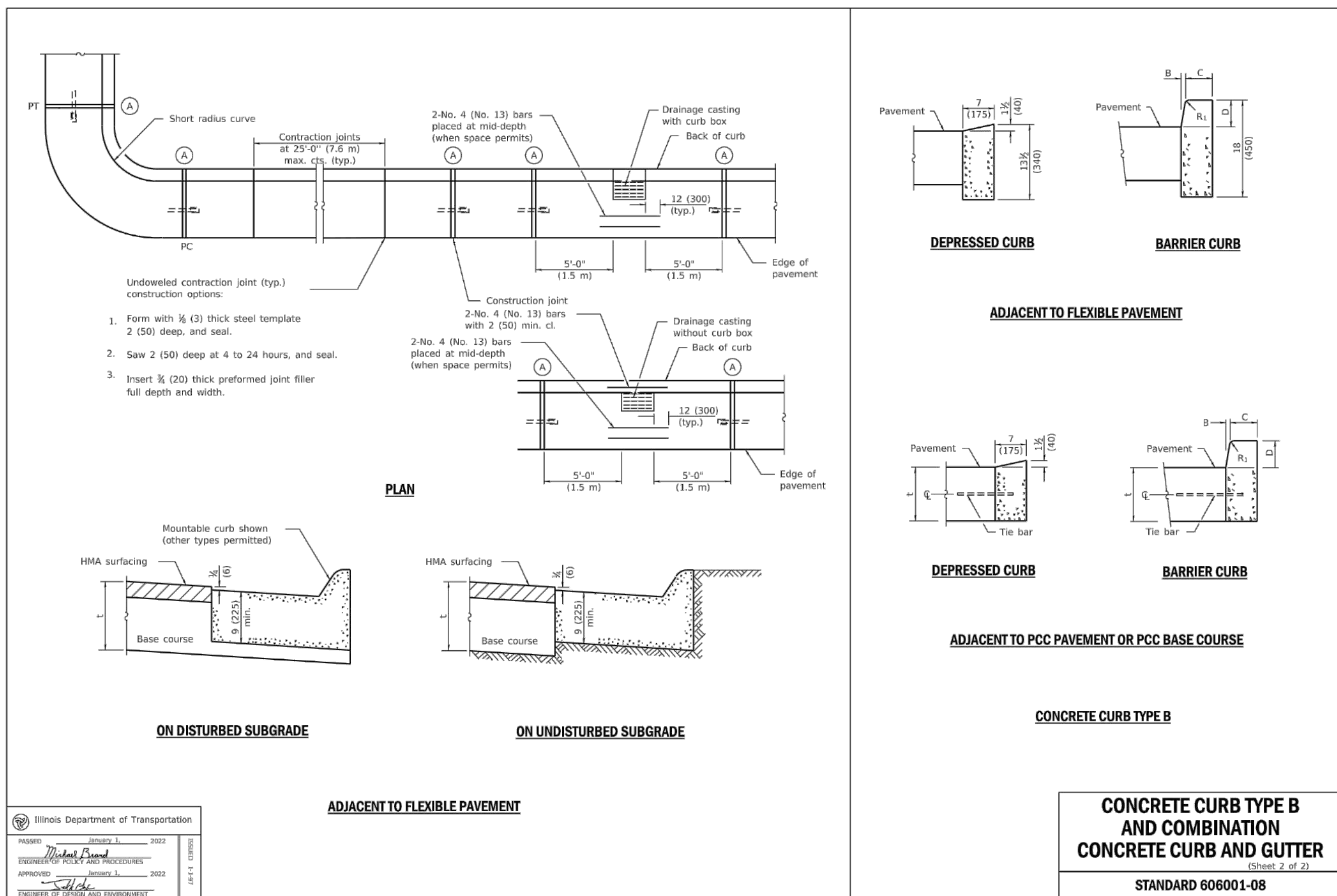
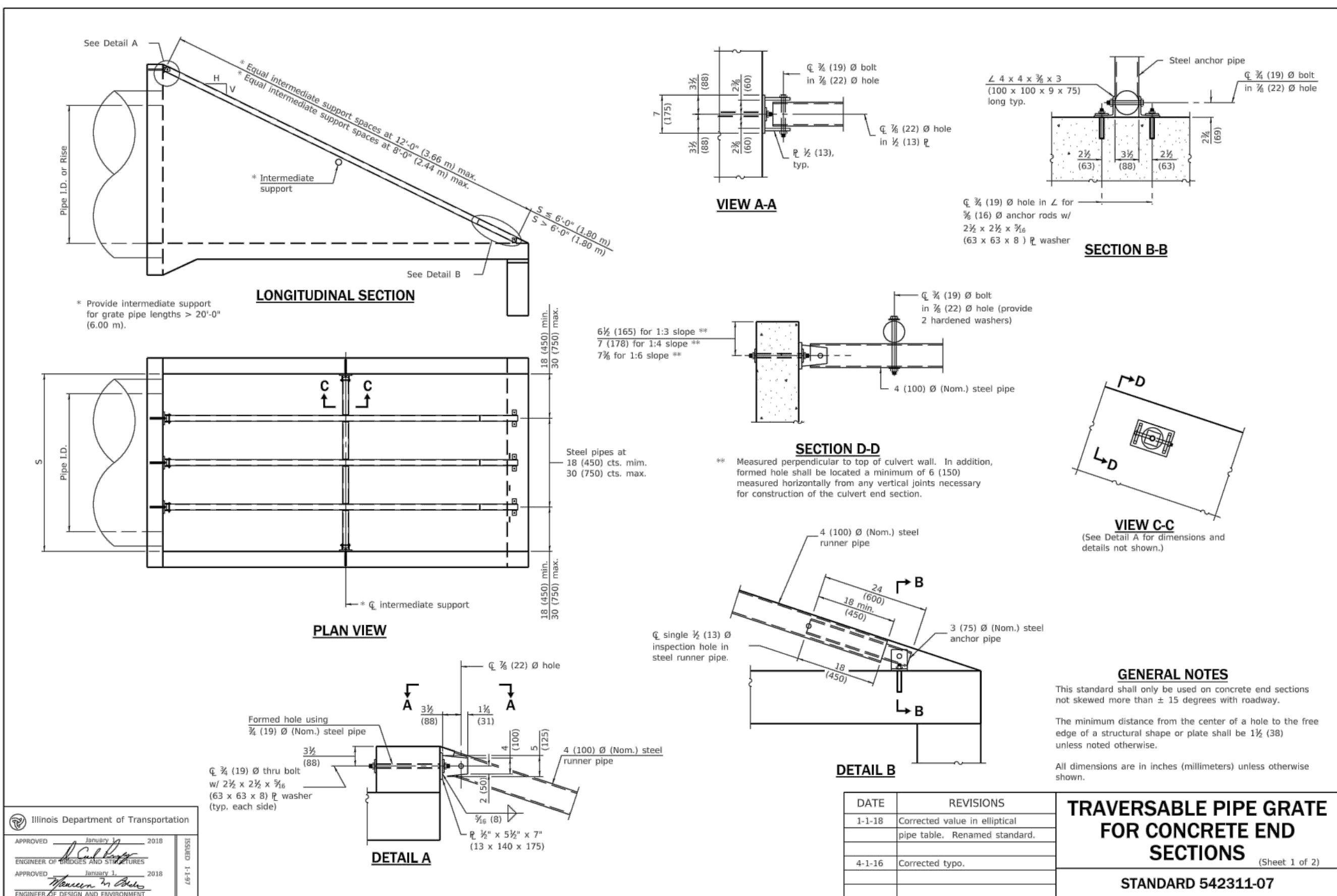
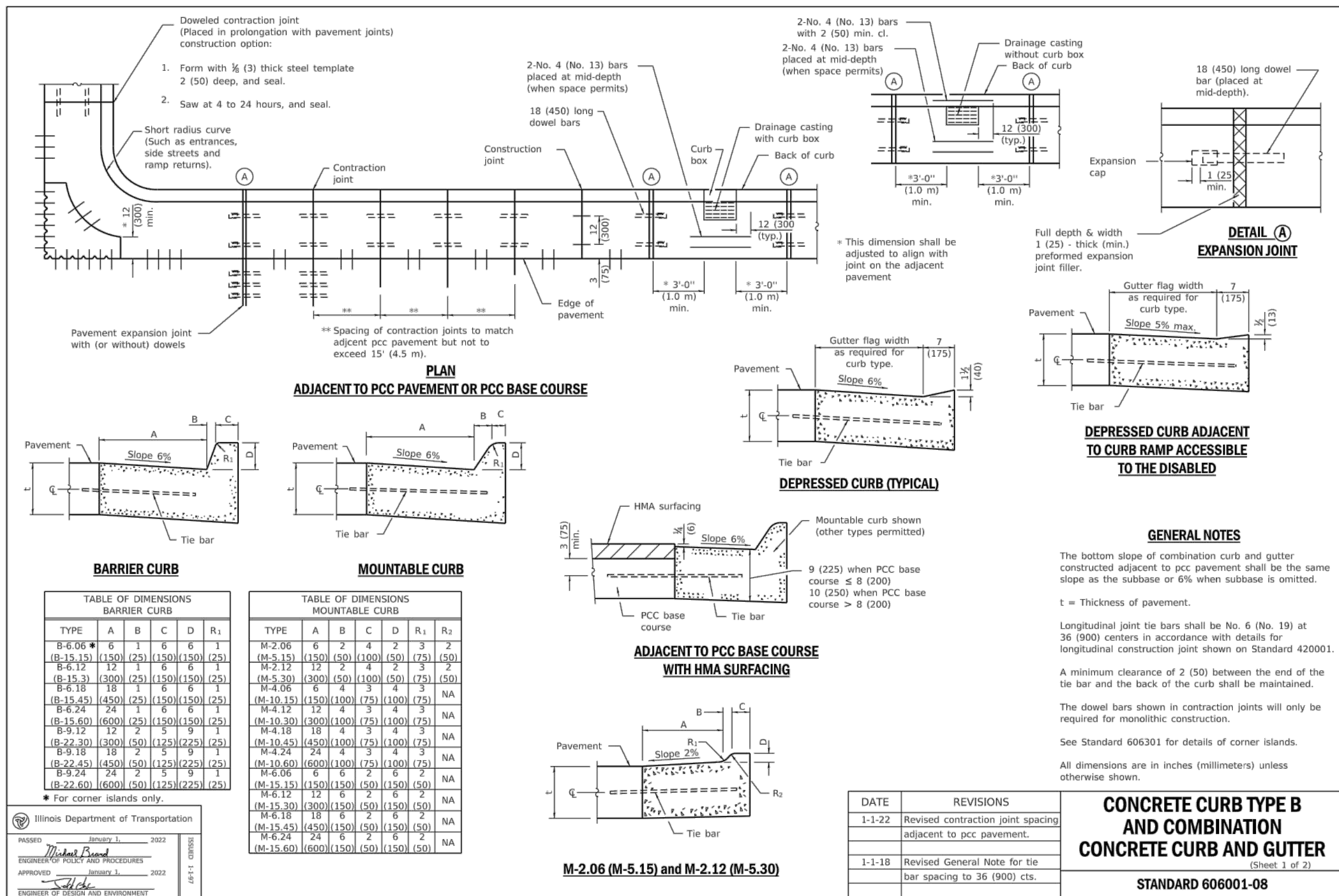
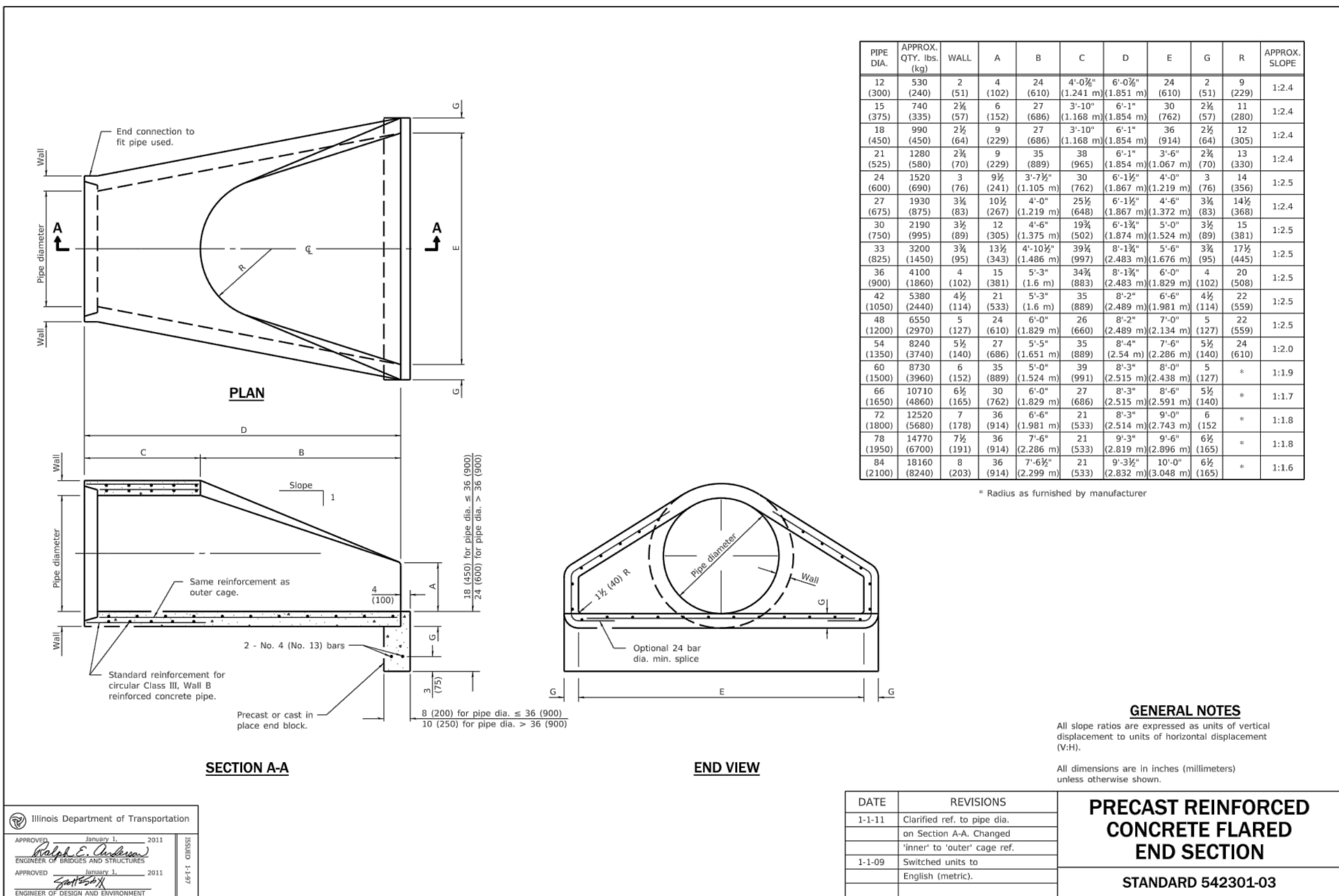
#### TRAFFIC CONTROL DEVICES

(Sheet 2 of 3)

STANDARD 701901-08







ARC DESIGN RESOURCES INC.

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WILL CO.

RDV VENTURES LLC  
500 WARRENVILLE ROAD  
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(815) 762-4861

CONSULTANTS

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2. <td>COORDINATION</td> <td>09-15-2021</td>	COORDINATION	09-15-2021
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5. <td>AGENCY REVIEW</td> <td>12-05-2022</td>	AGENCY REVIEW	12-05-2022
6. <td>AGENCY REVIEW</td> <td>03-02-2023</td>	AGENCY REVIEW	03-02-2023
7. <td>AGENCY REVIEW</td> <td>04-07-2023</td>	AGENCY REVIEW	04-07-2023
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REVISIONS

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SHEET TITLE

IDOT DETAILS

DRAWN TWL  
CHECKED LND  
PM RCS

PROJECT NUMBER  
SHEET NUMBER

20033

C18



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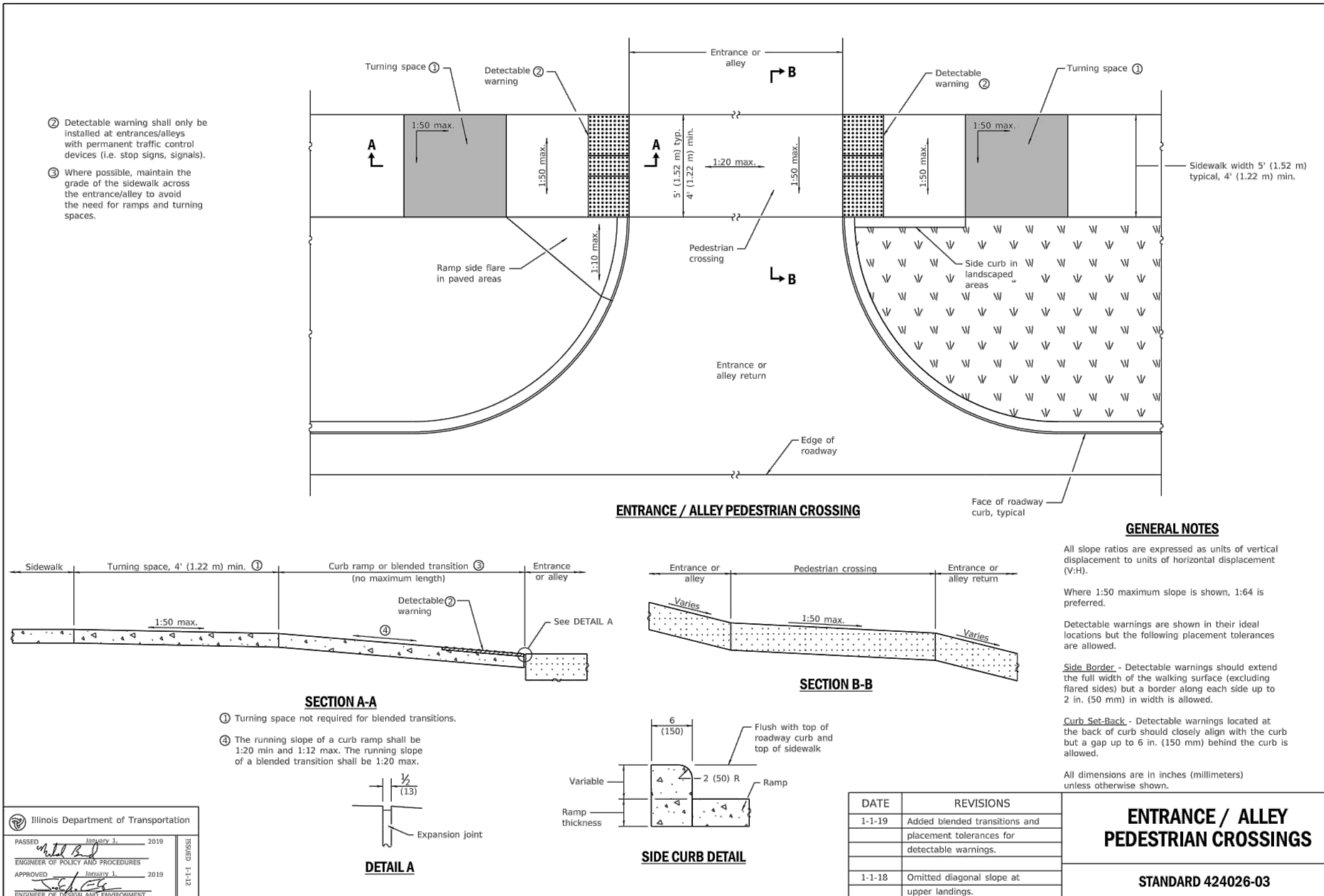
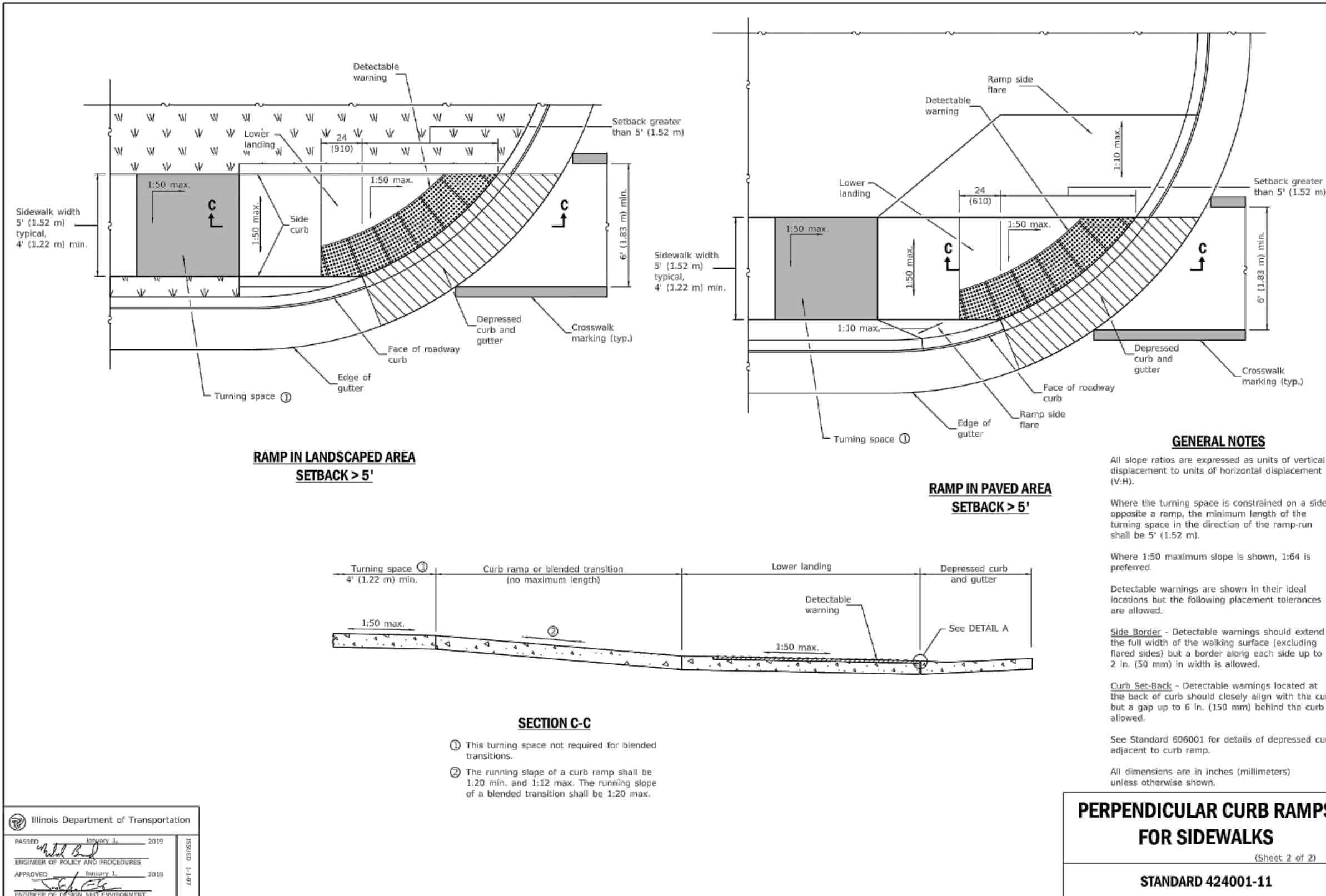
IDOT DETAILS

DRAWN TWL  
CHECKED LND  
PM RCS

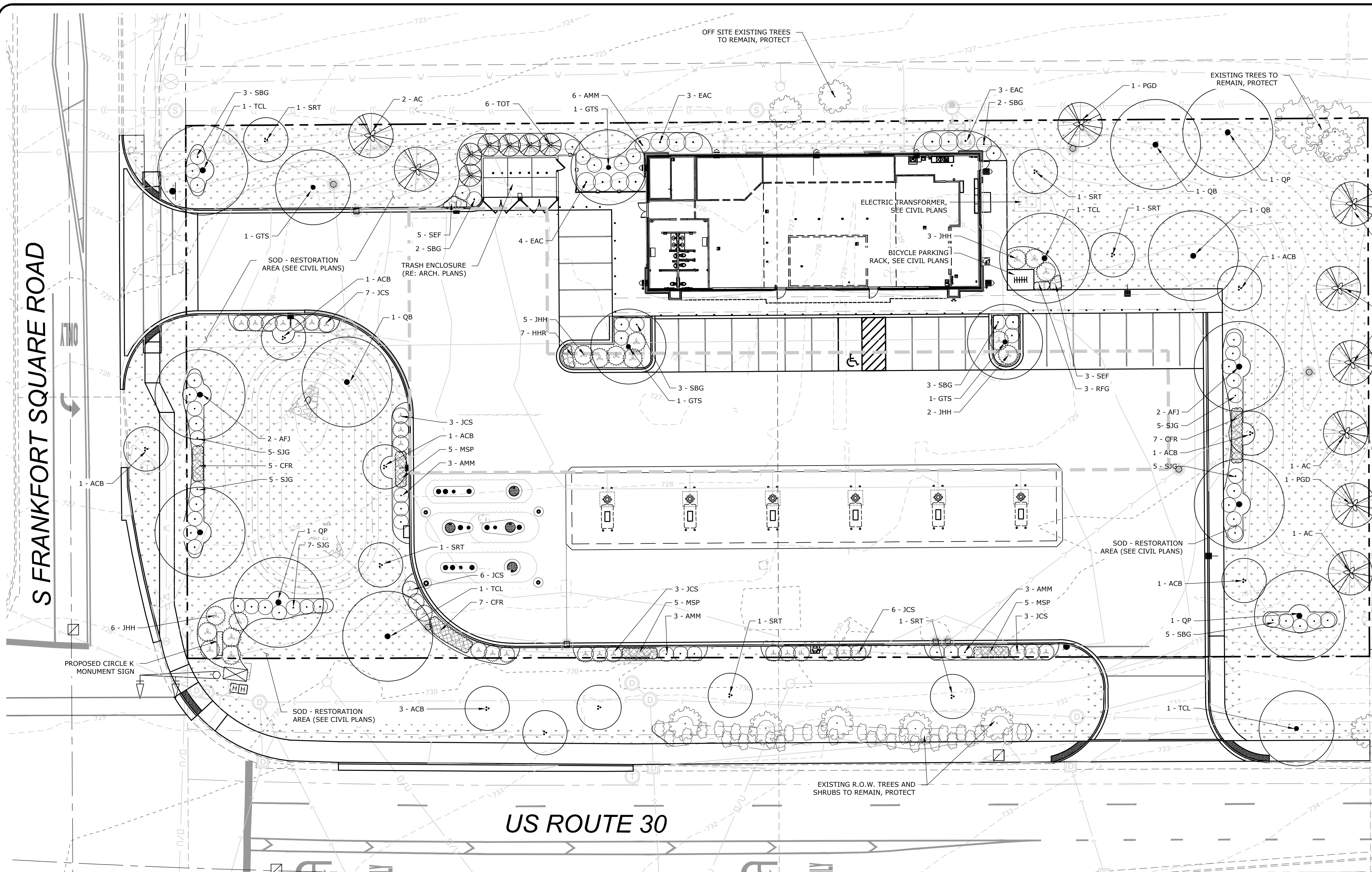
PROJECT NUMBER  
SHEET NUMBER

20033

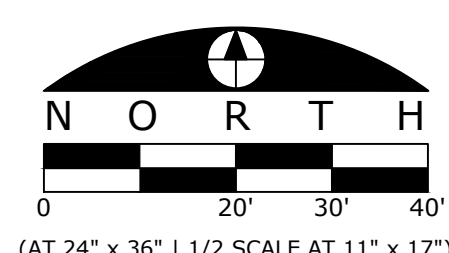
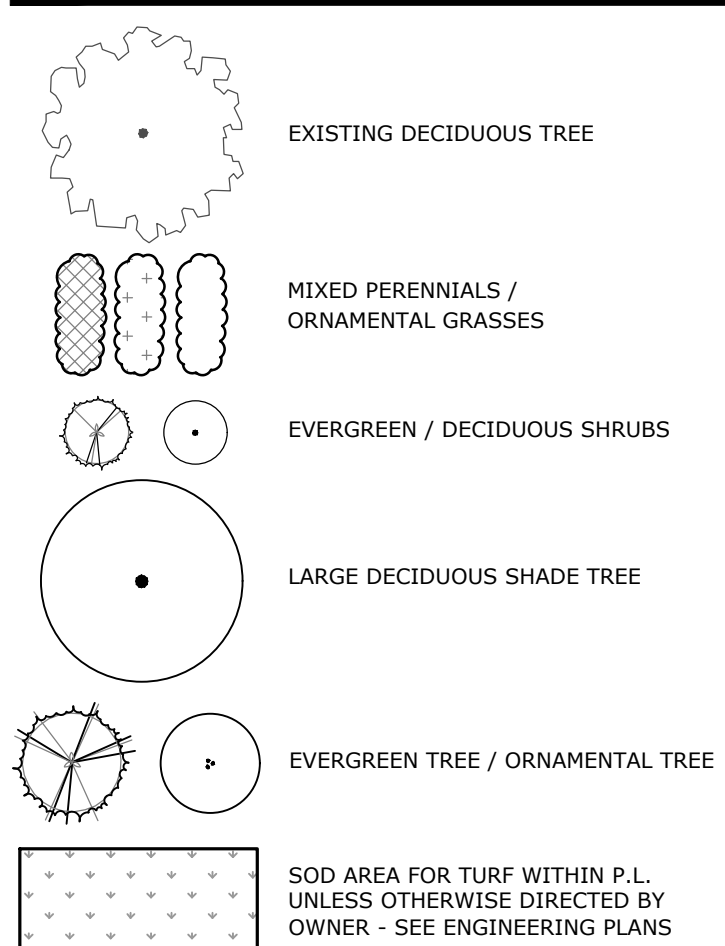
C19





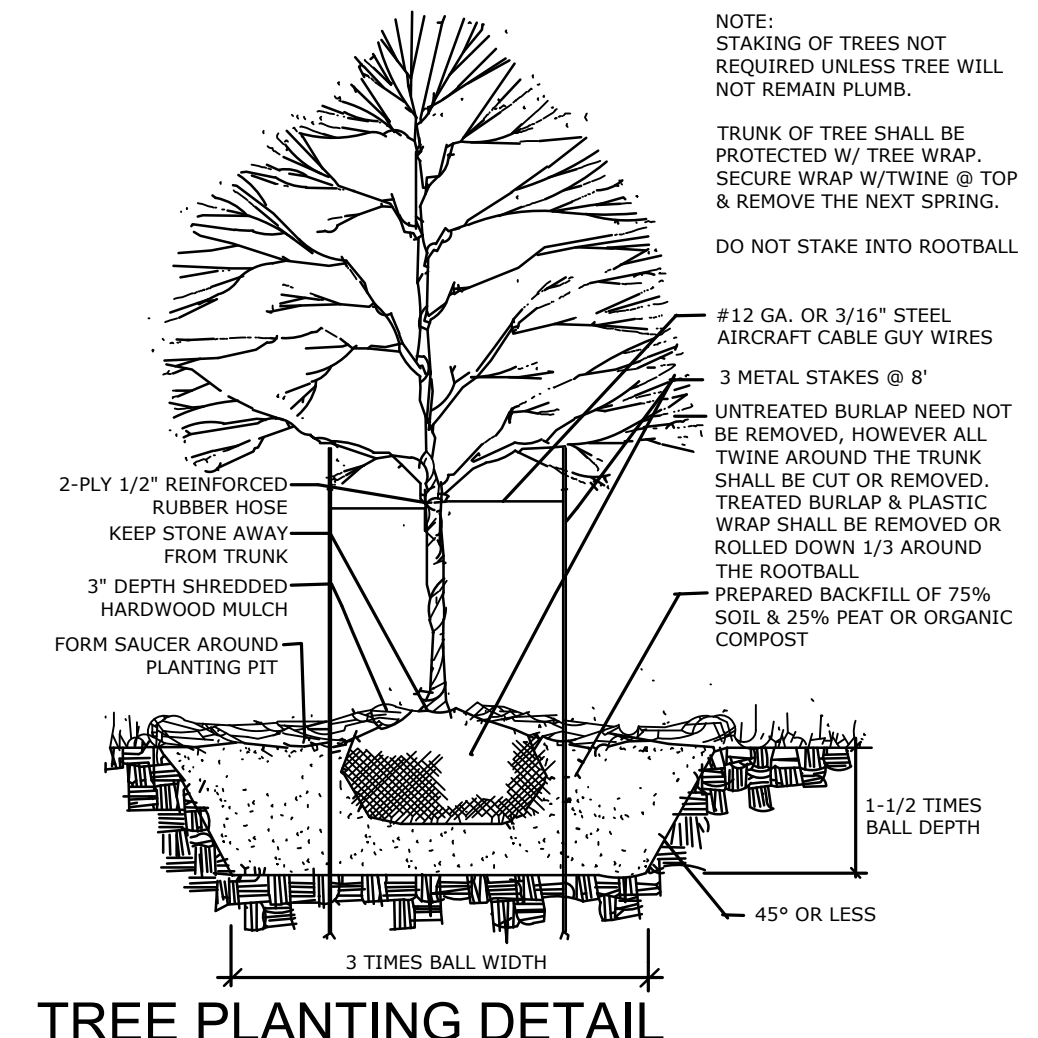


## LEGEND



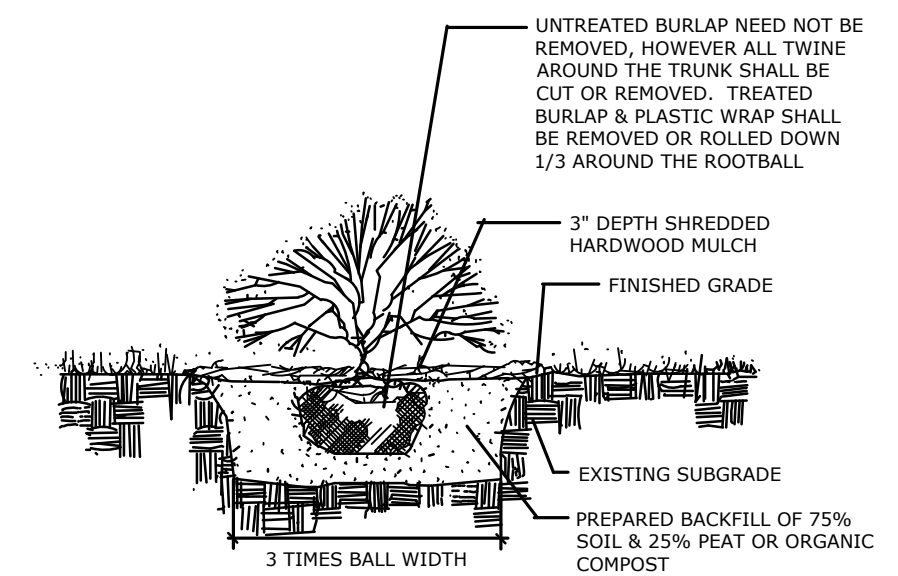
## PLANT LIST

KEY	QTY	Botanical name COMMON NAME	SIZE	REMARKS
AC	5	Abies concolor WHITE FIR	6'	EVERGREEN
ACB	9	Amelanchier canadensis 'Brilliantissima' AUTUMN BRILLIANCE SERVICEBERRY	6'	ORNAMENTAL / MULTISTEM
AJF	4	Acer freemanii x 'Jeffersred' JEFFERSRED HYBRID RED MAPLE	2.5"	
GTS	4	Gleditsia triacanthos 'Skyline' SKYLINE HONEYLOCUST	2.5"	HYBRID / FRUITLESS
PGD	4	Picea glauca 'Densata' BLACK HILLS SPRUCE	6'	EVERGREEN
QB	3	Quercus bicolor SWAMP WHITE OAK	2.5"	
QP	3	Quercus palustris PIN OAK	2.5"	
SRT	6	Syringa reticulata JAPANESE TREE LILAC	2.5"	ORNAMENTAL / STANDARD
TCL	3	Tilia cordata LITTLE LEAF LINDEN	2.5"	
TOE	6	Thuja occidentalis 'Techny' TECHNY HARDY ARBORVITAE	5'	EVERGREEN / UPRIGHT
AMM	15	Aronia melanocarpa 'Morton' IRIQUOIS BEAUTY CHOKEBERRY	24" / 5 GAL	
EAC	10	Euonymus alatus 'Compacta' COMPACT BURNING BUSH	30" / 5 GAL	
JCS	28	Juniperus chinensis 'Sargentii' GREEN SARGENT JUNIPER	24" / 5 GAL	EVERGREEN
JHH	16	Juniperus horizontalis 'Hughes' HUGHES JUNIPER	24" / 5 GAL	EVERGREEN
SBG	18	Spiraea betulifolia 'Glow Girl' GLOW GIRL TOR SPIREA	24" / 5 GAL	
SJG	27	Spiraea japonica 'Galen' GALEN DOUBLE PLAY ARTISAN SPIREA	24" / 5 GAL	
CFR	19	Calamagrostis acutiflora 'Karl Forster' FEATHER REED GRASS	GAL	3'-0" O.C. - ORN. GRASS
HHR	7	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY	GAL	2'-0" O.C. - PERENNIAL
MSP	15	Miscanthus sinensis 'Purpureascens' PURPLE MAIDEN GRASS	GAL	3'-0" O.C. - ORN. GRASS
RFG	3	Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSAN	GAL	2'-0" O.C. - PERENNIAL
SEF	8	Salvia x 'East Friesland' FRIESLAND MEADOW SAGE	GAL	2'-0" O.C. - PERENNIAL



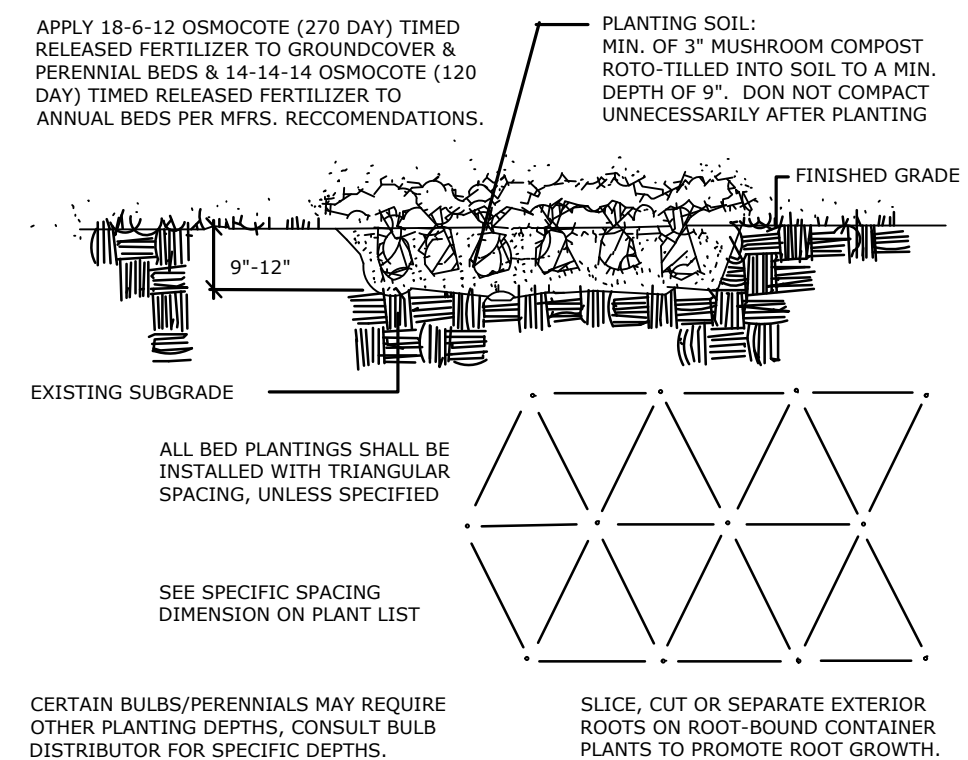
TREE PLANTING DETAIL

NOT TO SCALE



SHRUB PLANTING DETAIL

NOT TO SCALE



BED PLANTING DETAIL

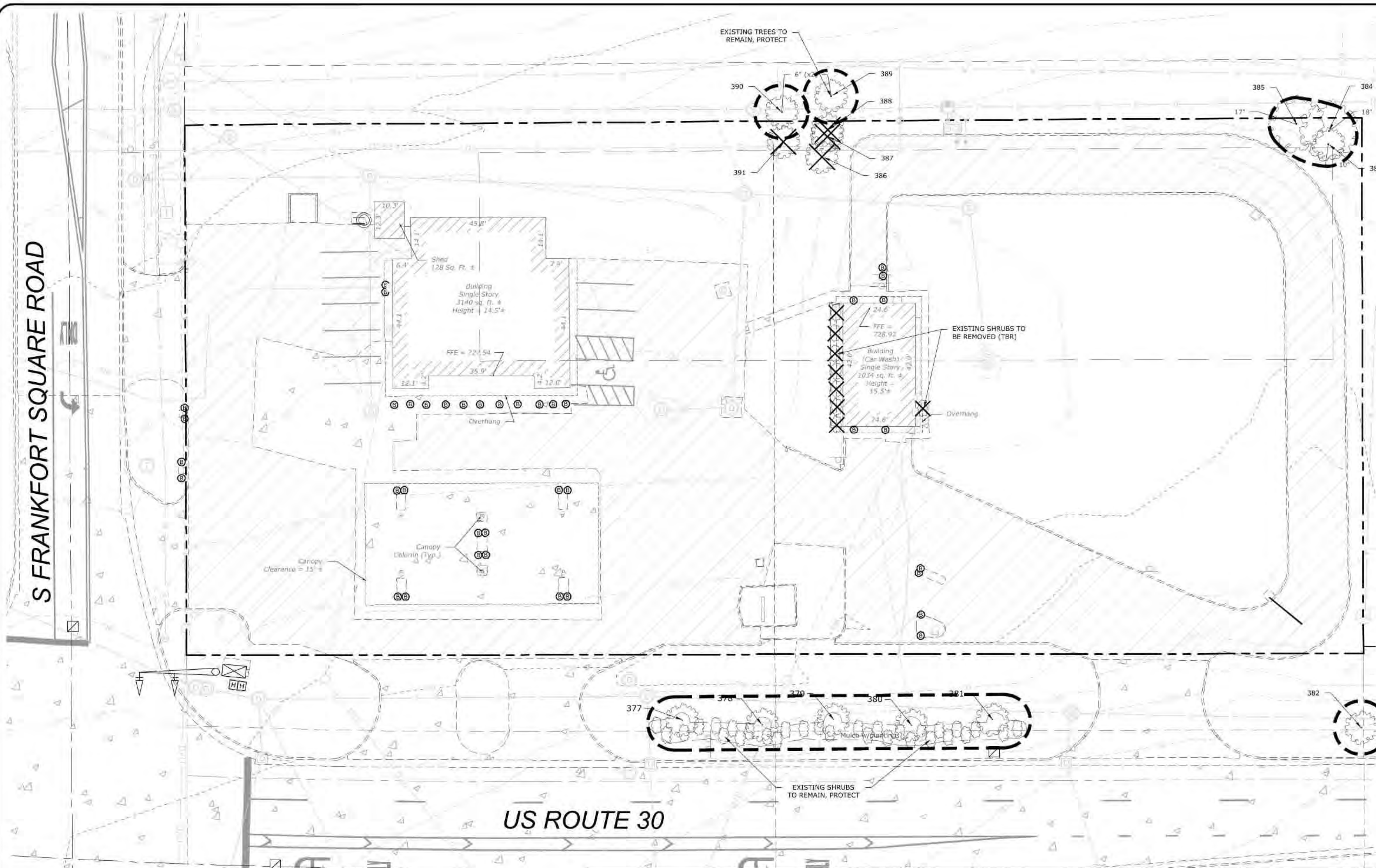
(GROUND COVER, PERENNIALS & ANNUALS)

NOT TO SCALE

## PLANTING NOTES

- Landscape Contractor (Contractor) shall make a site visit prior to bidding/construction to inspect the current site conditions and review proposed planting plan and related work. Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
- Contractor shall verify locations of all underground utilities prior to beginning construction on his phase of work. Electric, gas, telephone, and cable television can be located by calling J.U.L.I.E. at '811'. For regional locating, contact "Digger's Hotline". Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
- Contractor is responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to owner and landscape architect.
- Contractor shall grade entire site to correct surface irregularities in preparation for sod/seed. Roto-til, disc, drag, harrow or hand rake sub grade in all lawn areas and remove construction debris, foreign matter or stones larger than 2". Grading shall provide slopes which are smooth, continuous, free from depressions or ridges. Level, rake and roll as necessary to an even and true condition and obtain positive drainage in all areas. Finish grades shall meet the approval of owner prior to lawn installation.
- All disturbed areas should be brought to grade with "topsoil" to a depth of 6 inches in areas to be seeded or sodded, and 12 inches for all interior (curbed) landscape islands. All lawn areas are to be finished with mulch, straw mulch, seed, sod, etc. or as noted. All lawn areas to be watered until a healthy stand of grass is established. (see seed/sod notes for acceptance details).
- Quantity lists are supplied as a convenience; however, the contractor should verify all quantities. The drawings shall take precedence over the lists.
- Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways, downspouts, etc.; however, quantities and sizes shall remain consistent with these plans.
- Size & grading standards of plant material shall conform to the latest addition of ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association. Plant material shall be nursery grown and be either balled and burlap or container grown.
- All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.
- Any plant materials with damaged or crooked/disfigured leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected by Landscape Architect and/or Owner. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump.
- Upon inspection and acceptance of all landscape items by Landscape Architect and/or Owner the contractor shall assume maintenance responsibilities for a period of thirty (30) days, for all plant material, to include: watering, cultivating, weeding, pruning, mulching and spraying as necessary to keep plants free of insects and in a healthy, vigorous condition until responsibility is transferred to the owner (see below).
- All plant material shall be guaranteed for one (1) year after acceptance by landscape architect and/or owner. After the first thirty (30) days, the owner shall assume maintenance responsibilities as described (see above). Contractor shall replace without cost to owner any dead or unacceptable plants, as determined by the landscape architect at the end of one (1) year guarantee period. Contractor shall notify immediately, in writing, any concerns related to maintenance practices. Shredded hardwood mulch, see planting details. All deciduous trees (shade / ornamental) that are not located in in a planting bed shall be mulched with a 3'-0" diameter circle. Evergreen trees shall be mulched to outermost branches at the time of installation.
- All planting beds and tree saucers shall be mulched continuous with 3" depth shredded hardwood mulch, see planting details. All deciduous trees (shade / ornamental) that are not located in in a planting bed shall be mulched with a 3'-0" diameter circle. Evergreen trees shall be mulched to outermost branches at the time of installation.
- Planting edge delineation at all planting bed lines and tree saucers shall require a minimum 4" depth "vee" shaped cultivated, spaded edge with a vertical face abutting all lawn areas and sloped to inside of plant bed continuous between lawn and mulched areas as indicated on plan.
- Contractor to sod all disturbed lawn areas. Sod shall be locally sourced.
- All sodded turf areas shall be fertilized at installation with 6-20-20 analysis, at a rate of 6 lbs. per 1,000 s.f.. A second application of 21-7-14 to be applied at rate of 6 lbs. per 1,000 s.f. after the first cutting. Acceptance and guarantee notes shall apply to all sodded areas.
- Acceptance of grading and sod shall be by landscape architect and/or owner. Contractor shall assume maintenance responsibilities for a minimum of sixty (60) days or until second cutting, whichever is longer. Maintenance shall include watering, weeding, re-sodding (wash-offs) and other operations necessary to keep lawn in a thriving condition. Upon final acceptance, owner shall assume all maintenance responsibilities. After lawn areas have germinated, areas which fail to show a uniform stand of grass for any reason whatsoever shall be re-seeded repeatedly until all areas are covered with a satisfactory stand of grass. Minimum acceptance of sodded lawn areas may include scattered bare or dead spots, none of which are larger than one (1) square foot and when combined do not exceed 2% of total lawn area.





### LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- EXISTING EASEMENT LINE
- EXISTING CURB AND GUTTER
- EXISTING CURB AND GUTTER TO BE REMOVED
- EXISTING SANITARY SEWER TO REMAIN
- EXISTING SANITARY SEWER TO BE REMOVED
- EXISTING STORM SEWER TO REMAIN
- EXISTING STORM SEWER TO BE REMOVED
- EXISTING WATER TO REMAIN
- EXISTING WATER TO BE REMOVED
- EXISTING OVERHEAD UTILITIES TO REMAIN
- EXISTING OVERHEAD UTILITIES TO BE REMOVED
- EXISTING GAS MAIN TO REMAIN
- EXISTING GAS MAIN TO BE REMOVED
- EXISTING FENCE TO REMAIN
- EXISTING FENCE TO BE REMOVED
- EXISTING CONTOUR LINE
- EXISTING PAVEMENT, CONCRETE SIDEWALKS OR FOUNDATIONS TO BE REMOVED
- EXISTING BUILDINGS AND APPURTENANCES TO BE REMOVED
- (TBR) "TO BE REMOVED"
- (SVG) "SALVAGE"
- (TYP) "TYPICAL" FOR ALL SIMILAR ITEMS
- EXISTING WATER TO REMAIN
- EXISTING WATER TO BE REMOVED
- EXISTING SIGN TO REMAIN
- EXISTING SIGN TO BE REMOVED
- EXISTING GAS METER TO REMAIN
- EXISTING GAS METER TO BE REMOVED
- EXISTING ELECTRIC METER TO REMAIN
- EXISTING ELECTRIC METER TO BE REMOVED
- EXISTING STORM SEWER TO REMAIN
- EXISTING STORM SEWER TO BE REMOVED
- EXISTING SANITARY SEWER TO REMAIN
- EXISTING SANITARY SEWER TO BE REMOVED
- BENCHMARK
- EXISTING TRAFFIC SIGNAL MAST ARM
- EXISTING SIGNAL CONTROLLER
- EXISTING LIGHT POLE TO REMAIN
- EXISTING LIGHT POLE TO BE REMOVED
- EXISTING SHRUBS TO REMAIN
- EXISTING SHRUBS TO BE REMOVED
- EXISTING TREE TO REMAIN WITH TREE # AND PROTECTIVE FENCING (AS SHOWN OR NECESSARY)
- EXISTING TREE TO BE REMOVED

### NOTES:

1. TREE PROTECTION SHALL BE PLACED AT DRIPLINE WHENEVER POSSIBLE
2. ALL ROOTS EXPOSED DURING CONSTRUCTION SHALL BE PROTECTED. ALL DAMAGED ROOTS SHALL BE PRUNED AS NECESSARY.

### TREE PRESERVATION NOTES

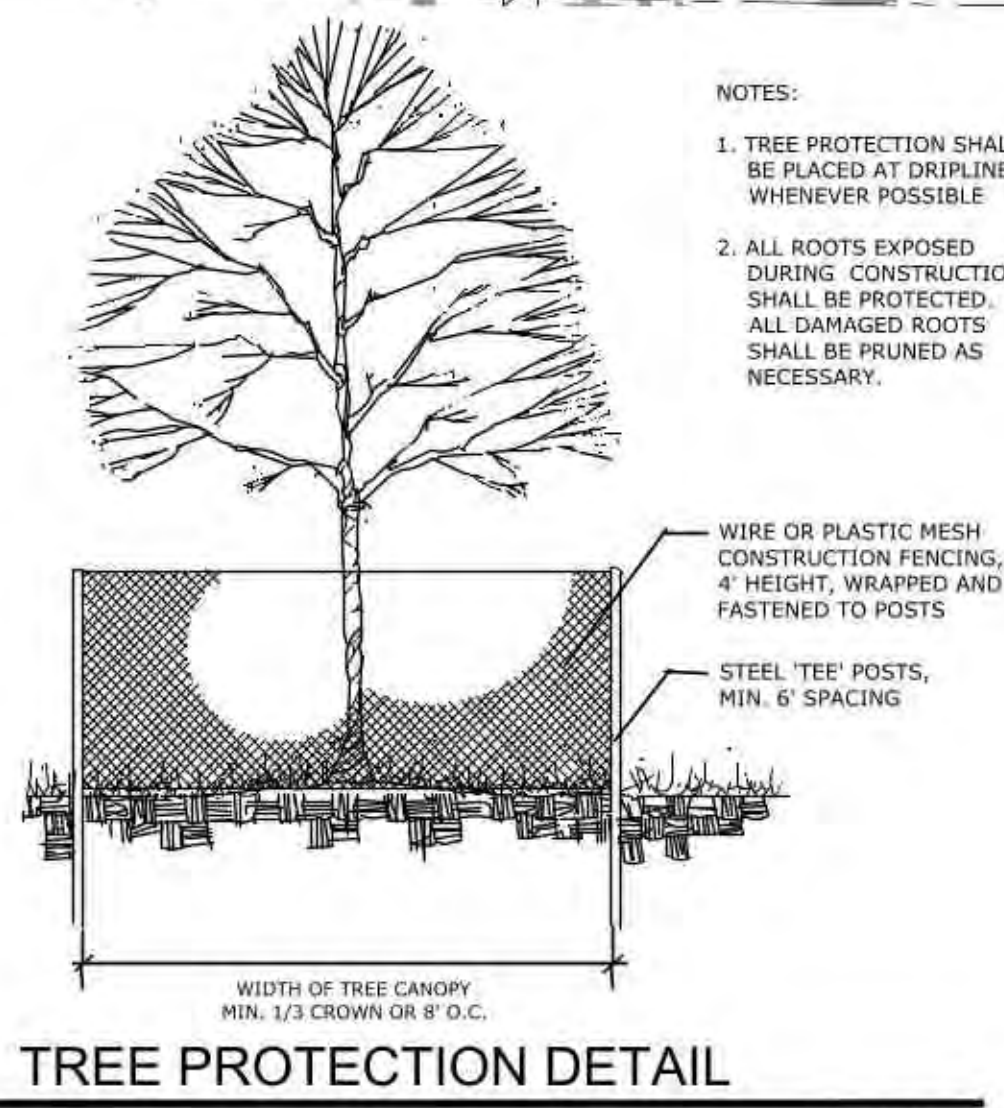
1. All grading and construction equipment shall be restricted within the protection fencing limits. No excess soil, additional fill, liquids or construction debris shall be placed within the protection fencing limits or root zone of any tree that is noted to be preserved.
2. Crushed limestone, hydrocarbons and other materials detrimental to trees or vegetation shall not be dumped within the protection fencing limits or root zone of any tree not at any higher location where drainage toward the tree could conceivably effect the health of the tree.
3. Appropriate protective fencing shall be temporarily installed for protection of preserved vegetation or trees as shown on plan.
4. All required protective fencing must be in place before any on site construction can begin. The protective fencing must remain in place and be maintained during the entire construction period.
5. The protective fencing material must be a minimum of 4' height and can be plastic mesh, orange preferred (or green), wire or chain-link. All fencing shall be installed to the outer extents of the tree canopy (drip line) or at minimum within the outer 1/3 of the tree canopy. All fencing must be secured to metal posts driven into the ground and spaced no further than 6 feet apart.
6. Fencing must be properly maintained during the entire construction period.
7. No other fencing, wires or attachments, other than those approved materials for bracing, guying or wrapping shall be attached to any tree or vegetation during construction. All reasonable measures necessary to prevent the destruction or damage to trees or plant material (other than those specified to be removed) shall be taken.
8. No grading or earthwork is to occur within the fenced tree protection limits nor is any soil to be removed from within the protective fencing without prior approval of arborist, engineer or landscape architect.
9. If any trees that are noted within or near the areas to be developed will affect more than 1/3 of the root system, the site foreman with approval from an arborist, engineer or landscape architect may remove such trees.

### TREE REMOVAL NOTES

1. Contractor shall verify locations of all underground utilities prior to beginning construction on his phase of work. Electric, gas, telephone, and cable television can be located by calling J.U.L.I.E. at '811'. For regional locating, contact "Digger's Hotline". Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
2. Contractor is responsible for application and cost of all necessary permits (tree removal) and code verifications. Submit copies of all documents to owner, job superintendent, engineer or landscape architect.
3. The removal of all trees noted on plans and related operations shall be organized, overseen and/or completed by a certified arborist or tree removal company that is licensed and bonded with the local municipality.
4. Trees shall be removed in accordance with current arboriculture practices. Tree removal shall be conducted in a manner that protects all surrounding structures and preserved trees from damage. All tree stumps shall be ground to a minimum depth of 12" below grade, including crown roots, shavings packed into hole or filled with topsoil and restored with seed and erosion blanket.
5. At no time shall any tree or vegetation be forcibly removed in such a manner that would damage surrounding trees or vegetation, root systems or substructures.
6. All invasive trees and vegetation and species as outlined by local municipality or as noted by engineer, arborist or landscape architect that may not be listed on tree inventory or plans shall be removed from areas as shown.

TREE #	COMMON NAME	SCIENTIFIC NAME	SIZE (DBH)	CONDITION	SAVE	REMOVE	RECOMMENDATION/NOTES
377	Maple, Red var.	Acer rubrum var.	3"	Good			
378	Maple, Red var.	Acer rubrum var.	3"	Good			
379	Maple, Red var.	Acer rubrum var.	3"	Good			
380	Maple, Red var.	Acer rubrum var.	3"	Good			
381	Maple, Red var.	Acer rubrum var.	3"	Good			
382	Oak, White	Quercus bicolor	4"	Good			On property line
383	Boxelder	Acer negundo	3 x 6"	Fair			Mult-stemmed
384	Boxelder	Acer negundo	3 x 6"	Fair			Mult-stemmed
385	Boxelder	Acer negundo	2 x 6"	Fair			On property line / Mult-stemmed
386	Boxelder	Acer negundo	3 x 9"	Good	X		IDA
387	Boxelder	Acer negundo	6"	Good	X		IDA
388	Boxelder	Acer negundo	10"	Good	X		On property line
389	Boxelder	Acer negundo	2 x 8"	Good			Offsite / Mult-stemmed, each leaning
390	Boxelder	Acer negundo	6"	Fair			Offsite / Crooked trunk
391	Boxelder	Acer negundo	9"	Good	X		IDA

\*IDA = In Development Area



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### CIRCLE K FRANKFORT

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FRANKFORT, IL 50423  
WILL CO.

RDK VENTURES LLC  
500 WARRENVILLE ROAD  
LISLE, IL 60532  
(815) 762-4861

CONSULTANTS

### ISSUED FOR

ITEM	DATE
1. COORDINATION	2021 08-13
2. COORDINATION	2021 09-15
3. AGENCY REVIEW	2021 10-06
4. ---	---
5. ---	---
6. ---	---
7. ---	---
8. ---	---
9. ---	---
10. ---	---
11. ---	---
12. ---	---

### REVISIONS

ITEM	DATE
1. ---	---
2. ---	---
3. ---	---
4. ---	---
5. ---	---
6. ---	---

SHEET TITLE

### LANDSCAPING PLAN

DRAWN	TWL
CHECKED	LND
PM	RCS

PROJECT NUMBER  
SHEET NUMBER

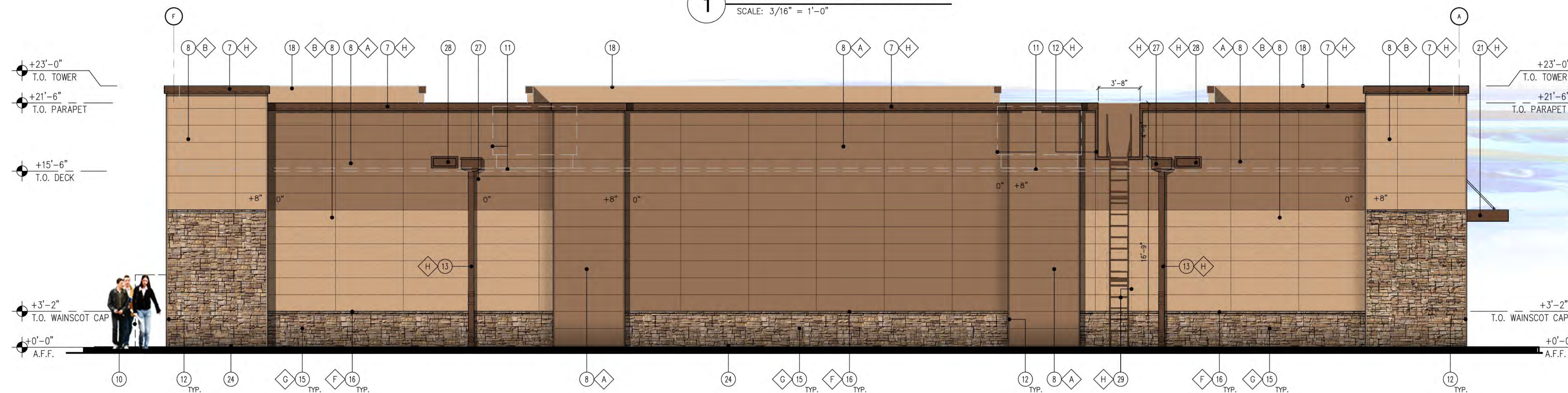
20033

L01





1 FRONT ELEVATION (SOUTH)  
SCALE: 3/16" = 1'-0"



2 BACK ELEVATION (NORTH)  
SCALE: 3/16" = 1'-0"



3 SIDE ELEVATION (EAST)  
SCALE: 3/16" = 1'-0"



4 SIDE ELEVATION (WEST)  
SCALE: 3/16" = 1'-0"

KEY NOTES

- STEEL COLUMN WRAP WITH BREAK METAL
- LINE OF CANOPY / SOFFIT
- DARK BRONZE ANODIZED WINDOW FRAME W/ CLEAR GLASS WINDOW SYSTEM
- INTERNALLY ILLUMINATED SIGN (UNDER SEPARATE PERMIT)
- DARK BRONZE ANODIZED DOOR W/ CLEAR GLASS STOREFRONT SYSTEM
- SERVICE DOOR, PAINT TO MATCH SURROUNDING WALL
- PRE-FINISHED METAL COPING
- NICHHA FIBER CEMENT WALL PANEL SYSTEM
- WALL MOUNTED LIGHT FIXTURE, COLOR: BLACK. SEE ELECTRICAL PLAN
- SES PANEL LOCATION. SEE ELECTRICAL PLAN
- ROOF LINE AND HVAC UNITS
- 1-1/2" STAINLESS STEEL CORNER KEY EDGE, TYP. TO ALL CORNERS
- DOWNSPOUT, RE: PLUMBING PLAN
- ADDRESSING LOCATION: 8" TALL INCH BLACK NUMBERS. FINAL AREA LOCATION TO BE DETERMINED BY FIRE DEPARTMENT.
- 1 3/8" THK. X 6" NICHHA KURASTONE HIGH FIBER CEMENT WAINSCOT
- 1-1/2" HIGH NICHHA FIBER CEMENT CAP INSTALL PER MFR. SPECS.
- NICHHA ESSENTIAL "OVERHANG" FLASHING
- PARAPET WALL BEYOND
- (KNX) KEY-BOX AT 6'-0" AFF (IF REQUIRED BY FIRE DEPARTMENT)
- FIRE DEPARTMENT CONNECTION (IF REQUIRED)
- ALUMINUM AWNING WITH SUPPORT RODS ABOVE THE SIDE ENTRY DOOR BY CIRCLE K VENDOR. PROVIDE BLOCKING IN EXTERIOR WALL FOR AWNING AND SUPPORTS
- EMERGENCY FUEL SHUT-OFF SWITCH, REFER TO SHEET F1.0 - FUEL PIPING FLOOR PLAN
- INSULATED METAL DOOR
- NICHHA ESSENTIAL "STARTER" FLASHING
- CO2 TANK WITH METAL LOUVERED CONTAINER
- EXTERIOR FINISH TO EXTEND ABOVE SIDEWALK/GRADE, SEE DET. 8/AB.1 & 11/AB.1
- LEADER BOX. SEE PLUMBING DWGS.
- EMERGENCY OVERFLOW SCUPPER. SEE PLUMBING DWGS.
- METAL ROOF ACCESS LADDER WITH SECURITY DOOR

FINISH SCHEDULE

- A - \*\*\*NICHHA TUFF BLOCK  
- COLOR TO MATCH #SW 6095 TOASTY
  - B - \*\*\*NICHHA TUFF BLOCK  
- COLOR TO MATCH #SW 6115 TOTALLY TAN
  - C - 1" INSULATED, DOUBLE PANED CLEAR GLASS
  - D - \*SHERWIN WILLIAMS #SW 4081  
- \*\*SAFETY RED
  - E - \*SHERWIN WILLIAMS #SW 7005  
- CIRCLE K WHITE
  - F - \*\*\*NICHHA CHISELED SILL TAN
  - G - WEATHERSTONE/DUTCHQUALITYSTONE/ASHLERPATTERN
  - H - \*SHERWIN WILLIAMS #SW 6090  
- FIRESTONE MANSARD BROWN SR (USE FOR PRE-FINISHED METAL COPING)
  - I - CIRCLE K ORANGE #PMS 144
- \* USE SHERWIN WILLIAMS MANUFACTURER ONLY  
\*\* COLOR TO BE PRE-ORDERED TO ENSURE AVAILABILITY AT TIME OF CONSTRUCTION  
\*\*\* COORDINATE WITH OWNER'S REP

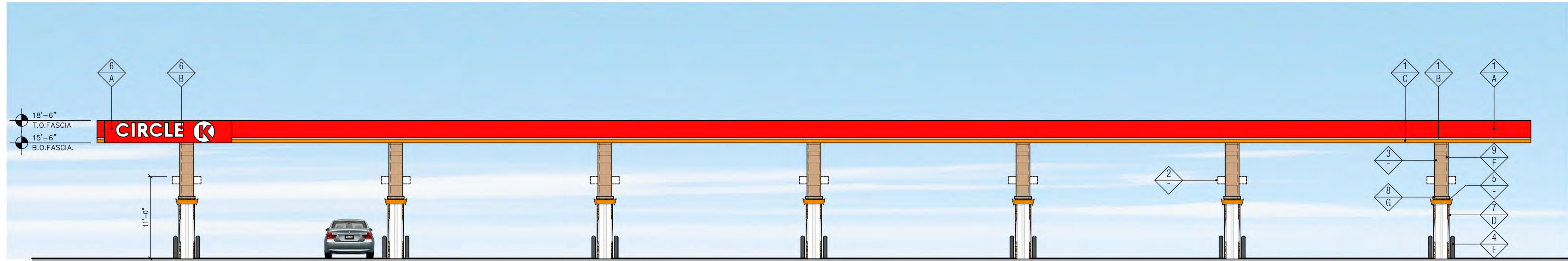
RECEIVED  
By Mike Schwarz at 2:06 pm, Dec 06, 2022



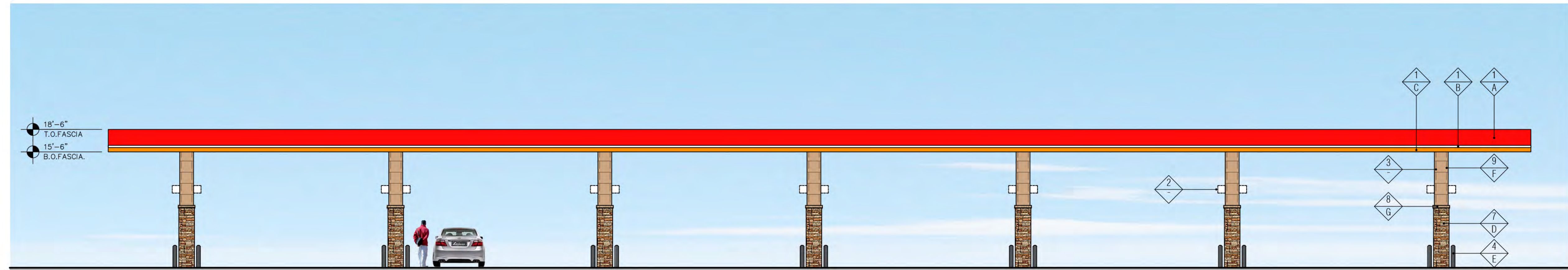


3 "SIDE" ELEVATION (EAST)  
SCALE: 1/8" = 1'-0"

4 "SIDE" ELEVATION (WEST)  
SCALE: 1/8" = 1'-0"



2 "FRONT" ELEVATION (SOUTH)  
SCALE: 1/8" = 1'-0"



1 "REAR" ELEVATION (NORTH)  
SCALE: 1/8" = 1'-0"

# CLASS A COLUMN FINISH

RECEIVED  
By Mike Schwarz at 2:05 pm, Dec 06, 2022

FINISH SCHEDULE	
▲	FINISH MATERIAL
1	ACM PANEL "TEX-COTE"
2	COLUMN FLAGS BY SIGNAGE VENDOR
3	LINE OF STEEL COLUMN WITHIN
4	6" Ø BOLLARD, 36" HIGH
5	FUEL PUMP
6	INTERNALLY ILLUMINATED SIGN UNDER SEPARATE PERMIT
7	1 3/8" THK. X 6" NICHHA KURASTONE HIGH FIBER CEMENT WAINSCOT
8	1-1/2" HIGH NICHHA FIBER CEMENT CAP INSTALL PER MFR. SPECS.
9	NICHHA FIBER CEMENT WALL PANEL SYSTEM
▼	FINISH COLOR
A	CIRCLE K RED #PMS 485
B	CIRCLE K WHITE
C	CIRCLE K ORANGE #PMS 144
D	NICHHA LEDGESTONE BLUFF
E	PVC BOLLARD SLEEVE "DARK GRAY"
F	NICHHA TUFF BLOCK - COLOR TO MATCH SHERWIN WILLIAMS - SW6115 - TOTALLY TAN
G	NICHHA CHISELED SILL TAN

Notes:  
1. Colors shown on these elevations are for illustration purposes only. For actual colors, refer to manufacturer's samples.  
2. The fascia panels are pre-finished by signage vendor.  
3. All signs require a separate submittal.  
4. All lighting on canopy to be flush mounted with fascia.

rdc.

11921 Freedom Drive #1110  
Reston, Va 20190  
t 703.668.0086  
rdcollaborative.com

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**PROFESSIONAL SEAL**

REVISIONS	
ISSUE	DATE
R3.1	05/18/22

**PROFESSIONAL IN CHARGE**  
XX  
**PROJECT MANAGER**  
XX  
**QUALITY CONTROL**  
XX  
**DRAWN BY**  
XX

**PROJECT NAME**

**CIRCLE K STORES, INC.**

1234 STREET ADDRESS  
ANYTOWN, US STATE

PROTOCOL # R3.1 05/18/22

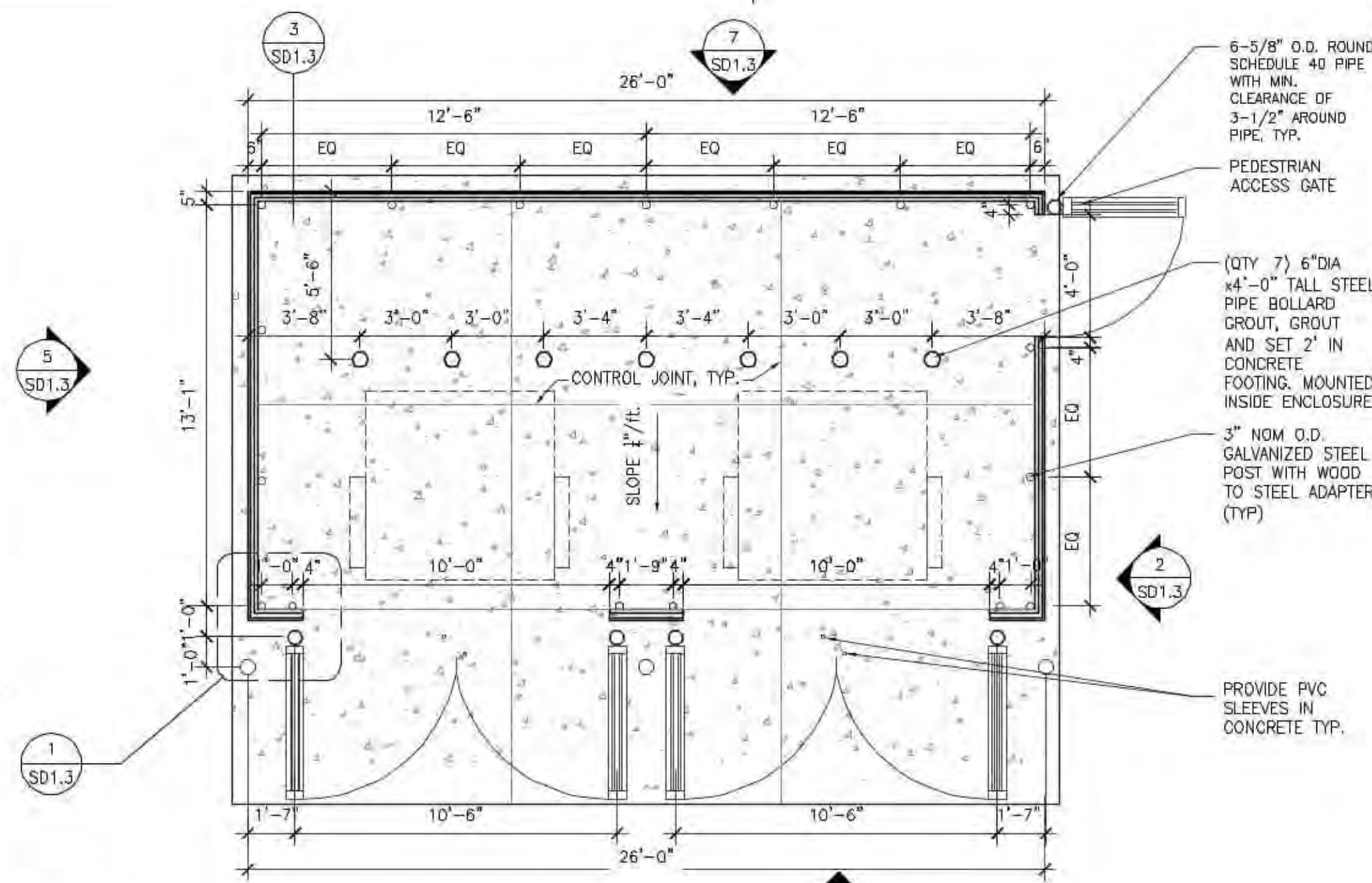


CIRCLE K STORE INC.  
PROJECT NUMBER: XXXX

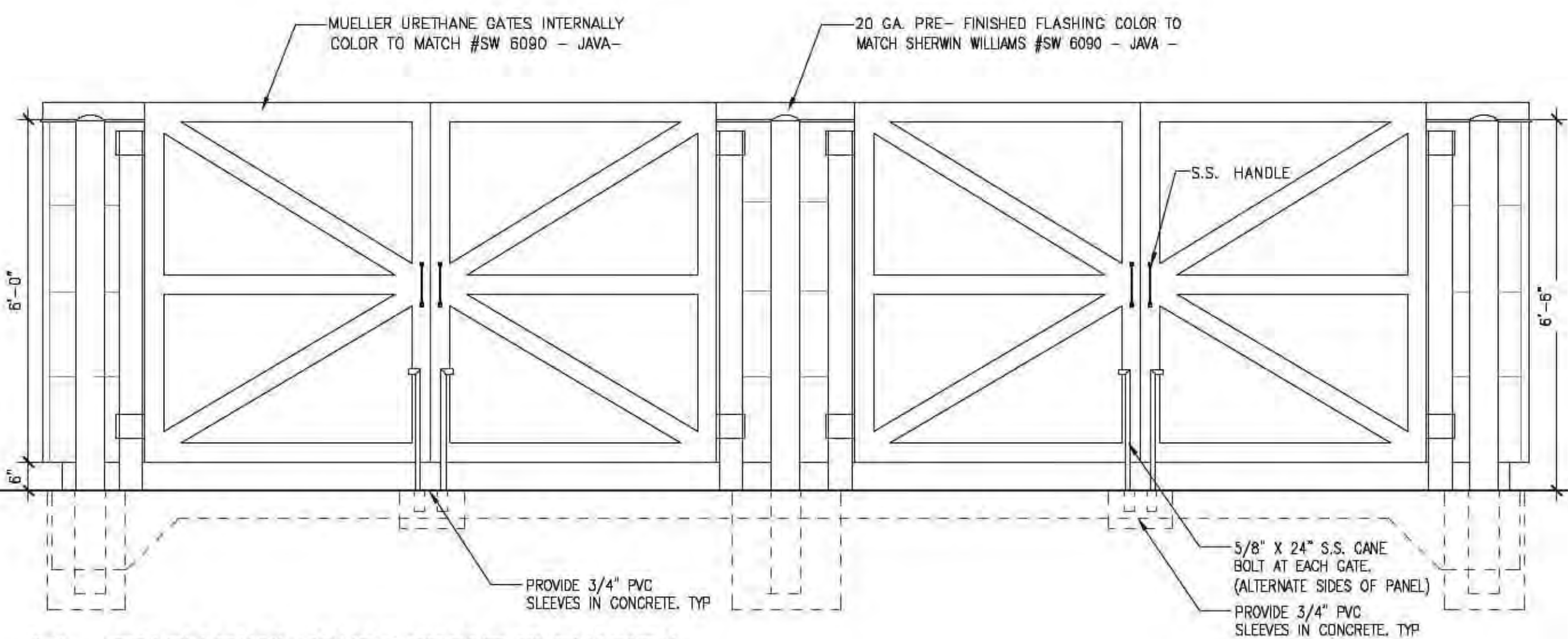
**FUEL CANOPY ELEVATIONS (VS07)**

A2-2

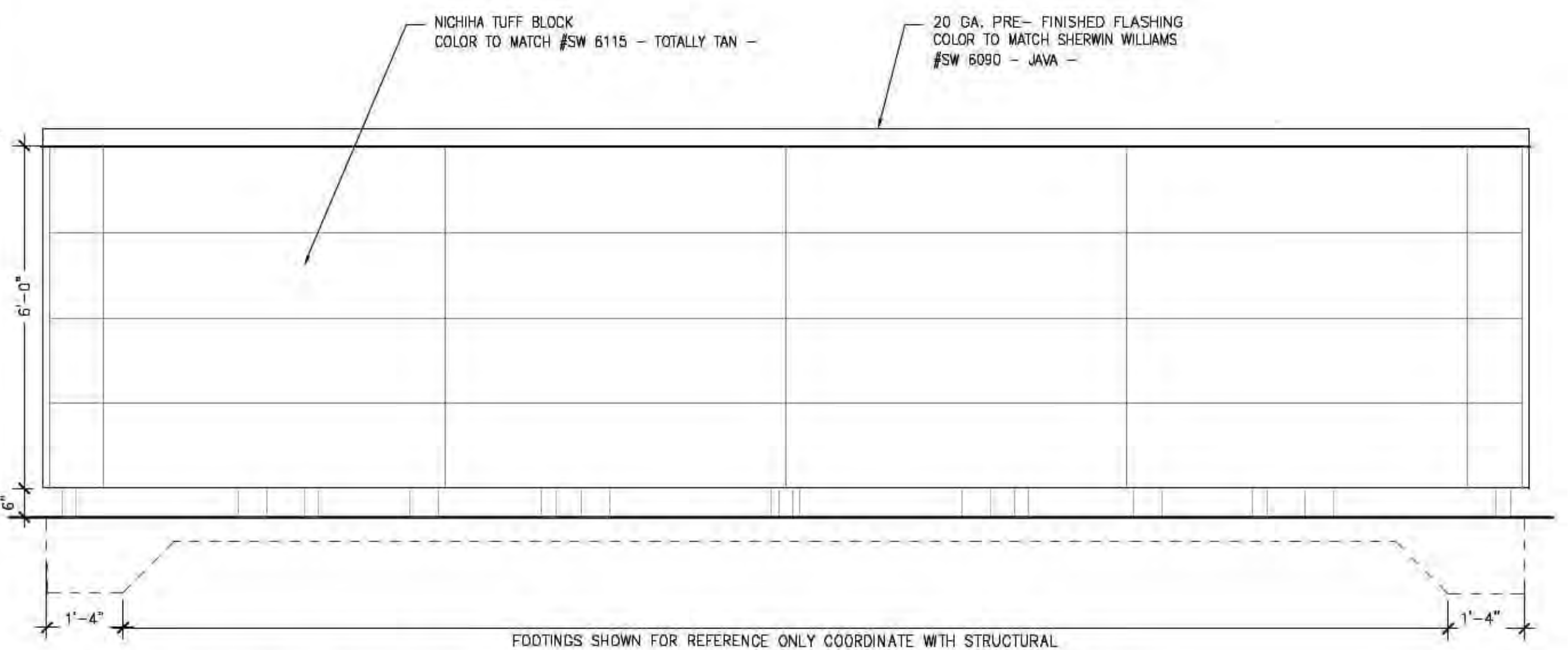




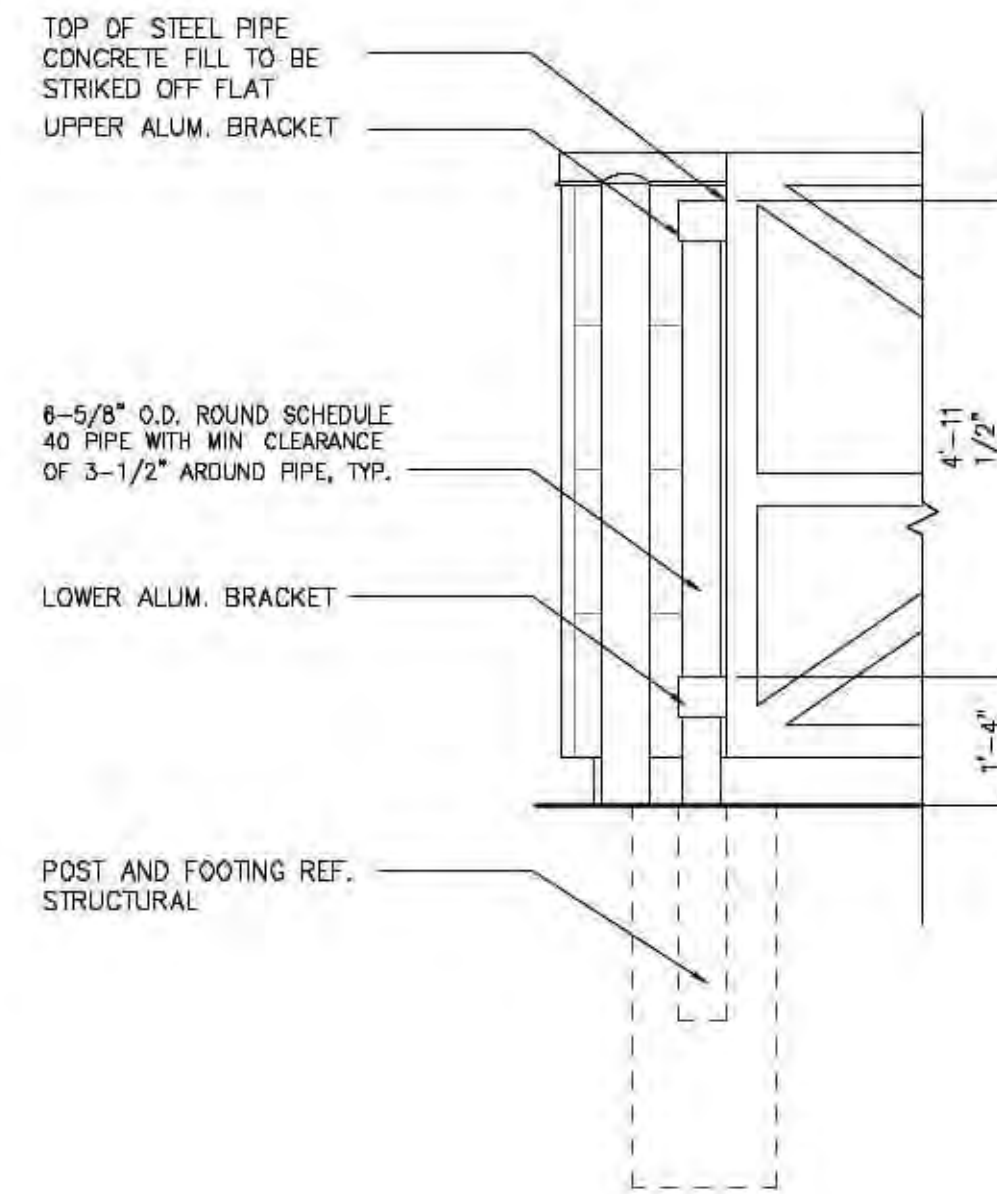
**9 TRASH ENCLOSURE (PLAN)**  
1/4"=1'-0"



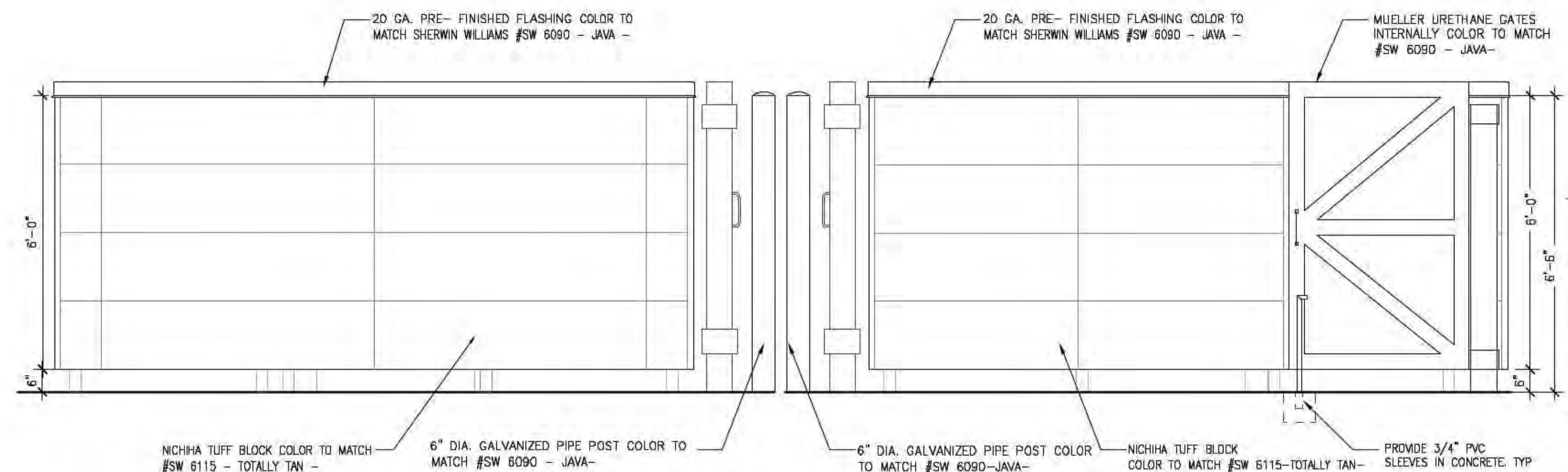
**8 TRASH ENCLOSURE FRONT ELEVATION**  
1/2"=1'-0"



**7 TRASH ENCLOSURE REAR ELEVATION**  
1/2"=1'-0"

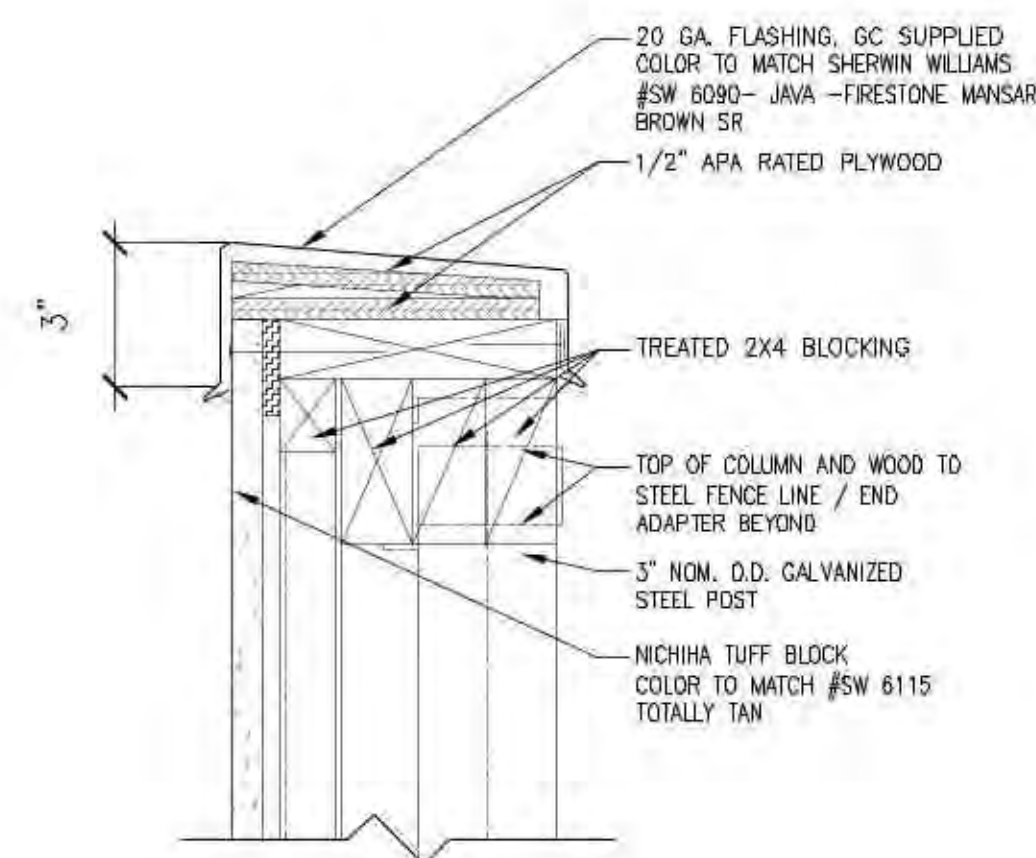
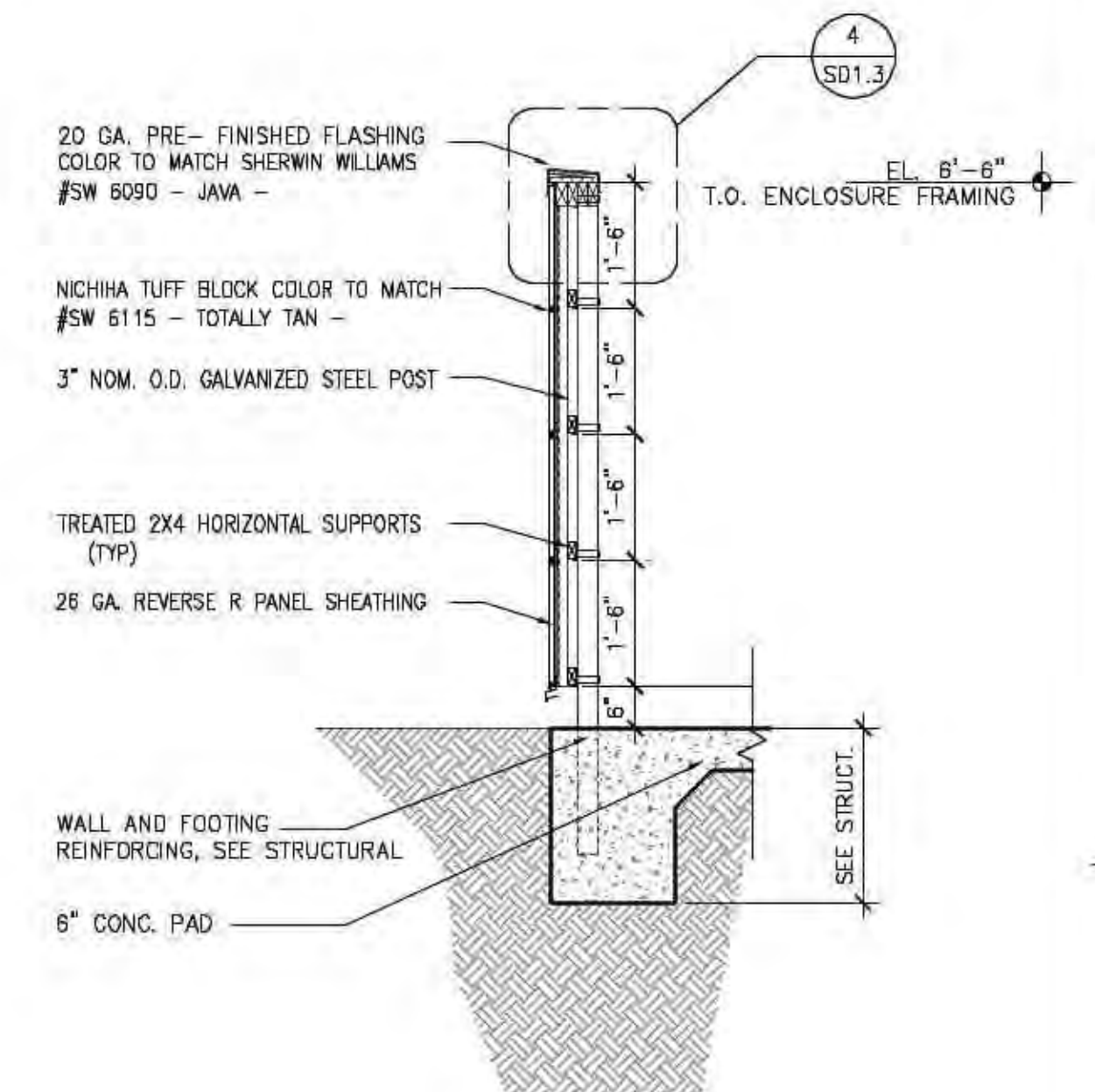


**6 GATE BOLLARD DETAIL**  
1/2"=1'-0"

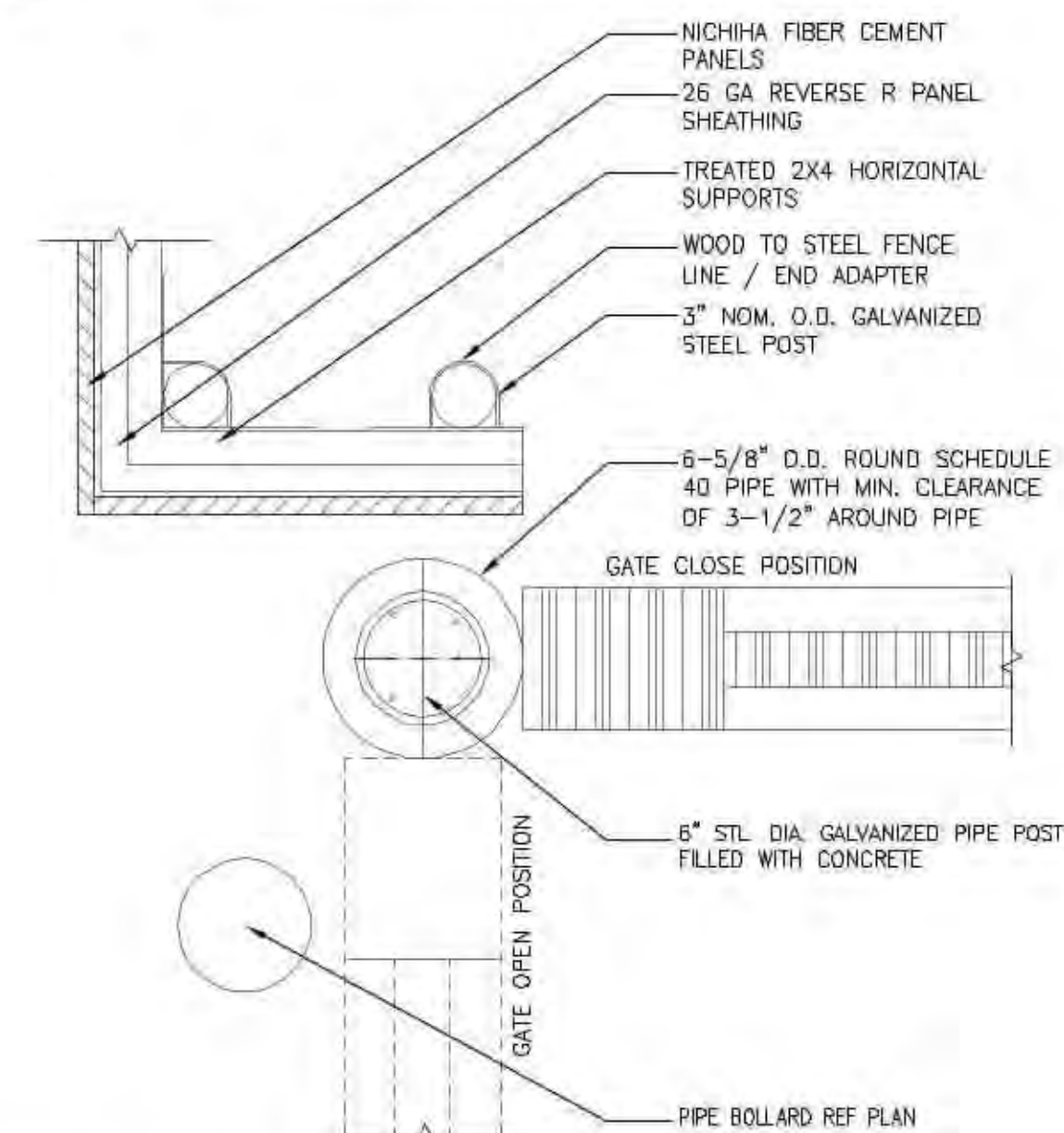


**5 TRASH ENCLOSURE SIDE ELEVATION**  
1/2"=1'-0"

**3 TRASH ENCLOSURE WALL SECTION**  
1/2"=1'-0"



**4 DETAIL COPING**  
1 1/2"=1'-0"

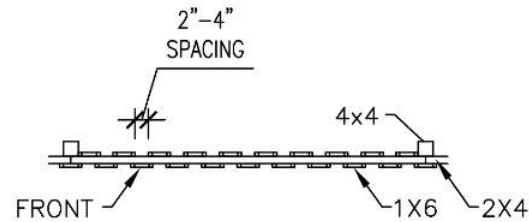


**1 ENCLOSURE GATE HINGE**  
1 1/2"=1'-0"

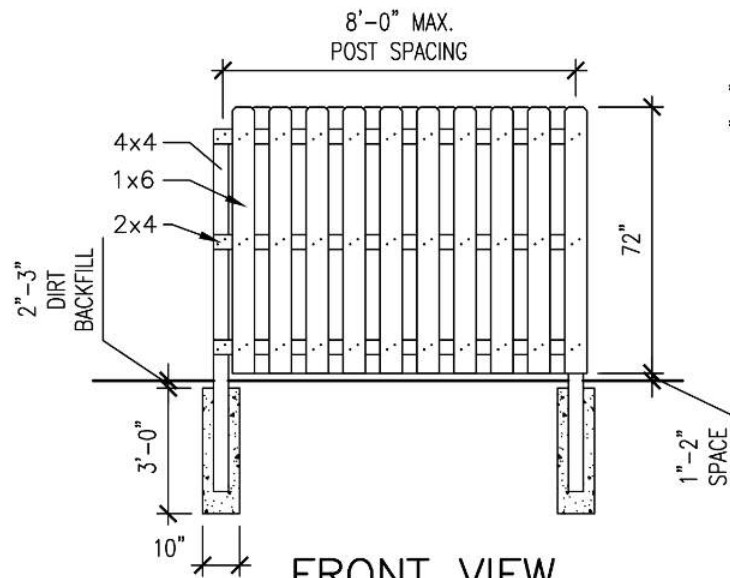


# PRIVACY FENCE DETAIL

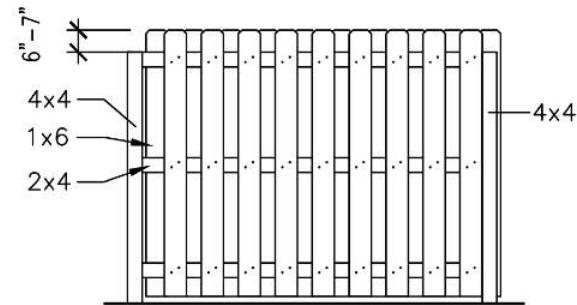
NOT TO SCALE



TOP VIEW



FRONT VIEW



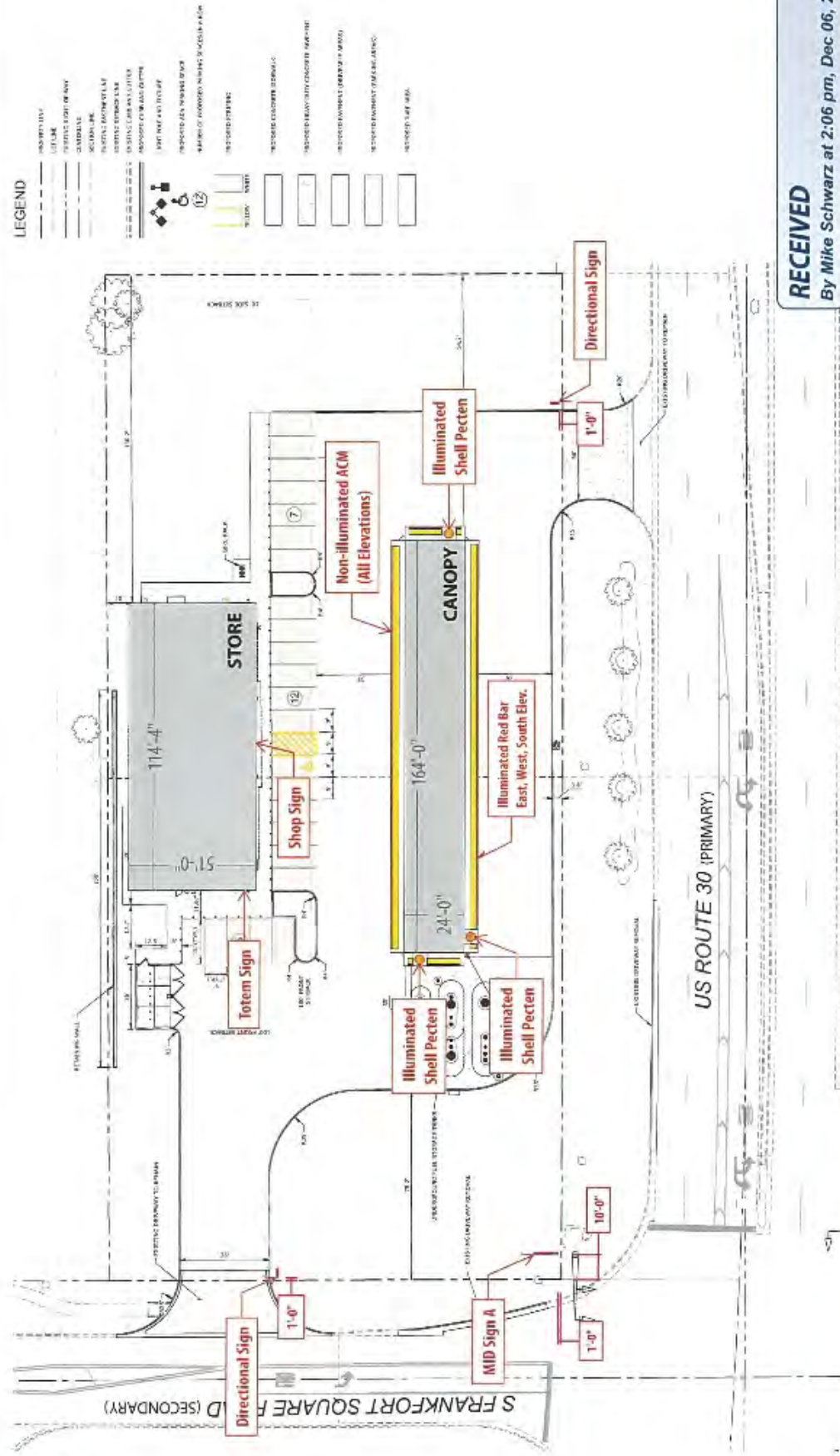
NOTE: NUMBER OF BOARDS WILL VARY DEPENDING ON SPACE BETWEEN BOARDS AND ACTUAL WIDTH OF BOARDS.

REAR VIEW

STRAIGHT SHADOWBOX PRIVACY FENCING



7654 W LINCOLN HWY



**RECEIVED**  
By Mike Schwarz at 2:06 pm, Dec 06, 2022



**CORPORATE IDENTIFICATION SOLUTIONS**

CUSTOMER: CIRCLE K  
SITE NUMBER: 6718

LOCATION: FRANKFORT, IL  
ACCOUNT REP: BEN DOWNEY

DRAWN BY: WH  
DATE: 11/22/22

REVISION: 07  
SCALE: NTS

CORPORATE ID SOLUTIONS  
3363 N ELSTON AVE.  
CHICAGO, IL 60630  
P: 773-763-9000 F: 773-763-9006  
CORPORATEIDSOLUTIONS.COM

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SIGNATURE

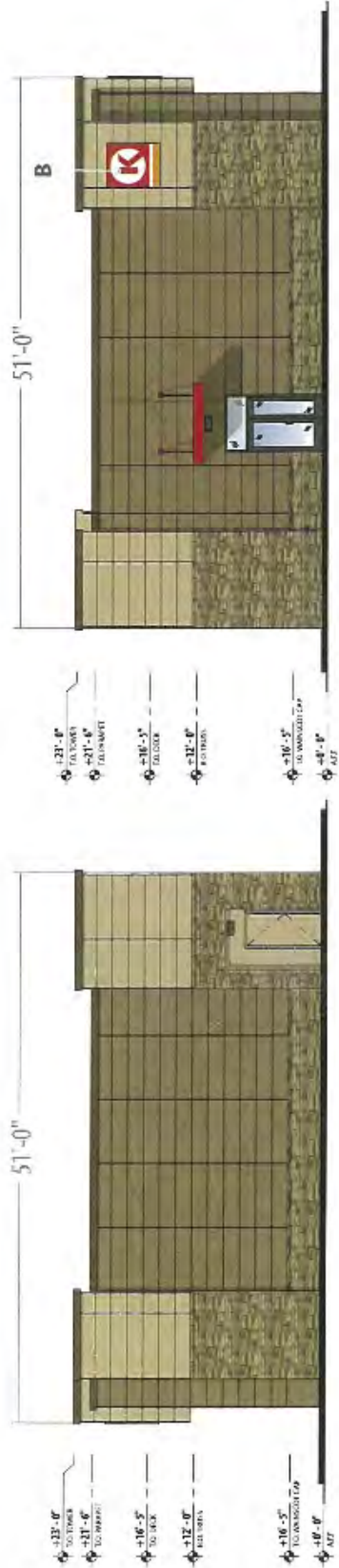
DATE







PROPOSED



LEVEL A  
NEW CONSTRUCTION

BUILDING INFO		HEIGHT	FRONT	SIDES
		23'-0"	11'-4"	51'-0"
SIGN DESCRIPTION		QTY	SIZE	AREA
A	Illuminated Circle K Channel Letters	1	5'-0" x 12'-8 3/8"	60 SF
B	Illuminated Circle K Totem Channel	1	5'-0" x 4'-2"	20.8 SF



SCALE: 3/8"=1'-0"



CORPORATE  
IDENTIFICATION  
SOLUTIONS

CUSTOMER  
CIRCLE K  
SITE NUMBER  
6718

LOCATION  
FRANKFORT, IL  
ACCOUNT REP  
BEN DEHAVES

DRAWN BY  
P/11  
DATE  
11/22/22

REVISION  
07  
SCALE  
NTS

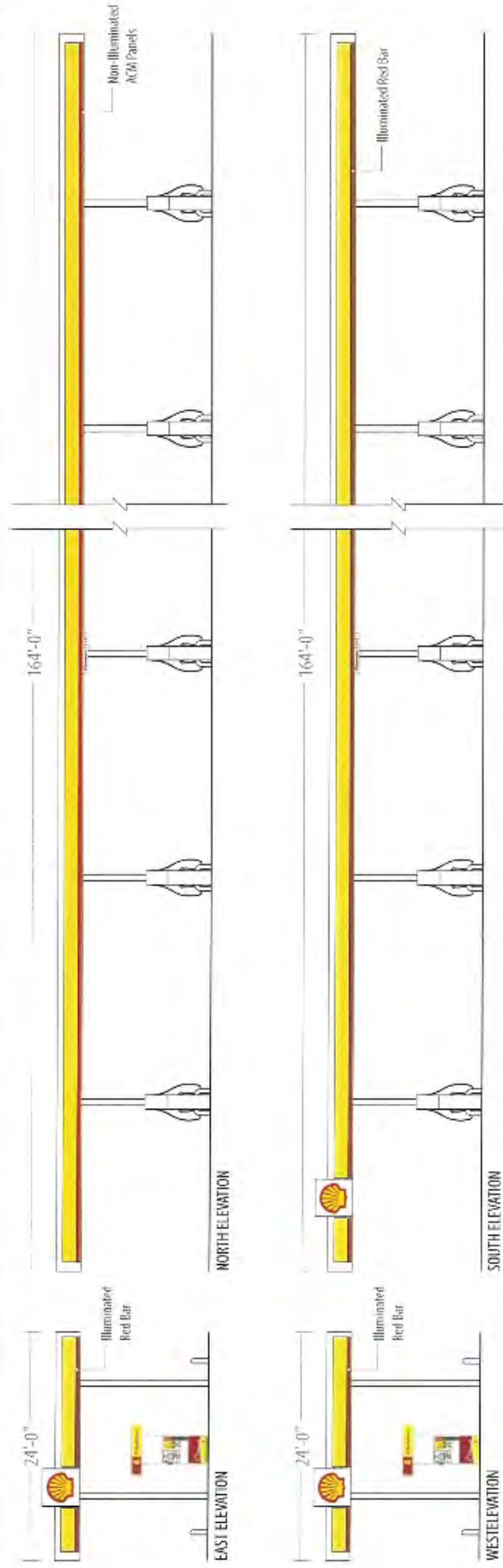
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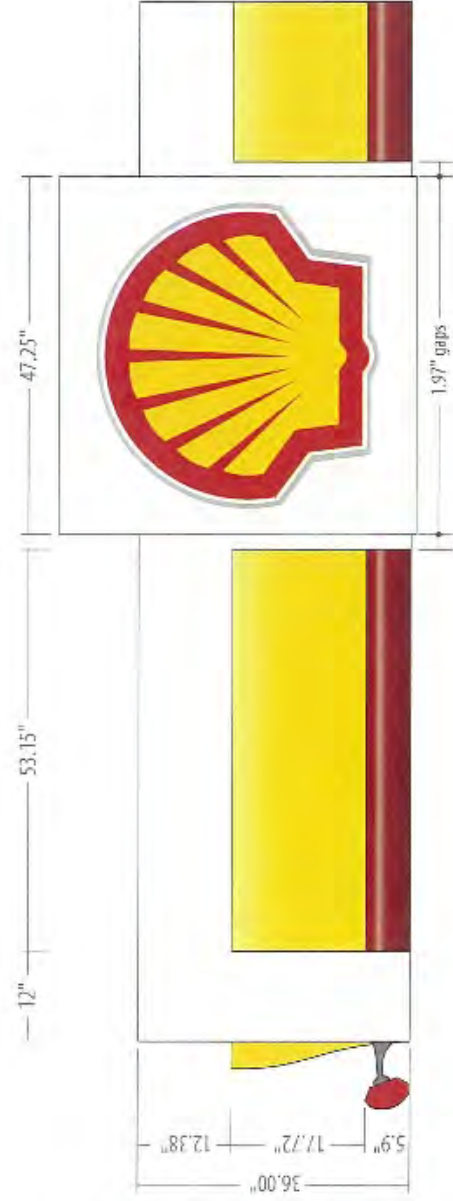
DATE





## ARTWORK REFLECTS CURRENT SURVEY

SOUTH ELEVATION		
Gas Island Canopy Fascia	36" x 164'-0"	492.0 SF
Shell Illuminated Pecten	47.25" x 47.25"	15.5 SF
3.1% of available space		
EAST ELEVATION		
Gas Island Canopy Fascia	36" x 24'-0"	72.0 SF
Shell Illuminated Pecten	47.25" x 47.25"	15.5 SF
21.5% of available space		
WEST ELEVATION		
Gas Island Canopy Fascia	36" x 24'-0"	72.0 SF
Shell Illuminated Pecten	47.25" x 47.25"	15.5 SF
21.5% of available space		
NORTH ELEVATION		
Non-Illuminated ACM		

CORPORATE  
IDENTIFICATION  
SOLUTIONSCUSTOMER  
CIRCLE K  
SITE NUMBER  
6718LOCATION  
FRANKFORT, IL  
ACCOUNT REP  
BEN DEHAVESDRAWN BY  
AM  
DATE  
11/22/22REVISION  
07  
SCALE  
NTSCORPORATE ID SOLUTIONS  
5563 N ELSTON AVE  
CHICAGO, IL 60630  
P: 773-763-9600 | F: 773-763-9606  
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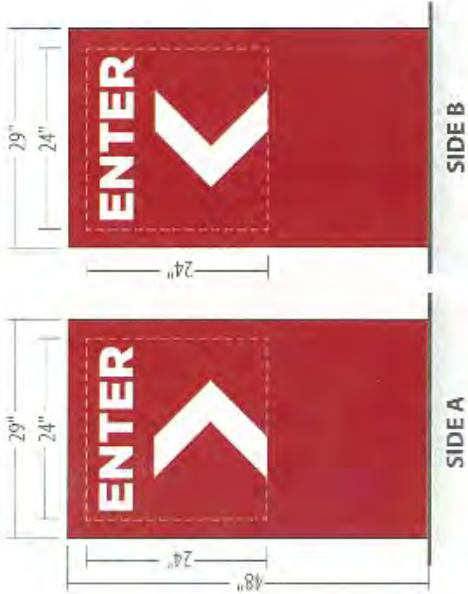
DATE







QTY (2)



DIRECTIONAL A  
NON-ILLUMINATED  
4.0 SF



CORPORATE  
IDENTIFICATION  
SOLUTIONS

CUSTOMER  
CIRCLE K  
SITE NUMBER  
6718

LOCATION  
FRANKFORT, IL  
ACCOUNT REP  
JEN DELANEY

DRAWN BY  
M  
DATE  
1/22/23

REVISION  
07  
SCALE  
NTS

CORPORATE ID SOLUTIONS  
5563 N ELSTON AVE  
CHICAGO, IL 60630  
P: 773-763-9200 | F: 773-763-9605  
CORPORATEIDSOLUTIONS.COM

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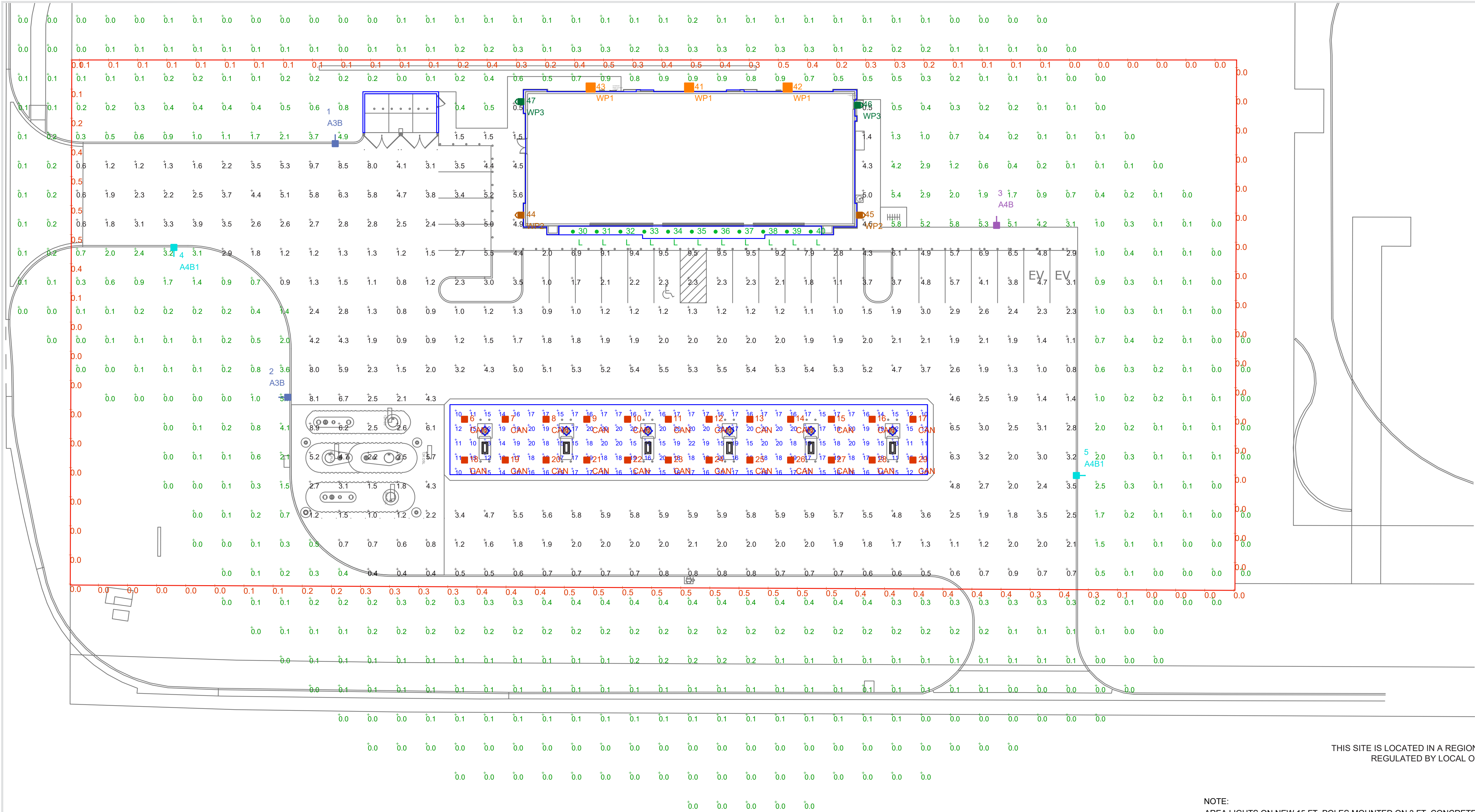
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SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

















THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES

NOTE:  
AREA LIGHTS ON NEW 15 FT. POLES MOUNTED ON 3 FT. CONCRETE BASES

ILLUMINATION LEVELS ARE THE RESULT OF CONDITIONS OR REQUESTS BY OTHERS  
RED LEONARD ASSOCIATES IS NOT RESPONSIBLE  
FOR INCIDENTS CAUSED BY INSUFFICIENT LIGHTING  
AND DOES NOT RECOMMEND THESE LEVELS FOR  
SECURITY AND SAFETY REASONS


FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	3.00	9.7	0.4	7.50	24.25
PROPERTY LINE	0.19	0.5	0.0	N.A.	N.A.
UNDEFINED	0.38	5.8	0.0	N.A.	N.A.
UNDER CANOPY	16.47	22	10	1.65	2.20


LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A3B	18
2	A3B	18
3	A4B	18
4	A4B1	18
5	A4B1	18
6	CAN	17.5
7	CAN	17.5
8	CAN	17.5
9	CAN	17.5
10	CAN	17.5
11	CAN	17.5
12	CAN	17.5
13	CAN	17.5
14	CAN	17.5
15	CAN	17.5
16	CAN	17.5
17	CAN	17.5
18	CAN	17.5
19	CAN	17.5
20	CAN	17.5
21	CAN	17.5
22	CAN	17.5
23	CAN	17.5
24	CAN	17.5
25	CAN	17.5
26	CAN	17.5
27	CAN	17.5
28	CAN	17.5
29	CAN	17.5
30	L	12
31	L	12
32	L	12
33	L	12
34	L	12
35	L	12
36	L	12
37	L	12
38	L	12
39	L	12
40	L	12
41	WP1	14.5
42	WP1	14.5
43	WP1	14.5
44	WP2	14.5
45	WP2	14.5
46	WP3	14.5
47	WP3	14.5

LUMINAIRE SCHEDULE											
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LATF	DIMMING LUMEN MULTIPLIER	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	CATALOG LOGIC
	2	A3B	Single	12699	1.030	1.000	1.030	B2-U0-G2	104	208	Cree Inc OSQ-ML-B-XX-XX + OSQM-B-16L-57K7-3M-UL-NM-XX + OSQ-BLSMF
	1	A4B	Single	12349	1.030	1.000	1.030	B2-U0-G2	104	104	Cree Inc OSQ-ML-B-XX-XX + OSQM-B-16L-57K7-4M-UL-NM-XX + OSQ-BLSMF
	2	A4B1	Single	6799	1.030	1.000	1.030	B1-U0-G2	54	108	Cree Inc OSQ-ML-B-XX-XX + OSQM-B-16L-57K7-4M-UL-NM-XX-Q1 + OSQ-BLSMF
	24	CAN	Single	10847	1.030	0.510	0.525	B3-U0-G1	44.55	1069.2	BETALED, A DIVISION OF RUUD LIGHTING CAN-228-SL-RM-06-E-UL-XX-525-57K (SET DIAL @ 2)
	11	L	SINGLE	1800	1.030	1.000	1.030	B1-U0-G0	20.5	225.5	Cree Lighting LR6X-18L-40K-120V
	3	WP1	Single	1884	1.030	1.000	1.030	B0-U0-G1	25	75	CREE, INC. SEC-EDG-2MB-WM-02-E-UL-XX-350-40K-DIM (OPTICS ROTATED 180 DEGREES)(BXSE9293&)
	2	WP2	SINGLE	8877	1.030	1.000	1.030	B2-U0-G2	100	200	CREE, INC. SEC-EDG-4M-WM-06-E-UL-XX-525-40K
	2	WP3	SINGLE	2993	1.030	0.150	0.155	B1-U0-G1	5.55	11.1	CREE, INC. SEC-EDG-4M-WM-02-E-UL-XX-525-40K-DIM (SET @ 1.4V)





AREA







CANOPY







SOFFIT

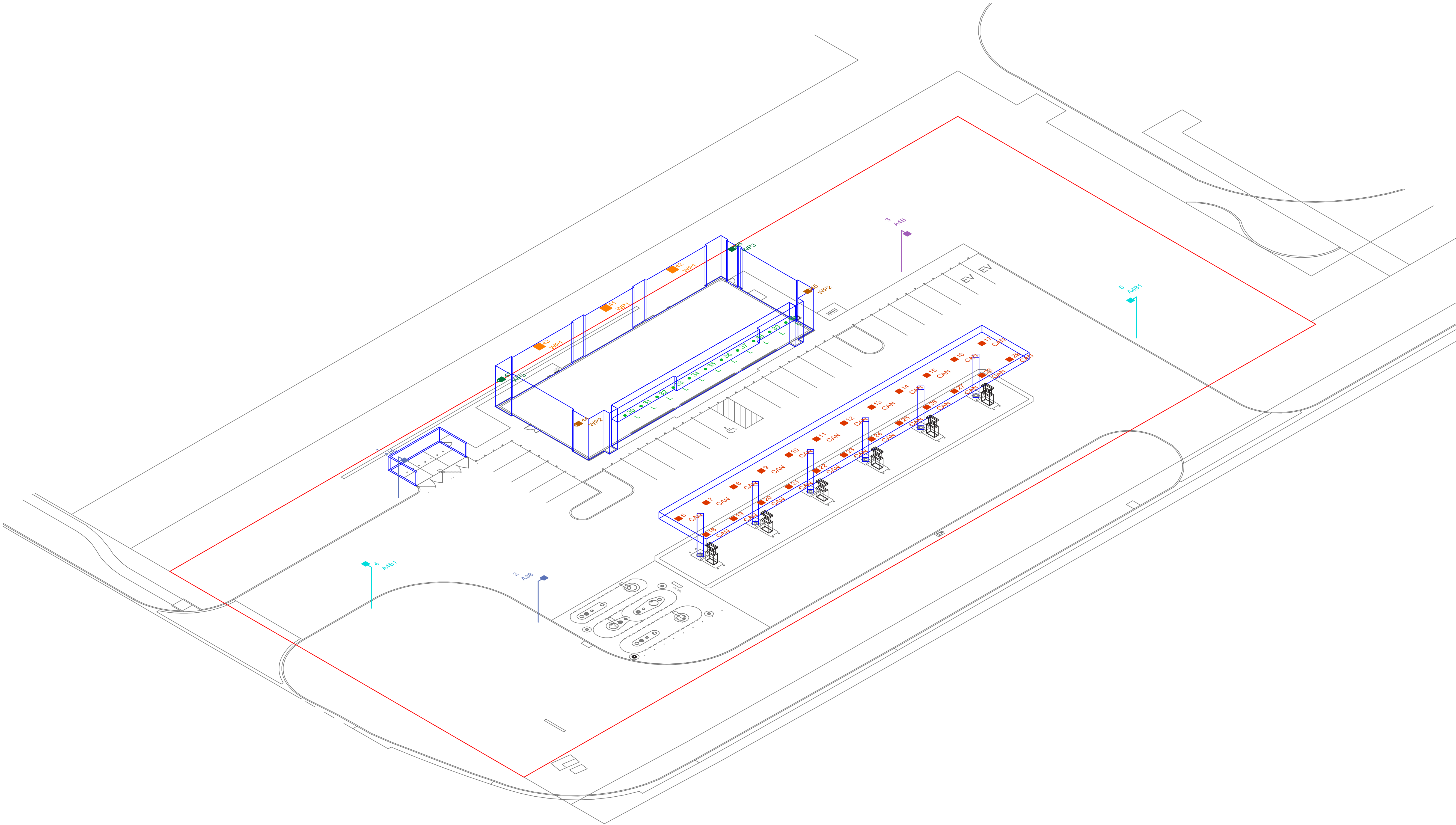




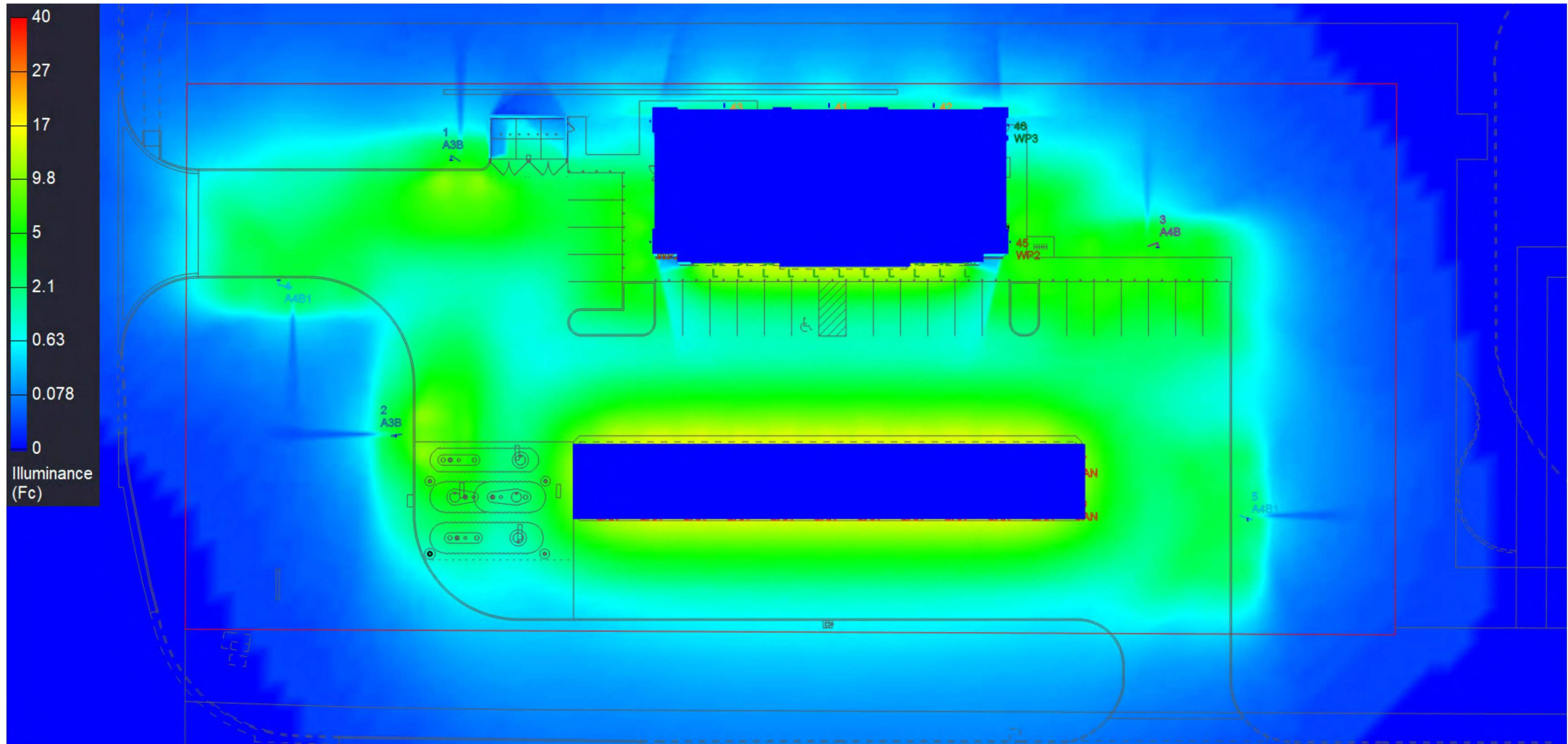
WALL MOUNTED







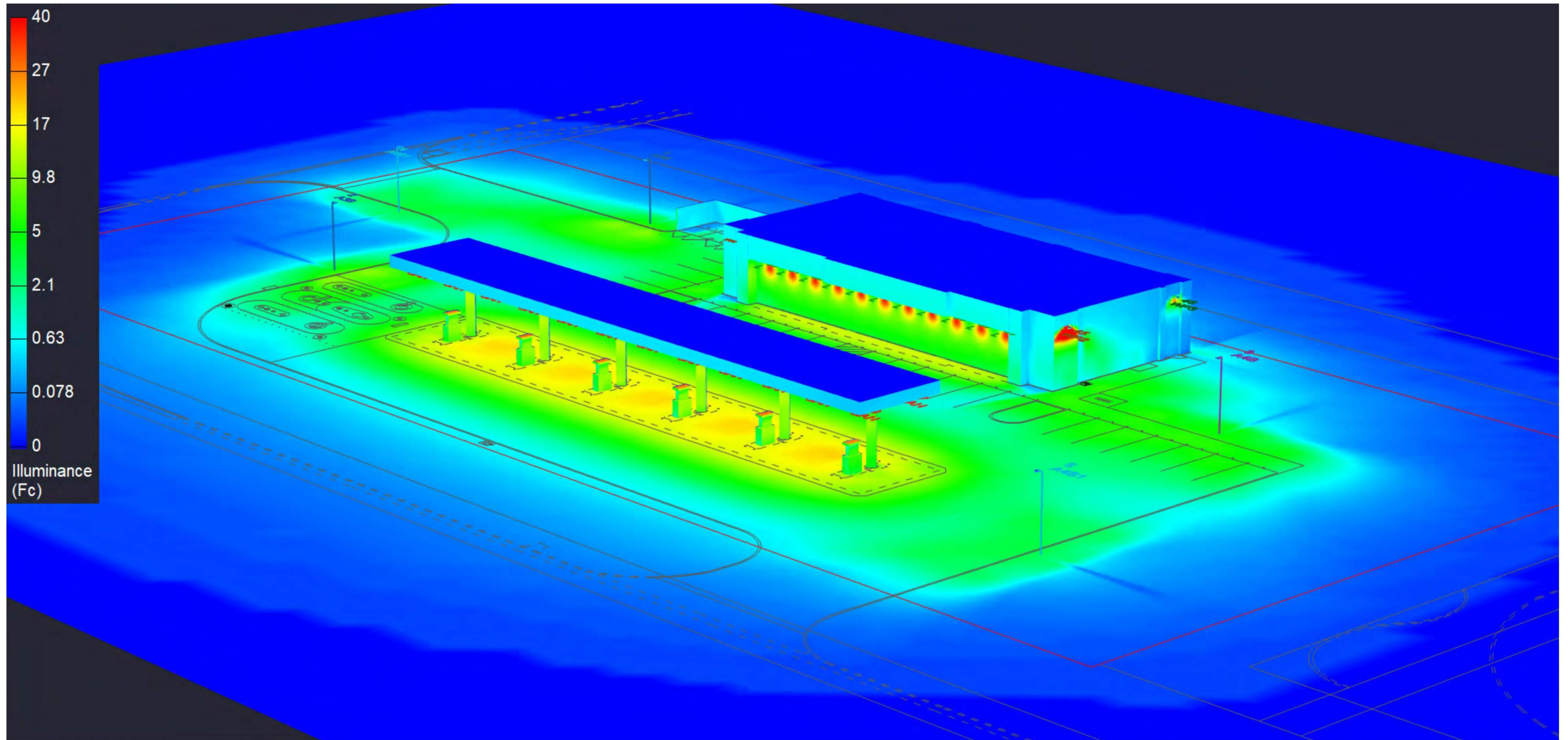




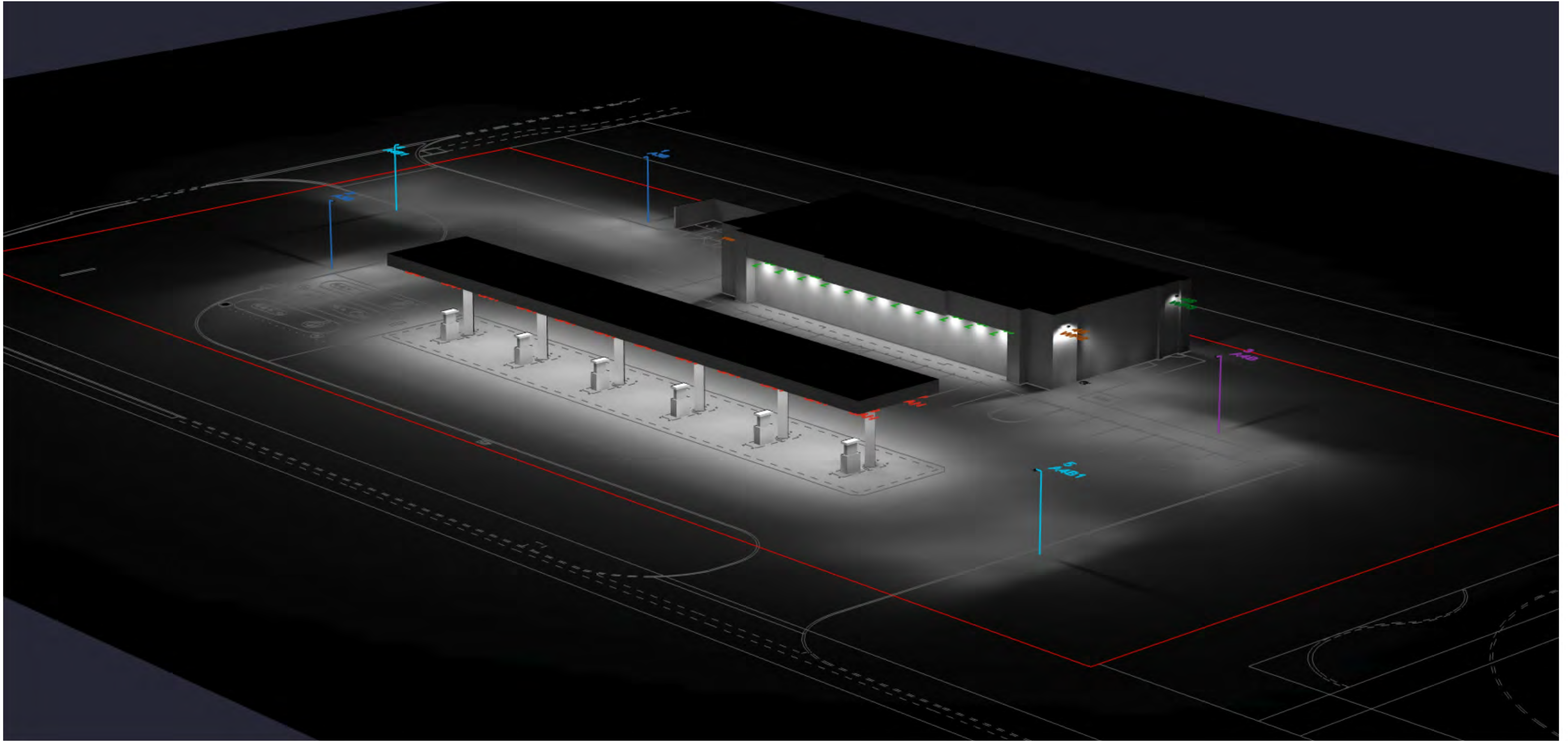




















Bearings are based upon G.P.S. observations and referenced to the Illinois State Plane Coordinate System - East Zone NAD 83 (2011).

OWNER:  
RDK VENTURES, LLC  
PO Box 347  
Columbus, IN 47202

FRANKFORT SQUARE  
UNIT NO. 18  
Recorded April 17, 1985 as  
Document No. R85-11449

Please Return To:  
Arc Design Resources  
5291 Zenith Parkway  
Loves Park, IL 61111  
(815) 484-4300

P.O.C.  
Curve C-1  
Fd. 1/2" Iron Pipe  
CURVE C-1  
A = 8°23'31"  
R = 260.00'  
T = 19.07'  
L = 38.08'  
C.B. = S 4°00'17" W  
L.C. = 38.05'

### VICINITY MAP (Not to Scale)



SYMBOL LEGEND	
	PROPERTY LINE & SECTION LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	CENTER LINE & SET SURVEY MONUMENT
	FOUND SURVEY MONUMENT
	SET CONCRETE MONUMENT
	RECORD DISTANCE
	MEASURED DISTANCE

### CERTIFICATE OF OWNERSHIP

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) S.S.

This is to certify that RDK Ventures, LLC is the owner of the land described in the foregoing certificate and have caused the same to be surveyed and subdivided, as indicated on the plat, for the uses and purposes therein set forth, and that the aforementioned described property is located in Summit Hill School District No. 161 (Frankfort), High School District No. 210 (Lincoln-Way Community) and Junior College District No. 525 (Joliet Junior College) and that I (we) hereby acknowledge and adopt the same under the style and title thereon indicated, as my (our) own free and voluntary act and deed.

By: \_\_\_\_\_  
Signature Title

### CERTIFICATE OF NOTARY

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) S.S.

I, \_\_\_\_\_, a Notary Public in and for said County and State, do hereby certify that \_\_\_\_\_ personally known to me to be the same person(s) whose name(s) are subscribed to the above certificate appeared before me this day in person and acknowledged that he (they) signed the above certificate as his (their) own free and voluntary act and deed for the uses and purposes therein set forth, Given under my hand and notarial seal this \_\_\_\_\_ day \_\_\_\_\_ of A.D. 2023.

Notary Public

### SURVEY CERTIFICATION

STATE OF ILLINOIS )  
COUNTY OF WINNEBAGO ) S.S.

This is to certify that I, Lee S. Sprecher, an Illinois Registered Land Surveyor, have plotted from the record the property being part of the Northwest Quarter of Section 24, Township 35 North, Range 12 East of the Third Principal Meridian, Will County, Illinois, described as follows:

A parcel of land being part of the Northwest Quarter of Section 24, Township 35 North, Range 12 East of the Third Principal Meridian, Will County, Illinois, described as follows:

Commencing at the Southwest corner of Lot 1 in Block 60 as designated upon Frankfort Square Unit No. 18, being a subdivision of part of the North Half of Section 24 Township 35 North, Range 12 East of the Third Principal Meridian, the plat of which subdivision was recorded April 17, 1985 as Document No. R85-11449 in the Recorder's Office of Will County, Illinois, said point also lying in the East line of a public road designated Frankfort Square Road per Plat of Dedication recorded March 10, 1976 as Document No. R76-06506 in said Recorder's Office; thence Southerly along the East line of said Frankfort Square Road along a circular curve to the left whose radius is 260.00 feet and whose center lies to the East, the long chord of which curve bears South 4 degrees 00 minutes 07 seconds West, a chord distance of 38.05 feet to a point of tangency; thence South 0 degrees 11 minutes 38 seconds East along the East line of said Frankfort Square Road, a distance of 231.33 feet to the Point of Beginning for the hereinafter described parcel of land; thence North 89 degrees 38 minutes 00 seconds East, a distance of 400.03 feet to the East line of the West 400' lying East of the East Line of said Frankfort Square Road; thence South 0 degrees 11 minutes 38 seconds East along said East line of the West 400' lying East of the East Line of said Frankfort Square Road, a distance of 182.22 feet to the North line of a public road designated U.S. Route 30 per Agreed Final Judgement Order in Will County Case No. 10-ED-107 between the Illinois Department of Transportation and RDK Ventures, LLC recorded January 9, 2012 as Document No. R2012003602 in said Recorder's Office; thence South 89 degrees 54 minutes 05 seconds West along the North line of said U.S. Route 30, a distance of 400.03 feet to the East line of said Frankfort Square Road; thence North 0 degrees 11 minutes 38 seconds West along the East line of said Frankfort Square Road, a distance of 180.35 feet to the Point of Beginning, containing 72,519 square feet, 1.665 acres, more or less, all being situated in the County of Will and the State of Illinois.

The accompanying plat is a true and correct representation of said survey and subdivision as made by me.

The above described property is not located within any regulated flood zones according to the Flood Insurance Rate Map (17197C0218G) for Will County, Illinois revised February 15, 2019.

The plat is situated within the corporate limits of the Village of Frankfort.

To the best of our knowledge, all regulations enacted by the Village of Frankfort have been complied with in the preparation of this plat.

Dimensions are given in feet and decimals of a foot. Iron pins 3/4-inch in diameter and 4 feet long have been found or set at all points marked on the plat with a solid dot, and iron pins 5/8-inch in diameter and 3 feet long have been found or set at all other lot corners.

Given under my hand and Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Lee S. Sprecher  
Illinois Professional Land Surveyor No. 3436  
Arc Design Resources, Inc.  
5291 Zenith Parkway  
Loves Park, IL 61111  
(815) 484-4300

My current license expires: \_\_\_\_\_



### COUNTY CLERK CERTIFICATION

STATE OF ILLINOIS )  
COUNTY OF WILL ) S.S.

I, \_\_\_\_\_ County Clerk of \_\_\_\_\_ County, Illinois, do hereby certify that there are no delinquent general taxes, or unpaid current general taxes against any of the estate described in the foregoing certificates.

Given under my hand and seal at \_\_\_\_\_, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 2023, A.D.

County Clerk

### COUNTY RECORDER CERTIFICATION

STATE OF ILLINOIS )  
COUNTY OF WILL ) S.S.

This instrument No. \_\_\_\_\_ was filed for record in the recorder's office of \_\_\_\_\_ County, Illinois, aforesaid on the \_\_\_\_\_ day of \_\_\_\_\_, 2023, A.D. at \_\_\_\_\_ o'clock \_\_\_\_\_ M.

County Recorder

### PLANNING AND ZONING COMMISSION APPROVAL

STATE OF ILLINOIS )  
COUNTY OF WILL ) S.S.

I, \_\_\_\_\_, Chairman of the Village of Frankfort Planning and Zoning Commission, do certify that on this \_\_\_\_\_ day of \_\_\_\_\_, 2023, A.D. this plat of subdivision was duly approved by the Planning and Zoning Commission of the Village of Frankfort.

Attest: \_\_\_\_\_  
Chairman

By: \_\_\_\_\_

### TAX MAPPING AND PLATTING CERTIFICATION

STATE OF ILLINOIS )  
COUNTY OF WILL ) S.S.

I, \_\_\_\_\_, Director of the Tax Mapping and Platting Office, do hereby certify that I have checked the property described on this Plat against available county records and find said description to be true and correct. The property hereon described is located on Tax Map No. \_\_\_\_\_ and identified as Permanent Real Estate Tax Index Number (PIN): \_\_\_\_\_

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Director

### VILLAGE BOARD APPROVAL

STATE OF ILLINOIS )  
COUNTY OF WILL ) S.S.

Approved by the President and the Board of Trustees of the Village of Frankfort, \_\_\_\_\_ County, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 2023, A.D.

By: \_\_\_\_\_  
Village President

Attest: \_\_\_\_\_  
Village Clerk

### EASEMENT PROVISIONS

#### Public Utility and Drainage Easements

All easements indicated as public utility and drainage easements on the plat are reserved for and granted to the Village of Frankfort and to those public utility companies operating under franchise from the Village of Frankfort, including, but not limited to, Ameritech Telephone Company, Nicor Gas Company, Commonwealth Edison Electric Company, Comcast Television Company and their successors and assigns, for perpetual right, privilege and authority to construct, reconstruct, repair, inspect, maintain and operate various utilities, transmission and distribution systems including storm and/or sanitary sewers, water mains, valve vaults, and hydrants together with any and all necessary manholes, catch basins, connections, appliances and other structures and appurtenances as may be deemed necessary by said Village of Frankfort, over, upon, along, under, through said indicated easement, together with right of access across property for necessary men and equipment to do any of the above work. The right is also granted to cut down, trim, or remove trees, shrubs, or other plants on the easement that interfere with the operation of the sewers and other utilities. No permanent buildings, trees or other structures shall interfere with the aforesaid uses or rights. Where an easement is used for both sewer and/or water mains and other utilities, the other utility installations are subject to the ordinances of the Village of Frankfort.

The placement of any landscaping not in with the approved landscape plan or grading plan for a given property, or any accessory building or structure, swimming pool, fence or other improvement which in any way could cause an impediment to the overland flow of storm water within said drainage easement is hereby prohibited.

#### Surface Overland Flow Easement

All easements indicated as "SURFACE OVERLAND FLOW EASEMENT" on this plat are reserved for and granted to the Village of Frankfort. No buildings, other structures or landscaping shall be erected or maintained in the SURFACE OVERLAND FLOW EASEMENT areas that would adversely affect the free flow of storm water. Each owner or subsequent purchaser shall be equally responsible for maintaining the SURFACE OVERLAND FLOW EASEMENT areas and shall not destroy or modify grades or slopes without having first received prior written approval of the Village of Frankfort. In the event any owner or subsequent purchaser fails to properly maintain the SURFACE OVERLAND FLOW EASEMENT areas, the Village of Frankfort or any other unit of local government having jurisdiction over drainage, shall have the right to perform, or have performed on its behalf, any maintenance work to or upon the SURFACE OVERLAND FLOW EASEMENT and reasonably necessary to insure proper flow of storm water and charge the owner or subsequent purchaser for the maintenance work performed.

#### Detention Easement

All easements indicated as detention easements on this plat are reserved for and granted to the Village of Frankfort and to their successors and assigns. No buildings or structures shall be placed on said easement, but the easement may be used for other purposes that do not adversely affect the storage/free flow of storm water. Each owner or subsequent purchaser shall be equally responsible for maintaining the detention easement and shall not destroy or modify grades, slopes or approved landscaping without having first received prior written approval from the Village of Frankfort.

In the event any owner or subsequent purchaser fails to properly maintain the detention easements, the Village of Frankfort shall have the right, but not the obligation, to perform, or have performed on its behalf, any maintenance work to or upon the water detention area reasonably necessary to insure adequate stormwater storage and free flow of stormwater through the detention easement area.

In the event the Village of Frankfort shall be required to perform, or have performed on its behalf, any maintenance work to or upon the water detention area easement, the cost together with an additional sum of ten percent (10%) of said cost completion of the work constitutes a lien against any lot or lots created by this Plat which may require maintenance. The lien may be foreclosed by an action brought by or on behalf of the Village of Frankfort.

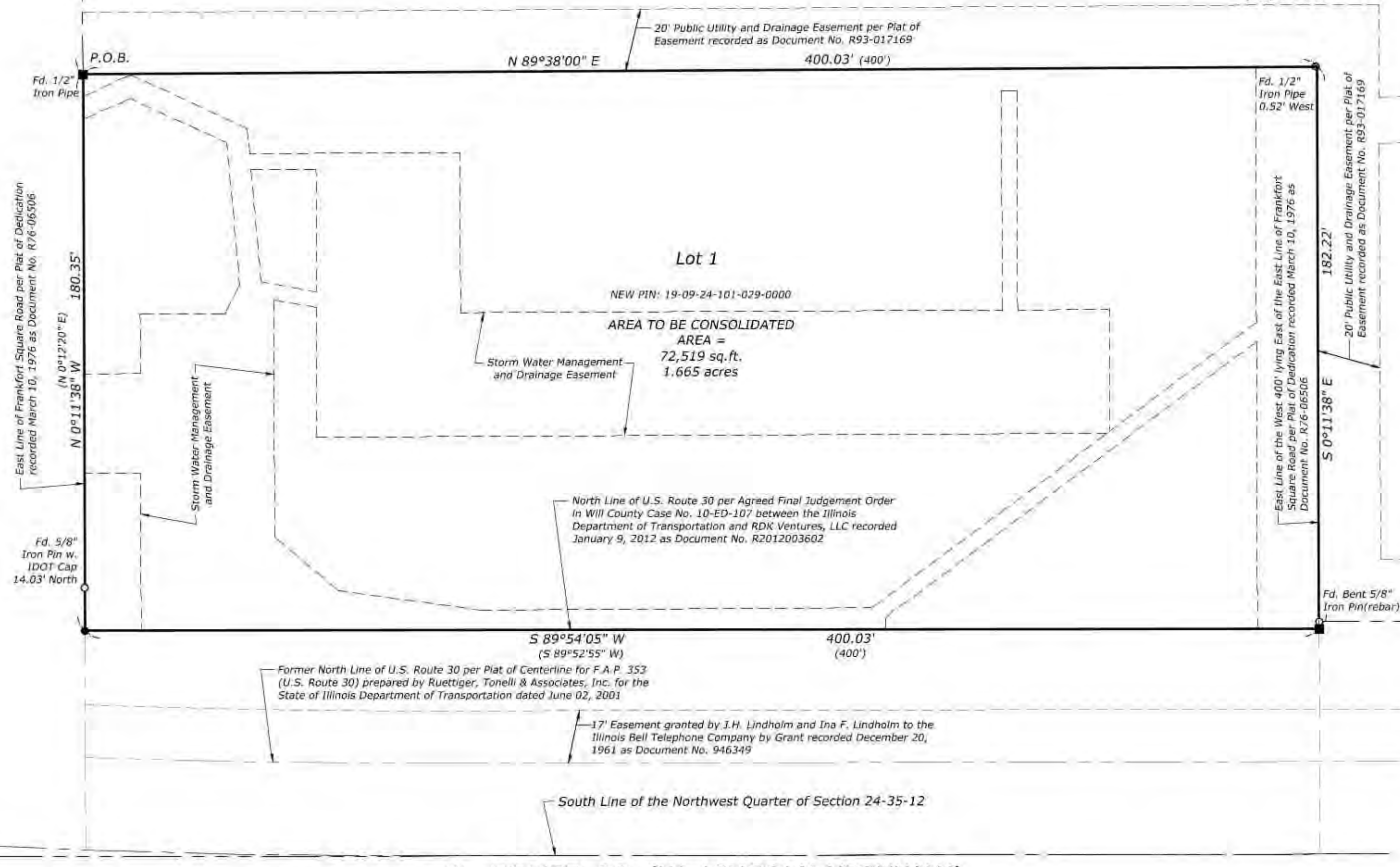
### DEPARTMENT OF TRANSPORTATION CERTIFICATION

This plat has been approved by the Illinois Department of Transportation with respect to roadway access pursuant to 765 ILCS 205/2, as amended. A plan that meets the requirements contained in the Departments "Policy on Permits for Access Driveways to State Highways" will be required by the Department.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Region One Engineer

S. FRANKFORT SQUARE ROAD



IL ROUTE 30 (W. LINCOLN HIGHWAY)  
(Right-of-Way Varies)



Approved: (4-0)

Mike Schwarz noted that the building would need to comply with the Americans with Disabilities Act's requirement for handicapped spaces. The site required two additional handicapped spaces, which would take away from the 79 parking spaces on-site currently.

**Motion (#19):** Recommend the Village Board approve a Special Use Permit for Indoor Recreation for an indoor children's play facility located at 9500 W. Lincoln Highway, Suites 5, 6, and 7, in accordance with the submitted plans, public testimony, and Findings of Fact.

Motion by: James

Seconded by: Schaeffer

Approved: (4-0)

#### **E. Workshop: 7654 W. Lincoln Highway – Circle K Redevelopment**

Mike Schwarz gave the staff report.

The consultant and project architect for the applicant, Ryan Swanson, approached the stand. He explained that overall, he and his team believed that the proposed development was a vast improvement from what was currently on the site. Reducing the number of driveways on the site would be a big improvement. The site needs upgrades, and as it stands currently, nearly everything on the property is in part, a sign for the business. Lighting and storm water improvements would be brought up to code. Circle K was happy with the proposal before the Plan Commission. Personally, Mr. Swanson was also happy with the improvements. The setback variations requested were necessary to redevelop the site. The Illinois Department of Transportation (IDOT) took some land from the property to expand the right-of-way for Lincoln Highway, which has impacted how the site could be redeveloped. He clarified that the area of the sign which was taken up by LED changeable type, which would show up-to-date fuel prices, would only be 21% of the total area of the sign, not 50%. That could eliminate one of the requests made at a future public hearing. He believed that the logos were reasonably sized. He also wanted to ensure that passers-by would be able to read the prices on the sign. The LED area could be reduced if the Plan Commission deemed it necessary, but was reasonably sized in his opinion. Mr. Swanson stated he was willing to work with the Plan Commission, but asked them to first consider the proposal in front of them. In regard to the lighting on the canopy, he understood why the Plan Commission may ask for it to be removed. There were many Circle K stations which were partnered with Shell, and the lighted canopy was a part of the Shell branding. He stated he had no additional comments on the landscaping, since he and staff had been working together to meet the requirements of the Landscape Ordinance. He also added that in the next set of plans, the material around the base of the convenience store would be upgraded to stone on all sides of the building. The support columns under the canopy and the trash enclosure would also be constructed of the same material. He was happy to answer the Plan Commission's questions.

Chair Rigoni asked if the fuel storage tanks would stay in the same location.



The consultant responded that they would all be removed and replaced with brand new tanks.

Chair Rigoni asked if the other members of the Plan Commission had any comments on zoning.

Commissioner Knieriem stated that the rezoning makes sense since it would allow the current use to remain.

The other members of the Plan Commission agreed with this comment.

Chair Rigoni asked if there were any comments on the proposed special uses, including fuel stations, liquor sales, and hours of operation.

Commissioner James remarked that the uses listed by Chair Rigoni were already a part of the operation of the business. Based on what the Comprehensive Plan called for at that location, those uses seemed appropriate.

Commissioner Knieriem asked if liquor was sold at the convenience store currently.

The consultant responded that it was. He asked if the gas station located near the intersection of Lincoln Highway and Harlem Avenue was within the limits of the Village of Frankfort.

Staff responded it was not.

The consultant clarified that the gas station at that location was their main competitor.

Chair Rigoni asked if the property was under new ownership.

The consultant stated that it was not.

Chair Rigoni said she hoped the owners would maintain a new building better than they had the current building. She was concerned that the applicant had so many requests while not offering much in return.

Commissioner Knieriem asked if there would be a car wash on site as part of the redevelopment.

The consultant responded that there would not be a car wash.

Commissioner Knieriem asked why that was the case.

The consultant said that the main consideration was that they could not fit one on the site, given the need for on-site storm water detention.

Commissioner Knieriem asked how many detention areas were proposed.

The consultant said there would be two.

Commissioner Schaeffer asked if there was on-site detention currently.



The consultant said there was.

Chair Rigoni turned the conversation toward the proposed liquor sales and 24-hour convenience store. She asked if the store currently operated 24 hours a day.

The consultant said it did.

Chair Rigoni asked staff what time the store was required to stop selling liquor.

Staff responded that the regulations could be found in the staff report. In addition, the regulations on when alcohol sales had to end were similar between Will County and the Village of Frankfort, but that the Village had more restrictive regulations. It was staff's understanding that the applicant would be seeking a Class F-3 liquor license, which authorized the sale of alcohol in its original packaging, with unbroken seals, and which was to be consumed off-site. Such stores were also required to be less than 5,000 square feet in area, and no more than 10% of the store's floor area could be dedicated to the sale of alcohol.

Chair Rigoni asked if liquor sales had to cease at 1:00 AM in the Village.

Commissioner James responded that the regulation appeared to say liquor sales would cease at 1:00 AM on weeknights, or 2:00 AM on weekends.

Staff noted that no liquor could be sold after 1:00 AM but the Village's Code contains language that allows the Liquor Control Commissioner to further reasonably restrict liquor sales hours.

Chair Rigoni stated she was trying to understand that while the overall convenience store was open 24 hours a day, liquor sales were not. She wanted to know what time liquor sales had to end, since nothing good happened at or after 2:00 AM. She also stated that it would be good for the applicant to meet code in this regard.

Staff responded that the applicant would have to meet Village Code.

Chair Rigoni stated she would like to have that information available for the next meeting. She asked if any other members of the Plan Commission had any other comments on the proposed special uses.

There were none.

She asked if there were any comments on the variation requests.

There were none.

Chair Rigoni asked staff to confirm that the applicant was still asking for a reduction in the required plant material in the landscaped front yard.

Staff confirmed that was still the case. The landscaped front yard was only 3.8 feet wide, which was not enough space to plant much landscaping.



Chair Rigoni asked the applicant if they attempted to plant the required uses elsewhere on the site.

The consultant said they did, and that the main issue was how narrow the front yard was.

Staff noted that they asked the applicant to relocate the air and vacuum pumps closer to the building to free up space for more plant materials.

The consultant clarified that the area of the plans which showed the location of the air and vacuum pump was in actuality the location of the emergency shutoff controls, which needed to remain in place to comply with safety regulations.

Chair Rigoni asked if the other members of the Plan Commission had any questions or comments on the other requested variations.

Commissioner Schaeffer asked where the setbacks were measured from.

Staff clarified that the front yard setback would be measured from the centerline of the right-of-way for Lincoln Highway. The face of the proposed canopy would be set back 111.6 feet, which was less than the 150 feet required by the Zoning Ordinance.

The consultant added that the existing canopy encroached much more into the 150-foot setback, so that the proposed canopy was closer to compliance than what was there today.

Chair Rigoni asked if there was a visual representation of what area was taken by IDOT for expanded right-of-way.

The consultant responded that it could be seen on the submitted plat.

The document in question was projected on the screen.

Chair Rigoni asked how much of the front yard was taken by IDOT and whether the applicant would have met the 25-foot landscaped front yard requirement if that area was not taken in the first place. She said such information would be helpful in making a decision on the variance request. She also noted that the parcels to the east and south had some established landscaping.

The consultant explained that there was some existing landscaping in the right-of-way which would remain. He agreed that what area was lost to the right-of-way taking could have been depicted better on the submitted documents, but that he believed the total front yard prior to the taking was approximately 30 feet.

Chair Rigoni stated that the Plan Commission had granted variances for landscaped front yards for properties which had land taken for right-of-way in the past. She wanted to know what could have been done in a scenario where the right-of-way was not taken, since reducing the requirement from 25 feet to 3.8 feet was a large reduction.

The consultant explained that the driveways had already been narrowed as much as possible, and that the request for a reduced landscaped front yard was critical to moving forward with the proposed development.



Chair Rigoni said that the best thing to do would be to get the requested information to the Plan Commission for the next meeting. She asked if the other members of the Plan Commission had any comments on the other variances.

Commissioner Knieriem said he knew that the narrow lot shape was a hinderance, and that he believed the applicant was doing the best they could given that limitation. He added that the proposed redevelopment would be better than what was currently on the site.

Commissioner Schaeffer added that it was hard to move around that location in a vehicle.

The consultant stated that he and his team had looked at orienting the building to face Frankfort Square Road, but found that it was not feasible for them.

Chair Rigoni agreed, and stated that she would like to have the additional information on the front yard to help make a case for granting the variance for the reduction in the front yard and so the Plan Commission could make an informed decision.

The consultant stated that the property would definitely meet the 25-foot landscaped front yard requirement if the right-of-way taking had not occurred.

Chair Rigoni asked if any members of the Plan Commission had any comments on the request for a variance in the rear yard setback requirement.

The Plan Commission agreed they had no issues with the request.

Chair Rigoni asked if there were any questions about the proposed signage.

Commissioner Knieriem noted that the night and day views submitted by the applicant had different proportions of LED, changeable type area.

The consultant responded that he could look into that discrepancy.

Commissioner Knieriem added that he could see the LED portion of the sign taking up only 22% of the total sign area on the night rendering, but not on the day rendering. The day rendering looked larger than 22%.

The consultant explained that the proposed sign would have two LED portions, and each would be five square feet in area. That was approximately 21% of the total sign area. The first proposal for the LED areas were three feet by four feet, which was an error. In addition, he was requesting a sign that was eight feet tall as opposed to seven feet which was required by code.

Commissioner James asked the applicant to reduce the height of the proposed sign to meet Village requirements.

The other members of the Plan Commission agreed with Commissioner James' request.

Chair Rigoni asked what the other members of the Plan Commission wished to discuss next.



Commissioner Knieriem suggested they speak about the red banding shown on the proposed canopy.

Chair Rigoni said she thought that the banding was included in the signage discussion, but agreed that it should be discussed.

Commissioner Schaeffer recalled that the proposed colors on the canopy were considered a part of the branding for Shell and Circle K. She asked if the lighted banding around the canopy was also considered part of the branding.

The consultant confirmed that it was.

Commissioner Schaeffer explained that if that was the case, the banding would be considered a sign, and the proposed lighting was not allowed.

The consultant stated he understood.

Commissioner Schaeffer asked the consultant if he would be willing to change the design to meet the Sign Ordinance.

The consultant responded that his client would take issue with having to remove the coloring. The light was preferred, but could be removed from the proposed plans if needed. The consultant's clients had asked him to try and get approval for the lighting.

Commissioner Knieriem noted that there were examples of unlit canopies for Shell and Circle K in the area. Having a visual example of how the unlit canopies looked would be helpful for the Plan Commission when making a decision. He added that the Plan Commission was looking to avoid a design that incorporated lighting which looked tacky or too bright. They would like to see a design which matched the character of the town.

The consultant said he had seen some examples of unlit canopies. He noted that in the proposed design, there was some internal lighting, but much of the illumination came from the banding on the edge of the canopy. He said he could bring in examples as requested, since there were some which still looked good from a branding standpoint.

Commissioner Knieriem asked the consultant to bring photo examples of unlit canopies to the next meeting with the Plan Commission.

Chair Rigoni agreed, and asked that the example photos be taken from nearby examples. She asked the other members of the Plan Commission if they had any other comments on the proposed signage.

There were none.

Chair Rigoni noted that there was not much landscaping along the north and east sides of the property. She asked the consultant to try and add more landscaping to those sides of the property to make up for the lack of landscaping along the south end of the property.

Commissioner James added that there would also be residents of Frankfort Square who would look at the north side of the building, he asked that the consultant consider those residents as well.



The consultant indicated he would.

Chair Rigoni asked if there were any other comments from her fellow Commissioners.

Commissioner Knieriem asked when the applicant was hoping to begin construction.

The consultant said that they had been in contact with IDOT, and they had no issue with the redevelopment. The consultant was hoping to get all the required permits by the end of the year and begin construction in the spring.

Chair Rigoni asked staff if there was anything else the Plan Commission should discuss.

Staff asked if the members of the Plan Commission had any issues with the composite materials proposed.

Chair Rigoni said she was comfortable with the materials. She asked the applicant if they were going to install masonry on the canopy support columns.

The applicant said they would.

Staff added that the proposed materials on the trash enclosure should match the stone on the building as well.

Commissioner Schaeffer acknowledged that the consultant had suggested stone on certain portions of the building, and asked if any more would be added. She was unsure if there was any opportunity to add more.

Staff noted that they had suggested the consultant add stone to the tower elements on the proposed convenience store. However, such changes would require more discussion. Staff reiterated that the proposed building as shown on the submitted plans was better than the existing building.

Commissioner Schaeffer asked what was meant about adding stone to the proposed columns. She was unclear whether the columns being referred to were the support columns under the canopy or architectural features on the proposed convenience store.

Staff clarified that they were referring to the canopy support columns.

Chair Rigoni also noted some stone would be added to the corner elements on the proposed convenience store.

The consultant said they would look into adding stone to the corner elements as well.

Chair Rigoni added that stone could help make the building look less flat. She asked staff if there was anything else the Plan Commission needed to discuss.

Staff said there was not. Robinson Engineering was currently reviewing the submitted engineering plans, which may require revisions. Staff also noted that there was no crosswalk connecting the site across Lincoln Highway running north to south, but that there was a crosswalk running east to west across Frankfort Square Road. The consultant indicated that they intend to remove the utility poles located on their property and bury



the overhead utility lines. The existing utility poles which are located in the public right-of-way would remain.

The consultant stated that they had agreed to that, but the availability of transformers would impact the timing.

There was a brief break starting at 9:28 PM.

#### **F. Workshop: 7 N. White Street – Integrus Development Multi-Tenant Commercial Building**

The meeting resumed at 9:34 PM.

Chris Gruba gave the staff report.

Jim Olguin, attorney for the applicant, approached the stand. He introduced the applicant, Dan Elliot and the architect, Jason Nuttleman. He gave a brief overview of the proposal, stating that the applicant was looking to develop a portion of a Village-owned parking lot. They were looking for just enough land for the building itself. From the beginning of the project, the applicant sought to work with the Village. As a resident, the applicant was looking to build something residents could be proud of. He noted that the project was brought before the Historic Preservation Commission the week prior, on October 19<sup>th</sup>. Based on the feedback the applicant received at that meeting, there would be some changes made to the proposed exterior. The renderings submitted were the same as those seen by the Historic Preservation Commission, and would be changed for the next meeting. The architect would be able to provide more detail.

The applicant, Dan Elliot, approached the stand. He explained he wanted to build something everyone in Frankfort would be proud of. He wanted to see the downtown area continue to grow, and felt that he could contribute to that growth. He wanted to work collaboratively with the Village to design a building everyone could appreciate and enjoy.

The attorney clarified a couple of points raised in the staff report. The rear doors on the proposed building would mainly be used by employees and for deliveries. The outdoor seating along White Street would be minor, and that most of the outdoor seating would be along the south side of the building.

Jason Nuttleman, the architect, approached the stand. He expressed his excitement for what the proposed project would become. He noted that the trail was a unique benefit to the site, as was the proximity to the downtown. As the attorney had mentioned, the team had met with the Historic Preservation Commission and received great feedback from them. One of the changes they requested related to the color palette, and they were looking into that. They had no issues with the massing of the building, but there were some concerns with the modern look of the proposed design, especially along the south, which they were also looking into. There were also some comments on the size of the windows, which all currently went down to grade, which would allow the applicant to vary the size of tenant spaces depending on tenant needs. Other comments they received from the Historic Preservation Commission were that the proposed steel canopies felt too modern, and the metal roof was not a preferred material. Another meeting with the





Application for Plan Commission / Zoning Board of Appeals Review  
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
  
  
  
  
  
  
  
  
  
  
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
  
  
  
  
  
  
  
  
  
  
3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
  
  
  
  
  
  
  
  
  
  
4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.



5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.





Application for Plan Commission / Zoning Board of Appeals Review  
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
  
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
  
3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
  
4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.



5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.





Application for Plan Commission / Zoning Board of Appeals Review  
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
  
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
  
3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
  
4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.



5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.





Application for Plan Commission / Zoning Board of Appeals Review  
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
  
2. That the plight of the owner is due to unique circumstances; and
  
3. That the variation, if granted, will not alter the essential character of the locality.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;



2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
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7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.





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Application for Plan Commission / Zoning Board of Appeals Review  
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Application for Plan Commission / Zoning Board of Appeals Review  
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Application for Plan Commission / Zoning Board of Appeals Review  
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7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.



**Project:** Raimondi Residence Inground Pool

**Meeting Type:** Workshop

**Request(s):** Request for a variation from Article 5, Section D, Part 2(a)(1) and Article 6, Section B, Part 1 of the Village of Frankfort Zoning Ordinance to reduce the minimum required corner side yard from 30 feet to 14 feet for a proposed inground pool in the R-2 Single-Family Residential District

**Location:** 742 Franklin Avenue

**Applicant:** Stephen Raimondi

**Prop. Owner(s):** Stephen and Catherine Raimondi

**Consultants:** None

**Representative:** None

**Report By:** Michael J. Schwarz, AICP

### Site Details

**Lot Size:** ±0.68 acres / ±29,458 sq. ft.

**PIN(s):** 19-09-21-303-001-0000

**Existing Zoning:** R-2

**Prop. Zoning:** N/A

**Building(s) / Lot(s):** 1 buildings / 1 lot

**Adjacent Land Use Summary:**

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>North</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>South</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>East</b>	Single-family Residential	Single-Family Detached Residential	R-2
<b>West</b>	Park	Public Institutional/Utility	E-R

Figure 1: Location Map



### Project Summary

The applicant, Stephen Raimondi, is seeking to install an inground pool within the required corner side yard on the subject property located at 742 Franklin Avenue. The applicant is requesting a variation from Article 5, Section D, Part 2(a)(1) and Article 6, Section B, Part 1 of the Village of Frankfort Zoning Ordinance to reduce the minimum required corner side yard from 30 feet to 14 feet for a proposed inground pool in the R-2 Single-Family Residential District.

### Attachments

- Applicant Findings for Variation Standards
- 2020 Aerial Photograph from Will County GIS
- Photographs from site visit on 5-5-23
- Plat of Survey with proposed inground pool location
- Swimming pool provisions from the Zoning Ordinance



## Analysis

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In consideration of the requests, staff offers the following points of discussion:

1. The proposed inground pool (water portion only) is 16 feet wide by 32 feet in length (512 square feet). Considered part of the pool, an aluminum “surround” (decking) would also be constructed on each side. The surround would be 2 feet wide on the north, south and east sides and 8 feet wide on the west side. The overall pool dimensions with the included aluminum surround are 26 feet wide by 36 feet in length (936 square feet).
2. The definition of the term “Accessory Structure” under Section 12 of the Zoning Ordinance lists swimming pools, decks, terraces, and patios among other types of accessory structures.
3. Article 5, Section D, Part 5 of the Zoning Ordinance states the swimming pool provisions (refer to attached). Specifically, under Subpart d, Setback Requirements, *“All outdoor swimming pools are considered accessory structures, and shall meet minimum setback requirements, in addition thereto, shall be set back an additional two (2) feet for each one (1) foot of structure height exceeding five (5) feet. For the purpose of this section, the words “structure height” shall include any railings or other projections above the pool surface.”* In this case, the existing rear yard fencing will remain and there is no proposed additional fencing around the pool.
4. The proposed inground pool must comply with the required R-2 District minimum corner side yard setback of 30 feet along the Elsner Road lot line. The Plat of Survey reflects a required 25-foot setback along the Elsner Road lot line. However, that setback was recorded at the time of the subdivision recording in 1977.
5. Article 1, Section J, Part 1 of the Zoning Ordinance states *“Where any contradictory regulations, restrictions or requirements imposed by any provision of this Ordinance upon the use of land, building, structures or improvements are either more restrictive or less restrictive than restrictions or requirements imposed by any other provision of this Ordinance or any other law of any governmental body having jurisdiction over the subject matter thereof, those restrictions or requirements which are more restrictive shall govern.”* Therefore, the current R-2 District minimum corner side yard setback of 30 feet along Elsner Road would apply, as it is more restrictive than the 25-foot setback noted on the Plat of Survey.
6. Article 6, Section C, Part 1(c) of the Zoning Ordinance requires that all principal and accessory structures on all uses shall adhere to the bulk dimensions.
7. The applicant has submitted responses to the Standards for Variations (refer to attached).
8. The applicant does have the ability to shift the proposed inground pool to the east and comply with the R-2 District minimum corner side yard setback of 30 feet along the Elsner Road lot line; However, the applicant desires to maintain views of the yard.
9. The subject property contains a large stormwater detention easement at the rear of the lot, as well as an underground electric service line that runs diagonally across a portion of the buildable portion of the rear yard. Even with those constraints, according to the annotated Plat of Survey submitted by the applicant, there is approximately 19 feet between the eastern edge of the proposed pool deck and the underground electric service line. This distance would allow the pool to be shifted east to comply with the required R-2 District minimum corner side yard setback of 30 feet along the Elsner Road lot line. According to the Building Department, a minimum 5-foot separation is required between the water portion of the proposed inground pool and the existing underground electric service line.
10. Article 5, Section D, Part 5(c) of the Zoning Ordinance states the screening requirements for swimming pools. *“Screening. If the fencing provided is anything other than solid fencing, the pool shall be effectively screened from view from outside the lot by densely-planted compact trees or hedges, providing at least fifty percent opacity when viewed between two (2) feet and five (5) feet above ground.”* There is an existing row of mature shrubs along the east side of Elsner Road. However, it should be noted that these shrubs are located within the public right-of-way. Should the request for a variation be granted, the Plan Commission/Zoning Board of Appeals may wish to add a condition ensuring the perpetual provision of the required screening.

## Standards for Variations

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For reference during the workshop, Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request.



- a. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:
  1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
  2. That the plight of the owner is due to unique circumstances;
  3. That the variation, if granted, will not alter the essential character of the locality.
- b. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making this determination, whenever there are practical difficulties or particular hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:
  1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
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1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;  
If I place the pool in the location currently allowed it will block the view of the backyard. This will reduce the value of my property.
2. That the plight of the owner is due to unique circumstances; and  
Elsner road is an extremely busy street. Placing the pool in the current approved location will block the view from where our kids play in the back of the road. We need to see them from our patio.
3. That the variation, if granted, will not alter the essential character of the locality.  
I have screening all down Elsner. This will obstruct the view of the pool.  
My request of going 30' off the sidewalk is similar setbacks from where most property lines are, so visibly it should not negatively effect it and most passerby's wouldn't realize where my property line is.

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1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;  
As state above due to the back of my lot beting a detention area it is sloped down.  
The above ground pool will fully block us from seeing back there. Also due to it being a detention area I can place the pool toward the back of the lot.

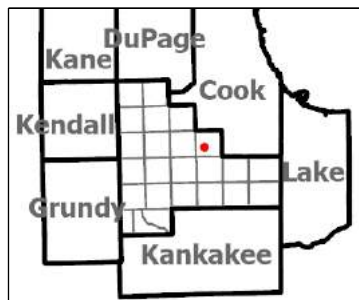


2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;  
Not sure how to answer this.
3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;  
That is not the case.
4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;  
That is not the case
5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;  
That is not the case. I have been continually investing in upgrading the property. My goal is to have a better looking property that will improve the entrance to our neighborhood.
6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or  
This will not be so.
7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.  
That will not be the case.





# 742 Franklin Avenue



## Legend

- Address Points
- Roadways
  - Federal
  - State
  - County
  - Local and Private
- Parcels
- Townships



## Notes

Date: 5/1/2023

1: 1,128



0 0.02 0.04 Miles

Projection

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

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## **Site Photos – 742 Franklin Avenue**



*Figure 1: View of 742 Franklin Avenue looking south along Elsner Road.*



*Figure 2: 742 View of 742 Franklin Avenue looking north along Elsner Road.*





*Figure 3: View of rear yard and fence line looking north.*



*Figure 4: View of proposed location of in-ground pool from public sidewalk on east side of Elsner Road looking east.*





*Figure 5: View of southwest corner of yard and tree line along creek from public sidewalk on east side of Elsner Road looking east.*



# PLAT OF SURVEY

LOT 27 IN BROOKSIDE  
SUBDIVISION, BEING A  
SUBDIVISION OF PART OF THE  
WEST ½ OF THE SOUTHWEST ¼ OF  
SECTION 21, TOWNSHIP 35 NORTH,  
RANGE 12, EAST OF THE THIRD  
PRINCIPAL MERIDIAN, ACCORDING  
TO THE PLAT THEREOF RECORDED  
MAY 23, 1977 AS DOCUMENT NO.  
R77-16794, AND CERTIFICATE OF  
CORRECTION RECORDED AUGUST 2,  
1977 AS DOCUMENT NO.  
R77-27545, IN WILL COUNTY,  
ILLINOIS.

NUMBER	RADIUS	ARC LENGTH
C1	543.00	85.29(R&M)

LEGEND:

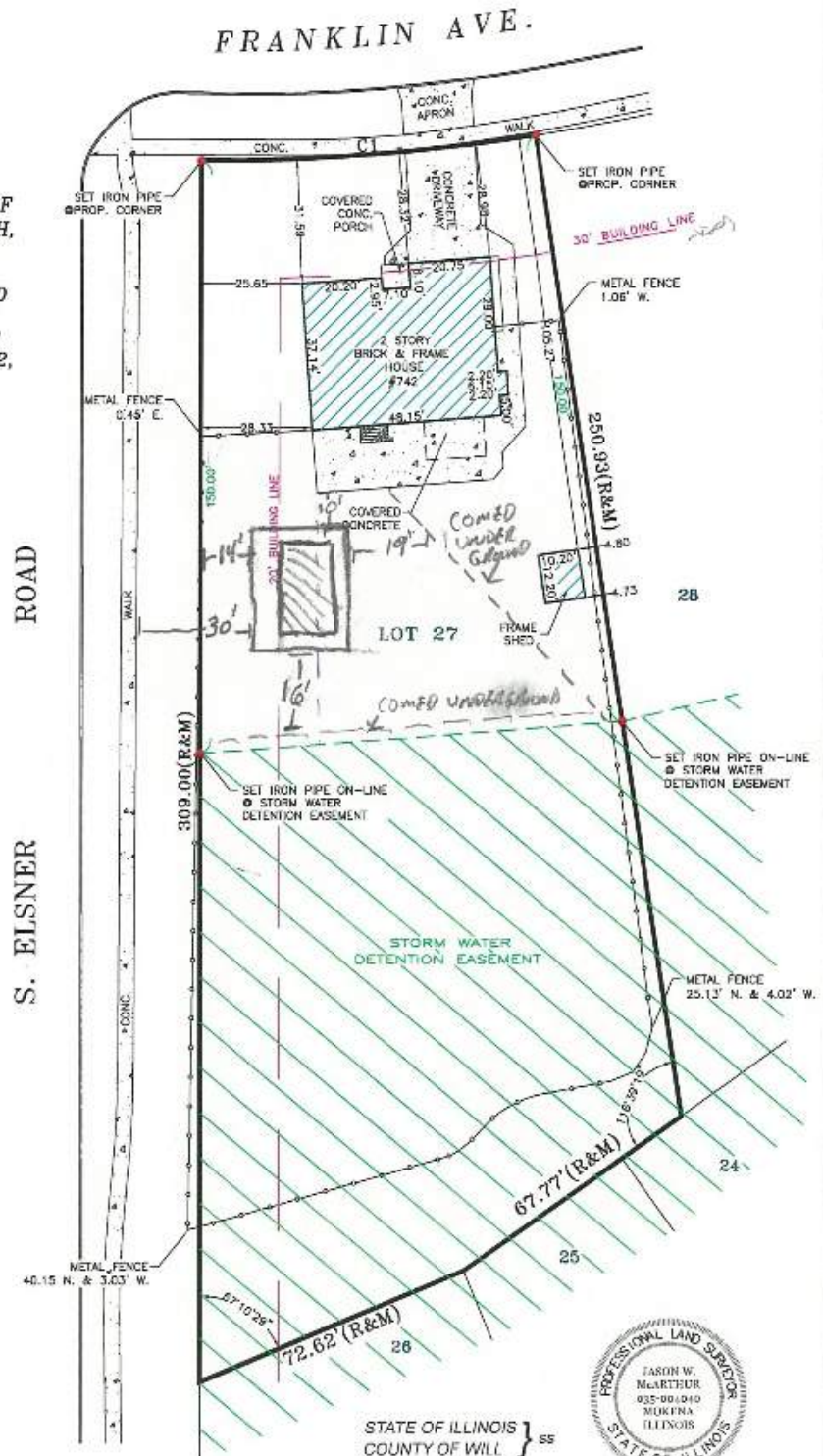
R= RECORD  
M= MEASURE  
—○—○—○— = METAL FENCE



Scale: 1" = 30 feet  
Distances are marked in feet and  
decimals thereof.  
Compare all points before building by  
same and at once report any difference.  
For building lines, restriction, or  
easements not show hereon, refer to  
abstract, deed or ordinance.

Ordered by: Steve Raimondi  
Order No.: 23-4-11  
Field work completed: 4/12/2023

NOTE:  
SOUTH CORNERS FALL IN  
DRAINAGE DITCH, NO  
MONUMENTS SET



STATE OF ILLINOIS }  
COUNTY OF WILL } SS



*Townline Surveying PLLC, an Illinois Land Surveying Corporation does hereby certify that this professional service conforms to the current Illinois standards for boundary survey.*

Mokena, IL April 14, 2023

by J. M. [Signature]  
License No. 4040 Expires 11/30/24



**Village of Frankfort Zoning Ordinance**  
**Article 5: Use Regulations**  
**Section D: Accessory Uses and Structures**

**Part 5: Swimming Pool Provisions**

- a. Fencing. Every outdoor swimming pool, whether above ground or level with the ground, having a maximum depth of over two (2) feet, shall be completely surrounded by a fence not less than four (4) feet, nor more than five (5) feet in height. A building, existing wall, or pool wall may be used as part of such enclosure as long as the barrier requirements are met as required by the building code. Such required fence shall comply with all requirements of other Village ordinances pertaining to fences, and the provisions of this Section shall not be construed to require or permit any fence heights greater than permitted by such other ordinances. (Am. Ord. 1887, passed 04.15.02) (Am. Ord. 2230, passed 10.17.05)
- b. Gates or Doors. All gates or doors opening through the required fence shall be designed for security, in accordance with the Building Code of the Village of Frankfort.
- c. Screening. If the fencing provided is anything other than solid fencing, the pool shall be effectively screened from view from outside the lot by densely-planted compact trees or hedges, providing at least fifty percent opacity when viewed between two (2) feet and five (5) feet above ground.
- d. Setback Requirements. All outdoor swimming pools are considered accessory structures, and shall meet minimum setback requirements, in addition thereto, shall be set back an additional two (2) feet for each one (1) foot of structure height exceeding five (5) feet. For the purpose of this section, the words "structure height" shall include any railings or other projections above the pool surface.
- e. Water Discharge. The water discharged from a swimming pool shall be drained into the sanitary sewer or storm water system, as approved by the Village.