



## PLAN COMMISSION / ZONING BOARD OF APPEALS AGENDA

Thursday, March 7, 2024  
6:30 P.M.

Frankfort Village Hall  
432 W. Nebraska Street (Board Room)

---

1. **Call to Order**
2. **Roll Call**
3. **Approval of Minutes of February 22, 2024**
4. **Public Hearing: 219 Pacific – Lanigan Residence (Ref#106)**  
Requests: Zoning Ordinance & Land Subdivision Regulations variations to permit use of non-masonry siding on first floor of a single-family home, reduced front yard Setback (Maple Street) from 30' to 22.6', reduced corner side yard setback (Pacific Street Street) from 30' to 24.9', increased maximum lot coverage from 20% to 28.9%, reduced lot width from 120' to 101.28' and reduced lot depth from 150' to 147.31', for the property located in the R-2 Single Family Residential District located at 219 Pacific Street. Other: Preliminary and Final Plat of Subdivision to establish a lot-of-record. (PIN: 19-09-28-223-0000)
5. **Public Hearing: 20857 and 20859 S. La Grange Road – Bear Down Barbecue (Ref#107)**  
Request: Special Use Permit for a full-service restaurant with liquor sales, for Bear Down Barbeque & Catering Company, located at 20857 and 20859 S. La Grange Road in the B-2 Community Business District (PIN: 19-09-22-100-051-0000).
6. **Public Hearing: 19989 S. La Grange Road – Magic Massage (Ref#108)**  
Request: Special Use Permit for a massage therapy establishment at 19989 S. La Grange Road in B-3 the General Business District (19-0915-101-006-0000).
7. **Public Hearing: Lot B in Kean Avenue Estates – Blocker Residence (Ref#109)**  
Requests: Zoning Ordinance variations to (1) permit use of non-masonry siding on first floor and second floor of a single-family home, and (2) to permit the use of metallic roofing shingles on the primary structure, for the property located in the R-2 Single Family Residential District located on the west side of 95th Avenue, north of Lawndale Court (PIN: 19-09-22-300-025-0000)
8. **Workshop: 9426 Corsair Road – Triple Crown Training**  
Future Public Hearing Request: Special Use Permit for indoor recreation for a baseball training facility at 9426 Corsair Road in the I-1 Limited Industrial District (PINs: 19-09-34-302-013-0000).
9. **Public Comments**
10. **Village Board & Committee Updates**
11. **Other Business**
12. **Attendance Confirmation (March 21, 2024)**
13. **Adjournment**

---

All applicants are advised to be present when the meeting is called to order. Agenda items are generally reviewed in the order shown on the agenda, however, the Plan Commission/Zoning Board of Appeals reserves the right to amend the agenda and consider

items in a different order. The Commission may adjourn its meeting to another day prior to consideration of all agenda items. All persons interested in providing public testimony are encouraged to do so. If you wish to provide public testimony, please come forward to the podium and state your name for the record and address your comments and questions to the Chairperson.

In compliance with the Americans with Disabilities Act and other applicable Federal and State laws, the meeting will be accessible to individuals with disabilities. Persons requiring auxiliary aids and/or services should contact the Community Development Department at (815) 469-2177, preferably no later than five days before the meeting.





## MINUTES

### MEETING OF VILLAGE OF FRANKFORT PLAN COMMISSION / ZONING BOARD OF APPEALS

February 22, 2024 –VILLAGE ADMINISTRATION BUILDING

432 W. NEBRASKA STREET

**Call to Order:** Chair Schaeffer called the meeting to order at 6:30 PM

**Commissioners Present:** Nichole Schaeffer (Chair), Brian James, Johnny Morris, Jessica Jakubowski, Will Markunas, David Hogan, Dan Knieriem

**Commissioners Absent:** None

**Staff Present:** Community & Economic Development Director Mike Schwarz,  
Planner Amanda Martinez

**Elected Officials Present:** None

#### A. Approval of the Minutes from February 8<sup>th</sup>, 2024

Chair Schaeffer asked for questions or comments regarding the minutes. There were none.

**Motion (#1):** To approve the minutes from February 8<sup>th</sup>, 2024, as presented.

Motion by: Hogan

Seconded by: Knieriem

Approved: (6-0-1, Jakubowski abstained)

#### B. Workshop: 145 Industry Avenue – All Purpose Storage

Amanda Martinez presented the staff report.

Jared Gingrich, PE, the civil engineering consultant for the applicant approached the podium. He mentioned that they started this project in 2021. He explained the grading and drainage challenges for the site, which necessitate the need for the retaining wall.

Tim Wilkins, the applicant, approached the podium.

Chair Schaeffer asked if there were any initial questions or comments from the other commission members.

Commissioner Hogan asked if the proposed self-storage would be all indoors and if there would be any outdoor storage. He also asked if the units will be climate controlled.

Tim Wilkins replied that all storage will be indoors and would not be climate controlled. Storage Express will manage the site.

Commissioner Hogan asked if they plan to re-pave the existing site.

Tim Wilkins replied yes that they recently completed paving the existing site a few months ago. He added that they have already done more than \$1M in improvements to the property thus far.

Commissioner Morris asked if the existing site will be fenced.

Tim Wilkins replied yes. He added that this site will have about 32 security cameras.

Commissioner Morris asked about landscaping phasing.

Tim Wilkins replied that they would do the whole project at one time.

Commissioner James asked if they would consider adding landscaping along the frontage of the existing site.

Tim Wilkins replied yes, they would be willing to do that.

Commissioner Jakubowski stated that she did not have any initial questions.

Commissioner Knieriem started that he did not have any initial questions.

Commissioner Knieriem asked about the improvements to the existing site.

Tim Wilkins replied that they just finished some of the improvements, including pavement repairs and painting the existing buildings.

Commissioner Knieriem asked who is renting these units in terms of the typical customer.

Tim Wilkins replied that their data indicates that there is a mix of customers based on need. Some customers are individuals, and some are companies or professionals that need to store records.

Commissioner Knieriem asked when the existing self-storage buildings were built.

Tim Wilkins replied that he estimated that these were built in the 1980s or 1990s.

Commissioner Knieriem asked why they looked at Frankfort.

Tim Wilkins replied that their studies for Frankfort indicated that there are 4.3 square feet of storage needed per capita.

Chair Schaeffer asked for more information on the future Special Use Permit request for retail that staff noted in the staff report.

Commissioner Knieriem asked what tasks the employee would perform at the facility.

Tim Wilkins stated that the employee would sell boxes, packing tape, and other items, etc. in the small office space.

Commissioner Knieriem asked if any units would have power.

Tim Wilkins replied no, not on the inside of the units. He added that any such power inside the units could attract people wanting to live in the units, which does happen from time to time. He added that the exterior building lights are fully cut-off, meaning that no light pollution would occur on the adjacent properties.

Commissioner Knieriem noticed that the building site drops off to the east.

Jared Gingrich stated that they need to raise the property so it can drain toward the road where the detention pond would be located. The pond would then drain back to the east via pipes and an overland flow route if necessary.

Commissioner Knieriem asked for more information about the detention pond.

Jared Gingrich replied that there is a continuous flow to the pond.

Commissioner Knieriem asked if the proposed buildings would be constructed as slab on grade.

Tim Wilkins replied yes.

Chair Schaeffer suggested that if there were no additional initial questions for the applicant or project engineer, the commission could discuss the topics that are presented in the staff report one by one.

Chair Schaeffer asked the other commission members if there were any issues with the proposed use.

There was consensus that the proposed self-storage use is fine.

Commissioner Knieriem asked if they also own the storage facility by Navarro Farm. He also asked if there would be an employee residing on site.

Tim Wilkins replied no, they do not own that other facility. He added that there will not be a caretaker residence at the existing and proposed facility.

Chair Schaeffer asked staff about the request for the fence detail and gate.

Amanda Martinez stated that the applicant provided an example photo but no details and that the site plan should show the new fence and gate at the existing site.

Mike Schwarz stated that the applicant will need to submit a fence detail with the material and color noted.

Jared Gingrich stated that they plan to enclose the buildings with a consistent fence which would not be chain link material. He noted that there are existing chain link fences along the property lines that appear to belong to the adjacent property owners.

Chair Schaeffer asked staff about the variation for the parking.

Amanda Martinez replied that staff recommends that they show the parking stall locations on the site plan.

Chair Schaeffer asked the other commission members if there were any questions or comments regarding the required loading berth. There was consensus based on the nature of the use that no specific loading berth is necessary.

Chair Schaeffer asked the other commission members if there were any questions or comments regarding the trash enclosure requirement.

Jared Gingrich stated that they are considering several options, including possibly using one of the indoor storage units to contain one or more dumpsters.

Tim Wilkins stated that they typically use one unit as a maintenance unit where they could also place a dumpster.

There was a consensus that using a unit to store the dumpster would be most ideal, especially since it would deter patrons from leaving larger trash outdoors.

Chair Schaeffer asked the other commission members if there were any questions or comments regarding the proposed retaining wall.

Commissioner Knieriem stated that based on the site grading it seems strange that they are seeking to place the detention basin closer to the street when the site wants to naturally drain to the east.

Jared Gingrich explained that they did propose an earlier layout like that with staff but it would have required a request for a building setback variation from the 125-foot setback from the centerline of Center Road.

Commissioner James asked the applicant if there are two gates for the security fence.

Tim Wilkins replied yes. For the public hearing, they will show the two gate locations on the site plan along with the parking stall locations.

Jared Gingrich stated that the north gate would be automated. The south gate would be a crash gate. The existing access point on Industry Drive would have another gate.

There was some discussion about traffic demand.

Tim Wilkins stated this is a very low impact use.

Commissioner Jakobowski asked how customers would open the access gate(s).

Tim Wilkins replied that there would be a mobile phone app.

Commissioner Jakobowski asked why they are not doing climate control for the storage units.

Tim Wilkins replied that they love climate control, but it does not “pencil out” economically for their investment.

Chair Schaeffer asked if they are amenable to the landscaping comments from staff.

Jared Gingrich replied yes.

Tim Wilkins stated they will provide new landscaping along the existing frontage on Industry Avenue as well.

Commissioner Markunas suggested to keep the western frontage along Center Road with the most landscaping but maybe spread out the additional landscaping in the other areas of the site as previously discussed.

Chair Schaeffer asked staff if there is any issue with complying with the maximum impervious surface coverage.

Amanda Martinez replied no.

Chair Schaeffer asked the applicant if they are okay with paying the cash-in-lieu of constructing the required multi-use path along Center Road.

Tim Wilkins replied yes.

Chair Schaeffer asked the other commission members if there were any questions or comments regarding the proposed building architecture.

Commissioner James asked the applicant if he wanted the new self-storage buildings to match the existing self-storage buildings.

Tim Wilkins replied no.

Amanda Martinez asked the commission members if they are okay with the proposed faux stone panels on the western building.

There was consensus among the commission that this material was acceptable based on the type of use and zoning district.

Tim Wilkins stated the material is actually real stone cut thin and applied as a veneer. He stated that they can provide material samples.

Chair Schaeffer stated that the photometrics meet Village requirements. She asked the other commission members if there were any questions or comments regarding the proposed lighting. There were no comments from the commission.

Amanda Martinez reiterated that staff requested a decorative base for the proposed light poles.

Chair Schaeffer asked which light pole.

Amanda Martinez stated all nine free-standing light poles.

There was some discussion about the design of the light pole bases. Staff will work with the applicant on an appropriate decorative light pole base.

Chair Schaeffer asked staff about signage and whether or not it will comply with the Village requirements.

Amanda Martinez explained the staff comments on the proposed free-standing sign as the current proposal does not meet Village requirements.

Tim Wilkins stated that because Storage Express will manage the facility, they are going to completely change the sign that was provided in the agenda packet. They are fine with making the revisions to address staff comments.

Commissioner Markunas suggested that they work with staff on the signage comments.

Chair Schaeffer asked if goose neck lighting is proposed on the signage.

Tim Wilkins stated that he prefers ground lighting aimed upward at the sign as opposed to an internally illuminated sign.

Chair Schaeffer stated that is what the commission prefers.

Commissioner Morris asked what drives the business hours of operation.

Tim Wilkins replied that the local market drives the decision on opening and closing hours. He added that for this location, which is close to many other small businesses, including contractors, the earlier opening hours allow those individuals to stop by their storage unit early enough in the day to be at their job site.

Commissioner Morris asked about anticipated traffic to and from the facility.

Tim Wilkins replied that they will not have a lot of traffic.

Tim Wilkins stated that he prefers 5:00 a.m. to 9:00 p.m. hours of operation as opposed to 7:00 p.m. to 11:00 p.m.

Chair Schaeffer stated that she is comfortable with the Village's standard 11:00 p.m. closing time as the closing time for this type of use.

Commissioner Knieriem asked if the proposed hours are the gate locking hours.

Tim Wilkins replied yes.

Commissioner Morris asked if he was a customer who rented one of the units and he had to be there late, after the 11:00 closing hours, would he be able to get out.

Tim Wilkins replied yes, he would be able to exit through a gate in the security fence.

Chair Schaeffer asked the applicant and his project engineer if they are comfortable with the tasks presented through the workshop discussion.

Tim Wilkins and Jared Gingrich replied yes.

### **C. Public Comments**

There were no public comments.

### **D. Village Board & Committee Updates**

Mike Schwarz noted that the following projects were approved by the Village Board at its meeting on February 20, 2024:

- Text Amendment for accessory structures (with the sliding scale maximum size for an accessory structure changed from 1,000 square feet to 500 square feet)

**E. Other Business**

There was no other business.

**F. Attendance Confirmation (March 7<sup>th</sup>, 2024)**

Chair Schaeffer asked Commissioners to please let staff know if someone cannot attend the next meeting. Commissioner Jakubowski said she will not be able to attend the next meeting.

**Motion (#13):** Adjournment 7:25 P.M.

Motion by: Markunas

Seconded by: Jakubowski

The motion was unanimously approved by voice vote (7-0).

Approved March 7<sup>th</sup>, 2024

As Presented\_\_\_\_\_ As Amended\_\_\_\_\_

\_\_\_\_\_/s/ Nichole Schaeffer, Chair

\_\_\_\_\_/s/ Secretary



**Project:** Lanigan Residence  
**Meeting Type:** Public Hearing  
**Request:** 7 Variations related to new single-family home and Plat of Subdivision  
**Location:** 219 Pacific Street  
**Applicant:** Linden Group Architects  
**Prop. Owner:** William & Donna Lanigan  
**Representative:** Grant Currier  
**Staff Reviewer:** Christopher Gruba, Senior Planner

**Site Details**

**Lot Size:** 15,526 sq. ft.  
**PIN(s):** 19-09-28-223-023-0000  
**Existing Zoning:** R-2  
**Proposed Zoning:** N/A  
**Buildings / Lots:** 1 house w/ attached garage  
**Proposed house:** 4,375 sq. ft. (gross living area)  
**Proposed garage:** 894 sq. ft. (attached)

Figure 1. Location Map

**Adjacent Land Use Summary:**

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Residential	Single-Family Detached	R-2
<b>North</b>	Residential	Single-Family Detached	R-2
<b>South</b>	Residential	Single-Family Detached	R-2
<b>East</b>	Residential	Single-Family Detached	R-2
<b>West</b>	Residential	Single-Family Attached	R-4

**Project Summary**

William and Donna Lanigan purchased the vacant corner property at 219 Pacific Street to construct a new single-family home with a gross living area of 4,375 square feet. There was a former house on this property that was demolished in July 2022 but unfortunately, no plan or survey exists of the former house. The proposed house would require 7 variations. A Plat of Subdivision will also be required, since the parcel was never platted as a lot (it is currently metes & bounds). The architect has described the style of the proposed house as “Midwestern Colonial with farmhouse and craftsman influence”. The house would have a full basement. Even though the property has the address of 219 Pacific Street, the side adjacent to Maple Street is shorter which technically makes it the front property line. The seven (7) variations requested are:

1. 1<sup>st</sup> Floor Building Materials (masonry required, mostly non-masonry proposed)
2. Front Yard Setback (Maple Street)
3. Corner Side Yard Setback (Pacific Street Street)
4. Maximum Lot Coverage
5. Insufficient Lot Width (Zoning Ordinance)
6. Insufficient Lot Depth (Zoning Ordinance)
7. Insufficient Lot Width and Depth (Land Subdivision Regulations, Ord-921)

## Attachments

---

1. Location Map, prepared by staff (VOF GIS) scale 1:1,000
2. Downtown Boundary Map (excerpt from 2019 Comprehensive Plan) with subject property noted
3. Downtown Residential Guidelines (Quick Checklist excerpt)
4. Variation Findings of Fact, received 1.19.24
5. Variation Findings of Fact Commissioner Evaluation Form
6. PC/ZBA minutes of February 8, 2024
7. Survey, received December 28, 2023
8. Tree Survey, received February 26, 2024
9. Plat of Subdivision, received 1.19.24
10. Site Plan and Floor Plan, received 12.28.23
11. Scaled building elevation drawings, in color, received March 1, 2024
12. Colored rendering, illustrating “before and after” changes to the building exterior, received February 29, 2024

## Changes to Plans Since Workshop

---

Since the PC/ZBA workshop on February 8<sup>th</sup>, the only changes to the plans have been to the building exterior. The applicant has provided a “before and after” illustration of the changes. These changes do not affect the variation requests. Staff has summarized the changes:

- The exterior colors were changed to a lighter “creamier” beige.
- Two columns were removed from the front porch to open views. The size of the porch columns was increased.
- The stone base on the remaining four porch columns was lowered slightly.
- The front door was equipped with 12” sidelights on either side, replacing the small stone windows on either side.
- The depth of the second-floor window above the front porch was increased and encased in a framed cement board bump out.
- A small metal roof was added above the garage window on the front façade.
- Small bands of metal accent roofs were added above the garage on the south side of the house.
- The height of the brick was increased on the west side of the garage.

## Analysis

---

### Summary of Variation Requests

The seven variations requests can be summarized in the chart below:

Variation Request	Code Requirement	Proposed House/Property
1 <sup>st</sup> Floor Building Materials	Masonry	Cement Board, some masonry
Front Yard Setback (Maple)	30’	22.6’
Corner Side Yard Setback (Pacific)	30’	24.9’
Maximum Lot Coverage	20% maximum (3,105 SF)	28.9% (4,487 SF)
Lot Width	120’ (corner lot)	101.28’
Lot Depth	150’	147.31’
Lot Width & Depth (Sub Ord-921)	120’ & 150’	Same as above

### **Existing, Non-Conformities**

The existing parcel has several existing non-conforming features:

1. The R-2 zone district requires a minimum lot width of 120' for a corner property. The lot width is measured along the front property line, which in this case is Maple Street. The existing width of the property is 101.28', requiring a variation.
2. The R-2 zone district requires a minimum lot depth of 150' for any property. The lot width is measured along the corner side yard property line, which in this case is Pacific Street. The existing width of the property is 147.31', requiring a variation.
3. The existing property does not have a 5' wide sidewalk along Pacific Street. As residential properties are developed, either new lots or existing lots, sidewalks are required to be installed within the right-of-way along street frontages. The Village typically requires that a sidewalk be installed, or a cash-in-lieu payment be made to the Village.

### **Variation requests, enumerated**

#### **First Floor Building Materials:**

The Zoning Ordinance requires that all homes in the R-2 zone district be wrapped in masonry on all sides of the 1<sup>st</sup> floor. The code official may permit up to 15% non-masonry materials for architectural accent features but certain materials are prohibited outright (plywood, vinyl, steel, aluminum).

1. The proposed house mostly contains a mix of cement board siding, stone masonry and face brick.
2. There are existing one-story homes to both the east and north of the subject property and both of them are full masonry (brick).
3. There are a total of 23 houses that have frontage along Maple Street between Pacific Street and Kansas Street. Of the 14 homes on the east side of Maple Street, 6 of them are full masonry (43%). Of the 9 homes on the west side of Maple Street, 3 are full masonry (33%).
4. There are a total of 26 houses that have frontage along Pacific Street and are visible from Pacific Street between Maple Street and the dead-end. Of the 8 homes on the north side of Pacific Street, 4 are full masonry (50%). Of the 18 homes on the south side of Pacific Street, 8 are full masonry (44%).

#### **Front Yard Setback (Maple Street):**

The applicant is proposing a 22.6' front yard setback for the new house, whereas 30' is required. The front yard setback is measured from the front property line along Maple Street to the unenclosed front porch. Staff calculated the approximate setback for all homes along the east side of Maple Street, between Pacific Street and Nebraska Street (1,400' +/-). As per the chart below, the average setback of homes on the east side of Maple Street is approximately 28.3'. The proposed house would be closer to the street than most homes along Maple Street.

E. Side Maple Street (south to north)		
Address	Street	Approximate Setback
235	Maple	28
227	Maple	25
221	Maple	30
217	Maple	24
215	Maple	27

203	Maple	28
230	Utah	37
145	Maple	44
133	Maple	26
119	Maple	22
117	Maple	26
220	Nebraska	23
<b>Average</b>		<b>28.3</b>

Corner Side Yard Setback (Pacific Street):

The applicant is proposing a 24.9' corner side yard setback for the new house, whereas 30' is required. The corner side yard setback is measured from the front property line along Pacific Street to the attached garage. Staff calculated the approximate setback for all homes along the north side of Pacific Street, between Maple Street and where it dead-ends (1,400' +/-). As per the chart below, the average setback of homes on the north side of Pacific Street is approximately 21.6'. The proposed house would be further away from the street than most homes along Pacific Street.

N. Side Pacific Street (west to east)		
<b>Address</b>	<b>Street</b>	<b>Approximate Setback</b>
256	Walnut	30
255	Walnut	26
131	Pacific	4
255	Hickory	12
252	Oak	22
255	Oak	13
21	Pacific	30
17	Pacific	36
<b>Average</b>		<b>21.6</b>

Maximum Lot Coverage:

The proposed lot coverage for the new house would be 28.9% (4,487 SF), whereas 20% (3,105 SF) is the maximum allowed.

1. There are no known surveys or site plans from the former house, which was demolished in 2022, making comparison impossible between the former house and the proposed house.
2. Although lot coverage is a separate issue from impervious lot coverage, storm sewers exist along both Maple Street and Pacific Street. Public Works will require that the basement sump pump be connected to the storm sewer. Other drainage connections, such as roof gutters, are not required by Public Works.

#### Minimum Lot Width:

The existing parcel is not a subdivided lot and will require a Plat of Subdivision. The resulting lot will be substandard for lot width for a *corner* lot in the R-2 zone district, requiring a variation. The Zoning Ordinance requires that a corner lot be at least 120' wide, whereas the proposed lot would be 101.28' wide.

#### Minimum Lot Depth:

The resulting lot will be substandard for lot depth for a lot in the R-2 zone district, requiring a variation. The Zoning Ordinance requires that a lot be at least 150' deep, whereas the proposed lot would be 147.31' deep.

#### Land Subdivision Regulations (Ord-921):

The Land Subdivision Regulations, section 9.5-1, notes that lot width and depth must conform to the Zoning Ordinance requirements. The proposed lot would be deficient in both width and depth as noted above, but a separate variation is required from Ord-921, similar to the new home variation project for 99 N. White Street.

#### **Trees & Landscaping**

There are currently 2 trees on the existing property and 4 trees within the rights-of-way of Pacific and Maple. The 2 trees on the property would be removed. According to a tree survey that was provided to staff, neither of the on-site trees are classified as preservation trees, and on-site mitigation will not be required. The applicant is proposing to preserve all 4 parkway trees, as they are very mature and in fairly good condition. The street tree furthest east within the right-of-way of Pacific Street is a Red Maple, which is classified as a preservation tree.

#### ***Downtown Residential Design Guidelines (2019 Comp Plan)*** \_\_\_\_\_

The site is located within the boundary of downtown, as illustrated in the Downtown Residential Design Guidelines (see attached map).

The proposed site improvements employ some desirable elements as listed in the Downtown Frankfort Residential Design Guidelines of the 2019 Comprehensive Plan. There are also proposed elements that do not meet the guidelines. The "Quick Checklist" from these guidelines has been included with this report. The identifier in the parenthesis signifies the page number within the guidelines.

#### Meets Guidelines:

- The house has multiple-pane windows. (B-2)
- There is a well-defined entryway, with a covered front porch and columns. (B-2)
- The primary entryway faces the public street. (B-8)
- The proposed front setback would be about the same as those along Walnut Street. (B-4)
- A variety of materials are used to create texture. (B-11)
- The second floor is smaller than the first floor, softening the appearance (B-16)

#### Does not meet Guidelines:

- The garage is attached, not detached. (page B-1)
- There are no roof dormers. (page B-2)
- The driveway is not narrow. (B-2, B-13)
- The house may be oversized for the lot at 4,375 SF (total living area, not including the porch). The house to the north is 1,234 SF and the house to the east is 2,044 SF, both notably smaller. (B-2)
- The house would be notably larger than other homes along both Pacific and Maple streets. (B-4)
- The house does not adhere to a single, historical style from the late 1800s to early 1900s (Victorian, Colonial, Revival, Craftsman, American Foursquare). (B-5 through B-7)
- Predominantly non-masonry homes are preferable. (B-11)

### ***Partial history of variations for downtown homes***

---

The subject property, as well as most of all single-family homes within the downtown, are zoned R-2, single-family residential. There are a few homes in the downtown zoned H-1, R-3 and R-4. The R-2 zone requirements are as follows:

Standard (R-2)	Requirement
Lot Size	15,000 square feet
Lot Width	100'
Lot Depth	150'
Front Yard Setback	30'
Side Yard Setback	At least 25' total, not less than 10' each side
Rear Yard Setback	30'
Building Height	35'
Lot Coverage Max (%)	20% (25% for a one-story house)
Impervious Coverage Max (%)	40%
Driveway setback	5' (4' side loaded)
Accessory structure setback	10' from side or rear lot lines

The following is a partial list of recent variations granted for homes in the downtown:

#### **213 Kansas (Kirsch)** (PC review 1.24.19)

Lot Size: 6,183 square feet

Lot Width: 61.83'

Lot Depth: 100'

Variations granted:

1. Front yard setback: 13.4'
2. Side yard setbacks: of 10' and 10'
3. Rear yard setback: 15.1'
4. Lot coverage: 30%
5. Driveway setback: 0.5'
6. First floor building materials (masonry required)

#### **215 Kansas (Gallagher)** (PC review 8.14.08)

Lot Size: 4,950 square feet

Lot Width: 50'

Lot Depth: 100'

Variations granted:

1. Lot Coverage: 38.3% (20% max permitted)
2. First floor building materials for accessory structure (masonry required)
3. Detached garage side yard setback: 0' (10' required)

#### **140 Walnut (McLean)** (PC review 1.25.18)

Lot Size: 6,275 square feet

Lot Width: 50'

Lot Depth: 125.5'

Variations granted:

1. Front yard setback: 15.67' (30' required)
2. Side yard setback: 5' (10' required)
3. Lot coverage: 33.5% (20% max permitted)
4. First floor building materials (masonry required)

**200 W. Nebraska (Leonard)** (PC review 11.8.12)

Lot Size: 7,000 square feet

Lot Width: 70'

Lot Depth: 100'

Variations granted:

1. Lot Coverage: 34% (20% max permitted)
2. Driveway setback: 0' (5' required)
3. Detached garage setback: 0' from south lot line, 4.1' from west lot line (10' required)
4. Detached garage height: 21' 4" (15' max permitted)

**210 Walnut (Winters)** (PC review 3.10.11)

Lot Size: 11,044 square feet

Lot Width: 90'

Lot Depth: 130'

Variations granted:

1. Front yard setback: 19' (30' required)
2. Building height: 36' (35' max permitted)
3. Lot Coverage: 29% (20% max permitted)
4. Driveway setback: 2' (5' required)
5. First floor building materials (masonry required)
6. Accessory structure setback: 2' to both north and west property lines (10' required)

**23 W. Bowen Street (Gander)** (PC review 8.22.13)

Lot Size: 8,270 square feet

Lot Width: 52'

Lot Depth: 172'

Variations granted:

1. Side yard setback: 6.4' (10' required)
2. Lot Coverage: 26% (20% max permitted)
3. Driveway setback: 2' (5' required)
4. First floor building materials (masonry required)
5. Accessory structure setback from side property line: 5' (10' required)

**147 White Street (Lalley)** (PC review 7.8.10)

Lot Size: 21,484 square feet

Lot Width: 130'

Lot Depth: 165'

Variation granted:

1. Detached garage setback 6.5' from side property line (10' required)

**44 W. Bowen Street (Carroll/Watson)** (PC review 8.12.10)

Lot Size: 16,175 square feet

Lot Width: 100'

Lot Depth: 160'

Variation granted:

1. Accessory structure (shed) 0' setback from rear property line (10' required)

**140 Maple (Triezenberg)** (PC review 9.8.16)

Lot Size: 6,250 square feet

Lot Width: 50'

Lot Depth: 130'

Variation granted:

1. Driveway setback 0' (5' required)

**143 Kansas Street (Brown)** (PC review 3.25.21)

Lot Size: 5,000 square feet

Lot Width: 50'

Lot Depth: 100'

Variations granted:

1. Front yard setback: 10' (30' required)
2. Side yard setback: 5' (13' required)
3. Detached garage setback from rear property line: 0.5' (10' required)
4. Detached garage setback from side property line: 2' (10 required)
5. Driveway setback: 2' (5' required)
6. Lot coverage: 41% (20% max permitted)
7. Impervious lot coverage: 46% (40% max permitted)
8. First floor building materials (masonry required)

**213 Nebraska Street (Plantz)** (PC review 10.27.22)

Lot Size: 6,687 square feet

Lot Width: 67.5'

Lot Depth: 99'

Variations granted:

1. Front Yard Setback: 12' 7" (30' required)
2. 1<sup>st</sup> Floor Building Materials (masonry required)
3. Detached Garage Setback: 5' 7" (10' required)
4. Rear Yard Coverage: 32% (30% maximum)
5. Lot Coverage: 32.8% (20% maximum)
6. Impervious Lot Coverage: 41.9% (40% maximum)
7. Garage Height: 20' 5 ½" (15' maximum)



**108 Walnut Street (Sleeman)** (PC review 9.14.23)

Lot Size: 6.376 square feet

Lot Width: 50'

Lot Depth: 130'

Variations granted:

1. Front Yard Setback: 21.8' (30' required)
2. Side Yard Setback (N): 8.5' (10' required)
3. Side Yard Setback (S): 4.9' (10' required)
4. Lot Coverage: 36.7% (20% max)
5. Impervious Lot Coverage: 45.2% (40% max)
6. 1<sup>st</sup> Floor Building Materials: Masonry required, wood composite proposed

***Affirmative Motions*** 

---

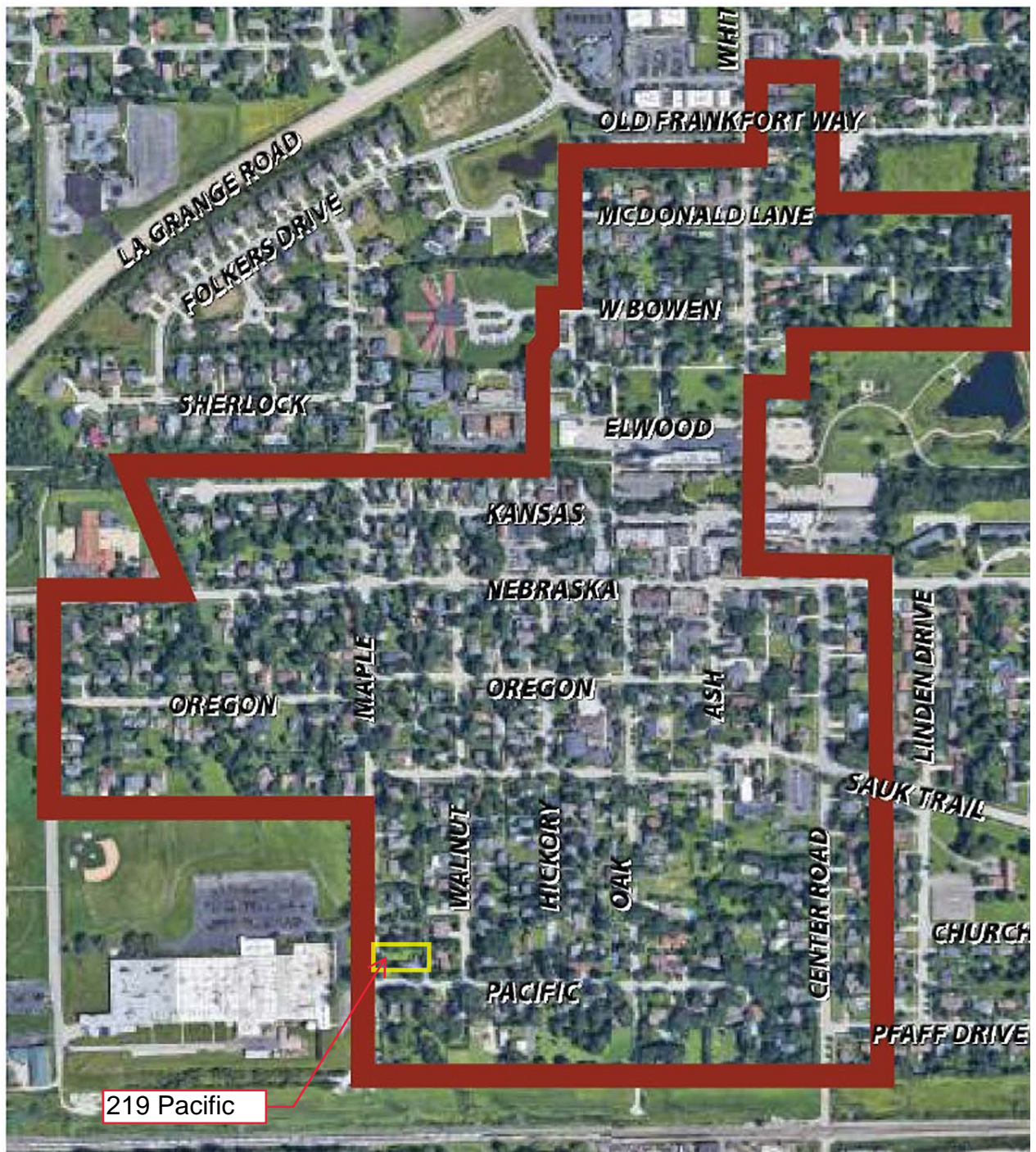
1. Recommend the Village Board approve the variation request for 1<sup>st</sup> floor building materials to allow non-masonry siding on the property located at 219 Pacific Street, in accordance with the reviewed plans, public testimony and findings of fact.
2. Recommend the Village Board approve the variation request to reduce the required front yard setback for the primary structure from 30' to 22.6', on the property located at 219 Pacific Street, in accordance with the reviewed plans, public testimony and findings of fact.
3. Recommend the Village Board approve the variation request to reduce the required corner side yard setback for the primary structure from 30' to 24.9', on the property located at 219 Pacific Street, in accordance with the reviewed plans, public testimony and findings of fact.
4. Recommend the Village Board approve the variation request to exceed the maximum lot coverage to allow 28.9% instead of 20%, on the property located at 219 Pacific Street, in accordance with the reviewed plans, public testimony and findings of fact.
5. Recommend the Village Board approve the variation request to reduce the minimum lot width to 101.28' instead of 120' for a corner property, on the property located at 219 Pacific Street, in accordance with the reviewed plans, public testimony and findings of fact.
6. Recommend the Village Board approve the variation request to reduce the minimum lot depth to 147.31' instead of 150', on the property located at 219 Pacific Street, in accordance with the reviewed plans, public testimony and findings of fact.
7. Recommend the Village Board approve the variation from Section 9.5-1 of the Village of Frankfort Land Subdivision Regulations to approve a Plat of Subdivision for a lot width and depth which do not conform to the requirements of the Village of Frankfort Zoning Ordinance, in accordance with the reviewed plans, public testimony and findings of fact.
8. Recommend that the Village Board approve the Preliminary and Final Plat of Subdivision of 219 Pacific Street Subdivision, subject to technical revisions prior to recording.



# 219 Pacific Street (variation requests)







*Downtown Frankfort Boundary Map*



## B | downtown residential design guidelines

### QUICK CHECKLIST

The set of questions listed below are framed in such a way that if your answer is “yes” - it is likely that the design is on the right track towards contributing to the type of character and quality Frankfort seeks to maintain. The photos shown to the right are examples of residences that fulfill these design ideals. If the answer is not clear, or is questionable, you should look for ways to improve upon this design element.

**Note:** All new residential construction, building additions, and development in general must comply with the Zoning Ordinance regulations including but not limited to setbacks, height, lot coverage, and building materials.

- |   |  |
|---|--|
| 1. Does the building architecture complement and fit the character of surrounding structures - consider scale, setback, building height?  | <input type="checkbox"/> <b>Yes</b><br><input type="checkbox"/> <b>No</b><br><input type="checkbox"/> <b>Maybe</b> |
| 2. Does the structure's architecture delineate and highlight the primary entrance?  | <input type="checkbox"/> <b>Yes</b><br><input type="checkbox"/> <b>No</b><br><input type="checkbox"/> <b>Maybe</b> |
| 3. Are the proposed building materials consistent with the intended architectural style of the home and complementary to the materials utilized on the homes in the surrounding area? | <input type="checkbox"/> <b>Yes</b><br><input type="checkbox"/> <b>No</b><br><input type="checkbox"/> <b>Maybe</b> |
| 4. Are simplified roof forms provided that are consistent with both the intended architectural style and roof forms of homes in the surrounding area?                                 | <input type="checkbox"/> <b>Yes</b><br><input type="checkbox"/> <b>No</b><br><input type="checkbox"/> <b>Maybe</b> |
| 5. Are there step-backs to the facade and / or architectural details that add depth and dimension, i.e. porches, bay windows?   | <input type="checkbox"/> <b>Yes</b><br><input type="checkbox"/> <b>No</b><br><input type="checkbox"/> <b>Maybe</b> |
| 6. Are there interesting architectural details and landscape treatments integrated on site that complement the residence?   | <input type="checkbox"/> <b>Yes</b><br><input type="checkbox"/> <b>No</b><br><input type="checkbox"/> <b>Maybe</b> |
| 7. Are the predominate facade colors / building materials of a natural color palette that is complementary to the homes in the surrounding area.                                      | <input type="checkbox"/> <b>Yes</b><br><input type="checkbox"/> <b>No</b><br><input type="checkbox"/> <b>Maybe</b> |



2023-0196  
PROPOSED NEW  
RESIDENCE FOR  
WILLIAM AND DONNA  
LANIGAN  
LINDENGROUP  
ARCHITECTS  
2024-01-09



RECEIVED  
By Christopher Gruba at 9:24 am, Jan 19, 2024

Application for Plan Commission / Zoning Board of Appeals Review  
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;  
  
This lot as platted is undersized lot by +- 14% compared to minimum lot dimensions per code. The property in question was purchased by William and Donna Lanigan for the sole purpose of designing and building their own single family residence, to be occupied by themselves. In order to meet their needs, reasonable minor variations to the adopted zoning code are hereby requested.
2. That the plight of the owner is due to unique circumstances; and  
  
The Owner's desire to build a two story (4) Bedroom residence with unfinished Basement and attached Garage and hereby request reasonable minor variances to the adopted zoning code given the size of their corner lot as platted does not meet minimum Village size standards.
3. That the variation, if granted, will not alter the essential character of the locality.  
  
The variations if granted will not alter the essential character of this residential block. The architectural design and home's scale endeavor to compliment the neighborhood and follow the design intent of the Village's Residential Design Guidelines.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;  
  
This lot as platted is undersized lot by +- 14% compared to minimum R-2 corner lot dimensions per code. The property was purchased for the sole purpose of designing and building a single family residence. In order to meet Owners' needs and position the structure on the site, reasonable minor variations to the adopted zoning code are hereby requested.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

The conditions upon which this petition for variations apply would not specifically be applicable to other properties within the same zoning classification as this is a unique corner lot with site and Owner specific design considerations.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

The Owner's have purchased this vacant property to build their dream home together and enjoy living in Frankfort for many years to come. The size and layout of their proposed home is based on their needs and their needs alone.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

The variances requested have not been created by any person or entity presently having an "interest" in the property.

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

The variations if granted will not be detrimental to the public's welfare or unduly injurious to other property or improvements in the neighborhood. The design endeavors to compliment the neighborhood and follow the design intent of the Village's Residential Design Guidelines.

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

The variations if granted will not alter the essential character of this residential block. The design intent is to compliment the neighborhood. As presented, this is a quality design with significant architectural detailing and design sensitivity.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

The variations if granted will not impair an adequate supply of air to adjacent property or increase the danger of fire, or endanger the public safety or substantially diminish or impair property values within the neighborhood.



### Standards of Variation Commissioner Evaluation Form

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided.

	STANDARD	NOTES	MEETS	
1.	That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;		YES	NO
2.	That the plight of the owner is due to unique circumstances;		YES	NO
3.	That the variation, if granted, will not alter the essential character of the locality.		YES	NO

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence.

	STANDARD	NOTES	MEETS	
1.	That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;		YES	NO

2.	That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;		YES	NO
3.	That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;		YES	NO
4.	That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;		YES	NO
5.	That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;		YES	NO
6.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or		YES	NO
7.	That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.		YES	NO



feet west of I-57 (21-14-17-100-003-0000), conditioned upon the property owner dedicating right-of-way along both sides of Dralle Road for a potential future bridge over I-57, if feasible, and, that the owner shall request a Petition for Annexation, subject to Village Board consideration.

Motion by: Morris

Seconded by: James

Approved: (6-0)

#### **D. Workshop: 219 Pacific Street – Lanigan Residence**

Chris Gruba presented the staff report and mentioned that the Village's Public Works Department is requesting extension of the sidewalk along Pacific Street along the frontage of the property. He also summarized the seven Zoning Ordinance variation requests.

The Project Architect, Grant Currier, approached the podium and distributed a packet of information including color building renderings. He compared the previous house on the site to the proposed house. He also provided a response to each variation being requested. He estimates that the proposed house exceeds 50% masonry on the exterior. They are complimenting the brick with cement board siding and there is relief along the facades to break up the wall massing. He added that there seems to be a little bit of contradiction between the Downtown Design Guidelines and the Comprehensive Plan Residential Design Guidelines. Regarding the setback variation from Maple Street, he feels that closer a house is to the street, the house better relates to the street and is more pedestrian friendly. He illustrated that the entire neighborhood benefits from a variety of house setbacks rather than all of them aligning in a straight line. Only a portion of the covered porch encroaches the required setback along Maple Street. He also discovered that the street is not centered within the right-of-way. Along Pacific Street, the design attempts to align the south façade of the house with the neighboring garage to the east. For the request for a variation to exceed maximum lot coverage he stated that the property is uniquely- shaped and it is also a corner lot. In looking at previous variations that were granted for other properties, this particular variation is actually less than eight of nine others on the list that staff included in the staff report.

Chair Schaeffer stated that the Commission can discuss each request one by one.

*Variation #1 - 1st Floor Building Materials (masonry required, mostly non-masonry proposed)*

For exterior materials there was consensus among the members that there was a good mix of materials.

*Variation #2 – Reduced Front Yard Setback (Maple Street)*

For the request to reduce the required front yard setback along Maple Street, Chair Schaeffer asked Chris Gruba about the setback being measured to the porch. She thought that the setback measurement was to the front of the structure.

Chris Gruba clarified the methodology for measuring the minimum 30-foot requirement per the Zoning Ordinance.

Commissioner Markunas asked what the measurement would be from the front porch to the typical right-of-way.

Chris Gruba responded and added that also there is no restriction on the homeowner potentially enclosing the porch in the future.

The applicants stated that they have no intention of enclosing the proposed front porch.

*Variation #3 – Reduced Corner Side Yard Setback (Pacific Street Street)*

Chair Schaeffer stated that she appreciated the attempt to align the house with the neighboring garage.

Commissioner Markunas agreed with the Chair; There were no other comments from the other members.

*Variation #4 – Exceed Maximum Lot Coverage*

Chair Schaeffer stated that there is another house nearby that appears to be maxed out on lot coverage.

Commissioner Knieriem stated that he had no comment on this variation request.

Commissioner Markunas stated that this is the only variation that gives him pause. The applicants have a sufficiently sized lot and should be able to comply with the maximum 20% requirement.

Chair Schaeffer asked the applicants if they are aware of the lot coverage and impervious coverage requirements being two different things. Are they aware of the need for compliance if they ever wanted to build a gazebo, etc.? They would need to come back for any future variation request related to additional backyard improvements that exceed the maximum lot coverage and maximum impervious coverage.

The applicant William Lanigan replied that they are only seeking consideration of the seven variation requests that are listed in the staff report tonight.

*Variation #5, #6, #7 – Insufficient Lot Width and Lot Depth*

Chair Schaeffer stated that Variations #5, #6, and #7 are all related. She added that the proposed single-lot subdivision will clean this up.

Chris Gruba explained that variations are required from both the Zoning Ordinance and the Land Subdivision Regulations as it pertains to lot width and lot depth.

Chair Schaeffer asked if the sidewalk could jog to potentially save the tree which is to be removed.

Commissioner Knieriem asked how big the tree is.

The applicants stated that it is about 12 inches.

Grant Currier stated that he begs to differ with Chris Gruba as far as the cash-in-lieu not being supported by the Public Works Department. He stated that he spoke with Terry Kestel from the Public Works Department on January 5th and according to Terry he wouldn't be opposed to accepting cash-in-lieu of the sidewalk construction along Pacific Street for this property.

Commissioner Knieriem stated that common sense says to allow cash-in-lieu and see what happens with other potential future sidewalk construction to the east. The other members concurred with this recommendation to the Department of Public Works.

Chair Schaeffer asked about the lot coverage again.

Commissioner Markunas stated that he just can't see a hardship argument with that variation request.

Chair Schaeffer thanked the project architect and applicants and asked that they continue working with staff and the Department of Public Works.

#### **E. Public Comments**

There were no public comments.

#### **F. Village Board & Committee Updates**

Mike Schwarz noted that the following projects were approved by the Village Board at its meeting on February 5, 2024:

- The building addition to the Olde Frankfort Mall was approved, including the Special Use Permit for the PUD, the Special Use Permit for a full-service restaurant with liquor sales for Tenant 01, a variation to waive all required off-street parking, a Preliminary/Final Plat of Resubdivision and Preliminary/Final Development Plan.



2309.2150  
TOPOGRAPHY SURVEY  
WILL COUNTY

# TOPOGRAPHY SURVEY

FOR

## 219 PACIFIC STREET, FRANKFORT, ILLINOIS

**RECEIVED**

By Christopher Gruba at 12:55 pm, Dec 28, 2023



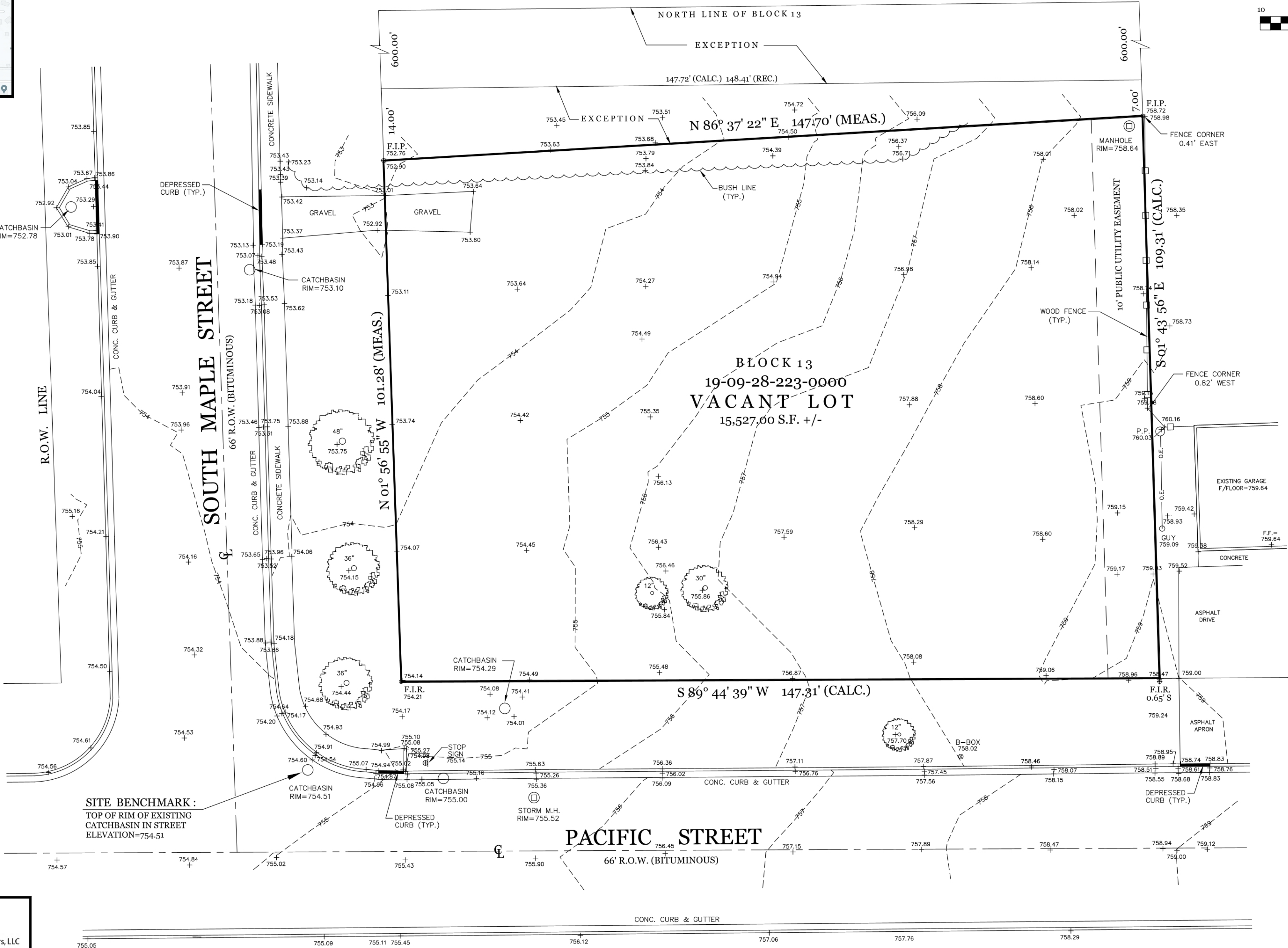
NORTH  
LOCATION MAP  
N.T.S.

LEGEND	
EXISTING	
	CURB & GUTTER
	WATER MAIN
	STORM SEWER
	SANITARY SEWER
	STORM MANHOLE
	SANITARY MANHOLE
	CATCHBASIN
	INLET
	VALVE & VAULT
	VALVE & BOX
	BUFFALO BOX
	FIRE HYDRANT
	FLARED END SECTION
	HANDICAPPED RAMP
	SPOT ELEVATION
	CONTOUR
	DRAINAGE FLOW
	CULVERT
	CONCRETE MONUMENT
	PARKING SPACE COUNT
	SURVEY CONTROL POINT
	ELECTRIC METER
	ELECTRIC TRANSFORMER
	LIGHT STANDARD
	STREET LIGHT
	TRAFFIC LIGHT
	POWER POLE
	SIGN
	TREE
	GAS METER
	GAS VALVE
	FENCE
	BURIED UTILITY LINE
	OVERHEAD UTILITY LINE
FOR BURIED AND OVERHEAD UTILITIES: E=ELECTRIC T=TELEPHONE C=COMMUNICATIONS G=GAS	

WARNING  
CALL JULIE TOLL FREE  
OPERATES 24 HOURS A  
DAY 365 DAYS A YEAR



Know what's below.  
Call before you dig.  
CALL 811  
48 HOURS BEFORE  
YOU DIG



10 0 10 20 30  
SCALE: 1" = 10'

NORTH

STATE OF ILLINOIS } SS  
COUNTY OF LASALLE }

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO  
THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY  
SURVEY, GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.

*Christopher Gruba*



ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971  
LICENSE EXPIRES 11/30/2024  
EXACTA LAND SURVEYORS, LLC  
PROFESSIONAL DESIGN FIRM 184008059-0008



Exacta Land Surveyors, LLC  
PLS# 184008059  
o: 773.305.4011  
316 East Jackson Street | Morris, IL 60450



PROPOSED RESIDENCE  
FOR

William & Donna  
LANIGAN

219 Pacific Street  
Frankfort, IL

RECEIVED

By Christopher Gruba at 3:59 pm, Feb 26, 2024



Landscape Architecture  
Park & Recreation Design  
Municipal Consulting

1741 S Wiesbrook Rd  
Wheaton, IL 60189  
Office-Cell 630.738-0726

TREE  
PRESERVATION &  
REMOVAL PLAN

PROJECT NO.: JOB NO.:

L124 - 9401

DATE: 2-22-24

SCALE: 1" = 20'

PLANNER: JMR

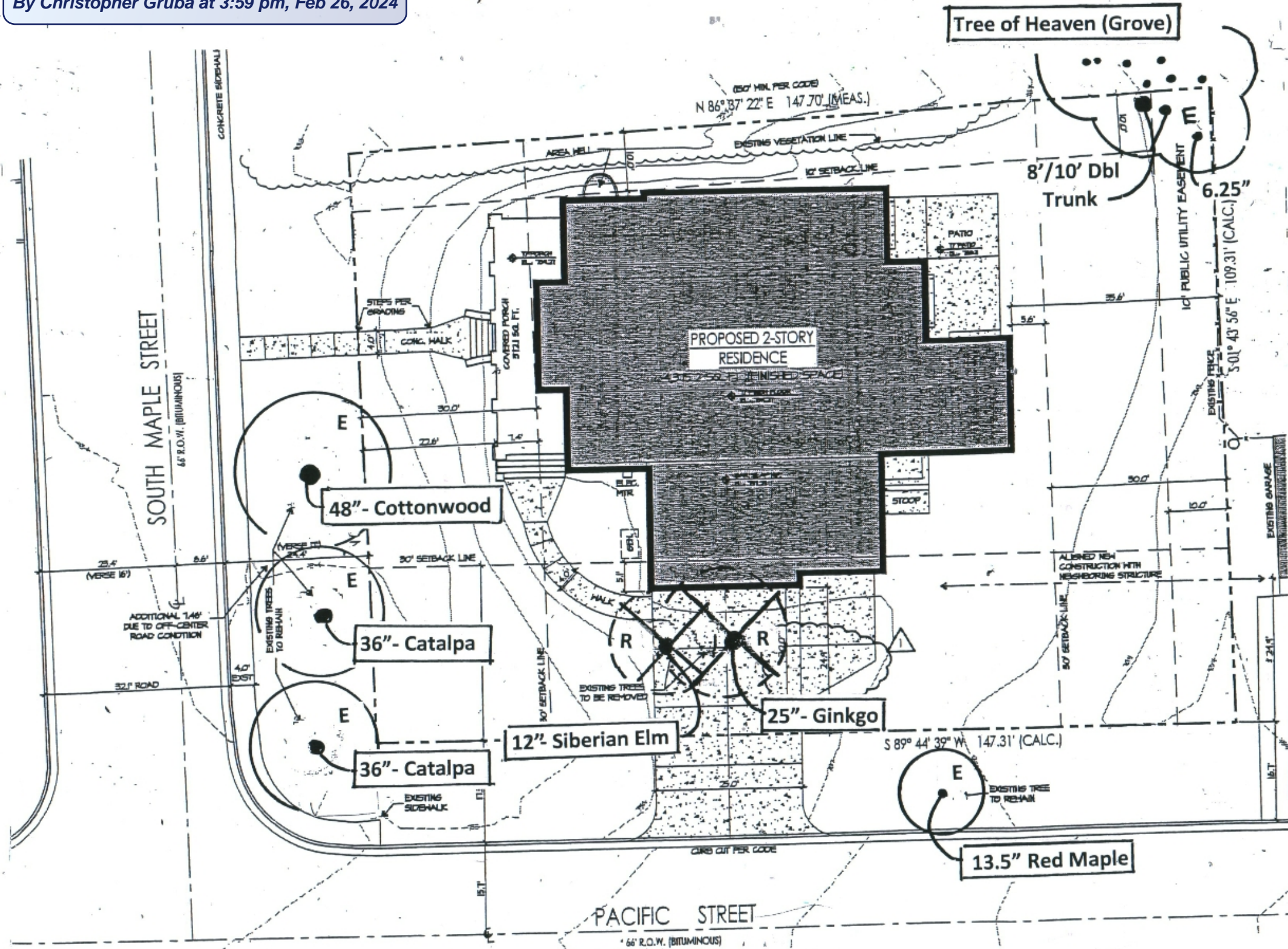
DRAWN BY:

CHECKED:

SHEET



NOTE: NO TREE SPECIES LISTED ON THE APPENDIX E:  
PRESERVATION TREES (Village of Frankfort Landscape  
Ordinance) ARE PROPOSED FOR REMOVAL.



ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
10100 ORLAND PARKWAY SUITE 110  
ORLAND PARK, ILLINOIS 60467  
(708) 799-4400  
WWW.LANDSCAPINGINC.COM



Benedetti Homes  
& Development, Inc.  
(708) 250-1941

Proposed Residence for  
William and Donna  
LANIGAN  
219 Pacific Street  
Frankfort, IL

DATE: 2023-01-16  
DRAWN: JMR  
CHECKED: JMR  
DATE: 2023-01-16  
DRAWN: JMR  
CHECKED: JMR

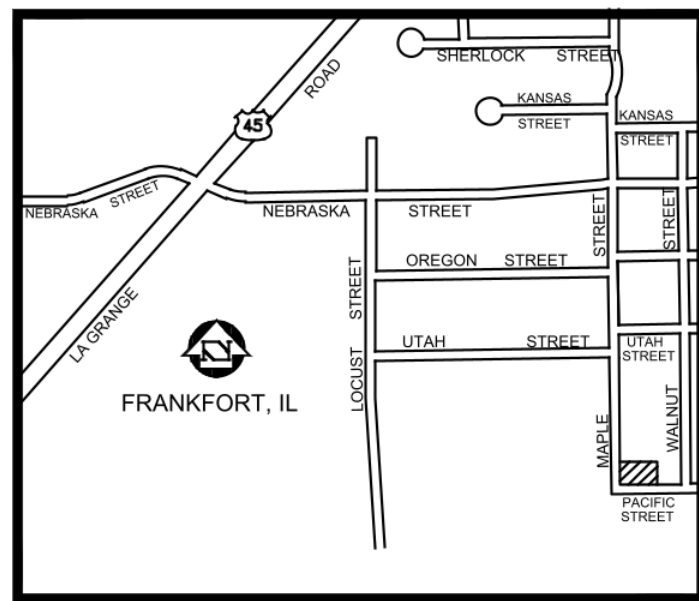
2023-0196  
PROJECT NUMBER  
DATE: 1-12-2024  
LGI GC  
DRAWN BY: JMR  
CHECKED BY: JMR

COVER SHEET  
ARCHITECTURAL  
SITE PLAN

SHEET NAME  
A-0.0



# 219 PACIFIC STREET SUBDIVISION



VICINITY MAP  
(NOT TO SCALE)  
INDICATES SITE LOCATION

## Easement Provisions

An easement for serving the subdivision and other property with electric and communications service is hereby reserved for and granted to

*At&t Telephone Company*  
*Authorized C.A.T.V. Franchise*  
and the  
*Commonwealth Edison Company*

their respective successors and assigns, jointly and severally, to install, operate, maintain and remove, from time to time, facilities used in connection with, underground transmission and distribution of electricity and sounds and signals in, under, across, along and upon the surface of the property shown within the dashed lines on the plat and marked "Easement", the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", and the property designated on the plat for streets and alleys, whether public or private, together with the right to install required service connections under the surface of each lot and common area or areas to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over grantees' facilities or in, upon or over the property within the dashed lines marked "Easement" without the prior written consent of grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have that meaning set forth for such term in Section 2(e) of "An act in relation to condominiums" (Illinois Revised Statutes, Ch. 30, par. 302(e)), as amended from time to time.

The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole as an appurtenance to the separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by terms such as, "suitable for easement", "open space", "dedicated", "common ground", "parking and common area". The terms "common area or areas" and "Common Elements" includes real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, Service Business District or structures such as a pool or retention pond, or mechanical equipment. Relocation of facilities will be done by Grantees at cost of Grantor/Lot Owner, upon written request.

## Ni-Cor Gas Company

its respective successors and assigns ("Ni-Cor") to install, operate, maintain, repair, replace and remove, facilities used in connection with the transmission and distribution of natural gas in, over, under, across, along and upon the surface of the property shown on this plat marked "Easement," "Common Area or Areas" and streets and alleys, whether public or private, and the property designated in the Declaration of Condominium and/or on this plat as "Common Elements," together with the right to install required service connections over or under the surface of each lot and Common Area or Areas to serve improvements thereon, or on adjacent lots, and Common Area or Areas, and to serve other property, adjacent or otherwise, and the right to remove obstructions, including but not limit to, trees, bushes, roots and fences, as may be reasonably required incident to the rights herein given, and the right to enter upon the property for all such purposes. Obstructions shall not be placed over Ni-Cor's facilities or in, upon or over the property identified on this plat for utility purposes without the prior written consent of Ni-Cor. After installation of any such facilities, the grade of the property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have that meaning set forth for such term in Section 605/2(e) of the "Condominium Property Act" (Illinois Compiled Statutes, Ch. 765, Sec. 605/2(e)) as amended from time to time.

The term "Common Area or Areas" is defined as a lot, parcel or area of real property, including real property surfaced with interior driveways and walkways, the beneficial use and enjoyment of which is reserved in whole as an appurtenance to the separately owned lots, parcels or areas within the property, even though such areas may be designated on this plat by other terms.

## PUBLIC UTILITY AND DRAINAGE EASEMENTS

ALL EASEMENTS INDICATED AS PUBLIC UTILITY AND DRAINAGE EASEMENTS ON THE PLAT ARE RESERVED FOR AND GRANTED TO THE VILLAGE OF FRANKFORT AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF FRANKFORT, INCLUDING, BUT NOT LIMITED TO, AMERITECH TELEPHONE COMPANY, NICOR GAS COMPANY, COMMONWEALTH EDISON ELECTRIC COMPANY, COMCAST TELEVISION COMPANY AND THEIR SUCCESSORS AND ASSIGNS, FOR PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE VARIOUS UTILITIES, TRANSMISSION AND DISTRIBUTION SYSTEMS INCLUDING STORM AND/OR SANITARY SEWERS, WATER MAINS, VALVE VAULTS AND HYDRANTS TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE OF FRANKFORT, OVER, UPON, ALONG, UNDER, THROUGH SAID INDICATED EASEMENT, TOGETHER WITH RIGHT OF ACCESS ACROSS PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK; THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM, OR REMOVE TREES, SHRUBS, OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS AND OTHER UTILITIES, NO PERMANENT BUILDINGS, TREES OR OTHER STRUCTURES SHALL INTERFERE WITH THE AFORESAID USES OR RIGHTS. WHERE AN EASEMENT IS USED FOR BOTH SEWER AND/OR WATER MAINS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF FRANKFORT. THE PLACEMENT OF ANY LANDSCAPING NOT IN WITH THE APPROVED LANDSCAPE PLAN OR GRADING PLAN FOR A GIVEN PROPERTY, OR ANY ACCESSORY BUILDING OR STRUCTURE, SWIMMING POOL, FENCE OR OTHER IMPROVEMENT WHICH IN ANY WAY COULD CAUSE AN IMPEDIMENT TO THE OVERLAND FLOW OF STORM WATER WITHIN SAID DRAINAGE EASEMENT IS HEREBY PROHIBITED.

NOTE: (XXX.XX') MEASURED DISTANCE, (N X°XX'XX" E) MEASURED BEARING  
(XXX.XX') RECORDED DISTANCE, (N X°XX'XX" E) RECORD BEARING

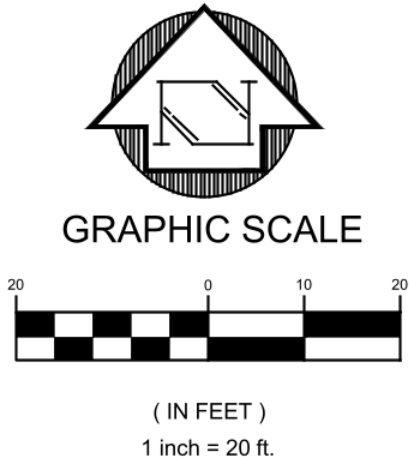
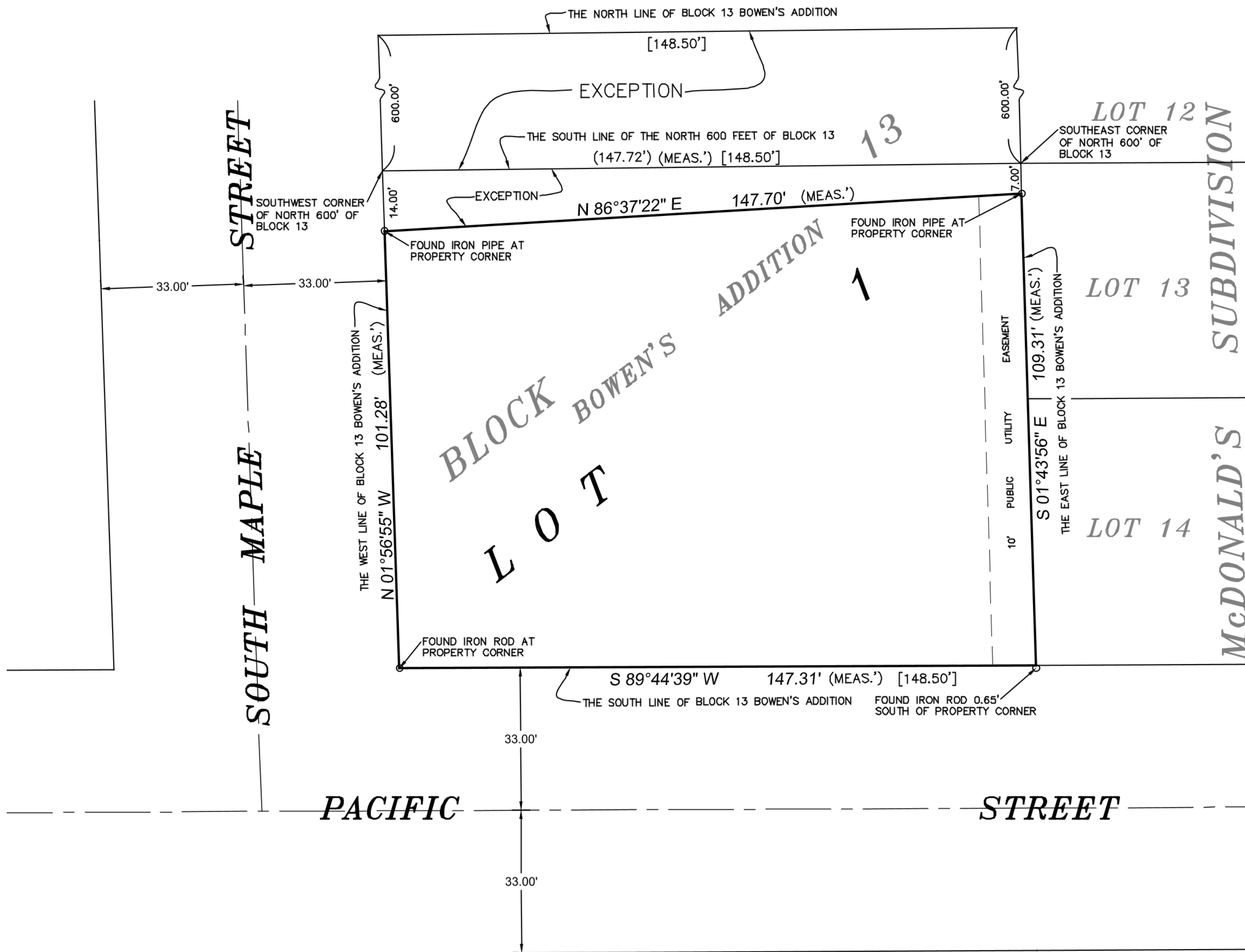
**RECEIVED**

By Christopher Gruba at 9:23 am, Jan 19, 2024

BEING A SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF FRANKFORT WILL COUNTY, ILLINOIS.

P.I.N. = 19-09-28-223-023-0000

CONTAINING 15,527 SQ.FT., 0.356 ACRE.



## PLANNING AND ZONING COMMISSION APPROVAL

STATE OF ILLINOIS )  
COUNTY OF WILL ) SS

I, \_\_\_\_\_, CHAIRMAN OF THE VILLAGE OF FRANKFORT PLANNING AND ZONING COMMISSION, DO CERTIFY THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024 A.D., THIS PLAT OF SUBDIVISION WAS DULY APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE VILLAGE OF FRANKFORT.

ATTEST: \_\_\_\_\_  
CHAIRMAN

BY: \_\_\_\_\_

## VILLAGE BOARD APPROVAL

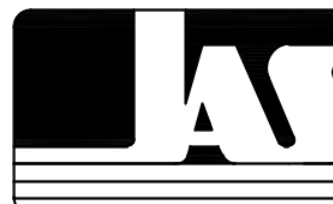
STATE OF ILLINOIS )  
COUNTY OF WILL ) SS

APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024 A.D.

ATTEST: \_\_\_\_\_  
VILLAGE CLERK

BY: \_\_\_\_\_  
VILLAGE PRESIDENT

PLAT PREPARED BY  
AND RETURN TO:



CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

Joseph A. Schudt & Associates

9455 ENTERPRISE DRIVE, MOKENA, ILLINOIS 60448  
PHONE: 708-720-1000 FAX: 708-720-1065  
e-mail: survey@jaseng.com http://www.jaseng.com

ILLINOIS PROFESSIONAL DESIGN FIRM 184-001172

## OWNER'S CERTIFICATE

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

THIS IS TO CERTIFY THAT WILLIAM LANIGAN AND DONNA LANIGAN, AS JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP, AS THE OWNERS OF THE LAND DESCRIBED IN THE FOREGOING CERTIFICATE HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED ON THE PLAT, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND THAT THE SAME ABOVE DESCRIBED PROPERTY IS LOCATED IN SCHOOL DISTRICTS: FRANKFORT SCHOOL DISTRICT 157C AND LINCOLN-WAY SCHOOL DISTRICT 210, AND JOULET JUNIOR COLLEGE DISTRICT 525 AND THAT THEY HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED, AS THEIR OWN FREE AND VOLUNTARY ACT AND DEED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2024.

## NOTARY CERTIFICATE

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

I, \_\_\_\_\_, NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, DO HEREBY CERTIFY THAT WILLIAM LANIGAN AND DONNA LANIGAN DID PERSONALLY APPEAR BEFORE ME THIS DAY AND ACKNOWLEDGE THAT THEY DID SIGN THE HEREON DRAWN PLAT AS THEIR FREE AND VOLUNTARY ACT.

GIVEN MY SIGNATURE AND SEAL

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2024.

NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_

## DRAINAGE CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF WILL ) SS

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATER INTO PUBLIC AREAS OR DRAINS WHICH THE SUBDIVIDER HAS THE RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2024.

REGISTERED PROFESSIONAL ENGINEER

OWNER OR ATTORNEY

## SURVEYORS CERTIFICATION

STATE OF ILLINOIS )  
COUNTY OF WILL ) SS

I, D. WARREN OPPERMAN, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ILLINOIS, DO HEREBY CERTIFY THAT UNDER THE DIRECTION OF THE OWNER THEREOF, I HAVE SURVEYED, RESUBDIVIDED AND PLATTED SAID PROPERTY INTO ONE LOT ALL OF WHICH IS REPRESENTED ON THE PLAT HEREON DRAWN, THAT PART OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

BLOCK 13, (EXCEPT THE NORTH 600 FEET THEREOF), IN BOWEN'S ADDITION TO THE VILLAGE OF FRANKFORT, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 8, 1886, IN BOOK 43, PAGE 169, AS DOCUMENT NO. 22886, IN WILL COUNTY, ILLINOIS, AND ALSO EXCEPT THE FOLLOWING DESCRIBED PARCEL:

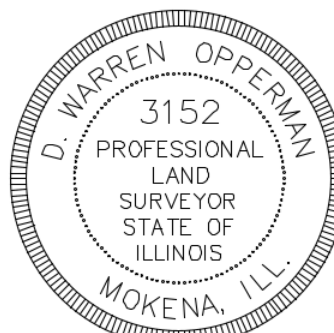
BEGINNING AT THE SOUTHWEST CORNER OF THE NORTH 600 FEET, THENCE SOUTHERLY ALONG THE WEST LINE OF SAID BLOCK, A DISTANCE OF 14.00 FEET, THENCE EASTERLY TO THE EAST LINE OF SAID BLOCK, WHICH POINT IS 7.00 FEET SOUTHERLY OF THE SOUTHEAST CORNER OF SAID NORTH 600 FEET OF SAID BLOCK 13, THENCE NORTHERLY ALONG THE EAST LINE OF SAID BLOCK, A DISTANCE OF 7.00 FEET TO THE SOUTHEAST CORNER OF SAID NORTH 600 FEET OF SAID BLOCK 13, THENCE WESTERLY ALONG THE SOUTH LINE OF SAID NORTH 600 FEET, A DISTANCE OF 148.41 FEET MORE OR LESS, TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

I DO FURTHER CERTIFY THAT:

1. THE ACCOMPANYING PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION AS MADE BY ME.
2. THIS IS TO CERTIFY THAT WE HAVE EXAMINED FIRM MAP NUMBER 1716702026 G, WHICH BEARS AN EFFECTIVE DATE OF FEBRUARY 15, 2019, AS ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR WILL COUNTY, WITH REFERENCE TO THE ABOVE NAMED TRACT, AND FIND THE PROPERTY TO BE IN ZONE "X" UNSHADED WHICH IS AN AREA DETERMINED TO BE AREA OF MINIMAL FLOOD HAZARD. THIS STATEMENT IS FOR FLOOD INSURANCE PURPOSES ONLY AND DOES NOT NECESSARILY INDICATE ALL AREAS SUBJECT TO FLOODING.
3. THE PROPERTY OR PLAT IS SITUATED WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF FRANKFORT.
4. TO THE BEST OF OUR KNOWLEDGE, ALL REGULATIONS ENACTED BY THE VILLAGE OF FRANKFORT HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.
5. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL.
6. EXTERIOR CORNERS HAVE BEEN MONUMENTED WITH CONCRETE, NOT LESS THAN SIX INCHES (6") IN DIAMETER AND THIRTY-SIX INCHES (36") DEEP, WITH A CENTER COPPER DOWEL THREE INCHES (3") LONG CAST IN PLACE, AND ALL INTERIOR CORNERS ARE TO BE SET WITH 9/16" X 30" IRON RODS WITHIN ONE YEAR FROM DATE OF RECORDED.
7. BASIS OF BEARING IS ASSUMED.
8. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMAL STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024, A.D.  
ILLINOIS REGISTERED LAND SURVEYOR NO. 3152

BY: \_\_\_\_\_  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3152 (EXP. 11-30-24)



01-18-2024

24-014-012



**By Christopher Gruba at 12:54 pm, Dec 28, 2023**

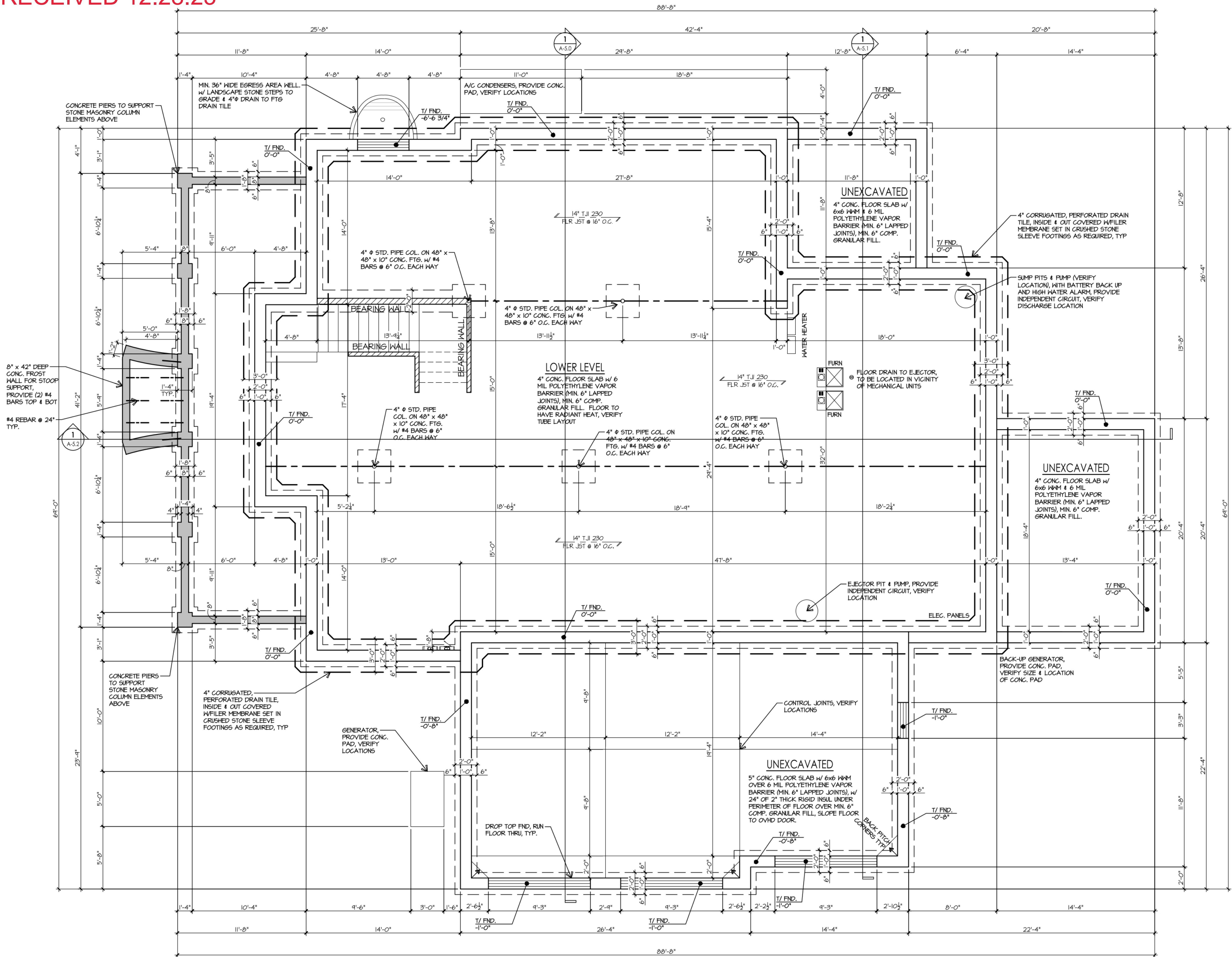
BLOCK 15, (EXCEPT THE NORTH 600 FEET THEREOF), IN BOVENS ADDITION TO THE VILLAGE OF FRANKFORT, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 9, 1856, IN BOOK 43, PAGE 169, AS DOCUMENT NO. 22286, IN HILL COUNTY, ILLINOIS, AND ALSO EXCEPT THE FOLLOWING DESCRIBED PARCEL, BEGINNING AT THE SOUTHWEST CORNER OF THE NORTH 600 FEET, THENCE SOUTHERLY ALONG THE WEST LINE OF SAID BLOCK A, A DISTANCE OF 14.00 FEET, THENCE EASTERLY TO THE EAST LINE OF SAID BLOCK A, WHICH POINT IS 7.00 FEET SOUTHERLY OF THE SOUTHEAST CORNER OF SAID NORTH 600 FEET OF SAID BLOCK 15, THENCE WESTERLY ALONG THE SOUTHBLOCK 15, (EXCEPT THE NORTH 600 FEET THEREOF), IN BOVENS ADDITION TO THE VILLAGE OF FRANKFORT, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 9, 1856, IN BOOK 43, PAGE 169, AS DOCUMENT NO. 22286, IN HILL COUNTY, ILLINOIS, AND ALSO EXCEPT THE FOLLOWING DESCRIBED PARCEL, BEGINNING AT THE SOUTHWEST CORNER OF THE NORTH 600 FEET, THENCE SOUTHERLY ALONG THE WEST LINE OF SAID BLOCK A, A DISTANCE OF 14.00 FEET, THENCE EASTERLY TO THE EAST LINE OF SAID BLOCK, WHICH POINT IS 7.00 FEET SOUTHERLY OF THE SOUTHEAST CORNER OF SAID NORTH 600 FEET OF SAID BLOCK 15, THENCE WESTERLY ALONG THE SOUTH LINE OF SAID NORTH 600 FEET, A DISTANCE OF 148.41 FEET MORE OR LESS, TO THE POINT OF BEGINNING, IN HILL COUNTY, ILLINOIS, A DISTANCE OF 148.41 FEET MORE OR LESS, TO THE POINT OF BEGINNING, IN HILL COUNTY, ILLINOIS.

**219 Pacific Street  
Frankfort, IL**

**A-0.0**



RECEIVED 12.28.23



FOUNDATION PLAN

SCALE: 1/4\"/>



ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
10100 ORLAND PARKWAY SUITE 110  
ORLAND PARK, ILLINOIS 60467  
(708) 799-4400  
WWW.LINDENGROUPINC.COM

Proposed Residence for  
**William and Donna Lanihan**  
219 Pacific Street  
Frankfort, IL

DRAWN DESCRIPTION  
DATE 2023-10-06  
2023-12-17  
2023-12-20  
TIMOTHY OWNER REVIEW  
TIMOTHY OWNER PROGRESS REVISIONS  
TIMOTHY ISSUE FOR VILLAGE REVIEW

2023-0196

PROJECT NUMBER

12-27-2023

DATE

LGI GC

DRAWN BY FINAL REVIEW

COPYRIGHT - LINDEN GROUP INC.  
ALL RIGHTS RESERVED.  
ALL DRAWINGS, SPECIFICATIONS, DETAILS, CONCEPTS, REVISIONS AND RECORDS REPRESENTED OR REFERRED TO IN THESE DOCUMENTS ARE SOLELY THE PROPERTY OF LINDEN GROUP INC. NONE OF THE ABOVE MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF LINDEN GROUP INC.

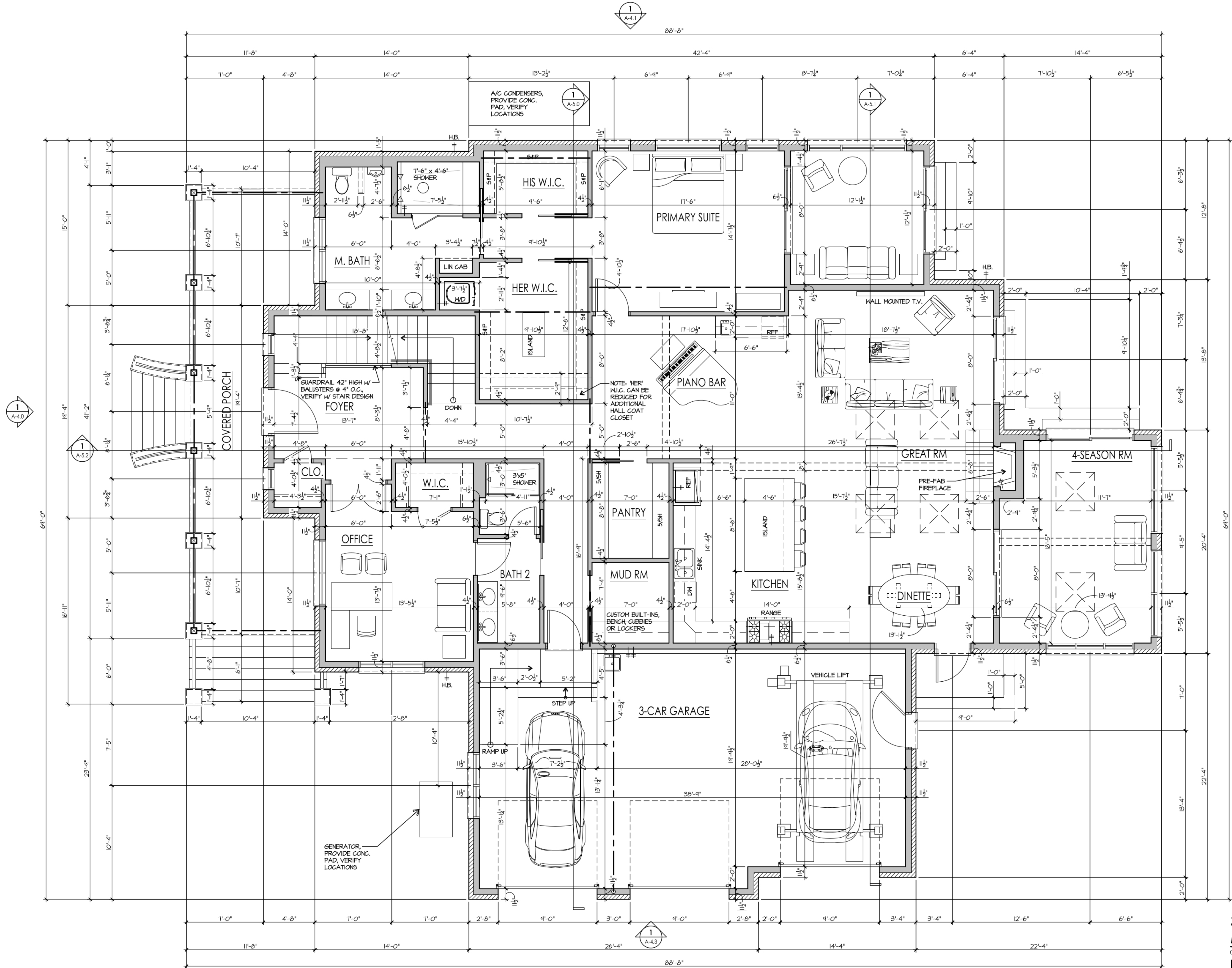
FOUNDATION  
PLAN

SHEET NAME

A-1.0

SHEET





3,220.7 SQ. FT.  
MAIN LEVEL FLOOR PLAN



ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
10100 ORLAND PARKWAY SUITE 110  
ORLAND PARK, ILLINOIS 60467  
(708) 799-4400  
WWW.LINDENGROUPINC.COM

Proposed Residence for  
**William and Donna**  
**LANIGAN**  
219 Pacific Street  
Frankfort, IL

DATE 2023-10-06  
DRAWN BY TIMMY  
DESCRIPTION TIMMY OWNER REVIEW  
2023-12-17 TIMMY PROGRESS REVISIONS  
2023-12-20 TIMMY ISSUE FOR VILLAGE REVIEW

2023-0196  
PROJECT NUMBER

12-27-2023  
DATE

LGI GC  
DRAWN BY FINAL REVIEW

COPYRIGHT - LINDEN GROUP INC.  
ALL RIGHTS RESERVED.  
ALL DRAWINGS, SPECIFICATIONS, PANEL CONCEPTS, APPROVALS AND  
REVISIONS REPRESENTED OR REFERRED TO IN THESE DOCUMENTS  
ARE THE PROPERTY OF LINDEN GROUP INC. AND SHALL REMAIN THE PROPERTY OF  
LINDEN GROUP INC. NO PART OF THE ABOVE MAY BE REPRODUCED OR  
TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE EXPRESS WRITTEN  
AUTHORIZATION OF LINDEN GROUP INC.

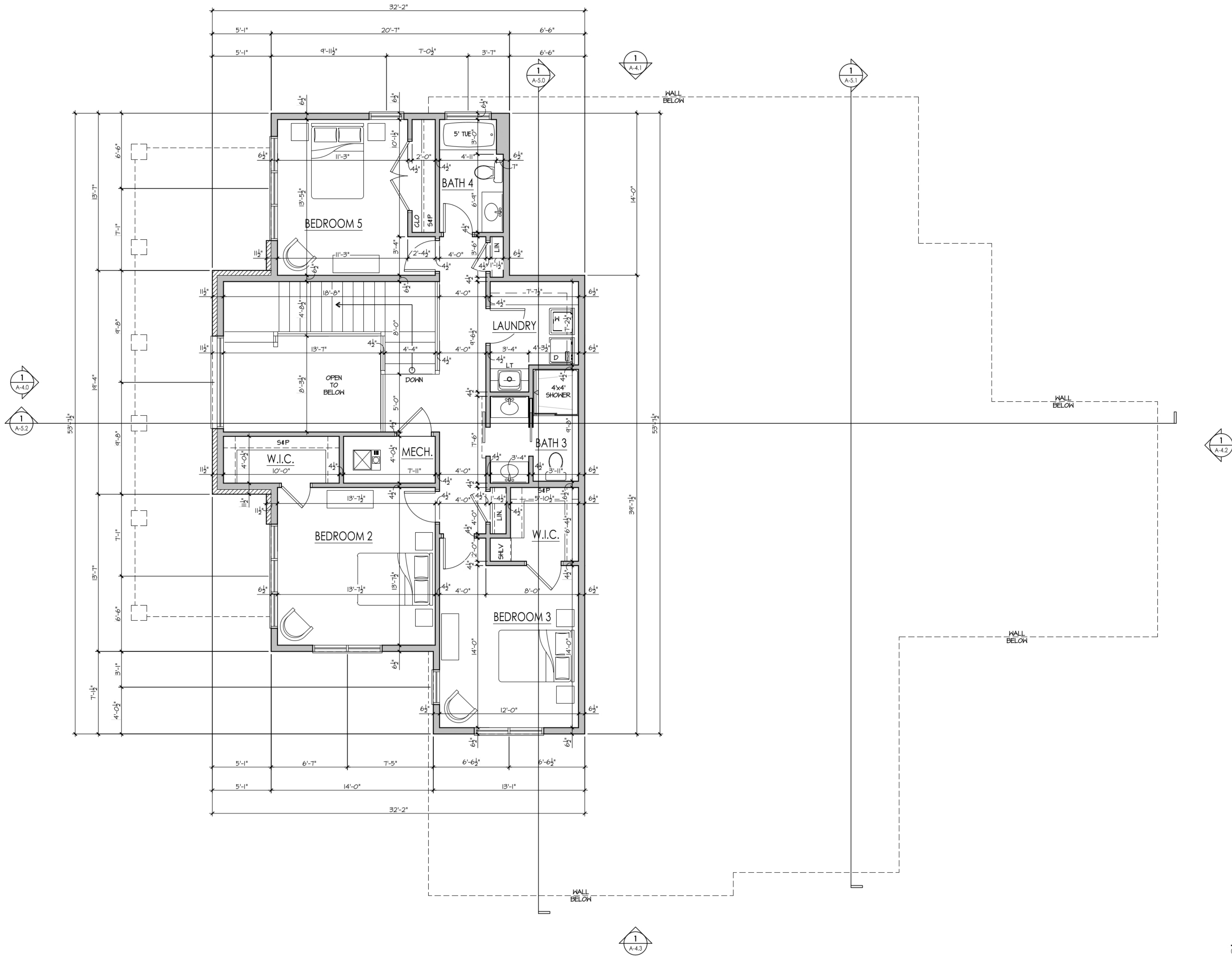
MAIN LEVEL  
FLOOR PLAN

SHEET NAME

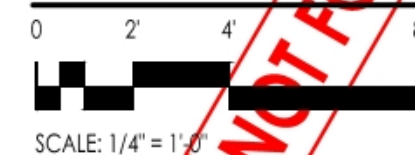
A-1.2

SHEET





1,126.4 SQ. FT.  
UPPER LEVEL FLOOR PLAN



ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
10100 ORLAND PARKWAY SUITE 110  
ORLAND PARK, ILLINOIS 60467  
(708) 799-4400  
WWW.LINDENGROUPINC.COM

Proposed Residence for  
**William and Donna**  
**LANIGAN**  
219 Pacific Street  
Frankfort, IL

DRAWN DESCRIPTION  
DATE 2023-10-06 TIMMY OWNER REVIEW  
2023-12-12 TIMMY PROGRESS REVISIONS  
2023-12-20 TIMMY ISSUE FOR VILLAGE REVIEW

2023-0196  
PROJECT NUMBER

12-21-2023  
DATE

LGI GC  
DRAWN BY FINAL REVIEW

COPYRIGHT - LINDEN GROUP INC.  
ALL RIGHTS RESERVED.  
ALL DRAWINGS, SPECIFICATIONS, DETAILS, CONCEPTS, ARRANGEMENTS  
AND NOTATIONS REPRESENTED OR REFERRED TO IN THESE DOCUMENTS  
ARE THE PROPERTY OF LINDEN GROUP INC. AND SHALL REMAIN THE PROPERTY OF  
LINDEN GROUP INC. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED  
OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN  
AUTHORIZATION OF LINDEN GROUP INC.

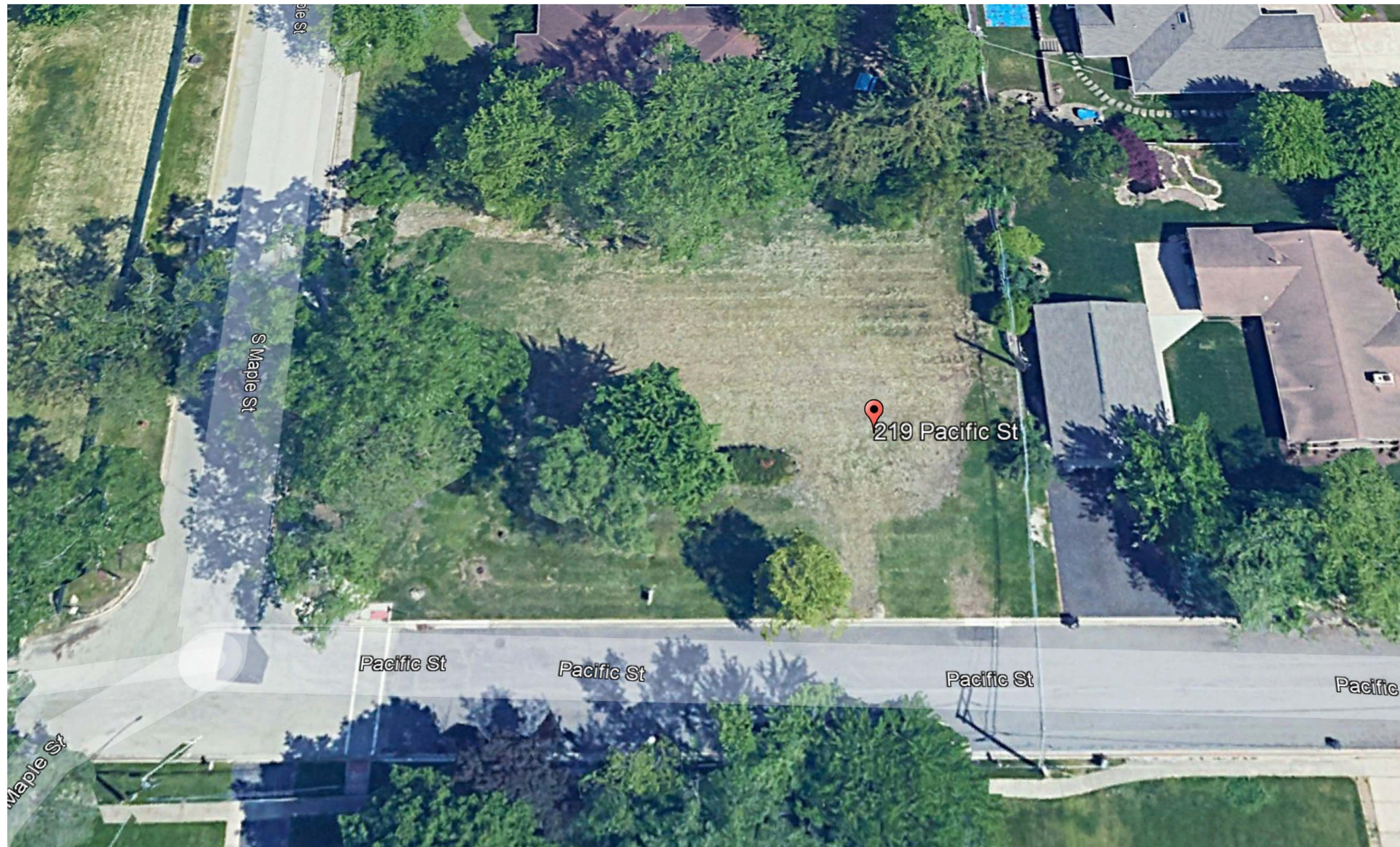
UPPER LEVEL  
FLOOR PLAN

SHEET NAME

A-1.3

SHEET





Concept  
Design - Frankfort Submittal 01

219 Pacific Street Frankfort, IL

**William and Donna Lanigan Residence**



No. 2021-0160 12.26.2023  
COPYRIGHT 2023 LGI



P:\2023\2023-0196-Drawing\2023-0196-A-4.0.DWG 2/29/2024 2:55 PM 607642210 A-4.0  
COPYRIGHT - LINDEN GROUP INC. ALL RIGHTS RESERVED.  
ALL DRAWINGS, SPECIFICATIONS, NOTES, CONCEPTS, INFORMATION AND OTHER REPRESENTATIONS REFERENCED IN THESE DOCUMENTS ARE THE PROPERTY OF LINDEN GROUP INC. AND SHALL BE THE PROPERTY OF LINDEN GROUP INC. NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF LINDEN GROUP INC.



ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
10100 ORLAND PARKWAY SUITE 110  
ORLAND PARK, ILLINOIS 60467  
(708) 799-4400  
WWW.LINDENGROUPLINC.COM



**Benedetti Homes  
& Development, Inc.**  
www.benedettilhomes.com  
(708) 250-1941

Proposed Residence for  
**William and Donna  
LANIGAN**  
219 Pacific Street  
Frankfort, IL

DATE: 2023-12-06  
DRAWN: TWH/KY  
DESCRIPTION: OWNER REVIEW  
2023-12-12 TWH/KY  
2023-12-20 TWH  
2024-01-03 TWH  
2024-01-03 TWH  
PROCESS REVISIONS  
ISSUE FOR VILLAGE REVIEW  
DRIVEWAY REVISION

**2023-0196**  
PROJECT NUMBER

**2-29-2024**  
DATE

**LGI** **GC**  
DRAWN BY FINAL REVIEW

COPYRIGHT - LINDEN GROUP INC.  
ALL RIGHTS RESERVED.  
ALL DRAWINGS, SPECIFICATIONS, NOTES, CONCEPTS, INFORMATION AND OTHER REPRESENTATIONS REFERENCED IN THESE DOCUMENTS ARE THE PROPERTY OF LINDEN GROUP INC. AND SHALL BE THE PROPERTY OF LINDEN GROUP INC. NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF LINDEN GROUP INC.

EXTERIOR  
ELEVATIONS

SHEET NAME  
**A-4.0**  
SHEET



RECEIVED

By Christopher Gruba at 8:54 am, Mar 01, 2024

10'-11 1/8"  
T-10'  
GRT RM BRG.  
EL.: 164.31  
T/ WINDOWS  
EL.: 167.10  
FIRST FLOOR  
EL.: 154.21



MAXIMUM HEIGHT  
EL.: 142.75

T/ ROOF PEAK  
EL.: 140.82

DECORATIVE  
SPIRE

30 YEAR ASPHALT  
ARCHITECTURAL  
ROOF SHINGLES

TYP. CLG. BEARING  
EL.: 118.86  
T/ WINDOWS  
EL.: 111.60

ALUMINUM CLAD  
DOUBLE HUNG  
WINDOWS  
STANDING SEAM  
PRE-FINISHED  
METAL ROOF

SECOND FLOOR  
EL.: 161.16  
TYP. CLG. BEARING  
EL.: 168.31

WRAPPED  
PORCH  
COLUMNS

VERTICAL CABLE  
RAILING

FIRST FLOOR  
EL.: 154'-3 1/4"  
T/ FOUNDATION  
EL.: 151.75

STONE  
MASONRY  
VENEER

1 NORTH ELEVATION  
1/4" = 1'-0"

35'-0"  
33'-0 1/2"  
9'-11 1/8"  
T-10'  
9'-11 1/8"  
9'-11 1/8"  
MAXIMUM HEIGHT  
EL.: 142.75  
T/ ROOF PEAK  
EL.: 140.82  
DECORATIVE  
SPIRE  
30 YEAR ASPHALT  
ARCHITECTURAL  
ROOF SHINGLES  
TYP. CLG. BEARING  
EL.: 118.86  
T/ WINDOWS  
EL.: 111.60  
CEMENT BOARD  
FASCIA  
ALUMINUM  
GUTTERS  
HIGH GARAGE BEARING  
EL.: 111'-10"  
SECOND FLOOR  
EL.: 161.16  
GARAGE BEARING  
EL.: 168'-3 1/4"  
STONE MASONRY  
VENEER  
CEMENT BOARD  
SIDING & TRIM  
CUT STONE SILLS  
WITH BRICK  
SOLDIER COURSE  
FIRST FLOOR  
EL.: 154.21  
T/ FOUNDATION  
EL.: 151.75



TYP. CLG. BEARING  
EL.: 118.86

SECOND FLOOR  
EL.: 161.16  
TYP. CLG. BEARING  
EL.: 168.31  
T/ WINDOWS  
EL.: 167.10

FIRST FLOOR  
EL.: 154.21  
T/ FOUNDATION  
EL.: 151.75

BASEMENT FLOOR  
EL.: 148.25

1 EAST ELEVATION  
1/4" = 1'-0"



ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
10100 ORLAND PARKWAY SUITE 110  
ORLAND PARK, ILLINOIS 60467  
(708) 799-4400  
WWW.LINDENGROUPINC.COM



Benedetti Homes  
& Development, Inc.  
www.benedettihomes.com  
(708) 250-1941

Proposed Residence for  
William and Donna  
LANIGAN  
219 Pacific Street  
Frankfort, IL

DATE	DRAWN	DESCRIPTION
2023-12-06	TWH/KY	OWNER REVIEW
2023-12-12	TWH/KY	PROCESS REVISIONS
2023-12-20	TWH	ISSUE FOR VILLAGE REVIEW
2024-01-03	TWH	DRIVEWAY REVISION

2023-0196

PROJECT NUMBER

2-29-2024

DATE

LGI GC

DRAWN BY FINAL REVIEW

COPYRIGHT - LINDEN GROUP INC.  
ALL RIGHTS RESERVED.  
ALL DRAWINGS, SPECIFICATIONS, NOTES, CONDITIONS, AND SCHEDULES  
AND OTHERS REPRESENTED OR REFERRED TO IN THESE DOCUMENTS  
ARE HEREBY ACCEPTED AND APPROVED BY THE PROJECT OF  
LINDEN GROUP INC. NONE OF THE ABOVE MAY BE REPRODUCED OR  
ANY PORTION THEREOF FOR ANY PURPOSES WITHOUT THE EXPRESS WRITTEN  
AUTHORIZATION OF LINDEN GROUP INC.

NORTH  
ELEVATION

SHEET NAME

A-4.1

SHEET



**RECEIVED**  
By Christopher Gruba at 8:45 am, Feb 29, 2024



FRONT ELEVATION RENDERING PRESENTED AT WORKSHOP MEETING 02/08/2024



REVISED FRONT ELEVATION RENDERING PRESENTED AT PLAN COMMISSION MEETING 03/07/2024

- 1. Increased depth of second floor window above front door and added a framed cement board wrapped bump-out around this large focal window
- 2. Front Door has 12" sidelights on either side, small windows in stone have been eliminated
- 3. Eliminated two porch columns and stone bases to open up views to covered front porch. Increased size of Porch Columns
- 4. Lowered the stone base of the remaining four porch columns
- 5. Stone wall is stepped on either side of steps up to Porch

NOTED OWNER DESIGN REVISIONS FOR 03/07/2024 MEETING:

- We have tweaked exterior colors to a lighter/creamier beige, all cladding materials are in the same location as previously presented.
- 6. Added a small shed roof (with matching brackets) over Garage window on west side, PROJECTION IS 2'-0" FROM FACE OF CEMENT BOARD SIDING.
- 7. Incorporated standing seam metal roof here
- 8. Increased height of brick on this side of garage, +/- 18"
- 9. Overall exterior design for siding is now utilizing a thinner exposure for the cement board horizontal siding, 4" exposure in lieu of 6" as previously drawn...For a more historic look...





FRONT ELEVATION RENDERING PRESENTED AT WORKSHOP MEETING 02/08/2024

9. Overall exterior design for siding is now utilizing a thinner exposure for the cement board horizontal siding, 4" exposure in lieu of 6" as previously drawn...For a more historic look...



REVISED FRONT ELEVATION RENDERING PRESENTED AT PLAN COMMISSION MEETING 03/07/2024

## WEST ELEVATION

## William and Donna Lanigan Residence

COPYRIGHT 2024 LGI



**Project:** Bear Down Barbeque & Catering Company  
**Meeting Type:** Public Hearing  
**Request:** Special Use Permit, full-service restaurant with liquor sales  
**Location:** 20857 & 20859 S. La Grange Road  
**Applicant:** Rashid Riggins  
**Prop. Owner:** Butera Center Management, Inc.  
**Representative:** Rashid Riggins  
**Plan Reviewer:** Christopher Gruba, Senior Planner

### Site Details

**Lot Size:** 10.58 Acres  
**PIN(s):** 19-09-22-100-051-0000  
**Existing Zoning:** B-2  
**Proposed Zoning:** N/A  
**Buildings:** 3  
**Total Sq. Ft. tenant:** 2,063 SF (proposed)

### Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Commercial	Commercial	B-2
<b>North</b>	Commercial	Commercial	B-2/B-4
<b>South</b>	Commercial	Commercial	B-2
<b>East</b>	Res. Townhomes	Single-Family Attached Residential	R-4
<b>West</b>	Commercial	Commercial	B-2

Figure 1. Location Map



### Project Summary

Bear Down Barbeque & Catering Company is an existing carry-out restaurant located in the southeast corner of the former Butera shopping plaza. The applicant is proposing to expand their existing restaurant and transition to a full-service restaurant with liquor sales. The existing tenant space at 20857 S. La Grange Road is 1,151 square feet and they would add 912 square feet from the adjacent tenant space at 20859 S. La Grange Road (formerly Computer Repair), for a total of 2,063 square feet. The floor plan illustrates 13 tables, with 4 persons per table, for an assumed guest occupancy of 52 people. There are no planned changes to the exterior of the building, nor is any outdoor seating proposed. A bar seating area is not proposed.

### Attachments

- Aerial photograph scale 1:2,000, prepared by staff GIS
- Survey of property
- Floor plan provided by the architect, received March 1, 2024
- Findings of Fact for a Special Use Permit, completed by the applicant, received January 16, 2024
- Special Use Findings of Fact Commissioner Evaluation Form
- Parking analysis of Butera shopping plaza (existing & proposed regulations)
- Description of business and hours of operation, received via email February 29, 2024
- Current menu of Bear Down Barbeque & Catering Company (from website)



## Analysis

---

In consideration of the request, staff offers the following points of discussion:

### Parking:

The Village is currently reviewing a Zoning Ordinance text amendment for parking requirements. The Butera shopping plaza is technically deficient by 299 spaces per the existing requirements and would be deficient by 204 spaces per the proposed regulations. However, it's generally accepted that this plaza is not deficient based on actual parking demand and could even be considered to have a surplus of parking.

The existing parking regulations require 1 space for every 100 square feet of gross floor area, plus 1 for each employee. The area, after the expansion, will be 2,063 square feet, requiring 21 parking spaces, plus employees.

The Zoning Ordinance permits the Plan Commission to adjust the parking required in business and industrial districts on a case-by-case basis. Given that a parking deficiency has not been noted at this plaza, and the fact the shopping center provides for 501 existing spaces that are shared parking among all tenants, staff recommends that the Plan Commission consider approving an adjustment to the required on-site parking from 21 spaces to 0 spaces per Article 7, Section B, Part 5 (b) of the Zoning Ordinance as follows:

*"The following provisions and factors shall be used as a basis to adjust parking requirements:*

- 1. Evidence That Actual Parking Demands will be Less Than Ordinance Requirements. The petitioner shall submit written documentation and data to the satisfaction of the Plan Commission that the operation will require less parking than the Ordinance requires.*
- 2. Availability of Joint, Shared or Off-Site Parking. The petitioner shall submit written documentation to the satisfaction of the Plan Commission that joint, shared, or off-site parking spaces are available to satisfy the parking demand.*
  - a) Agreements shall be provided which demonstrate evidence that either parking lots are large enough to accommodate multiple users (joint parking) or that parking spaces will be shared at specific times of the day (shared parking, where one activity uses the spaces during daytime hours and another activity uses the spaces during evening hours.)*
  - b) Off-site parking lots may account for not more than 50-percent of the required parking and shall be located not more than three-hundred (300) feet from the principal use that it is intended to serve."*

The applicant has not provided evidence or written documentation as noted above. However, staff has performed a thorough parking analysis of this shopping plaza as part of the proposed parking requirements text amendment (attached).

### Liquor Sales:

In an email to staff sent February 15, 2024, the applicant noted the following regarding liquor sales: *"We will have a very small liquor option that will grow as time goes on to about a normal level of liquor options. To start we will just do beer and wine in prepackaged bottles, and simple drinks like whisky/rum & cokes, vodka and cranberry, and gin and orange juice. Our income will definitely be mostly from the meats, but we do look forward to it being supplemented by the adult beverages that our customers have been hoping we'd eventually get for years".* The Zoning Ordinance's definition of a full-service restaurant says that food sales "shall comprise a majority of all revenues generated by the business". If liquor comprises a majority of all revenues, the use will fall into the category of "tavern". Staff recommends adding this as a condition of approval, should the PC/ZBA recommend approval to the Board.

#### Restroom Facilities:

The Building Department has noted that the proposed full-service restaurant with liquor sales will require 1 women's toilet, 1 men's toilet and 1 urinal per the IL State Plumbing Code. The proposed restroom facilities comply with this requirement.

#### ***Standards for Special Use***

---

No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

#### ***Findings for Consideration***

---

The Plan Commission/Zoning Board of Appeals finds:

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

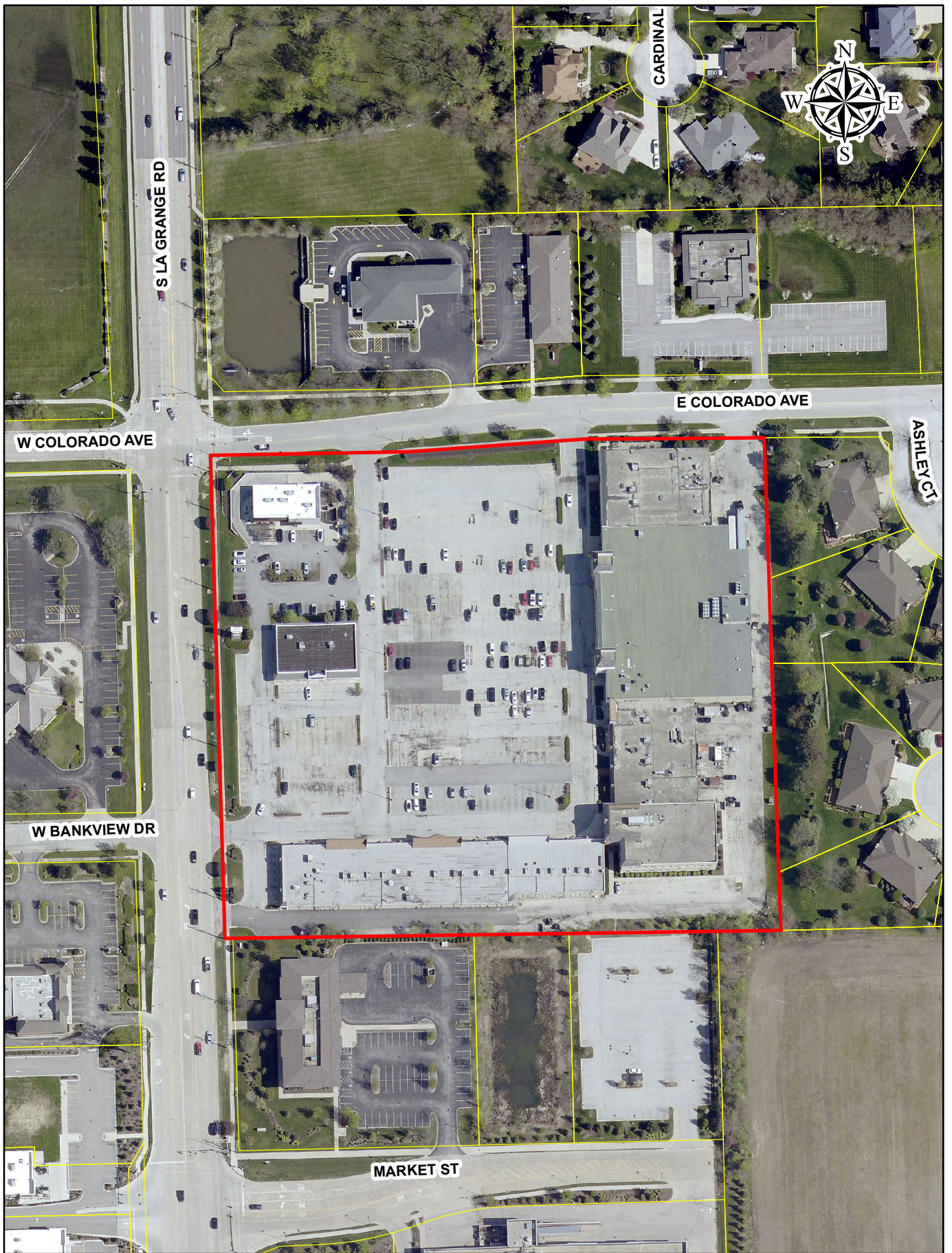
### ***Affirmative Motions***

---

1. Approve an adjustment to the minimum number of required parking spaces from 21 spaces to 0 spaces to allow the existing 501 parking spaces on the property to serve the existing businesses and the proposed expanded restaurant;
2. Recommend the Village Board approve a Special Use Permit to allow a full-service restaurant with liquor sales on the property located at 20857 and 20859 S. La Grange Road (total 2,063 square feet), in accordance with the reviewed plans, public testimony and findings of fact, conditioned upon final engineering and that food sales shall comprise the majority of all revenues generated by the business.



# 20857 S. La Grange - Bear Down BBQ



46 0 125 250 500 Feet



RECEIVED

By Christopher Gruba at 1:30 pm, May 11, 2022

# LAND TITLE SURVEY

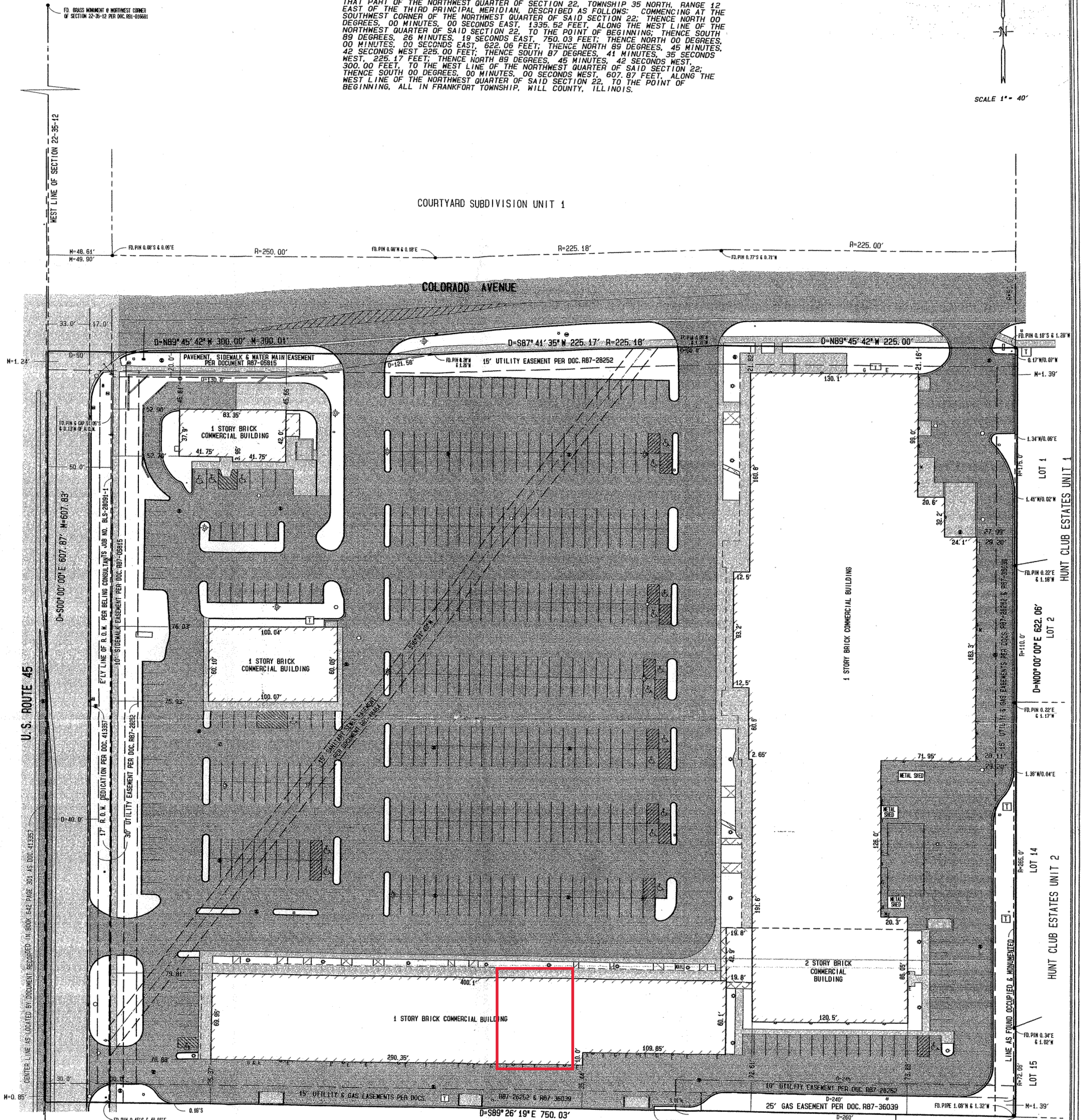
Order No. 012687A

THAT PART OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 22; THENCE NORTH 00 DEGREES, 00 MINUTES, 00 SECONDS EAST, 1335.52 FEET, ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 22, TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES, 26 MINUTES, 19 SECONDS EAST, 750.03 FEET; THENCE NORTH 00 DEGREES, 00 MINUTES, 00 SECONDS EAST, 622.06 FEET; THENCE NORTH 89 DEGREES, 45 MINUTES, 42 SECONDS WEST, 225.00 FEET; THENCE SOUTH 87 DEGREES, 44 MINUTES, 35 SECONDS WEST, 225.17 FEET; THENCE NORTH 89 DEGREES, 45 MINUTES, 42 SECONDS WEST, 300.00 FEET, TO THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 22; THENCE SOUTH 00 DEGREES, 00 MINUTES, 00 SECONDS WEST, 607.87 FEET, ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 22, TO THE POINT OF BEGINNING, ALL IN FRANKFORD TOWNSHIP, WILL COUNTY, ILLINOIS.

SCALE 1" = 40'

COURTYARD SUBDIVISION UNIT 1

COLORADO AVENUE



P. I. N. 09-22-100-060

UNSUBDIVIDED LAND

P. I. N. 09-22-100-046

## GENERAL NOTES:

- THE LEGAL DESCRIPTION, EASEMENTS AND BUILDING LINES SHOWN HEREON ARE PER TITLE COMMITMENT PREPARED BY CHICAGO TITLE INSURANCE COMPANY AND KNOWN AS NO. 1410 001382543 MB WITH AN EFFECTIVE DATE OF OCTOBER 4, 2001.
- NOTE: UTILITY INFORMATION SHOWN IS BASED ON VISIBLE SURFACE EVIDENCE ONLY. MARKING: BEFORE BEGINNING ANY CONSTRUCTION CONTACT J.U.L.I.E. FOR UTILITY STAKING AT 1-800-692-0123.
- EASEMENT PROVISIONS PER SCHEDULE B OF CHICAGO TITLE INSURANCE COMMITMENT 1410-000462853 KA.  
EXCEPTION 1 - C- UTILITY LETTERS WERE NOT PROVIDED BY CLIENT FOR OUR REVIEW  
EXCEPTION 2 - THIS INFORMATION CONTAINED THEREIN HAS NOT BEEN SHOWN.  
EXCEPTION 3 - DOES NOT PERTAIN TO MATTERS OF SURVEY  
EXCEPTION 4 - DOES NOT PERTAIN TO MATTERS OF SURVEY  
EXCEPTION 5 - DOES NOT PERTAIN TO MATTERS OF SURVEY  
EXCEPTION 6 - DOES NOT PERTAIN TO MATTERS OF SURVEY  
EXCEPTION 7 - DOES NOT PERTAIN TO MATTERS OF SURVEY  
EXCEPTION 8 - DOES NOT PERTAIN TO MATTERS OF SURVEY  
EXCEPTION 9 - DOES NOT PERTAIN TO MATTERS OF SURVEY  
EXCEPTION 10 - DOES NOT PERTAIN TO MATTERS OF SURVEY  
EXCEPTION 11 - DOES NOT PERTAIN TO MATTERS OF SURVEY  
EXCEPTION 12 - APPLIES AND AFFECTS THE PROPERTY AS SHOWN ON SURVEY  
EXCEPTION 13 - DOES NOT PERTAIN TO MATTERS OF SURVEY  
EXCEPTION 14 - APPLIES AND AFFECTS THE PROPERTY AS SHOWN ON SURVEY  
EXCEPTION 15 - APPLIES AND AFFECTS THE PROPERTY AS SHOWN ON SURVEY  
EXCEPTION 16 - APPLIES AND AFFECTS THE PROPERTY AS SHOWN ON SURVEY  
EXCEPTION 17 - APPLIES AND AFFECTS THE PROPERTY AS SHOWN ON SURVEY  
EXCEPTION 18 - DOES NOT PERTAIN TO MATTERS OF SURVEY  
EXCEPTION 19 - DOES NOT PERTAIN TO MATTERS OF SURVEY

## SURFACE FEATURES LEGEND

- CATCH BASIN
- INLET
- WATER VALVE
- SEWER MANHOLE
- ELECTRICAL MANHOLE
- I. B. T. MANHOLE
- TRAFFIC SIGNAL
- FIRE HYDRANT
- UTILITY POLE
- STREET LIGHT
- TRAFFIC SIGNAL VAULT
- GAS VALVE
- ELECTRIC
- GAS METER
- TELEPHONE BOX
- TRANSFORMER

TO CHICAGO TITLE INSURANCE COMPANY FOR COMMITMENT NO. 1410 001382543 MB

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS MADE IN ACCORDANCE WITH MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 1999, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, AND 11A OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNDERSIGNED FURTHER CERTIFIES THAT THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE.

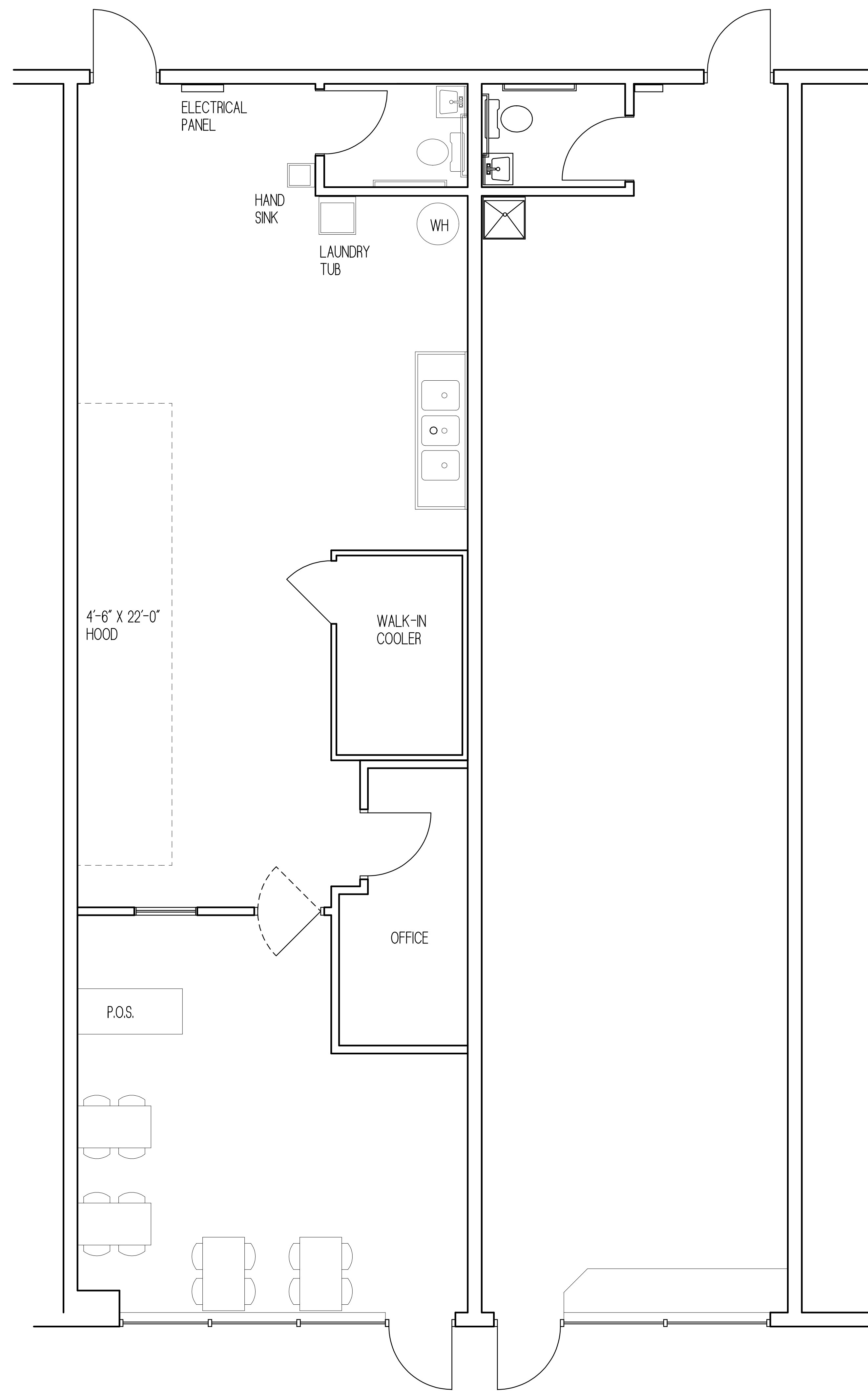
DATE OF SURVEY: NOVEMBER 26, 2001  
DATE ISSUED: DECEMBER 10, 2001

COURTNEY W. SHROPSHIRE IV, PLS 2783

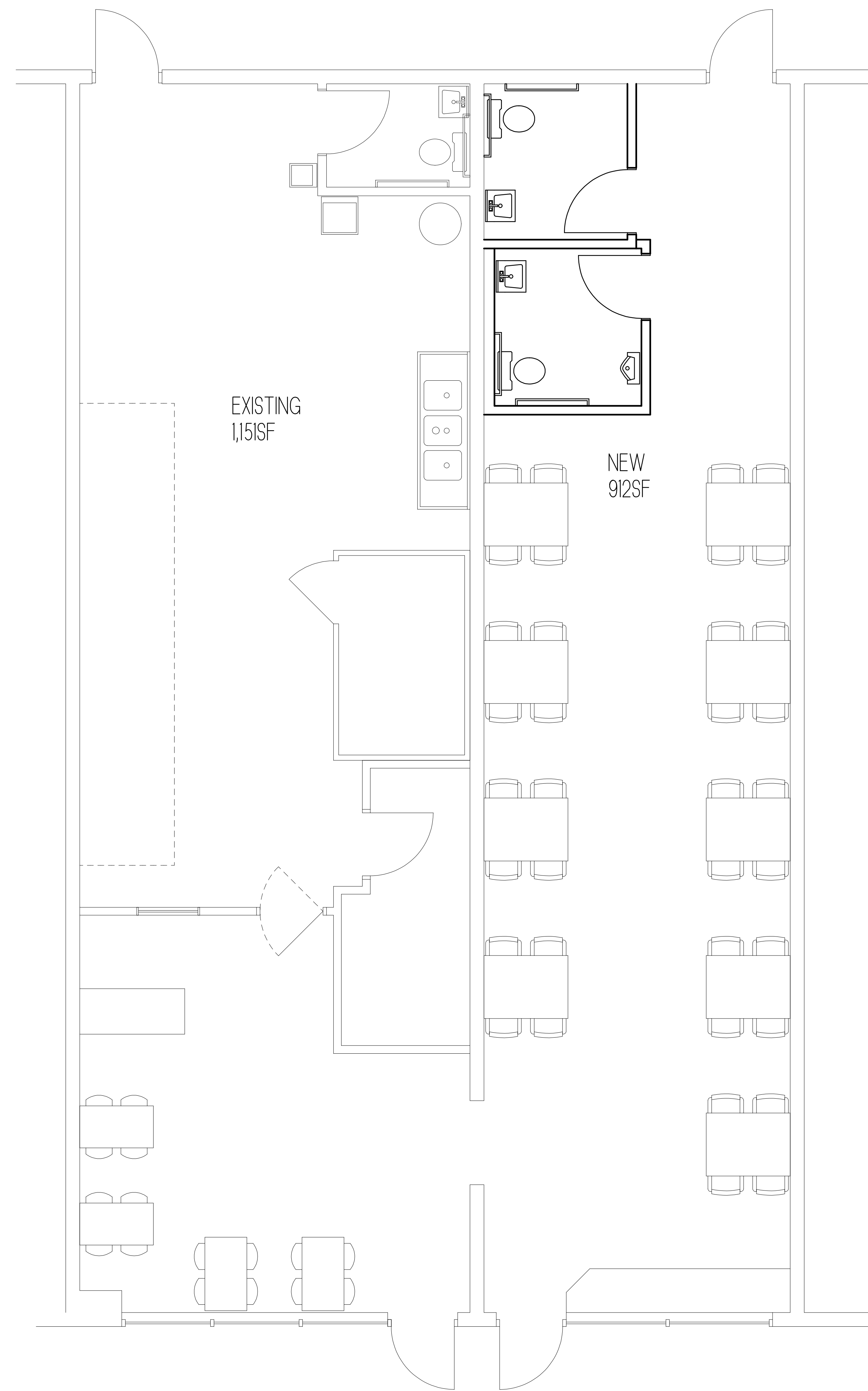
**LAND DIVISIONS, Inc.**  
Professional Surveying Services  
P.O. Box 835  
West Dundee, Illinois 60118  
(847) 551-9171 (847) 551-9193 Fax



**RECEIVED**  
By Christopher Gruba at 8:30 am, Mar 01, 2024



EXISTING FLOOR PLAN  
SCALE 1/4" = 1'-0"



PROPOSED FLOOR PLAN  
SCALE 1/4" = 1'-0"

MICHAEL J. COLLINS  
LICENSED ARCHITECT #001.014246

825 STONEBRIDGE ROAD, FRANKFORT, IL 60423 (815) 693-8101

BEAR DOWN BARBECUE  
20857 SOUTH LA GRANGE ROAD  
FRANKFORT, ILLINOIS 60423



Application for Plan Commission / Zoning Board of Appeals Review  
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.

We believe that the establishment, maintenance, and operation of our full-service restaurant with accessory liquor sales will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare. Our business has a history of providing high-quality food and service, and we are committed to maintaining a safe and welcoming environment

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

We assert that our special use will not be injurious to the use and enjoyment of other properties in the immediate vicinity, nor will it substantially diminish or impair property values within the neighborhood. We aim to enhance the local dining scene and contribute positively to the community.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

We are confident that the establishment of our full-service restaurant will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

The exterior architectural appeal and functional plan of our proposed structure have been carefully designed to harmonize with the structures already constructed or in the course of construction in the immediate neighborhood. We believe this will not cause substantial depreciation in property values within the neighborhood.

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

Adequate utilities, access roads, drainage, and necessary facilities have been and will continue to be provided to support our expanded business operations.

6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

We have taken and will continue to take adequate measures to provide ingress and egress designed to minimize traffic congestion in public streets, ensuring a smooth flow of traffic in the vicinity.

7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

We assure you that our special use shall, in all other respects, conform to the applicable regulations of the district in which it is located. Any necessary modifications will be made in accordance with the recommendations of the Plan Commission and the approval of the Village Board.





### Findings of Fact Commissioner Evaluation Form - Special Use Permit

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. No special use shall be recommended by the Plan Commission unless all the following findings are made.

	STANDARD	NOTES	MEETS	
a.	That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.		YES	NO
b.	That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.		YES	NO
c.	That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.		YES	NO
d.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.		YES	NO

e.	That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.		YES	NO
f.	That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.		YES	NO
g.	That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.		YES	NO

BUTERA CENTER			EXISTING REGULATIONS			
Address	Tenant	Use	Area	Requirement	Estimated employees	Parking Req'd
20883	Plaza Cleaner	Dry Cleaner	4200	1 per 200 GFA, + 1 ea. employee	5	26
20855/101	Be Well Chiropractic	Health Office	1000	3 per exam room, + 1 each employee	5	11
20855/200	Mind and Health	Health Office	757	3 per exam room, + 1 each employee	3	6
20855/202	Personal Solutions	Health Office	1425	3 per exam room, + 1 each employee	3	12
20855/208	Personal Solutions	Health Office	1286	3 per exam room, + 1 each employee	3	12
20855/209	Personal Solutions	Health Office	1188	3 per exam room, + 1 each employee	3	12
20871	Facen 4ward	Indoor Entertainment	1400	1 per 4 pple max occupancy + 1 ea. employee	3	19
20861	Crisis Rooms	Indoor Entertainment	4200	1 per 4 pple max occupancy + 1 ea. employee	3	21
20855/205	Lydia Hodges/ Doorway 11	Massage	2400	1 per 200 GFA + 1 ea. employee	3	15
20873	M R Gold & Silver	Retail	1400	1 per 250 GFA, + 1 per ea. employee	2	8
20821	Bargain Mania	Retail	39348	1 per 250 GFA, + 1 per ea. employee	10	168
20815	Tiny Tots	Indoor Recreation	4186	1 per 4 pple max occupancy + 1 ea. employee	3	30
20855/100	VACANT	Retail (assumed)	1150	1 per 250 GFA, + 1 per ea. employee	2	7
20855/103	VACANT	Retail (assumed)	525	1 per 250 GFA, + 1 per ea. employee	1	4
20855/105	VACANT	Retail (assumed)	2058	1 per 250 GFA, + 1 per ea. employee	2	11
20875	Lincoln Travel	Office	1400	1 per 200 GFA		7
20855/102	VACANT	Retail (assumed)	2300	1 per 250 GFA, + 1 per ea. employee	2	12
20855/104	VACANT	Retail (assumed)	432	1 per 250 GFA, + 1 per ea. employee	1	3
20855/201	VACANT	Retail (assumed)	1275	1 per 250 GFA, + 1 per ea. employee	2	8
20879	Salt Cave	Personal Services	4200	1 per 200 GFA, + 1 ea. employee	3	24
20867	Barber Shop	Personal Services	900	1 per 200 GFA, + 1 ea. employee	2	7
20887	Jeff Lamorte	Personal Services	6000	1 per 200 GFA, + 1 ea. employee	10	40
20863	Frankfort Computer Repair	Repair Services	900	1 per 400 GFA, + 1 ea. employee	3	6
20893	Subway	Restaurant	1750	1 per 75 GFA, + 0.5 per ea. employee	4	26
20857	Bear Down BBQ	Restaurant	1200	1 per 75 GFA, + 0.5 per ea. employee	3	18
20831	Amigo Mexican	Restaurant	2800	1 per 100 GFA, + 1 per ea. employee	5	33
20829	Chef Klaus	Restaurant	6400	1 per 100 GFA, + 1 per ea. employee	10	74
20805	Social 45	Restaurant	8710	1 per 100 GFA, + 1 per ea. employee	8	96
20811	Starbucks	Restaurant	2800	1 per 75 GFA, + 0.5 per ea. employee	6	41
20887	Red Dresser	Retail	4555	1 per 250 GFA, + 1 per ea. employee	2	21
20869	Vibe Nutrition	Retail	1400	1 per 250 GFA, + 1 per ea. employee	2	8
20833	US Tobacco	Retail	2800	1 per 250 GFA, + 1 per ea. employee	2	14
<b>Total Required</b>						<b>800</b>
<b>Total Available</b>						<b>501</b>
<b>Deficient</b>						<b>299</b>

BUTERA CENTER				PROPOSED REGULATIONS		
Address	Tenant	Use	Area	Requirement	Estimated employees	Parking Req'd
20883	Plaza Cleaner	Dry Cleaner	4200	1 per 200 GFA	5	21
20855/101	Be Well Chiropractic	Health Office	1000	1 per 250 GFA	5	4
20855/200	Mind and Health	Health Office	757	1 per 250 GFA	3	3
20855/202	Personal Solutions	Health Office	1425	1 per 250 GFA	3	6
20855/208	Personal Solutions	Health Office	1286	1 per 250 GFA	3	6
20855/209	Personal Solutions	Health Office	1188	1 per 250 GFA	3	5
20871	Facen 4ward	Indoor Entertainment	1400	1 per 200 GFA	3	7
20861	Crisis Rooms	Indoor Entertainment	4200	1 per 200 GFA	3	21
20855/205	Lydia Hodges/ Doorway 11	Massage	2400	1 per 240 GFA	3	10
20873	M R Gold & Silver	Retail	1400	1 per 250 GFA	2	6
20821	Bargain Mania	Retail	39348	1 per 250 GFA	10	158
20815	Tiny Tots	Indoor Recreation	4186	1 per 200 GFA	3	21
20855/100	VACANT	Unknown	1150	1 per 100 GFA	2	12
20855/103	VACANT	Unknown	525	1 per 100 GFA	1	6
20855/105	VACANT	Unknown	2058	1 per 100 GFA	2	21
20875	Lincoln Travel	Office	1400	1 per 300 GFA		5
20855/102	VACANT	Unknown	2300	1 per 100 GFA	2	23
20855/104	VACANT	Unknown	432	1 per 100 GFA	1	5
20855/201	VACANT	Unknown	1275	1 per 100 GFA	2	13
20879	Salt Cave	Personal Services	4200	1 per 240 GFA	3	18
20867	Barber Shop	Personal Services	900	1 per 240 GFA	2	4
20887	Jeff Lamorte	Personal Services	6000	1 per 240 GFA	10	25
20863	Frankfort Computer Repair	Repair Services	900	1 per 400 GFA	3	3
20893	Subway	Restaurant (carry out)	1750	1 per 100 GFA	4	18
20857	Bear Down BBQ	Restaurant (carry out)	1200	1 per 100 GFA	3	12
20831	Amigo Mexican	Restaurant (carry out)	2800	1 per 100 GFA	5	28
20829	Chef Klaus	Restaurant (full service)	6400	1 per 85 GFA	10	76
20805	Social 45	Restaurant (full service)	8710	1 per 85 GFA	8	103
20811	Starbucks	Restaurant (carry out)	2800	1 per 100 GFA	6	28
20887	Red Dresser	Retail	4555	1 per 250 GFA	2	19
20869	Vibe Nutrition	Retail	1400	1 per 250 GFA	2	6
20833	US Tobacco	Retail	2800	1 per 250 GFA	2	12
<b>Total Required</b>						<b>705</b>
<b>Total Available</b>						<b>501</b>
<b>Deficient</b>						<b>204</b>

**From:** [Rashid Riggins](#)  
**To:** [Chris Gruba](#)  
**Subject:** Re: Bear Down BBQ  
**Date:** Thursday, February 29, 2024 2:22:59 PM

---

Our barbecue company was created by a chef who is passionate about many of the different world cuisines, but the methodology of cooking foods with nothing more than wood, smoke and fire, in an old world traditional fashion is what inspired his true calling to become a Pitmaster!

We pride ourselves on being an authentic Smoke House. We create each and every rub (spice blend), marinade, and barbecue sauce from scratch with love in our very own kitchen. The same thing goes for our side dishes. Everything on our menu is created using high quality, all natural ingredients, and premium cuts of meat.

We really do work very hard to do things the right way, by matching each cut of meat with the right choice of smoke, rub, marinade, sauce, and cooking/smoking method. Our customer's health is very important, so we don't unnecessarily add extra butters, syrups, and sugars to our meats; just traditionally prepared, authentic smoky meat, that's perfectly seasoned.

Our attention to detail definitely creates a lot more work for us, but the value we place on our customers overall satisfaction with our product makes it all worth it. Our customers are extremely important to us, and we will always go out of our way to make them happy!

Pulled description from website.

Hours will be Tuesday - Saturday from 11-9pm

Rashid Riggins  
Proprietor & Pitmaster  
Bear Down Barbecue & Catering Co.  
20857 S. Lagrange Rd.  
Frankfort, IL 60423  
[www.beardownbarbecue.com](http://www.beardownbarbecue.com)  
[www.facebook.com/beardownbarbecue](https://www.facebook.com/beardownbarbecue)

## LUNCH SPECIALS (TUES.- FRI. 11AM-3:30PM)

ALL SPECIALS INCLUDE A SIDE AND BEVERAGE

1. PULLED PORK SANDWICH \$8
2. PULLED CHICKEN SANDWICH \$8
3. PORK RIB TIPS \$10
4. GRILLED BURGER \$10
5. CHICKEN TIPS \$11
6. HOT LINKS \$11
7. ANGUS BEEF BRISKET SANDWICH. \$12
8. PORK SPARE RIBS \$12

### LUNCH SPECIAL SIDE OPTIONS:

1. POT. SALAD / FRIES / C. SLAW / SPICY GREEN BEANS + \$0.00
2. COWBOY BEANS/ MAC-N-CHEESE + \$1
3. SEASONED FRIES/ ONION RINGS + \$.50

## COMBO'S

1. RIB & BRISKET W/FRIES \$26
2. TIPS & BRISKET W/FRIES \$24
3. TURKEY BREAST & BRISKET W/FRIES \$27
4. RIB & LINK W/FRIES \$20
5. TIP & LINK W/ FRIES \$18
6. RIB & FRIES SM. \$12 REG. \$21 LG. \$33
7. TIP & FRIES SM. \$10 REG. \$17 LG. \$27
8. CHICKEN TIP & FRIES SM. \$11 REG. \$19 LG. \$30
9. HOT LINKS W/FRIES SM. \$11 REG. \$19 LG. \$30
10. BURGER W/FRIES \$10
11. CHICKEN TENDERS W/FRIES \$8
12. FRIED CHICKEN SAND. W/FRIES \$10
13. 6PC CRISPY BUFFALO WINGS W/FRIES \$12
14. PIZZA PUFF W/FRIES \$8
15. BEEF DEEP FRIED POLISH W/GRILLED ONIONS & SAUCE W/FRIES \$8
16. SMOKED ANGUS BRISKET CHEESESTEAK W/FRIES \$23

## LUNCH SPECIAL

(TUES.- SAT. FROM 11am to 3PM)

PULLED PORK OR PULLED CHICKEN

SANDWICH W/FRY & DRINK \$10

CHOOSE PULLED BRISKET: \$14

COLE SLAW TOPPING: + \$1

## SANDWICHES

1. PULLED PORK SM. \$5 REG. \$8
2. PULLED CHICKEN SM. \$5 REG. \$8
3. PULLED BRISKET SM. \$9 REG. \$12
4. GRILLED BURGER \$7
5. GRILLED BURGER TOPPED W/BACON & PULLED PORK \$12



- |  |                                  |
|--|----------------------------------|
| 6. WILD CAUGHT SALMON SANDWICH                         | \$12                             |
| 7. FRIED CHICKEN SANDWICH                              | \$7                              |
| 8. TURKEY BURGER                                       | \$7                              |
| 9. CORKSCREW CUT JUMBO BEEF HOTDOG                     | \$4 W/SLAW: \$6                  |
| 10. 1LB MEGA BURGER                                    | \$20 W/BRISKET \$27 W/BACON \$22 |
| 11. BEEF DEEP FRIED POLISH<br>W/GRILLED ONIONS & SAUCE | \$5                              |
| 12. SMOKED ANGUS BRISKET CHEESESTEAK                   | \$20                             |

## MEATS BY THE POUND

- |                   |      |
|-------------------|------|
| 1. BRISKET        | \$28 |
| 2. TURKEY BREAST  | \$20 |
| 3. SPARE RIBS     | \$18 |
| 4. PULLED PORK    | \$16 |
| 5. PULLED CHICKEN | \$16 |
| 6. HOT LINKS      | \$16 |
| 7. CHICKEN TIPS   | \$16 |
| 8. PORK TIPS      | \$14 |

## SIDES

- |                               |                        |
|-------------------------------|------------------------|
| 1. MAC-N-CHEESE               | SM. \$4.50 LG. \$9.00  |
| 2. COWBOY BEANS               | SM. \$4.50 LG. \$9.00  |
| 3. SPICY GREEN BEANS          | SM. 3.50 LG. \$7.00    |
| 4. POTATO SALAD               | SM. 3.50 LG. \$7.00    |
| 5. COLE SLAW                  | SM. \$3.50 LG. \$7.00  |
| 6. FRESH CUT FRIES            | SM. \$3.00 LG. \$6.00  |
| 7. ONION RINGS                | SM. \$3.50 LG. \$6.50  |
| 7. F. CUT SEASONED FRIES      | SM. \$3.50 LG. 6.50    |
| 8. PITMASTER CUT STEAK FRIES  | SM. \$5.00 LG. \$10.00 |
| 9. P. CUT SEASONED STEAK FRY. | SM. 5.50 LG. 10.50     |

## DESSERTS

- |                    |           |
|--------------------|-----------|
| 1. PIE OF THE DAY  | SLICE \$5 |
| 2. CAKE OF THE DAY | SLICE \$5 |
| 3. BANANA PUDDING  | SLICE \$5 |

## SPECIALTY ITEMS

- |   |                     |
|---|---------------------|
| 1. MAC-N-CHEESE W/PORK OR CHICKEN                     | \$12 W/BRISKET \$17 |
| 2. BBQ SUNDAE (BEANS, MEAT, SLAW & SAUCE IN 16OZ CUP) |                     |
| CHICKEN OR PORK                                       | \$12                |
| BRISKET   | \$14                |
| 3. BRISKET & MAC-N-CHEESE SANDWICH                    | \$15                |

## LIMITED TIME

- |   |          |
|---|----------|
| 1. SMOKED PULLED PORK OR SMOKED<br>PULLED CHICKEN EGG ROLLS | \$3 EACH |
|---|----------|

## BEAR DOWN BBQ CATERING MENU

20857 S. LAGRANGE ROAD, FRANKFORT IL 60423  
(815) 464-1000 [www.beardownbarbecue.com](http://www.beardownbarbecue.com)

### EVENT / PARTY PACKAGES

- 25 PERSON / HEAD COUNT MINIMUM
- SERVED WITH SMALL BRIOCHE BUNS FOR PULLED MEAT OR BRISKET
- DISPOSABLE CHAFER SETUPS & DINNER MINTS
- PAPER PLATES, SERVINGWARE, NAPKINS, AND PLASTICWARE

#### TWO MEAT & TWO SIDES

- CARRY-OUT \$19 PER PERSON
- DELIVERY & SET UP \$21 PER PERSON

#### THREE MEAT & THREE SIDES

- CARRY-OUT \$23 PER PERSON
- DELIVERY & SET UP \$25 PER PERSON

SMOKED MEAT OPTIONS	PER POUND PRICING	HALF PAN 6LBS FULL PAN 12LBS
SPARE RIBS	\$18	\$108 / \$216
PORK RIB TIPS	\$12	\$72 / \$144
CHICKEN TIPS	\$12	\$72 / \$144
TURKEY BREAST	\$20	\$120 / \$240
ANGUS BEEF BRISKET	\$24	\$144 / \$288
PULLED PORK	\$16	\$96 / \$192
PULLED CHICKEN	\$16	\$96 / \$192
HOT LINKS	\$12	\$72 / \$144
WHOLE HOG	\$14	-----
WHOLE TURKEY	\$80	16-18LBS

SIDE OPTIONS	HALF PAN / FULL PAN
POTATO SALAD	\$30 / \$60
COLE SLAW	\$30 / \$60
HOUSE SALAD W/CUCUMBER	\$30 / \$60
COWBOY BEANS	\$35 / \$70
SMOKED MAC-N-CHEESE	\$35 / \$70
FRESH CUT FRYs	\$30 / \$60
FRESH CUT SEASONED FRYs	\$35 / \$70
BANANA PUDDING	\$35 / \$70

- SIDE HALF PAN, APPROXIMATELY 20-25 SERVINGS
- SMOKED MEAT, APPROXIMATELY 3 PEOPLE PER LB.

**Project:** Magic Massage LLC  
**Meeting Type:** Public Hearing  
**Request:** Special Use for Massage Establishment  
**Location:** 19989 S. La Grange Road  
**Applicant:** Sarah Hui (Jiahui Cai)  
**Prop. Owner:** Flosscom Hickory LLC  
**Consultant:** None  
**Representative:** Applicant  
**Report By:** Amanda Martinez, Planner

### Site Details

**Lot Size:** 4.75 acres  
**PIN:** 19-09-15-101-006-0000  
**Existing Zoning:** B-3/General Business District  
**Proposed Zoning:** B-3/General Business District, with a Special Use Permit for a Massage Establishment  
**Buildings / Lots:** 1 building / 1 lot (just south of Emagine)  
**Total Sq. Ft.:** 1,440 sq. ft. (tenant space)

### Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Commercial	General Commercial	B-3
<b>North</b>	Commercial	General Commercial	B-3
<b>South</b>	Commercial	General Commercial	B-3
<b>East</b>	Detention Pond	Environment Conservation	R-4
<b>West</b>	Commercial	General Commercial	B-3

**Figure 1. Location Map**



### Project Summary

Sarah Hui (Jiahui Cai), the applicant/tenant, on behalf of Flosscom Hickory LLC, property owner, has filed an application for a Special Use Permit to operate Magic Massage LLC located at 19989 S. La Grange Road, Frankfort, Illinois 60423 (PIN 19-09-15-101-006-0000). Per the Village Zoning Ordinance, to operate a massage establishment in the B-3 General Business District, a special use permit is required.

### Attachments

- Aerial Photograph from Will County GIS
- Site Photographs taken 3.1.24
- Plat of Survey dated 3.22.16
- Floor Plan received 2.12.24
- Business Operation Letter received 2.2.24

- Zoning Ordinance Article 5, Section C, Part 11.1, Use Regulations for Massage Establishments with Applicant Responses received 2.4.24
- Special Use Permit Findings of Fact Form with Applicant Responses received 2.2.24
- Special Use Permit Findings of Fact Form for Plan Commissioners

## **Analysis**

---

In consideration of the request, staff offers the following points of discussion:

### **Proposed Use**

- The applicant is seeking a special use permit to operate the business known as Magic Massage LLC located at 19989 S. La Grange Road.
- The subject property is a 4.75-acre lot (located in the Hickory Creek Marketplace, just south of Emagine) that has tenant spaces that are addressed 19973-19991 S. La Grange Road.
- The subject tenant space is approximately 1,440 square feet (roughly 18'x80'). The Hickory Creek Marketplace Plaza has ±46,000 square feet of in-line retail shops both north and south of the theater.
- Existing uses within the plaza include general retail, personal service, indoor entertainment (Emagine), fast-food, and full-service restaurants.
- The applicant does not have any other existing locations for the newly created LLC named Magic Massage LLC. The applicant/business owner provided staff with her licensed massage therapist certificate.
- The business plans operate every day by appointments and walk-ins with the proposed hours of operation of 10:00 a.m. to 9:00 p.m.
- Per the business operation letter, the business plans to offer the following massage options:
  - Swedish Massage
  - Deep Tissue Massage
  - Thai Massage
  - Couples Massage
  - Prenatal Massage
- Per the submitted floor plan, once patrons enter the business, there will be a front desk and sofas. There will be a 5'4" wide hallway that will lead to the massage rooms.
- Per the submitted floor plan, the applicant is proposing 5 massage therapy rooms. One of the massage rooms will be 7'x12'5", two of the massage rooms will be 8'x12'5", and two of the massage rooms will be 10'x12'5".
- To ensure that the massage rooms are well-lit, the applicant stated that the massage room walls will go 75% up to the ceiling, which complies with Article 5, Section C, Part 11 use regulations for Massage Establishments.
- Per the submitted floor plan, the applicant proposes two dressing rooms and a shower cubicle in the rear of the tenant space, just behind the massage rooms. There is an employee area in the rear of the tenant space that will house the laundry machines and utility sink. There is one bathroom in the rear of the tenant space for patrons and employees to use.
- Zoning Ordinance Article 5, Section C, Part 11 regards use regulations for Massage Establishments (attached). Per staff's request the applicant has provided responses to the regulations. The floor plan is also provided for reference. These regulations will get further reviewed by the Building Department prior to the issuance of a business license.

### **Existing Parking**

- The Hickory Creek Marketplace Plaza parking lot currently provides 558 parking spaces (255 spaces located in front of Emagine, 136 spaces north of Emagine, and 167 spaces south of Emagine). The 558 parking spaces are shared amongst the tenants in the plaza (excluding outlots).
- According to Ordinance 1654, there is an existing cross-access and parking agreement (R98-100594) with the adjacent parcels located within the Hickory Creek Marketplace Plaza.
- Per the submitted floor plan, there are 5 massage rooms. Staff typically would assume that there is at least one employee for each proposed massage room. The applicant stated that they would only have 1-2 employees at the start of their business operation for a soft opening.

- The proposed use is most closely associated with a “personal service” which the Zoning Code requires one (1) space per 200 square feet of gross floor area; plus, one (1) space per employee for the work shift with the largest number of employees. The subject tenant space is 1,440 square feet and will have up to 5 employees, equating to 13 required parking spaces. Staff notes that if only 2 employees were to be considered, 10 parking spaces would be required.
- Article 7 Section B Part 5 recognizes that parking requirements may be adjusted by the Plan Commission on a case-by-case basis when shared parking opportunities are present.

*“Adjustments. In all business and industrial districts, the minimum number of required parking spaces may be adjusted by the Plan Commission on a case-by-case basis. The petitioner for such an adjustment shall show to the satisfaction of the Plan Commission that adequate parking will be provided for customers, clients, visitors, and employees. The following provisions and factors shall be used as a basis to adjust parking requirements:*

*1. Evidence That Actual Parking Demands will be Less Than Ordinance Requirements. The petitioner shall submit written documentation and data to the satisfaction of the Plan Commission that the operation will require less parking than the Ordinance requires.*

*2. Availability of Joint, Shared or Off-Site Parking. The petitioner shall submit written documentation to the satisfaction of the Plan Commission that joint, shared or off-site parking spaces are available to satisfy the parking demand.”*

- Provided parking is sufficient and complies with the Village Ordinance’s off-street parking requirements for the mix of existing uses and the proposed massage establishment use. Staff’s parking analysis for the subject site is shown below (the proposed massage establishment use is bolded):

ADDRESS	BUSINESS NAME (USE CLASSIFICATION FOR PARKING)	UNIT (SQ. FT.)	PARKING SPACES REQUIRED (USE PARKING CALCULATION)
19917-19933	Goodwill (general retail)	20827	94 (1 per 250 sq. ft.; plus 1 per employee)
19965	Emagine (auditoriums, theaters and other places of assembly)	75164 (1,330 seats)	332 (1 per 4 patrons based on maximum capacity)
19973	Vacant (general retail)	1280	6 (1 per 250 sq. ft.)
19975	Pearle Vision (health clinic/office)	1280	15 (3 per exam room; plus 1 per employee)
19977	Vacant (general retail)	1600	7 (1 per 250 sq. ft.)
19979	Great Clips (personal service)	1200	11 (1 per 200 sq. ft.; plus 1 per employee)
19981A	LA TAN (personal service)	2000	15 (1 per 200 sq. ft.; plus 1 per employee)
19981B	La Bella Uniforms (general retail)	2000	13 (1 per 250 sq. ft.; plus 1 per

			<i>employee)</i>
19983	Hallmark (general retail)	5000	25 (1 per 250 sq. ft.; plus 1 per employee)
19985	La Michoacana (fast-food)	1372	21 (1 per 75 sq. ft.; plus 1 per 2 employees)
19987	Vacant (general retail)	1440	6 (1 per 250 sq. ft.)
<b>19989</b>	<b>Magic Massage (massage establishment)</b>	<b>1440</b>	<b>13 (1 per 200 sq. ft.; plus 1 per employee)</b>
19991	Distinctive Gold Jewelry (general retail)	3040	17 (1 per 250 sq. ft.; plus 1 per employee)
TOTAL REQUIRED			575
TOTAL PROVIDED ON-SITE			558
<i>*Surplus/Deficit</i>			<i>*-17</i>

\*Staff notes that the pending parking text amendment would consider this a surplus, not a deficiency.

### ***Standards for Special Uses***

---

Article 3, Section B, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use request. No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

### ***Affirmative Motion***

---

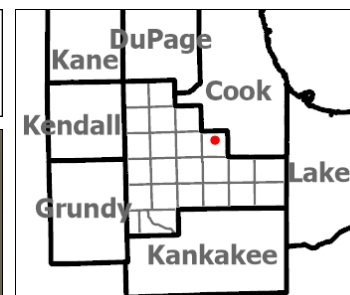
For the Plan Commission's consideration, staff is providing the following proposed affirmative motion for the special use request:

1. Approve an adjustment to the minimum number of required parking spaces to allow the existing 558 parking spaces in the subject plaza to serve the existing businesses and the proposed massage establishment; and
2. Recommend the Village Board approve a Special Use Permit for a Massage Establishment to permit the operation of a Massage Establishment in the B-3 Community Business District for the property located at 19989 S. La Grange Rd., Frankfort, Illinois 60423 (PIN 19-09-15-101-006-0000), in accordance with the submitted plans, public testimony, and Findings of Fact, subject to the following two conditions:
  1. The applicant shall obtain a Business License.
  2. The applicant shall comply with Zoning Ordinance Article 5, Section C, Part 11.1, Use Regulations for Massage Establishments.





# 19989 S. La Grange Rd.



## Legend

- Address Points
- Parcels
- Townships

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

0 0.04 0.1 Miles

1:2,257



Disclaimer of Warranties and Accuracy of Data: Although the data developed by Will County for its maps, websites, and Geographic Information System has been produced and processed from sources believed to be reliable, no warranty, expressed or implied, is made regarding accuracy, adequacy, completeness, legality, reliability or usefulness of any information. This disclaimer applies to both isolated and aggregate uses of the information. The County and elected officials provide this information on an "as is" basis. All warranties of any kind, express or implied, including but not limited to the implied warranties of merchantability, fitness for a particular purpose, freedom from contamination by computer viruses or hackers and non-infringement of proprietary rights are disclaimed. Changes may be periodically made to the information herein; these changes may or may not be incorporated in any new version of the publication. If you have obtained information from any of the County web pages from a source other than the County pages, be aware that electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended that careful attention be paid to the contents of any data, and that the originator of the data or information be contacted with any questions regarding appropriate use. Please direct any questions or issues via email to [gis@willcountyillinois.com](mailto:gis@willcountyillinois.com).

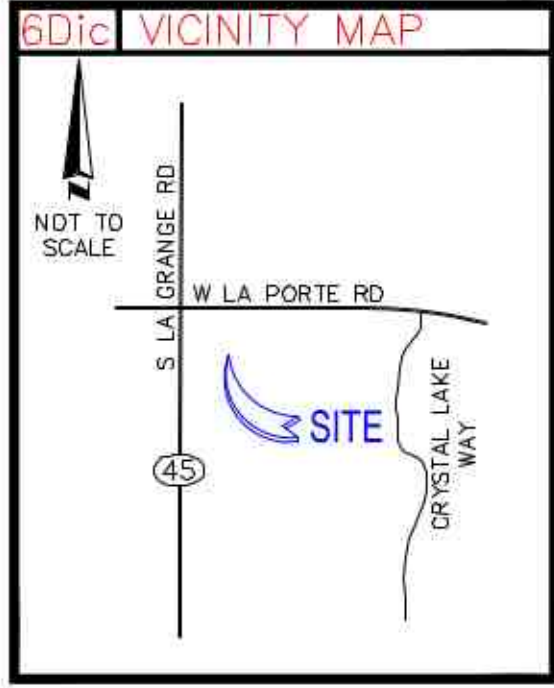
Notes



**Site Visit Photos Taken on 3.1.24**







5C*iii* SURVEYOR OBSERVED POSSIBLE ENCROACHMENTS

NONE APPARENT AT THE TIME OF SURVEY UNLESS OTHERWISE DEPICTED ON THIS SURVEY

3 FLOOD INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN ZONE "X", AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 17087C0213E, WHICH BEARS AN EFFECTIVE DATE OF 09/06/1995, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. ZONE "X" DENOTES AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

22 ZONING INFORMATION

ITEM	REQUIRED	OBSERVED	
PERMITTED USE	B-3	B-3	
MINIMUM LOT AREA (SQ.FT.)	10 Acres	11.18 Acres	
MINIMUM FRONTAGE	NONE	484.72'	
MINIMUM LOT WIDTH	100'	480.00'	
MAX BUILDING COVERAGE	NONE	41%	
MAX BUILDING HEIGHT	35'	33.8'	
MINIMUM SETBACKS			
FRONT	SEE NOTE	134.06'	
SIDE	SEE NOTE	82.96'	
REAR	SEE NOTE	103.64'	
PARKING REQUIREMENTS:			

Retall: 49,465 SF/ 250 = 198 Spaces, Plus 1 Space per Employee for the Largest Work Shift - Restaurant, Full Service: 6,366 SF / 100 = 64 Spaces, Plus 1 Space per Employee for the Largest Work Shift, Total: 262 Spaces Plus 1 Space per Employee on the Largest Shift for Each Tenant

SETBACKS - FRONT - 50 Feet; 125 Feet from Centerline of Right-of-Way of Major Highway or Major Industrial Roadway; 150 Feet from Centerline of Route 30 or Local Road  
SIDE - 15 Feet; 50 Feet Abutting Residential Corner Side - 50 Feet  
REAR - 30 Feet; 50 Feet Abutting Residential

6B*i* RECORDED SETBACKS/RESTRICTIONS

NONE PROVIDED TO THIS SURVEYOR.

ALTA/ACSM LAND TITLE SURVEY IDENTIFICATION TABLE			
2	"TABLE A" PROPERTY ADDRESS	6B <i>vii</i>	CONTIGUITY STATEMENT
3	"TABLE A" FLOOD INFORMATION	6B <i>x</i>	TITLE INFORMATION
4	"TABLE A" LAND AREA	6B <i>i</i>	TITLE DESCRIPTION
5B <i>iii</i>	ACCESS TO PROPERTY	6B <i>iv</i>	BEARING BASIS
5C <i>iii</i>	SURVEYOR OBSERVED POSSIBLE ENCROACHMENT	6D <i>ic</i>	NORTH ARROW & SCALE
6D <i>ic</i>	LEGEND & ABBREVIATIONS	6D <i>ic</i>	LEGEND & ABBREVIATIONS
5E <i>i</i>	SCHEDULE "B" ITEMS	6D <i>ic</i>	VICINITY MAP
6B <i>i</i>	CEMETERY NOTE	6D <i>iv</i>	TYPE OF SURVEY
6B	RECORDED SETBACKS/RESTRICTIONS PROVIDED BY INSURED	7	SURVEYOR'S CERTIFICATE
		22	"TABLE A" ZONING INFORMATION

5E*i* SCHEDULE "B" ITEMS

- (23) COVENANTS AND RESTRICTIONS (BUT OMITTING ANY SUCH COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS), REGARDING EASEMENTS, BUILDING RESTRICTIONS, MAINTENANCE, SIDS, ETC. CONTAINED IN THE MASTER RECIPROCAL EASEMENT AGREEMENT MADE BY AND BETWEEN STATE BANK OF COUNTRYSIDE, AS TRUSTEE UNDER TRUST AGREEMENT DATED JANUARY 18, 1998 AND KNOWN AS TRUST NUMBER 95-1523 AND DOMINICK'S REALTY TRUST 1907, RECORDED OCTOBER 27, 1997 AS DOCUMENT NO. R97-94286 WHICH DOES NOT CONTAIN A REVERSIONARY OR FOREFEITURE CLAUSE.
- (24) EASEMENT FOR PUBLIC UTILITY, AND THE EASEMENT PROVISIONS AND GRANTEES AS SET FORTH ON THE PLAT OF HICKORY CREEK MARKET PLACE SUBDIVISION RECORDED JULY 15, 1998 AS DOCUMENT R98-81103, OVER THE FOLLOWING: 25 FEET ON THE WEST LINE OF OUTLOT 10, 25 FEET ALONG THE FAR WEST LINE OF LOT 1A AND A 10 FOOT STRIP IN LOT 1A LYING WEST OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT THE MOST NORTHEASTERLY OF CORNER OF SAID LOT 1A; THENCE SOUTH ALONG THE EAST LINE OF SAID LOT, 33 FEET; THENCE SOUTH 31 DEGREES, 45 MINUTES, 45 SECONDS WEST, 123.37 FEET TO A POINT; THENCE SOUTH 00 DEGREES, 01 MINUTES 51 SECONDS EAST, TO A POINT ON THE SOUTH LINE OF SAID LOT 1A, 215 FEET WEST OF THE SOUTHEAST CORNER OF SAID LOT 1A FOR THE POINT OF TERMINATION. ITEM DOES APPLY AND IS PLATTED.
- (25) EASEMENT FOR SANITARY SEWER, AND THE EASEMENT PROVISIONS AND GRANTEES AS SET FORTH ON THE PLAT OF HICKORY CREEK MARKET PLACE SUBDIVISION RECORDED JULY 15, 1998 AS DOCUMENT R98-81103, OVER THE FOLLOWING: 10 FEET ALONG THE EAST AND SOUTHEASTERLY LINES OF OUTLOT 10; ITEM DOES APPLY AND IS PLATTED.
- (26) EASEMENT FOR INGRESS AND EGRESS, AND THE EASEMENT PROVISIONS AND GRANTEES AS SET FORTH ON THE PLAT OF HICKORY CREEK MARKET PLACE SUBDIVISION RECORDED JULY 15, 1998 AS DOCUMENT R98-81103, OVER THE FOLLOWING: THE SOUTH 50 FEET OF APPROXIMATELY THE WEST 407 FEET (AS MEASURED ALONG THE SOUTH LINE OF SAID LOT) OF LOT 1A. ITEM DOES APPLY AND IS PLATTED.
- (27) EASEMENT FOR SANITARY SEWER AND WATER MAIN, AND THE EASEMENT PROVISIONS AND GRANTEES AS SET FORTH ON THE PLAT OF HICKORY CREEK MARKET PLACE SUBDIVISION RECORDED JULY 15, 1998 AS DOCUMENT R98-81103, OVER THE FOLLOWING: A 30 FOOT STRIP IN LOT 1A, BEING THE WESTERLY 30 FEET OF THE 40 FEET STRIP OF LAND LYING WEST AND ADJOINING THE FOLLOWING DESCRIBED LINE: BEGINNING AT THE EASTERLY CORNER OF THE MOST NORTHERLY LINE OF SAID LOT 1A; THENCE SOUTH 00 DEGREES 01 MINUTES 51 SECONDS EAST, 33 FEET TO A POINT; THENCE SOUTH 31 DEGREES, 45 MINUTES, 45 SECONDS WEST, 123.37 FEET TO A POINT; THENCE SOUTH 00 DEGREES, 01 MINUTES 51 SECONDS EAST, TO A POINT ON THE SOUTH LINE OF SAID LOT 1A, 215 FEET WEST OF THE SOUTHEAST CORNER OF SAID LOT 1A FOR THE POINT OF TERMINATION. ITEM DOES APPLY AND IS PLATTED.
- (28) EASEMENT FOR WATER MAIN, AND THE EASEMENT PROVISIONS AND GRANTEES AS SET FORTH ON THE PLAT OF HICKORY CREEK MARKET PLACE SUBDIVISION RECORDED JULY 15, 1998 AS DOCUMENT R98-81103, OVER THE FOLLOWING: THE NORTHEASTERLY 10 FEET OF THE SOUTHEASTERLY 20 FEET OF OUTLOT 10 AND THE SOUTH 15 FEET OF THE 40 FEET OF OUTLOT 10, THE EAST 10 FEET OF APPROXIMATELY THE WEST 477 FEET (AS MEASURED ALONG THE SOUTH LINE) THEREOF, AND THE EAST 10 FEET OF THE WEST 180 FEET OF LOT 1A. ITEM DOES APPLY AND IS PLATTED.
- (29) EASEMENT FOR DRAINAGE, AND THE EASEMENT PROVISIONS AND GRANTEES AS SET FORTH ON THE PLAT OF HICKORY CREEK MARKET PLACE SUBDIVISION RECORDED JULY 15, 1998 AS DOCUMENT R98-81103, OVER THE FOLLOWING: OVER THAT PART OF LOT 1A LYING EASTERLY OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT THE NORTH CORNER OF THE MOST EASTERLY LINE, THENCE WEST ALONG THE NORTH LINE OF SAID LOT, 150 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 31 DEGREES, 45 MINUTES, 45 SECONDS WEST, 123.37 FEET TO A POINT; THENCE SOUTH 00 DEGREES, 01 MINUTES 51 SECONDS EAST, TO A POINT ON THE SOUTH LINE OF SAID LOT 1A, 215 FEET WEST OF THE SOUTHEAST CORNER OF SAID LOT 1A FOR THE POINT OF TERMINATION. ITEM DOES APPLY AND IS PLATTED.

5E*i* SCHEDULE "B" ITEMS

- (30) ORDINANCE NO. 1854 RECORDED 11/04/97 R97-97288, A SMALL BOOK, WAS IN FILE 1334268 AND ONE IN 1341425 AS WELL. IT INCLUDES ALL THE RECORDING INFO FOR SUB AND OTHER PROPERTY INDEXED BY R97-97298 (ORDINANCE 1853). R97-97294 DOCUMENT IS SIMPLY A COPY OF PETITION WHICH WAS FILED AUG 1998 FOR THIS ANNEXATION. THIS SUB IS TRACT A THEREIN THEREBY ZONED TO BE C - 3 PLD. ALSO INCLUDES COPY OF RECIPROCAL EASEMENT AGREEMENT, ZONING INFO BASICALLY IN FORM OF SITE PLAN, SOME ADDL INFO, ORDINANCE NO. 1855 RECORDED AS DOCUMENT R97-110320 12/24/97 IS SPECIAL ZONING INFO FOR FUTURE LOT 6 WHICH I BELIEVE IS NOT PLD AT ALL BUT SOUTH OF ST. FRANCIS ROAD. ITEM DOES APPLY, IS BLANKET IN NATURE AND IS NOT PLATTED.
- (31) ACCESS RESTRICTION FOUND ON HICKORY CREEK MARKET PLACE SUBDIVISION RECORDED JULY 15, 1998 AS DOCUMENT R98-81103. DIRECT ACCESS FROM OUTLOTS 10, 1E AND IF ANDFROM OUTLOTS 2A, 2B AND 2C TO ROUTE 45 IS PROHIBITED. THE ONLY ACCESS TO ROUTE 45 SHALL BE VIA THE 100 FEET WIDE INGRESS AND EGRESS EASEMENT LOCATED IN THE SOUTH 50 FEET OF APPROXIMATELY THE WEST 407 FEET OF LOT 1A AND THE NORTH 50 FEET OF APPROXIMATELY THE NORTH 50 FEET OF APPROXIMATELY THE WEST 467 FEET OF LOT 2. (AFFECTS OUTLOT 10) ITEM DOES APPLY AND IS PLATTED.
- (32) EASEMENT IN FAVOR OF COMMONWEALTH EDISON COMPANY AND AMERITECH AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO INSTALL, OPERATE AND MAINTAIN ALL EQUIPMENT NECESSARY FOR THE PURPOSE OF SERVING THE LAND AND OTHER PROPERTY, TOGETHER WITH THE RIGHT OF ACCESS TO SAID EQUIPMENT, AND THE PROVISIONS RELATING THEREOF CONTAINED IN THE GRANT MADE BY DOMINICK'S REALTY TRUST 1997 RECORDED JULY 15, 1998 AS DOCUMENT NO. R98-67619. (AFFECTS THE NORTH 10 FEET OF OUTLOT 10 (EXCEPT THE EAST 180 FEET THEREOF) AND THE SOUTH 10 FEET STRIP IN LOT 1A, LYING WEST OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT THE MOST NORTHEASTERLY OF CORNER OF SAID LOT 1A; THENCE SOUTH ALONG THE EAST LINE OF SAID LOT, 33 FEET; THENCE SOUTH 31 DEGREES, 45 MINUTES, 45 SECONDS WEST, 123.37 FEET TO A POINT; THENCE SOUTH 00 DEGREES, 01 MINUTES 51 SECONDS EAST, TO A POINT ON THE SOUTH LINE OF SAID LOT 1A, 215 FEET WEST OF THE SOUTHEAST CORNER OF SAID LOT 1A FOR THE POINT OF TERMINATION AND THAT PART OF THE SOUTH 10 FEET OF THE NORTH 20 FEET OF SAID LOT 1A LYING EASTERLY OF THE FUTURE BUILDING SHOWN ON EXHIBIT A OF SAID EASEMENT.) ITEM DOES APPLY AND IS PLATTED.
- (33) COVENANTS AND RESTRICTIONS (BUT OMITTING ANY SUCH COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS), REGARDING EASEMENTS, BUILDING RESTRICTIONS, MAINTENANCE, PARKING REQUIREMENTS, USE, INSURANCE, ETC. CONTAINED IN THE RECIPROCAL CONSTRUCTION EASEMENT AND OPERATING AGREEMENT MADE BY AND BETWEEN T-L HICKORY CREEK MARKET PLACE, INC. AND THE DOMINICK'S REALTY TRUST 1997 DATED AUGUST 26, 1998 AND RECORDED AUGUST 27, 1998 AS DOCUMENT NUMBER R98-100594 WHICH DOES NOT CONTAIN A REVERSIONARY OR FOREFEITURE CLAUSE. RIGHTS OF THE ADJOINING OWNER OR OWNERS TO THE CONCURRENT USE OF SAID EASEMENT. (AFFECTS PARCEL 1 AND EASEMENT PARCEL 3). NOTE: TRANSFER OF PARCELS AGREEMENT RECORDED AUGUST 26, 1999 AS DOCUMENT NUMBER R99-106922 BY & BETWEEN T-L HICKORY CREEK MARKET PLACE, INC. AN ILLINOIS CORPORATION AND INLAND REAL ESTATE CORPORATION, A MARILAND CORPORATION. ITEM DOES APPLY, IS BLANKET IN NATURE AND IS NOT PLATTED.
- (34) COVENANTS AND RESTRICTIONS (BUT OMITTING ANY SUCH COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS), RELATING TO SHARED DRAINAGE FACILITIES, OBLIGATION TO SHARE COST OF MAINTENANCE OF SAME AND UEN FOR UNPAID PROPORTIONATE SHARE, ETC. AS CONTAINED IN THE DECLARATION OF DRAINAGE EASEMENT RECORDED AUGUST 27, 1998 AS DOCUMENT NO. R98-100592, AS AMENDED AND RESTATED BY DECLARATION RECORDED OCTOBER 27, 1998 AS DOCUMENT NUMBER R98-127559, AND AS FURTHER AMENDED BY DOCUMENT RECORDED AUGUST 26, 1999 AS DOCUMENT R99-106918, WHICH DOES NOT CONTAIN A REVERSIONARY OR FOREFEITURE CLAUSE. RIGHTS OF THE ADJOINING OWNER OR OWNERS TO THE CONCURRENT USE OF SAID EASEMENT. (AFFECTS PARCEL 4) ITEM DOES APPLY, IS BLANKET IN NATURE AND IS NOT PLATTED.
- (35) (A) TERMS, PROVISIONS, AND CONDITIONS RELATING TO THE EASEMENT DESCRIBED AS PARCEL 5 CONTAINED IN THE INSTRUMENT CREATING SAID EASEMENT. (B) RIGHTS OF THE ADJOINING OWNER OR OWNERS TO THE CONCURRENT USE OF SAID EASEMENT. (C) THIS COMMENT/POLICY SHOULD NOT BE CONSTRUED AS INSURING THE EXACT LOCATION OF EASEMENT PARCEL 5. ITEM DOES APPLY AND IS PLATTED.
- (37) (A) TERMS, PROVISIONS, AND CONDITIONS RELATING TO THE EASEMENTS DESCRIBED AS PARCELS 2, 3 AND 4 CONTAINED IN THE INSTRUMENT CREATING SAID EASEMENTS. (B) RIGHTS OF THE ADJOINING OWNER OR OWNERS TO THE CONCURRENT USE OF SAID EASEMENT. (C) THIS COMMENT/POLICY SHOULD NOT BE CONSTRUED AS INSURING THE EXACT LOCATION OF EASEMENT PARCEL 5. ITEM DOES APPLY AND IS PLATTED.

6B*x* TITLE COMMITMENT INFORMATION

THE TITLE DESCRIPTION AND SCHEDULE B ITEMS HEREON ARE FROM: FIDELITY NATIONAL TITLE INSURANCE COMPANY; COMMITMENT NO: 2010 999012480 NOT, HAVING AN EFFECTIVE DATE OF NOVEMBER 25, 2015.

SHEET 1 OF 2

6B*i* TITLE DESCRIPTION

PARCEL 1:  
LOTS 1A, AND OUTLOT 10 IN HICKORY CREEK MARKET PLACE SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 15, 1998 AS DOCUMENT R98-81103, IN WILL COUNTY, ILLINOIS.

PARCEL 2:  
EASEMENT FOR THE BENEFIT OF PARCEL 1 FOR INGRESS AND EGRESS AS CREATED BY RECIPROCAL EASEMENT AGREEMENT DATED OCTOBER 15, 1997 AND RECORDED OCTOBER 27, 1997 AS DOCUMENT NUMBER R97-94286 OVER THE COMMON AREA LOCATED IN LOT 2 AND OUTLOT 2A, 2B AND 2C IN HICKORY CREEK MARKET PLACE SUBDIVISION AFORESAID AS DEFINED IN SAID AGREEMENT.

PARCEL 3:  
EASEMENT FOR THE BENEFIT OF PARCEL 1 FOR INGRESS AND EGRESS AS GRANTED IN DECLARATION OF RECIPROCAL CONSTRUCTION EASEMENT AND OPERATING AGREEMENT DATED AUGUST 25, 1998 AND RECORDED AUGUST 27, 1998 AS DOCUMENT NUMBER R98-100594 MADE BY DOMINICK'S REALTY TRUST 1997 AND T-L HICKORY CREEK MARKET PLACE, INC. OVER THE COMMON AREA ON LOT 1B AND OUTLOTS 1E AND 1F IN HICKORY CREEK MARKET PLACE SUBDIVISION AFORESAID, AS DEFINED IN SAID DECLARATION.

PARCEL 4:  
DRAINAGE EASEMENT AS CREATED BY DECLARATION OF DRAINAGE EASEMENT MADE BY STATE BANK OF COUNTRYSIDE AS TRUSTEE UNDER TRUST NUMBER 95-1523 AND THE DOMINICK'S REALTY TRUST 1997 DATED AUGUST 25, 1998 AND RECORDED AUGUST 27, 1998 AS DOCUMENT NUMBER R98-100592, AS AMENDED AND RESTATED BY DECLARATION RECORDED OCTOBER 27, 1998 AS DOCUMENT NUMBER R98-127559 AND RE-RECORDED WITH A CORRECTED LEGAL DESCRIPTION ON AUGUST 26, 1999 AS DOCUMENT NUMBER R99-106919 FOR THE BENEFIT OF PARCEL 1 OVER THE FOLLOWING DESCRIBED LAND EXCEPTING FROM THE DETENTION AREA DESCRIBED BELOW, THAT PART FALLING IN LOT 1A OF PARCEL 1):

DETENTION AREA:

THAT PART OF LOT 1A AND 2 IN HICKORY CREEK MARKET PLACE BEING A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT RECORDED JULY 15, 1998 AS DOCUMENT R98-81103 IN WILL COUNTY, ILLINOIS AND ALSO PART OF THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, WILL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 1C IN SAID HICKORY CREEK MARKET PLACE SUBDIVISION, THENCE SOUTH 89 DEGREES 57 MINUTES 56 SECONDS EAST, A DISTANCE OF 481.19 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 03 SECONDS EAST A DISTANCE OF 33.09 FEET TO A POINT OF CURVE, THENCE SOUTHWESTERLY ON A CURVE CONVEX TO THE SOUTHEAST HAVING A RADIUS OF 217.00 FEET AN ARC DISTANCE OF 175.87 FEET AND A CHORD BEARING OF SOUTH 23 DEGREES 36 MINUTES 47 SECONDS WEST TO A POINT OF TANGENT; THENCE SOUTH 47 DEGREES 13 MINUTES 36 SECONDS WEST, A DISTANCE OF 19.25 FEET TO POINT OF CURVE, THENCE SOUTHWESTERLY ON A CURVE CONVEX TO THE NORTHWEST HAVING A RADIUS OF 333.00 FEET AN ARC DISTANCE OF 274.48 FEET AND A CHORD BEARING OF SOUTH 23 DEGREES 36 MINUTES 48 SECONDS WEST TO A POINT OF TANGENT; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST A DISTANCE OF 186.84 FEET TO A POINT OF CURVE, THENCE SOUTHEASTERLY ON A CURVE CONVEX TO THE SOUTHWEST HAVING A RADIUS OF 333.00 FEET AN ARC DISTANCE OF 115.94 FEET AND A CHORD BEARING OF SOUTH 09 DEGREES 58 MINUTES 28 SECONDS EAST TO A POINT OF REVERSE CURVE; THENCE SOUTHERLY ON A CURVE CONVEX TO THE EAST HAVING A RADIUS OF 687.00 FEET AN ARC DISTANCE OF 231.79 FEET AND A CHORD BEARING OF SOUTH 08 DEGREES 14 MINUTES 15 SECONDS EAST; THENCE SOUTH 89 DEGREES 58 MINUTES 09 SECONDS WEST A DISTANCE OF 112.16 FEET; THENCE SOUTH 11 DEGREES 09 MINUTES 10 SECONDS WEST, A DISTANCE OF 45.57 FEET; THENCE SOUTH 74 DEGREES 30 MINUTES 52 SECONDS WEST A DISTANCE OF 74.70 FEET TO A POINT ON THE EAST LINE OF LOT 2 IN SAID HICKORY CREEK MARKET PLACE SUBDIVISION; THENCE SOUTH 00 DEGREES 01 MINUTES 51 SECONDS EAST A DISTANCE OF 39.18 FEET; THENCE NORTH 89 DEGREES 57 MINUTES 56 SECONDS WEST A DISTANCE OF 65.00 FEET; THENCE NORTH 47 DEGREES 17 MINUTES 10 SECONDS WEST A DISTANCE OF 177.02 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 51 SECONDS WEST, A DISTANCE OF 188.06 FEET; THENCE NORTH 31 DEGREES 45 MINUTES 45 SECONDS EAST A DISTANCE OF 123.37 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 51 SECONDS WEST, A DISTANCE OF 675.00 FEET TO THE POINT OF BEGINNING.

DETENTION AREA OUTLOT:

THAT PART OF LOTS 2 AND OUTLOT 2A IN HICKORY CREEK MARKET PLACE BEING A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT RECORDED JULY 15, 1998 AS DOCUMENT R98-81103 IN WILL COUNTY, ILLINOIS, BEING A 20 FOOT WIDE STORM SEWER EASEMENT DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID OUTLOT 2A; THENCE SOUTH 00 DEGREES 01 MINUTES 51 SECONDS EAST ALONG THE WEST LINE OF SAID OUTLOT 2A, A DISTANCE OF 34.89 FEET TO THE POINT OF BEGINNING; THENCE NORTH 87 DEGREES 28 MINUTES 45 SECONDS EAST, A DISTANCE OF 804.75 FEET; THENCE SOUTH 00 DEGREES 01 MINUTES 51 SECONDS EAST A DISTANCE OF 20.02 FEET; THENCE SOUTH 87 DEGREES 28 MINUTES 43 SECONDS WEST A DISTANCE OF 804.75 FEET TO A POINT ON THE WEST LINE OF SAID OUTLOT 2A; THENCE NORTH 00 DEGREES 01 MINUTES 51 SECONDS WEST A DISTANCE OF 20.02 FEET TO THE POINT OF BEGINNING.

PARCEL 5:

EASEMENT FOR THE BENEFIT OF PARCEL 1 FOR THE INSTALLATION, CONSTRUCTION AND MAINTENANCE OF A PYLON SIGN LOCATED ON LOT 2 AND OUTLOT 2A, 2B AND 2C IN HICKORY CREEK MARKET PLACE SUBDIVISION AS CREATED BY RECIPROCAL EASEMENT AGREEMENT DATED OCTOBER 15, 1997 AND RECORDED OCTOBER 27, 1997 AS DOCUMENT NUMBER R97-94286.

THIS SURVEY DESCRIBES AND DEPICTS THE SAME LAND AS DESCRIBED IN THE TITLE COMMITMENT AS REFERENCED ABOVE.

8 SURVEYOR'S NOTES

- NO UNDERGROUND UTILITIES ARE SHOWN ON THIS SURVEY, ONLY ABOVE GROUND VISIBLE EVIDENCE OF UTILITIES ARE SHOWN.
- ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVITUDES, AND ENCROACHMENTS ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
- IN REGARDS TO TABLE "A" ITEM 10a, AT THE TIME OF THIS SURVEY, THERE WERE NO PARTY WALLS DESIGNATED BY THE CLIENT TO REFERENCE HEREON.
- THIS SURVEY MEETS OR EXCEEDS THE SURVEY STANDARDS/STANDARDS OF CARE AS SET FORTH IN SECTION 3 OF THE 2011 ALTA/ACSM SURVEY REQUIREMENTS.
- THE PERMANENT INDEX NUMBERS ARE 09-15-101-001-0000, 09-15-101-006-0000.

4 LAND AREA

281,154.20 ± SQUARE FEET 6.454 ± ACRES

6B*iv* BEARING BASIS

BEARINGS SHOWN HEREON ARE BASED ON THE EAST RIGHT-OF-WAY LINE OF S. LA GRANGE ROAD, WHICH IS ASSUMED TO BEAR S00°01'51"E.

5F CEMETERY NOTE

THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.

9 PARKING SPACES

REGULAR = 256 HANDICAP = 5 TOTAL = 261

5B*iii* ACCESS TO PROPERTY

THE SUBJECT PROPERTY HAS DIRECT ACCESS TO AND FROM S. LA GRANGE ROAD AND INDIRECT ACCESS TO W. LA PORTE ROAD (VIA INGRESS AND EGRESS EASEMENT) WHICH ARE GOVERNED BY THE CITY OF FRANKFORT.

16 EARTH MOVING NOTE

THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.

18 DUMP, SUMP OR LANDFILL NOTE

THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

6B*vii* CONTIGUITY STATEMENT

THE PARCELS CONTAINED IN THE LEGAL DESCRIPTION ARE CONTIGUOUS WITHOUT ANY GAPS, GORES OR OVERLAPS.

7 SURVEYOR'S CERTIFICATE

TO: The Prudential Insurance Company of America, acting solely on behalf of and for the benefit of, and with its liability limited to the assets of, its insurance company separate account, PRISA II, Wells Fargo Bank, National Association, as Administrative Agent, for the benefit of Lenders, its successors and/or assigns, as their interests may appear; Apollo Global Management LLC, Athene Asset Management L.P., or any of Apollo's affiliates, agents, advisors, successors and assigns; Fidelity National Title Insurance Company, Chicago Title Insurance Company, First American Title Insurance Company, Inland Hickory Creek, L.L.C., a Delaware limited liability company, IRC Hickory Creek, L.L.C., a Delaware limited liability company

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 11(a), 13, 14, 16, 18, 20(a) AND 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 01/16/2016. DATE OF PLAT OR MAP: 02/05/2016.

JAMES L. HARPOLE 4/7/2016 DATE

PROFESSIONAL LAND SURVEYOR NO:1390

STATE OF: ILLINOIS

EXPIRES: 11-30-2016

PROJECT NO: 20151899-79

SURVEY PREPARED BY: J.H. LAND SURVEYING INC.

7222 COURTHRIGHT DRIVE PLAINFIELD, IL

PHONE 815-729-4000

www.jhsurvey.com



THIS DOCUMENT SHOULD BE CONSIDERED INVALID WITHOUT A LICENSED SURVEYOR'S SIGNATURE AND SEAL.

SEE SHEET 2 OF 2 FOR SURVEY

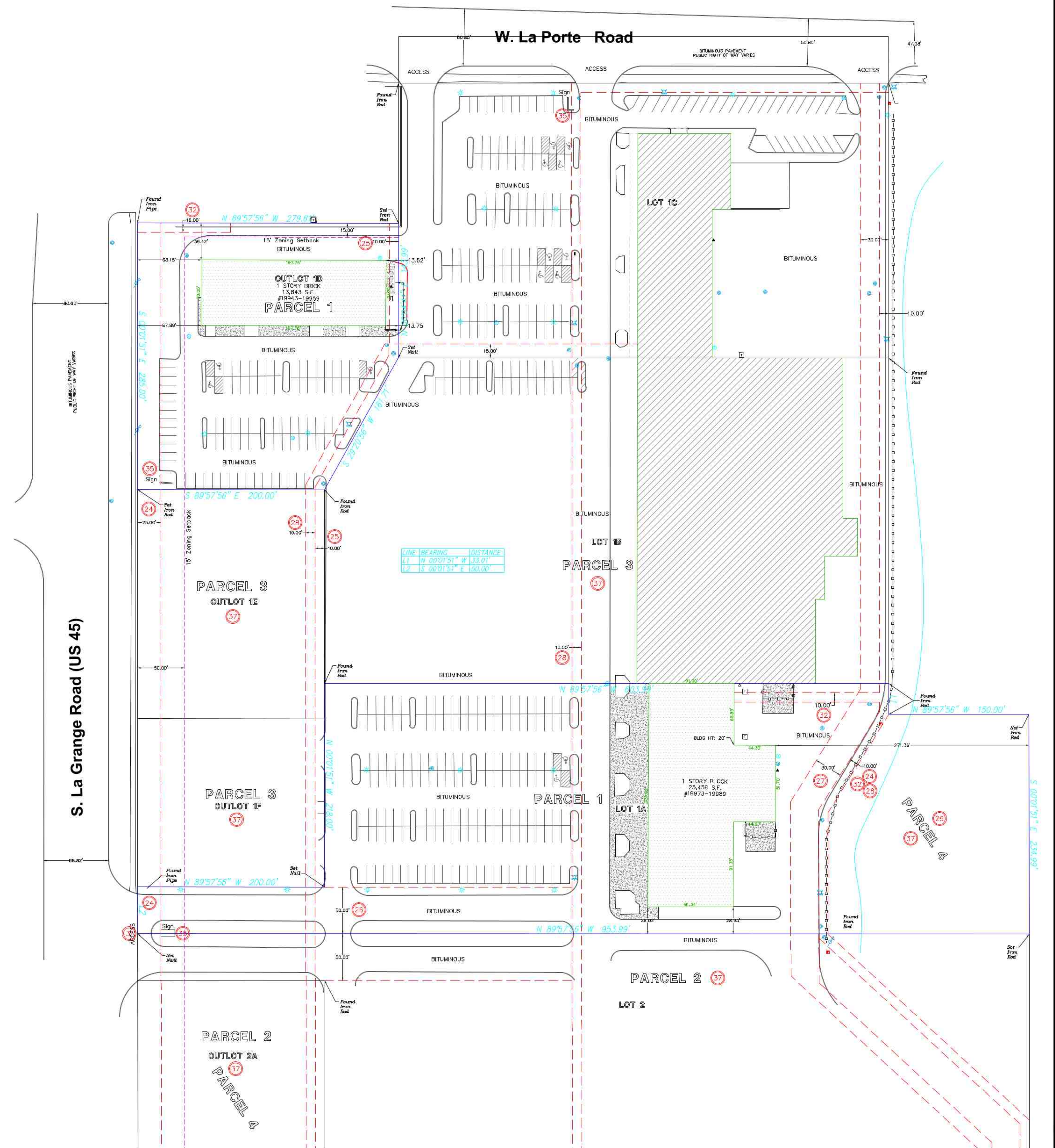
ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS FOR SURVEYING IN THE STATE OF ILLINOIS TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

DATE	REVISIONS	TECH	FIELD	SUB	DRAWING SCALE	1"= 50'
2/18/16	ADD ZONING	JAH	DRAWN BY	SUB	OC BY	
3/14/16	CLIENT COMMENTS	JAH	DRAWING NAME	15-511-102.79.DWG		
3/22/16	REVISE ZONING	JAH				

SURVEY PREPARED FOR AND ON BEHALF OF: AMERICAN SURVEYING AND MAPPING, INC. 3191 MAGUIRE BLVD., SUITE 200 ORLANDO, FL 32803 CERTIFICATE OF AUTHORIZATION # 184.006647 PHONE: (407) 426-7979 FAX: (407) 426-9741 INFO@ASMCORPORATE.COM



	Power Pole		Electric Meter		Telephone		North Light	Meas.	Measured
	Light Pole		Gas Meter		Ballod		N. North	ROW	Right of Way
	Clean Out		Clean Out		Auto Sprinkler		S. South	CL	Centerline
	Transformer		Storm Sewer		Flared End Section		E. East	DHW	Overhead Wire
	Utility Pedestal		Sanitary Sewer		Stone Wall		W. West		
	Gas Valve		Parking Stop		Chain Link Fence		° Degrees		
	Water Valve		Air Conditioner		Stockade Fence		' Feet or Minutes		
	B-Box		Traffic Signal		Guard Rail		" Inches or Seconds		
	Manhole		Sign		Soil Boring Location		Sq. Square		
	Catch Basin		Flag Pole		Survey Bearing		Fl. Feet		
	Fire Hydrant		Satellite Dish		Traffic Signal		Vol. Volume		
							Page		
							Calculated		
							Record		
									Buried Utilities
									Telephone
									Electric
									Concrete



**ASM** AMERICAN  
SURVEYING  
& MAPPING INC.

3191 MAGUIRE BLVD., SUITE 200 ORLANDO, FLORIDA 32803  
PHONE (407) 426-7979 WWW.ASMCORPORATE.COM

6Dvi	ALTA/ACSM LAND TITLE SURVEY
2	<p>OF</p> <p>HICKORY CREEK MARKET PLACE</p> <p>19917-19991 S. LA GRANGE ROAD</p> <p>WILL COUNTY, FRANKFORT, ILLINOIS</p>

SHEET  
OF ?



## LOCATION

19989 S. LaGrange ROAD, UNIT 002  
FRANKFORT, IL 60423  
± 1,440 SQ-FT

## EXISTING CONSTRUCTION

**FRONT WALL**  
ALUM. STOREFRONT ASSEMBLY

**REAR WALL**  
CMU WALL

**SIDE WALLS**  
GYP. BD. DEMISING WALLS

**SALES AREA**  
OUTLETS (MISC. LOCATIONS)  
2x4 LIGHT FIXTURES  
2x4 LAY-IN CEILING TILE & GRID  
WALL FINISH: PAINT W/ VINYL BASE  
200A PANEL : 240V, 3Ø, 4W

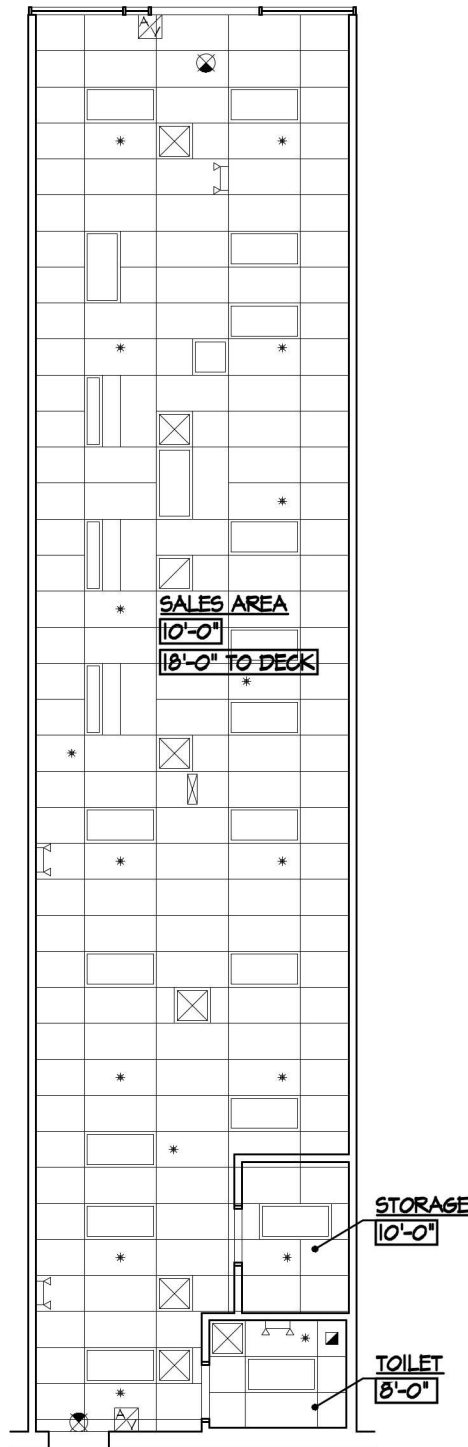
**STORAGE**  
OUTLETS (MISC. LOCATIONS)  
2x4 LIGHT FIXTURES  
2x4 LAY-IN CEILING TILE & GRID  
WALL FINISH: PAINT W/ VINYL BASE

**TOILET**  
OUTLET  
FAN AND LIGHT FIXTURE  
2x4 LAY-IN CEILING TILE & GRID  
WALL FINISH: PAINT W/ VINYL BASE

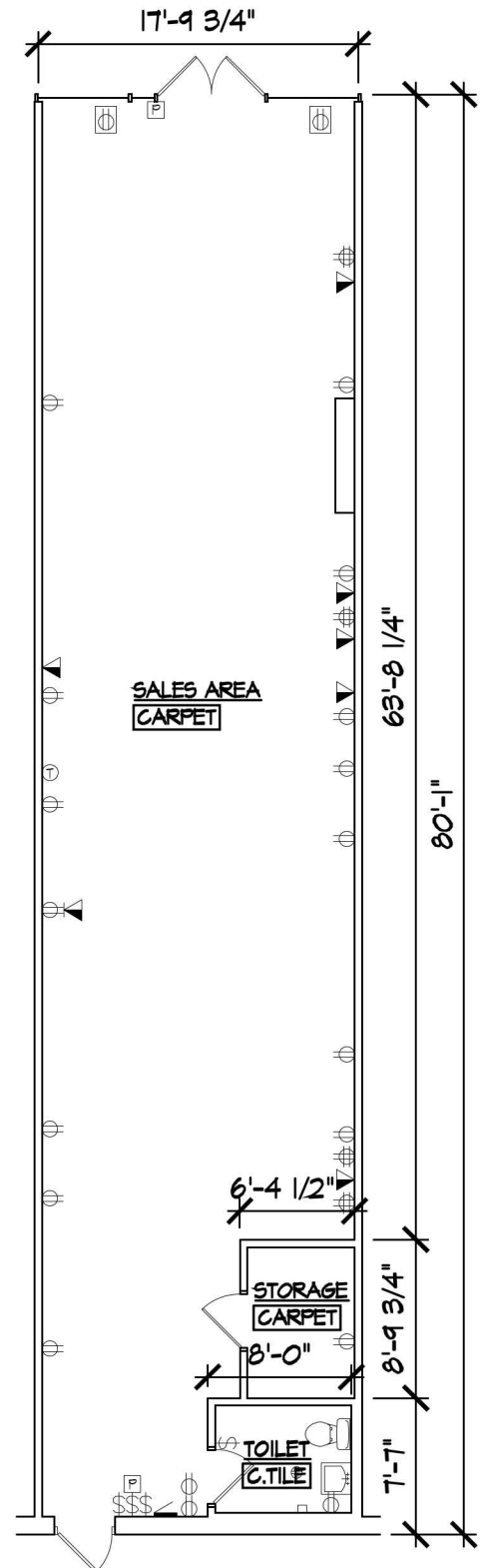
## LEGEND

	WALL OUTLET		FLOOR/CLS OUTLET
	LIGHT SWITCH		FLOOR DRAIN
	FIRE ALARM PULL STATION		6x4 LINEAR LIGHT FIXTURE
	SPEAKER		HEAT / SMOKE DETECTOR
	OCCUPANCY SENSOR		SECURITY CAMERA
	TOILET EXH. FAN		THERMOSTAT
	2x4 FLUORESCENT LIGHT FIXTURE		POWER PANEL
	PENDANT LIGHT FIXTURE		DIFFUSER / REGISTER
	EXIT SIGN		AUDIO / VISUAL ALARM SYSTEM
	BATTERY PACK EMERGENCY FIXTURE		SPRINKLER
	FIRE EXTINGUISHER		TIMER

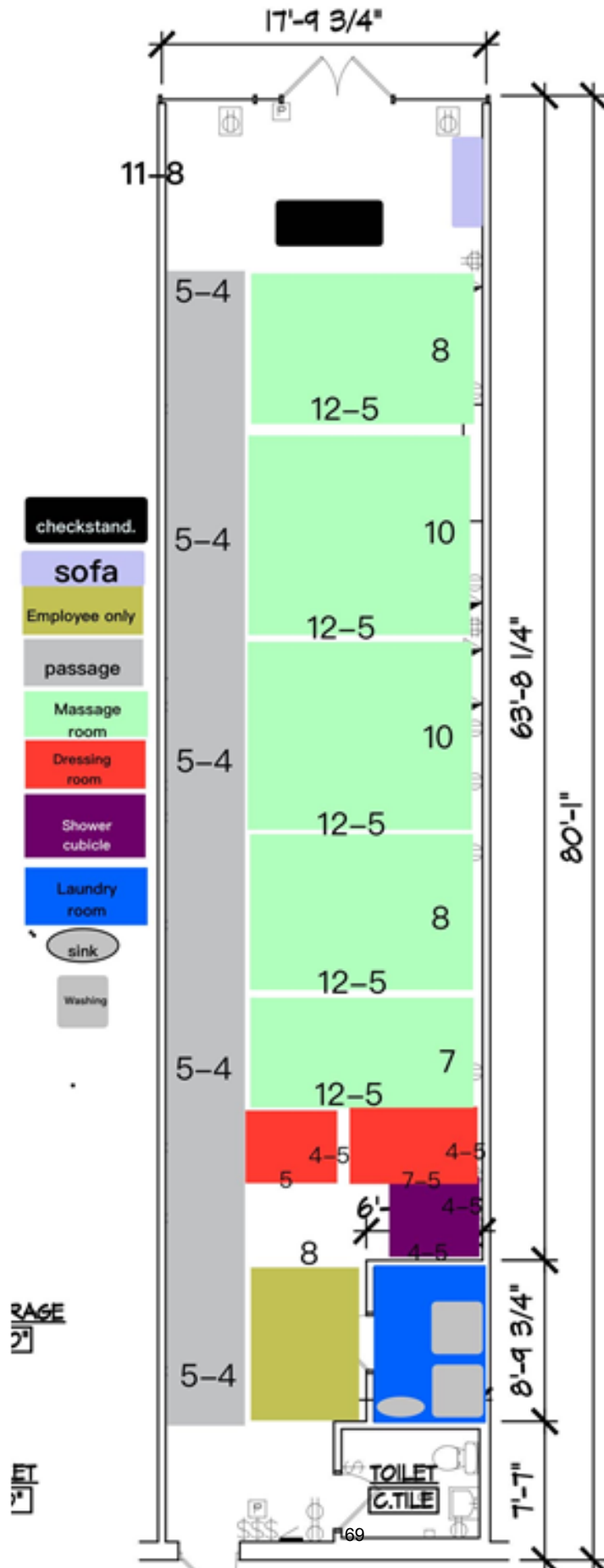
GRAPHIC SCALE  
0' 2' 4' 8'  
APRIL 23, 2019



**CEILING PLAN**   
SCALE: 3/32" = 1'-0"



**FLOOR PLAN**   
SCALE: 3/32" = 1'-0"



January 31, 2024

Dear Staff of Village of Frankfort,

I am excited to be opening a business here in the Village of Frankfort. The name of my business is Magic Massage. This will be the only location. My proposed business hours are open for 7 days a week, from 10 AM to 9 PM, and we offer both appointments and walk-ins. I'm planning to hire one or two employees. Our customers can choose from different types of options for massage, we offer Swedish massage, Deep tissue massage, Thai massage, Couple massage, and Pregnancy massage.

Thank you for your time.

Sincerely,

Jiahui Cai



3. There will be no private streets.
  4. All residential parking will be off-street. No on-street parking is allowed.
  5. Off-street parking shall be provided in front and side yards only. Two (2) off-street parking spaces shall be provided per dwelling unit. The off-street parking surface shall be covered with a concrete surface. Each space shall be no less than ten (10) feet wide and twenty (20) feet deep. Enclosed garage space shall not count toward the required off-street parking requirements.
  6. All sidewalks and driveways shall be concrete and meet Village standards.
- o. **Manufactured Home Sales:** Manufactured home sales are permitted on a limited basis. One home may be used for a model, and one model is allowed for each park. This model must follow all structural and aesthetic guidelines as outlined for a manufactured residence.
  - p. **Landscaping:** Landscaping shall be provided as part of site plan and subdivision design. It shall be provided comprehensively throughout the site; integrating the various elements of site design, preserving and enhancing the particular identity of the site, and creating a pleasing site character. Landscaping shall include plant materials such as trees, shrubs, ground covers, perennials, and annuals, and other materials such as rocks, water, sculpture, art, walls, fences, paving materials, and street furniture. All landscaping shall meet all standards and guidelines established in the Village of Frankfort Landscape Regulations.
  - q. **Landscape Plan:** A landscape plan prepared by a certified landscape architect shall be submitted with each subdivision development request. The plan shall identify existing and proposed trees, shrubs, and ground covers; natural features such as rock outcroppings; and other landscaping elements. The plan shall show where they are or will be located and planting and/or construction details. Special attention shall be paid so as to substantially screen the development from all adjoining zoning districts and land uses. The landscaping plan must meet all standards and guidelines established in the Village of Frankfort Landscape Regulations, and sections 150.75 and 150.76 of the Village Code.

#### **Part 11.1: Massage Establishments**

(Am. Ord. 2174, passed 07.05.05)

- a. **Facilities**
  1. **Cabinets.** Closed cabinets shall be provided and used for the storage of clean linens, towels, and other materials used in connection with administering massages. All soiled linens, towels, and other materials shall be kept in properly covered containers or cabinets, which containers or cabinets shall be kept separate from the clean storage areas.

**I've read, undersand, and promise I will follow every single rules provided**

2. Dressing rooms. Provision of a separate dressing room for each sex must be available on the premises. Doors to such dressing rooms shall open inward and shall be self-closing.

We will set up a shower room, next to the shower room there will be a dressing room available to change cloth. Customers can chose to change cloths in the massage room, we will provide them with robs.

3. Electrical equipment. All electrical equipment shall be installed in accordance with the building codes adopted by the Village of Frankfort.

4. Lavatories or wash basins. Lavatories or wash basins provided with both hot and cold running water shall be installed in either the toilet room or the vestibule. Lavatories or wash basins shall be provided with soap in a dispenser and with sanitary towels.

We will provide soap in a dispenser, paper towel in the dispenser, and hand sanitizer in a dispenser in the bathroom.

We will make sure there's running hot and cold water. All employee must wash their hands before going back to work.

5. Light and ventilation. All portions of massage establishments shall be provided with adequate light and ventilation by means of windows or skylights with an area of not less than one-eighth (1/8) of the total floor area, or shall be provided with approved artificial light and a mechanical operating ventilating system. When windows or skylights are used for ventilation, at least one-half (1/2) of the total required window area shall be operable. To allow for adequate ventilation, cubicles, rooms, and areas provided for patrons' use not served directly by a required window, skylight, or mechanical system of ventilation shall be constructed so that the height of partitions does not exceed seventy five percent (75%) of the floor-to-ceiling height of the area in which they are located.

We are planning to do house capping, we will provide mechanical system that can provide ventilation in every massage room. We will set up wall lamp that's able to control the brightness in every room.

6. Locks. No massage service may be carried on within any cubicle, room, booth, or any area within a massage establishment that is fitted with a door capable of being locked. When setting up the massage rooms we will make sure that any cubicle, room, booth, or any area within the massage establishment is fitted with a door not capable of being locked.

7. Plumbing. All plumbing fixtures shall be installed in accordance with the building codes adopted by the Village of Frankfort.

8. Service sink. The premises shall be equipped with a service sink for a custodial services.

We will have sink in the bathroom, and an additional sink in the landuary room.

9. Toilet facilities. Toilet facilities shall be provided in convenient locations. When five (5) or more employees and patrons of different sexes are on the premises at the same time, separate toilet facilities shall be provided. A single water closet per sex shall be provided for each twenty (20) or more employees or patrons of that sex on the premises at any one time. Urinals may be substituted for water closets after one water closet has been provided. All toilet rooms shall be equipped with self-closing doors opening in the direction of ingress to the toilet rooms. Toilets shall be designated as to the sex accommodated therein.

10. Waterproofing. Construction of rooms used for toilets, tubs, steam baths, and showers shall be made waterproof with approved waterproofed materials and shall be installed in accordance with the building codes adopted by the Village of Frankfort. For toilet rooms, toilet room vestibules, and rooms containing bathtubs, there shall be a waterproof floor covering, which will be carried up all walls to a height of at least six inches (6"), and floors shall be covered up on base with at least



three-fourths inch (3/4") cover. The walls of all toilet rooms and rooms containing bathtubs shall be finished to a height of six feet (6') with a smooth, nonabsorbent finish surface of Keene cement, tile, or similar material. Steam rooms and shower compartments shall have waterproof ceilings, floors, and walls approved by the Building and Zoning Department.

11. Wet and dry heat rooms. Floors of wet and dry heat rooms shall be adequately pitched to one or more floor drains properly connected to the sewer. (Exception: dry heat rooms with wooden floors need not be provided with pitched floors and floor drains.) A source of hot water must be available within the immediate vicinity of dry and wet heat rooms to facilitate cleaning.

b. Operating conditions

1. Cleanliness. Every portion of a massage establishment, including appliances, apparatus, and personnel shall be kept clean and operated in a sanitary condition. The premises shall have adequate equipment for disinfecting and sterilizing nondisposable instruments and materials used in administering massages, and such nondisposable instruments and materials shall be disinfected after use on each patron. Oils, creams, lotions, or other preparations used in administering massages shall be kept in clean, closed containers or cabinets. Wet and dry heat rooms, shower compartments, and toilet rooms shall be thoroughly cleaned each day the business is in operation. Bathtubs shall be thoroughly cleaned after each use. Eating in the massage work areas shall not be permitted. Animals, except service animals for persons with disabilities, shall not be permitted in the massage work areas.
2. Employees. All employees and operators shall be clean and shall wear suitable clean, nontransparent outer garments, covering the sexual and genital areas, whose use is restricted to the massage establishment. It shall be unlawful for any person, knowingly or recklessly, in a massage establishment, to touch with any part of the body, to fondle in any manner, or to massage the genitals, pubic area, anus, or perineum of any person, or the vulva or breasts of a female. No employee or operator shall perform, offer, or agree to perform any act that would require the touching of these areas. Patrons must cover these areas with towels, cloths, or undergarments when in the presence of an employee or operator.
3. Licenses. Persons administering massage for compensation must be licensed by the Illinois Department of Professional Regulation as massage therapists. A massage establishment must maintain a register of all persons employed as massage therapists and their license numbers. Such register shall be available for inspection at all times during regular business hours.
4. Price rates. Price rates for all services shall be prominently posted in the reception area in a location available to all prospective customers.

**I've read, undersand, and promise I will follow every single rules provided**



c. Inspections

1. Following application. The Village Clerk, upon receiving an application from a massage establishment seeking a general business license, shall refer the application to a Code Official, who shall inspect the proposed premises and shall make written recommendations to the Village Clerk. A general business license application for a massage establishment may be rejected if the operation as proposed by the applicant will not comply with all building codes adopted by the Village of Frankfort or regulations adopted by the Village Clerk or the Director of Building and Zoning.
2. On-going. A Code Official shall from time to time and at least twice a year, make an inspection of the public areas of each massage establishment in the Village of Frankfort for the purposes of determining that the provisions of this Part are complied with.

**Part 12: Mining**

Mining, and/or the extraction of minerals, sand, gravel, topsoil or other aggregates, including equipment, buildings or structures for screening, crushing, mixing, washing or storage shall be subject to the following:

- a. No open pit or shaft shall be less than 200 feet from any public road or less than 500 feet from any adjacent residential district.
- b. All buildings or structures shall be located not less than 200 feet from any property line. All grinding, or processing machinery shall be located at the farthest point on the property from residential use as feasible.
- c. The borders of the property adjacent to or across the street from any district other than an industrial district shall be fenced with a solid fence, wall, or landscape material at least six (6) feet in height.

**Part 13: Office and Professional Service**

A permitted business office may not display or sell chattels or goods, wares or merchandise on the premises without special use approval, with the exception of limited sales of product in connection with professional services rendered on site. (Am. Ord. 2495, passed 08.04.08)

**Part 14: Outdoor Seating Associated with a Permitted Restaurant**

Outdoor seating, when associated with a permitted restaurant, shall only be permitted in accordance with the following:

- a. All seating areas must be enclosed by a fence or wall of at least 3 feet in height.
- b. Where seating is permitted adjacent to a public sidewalk, at least 5 feet in width of said sidewalk must remain unobstructed.

**I've read, undersand, and promise I will follow every single rules provided**



Application for Plan Commission / Zoning Board of Appeals Review  
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.

Yes I agree, and promise the establishment, maintenance or operation of the special use will not be detrimental or endanger, the public health, safety, morals, comfort, or general welfare

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Yes I agree, and promise that the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Yes I agree, and promise the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

Yes I agree, and promise the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

Yes I agree, and promise the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Yes I agree, and promise the adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Yes I agree, and promise the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.





### Findings of Fact Commissioner Evaluation Form - Special Use Permit

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. No special use shall be recommended by the Plan Commission unless all the following findings are made.

	STANDARD	NOTES	MEETS	
a.	That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.		YES	NO
b.	That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.		YES	NO
c.	That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.		YES	NO
d.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.		YES	NO



e.	That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.		YES	NO
f.	That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.		YES	NO
g.	That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.		YES	NO



**Project:** Blocker Residence  
**Meeting Type:** Public Hearing  
**Request:** Two (2) Variations pertaining to siding and roof material for a proposed single-family home  
**Location:** Lot B in the Aurthur T. McIntosh and Company's Kean Avenue, S. 95th Ave.  
**Applicant:** Jarrett Lecas (Gander Builders)  
**Prop. Owner:** Stephen and Monica Blocker  
**Representative:** Jarrett Lecas

### Site Details

**Lot Size:** 49,937 sq. ft. (1.14 acres)  
**PIN:** 19-09-22-300-025-0000  
**Existing Zoning:** R-2  
**Proposed Zoning:** R-2  
**Buildings / Lots:** 1 building / 1 lot  
**Total Sq. Ft.:** 4,388 sq. ft. (GFA of proposed house)

### Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Residential	Single-Family	R-2
<b>North</b>	Residential	Single-Family	R-2
<b>South</b>	Residential	Single-Family	R-2
<b>East</b>	Residential	Single-Family	R-2
<b>West</b>	Residential	Single-Family	H-1

Figure 1. Location Map



### Project Summary

The applicant, Jarrett Lecas from Gander Builders, representing Stephen and Monica Blocker, property owners, is proposing to construct a 4,389 square foot single-family house on the 1.14-acre Lot B in the Aurthur T. McIntosh and Company's Kean Avenue Estates also commonly known as Vacant, S. 95th Ave., Frankfort, Illinois (PIN: 19-09-22-300-025-0000). The subject property currently sits vacant and undeveloped. The applicant is requesting a variation from Article 6, Section B, Part 2(g)(2) and Article 6, Section B, Part 4(i) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding on the first floor of a home and a variation and to permit a metal roof on the home located in the R-2, Single Family Residential District.

### Attachments

1. Aerial Image from Will County GIS
2. Plat of Survey dated 1.11.24
3. Site Visit Photographs taken 3.1.24
4. Color renderings received 2.13.24
5. Site Plan received 2.26.24
6. Architectural Plans dated 2.8.24
7. Siding Specifications received 2.28.24
8. Masonry Inventory Exhibit last updated 3.1.24
9. Variations Findings of Fact Form with Applicant Responses received 2.26.24
10. Variations Findings of Fact Form for Commissioners



## Analysis

Staff offers the following points for discussion:

### General

1. The proposed attached 4 car garage is a side-loaded garage and is approximately 25'9"x44'9". The proposed driveway width is 44' which is compliant with the requirement that states that the width of a driveway cannot exceed the width of a garage.
2. Staff requested that the applicant revise the proposed garage doors to meet the requirement that garage doors must have at least two architectural features (Article 6 Section B Part 4(h)). Staff is working with the applicant to provide an additional architectural feature that would be acceptable to the Village Code Official; the applicant will be revising the architectural plans to note that decorative hardware/handles will be placed on the garage doors.
3. The Zoning Ordinance limits the maximum lot coverage to 20% for two-story homes in the R-2 single-family district. The proposed house (with attached garage) amounts to 3,730 square feet of lot coverage, which is approximately 7.5% of the subject lot. The proposed 7.5% lot coverage is compliant with the required 20% maximum lot coverage.
4. The Zoning Ordinance limits the maximum impervious surface coverage to 40% in the R-2 single-family district. The proposed house (with attached garage), porches, driveway, swimming pool, and swimming pool apron amount to 11,141 square feet of impervious surface coverage, which is approximately 22.3% of the subject lot. The proposed 22.3% impervious surface coverage is compliant with the required 40% maximum impervious surface coverage.
5. Staff requested a tree preservation plan. The applicant submitted the site plan depicting existing trees on the subject site; the applicant clarified that all the trees shown on the site plan are to be preserved.
6. The Zoning Ordinance states that all development in the R-2 single-family district requires a minimum lot size of 15,000 square feet, 100' width and 150' depth. The existing lot and proposed house conform with these requirements (see below table of dimensional requirements). Additionally, the proposed pool and fence (aluminum and 5' high) comply with all required setbacks in the R-2 single-family district.

	<b>R-2 Single-Family Detached Residential District Requirement</b>	<b>Subject Property</b>	<b>Comments</b>
<b>Minimum Lot Size</b>	15,000 SF	49,937 SF	Complies
<b>Minimum Lot Width</b>	100'	107'	Complies
<b>Minimum Lot Depth</b>	150'	466.2'	Complies
<b>Minimum Required Yards (Setbacks)</b>	<ul style="list-style-type: none"><li>• 30' (front yard)</li><li>• Total 25'; min. 10' on either side (interior side yard)</li><li>• 30' (rear yard)</li></ul>	<ul style="list-style-type: none"><li>• 158.4' (front yard)</li><li>• 15.6' (north interior side yard)</li><li>• 13.2' (south interior side yard)</li><li>• 214.4' (rear)</li></ul>	<ul style="list-style-type: none"><li>• Complies (similar to 320 S. 95<sup>th</sup> Ave.)</li><li>• Complies</li><li>• Complies</li><li>• Complies</li></ul>
<b>Maximum Height</b>	35'	30' 6.25"	Complies
<b>Maximum Lot Coverage</b>	20% (for a two-story house)	7.5% (3,730 SF)	Complies
<b>Maximum Impervious Coverage</b>	40%	22.3%	Complies
<b>Maximum Rear Yard</b>	30%	0% (no structure	Complies



<b>Coverage</b>		proposed in the required rear yard)	
<b>Minimum Gross Floor Area</b>	2,600 SF (for a two-story)	4,388 SF	Complies
<b>Minimum Basement Size</b>	80% of the ground floor	95.14%	Complies

### Siding Material

7. Article 6, Section B, Part 2 (g)(2) of the Zoning Ordinance requires the 1<sup>st</sup> floor building material to be entirely constructed of masonry and requires a minimum of two (2) masonry elements that extend from the first floor into the second floor.
8. The surrounding properties seem to comply with the current zoning ordinance first-floor masonry requirement (see the attached masonry inventory). The property to the north consists of brick masonry siding on the first floor, the property to the east consists of brick masonry siding on the first floor, the property to the south is vacant, and the property to the west consists of vinyl siding (non-conforming, predates the current zoning ordinance).
9. Staff notes that a similar variation request to permit non-masonry siding for a house located at 320 95<sup>th</sup> Avenue (the second house north of the subject site) was approved in 2018. The house at this location was proposed with a 3' masonry knee wall and composite siding (Hardie Board, LP Smart Side, etc.).
10. The applicant proposes the house with mostly a tongue and groove cedar siding material that resembles natural wood and is manufactured by Delta Millworks (the applicant will bring samples to the meeting). The submitted architectural plans state that the color of the siding is to be determined; the applicant stated that the color will closely match the colored renderings.
11. The architectural plans depict that vertical, smooth James Hardie panels will be utilized in between/around windows. Additionally, horizontal clear cedar will be utilized on the east and south elevations as an accent wall feature.
12. The applicant provides a full-dimensional stone chimney which complies with the zoning ordinance chimney material requirement but does not fulfill the proposed building material requirement.
13. Example of other houses granted allowance of cedar siding as a first-floor building material:
  - 15 N. Maple St. (Ord. 2844 approved in 2013)
  - 527 Aberdeen Rd. (Ord. 3060 approved in 2016)
  - 228 Hamilton Ave. (Ord. 3203 approved in 2019)

### Roof Material

14. Article 6, Section B, Part 4 (i) of the Zoning Ordinance prohibits metal roofs on single-family homes except when used as an accent features. This code section states that roofs shall be constructed of heavyweight architectural shingles, wood, slate, or other similar materials.
15. The applicant proposes the house with entirely a metal roof which is the variation in consideration at this public hearing.
16. It is to staff's knowledge that the request for an entire metal roof is not the first time it has been requested (i.e. 240 Center Road), but relief on the Village's roof material requirement to permit an entire metal roof has never been granted before.



17. The submitted architectural plans state that the color of the roof is to be determined. The colored renderings depict a black metal roof color.
18. Staff suggests that the applicant use metal roof material as an accent feature as the code encourages.

### ***Standards for Variations***

---

For reference, Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request:

- a. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:
  1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
  2. That the plight of the owner is due to unique circumstances;
  3. That the variation, if granted, will not alter the essential character of the locality.
- b. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making this determination, whenever there are practical difficulties or hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:
  1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
  2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
  3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
  4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
  5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
  6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;
  7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

### ***Affirmative Motions***

---

1. Recommend the Village Board approve a variation request to allow non-masonry siding for first-floor and second-floor building materials on a house proposed on Lot B in the Aurthur T. McIntosh and Company’s Kean Avenue, S. 95th Ave. (19-09-22-300-025-0000), in accordance with the reviewed plans, public testimony and Findings of Fact.

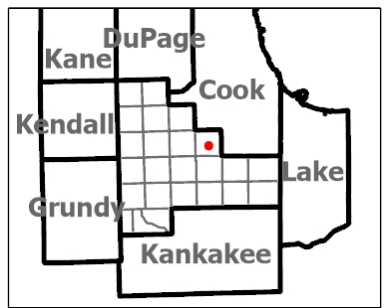


2. Recommend the Village Board approve a variation request to permit a metal roof on a house proposed on Lot B in the Aurthur T. McIntosh and Company's Kean Avenue, S. 95th Ave. (19-09-22-300-025-0000), in accordance with the reviewed plans, public testimony and Findings of Fact.



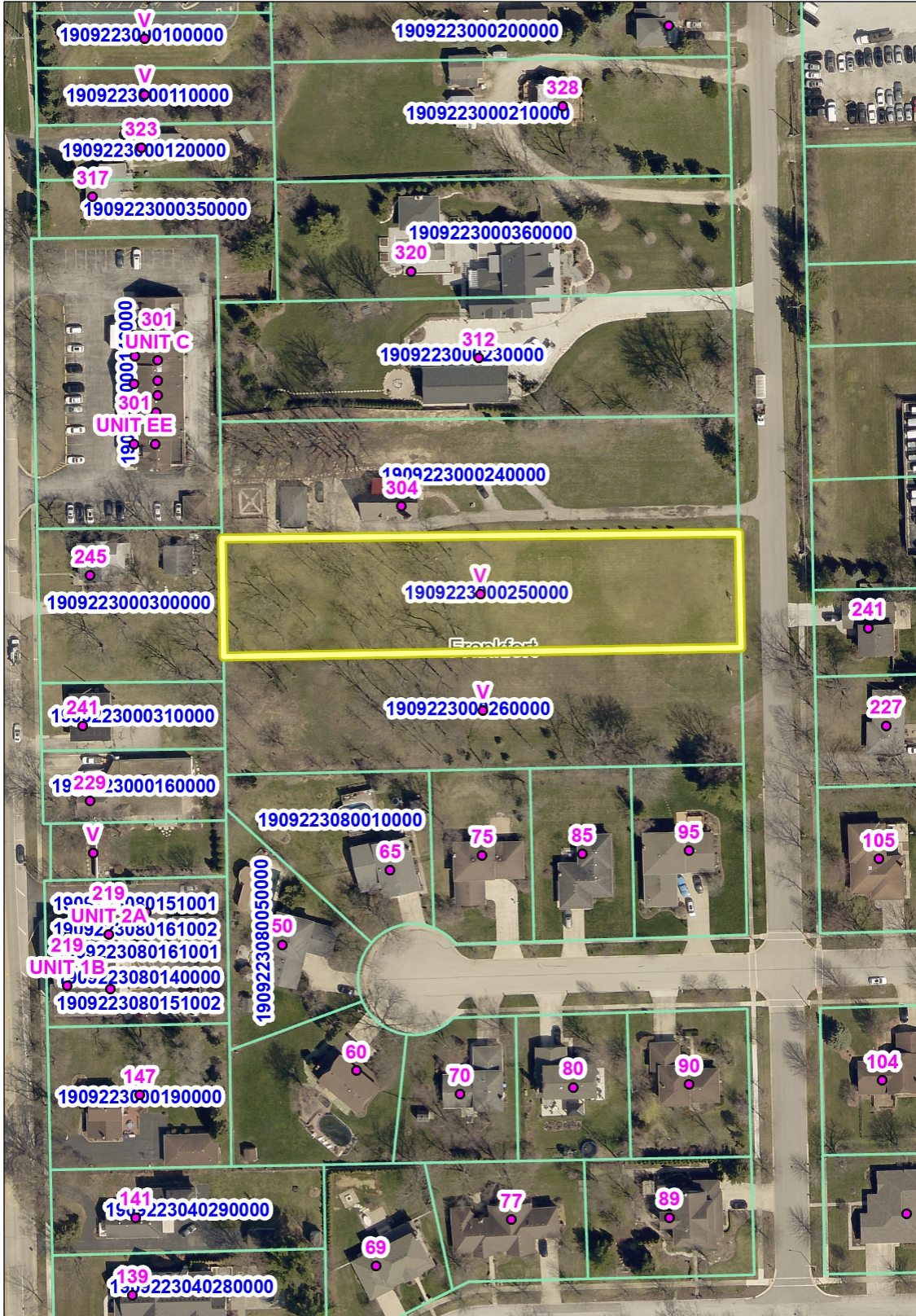


# Lot B in the Aurthur T. McIntosh and Company's Kean Avenue Estates, S. 95th Ave.



## Legend

- Address Points
- Parcels
- Townships



## Notes

Date: 2/27/2024

1: 2,257



0 0.04 0.07 Miles

Projection

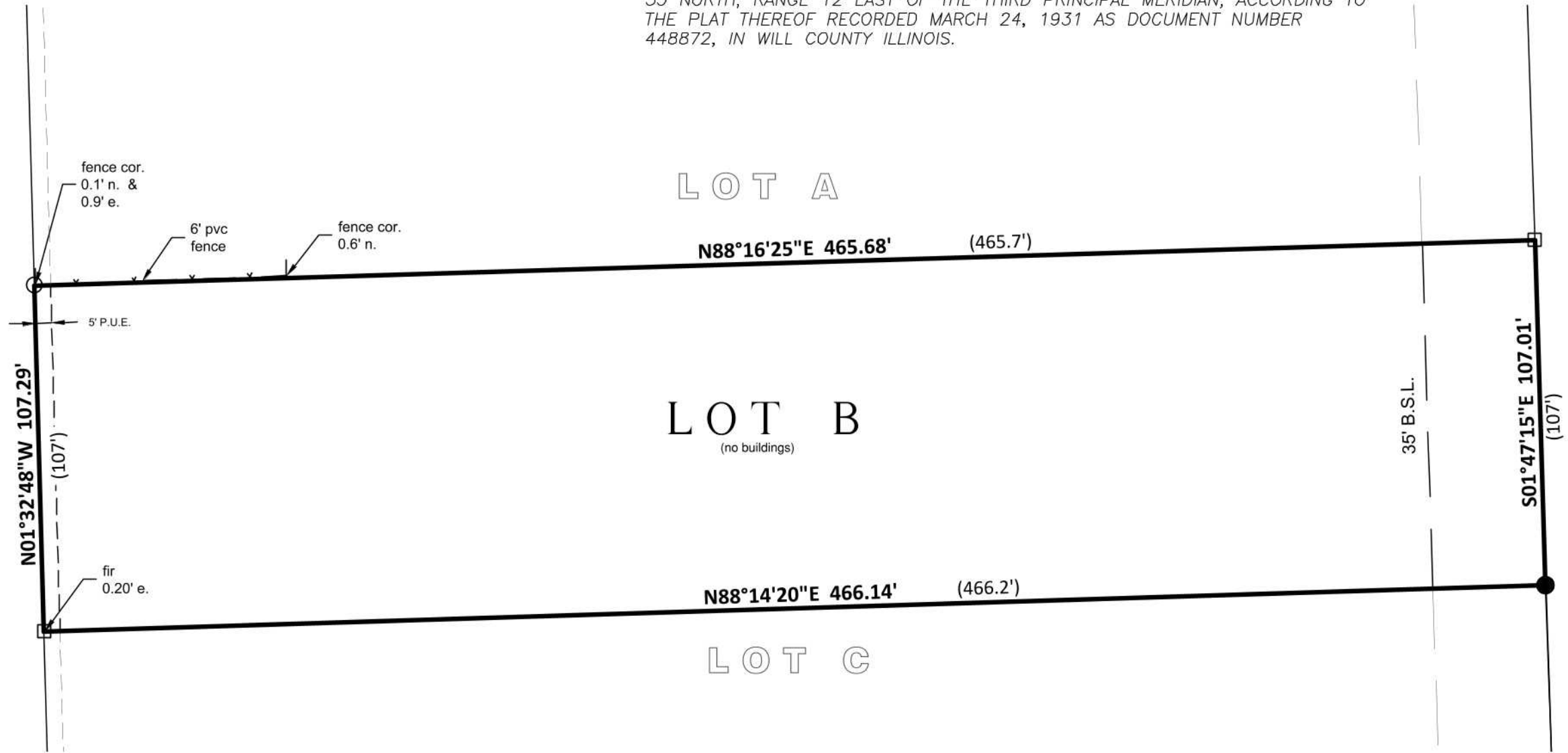
WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

Disclaimer of Warranties and Accuracy of Data: Although the data developed by Will County for its maps, websites, and Geographic Information System has been produced and processed from sources believed to be reliable, no warranty, expressed or implied, is made regarding accuracy, adequacy, completeness, legality, reliability or usefulness of any information. This disclaimer applies to both isolated and aggregate uses of the information. The County and elected officials provide this information on an "as is" basis. All warranties of any kind, express or implied, including but not limited to the implied warranties of merchantability, fitness for a particular purpose, freedom from contamination by computer viruses or hackers and non-infringement of proprietary rights are disclaimed. Changes may be periodically made to the information herein; these changes may or may not be incorporated in any new version of the publication. If you have obtained information from any of the County web pages from a source other than the County pages, be aware that electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended that careful attention be paid to the contents of any data, and that the originator of the data or information be contacted with any questions regarding appropriate use. Please direct any questions or issues via email to [gis@willcountyillinois.com](mailto:gis@willcountyillinois.com).



# PLAT OF SURVEY

LOT B IN AURTHUR T. MCINTOSH AND COMPANY'S KEAN AVENUE ESTATES, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 24, 1931 AS DOCUMENT NUMBER 448872, IN WILL COUNTY ILLINOIS.



**SITE ADDRESS**

VACANT LOT B  
95th AVENUE FRANKFORT IL



**LEGEND**

- FOUND IRON PIPE
- FOUND IRON ROD
- SET IRON PIPE
- 7.77' MEASURED DATA
- (7.77') RECORDED DATA
- P.U.E. PUBLIC UTILITY EASEMENT
- B.S.L. BUILDING SETBACK LINE
- ASPHALT SURFACE

I, MARK J. SCHIERHOLZ, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY. ALL DISTANCES ARE IN FEET AND DECIMAL PARTS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 15th DAY OF JANUARY, A.D. 2024.

*Mark J. Schierholz*

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003105  
LICENSE EXPIRES NOVEMBER 30, 2024



NOTE:  
MEASURED BEARINGS AND DISTANCES SHOWN HEREON REFERENCE THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983, (2011 ADJUSTMENT) "GRID". AREAS SHOWN ON THIS PLAT ARE BASED ON GROUND DISTANCES.



**CIVIL ENGINEERING  
SURVEYING**

**M GINGERICH GEREAX & ASSOCIATES**

Professional Design Firm License # 184.001808  
P. 815-939-4921 [www.mg2a.com](http://www.mg2a.com) F. 815-939-9810  
240 N. INDUSTRIAL DRIVE | BRADLEY, IL. 60915

ORDERED BY: STEVE LECAS

JOB NUMBER: 23-309

DR BY: SLM

FIELD WORK COMPLETED: 01-11-2024

SB: 166 P: 133-134



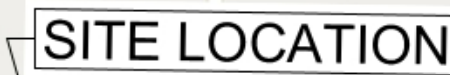
**Site Visit Photos Taken on 3.1.24**











NO SCALE

LOT A

729.92'

729.71' x

EX. HOUSE  
T/F=730.28'

ST. JAMES

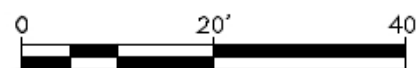
ST. JAMES

TOTAL AREA = 49,973 SQ.FT.  
EXISTING / PROPOSED ZONING: R-2  
EXISTING / PROPOSED USE: SINGLE-FAMILY RESIDENTIAL

LOT AREA = 49,937 SQ.FT.

LOT AREA = 49.937 SQ.FT.

PERVIOUS AREA	38,796
IMPERVIOUS LOT COVERAGE	22.3% (40%=19,974 ALLOWABLE)



**CIVIL ENGINEERING**  
**SURVEYING**



BLOCKER RESIDENCE  
LOT B - 95th AVENUE

FRANKFORT, ILLINOIS

PRELIMINARY SITE PLAN

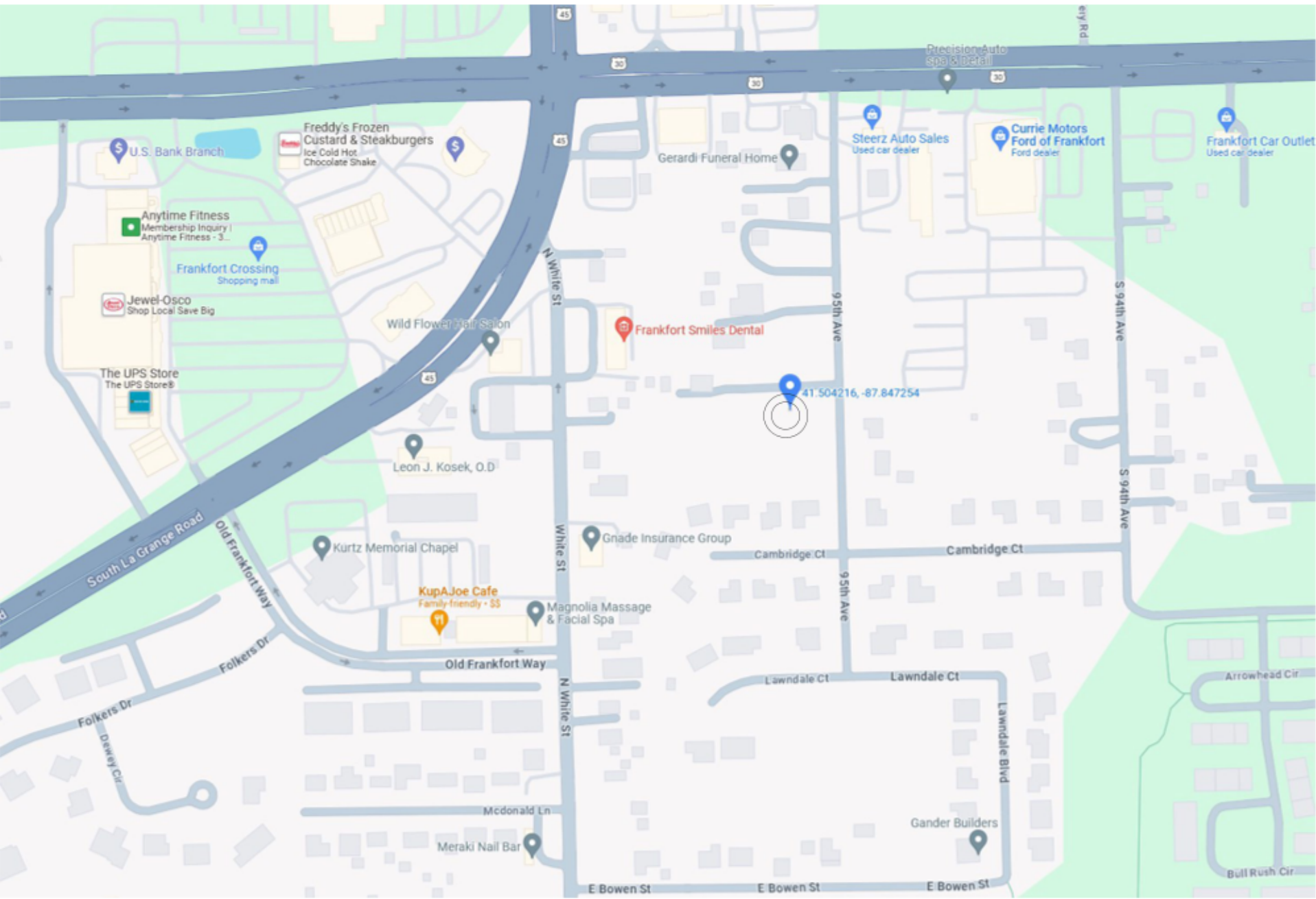
SHEET NO.

1 OF 1

JOB NO. 23-309

© 2020 M. GINGERICH, GEREALUX & ASSOCIATES





1 SITE LOCATION  
SCALE: N.T.S.

## SHEET INDEX

- 001 - TITLE SHEET (T-000)
- 002 - FOUNDATION PLAN (A-001)
- 003 - LOWER LEVEL PLAN (A-100)
- 004 - MAIN LEVEL PLAN (A-101)
- 005 - UPPER LEVEL PLAN (A-102)
- 006 - ROOF PLAN (A-103)
- 007 - EXTERIOR ELEVATIONS (A-200)
- 008 - EXTERIOR ELEVATIONS (A-201)
- 009 - EXTERIOR ELEVATIONS (A-202)
- 010 - BUILDING SECTION (A-300)
- 011 - BUILDING SECTION (A-301)
- 012 - BUILDING SECTION (A-302)
- 013 - BUILDING SECTION (A-303)
- 014 - BUILDING SECTION (A-304)
- 015 - BUILDING SECTION (A-305)
- 016 - BUILDING SECTION (A-306)
- 017 - FOOTING & FOUNDATION PLAN (S1)
- 018 - MAIN LEVEL FRAMING PLAN (S2)
- 019 - UPPER LEVEL FRAMING PLAN (S3)
- 020 - MAIN LEVEL WALL BRACING PLAN (S3-WSP)
- 021 - ROOF FRAMING PLAN
- 022 - UPPER LEVEL WALL BRACING PLAN (S4-WSP)
- 023 - STRUCTURAL DETAILS (S5)
- 024 - STRUCTURAL DETAILS & NOTES (S6)
- 025 - LOWER LEVEL ELECTRICAL PLAN (E-100)
- 026 - MAIN LEVEL ELECTRICAL PLAN (E-101)
- 027 - UPPER LEVEL ELECTRICAL PLAN (E-102)

## PROPERTY INFORMATION

Address: Lot B 95th Avenue Frankfort, IL 60423  
Property ID: 19-09-22-300-025-0000  
Construction Year: 2024  
Lot Area: 1.14 acres (49,936.9 Square Feet)  
Zoning District: R

## PROJECT TEAM

**ARCHITECT**  
Everson Architect  
[952] 210 9845

**LANDSCAPE DESIGN**  
Beary Landscaping  
[815] 838 4100

**GENERAL CONTRACTOR**  
Gander Builders  
[815] 693 9288

**STRUCTURAL ENGINEER**  
B.P. Miller Consultants  
[815] 467 9744

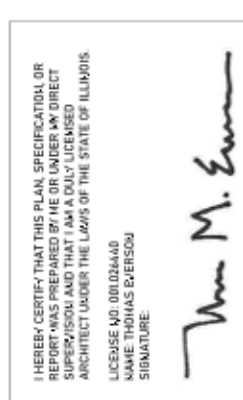
**CIVIL ENGINEER/SURVEYOR**  
MG2A  
[815] 735 3759

## WINDOW/DOOR SCHEDULE

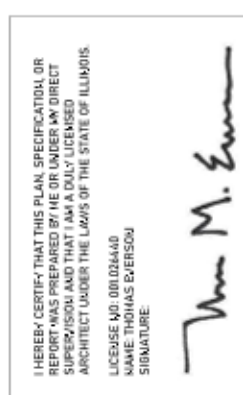
Tag	Room	Manufacturer	Model	Qty	Material/Finish	Screen	Hardware	Frame Size Width	Jamb	Head	Notes
L.01	001	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	5'-4" x 4'-4"	3 3/16"	96" from T.O. Concrete Floor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit - Egress - Tempered
M.01	100	Keilbe Windows	VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	2'-8" x 4'-4"	3 3/16"	96" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - Egress
M.02	103	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	8'-0" x 4'-4"	3 3/16"	96" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit mullied to 32"x54" unit
M.03	104	TBD	Solid Core Slab Door	1	Insulated Smooth Door - Painted	N/A	TBD	Verify	6 9/16"	96" (Align w/ overhead garage door head height)	"See Exterior Elevations for door operation - Door size 3'-0" x 8'-0"
M.04	104	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	3'-4" x 4'-4"	3 3/16"	107 1/4" from T.O. Concrete Floor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit
M.05	104	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	3'-4" x 4'-4"	3 3/16"	107 1/4" from T.O. Concrete Floor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit
M.06	104	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	3'-4" x 4'-4"	3 3/16"	107 1/4" from T.O. Concrete Floor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit
M.07	104	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	3'-4" x 4'-4"	3 3/16"	107 1/4" from T.O. Concrete Floor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit
M.08	104	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	3'-4" x 4'-4"	3 3/16"	107 1/4" from T.O. Concrete Floor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit
M.09	104	Wayne-Dalton	Thermoapan 200-20	1	Flush Insulated Smooth Steel Door - Painted	N/A	TBD	18'-0" x 8'-0"	N/A	96"	
M.10	104	Wayne-Dalton	Thermoapan 200-20	1	Flush Insulated Smooth Steel Door - Painted	N/A	TBD	18'-0" x 8'-0"	N/A	96"	
M.11	102	Keilbe Windows	VistaLuxe WD Flush Direct Set mullied to VistaLuxe WD Flush Direct Set	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	11'-11 1/2" x 7'-11 1/2"	3 3/16"	96" from T.O. Subfloor	71 3/4"x93 1/2" unit mullied to 71 3/4"x93 1/2" unit - Tempered - If 1/4" vertical steel stiffener is needed, maintain overall width of 143 1/2"
M.12	108	Keilbe Windows	VistaLuxe WD Flush Direct Set mullied to VistaLuxe WD Flush Direct Set	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	9'-0 1/2" x 7'-11 1/2"	3 3/16"	96" from T.O. Subfloor	72"x93 1/2" unit mullied to 36"x93 1/2" unit w/ 1/2" vertical steel stiffener between units - Tempered
M.13	101	Keilbe Windows	VistaLuxe WD Flush Direct Set	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	5'-11 3/4" x 7'-11 1/2"	3 3/16"	96" from T.O. Subfloor	Tempered
M.14	101	Keilbe Windows	VistaLuxe WD Inswing Entrance Door X L	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	TBD	3'-2" x 7'-11 1/2"	5 5/16"	96" from T.O. Subfloor	"See Exterior Elevations for door operation - Tempered
M.15	101	Keilbe Windows	VistaLuxe WD Flush Direct Set	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	5'-10 1/4" x 7'-11 1/2"	3 3/16"	96" from T.O. Subfloor	Tempered
M.16	101	Keilbe Windows	VistaLuxe WD Flush Direct Set	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	3'-0" x 7'-11 1/2"	3 3/16"	96" from T.O. Subfloor	Tempered
M.17	100	Keilbe Windows	VistaLuxe WD Flush Direct Set mullied to VistaLuxe WD Flush Direct Set	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	TBD	6'-0 1/4" x 7'-11 1/2"	3 3/16"	96" from T.O. Subfloor	"See Exterior Elevations for PDL layout 36"x93 1/2" unit mullied to 36"x93 1/2" unit w/ 1/4" vertical steel stiffener between units - Tempered
M.18	100	Keilbe Windows	VistaLuxe WD Flush Direct Set mullied to VistaLuxe WD Flush Direct Set	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	9'-0 1/2" x 7'-11 1/2"	3 3/16"	96" from T.O. Subfloor	"See Exterior Elevations for PDL layout 36"x93 1/2" unit mullied to 36"x93 1/2" unit w/ 1/4" vertical steel stiffener between units - Tempered
M.19	100	Keilbe Windows	VistaLuxe WD Flush Direct Set mullied to VistaLuxe WD Flush Direct Set	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	6'-0 1/4" x 7'-11 1/2"	3 3/16"	96" from T.O. Subfloor	"See Exterior Elevations for PDL layout 36"x93 1/2" unit mullied to 36"x93 1/2" unit w/ 1/4" vertical steel stiffener between units - Tempered
M.20	100	Keilbe Windows	VistaLuxe WD Flush Direct Set mullied to VistaLuxe WD Flush Direct Set	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	6'-0 1/4" x 7'-11 1/2"	3 3/16"	96" from T.O. Subfloor	"See Exterior Elevations for PDL layout 36"x93 1/2" unit mullied to 36"x93 1/2" unit w/ 1/4" vertical steel stiffener between units - Tempered
M.21	100	Keilbe Windows	VistaLuxe WD Flush Direct Set mullied to VistaLuxe WD Flush Direct Set	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	9'-0 1/2" x 7'-11 1/2"	3 3/16"	96" from T.O. Subfloor	"See Exterior Elevations for PDL layout 36"x93 1/2" unit mullied to 36"x93 1/2" unit w/ 1/4" vertical steel stiffeners between units - Tempered
M.22	100	Keilbe Windows	VistaLuxe WD VLSF 6080 (Custom width of 6'-0 1/4")	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	TBD	6'-0 1/4" x 7'-11 1/2"	3 3/16"	96" from T.O. Subfloor	"See Exterior Elevations for sliding door operation & PDL layout - Tempered - Align horizontal PDL's w/ M.21
M.23	109	Keilbe Windows	VistaLuxe WD VLSF 6080 (Custom width of 6'-0 1/4")	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	6'-0 1/4" x 7'-11 1/2"	3 3/16"	96" from T.O. Subfloor	"See Exterior Elevations for sliding door operation & PDL layout - Tempered - Align horizontal PDL's w/ M.21
M.24	109	Keilbe Windows	VistaLuxe WD VLSF 6080 (Custom width of 6'-0 1/4")	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	TBD	6'-0 1/4" x 7'-11 1/2"	3 3/16"	96" from T.O. Subfloor	"See Exterior Elevations for sliding door operation & PDL layout - Tempered - Align horizontal PDL's w/ M.21
M.25	108	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	9'-0 1/2" x 4'-0"	3 3/16"	96" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - 36"x48" unit mullied to 36"x48" unit mullied to 36"x48" unit w/ 1/4" vertical steel stiffeners between units - Tempered
M.26	104	Keilbe Windows	VistaLuxe WD Inswing Entrance Door X L	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	TBD	3'-2" x 7'-11 1/2"	5 5/16"	96" from T.O. Subfloor	"See Exterior Elevations for door operation - Tempered
M.27	101	TBD	Solid Core Slab Door	1	Insulated Smooth Door - Painted	N/A	TBD	Verify	6 9/16"	96" from T.O. Subfloor	"See Exterior Elevations for door operation - Door size 3'-0" x 8'-0"
M.28	100	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	5'-4" x 4'-4"	3 3/16"	96" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit - Egress

Tag	Room	Manufacturer	Model	Qty	Material/Finish	Screen	Hardware	Frame Size Width	Jamb	Head	Notes
U.01	200	Keilbe Windows	VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	2'-8" x 4'-4"	3 3/16"	81 1/2" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - Provide WOOD hardware if required
U.02	206	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	8'-0" x 4'-4"	3 3/16"	81 1/2" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit mullied to 32"x54" unit - Provide WOOD hardware if required
U.03	208	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	5'-4" x 4'-4"	3 3/16"	81 1/2" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit - Provide WOOD hardware if required
U.04	210	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	5'-4" x 4'-4"	3 3/16"	81 1/2" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit - Provide WOOD hardware if required
U.05	211	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	5'-4" x 4'-4"	3 3/16"	81 1/2" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit - Provide WOOD hardware if required
U.06	211	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	5'-4" x 4'-4"	3 3/16"	81 1/2" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit - Provide WOOD hardware if required
U.07	212	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	5'-4" x 4'-4"	3 3/16"	81 1/2" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit - Provide WOOD hardware if required
U.08	212	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	5'-4" x 4'-4"	3 3/16"	81 1/2" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit - Provide WOOD hardware if required
U.09	213	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	5'-4" x 4'-4"	3 3/16"	81 1/2" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit - Provide WOOD hardware if required
U.10	214	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	5'-4" x 4'-4"	3 3/16"	81 1/2" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit - Provide WOOD hardware if required
U.11	206	Keilbe Windows	VistaLuxe WD Direct Set mullied to VistaLuxe WD Direct Set	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	11'-11 1/2" x 7'-9 3/4"	3 3/16"	22A 108" from T.O. Subfloor	71 3/4"x93 1/2" unit mullied to 71 3/4"x93 1/2" unit - Tempered - If 1/4" vertical steel stiffener is needed, maintain overall width of 143 1/2"
U.12	202	Keilbe Windows	VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	2'-8" x 6'-4"	3 3/16"	81 1/2" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - Provide WOOD hardware if required
U.13	202	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	8'-0" x 6'-4"	3 3/16"	81 1/2" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - 32"x78" unit mullied to 32"x78" unit - Provide WOOD hardware if required
U.14	202	Keilbe Windows	VistaLuxe WD Flush Casement mullied to VistaLuxe WD Flush Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	Black	TBD	5'-4" x 4'-4"	3 3/16"	81 1/2" from T.O. Subfloor	"See Exterior Elevations for window operation & PDL layout - 32"x54" unit mullied to 32"x54" unit - Provide WOOD hardware if required
U.15	109	Keilbe Windows	VistaLuxe WD Flush Fixed Casement mullied to VistaLuxe WD Flush Fixed Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	6'-0 1/4" x 4'-0"	3 3/16"	168" from T.O. Subfloor	"See Exterior Elevations for PDL layout 36"x48" unit mullied to 36"x48" unit w/ 1/4" vertical steel stiffener between units
U.16	109	Keilbe Windows	VistaLuxe WD Flush Fixed Casement mullied to VistaLuxe WD Flush Fixed Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	6'-0 1/4" x 4'-0"	3 3/16"	168" from T.O. Subfloor	"See Exterior Elevations for PDL layout 36"x48" unit mullied to 36"x48" unit w/ 1/4" vertical steel stiffener between units
U.17	109	Keilbe Windows	VistaLuxe WD Flush Fixed Casement mullied to VistaLuxe WD Flush Fixed Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	6'-0 1/4" x 4'-0"	3 3/16"	168" from T.O. Subfloor	"See Exterior Elevations for PDL layout 36"x48" unit mullied to 36"x48" unit w/ 1/4" vertical steel stiffener between units
U.18	109	Keilbe Windows	VistaLuxe WD Flush Fixed Casement mullied to VistaLuxe WD Flush Fixed Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	6'-0 1/4" x 4'-0"	3 3/16"	168" from T.O. Subfloor	"See Exterior Elevations for PDL layout 36"x48" unit mullied to 36"x48" unit w/ 1/4" vertical steel stiffener between units
U.19	109	Keilbe Windows	VistaLuxe WD Flush Fixed Casement mullied to VistaLuxe WD Flush Fixed Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	6'-0 1/4" x 4'-0"	3 3/16"	168" from T.O. Subfloor	"See Exterior Elevations for PDL layout 36"x48" unit mullied to 36"x48" unit w/ 1/4" vertical steel stiffener between units
U.20	201	Keilbe Windows	VistaLuxe WD Flush Fixed Casement mullied to VistaLuxe WD Flush Fixed Casement	1	Clad Exterior (Color TBD) with Bare Wood Interior	N/A	N/A	6'-0 1/4" x 4'-0"	3 3/16"	168" from T.O. Subfloor	"See Exterior Elevations for PDL layout 36"x48" unit mullied to 36"x48" unit w/ 1/4" vertical steel stiffener between units

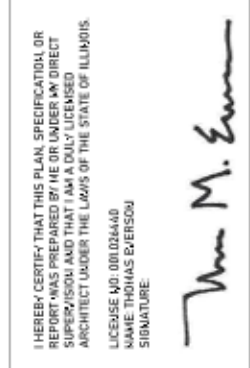




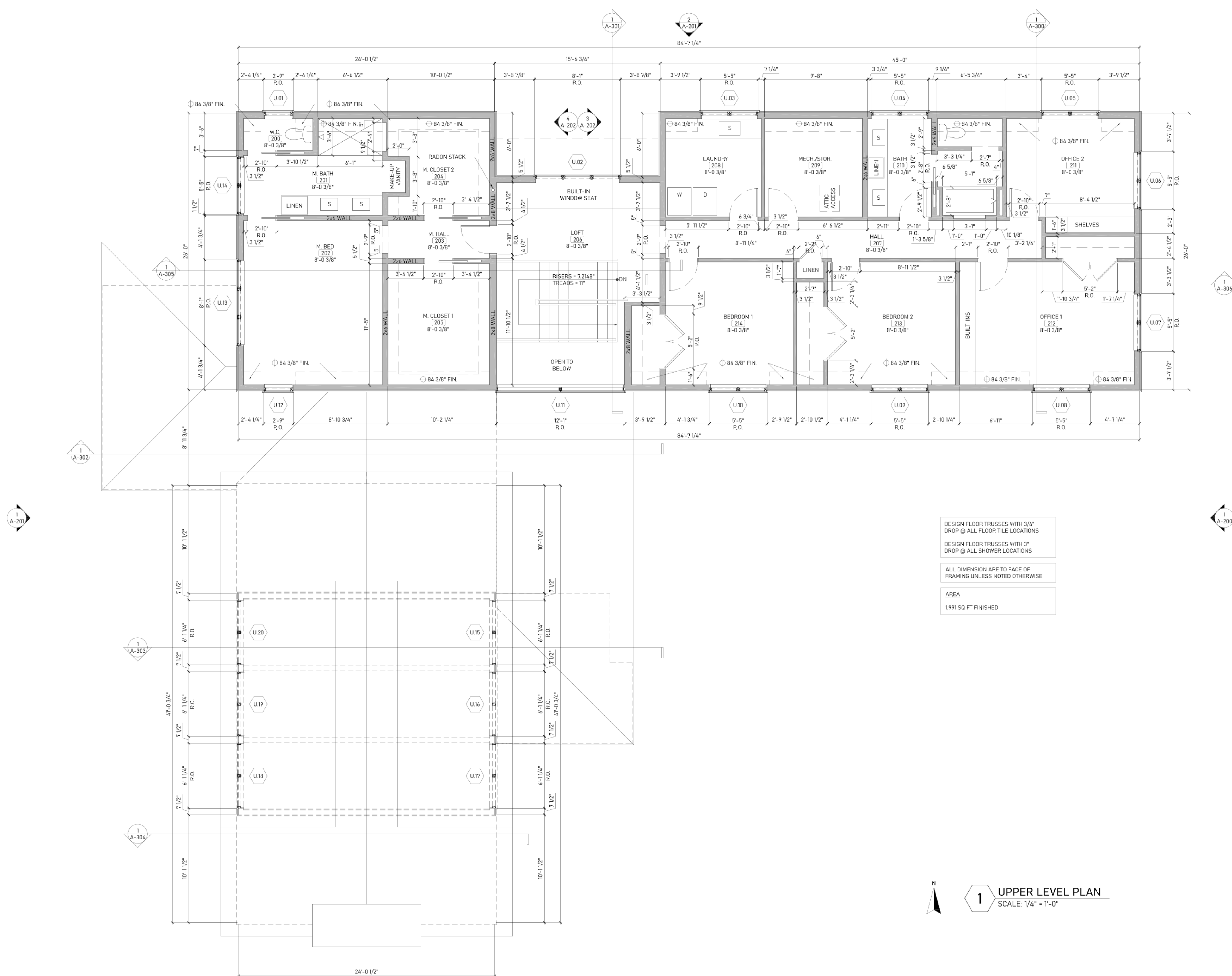
















**1** ROOF PLAN  
SCALE: 1/4" = 1'-0"

**BLOCKER RESIDENCE**  
Lot B 95th Avenue  
Frankfort, IL 60423

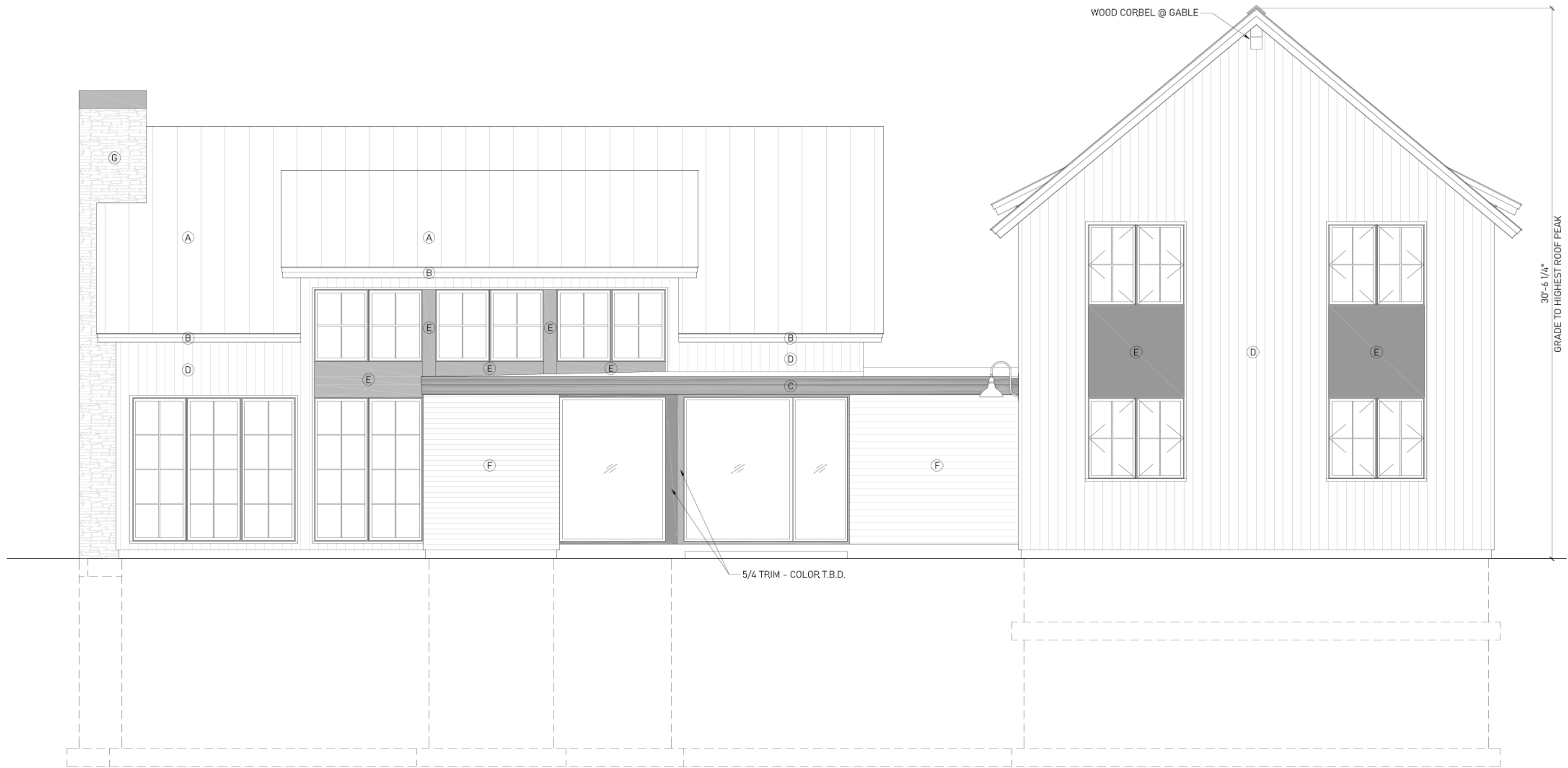
DATE  
02-08-24

SHEET  
A-103

EVERSON ARCHITECT  
952.210.9845  
EVERARCH.COM

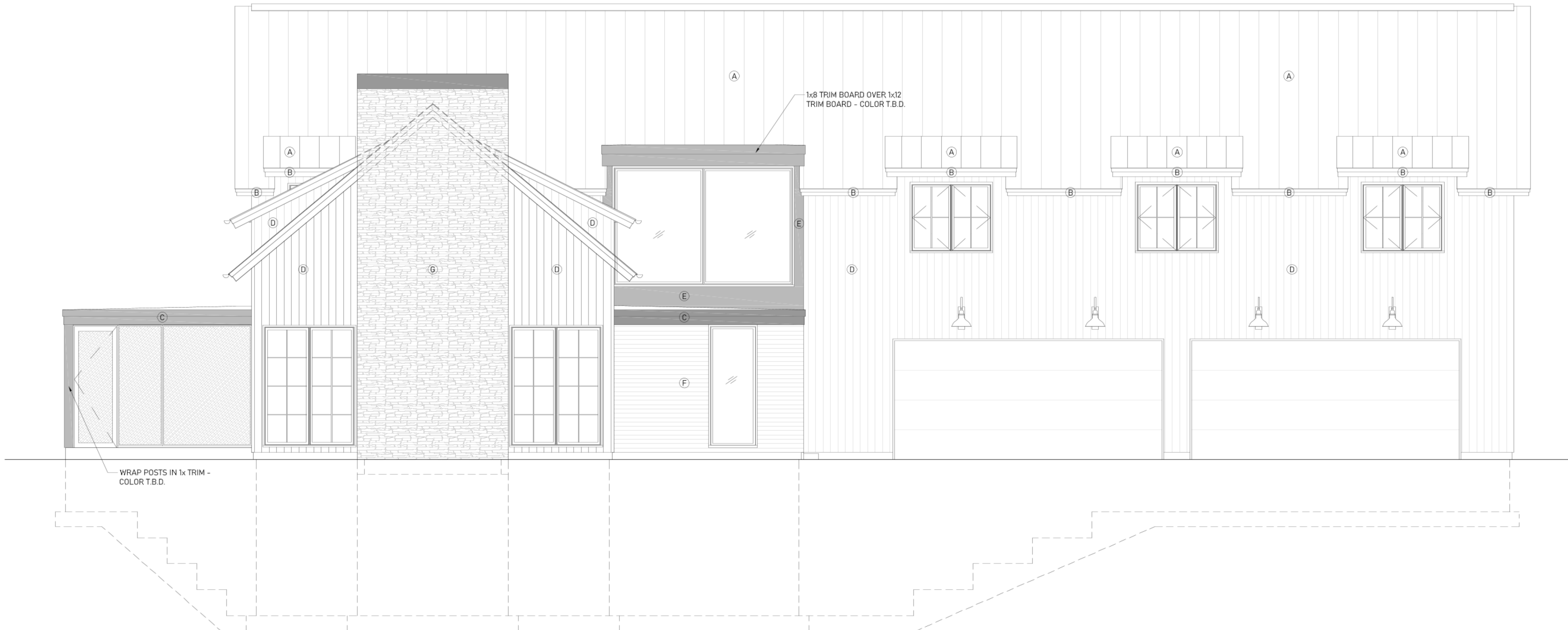
EVERSON ARCHITECT  
952.210.9845  
EVERARCH.COM





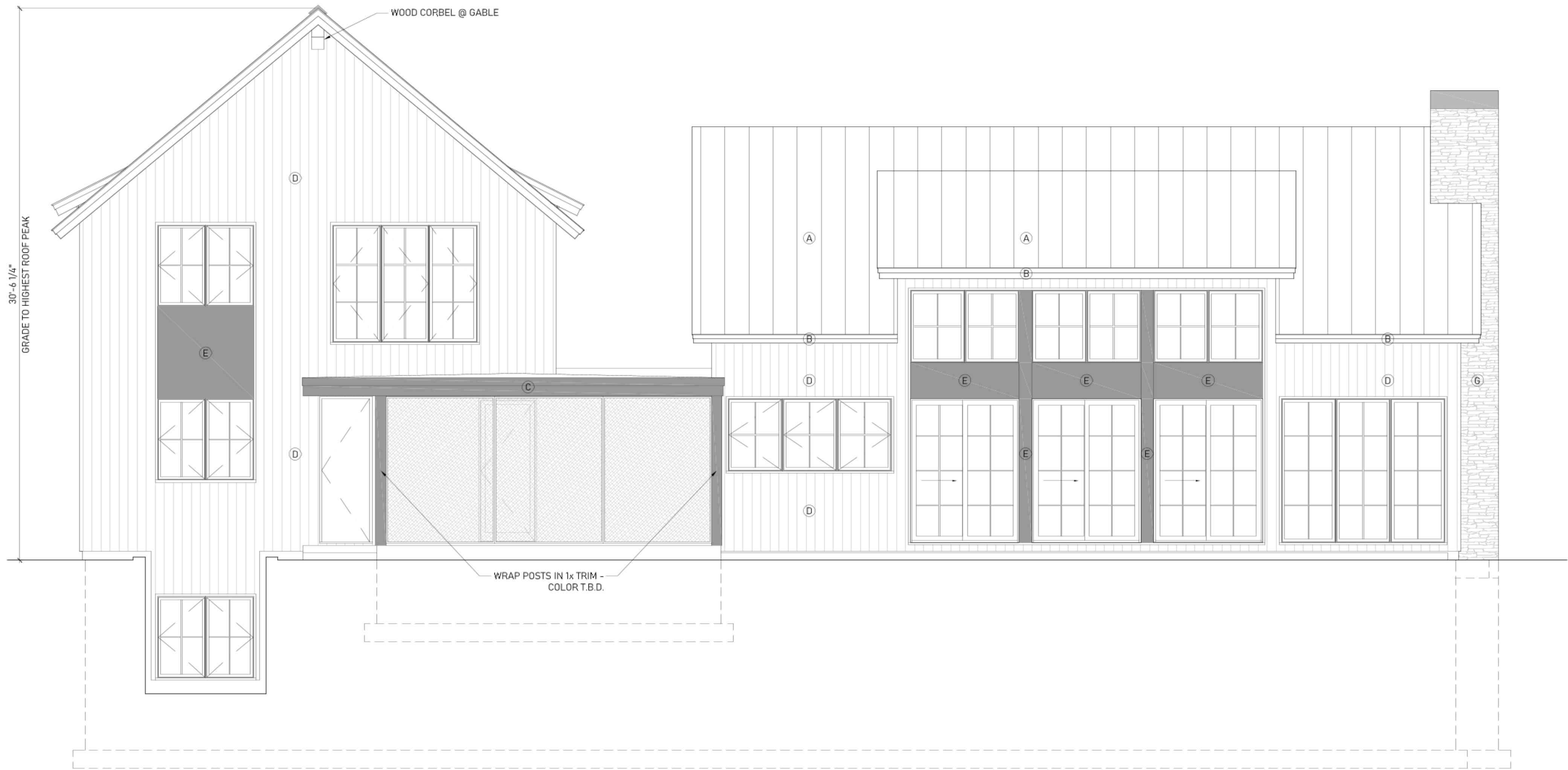
**1** EAST ELEVATION  
SCALE: 1/4" = 1'-0"

- EXTERIOR MATERIALS KEY:**
- (A) UNA-CLAD UC4 STANDING SEAM METAL ROOF, COLOR T.B.D.
  - (B) 1x4 CEDAR FASCIA TRIM OVER 1x8 CEDAR SUBFASCIA TRIM - COLOR T.B.D.
  - (C) 1x6 CEDAR FASCIA TRIM OVER 1x10 CEDAR SUBFASCIA TRIM - COLOR T.B.D.
  - (D) 1x6 TONGUE & GROOVE ATLANTIC WHITE CEDAR w/ SMOOTH TEXTURE FINISH (SUPPLIED BY DELTA MILLWORKS) w/ SQUARE EDGE, 1/16" REVEAL (NO FACE NAILING) STAIN COLOR STONE; SEAL ALL 6 SIDES - USE STAINLESS STEEL FASTENERS ONLY
  - (E) JAMES HARDIE SMOOTH VERTICAL PANEL - PAINTED, COLOR T.B.D.
  - (F) 1x4 HORIZONTAL CLEAR CEDAR SIDING ("C" OR BETTER w/ SQUARE EDGE, 1/2" GAP
  - (G) FULL DEPTH STONE - SIZE, COLOR & PATTERN T.B.D.
- \*ALL WINDOWS & DOORS TO BE TRIMMED w/ 2x3 (1 1/2"x2") CEDAR TRIM UNLESS NOTED OTHERWISE - COLOR T.B.D.
- 5" HALF ROUND GUTTERS AT PITCHED ROOFS (COLOR T.B.D.) - VERIFY GUTTER & DOWNSPOUT LOCATIONS IN FIELD
- 5"x5" METAL BOX GUTTERS AT ALL FLAT ROOF LOCATIONS - COLOR TO MATCH FASCIA TRIM COLOR - VERIFY DOWNSPOUT LOCATIONS IN FIELD
- SNOW GUARDS AT METAL ROOF TO MATCH ROOF COLOR - VERIFY SNOW GUARD LOCATIONS IN FIELD

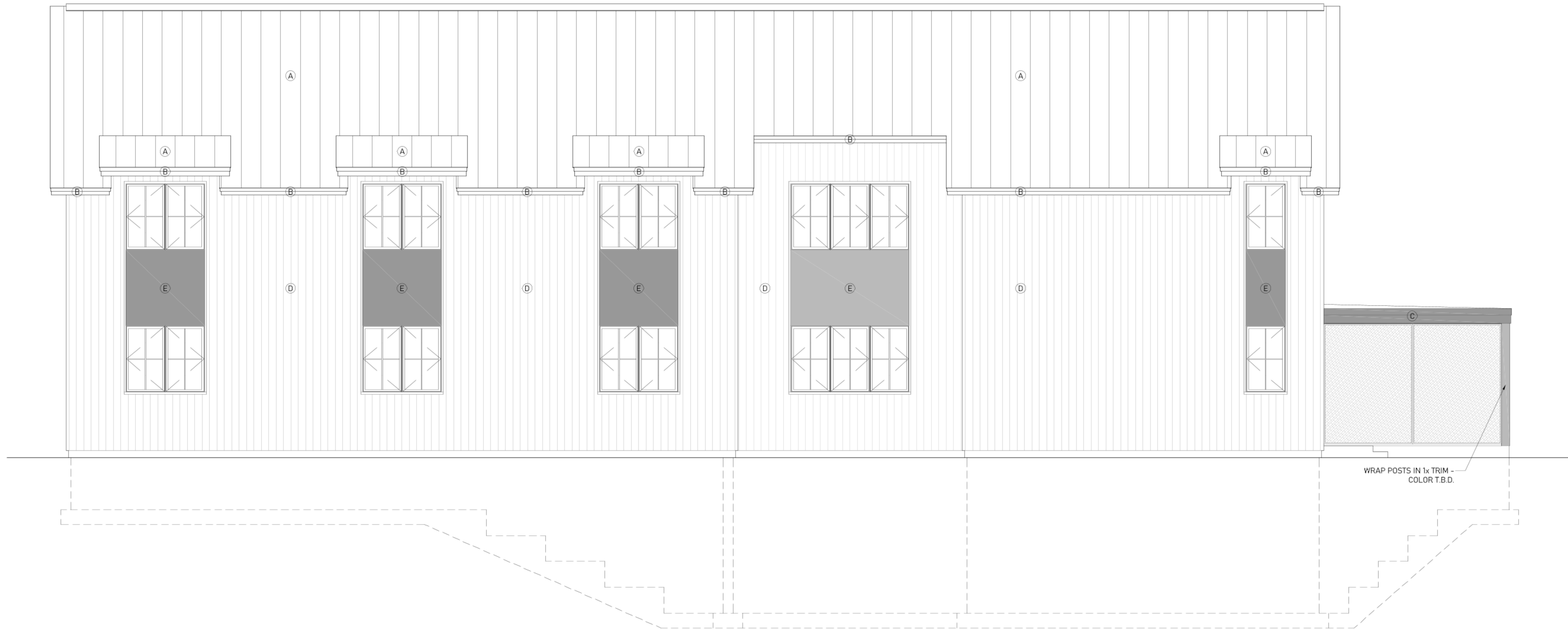


**2** SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"





1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS KEY:

- (A) UNA-CLAD UC4 STANDING SEAM METAL ROOF, COLOR T.B.D.
- (B) 1x4 CEDAR FASCIA TRIM OVER 1x8 CEDAR SUBFASCIA TRIM - COLOR T.B.D.
- (C) 1x6 CEDAR FASCIA TRIM OVER 1x10 CEDAR SUBFASCIA TRIM - COLOR T.B.D.
- (D) 1x6 TONGUE & GROOVE ATLANTIC WHITE CEDAR w/ SMOOTH TEXTURE FINISH (SUPPLIED BY DELTA MILLWORKS) w/ SQUARE EDGE, 1/4" REVEAL (NO FACE NAILING) STAIN COLOR STONE; SEAL ALL 6 SIDES - USE STAINLESS STEEL FASTENERS ONLY
- (E) JAMES HARDIE SMOOTH VERTICAL PANEL - PAINTED, COLOR T.B.D.
- (F) 1x4 HORIZONTAL CLEAR CEDAR SIDING ("C" OR BETTER w/ SQUARE EDGE, 1/2" GAP
- (G) FULL DEPTH STONE - SIZE, COLOR & PATTERN T.B.D.

\*ALL WINDOWS & DOORS TO BE TRIMMED w/ 2x3 (1 1/2"x2") CEDAR TRIM UNLESS NOTED OTHERWISE - COLOR T.B.D.

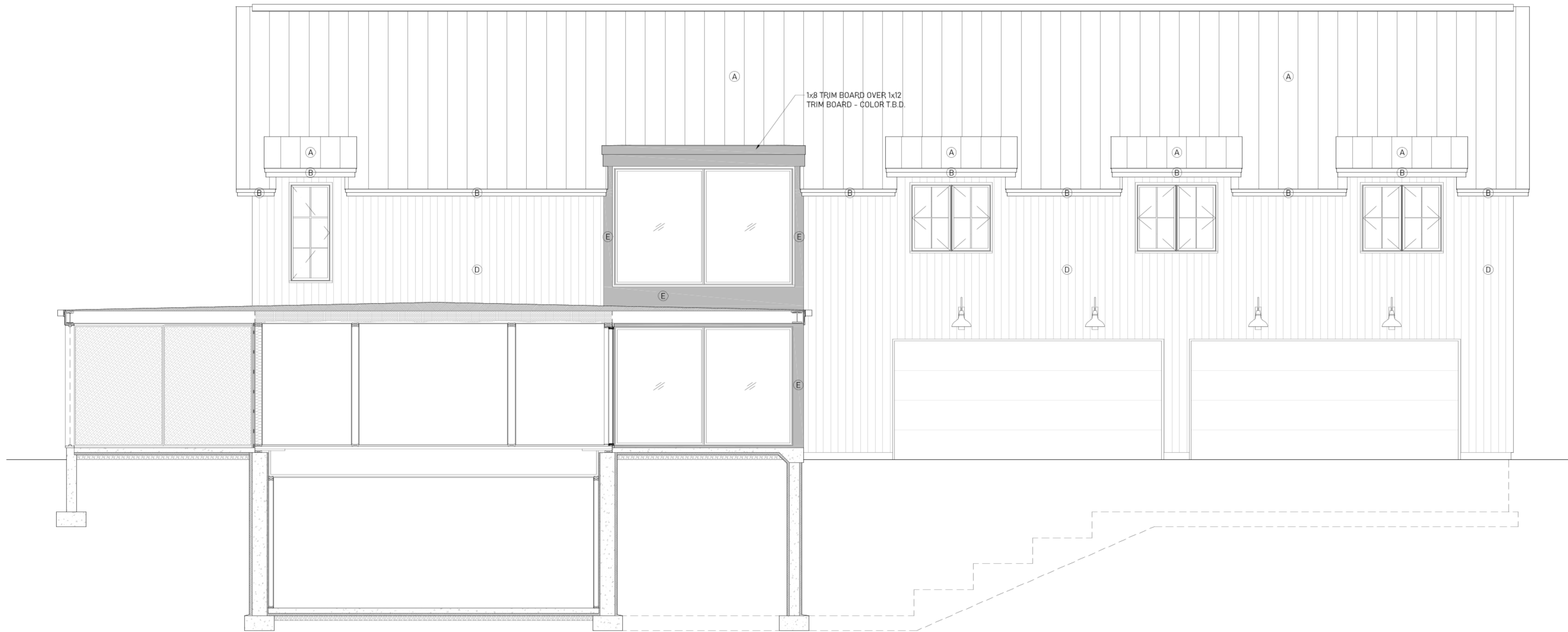
5" HALF ROUND GUTTERS AT PITCHED ROOFS (COLOR T.B.D.) - VERIFY GUTTER & DOWNSPOUT LOCATIONS IN FIELD

5"x5" METAL BOX GUTTERS AT ALL FLAT ROOF LOCATIONS - COLOR TO MATCH FASCIA TRIM COLOR - VERIFY DOWNSPOUT LOCATIONS IN FIELD

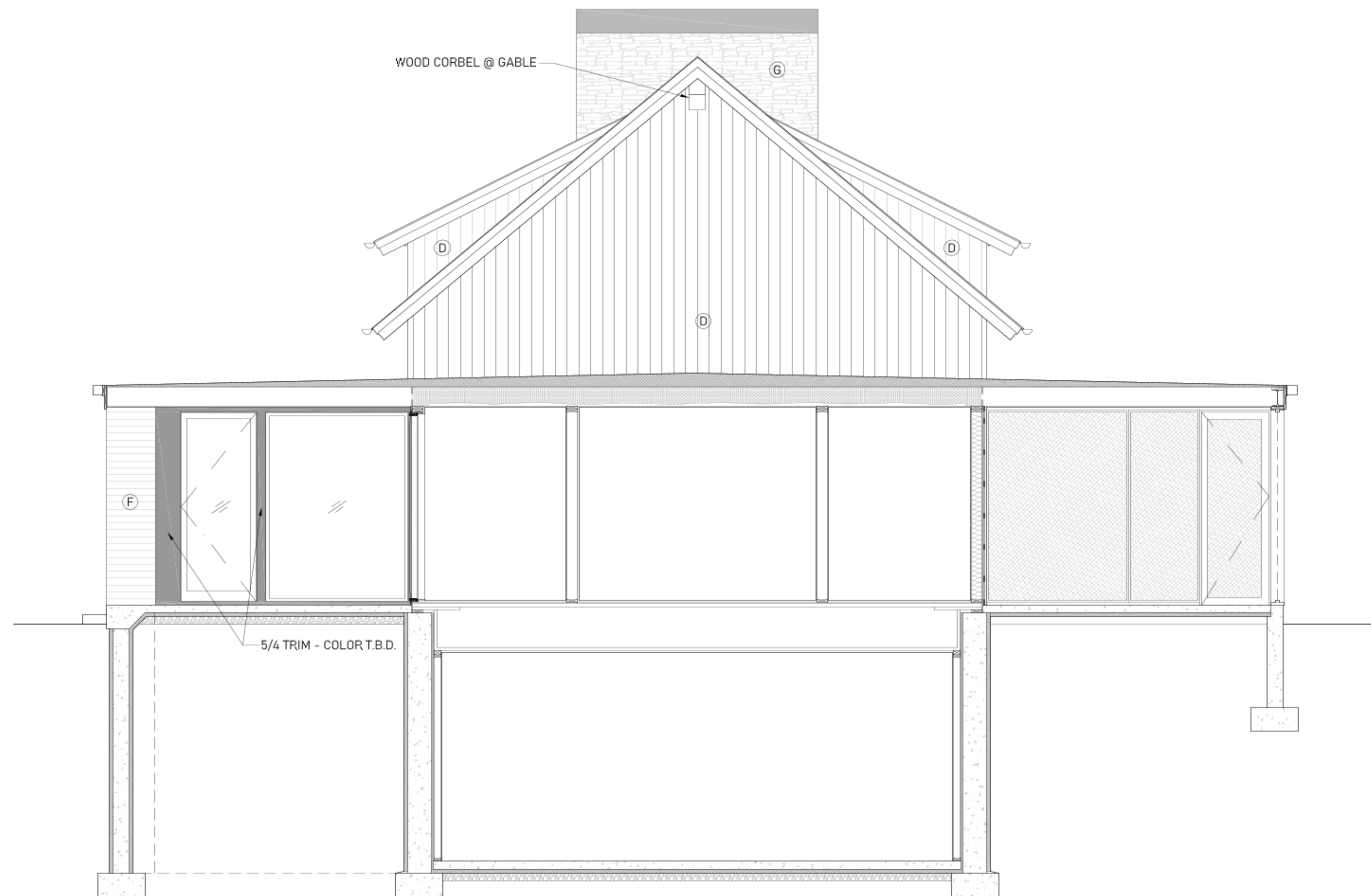
SNOW GUARDS AT METAL ROOF TO MATCH ROOF COLOR - VERIFY SNOW GUARD LOCATIONS IN FIELD



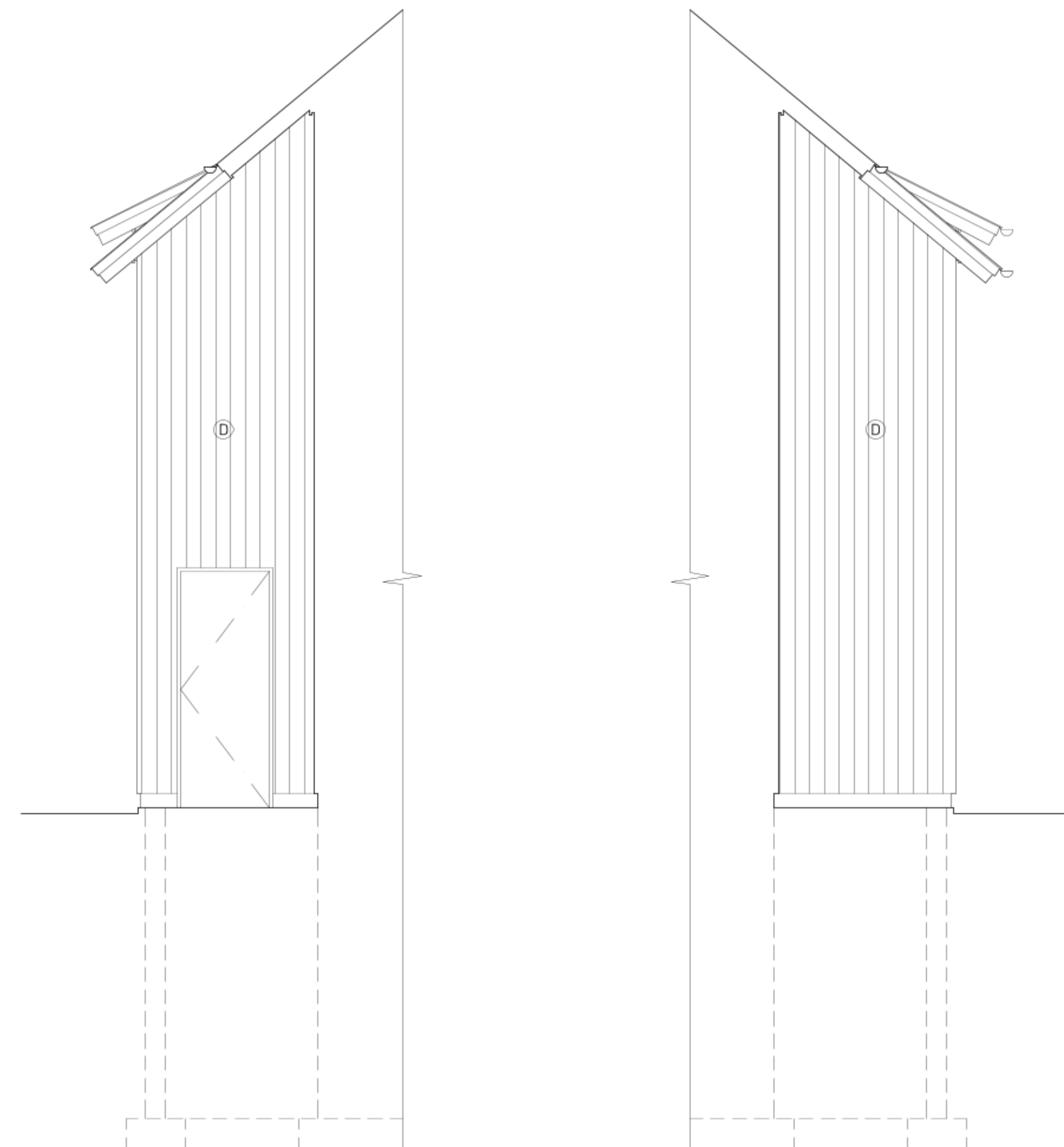
- EXTERIOR MATERIALS KEY:
- (A) UNA-CLAD UC4 STANDING SEAM METAL ROOF, COLOR T.B.D.
  - (B) 1x4 CEDAR FASCIA TRIM OVER 1x8 CEDAR SUBFASCIA TRIM - COLOR T.B.D.
  - (C) 1x6 CEDAR FASCIA TRIM OVER 1x10 CEDAR SUBFASCIA TRIM - COLOR T.B.D.
  - (D) 1x6 TONGUE & GROOVE ATLANTIC WHITE CEDAR w/ SMOOTH TEXTURE FINISH (SUPPLIED BY DELTA MILLWORKS) w/ SQUARE EDGE, 1/16" REVEAL (NO FACE NAILING) STAIN COLOR STONE; SEAL ALL 6 SIDES - USE STAINLESS STEEL FASTENERS ONLY
  - (E) JAMES HARDIE SMOOTH VERTICAL PANEL - PAINTED, COLOR T.B.D.
  - (F) 1x4 HORIZONTAL CLEAR CEDAR SIDING ("C" OR BETTER w/ SQUARE EDGE, 1/2" GAP
  - (G) FULL DEPTH STONE - SIZE, COLOR & PATTERN T.B.D.
- \*ALL WINDOWS & DOORS TO BE TRIMMED w/ 2x3 (1 1/2"x2") CEDAR TRIM UNLESS NOTED OTHERWISE - COLOR T.B.D.
- 5" HALF ROUND GUTTERS AT PITCHED ROOFS (COLOR T.B.D.) - VERIFY GUTTER & DOWNSPOUT LOCATIONS IN FIELD
- 5"x5" METAL BOX GUTTERS AT ALL FLAT ROOF LOCATIONS - COLOR TO MATCH FASCIA TRIM COLOR - VERIFY DOWNSPOUT LOCATIONS IN FIELD
- SNOW GUARDS AT METAL ROOF TO MATCH ROOF COLOR - VERIFY SNOW GUARD LOCATIONS IN FIELD



1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

4 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



- TYPICAL METAL ROOF ASSEMBLY @ DORMER**
- UNA-CLAD UC4 22 GAUGE STANDING SEAM METAL ROOF - COLOR T.B.D.
  - CONTINUOUS RIDGE VENT AND CONTINUOUS STRIP VENT @ SOFFIT, 2" MIN. AIR CHUTES IN EACH TRUSS BAY
  - 30# ROOF FELT w/HORIZONTAL OVERLAPS & ENDLAPS STAGGERED BETWEEN LAYERS
  - HEAT RESISTANT NON-GRANULAR ICE & WATER SHIELD 3' WITHIN INTERIOR WALL, 3' MIN. BOTH SIDES OF RIDGE AND @ RAKE
  - 3/4" PLYWOOD ROOF SHEATHING
  - ROOF FRAMING - SEE STRUCTURAL DRAWINGS
  - BLOWN-IN CELLULOSE INSULATION (R-49 MIN.)
  - CERTAINTED MEMBRAN OR EQUIVALENT
  - 5/8" GYP. BD. CEILING (SMOOTH FINISH)

1x3 TRIM BOARD OVER COR-A-VENT  
S-400 STRIP VENT - COLOR T.B.D.

HARDIE NON-VENTED SMOOTH  
SOFFIT PANEL - COLOR T.B.D.

1x4 TRIM BOARD OVER 1x8  
TRIM BOARD - COLOR T.B.D.

COR-A-VENT S-400 STRIP  
VENT - BLACK IN COLOR

- TYPICAL WALL ASSEMBLY @ LAP SIDING**
- 1x6 TONGUE & GROOVE ATLANTIC WHITE CEDAR w/ SMOOTH TEXTURE FINISH (SUPPLIED BY DELTA MILLWORKS) w/ SQUARE EDGE, 1/16" REVEAL (NO FACE NAILING) STAIN COLOR STONE; SEAL ALL 6 SIDES - USE STAINLESS STEEL FASTENERS ONLY
  - 1x3 HORIZONTAL FURRING STRIPS @ 16" o.c. MAX.
  - DRAINAGE LAYER - KEENE DRIWALL RAINSCREEN 020-1 OR EQUAL
  - WEATHER-RESISTIVE BARRIER - (2) LAYERS TYPE 'D' BUILDING PAPER w/ OVERLAPPING SEAMS
  - 1/2" EXTERIOR GRADE PLYWOOD SHEATHING
  - 2x6 WOOD STUDS @ 16" o.c. U.N.O.
  - BATT INSULATION (R-20 MIN.)
  - CERTAINTED MEMBRAN OR EQUIVALENT
  - 1/2" GYP. BD.

- TYPICAL FOUNDATION WALL ASSEMBLY**
- 2" RIGID INSULATION (R-10) ABOVE GRADE w/ PRE-FINISHED METAL SLIP SHEET (COLOR T.B.D.) - RUN 6" TO 8" BELOW GRADE
  - 2 3/8" TREMCO WARM-N-DRI (R-10) BELOW GRADE
  - TREMCO TUFF-N-DRI APPLIED FROM T.O. FOOTING TO T.O. FOUNDATION WALL
  - POURED CONCRETE FOUNDATION WALL - SEE STRUCTURAL DRAWINGS FOR SIZING & REINFORCING

- UPPER LEVEL FLOOR ASSEMBLY ABOVE GARAGE**
- 3/4" HARDWOOD FLOORING
  - 3/4" T&G PLYWOOD SUBFLOOR SCREWED AND GLUED
  - FLOOR FRAMING - SEE STRUCTURAL DRAWINGS
  - BLOWN-IN CELLULOSE INSULATION (R-49 MIN.)
  - CERTAINTED MEMBRAN OR EQUIVALENT
  - 5/8" TYPE 'X' GYP. BD. CEILING (SMOOTH FINISH)

CLOSED CELL SPF  
INSULATION @ ALL RIM  
LOCATIONS - (R-26 MIN.)

- GARAGE FLOOR ASSEMBLY**
- 4" POURED CONCRETE SLAB
  - 2" RIGID INSULATION - 25 PSI. (SEAL AND STAGGER ALL SEAMS)
  - 10 mil. CONTINUOUS VAPOR & RADON BARRIER
  - 4" COMPACTED GRANULAR SOILS (NO FINES)

T.O. UPPER LEVEL TOP PLATE  
130'-4 7/8" (747.9063' A.S.L.)

T.O. U.L. SPRING LINE TOP PLATE  
129'-4 5/8" (746.8855' A.S.L.)

T.O. UPPER LEVEL SUBFLOOR  
122'-3 1/8" (739.7605' A.S.L.)

T.O. MAIN LEVEL TOP PLATE  
120'-6 3/8" (738.0313' A.S.L.)

T.O. FOUNDATION WALL  
111'-0" (728.5' A.S.L.)

T.O. FOUNDATION LEDGE @ GARAGE  
110'-0" (727.5' A.S.L.)

T.O. FOOTING @ GARAGE  
107'-0" (724.5' A.S.L.)

GEO TEXTILE OVER 3/4" RIVER ROCK

4" DIA. PERFORATED DRAIN PIPE  
WRAPPED IN FILTER FABRIC (HOLES  
ORIENTED DOWN) DRAIN TO  
DAYLIGHT OR SUMP BASKET

SEE STRUCTURAL DRAWINGS FOR  
FOOTING SIZE AND REINFORCING

1

BUILDING SECTION

SCALE: 1/2" = 1'-0"

98

**BLOCKER RESIDENCE**

Lot B 95th Avenue  
Frankfort, IL 60423

DATE  
02-08-24

SHEET  
A-300

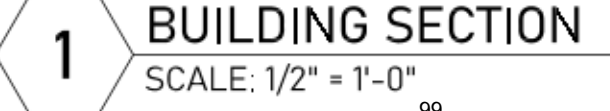
THIS DOCUMENT IS THE PROPERTY OF EVERSON ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF EVERSON ARCHITECT. THE USER OF THIS DOCUMENT AGREES TO INDEMNIFY AND HOLD EVERSON ARCHITECT HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THIS DOCUMENT.

*Thomas M. Emerson*

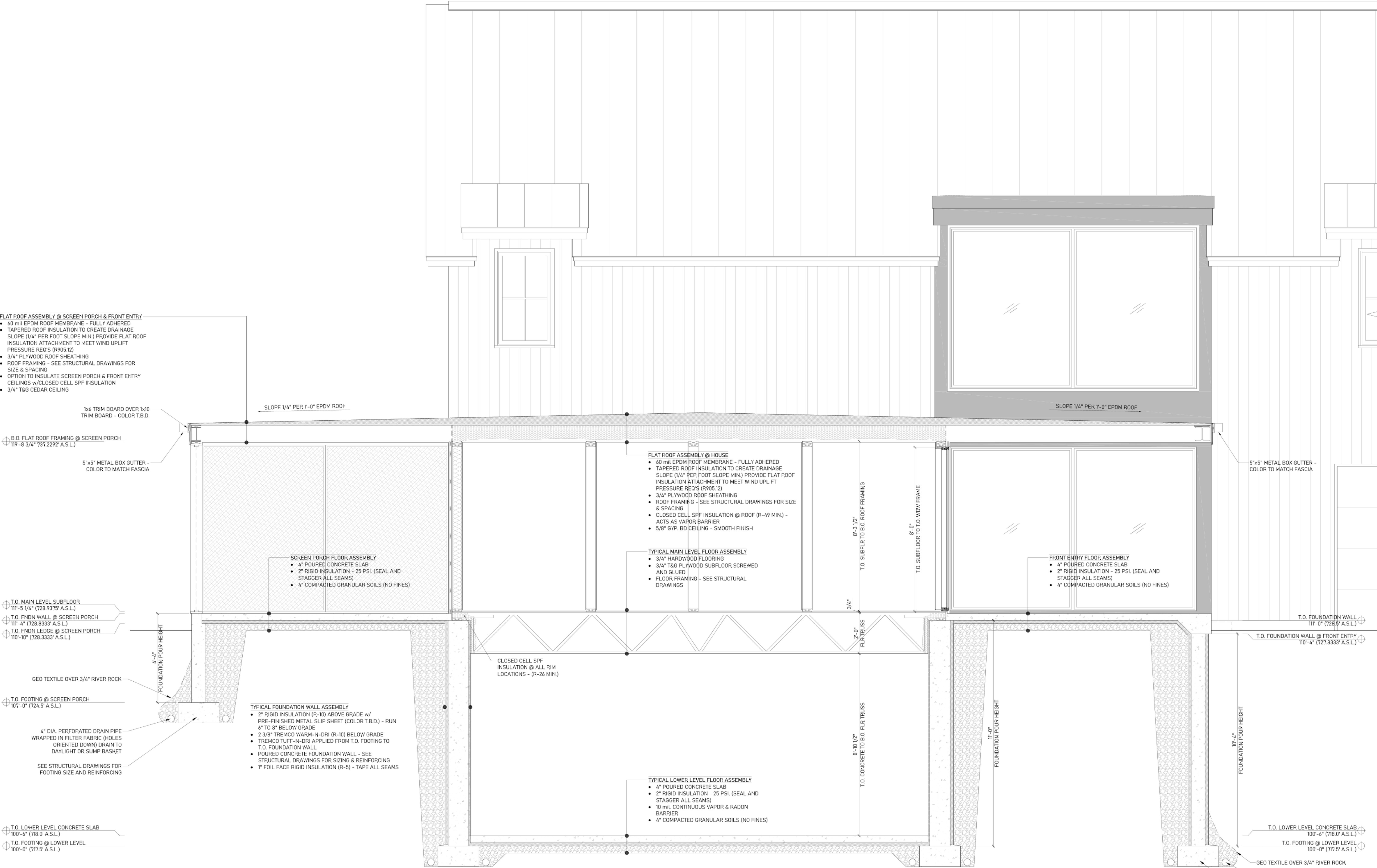
**EVERSON  
ARCHITECT**

952.210.9845  
EVERARCH.COM









1 BUILDING SECTION  
SCALE: 1/2" = 1'-0"



- TYPICAL METAL ROOF ASSEMBLY @ DORMER**
- UNA-CLAD UC4 22 GAUGE STANDING SEAM METAL ROOF - COLOR T.B.D.
  - 30# ROOF FELT w/HORIZONTAL OVERLAPS & ENDLAPS STAGGERED BETWEEN LAYERS
  - HEAT RESISTANT NON-GRANULAR ICE & WATER SHIELD 3' WITHIN INTERIOR WALL, 3' MIN. BOTH SIDES OF RIDGE AND @ RAKE
  - 3/4" PLYWOOD ROOF SHEATHING
  - ROOF FRAMING - SEE STRUCTURAL DRAWINGS
  - CLOSED CELL SPF INSULATION (R-49 MIN.) - ACTS AS VAPOR BARRIER
  - 5/8" GYP. BD. CEILING (SMOOTH FINISH)

- FLAT ROOF ASSEMBLY @ HOUSE**
- 60 mil EPDM ROOF MEMBRANE - FULLY ADHERED
  - TAPERED ROOF INSULATION TO CREATE DRAINAGE SLOPE (1/4" PER FOOT SLOPE MIN.) PROVIDE FLAT ROOF INSULATION ATTACHMENT TO MEET WIND UPLIFT PRESSURE REQ'S (R905.12)
  - 3/4" PLYWOOD ROOF SHEATHING
  - ROOF FRAMING - SEE STRUCTURAL DRAWINGS FOR SIZE & SPACING
  - CLOSED CELL SPF INSULATION @ ROOF (R-49 MIN.) - ACTS AS VAPOR BARRIER
  - 5/8" GYP. BD CEILING - SMOOTH FINISH

1x6 TRIM BOARD OVER 1x10 TRIM BOARD - COLOR T.B.D.

5"x5" METAL BOX GUTTER - COLOR TO MATCH FASCIA

T.O. MAIN LEVEL FLAT ROOF TOP PLATE  
119'-8 3/4" (737.2292' A.S.L.)

T.O. MAIN LEVEL SUBFLOOR  
111'-5 1/4" (728.9375' A.S.L.)

T.O. FOUNDATION WALL  
111'-0" (728.5' A.S.L.)

T.O. FOUNDATION WALL @ FRONT ENTRY  
110'-4" (727.8333' A.S.L.)

T.O. LOWER LEVEL TOP PLATE  
109'-4 1/2" (726.875' A.S.L.)

T.O. LOWER LEVEL CONCRETE SLAB  
100'-6" (718.0' A.S.L.)

T.O. FOOTING @ LOWER LEVEL  
100'-0" (717.5' A.S.L.)

1x4 TRIM BOARD OVER 1x8 TRIM BOARD - COLOR T.B.D.

HARDIE NON-VENTED SMOOTH SOFFIT PANEL - COLOR T.B.D.

COR-A-VENT S-400 STRIP VENT - BLACK IN COLOR

SLOPE 1/4" PER 1'-0" EPDM ROOF

8'-0"

T.O. SUBFLR TO T.O. VDW FRAME

8'-3 1/2"

T.O. SUBFLR TO B.O. ROOF FRAMING

14'-0"

T.O. SUBFLR TO T.O. VDW FRAME

14'-7 7/16"

FIN.

- TYPICAL MAIN LEVEL FLOOR ASSEMBLY**
- 3/4" HARDWOOD FLOORING
  - 3/4" T&G PLYWOOD SUBFLOOR SCREWED AND GLUED
  - FLOOR FRAMING - SEE STRUCTURAL DRAWINGS

CLOSED CELL SPF INSULATION @ ALL RIM LOCATIONS - (R-26 MIN.)

8'-10 1/2"

T.O. CONCRETE TO B.O. FLR TRUSS

- TYPICAL LOWER LEVEL FLOOR ASSEMBLY**
- 4" POURED CONCRETE SLAB
  - 2" RIGID INSULATION - 25 PSI. (SEAL AND STAGGER ALL SEAMS)
  - 10 mil CONTINUOUS VAPOR & RADON BARRIER
  - 4" COMPACTED GRANULAR SOILS (NO FINES)

METAL CHIMNEY CAP SURROUND - COLOR T.B.D.

T.O. LIVING ROOM DORMER TOP PLATE  
126'-7 3/4" (744.1458' A.S.L.)

T.O. LIVING ROOM TOP PLATE (BEYOND)  
122'-3 3/4" (739.8125' A.S.L.)

5" HALF ROUND GUTTER - COLOR T.B.D.

T.O. MAIN LEVEL SUBFLOOR  
111'-5 1/4" (728.9375' A.S.L.)

T.O. FOUNDATION WALL  
111'-0" (728.5' A.S.L.)

T.O. LOWER LEVEL TOP PLATE  
109'-4 1/2" (726.875' A.S.L.)

T.O. LOWER LEVEL CONCRETE SLAB  
100'-6" (718.0' A.S.L.)

T.O. FOOTING @ LOWER LEVEL  
100'-0" (717.5' A.S.L.)

GEO TEXTILE OVER 3/4" RIVER ROCK

4" DIA. PERFORATED DRAIN PIPE WRAPPED IN FILTER FABRIC (HOLES ORIENTED DOWN) DRAIN TO DAYLIGHT OR SUMP BASKET

SEE STRUCTURAL DRAWINGS FOR FOOTING SIZE AND REINFORCING

1

**BUILDING SECTION**

SCALE: 1/2" = 1'-0"

101

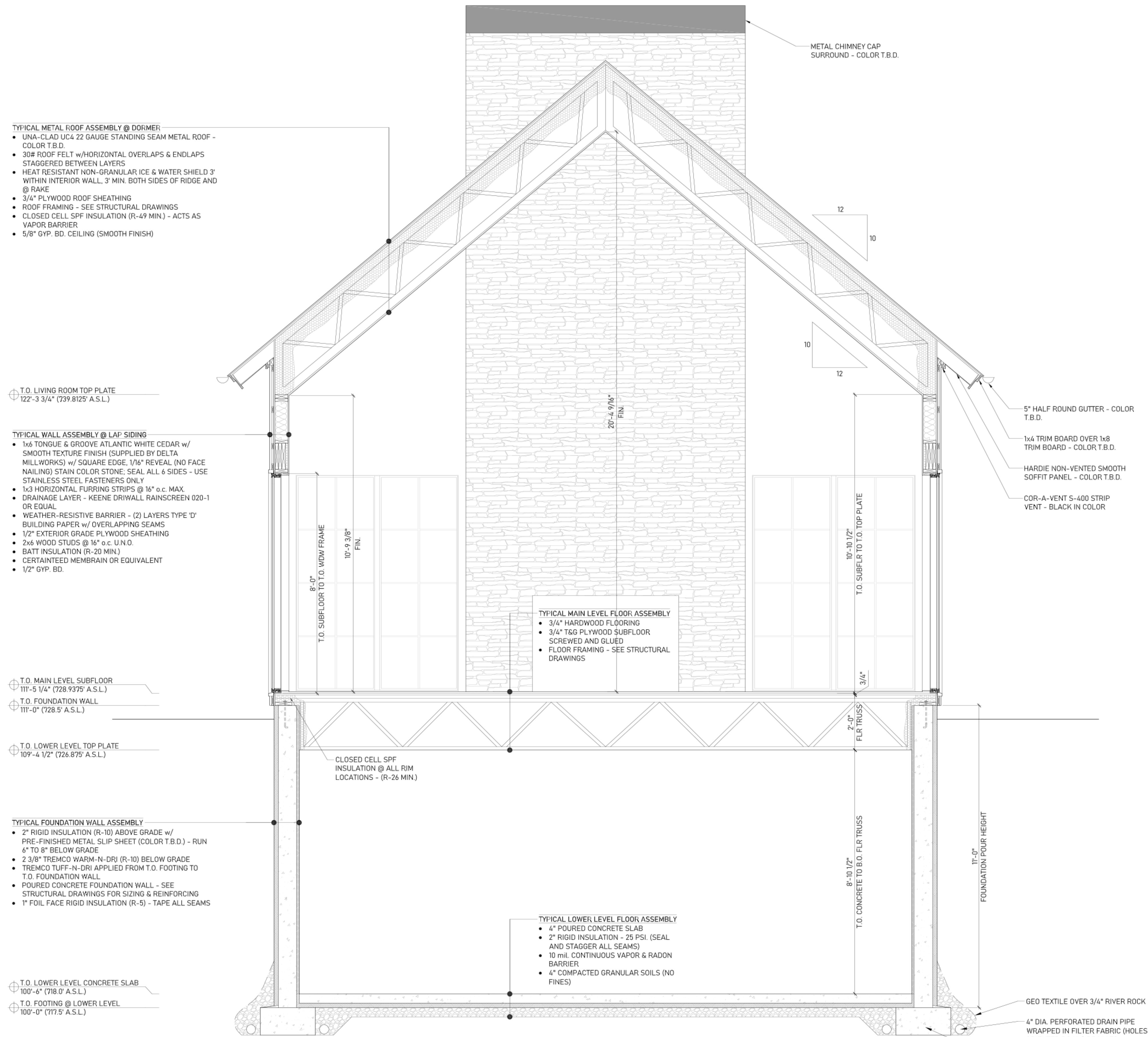
EVERSON ARCHITECT  
952.210.9845  
EVERARCH.COM

**BLOCKER RESIDENCE**  
Lot B 95th Avenue  
Frankfort, IL 60423

DATE  
02-08-24

SHEET  
A-303







- TYPICAL METAL ROOF ASSEMBLY @ DORMER
- UNA-CLAD UC4 22 GAUGE STANDING SEAM METAL ROOF - COLOR T.B.D.
  - CONTINUOUS RIDGE VENT AND CONTINUOUS STRIP VENT @ SOFFIT, 2" MIN. AIR CHUTES IN EACH TRUSS BAY
  - 30# ROOF FELT w/HORIZONTAL OVERLAPS & ENDLAPS STAGGERED BETWEEN LAYERS
  - HEAT RESISTANT NON-GRANULAR ICE & WATER SHIELD 3' WITHIN INTERIOR WALL, 3' MIN. BOTH SIDES OF RIDGE AND @ RAKE
  - 3/4" PLYWOOD ROOF SHEATHING
  - ROOF FRAMING - SEE STRUCTURAL DRAWINGS
  - BLOWN-IN CELLULOSE INSULATION (R-49 MIN.)
  - CERTAINEED MEMBRAN OR EQUIVALENT
  - 5/8" GYP. BD. CEILING (SMOOTH FINISH)

WOOD CORBEL @ GABLE END - TYPICAL

T.O. UPPER LEVEL TOP PLATE  
130'-4 7/8" (747.9063' A.S.L.)

T.O. U.L. SPRING LINE TOP PLATE (BEYOND)  
129'-4 5/8" (746.8855' A.S.L.)

T.O. UPPER LEVEL SUBFLOOR  
122'-3 1/8" (739.7605' A.S.L.)

T.O. MAIN LEVEL TOP PLATE  
120'-6 3/8" (738.0313' A.S.L.)

- TYPICAL WALL ASSEMBLY @ LAP SIDING
- 1x6 TONGUE & GROOVE ATLANTIC WHITE CEDAR w/ SMOOTH TEXTURE FINISH (SUPPLIED BY DELTA MILLWORKS) w/ SQUARE EDGE, 1/16" REVEAL (NO FACE NAILING) STAIN COLOR STONE; SEAL ALL 6 SIDES - USE STAINLESS STEEL FASTENERS ONLY
  - 1x3 HORIZONTAL Furring STRIPS @ 16" o.c. MAX.
  - DRAINAGE LAYER - KEENE DRIWALL RAINSCREEN 020-1 OR EQUAL
  - WEATHER-RESISTIVE BARRIER - (2) LAYERS TYPE 'D' BUILDING PAPER w/ OVERLAPPING SEAMS
  - 1/2" EXTERIOR GRADE PLYWOOD SHEATHING
  - 2x6 WOOD STUDS @ 16" o.c. U.N.O.
  - BATT INSULATION (R-20 MIN.)
  - CERTAINEED MEMBRAN OR EQUIVALENT
  - 1/2" GYP. BD.

T.O. MAIN LEVEL SUBFLOOR  
111'-5 1/4" (728.9375' A.S.L.)

T.O. FOUNDATION WALL  
111'-0" (728.5' A.S.L.)

T.O. LOWER LEVEL TOP PLATE  
109'-4 1/2" (726.875' A.S.L.)

- TYPICAL FOUNDATION WALL ASSEMBLY
- 2" RIGID INSULATION (R-10) ABOVE GRADE w/ PRE-FINISHED METAL SLIP SHEET (COLOR T.B.D.) - RUN 6" TO 8" BELOW GRADE
  - 2 3/8" TREMCO WARM-N-DRI (R-10) BELOW GRADE
  - TREMCO TUFF-N-DRI APPLIED FROM T.O. FOOTING TO T.O. FOUNDATION WALL
  - POURED CONCRETE FOUNDATION WALL - SEE STRUCTURAL DRAWINGS FOR SIZING & REINFORCING
  - 1" FOIL FACE RIGID INSULATION (R-5) - TAPE ALL SEAMS

GEO TEXTILE OVER 3/4" RIVER ROCK

T.O. LOWER LEVEL CONCRETE SLAB  
100'-6" (718.0' A.S.L.)

T.O. FOOTING @ LOWER LEVEL  
100'-0" (717.5' A.S.L.)

4" DIA. PERFORATED DRAIN PIPE  
WRAPPED IN FILTER FABRIC (HOLES  
ORIENTED DOWN) DRAIN TO  
DAYLIGHT OR SUMP BASKET

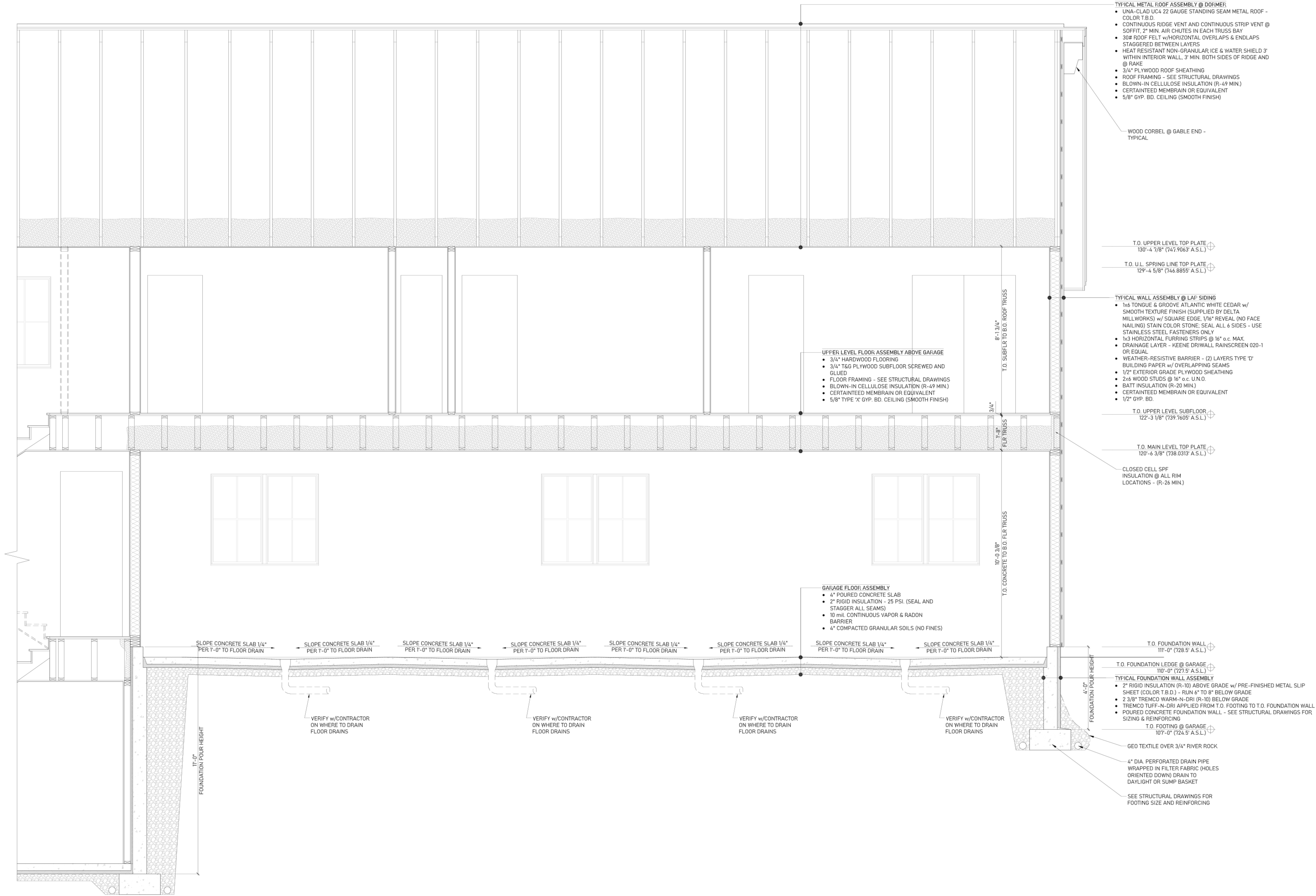
SEE STRUCTURAL DRAWINGS FOR  
FOOTING SIZE AND REINFORCING

- TYPICAL UPPER LEVEL FLOOR ASSEMBLY
- 3/4" HARDWOOD FLOORING
  - 3/4" T&G PLYWOOD SUBFLOOR SCREWED AND GLUED
  - FLOOR FRAMING - SEE STRUCTURAL DRAWINGS
  - 5/8" TYPE 'X' GYP. BD. CEILING (SMOOTH FINISH)

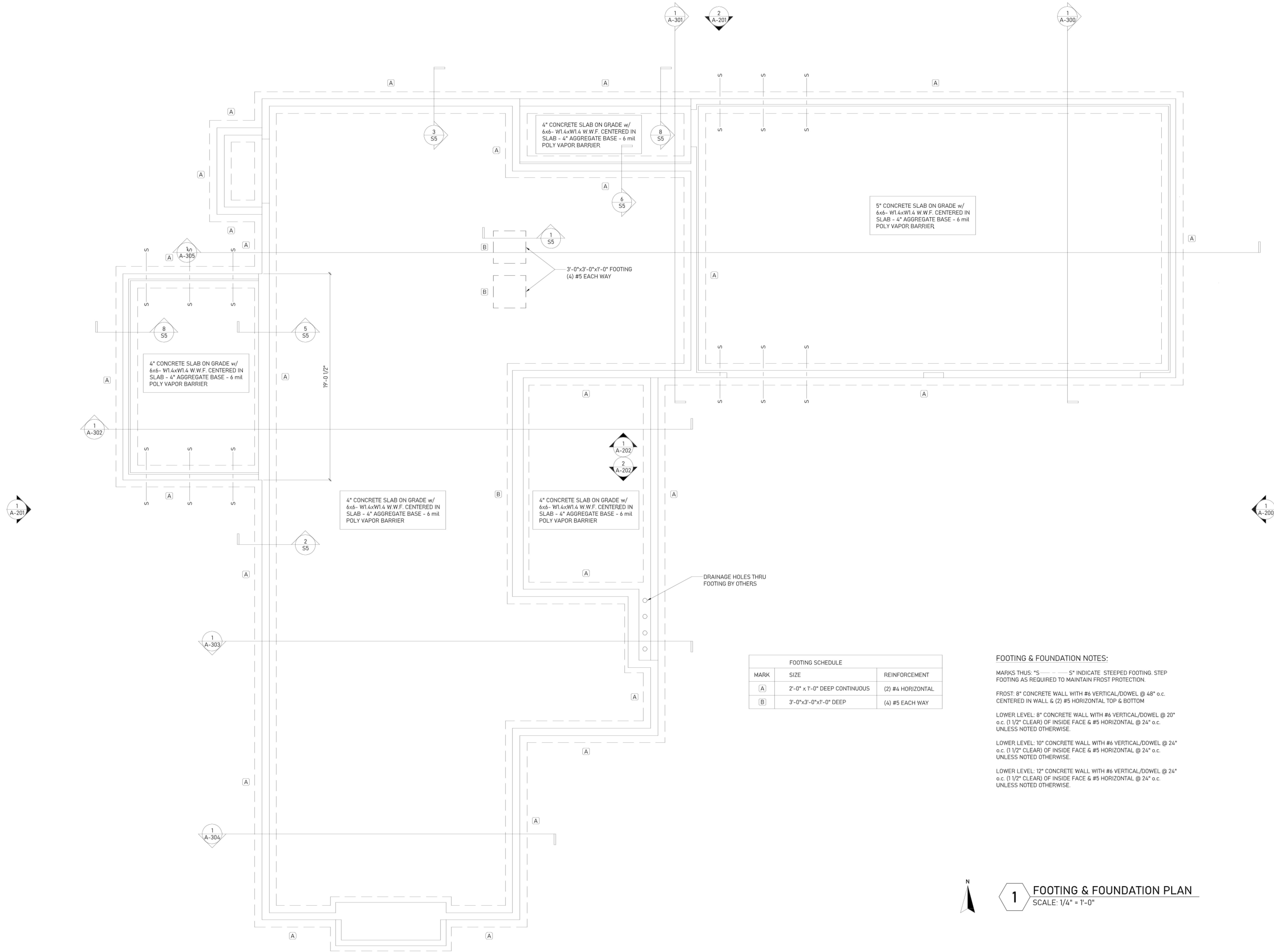
- TYPICAL MAIN LEVEL FLOOR ASSEMBLY
- 3/4" HARDWOOD FLOORING
  - 3/4" T&G PLYWOOD SUBFLOOR SCREWED AND GLUED
  - FLOOR FRAMING - SEE STRUCTURAL DRAWINGS

- TYPICAL LOWER LEVEL FLOOR ASSEMBLY
- 4" POURED CONCRETE SLAB
  - 2" RIGID INSULATION - 25 PSI. (SEAL AND STAGGER ALL SEAMS)
  - 10 mil. CONTINUOUS VAPOR & RADON BARRIER
  - 4" COMPACTED GRANULAR SOILS (NO FINES)









**1** FOOTING & FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

FOOTING SCHEDULE		
MARK	SIZE	REINFORCEMENT
(A)	2'-0" x 1'-0" DEEP CONTINUOUS	(2) #4 HORIZONTAL
(B)	3'-0"x3'-0"x1'-0" DEEP	(4) #5 EACH WAY

FOOTING & FOUNDATION NOTES:

MARKS THUS: \*S — — — S\* INDICATE STEEPPED FOOTING. STEP FOOTING AS REQUIRED TO MAINTAIN FROST PROTECTION.

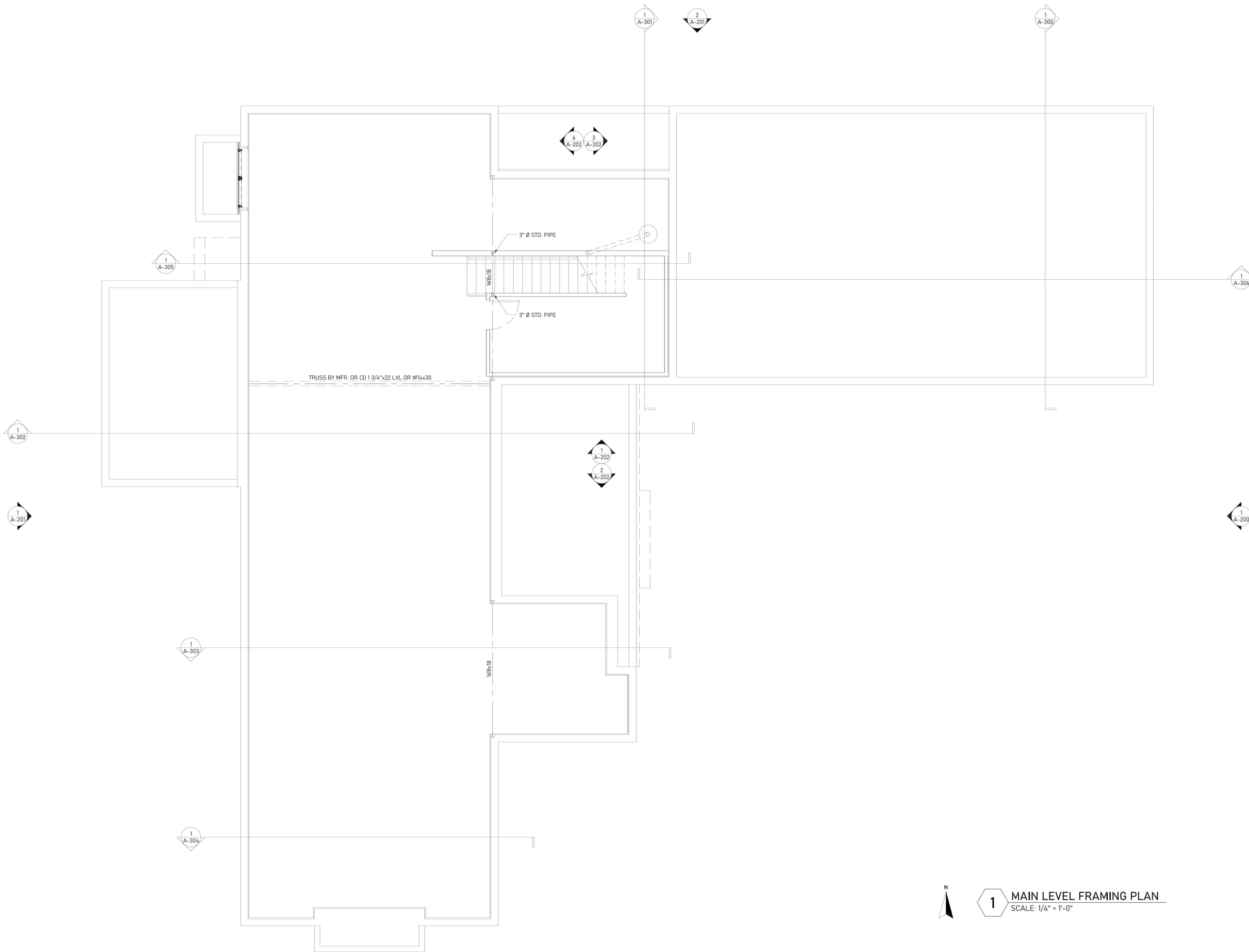
FROST: 8" CONCRETE WALL WITH #6 VERTICAL/DOWEL @ 48" o.c. CENTERED IN WALL & (2) #5 HORIZONTAL TOP & BOTTOM

LOWER LEVEL: 8" CONCRETE WALL WITH #6 VERTICAL/DOWEL @ 20" o.c. (1 1/2" CLEAR) OF INSIDE FACE & #5 HORIZONTAL @ 24" o.c. UNLESS NOTED OTHERWISE.

LOWER LEVEL: 10" CONCRETE WALL WITH #6 VERTICAL/DOWEL @ 24" o.c. (1 1/2" CLEAR) OF INSIDE FACE & #5 HORIZONTAL @ 24" o.c. UNLESS NOTED OTHERWISE.

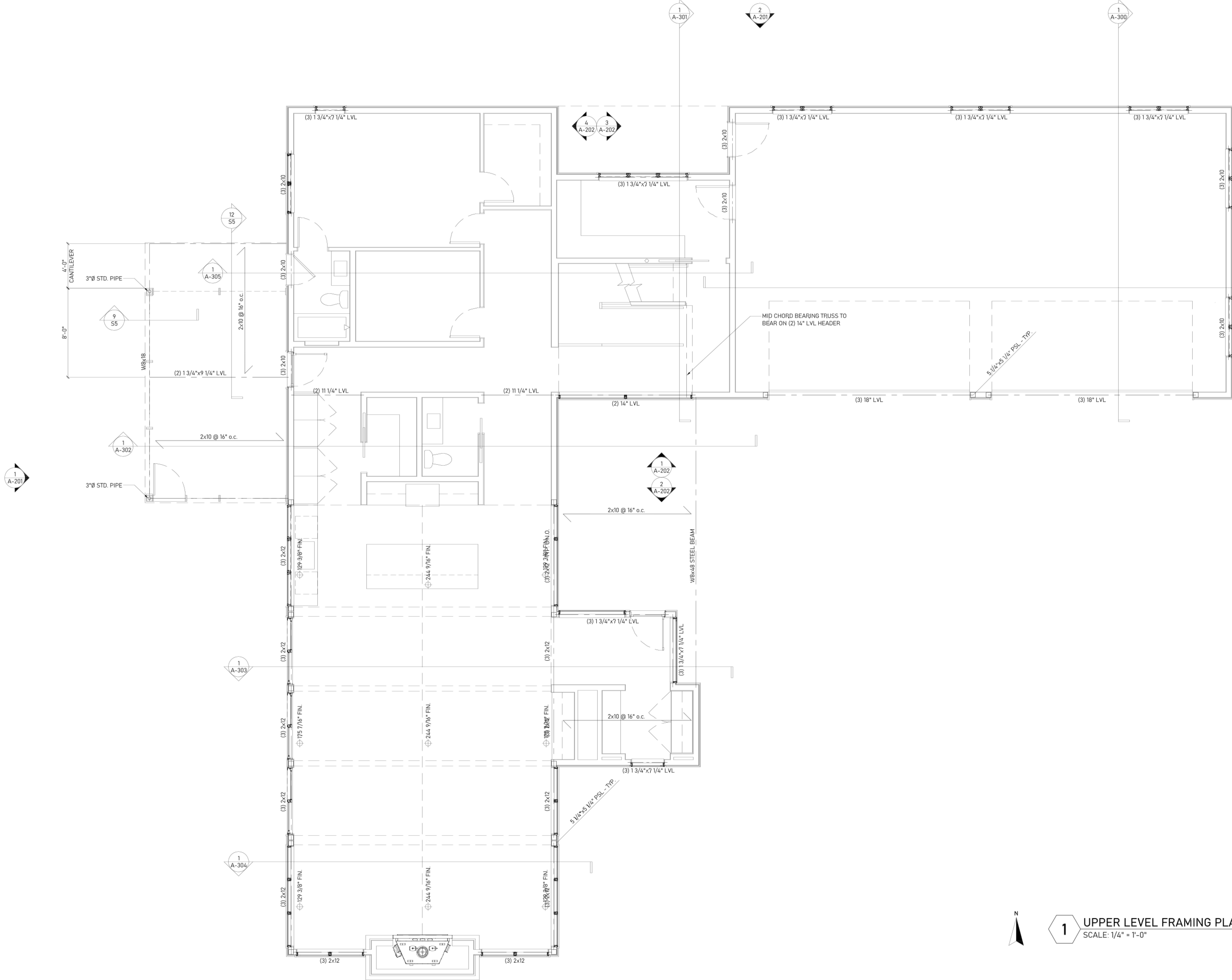
LOWER LEVEL: 12" CONCRETE WALL WITH #6 VERTICAL/DOWEL @ 24" o.c. (1 1/2" CLEAR) OF INSIDE FACE & #5 HORIZONTAL @ 24" o.c. UNLESS NOTED OTHERWISE.





**1** MAIN LEVEL FRAMING PLAN  
SCALE: 1/4" = 1'-0"





**1** UPPER LEVEL FRAMING PLAN  
SCALE: 1/4" = 1'-0"

EVERSON  
ARCHITECT

952.210.9845

EVERARCH.COM

107

2  
A-200

1  
A-201

2  
A-202

3  
A-203

4  
A-204

5  
A-205

6  
A-206

7  
A-207

8  
A-208

9  
A-209

10  
A-210

11  
A-211

12  
A-212

13  
A-213

14  
A-214

15  
A-215

16  
A-216

17  
A-217

18  
A-218

19  
A-219

20  
A-220

21  
A-221

22  
A-222

23  
A-223

24  
A-224

25  
A-225

26  
A-226

27  
A-227

28  
A-228

29  
A-229

30  
A-230

31  
A-231

32  
A-232

33  
A-233

34  
A-234

35  
A-235

36  
A-236

37  
A-237

38  
A-238

39  
A-239

40  
A-240

41  
A-241

42  
A-242

43  
A-243

44  
A-244

45  
A-245

46  
A-246

47  
A-247

48  
A-248

49  
A-249

50  
A-250

51  
A-251

52  
A-252

53  
A-253

54  
A-254

55  
A-255

56  
A-256

57  
A-257

58  
A-258

59  
A-259

60  
A-260

61  
A-261

62  
A-262

63  
A-263

64  
A-264

65  
A-265

66  
A-266

67  
A-267

68  
A-268

69  
A-269

70  
A-270

71  
A-271

72  
A-272

73  
A-273

74  
A-274

75  
A-275

76  
A-276

77  
A-277

78  
A-278

79  
A-279

80  
A-280

81  
A-281

82  
A-282

83  
A-283

84  
A-284

85  
A-285

86  
A-286

87  
A-287

88  
A-288

89  
A-289

90  
A-290

91  
A-291

92  
A-292

93  
A-293

94  
A-294

95  
A-295

96  
A-296

97  
A-297

98  
A-298

99  
A-299

100  
A-300

101  
A-301

102  
A-302

103  
A-303

104  
A-304

105  
A-305

106  
A-306

107  
A-307

108  
A-308

109  
A-309

110  
A-310

111  
A-311

112  
A-312

113  
A-313

114  
A-314

115  
A-315

116  
A-316

117  
A-317

118  
A-318

119  
A-319

120  
A-320

121  
A-321

122  
A-322

123  
A-323

124  
A-324

125  
A-325

126  
A-326

127  
A-327

128  
A-328

129  
A-329

130  
A-330

131  
A-331

132  
A-332

133  
A-333

134  
A-334

135  
A-335

136  
A-336

137  
A-337

138  
A-338

139  
A-339

140  
A-340

141  
A-341

142  
A-342

143  
A-343

144  
A-344

145  
A-345

146  
A-346

147  
A-347

148  
A-348

149  
A-349

150  
A-350

151  
A-351

152  
A-352

153  
A-353

154  
A-354

155  
A-355

156  
A-356

157  
A-357

158  
A-358

159  
A-359

160  
A-360

161  
A-361

162  
A-362

163  
A-363

164  
A-364

165  
A-365

166  
A-366

167  
A-367

168  
A-368

169  
A-369

170  
A-370

171  
A-371

172  
A-372

173  
A-373

174  
A-374

175  
A-375

176  
A-376

177  
A-377

178  
A-378

179  
A-379

180  
A-380

181  
A-381

182  
A-382

183  
A-383

184  
A-384

185  
A-385

186  
A-386

187  
A-387

188  
A-388

189  
A-389

190  
A-390

191  
A-391

192  
A-392

193  
A-393

194  
A-394

195  
A-395

196  
A-396

197  
A-397

198  
A-398

199  
A-399

200  
A-400

201  
A-401

202  
A-402

203  
A-403

204  
A-404

205  
A-405

206  
A-406

207  
A-407

208  
A-408

209  
A-409

210  
A-410

211  
A-411

212  
A-412

213  
A-413

214  
A-414

215  
A-415

216  
A-416

217  
A-417

218  
A-418

219  
A-419

220  
A-420

221  
A-421

222  
A-422

223  
A-423

224  
A-424

225  
A-425

226  
A-426

227  
A-427

228  
A-428

229  
A-429

230  
A-430

231  
A-431

232  
A-432

233  
A-433

234  
A-434

235  
A-435

236  
A-436

237  
A-437

238  
A-438

239  
A-439

240  
A-440

241  
A-441

242  
A-442

243  
A-443

244  
A-444

245  
A-445

246  
A-446

247  
A-447

248  
A-448

249  
A-449

250  
A-450

251  
A-451

252  
A-452

253  
A-453

254  
A-454

255  
A-455

256  
A-456

257  
A-457

258  
A-458

259  
A-459

260  
A-460

261  
A-461

262  
A-462

263  
A-463

264  
A-464

265  
A-465

266  
A-466

267  
A-467

268  
A-468

269  
A-469

270  
A-470

271  
A-471

272  
A-472

273  
A-473

274  
A-474

275  
A-475

276  
A-476

277  
A-477

278  
A-478

279  
A-479

280  
A-480

281  
A-481

282  
A-482

283  
A-483

284  
A-484

285  
A-485

286  
A-486

287  
A-487

288  
A-488

289  
A-489

290  
A-490

291  
A-491

292  
A-492

293  
A-493

294  
A-494

295  
A-495

296  
A-496

297  
A-497

298  
A-498

299  
A-499

300  
A-500

301  
A-501

302  
A-502

303  
A-503

304  
A-504

305  
A-505

306  
A-506

307  
A-507

308  
A-508

309  
A-509

310  
A-510

311  
A-511

312  
A-512

313  
A-513

314  
A-514

315  
A-515

316  
A-516

317  
A-517

318  
A-518

319  
A-519

320  
A-520

321  
A-521

322  
A-522

323  
A-523

324  
A-524

325  
A-525

326  
A-526

327  
A-527

328  
A-528

329  
A-529

330  
A-530

331  
A-531

332  
A-532

333  
A-533

334  
A-534

335  
A-535

336  
A-536

337  
A-537

338  
A-538

339  
A-539

340  
A-540

341  
A-541

342  
A-542

343  
A-543

344  
A-544

345  
A-545

346  
A-546

347  
A-547

348  
A-548

349  
A-549

350  
A-550

351  
A-551

352  
A-552

353  
A-553

354  
A-554

355  
A-555

356  
A-556

357  
A-557

358  
A-558

359  
A-559

360  
A-560

361  
A-561

362  
A-562

363  
A-563

364  
A-564

365  
A-565

366  
A-566

367  
A-567

368  
A-568

369  
A-569

370  
A-570

371  
A-571

372  
A-572

373  
A-573

374  
A-574

375  
A-575

376  
A-576

377  
A-577

378  
A-578

379  
A-579

380  
A-580

381  
A-581

382  
A-582

383  
A-583

384  
A-584

385  
A-585

386  
A-586

387  
A-587

388  
A-588

389  
A-589

390  
A-590

391  
A-591

392  
A-592

393  
A-593

394  
A-594

395  
A-595

396  
A-596

397  
A-597

398  
A-598

399  
A-599

400  
A-600

401  
A-601

402  
A-602

403  
A-603

404  
A-604

405  
A-605

406  
A-606

407  
A-607

408  
A-608

409  
A-609

410  
A-610

411  
A-611

412  
A-612

413  
A-613

414  
A-614

415  
A-615

416  
A-616

417  
A-617

418  
A-618

419  
A-619

420  
A-620

421  
A-621

422  
A-622

423  
A-623

424  
A-624

425  
A-625

426  
A-626

427  
A-627

428  
A-628

429  
A-629

430  
A-630

431  
A-631

432  
A-632

433  
A-633

434  
A-634

435  
A-635

436  
A-636

437  
A-637

438  
A-638

439  
A-639

440  
A-640

441  
A-641

442  
A-642

443  
A-643

444  
A-644

445  
A-645

446  
A-646

447  
A-647

448  
A-648

449  
A-649

450  
A-650

451  
A-651

452  
A-652

453  
A-653

454  
A-654

455  
A-655

456  
A-656

457  
A-657

458  
A-658

459  
A-659

460  
A-660

461  
A-661

462  
A-662

463  
A-663

464  
A-664

465  
A-665

466  
A-666

467  
A-667

468  
A-668

469  
A-669

470  
A-670

471  
A-671

472  
A-672

473  
A-673

474  
A-674

475  
A-675

476  
A-676

477  
A-677

478  
A-678

479  
A-679

480  
A-680

481  
A-681

482  
A-682

483  
A-683

484  
A-684

485  
A-685

486  
A-686

487  
A-687

488  
A-688

489  
A-689

490  
A-690

491  
A-691

492  
A-692

493  
A-693

494  
A-694

495  
A-695

496  
A-696

497  
A-697

498  
A-698

499  
A-699

500  
A-700

501  
A-701

502  
A-702

503  
A-703

504  
A-704

505  
A-705

506  
A-706

507  
A-707

508  
A-708

509  
A-709

510  
A-710

511  
A-711

512  
A-712

513  
A-713

514  
A-714

515  
A-715

516  
A-716

517  
A-717

518  
A-718

519  
A-719

520  
A-720

521  
A-721

522  
A-722

523  
A-723

524  
A-724

525  
A-725

526  
A-726

527  
A-727

528  
A-728

529  
A-729

530  
A-730

531  
A-731

532  
A-732

533  
A-733

534  
A-734

535  
A-735

536  
A-736

537  
A-737

538  
A-738

539  
A-739

540  
A-740

541  
A-741

542  
A-742

543  
A-743

544  
A-744

545  
A-745

546  
A-746

547  
A-747

548  
A-748

549  
A-749

550  
A-750

551  
A-751

552  
A-752

553  
A-753

554  
A-754

555  
A-755

556  
A-756

557  
A-757

558  
A-758

559  
A-759

560  
A-760

561  
A-761

562  
A-762

563  
A-763

564  
A-764

565  
A-765

566  
A-766

567  
A-767

568  
A-768

569  
A-769

570  
A-770

571  
A-771

572  
A-772

573  
A-773

574  
A-774

575  
A-775

576  
A-776

577  
A-777

578  
A-778

579  
A-779

580  
A-780

581  
A-781

582  
A-782

583  
A-783

584  
A-784

585  
A-785

586  
A-786

587  
A-787

588  
A-788

589  
A-789

590  
A-790

591  
A-791

592  
A-792

593  
A-793

594  
A-794

595  
A-795

596  
A-796

597  
A-797

598  
A-798

599  
A-799

600  
A-800

601  
A-801

602  
A-802

603  
A-803

604  
A-804

605  
A-805

606  
A-806

607  
A-807

608  
A-808

609  
A-809

610  
A-810

611  
A-811

612  
A-812

613  
A-813

614  
A-814

615  
A-815

616  
A-816

617  
A-817

618  
A-818

619  
A-819

620  
A-820

621  
A-821

622  
A-822

623  
A-823

624  
A-824

625  
A-825

626  
A-826

627  
A-827

628  
A-828

629  
A-829

630  
A-830

631  
A-831

632  
A-832

633  
A-833

634  
A-834

635  
A-835

636  
A-836

637  
A-837

638  
A-838

639  
A-839

640  
A-840

641  
A-841

642  
A-842

643  
A-843

644  
A-844

645  
A-845

646  
A-846

647  
A-847

648  
A-848

649  
A-849

650  
A-850

651  
A-851

652  
A-852

653  
A-853

654  
A-854

655  
A-855

656  
A-856

657  
A-857

658  
A-858

659  
A-859

660  
A-860

661  
A-861

662  
A-862

663  
A-863

664  
A-864

665  
A-865

666  
A-866

667  
A-867

668  
A-868

669  
A-869

670  
A-870

671  
A-871

672  
A-872

673  
A-873

674  
A-874

675  
A-875

676  
A-876

677  
A-877

678  
A-878

679  
A-879

680  
A-880

681  
A-881

682  
A-882

683  
A-883

684  
A-884

685  
A-885

686  
A-886

687  
A-887

688  
A-888

689  
A-889

690  
A-890

691  
A-891

692  
A-892

693  
A-893

694  
A-894

695  
A-895

696  
A-896

697  
A-897

698  
A-898

699  
A-899

700  
A-900

701  
A-901

702  
A-902

703  
A-903

704  
A-904

705  
A-905

706  
A-906

707  
A-907

708  
A-908

709  
A-909

710  
A-910

711  
A-911

712  
A-912

713  
A-913

714  
A-914

715  
A-915

716  
A-916

717  
A-917

718  
A-918

719  
A-919

720  
A-920

721  
A-921

722  
A-922

723  
A-923

724  
A-924

725  
A-925

726  
A-926

727  
A-927

728  
A-928

729  
A-929

730  
A-930

731  
A-931

732  
A-932

733  
A-933

734  
A-934

735  
A-935

736  
A-936

737  
A-937

738  
A-938

739  
A-939

740  
A-940

741  
A-941

742  
A-942

743  
A-943

744  
A-944

745  
A-945

746  
A-946

747  
A-947

748  
A-948

749  
A-949

750  
A-950

751  
A-951

752  
A-952

753  
A-953

754  
A-954

755  
A-955

756  
A-956

757  
A-957

758  
A-958

759  
A-959

760  
A-960

761  
A-961

762  
A-962

763  
A-963

764  
A-964

765  
A-965

766  
A-966

767  
A-967

768  
A-968

769  
A-969

770  
A-970

771  
A-971

772  
A-972

773  
A-973

774  
A-974

775  
A-975

776  
A-976

777  
A-977

778  
A-978

779  
A-979

780  
A-980

781  
A-981

782  
A-982

783  
A-983

784  
A-984

785  
A-985

786  
A-986

787  
A-987

788  
A-988

789  
A-989

790  
A-990

791  
A-991

792  
A-992

793  
A-993

794  
A-994

795  
A-995

796  
A-996

797  
A-997

798  
A-998

799  
A-999

800  
A-1000

1  
A-200

2  
A-201

3  
A-202

4  
A-203

5  
A-204

6  
A-205

7  
A-206

8  
A-207

9  
A-208

10  
A-209

11  
A-210

12  
A-211

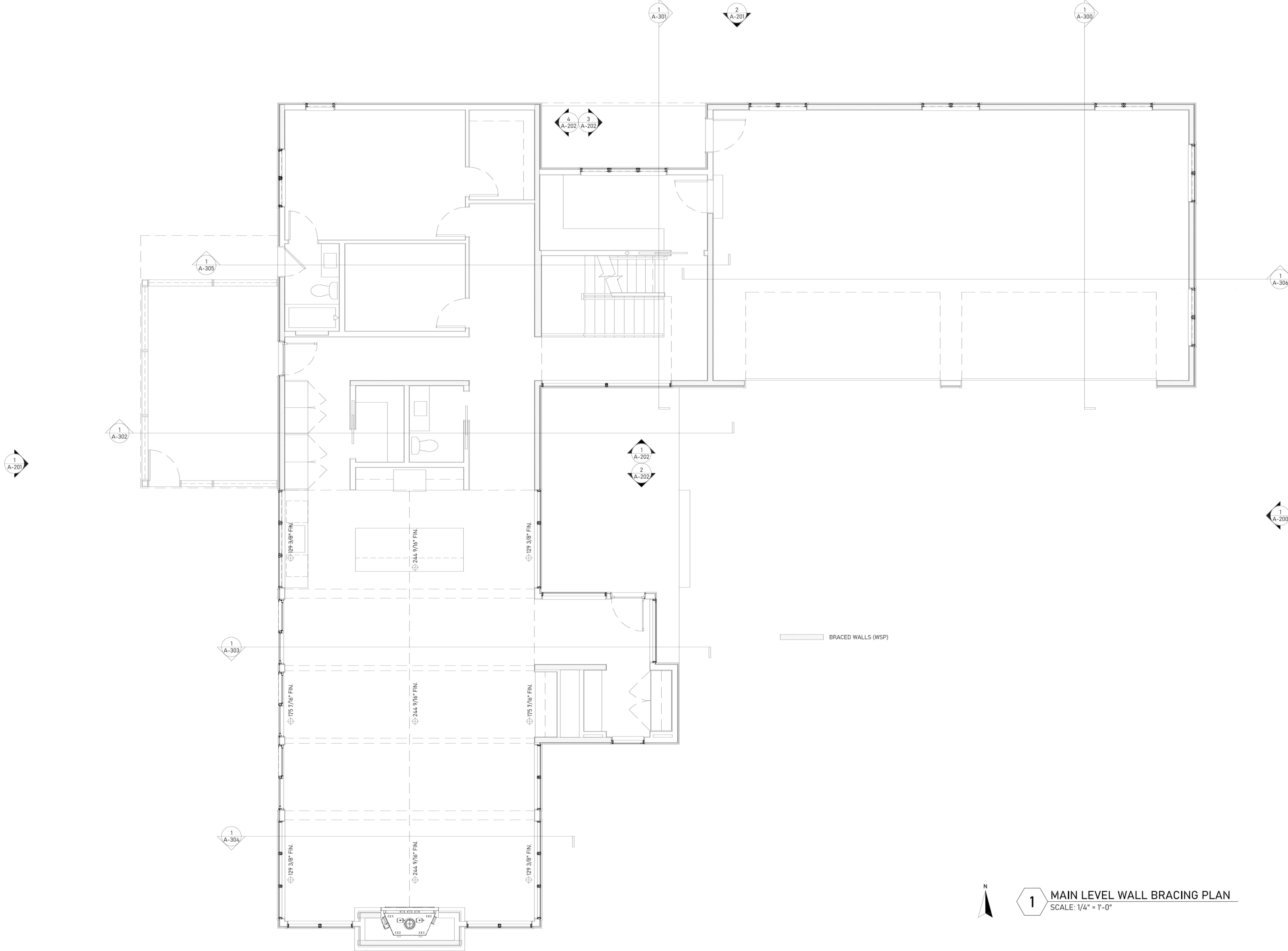
13  
A-212

14  
A-213

15  
A-214

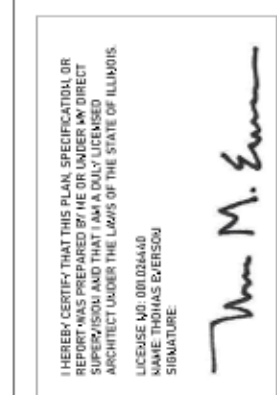
16  
A





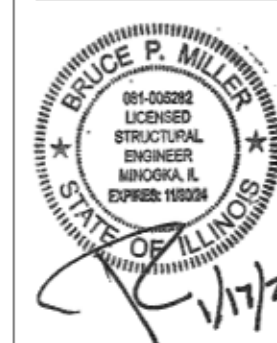
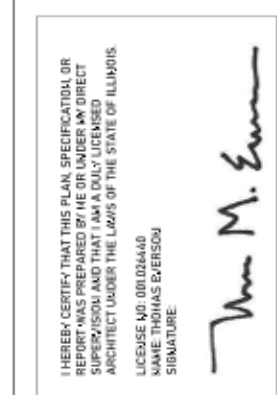
**1** MAIN LEVEL WALL BRACING PLAN  
SCALE: 1/4" = 1'-0"



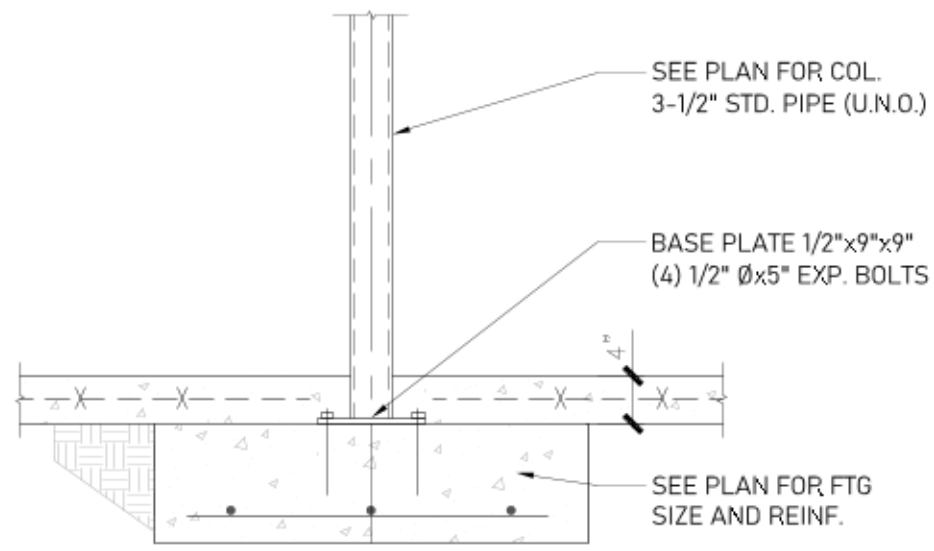


SHEET  
S4





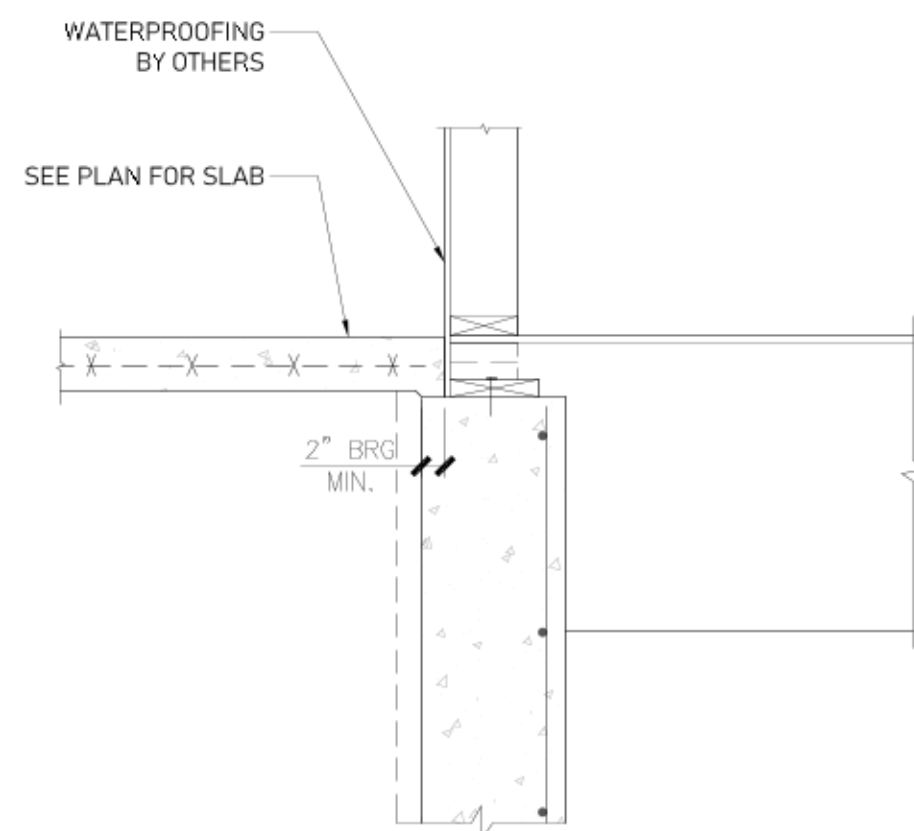




1  
S5

SECTION

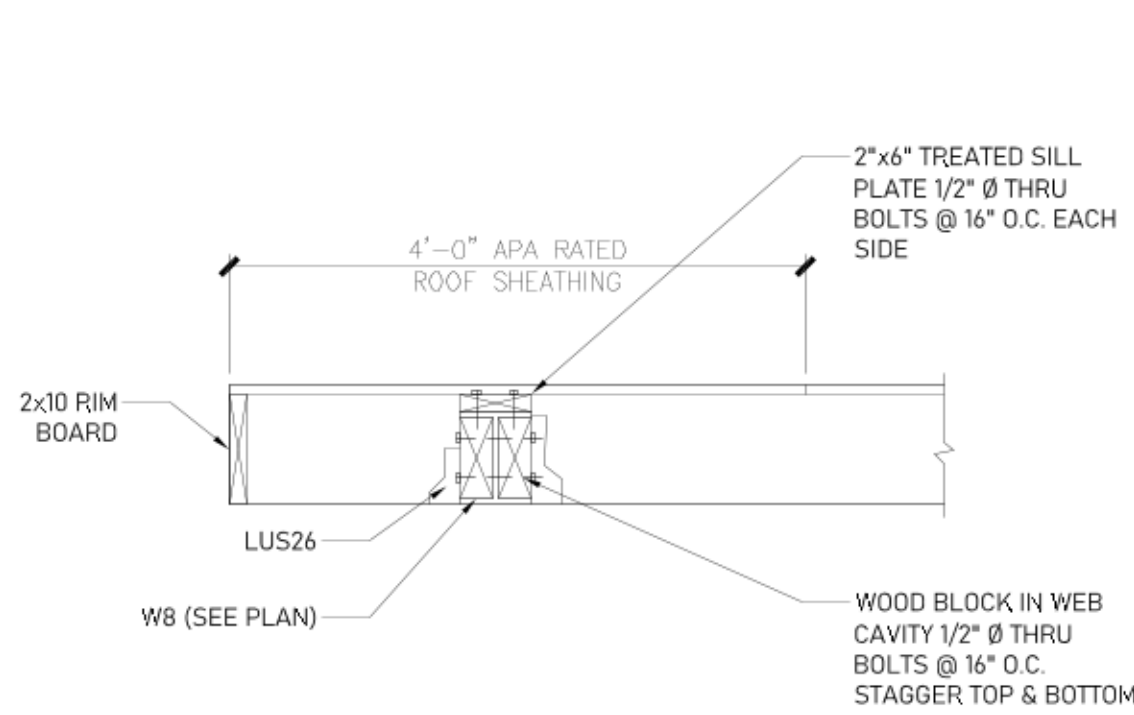
3/4"=1'-0"



5  
S5

SECTION

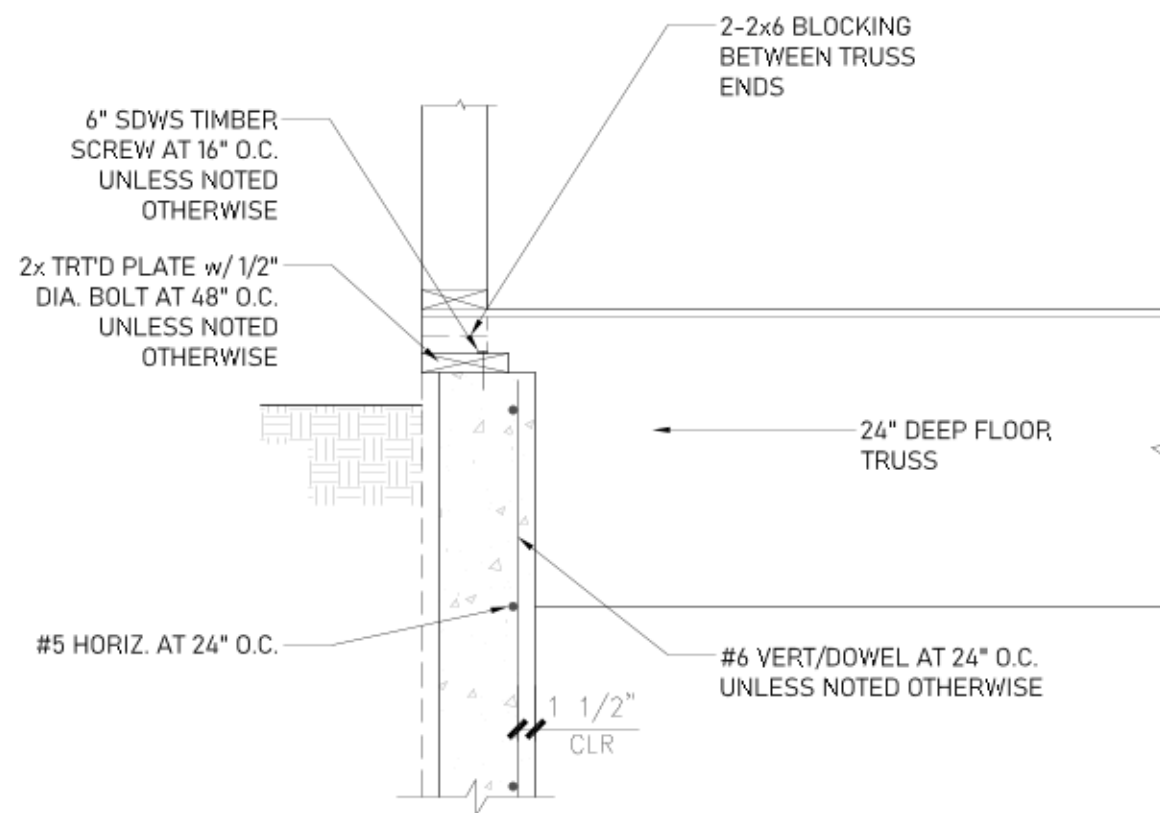
3/4"=1'-0"



9  
S5

SECTION

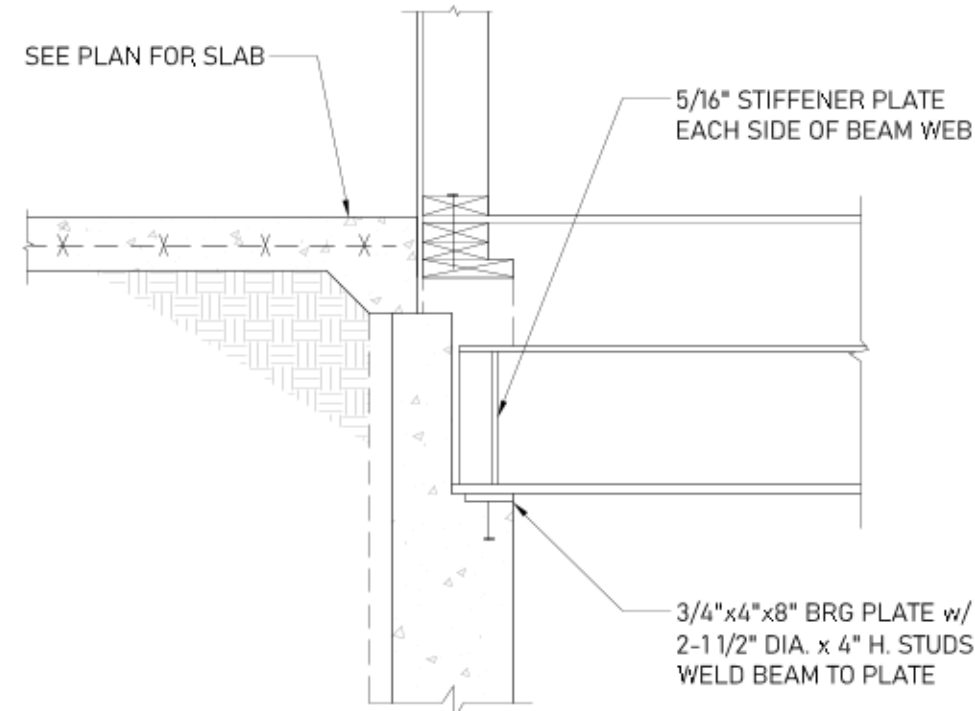
3/4"=1'-0"



2  
S5

SECTION

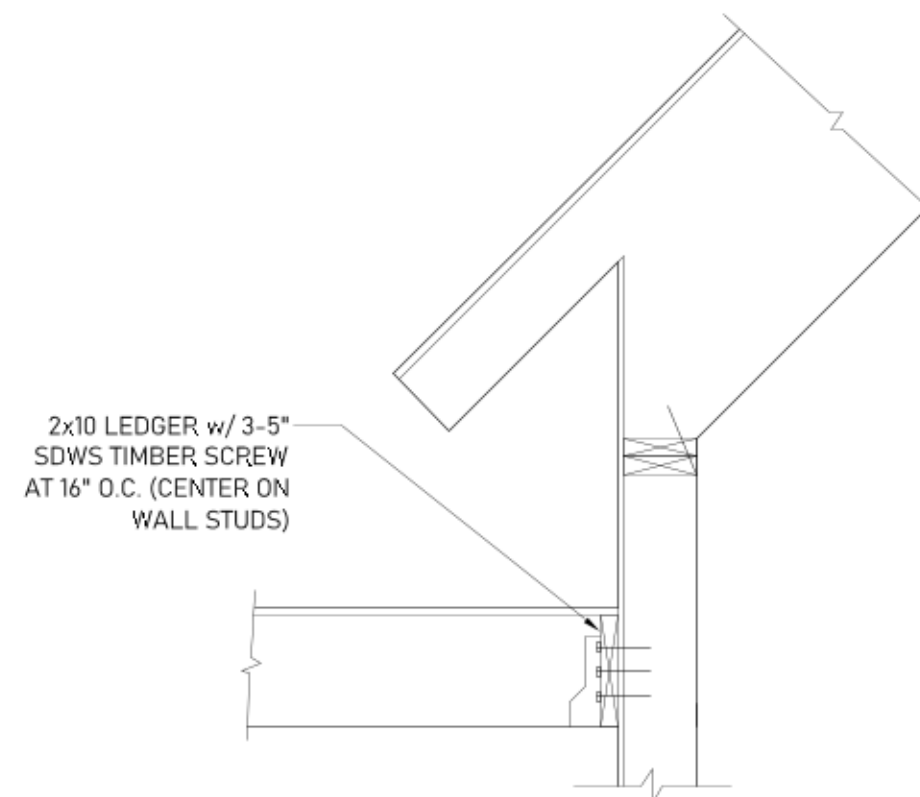
3/4"=1'-0"



6  
S5

SECTION

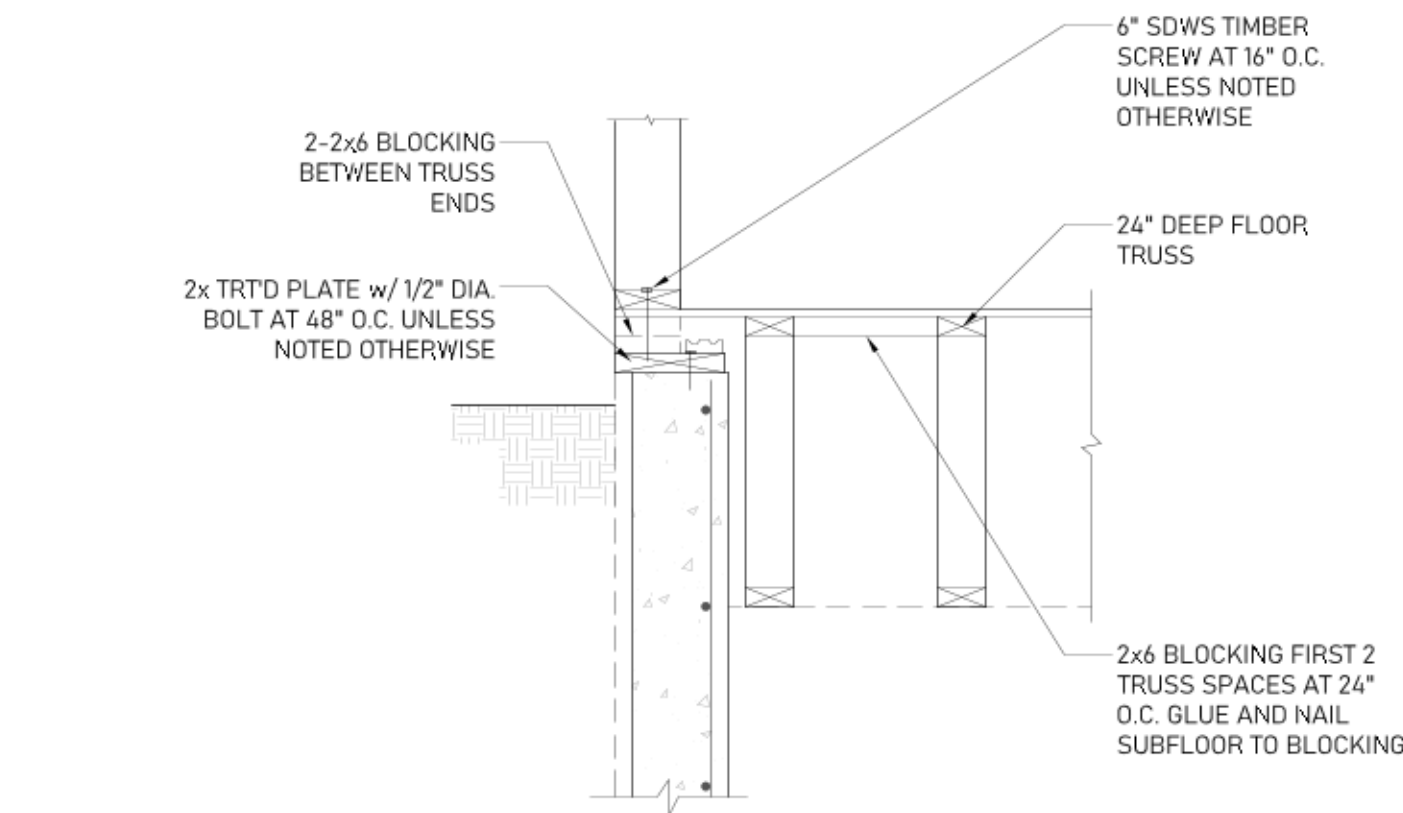
3/4"=1'-0"



10  
S5

SECTION

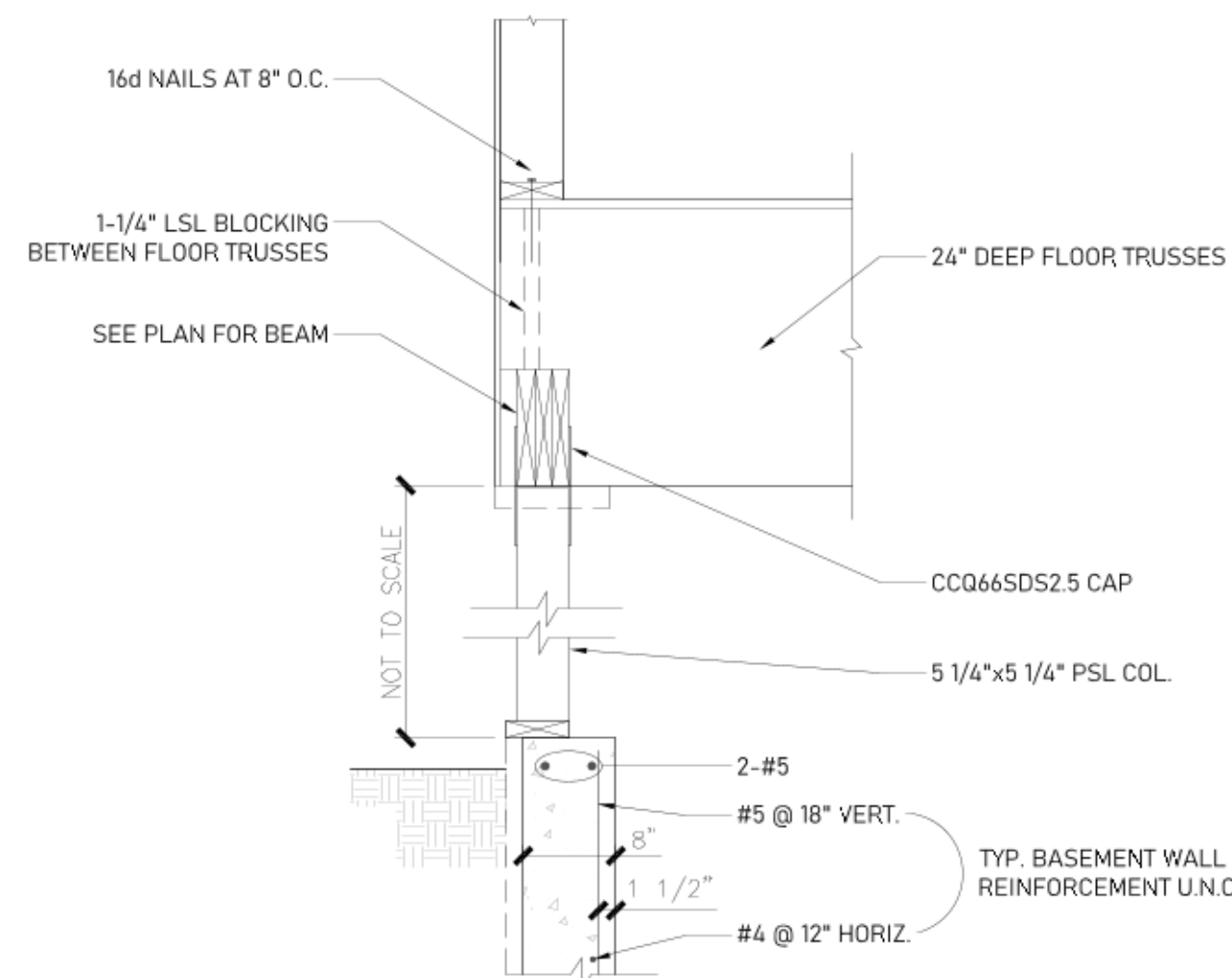
3/4"=1'-0"



3  
S5

SECTION

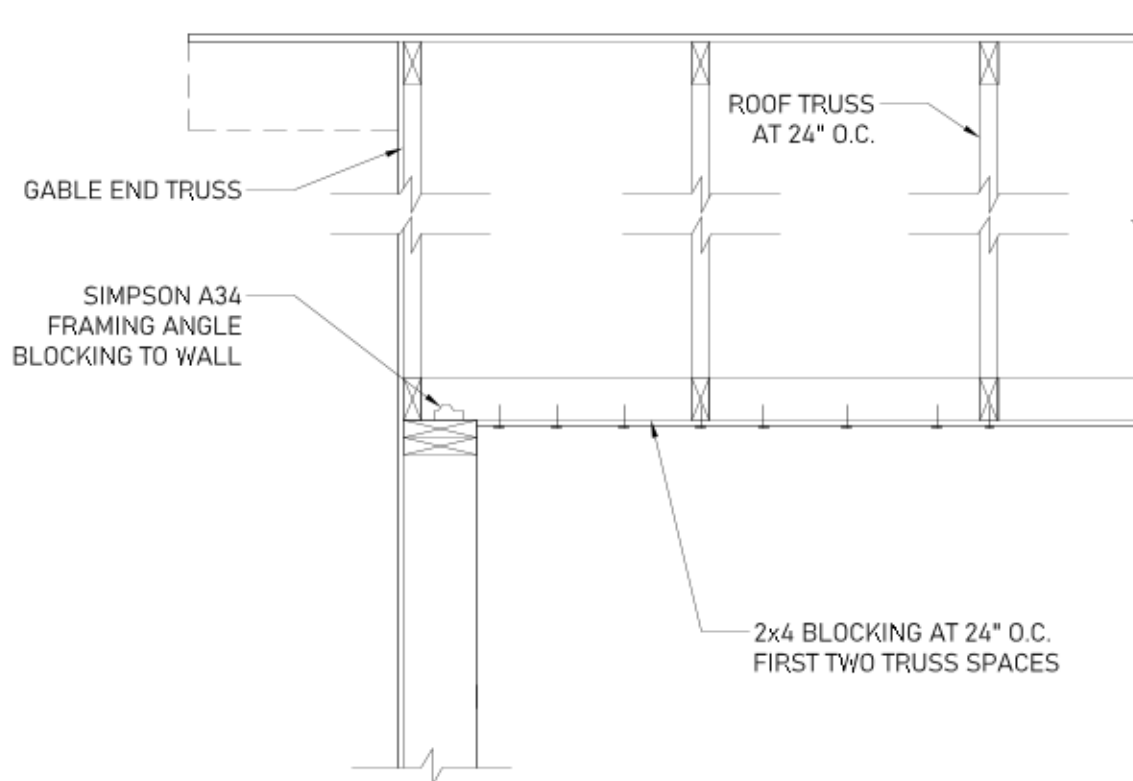
3/4"=1'-0"



7  
S5

SECTION

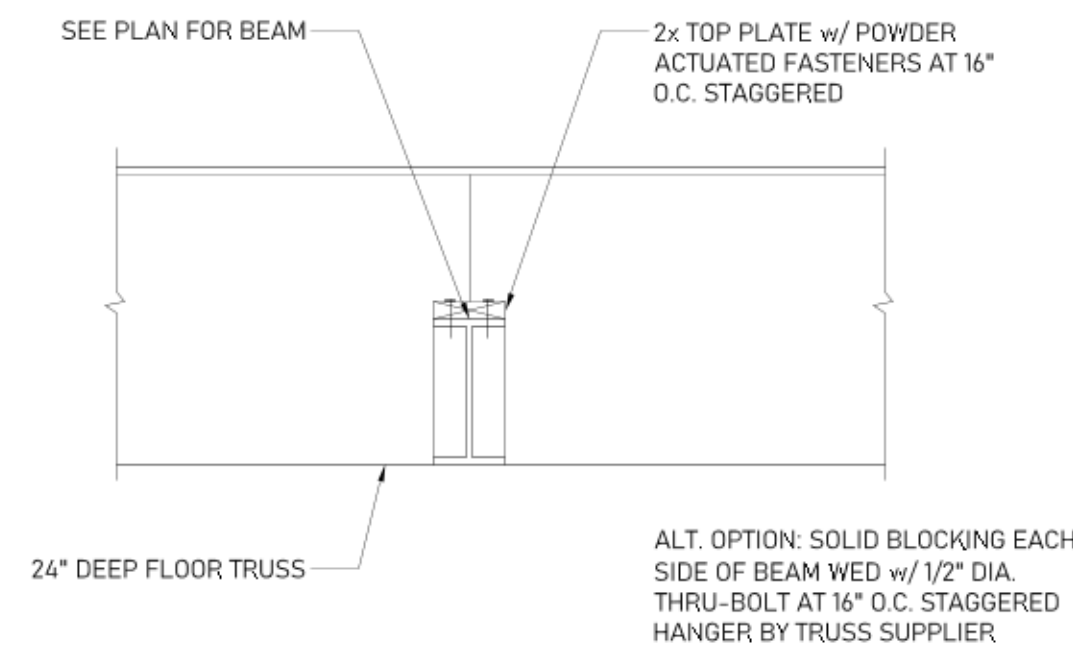
3/4"=1'-0"



11  
S5

SECTION

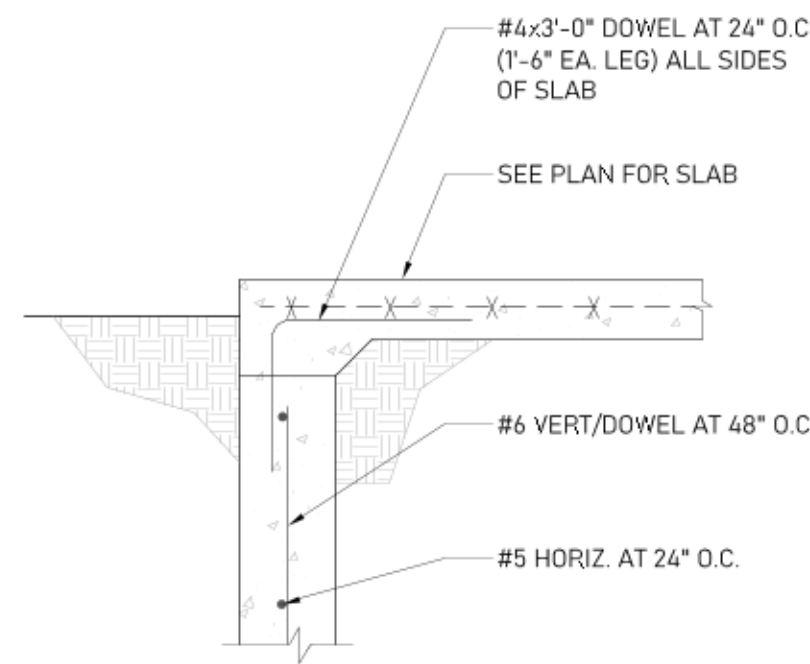
3/4"=1'-0"



4  
S5

SECTION

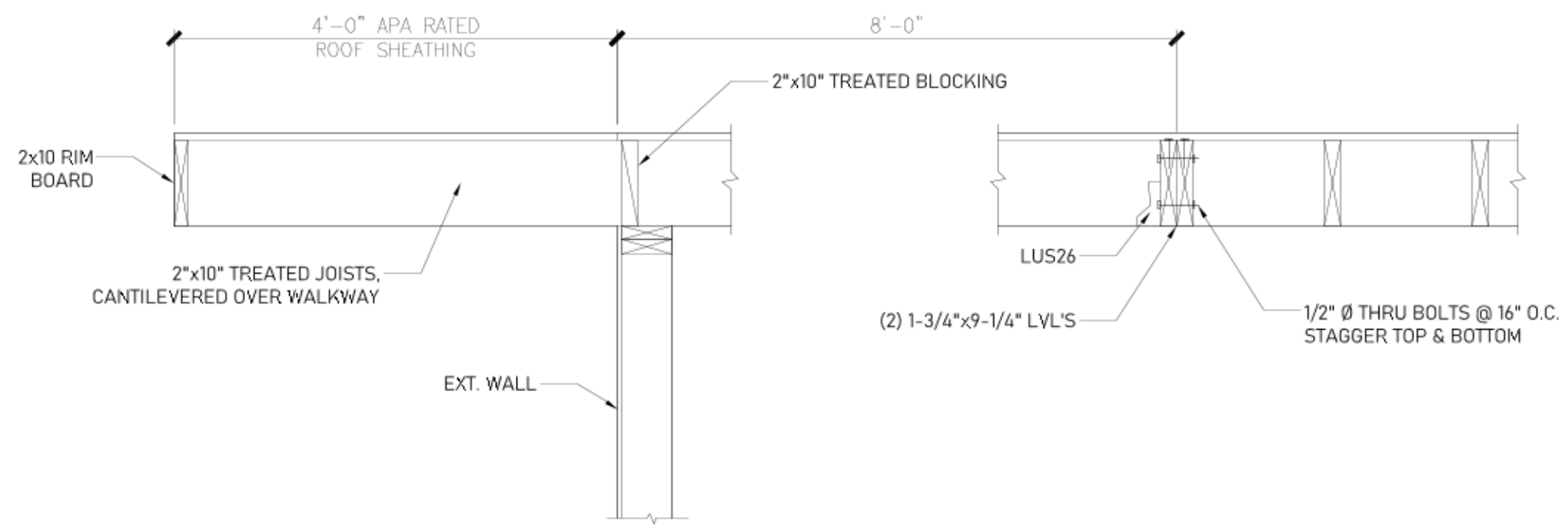
3/4"=1'-0"



8  
S5

SECTION

3/4"=1'-0"



12  
S5

SECTION

3/4"=1'-0"



STRUCTURAL NOTES

MATERIAL STRENGTHS

Structural Steel     Fy =36,000 psi (A36)  
                              46,000 psi (A500 grade B) for structural tubing  
                              50,000 psi (A992 grade 50) for wide flange beams

Reinforcing SteelFy =60,000 psi (A615 grade 60)

Concrete             F'c =Compressive strength in 28 days  
                              3,000 psi for footings  
                              3,500 psi for interior slabs on grade  
                              4,000 psi unless noted

DESIGN LIVE LOADS

Roofs                    25 PSF ground snow load  
Typical Floors        40 PSF  
Basic Wind Speed    90 MPH-Vasd (115 MPH-Vuit) 3 second gust

DESIGN CODES - LATEST EDITIONS

International Building Code (IBC)  
International Residential Code (2018 IRC)  
American Institute of Steel Construction  
American Concrete Institute  
CRSI Manual of Standard Practice  
American Welding Society Standards for Welding as modified by A.I.S.C. specifications  
American Institute of Timber Construction  
National Design Specifications for Stress-Graded Lumber and its Fastenings

SOIL BEARING DESIGN VALUE

2,000 PSF on undisturbed soil or compacted fill for footings. Assumed soil bearing value to be verified by a geotechnical engineer where required by the building official.

COORDINATION - ARCHITECTURAL, MECHANICAL AND ELECTRICAL ITEMS

Location, dimensions and details of recesses, depressions, openings and equipment supports shall be verified by reference to architectural, mechanical and electrical drawings.

TEMPORARY BRACING

Provide temporary lateral support for all walls until walls are adequately braced by floor or roof structure. Provide required temporary bracing for structural steel until permanent bracing and walls are in place.

OPENINGS

Verify size and location of all openings with architectural and mechanical drawings. Openings in floor and roof not shown on structural drawings must be placed between structural members. The contractor shall provide sleeves through concrete slabs for all plumbing. Spread reinforcing as required to provide concrete cover for reinforcing.

FOOTINGS

Wall footings are cast-in-place concrete with continuous reinforcing placed 3" clear of bottom and sides. Provide 40 diameter lap at all splices and full crossing lap at corners and intersections. Unless otherwise noted, wall footings are centered under walls and column footings under columns. Bottom of footings to be at or below code required frost depth. Footings for walls, unless otherwise noted, shall be 10" thick with a minimum projection of 4" each side with 2 - #4 continuous.

SLABS ON GRADE

All slabs on grade, unless otherwise noted, shall be 4" thick with 6x6-W1.4xW1.4 WWF centered in slab. All stair slabs on grade, unless otherwise noted, shall be 4" thick with 6x6-W1.4xW1.4 WWF centered in slab.

POURED CONCRETE WALLS

Unless otherwise noted on plans or sections, reinforce poured concrete walls with #6 verticals at 20" on center inside face and #4 horizontals at 12" on center. Provide #5 x 4'-0" (2'-0" each leg) corner bars at 24" on center, horizontal reinforcing, at corner of wall with 3 - #6 vertical support bars. All wall openings larger than 12" shall have 2 - #5 all sides of openings. Extend reinforcing 2'-0" beyond each edge of opening. Wall reinforcing is continuous through columns.

STRUCTURAL STEEL

All structural steel shall be designed, fabricated and erected according to the American Institute of Steel Construction (A.I.S.C.) standard specifications. Structural steel supplier shall supply all cap plates, bearing assemblies, base plates, stiffeners, splices, connections and shall design same unless noted on drawings. All welding shall be done using the shielded arc process using E70 electrodes in accordance with the rules of the American Welding Society (A.W.S.) Structural Welding Code. All welders shall be certified using the rules of the American Welding Society.

DIMENSION LUMBER

Dimension lumber shall be No. 2 Hem Fir or equal for joists, beams and headers. Wall studs shall be Stud Grade SPF or equal. Treated lumber shall be No. 2 Southern Pine or equal. Spacing of bridging for joists shall not exceed 8'-0". Wood lintels and headers shall have a full 1 1/2" length of bearing at each end unless notes otherwise. All beams and joists not bearing on supporting members shall be framed with "Simpson Strong-Tie" joist hangers or equal. Interior walls to have 2x4 studs at 16" on center. Exterior walls to have 2x6 studs at 16" on center. Wood joists shall bear the full width of supporting members (stud wall, beams, etc.) unless otherwise noted. Wood beams made of 2 plies shall be fastened with 2 rows of 10d (0.128" x 3") nails at 16" O.C. Wood beams made of 3 plies shall be fastened with 2 rows of 10d (0.128" x 3") nails at 16" O.C. each face. Sill plates to be bolted to foundation walls with 1/2" diameter anchor bolts at 4'-0" on center maximum to extend 7" minimum into concrete. Each sill plate to have a minimum of 2 bolts with one bolt located within 12" of each end of each piece. Nailing to be in accordance with Table 2304.9.1 of the I.B.C.

LVL WOOD MEMBERS

LVL members noted on drawings are laminated veneer lumber as manufactured by Trus-Joist. Equivalent at contractor's option. Sizes shown on plan are actual size. Fb = 2,600 psi, E = 1,900,000 psi

PSL WOOD MEMBERS

PSL members noted on drawings are parallel strand lumber as manufactured by Trus-Joist. Equivalent at contractor's option. Sizes shown on plan are actual size. Fb = 2,400 psi, E = 1,800,000 psi

WOOD ROOF TRUSSES

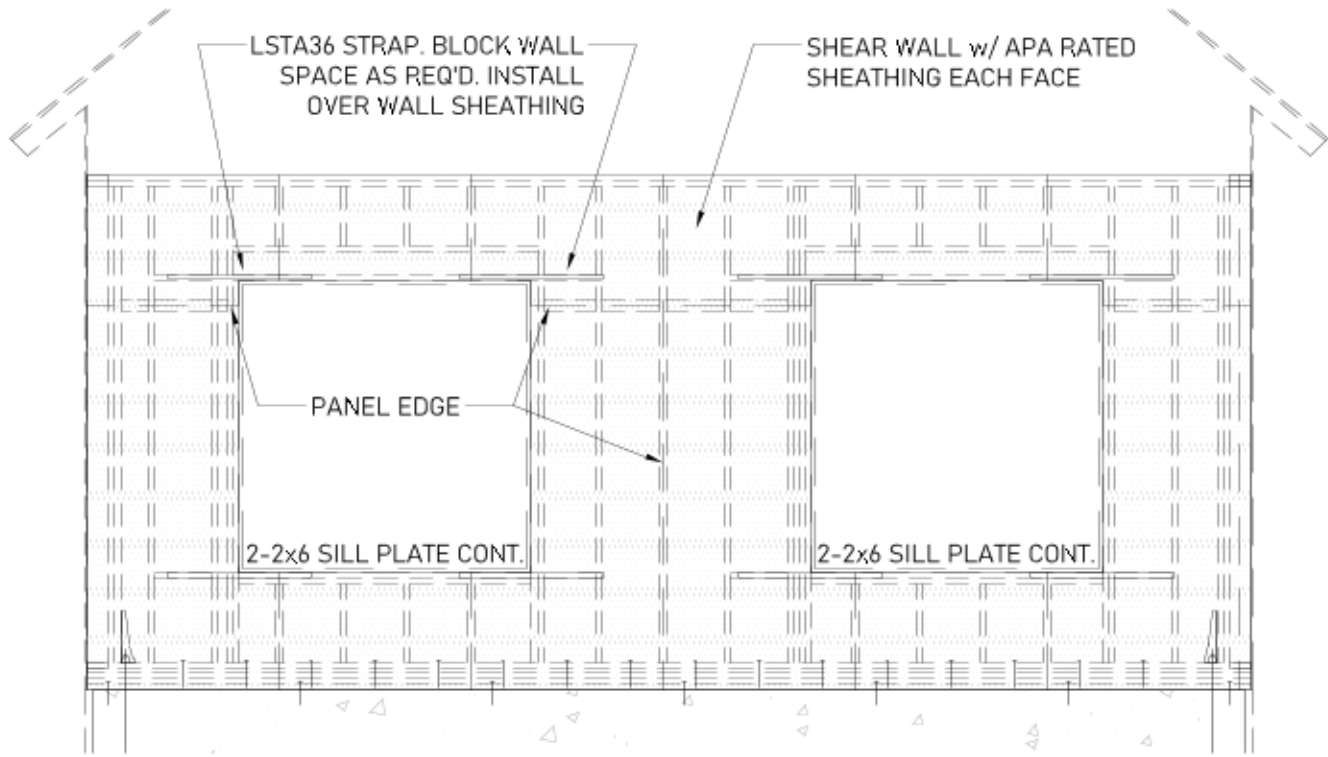
Lumber for wood roof trusses shall be in accordance with the manufacturer's recommendations. Trusses shall be designed for a top chord superimposed load of 35 PSF and a bottom chord load of 10 PSF or as listed on the drawings. Submit certified calculations with shop drawings. Spacing of roof trusses shall not exceed 24" on center. Truss configuration, pitch, overhang, etc. shall be indicated on the architectural drawings. Provide girder trusses, hip jacks, step-down trusses as required and designed to support all superimposed loads. Provide metal framing anchors at truss bearing to mechanically fasten truss to bearing wall or supporting member. Bridging, and bracing of truss compression members, shall be installed in accordance with the truss manufacturer's design and directions. No field modifications will be allowed without the written approval of the truss manufacturer. Truss manufacturer shall provide metal hangers where necessary.

WOOD FLOOR TRUSSES

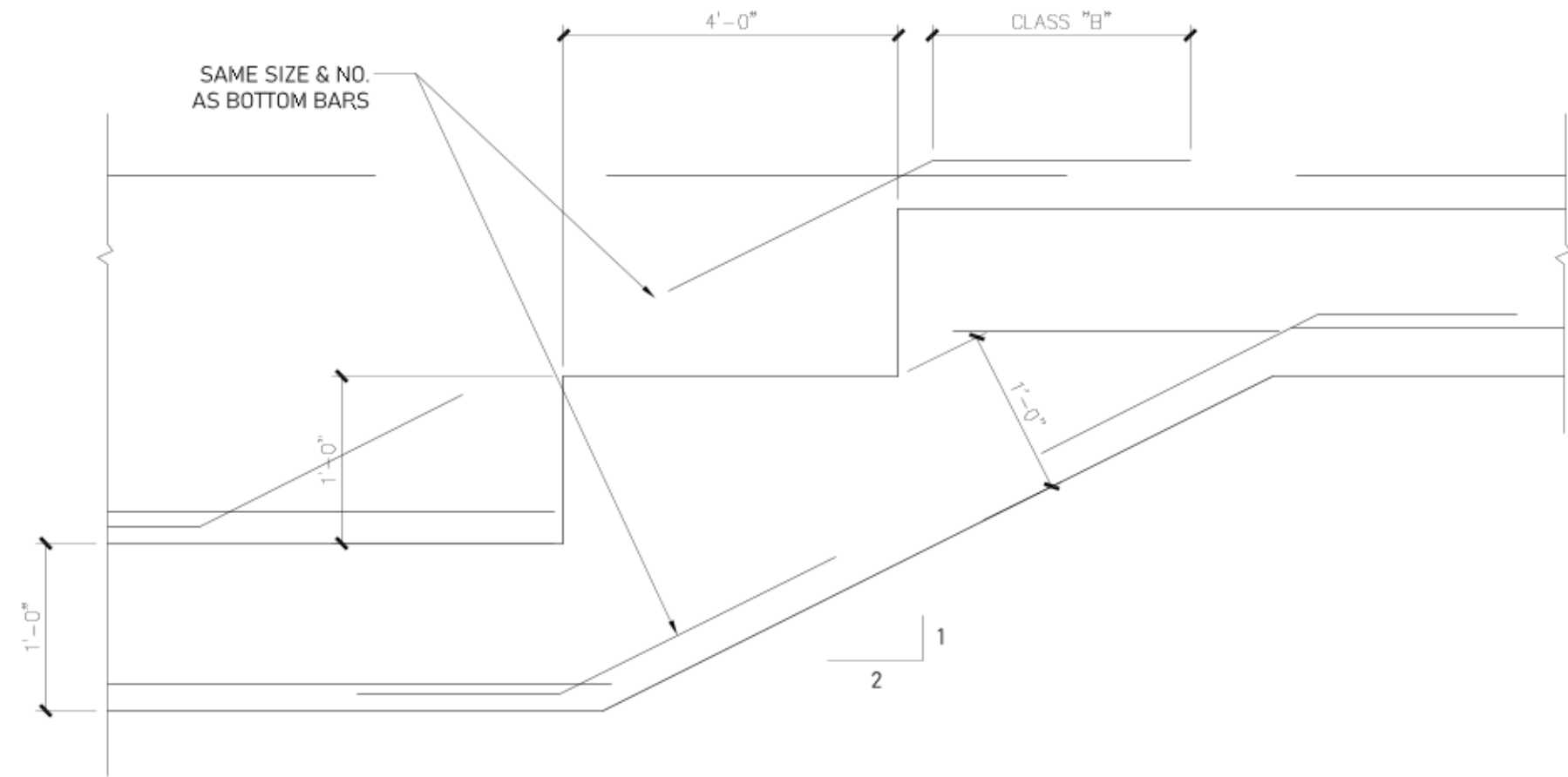
Lumber for wood floor trusses shall in accordance with the manufacturer's recommendations. Floor trusses shall be designed to support, in addition to dead loads, the live loads listed above or indicated on the drawings. Floor trusses shall have a minimum live load deflection criteria of L/480. Design trusses for top chord bearing or bottom chord bearing as shown on the drawings or details. No cutting, notching, or modification of floor trusses will be allowed without the manufacturer's written approval. Submit certified calculations with the shop drawings. Provide girder trusses, header beams, etc. as required to frame openings. Install bridging as required by the truss manufacturer. Truss manufacturer shall provide metal hangers where required.

CONCRETE COVER ON REINFORCING

Footings                3" clear bottom and sides  
Walls                    2" clear outside face, 1 1/2" clear inside face  
Columns and Beams   1 1/2" all sides  
Slab on Grade        Center reinforcing in slab

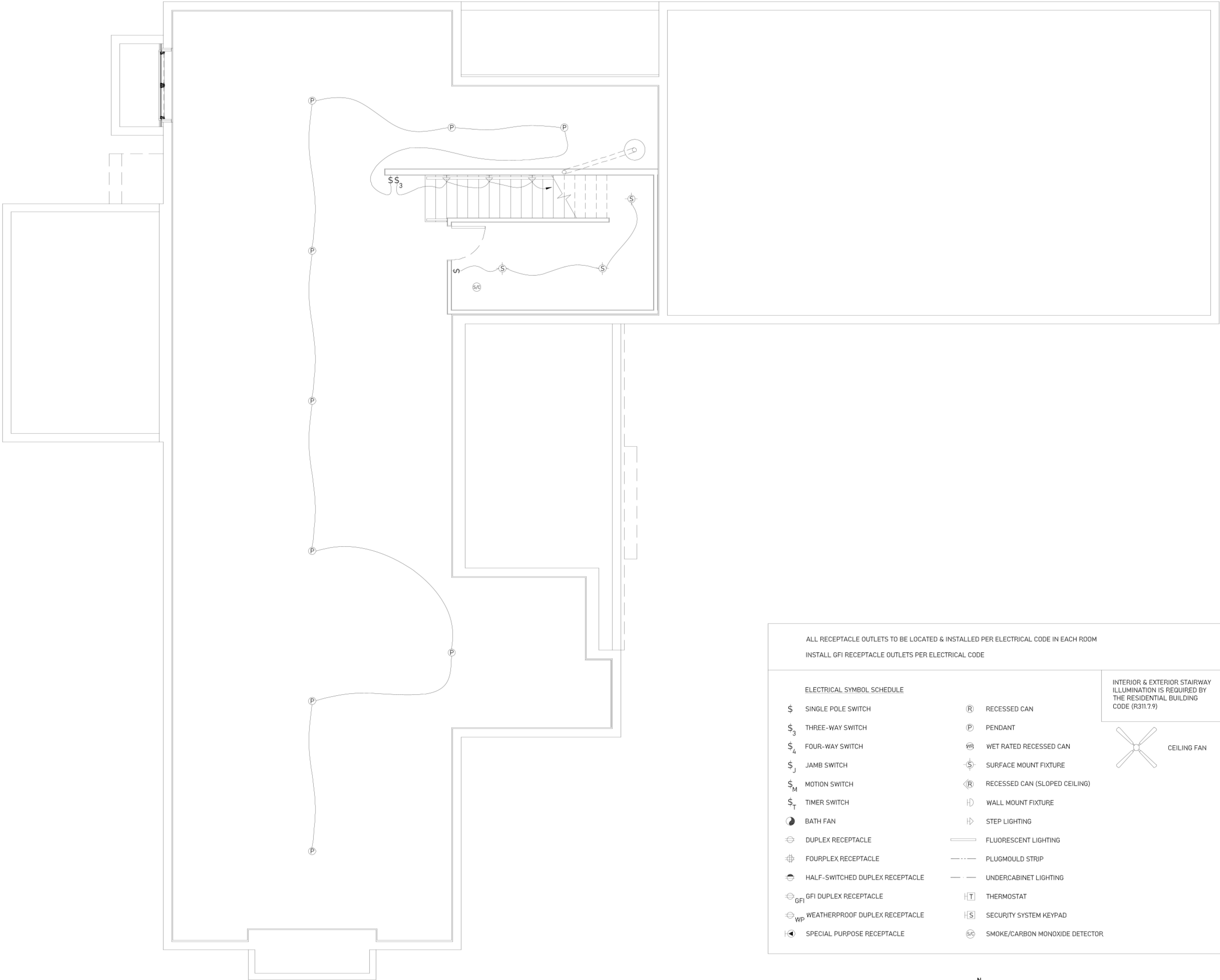


1  
S2  
TYPICAL SHEAR WALL ELEVATION @ WINDOWS  
SCALE: 1/4"=1'-0"



2  
S2  
TYPICAL STEPPED FOOTING DETAIL (SEE ELEVATIONS)  
SCALE: NOT TO SCALE





1 LOWER LEVEL ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

**BLOCKER RESIDENCE**  
Lot B 95th Avenue  
Frankfort, IL 60423

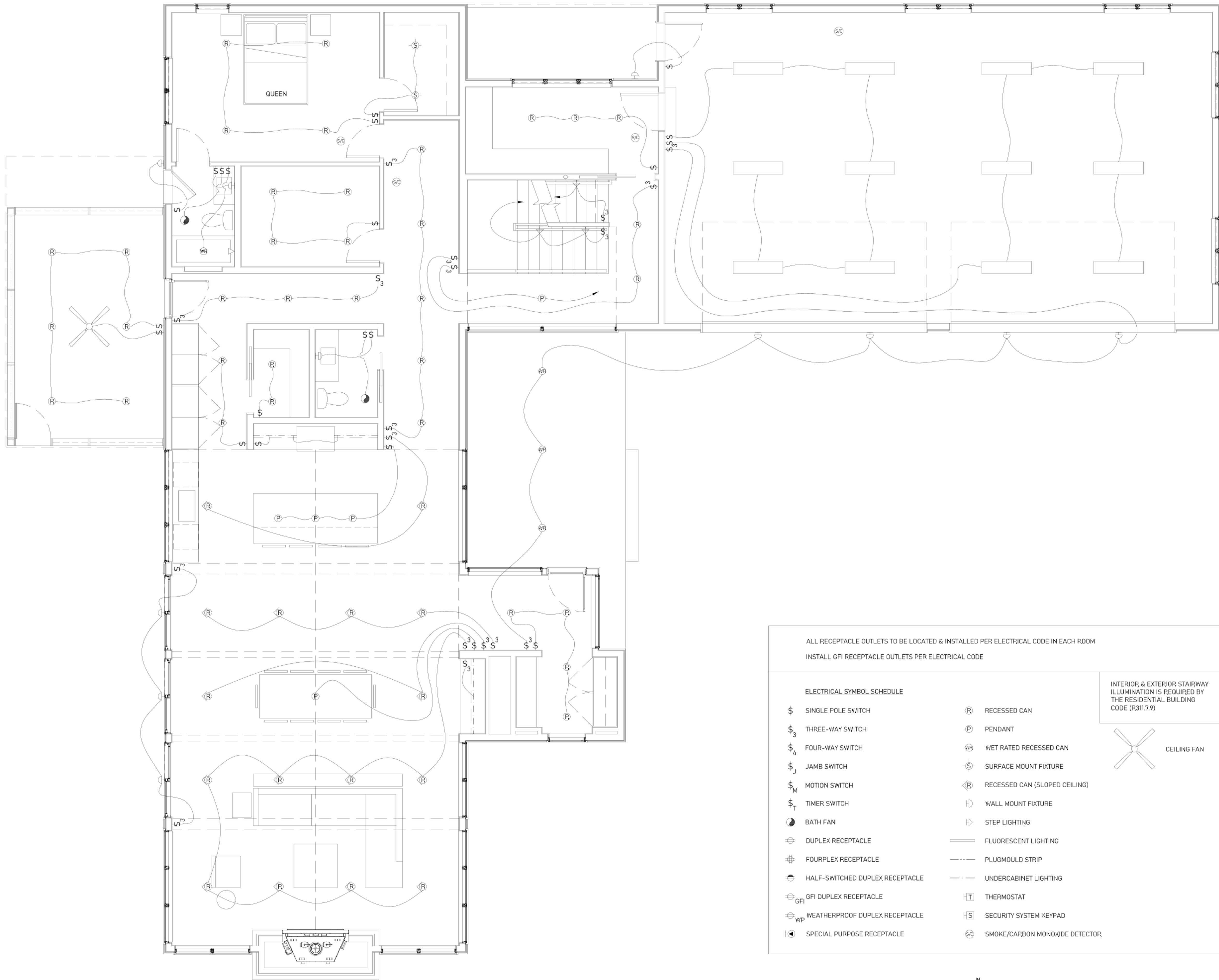
DATE  
02-08-24

SHEET  
E-100

THIS DOCUMENT IS THE PROPERTY OF EVERSON ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF EVERSON ARCHITECT. THE USER AGREES TO HOLD EVERSON ARCHITECT HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY EVERSON ARCHITECT AS A RESULT OF THE USER'S USE OF THIS DOCUMENT. SIGNATURE: *Thomas M. Emerson*

**EVERSON ARCHITECT**  
952.210.9845  
EVERARCH.COM





ALL RECEPTACLE OUTLETS TO BE LOCATED & INSTALLED PER ELECTRICAL CODE IN EACH ROOM  
INSTALL GFI RECEPTACLE OUTLETS PER ELECTRICAL CODE

ELECTRICAL SYMBOL SCHEDULE

- |                |                                 |             |                                |
|----------------|---------------------------------|-------------|--------------------------------|
| \$             | SINGLE POLE SWITCH              | (R)         | RECESSED CAN                   |
| S <sub>3</sub> | THREE-WAY SWITCH                | (P)         | PENDANT                        |
| S <sub>4</sub> | FOUR-WAY SWITCH                 | (WB)        | WET RATED RECESSED CAN         |
| S <sub>J</sub> | JAMB SWITCH                     | (S)         | SURFACE MOUNT FIXTURE          |
| S <sub>M</sub> | MOTION SWITCH                   | (R)         | RECESSED CAN (SLOPED CEILING)  |
| S <sub>T</sub> | TIMER SWITCH                    | (H)         | WALL MOUNT FIXTURE             |
| (FAN)          | BATH FAN                        | (H)         | STEP LIGHTING                  |
| (D)            | DUPLEX RECEPTACLE               | (—)         | FLUORESCENT LIGHTING           |
| (4D)           | FOURPLEX RECEPTACLE             | (— · — · —) | PLUGMOULD STRIP                |
| (HSD)          | HALF-SWITCHED DUPLEX RECEPTACLE | (— — —)     | UNDERCABINET LIGHTING          |
| (GFI)          | GFI DUPLEX RECEPTACLE           | (H/T)       | THERMOSTAT                     |
| (WP)           | WEATHERPROOF DUPLEX RECEPTACLE  | (H/S)       | SECURITY SYSTEM KEYPAD         |
| (SP)           | SPECIAL PURPOSE RECEPTACLE      | (S/C)       | SMOKE/CARBON MONOXIDE DETECTOR |

INTERIOR & EXTERIOR STAIRWAY  
ILLUMINATION IS REQUIRED BY  
THE RESIDENTIAL BUILDING  
CODE (R311.7.9)



CEILING FAN



1

MAIN LEVEL ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

**BLOCKER RESIDENCE**  
Lot B 95th Avenue  
Frankfort, IL 60423

DATE  
02-08-24

SHEET  
E-101

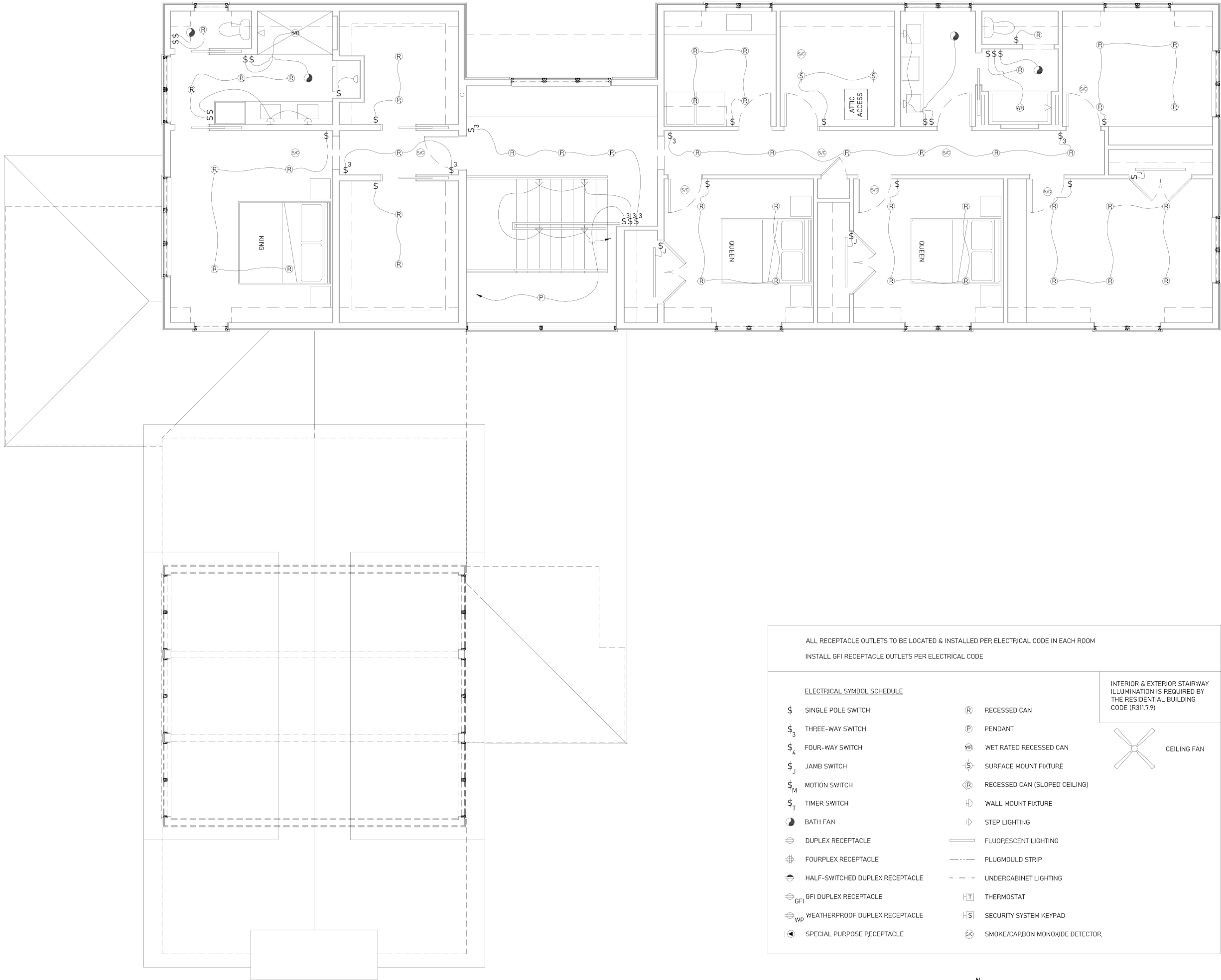


952.210.9845  
EVERARCH.COM

THIS DOCUMENT IS THE PROPERTY OF EVERSON ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF EVERSON ARCHITECT. THE USER OF THIS DOCUMENT AGREES TO HOLD EVERSON ARCHITECT HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST EVERSON ARCHITECT BY ANY THIRD PARTY AS A RESULT OF THE USER'S USE OF THIS DOCUMENT.

*Thomas M. Everson*  
SIGNATURE





**1** UPPER LEVEL ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"





Accoya® wood

# DATA SHEET

Accoya is a modified wood setting the benchmark for wood performance, finish and sustainability. It has been proven through intensive testing and in 1000s of projects worldwide to outperform the competition.

## Approved Manufacturer Training Programme

Accsys run a training programme for manufacturers of Accoya products. We strongly recommend all companies manufacturing products from Accoya participate in the programme.

## Key features

Accoya wood is produced from sustainably sourced, fast growing wood and manufactured using Accsys' proprietary patented modification process from surface to core.



HIGHLY STABLE



HIGHLY DURABLE



IDEAL FOR COATING



EXCELLENT MACHINABILITY



BAREFOOT FRIENDLY



NON TOXIC



SUSTAINABLY SOURCED



NATURAL WOOD



100% RECYCLABLE



THERMAL INSULATOR



INSECT RESISTANT



STRUCTURALLY CERTIFIED

## Standard lengths & grades

### 2.4m, 3.0m, 3.6m, 4.2m, 4.8m

Intermediate lengths of 1.8m, 2.7m, 3.3m, 3.9m and 4.5m also available on a lower volume basis. Finger Jointed available in 4.2m, 4.8m and 6.0m lengths.

- › All A1, A2 and B grade dimensions are actual rough sawn.
- › Companies processing Accoya can supply a wide range of standard and custom profiles from these sawn sizes.
- › Accoya is available in four primary grades:
  - A1:** 4 sides primarily clear. C22 strength grade.
  - FJ/A1:** Finger Jointed to clear lengths.
  - A2:** 3 sides primarily clear. C16 strength grade.
  - B:** Where there is greater tolerance for defects such as knots, resin pockets, wane or edge damage.

## Standard dimensions & grades

Heights	Widths				Grades
	100	125	150	200	
25	✓	✓	✓	✓	A1, A2, B
32		✓	✓	✓	A1, A, B
38		✓	✓	✓	A1, A2, B
50	✓	✓	✓*	✓*	A1, FJ/A1*, A2, B
63	✓*	✓*	✓*	✓*	A1, FJ/A1*, A2
75	✓*	✓*	✓*	✓*	A1, FJ/A1*, A2
100	✓				A1, A2

\* See Finger Joint leaflet for actual FJ dimensions



Material
100% Solid Accoya wood
Durability
EN 350 Class 1 (the highest rating) and exceeding the performance of durable woods in long term ground contact field tests according to the local national standards in Australia, Japan, New Zealand and USA.
Equilibrium Moisture Content
3–5 % at 65% relative humidity, 20°C
Density
Average 510 kg/m <sup>3</sup> , 65% RH, 20°C, Range 400 to 600 kg/m <sup>3</sup>
Shrinkage
<div> <b>WET – 65% RH / 20°C*</b>            Radial – 0.4%            Tangential – 0.8%         </div> <div> <b>WET – Oven Dry*</b>            Radial – 0.7%            Tangential – 1.5%         </div>
<small>*Average Values</small>
Material Fire Rating
Class C in USA (ASTM E84) and D in Europe (EN14915) like most softwoods. Accoya wood can be fire treated to meet higher requirements.
Thermal Conductivity
EN 12667, $\lambda = 0.12 \text{ W/m} \cdot \text{K}$ ASTM C177, $\gamma = 0.102 \text{ W/m} \cdot \text{K}$
Bending Strength
Accoya A1 quality is classified as C22 strength grade and Accoya A2 quality is classified as C16.
Bending Stiffness
EN 408, 8800 N/mm <sup>2</sup>
Janka Hardness
ASTM D143, Side 4100 N (922 LBF), End grain 6600 N (1484 LBF).
Brinell Hardness
2.4 EN 1534 (2010)

## Insect decay

Accoya wood is indigestible to a wide range of pests and an effective barrier to attack. Five year ground contact testing by independent laboratories in Florida USA, Northern Territory Australia and sites across Thailand has shown less termite damage on Accoya than on naturally durable species such as FEQ Burmese Teak and Spotted Gum.

## Salt water contact and immersion

Accoya is not detrimentally affected by salt water contact or immersion. Field testing over 10 years immersion have shown some attack on Accoya by marine organisms but less than that sustained on other durable woods in test.

## Machinability

Processing does not affect the unique properties of Accoya wood, as it is modified to the core. It is relatively easy to process and comparable to a softwood or medium density hardwood such as Yellow Poplar (Tulip Wood). With the right training no special tools are required for cross cutting, ripping, planing, routing and drilling. Further details can be found in the Accoya Wood Information Guide.

## Gluing

Both load bearing and non-load bearing applications have been tested using adhesive systems for laminating, finger jointing and frame corner joints. While good results can be achieved with most common adhesives, PU, EPI, epoxy and PRF give the best results. Results using polyvinyl acetate (PVAc) can vary greatly. MUF adhesives should be avoided. Contact your adhesive supplier for more information.

## Finishing

A finish or coating does not need to be applied to Accoya to achieve longevity and dimensional stability. Details on natural weathering of uncoated Accoya can be found in the Wood Information Guide. Most commonly used coating systems can be used on Accoya wood. Testing has been performed with a full range of oil-based and water-based coating systems. Leading coating manufacturers have found that their film form coating systems last longer on Accoya. Contact your coating supplier for more information.

## Fastening

The use of corrosion-proof steel fastenings that conform to EN 10088-1 is recommended such as A2, A4 quality stainless steel. Use of other metals and alloys is included in the Accoya Wood Information Guide.

For more information please refer to the Wood Information Guide at [www.accoya.com](http://www.accoya.com)

Copyright © Accsys Technologies 2020. Accsys Technologies is a trading name of Titan Wood Limited. Accoya® and the Trimarque Device are registered trademarks owned by Titan Wood Limited and may not be used or reproduced without written permission. EP15738680, EP14177679, EP15738676, EP15738672, EP15724263, EP15760149, EP13734851, EP13704063, EP14175220, EP2242624, EP1718442, together with corresponding patents in many other countries.





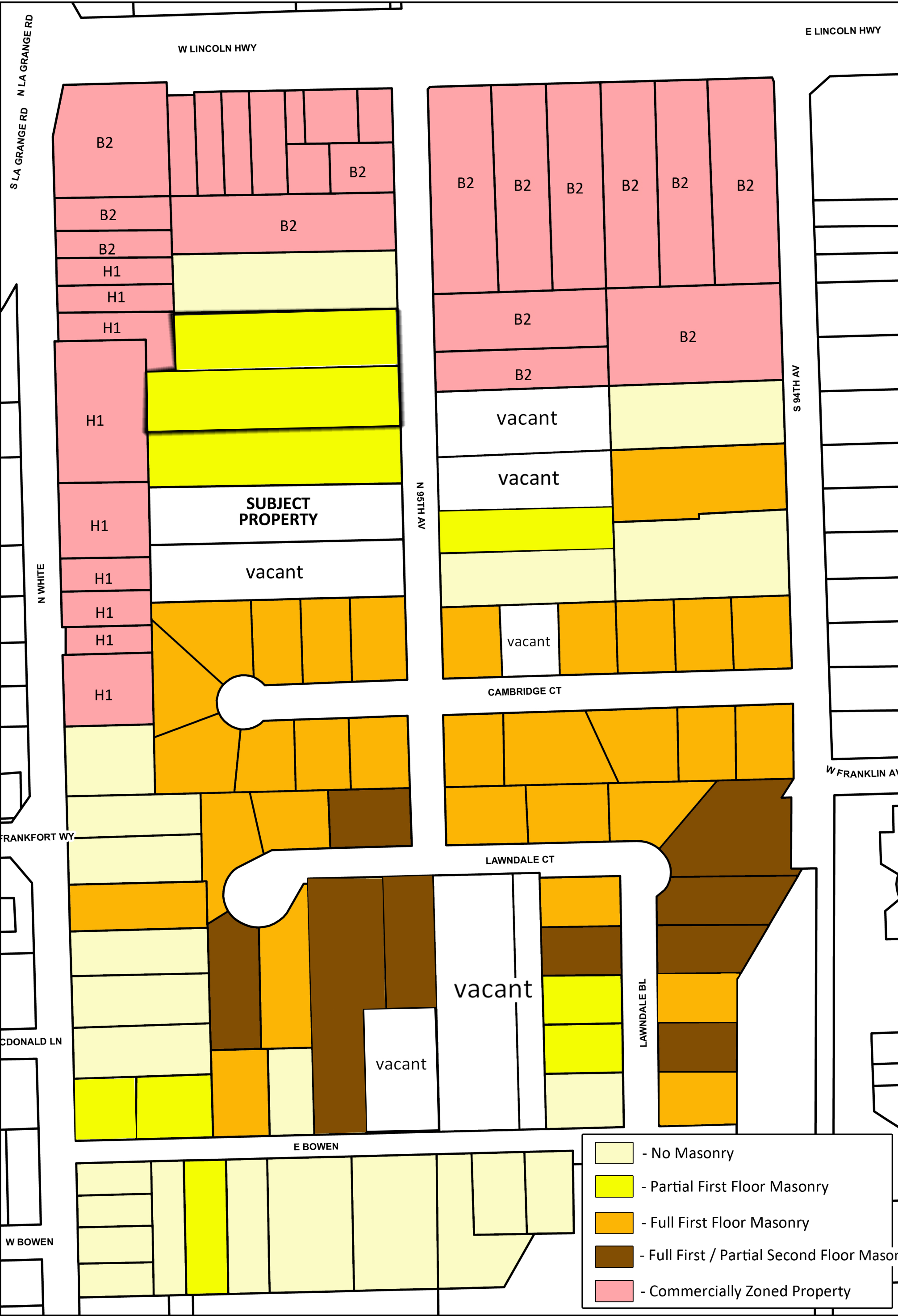


Exhibit A - Masonry Materials Inventory



VILLAGE OF  

---

FRANKFORT

---

  
INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review  
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;  
The proposed home is expected to cost over two million dollars to construct. This will raise the property values of all surrounding properties/homes. Many exterior luxury finishes will be used on the home.
2. That the plight of the owner is due to unique circumstances; and  
The proposed metal roof is to ensure the highest quality roof system is used as well as to ensure the architectural character of the home is not compromised. The proposed siding is a thermally modified cedar that is long lasting and will provide a timeless look & fit in with many of the existing siding homes in the area.
3. That the variation, if granted, will not alter the essential character of the locality.  
The home will have low rooflines that will not overpower the existing homes in the area. The proposed home is neighboring an A frame style home that is traditionally associated with a lodge or cabin style of architecture. The proposed cedar siding and will compliment the A frame house seamlessly.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;  
Physical surroundings not applicable to building materials.



2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;  
Many other homes in the same zoning classification are located next to homes that are primarily constructed with masonry materials, this home would be located next to homes with non masonry materials thus encouraging the use of a non masonry siding material.
3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;  
The proposed variances are strictly required to keep the home as architecturally appealing as possible as well as to provide the best quality construction materials. If required to use an alternate roof and siding material the owner will in the long term spend more money on the property to replace the roof and siding material repeatedly.
4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;  
The property owner is strictly concerned with bringing a home of immense financial and architectural value to the area while not sacrificing quality of construction materials.
5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;  
None of these variations if granted will impair/affect the property or improvements of any of the surrounding properties/homes.
6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

As previously mentioned this home will require a large amount of financial investment & will substantially increase property values. The exterior of this home will compliment the homes around the area especially the A frame home located directly to the north.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.  
The house will be within all of the required setbacks. Throughout the construction phase silt fencing will be installed to eliminate silt run off and proper job site etiquette will be enforced.





### Standards of Variation Commissioner Evaluation Form

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided.

	STANDARD	NOTES	MEETS	
1.	That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;		YES	NO
2.	That the plight of the owner is due to unique circumstances;		YES	NO
3.	That the variation, if granted, will not alter the essential character of the locality.		YES	NO

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence.

	STANDARD	NOTES	MEETS	
1.	That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;		YES	NO



2.	That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;		YES	NO
3.	That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;		YES	NO
4.	That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;		YES	NO
5.	That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;		YES	NO
6.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or		YES	NO
7.	That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.		YES	NO



**Project:** Triple Crown Training  
**Meeting Type:** Workshop  
**Requests:** Special Use Permit for Indoor Recreation  
**Location:** 9426 Corsair Road  
**Applicant:** David W. Posley Jr.  
**Prop. Owner:** UMC Meds, LLC  
**Consultants:** None  
**Representative:** Applicant  
**Report By:** Amanda Martinez, Planner

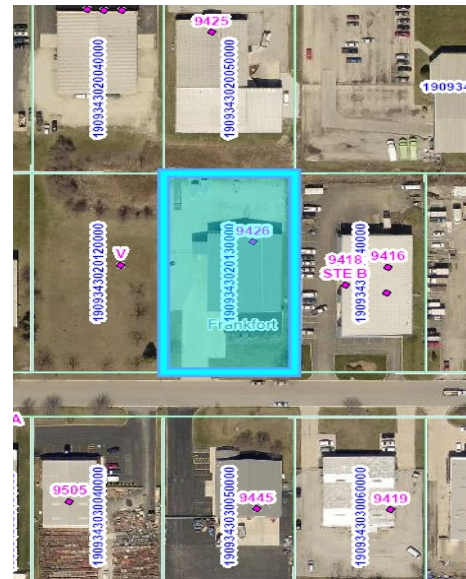
### Site Details

**Lot Size:** 44,536 sq. ft. (±1 Acres)  
**PIN(s):** 19-09-34-302-013-0000  
**Existing Zoning:** I-1  
**Prop. Zoning:** I-1 with a Special Use Permit for Indoor Recreation  
**Buildings / Lots:** 1 building / 1 lot  
**Total Sq. Ft.:** ±12,000 sq. ft.  
**Average Lot Size:** N/A

### Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
<b>Subject Property</b>	Industrial	Industrial	I-1
<b>North</b>	Industrial	Industrial	I-1
<b>South</b>	Industrial	Industrial	I-1
<b>East</b>	Industrial	Industrial	I-1
<b>West</b>	Industrial	Industrial	I-1

Figure 1. Location Map



### Project Summary

The applicant, David W. Posley Jr., representing Triple Crown Training LLC, a tenant/lessee on behalf of the property owner, UMC Meds, LLC, has filed an application requesting a Special Use Permit for Indoor Recreation to open an indoor baseball training facility at 9426 Corsair Road. The subject property is zoned I-1 light industry district and is located within the Airport Industrial Park. A Special Use Permit was granted in 2012 (Ord. 2806) for a similar operation (National Rhino Sports Academy) at this location. The longevity of the discontinuance of the special use requires the business to obtain a new Special Use Permit.

### Attachments

1. Aerial Photograph from Will County GIS
2. Site Photographs taken 3.1.24
3. ALTA/NSPS Land Title Survey dated 9.29.21 and received 2.15.24
4. Floor Plan received 2.16.24
5. Revised Floor Plan received 2.23.24



6. Business Operation Letter received 2.22.24
7. Top Velocity Program Brochure received 2.14.24
8. Top Velocity Website Homepage
9. Findings of Fact provided by applicant and received 2.16.24
10. Special Use Permit Findings of Fact Form for Plan Commissioners

## ***Analysis***

---

In consideration of the request, staff offers the following points of discussion:

### ***Proposed Use***

- The applicant is requesting a Special Use Permit for Indoor Recreation to operate a private indoor baseball training facility at 9426 Corsair Road.
- The subject property consists of a ±12,000 square foot industrial building on a ± 1-acre lot located within the Airport Industrial Park.
- The subject site would be a new franchise location for the business known as Triple Crown Training which facilitates the “Top Velocity Academy Program”, a baseball training program that consists of high-quality equipment, curriculum, and coaches.
- Existing franchise locations are:
  - Top Velocity Head Quarters located in Covington, Louisiana
  - Top Velocity York located in York, Pennsylvania
  - Top Velocity Dayton located in Moraine, Ohio
  - Top Velocity Charlotte located in Pineville, North Carolina
  - Top Velocity Argyle located in Argyle, Texas
  - Top Velocity San Diego located in San Diego, California
  - Top Velocity Burlingame located in Burlingame, California
  - Top Velocity Central Long Island located in Bohemia, New York
  - Top Velocity Boca Raton located in Boca Raton, Florida
  - Top Velocity Nampa located in Nampa, Idaho
  - Top Velocity Salado located in Salado, Texas
- The applicant stated that the space is still intact from the previous baseball training facility that used the space.
- Per the submitted ALTA/NSPS Land Title Survey, the vestibule is 31.79’ x 60.90’ (per the submitted floor plan, the vestibule is approximately 39’ x 9’ 6” and has two bathrooms). After entering the vestibule, patrons would then enter the turf and netted area that is approximately 109’ x 79’.
- Per the submitted floor plan, there will be a 2’ x 6’ counter for retail products, ancillary to their use but a staple part of their Top Velocity Academy Program since they offer nutritional guidance and supplements as part of the program. The submitted floor plan shows that the counter will be in the very front of the space.
- Per the submitted floor plan, there will be 5 pitching and throwing lanes in the approximately 18’7” x 47’ 8” room in the rear of the space. The floor plan also shows an approximately 18’7” x 47’ 8” weight room next to the pitching/throwing room.
- Per the submitted business operations letter, the business would have 4 employees on-site (2 of the 4 are the main coaches).
- The business intends to have the training facility mainly for players that are members of their program. The applicant verbally stated that the business will be open to the public as well as the members of their programs.
- Per the submitted business operation letter, the business would allow teams to have a contract with the business. The teams (approximately 8 teams) would have an assigned time to be at the facility. The teams will have 2 days a week of 2-hour training.



- Per the submitted business operation letter, the business would have 2 programs, Top Velocity Academy Program and Start Right Training. The Start Right Training program would occur 2-5 days a week for 8 weeks. The Top Velocity Academy Program brochure is attached to this staff report; according to the Top Velocity website, this program operates 5 days a week.
- The applicant verbally stated that the maximum operating scenario for their business would be 2 teams which would approximately be 24 people at the facility at the same time (2 teams and 2 coaches).
- The applicant is proposing hours of operation within the permissible hours of operation (7am to 11pm), thus, no special use approval is required for extended hours of operation.
- The proposed business hours of operation are Monday through Sunday: 7:00am-11:00pm. The applicant stated in the business operation letter that the peak hours would be from 5:00pm-9:00pm.
- Staff notes that Google Images show a roll out dumpster (no trash enclosure); staff assumes that the trash gets rolled inside the building to comply with the requirement to screen trash handling either indoors or within a trash enclosure structure. Staff recommends discussing trash handling at this site before the applicant submits the site plan for the public hearing. The applicant would need to either revise the floor plan to show where the trash bin goes indoors (the submitted floor plan does not show the loading dock area) or implement a trash enclosure on the site plan that complies with the Village trash enclosure standards.

#### ***Existing Parking***

- The Zoning Ordinance requires Indoor Recreation facilities to provide “1 parking space for every 4 patrons based upon the maximum occupancy of the facility, plus 1 parking space for each employee during the largest working shift”.
- The previous baseball training business that was at this location (National Rhino Sports Academy) had 10 pitching/batting lanes and the same maximum operation of 2 teams (approximately 24 people including the coaches); the previous baseball training business was required to provide 6 parking spaces. Staff at the time referenced the American Planning Association parking standards that suggested 1-4 parking stalls per batting cage and used the maximum operating occupancy.
- To be consistent, staff referred to the parking analysis that was provided for the previous baseball training business. According to the submitted floor plan and the American Planning Association parking standards, the 5 pitching/throwing lanes would yield a requirement of 5-20 parking stalls. According to the applicant, the “maximum operating scenario” (no definition in the Zoning Ordinance) would be 2 teams (approximately 24 people including the coaches). According to the submitted business operation letter, there will be at most 4 employees during peak hours. The required number of parking spaces for the proposed use would equate to 8 spaces.
- If staff were to take a more stringent approach and conduct the parking analysis based on “maximum occupancy”, the required number of parking spaces for the proposed use would equate to 64 spaces.
- The submitted ALTA/NSPS Land Title Survey shows that there are 7 parking spaces provided on the subject site.
- The west side of the parking lot and the rear of the subject lot is unpaved, gravel (Will County GIS aerial images show that the gravel was put in between 2015-2017 with a setback from the west property line then in 2018 extended the gravel to the property line).
- Staff requested the applicant to pave the rest of the lot to comply with the Zoning Ordinance and provide additional parking. The Zoning Ordinance requires all off-street parking, except in a single-family district, to be improved with concrete curb and gutter and paved surface (not gravel). The applicant responded that the gravel area is fenced off and would restrict parking in the rear (see the submitted ALTA/NSPS Land Title Survey for fence location). The applicant also mentioned that



there will not be a demand for more parking since they mostly see a drop-off and pick-up operation for their programs and that the business will not be providing an indoor waiting/gathering area.

- Additionally, the applicant has verbally stated that they would be agreeable to providing striped parking spaces just north of the existing parking spaces (with this option, staff would need to ensure that the applicant can meet the required drive aisle width and parking stall dimensions).
- Staff recommends the Commission consider adding a condition to pave the lot with either asphalt or cement, implement a 5-foot pavement setback from the property lines, and add additional striped parking spaces to ensure any parking demand or spillover is accommodated.
- Article 7 Section B Part 5 in the Village Ordinance provides for parking adjustments to the minimum number of parking spaces required, subject to a case-by case approval by the Plan Commission, and states the following:

*“The following provisions and factors shall be used as a basis to adjust parking requirements:*

*1. Evidence That Actual Parking Demands will be Less Than Ordinance Requirements. The petitioner shall submit written documentation and data to the satisfaction of the Plan Commission that the operation will require less parking than the Ordinance requires.*

*2. Availability of Joint, Shared or Off-Site Parking. The petitioner shall submit written documentation to the satisfaction of the Plan Commission that joint, shared, or off-site parking spaces are available to satisfy the parking demand.*

*a) Agreements shall be provided which demonstrate evidence that either parking lots are large enough to accommodate multiple users (joint parking) or that parking spaces will be shared at specific times of the day (shared parking, where one activity uses the spaces during daytime hours and another activity uses the spaces during evening hours.)*

*b) Off-site parking lots may account for not more than 50-percent of the required parking and shall be located not more than three-hundred (300) feet from the principal use that it is intended to serve.”*

### ***Standards for Special Uses***

---

Article 3, Section B, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use request. No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

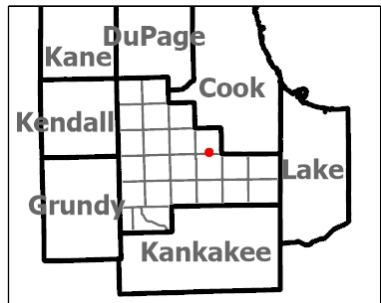
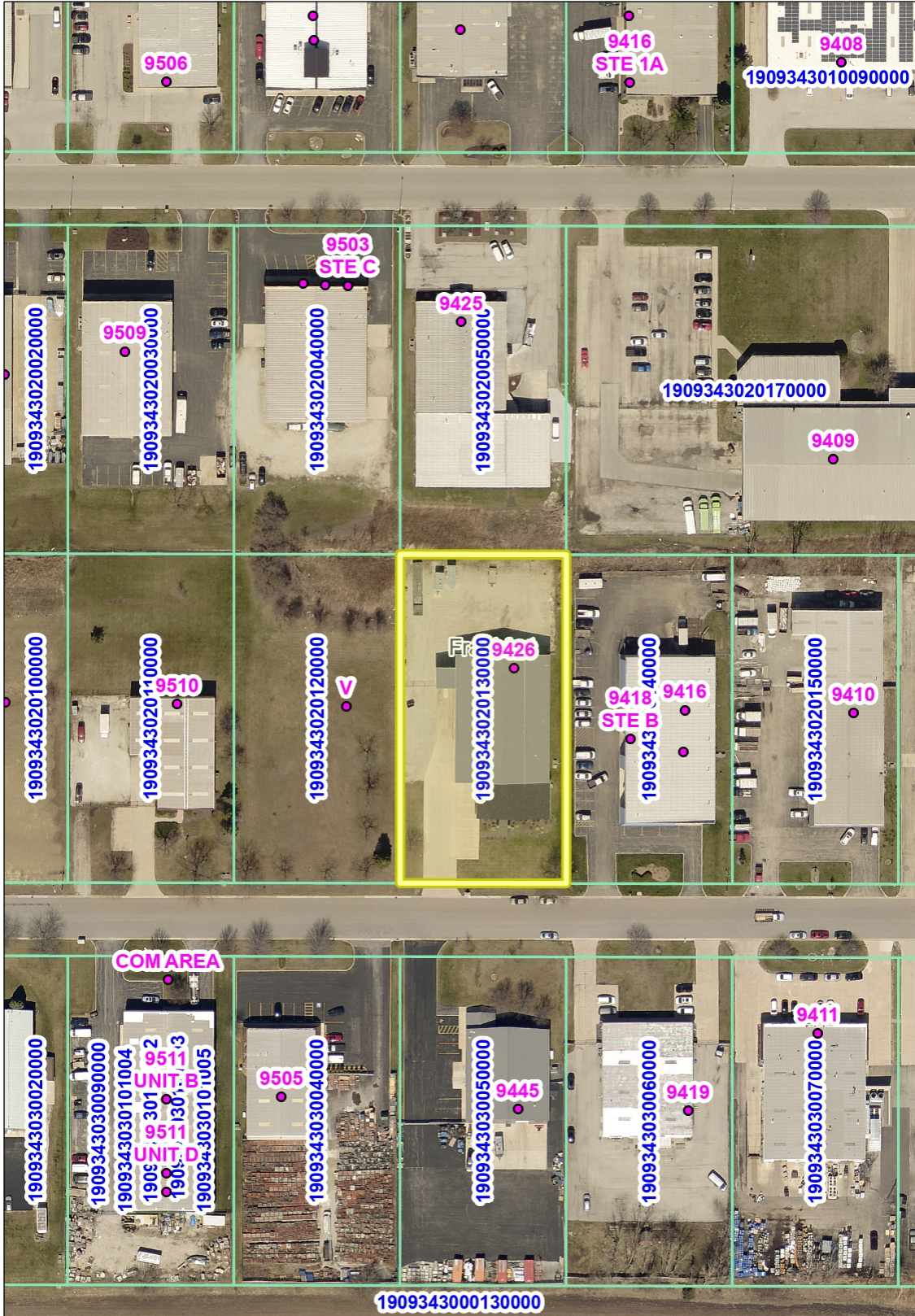


- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.





9426 S. Corsair Rd.



#### Legend

- Address Points
- Parcels
- Townships

#### Notes

Date: 3/1/2024

1: 2,257

0 0.04 0.07 Miles

Projection

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

Disclaimer of Warranties and Accuracy of Data: Although the data developed by Will County for its maps, websites, and Geographic Information System has been produced and processed from sources believed to be reliable, no warranty, expressed or implied, is made regarding accuracy, adequacy, completeness, legality, reliability or usefulness of any information. This disclaimer applies to both isolated and aggregate uses of the information. The County and elected officials provide this information on an "as is" basis. All warranties of any kind, express or implied, including but not limited to the implied warranties of merchantability, fitness for a particular purpose, freedom from contamination by computer viruses or hackers and non-infringement of proprietary rights are disclaimed. Changes may be periodically made to the information herein; these changes may or may not be incorporated in any new version of the publication. If you have obtained information from any of the County web pages from a source other than the County pages, be aware that electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended that careful attention be paid to the contents of any data, and that the originator of the data or information be contacted with any questions regarding appropriate use. Please direct any questions or issues via email to [gis@willcountyillinois.com](mailto:gis@willcountyillinois.com).



PLAT OF SURVEY

LOT 21 IN AIRPORT INDUSTRIAL PARK, A SUBDIVISION OF PART OF THE NORTH 80 ACRES OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, AND IN RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 9, 1988, AS DOCUMENT NUMBER R88-36799 AND CERTIFICATE OF CORRECTION RECORDED OCTOBER 21, 1988, AS DOCUMENT NUMBER R88-50495, IN WILL COUNTY, ILLINOIS.



Center Road  
East Right of Way Line

Legend:

- - Set 1/2" Iron Pipe
- - Found Iron Pipe
- X - Found Cross

Surveyor Notes:

- Field Work Completed on 9-28-21
- Prepared for Robert A. Egan, P.C., for real estate transaction.
- Site Address: 9426 Corsair Road, Frankfort, IL 60423
- Pin No.: 19-09-34-302-013
- The easements shown hereon are provided from the current title and the use of the recorded subdivision plat. No search of the records for easements or encumbrances was made as part of this survey.
- Compare deed description and site conditions with the data given on this plat and report any discrepancies to the surveyor at once.
- Auto Cad Files will not be released under this contract.
- The utilities as shown on this drawing were developed from the information available. This is not implied nor intended to be the complete inventory of utilities in this area. It is the clients responsibility to verify the location of all utilities (whether shown or not) and protect said utilities from any damage.
- All building dimensions and ties are to the current siding material and not to the foundation.
- Bearings are assumed.
- No boundary corners were set at time of field survey. Boundary corners will be set a later date.
- This plat was prepared with the aid of Fidelity National Title Insurance Company file number WJ21030738 dated July 30, 2021.

State of Illinois )  
SS)  
County of Lake )

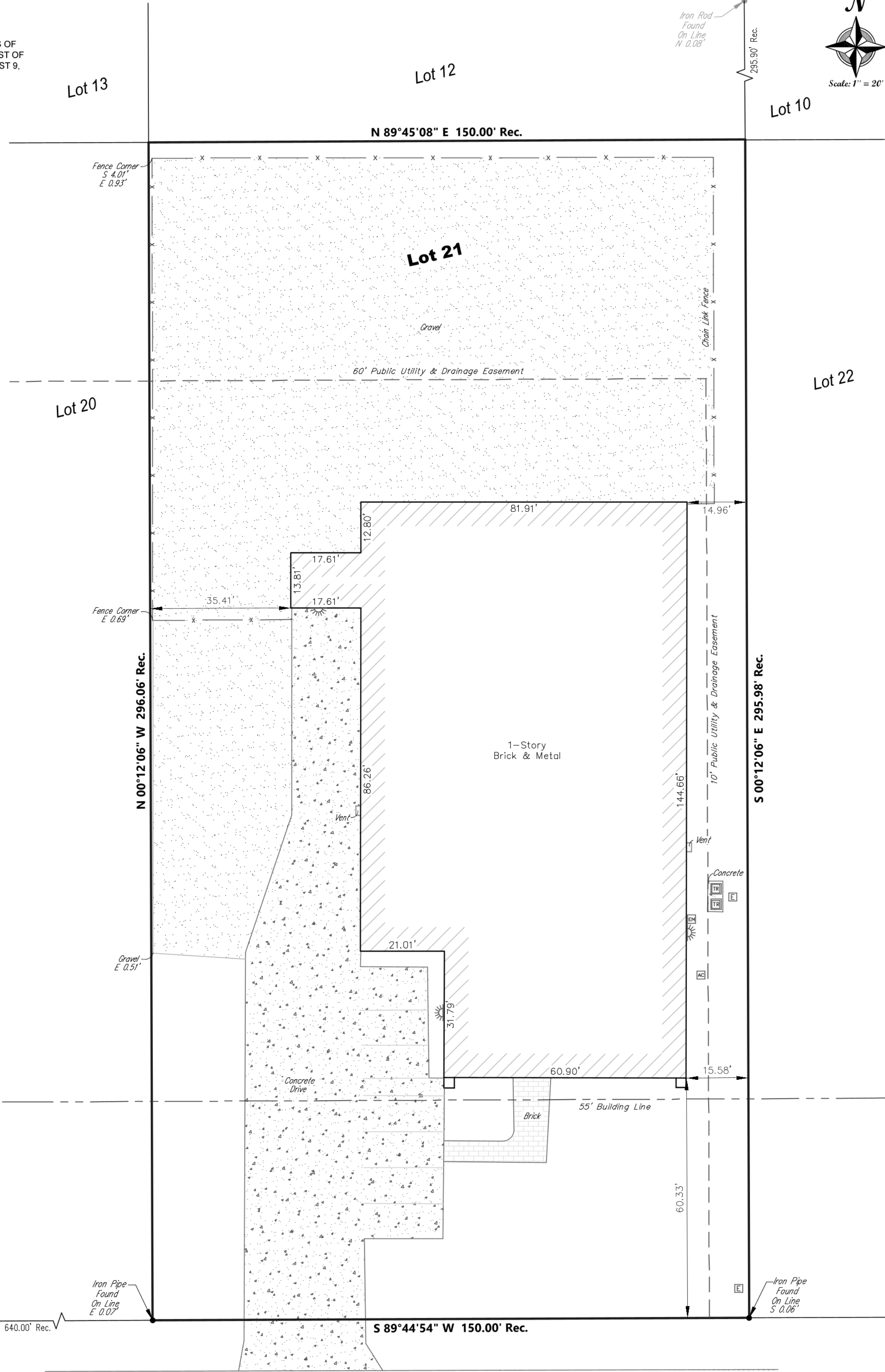
We, Land Surveying Services, Inc. do hereby state that we have surveyed and described property and that this is the Plat that represents the conditions found on the land of said property.

Given under my hand and seal this 29th day of September, A.D. 2021, in Lake Zurich, Illinois.

Gloria Jean Koter, an agent for Land Surveying Services, Inc.

Illinois Professional Land Surveyor Number 0323  
License Expiration Date 11-30-22

This professional service conforms to the current Illinois minimum standards for a boundary survey.



Drafted By: ER	Field Work: DA	10-11-21
Revision		Date



Land Surveying Services, Inc.

1182 Heather Drive Lake Zurich, Illinois 60047  
Ph. (847)847-1079 Fax. (847)847-1279  
Professional Design Firm License No. 184-D03632

Field Work Completed: 9-28-21 Scale: 1" = 20' Date: 9-29-21

Site Address:

9426 Corsair Road  
Frankfort, Illinois

Job Number  
LS211667

Sheet Number  
SURVEY

Sheet Name

PLAT OF  
SURVEY







Triple Crown Training  
Top Velocity Performance Center (Chicago - South)

Total of 4 employees Rotating between Trainers and Office staff.

Prime Hours: 5-9pm M-F = 20 hours per week /80 hours per month

Revenue Generators:

- 8 Teams
- 30 Academy Members
- 30 Start Right Members

Business Model Review:

1. Team Contracts: 8 teams. Use of facility at assigned times which includes 2xs a week for 2 hours with access to 2-3 lanes.

2. Top Velocity Academy Program

3. Start Right Training: 2xs a week for 8 weeks for players 14 and under



CAUTION: This e-mail originated outside of the Village's email system.  
DO NOT click links or open attachments unless you confirm the incoming address of the sender and know the content is safe.





## WHAT IS **TOP VELOCITY?**

TopVelocity is a game-changer in the world of baseball player development programs.

As the undisputed leader in the field, Top Velocity offers exciting and customized training programs that are designed to help athletes of all levels and positions unlock their true potential on the field.

TopVelocity is revolutionizing the way athletes train and perform by offering the most complete cutting-edge science-based training system in the game that produces results while preventing injury.

With the latest in advanced technology, including an artificial intelligence-driven player evaluation system, Top Velocity is able to establish an exact "roadmap" for each athlete to achieve elite levels of performance.

If you're ready to take your game to the next level, TopVelocity is the training program for you!



# START NOW



## LOCATIONS



TopVelocity Performance Centers are franchise locations offering the same high-quality training program as TopVelocity Headquarters. With state-of-the-art equipment, personalized coaching, and a comprehensive training curriculum, TopVelocity Performance Centers are specifically designed to enhance overall athletic performance.

[www.topvelocity.center](http://www.topvelocity.center)

## UNLEASH YOUR FULL POTENTIAL



## PERFORMANCE *Centers*

THE MOST **ADVANCED** PLAYER  
DEVELOPMENT PROGRAMS IN  
**THE GAME!**



# HOW CAN WE HELP YOU?

**PITCHING VELOCITY**  
**THROWING VELOCITY**

**EXIT VELO**

**POP TIME**

**FASTPITCH**

**NUTRITION**



**CALL NOW**  
**1-985-TOPVELO**



**PERFORMANCE**  
*Centers*

## TRAINING OPTIONS

### PLAYER EVALUATION

The Top Velocity Evaluation is an essential step for athletes entering into our training programs to establish current ability and assign training goals.



### START RIGHT TRAINING

This program is designed to introduce beginner methods of TopVelocity Training.



### TOPVELOCITY ACADEMY MEMBERSHIP

Each player receives a complete evaluation with a customized training platform to follow under the guidance of a certified instructor.



### TOPVELOCITY REMOTE COACHING

If you can't travel to headquarters or join a local TopVelocity Performance Center, you can get started with a personal coach thru TopVelocity Remote Coaching.

# WHAT MAKES TOP VELOCITY UNIQUE AND SPECIAL

- EDUCATION OF OUR ATHLETES
- SCIENCE BACKED TRAINING
- EVALUATION SYSTEM UTILIZING A/I
- SPECIALIZED TRAINING EQUIPMENT
- PROPRIETARY DRILLS
- CUSTOMIZED TRAINING APP
- INJURY PREVENTION
- RESULTS

**UNLEASH YOUR  
FULL POTENTIAL**

[www.topvelocity.center](http://www.topvelocity.center)





# ***TOP VELOCITY PERFORMANCE CENTERS***

***IF YOU WANT TO TRAIN WITH THE BEST PLAYER DEVELOPMENT PROGRAM IN THE NATION, TOP VELOCITY IS THE PLACE TO BE!***

## ***THE PURPOSE OF TOP VELOCITY PERFORMANCE CENTERS***

In 2020, due to the overwhelming demand of coaches and players throughout the world, Top Velocity™ set out on a mission to bring Top Velocity™ methods to local communities. Through



our licensed facilities and certified instructors thousands of aspiring athletes will now have unlimited access to Top Velocity™ training methods in their hometown.

Top Velocity™ programs are specifically designed to enhance the overall athletic performance in all skilled movements of baseball and softball athletes. Regardless of your specific position on the field we have a program for you.

The Top Velocity™ System of training provides the best player development program in the world with a progressive curriculum of Science-Based training methods that is proven to help every athlete reach their full potential. From 6-year-old athletes to the Pros, the Top Velocity program provides a proven way to improve your athletic performance NATURALLY while reducing the risk of injury.

Top Velocity Performance Centers are an extension of Headquarters and provide a local training option while maintaining Top Velocity™ standards through our live virtual training.

Find your nearest location and schedule to attend our next event to experience why Top Velocity™ has been the industry leader in player development training for 15+ years, helping thousands of coaches and athletes of all ages through our proven science-based biomechanical training systems.

## ***THE TOP VELOCITY PROGRAM***

What is TopVelocity Baseball Training?



## ***FIND A LOCATION***





***TAKE A LOOK INSIDE OUR FACILITIES***





## ***START TRAINING NOW!***

*Each affiliate location follows the successful training format developed over the past 15+ years that has produced more 90+mph testimonials than any other training program in the game.*

*Whether you are just beginning your training or an elite performer looking to increase your performance, Top Velocity and Top Velocity Performance Centers have a program to fit your needs.*

## ***STEPS TO MEMBERSHIP:***



## ***PLAYER INTERVIEW***



First step is to schedule your FREE Player Interview to discuss your goals. Once you enter the facility you will see there is something special happening in a Top Velocity Performance Center. You will meet with a staff member who will take you on a tour of the facility pointing out all the special features of a Top Velocity Performance Center. Make sure to review the goal banners which will outline how to reach your goals.

## ***PROGRAM RECOMMENDATION***



Following your interview you will be provided our best program recommendation based upon your age, skill level, and goals.

Standard Program Options:

- Start Right Intro Clinic (2 days a week)
- Start Right Training (5 days a week)
- Top Velocity Academy Training Membership (over 12yoa – 5 days a week)
- Clinic
- Camp

## ***MEMBERSHIP SELECTED***



Once you have selected your program you will be registered for your Training Group or specific class. Each athlete will establish their Top Velocity account and will be provided access to education, training, and evaluation systems through an application on their phone or internet login. All of our training memberships start with the Complete Evaluation to establish a baseline



of performance and will be provided a customized training program through our artificial intelligence programming. If you have selected a clinic or intro class you will receive a base evaluation to establish general performance metrics to educate the athlete of their current performance level. As with all of our introductory clinics, classes, and workshops, we encourage each athlete to take the next steps towards our unlimited membership options to start training with a customized training program in our academy program.

## ***PLAYER EVALUATION***



The proprietary Top Velocity evaluation assesses over 50 individual measurements which are entered into the Trademarked Top Velocity Artificial Intelligence Program to establish a baseline and assess the athletes current ability. Once the data is entered the athletes will receive their customized training program with a roadmap to elite metrics.

The Top Velocity Evaluation is an essential step for athletes entering into our training programs for the following reasons:

1. Establish a baseline of current ability
2. Assign Customized Training
3. Establishment future Goals
4. Records and Monitors Progress

The Top Velocity evaluation is recommended every 2-4 weeks for those who select the Top Velocity membership. After the initial evaluation, each athlete and parent meets individually with a Team Member to review the results.

## ***3X/2X VELOCITY CAMP***





The 3X Pitching Velocity Programs and the 2X Position Player Programs were built to develop the healthily high velocity athlete. This is the premier offering and the program that has built the success of Top Velocity. Each player joining a membership will be provided the complete camp training with Certified Instructors in your affiliate location who will work directly with your athlete following Coach Brent via live remote broadcast from headquarters. This is the \$2997 program for the 2 day training and will be included in your Top Velocity Performance Center Membership at a discount.

## ***START RIGHT TRAINING***



The Start Right Training Program is provided for the 4 weeks following the attendance of the 3X/2X Velocity Camp to ensure proper proficiency in all med ball and throwing drills. Weekly training times provide the instruction needed to master these drills. For the Athletes who are not interested in the full commitment of the Membership, they have the option to begin training through the Start Right Intro Clinic which walks an athlete through the Beginner Drills over a 4-8 week program. After completing the intro clinic, athletes who qualify are invited to apply for membership with all its benefits.

## ***TOP VELOCITY ACADEMY***



After the player is properly onboarded into their training program they are provided their customized Top Velocity Training application on their phone for ease of instruction. Athletes are placed in training groups to follow their 5 day a week training program.

## ***REACH YOUR GOALS***

Start your customized training platform and study all materials to further your understanding of what it takes to be a professionally trained athlete. Re-evaluations should be performed every 2-4 weeks to establish your next level of training. Follow the program and reach your goals!

## ***WHY TOP VELOCITY GETS RESULTS!***

Start Building Your Baseball Franchise NOW!



## ***WHAT MAKES TOP VELOCITY DIFFERENT?***

### ***COMPLETE EVALUATION***

With the proprietary Top Velocity evaluation you have the best player evaluation system in the game. No matter what level you are currently we will make you better.

### ***EDUCATION***

We pride ourself on educating our athletes and providing scientific data to substantiate our findings. Top Velocity recommendations are not an opinion but are rather based on science to allow each athlete to follow a system that produces results as compared to the traditional anecdotal information provided by most coaches.

### ***MOBILITY TRAINING***

A cutting-edge mobility routine to unlock your bodies power production and reduce injury.

### ***DRILLS***

A proprietary medicine ball overload velocity training program in addition to a complete throwing program that significantly reduces injury.

### ***OLYMPIC LIFTING***



A Science built strength and conditioning program to optimize mass, power, and motor control to develop an explosive elite athlete.

## ***ANAEROBIC CONDITIONING***

To enhance high performance stamina and recovery.

## ***NUTRITION PROGRAM***

The purpose of this program is to educate the athlete regarding optimal nutrition as part of optimizing performance and remove misinformation currently on the market.

## ***PITCH DEVELOPMENT***

Once on the training program our athlete's have an opportunity to develop a more complete arsenal through advanced analysis of spin, pitch grip, and ball release techniques used by the Pro's.

## ***CUSTOMIZED PROGRAMS***

Each of our athletes will receive a customized training program following a complete biometric evaluation. Our proprietary evaluation and trademarked Artificial Intelligence program develops an exact roadmap for each athlete to reach elite metrics following their training program.

## ***OTHER WAYS TO START WITH TOP VELOCITY!***

### ***CLINICS***

Not all players are ready for our membership and training model. Clinics are a great way to get started and learn better techniques. Clinics offered are Throwing Velocity, Hitting Velocity, Catcher Sub 2.0, Weight Training, Speed & Agility, Arm Care, and Nutrition.

### ***START RIGHT INTRO CLINIC***

The Start Right Intro Clinic is a program designed primarily for the under 12 age group to introduce the Top Velocity methods to athletes covering a course format of 10 different training agendas focused on throwing and hitting skills development. This training will teach younger athletes proper mechanics and introduce advanced training methods in a class setting.

Following this training, athletes are eligible to select the Start Right Training Membership which provides up to 5 day a week training for the committed athlete.

## ***SEASONAL TRAINING***

For the multi-sport athlete, our seasonal training programs offer an instructor led program designed to fast-track an athlete through the Top Velocity methods. The programs include Off-Season, Pre-Season, and In-Season group instruction.

## ***HOLIDAY OR SUMMER PROGRAMS***

These programs are designed for fun and education. Each session includes instruction in Top Velocity methods and competitive games to keep your young athlete active during the school breaks.

## ***TEAM TRAINING***

The Team Training program is a special offering that provides a weekly scheduled workout program for teams looking for an edge. Each session provides a dynamic warm-up, TopV med ball drills, baseball drills, and finishes each session with speed & agility training. Teams are encouraged to use the batting cage prior to workouts to maximize their training time. Each athlete will receive periodic evaluations to establish a baseline and monitor development throughout the program.

## ***READY TO DOMINATE THE COMPETITION?***

*CLICK THE LINK BELOW TO GET STARTED TODAY!*

***SIGN UP***

Top Velocity Performance Centers, LLC

17588 Hard Hat Dr.

Covington, LA 70433

**CONNECT WITH US**



Sitemap

Terms

Return Policy

Accessibility

Home

About

Locations

Request Info

Contact Us

Customer Support ›

For more information on  
our products and services...





VILLAGE OF  
FRANKFORT  
INC • 1879

## Application for Plan Commission / Zoning Board of Appeals Review Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.

Yes, it will not. We have ample space on property and operations will be conducted in Building.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already provided, nor substantially diminish and impair property values within the neighborhood.

YES, it will not. We have ample space on property and operations will be conducted in Building

3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Yes, it will not. The streets are big and we will not have a lot of traffic.

4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

We will not have any change to exterior.



5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

Yes all utilities are adequate and current in infrastructure.

6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Yes we look forward to minimal traffic only pickup / drop off.

7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

This special use will be used according to Plan Commission recommendations and Village Board approval.



### Findings of Fact Commissioner Evaluation Form - Special Use Permit

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. No special use shall be recommended by the Plan Commission unless all the following findings are made.

	STANDARD	NOTES	MEETS	
a.	That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.		YES	NO
b.	That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.		YES	NO
c.	That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.		YES	NO
d.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.		YES	NO



e.	That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.		YES	NO
f.	That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.		YES	NO
g.	That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.		YES	NO