

**VILLAGE OF FRANKFORT – REGULAR MEETING
AGENDA**

**Monday, November 6, 2023
7:00 P.M.**

**Village Administration Building
Village Board Room
432 W. Nebraska Street, Frankfort, IL**

1. Call to Order & Roll Call
2. Pledge of Allegiance
3. Swearing-In Ceremony of Sergeant Mark Misek

4. Unanimous Consent Agenda

All items on the Consent Agenda are considered to be routine in nature and will be enacted in one motion. There will be no separate discussion of these items unless a board member so requests, in which event, the item will be removed from the Consent Agenda and will be considered separately.

Motion: *Motion to approve the Consent Agenda as presented.*

A. Approval of Minutes

1. Regular Meeting (October 16, 2023)

B. Approval of Bills

C. Committee of the Whole Report

1. 2024 Meeting and Holiday Calendar - Approval

D. Plan Commission Report Summary

1. Roma Sports Club: 9115 Roma Court

(Waive 1st and 2nd Readings)

- a. Special Use Permits for Indoor Recreation and Outdoor Recreation – Ordinance
- b. Three Points of Vehicular Access Variance and Landscaped Front Yard Setback Variance – Ordinance
- c. Roma 2 Resubdivision – Final Plat Approval

4. Prestwick Country Club Golf Cart Barn Replacement Multiple Zoning Variances:
601 Prestwick Drive – Ordinance (Waive 1st and 2nd Readings)

E. Approval of Executive Session Minutes and Destruction of Verbatim Recordings - Resolution

5. Mayor's Report
6. Board Comments
7. Other Business
8. Public Comments
9. Adjournment

Swearing-In Ceremony of Sergeant Mark Misek

It is my honor to swear in Mark Misek to the office of Police Sergeant for the Village of Frankfort. Mark graduated from Oak Forest High School and then obtained a Bachelor's Degree in Law Enforcement/Criminal Justice from Western Illinois University. He also obtained his Master's Degree in Public Administration from Governor's State University. He became a police officer with the Village of Frankfort in March of 1999. Throughout his career, Mark has performed specialty positions as an evidence technician, field training officer, and accident reconstructionist, while also serving as a senior patrol officer for over twenty years.

During his free time, Mark is employed as an adjunct instructor for Oakton College and Harper College, teaching a variety of law enforcement/criminal justice courses. He also values his time with his wife, Linda, and their two daughters.

Mayor Ogle administers the Oath of Office.

**I, (state your name)
do solemnly swear
that I will support the Constitution of the United States,
and the Constitution of the State of Illinois,
and that I will faithfully discharge the duties
of the office of Sergeant for the Village of Frankfort
to the best of my ability.**

VILLAGE OF
FRANKFORT
EST. 1855

**MINUTES OF THE REGULAR FRANKFORT VILLAGE BOARD MEETING
OCTOBER 16, 2023**

CALL TO ORDER & ROLL CALL

Mayor Keith Ogle called the regular meeting of the Frankfort Village Board to order on Monday, October 16, 2023, at 7:00 P.M., at the Village Administration Building, 432 W. Nebraska Street, Frankfort, Illinois.

Village Clerk Katie Schubert called the roll. In attendance were Mayor Keith Ogle, Clerk Katie Schubert, Trustees Michael Leddin, Maura Rigoni, Dan Rossi, and Gene Savaria. Also in attendance were Attorney Hannah Lamore, Village Administrator Rob Piscia, Assistant Administrator John Burica, and Police Chief Leanne Chelepis. Trustees Adam Borrelli and Jessica Petrow were absent.

PLEDGE OF ALLEGIANCE

Mayor Ogle led the Pledge of Allegiance to the Flag.

HICKORY CREEK MIDDLE SCHOOL GIRLS' SOFTBALL STATE CHAMPIONS - PROCLAMATION

Mayor Ogle entertained a motion from the floor to approve a Proclamation honoring the Hickory Creek Middle School Girls' Softball Team for their outstanding achievement in winning the 2023 Illinois Elementary School Association (IESA) 3A State Championship. This is the program's fourth IESA championship; the team won three in a row in 2015, 2016, and 2017 in Class 2A; and was runner-up at state for the last two years. This Tiger softball team outscored its quarterfinal, semifinal, and championship opponents by a combined 33-7 in the tournament. This hardworking team finished the season with a 24-2-0 record.

Trustee Savaria moved, seconded by Trustee Rossi, to approve the Proclamation recognizing the Hickory Creek Middle School Girls' Softball Team for their outstanding achievement in winning the 2023 IESA Class 3A State Tournament Championship. A voice vote was taken. All were in favor. The motion carried.

Mayor Ogle invited the coaches and the team to the podium. Coach Mitch Stein introduced Coach Erin Nemeth and each member of the girls' softball team. He thanked Hickory Creek staff members Athletic Director Taylor Boyle, Assistant Principal Tyler Sinclair, Assistant Principal Jason Crockett, Principal Tricia Dotson, and the parents for their support.

APPROVAL OF SPECIAL ORDERS – UNANIMOUS CONSENT AGENDA

All items on the Omnibus Agenda are considered to be routine in nature and are enacted in one motion. There is no separate discussion of these items unless a board member makes a request, in which event, the item will be removed from the Consent Agenda and will be considered separately.

A. Approval of Minutes

1. Public Hearing (October 2, 2023)
2. Regular Meeting (October 2, 2023)

B. Approval of Bills - \$598,528.44

C. Committee of the Whole Report

1. St. Francis Road Resurfacing Project

a. IDOT Resolution for Improvement Under the Illinois Highway Code – Approval

Accept the recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 23-32) AUTHORIZING THE EXECUTION OF THE IDOT RESOLUTION FOR IMPROVEMENT UNDER THE ILLINOIS HIGHWAY CODE AND HEREBY APPROPRIATES \$206,130.00, for the resurfacing of St. Francis Road from U.S. 45 (LaGrange Road) to 88th Avenue from the Village's allotment of Motor Fuel Tax funds.

b. IDOT Resolution for Joint Funding Agreement for Construction Work – Approval

Accept the recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 23-33) AUTHORIZING THE EXECUTION OF THE JOINT FUNDING AGREEMENT FOR CONSTRUCTION WORK BETWEEN THE VILLAGE OF FRANKFORT AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION, AND HEREBY APPROPRIATES MOTOR FUEL TAX FUNDS IN THE AMOUNT OF \$206,130.00, or as much as may be needed to match the required funding for the resurfacing of St. Francis Road from U.S. 45 (LaGrange Road) to 88th Avenue.

2. Engineering Services Agreement: Jackson Creek Lift Station Downstream Sanitary Sewer Capacity Analysis – Resolution

Accept the recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 23-34) AUTHORIZING THE EXECUTION OF AN AGREEMENT BETWEEN THE VILLAGE OF FRANKFORT AND ROBINSON ENGINEERING, LTD., for professional engineering and surveying services associated with the Jackson Creek Lift Station Downstream Sanitary Sewer Capacity Analysis, in an amount not to exceed \$115,000.00.

3. Engineering Services Agreement: Jackson Creek Force Main Inspection – Resolution

Accept the recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 23-35) AUTHORIZING THE EXECUTION OF AN ENGINEERING SERVICES AGREEMENT BETWEEN THE VILLAGE OF FRANKFORT AND ROBINSON

ENGINEERING, LTD., for the Jackson Creek Force Main Inspection Project, in an amount not to exceed \$47,014.00.

4. Construction of Well 18 with Water Treatment Plant: Bid Award - Resolution
Accept the recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 23-36) AUTHORIZING THE EXECUTION OF A CONTRACT BETWEEN THE VILLAGE OF FRANKFORT AND VISSERING CONSTRUCTION COMPANY, for the construction of Well 18 with Water Treatment Plant, in the amount of \$5,690,000.00, of which \$500,000.00 in ARPA grant funds will be appropriated.
5. Targeted Industry and Industrial Incentive Program (T3IP) New Construction Grant: 22445 S. Fey Drive - Resolution
Accept the recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 23-37) AUTHORIZING THE APPROVAL OF A TARGET INDUSTRY AND INDUSTRIAL INCENTIVE PROGRAM GRANT IN THE AMOUNT OF \$15,000.00 TO LARAWAY INVESTMENTS, LLC, for the construction of a new 15,000 square foot building at 22445 S. Fey Drive within the East Point Industrial Park.

D. Plan Commission Report Summary

1. Preliminary and Final Plat of Re-Subdivision of Lots 2 and 3 in Iron Gate Estates Subdivision – Approval
Accept the Plan Commission recommendation and approve the Preliminary and Final Plat of Re-Subdivision of Lots 2 and 3 in Iron Gate Estates Subdivision, prepared by DesignTek Engineering, Inc., dated 10.09.2023, in accordance with the reviewed plans and subject to staff approval of any necessary technical revisions prior to recording.
2. 4Ever Yoga and Pilates Special Use Permit for Indoor Recreation: 83 and 87 Bankview Drive – Ordinance (Waive 1st and 2nd Readings)
Accept the Plan Commission recommendation, waive the First and Second Readings, and pass AN ORDINANCE (NO. 3421) GRANTING A SPECIAL USE PERMIT FOR INDOOR RECREATION TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (4EVER YOGA AND PILATES - 83 AND 87 BANKVIEW DRIVE), to permit the operation of 4Ever Yoga and Pilates Studio, in accordance with the reviewed plans, public testimony, and Findings of Fact, and subject to the following conditions: 1) the applicant shall obtain a Frankfort business license; and 2) the business shall implement a minimum 15-minute break in between classes to accommodate parking space turnover.

Trustee Leddin moved, seconded by Trustee Rigoni, to approve the Unanimous Consent Agenda.

Following a motion to approve, Trustees Leddin, Rigoni, Rossi, and Savaria presented a brief overview of the consent agenda docket items under consideration for approval.

Prior to the vote, Trustee Rigoni stated that she will be abstaining from Consent Agenda Items C-2 and C-3, Professional Engineering Services Agreements with Robinson Engineering.

Clerk Schubert called the roll. Ayes: Trustees Leddin, Rigoni, Rossi, and Savaria. Nays: None. Abstain: Trustee Rigoni (Items C-2 and C-3); Absent: Trustees Borrelli and Petrow. The motion carried.

MAYOR'S REPORT

- Mayor Ogle expressed his pride in honoring the Hickory Creek Middle School (HCMS) Girls' Softball Team this evening, commending the dedication of the athletes and parents.
- Mayor Ogle reported the Village's Leaf Collection Program began today, October 16 and continues through November 27.
- Mayor Ogle invited the community to the second annual Scary at the Prairie 5K Costume Run & Spooky Sprint event in downtown Frankfort on Saturday, October 21, at 10:30 A.M. On-line registration is available at www.racerooster.com.
- Mayor Ogle encouraged the public to support the 13th Annual "Men Who Cook" fundraiser event on Saturday, October 21, from 6:00 P.M. to 9:00 P.M. at the J.J.C. Weitendorf Center in Joliet, noting proceeds will benefit the Will County Children's Advocacy Center.
- Mayor Ogle announced the Frankfort Police Department will host its annual "Safety Trunk or Treat" event on Saturday, October 28, from 10:00 A.M. to Noon in downtown Frankfort. The E.F. Bucko costume parade will kick off the event on Breidert Green at 10:00 A.M. followed by trunk-or-treating.
- Mayor Ogle reported the Frankfort Country Market will end its 2023 season on Sunday, October 29. He thanked the vendors, residents, and all the visitors for another successful season.
- Mayor Ogle announced "Trick or Treat" hours for the Village of Frankfort are 4:00 P.M. to 7:00 P.M. on Tuesday, October 31.
- Mayor Ogle expressed his heartfelt condolences on the passing of Silver Cross Hospital President and CEO, Ruth Colby. Ruth was a shining example of service over self and will be sorely missed.

BOARD COMMENTS

Clerk Schubert reported the next Village Board meeting is scheduled for Monday, November 6, at 7:00 P.M. and a Committee of the Whole meeting is scheduled for November 8, at 5:30 P.M.

The Village Board commended the Hickory Creek Middle School Girls' Softball Team for their outstanding season and capturing the state championship title.

Trustee Leddin wished everyone a fun and safe Halloween.

Trustee Savaria extended congratulations to Jim and Stacy Holland on completing the Great Loop.

Trustee Rigoni welcomed 4Ever Yoga and Pilates to Frankfort and as well as Laraway Investments, LLC.

Trustee Rossi encouraged residents to attend Frankfort Police Department's annual "Safety Trunk or Treat" Halloween event on Saturday, October 28.

OTHER BUSINESS

There were no other items of business for discussion.

PUBLIC COMMENT

No public comments were addressed to the Village Board.

ADJOURNMENT

Hearing no further business, Trustee Rigoni moved, seconded by Trustee Savaria, to adjourn the regular board meeting of Monday, October 16, 2023. A voice vote was taken. All were in favor. The motion carried. The meeting adjourned at 7:27 P.M.

Katie Schubert
Village Clerk

As Presented As Amended

Keith Ogle, Village President

Katie Schubert, Village Clerk

**SCHEDULE OF BILLS
NOVEMBER 6, 2023**

FUND RECAP:	DISBURSEMENTS
01 GENERAL CORPORATE FUND	\$ 279,622.86
31 CAPITAL DEVELOPMENT FUND	\$ 1,188,035.13
62 SEWER & WATER OPER. & MAINT.	\$ 183,632.16
68 SEWER & WATER EXTENSION FUND	<u>\$ 7,085.00</u>
TOTAL ALL FUNDS	<u><u>\$ 1,658,375.15</u></u>

Draft

The above totals exclude manual checks/credit cards if any. See last page(s) of this report.

INVOICE APPROVAL (BY INVOICE) FOR VILLAGE OF FRANKFORT

POST DATES 11/06/2023 - 11/06/2023

UNPOSTED
OPEN

Invoice Number	Bank Account	Description	Amount
001885 1ST AYD CORPORATION			
PSI646681	GEN	SILICONE	90.05
PSI646981	GEN	LAUNDRY DETERGENT- 524 CENTER	188.06
Total For: 1ST AYD CORPORATION			<u>278.11</u>
003930 AIRGAS USA LLC			
5502404935	GEN	SMALL CYLINDER RENTAL	177.22
Total For: AIRGAS USA LLC			<u>177.22</u>
002794 AIRY'S INC			
28311	GEN	SEWER TELEVISIONING- WMB	1,151.48
Total For: AIRY'S INC			<u>1,151.48</u>
003976 AIS			
84514	GEN	DATA ENDPOINT MANAGMENT SERVICES - NOV	1,098.76
84515	GEN	DATA BACKUP SERVICES - NOV	1,965.00
84648	GEN	ONSITE AND REMOTE SUPPORT - SEPTEMBER	1,615.00
84649	GEN	REMOTE SUPPORT - SEPTEMBER 2023	95.00
84662	GEN	CISCO SWITCH - 2024 CONTRACT	1,996.00
Total For: AIS			<u>6,769.76</u>
001577 ALEXANDER EQUIPMENT CO INC			
202206	GEN	FUEL GAUGE	144.75
Total For: ALEXANDER EQUIPMENT CO INC			<u>144.75</u>
001011 ALSIP NURSERY			
065459	GEN	FALL PLANTERS	3,000.00
37275	GEN	MUMS	54.56
Total For: ALSIP NURSERY			<u>3,054.56</u>
004774 ARAMARK UNIFORM & CAREER APPAREL GROUP INC			
6030213384	GEN	MATS @PD 10-13	42.43
6030214553	GEN	MATS @VH 10-18	50.46
6030214567	GEN	MATS @PD 10-18	42.43
6030216954	GEN	MATS @VH 10-25	50.46
6030216967	GEN	MATS @PD 10-25	42.43
Total For: ARAMARK UNIFORM & CAREER APPAREL GROUP INC			<u>228.21</u>
001706 AT&T			
815464591406 23/10-	GEN	ALARM LINE @VH	475.00
Total For: AT&T			<u>475.00</u>
CD REFUND AZIR & NUDYIA DZABIROSKI			
PIGP23-0016	GEN	BSP23-0027/23403 JACKSON BRANCH	1,000.00
Total For: AZIR & NUDYIA DZABIROSKI			<u>1,000.00</u>
004871 BALANCED BODY VET CLINIC			
142236	GEN	INJURED STRAY CAT - EUTHANIZED @ CLINIC	90.00
Total For: BALANCED BODY VET CLINIC			<u>90.00</u>
004803 BARNES & THORNBURG LLP			
3167734	GEN	CHLORIDE COMPLIANCE & PERMIT ASSISTANCE	2,799.00
Total For: BARNES & THORNBURG LLP			<u>2,799.00</u>
001651 BAXTER & WOODMAN INC			
0251592	GEN	NPDES COMPLIANCE ASSISTANCE	7,085.00
Total For: BAXTER & WOODMAN INC			<u>7,085.00</u>
004040 BERLAND'S HOUSE OF TOOLS			
4961 23/10-19	GEN	IMPACT GUN REPAIRS	35.99
Total For: BERLAND'S HOUSE OF TOOLS			<u>35.99</u>
002044 BILL'S LAWN MAINTENANCE AND			
194617	GEN	LOT MOWING 709 TANGLEWOOD 10/9/23	86.00
194618	GEN	LOT MOWING 560 LINDEN RD 10/9/23	100.00
194657	GEN	LOT MOWING 9350 LARAWAY RD 10/12/23	75.00
Total For: BILL'S LAWN MAINTENANCE AND			<u>261.00</u>
004775 BLACK LAGOON POND MANAGEMENT LLC			
33082	GEN	POND WEED AND ALGAE CONTROL	5,034.00
Total For: BLACK LAGOON POND MANAGEMENT LLC			<u>5,034.00</u>

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Invoice Number	Bank Account	Description	Amount
002727 BLUME/DONALD			
18-13-01-200-002/00	GEN	HARLEM ANNEXATION-2022 LEVY-TAX REBATE	1,036.28
Total For: BLUME/DONALD			1,036.28
004689 BS&A SOFTWARE			
150758	GEN	SRV FEES-ONLINE BLDG PRMT APPL 7/10-10/9/23	140.00
Total For: BS&A SOFTWARE			140.00
001952 CARROLL CONSTRUCTION SUPPLY			
FR117293	GEN	SAFETY GLASSES- MK	39.18
FR117294	GEN	HAND SPRAYER	46.93
FR117487	GEN	SPRAYER, SOLVENT	325.07
FR117488	GEN	SEALER	230.00
Total For: CARROLL CONSTRUCTION SUPPLY			641.18
001278 CHICAGO TRIBUNE			
7496734	GEN	83 AND 87 BANKVIEW DRIVE	40.50
7496737	GEN	700 IRON GATE COURT	34.50
7507594	GEN	ANNUAL TREASURER'S REPORT	882.00
7512825	GEN	PRESTWICK CC CART BARN VARIATIONS	46.50
7513659	GEN	165 INDUSTRY AVE UNIT 3	43.50
7513663	GEN	21420 S HARLEM AVE (THRIFT)	54.00
7515135	GEN	POLICE COMMISSION RULES & REGS	42.00
Total For: CHICAGO TRIBUNE			1,143.00
003098 CNG			
0924731	GEN	PHONE SUPPORT 11/1/23-4/29/24	1,787.13
Total For: CNG			1,787.13
003067 COMCAST CABLE			
8771201490042193231	GEN	20602 LW LN - INTERNET	135.91
8771201490046194231	GEN	432 W NEBRASKA-INTERNET	215.62
8771201490356437231	GEN	20538 LINCOLNWAY LN- RGNL	312.92
Total For: COMCAST CABLE			664.45
001013 COMMONWEALTH EDISON CO			
0210061037 23/10-12	GEN	STREETLIGHTS	5,396.44
0444146098 23/10-6	GEN	STREETLIGHTS	63.65
1553034022 23/10-05	GEN	1025 LAMBRECHT- BLDG	66.19
4359088050 23/10-5	GEN	460 OHIO- WPS	2,729.09
5043020207 23/10-05	GEN	23031 S 80TH- WELL 13/14	3,543.09
9097745017 23/10-11	GEN	2 SMITH ST	84.26
Total For: COMMONWEALTH EDISON CO			11,882.72
003041 CONSTELLATION NEW ENERGY INC			
707605-1 23/09-27	GEN	20538 LAGRANGE- RGNL	17,136.40
707605-12 23/10-04	GEN	422 SPRUCE- NPS	1,203.00
707605-14 23/09-27	GEN	9209 GULFSTREAM- INDUSTRY L/STN	53.24
707605-16 23/10-02	GEN	850 OVERLOOK L/STN	72.79
707605-18 23/10-02	GEN	IRONWOOD/CHARMAIN L/STN	75.49
707605-19 23/10-06	GEN	9194 GULFSTREAM- AIRPORT L/STN	56.35
707605-2 23/09-27	GEN	730 TANGLEWOOD- WELL 4	3,589.16
707605-21 23/10-11	GEN	429 NEBRASKA ST (POND)	530.33
707605-22 23/10-05	GEN	524 CENTER RD	1,052.06
707605-24 23/10-02	GEN	STONEBRIDGE/BASSWOOD L/STN	27.03
707605-25 23/10-25	GEN	234 BLACKTHORN- WELL 6	26.82
707605-5 23/09-27	GEN	1015 LAMBRECHT- WELL 5	608.45
707605-6 23/10-05	GEN	22801 WOLF RD- WELL 11/12	5,675.68
707605-8 23/09-27	GEN	1040 S BUTTERNUT CT- L/STN	71.03
707605-9 23/10-05	GEN	8847 LINCOLN HWY- WELL 10	3,618.20
Total For: CONSTELLATION NEW ENERGY INC			33,796.03
004398 CORE & MAIN LP			
T703624	GEN	(3) METER FLANGE SETS	282.00
T711403	GEN	(10) FLEXNETS	1,472.01
T717937	GEN	VALVE REPLACEMENT PARTS	2,227.53
T785076	GEN	NEW HYDRANT & PARTS- ILLINOIS ST	7,621.00
Total For: CORE & MAIN LP			11,602.54

INVOICE APPROVAL (BY INVOICE) FOR VILLAGE OF FRANKFORT

POST DATES 11/06/2023 - 11/06/2023

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OPEN

Invoice Number	Bank Account	Description	Amount
001129 CRAWFORD SUPPLY GROUP			
S1026494.001	GEN	PLUMBING SENSORS	460.78
S1079384.002	GEN	FAUCET	265.53
S1087224.001	GEN	SOLENOID	32.28
Total For: CRAWFORD SUPPLY GROUP			758.59
004725 CROWN TROPHY			
47074	GEN	SCARY AT THE PRAIRIE MEDALS/RIBBONS	212.22
Total For: CROWN TROPHY			212.22
004403 CURRENT TECHNOLOGIES CORP			
732766	GEN	CAMERA REPAIR	660.00
Total For: CURRENT TECHNOLOGIES CORP			660.00
CD REFUND DAVID JACKSON			
B229585	GEN	BPT23-0028/8612 HIGH STONE WAY	500.00
B229585	GEN	BLB23-0046/8612 HIGH STONE WAY	1,000.00
Total For: DAVID JACKSON			1,500.00
001848 E Z DUZ IT PRODUCTS INC			
10391	GEN	DISINFECTANT SPRY	96.00
Total For: E Z DUZ IT PRODUCTS INC			96.00
001172 EJ USA INC			
110230072581	GEN	SEWER GRATE	133.73
Total For: EJ USA INC			133.73
003819 EMPLOYEE BENEFITS CORPORATION			
4206667	GEN	BENEFITS CARD ADMINISTRATION - OCT 23	420.00
Total For: EMPLOYEE BENEFITS CORPORATION			420.00
004673 EUROFINS ENVIRONMENT TESTING			
5000125607	GEN	RGNL- SAMPLE TESTING	100.00
5000125673	GEN	RGNL- SAMPLE TESTING	235.50
5000125750	GEN	RGNL- SAMPLE TESTING	100.00
Total For: EUROFINS ENVIRONMENT TESTING			435.50
001865 EVON'S TROPHIES & AWARDS			
10/11/23	GEN	PROCLAMATION PLAQUES	150.00
Total For: EVON'S TROPHIES & AWARDS			150.00
004515 EVOQUA WATER TECHNOLOGIES LLC			
906140327	GEN	BLADE REPLACEMENT- CLARIFIERS	1,278.20
Total For: EVOQUA WATER TECHNOLOGIES LLC			1,278.20
001981 EXCEL ELECTRIC INC			
128450	GEN	STREETLIGHT REPAIR	1,632.58
128487	GEN	NEW STREETLIGHT @LAKEVIEW EST SOUTH	7,938.00
128488	GEN	STREETLIGHT REPAIR	255.73
128520	GEN	STREETLIGHT REPAIR @PD	318.00
128529	GEN	STREETLIGHT REPAIR - MARKET STREET	2,365.75
128530	GEN	STREETLIGHT MAINT	480.00
128531	GEN	STREETLIGHT MAINTENANCE	983.37
Total For: EXCEL ELECTRIC INC			13,973.43
004502 FE MORAN INC			
001-302311277	GEN	FIRE SUPPRESSION SYSTEM MAINTENANCE @VH	3,820.00
Total For: FE MORAN INC			3,820.00
002714 FRANKFORT SCHOOL DIST. 157C			
2023/11 X-GUARDS	GEN	2 CROSSING GUARDS-NOV 2023	270.00
Total For: FRANKFORT SCHOOL DIST. 157C			270.00
002364 FREEDOM FIRST AID & SAFETY INC			
50807	GEN	ASPRIN, BANDAGES, LENS WIPES	61.00
51051	GEN	BIOFREEZE, LENS CLEAN WIPES, IBUPROFEN	76.25
Total For: FREEDOM FIRST AID & SAFETY INC			137.25
003392 G COOPER OIL COMPANY INC			
90037184	GEN	GREASE, COOLANT	1,048.92
Total For: G COOPER OIL COMPANY INC			1,048.92

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Invoice Number	Bank Account	Description	Amount
001091 GALLAGHER MATERIALS CORP			
31279	GEN	COLD PATCH	555.00
Total For: GALLAGHER MATERIALS CORP			555.00
001844 GALLS LLC			
025807117	GEN	#318 POLO / #319 PANTS	161.38
025864702	GEN	UNIFORM PANTS - #330	157.24
025877474	GEN	UNIFORM PANTS - #330	78.63
Total For: GALLS LLC			397.25
001446 GASVODA & ASSOCIATES, INC.			
INV23MSR0134CHF	GEN	CHLORINATION EQUIPMENT PARTS- WELLS	642.75
INV23MSR0135CHF	GEN	CHLORINATION EQUIPMENT ACCESSORIES	6,780.00
INV23MSR0145CHF	GEN	PUMP REPAIRS- WELLS	425.75
Total For: GASVODA & ASSOCIATES, INC.			7,848.50
004018 GEMPLER'S			
INV0004566629	GEN	WORK PANTS- RM, VC, LE	212.45
INV0004566894	GEN	WORK PANTS- LE	42.49
Total For: GEMPLER'S			254.94
UB REFUND GNC LLC 3			
207-1194-00-05	GEN	UB REFUND FOR ACCOUNT: 207-1194-00-05	38.31
Total For: GNC LLC 3			38.31
001401 GORDON ELECTRIC SUPPLY INC			
S2682986.001	GEN	BULBS, FUSES	418.09
S2683001.001	GEN	BULBS	386.91
S2683001.002	GEN	BULBS	567.35
Total For: GORDON ELECTRIC SUPPLY INC			1,372.35
004868 GRAEFEN DEVELOPMENT			
101723	GEN	T3IPNEW CONST GRANT 22445 S FEY DR	15,000.00
Total For: GRAEFEN DEVELOPMENT			15,000.00
002780 GREEN GLEN NURSERY INC			
79823	GEN	REPLACEMENT TREES	4,845.00
79870	GEN	REPLACEMENT PARKWAY TREES	3,560.00
79928	GEN	REPLACEMENT TREE	270.00
80110	GEN	MAPLE TREE- RGNL	240.00
Total For: GREEN GLEN NURSERY INC			8,915.00
003429 HAWKINS INC			
6552082	GEN	SURCHARGES- WELLS	480.00
6582039	GEN	CHLORINE & HSA- WELLS	4,370.34
6603140	GEN	SURCHARGE- WELLS	580.00
6604701	GEN	SURCHARGE- WELLS	58.50
6609447	GEN	CHLORINE & HSA- WELLS	2,802.30
Total For: HAWKINS INC			8,291.14
001120 HERITAGE FS INC			
35014637	GEN	DIESEL	3,148.82
35014777	GEN	DIESEL	2,165.52
Total For: HERITAGE FS INC			5,314.34
002851 HOME DEPOT CREDIT SERVICES			
0970980	GEN	EXPANDING FOAM, PAINT	52.36
4971529	GEN	GRABBER TOOL	39.94
4971530	GEN	PLYWOOD, PAINT, STAIN	198.42
5970847	GEN	CEDAR BOARD @PLAYGROUND	19.24
Total For: HOME DEPOT CREDIT SERVICES			309.96
003004 ID NETWORKS			
281476	GEN	2023-2024 ANNUAL CONTRACT	4,413.00
Total For: ID NETWORKS			4,413.00
004254 IL OFFICE OF ATTORNEY GENERAL			
SOR 10-27-23	GEN	SOR	30.00
Total For: IL OFFICE OF ATTORNEY GENERAL			30.00
004255 IL STATE POLICE-OFC OF FINANCE			
SOR 10-27-23	GEN	SOR	30.00
Total For: IL STATE POLICE-OFC OF FINANCE			30.00

INVOICE APPROVAL (BY INVOICE) FOR VILLAGE OF FRANKFORT

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Invoice Number	Bank Account	Description	Amount
004069 ILLINOIS STATE POLICE			
23 MX 1990 23-0931	GEN	FPD NO. 23-0931 SEIZURE-VEHICLE	1,600.00
Total For: ILLINOIS STATE POLICE			<u>1,600.00</u>
002493 INDUSTRIAL ORGANIZATIONAL			
C58226A	GEN	POLICE CANDIDATE PSYCHOLOGICAL EVAL - T.W. SMITH	575.00
Total For: INDUSTRIAL ORGANIZATIONAL			<u>575.00</u>
004584 ISOLVED BENEFIT SERVICES			
I132088551	GEN	COBRA MANAGEMENT - DEC 2023	51.45
Total For: ISOLVED BENEFIT SERVICES			<u>51.45</u>
001083 J C M UNIFORMS INC			
798520	GEN	CADET UNIFORM - ADDISON MCCRARY	50.90
Total For: J C M UNIFORMS INC			<u>50.90</u>
004288 JEWEL			
00725989	GEN	CEDARHURST POKER RUN	12.18
Total For: JEWEL			<u>12.18</u>
002224 JEWEL			
00431309	GEN	EMPLOYEE LUNCHEON	55.40
00669597	GEN	SCARY AT THE PRAIRIE FOOD/DRINK	143.37
00722282	GEN	DONUTS FOR SCARY AT THE PRAIRIE	179.64
00803452	GEN	SCARY AT THE PRAIRIE DRINKS/FOOD	201.84
Total For: JEWEL			<u>580.25</u>
004454 JOHNSON CONTROLS SECURITY SOL			
39406257	GEN	ALARM LINE @CHAMBER	148.50
Total For: JOHNSON CONTROLS SECURITY SOL			<u>148.50</u>
004793 KERNEL SWEETOOTH			
1222	GEN	HOT CHOCOLATE WINTER EVENTS 12/22-3/23	644.00
Total For: KERNEL SWEETOOTH			<u>644.00</u>
CD REFUND KIMBERLY GROEN			
B229927	GEN	BPT23-0027/22853 MUNICH CT	500.00
B229927	GEN	BLB23-0045/22853 MUNICH CT	1,000.00
Total For: KIMBERLY GROEN			<u>1,500.00</u>
003703 KRUGER INC			
23001159RI005700	GEN	FILTER PANELS- RGNL	5,742.81
Total For: KRUGER INC			<u>5,742.81</u>
004136 LANDSCAPE SUPPLY INC			
2023-140	GEN	SIDEWALK REPAIR @MISTY FALLS DR	462.50
2023-141	GEN	SIDEWALK REPAIR @PORT WELLER CT	525.00
2023-142	GEN	SIDEWALK REPAIR @FLAGSTONE TURN	2,450.00
2023-143	GEN	SIDEWALK REPAIR @MARY DR	962.50
2023-144	GEN	SIDEWALK REPAIR @SIENNA DR	2,450.00
2023-152	GEN	CULVERT REPLACEMENT @ILLINOIS RD	1,660.00
2023-453	GEN	864 ST. ANDREWS WAY- LANDS REST	2,136.00
2023-454	GEN	882 ST. ANDREWS WAY- LANDS REST	444.75
2023-455	GEN	884 ST. ANDREWS WAY- LANDS REST	432.00
2023-456	GEN	885 ST. ANDREWS WAY- LANDS REST	636.00
2023-457	GEN	ST.ANDREWS WAY-LANDS REST	177.00
2023-458	GEN	741 SPRUCE- LANDS REST	252.00
2023-459	GEN	716 TANGLEWOOD- SIDEWALK REST	870.00
2023-460	GEN	328 COLORADO- SIDEWALK REST	1,870.00
2023-461	GEN	OAKWOOD & WOODS-CURB & GTR REST	1,350.00
2023-462	GEN	7636 BENTON- LANDS REST	96.00
2023-463	GEN	427 MICHIGAN- PATCH REST	1,320.00
2023-464	GEN	427 MICHIGAN- PATCH REST	770.00
2023-465	GEN	407 ILLINOIS- PATCH REST	880.00
2023-466	GEN	HOLLY & MEADOW- REST	110.00
2023-467	GEN	WOODS & OAKWOOD- REST	2,970.00
2023-468	GEN	7704 RIVERTON- C&G REST	1,850.00
2023-469	GEN	725 TANGLEWOOD- SW REST	2,646.50
2023-470	GEN	716 TANGLEWOOD LN-LANDS REST	720.00
2023-471	GEN	725 TANGLEWOOD- LANDS REST	624.00
Total For: LANDSCAPE SUPPLY INC			<u>28,664.25</u>

INVOICE APPROVAL (BY INVOICE) FOR VILLAGE OF FRANKFORT

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Invoice Number	Bank Account	Description	Amount
004518 LOCAL PRINTING & DESIGN			
14092	GEN	XL SHIRTS FOR SCARY AT THE PRAIRIE	315.00
14095	GEN	DECAL STICKERS	126.44
Total For: LOCAL PRINTING & DESIGN			441.44
004048 M COOPER SUPPLY CO			
160224	GEN	SUMP PUMP @GRAINERY	278.43
Total For: M COOPER SUPPLY CO			278.43
002020 M.E. SIMPSON CO INC			
41065	GEN	LEAK LOCATES	1,125.00
41118	GEN	LEAK LOCATES	645.00
Total For: M.E. SIMPSON CO INC			1,770.00
001106 MACE IRON WORKS, INC.			
81558	GEN	METAL	27.00
Total For: MACE IRON WORKS, INC.			27.00
000252 MAROSS/RUBIN			
102323 DL	GEN	CDL RENEWAL- RM	50.00
Total For: MAROSS/RUBIN			50.00
001024 MASTER AUTOMOTIVE SUPPLY			
15030-135894	GEN	BRAKE PADS & ROTORS- U-6	387.00
15030-135896	GEN	OIL FILTERS, BULBS	226.52
15030-135906	GEN	BRAKE PADS, ROTORS	732.61
15030-135988	GEN	BRAKE PADS, ROTOR	641.92
15030-136063	GEN	BRAKE CALIPER CORE RETURN	(220.00)
15030-136088	GEN	CABIN FILTER, ELEMENT	90.00
15030-136192	GEN	ADHESIVE STEEL WEIGHT, VALVE	139.69
15030-136193	GEN	FUEL/WATER SEPARATOR	56.71
15030-136195	GEN	AIR GAUGE	15.99
Total For: MASTER AUTOMOTIVE SUPPLY			2,070.44
001969 MATTHUIS TRUCKING INC			
3351	GEN	22.37 TONS CA-7 & 7 LDS DIRT OUT	2,021.85
3369	GEN	90.43 TONS CA-07	1,062.55
Total For: MATTHUIS TRUCKING INC			3,084.40
MISC MAXWELL & REGINA KONIGBAGBE			
B228996	GEN	8510 STONE CREEK LAND/TREE DEPOSIT RETURN	1,500.00
Total For: MAXWELL & REGINA KONIGBAGBE			1,500.00
001343 MEADE ELECTRIC COMPANY INC			
706190	GEN	TRAFFIC SIGNAL MAINTENANCE-LARAWAY	825.04
706452	GEN	TRAF SIGNAL REPAIR-80TH/LARAWAY 9/20	3,101.60
Total For: MEADE ELECTRIC COMPANY INC			3,926.64
002212 MIDDLETON OVERHEAD DOORS			
WO-9157	GEN	DOOR REPAIRS- 524 CENTER RD	546.60
Total For: MIDDLETON OVERHEAD DOORS			546.60
004137 MITCHELL 1			
29971276	GEN	SHOPKEY	1,788.00
Total For: MITCHELL 1			1,788.00
001050 NICOR GAS			
02281548525 23/10-1	GEN	22801 WOLF RD- WELL 11/12	114.08
08567910008 23/10-1	GEN	8847 LINCOLN HWY- WELL 10	49.30
42177014190 23/10-1	GEN	524 CENTER RD	204.83
56723949717 23/10-1	GEN	20538 LAGRANGE- RGNL	675.66
61691220000 23/10-2	GEN	460 OHIO- WPS	190.30
64425289374 23/10-9	GEN	2 N WHITE ST	162.74
64669780781 23/10-1	GEN	422 SPRUCE- NPS	173.81
83651240448 23/10-1	GEN	601 PRESTWICK- WELL 17	165.07
92252770240 23/10-1	GEN	23031 S 80TH- WELLS 13/14	174.63
92388243583 23/10-1	GEN	2 SMITH ST	52.60
Total For: NICOR GAS			1,963.02
004818 NUISANCE WILDLIFE CONTROL INC			
2023-64	GEN	TRAPPING @ LIGHTHOUSE POINT DETENTION POND	2,500.00
Total For: NUISANCE WILDLIFE CONTROL INC			2,500.00

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Invoice Number	Bank Account	Description	Amount
001026 NU-WAY DISPOSAL SERVICE, INC.			
2023/11 INV#8567757	GEN	6840 GARBAGE/RECYCLING SERV-OCTOBER 2023	148,285.95
Total For: NU-WAY DISPOSAL SERVICE, INC.			148,285.95
004277 OAK LAWN BLACKTOP PAVING CO			
1042301	GEN	SHOOTING RANGE PARKING LOT REPAVING	35,000.00
Total For: OAK LAWN BLACKTOP PAVING CO			35,000.00
001373 ORKIN PEST CONTROL			
251999812	GEN	GRAINERY 10-10	81.99
Total For: ORKIN PEST CONTROL			81.99
001344 P.T. FERRO CONSTRUCTION CO.			
47734	GEN	2023 ROADWAY MAINTENANCE PROGRAM PAYMENT#3	1,100,678.40
Total For: P.T. FERRO CONSTRUCTION CO.			1,100,678.40
004416 PARK HARDWARE #16759			
009295	GEN	TOILET SUPPLY LINE	17.98
009297	GEN	CONNECTOR, ALL PURPOSE CLEANER	27.57
009300	GEN	WD40, TRASH BAGS	14.58
009324	GEN	GRAB HOOK, RAKE	53.94
009334/3	GEN	REPAIR PARTS- WELL 15/16	84.54
009337/3	GEN	BATTERY- WELDING MASK	7.59
009338/3	GEN	RETURN- REPAIR PARTS WELL 15/16	(55.56)
009339/3	GEN	REPAIR PARTS- WELL 15/16	51.16
009356	GEN	STEEL STRIP	25.98
009357/3	GEN	PVC ADAPTER & OPER SUPPLIES	38.57
009365/3	GEN	HARDWARE- WELLS	19.18
009375	GEN	MOUSE TRAPS	9.98
009376/3	GEN	GALVANIZED NIPPLES	29.57
009380/3	GEN	ACRYLIC SHEET-WELL 15/16	15.99
009382/3	GEN	PUMP- WPS	240.00
009388	GEN	BATTERY, WIPING CLOTHS	23.97
009432	GEN	BATTERIES, DUSTER	26.98
009436	GEN	SAW HOLE	13.99
9333/3	GEN	TAPE FOR SCARY AT THE PRAIRIE SIGNS	15.98
9368/3	GEN	CABLE TIES FOR SCARY AT THE PRAIRIE	5.99
Total For: PARK HARDWARE #16759			667.98
001010 PETTY CASH			
23/11-2177	GEN	PETTY CASH	122.63
23/11-9435	GEN	PETTY CASH	73.16
Total For: PETTY CASH			195.79
004870 PHOENIX FIRE SYSTEMS, INC			
310478	GEN	FIRE ALARM SERVICE- RGNL	1,377.63
Total For: PHOENIX FIRE SYSTEMS, INC			1,377.63
001875 PLAZA CLEANERS			
1001167-09-01-2023	GEN	SEPTEMBER 2023 CLEANINGS	317.50
Total For: PLAZA CLEANERS			317.50
002898 POMP'S TIRE SERVICE INC			
411064611	GEN	TIRES ST-49	972.04
411065282	GEN	TIRES- U-12	775.12
411066554	GEN	TIRES DS-2	1,053.12
Total For: POMP'S TIRE SERVICE INC			2,800.28
004869 PORTER LEE CORPORATION			
29252	GEN	BEAST INSTALLATION	11,587.45
Total For: PORTER LEE CORPORATION			11,587.45
003640 PRECISE TREE CARE			
269843	GEN	STUMP REMOVAL	225.00
270214	GEN	TREE REMOVAL @CHESTNUT DR	1,600.00
Total For: PRECISE TREE CARE			1,825.00

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Invoice Number	Bank Account	Description	Amount
002480 PROVEN BUSINESS SYSTEMS			
1099603	GEN	TOSH/ESTUDIO6570CT CLICK CHG 7/23-10/22/23	111.70
1099605	GEN	23 CONTRACT COPY OVERAGE	114.18
1103165	GEN	XEROX/C8145/H2	66.19
1103294	GEN	ANNUAL CONTRACT - TOSHIBA/ESTUDIO4 OCT. 2023-OCT 2024	849.48
1104820	GEN	CANON/DX527IFZ CLICK CHG 9/30-10/30/23	73.18
Total For: PROVEN BUSINESS SYSTEMS			1,214.73
002840 RACE TIME INC			
U1021	GEN	SCARY AT THE PRAIRIE TIMING	1,057.96
Total For: RACE TIME INC			1,057.96
004266 RAMIRO GUZMAN LANDSCAPING INC			
08846	GEN	MOWING	11,674.32
Total For: RAMIRO GUZMAN LANDSCAPING INC			11,674.32
001085 RAY O'HERRON CO., INC.			
2301703	GEN	UNIFORM VEST - JAYCOX	630.00
Total For: RAY O'HERRON CO., INC.			630.00
004412 RED WING SHOES			
20231024007865	GEN	SAFETY WORK BOOTS- RM	175.00
20231027007865	GEN	SAFETY WORK BOOTS- MM	175.00
Total For: RED WING SHOES			350.00
001940 ROBINSON ENGINEERING LTD			
23090258	GEN	SURYA SOLAR FARM	663.75
Total For: ROBINSON ENGINEERING LTD			663.75
004106 RUSH TRUCK CENTERS OF IL INC			
3034275113	GEN	DASH LIGHTS	209.00
3034559441	GEN	VALVE	101.80
3034616121	GEN	INTAKE GRID, HEATER KIT	243.02
3034644924	GEN	PUMP ASSEMBLY	1,184.04
Total For: RUSH TRUCK CENTERS OF IL INC			1,737.86
005003 RUSSO'S POWER EQUIPMENT INC			
SPI20426140	GEN	BACKPACK BLOWER	619.99
SPI20426191	GEN	PUMP- WATER VAULTS	638.97
SPI20430543	GEN	SAFETY GLOVES	27.99
Total For: RUSSO'S POWER EQUIPMENT INC			1,286.95
002266 S & S MECHANICAL SERV-ATCO			
15232	GEN	DEHUMIDIFIER SERVICE- WELL 13/14	195.00
15271	GEN	WELL 4- HVAC COMPRESSOR RPLMT & MNTC	6,114.36
15332	GEN	CAPACITATOR RPLMT- HVAC RGNL	135.61
15333	GEN	RPLMT MOUNTS- EXHAUST FAN RGNL	1,275.69
15354	GEN	WELL 17- HVAC MAINTENANCE	390.00
15361	GEN	WELL 10- HVAC MAINTENANCE	585.00
15362	GEN	FURNACE INDUCER MOTOR INSTALL @PD	1,034.15
15363	GEN	WELL 15/16- HVAC MAINTENANCE	520.00
15364	GEN	WELL 5- HVAC MAINTENANCE	450.00
15381	GEN	WELL 11/12- HVAC MAINTENANCE	390.00
15385	GEN	WELL 4- RPLMT EVAP COIL & FREON	3,570.00
15386	GEN	WELL 4- HVAC SERVICE	3,442.30
15388	GEN	WELL 4- HVAC MAINTENANCE	520.00
15401	GEN	FURNACE INSTALL @123 KANSAS	6,295.00
15427	GEN	THERMO & CAPACITATOR RPLMT- HVAC RGNL	716.56
15438	GEN	HVAC SERVICE- RGNL	195.00
15443	GEN	RGNL- HVAC MAINTENANCE	3,950.00
Total For: S & S MECHANICAL SERV-ATCO			29,778.67
002366 SASE COMPANY INC			
CR17625	GEN	RETURN POWER CORD	(17.92)
INV330261	GEN	CONCRETE GRINDER DRUMS	1,374.93
Total For: SASE COMPANY INC			1,357.01
MISC SHIRREN NASSAR & NADER SHALABI			
B229371	GEN	23055 DEVONSHIRE LN LAND/TREE BOND DEPOSIT RETURN	1,500.00
Total For: SHIRREN NASSAR & NADER SHALABI			1,500.00

INVOICE APPROVAL (BY INVOICE) FOR VILLAGE OF FRANKFORT

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004257 SITEONE LANDSCAPE SUPPLY INC			
132660890-001	GEN	RUST STAIN REMOVER, COUPLING	87.10
Total For: SITEONE LANDSCAPE SUPPLY INC			<u>87.10</u>
004606 SOLENIS LLC			
132472583	GEN	POLYMER- RGNL	13,941.44
Total For: SOLENIS LLC			<u>13,941.44</u>
004802 SPARKLES ENTERTAINMENT INC			
113023	GEN	BUDDY CHARACTER FOR LIGHTING OF THE GREEN	550.00
Total For: SPARKLES ENTERTAINMENT INC			<u>550.00</u>
004815 STANTEC CONSULTING SERVICES INC			
2143038	GEN	PRAIRIE PARK MANAGEMENT	9,460.87
Total For: STANTEC CONSULTING SERVICES INC			<u>9,460.87</u>
002912 STAPLES ADVANTAGE			
8071927448	GEN	PAPER/FILE FOLDERS/SHIPPING TAPE	143.50
8071961019	GEN	OFFICE SUPPLIES	149.15
8072001854	GEN	USB'S/MOUSE PAD/CALENDARS	129.51
8072035700	GEN	OFFICE SUPPLIES	133.33
8072120955	GEN	OFFICE SUPPLIES	254.77
Total For: STAPLES ADVANTAGE			<u>810.26</u>
CD REFUND TEODORO IRWIN C			
PIGP23-0020	GEN	BSP23-0031/375 BUTTERNUT TRL	1,000.00
Total For: TEODORO IRWIN C			<u>1,000.00</u>
001630 TERMINAL SUPPLY CO.			
50709	GEN	SCREWS, CONNECTORS, PINS	381.86
Total For: TERMINAL SUPPLY CO.			<u>381.86</u>
004256 TREASURER OF STATE OF ILLINOIS			
SOR 10-27-23	GEN	SOR	5.00
Total For: TREASURER OF STATE OF ILLINOIS			<u>5.00</u>
002852 TRI-STATE CUT STONE & BRICK CO			
SI0080185	GEN	SEALER FOR PILLARS/HCP	415.00
Total For: TRI-STATE CUT STONE & BRICK CO			<u>415.00</u>
001931 TRUGREEN LIMITED PARTNERSHIP			
180676846	GEN	FERTILIZATION @VH POND	162.00
182755057	GEN	FERTILIZATION DETENTION POND @ABBAY DR 9-7	70.00
183390570	GEN	AERATION & SEEDING @ABBAY DR	220.00
184062743	GEN	FERTILIZATION	9,325.47
184450457	GEN	FERTILIZATION @ABBAY DR 10-9	70.00
Total For: TRUGREEN LIMITED PARTNERSHIP			<u>9,847.47</u>
001756 USA BLUE BOOK			
INV00160032	GEN	RGNL- LAB SUPPLIES	853.56
INV00161065	GEN	HYDRANT DIFFUSER	550.26
INV00162016	GEN	HYDRANT DIFFUSERS (2)	919.12
Total For: USA BLUE BOOK			<u>2,322.94</u>
004448 VCNA PRAIRIE LLC			
891226410	GEN	22.37 TONS CA-7	291.92
891250846	GEN	45.30 TONS CA-07	591.17
891252745	GEN	45.13 TONS CA-07	588.94
891258231	GEN	ROADMIX	182.94
Total For: VCNA PRAIRIE LLC			<u>1,654.97</u>
001345 VERIZON WIRELESS			
9946787102	GEN	IWIN/CELLPHONE CHARGES-OCTOBER	882.27
Total For: VERIZON WIRELESS			<u>882.27</u>
001827 WATER SOLUTIONS UNLIMITED INC			
118589	GEN	CHLORINE & PHOSPHATE- WELLS	13,798.00
Total For: WATER SOLUTIONS UNLIMITED INC			<u>13,798.00</u>
004706 WEX BANK			
92610381	GEN	GASOLINE-OCTOBER	9,988.21
Total For: WEX BANK			<u>9,988.21</u>

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Invoice Number	Bank Account	Description	Amount
002298 WHOLESAL DIRECT INC 000265601	GEN	WINTER BLADES	248.79
Total For: WHOLESAL DIRECT INC			248.79
001247 WILL COUNTY GOVERNMENTAL LEAG 2023-1250	GEN	EMPLOYEE ASSISTANCE PROGRAM FEES - 4TH QTR	611.10
Total For: WILL COUNTY GOVERNMENTAL LEAG			611.10
004317 XYLEM WATER SOLUTIONS USA INC 3556C93559	GEN	PUMP- RGNL	9,844.30
Total For: XYLEM WATER SOLUTIONS USA INC			9,844.30
Report Total:			1,658,375.15
FUND TOTALS:			
01 GENERAL CORPORATE FUND		279,622.86	
31 CAPITAL DEVELOPMENT FUND		1,188,035.13	
62 SEWER & WATER OPER. & MAINT.		183,632.16	
68 SEWER & WATER EXTENSION FUND		7,085.00	
PAYMENT TYPE TOTALS:			
ACH Transaction		148,285.95	
Paper Check		1,510,089.20	

Draft

November 6, 2023

Unanimous Consent Agenda

C. COMMITTEE OF THE WHOLE REPORT

1. 2024 MEETING AND HOLIDAY CALENDAR – APPROVAL (*Presenter: Trustee Leddin*)

The Village of Frankfort is required to publish a schedule of regular meetings at the beginning of each calendar year and state the dates, times, and places of such meetings. If not published otherwise, the first and third Monday of each month commencing at 7:00 P.M. is designated as the regular time for the meetings of the Village Board, except on certain holidays and the meeting is scheduled for Tuesday after that holiday; the second Wednesday of each month commencing at 5:30 P.M. is designated as the regular time for Committee Night; the second and fourth Thursday of each month commencing at 6:30 P.M. is designated as the regular time for the meetings of the Plan Commission/Zoning Board of Appeals; and the third Wednesday of each month commencing at 5:30 P.M. is designated as the regular time for the Historic Preservation Commission. All meetings are held at the Village Administration Building, 432 W. Nebraska Street.

At its October 11, 2023 meeting, the Committee of the Whole reviewed the proposed Village of Frankfort Meeting and Holiday Calendar for the upcoming year. It was the consensus of the Committee to forward a recommendation to the Village Board to schedule a single Village Board meeting in January (January 16); shift the Plan Commission meeting dates in March from the second and fourth Thursday to the first and third Thursday; and move the regular Village Board meeting dates in April from the first and third Monday to the second and fourth Monday.

Motion: *Accept the recommendation of the Committee of the Whole and approve the 2024 Village of Frankfort Meeting and Holiday Calendar as presented.*

2024

VILLAGE OF FRANKFORT

MEETING AND HOLIDAY CALENDAR

January						
S	M	T	W	T	F	S
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

February						
S	M	T	W	T	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29		

March						
S	M	T	W	T	F	S
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

April						
S	M	T	W	T	F	S
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30				

May						
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June						
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July						
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August						
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25	26	27	28	29	30	31

September						
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29	30					

October						
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November						
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December						
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29	30	31				

- Village Board
- Committee Night
- Historic Preservation Commission
- Plan Commission/Zoning Board of Appeals
- Holiday

Regular meetings of the Village Board commence at 7:00 P.M. on the above-designated published dates; the second Wednesday of each month commencing at 5:30 P.M. is designated as the regular time for Committee Night; the Plan Commission/Zoning Board of Appeals commence at 6:30 P.M. on the above-designated published dates; the third Wednesday of each month commencing at 5:30 P.M. is designated as the regular time for the Historic Preservation Commission; the Police Pension Board holds regular quarterly meetings in January, April, July, and October and special meetings as called by the Pension Board President; and the Board of Fire and Police Commissioners meet on an as needed basis. All meetings are held at the Village Administration Building, 432 W. Nebraska Street, Frankfort, Illinois 60423. Additional information can be found at www.frankfortil.org.

D. PLAN COMMISSION REPORT SUMMARY

1. ROMA SPORTS CLUB: 9115 ROMA COURT (*Presenter: Trustee Savaria*)

Applicant Steve Rotondi proposes to construct a 20,800 square foot addition onto the existing Roma Sports Club building to provide more indoor recreation space. The applicant also proposes a parking lot expansion (adding 117 spaces) and consolidating Lot 1 of the Roma Resubdivision with Lots 16-18 of the East Point Park Subdivision. To accommodate the proposed improvements, the applicant requests the granting of the following:

- *Special Use Permit for Indoor Recreation*
- *Special Use Permit for Outdoor Recreation Over 1 Acre*
- *Three Points of Vehicular Access Variance*
- *Landscaped Front Yard Setback Variance from 20' to 15.2'*
- *Final Plat Approval*

At the October 12, 2023 public hearing on the project, the Plan Commission forwarded five unanimous (7-0) recommendations to the Village Board to grant the requests.

Motion: *Accept the recommendation of the Plan Commission, waive the First and Second Readings, and pass an Ordinance granting a Special Use Permit for indoor recreation for a health/fitness facility and a Special Use Permit for outdoor recreation over 1 acre for two outdoor soccer fields to accommodate the operation of Roma Sports Club on Lot 1 of the Roma 2 Resubdivision, 9115 Roma Court, in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned upon final engineering approval.*

Motion: *Accept the recommendation of the Plan Commission, waive the First and Second Readings, and pass an Ordinance granting a variance to permit three points of vehicular access to Roma Court for a lot with more than 200 feet of road frontage and a variance of the landscaped front yard setback requirement from 20 feet to 15 feet, 2 inches, to accommodate construction of a 20,800 square foot building addition and parking lot expansion for Roma Sports Club on Lot 1 of Roma 2 Resubdivision, 9115 Roma Court, in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned upon final engineering approval.*

Motion: *Accept the Plan Commission recommendation and approve the final plat of Roma 2 Resubdivision, consolidating Lot 1 of Roma Resubdivision with Lots 16-18 of East Point Park Subdivision to create a single Lot 1 of Roma 2 Resubdivision, prepared by Associated Surveying Group, LLC, dated 09.01.23, in accordance with the reviewed plans and subject to staff approval of any necessary technical revisions prior to recording.*

2. PRESTWICK COUNTRY CLUB – 601 PRESTWICK DRIVE (*Presenter: Trustee Rossi*)

Prestwick Country Club requests the granting of four zoning variations for the construction of a new 4,320 square foot golf cart barn to replace the existing barn. Due to the size, height, and placement of the golf cart barn, the project requires the following four variations:

- *Accessory structure size variance from 144 square feet to 4,320 square feet*
- *Accessory structure height variance from 15' to 21'*
- *Variation to permit an accessory structure in the front yard*
- *Variation to permit an accessory structure in front of the primary structure*

At its October 26, 2023 public hearing on the project, the Plan Commission forwarded four unanimous (4-0) recommendations to the Village Board to grant the variation requests subject to several conditions.

Motion: Accept the recommendation of the Plan Commission, waive the First and Second Readings, and pass an Ordinance granting the following zoning variances to the property located at 601 Prestwick Drive for the construction of a new golf cart barn: an accessory structure size variance from 144 square feet to 4,320 square feet; an accessory structure height variance from 15 feet to 21 feet; a variance to permit an accessory structure within a front yard; and a variance to permit an accessory structure in front of the primary structure; all in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval, and subject to the following conditions: 1) The existing stumps and wood pallets shall be cleared during construction of the proposed building; 2) A Landscape Plan for the area around the cart barn shall be submitted for staff review and approval and required plantings shall be installed within one year of Village Board approval; and 3) The building elevations shall be revised to reflect a charcoal color stone veneer wainscot on all four sides.

ORDINANCE NO. **34XX**

**AN ORDINANCE GRANTING SPECIAL USE PERMITS FOR
INDOOR RECREATION AND OUTDOOR RECREATION
TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE
VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS
(ROMA SPORTS CLUB – 9115 ROMA COURT)**

WHEREAS, an application for Special Use Permits for certain property within the Village of Frankfort, legally described below, was filed by Steve J. Rotondi, Applicant; and Xpress Holdings, LLC, 12639 Brighton Court, Mokena, Illinois 60448, Owner; and

WHEREAS, the Subject Property, commonly known as 9115 Roma Court (Lot 1) in the Roma 2 Resubdivision, is currently zoned I-1 Limited Industrial District; and

WHEREAS, the Applicant proposes constructing a 20,800 square foot building addition and parking lot expansion for the existing Roma Sports Club; and

WHEREAS, the Owner requests the granting of a Special Use Permit for indoor recreation for a health/fitness facility and a Special Use Permit for outdoor recreation over 1 acre for two outdoor soccer fields to permit the operation of Roma Sports Club on the Subject Property; and

WHEREAS, a timely Notice of a Public Hearing before the Plan Commission/Zoning Board of Appeals of the Village of Frankfort was published in the *Daily Southtown* newspaper announcing a Public Hearing on the Owner's application for Special Use Permits for the Subject Property; and

WHEREAS, at a time and place designated in such published notice, a Public Hearing was held before the Village of Frankfort Plan Commission/Zoning Board of Appeals on the Owner's application for Special Use Permits for the Subject Property; and

WHEREAS, the Frankfort Plan Commission/Zoning Board of Appeals has made special written Findings-of-Fact as required by the Village of Frankfort Zoning Ordinance 2001; and

WHEREAS, the Frankfort Plan Commission forwarded two unanimous (7-0) recommendations to the Board of Trustees of the Village of Frankfort that the Subject Property be granted Special Use Permits for indoor recreation and outdoor recreation, with conditions as enumerated in Section 1 of this Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. SPECIAL USE PERMITS

That the following described real property to wit:

PINS: 19-09-34-202-025-0000; 19-09-34-202-010-0000; 19-09-34-202-009-0000; and 19-09-34-202-008-0000

PARCEL 1:

LOT 1 IN ROMA RESUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 30, 2015, AS DOCUMENT R2015054429, IN WILL COUNTY, ILLINOIS

PARCEL 2:

LOTS 16, 17, AND 18 IN EAST POINT PARK SUBDIVISION, BEING PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 15, 2006, AS DOCUMENT R2006156045, IN WILL COUNTY, ILLINOIS, commonly known as 9115, 9094, 9070, and 9046 Roma Court, Frankfort, Will County, Illinois, are the properties subject to the previously described application for Special Use Permits, and is hereby granted said Special Use Permit for indoor recreation for a health/fitness facility and a Special Use Permit for outdoor recreation over 1 acre for two outdoor soccer fields to accommodate the operation of Roma Sports Club on Lot 1 of Roma 2 Resubdivision, 9115 Roma Court, in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned upon final engineering approval.

SECTION 2. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

SECTION 3. ZONING MAP AMENDMENT

That the Zoning Map of the Village of Frankfort is amended to reflect the Subject Property, currently zoned I-1 Limited Industrial District, is hereby granted Special Use Permits for indoor recreation for a health/fitness facility and outdoor recreation over 1 acre for two outdoor soccer fields, as provided under this Ordinance and the Village of Frankfort Zoning Ordinance, as from time to time amended.

SECTION 4. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 5. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this __ day of ____, 2023; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting; with __ members abstaining and said vote being:

ADAM BORRELLI	___	MICHAEL LEDDIN	___
JESSICA PETROW	___	MAURA A. RIGONI	___
DANIEL ROSSI	___	EUGENE SAVARIA	___

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this __ day of ____, 2023.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

ORDINANCE NO. **34XX**

AN ORDINANCE GRANTING TWO ZONING VARIANCES TO PERMIT THREE POINTS OF VEHICULAR ACCESS AND A LANDSCAPED FRONT YARD SETBACK FOR CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS. (ROMA SPORTS CLUB – 9115 ROMA COURT)

WHEREAS, an application for certain variances for real property within the Village of Frankfort, legally described below, was filed by Steve J. Rotondi, Applicant; and Xpress Holdings, LLC, Frankfort, Illinois 60423, Owner; and

WHEREAS, the Subject Property, commonly known as 9115 Roma Court (Lot 1) in the Roma 2 Resubdivision, is currently zoned I-1 Limited Industrial District; and

WHEREAS, the Owner requests the granting of two variances, one to permit three points of vehicular access for a lot with more than 200 feet of road frontage, and the other to reduce the landscaped front yard setback requirement from 20 feet to 15 feet, 2 inches to accommodate the construction of a 20,800 square foot building addition and parking lot expansion for Roma Sports Club on the Subject Property; and

WHEREAS, a timely Notice of a Public Hearing before the Plan Commission/Zoning Board of Appeals of the Village of Frankfort was published in the *Daily Southtown* newspaper announcing a Public Hearing on the Owner's application for certain zoning variances for the Subject Property; and

WHEREAS, at a time and place designated in such published notice, a Public Hearing was held before the Village of Frankfort Plan Commission/Zoning Board of Appeals on the Owner's application for certain zoning variances for the Subject Property; and

WHEREAS, the Board of Trustees found, based upon evidence presented to it:

1. That the Subject Property cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in an I-1 zoning district.
2. That the plight of the Owner is due to unique circumstances; and
3. That the variations will not alter the essential character of the locality, and that the requested zoning variances should be granted.

WHEREAS, the legal description of the Subject Property at the time of the filing of the variance application is as follows:

PINS: 19-09-34-202-025-0000; 19-09-34-202-010-0000; 19-09-34-202-009-0000; and 19-09-34-202-008-0000

PARCEL 1:

LOT 1 IN ROMA RESUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 30, 2015, AS DOCUMENT R2015054429, IN WILL COUNTY, ILLINOIS

PARCEL 2:

LOTS 16, 17, AND 18 IN EAST POINT PARK SUBDIVISION, BEING PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 15, 2006, AS DOCUMENT R2006156045, IN WILL COUNTY, ILLINOIS.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. VARIANCES

That the requirements imposed under the I-1 zoning classification of the Village of Frankfort Zoning Ordinance are hereby varied for the above-described Subject Property, located at 9115 Roma Court, as follows:

1. A variance to permit three points of vehicular access to Roma Court for a lot of more than 200 feet of road frontage; and
2. A variance of the landscaped front yard setback requirement from 20 feet to 15 feet, 2 inches

To accommodate construction of a 20,800 square foot addition and parking lot expansion for Roma Sports Club on Lot 1 of the Roma 2 Resubdivision, in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned upon final engineering approval.

SECTION 2. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

SECTION 3. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 4. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage, approval and

publication in pamphlet form as provided by law.

PASSED this __ day of ____, 2023; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting; with __ members abstaining and said vote being:

ADAM BORRELLI	___	MICHAEL LEDDIN	___
JESSICA PETROW	___	MAURA A. RIGONI	___
DANIEL ROSSI	___	EUGENE SAVARIA	___

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this __ day of ____, 2023.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

C. Public Hearing: 9115 Roma Court – Roma Sports Building Addition & Outdoor Recreation

Christopher Gruba presented the staff report.

The applicant, Steve Rotondi, signed in at the podium. He noted that the plans before the Commission had incorporated comments made at the workshop.

Commissioner Schaeffer asked if there were any members of the public that wished to speak. Bruce Warner signed in at the podium. He said that he owns the adjacent property to the east and that he does not have any objections to the project. He did note that there is a row of trees between his property and the applicants and that this tree row is technically located on his property and not on Roma's property. He noted that the property lines shown on the aerial photograph are slightly incorrect and that he wants the trees to remain unaffected by any development.

Chair Schaeffer said that staff had received a letter from adjacent property owner, Jeff Graefen, that she read into the record. Mr. Graefen's letter said that he did not object to the proposed development.

Chair Schaeffer asked if any other members of the public wished to speak. There were none.

Motion (#3): To close the public hearing.

Motion by: Markunas

Seconded by: Jakubowski

Chair Schaeffer asked the Commission for comments regarding the Special Use Permit for indoor recreation. There were none. She asked the Commission for comments regarding the Special Use Permit for outdoor recreation. There were none.

Chair Schaeffer asked the Commission for comments regarding the variation to permit three points of vehicular access to Roma Court, whereas only two are permitted. She added that staff had spoken to the Public Works Department regarding this request and they had no objection. Commissioner Markunas said that he thought that three points of vehicle access to Roma Court seemed appropriate given the length of the property itself, including the length of the parking lot.

Chair Schaeffer asked the Commission for comments regarding the variation to permit a front yard landscape setback of 15.2', whereas 20' is required. Commissioner Knieriem asked the applicant why he chose to not move the smaller soccer field closer to the larger soccer field. Mr. Rotondi said that they were moved further away from the street for safety reasons and because he intended to use as much of the "crown" of the existing playfields as before, meaning he would have to move less dirt. He also said that there were existing

stormwater facilities in place that he didn't want to disturb. Commissioner Knieriem said that it looked like there was potential to expand the parking lot even further without impacting the smaller soccer field. Mr. Rotondi replied that the project has already gone over budget and expanding the parking lot even further would make it even more over budget. Commissioner Knieriem asked the applicant if gates were proposed in the new 8' tall black, vinyl coated chain link fencing, in case balls needed to be retrieved. Mr. Rotondi replied that there would be a pedestrian gate every 100' in the fencing.

Commissioner Markunas said that the proposed landscaping looked good, but asked if the landscaping could be extended to the rest of the property. Mr. Rotondi replied that there are existing bushes and river rock along the building and that all parking lot islands have trees. He said that the proposed street trees meet the requirement of 1 every 35' along Roma Court.

Chair Schaeffer asked staff to elaborate on the loading zone as illustrated on the plans. Chris Gruba said that the loading area that was originally approved for the building was removed and restriped with customer parking and that it should be reverted back to a striped loading zone as part of the proposed site improvements. He noted that the Geometric Plan (Sheet C-2) included a note stating "existing loading area to remain, loading area to be re-striped and existing parking stall striping in front of loading area to be removed".

Chair Schaeffer asked staff if a trash enclosure was included on the plans. Chris Gruba replied that Sheet C-2 stated that a trash enclosure, meeting code, would be installed. However, staff has not received any detail drawings of the proposed trash enclosure to-date. Mr. Rotondi and his architect, Robin Ersfeldt, said that they had submitted a dumpster enclosure detail drawing to staff. Chris Gruba responded that it may have been missed and not included but could not confirm that it had been received. Regardless, he'd either locate the dumpster detail or request it from the applicant and ensure that it would be included with the Village Board's packet.

Commissioner James said that he appreciated that the applicant had added more parking since the workshop, which would help lessen the need to shuttle people in from other locations.

Chair Schaeffer asked for comments regarding the Plat of Resubdivision. There were none.

Motion (#4): Recommend to the Village Board to approve the Special Use Permit for indoor recreation on Lot 1 of the Roma 2 Resubdivision to include the building addition, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

Motion by: Jakubowski

Seconded by: Hogan

Approved: (7-0)

Motion (#5): Recommend to the Village Board to approve the Special Use Permit for outdoor recreation greater than 1 acre on Lot 1 of the Roma 2 Resubdivision for the outdoor playing fields, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

Motion by: James Seconded by: Morris

Approved: (7-0)

Motion (#6): Recommend to the Village Board to approve the Variation to permit at 15.2' front landscape setback whereas 20' is required per Article 6, Section C, Part 1, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

Motion by: James Seconded by: Hogan

Approved: (7-0)

Motion (#7): Recommend to the Village Board to approve the Variation to permit three points of vehicular access to Roma Court, whereas a maximum of two are permitted per Article 6, Section C, Part 2 (n)(3), in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

Motion by: Markunas Seconded by: Jakubowski

Approved: (7-0)

Motion (#8): Recommend approval of a Plat of Resubdivision to consolidate Lot 1 of Roma Resubdivision with Lots 16-18 of East Point Park Subdivision, to create a single Lot 1 of Roma 2 Resubdivision, subject to staff approval of any technical revisions prior to recording.

Motion by: Morris Seconded by: Markunas

Approved: (7-0)

D. Workshop: Dunkin' Donuts

Mike Schwarz presented the staff report and noted that the presentation slides show newly submitted plans.

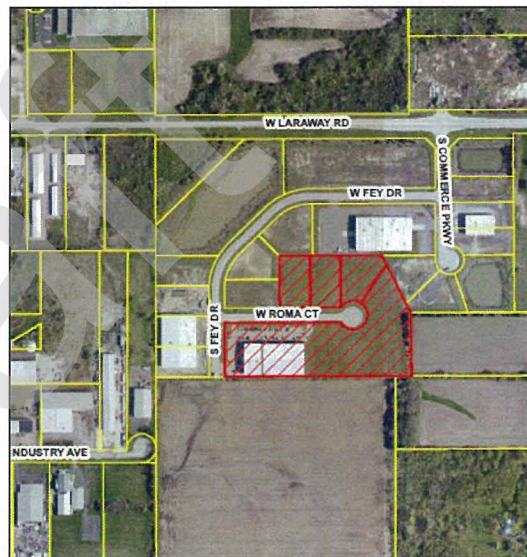
Project: Roma Sports – Building addition and outdoor sports fields
Meeting Type: Public Hearing
Requests: 2 Special Use Permits and 2 Variations
Location: 9115 Roma Court
Applicant: Steve Rotondi
Prop. Owner: Xpress Holdings, LLC
Representative: Steve Rotondi
Staff Reviewer: Christopher Gruba, Senior Planner

Site Details

Lot Sizes: 7.18 acres Lot 1, 1 acre each Lots 16-18
PIN(s): 19-09-34-202-025-0000, 19-09-34-202-010-0000, 19-09-34-202-009-0000, 19-09-34-202-008-0000
Existing Zoning: I-1 (all lots)
Proposed Zoning: N/A
Future Land Use: Business Park
Buildings: 1
Total Sq. Ft.: 50,140 SF existing, 70,940 SF proposed
Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Indoor Rec.	Business Park	I-1
North	Light Industrial/ Undeveloped	Business Park	I-1
South	Undeveloped	Business Park	A-1 (County)
East	Undeveloped	Business Park	A-1 (County)
West	Light Industrial	Business Park	I-2

Figure 1. Location Map



Project Summary

The applicant is proposing to construct a 20,800 square foot building addition onto the existing Roma Sports building to provide more indoor recreation space. The applicant is also proposing to combine Lot 1 (the largest lot containing the building) with Lots 16-18 on the north side of Roma Court. The number of existing soccer fields would be reduced from 5 to 2. Lastly, 104 parking spaces would be added to the existing parking lot, increasing the total number from 78 to 195. A PC/ZBA workshop on this project was held on August 24, 2023.

To achieve this, the project will require the following entitlements:

1. Special Use Permit for indoor recreation (building addition on Lot 1 of the new Roma 2 Subdivision)
2. Special Use Permit for outdoor recreation over 1 acre (Lot 1 of the new Roma 2 Subdivision)
3. Variation for 3 points of vehicle access to Roma Court, whereas 2 are permitted (Lot 1 of the new Roma 2 Subdivision)
4. Variation for 15.2' front landscape setback, whereas 20' is required (Lot 1 of the new Roma 2 Subdivision)
5. Plat of Resubdivision to combine Lot 1 of the Roma Subdivision with Lots 16-18 of the East Point Park Subdivision

Attachments

1. Aerial image (1:6,000 scale) – VOF GIS
2. Findings of Fact (Special Use Permit), applicant responses
3. Findings of Fact (Variation), applicant responses
4. Photographs of subject property
5. Photographs of other buildings within the East Point Park subdivision
6. Written permission from owner of 22442 Fey Drive to allow overflow parking
7. Written permission from Hickory Creek Middle School, allowing off-site shuttled parking at the Middle School
8. PC/ZBA meeting minutes excerpt of September 11, 2014 (review of original building)
9. Board meeting minutes excerpt of September 15, 2014 (approval of original Special Use Permits and variation)
10. PC/ZBA meeting minutes excerpt of August 24, 2023 (workshop meeting)
11. Original Subdivision Plat (formerly known as Harper Business Park, now East Point Park)
12. Preliminary Engineering Plans, received September 11, 2023
13. Plat of Survey, received September 11, 2023
14. Photometric Plan, received September 11, 2023
15. Geometric Plan, received October 5, 2023
16. Floor plan of building addition, received July 25, 2023
17. Landscape Plan, received September 13, 2023
18. Landscape Plan (color), received September 13, 2023
19. Truck Turning Plan (fire), received September 11, 2023
20. Truck Turning Plan (delivery), received September 11, 2023
21. Building Elevations, received August 16, 2023
22. Color rendering of building elevations illustrating the proposed addition and existing building
23. Plat of Resubdivision, received September 11, 2023

Main Changes since the workshop on August 24, 2023

1. Lot 1 of Roma Subdivision (containing the building) is now proposed to be combined with Lots 16-18 of the East Point Park Subdivision on the north side of Roma Court. Lots 16-18 are approximately 1 acre each. The result will be a single, Lot 1 of Roma 2 Subdivision, with an area of approximately 10.2 acres. This idea was discussed at the workshop meeting.
2. The parking lot was formerly increased from 78 spaces to 149 spaces (adding 71 spaces). The parking lot will now be increased from 78 to 195 spaces (adding 117 spaces). This was a recommendation of the PC/ZBA at the workshop meeting.
3. The workshop plans illustrated 3 outdoor soccer fields, which have now been reduced to 2 outdoor soccer fields.
4. By seeking a lot combination, the applicant is now required to plant street trees along Roma Court, at a rate of 1 street tree for every 35'. A total of 12 street trees have been added to the north side of Roma Court.
5. The applicant is proposing an 8' tall, black, vinyl coated chain link fence along the west and north sides of the current Lots 16-18. This fence would match the existing fence sections on Lot 1, which contains the building. The existing two sections of fencing on Lot 1 are located along the south property line east of the building and at the northeast corner of the property, presumably to contain errant soccer balls. 8' is the maximum height permitted in the I-1 zone district.
6. Two additional light poles were added to the extended parking lot.
7. A color rendering of the building with the building addition has been provided. This was a request at the workshop meeting.

Analysis (updated since the workshop)

Zoning

Lot 1 and Lots 16-18 are all zoned I-1, Limited Industrial. Upon a combination of all lots, the resulting lot would remain zoned I-1.

Site Design

1. The proposed building addition on the proposed *new* Lot 1 complies with the dimensional requirements for the I-1 zone district:

	Required	Proposed/Existing
Minimum Lot Size	1 acre	10.20 acres
Minimum Lot Width	100'	870' +/-
Front Setback (north)	50'	77.7'
Corner Side Setback (west)	20'	105' +/-
Side Setback (east)	20'	415' +/-
Rear Setback (south)	30'	30'
Building Height (of addition to peak)	35'	34' 8"
Lot Coverage	No Max	16%
Impervious Lot Coverage (Lot 1)	80%	38%

2. The applicant is proposing a parking lot expansion in conjunction with the building addition. As proposed, the parking lot would have three (3) points of vehicular access to Roma Court. The Zoning Ordinance only permits two points of vehicular access, requiring a variation (page 130). The applicant has noted that the existing facility can become very congested during tournaments and that three points of access are necessary to provide adequate exiting of patrons. The Public Works Department has reviewed the proposed plans and does not object to three points of access on Roma Court.
3. It does not appear that the plans for the original building included a dumpster or dumpster enclosure. A "floating" dumpster was observed by staff during a site inspection this spring. Per §50.01 of the Municipal Code, dumpsters must be contained within an enclosure made of materials that match the building. Although a detail of the proposed enclosure was not provided at the time of this report, the Geometric Plan notes that a new masonry (CMU) dumpster enclosure will be provided near the existing loading space. The enclosure would be between 5-6' tall and have an opaque wood gate. As proposed, the enclosure would comply with §50.01 of the Municipal Code.
4. No retaining walls are proposed.
5. The Fire District has reviewed the proposed site plan and does not have any additional comments currently.
6. A 7' wide concrete pedestrian sidewalk is proposed along the north and east sides of the proposed building addition.

Floorplan

1. The 20,800 square foot building addition would provide area for 4 additional sports courts, each measuring 60'x30'. The addition would also include a 2,232 square foot storage room, with a mezzanine above it of the same size, also used for storage.
2. There will be no bleacher-type seating provided within the building addition, per the proposed floorplan.
3. There will be no indoor food concessions inside the new building addition.

Parking & Loading

1. Indoor recreation facilities require "1 parking space for every 4 patrons based upon the maximum occupancy of the facility, plus 1 parking space for each employee during the largest working shift". The

Geometric Plan (Sheet C-2) notes that the entire building after the addition would provide a maximum occupancy of 495 patrons. The applicant also noted that there may be up to 3 employees during the largest working shift. As such, the indoor recreation use would require a total of 127 parking spaces.

2. Outdoor recreation facilities require *"1 parking space for every 10,000 square feet of gross land area"*. After the proposed building addition and parking lot expansion, two soccer fields of different sizes would be reconfigured on the new Lot 1 of Roma 2 Subdivision. The combined area of the three soccer fields is 70,200 square feet, requiring 8 parking spaces.
3. With both indoor and outdoor uses combined, a total of 135 parking spaces would be required per Code (127 + 8). The site plan illustrates a total of 182 parking spaces, including 9 ADA-accessible spaces, exceeding this requirement.
4. The Zoning Ordinance requires a minimum drive aisle width of 19' when serving two rows of 60° angle parking. The drive aisle within the parking lot is 23.5' wide, meeting this requirement. The existing drive aisle in front of the existing building is also 23.5' wide.
5. The Zoning Ordinance requires at least 1 loading space, measuring 12' x 50'. The original approved plans for Roma Sports included one 14'x61' loading area near the southwest corner of the building. This loading area is currently blocked by several new parking stalls that were painted after the building was built. Staff has requested that these parking spaces be removed in order to provide access to the loading space in perpetuity (by restriping the parking lot). The Geometric Plan (Sheet C-2) notes that these parking spaces will be removed to provide access to the loading space.
6. Concrete curbs are required for all paved areas and have been provided.

Architectural Style and Building Materials

1. The Zoning Ordinance lists regulations for new construction within the I-1 zone district:
 - a) *Exterior walls shall be of face brick, architectural steel and aluminum, stone, glass, exposed aggregate panels, textured or architecturally finished concrete, steel, or wood. Equivalent or better materials, or any combination of the above, may be used in a well-conceived or creative application.*
 - b) *Common brick and concrete block are prohibited as exterior building materials.*
 - c) *Split face block is only permitted on front and side facades where architectural features (such as columns, horizontal bands, etc.) are incorporated into said façades.*
 - d) *Corrugated metal or pre-engineered metals installed with exposed fasteners are only permitted on front facades if 50% of said front façade is masonry, and are only permitted on side facades where architectural features (such as columns, horizontal bands, etc.) are incorporated into said side façades.*
2. The proposed building addition is intended to exactly match the existing building in terms of architecture and materials, with the exception that the addition will not be as tall as the existing portion.
3. The building addition would have two new rooftop mechanical units, measuring approximately 15'x20'. The proposed gabled roof does not have any parapets and as such, these new units would be screened

behind metal screenwalls as tall as the units. The screenwalls would be made of the same metal material as the building and painted to match. No ground-mounted mechanical units are proposed.

4. There are three (3) other existing buildings in the East Point Park subdivision, with a fourth in the process of being constructed. The HB Fuller building to the north is primarily constructed of split face CMU block and corrugated metal. The other buildings for Architectural Grilles & Sunshades, Inc. and Southwest Town Mechanical (HVAC) include construction materials such as split face CMU block, corrugated metal, brick and decorative window louvers. Photographs of these buildings have been included with the staff report.

Stormwater & Drainage

1. Robinson Engineering has performed a preliminary review and has indicated that the subdivision has been pre-engineered for drainage. There are existing storm sewers that collect water from all sides of Lot 1 and direct it to existing detention ponds within the subdivision.
2. There are no wetlands or floodplains on the subject property.

Landscaping

The proposed Landscape Plan complies with all the requirements listed in the Landscape Ordinance, including for street trees and parking lot landscaping. However, the Zoning Ordinance requires a 20' wide landscape setback along the front property line along Roma Court (page 127). The existing parking lot is set back 15.2' from the front property line and is considered existing, non-conforming. It's unclear how a deficient landscape setback was originally permitted for Lot 1, as no variation records were located by staff, nor was the property developed as a PUD. Regardless, the expansion of the parking lot along Roma Court, set back 15.2' from the front property line, will require a variation.

Lighting

A photometric plan has been provided by the applicant. The site will be illuminated with 4 new light poles and 7 new building-mounted wall pack lights. The proposed lighting complies with the requirements listed in the Zoning Ordinance.

Special Use Request

The following findings of fact are used to judge the merit of a special use permit request. The applicant has provided responses to these findings of fact in a separate attachment.

Findings of Fact:

No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Variation Requests

The following findings of fact are used to judge the merit of a variation request. The applicant has provided responses to these findings of fact in a separate attachment.

Findings of Fact:

No variation shall be recommended by the Plan Commission, unless such Commission shall find that all three of the following criteria are met:

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
2. That the plight of the owner is due to unique circumstances; and
3. That the variation, if granted, will not alter the essential character of the locality.

In addition to the above 3 required criteria, the Plan Commission shall also take into consideration the following 7 criteria:

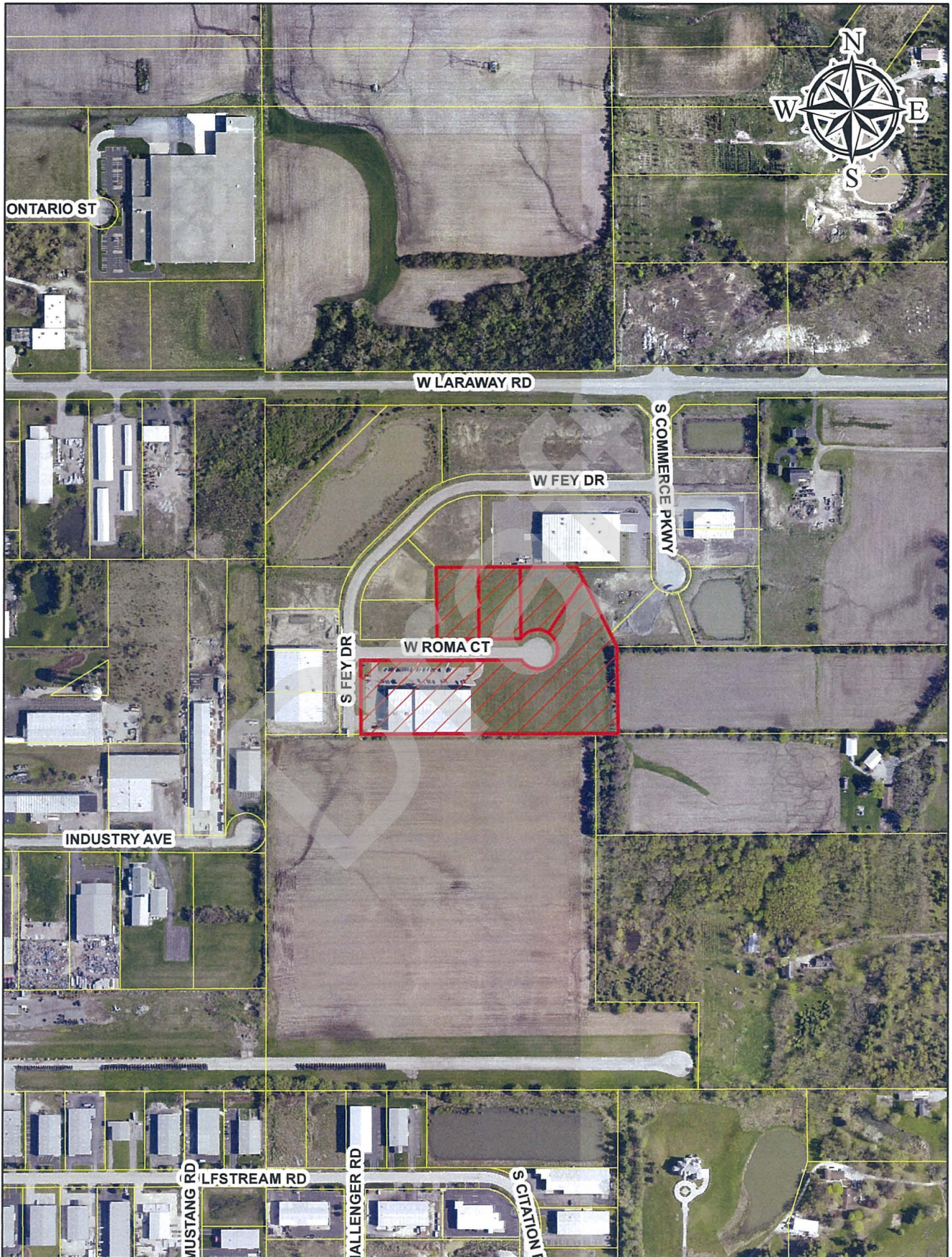
1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

Affirmative Motions

1. Recommend to the Village Board to approve the Special Use Permit for indoor recreation on Lot 1 of the Roma 2 Resubdivision to include the building addition, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
2. Recommend to the Village Board to approve the Special Use Permit for outdoor recreation greater than 1 acre on Lot 1 of the Roma 2 Resubdivision for the outdoor playing fields, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
3. Recommend to the Village Board to approve the Variation to permit at 15.2' front landscape setback whereas 20' is required per Article 6, Section C, Part 1, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
4. Recommend to the Village Board to approve the Variation to permit three points of vehicular access to Roma Court, whereas a maximum of two are permitted per Article 6, Section C, Part 2 (n)(3), in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
5. Recommend approval of a Plat of Resubdivision to consolidate Lot 1 of Roma Resubdivision with Lots 16-18 of East Point Park Subdivision, to create a single Lot 1 of Roma 2 Resubdivision, subject to staff approval of any technical revisions prior to recording.

9115 Roma Court - Building Addition & Outdoor Recreation



VILLAGE OF
FRANKFORT
INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.

The special use permit requests associated with this project are for both indoor and outdoor recreation which would not be detrimental to the general welfare of the public in any way.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The special use permit requests are in line with the current use of the existing building at the site, therefore, these requests will in no way affect the surrounding industrial park.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The special use permit requests are in line with the current use of the existing building at the site and only impact the applicant's property, therefore will not impede the improvement of the surrounding property in any way.

4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

The proposed exterior architectural elements will match that of the already approved existing structure, and will therefore not be in variance.

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

There are existing utilities, access roads and drainage facilities already in place for this development.

6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

The plan has been designed to allow for adequate ingress and egress to the building in an effort to minimize traffic congestion. Additional parking is being provided in an effort to minimize traffic congestion on the streets as well.

7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

The plans have been prepared in an effort to conform to the applicable regulations of the district unless otherwise approved.

Draft

VILLAGE OF
FRANKFORT
INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

The variances being requested for this site pertain to decreasing a landscape setback to 15.2' as well as the request for 3 points of access to Roma Court. Both of these variances allow for better traffic circulation (as it relates to patrons) through the parking lot for the existing and new building addition.

2. That the plight of the owner is due to unique circumstances; and

Existing surrounding conditions are being met, and traffic patterns throughout the existing site have been looked at to determine the safest and most appropriate circulation for patrons.

3. That the variation, if granted, will not alter the essential character of the locality.

The variation is for a slight decrease in a landscaped area as well as for an increase in the number of access points allowed. These variations do not affect the character of the locality and instead enhance what is already existing.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

Existing surrounding conditions are being met, and traffic patterns throughout the existing site have been looked at to determine the safest and most appropriate circulation for patrons. Following the strict letter of the regulations would result in fewer available parking spaces as well as fewer points of entry/exit, which could cause congestion and potential for unsafe conditions out in front of the existing and proposed buildings.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

The conditions upon which the petitions for variation are based are specific to the use of the existing and proposed buildings in this development.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

The purpose of the variations being requested are based on providing better traffic circulation throughout the site, which relates to safety more than anything else.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

The landscape setback that is being requested is in order to match what was previously approved by the Village such that the new and existing parking areas will line up. The request for an additional point of access relates to the creation of an additional parking lot east of the new building addition.

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

The granting of the variation will not be detrimental to the public welfare, but instead will be beneficial to patrons by providing safe traffic circulation throughout the site.

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

The variances being requested do not affect the exterior architectural appeal and functional plan in any way.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

The proposed variations only affect the parking areas of the site, therefore, none of the items mentioned above will be impaired in any way. The variances are being requested in order to stay in line with, as well as improve the existing conditions at the site and the surrounding industrial park.





ADJACENT BUILDING, HB FULLER - 9001 W. FEY (LOTS 9-12)



ADJACENT BUILDING, HB FULLER - 9001 W. FEY (LOTS 9-12)



SOUTHWEST TOWN MECHANICAL - 22349 S. COMMERCE PARKWAY (LOTS 4 & 5)



ARCHITECTURAL GRILLES & SHADES, 22442 W. FEY (LOTS 26-28)



ARCHITECTURAL GRILLES & SHADES, 22442 W. FEY (LOTS 26-28)



Dr

From: [Steve J Rotondi](#)
To: [Chris Guba](#); [John Trainor](#); [John](#)
Subject: [Fwd: Parking](#)
Date: [Friday, August 25, 2023 3:17:43 PM](#)
Attachments: [image001.gif](#)

CAUTION: This e-mail originated outside of the Village's email system.
DO NOT click links or open attachments unless you confirm the incoming address of the sender and know the content is safe.

Here you go.

Your Lincoln-Way Community Sports Complex"

Steve J Rotondi

[image001.gif](#)

9115 Roma Ct, Frankfort, IL 60423

815.469.ROMA

www.RomaSportsClub.com

PLAY WITH PASSION!

Begin forwarded message:

From: John Trainor <john@agsshade.com>
Date: August 25, 2023 at 2:45:57 PM CDT
To: Steve J Rotondi <steve@romasportsclub.com>
Subject: RE: Parking.

Steve,
Based on hours of operation for ROMA – primarily nights and weekends, when AGS is not operating. Per your email below we have and plan on to continue to allow ROMA to periodically use our lot for overflow

John C. Trainor



www.agsshade.com
PH: 708.479.9458
22442 Fey Drive
Frankfort, IL 60423



From: Steve J Rotondi <steve@romasportsclub.com>
Sent: Friday, August 25, 2023 8:39 AM
To: John Trainor <john@agsshade.com>
Subject: Parking.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Morning John,

I met with the Planning Commission last night about my expansion.
They wanted me to get something from you that shows we DO have an agreement in place to allow us to periodically use your lot in exchange for allowing your semi's to pull into our lot in order to back in properly to your docks.
Can you please respond to this so I can send to them?

Thanks so much.

Steve J Rotondi
President

Roma FC
Roma Sports Club

www.RomaSportsClub.com

815-469-ROMA

UVC Facilities Request

3 messages

Laura Sues <laurasues@ultimatevolleyball.com>
To: gdurocher@fsd157c.org

Tue, Feb 7, 2023 at 9:15 AM

Good Morning,
Attached you will find our facilities request for use of the HCMS parking lot.

We are a local volleyball club that runs out of Hallmark Sports Club. We have secured a shuttle company for transportation and are looking for an offsite parking lot to use on the following days.

2/11 2/12 2/18 2/19 2/25 2/26
3/4 3/5 3/11 3/12 3/18 3/19 3/26
4/15
5/13 5/20 5/21
6/3

We anticipate 50 cars would need to park offsite. Please let me know if you need anything additional from us.

Thank you!

las

Laura A Sues
Girls Director
Ultimate Volleyball Club
laurasues@ultimatevolleyball.com

3 attachments



UVC COI.jpg
337K

 **UVC Waiver.pdf**
518K

 **UVC Facilities Request.pdf**
870K

Gail Durocher <GDurocher@fsd157c.org>
To: Laura Sues <laurasues@ultimatevolleyball.com>
Cc: Tricia Dotson <TDotson@fsd157c.org>

Wed, Feb 8, 2023 at 1:20 PM

Good Afternoon,

Your request for use of the parking lot at HCMS has been approved. Please see the attachment for the dates the parking lot will be unavailable and well as a note regarding snow removal.

Please feel free to call me if you have any questions.

Gail

Gail Durocher
Administrative Assistant
Hickory Creek Middle School
815-806-3704

This e-mail, and any attachments thereto, is intended only for use by the addressee(s) named herein and may contain legally privileged and/or confidential information. If you are not the intended recipient of this e-mail (or the person responsible for delivering this document to the intended recipient), you are hereby notified that any dissemination, distribution, printing or copying of this e-mail, and any attachments thereto, is strictly prohibited. If you have received this e-mail in error, please respond to the individual sending the message and permanently delete the original and any copy of any e-mail and any printout thereof.

From: Laura Sues <laurasues@ultimatevolleyball.com>
Sent: Tuesday, February 7, 2023 9:15 AM
To: Gail Durocher <GDurocher@fsd157c.org>
Subject: UVC Facilities Request

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

[Quoted text hidden]

 **Ultimate Volleyball Club 2023 Approved #1.pdf**
258K

Laura Sues <laurasues@ultimatevolleyball.com>
To: Gail Durocher <GDurocher@fsd157c.org>
Cc: Tricia Dotson <TDotson@fsd157c.org>

Wed, Feb 8, 2023 at 4:06 PM

You two have been very helpful- Thank you SO MUCH!

las

Laura A Sues
Girls Director
Ultimate Volleyball Club
laurasues@ultimatevolleyball.com

[Quoted text hidden]



MINUTES
REGULAR MEETING OF VILLAGE OF FRANKFORT
PLAN COMMISSION / ZONING BOARD OF APPEALS
SEPTEMBER 11, 2014 – FRANKFORT POLICE STATION
20602 LINCOLN-WAY LANE

Call to Order

Chair Don Schwarz called the meeting to order at 6:30 P.M.

Commissioners Present: Bob Beeson, Dave Schumpp, Alicia Hanlon, Neil Nunamaker, Jim Matlock, and Don Schwarz

Commissioners Absent: Sue Anstett

Staff Present: Assistant Director of Development Services Zach Brown and Development Services Intern Austin Folan

Elected Officials Present: Liaison to the Village Board, Trustee Mike Stevens

A. Approval of Minutes from August 14, 2014

Motion (#1): Approve the minutes from August 14, 2014 as presented.

Motion by: Matlock Seconded by: Hanlon
Approved (6 to 0)

B. Public Hearing – Roma Sports Club Special Use

Request: Special use permits for indoor and outdoor recreation and a building height variance from 35 ft. to 42 ft. to accommodate the construction and operation of Roma Sports Club on lots 20-25 in the East Point Industrial Park. Other request: Final Plat Approval.

Chair Schwarz swore in all intending to testify.

Assistant Director Brown presented the staff report and provided an overview of the request. Mr. Brown noted that at the time of the report there were several issues outstanding however staff had since continued to work with the applicant to ensure all outstanding items were addressed. The applicants were present and offered no additional comments.

Motion (#2): Close the public hearing.

Motion by: Schumpp Seconded by: Matlock
Approved (5 to 0)

During the Plan Commission Discussion:

- Commissioners questioned the need for the increased building height. Mr. Rotondi noted that the increased height was necessary to accommodate baseball and volleyball use;
- Staff confirmed that site plan E was the correct site plan;
- Members questioned previous height variances in industrial areas. Staff noted that they were not aware of any recent height variances for industrial buildings;
- Commissioner Hanlon questioned if allowing the outdoor fields would impact the land use rights of the adjacent properties. Staff confirmed that there would be no impact or restriction of land uses were the outdoor fields approved;
- Members discussed the proposed use and whether or not sidewalks should be installed on the north or south side of Mark Court. The applicant noted that private sidewalks were proposed along the north side of the building that would provide pedestrian access from the parking lot to the outdoor fields. Commissioners agreed that the public sidewalks should be deferred to the north side of the road;
- Commissioners discussed the encroachment of the proposed fields into the required setbacks and determined that the impacts were negligible given the additional green space provided within the right of way;
- Member Matlock requested that the applicant not store any hazardous materials in the building;
- The applicant agreed to work with staff to revise the photometric and landscape plans to meet ordinance requirements and was amenable to adding conditions to that effect;
- Commissioners questioned if a safety barrier was necessary within the cul-de-sac to protect patrons from vehicles. The developer Jeff Graefen was present and noted that increased curb heights are provided in industrial areas and that they were adequate stop most vehicles. Commissioners agreed that additional barriers were unnecessary;
- Member Schwarz noted that he was encouraged to see development happening within the subdivision however expressed concern regarding the number of outstanding issues. Member Schwarz requested that the applicant work with staff to address the outstanding conditions prior to proceeding to Village Board for approval;
- Chair Schwarz reviewed the recommended conditions with the applicant. After discussion Commissioners requested that staffs recommended condition pertaining to construction of additional parking facilities should they become necessary be removed noting that such a condition would be challenging to enforce and that the provided parking was consistent with the minimum standards established by the Zoning Ordinance;
- Staff noted that a plat of subdivision was not provided and as such the plat would be brought back to the Commission at a future meeting for consideration;

Motion (#3): Recommend the Village Board approve a special use for indoor recreation and entertainment to permit the operation of Roma Sports Club, in accordance with the reviewed plans and public testimony and conditioned upon staff approval of a revised landscape plan, staff approval of a revised photometric plan, no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours, and final engineering approval.

Motion by: Nunamaker Seconded by: Beeson
Approved (5 to 0)

Motion (#4): Recommend the Village Board approve a special use for outdoor recreation and entertainment to permit the operation of Roma Sports Club, in accordance with the reviewed plans and public testimony and conditioned upon staff approval of a revised landscape plan, staff approval of a revised photometric plan, no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours, and final engineering approval.

Motion by: Matlock Seconded by: Beeson
Approved (5 to 0)

Motion (#5): Recommend the Village Board approve a height variance from 35' to 42' operation of Roma Sports Club, in accordance with the reviewed plans and public testimony and conditioned upon staff approval of a revised landscape plan, staff approval of a revised photometric plan, no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours, and final engineering approval.

Motion by: Schumpp Seconded by: Matlock
Approved (5 to 0)

- C. **Committee Update** – Trustee Stevens reviewed topics discussed at committee meetings the previous night.
- D. **Village Board Update** - Trustee Stevens summarized action taken by the Village Board at their prior meetings.
- E. **Other Business** – Assistant Director Brown noted that a building permit was under review for the property located at 28 Kansas Street and discussed items that will be considered at the September 25th Plan Commission meeting.
- F. **Attendance Confirmation** – Member Nunamaker noted he would not be available to attend the August 28 meeting.

Motion (#6): Adjournment (7:35)

Motion by: Beeson Seconded by: Hanlon
Unanimously approved by voice vote.

grant to Don and Victoria Melton, business owners of the Build-A-Bun restaurant, for retail space improvements made to the property located at 6 Elwood Street within the Grainery building.

E. Economic Development/1890's Committee Report

1. Escrow Agreement Approval: 28 W. Kansas Street Property – Resolution
Adopt A RESOLUTION (NO. 14-34) AUTHORIZING EXECUTION OF AN ESCROW AGREEMENT BETWEEN THE VILLAGE OF FRANKFORT, 28 KANSAS LLC, AND CNB BANK & TRUST, N.A., REGARDING THE 28 W. KANSAS STREET PROPERTY, in the amount of \$220,000 in incentive funding for the re-development of the 28 W. Kansas Street property.

F. Plan Commission Report Summary

1. **Roma Sports Club:** Lots 20-25 East Point Industrial Park – Ordinances
 - a. Special Use Permits for Indoor and Outdoor Recreation
Accept the Plan Commission recommendation, waive the First and Second Readings, and adopt AN ORDINANCE (NO. 2941) GRANTING SPECIAL USE PERMITS FOR INDOOR AND OUTDOOR RECREATION TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (ROMA SPORTS CLUB – 9125 MARK COURT, EAST POINT INDUSTRIAL PARK), to accommodate construction of a new 50,000 sq. ft. building and relocation of Roma Sports Club/Xpress Solutions, in accordance with the reviewed plans and public testimony, conditioned upon staff approval of a revised landscape plan; staff approval of a revised photometric plan; no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours; and final engineering approval.
 - b. Building Height Variance
Accept the Plan Commission recommendation, waive the First and Second Readings, and adopt AN ORDINANCE (NO. 2942) GRANTING A BUILDING HEIGHT VARIANCE TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (ROMA SPORTS CLUB – 9125 MARK COURT, EAST POINT INDUSTRIAL PARK), granting a height variance from the 35-foot requirement to 42 feet to the property located at 9125 Mark Court within the East Point Industrial Park, in accordance with the reviewed plans and public testimony, conditioned upon staff approval of a revised landscape plan; staff approval of a revised photometric plan; no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours; and final engineering approval.

Trustee Trevarthan made a motion (#1), seconded by Trustee Kennedy, to approve the Unanimous Consent Agenda.

The applicant responded that due to the weight of the ball it most likely will not travel far out from the property, but if a fence was needed, he would have no problem putting a fence around the court.

Commissioner Knieriem said that he also had concerns about noise and that the subject property doesn't have much of a backyard compared to other lots in the subdivision. He said that the proposed pickleball court would take up most of the backyard and that the lot is not ideal for the sports court. Mr. Paluri said that the property is still under the 40% impervious lot coverage, and he wants to mow less grass.

Acting Chair Markunas said that the noise concern is valid. He was also concerned because the property to the north has not been developed yet for a house and that those future buyers would not have a voice in this decision. He noted that the proposed sports court may be too bulky. He said that since the property does abut Colorado Avenue, a fence would be a good idea. As proposed, he thought that it might be difficult to obtain final approval by the Board. He asked staff if a swimming pool in the same location would require a Variation or Special Use Permit. Chris Gruba said that a pool in the same location would not require either, as long as the 40% impervious lot coverage was not exceeded.

Commissioner Jakubowski stated that she is opposed to a wood cedar privacy fence and that a faux wrought iron fence would look nicer. Commissioner Hogan agreed and added that landscape screening should also be incorporated around the fence. Mr. Paluri said that he didn't want to install a privacy (opaque) fence anyway.

Acting Chair Markunas said that a 3D rendering would be helpful to visualize the sports court, when viewed from Colorado Avenue. He said he wasn't sure that a pool would generate more noise than pickleball, which has a unique sound. He asked the applicant if he had received clear direction from the Commission. Mr. Paluri replied yes.

C. Workshop: 9115 Roma Court – Roma Sports Building Addition and Outdoor Recreation

Christopher Gruba presented the staff report and noted an error on the agenda about the number of requests for this project. The agenda noted 5 Special Use Permits and 2 Variations, there are only 4 Special Use Permits and 2 Variations.

Acting Chair Markunas asked if the applicant would like to approach the podium and add additional information to the staff report that was presented.

The applicant, Steve Rotondi responded that he does not have anything to add to what was said in the staff report.

Acting Chair Markunas asked staff if the 3 Special Use Permits for outdoor recreation for Lots 17, 18, 19 are retroactive requests.

Christopher Gruba responded yes, a soccer field was put in place that straddles Lots 16, 17, and 18 and had not received Special Use Permits for outdoor recreation. The proposed Special Use Permit for these lots would retroactively approve the soccer field use.

The applicant added that he owns the 3 vacant lots that have nothing permanent on them and that the lots had received a previous approval. He stated that is why he bought the 3 additional lots across the street and would like to use them as additional soccer fields because it should not be an issue to put more fields next to existing fields.

Acting Chair Markunas asked staff if the applicant came in requesting approval for the 3 existing soccer fields.

Christopher Gruba responded that the applicant may have obtained building permits for an irrigation system for the soccer field north of the Roma Court facility.

Commissioner Knieriem asked if the four courts proposed inside the building addition would be used for volleyball. Mr. Rotondi replied yes. Commissioner Knieriem said that if each volleyball team has 12 people, that would result in an increase of 96 players that could be there on a weekend for volleyball tournaments. He stated there could be an overlapping of cars on tournament weekends.

The applicant responded that there are around 5 or 6 weekends that hold substantial events. He stated that on tournament weekends, approximately 50 cars park on the street, the adjacent company to the west allows his customers to park in their parking lot, and there are bus shuttle services provided.

Commissioner Knieriem stated he has a concern with children running in the streets due to the lack of sidewalks.

Commissioner Knieriem asked if the applicant understands that there is a risk of liability by using the lots north of Roma Court as a soccer field even though they were not given formal approval for the use.

The applicant stated that he owns the land, he only put portable goals on the lots, and he has the players sign waivers. He added that residents enjoy going to the facility and there are frequent collaborations with the park district, so he wants to come into compliance to make it a great place.

Acting Chair Markunas added that he appreciated what the facility does for the community but what Commissioner Knieriem means is that Lots 16-18 need get into compliance to ensure safety.

The applicant stated if he was allowed to put fencing around the entire property, he would do so.

Acting Chair Markunas asked if extending parking to the east to add parking spaces to the parking lot could be an option to alleviate the parking concern.

The applicant responded that he would consider that option.

Commissioner James stated that there are comparable volleyball facilities that can be helpful for staff's analysis. He added that he would like to see any agreements the applicant has with others for parking.

Commissioner Hogan stated that he is a user of the facility and observed that there are many people who just drop their kid off instead of staying so there is a concern for the traffic flow to get in and out. He added that parents spend more time in northern Illinois because there are not many facilities around here, so he would like to help find a solution.

Commissioner Knieriem asked staff what business are permitted and not permitted on the property since it is in an industrial setting.

Christopher Gruba responded that the soccer fields on Lot 1 had received a Special Use Permit for outdoor recreation but that Lots 16-18 had not received such approval. He stated that the Special Use Permits for Lots 16-18 were discussed by the Plan Commission in 2018 and 2019.

Commissioner James asked if the request in 2019 received a vote.

Christopher Gruba responded that the public hearing request never received a vote and was tabled indefinitely.

The applicant's engineer, Robin Ersfeldt, approached the podium and explained that they chose to provide an exit in the middle of the parking lot because it would avoid users having to deal with traffic in the parking lot.

Commissioner Knieriem asked what the triangular empty lot is for on the site plan.

The applicant stated that it would be used for a 5-foot by 5-foot field for smaller children.

There was discussion about the applicant possibly losing a field to accommodate the Commissioners' suggestion to expand the parking lot to the east.

Commissioner Knieriem asked what fields exist indoors.

The applicant responded that there is a 31,000 square foot turf field that sometimes gets separated into two smaller fields. He stated that the turf field can also be used for baseball and batting cages and that the upstairs has basketball courts and volleyball courts.

Christopher Gruba asked the applicant if he had a desire to combine all of the lots.

The applicant responded that yes, he would like to combine the lots.

There was discussion about ways to prevent balls from running off the property.

Commissioner James requested renderings to help visualize the project especially to prove why it could fit in an industrial setting.

Commissioner Jakubowski stated there is a need to implement fencing around the property since there have been accidents that have happened in Frankfort where a car goes over the curb.

The applicant asked if he is only allowed to put portable material in the front yard.

Commissioner Jakubowski responded it should be a permanent feature even if not necessarily a fence.

Commissioner James asked what the height of the building and the building addition was and echoed the need for a rendering to see how the building would look from different angles.

Robin Ersfeldt added that by expanding the proposed parking lot, the applicant would be alleviating the parking concern that Commissioners have since the parking lot would be able to accommodate the cars that currently park on the street.

Christopher Gruba asked the applicant to show the off-street parking spaces on Roma Court on the site plan the next time it is submitted.

Robin Ersfeldt responded that she will mark the on-street parking spaces.

Acting Chair Markunas asked the applicant if he had received adequate direction.

Steve Rotondi replied yes.

D. Workshop: 655 Center Road – King Heating & Cooling

Amanda Martinez presented the staff report. The applicant is proposing a building addition to the existing building.

Grant Currier, the project architect and President of Linden Group, approached the podium. He said that there was a typo on the application and the site plan did not have the north setback labeled. The setback from the existing (and proposed) building to the north property line is 5.7', not 10.5'. He said that the building was constructed in 1971. He said the Village's Zoning Ordinance was revised in 2001, at which point the existing building became non-conforming in several aspects. He said that as a corner lot, it's difficult to meet the required 50' setback from both streets. He noted that the rooftop mechanical units would be screened. He said that the buildings on Ontario Street have varying styles and materials that include CMU, brick, board & batten, metal, etc. He said that he is proposing brick on the side of the addition facing Ontario Street, but that the east and north sides of the building would be split-face CMU block. The brick would be slightly wrapped around

ENGINEERS SURVEYORS
737 West Exchange St. Crete, IL 60417
ph 708.672.4994 fax 708.672.3739

HARPER BUSINESS PARK

PLAT OF SUBDIVISION

BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

STATE OF ILLINOIS }
COUNTY OF } 28

MARK T. ILLIAMS DOES HEREBY CERTIFY THAT HE IS THE HOLDER OF RECORD TITLE TO THE HEREIN DESCRIBED PROPERTY AND THAT HE HAS CAUSED SAID PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN ON THE PLAT HEREON DRAWN.

DATED THIS _____ DAY OF _____, 2006.

BY: _____
MARK T. ILLIAMS

STATE OF ILLINOIS }
COUNTY OF } 28

I, THE UNDERSIGNED COUNTY CLERK IN AND FOR SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT SAID INSTRUMENT HAS BEEN FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK IN AND FOR SAID COUNTY IN THE STATE AFORESAID, AND THAT THE ORDER OF SAID PROPERTY IS BEING MAINTAINED TO THE EXTENT OF THE RECORDS OF SAID COUNTY CLERK'S OFFICE, AND THAT SAID INSTRUMENT IS BEING MAINTAINED AS A PUBLIC UTILITY, DRAINAGE AND STORM WATER DETENTION EASEMENT AS SHOWN ON THE PLAT HEREON DRAWN.

OWN UNDER BY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, A.D. 2006.
BY COMMISSION CHAIRMAN _____

NOTARY PUBLIC _____

STATE OF ILLINOIS }
COUNTY OF } 28

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE AFORESAID, HEREBY CERTIFY THAT _____ AND _____ WHO ARE PERSONALLY KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THE EXECUTION OF THIS INSTRUMENT TO BE THEIR ACT AND DEED AND PURPOSED TO BE THE ACT AND DEED OF SAID COUNTY FOR THE USES AND PURPOSES HEREIN SET FORTH.

OWN UNDER BY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, A.D. 2006.
BY COMMISSION CHAIRMAN _____

NOTARY PUBLIC _____

SCHOOLS DISTRICT CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF } 28

THIS IS TO CERTIFY THAT I, _____, AS OWNER OF THE PROPERTY HEREIN DESCRIBED IN THE SURVEYOR'S CERTIFICATE, AND KNOWN AS "HARPER BUSINESS PARK" SUBDIVISION, TO THE BEST OF MY KNOWLEDGE, IS LOCATED WITHIN THE BOUNDARIES OF THE _____ (GRADE SCHOOL DISTRICT) AND _____ (HIGH SCHOOL DISTRICT) IN WILL COUNTY, ILLINOIS.

DATED THIS _____ DAY OF _____, 2006.

BY: OWNER _____

RECORDED
STATE OF ILLINOIS }
COUNTY OF WILL } 28

THIS INSTRUMENT NO. _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF WILL COUNTY AFORESAID ON THE _____ DAY OF _____, A.D. 2006, AT _____ O'CLOCK _____ M., AND RECORDED IN BOOK OF PLATS AT PAGE _____.

WILL COUNTY RECORDER _____

COUNTY CLERK
STATE OF ILLINOIS }
COUNTY OF WILL } 28

THIS IS TO CERTIFY THAT I FIND NO DELINQUENT OR UNPAID CURRENT TAXES OR SPECIAL ASSESSMENTS AGAINST ANY OF THE REAL ESTATE DESCRIBED IN THE FOREGOING CERTIFICATE.

DATED THIS _____ DAY OF _____, A.D. 2006.

WILL COUNTY CLERK _____

TAX MAPS
STATE OF ILLINOIS }
COUNTY OF WILL } 28

I, _____, DIRECTOR OF THE TAX MAPPING AND PLATTING OFFICE DO HEREBY CERTIFY THAT I HAVE CHECKED THE PROPERTY DESCRIPTION ON THIS PLAT AGAINST AVAILABLE COUNTY RECORDS AND FIND SAID DESCRIPTION TO BE TRUE AND CORRECT. THE PROPERTY HEREIN DESCRIBED IS LOCATED ON TAX MAP # _____ AND IDENTIFIED AS PERMANENT REAL ESTATE TAX INDEX NUMBER (PIN) _____.

DATED THIS _____ DAY OF _____, A.D. 2006.

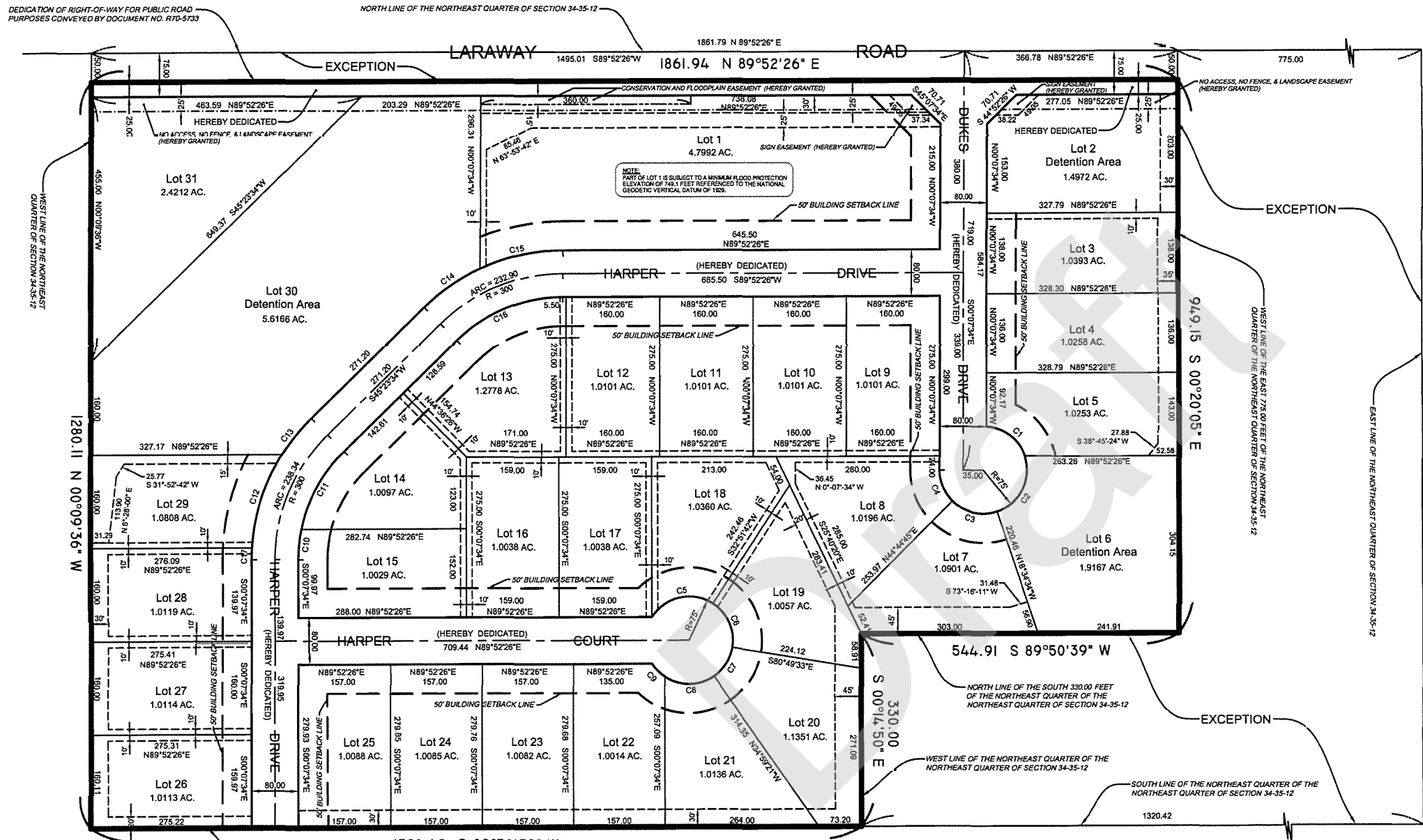
DIRECTOR _____

CERTIFICATE OF COUNTY BOUNDARY
STATE OF ILLINOIS }
COUNTY OF WILL } 28

I HEREBY CERTIFY THAT I FIND NO DEFERRED INSTALLMENTS OF OUTSTANDING UNPAID SPECIAL ASSESSMENTS DUE AGAINST THE PROPERTY DESCRIBED HEREON.

APPROVED THIS _____ DAY OF _____, A.D. 2006.
AS TO ROADWAY ACCESS TO COUNTY HIGHWAY 74, ALSO KNOWN AS LARAWAY ROAD.

WILL COUNTY ENGINEER _____



NOTE:
LOTS 2, 8, 30 AND 31 SHALL BE OWNED AND MAINTAINED BY A PROPERTY OWNERS ASSOCIATION.

NOTE:
ALL OF LOTS 2, 6 AND 30 ARE DESIGNATED AS A PUBLIC UTILITY, DRAINAGE AND STORM WATER DETENTION EASEMENT.

NOTE:
UNLESS OTHERWISE NOTED ALL EASEMENTS SHOWN ARE HEREBY GRANTED AS PUBLIC UTILITY AND DRAINAGE EASEMENTS.

PROPERTY INDEX NUMBER

09-34-200-010
09-34-200-015

JOB NO. 03007

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	88.38	75.00	67°30'52"	83.35	N52°32'47"W
C2	118.09	75.00	90°12'47"	106.26	N26°19'03"E
C3	82.89	75.00	63°19'18"	78.73	S76°54'55"E
C4	59.07	75.00	45°07'42"	57.56	S22°41'25"E
C5	118.80	75.00	90°45'25"	106.76	S77°29'00"W
C6	86.80	75.00	66°18'44"	82.04	N23°58'56"W
C7	60.00	75.00	45°50'12"	58.41	N32°05'33"E
C8	89.54	75.00	68°24'24"	84.32	N89°12'51"E
C9	31.71	75.00	24°13'31"	31.48	S44°28'11"E
C10	52.38	260.00	11°32'33"	52.29	S05°38'43"W
C11	154.18	260.00	33°58'34"	151.93	S28°24'16"W
C12	169.68	340.00	28°35'39"	167.93	S17°32'51"W
C13	80.40	340.00	13°32'53"	80.21	S38°37'07"W
C14	116.83	340.00	19°41'17"	116.26	S55°14'12"W
C15	147.13	340.00	24°47'35"	145.98	S77°28'38"W
C16	201.85	260.00	44°28'52"	196.82	S67°38'00"W
C17	20.04	340.00	3°22'35"	20.03	N01°33'44"E

EASEMENT PROVISIONS

AN EASEMENT FOR SERVICE OF THE SUBDIVISION AND ADJACENT PROPERTY WITH ELECTRIC AND COMMUNICATIONS LINES IS HEREBY GRANTED FOR THE FOLLOWING PURPOSES:

TECH 3 CONSULTING GROUP, INC. DO HEREBY CERTIFY THAT AT THE REQUEST OF HARPER BUSINESS PARK, LLC WE HAVE MADE A SURVEY OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS, AND THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS, TO BE SUBDIVIDED AS SHOWN ON THE PLAT HEREON DRAWN.

WE FURTHER CERTIFY THAT WE HAVE SUBDIVIDED SAID TRACT INTO LOTS AND EASEMENTS ALL AS SHOWN ON THE HEREIN DRAWN PLAT ENTITLED "HARPER BUSINESS PARK" IN WILMINGTON, ILLINOIS. WE HAVE SET BORN BOUNDS AT ALL LOT CORNERS AND PORTS OF CURVATURE.

THE AREA COVERED BY THIS PLAT IS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF PRANSFORD, ILLINOIS, CONTAINING 60.8540 ACRES, MORE OR LESS.

AN EXAMINATION HAS BEEN MADE OF THE FLOOD INSURANCE RATE MAP OF THE NATIONAL FLOOD INSURANCE PROGRAM FOR THE AREA OF WILL COUNTY, ILLINOIS, BEING MAP NUMBER 171900000E - EFFECTIVE DATE SEPTEMBER 8, 1980. THE NATIONAL FLOOD INSURANCE PROGRAM HAS DETERMINED THAT PART OF LOT 1 IS DESIGNATED AS "ZONE A" DEFINED AS NO BASE FLOOD ELEVATIONS DETERMINED. THE REMAINDER OF THE ABOVE DESCRIBED PROPERTY IS DESIGNATED AS "ZONE X" DEFINED AS AREAS TO BE OUTSIDE 500-YEAR FLOOD PLAIN. THIS STATEMENT IS FOR FLOOD INSURANCE PURPOSES ONLY AND DOES NOT NECESSARILY INDICATE ALL AREAS SUBJECT TO FLOODING.

WE FURTHER CERTIFY THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED HEREON AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

SIGNED AND SEALED THIS 6TH DAY OF SEPTEMBER, A.D. 2006.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 5430
LICENSE EXPIRES NOVEMBER 30, 2006
ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-002235

STATE OF ILLINOIS }
COUNTY OF WILL } 28

STATE OF ILLINOIS }
COUNTY OF WILL } 28

WE, TECH 3 CONSULTING GROUP, INC. DO HEREBY CERTIFY THAT AT THE REQUEST OF HARPER BUSINESS PARK, LLC WE HAVE MADE A SURVEY OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS, AND THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS, TO BE SUBDIVIDED AS SHOWN ON THE PLAT HEREON DRAWN.

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THE AREA COVERED BY THIS PLAT IS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF PRANSFORD, ILLINOIS, CONTAINING 60.8540 ACRES, MORE OR LESS.

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WE FURTHER CERTIFY THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED HEREON AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

SIGNED AND SEALED THIS 6TH DAY OF SEPTEMBER, A.D. 2006.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 5430
LICENSE EXPIRES NOVEMBER 30, 2006
ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-002235

RECEIVED

By Christopher Gruba at 12:08 pm, Sep 11, 2023

PRELIMINARY ENGINEERING PLANS FOR ROMA SPORTS CLUB

AT
9115 ROMA COURT
VILLAGE OF FRANKFORT
WILL COUNTY, ILLINOIS

INDEX		REVISIONS						
CIVIL ENGINEERING PLANS		1	2	3	4	5	6	7
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C-2	GEOMETRIC PLAN							
C-3	GRADING AND UTILITY PLAN							
C-4	PROJECT DETAILS							
C-5	PROJECT SPECIFICATIONS							
SUPPORTING DOCUMENTS		REVISIONS						
1 of 1	PLAT OF SURVEY	1	2	3	4	5	6	7
L-1	LANDSCAPE PLAN							
1 of 2	PHOTOMETRIC PLAN							
2 of 2	PHOTOMETRIC PLAN							

NOTE: THE DESIGNS CONTAINED IN THE ABOVE PLANS AND SUPPORTING DOCUMENTS WERE PREPARED WITH THE UNDERSTANDING THAT THEY WOULD BE USED AS A WHOLE PLAN SET. EACH CONSTRUCTION DISCIPLINE IS TO USE ALL THE PLANS AND SUPPORTING DOCUMENTS TOGETHER AS A WHOLE AND NOT AS SEPARATE DOCUMENTS. EACH CONTRACTOR IS TO BECOME COMPLETELY FAMILIAR WITH THE WHOLE PLAN SET AND THE EXISTING SITE CONDITIONS. SHOULD ANYTHING WITH ALL THESE PLANS AND SUPPORTING DOCUMENTS BE INCONSISTENT WITH THE SITE CONDITIONS THEN THE CONTRACTOR IS TO CONTACT THE ENGINEER IMMEDIATELY BEFORE ANY CONSTRUCTION IS STARTED.



LEGEND			
DESCRIPTION	PROPOSED	DESCRIPTION	PROPOSED
CATCH BASIN		DEPRESSED CURB	
INLET		CONTOUR LINE	
STORM MANHOLE		FINISHED FLOOR ELEVATION	FF
SANITARY MANHOLE		PAVEMENT ELEVATION	P
VALVE VAULT		MATCH EXISTING ELEVATION	ME
FIRE HYDRANT		GROUND ELEVATION	G
FLARED END SECTION		TOP OF WALK ELEVATION	TW
OVERHEAD ELECTRIC WIRES	-CHW-	TOP OF RETAINING WALL ELEVATION	TRW
TRANSFORMER PAD		FLOW LINE ELEVATION	FL
TELEPHONE PEDESTAL		TOP OF CURB ELEVATION	TC
TELEPHONE MANHOLE		RIM ELEVATION	R
CABLE TELEVISION PEDESTAL		DOWNSPOUT LOCATION	D.S.
COMMONWEALTH EDISON MANHOLE		PERVIOUS AREA SLOPE DIRECTION	
B/BOX		PAVEMENT SLOPE DIRECTION	
LIGHT POLE		OVERLAND OVERFLOW DIRECTION	
SIGN		INLET PROTECTION	
BOLLARD POLE		INLET BASKET FILTER	
WATER MAIN		WOOD FENCE	
GAS MAIN		CHAIN LINK FENCE	
ELECTRIC LINE		METAL GUARDRAIL	
TELEPHONE LINE		CONCRETE SURFACE	
CABLE TV LINE			
SANITARY SEWER			
STORM SEWER			
GUY POLE			
EXISTING			
		EXIST. LIGHT POLE	
		EXIST. SANITARY MANHOLE	
		EXIST. FIRE HYDRANT	
		EXIST. POWER POLE	
		EXIST. MANHOLE	
		EXIST. STORM SEWER INLET	
		EXIST. WATER VALVE & VAULT	
		EXIST. WATER VALVE	
		EXIST. WATER LINE	
		EXIST. STORM SEWER LINE	
		EXIST. SAN SEWER LINE	
		EXIST. CURB & GUTTER	
		EXIST. BARRIER CURB	
		EXIST. FENCE LINE	
		EXIST. UTILITY PEDESTAL	
		EXIST. STEEL GUARD RAIL	
		DECIDUOUS TREE	

BENCHMARK	
REFERENCE BENCHMARK	NAVD 88
VILLAGE OF FRANKFORT CONTROL MONUMENT STATION NAME 934 LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION AT CENTER ROAD AND STEGER ROAD. TOP OF IRON ROD IN PVC PIPE.	ELEVATION = 785.26
SITE BENCHMARKS	
1. TOP OF CUT CROSS IN CURB AT EXISTING FIRE HYDRANT LOCATED ON SOUTH SIDE OF ROMA COURT APPROXIMATELY 230 FEET EAST OF HANNAH DRIVE.	ELEVATION = 758.76
2. TOP OF ARROW BOLD AT EXISTING FIRE HYDRANT LOCATED ON SOUTH SIDE OF ROMA COURT APPROXIMATELY 486 FEET EAST OF HANNAH DRIVE.	ELEVATION = 762.89

Know what's **Below.**
Call before you dig.



STATE OF ILLINOIS) SS
COUNTY OF KANE)

I, JEFFREY C. MILLER, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE CIVIL ENGINEERING PLANS, NOT THE SUPPORTING DOCUMENTS, AS LISTED IN THE INDEX, HAVE BEEN PREPARED BY WATERMARK ENGINEERING RESOURCES, LTD. UNDER MY PERSONAL DIRECTION. THESE PLANS ARE INTENDED TO BE USED AS AN INTEGRAL PART OF THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATE: _____
ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 62-045858.
MY LICENSE EXPIRES ON 11-30-23.

UNLESS THIS DOCUMENT BEARS ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE DESIGN ENGINEER, IT IS NOT A VALID DOCUMENT.

ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.002969

COVER SHEET

XPRESS HOLDINGS, L.L.C.
9115 Roma Court
Frankfort, IL 60423
ROMA SPORTS COMPLEX
9115 Roma Court
Frankfort, Illinois 60423

Prepared By:



CHECKED BY: J. MILLER
DESIGN BY: R. ERSFELD
DRAWN BY: R. ERSFELD
DATE: JULY 18, 2023
SCALE: NONE
PROJECT NO.: 23-017

C-1

COVER SHEET

REFERENCE BENCHMARK
NAVD 88

VILLAGE OF FRANKFORT CONTROL MONUMENT STATION NAME
934 LOCATED AT THE NORTHEAST CORNER OF THE
INTERSECTION AT CENTER ROAD AND STEGER ROAD. TOP OF
IRON ROD IN PVC PIPE. ELEVATION = 785.26

SITE BENCHMARKS

1. TOP OF CUT CROSS IN CURB AT EXISTING FIRE HYDRANT
LOCATED ON SOUTH SIDE OF ROMA COURT APPROXIMATELY
230 FEET EAST OF HANNAH DRIVE. ELEVATION = 758.76
2. TOP OF ARROW BOLD AT EXISTING FIRE HYDRANT LOCATED
ON SOUTH SIDE OF ROMA COURT APPROXIMATELY 486 FEET
EAST OF HANNAH DRIVE. ELEVATION = 762.89

STORMWATER SUMMARY:

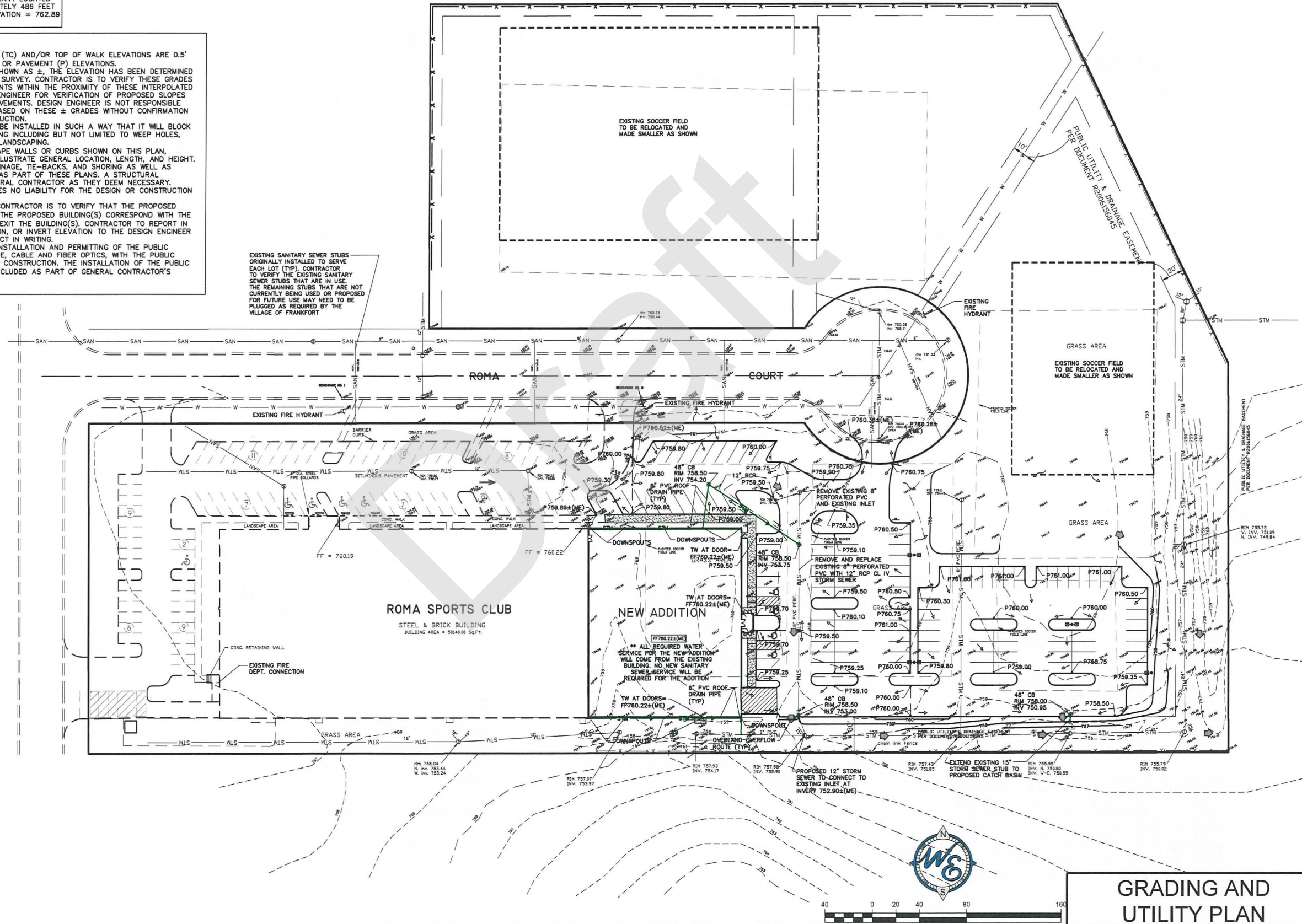
PER THE "ROMA SPORTS COMPLEX" CIVIL ENGINEERING PLANS PREPARED BY MCBRIDE
ENGINEERING, INC. DATED 2-5-15, THE DRAINAGE FOR THE AREA THAT IS NOW THE PROPOSED
BUILDING ADDITION AND PARKING LOT WAS ORIGINALLY DESIGNED TO DRAIN INTO THE EXISTING
PERFORATED PVC PIPES BETWEEN THE EXISTING SOCCER FIELDS AND EVENTUALLY TO THE
EXISTING 15" STORM SEWER THAT IS LOCATED IN THE DRAINAGE EASEMENT ALONG THE EAST
AND SOUTH SIDES OF THE SITE. THE EXISTING 15" STORM SEWER ULTIMATELY OUTLETS TO THE
EAST AND INTO AN EXISTING DETENTION FACILITY PROVIDED ON LOT 6 OF THE EAST POINT PARK
SUBDIVISION. THE PROPOSED PLANS FOR THE BUILDING ADDITION AND NEW PARKING LOT MEET
THE ORIGINAL DESIGN INTENT AS SHOWN.

GENERAL NOTES:

1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY
(SURVEY PROJECT #88839-23 DATED 06/14/23)
PREPARED BY: ASSOCIATED SURVEYING GROUP, LLC.
1 PALOS COURT, BOLINGBROOK, IL 60440
(630) 759-0205
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE
DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY
ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND
SPECIFICATIONS.

GRADING AND UTILITY PLAN NOTES:

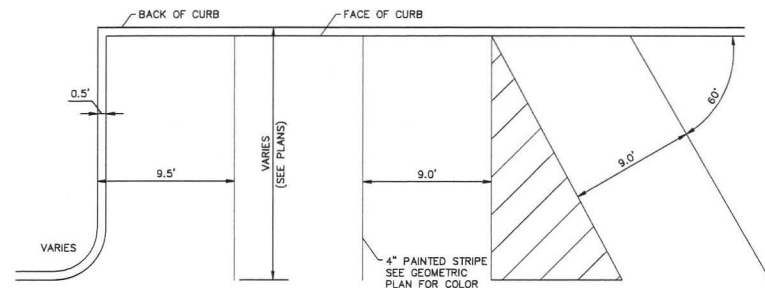
1. UNLESS OTHERWISE SPECIFIED, TOP OF CURB (TC) AND/OR TOP OF WALK ELEVATIONS ARE 0.5'
HIGHER THAN THE ADJACENT FLOW LINE (FL) OR PAVEMENT (P) ELEVATIONS.
2. IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS ±, THE ELEVATION HAS BEEN DETERMINED
BASED ON INTERPOLATED GRADES FROM THE SURVEY. CONTRACTOR IS TO VERIFY THESE GRADES
PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED
GRADES AND REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES
PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE
FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE ± GRADES WITHOUT CONFIRMATION
OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.
3. PAVING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK
THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO WEEP HOLES,
WICKS, DRAINAGE SCUPPERS OR PIPES, AND LANDSCAPING.
4. ALL RETAINING AND/OR DECORATIVE LANDSCAPE WALLS OR CURBS SHOWN ON THIS PLAN,
INCLUDING DETAILS AND SECTIONS, ARE TO ILLUSTRATE GENERAL LOCATION, LENGTH, AND HEIGHT.
STRUCTURAL DESIGN, INCLUDING PROPER DRAINAGE, TIE-BACKS, AND SHORING AS WELL AS
CONSTRUCTION MEANS ARE NOT ADDRESSED AS PART OF THESE PLANS. A STRUCTURAL
ENGINEER SHOULD BE ENGAGED BY THE GENERAL CONTRACTOR AS THEY DEEM NECESSARY.
WATERMARK ENGINEERING RESOURCES ASSUMES NO LIABILITY FOR THE DESIGN OR CONSTRUCTION
OF ANY STRUCTURAL ELEMENT.
5. PRIOR TO CONSTRUCTION OF ANY UTILITIES, CONTRACTOR IS TO VERIFY THAT THE PROPOSED
UTILITIES SHOWN ON THIS PLAN THAT ENTER THE PROPOSED BUILDING(S) CORRESPOND WITH THE
UTILITIES ON THE PLUMBING PLANS AS THEY EXIT THE BUILDING(S). CONTRACTOR TO REPORT IN
WRITING ANY DISCREPANCIES IN SIZE, LOCATION, OR INVERT ELEVATION TO THE DESIGN ENGINEER
IMMEDIATELY FOR RESOLUTION OF THE CONFLICT IN WRITING.
6. GENERAL CONTRACTOR TO COORDINATE THE INSTALLATION AND PERMITTING OF THE PUBLIC
UTILITIES, SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE AND FIBER OPTICS, WITH THE PUBLIC
UTILITY COMPANIES AND ARCHITECT PRIOR TO CONSTRUCTION. THE INSTALLATION OF THE PUBLIC
UTILITIES AND NECESSARY SLEEVING TO BE INCLUDED AS PART OF GENERAL CONTRACTOR'S
SCOPE OF WORK FOR THIS PROJECT.



DATE	8/6/2023
REVISIONS	REVISIONS PER VILLAGE OF FRANKFORT
NO.	1
Prepared For:	
Xpress Holdings, LLC. 9115 Roma Court Frankfort, IL 60423 ROMA SPORTS COMPLEX 9115 Roma Court Frankfort, Illinois 60423	
Prepared By:	
J. Miller R. Ersfeldt R. Ersfeldt DATE: JULY 18, 2023 SCALE: 1" = 40' PROJECT NO.: 23-017	
watermark-engineering.com 2631 Ginger Woods Pkwy Aurora, IL 60502 (630) 375-1800	
Checked By: J. MILLER Design By: R. ERSFELDT Drawn By: R. ERSFELDT Date: JULY 18, 2023 Scale: 1" = 40' Project No.: 23-017	
C-3	

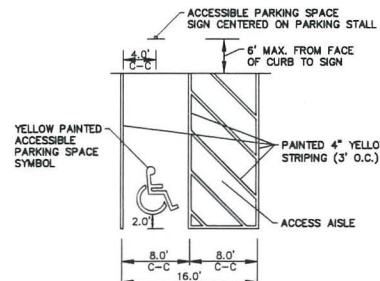
GRADING AND UTILITY PLAN

GRADING AND UTILITY PLAN

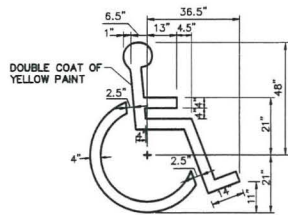


- NOTES:
1. PARKING STALLS ARE 9' APART, STARTING FROM FACE OF CURB TO PAINTED STRIPE.
 2. FACE OF CURB DIMENSION IS 6" FROM BACK OF CURB. THE EDGE OF PAVEMENT IS 12" FROM FACE OF CURB.

PARKING STALLS WITH BARRIER CURB (TYP.)

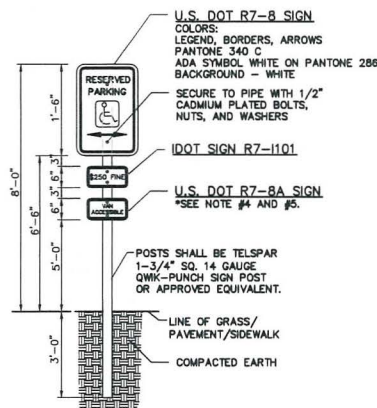


ACCESSIBLE PARKING SPACE DETAIL



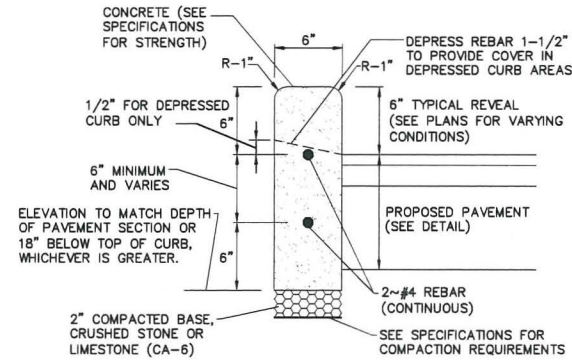
ACCESSIBLE PARKING SPACE SYMBOL

1. SYMBOL IS CENTERED ON WIDTH OF PARKING STALL AND 2' FROM THE END OF THE STALL.



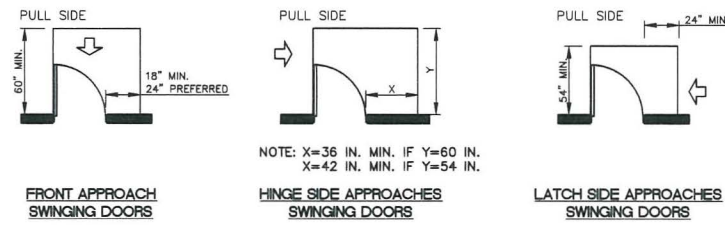
1. WHERE A FINE IN EXCESS OF \$250 IS ESTABLISHED BY A MUNICIPALITY BY ORDINANCE IN ACCORDANCE WITH THE STATUTES, THE ACTUAL AMOUNT OF THE FINE SHOULD BE SHOWN.
2. THIS PLATE MAY BE MOUNTED DIRECTLY BELOW THE R7-8 SIGN OR COMBINED WITH THAT SIGN ON A SINGLE 12 INCH BY 24 INCH PANEL.
3. ON THE RESERVED PARKING SIGN, THE ARROW SHOULD BE OMITTED WHERE THERE IS ONLY ONE SPACE. THE ARROW MAY ALSO BE MADE TO POINT IN ONLY ONE DIRECTION. THE ARROW MAY ALSO BE REPLACED BY "TIME" SUCH AS 9 AM-5 PM WHERE A PART TIME RESTRICTION EXISTS.
4. ONE IN EVERY SIX ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE 8 FEET WIDE MINIMUM AND SHALL BE DESIGNATED "VAN ACCESSIBLE".
5. THE LOWEST BOTTOM EDGE OF THE LOWEST REQUIRED SIGN SHALL BE MOUNTED AT 60" ABOVE FINISHED GRADE.
6. COLORS FOR BOTH DOT SIGN R7-1101 AND US DOT R7-8A, LEGEND, BORDERS AND ARROWS TO BE GREEN, NON-REFLECTORIZED (PANTONE 340C) BACKGROUND-WHITE REFLECTORIZED

ACCESSIBLE PARKING SPACE SIGN DETAIL

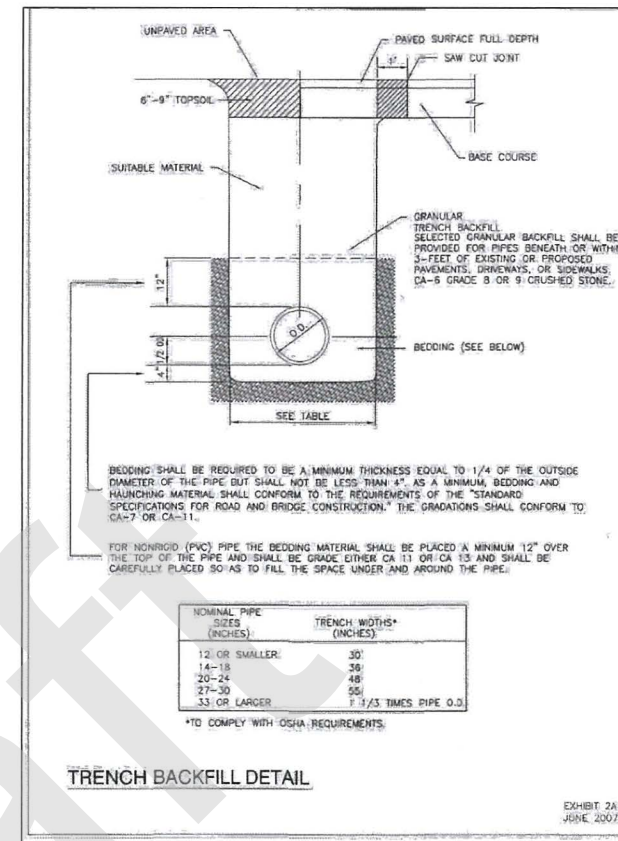


TYPE 'C' BARRIER CURB

1. PROVIDE 1/2" EXPANSION JOINTS EVERY 45' O.C.
2. PROVIDE HAND TOOLED CONTRACTION JOINTS EVERY 15' O.C.



TYPICAL ACCESSIBLE LANDING AREA DETAIL

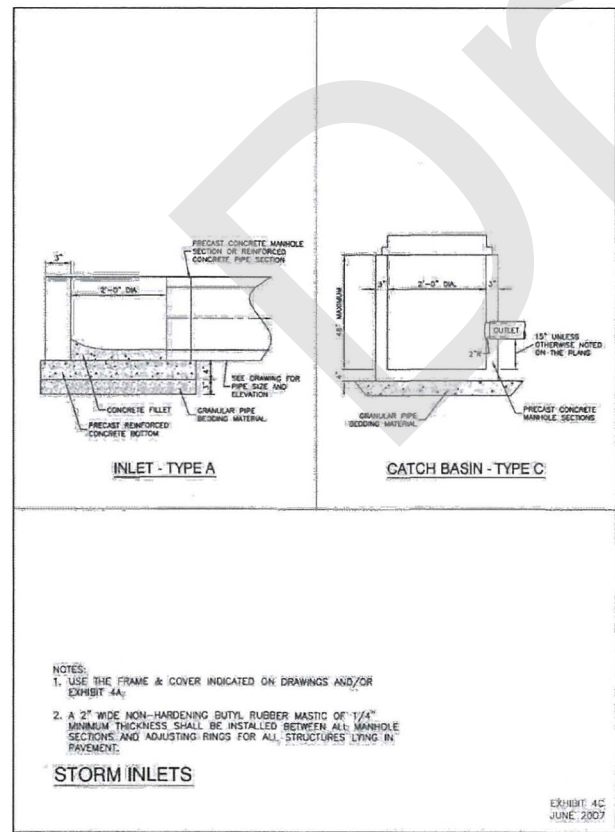


NOMINAL PIPE SIZES (INCHES)	TRENCH WIDTHS* (INCHES)
12 OR SMALLER	30"
14-18	36"
20-24	48"
27-30	55"
33 OR LARGER	1 1/3 TIMES PIPE O.D.

*TO COMPLY WITH OSHA REQUIREMENTS.

TRENCH BACKFILL DETAIL

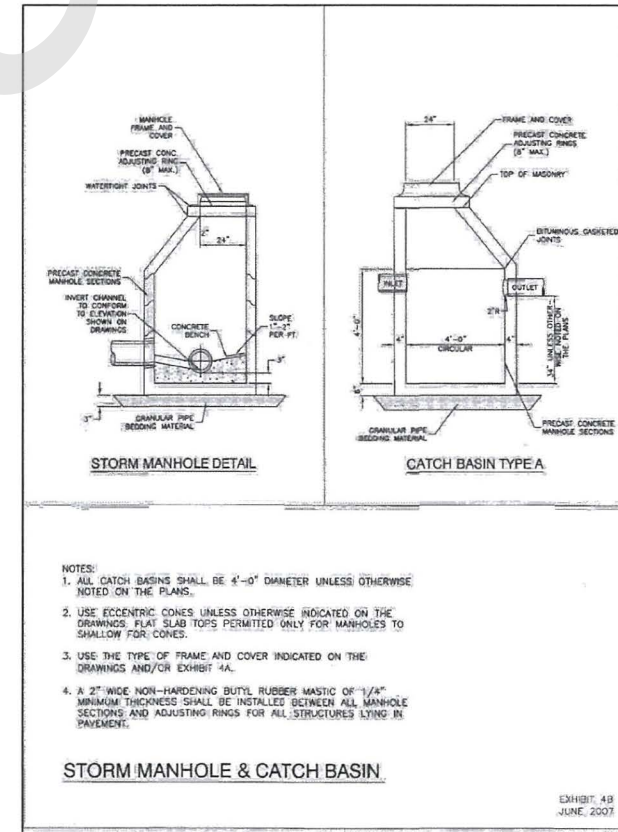
EXHIBIT 2A
JUNE 2007



- NOTES:
1. USE THE FRAME & COVER INDICATED ON DRAWINGS AND/OR EXHIBIT 4A.
 2. A 2" WIDE NON-HARDENING BUTYL RUBBER MASTIC OF 1/4" MINIMUM THICKNESS SHALL BE INSTALLED BETWEEN ALL MANHOLE SECTIONS AND ADJUSTING RINGS FOR ALL STRUCTURES LYING IN PAVEMENT.

STORM INLETS

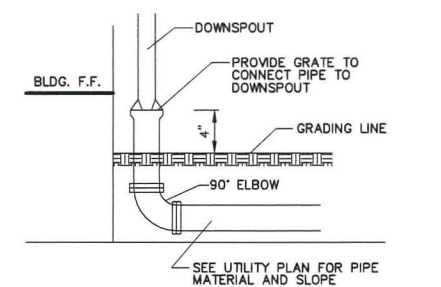
EXHIBIT 4C
JUNE 2007



- NOTES:
1. ALL CATCH BASINS SHALL BE 4'-0" DIAMETER UNLESS OTHERWISE NOTED ON THE PLANS.
 2. USE ECCENTRIC CONES UNLESS OTHERWISE INDICATED ON THE DRAWINGS. FLAT SLAB TOPS PERMITTED ONLY FOR MANHOLES TO SHALLOW FOR CONES.
 3. USE THE TYPE OF FRAME AND COVER INDICATED ON THE DRAWINGS AND/OR EXHIBIT 4A.
 4. A 2" WIDE NON-HARDENING BUTYL RUBBER MASTIC OF 1/4" MINIMUM THICKNESS SHALL BE INSTALLED BETWEEN ALL MANHOLE SECTIONS AND ADJUSTING RINGS FOR ALL STRUCTURES LYING IN PAVEMENT.

STORM MANHOLE & CATCH BASIN

EXHIBIT 4B
JUNE 2007



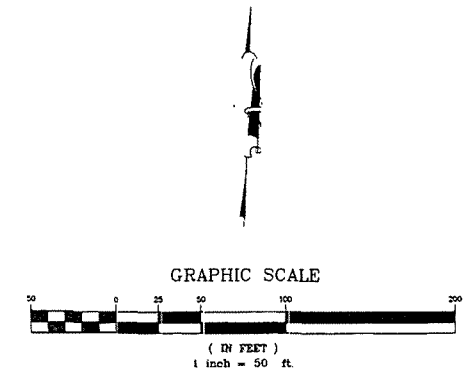
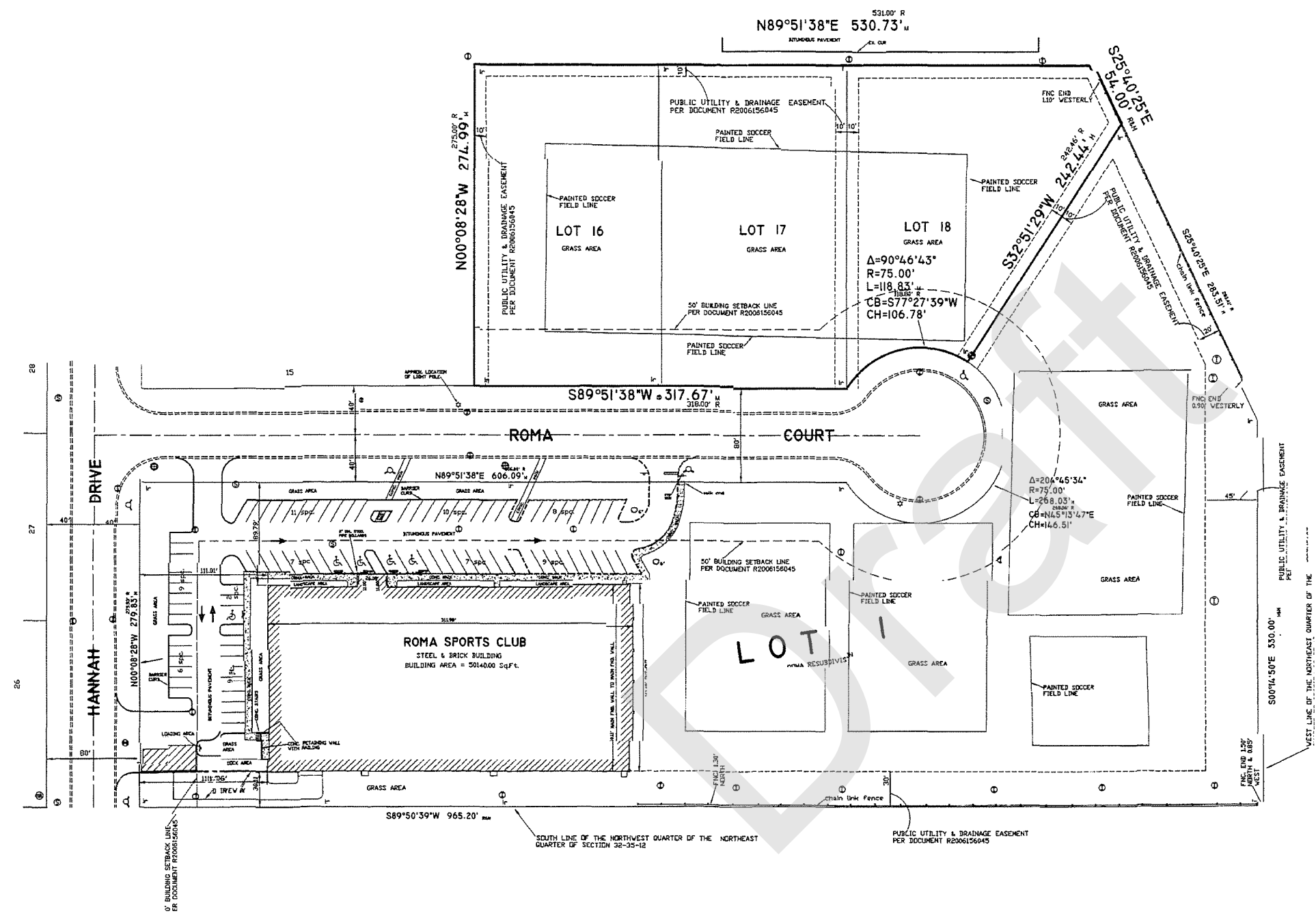
DOWNSPOUT CONNECTION DETAIL

PROJECT DETAILS

DATE	REVISED
REVISIONS	NO REVISIONS
NO.	1
Prepared For:	XPRESS HOLDINGS, LLC. 9115 Roma Court Frankfort, IL 60423
Prepared By:	ROMA SPORTS COMPLEX 9115 Roma Court Frankfort, Illinois 60423
CHECKED BY:	J. MILLER
DESIGN BY:	R. ERSFELDT
DRAWN BY:	R. ERSFELDT
DATE:	JULY 18, 2023
SCALE:	NONE
PROJECT NO.:	23-017
PROJECT DETAILS	
C-4	

PLAT OF SURVEY

LOTS 16 THROUGH 18 BOTH INCLUSIVE IN EAST POINT PARK, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 15, 2006 AS DOCUMENT R2006-156045, IN WILL COUNTY, ILLINOIS.



ASSOCIATED SURVEYING GROUP, LLC
 Illinois Prof. Design Firm No. 184-004973
 P.O. BOX 810 BOLLINGBROOK, IL 60440
 PH (630) 759-0205 FAX (630) 759-9291

FIELDWORK DATE: 6-14-23
 CLIENT: ROMA SPORTS CLUB
 JOB NO: 88839-23

811 Know what's below. Call before you dig.
 CALL 48 HOURS BEFORE YOU DIG
 (EXCLUDING SAT., SUN. & HOL.)
 CALL 811 or 1-800-892-0123

NOTE:
 NO UTILITIES LOCATED ON THIS DRAWING
 FOR UTILITY INFORMATION CALL J.U.L.T.E.
 PRIOR TO ANY EXCAVATION.

LEGEND	
(X)	EXIST. LIGHT POLE
(S)	EXIST. SANITARY MANHOLE
(F)	EXIST. FIRE HYDRANT
(P)	EXIST. POWER POLE
(M)	EXIST. MANHOLE
(SI)	EXIST. STORM SEWER INLET
(SV)	EXIST. WATER VALVE & VAULT
(V)	EXIST. WATER VALVE
(W)	EXIST. WATER LINE
(SS)	EXIST. STORM SEWER LINE
(S)	EXIST. SAN SEWER LINE
(C)	EXIST. CURB & GUTTER
(F)	EXIST. FENCE LINE
(U)	EXIST. UTILITY REDESTAL.
(G)	EXIST. STEEL GUARD RAIL
(B)	EXIST. BARRIER CURB
(T)	DECIDUOUS TREE

STATE OF ILLINOIS)
 COUNTY OF WILL) SS

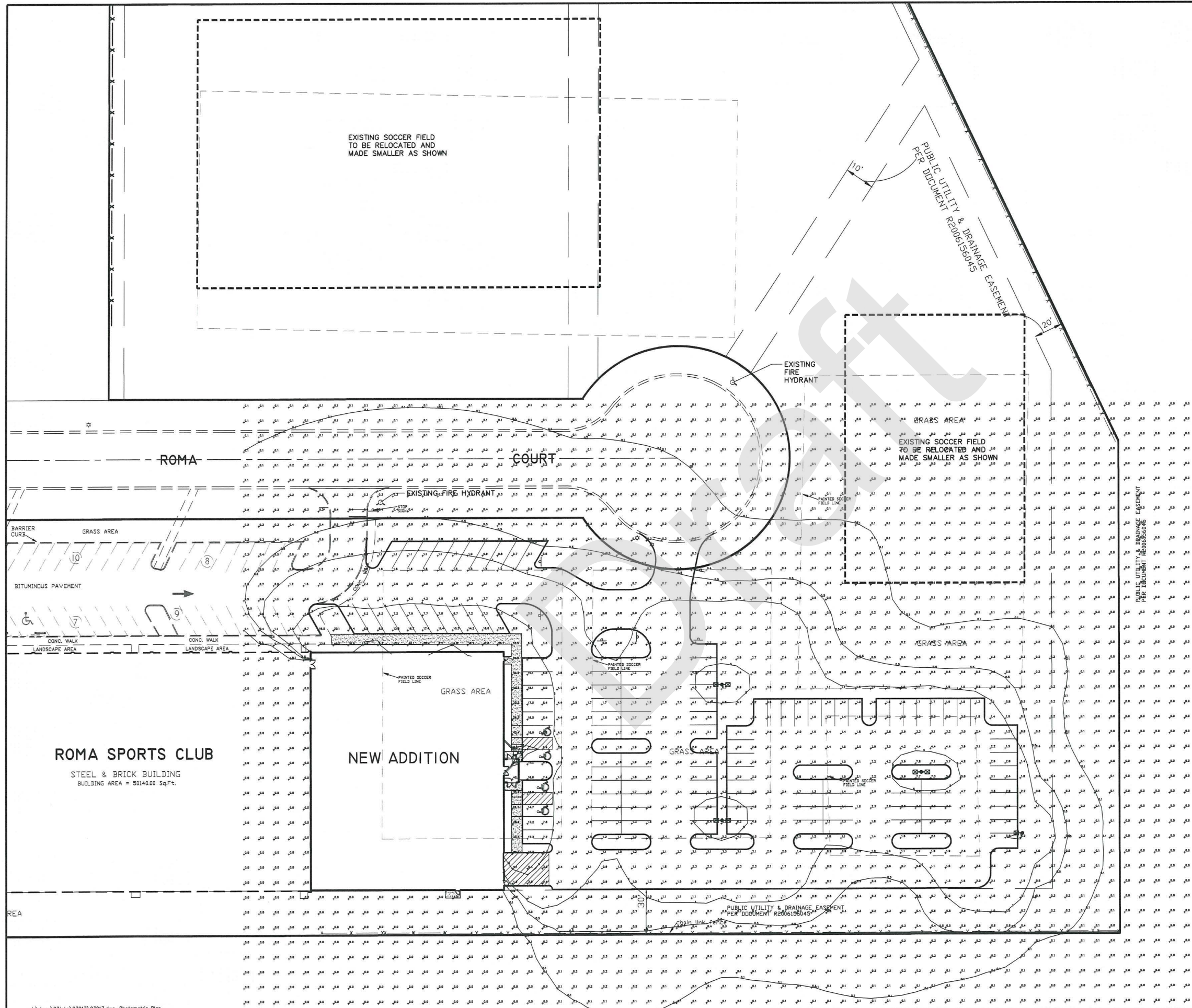
I, Michael G. Hervey, an Illinois Professional Land Surveyor, do hereby certify that "This professional service conforms to the current Illinois minimum standards for a boundary survey", and that the Plat herein drawn is a correct representation of said survey.

Dated, this 17th day of July, 2023 A.D., at Bollingbrook, IL

Michael G. Hervey
 Illinois Professional Land Surveyor No. 0392950 License Expires 11-30-24

FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, TITLE POLICY, ORDINANCE, ETC.





GENERAL NOTES:
 1. THESE PLANS ARE BASED ON THE PLAT OF SURVEY (SURVEY PROJECT #88839-23 DATED 04/26/23) PREPARED BY: ASSOCIATED SURVEYING GROUP, LLC. 1 PALOS COURT, BOLINGBROOK, IL 60440 (630) 759-0205
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

QUANTITIES

FIXTURE TYPE:	SYMBOL	QUANTITY
DSX2 LED P1 40K 80CRI T4M DBLXD		7
LEDMPAL-39L-4K-T5-120V (MOUNTING ANGLE = 60 DEG.)		7
POLE TYPE:	SYMBOL	QUANTITY
SSA-17-DBLXD		4

PHOTOMETRIC SUMMARY

PARKING LOT AREA:

AVERAGE	2.9
MAXIMUM	19.7
MINIMUM	0.4
AVG/MIN	7.3:1

- NOTES:**
- THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE CRITERIA SHOWN IN THE "QUANTITIES" NOTE, LOCATED ON THIS SHEET. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF WATERMARK ENGINEERING RESOURCES, LTD.
 - MOUNTING HEIGHT OF FIXTURES
 WALL = 15.5'
 POLE = 20'
 POLE MOUNTING HEIGHT INCLUDES A 3' HIGH CONCRETE BASE, TO BE PROVIDED BY THE CONTRACTOR AS PART OF THIS PLAN, AND A 17' HIGH POLE.
 - DISTANCE BETWEEN READINGS 10'
 - FOOTCANDLE LEVELS SHOWN ARE MAINTAINED. MAINTENANCE FACTOR USED ON THIS DRAWING IS 1.0
 - FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.
 - HOUSE SIDE SHIELDS ARE NOT ALWAYS ABLE TO BE MODELED DUE TO THE UNAVAILABILITY OF THE PROPER JES FILES. IN THESE INSTANCES OTHER MANUAL ACCOMMODATIONS MAY BE MADE DURING THE MODELING PROCESS TO SIMULATE CUT OFF AT PROPERTY LINES OR ELSEWHERE.
 - CONTRACTOR TO VERIFY PROPER ORDERING INFORMATION INCLUDING BUT NOT LIMITED TO, VOLTAGE AND MOUNTING, PRIOR TO ORDERING OR INSTALLING SPECIFIED LUMINAIRES AND/OR POLES. ALL LIGHT FIXTURES TO BE FULL CUT OFF.
 - LOCATE WALL PACKS AS NOTED. CONTRACTOR SHALL FIELD ADJUST MOUNTINGS ON BUILDING TO DETERMINE A UNIFORM HEIGHT AND SPACING. WALL PACKS SHALL BE PLACED IN A SYMMETRICAL PATTERN TO MATCH BUILDING ARCHITECTURE AND FINAL LOCATION SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO INSTALLATIONS.
 - ALL LIGHTING INSTALLATION AND ASSOCIATED WORK SHALL MEET BUILDING AND ELECTRICAL CODES.
 - CONTRACTOR IS RESPONSIBLE TO VERIFY AND CONFIRM MATERIALS AND LABOR FOR ALL ELECTRICAL SOURCES, CONDUIT, SLEEVES, CONCRETE FOUNDATIONS, POLES, LUMINAIRES, AND ALL NECESSARY PARTS FOR PROPER LIGHTING INSTALLATIONS. ALL PROPOSED LIGHTING WORK SHALL NOT INTERFERE OR INTERRUPT EMERGENCY INGRESS AND EGRESS LIGHTING FIXTURES OR SECURITY SYSTEMS.
 - PROPOSED LIGHTING SHALL INCLUDE PHOTOCELL ON/OFF SWITCHING. CONTRACTOR TO VERIFY IF ANY LIGHTS NEED MANUAL OR WIRELESS ON/OFF SWITCHES WITH OWNER'S REPRESENTATIVE.
 - THIS PLAN IS FOR LIGHTING PERFORMANCE. ALL MEANS, METHODS, AND ASSOCIATED EQUIPMENT IS THE RESPONSIBILITY OF THE INSTALLER TO DETERMINE AND AT THEIR DISCRETION. ALL INSTALLATIONS SHALL BE COMPLETE AND FINISHED. ANY GAPS OR EXPOSED MOUNTINGS WILL BE REJECTED.
 - ALL PROPOSED CONDUIT AND WIRE SERVICES SHALL BE CONCEALED AND HIDDEN SO AS NOT TO BE SEEN OR VISUALLY NOTICEABLE. FINAL LOCATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - ALL PAINTING NEEDS SHALL BE DONE BY A PROFESSIONAL. COLORS AND TYPES OF PAINT SHALL MATCH ACCORDINGLY TO ADJACENT COLORS AND MATERIALS. VERIFY AND COORDINATE WITH OWNER'S REPRESENTATIVE ALL WORK.
 - ALL RESTORATION SHALL BE DONE TO THE SATISFACTION OF THE OWNER AT NO CHARGE OR EXPENSE TO THE OWNER.
 - WHETHER NOTED ON THE PLANS OR NOT ALL ASSOCIATED WORK WITH THE PHOTOMETRIC PLAN INSTALLATION AND CONSTRUCTION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROMISE AND INSTALL AS NEEDED.
 - CONTRACTOR SHALL FIELD ADJUST BASED ON ELECTRICAL SUPPLY AND PROVIDE WIRING AS NEEDED FOR PROPER INSTALLATION, IF NEEDED, CONTRACTOR SHALL CONSULT AN ELECTRICAL ENGINEER.
 - CONTRACTOR RESPONSIBLE FOR ALL LUMINAIRE INSTALLATIONS, REPLACEMENTS, CONSTRUCTION REMOVALS AND DISPOSALS.
 - CONTRACTOR SHALL FIELD ADJUST AS APPROVED BY OWNER. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE FOR ALL RESTORATION OR FABRICATIONS NEEDS. SHOW DRAWINGS OR MADE UPS MAYBE NECESSARY FOR APPROVALS PRIOR TO INSTALLATIONS. VERIFY AS NEEDED.
 - ANY FABRICATIONS SHALL BE DONE WITH NON-CORROSIVE EXTERIOR GRADE MATERIALS AND FINISHES TO PROTECT BUILDING FROM ANY STAINING.

DATE: 8/20/23

REVISIONS: PER VILLAGE OF FRANKFORT

NO. 1

Prepared For:

XPRESS HOLDINGS, LLC.
 9115 Roma Court
 Frankfort, IL 60423

ROMA SPORTS COMPLEX
 9115 Roma Court
 Frankfort, Illinois 60423

Prepared By:

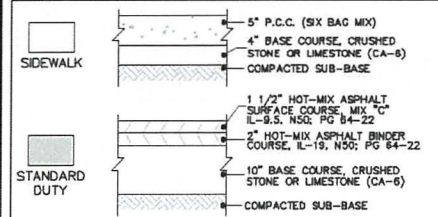
Watermark Engineering Resources
 watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

CHECKED BY: JEFF MILLER
 DESIGN BY: D. OLSON
 DRAWN BY: D. OLSON
 DATE: MAY 12, 2023
 SCALE: 1" = 30'
 PROJECT NO.: 23-017

PHOTOMETRIC PLAN

1 of 2

PAVEMENT LEGEND



- NOTES:
- REFERENCE I.D.O.T. STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 406 FOR BINDER & SURFACE COURSES AND SECTION 351 FOR AGGREGATE BASE COURSE.
 - THE APPLICATION RATES FOR THE PRIME COAT AND TACK COAT ARE TO BE 0.30 AND 0.10 GALLONS PER SQUARE YARD, RESPECTIVELY.
 - SEE PROJECT SPECIFICATIONS FOR SUB-BASE AND BASE COURSE COMPACTION.
 - ALL CONCRETE FLATWORK TO INCLUDE A JOINTING PATTERN SUBMITTAL TO THE CONSTRUCTION MANAGER. CONTRACTOR TO STAY AS CLOSE TO 9'x9' SQUARE PANELS IN LARGE CONCRETE FLATWORK AREAS AS POSSIBLE.
 - FOR SIDEWALKS, PROVIDE TOoled JOINTS AT 5' O.C., CONTRACTION JOINTS AT 15' O.C., EXPANSION JOINTS AT 45' O.C.
 - PROVIDE AN EXPANSION JOINT ADJACENT TO ALL STRUCTURES. THESE JOINTS SHOULD BE SEALED WITH A TOOL-FINISHED SILICONE SEALANT PER I.D.O.T. STANDARD.

ON SITE PARKING DATA

EXISTING REGULAR SPACES	73
EXISTING ADA ACCESSIBLE SPACES	5
TOTAL EXISTING SPACES	78
PROPOSED REGULAR SPACES	113
PROPOSED ADA ACCESSIBLE SPACES	4
TOTAL PROPOSED SPACES	117

REQUIRED PARKING FOR BUILDINGS
 1 SPACE/4 PATRONS PLUS 1 SPACE/EMPLOYEE DURING THE LARGEST WORK SHIFT = (495/4) + (3) = 127 SPACES

REQUIRED PARKING FOR SOCCER FIELDS
 1 SPACE/10,000 S.F. OF GROSS (SOCCER FIELD) LAND AREA
 TOTAL SOCCER FIELD LAND AREA = 70,200 S.F.
 REQUIRED PARKING = 7.02 OR 8 SPACES

*TOTAL REQUIRED PARKING = 135 SPACES

*TOTAL PROVIDED PARKING = 195 SPACES

SITE DATA

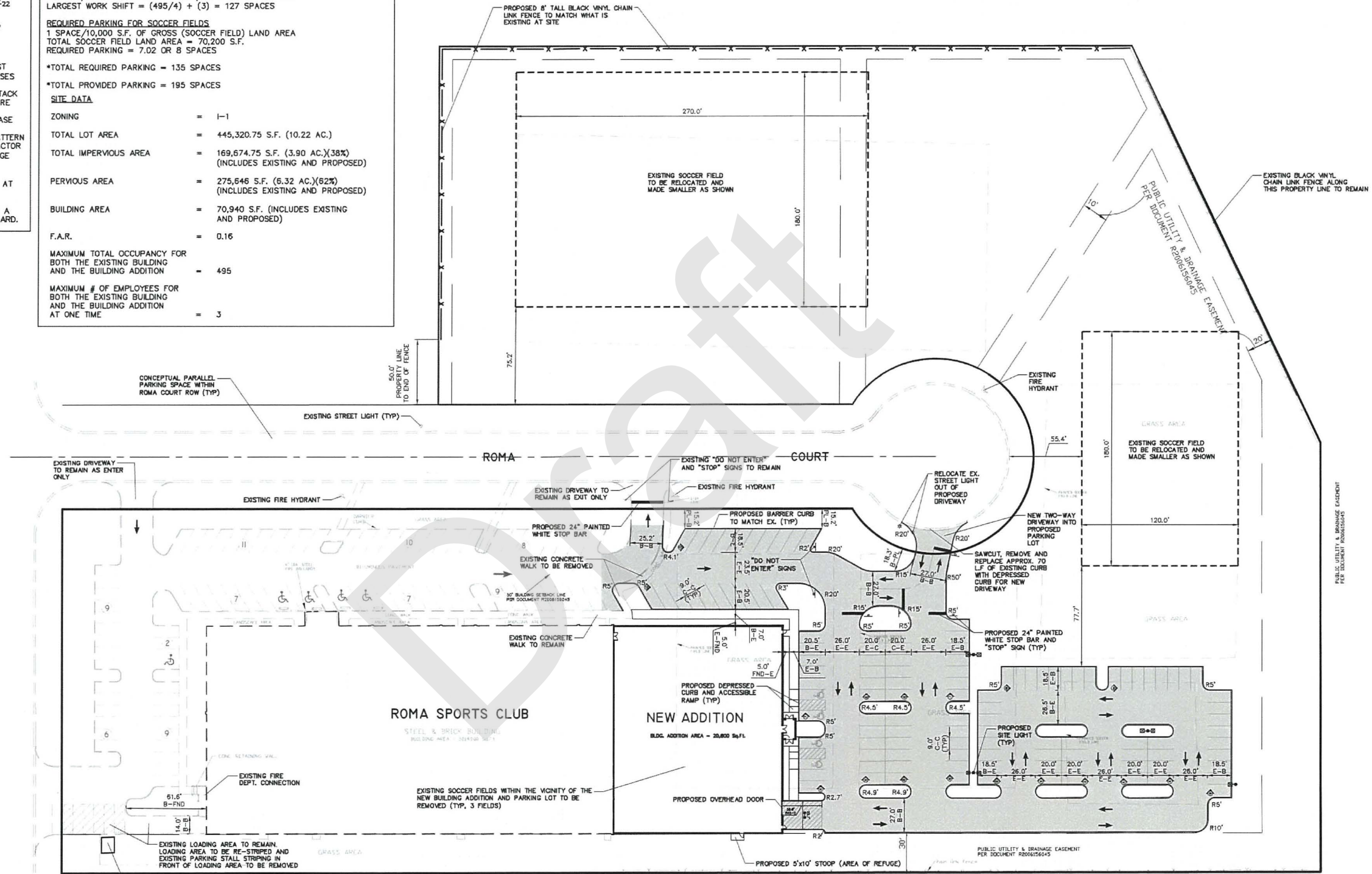
ZONING	= I-1
TOTAL LOT AREA	= 445,320.75 S.F. (10.22 AC.)
TOTAL IMPERVIOUS AREA	= 169,674.75 S.F. (3.90 AC.)(38%) (INCLUDES EXISTING AND PROPOSED)
PERVIOUS AREA	= 275,646 S.F. (6.32 AC.)(62%) (INCLUDES EXISTING AND PROPOSED)
BUILDING AREA	= 70,940 S.F. (INCLUDES EXISTING AND PROPOSED)
F.A.R.	= 0.16
MAXIMUM TOTAL OCCUPANCY FOR BOTH THE EXISTING BUILDING AND THE BUILDING ADDITION	= 495
MAXIMUM # OF EMPLOYEES FOR BOTH THE EXISTING BUILDING AND THE BUILDING ADDITION AT ONE TIME	= 3

DIMENSION LEGEND

F = FACE	FNC = FENCE
FND = FOUNDATION	R = RADIUS
B = BACK	C = CENTER
E = EDGE	PL = PROPERTY LINE

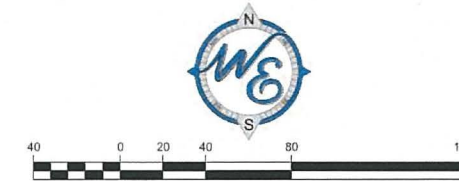
- GEOMETRIC PLAN NOTES:**
- PROPOSED IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE EXISTING CONDITIONS AS SHOWN.
 - ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
 - SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
 - WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

- GENERAL NOTES:**
- THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #88839-23 DATED 06/14/23) PREPARED BY: ASSOCIATED SURVEYING GROUP, LLC. 1 PALOS COURT, BOLINGBROOK, IL 60440 (630) 759-0205
 - PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.



RELOCATE EXISTING DUMPSTER AS SHOWN. PROVIDE 10'x12' SPLIT FACE CMU ENCLOSURE TO MATCH PROPOSED BUILDING WITH WOOD OPAQUE GATE. ENCLOSURE TO BE AT LEAST 5' TALL BUT NO TALLER THAN 6'.

RECEIVED
 By Christopher Gruba at 9:31 am, Oct 17, 2023



GEOMETRIC PLAN

NO.	REVISIONS	DATE
1	REVISIONS PER VILLAGE OF FRANKFORT	9/12/2023
2	REVISIONS PER VILLAGE OF FRANKFORT	10/02/2023
3	SITE DATA UPDATED	10/02/2023
4	DUMPSTER ENCLOSURE DIMENSIONS REVISED	10/17/2023

Prepared For:
XPRESS HOLDINGS, LLC.
 9115 Roma Court
 Frankfort, IL 60423
ROMA SPORTS COMPLEX
 9115 Roma Court
 Frankfort, Illinois 60423

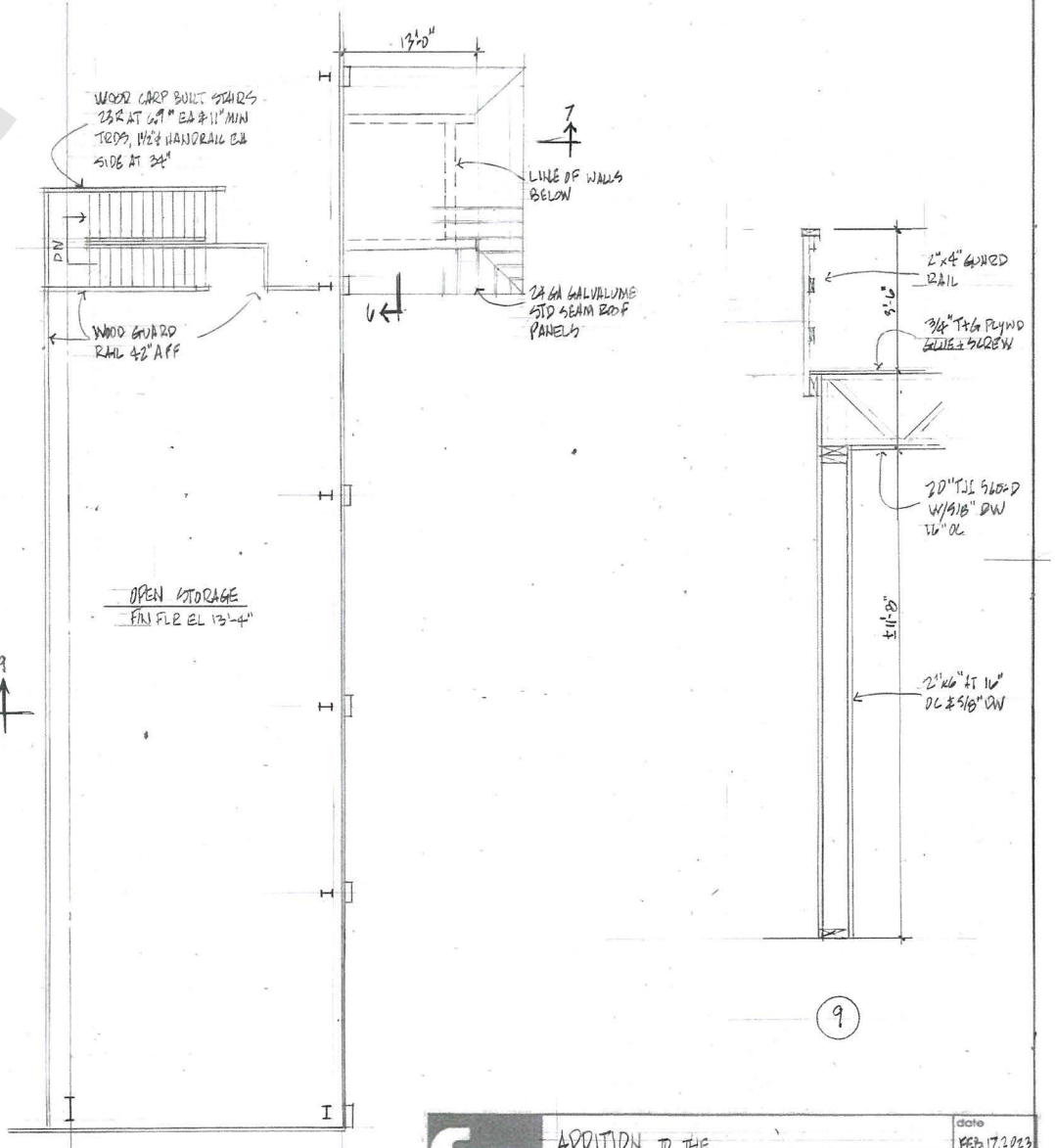
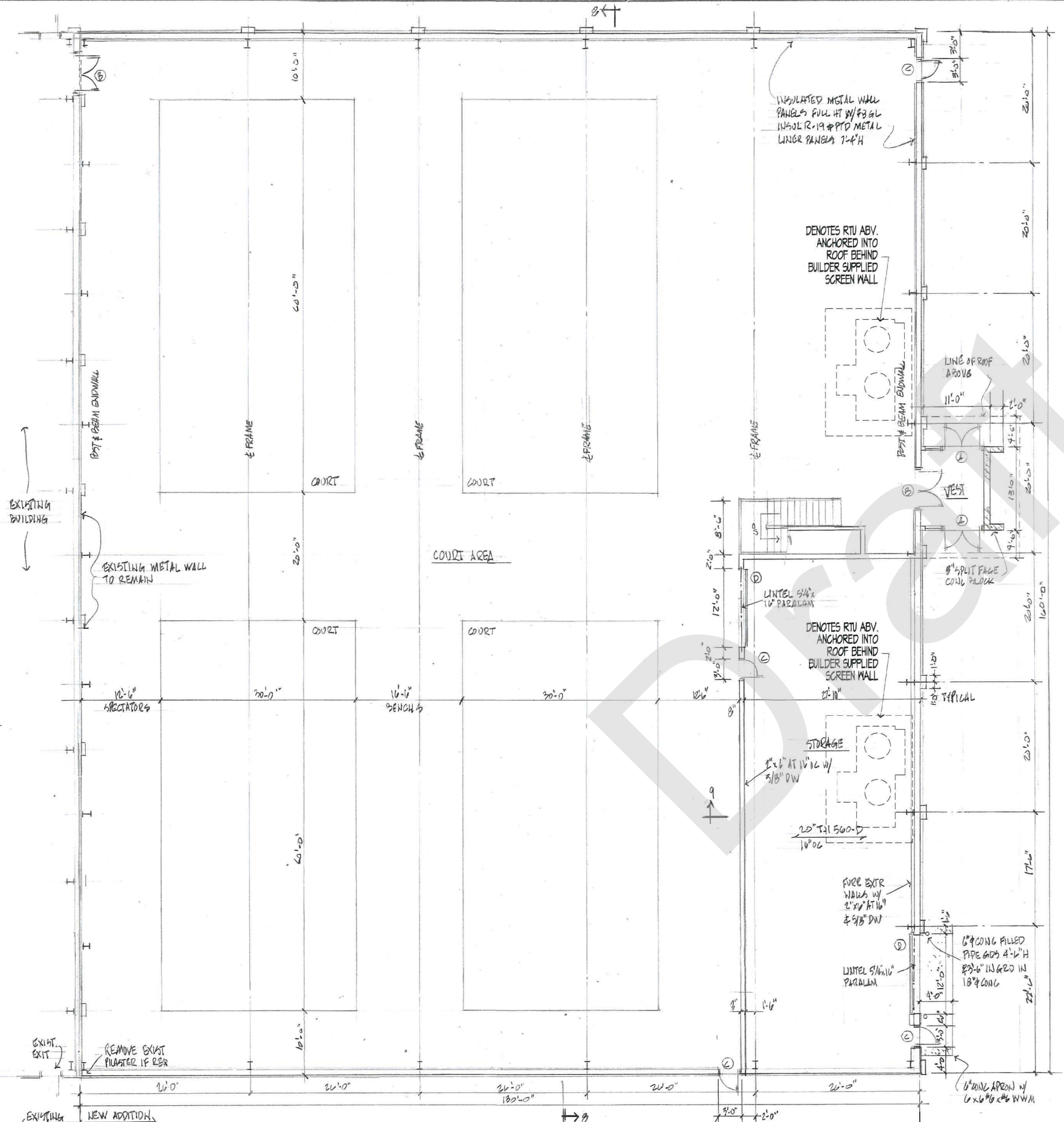
Prepared By:
Watmark Engineering Resources

Checked by: J MILLER
 Design by: R ERSFELDT
 Drawn by: R ERSFELDT
 Date: JULY 16, 2023
 Scale: 1" = 40'
 Project No.: 23-017

watermark-engineering.com | 2831 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 374-1800

PROJECT NO.: 23-017
C-2

GEOMETRIC PLAN

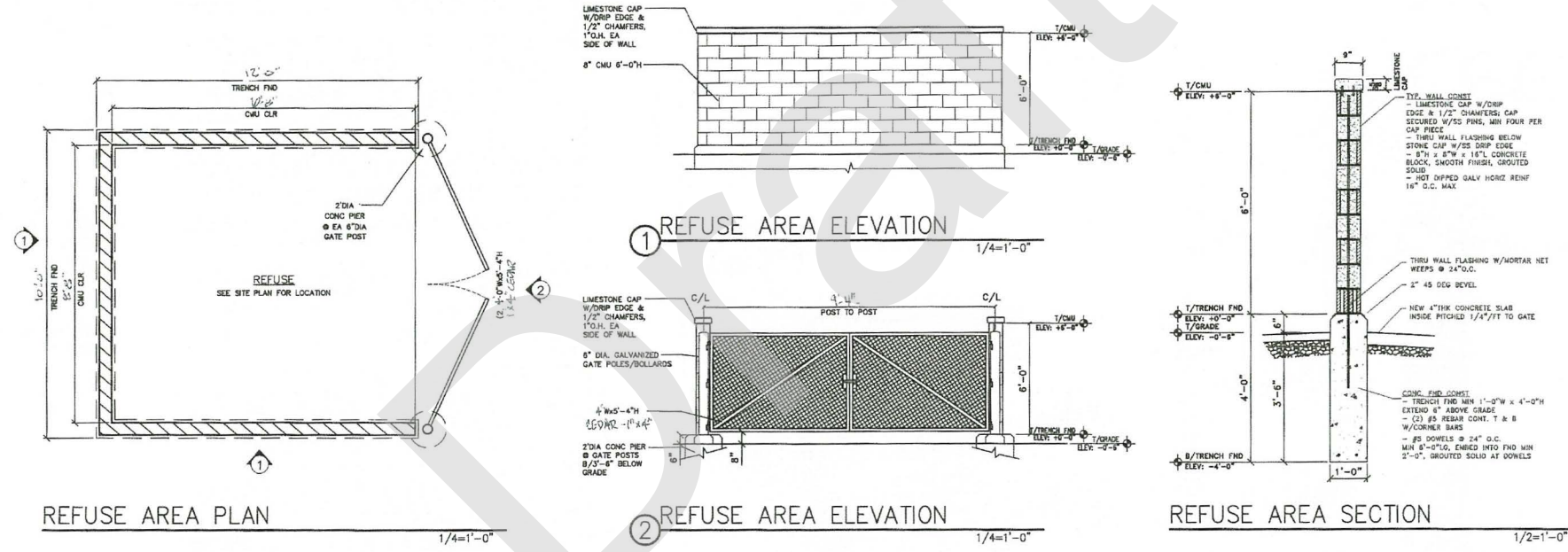


FLOOR PLAN SCALE 1/8" = 1'-0" NORTH

MEZZANINE PLAN - STORAGE DESIGN LL = 129 PPF

	ADDITION TO THE	DATE	FEB 17, 2023
	ROMA SPORTS CLUB	REVISED	
	9115 ROMA CT		
	FRANKFORD, ILLINOIS	DRAWING	2
m.j.root • architect		324 center rd. frankfort, illinois 60423 815-484-0777	

RECEIVED
By Christopher Gruba at 10:08 am, Oct 16, 2023



ROMA SPORTS CLUB
9115 ROMA CT
FRANKFORD, IL



RECEIVED 9.13.23



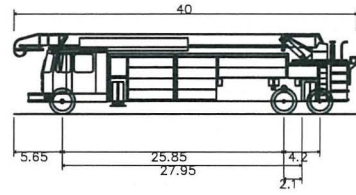
COLOR LANDSCAPE PLAN
1 of 1

CHECKED BY: J. DAVITO
DESIGN BY: J. DAVITO
DRAWN BY: J.D. D.O.
DATE: SEPTEMBER 6, 2023
SCALE: 1" = 30'
PROJECT NO.: 23-017

Watermark Engineering Resources
 watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

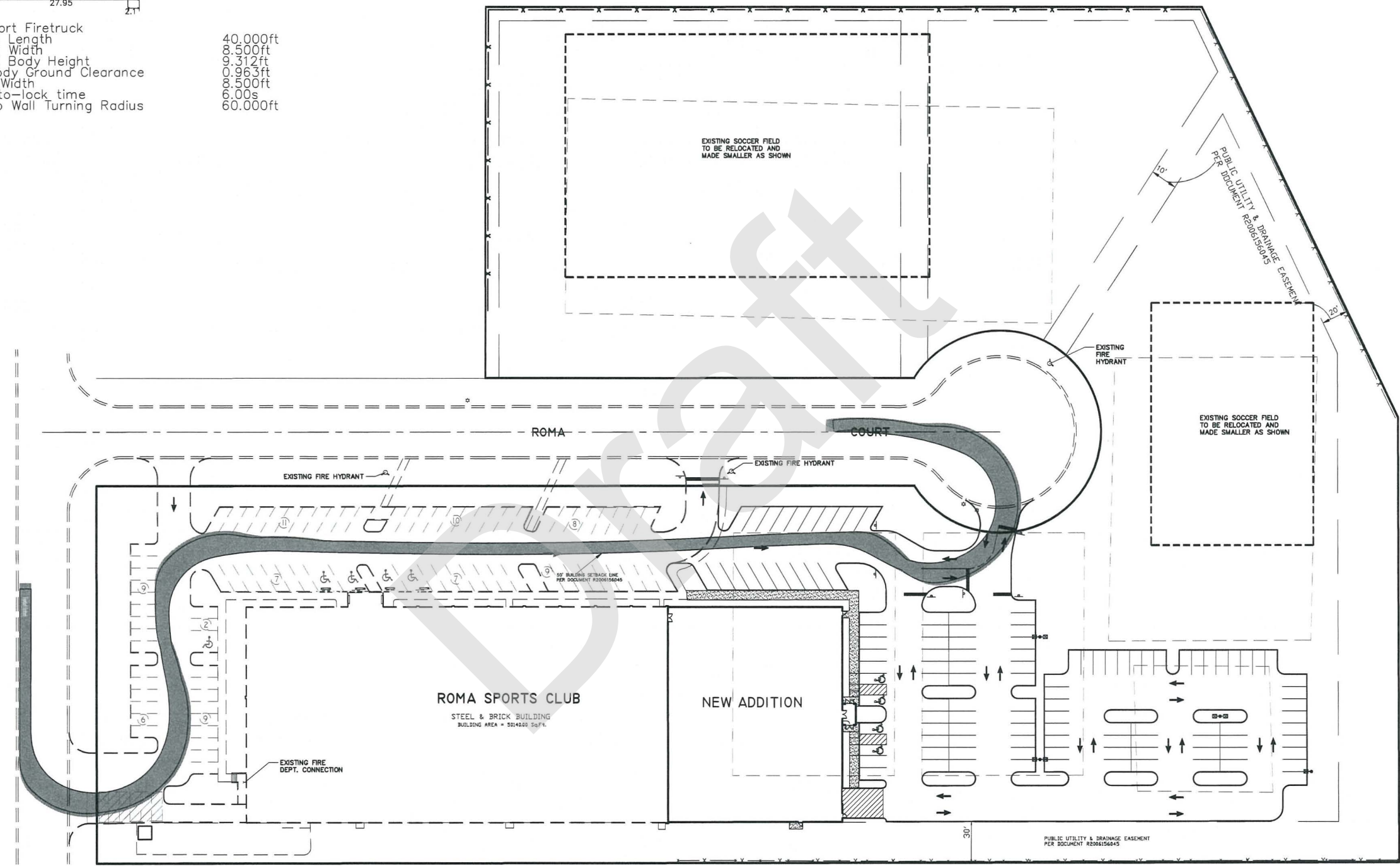
Prepared By:
XPRESS HOLDINGS, LLC.
 9115 Roma Court
 Frankfort, IL 60423
ROMA SPORTS COMPLEX
 9115 Roma Court
 Frankfort, Illinois 60423

NO.	REVISIONS	DATE
1	REVISIONS PER VILLAGE OF FRANKFORT	9/12/2023



Frankfort Firetruck
 Overall Length 40.000ft
 Overall Width 5.650ft
 Overall Body Height 25.85ft
 Min Body Ground Clearance 2.1ft
 Track Width 4.200ft
 Lock-to-lock time 2.100s
 Wall to Wall Turning Radius 27.950ft

RECEIVED
 By Christopher Gruba at 12:19 pm, Sep 11, 2023



FIRETRUCK CIRCULATION PLAN

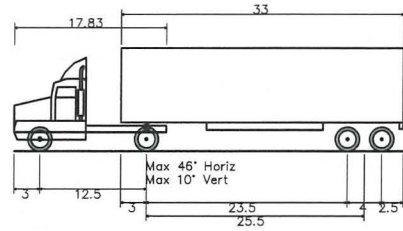
DATE	REVISIONS
8/20/23	

Prepared For:
XPRESS HOLDINGS, LLC.
 9115 Roma Court
 Frankfort, IL 60423
ROMA SPORTS COMPLEX
 9115 Roma Court
 Frankfort, Illinois 60423

Prepared By:

 watermark-engineering.com | 2031 Ginger Woods Pkwy | Avonra, IL 60502 | (630) 375-1800

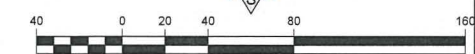
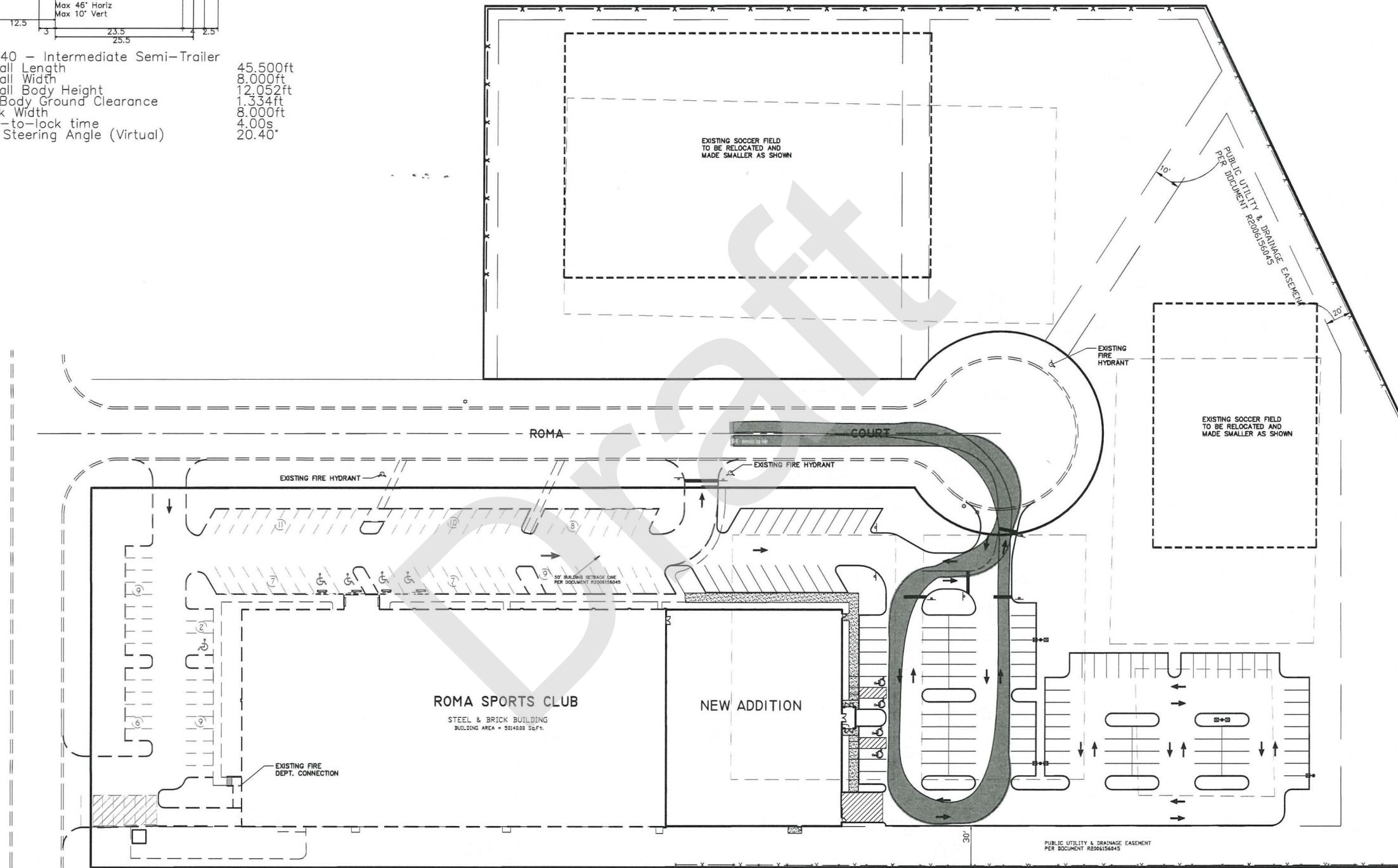
CHECKED BY: J. MILLER
DESIGN BY: R. ERSFELDT
DRAWN BY: R. ERSFELDT
DATE: JULY 18, 2023
SCALE: 1" = 40'
PROJECT NO.: 23-017



WB-40 - Intermediate Semi-Trailer
 Overall Length 45.500ft
 Overall Width 8.000ft
 Overall Body Height 12.052ft
 Min Body Ground Clearance 1.334ft
 Track Width 8.000ft
 Lock-to-lock time 4.00s
 Max Steering Angle (Virtual) 20.40°

RECEIVED

By Christopher Gruba at 12:07 pm, Sep 11, 2023



DELIVERY TRUCK CIRCULATION PLAN

NO.	REVISIONS	DATE
1		9/6/2023

Prepared For:
 Xpress Holdings, LLC.
 9115 Roma Court
 Frankfort, IL 60423
 ROMA SPORTS COMPLEX
 9115 Roma Court
 Frankfort, Illinois 60423

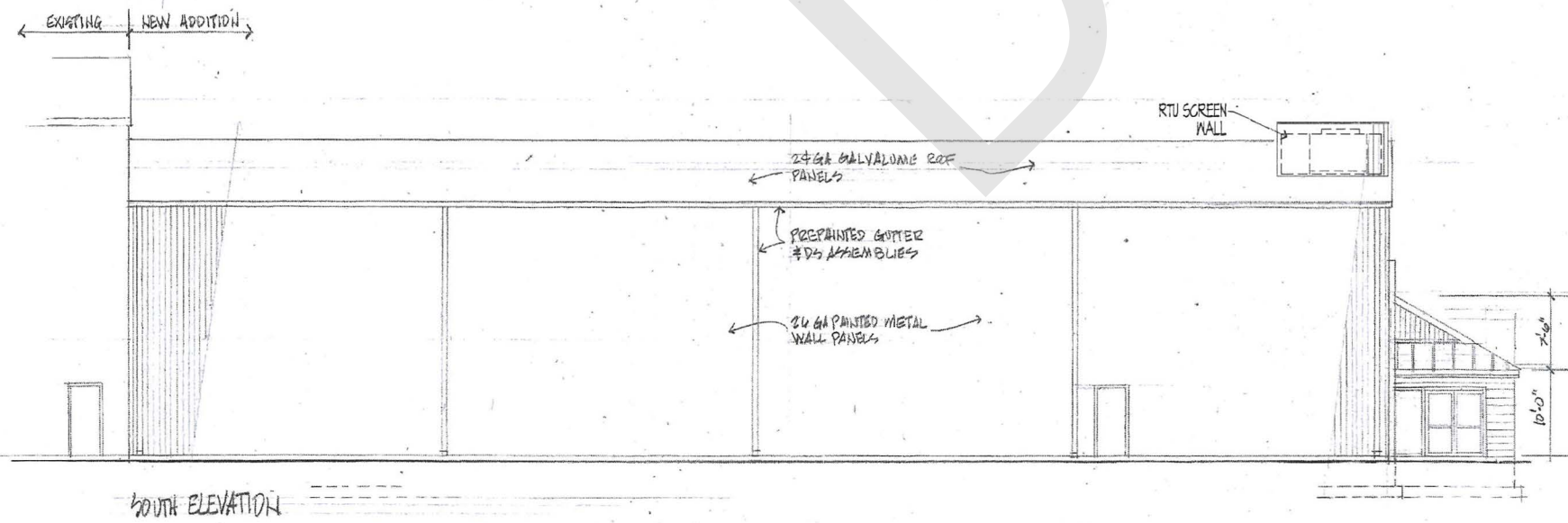
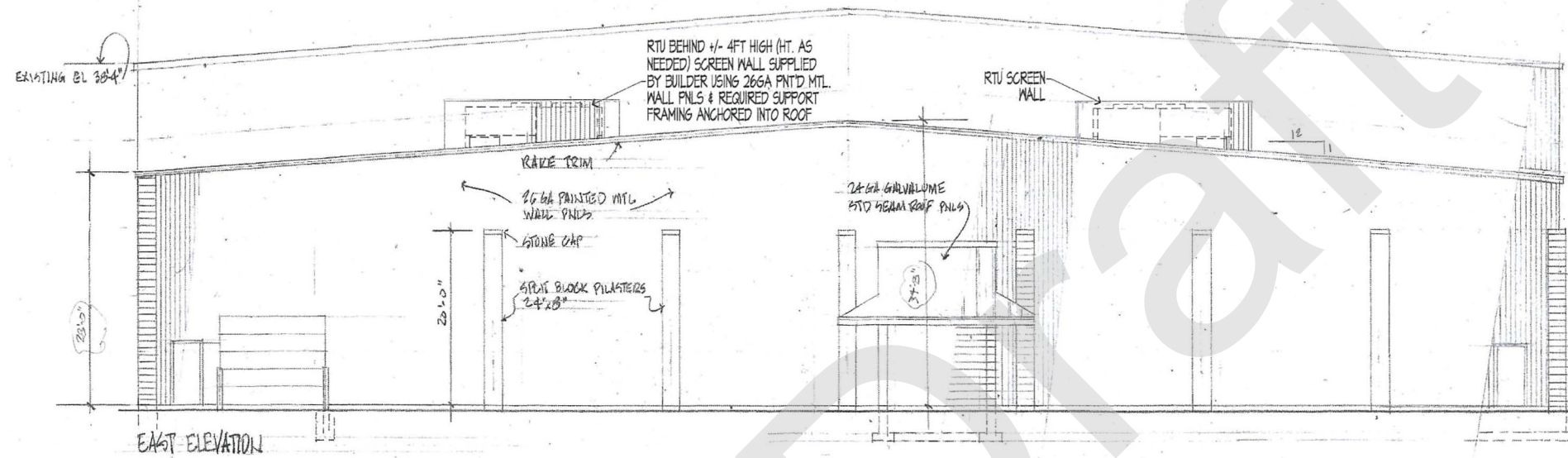
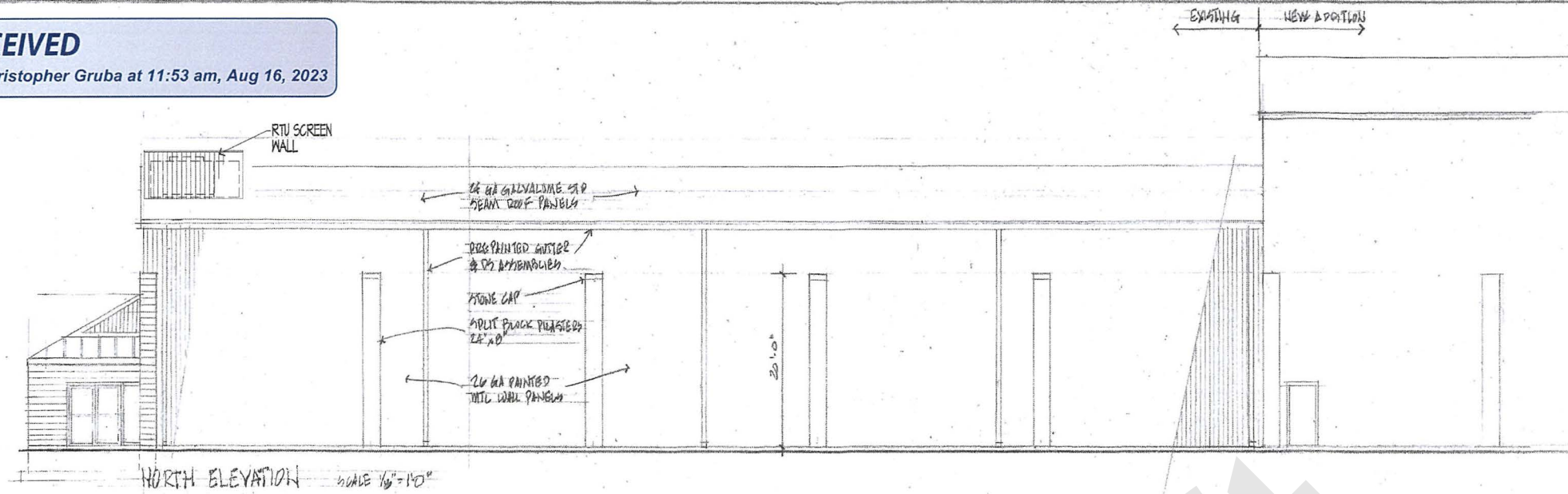
Prepared By:
 W&G Engineering Resources
 2831 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800
 watermark-engineering.com

CHECKED BY: J. MILLER
 DESIGN BY: R. ERSFELDT
 DRAWN BY: R. ERSFELDT
 DATE: JULY 18, 2023
 SCALE: 1" = 40'
 PROJECT NO.: 23-017

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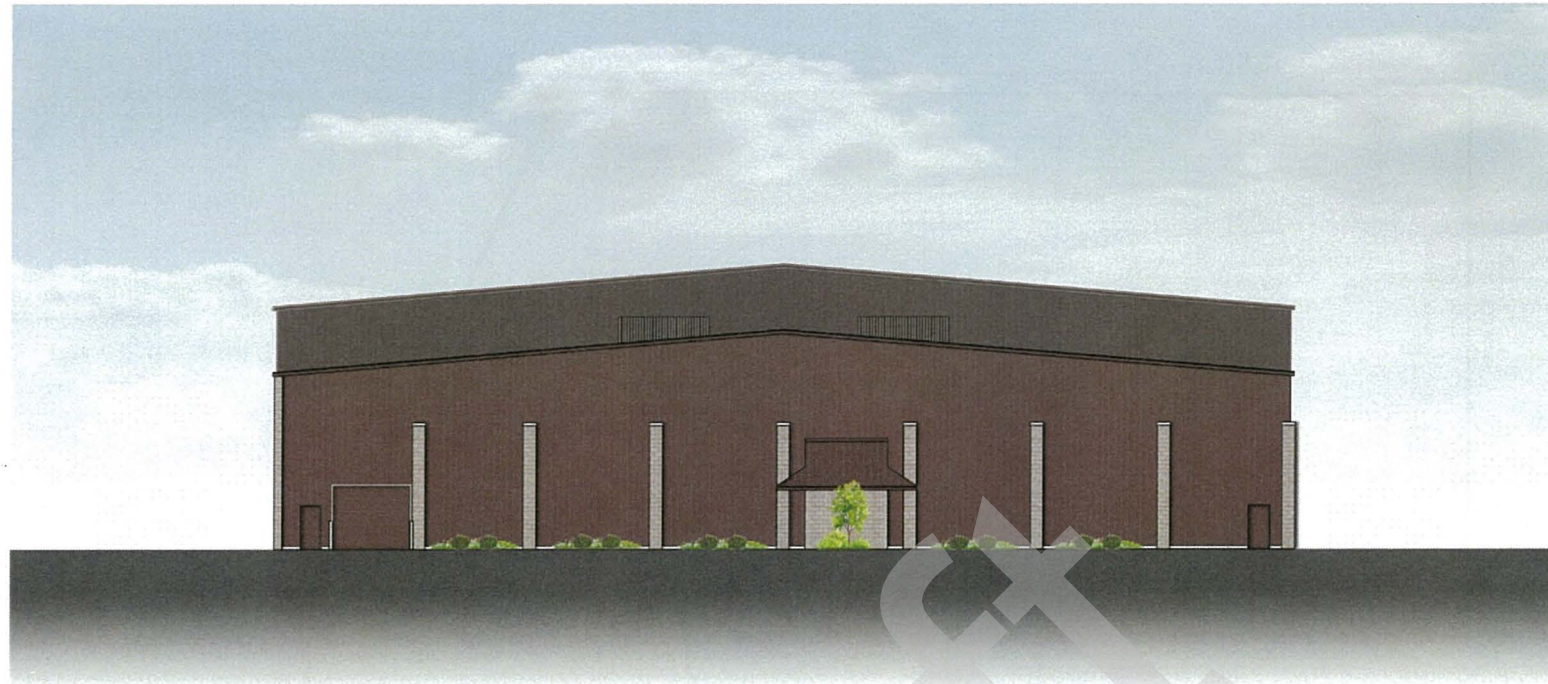
RECEIVED

By Christopher Gruba at 11:53 am, Aug 16, 2023

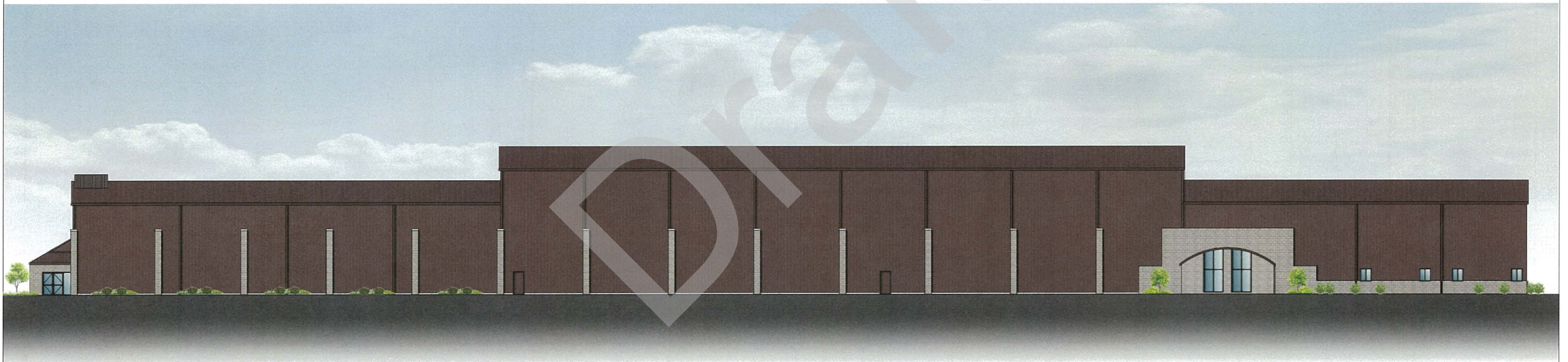


	ADDITION TO THE	DATE	
	ROMA SPORTS CLUB	FEB 17, 2023	
	915 ROMA CT	FRANKFORD, ILLINOIS	REVISED
			AUG 16, 2023
	m.j.root • architect	DRAWING	
		3	
	324 center rd. frankfort, illinois 60423	815-484-0777	CL 6

RECEIVED 9.20.23



EAST ELEVATION



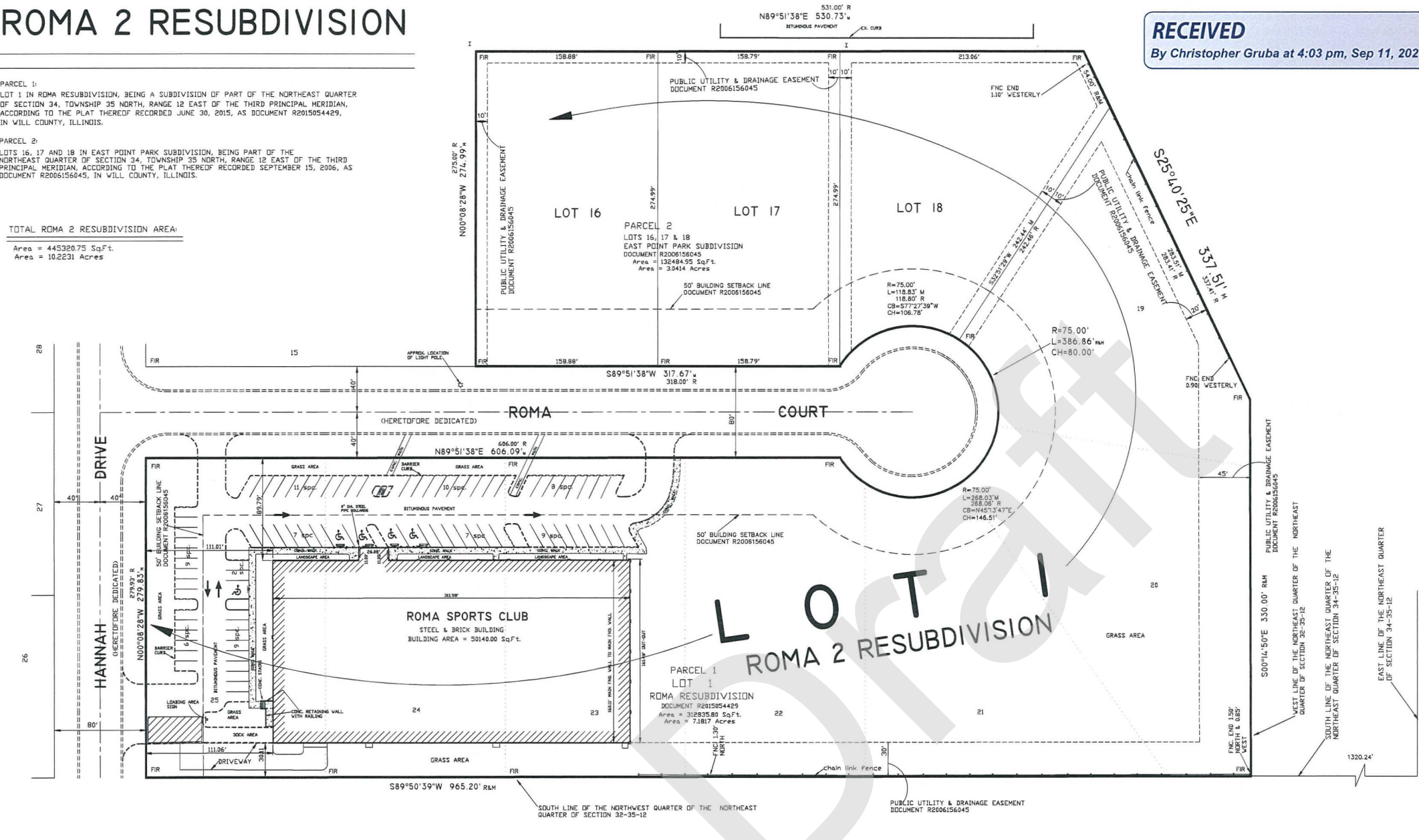
NORTH ELEVATION

ROMA 2 RESUBDIVISION

PARCEL 1:
LOT 1 IN ROMA RESUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 30, 2015, AS DOCUMENT R2015054429, IN WILL COUNTY, ILLINOIS.

PARCEL 2:
LOTS 16, 17 AND 18 IN EAST POINT PARK SUBDIVISION, BEING PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 15, 2006, AS DOCUMENT R2006156045, IN WILL COUNTY, ILLINOIS.

TOTAL ROMA 2 RESUBDIVISION AREA:
Area = 445320.75 Sq.Ft.
Area = 10.2231 Acres



RECEIVED
By Christopher Gruba at 4:03 pm, Sep 11, 2023

EASEMENT PROVISIONS

AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATION SERVICE IS HEREBY RESERVED FOR AND GRANTED TO THE FOLLOWING COMPANIES:

COMMONWEALTH EDISON COMPANY (COMED), AMERTON ELECTRIC SERVICE (AES), SOUTHERN BELL TELEPHONE COMPANY, AND AUTHORIZED SUCCESSORS, ASSIGNS, HEIRS AND LICENSEES.

NORTHERN ILLINOIS GAS COMPANY.

THEIR RESPECTIVE LICENSEES, SUCCESSORS AND ASSIGNS ("GAS") SHALL BE RESPONSIBLE FOR INSTALLING, MAINTAINING, REPAIRING, REPLACING, REPLACING, RELOCATING, AND REMOVING FROM TIME TO TIME, POLES, CROSS-ARMS, WIRE, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, FIBER OPTIC CABLES OR OTHER FACILITIES USED IN CONNECTION WITH THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, COMMUNICATIONS, SOUND AND SIGNALS IN, OVER, UNDER, ABOVE, ALONG AND UPON THE SURFACE OF THE PROPERTY DESIGNATED IN THE DECLARATION OF CONDOMINIUM AND/OR ON THIS PLAT AS "COMMON ELEMENTS". TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE SURFACE OF EACH LOT AND COMMON AREA OF AREAS TO SERVE OTHER PROPERTIES THEREON, OR ON ADJACENT LOTS AND COMMON AREA OF AREAS, AND TO SERVE OTHER PROPERTIES, ADJACENT THEREON, OR ON ADJACENT LOTS AND COMMON AREA OF AREAS, AND TO REMOVE OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, ROOTS AND FENCES, AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHT HEREIN GRANTED AND THE RIGHT TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER OR UNDER THE SURFACE OF EACH LOT AND COMMON AREA OF AREAS TO SERVE OTHER PROPERTIES, ADJACENT THEREON, OR ON ADJACENT LOTS AND COMMON AREA OF AREAS, WITHOUT THE PRIOR WRITTEN CONSENT OF THE GRANTOR. THE GRANTOR WARRANTS THAT THE PROPERTY IDENTIFIED ON THIS PLAT FOR UTILITY PURPOSES WITHOUT THE PRIOR WRITTEN CONSENT OF THE GRANTOR IS NOT ENCUMBERED BY ANY INTEREST, EASEMENT, OR OTHER RIGHTS WHICH MAY INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

THE TERM "COMMON ELEMENTS" SHALL HAVE THE MEANING SET FORTH FOR SUCH TERM IN THE "CONDOMINIUM PROPERTY ACT", CHAPTER 785.1/23 KCS ILLINOIS, AS AMENDED FROM TIME TO TIME.

THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE OR IN PART BY THIS DECLARATION TO BE SPATIALLY DIVIDED INTO LOTS, PARCELS OR AREAS WITHIN THE PLANNED DEVELOPMENT, EVEN THOUGH SUCH BE OTHERWISE DESIGNATED ON THIS PLAT BY TERMS SUCH AS "OUTLOTS", "COMMON ELEMENTS", "OPEN SPACE", "OPEN AREA", "COMMON GREENS", "PARKWAYS" AND "COMMON AREA". THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY INCLUDING REAL PROPERTY SURFACES WITH INTERIOR DRIVEWAYS AND WALKWAYS, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE AS AN APPORTIONMENT TO THE SEPARATELY OWNED LOTS, PARCELS OR AREAS WITHIN THE PROPERTY. THIS INCLUDES SUCH AREAS AS MAY BE DESIGNATED ON THIS PLAT BY OTHER TERMS.

ALSO:

ALL EASEMENTS INDICATED AS PUBLIC UTILITY AND DRAINAGE EASEMENTS ON THE PLAT ARE RESERVED FOR AND GRANTED TO THE VILLAGE OF FRANKFORT AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF FRANKFORT, INCLUDING, BUT NOT LIMITED TO, AMERTON TELEPHONE COMPANY, INCOOR GAS COMPANY, COMMONWEALTH EDISON ELECTRIC COMPANY, ILLINOIS POWER COMPANY AND ILLINOIS POWER SERVICES COMPANY FOR TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, COMMUNICATIONS, SOUND AND SIGNALS IN, OVER, UNDER, ABOVE, ALONG AND UPON THE SURFACE OF THE PROPERTY DESIGNATED IN THE DECLARATION OF CONDOMINIUM AND/OR ON THIS PLAT AS "COMMON ELEMENTS". TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY MAIN AND EQUIPMENT TO SERVE THE SAID PROPERTIES. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE TREES, SHRUBS, OR OBSTRUCTIONS WITHIN THE PLANNED DEVELOPMENT WITH THE OPERATION OF THE SERVICES AND OTHER UTILITIES. NO EASEMENT IS GRANTED FOR THE USE OF FACILITIES FOR THE STORAGE OF SOLID WASTE, INCLUDING BUT NOT LIMITED TO, TRUCKS, TRAILERS OR OTHER STRUCTURES WHICH INTERFERE WITH THE APPROVED USES OR RIGHTS. WHERE AN EASEMENT IS GRANTED FOR BOTH GROUND AND WATER MAINS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF FRANKFORT.

VILLAGE OF FRANKFORT APPROVAL

UNDER THE AUTHORITY PROVIDED BY THE ILLINOIS REVISED STATUTES, ENACTED BY THE STATE LEGISLATURE OF THE STATE OF ILLINOIS, AND ORDINANCE ADOPTED BY THE VILLAGE OF FRANKFORT, ILLINOIS, THIS PLAT WAS GIVEN APPROVAL BY THE VILLAGE OF FRANKFORT AND MUST BE RECORDED WITHIN 30 DAYS OF THE DATE OF WRITTEN APPROVAL BY THE VILLAGE OF FRANKFORT OTHERWISE IT IS NULL AND VOID.

APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF FRANKFORT, ILLINOIS, AT A MEETING HELD THIS _____ DAY OF _____, A.D., 20____.

PLAN COMMISSION CHAIRMAN

APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, ILLINOIS, AT A MEETING HELD THIS _____ DAY OF _____, A.D., 20____.

VILLAGE PRESIDENT

I HEREBY CERTIFY THAT I FIND NO DEFERRED INSTALLMENTS OF OUTSTANDING UNPAID SPECIAL ASSESSMENTS DUE AGAINST THE PROPERTY DESCRIBED HEREIN.

VILLAGE CLERK

STATE OF ILLINOIS)
) S.S.
COUNTY OF WILL)

THIS IS TO CERTIFY THAT XPRSS HOLDINGS LLC AN ILLINOIS LIMITED LIABILITY CORPORATION, IS THE HOLDER OF RECORD TITLE TO THE PROPERTY DESCRIBED HEREON AND HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS SHOWN ON THE ATTACHED PLAT FOR THE USES AND PURPOSES THEREIN SET FORTH AND THAT XPRSS HOLDINGS LLC, DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE HEREON SHOWN.

DATED THIS _____ DAY OF _____, A.D., 20____.

BY: _____ TITLE: _____

ATTEST: _____
XPRSS HOLDINGS LLC
9325 GULFSTREAM ROAD
FRANKFORT, ILLINOIS 60423

NOTE:
FIR = FOUND IRON ROD
SIR = SET IRON ROD
R = RECORD DISTANCE
M = MEASURED DISTANCE

ASSOCIATED SURVEYING GROUP, LLC
Illinois Prof. Design Firm No. 184-004973
P.O. BOX 810 BOLLINGBROOK, IL 60440
PH (630) 759-0205 FAX (630) 759-9291

TAX MAPPING)
) S.S.
COUNTY OF WILL)

I, _____ DIRECTOR OF THE TAX MAPPING AND PLATTING OFFICE DO HEREBY CERTIFY THAT I HAVE CHECKED THE PROPERTY DESCRIPTION ON THIS PLAT AGAINST AVAILABLE COUNTY RECORDS AND FIND SAID DESCRIPTION TO BE TRUE AND CORRECT. THE PROPERTY HEREIN DESCRIBED IS LOCATED ON TAX MAP # _____ AND IDENTIFIED AS PERMANENT REAL ESTATE TAX INDEX NUMBER (PIN) _____ DATED THIS _____ DAY OF _____, A.D., 20____.

DIRECTOR

SCHOOL DISTRICT CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF WILL)

THIS IS TO CERTIFY THAT I, _____ AS OWNER OF THE PROPERTY HEREIN DESCRIBED IN THE SURVEYOR'S CERTIFICATE AND KNOWN AS 'ROMA SUBDIVISION', TO THE BEST OF MY KNOWLEDGE, IS LOCATED WITHIN THE BOUNDARIES OF THE _____ (GRADE SCHOOL DISTRICT) AND _____ (HIGH SCHOOL DISTRICT) IN WILL COUNTY, ILLINOIS.

DATED THIS _____ DAY OF _____, 20____.

BY: _____ OWNER

COUNTY CLERK)
STATE OF ILLINOIS)
COUNTY OF WILL) S.S.

THIS IS TO CERTIFY THAT I FIND NO DELINQUENT OR UNPAID CURRENT TAXES AGAINST ANY OF THE REAL ESTATE DESCRIBED IN THE FOREGOING CERTIFICATES.

DATED THIS _____ DAY OF _____, A.D., 20____.

WILL COUNTY CLERK

RECORDER)
STATE OF ILLINOIS) S.S.
COUNTY OF WILL)

THIS INSTRUMENT NO. _____ WAS FILED FOR RECORD IN THE RECORDERS OFFICE OF WILL COUNTY AFORESAID ON THE _____ DAY OF _____, A.D., 20____, AT _____ O'CLOCK _____ M., AND RECORDED IN BOOK OF PLATS AT PAGE _____.

WILL COUNTY RECORDER

ORDINANCE NO. 34XX

**AN ORDINANCE GRANTING MULTIPLE ZONING VARIANCES TO CERTAIN
PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT,
WILL AND COOK COUNTIES, ILLINOIS
(PRESTWICK COUNTRY CLUB – 601 PRESTWICK DRIVE)**

WHEREAS, an application for certain variances for real property within the Village of Frankfort, legally described below, was filed by Prestwick Country Club, Applicant and Owner, 601 Prestwick Drive, Frankfort, Illinois 60423; and

WHEREAS, the Subject Property, commonly known as 601 Prestwick Drive, is currently zoned E-R, Estate Residential District; and

WHEREAS, the Owner requests the granting of multiple variances to permit the construction of a new 4,320 square foot golf cart barn to replace the existing barn on the Subject Property; and

WHEREAS, the variances include: an accessory structure size variance from 144 square feet to 4,320 square feet; an accessory structure height variance from 15 feet to 21 feet; a variance to permit an accessory structure in the front yard; and a variance to permit an accessory structure to be located in front of the primary structure; and

WHEREAS, a timely Notice of a Public Hearing before the Plan Commission/Zoning Board of Appeals of the Village of Frankfort was published in the *Daily Southtown* newspaper announcing a Public Hearing on the Owner's application for certain zoning variances for the Subject Property; and

WHEREAS, at a time and place designated in such published notice, a Public Hearing was held before the Village of Frankfort Plan Commission/Zoning Board of Appeals on the Owner's application for the zoning variances for the Subject Property; and

WHEREAS, the Board of Trustees found, based upon evidence presented to it:

1. That the Subject Property cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in an E-R zoning district.
2. That the plight of the Owner is due to unique circumstances; and
3. That the variations will not alter the essential character of the locality, and that the requested zoning variances should be granted.

WHEREAS, the legal description of the Subject Property at the time of the filing of the variance application is as follows:

PIN: 19-09-25-102-009-0000

THE NW1/4 OF SEC 25, T35N-R12E (EX 11.45 ACRES) & (EX PRESTWICK SUB UNIT NO 1) & (EX PRESTWICK SUB UNIT 3 PER R68-000461) & (EX PRESTWICK UNIT 1-A) & (EX PRESTWICK UNIT 4) & (EX THAT PRT OF THE NW1/4 OF SEC 25 DAF: COMM AT THE NE COR OF PRESTWICK UNIT 1 & RUNN THC N 89 DEG 39.5 E ALG THE N LN OF PRESTWICK DR A DIST OF 528.77 FT TO THE POB, THC CONT ALG SD N LN OF PRESTWICK DR SE'LY ON A CURVE TO THE RIGHT, TANGENT TO THE LAST DESC LN WITH A RADIUS OF 103 FT WHOSE CHORD BEARS S 60 DEG 33.25' E A DIST OF 102.34 FT, THC CONT ALG SD N LN S 30 DEG 46' E TANGENT TO THE LAST DESC CURVE A DIST OF 68.85 FT, THC CONT ALG SD N LN SE'LY ON A CURVE TO THE LEFT TANGENT TO THE LAST DESC LN WITH A RADIUS OF 267 FT WHOSE CHORD BEARS S 41 DEG 05.5' E A DIST OF 95.70 FT, THC N 0 DEG 20.5' W A DIST OF 182.74 FT TO A PT IN THE S LN OF CHICAGO DIST PIPE LINE CO, THC S 89 DEG 39.5' W ALG SD S LN A DIST OF 186.14 FT TO THE POB. (EX PRESTWICK UNIT 9 PER R82-003699)

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. VARIANCES

That the requirements imposed under the E-R zoning classification of the Village of Frankfort Zoning Ordinance are hereby varied for the above-described Subject Property, located at 601 Prestwick Drive, as follows:

1. Granting of an accessory structure size variance from 144 square feet to 4,320 square feet; and
2. Granting of an accessory structure height variance from 15 feet to 21 feet; and
3. Granting of a variance to permit an accessory structure within a front yard; and
4. Granting of a variance to permit an accessory structure in front of the primary structure.

All variances are granted to permit the construction of a 4,320 square foot golf cart barn to replace the existing barn, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval, and subject to the following conditions:

1. The existing stumps and wood pallets shall be cleared during construction of the proposed building; and
2. A Landscape Plan for the area around the cart barn shall be submitted for staff review and approval and required plantings shall be installed within one year of Village Board approval; and
3. The building elevations shall be revised to reflect a charcoal color stone veneer wainscot on all four sides.

SECTION 2. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

SECTION 3. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 4. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this __ day of ____, 2023; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting; with __ members abstaining and said vote being:

ADAM BORRELLI	___	MICHAEL LEDDIN	___
JESSICA PETROW	___	MAURA A. RIGONI	___
DANIEL ROSSI	___	EUGENE SAVARIA	___

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this __ day of ____, 2023.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

D. Public Hearing: 601 Prestwick Drive – Prestwick Country Club Cart Barn

Commissioner Markunas recused himself from the meeting and left the Board Room at 8:55 p.m.

Chris Gruba presented the staff report.

Steven Weiss, the Project Architect, signed in at the podium. He summarized the need for the four requested variations and presented the proposed exterior materials products board.

Chair Schaeffer asked about the trees that were cut down as shown on the presentation photos. She asked if these trees were located on country club property.

Steven Weiss responded yes that the trees were located on country club property, but they were invasive Mulberry trees.

Chair Schaeffer asked if these removed trees were located within the footprint of the proposed new cart barn or if these were removed for maintenance purposes.

Steven Weiss responded that these trees were removed for maintenance purposes. He added that a Landscape Plan will be submitted to the Village soon for the area around the clubhouse.

Commissioner James stated that there is a mess of wood pallets and other materials as shown in the presentation photos. The way that the site looks today is not great. Please keep it clean moving forward.

Steven Weiss stated that there is a small portable shed that is being relocated elsewhere on the site. He admits that this area of the property has not been well maintained.

Commissioner Morris stated that it is an eyesore.

Commissioner Knieriem suggested that maybe the PC/ZBA would condition the variations on the cleanup of the site.

Gary Guild approached the podium and stated that he is the House Liaison and a member of the Prestwick Country Club. He stated that the area has been cleaned up this week.

Commissioner Knieriem stated that the site was not clean today when he visited.

Commissioner Morris asked about the timing of the construction.

Steven Weiss stated that construction of the proposed new cart barn would begin in November if the variations were approved by the Village Board. Seventy new golf carts will be delivered by April 1st, 2024. The clubhouse expansion and renovation will begin next winter. He expects that the project will be completed by mid-2024.

Commissioner James asked if there will be electric golf carts.

Steven Weiss replied yes, these will be new electric golf carts powered by lithium-ion batteries.

Chair Schaeffer asked where the small portable shed is moving.

Steven Weiss replied that this is a storage shed for range balls and is moving closer to the water tower. The shed is 120 square feet, 10' x 12'.

Chair Schaeffer reminded Steven Weiss to make sure that the new shed location will allow for compliance with the required setbacks per the Zoning Ordinance.

Chair Schaeffer stated that the next topic to discuss is the proposed exterior building materials. She would like to see a stone wainscot to tie in with the clubhouse. She asked if the clubhouse expansion will match the existing building.

Steven Weiss replied yes it will match. He added that the proposed new cart barn frames the site, and he doesn't want it to compete architecturally with the clubhouse but still wants it to be consistent with the existing colors. The design team and applicant looked at stone or brick material for the wainscot base, but in his opinion, the cart barn should be more in the background. At some point, the country club has a plan to improve the existing clubhouse and add a porte cochère covered entry to the building.

Commissioner Knieriem stated that he agrees with Chair Schaeffer. There should be a better material on the wainscot for both aesthetics and durability. The cart barn needs some element to tie it in with the clubhouse.

Commissioner Morris asked Steven Weiss if they are open to brick or stone on the base.

Commissioner James stated that he is okay with Hardie Board® siding. He asked if golf carts hit the side of the building, how will the proposed wainscot material hold up over time.

Steven Weiss responded that if they did change the wainscot material it would be more of a stone or masonry veneer and not actual brick or stone material. Also, there is a curb to stop golf carts from hitting the side of the cart barn.

Commissioner Knieriem stated that the PC/ZBA has established a precedent for requiring full dimension brick or stone not veneer products.

Steven Weiss replied that if that is the case, they would seek an exterior materials variation. They would also need to add a brick ledge around the foundation. He presented a sample of a potential brick fiber cement material for the wainscot base. He stated that the other option would be a Nichiha® brand fiber and cement formed stone veneer material. Such a product would meet the visual requirement.

Chair Schaffer asked staff if exterior building materials are an issue in the E-R Estate Residential District.

Chris Gruba replied that there is no definitive exterior materials requirement for accessory structures, but it has been Village practice to require that the materials match the primary structure.

Chair Schaeffer asked the other commission members if they are open to a veneer material that looks like stone.

Commissioner Knieriem stated yes, he could support that. He asked what the gutters are tied into.

Steven Weiss replied that the new gutters will splash on grade onto the parking lot, but that the site drains along the west side of the cart barn toward the center of the country club property.

Commissioner Schaeffer asked about the drainage impact on the neighboring residential property to the west.

Steven Weiss replied that the property to the west is higher in elevation.

Chris Gruba clarified that a minimum of four favorable votes are necessary for a favorable recommendation to the Village Board for each of the variation requests.

Steven Weiss stated that he was surprised that only one wall sign would be permitted on the golf cart building.

Chris Gruba explained the allowable signage in the E-R Estate Residential District. Only one wall sign is permitted.

Chair Schaeffer asked if there were any alternatives to the proposed wall signage that better reflects the country club than the bagpiper logo.

Steven Weiss responded that his guess is that the country club would leave the walls blank rather than install another type of sign.

Commissioner James stated that he has no problem with the proposed bagpiper logo for the sign.

Commissioner Morris stated that he has no problem with the proposed bagpiper logo for the sign.

Commissioner Knieriem stated that he has no problem with the proposed bagpiper logo for the sign.

Chair Schaeffer asked Steven Weiss if the applicant would be amendable to compliance with the Sign Regulations by having only one wall sign.

Steven Weiss replied yes.

Gary Guild, seated in the audience, asked if they could request a second sign later.

Chris Gruba replied yes, which could be part of the future clubhouse addition project, processed as a new PUD.

Chair Schaeffer stated that she appreciates the roof dormers but noticed that there are none on the west side.

Steven Weiss responded that these were omitted from the west side of the roof on purpose to downplay the impact to the neighbor.

Chair Schaeffer stated that if she owned that house, she would prefer to see those roof dormers. She asked other commission members for their thoughts.

Commissioner James stated that additional roof dormers were not needed.

Commissioner Morris stated that additional roof dormers were not needed.

Commissioner Knieriem stated that additional roof dormers were not needed.

Chair Schaeffer asked if there were any other questions or comments from the other commission members regarding the building elevations. There were no other questions or comments.

Chair Schaeffer stated that the next topic to discuss is trees. She stated that for the record she is in favor of trees that are a minimum of 6 feet in height, planted 15 feet apart.

Steven Weiss responded that rather than planting a row of trees, they would be looking to plant natural looking clusters of trees. He added that definitely there will be some landscaping there.

Chris Gruba stated that the PC/ZBA could add a condition that a Landscape Plan be provided for staff review prior to Village Board consideration of the four variation requests.

Steven Weiss stated that the applicant could live with a condition that a Landscape Plan be submitted to the PC/ZBA within a year.

Commissioner James asked if there will be any exterior lighting on the new cart barn building.

Steven Weiss replied that there will be small sconce lights above each door for area lighting. These will be on the north, south and east elevations, but not on the west elevation.

Commissioner Morris asked if the bagpiper logo sign would be illuminated.

Steven Weiss replied no.

Commissioner Knieriem asked if the new cart barn building would have a sprinkler system.

Steven Weiss replied yes. There will be a dry fire suppression system due to the golf carts being powered by batteries.

Chair Scaheffer asked if there will be a new water service to the building.

Steven Weiss replied yes, there will be a new 6-inch water service line to serve the building.

Chair Schaeffer explained that cleaning up the site should be added as a condition of approval as well as a requirement that the applicant shall within one year of Village Board

approval submit a Landscape Plan for staff review. The latter condition would be added to the motion for the third Variation listed in the staff report.

Steven Weiss asked staff to display another building rendering that was submitted showing a stone wainscot base.

Chris Gruba located the other rendering and displayed it on the video screen and computer monitors in the Board Room.

Commissioner Knieriem stated that he likes this rendering better as the wainscot better matches the clubhouse building.

Commissioner Morris stated that he agrees.

Chair Schaffer stated that she likes the darker stone color per the material sample that was distributed earlier in the meeting.

Commissioner James stated that he personally would prefer to steer away from a gray color.

Steven Weiss stated that there is an existing dark brown color on the existing clubhouse building between some of the windows, which they could try to match on the wainscot base for the new cart barn building.

Chair Schaeffer asked if there were any other questions or comments from the applicant or the public before she entertains motions. There were no other questions or comments.

Motion (#8): To close the public hearing.

Motion by: Knieriem

Seconded by: Morris

Approved: (4-0)

Motion (#9): Recommend to the Village Board to approve a variation request for size from the permitted 144 square feet to 4,320 square feet per Article 5, Section D, Part 2(b) of the Zoning Ordinance, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

Motion by: James

Seconded by: Morris

Approved: (4-0)

Motion (#10): Recommend to the Village Board to approve a variation request for height from the permitted 15' to 21' per Article 5, Section D, Part 2(c) of the Zoning Ordinance,

in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

Motion by: James

Seconded by: Morris

Approved: (4-0)

Motion (#11): Recommend to the Village Board to approve a variation request to permit an accessory structure within a front yard, whereas only sides and rear yards are permitted per Article 5, Section D, Part 2(a) of the Zoning Ordinance, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval, and subject to the following conditions:

1. The existing stumps and wood pallets shall be cleared during construction of the proposed building.
2. A Landscape Plan for the area around the cart barn shall be submitted for staff review and approval and required plantings shall be installed within one year of Village Board approval.

Motion by: James

Seconded by: Morris

Approved: (4-0)

Motion (#12): Recommend to the Village Board to approve a variation request to permit an accessory structure in front of the primary structure Article 5, Section D, Part 2(a) of the Zoning Ordinance, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval, and subject to the following condition:

1. The building elevations shall be revised to reflect a charcoal color stone veneer wainscot on all four sides.

Motion by: James

Seconded by: Morris

Approved: (4-0)

Commissioner Markunas returned to the Board Room at 9:51 p.m.

E. Workshop: Village of Frankfort Zoning Ordinance Text Amendment

Chris Gruba presented the staff report.

Chair Schaeffer stated that the 1.7% limitation seems to be the sweet spot. She added that the text cleanups make sense.

Project: Prestwick Country Club – Golf Cart Barn Replacement & Site Improvements
Meeting Type: Public Hearing
Requests: 4 Zoning Variations
Location: 601 Prestwick Drive
Applicant: Ed Tindall
Prop. Owner: Prestwick Country Club
Representative: Steve Weiss
Staff Reviewer: Christopher Gruba, Senior Planner

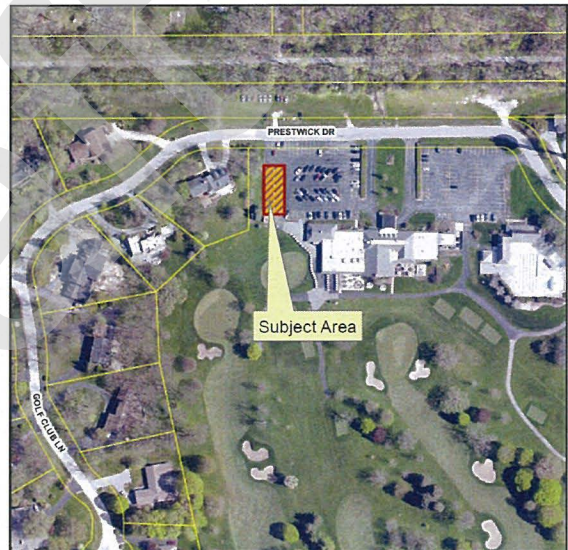
Site Details

Lot Size: 64.23 acres (approximately)
PIN: 19-09-25-102-009-0000
Existing Zoning: E-R
Proposed Zoning: N/A
Future Land Use: Parks/Open Space
Buildings: 1 (golf cart building)
Total Sq. Ft.: 4,320 SF (proposed)

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Golf Course	Parks/Open Space	E-R
North	Natural gas pipeline	Old Plank Road Trail	E-R
South	Golf Course	Parks/Open Space	E-R
East	Golf Course	Parks/Open Space	E-R
West	Single-Family	Parks/Open Space	E-R

Figure 1. Location Map



Project Summary

The applicant is proposing to construct a 4,320 square foot golf cart barn to replace the existing barn in approximately the same location. The replacement barn would be only slightly larger than the existing building. This structure is classified as an accessory building in the Zoning Ordinance. Due to the size, height and placement of the golf cart barn, the project will require four (4) variations from the Zoning Ordinance as listed below. In addition to the golf cart barn replacement, the applicant is proposing minor site work including a new 9' wide asphalt path for the golf carts to enter/exit the building and a new 6" water service line would be installed from the barn to the main along Prestwick Drive. The applicant has indicated to staff that they intend to renovate and expand the existing clubhouse in the near future, but this would be part of a different review process.

The project will require the following four (4) variations:

1. Variation for accessory structure size: 144 square feet permitted; 4,320 square feet proposed.
2. Variation for accessory structure height: 15' permitted to the roof peak; 21' proposed.
3. Variation to permit an accessory structure in the front yard, whereas side and rear yards are permitted.
4. Variation to permit an accessory structure in front of the primary structure.

Attachments

1. Aerial image (1:2,000 scale) – VOF GIS
2. Findings of Fact (Variation), applicant responses
3. Photographs of subject property (staff, October 16, 2023)
4. Manufacturer Specifications (lighting)
5. 3D renderings of cart barn, received October 31, 2023
6. Building Elevations of cart barn in color, received October 31, 2023
7. Building Elevations and Floor Plan in black & white, received November 1, 2023
8. Submittal, including Site Plan, Existing Conditions, Demolition Plan, Geometric Plan, Utility Plan, received October 6, 2023
9. Survey, received October 26, 2023

Analysis (updated since the workshop)

Zoning

The subject property is zoned E-R, Estate Residential. The existing zoning or use of the property will not be changed.

Site Design

1. The proposed golf cart barn would be reconstructed in almost exactly the same location as the existing barn. It would not be moved any closer to the side property line to the west. It would be moved marginally closer toward Prestwick Drive (approximately 1' or less).
2. The proposed accessory building would measure 21' tall to the peak of the gabled roof. The existing golf cart barn is approximately 10' to the top of the roof, which has a sloped roof typical of sheds.
3. The Fire District has reviewed the proposed site plan and does not have any additional comments currently.
4. A 9' wide asphalt golf cart path is proposed to the south of the proposed cart barn that wraps around the existing putting green. The putting green would be reconfigured slightly.
5. A new 6" water service line is proposed connecting the cart barn to the water main along Prestwick Drive.
6. All other work illustrated on the plans, including the clubhouse addition, concrete walkway, relocated catch basin and new 6" sanitary sewer line are proposed for the future and are **not** part of this project.

Floorplan

The floorplan for the proposed 4,320 square foot cart barn illustrates room for 69 golf carts, golf bag storage, a separate storage room, a mechanical room and a unisex bathroom. Although the building would have a vaulted ceiling, no second floor or attic space is proposed. The cart barn would be sprinklered for fire suppression.

Parking & Loading

Parking and loading would not be affected by the proposed golf cart barn or site improvements.

Architectural Style and Building Materials

1. The Zoning Ordinance does not contain any specific provisions for the architecture of this type of accessory building. However, it has been past practice that the accessory structure's architecture should be compatible with the primary structure, in this case the clubhouse. The sides of the clubhouse are made of brick, with a Dutch gable roof comprised of wood shingles or wood composite shingles. Parts of the clubhouse's roof have dormer windows. The proposed golf cart barn would employ fiberboard lap siding and board and batten fiberboard, which are wood composites. The roof would be comprised of composite shingle shakes, also a wood composite. Three dormer windows are proposed on the side of the roof facing toward the clubhouse. The opposite side of the roof facing west would not have dormer windows. The proposed golf cart barn would not have a second floor or attic space.
2. The proposed golf cart barn would not have any ground-mounted or rooftop-mounted mechanical units. The only mechanical equipment in the barn would be two ventilation fans placed within the gables on each end, screened with louvers.

Stormwater & Drainage

Although there are extensive floodplains and wetlands within Prestwick Country Club, there are no wetlands or floodplains in the area of the golf cart barn. Stormwater and drainage is not anticipated to be greatly impacted by the proposed site improvements.

Landscaping

There are no specific landscaping requirements for the proposed work as it relates to this type of accessory building. The scope of work would involve the removal of several trees between the proposed golf cart barn and the single-family home to the west. Although the Demolition Plan indicates that two mulberry trees would be removed, during a site inspection by staff on October 16, 2023, it was noticed that 5 trees had recently been removed. Staff recommends discussing landscaping during the public hearing. Additional landscaping may be considered by the PC/ZBA as part of any conditions of approval of the variations.

Lighting

The building would be illuminated with interior lights as well as wall sconce lights on the exterior of the cart barn. No new light poles are proposed. There would be a total of 10 wall sconce lights, in the form of two different types. The manufacturer specifications have been provided for each type of exterior wall sconce light.

Variation Requests

The following findings of fact are used to judge the merit of a variation request. The applicant has provided responses to these findings of fact in a separate attachment.

Findings of Fact:

No variation shall be recommended by the Plan Commission, unless such Commission shall find that all three of the following criteria are met:

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

2. That the plight of the owner is due to unique circumstances; and
3. That the variation, if granted, will not alter the essential character of the locality.

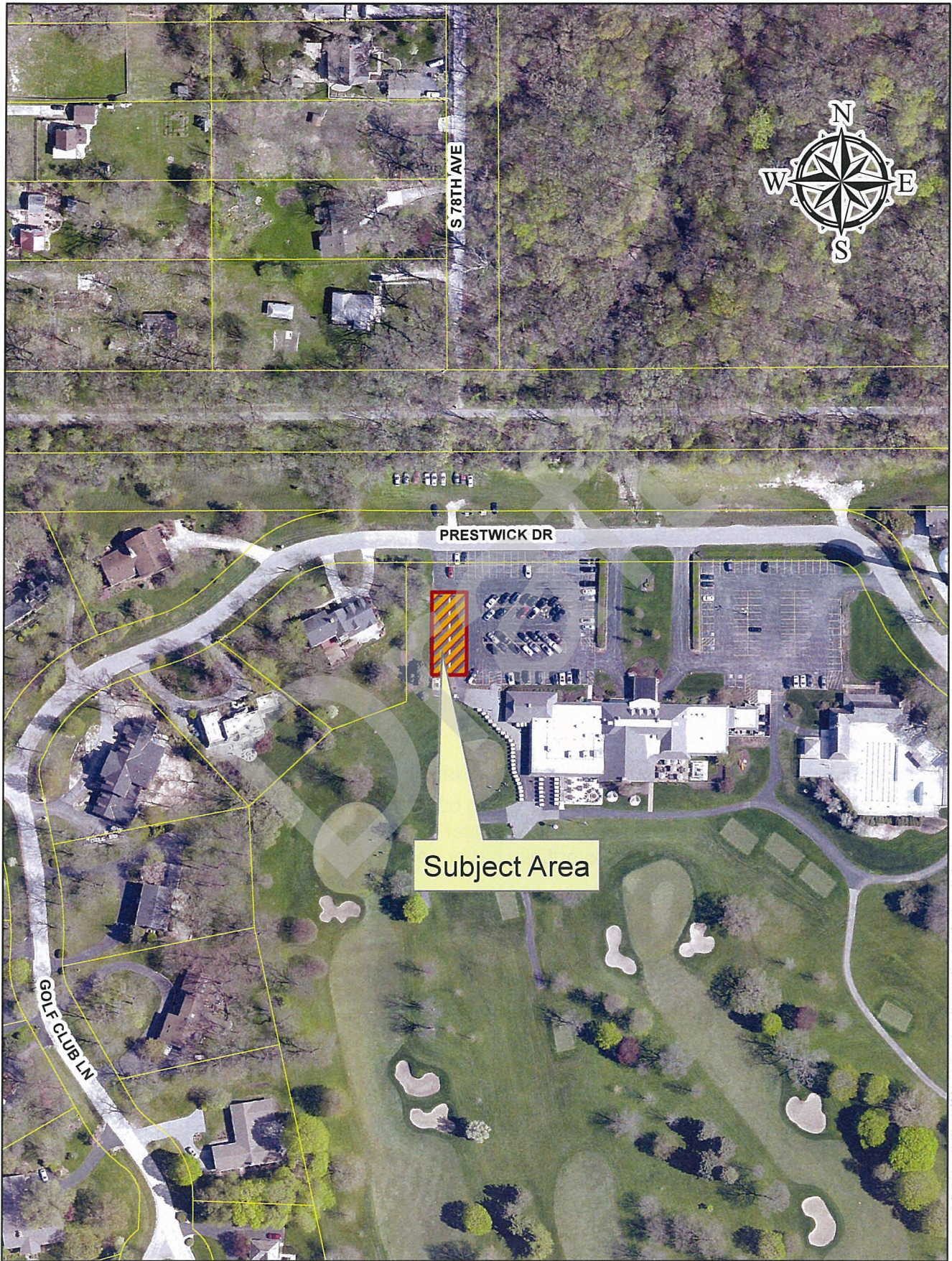
In addition to the above 3 required criteria, the Plan Commission shall also take into consideration the following 7 criteria:

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;
7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

Affirmative Motions

1. Recommend to the Village Board to approve a variation request for size from the permitted 144 square feet to 4,320 square feet per Article 5, Section D, Part 2(b) of the Zoning Ordinance, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
2. Recommend to the Village Board to approve a variation request for height from the permitted 15' to 21' per Article 5, Section D, Part 2(c) of the Zoning Ordinance, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
3. Recommend to the Village Board to approve a variation request to permit an accessory structure within a front yard, whereas only sides and rear yards are permitted per Article 5, Section D, Part 2(a) of the Zoning Ordinance, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
4. Recommend to the Village Board to approve a variation request to permit an accessory structure in front of the primary structure Article 5, Section D, Part 2(a) of the Zoning Ordinance, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

Prestwick Country Club - Cart Barn (variations)



5 0 125 250 500 Feet

VILLAGE OF
FRANKFORT
INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

A variation is sought to allow for an existing golf cart storage building to be replaced essentially in its current location in the Prestwick Country Club property. The current cart storage building is located in front of the current clubhouse, which is the primary building. No changes to the side yard setback nor the front yard setback are being requested. This building is essential to the use of the property and, due to the layout

2. That the plight of the owner is due to unique circumstances; and

The Prestwick Country Club is a unique property; it would not be able to function without the golf cart storage building.

3. That the variation, if granted, will not alter the essential character of the locality.

This variance seeks to replace an aging building with a new one of similar character and scale. The new building will be closer to the character of the existing club buildings and will be in substantially better condition.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

Due to current flood plain restrictions, there is no other suitable location for the golf cart storage building. Even if other locations could be utilized, the location of the building is part of the functional plan of the golf course in relation to the clubhouse, locker rooms and golf course circulation scheme.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

The Prestwick Country Club is a unique property and the location of the golf cart storage building was determined well before the Village annexed the development. The reconstruction of the cart storage building in its current location is a completely unique condition.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

This variance has no financial goal other than replacing an existing aging building with a new one.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

This variance petition has no relationship to any person having an interest in the property other than the membership of the country club.

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

As a replacement to the current golf cart storage building, granting of this variance will not be detrimental to the public welfare or unduly injurious to other properties in the neighborhood.

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

The exterior architectural design and functional character of the replacement golf cart storage building will be in general conformance with the other existing structures of the Prestwick Country Club.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

The replacement golf cart storage building will not impair air supply to adjacent properties nor substantially increase the danger of fire nor otherwise endanger the public safety or property values in the neighborhood.












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REPLACEMENT CART BARN



**PRESTWICK
COUNTRY
CLUB**

601 PRESTWICK DR. FRANKFURT, IL 60423

PARKING WEST LOT = 89 SPACES (2 ACCESSIBLE)
PARKING EAST LOT = 87 SPACES (2 ACCESSIBLE)
TOTAL = 177 SPACES (4 ACCESSIBLE)

PARKING REQUIRED
GOLF COURSE = 100
DRIVING RANGE = 10
EMPLOYEES = 40
TOTAL REQUIRED = 150 SPACES

10-6-2023 ISSUED FOR RCB BID & PERMIT
3-17-2023 SCHEMATIC DESIGN
2-17-2023 FRANKFORT PRELIM REVIEW
2-2-2023 CONCEPTUAL DESIGN

**OVERALL
SITE PLAN**

Scale:
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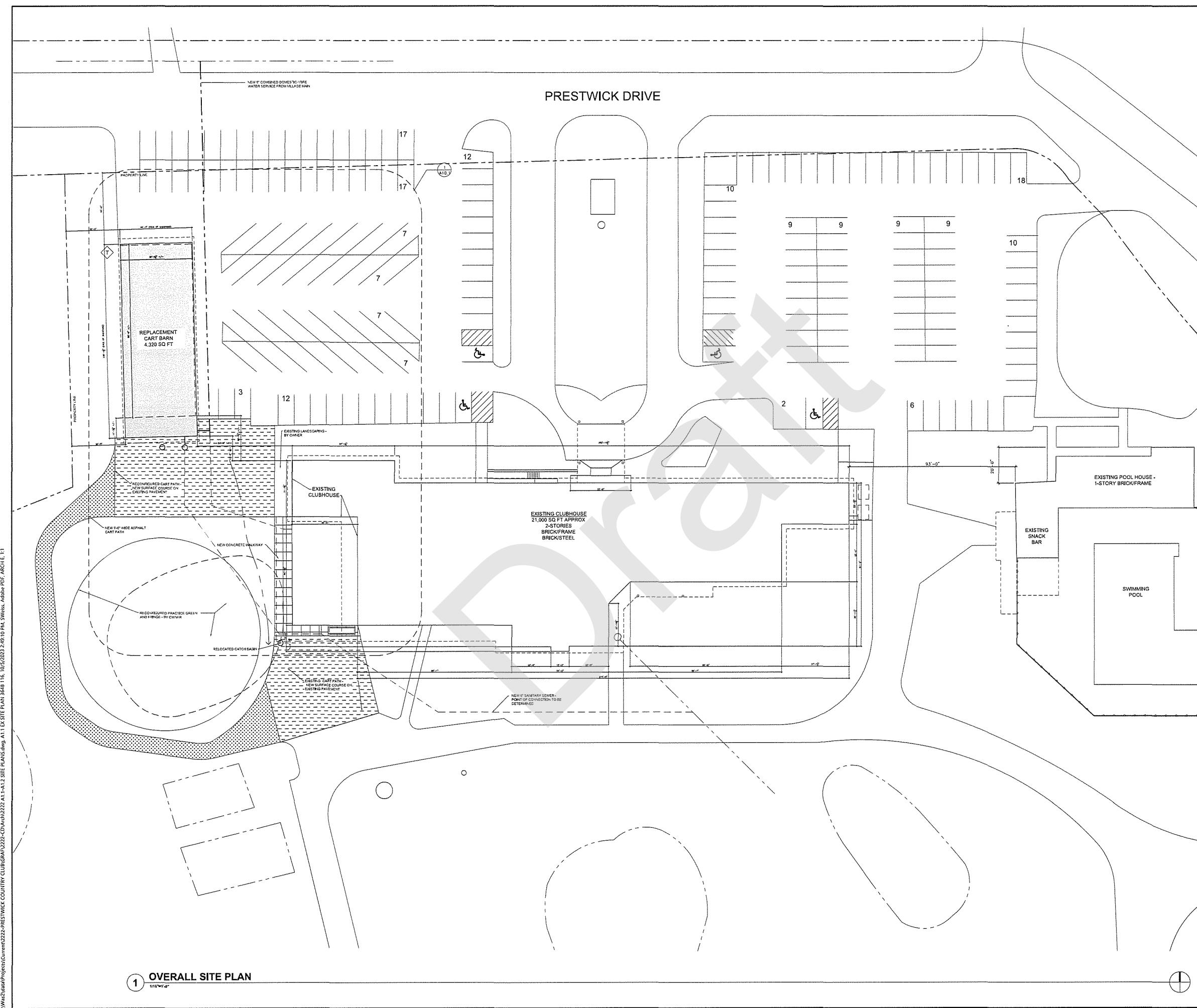
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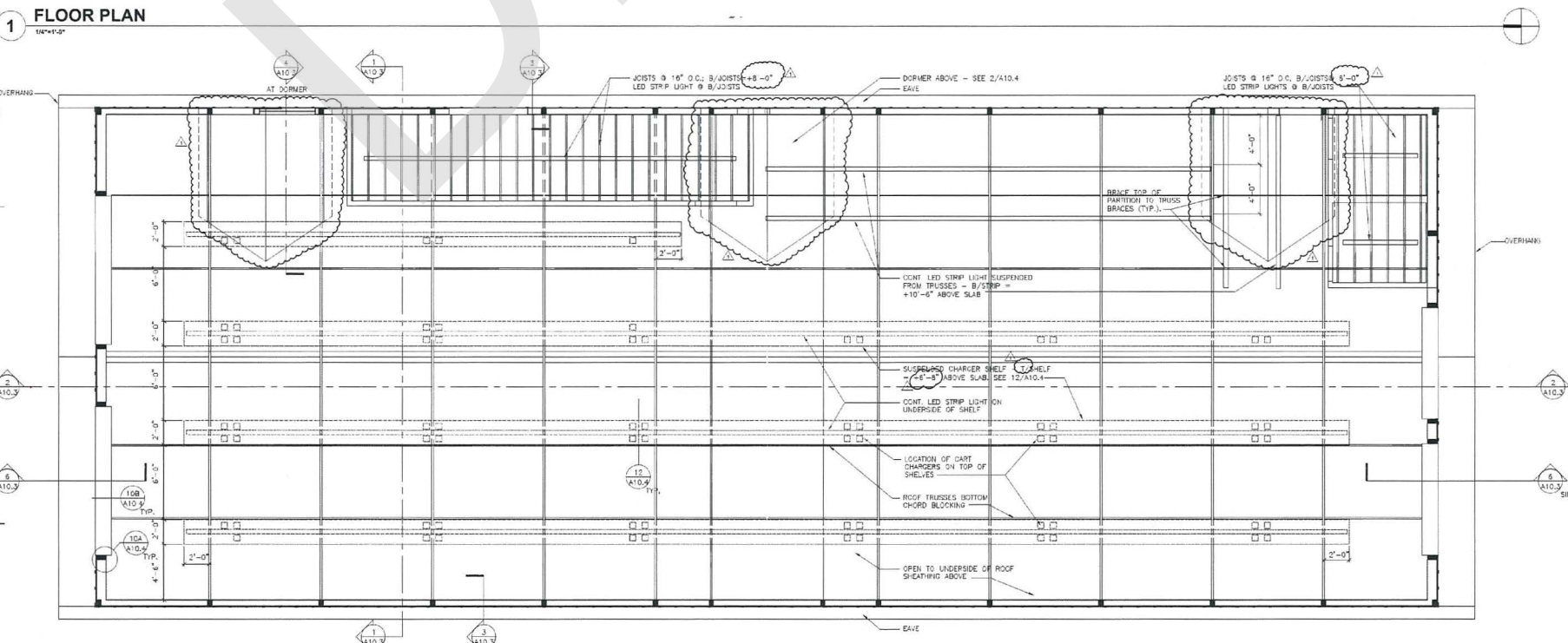
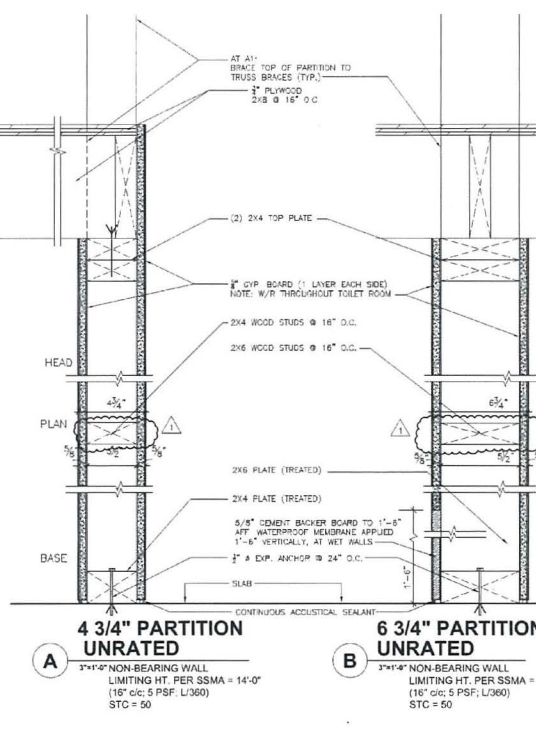
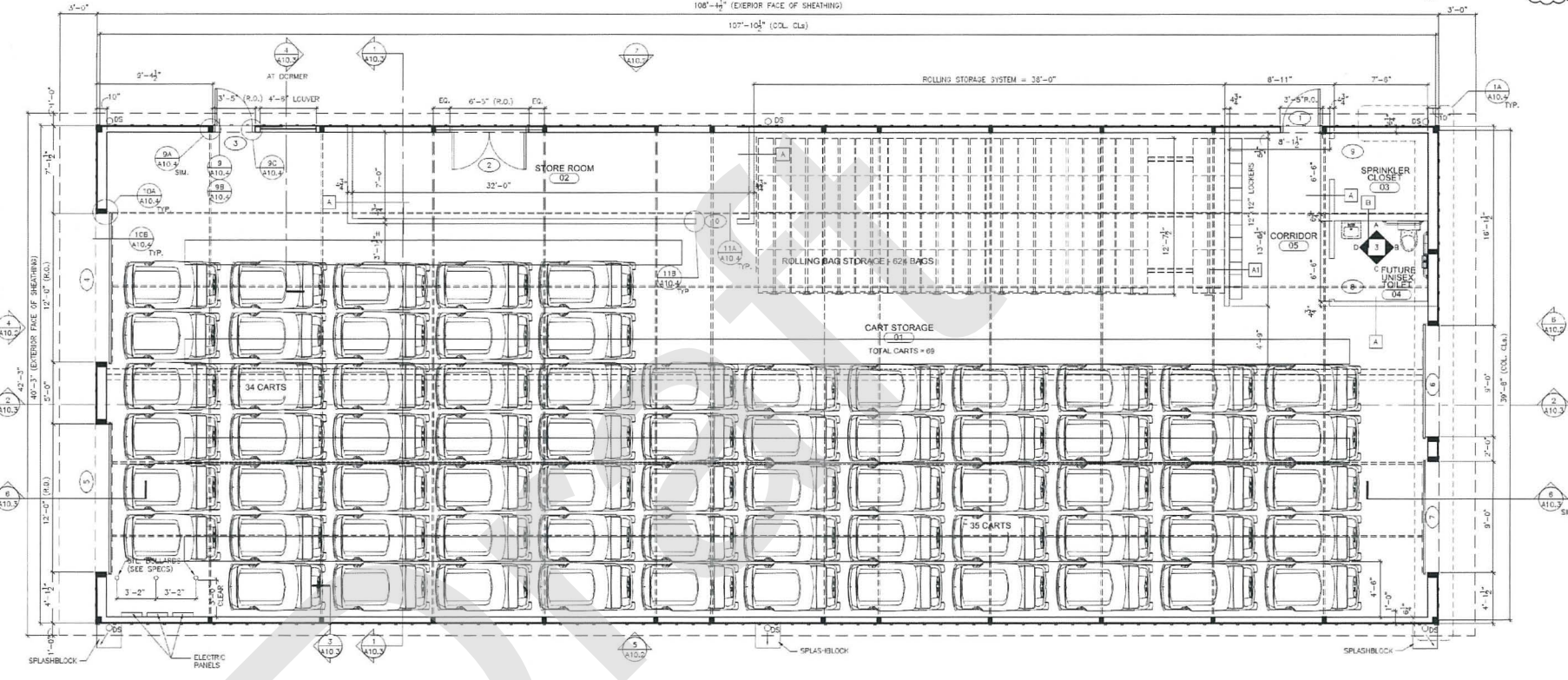
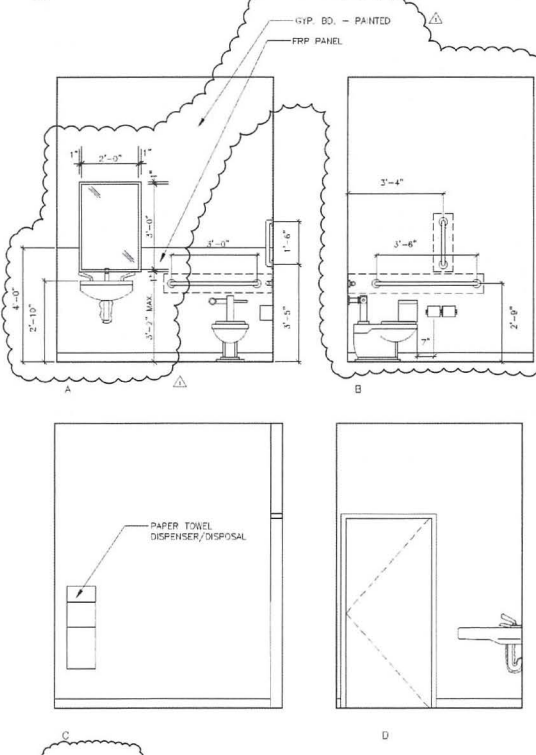
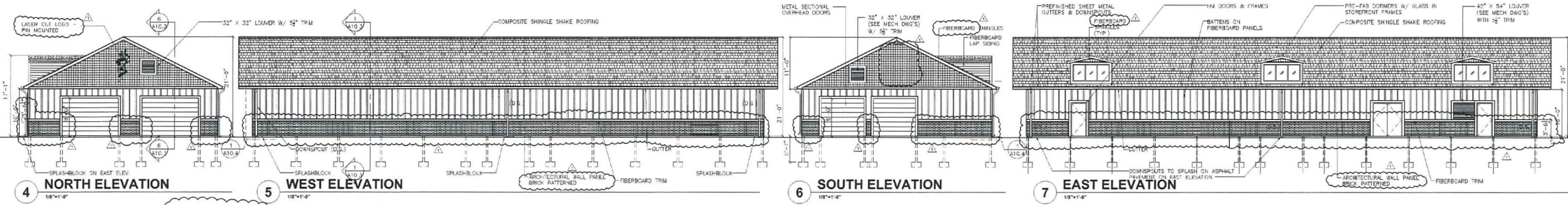
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REPLACEMENT CART BARN



**PRESTWICK
COUNTRY
CLUB**

601 PRESTWICK DR. FRANKFURT, IL 60423

11-7-2023	ISSUED FOR CONSTRUCTION
11-7-2023	GENERAL REVISION
10-6-2023	ISSUED FOR BID & PERMIT
8-29-2023	DESIGN DEVELOPMENT V.E.
3-17-2023	SCHEMATIC DESIGN
2-17-2023	FRANKFORT PRELIM REVIEW
2-2-2023	CONCEPTUAL DESIGN

**CART BARN PLANS
& ELEVATIONS**

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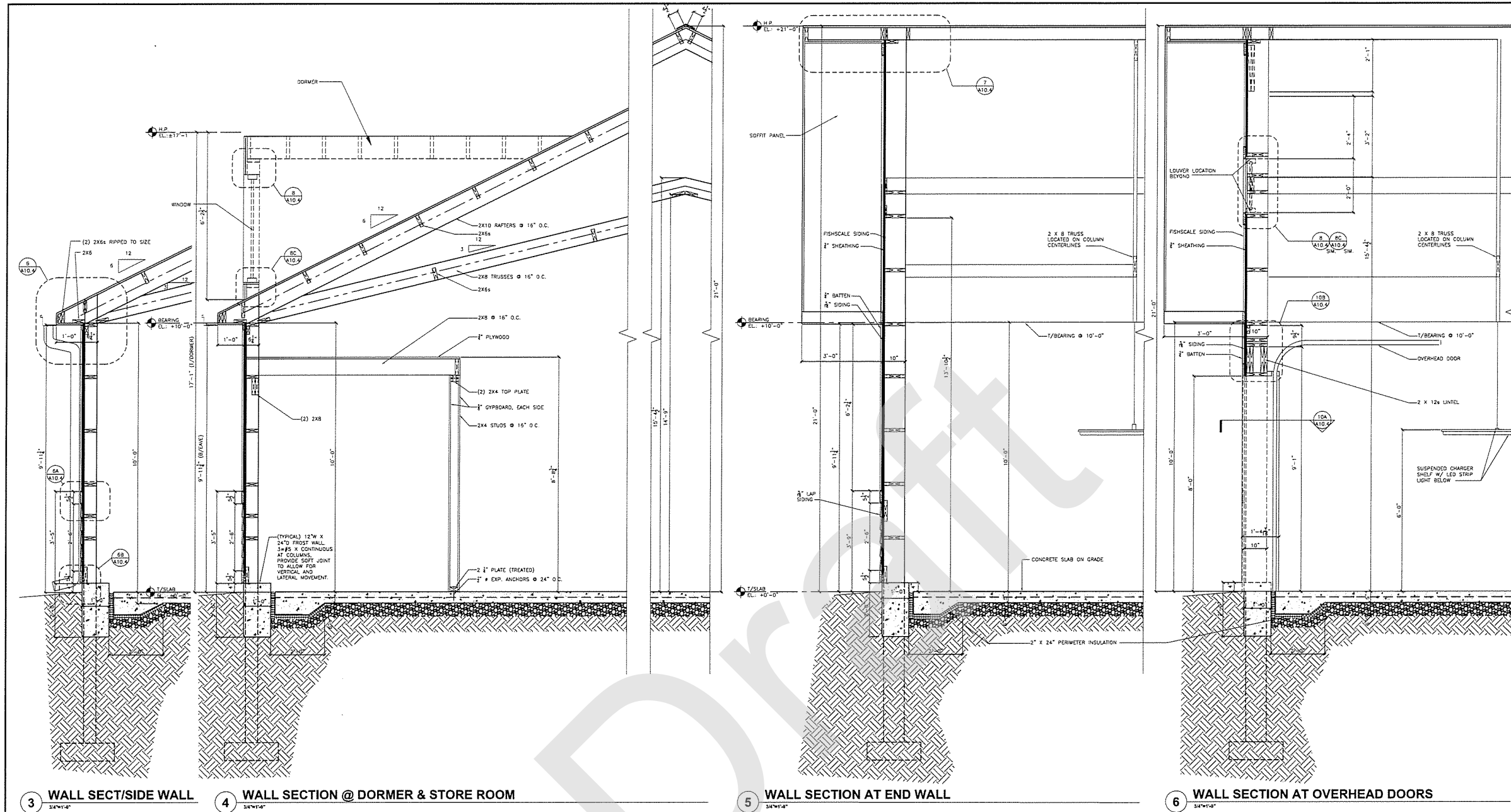
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REPLACEMENT CART BARN



PRESTWICK COUNTRY CLUB

601 PRESTWICK DR, FRANKFURT, IL 60423



CART BARN SLAB-ON-GRADE:

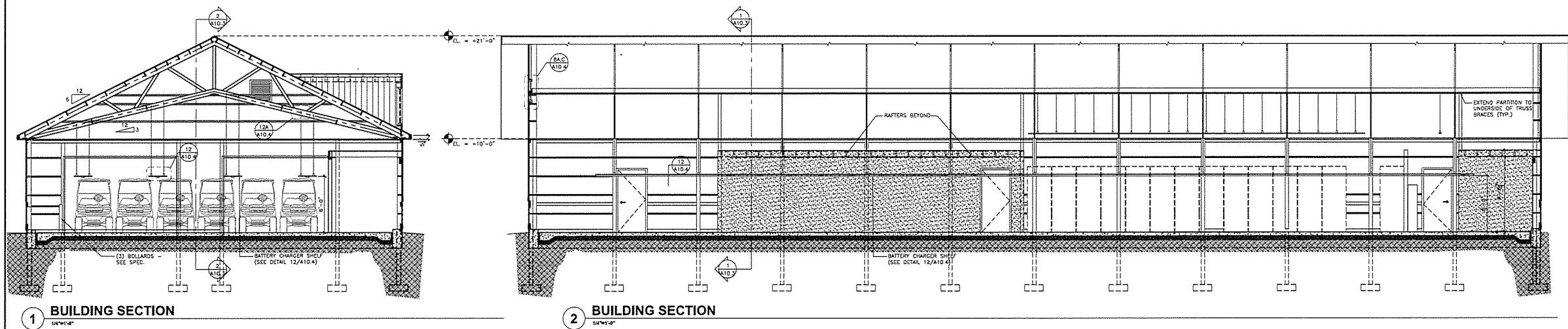
1. REFER TO DEMOLITION, EARTHWORK, AND CONCRETE SPECIFICATIONS.
2. PROVIDE 6" COMPACTED SAND OR GRAVEL BASE.
3. PROVIDE 5" THICK SLAB-ON-GRADE, $f_c=5000$ PSI, $w/c=0.40$ MAX., 65-75% AIR ENTRAINMENT.
4. PROVIDE 6" X 8" W/3" X W/3" W/3" @ 18" ON-CENTER DEPTH OF SLAB.
5. SAWCUT CONTROL JOINTS @ 15'-0" O.C. MAX.
6. REFER TO INTERIOR PAINTING SPECIFICATION FOR SLAB SEALER.
7. SEE NOT ABOVE FOR CONTINUING FROST WALL.

CART BARN WALL ASSEMBLY:

1. UPPER: HARDE "PANEL" SHEETS, CEDARMILL PATTERN, 48" W • FULL HEIGHT, 1/2" THK; WITH HARDE BATTEN BOARDS (2" X 2-1/2").
2. LOWER: HARDE "PLANK" (SMOOTH PATTERN) 1" X 7" (6" EXPOSURE) HORIZONTALS, SHIP LAP PATTERN.
3. TRIM HARDE "TRIM" (SMOOTH PATTERN) 1" X 5" HORIZONTALS AT BASE AND BELT; 2" X 3" UNDER EAVE VERTICAL AT CORNERS AND JAMBS, SIMILAR.
4. COMMERCIAL HOUSE WEAR.
5. 2" THK EXTERIOR GRADE PLYWOOD SHEATHING.
6. STRUCTURAL FRAMING AND GIRTS BY POLE BUILDING MANUFACTURER.

CART BARN ROOF ASSEMBLY:

1. COMPOSITE POLYMER "CEDAR" MULTI-WIDTH SHAKES W/ 1 PIECE HP & RIDGE SHAKES (DAVINO OR ED).
2. STAINLESS STEEL FLASHINGS & VALLEY FLASHINGS.
3. FELT UNDERLAYMENT.
4. CONTINUOUS ICE & WATER SHIELD UNDERLAMENT @ BOTTOM 3/4" OF ROOF, ALL AROUND.
5. 5/8" EXTERIOR GRADE PLYWOOD SHEATHING.
6. WOOD LUMBER PRE-FAB TRUSSES AND PURLINS BY POLE BUILDING MANUFACTURER.

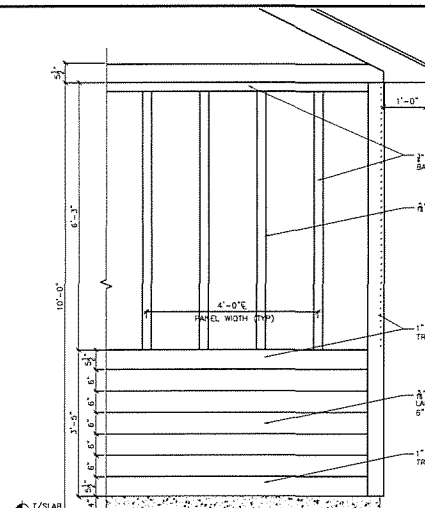


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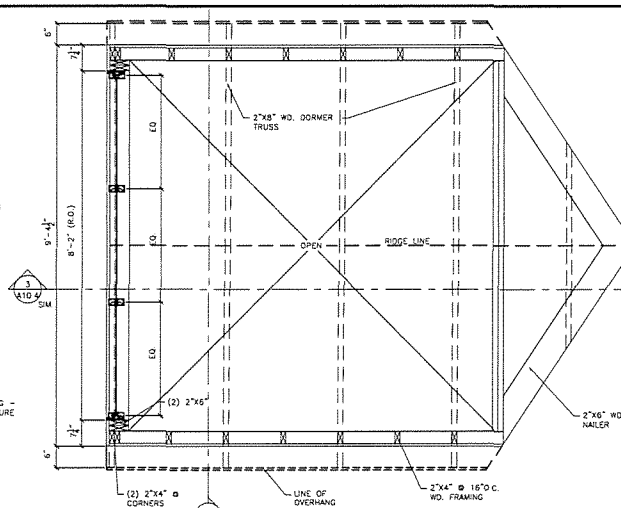
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8-21-2023 DESIGN DEVELOPMENT V.E.
3-17-2023 SCHEMATIC DESIGN

CART BARN SECTIONS

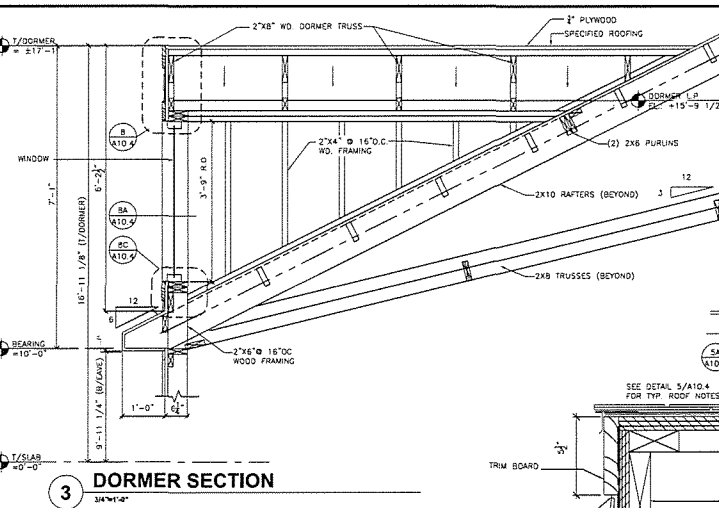
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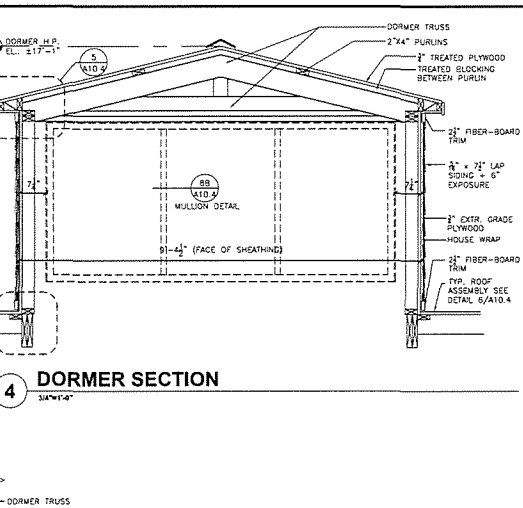
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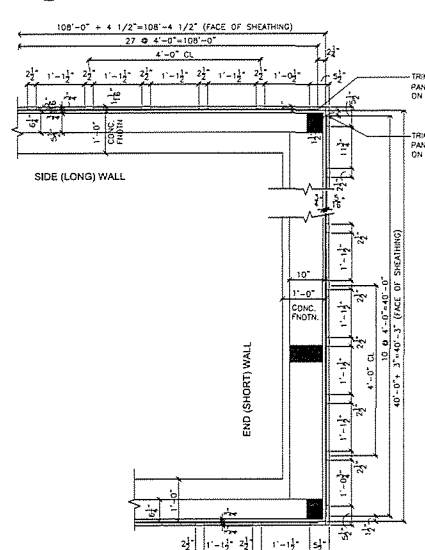
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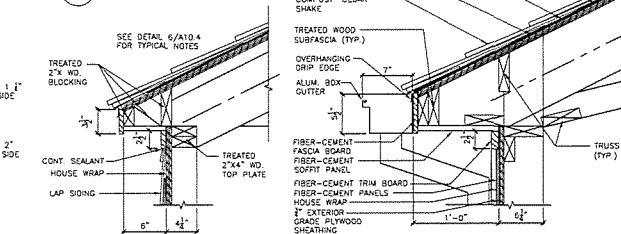
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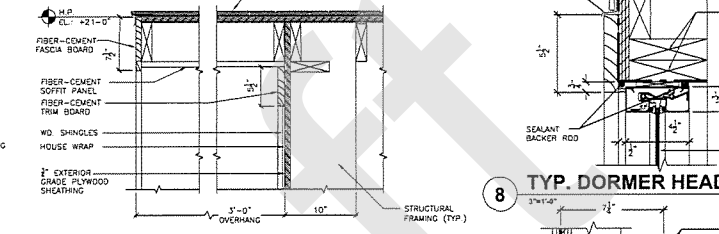
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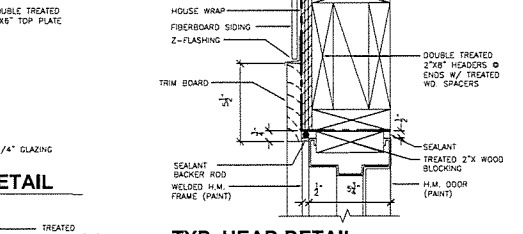
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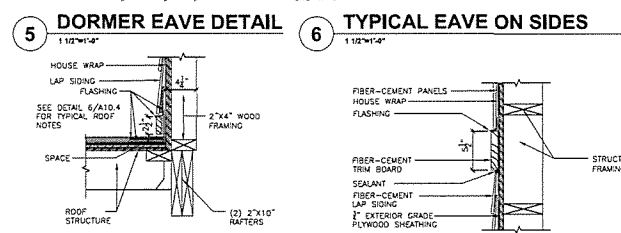
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7 TYPICAL OVERHANG @ ENDS
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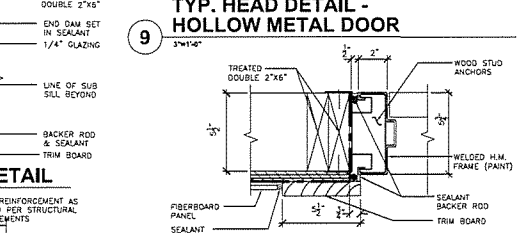
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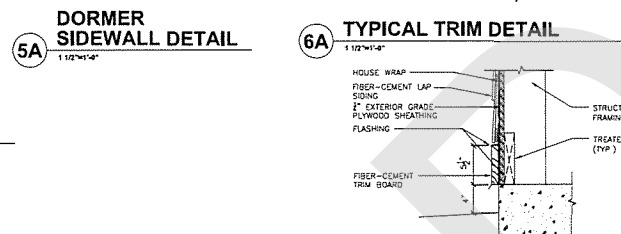
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7A TYP. DORMER JAMB DETAIL
3/4\"/>



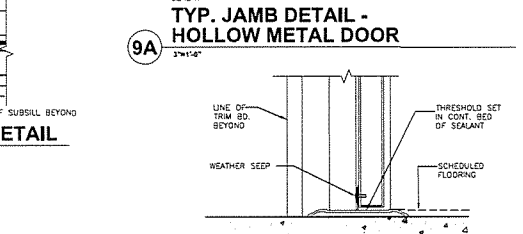
9 TYP. HEAD DETAIL - HOLLOW METAL DOOR
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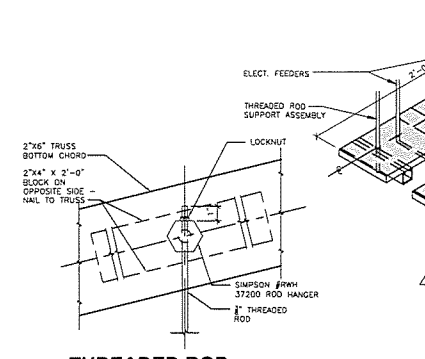
6A TYPICAL TRIM DETAIL
1 1/2\"/>



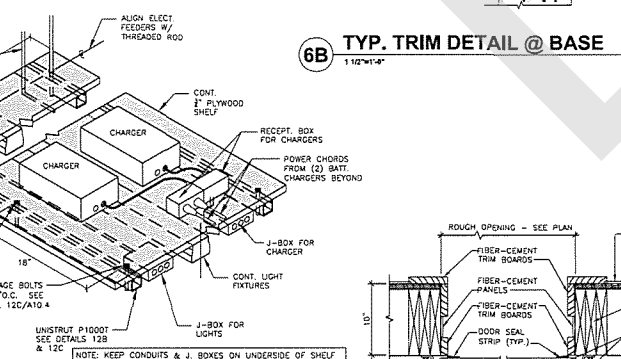
8A TYP. DORMER JAMB DETAIL
3/4\"/>



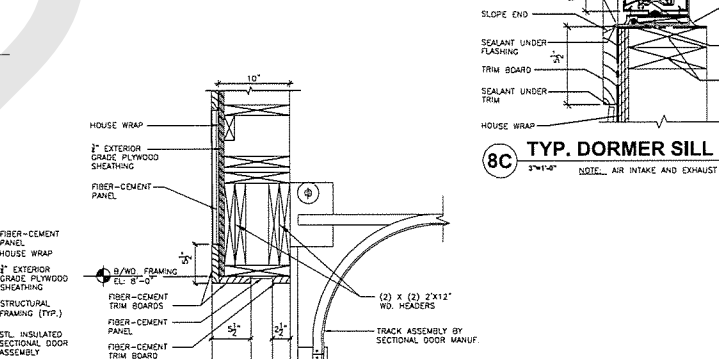
9A TYP. JAMB DETAIL - HOLLOW METAL DOOR
3/4\"/>



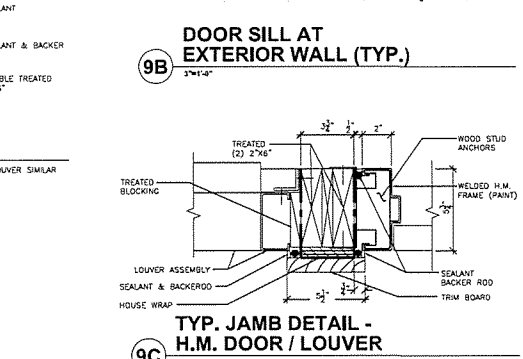
12A THREADED ROD @ ROOF TRUSS (TYP.)
3/4\"/>



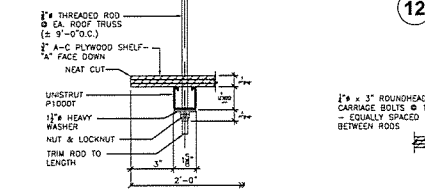
12 PARTIAL AXONOMETRIC VIEW @ BATT. CHARGER SHELVES
1 1/2\"/>



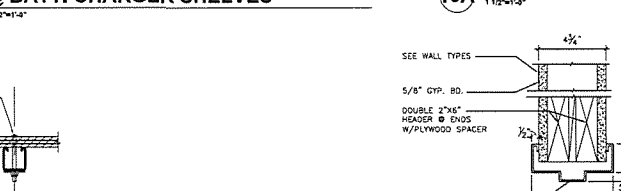
10A TYP. OVERHEAD DOOR
1 1/2\"/>



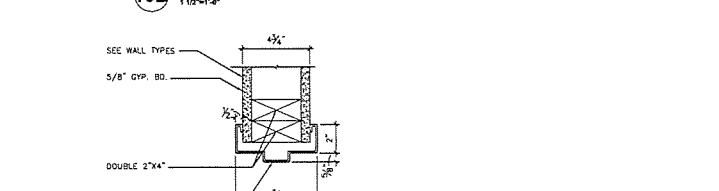
9B DOOR SILL AT EXTERIOR WALL (TYP.)
3/4\"/>



12B THREADED ROD @ SHELF DETAIL (TYP.)
3/4\"/>



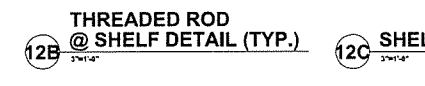
10B TYP. OVERHEAD DOOR
1 1/2\"/>



10C TYP. OVERHEAD DOOR
1 1/2\"/>



9C TYP. JAMB DETAIL - H.M. DOOR / LOUVER
3/4\"/>



12C SHELF DETAIL (TYP.)
3/4\"/>



11A INTERIOR DOOR H.M. HEAD DETAIL
3/4\"/>



11B INTERIOR DOOR H.M. JAMB DETAIL
3/4\"/>

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312 • 956 • 1160
312 • 956 • 1161 (fax)
cm@weissarc.com

STATE OF ILLINOIS
STEVEN F. WEISS
No. 018245
LICENSE EXPIRES 11-30-2024
Steve Weiss

REPLACEMENT CART BARN

PRESTWICK COUNTRY CLUB
601 PRESTWICK DR, FRANKFURT, IL 60423

16-6-2023 ISSUED FOR BID & PERMIT
CART BARN SECTIONS & DETAILS
Scale: NOTED
Drawn by: BLS
Project: 2222
Sheet: **A10.4**
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\\weiss\share\projects\Current\2222\CART BARN\A10.4.DTL. 10/5/2023 2:39:30 PM. SWHsk. Adobe PDF. ARCH. 1:1

GENERAL NOTES

1. The Village of Frankfort, Department of Public Works, and Department of Engineering (Telephone: 1-815-433-2177). Starter: J. Woodman (Telephone: 1-708-473-2080) and Joseph A. Schudt & Associates (Telephone: 1-708-720-1000) must be notified (2) working days prior to commencement of work.
2. Elevation is MGS2 Datum (NAVD 88).
3. All floor drains shall discharge to the sanitary sewer.
4. All downspouts shall flowing drains shall discharge to the storm sewer or upon the pavement.
5. "Hard Seal" or similar weather-tight couplings shall be used for the connection of sewer pipe of dissimilar materials.
6. When connecting to an existing sewer main by means other than an existing pipe tee, or an existing manhole, one of the following methods shall be used:
 - a. Circular saw-cut of sewer main by proper tools ("Sewer" Tap" machine or similar) and proper installation of hub-type saddle or hub-bee saddle.
 - b. Remove an entire section of pipe (breaking only the top of the bell) and replace with a new or like branch section.
 - c. With pipe cutter, neatly and accurately cut out desired length of pipe for insertion of proper fitting, using "Break Seal" or similar couplings to hold it firmly in place.
7. Whenever a sewer crosses under a watermain, the minimum vertical distance from the top of the sewer to the watermain shall be 18 inches. Furthermore, a minimum horizontal distance of 10 feet between sanitary and watermain shall be maintained unless the sewer is laid in a separate trench, keeping a minimum 18 inch vertical separation, or the sewer is laid in the same trench with the watermain located at the opposite side on a basis of established earth loading, maintaining a minimum 18 inch vertical separation. If either the vertical or horizontal distances described above cannot be maintained, the sewer crosses above the watermain, then, for a distance of 10 feet on either side of the watermain, the sewer pipe shall be PVC pressure pipe material or the watermain shall be constructed in a water-tight casing.
8. Contractor shall install manholes and manhole frames and covers without using fittings providing that joint deflection does not exceed 5 degrees per joint for pipe under 14 inches in size and 3 degrees per joint for 14 inches and over in size. All casing (including services) shall have a maximum of 18 inches inside diameter and shall extend to each end of the center of the crossing.
9. All manhole inlets shall be minimum inside diameter of 18 inches and shall have a 6" diameter cap, unless otherwise specified in writing. Manhole inlets shall be installed to the top of the gutter. If not, they will be done before surface is installed.
10. All sanitary sewer, storm sewer and water construction shall conform to the "Standard Specifications for Water and Sewer Main Construction in Illinois" latest Edition.
11. All paving and related improvements shall be constructed in accordance with the Illinois Department of Transportation, "Standard Specifications for Road and Bridge Construction in Illinois" latest Edition. Binder course shall be installed to the top of the gutter. If not, they will be done before surface is installed.
12. All trenches caused by the construction of sewers, watermain, water service pipes and in excavation around catch basins, manholes, valves and other appurtenances which occur within the limits of or within 7 feet of existing or proposed pavements, sidewalks, and curbs and gutters shall be backfilled with trench basalt. Trench basalt shall be CA-7 material. 12" x 12" x 8" diameter sanitary sewer pipe and 18" x 8" x 8" dam, man, sewer access and fittings shall be PVC pipe, SDR 35 (ASTM D-3034) with flexible elastomeric (O-ring) gaskets (ASTM D-3212). Bedding material shall be CA-11, have a minimum thickness of four inches and extend 12 inches over the top of pipe. Bedding shall be in accordance with ASTM D-3221 Class "A". 18" x 8" diameter watermain service crosses shall be 40 lb. pipe, 40 lb. pipe, 40 lb. pipe. Sanitary sewer manholes shall be installed to the top of the gutter. If not, they will be done before surface is installed. Manholes in the right-of-way shall be provided with metal work of hard steel section joints. Manholes shall be installed in accordance with ASTM C-309 or ASTM C-1245. All sanitary manholes be constructed with Man-Shop manholes.
13. Watermain shall be PVC (ASTM C-2009), joints shall be bell and gasket with elastomeric (ASTM F-477). All watermain shall be installed with a No. 10 AVG, single strand single conductor, insulated copper leader and set of PVC means and fittings with the wire contained through the valves. Watermain shall be pressure tested at 125 psi for one hour with no pressure loss. A disinfection tank shall be completed using an initial chlorine concentration of 50 mg/l and a minimum residual concentration of 25 mg/l after 24 hours. Two consecutive samples must pass the bacteriological tests. Current Practices shall be utilized on all fittings and all fittings shall be epoxy coated. Referenced joints shall be installed within three pipe lengths of fittings. Mega-Loc, or equal. Bedding material shall be CA-11, have a minimum thickness of four inches and extend 12 inches over the top of pipe.
14. Watermain shall be PVC (ASTM C-2009), joints shall be bell and gasket with elastomeric (ASTM F-477). All watermain shall be installed with a No. 10 AVG, single strand single conductor, insulated copper leader and set of PVC means and fittings with the wire contained through the valves. Watermain shall be pressure tested at 125 psi for one hour with no pressure loss. A disinfection tank shall be completed using an initial chlorine concentration of 50 mg/l and a minimum residual concentration of 25 mg/l after 24 hours. Two consecutive samples must pass the bacteriological tests. Current Practices shall be utilized on all fittings and all fittings shall be epoxy coated. Referenced joints shall be installed within three pipe lengths of fittings. Mega-Loc, or equal. Bedding material shall be CA-11, have a minimum thickness of four inches and extend 12 inches over the top of pipe.

PRESTWICK COUNTRY CLUB CART BARN SITE IMPROVEMENT PLANS

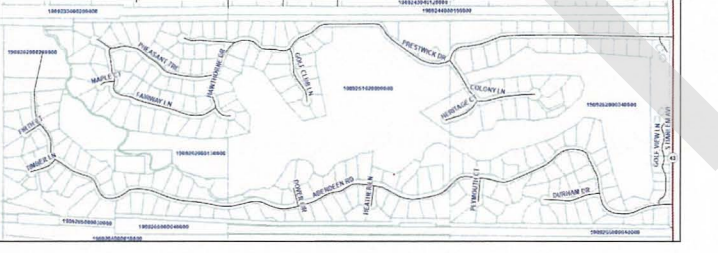
ARCHITECT
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WEISS ARCHITECTURE
222 W. ONTARIO
CHICAGO, ILLINOIS 60654
PHONE (312) 986-1160 312-986-1161 (FAX)
EMAIL@WEISSARCH.COM (general)

CLIENT
EDWARD S. TINDALL
GENERAL MANAGER/COO
PRESTWICK COUNTRY CLUB
EMAIL@TINDALL@PRESTWICKCC.COM

DRAINAGE STATEMENT
State of Illinois
County of Will
I SS

The undersigned hereby state that to the best of their knowledge and belief, the drainage of surface waters will not be changed by the construction of such subdivision or any part thereof, or that if such surface water drainage will be changed, reasonable provision has been made for collection and diversion of such surface waters into public areas, or drains which the subdivisor has a right to use, and that such surface waters will be drained for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to the adjoining property because of the subdivision.

OWNER
ENGINEER: *J. Schudt* REGISTRATION No. 43406



VICINITY MAP
(NOT TO SCALE)
INDICATES SITE LOCATION

Joseph A. Schudt & Associates
9455 ENTERPRISE DRIVE, MOKENA, ILLINOIS
PHONE: 708-720-1000 FAX: 708-720-1055
www.jas.com

CONTACT JULIE AT 811 OR 800-892-0123
WITH THE FOLLOWING INFORMATION
COUNTY NAME WILL
CITY/TOWNSHIP WASHINGTON
SEC 6 1/4 SEC 30
Know what'll you 48 HOURS (2 working days) BEFORE YOU DIG
Call before you dig.

Prepared under the direction of *J. Schudt*
Illinois Registered Professional Engineer No. 43406
SIGNED 10-06-2023
LIC EXP. 11-30-23



LEGEND

(Symbol)	EXISTING SANITARY MANHOLE	(Symbol)	TRANSFORMER
(Symbol)	PROPOSED SANITARY MANHOLE	(Symbol)	EXISTING ELECTRIC MANHOLE
(Symbol)	EXISTING SANITARY SEWER	(Symbol)	EXISTING ELECTRIC CABLE
(Symbol)	EXISTING VALVE IN VAULT	(Symbol)	TRAFFIC SIGNAL
(Symbol)	PROPOSED VALVE IN VAULT	(Symbol)	HAND HOLE
(Symbol)	EXISTING VALVE	(Symbol)	EXISTING BELL TELEPHONE (BT)
(Symbol)	EXISTING REDUCER	(Symbol)	EXISTING TELEPHONE CABLE
(Symbol)	PROPOSED REDUCER	(Symbol)	VALVE
(Symbol)	EXISTING HYDRANT	(Symbol)	EXISTING GAS MAIN
(Symbol)	PROPOSED HYDRANT	(Symbol)	CITY-EXISTING CABLE TV
(Symbol)	EXISTING WATERMAIN	(Symbol)	SPRING LOCATION
(Symbol)	PROPOSED WATERMAIN	(Symbol)	EXISTING CONTOUR LINE
(Symbol)	EXISTING RILEY	(Symbol)	PROPOSED CONTOUR LINE
(Symbol)	PROPOSED TYPE 'N' RILEY	(Symbol)	EXISTING CLAYPIPE
(Symbol)	PROPOSED CERAMIC RILEY	(Symbol)	PROPOSED CLAYPIPE
(Symbol)	EXISTING CATCH BASIN	(Symbol)	EXISTING CURB LINE
(Symbol)	PROPOSED CATCH BASIN	(Symbol)	EXISTING CURB TO BE REMOVED
(Symbol)	EXISTING STORM MANHOLE	(Symbol)	PROPOSED CURB
(Symbol)	PROPOSED STORM MANHOLE	(Symbol)	EXISTING STORM CURB
(Symbol)	PROPOSED STORM MANHOLE	(Symbol)	PROPOSED STORM CURB
(Symbol)	EXISTING STORM SEWER	(Symbol)	IRON
(Symbol)	PROPOSED STORM SEWER	(Symbol)	EXISTING STORM SEWER
(Symbol)	EXISTING LIGHT	(Symbol)	FENCE LINE
(Symbol)	PROPOSED LIGHT	(Symbol)	DISHOUS TREE
(Symbol)	POWER POLE	(Symbol)	ENERGIZED
(Symbol)		(Symbol)	BUSHES
(Symbol)		(Symbol)	WETLAND

SHEET INDEX

1.	COVER SHEET
2.	OVERALL TOPOGRAPHY PLAN
3.	DEMOLITION PLAN
4.	SITE GEOMETRICS PLAN
5.	SITE GRADING PLAN
6.	CONSTRUCTION DETAILS
7.	DETAILS

BENCHMARK
SITE BENCHMARK
NE FLANGE BOLT ON FIRE HYDRANT NORTH SIDE OF
PRESTWICK DRIVE OPPOSITE PARKING LOT
ELEV = 713.14

ISSUED FOR PERMIT / BID

No.	Date	By	Description
1	10-06-2023	JAS	REVISED

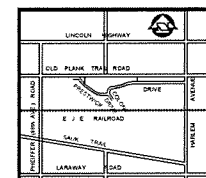
SHEET 1 OF 7
Project No. 94-053

SEC 6 1/4 SEC 30
Know what'll you 48 HOURS (2 working days) BEFORE YOU DIG
Call before you dig.

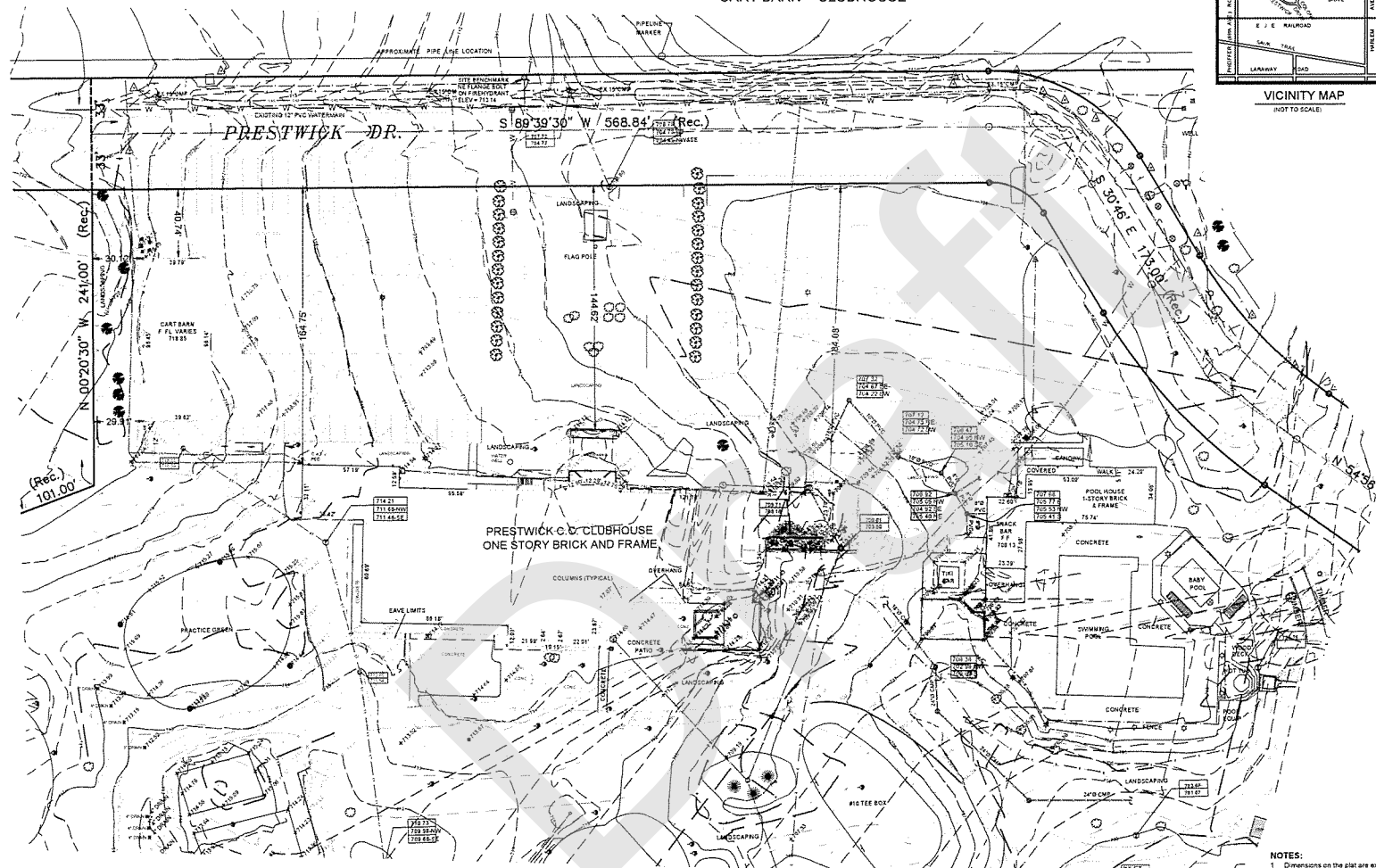
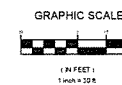


TOPOGRAPHIC SURVEY

PRESTWICK COUNTRY CLUB
CART BARN - CLUBHOUSE



VICINITY MAP
(NOT TO SCALE)



SITE BENCHMARK #1 & #2
LOCATED NORTH SIDE
OF PRESTWICK DRIVE
#1 - ELEV = 704.55
#2 - ELEV = 702.53

- NOTES:**
1. Dimensions on the plat are expressed in feet and decimal parts thereof.
 2. Bearings are based on the record subdivision plat of Arthur T. McIntosh & Company's Prestwick - Unit One recorded per Document No. 1034479 unless otherwise noted.
 3. This survey was prepared without benefit of a Title Policy.
 4. Verify all utility locations before building and report any discrepancies.
 5. Survey includes only portions of the Prestwick C.C. Clubhouse, Pool, Tennis Court, maintenance facilities practice tees, driving range and associated greens only lying North of Prestwick Drive and does not include entire golf course which is included in legal description above.

STATE OF ILLINOIS
COUNTY OF WILL) SS

JOSEPH A. SCHUDT AND ASSOCIATES HEREBY CERTIFY THAT THEY HAVE SURVEYED THE PROPERTY DESCRIBED HEREBY, AND THAT THE PLAT HEREON SHOWS A CORRECT REPRESENTATION OF SAID SURVEY, ALL DIMENSIONS IN FEET AND DECIMAL PARTS THEREOF.

MOKENA, ILLINOIS AD 2023
JOSEPH A. SCHUDT, ASSOCIATES (184-001172)
Joseph A. Schudt
LICENSED PROFESSIONAL LAND SURVEYOR (NO. 3152) (EXP. 11/30/24)



FLOOD HAZARD
By graphic showing only the property in Brown, Orange, Red, Yellow, and Blue, of the Flood Insurance Rate Map, Community Flood Map No. 1105030100, which became effective on February 11, 2018, Zone A, the building which was surveyed is in the Substantially Flooded Area. Zone A, which is an area of 500-year flood with average depth of about 1 foot or less above ground level than 1 square mile, and areas protected by levees from 100-year flood and Zone A2, which are areas with less than 1 square mile.

This field surveying was performed in accordance with the rules and regulations of the Board of Professional Land Surveyors of the State of Illinois, and the rules and regulations of the Federal Emergency Management Agency.

APPROXIMATE LIMITS
OF AREA OF FLOOD
HAZARD AREAS
OF FLOOD HAZARD
DEPT. 11-1-1

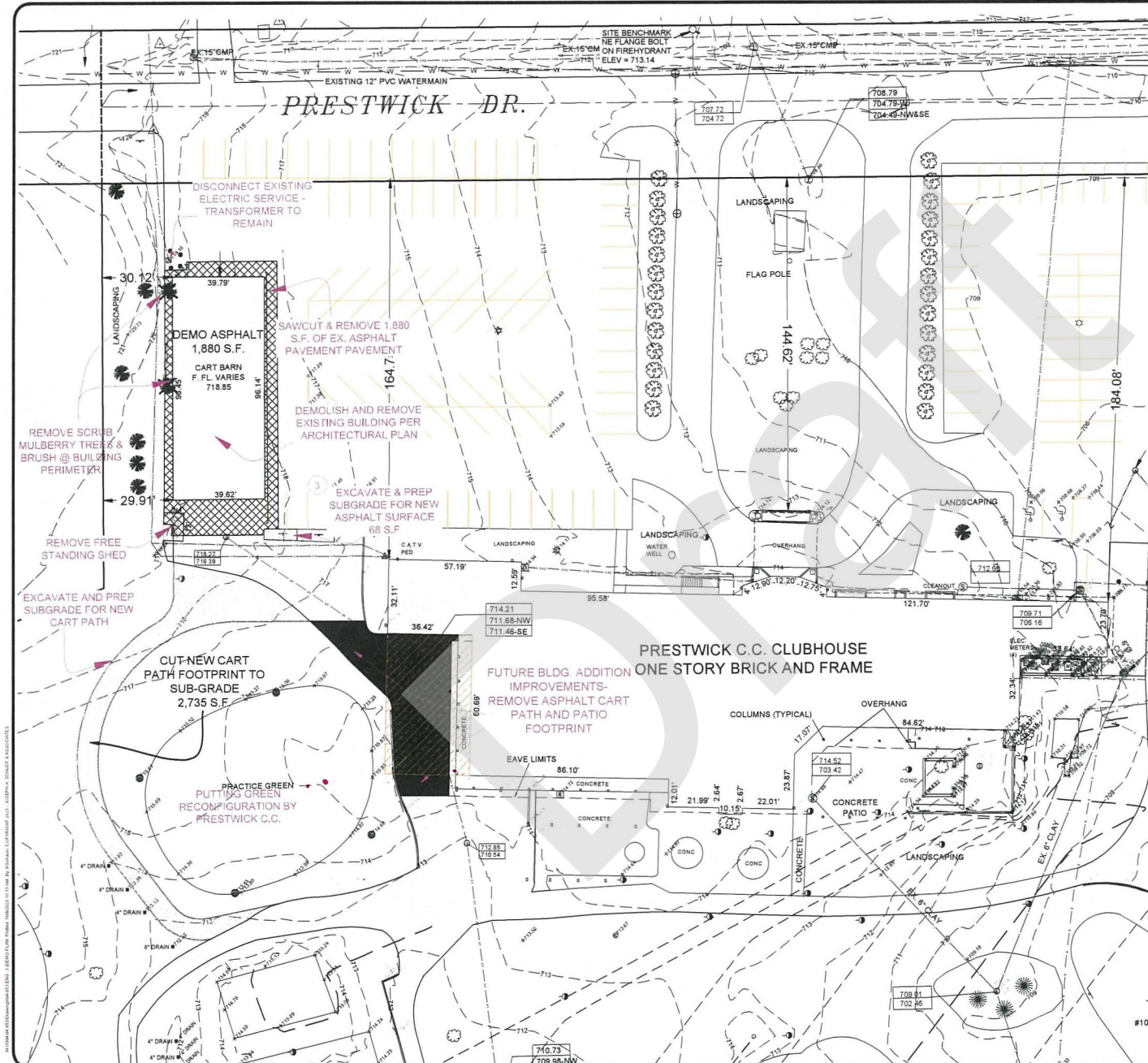
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PERMIT / BID

Joseph A. Schudt & Associates
9455 ENTERPRISE DRIVE MOKENA, IL 60448
PHONE: 708-720-1000 www.jaseng.com FAX: 708-720-1065
(184-001172)

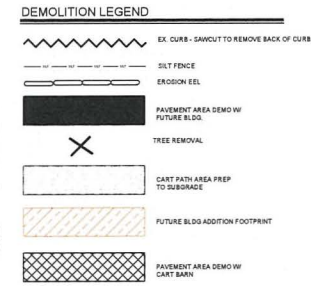
CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

PRESTWICK COUNTRY CLUB
CART BARN & SURROUNDS
EXISTING CONDITIONS

Date: 10-06-2023
Scale: 1"=30'
File No: 94-053.ENG
Drawn: CD
Checked: D.W.O.
Sheet: 2 of 7
Project No.: 94-053



- DEMOLITION NOTES**
1. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL NECESSARY PERMITS HAVE BEEN SECURED. CONTRACTOR SHALL PERFORM ALL DEMOLITION AND ASSOCIATED OPERATIONS IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND REQUIREMENTS OF AGENCIES HAVING JURISDICTION.
 2. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROMPTLY AND IN A LEGAL MANNER. STOCKPILING OF MATERIALS WILL BE PROHIBITED WITHOUT PERMISSION FROM THE OWNER AND AGENCY HAVING JURISDICTION.
 3. CONTRACTOR SHALL VERIFY THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED, MARKED AND SHUT-OFF PRIOR TO COMMENCING ABANDONMENT ACTIVITIES. NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 4. UTILITY SERVICE LINES INDICATED FOR ABANDONMENT SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF TWO FEET OF NON-SHRINK CONCRETE (STAR PLUGS). CONTRACTOR SHALL PROTECT EXISTING UTILITY SERVICES LINES AND MAINS INDICATED TO REMAIN FROM DAMAGE DURING DEMOLITION AND ABANDONMENT OPERATIONS.
 5. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB, AND NOTIFY THE OWNER IMMEDIATELY.
 6. CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT FAILURE TO PROTECT AND DAMAGE TO ADJACENT FACILITIES TO REMAIN. DO NOT CLOSE OR RESTRICT MAINS, ROADS, WALKWAYS OR OTHER FACILITIES WITHOUT PERMISSION FROM THE OWNER AND AUTHORITIES HAVING JURISDICTION.
 7. SAWCUT (FULL DEPTH), REMOVE AND DISPOSE OF EXISTING CONCRETE CURBS AND GUTTER AND PAVEMENT.
 8. REFER TO LANDSCAPE PLANS FOR ADDITIONAL DEMOLITION SCOPE OF WORK.
 9. WHEN A PORTION OF SIDEWALK REQUIRES REMOVAL, IT WILL BE NECESSARY TO REMOVE CONCRETE SIDEWALK TO THE NEAREST JOINTS. ALL JOINTS SHALL BE SAWCUT.
 10. ALL EXISTING CURBS THAT IS CRACKED OR DAMAGED DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED IN ADDITION TO SPECIFIC LOCATIONS SHOWN ON PLAN AT CONTRACTOR'S COST.
 11. ALL DEBRIS RUBBLE AND DETRITUS SHALL BE REMOVED FROM THE SITE.
 12. COORDINATE WITH PRESTWICK GROUNDS STAFF TO CUT & CAP IRRIGATION SYSTEM PRIOR TO EXCAVATION.

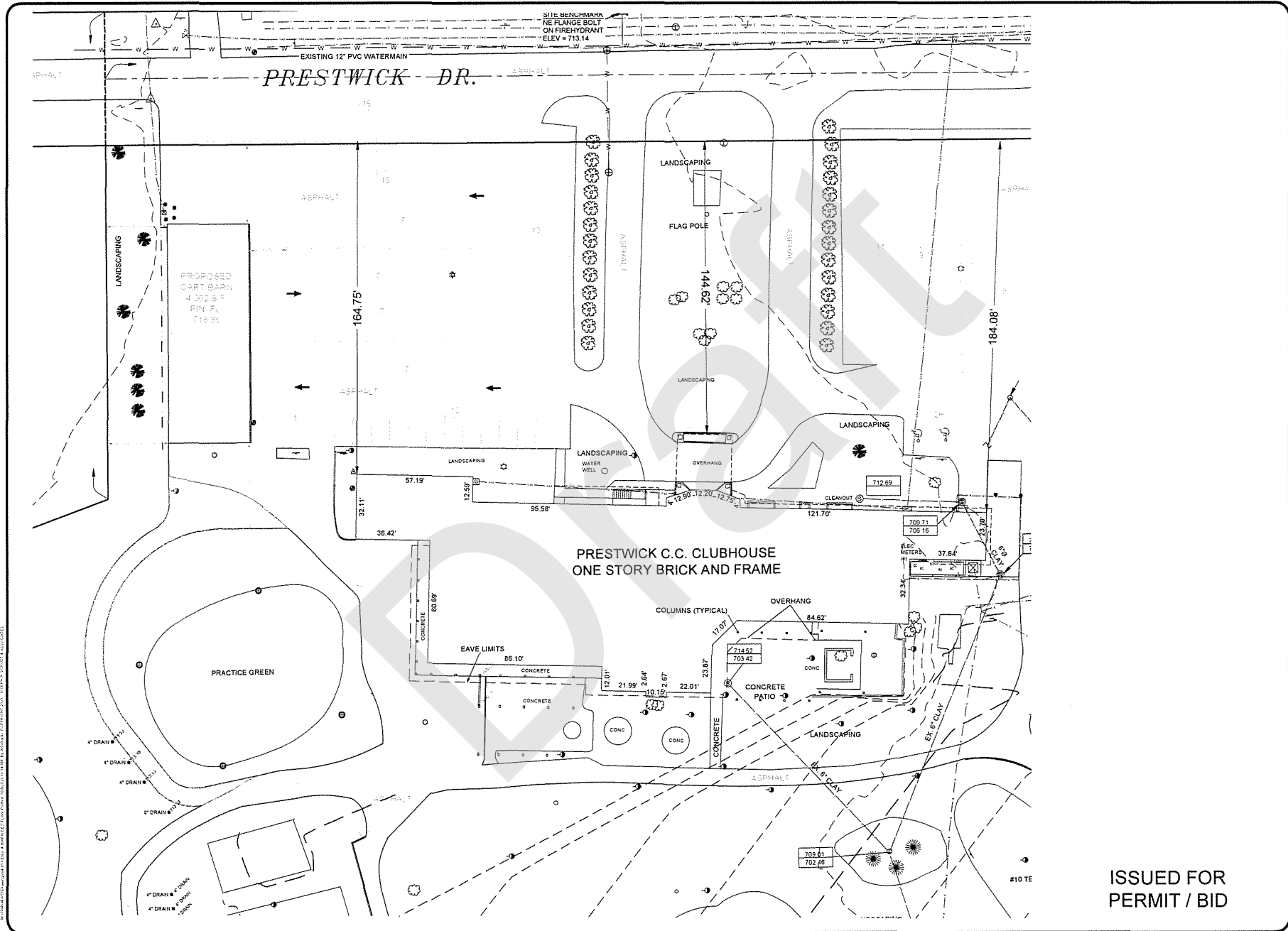


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Joseph A. Schudt & Associates
 9455 ENTERPRISE DRIVE, MOKENA, IL 60448
 PHONE: 708-220-1000 www.jasandco.com FAX: 708-720-1065
 CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

PRESTWICK COUNTRY CLUB
CART BARN
DEMOLITION PLAN

Date: 10-06-2023
 Scale: 1"=20'
 File Name: 94-053.ENG
 Drawn: CD/KG
 Checked: D.W.O.
 Sheet: 3 OF 7
 Project No.: 94-053

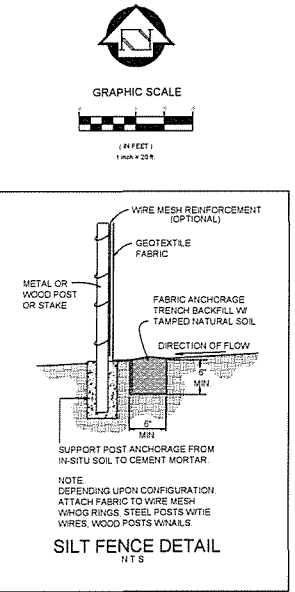
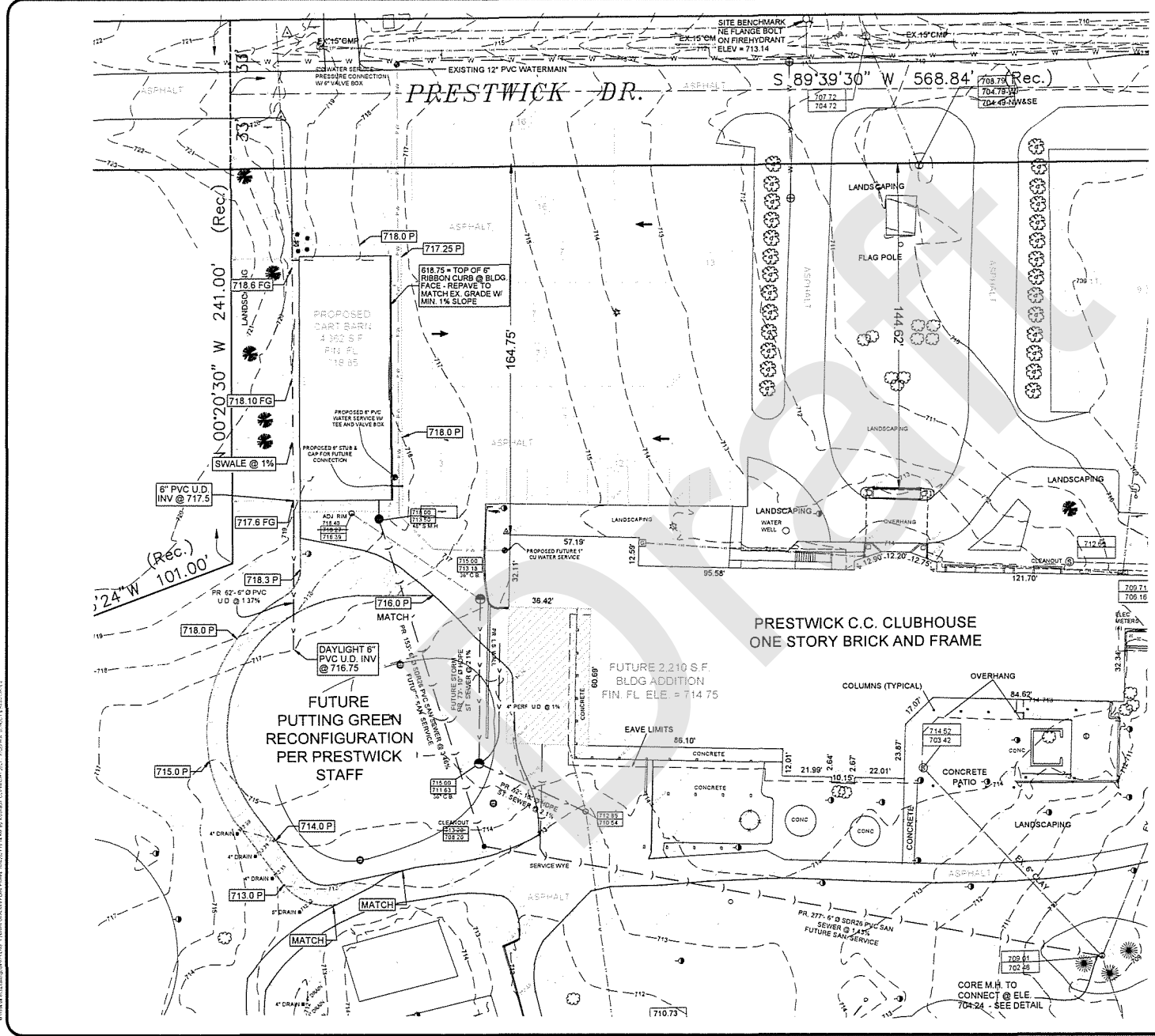


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PRESTWICK COUNTRY CLUB
 CART BARN
 GEOMETRIC PLAN

Date: 10-06-2023
 Scale: 1"=20'
 File Name: 94-053.ENG
 Drawn: CD/KG
 Checked: D.W.O.
 Sheet: 4 of 7
 Project No.: 94-053



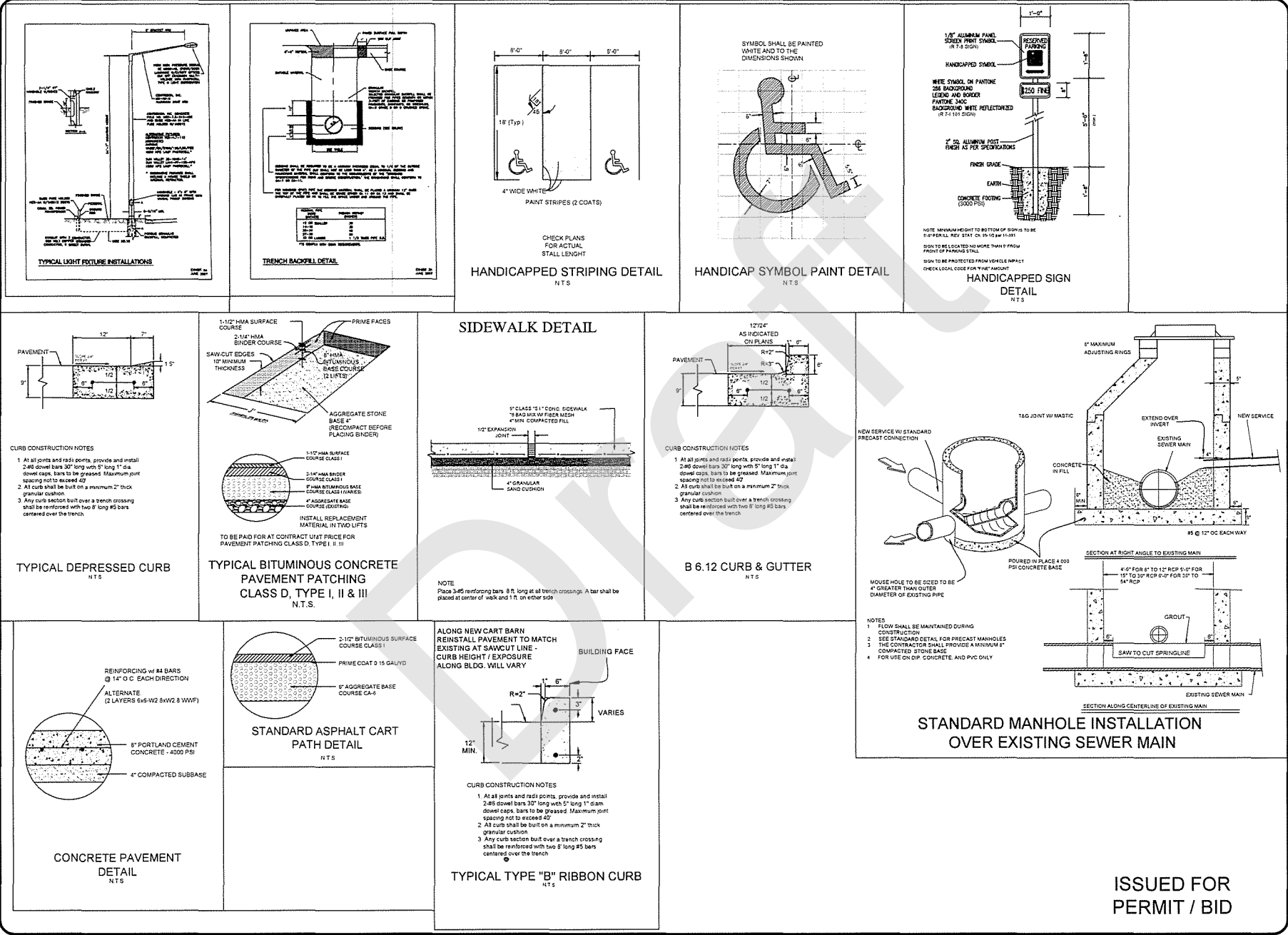
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Joseph A. Schudt & Associates
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 PHONE: 708-720-1000 www.jaseng.com FAX: 708-720-1065
 CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

REGIONS: ILLINOIS, INDIANA, MISSOURI, WISCONSIN, IOWA, OHIO, KENTUCKY, TENNESSEE, MISSISSIPPI, ALABAMA, GEORGIA, SOUTH CAROLINA, NORTH CAROLINA, VIRGINIA, WEST VIRGINIA, ARIZONA, CALIFORNIA, NEVADA, IDAHO, MONTANA, WYOMING, COLORADO, UTAH, NEBRASKA, KANSAS, OKLAHOMA, TEXAS, MISSOURI, ILLINOIS, INDIANA, MISSOURI, WISCONSIN, IOWA, OHIO, KENTUCKY, TENNESSEE, MISSISSIPPI, ALABAMA, GEORGIA, SOUTH CAROLINA, NORTH CAROLINA, VIRGINIA, WEST VIRGINIA, ARIZONA, CALIFORNIA, NEVADA, IDAHO, MONTANA, WYOMING, COLORADO, UTAH, NEBRASKA, KANSAS, OKLAHOMA, TEXAS

PRESTWICK COUNTRY CLUB
 CART BARN
 GRADING / UTILITY PLAN

Date: 10-06-2023
 Scale: 1"=20'
 File No: 94-053 ENG
 Drawn: CD/KG
 Check: D.W.O.
 Sheet: 5 of 7
 Project No.: 94-053

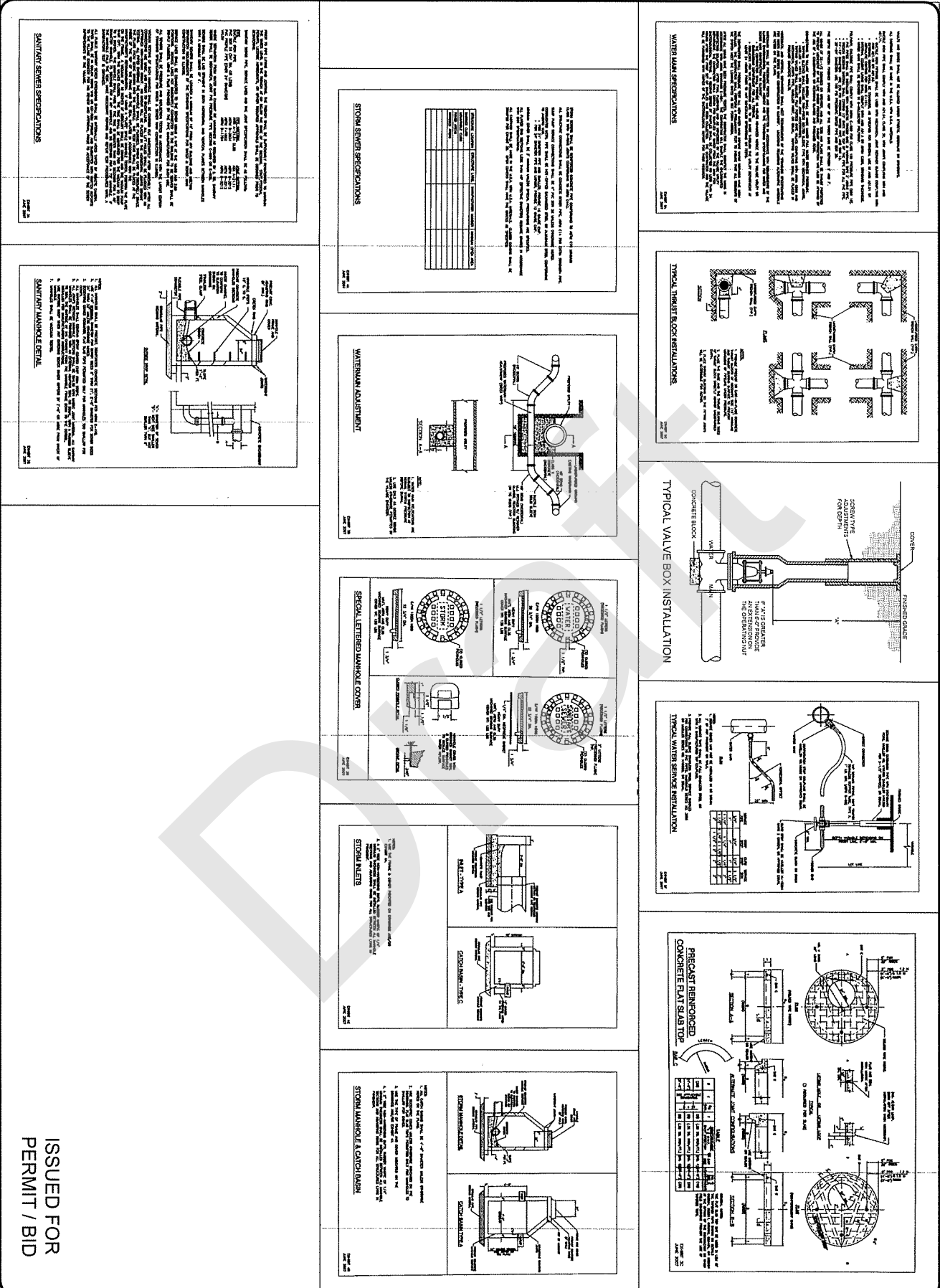


Joseph A. Schudt & Associates
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 PHONE: 708-720-1000 www.jaseng.com FAX: 708-720-1065
 CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

PRESTWICK COUNTRY CLUB
 CART BARN
 CONSTRUCTION DETAILS

Date: 10-06-2023
 Scale: 1"=20'
 File Name: 94-053 ENG
 Drawn: CD/KG
 Checked: D.W.O.
 Sheet:
6 of 7
 Project No.:
94-053

ISSUED FOR PERMIT / BID



ISSUED FOR
PERMIT / BID

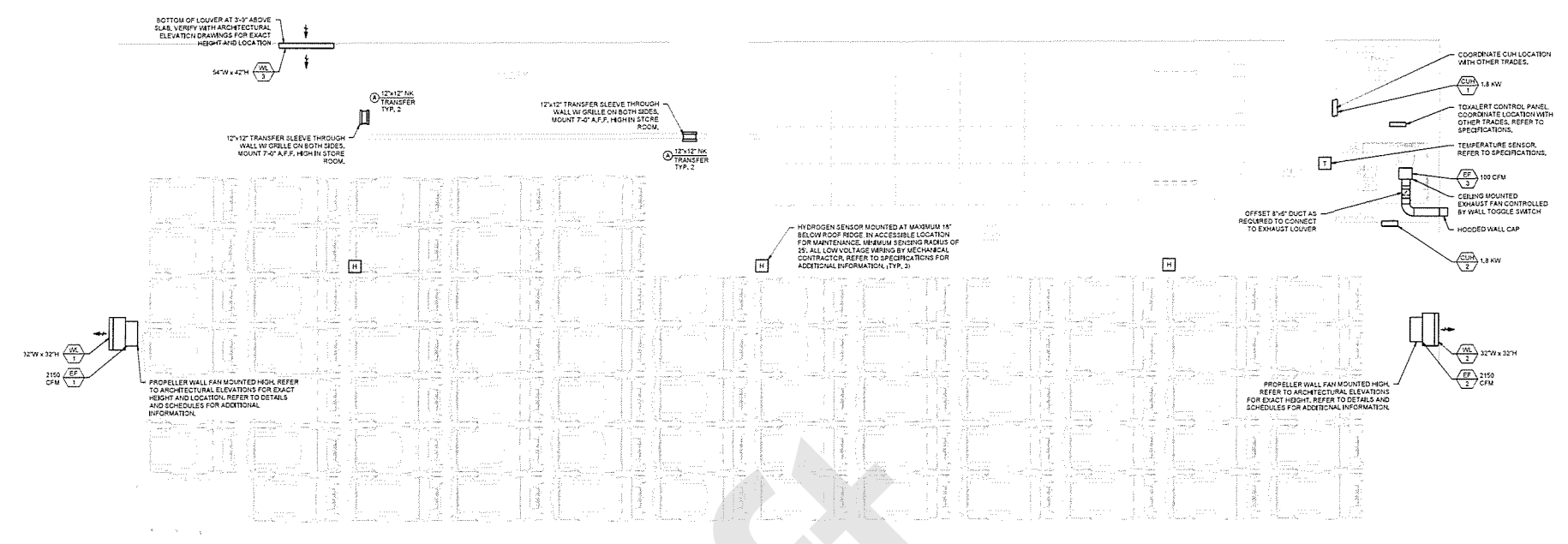
DATE: 10-06-2013
 SHEET: 7 OF 7
 PROJECT NO.: 94-053

PRESTWICK COUNTRY CLUB
 CART BARN
 DETAILS

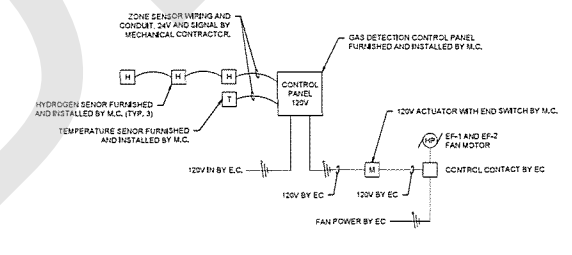
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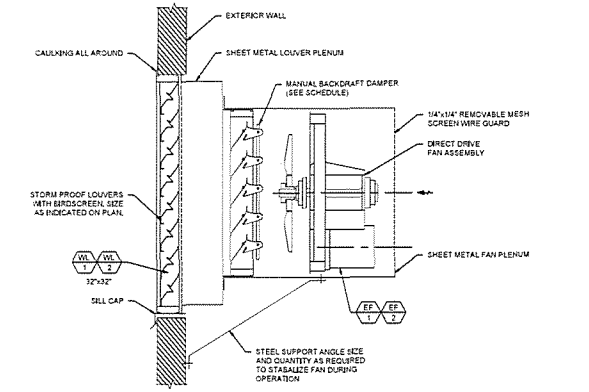
JAS
 Joseph A. Schudt & Associates
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 PHONE: 708-720-1000 www.jaseng.com FAX: 708-720-1065
 CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES



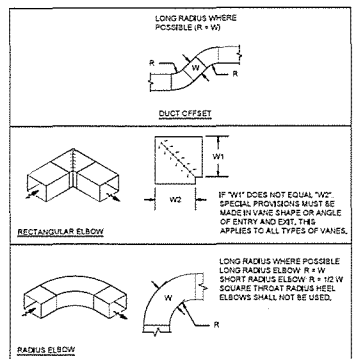
1 MECHANICAL NEW WORK PLAN - CART BARN
SCALE: 1/8" = 1'-0"



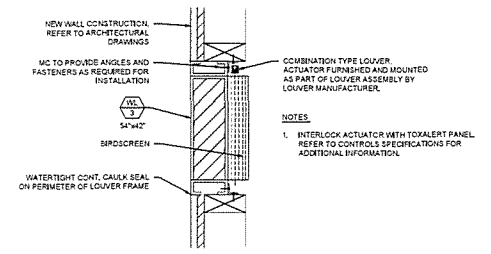
2 GAS DETECTION SYSTEM WIRING DIAGRAM
SCALE: AS SHOWN



4 TYPICAL SIDEWALL FAN DETAIL
SCALE: AS SHOWN

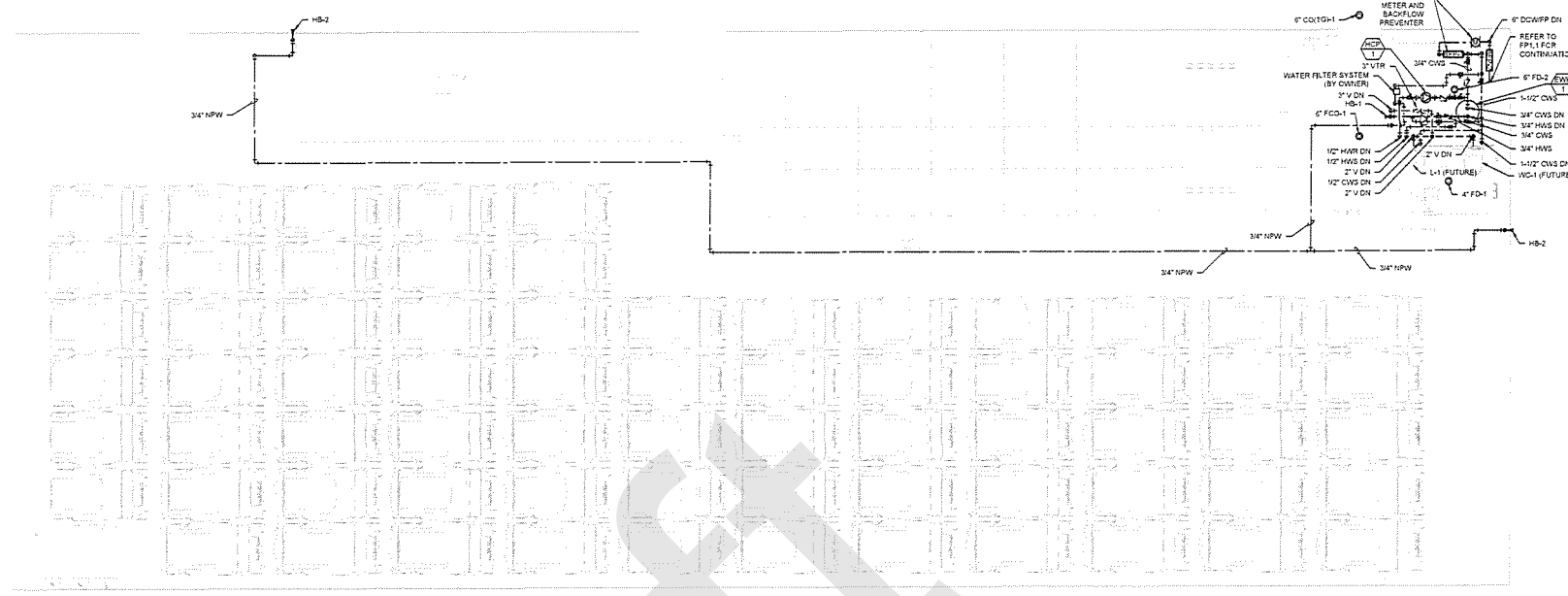


3 TYPICAL DUCT CONSTRUCTION DETAILS
SCALE: AS SHOWN

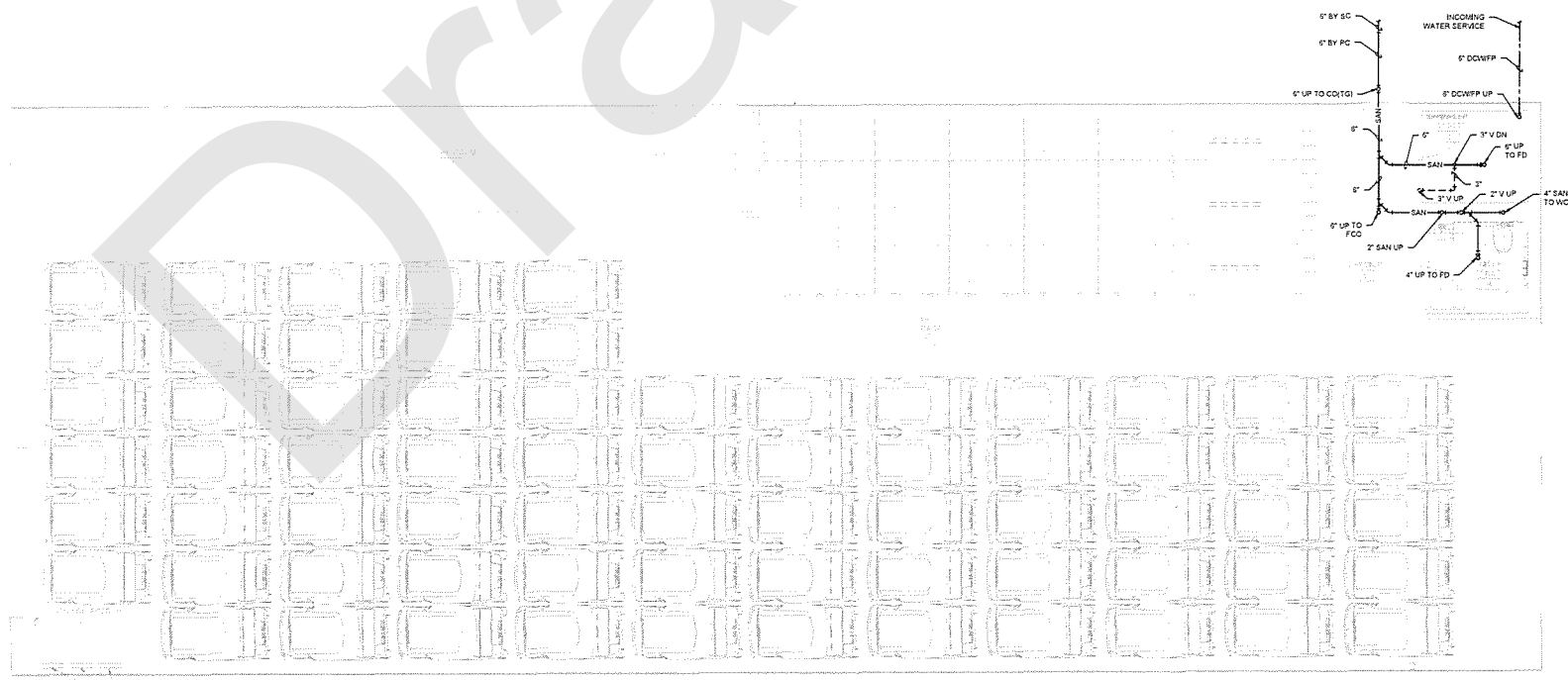


5 DUCT CONNECTION TO STANDARD WALL LOUVER
SCALE: AS SHOWN

156x263	223RD FOR (RD AND PFT)RT
MECHANICAL NEW WORK PLAN - CART BARN	
Scale: 1/4" = 1'-0"	Sheet
Drawn by: CC	
Printed: 23062	M1.1
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① PLUMBING NEW WORK PLAN - CART BARN
SCALE: 1/4" = 1'-0"



② PLUMBING NEW WORK PLAN - CART BARN - UNDERGROUND
SCALE: 1/4" = 1'-0"

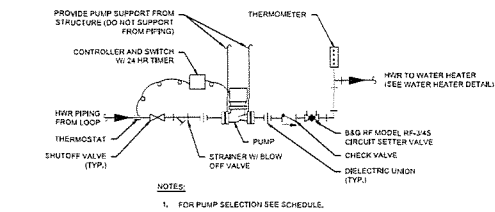
1946-2021 REVISED FOR IBD AND PERMIT

PLUMBING NEW WORK
PLAN - CART BARN

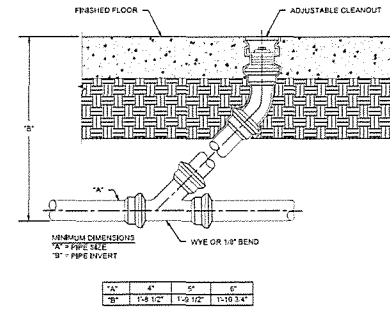
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1/4" = 1'-0"
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GF
Project:
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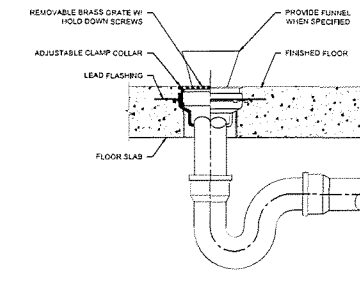
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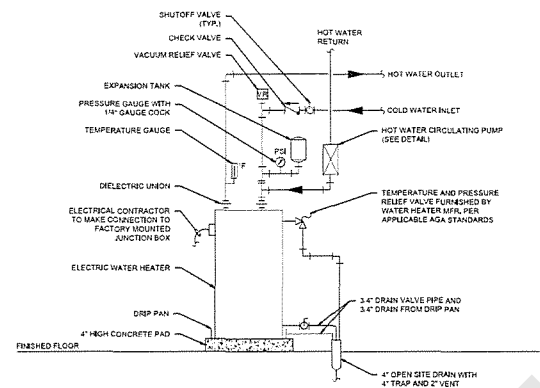
1 HOT WATER RECIRCULATING PUMP DETAIL
SCALE: NO SCALE



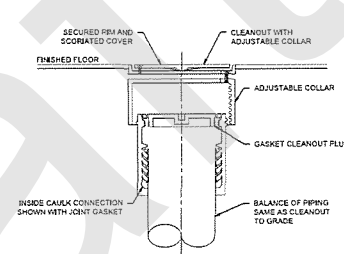
2 CLEANOUT TO FINISHED FLOOR DETAIL
SCALE: NO SCALE



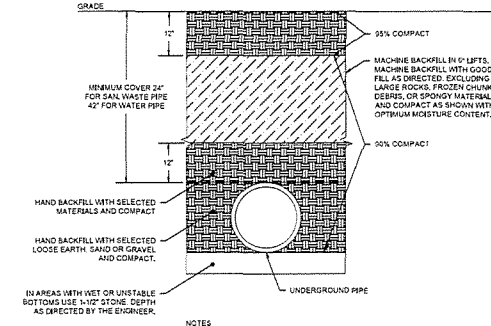
3 FLOOR DRAIN DETAIL
SCALE: NO SCALE



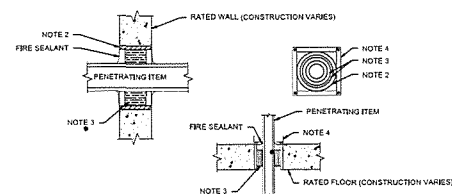
4 ELECTRIC WATER HEATER DETAIL
SCALE: NO SCALE



5 FLOOR CLEANOUT DETAIL
SCALE: NO SCALE

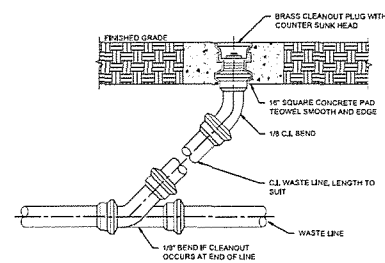


6 PIPE TRENCH DETAIL
SCALE: NO SCALE

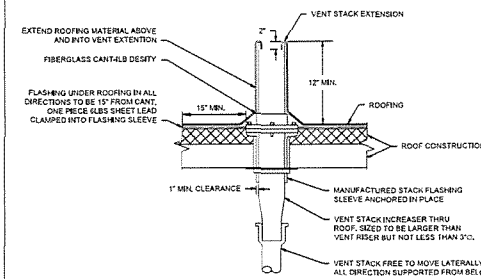


- NOTES
- THIS DETAIL APPLIES TO ALL ITEMS PENETRATING WALLS OR FLOORS. THE INTENT IS TO MAINTAIN THE FIRE RATINGS AND TO ALLOW LONGITUDINAL MOVEMENT.
 - SCHEDULE 40 PIPE SLEEVES EMBEDDED IN WALL OR FLOOR. OR SMOOTH CONE DRILL EACH CONTRACTOR FURNISHES SLEEVE. COORDINATE SLEEVE LOCATIONS AND DEBURR SLEEVES. THE GENERAL CONTRACTOR (GC) SHALL INSTALL SLEEVE. SLEEVE SIZE SHALL ALLOW ANNUAL SPACE REQUIRED BY THE SELECTED FIRESTOP SYSTEM.
 - INSTALL BACKING MATERIAL SUCH AS MINERAL WOOL SAFING, AS REQUIRED FOR FIRESTOP SYSTEM. INSTALL IN ACCORDANCE WITH FIRESTOP SYSTEM APPLICATION LISTING. SECURE TO WALL OR FLOOR TO ALLOW LONGITUDINAL MOVEMENT OF PENETRATING ITEM WITHOUT MOVEMENT OF FIRE BARRIER.
 - WATER-TIGHT WELDED 1"x1" 20 GAUGE MINIMUM GALVANIZED SHEET METAL ANGLE FRAME, BY CONTRACTOR IN EQUIPMENT ROOMS FOR WATER STOP. PLACE A BEAD OF WATERPROOF SEALANT BETWEEN FLOOR AND BOTTOM OF ANGLE FRAME. SECURE TO FLOOR WITH MASONRY ANCHORS IN CORNERS AND ON 12" MAXIMUM CENTERS. MULTIPLE PENETRATING ITEMS MAY BE ENCLOSED IN ONE FRAME.
 - RESULTANT ASSEMBLY TO MAINTAIN APPLICABLE I.R. RATING.

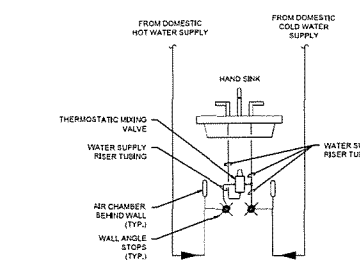
7 PIPE PENETRATION DETAIL
SCALE: NO SCALE



8 CLEANOUT TO GRADE DETAIL
SCALE: NO SCALE



9 VENT THRU ROOF DETAIL
SCALE: NO SCALE



10 THERMOSTATIC MIXING VALVE DETAIL
SCALE: NO SCALE

ABBREVIATIONS	
AD	AREA DRAY
APC	APPROVED FOR CONSTRUCTION
APF	ABOVE FINISHED FLOOR
ASA	ALSO KNOWN AS
API	AMERICAN PETROLEUM INSTITUTE
APIP	API PIPE
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
AP	ACCESS PANEL
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS
ASME	AMERICAN SOCIETY OF MECHANICAL ENGINEERS
ASSE	AMERICAN SOCIETY OF SAFETY ENGINEERS
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
BAAC	BUILDING AUTOMATION SYSTEMS CONTRACTOR
BB	BOLTED BONNET
BFP	BACKFLOW PREVENTER
BOP	BOTTOM OF PIPE
BOS	BOTTOM OF STEEL
BSF	BLACK STEEL PIPE
BSW	BUTT WELD
CA	COMPRESSED AIR
CFPS	CERTIFIED FIRE PROTECTION SPECIALIST
CI	CAST IRON
CEPM	CAST IRON SICK PIPE INSTITUTE
CLO	CLOUING
CO	CLEANOUT
CONN	CONNECTION
DAC	DRY AIR SYSTEM COMPRESSOR
DCV	DOUBLE CHECK VALVE
DCV	DOUBLE CHECK VALVE
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY
DDCV	DOUBLE DETECTOR CHECK VALVE
DFF	DRY SPRINKLER PIPE
DFU	DRAINAGE FIXTURE UNIT
DA	DAWNETER
DN	DOWN
DPV	DRY PIPE ASSEMBLY
DT	DRAIN TILE
E	EXISTING TO REMAIN
EC	EXTENDED COVERAGE
E.C.	ELECTRICAL CONTRACTOR
ECC	ECCENTRIC
EPCOM	ETHYLENE PROPYLENE DIENE MONOMER
ESP	ELEVATOR SHUMP PUMP
ETR	EXISTING TO REMAIN
FA	FIRE ALARM
FACP	FIRE ALARM CONTROL PANEL
FC	FIRE PROTECTION CONTRACTOR
FCG	FLOOR CONTROL ASSEMBLY
FGA	FIRESTOP CONTRACTORS INTERNATIONAL ASSOCIATION
FCO	FLOOR CLEANOUT
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FDO	FIRE DEPARTMENT VALVE
FDCV	FIRE DEPARTMENT VALVE CABINET
FE	FIRE EXTINGUISHER
FE	FIRE EXTINGUISHER CABINET
FEC	FIRE EXTINGUISHER
FP	FIRE PROTECTION
FPC	FIRE PUMP CONTROLLER
FPD	FIRE PROTECTION DRY PIPING
FFS	FEET PER SECOND
FPW	FIRE PROTECTION WET PIPING
FS	FLOOR SINK
F.S.	FLOW SWITCH
FT	FEET
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GCO	GROUND CLEANOUT
GPD	GALLONS PER DAY
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
HS	HOSE RACK
HD	HEAD
HP	HORSEPOWER
IE	INVERT ELEVATION
ISO	INTERNATIONAL STANDARDS ASSOCIATION
ITC	INSPECTOR'S TEST CONNECTION
ISAP	INSIDE SCREEN AND YOLKE
ITP	INSPECTION TEST PLAN
JP	JOCKEY PUMP
JPC	JOCKEY PUMP CONTROLLER
KW	KITCHEN WASTE OR KLOWATT
KC	MECHANICAL CONTRACTOR
MFG	MANUFACTURER
MSS	MANUFACTURERS STANDARDIZATION SOCIETY
NC	NORMALLY CLOSED
NT	NONDESTRUCTIVE TESTING
NOT	NOT IN CONTACT
14CET	NATIONAL INSTITUTE FOR CERTIFICATION ENGINEERING TECHNOLOGIES
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NPS	NOMINAL PIPE SIZE
NPW	NON POTABLE WATER
NS	NOT SPRINKLERED
NF	NATIONAL LICENSE FOUNDATION
NIS	NOT TO SCALE
OD	OVERFLOW DRAIN
OD	OPEN STE DRAIN
ODS	OUTSIDE STEM AND YOLKE PUMP
OSV	OPEN STE VALVE
PA	PIPE ANCHOR
PC	PLUMBING CONTRACTOR
PD	PUMP DISCHARGE
PDR	PLUMBING & DRAINAGE INSTITUTE
PE	PROFESSIONAL ENGINEER
PH	PHASE
PI	PRESSURE INDICATOR
PIV	POST INDICATOR VALVE
PPM	PARTS PER MILLION
PPV	PRESSURE REDUCING VALVE
PS	PISTONS PER SQUARE INCH
PS	PISTONS PER SQUARE INCH GAUGE
PRD	OVERFLOW ROOF DRAIN
RIP	REGULATION RAMP
RD	ROOF DRAIN
RH	ROOF HYDRANT
ROB	ROD OUT BAGIN
RPM	REDUCED PRESSURE DETECTOR ASSEMBLY
RPM	REDUCED PRESSURE DETECTOR ASSEMBLY
RPS	REDUCED PRESSURE CONE BACKFLOW PREVENTER
RATG	RATING
SC	SITE UTILITY CONTRACTOR
SCV	SUPERVISED CONTROL VALVE
SEFE	SOCIETY OF FIRE PROTECTION ENGINEERS
SFP	SUMP PUMP
SF	SQUARE FEET
SS	SERVICE SINK
S.S.	STAINLESS STEEL
TB	THREATS BOTH ENDS
TB	TRENCH DRAIN
TUV	THERMOSTATIC MIXING VALVE
TOS	TOP OF STEEL
TPRV	TEMPERATURE AND PRESSURE REDUCING VALVE
TS	TAMPER SWITCH
TYP	TYPICAL
UL	UNDERWRITERS LABORATORY
UNO	UNLESS NOTED OTHERWISE
VB	VACUUM BREAKER
WCO	WALL CLEANOUT
WH	WALL HYDRANT
WMA	WATER MAIN ARRESTOR
WCB	WALL SUPPLY BOX
WSPU	WATER SUPPLY FIXTURE UNITS
WT	WALL THICKNESS
YCD	YARD CLEANOUT
YH	YARD HYDRANT

NOTE: NOT ALL ABBREVIATIONS LISTED ABOVE MAY BE USED OR APPEAR IN THESE DRAWINGS.

GENERAL			FIRE PROTECTION SYMBOLS		
□	FLOOR DRAIN			◆	BUTTERFLY VALVE
□	FLOOR SINK				CHECK VALVE
○	FLOOR CLEANOUT				GATE VALVE
○	ROOF DRAIN				BACKFLOW PREVENTER
⊕	EMERGENCY SHUTOFF				FLEXIBLE PIPE CONNECTOR (OR CONNECTION)
⊕	POINT OF CONNECTION OF NEW TO EXISTING WORK				METER
⊕	POINT OF DEMOLITION TO EXISTING WORK				PIPE ALIGNMENT QUACE
①	ABBREVIATION				PIPE ANCHOR
②	NUMBER				PIPE SLEEVE
③	ABBREVIATION				PUMP
④	NUMBER				2 PSI
—	VIEW #	VIEW REFERENCE			PUMP DISCHARGE
—	VIEW #	VIEW REFERENCE			PLUMBING & DRAINAGE INSTITUTE
—	VIEW #	VIEW REFERENCE			PROFESSIONAL ENGINEER
—	VIEW #	VIEW REFERENCE			PHASE
—	VIEW #	VIEW REFERENCE			PRESSURE INDICATOR
—	VIEW #	VIEW REFERENCE			POST INDICATOR VALVE
—	VIEW #	VIEW REFERENCE			REVOLUTIONS PER MINUTE
—	VIEW #	VIEW REFERENCE			REDUCED PRESSURE CONE BACKFLOW PREVENTER
—	VIEW #	VIEW REFERENCE			REGULATION RAMP
—	VIEW #	VIEW REFERENCE			ROOF DRAIN
—	VIEW #	VIEW REFERENCE			ROOF HYDRANT
—	VIEW #	VIEW REFERENCE			ROD OUT BAGIN
—	VIEW #	VIEW REFERENCE			REDUCED PRESSURE DETECTOR ASSEMBLY
—	VIEW #	VIEW REFERENCE			REDUCED PRESSURE CONE BACKFLOW PREVENTER
—	VIEW #	VIEW REFERENCE			RATING
—	VIEW #	VIEW REFERENCE			SITE UTILITY CONTRACTOR
—	VIEW #	VIEW REFERENCE			SUPERVISED CONTROL VALVE
—	VIEW #	VIEW REFERENCE			SOCIETY OF FIRE PROTECTION ENGINEERS
—	VIEW #	VIEW REFERENCE			SUMP PUMP
—	VIEW #	VIEW REFERENCE			SQUARE FEET
—	VIEW #	VIEW REFERENCE			SERVICE SINK
—	VIEW #	VIEW REFERENCE			STAINLESS STEEL
—	VIEW #	VIEW REFERENCE			THREATS BOTH ENDS
—	VIEW #	VIEW REFERENCE			TRENCH DRAIN
—	VIEW #	VIEW REFERENCE			THERMOSTATIC MIXING VALVE
—	VIEW #	VIEW REFERENCE			TOP OF STEEL
—	VIEW #	VIEW REFERENCE			TEMPERATURE AND PRESSURE REDUCING VALVE
—	VIEW #	VIEW REFERENCE			TAMPER SWITCH
—	VIEW #	VIEW REFERENCE			TYPICAL
—	VIEW #	VIEW REFERENCE			UNDERWRITERS LABORATORY
—	VIEW #	VIEW REFERENCE			UNLESS NOTED OTHERWISE
—	VIEW #	VIEW REFERENCE			VACUUM BREAKER
—	VIEW #	VIEW REFERENCE			WALL CLEANOUT
—	VIEW #	VIEW REFERENCE			WALL HYDRANT
—	VIEW #	VIEW REFERENCE			WATER MAIN ARRESTOR
—	VIEW #	VIEW REFERENCE			WALL SUPPLY BOX
—	VIEW #	VIEW REFERENCE			WATER SUPPLY FIXTURE UNITS
—	VIEW #	VIEW REFERENCE			WALL THICKNESS
—	VIEW #	VIEW REFERENCE			YARD CLEANOUT
—	VIEW #	VIEW REFERENCE			YARD HYDRANT

NOTE: NOT ALL SYMBOLS LISTED ABOVE MAY BE USED OR APPEAR IN THESE DRAWINGS.

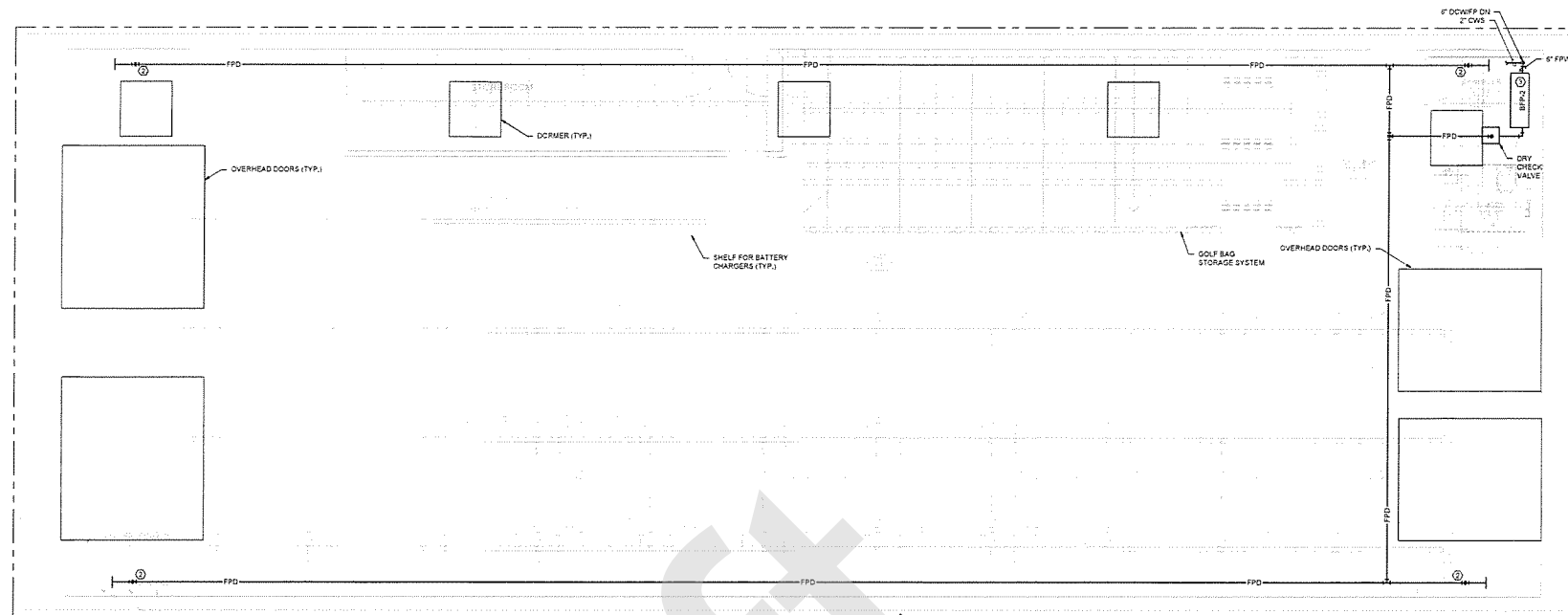
REPLACEMENT CART BARN



**PRESTWICK
COUNTRY
CLUB**

601 PRESTWICK DR. FRANKFURT, IL 60423





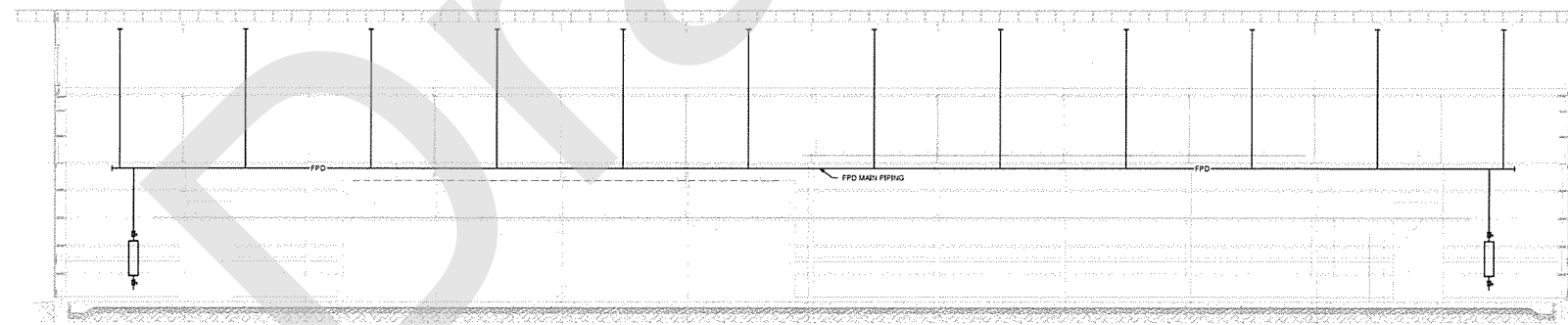
1 FIRE PROTECTION NEW WORK PLAN - CART BARN
SCALE: 1/4" = 1'-0"

GENERAL FIRE PROTECTION SHEET NOTES

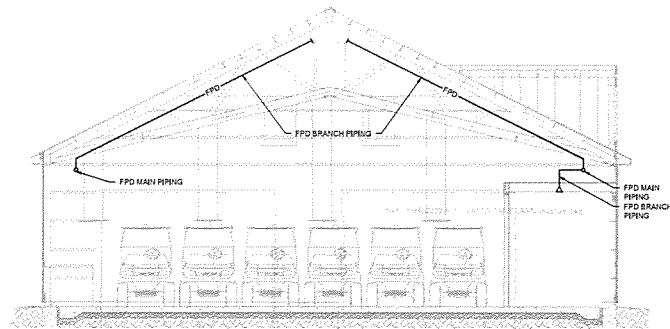
1. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

KEYED FIRE PROTECTION NEW WORK SHEET NOTES

1. PROVIDE DRY FIRE PROTECTION SPRINKLER COVERAGE THROUGHOUT. COVERAGE SHALL COMPLY WITH ORDINARY HAZARD GROUP II PER NFPA 13, COORDINATE WITH ALL OBSTRUCTIONS OF THE BUILDING CONSTRUCTION AND EQUIPMENT, DUCTWORK, CONDENSATES, FEATURES, DEVICES, COMPONENTS, ETC. OF THE BUILDING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.
2. DRY SPRINKLER SYSTEM AUXILIARY DRAINS SHALL BE INSTALLED AT LOW POINTS. DIAGRAMMATIC LOCATIONS ARE SHOWN. ALL NECESSARY LOCATIONS SHALL BE DETERMINED AS PART OF FIRE PROTECTION CONTRACTOR'S SCOPE.
3. FIRE PROTECTION BACKFLOW PREVENTER IS FURNISHED BY THE FIRE PROTECTION CONTRACTOR AND INSTALLED BY THE PLUMBING CONTRACTOR.



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



3 BUILDING SECTION
SCALE: 1/4" = 1'-0"

FIRE PROTECTION BACKFLOW PREVENTER SCHEDULE					
EQUIP. TAG	MANUFACTURER	MODEL NO.	SERVICE	SIZE	NOTES
BFP 1	ZURN	DGADA-61	FIRE PROTECTION SERVICE	1"	1, 2, 3, 4, 5, 6, 7, 8, 9

NOTES:

1. PROVIDE INSTALL AND SUPPORT PER MANUFACTURER'S INSTRUCTIONS.
2. PROVIDE APPROPRIATE CLEARANCES IN FRONT AND BACK.
3. ROUTE DISCHARGE TO APPROPRIATE SANITARY RECEPTION WITH CODE COMPLIANT AIR GAP.
4. INCLUDE INTEGRAL FLOOD SENSOR AND REQUIRED CONNECTION KIT TO ALLOW SENSOR TO COMMUNICATE WITH DEVICES THAT RECEIVE NOTICES FROM DEVICES.
5. VERIFY ACCEPTANCE OF MODEL WITH AHJ.
6. VERIFY ACCEPTANCE WITH PREVENTION BUREAU.
7. ADDITIONAL ACCEPTABLE MANUFACTURERS: INTELCO, CONBRACO.
8. FIRE PROTECTION CONTRACTOR TO FURNISH FIRE PROTECTION BACKFLOW DEVICE. PLUMBING CONTRACTOR TO METAL UNIT TO BE FURNISHED WITH BUTTERFLY VALVES WITH INTEGRAL SUPERVISORY SWITCHES.

1/16/2003 ISSUED FOR IBD AND PERMIT

FIRE PROTECTION NEW WORK PLAN - CART BARN

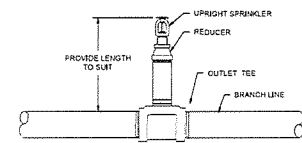
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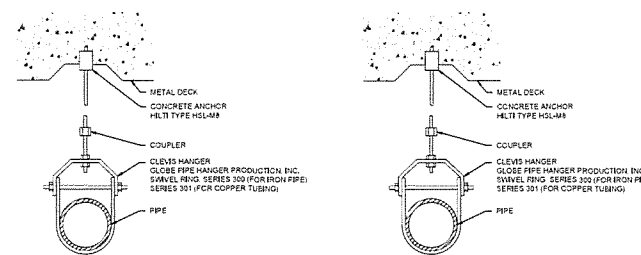
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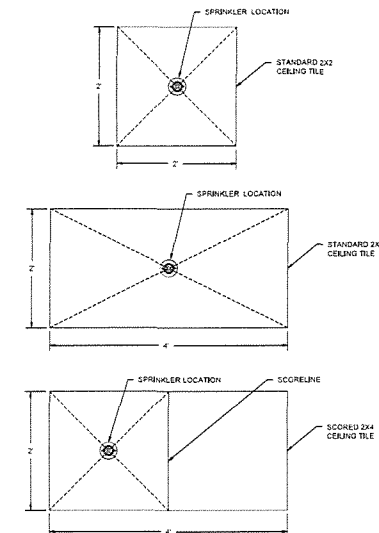


- NOTES**
1. PROVIDE HEAD GUARD WHEN SPECIFIED TO PROTECT SPRINKLER FROM DAMAGE.
 2. ADJUST SPRINKLER HEIGHT AS NECESSARY TO CLEAR OBSTRUCTIONS SUCH AS PIPING, STRUCTURE, CONDUIT, LIGHT FIXTURES, DUCTWORK, ETC.

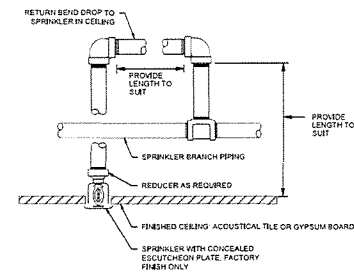
1 UPRIGHT SPRINKLER DETAIL
SCALE: NO SCALE



2 FIRE PROTECTION PIPE HANGERS DETAIL (2)
SCALE: NO SCALE

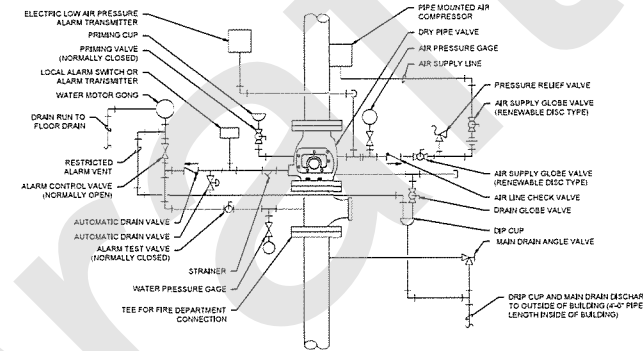


3 SPRINKLER LOCATION IN CEILING DETAIL
SCALE: NO SCALE

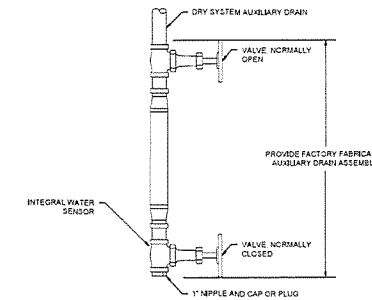


- NOTES**
1. PROVIDE 3 ELBOW SWING JOINT TO LOCATE SPRINKLER IN EXACT CENTER OF TILE OR AT CEILING POSITION.
 2. ADJUST SPRINKLER DROPS AS NECESSARY TO CLEAR OBSTRUCTIONS SUCH AS CEILING SUSPENSION SYSTEM, LIGHT FIXTURES, DUCTWORK, ETC. PROVIDE PIPE HANGER WHEN HORIZONTAL OFFSET LENGTH EXCEEDS 24 INCHES.
 3. SEALANTS OR FASTENERS AT GAP BETWEEN SPRINKLER AND CEILING ARE PROHIBITED.
 4. METAL ESCUTCHEON REQUIRED AT PIPE PAINTED CEILING.

4 CONCEALED SPRINKLER DETAIL
SCALE: NO SCALE

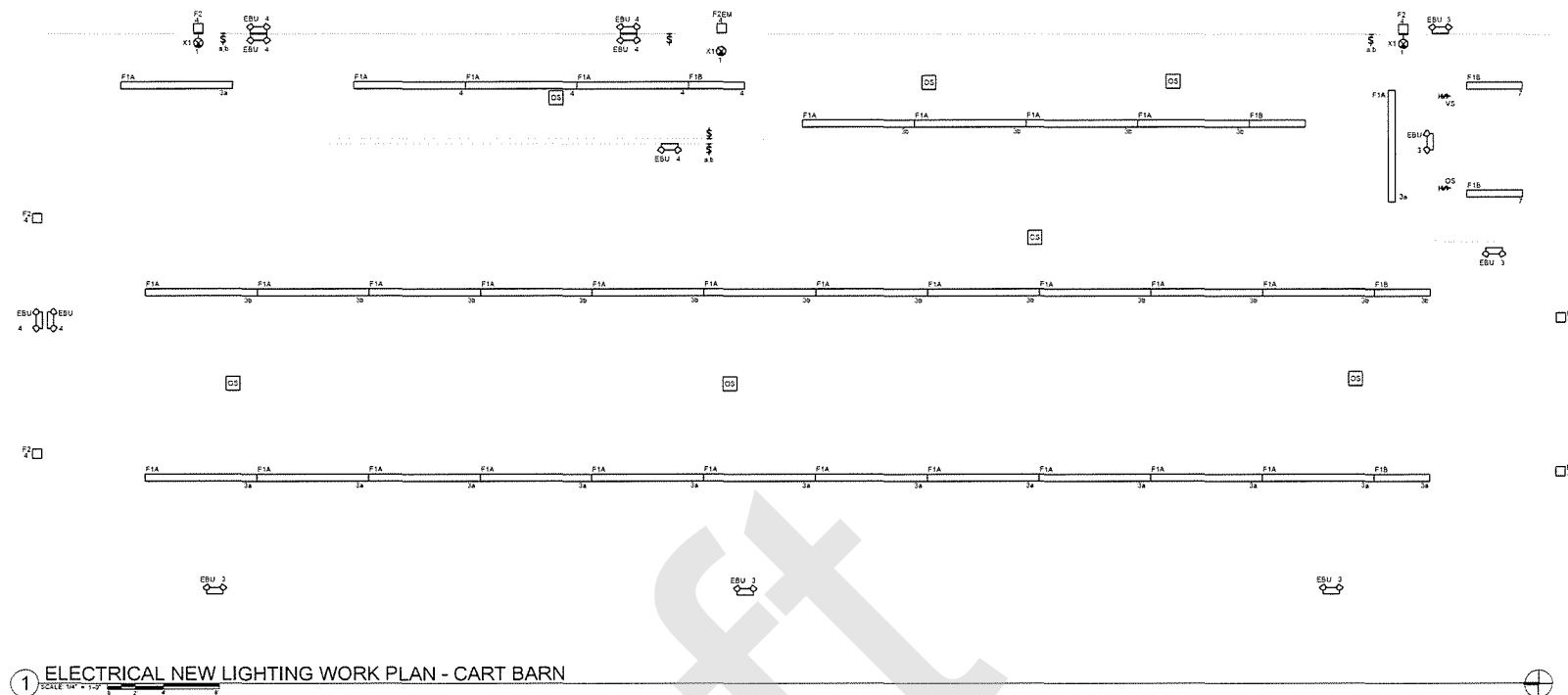


5 DRY PIPE SPRINKLER VALVE DETAIL
SCALE: NO SCALE



- NOTES**
1. PROVIDE INTEGRAL WATER SENSOR AT LOWER DRAIN VALVE THAT WILL SOUND A LOCAL ALARM TO ALERT BUILDING STAFF WHEN WATER IS TRAPPED IN THE SYSTEM (AUG MODEL 530ALEN-S OR EQUIVALENT). PROVIDE HARDWIRED POWER TO WATER SENSOR.
 2. AUXILIARY DRAIN PIPE MATERIAL SHALL BE COMPATIBLE WITH SYSTEM PIPE MATERIALS.

6 DRY SPRINKLER SYSTEM AUXILIARY DRAIN DETAIL
SCALE: NO SCALE



1 ELECTRICAL NEW LIGHTING WORK PLAN - CART BARN
SCALE: 1/4" = 1'-0"

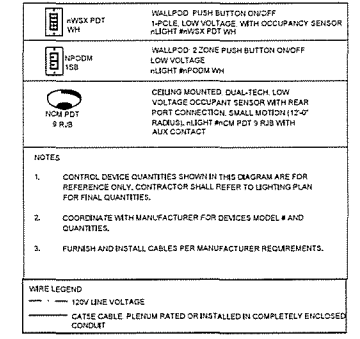
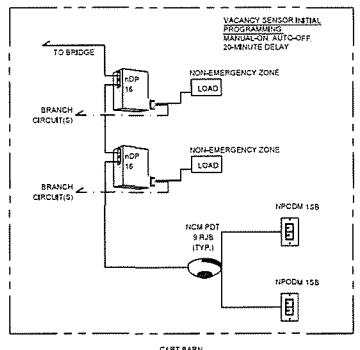
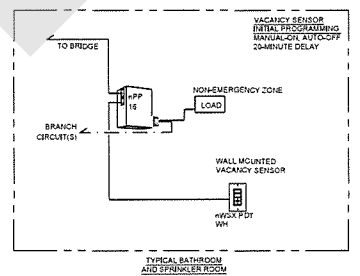
GENERAL ELECTRICAL NEW WORK SHEET NOTES

- ALL NEW LIGHTING FIXTURES, EXIT SIGNS AND EMERGENCY BATTERY UNITS (EBU) SHALL BE CONNECTED TO NEW POWER PANEL (PP) WITH #12 & #14 CABLE TO THE CODED AREA UNLESS NOTED OTHERWISE.
- ALL EMERGENCY AND EXIT WIRING SHALL BE INSTALLED IN A DEDICATED CONDUIT, DO NOT COMBINE WITH THE NORMAL POWER CIRCUIT.
- ELECTRICAL CONTRACTOR SHALL VERIFY ALL LIGHTING FIXTURE MOUNTING HEIGHTS AND EXACT MOUNTING LOCATIONS WITH ARCHITECT AND OWNERSHIP PRIOR TO ANY REVISIONS.

TAG	MANUFACTURER	MODEL	LAMP SOURCE & DRIVER	DIMMING	COLOR TEMP	CRF (LM/FT)	LUMENS	WATTS	VOLTAGE	MOUNTING	NOTES
F1A	COLUMBIA LIGHTING	MP58-200W-CW-E	LED	-	3000K	80	1000	35	LVV	SURFACE	1, 2, 3, 5, 6, 7
F1B	COLUMBIA LIGHTING	MP54-200W-CW-E	LED	-	3000K	80	1000	35	LVV	SURFACE	1, 2, 3, 5, 6, 7
F2	END LIGHTING	LMC2-48L-45-40CT-4W-LVW-PC	LED	-	4000K	70	5500	45	LVV	SURFACE	1, 2, 3, 7
F3	PARALEX	PP3500A-18-RW	LED	-	NA	NA	NA	3.72	LVV	RECESSED	3, 10
EBU1	COOPER LIGHTING	2350WFA	LED	-	NA	NA	NA	2	LVV	SURFACE	10

NOTES:

- COORDINATE WITH ARCHITECT'S DRAWINGS FOR MOUNTING HEIGHTS. PROVIDE MOUNTING ACCESSORIES AS REQUIRED.
- COORDINATE FINISHES WITH ARCHITECT. REFER TO ARCHITECTURAL RCP FOR FINISH LENGTH DIMENSIONS AND INSTALLATION FINISHES PER FINISH SCHEDULE.
- FURNISH WITH INTEGRAL FUSE BY MANUFACTURER OR FUSE BY ELECTRICAL CONTRACTOR. FUSE AMPS RATING SHALL BE 125% OF FULL LOAD AMPS OF LIGHT FIXTURE OR NEXT STANDARD SIZE.
- FURNISH RECESSED MOUNT WHERE EXIT SIGN IS MOUNT ON CEILING UNLESS NOTED OTHERWISE ON DRAWINGS.
- FURNISH QUANTITY FOR EACH FIT LENGTH OF LIGHT FIXTURE.
- SEE ARCHITECTURAL DRAWINGS FOR FITURE LENGTHS.
- PROVIDE LIGHT FIXTURE MANUFACTURER AND MODEL NUMBER AS NOTED OR SUBMIT EQUAL OR APPROVAL. ELECTRICAL CONTRACTOR MUST PROVIDE QUANTITY BY SUBMITTING FACTOR SHEET SPECIFIC TO PROJECT AND MATCH THE FOLLOWING: LUMENS, WATTAGE, VOLTAGE, MOUNTING, LAMP COLOR SOURCE TEMPERATURE, SIZE, DIMENSIONS AND MOUNTING. SITE VISIT MUST INCLUDE VERIFYING DIMENSIONS AND FINISHES.
- EMERGENCY UNIT BATTERIES INTENDED FOR OUTDOOR USE MUST HAVE BATTERIES MOUNTED INDOOR WHERE TEMPERATURES DO NOT DROP BELOW MANUFACTURER'S RECOMMENDATIONS. PROVIDE DUAL REMOTE HEADS AT EXTERIOR LOCATION.
- FURNISH RECESSED MOUNT WHERE EXIT SIGN IS MOUNT ON CEILING UNLESS NOTED OTHERWISE ON DRAWINGS.
- PROVIDE LIGHT FIXTURE WITH SEPARATE BATTERY BACKUP, TEST SWITCH AND FLIGHT LIGHT.



2 ELECTRICAL LIGHTING DETAILS
SCALE: NO SCALE

LIGHTING CONTROL GENERAL NOTES

- OCCUPANT SENSOR AND SWITCH QUANTITIES: PROVIDE QUANTITIES OF NOTED DEVICES AS SHOWN ON FLOOR PLANS, BUT NO LESS THAN ONE OF EACH DEVICE INDICATED ON THE WIRING DIAGRAMS. LIGHTING CONTROLS VENDOR MUST PROVIDE ALL ADDITIONAL APPARATUS AND DEVICES REQUIRED FOR A FULLY FUNCTIONAL SYSTEM AS NOTED ON THIS SHEET. ON THE DRAWING SET AND AS REQUIRED IN THE PROJECT SPECIFICATION BOOK.
- LIGHTING VENDOR TO CONFIRM QUANTITIES AND TYPE OF RELAY POWER PACKS REQUIRED MEET PROJECT SPECIFICATIONS AND DESIGN DRAWINGS. ALL LAYOUTS SHOW MINIMUM NUMBER OF DEVICES AND MUST BE EXPANDED TO APPLY TO EACH SPACE WITHIN PROJECT.
- PROVIDE CAT-5 INTERCONNECTION ACROSS MULTIPLE SPACES FOR ALL LIGHT CONTROL SYSTEMS TO PROVIDE FLEXIBILITY FOR FUTURE NETWORKING.

ELECTRICAL LIGHTING PLANS

RECEIVED

By Christopher Gruba at 2:31 pm, Oct 31, 2023



Prestwick Country Club

Frankfort, Illinois

WEISS

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Nov.06, 2023

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By Christopher Gruba at 2:30 pm, Oct 31, 2023



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Frankfort, Illinois

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By Christopher Gruba at 2:30 pm, Oct 31, 2023



Prestwick Country Club

Frankfort, Illinois

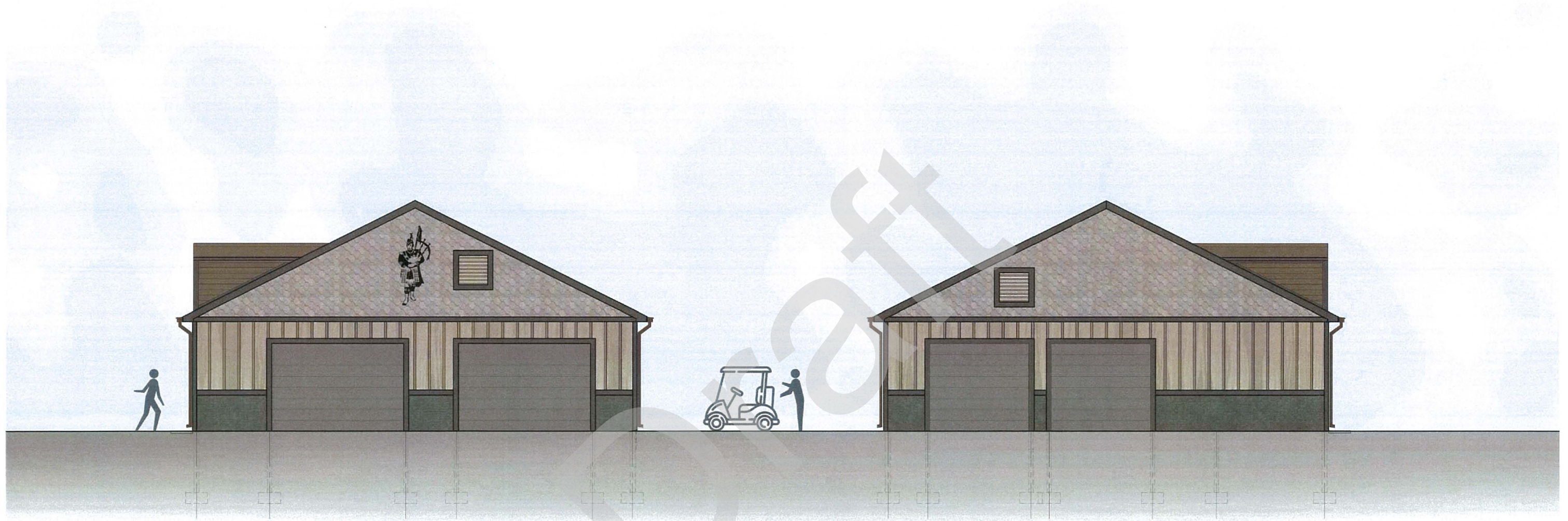
WEISS

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Nov.06, 2023

RECEIVED

By Christopher Gruba at 2:31 pm, Oct 31, 2023



1 NORTH ELEVATION
1/4"=1'-0"

2 SOUTH ELEVATION
1/4"=1'-0"

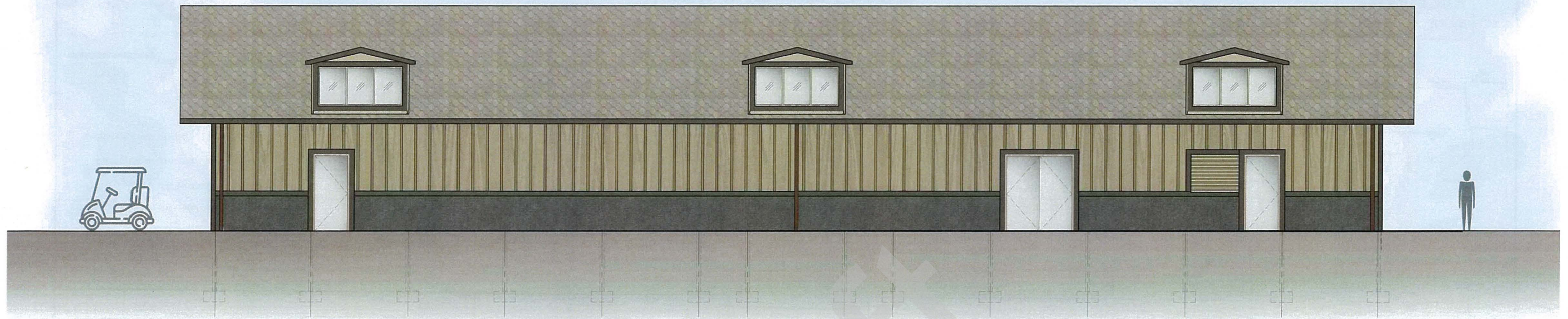
Prestwick Country Club

Frankfort, Illinois

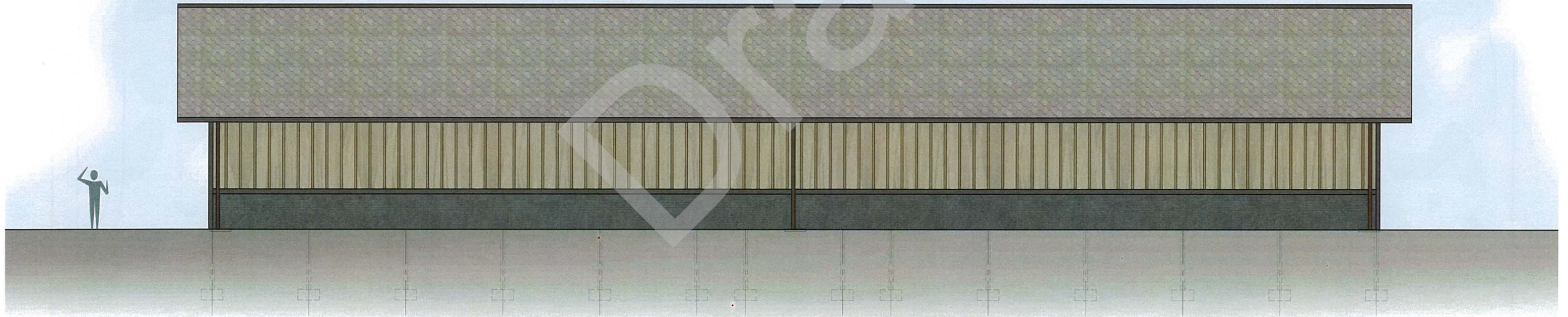
WEISS

Architecture • Planning • Design

Nov.06, 2023



3 EAST ELEVATION
1/4"=1'-0"



4 WEST ELEVATION
1/4"=1'-0"

RECEIVED

By Christopher Gruba at 2:31 pm, Oct 31, 2023

Prestwick Country Club

Frankfort, Illinois

WEISS

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Oct. 06, 2023

RECEIVED

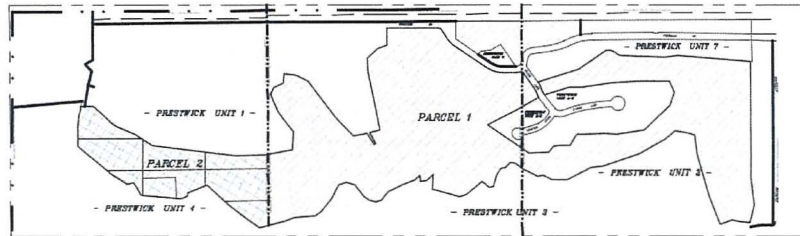
By Christopher Gruba at 9:46 am, Oct 26, 2023

SURVEY EXHIBIT



GRAPHIC SCALE

(IN FEET)
1 inch = 220 ft.



PARCEL 1:

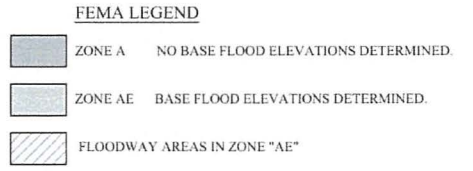
THAT PART OF THE NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN THAT LIES SOUTH OF THE SOUTH LINE OF THE CHICAGO PIPELINE CO'S RIGHT OF WAY AS CREATED BY DOCUMENT RECORDED MAY 10, 1950 AS NO. 670046, EXCEPTING THEREFROM THE FOLLOWING 14 TRACTS OF LAND: (1) ALL THAT PART FALLING IN ARTHUR T. MCINTOSH & CO'S PRESTWICK UNIT NO. 1, ACCORDING TO THE PLAT THEREOF RECORDED MAY 19, 1965 AS DOCUMENT 1034479, AND AMENDED BY DOCUMENT NO. R65-1087 AND CERTIFICATE OF CORRECTION RECORDED AS DOCUMENT NO. R82-2387; (2) ALL THAT PART FALLING IN ARTHUR T. MCINTOSH & CO'S PRESTWICK, UNIT SEVEN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 31, 1973 AS DOCUMENT R73-26695; (3) ALL THAT PART FALLING IN ARTHUR T. MCINTOSH & CO'S PRESTWICK, UNIT 8, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 27, 1979 AS DOCUMENT R79-36082; (4) ALL THAT PART FALLING IN PRESTWICK COUNTRY CLUB VILLAGE ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 7, 1979 AS DOCUMENT R79-28774; (5) ALL THAT PART FALLING IN ARTHUR T. MCINTOSH & CO'S PRESTWICK, UNIT NO. 2, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 19, 1967 AS DOCUMENT R67-4994; (6) ALL THAT PART FALLING IN ARTHUR T. MCINTOSH & CO'S PRESTWICK, UNIT 3, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 10, 1968 AS DOCUMENT R68-461; (7) ALL THAT PART FALLING IN LOT 125 OF ARTHUR T. MCINTOSH & CO'S PRESTWICK, UNIT NO. 4, ACCORDING TO THE PLAT RECORDED OCTOBER 30, 1968 AS DOCUMENT R68-19116; (8) ALL THAT PART FALLING IN ARTHUR T. MCINTOSH & CO'S PRESTWICK, UNIT A-1, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 2, 1968 AS DOCUMENT R68-21402; (9) ALL THAT PART FALLING IN ARTHUR T. MCINTOSH & CO'S PRESTWICK, UNIT A-2, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 3, 1969 AS DOCUMENT R69-20324; (10) ALL THAT PART FALLING IN ARTHUR T. MCINTOSH & CO'S PRESTWICK, UNIT A-3, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 5, 1977 AS DOCUMENT R77-47755; (11) ALL THAT PART FALLING IN ARTHUR T. MCINTOSH & CO'S PRESTWICK, UNIT NINE, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 22, 1982 AS DOCUMENT R82-3699; (12) ALSO THAT PART OF THE NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWESTERLY CORNER OF LOT 11 IN ARTHUR T. MCINTOSH & CO'S PRESTWICK, UNIT NO. 7, SUBDIVISION, THENCE SOUTHERLY ALONG THE WESTERLY LINE OF SAID LOT 11 TO THE SOUTHWESTERLY CORNER OF SAID LOT 11; THENCE SOUTH 73 DEGREES 44 MINUTES 39 SECONDS WEST, ALONG THE SOUTHERLY LINE OF LOT 11 EXTENDED WESTERLY, TO A POINT ON THE EASTERLY LINE OF COLONY LANE, THENCE NORTHWESTERLY AND NORTHERLY ALONG SAID EASTERLY LINE OF COLONY LANE TO THE SOUTHERLY LINE OF PRESTWICK DRIVE; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY LINE OF PRESTWICK DRIVE TO THE POINT OF BEGINNING; (13) ALSO THAT PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF ARTHUR T. MCINTOSH & CO'S PRESTWICK, UNIT NO. 1, ACCORDING TO THE PLAT THEREOF RECORDED MAY 19, 1965 AS DOCUMENT 1034479 AND AMENDED BY R65-1087 AND CERTIFICATE OF CORRECTION RECORDED AS DOCUMENT R82-2387; THENCE NORTH 89 DEGREES 39.5 MINUTES EAST ALONG THE NORTH LINE OF PRESTWICK DRIVE A DISTANCE OF 528.77 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 89 DEGREES 39.5 MINUTES EAST A DISTANCE OF 186.14 FEET, THENCE SOUTH 00 DEGREES 20.5 MINUTES EASTS A DISTANCE OF 182.74 FEET TO THE NORTH LINE OF PRESTWICK DRIVE AS DEDICATED BY PLAT OF SUBDIVISION RECORDED AS DOCUMENT 1034479 AND CERTIFICATE OF CORRECTION R82-2387; THENCE NORTHERLY ALONG THE NORTHERLY AND EASTERLY LINE OF PRESTWICK DRIVE TO THE POINT OF BEGINNING; (14) AND FURTHER EXCEPTING THEREFROM THOSE PARTS OF THE NORTH 1/4 OF SECTION 25, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN FALLING SOUTH OF UNIT 4, UNIT 3, UNIT 2, AND UNIT 8 OF PRESTWICK THAT HAVE BEEN CONVEYED TO THE PURE TRANSPORTATION COMPANY AND TO THE ELGIN, JOLIET AND EASTERN RAILWAY COMPANY, ALL IN WILL COUNTY, ILLINOIS.

PARCEL 2:

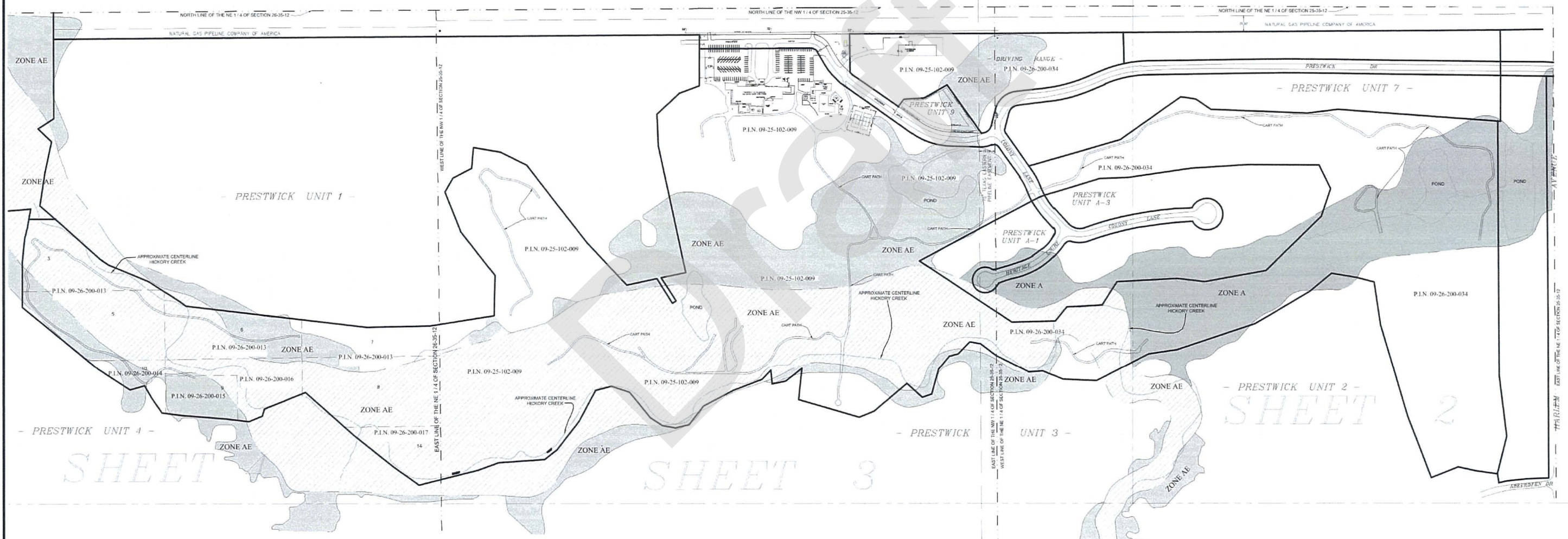
LOTS 3, 5, 6, 7, 8, 9, 10 AND 14 IN JAMES BORMAN'S SUBDIVISION OF THE MA-NI-TO-OUA RESERVATION IN SECTION 26, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 2, 1852 AS DOCUMENT 13540, EXCEPTING THEREFROM THE FOLLOWING 2 TRACTS: (1) ALL THAT PART FALLING IN ARTHUR T. MCINTOSH & CO'S PRESTWICK, UNIT NO. 1, ACCORDING TO THE PLAT THEREOF RECORDED MAY 19, 1965 AS DOCUMENT 1034479 AND AMENDED BY DOCUMENT R65-1087 AND CERTIFICATE OF CORRECTION RECORDED AS DOCUMENT R82-2387; (2) ALL THAT PART FALLING IN ALL THAT PART FALLING IN ARTHUR T. MCINTOSH & CO'S PRESTWICK, UNIT NO. 4, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 30, 1968 AS DOCUMENT R68-19116, ALL IN WILL COUNTY, ILLINOIS.

PROPERTY ADDRESS: 601 PRESTWICK DRIVE
FRANKFORT, IL 60423

PERMANENT INDEX NUMBERS: 09-25-102-009, 09-25-200-034, 09-26-200-013, 09-26-200-014, 09-26-200-015, 09-26-200-016, 09-26-200-017



ZONING INFORMATION TAKEN FROM FEMA MAP NUMBER 17197C0331 G, DATED: 2/15/19



- NOTES:
1. BASIS OF BEARINGS ARE ASSUMED AND USED TO DENOTE ANGLES ONLY.
 2. PROPERTY CORNER MONUMENTS NOT SET.
 3. NO FIELD WORK PERFORMED - SURVEY IS PER RECORDED PLATS AND RECORDS

STATE OF ILLINOIS)
COUNTY OF WILL) SS.

JOSEPH A. SCHUDT AND ASSOCIATES HEREBY CERTIFY THAT THEY HAVE SURVEYED THE PROPERTY DESCRIBED HEREON, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL DIMENSIONS IN FEET AND DECIMAL PARTS THEREOF.

MOKENA, ILLINOIS, October 25, A.D. 2023.
JOSEPH A. SCHUDT & ASSOCIATES (184-001172)

[Signature]
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3152 (EXP. 11-30-24)



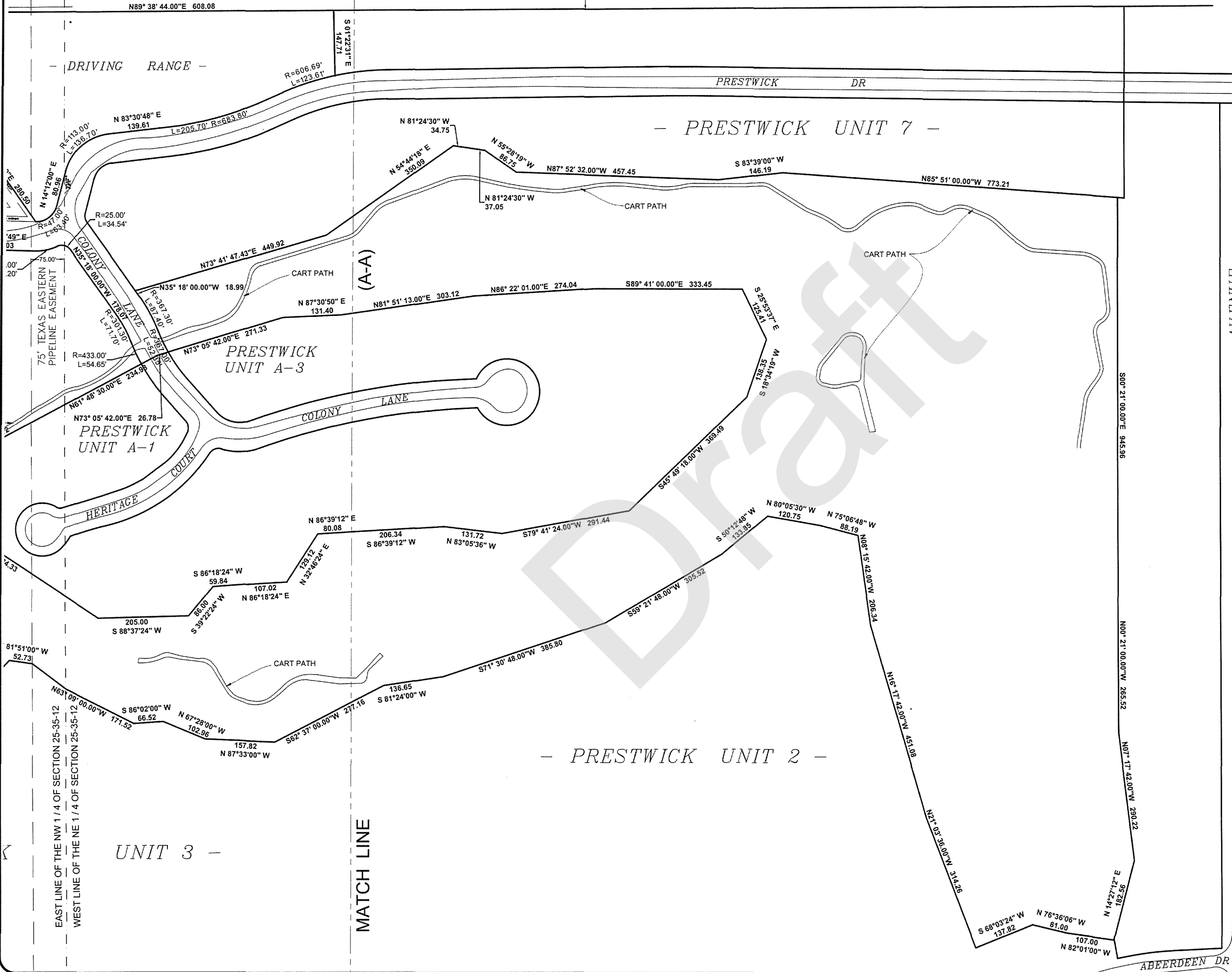
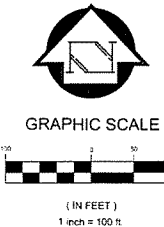
Joseph A. Schudt & Associates

4955 ENTERPRISE DRIVE, MOKENA, ILLINOIS
PHONE: 708-720-1000 FAX: 708-720-1065
e-mail: survey@jaseng.com http://www.jaseng.com

CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

ORDERED BY: PRESTWICK COUNTRY CLUB
ADDRESS: 601 PRESTWICK DRIVE
FRANKFORT, IL 60423
ORDER NO.: 94-053

NORTH LINE OF THE NE 1/4 OF SECTION 25-35-12
75.00' NATURAL GAS PIPELINE COMPANY OF AMERICA



N89° 38' 44.00" E 608.08

- PRESTWICK UNIT 7 -

PRESTWICK UNIT A-3

- PRESTWICK UNIT 2 -

UNIT 3 -

EAST LINE OF THE NW 1/4 OF SECTION 25-35-12
WEST LINE OF THE NE 1/4 OF SECTION 25-35-12

MATCH LINE

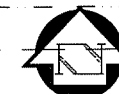
HARLEM AVENUE
EAST LINE OF THE NE 1/4 OF SECTION 25-35-12

NORTH LINE OF THE NW 1/4 OF SECTION 25-35-12

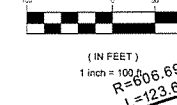
N89° 39' 30.00"E 1244.00

N89° 39' 30.00"E 685.43

N89° 38' 44.00"E 608.08



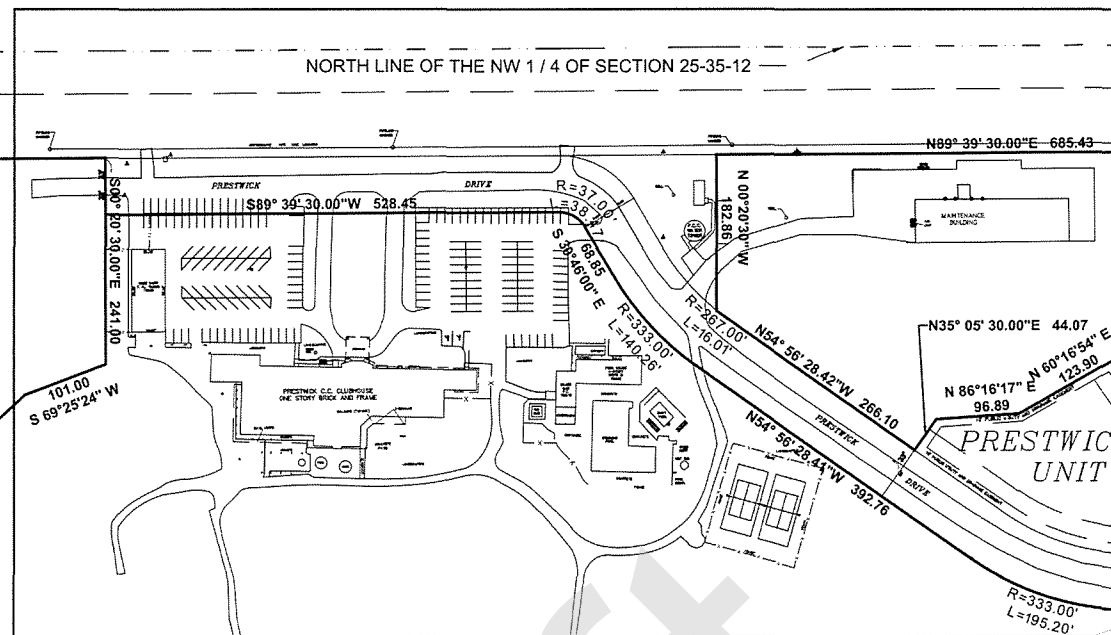
GRAPHIC SCALE



(IN FEET)
1 inch = 100'
R=606.69'
L=123.61'

(A-A)

- DRIVING RANGE -



SEE SHEET 5 OF 5 FOR ENLARGEMENT

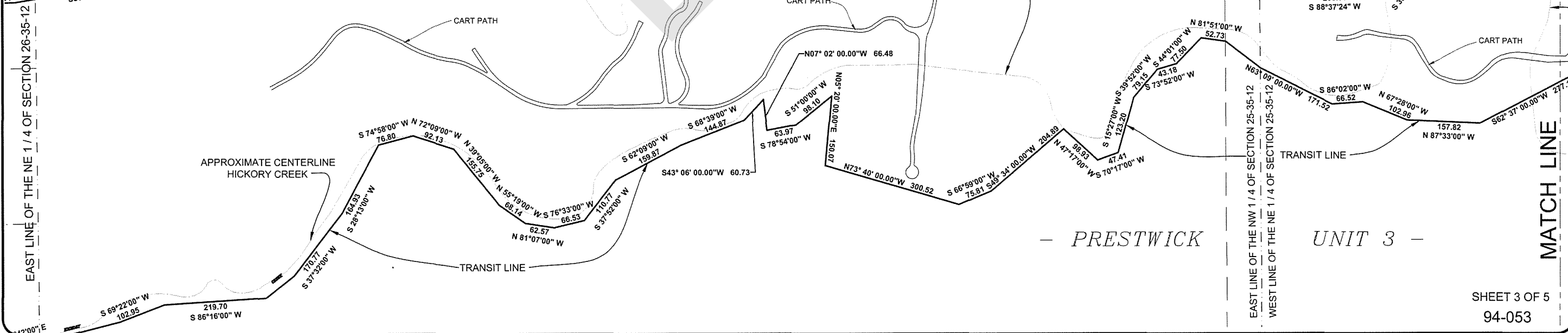
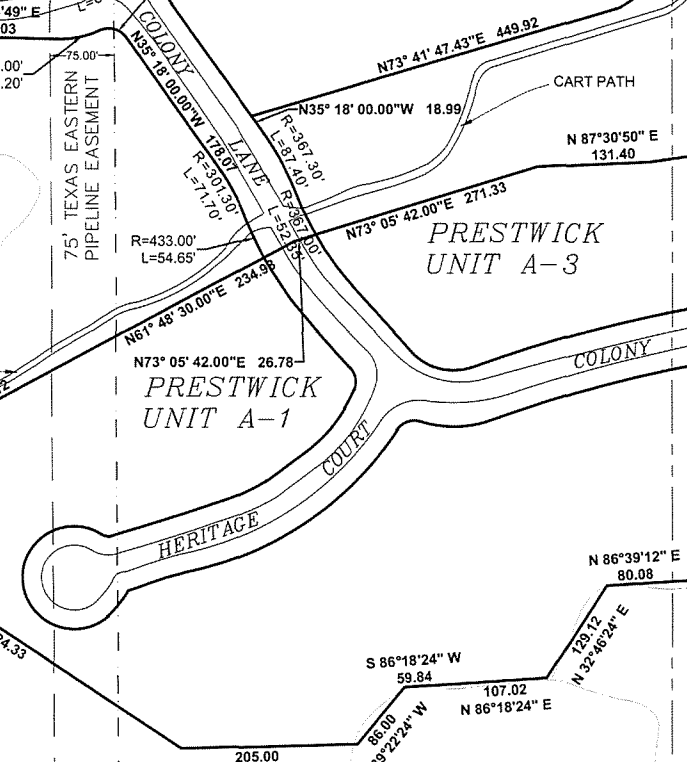
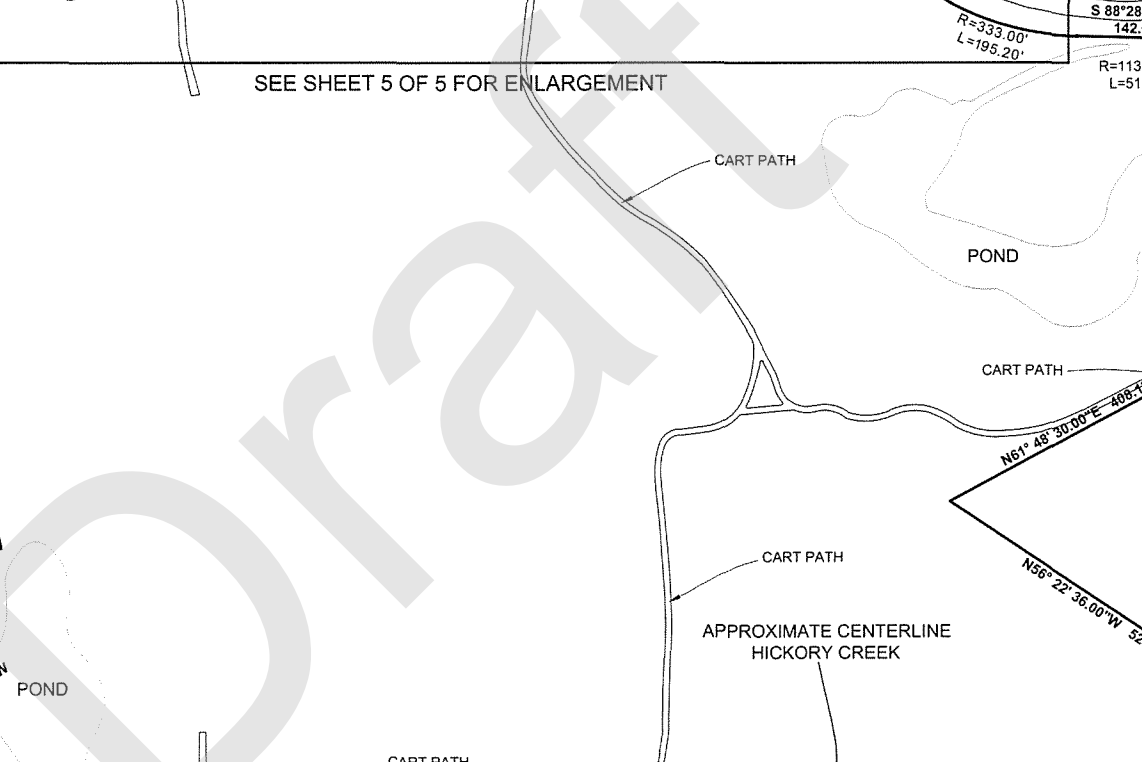
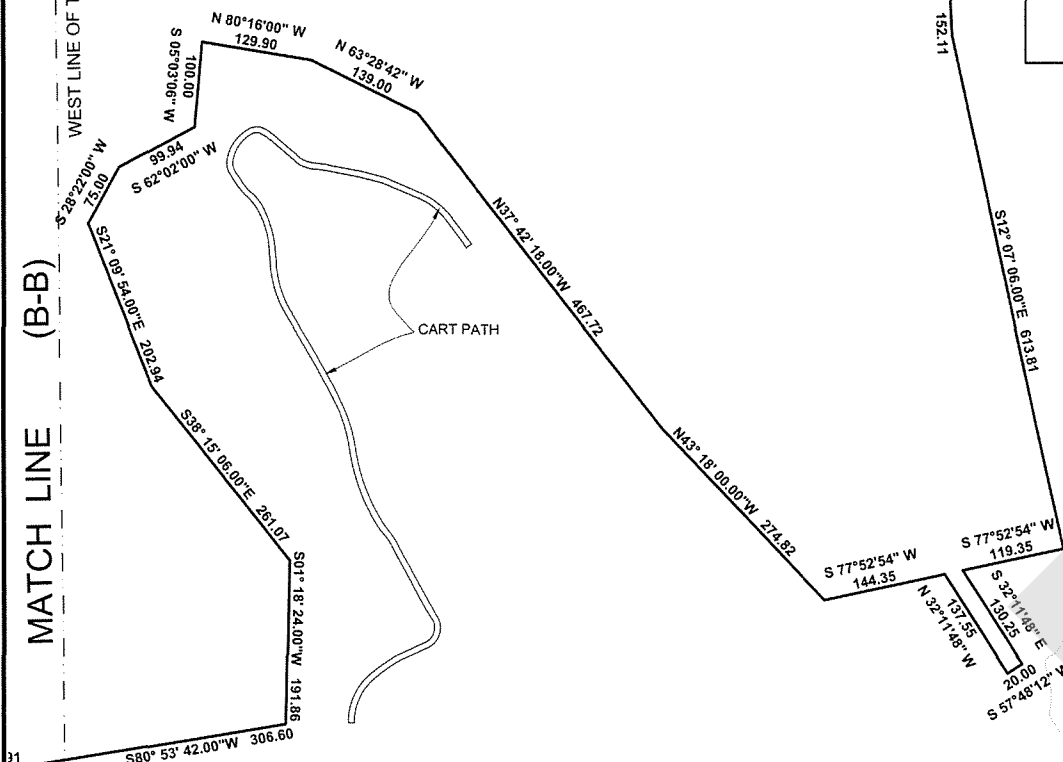
MATCH LINE (B-B)

EAST LINE OF THE NE 1/4 OF SECTION 26-35-12

WEST LINE OF THE NE 1/4 OF SECTION 25-35-12

WEST LINE OF THE NW 1/4 OF SECTION 25-35-12

MATCH LINE



- PRESTWICK UNIT 3 -

NORTH LINE OF THE NE 1/4 OF SECTION 26-35-12

NATURAL GAS PIPELINE COMPANY OF AMERICA N89° 39' 30.00"E 1815.00



GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

- PRESTWICK UNIT 1 -

MATCH LINE (B-B)

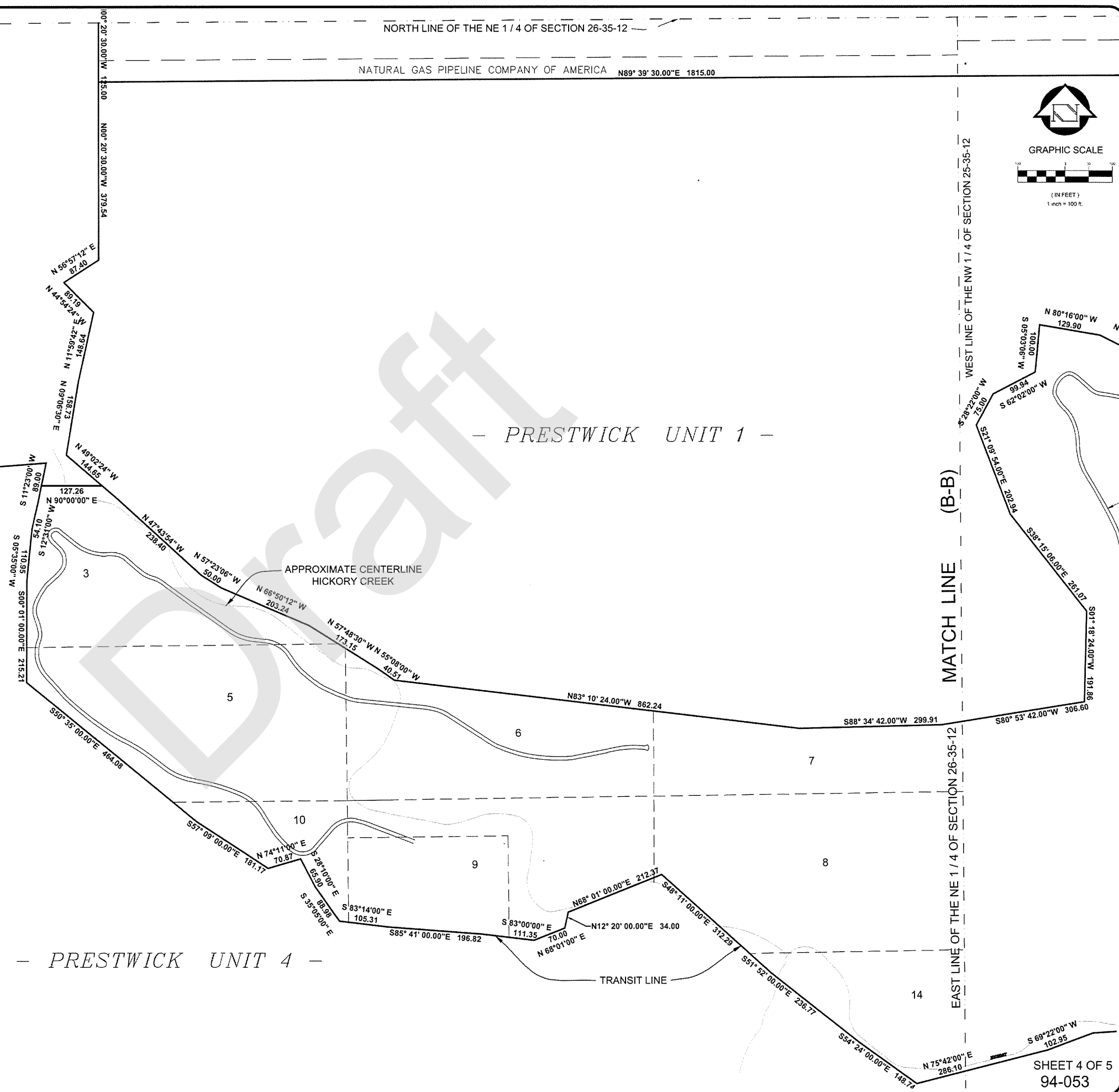
APPROXIMATE CENTERLINE
HICKORY CREEK

TRANSIT LINE

WEST LINE OF THE NE 1/4 OF SECTION 26-35-12

EAST LINE OF THE NE 1/4 OF SECTION 26-35-12

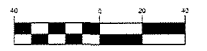
- PRESTWICK UNIT 4 -



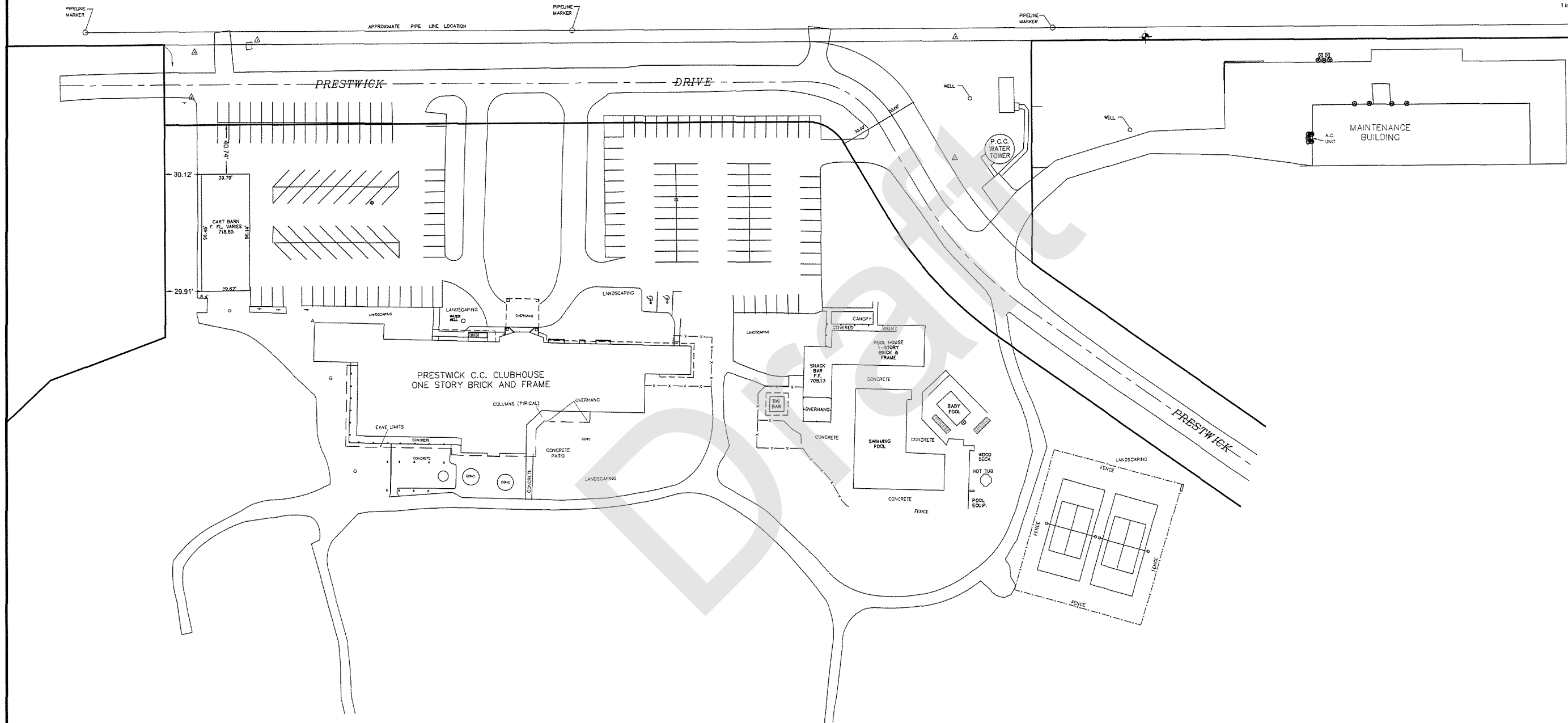
NORTH LINE OF THE NW 1 / 4 OF SECTION 25-35-12



GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.



November 6, 2023

Unanimous Consent Agenda

**E. APPROVAL OF EXECUTIVE SESSION MINUTES AND
DESTRUCTION OF VERBATIM RECORDINGS – RESOLUTION**

(Presenter: Trustee Petrow)

The Village Board has conducted its semi-annual review of all written minutes of the closed session meetings pursuant to the Illinois Open Meetings Act, 5 ILCS 120/1 et seq., and recommend the minutes remain closed because the need for confidentiality still exists. The Village Board has further determined that the audiotaped verbatim records of closed session meetings where more than 18 months have lapsed are eligible for destruction.

Motion: *Adopt a Resolution approving certain closed session meeting minutes and authorizing the destruction of verbatim records of certain closed session meetings of the Village of Frankfort.*

Draft

RESOLUTION NO. **23-XX**

A RESOLUTION RECOMMENDING EXECUTIVE SESSION MINUTES REMAIN CLOSED AND AUTHORIZING THE DESTRUCTION OF CERTAIN VERBATIM RECORDS OF THE BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT

WHEREAS, the Board of Trustees of the Village of Frankfort (“Village Board”) has met from time to time in closed session for purposes authorized by the Illinois Open Meetings Act (5 ILCS 120/1 *et seq*); and

WHEREAS, this governmental body has made a verbatim recording of all closed sessions; and

WHEREAS, the Village Board has conducted its semi-annual review of all written minutes of the closed session meetings that have not been released for public viewing; and

WHEREAS, the Village Board has determined that a need for confidentiality still exists as to all or part of the written minutes of the closed session meetings held on the dates as set forth in Exhibit A; and

WHEREAS, the Open Meetings Act permits governmental bodies to destroy the verbatim record of closed session meeting(s) no less than eighteen months after completion of the meeting as set forth in Exhibit B.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1: The foregoing recitals are incorporated into and made a part of this Resolution.

SECTION 2: The Village Board hereby approves the written minutes of the closed session meetings that are specifically listed in Exhibit A and further determines that the need for confidentiality still exists as to all or part of those minutes listed in said Exhibit A.

SECTION 3: The Village Board hereby authorizes the destruction of the audiotaped verbatim records of all closed session meetings that are specifically listed in said Exhibit B.

SECTION 5: This Resolution shall be in full force and effect from and after its passage.

PASSED AND APPROVED this 6th day of November, 2023.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

Exhibit A

Closed Session Meeting Minutes/Portions to Remain Confidential

July 8, 2020 (COW) – Portions Remain Closed
May 17, 2021 (VB) – Portions Remain Closed
June 2, 2021 (COW) – Not Released
June 7, 2021 (COW) – Portions Remain Closed
June 7, 2021 (VB) – Not Released
June 21, 2021 (VB) – Not Released
July 6, 2021 (COW) – Not Released
July 6, 2021 (VB) – Not Released
September 7, 2021 (VB) – Not Released
September 23, 2021 (PC)- Not Released
October 18, 2021 (VB) – Not Released
November 15, 2021 (VB) – Not Released
December 6, 2021 (VB) – Not Released
March 21, 2022 (VB) – Not Released
April 4, 2022 (VB) – Not Released
May 16, 2022 (VB) – Not Released
August 1, 2022 (VB) – Not Released
April 17, 2023 (VB) – Not Released

Exhibit B

Closed Session Meeting Verbatim Recordings to be Destroyed

May 17, 2021 – Village Board
June 2, 2021 – Committee of the Whole
June 7, 2021 – Committee of the Whole
June 7, 2021 – Village Board
June 21, 2021 – Village Board
July 6, 2021 – Committee of the Whole
July 6, 2021 – Village Board
September 7, 2021 – Village Board
September 23, 2021 – Plan Commission
October 18, 2021 – Village Board
November 15, 2021 – Village Board
December 6, 2021 – Village Board
December 13, 2021 – Committee of the Whole
March 21, 2022 – Village Board
April 4, 2022 – Village Board
May 2, 2022 – Village Board

MAYOR'S REPORT NOVEMBER 6, 2023

1. Veterans Day Concert Scheduled for November 9

The Hickory Creek Middle School Band and Orchestra will host its annual Veterans Day Concert on Thursday, November 9. The concert begins at 6:00 P.M. at the school, 22150 116th Avenue, and is free to the public. Mayor Ogle will narrate the Veteran's Day portion of the concert. Veterans are encouraged to attend.

2. Village Offices Closed in Observance of Veterans Day

In observance of the Veterans Day holiday on Friday, November 10, Village of Frankfort offices will be closed.

3. Village of Frankfort Police Department Is Hiring

The Frankfort Police Department is now hiring. Completed applications and all required documentation must be received no later than November 15, 2023 at 4:00 P.M. Applications are available at www.jobsource.copsandfiretesting.com. Orientation and written exam will take place on Saturday, December 2, 2023, at 9:30 A.M., at Hickory Creek Middle School, 22150 116th Avenue, Frankfort.

4. Leaf Collection

The leaf collection program is in progress and will continue through Monday, November 27. Residents are reminded to rake leaves onto the parkway, just inside the edge of the curb. Please avoid raking or blowing leaves into the street or near storm drains as this is a violation of village ordinance and can cause flooding issues. One final branch collection is scheduled for Monday, November 27.

5. Save the Date! "Lighting of the Green" Slated for November 30

The annual "Lighting of the Green" ceremony is scheduled for Thursday, November 30, at 6:30 PM on Breidert Green in downtown Frankfort. The event will feature the countdown to the tree lighting, musical performance by the Hickory Creek Middle School Choir, a visit from Santa and Mrs. Claus, and a special guest appearance from Buddy the Elf. Complimentary cookies and hot chocolate will be served.