



PLAN COMMISSION / ZONING BOARD OF APPEALS AGENDA

Thursday, October 12, 2023
6:30 P.M.

Frankfort Village Hall
432 W. Nebraska Street (Board Room)

1. **Call to Order**
2. **Roll Call**
3. **Approval of Minutes of September 7, 2023 and September 28, 2023**
4. **Public Hearing: 9115 Roma Court – Roma Sports Building Addition & Outdoor Recreation (Ref # 104)**
Public Hearing Requests: Two (2) Special Use Permits for indoor recreation for a building addition and outdoor recreation for sports fields, and Two (2) variations to permit a reduced front landscape setback and allow three points of vehicle access on Lot 1 of the proposed Roma 2 Resubdivision. Other: Plat of Resubdivision for Roma 2 Resubdivision (PINs: 19-09-34-202-025-0000, 19-09-34-202-010-0000, 19-09-34-202-009-0000, and 19-09-34-202-008-0000).
5. **Workshop: Vacant land - Dunkin' Donuts Commercial Multi-Tenant Building**
Future Public Hearing Request: Special Use Permit for a carry out restaurant; Special Use Permit for drive-up service windows associated with a permitted use; Special Use Permit for outdoor seating associated with a permitted restaurant; Special Use Permit for a carry out restaurant; and Special Use Permit for extended hours of operation (opening at 4:00 a.m.), in the B-2 General Business District (PIN: 19-09-15-301-034-0000).
6. **Public Comments**
7. **Village Board & Committee Updates**
8. **Other Business**
9. **Attendance Confirmation (October 26, 2023)**
10. **Adjournment**

All applicants are advised to be present when the meeting is called to order. Agenda items are generally reviewed in the order shown on the agenda, however, the Plan Commission/Zoning Board of Appeals reserves the right to amend the agenda and consider items in a different order. The Commission may adjourn its meeting to another day prior to consideration of all agenda items. All persons interested in providing public testimony are encouraged to do so. If you wish to provide public testimony, please come forward to the podium and state your name for the record and address your comments and questions to the Chairperson.



MINUTES

MEETING OF VILLAGE OF FRANKFORT PLAN COMMISSION / ZONING BOARD OF APPEALS

September 7, 2023 –VILLAGE ADMINISTRATION BUILDING

432 W. NEBRASKA STREET

Call to Order: Chair Schaeffer called the meeting to order at 6:30 PM

Commissioners Present: Nichole Schaeffer (Chair), Brian James, Jessica Jakubowski, Johnny Morris

Commissioners Absent: Will Markunas, Dan Knieriem, David Hogan

Staff Present: Director of Community and Economic Development Mike Schwarz, Senior Planner Christopher Gruba, Planner Amanda Martinez

Elected Officials Present: None

A. Approval of the Minutes from August 24th, 2023

Motion (#1): To approve the minutes from August 24th, 2023, as presented.

Motion by: Jakubowski

Seconded by: James

Approved: (3-0-1, Schaeffer abstained)

B. Public Hearing: Sparks Drive-Through Coffee Shop – Hickory Creek Market Place Subdivision (Ref #106)

Christopher Gruba presented the staff report.

The applicant approached the podium and added to the presentation that the bronze mentioned on the plans will be removed since it was a mistake.

Commissioners agreed that they were fine with the requested Special Uses since this had already been discussed, thus Commissioners will be discussing only the changes and revisions at this meeting.

Chair Schaeffer stated there should be some consideration for adding a band to break up the uniform brick. Adding a band will match the other buildings that have a band.

The applicant agreed to add a band similar to the ones on surrounding buildings.

Chair Schaeffer asked if the applicant knew that the proposed sign facing La Grange Road has an arrow pointing the wrong way to the drive through window.

The applicant agreed to flip the arrow to make it directionally correct.

Chair Schaeffer stated that the scale of the proposed sign facing La Grange Road seems to be small. She asked if other Commissioners had thoughts on the scale of the sign.

Commissioner Jakubowski stated that a more proportionate would be better.

Commissioner Morris agreed that it is a great idea to make the sign proportionate.

Chair Schaeffer stated that she knows the sign is compliant with code, but it may be a consideration for the proposed sign facing La Grange Road to be more proportionate and visible from the road.

Christopher Gruba added that there could be exceptions through a PUD related to the sign's size.

Chair Schaeffer stated that she is fine with the red color rather than bronze and that she appreciates the building looking like the other buildings in the development.

Commissioner James added that he appreciates the applicant coming to the Commissioners again for feedback.

Commissioner Jakubowski added that she would like to see the fence style match the other outlots in the development. She added that the color of the fence matches the other outlots in the development.

Motion (#2): Close the public hearing.

Motion by: Jakubowski

Seconded by: James

Approved: (4-0)

Motion (#3): Recommend to the Village Board to approve the Major Change to the Hickory Creek Marketplace PUD, in accordance with the reviewed plans, public testimony, and Findings of Fact, subject to the following conditions:

1. Subject to final engineering approval;
2. The building exterior shall include standard brick instead of thin brick; and

3. The fence around the outdoor seating area shall be consistent with that of the existing fence located around the outdoor seating area at 19943 S. La Grange Road (Camino Viejo Restaurant), and approving the following exceptions:

1. Reduced trash enclosure setback of 5' (10' required from any lot line);
2. Relief from the required 5' wide landscape bed adjacent to drive through lanes; and
3. Relief from the required sidewalk connection from the building to the existing sidewalk along La Grange Road.

Motion by: Jakubowski

Seconded by: James

Approved: (4-0)

Motion (#4): Recommend the Village Board approve a Special Use Permit to allow a carry-out restaurant use on the property located at Outlot 1E in the Hickory Creek Marketplace PUD, in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned on final engineering approval.

Motion by: James

Seconded by: Morris

Approved: (4-0)

Motion (#5): Recommend the Village Board approve a Special Use Permit to allow drive-up service windows associated with a permitted use on the property located at Outlot 1E in the Hickory Creek Marketplace PUD, in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned on final engineering approval.

Motion by: Jakubowski

Seconded by: James

Approved: (4-0)

Motion (#6): Recommend the Village Board approve a Special Use Permit to allow outdoor seating associated with a permitted restaurant on the property located at Outlot 1E in the Hickory Creek Marketplace PUD, in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned on final engineering approval.

Motion by: James

Seconded by: Jakubowski

Approved: (4-0)

Motion (#7): Recommend the Village Board approve a Special Use Permit to allow extended hours of operation (5:30 am – 8 pm Monday – Saturday and from 6 am – 6 pm on Sunday) on the property located at Outlot 1E in the Hickory Creek Marketplace PUD,

in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned on final engineering approval.

Motion by: Jakubowski

Seconded by: Morris

Approved: (4-0)

C. Public Hearing: 108 Walnut Street – Ruzich Residence (Ref#104)

Chair Schaeffer announced that the applicant requested to table the discussion and continue the public hearing to September 14, 2023.

Motion (#8): Continue the public hearing to September 14, 2023.

Motion by: Jakubowski

Seconded by: James

Approved: (4-0)

**D. Public Hearing: 7654 W. Lincoln Highway - Circle K Redevelopment (Ref #108
CONTINUATION OF PUBLIC HEARING FROM 5/11/23, 6/22/23, 7/27/23 AND
8/10/23)**

Mike Schwarz presented the staff report.

The applicant's representative, Project Manager Ryan Swanson, of Arc Design Resources, Inc., approached the podium and added the following points:

- Landscaping was added to provide more screening as requested;
- Regarding detention, they have been working with the Village Engineer to do an underground system; and
- The Site Plan looks very similar to the last one that was presented, the biggest change being that on the Building Elevations the exterior building material has changed to full dimensional brick, and the red and yellow band has been removed from the fuel canopy.

Chair Schaeffer stated that she believes most of the variations that are requested are due to the right-of-way that was acquired by the Illinois Department of Transportation for the now completed improvements to Illinois Route 30 adjacent to the site.

Commissioner Jakubowski agreed and stated that she is fine with the requested landscape variation especially since the Site Plan now provides more plantings.

Commissioner James stated that hopefully this redevelopment project will bring more development opportunities to the Route 30 corridor.

Chair Schaeffer asked if there are limitations on hours for liquor sales.

Mike Schwarz stated that the hours for liquor sales are regulated by Chapter 113 of the Municipal Code, otherwise known as the alcoholic liquor regulations. He added that the zoning for such a use and the necessary liquor licensing are two different requests, so the Plan Commission's purview is only the request for a Special Use for accessory liquor sales. The Village Board would vote on both the Special Use for accessory liquor sales as well as the necessary liquor license.

Motion (#9): Close the public hearing.

Motion by: Jakubowski

Seconded by: Morris

Approved: (4-0)

Motion (#10): Recommend to the Village Board approval of a Zoning Map Amendment (Rezoning) from the default E-R Estate Residential District to the B-2 Community Business District upon annexation, for the subject property located at 7654 W. Lincoln Highway;

Motion by: James

Seconded by: Morris

Approved: (4-0)

Motion (#11): Recommend to the Village Board approval of a Special Use Permit for an automobile fueling station [Article 5, Section B of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval; and additionally subject to the following conditions:

1. A detail for the base of the parking lot light poles shall be provided, subject to staff review and approval; and
2. Temporary outdoor display of merchandise shall be limited to the areas depicted on the Layout Plan, subject to permit applications for limited duration per the Zoning Ordinance.

Motion by: James

Seconded by: Jakubowski

Approved: (4-0)

Motion (#12): Recommend to the Village Board approval of a Special Use Permit for accessory liquor sales [Article 5, Section B of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact;

Motion by: James

Seconded by: Jakubowski

Approved: (4-0)

Motion (#13): Recommend to the Village Board approval of a Special Use for Permit for extended hours of operation (open 24 hours) [Article 6, Part 2(q) of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact;

Motion by: James

Seconded by: Jakubowski

Approved: (4-0)

Motion (#14): Recommend to the Village Board approval of a Variation to allow a reduction of the required minimum front yard setback from 150 feet to 111.6 feet from the centerline of Route 30 for the fuel canopy [Article 6, Section C, Part 1 of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;

Motion by: Jakubowski

Seconded by: Morris

Approved: (4-0)

Motion (#15): Recommend to the Village Board approval of a Variation to allow a reduction of the required minimum corner side yard from 50 feet to 38 feet, 6 inches for the fuel canopy [Article 6, Section C, Part 1 of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;

Motion by: Morris

Seconded by: Jakubowski

Approved: (4-0)

Motion (#16): Recommend to the Village Board approval of a Variation to allow a reduction of the required minimum interior side yard from 15 feet to 10 feet along the north property line [Article 6, Section C, Part 1 of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;

Motion by: James

Seconded by: Morris

Approved: (4-0)

Motion (#17): Recommend to the Village Board approval of a Variation to allow a reduction of the required minimum landscaped front yard from 25 feet to 3.5 feet [Article 6, Section C, Part 1 and Part 2(d) of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;

Motion by: Morris

Seconded by: Jakubowski

Approved: (4-0)

Motion (#18): Recommend to the Village Board approval of a Variation to allow a reduction of the quantity of required plant materials within the landscaped front yard facing Route 30 (required plant units to be dispersed throughout the site) [Article 7, Section D, Part 1 of the Zoning Ordinance, and Section 158.30 of the Landscape Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;

Motion by: James

Seconded by: Morris

Approved: (4-0)

Motion (#19): Recommend to the Village Board approval of a waiver of the required travel lane (cross-access with the adjacent property to the north and east) [Article 7, Part 4(c) of the Zoning Ordinance], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;

Motion by: Morris

Seconded by: James

Approved: (4-0)

Motion (#20): Recommend to the Village Board approval of a Variation to allow a reduction of the required minimum setback of a freestanding sign from 25 feet to 10 feet [Municipal Code Section 151.041(B)(1)(b)] for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;

Motion by: James

Seconded by: Jakubowski

Approved: (4-0)

Motion (#21): Recommend to the Village Board approval of a Variation to allow an increase of the required maximum height of a freestanding sign from 6 feet to 7 feet [Municipal Code Section 151.060(B)(1)(g)], for the subject property located at 7654 W.

Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;

Motion by: Jakubowski

Seconded by: Morris

Approved: (4-0)

Motion (#22): Recommend to the Village Board approval of a Variation to allow an increase of the required maximum area of a freestanding fuel station sign from 30 square feet to 48 square feet [Municipal Code Section 151.060(B)(1)(h)], for the subject property located at 7654 W. Lincoln Highway, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval;

Motion by: James

Seconded by: Jakubowski

Approved: (4-0)

Motion (#23): Recommend to the Village Board approval of the Preliminary and Final Plat of Circle K Frankfort Subdivision, subject to any necessary technical revisions prior to recording.

Motion by: Morris

Seconded by: Jakubowski

Approved: (4-0)

E. Workshop: 21420 S. Harlem Avenue – Thrift Home & Restoration (The Bridge Teen Center)

Mike Schwarz presented the staff report and noted that the curbs shown at the northeast corner and southwest corner of the building on the Site Plan have been requested to be removed per the Frankfort Fire Protection District.

The applicant, Rob Steinmetz, representing The Bridge Teen Center, a 501c3 non-profit corporation, along with the Project Architect, Patrick McCarty, Jr., approached the podium. Rob Steinmetz stated that they have purchased the property now and that they are requesting a PUD because of all of the existing conditions of the site. The original development was supposed to include four separate office buildings that match each other and that they are now just requesting one building on one lot. Their intent is to reuse the building, get the building functional, and occupy the building. The applicant has had conversations with the Village Engineer, Frankfort Fire Protection District, and nearby homeowners. The homeowners did not want to see a fence or a berm along the shared property line. They prefer natural landscaping for screening. The existing windows and doors on the building are in bad shape. They are seeking to make it look like more of a commercial building rather than the existing 30-year-old office building.

Priscilla Steinmetz approached the podium and stated that she was the founder of the organization. The proposed thrift store would support the teen center located in Orland Park. The existing location has helped around 12,000 students. The teen center helps provide free programs for the students. She passed out a flyer for the programs that are offered.

Chair Schaeffer asked the other Commission members if they had any initial questions for the applicant. There were none.

Chair Schaeffer suggested that the commission go through the staff report headings topic by topic. On the topic of land use, there was consensus from the Commissioners regarding the proposed retail use.

Chair Schaeffer asked the applicant if the employees would be adults.

Priscilla Steinmetz responded that the leadership employees will be adults, but both adults and students can and would be volunteers.

Chair Schaeffer asked staff if there is a proposed rezoning or if the proposed retail use could be done through the proposed PUD.

Mike Schwarz replied that the existing B-4 Office District zoning has been in place on the property for many years and the applicant is not requesting to rezone. Rather, the proposed retail use is allowable as a Special Use in the B-4 Office District.

Chair Schaeffer asked staff if the proposed PUD would set a precedent for any future buildings that might later be proposed on the property.

Mike Schwarz replied that the Commissioners can discuss whether or not to include as a condition of the PUD that any future buildings that are not depicted or detailed at this time must be considered a Major Change to the PUD, which require future review of each building by staff, the Commission and the Village Board.

Patrick McCarty, Jr. stated that they wouldn't be able to build anything north of Parcel 1 as shown on the Plat of Survey. They could expand the parking lot, but there would be no buildings north of the existing building. The site drains from south to north. They potentially could only expand and build additional buildings to the south of the existing building. He noted that a utility easement for water and sanitary sewer runs right through the middle of the entire property from east to west. There is space to potentially add a future retail building and a greenhouse to the south of the existing building.

Commissioner Morris asked if the future retail building would look like a barn type building as depicted like to the submitted concept image.

Patrick McCarty, Jr. replied that the applicants are looking for an “old barn house” look if a future accessory retail building is approved. He added that the main goal is to get the proposed retail use operational, and then if it is profitable, they would consider future expansion. There is barely enough funding in their budget to get the existing building brought up to Code and up and running.

Chair Schaeffer stated that she agrees that any future change to the proposed Site Plan to add the future accessory retail building and greenhouse that are currently noted, would be deemed to be a Major Change to the PUD.

Priscilla Steinmetz stated that as a non-profit they need to consider what the community needs, so any future decisions would be based on the needs of community at that time. She added that things could change in the future.

Commissioner James stated that aspects of this project remind him of the Navarro Farm, which he sees has turned into a community asset.

Commissioner Jakubowski asked about the style of the proposed replacement windows on the existing building. She added that she would want the existing building and any potential future accessory retail building to match more in terms of architectural style than just in terms of color. She asked why they are proposing to remove the muntins from the windowpanes.

Patrick McCarty, Jr. replied that the proposed replacement windows will be aluminum in a black or bronze finish. The muntins on the existing windows would not be replaced as they are going for more of a commercial look.

Commissioner Jakubowski asked for clarification on the white vertical elements along the ridgeline of the existing roof that are shown on the building photos.

Patrick McCarty, Jr. replied that the existing roof includes three chimneys that enclose stacked vents. They do not need them anymore. A roofer will repair the existing dormers on each side of the roof, but the three chimneys would be removed.

Commissioner Schaeffer asked where the rooftop vents would go if these chimneys are removed.

Patrick McCarty, Jr. replied that a rooftop vent will only be needed on the west side of the building due to the interior floor plan. That rooftop vent currently is not shown on plans because there are no mechanical or plumbing plans yet.

Commissioner James stated that in terms of the proposed painting of the red brick, you can see that other homes in the neighborhood to the west have a lighter color brick than what is on the subject property’s brick. He noted that when this project goes before the

Village Board, there might be comments that there is a big contrast from the nearby Walgreens and McDonalds which have darker brick colors.

Commissioner Jakubowski stated that she appreciates the applicants trying to make the building look different from its current appearance. She noted that this building is right next to a residential neighborhood.

Chair Schaeffer stated that she is starting to see variations in brick color from the nearby Walgreens and McDonalds buildings and she thinks that this is a good architectural change for the building.

Commissioner Jakubowski asked if the main entrance into the building on the south side is distinguished enough.

Patrick McCarty, Jr. responded that the south primary entrance will be clearly identified to visitors. On the north side of the building there will be deliveries under the canopy. There are two doors on the north side for easy flow for customers to get in and out.

Chair Schaeffer stated that she agrees that the delivery entrance makes sense to be covered. She asked staff with respect to signage what is the quantity allowed. Can there be a sign at the main entrance?

Mike Schwarz replied that as a proposed PUD the Commission and Village Board have the ability to allow flexibility related to signage. Per the Sign Regulations, wall signs are only allowed on facades that face a street or a major access aisle.

Chair Schaeffer asked if the main entrance door is a residential style door currently.

Patrick McCarty, Jr. replied yes, each of the existing doors are residential style doors and they would be replaced with commercial grade doors.

Commissioner Jakubowski asked for further information on the color and style of the new doors.

Patrick McCarty, Jr. replied that each new door would be a commercial door that matches the window frame casings and will have glazed glass with sidelights.

Commissioner Morris asked how many ADA handicap accessible spaces would be provided.

Patrick McCarty, Jr. replied that there would be a total of three handicap accessible spaces. Two would be for clients and one would be for employees. The existing parking lots include a total of 42 spaces. The proposed parking lots would provide a total of 59 spaces. He added that even with a potential future accessory retail building, the provided parking would comply with the minimum required by the Zoning Ordinance.

Chair Schaeffer asked what material is proposed on the exterior of the trash enclosure.

Patrick McCarty Jr. replied that it will be brick to match the building.

Commissioner Jakubowski stated that she will want more detail on the proposed roof material of the potential future accessory retail building. She would like to see consistency within the project in terms of architecture. It looks like we're shifting from one style of building to another. She would like to see more detail in the millwork such as the windowpanes, shutters, etc.

Chair Schaeffer stated that a small section of metal roofing or awnings might be good to consider for an architectural feature on the existing building, especially on the east side.

Commissioner James stated that he agrees to adding some architectural detail above the windows on the east side of the existing building facing Harlem Avenue.

Commissioner Morris asked if the proposed monument sign on the east side of the building would be illuminated.

Patrick McCarty, Jr. replied yes, there would be uplighting from the ground, but the sign would not be internally illuminated. Currently, there is no electrical service on the site of the proposed monument sign.

Commissioner Morris noted that the proposed Landscape Plan would be done in phases, and asked when the anticipated completion date would be.

Patrick McCarty, Jr. replied that there are basically two options. They could either provide landscaping along the west property line in areas that are missing landscaping completely, since the south property line has existing landscaping on the residential properties, or they could provide some amount of landscaping along the entire length of the abutting residential properties, and then fill in any gaps later wherever they might be a gap in the required continuous screening.

Chair Schaeffer asked the other Commissioners if they were okay with the applicant's proposed approach to phase the required landscaping along the abutting residential properties since some of the homes are already heavily landscaped. She asked staff when the second phase of landscaping would be triggered.

Patrick McCarty, Jr. replied that the final required perimeter screening for the abutting residential properties could be triggered when any future buildings are constructed.

Mike Schwarz noted that the applicant should choose plantings wisely where there are existing or proposed utility easements.

Commissioner James emphasized the importance of perimeter screening on the west side and is glad to see that there is no fence or berm along the shared property lines with the homes.

Mike Schwarz asked the Commissioners if there were any concerns about the applicant's proposal to initially not provide the required landscape screening for the two homes on the south.

Chair Schaeffer suggested that the applicant work with what is already there, but the Commission could add a condition regarding the timing of installation of the second phase of plantings.

Commissioner Jakubowski stated that she does not see the aforementioned phasing idea being managed well.

Mike Schwarz stated that there could be a potential condition that any required landscape screening along the south property line must be provided if and when any future buildings are reviewed. Any such landscaping could be reviewed at that time.

Chair Schaeffer asked the applicant and staff if they felt like there was adequate direction and feedback.

Mike Schwarz mentioned that the Comprehensive Plan calls for a bike path along the west side of Harlem Avenue. This segment is noted as part of a "Priority Gap" in the trails system on Figure 6.10 in the Comprehensive Plan. He added that at a minimum the Subdivision Ordinance requires a sidewalk which was never installed as part of the original office development.

Some discussion ensued regarding the idea of a potential cost-sharing arrangement between the applicant and the Village for a future bike path project subject to Village Administration and Village Board review and approval.

Patrick McCarty, Jr. stated that there is a drainage ditch along the west side of Harlem Avenue that would impact the ability to construct a potential bike path or sidewalk within the public right-of-way. There is also more than 900 feet of property frontage along Harlem Avenue. If either a bike path or sidewalk is required, the applicants would need to provide a public access easement on their property, which would likely require the removal of existing trees. He would like more input from their design engineer before discussing this topic. He added that the applicant is strongly opposed to constructing or paying for any such bike path or sidewalk as they simply cannot afford such a project in their current budget.

Chair Schaeffer stated that the Commission can table further bike path or sidewalk discussion so that the Village Administration, staff, and the applicant can have further discussion.

Commissioner James asked the Project Architect if he has sketched out what a future accessory retail building might look like on the Site Plan. He would like to ensure that it will be usable.

Patrick McCarty, Jr. replied that the proposed lot to the south of the existing building is a little over one acre in size. It should be sufficient to accommodate any potential future accessory retail building or greenhouse.

Chair Schaeffer suggests that the applicant not show the potential future accessory retail building and greenhouse on the Site Plan given that there are some unknowns related to the architecture and an additional use approval would be needed for exceeding the amount of retail space that is permitted in the B-4 Office District.

The applicant, Rob Steinmetz, and the Project Architect, Patrick McCarty, Jr., agreed that they would were just showing these potential future buildings to share their possible longer-term plans, but would be fine with removing them from the Site Plan, knowing that they would need to return at some point in the future requesting a Major Change to the PUD if they eventually want to propose such buildings.

A question was posed by one of the Commissioners regarding what might happen if the current owner sold the proposed undeveloped lot to the south of the existing building to another party.

Mike Schwarz noted that stated that since a PUD is being requested, any future buildings on the currently vacant proposed lot would require a Major Change to the PUD, so even if the applicant was to sell the proposed lot to another party, that other party would need to go through a future review process and public hearing.

F. Public Comments

There were no public comments.

G. Village Board & Committee Updates

There were no Village Board & Committee updates.

H. Other Business

Mike Shwarz mentioned that he will be registering any Commissioners who would like to attend the Plan Commission Training Sessions at the APA-IL State Conference by the end of the week.

I. Attendance Confirmation (September 14th, 2023)

Commissioner Morris mentioned that he will be out of the country and will not be able to attend the September 14th meeting, but he plans to be back for the September 28th meeting.

Motion (#24): Adjournment 10:05 P.M.

Motion by: Jakubowski

Seconded by: James

The motion was unanimously approved by voice vote (4-0).

Approved October 12th, 2023

As Presented _____ As Amended _____

_____/s/ Nichie Schaeffer, Chair

_____/s/ Secretary

DRAFT



MINUTES

MEETING OF VILLAGE OF FRANKFORT PLAN COMMISSION / ZONING BOARD OF APPEALS

September 28, 2023 –VILLAGE ADMINISTRATION BUILDING

432 W. NEBRASKA STREET

Call to Order: Chair Schaeffer called the meeting to order at 6:30 PM

Commissioners Present: Nichole Schaeffer (Chair), Will Markunas, Dan Knieriem, Brian James, Jessica Jakubowski, David Hogan, Johnny Morris

Commissioners Absent: None

Staff Present: Planning & Economic Development Director Mike Schwarz, Senior Planner Christopher Gruba, Planner Amanda Martinez

Elected Officials Present: None

A. Approval of the Minutes from September 14th, 2023

Chair Schaeffer asked for questions or comments regarding the minutes. Senior Planner Chris Gruba noted that the minutes lacked a detail regarding the public hearing for 108 Walnut. He said that the motion recommending approval of the side yard setback should have included a condition of approval that any mechanical equipment, including but not limited to an A/C unit or a generator, shall be located in the rear yard only and not within the side yard, as was recommended by the Building Department. The Commission generally agreed with this amendment.

Motion (#1): To approve the minutes from September 14th, 2023, as amended.

Motion by: Markunas

Seconded by: Morris

Approved: (7-0)

B. Public Hearing: 83 and 87 Bankview Drive – 4Ever Yoga and Pilates

Amanda Martinez presented the staff report.

The applicant, Ryan Simmons, signed in at the podium.

Commissioner Hogan asked if the proposal will be very similar to the former Yoga-360. The applicant responded yes. Commissioner Markunas asked if the proposed yoga studio would have any affiliation with Yoga-360. The applicant responded no.

Commissioner Schaeffer asked if there were any members of the public that wished to speak. There were none.

Motion (#2): Close the public hearing.

The motion was unanimously approved by voice vote (7-0).

Chair Schaeffer asked the Commission for comments regarding the proposed use. Commissioner Knieriem said that he's curious when a specific business closes in a particular location and another business entrepreneur wants to open the same business, thinking that it will succeed. Commissioner Knieriem asked the applicant how his proposed business would differentiate itself from the former business. The applicant noted that the former owner had decided to leave the state, not that the business model failed. The applicant also said that he intends to offer a program to train people to obtain a pilates teaching certificate.

The applicant said that new flooring would be installed.

Commissioner Knieriem asked if there would be a coffee bar. The applicant responded no.

Chair Schaeffer asked if there were any parking issues at the site. Commissioner Markunas noted that parking has not been an issue for this commercial building in the past.

Chair Schaeffer said she felt that the proposed business met the 7 standards for review of a Special Use Permit.

Motion (#3): Recommend the Village Board approve a Special Use Permit for Indoor Recreation (yoga and pilates studio) in the B-2 Community Business District for the property located at 83 and 87 Bankview Drive, in accordance with the submitted plans, public testimony and findings of fact, subject to two conditions:

1. The applicant shall obtain a business license.
2. The business shall implement a minimum 15-minute break between classes to accommodate parking space turnover.

Motion by: James

Seconded by: Knieriem

Approved: (7-0)

C. Public Hearing: 700 Iron Gate Court – Paluri Residence Sports Court

Amanda Martinez presented the staff report.

The applicant, Kishore Paluri, signed in at the podium. He said that the proposed pickleball court would not be a full regulation-size court. If he designed the court to be any smaller, you wouldn't be able to play pickleball on it.

Planner Amanda Martinez said that the court was made slightly smaller since the workshop, removing 1' on the south side of the court to allow for fencing which also decreased the impervious surface slightly, although this was not a requested variation.

Commissioner James asked if the court was intended to be painted blue, similar to the renderings provided by the applicant. Mr. Paluri said that he could paint it green or blue or have the court be unpainted concrete; he did not have a preference.

Commissioner Markunas asked the applicant if he's been able to discuss the proposed pickleball court with the future neighbors to the north. Mr. Paluri said yes and that if it is wanted, he could provide a letter of approval from the future neighbor. He said he also received a letter of approval from the HOA. Amanda Martinez noted that she reached out to the new owners of Lots 2 & 3 regarding the proposed sports court and did not receive a response back.

Commissioner James said that if Lots 2 and 3 immediately to the north are being combined, it should in theory provide more of a physical distance and separation between a new house and the proposed sports court.

Chair Schaeffer asked if there was anyone in the public that wished to speak. There were none.

Motion (#4): Close the public hearing.

Motion by: Jakubowski

Seconded by: Markunas

Approved by voice vote: (7-0)

Chair Schaeffer noted that the Village staff and the PC/ZBA spent a lot of time drafting the recently adopted regulations regarding residential sports courts and that the current request seemed excessive.

Commissioner Hogan said that the applicant did receive approval from the adjacent neighbors. He also noted that there is another resident in this subdivision that has an even larger sports court. He said that the proposed sports court looks better than how it was described and that the fencing and landscaping looks good.

Commissioner James said that the text amendment for sports courts was before his time on the Commission. He said that there are a number of sports courts in Frankfort that range in size and that some of these courts did not receive approval from the Village. According to his calculations, the average sports court size in Frankfort is 1,123 square feet, which is slightly below the 1,181 square feet requested. He is generally in favor of the proposed sports court. He thinks that painting it green might be more aesthetically pleasing but invited discussion on this.

Commissioner Morris said that his initial concern was noise, which seems to be the biggest complaint nationwide. He said that since the applicant received approval from the HOA, that he is comfortable with the request.

Commissioner Markunas said that he liked the proposed landscaping and fencing and that the grade change from Colorado Road to the top of the sport court's foundation would make it less noticeable. However, he said that he has the same concerns as during the workshop and that there will be a lot of noise. He noted that the Frankfort Square Park District has stopped pickleball from being played at certain times because of the noise. He also noted that the neighbors to the north have not built their house yet and that it is difficult to approve the project without them present.

Mr. Kishore noted that he would not be playing pickleball every day and that it would not be a public court.

Commissioner Jakubowski said that she was less concerned about noise, as traffic on Colorado Avenue may be louder. She said that there will never be any neighbors to the west because it is a stormwater detention area, so that is helpful. She asked if the court would be illuminated at night or only used during the day. Mr. Paluri replied that the court would only be used during the day. Commissioner Jakubowski said that she would like to see a letter of approval from the neighbors to the north.

Commissioner Knieriem said that he has the same concerns as the workshop and that 650 square feet was set because it was a reasonable size for a typical backyard. He noted that the proposed court is almost twice the size of 650 square feet. He said that the backyard is relatively small. He said that in the past, the sports courts that have been over 650 square feet have been denied. He said that there are existing tennis courts one block away and asked if those could be used for pickleball.

Mr. Kishore said that having a pickleball court in the backyard is similar to having a pool in the backyard.

Chair Schaeffer said that she was not present at the workshop meeting, but echoed the concerns of Commissioner Knieriem. She is concerned that the house is set back further from Iron Gate Court and that the proposed sports court would set the impervious lot

coverage at 40%, which is the maximum allowed. She said that there have been past instances of approving larger sports courts in the past, but that those were under different circumstances. She is also concerned about the noise. She did like the proposed landscaping around the court. If the sports court were installed, there would be no space left in the backyard in which to recreate.

Motion (#5): Recommend the Village Board approve a Special Use Permit to construct a 1,182 square foot sports court for the property located at 700 Iron Gate Court, in accordance with the reviewed plans, public testimony and Findings of Fact.

Motion by: James

Seconded by: Jakubowski

Approved: (4-3, Knieriem, Markunas and Schaeffer voted no)

D. Workshop: Village of Frankfort Zoning Ordinance Text Amendment – Accessory Structures

Christopher Gruba presented the staff report.

There was some discussion about the sliding scale being beneficial for larger properties and a consensus on keeping the sliding scale.

Commissioner Hogan asked if the 2% sliding scale would erase the 250 square feet maximum size requirement.

Christopher Gruba responded no and that the 2% and the 250 square foot maximum size requirements would go together.

Commissioner Knieriem stated that there would be a problem with how small the backyard is since some of the downtown lots are around 6,000 square feet. If an applicant tries to put a 250 square foot accessory structure in that 6,000 SF lot next to the garage, there would be no backyard.

Chair Schaeffer responded that the applicant would be allowed 250 square feet subject to other applicable restrictions such as setbacks and impervious lot coverage.

There was some discussion about eliminating the 250 square feet maximum size requirement.

Commissioner Knieriem stated that if we do 1.7% as the sliding scale percentage, that will get the structure closer to the 250-foot maximum size limitation. He also stated that he is in favor of limiting the number of structures to either 2 or 3 which would allow Commissioners the ability to provide input on how many and how close people can put accessory structures near each other.

There was a consensus to not limit the number of structures, which strikes “I” from Page 104.

There was some discussion that staff should include the word “only” in b#1 on Page 105.

Commissioner James shared concern about how many new variation cases the amendment would bring and asked staff to provide more data from projects that previously requested a variance to increase the size of their accessory structure regarding average lot size, average accessory structure size being requested, and average lot coverage.

Commissioner Hogan added that the data requested by Commissioner James would be very helpful and that staff can look at the past year or two years for that information.

E. Public Comments

There were no public comments.

F. Village Board & Committee Updates

There were no Village Board & Committee updates.

G. Other Business

There was no other business discussed.

H. Attendance Confirmation (October 12th, 2023)

Chair Schaeffer asked Commissioners to please let staff know if someone cannot attend the next meeting.

Motion (#5): Adjournment 7:55 P.M.

Motion by: Markunas

Seconded by: Jakubowski

The motion was unanimously approved by voice vote (7-0).

Approved October 12th, 2023

As Presented _____ As Amended _____

_____/s/ Nicole Schaeffer, Chair

_____/s/ Secretary

Project: Roma Sports – Building addition and outdoor sports fields
Meeting Type: Public Hearing
Requests: 2 Special Use Permits and 2 Variations
Location: 9115 Roma Court
Applicant: Steve Rotondi
Prop. Owner: Xpress Holdings, LLC
Representative: Steve Rotondi
Staff Reviewer: Christopher Gruba, Senior Planner

Site Details

Lot Sizes: 7.18 acres Lot 1, 1 acre each Lots 16-18
PIN(s): 19-09-34-202-025-0000, 19-09-34-202-010-0000, 19-09-34-202-009-0000, 19-09-34-202-008-0000
Existing Zoning: I-1 (all lots)
Proposed Zoning: N/A
Future Land Use: Business Park
Buildings: 1
Total Sq. Ft.: 50,140 SF existing, 70,940 SF proposed
Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Indoor Rec.	Business Park	I-1
North	Light Industrial/ Undeveloped	Business Park	I-1
South	Undeveloped	Business Park	A-1 (County)
East	Undeveloped	Business Park	A-1 (County)
West	Light Industrial	Business Park	I-2

Figure 1. Location Map



Project Summary

The applicant is proposing to construct a 20,800 square foot building addition onto the existing Roma Sports building to provide more indoor recreation space. The applicant is also proposing to combine Lot 1 (the largest lot containing the building) with Lots 16-18 on the north side of Roma Court. The number of existing soccer fields would be reduced from 5 to 2. Lastly, 104 parking spaces would be added to the existing parking lot, increasing the total number from 78 to 195. A PC/ZBA workshop on this project was held on August 24, 2023.

To achieve this, the project will require the following entitlements:

1. Special Use Permit for indoor recreation (building addition on Lot 1 of the new Roma 2 Subdivision)
2. Special Use Permit for outdoor recreation over 1 acre (Lot 1 of the new Roma 2 Subdivision)
3. Variation for 3 points of vehicle access to Roma Court, whereas 2 are permitted (Lot 1 of the new Roma 2 Subdivision)
4. Variation for 15.2' front landscape setback, whereas 20' is required (Lot 1 of the new Roma 2 Subdivision)
5. Plat of Resubdivision to combine Lot 1 of the Roma Subdivision with Lots 16-18 of the East Point Park Subdivision

Attachments

1. Aerial image (1:6,000 scale) – VOF GIS
2. Findings of Fact (Special Use Permit), applicant responses
3. Findings of Fact (Variation), applicant responses
4. Photographs of subject property
5. Photographs of other buildings within the East Point Park subdivision
6. Written permission from owner of 22442 Fey Drive to allow overflow parking
7. Written permission from Hickory Creek Middle School, allowing off-site shuttled parking at the Middle School
8. PC/ZBA meeting minutes excerpt of September 11, 2014 (review of original building)
9. Board meeting minutes excerpt of September 15, 2014 (approval of original Special Use Permits and variation)
10. PC/ZBA meeting minutes excerpt of August 24, 2023 (workshop meeting)
11. Original Subdivision Plat (formerly known as Harper Business Park, now East Point Park)
12. Preliminary Engineering Plans, received September 11, 2023
13. Plat of Survey, received September 11, 2023
14. Photometric Plan, received September 11, 2023
15. Geometric Plan, received October 5, 2023
16. Floor plan of building addition, received July 25, 2023
17. Landscape Plan, received September 13, 2023
18. Landscape Plan (color), received September 13, 2023
19. Truck Turning Plan (fire), received September 11, 2023
20. Truck Turning Plan (delivery), received September 11, 2023
21. Building Elevations, received August 16, 2023
22. Color rendering of building elevations illustrating the proposed addition and existing building
23. Plat of Resubdivision, received September 11, 2023

Main Changes since the workshop on August 24, 2023

1. Lot 1 of Roma Subdivision (containing the building) is now proposed to be combined with Lots 16-18 of the East Point Park Subdivision on the north side of Roma Court. Lots 16-18 are approximately 1 acre each. The result will be a single, Lot 1 of Roma 2 Subdivision, with an area of approximately 10.2 acres. This idea was discussed at the workshop meeting.
2. The parking lot was formerly increased from 78 spaces to 149 spaces (adding 71 spaces). The parking lot will now be increased from 78 to 195 spaces (adding 117 spaces). This was a recommendation of the PC/ZBA at the workshop meeting.
3. The workshop plans illustrated 3 outdoor soccer fields, which have now been reduced to 2 outdoor soccer fields.
4. By seeking a lot combination, the applicant is now required to plant street trees along Roma Court, at a rate of 1 street tree for every 35'. A total of 12 street trees have been added to the north side of Roma Court.
5. The applicant is proposing an 8' tall, black, vinyl coated chain link fence along the west and north sides of the current Lots 16-18. This fence would match the existing fence sections on Lot 1, which contains the building. The existing two sections of fencing on Lot 1 are located along the south property line east of the building and at the northeast corner of the property, presumably to contain errant soccer balls. 8' is the maximum height permitted in the I-1 zone district.
6. Two additional light poles were added to the extended parking lot.
7. A color rendering of the building with the building addition has been provided. This was a request at the workshop meeting.

Analysis (updated since the workshop)

Zoning

Lot 1 and Lots 16-18 are all zoned I-1, Limited Industrial. Upon a combination of all lots, the resulting lot would remain zoned I-1.

Site Design

1. The proposed building addition on the proposed *new* Lot 1 complies with the dimensional requirements for the I-1 zone district:

	Required	Proposed/Existing
Minimum Lot Size	1 acre	10.20 acres
Minimum Lot Width	100'	870' +/-
Front Setback (north)	50'	77.7'
Corner Side Setback (west)	20'	105' +/-
Side Setback (east)	20'	415' +/-
Rear Setback (south)	30'	30'
Building Height (of addition to peak)	35'	34' 8"
Lot Coverage	No Max	16%
Impervious Lot Coverage (Lot 1)	80%	38%

2. The applicant is proposing a parking lot expansion in conjunction with the building addition. As proposed, the parking lot would have three (3) points of vehicular access to Roma Court. The Zoning Ordinance only permits two points of vehicular access, requiring a variation (page 130). The applicant has noted that the existing facility can become very congested during tournaments and that three points of access are necessary to provide adequate exiting of patrons. The Public Works Department has reviewed the proposed plans and does not object to three points of access on Roma Court.
3. It does not appear that the plans for the original building included a dumpster or dumpster enclosure. A "floating" dumpster was observed by staff during a site inspection this spring. Per §50.01 of the Municipal Code, dumpsters must be contained within an enclosure made of materials that match the building. Although a detail of the proposed enclosure was not provided at the time of this report, the Geometric Plan notes that a new masonry (CMU) dumpster enclosure will be provided near the existing loading space. The enclosure would be between 5-6' tall and have an opaque wood gate. As proposed, the enclosure would comply with §50.01 of the Municipal Code.
4. No retaining walls are proposed.
5. The Fire District has reviewed the proposed site plan and does not have any additional comments currently.
6. A 7' wide concrete pedestrian sidewalk is proposed along the north and east sides of the proposed building addition.

Floorplan

1. The 20,800 square foot building addition would provide area for 4 additional sports courts, each measuring 60'x30'. The addition would also include a 2,232 square foot storage room, with a mezzanine above it of the same size, also used for storage.
2. There will be no bleacher-type seating provided within the building addition, per the proposed floorplan.
3. There will be no indoor food concessions inside the new building addition.

Parking & Loading

1. Indoor recreation facilities require *"1 parking space for every 4 patrons based upon the maximum occupancy of the facility, plus 1 parking space for each employee during the largest working shift"*. The

Geometric Plan (Sheet C-2) notes that the entire building after the addition would provide a maximum occupancy of 495 patrons. The applicant also noted that there may be up to 3 employees during the largest working shift. As such, the indoor recreation use would require a total of 127 parking spaces.

2. Outdoor recreation facilities require “1 parking space for every 10,000 square feet of gross land area”. After the proposed building addition and parking lot expansion, two soccer fields of different sizes would be reconfigured on the new Lot 1 of Roma 2 Subdivision. The combined area of the three soccer fields is 70,200 square feet, requiring 8 parking spaces.
3. With both indoor and outdoor uses combined, a total of 135 parking spaces would be required per Code (127 + 8). The site plan illustrates a total of 182 parking spaces, including 9 ADA-accessible spaces, exceeding this requirement.
4. The Zoning Ordinance requires a minimum drive aisle width of 19’ when serving two rows of 60° angle parking. The drive aisle within the parking lot is 23.5’ wide, meeting this requirement. The existing drive aisle in front of the existing building is also 23.5’ wide.
5. The Zoning Ordinance requires at least 1 loading space, measuring 12’ x 50’. The original approved plans for Roma Sports included one 14’x61’ loading area near the southwest corner of the building. This loading area is currently blocked by several new parking stalls that were painted after the building was built. Staff has requested that these parking spaces be removed in order to provide access to the loading space in perpetuity (by restriping the parking lot). The Geometric Plan (Sheet C-2) notes that these parking spaces will be removed to provide access to the loading space.
6. Concrete curbs are required for all paved areas and have been provided.

Architectural Style and Building Materials

1. The Zoning Ordinance lists regulations for new construction within the I-1 zone district:
 - a) *Exterior walls shall be of face brick, architectural steel and aluminum, stone, glass, exposed aggregate panels, textured or architecturally finished concrete, steel, or wood. Equivalent or better materials, or any combination of the above, may be used in a well-conceived or creative application.*
 - b) *Common brick and concrete block are prohibited as exterior building materials.*
 - c) *Split face block is only permitted on front and side facades where architectural features (such as columns, horizontal bands, etc.) are incorporated into said façades.*
 - d) *Corrugated metal or pre-engineered metals installed with exposed fasteners are only permitted on front facades if 50% of said front façade is masonry, and are only permitted on side facades where architectural features (such as columns, horizontal bands, etc.) are incorporated into said side façades.*
2. The proposed building addition is intended to exactly match the existing building in terms of architecture and materials, with the exception that the addition will not be as tall as the existing portion.
3. The building addition would have two new rooftop mechanical units, measuring approximately 15’x20’. The proposed gabled roof does not have any parapets and as such, these new units would be screened

behind metal screenwalls as tall as the units. The screenwalls would be made of the same metal material as the building and painted to match. No ground-mounted mechanical units are proposed.

4. There are three (3) other existing buildings in the East Point Park subdivision, with a fourth in the process of being constructed. The HB Fuller building to the north is primarily constructed of split face CMU block and corrugated metal. The other buildings for Architectural Grilles & Sunshades, Inc. and Southwest Town Mechanical (HVAC) include construction materials such as split face CMU block, corrugated metal, brick and decorative window louvers. Photographs of these buildings have been included with the staff report.

Stormwater & Drainage

1. Robinson Engineering has performed a preliminary review and has indicated that the subdivision has been pre-engineered for drainage. There are existing storm sewers that collect water from all sides of Lot 1 and direct it to existing detention ponds within the subdivision.
2. There are no wetlands or floodplains on the subject property.

Landscaping

The proposed Landscape Plan complies with all the requirements listed in the Landscape Ordinance, including for street trees and parking lot landscaping. However, the Zoning Ordinance requires a 20' wide landscape setback along the front property line along Roma Court (page 127). The existing parking lot is set back 15.2' from the front property line and is considered existing, non-conforming. It's unclear how a deficient landscape setback was originally permitted for Lot 1, as no variation records were located by staff, nor was the property developed as a PUD. Regardless, the expansion of the parking lot along Roma Court, set back 15.2' from the front property line, will require a variation.

Lighting

A photometric plan has been provided by the applicant. The site will be illuminated with 4 new light poles and 7 new building-mounted wall pack lights. The proposed lighting complies with the requirements listed in the Zoning Ordinance.

Special Use Request

The following findings of fact are used to judge the merit of a special use permit request. The applicant has provided responses to these findings of fact in a separate attachment.

Findings of Fact:

No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Variation Requests

The following findings of fact are used to judge the merit of a variation request. The applicant has provided responses to these findings of fact in a separate attachment.

Findings of Fact:

No variation shall be recommended by the Plan Commission, unless such Commission shall find that all three of the following criteria are met:

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
2. That the plight of the owner is due to unique circumstances; and
3. That the variation, if granted, will not alter the essential character of the locality.

In addition to the above 3 required criteria, the Plan Commission shall also take into consideration the following 7 criteria:

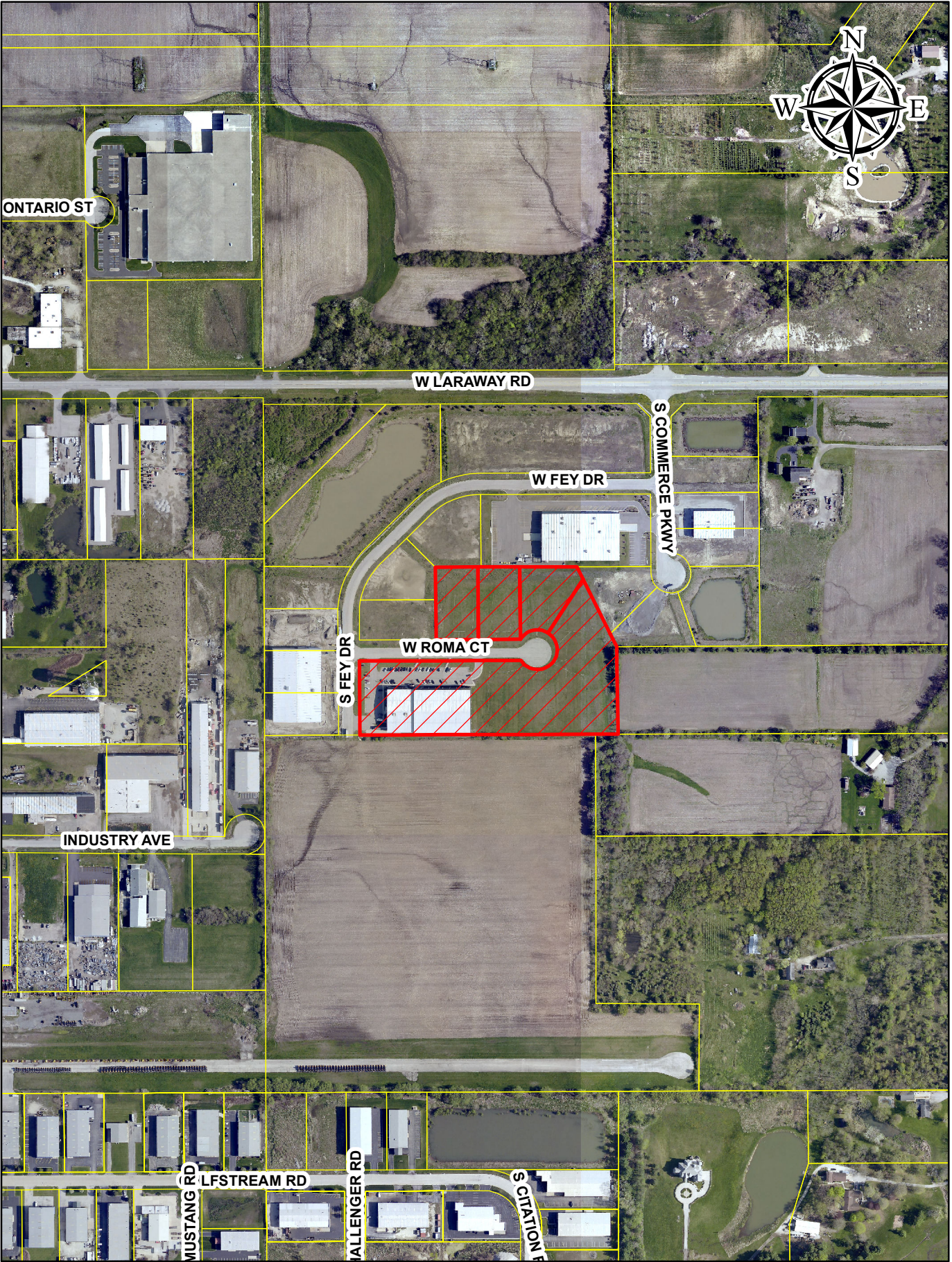
1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

Affirmative Motions

1. Recommend to the Village Board to approve the Special Use Permit for indoor recreation on Lot 1 of the Roma 2 Resubdivision to include the building addition, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
2. Recommend to the Village Board to approve the Special Use Permit for outdoor recreation greater than 1 acre on Lot 1 of the Roma 2 Resubdivision for the outdoor playing fields, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
3. Recommend to the Village Board to approve the Variation to permit at 15.2' front landscape setback whereas 20' is required per Article 6, Section C, Part 1, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
4. Recommend to the Village Board to approve the Variation to permit three points of vehicular access to Roma Court, whereas a maximum of two are permitted per Article 6, Section C, Part 2 (n)(3), in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
5. Recommend approval of a Plat of Resubdivision to consolidate Lot 1 of Roma Resubdivision with Lots 16-18 of East Point Park Subdivision, to create a single Lot 1 of Roma 2 Resubdivision, subject to staff approval of any technical revisions prior to recording.

9115 Roma Court - Building Addition & Outdoor Recreation





Application for Plan Commission / Zoning Board of Appeals Review
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.



Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

The variances being requested for this site pertain to decreasing a landscape setback to 15.2' as well as the request for 3 points of access to Roma Court. Both of these variances allow for better traffic circulation (as it relates to patrons) through the parking lot for the existing and new building addition.

2. That the plight of the owner is due to unique circumstances; and

Existing surrounding conditions are being met, and traffic patterns throughout the existing site have been looked at to determine the safest and most appropriate circulation for patrons.

3. That the variation, if granted, will not alter the essential character of the locality.

The variation is for a slight decrease in a landscaped area as well as for an increase in the number of access points allowed. These variations do not affect the character of the locality and instead enhance what is already existing.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

Existing surrounding conditions are being met, and traffic patterns throughout the existing site have been looked at to determine the safest and most appropriate circulation for patrons. Following the strict letter of the regulations would result in fewer available parking spaces as well as fewer points of entry/exit, which could cause congestion and potential for unsafe conditions out in front of the existing and proposed buildings.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

The conditions upon which the petitions for variation are based are specific to the use of the existing and proposed buildings in this development.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

The purpose of the variations being requested are based on providing better traffic circulation throughout the site, which relates to safety more than anything else.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

The landscape setback that is being requested is in order to match what was previously approved by the Village such that the new and existing parking areas will line up. The request for an additional point of access relates to the creation of an additional parking lot east of the new building addition.

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

The granting of the variation will not be detrimental to the public welfare, but instead will be beneficial to patrons by providing safe traffic circulation throughout the site.

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

The variances being requested do not affect the exterior architectural appeal and functional plan in any way.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

The proposed variations only affect the parking areas of the site, therefore, none of the items mentioned above will be impaired in any way. The variances are being requested in order to stay in line with, as well as improve the existing conditions at the site and the surrounding industrial park.





ADJACENT BUILDING, HB FULLER - 9001 W. FEY (LOTS 9-12)



ADJACENT BUILDING, HB FULLER - 9001 W. FEY (LOTS 9-12)



SOUTHWEST TOWN MECHANICAL - 22349 S. COMMERCE PARKWAY (LOTS 4 & 5)



ARCHITECTURAL GRILLES & SHADES, 22442 W. FEY (LOTS 26-38)





From: [Steve J Rotondi](#)
To: [Chris Gruber](#); [Robin Enfield](#); [Nick](#)
Subject: [Fwd: Parking..](#)
Date: Friday, August 25, 2023 3:17:43 PM
Attachments: [image001.png](#)

CAUTION: This e-mail originated outside of the Village's email system.
DO NOT click links or open attachments unless you confirm the incoming address of the sender and know the content is safe.

Here you go.

Your Lincoln-Way Community Sports Complex"

Steve J Rotondi



9115 Roma Ct, Frankfort, IL 60423

815.469.ROMA

www.RomaSportsClub.com

PLAY WITH PASSION!

Begin forwarded message:

From: John Trainor <john@agsshade.com>
Date: August 25, 2023 at 2:45:57 PM CDT
To: Steve J Rotondi <steve@romasportsclub.com>
Subject: RE: Parking..

Steve,

Based on hours of operation for ROMA – primarily nights and weekends, when AGS is not operating. Per your email below we have and plan on to continue to allow ROMA to periodically use our lot for overflow

John C. Trainor



www.agsshade.com
PH: 708.479.9458
22442 Fey Drive
Frankfort, IL 60423



From: Steve J Rotondi <steve@romasportsclub.com>
Sent: Friday, August 25, 2023 8:39 AM
To: John Trainor <john@agsshade.com>
Subject: Parking..

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Morning John,

I met with the Planning Commission last night about my expansion.

They wanted me to get something from you that shows we DO have an agreement in place to allow us to periodically use your lot in exchange for allowing your semi's to pull into our lot in order to back in properly to your docks..

Can you please respond to this so I can send to them?

Thanks so much.

Steve J Rotondi
President

Roma FC
Roma Sports Club

www.RomaSportsClub.com

815-469-ROMA

UVC Facilities Request

3 messages

Laura Sues <laurasues@ultimatevolleyball.com>
To: gdurocher@fsd157c.org

Tue, Feb 7, 2023 at 9:15 AM

Good Morning,
Attached you will find our facilities request for use of the HCMS parking lot.

We are a local volleyball club that runs out of Hallmark Sports Club. We have secured a shuttle company for transportation and are looking for an offsite parking lot to use on the following days.

2/11 2/12 2/18 2/19 2/25 2/26
3/4 3/5 3/11 3/12 3/18 3/19 3/26
4/15
5/13 5/20 5/21
6/3

We anticipate 50 cars would need to park offsite. Please let me know if you need anything additional from us.

Thank you!

las

Laura A Sues
Girls Director
Ultimate Volleyball Club
laurasues@ultimatevolleyball.com

3 attachments



UVC COI.jpg
337K



UVC Waiver.pdf
518K



UVC Facilities Request.pdf
870K

Gail Durocher <GDurocher@fsd157c.org>
To: Laura Sues <laurasues@ultimatevolleyball.com>
Cc: Tricia Dotson <TDotson@fsd157c.org>

Wed, Feb 8, 2023 at 1:20 PM

Good Afternoon,

Your request for use of the parking lot at HCMS has been approved. Please see the attachment for the dates the parking lot will be unavailable and well as a note regarding snow removal.

Please feel free to call me if you have any questions.

Gail

Gail Durocher
Administrative Assistant
Hickory Creek Middle School
815-806-3704

This e-mail, and any attachments thereto, is intended only for use by the addressee(s) named herein and may contain legally privileged and/or confidential information. If you are not the intended recipient of this e-mail (or the person responsible for delivering this document to the intended recipient), you are hereby notified that any dissemination, distribution, printing or copying of this e-mail, and any attachments thereto, is strictly prohibited. If you have received this e-mail in error, please respond to the individual sending the message and permanently delete the original and any copy of any e-mail and any printout thereof.

From: Laura Sues <laurasues@ultimatevolleyball.com>
Sent: Tuesday, February 7, 2023 9:15 AM
To: Gail Durocher <GDurocher@fsd157c.org>
Subject: UVC Facilities Request

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

[Quoted text hidden]



Ultimate Volleyball Club 2023 Approved #1.pdf
258K

Laura Sues <laurasues@ultimatevolleyball.com>
To: Gail Durocher <GDurocher@fsd157c.org>
Cc: Tricia Dotson <TDotson@fsd157c.org>

Wed, Feb 8, 2023 at 4:06 PM

You two have been very helpful- Thank you SO MUCH!

las

Laura A Sues
Girls Director
Ultimate Volleyball Club
laurasues@ultimatevolleyball.com

[Quoted text hidden]



MINUTES
REGULAR MEETING OF VILLAGE OF FRANKFORT
PLAN COMMISSION / ZONING BOARD OF APPEALS
SEPTEMBER 11, 2014 – FRANKFORT POLICE STATION
20602 LINCOLN-WAY LANE

Call to Order

Chair Don Schwarz called the meeting to order at 6:30 P.M.

Commissioners Present: Bob Beeson, Dave Schumpp, Alicia Hanlon, Neil Nunamaker, Jim Matlock, and Don Schwarz

Commissioners Absent: Sue Anstett

Staff Present: Assistant Director of Development Services Zach Brown and Development Services Intern Austin Folan

Elected Officials Present: Liaison to the Village Board, Trustee Mike Stevens

A. Approval of Minutes from August 14, 2014

Motion (#1): Approve the minutes from August 14, 2014 as presented.

Motion by: Matlock Seconded by: Hanlon
Approved (6 to 0)

B. Public Hearing – Roma Sports Club Special Use

Request: Special use permits for indoor and outdoor recreation and a building height variance from 35 ft. to 42 ft. to accommodate the construction and operation of Roma Sports Club on lots 20-25 in the East Point Industrial Park. Other request: Final Plat Approval.

Chair Schwarz swore in all intending to testify.

Assistant Director Brown presented the staff report and provided an overview of the request. Mr. Brown noted that at the time of the report there were several issues outstanding however staff had since continued to work with the applicant to ensure all outstanding items were addressed. The applicants were present and offered no additional comments.

Motion (#2): Close the public hearing.

Motion by: Schumpp Seconded by: Matlock
Approved (5 to 0)

During the Plan Commission Discussion:

- Commissioners questioned the need for the increased building height. Mr. Rotondi noted that the increased height was necessary to accommodate baseball and volleyball use;
- Staff confirmed that site plan E was the correct site plan;
- Members questioned previous height variances in industrial areas. Staff noted that they were not aware of any recent height variances for industrial buildings;
- Commissioner Hanlon questioned if allowing the outdoor fields would impact the land use rights of the adjacent properties. Staff confirmed that there would be no impact or restriction of land uses were the outdoor fields approved;
- Members discussed the proposed use and whether or not sidewalks should be installed on the north or south side of Mark Court. The applicant noted that private sidewalks were proposed along the north side of the building that would provide pedestrian access from the parking lot to the outdoor fields. Commissioners agreed that the public sidewalks should be deferred to the north side of the road;
- Commissioners discussed the encroachment of the proposed fields into the required setbacks and determined that the impacts were negligible given the additional green space provided within the right of way;
- Member Matlock requested that the applicant not store any hazardous materials in the building;
- The applicant agreed to work with staff to revise the photometric and landscape plans to meet ordinance requirements and was amenable to adding conditions to that effect;
- Commissioners questioned if a safety barrier was necessary within the cul-de-sac to protect patrons from vehicles. The developer Jeff Graefen was present and noted that increased curb heights are provided in industrial areas and that they were adequate stop most vehicles. Commissioners agreed that additional barriers were unnecessary;
- Member Schwarz noted that he was encouraged to see development happening within the subdivision however expressed concern regarding the number of outstanding issues. Member Schwarz requested that the applicant work with staff to address the outstanding conditions prior to proceeding to Village Board for approval;
- Chair Schwarz reviewed the recommended conditions with the applicant. After discussion Commissioners requested that staffs recommended condition pertaining to construction of additional parking facilities should they become necessary be removed noting that such a condition would be challenging to enforce and that the provided parking was consistent with the minimum standards established by the Zoning Ordinance;
- Staff noted that a plat of subdivision was not provided and as such the plat would be brought back to the Commission at a future meeting for consideration;

Motion (#3): Recommend the Village Board approve a special use for indoor recreation and entertainment to permit the operation of Roma Sports Club, in accordance with the reviewed plans and public testimony and conditioned upon staff approval of a revised landscape plan, staff approval of a revised photometric plan, no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours, and final engineering approval.

Motion by: Nunamaker Seconded by: Beeson
Approved (5 to 0)

Motion (#4): Recommend the Village Board approve a special use for outdoor recreation and entertainment to permit the operation of Roma Sports Club, in accordance with the reviewed plans and public testimony and conditioned upon staff approval of a revised landscape plan, staff approval of a revised photometric plan, no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours, and final engineering approval.

Motion by: Matlock Seconded by: Beeson
Approved (5 to 0)

Motion (#5): Recommend the Village Board approve a height variance from 35' to 42' operation of Roma Sports Club, in accordance with the reviewed plans and public testimony and conditioned upon staff approval of a revised landscape plan, staff approval of a revised photometric plan, no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours, and final engineering approval.

Motion by: Schumpp Seconded by: Matlock
Approved (5 to 0)

C. Committee Update – Trustee Stevens reviewed topics discussed at committee meetings the previous night.

D. Village Board Update - Trustee Stevens summarized action taken by the Village Board at their prior meetings.

E. Other Business – **Assistant** Director Brown noted that a building permit was under review for the property located at 28 Kansas Street and discussed items that will be considered at the September 25th Plan Commission meeting.

F. Attendance Confirmation – Member Nunamaker noted he would not be available to attend the August 28 meeting.

Motion (#6): Adjournment (7:35)

Motion by: Beeson Seconded by: Hanlon
Unanimously approved by voice vote.

grant to Don and Victoria Melton, business owners of the Build-A-Bun restaurant, for retail space improvements made to the property located at 6 Elwood Street within the Grainery building.

E. Economic Development/1890's Committee Report

1. Escrow Agreement Approval: 28 W. Kansas Street Property – Resolution
Adopt A RESOLUTION (NO. 14-34) AUTHORIZING EXECUTION OF AN ESCROW AGREEMENT BETWEEN THE VILLAGE OF FRANKFORT, 28 KANSAS LLC, AND CNB BANK & TRUST, N.A., REGARDING THE 28 W. KANSAS STREET PROPERTY, in the amount of \$220,000 in incentive funding for the re-development of the 28 W. Kansas Street property.

F. Plan Commission Report Summary

1. **Roma Sports Club:** Lots 20-25 East Point Industrial Park – Ordinances
 - a. Special Use Permits for Indoor and Outdoor Recreation
Accept the Plan Commission recommendation, waive the First and Second Readings, and adopt AN ORDINANCE (NO. 2941) GRANTING SPECIAL USE PERMITS FOR INDOOR AND OUTDOOR RECREATION TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (ROMA SPORTS CLUB – 9125 MARK COURT, EAST POINT INDUSTRIAL PARK), to accommodate construction of a new 50,000 sq. ft. building and relocation of Roma Sports Club/Xpress Solutions, in accordance with the reviewed plans and public testimony, conditioned upon staff approval of a revised landscape plan; staff approval of a revised photometric plan; no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours; and final engineering approval.
 - b. Building Height Variance
Accept the Plan Commission recommendation, waive the First and Second Readings, and adopt AN ORDINANCE (NO. 2942) GRANTING A BUILDING HEIGHT VARIANCE TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (ROMA SPORTS CLUB – 9125 MARK COURT, EAST POINT INDUSTRIAL PARK), granting a height variance from the 35-foot requirement to 42 feet to the property located at 9125 Mark Court within the East Point Industrial Park, in accordance with the reviewed plans and public testimony, conditioned upon staff approval of a revised landscape plan; staff approval of a revised photometric plan; no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours; and final engineering approval.

Trustee Trevarthan made a motion (#1), seconded by Trustee Kennedy, to approve the Unanimous Consent Agenda.

The applicant responded that due to the weight of the ball it most likely will not travel far out from the property, but if a fence was needed, he would have no problem putting a fence around the court.

Commissioner Knieriem said that he also had concerns about noise and that the subject property doesn't have much of a backyard compared to other lots in the subdivision. He said that the proposed pickleball court would take up most of the backyard and that the lot is not ideal for the sports court. Mr. Paluri said that the property is still under the 40% impervious lot coverage, and he wants to mow less grass.

Acting Chair Markunas said that the noise concern is valid. He was also concerned because the property to the north has not been developed yet for a house and that those future buyers would not have a voice in this decision. He noted that the proposed sports court may be too bulky. He said that since the property does abut Colorado Avenue, a fence would be a good idea. As proposed, he thought that it might be difficult to obtain final approval by the Board. He asked staff if a swimming pool in the same location would require a Variation or Special Use Permit. Chris Gruba said that a pool in the same location would not require either, as long as the 40% impervious lot coverage was not exceeded.

Commissioner Jakubowski stated that she is opposed to a wood cedar privacy fence and that a faux wrought iron fence would look nicer. Commissioner Hogan agreed and added that landscape screening should also be incorporated around the fence. Mr. Paluri said that he didn't want to install a privacy (opaque) fence anyway.

Acting Chair Markunas said that a 3D rendering would be helpful to visualize the sports court, when viewed from Colorado Avenue. He said he wasn't sure that a pool would generate more noise than pickleball, which has a unique sound. He asked the applicant if he had received clear direction from the Commission. Mr. Paluri replied yes.

C. Workshop: 9115 Roma Court – Roma Sports Building Addition and Outdoor Recreation

Christopher Gruba presented the staff report and noted an error on the agenda about the number of requests for this project. The agenda noted 5 Special Use Permits and 2 Variations, there are only 4 Special Use Permits and 2 Variations.

Acting Chair Markunas asked if the applicant would like to approach the podium and add additional information to the staff report that was presented.

The applicant, Steve Rotondi responded that he does not have anything to add to what was said in the staff report.

Acting Chair Markunas asked staff if the 3 Special Use Permits for outdoor recreation for Lots 17, 18, 19 are retroactive requests.

Christopher Gruba responded yes, a soccer field was put in place that straddles Lots 16, 17, and 18 and had not received Special Use Permits for outdoor recreation. The proposed Special Use Permit for these lots would retroactively approve the soccer field use.

The applicant added that he owns the 3 vacant lots that have nothing permanent on them and that the lots had received a previous approval. He stated that is why he bought the 3 additional lots across the street and would like to use them as additional soccer fields because it should not be an issue to put more fields next to existing fields.

Acting Chair Markunas asked staff if the applicant came in requesting approval for the 3 existing soccer fields.

Christopher Gruba responded that the applicant may have obtained building permits for an irrigation system for the soccer field north of the Roma Court facility.

Commissioner Knieriem asked if the four courts proposed inside the building addition would be used for volleyball. Mr. Rotondi replied yes. Commissioner Knieriem said that if each volleyball team has 12 people, that would result in an increase of 96 players that could be there on a weekend for volleyball tournaments. He stated there could be an overlapping of cars on tournament weekends.

The applicant responded that there are around 5 or 6 weekends that hold substantial events. He stated that on tournament weekends, approximately 50 cars park on the street, the adjacent company to the west allows his customers to park in their parking lot, and there are bus shuttle services provided.

Commissioner Knieriem stated he has a concern with children running in the streets due to the lack of sidewalks.

Commissioner Knieriem asked if the applicant understands that there is a risk of liability by using the lots north of Roma Court as a soccer field even though they were not given formal approval for the use.

The applicant stated that he owns the land, he only put portable goals on the lots, and he has the players sign waivers. He added that residents enjoy going to the facility and there are frequent collaborations with the park district, so he wants to come into compliance to make it a great place.

Acting Chair Markunas added that he appreciated what the facility does for the community but what Commissioner Knieriem means is that Lots 16-18 need get into compliance to ensure safety.

The applicant stated if he was allowed to put fencing around the entire property, he would do so.

Acting Chair Markunas asked if extending parking to the east to add parking spaces to the parking lot could be an option to alleviate the parking concern.

The applicant responded that he would consider that option.

Commissioner James stated that there are comparable volleyball facilities that can be helpful for staff's analysis. He added that he would like to see any agreements the applicant has with others for parking.

Commissioner Hogan stated that he is a user of the facility and observed that there are many people who just drop their kid off instead of staying so there is a concern for the traffic flow to get in and out. He added that parents spend more time in northern Illinois because there are not many facilities around here, so he would like to help find a solution.

Commissioner Knieriem asked staff what business are permitted and not permitted on the property since it is in an industrial setting.

Christopher Gruba responded that the soccer fields on Lot 1 had received a Special Use Permit for outdoor recreation but that Lots 16-18 had not received such approval. He stated that the Special Use Permits for Lots 16-18 were discussed by the Plan Commission in 2018 and 2019.

Commissioner James asked if the request in 2019 received a vote.

Christopher Gruba responded that the public hearing request never received a vote and was tabled indefinitely.

The applicant's engineer, Robin Ersfeldt, approached the podium and explained that they chose to provide an exit in the middle of the parking lot because it would avoid users having to deal with traffic in the parking lot.

Commissioner Knieriem asked what the triangular empty lot is for on the site plan.

The applicant stated that it would be used for a 5-foot by 5-foot field for smaller children.

There was discussion about the applicant possibly losing a field to accommodate the Commissioners' suggestion to expand the parking lot to the east.

Commissioner Knieriem asked what fields exist indoors.

The applicant responded that there is a 31,000 square foot turf field that sometimes gets separated into two smaller fields. He stated that the turf field can also be used for baseball and batting cages and that the upstairs has basketball courts and volleyball courts.

Christopher Gruba asked the applicant if he had a desire to combine all of the lots.

The applicant responded that yes, he would like to combine the lots.

There was discussion about ways to prevent balls from running off the property.

Commissioner James requested renderings to help visualize the project especially to prove why it could fit in an industrial setting.

Commissioner Jakubowski stated there is a need to implement fencing around the property since there have been accidents that have happened in Frankfort where a car goes over the curb.

The applicant asked if he is only allowed to put portable material in the front yard.

Commissioner Jakubowski responded it should be a permanent feature even if not necessarily a fence.

Commissioner James asked what the height of the building and the building addition was and echoed the need for a rendering to see how the building would look from different angles.

Robin Ersfeldt added that by expanding the proposed parking lot, the applicant would be alleviating the parking concern that Commissioners have since the parking lot would be able to accommodate the cars that currently park on the street.

Christopher Gruba asked the applicant to show the off-street parking spaces on Roma Court on the site plan the next time it is submitted.

Robin Ersfeldt responded that she will mark the on-street parking spaces.

Acting Chair Markunas asked the applicant if he had received adequate direction.

Steve Rotondi replied yes.

D. Workshop: 655 Center Road – King Heating & Cooling

Amanda Martinez presented the staff report. The applicant is proposing a building addition to the existing building.

Grant Currier, the project architect and President of Linden Group, approached the podium. He said that there was a typo on the application and the site plan did not have the north setback labeled. The setback from the existing (and proposed) building to the north property line is 5.7', not 10.5'. He said that the building was constructed in 1971. He said the Village's Zoning Ordinance was revised in 2001, at which point the existing building became non-conforming in several aspects. He said that as a corner lot, it's difficult to meet the required 50' setback from both streets. He noted that the rooftop mechanical units would be screened. He said that the buildings on Ontario Street have varying styles and materials that include CMU, brick, board & batten, metal, etc. He said that he is proposing brick on the side of the addition facing Ontario Street, but that the east and north sides of the building would be split-face CMU block. The brick would be slightly wrapped around

RECEIVED

By Christopher Gruba at 12:08 pm, Sep 11, 2023

PRELIMINARY ENGINEERING PLANS FOR ROMA SPORTS CLUB

AT
9115 ROMA COURT
VILLAGE OF FRANKFORT
WILL COUNTY, ILLINOIS

INDEX

CIVIL ENGINEERING PLANS

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C-3	GRADING AND UTILITY PLAN							
C-4	PROJECT DETAILS							
C-5	PROJECT SPECIFICATIONS							

SUPPORTING DOCUMENTS

		REVISIONS						
		1	2	3	4	5	6	7
1 of 1	PLAT OF SURVEY							
L-1	LANDSCAPE PLAN							
1 of 2	PHOTOMETRIC PLAN							
2 of 2	PHOTOMETRIC PLAN							

NOTE: THE DESIGNS CONTAINED IN THE ABOVE PLANS AND SUPPORTING DOCUMENTS WERE PREPARED WITH THE UNDERSTANDING THAT THEY WOULD BE USED AS A WHOLE PLAN SET. EACH CONSTRUCTION DISCIPLINE IS TO USE ALL THE PLANS AND SUPPORTING DOCUMENTS TOGETHER AS A WHOLE AND NOT AS SEPARATE DOCUMENTS. EACH CONTRACTOR IS TO BECOME COMPLETELY FAMILIAR WITH THE WHOLE PLAN SET AND THE EXISTING SITE CONDITIONS. SHOULD ANYTHING WITH ALL THESE PLANS AND SUPPORTING DOCUMENTS BE INCONSISTENT WITH THE SITE CONDITIONS THEN THE CONTRACTOR IS TO CONTACT THE ENGINEER IMMEDIATELY BEFORE ANY CONSTRUCTION IS STARTED.

LOCATION MAP



SECTION: 34 TOWNSHIP: 35N RANGE: 12E

BENCHMARK

REFERENCE BENCHMARK

NAVD 88

VILLAGE OF FRANKFORT CONTROL MONUMENT STATION NAME 934 LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION AT CENTER ROAD AND STEGER ROAD. TOP OF IRON ROD IN PVC PIPE.
ELEVATION = 785.26

SITE BENCHMARKS

1. TOP OF CUT CROSS IN CURB AT EXISTING FIRE HYDRANT LOCATED ON SOUTH SIDE OF ROMA COURT APPROXIMATELY 230 FEET EAST OF HANNAH DRIVE. ELEVATION = 758.76
2. TOP OF ARROW BOLD AT EXISTING FIRE HYDRANT LOCATED ON SOUTH SIDE OF ROMA COURT APPROXIMATELY 486 FEET EAST OF HANNAH DRIVE. ELEVATION = 762.89

LEGEND

DESCRIPTION	PROPOSED	DESCRIPTION	PROPOSED
CATCH BASIN		DEPRESSED CURB	
INLET		CONTOUR LINE	
STORM MANHOLE		FINISHED FLOOR ELEVATION	
SANITARY MANHOLE		PAVEMENT ELEVATION	
VALVE VAULT		MATCH EXISTING ELEVATION	
FIRE HYDRANT		GROUND ELEVATION	
FLARED END SECTION		TOP OF WALK ELEVATION	
OVERHEAD ELECTRIC WIRES		TOP OF RETAINING WALL ELEVATION	
TRANSFORMER PAD		FLOW LINE ELEVATION	
TELEPHONE PEDESTAL		TOP OF CURB ELEVATION	
TELEPHONE MANHOLE		RIM ELEVATION	
CABLE TELEVISION PEDESTAL		DOWNSPOUT LOCATION	
COMMONWEALTH EDISON MANHOLE		PERVIOUS AREA SLOPE DIRECTION	
B/BOX		PAVEMENT SLOPE DIRECTION	
LIGHT POLE		OVERLAND OVERFLOW DIRECTION	
SIGN		INLET PROTECTION	
BOLLARD POLE		INLET BASKET FILTER	
WATER MAIN		WOOD FENCE	
GAS MAIN		CHAIN LINK FENCE	
ELECTRIC LINE		METAL GUARDRAIL	
TELEPHONE LINE		CONCRETE SURFACE	
CABLE TV LINE			
SANITARY SEWER			
STORM SEWER			
GUY POLE			

EXISTING	
☆	EXIST. LIGHT POLE
⊙	EXIST. SANITARY MANHOLE
⊕	EXIST. FIRE HYDRANT
⊖	EXIST. POWER POLE
⊗	EXIST. MANHOLE
⊕	EXIST. STORM SEWER INLET
⊕	EXIST. WATER VALVE & VAULT
⊕	EXIST. WATER VALVE
—	EXIST. WATER LINE
—	EXIST. STORM SEWER LINE
—	EXIST. SAN SEWER LINE
—	EXIST. CURB & GUTTER
—	EXIST. BARRIER CURB
—	EXIST. FENCE LINE
⊕	EXIST. UTILITY PEDESTAL
—	EXIST. STEEL GUARD RAIL
⊕	DECIDUOUS TREE

STATE OF ILLINOIS)
COUNTY OF KANE)

I, JEFFREY C. MILLER, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE CIVIL ENGINEERING PLANS, NOT THE SUPPORTING DOCUMENTS, AS LISTED IN THE INDEX, HAVE BEEN PREPARED BY WATERMARK ENGINEERING RESOURCES, LTD. UNDER MY PERSONAL DIRECTION. THESE PLANS ARE INTENDED TO BE USED AS AN INTEGRAL PART OF THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATE:

ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 62-045858.
MY LICENSE EXPIRES ON 11-30-23.

UNLESS THIS DOCUMENT BEARS ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE DESIGN ENGINEER, IT IS NOT A VALID DOCUMENT.

ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.002989

COVER SHEET

XPRESS HOLDINGS, LLC.
9115 Roma Court
Frankfort, IL 60423
ROMA SPORTS COMPLEX
9115 Roma Court
Frankfort, Illinois 60423

Prepared By:

Watermark Engineering Resources
watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

CHECKED BY: J. MILLER
DESIGN BY: R. ERSFELDT
DRAWN BY: R. ERSFELDT
DATE: JULY 18, 2023
SCALE: NONE
PROJECT NO.: 23-017

C-1

COVER SHEET

REFERENCE BENCHMARK
NAVD 88

VILLAGE OF FRANKFORT CONTROL MONUMENT STATION NAME
934 LOCATED AT THE NORTHEAST CORNER OF THE
INTERSECTION AT CENTER ROAD AND STEGER ROAD. TOP OF
IRON ROD IN PVC PIPE. ELEVATION = 785.26

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GRADING AND UTILITY PLAN NOTES:

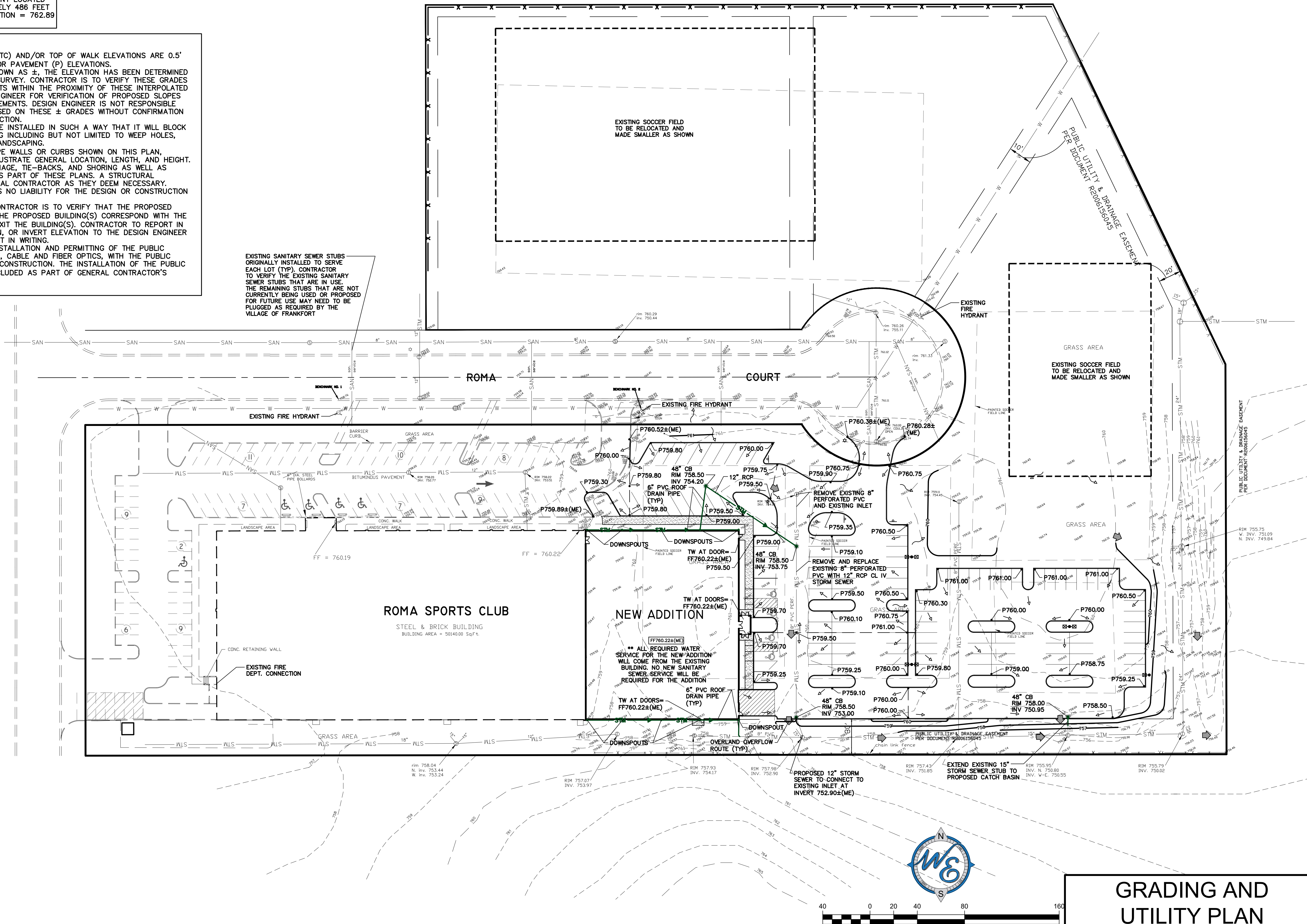
1. UNLESS OTHERWISE SPECIFIED, TOP OF CURB (TC) AND/OR TOP OF WALK ELEVATIONS ARE 0.5'
HIGHER THAN THE ADJACENT FLOW LINE (FL) OR PAVEMENT (P) ELEVATIONS.
2. IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS ±, THE ELEVATION HAS BEEN DETERMINED
BASED ON INTERPOLATED GRADES FROM THE SURVEY. CONTRACTOR IS TO VERIFY THESE GRADES
PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED
GRADES AND REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES
PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE
FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE ± GRADES WITHOUT CONFIRMATION
OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.
3. PAVING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK
THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO WEEP HOLES,
WICKS, DRAINAGE SCUPPERS OR PIPES, AND LANDSCAPING.
4. ALL RETAINING AND/OR DECORATIVE LANDSCAPE WALLS OR CURBS SHOWN ON THIS PLAN,
INCLUDING DETAILS AND SECTIONS, ARE TO ILLUSTRATE GENERAL LOCATION, LENGTH, AND HEIGHT.
STRUCTURAL DESIGN, INCLUDING PROPER DRAINAGE, TIE-BACKS, AND SHORING AS WELL AS
CONSTRUCTION MEANS ARE NOT ADDRESSED AS PART OF THESE PLANS. A STRUCTURAL
ENGINEER SHOULD BE ENGAGED BY THE GENERAL CONTRACTOR AS THEY DEEM NECESSARY.
WATERMARK ENGINEERING RESOURCES ASSUMES NO LIABILITY FOR THE DESIGN OR CONSTRUCTION
OF ANY STRUCTURAL ELEMENT.
5. PRIOR TO CONSTRUCTION OF ANY UTILITIES, CONTRACTOR IS TO VERIFY THAT THE PROPOSED
UTILITIES SHOWN ON THIS PLAN THAT ENTER THE PROPOSED BUILDING(S) CORRESPOND WITH THE
UTILITIES ON THE PLUMBING PLANS AS THEY EXIT THE BUILDING(S). CONTRACTOR TO REPORT IN
WRITING ANY DISCREPANCIES IN SIZE, LOCATION, OR INVERT ELEVATION TO THE DESIGN ENGINEER
IMMEDIATELY FOR RESOLUTION OF THE CONFLICT IN WRITING.
6. GENERAL CONTRACTOR TO COORDINATE THE INSTALLATION AND PERMITTING OF THE PUBLIC
UTILITIES, SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE AND FIBER OPTICS, WITH THE PUBLIC
UTILITY COMPANIES AND ARCHITECT PRIOR TO CONSTRUCTION. THE INSTALLATION OF THE PUBLIC
UTILITIES AND NECESSARY SLEEVEING TO BE INCLUDED AS PART OF GENERAL CONTRACTOR'S
SCOPE OF WORK FOR THIS PROJECT.

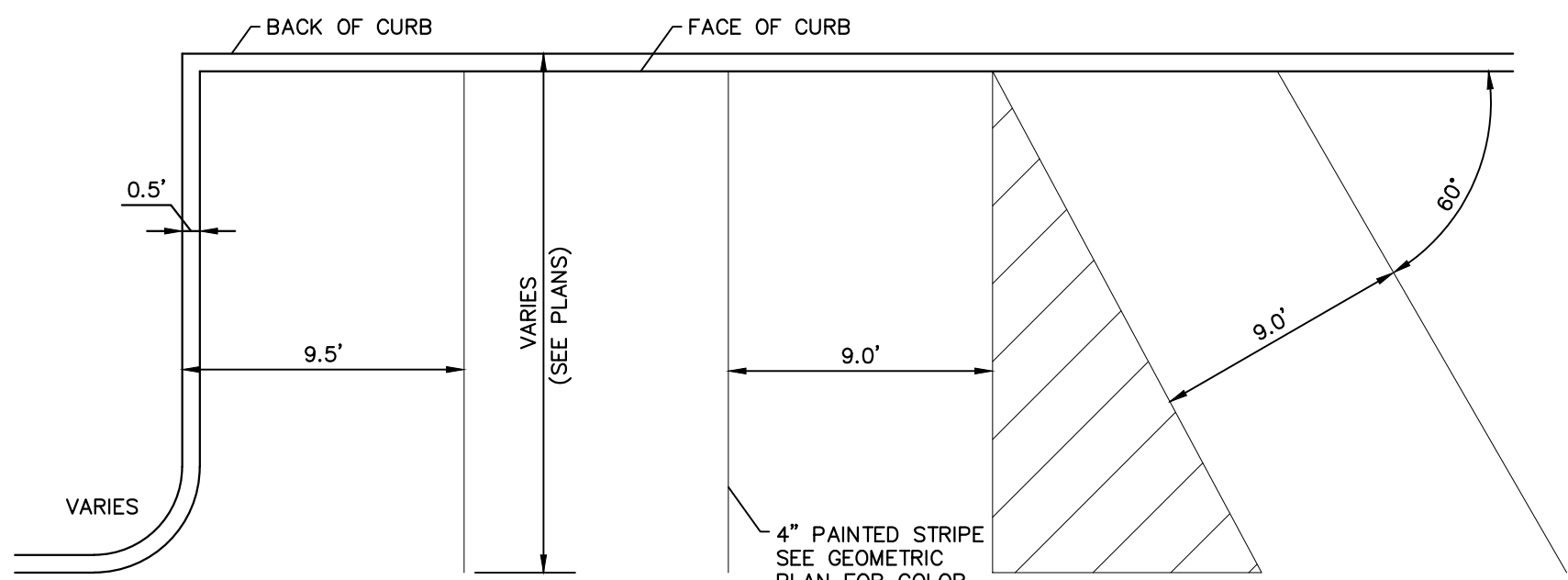
STORMWATER SUMMARY:

PER THE "ROMA SPORTS COMPLEX" CIVIL ENGINEERING PLANS PREPARED BY MCBRIDE
ENGINEERING, INC. DATED 2-5-15, THE DRAINAGE FOR THE AREA THAT IS NOW THE PROPOSED
BUILDING ADDITION AND PARKING LOT WAS ORIGINALLY DESIGNED TO DRAIN INTO THE EXISTING
PERFORATED PVC PIPES BETWEEN THE EXISTING SOCCER FIELDS AND EVENTUALLY TO THE
EXISTING 15" STORM SEWER THAT IS LOCATED IN THE DRAINAGE EASEMENT ALONG THE EAST
AND SOUTH SIDES OF THE SITE. THE EXISTING 15" STORM SEWER ULTIMATELY OUTLETS TO THE
EAST AND INTO AN EXISTING DETENTION FACILITY PROVIDED ON LOT 6 OF THE EAST POINT PARK
SUBDIVISION. THE PROPOSED PLANS FOR THE BUILDING ADDITION AND NEW PARKING LOT MEET
THE ORIGINAL DESIGN INTENT AS SHOWN.

GENERAL NOTES:

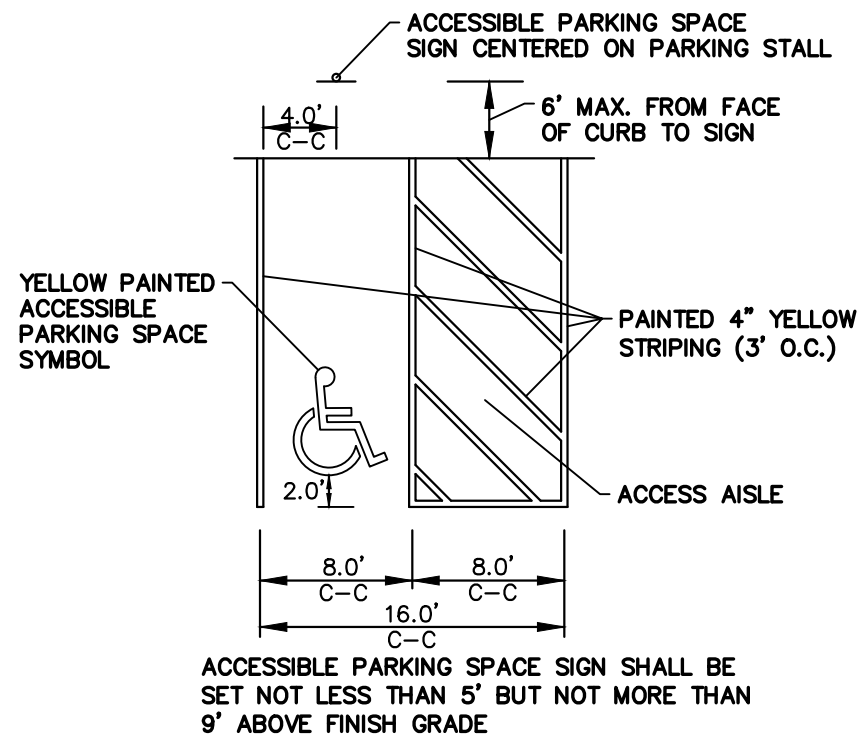
1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY
(SURVEY PROJECT #88839-23 DATED 06/14/23)
PREPARED BY: ASSOCIATED SURVEYING GROUP, LLC.
1 PALOS COURT, BOLINGBROOK, IL 60440
(630) 759-0205
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE
DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY
ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND
SPECIFICATIONS.



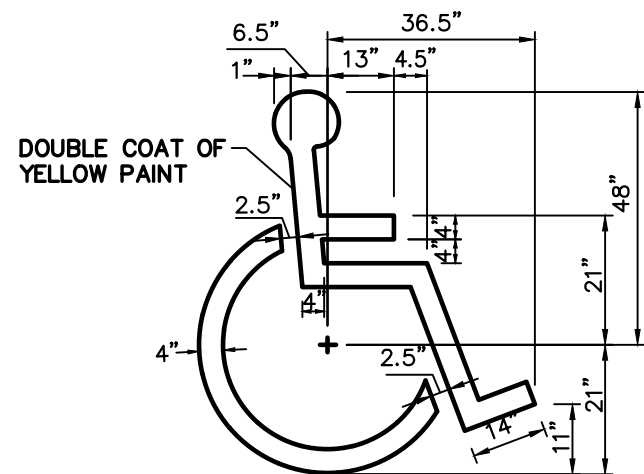


- NOTES:
1. PARKING STALLS ARE 9' APART, STARTING FROM FACE OF CURB TO PAINTED STRIPE.
 2. FACE OF CURB DIMENSION IS 6" FROM BACK OF CURB. THE EDGE OF PAVEMENT IS 12" FROM FACE OF CURB.

PARKING STALLS WITH BARRIER CURB (TYP.)

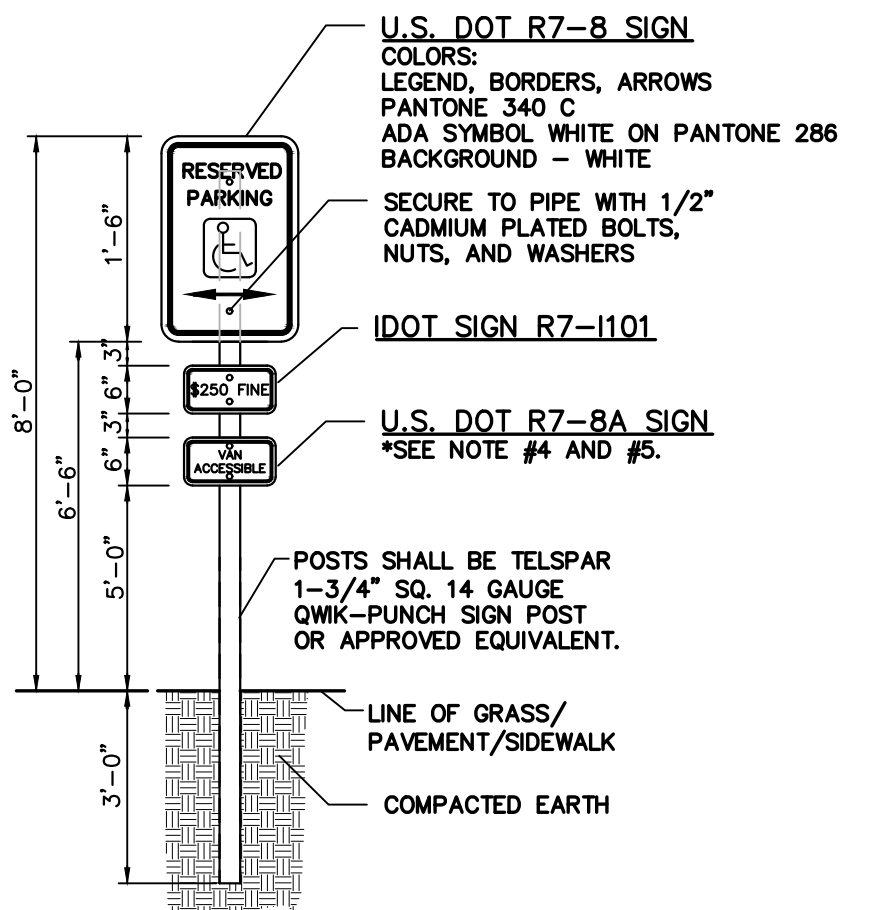


ACCESSIBLE PARKING SPACE DETAIL



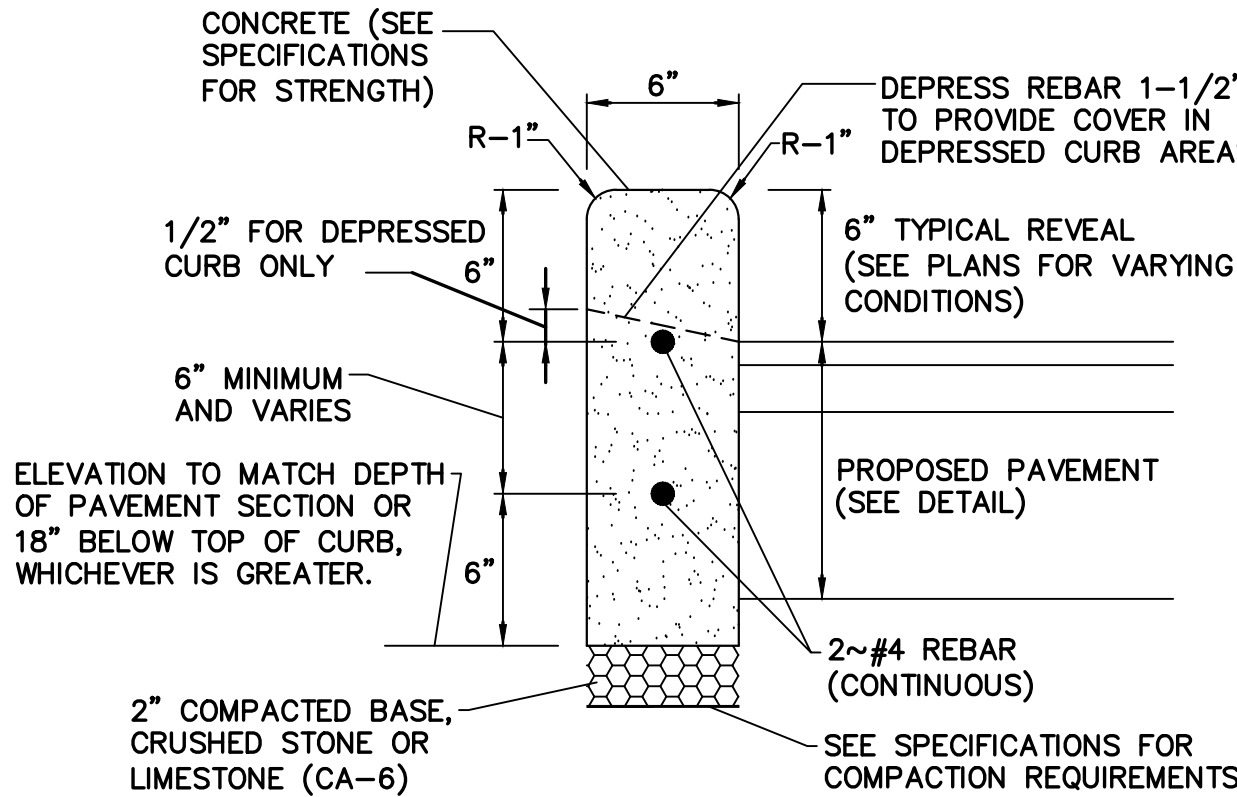
ACCESSIBLE PARKING SPACE SYMBOL

1. SYMBOL IS CENTERED ON WIDTH OF PARKING STALL AND 2' FROM THE END OF THE STALL.



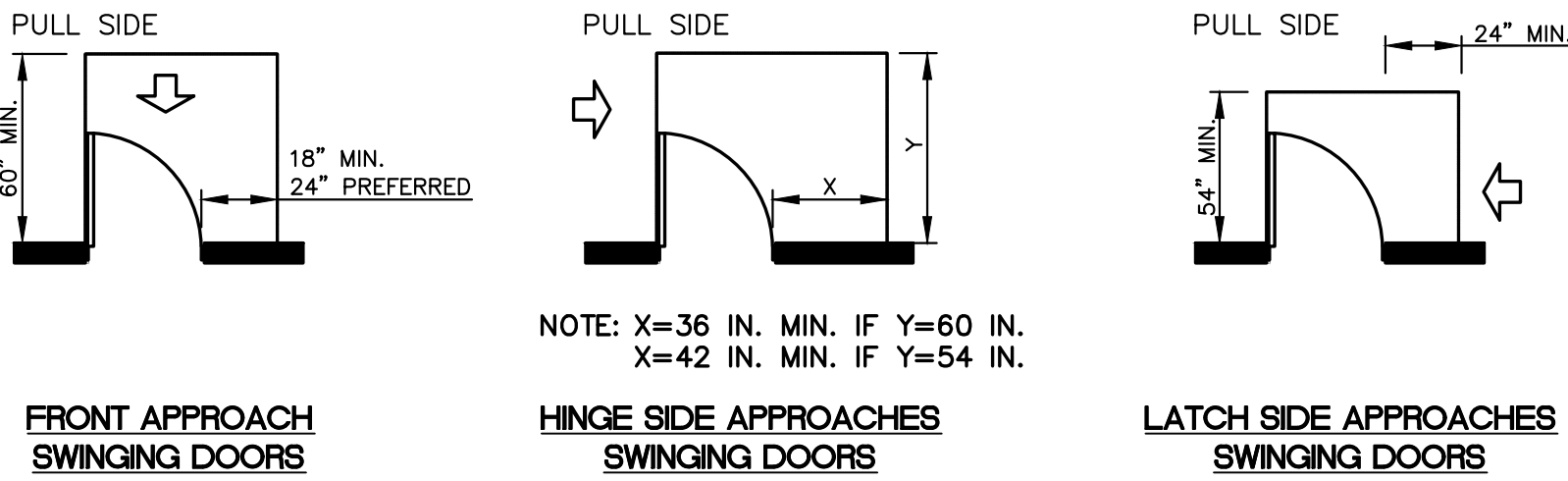
1. WHERE A FINE IN EXCESS OF \$250 IS ESTABLISHED BY A MUNICIPALITY BY ORDINANCE IN ACCORDANCE WITH THE STATUTES, THE ACTUAL AMOUNT OF THE FINE SHOULD BE SHOWN. THIS PLATE MAY BE MOUNTED DIRECTLY BELOW THE R7-8 SIGN OR COMBINED WITH THAT SIGN ON A SINGLE 12 INCH BY 24 INCH PANEL.
3. ON THE RESERVED PARKING SIGN, THE ARROW SHOULD BE OMITTED WHERE THERE IS ONLY ONE SPACE. THE ARROW MAY ALSO BE MADE TO POINT IN ONLY ONE DIRECTION. THE ARROW MAY ALSO BE REPLACED BY "TIME" SUCH AS 9 AM-5 PM WHERE A PART TIME RESTRICTION EXISTS.
4. ONE IN EVERY SIX ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE 8 FEET WIDE MINIMUM AND SHALL BE DESIGNATED "VAN ACCESSIBLE".
5. THE LOWEST BOTTOM EDGE OF THE LOWEST REQUIRED SIGN SHALL BE MOUNTED AT 60" ABOVE FINISHED GRADE.
6. COLORS FOR BOTH IDOT SIGN R7-1101 AND USDOT R7-8A, LEGEND, BORDERS AND ARROWS TO BE GREEN, NON-REFLECTORIZED (PANTONE 340C) BACKGROUND-WHITE REFLECTORIZED

ACCESSIBLE PARKING SPACE SIGN DETAIL

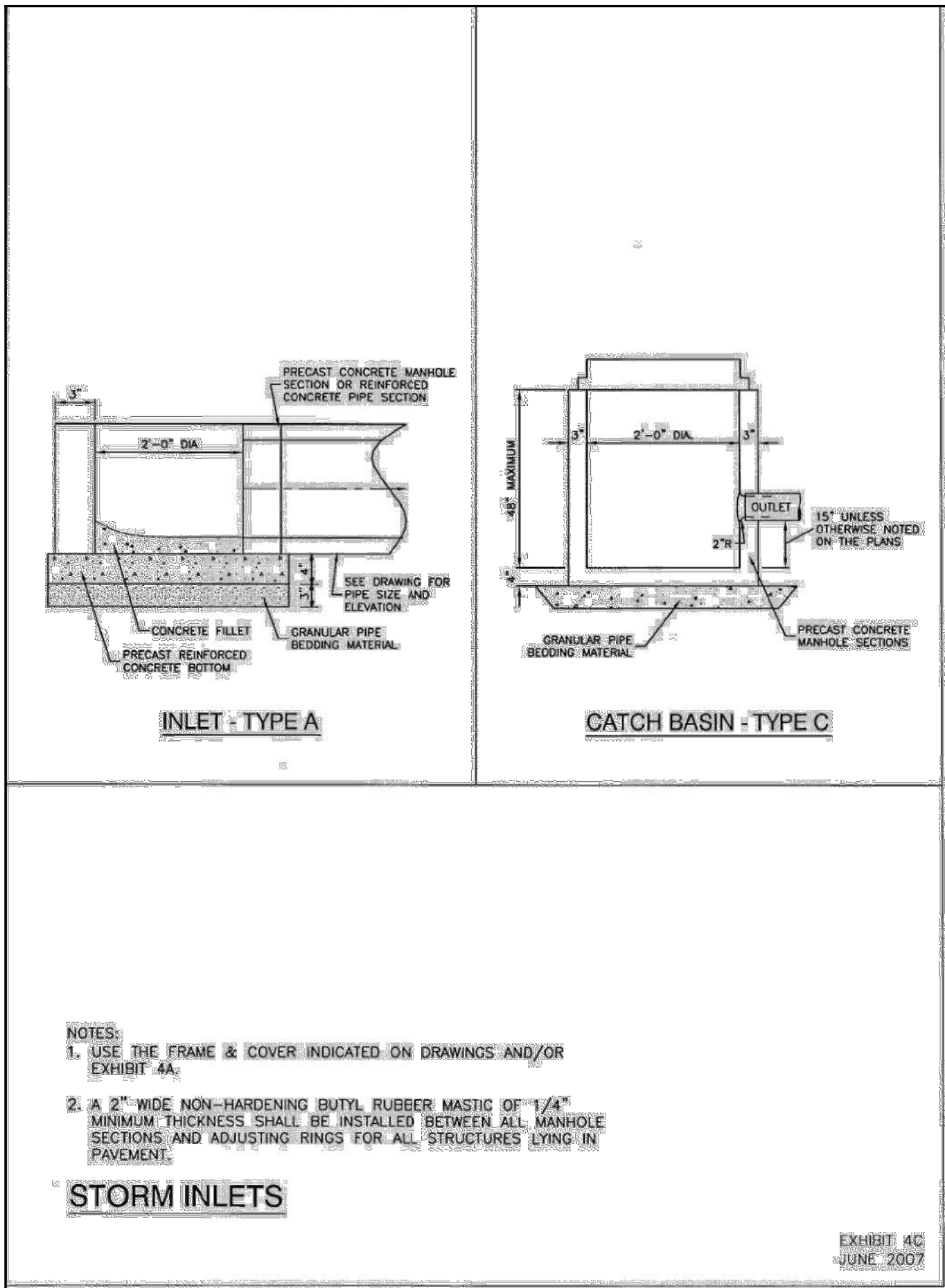


TYPE "C" BARRIER CURB

1. PROVIDE 1/2" EXPANSION JOINTS EVERY 45' O.C.
2. PROVIDE HAND TOOLED CONTRACTION JOINTS EVERY 15' O.C.

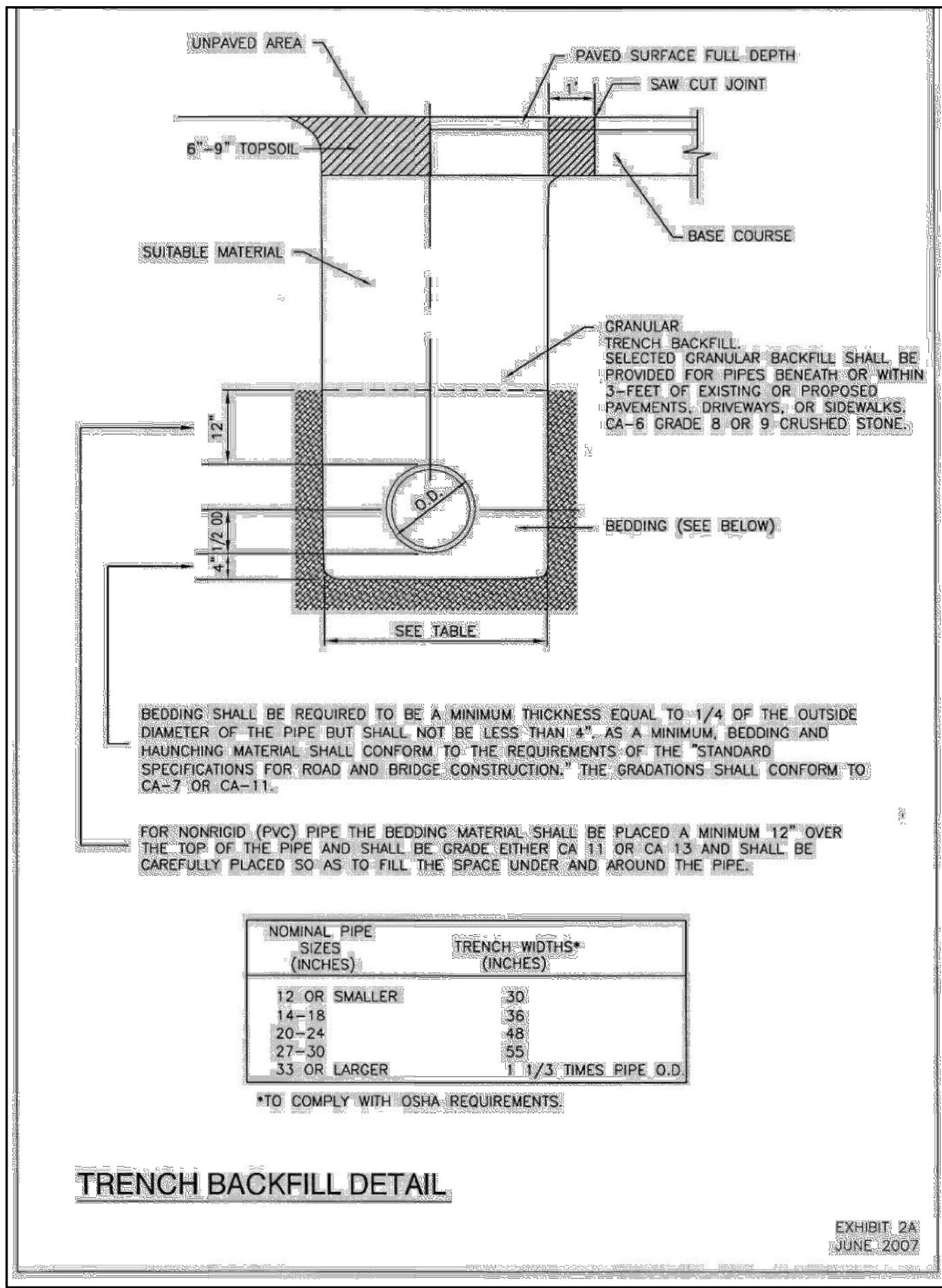


TYPICAL ACCESSIBLE LANDING AREA DETAIL

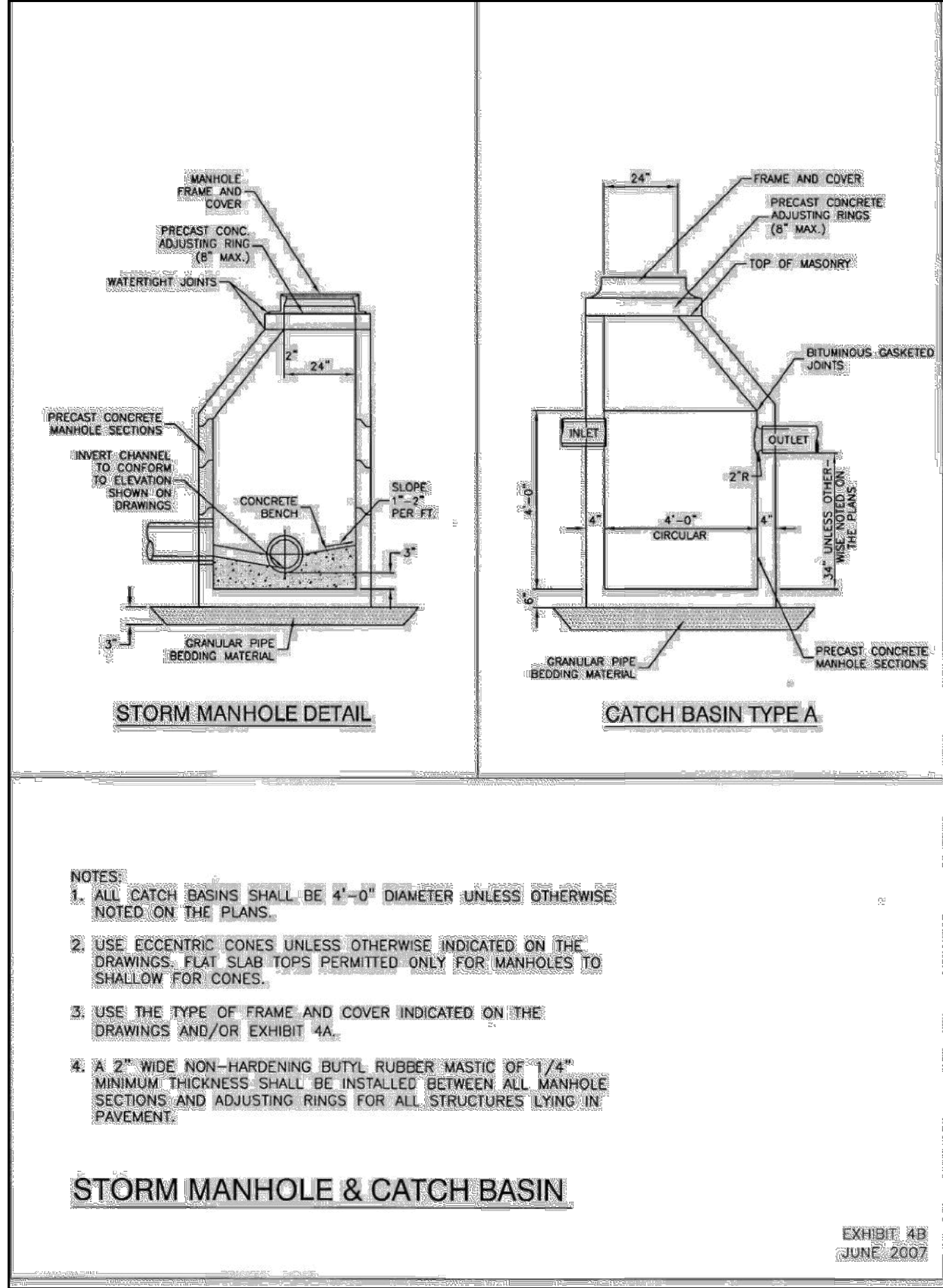


- NOTES:
1. USE THE FRAME & COVER INDICATED ON DRAWINGS AND/OR EXHIBIT 4A.
 2. A 2" WIDE NON-HARDENING BUTYL RUBBER MASTIC OF 1/4" MINIMUM THICKNESS SHALL BE INSTALLED BETWEEN ALL MANHOLE SECTIONS AND ADJUSTING RINGS FOR ALL STRUCTURES LYING IN PAVEMENT.

STORM INLETS

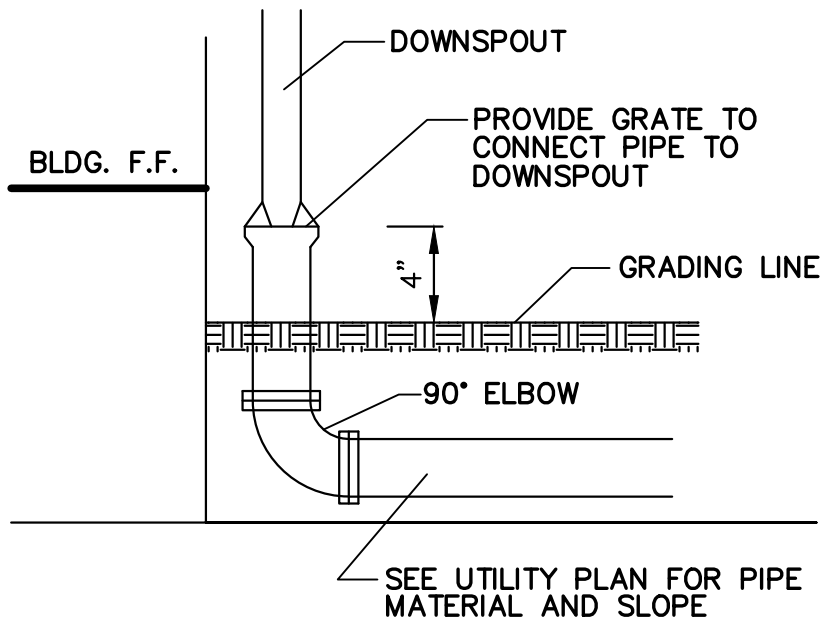


TRENCH BACKFILL DETAIL



- NOTES:
1. ALL CATCH BASINS SHALL BE 4'-0" DIAMETER UNLESS OTHERWISE NOTED ON THE PLANS.
 2. USE ECCENTRIC CONES UNLESS OTHERWISE INDICATED ON THE DRAWINGS. FLAT SLAB TOPS PERMITTED ONLY FOR MANHOLES TO SHALLOW FOR CONES.
 3. USE THE TYPE OF FRAME AND COVER INDICATED ON THE DRAWINGS AND/OR EXHIBIT 4A.
 4. A 2" WIDE NON-HARDENING BUTYL RUBBER MASTIC OF 1/4" MINIMUM THICKNESS SHALL BE INSTALLED BETWEEN ALL MANHOLE SECTIONS AND ADJUSTING RINGS FOR ALL STRUCTURES LYING IN PAVEMENT.

STORM MANHOLE & CATCH BASIN



DOWNSPOUT CONNECTION DETAIL

DATE	5/6/2023
REVISIONS	NO REVISIONS
NO	1
Prepared For:	

<p>XPRESS HOLDINGS, LLC. 9115 Roma Court Frankfort, IL 60423</p> <p>ROMA SPORTS COMPLEX 9115 Roma Court Frankfort, Illinois 60423</p>	Prepared By:
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watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

watermark

engineering

RESOURCES

CHECKED BY: J. MILLER	PROJECT NO.: 23-017
DESIGN BY: R. ERSFELDT	
DRAWN BY: R. ERSFELDT	
DATE: JULY 16, 2023	
SCALE: NONE	

PROJECT DETAILS

C-4

PROJECT DETAILS

PROJECT SPECIFICATIONS

1. CONTRACTOR IS TO FOLLOW ALL ORDINANCES AND REQUIREMENTS OF THE STATE, COMMUNITY, LOCAL DISTRICTS AND THE ILLINOIS ACCESSIBILITY CODE (IAC). ALL PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS WELL AS THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS" CURRENT EDITIONS.
2. THE CONTRACTOR SHALL INDEMNIFY WATERMARK ENGINEERING RESOURCES, LTD (THE DESIGN ENGINEER), ARCHITECT AND OWNER, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONDUCTING WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS, AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THIS DEVELOPMENT.
3. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS THAT ARE REQUIRED BY THE LOCAL AGENCIES.
4. PRIOR TO BID AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL INSPECT THE SITE TO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE PLANS AND THE ACTUAL CONDITIONS AT THE SITE. IF ANY DISCREPANCIES ARE FOUND, AT ANY TIME BEFORE OR DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY (BEFORE ANY ADDITIONAL IMPROVEMENTS ARE INSTALLED) IN ORDER TO OBTAIN WRITTEN CONFIRMATION BY THE DESIGN ENGINEER AS TO ANY REVISIONS THAT MAY NEED TO BE MADE TO THE PLANS.
5. PRIOR TO CONSTRUCTION, CONTRACTOR IS TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.
6. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER, ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION, AND ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION 2 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE APPROPRIATE CONSTRUCTION INSPECTIONS.
7. THE MUNICIPALITY SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE IMPROVEMENTS.
8. PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS, THE CONTRACTOR MUST CALL J.U.L.I.E. FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES (GAS, ELECTRIC, TELEPHONE) AT 1-800-892-0123, 48 HOURS PRIOR TO DIGGING.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS PER THE MUNICIPALITY AND/OR ANY OTHER AGENCY REQUIREMENTS. ANY CHANGES TO THE DRAWINGS MUST BE REPORTED TO THE DESIGN ENGINEER BEFORE WORK PROGRESSES.
10. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY THE MUNICIPALITY.
11. ALL QUANTITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. IF DISCREPANCIES OCCUR, THE CONTRACTOR IS TO CONTACT THE DESIGN ENGINEER IMMEDIATELY AND NO WORK IS TO BE DONE UNTIL APPROVED BY THE DESIGN ENGINEER.
12. ANY RESTORATION NEEDED BECAUSE OF CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST.
13. TRENCH BACKFILL MATERIAL, CRUSHED STONE OR Limestone (CA-6) IS REQUIRED UNDER AND WITHIN TWO FEET (2') OF SIDEWALKS AND PAVED AREAS. THIS BACKFILL SHALL BE IN SIX INCH (6") LIFTS AND COMPACTED TO 95% STANDARD PROCTOR.
14. CONTRACTOR IS TO PROVIDE ALL TEMPORARY SIGNAGE AS REQUIRED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION AND LOCAL MUNICIPALITIES.
15. ALL EXISTING DRAIN TILES THAT ARE ENCOUNTERED ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION OR REROUTED TO THE PROPOSED STORM SEWER SYSTEM.
16. RESTORATION OF EXISTING RIGHT-OF-WAYS IS TO BE COMPLETED WITH FOUR INCH (4") MINIMUM TOPSOIL AND SALT TOLERANT SOD UNLESS OTHERWISE NOTED.
17. THE WATER SYSTEM CANNOT BE SHUT DOWN WITHOUT CONSENT BY THE OWNER OF THE SYSTEM.
18. ALL FRAME ADJUSTMENTS SHALL BE MADE WITH PRE-CAST CONCRETE RINGS CONFORMING TO ASTM C-39 AND CANNOT EXCEED TWELVE INCHES (12").
19. FRAMES SHALL BE SET WITH #2 (8 OR EQUAL) MATERIAL TO PREVENT LEAKAGE.
20. THE REINFORCED CONCRETE SECTIONS SHALL BE LAID IN MORTAR, SEALED WITH EXTERNAL SEALING BANDS, OR SEALED USING MASTIC JOINT SEALER. WHEN MASTIC JOINT SEALER IS USED, THE MATERIAL SHALL COMPLETELY FILL THE JOINT AFTER THE UNITS HAVE BEEN BROUGHT TOGETHER.
21. STEPS IN STRUCTURES SHALL BE MADE OF COPOLYMER POLYPROPYLENE PLASTIC WITH CONTINUOUS ONE HALF INCH (1/2") GRADE SIXTY (60) STEEL REINFORCEMENT, STEP PSI-PF, AS MANUFACTURED BY M.A. INDUSTRIES, INC., OR APPROVED EQUAL. STEPS TO BE SPACED SIXTEEN INCHES (16") ON-CENTER.
22. ALL INSTRUMENTS ARE TO BE PROPERLY CALIBRATED PRIOR TO CONSTRUCTION USE.
23. ALL PARKING LOT LIGHT POLES ARE TO BE CONSTRUCTED AT THE INTERSECTION OF PARKING LOT STRIPING OR IN LANDSCAPE AREAS WITH A MINIMUM OF 2' CLEARANCE BETWEEN THE BACK OF CURB AND THE EDGE OF THE PARKING LOT LIGHT BASE UNLESS OTHERWISE SPECIFIED.
24. GENERAL CONTRACTOR TO BECOME FAMILIAR WITH AND APPLY THE ADA MINIMAL REQUIREMENTS AND REPORT TO ARCHITECT/DESIGN ENGINEER ANY DISCREPANCIES BEFORE CONSTRUCTION. THIS INCLUDES, BUT NOT LIMITED TO, TRANSITIONS TO EXISTING CONDITIONS.
25. CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR.
26. PAVING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO WEEP HOLES, WICKS, DRAINAGE SCUPPERS OR PIPES, AND LANDSCAPE.

PAVEMENT

1. ALL PAVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING REFERENCES AS THEY APPLY: STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION; MANUAL FOR STRUCTURAL DESIGN OF PORTLAND CEMENT CONCRETE PAVEMENT, ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION; DESIGN MANUAL, ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
2. ALL BASE COURSE AND SUB-BASE AREAS SHALL BE COMPACTED TO 95% STANDARD LABORATORY DENSITY, PER I.D.O.T. SECTION 301, BEFORE THE BASE COURSE MATERIALS ARE INSTALLED. THE SUB-BASE SHALL BE PROOF-ROLLED TO THE SATISFACTION OF THE ENGINEER, HIS AGENT, AND/OR THE SOILS ENGINEER. COMPACTION AND DENSITY TESTS SHALL BE TAKEN AT THE OWNER'S OPTION.
3. ALL CONCRETE TO BE MINIMUM 3500 PSI, SALT TOLERANT, 6 BAG MIX WITH A SPRAY ON SEALER.
4. EXPANSION AND CONTRACTION JOINTS SHALL BE TOOL FINISHED.
5. BINDER COURSE TO BE PLACED WHEN TEMPERATURE IS AT LEAST 40°F AND RISING. SURFACE COURSE TO BE PLACED WHEN TEMPERATURE IS AT LEAST 45°F AND RISING.
6. ALL PROPOSED PAVEMENT, SIDEWALKS, AND CURBS ARE TO BE CONSTRUCTED TO WITHIN A TOLERANCE OF 0.05' OF THE PROPOSED ELEVATIONS EXCEPT IN THE ACCESSIBLE STALLS OR ACCESSIBLE ROUTES.
7. PRIOR TO SEAL COATING, ALL ASPHALT AREAS ARE TO BE CLEAN AND DRY. ALL LOOSE MATERIALS ARE TO BE REMOVED. ALL GREASE TO BE REMOVED. ALL CRACKS ARE TO BE FILLED PER IDOT STANDARDS. ALL PAINTED STRIPING TO BE MODIFIED SHALL BE "BLACKED OUT" WITH BLACK PAINT (1 COAT MINIMUM, 2 COATS IF NECESSARY), ALLOWED TO THOROUGHLY DRY PER PAINT MANUFACTURER, PRIOR TO SEAL COATING. ALL AREAS THAT ARE ADJACENT TO THE SEAL COATED AREA ARE TO BE MASKED (I.E. SIDEWALKS, CONCRETE SURFACES, BRICK SURFACES, GUTTERS, CATCHBASINS/INLETS, ETC.) PRIOR TO SEAL COATING TO BE APPLIED. AIR TEMPERATURE TO BE 50°F AND RISING. APPLICATION RATE TO BE SUCH THAT ALL SURFACES OF THE ASPHALT BEING COATED IS THOROUGHLY COVERED IN ONE COAT. SPRAYING IS NOT ALLOWED. ALL SEAL COATING SHOULD BE APPLIED BY SQUEEGEE OR BRUSHES. THE BITUMINOUS SEAL COATING MATERIAL SHOULD NOT BE ALLOWED TO ENTER STORM SEWERS AND SHOULD BE ALLOWED TO DRY AT LEAST 18 HOURS PRIOR TO VEHICULAR USE. CRACK FILLER AND SEAL COATING MATERIALS ARE TO BE FREE OF COAL TAR.

STORM SEWER SPECIFICATIONS

1. ALL REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C-76 SPECIFICATIONS WITH ASTM C-443 FLAT GASKET JOINTS, OR ASTM C-361 "O-RING" JOINTS WHEN WATER MAIN QUALITY JOINTS ARE REQUIRED.
2. ALL PLASTIC PIPE SHALL BE P.V.C. WITH SDR26 WALL THICKNESS AND CONFORM TO D-3034 SPECIFICATIONS WITH ASTM D-3212 GASKET TYPE JOINTS.
3. ALL WATERMAIN QUALITY PLASTIC PIPE SHALL BE P.V.C. CONFORMING TO NSF STANDARD 14 AND: ASTM STANDARD D 2241 OR AWWA STANDARD C900 OR C905. JOINTING SHALL BE PRESSURE SLIP JOINTED. ELASTOMERIC SEALS (GASKETS) USED FOR PUSH-ON JOINTS SHALL COMPLY WITH ASTM STANDARD F477, AND SHALL BE PRESSURE RATED IN ACCORDANCE WITH ASTM D3139 OR ASTM D 3212.
4. ALL STRUCTURE LIDS SHALL BE IMPRINTED "STORM".
5. ALL FRAMES AND LIDS SHALL CONFORM TO ASTM A-48.
6. ALL SEWERS ARE TO BE INSTALLED FROM THE DOWNSTREAM END UPSTREAM. IF ANY CONFLICTS OR INFORMATION INCONSISTENT WITH SITE CONDITIONS ARE ENCOUNTERED, THE DESIGN ENGINEER IS TO BE CONTACTED PRIOR TO THE INSTALLATION OF ANYTHING.
7. IN PAVED AREAS, ALL FRAMES AND LIDS SHALL BE: NEENAH R-2050 OR R-2502 WITH TYPE D GRATE AT LOW POINTS; OR NEENAH R-3261-A IN CURB AND GUTTER; OR NEENAH R-1550-A WITH SOLID LID, UNLESS OTHERWISE SPECIFIED.
8. IN NON-PAVED AREAS, ALL FRAMES AND LIDS SHALL BE: NEENAH R-2090 OR R-2060 WITH TYPE B GRATE AT LOW POINTS; OR NEENAH R-1550-A WITH SOLID LID, UNLESS OTHERWISE SPECIFIED.
9. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER.
10. ALL FLARED END SECTIONS (FES) ARE TO BE INSTALLED WITH TRASH GRATES.

GRADING

1. GEOTECHNICAL REPORTS AS PREPARED BY OWNER (OR REPRESENTATIVE) SHALL BE REFERRED TO PRIOR TO EARTH MOVING AND/OR UTILITY CONSTRUCTION.
2. UNSTABLE SOIL SHALL BE REMOVED OR STABILIZED.
3. CONTRACTOR IS TO MAINTAIN A POSITIVE DRAINAGE PATTERN AT THE END OF EACH DAY. CARE SHOULD BE TAKEN TO INSURE THAT DRAINAGE IS NOT REROUTED OR BLOCKED IN A WAY THAT MAY BE INJURIOUS TO ADJACENT LAND.
4. THE SUB-BASE BELOW STRUCTURES, PAVEMENTS OR NEW STRUCTURAL FILL SHALL BE PROOF ROLLED. IF SOIL RUTS, PUMPS, DEFLECTS EXCESSIVELY OR EXHIBITS EXCESSIVE MOVEMENT OR MOISTURE, THEN THE UNSTABLE SOIL SHALL BE UNDERCUT AND REPLACED WITH STRUCTURAL FILL OR DISCING AND DRYING TO NEAR OPTIMUM MOISTURE SO SOIL CAN BE PROPERLY COMPACTED. THIS PROCESS IS TO BE OBSERVED BY A GEOTECHNICAL ENGINEER.
5. ALL FILLS SHALL BE PLACED IN 8" LIFTS COMPACTED TO A MINIMUM OF 98% STANDARD LABORATORY DENSITY PER ASTM D698 UNDER AND WITHIN INFLUENCE OF THE BUILDING, A MINIMUM OF 95% STANDARD LABORATORY DENSITY PER ASTM D698 UNDER AND WITHIN THE INFLUENCE OF ALL OTHER IMPERVIOUS AREAS, AND A MINIMUM OF 90% STANDARD LABORATORY DENSITY PER ASTM D698 IN ALL LANDSCAPE AREAS.
6. EROSION CONTROL SHALL BE PROVIDED PRIOR TO ANY DISTURBANCES. SEE EROSION CONTROL PLANS FOR ADDITIONAL SPECIFICATIONS AND DETAILS.
7. PROVIDE TOPSOIL RESPREAD PER THE FOLLOWING UNLESS OTHERWISE NOTED:
 - A. 4" MINIMUM IN GRASS OR SOD AREAS.
 - B. 6" MINIMUM IN PLANTING AREAS.
 - C. 12" MINIMUM IN LANDSCAPE ISLANDS.
8. ALL TOPSOIL TO BE FRIABLE (NOT COHESIVE), WEED FREE, AND FREE OF ROCKS, LARGE ROOTS AND UNNATURAL DEBRIS.
9. ALL GRADING IS TO BE CONSTRUCTED TO WITHIN A TOLERANCE OF 0.10' OF THE PROPOSED ELEVATIONS. SEE PAVEMENT SPECIFICATIONS FOR PAVEMENT TOLERANCES.

VILLAGE OF FRANKFORT STORM SEWER SPECS

STORM SEWERS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C76 MINIMUM CLASS III WITH O-RING JOINTS CONFORMING TO ASTM C443.

ALL STRUCTURE CONNECTIONS SHALL BE CONCRETE SEWER PIPE, ASTM C14 FOR EXTRA STRENGTH PIPE.

SUMP/PUMP SERVICE CONNECTIONS SHALL BE 4" PVC SDR 26 UNLESS OTHERWISE NOTED.

CORRUGATED METAL PIPE SHALL BE HOT-DIPPED GALVANIZED STEEL OR ALUMINUM STEEL CONFORMING TO AASHTO M36.

- * FOR 21" DIAMETER PIPE AND SMALLER, PROVIDE 16 GAUGE CMP.
- * FOR 24" DIAMETER PIPE AND LARGER, PROVIDE 12 GAUGE CMP.

MINIMUM COVER SHALL BE 3' MINIMUM UNLESS SPECIAL PRECAUTIONS ARE SPECIFIED.

ALL FLARED END SECTIONS LESS THAN 48" (EFFECTIVE DIAMETER) REQUIRE GRATES IN ACCORDANCE WITH IDOT SPECIFICATIONS.

ALL CASTINGS SHALL BE MADE IN THE U.S.A. WITH U.S.A. MATERIALS. CLOSED COVERS SHALL BE STAMPED PER EXHIBIT 20. OPEN COVERS SHALL HAVE THE GRATES AS SPECIFIED.

STRUCTURE LOCATION	STRUCTURE LABEL	MANUFACTURER NUMBER	MINIMUM OPEN AREA
BARRIER CURB			
MOUNTABLE CURB			
PAVED AREAS			
GRASSED AREAS			

STORM SEWER SPECIFICATIONS

EXHIBIT 44
JUNE 2007

** IF THERE ARE ANY DISCREPANCIES BETWEEN THE STANDARD SPECIFICATIONS AND THE VILLAGE OF FRANKFORT SPECIFICATIONS, THE VILLAGE OF FRANKFORT SPECIFICATIONS SHALL GOVERN

PROJECT SPECIFICATIONS

CHECKED BY: J. MILLER
DESIGN BY: R. ERSFELDT
DRAWN BY: R. ERSFELDT
DATE: JULY 18, 2023
SCALE: NONE
PROJECT NO.: 23-017

C-5

DATE
8/6/2023

REVISIONS
NO REVISIONS


NO
1

Prepared For:

XPRESS HOLDINGS, LLC.
9115 Roma Court
Frankfort, IL 60423

ROMA SPORTS COMPLEX
9115 Roma Court
Frankfort, Illinois 60423

Prepared By:


watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

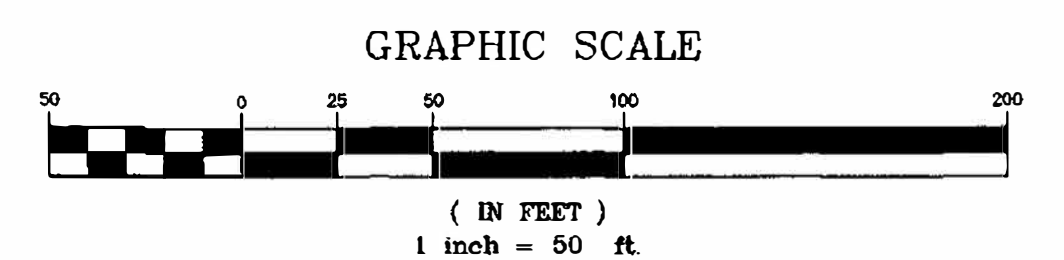
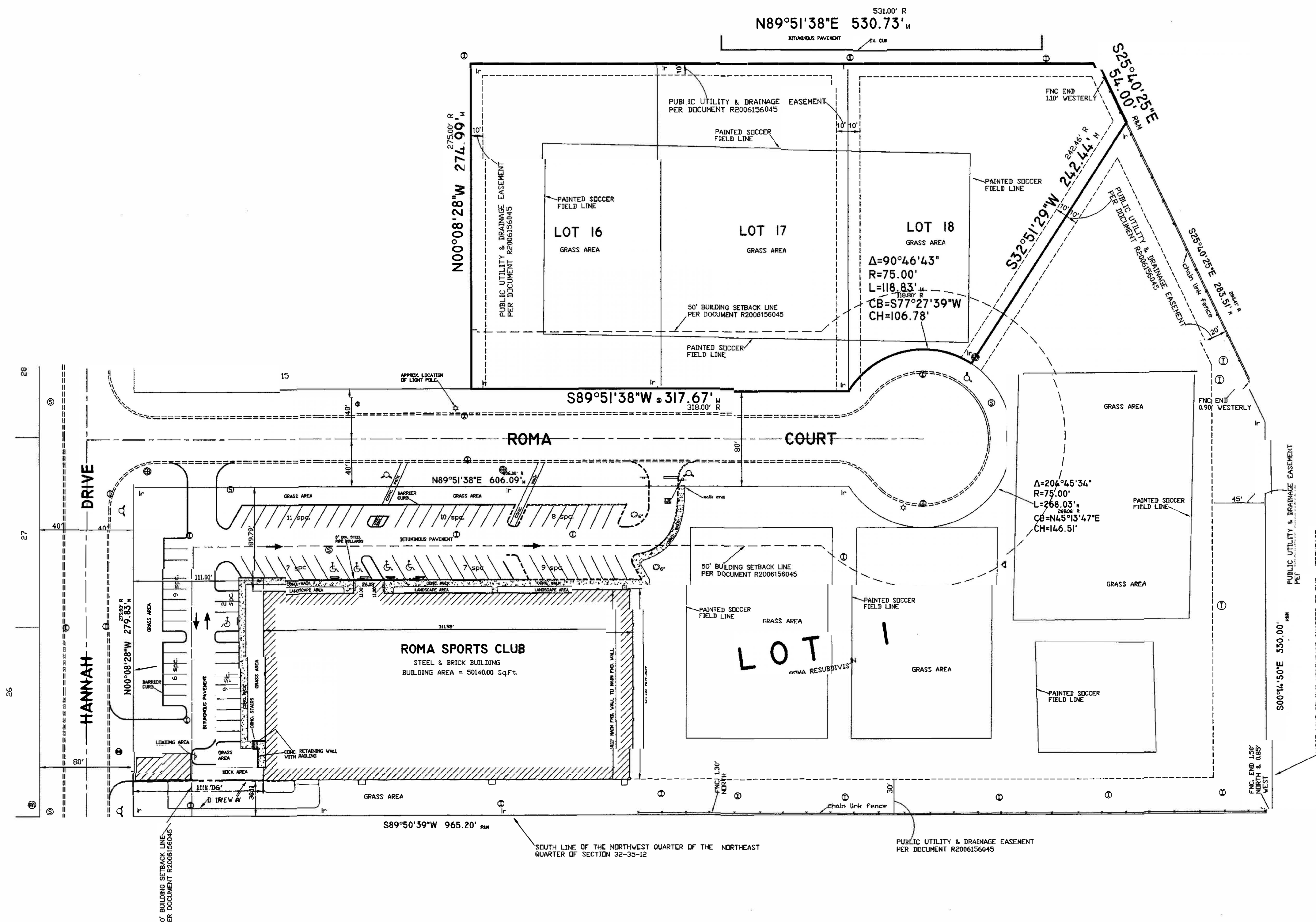
PROJECT SPECIFICATIONS

J:\dwgs\23\jbs\23017\23017.dwg, 23017

33

PLAT OF SURVEY

LOTS 16 THROUGH 18 BOTH INCLUSIVE IN EAST POINT PARK, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 15, 2006 AS DOCUMENT R2006-156045, IN WILL COUNTY, ILLINOIS.



**Know what's below.
Call before you dig.**
CALL 48 HOURS BEFORE YOU DIG
(EXCLUDING SAT., SUN. & HOL.)
CALL 811 or 1-800-892-0123

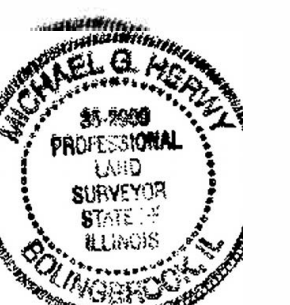
NOTE:
NO UTILITIES LOCATED ON THIS DRAWING
FOR UTILITY INFORMATION CALL JULIE.
PRIOR TO ANY EXCAVATION.

LEGEND	
☆	EXIST. LIGHT POLE
⊙	EXIST. SANITARY MANHOLE
⊕	EXIST. FIRE HYDRANT
⊖	EXIST. POWER POLE
⊗	EXIST. MANHOLE
⊙	EXIST. STORM SEWER INLET
⊕	EXIST. WATER VALVE & VAULT
⊖	EXIST. WATER VALVE
—	EXIST. WATER LINE
—	EXIST. STORM SEWER LINE
—	EXIST. SAN SEWER LINE
—	EXIST. CURB & GUTTER
—	EXIST. FENCE LINE
—	EXIST. UTILITY PEDESTAL
—	EXIST. STEEL GUARD RAIL
—	EXIST. BARRIER CURB
—	DECIDUOUS TREE

ASSOCIATED SURVEYING GROUP, LLC

Illinois Prof. Design Firm No. 184-004973
P.O. BOX 810 BOLINGBROOK, IL 60440
PH (630) 759-0205 FAX (630) 759-9291

FIELDWORK DATE: 6-14-23
CLIENT: ROMA SPORTS CLUB
JOB NO: 88839-23



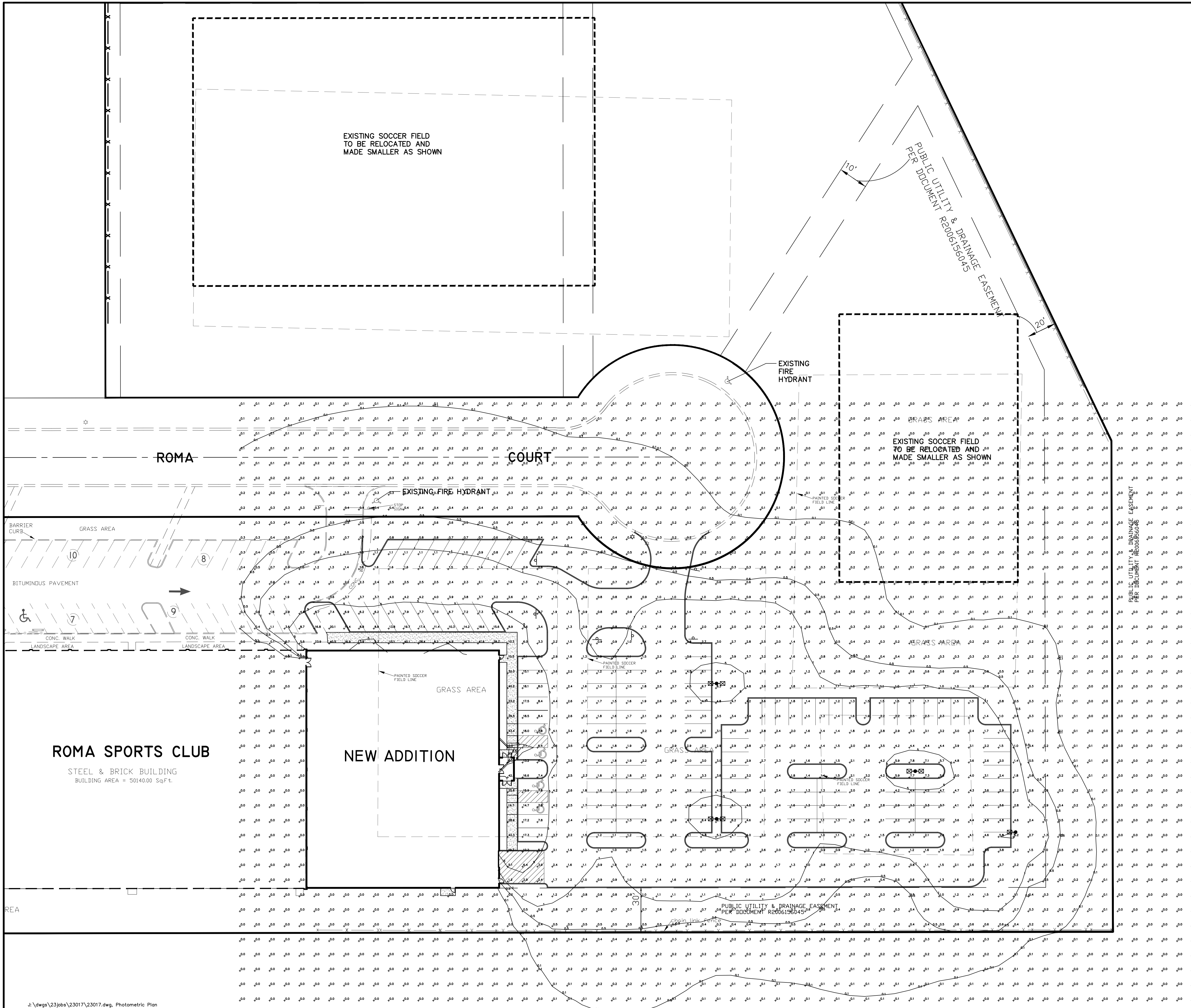
STATE OF ILLINOIS >
COUNTY OF WILL > SS

I, Michael G. Herwy, an Illinois Professional Land Surveyor, do hereby certify that "This professional service conforms to the current Illinois minimum standards for a boundary survey", and that the Plat hereon drawn is a correct representation of said survey.




Dated, this 17th day of July, 2023 A.D., at Bolingbrook, IL

Michael G. Herwy
Illinois Professional Land Surveyor No. 035290 License Expires 11-30-24

FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN
HEREIN REFER TO YOUR DEED, TITLE POLICY, ORDINANCE, ETC.



GENERAL NOTES:
1. THESE PLANS ARE BASED ON THE PLAT OF SURVEY (SURVEY PROJECT #88839-23 DATED 04/26/23) PREPARED BY: ASSOCIATED SURVEYING GROUP, LLC. 1 PALOS COURT, BOLINGBROOK, IL 60440 (630) 759-0205
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

QUANTITIES	
FIXTURE TYPE:	SYMBOL QUANTITY
DSX2 LED P1 40K 80CRI T4M DBLXD	 7
LEDMPAL-39L-4K-T5-120V (MOUNTING ANGLE = 60 DEG.)	 7
POLE TYPE:	SYMBOL QUANTITY
SSA-17-DBLXD	 4

PHOTOMETRIC SUMMARY	
PARKING LOT AREA:	
AVERAGE	2.9
MAXIMUM	19.7
MINIMUM	0.4
AVG/MIN	7.3:1

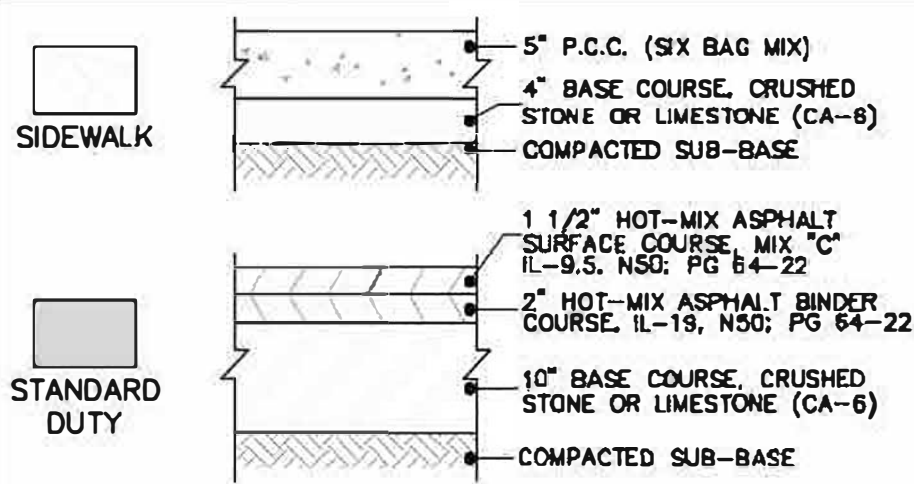
- NOTES:**
- THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE CRITERIA SHOWN IN THE "QUANTITIES" NOTE, LOCATED ON THIS SHEET. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF WATERMARK ENGINEERING RESOURCES, LTD.
 - MOUNTING HEIGHT OF FIXTURES
WALL = 15.5'
POLE = 20'
POLE MOUNTING HEIGHT INCLUDES A 3' HIGH CONCRETE BASE, TO BE PROVIDED BY THE CONTRACTOR AS PART OF THIS PLAN, AND A 17' HIGH POLE.
 - DISTANCE BETWEEN READINGS 10'
 - FOOTCANDLE LEVELS SHOWN ARE MAINTAINED. MAINTENANCE FACTOR USED ON THIS DRAWING IS 1.0
 - FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.
 - HOUSE SIDE SHIELDS ARE NOT ALWAYS ABLE TO BE MODELED DUE TO THE UNAVAILABILITY OF THE PROPER IES FILES. IN THESE INSTANCES OTHER MANUAL ACCOMMODATIONS MAY BE MADE DURING THE MODELING PROCESS TO SIMULATE CUT OFF AT PROPERTY LINES OR ELSEWHERE.
 - CONTRACTOR TO VERIFY PROPER ORDERING INFORMATION INCLUDING BUT NOT LIMITED TO: VOLTAGE AND MOUNTING. PRIOR TO ORDERING OR INSTALLING SPECIFIED LUMINAIRES AND/OR POLES. ALL LIGHT FIXTURES TO BE FULL CUT OFF.
 - LOCATE WALL PACKS AS NOTED, CONTRACTOR SHALL FIELD ADJUST MOUNTINGS ON BUILDING TO DETERMINE A UNIFORM HEIGHT AND SPACING. WALL PACKS SHALL BE PLACED IN A SYMMETRICAL PATTERN TO MATCH BUILDING ARCHITECTURE AND FINAL LOCATION SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO INSTALLATIONS.
 - ALL LIGHTING INSTALLATION AND ASSOCIATED WORK SHALL MEET BUILDING AND ELECTRICAL CODES.
 - CONTRACTOR IS RESPONSIBLE TO VERIFY AND CONFIRM MATERIALS AND LABOR FOR ALL ELECTRICAL SOURCES, CONDUIT, SLEEVES, CONCRETE FOUNDATIONS, POLES, LUMINAIRES, AND ALL NECESSARY PARTS FOR PROPER LIGHTING INSTALLATIONS. ALL PROPOSED LIGHTING WORK SHALL NOT INTERFERE OR INTERRUPT EMERGENCY INGRESS AND EGRESS LIGHTING FIXTURES OR SECURITY SYSTEMS.
 - PROPOSED LIGHTING SHALL INCLUDE PHOTOCELL ON/OFF SWITCHING. CONTRACTOR TO VERIFY IF ANY LIGHTS NEED MANUAL OR WIRELESS ON/ OFF SWITCHES WITH OWNER'S REPRESENTATIVE.
 - THIS PLAN IS FOR LIGHTING PERFORMANCE. ALL MEANS, METHODS, AND ASSOCIATED EQUIPMENT IS THE RESPONSIBILITY OF THE INSTALLER TO DETERMINE AND AT THEIR DISCRETION. ALL INSTALLATIONS SHALL BE COMPLETE AND FINISHED. ANY GAPS OR EXPOSED MOUNTINGS WILL BE REJECTED.
 - ALL PROPOSED CONDUIT AND WIRE SERVICES SHALL BE CONCEALED AND HIDDEN SO AS NOT TO BE SEEN OR VISUALLY NOTICEABLE. FINAL LOCATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - ALL PAINTING NEEDS SHALL BE DONE BY A PROFESSIONAL. COLORS AND TYPES OF PAINT SHALL MATCH ACCORDINGLY TO ADJACENT COLORS AND MATERIALS. VERIFY AND COORDINATE WITH OWNER'S REPRESENTATIVE ALL WORK.
 - ALL RESTORATION SHALL BE DONE TO THE SATISFACTION OF THE OWNER AT NO CHARGE OR EXPENSE TO THE OWNER.
 - WHETHER NOTED ON THE PLANS OR NOT ALL ASSOCIATED WORK WITH THE PHOTOMETRIC PLAN INSTALLATION AND CONSTRUCTION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL AS NEEDED.
 - CONTRACTOR SHALL FIELD ADJUST BASED ON ELECTRICAL SUPPLY AND PROVIDE WIRING AS NEEDED FOR PROPER INSTALLATION, IF NEEDED, CONTRACTOR SHALL CONSULT AN ELECTRICAL ENGINEER.
 - CONTRACTOR RESPONSIBLE FOR ALL LUMINAIRE INSTALLATIONS, REPLACEMENTS, CONSTRUCTION REMOVALS AND DISPOSALS.
 - CONTRACTOR SHALL FIELD ADJUST AS APPROVED BY OWNER. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE FOR ALL RESTORATION OR FABRICATIONS NEEDS. SHOP DRAWINGS OR MACH UP MAYBE NECESSARY FOR APPROVALS PRIOR TO INSTALLATIONS. VERIFY AS NEEDED.
 - ANY FABRICATIONS SHALL BE DONE WITH NON-CORROSIVE EXTERIOR GRADE MATERIALS AND FINISHES TO PROTECT BUILDING FROM ANY STAINING.



PHOTOMETRIC PLAN

DATE 5/6/2023	REVISIONS 1	NO.	1
XPRESS HOLDINGS, LLC. 9115 Roma Court Frankfort, IL 60423		ROMA SPORTS COMPLEX 9115 Roma Court Frankfort, Illinois 60423	
Prepared For:		Prepared By:	
watermark-engineering.com 2631 Ginger Woods Pkwy Aurora, IL 60502 (630) 375-1800		PROJECT NO.: 23-017	
CHECKED BY: JEFF MILLER	DESIGN BY: D. OLSON	DRAWN BY: D. OLSON	DATE: MAY 12, 2023
SCALE: 1" = 30'		PHOTOMETRIC PLAN	
1 of 2			

PAVEMENT LEGEND



- NOTES:
- REFERENCE I.D.O.T. STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 406 FOR BINDER & SURFACE COURSES AND SECTION 351 FOR AGGREGATE BASE COURSE.
 - THE APPLICATION RATES FOR THE PRIME COAT AND TACK COAT ARE TO BE 0.30 AND 0.10 GALLONS PER SQUARE YARD, RESPECTIVELY.
 - SEE PROJECT SPECIFICATIONS FOR SUB-BASE AND BASE COURSE COMPACTION.
 - ALL CONCRETE FLATWORK TO INCLUDE A JOINTING PATTERN SUBMITTAL TO THE CONSTRUCTION MANAGER. CONTRACTOR TO STAY AS CLOSE TO 9'x9' SQUARE PANELS IN LARGE CONCRETE FLATWORK AREAS AS POSSIBLE.
 - FOR SIDEWALKS, PROVIDE TOOLED JOINTS AT 5' O.C., CONTRACTION JOINTS AT 15' O.C., EXPANSION JOINTS AT 45' O.C.
 - PROVIDE AN EXPANSION JOINT ADJACENT TO ALL STRUCTURES. THESE JOINTS SHOULD BE SEALED WITH A TOOL-FINISHED SILICONE SEALANT PER I.D.O.T. STANDARD.

ON SITE PARKING DATA

EXISTING REGULAR SPACES	73
EXISTING ADA ACCESSIBLE SPACES	5
TOTAL EXISTING SPACES	78
PROPOSED REGULAR SPACES	113
PROPOSED ADA ACCESSIBLE SPACES	4
TOTAL PROPOSED SPACES	117

REQUIRED PARKING FOR BUILDINGS

1 SPACE/4 PATRONS PLUS 1 SPACE/EMPLOYEE DURING THE LARGEST WORK SHIFT = (495/4) + (3) = 127 SPACES

REQUIRED PARKING FOR SOCCER FIELDS

1 SPACE/10,000 S.F. OF GROSS (SOCCER FIELD) LAND AREA
TOTAL SOCCER FIELD LAND AREA = 70,200 S.F.
REQUIRED PARKING = 7.02 OR 8 SPACES

*TOTAL REQUIRED PARKING = 135 SPACES

*TOTAL PROVIDED PARKING = 195 SPACES

SITE DATA

ZONING	=	I-1
TOTAL LOT AREA	=	445,320.75 S.F. (10.22 AC.)
TOTAL IMPERVIOUS AREA	=	169,674.75 S.F. (3.90 AC.)(38%) (INCLUDES EXISTING AND PROPOSED)
PERVIOUS AREA	=	275,646 S.F. (6.32 AC.)(62%) (INCLUDES EXISTING AND PROPOSED)
BUILDING AREA	=	70,940 S.F. (INCLUDES EXISTING AND PROPOSED)
F.A.R.	=	0.16
MAXIMUM TOTAL OCCUPANCY FOR BOTH THE EXISTING BUILDING AND THE BUILDING ADDITION	=	495
MAXIMUM # OF EMPLOYEES FOR BOTH THE EXISTING BUILDING AND THE BUILDING ADDITION AT ONE TIME	=	3

DIMENSION LEGEND

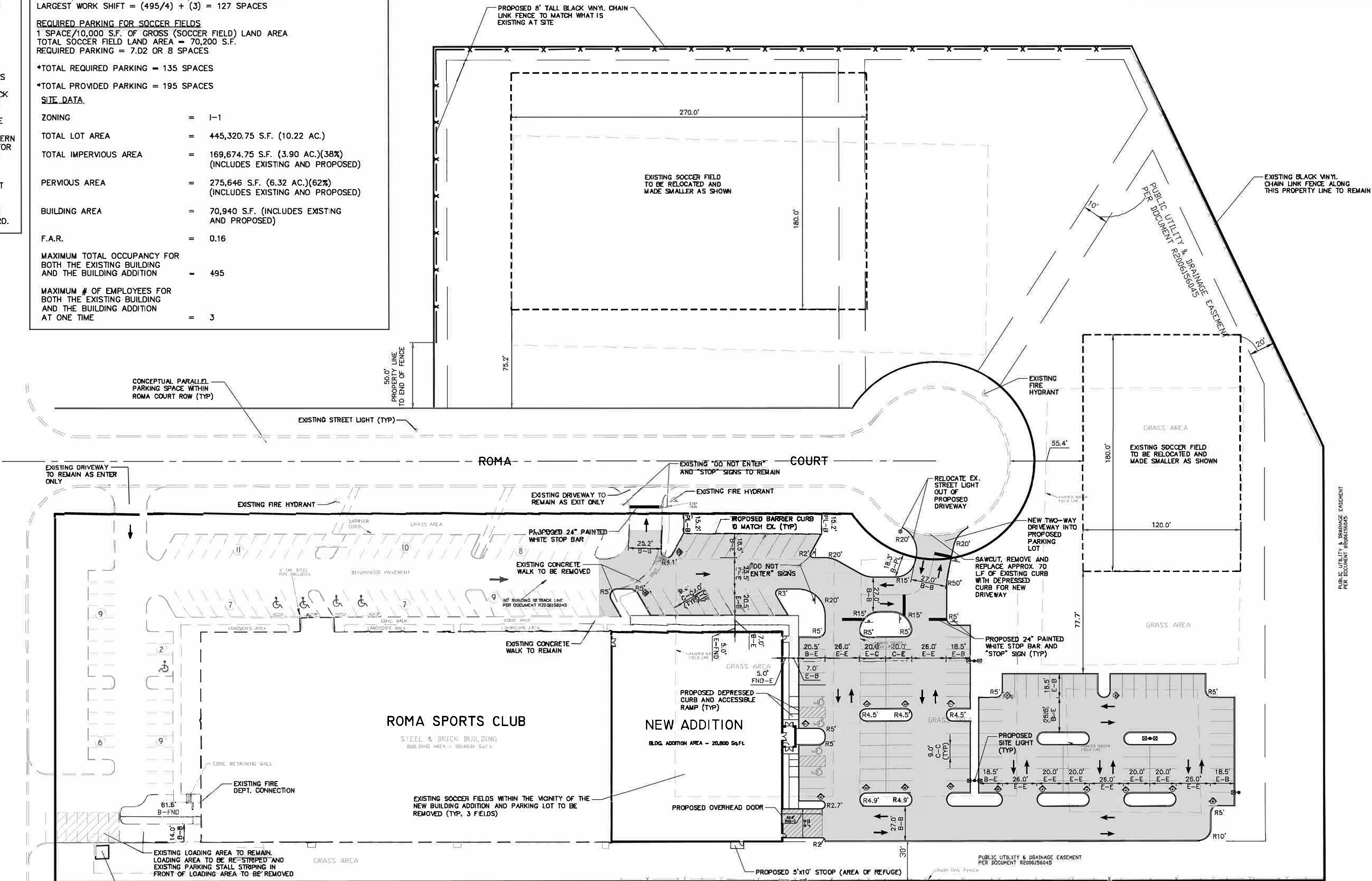
F = FACE	FNC = FENCE
FND = FOUNDATION	R = RADIUS
B = BACK	C = CENTER
E = EDGE	PL = PROPERTY LINE

GEOMETRIC PLAN NOTES:

- PROPOSED IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE EXISTING CONDITIONS AS SHOWN.
- ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
- WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

GENERAL NOTES:

- THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #88839-23 DATED 06/14/23) PREPARED BY: ASSOCIATED SURVEYING GROUP, LLC. 1 PALOS COURT, BOLINGBROOK, IL 60440 (630) 759-0205
- PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.



RELOCATE EXISTING DUMPSTER AS SHOWN. PROVIDE 10'x10' SPLIT FACE CMU ENCLOSURE TO MATCH PROPOSED BUILDING WITH WOOD OPAQUE GATE. ENCLOSURE TO BE AT LEAST 5' TALL BUT NO TALLER THAN 6'.

RECEIVED

By Christopher Gruba at 9:08 am, Oct 05, 2023



GEOMETRIC PLAN

C-2

Watmark Engineering Resources

CHECKED BY: J. MILLER
DESIGN BY: R. ERSFELDT
DRAWN BY: R. ERSFELDT
DATE: JULY 18, 2023
SCALE: 1" = 40'
PROJECT NO.: 23-017

PREPARED FOR:
XPRESS HOLDINGS, LLC.
9115 Roma Court
Frankfort, IL 60423
ROMA SPORTS COMPLEX
9115 Roma Court
Frankfort, Illinois 60423

PREPARED BY:

watermark-engineering.com | 2831 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

DATE: 3/6/2023
REVISED PER VILLAGE OF FRANKFORT
REVISED PER VILLAGE OF FRANKFORT
SITE DATA UPDATED

Prepared For:

Prepared By:

Prepared By:

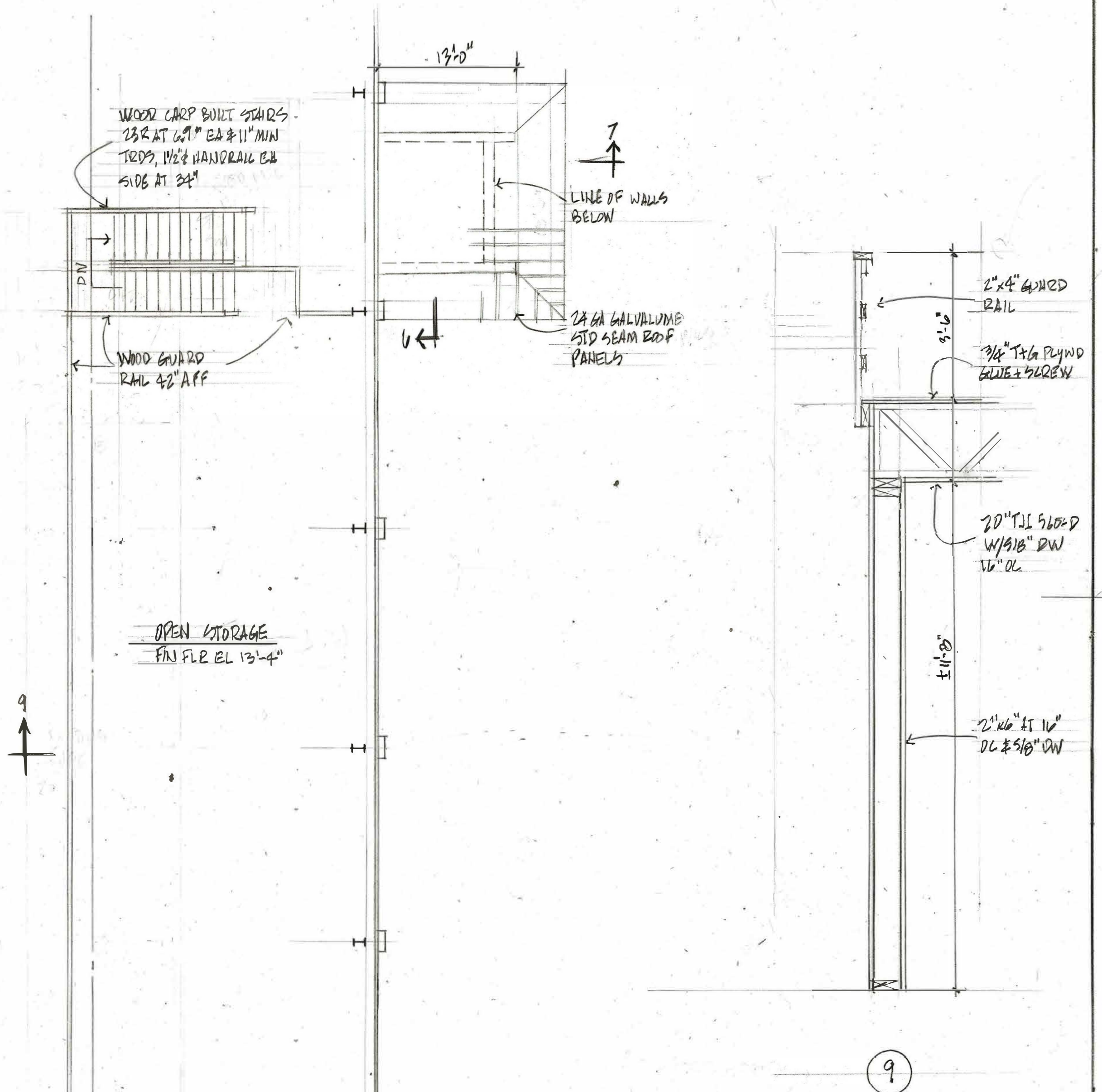
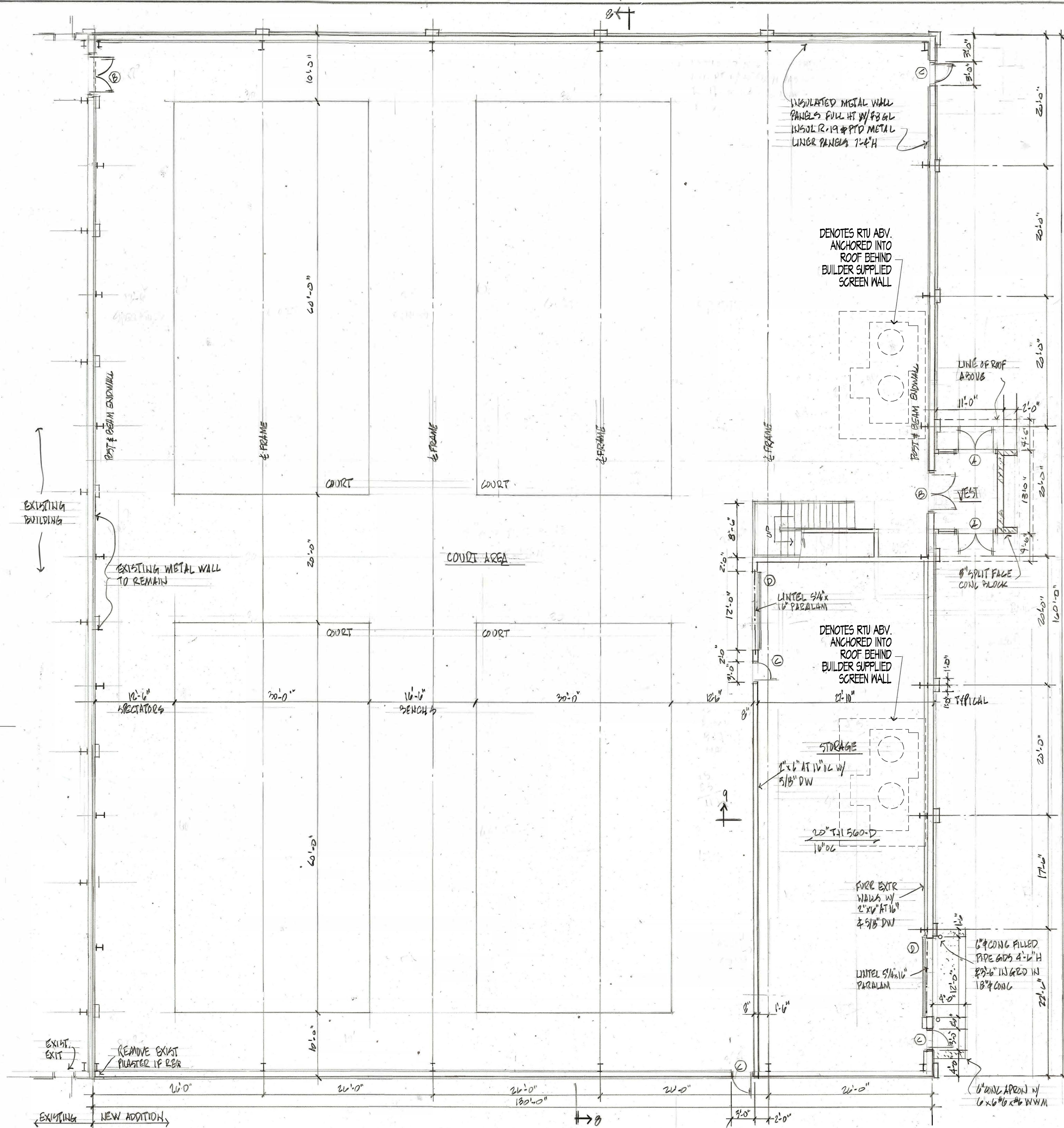
Prepared By:

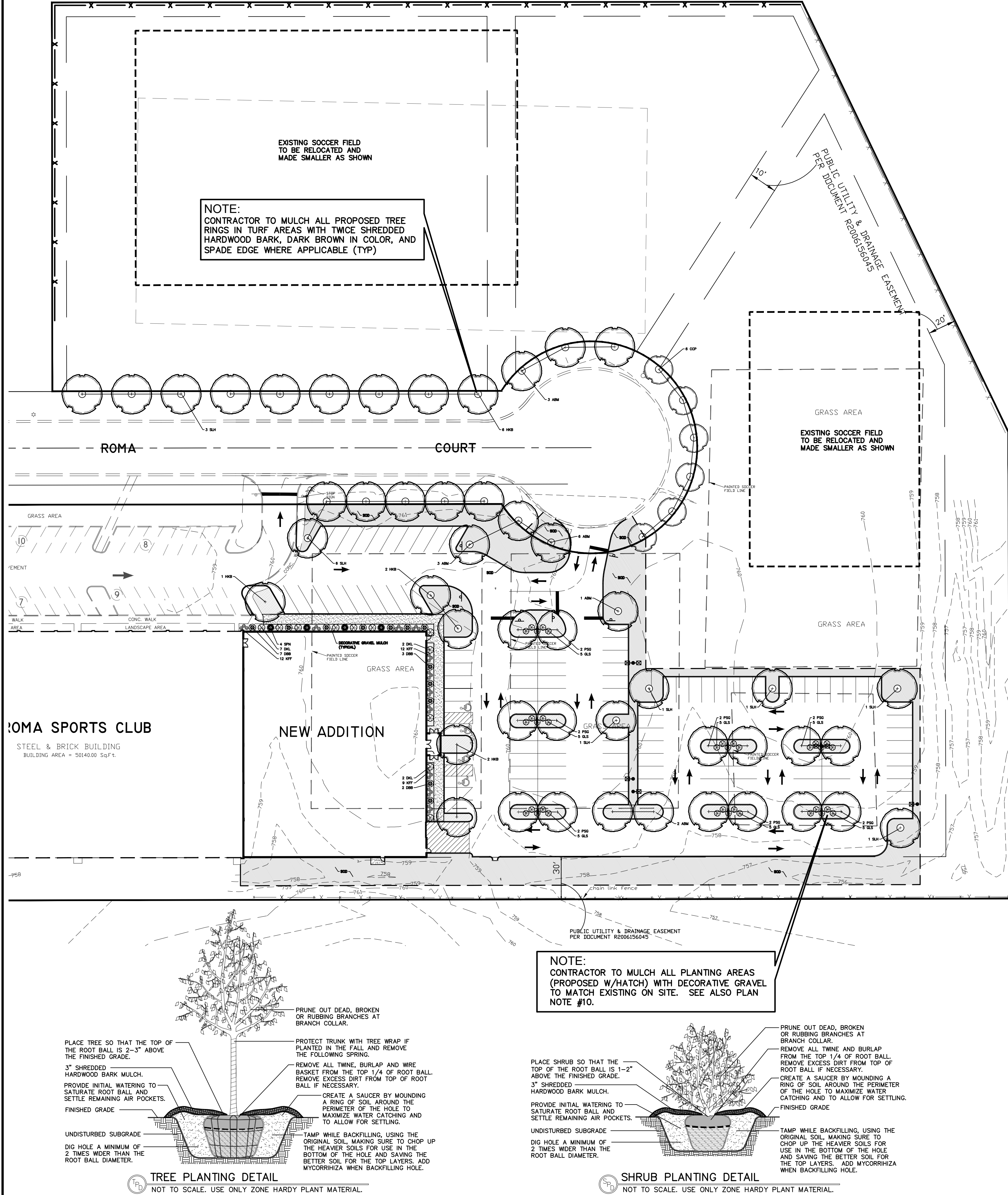
Prepared By:

Prepared By:

Prepared By:

Prepared By:





LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE HARDY TO THE ZONE IT IS BEING PLANTED IN. ALL TREES AND SHRUBS ARE TO BE BALLED AND BURLAPED UNLESS OTHERWISE NOTED AND SHALL BE GROWN IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT.
- PLANT SIZES CALLED OUT ON THIS PLAN ARE THE MINIMUM SIZE REQUIRED. PLANTS WHICH FAIL TO MEET THE SIZES LISTED, SHALL BE REJECTED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR MUST VERIFY ALL MATERIAL QUANTITIES AS DEPICTED ON THE DRAWING. THE PLANT LIST PROVIDED ON THIS PLAN IS FOR CONVENIENCE ONLY.
- SUBSTITUTIONS MAY NOT BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES AND UTILITY LOCATORS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOT BEGIN ANY WORK ON-SITE UNTIL ALL UTILITIES HAVE BEEN LOCATED. CONTRACTOR SHALL OBTAIN "AS-BUILT" PLANS FOR ALL IRRIGATION AND LIGHTING PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITIES INCLUDING IRRIGATION AND LIGHTING. ALL DAMAGE SHALL BE REPAIRED TO A NEW CONDITION IN ACCORDANCE WITH ALL CODES AT NO COST TO THE OWNER - SEE NOTE 5.
- ALL UNSUITABLE MATERIAL (CONCRETE, AGGREGATE STONE, CRUSHED ASPHALT, BRICK ETC.) SHALL BE REMOVED, INCLUDING HAUL OFF, PRIOR TO PLANTING AND SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- SOIL MIX PM35 BY MIDWEST TRADING COMPANY OR EQUAL SHALL BE ROTOTILLED INTO ALL PERENNIAL AND ANNUAL PLANTING BEDS PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL. A SLOW RELEASE, GRANULAR FERTILIZER SHALL BE APPLIED TO ALL ANNUAL AND PERENNIAL PLANTING BEDS AT THE RECOMMENDED RATE, AND SHALL BE ROTOTILLED IN WITH THE ABOVE SOIL MIXTURE BEFORE THE PLANT MATERIAL IS INSTALLED.
- CONTRACTOR TO PROVIDE THOROUGH INITIAL WATERING OF ALL PLANTINGS WITHIN 12 HOURS OF INSTALLATION TO ENSURE ALL AIR POCKETS HAVE BEEN REMOVED AROUND ROOT BALL.
- IF DESIGNATED, ALL PLANT BED AREAS ARE TO BE MULCHED WITH 2" OF DECORATIVE GRAVEL (TO MATCH EXISTING GRAVEL MULCH ON SITE). FINAL GRADE (AFTER SETTLING) SHALL BE 1" BELOW ADJACENT CURBS.
- ALL (UN-DESIGNATED) PLANT BED AREAS AND TREE RINGS ARE TO BE MULCHED WITH 3" OF DOUBLE SHREDDED HARDWOOD MULCH AND SHALL BE SEPARATED WITH A SPADE EDGE ALONG PERIMETERS ADJACENT TO TURF AREAS. FINAL GRADE (AFTER SETTLING) SHALL BE 1" BELOW ADJACENT CURBS.
- ALL TURF AREAS ARE TO BE A MINIMUM OF A FIVE WAY BLUEGRASS BLEND, UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL INSTALLED TURF AREAS UNTIL TIME OF KNOTTING. IF TURF SEED AND SOD OCCUR ON THE SAME PROJECT, CONTRACTOR SHALL VERIFY AND USE SEED MIXTURES TO MATCH SOD.
- AREAS TO BE SODDED SHALL BE WITH AN "APPROVED TURFGRASS SOD" OF PREMIUM GRADE. SOD SHALL BE A 5 WAY BLEND OF IMPROVED KENTUCKY BLUEGRASS VARIETIES THAT HAS BEEN GROWN LOCALLY TO THE PROJECT SITE. SOD MUST BE MATURED FOR 2 FULL GROWING SEASONS PRIOR TO HARVEST CUTTING AND BE HEALTHY WITH WELL ESTABLISHED ROOTS. SOD SHALL BE FREE OF DISEASE, INSECTS AND DEBRIS. SOD SHALL BE UNIFORM IN LEAF COLOR, TEXTURE, AND DENSITY. SOD SHALL BE DELIVERED, INSTALLED, AND WATERED WITHIN 24 HOURS OF HARVEST IN WHICH TEMPERATURES DO NOT EXCEED 90 DEGREES (F) NOR LESS THAN 55 DEGREES (F). SOD SHALL BE MACHINE-CUT AT A MINIMUM UNIFORM SOIL THICKNESS (1.5" OF SOD IS DESIRED) BUT SOD THICKNESS SHALL BE A THICKNESS NECESSARY FOR PLANT VIABILITY. SOD SHALL BE LAID IN STAGGERED STRAIGHT LINES, TIGHTLY AGAINST EACH OTHER WITHOUT STRETCHING OR OVERLAPPING. SOD STAKES SHALL USED ON ALL SLOPES 4:1 OR GREATER.
- CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS (INTENDED OR UNINTENDED) AT A MINIMUM, TO THE ORIGINAL CONDITION UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE HEALTH AND VIABILITY OF THE PROPOSED PLANT MATERIAL INCLUDING WATERING, PROTECTION FROM PHYSICAL DAMAGE FROM THE TIME PLANT IS SELECTED THROUGH ITS INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL REMAINING PLUMB UNTIL THE END OF THE GUARANTEE PERIOD. PLANTS MAY NOT BE STAKED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT/DESIGNER.
- CONTRACTOR TO GUARANTEE PLANT MATERIAL AND LABOR FOR A MINIMUM OF ONE YEAR FROM THE TIME OF INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH AND ABIDING BY THE LANDSCAPE ORDINANCES FOR THE SPECIFIC JURISDICTION IN WHICH THE WORK IS TAKING PLACE.
- BIDDERS SHALL BE RESPONSIBLE FOR EXAMINING THE SITE, PRIOR TO PREPARING BID, TO BECOME FAMILIAR WITH THE SPECIFIC SITE CONSTRAINTS.
- ALL EXISTING ON-SITE PLANT MATERIAL NOT EFFECTED BY CONSTRUCTION OR THE PROPOSED LANDSCAPE, SHALL BE PROTECTED AS PART OF THIS PLAN. EXISTING LANDSCAPE IN AREAS OF CONSTRUCTION AND PROPOSED LANDSCAPE SHALL BE REMOVED AS PART OF THIS PLAN.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF ALL THE ITEMS SHOWN ON THE PLANS.
- IF IRRIGATION IS DEEMED NECESSARY, THE DESIGN AND INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. AN IRRIGATION PLAN ALONG WITH AN AS BUILT OF THE IRRIGATION SYSTEM SHALL BE PREPARED FOR OWNER REVIEW AND APPROVAL. CONTRACTOR SHALL GUARANTEE PERFORMANCE, PARTS, AND LABOR FOR A PERIOD OF 1 YEAR FROM THE DATE OF FINAL APPROVAL.
- IF EXISTING IRRIGATION IS PRESENT ON SITE, CONTRACTOR SHALL ADJUST, ADD TO, OR SUBTRACT FROM, THE EXISTING IRRIGATION SYSTEM TO ACCOMMODATE ANY PROPOSED ALTERATIONS/ADDITIONS TO THE EXISTING LANDSCAPE. CONTRACTOR SHALL PROVIDE THE OWNER AN AS BUILT OF THE IRRIGATION SYSTEM AND ALL CHANGES TO THE SYSTEM AFFECTED BY THIS PROJECT.
- PROVIDE TOPSOIL RE-Spread PER THE FOLLOWING UNLESS OTHERWISE NOTED:
 - 4" MINIMUM IN GRASS OR SOD AREAS
 - 6" MINIMUM IN PLANTING AREAS
 - 12" MINIMUM IN LANDSCAPE ISLANDS

ON SITE PARKING DATA

EXISTING REGULAR SPACES	73
EXISTING ADA ACCESSIBLE SPACES	5
TOTAL EXISTING SPACES	78
PROPOSED REGULAR SPACES	113
PROPOSED ADA ACCESSIBLE SPACES	4
TOTAL PROPOSED SPACES	117

REQUIRED PARKING FOR BUILDINGS

1 SPACE/4 PATRONS PLUS 1 SPACE/EMPLOYEE DURING THE LARGEST WORK SHIFT = $(495/4) + (3) = 127$ SPACES

REQUIRED PARKING FOR SOCCER FIELDS

1 SPACE/10,000 S.F. OF GROSS (SOCCER FIELD) LAND AREA
TOTAL SOCCER FIELD LAND AREA = 70,200 S.F.
REQUIRED PARKING = 7.02 OR 8 SPACES

*TOTAL REQUIRED PARKING = 135 SPACES

*TOTAL PROVIDED PARKING = 195 SPACES

SITE DATA

ZONING	=	I-1
TOTAL LOT AREA	=	312,836 S.F. (7.18 AC.)
TOTAL IMPERVIOUS AREA	=	145,973 S.F. (3.35 AC.)(46%)(INCLUDES EXISTING AND PROPOSED)
PERVIOUS AREA	=	166,863 S.F. (3.83 AC.)(54%)(INCLUDES EXISTING AND PROPOSED)
BUILDING AREA	=	70,940 S.F. (INCLUDES EXISTING AND PROPOSED)
F.A.R.	=	0.22
MAXIMUM TOTAL OCCUPANCY FOR BOTH THE EXISTING BUILDING AND THE BUILDING ADDITION	=	495
MAXIMUM # OF EMPLOYEES FOR BOTH THE EXISTING BUILDING AND THE BUILDING ADDITION AT ONE TIME	=	3

PLANT LIST

SHADE, ORNAMENTAL AND CONIFEROUS TREES

QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
9	ABM	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2 1/2" Cal.
6	CCP	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2 1/2" Cal.
11	HKB	Celtis occidentalis	Common Hackberry	2 1/2" Cal.
14	PSG	Ginkgo biloba 'Princeton Sentry' (Male Only)	Princeton Sentry Ginkgo	2 1/2" Cal.
14	SLH	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Thornless Honeylocust	2 1/2" Cal.

FLOWERING AND EVERGREEN SHRUBS

QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
12	DBB	Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 Gal. (36" Ht.)
11	DKL	Syringa meyeri Palibin	Dwarf Korean Lilac	5 Gal. (36" Ht.)
3	EGA	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	5" Ht.
35	GLS	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	5 Gal. (18"-24" Ht.)
4	SPN	Physocarpus opulifolius 'Seward'	Summer Wine Ninebark	5 Gal. (36" Ht.)

PERENNIALS, ORNAMENTAL GRASS AND GROUNDCOVERS

QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
33	KFF	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	3 Gal.
	SOD	Sodded Lawn, Bluegrass Variety		

Know what's Below.
Call before you dig.



LANDSCAPE PLAN
DESIGNED BY
JOSEPH D. DAVITO, PLA
J. DAVITO DESIGN, INC.
(847) 469-8797

LANDSCAPE PLAN

DATE: 9/12/2023
REVISIONS PER VILLAGE OF FRANKFORT: 9/12/2023

NO: 1
2

Prepared For:
XPRESS HOLDINGS, LLC.
9115 Roma Court
Frankfort, IL 60423
ROMA SPORTS COMPLEX
9115 Roma Court
Frankfort, Illinois 60423

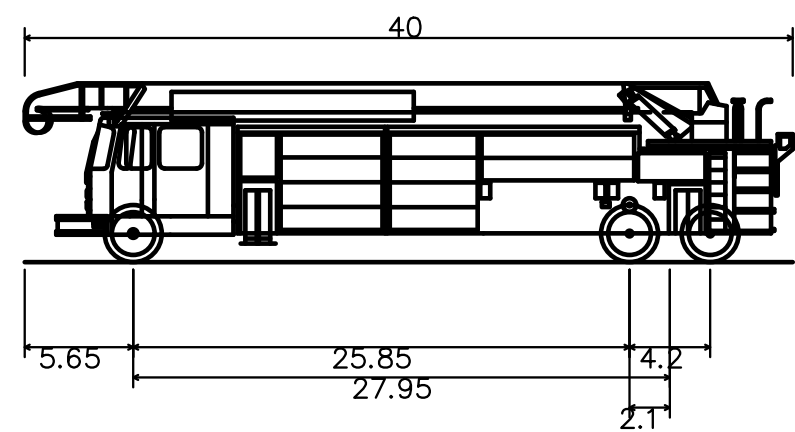
Prepared By:
J. DAVITO
J. DAVITO
J. DAVITO
JULY 18, 2023
SCALE: 1" = 40'
PROJECT NO.: 23-017

L-1

LANDSCAPE PLAN



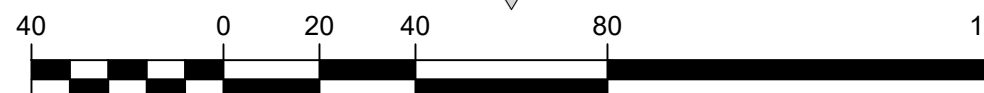
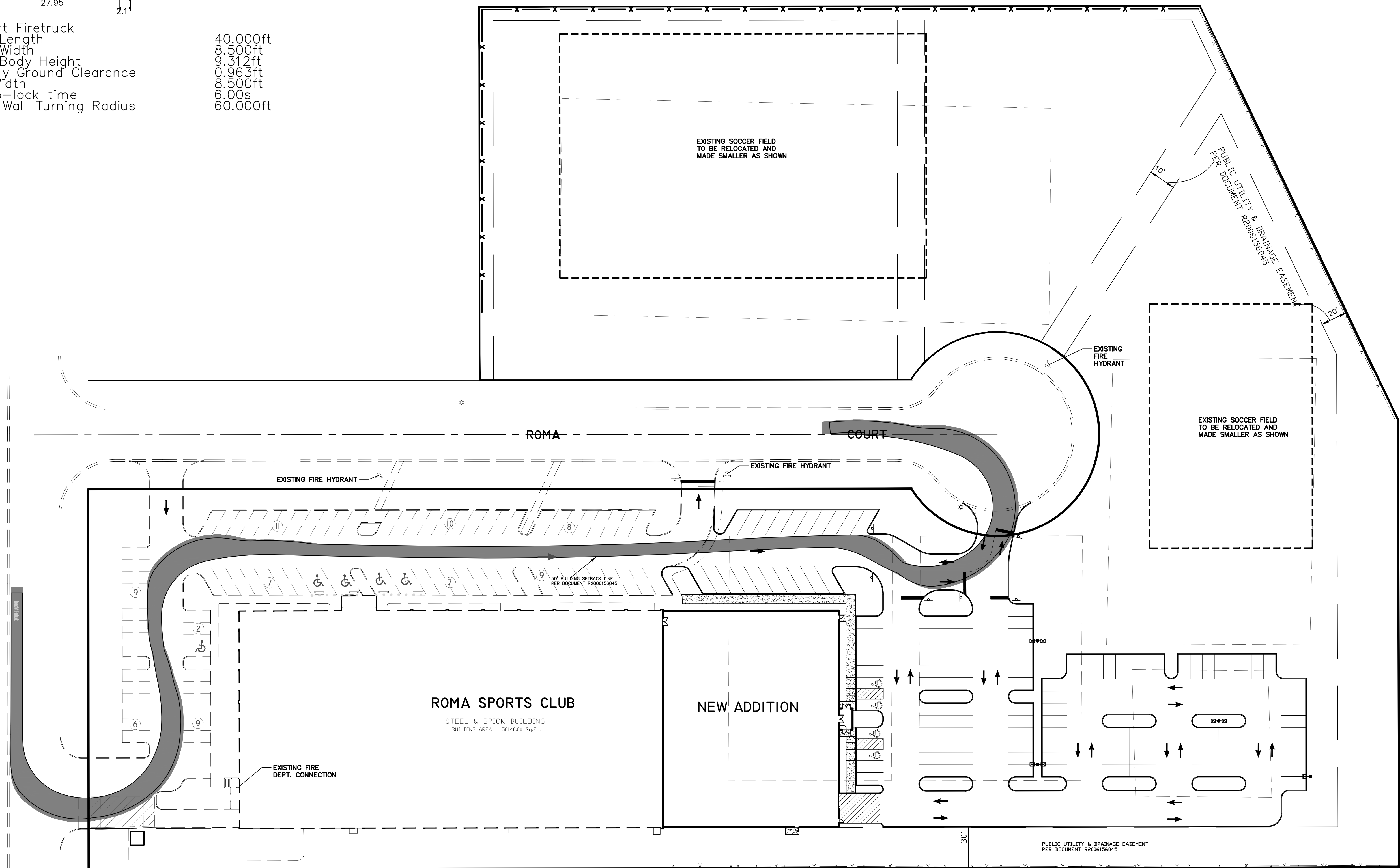
1 of 1



Frankfort Firetruck
Overall Length 40.000ft
Overall Width 8.500ft
Overall Body Height 9.312ft
Min Body Ground Clearance 0.963ft
Track Width 8.500ft
Lock-to-lock time 6.00s
Wall to Wall Turning Radius 60.000ft

RECEIVED

By Christopher Gruba at 12:19 pm, Sep 11, 2023



FIRETRUCK CIRCULATION PLAN

DATE	9/6/2023
REVISIONS	
NO.	1

Prepared For:
XPRESS HOLDINGS, LLC.
9115 Roma Court
Frankfort, IL 60423
ROMA SPORTS COMPLEX
9115 Roma Court
Frankfort, Illinois 60423

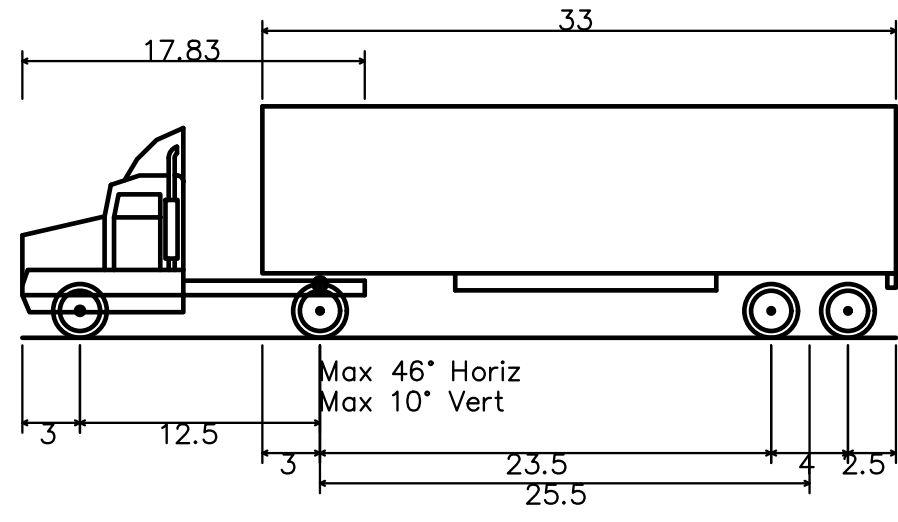
Prepared By:



CHECKED BY: J. MILLER
DESIGN BY: R. ERSFELDT
DRAWN BY: R. ERSFELDT
DATE: JULY 18, 2023
SCALE: 1" = 40'
PROJECT NO.: 23-017

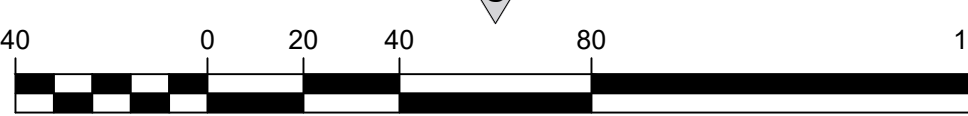
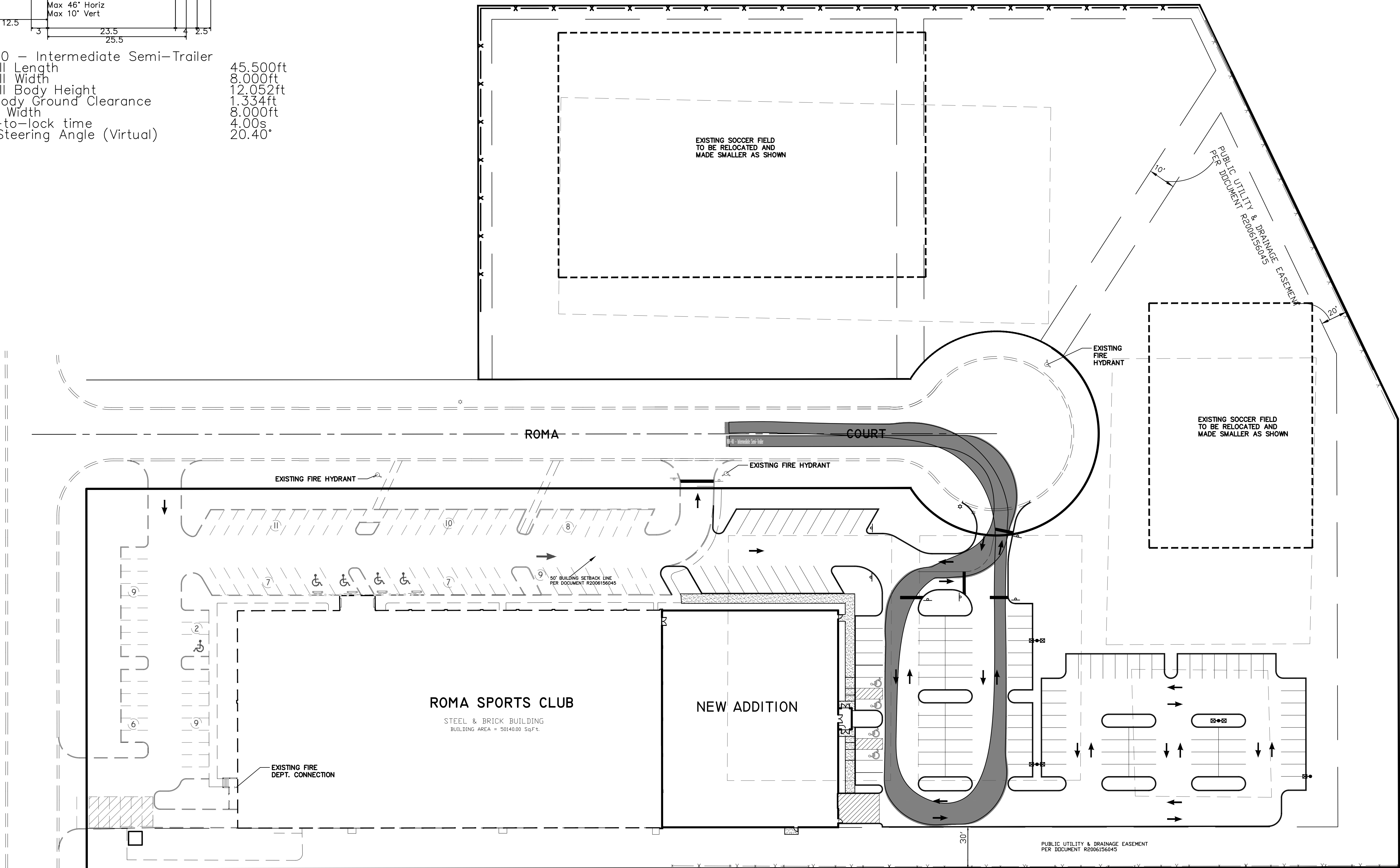
1 of 1

FIRETRUCK CIRCULATION PLAN



WB-40 – Intermediate Semi-Trailer
Overall Length 45.500ft
Overall Width 8.000ft
Overall Body Height 12.052ft
Min Body Ground Clearance 1.334ft
Track Width 8.000ft
Lock-to-lock time 4.00s
Max Steering Angle (Virtual) 20.40°

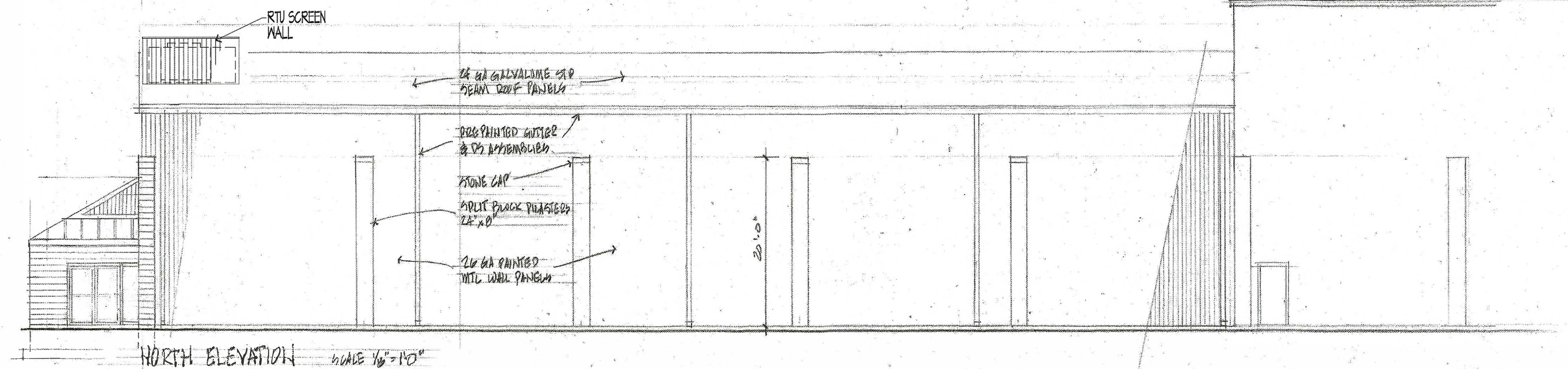
RECEIVED
By Christopher Gruba at 12:07 pm, Sep 11, 2023



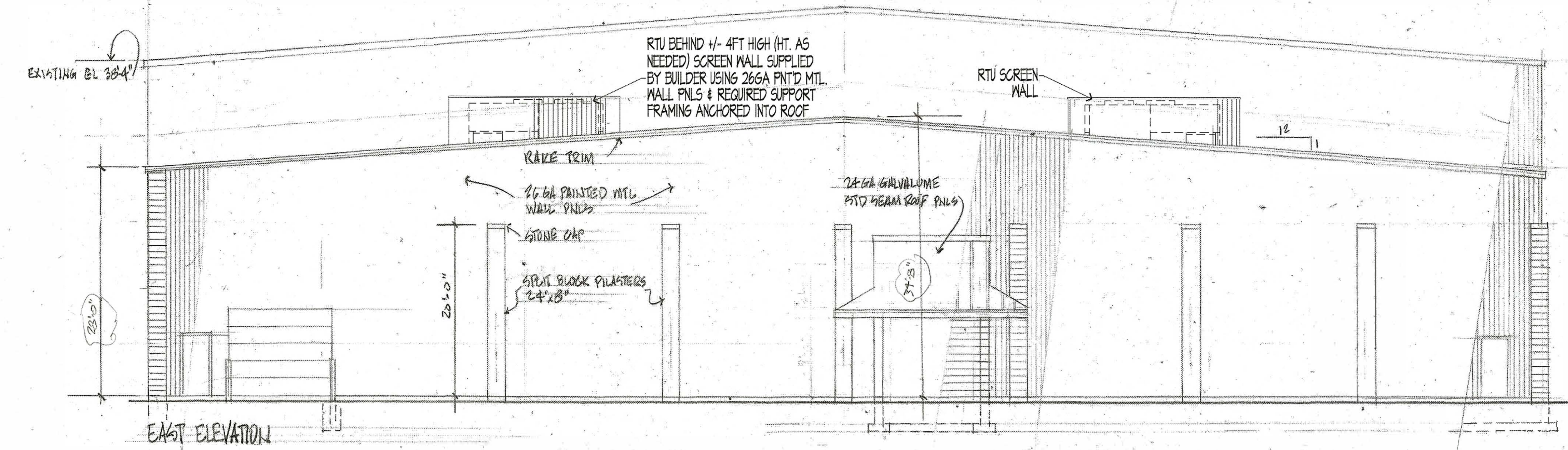
**DELIVERY TRUCK
CIRCULATION PLAN**

CHECKED BY: J. MILLER DESIGN BY: R. ERSFELDT DRAWN BY: R. ERSFELDT DATE: JULY 18, 2023 SCALE: 1" = 40' PROJECT NO.: 23-017	DATE: 9/6/2023	REVISIONS:	NO. 1	Prepared For:
	Xpress Holdings, LLC. 9115 Roma Court Frankfort, IL 60423 ROMA SPORTS COMPLEX 9115 Roma Court Frankfort, Illinois 60423			
Prepared By:		watermark-engineering.com 2631 Ginger Woods Pkwy Aurora, IL 60502 (630) 375-1800		
1 of 1		DELIVERY TRUCK CIRCULATION PLAN		

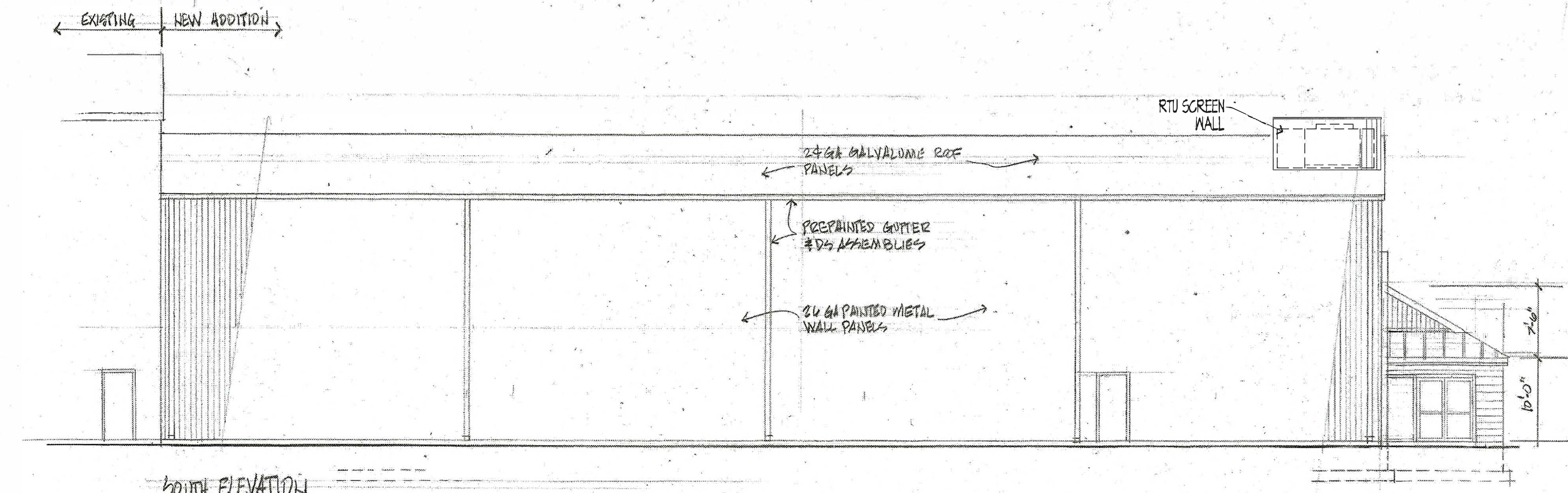
EXISTING NEW ADDITION




NORTH ELEVATION SCALE 1/8" = 1'-0"



EAST ELEVATION



SOUTH ELEVATION

	ADDITION TO THE	DATE
	ROMA SPORTS CLUB	FEB 17, 2023
	9115 ROMA CT	REVISED
	FRANKFORD, ILLINOIS	MAY 12, 2023
m.j.root • architect		DRAWING
324 center rd. frankfort, illinois 60423		3
815-464-0777		06

RECEIVED 9.20.23



EAST ELEVATION



NORTH ELEVATION

Project: Dunkin' Donuts Multi-Tenant Building

Meeting Type: Workshop

Requests: (1) Special Use Permit for a carry out restaurant; (2) Special Use Permit for drive-up service windows associated with a permitted use; (3) Special Use Permit for outdoor seating associated with a permitted restaurant; and (4) Special Use Permit for extended hours of operation (opening at 4:00 a.m.)

Location: Vacant Land on the east side of La Grange Road, south of St. Francis Road

Applicant: Koru Group, PLLC

Prop. Owner: Krupa Shah

Consultants: Eric Carlson, AIA, Koru Group; Dave Kudwa, P.E., Koru Group

Report By: Michael J. Schwarz, AICP

Site Details

Parcel/Lot Size: 5.92 acres

PIN(s): 19-09-15-301-034-0000

Existing Zoning: B-2 General Business District

Prop. Zoning: B-2 General Business District

Building(s) / Lot(s): 1 proposed building on 1 lot

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Undeveloped	Commercial	B-2
North	Natural Area	Environmental Conservation	E-R
South	Commercial	Commercial	B-2
East	Natural Area	Environmental Conservation	E-R
West	Commercial	Commercial	B-2

Figure 1: Location Map



Project Summary

The applicant, Koru Group, PLLC, representing the property owner, Krupa Shah, has filed an application requesting (1) Special Use Permit for a carry out restaurant; (2) Special Use Permit for drive-up service windows associated with a permitted use; (3) Special Use Permit for outdoor seating associated with a permitted restaurant; and (4) Special Use Permit for extended hours of operation (opening at 4:00 a.m.), in the B-2 General Business District, for the undeveloped property known as Lot 2 in Powell Resubdivision, located on the east side of La Grange Road, south of St. Francis Road. In conjunction with the requested Special Uses, the applicant desires to develop an approximately 8,042 square-foot commercial multi-tenant building on the property. The proposed building would include four tenant spaces. The northern tenant space would include a 2,030 square-foot Dunkin' Donuts. The other three tenants have not been disclosed at this time.

Property Background

The Village Board approved a donation agreement in October 2016 (Resolution No. 16-68) by which the Chicago Trust Company agreed to donate a ±21.3-acre tract of land to the Village, subject to conditions. The primary purpose

of the donation was to allow the Village to expand its existing lift station along LaGrange Road as part of the wastewater treatment consolidation project, as well as the preservation of open space and potential recreational trail opportunities along Hickory Creek. A closing on the property occurred in December 2016. As part of the agreement, the Village agreed to resubdivide the property to simplify the description of the land transfer and fulfill the terms of the agreement. The Final Plat of Resubdivision for Powell Resubdivision (attached) was approved by the Village Board on January 17, 2017. Lot 1 of the Powell Resubdivision is 21.268 acres and Lot 2 (the subject property) is 5.92 acres.

Attachments

1. 2020 Aerial Photograph from Will County GIS
2. Final Plat of Powell Resubdivision
3. ALTA NSPS Land Title Survey dated 5/30/23, received 9/1/23
4. Site Photograph(s) taken 9/21/23
5. Exterior Elevations / Monument Sign Detail last revised 8/31/23, received 9/29/23
6. Exterior Finishes Information Sheet, received 9/1/23
7. Interior Floor Plan dated 8/31/23, received 9/1/23
8. Site Civil Plans
 - o Cover Sheet dated 9/1/23, received 9/13/23
 - o Existing Conditions dated 9/1/23, received 9/13/23
 - o Site Plan dated 9/1/23, received 9/13/23
 - o Access Drive (Fire Truck and Semi-Truck/Trailer Circulation) dated 9/1/23, received 9/13/23
 - o Grading Plan dated 9/1/23, received 9/13/23
 - o Detention Basin dated 9/1/23, received 9/13/23
 - o Utility Plan dated 9/1/23, received 9/13/23
 - o Preliminary Landscape Plan dated 8/24/23, received 9/13/23
 - o Tree Preservation Plan dated 8/24/23, received 9/13/23
 - o Photometric Plan and Light Fixture/Pole Details dated 8/22/23, received 9/13/23

Analysis

In consideration of the request, staff offers the following points of discussion:

Land Use/Comprehensive Plan

The applicant has desires to develop an approximately 8,042 square-foot commercial multi-tenant building on Lot 2 in the Powell Resubdivision. The proposed building would include four tenant spaces. The northern tenant space would include a 2,030 square-foot Dunkin' Donuts. The other three tenants have not been disclosed at this time. The proposed commercial use is consistent with the adopted *Future Land Use Map* which depicts the subject property as "General Commercial".

Hours of Operation

The applicant has indicated that the proposed business hours of operation for the Dunkin Donut's are:

- 10:00 a.m. to 7:00 p.m. Tuesday through Thursday
- 10:00 a.m. to 5:00 p.m. Monday, Wednesday, Friday, Saturday

The proposed hours are outside of the Village's normal hours of operation which are 7:00 a.m. to 11:00 p.m. per Article 6, Part 2(q) of the Zoning Ordinance. Therefore, a Special Use Permit for extended hours of operation (opening at 4:00 a.m.) is being requested.

Zoning and Special Uses

1. The subject property is zoned B-2 General Business District.

2. The applicant has filed an application requesting:
 - (1) Special Use Permit for a carry out restaurant;
 - (2) Special Use Permit for drive-up service windows associated with a permitted use;
 - (3) Special Use Permit for outdoor seating associated with a permitted restaurant; and
 - (4) Special Use Permit for extended hours of operation (opening at 4:00 a.m.), in the B-2 General Business District.

Site Plan

1. The Site Plan depicts the proposed 8,625-square-foot building and surrounding parking lot.
2. Two separate stormwater detention basins are proposed to the north and east of the building.
3. A large portion of the overall property to the north of the proposed development site contains mapped floodplain.
4. The proposed drive-through pick-up window for Dunkin' Donuts is located at the north end of the building. The drive-through lanes are located along the north and east sides of the building. There are dual drive-through lanes shown on the east side of the building which eventually merge near the northeast corner of the building. The purpose of the dual lanes is to separate the traditional ordering lane from a mobile order lane. The drive through facility complies with the required minimum of 8 stacking spaces behind the pick-up window. However, staff notes that the narrow landscape island shown between the two lanes will need to be shifted east to the edge of the outer lane to comply with Section 158.30(B)(1) of the Landscape Ordinance, which requires a minimum separation from adjacent driveways, parking lot aisles and other vehicular uses areas by a curbed planting bed along the entire length of the lane. The planting bed shall be a minimum of five feet (5') wide (excluding the curb).
5. The Zoning Ordinance specifies the following parking ratios for the various uses of the building:

For the Dunkin' Donuts (Restaurant, Fast-Food Category): One (1) space per 75 square feet of gross floor area; plus one (1) space per two (2) employees for the work shift with the largest number of employees; plus on-site queuing for a minimum of eight (8) vehicles waiting at a drive-thru which has been approved as a Special Use. The proposed 2,030 square-foot restaurant would require 28 spaces based on gross floor area, plus another 3 spaces would be required for the estimated 6 employees that would be working during the busiest shift. A total of 31 spaces would be required for the proposed restaurant. The proposed Site Plan reflects queuing for at least 8 vehicles from the pick-up window back. The Site Plan reflects dual drive-through lanes which merge near the pick-up window. One lane is for traditional ordering from a menu-board, the other lane is for mobile-pick-up only.

For the presently unknown commercial uses (Business Establishment Category): One (1) space per two hundred fifty (250) square feet of gross floor area; plus one (1) space per employee for the work shift with the largest number of employees. The southern three tenant spaces total 6,012 gross floor area, thereby requiring 25 spaces, plus an additional number of spaces yet to be determined for employees.

The Site Plan depicts a total of 71 parking spaces, including 3 handicap accessible spaces. Based on the gross floor areas of the tenant spaces and known uses, a total of 56 spaces would be required. The additional employee parking requirements are not currently known for the 3 future commercial uses, but would likely be met via the balance of 15 spaces not counted in the gross floor area calculation.

6. The Site Plan depicts the required trash enclosure (14 feet by 26 feet) in the southeast corner of the site. The Zoning Ordinance requires that trash enclosures be constructed of materials to match the exterior of the building (in this case brick). Details for the proposed trash enclosure have not been provided at this time.
7. The B-2 General Business District allows a maximum impervious surface lot coverage of 75%. According to the Site Analysis Table on the Site Plan (attached) the total development area, including the building and parking lot is approximately 3.0 acres, or approximately 50.67% impervious surface lot coverage, thereby complying with the requirement.

8. A proposed free-standing multi-tenant panel sign is depicted on the Site Plan, close to the west property line, and south of the proposed vehicle entrance. The proposed sign does not appear to comply with the required minimum 25-foot setback for a free-standing sign and will need to be relocated on the Site Plan.
9. The proposed Site Plan depicts brick paver surfaces near the northwest and southwest corners of the building, which would be able to accommodate potential outdoor seating. At this time, only the northwest area is proposed for outdoor seating associated with the proposed Dunkin' Donuts. Detailed plans for the outdoor seating area, including the proposed fencing, tables, chairs, umbrellas, and other fixtures, along with the number and arrangement of seating spaces, have not been provided at this time.
10. The Site Plan reflects two-way vehicle circulation on the west and south sides of the building and one-way vehicle circulation on the east and north sides of the building.
11. The Site Plan reflects a proposed point of access on La Grange Road which is located slightly north of the existing driveway access for Terry's RV Center across the street to the west. According to the Project Architect, the Illinois Department of Transportation (IDOT) has provided preliminary comments on the proposed access location. A southbound left-turn lane would be added within the existing median of La Grange Road. A northbound deceleration lane would be added within the existing right-of-way on the east side of La Grange Road.
12. During the pre-application phase, staff suggested that cross-access be explored with the shopping center to the south. The Project Architect indicated that the two property owners have discussed potential cross access but that it is not feasible due to the significant grade differential between the two properties. The applicant therefore would be seeking a waiver of the required travel lane (cross-access with the adjacent property to the south) under Article 7, Part 4(c) of the Zoning Ordinance.
13. Three retaining walls are proposed on the Site Plan. On the north edge of the site, a 95-foot-long wall, 6 feet in height, is proposed. On the south edge of the site, there are two proposed retaining walls, which would result in a terrace along the middle portion. The longer inner wall is 337 feet long and 5 feet in height. The shorter outer wall is 108 feet long and 4.5 feet in height. The 2008 Design Standards (page 70) notes that the use of retaining walls is "strongly discouraged" and that any retaining walls over 50' long or 2.5' tall require review and approval by the Plan Commission. The Design Standards do not note this as a variation, but rather an informal approval from the Plan Commission. If the Plan Commission wants to accept the inclusion of the retaining walls as proposed, this acceptance would be noted in the meeting minutes as part of the written record.
14. The Village Design Standards require a 7-foot minimum sidewalk width when a row of parking is located adjacent to the sidewalk to allow for 2 feet of vehicle overhang, thereby maintaining a minimum 5' wide walkway. The proposed sidewalks which are along the west and south sides of the building are 6.5 feet wide and will need to be widened to 7 feet.
15. The proposed 2-way drive-aisles along the west and south sides of the building are depicted as 24 feet in width, which complies with the minimum width required as required by the Zoning Ordinance. However, the 2008 Design Standards which were adopted by Village Ordinance No. 2392 require drive-aisles to be a minimum of 26 feet in width when they have parking on both sides. A revision will be necessary.
16. The proposed drive-through lanes do not include a "bypass" or "escape" lane. The Zoning Ordinance does not require such a lane, but it is common practice for drive-through facilities. If such a lane is to be provided, the Site Plan would need to be revised.

Tree Preservation Plan

1. The applicant conducted a Tree Survey of approximately 324 trees that are located on and offsite from the 5.92-acre overall property. These trees were tagged and numbered.
2. The applicant has submitted a Tree Preservation Plan which depicts the existing trees to be preserved and other trees to be removed due to their condition, structure or health reasons. 105 trees are labeled as being located offsite. 71 trees are labeled for removal. 148 trees are labeled for preservation.
3. A total of 25 of the 71 existing trees that are labeled for removal are considered "Preservation Trees" per the Landscape Ordinance. These trees require a replacement rate based on their caliper size (1 inch replaced per 1 inch removed). A total of 380 inches of new trees are proposed to mitigate those trees which would be removed.

Landscape Plan

1. The applicant has submitted a Landscape Plan which depicts the proposed new trees and other plantings.
2. Given the location of an adjacent roadway, the Landscape Ordinance requires a "Transition Yard" as a buffer along the roadway within a minimum 25-foot-wide landscape yard. Per the Village's Landscaping Regulations, the required landscaping in transitional yards shall be comprised of a combination of overstory trees, evergreen trees, ornamental trees, and large shrubs. If shrubs are used, they shall be installed at a minimum height of five feet. Additional small shrubs may be used but shall not count towards meeting the landscape requirements. Also, a minimum of a 25-foot-wide landscaped screen consisting of a minimum of 125 plant units per 100 linear feet of frontage measured along the length of a common boundary between two units. Forty percent of the plant material (by unit count) must be evergreen. The landscape plan shall include a landscape berm of no less than 3 feet in height, and shall be located in a landscape easement. The regulations state that exceptions will be considered if the berm is determined to conflict with the natural or proposed drainage ways. It should be noted that the existing public sidewalk is located within the western edge of the required 25-foot landscape yard. Staff believes that there would still be adequate width within the landscape yard for the required plantings and berm if the latter is provided.
3. The Landscape Plan depicts interior and perimeter parking lot landscaping.
4. The Landscape Plan depicts foundation plantings around the west, south and east sides of the building.
5. The Landscape Plan depicts plantings with the required drive-through lane landscape buffer. It should be noted that the landscape buffer on the east side of the building will need to be shifted to the outer edge of the drive-through lanes to comply with the Sign Regulations.

Engineering Plans

1. The applicant has submitted Engineering Plans which are under review by the Village's consulting engineer.

Architecture

1. Color Building Elevations have been submitted.
2. The overall architectural style is reminiscent of other similar commercial buildings that have been built along La Grange Road over the past 20 years.
3. The proposed building includes a gabled roof with architectural grade asphalt shingles. The interior of the roof would be a flat roof for the placement of the rooftop mechanical units. Staff is awaiting details on the height of the rooftop mechanical units, as the Frankfort Fire District has recently requested that parapet walls (in this case a gabled roof) be no higher more than 42 inches from the interior roof deck to provide a measure of safety for firefighters who may need to transition from a ladder truck onto the interior roof deck and vice versa.
4. The proposed single-story building includes four glass storefronts with a pediment above each.
5. The proposed Dunkin' Donuts pediment is rectangular to differentiate it from the other 3 tenant spaces.
6. The primary exterior building material is full dimensional brick on all four elevations.
7. Four rows of split-face concrete block are depicted for the wainscot material on all four elevations.
8. Other accent materials include fiber cement panels for the signage areas under the pediments, as a horizontal banding element on all four elevations just below the roofline, as a vertical accent adjacent to the north and south storefronts, and as a vertical accent on the south and east elevations to break up the long brick walls. Fiber cement siding is also proposed under the Dunkin' Donuts wall sign and on the north elevations above and adjacent to the drive-through pick-up window. A small accent wall of the same fiber cement siding is also proposed to the left of the drive-through window on the north elevation.
9. The submitted building elevations depict metal beams that serve as quasi-canopies above each glass storefront.
10. Staff has suggested that a horizontal accent band consisting of smooth stone to complement the wainscot color be provided near the upper portion of the four elevations, in line with the proposed metal canopies. This would provide another measure of relief to break up the large expanses of brick walls.
11. Staff has suggested that the white and pink striped portions of the fiber cement siding on the north elevation be replaced with the brown color fiber cement siding.
12. Elevations for the proposed trash enclosure have not been provided at this time. The exterior materials of the trash enclosure must include masonry materials to match the building per the Municipal Code.

Photometrics Plan

1. A Photometrics Plan, along with the proposed building and parking lot light fixtures and light pole specifications, have been submitted.
2. The Photometrics Plan depicts 8 parking lot light poles, with modern LED fixtures mounted at 27 feet. The Zoning Ordinance allows a maximum mounting height of 20 feet. A revision will be necessary.
3. No building lighting is depicted on the Photometric plan.
4. The Photometric Plan appears to be complaint with the maximum allowable 0.5 foot-candles of illumination at the property lines.

Signage

1. A Uniform Sign Plan has not yet been submitted as required by the Sign Regulations. However, the proposed wall sign locations and dimensions are depicted on the Building Elevations sheet.
2. For Dunkin' Donuts, which could be considered the anchor tenant, the submitted building elevations reflect one wall sign on the west elevation facing La Grange Road comprised of internally illuminated channel letters in the orange and pink corporate colors. The proposed location and dimensions of the wall signs for the other three tenant spaces are noted on the Building Elevations. Although the tenants for those spaces are not presently known, those future wall signs would be comprised of internally illuminated channel letters in gray color for some measure of uniformity. Any future wall signs would need to be submitted for staff review prior to issuance of a Sign Permit to confirm that the overall sign area for each wall sign complies with the Sign Regulations, which allow 1 square-foot or sign area for each linear foot of tenant space storefront wall width.
3. The submitted Building Elevations depict metal beams that serve as quasi-canopies above each glass storefront. For the Dunkin' Donuts tenant space, the metal beam wraps around the corner along a portion of the north elevation and is depicted with a gray color to match the other tenant spaces.
4. One new freestanding tenant panel sign is proposed but the applicant has submitted two options for the workshop discussion. Option 1 includes a proposed height of 7 feet and a total sign face area of 30 square feet. The proposed area of 30 square feet does not comply with the maximum 15 square feet for a multi-tenant sign for a building less than 9,999 square feet. The proposed sign would allow each of the four tenant panels to provide 12" letters. Option 2 includes a proposed height of 6 feet, 1 inch, and a total sign face area of 15 square feet. The proposed area of 15 square feet does comply with the maximum 15 square feet for a multi-tenant sign for a building less than 9,999 square feet. The proposed sign would allow each of the four tenant panels to provide 8" letters, whereas a minimum of 12" letters are permitted per the Sign Regulations.
5. The proposed free-standing sign would include side columns of brick material to match the brick on the building and to conceal the outer metal ends of the sign cabinet. The sign base would consist of split-face concrete masonry unit block to match the wainscot on the building.
6. For context, there are a variety of free-standing signs along La Grange Road, some of which predate the Sign Regulations. The adjacent Vineyards Shopping Center to the south includes a freestanding sign that has internally illuminated sign panels. Newer free-standing signs in the vicinity of the subject property such as at the Frankfort Commons (Aldi) Shopping Center, include free-standing signs that have a brick background with non-illuminated tenant panels. For those types of signs, ground-mounted lighting is typically directed at each sign face. The proposed freestanding sign includes internally illuminated sign panels. The Sign Regulations allow both types of sign illumination, but internally illuminated signs must have an opaque background with only the letters and logo illuminated. Therefore, the proposed sign will need to be revised to reflect darker opaque background behind the text. All sign illumination must comply with Section 151.101 of the Sign Regulations.

Standards for Special Uses

For reference during the workshop, Article 3, Section B, Part 6 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Plan Commission must use to evaluate every special use request.

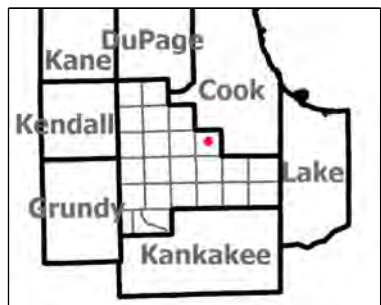
The Plan Commission shall make written findings of fact and shall refer to any exhibits containing plans and specifications for the proposed special use, which shall remain a part of the permanent record of the Plan

Commission. The Plan Commission shall submit same, together with its recommendation to the Village Board for final action. No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.



Lot 2 in Powell's Resubdivision



Legend

Roadways

- Federal
- State
- County
- Local and Private

Parcels

Townships

Notes

Date: 9/18/2023

1: 2,257



0 0.04 0.07 Miles

Projection

WGS_1984_Web_Mercator_Auxiliary_Sphere

Disclaimer of Warranties and Accuracy of Data: Although the data developed by Will County for its maps, websites, and Geographic Information System has been produced and processed from sources believed to be reliable, no warranty, expressed or implied, is made regarding accuracy, adequacy, completeness, legality, reliability or usefulness of any information. This disclaimer applies to both isolated and aggregate uses of the information. The County and elected officials provide this information on an "as is" basis. All warranties of any kind, express or implied, including but not limited to the implied warranties of merchantability, fitness for a particular purpose, freedom from contamination by computer viruses or hackers and non-infringement of proprietary rights are disclaimed. Changes may be periodically made to the information herein; these changes may or may not be incorporated in any new version of the publication. If you have obtained information from any of the County web pages from a source other than the County pages, be aware that electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended that careful attention be paid to the contents of any data, and that the originator of the data or information be contacted with any questions regarding appropriate use. Please direct any questions or issues via email to gis@willcountyillinois.com.

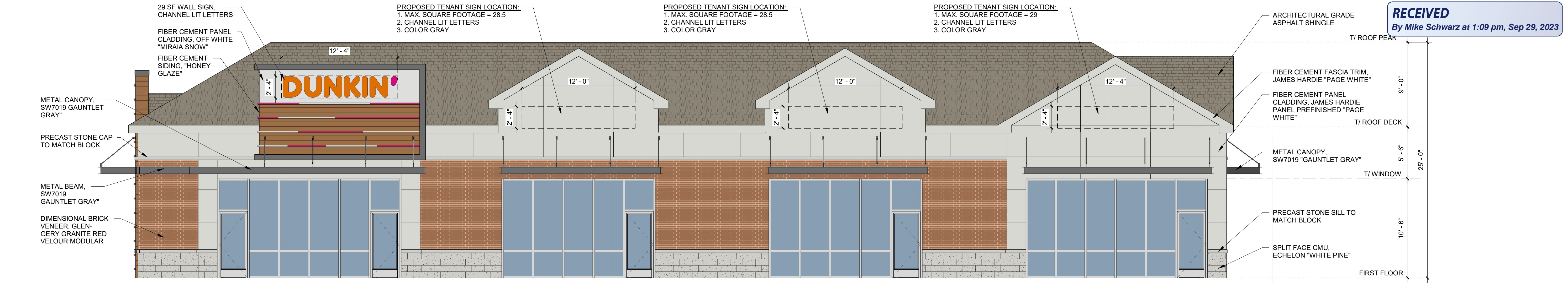
Site Photos – Lot 2 in Powell Resubdivision



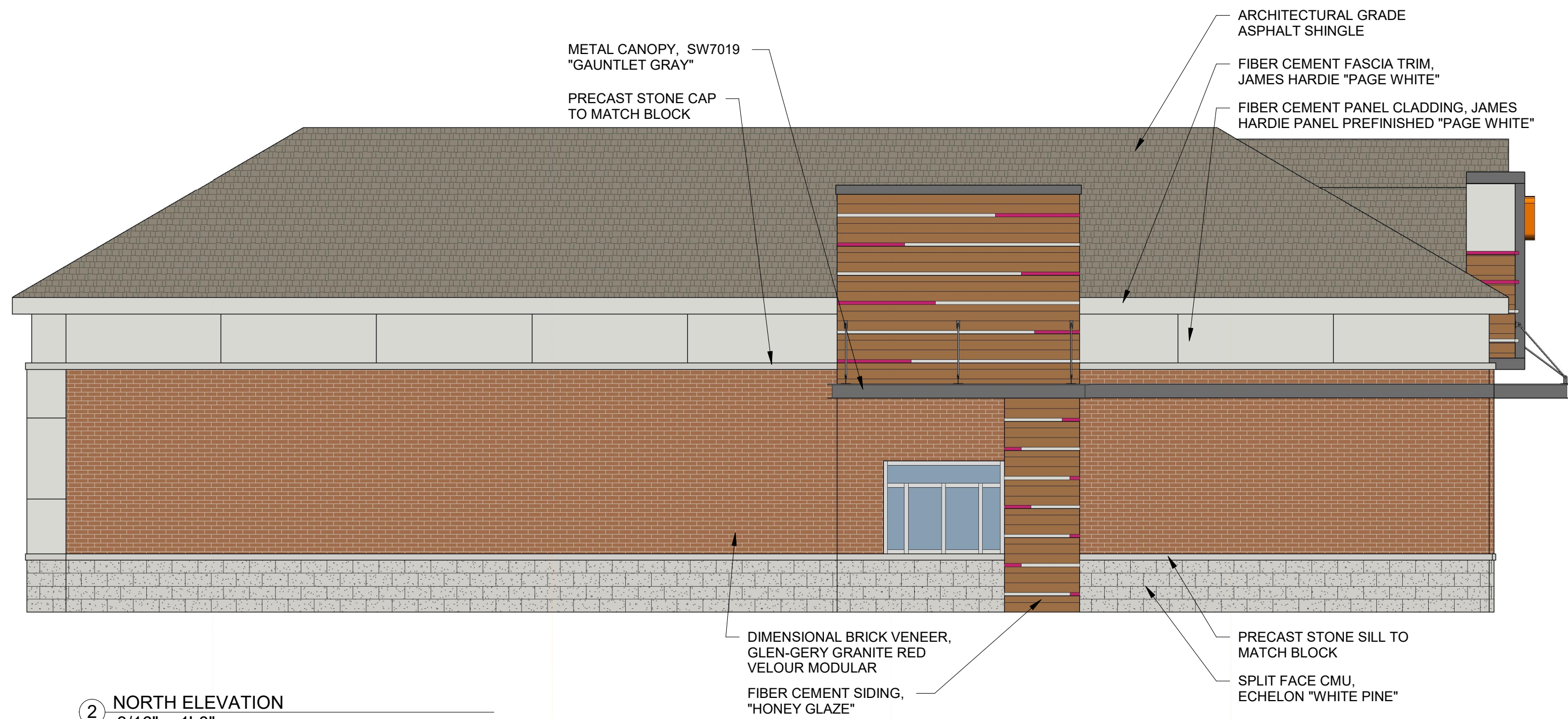
Figure 1: Lot 2 in Powell Resubdivision, viewed looking east from La Grange Road (south end of site).



Figure 2: Lot 2 in Powell Resubdivision, viewed looking east from La Grange Road (north end of site).



1 WEST ELEVATION
3/16" = 1'-0"



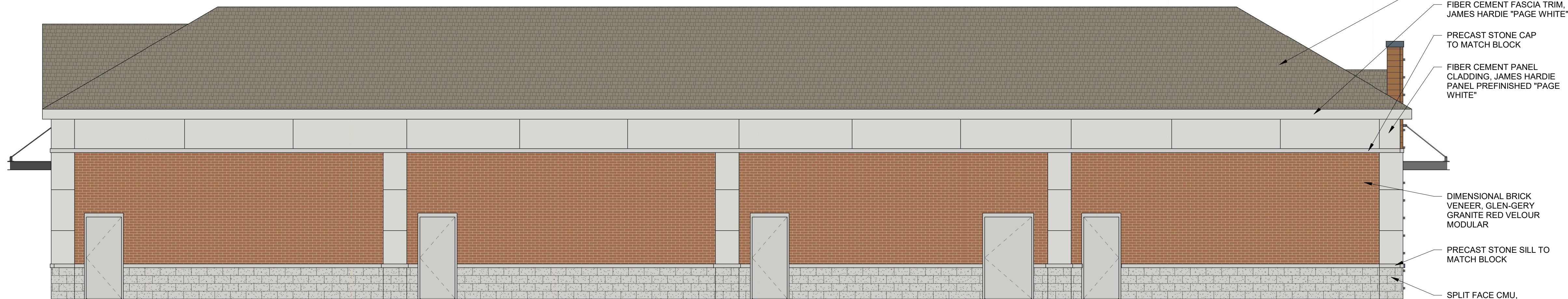
2 NORTH ELEVATION
3/16" = 1'-0"



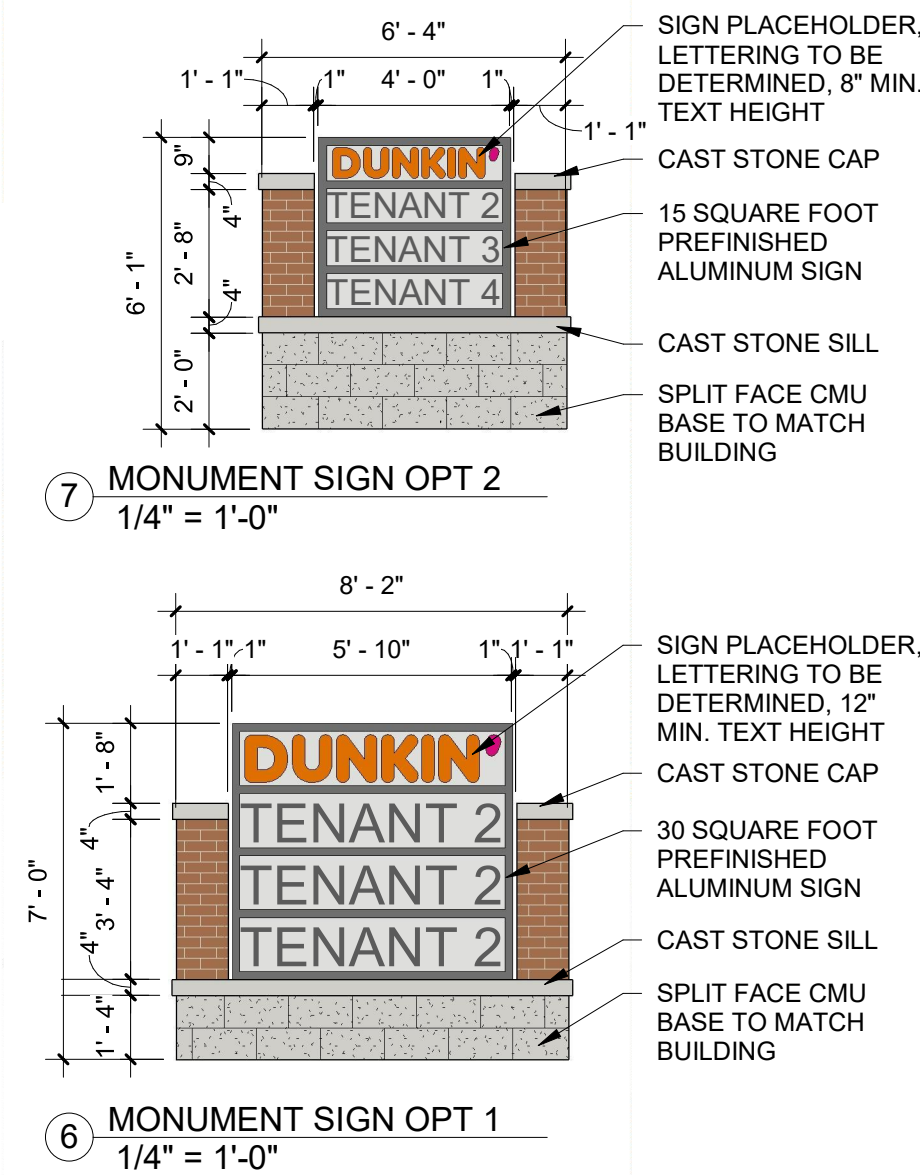
5 3D View 1



3 SOUTH ELEVATION
3/16" = 1'-0"



4 EAST ELEVATION
3/16" = 1'-0"



7 MONUMENT SIGN OPT 2
1/4" = 1'-0"

6 MONUMENT SIGN OPT 1
1/4" = 1'-0"

CLIENT;

New Construction:
**PROPOSED DUNKIN' &
RETAIL**
20400 S. La Grange Road
Frankfort, IL 60423

REVISIONS:		
#	DESCRIPTION	DATE
1	ZONING REVIEW	08-31-23

Franklin Multitenant Development**Exterior Finishes****Brick Veneer:**

Glen-Gery "Granite Red Velour" modular

**Split Face CMU:**

Echelon "White Pine"





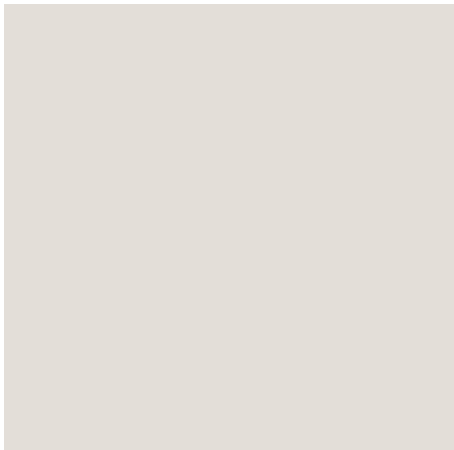
Asphalt Shingle Roof:

Certain Teed Landmark "Weathered Wood"



Fiber Cement Panels:

Painted Sherwin Williams "Incredible White" SW7028



RECEIVED
By Mike Schwarz at 10:48 am, Sep 01, 2023

KORU

ARCHITECTS | ENGINEERS | SURVEYORS

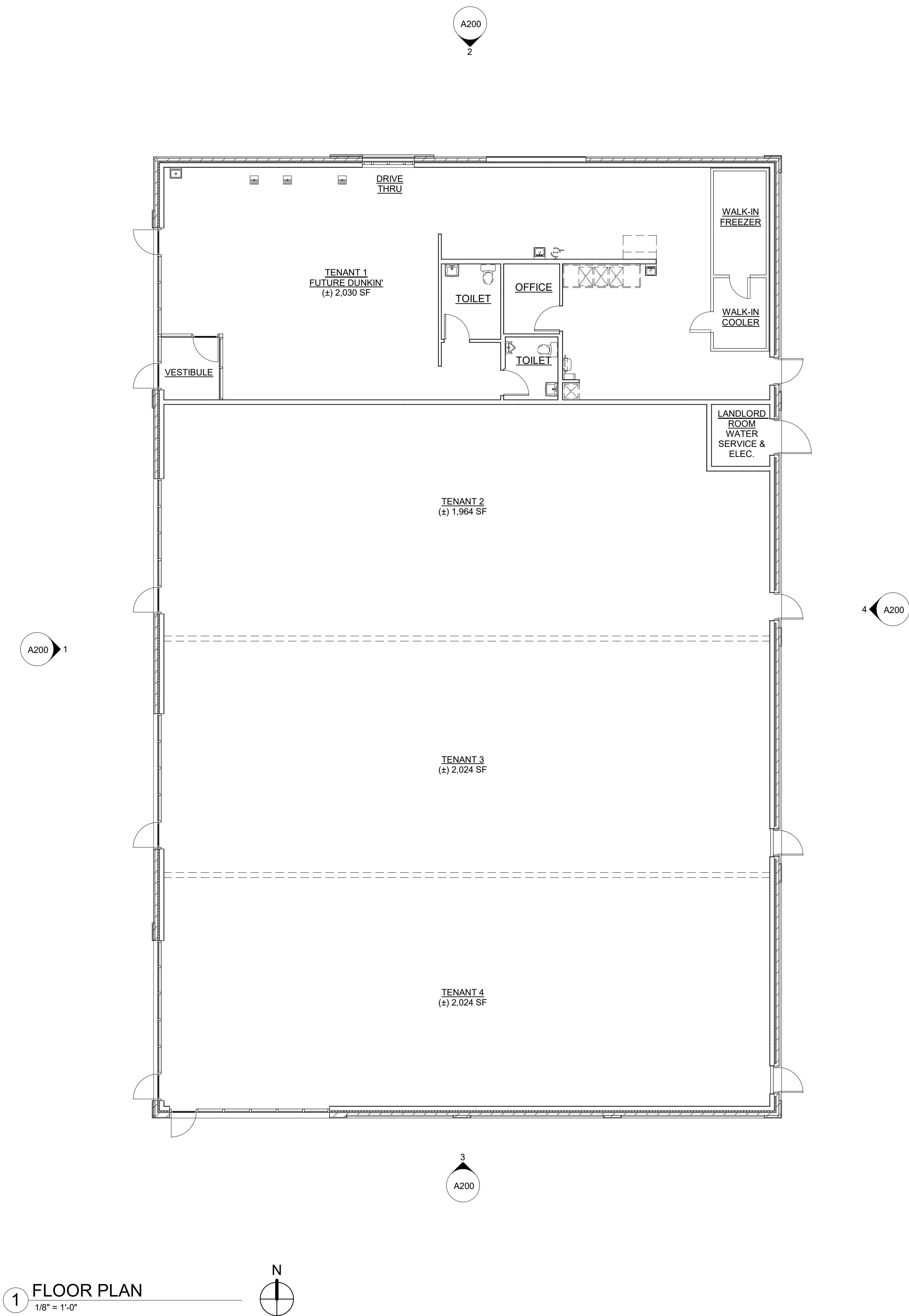
Koru Group, PLLC

2135 CITY GATE LANE, SUITE 330
NAPERVILLE, IL 60563

PROFESSIONAL DESIGN FIRM

NO. 184.008901-0012

IF PRINTED TO SCALE, BOTH THESE BARS WILL MEASURE 1"



CLIENT:

New Construction:
PROPOSED DUNKIN' & RETAIL
20400 S. La Grange Road
Frankfort, IL 60423

REVISIONS:

#	DESCRIPTION	DATE
1	ZONING REVIEW	08-31-23

FILE NAME:

DRAWN BY: LMB REVIEWED BY: ERC

SHEET TITLE:

FIRST FLOOR PLAN

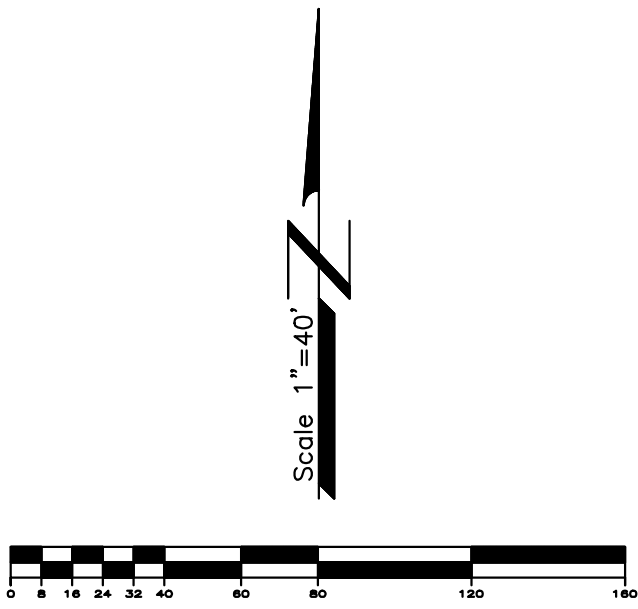
SHEET NO.

A101

FRANKFORT, IL

PROJECT NUMBER: 23005	
DRAWN BY: DJK	REVIEWED BY: SRK
SHEET TITLE:	
COVER SHEET	
SHEET NO.	
C0.1	

STEVEN R. KUDWA, P.E. LICENSED ENGINEER # 062-054950



SITE DEMOLITION LEGEND

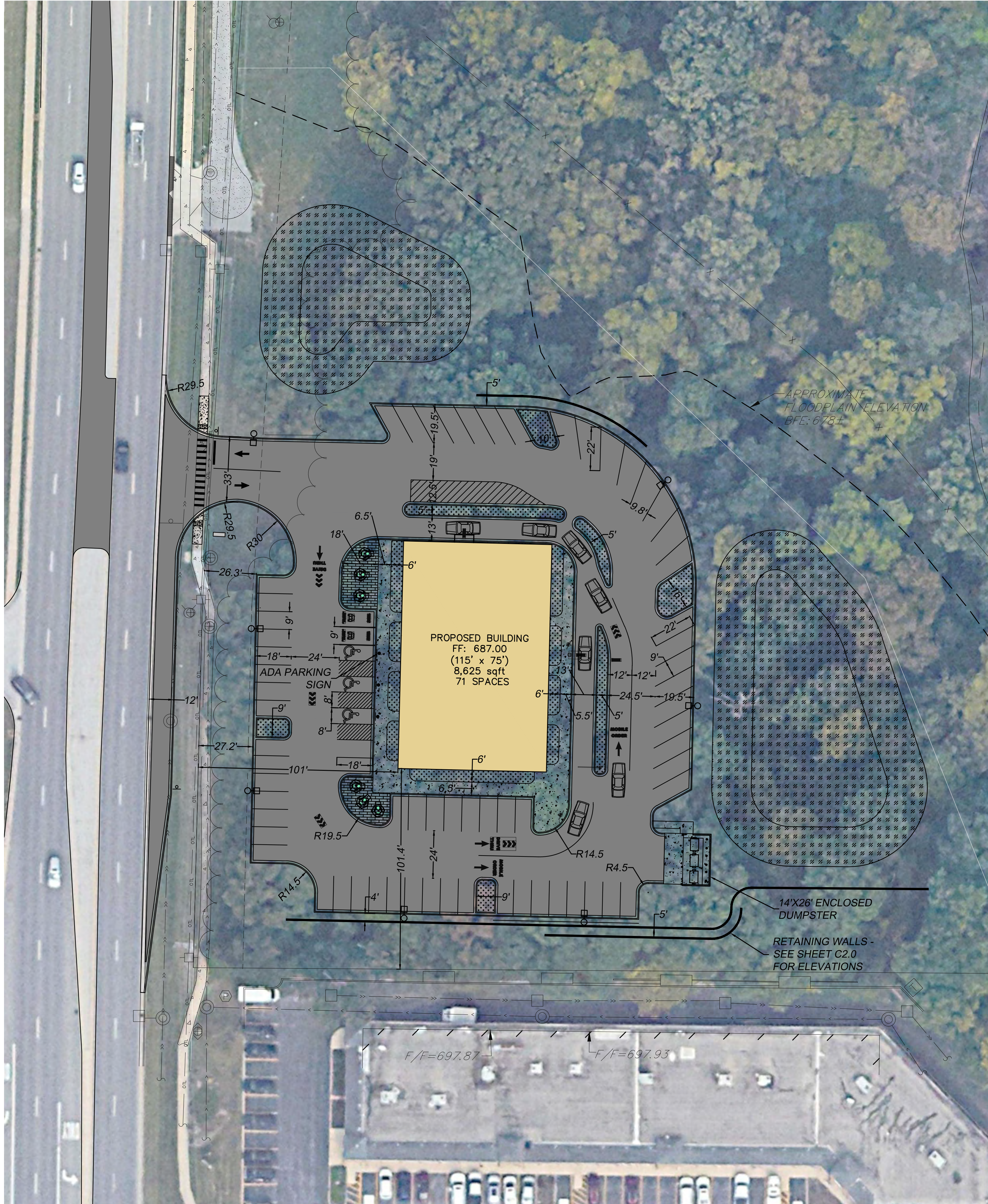
	TO REMAIN	TO BE REMOVED
Watermain	— W —	— W —
Storm Sewer	— >> —	— >> —
Sanitary Sewer	— > —	— > —
Overhead Electric	— OHL —	— OHELEC —
Electric	— E —	— E —
Telephone	— T —	— T —
Gas	— G —	— G —
Storm Manhole	⊙	⊙
Sanitary Manhole	⊙	⊙
Valve Vault/B-Box	⊗	⊗
Storm Inlet	⊕	⊕
Fire Hydrant	●	●
Utility Pole	●	●
Curb & Gutter	≡	≡
Contour	--- 693 ---	---
Trees	⊙	⊗
Street Light	⊙	⊗
Telephone	⊙	⊗
Concrete	⊙	⊗
Sign	⊙	⊗
Fence	— X —	— X —
Vegetation Removal		⊗
Concrete Removal		⊗

SITE DEMOLITION NOTES

1. ALL SEWERS WHICH ARE TO BE ABANDONED SHALL BE REMOVED AND REPLACED WITH APPROVED TRENCH BACKFILL (CA-7) AND COMPACTED TO 95% MODIFIED PROCTOR IF LOCATED IN FUTURE BUILDING AREAS OR 90% IN ANY OTHER LOCATION. PLUGS SHALL BE ON BOTH ENDS OF PIPE FOR A DISTANCE OF 2' AND BE MADE OF NON-SHRINK CONCRETE CONCRETE OR MORTAR.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION AND NOTIFY ENGINEER OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BETWEEN EXISTING CONDITIONS AND PROPOSED DESIGN.
3. ALL EXCESS MATERIAL SHALL BE HAULED OFFSITE AND DISPOSED OF PROPERLY. DEMOLITION DEBRIS SHALL NOT BE BURIED ON SITE UNLESS SOIL ENGINEER HAS APPROVED AS ALLOWABLE BACKFILL.
4. DEMOLITION CONTRACTOR SHALL CALL J.U.L.I.E. PRIOR TO ANY DEMOLITION WORK.
5. ALL UTILITIES TO BE ABANDONED SHALL BE CAPPED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROPRIATE UTILITY COMPANIES AND THE GOVERNING MUNICIPALITY.
6. TRAFFIC CONTROL FOR WORK IN THE RIGHT-OF-WAY SHALL MEET I.D.O.T. STANDARDS PER SECTION 700, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, (AS ADAPTED 2012).
7. CONTRACTOR MUST BARRICADE (INCLUDING WARNING LIGHTS) ALL OPEN EXCAVATIONS TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM ENTERING THE AREA.
8. ALL EXCAVATIONS TO BE FILLED IN 9' LIFTS WITH APPROVED ENGINEER BACKFILL AND COMPACTED TO 95% MODIFIED PROCTOR.
9. EXCAVATION CONTRACTOR SHALL GRADE SITE IN ORDER TO PROVIDE FULL PAVEMENT SECTION PER PAVEMENT DETAIL.
10. A CONSTRUCTION SCHEDULE SHALL BE COORDINATED WITH ALL ADJACENT PROPERTY OWNERS TO MAINTAIN CONTINUOUS ACCESS TO ALL EXISTING DRIVEWAYS.
11. ALL MUD SHALL BE REMOVED FROM ALL CONSTRUCTION VEHICLES PRIOR TO EXITING THE CONSTRUCTION SITE. ANY DIRT AND DEBRIS DEPOSITED ON THE ADJACENT ROADWAYS SHALL BE IMMEDIATELY REMOVED FROM SAID ADJACENT ROADWAYS.
12. ALL MANHOLES TO BE ABANDONED SHALL HAVE THE CONE REMOVED AND BACKFILLED PER THE REQUIREMENTS OF THE APPROPRIATE UTILITY COMPANY AND THE GOVERNING MUNICIPALITY.
13. DEMOLITION OF ALL UTILITIES (INCLUDING BUT NOT LIMITED TO GAS, ELECTRIC, TELEPHONE AND CABLE) SHALL BE COORDINATED WITH THE GOVERNING MUNICIPALITY AND THE UTILITY COMPANIES.
14. EXCAVATE ALL EXISTING LANDSCAPE AREAS, INCLUDING PARKWAYS, TO FULL PAVEMENT DESIGN DEPTH FOR NEW CONSTRUCTION.
15. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL OF ALL VISIBLE AND UNDERGROUND IMPROVEMENTS INCLUDING BUT NOT LIMITED TO ITEMS SHOWN ON THESE PLANS.
16. GROUND IS TO BE GRADED TO HAVE POSITIVE DRAINAGE AND SEEDED OR IMMEDIATE CONSTRUCTION OF THE NEW BUILDING.

REVISIONS:		
#	DESCRIPTION	DATE

PROJECT NUMBER: 23022	
DRAWN BY: DJK	REVIEWED BY: SRK
SHEET TITLE:	
EXISTING CONDITIONS	
SHEET NO.	
C0.2	



LEGEND

PROPOSED CURB & GUTTER		PROPOSED RETAINING WALL	
EXISTING CURB & GUTTER		UNIVERSAL PARKING SPACE	
CONCRETE SURFACE		DUNKIN' BRAND PAVEMENT MARKINGS	
ASPHALT SURFACE		DUNKIN' BRAND MENU PANEL	
BRICK SURFACE		DUNKIN' BRAND HEIGHT BAR	
DETENTION BASINS		PARKING SPACE COUNT	
BUILDING		STOP SIGN, STOP BAR, AND SAFETY SCHOOL CROSSING PER IDOT STANDARDS	
LOADING ZONE (12'X50')		MONUMENT SIGN	
TRUNCATED DOME PANELS		OUTDOOR SEATING	
LANDSCAPE AREAS			
LIGHT POLES			

SITE ANALYSIS

PROPOSED USE: RESTAURANT WITH DRIVE THRU, RETAIL
ZONING DESIGNATION: B-2 COMMUNITY BUSINESS DISTRICT
PARCEL AREA: 5.93 ACRES
DEVELOPMENT AREA: 3.0 ACRES±
PARKING PROVIDED: 72 SPACES
BUILDING AREA: 8,265 SQ. FT.
FLOOR AREA RATIO: 0.033

SITE NOTES

- ALL DIMENSIONS ARE BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE BACK OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO STARTING WORK AND NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND.
- SIDEWALK AROUND PERIMETER OF BUILDING SHALL BE WALK/PAVEMENT UNLESS OTHERWISE SPECIFIED ON PLANS.
- CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION.
- SEE DETAILS FOR BITUMINOUS AND CONCRETE PAVEMENT SECTIONS.
- CONTRACTOR TO PROVIDE TEMPORARY TRAFFIC CONTROL MEASURES DURING CONSTRUCTION OF ENTRANCE IN ACCORDANCE WITH IDOT STANDARDS.
- ADA HANDICAP RAMPS SHALL BE INSTALLED AT ALL LOCATIONS DELINEATED ON PLANS AS WELL AS AT ALL LOCATIONS WHERE SIDEWALK ABUTS DRIVES OR ROADWAYS.
- CONTRACTOR SHALL COMPARE ARCHITECTURAL AND ENGINEERING PLANS FOR INTERFACE COMPATIBILITY.
- ALL CURB AND GUTTER SHALL BE B6:12 UNLESS OTHERWISE NOTED ON PLANS.
- PAVEMENT STRIPING TO BE WHITE, TWO COATS UNLESS OTHERWISE SPECIFIED ON PLANS.

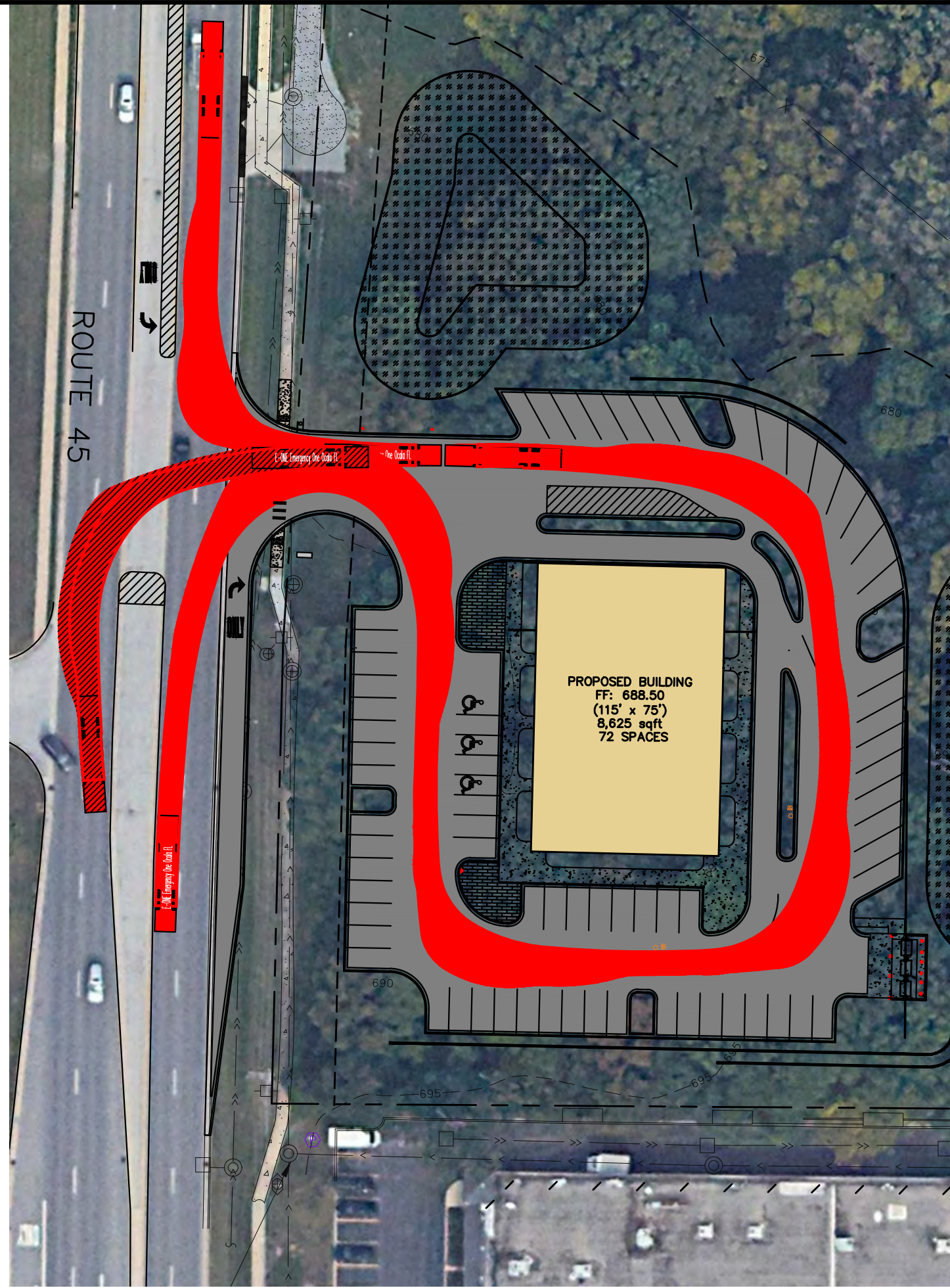
SITE CIVIL PLANS FOR:

DUNKIN'

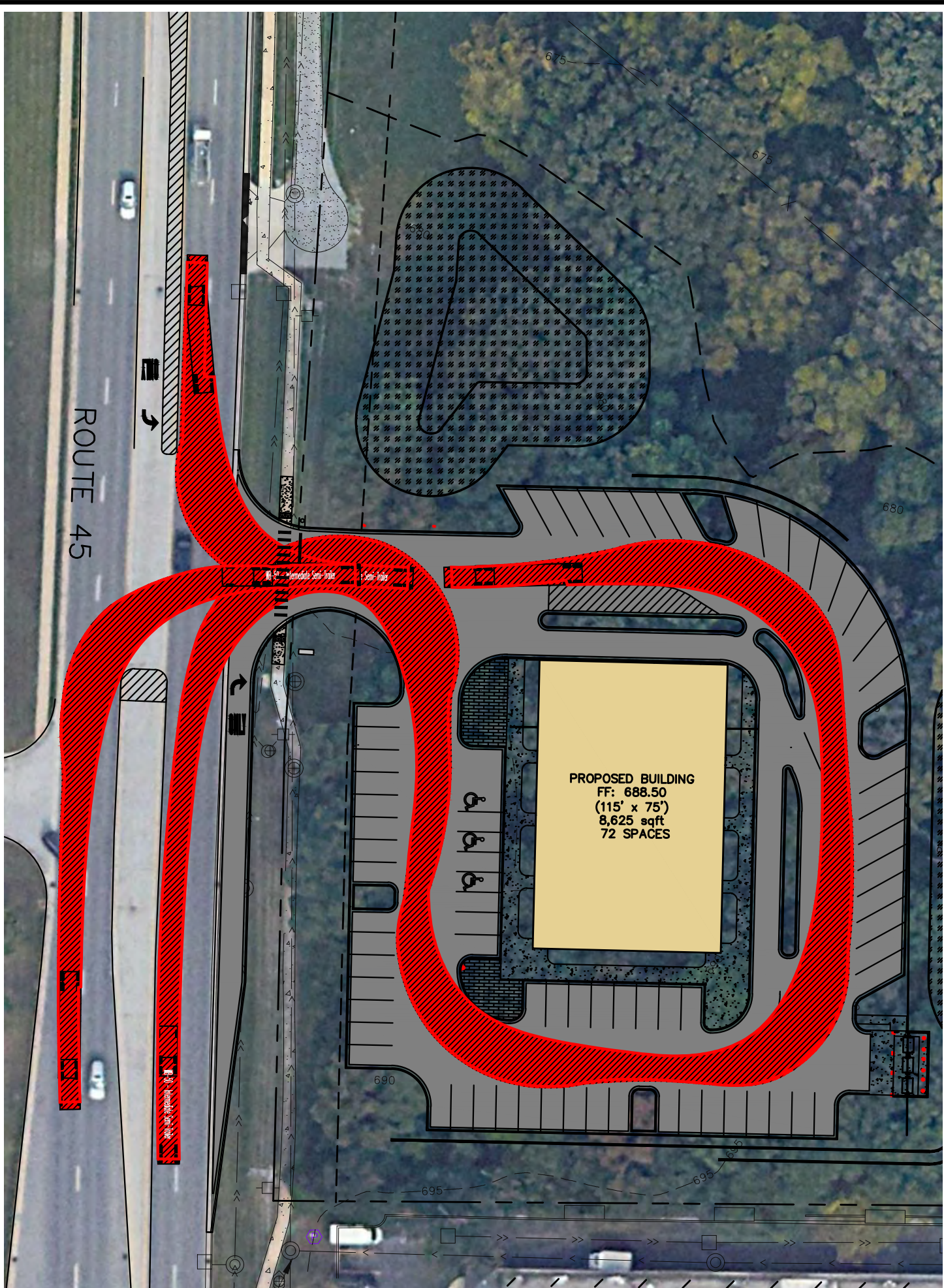
VILLAGE OF FRANKFORT, IL

REVISIONS:		DATE
#	DESCRIPTION	

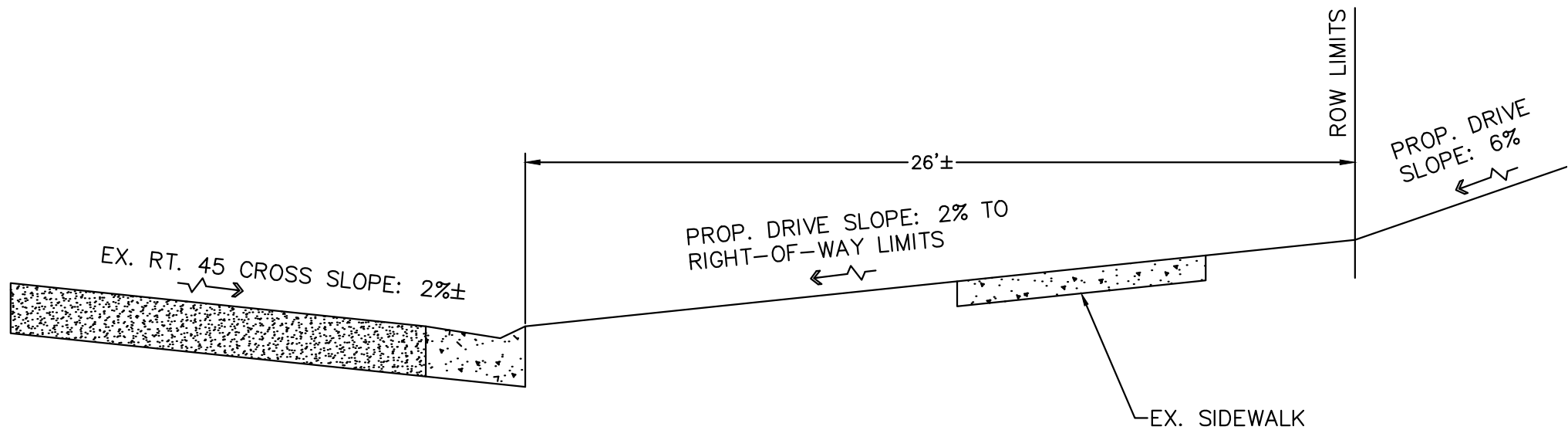
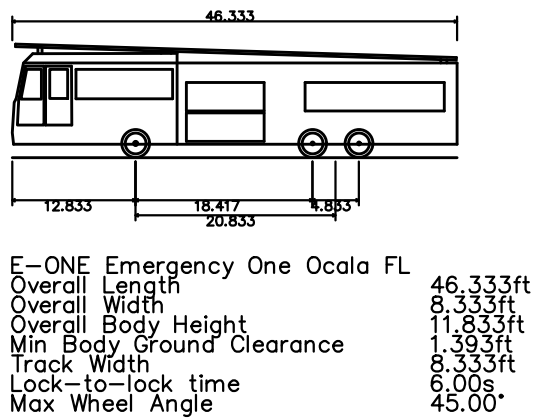
PROJECT NUMBER: 23022	REVIEWED BY: SRK
DRAWN BY: DJK	SHEET TITLE:
SITE PLAN	
SHEET NO.	
C1.0	



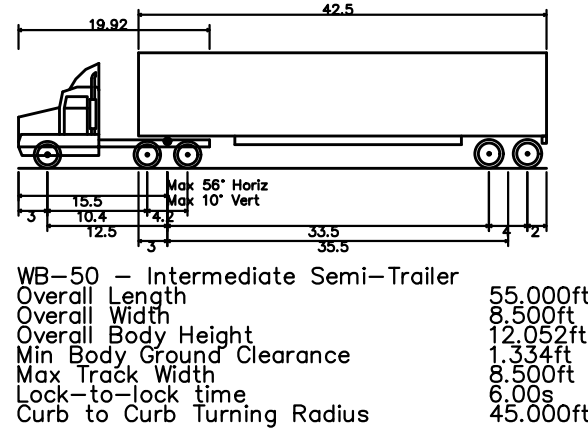
VEHICLE TRACKING — EMERGENCY VEHICLE
SCALE: 1"=50'



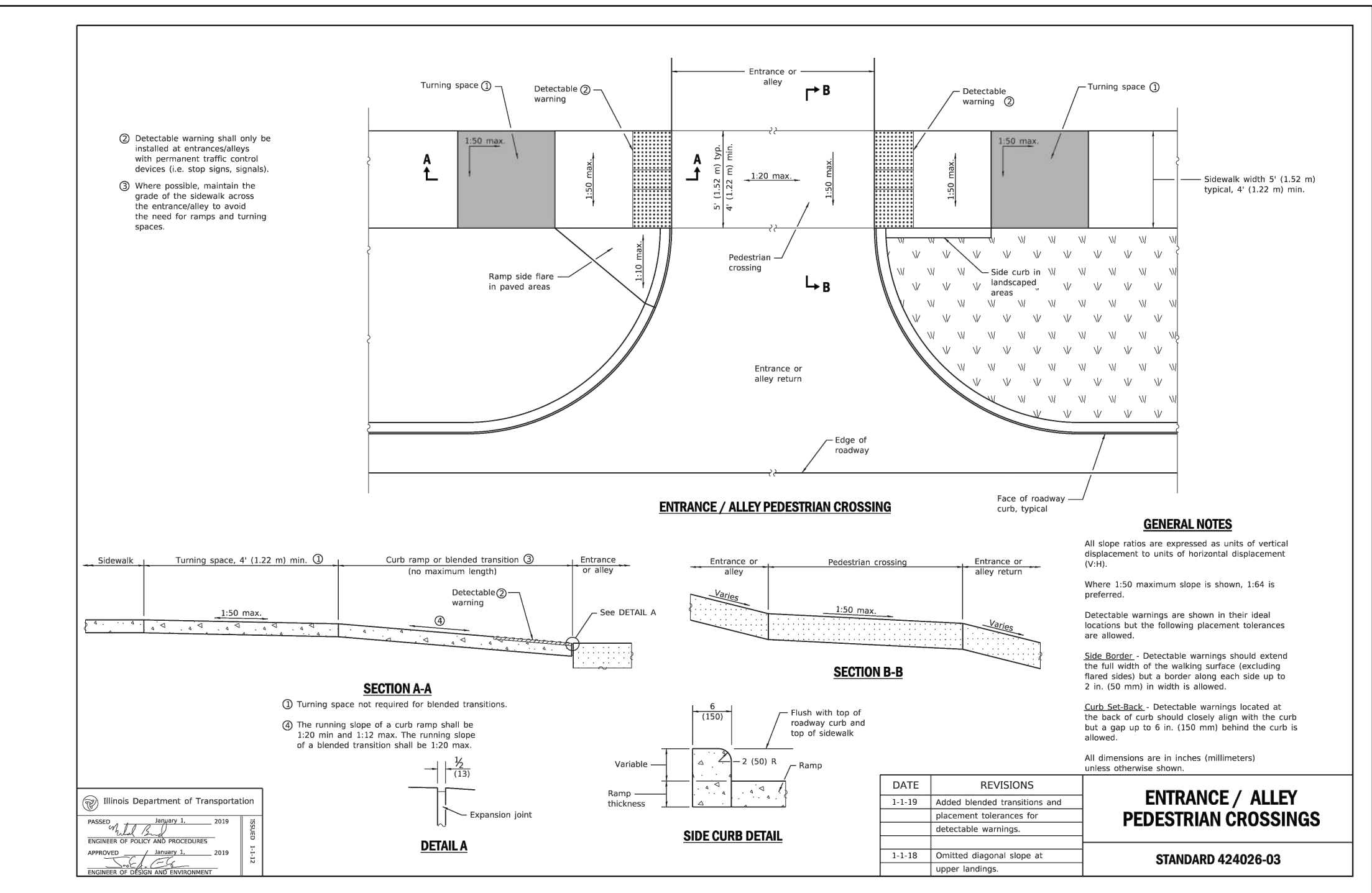
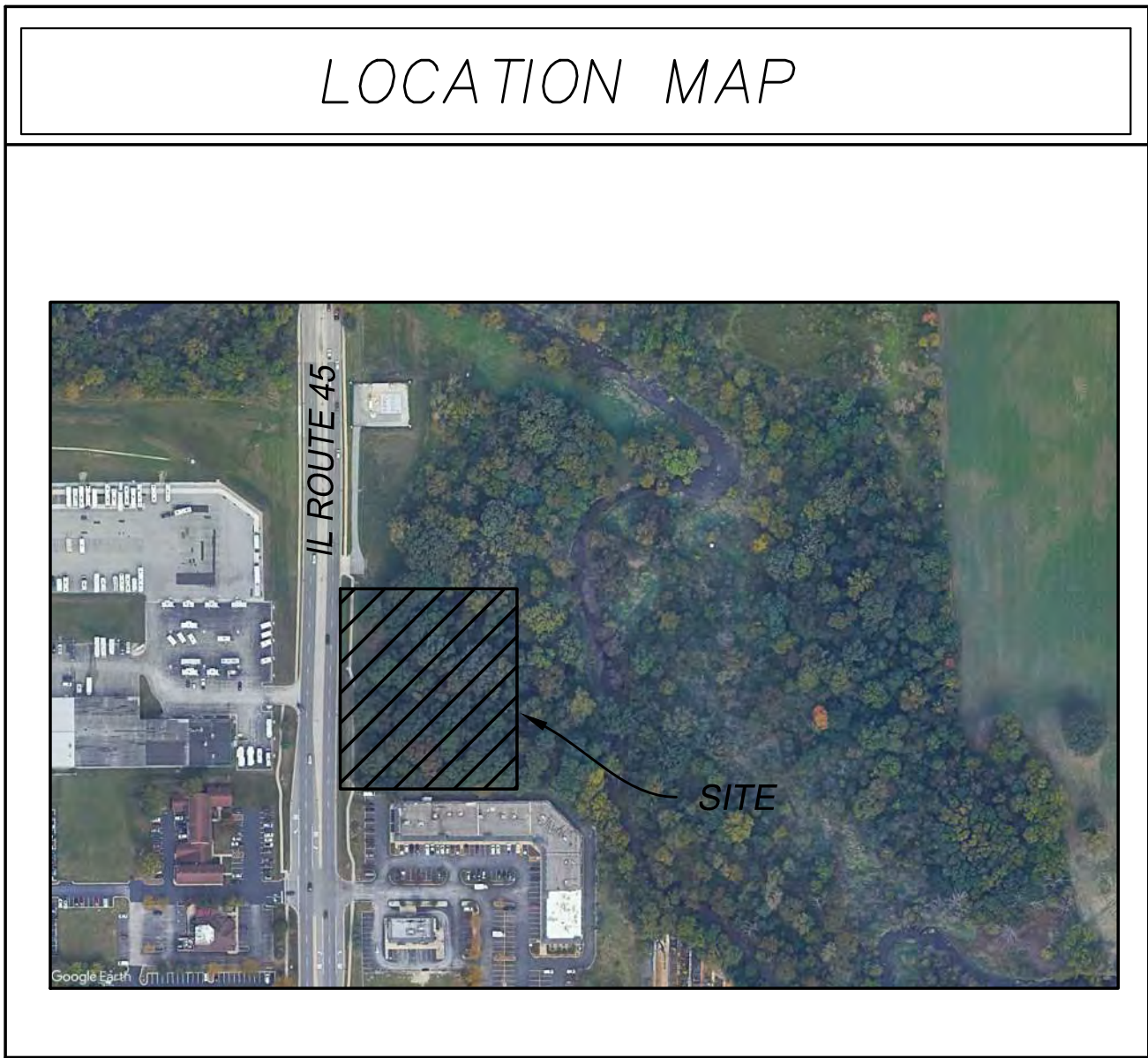
VEHICLE TRACKING — WB-50
SCALE: 1"=50'



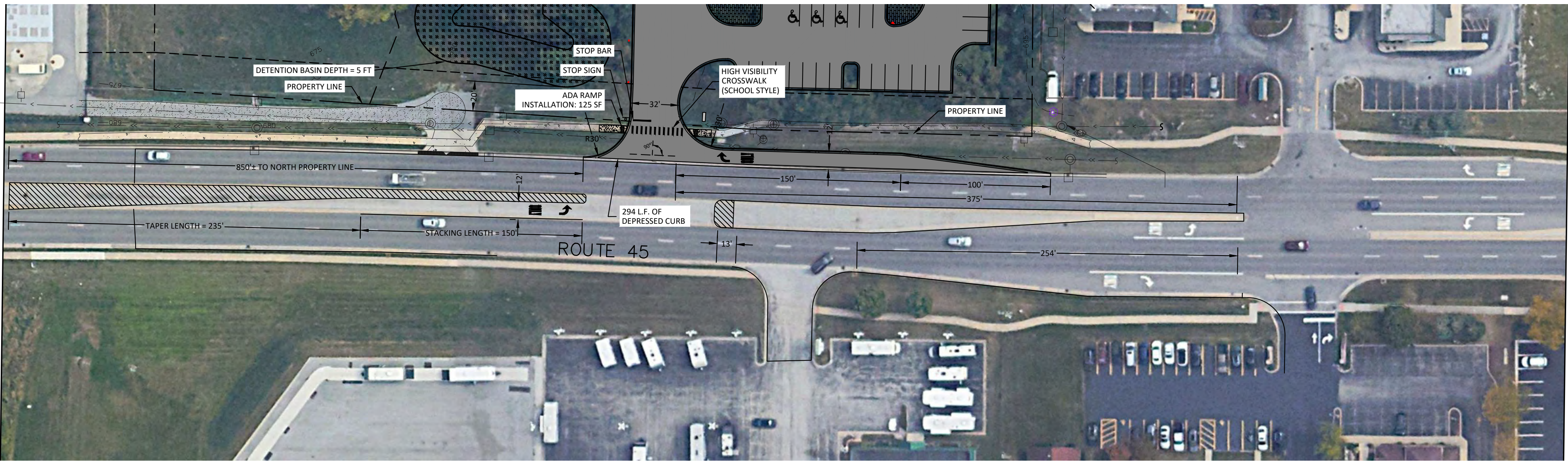
DRIVEWAY APRON — ASCENDING APPROACH
SCALE: NTS



- LEGEND**
- PROPOSED CURB & GUTTER
 - EXISTING CURB & GUTTER
 - CONCRETE SURFACE
 - ASPHALT SURFACE
 - BRICK SURFACE
 - DETENTION BASINS
 - PROPOSED RETAINING WALL



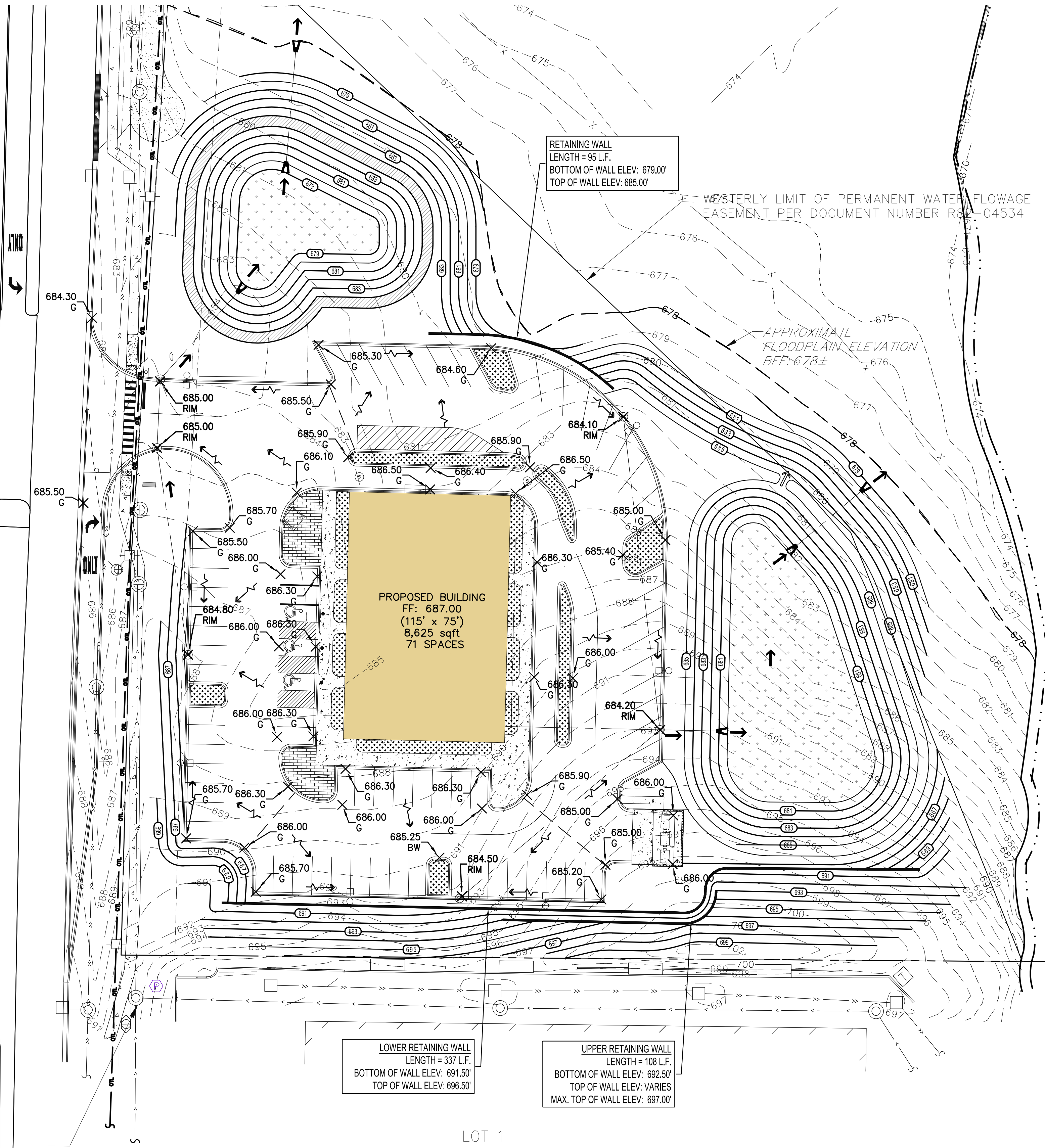
IDOT PEDESTRIAN CROSSING DETAIL
SCALE: NTS



ACCESS DRIVE GEOMETRICS
SCALE: 1"=50'

REVISIONS:		DATE
#	DESCRIPTION	

ROUTE 45



LOT 1
VINEYARDS OF FRANKFORT RETAIL CENTER PER DOC. R96-062586

LEGEND

PROPOSED CURB & GUTTER		PROPOSED RETAINING WALL	
EXISTING CURB & GUTTER		UNIVERSAL PARKING SPACE	
CONCRETE SURFACE		PROPOSED CONTOUR LINE	
ASPHALT SURFACE		EXISTING CONTOUR LINE	
BRICK SURFACE		STOP SIGN, STOP BAR, AND SAFETY SCHOOL CROSSING PER IDOT STANDARDS	
DETENTION BASINS		MONUMENT SIGN	
BUILDING		PAVEMENT GRADE	
LOADING ZONE (12'X50')		EMERGENCY OVERFLOW	
TRUNCATED DOME PANELS		FLOW DIRECTION	
LANDSCAPE AREAS		RIDGELINE	

All proposed grades are edge of pavement unless otherwise noted. See below for top of curb elevation correlation.

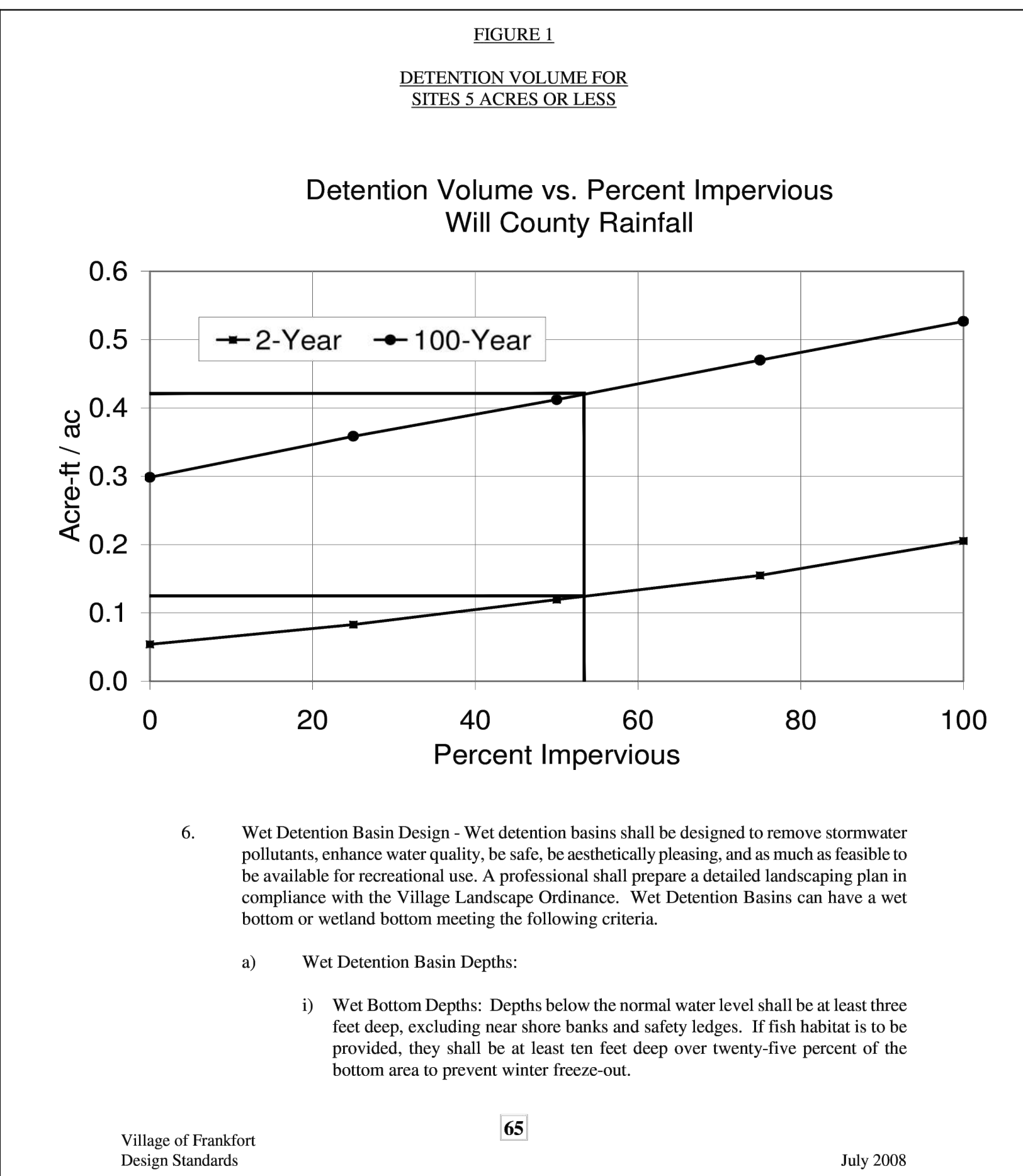
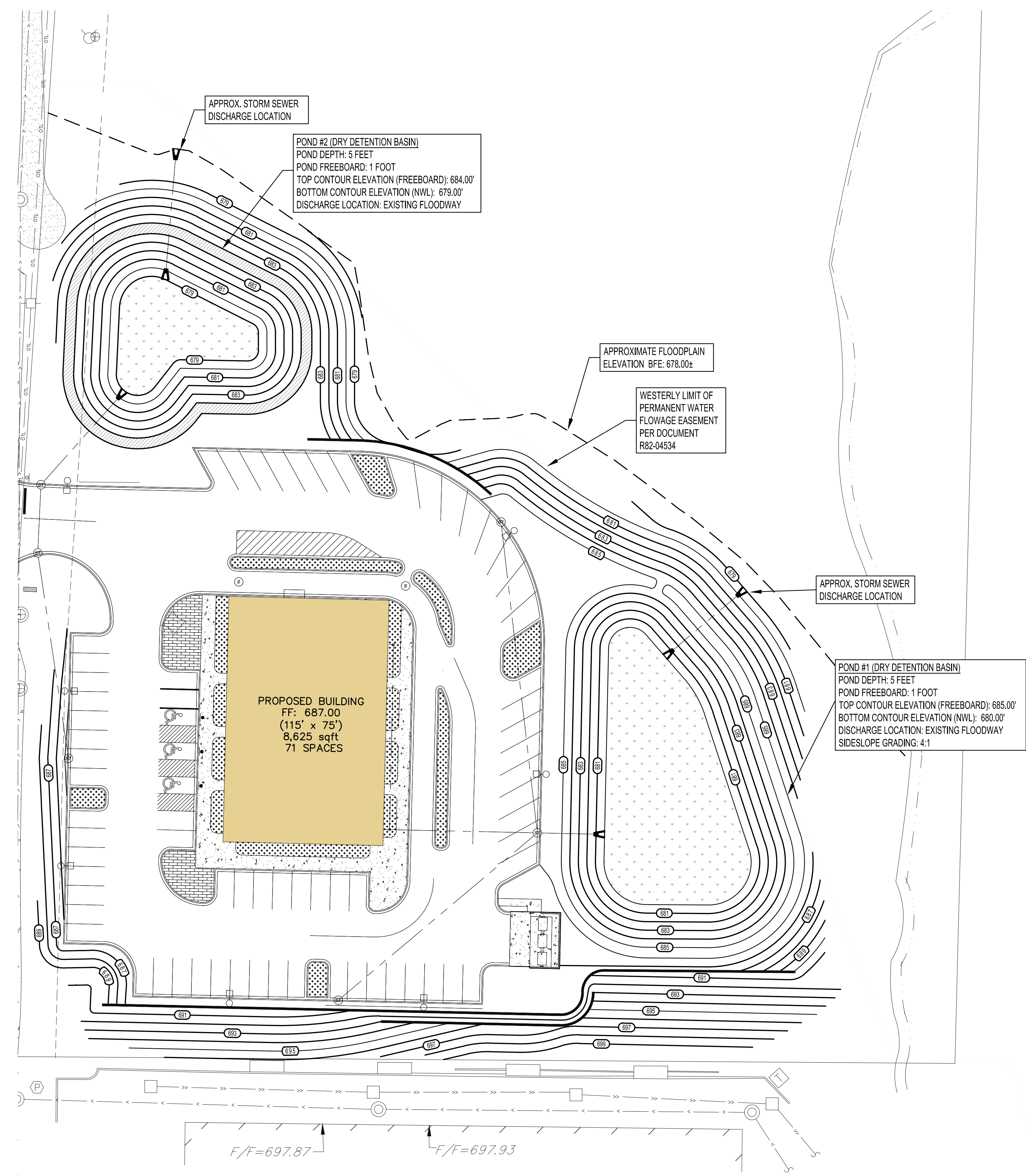
TICURB = (P.V.M.T. GRADE) + 0.42 (NORMAL PITCH CURB)
TICURB = (P.V.M.T. GRADE) + 0.54 (REVERSE PITCH CURB)

GRADING NOTES

- General contractor shall verify existing contours and notify engineer of any discrepancies.
- The general contractor shall spread spoils from utility contractors work to balance the site to the extent possible.
- Erosion control measures include but are not limited to the following: silt fabric shall be placed on each sanitary structure until construction is completed. Fabric shall overlap sanitary manhole opening a minimum of one (1) foot on each side with the solid grate placed on top of fabric to prevent silt from entering sanitary system. Silt fence around perimeter shall remain in place and be maintained until construction is completed. All inlet structures shall be protected with inlet baskets.
- The general contractor is responsible for erosion control measures. Contractor shall install erosion control measures prior to the start of construction and maintain such measures until grading is complete, parking lot is paved and vegetation has been established. If there is no general contractor, it will then be the responsibility of the grading contractor to install and maintain erosion control measures.
- The contractor responsible for the installation of the erosion control devices shall maintain all storm water pollution devices throughout construction and until all unframed or non building areas have a uniform perennial vegetative cover with a density of 70 percent or greater. Maintenance includes weekly inspections or an inspection following a rainfall of 1/2 inch in a 24-hour period. The contractor must submit a copy of the inspection report to the owner and engineer at the end of each month and keep a copy of the report on the construction site until the required vegetation cover is in place.
- If additional erosion control measures not shown on these drawings are required to stop or prevent erosion or are required by any authority having jurisdiction, it shall be the general contractors responsibility to install such devices. The owner or engineer shall be notified of the additional work and cost prior to installation.
- The general contractor shall be responsible for notifying the owner and engineer, in writing, of any additional sources of storm water pollution observed during construction and the additional costs required to prevent additional pollution.
- See soils reports for testing requirements. The final soils reports are dated as follows: Geotechnical Engineering Report prepared by ----- dated -----, 20--.

REVISIONS:		
#	DESCRIPTION	DATE

PROJECT NUMBER: 23022	REVIEWED BY: SRK
DRAWN BY: DJK	SHEET TITLE:
GRADING PLAN	
SHEET NO.	
C2.0	



RUNOFF VOLUME CALCULATIONS

TOTAL DEVELOPED SITE AREA = 2.85 AC (C=0.55)
GREENSPACE = 0.62 AC (C=0.20)
DETENTION BASIN = 1.17 AC (C=0.40)
BUILDING/PARKING LOT = 1.07 AC (C=0.90)

FROM CITY DESIGN STANDARDS:
2-YR MULTIPLIER = 0.12
100-YEAR MULTIPLIER = 0.42
2-YR STORM VOLUME = 0.342 AC-FT
100-YR STORM VOLUME = 1.20 AC-FT

COMBINED STORAGE: 54,284 FT3 (1.25 ACRE-FT)

POND #1: 69%
2-YR STM ELEV: 681.40'
100-YR STM ELEV: 684.00'
POND #2: 31%
2-YR STM ELEV: 690.50'
100-YR STM ELEV: 683.00'

POND 1 - STAGE STORAGE TABLE

ELEV	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
680.000	6,436.66	N/A	N/A	N/A	N/A	0.00
681.000	7,832.25	1.000	N/A	N/A	7123.05	7123.05
682.000	9,326.40	1.000	N/A	N/A	8568.46	15691.52
683.000	10,919.11	1.000	N/A	N/A	10112.30	25803.81
684.000	12,610.37	1.000	N/A	N/A	11754.59	37558.41
685.000	14,400.18	1.000	N/A	N/A	13495.38	51053.78

POND 2 - STAGE STORAGE TABLE

ELEV	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
679.000	2,296.15	N/A	N/A	N/A	N/A	0.00
680.000	3,156.60	1.000	N/A	N/A	2714.99	2714.99
681.000	4,117.33	1.000	N/A	N/A	3626.35	6341.33
682.000	5,177.50	1.000	N/A	N/A	4637.31	10978.64
683.000	6,337.07	1.000	N/A	N/A	5747.53	16726.17
684.000	1,703.57	1.000	N/A	N/A	3775.44	20501.61

Scale 1"=30'

LEGEND

PROPOSED CURB & GUTTER

EXISTING CURB & GUTTER

CONCRETE SURFACE

ASPHALT SURFACE

BRICK SURFACE

DETENTION BASINS

BUILDING

LOADING ZONE (12'X50')

TRUNCATED DOME PANELS

LANDSCAPE AREAS

PROPOSED RETAINING WALL

UNIVERSAL PARKING SPACE

PROPOSED CONTOUR LINE

EXISTING CONTOUR LINE

STOP SIGN, STOP BAR, AND SAFETY SCHOOL CROSSING PER IDOT STANDARDS

MONUMENT SIGN

PAVEMENT GRADE

EMERGENCY OVERFLOW

FLOW DIRECTION

RIDGELINE

KORU
Architects | Engineers | Surveyors
Koru Group, PLLC
2135 CityGate Lane, STE 330
Naperville, IL 60563

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SITE CIVIL PLANS FOR:
DUNKIN'
20400 LA GRANGE ROAD
FRANKFORT, IL

REVISIONS:

#	DESCRIPTION	DATE

PROJECT NUMBER: 23022
DRAWN BY: DJK REVIEWED BY: SRK
SHEET TITLE:
DETENTION BASIN
SHEET NO.
C2.1

IF PRINTED TO SCALE, BOTH THESE BARS WILL MEASURE 1"=30'

ARCHITECT:

STRUCTURAL ENGINEER:

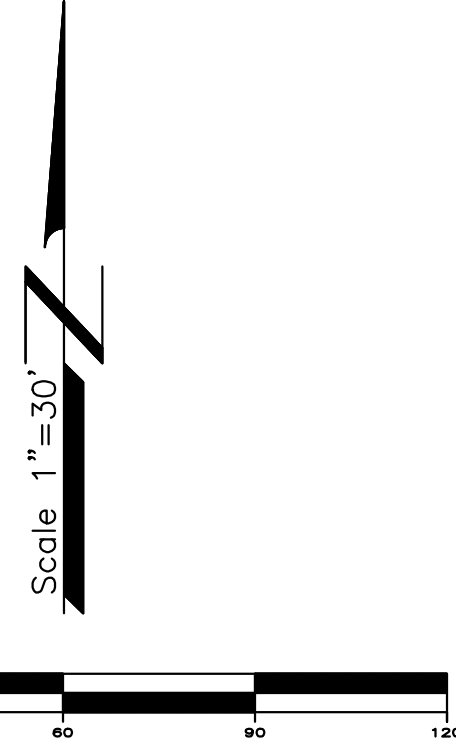
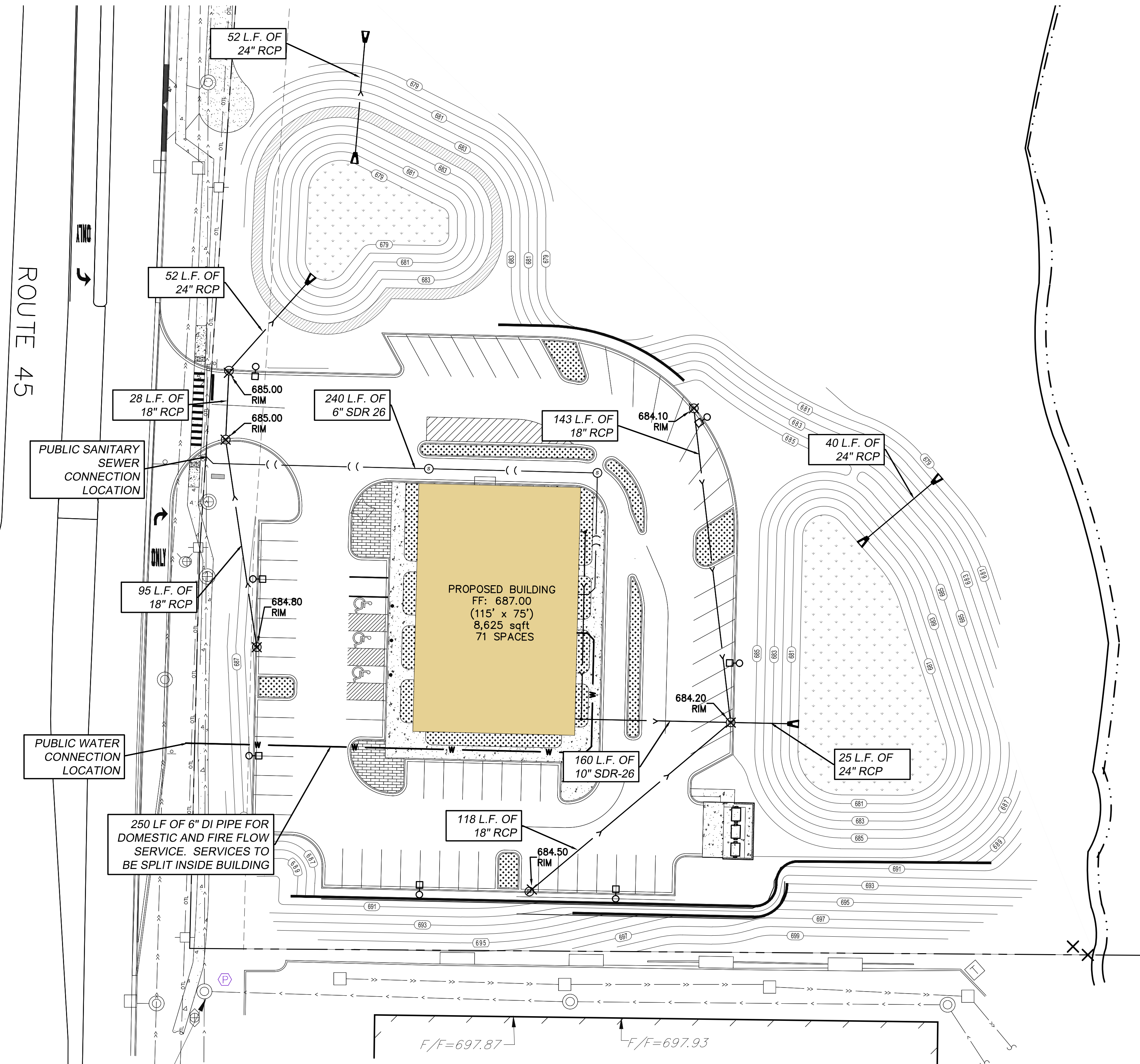
MEP ENGINEER:

CLIENT:

SITE CIVIL PLANS FOR:
DUNKIN'
20400 LA GRANGE ROAD
FRANKFORD, IL

REVISIONS:		
#	DESCRIPTION	DATE

PROJECT NUMBER: 23022	
DRAWN BY: DJK	REVIEWED BY: SRK
SHEET TITLE:	
UTILITY PLAN	
SHEET NO.	
C3.0	



LEGEND

PROPOSED CURB & GUTTER		PROPOSED RETAINING WALL	
EXISTING CURB & GUTTER		UNIVERSAL PARKING SPACE	
CONCRETE SURFACE		PROPOSED CONTOUR LINE	
ASPHALT SURFACE		EXISTING CONTOUR LINE	
BRICK SURFACE		STOP SIGN, STOP BAR, AND SAFETY SCHOOL CROSSING PER IDOT STANDARDS	
DETENTION BASINS		MONUMENT SIGN	
BUILDING		PAVEMENT GRADE	
LOADING ZONE (12'X50')		EMERGENCY OVERFLOW	
TRUNCATED DOME PANELS		FLOW DIRECTION	
LANDSCAPE AREAS		RIDGELINE	
STORM SEWER		ELECTRIC	
SANITARY SEWER		TELEPHONE	
WATERMAIN		GAS	
STORM MANHOLE		VALVE VAULT / B-BOX	
FLARED END SECTION		FIRE HYDRANT	
SANITARY MANHOLE		LIGHT POLES	
		TRANSFORMER	

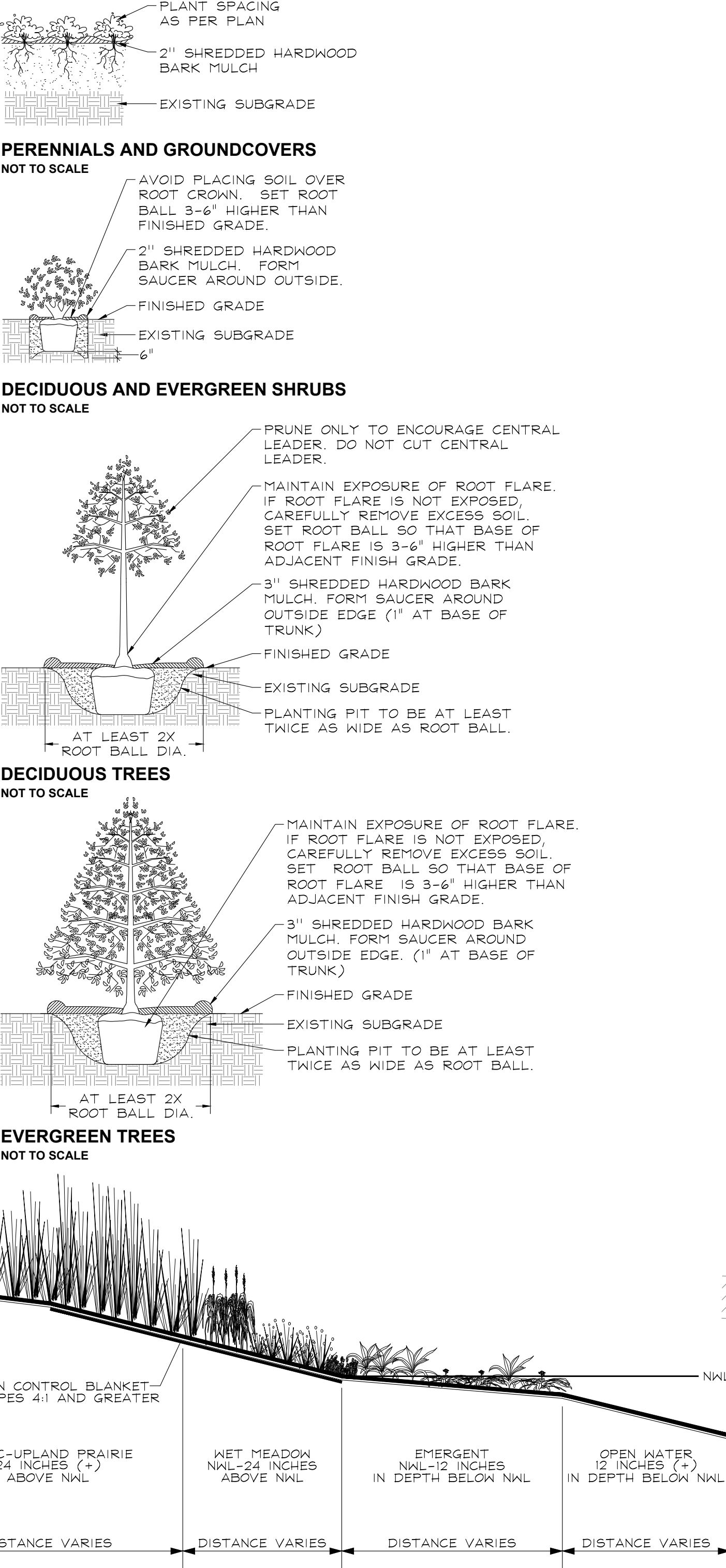
UTILITY NOTES

1. PRECAST CONCRETE SECTIONS FOR MANHOLES, CATCH BASINS, INLETS AND VAULTS SHALL MEET ASTM C478. SANITARY MANHOLES SHALL BE IN COMPLIANCE WITH CITY OF OTTAWA DRG. 1 ON SHEET C7.2 AND SECTION 90-16(A)(2) OF THE CITY OF OTTAWA MUNICIPAL CODE.
2. EXISTING UTILITIES SHOWN ARE FOR INFORMATION ONLY AND ARE NOT NECESSARILY EXCLUSIVE. CONTRACTOR SHALL VERIFY UTILITIES WHERE POSSIBLE AND NOTIFY ENGINEER OF DISCREPANCIES, EXCEPTIONS, OR OMISSIONS AS SOON AS POSSIBLE.
3. NO FILTER FABRIC ALLOWED UNDER FRAMES OR GRATES. ALL STRUCTURES SHALL HAVE INLET FILTERS INSTALLED. ALL INLET PROTECTION SHOULD BE IN ACCORDANCE WITH THE APPROVED STORMWATER POLLUTION PREVENTION PLAN.
4. GENERAL CONTRACTOR SHALL VERIFY SPECIFIC SIZE AND LOCATION OF CONDUIT FOR GAS, ELECTRIC AND TELEPHONE PRIOR TO INSTALLATION.
5. ALL EXISTING DRAIN TILE LOCATED WITHIN THE SITE BOUNDARY SHALL BE REMOVED OR ABANDONED AS NECESSARY. ALL DRAIN TILE ENTERING SITE SHALL BE TIED INTO PROPOSED STORM LINE OR REDROUTED TO MAINTAIN EXISTING DRAINAGE PATTERNS. IN PLACES WHEREBY THE PROPOSED WATERMAIN AND EXISTING ACTIVE DRAIN TILE CROSS, THE WATERMAIN SHALL BE INSTALLED WITH CASING 10 FEET ON EITHER SIDE OF CROSSING.
6. SANITARY PLUGS WILL BE REQUIRED DURING CONSTRUCTION AT ALL EXISTING MANHOLES WHERE PROPOSED CONNECTIONS ARE MADE AND AT THE FIRST MANHOLE OF EACH PROPOSED SANITARY LINE.
7. CONTRACTOR TO SEE LANDSCAPE AND IRRIGATION SPECIFICATIONS IN ARCHITECTURAL PLANS AND CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
8. ALL ROOF DOWNSPOUTS MUST BE DIRECTLY INTO THE STORM SEWER SYSTEM. NO OVERLAND DRAINAGE WILL BE PERMITTED FOR THE ROOF DRAINS.
9. FRAME AND GRATE REQUIREMENTS:
STORM STRUCTURE (PAVEMENT) - NEENAH R-1857 FRAME, R-2857 TYPE G GRATE
STORM STRUCTURE (CURB) - NEENAH R-3281-A TYPE G GRATE
STORM STRUCTURE (GRASS) - NEENAH R-4341-A
SANITARY STRUCTURE - NEENAH R-1713 WITH SOLID LID
EXCEPTIONS TO ABOVE ARE NOTED ON PLANS.

REPRESENTATIVE PLANT LIST

Key	Botanical/Common Name	Size	Remarks
	SHADE TREES		
	Acer x freemanii 'Jeffers Red' AUTUMN BLAZE MAPLE	2 1/2" Cal.	
	Acer x saccharum 'Green Mountain' GREEN MOUNTAIN SUGAR MAPLE	2 1/2" Cal.	
	Celtis occidentalis COMMON HACKBERRY	2 1/2" Cal.	
	Gleditsia tricanthos var. 'Inermis' SKYCOLE SKYLINE HONEYLOCUST	2 1/2" Cal.	
	Quercus bicolor SWAMP WHITE OAK	2 1/2" Cal.	
	Quercus macrocarpa BUR OAK	2 1/2" Cal.	
	Tilia americana 'Redmond' REDMOND AMERICAN LINDEN	2 1/2" Cal.	
	Tilia cordata 'Greenspire' GREENSPIRE LITTLELEAF LINDEN	2 1/2" Cal.	
	Ulmus carpinifolia 'New Horizon' NEW HORIZON SMOOTHLEAF ELM	2 1/2" Cal.	
	ORNAMENTAL TREES		
	Amelanchier x grandiflora APPLE SERVICEBERRY	6' Ht.	Multi-Stem
	Betula nigra 'Cully' HERITAGE RIVER BIRCH	6' Ht.	Multi-Stem
	Cercis canadensis EASTERN REDBUD	6' Ht.	Multi-Stem
	DECIDUOUS SHRUBS		
	Cornus sericea 'Bailey' BAILEY'S REDTWIG DOGWOOD	36" Tall	5' O.C.
	Hydrangea paniculata 'SMHPLQF' LITTLE QUICK FIRE HYDRANGEA	24" Tall	3' O.C.
	Physocarpus opulifolius 'Seward' SUMMER WINE NINEBARK	30" Tall	4' O.C.
	Rhus aromatica 'Gro-low' GRO-LOW SUMAC	24" Wide	4' O.C.
	Syringa meyeri 'Palatin' DWARF KOREAN LILAC	24" Tall	4' O.C.
	Viburnum x juddii JUDD VIBURNUM	36" Tall	4' O.C.
	EVERGREEN SHRUBS		
	Juniperus chinensis 'Kallays Compact' KALLAYS COMPACT FITZGER JUNIPER	24" Wide	4' O.C.
	Juniperus chinensis 'Sea Green' SEA GREEN JUNIPER	30" Wide	5' O.C.
	Taxus x media 'Densiflora' DENSE YEW	24" Wide	4' O.C.
	PERENNIALS		
	Allium 'Summer Beauty' SUMMER BEAUTY ONION	#1	18" O.C.
	Echinacea 'CBG Cone 2' PIXIE MEADOWBRITE CONEFLOWER	#1	18" O.C.
	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY	#1	18" O.C.
	Nepeta racemosa 'Walker's Low' WALKER'S LOW CATMINT	#1	18" O.C.
	ORNAMENTAL GRASSES		
	Calamagrostis x acutiflora 'Karl Foerster' FEATHER REED GRASS	#1	30" O.C.
	Panicum virgatum 'Heavy Metal' HEAVY METAL SWITCHGRASS	#1	24" O.C.
	Schizachyrium scoparium 'Twilight Zone' TWILIGHT LITTLE BLUESTEM	#1	24" O.C.
	Sporobolus heterolepis PRAIRIE DROPSIDE	#1	24" O.C.
	GROUNDCOVERS		
	Euonymus fortunei var. 'Coloratus' PURPLE WINTERCREEPER	#SP4	12" O.C.
	Liriope spicata CREEPING LILYTURF	#SP4	18" O.C.
	Vinca minor 'Dart's Blue' DART'S BLUE PERIWINKLE	#SP4	12" O.C.

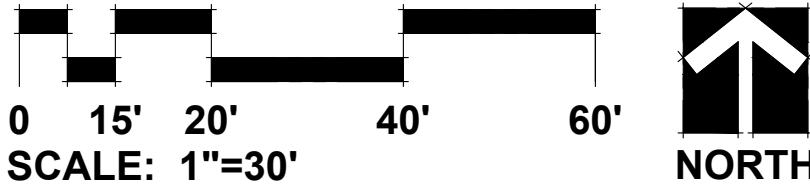
PLANTING DETAILS



PLANT COMMUNITY SECTION
NOT TO SCALE

NATIVE LEGEND

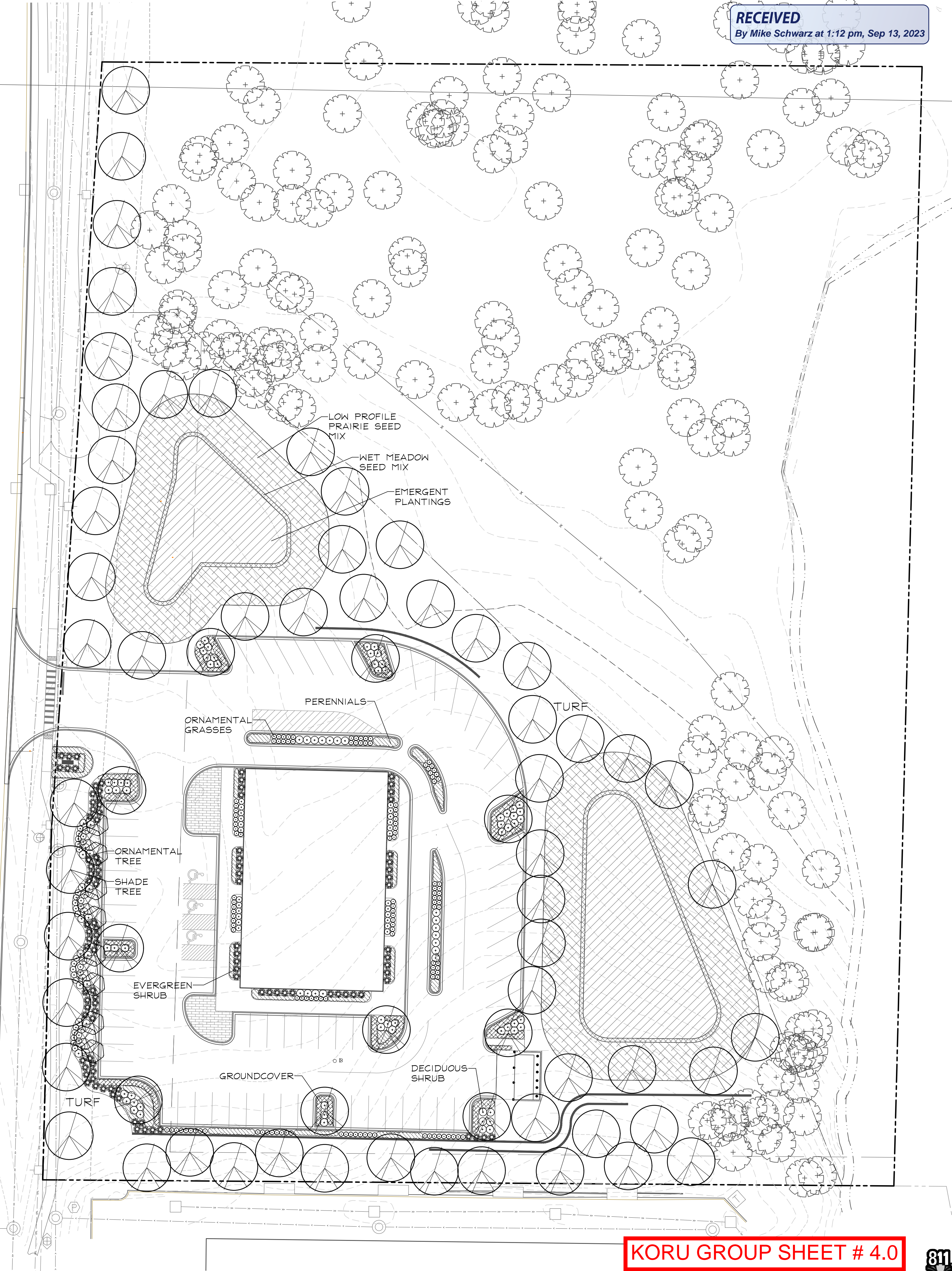
Key	Description
	EMERGENT PLANTINGS
	WET MEADOW SEED MIX
	LOW PROFILE PRAIRIE SEED MIX
	EXISTING TREE



GENERAL LANDSCAPE NOTES

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.

SOUTH LA GRANGE ROAD - ROUTE 45



KORU GROUP SHEET # 4.0

GRWA
GARY R. WEBER
ASSOCIATES, INC.
LAND PLANNING
ECOLOGICAL CONSULTING
LANDSCAPE ARCHITECTURE
402 W. LIBERTY DRIVE
WHEATON, ILLINOIS 60187
PHONE: 630-668-7197
www.greinc.com

OWNER:
KORU GROUP, PLLC
2135 CITY GATE LANE, SUITE 330
NAPERVILLE, IL 60563

20400 S. LA GRANGE RD.
FRANKFORD, ILLINOIS
PRELIMINARY LANDSCAPE PLAN

REVISIONS	
DATE	08.24.2023
PROJECT NO.	KOR2301
DRAWN	MNW
CHECKED	DHS
SHEET NO.	1 OF 2

NO.	SCIENTIFIC NAME	COMMON NAME	DBH (inches)	CONDITION	STRUCTURE	HEALTH	REMOVE/PRESERVE	REPLACEMENT RATE
2198	Juglans nigra	Black Walnut	12	2 - Good	Lean, Unbalanced			
2199	Juglans nigra	Black Walnut	34	5 - Poor	Unbalanced, Crowded	~50% dead w/o wood, hollow	Offsite	
2198	Celtis occidentalis	Hickory	1	3 - Fair	Unbalanced, Crowded	20% dead w/o wood	Offsite	
2199	Celtis occidentalis	Hickory	6	3 - Fair	Crowded	20% dead w/o wood	Offsite	
2200	Juglans nigra	Black Walnut	10	2 - Good	Strong lean, Crown Lean, Crowded	20% dead w/o wood	Preserve	
2201	Corylus virginiana	Tree of Heaven	14	2 - Good	Crown Lean, Crowded	20% dead w/o wood	Preserve	
2202	Juglans nigra	Black Walnut	10	2 - Good	Crown Lean	20% dead w/o wood	Preserve	
2203	Juglans nigra	Black Walnut	10	2 - Good	Crown Lean	20% dead w/o wood	Preserve	
2204	Prunus serotina	Black Cherry	6	4 - Fair	Lean, Unbalanced, Crown Lean, Crowded	20% dead w/o wood	Preserve	
2205	Prunus serotina	Black Cherry	9	5 - Poor	Lean, Crown Lean, Crowded	20% dead w/o wood	Preserve	
2206	Juglans nigra	Black Walnut	36	3 - Fair	Lean	30% dead w/o wood	Preserve	
2207	Quercus macrocarpa	Bur Oak	6	2 - Good	Crowded	20% dead w/o wood	Preserve	
2208	Quercus macrocarpa	Bur Oak	6	2 - Good	Slight crown lean		Preserve	
2209	Juglans nigra	Black Walnut	10	2 - Good	Lean	50% dead w/o wood	Preserve	
2210	Juglans nigra	Black Walnut	20	3 - Fair	Lean	20% dead w/o wood	Preserve	
2211	Juglans nigra	Black Walnut	10	2 - Good	Lean, Crown Lean, Crowded	20% dead w/o wood	Preserve	
2212	Juglans nigra	Black Walnut	6	3 - Fair	Crown Lean	20% dead w/o wood	Preserve	
2213	Juglans nigra	Black Walnut	6	3 - Fair	Unbalanced, Crowded	20% dead w/o wood	Preserve	
2214	Juglans nigra	Black Walnut	2	4 - Fair	Unbalanced, Crown Lean	20% dead w/o wood	Preserve	
2215	Juglans nigra	Black Walnut	14	2 - Good	Lean, Unbalanced, Crown Lean	20% dead w/o wood	Preserve	
2216	Aster rugosus	Bur Elder	10	2 - Good	Unbalanced	20% dead w/o wood	Preserve	
2217	Juglans nigra	Black Walnut	14	2 - Good	Unbalanced	10% dead w/o wood	Offsite	
2218	Populus deltoides	Eastern Cottonwood	12	4 - Fair	Lean	30% dead w/o wood	Offsite	
2219	Ulmus americana	American Elm	7	4 - Fair	Lean, Unbalanced, Crowded	40% dead w/o wood	Offsite	
2220	Populus deltoides	Eastern Cottonwood	12	3 - Fair	Lean, Unbalanced	30% dead w/o wood	Offsite	
2221	Juglans nigra	Black Walnut	10	3 - Fair	Lean	Crowded in vines	Offsite	
2222	Populus deltoides	Eastern Cottonwood	12	3 - Fair	Lean		Offsite	
2223	Populus deltoides	Eastern Cottonwood	12	3 - Fair	Lean	40% dead w/o wood, Vines	Offsite	
2224	Monarda alba	White Mulberry	7	4 - Fair	V-shaped top, Split Root	20% dead w/o wood	Offsite	
2225	Ulmus americana	American Elm	7	4 - Fair	V-shaped top, Split Root, Lean	20% dead w/o wood	Offsite	
2226	Juglans nigra	Black Walnut	14	2 - Good	Unbalanced, Crown Lean	20% dead w/o wood	Offsite	
2227	Juglans nigra	Black Walnut	14	2 - Good	V-shaped top, Lean, Unbalanced	20% dead w/o wood, Vines	Offsite	
2228	Juglans nigra	Black Walnut	14	3 - Fair	Unbalanced	20% dead w/o wood	Offsite	
2229	Juglans nigra	Black Walnut	14	3 - Fair	Unbalanced	10% dead w/o wood	Offsite	
2230	Ulmus americana	American Elm	1	4 - Fair	Lean	30% dead w/o wood	Offsite	
2231	Juglans nigra	Black Walnut	9	3 - Fair	Lean	Vines	Offsite	
2232	Ulmus americana	American Elm	9	3 - Fair	Lean	20% dead w/o wood	Offsite	
2233	Populus deltoides	Eastern Cottonwood	13	3 - Fair	Unbalanced	20% dead w/o wood	Offsite	
2234	Monarda alba	White Mulberry	11	4 - Fair	V-shaped top, Split Root, Lean	20% dead w/o wood	Offsite	
2235	Ulmus americana	American Elm	10	3 - Fair	Unbalanced	20% dead w/o wood	Offsite	
2236	Quercus macrocarpa	Bur Oak	6	3 - Fair	Unbalanced	20% dead w/o wood	Offsite	
2237	Ulmus americana	American Elm	6	4 - Fair	Lean, Unbalanced, Crown Lean	30% dead w/o wood, Crowded in vines	Offsite	
2238	Juglans nigra	Black Walnut	2	2 - Good	Crown Lean	20% dead w/o wood	Offsite	
2239	Ulmus americana	American Elm	5	3 - Fair	Lean, Crown Lean	20% dead w/o wood	Offsite	
2240	Populus deltoides	Eastern Cottonwood	12	3 - Fair	Lean	20% dead w/o wood	Offsite	
2241	Populus deltoides	Eastern Cottonwood	18	3 - Fair	Lean		Offsite	
2242	Juglans nigra	Black Walnut	12	2 - Good	Lean	20% dead w/o wood	Offsite	
2243	Populus deltoides	Eastern Cottonwood	12	3 - Fair	Lean		Offsite	
2244	Monarda alba	White Mulberry	6	5 - Poor	Lean	~50% dead w/o wood	Offsite	
2245	Populus deltoides	Eastern Cottonwood	6	4 - Fair	Strong lean, Unbalanced, Crown Lean		Offsite	
2246	Monarda alba	White Mulberry	8.5	4 - Fair	V-shaped top, Mul Leader, Split Root, Lean		Offsite	
2247	Populus deltoides	Eastern Cottonwood	6	2 - Good	Lean		Offsite	
2248	Populus deltoides	Eastern Cottonwood	6	4 - Fair	Strong lean, Unbalanced, Crown Lean	20% dead w/o wood	Offsite	
2249	Ulmus americana	American Elm	6	5 - Poor	Lean	20% dead w/o wood	Offsite	
2250	Populus deltoides	Eastern Cottonwood	6	3 - Fair	Lean		Offsite	
2251	Populus deltoides	Eastern Cottonwood	6	2 - Good	Lean	20% dead w/o wood	Offsite	
2252	Populus deltoides	Eastern Cottonwood	6	2 - Good	Lean	20% dead w/o wood	Offsite	
2253	Populus deltoides	Eastern Cottonwood	6	2 - Good	Lean	20% dead w/o wood	Offsite	
2254	Ulmus americana	American Elm	6	4 - Fair	Strong lean, Unbalanced, Crown Lean, Crowded		Offsite	
2255	Populus deltoides	Eastern Cottonwood	6	6 - Good	Crowded		Offsite	
2256	Ulmus americana	American Elm	11.8	3 - Fair	Crowded	50% dead w/o wood, Dead Leader	Offsite	
2257	Populus deltoides	Eastern Cottonwood	16	2 - Good	Unbalanced		Offsite	
2258	Populus deltoides	Eastern Cottonwood	17	3 - Fair	Lean, Unbalanced		Offsite	
2259	Ulmus americana	American Elm	6	2 - Good	Crown Lean	30% dead w/o wood, Crowded in vines	Offsite	
2260	Populus deltoides	Eastern Cottonwood	6	4 - Fair	Crown Lean, Crown Lean	20% dead w/o wood	Offsite	
2261	Ulmus americana	American Elm	6	2 - Good	Lean	20% dead w/o wood, Crowded in vines	Offsite	
2262	Populus deltoides	Eastern Cottonwood	12	3 - Fair	Crown Lean, Crowded	20% dead w/o wood	Offsite	
2263	Populus deltoides	Eastern Cottonwood	10	3 - Fair	Crown Lean	20% dead w/o wood	Offsite	
2264	Populus deltoides	Eastern Cottonwood	10	3 - Fair	Unbalanced	20% dead w/o wood	Offsite	
2265	Populus deltoides	Eastern Cottonwood	6	6 - Good	Crowded		Offsite	
2266	Populus deltoides	Eastern Cottonwood	6	6 - Good	Crowded		Offsite	
2267	Populus deltoides	Eastern Cottonwood	6	6 - Good	Crowded		Offsite	
2268	Populus deltoides	Eastern Cottonwood	6	6 - Good	Crowded		Offsite	
2269	Ulmus americana	American Elm	6	3 - Fair	Unbalanced, Crowded		Offsite	
2270	Ulmus americana	American Elm	12	3 - Fair	Unbalanced, Crowded	20% dead w/o wood	Offsite	
2271	Populus deltoides	Eastern Cottonwood	10	3 - Fair	Crown Lean		Offsite	
2272	Ulmus americana	American Elm	6	3 - Fair	Crown Lean, Crowded		Offsite	
2273	Populus deltoides	Eastern Cottonwood	10	3 - Fair	Crown Lean		Offsite	
2274	Populus deltoides	Eastern Cottonwood	12	3 - Fair	Crown Lean, Crowded		Offsite	
2275	Ulmus americana	American Elm	12	4 - Fair	Strong lean, Unbalanced, Crown Lean	Vines	Offsite	
2276	Ulmus americana	American Elm	12	4 - Fair	Lean		Offsite	
2277	Populus deltoides	Eastern Cottonwood	10	6 - Good	Strong lean, Unbalanced	~50% dead w/o wood	Offsite	
2278	Monarda alba	White Mulberry	18	5 - Poor	Lean	20% dead w/o wood	Offsite	
2279	Juglans nigra	Black Walnut	13	2 - Good	Lean	20% dead w/o wood	Offsite	
2280	Juglans nigra	Black Walnut	18	2 - Good	Lean	20% dead w/o wood	Offsite	
2281	Quercus macrocarpa	Bur Oak	12	1 - Excellent			Preserve	
2282	Juglans nigra	Black Walnut	6	4 - Fair	Lean		Preserve	
2283	Juglans nigra	Black Walnut	6	4 - Fair	Strong lean, Crown Lean, Crowded		Preserve	
2284	Juglans nigra	Black Walnut	24	4 - Fair	Lean, Crown Lean	20% dead w/o wood	Preserve	
2285	Juglans nigra	Black Walnut	20	2 - Good	Lean	20% dead w/o wood	Preserve	
2286	Quercus macrocarpa	Bur Oak	6	3 - Fair	Lean, Unbalanced	20% dead w/o wood	Preserve	
2287	Juglans nigra	Black Walnut	10	2 - Good	Lean	20% dead w/o wood	Preserve	
2288	Juglans nigra	Black Walnut	10	2 - Good	Lean	20% dead w/o wood, Vines	Preserve	
2289	Juglans nigra	Black Walnut	10	2 - Good	Lean	20% dead w/o wood, Vines	Preserve	
2290	Juglans nigra	Black Walnut	10	2 - Good	Lean	20% dead w/o wood, Vines	Preserve	
2291	Juglans nigra	Black Walnut	10	2 - Good	Lean	20% dead w/o wood, Vines	Preserve	
2292	Juglans nigra	Black Walnut	6	2 - Good	Lean	20% dead w/o wood	Preserve	
2293	Juglans nigra	Black Walnut	10	2 - Good	Lean	20% dead w/o wood, Vines	Preserve	
2294	Juglans nigra	Black Walnut	14	1 - Poor	Lean	~50% dead w/o wood, Thick Damage, Peeling Bark	Preserve	
2295	Quercus macrocarpa	Bur Oak	6	3 - Fair	Lean		Preserve	
2296	Juglans nigra	Black Walnut	6	4 - Fair	Lean	30% dead w/o wood, Vines	Preserve	
2297	Juglans nigra	Black Walnut	6	3 - Fair	Unbalanced, Crowded	Vines	Preserve	
2298	Prunus serotina	Black Cherry	13	4 - Fair	Lean, Unbalanced, Crowded	30% dead w/o wood, Vines	Preserve	
2299	Juglans nigra	Black Walnut	26	2 - Good	Lean	~50% dead w/o wood	Preserve	
2300	Celtis occidentalis	Hickory	12	3 - Fair	Unbalanced, Crowded	20% dead w/o wood	Preserve	
2301	Celtis occidentalis	Hickory	7	3 - Fair	Unbalanced, Crowded		Preserve	
2302	Acer saccharum	Sugar Maple	6	3 - Good	Unbalanced		Preserve	
2303	Celtis occidentalis	Hickory	4	2 - Good	Crowded, Strong crown lean	Leaf gaps	Preserve	
2304	Celtis occidentalis	Hickory	2	4 - Fair	Crowded		Preserve	
2305	Quercus macrocarpa	Bur Oak	28	3 - Good	Crowded	20% dead w/o wood	Preserve	
2306	Prunus serotina	Black Cherry	6	5 - Poor	Strong lean	~50% dead w/o wood	Preserve	
2307	Juglans nigra	Black Walnut	20	4 - Fair	Lean, Unbalanced, Crown Lean	20% dead w/o wood, Vines gnarling	Preserve	
2308	Juglans nigra	Black Walnut	30	4 - Fair	Lean, Unbalanced, Crown Lean	20% dead w/o wood	Preserve	
2309	Celtis occidentalis	Hickory	12	3 - Fair	Crown Lean, Crowded		Preserve	
2310	Prunus serotina	Black Cherry	6	3 - Fair	Crown Lean		Preserve	
2311	Juglans nigra	Black Walnut	10	2 - Good	Crown Lean		Preserve	
2312	Celtis occidentalis	Hickory	6	3 - Fair	Lean, Crown Lean, Crowded		Preserve	
2313	Celtis occidentalis	Hickory	12	3 - Fair	Lean, Unbalanced, Crowded		Preserve	
2314	Celtis occidentalis	Hickory	6	3 - Fair	Unbalanced, Crown Lean, Crowded		Preserve	
2315	Quercus macrocarpa	Bur Oak	36	3 - Fair	Crown Lean, Crowded	20% dead w/o wood	Preserve	
2316	Celtis occidentalis	Hickory	14	3 - Fair	Lean, Unbalanced, Crowded	20% dead w/o wood	Preserve	
2317	Quercus macrocarpa	Bur Oak	36	3 - Fair	Unbalanced, Crown Lean, Crowded	20% dead w/o wood	Preserve	
2318	Quercus macrocarpa	Bur Oak	37	3 - Good	Crowded	20% dead w/o wood	Preserve	
2319	Celtis occidentalis	Hickory	8	2 - Good	Crowded		Preserve	
2320	Celtis occidentalis	Hickory	6	4 - Fair	Crown Lean, Crowded	30% dead w/o wood, Adventitious Growth	Remove	
2321	Celtis occidentalis	Hickory	6	2 - Good	Lean, Unbalanced	Leaf gaps	Preserve	
2322	Celtis occidentalis	Hickory	6	2 - Good	Crowded	Leaf gaps	Preserve	
2323	Celtis occidentalis	Hickory	6	2 - Good	Crowded	Leaf gaps	Preserve	
2324	Juglans nigra	Black Walnut	14	3 - Fair	Lean, Unbalanced, Crown Lean		Preserve	

TOTAL REPLACEMENT: 0

TREE PRESERVATION

- 48" high snow fence or wood shall extend to the dripline of or tree mass whenever possible. If trees are required to be removed, they should not be removed until the completion of construction.
- All accidental damage to existing trees shall be promptly repaired or replaced in accordance with recognized horticultural practices and the instructions of a professional Arborist, Landscape Architect, or Horticulturist.
- Broken or badly bruised branches shall be removed with a clean cut. If recommended by the professional Arborist, Landscape Architect, or Horticulturist.
- Care shall be exercised by the contractor to protect all overhanging branches from damage by equipment with material, machinery or equipment and by damage from engine exhaust.
- Contractors shall protect trees from damage by using fuel-tolerant fuels, lubricating oils, hydraulic fluids, antifreeze and coolants, calcium lime and all other similar hydrocarbon organic chemicals, and other materials which can be harmful.
- When underground utilities are within 5' of a preserved tree, the tree must be augered if possible.

1. 48" high snow fence or wood barriers shall extend to the dripline of the tree or tree mass whenever possible, shall be installed before construction begins, and should not be removed until the completion of construction.
2. All accidental damage to existing trees that are to be preserved shall be promptly treated as required in accordance with recognized horticultural practices and the instructions of the professional Arborist, Landscape Architect or Horticulturist.



 **EXISTING TREE
TO BE REMOVED**

KORU GROUP SHEET # 4.1

1111 HIGHWAY 25 NORTH
SUITE 201
BUFFALO MN 55313

2135 CITY GATE LANE
NAPERVILLE, IL 60563

PH:630.845.1270

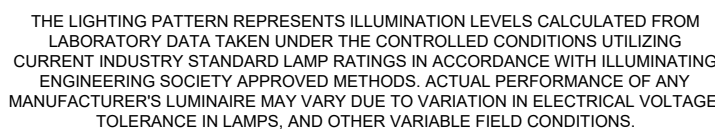
ROUTE 45
FRANKFORT, IL

[illegible]

KG2308221

NA

C.D.HEANER



CALCULATION SUMMARY

LUMINAIRE SCHEDULE

LUM WATTS	LUM LUMENS	BUG RATING
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§ 159.22 LIGHTING.

Outdoor lighting, where provided, should enhance the building design and the adjoining landscape. Lighting standards, fixtures and all exposed accessories shall comply with the village's requirements, and design and signs should be harmonious with the design of the surrounding areas. Excessive brightness, flashing lights, and brilliant colors shall not be permitted

