

**PLANNING AND ZONING COMMISSION
&
HISTORIC COMMISSION**

**Village of East Dundee
November 5, 2020
7:00 PM**

This meeting will be conducted via teleconference call by authorization of Gov. Pritzker waiving a portion of the IL Open Meetings Act to allow local governments to hold “remote” meetings to help control the spread of COVID-19

Zoom Meeting Link: <https://us02web.zoom.us/j/89504207659>

Meeting ID: **895 0420 7659**

Passcode: **198888**

If you need to download Zoom, use this link and download “Zoom Client for Meetings”: <https://zoom.us/download>

Computer Audio Only

Click on the “Join Audio Conference by Computer” link when joining the meeting.

To join by **PHONE ONLY**

Dial: **312-626-6799**

Meeting ID/Access Code: **895 0420 7659**

Passcode: **198888**

Please....

Mute Your Microphone.

Zoom has a “Mute Microphone” option. Please keep your microphone muted to cut down on feedback. Unmute to speak.

IF BY PHONE ONLY, press *6 to mute/unmute

Raise your Hand.

A hand icon will appear beside your username and lets the meeting's managers know you have a question, input, or otherwise need some attention when possible. Click on the icon labeled "Participants" at the bottom of your screen. Click the button labeled "Raise Hand".

IF BY PHONE ONLY, press *9 to raise hand

Refrain from the group chat feature.

EAST DUNDEE

**PLANNING AND ZONING COMMISSION
&
HISTORIC COMMISSION
AGENDA
Thursday, November 5, 2020
7:00 PM**

CALL TO ORDER

ROLL CALL / DECLARATION OF QUORUM

APPROVAL OF MINUTES

1. [Planning and Zoning & Historic Commission Meeting Minutes dated October 8, 2020](#)

PUBLIC COMMENT

HISTORIC COMMISSION

1. [Certificate of Appropriateness for Second Story Addition: 1 E. Main Street](#)
 - a. Discussion and Motion to Recommend Approval/Denial of a Certificate of Appropriateness for a second story addition to the building located at 1 E. Main Street
2. [Certificate of Appropriateness for Awning Sign: Eastside Café Coffee & Wine Bar, 316 N. River Street](#)
 - a. Discussion and Motion to Recommend Approval/Denial of a Certificate of Appropriateness for Eastside Café Coffee & Wine Bar proposed awning sign

NEW BUSINESS

1. PUBLIC HEARING (PIN 03-25-151-007) - to consider a request to rezone the Lot 6 property in the Gateway Crossing from B-3 Service Business District to the M-1 Limited Manufacturing District

- a. Motion to recommend approval/denial of a request to rezone the Lot 6 property in the Gateway Crossing from B-3 Service Business District to the M-1 Limited Manufacturing District
- b. Motion to approve a Findings of Fact to recommend approval/denial of a request to rezone the Lot 6 property in the Gateway Crossing from B-3 Service Business District to the M-1 Limited Manufacturing District

OTHER BUSINESS

ADJOURNMENT

Co-Chairman Scarpelli called the Planning and Zoning & Historic Commission meeting to order at 7:02 p.m.

Roll: 7 Present (Apke, Holliman, Muscat, Scarpelli, Schock, Bernstein and Steneck). 2 Absent (Brewer and Meyer). Also present were Assistant Village Administrator Brad Mitchell, Building Inspector Chris Ranieri, Village Engineer Joe Heinz and Village Clerk Katherine Holt.

APPROVAL OF MINUTES:

1. Historic Commission Meeting Minutes dated September 3, 2020

Motion to approve the September 3, 2020 meeting minutes by Schock/Holliman.

7 Ayes (Apke, Holliman, Muscat, Scarpelli, Schock, Bernstein and Steneck). 0 Nays. 2 Absent (Brewer and Meyer). Motion carries.

PUBLIC COMMENT: None

HISTORIC COMMISSION:

1. Certificate of Appropriateness for Illuminated Sign: The Anvil Club – 309 Meier Street

- a. Discussion and Motion to Recommend Approval/Denial of a Certificate of Appropriateness for The Anvil Club illuminated sign

Applicant Joe Robinson addressed the Commission with his request for an acrylic sign that would be illuminated from behind. He stated that in November, The Anvil Club will be opening their doors to the public for the first time in the Club's 64-year history and wants the sign to help make their location more visible to the public. After some discussion, the Commission approved the request with the condition that the sign be lit using goose neck lighting shining on the front side of the sign.

Motion to Approve the Certificate of Appropriateness for the Anvil Club sign to be front lit by goose neck lighting by Muscat/Holliman..

7 Ayes (Apke, Holliman, Muscat, Scarpelli, Schock, Bernstein and Steneck). 0 Nays. 2 Absent (Brewer and Meyer). Motion carries.

NEW BUSINESS

- 1. PUBLIC HEARING (PIN: 03-24-226-011)** – to consider a request for a variance from Section 157.066(A)(6)(c) of the Zoning Chapter of the East Dundee Village Code requiring the rear yard setback in the M-, Limited Manufacturing District to be not less than 40 feet in depth

Motion to open the public hearing by Holliman/Apke.

7 Ayes (Apke, Holliman, Muscat, Scarpelli, Schock, Bernstein and Steneck). 0 Nays. 2 Absent (Brewer and Meyer). Motion carries.

Rusty Scurto of Triumph Construction addressed the Commission on behalf of Yulivan Carriers with their request for variances at their newly acquired property. He advised that they have plans to construct a 25,000 square foot industrial warehouse. Building Inspector Ranieri went on to explain that when the subdivision was annexed into the Village, it was zoned as Factory and Light Industrial. The rear setback

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Kane County, IL
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at that time was ten feet and the annexation agreement ended in 2001. The zoning was then changed to an M-1 Manufacturing District with 40 feet setback requirements. The configuration of the lot poses an issue for a 40-foot setback. He then explained that the applicant is also asking to shift their off-street parking into their front yard by 12 feet. The reason for this is because there is an easement on the east side of the property where there is an access road and water main that runs to the water tower. Public Works does not want a parking lot constructed over the water main.

There were no questions or comments from the public.

Motion to close the public hearing by Holliman/Apke.

7 Ayes (Apke, Holliman, Muscat, Scarpelli, Schock, Bernstein and Steneck). 0 Nays. 2 Absent (Brewer and Meyer). Motion carries.

Motion to recommend approval for a variance request from Section 157.066(A)(6)(c) of the Zoning Chapter of the East Dundee Village Code as presented by Apke/Holliman.

7 Ayes (Apke, Holliman, Muscat, Scarpelli, Schock, Bernstein and Steneck). 0 Nays. 2 Absent (Brewer and Meyer). Motion carries.

Motion to approve a Findings of Fact to recommend approval of a variance from Section

157.066(A)(6)(c) of the Zoning Chapter of the East Dundee Village Code by Holliman/Muscat.

7 Ayes (Apke, Holliman, Muscat, Scarpelli, Schock, Bernstein and Steneck). 0 Nays. 2 Absent (Brewer and Meyer). Motion carries.

2. PUBLIC HEARING (PIN: 03-24-226-011) – to consider a request for a variance from Section 157.148 of the Zoning Chapter of the East Dundee Village Code requiring off-street parking spaces not be located within the required front yard

Motion to open the public hearing by Holliman/Bernstein.

7 Ayes (Apke, Holliman, Muscat, Scarpelli, Schock, Bernstein and Steneck). 0 Nays. 2 Absent (Brewer and Meyer). Motion carries.

Ranieri explained that the request is to have parking in the front yard which would encroach 12 feet to the east towards Prairie Lake Road and shift the construction of the lot off the water main easement.

There were no questions or comments from the public.

Motion to close the public hearing by Holliman/Apke.

7 Ayes (Apke, Holliman, Muscat, Scarpelli, Schock, Bernstein and Steneck). 0 Nays. 2 Absent (Brewer and Meyer). Motion carries.

Motion to recommend approval for a variance request from Section 157.148 of the Zoning Chapter of the East Dundee Village Code as presented by Bernstein/Holliman.

7 Ayes (Apke, Holliman, Muscat, Scarpelli, Schock, Bernstein and Steneck). 0 Nays. 2 Absent (Brewer and Meyer). Motion carries.

Motion to approve a Findings of Fact to recommend approval of a variance from Section 157.148 of the Zoning Chapter of the East Dundee Village Code by Schock/Bernstein.

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7 Ayes (Apke, Holliman, Muscat, Scarpelli, Schock, Bernstein and Steneck). 0 Nays. 2 Absent (Brewer and Meyer). Motion carries.

OTHER BUSINESS: None

Motion to adjourn the Planning and Zoning & Historic Commission Meeting at 7:40 p.m. by Schock/Apke. 7 Ayes (Apke, Holliman, Muscat, Scarpelli, Schock, Bernstein and Steneck). 0 Nays. 2 Absent (Brewer and Meyer). Motion carries. Meeting Adjourns.

EAST DUNDEE

Historic Commission Meeting Memorandum

To: Historic Commission
CC: Jennifer Johnsen, Village Administrator
From: Brad Mitchell, Assistant Village Administrator
Chris Ranieri, Building Inspector
Subject: 1 E. Main Street – Second Story Addition
Date: November 5, 2020

The Village has received an application from Brett Wozniak, owner of 1 E. Main Street to add a second story 1,000 square foot addition to the existing building on the north side of the building. The building height will be approximately 30 feet. The building addition will be used for Mr. Wozniak's personal office space and the balance of the roof shall be used as a roof top deck. The first story of the building is being occupied by D & J's ONE CUT ABOVE THE REST salon, which the Historic Commission approved a window sign for the building earlier this year. The second story addition is anticipated to be completed in Spring 2021.



As the property is located within the Village's Historic District, the application requires review by the Planning and Zoning Commission acting as the Historic District Commission (HDC). The proposed building addition should be reviewed according to the following applicable guidelines. Attached, please find the Certificate of Appropriateness application, including rendering the proposed second story addition. The Historic District Commission shall consider the following in determining issuance of a Certificate of Appropriateness:

1. The historic or architectural value and significance of the district and the surrounding area will not be lessened.
2. The relationship of any architectural features of the building and the surrounding area will be positively affected.
3. The general design, arrangement, and materials proposed to be used will be maintained.
4. The height of the new building shall comply with the Zoning Code and shall not exceed the height of the existing building.
5. The proportions of the front facade shall match the existing building and comply with the Building Code.
6. The proportions of windows, doors and other openings shall match the existing building and comply with Building Code.
7. The building bulk and density shall comply with the Zoning Code.
8. The textures, materials and shape for roof shall match the existing building and comply with Building Code.

Village Staff Recommendation

Staff recommends approval of the proposed second story addition to 1 E. Main Street which meets the requirements of the Village's Zoning and Building Codes.

Action Requested

Discussion and Motion to Recommend Approval/Denial of a Certificate of Appropriateness for a second story addition to the building located at 1 E. Main Street.

Attachments

1. Certificate of Appropriateness Application
2. Plans
3. Proposed Rendering



**EAST DUNDEE HISTORIC COMMISSION
CERTIFICATE OF APPROPRIATENESS**

Please submit this application along with supporting documents (**one [1] original and twelve [12] copies**). Your application will be reviewed by the East Dundee Historic Commission. You are strongly urged to attend this meeting in person. If you would like assistance with the preparation of this application, or if you have any questions concerning your request or the review procedure, call the village office at 847-426-2822.

MUST BE SUBMITTED A MINIMUM OF 8 DAYS PRIOR TO MEETING. THE HISTORIC COMMISSION MEETS ON THE SECOND MONDAY OF EVERY MONTH IMMEDIATELY FOLLOWING THE PLANNING/ZONING MEETING.

ADDRESS OF PROPOSED WORK: 1 East Main Street East Dundee IL 60118

APPLICANTS NAME: Bret Wozniak (1977 Holding LLC)

TELEPHONE NUMBER (Home) 847-971-8779 (Work) 847-844-0814

PROPERTY OWNERS NAME: Bret Wozniak PHONE #847-971-8779

Nature of proposed change: (check all that apply)

☐ New Construction ☒ Extensive renovation

☐ Minor Renovation, Repair or Alteration

☐ Sign ☐ Demolition

☒ X Facade

☒ X Other Second story addition

***Sign: Must include the lettering style and size.**

Describe all changes proposed for the structures exterior. Include plans, photographs and any other information as needed. Give size, style, and precise location of lettering, if any; and any other information that will assist the commission in their deliberations. Use attachments as necessary. Include a date when the project will be completed.

We Plan on adding a second story 1000 sq ft addition to the existing building on the north side of the building. *Renderings attached To be completed spring 2021.

Circle one or more of the East Dundee Historic Code Provisions that apply.

- ☒ **A.** The historic or architectural value and significance of the district and the surrounding area will not be lessened.
- ☒ **B.** The relationship of any architectural features of the building and the surrounding area will be positively affected.
- ☒ **C.** The general design, arrangement, and materials proposed to be used will be maintained.

I, the undersigned, hereby state that all of the information presented in this application is true and complete, to the best of my knowledge.

Signature:  Date: 09/25/2020

HISTORIC COMMISSION USE ONLY

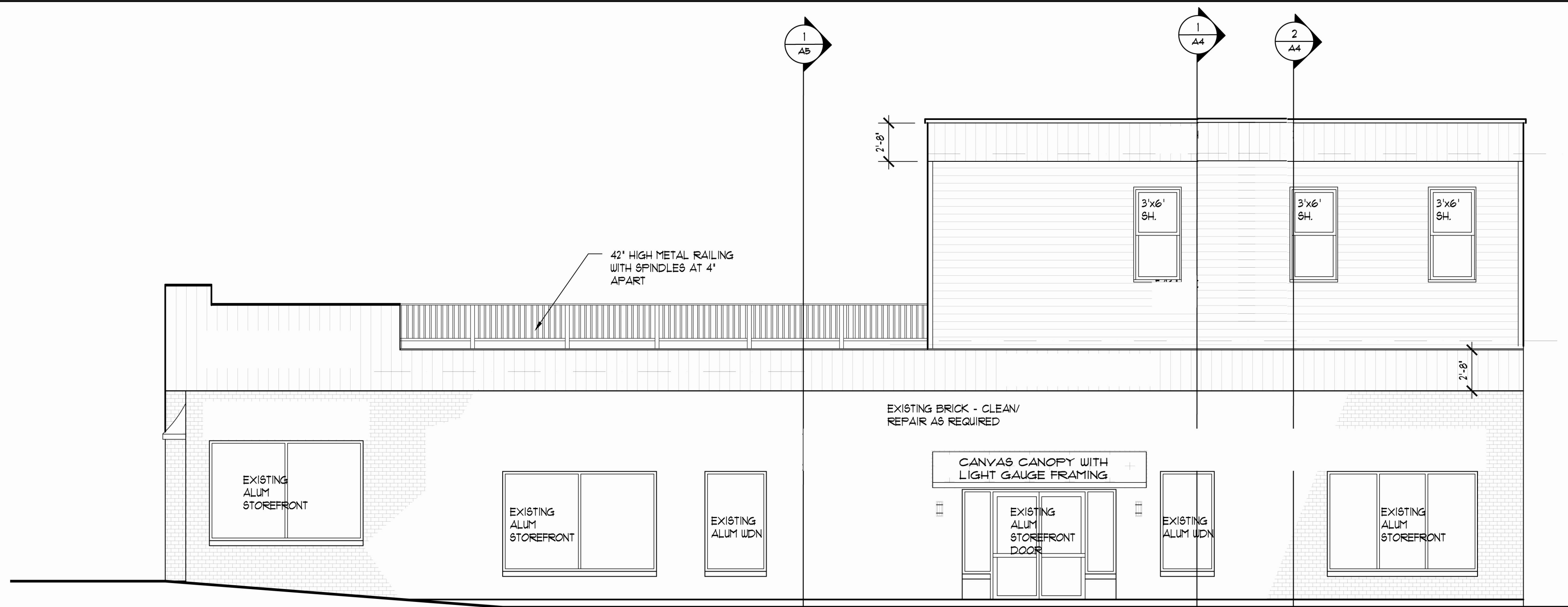
This application has been (**Approved / Denied**)

ISSUED FOR:	
PERMIT & CONST.	03/25/2020



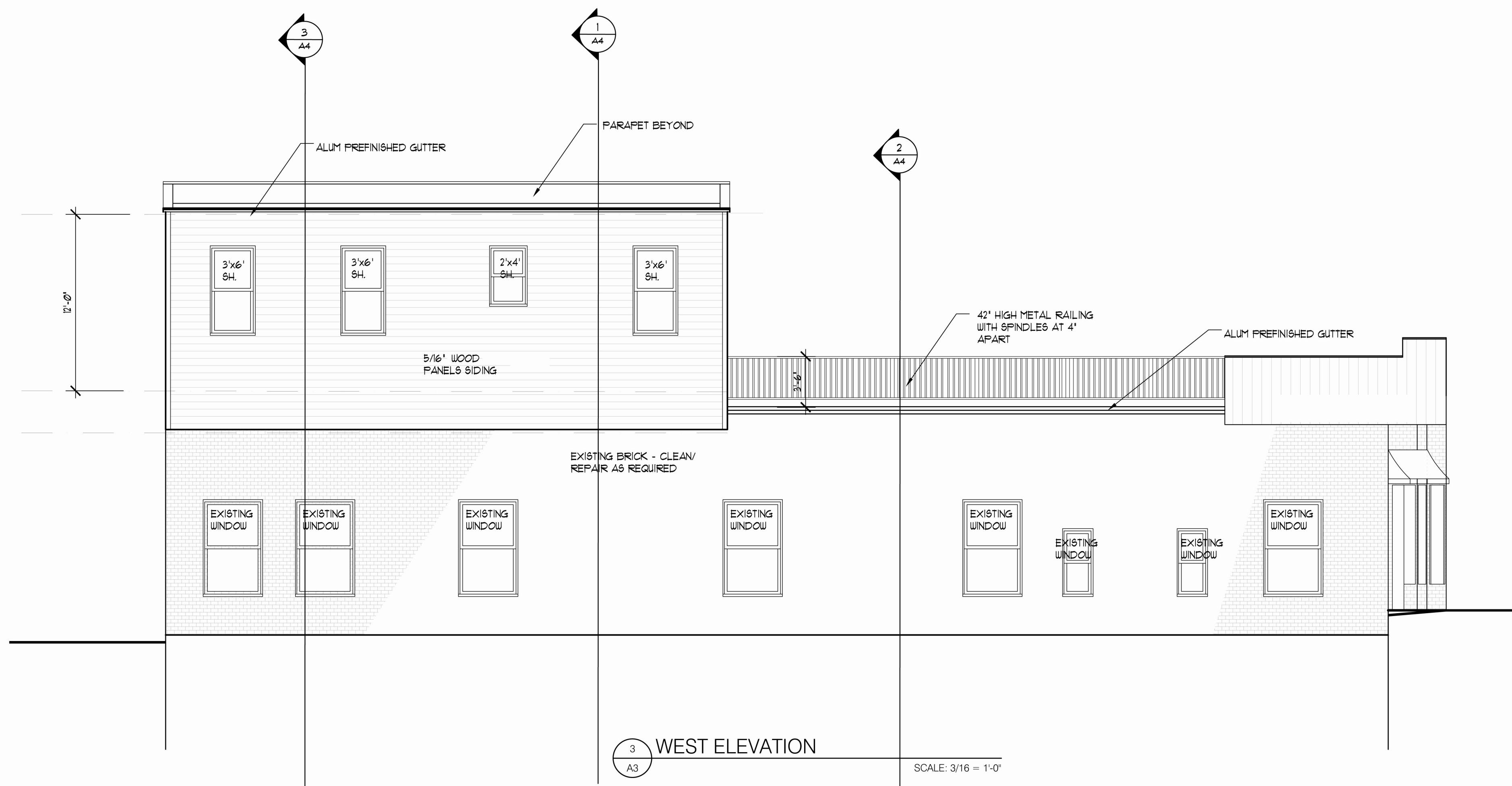
4 SOUTH ELEVATION
A3

SCALE: 3/16 = 1'-0"



1 EAST ELEVATION
A3

SCALE: 3/16 = 1'-0"



3 WEST ELEVATION
A3

SCALE: 3/16 = 1'-0"



2 NORTH ELEVATION
A3

SCALE: 3/16 = 1'-0"



ISSUED FOR:		DATE <u>03/01/2010</u>
PERMIT # CONST.	<u>03252010</u>	DRAWN BY: <u>NAT/RL</u>
		PROJECT # <u>02011</u>
		REVISED _____
		<u>SEE REVISION BOX</u>

PROPOSED —
ADDITION &
REMODELING

SALON
PERMITTED—
UNDER SEPARATE
COVER

KEY PLAN
SCALE: NO SCALE

1. THE ARCHITECT DOES NOT SUPERVISE AND WILL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS.
2. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR WORK COMPLYING WITH LOCAL CODES.
3. ALL EXISTING DIMENSIONS, CONDITIONS TO BE FIELD VERIFIED BY CONTRACTOR

ALL REPLY TO: OWNER:

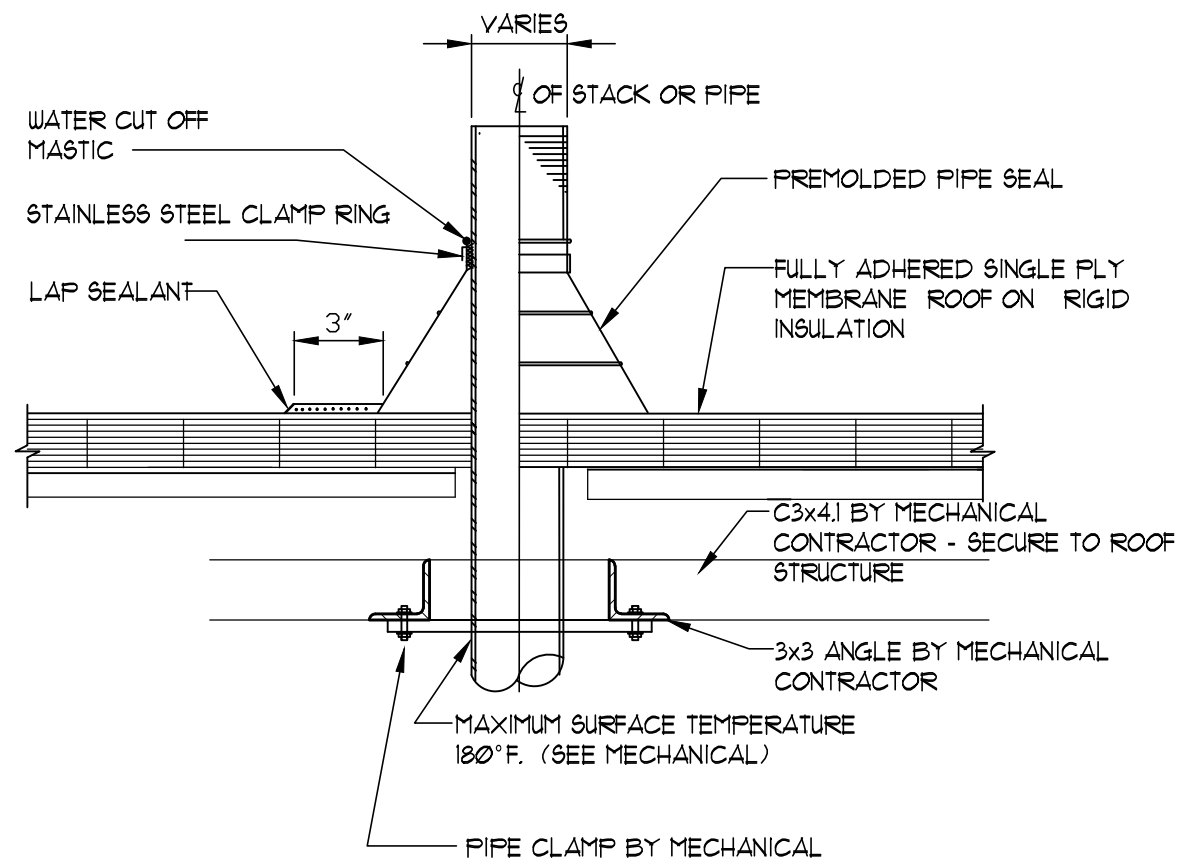
ADG ARCHITECTURAL MANAGEMENT, INC.
PROGRAM & PROJECT MANAGER

PROPOSED ADDITION & REMODEL FOR:
1 EAST MAIN
EAST MAIN STREET - EAST DUNDEE, ILLINOIS.

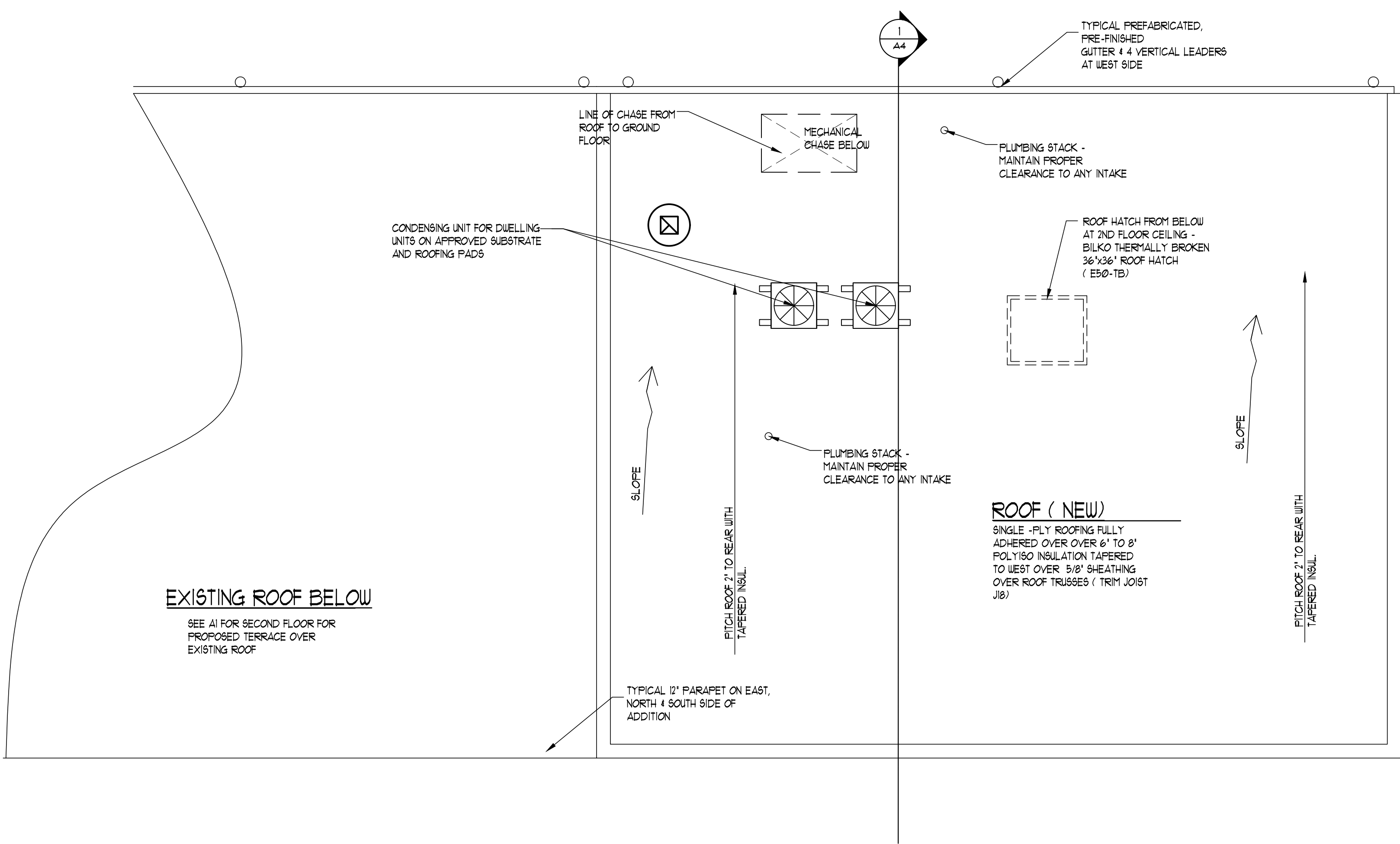
847-971-8779 AK

SHEET
T1
OF 1

03.25.2020



2 COLD STACK PIPE FLASHING DETAIL
A2 NTS.



EXISTING ROOF BELOW
SEE A1 FOR SECOND FLOOR FOR
PROPOSED TERRACE OVER
EXISTING ROOF

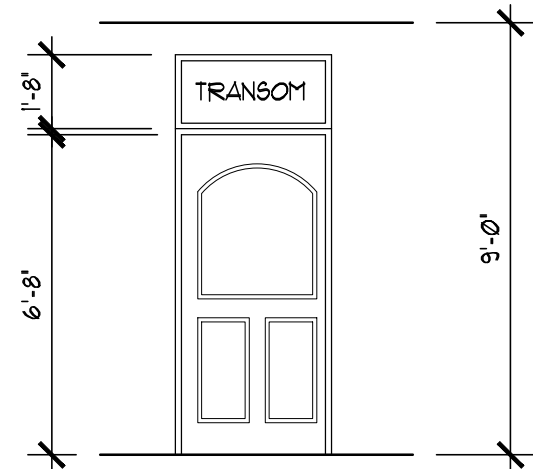
NOTE:
A/C AIR INTAKES SHALL BE LOCATED A
MINIMUM OF 12 FT FROM ALL EXHAUST
AIR OUTLETS AND PLUMBING VENTS.
RE-ARRANGE TO COMPLY WITH THIS
NOTE

HVAC EQUIPMENT LOCATION:
MECHANICAL ROOF PLAN IS FOR GENERAL ARRANGEMENT
ONLY. FINAL LOCATIONS SHALL COMPLY WITH 2015 IMC
SECTION 304.11 WITH A MINIMUM 10 FT CLEARANCE TO
ROOF EDGE.

1 ADDITION ROOF PLAN
A2 1/4" = 1'-0"

ROOM FINISH SCHEDULE

ROOM USAGE		FLOOR		WALLS		CEILING		REMARKS
MARK	NAME	FINISH	BASE	MATERIAL	FINISH	TYPE	HEIGHT	
100	COMMON VESTIBULE	VINYL	VINYL	DRYWALL/GL		DRYWALL	13'-0"	
101	GALLERY	CARPET	VINYL	DRYWALL/GL		DRYWALL	13'-0"	
102	WORKSHOP	VINYL	VINYL	DRYWALL /EXP. MASONRY		DRYWALL	13'-0"	
103	UNISEX TOILET ROOM	VINYL	VINYL	DRYWALL		DRYWALL	9'-0"	
104	UTILITY / FURNACE ROOM	UNFIN	----	DRYWALL		DRYWALL	13'-0"	
105	CLOSET	UNFIN	----	DRYWALL		DRYWALL	VARIES	
201	GALLERY	VINYL	VINYL	DRYWALL/OPEN		DRYWALL	12'-0"	
202	GALLERY	VINYL	VINYL	DRYWALL/OPEN		DRYWALL	12'-0"	
203	UNISEX TOILET ROOM	VINYL	VINYL	DRYWALL		DRYWALL	9'-0"	
104	CLOSET	VINYL	VINYL	DRYWALL		DRYWALL	9'-0"	

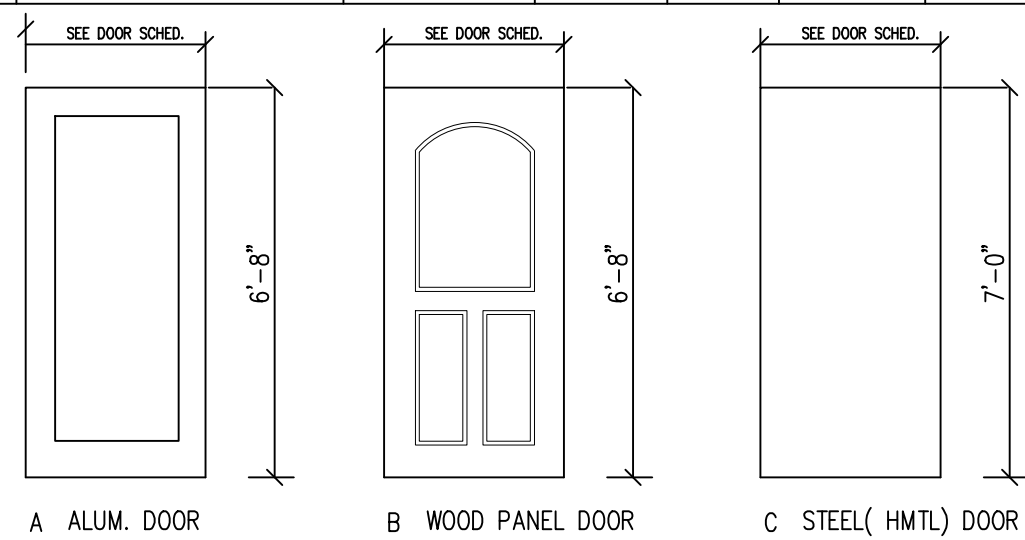


3 INTERIOR ELEVATION
A2 1/4" = 1'-0"

AT DOOR 101

DOOR SCHEDULE

NUM	SIZE	MATERIAL	FRAME	TYPE	HARDWARE	REMARKS
101	3'-0" x 6'-8"	ALUM.	ALUM.	A	SET 1	GALLERY / ENTRY
102	3'-0" x 6'-8"	WD	WD	B	SET 2	WORKSHOP PROVIDE TRANSOM
103	3'-0" x 6'-0"	WD	WD	B	SET 3	UNISEX & ACCESSIBLE SIGNAGE
104	EXISTING 3'-0" x 6'-8"	WD	WD	B	SET 2	DOOR TO FURNACE /UTIL. COMPLETED WITH T.I. PERMIT
104A	PAIR 3'-0" x 7'-0"	STEEL	STEEL	C	SET 4	WORKSHOP
103	3'-0" x 6'-0"	WD	WD	B	SET 2	UNISEX & ACCESSIBLE SIGNAGE
202	8'-0x 6'-8 PATIO DOOR	VINYL	VINYL	---	----	TO ROOF TERRACE w/ TRANSOM
203	3'-0" x 6'-8"	WD	WD	B	SET 3	UNISEX & ACCESSIBLE SIGNAGE
203	3'-0" x 6'-8" BPS	WD	WD	B	SET 5	CLOSET



ABBREVIATIONS:
--WD = WOOD (STAIN GRADE)
--ALUM. = ALUMINIUM
--HMTL = HOLLOW METAL

NOTE:
-ALL INTERIOR DOORS TO BE WOOD &
PAINT GRADE
-ALL LOCKS/LATCHES TO BE LEVER
TYPE, LOCKING AS SPECIFIED PER
HARDWARE SETS ABOVE
-ALL LOCKSETS TO BE "SCHALGE" SERIES
EXTRA HEAVY DUTY (HD) COMMERCIAL
GRADE

DOOR TYPES

VERIFY HARDWARE FUNCTIONS WITH LANDLORD

HARDWARE SETS

SET 1	SET 2	SET 3
3 HINGES	3 HINGES	3 HINGES
KEYED DEAD BOLT	1 PASSAGE LOCKSET	1 TOILET ROOM LOCKSET
1 WALL STOP	1 WALL STOP	1 WALL STOP
SET 4	SET 5	
3 HINGES	BI PASS TRACK AND HARDWARE	
1 PASSAGE LOCKSET		
1 CLOSER		
1 STOP & HOLD		
ONE LEAF FRAME BOLT TO HEAD		
1 SECURITY PLATE		

DOOR NOTES

-ALL DOOR CLOSERS SHALL COMPLY W/ ANSI SECTIONS 4.13.10 & 4.13.11 AND ADA SECTIONS 4.13.10 & 4.13.11
-ALL LOCKS AND LATCHES SHALL BE LEVER TYPE ALL DOOR CONTROLS SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE
-FINISHED FLOOR THRESHOLDS SHALL COMPLY W/ ANSI 4.13.8
-REFER TO ADJACENT FOR STANDARD MOUNTING HEIGHTS OF HARDWARE AND SIGNAGE

-PROVIDE THE BOTTOM 10" OF DOOR WITH A SMOOTH SURFACE TO ALLOW DOORS TO BE OPENED WITH FORCE OF THE WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR A HAZARDOUS CONDITION

REMODEL & ADDITION AT
1 E. MAIN ST.
EAST DUNDEE, IL

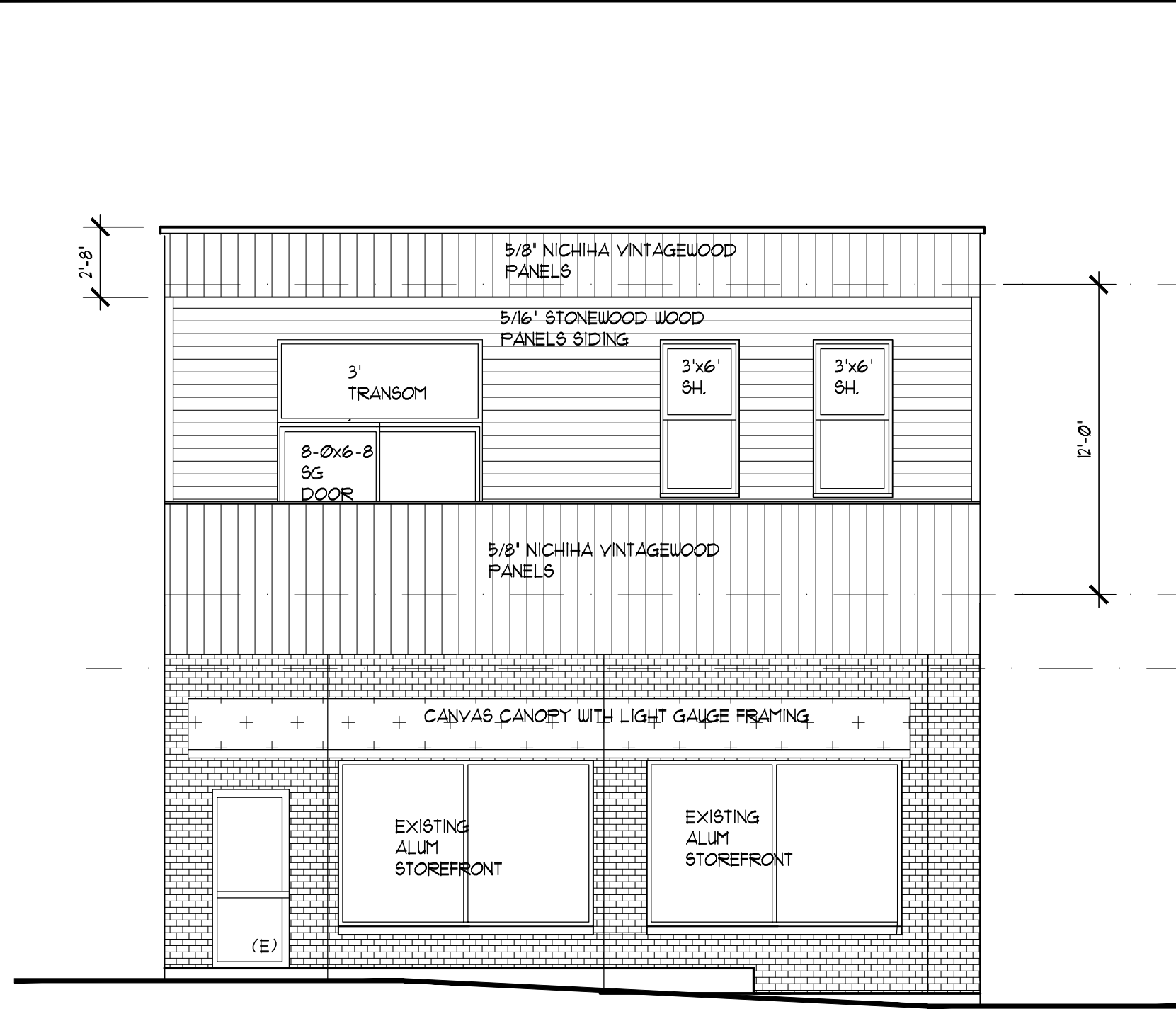
ROOF PLAN AT ADDITION & DOOR &
ROOM SCHEDULES

SHEET

A2

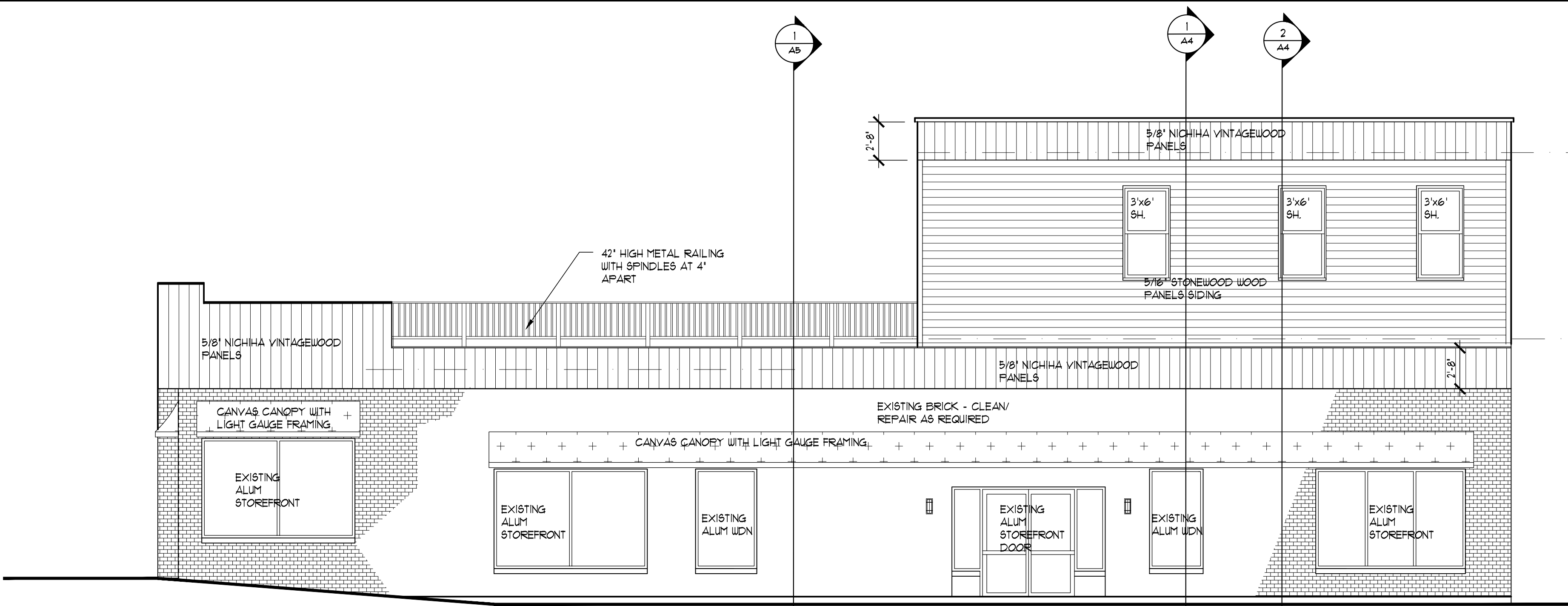
OF 6

ISSUED FOR:	
PERMIT & CONST.	03/25/2020



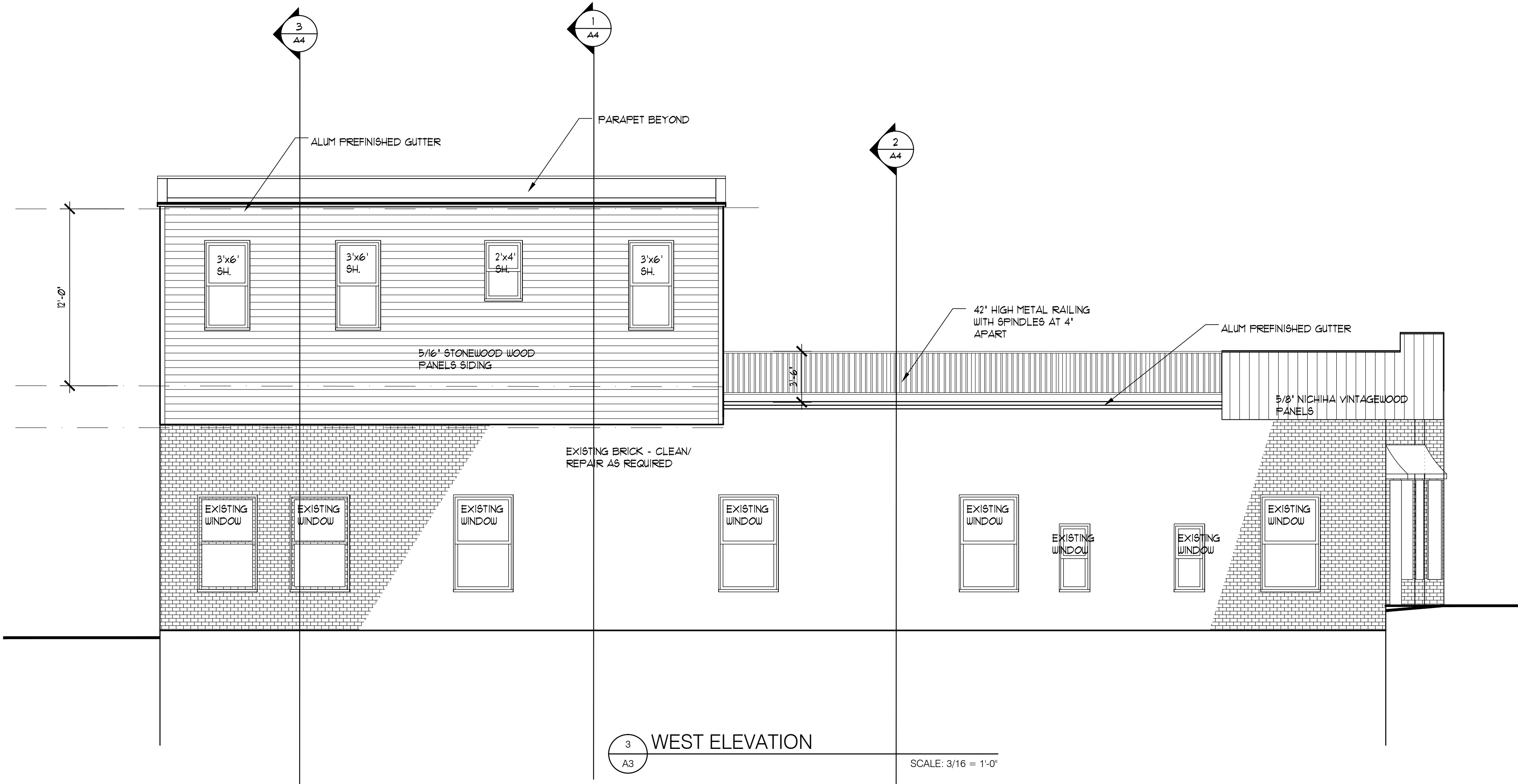
4 SOUTH ELEVATION

SCALE: 3/16 = 1'-0"



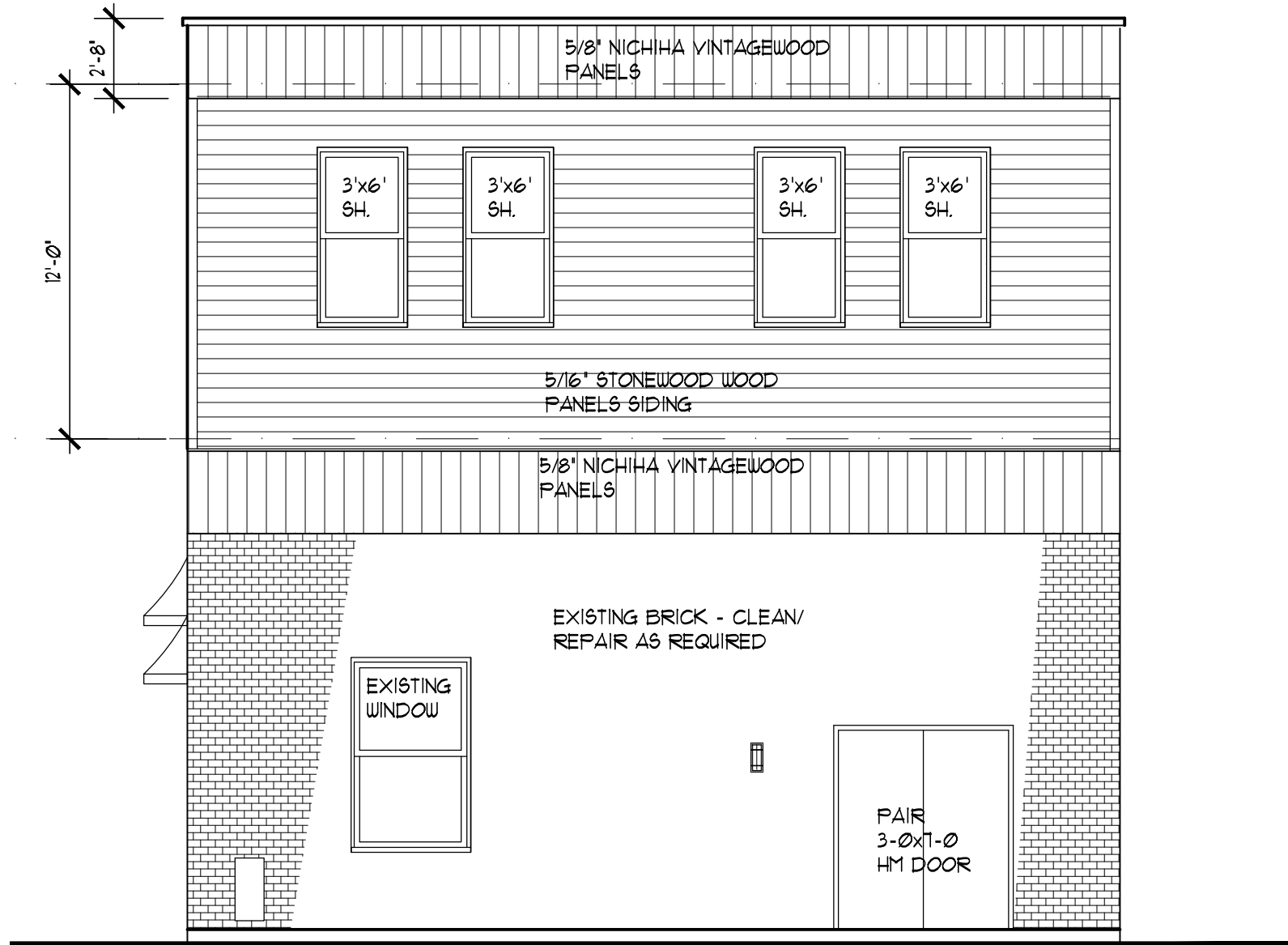
1 EAST ELEVATION

SCALE: 3/16 = 1'-0"



3 WEST ELEVATION

SCALE: 3/16 = 1'-0"



2 NORTH ELEVATION

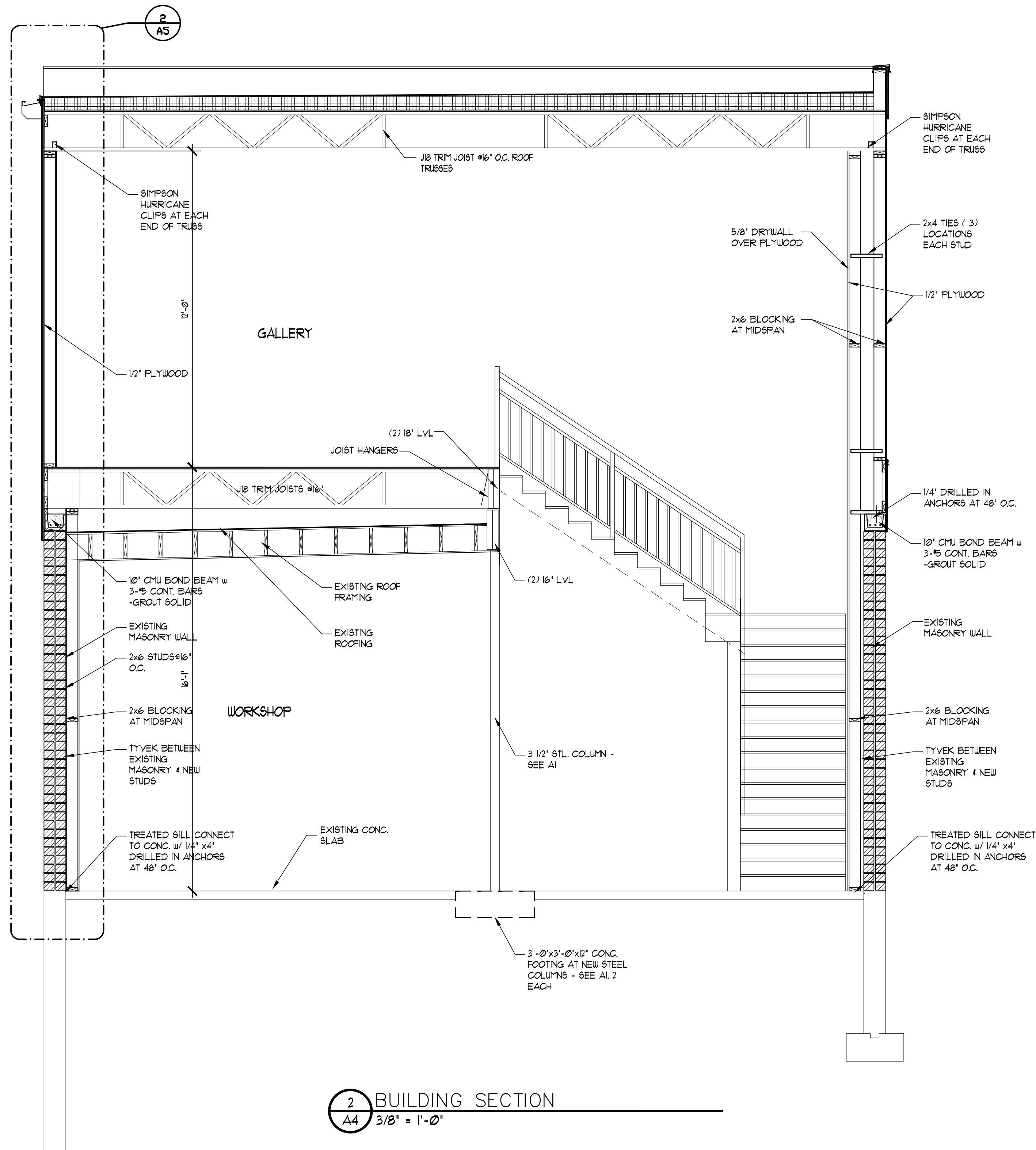
SCALE: 3/16 = 1'-0"

REMODEL & ADDITION AT
1 E. MAIN ST.
1 E. MAIN ST
EAST DUNDEE, IL

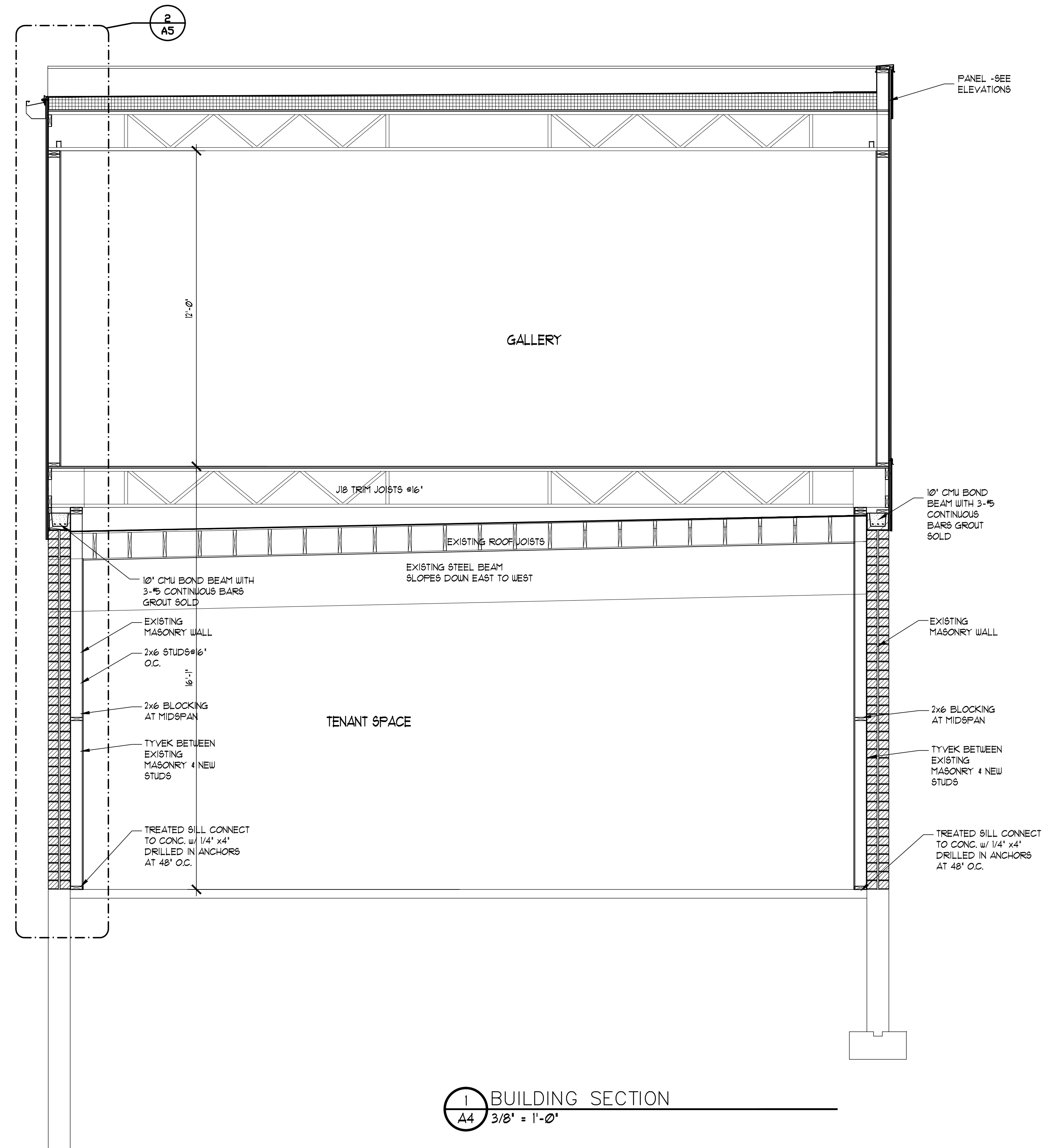
EXTERIOR ELEVATIONS & NOTES

SHEET
A3
OF 6

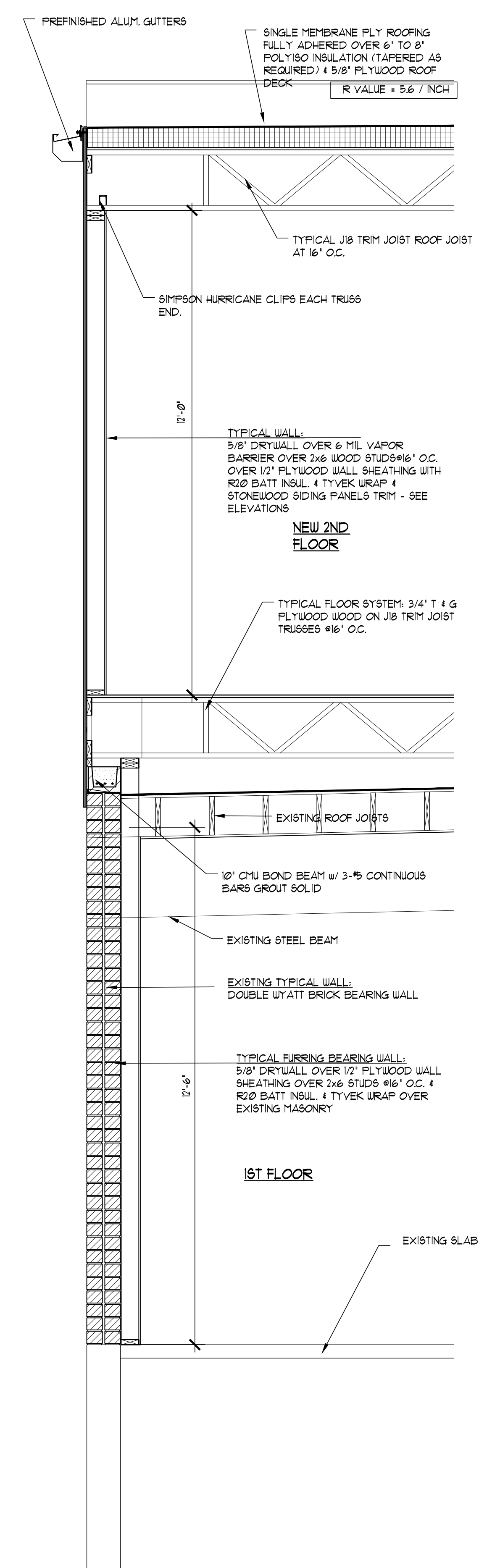
ISSUED FOR:	
PERMIT & CONST.	03/25/2020



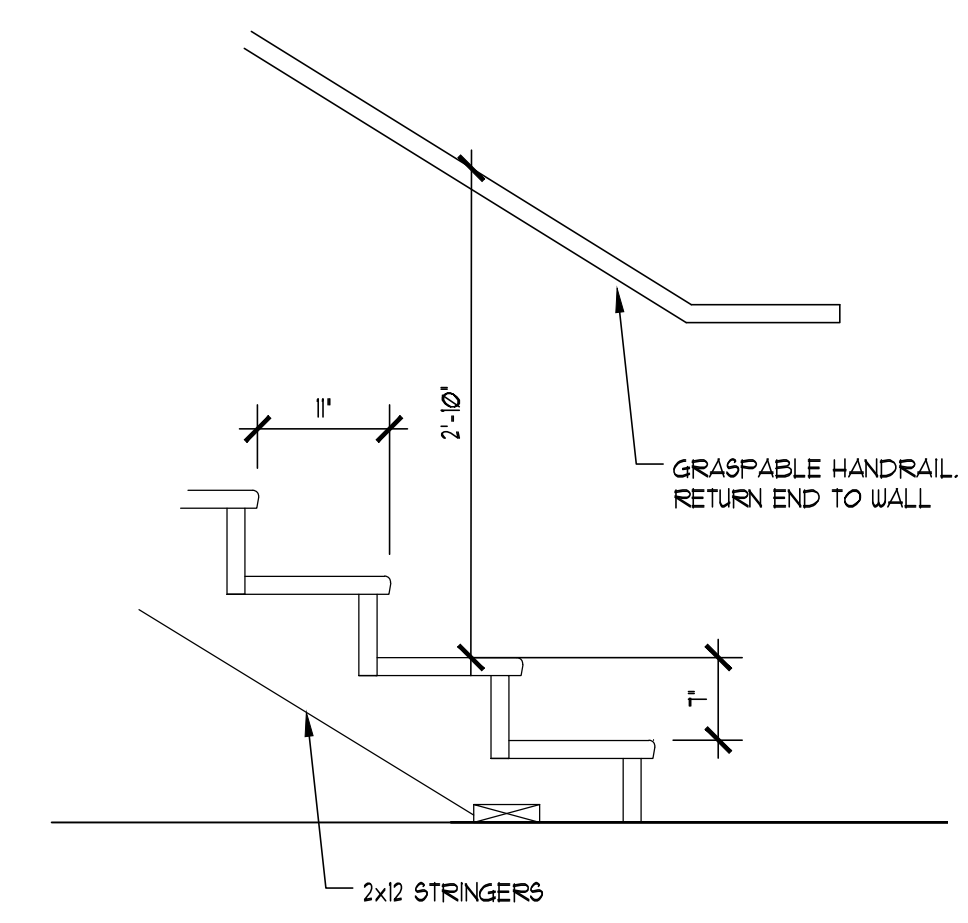
2 BUILDING SECTION
A4 3/8" = 1'-0"



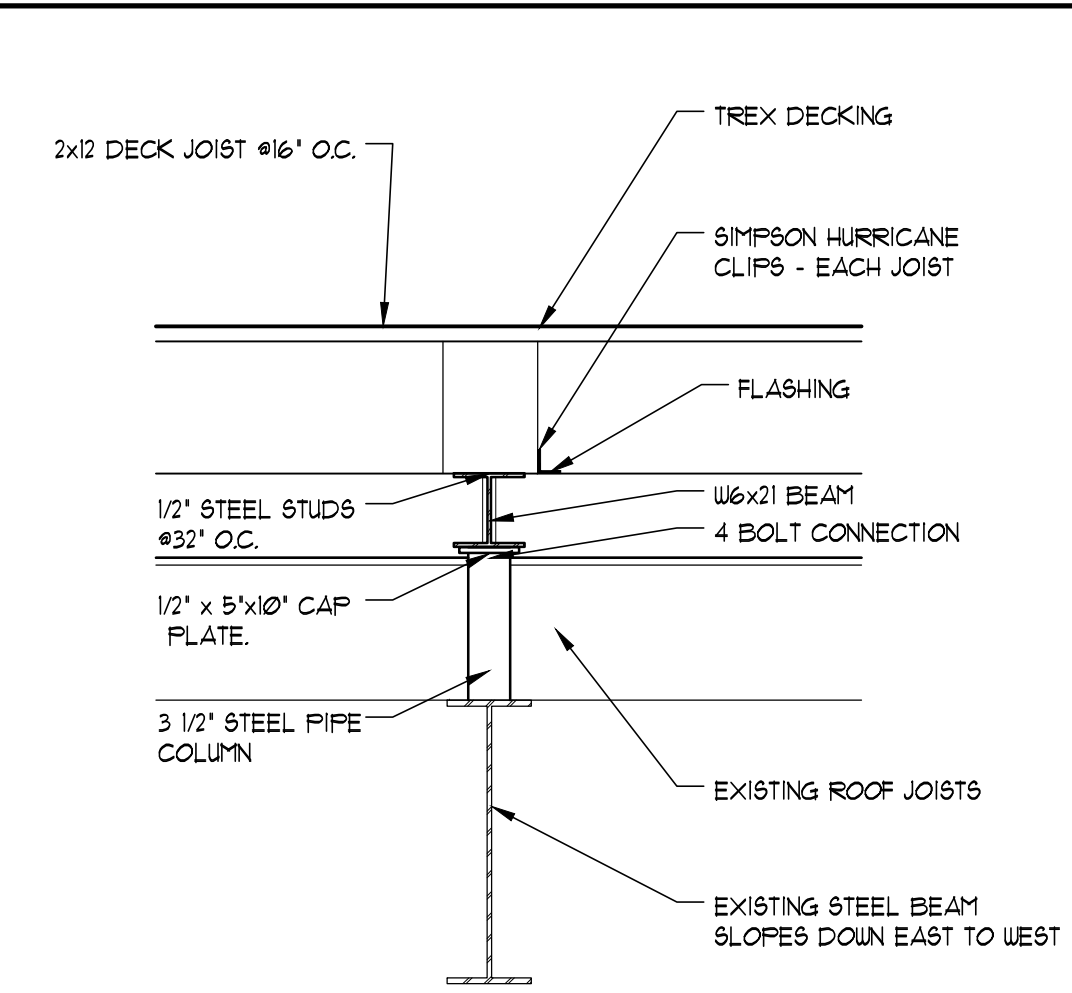
1 BUILDING SECTION
A4 3/8" = 1'-0"



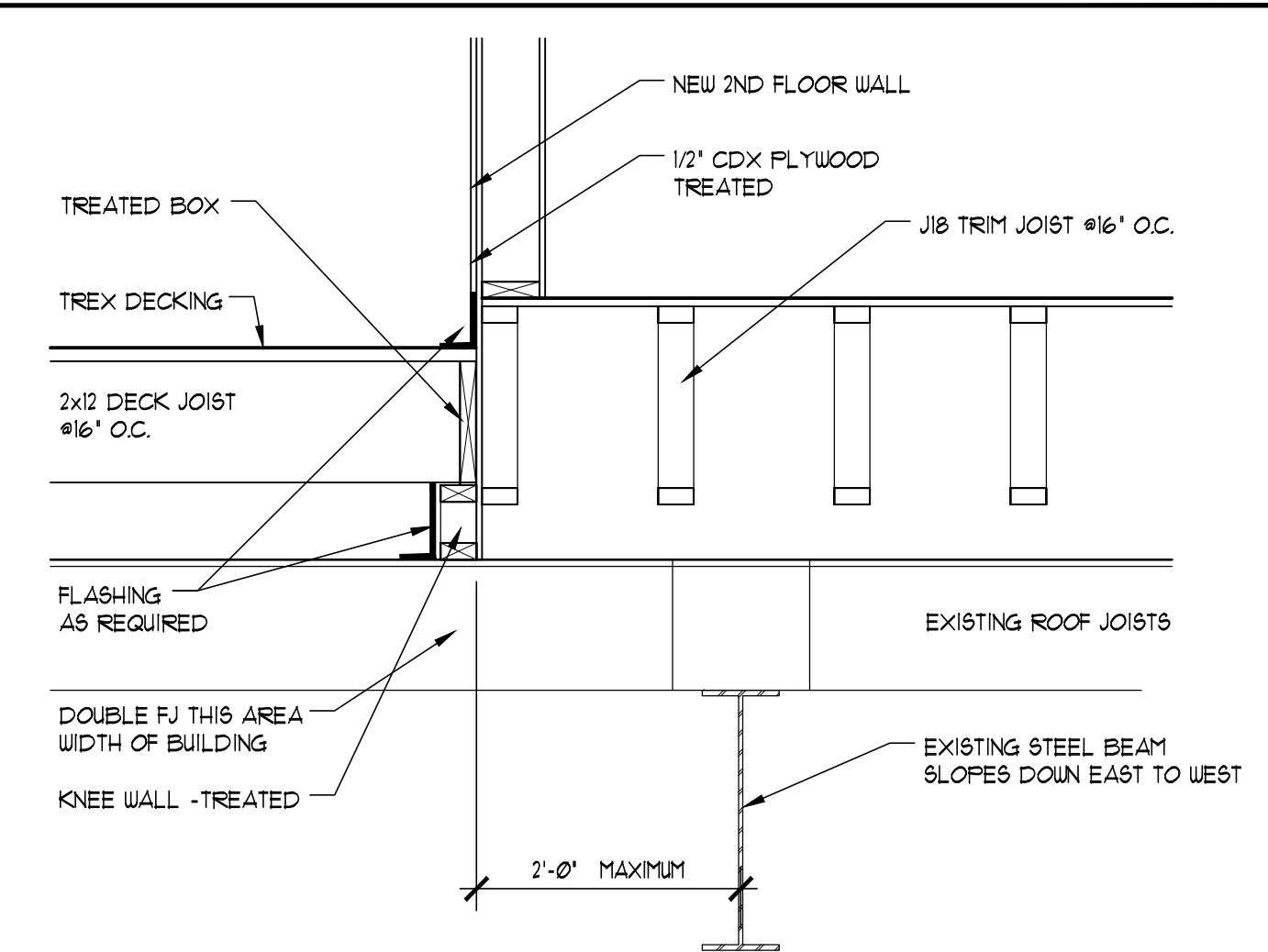
2
A5
WALL SECTION - TYPICAL
1/2" = 1'-0"



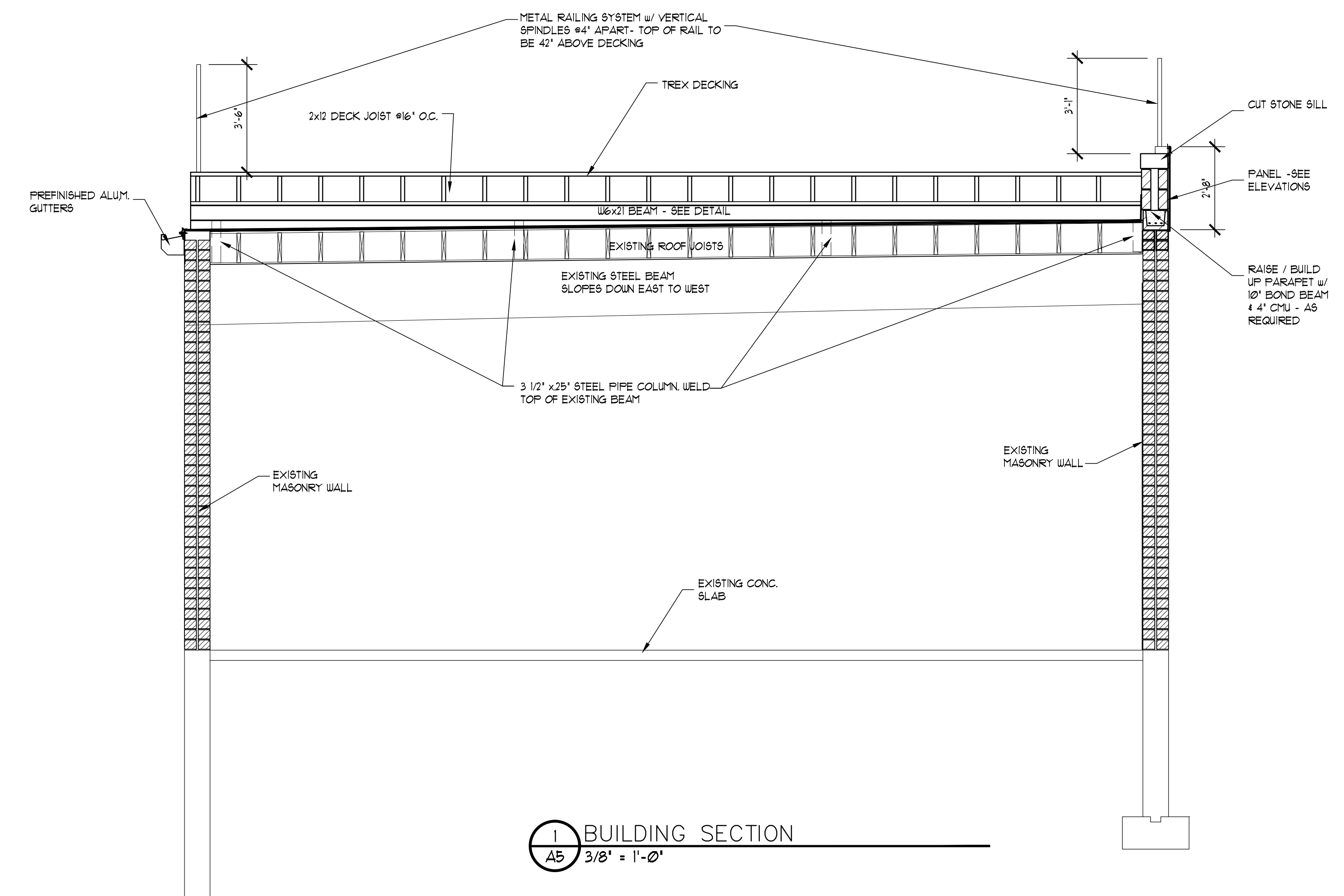
5
A4
STAIR DETAIL
3/4" = 1'-0"



4
A4
DECK FRAMING DETAIL
3/4" = 1'-0"



3
A4
DECK BUILDING DETAIL
3/4" = 1'-0"



1
A5
BUILDING SECTION
3/8" = 1'-0"

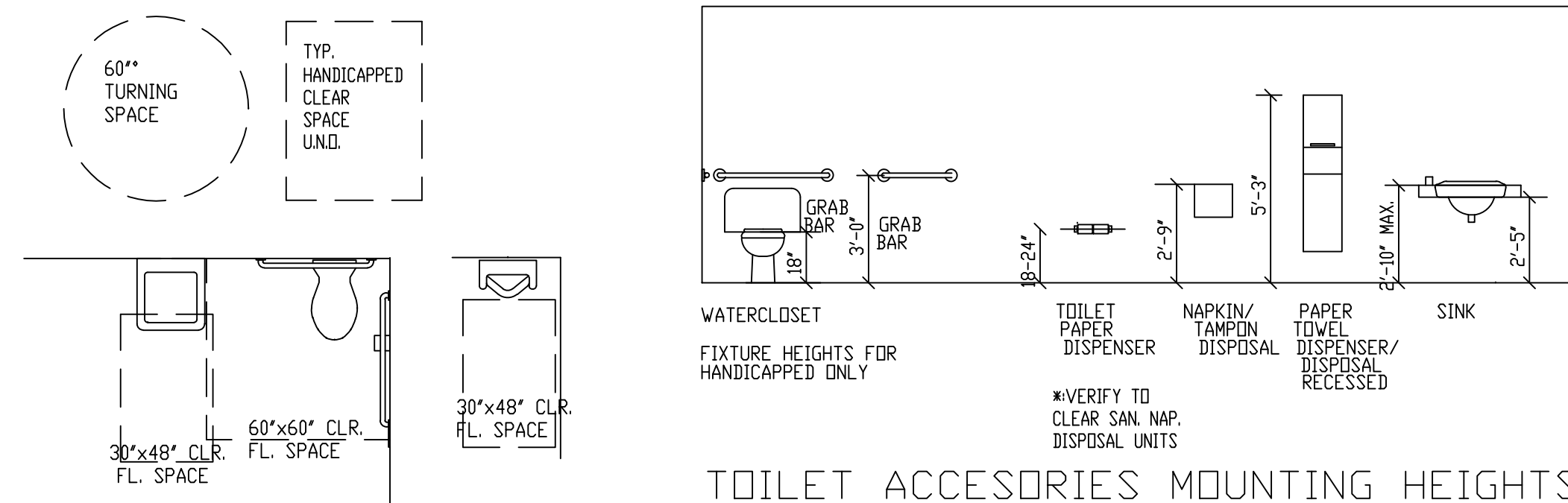
ISSUED FOR:	
PERMIT & CONST.	03/25/2020

REMODEL & ADDITION AT
1 E. MAIN ST.
1 E. MAIN ST
EAST DUNDEE, IL

WALL SECTIONS & DETAILS

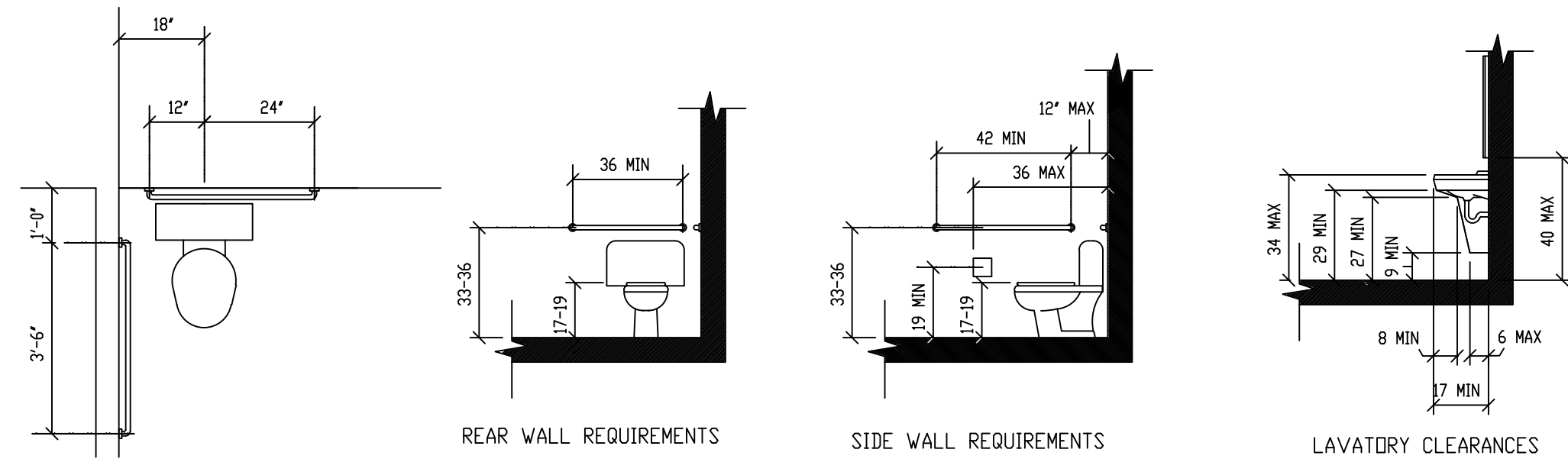
SHEET
A5
OF 6

ISSUED FOR:	
PERMIT & CONST.	03252020

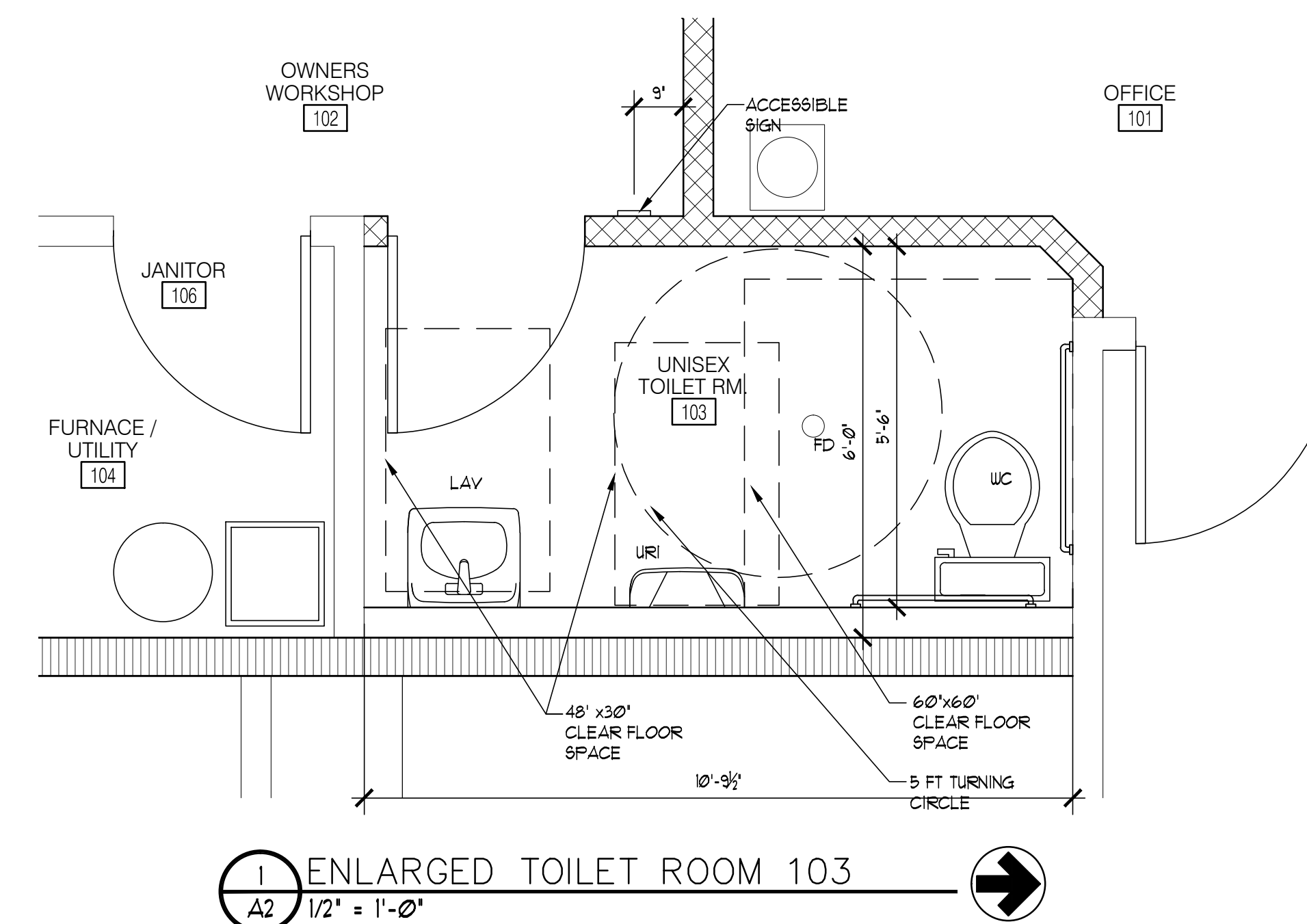
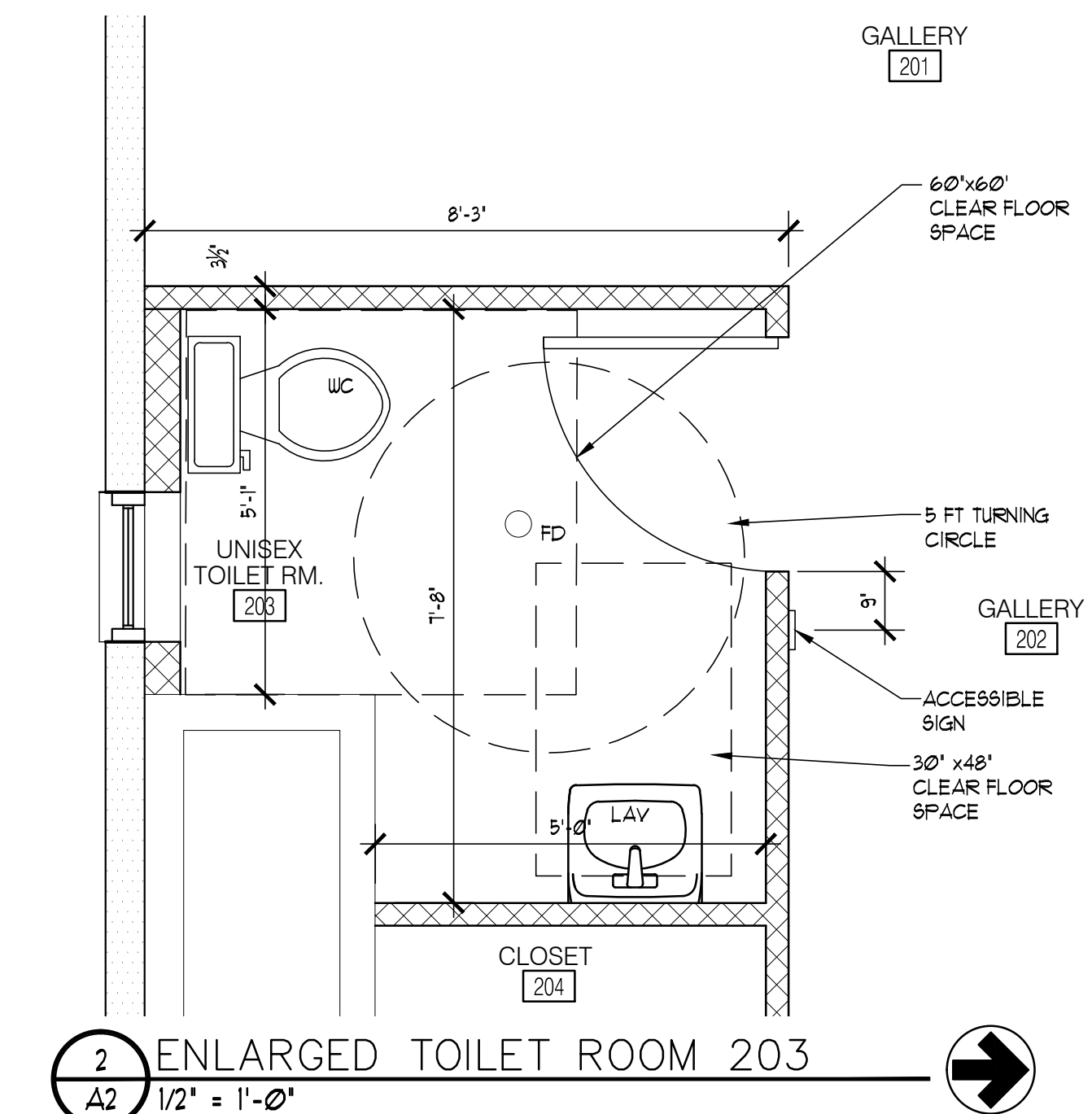
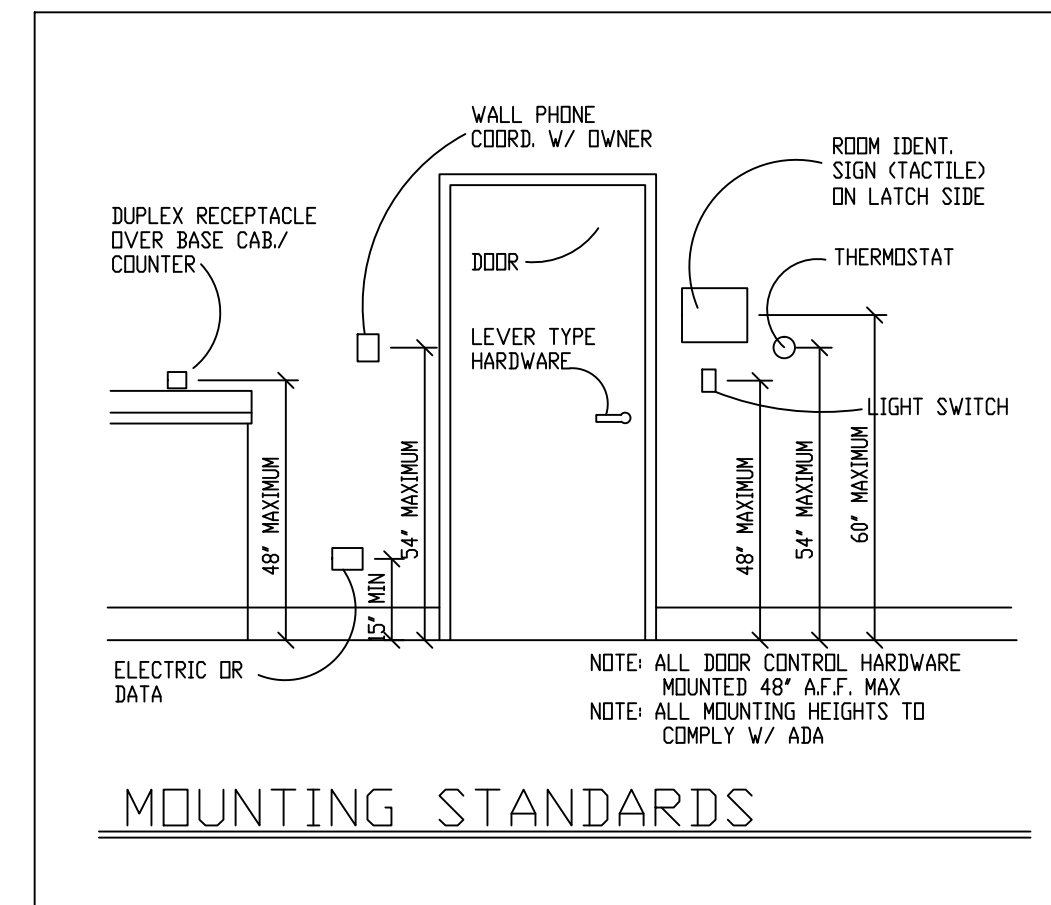


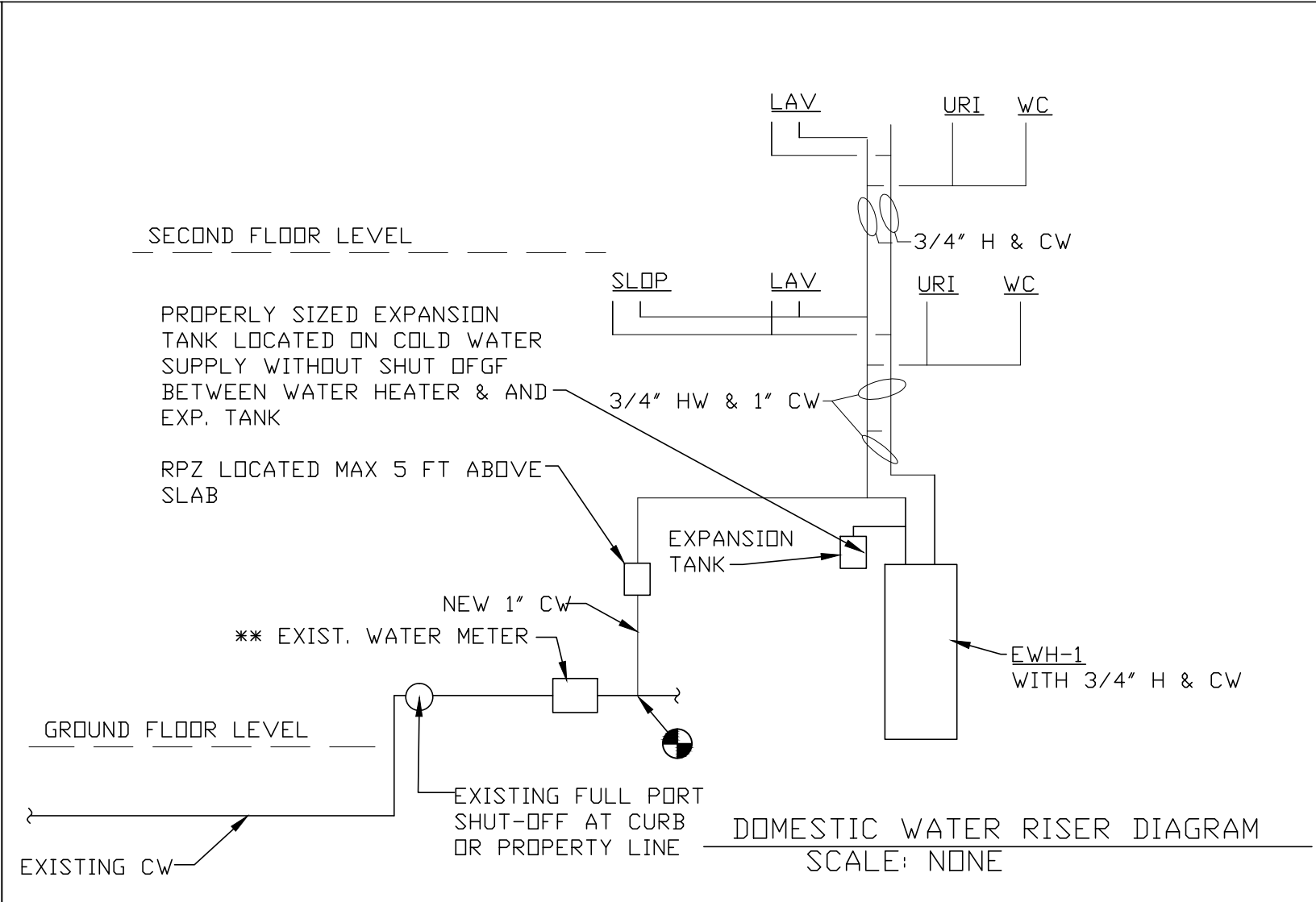
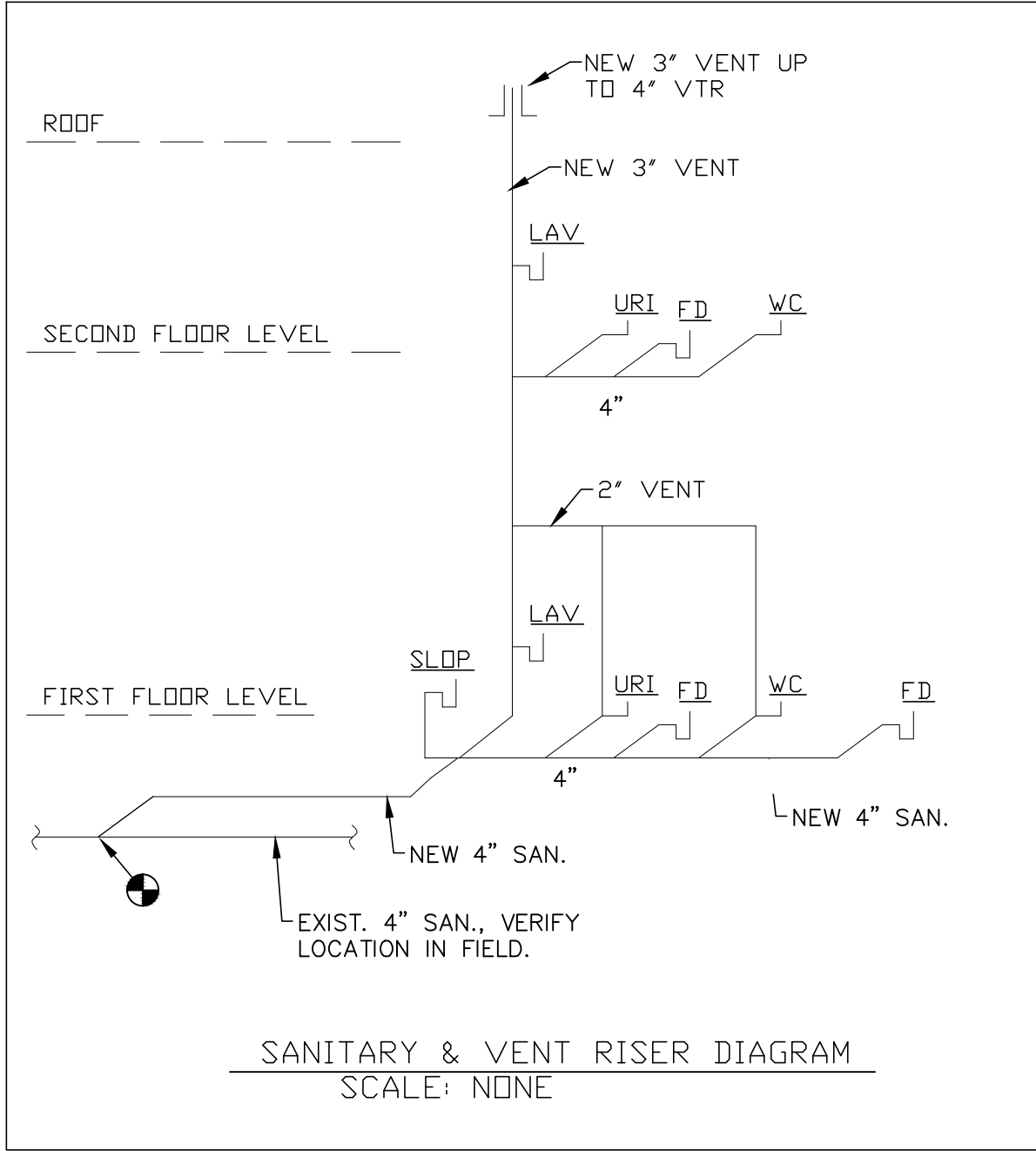
FIXTURE CLEARANCES

- NOTES:
1. ALL FIXTURES TO MEET ADAAG CLEARANCE AND HEIGHT REQUIREMENTS.
 2. ALL TOILETS FLUSH CONTROLS SHALL BE ON THE WIDE SIDE OF STALL.
 3. ALL PIPING UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE PROTECTED AGAINST ACCIDENTAL CONTACT.



MINIMUM TOILET ROOM REQUIREMENTS

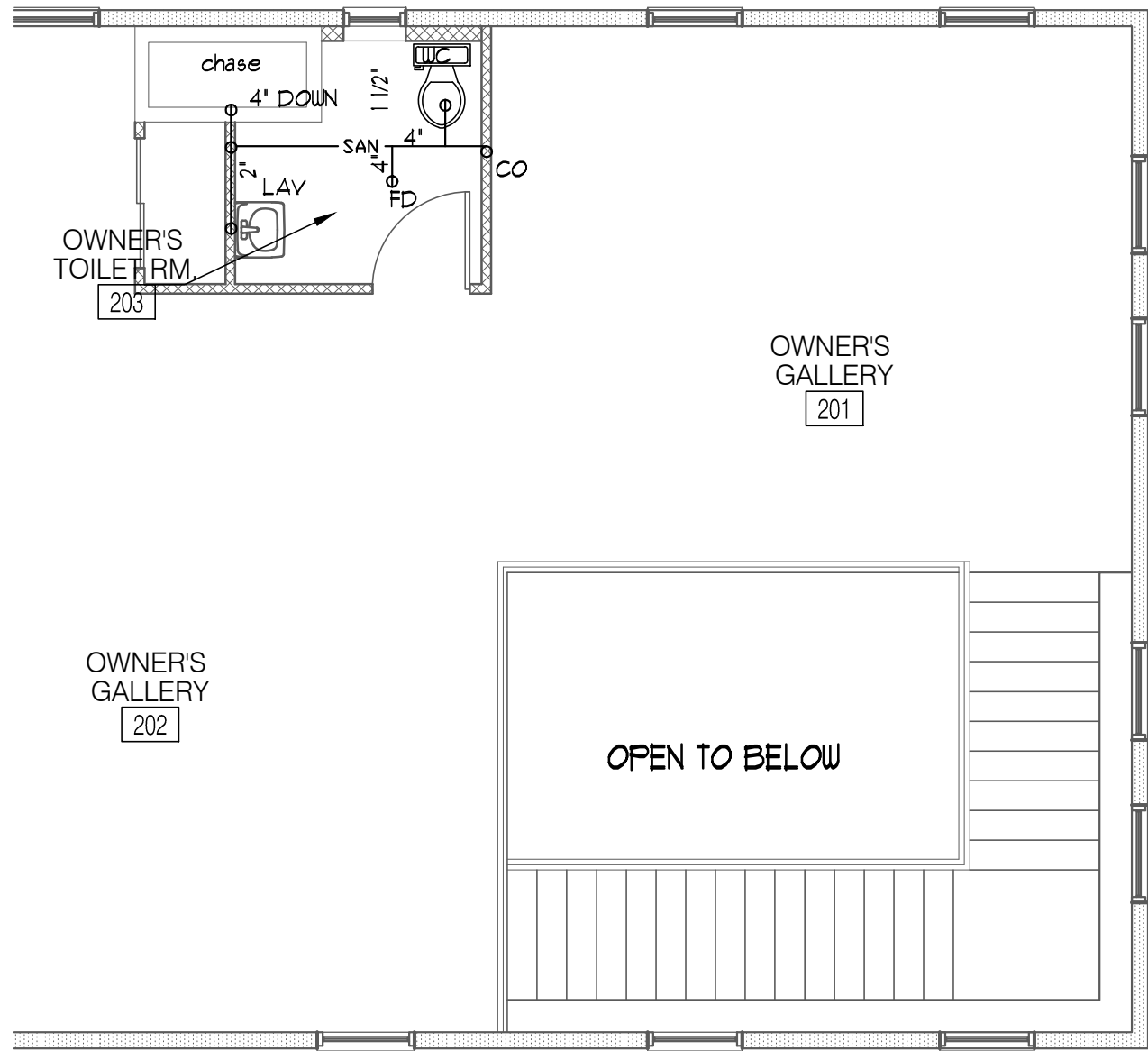




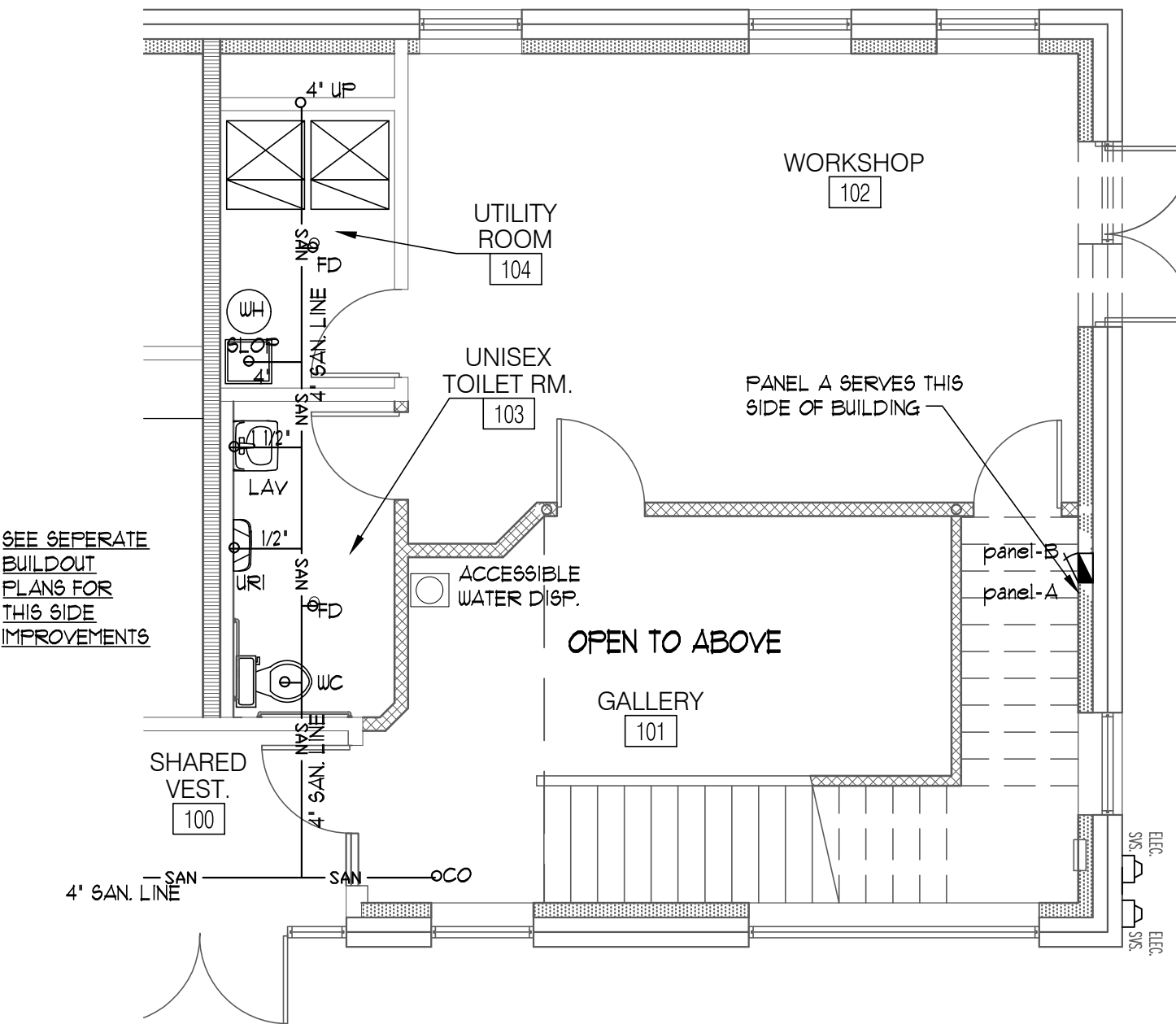
PLUMBING NOTES:

- ALL PLUMBING SHALL COMPLY WITH THE CURRENT ILLINOIS STATE PLUMBING CODE USED BY EAST DUNDEE, IL.
- PROVIDE SHUT-OFF VALVES AT ALL BRANCH LINES AND FIXTURES
- PROVIDE 12" AIR CHAMBERS AT ALL FIXTURES
- CLEANOUTS SHALL BE LOCATED AT A MAXIMUM OF 50'-0" O.C. IN WASTE LINES
- LAV FAUCETS SHALL BE SELF CLOSING WITH .5 GPM FLOW, ADA APPROVED UNITS
- INSULATE ALL ABOVE GROUND COLD AND HOT WATER PIPING
- ALL EXPOSED HOT WATER PIPES AND DRAIN PIPES BELOW LAVS SHALL BE INSULATED IN CONFORMANCE WITH ADA REQUIREMENTS
- ALL LAVATORY FAUCETS MUST BE SET TO NOT EXCEED THE TEMPERATURE OF 110 DEG.
- WATER CLOSET TO BE TANK TYPE FLUSH.
- THE FIRST 8 FT. OF PIPING FROM WATER HEATER TO BE INSULATED.
- PROVIDE SHUT OFF VALVE AT WATER HEATER. RELOCATE TEMPERING VALVE AS NECESSARY PER PLUMBING CONTR.
- PROVIDE HEAT TRAPS TO WATER HEATER INLET AND OUTLET IF W.H. DOES NOT HAVE AN INTEGRAL TRAPS.
- IF THE W.H. DOES NOT HAVE AN INTEGRAL HEAT TRAPS-THEN FIRST 8 FT. OF PIPING TO BE INSULATED WITH MIN. OF 1/2" INSULATION.
- PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY DOCUMENTATION TO OBTAIN PERMITS AND FOR CONSTRUCTION

NOTE: ALL CONTRACTOR SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS WORKING IN SAME AREA OF WORK. IE. ELEC. GAS, PLUMBING, ETC.



2 PLUMBING SECOND FLOOR PLAN
3/16" = 1'-0"



1 PLUMBING FIRST FLOOR PLAN
3/16" = 1'-0"

PLUMBING CONTRACTOR TO LOCATION VERIFY EXISTING SANITARY LINE AND WATER LINE PRIOR TO START OF WORK

SANITARY & VENT

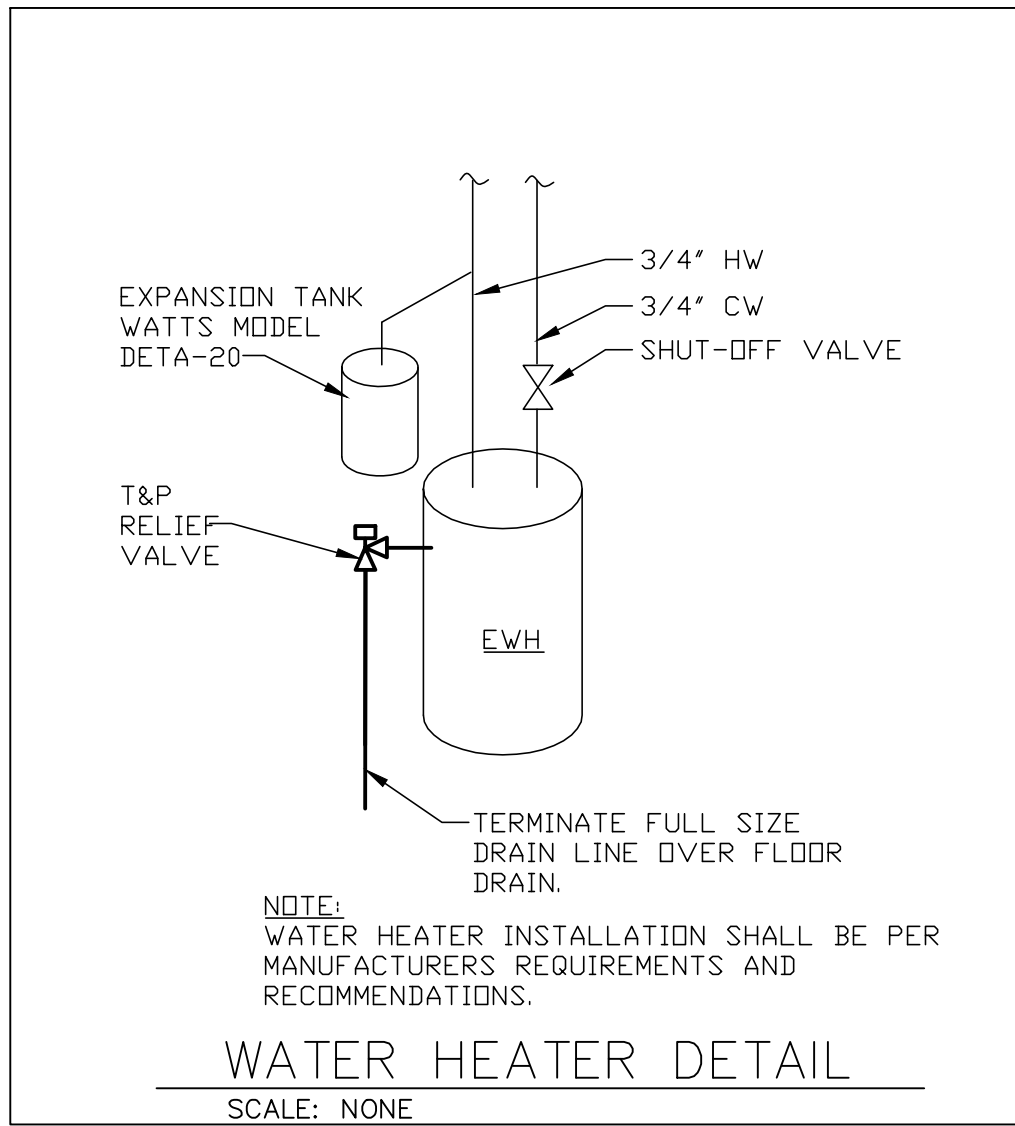
- PRIOR TO INSTALLATION OF NEW SANITARY LINES, CHECK AND CONFIRM INVERT ELEVATIONS REQUIRED FOR SEWER CONNECTIONS AND ENSURE THAT THESE CAN BE PROPERLY CONNECTED WITH SLOPE FOR DRAINAGE.
 - NEW SANITARY AND VENT PIPING SHALL BE PVC SCHEDULE 40 ASTM 1488. SANITARY LINES BELOW FLOOR SHALL BE 4" MINIMUM.
 - SANITARY AND WASTE LINES 2 1/2" AND SMALLER SHALL PITCH NOT LESS THAN 1/4" TO THE FOOT. LARGER PIPE SHALL PITCH NOT LESS THAN 1/8" TO THE FOOT.
 - CONTRACTOR SHALL PROVIDE A CLEAN OUT FOR THE SANITARY LINE EVERY 90 FT AND EVERY CHANGE IN DIRECTION.
 - PROVIDE A FLOOR DRAIN AT WATER METER.
 - PROVIDE IN ACCESSIBLE AREA AN OPEN SITE DRAIN FOR CONDENSATE
 - DEAD END PLUMBING SHALL NOT EXCEED TWO (2') IN LENGTH
- GAS
- GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL ASTM A-120-84 PIPE. PIPE SIZES LARGER THEN 2" SHALL HAVE BUTT WELDED JOINTS. PIPE SIZES 2" AND UNDER SHALL HAVE THREADED JOINTS.
 - PROVIDE DRIP LEGS AND CAPS FOR MOISTURE REMOVAL AT ALL EQUIPMENT.
 - PROVIDE AND INSTALL MAXITROL TYPE 325 GAS PRESSURE AT ALL GAS FIRED APPLIANCE. INSTALL REGULATORS SIZED PER EQUIPMENT PRESSURE REQUIREMENTS.

PLUMBING NOTES FOR PLUMBING PLAN REVIEW:

- ALL PLUMBING WORK SHALL IN ACCORDANCE WITH WITH 2014 (CURRENT) PLUMBING CODE. SECTION 890.11; IBC 107.1
- DRAINAGE & VENT WORK SHALL BE PRE SSURE TESTED WITH WATER OR AIR. SECTION 890.1930
- ACCESSIBLE TOILET FLUSH HANDLE IS LOCATED ON THE WIDE SIDE OF TOILET ROOM. IAC 604.6, 604.9.5, 604.8.2
- DRINKING WATER DISPENSER IS USED IN LIEU OF WATER FOUNTAIN. SUCH DRINKING WATER DISPENSER TO BE ACCESSIBLE FOR PUBLIC USE.
- INCOMING WATER SERVICE PIPE SHALL HAVE AN APPROVED RPZ(REDUCED PRESSURE BACKFLOW PREVENTER) INSTALLED. IN-LINE OF EQUAL PIPE DIAMETER OF WATER SERVICE AND LOCATED NOT MORE THAN 5 FT. ABOVE THE FLOOR
- ALL BACKFLOW DEVICES SHALL BE TESTED AND APPROVED BY A CROSS CONNECTION CONTROL DEVICE INSPECTOR (CCCDI) PRIOR TO INITIAL OPERATION.
- ALL DRAINS SHALL BE INDIVIDUALLY VENTED.
- ALL FLOOR DRAINS SHALL BE ACCESSIBLE AND READILY CLEANED AND LOCATED WITH PLAIN SITE FOR VISIBILITY
- ALL FLOOR DRAINS SHALL BE ACCESSIBLE AND READILY CLEANED AND LOCATED WITH PLAIN SITE FOR VISIBILITY
- SHUT-OFF VALVES SHALL BE INSTALLED ON SUPPLY BRANCH LINES TO EQUIPMENT TO BE ABLE TO SHUT-OFF 890.1190 F
- THE VILLAGE PLUMBING INSPECTOR SHALL FIELD VERIFY, THE DRAINS, VENTS & DISTRIBUTION SYSTEM THE PROPER SIZING IN ACCORDANCE WITH THE APPROPRIATE TABLES FOUND IN 890 APPENDIX A.

ELECTRIC WATER HEATER							
SYMBOL	SERVICE AREA	TYPE	CAP.	INPUT	VOLTAGE	RECOVERY (90 DEG TD)	MANUFACTURERS MODEL AND REMARKS
EW H 1	GROUND FLOOR	RESIDENTIAL TANK	40 GAL	6 KW	240V-1PH	21 GPH	AO SMITH MODEL ENT-40

PLUMBING FIXTURE SCHEDULE							
EQUIPMENT	WASTE	VENT	CW	HW	MANUFACTURER	MODEL	REMARKS
WC WATER CLOSET (TANK TYPE)	4"	2"	1/2"	-	KOHLER	K-3493	PROVIDE BENEKE 523SS SEAT.
LAV-1 WALL HUNG LAVATORY	1-1/2"	1-1/2"	1/2"	1/2"	KOHLER	K-2005-0	PROVIDE AMERICAN STANDARD MODEL 1480.115 FAUCET. PROVIDE TEMPERING VALVE AT SINK.
FD FLOOR DRAIN	3"	1-1/2"	-	-	ZURN	Z415B-3NH	LOCATE AT ALL WATER HEATERS AND FAN-COIL UNITS. PROVIDE INLINE TRAP SEAL AT FLOOR DRAIN (SEE NOTE BELOW).
EW H ELECTRIC WATER HEATER	-	-	3/4"	3/4"	A.D. SMITH	SEE SCHEDULE	



SANITARY & VENT

- PRIOR TO INSTALLATION OF NEW SANITARY LINES, CHECK AND CONFIRM INVERT ELEVATIONS REQUIRED FOR SEWER CONNECTIONS AND ENSURE THAT THESE CAN BE PROPERLY CONNECTED WITH SLOPE FOR DRAINAGE.
 - NEW SANITARY AND VENT PIPING SHALL BE PVC SCHEDULE 40 ASTM 1488. SANITARY LINES BELOW FLOOR SHALL BE 4" MINIMUM.
 - SANITARY AND WASTE LINES 2 1/2" AND SMALLER SHALL PITCH NOT LESS THAN 1/4" TO THE FOOT. LARGER PIPE SHALL PITCH NOT LESS THAN 1/8" TO THE FOOT.
 - CONTRACTOR SHALL PROVIDE A CLEAN OUT FOR THE SANITARY LINE EVERY 90 FT AND EVERY CHANGE IN DIRECTION.
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- GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL ASTM A-120-84 PIPE. PIPE SIZES LARGER THEN 2" SHALL HAVE BUTT WELDED JOINTS. PIPE SIZES 2" AND UNDER SHALL HAVE THREADED JOINTS.
 - PROVIDE DRIP LEGS AND CAPS FOR MOISTURE REMOVAL AT ALL EQUIPMENT.
 - PROVIDE AND INSTALL MAXITROL TYPE 325 GAS PRESSURE AT ALL GAS FIRED APPLIANCE. INSTALL REGULATORS SIZED PER EQUIPMENT PRESSURE REQUIREMENTS.

ISSUED FOR:

PERMIT # CONST. 03252020

REMODEL & ADDITION AT
1 E. MAIN ST.
EAST DUNDEE, IL

PLUMBING PLANS, SCHEDULES &
SPECS

SHEET

P1

OF 1

ELECTRICAL SPECIFICATIONS

EQUIPMENT OF WORK: PROVIDE ALL LABOR, MATERIALS AND SERVICES REQUIRED FOR A COMPLETE ELECTRICAL INSTALLATION IN THE BUILDING, AS INDICATED, INCLUDING, BUT NOT LIMITED TO, COMPLETE INSTALLATION OF NEW SECONDARY SERVICE CABLES, PANEL COMPONENTS, LIGHTING FIXTURES, RECEPTACLES, SWITCHES, DEVICES, ETC., AS INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREIN.

COMPLIANCE: ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS, RULES AND REGULATIONS APPLICABLE TO THE WORK, AND TO THE RULES AND REGULATIONS OF THE NATIONAL BOARD OF UNDERWRITERS AND THE NATIONAL ELECTRICAL CODE. ALL FEES IN CONNECTION THEREWITH SHALL BE PAID BY THE ELECTRICAL CONTRACTOR.

GROUNDING: THE ELECTRICAL CONTRACTOR SHALL MEET ALL REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, ARTICLE 250, WHEN EMT AND OR FLEXIBLE METAL CONDUITS ARE USED AS THE EQUIPMENT GROUNDING CONDUCTOR. IT SHALL COMPLY WITH ARTICLE 250.91.

SITE VISITS: THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO ASCERTAIN AT FIRST HAND THE EXISTING OR THE EXISTING ELECTRICAL INSTALLATION. SITE CONDITIONS AND JOB PARTICULARITIES, CLAIMS FOR RETRADEMENTS BASED ON LACK OF KNOWLEDGE OF EXISTING CIRCUMSTANCES WILL NOT BE ALLOWED.

FIELD MEASUREMENTS: THE ELECTRICAL CONTRACTOR MAKE ALL NECESSARY FIELD MEASUREMENTS TO INSURE THE ABILITY TO EXECUTE THE ELECTRICAL WORK IN ACCORDANCE WITH THE CONTRACTOR DOCUMENTS.

TEMPORARY POWER: THE ELECTRICAL CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY LIGHTING AND POWER THROUGHOUT THE PROJECT. TEMPORARY LIGHTING SHALL BE EQUIPPED WITH PROPER LAMP PROTECTION. TEMPORARY ELECTRICAL INSTALLATION SHALL BE REMOVED FROM EACH AREA AS SOON AS PERMANENT INSTALLATION IS COMPLETED AND OPERATIONAL.

RACEWAYS: A. ALL INTERIOR WIRING SHALL BE IN EMT CONDUIT EXCEPT WHERE PROHIBITED BY THE NEC AND/OR LOCAL AUTHORITY. FLEXIBLE METAL CONDUIT GREENFIELD SHALL BE USED FOR FINAL CONNECTIONS TO RECESSED LIGHTING FIXTURES AND INDOOR EQUIPMENT. B. ALL CONDUITS IN FINISHED AREAS SHALL BE CONCEALED IN WALLS OR BE RUN ABOVE SUSPENDED CEILINGS.

COORDINATION: A. DRAWINGS AND SPECIFICATIONS ARE INTENDED TO INCLUDE ALL WORK AND MATERIALS FOR THE ENTIRE COMPLETION OF THE WORK, AN ITEM OF MATERIAL LABOR OR DETAIL REQUIRED FOR PROPER EXECUTION AND COMPLETION OF THE WORK AND OMITTED FROM EITHER THE PLANS AND SPECIFICATIONS OR BOTH, BUT OBVIOUSLY UNDERSTOOD AND OR REQUIRED TO MAKE ALL SYSTEMS COMPLETE AND OPERABLE, SHALL BE FURNISHED AS PART OF THE CONTRACT WITHOUT ADDITIONAL COST EVEN THOUGH NOT SPECIFIED OR SHOWN.

CONDUCTORS: A. ALL CONDUCTORS SHALL BE COPPER, 600V INSULATION, TYPE THHN/THWN. ALL CONDUCTORS 8 AWG AND LARGER SHALL BE STRANDED. B. ALL CONDUCTORS IN WET LOCATIONS SHALL BE 600 VOLT INSULATION TYPE THHW. C. MINIMUM CONDUCTOR SIZE SHALL BE #12.

LIGHTING AND POWER PANELS: PANELS SHALL BE SURFACE MOUNTED, CIRCUIT BREAKER TYPE AND SHALL BE RATED AS SHOWN ON PLAN. BRANCH CIRCUIT BREAKERS SHALL BE RATED AT 10,000 AIC UNLESS OTHERWISE NOTED ON THE DRAWINGS. 120/208 VOLT 3 PHASE PANELBOARDS SHALL BE SURFACE MOUNTED OR EQUAL AS MANUFACTURED BY CUTLER HAMMER, GENERAL ELECTRIC, ITE, MULLER, Sylvania, OR WESTINGHOUSE.

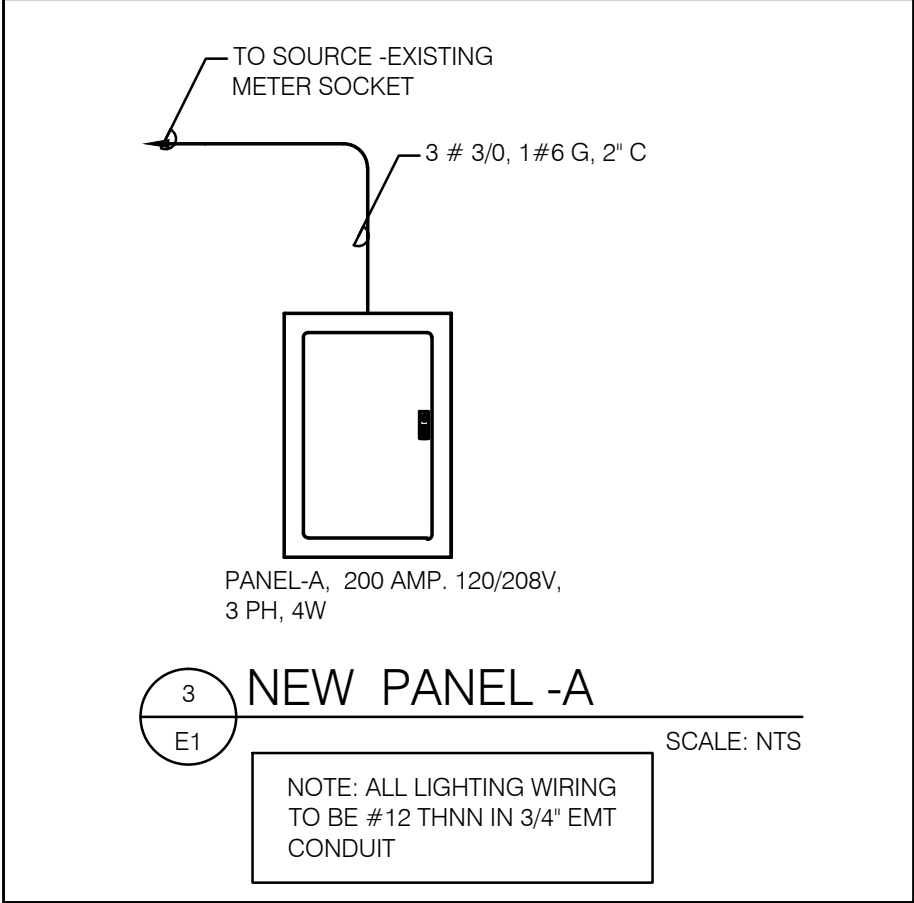
WIRING DEVICES: ALL DEVICES TO BE OF ONE MANUFACTURER, ACCEPTABLE MANUFACTURERS: LEVITON, PASS, SEIMOUR, HUBBELL, WATTSTOPPER. COLOR IS TO BE COORDINATED WITH ARCHITECT. A. LINE VOLTAGE LIGHT SWITCHES SHALL BE HEAVY DUTY SPECIFICATION GRADE 20 AMPERE 120/277 VOLT AC QUITE TYPE SINGLE POLE DOUBLE POLE THREE WAY OR FOUR WAY AS INDICATED ON PLAN. B. OCCUPANCY SENSOR WALL SWITCHES ARE TO BE 20 AMP RATED, SPECIFICATION GRADE 120/277 VOLT. C. CEILING MOUNTED OCCUPANCY SENSORS ARE TO BE SPECIFICATION GRADE, PROVIDE POWER AND RELAY PACKS AS REQUIRED. FIELD LOCATE FOR BEST COVERAGE OF INDICATED SPACE. WIRE SENSOR RELAY IN SERIES WITH MANUAL SWITCH WHERE BOTH ARE INDICATED FOR SAME SPACE TO ALLOW MANUAL OVERRIDE OF SENSOR OPERATION. D. GENERAL USE RECEPTACLES SHALL BE DUPLEX GROUNDING TYPE 20 AMPERE 120 VOLT SPECIFICATION GRADE TYPE 5 20R PLASTIC FACE. E. GROUND FAULT CIRCUIT INTERRUPTING GFCI OUTLETS TO BE 20 AMP RATED HEAVY DUTY SPECIFICATION GRADE 120 VOLT 2 POLE 2 WIRE GROUNDING RECEPTACLE WITH INDICATOR, RESET AND GROUND FAULT INTERRUPTER SET TO TRIP AT 4 MILLIAMPS LEAKAGE CURRENT. F. PLATES COLOR SHALL MATCH THE DEVICE INSTALLED.

LIGHTING FIXTURES: SHALL BE AS SHOWN BY THE LIGHTING FIXTURE SCHEDULE. FIXTURES SHALL BE INSTALLED NEATLY, PARALLEL TO THE BUILDING LINES, AND SHALL BE COMPLETE WITH LAMPS. EXIT LIGHTING SHALL BE AS SPECIFIED ON PLAN.

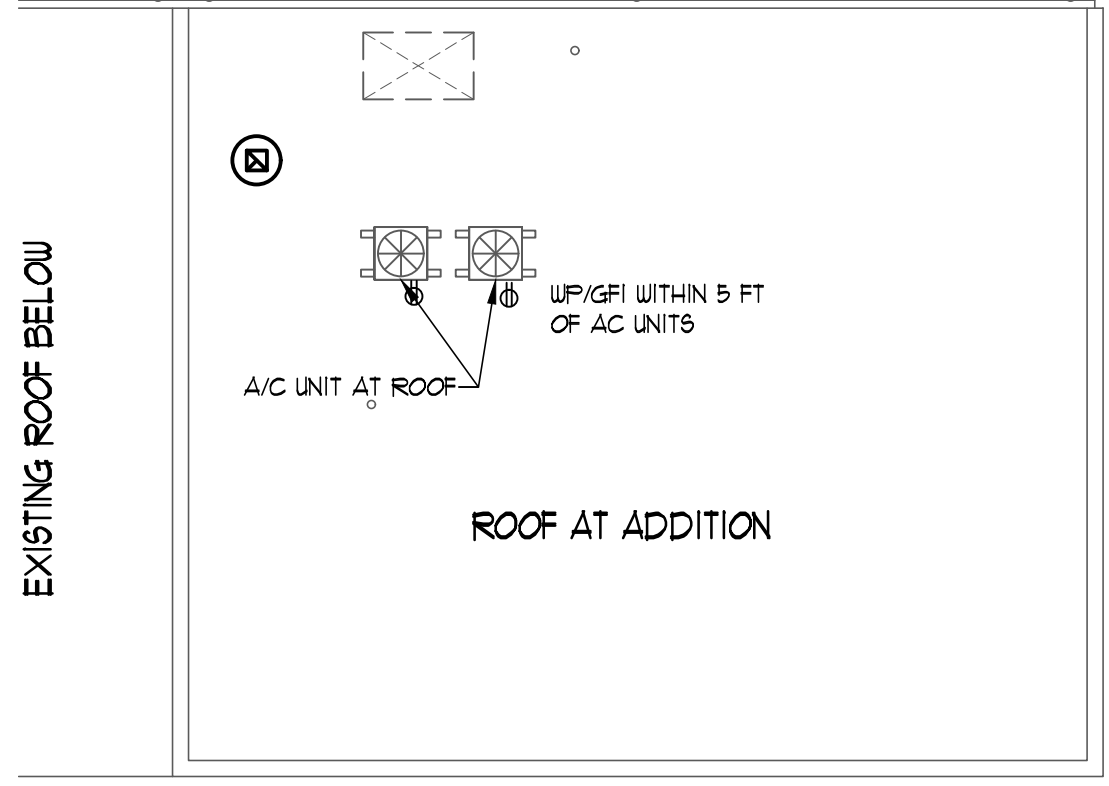
COORDINATION, CONTINUED: B. BEFORE ANY WORK IS INSTALLED, AND BEFORE ANY EQUIPMENT IS FABRICATED OR PURCHASED, THE CONTRACTOR SHALL CONSULT ALL CONTRACT DOCUMENTS, IN SO FAR AS THEY MAY AFFECT WORK, OR AFFECT THE LOCATION OF EQUIPMENT, PIPING, OR DUCT WORK, AND SHALL BE HELD TO BE THOROUGHLY CONVERSANT WITH THE CONSTRUCTION PROBLEMS IN SO FAR AS THEY AFFECT HIS WORK, AND TO COORDINATE WITH OTHER TRADES IN DOING THEIR WORK, AND LOCATING EQUIPMENT.

BRANCH CIRCUIT WIRING

BREAKER/FUSE	MIN. WIRE SIZE	BREAKER/FUSE	MIN. WIRE SIZE	BREAKER/FUSE	MIN. WIRE SIZE
15	#12	80	#3	300	350 kcmil
20	#12	90	#3	350	500 kcmil
25	#12	100	#2	400	600 kcmil
30	#10	110	#1	450	(2) 250 kcmil
35	#10	125	1/0	500	(2) 250 kcmil
40	#8	150	1/0	600	(2) 350 kcmil
45	#8	175	2/0	700	(2) 400 kcmil
50	#8	200	3/0	800	(2) 600 kcmil
60	#4	225	4/0	1200	(3) 600 kcmil
70	#4	250	250 kcmil	1600	(4) 600 kcmil



EC TO VERIFY LENGTH OF PANEL FEEDER AND ACCOMMODATE FOR VOLTAGE DROP PER ADOPTED NEC REQUIREMENTS



5 POWER PLAN @ROOF 1/8" = 1'-0"

PRIOR TO FINAL INSPECTION, ADDITIONAL EXIT OR EM LIGHTING MAYBE REQUIRED DURING ON SITE INSPECTION (IBC 106.11.10.13)
PRIOR TO WIRING FOR OUTLETS - VERIFY WITH TENANT AND VERIFY WITH FIXTURE SELECTED

ADDITIONAL LIGHTING & ELECTRICAL NOTES:

- EC TO VERIFY SWITCHING WITH TENANT, ALL SWITCHES SHALL BE INSTALLED AT 44" AFF, UNLESS OTHERWISE NOTED.
- ALL OUTLETS SHALL BE INSTALLED AT 18" AFF, UNLESS OTHERWISE NOTED.
- EC TO VERIFY ELECTRICAL SPECIFICATION WITH TENANT & PROVIDE PROPER CIRCUITING & GROUNDING.
- EC TO PROVIDE PANEL SCHEDULE AND LABEL PANEL PROPERLY & LEGIBLY BEFORE FINAL INSPECTION.
- TENANT TO APPROVE ALL LIGHTING FIXTURES & TRIM PROVIDED BY CONTRACTOR.
- SOME RECEPTACLE MAYBE EXISTING, EC TO VERIFY AND COORDINATE WITH NEW WORK.
- ADDITIONAL EM AND EXIT LIGHT MAYBE REQUIRED BY FIRE DEPT AT FINAL INSPECTION.
- ALL CONDUITS RUNS AT ROOF LEVEL MUST BE KEPT DOWN FROM ROOF DECK A MINIMUM OF 3"
- ALL NEW & EXISTING LOW VOLTAGE & FLEX WHIPS ABOVE CEILING MUST BE PROPERLY SECURED & SUPPORTED OFF DROP CEILING (300.11).
- NEW 2X4 FIXTURES MUST BE PROPERLY SECURED WITH 2 TIE RODS ON OPPOSITE SIDES.

NOTES:

- PROVIDE DISCONNECT AT ALL APPLIANCES (PER NEC ARTICLE 424.11).
- BOND WATER PIPING (HOT & COLD) AROUND WATER HEATER CONNECTION.
- ALL WIRE CONDUIT SIZING PER NEC AND EAST DUNDEE AMENDMENTS.
- SEE SHEET E1 FOR SWITCHING / LIGHT REDUCTION MEANS

NOTE: APPLY VOLTAGE DROP PER 2014 NEC.

LUMINAIRE SCHEDULE

FINAL SELECTION IS SUBJECT TO OWNER'S SELECTION & APPROVAL

FIXTURE	LOCATION OR SERVICES	DESCRIPTION	MANUFACTURER / CATALOG NO.	LAMPS	REMARKS
A	OPEN AREAS & CORR.	LINEAR LED	(8 FT CONFIGURATION) 53W	LED LAMP 3500K	
B	VARIOUS	LINEAR LED	(4 FT CONFIGURATION) 53W	LED LAMP 3500K	
EM	VARIOUS LOCATIONS	EMERGENCY BATTERY BACK-UP WALL PACK	LITHONIA LIGHTING: LED EU2L M12 (120V) 3W	EU2 LED M12	
EX	VARIOUS LOCATIONS	EXIT SIGN W/BATTERY BACK=UP	LITHONIA LIGHTING: LQM - LED (120V) 3W	ECR LED	MINIMUM 90 MINUTE RUN TIME W/ REMOTE HEAD AND CONNECTED DESIGNATED CKT
EX	VARIOUS LOCATIONS	EXIT SIGN -EM LIGHT COMBO W/BATTERY BACK=UP	LITHONIA LIGHTING: LHQM LED (120V) 3W	LED -(2) 1.5W/9.6V	MINIMUM 90 MINUTE RUN TIME W/ REMOTE HEAD AND CONNECTED DESIGNATED CKT
EH	EXITS	WEATHER PROOF REMOTE HEAD	LITHONIA LIGHTING: ELAQ LED (120V) 3W	L0309 1.5W/9.6V	MINIMUM 90 MINUTE RUN TIME W/ REMOTE HEAD AND CONNECTED DESIGNATED CKT
C	VARIOUS	LINEAR UTILITY FLOURESCENT	LITHONIA 1'x4' SINGLE OR HOOKED TOGETHER AS 8 FT.	32W T8	
D	EXTERIOR ENTRIES	INCANDESCENT /LED	PER OWNER - ACCENT DECORATIVE STYLE	75W/13W LED	SWITCHED OR ON PHOTO-CELL

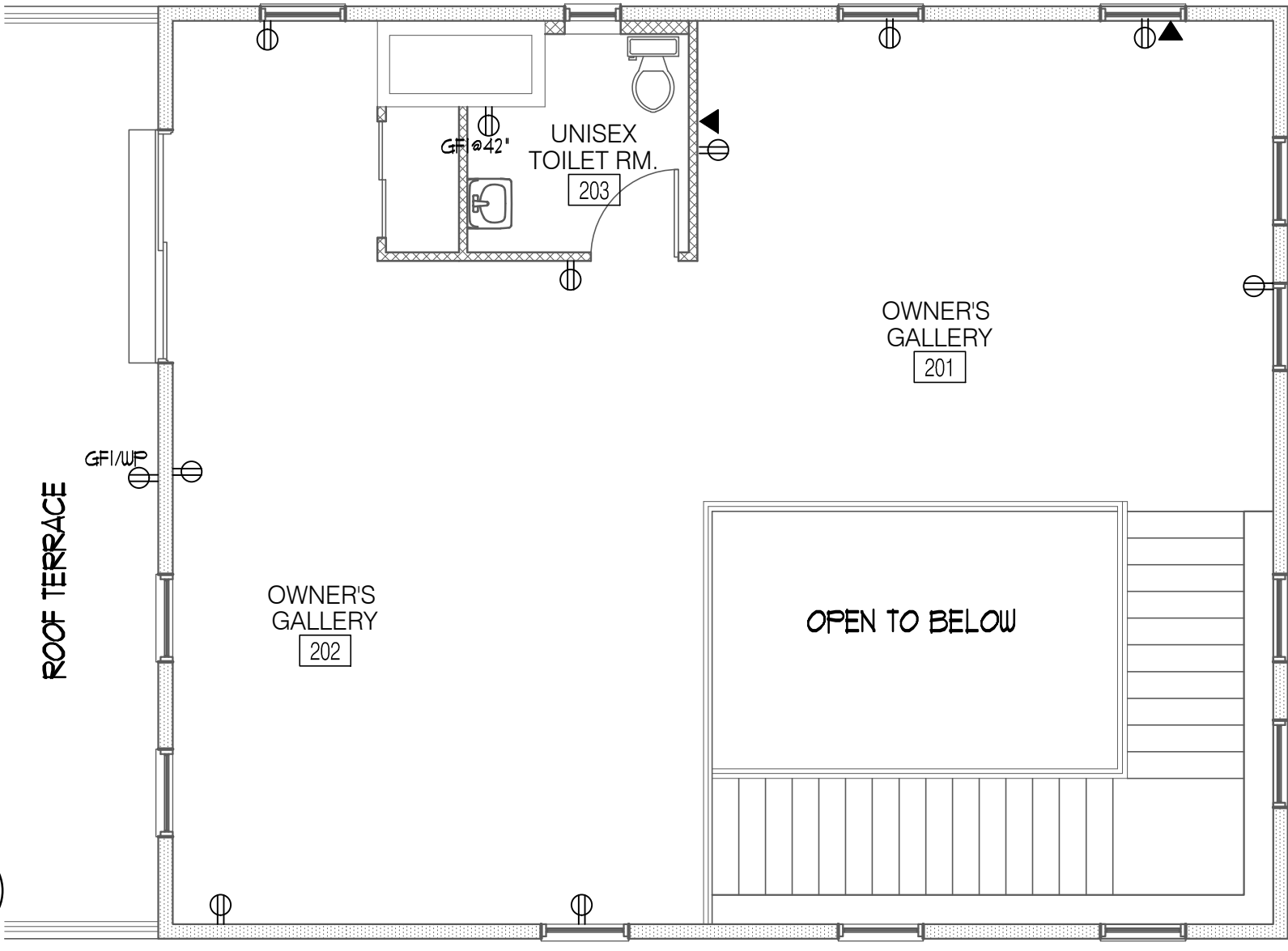
SYMBOL LEGEND

- DUPLEX RECEPTACLE AT 18" AFF UON
- GFI DUPLEX RECEPTACLE
- DEDICATED DUPLEX RECEPTACLE
- WEATHER PROOF DUPLEX RECEPTACLE
- DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER
- JUNCTION BOX
- POWER PANEL
- TELEPHONE RECEPTACLE, CONDUIT IN WALL AND 3" STUB UP ABOVE FINISHED CEILING WITH PULL STRING
- TOGGLE SWITCH
- EXHAUST FAN
- EXIT SIGN
- WALL MOUNT BATTERY PACK
- EXIST./EM. COMBO HEAD
- REMOTE EXTERIOR EM HEAD
- WALL SCONCE - EXTERIOR

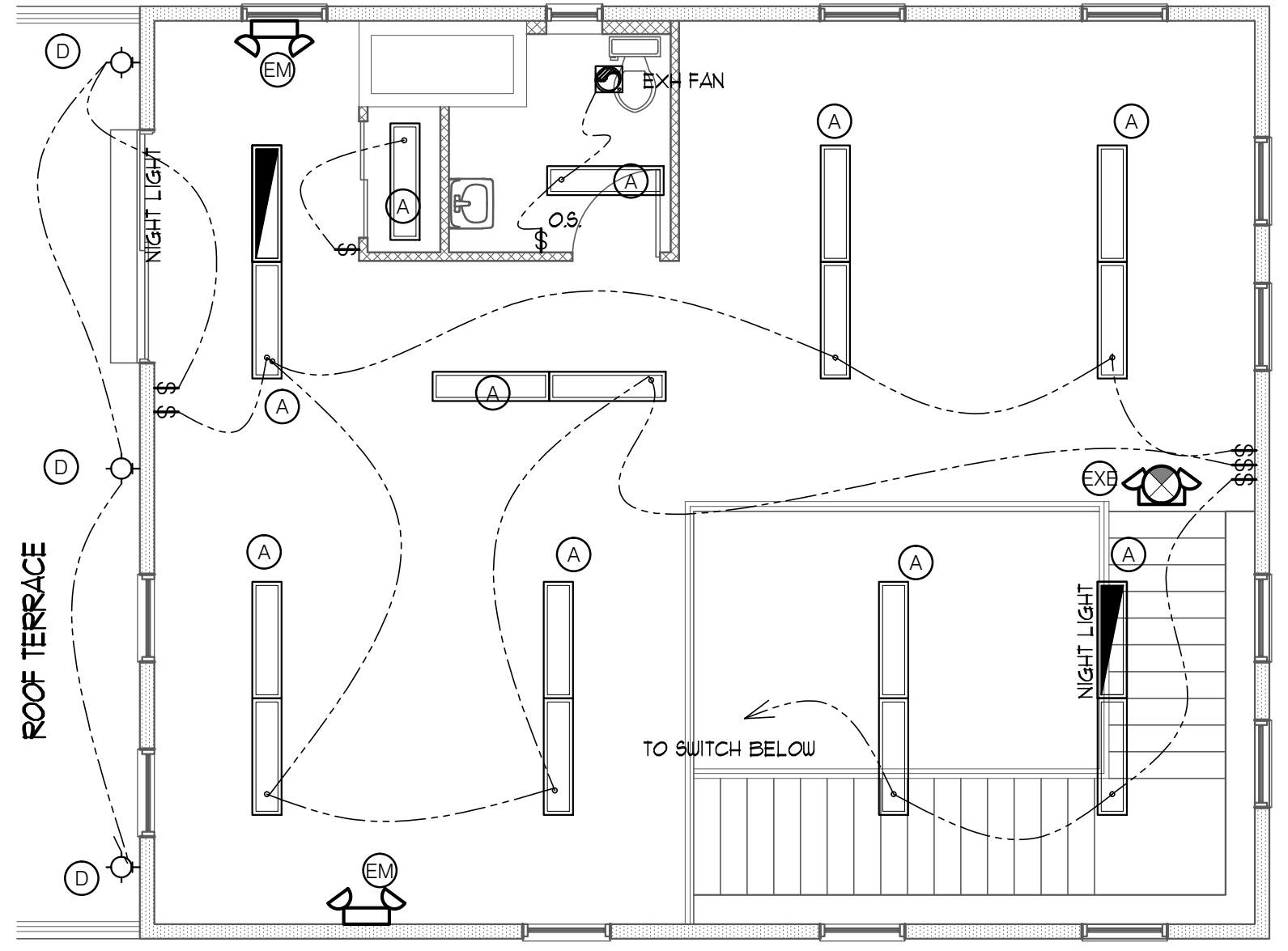
E1 SHEET NOTES

- FINAL LOCATION OF PHONE/DATA OUTLETS IS TO BE VERIFIED BY THE TENANT /DEVELOPER /OWNER.
- ALL LIGHT FIXTURES BY EC. APPROVED BY DEVELOPER / OWNER.

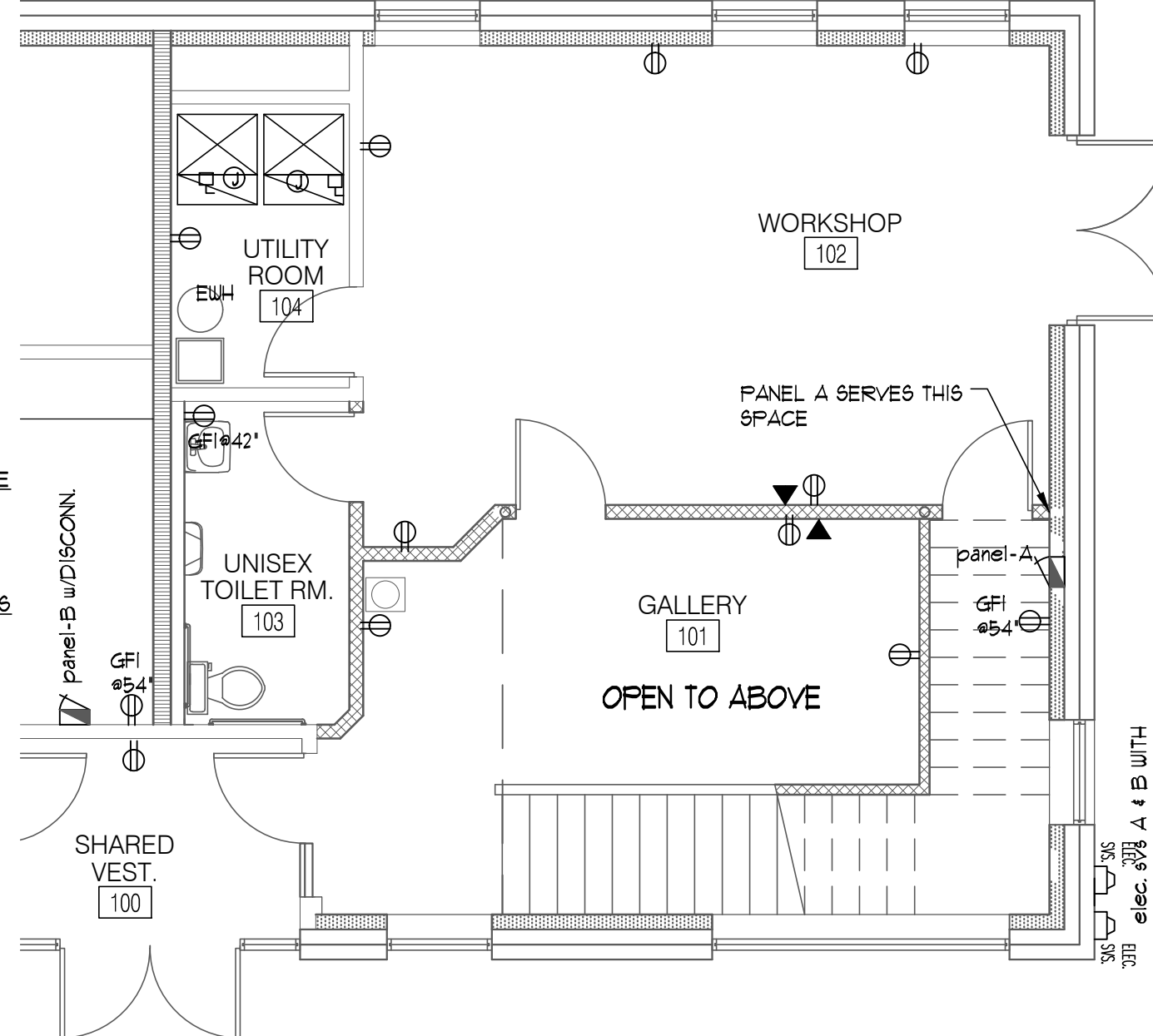
OWNER & BUILDER MAY SUBSTITUTE ANY LUMINAIRE FOR EQUAL WATT AND EFFICIENCY



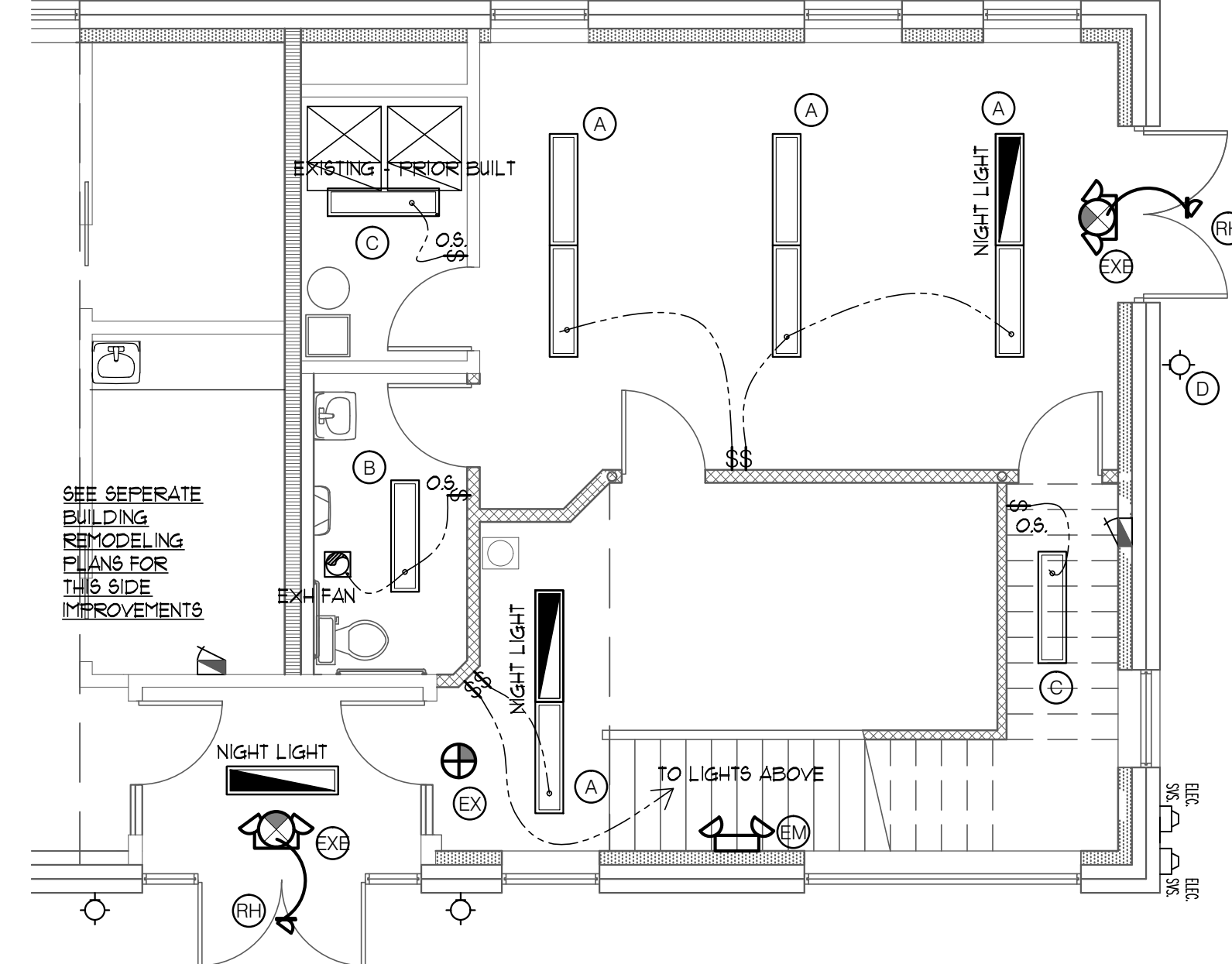
4 POWER PLAN - SECOND FLOOR 3/16" = 1'-0"



2 LIGHTING PLAN - SECOND FLOOR 3/16" = 1'-0"



3 POWER PLAN - FIRST FLOOR 3/16" = 1'-0"



1 LIGHTING PLAN - FIRST FLOOR 3/16" = 1'-0"

NOTE: PROVIDE 3/4" x10" COPPER CLAD GROUND ROD FOR EACH ELEC. SERVICES. PROVIDE DISC CONNECT ON EXTERIOR OF BUILDING FOR EACH SERVICE.

ISSUED FOR:

PERMIT & CONST.	03.01.2020

REMODEL & ADDITION AT 11 E. MAIN ST. (E. MAIN ST. EAST DUNDEE, IL)

LIGHTING & ELECTRICAL POWER PLANS, SCHEDULES & SPECS

SHEET

E1

OF 1



EAST DUNDEE

Historic Commission Meeting Memorandum

To: Historic Commission
CC: Jennifer Johnsen, Village Administrator
From: Brad Mitchell, Assistant Village Administrator
Chris Ranieri, Building Inspector
Subject: 316 N. River Street Awning Sign
Date: November 5, 2020

The Village has received an application from Kathryn Micheletto, owner of the Uncommon Palate located at 316 N. River Street to remove the current arbor from the front of the building and replace it with a new black awning sign on the exterior front of the building. The new awning sign will reflect a new name for Ms. Micheletto's business, which will change from The Uncommon Palate to Eastside Cafe Coffee & Wine Bar. The awning will be the width of the door entrance with a logo on the awning, as depicted in the attached proof. It should be noted that the proposed awning is consistent with the style of other business awnings in the downtown that the Historic Commission previously approved, such as for Nonno's Italian Kitchen & Café and the commercial units at 311 Barrington Avenue.



As the property is located within the Village's Historic District, the application requires review by the Planning and Zoning Commission acting as the Historic District Commission (HDC). The proposed awning sign should be reviewed according to the following applicable guidelines. Attached, please find the Certificate of Appropriateness applications, including rendering of the proposed awnings sign.

1. All signs shall be of material that was or could have been used at the time the building was erected. Substitute materials with the same appearance may be approved.
2. External florescent, neon or other bright or garish colors shall not be approved. Historic colors and earth tones are recommended.
3. Lettering shall be of a style compatible with the time the building was erected.
4. All three-dimensional signs shall be of a style used at the time the building was erected and should pertain to the type of business conducted within and shall be required to obtain HDC approval.
5. Signs may be externally illuminated only by fixtures compatible with the period in which the building was erected.
6. All signs shall be constructed or painted in a workmanlike manner and all lettering intended to be of a uniform size and style.
7. Signs of a period other than when the building was erected may be approved if of special design merit.
8. Any original sign that was used at any time on a building prior to the year 1900 or an authentic facsimile thereof may be replaced on that building subject to HDC approval.
9. Within the historic district, signs shall identify only the name of the business and the general type of goods, produces or service offered. In addition to lettering, graphics may include a trademark, symbol or other representation directly related to the use but not advertising a specific brand sold within the building. A brand name or symbol may be included, however, if the business is a franchise and/or it is the major brand sold or service offered on the premises.
10. The style, composition and appearance of all signs within the historic district shall comply as much as possible with any further design guidelines which may be adopted by the Village for administration of the district.

Upon review by the Building Inspector, the proposed sign complies with all other sign code regulations.

Action Requested: Discussion and Motion to Recommend Approval/Denial of a Certificate of Appropriateness for Eastside Cafe Coffee & Wine Bar proposed Awning Sign.

Attachments: Certificate of Appropriateness Application and Renderings



**EAST DUNDEE HISTORIC COMMISSION
CERTIFICATE OF APPROPRIATENESS**

Please submit this application along with supporting documents (**one [1] original and nine [9] copies**). Your application will be reviewed by the East Dundee Historic Commission. You are strongly urged to attend this meeting in person. If you would like assistance with the preparation of this application, or if you have any questions concerning your request or the review procedure, call the village office at 847-426-2822.

MUST BE SUBMITTED A MINIMUM OF 8 DAYS PRIOR TO MEETING. THE HISTORIC COMMISSION MEETS ON THE SECOND THURSDAY OF EVERY MONTH IMMEDIATELY FOLLOWING THE PLANNING/ZONING MEETING.

ADDRESS OF PROPOSED WORK _____

APPLICANTS NAME _____

TELEPHONE NUMBER (Home) _____ **(Work)** _____

PROPERTY OWNERS NAME _____ **PHONE #** _____

Nature of proposed change: (check all that apply)

- | | | |
|---|---|---|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Extensive renovation | <input type="checkbox"/> Minor Renovation, Repair or Alteration |
| <input type="checkbox"/> Sign | <input type="checkbox"/> Demolition | <input type="checkbox"/> Facade |
| <input type="checkbox"/> Other _____ | | |

***Sign: Must include the lettering style and size.**

Describe all changes proposed for the structures exterior. Include plans, photographs and any other information as needed. Give size, style, and precise location of lettering, if any; and any other information that will assist the commission in their deliberations. Use attachments as necessary. Include a date when the project will be completed.

Circle one or more of the East Dundee Historic Code Provisions that apply.

- ☒ **A** The historic or architectural value and significance of the district and the surrounding area will not be lessened.
- ☒ **B** The relationship of any architectural features of the building and the surrounding area will be positively affected.
- ☒ **C** The general design, arrangement, and materials proposed to be used will be maintained.

I, the undersigned, hereby state that all of the information presented in this application is true and complete, to the best of my knowledge.

Signature:  Date: _____

HISTORIC COMMISSION USE ONLY

This application has been (**Approved** / **Denied**)

Please sign and fax to 630-293-7310 or email approval or changes to design@signarama-westchicago.com.

Spelling is your responsibility. Sizes are noted. Drawing is not to scale.

Colors will vary from electronic proof. If color is critical, a digital printout of part of your order will need to be printed and approved by you prior to completion of order. This will require an extra cost of \$25.

PLEASE MARK ONE: ☐ approved as is

Change noted, please send new proof: ☐ (up to 3 proofs provided at no charge)

Color is critical. Please print out a color sample for approval at an additional cost of \$25.00. ☐

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Current Date: 9/23/2020
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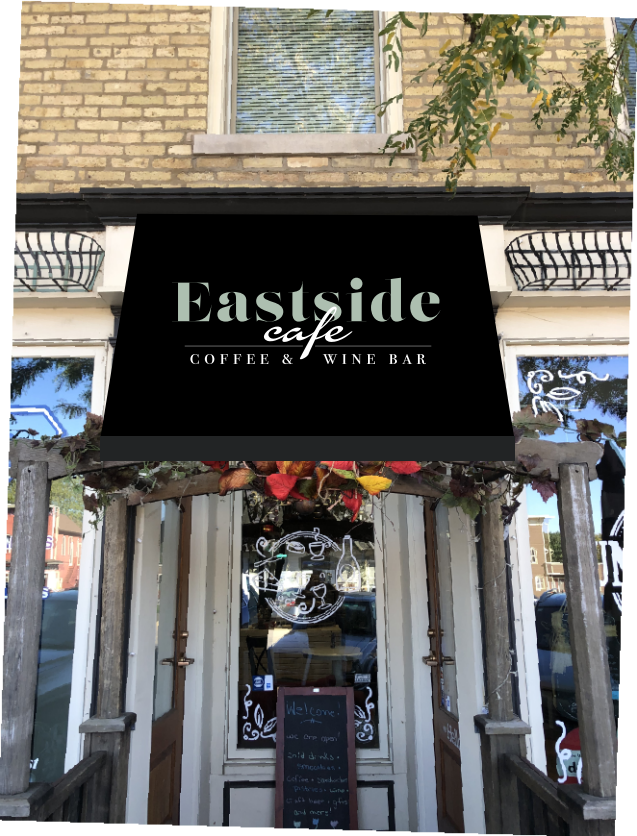


946 N. Neltor, Unit 114, West Chicago, IL 60185
Phone: 630-293-7300 Fax: 630-293-7310
Website: www.signarama-westchicago.com
Email: design@signarama-westchicago.com

Signature: _____

Date: _____

AWNINGS



EAST DUNDEE

Planning and Zoning Commission Meeting Memorandum

To: Planning and Zoning Commission
CC: Jennifer Johnsen, Village Administrator
From: Brad Mitchell, Assistant Village Administrator
Chris Ranieri, Building Inspector
Subject: Lot 6 – Gateway Crossing - Rezoning
Date: November 5, 2020

The Village has received an application from David Plote owner of Tramlaw LLC for Lot 6 in the Gateway Crossing to rezone the 6.5 acres of vacant land from B-3 Service Business District to M-1, Limited Manufacturing District. The property requesting to be rezoned is located near the southeast quadrant of Route 25 and Route 72. The parcel is screened from Route 25 by the Wendy's, from Route 72 by the former Walmart building, and from the east by the new Altofer CAT facility.



The property has been marketed for retail purposes for many years. Being set-back from Route 25 with such poor visibility, the market has indicated that the property is unfit for retail purposes. Also, a report done for the area in 2017 reinforces the notion that there are no real opportunities for retail development on the site. Included with this submittal is a concept plan which illustrates a trucking facility with outdoor storage. The concept plan is for illustrative purposes only, as the property is not under contract to a user, nor is there a written proposal from a potential user. Tramlaw LLC does receive many inquiries about this site but without the proper zoning marketing the property is a challenge. The property will be redeveloped based upon the market demand, and the design and needs of an actual user, but at this point, the only request before the Planning and Zoning Commission is to rezone the property from B-3, Service Business District to M-1, Limited Manufacturing District, for the purposes of properly marketing the site for potential redevelopment.

It should be noted that the adjacent property and former Walmart site was also acquired by Plote and rezoned to M-1 – Limited Manufacturing District back in 2016. The parking lot of the former Walmart property, as well as the subject property are planned redevelopment sites. Furthermore, the new Altorfer CAT site was recently annexed and rezoned to M-1 – Limited Manufacturing District. As such, the subject property is bordered by M-1 – Limited Manufacturing District properties.

REZONING REQUEST (PETITIONER)

1. Rezone the property from the B-3- Service Business District to the M-1- Limited Manufacturing District.

Per Village Code Section 157.223 and existing case law, for all map amendments, the Planning and Zoning Commission must consider the following factors. For each of these factors, the Village's response has been provided in italics.

1. Existing uses of property within the general area of the property in question.

Village Response: Uses within the general area include manufacturing, retail, restaurant, amusement, automotive, and residential.

2. The zoning classification of property within the general area of the property in question.

Village Response: All incorporated adjacent property is zoned M1 – Limited Manufacturing, B3 – Service Business District, and B4 – Automotive Service Business District.

3. The suitability of the property in question to the uses permitted under the existing zoning classification.

Village Response: The market has indicated that the property is unfit for retail purposes. The property is designed for uses permitted within the M1 – Limited Manufacturing District.

4. The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place since the day the property in question was placed in its present zoning classification.

Village Response: If the property stayed B-3 – Service Business District, there is not demand for development.

5. The extent to which property values are diminished by the particular zoning restrictions.

Village Response: If the property stayed B-3 – Service Business District, there is not demand for development.

6. The extent to which the destruction of property values of promotes the health, safety, morals, and general welfare of the public.

Village Response: N/A

7. The relative gain to the public as compared to the hardship imposed upon the individual property owner.

Village Response: The public will gain an increase in the property tax base and sales tax revenue for the Village if the property can be developed.

8. The length of time the property has been vacant as zoned considered in the context of land development in the vicinity of the subject property

Village Response: The property has been marketed for retail purposes for many years but has remained vacant due to such poor visibility and being unfit for retail.

9. The community need for the proposed use.

Village Response: The Village's Comprehensive Plan acknowledges future land use to be developed for general business / industrial.

10. The care with which the community has undertaken to plan its land use development.

Village Response: The Village updated its Comprehensive Plan in 2002.

Village Staff Recommendation

Staff recommends approval of the request to rezone Lot 6 in Gateway Crossing from B-3 – Service Business District to M-1 – Limited Manufacturing District.

Action Requested

1. Discussion and motion to recommend approval/denial of a request to rezone the following described property from B-3- Service Business District to the M-1- Limited Manufacturing District.
2. Discussion and motion to approve a Findings of Fact to recommend approval/denial of a request to rezone the following described property from B-3- Service Business District to the M-1- Limited Manufacturing District.

Attachments

1. Rezoning Application
2. ALTA / NSPS Land Title Survey
3. Preliminary Site Plan
4. Property aerial/photographs
5. Public Notice
6. Findings of Fact

VILLAGE OF EAST DUNDEE




**APPLICATION FOR DEVELOPMENT APPROVAL:
SPECIAL USE, REZONING AND VARIANCE REVIEW AND APPROVAL**

This form is to be used for all special use applications (except Planned Developments) to be heard by the Village of East Dundee. To complete the form properly, please review the accompanying *Village of East Dundee Instruction Manual for Application for Development Review*. Failure to complete this form properly will delay its consideration.

PART I. GENERAL INFORMATION**A. Project Information**

1. Project/Owner Name: Tramlaw LLC
2. Project Location: Rt. 25, East Dundee, IL (Lot 6, Gateway Crossing)
3. Brief Project Description:
Rezone the Property from B3 (Service Business) to M1 (Limited Manufacturing). The Project Narrative, attached, provides additional details
4. Project Property Legal Description:
Lot 6 of the resubdivision of Lot 3 in Gateway Subdivision, being a subdivision of part of Section 25, Township 42 North, Range 8, East of the Third Principal Meridian according to the Plat thereof recorded May 8, 1989 as Document Number 1972329, in the Village of East Dundee, Kane County, Illinois.
5. Project Property Size in Acres and Square Feet: 6.5402 acres (284,889 square feet)
6. Current Zoning Status: B3
7. Current Use Status: vacant land
8. Surrounding Land Use Zoning: M1 to the north & east; B4 to the south; B3 to the west
9. Parcel Index Numbers of Property: 03-25-151-007

B. Owner Information

1. Signature: 
2. Name: David R. Plote, Manager - Tramlaw LLC
3. Address: 1141 E. Main St., Suite 100, East Dundee, IL 60118
4. Phone Number: 847-428-1000 Fax: 847-428-1062 Email: kseay@ploteproperties.com

C. Billing Information (Name and address all bills should be sent to)

1. Name/Company: Kevin Seay c/o Tramlaw LLC
2. Address: 1141 E. Main St., Suite 100, East Dundee, IL 60118
3. Phone Number: 847-428-1000 Fax: 847-428-1062 Email: kseay@ploteproperties.com

PROJECT NARRATIVE

LOT 6 – GATEWAY CROSSING

The subject property is located near the southeast quadrant of RT-25 and RT-72. It consists of approximately 6.5 acres of vacant land, and is currently zoned B3 (Service Business). The parcel is screened from RT-25 by the Wendy's, from RT-72 by the former Walmart building, and from the east by the new Altorfer facility. The businesses to the south, along RT-25, are predominantly automobile dealerships. The property has been marketed for retail purposes for many years. However, being set back from RT-25 with such poor visibility, the market has spoken – the site is unfit for retail purposes. Included as Exhibit A to this narrative, is a retail report for the area from Gruen Gruen + Associates, dated March 2017. This report was utilized when the former Walmart was rezoned to M1, and while somewhat dated, it reinforces the notion that there are no real opportunities for retail development on the site.

Our proposal is to re-zone the property to M-1 (Limited Manufacturing). A concept plan is attached to this submittal, which illustrates a trucking facility with outdoor storage. The concept plan is for illustrative purposes only, as the property is not under contract to a user, nor do we have a written proposal from a potential user. However, we get numerous calls per month inquiring about this type of use for this site. It seems to be what the market is demanding for this site, as opposed to a retail use. Without the proper zoning, the potential users have chosen to look elsewhere.

The property would use the existing full-access entry point onto RT-25 that is utilized by the other occupants in Gateway Center, including Wendy's and L.W. Mountain, Inc. (in the former Walmart building) In addition to the building, our illustration shows 45 car parking spaces, 79 truck/trailer parking spaces, a dock area, and drive aisles to facilitate maneuvering within the site. Fences would screen the property, per Village code.

The above would be our preference as to the build-out of the property. Ultimately, however, the project will be redeveloped based upon market demand, and the design/needs of an actual user. At this point we are only seeking to rezone the property.

The property has been sitting as vacant and fallow land for many years. We are excited to present a proposal for rezoning that we believe will lead to the site being developed, which will create jobs, bring new businesses to the area, and increase the real estate tax base. We look forward to addressing any questions, or comments, that you may have.



Property Photographs

Looking Toward The East:



Looking Toward The South:



Property Photographs

Looking Toward The West:



Looking Toward The North:



Exhibit A

**ASSESSMENT OF USE OF THE VACANT FORMER WAL-MART
STORE PROPERTY AT 620 DUNDEE AVENUE IN EAST DUNDEE**

A Report to

PLOTE PROPERTY MANAGEMENT, LLC

from

GRUEN GRUEN + ASSOCIATES

*Urban Economists, Market Strategists & Land Use/Public Analysts
Pre-Development Services*

March 2017

C1475



**ASSESSMENT OF USE OF THE VACANT FORMER WAL-MART
STORE PROPERTY AT 620 DUNDEE AVENUE IN EAST DUNDEE**

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GRUEN GRUEN + ASSOCIATES
MEMORANDUM

Date: March 1, 2017
To: Mr. Ryan T. Trottier, Vice President of Land Development
From: Gruen Gruen + Associates
Subject: **Assessment of Use of the Vacant Former Wal-Mart Store
Property at 620 Dundee Avenue in East Dundee**
cc: David Plote, President

I. INTRODUCTION AND PURPOSE

Plote Property Management, LLC ("Plote") commissioned Gruen Gruen + Associates ("GG+A") to complete an independent assessment of the retail potential for a vacant former Wal-Mart store at 620 Dundee Avenue in East Dundee. Plote also asked GG+A to evaluate the potential benefits that the adaptive reuse and expansion of the vacant building and creation of additional buildings for light industrial uses would generate for the Village of East Dundee.

This memorandum presents the findings and conclusions drawn from our field research, interviews, and analysis of secondary data to complete the use assessment of the vacant former Wal-Mart store property.

**II. RETAIL TRADE AREA SUPPLY AND DEMAND CONDITIONS
INDICATE LACK OF DEMAND FOR ADDITIONAL RETAIL SPACE
AT THE SITE/BUILDING.**

CONCLUSION 1: The site is located "betwixt and between"- or close but not close enough- to dominant preferred retail clusters in a trade area that cannot support additional retail space.

Trade Area Constrained by Nearby Retail Supply and Physical Barriers

A trade area is the geographic area from which a shopping center's customers are drawn. The actual size of a shopping center's trade area is predicated on its tenancies and size and accessibility. Trade areas are dynamic and tend to change as a function of the type and supply of competing shopping locations. The travel time people are willing to endure also varies as a function of both the size of the shopping area and the relative uniqueness of the tenancies and environment. The relative accessibility to the shopping area and ease of getting in-, about-, and out- of the shopping area also influence the trade area. Uniqueness, attraction and accessibility are not measured in the abstract, but are relative to the competition in the area.



The trade area served by retail and commercial properties at and near the site is likely to be severely circumscribed. The trade area served is impacted by the large dominant retail supply located along Randall Road, (Algonquin Commons, for example, is located about eight miles west of the site). The Randall Road corridor contains more than three million square feet of big box and power center, community, and neighborhood shopping center space.

The Spring Hill Mall in West Dundee, located within about two miles west of the site has itself been impacted by supply competition and consumer preference shifts. A J.C. Penny store was closed and demolished and a Target store and Best Buy store around the Mall have also closed. The municipally subsidized redevelopment of the 1.2 million-square-foot mall began in 2015 and includes a new Cinemark Theater, space for food uses, and anchor tenancies of Macy's, Kohl's, Sears, and Carson Pirie Scott, all of which are being pressured by demographic and income shifts, including the shrinking of the middle class, and on-the-ground retail supply competition and Internet shopping more attuned to customer preferences.

The Arboretum open-air retail center in South Barrington contains at least 450,000 square feet of shops, restaurants, and entertainment venues including iPic Theaters, L.L.Bean's first Midwest outdoor gear and apparel store, and Pinstripes Bowling/Bocce/Bistro. Located less than one mile from the four-way interchange at I-90 at the intersection of Illinois Routes 59 and 72, this center is about four miles east from the site of the vacant former Wal-Mart store in East Dundee.

Located at Interstate 90 and Route 59 in Hoffman Estates near Sears' corporate headquarters and across the street from The Arboretum, the Poplar-Prairie Stone Crossing community shopping center contains approximately 312,000 square feet of space. Built in 2006 anchor tenancies include Target, TJ Maxx, Ross Dress for Less, Cost Plus World Market, and PetSmart. In addition, the 185,000-square-foot Cabela's store is located nearby these centers.

The Site Has Significant Disadvantages for Retail Uses

The area in which the vacant former Wal-Mart store is located includes a weak agglomeration of commercial uses and activities, obsolescence of much of the retail space, low rents, and high vacancy rates. For example, the approximately 125,000-square-foot River Valley Square neighborhood shopping center has a 62,392-square-foot former Dominick's grocery store available along with vacant shop space. Built in 1984, this center located at the northwest corner of Route 72 Main Street (Higgins Road) at Route 25 (Kennedy Drive) across from the site of the former Wal-Mart store has experienced persistent high vacancy rates. A Walgreen's store previously relocated from the River Valley Square center to a nearby free-standing location at the intersection of Routes 31 and 72.



Obsolete unanchored retail centers in the vicinity of the former Wal-Mart store by their very nature serve limited trade areas, do not encourage multi-purpose trips, do not generate significant sales spillover for adjoining tenancies, and are not positioned to accommodate or create dynamic shopping and dining environments through size, tenant mix, and physical improvements.

Underlying these factors is a shift in locational growth and development to include Randall Road, and the location of newer residential subdivisions away from the site and the Arboretum and Poplar-Prairie Stone Crossing shopping center retail node. The area in which the former Wal-Mart property is located also lacks a concentration of major office space users, which would create worker-based demands for goods and services. Unlike Randall Road in Algonquin, the area around the site is not known for having unique strengths or magnetic appeal for retail or entertainment uses that would serve to attract customers from a relatively wide trade area. National retail chains prefer the Randall Road location and the Arboretum/Poplar-Prairie Stone Crossing community shopping center location.

The location of the former Wal-Mart property is less accessible and visible to either Interstate 90 or Randall Road relative to competing retail locations (such as The Arboretum and Poplar-Prairie Stone Crossing community shopping center).

The Fox River (to the west) and Interstate 90 (to the south) of the former Wal-Mart property serve as a psychological barrier to attracting shoppers and customers from the west and south of the property.

As illustrated in the aerial map below, the site is also surrounded by other land uses which do not hold residents and office workers and do not appeal to retail shoppers and also represent barriers including:

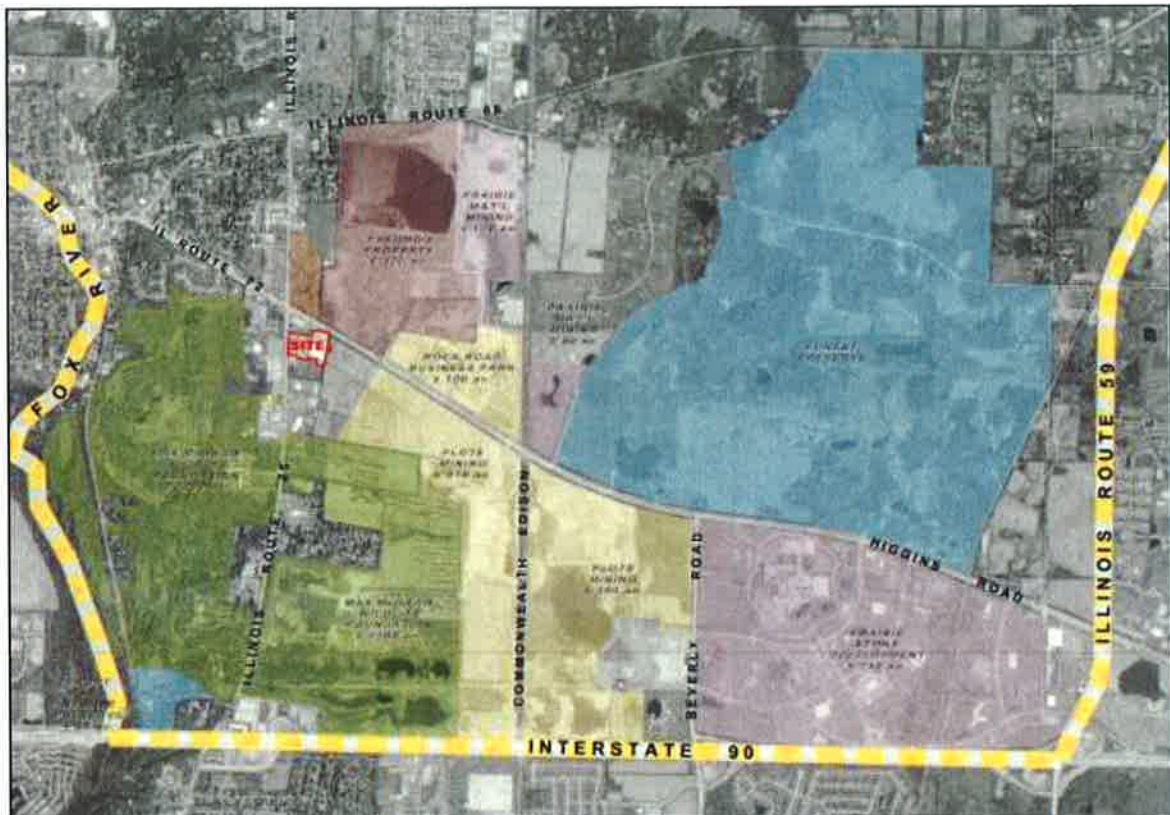
- The Dundee Township Cemetery on Route 72 immediately north of the site;
- Gravel pits/mining immediately to the north and east of the site;
- The 1,250-acre wildlife preserve of the Max McGraw Wildlife Foundation to the south and west of the site; and
- The Santa's Village Azoosment Park which is significantly underutilized many days of the year and was planned to be redeveloped into other uses but those plans have been stalled.

As described in Appendix A, the population, number of households, and total available household income around the site to which the Wal-Mart store moved is far higher than the



population, number of households, and total available household income around the site of the former Wal-Mart store.

MAP 1: Site Vicinity Map



Trade Area Definition

Given the disadvantages summarized above and surrounding major sources of retail supply alternatives, the primary trade area estimate/definition for the former Wal-Mart store property is illustrated on Map 2. Delineated by two Census Block Groups the trade area boundaries include the Fox River on the west; Interstate 90 on the south; the Kane County border and ComEd power lines to the east; and Barrington Avenue (Route 68) on the north.



MAP 2: Primary Trade Area Relative to Supply Competition



EXISTING SUPPLY SUMMARY

Groceries

A	Discount Grocery Outlet
B	Walmart
C	Village Fresh Market
D	Aldi
E	Jewel-Osco
F	Woodman's Food Market
G	Butera Market
H	Aldi
I	Elgin Fresh Market
J	Jewel-Osco

Other Major Retail

1	Prairie Stone Crossing
2	Arboretum of South Barrington
3	Spring Hill Mall
4	Menards area on Randall Rd.



As shown on Table 1, the primary trade area contains 900 households with total available household income of nearly \$67 million.

TABLE 1: 2015 Demographic Estimates for Primary Trade Area Census Block Groups	
	Census Block Groups 8505.2 and 8504.1
Primary Trade Area Population	2,108
Primary Trade Area Households	900
Primary Trade Area Average Household Income	\$74,312
Primary Trade Area Total Available Income	\$66,881,000
Sources: U.S. Census Bureau, 2015 American Community Survey; Gruen Gruen + Associates.	

Table 2 summarizes the amount of retail space the estimated purchasing power of primary trade area households can potentially support.

TABLE 2: Estimate of Amount of Retail Space Supported Within Primary Trade Area¹	
Total Available Household Income	\$66,881,000
Income Households Expend on Retail Goods and Services Found in Neighborhood & Community Centers Assuming 15% Expenditure Rate	\$10,032,000
Supportable Amount of Retail Space Assuming Required Sales of \$350 Per Square Foot ²	28,700
¹ Figures are rounded. ² To put the estimate into perspective, according to Form 10K annual reports, Wal-Mart stores average sales of \$416 per square foot. CVS Drug stores average sales of \$917 per square foot. Walgreen's drug stores average sales of \$712 per square foot.	
Sources: U.S. Census Bureau, 2015 American Community Survey; Consumer Expenditure Survey, U.S. Bureau of Labor Statistics, August, 2016; Form 10K Annual Reports for Wal-Mart, CVS, and Walgreen's; Gruen Gruen + Associates.	

Assuming optimistically that households potentially expend 15 percent of household income on retail goods and services found in neighborhood and community retail space within the trade area, the purchasing power would support approximately \$10.0 million in sales. Assuming sales of \$350 per square foot are required to support the viable development and operation of high-quality grocery- and drug-store anchored neighborhood retail center space, the estimated sales would only support nearly 29,000 square feet of space.



Primary Trade Area Supply

The primary trade area contains the 125,000-square-foot River Valley Square shopping center in addition to the vacant Wal-Mart store property and adjoining space including a thrift store.

Within a five- to 10-minute drive of the site surrounding the primary trade area is an additional two million square feet of retail space. These regional serving nodes in close proximity to the site overlap the trade served by the site.

Relationship Between Primary Retail Demand and Supply

The lower rental rates, higher vacancy rates, greater tenant turnover and signs of deferred maintenance in retail centers at or in the vicinity of the site of the former Wal-Mart store reflect the following:

- a consumer shopping pattern shift away from the area;
- the growth in the supply of retail space close but not close enough to be integrated and linked with retail space at the site; and
- insufficient purchasing power relative to retail space supply within the constrained trade area to support the amount of existing retail space.

A retail broker attempting to recruit users to the former Wal-Mart store property indicated that he contacted quick serve restaurants, gasoline stations, and big-box retailers and none had any interest in the location. Jones Lang LaSalle, the listing broker for the property, also attempted to attract retail users to the property without success. The factors described above explain the lack of success.

III. THE REUSE AND OCCUPANCY OF THE FORMER WAL-MART PROPERTY FOR LIGHT INDUSTRIAL USES WILL CREATE APPROXIMATELY 217 WORKERS AT THE SITE THAT WILL SPEND SOME OF THEIR EARNINGS ON LOCAL CONVENIENCE AND NECESSITY RETAIL GOODS AND SERVICES.

CONCLUSION 2: The site is attractive for light industrial and commercial uses. The numbers of workers estimated to occupy building space in the proposed development are estimated to support approximately \$564,200 in additional annual local sales and \$16,900 in annual local sales tax.

While retail uses have struggled at and in the vicinity of the site, light industrial and



commercial uses have been developed and are well occupied near the site at Rock Road Industrial Park and Prairie Lake Industrial Park in East Dundee. The Rock Road Industrial Park consisting of approximately 510,000 square feet of light industrial, commercial, and office building space is approximately 97 percent leased and estimated to include 550 jobs (about one job for every 927 square feet of building space).

The proposed adaptive reuse and expansion of the existing former Wal-Mart store of approximately 115,000 square feet into a three building complex of approximately 201,000 square feet of building space is estimated to accommodate an additional 217 workers, assuming the same worker to building space density applies. If on average, such workers spend \$10 per day (assuming 260 work days per year on commercial goods and services available or which become available in East Dundee such as eating and drinking establishments, grocery and drug stores or other convenience and necessity goods and services, worker spending would generate \$564,200 in annual sales. With a three percent local sales tax rate (not including special business district sales taxes), the worker spending potential would support about \$16,900 in annual local sales tax.

IV. THE REUSE AND OCCUPANCY OF THE FORMER WAL-MART PROPERTY FOR LIGHT INDUSTRIAL USES WILL GENERATE MORE PROPERTY TAX THAN CURRENTLY GENERATED.

CONCLUSION 3: The adaptive reuse and expansion of the existing building into light industrial space and creation of two additional buildings will serve to generate more property tax than the property currently generates. At build-out of the proposed 201,000 square feet of building space, annual property tax revenue is estimated to total \$301,500. Property taxes generated by the development and occupancy of the proposed project are estimated to be 171 percent higher than the current amount of property taxes associated with the property.

Based on the 2016 property tax bills from the Kane County Treasurer, the current former Wal-Mart property including approximately 13.52 acres of land and 115,000 square feet of vacant building space is assessed at nearly \$1.4 million. The annual property taxes total \$176,482.70 or \$1.53 per square foot of building space.

Given the building is vacant, the property owner will probably contest the assessed valuation of the property. Under the status quo the assessed value of the building will decline as it continues to age. A review of light industrial buildings at the Rock Road Industrial Park as well as industrial buildings similar to what is proposed for the site at 1605 Dundee Avenue to 1625 Dundee Avenue in Elgin suggest the adaptive reuse and expansion of the existing building into light industrial space and the creation of two additional buildings would generate property tax of at least \$1.50 per square foot. At build-out of the proposed 201,000 square feet of building space, the total annual property tax revenue is estimated at \$301,500.



This equates to an approximately 171 percent increase over the current property taxes associated with the property.

V. THE REUSE AND OCCUPANCY OF THE FORMER WAL-MART PROPERTY FOR LIGHT INDUSTRIAL USES WILL GENERATE DIRECT ON SITE AND INDIRECT ADDED JOBS AND INCOMES IN EAST DUNDEE AND INCREASE THE STRENGTH OF THE EMPLOYMENT CLUSTER IN EAST DUNDEE.

CONCLUSION 4: The adaptive reuse and expansion of the existing building into light industrial space and creation of two additional buildings will generate direct on site employment of approximately 217 jobs and associated labor income of an estimated \$15.1 million. The development of the project will help keep companies and their workers from leaving East Dundee when they outgrow or need different space than currently occupied.

In addition to the direct jobs estimated at 217 and associated labor income estimated at \$15.1 million¹ the development and occupancy of the project will generate added jobs and associated labor income. This is because businesses buy products from each other some of these transactions will occur within the local economy. In addition, a portion of the wages paid to workers (direct employment) and a portion of the wages paid to employees of firms providing goods or services to businesses at the project (indirect employment) will then be spent by these workers locally to purchase goods and services (such as for food, gasoline, etc.) in the local economy.

In addition, the addition of the building space and businesses will help create a critical mass that increases the strength of the employment cluster around the site. This will help keep businesses from moving out of East Dundee when they need more or different space than currently occupied as well as increase the potential for attracting businesses to East Dundee which may not otherwise come because of a limited supply of available light industrial space. Workers and visitors to these businesses will also support additional sales to retailers, restaurants, and service providers in East Dundee.

Some businesses, especially those located along the proposed building with Route 25 frontage and visibility will generate retail sales in connection with accessory retail components to their businesses (e.g., the kitchen and bathroom cabinet manufacturer and installer which also sales directly to retail customers).

¹ According to the Bureau of Economic Analysis, employees in four primary industrial sectors of Kane County's economy (Construction, Manufacturing, Wholesale Trade, and Transportation & Warehousing) were compensated an average of \$67,894 per employee as of 2015.



APPENDIX A

COMPARISON OF DEMOGRAPHICS SURROUNDING NEW WAL-MART STORE IN CARPENTSEVILLE AND FORMER WAL-MART STORE IN EAST DUNDEE

Table A-1 shows the area to which the Wal-Mart store moved has nearly eight times larger population, nearly five times larger number of households, and over four times the amount of total income relative the one mile radius around the former Wal-Mart store property.

TABLE A-1: Demographic Comparison Between New and Previous Wal-Mart Locations		
2015 Estimates	1-Mile Radius from Kennedy Drive and Lake Marian Road (Carpentersville)	1-Mile Radius from Dundee Avenue and Higgins Road (East Dundee)
Population	17,669	2,309
Households	4,841	988
Average Household Income	\$64,070	\$74,231
Total Available Income	\$310,162,870	\$73,340,228
Sources: Loopnet.com, MapInfo; Gruen Gruen + Associates.		

Gruen Gruen + Associates (GG+A) is a firm of economists, sociologists, statisticians and market, financial and fiscal analysts. Developers, public agencies, attorneys and others involved in real estate asset management utilize GG+A research and consulting to make and implement investment, marketing, product, pricing and legal support decisions. The firm's staff has extensive experience and special training in the use of demographic analysis, survey research, econometrics, psychometrics and financial analysis to describe and forecast markets for a wide variety of real estate projects and economic activities.

Since its founding in 1970, GG+A has pioneered the integration of behavioral research and econometric analysis to provide a sound foundation for successful land use policy and economic development actions. GG+A has also pioneered the use of economic, social and fiscal impact analysis. GG+A impact studies accurately and comprehensively portray the effects of public and private real estate developments, land use plans, regulations, annexations and assessments on the affected treasuries, taxpayers, consumers, other residents and property owners.

Examples of past public sector clients of Gruen Gruen + Associates in the Chicago metropolitan area include the following:

Algonquin, Antioch, Aurora, Buffalo Grove, Clarendon Hills, Downers Grove, Flossmoor, Glendale Heights, Glen Ellyn, Gurnee, Hanover Park, Harvard, Highland Park, Hinsdale, Huntley, Monee, Montgomery, Morton Grove, Oak Lawn, Oak Park, Northbrook, Northfield, Prospect Heights, Romeoville, Schiller Park, South Elgin, West Chicago, Wheaton, Wilmette, Kane County, Metra, CTA, and the RTA.

CHICAGO:
(847) 317-0634

SAN FRANCISCO:
(415) 433-7598

www.ggassoc.com

PART II. APPLICATION REQUIREMENTS

The following table provides the type and quantity of materials required to be submitted with a special use application. The number associated with each material corresponds with the number used in Part II of the *Village of East Dundee Instruction Manual for Application for Development Approval* where each material is described in greater detail.

Please note that when two quantities of drawings are required (such as: 5/15), the first number indicates the number of full-size drawings to be submitted (at a scale of at least 1" = 20' and no larger than 30" x 42") and the second number indicates the number of reduced (11"x17") copies to be submitted. At least one of the original full-size drawings should be signed and sealed by the preparer. For ease of distribution, please collate into packets all of the materials where multiple copies are required. Packet contents should be assembled in order, except for drawings which should all be collated together at the back of the packet.

The required materials and number of copies shown below are the minimum necessary to submit a complete application. Village staff, consultants, review agencies, commissions, and boards may require additional materials and/or copies as necessary to fully evaluate the proposed project.

Official Use Only

Item # ^(a)	Application Material	Initial Application		Revisions		Second Set of Revisions	
		# Copies Required	# Copies Received	# Copies Required	# Copies Received	# Copies Required	# Copies Received
1.	Completed Development Application AND a) Agreement to Pay Costs Incurred and Hold the Village Harmless b) Affidavit of Ownership & Control c) Affidavit & Disclosure d) Findings of Fact	1					
2.	Project Narrative	20					
3.	Basic Application Fee	X					
4.	Property Owners within 250 feet	X					
7.	Survey / Legal Description	5/15					
9.	Photographs of Existing Property and Area	20					
11.	Site Plan	5/15					
12.	Building Elevations	5/15					
13.	Floor Plans	5/15					
14.	Roof Plan	5/15					
15.	Color Rendering	20					
17.	Landscape Plan	20					
20.	Simple Drainage Plan	1/12					
23.	Utility Impact Report ^(b)	20					
24.	Utility Improvement Plan ^{(b) (c)}	5/15					
25.	Traffic Study ^(b)	12					

^(a) Please see *Village of East Dundee Instruction Manual* for complete description of item.

^(b) Applies only to projects with more than 15,000 sq. ft. of commercial/industrial floor area or more than 25 residential units.

^(c) Applies only to projects proposing to remove or construct public utilities.

PART III. JUSTIFICATION OF THE PROPOSED SPECIAL USE

Please answer all questions but be concise and brief in your answers. If additional pages are needed to complete your answers, please be sure to include the appropriate and complete question number for each response. Applicants are encouraged to refer to drawings or other application materials as necessary to add clarity to their answers. **Applicants are also encouraged to refer to Special Use Criteria Section 157.224(C)(2) or Variances, Section 157.207(C) or Rezoning.**

IF YOU ARE APPLYING FOR A REZONING PLEASE WRITE A PARAGRAPH ON WHAT THE CURRENT ZONING IS AND WHY YOU ARE REQUESTING A REZONING - *See project narrative, attached.*

FOR A SPECIAL USE COMPLETE THE FOLLOWING, FOR VARIANCES ONLY SKIP TO PAGE #4:

1. ~~Will the Special Use be injurious to the enjoyment of other property in the immediate vicinity for the purposes already permitted, nor will the special use substantially diminish and impair property values within the neighborhood?~~

2. Will the establishment of the Special Use impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district?

3. Have or will adequate utilities, access roads, drainage or necessary facilities be provided for?

4. Have or will adequate measures be taken to provide ingress and egress to minimize traffic congestion in the public streets?

5. How is the proposed special use in harmony with the purposes, goals, objectives, policies and standards of the Village of East Dundee Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice, by the Village?

~~IF YOU ARE APPLYING FOR A VARIANCE COMPLETE THE FOLLOWING:~~

1. From which specific standard of the Village Code is a Variance requested (include Code section number)?

2. For this site, what does the Code require?

3. What is proposed?

4. What unique circumstances have caused the need for a variance?

5. What specific mitigation measures will be used to ensure that the essential character of the area will not be altered? (Suitability of Present Area)

6. Specifically, how do the particular physical surroundings, shape, or topographical condition of the property result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations are carried out?

7. Specifically, what conditions are present on the property that would not be applicable generally to other property within the same zoning classification? (Suitability of Zoning)

8. Other than financial return, what other purposes is the variance request based on?

9. Has the alleged difficulty been created by any person presently having an interest in the property?

10. Please give an explanation for any questions answered YES .

- | | | |
|--|-----|----|
| a. Will the granting of the variation be detrimental to the public welfare? (Circle) | YES | NO |
| b. Injurious to surround properties? (Circle) | YES | NO |
| c. Impair an adequate supply of light and air to adjacent property? (Circle) | YES | NO |
| d. Endanger public health and safety? (Circle) | YES | NO |
| e. Substantially diminish property values within the neighborhood? (Circle) | YES | NO |
| f. Conformance to the Land Use Plan? (Circle) | YES | NO |

VILLAGE OF EAST DUNDEE



**PLANNING AND ZONING & HISTORIC COMMISSION MEETING SCHEDULE
MEETING TIME 7:00PM
*THURSDAY EVENING UNLESS DENOTED**

Planning & Zoning petitions must be received 35 days prior to meeting date for petitions requiring Public hearings. 15 days prior when no Public hearing is required.

Historic Commission Meetings (as needed)

Applications submittals must be received & approved by the Building official for presentation to the Commission minimum of 15 days prior to meeting date.

Per ordinance, the Historic Commission must meet within 15 days of application submittal acceptance date and be dully considered by the Commission or a Certificate of Appropriateness would be deemed issued for failure to meet in the designated time.

VILLAGE OF EAST DUNDEE



APPLICATION AGREEMENT
TO PAY COSTS INCURRED AND HOLD THE VILLAGE HARMLESS

The Undersigned applicant acknowledges that the Village of East Dundee may seek advice and counsel from professional sources outside the employee staff of the Village of East Dundee in consideration of the application submitted to the Village of East Dundee by the applicant, including the services as those provided by the Village Staff, Village Attorney, Village Engineer, Planner and Fire Protection District.

The applicant further acknowledges that testimony of all witness at Public Hearings may be recorded before a court reporter and that full transcripts of the proceedings may be prepared and retained by the Village of East Dundee as part of the official record concerning the said applicant and the applicant's costs.

As an express condition in making the said application and the consideration thereof by the Village of East Dundee, the undersigned, both personally and on behalf of the applicant, agrees to hold the Village harmless and agrees to pay forthwith the costs and expenses that may be incurred by the Village of East Dundee for such professional services, including the costs and expenses of recording and transcribing any testimony at Public Hearings in connection with the said application.

The owner hereby authorizes, support and consents to this request for variation, and further authorizes, agrees and consents to allow the temporary installation and display by the Village of East Dundee of Public Notice (signage) upon the subject property.

The applicant, having read this application and fully understanding the purpose thereof, declares that the proceeding statement made are true and that the information provided herein is complete to the best of the applicant's knowledge and belief.

10/19/2020

Individually and for the Applicant

Date

1141 E. Main St., Suite 100, East Dundee, IL 60118

847-428-1000 x 222

Address

Phone Number

Project Description:

Rezone PIN 03-25-151-007 from B3 to M1.

VILLAGE OF EAST DUNDEE



Affidavit of Ownership & Control

I (We), David R. Plote, Manager of Tramlaw LLC do hereby certify or affirm that I am the owner(s), contract purchasers, or beneficiary(s) of the title holding trust for the aforesaid described property and hereby make application of such.

Signature: _____

Owner: Tramlaw LLC

Address: 1141 E. Main St., Suite 100
East Dundee, IL 60118

Phone: 847-428-1000

SUBSCRIBED AND SWORN TO before me this
_____ day of _____, _____.

(NOTARY SIGNATURE)

(NOTARY STAMP)

VILLAGE OF EAST DUNDEE



Affidavit & Disclosure Agreement

To cover the Village expenses relating to applications for site plans, Subdivisions, Annexations, Zoning Amendments, Special Uses, Variations and the like:

Applications shall deposit the sum required based on the type and extent of the applicants project. Any bills received by the village and any costs incurred by the Village related to the project will be billed to the applicant. Upon payment of all bills to the Village the applicant will receive their deposit back.

Signature: _____

A handwritten signature in black ink, appearing to read "David R. Plote". The signature is stylized with large, sweeping loops and a horizontal line at the end.

Print Name: David R. Plote

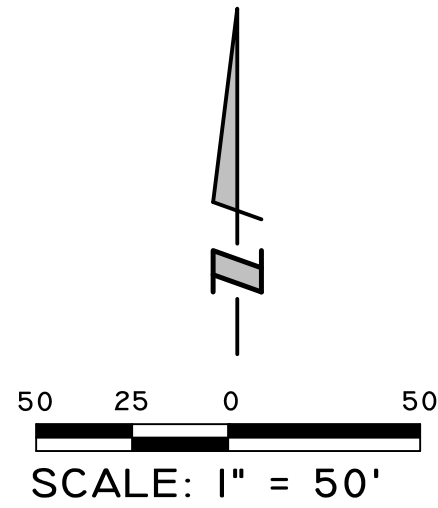
Project Address: PIN 03-25-151-007

Rt. 25 (Lot 6, Gateway Crossing)
East Dundee, IL 60118

ALTA / NSPS LAND TITLE SURVEY

OF

LOT 6 OF THE RESUBDIVISION OF LOT 3 IN GATEWAY SUBDIVISION, BEING A SUBDIVISION OF PART OF SECTION 25, TOWNSHIP 42 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED MAY 8, 1989 AS DOCUMENT NUMBER 1972329, IN THE VILLAGE OF EAST DUNDEE, SITUATED IN THE COUNTY OF KANE, IN THE STATE OF ILLINOIS.



LEGEND

- Manhole
- Catch Basin
- Inlet
- Fire Hydrant
- Valve Vault
- Light Pole
- Pipe Bollard
- Sign
- Fence
- Overhead Utility Line
- Utility Pole
- Telephone Pedestal
- Downspout
- Handicapped Parking Stall
- Number of Parking Stalls
- Record

Surveyor's notes:

- The basis of bearing shown hereon is assumed.
- Utility information shown hereon is based upon field measurements, available records. Information from field data is limited to that which is visible and can be measured. This survey does not exclude the possibility of the existence of other underground utilities and or structures. Record information is based upon data collected from both public and private sources. The completeness and/or accuracy of these records cannot be guaranteed, except for those items that can be verified by field measurement. Prior to any excavation contact J.U.L.I.E. (1-800-892-0123) for utility markings.
- Due to heavy overgrowth on the property we were not able to located those structures noted hereon however utility plans suggest that they were to be installed.
- Based on information provided on the Flood Insurance Rate Map Community - Panel No. 17089C0159H dated August 3, 2009 produced by the Federal Emergency Management Agency (FEMA) for Kane County, Illinois, the property shown and described hereon is located within Zone X, which is defined by FEMA as "Areas determined to be outside the 0.2% annual chance floodplain".
- In regards to Table A Item 16 - No Observed evidence of current earth moving work, building construction was observed in the process of conducting the survey.
- In regard to Table A Item 17 - No observed evidence of recent street or sidewalk construction was observed in the process of conducting the survey.
- In the preparation of this survey reference was made to Fidelity National Title Insurance Company for Title Insurance Order No. 9030017 with an Effective Date of July 26, 2017.

With respect to **Schedule B** of said commitment:

- Exception 10** -Covenants, conditions and restrictions - Doc No. 2003482 - Watermain, Storm Sewer, and Sanitary Sewer Easements are shown and plotted hereon.
- Exception 11** - Development Agreement - Doc. No. 2003904 - The subject property is the property described in Exhibit D as Tract 2 therein.
- Exception 12** - Agreement Concerning Easements, Covenants and Restrictions - Doc. No. 2003905 - The subject property is the property described in Exhibit D as Tract 2 therein. Various easements shown in document no. 2003482 (see exception 10) are schematically shown and referenced therein. See document for details.
- Exception 13** - Joint Declaration of Restrictions Concerning Outlots - Doc. No. 2003906 - The subject property is the property described in Exhibit D as Tract 2 therein.

LINE TABLE			
Line	Direction	Measured Length	Record Length
L1	N 00° 09' 00" W	70.68'	70.70'
L2	S 40° 36' 36" E	15.21'	15.18'
L3	N 08° 30' 53" E	64.82'	65.00'

- 1 Storm Sewer Easement Per Doc. No. 2003482
- 2 Sanitary Sewer Easement Per Doc. No. 2003482
- 3 Water Main Easement Per Doc. No. 2003482

To: Tramlaw, LLC;
Fidelity National Title Insurance Company its successors and/or assigns,

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 8, 11, 16, and 17 of Table A thereof. The field work was completed on August 23, 2017.

This professional service conforms to the current Illinois minimum standards for a boundary survey.

Schaumburg, Illinois, October 11, 2017

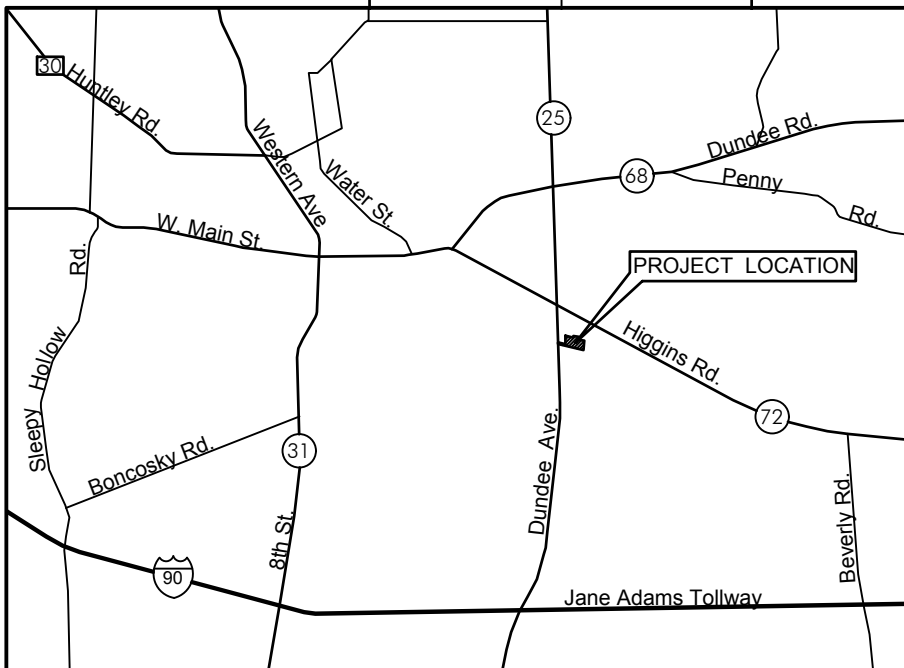
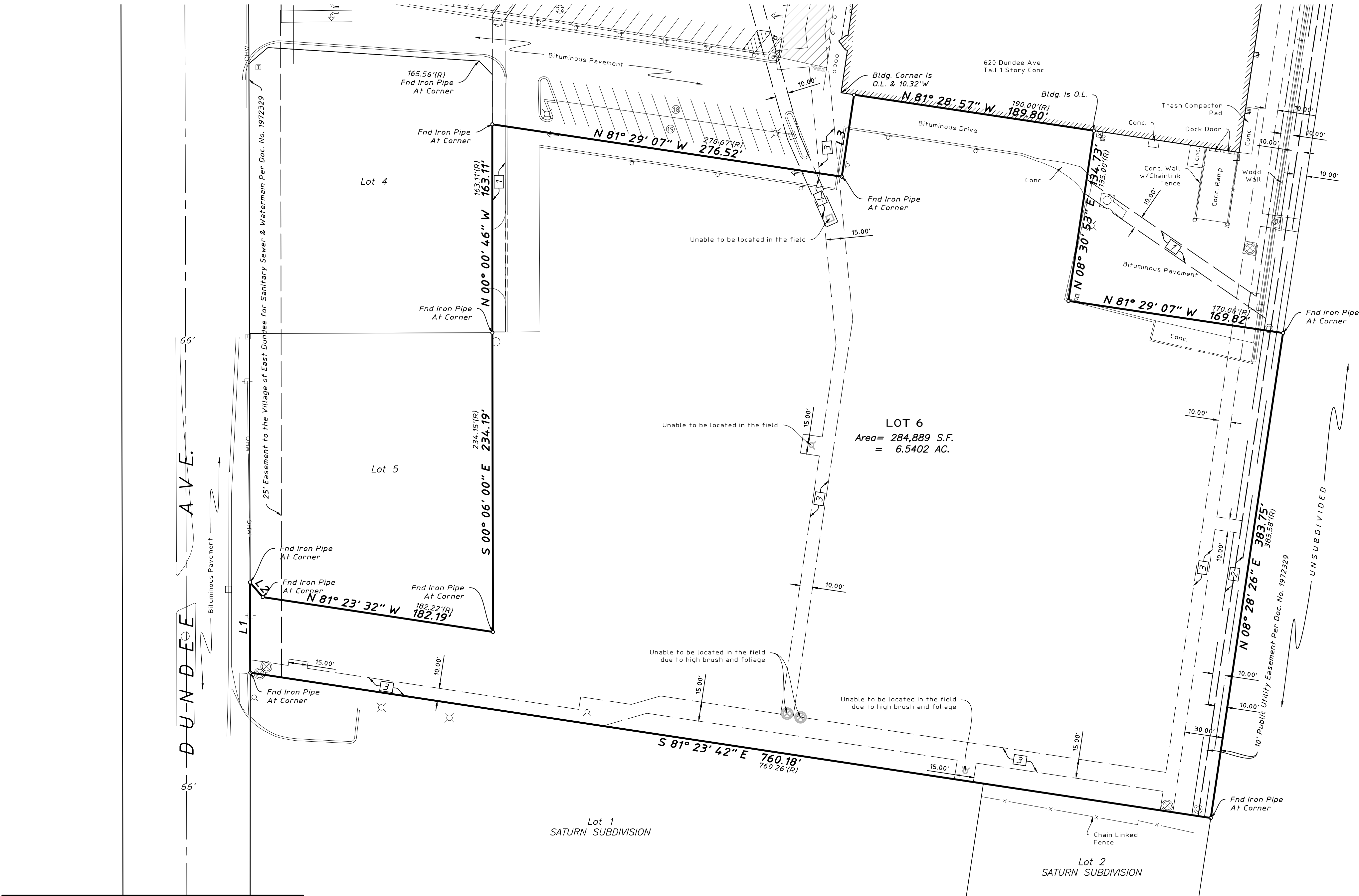
By: 
Illinois Professional Land Surveyor No. 3695



EXPIRES 11-30-18

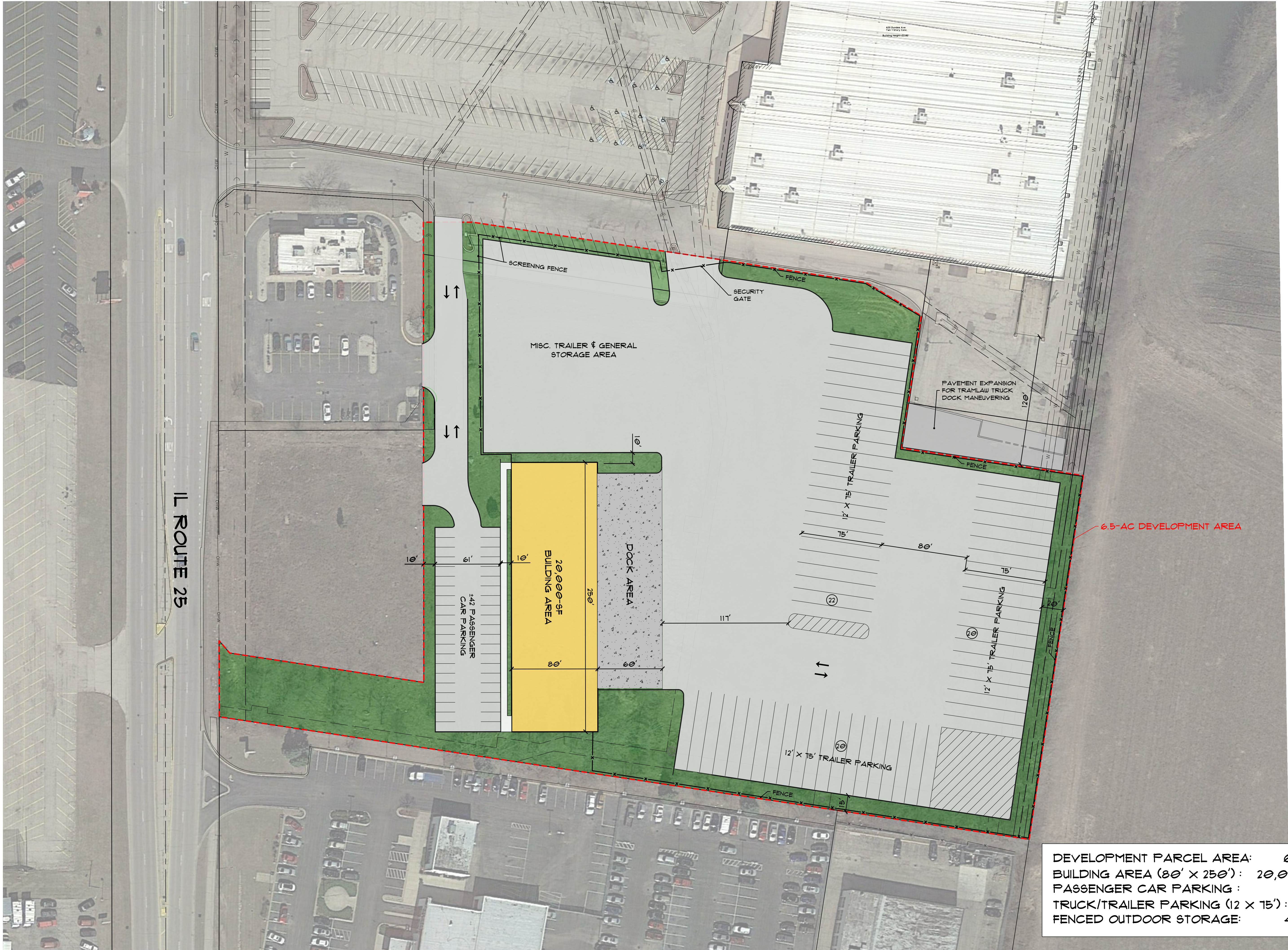
HAEGER ENGINEERING
consulting engineers • land surveyors

100 East State Parkway, Schaumburg, IL 60173
Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152
www.haegerengineering.com

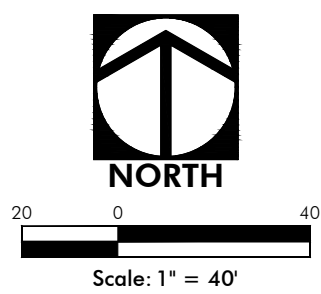


LOCATION MAP
NOT TO SCALE

Ordered By: Statewide Properties Inc.
Order No. : 15-145



DEVELOPMENT PARCEL AREA:	6.5 AC.
BUILDING AREA (80' X 250'):	20,000 SF
PASSENGER CAR PARKING :	40
TRUCK/TRAILER PARKING (12 X 15'):	62+
FENCED OUTDOOR STORAGE:	4.5 AC.



HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60173 Tel: 847.394.6600 Fax: 847.394.6608
www.haegerengineering.com
Illinois Professional Design Firm License No. 184-003132

**CONCEPT
SITE PLAN F**
**LOT 6 - GATEWAY CROSSING
EAST DUNDEE**
PLOTTE PROPERTIES

Project Manager: MLA
Engineer: MLA
Date: 10.19.2020
Project No. 16-070
Sheet 1



Property Photographs

Looking Toward The East:



Looking Toward The South:



Property Photographs

Looking Toward The West:



Looking Toward The North:



State of Illinois)
County of Kane) SS
Village of East Dundee)

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning and Zoning Commission of the Village of East Dundee will hold a public hearing on November 5, 2020 at 7:00 P.M. via teleconference call by authorization of Gov. Pritzker waiving a portion of the Illinois Open Meetings act to allow local governments to hold "remote" meetings to help control the spread of COVID-19

1. A request to rezone the following described property from B-3 Service Business District to the M-1 Limited Manufacturing District.

Property Legal Description:

LOT 6 OF THE RESUBDIVISION OF LOT 3 IN GATEWAY SUBDIVISION, BEING A SUBDIVISION OF PART OF SECTION 25, TOWNSHIP 42 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED MAY 8, 1989 AS DOCUMENT NUMBER 1972329, IN THE VILLAGE OF EAST DUNDEE, SITUATED IN THE COUNTY OF KANE, IN THE STATE OF ILLINOIS.

PIN: 03-25-151-007

All interested persons will be given an opportunity to be heard.

VILLAGE OF EAST DUNDEE, ILLINOIS

Findings of Fact – Rezoning

Property Location: Lot 6 in the Gateway Crossing

Rezoning requested: Rezone the property from B-3 – Service Business District to the M-1- Limited Manufacturing District

Hearing date: November 5, 2020

The Planning and Zoning Commission has made the following findings regarding the variation request:

1. Existing uses of property within the general area of the property in question.

Village Response: Uses within the general area include manufacturing, retail, restaurant, amusement, automotive, and residential.

2. The zoning classification of property within the general area of the property in question.

Village Response: All incorporated adjacent property is zoned M1 – Limited Manufacturing, B3 – Service Business District, and B4 – Automotive Service Business District.

3. The suitability of the property in question to the uses permitted under the existing zoning classification.

Village Response: The market has indicated that the property is unfit for retail purposes. The property is designed for uses permitted within the M1 – Limited Manufacturing District.

4. The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place since the day the property in question was placed in its present zoning classification.

Village Response: If the property stayed B-3 – Service Business District, there is not demand for development.

5. The extent to which property values are diminished by the particular zoning restrictions.

Village Response: If the property stayed B-3 – Service Business District, there is not demand for development.

6. The extent to which the destruction of property values of promotes the health, safety, morals, and general welfare of the public.

Village Response: N/A

7. The relative gain to the public as compared to the hardship imposed upon the individual property owner.

Village Response: The public will gain an increase in the property tax base and sales tax revenue for the Village if the property can be developed.

8. The length of time the property has been vacant as zoned considered in the context of land development in the vicinity of the subject property

Village Response: The property has been marketed for retail purposes for many years but has remained vacant due to such poor visibility and being unfit for retail.

9. The community need for the proposed use.

Village Response: The Village's Comprehensive Plan acknowledges future land use to be developed for general business / industrial.

10. The care with which the community has undertaken to plan its land use development.

Village Response: The Village updated its Comprehensive Plan in 2002.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the Planning and Zoning Commission voted on the approval of these findings of fact and the requested variation(s) resulting in the following vote:

____ayes ____nays ____absent ____abstain

Date: _____
Planning and Zoning Commission Chairman