



PRESIDENT AND BOARD OF TRUSTEES

Regular Meeting

Monday, July 15, 2024

6:00 PM

East Dundee Police Station, 2nd Floor Meeting Room
115 E. 3rd Street, East Dundee, IL 60118

1. Call to Order
2. Roll Call – Trustee Mahony
3. Pledge of Allegiance
4. Public Comment
Please keep comments to 5 minutes or less
5. Public Hearings:
 - a. [A Request for a Variance from Section 156.04\(C\)\(1\)\(a\) Regarding the Maximum Number of Wall Signs for Each Business, and a Request for a Variance from Section 156.04\(C\)\(1\)\(B\) Regarding the Maximum Square Feet Allowed for a Business Establishment Identification Wall Sign, for the Property Located at 107 Water St., East Dundee, IL, 60118 PIN 03-23-318-007, Located in the B-1 Downtown Business District](#)
6. Consent Agenda
 - a. [Motion to Approve Committee of the Whole Meeting Minutes Dated June 3, 2024](#)
 - b. [Motion to Accept Warrants Lists in the Amounts of \\$200,011.15 and \\$630,850.56](#)
 - c. [Motion To Approve an Ordinance Authorizing Execution of a Contract for Sale of Vacant Land and Purchase of Real Property \(106 S. River St.\)](#)
7. Other Agenda Items
 - a. [Motion to Approve Findings of Fact Granting Variations from Section 156.04\(C\)\(1\) Regarding the Number of Wall Signs Allowed for Each Business and the Maximum Square Feet Allowed for a Business Establishment Identification Wall Sign Located at 107 Water Street, East Dundee, IL, 60118 PIN 03-23-318-007, Located in the B-1 Downtown Business District](#)
 - b. [Motion to Approve an Ordinance Granting Variations from Section 156.04\(C\)\(1\) Regarding the Number of Wall Signs Allowed for Each Business and the Maximum Square Feet Allowed for a Business Establishment Identification Wall Sign Located at 107 Water Street, East Dundee, IL, 60118 PIN 03-23-318-007, Located in the B-1 Downtown Business District](#)

- c. [Motion to Approve a Resolution Approving the Final Design and the Design-Build Amendment to the Contract Previously Executed between James McHugh Construction Co. and the Village of East Dundee for Design-Build Services of a Two-Level Parking Structure Located in the Downtown District of the Village of East Dundee](#)
- d. [Motion to Approve an Ordinance Approving and Authorizing Execution and Recording of Easement Agreements for Permanent Public Utility and Drainage Easements and Temporary Construction Easement Agreements \(107 N. Van Buren Street, 308 Hill Street, 311 Jackson Street, 102 N. River Street, 104-106 N. River Street\)](#)
- e. [Motion to Approve an Ordinance Amending the Employee Personnel Manual Regarding Holidays](#)
- f. [Motion to Advise and Consent of the Village President's Appointment of Scott Cox to the Board of Police Commissioners](#)
- g. Motion to Advise and Consent of the Village President's Appointment of Kim Brunner to the Depot Council
- h. Motion to Advise and Consent of the Village President's Appointment of Peggy Scarpelli to the Depot Council

8. Village President and Board Reports

9. Staff Reports

10. Executive Session

Closed to the public and media under the provisions of the Illinois Open Meetings Act, 5ILCS, 120/2, (c)(21) Discussion of Minutes, (c)(11) Pending Litigation, (c)(1) Personnel and Legal Counsel, (c)(5) Acquisition of Property, (c)(6) Sale of Property, (c)(3) Appointments and (c)(2) Collective Negotiating Matters.

11. Adjournment

State of Illinois)
Counties of Cook and Kane) SS
Village of East Dundee)

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Village Board of Trustees of the Village of East Dundee will hold a public hearing on July 15, 2024, at 6:00 P.M. at the East Dundee Police Station 2nd Floor Meeting Room, 115 E. 3rd Street, East Dundee, Illinois, to consider the following request:

A request for a variance from Section 156.04(C)(1)(a) regarding the maximum number of wall signs for each business, and a request for a variance from Section 156.04(C)(1)(b) regarding the maximum square feet allowed for a business establishment identification wall sign, for the property located at 107 Water St., East Dundee, IL, 60118 PIN 03-23-318-007, located in the B-1 Downtown Business District.

PIN: 03-23-318-007

Legal Description: LOT 2 (EXCEPT THE SOUTHERLY 66.67 FEET THEREOF), THE SOUTHERLY 63 FEET OF LOT 3, AS MEASURED ALONG WEST LINE OF WATER STREET, OF HAERTEL'S SUBDIVISION, IN THE VILLAGE OF EAST DUNDEE, KANE COUNTY, ILLINOIS.

All interested persons will be given an opportunity to be heard. Any questions regarding this public hearing process may be directed to Franco Bottalico, 120 Barrington Avenue, East Dundee, Illinois, 60118 via email at FBottalico@eastdundee.net, or by phone at (847) 815-0472.

CALL TO ORDER

President Lynam calls to order the Village of East Dundee Committee of the Whole Meeting at 6:00 p.m.

ROLL CALL:

Trustees Mahony, Kunze, Brittin, Treiber, Sauder, and President Lynam. Trustee Saviano was absent.

Also in attendance are Director of Public Works Phil Cotter, Assistant to the Administrator Franco Bottalico, Village Engineer Joe Heinz, Attorney Kelley Gandurski and Clerk Katherine Diehl.

PUBLIC COMMENT: None

AGENDA ITEMS:

a. Continued Discussion Regarding Regulating Food Trucks

President Lynam stated that DC Cobb's owner, Dan Hart, advised that Woodstock holds a food truck festival, and this type of event may be a workable compromise. He stated that he agrees with the idea of hosting a food truck festival in East Dundee once or twice a year. Trustee Sauder said that he likes the idea of hosting events that feature food trucks, particularly Motor Monday Cruise Night. He feels it will attract people to the village. He suggested that local businesses host food trucks that offer different foods than East Dundee restaurants do so it is noncompeting. Trustee Treiber stated that he does not see a need for food trucks as he feels there are plenty of dining opportunities with current restaurants. Trustee Kunze stated that he is fine with the pilot program plan to host food trucks for Motor Monday events and see how that goes. Trustee Mahony agrees with slowly testing food trucks in town. She added that hosting food trucks does not negate the need for an ordinance, but rather a policy. Trustee Brittin feels that a reasonable compromise this year is to host food trucks at Motor Monday and at a food truck festival.

Joe Zeller of The Distance Social addressed the Board stating that he feels food trucks will bring new visitors to the village, however, does not feel the need for food trucks on a regular basis. Colin Hagerty of Tequila Val's suggested implementing a clause that any food truck is to be stationed a minimum of 150 feet from the closest restaurant. Lucy DeLap, Motor Monday Organizer on behalf of the Village, stated that there are two types of people that attend the Motor Monday event. One group type wants to grab food and sit at a picnic table with other attendees. The other group type will park their show car and go sit down and eat at an establishment. Currently there is a hot dog/pretzl vendor and a Kona Ice truck at the event, and she feels these are great vendors for this particular event. AJ Singh of Aliano's Ristorante would like financial data to be collected from this pilot program. Julius White of DC Cobb's stated that they partner heavily with Black & Gray Brewing and are a very big part of each other's businesses. He said with all the new restaurants over the past 5 years, Black & Gray no longer feels that food trucks would be an asset to them. Marc Quattrocchi of the East Dundee Fire Department stated that the fire department's main concern is for safety. He advised that there are unregulated food trucks already operating outside of the downtown district every weekend that he alone attempts to enforce. He added that he cannot regulate a food truck that he does not know about. He stated that he just wanted to make the Board aware that they are already here in town.

b. Discussion with Baxter & Woodman Regarding Lead Service Line Replacement

Public Works Director Cotter advised that since June of last year, with the assistance of Baxter & Woodman, the Village has completed and submitted its material service line inventory to the IEPA, with the exception of approximately 100 homes still to complete the survey. Cotter also advised that a lead service line replacement plan has also since been developed and submitted. He stated that the next objective is to develop a program for replacing lead services in the community as there are currently funds included in this fiscal year budget to do this. Next, a representative from Baxter & Woodman gave a slideshow presentation for

funding lead service line replacements.

Motion to adjourn the Regular Village Board meeting at 7:28 p.m. by Brittin/Kunze.
Meeting Adjourns by unanimous consent.

Respectfully submitted,

Katherine Diehl

By: _____
Village President, Jeffrey Lynam

Attest: _____
Village Clerk, Katherine Diehl

Invoice Number	Description	Invoice Date	Net Invoice Amount	Voided	GL Account Number
ADVANCED AUTOMATION & CONTROLS INC					
24-4512	WWTP SCADA SYSTEM	06/12/2024	303.17		60-33-5291
Total ADVANCED AUTOMATION & CONTROLS INC:			303.17		
AFLAC					
550654	AFLAC	06/26/2024	759.68		27-01-2215
Total AFLAC:			759.68		
ALBRECHT ENTERPRISES, INC.					
5317	ASBESTOS INSP	06/12/2024	750.00		32-32-5950
5317	ASBESTOS INSP	06/12/2024	750.00		39-01-5957
Total ALBRECHT ENTERPRISES, INC.:			1,500.00		
ALLEGRA PRINT & IMAGING					
70164	ANNUAL REPORT	06/21/2024	510.00		01-21-5340
Total ALLEGRA PRINT & IMAGING:			510.00		
ARENDS HOGAN WALKER LLC					
11901678	MOWER REPAIR	05/24/2024	1,019.59		01-31-5130
Total ARENDS HOGAN WALKER LLC:			1,019.59		
AT&T					
061324	ATT W/S	06/13/2024	838.46		60-33-5320
Total AT&T:			838.46		
B&F CONSTRUCTION CODE SERVICES INC					
19385	INSPECTIONS	06/17/2024	45.00		01-25-5290
64943	INSPECTIONS	06/13/2024	200.00		01-25-5290
Total B&F CONSTRUCTION CODE SERVICES INC:			245.00		
BAXTER AND WOODMAN CONSULTING ENGINEERS					
061724	MS4 SERVICES 260513	06/17/2024	780.00		01-31-5220
061724	WATER SYSTEM STUDY	06/17/2024	1,696.25		60-33-5220
061724	IEPA PROJECT PLAN 260510	06/17/2024	1,085.00		60-33-5220
061724	WS RATE 255457/459/260511	06/17/2024	3,514.37		60-33-5220
061724	WS RATE STUDY	06/17/2024	3,514.38		60-33-5221
061724	GIS 260512	06/17/2024	865.00		60-33-5290
061724	CONF RPT 260514	06/17/2024	1,200.00		60-33-5290
061724	LEAD SERVICE 260504	06/17/2024	3,566.25		60-33-5946
061724	LEAD SERVICE 260509	06/17/2024	1,862.50		60-33-5946
Total BAXTER AND WOODMAN CONSULTING ENGINEERS:			18,083.75		
BEVERLY MATERIALS INC.					
306275	STONE - MAXWELTON	06/22/2024	54.18		01-31-5140
Total BEVERLY MATERIALS INC.:			54.18		

Invoice Number	Description	Invoice Date	Net Invoice Amount	Voided	GL Account Number
BMI LICENSING DEPT					
53806404	ANNUAL LICENSE	06/02/2024	435.00		01-37-5410
Total BMI LICENSING DEPT:			435.00		
BRY-AIR INC					
78067	HVAC FILTERS - WTP	06/21/2024	1,555.83		60-33-5110
Total BRY-AIR INC:			1,555.83		
Buy Sell Business Brokers					
061324	BDD SALES TAX REBATE	06/13/2024	23,818.37		34-01-5876
061324	311 BARRINGTON TIF REIMB #3	06/13/2024	36,237.82		39-01-5876
Total Buy Sell Business Brokers:			60,056.19		
CINTAS FIRST AID & SAFETY					
4196322403	FLOOR MATS - VH	06/19/2024	53.57		01-12-5110
4196322396	MATS PD	06/19/2024	50.77		01-21-5121
Total CINTAS FIRST AID & SAFETY:			104.34		
CLARK HILL PLC					
1451568	LEGAL SERV ADMIN	06/26/2024	310.00		01-12-5230
1451568	LEGAL SERV PD	06/26/2024	532.50		01-21-5230
1451568	BAIMA PENSION	06/26/2024	461.50		01-21-5230
1451568	LEGAL SERV PW	06/26/2024	852.00		01-31-5230
1451568	LEGAL SERV PW	06/26/2024	852.00		60-33-5230
Total CLARK HILL PLC:			3,008.00		
COM ED					
061424	COM ED VH	06/14/2024	39.60		01-31-5510
061424	COM ED STREETS	06/14/2024	104.98		28-01-5510
Total COM ED:			144.58		
COMED					
061324	STREET LIGHTS	06/13/2024	2,002.31		28-01-5510
Total COMED:			2,002.31		
DAVEY TREE EXPERT COMPANY					
918628563	MULCH	06/17/2024	169.20		01-31-5150
918603802	TREE PRUNING	06/10/2024	780.00		01-31-5190
Total DAVEY TREE EXPERT COMPANY:			949.20		
DIRECT ENERGY					
24170005460.2	STREET LIGHTS	06/01/2084	229.25		01-31-5510
24170005460.2	W & WW UTILITIES	06/01/2084	9,871.01		60-33-5510
Total DIRECT ENERGY:			10,100.26		
DUNDEE MARATHON					
5100507	PLANNING MTG ICE	06/26/2024	5.00		01-12-5630
5100504	WDW ICE	06/12/2024	10.00		01-37-5631

Invoice Number	Description	Invoice Date	Net Invoice Amount	Voided	GL Account Number
Total DUNDEE MARATHON:			15.00		
DUNDEE NAPA AUTO PARTS					
479457	CAP FOR TRAILER	06/14/2024	19.45		01-31-5120
Total DUNDEE NAPA AUTO PARTS:			19.45		
DW-SERVANT FUND (EAST DUNDEE) LLC					
1 062224	BDD DUNDEE GATEWA	06/22/2024	4,166.67		33-01-5876
Total DW-SERVANT FUND (EAST DUNDEE) LLC:			4,166.67		
ELROD FRIEDMAN LLP					
053124	PROF LEGAL SERV	05/31/2024	16,758.00		01-12-5230
053124	TIF 3 DOWNTOWN	05/31/2024	5,139.73		39-01-5230
Total ELROD FRIEDMAN LLP:			21,897.73		
FAST MRO SUPPLIES, INC					
8165	OPER SUPPLIES	06/19/2024	219.28		60-33-5630
Total FAST MRO SUPPLIES, INC:			219.28		
GALLS PARENT HOLDINGS, LLC					
22346224	UNIFORM ALLOW. - KM	10/10/2022	5.37		01-21-5080
28233653	UNIFORM ALLOW. - KM	06/14/2024	63.96		01-21-5080
28316623	UNIFORM ALLOW. - KM	06/24/2024	109.00		01-21-5080
Total GALLS PARENT HOLDINGS, LLC:			178.33		
GRAINGER, INC.					
9162993837	STAGE TARP	06/25/2024	180.69		01-31-5630
9150750215	HVAC FILTERS	06/13/2024	43.20		60-33-5110
Total GRAINGER, INC.:			223.89		
GRANITE FABRICATOR INC					
061724	VOED B&Z COINTER	06/17/2024	500.00		32-15-5948
Total GRANITE FABRICATOR INC:			500.00		
H&H ELECTRIC CO.					
43672	STREET LIGHT POLE/FIXTURE	05/23/2024	422.23		15-01-5950
Total H&H ELECTRIC CO.:			422.23		
HAWKINS, INC.					
6784164	WATER CHEMICALS	06/15/2024	160.00		60-33-5650
6784165	WATER CHEMICALS	06/15/2024	10.00		60-33-5650
6790237	W CHEMICALS	06/21/2024	3,608.82		60-33-5650
Total HAWKINS, INC.:			3,778.82		
HELPING HAND IT					
24-46143	IT SERVICES	06/12/2024	181.25		01-12-5286
24-46171	IT SERVICES	06/18/2024	162.50		01-12-5286

Invoice Number	Description	Invoice Date	Net Invoice Amount	Voided	GL Account Number
24-46198	IT SERVICES	06/25/2024	72.50		01-12-5286
Total HELPING HAND IT:			416.25		
HIGHSTAR TRAFFIC					
5902	PED CROSSING SIGNS - RIVER	06/13/2024	842.00		01-31-5150
6128	SIGN REFLECTORS	06/25/2024	210.00		01-31-5150
6129	STREET SIGNS	06/25/2024	156.00		01-31-5150
Total HIGHSTAR TRAFFIC:			1,208.00		
HOME DEPOT					
061324	CONCRETE WORK	06/13/2024	126.91		01-31-5630
061324	VILLAGE HALL	06/13/2024	30.54		32-15-5948
061324	WW CAMERAS	06/13/2024	399.98		60-33-5111
061324	WASTEWATER OPER SUPPLIE	06/13/2024	145.61		60-33-5630
Total HOME DEPOT:			703.04		
ILLINOIS GOVERNMENT FINANCE OFFICERS					
20752	COA REV FY2023	06/26/2024	460.00		01-14-5410
3154076	IGFOA TRAINING	06/17/2024	315.00		01-14-5430
Total ILLINOIS GOVERNMENT FINANCE OFFICERS:			775.00		
ILLINOIS MUNICIPAL LEAGUE					
062624	IML TIF SEMINAR	06/24/2026	225.00		01-14-5430
Total ILLINOIS MUNICIPAL LEAGUE:			225.00		
ILLINOIS PUBLIC RISK FUND					
91511	W/C ADMIN	06/13/2024	743.90		01-12-5520
91511	W/C FIN	06/13/2024	374.45		01-14-5520
91511	W/C PD	06/13/2024	4,343.62		01-21-5520
91511	W/C BLDG	06/13/2024	374.45		01-25-5520
91511	W/C W/S	06/13/2024	748.90		01-31-5520
91511	W/C PW	06/13/2024	898.68		60-33-5520
Total ILLINOIS PUBLIC RISK FUND:			7,484.00		
J.G. UNIFORMS, INC					
132343	UNIFORM	06/21/2024	750.65		01-21-5080
43353	UNIFORM	06/21/2024	85.00		01-21-5080
Total J.G. UNIFORMS, INC:			835.65		
JOHNSON RESEARCH GROUP					
2183	TIF ANALYSIS	06/18/2024	5,062.50		38-01-5290
Total JOHNSON RESEARCH GROUP:			5,062.50		
KANE COUNTY CHIEF'S OF POLICE ASSOCIATIO					
1672	TASK FORCE ANNUAL	06/14/2024	750.00		01-21-5410
Total KANE COUNTY CHIEF'S OF POLICE ASSOCIATIO:			750.00		

Invoice Number	Description	Invoice Date	Net Invoice Amount	Voided	GL Account Number
M.E. SIMPSON COMPANY INC					
42580	VALVE EXERCISING PROGRAM	06/26/2024	10,560.00		60-33-5140
Total M.E. SIMPSON COMPANY INC:			10,560.00		
MIDWEST SALT					
474905	COARSE SALT	06/20/2024	3,300.96		60-33-5650
Total MIDWEST SALT:			3,300.96		
NORTH EAST MULTI-REGIONAL TRAINING					
356712	TRAINING RS	06/18/2024	325.00		01-21-5430
Total NORTH EAST MULTI-REGIONAL TRAINING:			325.00		
NORTHWESTERN MEDICINE OCCUPATIONAL HEALT					
053124	5514767 552100	05/31/2024	248.00		01-21-5240
053124	552374551467 552100	05/31/2024	344.00		01-31-5240
053124	5514767 552100	05/31/2024	130.00		60-33-5240
Total NORTHWESTERN MEDICINE OCCUPATIONAL HEALT:			722.00		
ORANGE CRUSH					
109797	ASPHALT	DISPO 05/31/2024	50.00		01-31-5570
109823	ASPHALT	DISPO 05/31/2024	50.00		01-31-5570
Total ORANGE CRUSH:			100.00		
PADDOCK PUBLICATIONS, INC					
293914	PUBLIC HEARING NOTICE	06/23/2024	66.70		01-25-5330
Total PADDOCK PUBLICATIONS, INC:			66.70		
RALPH HELM, INC					
396529	CHAIN SAW	06/18/2024	32.28		01-31-5130
396530	CHAIN SAWS	06/18/2024	47.98		01-31-5130
Total RALPH HELM, INC:			80.26		
RAY O'HERRON CO. INC					
2348303	AMMUNITION	06/11/2024	804.00		01-21-5430
2350515	SUPPLIES	06/22/2024	1,390.00		01-21-5430
Total RAY O'HERRON CO. INC:			2,194.00		
RC CUSTOM PAINTING					
1385	DEPOT PAINTING	06/19/2024	1,550.00		34-01-5945
Total RC CUSTOM PAINTING:			1,550.00		
REVIZE LLC					
18585	WEBSITE HOSTING & MAINTEN	06/12/2024	1,900.00		01-12-5615
Total REVIZE LLC:			1,900.00		

Invoice Number	Description	Invoice Date	Net Invoice Amount	Voided	GL Account Number
RUSSO					
20039028	BLOWER REPAIR	06/19/2024	369.03		01-31-5130
20741436	MOWER OIL	06/19/2024	15.98		01-31-5130
Total RUSSO:			385.01		
STAPLES ADVANTAGE					
7000740216	OFFICE SUPPLIES	05/25/2024	128.22		01-21-5610
Total STAPLES ADVANTAGE:			128.22		
SUMMIT SQUARE ASSOCIATION					
062524	ASSOCIATION DUES	06/25/2024	1,910.27		01-12-5410
Total SUMMIT SQUARE ASSOCIATION:			1,910.27		
THOMPSON ELEVATOR SERVICE					
24-1223	ELEV INSP	06/17/2024	50.00		01-01-1112
Total THOMPSON ELEVATOR SERVICE:			50.00		
ULINE					
179589563	VH SUPPLIES	06/19/2024	713.06		01-12-5630
Total ULINE:			713.06		
VERIZON WIRELESS					
9966252640	VERIZON ADMIN	06/10/2024	95.50		01-12-5320
9966252640	VERIZON FIN	06/10/2024	95.27		01-14-5320
9966252640	VERIZON B&Z	06/10/2024	59.27		01-25-5320
9966252640	VERIZON SWR/WTR	06/10/2024	324.86		01-31-5320
9966252640	VERIZON PW	06/10/2024	151.74		60-33-5320
9966616425	W/WW DIALER MODEMS	06/14/2024	37.16		60-33-5320
Total VERIZON WIRELESS:			763.80		
WEX INC					
070124	FUEL CHARGES PD	07/01/2024	2,714.60		01-21-5620
070124	B&Z FUEL	07/01/2024	58.46		01-25-5620
070124	FUEL CHARGES PW	07/01/2024	1,686.72		01-31-5620
070124	FUEL CHARGES WS	07/01/2024	1,739.71		60-33-5620
Total WEX INC:			6,199.49		
WILSON NURSERIES INC					
448786	PARKWAY TREE	06/24/2024	412.00		01-31-5190
Total WILSON NURSERIES INC:			412.00		
ZELLER CREATIVE GROUP					
24117	BANNERS	06/12/2024	6,600.00		34-01-5954
Total ZELLER CREATIVE GROUP:			6,600.00		
ZINGRONE ARCHTECTS, PLLC					
1033	110 RAILROAD SITE PLAN	06/11/2024	11,500.00		39-01-5290

Invoice Number	Description	Invoice Date	Net Invoice Amount	Voided	GL Account Number
	Total ZINGRONE ARCHTECTS, PLLC:		11,500.00		
	Grand Totals:		200,011.15		

Report Criteria:
Detail report.
Invoices with totals above \$0.00 included.
Paid and unpaid invoices included.

Invoice Number	Description	Invoice Date	Net Invoice Amount	Voided	GL Account Number
ACE HARDWARE					
063024	BOLTS & TWINE	06/30/2024	24.53		01-31-5630
063024	HVAC FILTERS	06/30/2024	15.96		60-33-5110
063024	OPER SUPPLIES	06/30/2024	5.48		60-33-5630
063024	TAPE MEASURE	06/30/2024	44.99		60-33-5640
Total ACE HARDWARE:			90.96		
ADVANCED AUTOMATION & CONTROLS INC					
24-4536	WWTP SCADA SYSTEM	06/27/2024	240.00		60-33-5291
Total ADVANCED AUTOMATION & CONTROLS INC:			240.00		
ALGONQUIN WELDING LLC					
339	WELD STREET LIGHT POLE	06/27/2024	350.00		01-31-5150
Total ALGONQUIN WELDING LLC:			350.00		
AMALGAMATED BANK OF CHICAGO					
1856161009 07	ADMIN FEE	07/01/2024	475.00		39-01-5810
Total AMALGAMATED BANK OF CHICAGO:			475.00		
AMERICAN LEGAL PUBLISHING CORPORATION					
34845	CODE UP-DATE	06/30/2024	50.00		01-12-5260
34951	CODES & ORDINANCE UPDATE	06/30/2024	3,128.63		01-12-5260
Total AMERICAN LEGAL PUBLISHING CORPORATION:			3,178.63		
BATEMAN LAW OFFICES, LTD					
070924	EDPD AA HEARING	07/09/2024	285.00		01-21-5230
070924	AA BUILDING	07/09/2024	142.50		01-25-5230
Total BATEMAN LAW OFFICES, LTD:			427.50		
BEVERLY MATERIALS INC.					
307009	IL 25 - WATER MAIN BREAK	07/06/2024	653.32		60-33-5140
Total BEVERLY MATERIALS INC.:			653.32		
BLUE CROSS BLUE SHIELD					
070124	BCBS ADMIN	07/01/2024	3,882.28		01-12-5060
070124	BCBS FIN	07/01/2024	1,000.57		01-14-5060
070124	BCBS PD	07/01/2024	28,925.50		01-21-5060
070124	BCBS BLDG	07/01/2024	1,809.35		01-25-5060
070124	BCBS PW	07/01/2024	6,507.24		01-31-5060
070124	BCBS EMP CONTRIB	07/01/2024	5,138.68		27-01-2207
070124	BCBS RETIREES	07/01/2024	6,021.27		27-01-2210
070124	BCBS WTR/SWR	07/01/2024	8,144.85		60-33-5060
Total BLUE CROSS BLUE SHIELD:			61,429.74		
CASSIDY TIRE & SERVICE					
922023179	SKID STEER TIRES	06/26/2024	839.50		01-31-5120
922023179	SKID STEER TIRES	06/26/2024	839.50		60-33-5120

Invoice Number	Description	Invoice Date	Net Invoice Amount	Voided	GL Account Number
Total CASSIDY TIRE & SERVICE:			1,679.00		
CINTAS FIRST AID & SAFETY					
4192058076	FLOOR MATS - VH	05/08/2024	53.57		01-12-5110
4197666552	MATS - VH	07/02/2024	53.57		01-12-5110
4197666565	MATS PD	07/02/2024	50.77		01-21-5121
Total CINTAS FIRST AID & SAFETY:			157.91		
CIVIC SYSTEMS					
25002	FINANCE/UB SOFTWARE SUPP	06/27/2024	3,597.50		01-14-5286
25002	NEW FINANCE/UB SO	06/27/2024	3,597.50		60-33-5286
Total CIVIC SYSTEMS:			7,195.00		
COMED					
062924	STREET LIGHTS	06/29/2024	1,281.22		28-01-5510
Total COMED:			1,281.22		
COVERALL NORTH AMERICA DBA					
1010730995	CLEANING VH	07/01/2024	329.00		01-12-5110
1010730995	CLEANING POLICE	07/01/2024	1,410.00		01-21-5121
1010730995	CLEANING PW 446 ELGIN AVE	07/01/2024	95.00		01-31-5110
1010730995	CLEANING DEPOT	07/01/2024	95.00		01-31-5196
1010730995	CLEANING PW PRAIRIE LAKE	07/01/2024	236.00		60-33-5110
1010730995	CLEANING PW 401 ELGIN AVE	07/01/2024	236.00		60-33-5111
Total COVERALL NORTH AMERICA DBA:			2,401.00		
CREATIVE PROMOTIONAL APPAREL					
18974	PW LOGO ON ITEMS	07/09/2024	56.88		01-31-5080
18974	PW LOGO ON ITEMS	07/09/2024	56.87		60-33-5080
Total CREATIVE PROMOTIONAL APPAREL:			113.75		
CURRENT TECHNOLOGIES					
734731	SUPPORT	06/28/2024	123.75		01-21-5286
Total CURRENT TECHNOLOGIES:			123.75		
DAVEY TREE EXPERT COMPANY					
918673051	PARKWAY TREE REMOVALS	06/28/2024	3,900.00		01-31-5190
Total DAVEY TREE EXPERT COMPANY:			3,900.00		
DUNDEE LANDSCAPE CONSTRUCTION					
7178	LANDSCAPE MAINT	06/26/2024	800.00		01-31-5110
Total DUNDEE LANDSCAPE CONSTRUCTION:			800.00		
DUNDEE NAPA AUTO PARTS					
480688	TRUCK WASH SOAP	06/27/2024	10.23		01-31-5630
Total DUNDEE NAPA AUTO PARTS:			10.23		

Invoice Number	Description	Invoice Date	Net Invoice Amount	Voided	GL Account Number
EAST DUNDEE POLICE PENSION FUND					
71024	1ST POLICE PENSION PAYMEN	07/10/2024	386,260.87		01-21-5055
Total EAST DUNDEE POLICE PENSION FUND:			386,260.87		
ELGIN KEY & LOCK CO. INC.					
240967	KEY FOR BRANDISS OFFICE	06/27/2024	3.30		01-12-5110
Total ELGIN KEY & LOCK CO. INC.:			3.30		
ELWIRA REICHWEIN					
1745000	CLOSED ACCT PAYMENT	07/10/2024	62.70		99-00-1005
Total ELWIRA REICHWEIN:			62.70		
EMPLOYEE BENEFITS CORP					
4468449	FLEX PLAN	05/05/2024	60.00		01-12-5060
4506549	FLEX PLAN	06/15/2024	60.00		01-12-5060
Total EMPLOYEE BENEFITS CORP:			120.00		
ENTERPRISE FM TRUST					
060524	PD MAINT ON LEASE	07/08/2024	210.96		01-21-5120
070324	PD MAINT ON LEASE	07/08/2024	200.00		01-21-5120
060524	PD MAINT MGMT ON LEASE	07/08/2024	6,280.35		01-21-5280
060524	NEW PD VEHICLES TO LEASE	07/08/2024	22,015.01		01-21-5280
070324	PD LEASE VEH	07/08/2024	5,265.17		01-21-5280
Total ENTERPRISE FM TRUST:			33,971.49		
FASTSIGNS					
97-65765	DEPOT MARKET SIGN	07/08/2024	427.00		01-37-5340
97-65775	BOIL ORDER SIGNS	07/03/2024	195.00		60-33-5630
Total FASTSIGNS:			622.00		
FEHR GRAHAM					
123956	IDOT FOLLOW UP	06/28/2024	77.00		38-01-5220
Total FEHR GRAHAM:			77.00		
GALLS PARENT HOLDINGS, LLC					
28396021	UNIFORM ALLOW	07/02/2024	158.50		01-21-5080
Total GALLS PARENT HOLDINGS, LLC:			158.50		
GOLD SHIELD DETECTIVE AGENCY, INC					
2247	BG CHECK	04/19/2024	1,161.80		01-21-5290
Total GOLD SHIELD DETECTIVE AGENCY, INC:			1,161.80		
GORDON FLESCH COMPANY, INC					
14747845	COPIER SERVICE -PD	07/12/2024	454.28		01-21-5340
14747845	COPIER SERVICE - WTP	07/12/2024	124.52		60-33-5340
14747845	COPIER SERVICE - WWTP	07/12/2024	21.91		60-33-5340

Invoice Number	Description	Invoice Date	Net Invoice Amount	Voided	GL Account Number
Total GORDON FLESCH COMPANY, INC:			600.71		
GOVERNMENT FINANCE OFFICES ASSOCIATION					
20752	COA REV FEE	06/26/2024	460.00		01-14-5210
3154076	BUDGET TRAINING	06/17/2024	315.00		01-14-5430
Total GOVERNMENT FINANCE OFFICES ASSOCIATION:			775.00		
GRIFFIN WILLIAMS MCMAHON & WALSH LLP					
20369	LOCAL PROSECUTIONS	07/01/2024	750.00		01-21-5230
Total GRIFFIN WILLIAMS MCMAHON & WALSH LLP:			750.00		
H&H ELECTRIC CO.					
43686	STREET LIGHT TROUBLESHOO	02/01/2124	1,797.61		01-31-5150
43711	REMOVE DETERIORATED POL	03/05/2024	2,483.23		01-31-5150
Total H&H ELECTRIC CO.:			4,280.84		
HEINZ, GERALD & ASSOC.					
21269	MISC ENGINEERING	07/05/2024	1,782.00		01-12-5220
21273	VH PARKING LOT	07/05/2024	2,541.00		01-12-5220
21279	BEVERLY UTIL EXT	07/05/2024	810.00		01-25-5220
21270	FAU STP BARRINGTON AVE	07/05/2024	162.00		01-31-5220
21277	2024 STREET PROGRAM	07/05/2024	810.00		32-31-6090
21275	23 MICHIGAN	07/05/2024	81.00		85-01-2031
21272	PENNY RD/RT 68	07/05/2024	81.00		85-01-2378
21271	590 HEALY	07/05/2024	162.00		85-01-2395
21276	DAVEY TREE	07/05/2024	243.00		85-01-2403
21278	OC LAB	07/05/2024	1,296.00		85-01-2404
Total HEINZ, GERALD & ASSOC.:			7,968.00		
HELPING HAND IT					
24-46215	IT SERVICES	06/27/2024	36.25		01-12-5286
24-46339	IT SERVICES	07/01/2024	3,301.63		01-12-5286
24-46409	IT SERVICES	07/02/2024	253.75		01-12-5286
Total HELPING HAND IT:			3,591.63		
HINCKLEY SPRINGS					
23907757 0706	VH WATER	07/06/2024	42.59		01-12-5630
23840544 0706	PD WATER	07/06/2024	158.04		01-21-5630
23840544 0706	PW WATER	07/06/2024	35.86		01-31-5630
Total HINCKLEY SPRINGS:			236.49		
HOUSE OF DOORS					
22206	SPECIAL EVENTS GARAGE	05/31/2024	452.64		01-31-5110
Total HOUSE OF DOORS:			452.64		
ILLINOIS ENVIRONMENTAL PROTECTION AGENCY					
400329 A	MS4 PERMIT	06/18/2024	1,000.00		01-31-5591
28541 A	IEPA PERMIT FEES	06/18/2024	17,500.00		60-33-5531
6458 A	INDUSTRIAL PERMIT	06/18/2024	500.00		60-33-5531

Invoice Number	Description	Invoice Date	Net Invoice Amount	Voided	GL Account Number
Total ILLINOIS ENVIRONMENTAL PROTECTION AGENCY:			19,000.00		
JM CONSTRUCTIONS PROS					
240308	CASH BOND REIMB	07/10/2024	5,000.00		01-09-4205
Total JM CONSTRUCTIONS PROS:			5,000.00		
MIDWEST SALT					
474412	COARSE SALT	05/17/2024	3,497.52		60-33-5650
475113	COARSE SALT	07/05/2024	3,525.60		60-33-5650
Total MIDWEST SALT:			7,023.12		
NICOR GAS					
062624	NICOR VH	07/08/2024	183.67		01-31-5510
062624	NICOR S/W	07/08/2024	2,341.61		60-33-5510
Total NICOR GAS:			2,525.28		
NORTHERN CONTRACTING, INC					
197	REPLACE FENCE SURROUNDI	07/04/2024	6,739.87		60-33-5111
Total NORTHERN CONTRACTING, INC:			6,739.87		
NORTHSTOCK, INC					
45332	PURCHASE UNIT HEATER FOR	06/22/2024	7,421.92		60-33-5111
Total NORTHSTOCK, INC:			7,421.92		
ORANGE CRUSH					
110040	SURFACE - TON	06/30/2024	745.80		01-31-5150
110051	SURFACE - TON	06/30/2024	279.18		01-31-5150
110051	ASPHALT	DISPO 06/30/2024	25.00		01-31-5570
110073	ASPHALT	DISPO 06/30/2024	50.00		01-31-5570
Total ORANGE CRUSH:			1,099.98		
OTTO ENGINEERING					
1170592	UNIFORM	07/03/2024	40.80		01-21-5080
1170601	UNIFORM	07/02/2024	355.81		01-21-5080
Total OTTO ENGINEERING:			396.61		
P.F. PETTIBONE					
185814	UNIFORM	04/19/2024	448.00		01-21-5080
Total P.F. PETTIBONE:			448.00		
PACE ANALYTICAL SERVICES, LLC					
247208612	WATER TESTING	06/28/2024	200.00		60-33-5290
247208613	WW TESTING	06/28/2024	3,406.90		60-33-5291
Total PACE ANALYTICAL SERVICES, LLC:			3,606.90		
PAUL SWEIGERT					
416	WATER TOWN DRONE PICS	07/01/2024	75.00		01-12-5290

Invoice Number	Description	Invoice Date	Net Invoice Amount	Voided	GL Account Number
Total PAUL SWEIGERT:			75.00		
QUAD COM 9-1-1					
24-EDPD-07	DISPATCH SERV	07/01/2024	16,760.09		01-21-5360
Total QUAD COM 9-1-1:			16,760.09		
RAY O'HERRON CO. INC					
2351936	UNIFORM	07/01/2024	1,602.98		01-21-5080
2351938	UNIFORM	07/01/2024	1,572.98		01-21-5080
2351945	UNIFORM	07/01/2024	1,572.98		01-21-5080
Total RAY O'HERRON CO. INC:			4,748.94		
SHINE & DETAIL CLEANING CORP					
062824	PD CLEANING	06/28/2024	2,751.17		01-21-5121
Total SHINE & DETAIL CLEANING CORP:			2,751.17		
STANARD & ASSOCIATES INC.					
58446	ENTRY LEVEL EVALU	06/27/2024	990.00		01-12-5290
Total STANARD & ASSOCIATES INC.:			990.00		
STANDARD INS CO - D/V					
070124	ADMIN DEN	07/01/2024	245.08		01-12-5060
070124 V	ADVIN VIS	07/01/2024	10.24		01-12-5060
070124	FIN DEN	07/01/2024	56.07		01-14-5060
070124 V	FIN VIS	07/01/2024	4.70		01-14-5060
070124	PD DEN	07/01/2024	1,436.63		01-21-5060
070124 V	PD VIS	07/01/2024	69.34		01-21-5060
070124	BLDG DEN	07/01/2024	98.79		01-25-5060
070124 V	BLD VIS	07/01/2024	6.83		01-25-5060
070124	PW DEN	07/01/2024	356.52		01-31-5060
070124 V	PW VIS	07/01/2024	24.17		01-31-5060
070124	EMPL DEN	07/01/2024	368.09		27-01-2208
070124 V	EMP VIS	07/01/2024	342.65		27-01-2208
070124	WTS SRW DEN	07/01/2024	442.24		60-33-5060
070124 V	W'S VIS	07/01/2024	28.27		60-33-5060
Total STANDARD INS CO - D/V:			3,489.62		
STANDARD INS CO - LIFE					
070124	ADMIN	07/01/2024	64.35		01-12-5060
070124	FINANCE	07/01/2024	36.09		01-14-5060
070124	POLICE	07/01/2024	351.46		01-21-5060
070124	BUILDING	07/01/2024	30.65		01-25-5060
070124	PW	07/01/2024	95.52		01-31-5060
070124	EMPLOYEE	07/01/2024	250.18		27-01-2208
070124	W/S	07/01/2024	137.93		60-33-5060
Total STANDARD INS CO - LIFE:			966.18		
STEWART SPREADING					
3851	BIOSOLIDS TRANS AND LAND A	07/03/2024	3,000.00		60-33-5287

Invoice Number	Description	Invoice Date	Net Invoice Amount	Voided	GL Account Number
Total STEWART SPREADING:			3,000.00		
SUBURBAN ELEVATOR					
8106620866	QUATERLY PREVENTIVE MAINT	07/01/2024	611.58		01-21-5121
Total SUBURBAN ELEVATOR:			611.58		
THE FUNKY BRUSH AND PALETTE, LLC					
071024	WDW 7/10/24	07/10/2024	315.00		01-37-5290
Total THE FUNKY BRUSH AND PALETTE, LLC:			315.00		
THOMAS DZUBIN					
1679000	WATER BILL FINAL OVERPAY	07/10/2024	4.44		99-00-1005
Total THOMAS DZUBIN:			4.44		
TLO LLC					
259283-20240	MEMBERSHIP	06/30/2024	75.00		01-21-5410
Total TLO LLC:			75.00		
T-MOBILE					
062124	CHIEF, DC & SERGEANT'S CEL	06/21/2024	125.85		01-21-5320
Total T-MOBILE:			125.85		
TOP BOARD-UP LLC					
21420	BOARD UP HAEGER	06/24/2024	3,150.00		39-01-5955
Total TOP BOARD-UP LLC:			3,150.00		
TRACY'S FUN FACE PAINTING					
071024	BALLOON ARTIST	07/10/2024	210.00		01-37-5290
Total TRACY'S FUN FACE PAINTING:			210.00		
UGSI CHEMICAL FEED					
34191	POLYMER FEED SYSTEM	07/05/2024	1,352.65		60-33-5131
Total UGSI CHEMICAL FEED:			1,352.65		
ULINE					
179998343	GARBAGE CAN LINERS	06/28/2024	478.76		01-31-5630
Total ULINE:			478.76		
US BANK					
5221 062524 B	COMCAST	06/25/2024	31.47		01-12-5286
1680 062524 K	MAILCHIMP	06/25/2024	80.00		01-12-5410
1680 062524 K	SIRIUS	06/25/2024	17.83		01-12-5410
5221 062524 B	ADOBE	06/25/2024	383.84		01-12-5410
6309 062524 E	APA	06/25/2024	101.00		01-12-5410
6309 062524 E	TRAINING	06/25/2024	513.98		01-12-5420
6309 062524 E	TRAINNING MEALS	06/25/2024	118.50		01-12-5420
1680 062524 K	SUPPLIES	06/25/2024	63.31		01-12-5610

Invoice Number	Description	Invoice Date	Net Invoice Amount	Voided	GL Account Number
6309 062524 E	BUG TRAPS	06/25/2024	18.90		01-12-5610
5221 062524 B	NESTING TABLES	06/25/2024	137.49		01-12-5630
6309 062524 E	SHREDDER	06/25/2024	579.00		01-12-5630
9750 062524 F	LABELS/BEV COMP PLAN	06/25/2024	60.81		01-12-5630
9750 062524 F	SHIRTS	06/25/2024	383.10		01-12-5630
9750 062524 F	ICE	06/25/2024	8.51		01-12-5630
9750 062524 F	SANDWICHES COMP PLAN	06/25/2024	87.59		01-12-5630
1680 062524 K	GIFT BASKETS	06/25/2024	111.14		01-12-6005
5221 062524 B	PHONE CHARGER	06/25/2024	8.98		01-14-5320
1500 062524 A	GUN BELT	06/25/2024	88.09		01-21-5080
2107 062524 J	MEMERSHIP	07/08/2024	14.99		01-21-5410
5738 062524 J	TRAINING LODGINE	06/25/2024	266.63		01-21-5420
1500 062524 A	TRAINING	06/25/2024	755.00		01-21-5430
2107 062524 J	COPY PAPER	07/08/2024	40.84		01-21-5610
2107 062524 J	COFFEE	07/08/2024	68.76		01-21-5610
2107 062524 J	PLASTIC SPOONS	07/08/2024	30.71		01-21-5610
2107 062524 J	FANS	07/08/2024	169.79		01-21-5610
2107 062524 J	COFFEE CREAMER	07/08/2024	12.99		01-21-5610
2107 062524 J	AC ADAPTER	07/08/2024	29.51		01-21-5611
40798 062524	HDMI	06/25/2024	7.99		01-21-5611
1500 062524 A	SUPPLIES	06/25/2024	81.57		01-21-5630
1500 062524 A	PD CAR WASH	06/25/2024	119.90		01-21-5630
806 062524 C	PUBLIC HEARING SIGN	06/25/2024	147.92		01-25-5331
5824 062524 G	FLOWERS - DT	06/25/2024	399.90		01-31-5110
3999 062524 P	ICLOUD STORAGE	06/25/2024	.99		01-31-5320
1680 062524 K	BEVERAGES	06/25/2024	77.73		01-37-5630
1680 062524 K	HAND WASHING SUPPLIES	06/25/2024	997.55		01-37-5630
5824 062524 G	ABS PIPE	06/25/2024	153.80		01-37-5630
5824 062524 G	ABS PIPE RETURN	06/25/2024	153.80-		01-37-5630
5221 062524 B	EXT CORDS	06/25/2024	269.91		01-37-5631
5221 062524 B	PAPER/SHEET PROT	06/25/2024	42.44		01-37-5631
1680 062524 K	DEPOT REMODEL SUPPIES	06/25/2024	105.56		34-01-5945
5824 062524 G	IPHONE STORAGE	06/25/2024	.99		60-33-5320
5824 062524 G	MEETING	06/25/2024	40.00		60-33-5420
Total US BANK:			6,475.21		
USA BLUEBOOK					
414229	BBOX LID	07/08/2024	27.95		60-33-5140
409919	W LAB SUPPLIES	07/01/2024	739.75		60-33-5630
Total USA BLUEBOOK:			767.70		
WASTE MANAGEMENT OF ILLINOIS					
10248-2776-6	DISPOSAL OF MISC MATERIAL	07/01/2024	1,704.26		01-31-5570
Total WASTE MANAGEMENT OF ILLINOIS:			1,704.26		
WILSON LANDSCAPE SUPPLY INC					
432512	GRASS SEED	07/01/2024	134.25		01-31-5150
Total WILSON LANDSCAPE SUPPLY INC:			134.25		
WILSON NURSERIES INC					
449381	TREE	07/01/2024	1,372.00		01-31-5190

Invoice Number	Description	Invoice Date	Net Invoice Amount	Voided	GL Account Number
Total WILSON NURSERIES INC:			1,372.00		
WRAP GUYZ					
2022-712	SQUAD CARS	07/02/2024	1,155.60		01-21-5280
2022-713	SQUAD CARS	07/02/2024	1,155.60		01-21-5280
Total WRAP GUYZ:			2,311.20		
XTREME FIRE PROTECTION LLC					
32453	FIRE EX RECHARGE	06/30/2024	120.00		01-21-5130
Total XTREME FIRE PROTECTION LLC:			120.00		
Grand Totals:			630,850.56		

Report Criteria:

Detail report.

Invoices with totals above \$0.00 included.

Paid and unpaid invoices included.

Memorandum



To: Village President and Board of Trustees

From: Erika Storlie, Village Administrator

Subject: Purchase of Real Property in Downtown TIF #4 (106 S. River St. Vacant Land)

Date: July 15, 2024

Action Requested:

Staff recommends Village Board approval of an ordinance authorizing the purchase of 106 S. River St. (PIN: 03-23-359-004-0000), East Dundee, IL 60118 in the Downtown Tax Increment Financing District for the purchase price of \$80,000.

Funding Source:

Downtown TIF #4 – Fund 39

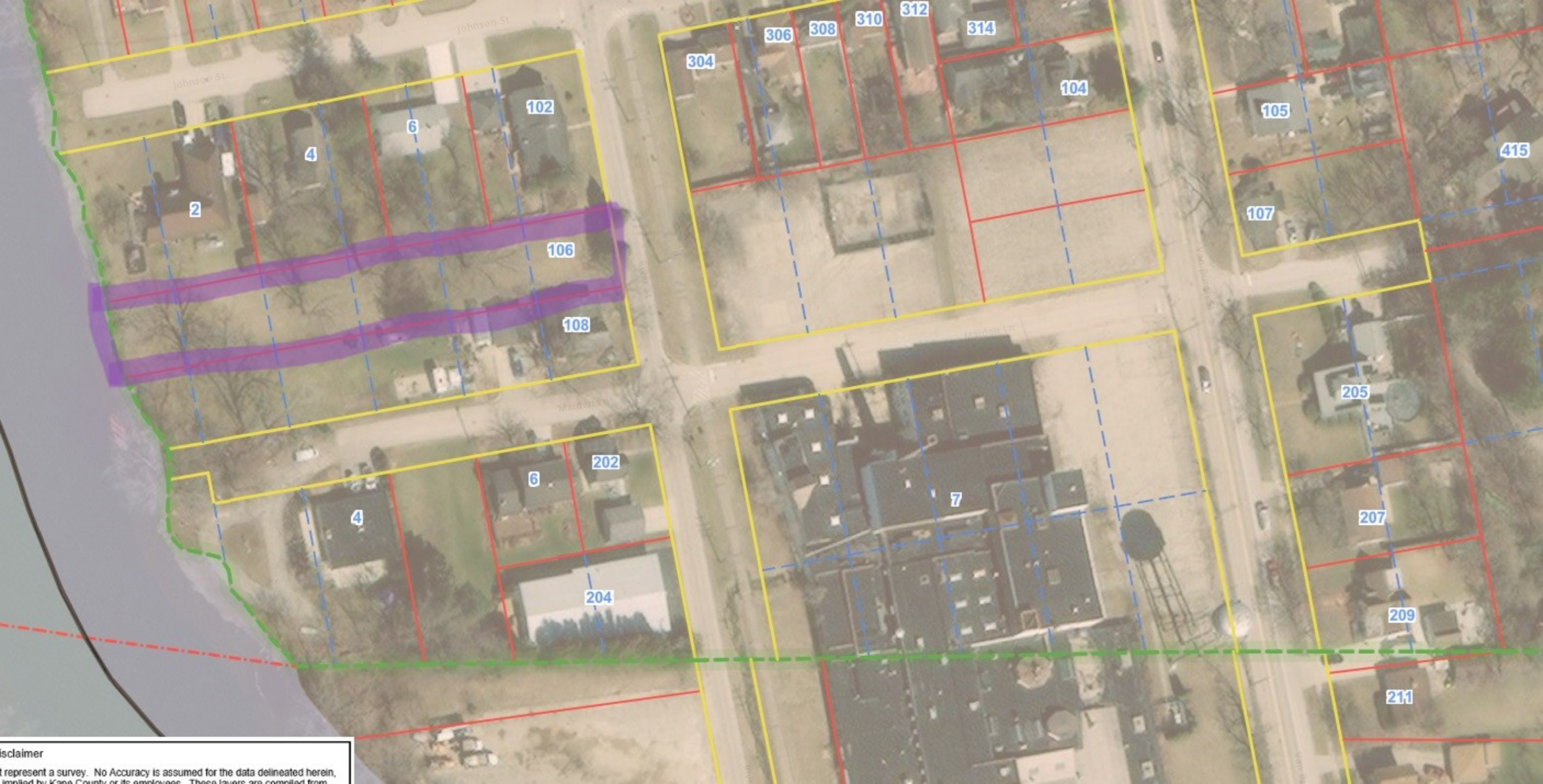
Summary:

At the March 18, 2024, Village Board meeting, the Board passed Resolution #14-24 which adopted the East Dundee Riverfront Master Plan ("Plan"). The Plan is a visioning document that summarizes the process, findings and recommendations for the Riverfront gleaned from extensive public input. As part of that strategic, long-term vision, the Plan recommends that when properties that are contiguous to the River near the Haeger site become available, the Village should attempt to acquire them. These properties in the long-term can be reimaged into open park spaces, or whatever the desire of the Village is at that time that aligns with the adopted Riverfront Master Plan and community desires.

Staff was approached by Century 21 who represents the seller of the property that this vacant strip of land located in the flood plain was on the public market with a list price of \$80,000. The price reflects fair market value and if approved, the property will be transferred to the Village in the next 30 days.

Attachment:

Aerial Photo
Ordinance
Contract



Disclaimer
This map does not represent a survey. No Accuracy is assumed for the data delineated herein, whether or not implied by Kane County or its employees. These layers are compiled from

ORDINANCE NO. _____

**AN ORDINANCE AUTHORIZING EXECUTION OF A CONTRACT
FOR SALE OF VACANT LAND AND PURCHASE OF REAL PROPERTY
(106 S. RIVER, EAST DUNDEE, ILLINOIS)**

NOW, THEREFORE, BE IT ORDAINED, by the President and Board of Trustees of the Village of East Dundee, Kane and Cook Counties, Illinois, as follows:

SECTION 1: The President and Board of Trustees of the Village find as follows:

- A. The Village of East Dundee (the “**Village**”) is a home rule municipality pursuant to Section 7 of Article VII of the Constitution of the State of Illinois.
- B. The State of Illinois has adopted tax increment financing pursuant to the Tax Increment Allocation Redevelopment Act, 65 ILCS 5/11-74.4-1, *et seq.*, as amended from time to time (the “**TIF Act**”).
- C. Pursuant to its powers and in accordance with the TIF Act, and pursuant to Ordinance Nos. 08-34, 08-35 and 08-36, adopted June 16, 2008, and as amended by Ordinance Number 18-28 on September 10, 2018, the Downtown Tax Increment Financing District (the “**TIF District**”) was formed as a TIF district, for a twenty-three (23) year period. Ordinance Nos. 08-34, 08-35, 08-36 and 18-28 are incorporated herein by reference.
- D. Pursuant to and in accordance with the TIF Act and the Ordinances establishing the TIF District, the Corporate Authorities of the Village are empowered under Sections 4(c) and 3(q)(2) of the TIF Act, 65 ILCS 5/11-74.4-4(c) and 3(q)(2), to purchase real property within the TIF district, using TIF District funds, in furtherance of the Redevelopment Plan and Project for the TIF District, including for the acquisition of the “Subject Property,” as defined in Section I.E. below.
- E. Luz Mery Cardenas, Trustee of the Luz Mery Cardenas Living Trust dated May 10, 2007 (the “**Seller**”), is the owner of the real estate and appurtenances attached thereto for the property commonly known as 106 S. River, East Dundee, Illinois, with Parcel Identification Numbers 03-23-359-004-0000 (the “**Subject Property**”).
- F. The Village desires to acquire the Subject Property in furtherance of the Redevelopment Plan and Project for the TIF District.
- G. It is the desire of the Seller to convey the Subject Property to the Village on the terms set forth in the “Contract for the Sale of Vacant Land,” and its accompanying Exhibits and Rider, attached hereto as **EXHIBIT A** and made a part hereof (the “**Agreement**”).
- H. It is in the best interest of the Village to acquire the Subject Property, to ensure that redevelopment within the TIF District continues.

SECTION 2: Based upon the foregoing, the Village President, Village Clerk and Village Administrator be and are hereby authorized and directed to purchase the Subject Property pursuant to the terms and conditions set forth in the Agreement, and in such other form as may

be approved by the Village Administrator and Village Counsel and the Village President, Village Clerk and Village Administrator are further authorized and directed to execute and deliver such other instruments, including the Agreement, as may be necessary or convenient to consummate such purchase.

SECTION 3: This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

ADOPTED this ____ day of July, 2024, pursuant to a roll call vote as follows:

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this ____ day of July, 2024, by the Village President of the Village of East Dundee, and attested by the Village Clerk, on the same day.

Village President

APPROVED and FILED in my office this ____ day of _____, 2024 and published in pamphlet form in the Village of East Dundee, Kane and Cook Counties, Illinois.

ATTEST:

Village Clerk

EXHIBIT A
AGREEMENT
(attached)



CONTRACT FOR THE SALE OF VACANT LAND

1. THE PARTIES: Buyer and Seller are hereinafter referred to as the "Parties".

Buyer(s) [Please Print] VILLAGE OF EAST DUNDEE

Seller(s) [Please Print] LUZ MERY CARDENAS IN LIVING TRUST MAY 10, 2007

If Dual Agency applies, complete Optional Paragraph 27.

2. THE REAL ESTATE: Real Estate shall be defined to include the Real Estate and all improvements thereon. Seller agrees to convey to Buyer or to Buyer's designated grantee, the Real Estate with the approximate lot size or acreage of

commonly known as:

Address or Legal Description

106 S RIVER

EAST DUNDEE

KANE

il

60118

03-23-359-004

City

County

State

Zip

Permanent Index Number(s) of Real Estate

3. PURCHASE PRICE: Purchase Price of \$80,000.00 shall be. After the payment of Earnest Money as provided below, the balance of the Purchase Price, as adjusted by proration's, shall be paid at Closing in "Good Funds" as defined by law.

4. EARNEST MONEY: Earnest Money shall be held in trust for the mutual benefit of the Parties by [check one] Seller's Broker; Buyer's Broker; X As otherwise agreed by the Parties as "Escrowee". Initial Earnest Money of \$ 15,000.00 shall be tendered to Escrowee on or before 5 day(s) after Date of Acceptance. Additional Earnest Money of \$ _____ shall be tendered by _____, 20____.

5. DIRECTION TO ESCROWEE: In every instance where this Contract shall be deemed null and void or if this Contract may be terminated by either Party, the following shall be deemed incorporated: "and Earnest Money refunded upon the joint written direction by the Parties to Escrowee or upon an entry of an order by a court of competent jurisdiction."

In the event either Party has declared the Contract null and void or the transaction has failed to close as provided for in this Contract and if Escrowee has not received joint written direction by the Parties or such court order, the Escrowee may elect to proceed as follows:

- Escrowee shall give written Notice to the Parties as provided for in this Contract at least fourteen (14) days prior to the date of intended disbursement of Earnest Money indicating the manner in which Escrowee intends to disburse in the absence of any written objection. If no written objection is received by the date indicated in the Notice then Escrowee shall distribute the Earnest Money as indicated in the written Notice to the Parties. If Party objects in writing to the intended disbursement of Earnest Money then Earnest Money shall be held until receipt of joint written direction for all Parties or until receipt of an order of a court of competent jurisdiction.
- Escrowee may file Suit for Interpleader and deposit any funds held into the Court of distribution after resolution of dispute between Seller and Buyer by the Court. Escrowee may retain from the funds deposited with Court other amount necessary to reimburse Escrowee for court costs and reasonable attorney's fees incurred due to the filing of the Interpleader. If the amount held in escrow is inadequate to reimburse Escrowee for the costs and attorney's fees, Buyer and Seller shall jointly and severally indemnify Escrowee for additional costs and fees incurred in filing the Interpleader action.

6. CLOSING AND POSSESSION: Closing or escrow pay shall be on July 31, 20 24, or at such time as mutually agreed upon by the Parties in writing. Closing shall take place at the title company escrow office situated geographically nearest the Real Estate or as shall be agreed mutually by the Parties. Possession shall be granted to Buyer(s) at the completion of closing unless otherwise agreed in writing by the Parties.

7. MORTGAGE CONTINGENCY: IF THIS TRANSACTION IS NOT CONTINGENT ON FINANCING, OPTIONAL PARAGRAPH 34 [EITHER a) OR b)] MUST BE USED AND PROVISIONS OF THIS PARAGRAPH 7 ARE NOT APPLICABLE.

This Contract is contingent upon Buyer obtaining a [check one] fixed adjustable; [check one] conventional other _____ loan for _____ % of the Purchase Price, plus private mortgage insurance (PMI), if required, with an interest rate (initial rate if an adjustable rate mortgage used) not to exceed _____ % per annum, amortized over not less than _____ years. Buyer shall pay loan origination fee and/or discount points not to exceed _____ % of the loan amount. Buyer shall pay the cost of application, usual and customary processing fees and closing costs charged by lender. (Complete Paragraph 34 if closing cost credits apply). Buyer shall make written loan application within five (5) Business Days after the Date of Acceptance and shall cause an appraisal of Real Estate to be ordered by the lender no later than ten (10) Business Days after the Date of Acceptance; **failure to do either shall constitute an act of Default under this Contract.** If Buyer, having applied for the loan specified above [complete both a) and b)]:

Buyer Initial _____ Buyer Initial _____ Seller Initial _____ Seller Initial _____
Address 106 S RIVER, EAST DUNDEE, il 60118

Contract for the Sale of Vacant Land REALTOR® Association of the Fox Valley, Inc.

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a) is unable to provide written evidence that the loan application has been submitted for underwriting approval by Buyer's lender on or before _____, 20____, (if not date is inserted, the date shall be thirty (30) days after the Date of Acceptance) either Buyer or Seller shall have the option of declaring this Contract terminated by giving Notice to the other Party not later than two (2) Business Days after the date specified herein or any extension date agreed to by the Parties in writing.

b) is unable to obtain a written "Clear to Close" from Buyer's lender on or before _____, 20____, (if not date is inserted, the date shall be forty-five (45) days after the Date of Acceptance) either Buyer or Seller shall have the option of declaring this Contract terminated by giving Notice to the other Party not later than two (2) Business Days after the date specified herein or any extension date agreed to by the Parties in writing.

A Party causing delay in the loan approval process shall not have the right to terminate under either of the preceding paragraphs. In the event neither Party elects to declare this Contract null and void as of the latter of the dates specified above (as may be amended from time to time), then this Contract shall continue in full force and effect without any loan contingencies.

Unless otherwise provided in Paragraph 28, this Contract shall not be contingent upon the sale and/or closing of Buyer's existing real estate. Buyer shall be deemed to have satisfied the financing conditions of this paragraph if Buyer obtains a loan commitment in accordance with the terms of this paragraph even though the loan is conditioned on the sale and/or closing of Buyer's existing real estate.

8. **PRORATIONS:** Proratable items shall include, without limitation, rents and deposits (if any) from tenants, water and sewer. Seller agrees to pay prior to or at Closing any special assessments (governmental or association) confirmed prior to Date of Acceptance. The general Real Estate taxes shall be prorated as of the date of Closing based on 105.000 % of the most recent ascertainable full year tax bill. All prorations shall be final as of Closing.

9. **BUYER'S RIGHT TO DETERMINE:** Buyer shall have until _____, 20____ to determine the suitability of the Real Estate for Buyer's intended use as _____. Buyer shall have the right to inspect, examine, and/or test all aspects of the Real Estate, including by way of example and not limitation, such matters pertaining to the Real Estate as: (a) availability of utility services; (b) existing leases; if any (c) legal description; size and configuration; (d) access to public rights of way; (e) soil boring and percolation tests; (f) flood plain or wetlands; (g) hazardous substances or other contamination; (h) verification of, or the absence of, underground storage tanks; (i) zoning; (j) the availability of building permits; (k) whether Buyer will be required to make any public improvement or contributions of cash for schools, parks, or the like as a condition to the improvement of the Real Estate; (l) current plat of survey; (m) easements, restrictions, and covenants of record; (n) homeowners associations by-laws; and (o) other matters relating to the Real Estate is suitable for construction of Buyer's intended improvements and a septic system thereon in accordance with the applicable governmental ordinances. Seller shall allow Buyer and Buyer's agents reasonable access to the Real estate during normal business hours upon reasonable advance notice to Seller for the purpose of making or conducting such tests or other inspections of the Real Estate as the Buyer may deem appropriate and Buyer shall immediately restore the acts or negligence of Buyer or any person performing any inspection(s). **In the event Buyer determines the Real Estate is not suitable for Buyer's intended use and give written notice thereof to Seller within the time specified, this Contract shall be null and void and earnest money refunded to Buyer upon written direction of the Parties to Escrowee. If written Notice is not served within the time specified, Buyer shall be deemed to have waived this contingency, and this Contract shall remain in full force and effect. If the Buyer terminates this Contract pursuant to this provision Buyer shall provide Sellers with copies of all tests and inspections.**

10. **ATTORNEY REVIEW:** Within five (5) Business Days after Date of Acceptance, the attorneys for the respective Parties, by Notice, may:

- a) Approve this Contract; or
- b) Disapprove this Contract, which disapproval shall not be based solely upon the Purchase Price; or
- c) Propose modifications except for the Purchase Price. If within ten (10) Business Days after the date of Acceptance written agreement is not reached by the Parties with respect to resolution of the proposed modifications, then either Party may terminate this Contract by serving Notice, whereupon this Contract shall be null and void; or
- d) Propose suggested changes to this Contract. If such suggestions are not agreed upon, neither Party may declare this Contract null and void and this Contract shall remain in full force and effect.

Unless otherwise specified, all Notices shall be deemed made pursuant to Paragraph 10 c. If Notice is not served within the time specified herein, the provisions of this paragraph shall be deemed waived by the Parties and this Contract shall remain in full force and effect.

11 **PLAT OF SURVEY:** Not less than five (5) business days prior to the expiration of Buyer's Right to Determine, Seller shall at Seller's expense, furnish to Buyer or Buyer's attorney a Plat of Survey that conforms to the current Minimum Standard of Practice for boundary surveys, is dated not more than six (6) months prior to the date of Closing, and is prepared by a professional land surveyor licensed to practice land surveying under the laws of the State of Illinois. The Plat of Survey shall show visible evidence of improvements, right of way, easements, use and measurements of all parcel lines. The land surveyor shall set monuments or witness corners at all accessible corners of the land. All such corners shall also be visibly staked or flagged. The Plat of Survey shall include the following statement placed near the professional land surveyor's seal and signature: "This professional service conforms to the current Illinois Minimum Standards for boundary survey." A Mortgage Inspection, as defined, is not a boundary survey and is not acceptable.

Buyer Initial _____	Buyer Initial _____	Seller Initial _____	Seller Initial _____
Address 106 S RIVER, EAST DUNDEE, IL 60118			

Contract for the Sale of Vacant Land REALTOR® Association of the Fox Valley, Inc.

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- 127 12. **THE DEED:** Seller shall convey or cause to be conveyed to Buyer, or Buyer's designated grantee good and merchantable title
128 to the Real Estate by recordable general Warranty Deed, (or the appropriate deed if title is in trust or in an estate), and with
129 real estate transfer stamps to be paid by Sellers (unless otherwise designated by local ordinance). Title when conveyed will be
130 good and merchantable, subject only to: general real estate taxes not due and payable at the time of closing, covenants,
131 conditions, and restrictions of record, building lines and easements, if any, so long as they do not interfere with the current use,
132 the proposed use and enjoyment of the Real Estate.
133
- 134 13. **DAMAGE TO REAL ESTATE OR CONDEMNATION PRIOR TO CLOSING:** If prior to delivery of the deed the Real Estate shall
135 be destroyed or materially damaged by fire or other casualty, or the Real Estate is taken by condemnation, then Buyer shall
136 have the option of either terminating this Contract (and receiving a refund of earnest money) or accepting the Real Estate as
137 damaged or destroyed, together with the proceeds of the condemnation award or any insurance payable as a result of the
138 destruction or damage, which gross proceeds Seller agrees to assign to Buyer and deliver to Buyer at Closing. Seller shall not
139 be obligated to repair or replace damaged improvements. The provisions of Uniform Vendor and Purchaser Risk Act of the State
140 of Illinois shall be applicable to this Contract, except as modified by this paragraph.
141
- 142 14. **CONDITION OF REAL ESTATE AND INSPECTION:** All refuse and personal property that is not to be conveyed to Buyer shall
143 be removed from the Real Estate at Seller's expense prior to delivery of Possession. Buyer shall have the right to inspect the
144 Real Estate, prior to Possession to verify that the Real Estate is in substantially the same condition as of the Date of Acceptance,
145 normal wear and tear excepted.
146
- 147 15. **NOTICE:** Except as provided in Paragraph 28 c) 2) regarding the manner of service for "kick-out" Notices, all Notices shall be
148 in writing and shall be served by one Party or attorney to the other Party or attorney. Notice to any one of a multiple person Party
149 shall be sufficient notice to all. Notice shall be given in the following manner:
150 a) By personal delivery; or
151 b) By mailing to the addresses recited herein by regular mail and by certified mail, return receipt requested. Except
152 as otherwise provided herein, Notice served by certified mail, shall be effective on the date of mailing; or
153 c) By sending facsimile transmission. Notice shall be effective as of date and time of the transmission, provided
154 that the Notice transmitted shall be sent on Business Days during Business Hours. In the event the Notice is
155 transmitted during non-business hours, the effective date and time of Notice is the first hour of the first Business
156 Day after transmission; or
157 d) By e-mail transmission if e-mail has been furnished by the recipient Party or the recipient Party's attorney to
158 the sending Party or is shown in this Contract. Notice shall be effective as of date and time of e-mail transmission,
159 provided that, in the event e-mail Notice is transmitted during non-business ours, the effective date and time of
160 Notice is the first hour of the next Business Day after transmission. An attorney or Party may opt out of future
161 e-mail Notice by any form of Notice provided by this Contract; or
162 e) By commercial overnight delivery (e.g., FedEx). Such Notice shall be effective on the next Business Day following
163 deposit with the overnight delivery company.
164
- 165 16. **TITLE:** At Seller's expense, Seller will deliver or cause to be delivered to Buyer or Buyer's attorney within customary time
166 limitations and sufficiently in advance of Closing, as evidence of title in Seller or Grantor, a title commitment for an ATLA title
167 insurance policy in the amount of the Purchase Price with extended coverage by a title company licensed to operate in the State
168 of Illinois, issue on or subsequent to the Date of Acceptance, subject only to items listed in Paragraph 12. The requirement to
169 provide extended coverage shall not apply if the Real Estate is vacant land. The commitment for title insurance furnished by
170 Seller will be presumptive evidence of good and merchantable title as therein shown, subject only to the exceptions therein
171 stated. **If the title commitment discloses any unpermitted exceptions or if the Plat of Survey shows any**
172 **encroachments or other survey matters that are not acceptable to Buyer, then Seller shall have said exceptions,**
173 **survey matters or encroachments removed, or have the title insurer commit to either insure against loss or damage**
174 **that may result from such exceptions or survey matters or insure against any court-ordered removal of the**
175 **encroachments.** If Seller fails to have such exceptions waived or insured over prior to Closing, Buyer may elect to take title
176 as it then is with the right to deduct from the Purchase Price prior encumbrances of a definite or ascertainable amount. Seller
177 shall furnish Buyer at Closing an Affidavit of Title covering the date of Closing, and shall sign any other customary forms required
178 for issuance of an ALTA Insurance Policy.
179
- 180 17. **PERFORMANCE: Time is of the essence of this Contract.** In the event of default by Seller or Buyer, the Parties are free to
181 pursue any legal remedies at law or in equity. The prevailing Party in litigation shall be entitled to collect reasonable attorney
182 fees and costs from the losing Party as ordered by court of competent jurisdiction. There shall be no disbursement of earnest
183 money unless Escrowee has been provided written agreement from Seller and Buyer. Absent an agreement relative to the
184 disbursement of earnest money within a reasonable period of time, Escrowee may deposit funds with the Clerk of the Circuit
185 Court by the filing of an action in the nature of interpleader. Escrowee shall be reimbursed from the earnest money for all costs,
186 including reasonable attorney's fees, related to the filing of the interpleader action. Seller and Buyer shall indemnify and hold
187 Escrowee harmless from any and all conflicting claims and demands arising under this paragraph.
188
- 189 18. **SELLER'S REPRESENTATIONS:** Seller represents that to the best of Seller's knowledge, the Real Estate and its existing uses
190 comply with, and Seller is not now in violation of any of the following: the Resource Conservation and Recovery Act of 1976
191 ("RCRA"), the Comprehensive Environmental Response, Compensation and Liability Act of 1980 ("CERCLA"), the Toxic
192 Substances Control Act, the Illinois Environmental Protection Act and any of these statutes or any regulations promulgated

Buyer Initial _____	Buyer Initial _____	Seller Initial _____	Seller Initial _____
Address 106 S RIVER, EAST DUNDEE, IL 60118			

pursuant to the statutes. Seller represents that he has not received written notice from any Governmental body or Homeowner's Association of (a) zoning, building, fire or health code violations that have not been corrected; (b) any pending rezoning; or (c) a proposed or confirmed special assessments and/or special service area affecting the Real Estate. Seller further represents that Seller has no knowledge of boundary line disputes or easements or claims of easement not shown by the public record or of any hazardous waste on the Real Estate or any improvements for which the required permits were not obtained.

19. **CONDITION OF REAL ESTATE AND INSPECTION:** Seller agrees to leave the Real Estate in broom clean condition. All refuse and personal property that is not to be conveyed to the Buyer shall be removed from the Real Estate at the Seller's expense before possession. Buyer shall have the right to inspect the Real Estate prior to closing to verify that the Real Estate is in substantially the same condition as the Date of Acceptance of this Contract, normal wear and tear excepted.
20. **GOVERNMENTAL COMPLIANCE/1031 EXCHANGE:** Parties agree to comply with the reporting requirements of the applicable sections of the Internal Revenue Code, Illinois Income Tax Act and the Real Estate Settlement Procedures Act of 1974, as amended. If Buyer or Seller hereunder desires to exchange other property of the like kind and qualifying use within the meaning of Section 1031 of the Internal Revenue Code of 1986, as amended, and the regulations promulgated thereunder, the parties shall cooperate in effectuating such a transaction provided, however, that said transactions not subject the non-exchanging party to additional cost or legal liability and does not extend any time periods set forth herein.
21. **ESCROW CLOSING:** At the election of either Party, not less than five (5) business days prior to the closing, this sale shall be closed through an escrow with the lending institution or the title company in accordance with the provisions of the usual form of Deed and Money Escrow Agreement as agreed upon between the Parties, with provisions inserted in the Escrow Agreement as may be required to conform with this Contract. The cost of the escrow shall be paid by the Party requesting the escrow.
22. **FLOOD INSURANCE:** Buyer shall obtain flood insurance if required by Buyer's lender.
23. **FACSIMILE OR DIGITAL SIGNATURES:** Facsimile or digital signatures shall be sufficient for purposes of executing, negotiating, and finalizing this Contract, and delivery thereof by one of the following methods shall be deemed delivery of this Contract containing his or her original signature. An acceptable facsimile signature may be produced by scanning an original, hand-signed document and transmitting same by facsimile. An acceptable digital signature may be produced by use of a qualified, established electronic security procedure mutually agreed upon by the Parties. Transmissions of digitally signed copy hereof shall be by an established, mutually acceptable electronic method, such as creating a PDF ("Portable Document Format") document incorporating the digital signature and sending same by electronic mail.
24. **BUSINESS DAY/HOURS:** Business Day are defined as Monday through Friday, excluding Federal Holidays. Business Hours are defined as 8:00 A.M. to 6:00 P.M. Chicago Time.
25. **CHOICE OF LAW AND GOOD FAITH:** All terms and provisions of this Contract including but not limited to the Attorney Review and Professional Inspection paragraphs shall be governed by the laws of the State of Illinois and are subject to the covenant of good faith and fair dealing implied in all Illinois contracts.
26. **OTHER PROVISIONS:** This Contract is also subject those OPTIONAL PROVISIONS selected for use and initialed by the Parties which are contained on the succeeding page and the following attachments, if any: _____

OPTIONAL PROVISIONS (Applicable ONLY if initialed by all Parties)

[Initials] _____ 27. **CONFIRMATION OF DUAL AGENCY:** The Parties confirm that they have previously consented to Patrick West - Patrick West Team (Licensee) acting as a Dual Agent in providing brokerage services on their behalf and specifically consent to Licensee acting as a Dual Agent with regard to the transaction referred to in this Contract.

28. **SALE OF BUYER'S REAL ESTATE:**

a) **REPRESENTATIONS ABOUT BUYER'S REAL ESTATE:** Buyer represents to Seller as follows:

- 1) Buyer owns real estate (hereinafter referred to as "Buyer's real estate") with the address of:

Address	City	State	Zip
---------	------	-------	-----

- 2) Buyer [check one] ___ has ___ has not entered into a contract to sell Buyer's Real Estate.

If Buyer has entered into a contract to sell Buyer's real estate, that contract:

a) [check one] ___ is ___ is not subject to a mortgage contingency.

b) [check one] ___ is ___ is not subject to a real estate sale contingency.

c) [check one] ___ is ___ is not subject to a real estate closing contingency.

- 3) Buyer [check one] ___ has ___ has not listed Buyer's real estate for sale with a licensed real estate broker and in a local multiple listing service.

- 4) If Buyer's real estate is not listed for sale with a licensed real estate broker and in a local multiple listing service, Buyer [check one]:

Buyer Initial _____	Buyer Initial _____	Seller Initial _____	Seller Initial _____
Address 106 S RIVER, EAST DUNDEE, IL 60118			

- a) _____ Shall list real estate for sale with a licensed real estate broker who will place it in a local multiple listing service within five (5) Business Days after Date of Acceptance.
[For information only] Broker: _____
- b) _____ Does not intend to list said real estate for sale.
- b) **CONTINGENCIES BASED UPON SALE AND/OR CLOSING OF REAL ESTATE:**
- 1) This Contract is contingent upon Buyer having entered into a contract for the sale of Buyer's real estate that is in full force and effect as of _____, 20____. Such contract should provide for a closing date not later than the Closing Date set forth in this Contract. **If Notice is served on or before the date set forth in this subparagraph that Buyer has not procured a contract for the sale of Buyer's real estate, this Contract shall be null and void. If Notice that Buyer has not procured a contract for the sale of Buyer's real estate is not served on or before the close of business on the date set forth in this subparagraph, Buyer shall be deemed to have waived all contingencies contained in this Paragraph 28, and this Contract shall remain in full force and effect. (If this paragraph is used, then the following paragraph must be completed.)**
 - 2) In the event Buyer has entered into a contract for the sale of Buyer's real estate as set forth in Paragraph 28 b) 1) and that contract is in full force and effect, or has entered into a contract for the sale of Buyer's real estate prior to the execution of this Contract, this Contract is contingent upon Buyer closing the sale of Buyer's real estate on or before _____, 20____. **If Notice that Buyer has not closed the sale of Buyer's real estate is served before the close of business on the next Business Day after the date set forth in the preceding sentence, this Contract shall be null and void. If Notice is not served as described in the preceding sentence, Buyer shall have deemed to have waived all contingencies contained in this Paragraph 28, and this Contract shall remain in full force and effect.**
 - 3) If the contract for the sale of Buyer's real estate is terminated for any reason after the date set forth in Paragraph 28 b) 1) (or after the date of this Contract if no date is set forth in Paragraph 28 b) 1)), Buyer shall, within three (3) Business Days of such termination, notify Seller of said termination. **Unless Buyer, as part of said Notice, waives all contingencies in Paragraph 28 and complies with Paragraph 28 d), this Contract shall be null and void as of this date of Notice. If Notice as required by this subparagraph is not served within the time specified, Buyer shall be in default under the terms of this Contract.**
- c) **SELLER'S RIGHT TO CONTINUE TO OFFER REAL ESTATE FOR SALE:** During the time of this contingency, Seller has the right to continue to show the Real Estate and offer it for sale subject to the following:
- 1) If Seller accepts another bona fide offer to purchase the Real Estate while contingencies expressed in Paragraph 28 b) are in effect, Seller shall notify Buyer in writing of same. Buyer shall then have _____ hours after Seller gives such Notice to waive the contingencies set forth in Paragraph 28 b), subject to Paragraph 28 d).
 - 2) Seller's Notice to Buyer (commonly referred to as a 'kick-out' Notice) shall be in writing and shall be served on Buyer, not Buyer's attorney or Buyer's real estate agent. Courtesy copies of such 'kick-out' Notice should be sent to Buyer's attorney and Buyer's real estate agent, if known. Failure to provide such courtesy copies shall not render Notice invalid. Notice to any one of a multiple-person Buyer shall be sufficient Notice to all Buyers. Notice for the purpose of this subparagraph only shall be served upon Buyer in the following manner:
 - a) By personal delivery effective at the time and date of personal delivery; or
 - b) By mailing to the address recited herein for Buyer by regular mail and by certified mail. Notice shall be effective at 10:00 A.M. on the morning of the second day following deposit of Notice in the U.S. Mail; or
 - c) By commercial delivery overnight (e.g. FedEx). Notice shall be effective upon delivery or at 4:00 P.M. Chicago time on the next delivery day following deposit with the overnight delivery company, whichever first occurs.
 - 3) If Buyer complies with the provisions of Paragraph 28 d) then this Contract shall remain in full force and effect.
 - 4) If the contingencies set forth in Paragraph 28 d) are NOT waived in writing, within said time period by Buyer, this Contract shall be null and void.
 - 5) Except as provided in Paragraph 28 c) above, all Notices shall be made in the manner provided by Paragraph 15 of this Contract.
 - 6) Buyer waives any ethical objection to the delivery of Notice under this paragraph by Seller's attorney or representative.
- d) **WAIVER OF PARAGRAPH 28 CONTINGENCIES:** Buyer shall be deemed to have waived the contingencies in Paragraph 28 b) when Buyer has delivered written waiver and deposited with the Escrowee additional earnest money in the amount of \$ _____ in the form of cashier's or certified check within the time specified. **If Buyer fails to deposit the additional earnest money within the time specified, the waiver shall be deemed ineffective and this Contract shall be null and void.**
- e) **BUYER COOPERATION REQUIRED:** Buyer authorizes Seller or Seller's agent to verify representations contained in Paragraph 28 at any time, and Buyer agrees to cooperate in providing relevant information.

_____**29. CANCELLATION OF PRIOR REAL ESTATE CONTRACT:** In the event either Party has entered into a prior real estate contract, this Contract shall be subject to written cancellations of the prior contract on or before _____, 20____. **In the event the prior contract is not cancelled within the time specified, this Contract shall be null and void. Seller's notice to the purchaser under the prior contract should not be served until after Attorney Review and Professional Inspections provisions of this Contract have expired, been satisfied or waived.**

Buyer Initial _____	Buyer Initial _____	Seller Initial _____	Seller Initial _____
Address 106 S RIVER, EAST DUNDEE, IL 60118			

Contract for the Sale of Vacant Land REALTOR® Association of the Fox Valley, Inc.

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323 _____ **30. INTEREST BEARING ACCOUNT:** Earnest money (with a completed W-9 and other required forms),
324 shall be held in a federally insured interest bearing account at a financial institution designated by Escrowee. All interest earned
325 on the earnest money shall accrue to the benefit of and be aid to Buyer. **Buyer shall be responsible for any administrative**
326 **fee (not to exceed \$100) charged for setting up the account.** In anticipation of Closing, the Parties direct Escrowee to
327 close the account no sooner than ten (10) Business Days prior to the anticipated Closing date.
328

329 _____ **31. MISCELLANEOUS PROVISIONS:** Buyer's and Seller's obligations are contingent upon the Parties
330 entering into a separate written agreement consistent with the terms and conditions set forth herein, and with such additional
331 terms as either Party may deem necessary, providing for one or more of the following [check applicable boxes]
332

333 _____ Articles of Agreement for Deed _____ Assumption of Seller's Mortgage _____ Commercial/Investment
334 _____ Or Purchase Money Mortgage _____ Tax-Deferred Exchange _____ New Construction
335 _____ Short Sale
336

337 _____ **32. SPECIFIED PARTY APPROVAL:** This Contract is contingent upon the approval of the Real Estate
338 by _____ Buyer's Specified
339 Party, within five (5) Business Days after the Date of Acceptance. In the event Buyer's Specified Party does not approve of the
340 Real estate and notice is given within the time specified, this Contract shall be null and void. If Notice is not served within the
341 time specified, this provision shall be deemed waived by the Parties and this Contract shall remain in full force and effect.
342

343 _____ **33. CREDIT AT CLOSING:** Provided Buyer's lender permits such credit to show on the HUD-1 Settlement
344 Statement or Closing Disclosure, and if not, such lesser amount as the lender permits, Seller agrees to credit
345 \$ _____ to Buyer at Closing to be applied to prepaid expenses, closing costs or both.
346

347 _____ **34. TRANSACTIONS NOT CONTINGENT ON FINANCING: IF EITHER OF THE FOLLOWING**
348 **ALTERNATIVE OPTIONS IS SELECTED, THE PROVISIONS OF THE MORTGAGE CONTINGENCY PARAGRAPH HEREIN**
349 **SHALL NOT APPLY [CHOOSE ONLY ONE]:**

350 a) _____ **Transaction With No Mortgage (All Cash):** If this selection is made, Buyer will pay at closing, in
351 the form of "Good Funds" the difference (plus or minus prorations) between the Purchase Price and the amount of Earnest
352 Money deposited pursuant to Paragraph 4 above. Buyer represents to Seller, as of the Date of Offer, that Buyer has sufficient
353 funds available to satisfy the provisions of this paragraph. Buyer agrees to verify the above representation upon the
354 reasonable request of the Seller and to authorize the disclosure of such financial information to Seller, Seller's attorney or
355 Seller's broker that may be reasonably necessary to provide the availability of sufficient finds to close. Buyer understand
356 and agrees that, so long as Seller has fully complied with Seller's obligations under this Contract, any act or omission
357 outside of the control of Seller, whether intentional or not, that prevents Buyer from satisfying the balance due from Buyer
358 at closing, shall constitute a material breach of this Contract by Buyer. The Parties shall share the title company escrow
359 closing fee equally. **Unless otherwise provided in Paragraph 28, this Contract shall not be contingent upon the**
360 **sale and/or closing of Buyer's existing real estate.**

361 b) _____ **Transaction, Mortgage Allowed:** If this selection is made, Buyer will pay at closing, in the form
362 of "Good Funds" the difference (plus or minus prorations) between the Purchase Price and the amount of Earnest Money
363 deposited pursuant to Paragraph 4 above. Buyer represents to Seller, as of the Date of Offer, that Buyer has sufficient
364 funds available to satisfy the provisions of this paragraph. Buyer agrees to verify the above representation upon the
365 reasonable request of Seller and to authorize the disclosure of such financial information to Seller, Seller's attorney or
366 Seller's broker that may be reasonably necessary to prove the availability of sufficient funds to close. Notwithstanding such
367 representation, Seller agrees to reasonably and promptly cooperate with Buyer so that Buyer may apply for and obtain a
368 mortgage loan or loans including but not limited to providing access to the Real Estate to satisfy Buyer's obligations to pay
369 the balance due (plus or minus prorations) to close this transaction. Such cooperation shall include the performance in
370 timely manner of all Seller's pre-closing obligations under this Contract. **This Contract shall NOT be contingent upon**
371 **Buyer obtaining a commitment for financing.** Buyer understands and agrees that, so long as Seller has fully complied
372 with Seller's obligations under this Contract, any act or omission outside of the control of Seller, whether intentional or not,
373 that prevents Buyer from satisfying the balance due from Buyer at Closing shall constitute a material breach of this Contract
374 by Buyer. Buyer shall pay the title company escrow closing fee. **Unless otherwise provided in Paragraph 28, this**
375 **Contract shall not be contingent upon the sale and/or closing of Buyer's existing real estate.**
376

377 [LINES 377-388 LEFT INTENTIONALLY BLANK]
378
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388

THIS DOCUMENT WILL BECOME A LEGALLY BINDING CONTRACT WHEN SIGNED BY ALL PARTIES AND DELIVERED TO THE PARTIES OR THEIR AGENTS.

THE PARTIES REPRESENT THAT THE TEXT OF THIS FORM HAS NOT BEEN ALTERED AND IS IDENTICAL TO THE OFFICIAL REALTOR® ASSOCIATION OF THE FOX VALLEY, INC. CONTRACT FOR THE SALE OF VACANT LAND.

_____, 20____ Date of Offer _____ Date of Acceptance _____

Buyer Signature _____ Seller Signature _____

Buyer Signature _____ Seller Signature _____

VILLAGE OF EAST DUNDEE **LUZ MERY CARDENAS IN LIVING**
Print Buyer(s) Name(s) _____ Print Seller(s) Name(s) _____

Address _____ Address _____

City _____ State _____ Zip _____ City _____ State _____ Zip _____

Phone Number(s) _____ Fax _____ Email _____ Phone Number(s) _____ Fax _____ Email _____

FOR INFORMATION ONLY

Century 21 New Heritage-West **Century 21 New Heritage-West**
Selling Office _____ MLS# _____ Listing Office _____ MLS# _____

Patrick West **patrickwestc21@g**
Selling Agent _____ MLS# _____ Email _____ **HEIDI EVINGER** **heidievinger@gmi**
Listing Agent _____ MLS# _____ Email _____

322 N River St, East Dundee, IL 60118 **322 N RIVER ST, East Dundee, il 60118**
Address, City, State, Zip _____ Address, City, State, Zip _____

(847) 809-8734 **(874)354-0704**
Phone _____ Fax _____ Phone _____ Fax _____

KELLEY GANDURSKI _____
Buyer's Attorney _____ Email _____ Seller's Attorney _____ Email _____

325 N LASALLE CHICAGO 60654 _____
Address, City, State, Zip _____ Address, City, State, Zip _____

(312)528-5199 _____
Phone _____ Fax _____ Phone _____ Fax _____

Mortgage Company _____ Phone _____ Homeowner's/Condo Assoc. (if any) _____ Phone _____

Loan Officer _____ Phone/Fax _____ Management Co./Other Contact _____ Phone _____

Loan Officer E-mail _____ Management Co./Other Contact Email _____

This offer was presented to Seller by _____ **on** _____ **at** _____ ☐ am/ ☐ pm
Agent _____

THIS OFFER IS REJECTED _____ **on** _____ **at** _____ ☐ am/ ☐ pm
Seller Initials _____

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Buyer Initial _____	Buyer Initial _____	Seller Initial _____	Seller Initial _____
Address 106 S RIVER, EAST DUNDEE, il 60118			
Contract for the Sale of Vacant Land REALTOR® Association of the Fox Valley, Inc.			

RIDER #1

TO CONTRACT FOR THE SALE OF VACANT LAND

1. The following replaces Section 4 of the Contract:

Within 5 days after the end of the Attorney Review (as hereinafter defined), Buyer will deposit \$15,000.00 ("**Earnest Money**") with the Chicago Title Insurance Company (the "**Title Company**"), pursuant to mutually acceptable strict joint order escrow instructions. The Earnest Money will be applied to the Purchase Price on the Closing Date, if the Closing occurs. The Earnest Money will be returned to Buyer if the Closing does not occur.

2. The following replaces the first sentence of Section 9 of the Contract:

Buyer shall have until the date which is 10 days after Buyer receives the Plat of Survey, title commitment, and copies of all underlying title documents to determine the suitability of the Real Estate for Buyer's intended use.

3. The following replaces the first sentence of Section 11 of the Contract:

This Contract will become effective on the date it is fully executed ("**Effective Date**"). Within 10 days of the Effective Date, Seller shall at Seller's expense, furnish to Buyer or Buyer's attorney a Plat of Survey of the Real Estate that confirms to the current Minimum Standard of Practice for boundary surveys, is dated not more than 6 months prior the date of Closing, and is prepared by a professional land surveyor licensed to practice land surveying under the laws of the State of Illinois.

4. The following replaces Section 16 of the Contract:

Within 10 days of the Effective Date, Seller, at Seller's expense, will obtain and deliver to Buyer a title commitment issued by the Title Company, in the amount of the Purchase Price ("**Title Commitment**"), together with copies of all underlying title documents listed in the Title Commitment, subject only to those matters described in Section 12. If the Title Commitment or the Plat of Survey disclose exceptions to title, which are not acceptable to Buyer ("**Unpermitted Exceptions**"), Buyer will have 10 days from the later of the delivery of the Title Commitment and the Plat of Survey to object to the Unpermitted Exceptions. Buyer will provide Seller with an objection letter ("**Buyer's Objection Letter**") listing the Unpermitted Exceptions, which are not acceptable to Buyer. Seller will have until the Closing ("**Seller's Cure Period**") to have the Unpermitted Exceptions removed from the Title Commitment or to cure such Unpermitted Exceptions or to have the Title Company commit to insure against loss or damage that may be occasioned by such Unpermitted Exceptions. If Seller fails to have the Unpermitted Exceptions removed or, in the alternative, to obtain a Title Commitment insuring the Unpermitted Exceptions within the specified time, Buyer may elect to either (i) terminate this Contract and this Contract will become null and void without further action of the parties, or (ii) upon notice to Seller before the Closing, take title as it then is with the right to deduct from the Purchase Price any liens or encumbrances of a definite or ascertainable amount which are listed in the Title Commitment. Seller shall furnish Buyer at Closing an Affidavit of Title covering the date of Closing, and sign any other customary forms required by Title Company for issuance of an owner's title insurance policy.

- In the event of a default by Seller, Buyer may, at its option: (i) elect to enforce the terms hereof by action for specific performance, (ii) terminate this Contract and receive a refund of the Earnest Money, or (iii) proceed to Closing notwithstanding such breach or nonperformance. In all events, Buyer's rights and remedies under this Contract will always be non-exclusive and cumulative and the exercise of one remedy will not be exclusive of or constitute the waiver of any other, including all rights and remedies available to it at law or in equity. In the event of a default by Buyer, Seller's sole and exclusive right and remedy will be to terminate this Contract. Notwithstanding the foregoing, the parties agree that no default of or by either party will be deemed to have occurred unless and until notice of any failure by the non-defaulting party has been sent to the defaulting party and the defaulting party has been given a period of five business days from receipt of the notice to cure the default.

- The sale shall be closed through an escrow with the Title Company in accordance with the provision of the usual form of Deed and Money Escrow Agreement as agreed upon by the Parties, with provisions inserted in the Escrow Agreement as may be required to conform with this Contract. The parties need not physically attend the Closing. Seller will pay the costs charged by the Title Company for the title policy, the cost of the Plat of Survey, and half of the escrow costs. Buyer will pay the costs charged by the Title Company for any title endorsements requested by Buyer, costs of recording the Deed, half of the escrow costs. Buyer and Seller will each pay their respective attorney's fees.

- Notwithstanding anything in the Contract to the contrary, Buyer and Seller acknowledge and agree that Buyer is a municipal entity and this Contract is subject to the approval of, and is not enforceable unless approved at an open meeting by, the President and Board of Trustees of Buyer. Said approval and closing to take place on or before August 30, 2024. The Parties shall mutually agree on the date and time of closing.

Buyer:
Village of East Dundee

Seller:
Luz Mery Cardenas Living Trust
dated May 10, 2007

By: Luz Mery Cardenas, Trustee

Memorandum



To: Village President and Board of Trustees

From: Franco Bottalico, Assistant to the Village Administrator

Subject: 107 Water St. – Warner and Troost Monument Company Sign Variance

Date: July 15, 2024

Action Requested

Staff recommends a motion for approval of the Findings of Fact regarding a variation from Section 156.04(C)(1)(a) regarding the maximum number of wall signs for each business, and a request for a variance from Section 156.04(C)(1)(b) regarding the maximum square feet allowed for a business establishment identification wall sign, for the property located at 107 Water St., East Dundee, IL, 60118 PIN 03-23-318-007, located in the B-1 Downtown Business District.

Attachments

Findings of Fact



Village Board of Trustees Meeting

Findings of Fact – Variance

Property Location: 107 Water St. – Warner and Troost Monument Company Sign Variance
Pin: 03-23-318-007

Hearing Date: July 15, 2024

Variance

Requested: A variation from Section 156.04(C)(1)(a) regarding the maximum number of wall signs for each business, and a request for a variance from Section 156.04(C)(1)(b) regarding the maximum square feet allowed for a business establishment identification wall sign.

Staff has determined the below findings of fact for the Village Board’s consideration and review:

1. **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zoning district; Yes/No/Not Applicable (N.A.):**
No
2. **The plight of the owner is due to unique circumstances; Yes/No/N.A.**
No
3. **The variation, if granted, will not alter the essential character of the locality; Yes/No/N.A.**
Yes
4. **The particular physical surroundings, shape or topographical conditions of the specific property involved would bring a particular hardship upon the owner as distinguished from a mere inconvenience if the regulations were strictly enforced; Yes/No/N.A.**
No
5. **The conditions upon which the petition for variation is based would not be applicable generally to other property within the same zoning classification; Yes/No/N.A.**
No
6. **The purpose of the variation is not based exclusively upon a desire to make more money out of the property; Yes/No/N.A.**
No
7. **The alleged difficulty or hardship has not been created by any person presently having an interest in the property; Yes/No/N.A.**
No

8. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; Yes/No/N.A.

Yes

9. The proposed variation will not impair an adequate supply of light and air to adjacent property or substantially increase the danger of fire or otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood; Yes/No/N.A.

Yes

Due to the usual nature of the operation of special uses that may give rise to unique problems with respect to their impact upon neighboring property or public facilities, the Village may stipulate conditions and restrictions upon the establishment, location, construction, maintenance, and operation of the use as deemed necessary for the protection of the public interest. In addition, the Board may require such conditions and restrictions by a variation(s) as may be necessary to comply with the standards set forth in the Village Code or reduce or minimize the injurious effect of the variation(s) upon the other property in the neighborhood.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the Village Board of Trustees voted on these findings of fact and the requested variance resulting in the following vote:

____ ayes ____ nays ____ absent ____ abstain

Date: _____

Signature: _____
Village President

Memorandum



To: Village President and Board of Trustees

From: Franco Bottalico, Assistant to the Village Administrator

Subject: 107 Water St. – Warner and Troost Monument Company Sign Variance Request

Date: July 15, 2024

Action Requested

A motion for approval or denial of an ordinance granting variations from Section 156.04(C)(1) regarding the number of wall signs allowed for each business and the maximum square feet allowed for a business establishment identification wall sign located at 107 Water St., East Dundee, IL, 60118 (PIN 03-23-318-007) located in the B-1 Downtown Business District.

Summary

Staff received an application from Lisa Troost Sottrel and Jason Solarz of Warner and Troost Monument Company (“Applicant”) who desire to repair an existing sign on the west side of their building located at 107 Water St. (“Property”) in the Historic District. However, this property is unique as it is a legal non-conforming use, as monuments are not permitted in the B-1 Downtown Business District.

Because the Property already has three existing signs, and needs to replace one of them, a sign variance would be requested in order to modify the sign located on the Property’s west-facing wall. Section 156.04(C)(1)(a) states the following:

There shall be a maximum of one such wall sign for each business establishment; provided, however, that a maximum of two signs shall be permitted when the business establishment to which the sign refers is located on a corner lot.

Additionally, if approved, their proposed sign is larger than what is permitted, coming in at approximately 17% sq. ft., which requires a variance. Building Official, Chris Ranieri, states the wall area is 450 sq. ft. and the new proposed sign will be 79 sq. ft., which exceeds the 10% sq. ft. area. Section 156.04(C)(1)(b), which states the following:

The maximum size of any business identification wall sign shall not exceed 10% of the front building facade area to a maximum of 100 square feet.

Lastly, a Certificate of Appropriateness was not heard by the PZHC because the Property is within the Historic District, and Section 153.17(E) states the following:

The Village President, Village Administrator and the Building Inspector shall evaluate the effects of any applications for a sign permit within the District, pursuant to appropriate provisions of [Chapter 156](#) of this code of ordinances, considering the purposes of this chapter. A copy of every application submitted to the Building Inspector shall be immediately forwarded by the Building Inspector to the Village President and Village Administrator, which in their discretion, may recommend changes in the design, size or other features of the sign to assure its compatibility with the visual integrity and historic or architectural character of the District. The recommendations shall be considered by the Building Inspector in the normal process of issuing a sign permit.

Attached to this memo is a copy of the application with illustrations for review.

Staff recommends a neutral position on these variance requests.

Attachments

Ordinance with Findings of Fact Exhibit

Daily Herald Certificate of Publication

Redacted Application

Existing sign photos

Design renderings

ORDINANCE NUMBER 24 - __

AN ORDINANCE OF THE VILLAGE OF EAST DUNDEE, COOK AND KANE COUNTIES, ILLINOIS GRANTING VARIATIONS FROM SECTION 156.04(C)(1) REGARDING THE NUMBER OF WALL SIGNS ALLOWED FOR EACH BUSINESS AND THE MAXIMUM SQUARE FEET ALLOWED FOR A BUSINESS ESTABLISHMENT IDENTIFICATION WALL SIGN LOCATED AT 107 WATER STREET, EAST DUNDEE, IL 60118 (PIN 03-23-318-007-0000) LOCATED IN THE B-1 BUSINESS DISTRICT

WHEREAS, the Village of East Dundee ("**Village**") is a home rule unit of local government pursuant to Section 6 of Article VII of the Constitution of the State of Illinois, and has the authority to exercise any power and perform any function pertaining to its government and affairs; and

WHEREAS, Peter Troost Monument Company ("**Owner**") is the owner of the property located at 107 Water Street, East Dundee, Illinois 60118, legally described in Section 2 below ("**Subject Property**"); and

WHEREAS, Owner filed an application ("**Application**") with the Village seeking: (1) a variation from Section 156.04(C)(1)(a) of the Zoning Chapter of the East Dundee Village Code ("**Zoning Ordinance**") limiting the number of wall signs permitted to one sign for each business; and (2) a variation from Section 156.04(C)(1)(b) of the Zoning Ordinance which limits the maximum size of any business identification wall sign to 10 percent of the front building façade area up to a maximum of 100 square feet; and

WHEREAS, pursuant to Section 157.207 of the Zoning Ordinance, and the Village's home rule authority, the President and Board of Trustees of the Village may provide for and allow variances to the requirements of the Zoning Ordinance when there are practical difficulties or a particular hardship with the strict compliance with the Zoning Ordinance; and

WHEREAS, pursuant to Section 156.05 of the Village Code, the Village Board may hear requests for variations from the terms of the Village's Sign Code pursuant to the procedure described in Chapter 157 of the Zoning Ordinance; and

WHEREAS, the Village Board of Trustees convened and held a public hearing on July 15, 2024 to consider the Application for the requested variances; and

WHEREAS, the Village President and Board of Trustees reviewed the standards set forth in Section 157.207 of the Zoning Ordinance for variations and recommended approval of the Application, and related findings of fact; and

WHEREAS, the Village President and Board of Trustees find it to be in the best interests of the health, safety, and welfare of its residents to approve the requested variations subject to the conditions contained within Section 3 of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED by the Village President and Board of Trustees of the Village of East Dundee, Cook and Kane Counties, Illinois, as follows:

SECTION 1: Incorporation. That each Whereas paragraph above is incorporated by reference into this Section 1 and made a part hereof as material and operative provisions of this Ordinance.

SECTION 2: Variation. That the Corporate Authorities hereby grant the variations as described below requested in the Application for the Subject Property, legally described as:

PIN 03-23-318-007-0000

LOT 2 (EXCEPT THE SOUTHERLY 66.67 FEET THEREOF), THE SOUTHERLY 63 FEET OF LOT 3, AS MEASURED ALONG WEST LINE OF WATER STREET, OF HAERTEL'S SUBDIVISION, IN THE VILLAGE OF EAST DUNDEE, KANE COUNTY, ILLINOIS.

Variation

A variation from 156.04(C)(1)(a) of the Zoning Chapter of the East Dundee Village Code regarding the maximum number of wall signs for each business, and a variation from Section 156.04(C)(1)(b) limiting the maximum size of any business identification wall sign to 10 percent of the front building façade area up to a maximum of 100 square feet, as described in the Application. The variation granted in this Ordinance is specific to the project as proposed in the Application and shall not apply to any other development of the Subject Property.

SECTION 3: Conditions of Approval. That the variances granted herein shall be constructed, operated and maintained in accordance with any plans and diagrams submitted as part of the Application, and shall be subject to the following terms and conditions:

1. The variances granted by this Ordinance cannot be transferred and shall expire at such time Applicant ceases operations at PIN 03-263-318-007-0000.

SECTION 4: Severability. That if any Section, paragraph or provision of this Ordinance shall be held to be invalid or unenforceable for any reason, the invalidity or unenforceability of such Section, paragraph or provision shall not affect any of the remaining provisions of this Ordinance.

SECTION 5: Repeal. That all ordinances, resolutions, motions or parts thereof in conflict herewith shall be and the same are hereby repealed.

SECTION 6: Effect. That this Ordinance shall be in full force and effect forthwith upon its adoption, approval and publication in pamphlet form as provided by law.

[SIGNATURE PAGE FOLLOWS]

PASSED this 15th day of July 2024 pursuant to a roll call vote as follows:

AYES: _____

NAYES: _____

ABSENT: _____

APPROVED by me this 15th day of July 2024.

Jeffrey Lynam, Village President

ATTEST:

Katherine Diehl, Village Clerk

Published in pamphlet form this 15th day of July 2024, under the authority of the Village President and Board of Trustees.

Recorded in the Village records on July ____, 2024.

Date: July __, 2024



Village Board of Trustees Meeting

Findings of Fact – Variance

Property Location: 107 Water St. – Warner and Troost Monument Company Sign Variance
Pin: 03-23-318-007

Hearing Date: July 15, 2024

Variance

Requested: A variation from Section 156.04(C)(1)(a) regarding the maximum number of wall signs for each business, and a request for a variance from Section 156.04(C)(1)(b) regarding the maximum square feet allowed for a business establishment identification wall sign.

Staff has determined the below findings of fact for the Village Board’s consideration and review:

1. **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zoning district; Yes/No/Not Applicable (N.A.):**
No
2. **The plight of the owner is due to unique circumstances; Yes/No/N.A.**
No
3. **The variation, if granted, will not alter the essential character of the locality; Yes/No/N.A.**
Yes
4. **The particular physical surroundings, shape or topographical conditions of the specific property involved would bring a particular hardship upon the owner as distinguished from a mere inconvenience if the regulations were strictly enforced; Yes/No/N.A.**
No
5. **The conditions upon which the petition for variation is based would not be applicable generally to other property within the same zoning classification; Yes/No/N.A.**
No
6. **The purpose of the variation is not based exclusively upon a desire to make more money out of the property; Yes/No/N.A.**
No
7. **The alleged difficulty or hardship has not been created by any person presently having an interest in the property; Yes/No/N.A.**
No

8. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; Yes/No/N.A.

Yes

9. The proposed variation will not impair an adequate supply of light and air to adjacent property or substantially increase the danger of fire or otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood; Yes/No/N.A.

Yes

Due to the usual nature of the operation of special uses that may give rise to unique problems with respect to their impact upon neighboring property or public facilities, the Village may stipulate conditions and restrictions upon the establishment, location, construction, maintenance, and operation of the use as deemed necessary for the protection of the public interest. In addition, the Board may require such conditions and restrictions by a variation(s) as may be necessary to comply with the standards set forth in the Village Code or reduce or minimize the injurious effect of the variation(s) upon the other property in the neighborhood.

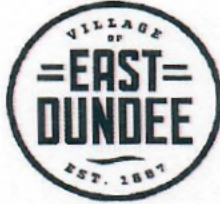
Based on the information contained in the application and the testimony and evidence presented at the public hearing, the Village Board of Trustees voted on these findings of fact and the requested variance resulting in the following vote:

____ ayes ____ nays ____ absent ____ abstain

Date:

Signature:

Village President



APPLICATION FOR SIGN VARIANCE

This form is to be used for all SIGN VARIANCE applications (except Planned Developments) to be heard by the Village of East Dundee Village Board at a Public Hearing.

Failure to complete this form properly will delay its consideration.

PART I. GENERAL INFORMATION

A. Project Information

1. Project/Owner Name: Warner and Troost Monument Company Sign Replacement
2. Project Location: 107 Water St East Dundee, IL 60118
3. Brief Project Description:
Replacing lettering on back (west side) of building. Old letters spelled MONUMENT were damaged during painting. Replacing with WARNER AND TROOST MONUMENT COMPANY
4. Project Property Legal Description: provide the legal description in a word document.
Lot 2 (except the southerly 66.67 feet thereof) the southerly 63 feet of lot 3, as measured along west line of Water Street, of Haertel's subdivision, in the Village of East Dundee, Kane County, Illinois
5. Project Property Size in Acres and Square Feet: see attached
6. Current Zoning Status: 0060-Commercial
7. Current Use Status: Retail office space
8. Surrounding Land Use Zoning: _____
9. Zoning District Being Requested (if applicable): _____
10. Parcel Index Numbers of Property: 03-23-318-007

B. Owner Information

1. Signature: *Peter Troost*
2. Name: Peter Troost Monument Company
3. Address: [REDACTED]
4. Phone Number: [REDACTED]

C. Billing Information (Name and address all bills should be sent to)

1. Name/Company: Warner and Troost Monument Company
2. Address: 107 Water St. East Dundee, IL 60118
3. Phone Number: [REDACTED]

FOR A SIGN VARIANCE COMPLETE THE FOLLOWING:

1. From which specific standard of the Village Code is a Variance requested (include Code section number)?

Code (C) Business Districts (B-1, B-2, B-3, B-4)

2. For this site, what does the Code require?

1 Sign per property

3. What is proposed?

Repairing existing sign on west side of building

4. What unique circumstances have caused the need for a variance?

Repaint West Side Wall

Trees removed exposing west side wall. Repainted & re Branded signage from Monument to Warner & Troost Monument Company

5. What specific mitigation measures will be used to ensure that the essential character of the area will not be altered? (Suitability of Present Area)

We are not adding additional signage, only repairing and re branding to look better on west side.

6. Specifically, how do the particular physical surroundings, shape, or topographical condition of the property result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations are carried out?

The building is visible to the public on 3 sides. We are not looking to add additional
signage where there already is some. We want to replace what had been there
so the public is not looking at an unmarked building from across the river.

7. Specifically, what conditions are present on the property that would not be applicable generally to other property within the same zoning classification? (Suitability of Zoning)

We are not looking to oversaturate the front of the building with signage. We want
to tastefully enhance the view on all sides so when viewed from across the river
it is not just of the back of a building.

8. Other than financial return, what other purposes is the variance request based on?

To replace signage that was damaged while upkeeping property.

9. Has the alleged difficulty been created by any person presently having an interest in the property?

No

10. Please give an explanation for any questions answered YES.

- a. Will the granting of the variation be detrimental to the public welfare? (Circle)
- b. Injurious to surround properties? (Circle)
- c. Impair an adequate supply of light and air to adjacent property? (Circle)
- d. Endanger public health and safety? (Circle)
- e. Substantially diminish property values within the neighborhood? (Circle)
- f. Conformance to the Land Use Plan? (Circle)

YES	<u>NO</u>
YES	<u>NO</u>
YES	<u>NO</u>
YES	<u>NO</u>
YES	<u>NO</u>
YES	<u>NO</u>

THE APPLICANT MUST PROVIDE A MAILING LIST AND ADDRESSED; POSTAGE PAID ENVELOPS FOR ALL PROPERTY OWNERS WITHIN 250 FEET OF THE SUBJECT PROPERTY.

The Dundee Township can provide the list of properties. at info@dundeetownship.org

Application fee.

For business districts (B-1, B-2, B-3, B-4) is \$150.00 plus a \$250.00 deposit to pay for village cost.

For other districts (AG-1, OD, M-1, M-2) is \$200.00 plus a \$1,000.00 deposit to pay for village cost.

**APPLICATION AGREEMENT
TO PAY COSTS INCURRED AND HOLD THE VILLAGE HARMLESS**

The Undersigned applicant acknowledges that the Village of East Dundee may seek advice and counsel from professional sources outside the employee staff of the Village of East Dundee in consideration of the application submitted to the Village of East Dundee by the applicant, including the services as those provided by the Village Staff, Village Attorney, Village Engineer, Planner and Fire Protection District.

The applicant further acknowledges that testimony of all witness at Public Hearings may be recorded before a court reporter and that full transcripts of the proceedings may be prepared and retained by the Village of East Dundee as part of the official record concerning the said applicant and the applicant's costs.

As an express condition in making the said application and the consideration thereof by the Village of East Dundee, the undersigned, both personally and on behalf of the applicant, agrees to hold the Village harmless and agrees to pay forthwith the costs and expenses that may be incurred by the Village of East Dundee for such professional services, including the costs and expenses of recording and transcribing any testimony at Public Hearings in connection with the said application.

The owner hereby authorizes, support and consents to this request for variation, and further authorizes, agrees and consents to allow the temporary installation and display by the Village of East Dundee of Public Notice (signage) upon the subject property.

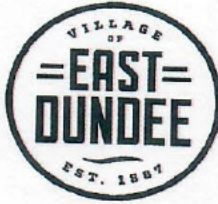
The applicant, having read this application and fully understanding the purpose thereof, declares that the proceeding statement made are true and that the information provided herein is complete to the best of the applicant's knowledge and belief.



Individually and for the Applicant

5/8/24

Date



Affidavit of Ownership & Control

I (We), Lisa Troost Sotthel do hereby certify or affirm that I am the owner(s), contract purchasers, or beneficiary(s) of the title holding trust for the aforesaid described property and hereby make application of such.

Signature: Lisa Troost Sotthel

Owner: Lisa Troost Sotthel

Address:

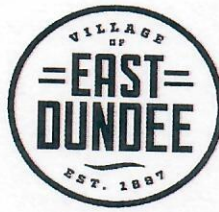
Phone:

SUBSCRIBED AND SWORN TO before me this

8th day of May, 2024.

Marybeth Revoir
(NOTARY SIGNATURE)





Affidavit & Disclosure Agreement

To cover the Village expenses relating to applications for Variations:

Applications shall deposit the sum required based on the type and extent of the applicant's project. Any bills received by the village and any costs incurred by the Village related to the project will be billed to the applicant. Upon payment of all bills to the Village the applicant will receive their deposit back.

Signature: Lisa Trost Sothel

Print Name: Lisa Trost Sothel

Project Address: 107 E. Water St.

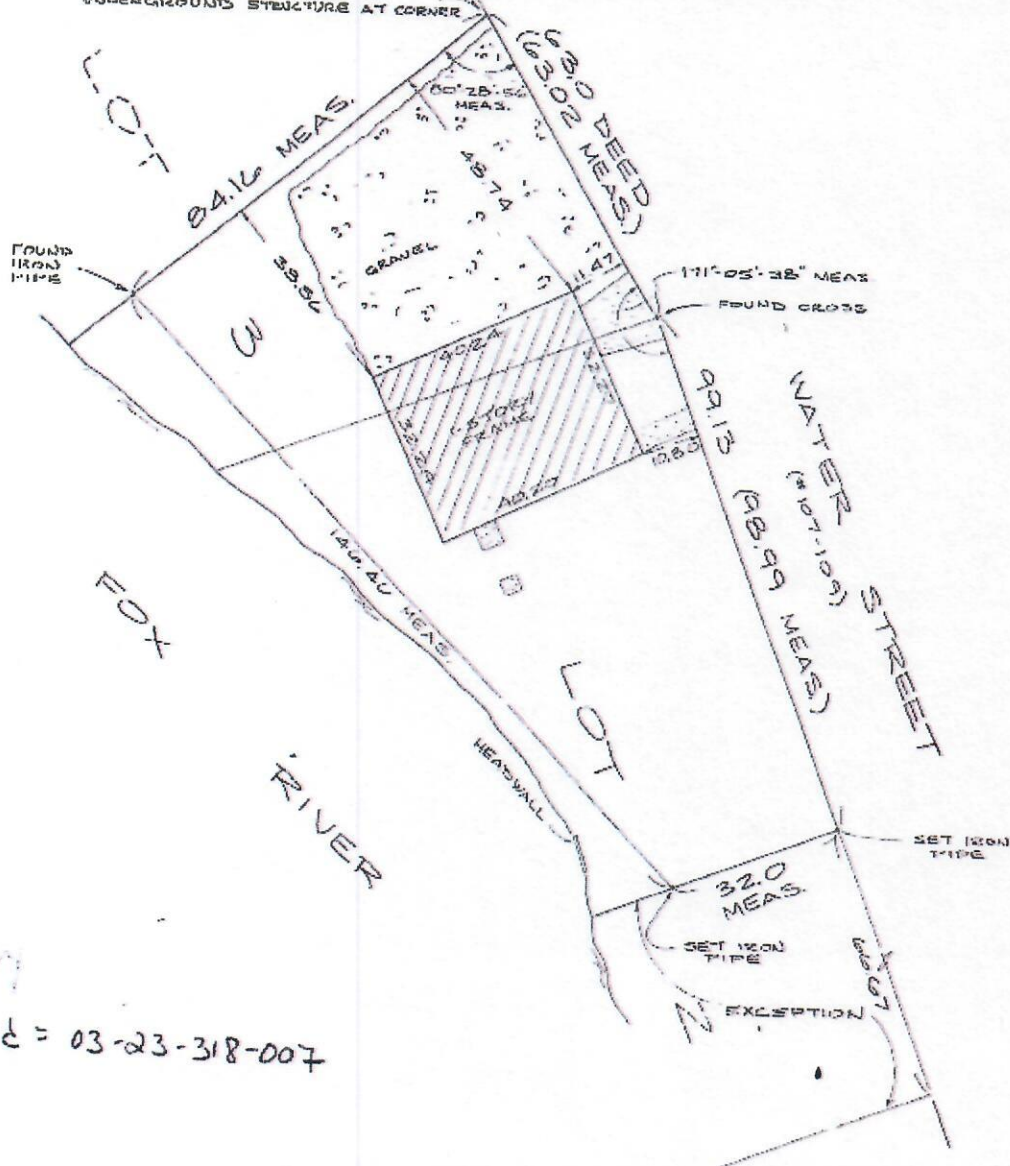
ALAN J. COULSON, P.C.
PROFESSIONAL LAND SURVEYORS

Plat of Survey

OF PROPERTY DESCRIBED AS:

Lot 2 (except the Southerly 66.67 feet thereof), the Southerly 63 feet of Lot 3, as measured along West line of Water Street, of Haertels Subdivision, in the Village of East Dundee, Kane County, Illinois.

IRON PIPE NOT SET DUE TO UNDERGROUND STRUCTURE AT CORNER



tax id = 03-23-318-007

Scale: 1"=20'
Ordered: J. Bolz
Owner: Troost
Page: 3-23E
Drawn: [Signature]
Job: A4B, 293SL
City: East Dundee

STATE OF ILLINOIS
COUNTY OF KANE SEPT. 26, 1995

I hereby certify that the buildings on lot shown are within property lines and that the adjoining improvements do not encroach on said premises.

Alan J. Coulson

Any discrepancy in measurements should be promptly reported to surveyor for explanation or correction.

WE DO NOT CERTIFY AS TO LOCATION OF UNDERGROUND IMPROVEMENTS.

THIS SURVEY IS VALID ONLY WITH EMBOSSED SEAL.

I hereby certify that I have surveyed the above described premises according to the official record, and that the above plat correctly represents said survey.

Alan J. Coulson

ALAN J. COULSON, P.C.
PROFESSIONAL LAND SURVEYORS
ILLINOIS - WISCONSIN

205 W MAIN ST.
W. OLNDGE, IL 60110 PHONE 708 - 428-2011

Compare the description on this plat with deed. Refer to deed for easements and building lines.



Village of East Dundee

120 Barrington Ave. East Dundee, IL
60118 Phone: 847-426-2822 x2
Email: ghesse@eastdundee.net

Sign Application

Date: 4/02/2024

Permit No: _____

Address of Proposed Sign: 107 Water St., East Dundee, IL 60118

Business Name: Warner & Troost Monument Company

Owner Phone: _____

Owner/Manager Name & Address: Jason Solarz, 107 Water St

City: East Dundee

State: IL Zip Code: 60118

Parcel No: _____

Contractors Name: Signarama

Address: 58 E Main St., Carpentersville, IL 60110 Phone: 847-783-4870

Contact Name: Scot Bemus

Email: scot@signarama-carpentersville.com

Plat of Survey attached indicating location of sign: Yes ☒ No ☐ Zoning Classification: _____

Front Façade Wall Area 450sqft

Height from Grade 8.5 ft.

Note: A scale, color drawing is required for all signage to determine compliance.

✓ CHECK ALL BOXES THAT APPLY

☐ Freestanding

☐ Electric

☒ Wall

☐ Monument

☐ Banner

☐ Window

☐ Canopy/Awning

☐ Face Change

☐ Temporary

☐ Other

Sign Dimensions: 251.5" X 45.3" = 79 Sq. ft.

Approved: _____

Not Approved: _____

Cost of Sign: \$ 2,100

Owner or Authorized Agent

Print Name

Building Official

Received by _____ Check# _____ Cash _____ Date: _____ Historical Approval _____ Charge # 421000

State of Illinois }
Counties of Cook and Kane } SS
Village of East Dundee }

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Village Board of Trustees of the Village of East Dundee will hold a public hearing on July 15, 2024, at 6:00 P.M. at the East Dundee Police Station 2nd Floor Meeting Room, 115 E. 3rd Street, East Dundee, Illinois, to consider the following request:

A request for a variance from Section 156.04(C)(1)(a) regarding the maximum number of wall signs for each business, and a request for a variance from Section 156.04(C)(1)(b) regarding the maximum square feet allowed for a business establishment identification wall sign, for the property located at 107 Water St., East Dundee, IL, 60118 PIN 03-23-318-007, located in the B-1 Downtown Business District.

PIN: 03-23-318-007

Legal Description: LOT 2 (EXCEPT THE SOUTHERLY 66.67 FEET THEREOF), THE SOUTHERLY 63 FEET OF LOT 3, AS MEASURED ALONG WEST LINE OF WATER STREET, OF HAERTEL'S SUBDIVISION, IN THE VILLAGE OF EAST DUNDEE, KANE COUNTY, ILLINOIS. All interested persons will be given an opportunity to be heard. Any questions regarding this public hearing process may be directed to Franco Bottalico, 120 Barrington Avenue, East Dundee, Illinois, 60118 via email at FBottalico@eastdundee.net, or by phone at (847) 815-0472. Published in Daily Herald June 20, 2024 (4616858)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Fox Valley
Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Fox Valley DAILY HERALD**. That said **Fox Valley DAILY HERALD** is a secular newspaper, published in Elgin, Kane County, State of Illinois, and has been in general circulation daily throughout Kane County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Fox Valley DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 06/20/2024

in said **Fox Valley DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY

Designee of the Publisher of the Daily Herald

Control # 4616858







100.59 in

45.38 in

251.52 in

WARNER & TROOST
MONUMENT COMPANY

Goudy Extra Bold Letters

Color: White

15" & 10"

251.52 in

45.38 in

WARNER & TROOST
MONUMENT COMPANY

A technical drawing of a sign. The sign features the text "WARNER & TROOST" in a large, outlined, serif font, with "MONUMENT COMPANY" in a smaller, outlined, serif font below it. The text is arranged in two lines. To the left of the text, a vertical dimension line indicates a height of 45.38 in. Above the text, a horizontal dimension line indicates a width of 251.52 in. The text is white, as indicated by the "Color: White" label.

Memorandum



To: Village President and Board of Trustees

From: Erika Storlie, Village Administrator
Franco Bottalico, Assistant to the Village Administrator

Subject: Downtown Parking Garage Contract Amendment Approval

Date: July 15, 2024

Action Requested:

Staff recommends Village Board approval of a resolution authorizing the Village Administrator to execute a contract amendment with McHugh Construction Co. (1737 S. Michigan Ave., Chicago IL 60616) for the final pricing, design and construction of a parking garage in downtown East Dundee.

Summary:

At the October 2, 2023, Village Board meeting the Village Board reviewed the responses to the Request for Proposals (RFP) for the design and construction of a parking garage and directed staff to begin contract negotiations with McHugh Construction Co, a responsible bidder for the project. The original contract with McHugh Construction was approved by the Village Board on January 22, 2024, and started the process of designing the 2-story structure. During the process, the Village Board modified the scope of the project to include commercial storefront space that could be sold separately to add value to the downtown and the project.

The construction timeline for the project has a target date of substantial completion of November 2024. The design includes a 2-story parking garage with 131 parking spaces and 6,295 square feet of commercial storefront space.

At the May 20, 2024, Village Board meeting, the Village Board approved the issuance of bonds to fund the remainder of the project that will not be covered by grant funding and cash on hand. The project costs have been bid out by McHugh and the final project cost is \$6,998,247. This final number is slightly higher than what McHugh provided earlier this spring, representing an increase of \$66,306. Their original estimate was \$6,931,941 once the commercial space was included.

The attached contract amendment solidifies the pricing and authorizes the project to move forward.

The recommended funding for this project is as follows:

Funding Source	Amount
Grants (State of IL)	\$950,000
TIF Funding (cash on hand)	\$1,248,247
Bond (borrowing)	\$4,800,000
Total	\$6,998,247

This is the final approval necessary to proceed with the project and once approved, construction will begin.

Attachments:

Resolution

Contract Amendment with Exhibits

RESOLUTION NUMBER __-24

**A RESOLUTION APPROVING THE FINAL DESIGN AND THE DESIGN-BUILD AMENDMENT
TO THE CONTRACT PREVIOUSLY EXECUTED BETWEEN JAMES MCHUGH
CONSTRUCTION CO. AND THE VILLAGE OF EAST DUNDEE FOR DESIGN-BUILD
SERVICES OF A TWO-LEVEL PARKING STRUCTURE LOCATED IN THE DOWNTOWN
DISTRICT OF THE VILLAGE OF EAST DUNDEE**

WHEREAS, the Village of East Dundee ("**Village**") is a home rule unit of local government pursuant to Section 6 of Article VII of the Constitution of the State of Illinois, and has the authority to exercise any power and perform any function pertaining to its government and affairs; and

WHEREAS, in June of 2023, subject to the direction of the Village Board of Trustees, a Request for Proposals ("**RFP**") was released and published in the Daily Herald on June 21, 2023 requesting proposals for a design-build contract for a two-level parking garage to be located in the Village's downtown district ("**Services**"); and

WHEREAS, three proposals were received following the RFP and scored according to evaluation criteria and percentages noted in the RFP; and

WHEREAS, on October 2, 2023, Village staff presented the responses to the RFP to the Village Board of Trustees; and

WHEREAS, direction was given to Village staff by the Village Board of Trustees to negotiate a contract with James McHugh Construction Co. ("**Design-Builder**"); and

WHEREAS, the Design-Builder was the lowest, responsible bidder to the RFP; and

WHEREAS, pursuant to the RFP, the Village and Design-Builder negotiated a contract for design-build services of a two-story parking structure ("**Parking Garage**") located in the downtown district of the Village (hereinafter "**Contract**"); and

WHEREAS, the Village President and Board of Trustees previously approved the Contract pursuant to Resolution 03-24; and

WHEREAS, the Village Board now wishes to approve final design elements for the Parking Garage ("**Final Design**") as set forth in Exhibit A to this Resolution and approve the final amendment to the Contract ("**Contract Amendment**") which outlines the final costs and build schedule for the construction of the Parking Garage as set forth in Exhibit B; and

WHEREAS, the Contract Amendment sets forth a total cost of construction at \$6,998,247; and

WHEREAS, the Village has previously approved the issuance of general obligation bonds in the amount of \$4,800,000 to finance the costs of the Parking Garage pursuant to Ordinance 24-19; and

WHEREAS, the remainder of the funding for the project will come from grants from the State of Illinois and cash on hand from Tax Increment Financing (TIF) funds.

WHEREAS, due to parking congestion in the Village's Downtown District, and in an effort to create accessible parking in order for visitors to frequent downtown businesses, the Village President and Board of Trustees finds that it is in the best interests of the Village to approve the Final Design and Contract Amendment; and

NOW, THEREFORE, BE IT RESOLVED by the Village President and Board of Trustees of the Village of East Dundee, Cook and Kane Counties, Illinois, as follows:

Section One. Recitals. The foregoing recitals are hereby incorporated into, and made a part of, this Resolution as the findings of the President and Board of Trustees of the Village of East Dundee.

Section Two. Approval of the Final Design of the Parking Garage. The Village Board of Trustees hereby approves the Final Design of the Parking Garage as set forth in **Exhibit A**.

Section Three. Approval of Contract Amendment. The Village Board of Trustees hereby approves the Contract Amendment, attached hereto as **Exhibit B**, and in a final form and substance, including any modifications, to be approved by the Village Administrator and Village Attorney.

Section Four. Authorization. The Village Administrator and Village Clerk are authorized and directed to execute the Contract on behalf of the Village.

Section Five. Effective Date. This Resolution shall be in full force and effect from and after its passage by a vote the Village Board of Trustees and approval in the manner required by law.

[SIGNATURE PAGE TO FOLLOW]

PASSED this _____ day of _____ 2024 pursuant to a roll call vote as follows:

AYES: _____

NAYES: _____

ABSENT: _____

APPROVED by me this _____ of _____ 2024.

Jeffrey Lynam, Village President

ATTEST:

Katherine Diehl, Village Clerk

EXHIBIT A

FINAL DESIGN

EXHIBIT B

CONTACT AMENDMENT

DRAFT AIA® Document A141® – 2014

Exhibit A

Design-Build Amendment

This Amendment is incorporated into the accompanying AIA Document A141™–2014, Standard Form of Agreement Between Owner and Design-Builder dated the 22 day of January in the year 2024 (the “Agreement”)
(In words, indicate day, month and year.)

for the following PROJECT:

(Name and location or address)

Downtown East Dundee Parking Structure

THE OWNER:

(Name, legal status and address)

Village of East Dundee
120 Barrington Ave.
East Dundee, IL 60188
Attn: Joseph Heinz

THE DESIGN-BUILDER:

(Name, legal status and address)

James McHugh Construction Co.
1737 S. Michigan Ave.
Chicago IL 60616
Attn: Andrew Totten

The Owner and Design-Builder hereby amend the Agreement as follows.

TABLE OF ARTICLES

- A.1 CONTRACT SUM
- A.2 CONTRACT TIME
- A.3 INFORMATION UPON WHICH AMENDMENT IS BASED
- A.4 DESIGN-BUILDER'S PERSONNEL, CONTRACTORS AND SUPPLIERS
- A.5 COST OF THE WORK

ARTICLE A.1 CONTRACT SUM

§ A.1.1 The Owner shall pay the Design-Builder the Contract Sum in current funds for the Design-Builder's performance of the Contract after the execution of this Amendment. The Contract Sum shall be one of the following and shall not include compensation the Owner paid the Design-Builder for Work performed prior to execution of this Amendment:

(Check the appropriate box.)

☒ Stipulated Sum, in accordance with Section A.1.2 below

ADDITIONS AND DELETIONS:

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An Additions and Deletions Report that notes added information as well as revisions to the standard form text is available from the author and should be reviewed.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Consultation with an attorney is also encouraged with respect to professional licensing requirements in the jurisdiction where the Project is located.

ELECTRONIC COPYING of any portion of this AIA® Document to another electronic file is prohibited and constitutes a violation of copyright laws as set forth in the footer of this document.

[« »] Cost of the Work plus the Design-Builder's Fee, in accordance with Section A.1.3 below

[« »] Cost of the Work plus the Design-Builder's Fee with a Guaranteed Maximum Price, in accordance with Section A.1.4 below

(Based on the selection above, complete Section A.1.2, A.1.3 or A.1.4 below.)

§ A.1.2 Stipulated Sum

§ A.1.2.1 The Stipulated Sum shall be six million nine hundred ninety-eight thousand two hundred forty-seven dollars and zero cents (\$6,998,247.00), subject to authorized adjustments as provided in the Design-Build Documents.

§ A.1.2.2 The Stipulated Sum is based upon the following alternates, if any, which are described in the Design-Build Documents and are hereby accepted by the Owner:

(State the numbers or other identification of accepted alternates. If the Owner is permitted to accept other alternates subsequent to the execution of this Amendment, attach a schedule of such other alternates showing the change in Stipulated Sum for each and the deadline by which the alternate must be accepted.)

See attached Exhibit C dated July 3, 2024 and Exhibit I dated July 8, 2024.

§ A.1.2.3 Unit prices, if any:

(Identify item, state the unit price, and state any applicable quantity limitations.)

Item	Units and Limitations	Price per Unit (\$0.00)
N/A		

§ A.1.3 Cost of the Work Plus Design-Builder's Fee

§ A.1.3.1 The Cost of the Work is as defined in Article A.5, Cost of the Work.

§ A.1.3.2 The Design-Builder's Fee:

(State a lump sum, percentage of Cost of the Work or other provision for determining the Design-Builder's Fee, and the method for adjustment to the Fee for changes in the Work.)

N/A

§ A.1.4 Cost of the Work Plus Design-Builder's Fee With a Guaranteed Maximum Price

§ A.1.4.1 The Cost of the Work is as defined in Article A.5, Cost of the Work.

§ A.1.4.2 The Design-Builder's Fee:

(State a lump sum, percentage of Cost of the Work or other provision for determining the Design-Builder's Fee and the method for adjustment to the Fee for changes in the Work.)

N/A

§ A.1.4.3 Guaranteed Maximum Price

§ A.1.4.3.1 The sum of the Cost of the Work and the Design-Builder's Fee is guaranteed by the Design-Builder not to exceed N/A (\$N/A), subject to additions and deductions for changes in the Work as provided in the Design-Build Documents. Costs that would cause the Guaranteed Maximum Price to be exceeded shall be paid by the Design-Builder without reimbursement by the Owner.

(Insert specific provisions if the Design-Builder is to participate in any savings.)

N/A

§ A.1.4.3.2 Itemized Statement of the Guaranteed Maximum Price

Provided below is an itemized statement of the Guaranteed Maximum Price organized by trade categories, allowances, contingencies, alternates, the Design-Builder's Fee, and other items that comprise the Guaranteed Maximum Price.

(Provide information below or reference an attachment.)

N/A

§ A.1.4.3.3 The Guaranteed Maximum Price is based on the following alternates, if any, which are described in the Design-Build Documents and are hereby accepted by the Owner:

(State the numbers or other identification of accepted alternates. If the Owner is permitted to accept other alternates subsequent to the execution of this Amendment, attach a schedule of such other alternates showing the change in the Cost of the Work and Guaranteed Maximum Price for each and the deadline by which the alternate must be accepted.)

N/A

§ A.1.4.3.4 Unit Prices, if any:

(Identify item, state the unit price, and state any applicable quantity limitations.)

Item	Units and Limitations	Price per Unit (\$0.00)
N/A		

§ A.1.4.3.5 Assumptions, if any, on which the Guaranteed Maximum Price is based:

N/A

§ A.1.5 Payments

§ A.1.5.1 Progress Payments

§ A.1.5.1.1 Based upon Applications for Payment submitted to the Owner by the Design-Builder, the Owner shall make progress payments on account of the Contract Sum to the Design-Builder as provided below and elsewhere in the Design-Build Documents.

§ A.1.5.1.2 The period covered by each Application for Payment shall be one calendar month ending on the last day of the month, or as follows:

« »

§ A.1.5.1.3 Payment shall be made by the Owner in accordance with the Illinois Local Government Prompt Payment Act (50 ILCS 505).

§ A.1.5.1.4 Intentionally omitted.

§ A.1.5.1.5 With each Application for Payment where the Contract Sum is based upon a Stipulated Sum or Cost of the Work with a Guaranteed Maximum Price, the Design-Builder shall submit the most recent schedule of values in accordance with the Design-Build Documents. The schedule of values shall allocate the entire Contract Sum among the various portions of the Work. Compensation for design services, if any, shall be shown separately. Where the Contract Sum is based on the Cost of the Work with a Guaranteed Maximum Price, the Design-Builder's Fee shall be shown separately. The schedule of values shall be prepared in such form and supported by such data to substantiate its accuracy as the Owner may require. This schedule of values, unless objected to by the Owner, shall be used as a basis for reviewing the Design-Builder's Applications for Payment.

§ A.1.5.1.6 In taking action on the Design-Builder's Applications for Payment, the Owner shall be entitled to rely on the accuracy and completeness of the information furnished by the Design-Builder and shall not be deemed to have made a detailed examination, audit or arithmetic verification of the documentation submitted in accordance with Sections A.1.5.1.4 or A.1.5.1.5, or other supporting data; to have made exhaustive or continuous on-site inspections; or to have made examinations to ascertain how or for what purposes the Design-Builder has used amounts previously paid. Such examinations, audits and verifications, if required by the Owner, will be performed by the Owner's auditors acting in the sole interest of the Owner.

§ A.1.5.1.7 Except with the Owner's prior approval, the Design-Builder shall not make advance payments to suppliers for materials or equipment which have not been delivered and stored at the site.

§ A.1.5.2 Progress Payments—Stipulated Sum

§ A.1.5.2.1 Applications for Payment where the Contract Sum is based upon a Stipulated Sum shall indicate the percentage of completion of each portion of the Work as of the end of the period covered by the Application for Payment.

§ A.1.5.2.2 Subject to other provisions of the Design-Build Documents, the amount of each progress payment shall be computed as follows:

- .1 Take that portion of the Contract Sum properly allocable to completed Work as determined by multiplying the percentage completion of each portion of the Work by the share of the Contract Sum allocated to that portion of the Work in the schedule of values, less retainage of five percent (5 %) on the Work. Pending final determination of cost to the Owner of Changes in the Work, amounts not in dispute shall be included as provided in Section 6.3.9 of the Agreement;
- .2 Add that portion of the Contract Sum properly allocable to materials and equipment delivered and suitably stored at the site for subsequent incorporation in the completed construction (or, if approved in advance by the Owner, suitably stored off the site at a location agreed upon in writing), less retainage of five percent (5%);
- .3 Subtract the aggregate of previous payments made by the Owner; and
- .4 Subtract amounts, if any, the Owner has withheld or nullified, as provided in Section 9.5 of the Agreement.

§ A.1.5.2.3 The progress payment amount determined in accordance with Section A.1.5.2.2 shall be further modified under the following circumstances:

- .1 Add, upon Substantial Completion of the Work, a sum sufficient to increase the total payments to the full amount of the Contract Sum, less such amounts as the Owner shall determine for incomplete Work, retainage applicable to such work and unsettled claims; and
(Section 9.8.6 of the Agreement discusses release of applicable retainage upon Substantial Completion of Work.)
- .2 Add, if final completion of the Work is thereafter materially delayed through no fault of the Design-Builder, any additional amounts payable in accordance with Section 9.10.3 of the Agreement.

§ A.1.5.2.4 Reduction or limitation of retainage, if any, shall be as follows:

(If it is intended, prior to Substantial Completion of the entire Work, to reduce or limit the retainage resulting from the percentages inserted in Sections A.1.5.2.2.1 and A.1.5.2.2.2 above, and this is not explained elsewhere in the Design-Build Documents, insert provisions here for such reduction or limitation.)

For amounts owed by Design-Builder to third-parties, such as subcontractors or suppliers, for the first 50% of the that third-party's work on the Project, the retention shall be ten percent (10%). Upon completion of the first 50% of that third-party's work, their retention shall be reduced to five percent (5%). Retention shall be calculated and held on a trade-by-trade basis on the approved Schedule of Values and not on an aggregate basis for the Project absent issues or problems with the Work. Upon Substantial Completion of the Work, any retention shall be reduced to 200% of the value of amount of work outstanding Work listed on the punch list.

§ A.1.5.3 Progress Payments—Cost of the Work Plus a Fee

Intentionally omitted.

§ A.1.5.4 Progress Payments—Cost of the Work Plus a Fee with a Guaranteed Maximum Price

Intentionally omitted.

§ A.1.5.5 Final Payment

§ A.1.5.5.1 Final payment, constituting the entire unpaid balance of the Contract Sum, shall be made by the Owner to the Design-Builder not later than 30 days after the Design-Builder has fully performed the Contract and the requirements of Section 9.10 of the Agreement have been satisfied, except for the Design-Builder's responsibility to correct non-conforming Work discovered after final payment or to satisfy other requirements, if any, which extend beyond final payment.

§ A.1.5.5.2 If the Contract Sum is based on the Cost of the Work, the Owner's auditors will review and report in writing on the Design-Builder's final accounting within 30 days after the Design-Builder delivers the final

accounting to the Owner. Based upon the Cost of the Work the Owner's auditors report to be substantiated by the Design-Builder's final accounting, and provided the other conditions of Section 9.10 of the Agreement have been met, the Owner will, within seven days after receipt of the written report of the Owner's auditors, either issue a final Certificate for Payment, or notify the Design-Builder in writing of the reasons for withholding a certificate as provided in Section 9.5.1 of the Agreement.

ARTICLE A.2 CONTRACT TIME

§ A.2.1 Contract Time, as defined in the Agreement at Section 1.4.13, is the period of time, including authorized adjustments, for Substantial Completion of the Work.

§ A.2.2 The Design-Builder shall achieve Substantial Completion of the Work not later than May 27, 2025. *(Insert number of calendar days. Alternatively, a calendar date may be used when coordinated with the date of commencement. If appropriate, insert requirements for earlier Substantial Completion of certain portions of the Work.)*

See attached Exhibit D dated July 2, 2024.

Portion of Work	Substantial Completion Date
N/A	N/A

, subject to adjustments of the Contract Time as provided in the Design-Build Documents.

(Insert provisions, if any, for liquidated damages relating to failure to achieve Substantial Completion on time or for bonus payments for early completion of the Work.)

N/A

ARTICLE A.3 INFORMATION UPON WHICH AMENDMENT IS BASED

§ A.3.1 The Contract Sum and Contract Time set forth in this Amendment are based on the following:

§ A.3.1.1 The Supplementary and other Conditions of the Contract:

Document	Title	Date	Pages
N/A			

§ A.3.1.2 The Specifications:

(Either list the specifications here or refer to an exhibit attached to this Amendment.)

See attached Exhibit F dated July 2, 2024.

Section	Title	Date	Pages

§ A.3.1.3 The Drawings:

(Either list the drawings here or refer to an exhibit attached to this Amendment.)

See attached Exhibit G dated July 2, 2024.

Number	Title	Date

§ A.3.1.4 The Sustainability Plan, if any:

(If the Owner identified a Sustainable Objective in the Owner's Criteria, identify the document or documents that comprise the Sustainability Plan by title, date and number of pages, and include other identifying information. The Sustainability Plan identifies and describes the Sustainable Objective; the targeted Sustainable Measures; implementation strategies selected to achieve the Sustainable Measures; the Owner's and Design-Builder's roles and responsibilities associated with achieving the Sustainable Measures; the specific details about design reviews, testing or metrics to verify achievement of each Sustainable Measure; and the Sustainability Documentation required for the Project, as those terms are defined in Exhibit C to the Agreement.)

Title	Date	Pages
N/A		

Other identifying information:

N/A

§ A.3.1.5 Allowances and Contingencies:

(Identify any agreed upon allowances and contingencies, including a statement of their basis.)

.1 Allowances

See attached Exhibit H dated July 3, 2024.

.2 Contingencies

See attached Exhibit H dated July 3, 2024.

§ A.3.1.6 Design-Builder's assumptions and clarifications:

See attached Exhibit E dated July 8, 2024.

§ A.3.1.7 Deviations from the Owner's Criteria as adjusted by a Modification:

N/A

§ A.3.1.8 To the extent the Design-Builder shall be required to submit any additional Submittals to the Owner for review, indicate any such submissions below:

See attached Exhibit J dated July 8, 2024.

ARTICLE A.4 DESIGN-BUILDER'S PERSONNEL, CONTRACTORS AND SUPPLIERS

§ A.4.1 The Design-Builder's key personnel are identified below:

(Identify name, title and contact information.)

.1 Superintendent

Tom Kruszewski

.2 Project Manager

Jason Balamut

.3 Others

Project Executive: David Steffenhagen

§ A.4.2 The Design-Builder shall retain the following Consultants, Contractors and suppliers, identified below:

(List name, discipline, address and other information.)

Desman Design Management, 20 North Clark Street, #400, Chicago Illinois 60602

ARTICLE A.5 COST OF THE WORK

§ A.5.1 Cost To Be Reimbursed as Part of the Contract

§ A.5.1.1 Labor Costs

§ A.5.1.1.1 Wages of construction workers directly employed by the Design-Builder to perform the construction of the Work at the site as set forth in the attached Exhibit C dated July 3, 2024.

§ A.5.1.1.2 With the Owner's prior approval, wages or salaries of the Design-Builder's supervisory and administrative personnel when stationed at the site.

(If it is intended that the wages or salaries of certain personnel stationed at the Design-Builder's principal or other offices shall be included in the Cost of the Work, identify below the personnel to be included, whether for all or only part of their time, and the rates at which their time will be charged to the Work.)

Person Included	Status (full-time/part-time)	Rate (\$0.00)	Rate (unit of time)

§ A.5.1.1.3 Wages and salaries of the Design-Builder's supervisory or administrative personnel engaged at factories, workshops or on the road, in expediting the production or transportation of materials or equipment required for the Work, but only for that portion of their time required for the Work.

§ A.5.1.1.4 Costs paid or incurred by the Design-Builder for taxes, insurance, contributions, assessments and benefits required by law or collective bargaining agreements and, for personnel not covered by such agreements, customary benefits such as sick leave, medical and health benefits, holidays, vacations and pensions, provided such costs are based on wages and salaries included in the Cost of the Work under Section A.5.1.1.

§ A.5.1.1.5 Bonuses, profit sharing, incentive compensation and any other discretionary payments paid to anyone hired by the Design-Builder or paid to the Architect or any Consultant, Contractor or supplier, with the Owner's prior approval.

§ A.5.1.2 **Contract Costs.** Payments made by the Design-Builder to the Architect, Consultants, Contractors and suppliers in accordance with the requirements of their subcontracts.

§ A.5.1.3 **Costs of Materials and Equipment Incorporated in the Completed Construction**

§ A.5.1.3.1 Costs, including transportation and storage, of materials and equipment incorporated or to be incorporated in the completed construction.

§ A.5.1.3.2 Costs of materials described in the preceding Section A.5.1.3.1 in excess of those actually installed to allow for reasonable waste and spoilage. Unused excess materials, if any, shall become the Owner's property at the completion of the Work or, at the Owner's option, shall be sold by the Design-Builder. Any amounts realized from such sales shall be credited to the Owner as a deduction from the Cost of the Work.

§ A.5.1.4 **Costs of Other Materials and Equipment, Temporary Facilities and Related Items**

§ A.5.1.4.1 Costs of transportation, storage, installation, maintenance, dismantling and removal of materials, supplies, temporary facilities, machinery, equipment and hand tools not customarily owned by construction workers that are provided by the Design-Builder at the site and fully consumed in the performance of the Work. Costs of materials, supplies, temporary facilities, machinery, equipment and tools that are not fully consumed shall be based on the cost or value of the item at the time it is first used on the Project site less the value of the item when it is no longer used at the Project site. Costs for items not fully consumed by the Design-Builder shall mean fair market value.

§ A.5.1.4.2 Rental charges for temporary facilities, machinery, equipment and hand tools not customarily owned by construction workers that are provided by the Design-Builder at the site and costs of transportation, installation, minor repairs, dismantling and removal. The total rental cost of any Design-Builder-owned item may not exceed the purchase price of any comparable item. Rates of Design-Builder-owned equipment and quantities of equipment shall be subject to the Owner's prior approval.

§ A.5.1.4.3 Costs of removal of debris from the site of the Work and its proper and legal disposal.

§ A.5.1.4.4 Costs of document reproductions, electronic communications, postage and parcel delivery charges, dedicated data and communications services, teleconferences, Project websites, extranets and reasonable petty cash expenses of the site office.

§ A.5.1.4.5 Costs of materials and equipment suitably stored off the site at a mutually acceptable location, with the Owner's prior approval.

§ A.5.1.5 Miscellaneous Costs

§ A.5.1.5.1 Premiums for that portion of insurance and bonds required by the Design-Build Documents that can be directly attributed to the Contract. With the Owner's prior approval self-insurance for either full or partial amounts of the coverages required by the Design-Build Documents.

§ A.5.1.5.2 Sales, use or similar taxes imposed by a governmental authority that are related to the Work and for which the Design-Builder is liable. Sales tax on materials is not currently included in price (see Exhibit E).

§ A.5.1.5.3 Fees and assessments for the building permit and for other permits, licenses and inspections for which the Design-Builder is required by the Design-Build Documents to pay.

§ A.5.1.5.4 Fees of laboratories for tests required by the Design-Build Documents, except those related to defective or nonconforming Work for which reimbursement is excluded by Section 15.5.3 of the Agreement or by other provisions of the Design-Build Documents, and which do not fall within the scope of Section A.5.1.6.3.

§ A.5.1.5.5 Royalties and license fees paid for the use of a particular design, process or product required by the Design-Build Documents; the cost of defending suits or claims for infringement of patent rights arising from such requirement of the Design-Build Documents; and payments made in accordance with legal judgments against the Design-Builder resulting from such suits or claims and payments of settlements made with the Owner's consent. However, such costs of legal defenses, judgments and settlements shall not be included in the calculation of the Design-Builder's Fee or subject to the Guaranteed Maximum Price. If such royalties, fees and costs are excluded by the second to last sentence of Section 3.1.13.2 of the Agreement or other provisions of the Design-Build Documents, then they shall not be included in the Cost of the Work.

§ A.5.1.5.6 With the Owner's prior approval, costs for electronic equipment and software directly related to the Work.

§ A.5.1.5.7 Deposits lost for causes other than the Design-Builder's negligence or failure to fulfill a specific responsibility in the Design-Build Documents.

§ A.5.1.5.8 With the Owner's prior approval, which shall not be unreasonably withheld, legal, mediation and arbitration costs, including attorneys' fees, other than those arising from disputes between the Owner and Design-Builder, reasonably incurred by the Design-Builder after the execution of the Agreement and in the performance of the Work.

§ A.5.1.5.9 Intentionally omitted.

§ A.5.1.5.10. Intentionally omitted.

§ A.5.1.6 Other Costs and Emergencies

§ A.5.1.6.1 Other costs incurred in the performance of the Work if, and to the extent, approved in advance in writing by the Owner.

§ A.5.1.6.2 Costs incurred in taking action to prevent threatened damage, injury or loss in case of an emergency affecting the safety of persons and property.

§ A.5.1.6.3 Costs of repairing or correcting damaged or nonconforming Work executed by the Design-Builder, Contractors or suppliers, provided that such damaged or nonconforming Work was not caused by negligence or failure to fulfill a specific responsibility of the Design-Builder and only to the extent that the cost of repair or correction is not recovered by the Design-Builder from insurance, sureties, Contractors, suppliers, or others.

§ A.5.1.7 Related Party Transactions

§ A.5.1.7.1 For purposes of Section A.5.1.7, the term "related party" shall mean a parent, subsidiary, affiliate or other entity having common ownership or management with the Design-Builder; any entity in which any stockholder in, or management employee of, the Design-Builder owns any interest in excess of ten percent in the aggregate; or any person or entity which has the right to control the business or affairs of the Design-Builder. The term "related party" includes any member of the immediate family of any person identified above.

§ A.5.1.7.2 If any of the costs to be reimbursed arise from a transaction between the Design-Builder and a related party, the Design-Builder shall notify the Owner of the specific nature of the contemplated transaction, including the identity of the related party and the anticipated cost to be incurred, before any such transaction is consummated or cost incurred. If the Owner, after such notification, authorizes the proposed transaction, then the cost incurred shall be included as a cost to be reimbursed, and the Design-Builder shall procure the Work, equipment, goods or service from the related party, as a Contractor, according to the terms of Section A.5.4. If the Owner fails to authorize the transaction, the Design-Builder shall procure the Work, equipment, goods or service from some person or entity other than a related party according to the terms of Section A.5.4.

§ A.5.2 Costs Not to Be Reimbursed as Part of this Contract

The Cost of the Work shall not include the items listed below:

- .1 Salaries and other compensation of the Design-Builder's personnel stationed at the Design-Builder's principal office or offices other than the site office, except as specifically provided in Section A.5.1.1;
- .2 Expenses of the Design-Builder's principal office and offices other than the site office;
- .3 Overhead and general expenses, except as may be expressly included in Section A.5.1;
- .4 The Design-Builder's capital expenses, including interest on the Design-Builder's capital employed for the Work;
- .5 Except as provided in Section A.5.1.6.3 of this Agreement, costs due to the negligence or failure of the Design-Builder, Contractors and suppliers or anyone directly or indirectly employed by any of them or for whose acts any of them may be liable to fulfill a specific responsibility of the Contract;
- .6 Any cost not specifically and expressly described in Section A.5.1; and
- .7 Costs, other than costs included in Change Orders approved by the Owner, that would cause the Guaranteed Maximum Price to be exceeded.

§ A.5.3 Discounts, Rebates, and Refunds

§ A.5.3.1 Cash discounts obtained on payments made by the Design-Builder shall accrue to the Owner if (1) before making the payment, the Design-Builder included them in an Application for Payment and received payment from the Owner, or (2) the Owner has deposited funds with the Design-Builder with which to make payments; otherwise, cash discounts shall accrue to the Design-Builder. Trade discounts, rebates, refunds and amounts received from sales of surplus materials and equipment shall accrue to the Owner, and the Design-Builder shall make provisions so that they can be obtained.

§ A.5.3.2 Amounts that accrue to the Owner in accordance with Section A.5.3.1 shall be credited to the Owner as a deduction from the Cost of the Work.

§ A.5.4 Other Agreements

§ A.5.4.1 When the Design-Builder has provided a Guaranteed Maximum Price, and a specific bidder (1) is recommended to the Owner by the Design-Builder; (2) is qualified to perform that portion of the Work; and (3) has submitted a bid that conforms to the requirements of the Design-Build Documents without reservations or exceptions, but the Owner requires that another bid be accepted, then the Design-Builder may require that a Change Order be issued to adjust the Guaranteed Maximum Price by the difference between the bid of the person or entity recommended to the Owner by the Design-Builder and the amount of the subcontract or other agreement actually signed with the person or entity designated by the Owner.

§ A.5.4.2 Agreements between the Design-Builder and Contractors shall conform to the applicable payment provisions of the Design-Build Documents, and shall not be awarded on the basis of cost plus a fee without the prior consent of the Owner. If an agreement between the Design Builder and a Contractor is awarded on a cost plus a fee basis, the Design-Builder shall provide in the agreement for the Owner to receive the same audit rights with regard to the Cost of the Work performed by the Contractor as the Owner receives with regard to the Design-Builder in Section A.5.5, below.

§ A.5.4.3 The agreements between the Design-Builder and Architect and other Consultants identified in the Agreement shall be in writing. These agreements shall be promptly provided to the Owner upon the Owner's written request.

§ A.5.5 Accounting Records

The Design-Builder shall keep full and detailed records and accounts related to the cost of the Work and exercise such controls as may be necessary for proper financial management under the Contract and to substantiate all costs

incurred. The accounting and control systems shall be satisfactory to the Owner. The Owner and the Owner's auditors shall, during regular business hours and upon reasonable notice, be afforded access to, and shall be permitted to audit and copy, the Design-Builder's records and accounts, including complete documentation supporting accounting entries, books, correspondence, instructions, drawings, receipts, subcontracts, Contractor's proposals, purchase orders, vouchers, memoranda and other data relating to the Contract. The Design-Builder shall preserve these records for a period of three years after final payment, or for such longer period as may be required by law.

§ A.5.6 Relationship of the Parties

The Design-Builder accepts the relationship of trust and confidence established by this Agreement and covenants with the Owner to exercise the Design-Builder's skill and judgment in furthering the interests of the Owner; to furnish efficient construction administration, management services and supervision; to furnish at all times an adequate supply of workers and materials; and to perform the Work in an expeditious and economical manner consistent with the Owner's interests.

This Amendment to the Agreement entered into as of the day and year first written above.

OWNER *(Signature)*

« »« »

(Printed name and title)

DESIGN-BUILDER *(Signature)*

Andrew Totten, Vice President

(Printed name and title)

Exhibit B – Bond and Insurance Requirements

Bonds

Unless otherwise agreed to by the parties, the Design-Build Team shall secure with a responsible corporate surety or corporate sureties, satisfactory bonds conditioned upon faithful performance by the Design-Build Team of all requirements under the contract and upon the payment of claims of material, men, and laborers thereunder. The Performance Bond shall be in the sum of not less than one hundred and fifteen percent (115%) of the estimated aggregate amount of the payments to be made under the contract computed on the basis of the prices stated in the proposal. The Performance Bond shall convert to a Maintenance Bond in in the amount of twenty-five percent (25%) of the amount of the contract price plus all change orders and shall cover warranty of the work and materials for a period of two years after the recordation of the Notice of Completion. At the time of submitting the Performance Bond the surety shall submit to the Village of East Dundee the following:

- (a) The original bond; and
- (b) The original, or certified copy of the unrevoked appointment, power of attorney, bylaws, or other instrument entitling or authorizing the person who executed the bond.

All bonds must be issued by a surety company with an A.M. Best's rating of A-VII or better, be on the Treasure Department of approved sureties and be licensed to conduct surety business in the State of Illinois.

Insurance

All insurance issued in compliance with this section shall be issued in the form, and by an insurer or insurers, satisfactory to and first approved by the Village of East Dundee in writing. Certificates of insurance in the amounts required shall be furnished by the Design-Build Team to the Village of East Dundee prior to the commencement of work.

The Design-Build Team shall maintain adequate workers' compensation insurance including \$1,000,000 Employer's Liability insurance under the laws of the State of Illinois for all labor employed by Design-Build Team or by any Subcontractor under Design-Build Team who may come within the protection of such workers' compensation insurance laws.

The Design-Build Team shall maintain during the life of this Contract general liability insurance on an occurrence basis on a ISO GL 00 01 04/13 or equivalent form including bodily injury, property damage, personal injury & advertising, primary and non-contributory and products & completed operations coverage in which the Village of East Dundee shall be named as an additional insured.

Products & Completed Operations coverage should be maintained for a minimum of five (5)

years or the statute of repose in the state of Illinois after completion of the contract.

The Design-Build Team shall maintain an Automobile Liability policy with a \$5,000,000 combined single limit per accident for bodily injury and property damage including hired and non-owned liability. The Village of East Dundee should be named as an additional insured.

The Design-Build Team shall maintain a Professional Liability E&O policy with a \$10,000,000 limit for the length of the contract and a minimum of five (5) years after completion of the project. The retroactive date of the policy must be on or before the effective date of the contract.

The Village of East Dundee and its elected or appointed officials, directors, officers, agents, employees, professional consultants, or volunteers shall be named as "Additional Insureds" under general, automobile and umbrella liability policies.

All insurance policies must be underwritten by a company with an AM. Best's rating of A-VII or better and be licensed to conduct insurance business in the state of Illinois.

The insurance requirements are further outlined below:

Workers' Compensation	
Coverage Workers' Compensation Employer's Liability	Minimum Limits Statutory coverage per the State of Illinois \$1,000,000
General Liability	
Coverage General Liability (Including Bodily Injury, Property Damage and Personal & Advertising Injury) Products-Completed Operations Liability Occurrence ISO GL 00 01 04 13 or its equivalent including Products & Completed operations	Minimum Limits \$25,000,000 per occurrence/aggregate \$25,000,000 per occurrence/aggregate
Automobile Liability Insurance	
Coverage Automobile Liability (Including owned, non-owned and hired automobiles, trucks and trailers)	Limits \$5,000,000 minimum single limit
Professional Liability Insurance	
Coverage Professional Liability	Limits \$10,000,000

<p align="center">Coverage may be written with a primary General Liability and Automobile Liability policy and additional limits via an Umbrella policy.</p>	
<p align="center">General Requirements</p>	
<p>Additional Insured - Village of East Dundee (VOED), its elected or appointed officials, directors, officers, agents, employees, professional consultants, volunteers or contractors shall be named as an additional insured under the General Liability, Automobile Liability, and Umbrella policies.</p>	
<p>Proof of Coverage - Design-Build Team shall provide VOED with a certificate of insurance annually including additional insured endorsements as required.</p>	
<p>Financial Strength - Such insurance and surety bonds shall be placed with one or more companies with an AM Best rating of A- or better, and financial size rating of VII or better.</p>	
<p>Waiver of Subrogation - Policies should include a Waiver of Subrogation in favor of VOED.</p>	
<p>Cancellation Requirements - All policies shall contain a provision that the coverage may not be cancelled or materially changed without first giving VOED not less than thirty (30) days prior written notice.</p>	

The Design-Build Team shall require all subcontractors retained by the Design-Build Team to provide the appropriate insurance coverages to cover claims which may arise out of the work they are performing for the Design-Build Team and shall further require those subcontractor to name the Village of East Dundee and its elected or appointed officials, directors, officers, agents, employees, professional consultants, or volunteers as "Additional Insureds" under general, automobile and umbrella liability policies.

Exhibit C - Contract Amount

McHUGH

East Dundee Parking Structure	
Design-Build Proposal - JULY 03, 2024	
SUMMARY	
DIVISION 01 - GENERAL REQUIREMENTS	\$ 102,673
DIVISION 02 - EXISTING CONDITIONS	\$ 55,000
DIVISION 03 - CONCRETE	\$ 2,489,400
DIVISION 04 - MASONRY	\$ 464,700
DIVISION 05 - METALS	\$ 157,100
DIVISION 06 - WOOD, PLASTICS AND COMPOSITES	\$ 41,176
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	\$ 477,600
DIVISION 08 - OPENINGS	\$ 157,122
DIVISION 09 - FINISHES	\$ 112,902
DIVISION 10 - SPECIALTIES	\$ -
DIVISION 11 - EQUIPMENT	\$ -
DIVISION 12 - FURNISHINGS	\$ 8,040
DIVISION 13 - SPECIAL CONSTRUCTION	\$ -
DIVISION 14 - CONVEYING EQUIPMENT	\$ 99,000
DIVISION 21 - FIRE SUPPRESSION	\$ 104,800
DIVISION 22 - PLUMBING	\$ 120,930
DIVISION 23 - HEATING, VENTILATING, AND AIR CONDITIONING (HVAC)	\$ 22,000
DIVISION 26 - ELECTRICAL	\$ 256,050
DIVISION 27 - COMMUNICATIONS	\$ -
DIVISION 28 - ELECTRONIC SAFETY AND SECURITY	\$ 79,716
DIVISION 31 - EARTHWORK	\$ 485,000
DIVISION 32 - EXTERIOR IMPROVEMENTS	\$ 125,292
DIVISION 33 - UTILITIES	\$ 200,000
DESIGN FEES	\$ 215,000
BUILDING PERMITS / THIRD PARTY INSPECTION FEES	\$ 45,000
COMED SERVICE ENGINEERING AND INSTALLATION	\$ 96,993
GENERAL CONDITIONS	\$ 249,271
INSURANCE AND COST OF RISK	\$ 88,369
PERFORMANCE AND PAYMENT BOND	\$ 50,159
WARRANTY BOND	\$ 2,031
SUBCONTRACTOR DEFAULT INSURANCE (SDI)	\$ 37,481
CONTRACTOR CONTINGENCY	\$ 167,335
FEE	\$ 488,108
TOTAL	\$ 6,998,247

ALLOWANCE INCLUDED IN PROPOSAL TOTAL ABOVE	
Concealed conditions allowance for removal of unforeseen obstructions on site.	\$ 20,000
Dewatering - allowance	\$ 5,000
Caststone / metal panels, non-insulated cornice / coping @ northeast stairs and northwest stairs towers + west and partial south - supply & install allowance	\$ 124,000
Decorative overhang corbels @ northwest stairs towers + west - supply & install allowance	\$ 55,500
Interior & exterior signage allowance	\$ 10,000
ComEd underground relocation - allowance	\$ 96,993
TOTAL	\$ 311,493

ALTERNATE PRICING	
ADD Northside column brick veneer (5EA)	\$ 18,656
ADD for two electric vehicle charging stations (infrastructure for two charging stations included in base bid)	\$ 20,000

East Dundee Exhibit D Schedule		James McHugh Construction																			
Activity ID	Activity Name	Original Duration	Start	Finish	2024			2025				2026				2027					
					Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4		
East Dundee East Dundee Schedule Rev. 0		266	15-Apr-24 A	27-May-25	27-May-25, East Dundee East Dundee Schedule Rev: 0																
East Dundee.Project Southbank Building C - Proposal Schedule Rev. 3 - 2024.02		266	15-Apr-24 A	27-May-25	27-May-25, East Dundee.Project Southbank Building C - Proposal																
East Dundee.Project.Contract Time Level of Effort Durations (Measured in Calendar Days)		228	15-Jun-24 A	27-May-25	27-May-25, East Dundee.Project.Contract Time Level of Effort Du																
42342	Office Estimating (Preconstruction)	19	15-Jun-24 A	15-Jul-24	■ Office Estimating (Preconstruction)																
42343	Mobilization (Preconstruction)	5	22-Jul-24	26-Jul-24	■ Mobilization (Preconstruction)																
00058	Construction Mobilization to Certificate of Ocupancy	156	16-Jul-24	28-Feb-25	■ Construction Mobilization to Certificate of Ocupancy																
42344	Closeout	20	29-Apr-25	27-May-25	■ Closeout																
42345	Substantial Completion	0		27-May-25	◆ Substantial Completion																
East Dundee.Project.2 Preconstruction		6	16-Jul-24	23-Jul-24	▼ 23-Jul-24, East Dundee.Project.2 Preconstruction																
00055	Notice to Proceed for Site Prep	0	16-Jul-24*	16-Jul-24	Notice to Proceed for Site Prep																
00008	Notice to Proceed for Early Release Procurement	0	16-Jul-24*	16-Jul-24	Notice to Proceed for Early Release Procurement																
00026	Fully Executed GMP Contract Agreement	0	16-Jul-24*	16-Jul-24	Fully Executed GMP Contract Agreement																
00088	Notice to Proceed for Procurement	0	16-Jul-24	16-Jul-24	Notice to Proceed for Procurement																
00046	Owner Insurance & Builder's Risk Insurance	5	16-Jul-24*	22-Jul-24	Owner Insurance & Builder's Risk Insurance																
00087	Building Permit Issued	0		23-Jul-24	◆ Building Permit Issued																
East Dundee.Project.6 Weather Days		10	14-Feb-25	28-Feb-25	▼ 28-Feb-25, East Dundee.Project.6 Weather Days																
03216	Weather Days	10	14-Feb-25	28-Feb-25	□ Weather Days																
East Dundee.Project.3 Major Milestones		0	28-Feb-25	28-Feb-25	▼ 28-Feb-25, East Dundee.Project.3 Major Milestones																
03218	Project Completion: Garage and Retail	0		28-Feb-25	◆ Project Completion: Garage and Retail																
East Dundee.Project.Major Milestones Construction Milestones		72	16-Jul-24	25-Oct-24	▼ 25-Oct-24, East Dundee.Project.Major Milestones Construction Milestones																
00052	Construction Mobilization	5	16-Jul-24	22-Jul-24	Construction Mobilization																
03222	Finish Foundations	0		12-Sep-24	◆ Finish Foundations																
01836	Structure Top-Out	0		21-Oct-24	◆ Structure Top-Out																
03224	Weather tight Elevator Machine Roof/Shaft	0		25-Oct-24	◆ Weather tight Elevator Machine Roof/Shaft																
East Dundee.Project.13 Construction Key Dates		9	07-Nov-24	21-Nov-24	▼ 21-Nov-24, East Dundee.Project.13 Construction Key Dates																
00502	Permanent Power On	0		07-Nov-24	◆ Permanent Power On																
02631	HVAC Commissioned	0		21-Nov-24	◆ HVAC Commissioned																
East Dundee.Project.4 City Approval		52	21-Jun-24 A	23-Jul-24	▼ 23-Jul-24, East Dundee.Project.4 City Approval																
East Dundee.Project.4.9 Permits		52	21-Jun-24 A	23-Jul-24	▼ 23-Jul-24, East Dundee.Project.4.9 Permits																
00025	Full Building Permit - Application Submittal	0	21-Jun-24 A	21-Jun-24 A																	
00094	Water & Sewer Permit	10	01-Jul-24	15-Jul-24	□ Water & Sewer Permit																
00045	Full Building Permit - Review	10	21-Jun-24 A	15-Jul-24	□ Full Building Permit -Review																
Remaining Level of Effort		Remaining Work		Page 1 of 10												TASK filter: All Activities					
Actual Work		Critical Remaining Work														© Oracle Corporation					

East Dundee Exhibit D Schedule			James McHugh Construction																			
Activity ID		Activity Name	Original Duration	Start	Finish	2024			2025				2026				2027					
						Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4		
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East Dundee Exhibit D Schedule			James McHugh Construction																																							
Activity ID	Activity Name	Original Duration	Start	Finish	2024			2025				2026				2027																										
					Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4																							
<div><div></div><div></div><div></div></div>	00102	Award Subcontractors - Doors	20	16-Jul-24	12-Aug-24	<div><div></div> Award Subcontractors - Doors</div>																																				
	00105	Award Subcontractors - Paint	30	16-Jul-24	26-Aug-24	<div><div></div> Award Subcontractors - Paint</div>																																				
	00106	Award Subcontractors - Drywall	30	16-Jul-24	26-Aug-24	<div><div></div> Award Subcontractors - Drywall</div>																																				
	00110	Award Subcontractors - Misc. Metals and Railings	30	16-Jul-24	26-Aug-24	<div><div></div> Award Subcontractors - Misc. Metals and Railings</div>																																				
	00108	Award Subcontractors - Flooring	30	17-Jul-24	27-Aug-24	<div><div></div> Award Subcontractors - Flooring</div>																																				
	East Dundee.Project.Procurement.6 Procure: Specialty Roof Faming		90	06-Aug-24	25-Dec-24	<div><div></div> 25-Dec-24, East Dundee.Project.Procurement.6 Procure: Specialty Roof Faming</div>																																				
	40693	Submittals - Specialty Roof Faming	15	06-Aug-24	26-Aug-24	<div><div></div> Submittals - Specialty Roof Faming</div>																																				
	40694	Submittal Architect Review - Specialty Roof Faming	10	27-Aug-24	09-Sep-24	<div><div></div> Submittal Architect Review - Specialty Roof Faming</div>																																				
	40695	Material Procurement - Specialty Roof Faming	15	10-Sep-24	24-Sep-24	<div><div></div> Material Procurement - Specialty Roof Faming</div>																																				
	40696	Required on Job (ROJ): Specialty Roof Faming	1	25-Dec-24	25-Dec-24	<div><div></div> Required on Job (ROJ): Specialty Roof Faming</div>																																				
	East Dundee.Project.Procurement.4 Procure: Parking Equipment and Striping		110	06-Aug-24	24-Jan-25	<div><div></div> 24-Jan-25, East Dundee.Project.Procurement.4 Procure: Parking Equipment and Striping</div>																																				
	40685	Submittals - Parking Equipment and Striping	15	06-Aug-24	26-Aug-24	<div><div></div> Submittals - Parking Equipment and Striping</div>																																				
	40686	Submittal Architect Review - Parking Equipment and Striping	10	27-Aug-24	09-Sep-24	<div><div></div> Submittal Architect Review - Parking Equipment and Striping</div>																																				
	40687	Material Procurement - Parking Equipment and Striping	15	10-Sep-24	24-Sep-24	<div><div></div> Material Procurement - Parking Equipment and Striping</div>																																				
	40688	Required on Job (ROJ): Parking Equipment and Striping	1	24-Jan-25	24-Jan-25	<div><div></div> Required on Job (ROJ): Parking Equipment and Striping</div>																																				
	East Dundee.Project.Procurement.12 Procure: Roofing & Waterproofing		57	06-Aug-24	23-Oct-24	<div><div></div> 23-Oct-24, East Dundee.Project.Procurement.12 Procure: Roofing & Waterproofing</div>																																				
	00361	Submittals - Roofing & Waterproofing	15	06-Aug-24	26-Aug-24	<div><div></div> Submittals - Roofing & Waterproofing</div>																																				
	00499	Submittal Architect Review - Roofing & Waterproofing	10	27-Aug-24	09-Sep-24	<div><div></div> Submittal Architect Review - Roofing & Waterproofing</div>																																				
	00590	Material Procurement - Roofing & Waterproofing	15	10-Sep-24	30-Sep-24	<div><div></div> Material Procurement - Roofing & Waterproofing</div>																																				
	01052	Required on Job (ROJ): Roofing & Waterproofing	1	23-Oct-24	23-Oct-24	<div><div></div> Required on Job (ROJ): Roofing & Waterproofing</div>																																				
	East Dundee.Project.Procurement.14 Procure: Doors, Frames & Hardware		119	13-Aug-24	24-Jan-25	<div><div></div> 24-Jan-25, East Dundee.Project.Procurement.14 Procure: Doors, Frames & Hardware</div>																																				
	00149	Submittals - Doors, Frames & Hardware	15	13-Aug-24	02-Sep-24	<div><div></div> Submittals - Doors, Frames & Hardware</div>																																				
	00174	Submittal Architect Review - Doors, Frames & Hardware	10	03-Sep-24	16-Sep-24	<div><div></div> Submittal Architect Review - Doors, Frames & Hardware</div>																																				
	00183	Material Procurement - Doors, Frames & Hardware	40	17-Sep-24	11-Nov-24	<div><div></div> Material Procurement - Doors, Frames & Hardware</div>																																				
	00546	Required on Job (ROJ): Doors, Frames & Hardware	1	24-Jan-25	24-Jan-25	<div><div></div> Required on Job (ROJ): Doors, Frames & Hardware</div>																																				
	East Dundee.Project.Procurement.15 Procure: Drywall		196	27-Aug-24	27-May-25	<div><div></div> 27-May-25, East Dundee.Project.Procurement.15 Procure: Drywall</div>																																				
	00168	Submittals - Drywall	15	27-Aug-24	16-Sep-24	<div><div></div> Submittals - Drywall</div>																																				
	00190	Submittal Architect Review - Drywall	10	17-Sep-24	30-Sep-24	<div><div></div> Submittal Architect Review - Drywall</div>																																				
	00224	Material Procurement - Drywall	10	01-Oct-24	14-Oct-24	<div><div></div> Material Procurement - Drywall</div>																																				
	00261	Required on Job (ROJ): Drywall	1	27-May-25	27-May-25	<div><div></div> Required on Job (ROJ): Drywall</div>																																				
	East Dundee.Project.Procurement.17 Procure: Paint		64	27-Aug-24	22-Nov-24	<div><div></div> 22-Nov-24, East Dundee.Project.Procurement.17 Procure: Paint</div>																																				
	00334	Submittals - Paint	15	27-Aug-24	16-Sep-24	<div><div></div> Submittals - Paint</div>																																				
<div><div></div> Remaining Level of Effort</div> <div><div></div> Actual Work</div>																																										
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Page 5 of 10						TASK filter: All Activities																																				
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Exhibit E - CLARIFICATIONS

McHugh Construction's **Design-Build Proposal** for the **East Dundee Parking Structure at 100 N River Street, East Dundee, IL** is based upon the **Request for Proposal** dated **June 14, 2023**, McHugh's **Design-Build Proposal** package dated **July 8, 2024**, and the clarifications stated below.

General Clarifications

1. **Proposal** is based solely on the following documents:
 - a. **Request For Proposal** prepared by **Village of East Dundee**, dated **June 14, 2023**.
 - b. Geotechnical Investigation Report, prepared by **Soil and Material Consultants, Inc**, dated **April 07, 2023**.
 - c. Topographic Survey prepared by **Gerald L. Heinz & Associates, Inc.**, dated **January 20, 2023**.
 - d. **Addendum Memorandum** prepared by **Gerald L. Heinz & Associates, Inc.**, dated **July 28, 2023**.
 - e. **Addendum Memorandum with Email** prepared by **Gerald L. Heinz & Associates, Inc.**, dated **August 08, 2023**.
 - f. **Architectural & structural permit drawings** prepared by **Desman**, dated **June 10, 2024**.
 - g. **Civil permit drawings** prepared by **Pinnacle Engineering**.
2. Proposal is based upon a **July 2024** construction start.
3. Proposal **does not** include sales tax.
4. Included an allowance for ComEd for service and relocation cost which are to be paid by owner. Owner will enter into a service engineering agreement with ComEd to perform service and relocation.
5. VOED is to provide internet service for the building life safety and security systems prior to building occupancy inspections.
6. We are relying on the owner provided Geotech report and soil borings. We have not included the cost for further Geotech services.
7. Environmental studies and reports are not included.
8. Proposal does not include an add alternate to provide photovoltaic shade structures over the rooftop parking at this time. We would expect the Village of East Dundee to enter into a service contract with an approved vendor, that vendor would provide the design, furnishing and installation as part of their agreement with the Village.
9. The owner must provide a plat of survey for the property.
10. Proposal does not include fasteners less than 1/2" in diameter in compliance with the Illinois Steel Procurement Act as manufacturers cannot meet this requirement.
11. We have included 5 lost weather days in our construction schedule.
12. Proposal does not include the following customary Owner related costs/expenses:
 - a. Special or hazardous or classified material testing, handling, disposal or remediation.
 - b. Cost to modify any systems or structures for publicly or privately-owned utilities or entities located outside of the property lines or utilities that are attached to any surrounding structures.
 - c. We have included an allowance of **\$20,000** for removal of piles, asphalt, old foundations or other underground obstructions
 - d. Conditions identified in the geotech report shall not constitute a specifically identified condition at any location other than at that particular boring or location. Generalizations made about site conditions shall not constitute a specifically identified condition.
 - e. Utility relocation cost and fees as required.

13. Proposal recognizes that MBE/WBE/DBE Participation and Local/Preferential Hiring are to be considered. We will work in good faith to identify and engage certified DBE firms for this project.
14. On-site material testing, i.e. concrete, soil, deep foundation, waterproofing, etc., is to be carried by ownership.
15. The egress pathway from the furthest point of the top parking deck to the stairwell at the Northeast corner of the garage was confirmed to be acceptable and is included in the current design. A secondary stair and any additional means of egress from the top parking deck are not required as confirmed by the VOED.
16. As a Design-Build project all specifications and drawings are designed and engineered by McHugh Construction team. The project documents provided by the McHugh Construction team will be further developed to align with the final pricing.

Insurance, General Contractor's Bonds & Safety

17. Proposal does not include the requirement on page 16 of the RFP under the General Requirements- Additional Insured the Owner is requiring that VOED et al be added as an additional insureds on the Professional Liability policy. This requirement cannot be met by any RFP respondent. Professional liability policies do not add third parties as additional insureds.

Permits / Codes / City / Utilities

18. Contractor shall coordinate with Owner and utility companies and shall use its best efforts to obtain service in accordance with the project schedule requirements but shall not be responsible for delays or resulting costs incurred if the temporary or permanent utility work is not completed when required by Contractor.
19. Proposal does not include cut-off/relocation fees for any existing utilities (water, sewer, telephone / data or electrical etc.).
20. Contractor **has** included costs for temporary utility consumption costs during construction. Temporary and Permanent power service (ComEd) to be supplied by Owner. At the time of substantial completion or beneficial occupancy the utility cost will become the responsibility of the Owner.
21. Proposal does not include patching, relocation or restorations work for ComEd or any other public utilities companies.
22. Proposal does not include gas service provided to building including the commercial space.
23. Proposal assumes ownership has executed a temporary construction easement up to 10' along the Eastern property line of the site. A permanent easement is required at the Eastern property line for storm water management as shown on the provided easement drawing.
24. Proposal assumes ownership has executed a temporary construction easement along the West and South property lines of the site. This is required to allow work to take place in the walkway on the adjacent business properties.

LEED/Sustainability

25. Proposal does not include costs to meet sustainability requirements unless clearly specified in the documents – no requirements provided.

Divisions 2, 31-33

1. Assumes that the excavated material on site is free of contamination and will be accepted by landfills non-hazardous non-special waste. Geotechnical report did not indicate the existence of any soil requiring remediation, special disposal, or environmental fees. No contaminated soil remediation included.

2. Does not include the cost to relocate any existing utilities. We will protect any existing utilities that are not in conflict with the proposed construction.
3. Includes excavation to design subgrade only. Proposal does not include any undercut of unsuitable soils. Any unsuitable soil would be handled as an additional cost.
4. Includes earth retention as required to protect adjacent properties.
5. Includes removal of existing trees within the 6' to 10' of the construction easement area at Eastern side of the project, per VOED direction.
6. Proposal anticipates that the Owner will assume all responsibility for existing hazardous materials, contaminated soils, underground storage tanks, asbestos, etc., and the associated disposal costs and documentation. The Owner will be identified as the generator of record on waste manifests if hazardous materials are encountered.
7. Proposal assumes existing buildings at 104 River St. and 106 River St. are on shallow foundations and do not have basements. The building at 102 River St is confirmed to have a basement as part of its foundation.
8. Proposal assumes existing domestic water utility is available for tap on Hill Street.
9. Proposal assumes existing storm water line is available for tap on Hill Street.
10. Includes new concrete sidewalk with tactile tiles, as required, at the new Jackson St. driveway apron and the Hill St. Driveway apron.
11. Includes re-grading existing stone South of the parking garage at the walkway between the existing dentist office building and the parking garage.
12. Includes a properly graded stone walkway West of the surface parking lot next to the existing buildings.
13. Proposal does not include a storm drainage system outside of the project site.
14. Mill & repave with 2" asphalt is included for half of the width of Hill Street the full length of the parking garage building, and half of the width of Jackson Street at curb and gutter reconstruction locations.
15. A drain-tile system is not included.
16. Landscaping restoration includes graded topsoil and seeding all areas only. No plantings are being provided for the project.
17. A portion of the building footings will encroach under the sidewalk on both Hill and River Streets.
18. Proposal includes an Earth Retention System assumed to be soldier beams and lagging. Final design will require VOED Geotechnical Engineer approval.
19. Proposal includes (3) helical piles as required to mitigate uplift forces for the building foundation design. Final design will require VOED Geotechnical Engineer approval.

Division 3

1. Owner acknowledges that exposed concrete elements of the project will exhibit normal cracking and that despite architectural details that include various measures to prevent water migration into the building, water may nevertheless migrate into the building and that Contractor is not responsible for water migration through these concrete cracks unless the cracks and water migration were caused solely by Contractor's deficient construction.
2. Anticipates standard grey cement for all concrete.
3. Split slab over retail space is not included.
4. Cast in place concrete floor slab in retail/commercial spaces are not included. Proposal includes compacted aggregate fill at these locations for future buildout.
5. Macro Fiber reinforcing per spec 03 30 00 is included in garage slab on grade.
6. We are providing concrete mix designs with slag in lieu of corrosion inhibitor, as approved by the structural engineer.

7. Epoxy rebar is included for deck slab top bars, top beam bars, stirrups in elevated parking slabs, rebar in upturned beams, rebar in crash walls, rebar in slab on grade, and noted as epoxy in retaining wall schedule.
8. For exposed concrete we will provide the following finishes: Class 'A' at architecturally exposed concrete where appearance is of special importance as noted on Contract Documents. Class 'B' at exposed ceilings/slab soffits and columns/walls. Class 'C' at unexposed ceilings. Class 'C' at all back of house areas including egress stairwells. Exposed concrete may require grinding, etc. Exposed concrete soffits will exhibit significant variation of colors, finishes, textures and/or wood grain. Layout markings for all trades will be plainly visible. Remedial measures of exposed concrete are excluded except as required to meet ACI tolerance. Repairs/patching, if required, will be visible and will not match surrounding concrete elements.

Division 4

1. Included CMU (painted) inside of the elevator vestibule.
2. The Illini brick specified does not come in utility for the quantity that is required for the job. We have figured the Illini in modular while the Adrian brick is figured as utility size.
3. Bond beams were figured above the masonry openings in lieu of steel lintels.

Division 5

1. Included stairs 1 & 2 as cast-in-place concrete with steel/aluminum 1-1/4" pipe guardrails with 1/2" vertical picket rails.
2. All railings to be painted.
3. Included typical elevator misc. metals including pit ladders and sump pit cover gratings. We have included a W8x24 hoist beam.

Division 6

1. Included (3) layers of 2 x 6 roof blocking at the perimeter of the East and West stair tower roofs behind masonry parapet walls.
2. Included fire treated plywood from 2'-0" to 6'-0" above finish floor on the South wall of electrical rm. 104 for the mounting of panels.

Division 7

1. Retail/commercial space walls do not include cavity insulation.
2. Retail/commercial space ceiling is being provided uninsulated. Insulation assumed to be provided by the tenant after future buildout.
3. Elevator pit slab waterproofing included for complete "bathtub" waterproof system at elevator pit.
4. Traffic coating included as MasterSeal 2500 vehicular grade traffic coating.
5. Proposal includes the perforated garage screens at the parking garage with aluminum tube frames (painted to match storefront) and perforated metal mesh screens attached to the inside of the aluminum tube framing. We have excluded custom print designs or cutouts. Perforated metal mesh to be constructed out of 1/8" aluminum with a standard dot pattern (1/4" holes on 3/8" staggered centers) with a painted finish. Aluminum mesh to be by McNichols or equal.

Division 8

1. Included all storefront / punched openings as 2"x4-1/2" framed storefront with a 2-coat painted finish by Pitco Architectural Metals.
2. Storefront transom areas have been included with narrow spacing with applied vertical muntin's.
3. Included 1" insulated clear low-e glazing with tempered glass at the commercial space.

4. Included 1/4" clear tempered glass at the Northwest stair tower.
5. Included as medium stile non-thermal doors with the following hardware: ABH continuous hinges, LCN surface mount closers, sweeps and thresholds. Doors 101 and 102 have Schlage passage set. Door 102 has a Von Duprin 9947L panic device and core by Pittco with construction cylinder
6. Excluded automatic operators. We have assumed ADA parking will be located at the first floor and auto operators are not required.
7. Excluded low-iron glazing.
8. Excluded "bird friendly" glass films or coatings.
9. Excluded all potential mock-up costs.
10. Mortise locks will be provided in lieu of electronic locks with hardware set #3 as this is not needed with an electric strike.
11. Building awnings to be provided as a solid single color to be selected from the manufacturers standard color range.

Division 9

1. Includes the North building elevation to be painted concrete only. All other exterior elevations of concrete and CMU are to be exposed.
2. Interior retail spaces are considered to be gray boxes, with no finishes.
3. Painting of interior garage walls and ceiling is not included.
4. Painting of interior CMU at the elevator tower interior is included.

Division 11

1. Parking control systems are not included.
2. Proposal does not include conduit or wire for future parking control system.
3. Proposal does not include tie-offs or davits at the roof areas.

Division 14

1. Proposal does not include elevator materials in compliance with Illinois Steel Procurement Act as the elevator manufacturers cannot meet this requirement.
2. Proposal includes an Otis Hydrofit machine-roomless and holeless hydraulic elevator with a stop on Level 1 and Level 2.
3. Proposal includes brushed stainless steel walls, handrails, and door finishes. The ceiling finish is white plastic laminate with (4) lights.
4. Elevator installation cannot begin until permanent power has been provided to the building from ComEd.
5. Elevator includes a battery powered lowering device.

MEP/FP General

1. Proposal anticipates that the MEP/FP trades will be design-build, and the MEPFP subcontractors will provide Permit Drawings. The Design-Build subcontractors will be the Engineers of Record.

Divisions 15, 21, 22, and 23

Fire Protection

1. Proposal is based on a design-build fire protection system with entire building to be provided with sprinkler protection.
2. Proposal includes a Dry Pipe Type System with (2) Automatic Dry Standpipes.
3. Proposal does not include fire pump. Assumes city water pressure is suitable for sprinkler system design.

Plumbing

1. Proposal includes a Triple Oil Basin.
2. Proposal includes an Elevator Pit Sump Pump.
3. Proposal includes one hose bib at the North exterior elevation and one hose bib at the West exterior elevation. Includes (3) hose bibs at the interior of the garage.
4. Included stubbing in a 2" water line and a 4" sanitary sewer line into the commercial space for future buildout.

HVAC

1. Radon mitigation system is not included.
2. No black iron duct provided for future retail spaces.
3. Included electric heaters for space (electric room) heating requirements.
 - a. (3) 10 KW electrical heaters are being provided in the commercial space as temporary heating until the space is built out.
 - b. (1) electric baseboard heater at each elevator vestibule.
 - c. (1) electric heater at the Water Room.

Divisions 16, 26, 27, and 28

Electrical

1. Proposal includes ceiling mounted garage high bay LED fixtures with occupancy sensors, lighting at stairwells, back of house lighting, Exterior Decorative Type lighting, Pole Mounted lighting with single and double heads with nuisance light limiting hoods, and Battery Pack Exit Signs.
2. Proposal includes one empty 4" PVC conduit from the telecom pole at the North East corner of the project site to the Electrical Room for Low Voltage service.
3. Proposal includes a code compliant Fire Alarm system in full conduit.
4. Proposal includes conduit and power provisions to two (2) 1st floor EV car charger locations. Furnish and installation of the electric vehicle chargers are not provided as part of this proposal.
5. Proposal does not include a backup generator.
6. Included a security camera system per the Current proposal provided by VOED.
7. Included access control for the Elevator Maintenance Room, Water Room, and Electrical Room per the Current proposal provided by VOED.
 - a. This includes the door position switches (door contacts), card readers, and power supplies, etc. per ownerships coordination with Current.
8. Included three (3) 200 Amps electrical panels and separate meters for the future buildout of commercial spaces.

Exhibit F - Specifications

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DOWNTOWN E. DUNDEE PARKING STRUCTURE

PROJECT NO: 50-24102

304 HILL STREET, EAST DUNDEE, IL 60118

ISSUED FOR PERMIT 06-10-24

Contact Information

Owner

Village of East Dundee
120 Barrington Avenue
East Dundee IL 60118
847.426.2822

Design Builder

McHugh Construction
1737 S Michigan Avenue
Chicago IL 60616
312.986.8000

Architect & Structural Engineer of Record

DESMAN, Inc.
20 N Clark Street Suite 300
Chicago IL 60602
312.263.8400

Mechanical, Electrical, & Plumbing Engineer

X
X
X
X

Civil Engineer

Pinnacle Engineering Group
1051 E Main Street
East Dundee IL 60118
847.551.5300

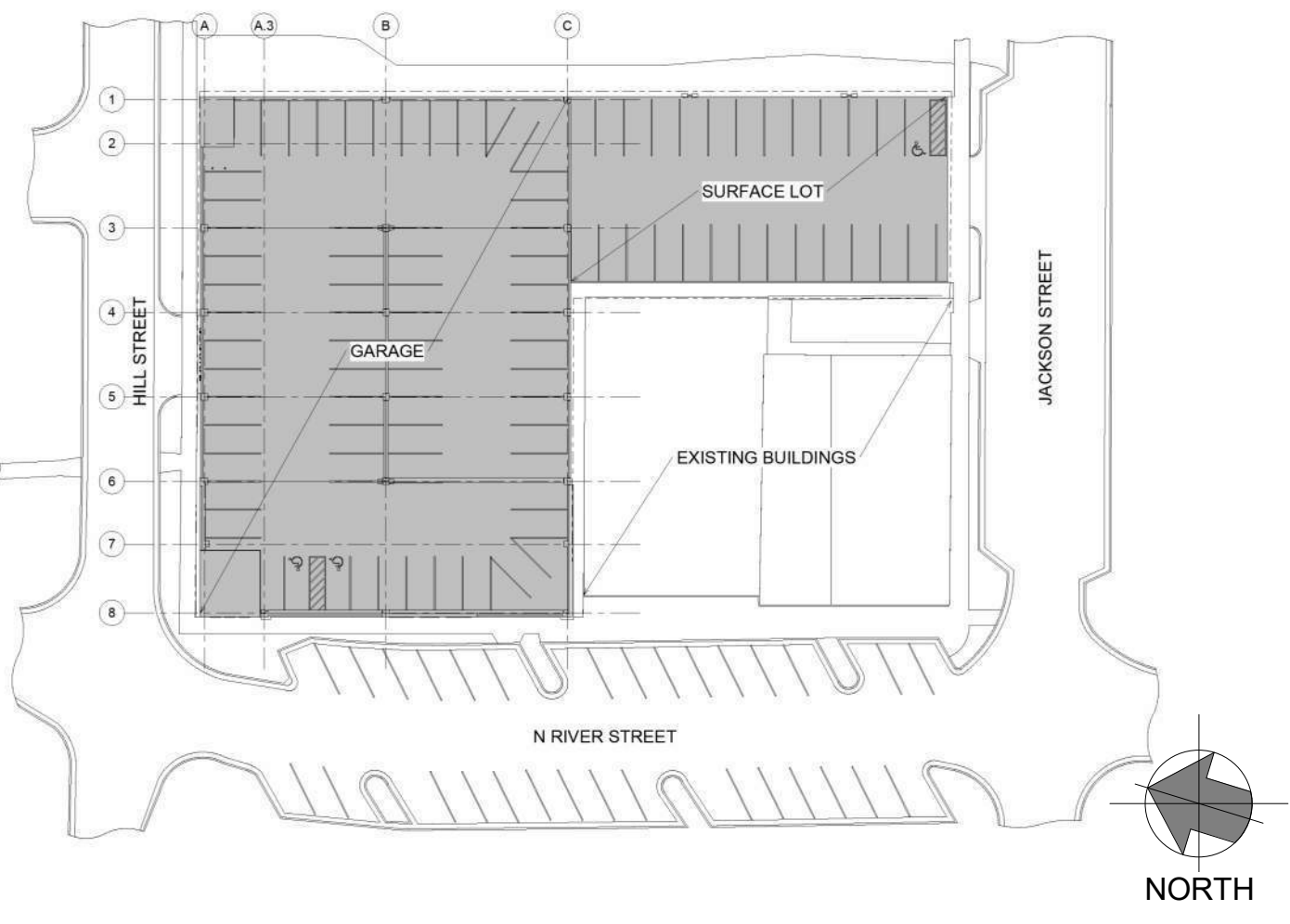
Project Location



Perspective View from the Intersection of River Street and Hill Street



Project Location Plan



Project Key Plan

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Exhibit G

GENERAL NOTES

1. THESE NOTES APPLY TO ALL SHEETS OF THESE CONTRACT DOCUMENTS.
2. CODES: THIS PROJECT SHALL FULLY COMPLY WITH ALL ADA/ADDAG REQUIREMENTS. USE OF REFERENCE CODES: WHERE THE SPECIFIC DATE OR ISSUE OF A CODE IS NOT INCLUDED WITH THE REFERENCE, THE LATEST EDITION AND AMENDMENTS ADOPTED, PUBLISHED AND AVAILABLE TO THE PUBLIC UPON THE SUBMISSION OF DOCUMENTS FOR BUILDING PERMIT SHALL APPLY, EXCEPT WHERE OTHERWISE REQUIRED BY THE BUILDING CODE. WHERE THE LATEST EDITION OF A REFERENCE CODE HAS NOT BEEN INCORPORATED INTO THE BUILDING CODE, THE ISSUE REFERENCED IN THE BUILDING CODE SHALL GOVERN, UNLESS THE CURRENT ISSUE OF THE REFERENCE CODE IS ACCEPTABLE TO THE GOVERNING AUTHORITY. SEE APPLICABLE CODE NOTES THIS SHEET FOR ADDITIONAL CODE INFORMATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS AT THE SITE BEFORE CONSTRUCTION IS STARTED.
4. DO NOT SCALE DRAWINGS.
5. ALL BUILDING DIMENSIONS INDICATED ARE TO COLUMN CENTER LINE, TO FACE OF CONCRETE OR TO FACE OF MASONRY, UNLESS OTHERWISE NOTED.
6. GRADE AND FLOOR ELEVATIONS ARE INDICATED ON THE ARCHITECTURAL PLANS. ELEVATIONS ARE GIVEN TO THEORETICAL TOP OF ARCHITECTURAL MATERIAL, GRADE SLAB OR STRUCTURAL CONCRETE SLAB ELEVATION AT GRIDLINE INTERSECTION OR POINT SHOWN AND IS EXCLUSIVE OF ANY CURBS, FLOWLINES OR CANTS. ELEVATIONS NOT SHOWN ARE STRAIGHT LINE INTERPOLATIONS BETWEEN POINTS SHOWN. SEE SHEET CIVIL DRAWINGS FOR DATUM INFORMATION.
7. MINIMUM VERTICAL CLEARANCE SHALL BE 8'-2". CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING MINIMAL VERTICAL CLEARANCE PRIOR TO AND AFTER CONSTRUCTION.
8. UPON COMMENCEMENT OF THE WORK, CONTRACTOR SHALL INSTALL SURVEY MARKERS ON ALL CORNERS OF THE LEGALLY DESCRIBED PROPERTY FOR INSPECTION BY THE CITY OF EAST DUNDEE, ILLINOIS.
9. CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS IN THE PUBLIC WAY NECESSITATED BY THE WORK AND FOR DAMAGE TO ON-SITE OR ADJACENT PROPERTIES CAUSED BY THE CONTRACTOR DURING THE PERFORMANCE OF THE WORK.
10. ALL EXTERIOR STREET AND SIDEWALK PAVING SHALL CONFORM TO ALL STANDARDS AND REQUIREMENTS OF THE VILLAGE OF EAST DUNDEE AND STATE OF ILLINOIS.
11. SIZES GIVEN ON DOOR SCHEDULE ARE DOOR DIMENSIONS: ALLOWANCES FOR THRESHOLDS, ETC. SHALL BE ADDED TO DOOR SIZE. REINFORCE ALL DOORS AND FRAMES FOR SCHEDULED HARDWARE. SEE SPECIFICATIONS.
12. ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.
13. ALL CONTRACTORS SHALL COORDINATE ALL UTILITIES, PIPE SLEEVES, STUB-UPS AND ALL WALL & FOOTING PENETRATIONS WITH THE STRUCTURAL, CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS.
14. INFORMATION REGARDING EXISTING SITE CONDITIONS WAS OBTAINED FROM A SURVEY DATED JANUARY 9, 2023 PREPARED UNDER SEPARATE CONTRACT BY:
- NAME: GERALD L. HEINZ & ASSOCIATES, INC.

STREET: 206 N RIVER STREET

CITY: EAST DUNDEE, ILLINOIS 60118

PHONE: 847-426-4535
15. THE OWNER, ARCHITECT, ENGINEER, CONSULTANTS TO THE ARCHITECT, OR CONSULTANTS TO THE ENGINEER ARE NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE SURVEY INFORMATION.
16. INFORMATION REGARDING EXISTING SUBSURFACE CONDITIONS WAS OBTAINED FROM A GEOTECHNICAL REPORT DATED APRIL 7, 2023 AND ADDENDUM LETTER DATED APRIL 4, 2024 PREPARED UNDER SEPARATE CONTRACT BY:
- NAME: SOIL AND MATERIAL CONSULTANTS, INC.

STREET: 8 W COLLEGE DR SUITE C

CITY: ARLINGTON HEIGHTS, IL 60004

PHONE: 847-870-0544
17. THE OWNER, ARCHITECT, ENGINEER, CONSULTANTS TO THE ARCHITECT, OR CONSULTANTS TO THE ENGINEER ARE NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE GEOTECHNICAL REPORT.

ABBREVIATIONS

@	AT
ACI	AMERICAN CONCRETE INSTITUTE
ACT	ACOUSTICAL TILES
AD	AREA DRAINS
ADA	AMERICANS WITH DISABILITIES
ADAAG	ADA ACCESSIBILITIES GUIDELINES
ADD	ADDITIONAL
ADJ	ADJACENT
AFF	ABOVE FINISH FLOOR
AGGR	AGGREGATE
A/C	AIR CONDITION
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
AL ALUM	ALUMINUM
ALT	ALTERNATE
ANOD	ANODIZED
APPD	APPROVED
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS
AVE	AVENUE
B/	BOTTOM OF
BC	BOTTOM OF CURBS
BD	BOARD
BIT	BITUMINOUS
BIT PAVT	BITUMINOUS PAVMENT
BLDG	BUILDING
BLK	BLOCK
BM	BEAM
BOTT	BOT BOTTOM
BRG	BEARING
BS	BOTH SIDES
BSMT	BASEMENT
BTWN	BETWEEN
CB	CATCH BASIN
COND	CONDUIT
CAB	CABINET
CEM	CEMENT
CER	CERAMIC
CI	CAST IRON
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CKT	CIRCUIT
CL	CENTER LINE
CLG	CEILING
CLOS	CLOSET
CMU	CONCRETE MASONRY UNITS
CO	COMPANY
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
CORR	CORRIDOR
CPT	CARPET
CRS	COURSE
CSK	COUNTERSINK
CW	COLD WATER
DBL	DOUBLE
DD	DECK DRAIN
DEPT	DEPARTMENT
DIA	DIAMETER
DIM	DIMENSION
DL	DEAD LOAD
DN	DOWN
DO	DITTO
DS	DOWN SPOUT
DTL	DETAIL
DWG	DRAWING
DWLS	DOWELS
EA	EACH
EF	EACH FACE
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EMERG	EMERGENCY
EQ	EQUAL
EQUIP	EQUIPMENT
EQUIV	EQUIVALENT
EW	EACH WAY
EWI	ELECTRIC WALL HEATER
EXH	EXHAUST
EXIST	EXISTING
EXP	EXPANSION
EXP JT	EXPANSION JOINT
EXT	EXTERIOR
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FHC	FIRE HOSE CABINET
FIN	FINISHED
FL FLR	FLOOR
FLOUR	FLUORESCENT
FSP	FIRE STAND PIPE
FTG	FOOTING
FT (')	FEET
FURR	FURRING
FUT	FUTURE
G	GUTTER
GA	GAUGE
GALV	GALVANIZED
GB	GRADE BEAM
GC	GENERAL CONTRACTOR
GEN	GENERAL
GL	GLASS
GPM	GALLONS PER MINUTE
GRD	GRADE
GYP	GYPSUM
GYP BD	GYPSUM BOARD
HDCP	HANDICAPPED
HDR	HEADER
HDW	HARDWARE
HK	HOOK
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HIGH POINT
HPS	HIGH PRESSURE SODIUM
HT HGT	HEIGHT
HTR	HEATER
HVAC	HEATING VENTILATING AND AIR CONDITIONING
HW	HOT WATER
HWY	HIGHWAY
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
IN (")	INCH
INFO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
INV	INVERT
JST	JOIST
JT	JOINT

ABBREVIATIONS CONT.

K	KIPS
KD	KNOCKED
KO	KNOCKOUT
KSF	KIPS PER SQUARE FOOT
KSI	KIPS PER SQUARE INCH
KW	KILOWATT
LAM	LAMINATED
LAV	LAVORATORY
LDR	LEADER
LH	LEFT HAND
LL	LIVE LOAD
LP	LIGHT POLE
LP	LOW POINT
LT	LIGHT
LTG	LIGHTING
MAX	MAXIMUM
MECH	MECHANICAL
MED	MEDIUM
MEZZ	MEZZANINE
MFG	MANUFACTURER
MH	MANHOLE
MHA	METAL HALIDE
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTD	MOUNTED
MTG	MOUNTING
NEC	NATIONAL ELECTRICAL CODE
NIC	NOT IN CONTRACT
NO (#)	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD DIA (ø)	OUTSIDE DIAMETER
OFC	OFFICE
OPNG	OPENING
OPP	OPPOSITE
OH	OPPOSITE HAND
PASS	PASSENGER
PH	PANIC HARDWARE
PL	PLATE
P	PROPERTY LINE
PLWD	PLYWOOD
PNL	PANEL
PPT	PARAPET
PSI	POUNDS PER SQUARE INCH
PT	POST-TENSIONED
PTD	PAINTED
PTN	PARTITION
PJF	PREMOLDED JOINT FILLER
R RAD	RADIUS
R	RISERS
RB	ROOF BEAM
RD	ROOF DRAIN
RECEPT	RECEPTACLE
REINF	REINFORCING
REQD	REQUIRED
RET	RETAINING
RF	ROOF
RH	RIGHT HAND
RM	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY
SCH	SCHEDULE
SECT	SECTION
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
SK	SKETCH
SL	SLAB
SN	SINGLE
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
ST	STREET
STD	STANDARD
STL ST	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SW	SWITCH
T	TREADS
T & B	TOP AND BOTTOM
T/BM	TOP OF BEAM
TC	TOP OF CURB
TEL	TELEPHONE
TEM	TEMPERED
TEMP	TEMPERATURE
TH THK	THICK
TO T/	TOP OF
TOIL	TOILET
TOS T/SL	TOP OF SLAB
TOS T/S	TOP OF STEEL
TOW T/W	TOP OF WALL
T/PC	TOP OF PILE CAP
TYP	TYPICAL
UL	UNDERWRITERS LABORATORIES
UON	UNLESS OTHERWISE NOTED
UNO	UNLESS NOTED OTHERWISE
V	VOLTS
WC	WATER CLOSET
WD	WOOD
W/O	WITHOUT
WP	WEATHERPROOF
WWF	WELDED WIRE FABRIC
WWM	WELDED WIRE MESH

MATERIAL SYMBOLS

MATERIALS IN SECTION:

	COMPACTED EARTH
	PAVEMENT
	PRECAST CONCRETE
	CAST-IN-PLACE CONCRETE (U.N.O.)
	CONCRETE MASONRY UNITS
	BRICK
	METAL
	PLYWOOD
	WOOD/ ROUGH BLOCKING
	COMPACTED GRANULAR FILL
	BATT INSULATION
	RIGID INSULATION
	PRECAST PANEL

MATERIALS IN ELEVATION:

	CONCRETE
	CONCRETE MASONRY UNIT
	BRICK
	GLASS

REFERENCE SYMBOLS

	BUILDING ELEVATION REFERENCE
	SECTION REFERENCE
	DETAIL REFERENCE
	DOOR NUMBER
	KEY NOTE - OR WINDOW NUMBER
	REVISION
	COLUMN GRID
	ROOM NAME ROOM NUMBER
	INTERIOR ELEVATION
	FLOOR ELEVATION (IN FEET ABOVE DATUM)
	EXISTING GRADE ELEVATION TO REMAIN (IN FEET ABOVE DATUM)
	MATCH LINE
	SIGN AND MOUNTING
	INTERNATIONAL ACCESSIBILITY SYMBOL (ADA COMPLIANT)
	WORK OR CONTROL POINT

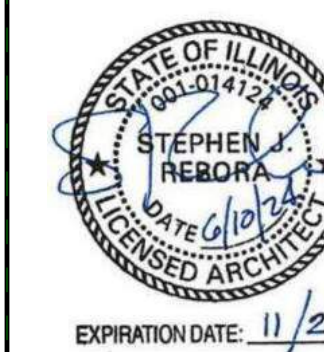
DESMAN



DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE

304 HILL STREET, EAST DUNDEE, IL 60118

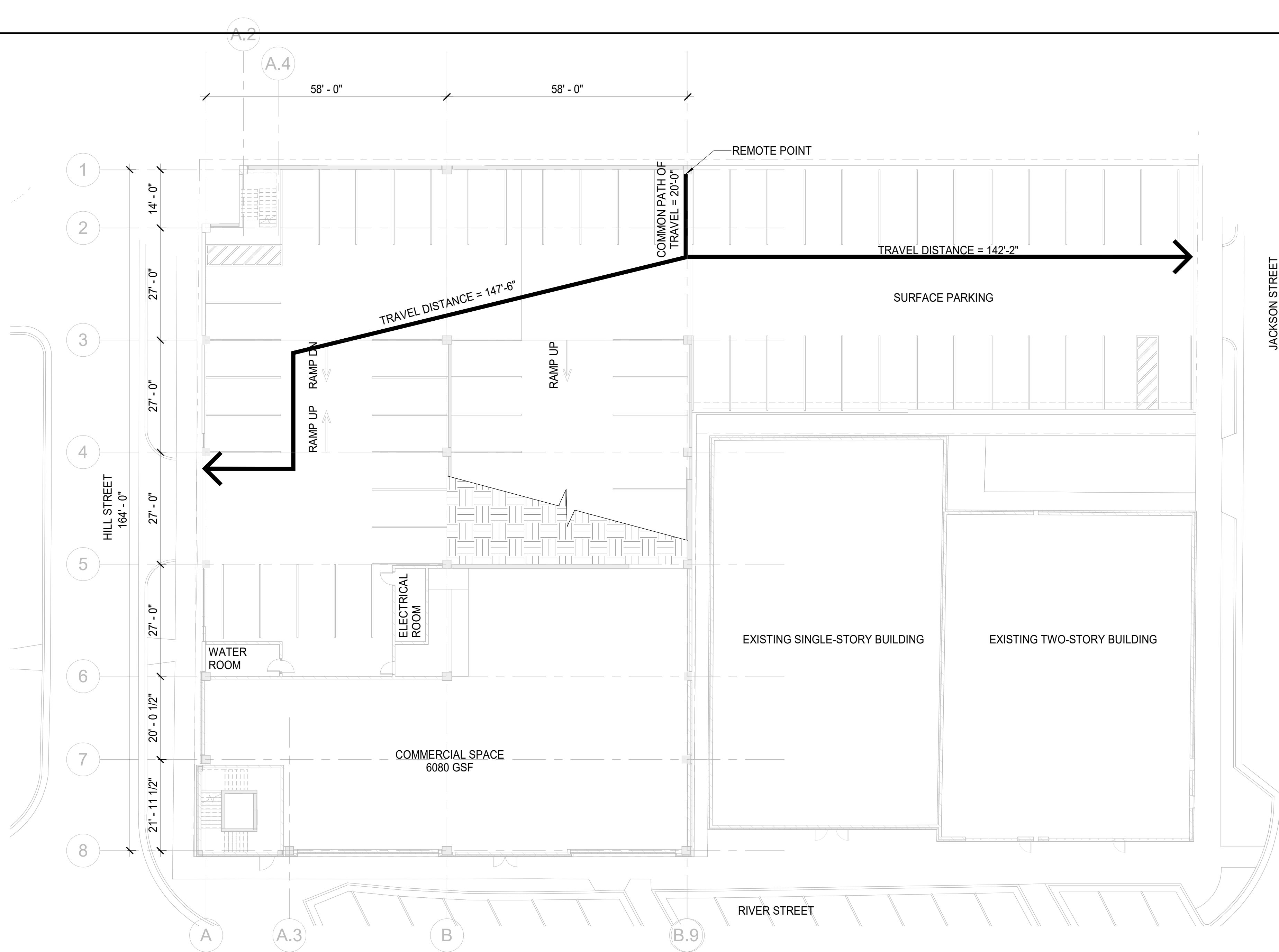


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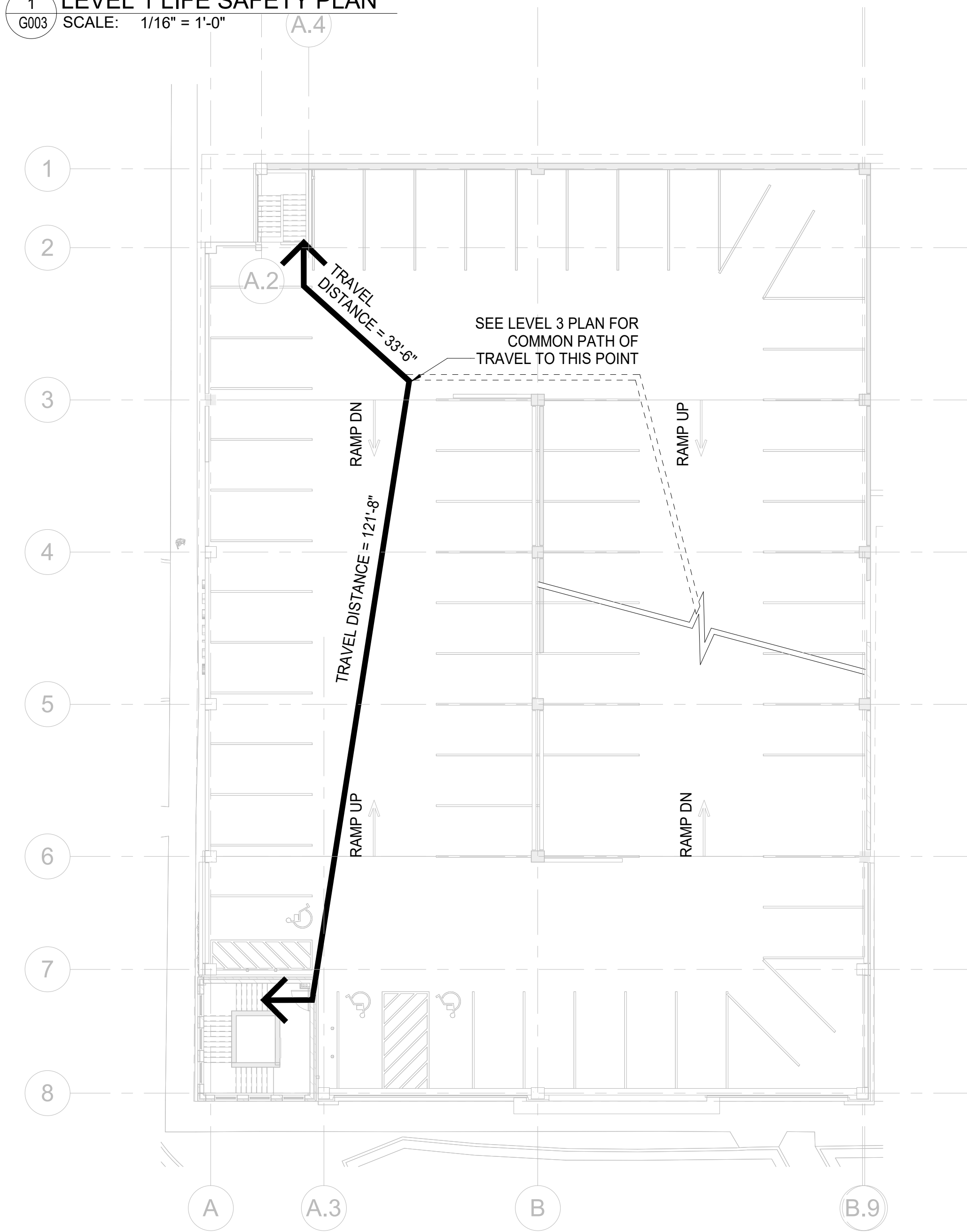
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DRAWING NO:
G001

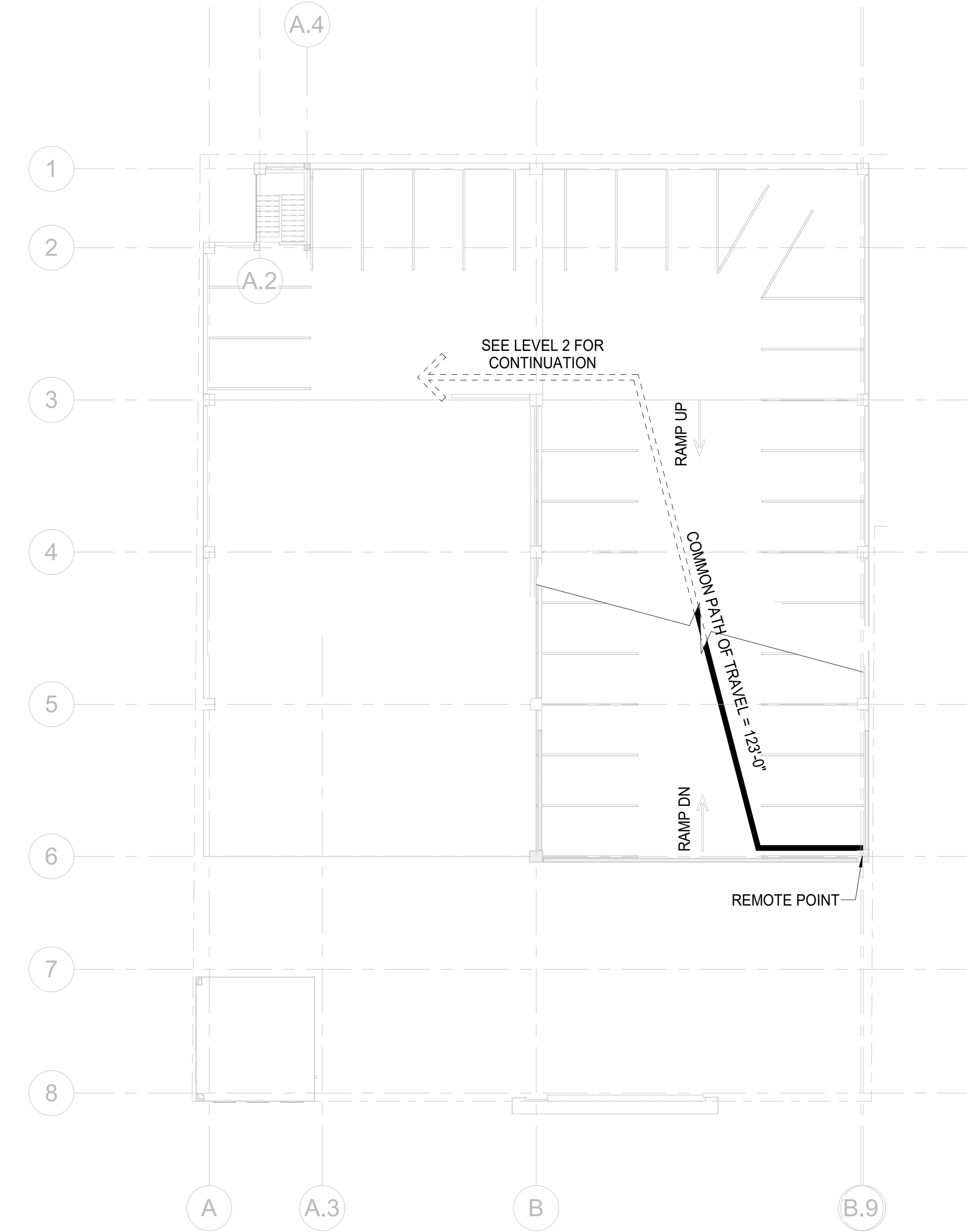
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DATE: ISSUED FOR PERMIT NO. 50-24102		
PROJECT NO: 50-24102		
DES. Designer	RWN. Author	CHK'D. Checker



1 LEVEL 1 LIFE SAFETY PLAN
G003 SCALE: 1/16" = 1'-0"



2 LEVEL 2 LIFE SAFETY PLAN
G003 SCALE: 1/16" = 1'-0"



3 LEVEL 3 LIFE SAFETY PLAN
G003 SCALE: 1/16" = 1'-0"

IBC 2006

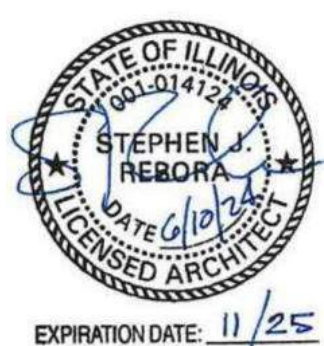
SECTION 1015 EXIT AND EXIT ACCESS DOORWAYS
1015.1 EXIT OR EXIT ACCESS DOORWAYS REQUIRED
TWO EXITS OR EXIT ACCESS DOORWAYS FROM ANY SPACE SHALL BE PROVIDED WHERE THE FOLLOWING CONDITION EXISTS:

2. THE COMMON PATH OF EGRESS TRAVEL EXCEEDS THE LIMITATIONS OF SECTION 1014.3.

SECTION 1014 COMMON PATH OF EGRESS TRAVEL
1014.3 COMMON PATH OF EGRESS TRAVEL
IN OCCUPANCIES OTHER THAN GROUPS H-1, H-2, AND H-3, THE COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 75 FEET. IN GROUP H-1, H-2, AND H-3 OCCUPANCIES, THE COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 25 FEET. FOR COMMON PATH OF EGRESS TRAVEL IN GROUP A OCCUPANCIES HAVING FIXED SEATING, SEE SECTION 1025.8.

EXCEPTIONS:
1. THE LENGTH OF A COMMON PATH OF EGRESS TRAVEL IN THE GROUP B, F, AND S OCCUPANCIES SHALL NOT BE MORE THAN 100 FEET, PROVIDED THAT THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1.

TOTAL MAXIMUM TRAVEL DISTANCE FOR S-2 OCCUPANCY (PARKING GARAGE) IS 400 FEET.



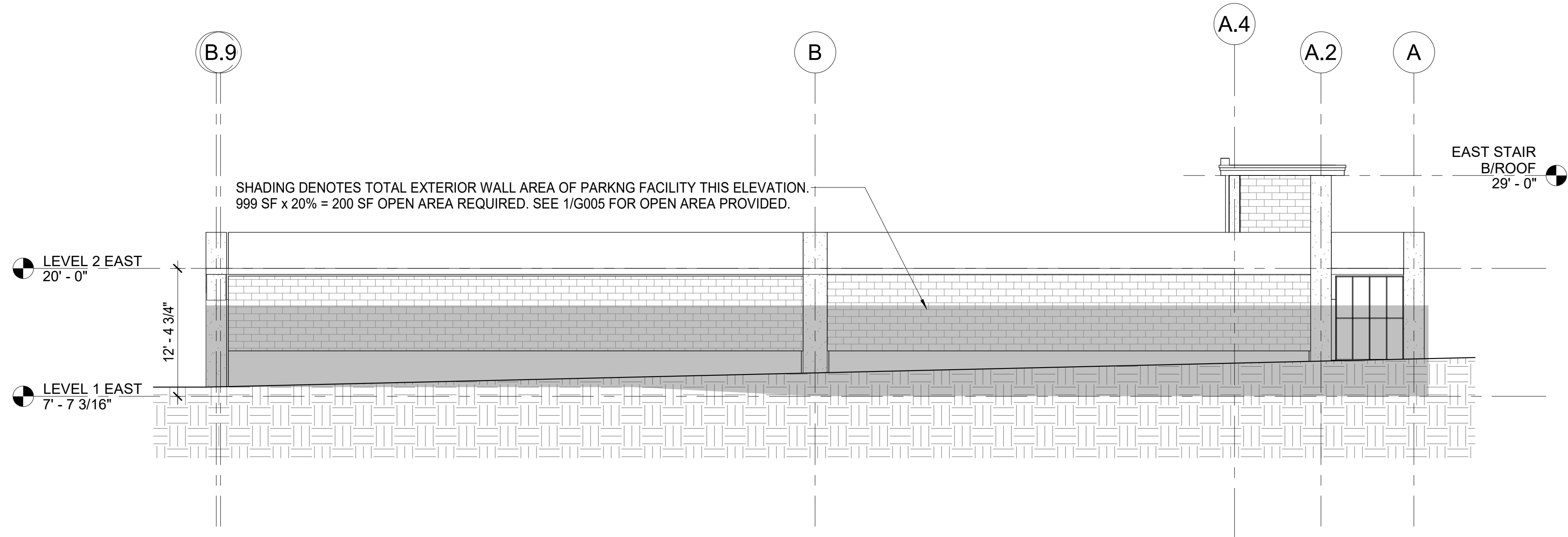
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NO.	DESCRIPTION	DATE
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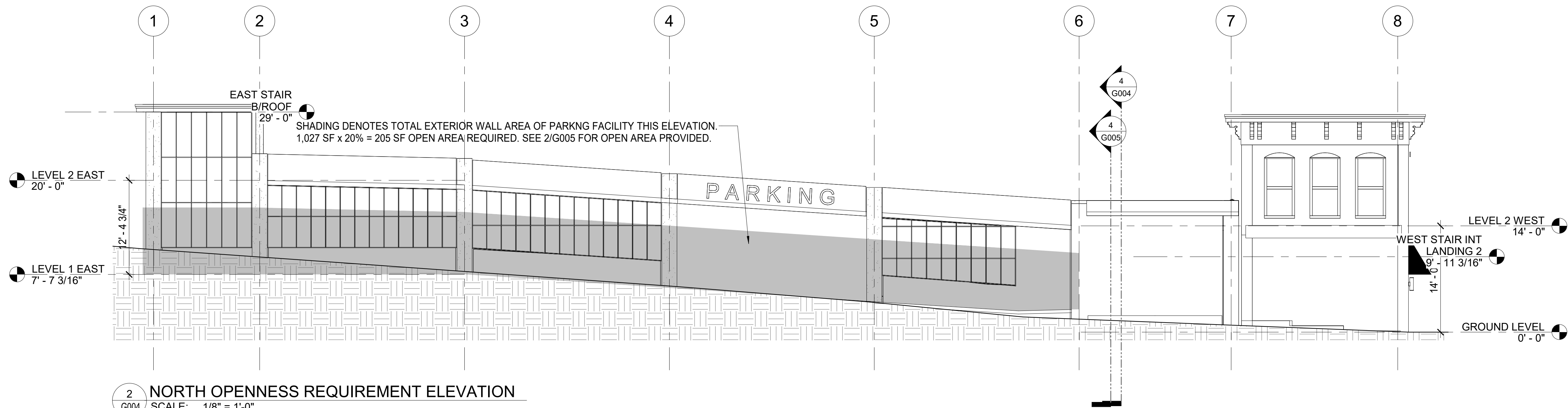
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DATE:	ISSUED FOR PERMIT
PROJECT NO:	50-24102

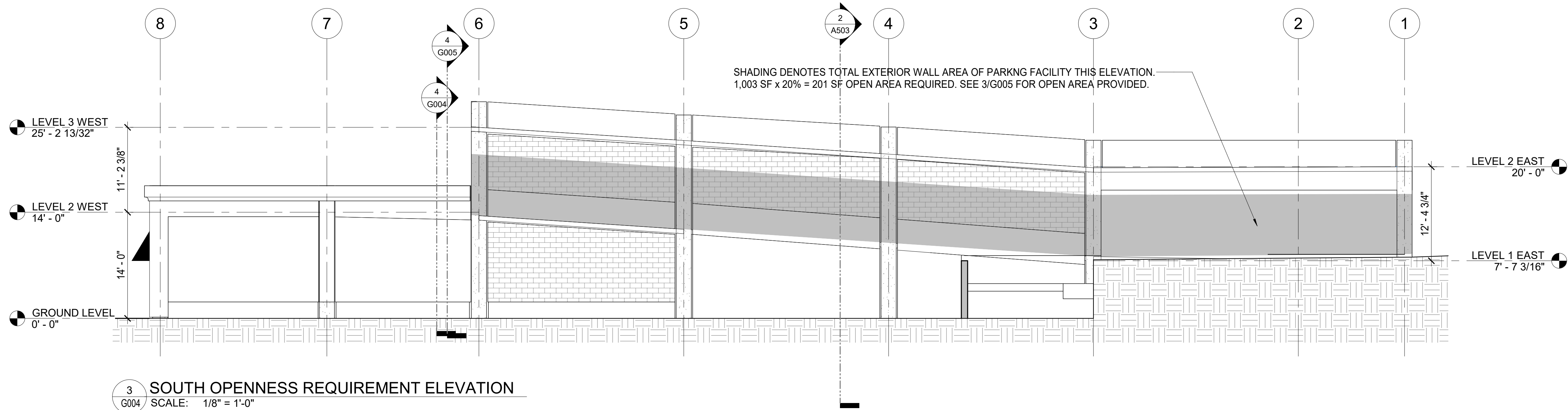
DES.	RWN.	CHK'D.
Designer	Author	Checker



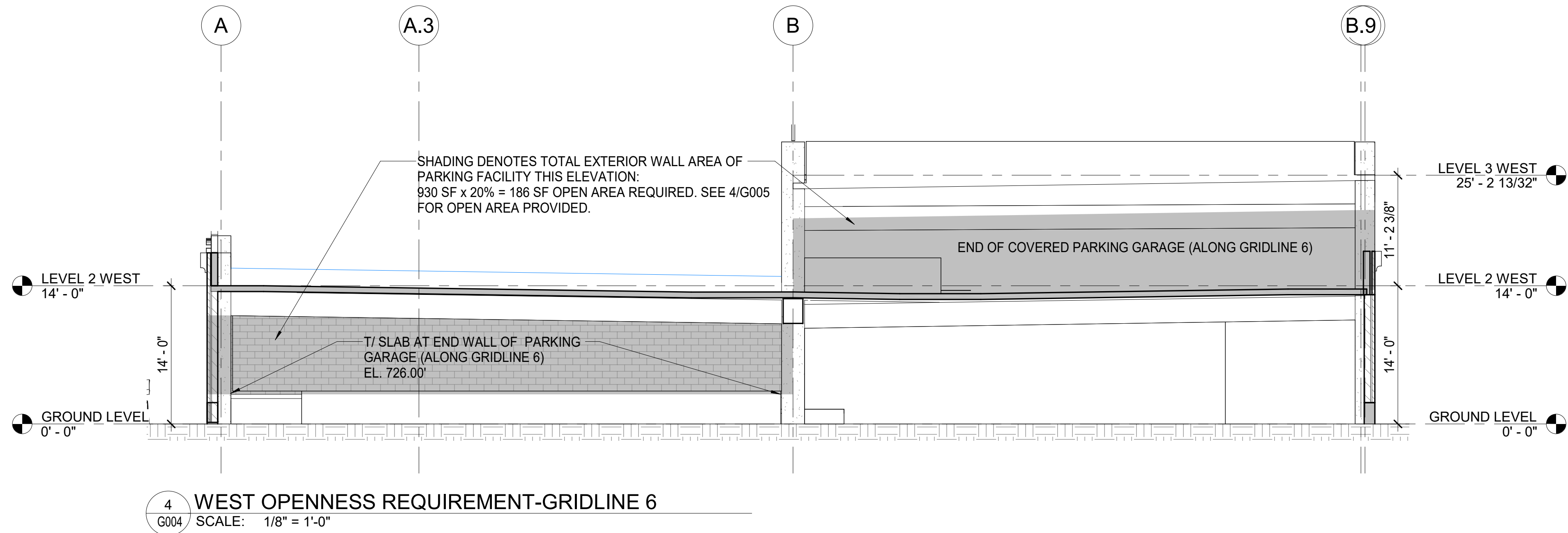
1 EAST OPENNESS REQUIREMENT ELEVATION
G004 SCALE: 1/8" = 1'-0"



2 NORTH OPENNESS REQUIREMENT ELEVATION
G004 SCALE: 1/8" = 1'-0"



3 SOUTH OPENNESS REQUIREMENT ELEVATION
G004 SCALE: 1/8" = 1'-0"



4 WEST OPENNESS REQUIREMENT-GRIDLINE 6
G004 SCALE: 1/8" = 1'-0"

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NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	06-10-24

DRAWING TITLE:
**OPENNESS
REQUIREMENT
ELEVATIONS**

DRAWING NO:

G004

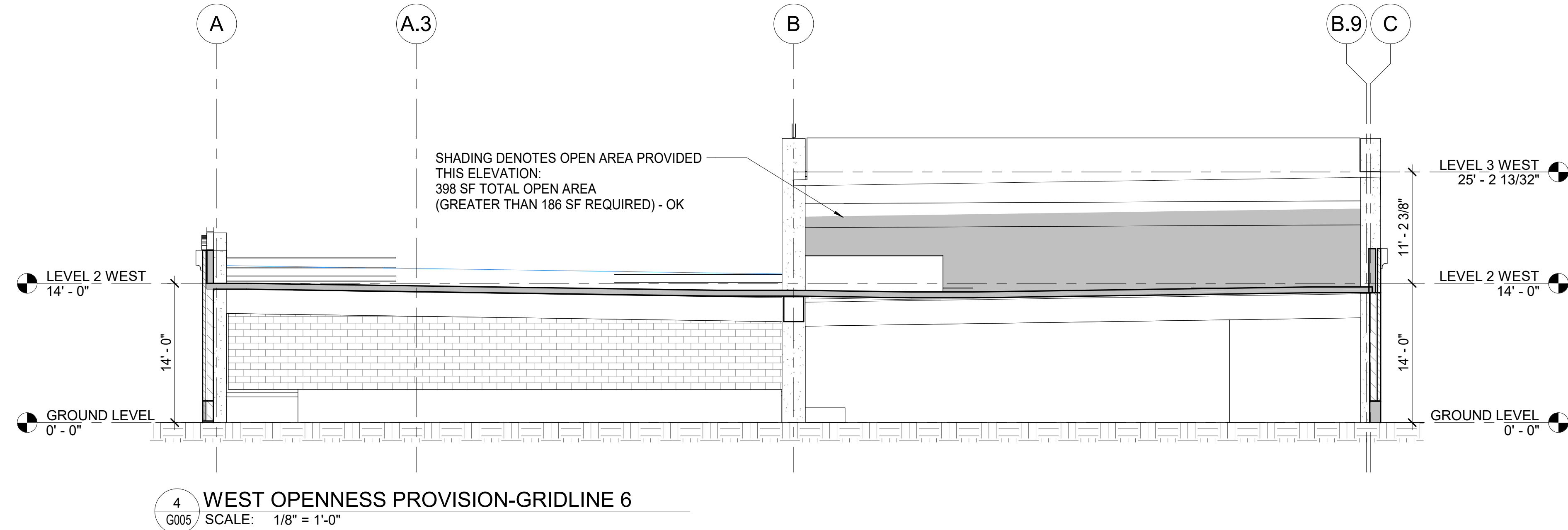
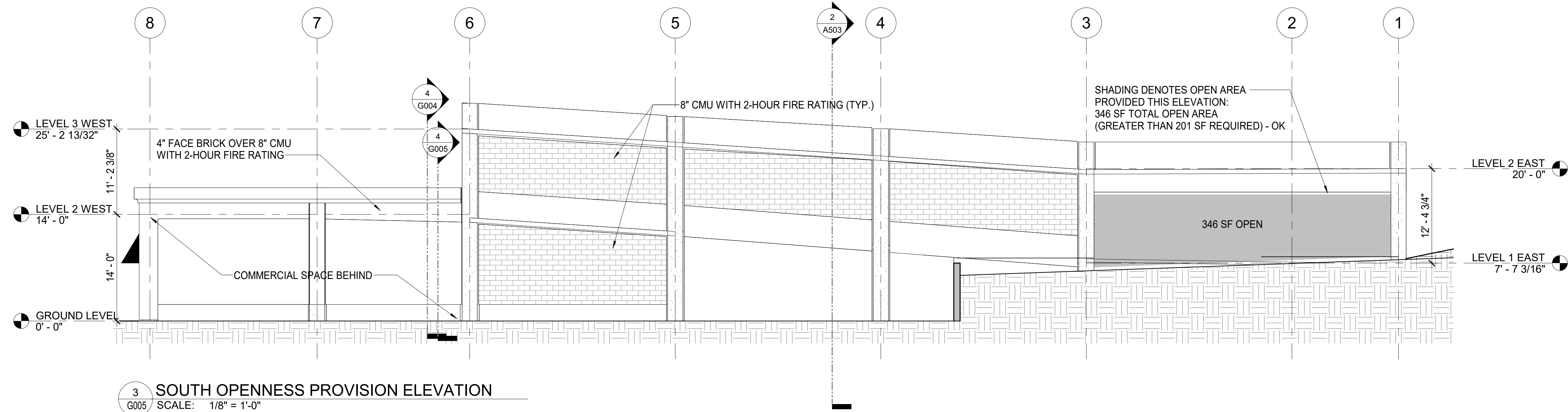
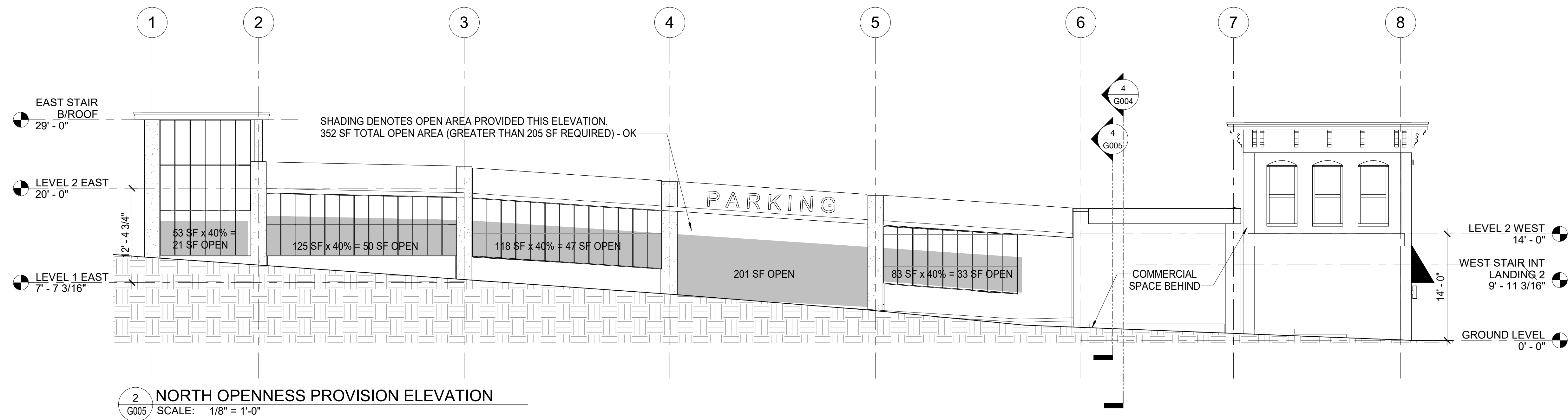
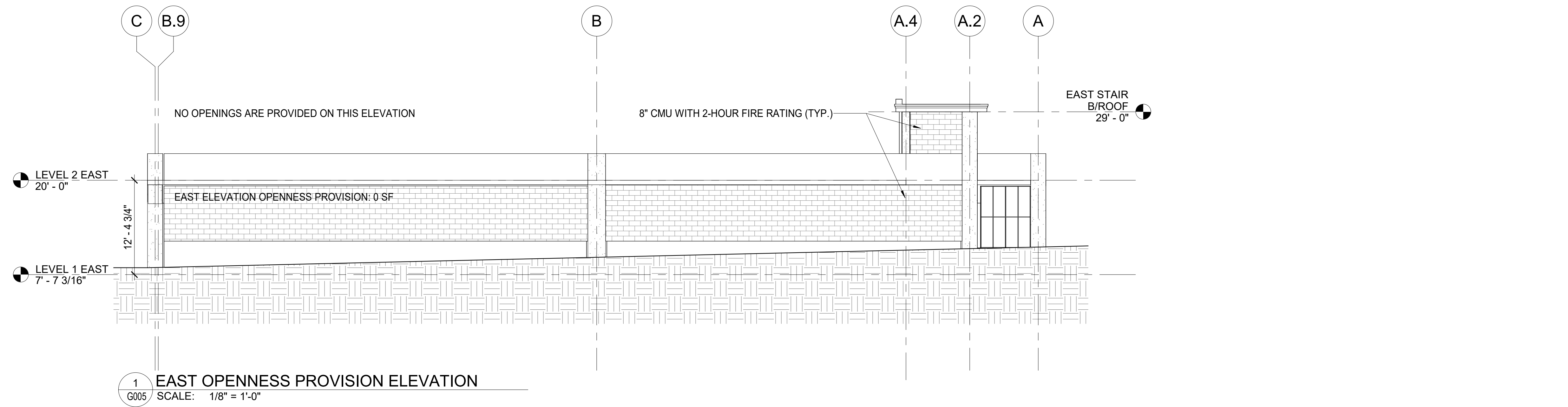
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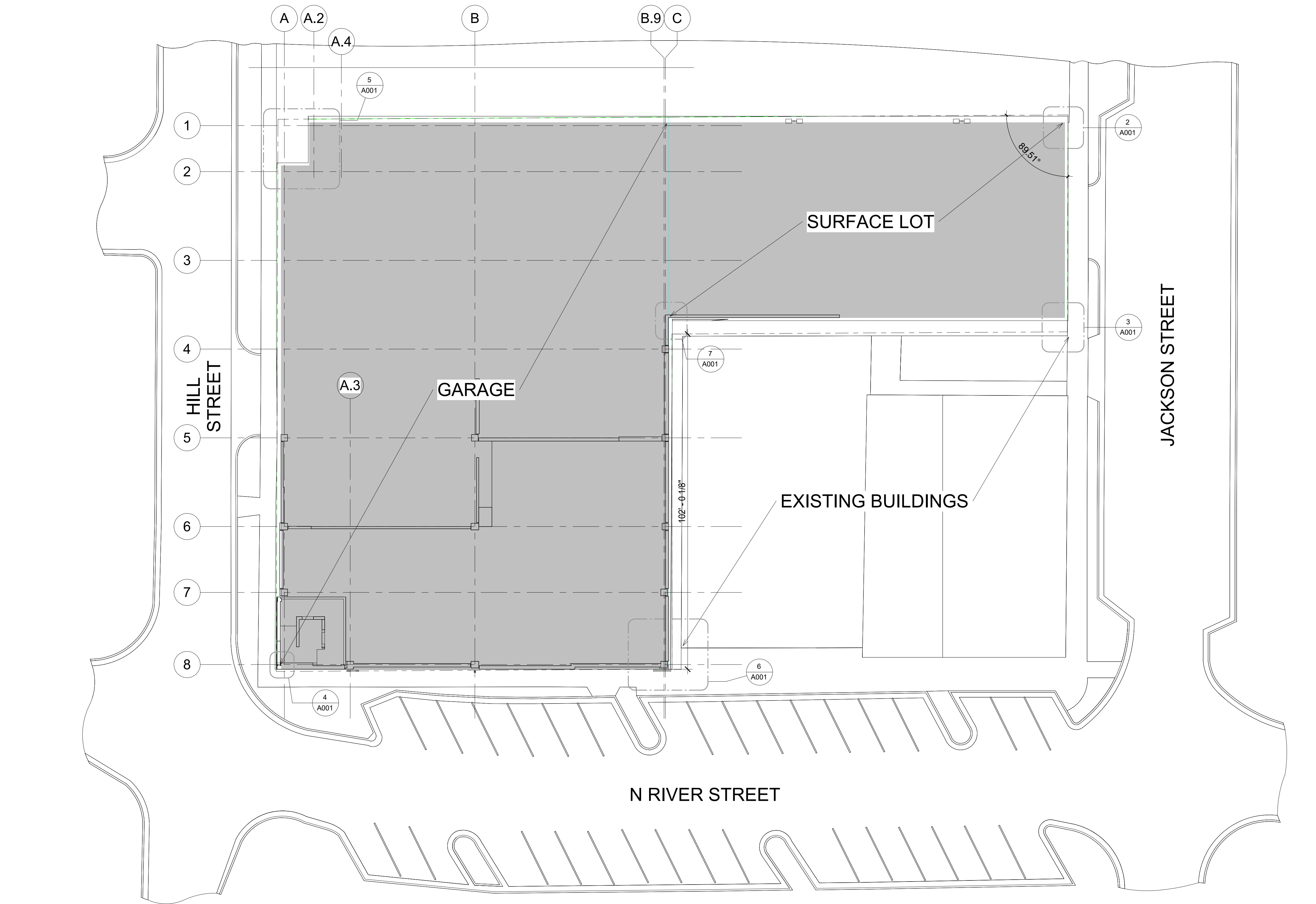
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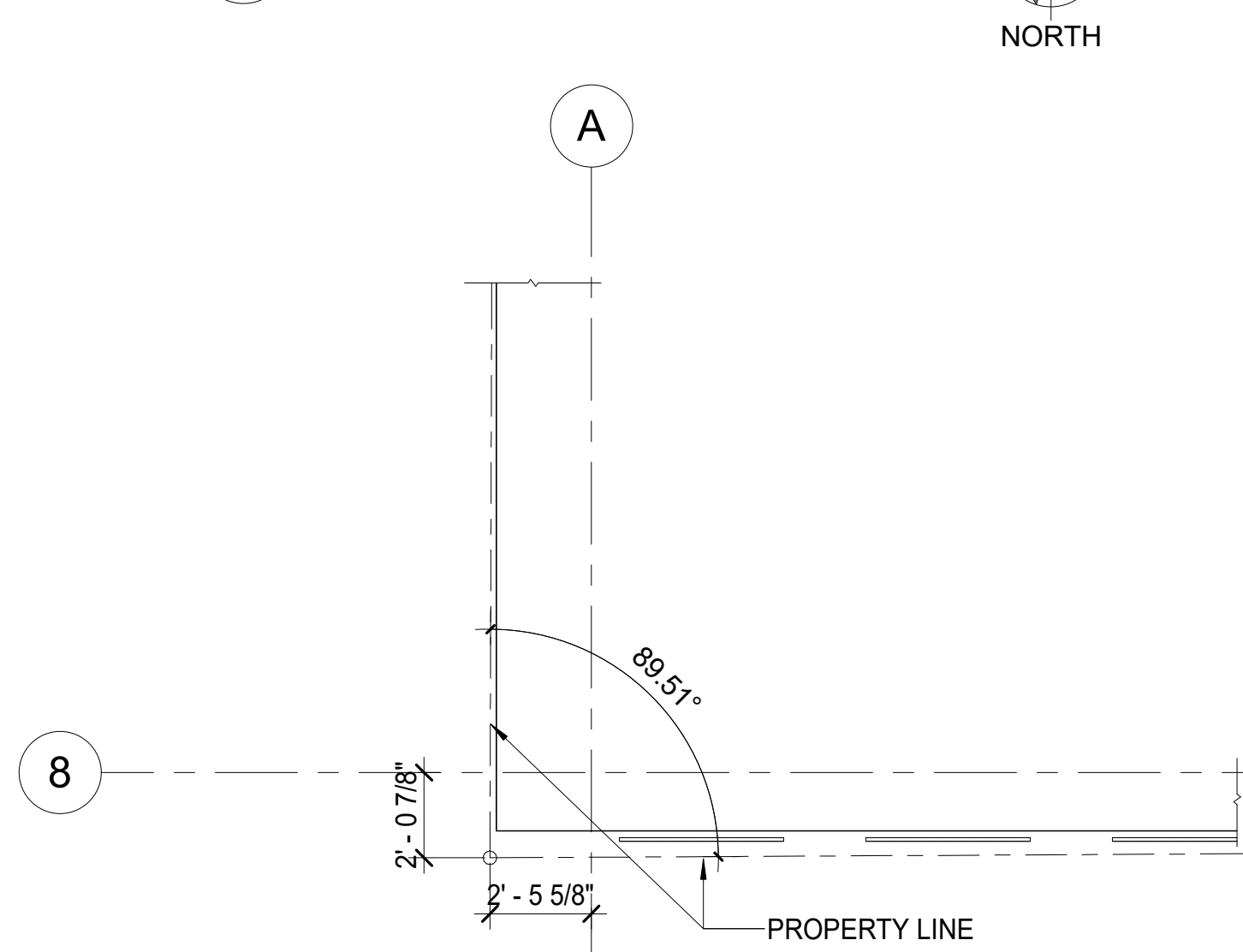
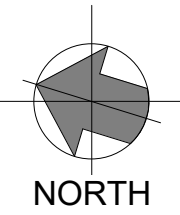
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DES.	RWN.	CHK'D.
Designer	Author	Checker

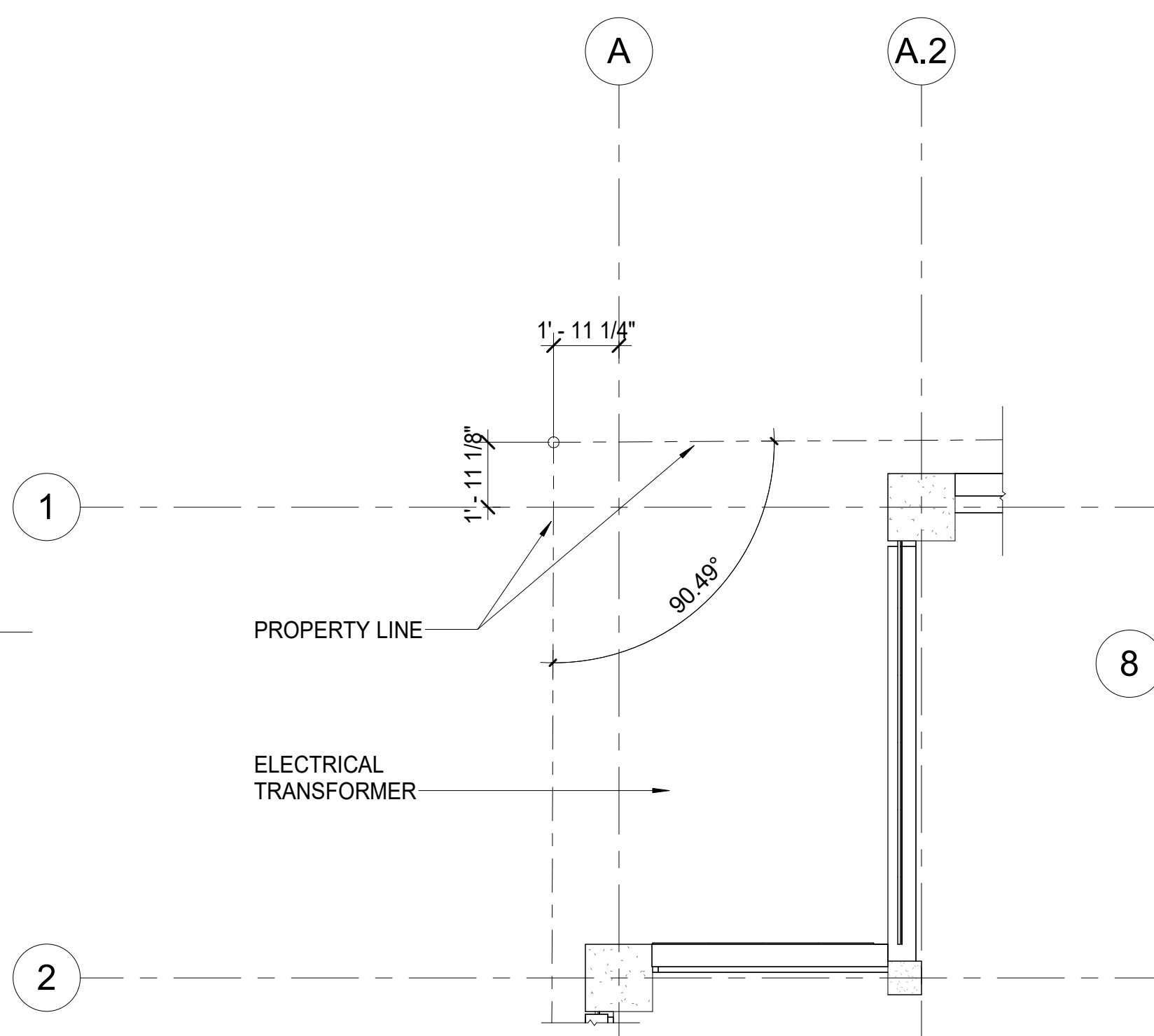




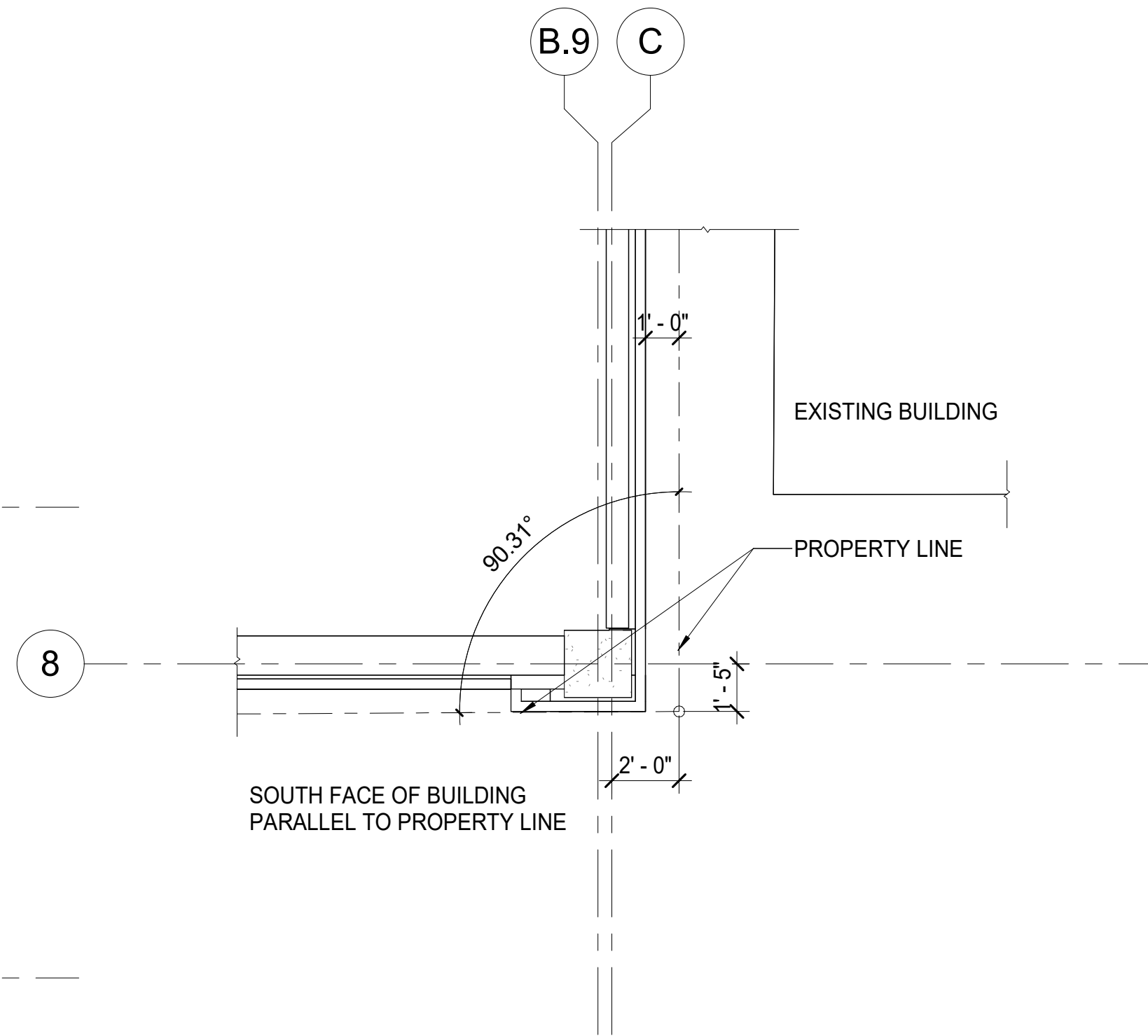
1 ARCHITECTURAL SITE PLAN
A001 SCALE: 1/16" = 1'-0"



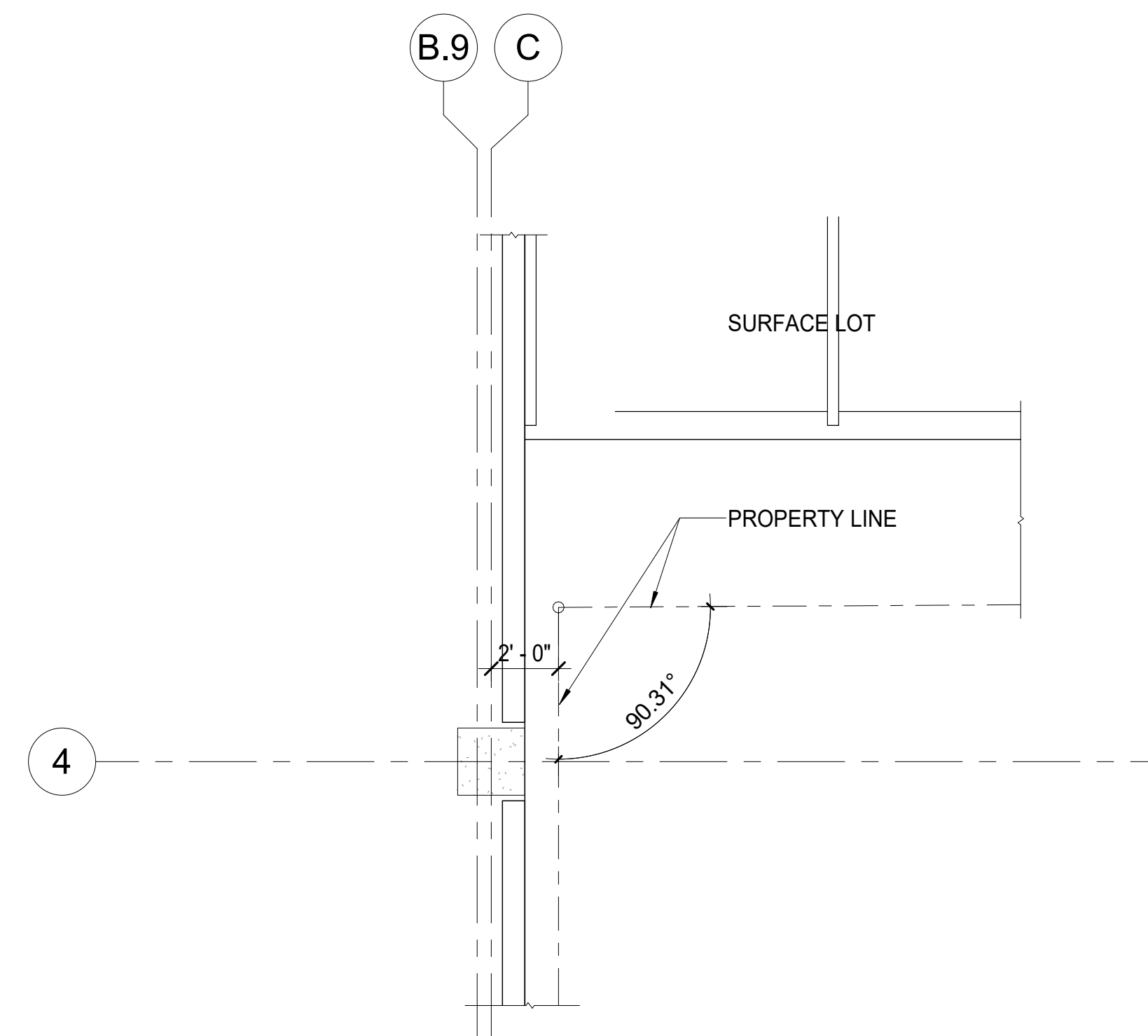
4 ENLARGED SITE PLAN-NORTHWEST CORNER
A001 SCALE: 1/4" = 1'-0"



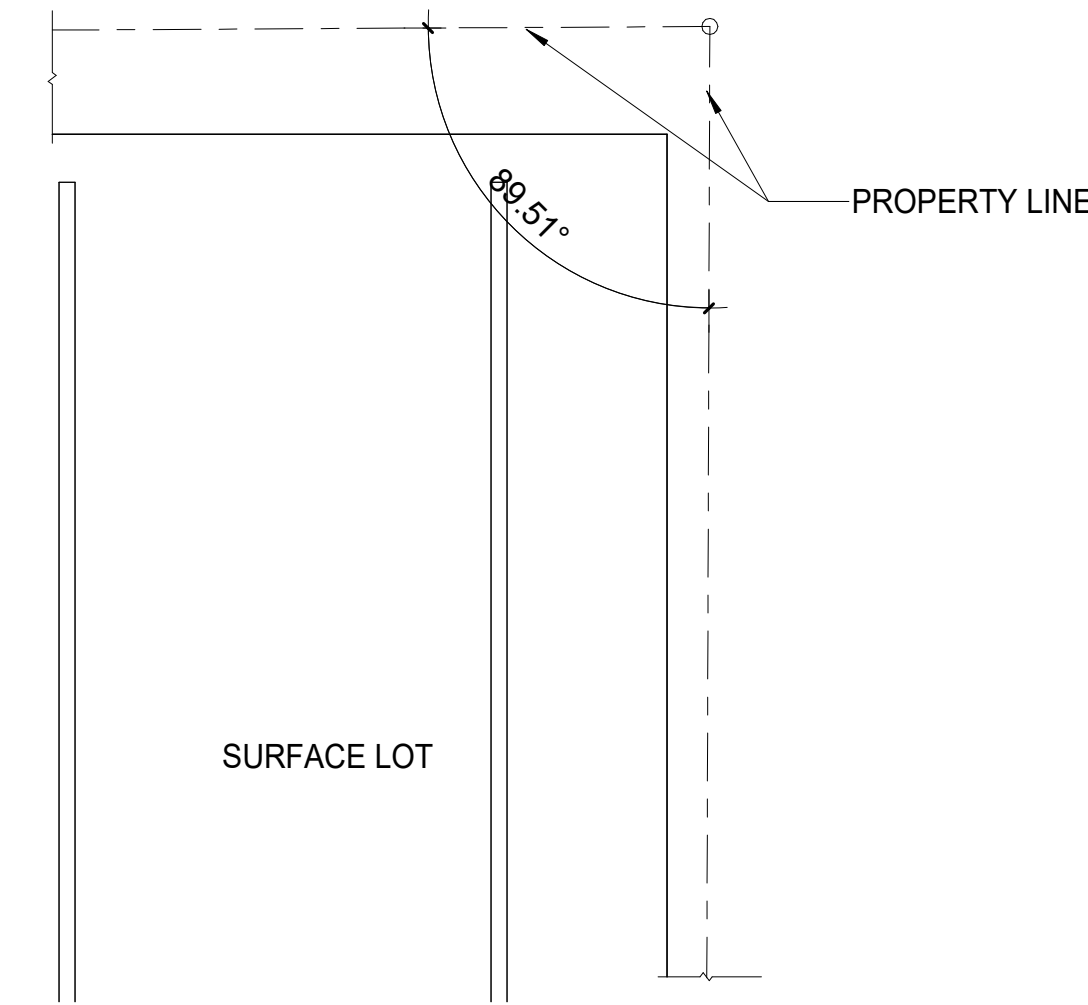
5 ENLARGED SITE PLAN-NORTHEAST CORNER
A001 SCALE: 1/4" = 1'-0"



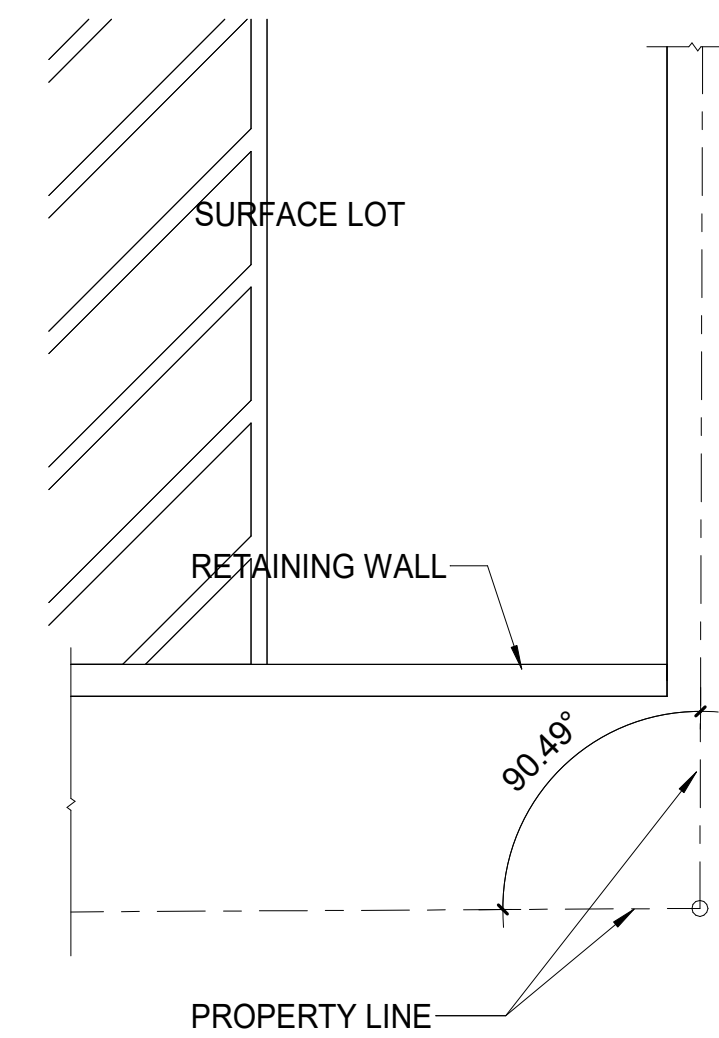
6 ENLARGED SITE PLAN-SOUTHWEST CORNER
A001 SCALE: 1/4" = 1'-0"



7 ENLARGED SITE PLAN-INTERIOR CORNER
A001 SCALE: 1/4" = 1'-0"



2 ENLARGED SITE PLAN-SOUTHEAST CORNER
A001 SCALE: 1/4" = 1'-0"

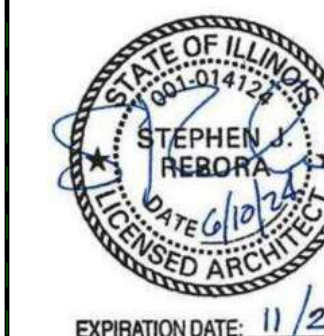


3 ENLARGED SITE PLAN-SOUTH CORNER
A001 SCALE: 1/4" = 1'-0"

DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE

304 HILL STREET, EAST DUNDEE, IL 60118



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NO.	DESCRIPTION	DATE
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DRAWING TITLE:

LEVEL 1 PLAN

1000

1000

1000

[illegible]

DRAWING NO:

A 101

A101

ARTS

SCALE: As indicated

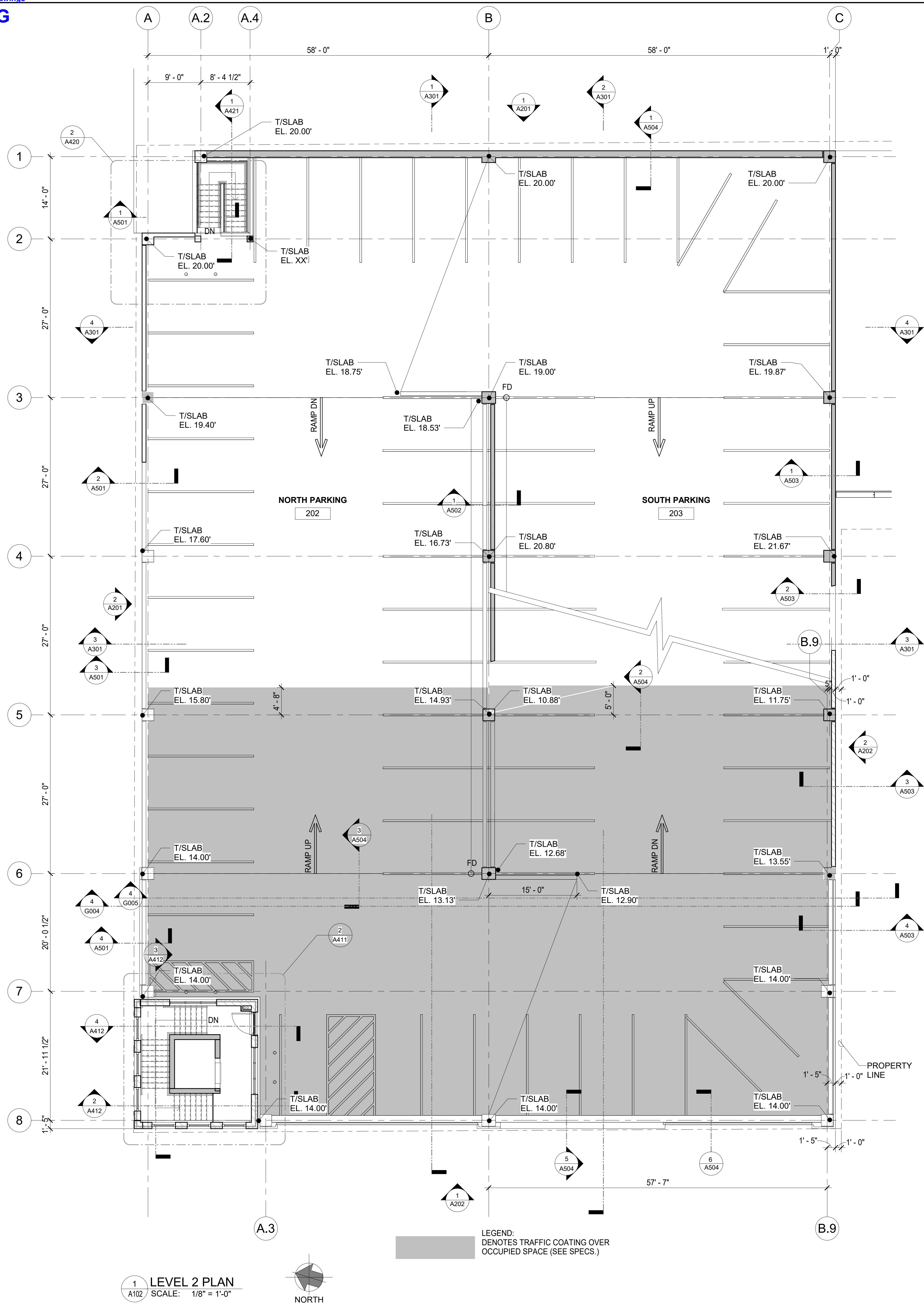
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DATE: 10/25/2011	PERMIT 06-10-24
PROJECT NO: 50-24100	

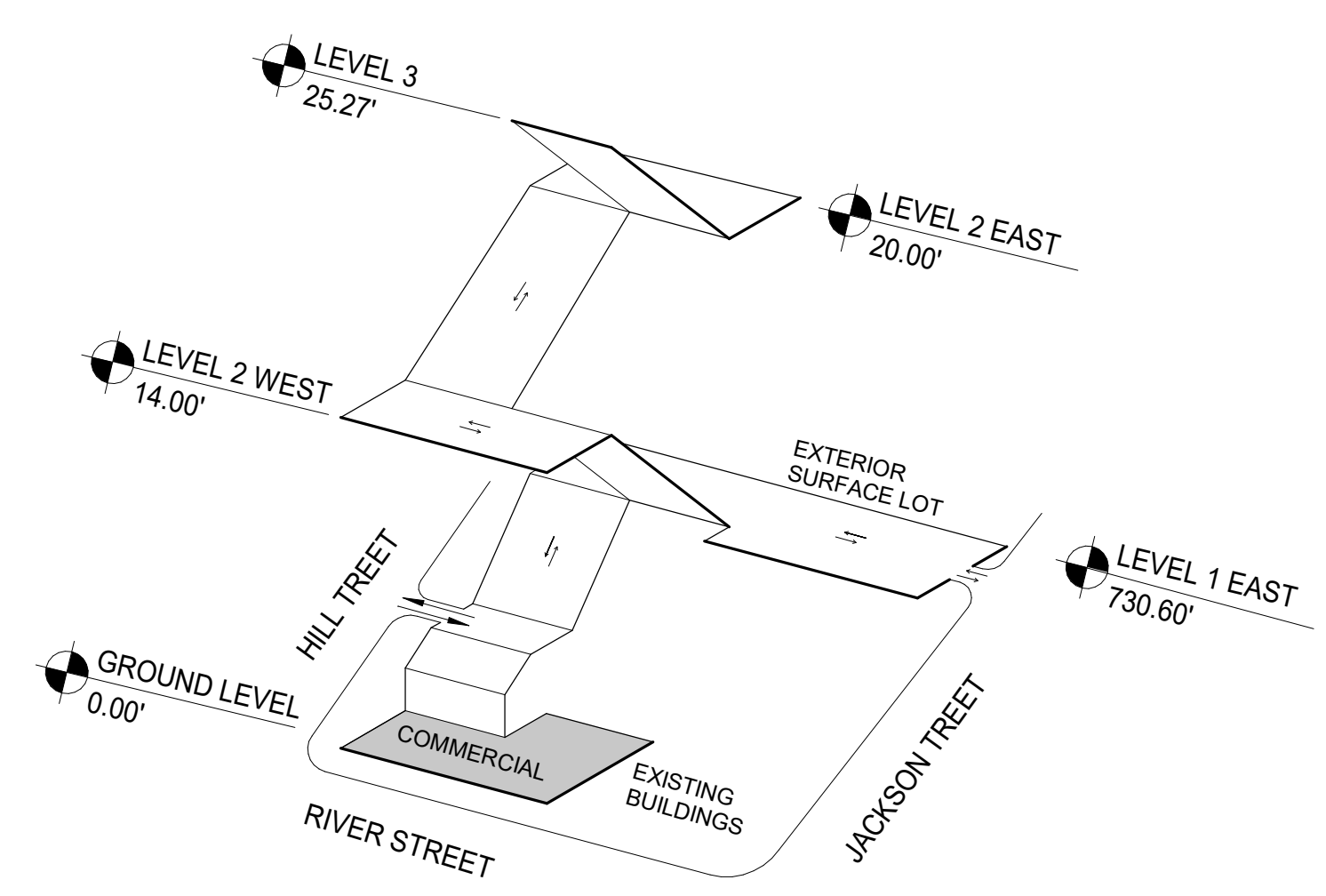
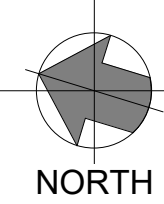
PROJECT NO. 50-24102		

DES.	RWN.	CHK'D.
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Designer	Author	Checker
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1 LEVEL 2 PLAN
A102 SCALE: 1/8" = 1'-0"



PARKING COUNT				
LEVEL	STND	ADA	EV	TOTAL
LEVEL 1	57	2	2	61
LEVEL 2	58	3	0	61
LEVEL 3	9	0	0	9
TOTAL	124	5	2	131

DESIGN

McHUGH 125 YEARS EST. 1897

DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE
304 HILL STREET, EAST DUNDEE, IL 60118

STATE OF ILLINOIS
STEPHEN J. REBORA
DATE 06/10/24
EXPIRATION DATE 11/25

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06-10-24

NO. DESCRIPTION DATE

DRAWING TITLE:
LEVEL 2 PLAN

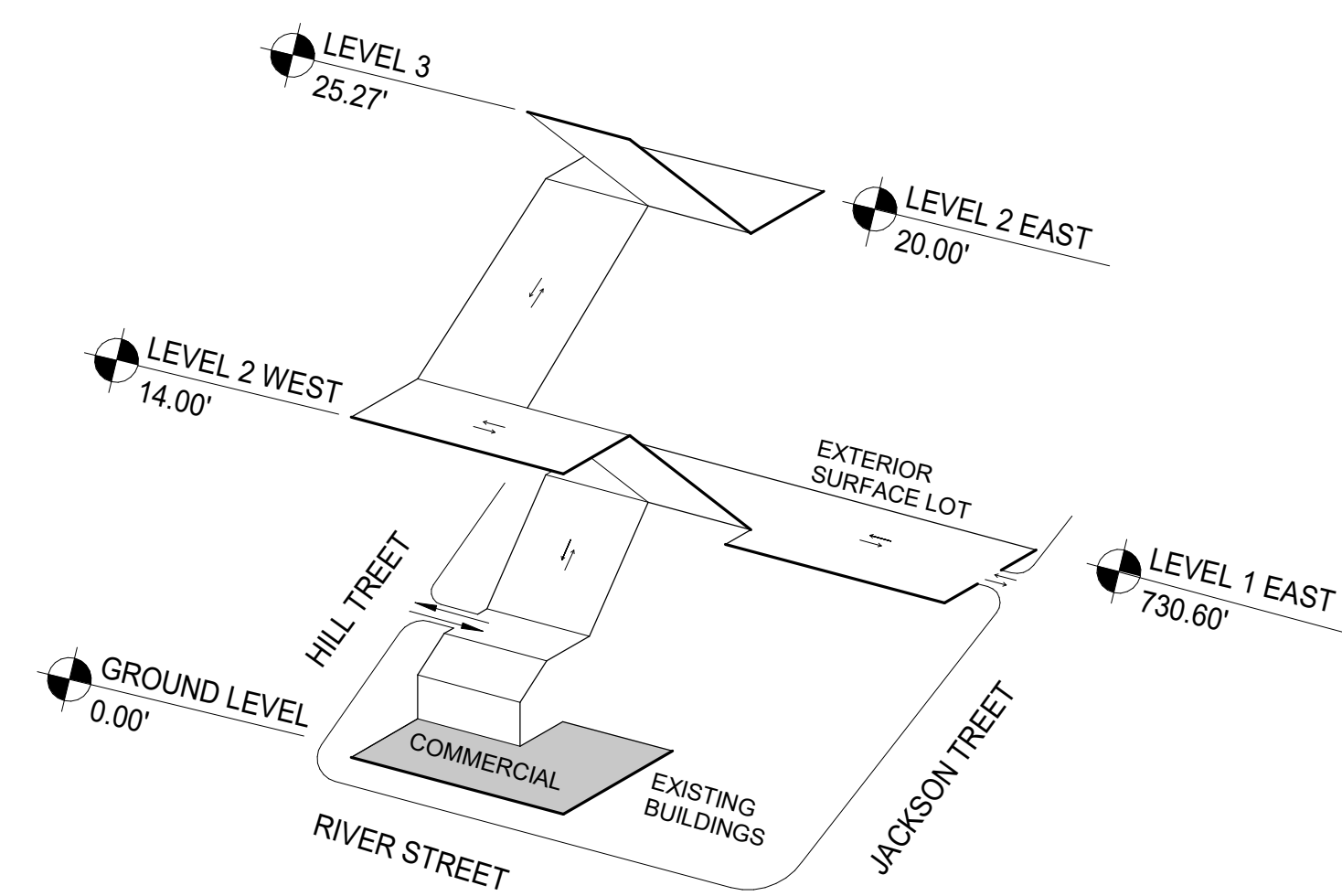
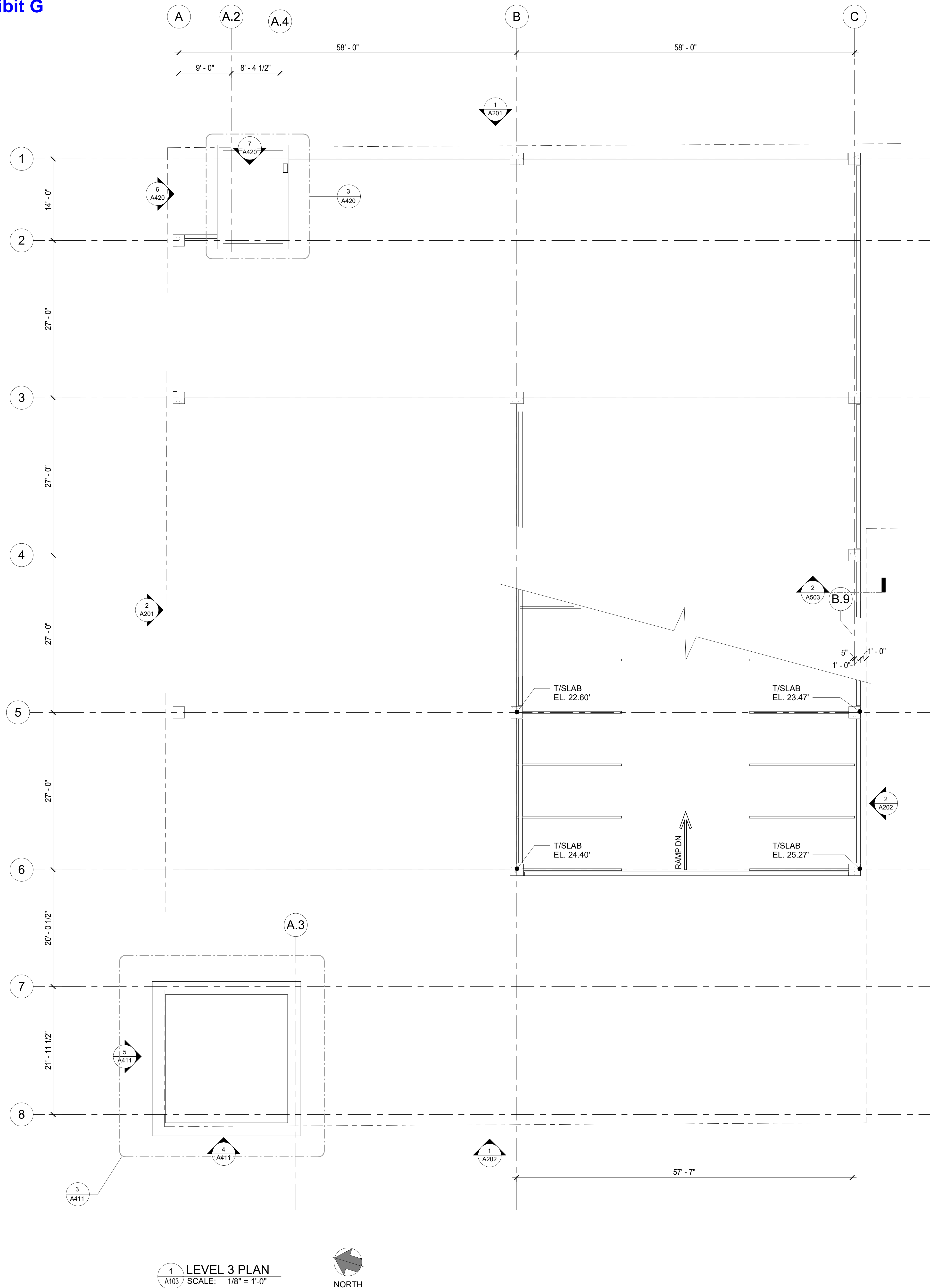
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SCALE: As indicated

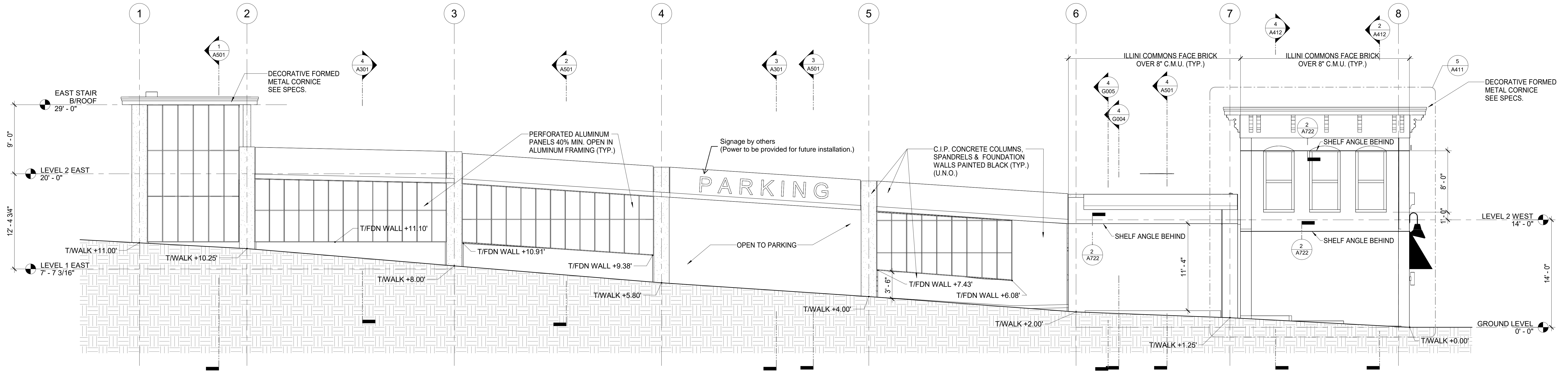
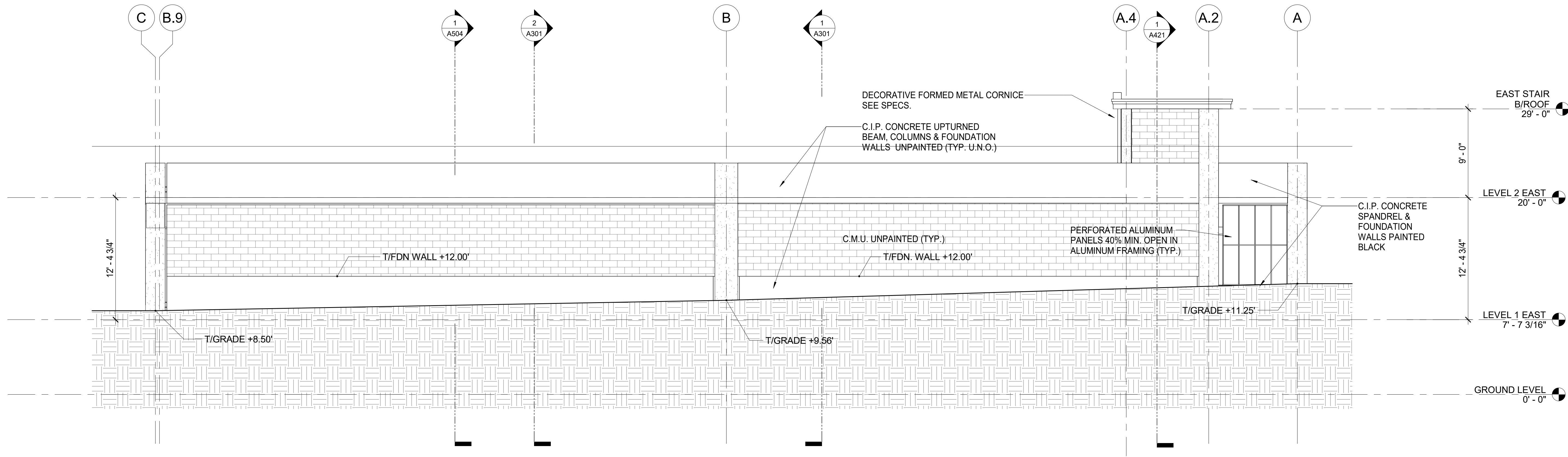
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PROJECT NO: 50-24102

DES. RWN. CHK'D.
Designer Author Checker

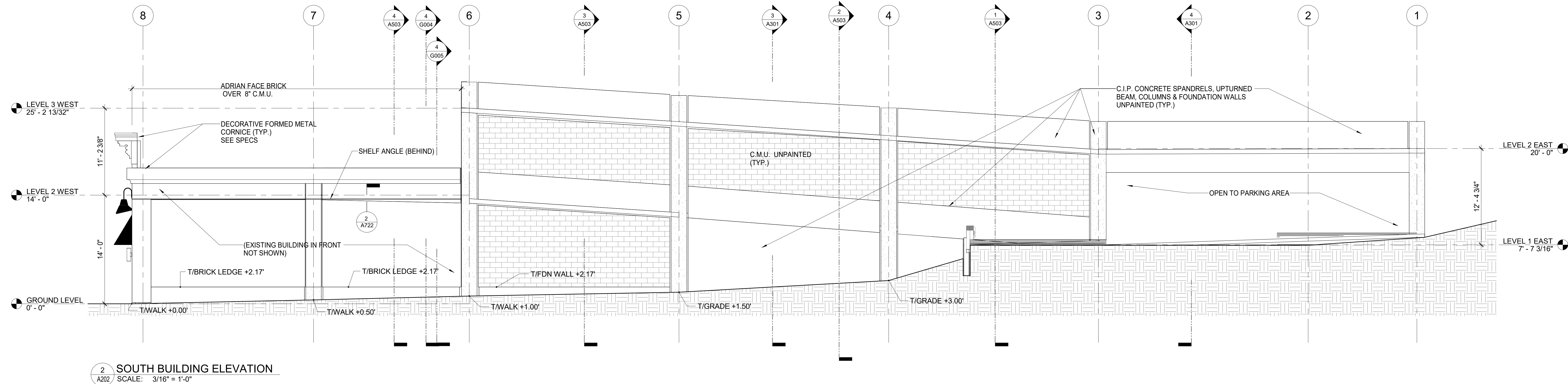
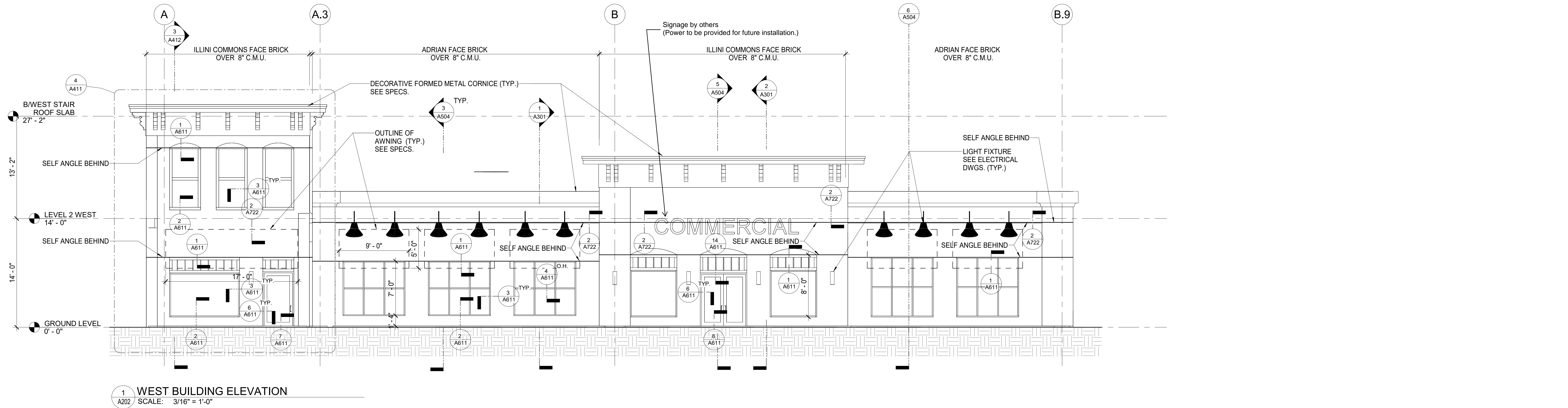


PARKING COUNT				
LEVEL	STND	ADA	EV	TOTAL
LEVEL 1	57	2	2	61
LEVEL 2	58	3	0	61
LEVEL 3	9	0	0	9
TOTAL	124	5	2	131



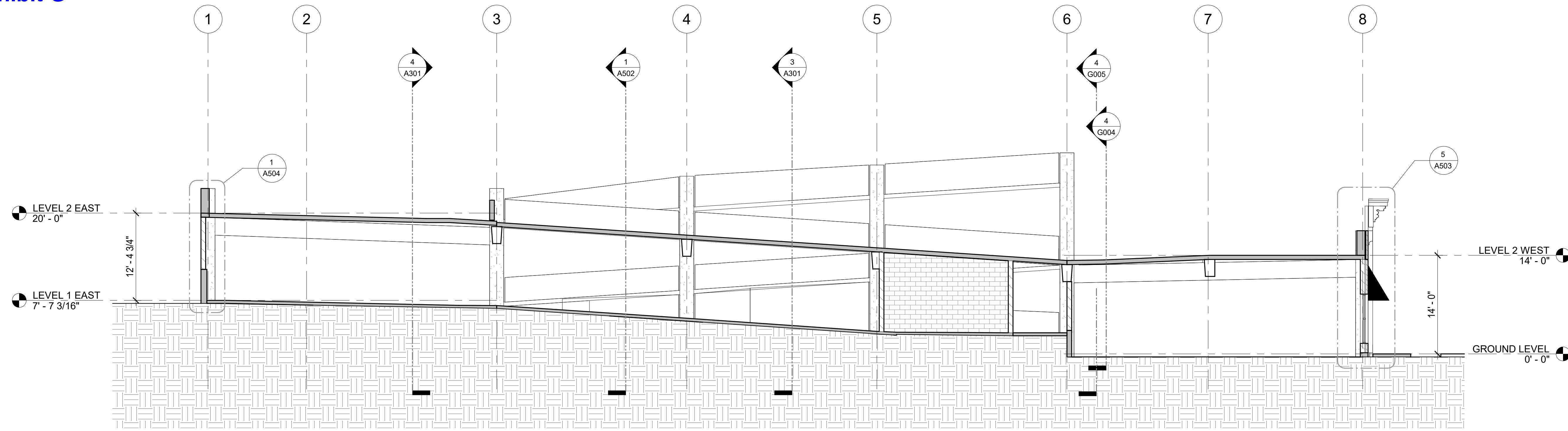
JMCC Note: Cornice and corbel design and material selection to be finalized through the design process. An allowance has been included until the design can be finalized.

Note: Masonry shelf angle location and requirements to be confirmed with engineers through the shop drawings process.

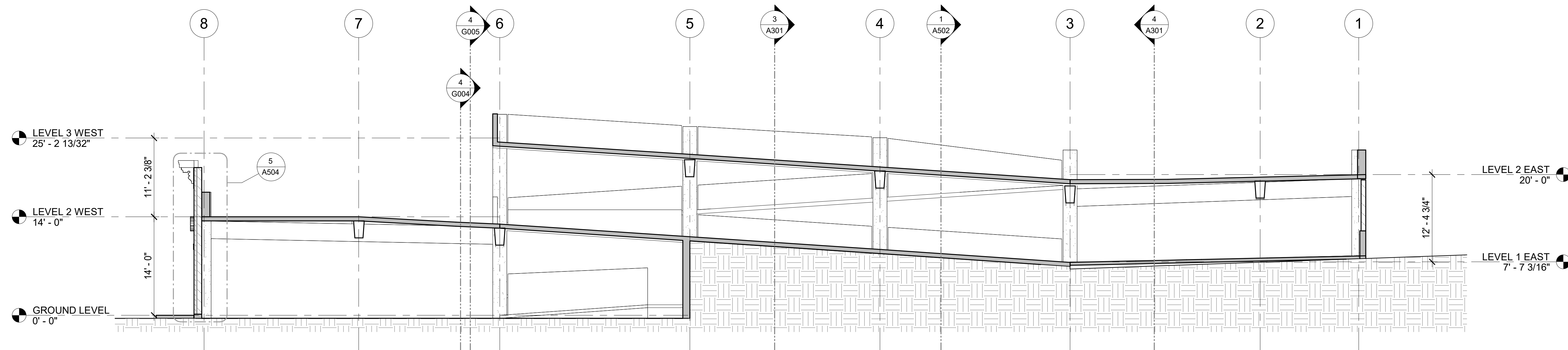


JMCC Note: Cornice and corbel design and material selection to be finalized through the design process. An allowance has been included until the design can be finalized.

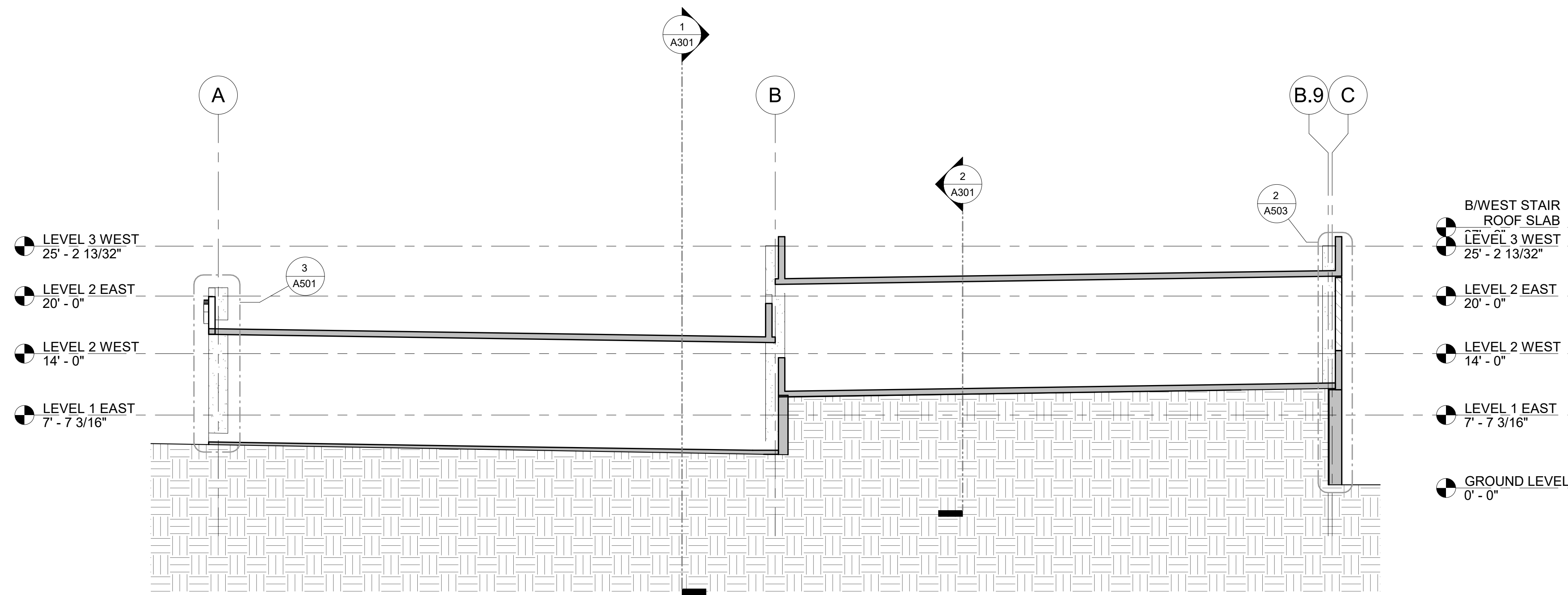
Note: Masonry shelf angle location and requirements to be confirmed with engineers through the shop drawings process.



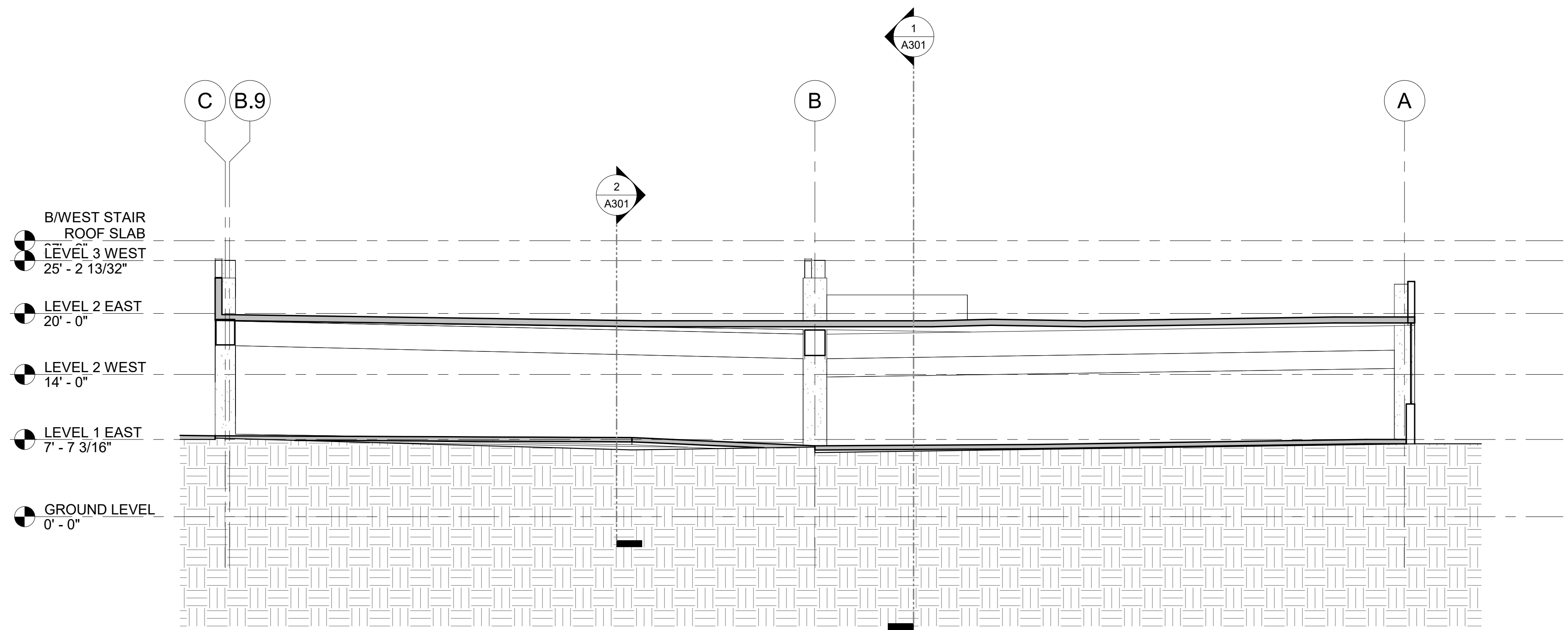
1 EAST TO WEST SECTION LOOKING SOUTH
A301 SCALE: 1/8" = 1'-0"



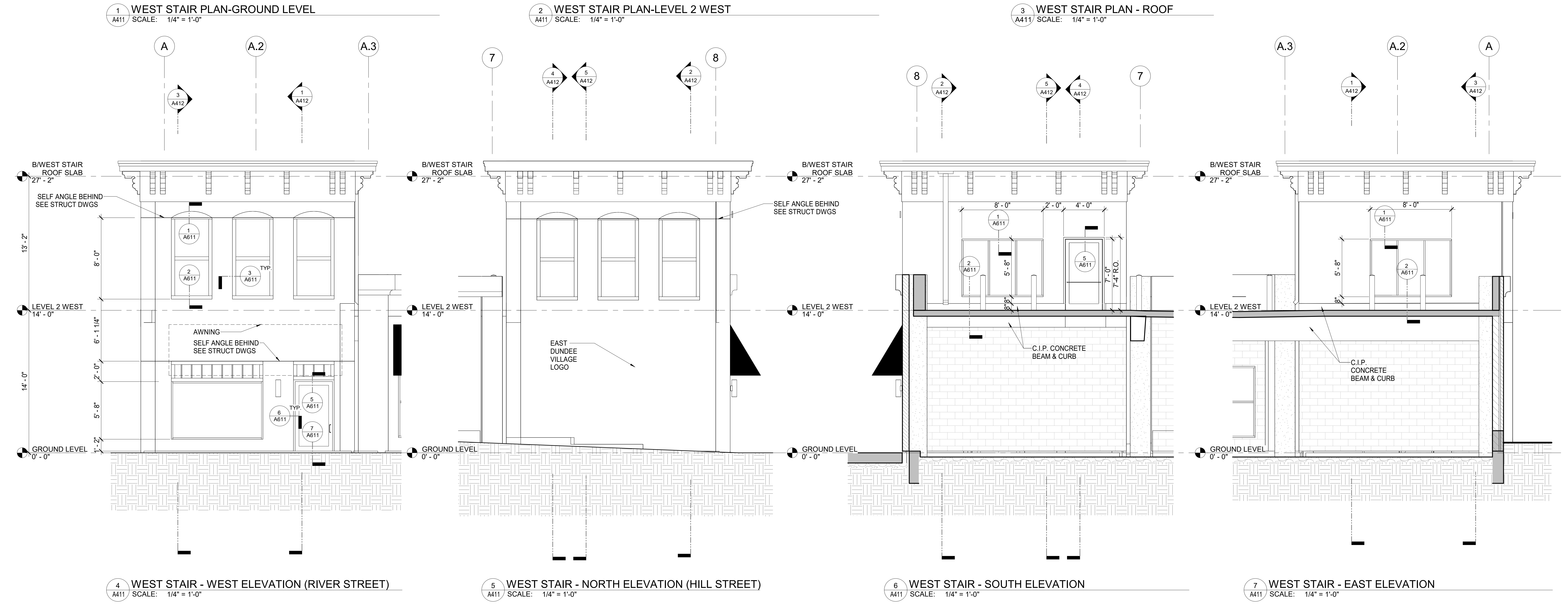
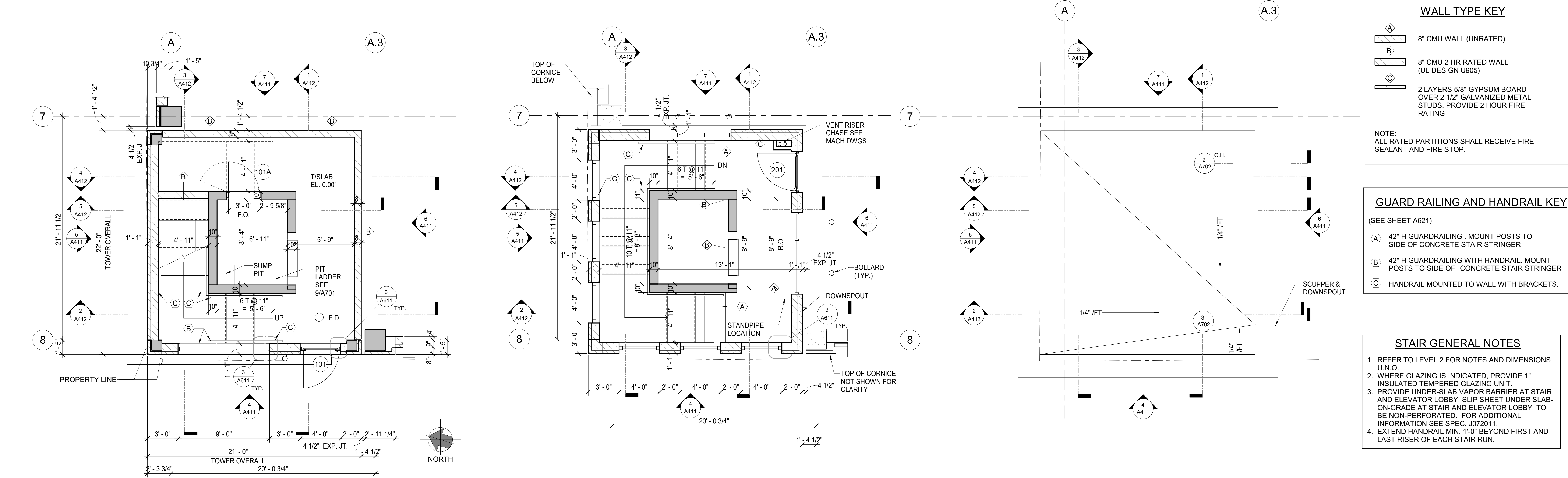
2 WEST TO EAST SECTION LOOKING NORTH
A301 SCALE: 1/8" = 1'-0"



3 NORTH TO SOUTH SECTION LOOKING EAST
A301 SCALE: 1/8" = 1'-0"



4 SOUTH TO NORTH SECTION LOOKING WEST
A301 SCALE: 1/8" = 1'-0"



DES MAN

McHUGH

125 YEARS

EST. 1897

DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE

304 HILL STREET, EAST DUNDEE, IL 60118

STATE OF ILLINOIS

STEPHEN J. REBORA

PROFESSIONAL ARCHITECT

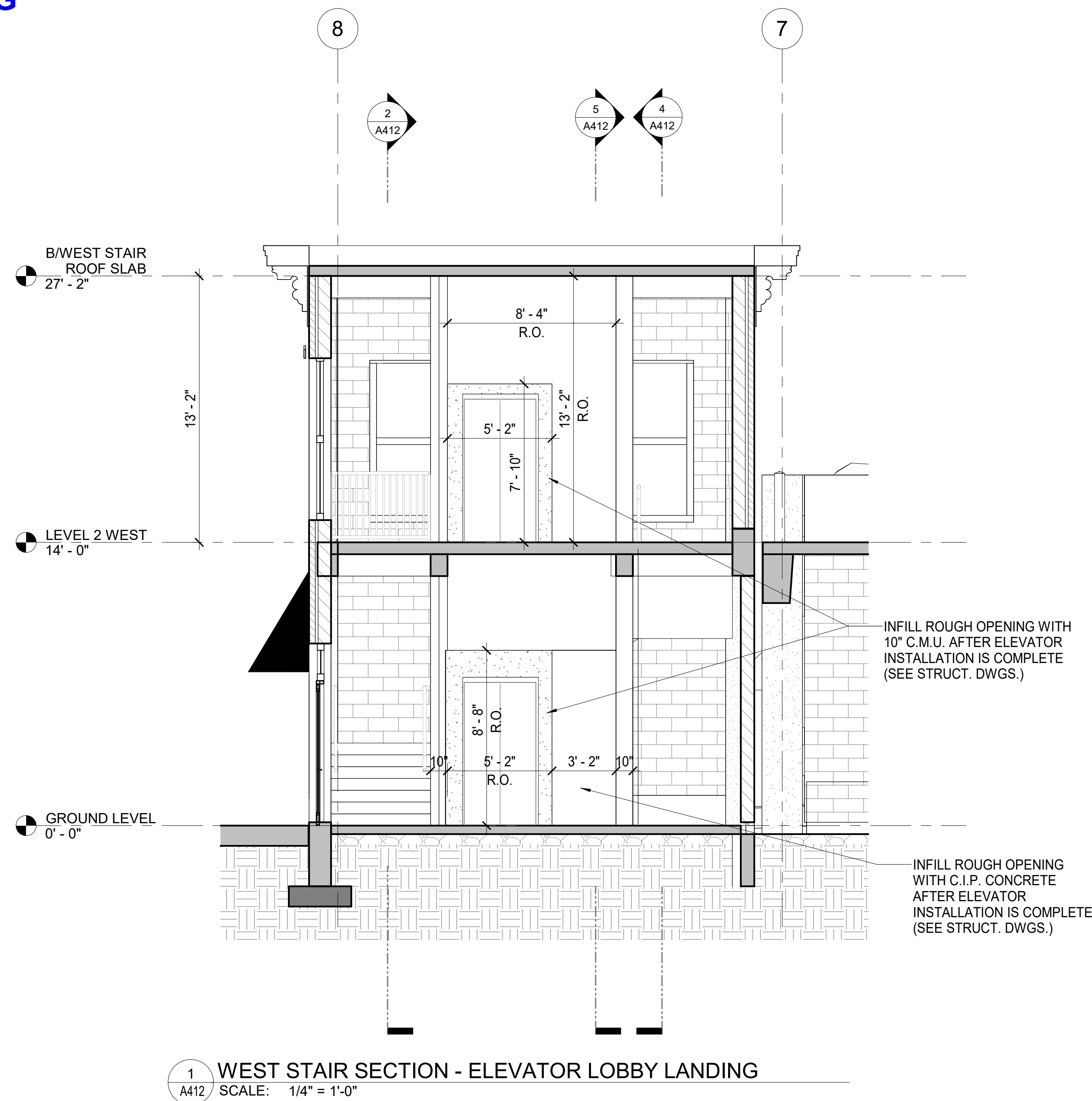
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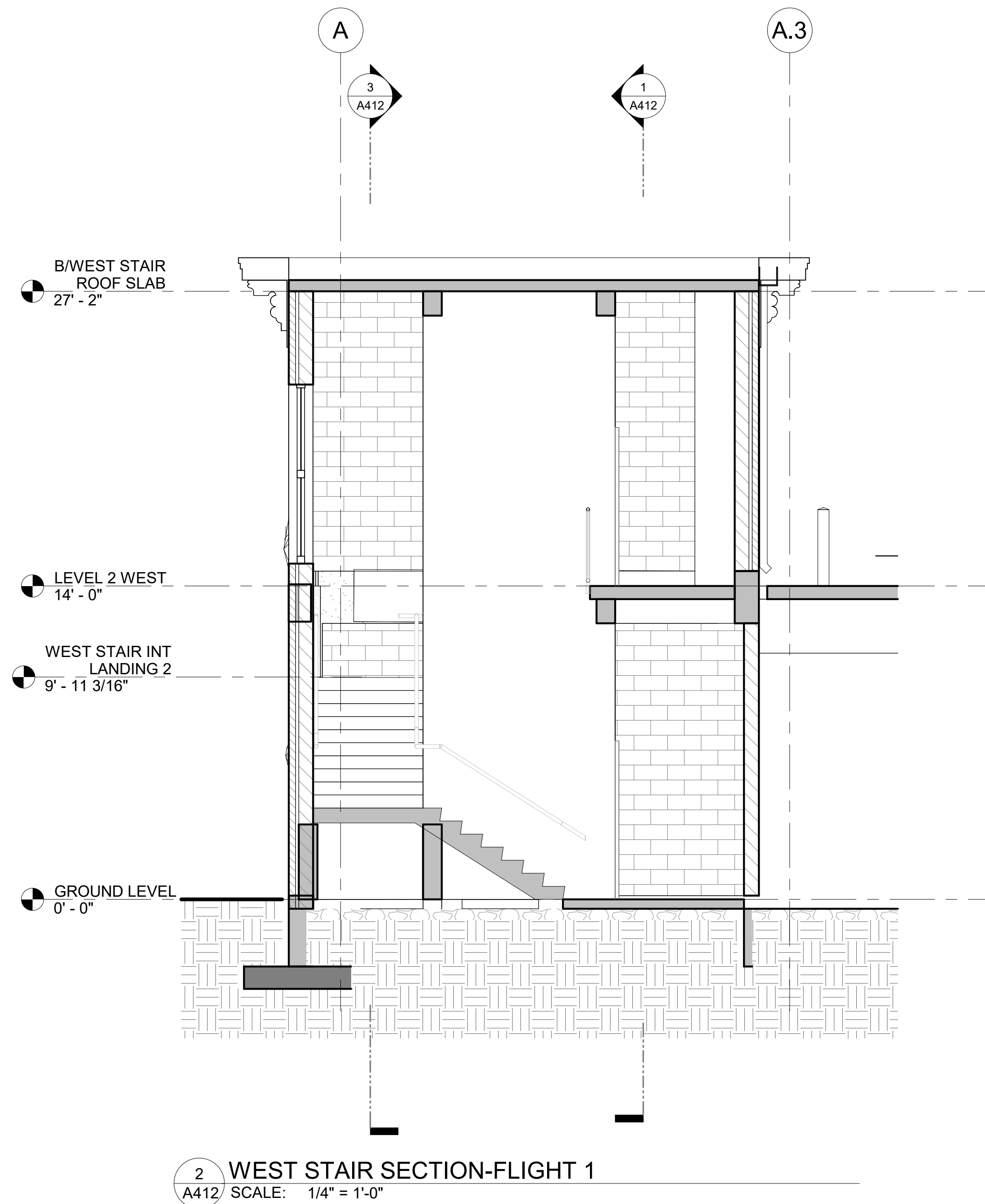
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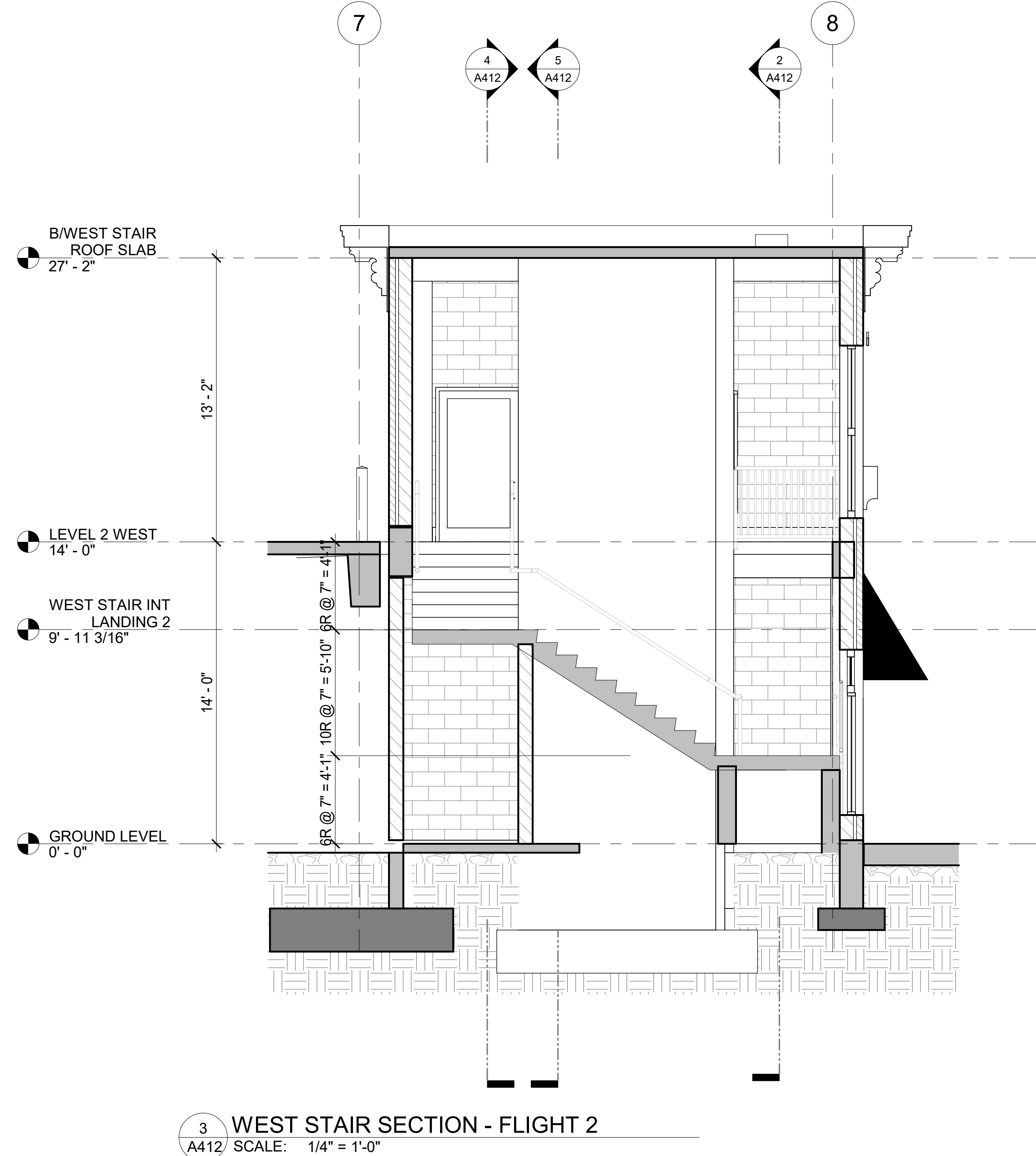
NO.	DESCRIPTION	DATE
DRAWING TITLE: WEST STAIR PLANS & ELEVATIONS		
DRAWING NO: A411		
SCALE: As indicated		
DATE: ISSUED FOR PERMIT 06-10-24		
PROJECT NO: 50-24102		
DES. Designer	RWN. Author	CHKD. Checker



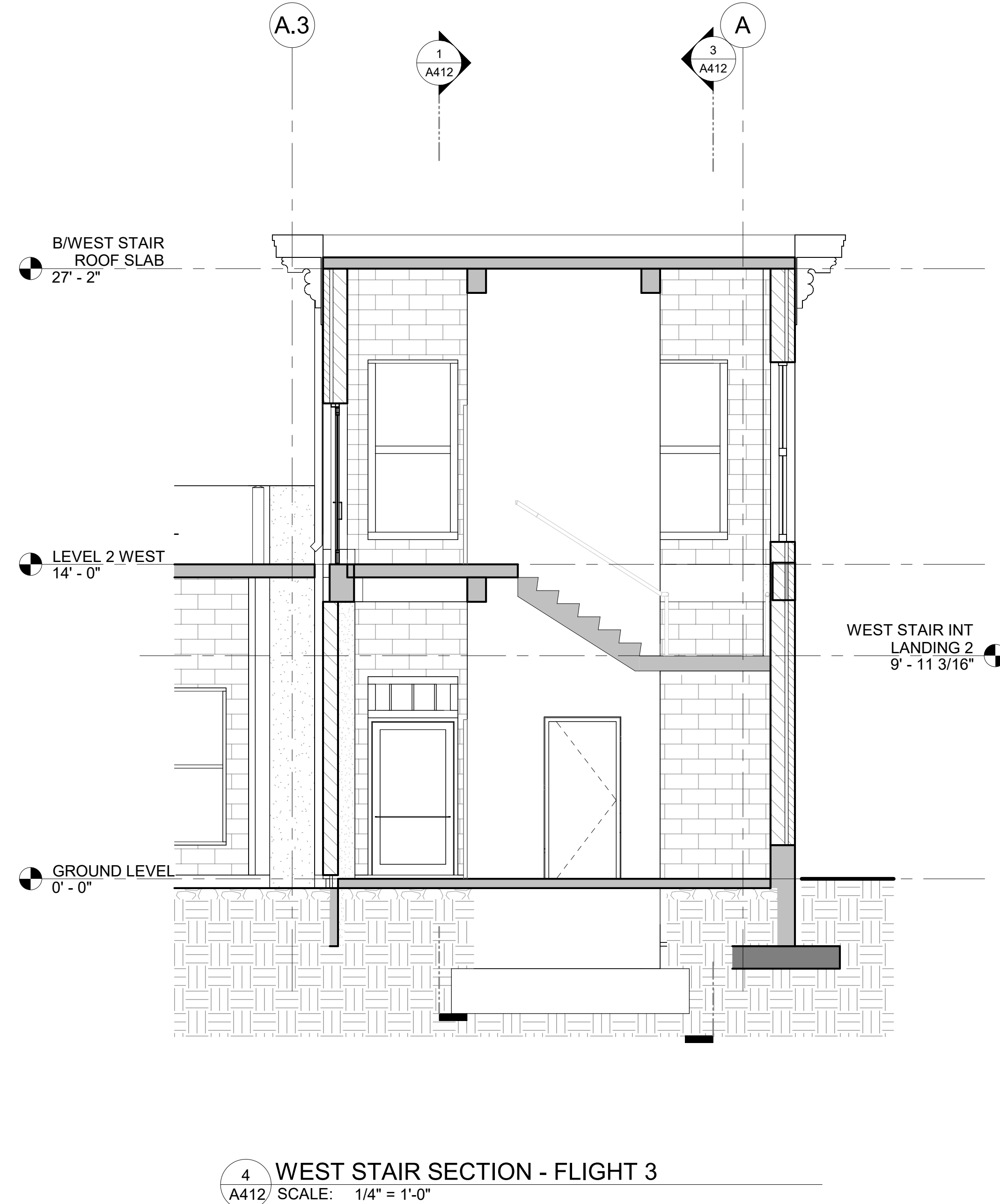
1 WEST STAIR SECTION - ELEVATOR LOBBY LANDING
A412 SCALE: 1/4" = 1'-0"



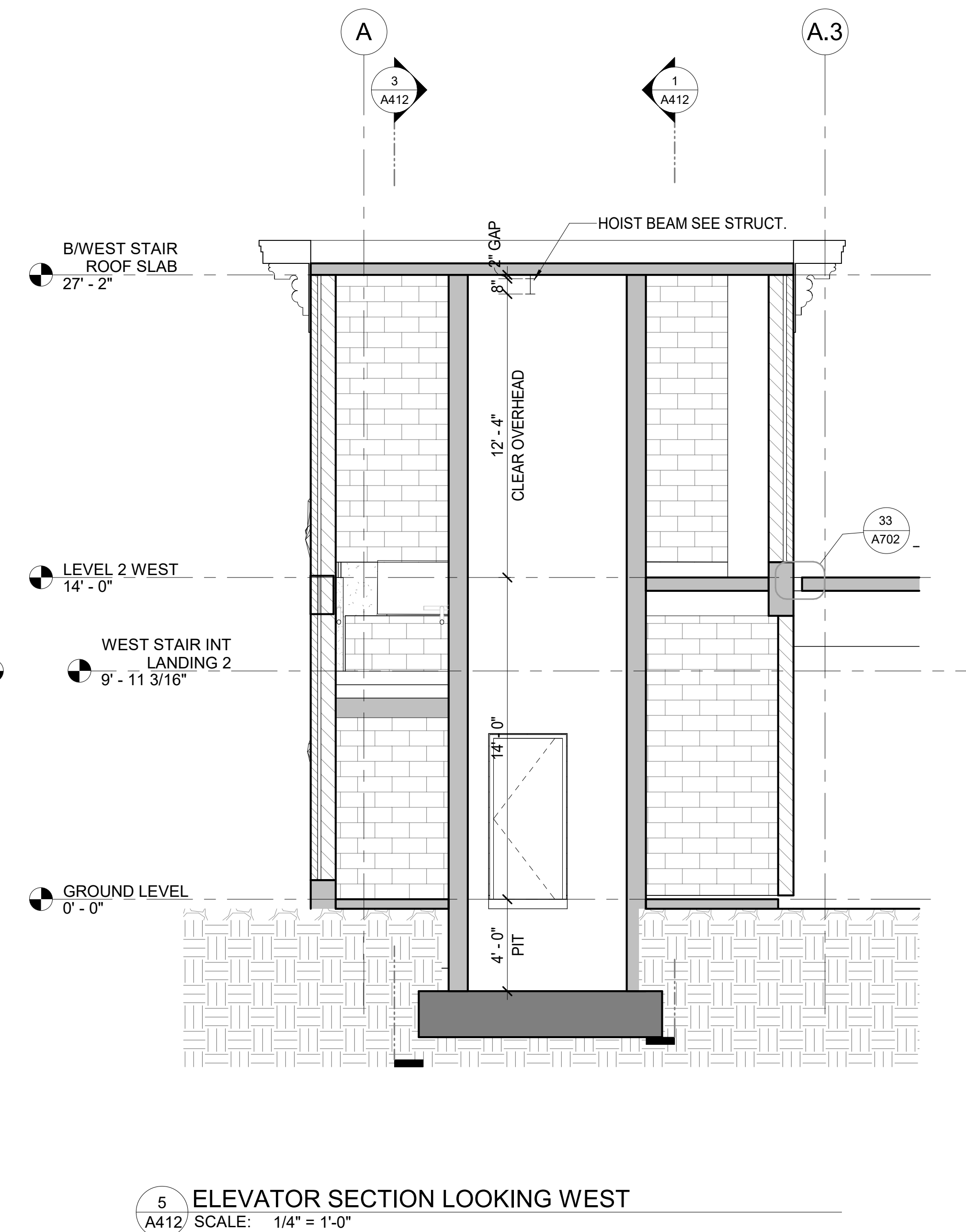
2 WEST STAIR SECTION-FLIGHT 1
A412 SCALE: 1/4" = 1'-0"



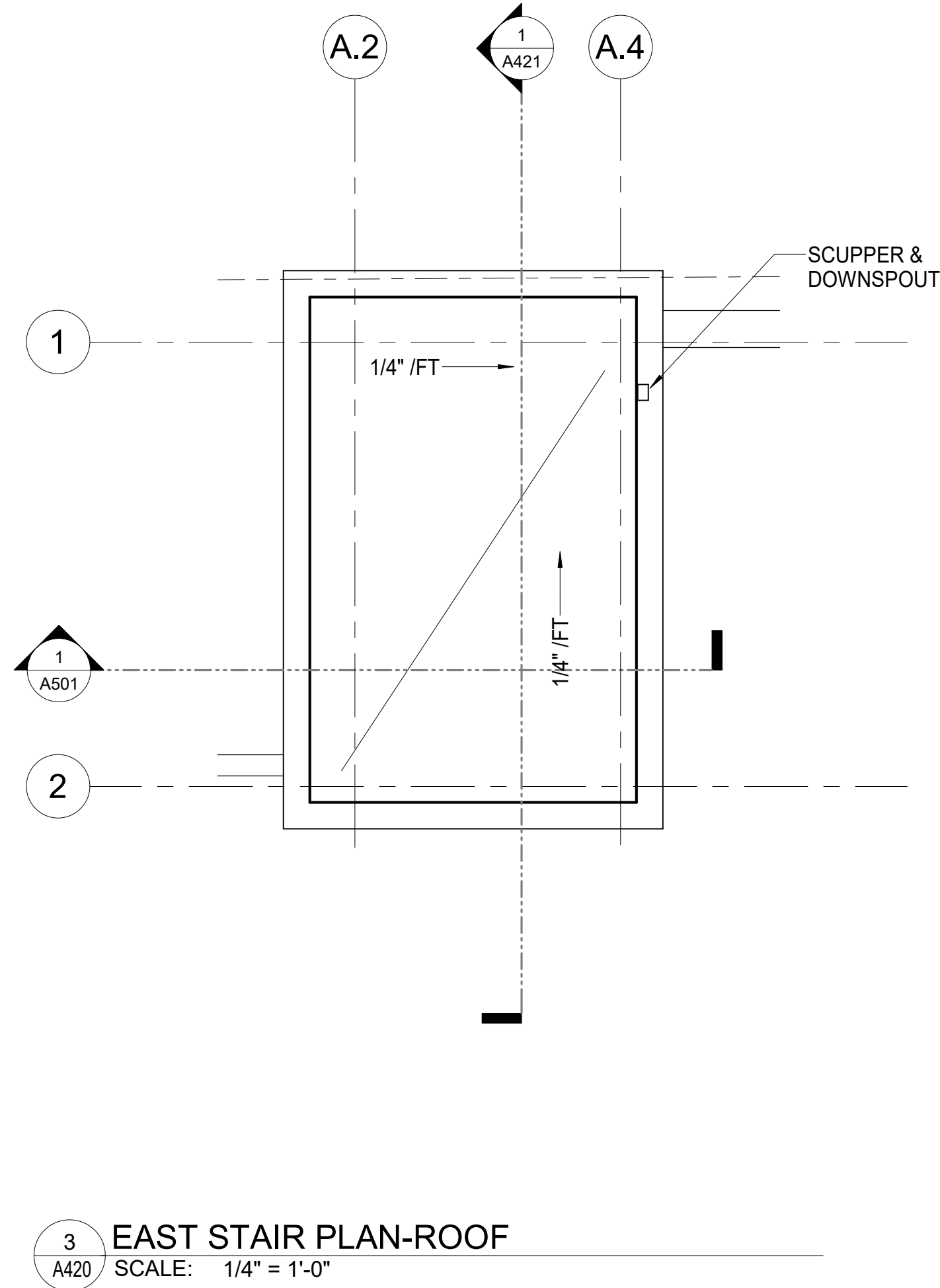
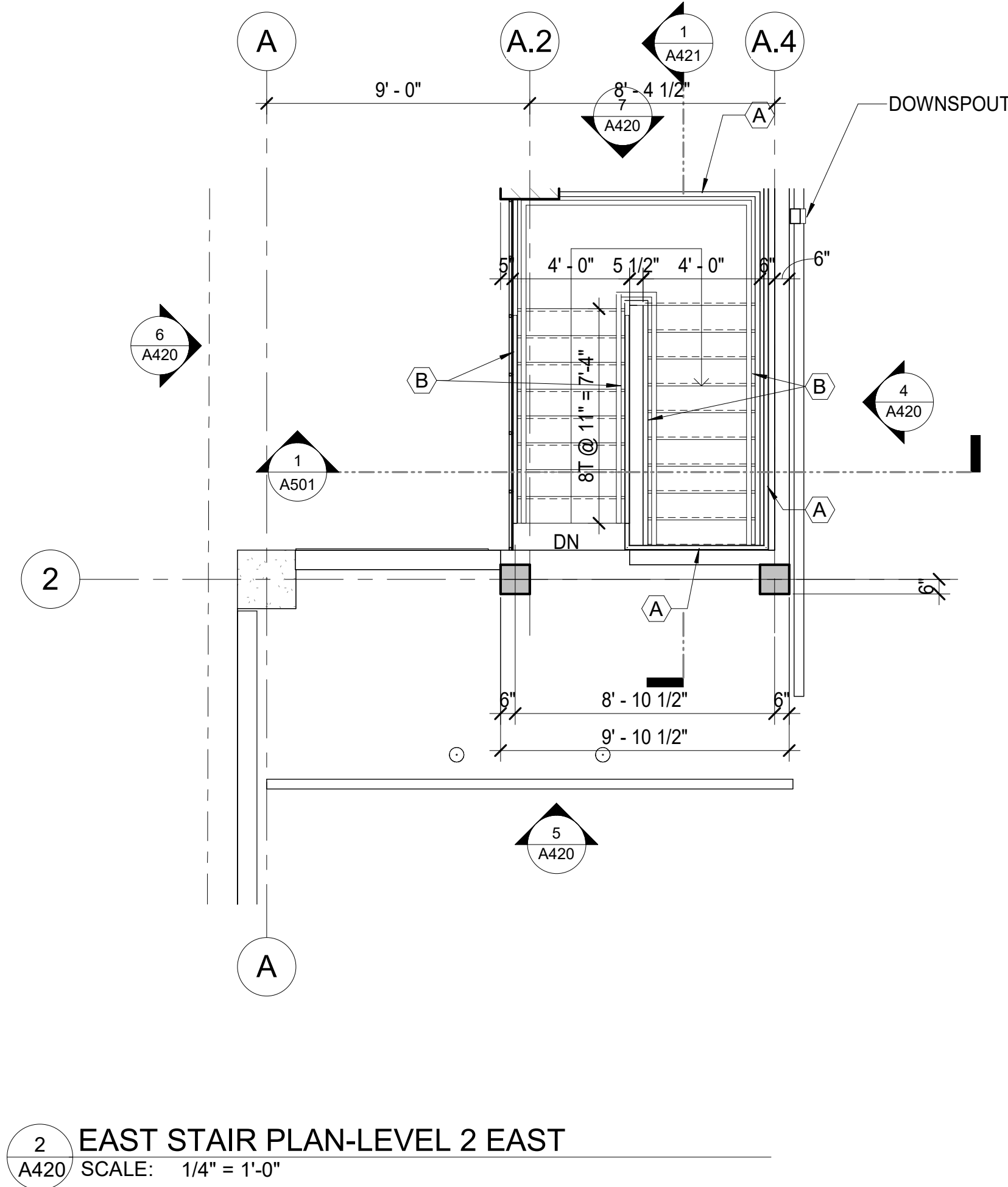
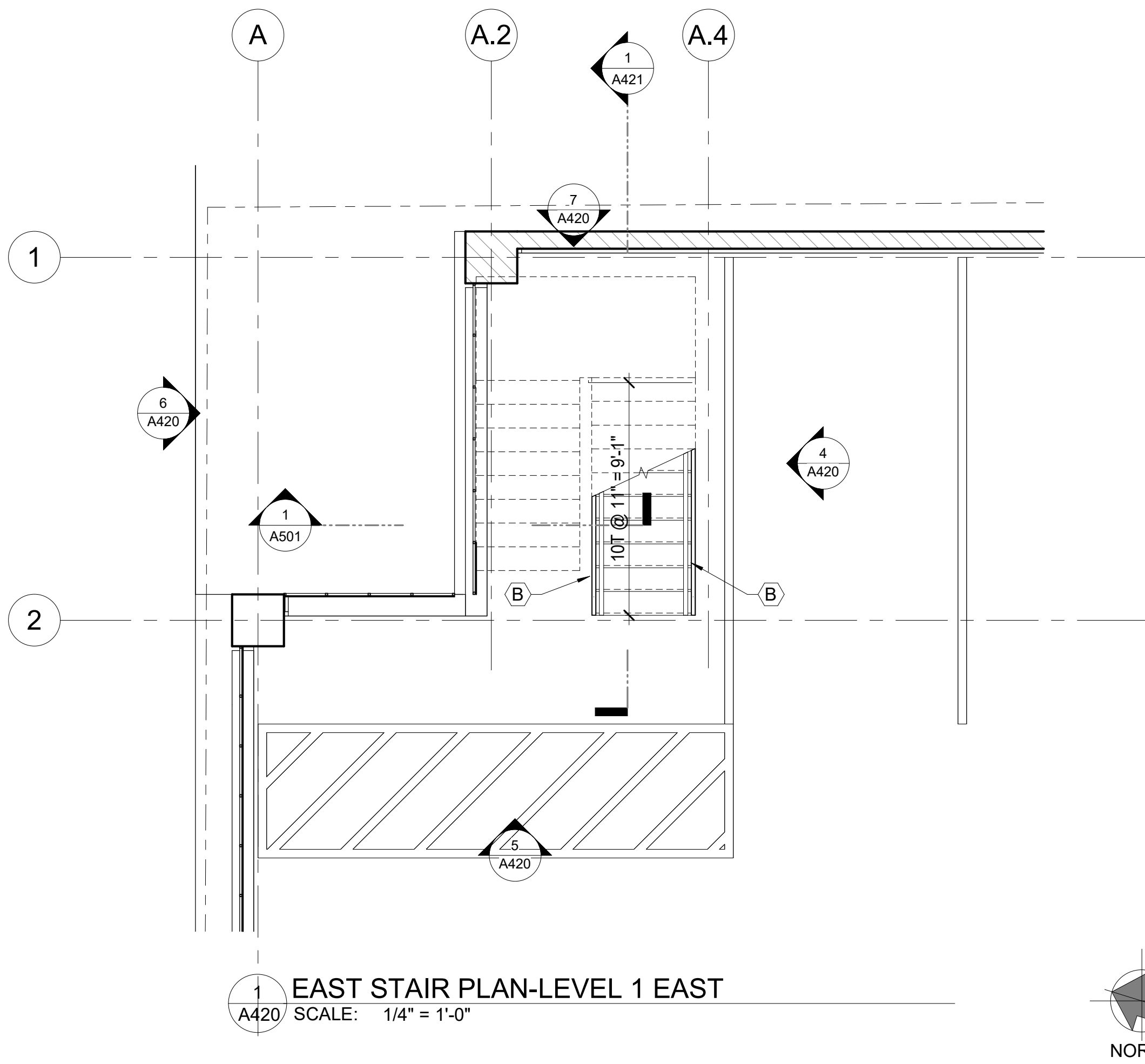
3 WEST STAIR SECTION - FLIGHT 2
A412 SCALE: 1/4" = 1'-0"



4 WEST STAIR SECTION - FLIGHT 3
A412 SCALE: 1/4" = 1'-0"



5 ELEVATOR SECTION LOOKING WEST
A412 SCALE: 1/4" = 1'-0"



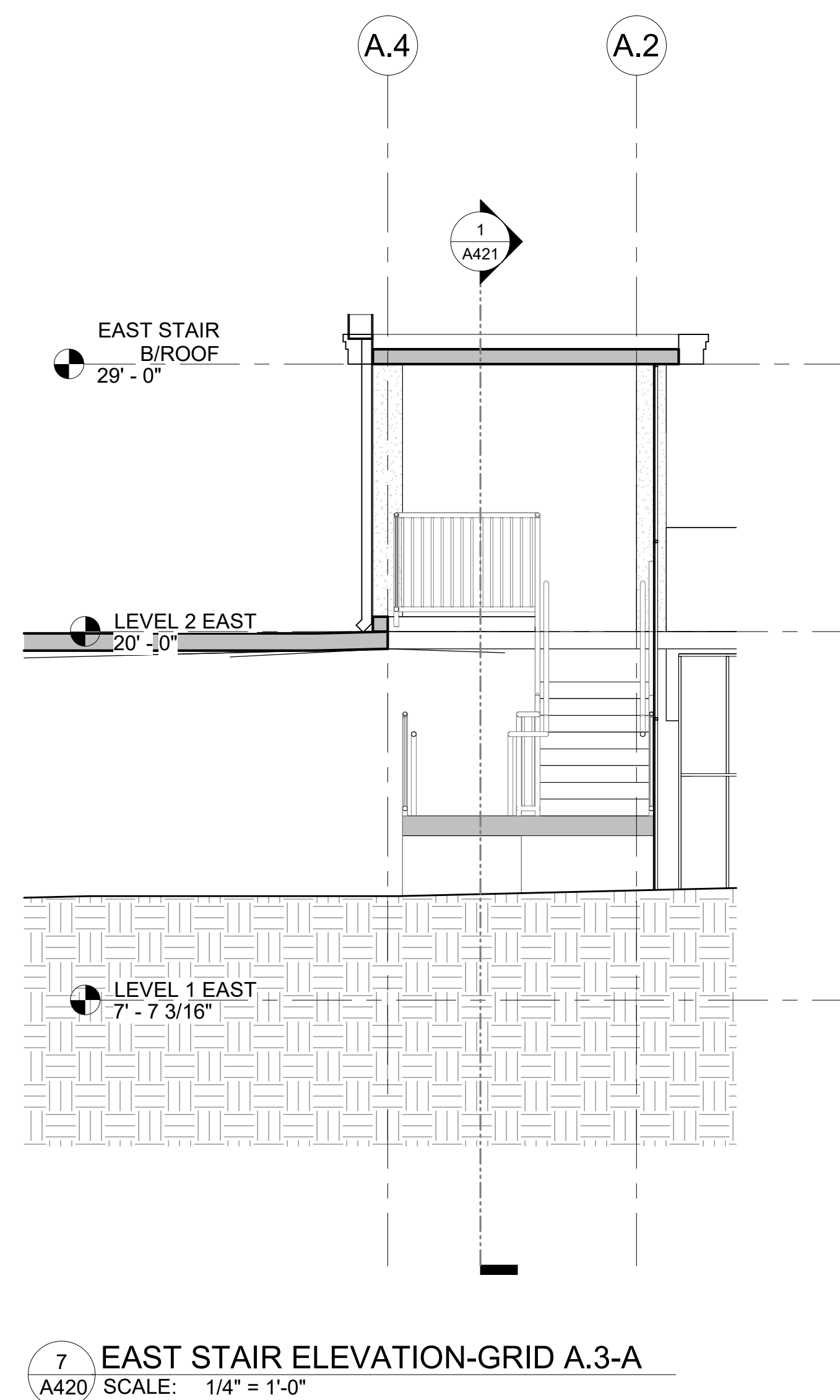
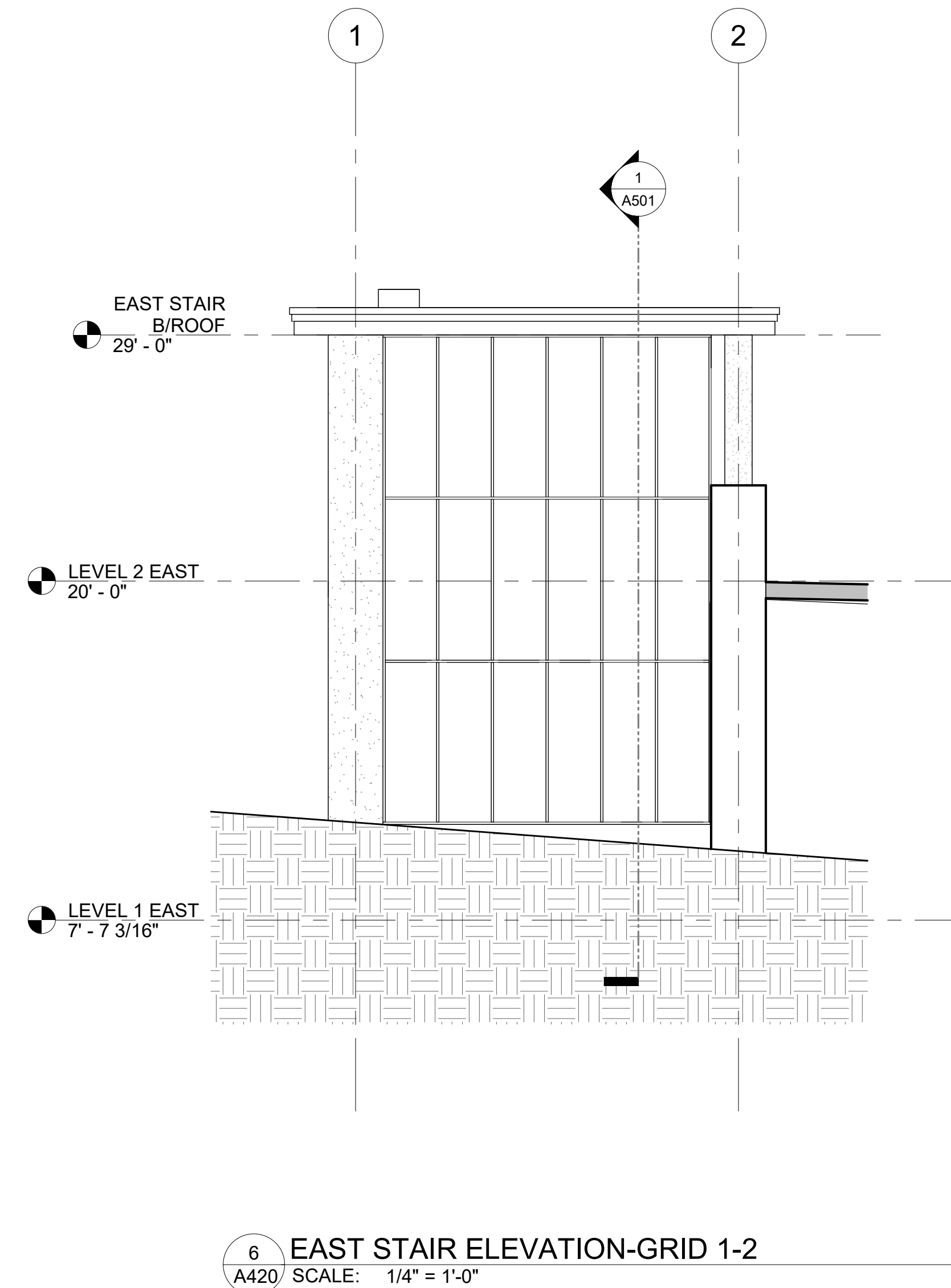
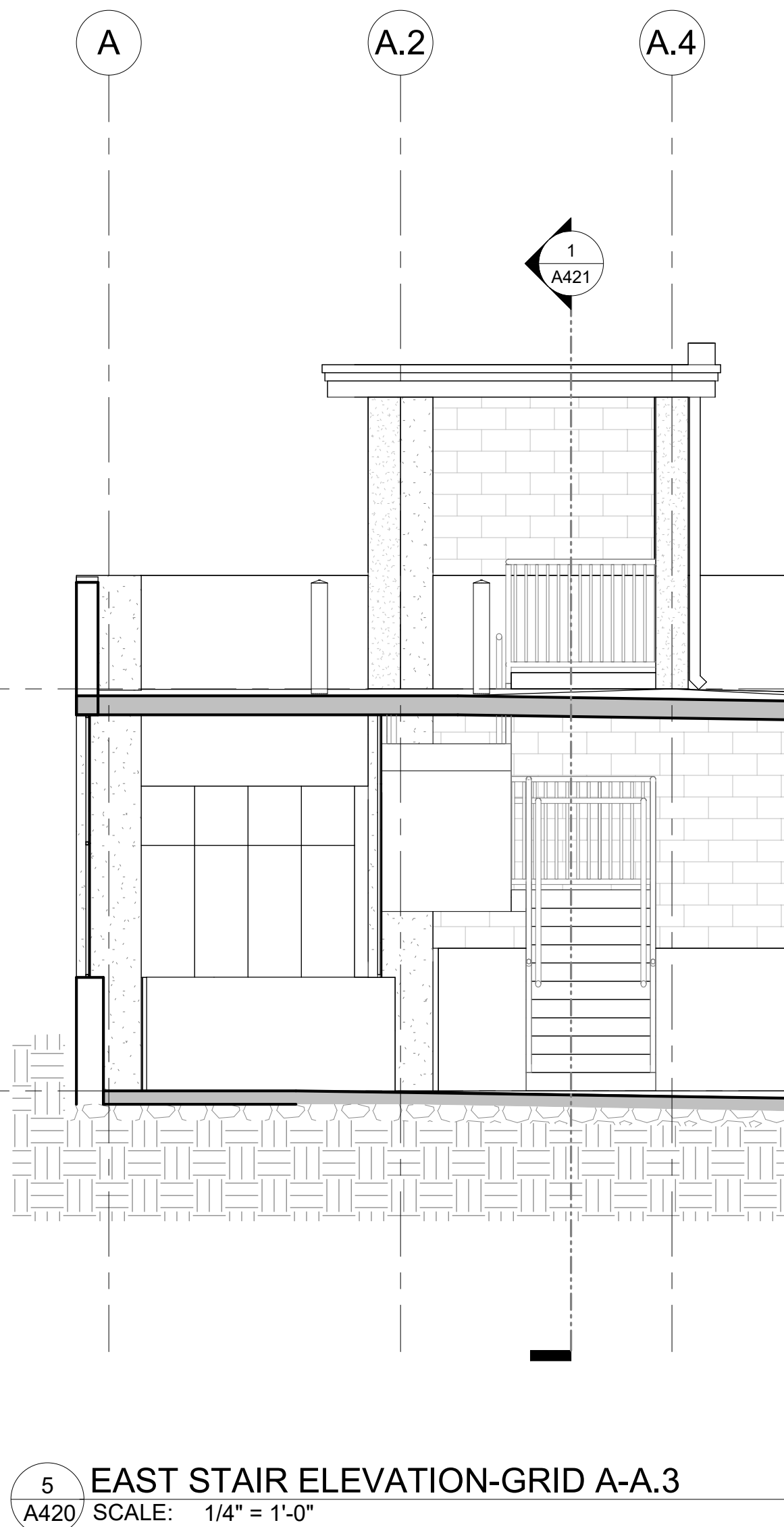
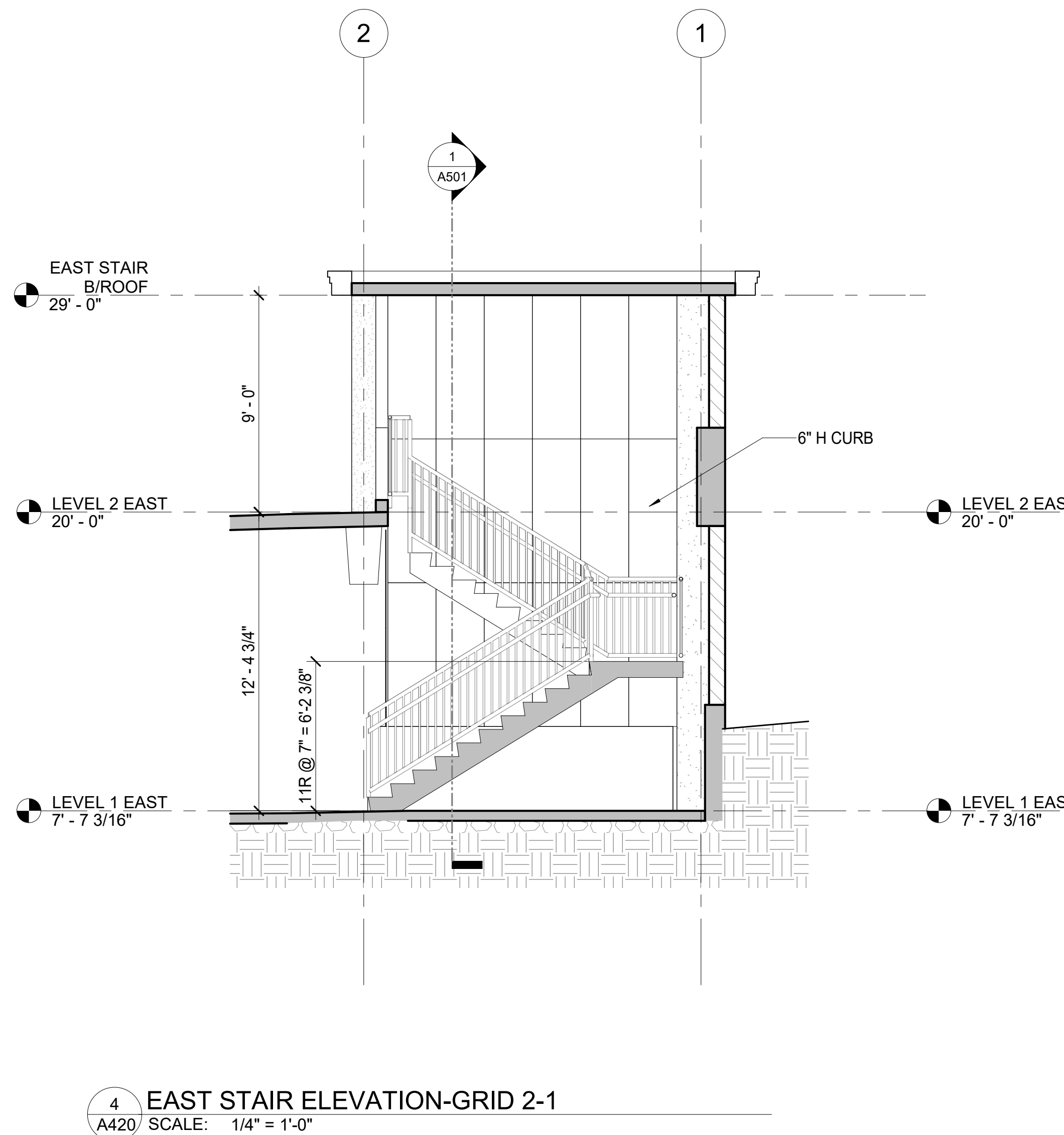
GUARD RAILING AND HANDRAIL KEY

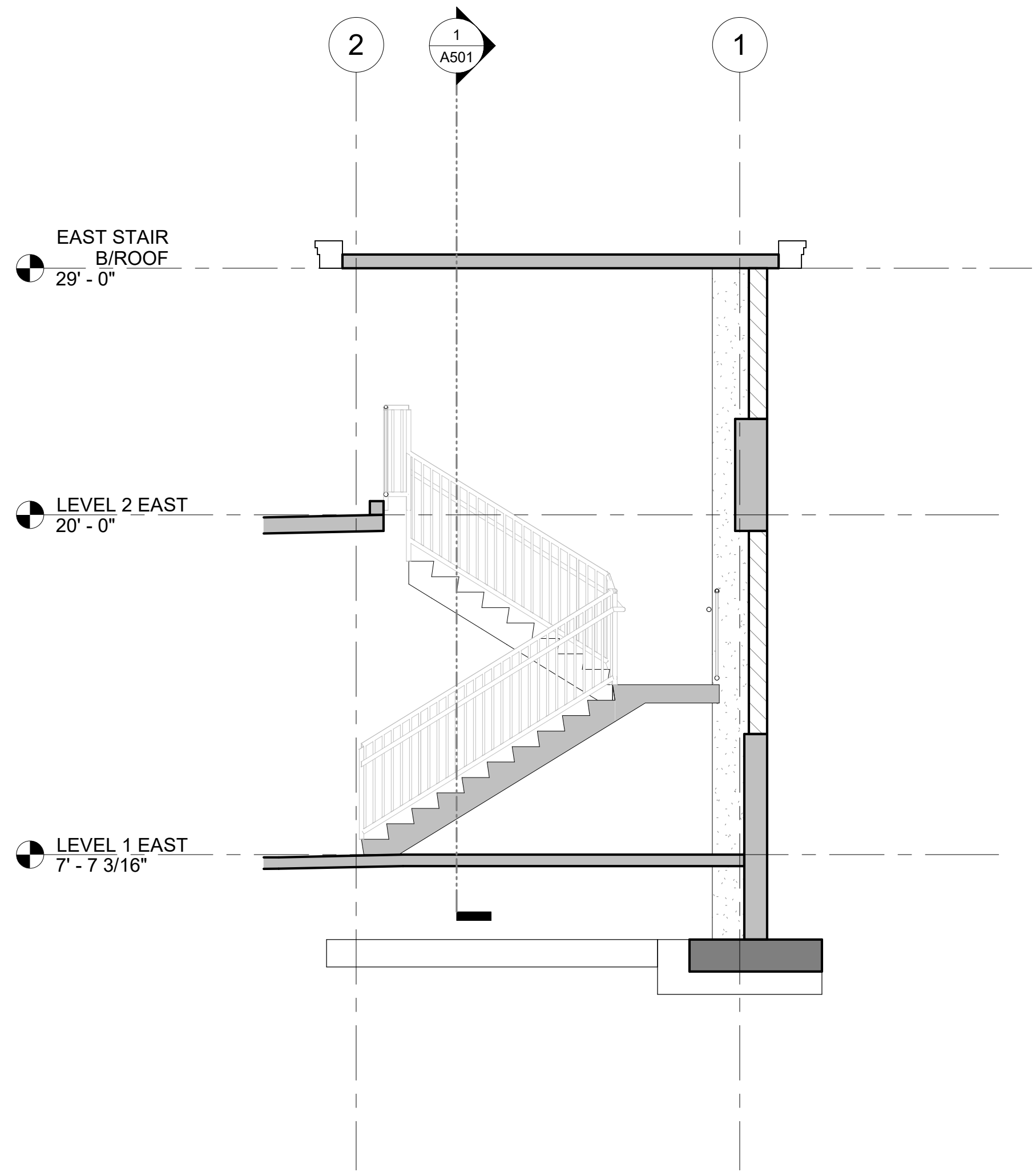
(SEE SHEET A621)

- (A) 42" H GUARDRAILING . MOUNT POSTS TO SIDE OF CONCRETE STAIR STRINGER
- (B) 42" H GUARDRAILING WITH HANDRAIL. MOUNT POSTS TO SIDE OF CONCRETE STAIR STRINGER
- (C) HANDRAIL MOUNTED TO WALL WITH BRACKETS.

STAIR GENERAL NOTES

- REFER TO LEVEL 2 FOR NOTES AND DIMENSIONS U.N.O.
- WHERE GLAZING IS INDICATED, PROVIDE 1" INSULATED TEMPERED GLAZING UNIT.
- PROVIDE UNDER-SLAB VAPOR BARRIER AT STAIR AND ELEVATOR LOBBY. SLIP SHEET UNDER SLAB-ON-GRADE AT STAIR AND ELEVATOR LOBBY TO BE NON-PERFORATED. FOR ADDITIONAL INFORMATION SEE SPEC. J072011.
- EXTEND HANDRAIL MIN. 1'-0" BEYOND FIRST AND LAST RISER OF EACH STAIR RUN.





1 EAST STAIR SECTION-GRID 2-1
A421 SCALE: 1/4" = 1'-0"



DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE

304 HILL STREET, EAST DUNDEE, IL 60118

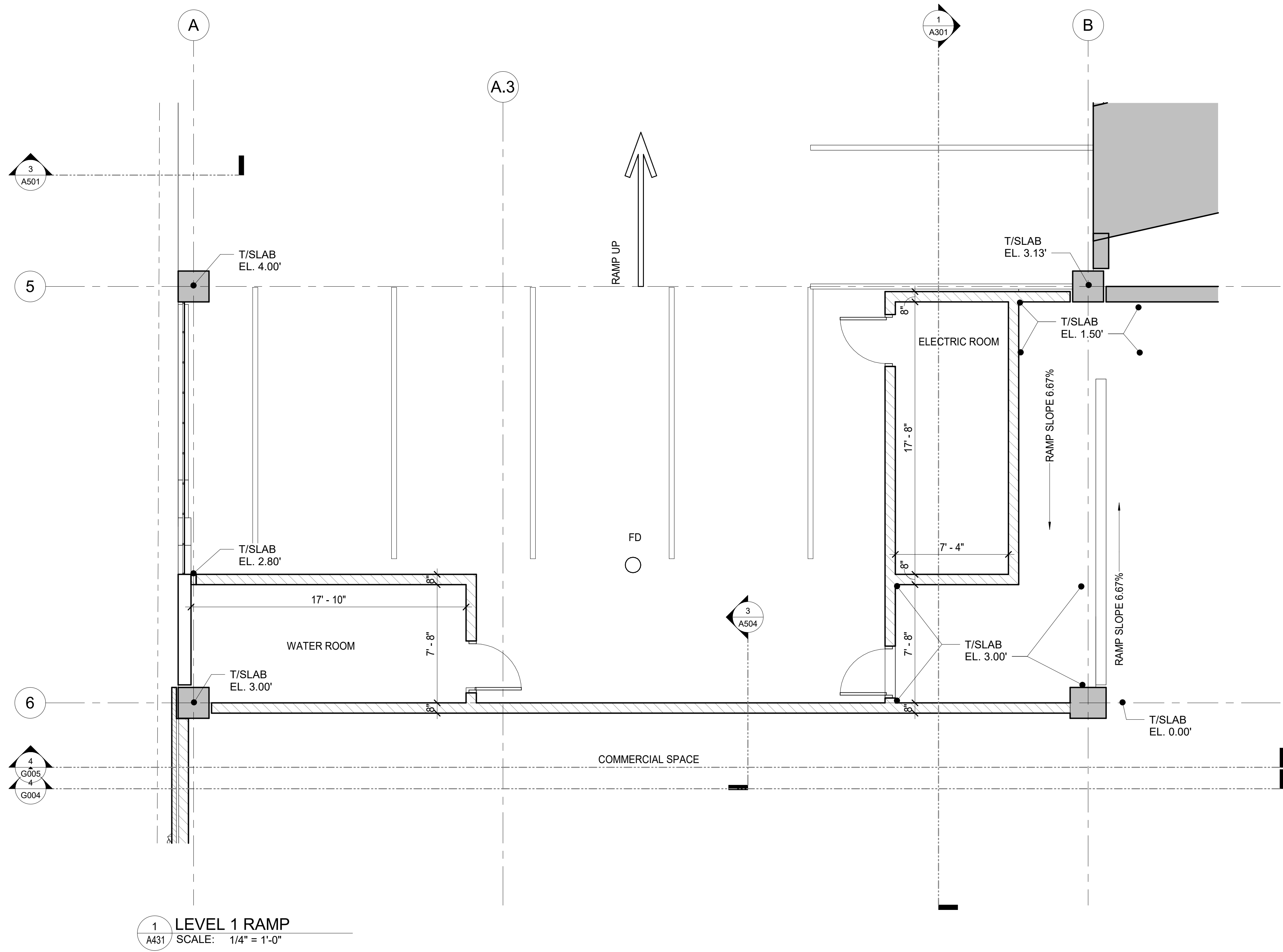


I S S U E		
ISSUE FOR PERMIT		06-10-24

NO.	DESCRIPTION	DATE
DRAWING TITLE: EAST STAIR SECTIONS		

DRAWING NO:
A421

SCALE: 1/4" = 1'-0"		
DATE: ISSUED FOR PERMIT 06-10-24		
PROJECT NO: 50-24102		
DES. Designer	RWN. Author	CHK'D. Checker

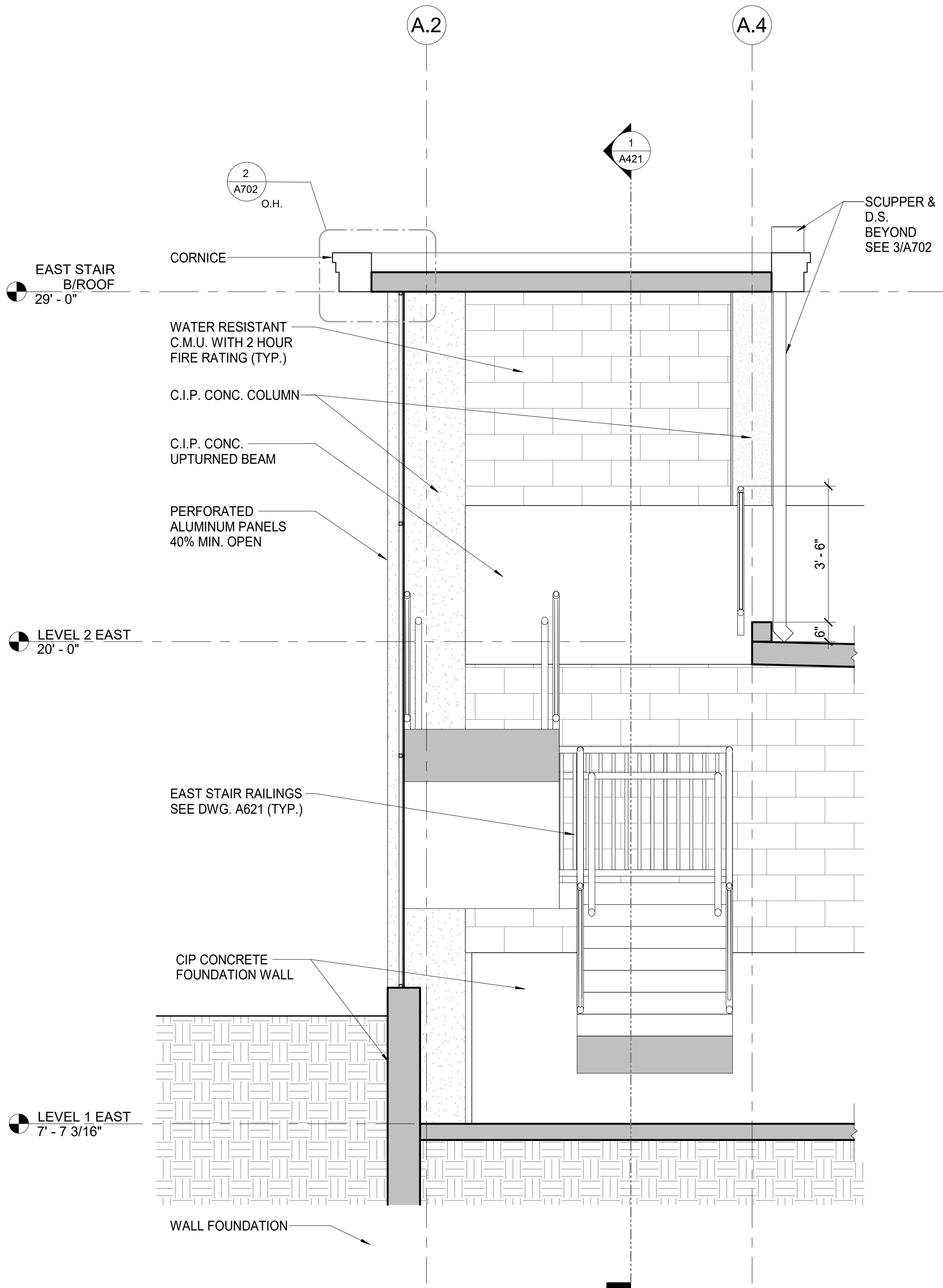


NO.	DESCRIPTION	DATE
1	ISSUE	
2	ISSUE FOR PERMIT	06-10-24

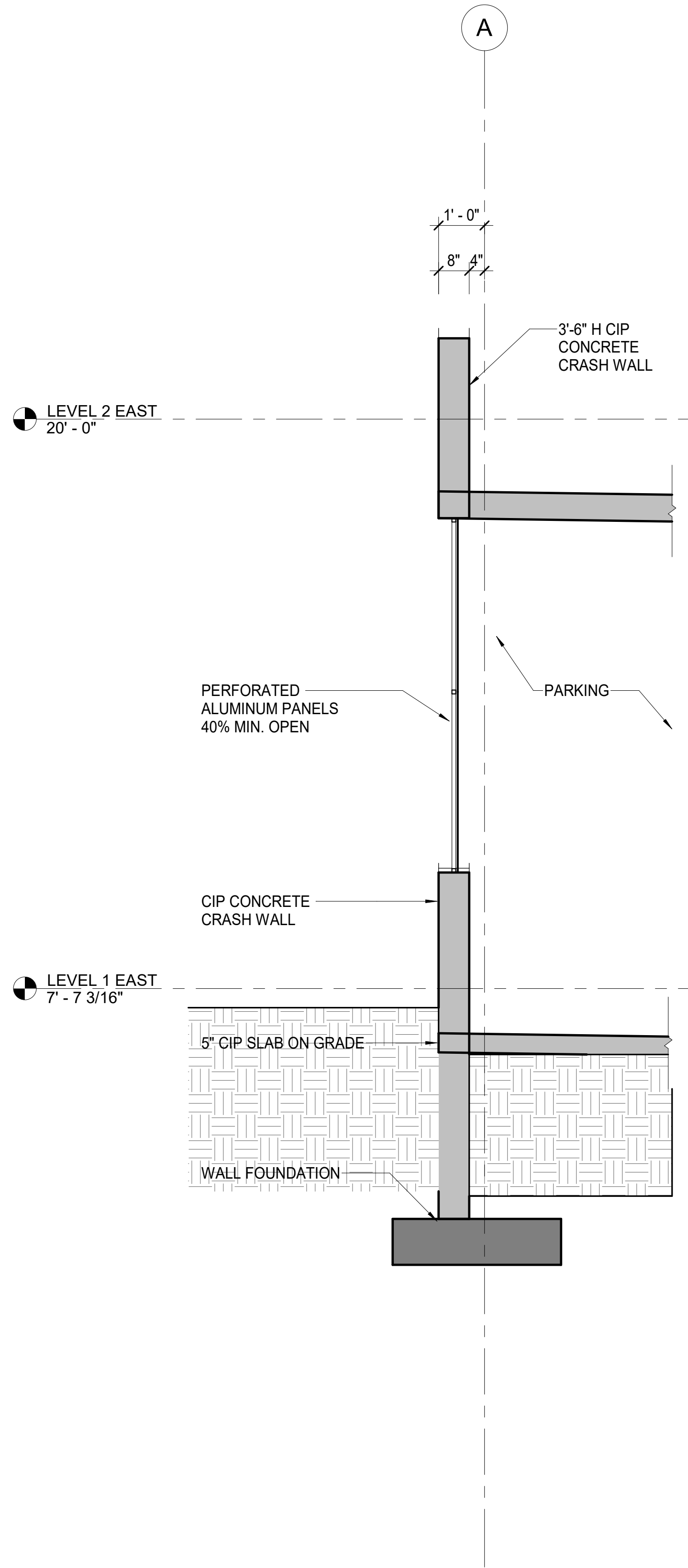
DRAWING TITLE:
**ENLARGED
PLAN-LEVEL 1
RAMP**

DRAWING NO:
A431

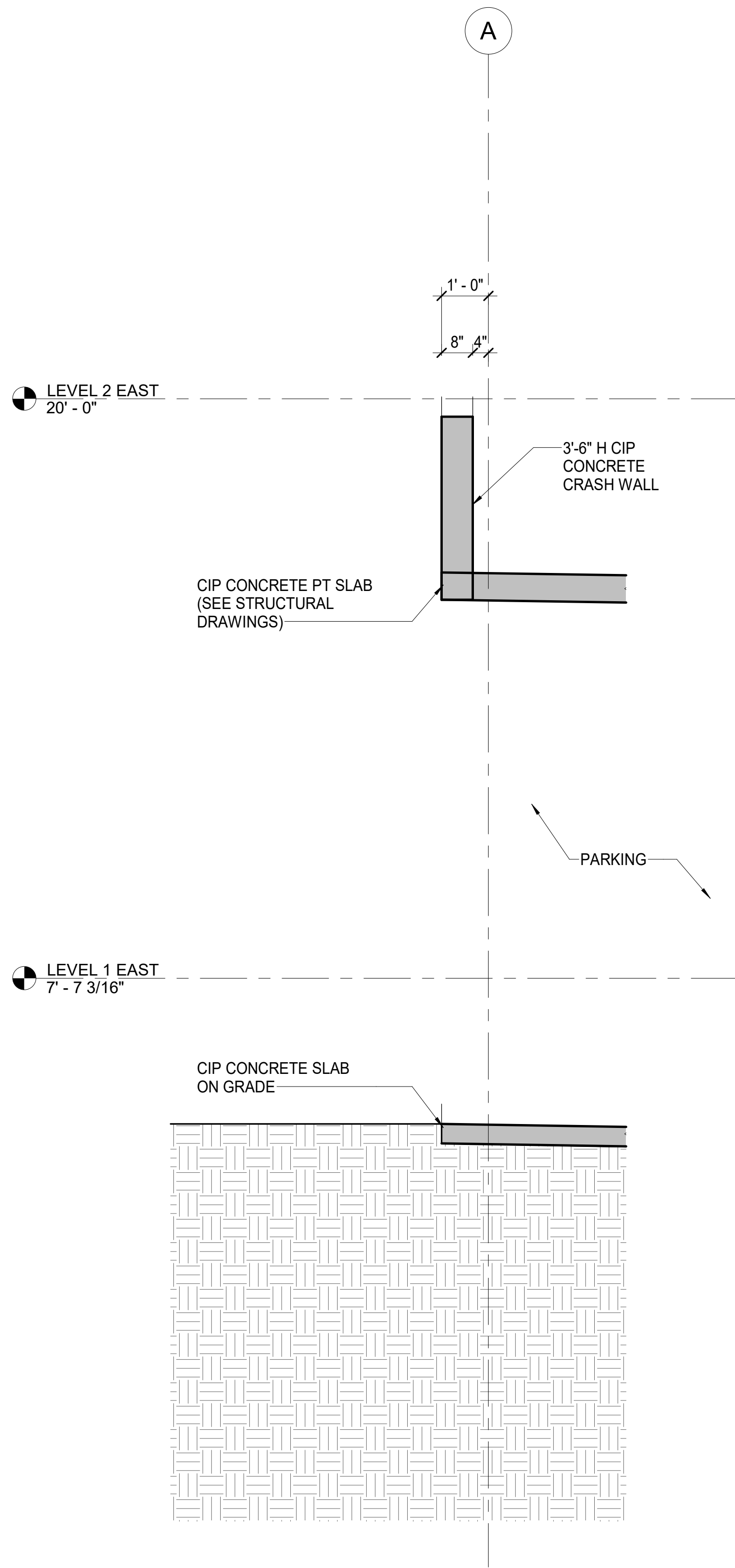
SCALE: 1/4" = 1'-0"		
DATE: ISSUED FOR		
PERMIT 06-10-24		
PROJECT NO: 50-24102		
DES.	RWN.	CHK'D.
Designer	Author	Checker



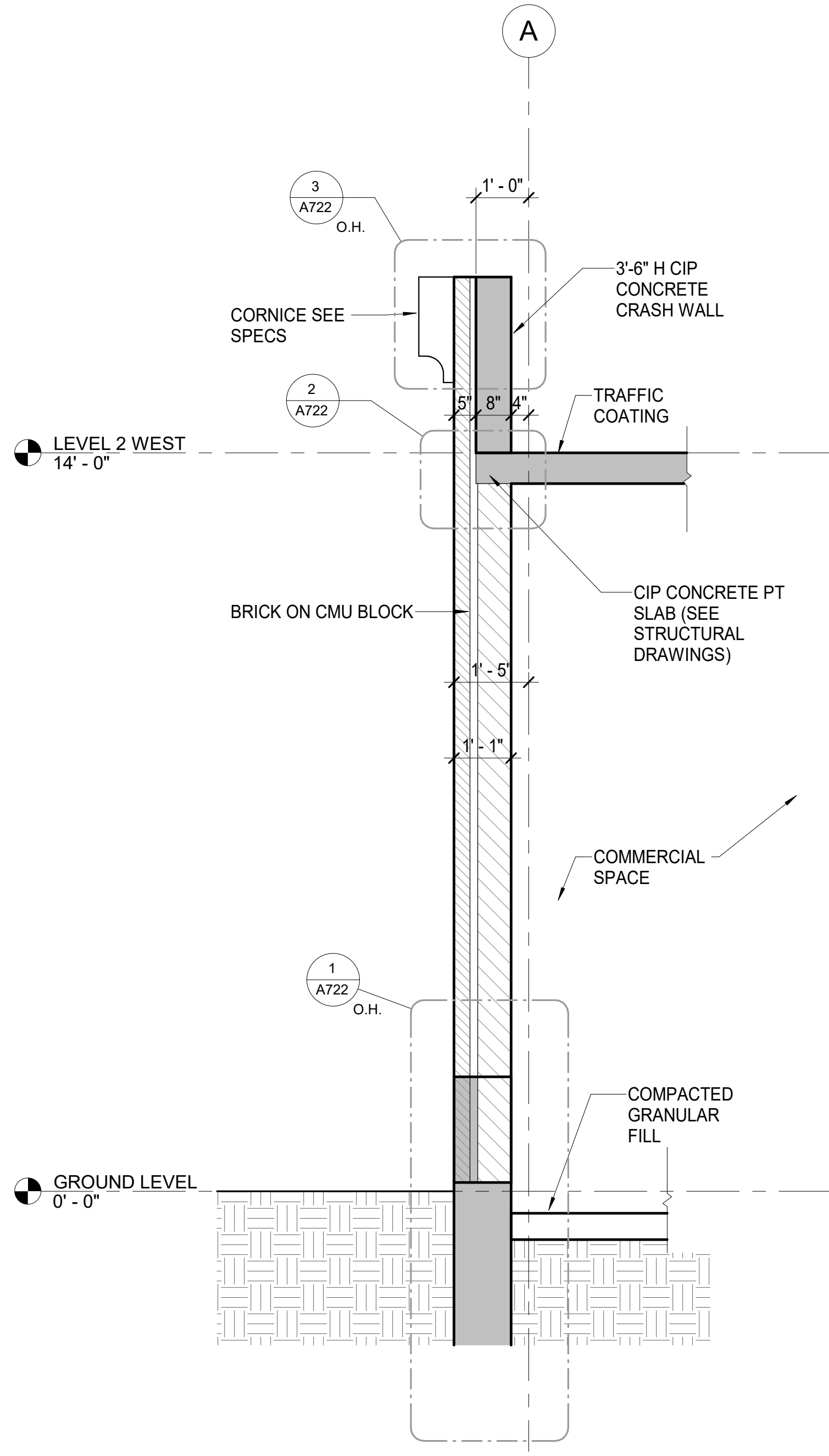
1 EAST STAIR SECTION GRID 1-2
A501 SCALE: 1/2" = 1'-0"



2 GRIDLINE A WALL SECTION GRID 3-4
A501 SCALE: 1/2" = 1'-0"



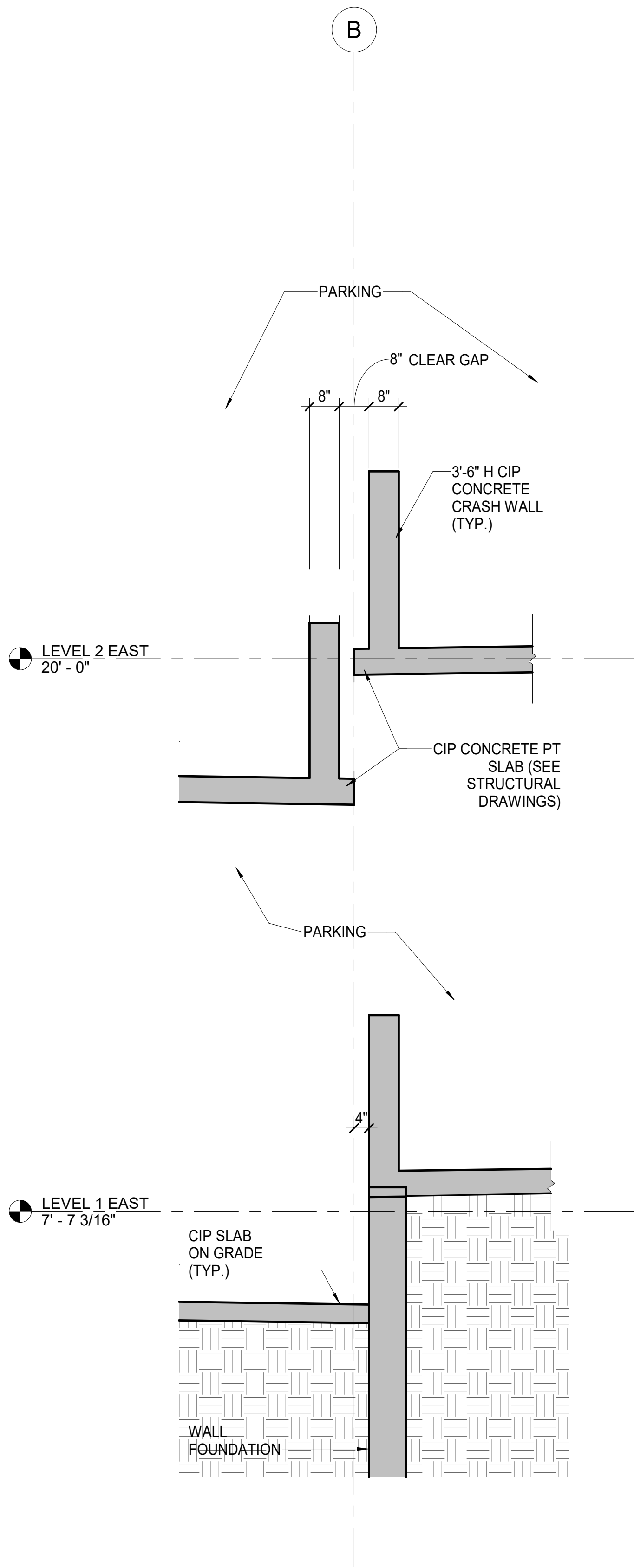
3 GRIDLINE A WALL SECTION GRID 4-5
A501 SCALE: 1/2" = 1'-0"



4 GRIDLINE A WALL SECTION GRID 6-7
A501 SCALE: 1/2" = 1'-0"

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40-0502-A-1-00-00-00



1 GRIDLINE B WALL SECTION GRID 3-4
A502 SCALE: 1/2" = 1'-0"



DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE
304 HILL STREET, EAST DUNDEE, IL 60118

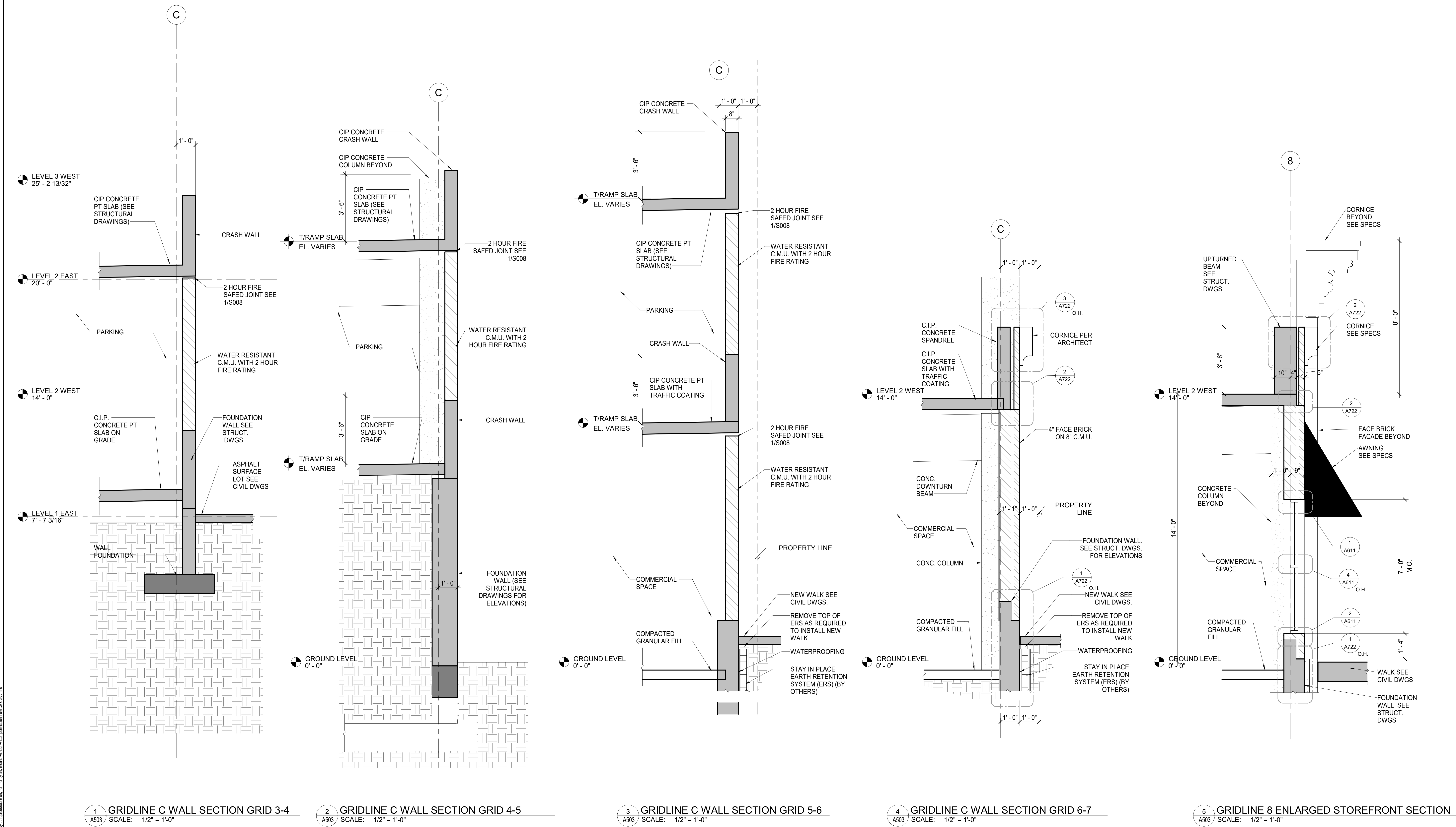


I S S U E		
ISSUE FOR PERMIT	06-10-24	

NO.	DESCRIPTION	DATE
DRAWING TITLE: WALL SECTIONS		

DRAWING NO:
A502

SCALE: 1/2" = 1'-0"		
DATE: ISSUED FOR PERMIT DEC-15-24		
PROJECT NO: 50-24102		
DES. Designer	RWN. Author	CHK'D. Checker



DESIGN

McHUGH
125
YEARS
EST. 1897

DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE
304 HILL STREET, EAST DUNDEE, IL 60118

STATE OF ILLINOIS
STEPHEN J. REBORA
PROFESSIONAL ARCHITECT
EXPIRATION DATE: 11/25

ISSUE
ISSUE FOR PERMIT
06-10-24

DRAWING TITLE:
WALL SECTIONS

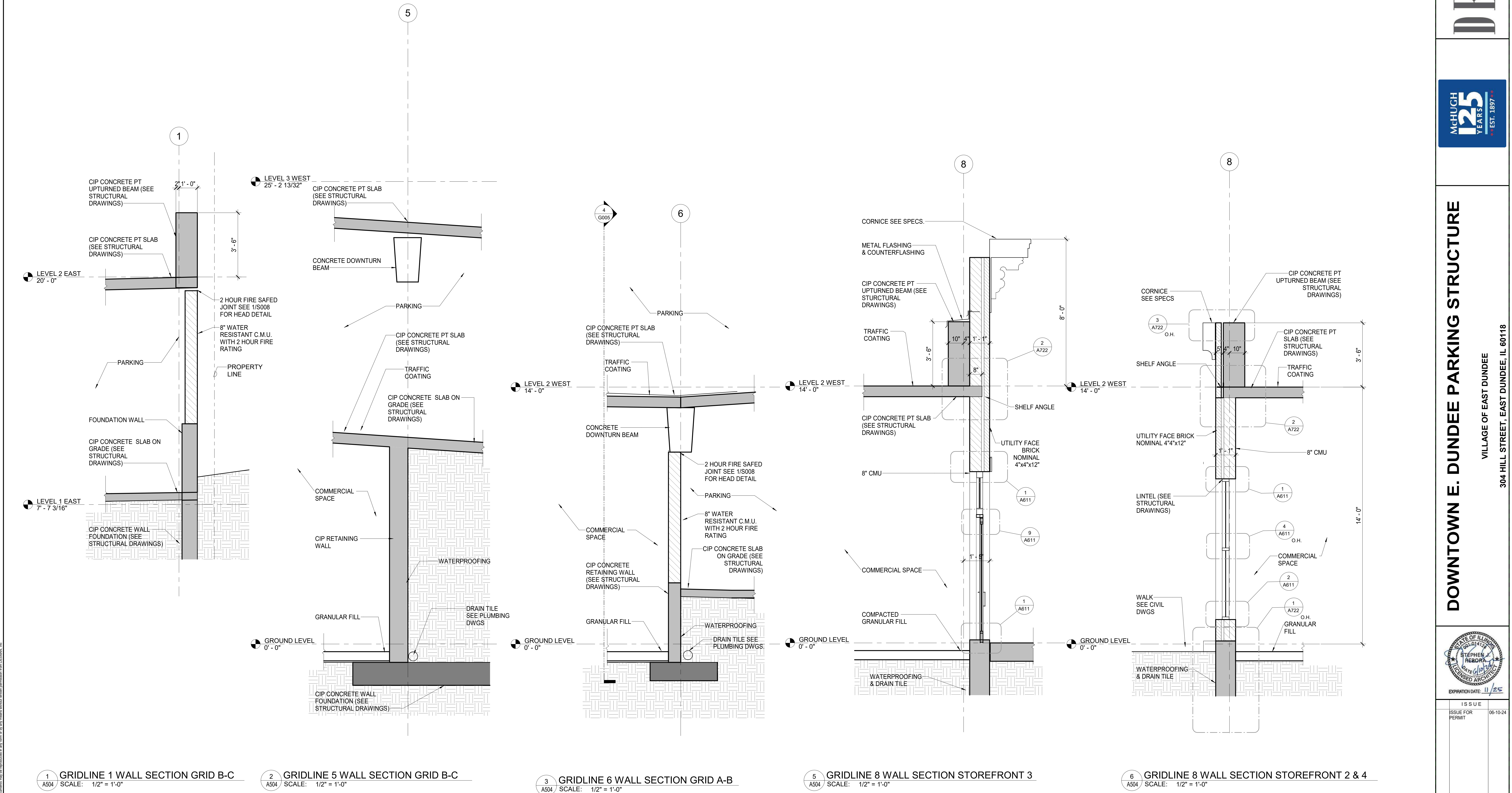
DRAWING NO:
A503

SCALE: 1/2" = 1'-0"
DATE: ISSUED FOR PERMIT 06-10-24
PROJECT NO: 50-24102

DES. Designer

RWN. Author

CHK'D. Checker



1
A504

GRIDLINE 1 WALL SECTION GRID B-C
SCALE: 1/2" = 1'-0"

2
A504

GRIDLINE 5 WALL SECTION GRID B-C
SCALE: 1/2" = 1'-0"

3
A504

GRIDLINE 6 WALL SECTION GRID A-B
SCALE: 1/2" = 1'-0"

5
A504

GRIDLINE 8 WALL SECTION STOREFRONT 3
SCALE: 1/2" = 1'-0"

6
A504

GRIDLINE 8 WALL SECTION STOREFRONT 2 & 4
SCALE: 1/2" = 1'-0"

DESIGNER
RWN
AUTHOR
CHK'D
CHECKER

DATE
ISSUED FOR
PERMIT DEC-24
PROJECT NO. 50-24102

SCALE: 1/2" = 1'-0"

DATE: 06-10-24

DRAWING NO.:
A504

ISSUE
ISSUE FOR
PERMIT
06-10-24

NO. DESCRIPTION DATE

DRAWING TITLE:
WALL SECTIONS

DESIGNER
RWN
AUTHOR
CHK'D
CHECKER

DATE
ISSUED FOR
PERMIT DEC-24
PROJECT NO. 50-24102

SCALE: 1/2" = 1'-0"

DATE: 06-10-24

DRAWING NO.:
A504

ISSUE
ISSUE FOR
PERMIT
06-10-24

NO. DESCRIPTION DATE

DRAWING TITLE:
WALL SECTIONS

DOWNTOWN E. DUNDEE PARKING STRUCTURE
VILLAGE OF EAST DUNDEE
304 HILL STREET, EAST DUNDEE, IL 60118

McHUGH
125
YEARS
EST. 1897

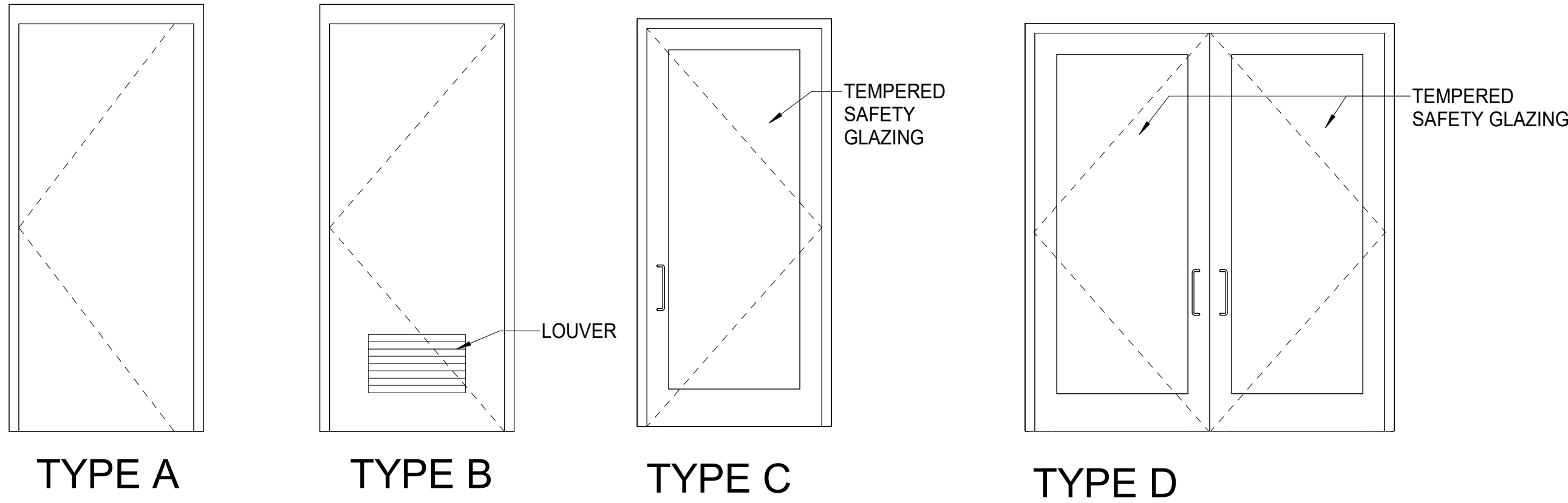
DESIGNER
RWN
AUTHOR
CHK'D
CHECKER

DOOR SCHEDULE

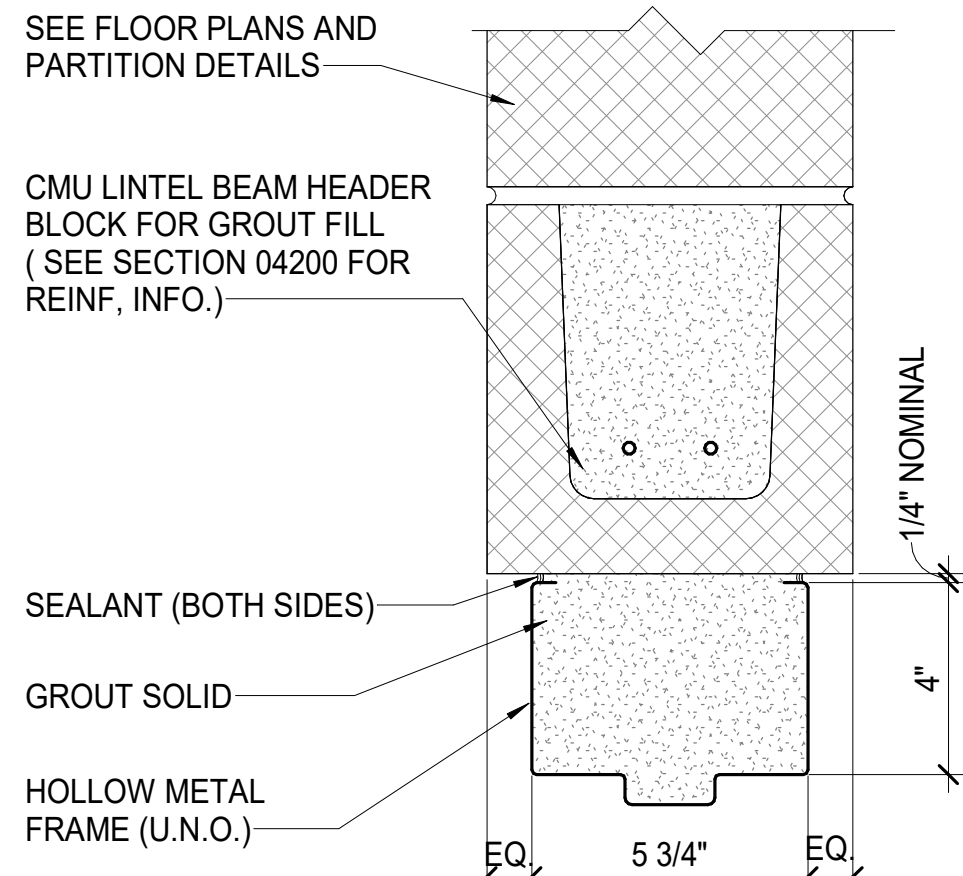
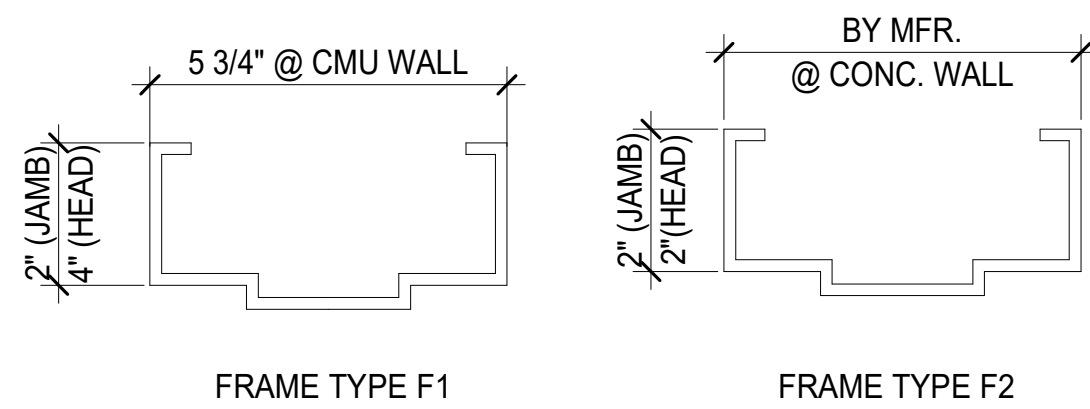
MARK	LOCATION		WIDTH (INCL. FRAME)	DOOR				RATING (MINUTES)	TYPE	MATERIAL	FRAME FRAME DETAIL SECTION MARKS			HARDWARE SET	COMMENTS
	ROOM NUMBER	ROOM NAME		WIDTH	HEIGHT	THICKNESS	TYPE				HEAD	JAMB	SILL		
101	101	STAIR / ELEV	4' - 0"	4' - 0"	7' - 2"	0' - 1 3/4"	C	-	ALUM	ALUM	5/A611	6/A611	7/A611	HS1	
101A	101	ELEVATOR HOISTWAY	3' - 0"	3' - 0"	7' - 0"	0' - 1 3/4"	A	90	HM	HM	5/A601	6/A601	3/A601	HS4	Door Must Open 180 degrees
102	102	COMMERCIAL	6' - 0"	6' - 0"	7' - 0"	0' - 1 3/4"	C	-	AL/GL	ALUM	5/A611	6/A611	7/A611	HS3	
103	103	WATER ROOM	3' - 0"	3' - 0"	7' - 0"	0' - 1 3/4"	A	45	HM	HM	5/A601	6/A601	3/A601	HS4	
104	104	ELECTRICAL ROOM	3' - 0"	3' - 0"	7' - 0"	0' - 1 3/4"	B	45	HM	HM	5/A601	6/A601	3/A601	HS4	
105	105	HALL	3' - 0"	3' - 0"	7' - 0"	0' - 1 3/4"	A	45	HM	HM	5/A601	6/A601	3/A601	HS4	
201	201	STAIR/ELEV	4' - 0"	4' - 0"	7' - 2"	0' - 1 3/4"	C	-	AL/GL	ALUM	5/A611	6/A611	7/A611	HS2	
x45			3' - 0"		7' - 0"	0' - 1 3/4"	A	45			5/A601	6/A601	3/A601	(none)	

NOTE: REFER TO SPECIFICATION SECTIONS 08 70 00 AND 08 51 13 FOR FURTHER INFORMATION ON HARDWARE.

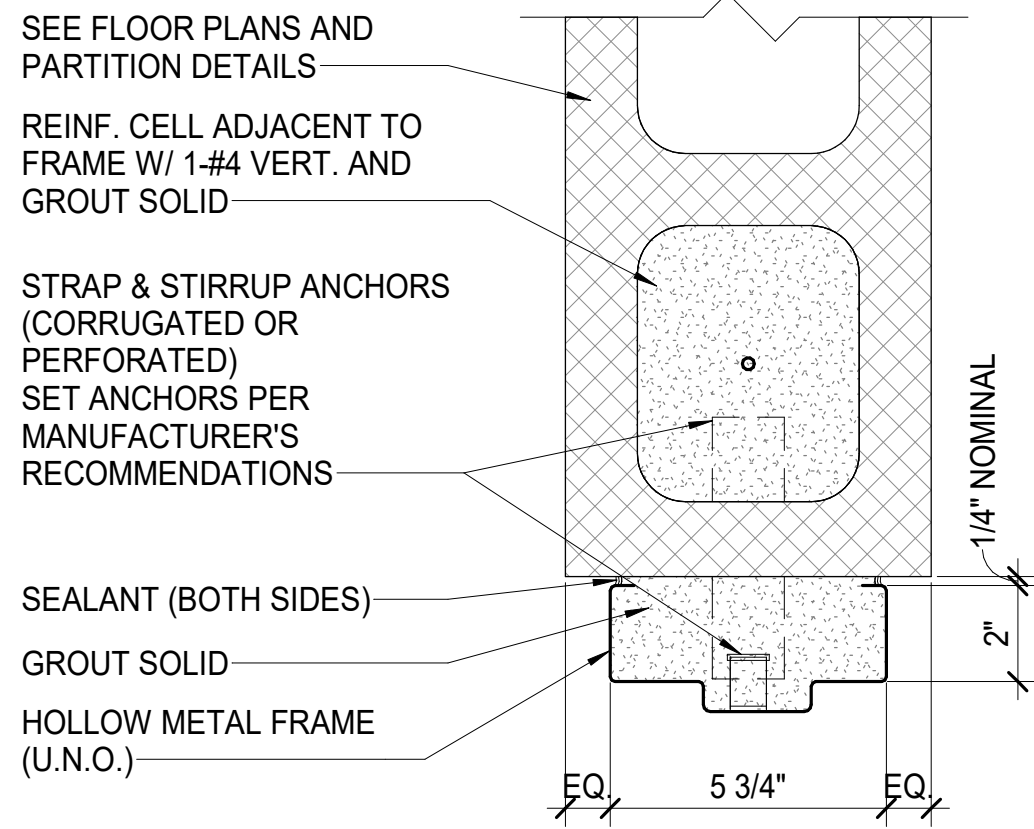
DOOR TYPES



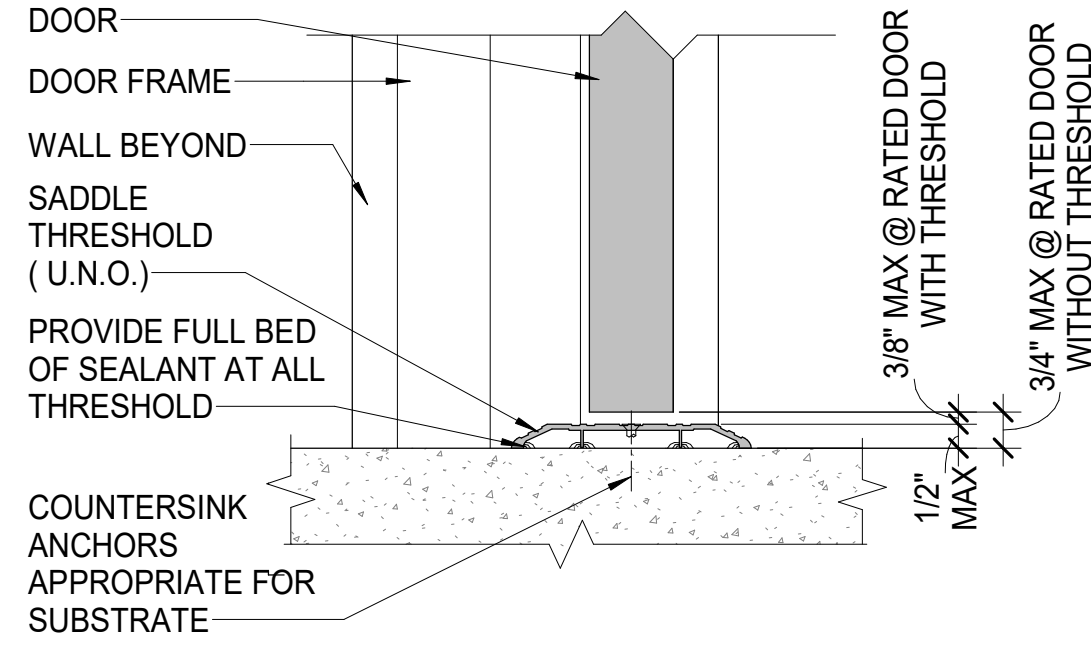
FRAME TYPES



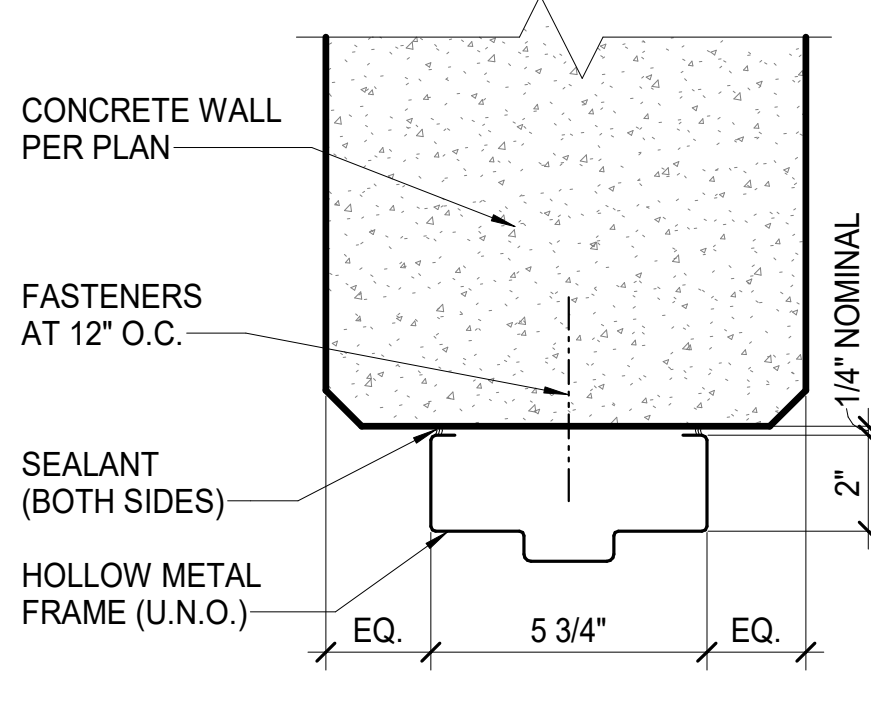
1 H.M. DOOR HEAD AT CMU WALL
A601 SCALE: 3" = 1'-0"



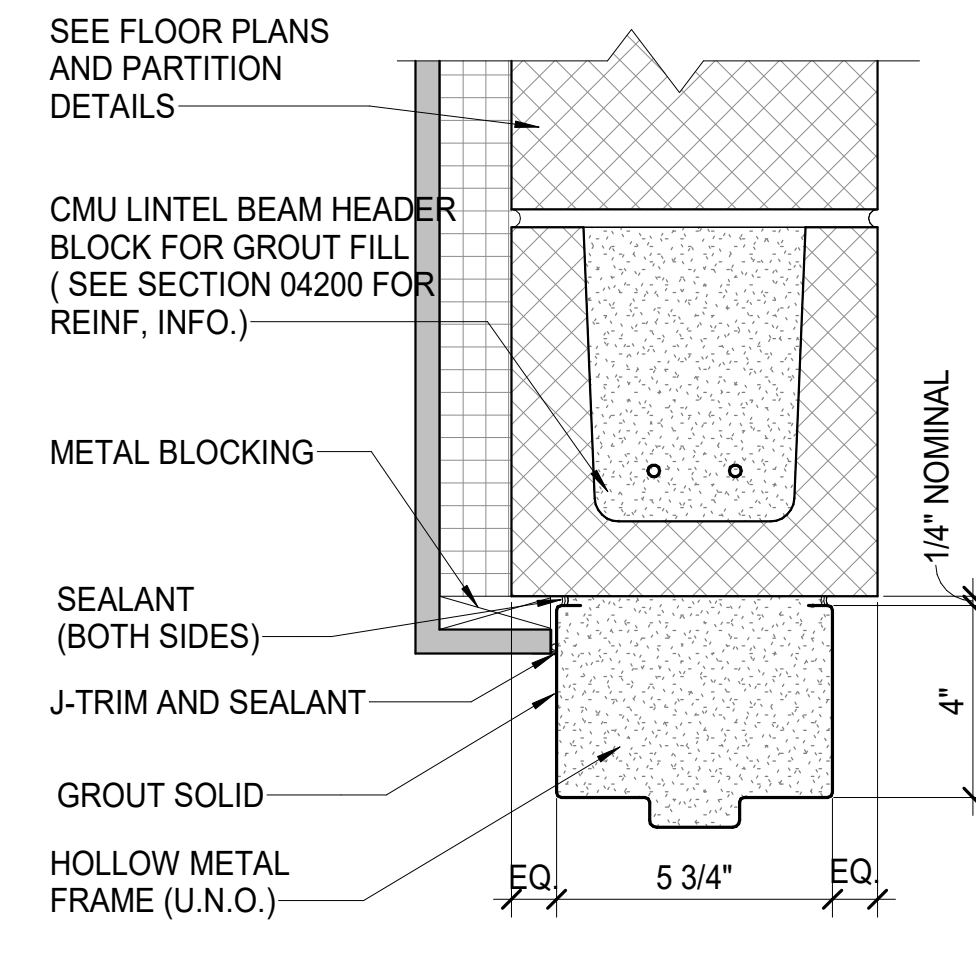
2 H.M. DOOR JAMB AT CMU WALL
A601 SCALE: 3" = 1'-0"



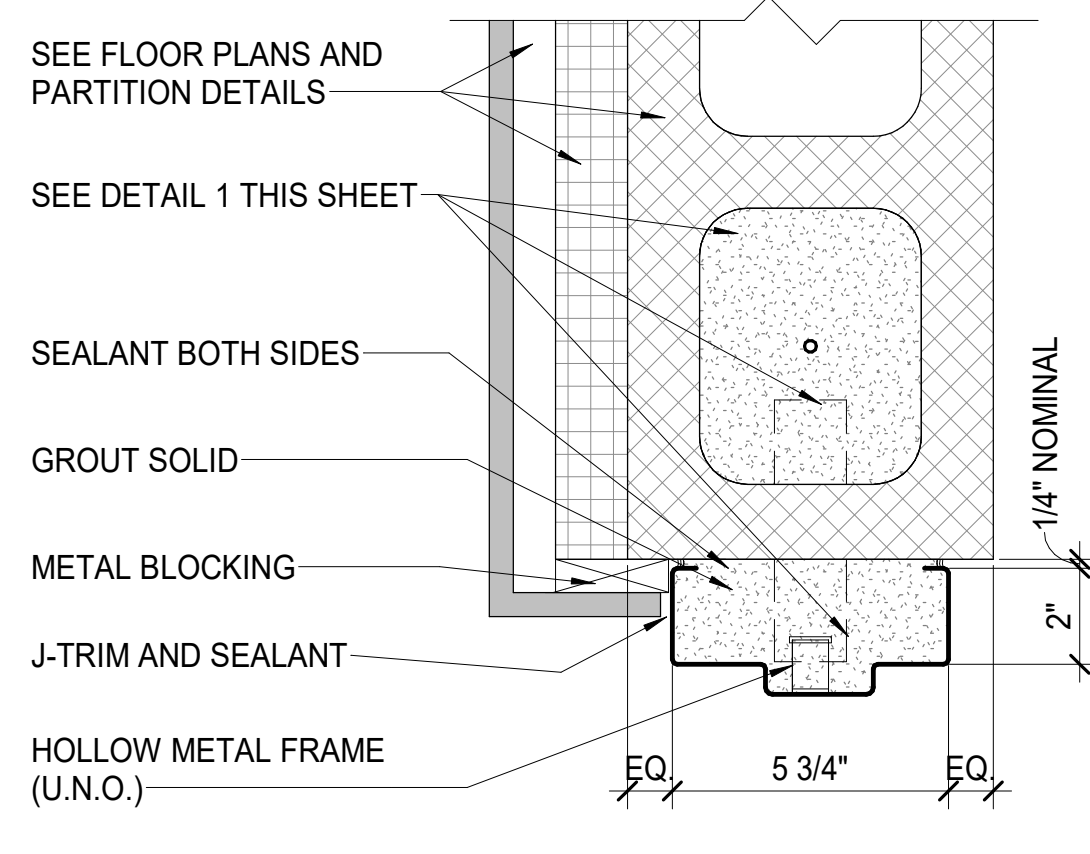
3 DOOR SILL
A601 SCALE: 3" = 1'-0"



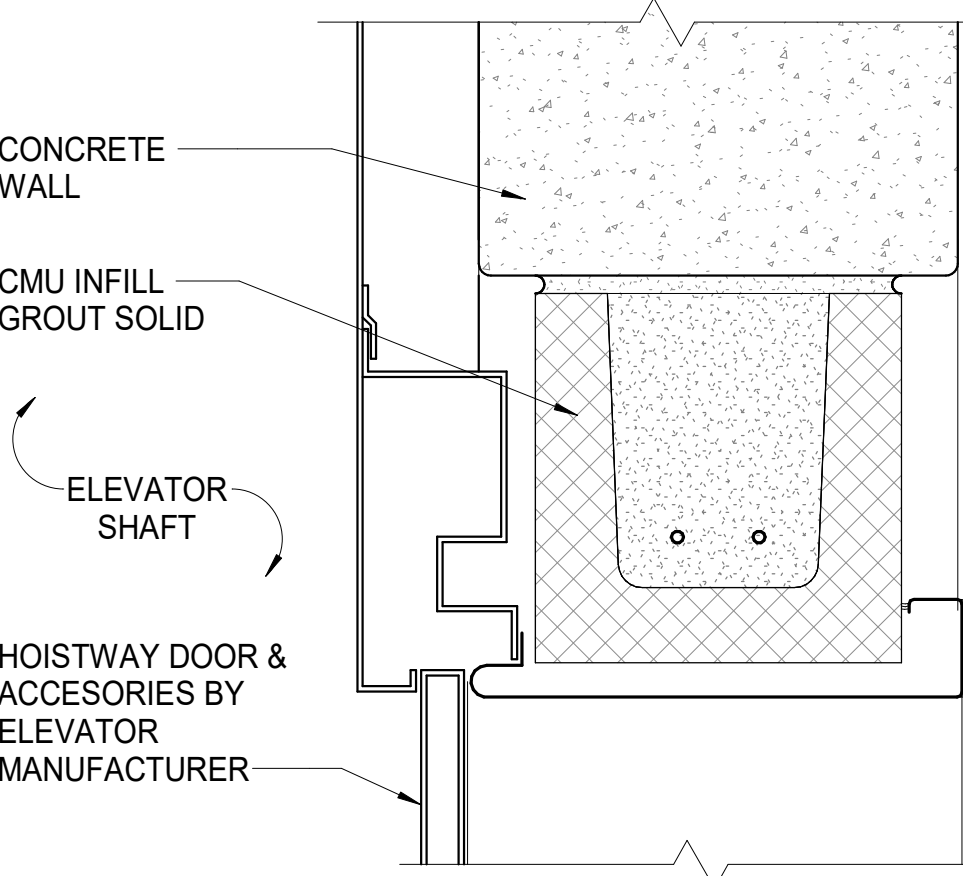
4 DOOR HEAD AT CONCRETE WALL
A601 SCALE: 3" = 1'-0"



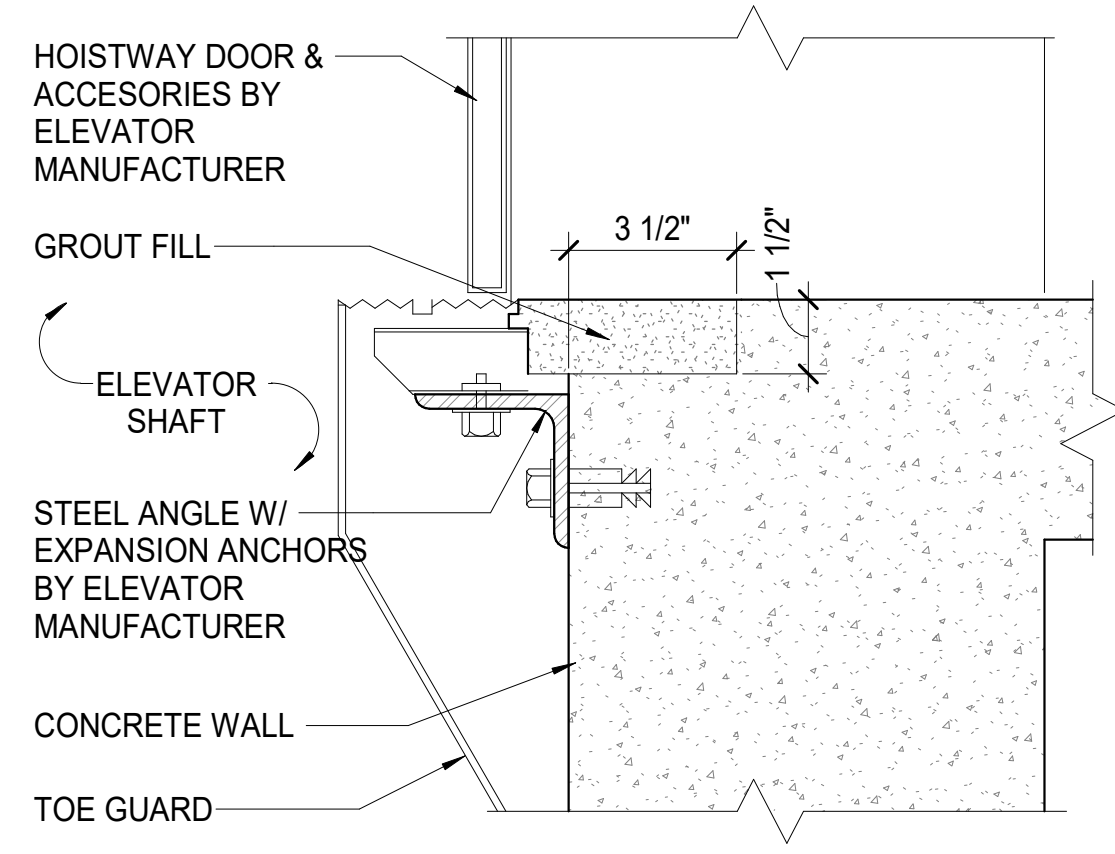
5 DOOR HEAD AT CMU WALL W/ FURRING
A601 SCALE: 3" = 1'-0"



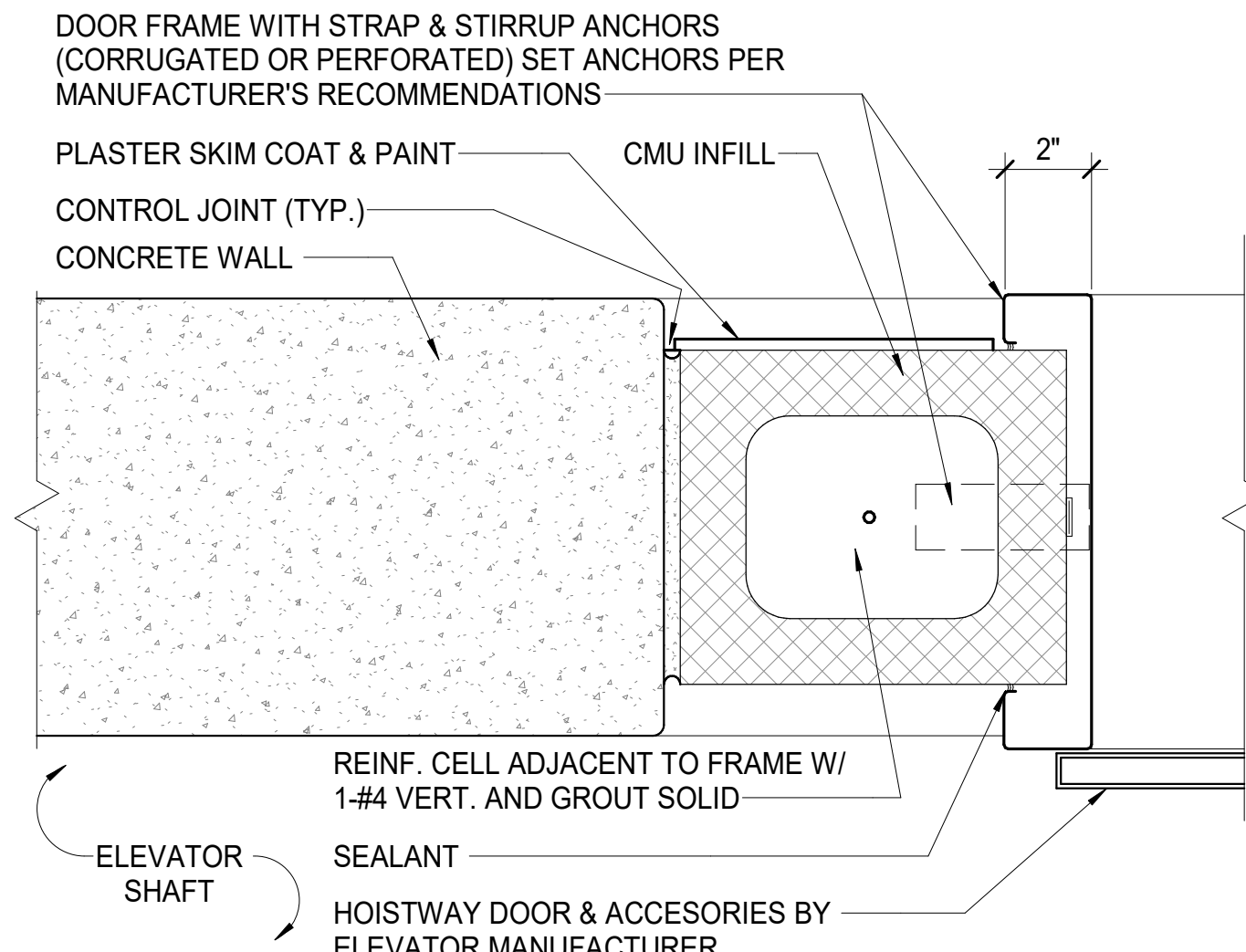
6 DOOR JAMB AT CMU WALL W/ FURRING
A601 SCALE: 3" = 1'-0"



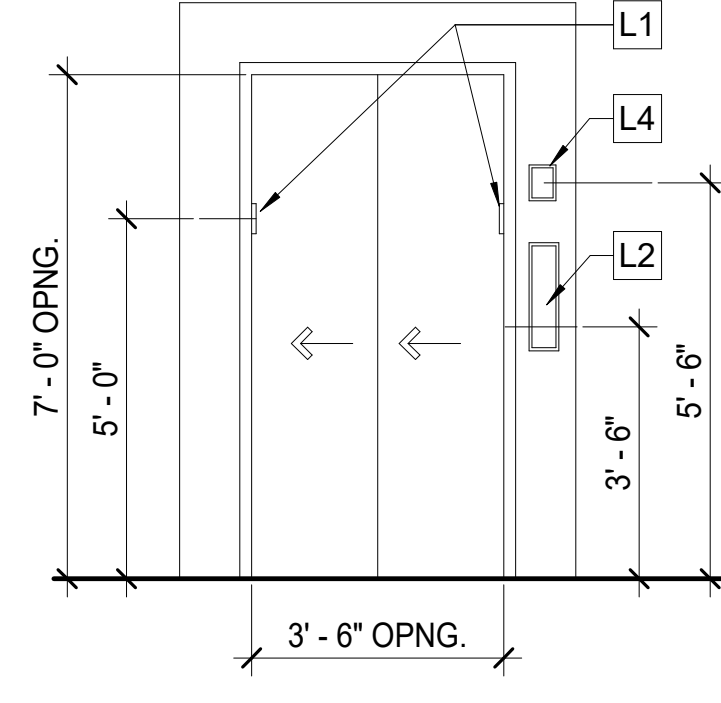
7 ELEVATOR DOOR HEAD
A601 SCALE: 3" = 1'-0"



8 ELEVATOR DOOR SILL
A601 SCALE: 3" = 1'-0"



9 ELEVATOR DOOR JAMB
A601 SCALE: 3" = 1'-0"



10 TYPICAL ELEVATOR LOBBY NOTES
A601 SCALE: NOT TO SCALE

LOBBY NOTES:

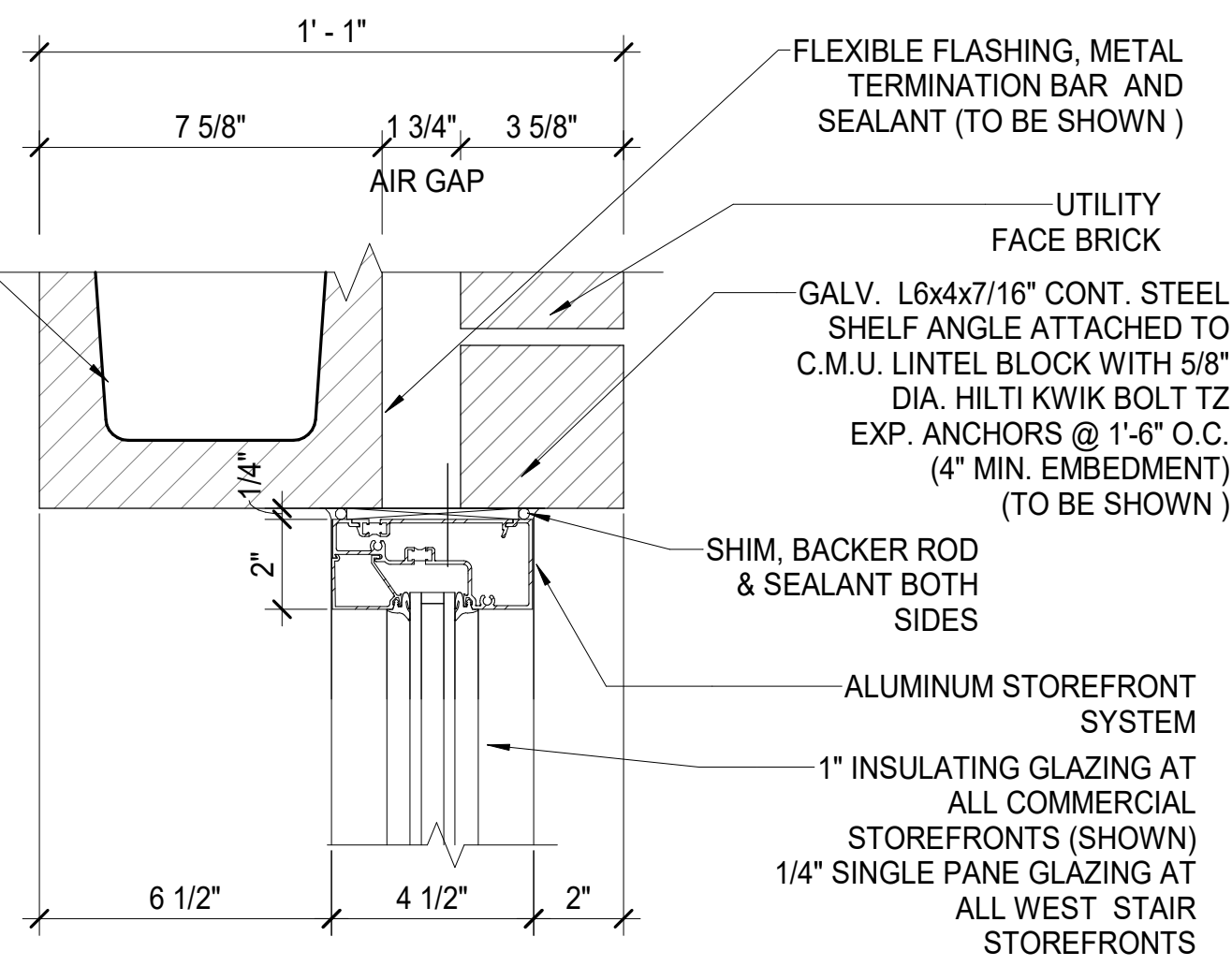
- L1 FLOOR IDENTIFICATION PLATE, TYPICAL ALL FLOORS.
- L2 HALL PUSH BUTTON STATION, AS INDICATED IN THE SPECIFICATION. TYPICAL ALL FLOORS.
- L3 A LOBBY DIRECTION LANTERN WILL BE PROVIDED IN EACH LOBBY, IN THE JAMB OF THE ELEVATOR AS INDICATED IN THE SPECIFICATIONS.
- L4 HOISTWAY ACCESS SWITCHES IN TOP AND BOTTOM FLOOR HALL PUSHBUTTON STATIONS

ROOM FINISHES

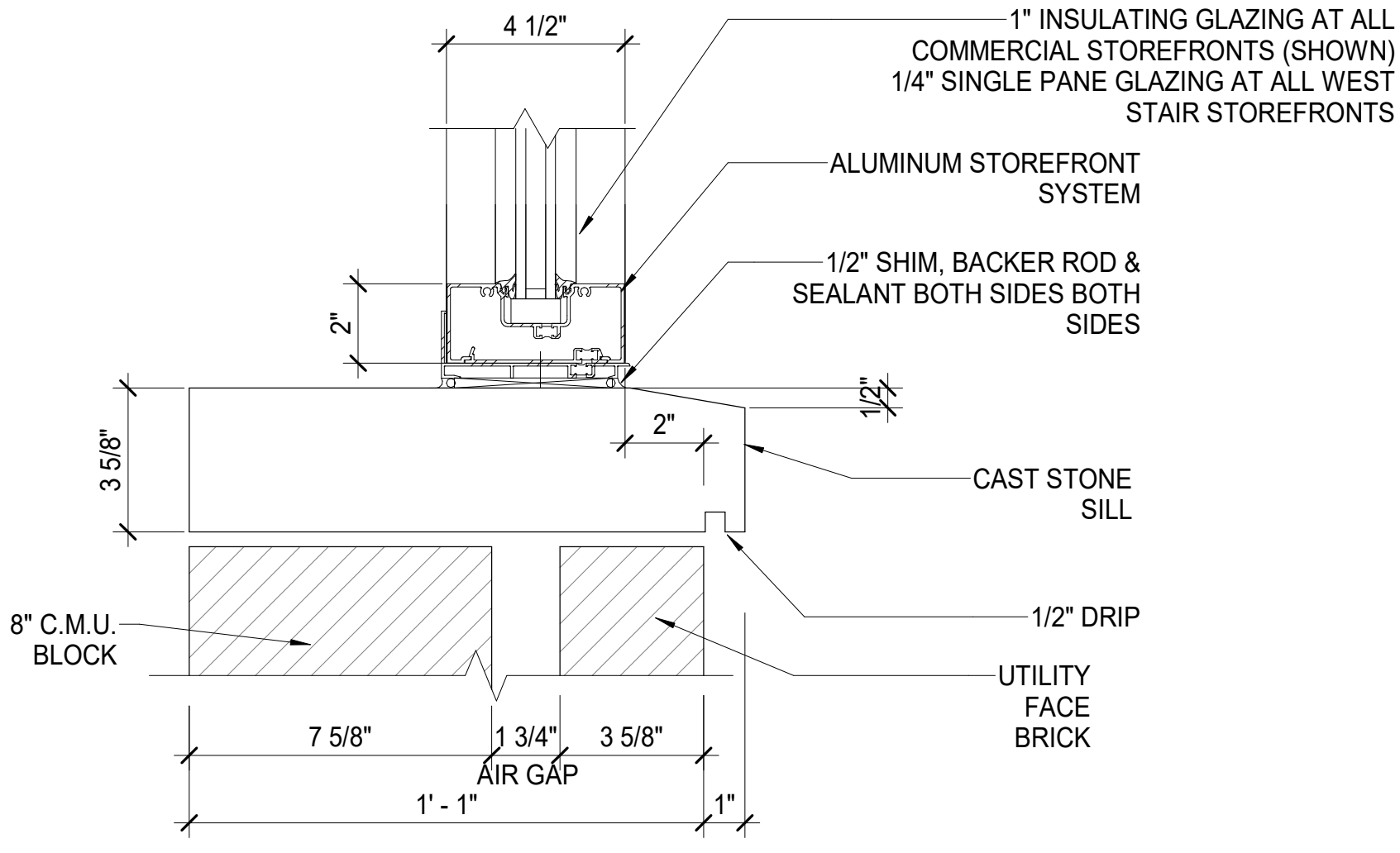
ALUM	ALUMINUM ASSEMBLIES
AL/GL	ALUM & GLASS
ANOD	ANODIZED
CIP	CAST-IN-PLACE CONCRETE
CMU	CONCRETE MASONRY UNIT
CO/CM	PARTIAL CONC AND CMU
CO/PC	PARTIAL CONC AND PCC
GB	FIBERGLASS REINFORCED GYP.BD.
GL/CM	PARTIAL AL/GL AND CMU
GL/CO	PARTIAL AL/GL AND CONC
GL/PC	PARTIAL AL/GL AND PCC
HM	HOLLOW METAL
PCC	PRECAST CONCRETE
PC/CM	PARTIAL PCC AND CMU
PT	PAINTED
SEA	SEALED
SOG	SLAB ON GRADE
T	TEMPERED

Exhibit G

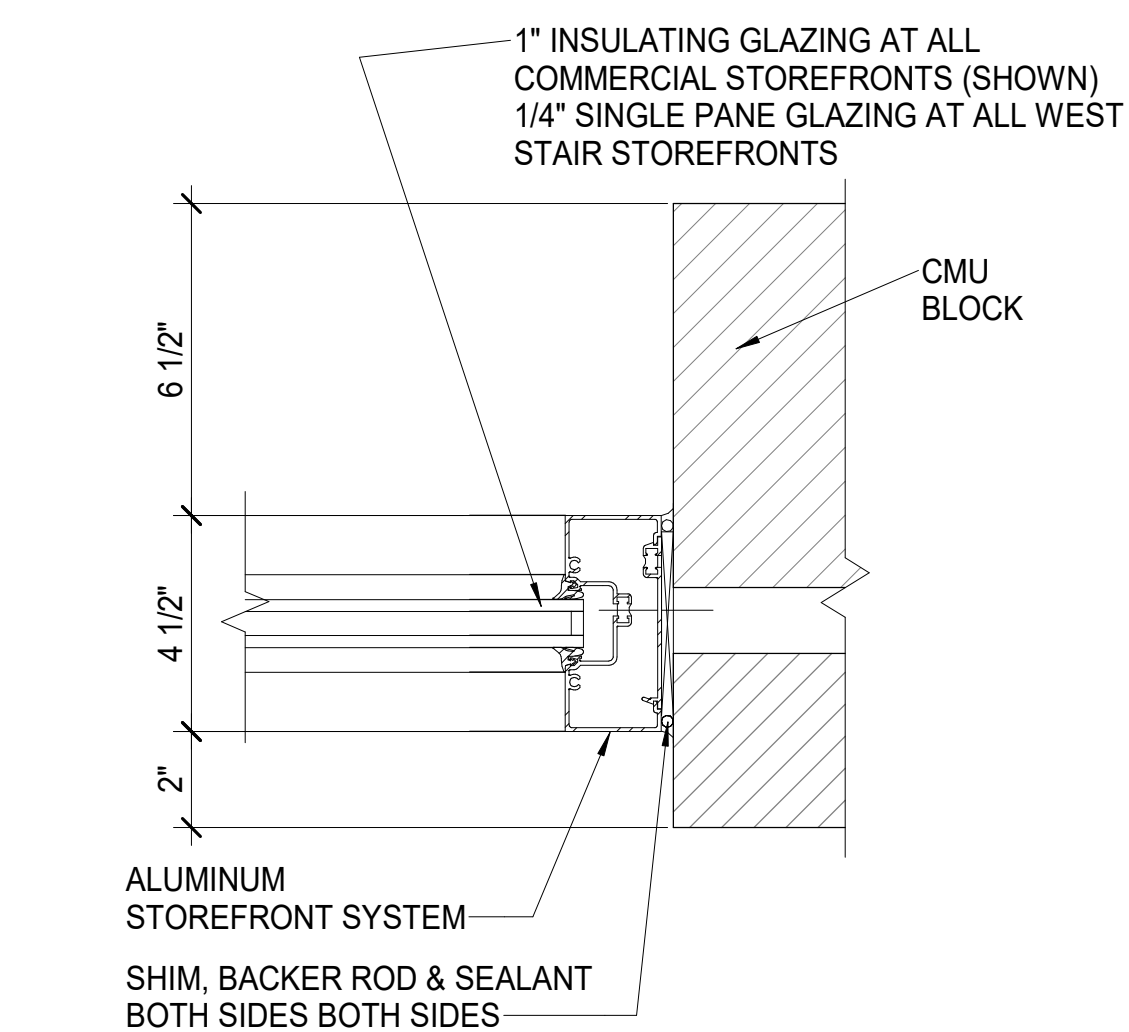
8" C.M.U. LINTEL BLOCK SEE STRUCT. DWGS. FOR REINFORCING



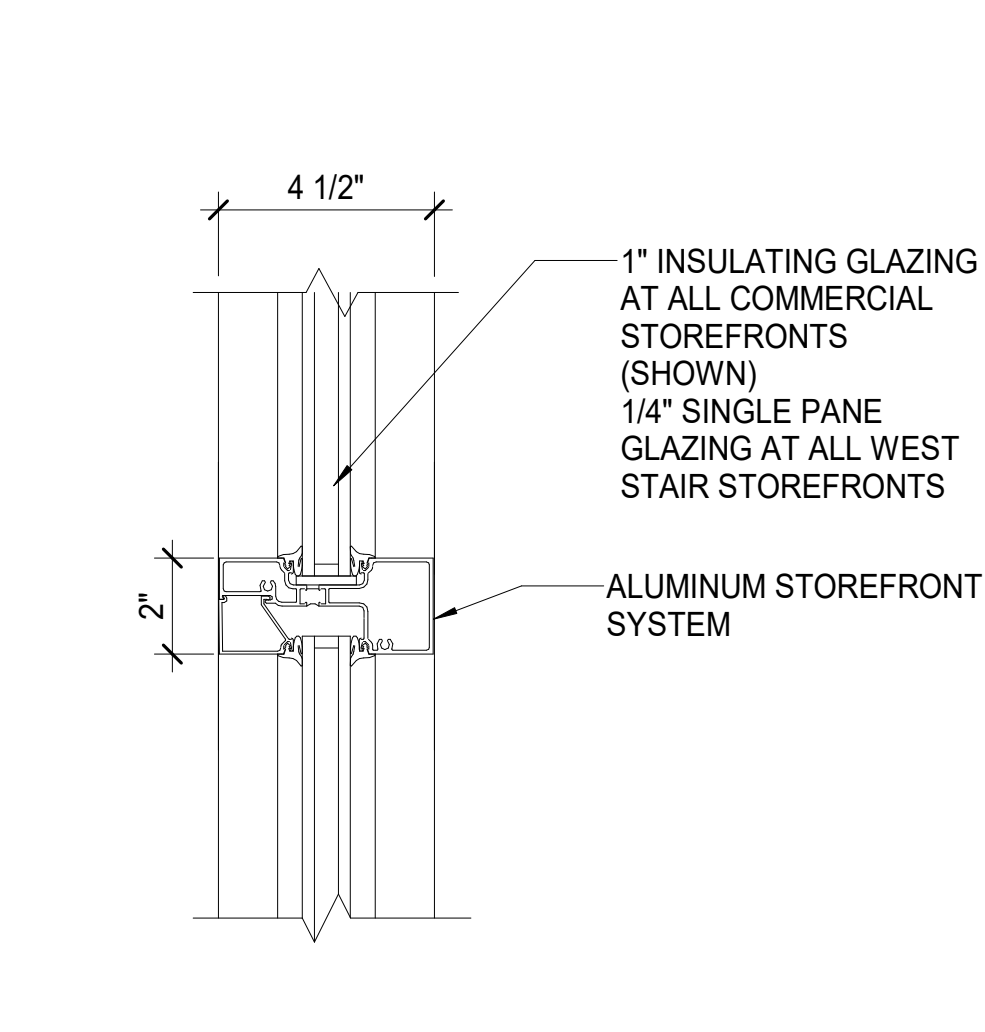
1 TYPICAL STOREFRONT HEAD DETAIL
A611 SCALE: 3" = 1'-0"



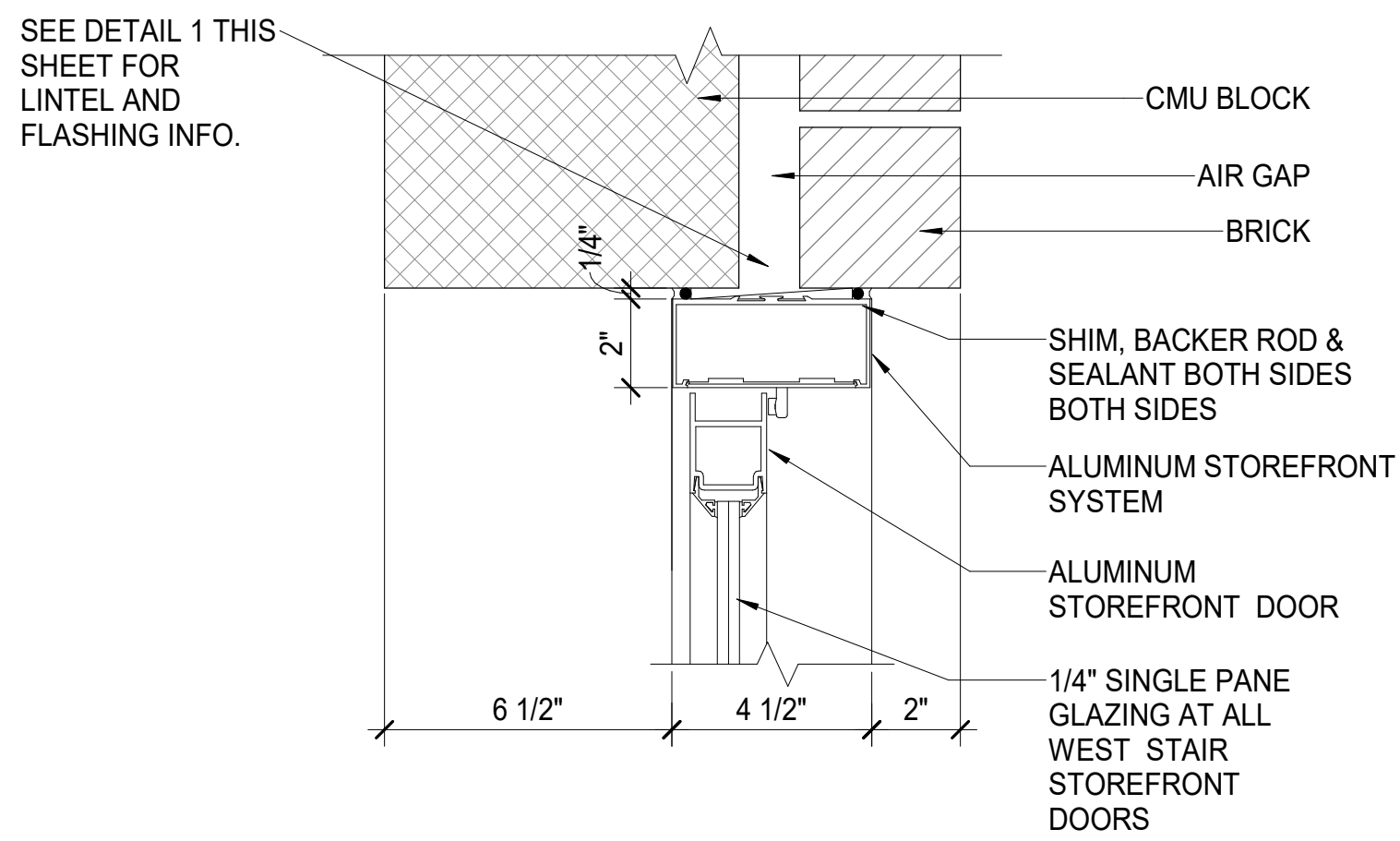
2 TYPICAL STOREFRONT SILL DETAIL
A611 SCALE: 3" = 1'-0"



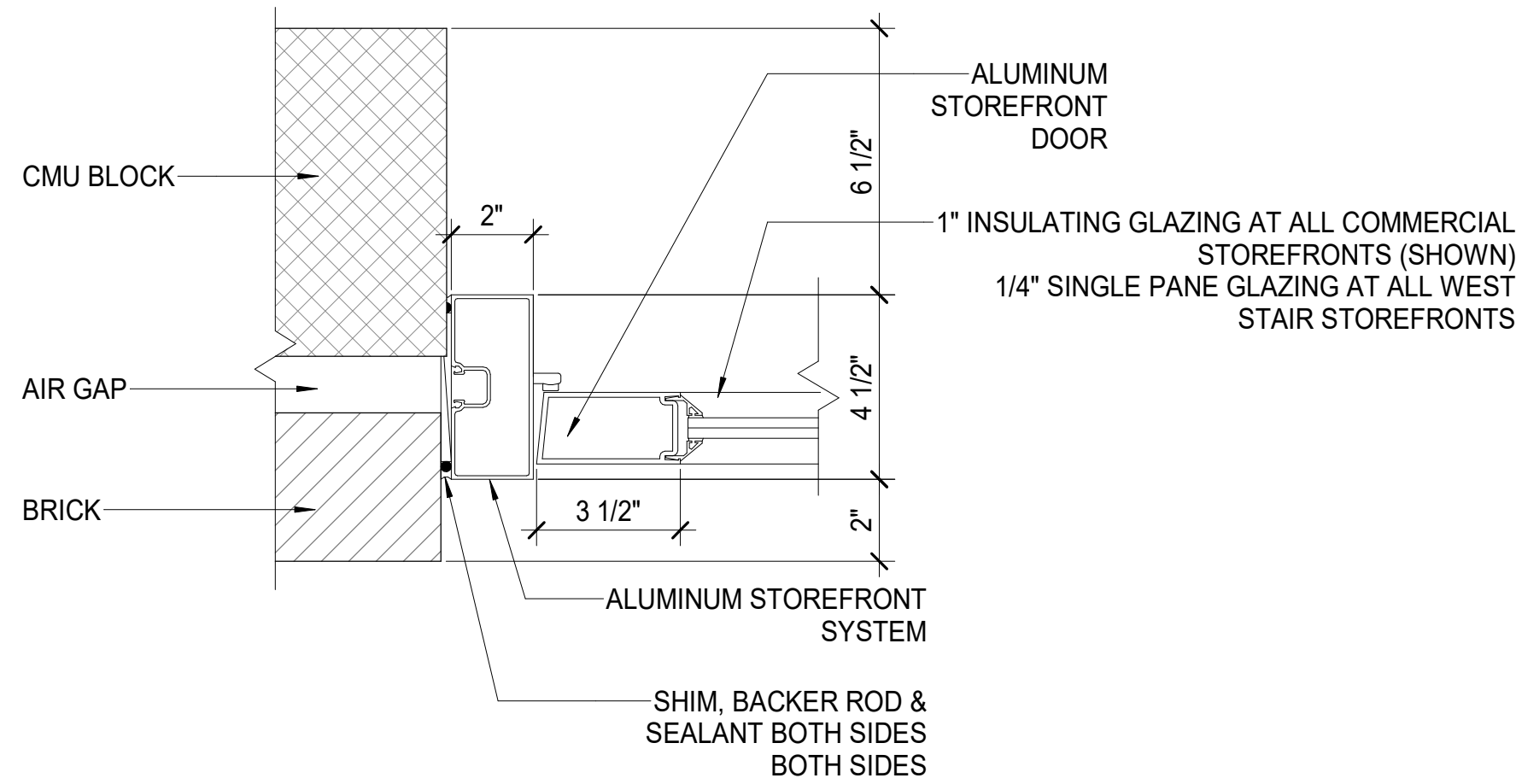
3 TYPICAL STOREFRONT JAMB DETAIL
A611 SCALE: 3" = 1'-0"



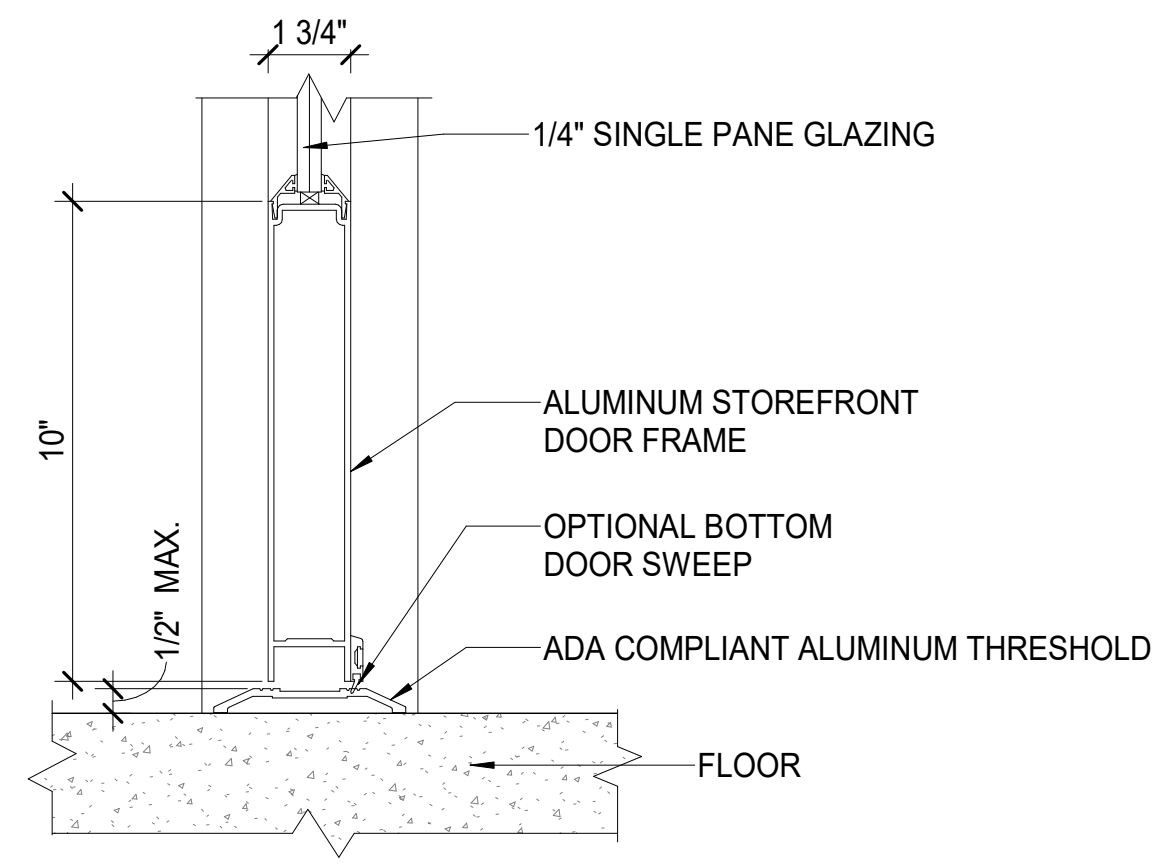
4 TYPICAL STOREFRONT INTERMEDIATE MULLION DETAIL
A611 SCALE: 3" = 1'-0"



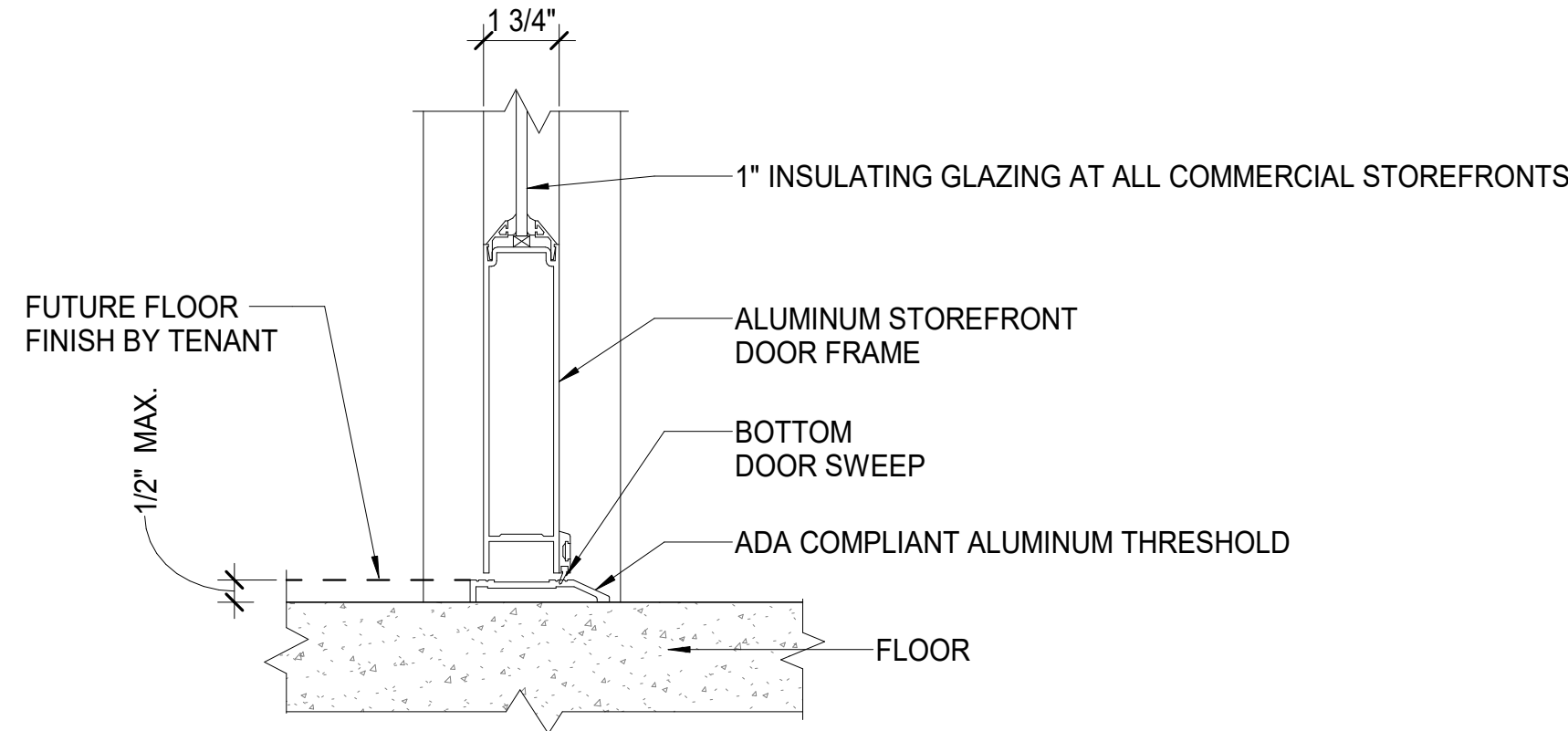
5 WEST STAIR DOOR HEAD
A611 SCALE: 3" = 1'-0"



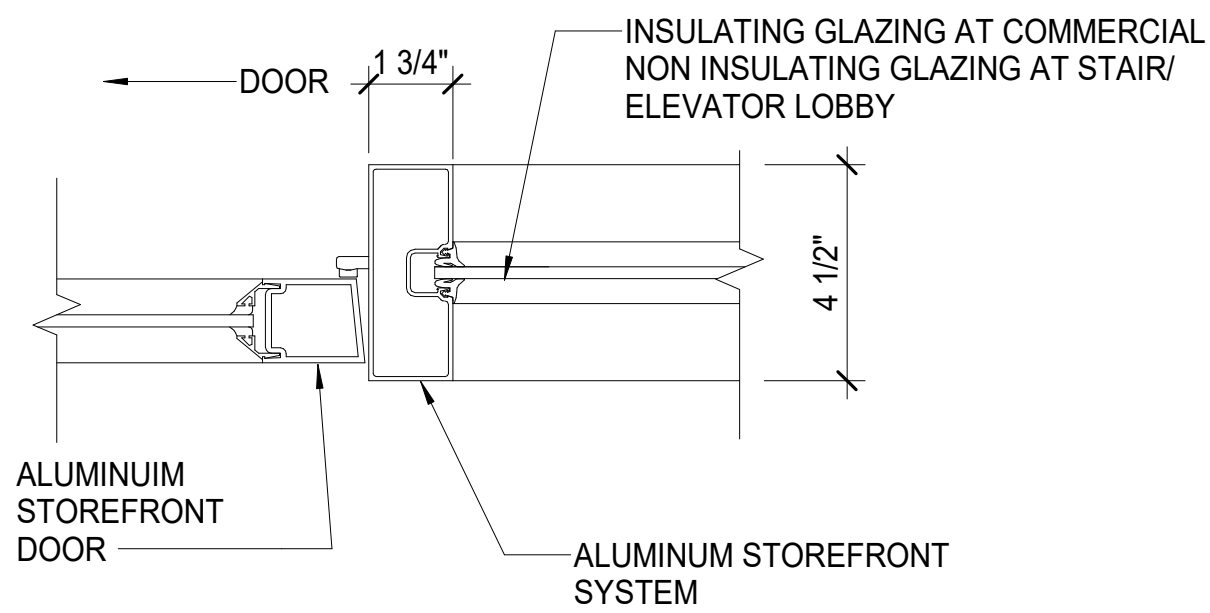
6 TYPICAL STOREFRONT DOOR JAMB DETAIL
A611 SCALE: 3" = 1'-0"



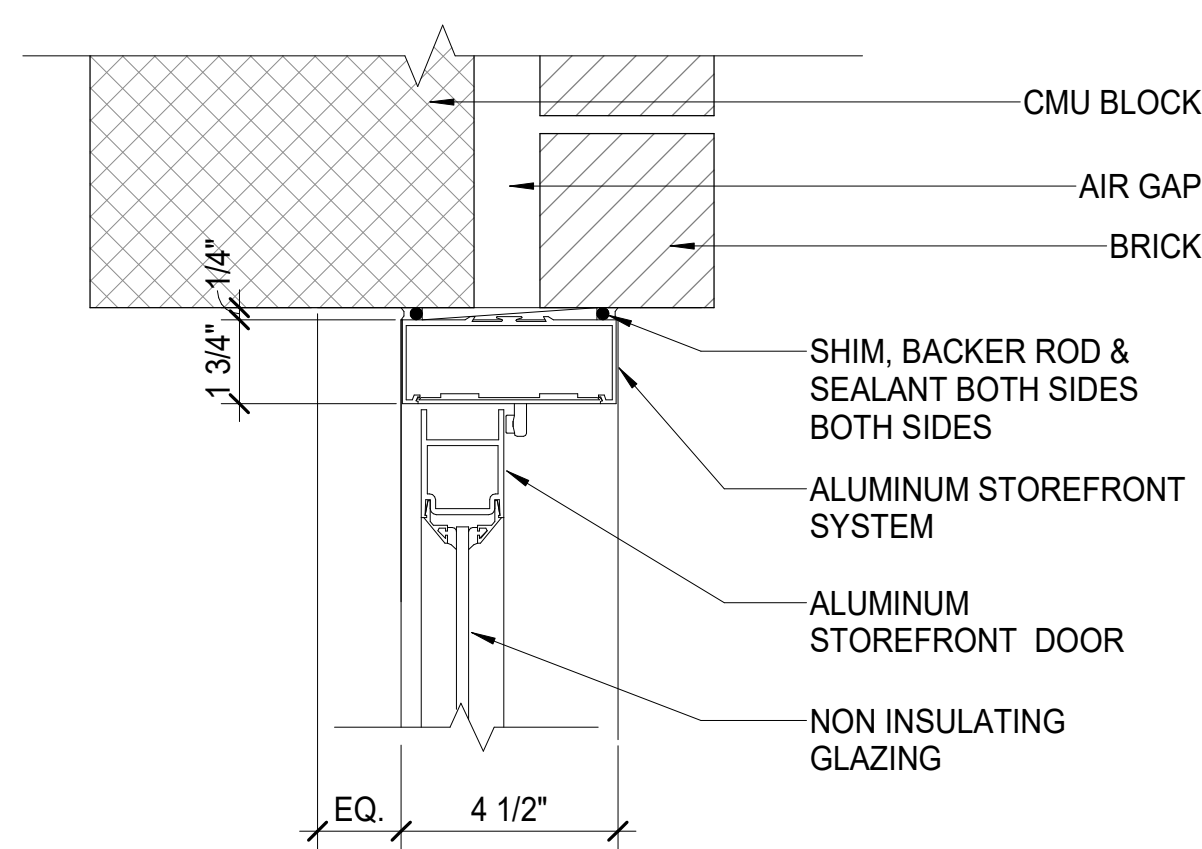
7 DOOR SILL DETAIL AT WEST STAIR
A611 SCALE: 3" = 1'-0"



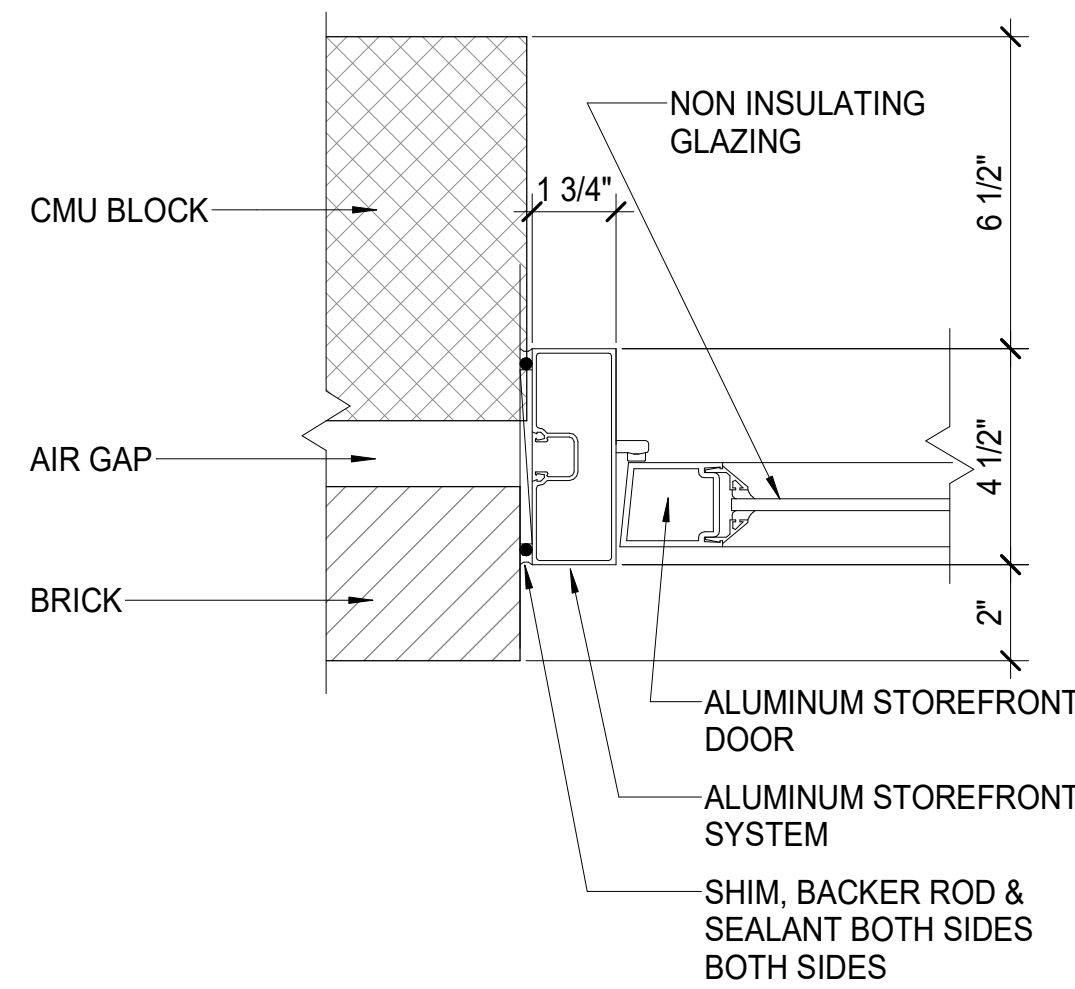
8 DOOR SILL DETAIL AT COMMERCIAL SPACE
A611 SCALE: 3" = 1'-0"



9 DOOR JAMB OR HEAD TO STOREFRONT DETAIL
A611 SCALE: 3" = 1'-0"



14 STOREFRONT 1/4" DOOR HEAD
A611 SCALE: 3" = 1'-0"



16 STOREFRONT 1/4" DOOR JAMB
A611 SCALE: 3" = 1'-0"

DESMAN



DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE

304 HILL STREET, EAST DUNDEE, IL 60118



ISSUE	06-10-24
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DRAWING TITLE:
STOREFRONT DETAILS

DRAWING NO:

A611

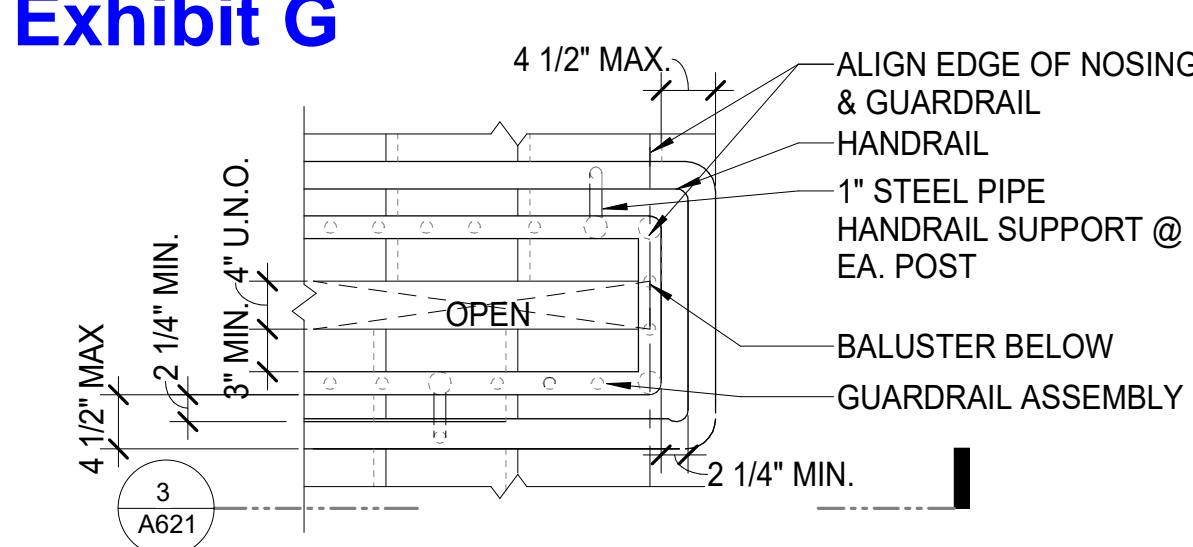
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DATE: ISSUED FOR

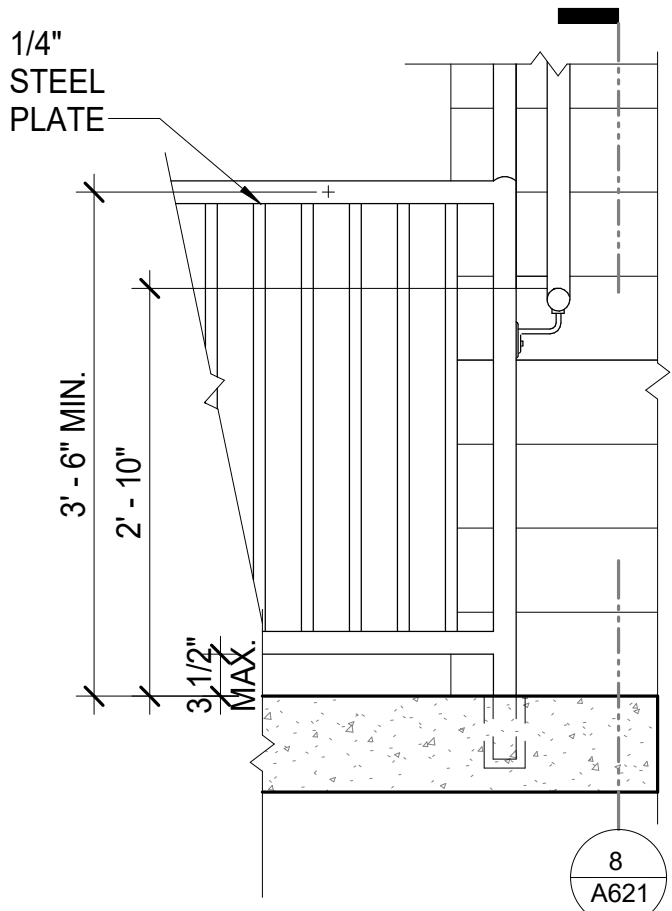
PERMIT NO: 50-24102

DES. RWN. CHK'D.

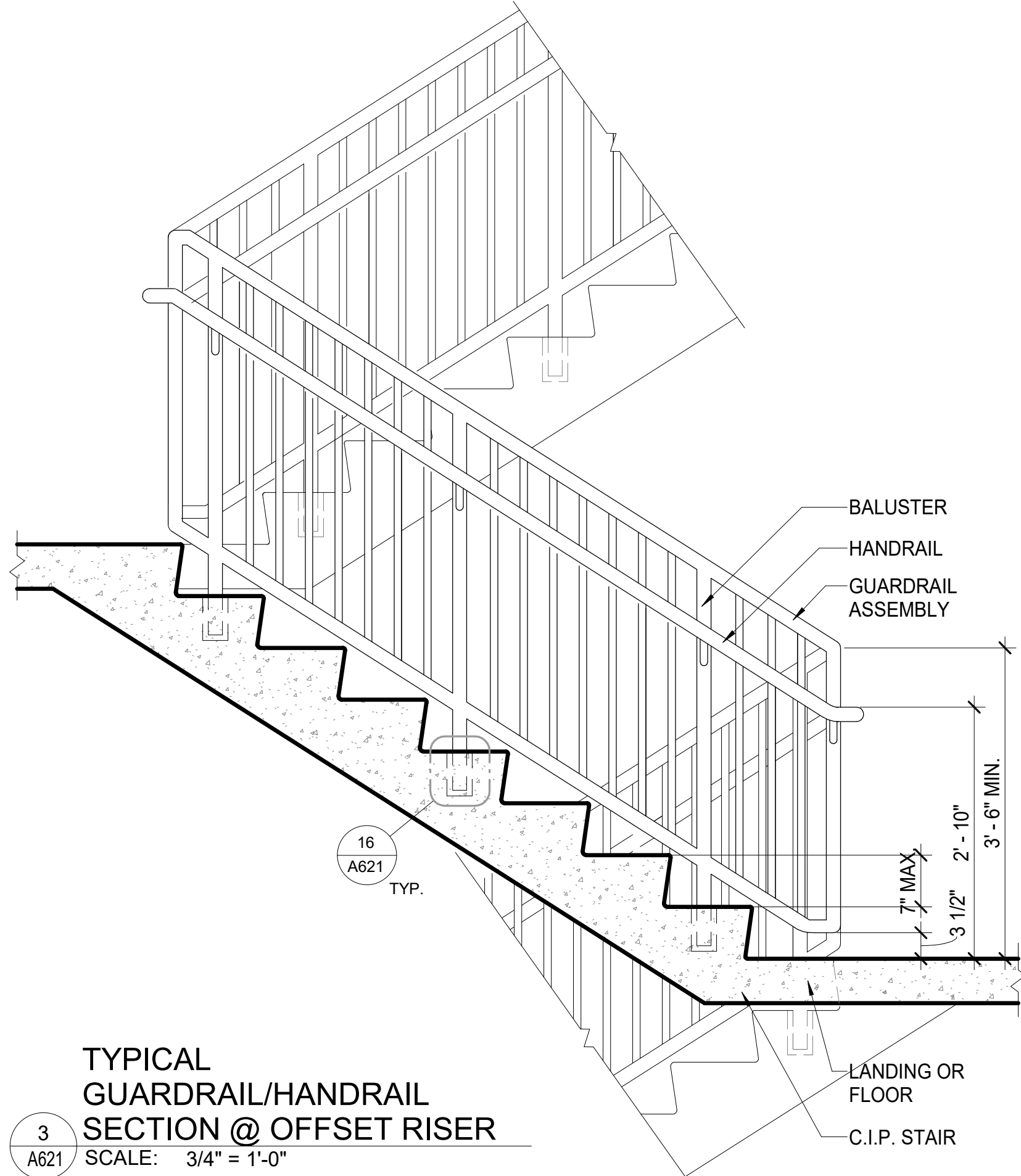
Designer Author Checker



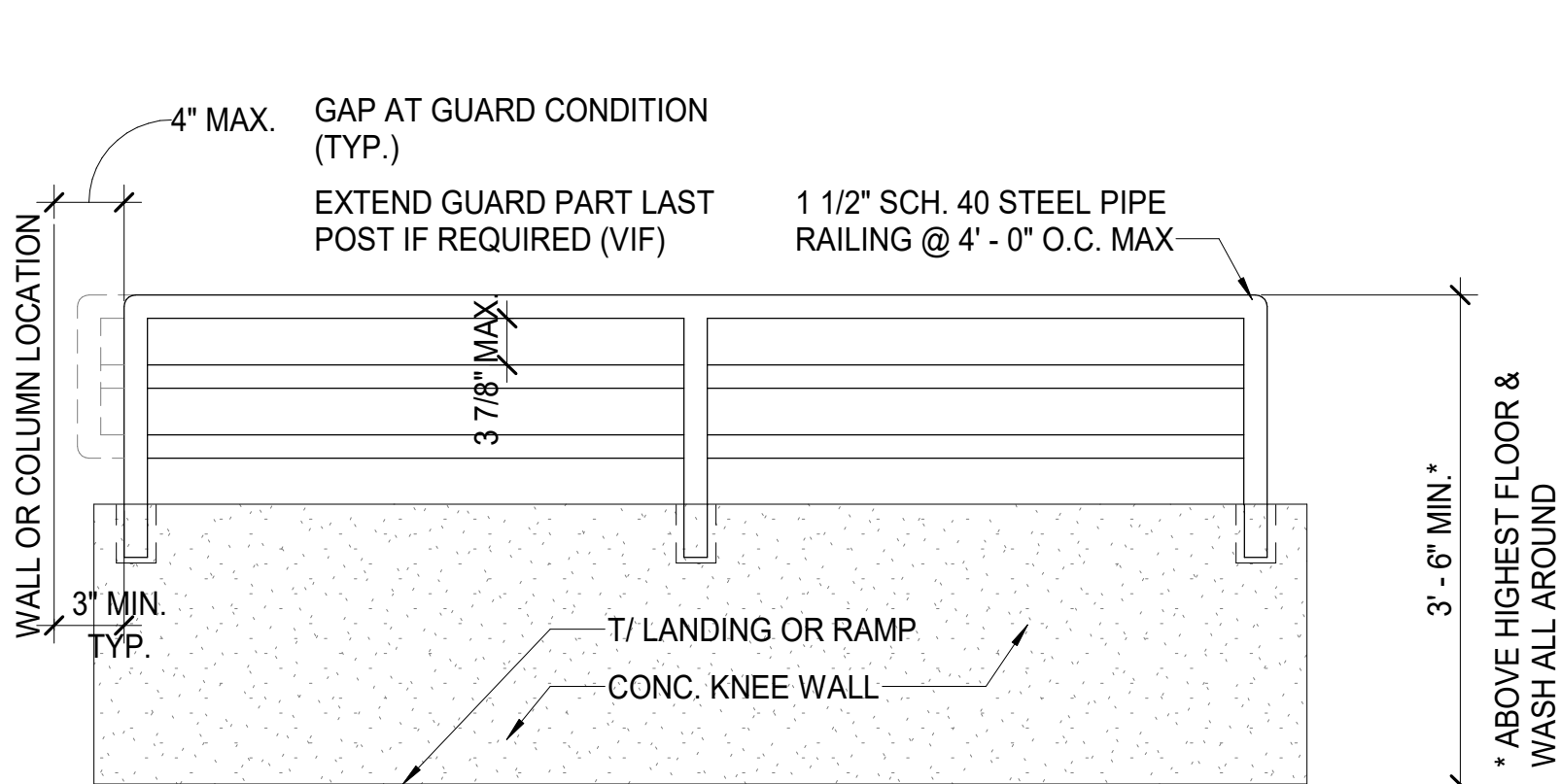
TYPICAL GUARDRAIL/HANDRAIL PLAN @ OFFSET RISER
SCALE: 3/4" = 1'-0"



TYPICAL GUARDRAIL/HANDRAIL ELEVATION @ BOT. OF STAIR
SCALE: 3/4" = 1'-0"

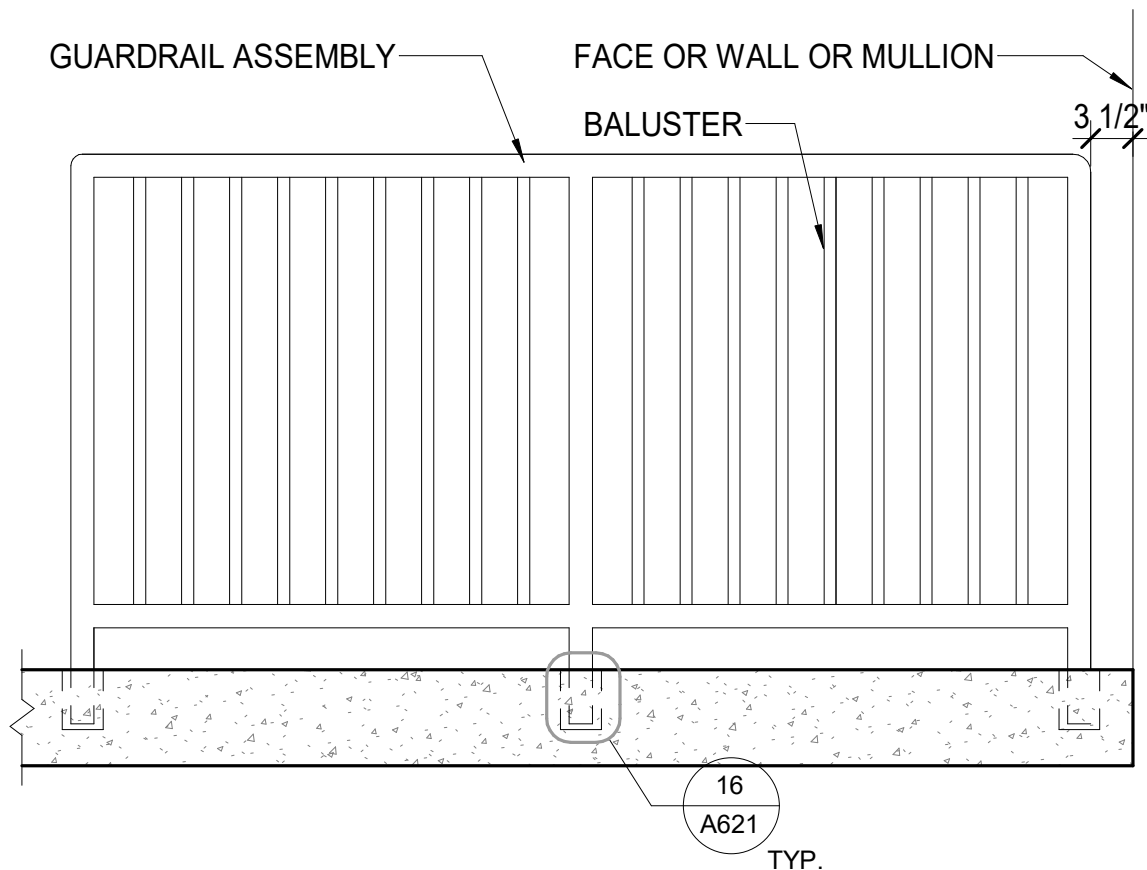


TYPICAL GUARDRAIL/HANDRAIL SECTION @ OFFSET RISER
SCALE: 3/4" = 1'-0"



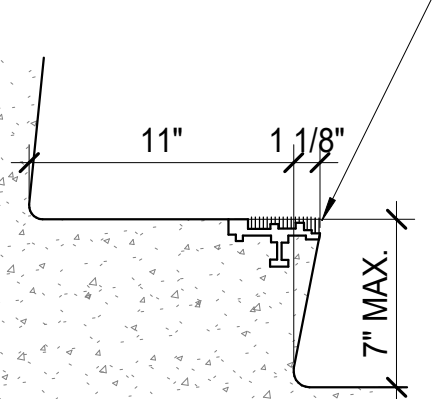
- NOTES:
1) T/WALL MAY SLOPE TO MATCH RAMP CONDITION - GUARD TO MATCH SLOPE (VIF).
2) ALL STEEL GUARDRAIL COMPONENTS SHALL BE PAINTED.

TYPICAL STAIR GUARDRAIL DETAIL
SCALE: 3/4" = 1'-0"



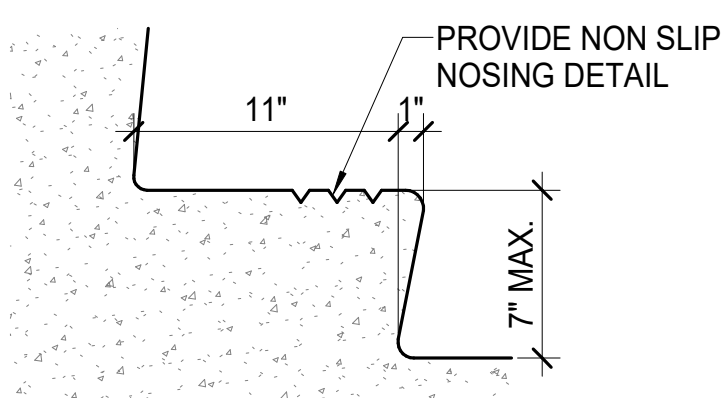
TYPICAL END OF GUARDRAIL PLACEMENT
SCALE: 3/4" = 1'-0"

STAIR NOSING SHALL BE "BALCO" (OR APPROVED EQUAL) EXTRA HEAVY, SOLID SURFACE TYPE DXH-330, WITH TREAD COVER 3/8" THK. BY 3" WIDE. COVERS TO BE SECURED W/ VERT. SURFACE SCREWS, COLOR TO BE SELECTED.

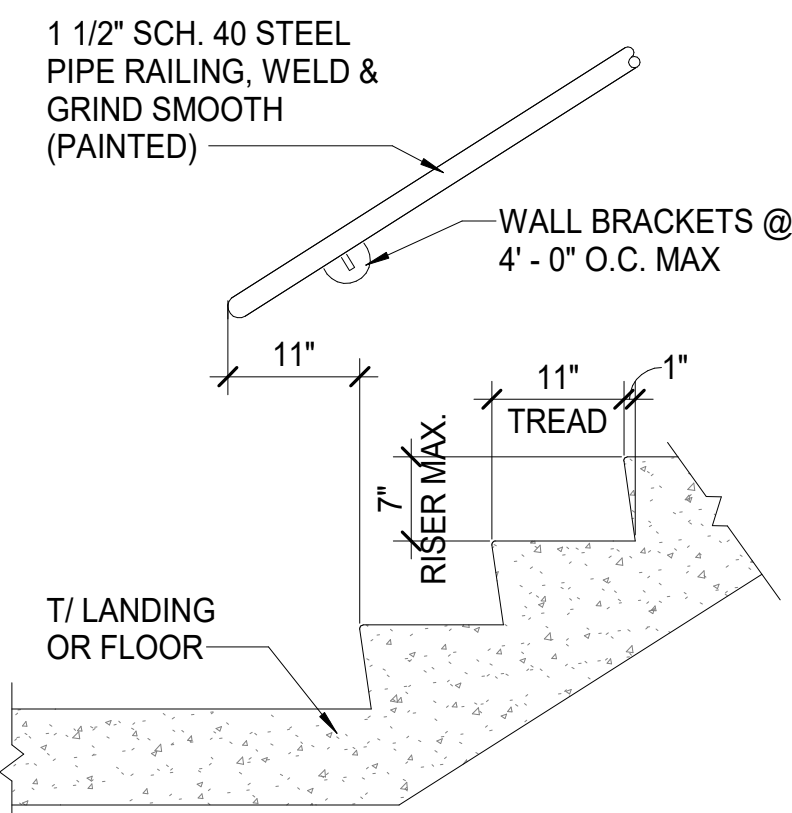


NOTE: CONTRACTOR MAY PROVIDE TOOLED GROOVES (4" MIN) AS AN ACCEPTABLE ALTERNATE TO STAIR NOSING.

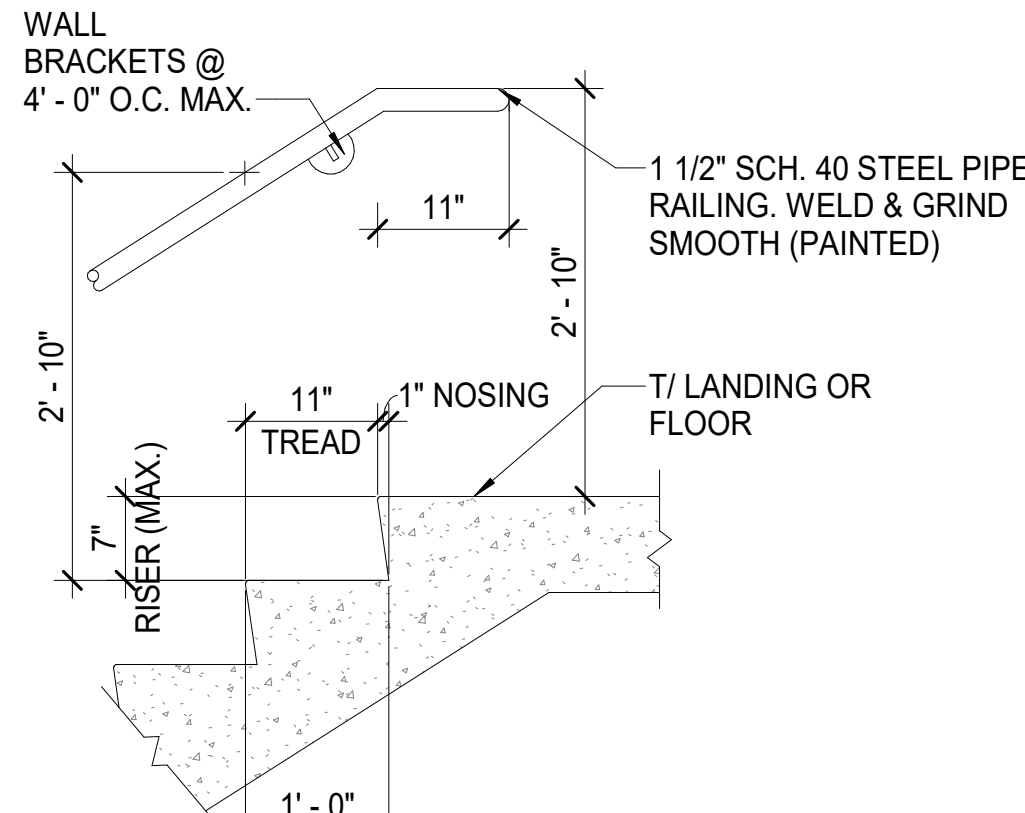
TYPICAL CIP NOSING
SCALE: 1 1/2" = 1'-0"



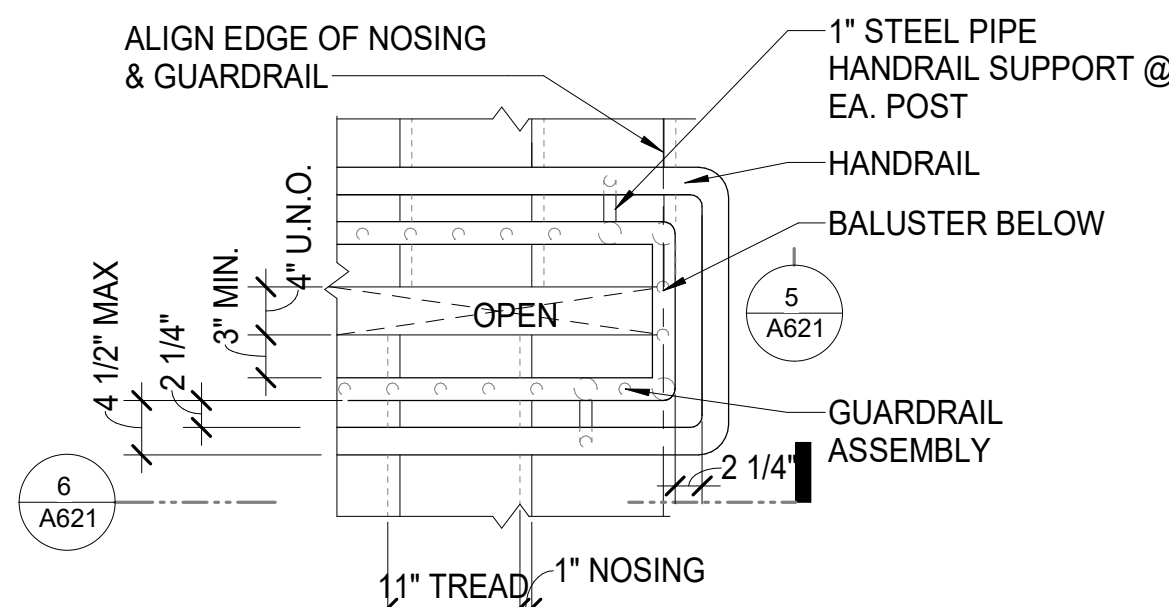
TYPICAL PCC NOSING DETAIL
SCALE: 1 1/2" = 1'-0"



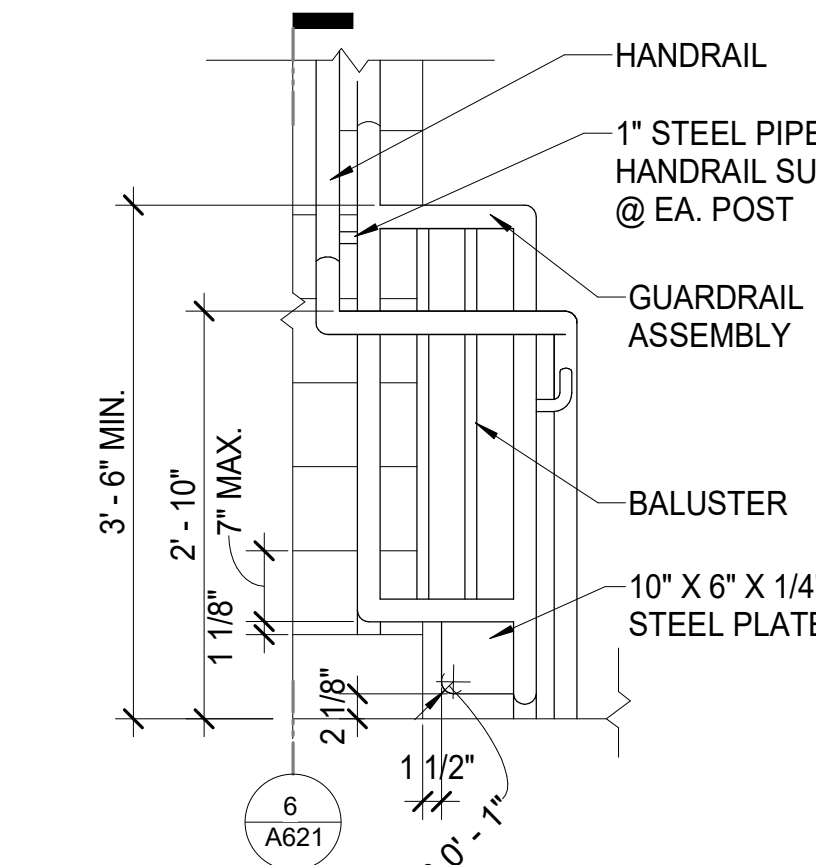
TYPICAL MOUNT HANDRAIL
SCALE: 3/4" = 1'-0"



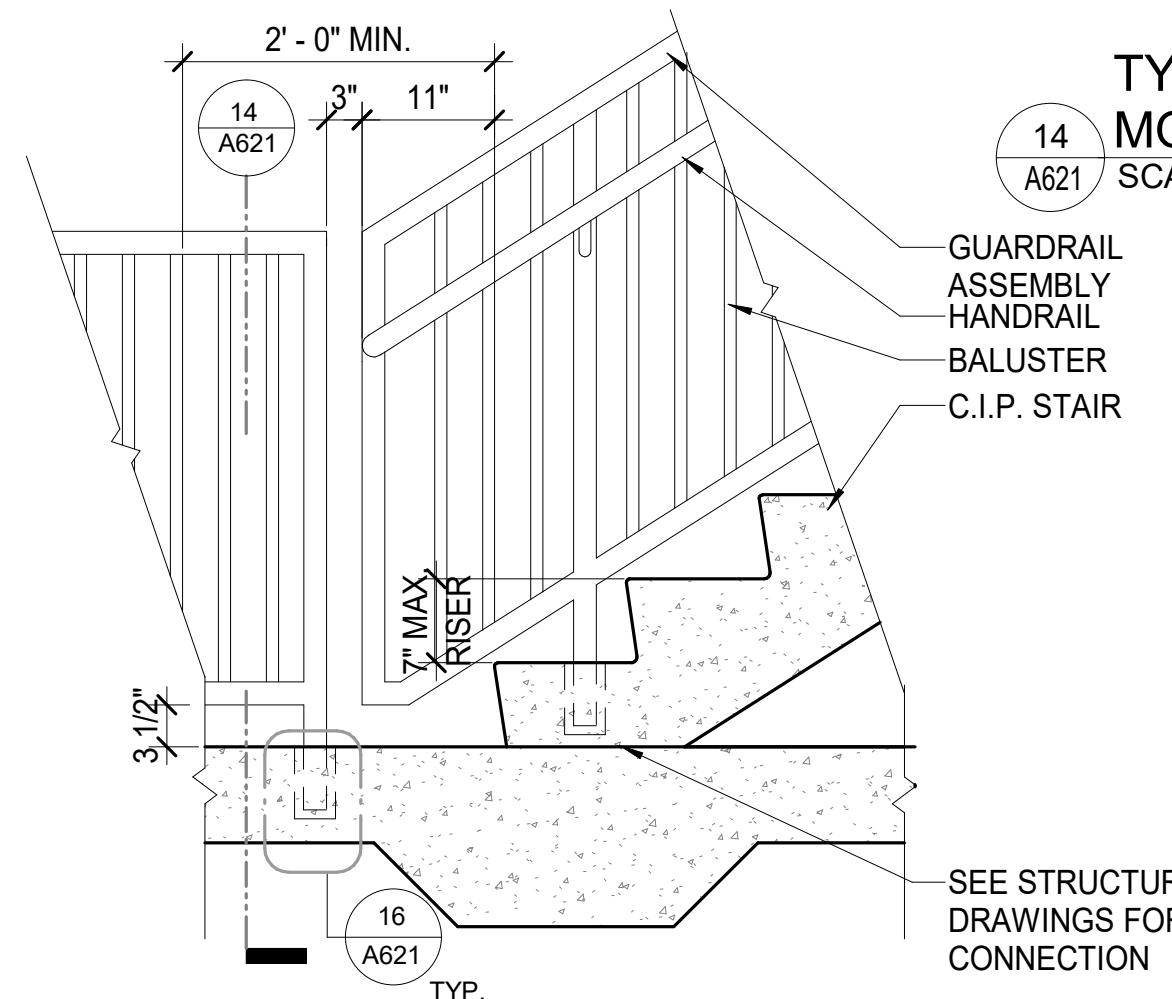
TYPICAL HANDRAIL TOP OF FLOOR
SCALE: 3/4" = 1'-0"



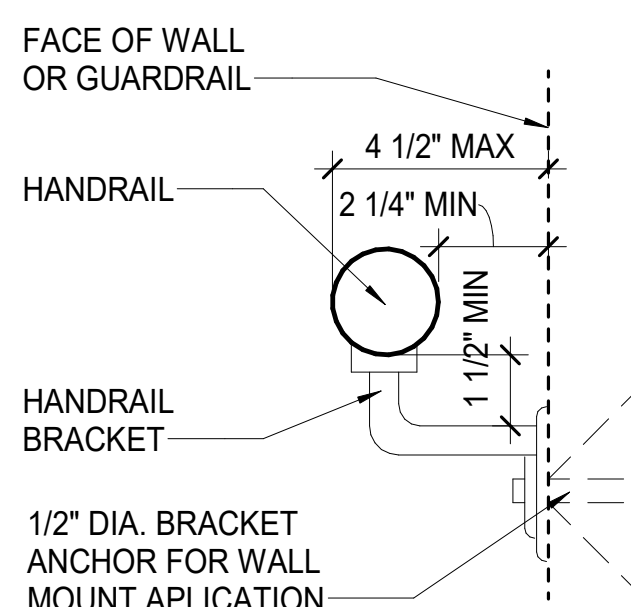
TYPICAL GUARDRAIL/HANDRAIL PLAN @ ALIGNED RISER
SCALE: 3/4" = 1'-0"



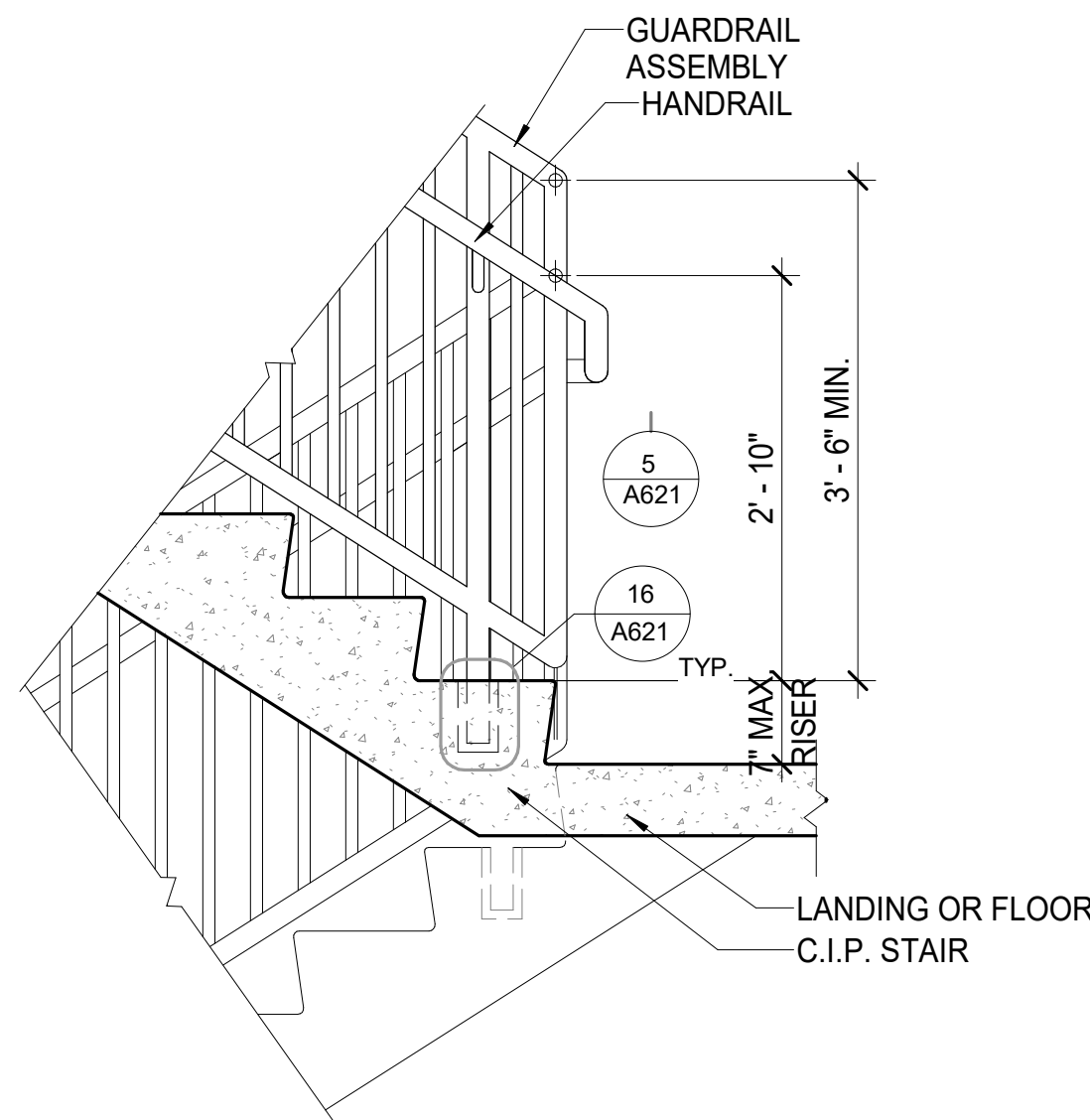
TYPICAL GUARDRAIL/HANDRAIL ELEVATION @ ALIGNED RISER
SCALE: 3/4" = 1'-0"



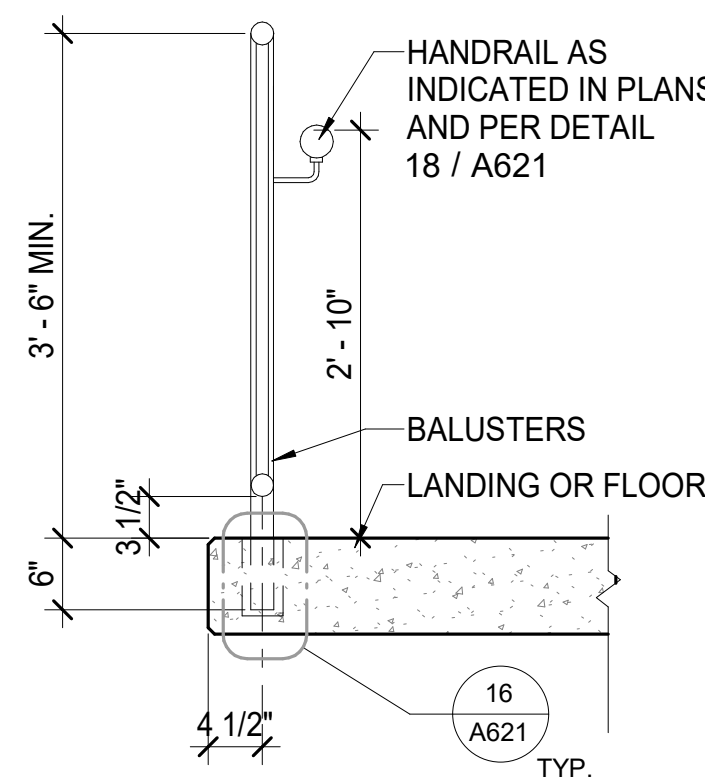
GUARDRAIL/HANDRAIL SECTION @ BOT. OF STAIR
SCALE: 3/4" = 1'-0"



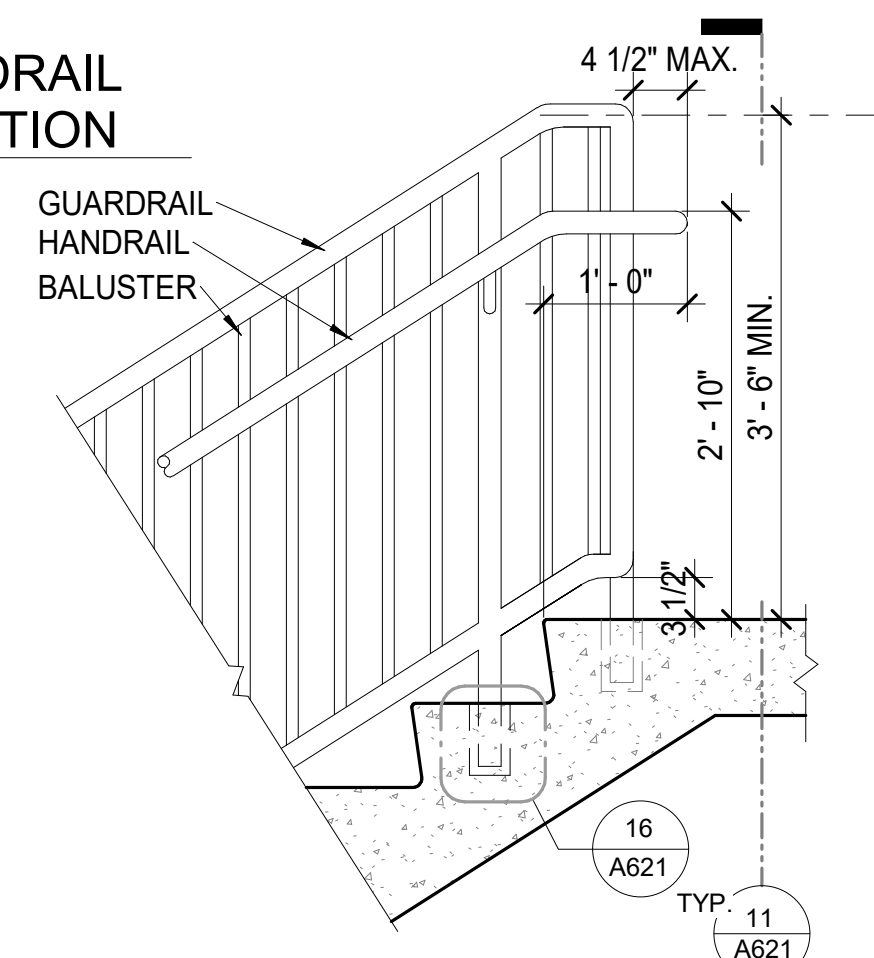
TYPICAL HANDRAIL SECTION
SCALE: 3" = 1'-0"



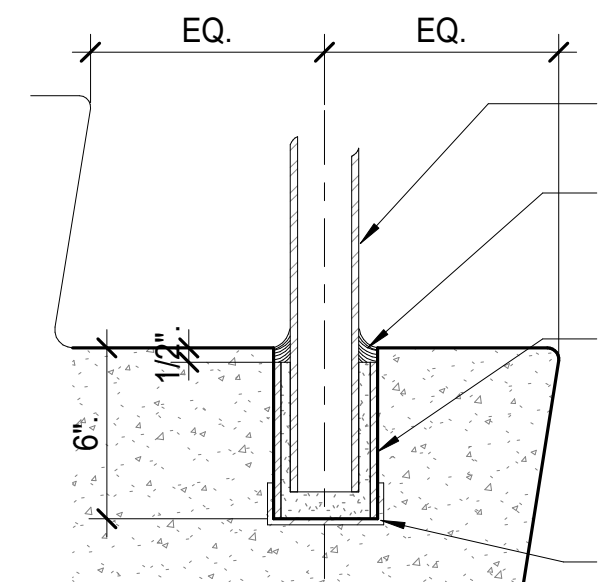
TYPICAL GUARDRAIL/HANDRAIL SECTION @ ALIGNED RISER
SCALE: 3/4" = 1'-0"



TYPICAL GUARDRAIL MOUNTING SECTION
SCALE: 3/4" = 1'-0"



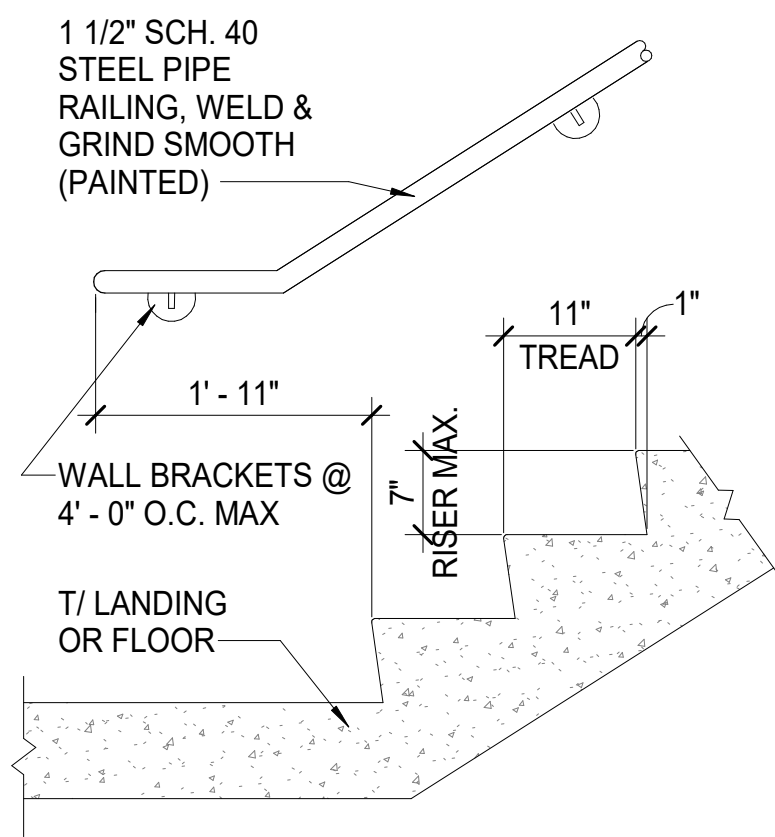
TYPICAL GUARDRAIL/HANDRAIL SECTION AT TOP OF LANDING
SCALE: 3/4" = 1'-0"



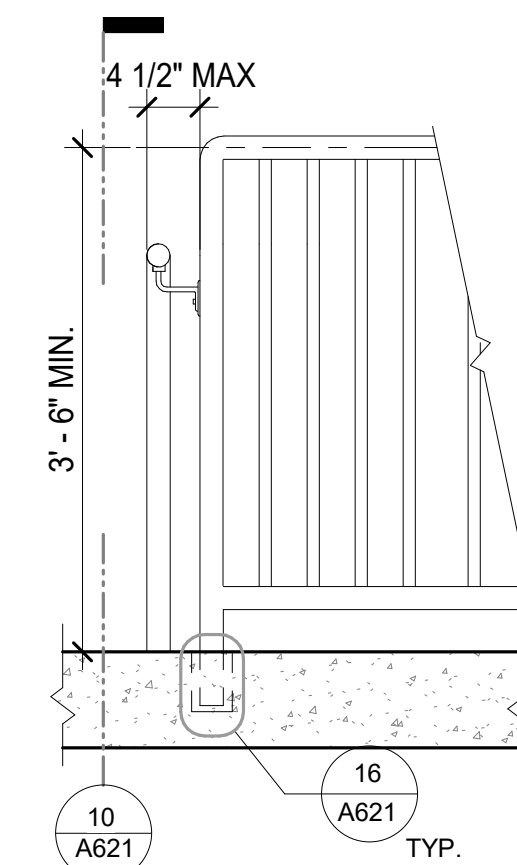
TYPICAL SLEEVE MOUNTED POST DETAIL
SCALE: NOT TO SCALE

STAIR AND RAILING NOTES:

1. ALL PIPE TO BE SCHEDULE 40 STEEL PIPE U.N.O.
2. PROVIDE SCHEDULE 80 PIPE IF CONDITIONS REQUIRE RAIL SUPPORT FARTHER THAN SHOWN THIS SHEET.
3. ALL HANDRAILS TO BE 1 1/2" DIAMETER NOMINAL (ACTUAL 1.9" OUTSIDE DIAMETER) STEEL PIPE.
4. ALL GUARDRAIL ASSEMBLY COMPONENTS, (WITH THE EXCEPTION OF BALUSTERS) TO BE 1 1/2" DIAMETER NOMINAL (ACTUAL 1.9" OUTSIDE DIAMETER) STEEL PIPE, U.N.O.
5. ALL BALUSTERS TO BE 3/4" DIAMETER NOMINAL (ACTUAL 1.05" OUTSIDE DIAMETER) STEEL PIPE SPACED AT 4" O.C. MAX.
6. VERTICAL PIPES TO BE SPACED AT MAXIMUM OF 4'-0" O.C.
7. ALL STEEL RAILING SYSTEM CONNECTIONS (GUARDS, HANDRAILS, AND BALUSTERS) TO BE WELDED AND GROUND SMOOTH (NO MECHANICAL FASTENERS).
8. ALL STEEL GUARDRAIL AND HANDRAIL COMPONENTS SHALL BE, **GALVANIZED OR PAINTED**. COLOR TO BE SELECTED BY **OWNER/ARCHITECT**. SEE SPECIFICATION FOR ADDITIONAL INFORMATION.

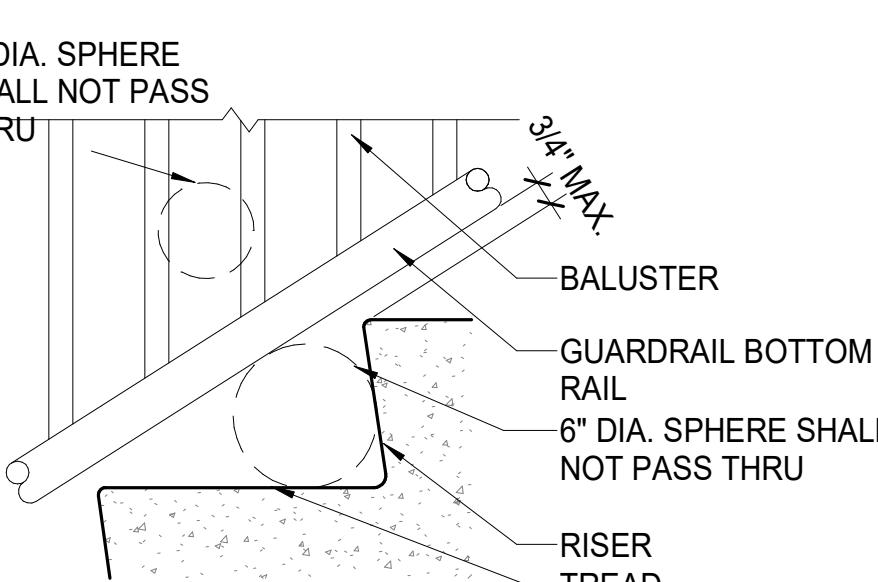


TYPICAL MOUNT HANDRAIL - CHI BC
SCALE: 3/4" = 1'-0"

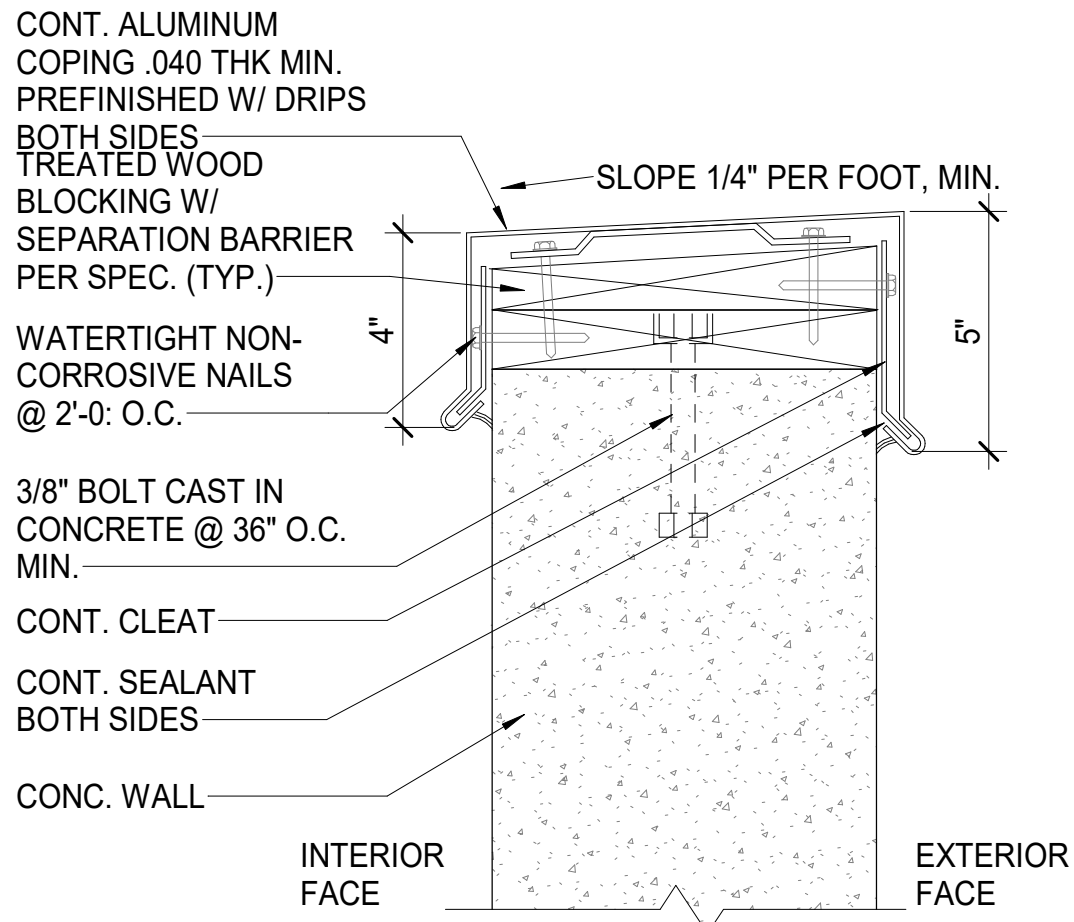


TYPICAL GUARDRAIL/HANDRAIL ELEVATION @ TOP OF LANDING
SCALE: 3/4" = 1'-0"

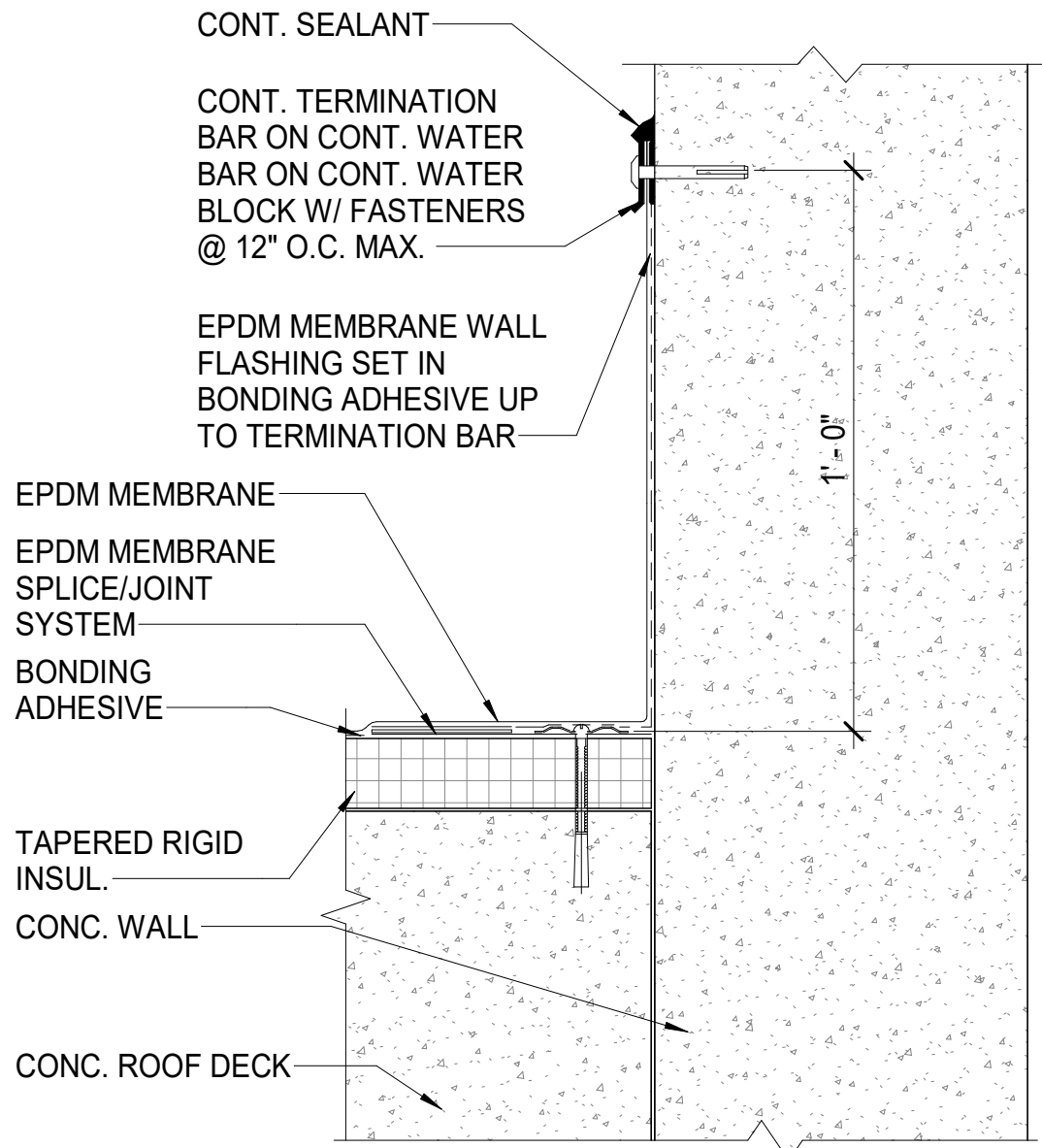
TYPICAL RAILING CONNECTIONS TO BE SIDE MOUNTED TO STAIR STRINGERS



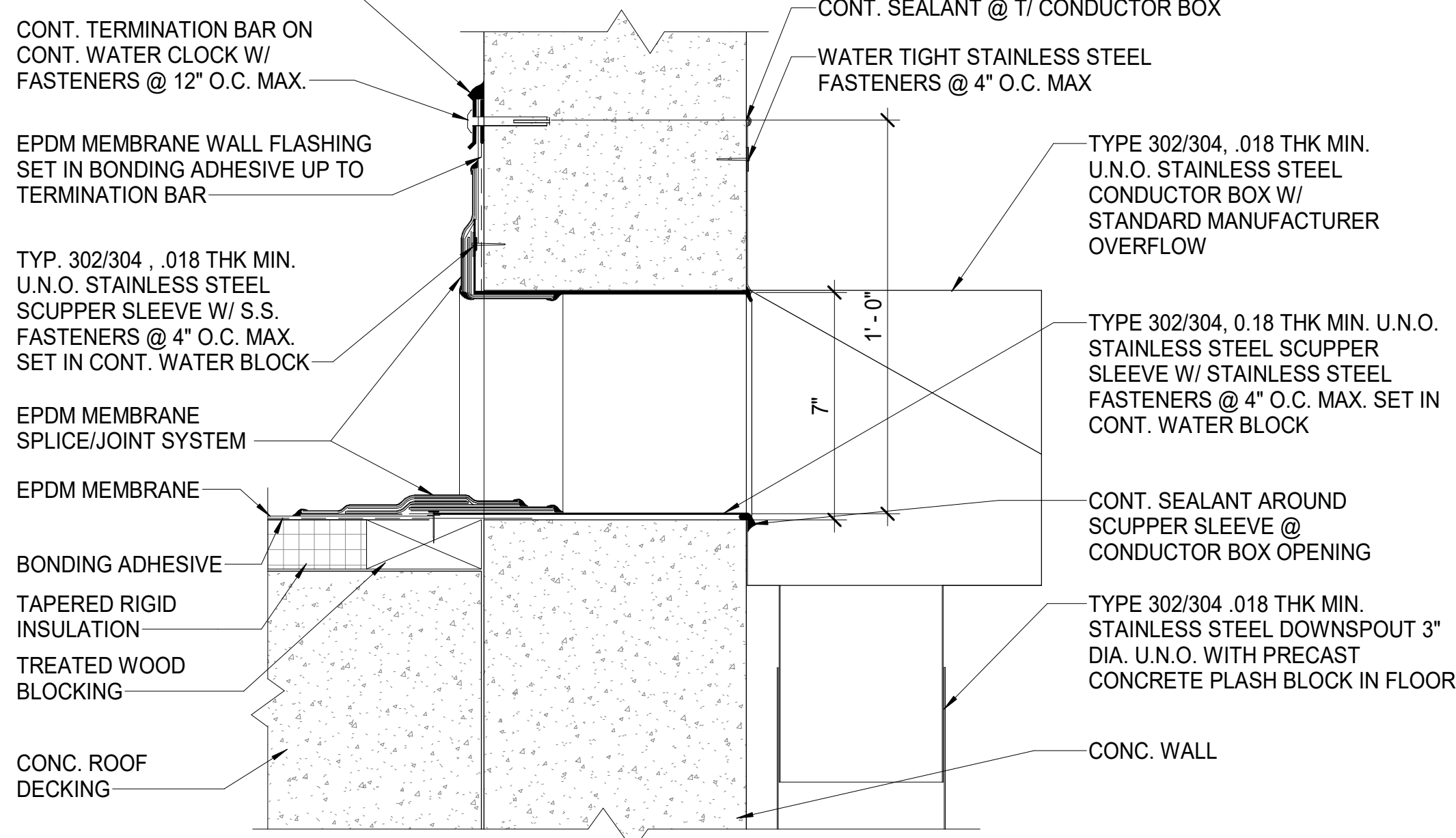
TYPICAL BOTTOM RAIL PLACEMENT
SCALE: NOT TO SCALE



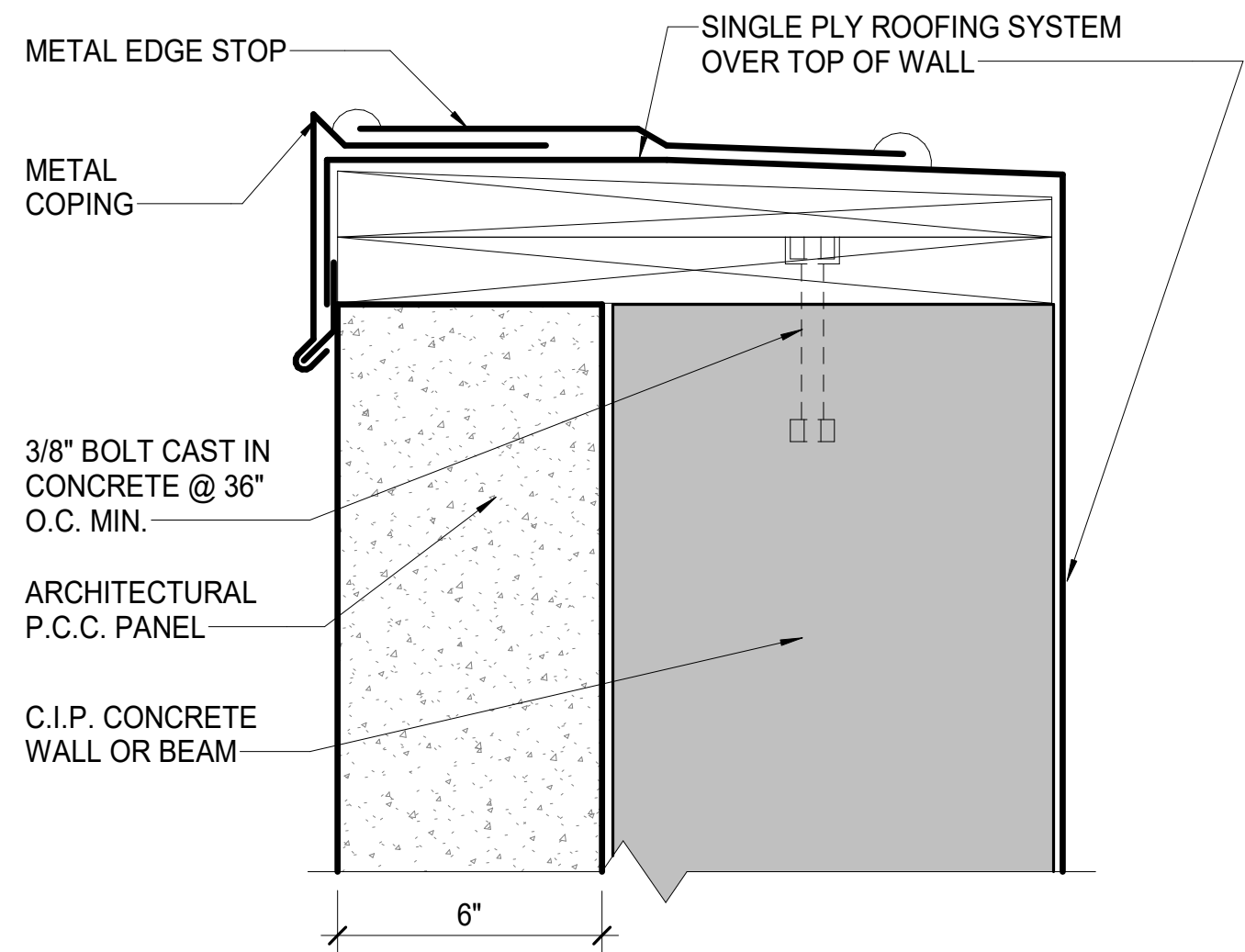
1 TYPICAL COPING DETAIL
A702 SCALE: 3" = 1'-0"



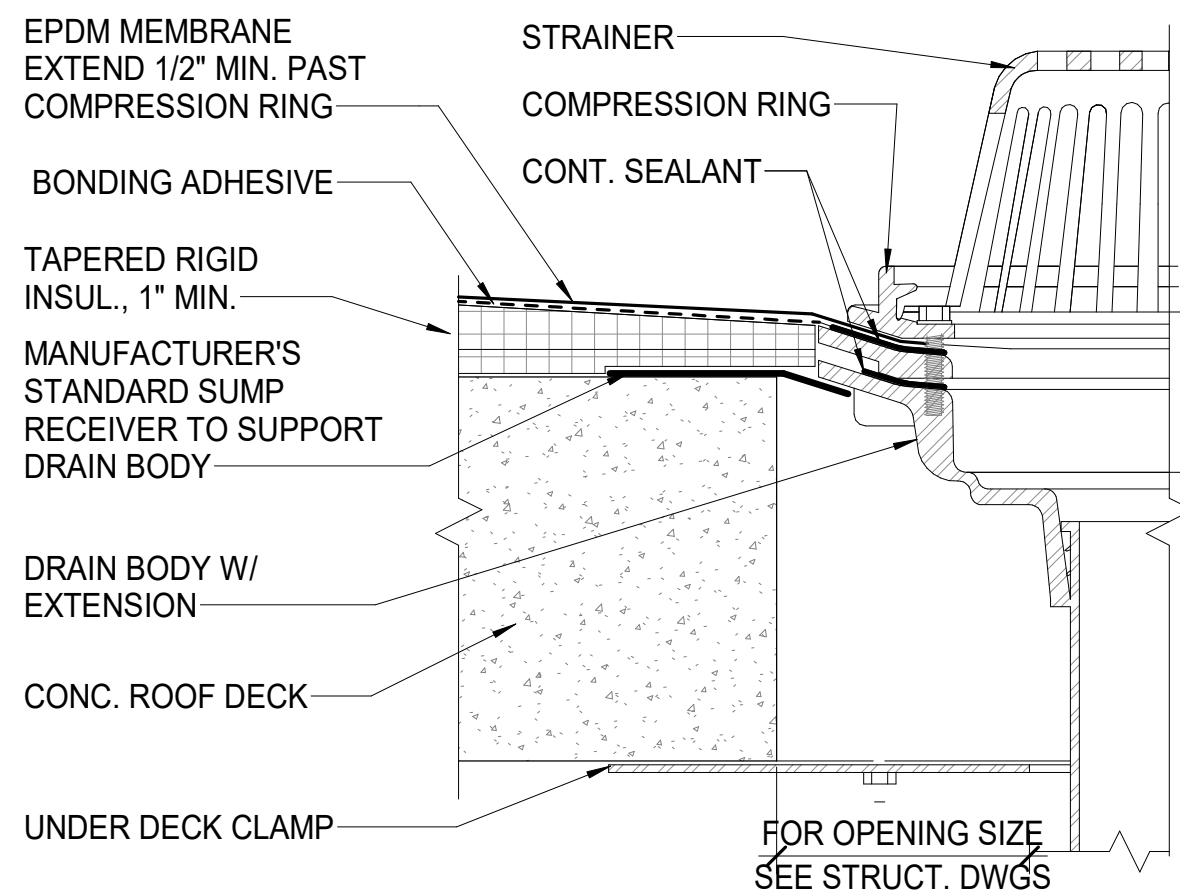
2 TYPICAL ROOFING TERMINATION DETAIL
A702 SCALE: 3" = 1'-0"



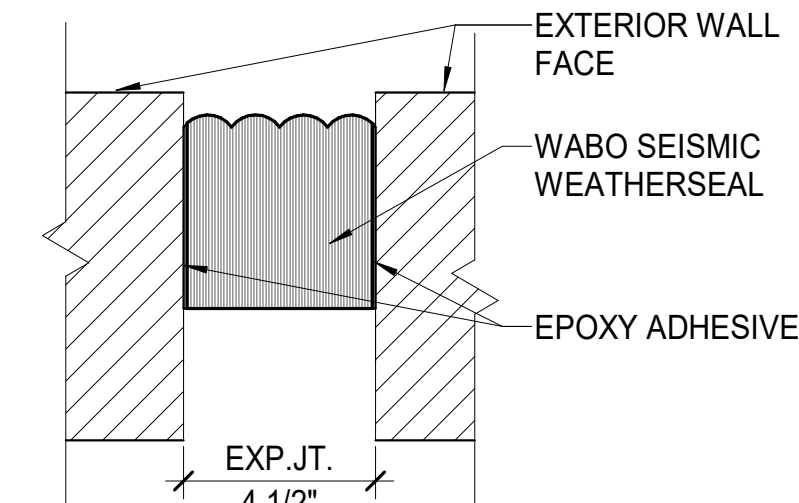
3 TYPICAL SCUPPER/CONDUCTOR BOX DETAIL
A702 SCALE: 3" = 1'-0"



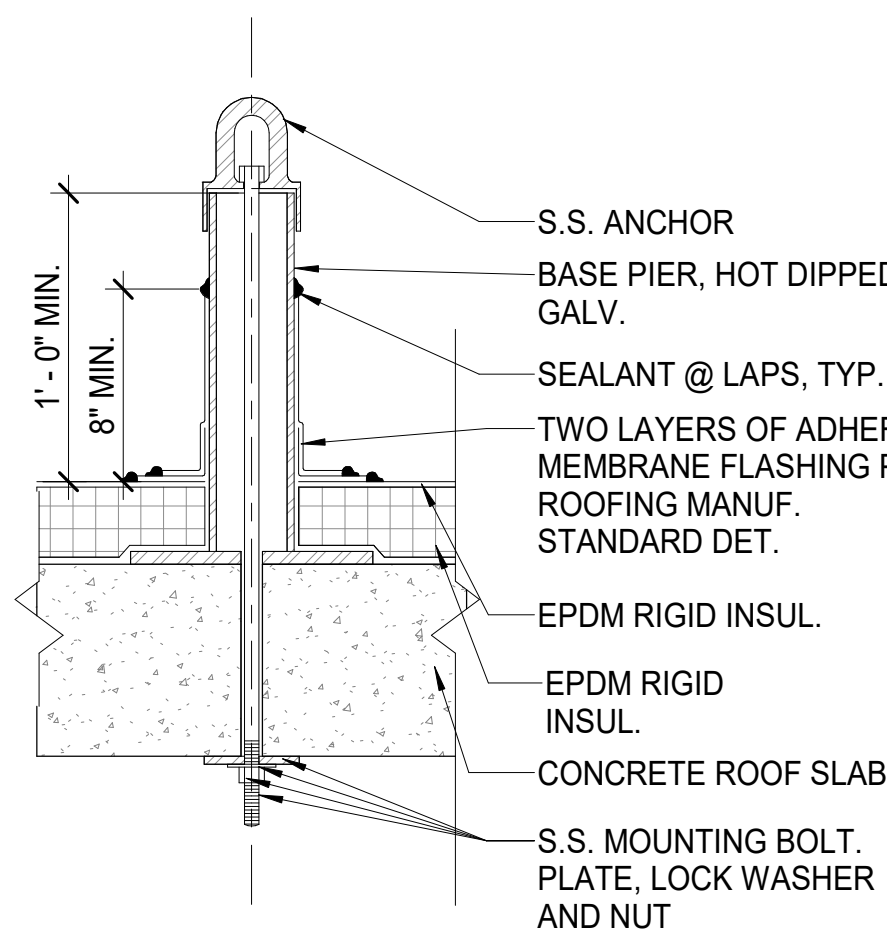
1A COPING DETAIL AT PCC PARAPET
A702 SCALE: 3" = 1'-0"



6 TYPICAL ROOF DRAIN DETAIL
A702 SCALE: 3" = 1'-0"

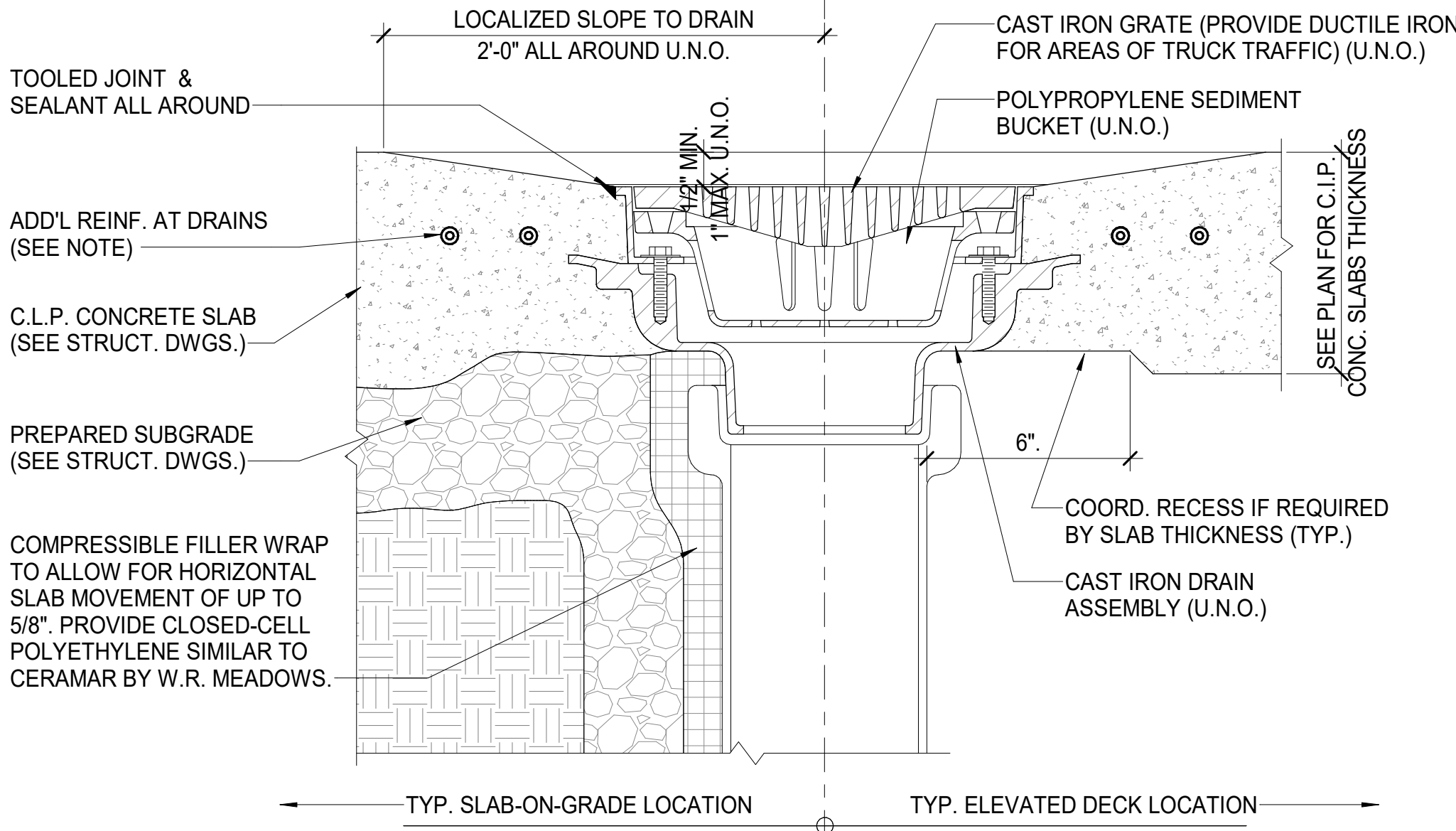


39 TYPICAL VERTICAL EXPANSION JOINT IN BRICK VENEER
A702 SCALE: 6" = 1'-0"



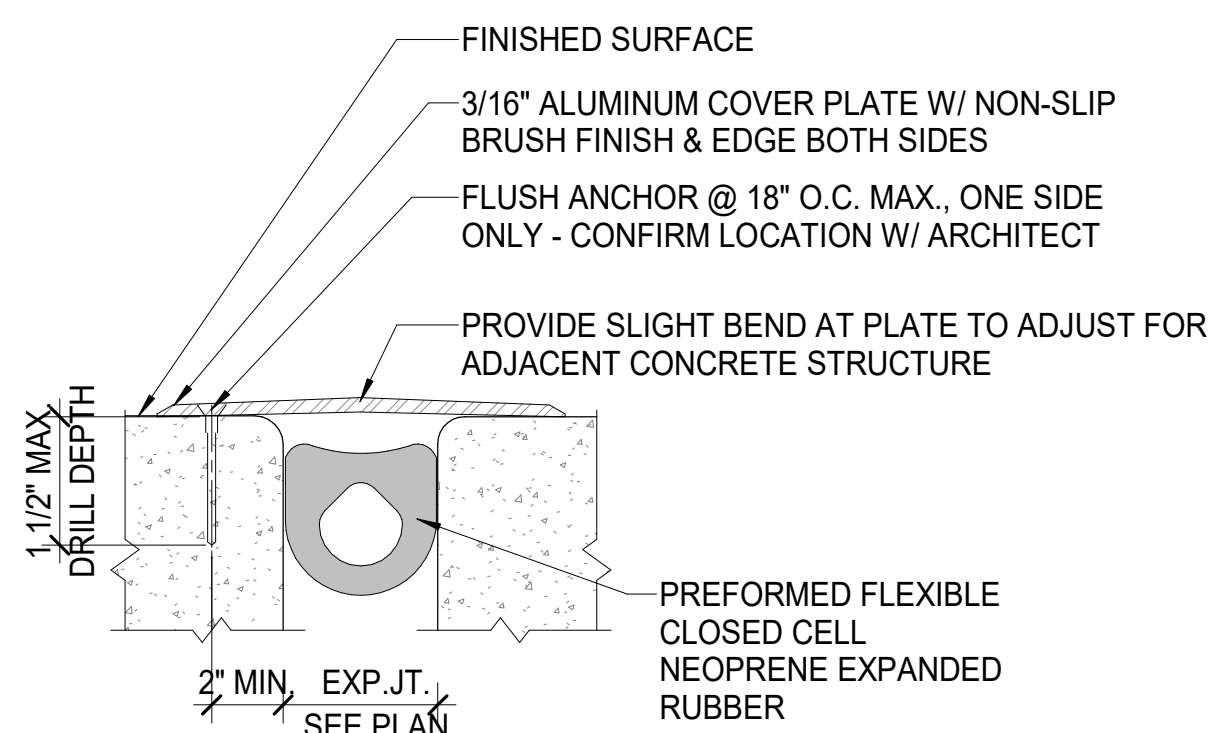
NOTE:
THIS DETAIL PROVIDED FOR BIDDING PURPOSES ONLY. ACTUAL PRODUCT TO BE USED SHALL BE SPECIFIED BY THE WINDOW WASHING SYSTEM DESIGNER.

9 TYPICAL ROOF TIE-BACK DETAIL
A702 SCALE: 1 1/2" = 1'-0"

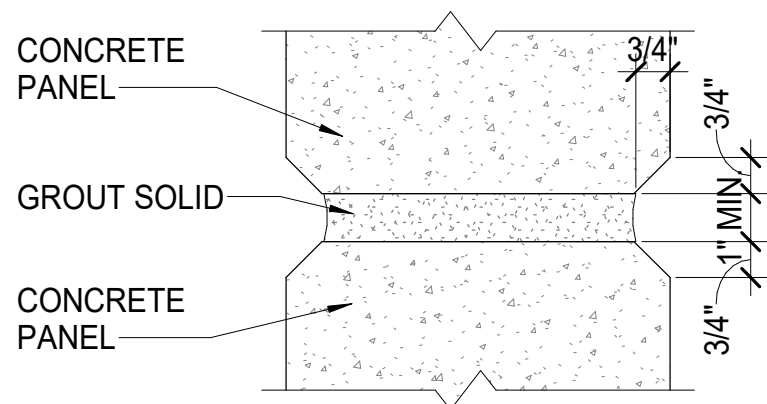


NOTE:
FOR THE PURPOSES OF SLAB REINFORCING, THE FLOOR DRAIN LOCATION SHALL BE CONSIDERED A SLAB OPENING. PROVIDE ADDITIONAL REINFORCEMENT AS REQUIRED PER STRUCTURAL DETAILS.

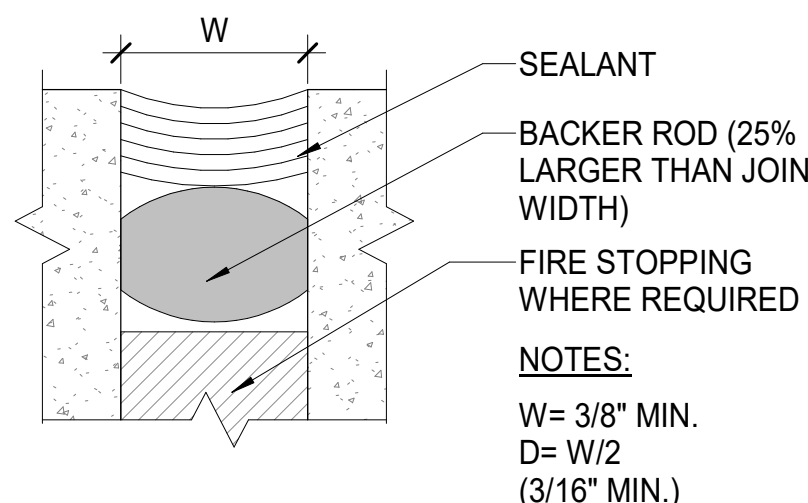
29 TYPICAL FLOOR DRAIN DETAIL
A702 SCALE: 1" = 1'-0"



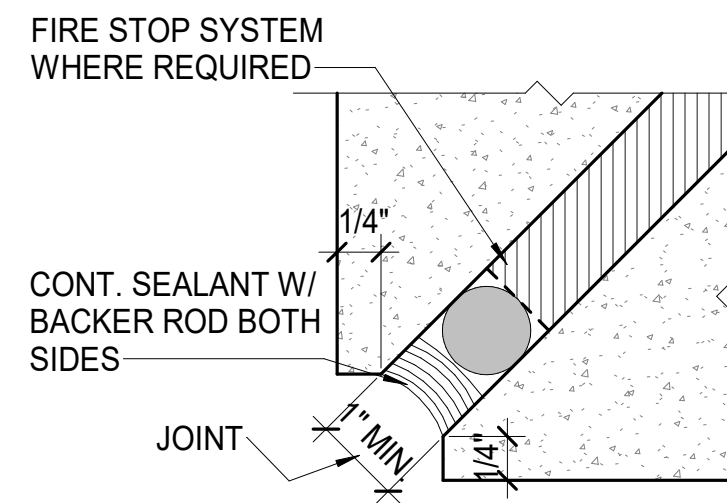
13 EXPANSION JOINT TYPICAL HORIZONTAL
A702 SCALE: 6" = 1'-0"



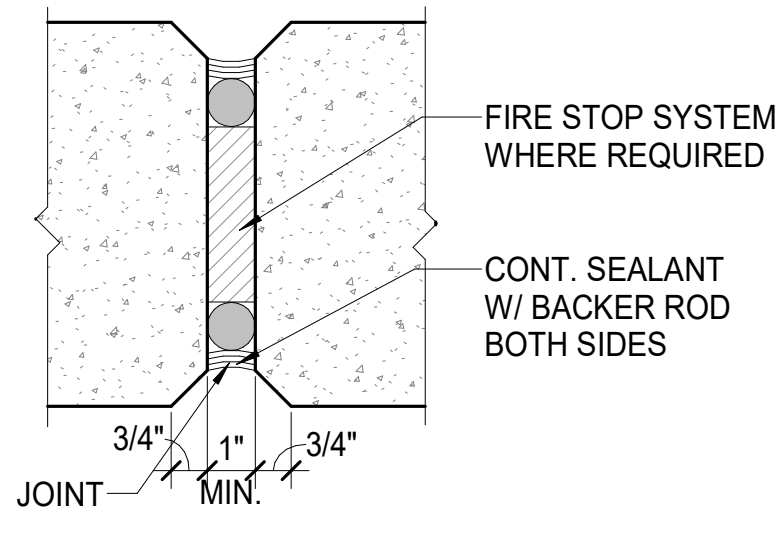
11 TYPICAL HORIZONTAL BEARING JOINT DETAIL
A702 SCALE: 3" = 1'-0"



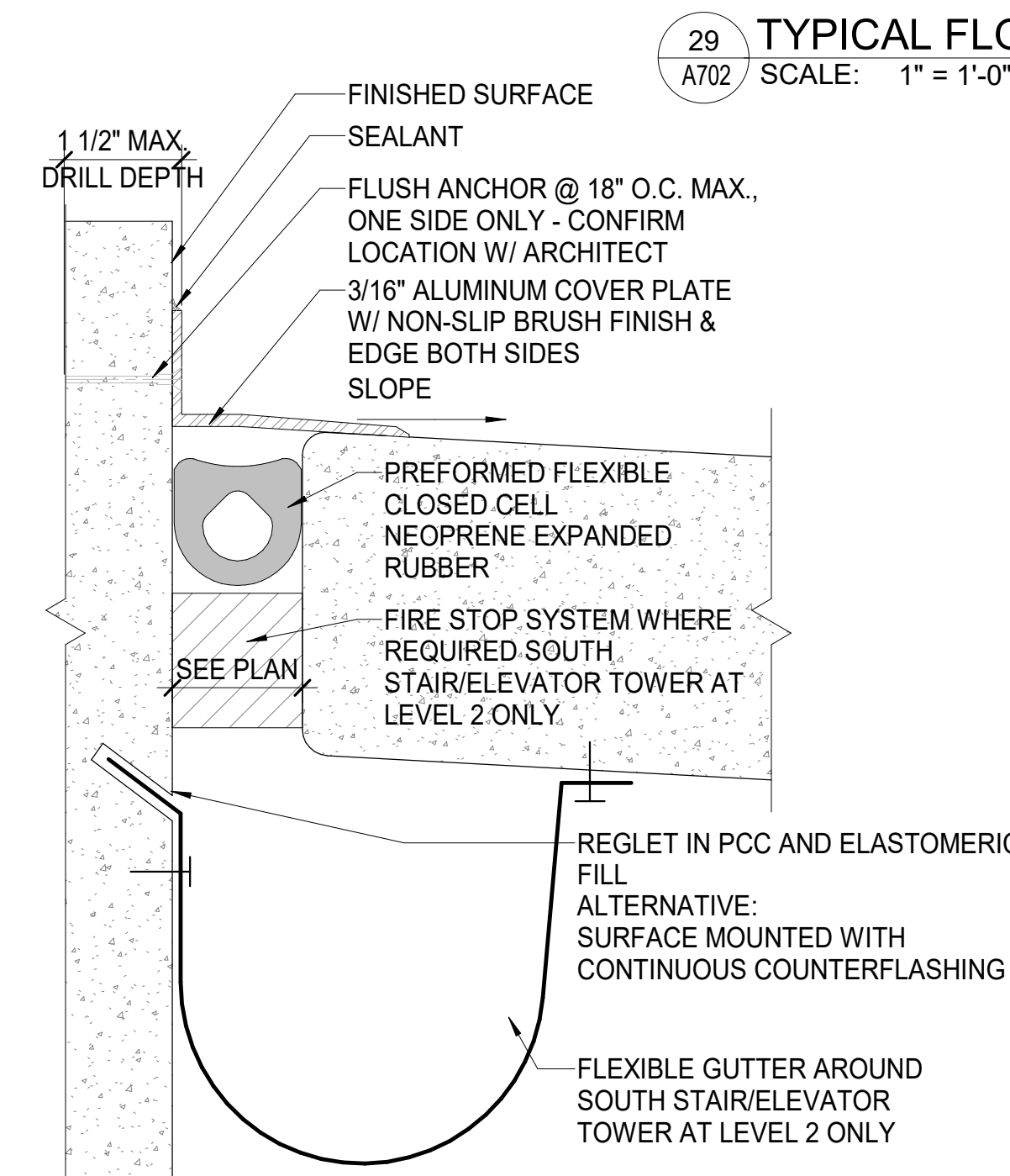
18 TYPICAL SEALANT DETAIL
A702 SCALE: 12" = 1'-0"



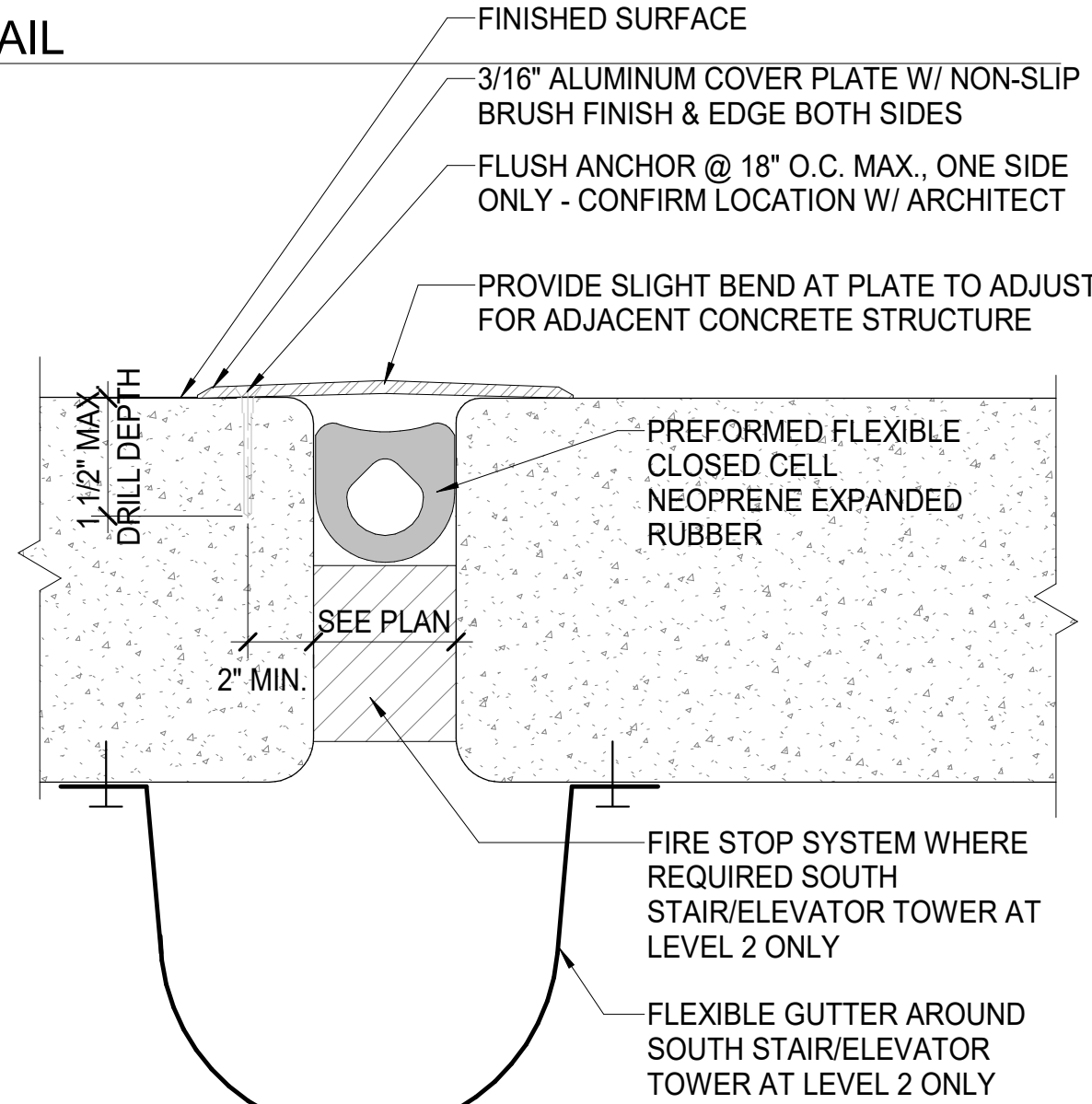
19 TYPICAL MITER DETAIL
A702 SCALE: 12" = 1'-0"



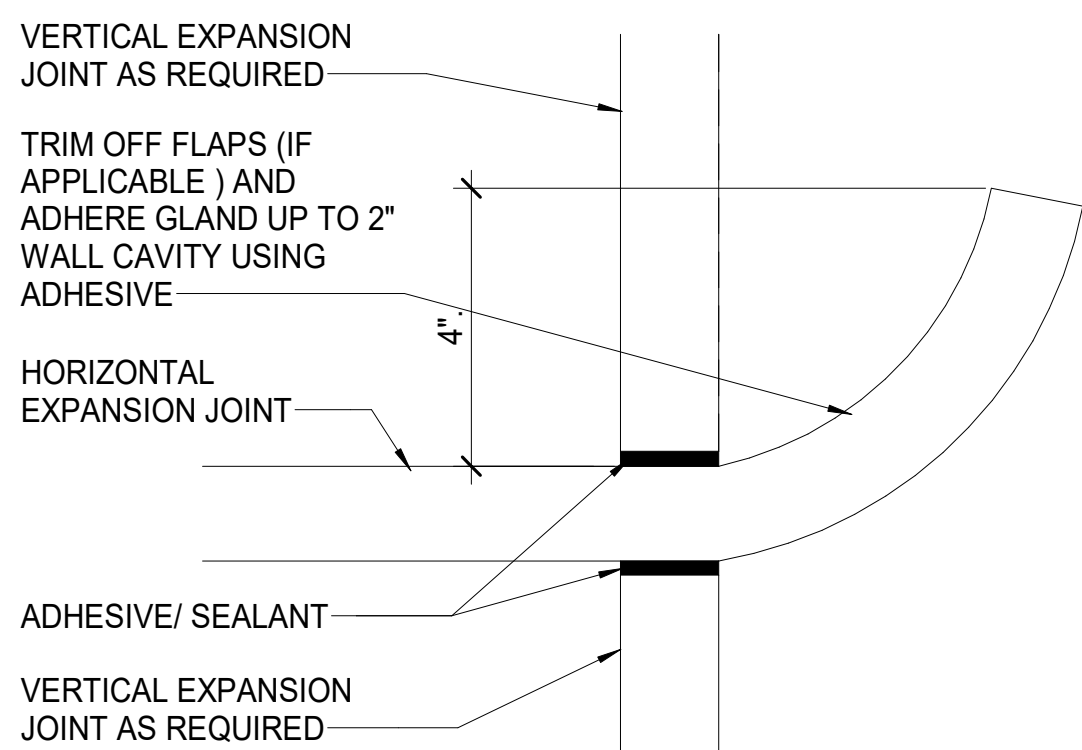
20 TYPICAL VERTICAL JOINT DETAIL
A702 SCALE: 3" = 1'-0"



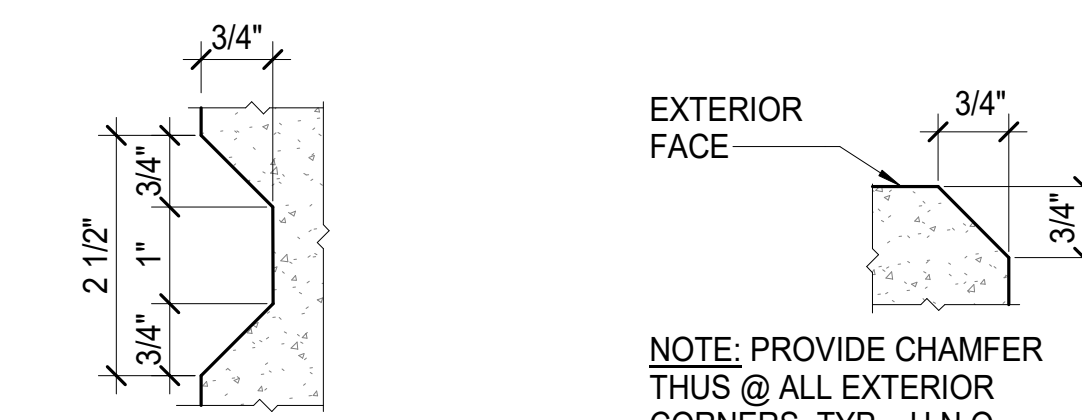
33 TYPICAL EXPANSION JOINT AT WALL W/ FLEXIBLE GUTTER
A702 SCALE: 6" = 1'-0"



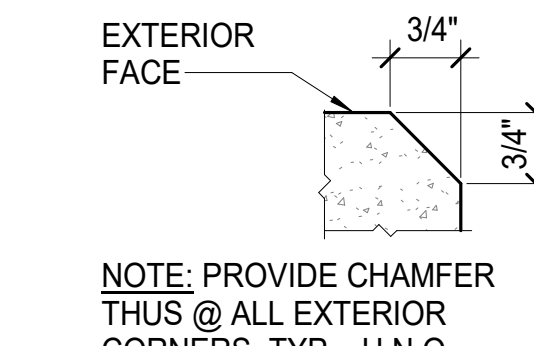
34 TYPICAL HORIZONTAL EXPANSION JOINT W/ FLEXIBLE GUTTER
A702 SCALE: 6" = 1'-0"



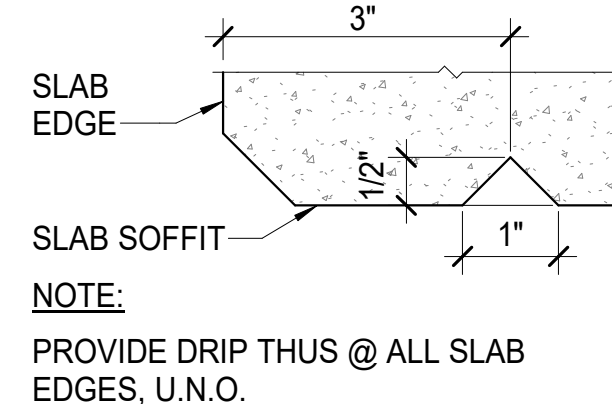
17 EXPANSION INTERFACE TYP.
A702 SCALE: 12" = 1'-0"



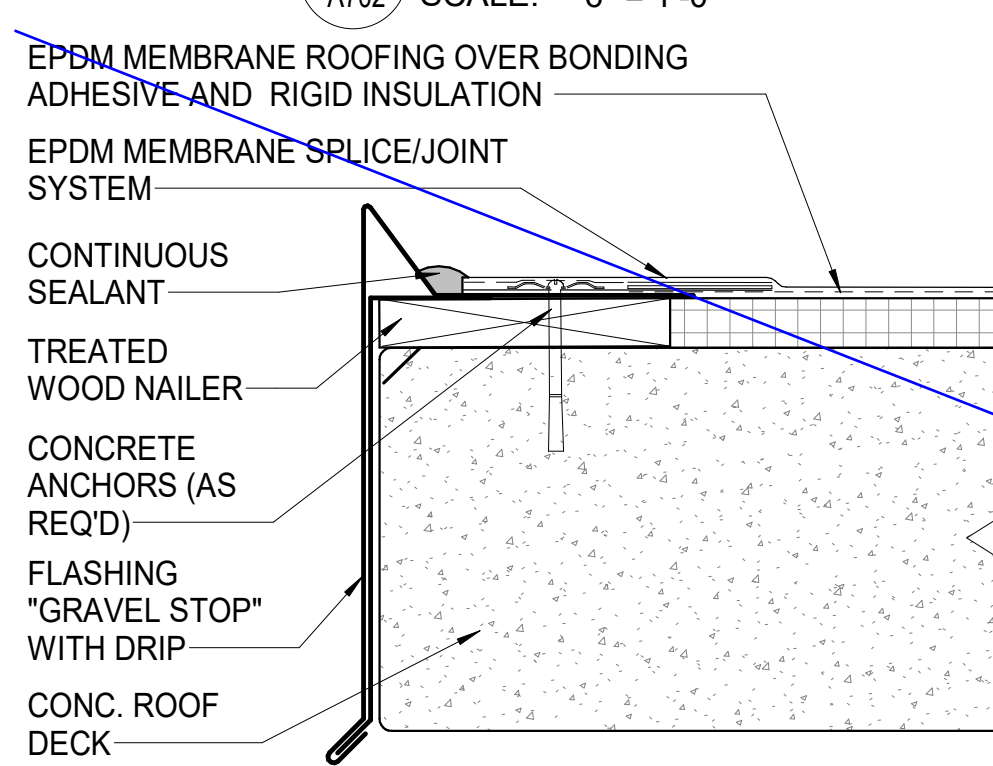
21 REVEAL DETAIL "TYPE I"
A702 SCALE: 6" = 1'-0"



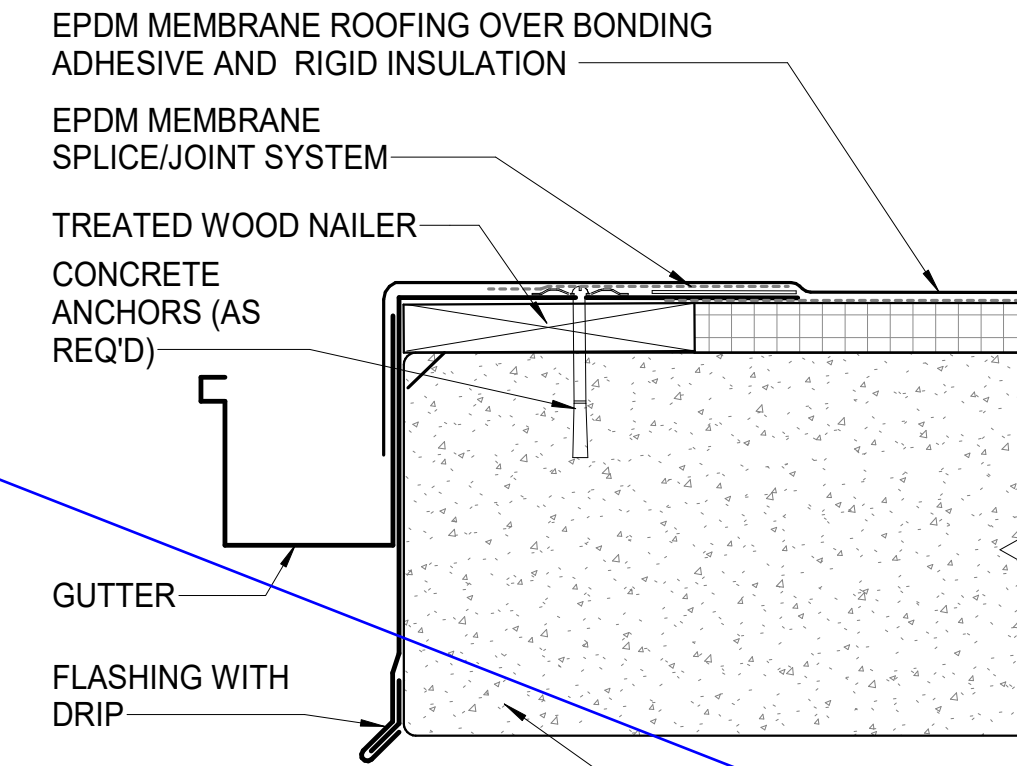
22 TYPICAL CHAMFER DETAIL
A702 SCALE: 6" = 1'-0"



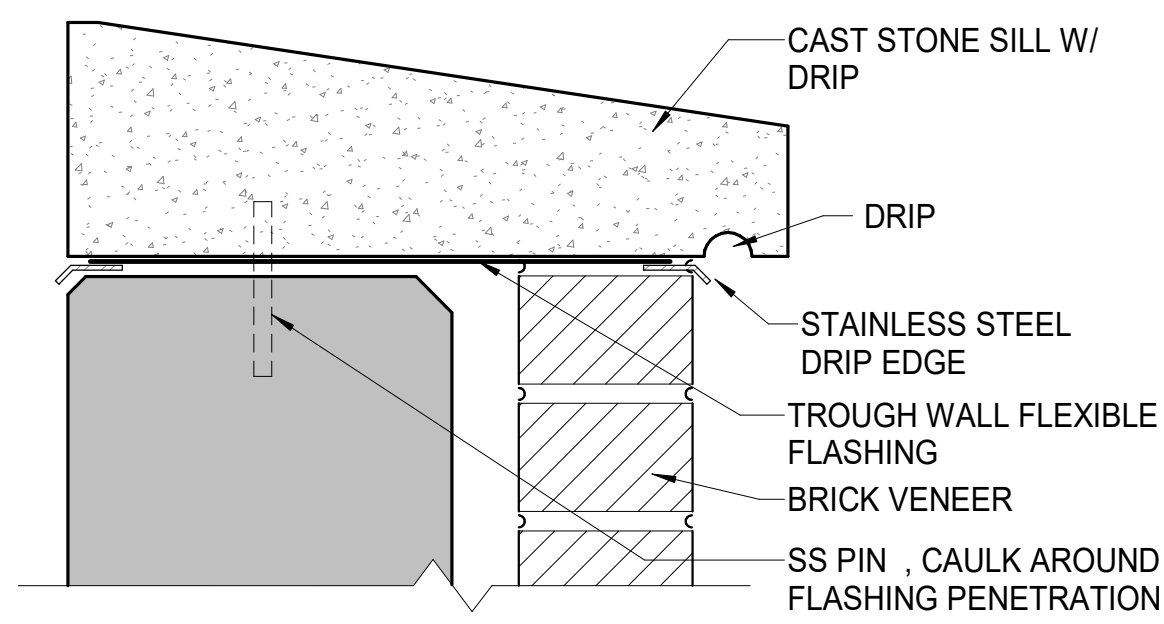
23 TYPICAL DRIP DETAIL
A702 SCALE: 6" = 1'-0"



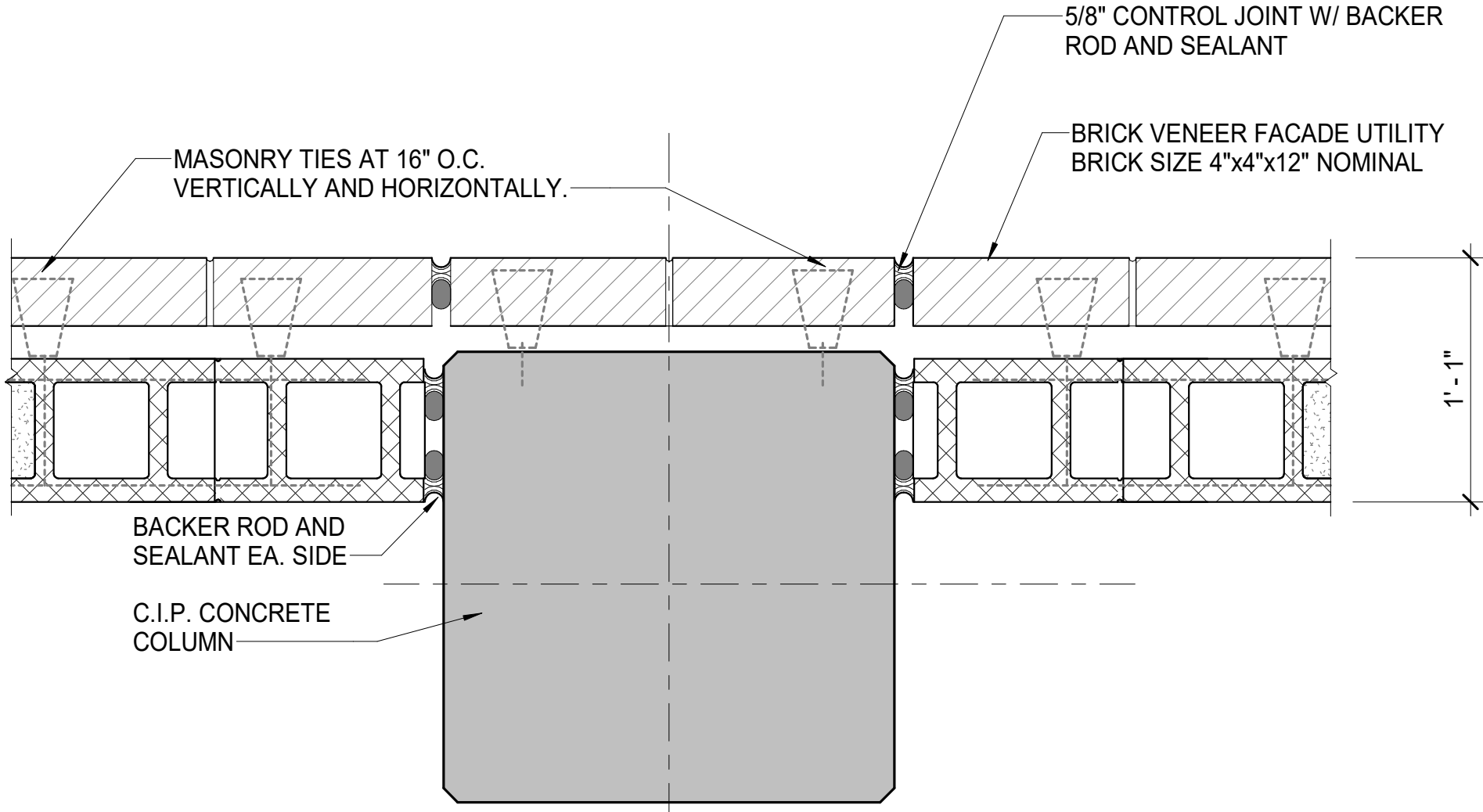
24 ROOF EDGE WITH GRAVEL STOP
A702 SCALE: 3" = 1'-0"



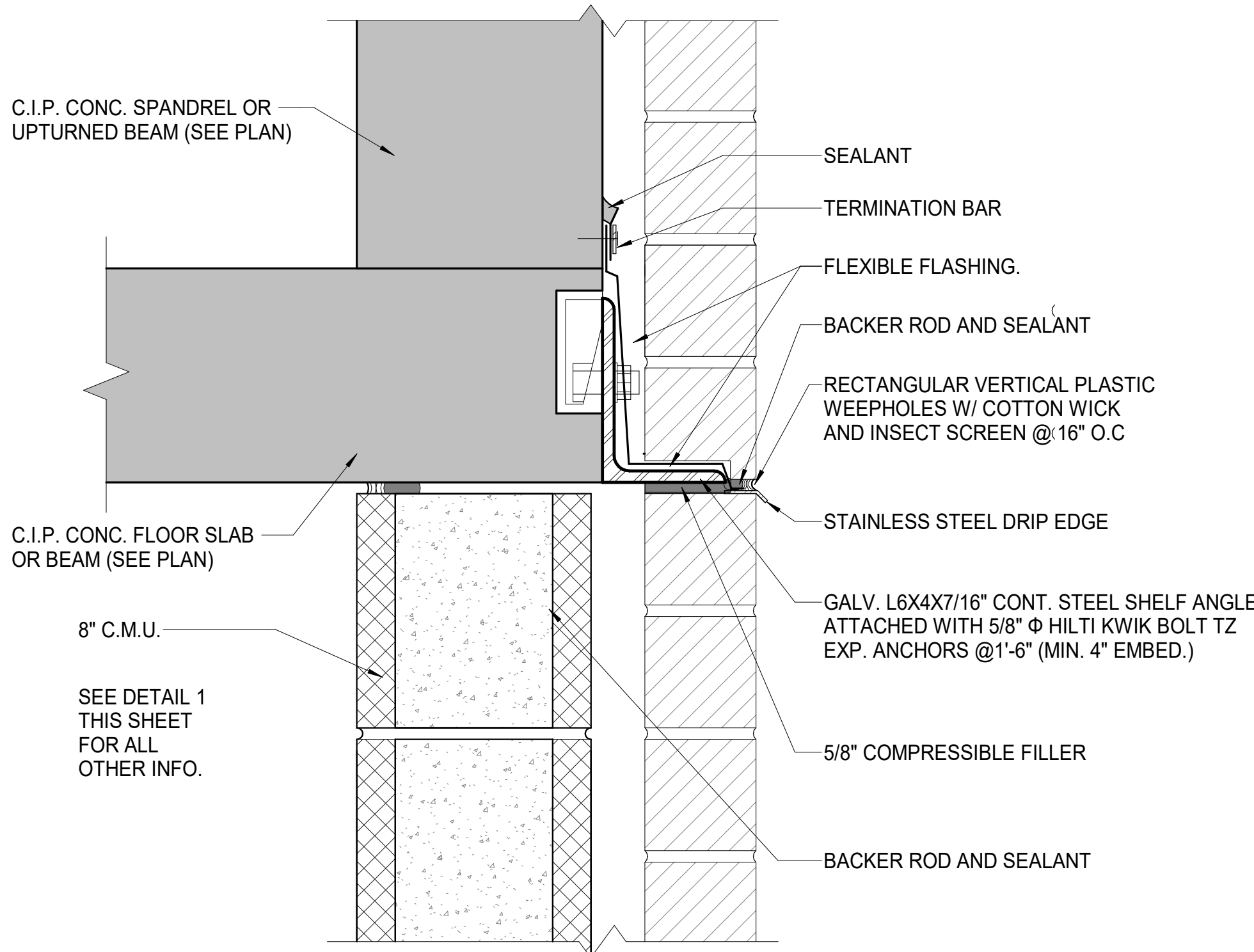
25 ROOF EDGE WITH GUTTER
A702 SCALE: 3" = 1'-0"



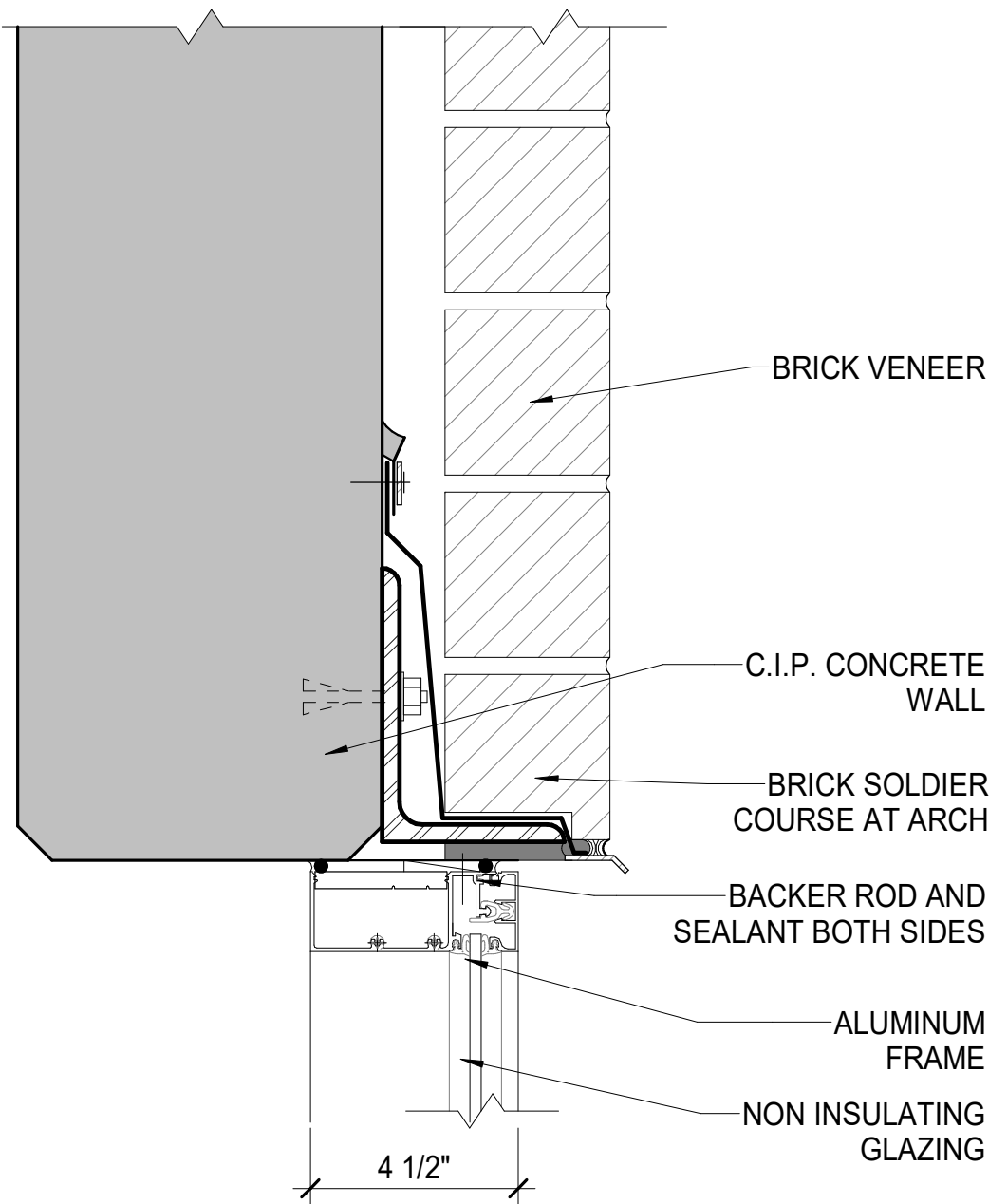
3 TYPICAL DETAIL AT STONE CAP
A722 SCALE: 3" = 1'-0"



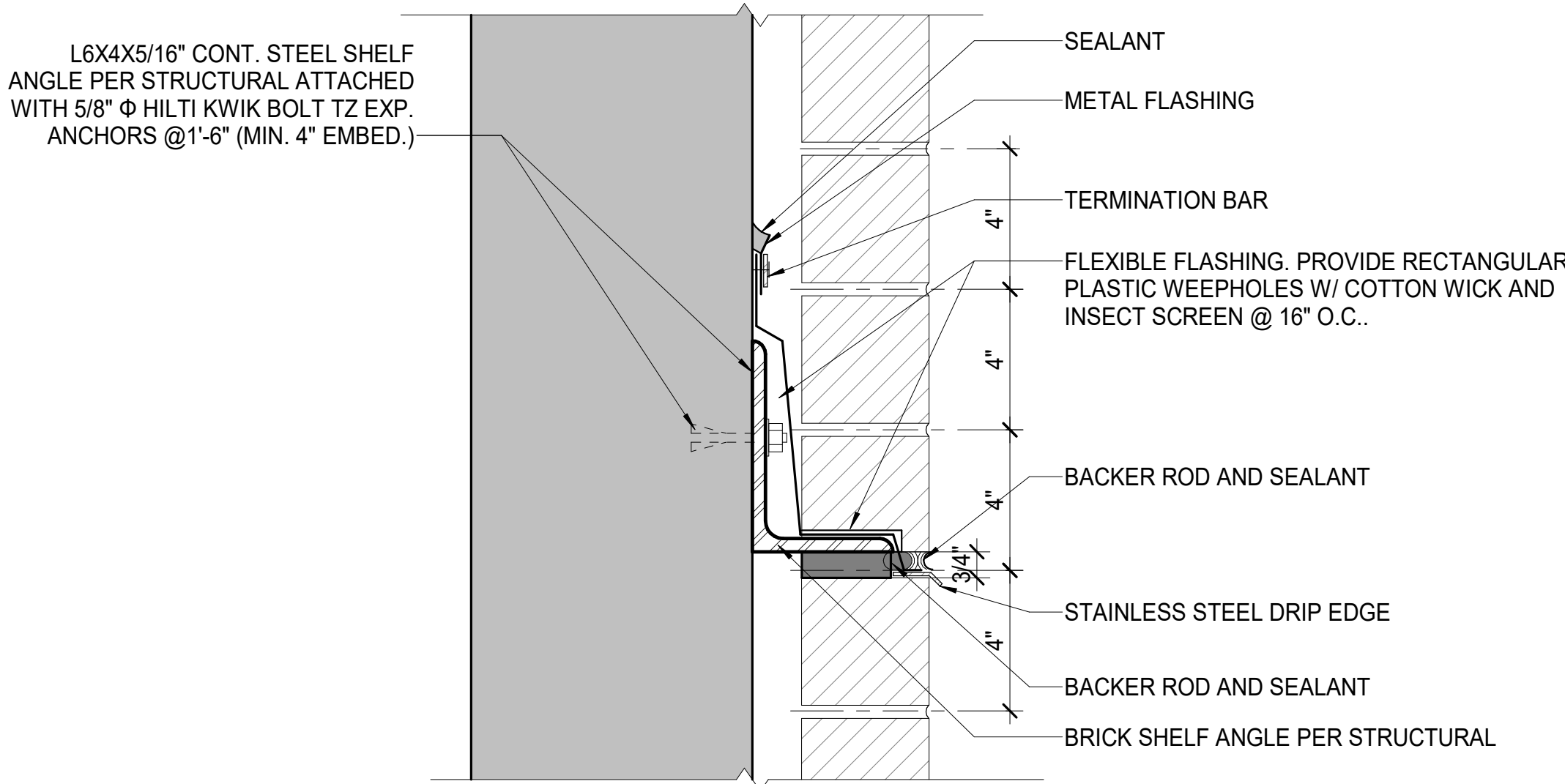
7 TYPICAL DETAIL AT COLUMN
A722 SCALE: 1 1/2" = 1'-0"



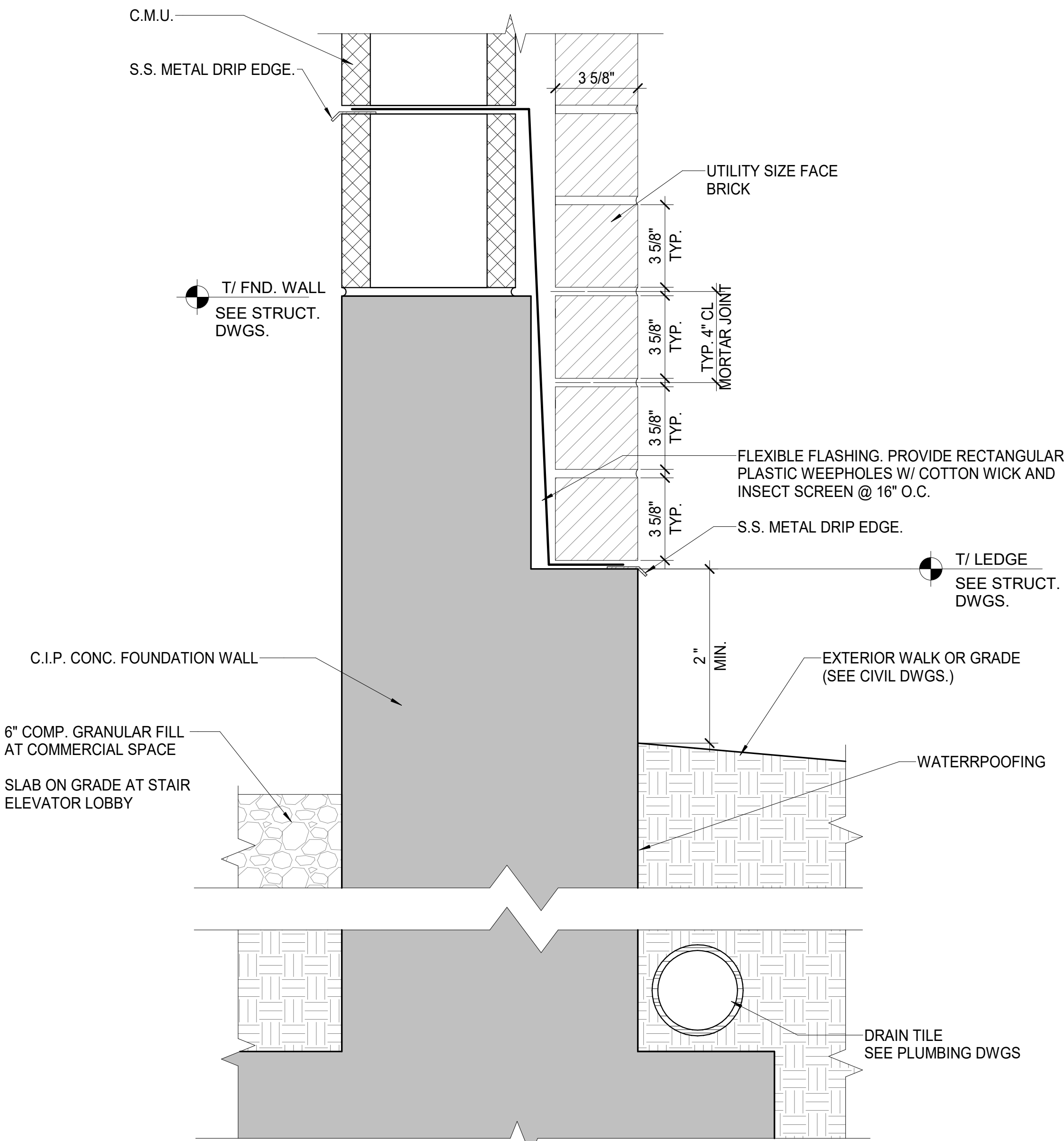
2 TYP. MASONRY DETAIL AT SHELF ANGLE
A722 SCALE: 3" = 1'-0"



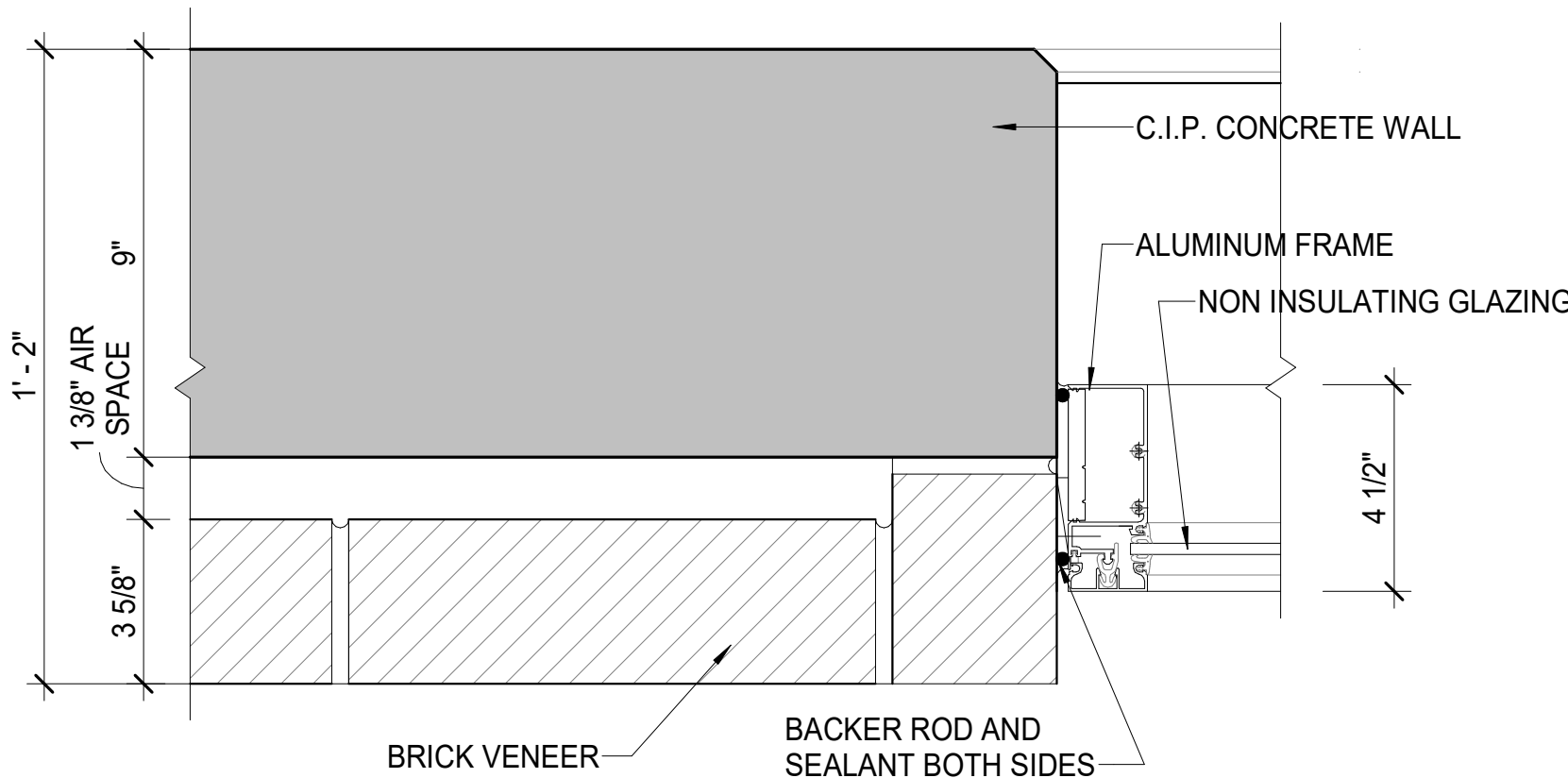
6 TYPICAL DETAIL MASONRY WINDOW HEAD
A722 SCALE: 3" = 1'-0"



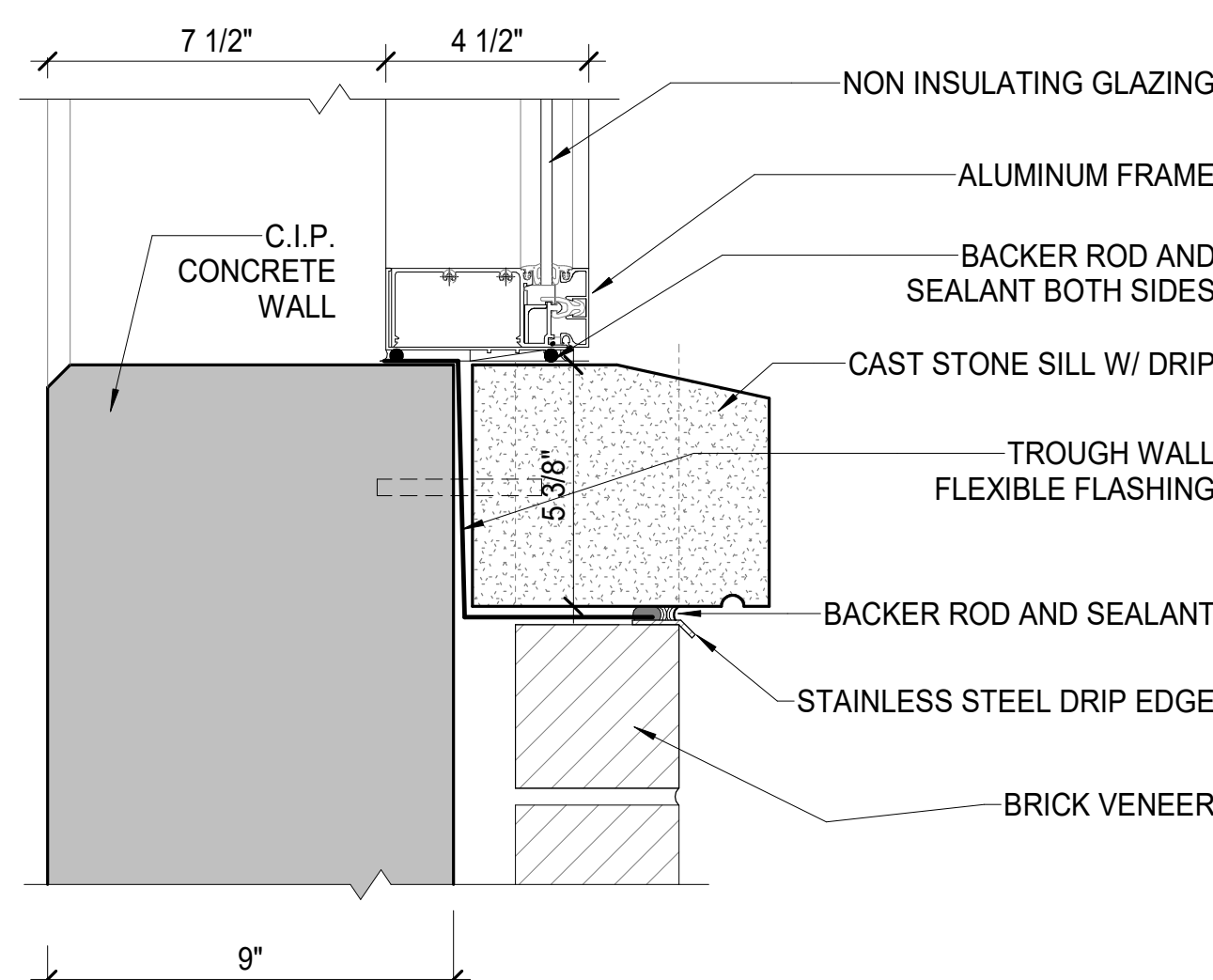
9 TYPICAL FACE BRICK SHELF ANGLE DETAIL AT COLUMNS
A722 SCALE: 3" = 1'-0"



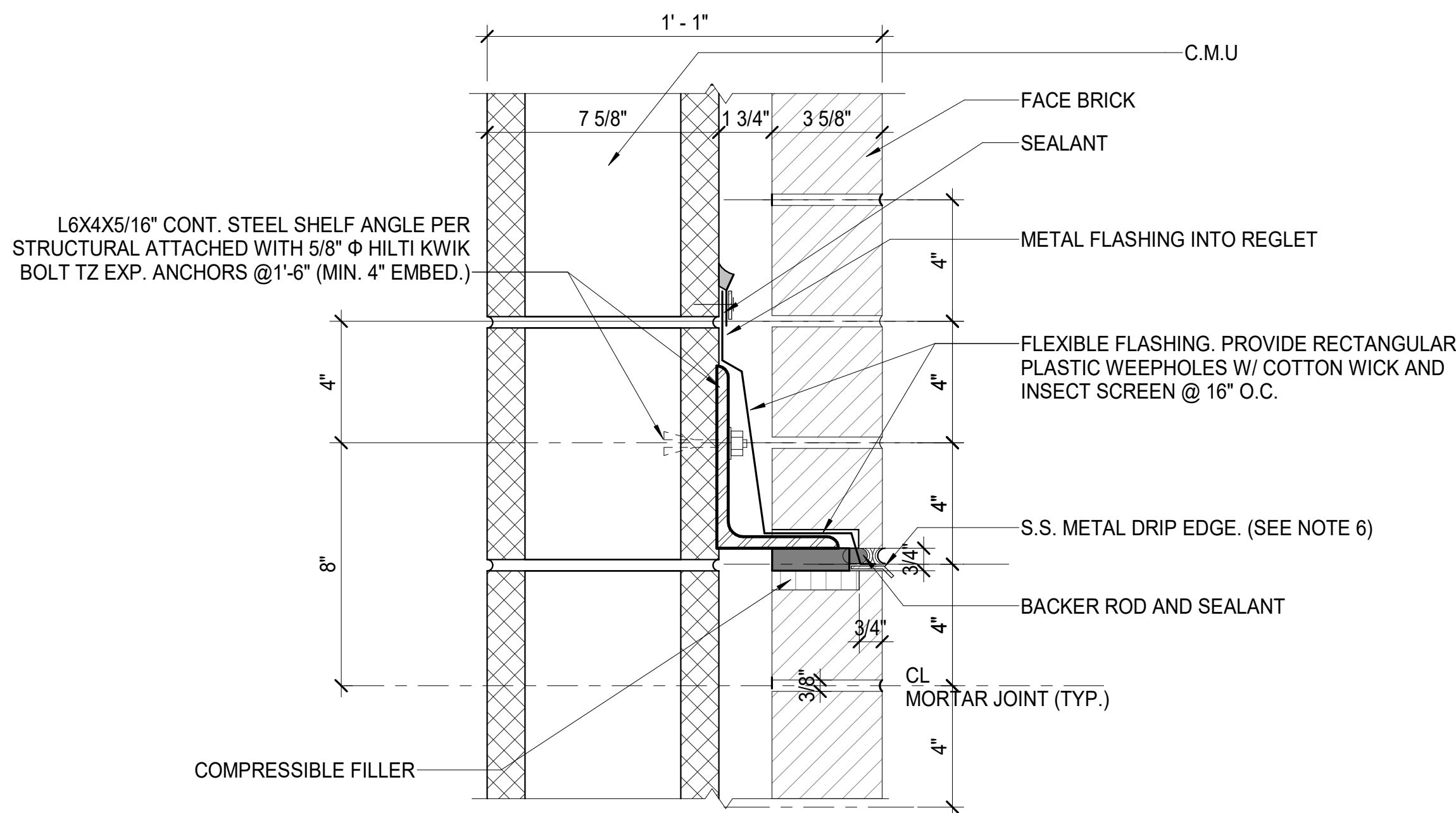
1 TYPICAL FACE BRICK BASE DETAIL
A722 SCALE: 3" = 1'-0"



5 TYPICAL DETAIL MASONRY WINDOW JAMB
A722 SCALE: 3" = 1'-0"



4 TYPICAL DETAIL MASONRY WINDOW SILL
A722 SCALE: 3" = 1'-0"



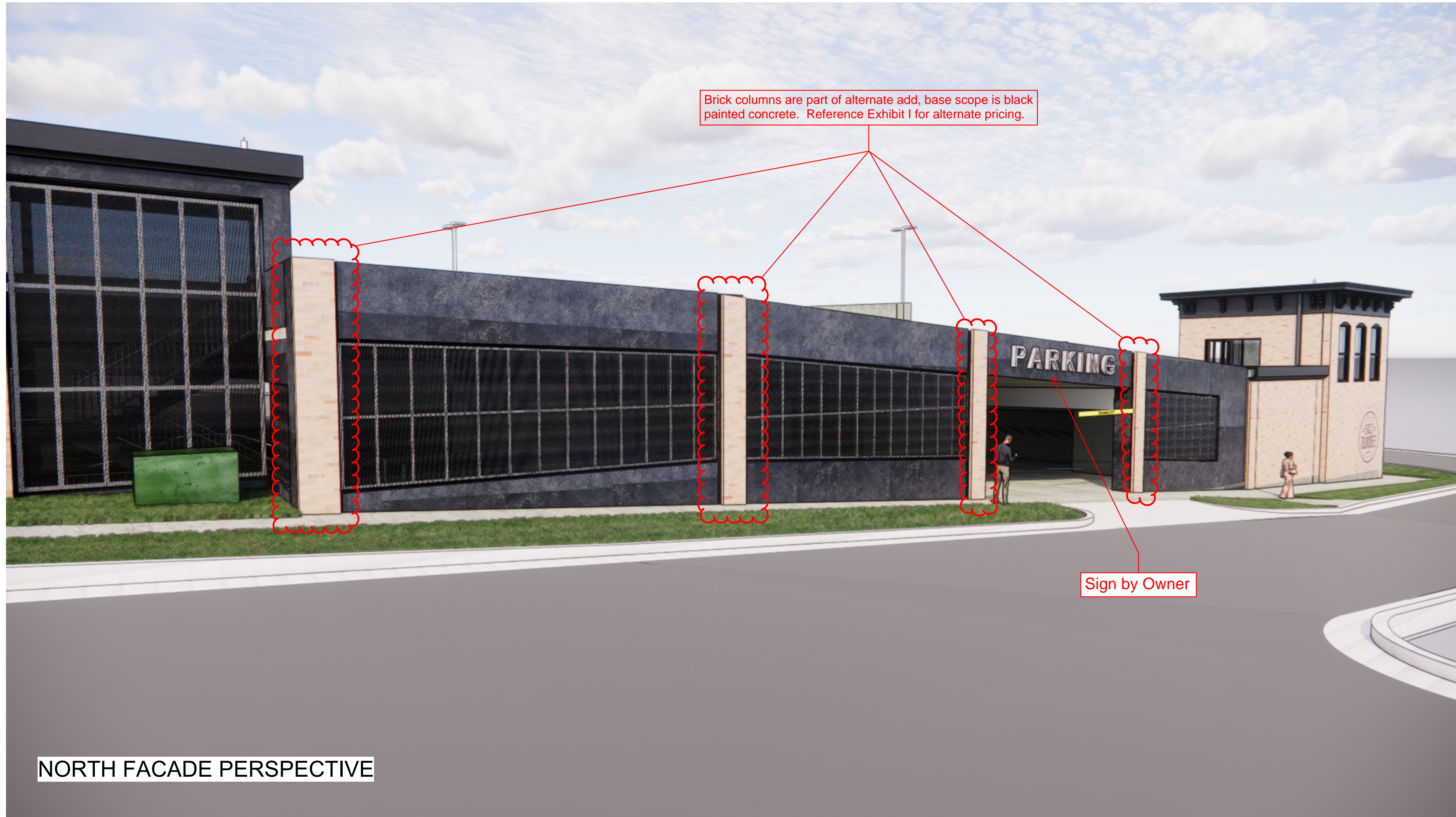
8 TYPICAL FACE BRICK SHELF ANGLE DETAIL AT C.M.U. BACKUP
A722 SCALE: 3" = 1'-0"

DETAIL GENERAL NOTES:

1. PROVIDE GALVANIC ISOLATION WHERE DISSIMILAR MATERIALS MEET.
2. ALL SYSTEMS AND MATERIALS TO BE INSTALLED USING MANUFACTURER'S RECOMMENDED METHODS AND MATERIALS.
3. ALL C.I.P. CONCRETE FINISHES EXPOSED TO VIEW ARE FOR SMOOTH FORMED FINISH.



EAST FACADE PERSPECTIVE



NORTH FACADE PERSPECTIVE

ISSUE		
ISSUE FOR PERMIT	06-10-24	
100% CD	07-01-24	

NO.	DESCRIPTION	DATE
-----	-------------	------

DRAWING TITLE:
RENDERINGS

DRAWING NO:

A901

SCALE:

DATE: 100% CDs 07-01-24

PROJECT NO: 50-24102

DES.	RWN.	CHK'D.
Designer	Author	Checker

All renderings are for illustration purposes only and cannot be used for construction. Reference the Contract Documents for final design, finishes, and appearance.



SOUTH FACADE PERSPECTIVE



WEST FACADE PERSPECTIVE

ISSUE		
ISSUE FOR PERMIT	06-10-24	
100% CD	07-01-24	

NO.	DESCRIPTION	DATE
-----	-------------	------

DRAWING TITLE:
RENDERINGS

DRAWING NO:

A902

SCALE:

DATE: 100% CD 07-01-24

PROJECT NO: 50-24102

DES.	RWN.	CHK'D.
Designer	Author	Checker

All renderings are for illustration purposes only and cannot be used for construction. Reference the Contract Documents for final design, finishes, and appearance.

Exhibit G
DESIGN CRITERIA

1. CODES AND SPECIFICATIONS
A. THE INTERNATIONAL BUILDING CODE (IBC) 2006
B. ASCE 7-05 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
C. ACI 318-05 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
2. DESIGN LOADS
2.1 DEAD LOAD: SELF-WEIGHT OF STRUCTURES AND COMPONENTS IN ACCORDANCE WITH MATERIAL AND DIMENSIONAL PARAMETERS SHOWN ON CONTRACT DRAWINGS, PLUS THE FOLLOWING SUSTAINED LOADS:
2.1.1 PARKING STRUCTURE:
A. ELEVATED LEVEL
• MISCELLANEOUS SUSPENDED 3 PSF
B. BRICK CLADDING (PER VERTICAL UNIT AREA WHERE APPLICABLE) 40 PSF
2.1.2 STAIR AND STAIR/ELEVATOR ENCLOSURES
A. TYPICAL LEVEL, AS APPLICABLE
• GLAZING (PER VERTICAL UNIT AREA) 25 PSF
• BRICK CLADDING (PER VERTICAL UNIT AREA) 40 PSF
B. ROOF
• ROOFING, INSULATION 6 PSF
• MISCELLANEOUS SUSPENDED 4 PSF
2.2 LIVE LOADS (OCCUPANCY LOADS, U.N.O.)
2.2.1 PARKING STRUCTURE:
A. ELEVATED LEVEL
• PARKING STALLS, DRIVE ISLES 40 PSF
2.2.2 STAIR AND STAIR/ELEVATOR ENCLOSURES
A. STAIR STEPS AND STAIR AND ELEVATOR LOBBIES 100 PSF
B. DESIGN ROOF LIVE LOAD 20 PSF
C. DESIGN ROOF SNOW LOAD PER 2.3
D. ELEVATOR MACHINE LOADS PER CONTRACTOR'S SPECIFICATIONS
E. ELEVATOR SERVICE AREAS PER CONTRACTOR'S SPECIFICATIONS BUT NOT TO EXCEED 150 PPSF UNIFORM LOAD
2.3 ROOF SNOW LOADS
• GROUND SNOW LOAD ASCE 7 FIG. 7-1 P_s = 25 PSF
• FLAT ROOF SNOW LOAD P_f = 21 PSF
• SNOW EXPOSURE FACTOR C_e = 1.0
• SNOW LOAD IMPORTANCE FACTOR I = 1.0
• THERMAL FACTOR C_t = 1.2
• SNOW DRIFT LOADING PER ASCE 7 CHAPTER 7
2.4 WIND LOADS
A. ALL WIND LOADS SHALL BE IN ACCORDANCE WITH THE GOVERNING IBC SECTION 1609 AND ASCE 7 CHAPTER 6 AS FOLLOWS:
• BASIC WIND SPEED (ASCE 7 FIG. 6-1) V = 90 MPH
• IMPORTANCE FACTOR I = 1.0
• WIND EXPOSURE B
• WIND INTERNAL PRESSURE COEFF. - PARKING STRUCTURE G_{cp} = ±0.55
• WIND INTERNAL PRESSURE COEFF. - STAIR/ELEVATOR ENCLOSURE G_{cp1} = ±0.18

HEIGHT ABOVE BASE	MAIN WIND FORCE RESISTING SYSTEM	COMPONENTS & CLADDING	
		AWAY FROM	AT CORNERS
0 - 20 FT	14 PSF	22 PSF	35 PSF
20 - 25 FT	15 PSF	22 PSF	35 PSF
25 - 30 FT	15 PSF	22 PSF	35 PSF

- NOTE: WIND PRESSURES ON COMPONENTS AND CLADDING HAVE BEEN BASED ON EFFECTIVE WIND AREA ON 10 FT² OR LESS. IN THE EVENT ACTUAL EFFECTIVE WIND AREA ON A COMPONENT IS GREATER THAN THE BASIS USED IN CALCULATION OF THE ABOVE PRESSURES, THE CLADDING SPECIALTY CONTRACTOR SHALL RE-CALCULATE THE PRESSURES AND SUBMIT THIS CALCULATION TO THE ARCHITECT FOR APPROVAL.
- 2.5 SEISMIC LOADS
A. SEISMIC LOADS SHALL BE IN ACCORDANCE WITH THE GOVERNING IBC SECTION 1613 AND PER ASCE 7 CHAPTERS 11 AND 12, WITH THE FOLLOWING CRITERIA:
• OCCUPANCY CATEGORY II
• SEISMIC IMPORTANCE FACTOR I_s = 1.0
• MAPPED SPECTRAL RESPONSE COEFFICIENTS S_{DS} = 0.149
S_{RI} = 0.097
D
B
• SITE CLASS B
• SEISMIC DESIGN CATEGORY B
• BASIC SEISMIC FORCE RESISTING SYSTEMS PER ASCE 7 TAB. 12.2-1:
PARKING STRUCTURE E-W & N-S ORDINARY REINFORCED CONCRETE MOMENT FRAMES (C-7)
R = 3
0.0497 x W_i
ORDINARY REINFORCED CONCRETE SHEAR WALLS (A-2)
R = 4
0.0373 x W_i
RESPONSE MODIFICATION FACTOR
DESIGN BASE SHEAR (GARAGE FRAME) STAIR/ELEVATOR ENCLOSURE
RESPONSE MODIFICATION FACTOR
DESIGN BASE SHEAR (STAIR/ELEVATOR ENCL.)
• ANALYSIS PROCEDURE EQUIVALENT LATERAL FORCE
- 2.6 FUTURE EXPANSION
A. NO PROVISIONS HAVE BEEN MADE FOR STRUCTURE EXPANSION IN ANY DIRECTION.

GENERAL NOTES

1. ALL NOTES GIVEN ON THESE DRAWINGS ARE SUPPLEMENTAL TO THE PROJECT SPECIFICATIONS AND ARE NOT INTENDED TO REPLACE THEM. IN THE EVENT OF AN APPARENT CONFLICT BETWEEN THE NOTES AND THE PROJECT SPECIFICATIONS, THE CONTRACTOR MUST OBTAIN CLARIFICATION IN WRITING FROM THE ARCHITECT.
2. ALL DESIGN AND CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE MOST STRINGENT OF THE GOVERNING CODES IF NOT SPECIFICALLY INDICATED. THE LATEST EDITION OF THE STATE AND LOCAL CODES AND ALL OTHER PERTINENT CODES, REGULATIONS AND ORDINANCES MUST BE USED.
3. DRAWINGS ARE NOT TO BE USED FOR SHP DETAILING UNLESS SPECIFICALLY INDICATED BY THE ARCHITECT/ENGINEER "FOR DETAILING" OR "FOR CONSTRUCTION". THESE DRAWINGS ARE NOT TO BE REPRODUCED FOR THE PURPOSE OF USING THEM AS SHOP DETAIL DRAWINGS.
4. STRUCTURAL DRAWINGS ARE INTENDED TO BE USED ALONG WITH CIVIL, ARCHITECTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REQUIREMENTS OF ALL DRAWINGS INTO THEIR SHOP DRAWINGS AND WORK.
5. SMALL OPENINGS ARE GENERALLY NOT SHOWN ON THE STRUCTURAL DRAWINGS. REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DRAWINGS FOR LOCATIONS AND DIMENSIONS OF THOSE OPENINGS. PROVIDE MINIMUM REINFORCEMENT AROUND OPENINGS PER TYPICAL DETAILS SHOWN ON THE STRUCTURAL DRAWINGS UNLESS OTHERWISE SHOWN OR REFERENCED. MULTIPLE OPENINGS SPACED CLOSER TOGETHER THAN THE DIAMETER (OR SMALLER DIMENSION FOR RECTANGULAR CONFIGURATION) OF THE LARGER OF ADJACENT OPENINGS OR 6 INCHES, WHICHEVER IS GREATER, SHALL BE TREATED AS ONE OPENING DEFINED BY OUTER TANGENT LINES CONNECTING ADJACENT OPENINGS IN A CLUSTER.

6. THE CONTRACTOR SHALL SUBMIT SLEEVE/OPENING LAYOUTS FOR ALL PIPES, CONDUITS AND SIMILAR FACILITIES PENETRATIONS THROUGH STRUCTURAL MEMBERS (ALL TRADES INCLUDED) TO THE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION. REFER TO TYPICAL DETAILS FOR ADDITIONAL REINFORCEMENT REQUIRED AROUND OPENINGS. SPECIFIC SITUATIONS BASE ON THE CONTRACTOR'S SELECTED ROUTING OF PIPES, CONDUITS, DUCTS, ETC., MAY REQUIRE SEPARATE ANALYSIS AND ADDITIONAL REINFORCEMENT ABOVE AND BEYOND THAT SHOWN IN TYPICAL DETAILS. SUCH ADDED REINFORCEMENT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
7. NO OPENINGS OTHER THAN THOSE SHOWN ON THE DESIGN DRAWINGS AND APPROVED SHOP DRAWINGS, SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
8. NO FIELD REVISIONS TO ANY STRUCTURAL COMPONENT INCLUDING BUT NOT LIMITED TO SIZE, DIMENSION(S), MATERIAL(S), ETC. SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT. THIS ALSO INCLUDES REVISIONS DUE TO MISLOCATION, MISFIT, OR ANY OTHER CONSTRUCTION ERRORS. STANDARD REQUEST FOR INFORMATION DOCUMENT SHALL NOT BE USED AS A TOOL TO OBTAIN ARCHITECT'S INSTRUCTIONS CONCERNING CORRECTIONS(S) OF CONSTRUCTION ERRORS. NON-COMFORMANCE REPORT SHALL BE USED TO REPORT SUCH CONDITIONS AND TO REQUEST ARCHITECT'S GUIDANCE.

9. DO NOT SCALE THESE DRAWINGS. USE DIMENSIONS AS SHOWN.
10. THE CONTRACTOR SHALL SUPERVISE AND DIRECT ALL WORK SO AS TO MAINTAIN SOLE RESPONSIBILITY FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
11. THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. BASED ON THE CONTRACTOR'S CONSTRUCTION METHODS AND SEQUENCING OF CONSTRUCTION, THE CONTRACTOR SHALL RETAIN SERVICES OF A LICENSED PROFESSIONAL ENGINEER TO DESIGN LATERAL SUPPORT SYSTEM REQUIRED TO RESIST LATERAL LOADS AND PROVIDE OVERALL STABILITY OF THE STRUCTURE UNTIL COMPLETION. THE CONTRACTOR SHALL FURNISH AND PROVIDE THE NECESSARY BRACING AND SUPPORTS DURING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE OVERALL STABILITY OF THE STRUCTURE DURING CONSTRUCTION.

12. THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING INCLUDING BUT NOT LIMITED TO ELEVATED CONSTRUCTION AND SLAB-ON-GRADE. CONSTRUCTION LOAD SHALL NOT EXCEED THE CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DESIGN, ADEQUATE INSTALLATION AND MAINTENANCE OF ANY AND ALL SHEETING, SHORING AND UNDERPINNING AGAINST EXISTING STRUCTURE AS REQUIRED, SO THAT THEY ARE NOT ENDANGERED BY THIS CONSTRUCTION. TEMPORARY MEMBERS AND CONNECTIONS SHALL NOT BE REMOVED UNTIL PERMANENT MEMBERS ARE IN PLACE AND FINAL CONNECTIONS ARE MADE.
14. THE CONTRACTOR SHALL PROVIDE ALL THE NECESSARY MEASURES AND PRECAUTIONS TO PREVENT DAMAGE AND SETTLEMENT OF EXISTING OR NEW CONSTRUCTION INSIDE OR OUTSIDE THE PROJECT LIMITS DURING EXCAVATION. ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION INSIDE OR OUTSIDE THE PROJECT LIMITS, CAUSED BY CONSTRUCTION TECHNIQUES OR MOVEMENTS OF THE SOIL PILE(S) AND/OR RETENTION SYSTEM, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

15. THE CONTRACTOR'S CONSTRUCTION AND/OR ERECTION SEQUENCES SHALL RECOGNIZE AND CONSIDER THE EFFECTS OF THERMAL MOVEMENTS OF STRUCTURAL ELEMENTS.
16. NEITHER THE ARCHITECT NOR THE STRUCTURAL ENGINEER SHALL BE RESPONSIBLE FOR OR HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR SAFETY PRECAUTIONS/PROGRAMS IN CONNECTION WITH THIS PROJECT. NEITHER THE ARCHITECT NOR THE STRUCTURAL ENGINEER SHALL BE RESPONSIBLE FOR, OR HAVE CONTROL OVER THE ACTS OF OMISSIONS BY THE CONTRACTOR, SUBCONTRACTORS, ANY OF THEIR AGENTS, EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THE ENTITIES OR INDIVIDUALS MENTIONED HEREIN ABOVE, TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
17. MINIMUM ACTUAL HEADROOM CLEARANCE IN THE PARKING STRUCTURE SHALL BE NOT LESS THAN 8'-2". THE CONTRACTOR SHALL ASCERTAIN THE REQUIRED CLEAR HEIGHT BELOW ALL BEAMS BEFORE PLACING CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY UPON DISCOVERY IN WRITING FOR EVERY LOCATION WHERE THE CLEAR HEIGHT IS LESS THAN THE MINIMUM INDICATE HEREIN ABOVE.

GENERAL NOTES

1. THE FOUNDATION DESIGN IS BASED ON THE GEOTECHNICAL INVESTIGATION REPORT PREPARED BY SOIL AND MATERIAL CONSULTANTS, INC. (SMCI), 8 W. COLLEGE DR., SUITE C, ARLINGTON HEIGHTS, IL 60004. TEL. (847) 870-0544 & FACSIMILE (847) 870-0661. DATED APRIL 7, 2023 AND THE LETTER ADDENDUM DATED APRIL 4, 2024. SMCI FILE NO. 27129. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE GEOTECHNICAL REPORT AND ACCOMPANYING DATA PRIOR TO BIDDING. ALL WORK SHALL BE DONE PER THE RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT AND ADDENDA.
2. ALL SOIL SUPPORTED STRIP AND SPREAD FOOTINGS SHALL BE FOUNDED UPON UNDISTURBED NATURAL SUBGRADE OR ENGINEERED FILL OF NOT LESS THAN 12 INCHES IN DEPTH, WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 3,000 PSF AS FIELD VERIFIED AND APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER. THE BOTTOM OF THE FOOTING ELEVATIONS AND SOIL BEARING CAPACITIES AS SHOWN ON THE DRAWINGS ARE BASED ON THE SOIL BORING DATA AND REPORT. FINAL EXACT ELEVATIONS AND SOIL BEARING CAPACITIES SHALL BE FIELD DETERMINED AND VERIFIED BY THE OWNER'S GEOTECHNICAL ENGINEER AND REVIEWED BY THE ARCHITECT/ENGINEER DURING CONSTRUCTION.
3. THE SOIL SUBGRADE FOR ALL FOOTINGS AND SLABS SHALL BE INSPECTED AND APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEE PRIOR TO PLACING FOUNDATION CONCRETE OR CONCRETE SLABS.

4. THE NATURAL SOIL SUBGRADE FOR ALL FOOTINGS AND SLABS SHALL BE PREPARED AS INDICATED IN THE PROJECT SPECIFICATIONS AND/OR GEOTECHNICAL REPORT. THIS PREPARATION SHALL BE OBSERVED AND APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER. THE BOTTOM OF GENERAL EXCAVATION SHALL BE COMPACTED BY SEVERAL PASSES OF A HEAVY VIBRATORY ROLLER, 20 TON MINIMUM STATIC WEIGHT, APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER.
5. PROOF-ROLLING REVEALING AREAS OF UNSTABLE SOIL CONDITIONS MAY BE FOLLOWED BY AERATION OF HIGH MOISTURE CONTENT SOILS EFFECTIVE TO DEPTH OF UP TO 1.0 FOOT. REMOVAL OF UNSTABLE SOILS MAY BE NECESSARY AS DETERMINED BY THE OWNER'S GEOTECHNICAL ENGINEER WHO WILL ALSO ADVISE ON THE EXTENTS AND DEPTHS OF UNDERCUTS.
6. FOLLOW THE RECOMMENDATIONS OF THE OWNER'S GEOTECHNICAL ENGINEER RELATIVE TO SOFTENED OR UNSTABLE SOIL CONDITIONS. USE OF AN INERT GRANULAR FILLATIVE DEPTH OF CRUSHED GRANULAR MATERIAL IN CONJUNCTION WITH THE USE OF AN APPROPRIATE GEOTEXTILE FABRIC.
7. BUILDING FOOTING FOUNDATIONS ARE EXPECTED TO BEAR UPON GRANULAR SOILS SUSCEPTIBLE TO DISTURBANCE DURING EXCAVATION AND DEWATERING. IF NECESSARY, BEARING SOIL SURFACES DETERMINED BY THE OWNER'S GEOTECHNICAL ENGINEER TO BE DISTURBED DUE TO SUCH CONSTRUCTION OPERATIONS SHOULD BE PROPERLY DE-WATERED AND RE-COMPACTED. THIS PROCESS SHOULD UTILIZE LARGE VIBRATORY PLATE COMPACTOR(S) AND PROCEED TO THE CONDITION SATISFACTORY TO THE OWNER'S GEOTECHNICAL ENGINEER.

8. ALL UNSUITABLE FINE, ORGANIC, OR ANY OTHER SOFT, EXCESSIVELY YIELDING MATERIAL SHOULD BE REMOVED FROM THE EXCAVATION TO REACH ACCEPTABLE BEARING GRANULAR DEPOSITS, AND REPLACED WITH A CONTROLLED INERT GRANULAR FILL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER. UNDERCUTS SHOULD EXTEND Laterally ON A 2(H):1(V) SLOPE A MINIMUM DISTANCE AWAY FROM THE EDGE OF FOOTING EQUAL THE DEPTH OF FILL THAT WILL BE PRESENT BENEATH THAT FOOTING.
9. ALL WELL GRADED GRANULAR MATERIAL FOR FILLS DEEMED ACCEPTABLE BY THE OWNER'S GEOTECHNICALL ENGINEER SHALL BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES IN LOOSE TAMPED CONDITION, AND COMPACTED TO A MINIMUM OF 95 PERCENT COMPACTION BASED ON THE MODIFIED PROCTOR TEST (ASTM D 1557). REFER TO ITEM 11 HEREIN BELOW FOR FURTHER INFORMATION ON COMPACTION.

10. NO FOOTINGS OR SLABS SHALL BE PLACED INTO OR AGAINST SUBGRADE CONTAINING FREE WATER, FROST OR ICE. SHOULD WATER OR FROST ENTER A FOOTING EXCAVATION AFTER SUBGRADE APPROVAL, THE SUBGRADE SHALL BE RE-INSPECTED BY THE OWNER'S GEOTECHNICAL ENGINEER FOLLOWING THE REMOVAL OF WATER OR FROST JUST PRIOR TO CONCRETE PLACEMENT.
11. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT ANY FROST OR ICE FROM PENETRATING ANY FOOTING OR SLAB SUBGRADE BEFORE AND AFTER PLACING OF CONCRETE AND UNTIL SUCH SUBGRADES ARE FULLY PROTECTED BY THE PERMANENT BUILDING STRUCTURE.
12. ALL FOOTING SUBGRADES AS REQUIRED AND ALL SLAB SUBGRADES INCLUDING PIT SLABS, AND BACKFILL AROUND AND ABOVE ALL FOUNDATION ELEMENTS, FOOTINGS, MATS AND PITS, SHALL BE COMPACTED TO A MINIMUM OF 98 PERCENT OF OPTIMUM DENSITY BASED ON THE MODIFIED PROCTOR TEST ASTM D 1557. THE DETERMINATION OF DENSITY OF THE SUBGRADES OR COMPACTED FILLS MAY BE BASED ON A DIFFERENT STANDARD ACCEPTABLE TO THE OWNER'S GEOTECHNICAL ENGINEER AS LONG AS THE RESULTING APPROVED DENSITY IS EQUIVALENT TO THAT DETERMINED BY THE STANDARD MENTIONED HEREIN ABOVE.

13. THE CONTRACTOR SHALL LOCATE CONSTRUCTION JOINTS IN CONTINUOUS STRIP FOOTINGS SUCH THAT THE MAXIMUM LENGTH OF THE CONCRETE PLACEMENT DOES NOT EXCEED 60 FEET. PLACE CONTROL/CONSTRUCTION JOINTS IN WALLS AS SHOWN ON THE DRAWINGS. IF NOT SHOWN, FOLLOW NOTE 19.C UNDER "CONCRETE NOTES" ON DWG. S002. THE CONTRACTOR SHALL UTILIZE A CONSTRUCTION SEQUENCE/PATTERN OF CONCRETE PLACEMENT SUCH THAT THE EFFECT OF SHRINKAGE IS MINIMIZED. THE CONTRACTOR SHALL SUBMIT A PROPOSED JOINT LOCATIONS AND SEQUENCE OF CONCRETE PLACEMENT IN FOOTING FOUNDATIONS AND WALLS TO THE ARCHITECT/ENGINEER FOR REVIEW.
14. THE CONCRETE FOR EACH ISOLATED SPREAD FOOTING SHALL BE PLACED IN ONE CONTINUOUS PLACEMENT.
15. BACKFILL ALL WALLS SIMULTANEOUSLY ON BOTH SIDES TO THE LOWER OF ADJACENT GRADES. DIFFERENTIAL DEPTH OF BACKFILL DURING THIS STAGE SHALL NOT EXCEED TWELVE (12) INCHES.
16. CANTILEVER RETAINING WALLS SCHEDULED AND SHOWN ON THE DRAWINGS DO NOT REQUIRE LOW BACKFILL SIDE BRACING AND MAY BE BACKFILLED UPON WALL CONCRETE AT ACHIEVING 75% OF THE DESIGN STRENGTH. OTHER FOUNDATION WALLS MAY REQUIRE TEMPORARY LATERAL BRACING IF THE CONTRACTOR CHOOSES TO BACKFILL PRIOR TO CONSTRUCTING PERMANENT LATERAL SUPPORT AFFORDED BY THE BUILDING STRUCTURE, U.N.O. IN DETAILS ON THESE DRAWINGS. WHEN TEMPORARY BRACING IS REQUIRED, IT IS TO BE DESIGNED BY A STRUCTURAL ENGINEER CURRENTLY LICENSED TO PRACTICE IN THE **STATE OF ILLINOIS** AND RETAINED BY THE CONTRACTOR, AND FURNISHED BY THE CONTRACTOR. SUCH TEMPORARY BRACING SHALL BE THEN FURNISHED BY THE CONTRACTOR.

17. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING, PROTECTING AND MAINTAINING IN SERVICE ALL EXISTING UTILITIES. FAILURE TO OBTAINING AND VERIFY INFORMATION CONCERNING OPERATING UTILITIES PRIOR TO COMMENCEMENT OF THE WORK SHALL NOT BE CONSIDERED A CAUSE FOR CONSIDERATION OF ENCOUNTERING SUCH UTILITIES OR RELATED FACILITIES AS UNFORESEEN CONDITIONS. ANY AND ALL DAMAGE TO THE EXISTING OPERATING UTILITIES CAUSED BY THE CONTRACTOR, SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION AND AT NO COST TO THE OWNER.
18. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IN THE EVENT ANY EXISTING UTILITIES, UTILITY STRUCTURES OR ANY OBSTRUCTION INTERFERES WITH THE PROPER INSTALLATION OF THE FOUNDATION WORK.
19. ALL FOOTINGS SUBJECTED TO FREEZE-THAW CYCLES OF SURROUNDING SOIL SHALL BEAR A MINIMUM OF 42.0 INCHES BELOW LOWEST FINISHED ADJACET GRADES.
20. SEE PLUMBING DRAWINGS FOR DRAINAGE SYSTEM AND SPECIAL GRANULAR FILL REQUIREMENTS.
21. SEE ARCHITECTURAL DRAWINGS FOR ALL WATERPROOFING AND DAMP PROOFING DETAILS.

22. ALL ELEVATIONS ARE REFERENCED TO NAVD '88. SEE CIVIL DRAWINGS FOR BENCHMARKS DESCRIPTIONS.
23. THE CONTRACTOR SHALL EXERCISE DUE CARE AND CAUTION WORKING IN THE AREAS ADJOINING EXISTING CONSTRUCTION TO REMAIN. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR PROVIDING AND MAINTAINING MEASURES PROTECTING EXISTING CONSTRUCTION, ANY AND ALL DAMAGES TO THE EXISTIG CONSTRUCTION CAUSED BY THE CONTRACTOR'S MEANS AND METODS AND/OR CONTRACTOR'S FAILURE TO PROVIDE PROTECTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION AND AT NO COST TO THE OWNER.

24. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

EXCAVATION, EARTH RETENTION, AND DEWATERING NOTES

1. WHEREVER SITE CONDITIONS ARE DICTATED BY THE PROXIMITY OF THE FOUNDATIONS TO THE PROPERTY LINE, ADJACENT EXISTING STRUCTURES TO REMAIN OR INABILITY TO PROVIDE OPEN CUT EXCAVATION, PARTS OF THE PERIMETER OF EXCAVATIONS FOR BELOW GRADE CONSTRUCTION SHALL BE RETAINED BY SOIL RETENTION SYSTEM(S). THE DESIGN, FURNISHING, INSTALLATION, MAINTENANCE AND REMOVAL OF SUCH SYSTEM(S) SHALL BE THE COMPLETE AND SOLE RESPONSIBILITY OF THE CONTRACTOR. REFER TO ITEM 14 OF THE GENERAL NOTES.
2. THE CONTRACTOR SHALL COORDINATE ALL ELEMENTS OF THE RETENTION SYSTEM WITH ALL ELEMENTS OF THE PERMANENT BUILDING AND IDENTIFY AND ADDRESS POTENTIAL CONFLICTS.
3. PRIOR TO ANY EXCAVATION OR INSTALLATION OF THE ELEMENTS OF THE SOIL RETENTION SYSTEM, THE CONTRACTOR SHALL ESTABLISH SURVEY POINTS AROUND THE PERIMETER OF THE AREA TO BE EXCAVATED AND OTHER POINTS UP TO 200 FEET BEYOND THE EXCAVATED PERIMETER. THESE POINTS SHALL BE SURVEYED FOR VERTICAL AND HORIZONTAL MOVEMENTS AT FREQUENT INTERVALS DURING ACTUAL EXCAVATION AND/OR RETENTION SYSTEM INSTALLATION, AND CONTINUE DURING SUBSEQUENT PHASE OF THE WORK UP AND INCLUDING THE TIME OF FULL UNBRACED ERECTION OF ALL STRUCTURAL AND ARCHITECTURAL COMPONENTS OF THE BUILDING. SURVEYING DATA SHALL BE SUBMITTED TO THE ARCHITECT NO LATER THAN THREE (3) BUSINESS DAYS FOLLOWING ITS RECORDING BY THE SURVEYOR.
4. ALL EXCAVATION SHALL BE BASED ON ENGINEERED DRAWINGS PREPARED BY THE CONTRACTOR'S PROFESSIONAL ENGINEER SPECIALIZING IN THIS KIND OF WORK AND CURRENTLY LICENSED TO PRACTICE IN THE STATE OF ILLINOIS. THESE DRAWINGS SHALL INCLUDE PLANS AND SECTIONS OF EXCAVATION SEQUENCES, THE NECESSARY SIZES/SPACINGS OF RETENTION SYSTEM COMPONENTS AND DETAILS OF CONNECTIONS AND EMBEDMENTS.
5. ALL EXCAVATIONS BELOW THE GENERAL LOWEST LEVEL OF THE PERMANENT BUILDING REQUIRED FOR PITS, MAY BE RETAINED BY LOCALIZED SOIL RETENTION SYSTEMS AS DEEMED NECESSARY BY THE CONTRACTOR. SUCH SYSTEMS SHALL BE DESIGNED BASED ON APPROPRIATE EARTH AND HYDROSTATIC PRESSURES AND OTHER CONSTRUCTION LOADINGS.
6. THE CONTRACTOR SHALL PROVIDE POSITIVE PROTECTION (MAT/SHEET COVERINGS) FOR ALL EXCAVATION SLOPES AND MAINTAIN PROPER DRAINAGE WITHIN EXCAVATIONS AT ALL TIMES. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR DESIGNING AND CONSTRUCTING STABLE TEMPORARY EXCAVATIONS BY PROVIDING ADEQUATE PROTECTION AGAINST SLOPES INSTABILITY AND DETERIORATION DUE TO RAIN, WIND, ICE OR SNOW.
7. UPON COMPLETION OF THE EARTH RETENTION SYSTEM INSTALLATION THE EXCAVATION SITE OR SEGEMENT THEREOF SHALL BE DEWATERED BEFORE OR AS THE EXCAVATION PROCEEDS. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT FOR RECORD COMPLETE PLANS AND DETAILS OF THE DEWATERING SYSTEM INCLUDING TRENCHES, SUMPS, DEWATERING WELLS, OBSERVATION WELLS, PUMPING SYSTEM, DISPOSAL LOCATION, SETTLING BASIN, MAINTENANCE OR BACKUP EQUIPMENT, ETC. THE DEWATERING SYSTEM DESIGN, CONSTRUCTION, MAINTENANCE AND TERMINATION SHALL BE COMPLETE AND SOLE RESPONSIBILITY OF THE CONTRACTOR.

8. AT ALL TIMES, THE DEWATERING SYSTEM SHALL MAINTAIN THE GROUND WATER LEVEL A MINIMUM OF THREE (3) FEET BELOW THE DEEPEST FOUNDATION SUBGRADE WITHIN THE DEWATERING SEGMENT OF THE FOUNDATION. THE DEWATERING SYSTEM SHALL BE MAINTAINED UNTIL STRUCTURES POTENTIALLY AFFECTED BY THE GROUND WATER RISE ARE INSTALLED AND CURED IN PLACE. WATERPROOFING IS INSTALLED AND THE PERMANENT BUILDING DRAINAGE SYSTEM IS FULLY OPERATIONAL.

9. MONITORING OF THE DEWATERING SYSTEM SHALL BE DONE BY THE CONTRACTOR AND THE OWNER'S GEOTECHNICAL ENGINEER. THIS SHALL INCLUDE MONITORING OF THE SITE CONDITIONS JUST PRIOR, DURING AND FOLLOWING EXCAVATION. OBSERVATION WELLS FOR GROUND WATER LEVELS BELOW GROUND SURFACE AND EFFICIENCY AND HANDLING OF THE SITE DRAINAGE.

10. DEPENDING ON THE ACTUAL CONDITIONS ENCOUNTERED, THE AGGRESSIVE DEWATERING MAY ADVERSELY AFFECT THE FOUNDATION SUBGRADES AS OBSERVED BY THE OWNER'S GEOTECHNICAL ENGINEER. SHOULD THESE CONDITIONS BE ENCOUNTERED, THE RESPECTIVE SUBGRADES MAY REQUIRE RE-COMPACTION OR REMOVAL AND REPLACEMENT BY ENGINEERED FILL AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER.
11. JUST PRIOR TO TERMINATION OF DEWATERING THE CONTRACTOR MUST ASCERTAIN THAT THE GRAVITY OF THE PERMANENT BUILDING OR STRUCTURE IN PLACE AT THE TIME OF TERMINATION ADEQUATELY COUNTERACTS THE IMPOSED BUOYANT FORCES BASED ON KNOWN HYDROGEOLOGY OF THE SITE AND AN APPROPRIATE FACTOR OF SAFETY. 12. SEE PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

ABBREVIATIONS

ACI	AMERICAN CONCRETE INSTITUTE	SCHED. SECT.	SCHEDULE SECTION
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	S.F.	SQUARE FOOT (FEET)
ADDL	ADDITIONAL	SH.T.	SHEET
ADJ.	ADJACENT	SIM.	SIMILAR
AGG.	AGGREGATE	S.O.G.	SLAB ON GRADE
ALT.	ALTERNATE	SPEC.	SPECIFICATION
APPROX.	APPROXIMATELY	SPEC'D	SPECIFIED
ARCH.	ARCHITECT	STL	STEEL
		STD.	STANDARD
		STIFF.	STIFFENER
BLDG.	BUILDING	STIR.	STIRRUP
B/ OR BOT.	BOTTOM	STRUCT.	STRUCTURE
BTWN	BETWEEN	SUB-CONT.	SUB-CONTRACTOR
BRG	BEARING	SUPT.	SUPPORT
		SYM.	SYMMETRICAL
C	CHANNEL		
C.G.	CENTER OF GRAVITY	T/	TOP OF
C.I.P.	CAST IN PLACE	T&B	TOP AND BOTTOM
C.J.	CONSTRUCTION JOINT OR CONTROL JOINT	TEMP.	TEMPERATURE
		TEN.	TENSION
CL	CENTERLINE	THK.	THICK
CLR.	CONTINUOUS	TY.P.	TYPICAL
C.M.U.	CONCRETE MASONRY UNIT		
COL.	COLUMN	U.N.	UNLESS NOTED
COMP.	COMPRESSION	U.N.O.	UNLESS NOTED OTHERWISE
CONC.	CONCRETE		
CONNECTION	CONNECTION		
CONSTR.	CONSTRUCTION	V	SHEAR
CONV.	CONVEYER	VERT.	VERTICAL
COV. PL.	COVER PLATE		
		W/	WITH
DBL.	DOUBLE	W/O	WITHOUT
DET.	DETAIL	WF	WIDE FLANGE
DIAG.	DIAGONAL	W xxx	WIDE FLANGE SECTION
DIAM.	DIAMETER	W.P.	WATER POINT
DIM.	DIMENSION	W.S.	WATER STOP
D.L.	DEAD LOAD	W.W.F.	WELDED WIRE FABRIC
D.P.	DRILLED PIER		
DWG.	DRAWING		
DWLS.	DOWELS		
EA.	EACH		
E.F.	EACH FACE		
E.J.	EXPANSION JOINT		
EL.	ELEVATION		
ELEC.	ELECTRICAL		
ELEV.	ELEVATOR		
EQ.	EQUAL		
F. TO F.	FACE TO FACE		
FABR.	FABRICATOR		
FD	FLOOR DRAIN		
FIN.	FINISH		
FIN. FL.	FINISHED FLOOR		
FL.	FLOOR		
FNDR.	FOUNDATION		
	FOUNDATION PROTECTION		
F.S.	FAR SIDE		
FT.	FOOT OR FEET		
FTG.	FOOTING		
GA.	GAUGE		
GALV.	GALVANIZED		
G.C.	GENERAL CONTRACTOR		
GR.	GRADE		
GR. BM.	GRADE BEAM		
G.S.	GALVANIZED STEEL		
HD.	HEADED		
HK.	HOOK		
HOR.	HORIZONTAL		
H.P.	HIGH POINT		
HSS	HOLLOW STRUCTURAL SECTION (TUBE)		
HGT.	HEIGHT		
I.D.	INSIDE DIAMETER		
I.F.	INSIDE FACE		
INFO.	INFORMATION		
INT.	INTERIOR		
INTERM.	INTERMEDIATE		
JST.	JOIST		
JT.	JOINT		
K.	KIPS		
K.L.F.	KIPS PER LINEAL FOOT		
K.S.F.	KIPS PER SQUARE FOOT		
L	ANGLE		
LB.	POUND		
L.L.	LIVE LOAD		
L.L.H.	LONG LEG HORIZONTAL		
L.L.V.	LONG LEG VERTICAL		
LONG.	LONGITUDINAL		
L.P.	LOW POINT		
LTWT.	LIGHT WEIGHT		
MAT.	MATERIAL		
MAX.	MAXIMUM		
MECH.	MECHANICAL		
MD.	MIDDLE		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
MFR.	MANUFACTURER		
MTL.	METAL		
N.I.C.	NOT IN CONTRACT		
NO. OR #	NUMBER		
NOM.	NOMINAL		
N.S.	NEAR SIDE		
N.T.S.	NOT TO SCALE		
O.C.	ON CENTER		
O.D.	OUTSIDE DIAMETER		
O.F.	OUTSIDE FACE		
O.H.	OPPOSITE HAND		
OPN.	OPENING		
OPP.	OPPOSITE		
PAR.	PARALLEL		
PART.	PARTITION		
P.C.C.	PRE-CAST CONCRETE		
P.C.F.	POUNDS PER CUBIC FOOT		
P.C.I.	POUNDS PER CUBIC INCH		
PERP.	PERPENDICULAR		
PL	PLATE		
P.S.F.	POUNDS PER SQUARE FOOT		
P.S.I.	POUNDS PER SQUARE INCH		
PT.	POINT		
RAD.	RADIUS		
REINF.	REINFORCEMENT		
REQ.	REQUIRE		

DESIGNMAN

McHUGH 125 YEARS 1897 - EST. 1897

DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE

304 HILL STREET, EAST DUNDEE, IL 60118

STATE OF ILLINOIS
D. YORRY
601-004519
Professional Engineer
Expiration Date 11-30-2024

ISSUE
06-10-24

NO. DESCRIPTION DATE

DRAWING TITLE:
DESIGN CRITERIA AND GENERAL NOTES

DRAWING NO:
S001

SCALE: 3/4" = 1'-0"

DATE: ISSUED FOR PERMIT 06-10-24
PROJECT NO: 50-24102

DES. CHKD.
YS MBT YS

CONCRETE NOTES

1. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 301. THIS DOCUMENT SHALL BE AVAILABLE IN THE CONTRACTOR'S FIELD OFFICE.

2. EXCEPT WHERE OTHERWISE INDICATED, CONCRETETYPES AND MINIMUM 28-DAY COMPRESSIVE STRENGTHS SHALL BE AS FOLLOWS:

A	COLUMN AND WALL FOOTINGS, ELEVATOR PIT MAT	4,500 PSI REGULAR WEIGHT
B	RETAINING WALLS, FOUNDATION WALLS	4,500 PSI REGULAR WEIGHT
C	SLAB-ON-GRADE	4,000 PSI REGULAR WEIGHT
D	COLUMNS (SEE DWG S)	5,000 PSI REGULAR WEIGHT
E	ELEVATOR SHAFT WALLS	5,000 PSI REGULAR WEIGHT
F	ELEVATOR FLOOR AND ROOF FRAMING, STAIR SLABS	5,000 PSI REGULAR WEIGHT
G	ALL OTHER	4,000 PSI REGULAR WEIGHT

3. ALL CONCRETE EXPOSED TO MOISTURE AND/OR FREEZE-THAW CYCLES IN SERVICE SHALL BE AIR ENTRAINED WITH 5%-7.5% AIR CONTENT. SEE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.

4. CEMENT SHALL CONFORM TO ASTM 150 TYPE OR TYPE II, ALTERNATIVELY, CEMENT MAY CONFORM TO ASTM C595 TYPE IS, IP OR IL. FOR ASTM C595 MATERIAL, CONTENT OF GROUND GRANULATED BLAST FURNACE SLAG IN TYPE IS OR CONTENT OF POZZOLAN (LIKE FLY ASH) IN TYPE IP SHALL NOT EXCEED PERCENTAGES LISTED IN ACI 301 TABLE 4.2.1.1(b). NO OTHER CEMENTITIOUS ADDITIVE SHALL BE ADDED TO ASTM C595 BLENDED CEMENTS. AGGREGATES FOR CONCRETE SHALL CONFORM TO ASTM C33 (REGULAR WEIGHT), U.N.O. ALL CONCRETE SHALL CONTAIN AN APPROVED WATER REDUCING ADMIXTURE. NO CALCIUM CHLORIDE SHALL BE USED I ANY CONCRETE. SEE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.

5. ALL REINFORCING BARS SHALL CONFORM TO ASTM A615 OR ASTM A706, GRADE 60, UNLESS NOTED OTHERWISE ON THE DRAWINGS. WHERE WELDING OF REINFORCEMENT BARS IS REQUIRED, USE STEEL BARS CONFORMING TO ASTM A706 GRADE 60, UNLESS NOTED OTHERWISE. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. REFER TO THE PROJECT SPECIFICATIONS FOR REQUIREMENTS RELATIVE TO COATED REINFORCEMENT.

6. ALL MILD STEEL REINFORCEMENT SHALL BE DETAILED, FABRICATED, LABELED, SUPPORTED AND SPACED IN FORMS AND SECURED IN PLACE IN ACCORDANCE WITH THE ACI DETAILING MANUAL SP-066, LATEST EDITION. BAR SUPPORTS IN CONTACT WITH SURFACES EXPOSED TO EARTH, VIEW OR WEATHER SHALL BE PLASTIC TIPPED.

7. ALL 135° HOOKS SHALL BE MINIMUM 6d, WHERE "d" IS BAR DIAMETER. ALL OTHER HOOKS SHALL BE STANDARD ACI 90° OR 180° HOOKS. SEE NOTE 14 HEREIN BELOW FOR HOOKED REBAR DEVELOPMENT REQUIREMENTS.

8. MINIMUM CLEAR SPACING OF PARALLEL MILD STEEL REINFORCING BARS IN A LAYER SHALL NOT BE LESS THAN A BAR DIAMETER (USE LARGER OF THE TWO ADJACENT BARS FOR DISSIMILAR SIZES), BUT SHALL NOT BE LESS THAN ONE (1) INCH. FOR BUNDLED BARS, USE EQUIVALENT DIAMETER OF A BUNDLE BASED ON CROSS-SECTIONAL AREA. WHERE PARALLEL BARS ARE TO BE PLACED IN TWO (2) OR MORE LAYERS, PLACE UPPER LAYER BARS DIRECTLY ABOVE THE LOWER LAYER BARS. CLEAR DISTANCE BETWEEN THE ADJACENT LAYERS SHALL NOT BE LESS THAN ONE (1) INCH.

9. UNLESS OTHERWISE NOTED, PROVIDE CLEAR COVER TO REINFORCEMENT IN ALL CAST-IN-PLACE CONCRETE AS FOLLOWS, BUT IN NO CASE LESS THAN THE VALUES INDICATED IN ACI 301 ART. 3.3.2.3:

MEMBER TYPE	EXPOSED	NOT EXPOSED
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"	-
EXPOSED TO EARTH OR WEATHER, U.N.O.	2"	-
BEAM - TO STIRRUP	1.5"	1.5"
BEAM - TO PRIMARY REBAR	2"	-
COLUMN - TO TIES	2"	1.5"
CRASH WALL, PARAPET	1.5"	-
SLAB - TOP	2"	.75"
SLAB - BOTTOM (INTERIOR)	1"	.75"
SLAB - BOTTOM (EXTERIOR)	1.5"	1"
WALL	2"	1"

"EXPOSED" IN THE ABOVE TABLE MEANS UNDERGOING FREEZE-THAW CYCLES AND MOISTURE IN SERVICE.

10. ALL SLABS-ON-GRADE (S.O.G.) SHALL BE REINFORCED WITH STRUCTURAL FIBER OR MILD STEEL REINFORCEMENT AS NOTED ON PLANS. WHERE NEITHER FIBER NOR STEEL REINFORCEMENT IS NOTED ON THE DRAWINGS, PROVIDE AT LEAST ONE (1) LAYER OF 6x6-W2XW2 W.W.F., UNLESS NOTED OTHERWISE. PROVIDE ONE (1) LAYER OF 6x6-W1.4XW1.4 CONTINUOUS IN ALL CONCRETE FILLS OVER THE STRUCTURAL SLAB OR S.O.G., UNLESS NOTED OTHERWISE. ALL WELDED WIRE FABRIC REGARDLESS OF SLAB COMPONENT SHALL BE FURNISHED IN SHEETS (NOT ROLLS), AND SHALL BE PROPERLY SUPPORTED ON APPROPRIATE CHAIRS/BOLSTERS AND TIED DOWN SECURELY. SHEET SHALL BE LAPPED TWO FULL PANELS.

11. PROVIDE ADEQUATE BOLSTER, HI-CHAIRS, SUPPORT BARS, ETC., TO MAINTAIN MINIMUM SPECIFIED CLEAR CONCRETE COVER FOR THE ENTIRE LENGTH OF ANY AND ALL BARS. PROVIDE CONTINUOUS #4 SPACER BARS IN WALLS AND SLABS TO SUPPORT DOWELS. HEAVIER SPACER BATS MAY BE REQUIRED IN BEAMS TO ALLEVIATE CONGESTION IN THE PRESENCE OF TENDON BUNDLES AND MILD STEEL REINFORCEMENT IN THE SAME OR IN PARALLEL LAYERS.

12. SPLICES OF REINFORCEMENT SHALL BE MADE ONLY WHERE REQUIRED OR PERMITTED ON THE CONTRACT DRAWINGS OR IN PROJECT SPECIFICATIONS, OR SPECIFICALLY AUTHORIZED BY THE ENGINEER. WHEREEVER PERMITTED, SPLICING MAY BE OF MECHANICAL TYPE OR LAP SPLICING TYPE. MECHANICAL SPLICES SHALL BE CAPABLE OF DEVELOPING 125% OF BAR YIELD STRENGTH. FOR MECHANICALLY SPLICED OR LAP SPLICED DISSIMILAR BARS USE SMALLER BAR YIELD STRENGTH OR TABULATED LAP LENGTH RESPECTIVELY TO DETERMINE THE REQUIRED MINIMUM MECHANICAL SPICER STRENGTH OR LAP LENGTH. PLACEMENT OF SPLICES REGARDLESS OF TYPE, SHALL BE MADE AT POINTS OF MINIMUM STRESS AS MUCH AS POSSIBLE. WHERE NOT SPECIFICALLY INDICATED, DOWELS SHALL MATCH SIZE, NUMBER AND SPACING OF THE MAIN REINFORCEMENT ONTO WHICH THEY ARE BEING SPLICED, UNLESS NOTED OTHERWISE. NO LAP SPLICES SHALL BE PERMITTED IN INDIVIDUAL SPREAD FOOTING REINFORCEMENT, ELEVATOR PIT MAT REINFORCEMENT AND RETAINING WALL FOOTING TOP SHORT DIRECTION REINFORCEMENT.

13. ALL REINFORCEMENT LAP SPLICES SHALL CONFORM TO THE LAP SPLICING SCHEDULES BELOW. ALL WELDED WIRE FABRIC SHALL BE LAPPED TWO (2) FULL MESH PANELS AND TIED SECURELY.

CONCRETE NOTES CONT.

SCHEDULE NO. 1 - UNCOATED TOP BARS											
BAR SIZE	#4	#5	#6	#7	#8	#9	#10	#11			
MIN. SPACING	S = 2.5"	S = 2.5"	S = 2.5"	S = 3.0"	S = 3.0"	S = 3.5"	S = 3.75"	S = 4.25"			
SPlice CLASS	A	B	A	B	A	B	A	B	A	B	A
	4000	15	20	19	25	23	29	33	43	37	49
	4500	14	19	18	23	21	28	31	40	35	46
	5000	14	18	17	22	20	26	29	38	34	44

SCHEDULE NO. 2 - UNCOATED OTHER THAN TOP BARS											
BAR SIZE	#4	#5	#6	#7	#8	#9	#10	#11			
MIN. SPACING	S = 2.5"	S = 2.5"	S = 2.5"	S = 3.0"	S = 3.0"	S = 3.5"	S = 3.75"	S = 4.25"			
SPlice CLASS	A	B	A	B	A	B	A	B	A	B	A
	4000	12	15	15	19	18	23	25	33	29	37
	4500	12	14	14	18	17	21	24	31	27	35
	5000	12	14	13	17	16	20	23	29	26	34

SCHEDULE NO. 3 - EPOXY COATED TOP BARS											
BAR SIZE	#4	#5	#6	#7	#8	#9	#10	#11			
MIN. SPACING	S = 2.5"	S = 2.5"	S = 2.5"	S = 3.0"	S = 3.0"	S = 3.5"	S = 3.75"	S = 4.25"			
SPlice CLASS	A	B	A	B	A	B	A	B	A	B	A
	4000	18	23	23	29	30	38	43	56	49	63
	4500	17	22	21	28	28	36	40	52	46	60
	5000	16	21	20	26	26	34	38	50	44	57

SCHEDULE NO. 4 - EPOXY COATED OTHER THAN TOP BARS											
BAR SIZE	#4	#5	#6	#7	#8	#9	#10	#11			
MIN. SPACING	S = 2.5"	S = 2.5"	S = 2.5"	S = 3.0"	S = 3.0"	S = 3.5"	S = 3.75"	S = 4.25"			
SPlice CLASS	A	B	A	B	A	B	A	B	A	B	A
	4000	14	18	18	23	26	34	38	49	43	56
	4500	13	17	17	21	25	32	36	46	41	53
	5000	13	16	16	20	23	30	34	44	39	50

TENSION LAP SPlice SCHEDULE NOTES:

THE FOLLOWING NOTES SHALL APPLY TO THE ABOVE SCHEDULES:

- REINFORCEMENT IN CONCRETE MEMBERS COVERED BY THESE NOTES SHALL BE IONSTALLED TO A MINIMUM CLEAR CONCRETE COVER IN ACCORDANCE WITH THE TABLE UNDER ITEM (9) HEREIN ABOVE, UNLESS OTHERWISE INDICATED ON THE DRAWINGS. VALUE "S" IN THE ABOVE TABULATION IS THE CENTER-TO-CENTER MINIMUM DISTANCE BETWEEN THE RESPECTIVE SIZE BARS IN A LAYER AS A BASIS FOR THE DEVELOPMENT AND LAP SPlice LENGTH CALCULATION.
- LAP SPLICING OF BARS LARGER THAN #11 IS NOT PERMITTED.
- CLEAR VERTICAL SPACING BETWEEN ADJACENT LAYERS OF BARS IN BEAMS OR GIRDERS SHALL NOT BE LESS THAB THAT INDICATED UNDER ITEM (8) ABOVE. FOR CENTER-TO-CENTER OF BARS SPACED CLOSER THAN VALUE "S" IN THE ABOVE TABLE BUT NOT CLOSER IN CLEAR SPACING NOTED UNDER ITEM (8) ABOVE, NOTIFY ENGINEER FOR ADJUSTMENT IN THE SPlice LENGTH AS APPLICABLE.
- CLEAR SPACING BETWEEN BARS BEING DEVELOPED (OR SPLICED) IN WALLS AND/OR SLABS, SHALL NOT BE LESS THAN TWO (2) TIMES BAR DIAMETER (SMALLER OF THE TWO IN A LAP SPlice, IF DISSIMILAR).
- FOR PURPOSES OF DEFINING TOP BARS, THOSE INDICATED ON THE CONTRACT DRAWINGS AS "TOP" BARS SHALL BE DETAILED ACCORDINGLY. OTHERWISE, THOSE BARS WHERE MORE THAN TWELVE (12) INCHES OF FRESH CONCRETE IS CAST BELOW THE DEVELOPMENT LENGTH OR SPlice LENGTH SHALL BE CONSIDERED REQUIRED FOR TOP BARS. EXCEPTION TO THIS SHALL BE WALL HORIZONTAL REINFORCEMENT WHERE ALL BARS SHALL BE CONSIDERED "OTHER THAN TOP BARS".
- CLASS "A" SPlice SHALL BE USED ONLY WHERE SPECIFICALLY REFERENCED ON THE CONTRACT DRAWINGS. IN ALL OTHER CASES THE REQUIRED LAP SPlice LENGTH SHALL BE THAT OF CLASS "B" SPlice.
- WHEN REFERENCED ON THE DRAWINGS, FOR TENSION DEVELOPMENT LENGTH USE CLASS "A" LENGTH FROM THE ABOVE SCHEDULES.

14. TENSION DEVELOPMENT LENGTH OF BARS WITH STANDARD HOOKS IS TABULATED ON THIS DRAWING. SEE DETAIL 1 AND ACCOMPANYING TABLE BELOW.

15. ADDITIONAL REINFORCING BARS SHALL BE PROVIDED AROUND ALL SLAB-ON-GRADE, ELEVATED FLOOR AND WALL OPENINGS IN ACCORDANCE WITH TYPICAL DETAILS, UNLESS NOTED OTHERWISE.

16. THERE SHALL BE NO FIELD CUTTING OF ANY REINFORCEMENT WITHOUT AN EXPRESSED WRITTEN CONSENT OF THE ARCHITECT. FIELD MODIFICATIONS TO APPROVED SHOP DRAWINGS SHALL NOT BE DONE WITHOUT ARCHITECT'S WRITTEN APPROVAL.

17. ALL FIELD BENDING OF REINFORCEMENT SHALL BE DONE COLD AND SHALL BE APPROVED IN WRITING BY THE ARCHITECT. HEATING OF BARS WILL NOT BE PERMITTED. FIELD BENDING OF REINFORCEMENT LARGER THAN #5 IS NOT PERMITTED, UNLESS SPECIFICALLY APPROVED IN WRITING BY THE ARCHITECT OR NOTED ON THE DRAWINGS.

18. ALL WALLS AND STRUCTURAL SLABS SHALL BE REINFORCED. EXCEPT FOR POST-TENSIONED CONCRETE SLABS, IN THE EVENT WALL OR SLAB REINFORCEMENT HAS NOT BEEN INDICATED ON THE DRAWINGS, PROVIDE A MINIMUM OF #4@12" EACH WAY, EACH FACE.

19. NO CONSTRUCTION JOINT SHALL BE MADE WITHOUT ADDITIONAL REINFORCEMENT INSTALLED PERPENDICULAR TO THE PLANE OF THE JOINT. REFER TO TYPICAL DETAILS ON THE CONTRACT DRAWINGS. THE FOLLOWING QUANTITIES ARE MINIMUM IN PERCENT OF CROSS-SECTIONAL AREA OF THE CONCRETE ELEMENT IN THE PLANE OF THE CONSTRUCTION JOINT, UNLESS SPECIFICALLY NOTED OTHERWISE IN SECTIONS AND/OR DETAILS:

STRUCTURAL COMPONENT	LOCATIONS	PERCENTAGE	MIN. TRAVERSE
SLABS	TOP & BOTTOM	0.20%	-
BEAMS	TOP & BOTTOM	0.33%	-
BEAMS	STIRRUPS, EACH SIDE OF VERTICAL JOINT	-	5-#4@8"
COLUMNS	VERTICAL	1.00%	-
COLUMNS	HORIZ. TIES ABOVE & BELOW HORIZ. JOINT	-	5-#4@4"
WALLS	VERTICAL & HORIZ.	-	SEE TYP. DETAILS

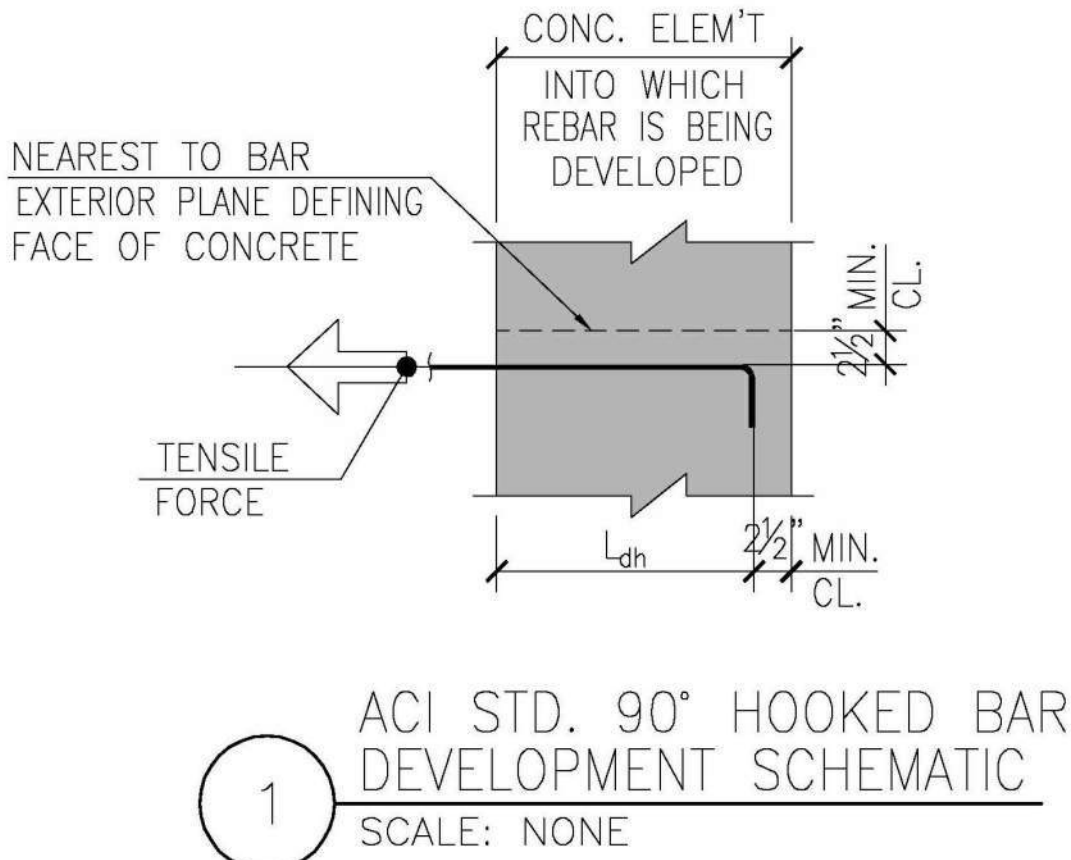
CONCRETE NOTES CONT.

20. CONSTRUCTION AND CONTROL JOINTS IN STRUCTURES SHALL BE PROVIDED IN ACCORDANCE WITH ACI 301 ARTICLE 2.2.2.5 AND AS FOLLOWS:

- FOR CONVENTIONAL CONSTRUCTION OF SLABS AND BEAMS, PLACE VERTICAL CONSTRUCTION JOINTS (BETWEEN SUCCESSIVE PLACEMENTS) WITHIN MIDDLE THIRD OF RESPECTIVE SPANS.
- HORIZONTAL CONSTRUCTION JOINTS IN WALLS SHOULD BE AVOIDED. WHEN REQUIRED FOR CONSTRUCTABILITY, PLACE WITHIN MIDDLE THIRD OF VERTICAL SPAN FOR WALLS SUPPORTED AGAINST HORIZONTAL TRANSLATION AT BOTH THE TOP AND BOTTOM ONLY.
- VERTICAL CONSTRUCTION JOINTS IN WALLS SHALL BE PROVIDED AS PER NOTE 13 UNDER "GENERAL FOUNDATION NOTES" ON DWG. S002, OR WHEREVER CONTROL JOINTS ARE PLACED. LOCATE WALL CONTROL/CONSTRUCTION JOINTS NO FARTHER APART THAN THREE (3) TIMES THE CLEAR WALL HEIGHT OR 25 FEET, WHICHEVER IS LESS, BUT NOT LESS THAN 10 FEET ON-CENTER. FOLLOW TYPICAL DETAILS FRO JOINT GROOVES AT ALL CONSTRUCTION AND CONTROL JOINTS.
- PROVIDE CONTROL JOINTS CONSTRUCTED WITH THE USE OF CHAMFER STRIPS IN ALL UPTURNED BEAMS AND "CRASH" (VEHICULAR BARRIER) WALLS. EXTEND JOINT OVER THE TOP OF UPTURNED BEAM OR "CRASH" WALL, AND FILL WITH SPECIFIED SEALANT. IF NOT SPECIFICALLY INDICATED, SPACE SUCH JOINTS AT 10 FT MAXIMUM ON-CENTER.
- SURFACE OF A MEMBER CROSS-SECTION AT A CONSTRUCTION JOINT SHALL BE INTENTIONALLY ROUGHENED TO A MINIMUM 1/4 INCH AMPITUDE PRIOR TO PLACEMENT OF ADJACENT CONCRETE SEGMENT. PROVIDE RUGHENING IN A FORM OF HORIZONTAL UNDULATIONS FOR VERTICAL JOINTS IN HORIZONTAL MEMBERS.
- FOR CONVENTIONALLY REINFORCED CONCRETE CONSTRUCTION, STRUCTURE ON EITHER SIDE OF JOINT SHALL BE SHORED UNTIL THE AFFECTED MEMBER CONCRETE HAS ATTAINED MINIMUM SPECIFIED 28-DAY COMPRESSIVE STRENGTH.
- FOR POST-TENSIONED CONSTRUCTION, PLACE CONSTRUCTION JOINT SUCH THAT AN INTERMEDIATE STRESSING POINT IS APPROXIMATELY AT A MEMBER MID-DEPTH. GENERALLY, SHORING OF POST-TENSIONED CONCRETE MEMBERS ON EITHER SIDE OF CONSTRUCTION JOINT IS REQUIRED UNTIL THE STRUCTURE IS FULLY STRESSED AND STRESSING RECORD IS APPROVED BY THE ARCHITECT/ENGINEER. EXCEPTIONS TO THIS ARE STAGE CONSTRUCTED AND/OR STAGE STRESSED TRANSFER GIRDERS, WHICH ARE SPECIFICALLY DETAILED.
- IN ALL INSTANCES, LOCATIONS OF ALL CONSTRUCTION JOINTS SHALL BE REVIEWED BY THE ARCHITECT. NO HORIZONTAL CONSTRUCTION JOINTS WILL BE PERMITTED IN BEAMS, SLABS, MATS, FOOTINGS, OR PADS UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS.
- ALL CONSYTRUCTION JOINTS SHALL BE WIRE BRUSHED, CLEANED, MOISTENED AND TREATED WITH A CONCRETE SLURRY OR NEAT CEMENT GROUT IMMEDIATELY PRIOR TO PLACING NEW CONCRETE.

21. ISOLATION JOINTS: ALL SLABS-ON-GRADE SHALL BE ISOLATED FROM ADJACENT WALLS AND BUILDING COLUMNS, PIERS OR PILASTERS, PER TYPICAL DETAILS, UNLESS NOTED OTHERWISE.

22. WHERE HOOKED BARS ARE SHOWN ON THE DRAWINGS, PROVIDE ACI STANDARD 90° HOOKS UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. FOR TENSION DEVELOPMENT LENGTH OF HOOKED BARS REFER TO SCHEDULE AND DETAIL 1 BELOW.



HOOKED BAR DEVELOPMENT TABLE NOTES:

- SIDE COVER (NORMAL TO PLANE OF HOOK) SHALL NOT BE LESS THAN 2d", OTHERWISE INCREASE TABULATED VALUES BY A FACTOR OF 1.4.
- STANDARD HOOKED BAR (ACI 318-14 TAB. 25.3.1) DEVELOPMENT LENGTHS IN SHADED COLUMNS (FOR COATED BARS) MAY BE USED FOR UNCOATED BARS OF THE SAME SIZE, AT CONTRACTOR'S OPTION.

STANDARD HOOKED BAR DEVELOPMENT LENGTH SCHEDULE						
f'c, PSI	4,000		5,000		7,000	
C - COATED U - UNCOATED	C	U	C	U	C	U
#4	8"	7"	8"	6"	6"	6"
#5	10"	9"	9"	8"	8"	7"
#6	12"	10"	11"	9"	9"	8"
#7	14"	12"	13"	11"	11"	9"
#8	16"	14"	15"	12"	12"	10"
#9	18"	15"	17"	14"	14"	12"
#10	21"	17"	18"	15"	16"	13"
#11	23"	19"	20"	17"	17"	15"

23. PLACE ALL SLABS-ON-GRADE AND SLABS-ON-FILL WITH AN APPROVED PATTERN AND SEQUENCE OF CONTROL AND CONSTRUCTION JOINTS TO MINIMIZE SHRINKAGE CRACKING. REFER TO TYPICAL DETAILS, NOTES AND SUGGESTED JOINT ARRANGEMENT SHOWN ON THESE DRAWINGS.

24. PROVIDE WATERSTOPS AT ALL WALL AND MAT CONTRACTION AND CONSTRUCTION JOINTS BELOW EXTERIOR GRADE AS SHOWN ON THE DRAWINGS. REFER TO THE PROJECT SPECIFICATIONS FOR INFORMATION.

25. FOLLOW ARCHITECTURAL DRAWING SHOWING LOCATIONS OF FLOOR DRAINS AND PITCH ALL SLABS TO DRAIN AS INDICATED ON THE DRAWINGS.

26. PROVIDE 3/4" SHAMFER AT EDGES OF ALL CONCRETE ELEMENTS EXPOSED TO VIEW, I.E. TOPS OF RETAINING WALLS, "CRASH" WALLS, EDGES OF BEAMS, GIRDERS, COLUMNS, SLABS, ETC. PROVIDE TYPICAL "DRIP" EDGE DETAIL AT ALL STRUCTURE EDGES EXPOSED TO RAIN OR RAIN RUNOFF ON THE WAY TO DRAINS. REFER TO TYPICAL DETAILS.

27. COMPONENTS WITHIN CONCRETE BUILDING FRAME SHALL BE GIVEN THE FOLLOWING PRIORITY FOR REINFORCEMENT, EMBEDMENTS AND HARDWARE PLACEMENT:

- POST-TENSIONING TENDONS;
- MILD STEEL REINFORCEMENT;
- EMBEDDED STRUCTURAL ITEMS SUCH AS PLATES, INSERRTS, ETC.
- EMBEDDED ARCHITECTURAL ITEMS SUCH AS REGLETS, DRIPS, ETC.
- EMBEDDED CONDUITS AND/OR PIPES.

CONCRETE NOTES CONT.

28. NO HORIZONTAL OR NOMINALLY HORIZONTAL ELECTRICAL CONDUITS AND/OR MECHANICAL/PLUMBING PIPES SHALL BE CAST INTO THE SLAB-ON-GRADE, FOOTINGS, FOUNDATION MATS OR PADS. CASTING OF CONDUITS OR PIPES INCLINED TO PLANE OF SLABS OR FOOTINGS IS POSSIBLE BUT NOT DESIRABLE AND SHOULD BE AVOIDED AS MUCH AS POSSIBLE. CASTING OF CONDUITS OR PIPES INTO CONCRETE FOOTINGS, FOUNDATION MATS OR PADS, OR SLABS-ON-GRADE SET VERTICALLY IS POSSIBLE, BUT MUST BE APPROVED BY THE ARCHITECT IN WRITING FOLLOWING ENGINEERING REVIEW.

29. ELECTRICAL CONDUITS AND MECHANICAL/PLUMBING PIPES CAST INTO ELEVATED SLABS SHALL BE PLACED BETWEEN THE TOP AND BOTTOM LAYERS OF REINFORCEMENT, IN A WAY NOT CONFLICTING WITH THE POST-TENSIONING TENDONS, WHERE APPLICABLE, AND SHALL NOT HAVE AN OUTSIDE DIAMETER GREATER THAN ONE-FIFTH THE SLAB THICKNESS, UNLESS NOTED OTHERWISE. PREFERRED LOCATION OF SUCH FACILITIES WITHIN THE SLAB CROSS-SECTIN IS MID-DEPTH. CROSSOVERS OF CONDUITS AND/OR PIPES ARE UNDESIRABLE. SITUATIONS AFFECTING CONSTRUCTABILITY REQUIRING SUCH FACILITIES SHALL BE REVIEWED BY THE ARCHITECT/ENGINEER FOLLOWING DISCOVERY AND NOTIFICATION BY THE CONTRACTOR. FOR CONDITIONS REQUIRING STRENGTHENING RESULTING FROM ACCOMMODATING CROSSOVERS REFER TO NOTE 36 BELOW. THE CLEAR DISTANCES BETWEEN CONDUITS AND/OR PIPES SHALL NOT BE LESS THAN 1.5 TIMES THE LARGER OF THE TWO ADJACENT DIAMETERS BUT IN NO CASE SHALL A CLEAR SPACING BE LESS THAN TWO (2) INCHES. REFER TO THE PROJECT SPECIFICATIONS FOR MORE INFORMATION.

30. IN SLABS, NO CONDUITS OR PIPES SHALL BE PLACED CLOSER THAN TWELVE (12) INCHES TO A COLUMN FACE OR EDGE OF CONCRETE, UNLESS NOTED OTHERWISE.

31. DOWELS IN FOUNDATION STRUCTURES FOR THE CONSTRUCTION IMMEDIATELY ABOVE HAVE GENERALLY BEEN IDENTIFIED ON THE DARWINGS. IF NO DOWELS ARE INDICATED, PROVIDE AS A MINIMUM NUMBER AND SIZE MATCHING THAT OF RESPECTIVE WALL, PIER, COLUMN, ETC. IMMEDIATELY ABOVE.

32. NO BEAM OR SLAB REINFORCEMENT SHALL BE SLEEVED THROUGH OR OTHERWISE INTERRUPTED, EXCEPT AS SHOWN ON THE STRUCTURAL DRAWINGS.

33. NO ALUMINUM OF ANY TYPE SHALL BE ALLOWED IN THE CONCRETE WORK, UNLESS COATED TO PREVENT ALUMINUM-CONCRETE REACTION AND REVIEWED AND APPROVED BY THE ARCHITECT.

34. DESIGN OF FORMWORK FOR CONCRETE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE DESIGN SHALL INCLUDE ALL FORCES ACTING UPON FORMWORK BEFORE, DURING AND AFTER CONCRETE PLACEMENT. THE CONTRACTOR'S PROFESSIONAL ENGINEER SPECIALIZING IN FORMWORK/SHORING DESIGN AND CURRENTLY LICENSED TO PRACTICE IN THE STATE OF ILLINOIS, SHALL DESIGN ALL FORMWORK AND ASSOCIATED SHORING, BRACING AND ANCHORAGE. SEE ALSO NOTES 36 AND 37 BELOW.

35. EACH SUBCONTRACTOR SHALL PROVIDE SLEEVES IN CONCRETE FORMWORK. SLEEVE LOCATION AND SIZES SHALL BE SUBMITTED TO AND APPROVED BY THE CONTRACTOR DURING COORDINATION.

36. PLACEMENT OF SLEEVES BY ALL TRADES SHALL BE COORDINATED BY THE CONTRACTOR AND SUBMITTED TO THE ARCHITECT IN THE FORM OF COMPOSITE DRAWING SUMMARIZING ALL REQUIRED SLEEVES AND PENETRATION PER GIVEL LEVEL OF THE STRUCTURE FOLLOWING THIS COORDINATION. NO CORING OF THE CONCRETE WORK WILL BE ALLOWED WITHOUT AN EXPRESSED WRITTEN CONSENT OF THE ARCHITECT. TYPICAL SLEEVE PLACEMENT DETAILS AND MAXIMUM SLEEVE SIZES AND SPACING ARE SHOWN ON THE CONTRACT DRAWINGS. PLACEMENT, SPACING OR SIZING OF SLEEVES NOT IN ACCORDANCE WITH THE DRAWINGS MAY RESULT IN RE-SIZING OF MEMBERS, ADDED REINFORCEMENT OR OTHER STRENGTHENING REQUIRING RE-DESIGN. ALL SUCH CHANGES IN THE STRUCTURE DESIGN SHALL BE CONTRACTOR'S RESPONSIBILITY.

37. CONCRETE TESTING WILL BE PERFORMED BY THE OWNER'S TESTING LABORATORY IN ACCORDANCE WITH ACI 301 SUBSECTION 1.6 AND THE PROJECT SPECIFICATIONS. ACCEPTANCE OF CONCRETE WILL BE BASED ON THE RESULTS OF FIELD TESTING AS OUTLINED IN THE SOPECIFICATIONS AS WELL AS ON THE LAB STRENGTH TESTING. EARLY CONCRETE STRENGTH AS REQUIRED FOR STRESSING OR FORM REMOVAL SHALL NOT BE CONSIDERED AN ACCEPTANCE CRITERION. DETERMINATION OF THIS STRENGTH TO ASCERTAIN CONSTRUCTABILITY SHALL BE PART OF THE TESTING SCOPE OF WORK PROVIDED BY THE CONTRACTOR.

38. FORMWORK FOR SLABS AND BEAMS SHALL BE CAMBERED TO COMPENSATE FOR DEFLECTIONS OF SHRING/FORMWORK SYSTEM DUE TO CONSTRUCTION LOADS. THIS CAMBER SHALL BE IN ADDITION TO THAT SHOWN ON THE CONTRACT DRAWINGS, IF ANY.

39. FORMWORK DESIGN FOR POST-TENSIONED STRUCTURES SHALL INCLUDE THE EFFECT OF STRESSING SEQUENCE UPON FORMWORK FRAMING, AND MUST BE COORDINATED WITH POST-TENSIONING SYSTEM MANUFACTURER.

40. THE CONTRACTOR SHALL SUBMIT DETAILED DRAWINGS SHOWING LOCATIONS OF ALL CONSTRUCTION JOINTS, REVEALS, CURBS, SLEEVES, OPENINGS, ETC.

41. SHOP DRAWINGS SHOWING REINFORCING DETAILS INCLUDING STEEL REBAR SIZES, SPACING AND PLACEMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION.

42. THE CONTRACTOR SHALL INCLUDE INTO THE BASE BID CONTRACT THE COST OF SUPPLYING AND INSTALLING 1,000 LBS (INCLUDING 500 LBS EPOXY COATED) OF ADDED REINFORCING BARS AS DIRECTED BY THE ARCHITECT. THE OWNER SHALL BE COMPENSATED FOR THE UNUSED SEALED CRACK LENGTH.

43. THE CONTRACTOR SHALL INCLUDE INTO THE BASE BID CONTRACT THE COST FOR ROUTING AND SEALING OF 400 LINEAL FEET OF CONCRETE CRACKS AS DIRECTED BY THE ARCHITECT. THE OWNER SHALL BE COMPENSATED FOR THE UNUSED SEALED CRACK LENGTH.

44. ITEMS 42 AND 43 ABOVE ARE ALLOWANCE ITEMS. THE CONTRACTOR MUST PROVIDE UNIT PROCES FOR THESE ITEMS, AND WILL BE PAID FOR QUANTITIES ACTUALLY INSTALLED.

45. SEE PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

DES MAN

McHUGH125YEARS1897-EST.

DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE

304 HILL STREET, EAST DUNDEE, IL 60118

STATE OF ILLINOIS
D. YURY SWERIN
661-004519
Professional Engineer
Expiration Date: 11-30-2028

ISSUE
ISSUE FOR PERMIT
06-10-24

NO. DESCRIPTION DATE

DRAWING TITLE:
GENERAL NOTES

DRAWING NO:
S002

SCALE: 3/4" = 1'-0"

DATE: ISSUED FOR PERMIT
PROJECT NO.: 50-24102

DES. Designer RWN. Author CHKD. Checker

POST-TENSIONED CONCRETE NOTES

1. THE POST-TENSIONING SYSTEM SHALL CONSIST OF UNBONDED MONO-STRAND TENDONS ANDD ANCHORS OF FULLY ENCAPSULATED TYPE. STRANDS USED IN POST-TENSIONING SHALL CONFORM TO ASTM A416, STRANDS A416, LOW RELAXATION, 7-WIRE EXTRA-HIGH STRENGTH STRAND WITH A GUARANTEED MINIMUM UPTIMATE STRENGTH OF 270,000 PSI.

2. THE POST-TENSIONING TENDONS SHALL BE COATED WITH CORROSION INHIBITIVE COATING AND WRAPPED IN WATERTIGHT EXTRUDED PLASTIC SHEATH AS SPECIFIED. TENDONS SET IN PLACE READY FOR CONCRETE PLACEMENT, SHALL BE IN SATISFACTORY CONDITION.

3. THE OWNER'S TESTING AGENCY SHALL INSPECT ALL TENDONS IN PLACE PRIOR TO CONCRETE PLACEMENT. ANY DAMAGE TO SHEATHING, STRANDS OR OTHER UNSATISFACTORY CONDITIONS SHALL BE REPAIRED IN ACCORDANCE WITH RECOMMENDATIONS OF PTI FIELD PROCEDURES MANUAL FOR UNBONDED SINGLE STRAND TENDONS IN AGGRESSIVE ENVIRONMENTS. SUBJECT TO CUMULATIVE SPECIFIED LIMIT OF SHEATH DAMAGE PER TENDON, THE REPAIR SHALL BE OBSERVED AND APPROVED BY THE OWNER'S TESTING AGENCY'S REPRESENTATIVE PRIOR TO CONCRETE PLACEMENT.

4. ANCHORAGES FOR POST-TENSIONING TENDONS SHALL BE DESIGNED BY THE SYSTEM MANUFACTURER PER ACI 318 CODE AND COMMENTARY. SAMPLES OF ANCHORAGES IN INDUSTRY-WIDE USE FOR LESS THAN FIVE (5) YEARS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

5. UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS, TENDONS SHALL BE PLACED VERTICAL PROFILE OF SMOOTH PARABOLIC CURVES BETWEEN POINTS DIMENSIONED. HIGH AND LOW POINTS CORRESPOND TO SUPPORT (COLUMN OR BEAM) CENTERLINE AND MID-SPAN RESPECTIVELY. UNLESS OTHERWISE NOTED, ALL DIMENSIONS LOCATING TENDON PROFILES APPLY TO THE CENTER OF GRAVITY OF THE GROUP OF TENDONS. TENDON PLACEMENT SHALL NOT VARY BY MORE THAN 1/4 INCH VERTICALLY FROM THE POINTS DIMENSIONED.

6. LOCATION OF INFLECTION POINT OR TANGENT POINT OF CURVATURE REVERSAL FROM THE CENTERLINE OF SUPPORT SHALL BE L/10 FOR SLABS AND L/20 FOR BEAMS, WHERE "L" IS THE SPAN CENTER-TO-CENTER OF SUPPORTS, UNLESS NOTED OTHERWISE.

7. AT THE TIME OF STRESSING OF THE TENDONS AT NOT EARLIER THAN 48 HOURS AND NOT LATER THAN 72 HOURS AFTER CONCRETE PLACEMENT, POST-TENSIONED CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI. THE CONTRACTOR SHALL SUBSTANTIATE ADEQUATE CONCRETE COMPRESSIVE STRENGTH BEFORE STRESSING TENDONS. IF CONCRETE FAILS TO REACH COMPRESSIVE STRENGTH OF 3,000 PSI IN 72 HOURS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR GUIDELINES OF PARTIAL STRESSING OF TENDONS.

8. THE NORMAL SEQUENCE OF STRESSING FOR ONE-WAY CONSTRUCTION (SLAB, BEAMS) SHALL BE AS FOLLOWS:

- A. SLAB TEMPERATURE TENDONS
- B. SLAB MAIN TENDONS
- C. BEAM TENDONS
- D. GIRDER TENDONS

9. TENDONS MAY BE TEMPORARILY OVERSTRESSED TO A MAXIMUM OF 0.8*Fpu AND LOCKED OFF AT A MAXIMUM STRESS OF 0.7*Fpu, WHERE Fpu IS SPECIFIED TENSILE STRENGTH OF PRESTRESSING STEEL. FRICTION LOSSES SHALL BE BASED ON EXPERIMENTALLY DETERMINED WOBBLE AND CURVATURE COEFFICIENTS FROM TEST CONDUCTED BY THE POST-TENSIONING SYSTEM MANUFACTURER NOT OLDER THAN TWELVE (12) MONTHS FROM COMMENCEMENT OF THIS PROJECT. IN THE EVENT OF THIS DATA NOT BEING AVAILABLE, THE POST-TENSIONING SYSTEM MANUFACTURER SHALL CONDUCT THE NECESSARY TESTING IN THE FIELD DURING THE FIRST OCCURRENCE OF THE STRESSING OPERATINS, UNLESS OTHERWISE ACCEPTABLE TO THE ARCHITECT.

10. THE POST-TENSIONING SYSTEM MANUFACTURER SHALL SUBMIT FRICTION LOSS AND TENDON ELONGATION CALCULATIONS, STRAND MILL CERTIFICATES, ANCHORAGES TEST RESULTS, AS WELL AS WOBBLE AND CURVATURE COEFFICIENT DETERMINATION DATA TO SUBSTANTIATE THE METHOD OF TENDON FINAL EFFECTIVE FORCE CALCULATIONS. WHEN THE LATTER IS NOT AVAILABLE, INITIAL DETERMINATION OF TENDON STRESSING ELONGATIONS FOR THE FIRST ELEVATED CONCRETE PLACEMENT SHALL BE BASED ON WOBBLE FRICTION COEFFICIENT OF K=0.0015 AND CURVATURE COEFFICIENT m=0.07. EXPERIMENTAL DETERMINATION OF THESE COEFFICIENTS AS DESCRIBED IN THE PROJECT SPECIFICATIONS, SHALL TAKE PLACE DURING CONSTRUCTION OF THE FIRST ELEVATED CONCRETE SEGMENT. FOLLOWING ARCHITECT'S REVIEW OF THE RESULTS, TENDON ELONGATIONS FOR ALL SUBSEQUENT PLACEMENTS MUST BE RE-CALCULATED BY THE POST-TENSIONING SYSTEM MANUFACTURER AND RE-SUBMITTED TO THE ARCHITECT FOR RECORD.

11. THE POST-TENSIONING SYSTEM MANUFACTURER SHALL SUBMIT TO THE ARCHITECT FOR APPROVAL ENGINEERED AND CHECKED SHOP DRAWINGS SEALED AND SIGNED BY A PROFESSIONAL ENGINEER CURRENTLY LICENSED TO PRACTICE IN THE STATE OF ILLINOIS, SHOWING, AS A MINIMUM, THE FOLLOWING:

- A. FOR SLABS, TENDON LAYOUT AND DIMENSIONS LOCATING TENDONS IN PLAN, TENDON CURVATURE AT BLOCKOUTS, ALL OPENINGS, ANCHORAGES CHAIR HEIGHTS AND LOCATIONS, ANY PLACEMENT STEEL, IF REQUIRED. EACH TENDON MUST BE UNIQUELY MARKED.
- B. FOR BEAMS/GIRDERS, TENDON PROFILE IN ELEVATION, ALL OPENINGS, ANCHORAGES AND ANY PLACEMENT STEEL.
- C. FOR ALL STRUCTURES, LOCATION OF EACH TENDON, METHOD OF TENDON SUPPORT, DETAILS OF ANCHORAGE ZONE REINFORCEMENT, STRESSING POCKETS, CLOSURES, ETC.
- D. FOR ALL STRUCTURES WITH POST-TENSIONING TENDONS, ALL ANTICIPATED ELONGATIONS AT EACH STRESSING POINT AND SEQUENCE OF STRESSING AT ANCHORAGE CLUSTERS, IF ANY.

12. THE REQUIRED POST-TENSIONING IS QUANTIFIED ON THE DRAWINGS BY EITHER THE NUMBER OF TENDONS (BEAM AND GIRDER TENDONS AND SLAB TEMPERATURE TENDONS) OR EFFECTIVE FORCE (UNIFORMLY SPACED SLAB TENDONS), WHERE FORCE IS CALLED OUT AS Fe = XX.X k/ft. IT SHALL BE INTERPRETED AS AN AVERAGE FINAL EFFECTIVE FORCE ALONG THE STRESSING LENGTH AFTER ALL LOSSES.

13. THE POST-TENSIONING SYSTEM MANUFACTURER SHALL CALCULATE THE EFFECTIVE MINIMUM PRE-STRESSING FORCE PER TENDON AFTER ALL LOSSES ALONG THE STRESSING LENGTH IN ALL SLABS DESIGNED WITH POST-TENSIONING. FOR BEAMS AND GIRDERS, THE EFFECTIVE PRESTRESSING FORCE SHALL BE THE MINIMUM EFFECTIVE PRE-STRESSING FORCE PER TENDON AFTER ALL LOSSES FOR MULTI-SPAN BEAMS/GIRDER. FOR SINGLE SPAN BEAM/GIRDER THE EFFECTIVE PRESTRESSING FORCE PER TENDON SHALL BE THE AVERAGE PRE-STRESSING FORCE PER TENDON ALONG STRESSING LENGTH AFTER ALL LOSSES.

14. EFFECTIVE PRE-STRESSING FORCE CALCULATIONS SHALL BE BASED ON TENDON PROFILES AND PROPERTIES, CONCRETE PROPERTIES, LOCAL AVERAGE AMBIENT RELATIVE HUMIDITY, TIME OF STRESSING AND COORDINATED LOCATIONS OF CONSTRUCTION JOINTS. ALL EFFECTIVE PRE-STRESSING FORCE CALCULATIONS SHALL BE SEALED AND SIGNED BY A PROFESSIONAL ENGINEER CURRENTLY LICENSED TO PRACTICE IN THE STATE OF ILLINOIS AND SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

15. THE CALCULATED FINAL EFFECTIVE FORCE PER TENDON IN SLABS (SEE ITEM 13 ABOVE) SHALL BE COMPARED AGAINST THE DESIGN PRESTRESSING FORCE PER TENDON UNDER ITEM (17.A) BELOW WITH THE LESSER OF THE TWO VALUES USED TO DETERMINE THE NUMBER OF TENDONS IN SLABS.

16. IN BEAMS AND GIRDERS, THE CALCULATED FINAL EFFECTIVE FORCE PER TENDON SHALL BE COMPARED AGAINST THE DESIGN PRESTRESSING FORCE PER TENDON UNDER ITEM (17.B) BELOW. IN THE EVENT THE FORMER IS LESS THAN THE LATTER, THE INDICATED TOTAL NUMBER OF TENDONS IN A BEAM OR GIRDER SHALL BE ADJUSTED UPWARD BY THE RATIO OF THE LARGER VALUE TO THE LESSER. NO REDUCTION IN THE NUMBER OF TENDONS WILL BE ALLOWED IN BEAMS/GIRDERS.

17. THE DESIGN FINAL EFFECTIVE FORCES PER TENDON IN THE STRUCTURE ELEMENT SHALL NOT BE LESS THAT THE FOLLOWING:

- A. FOR SLABS, FINAL EFFECTIVE PRESTRESSING FORCE PER 0.5" DIAMETER TENDON SHALL NOT EXCEED 25 KIPS.
- B. FOR BEAMS AND GIRDERS, THE NUMBER OF 0.5" DIAMETER TENDONS IN EACH REQUIRED IS BASED ON AN EFFECTIVE PRESTERESSING FORCE OF 26.5 KIPS PER TENDON AFTER ALL LOSSES.

POST-TENSIONED CONCRETE NOTES
CONT.

18. THE POST-TENSIONING SYSTEM MANUFACTURER SHALL SUBMIT TOO THE ARCHITECT FOR REVIEW, DETAILED PRESTRESSING PROCEDURED AND SEQUENCES AS WELL AS DETAILED CALCULATIONS TO SUBSTANTIATE THE ABOVE. ALL PRESTRESSING LOSSES SHALL BEACCOUNTED FOR IN CALCULATIONS.

19. COMPLETE POST-TENSIONING PROCEDURE SHALL INCLUDE, AS A MINIMUM, THE FOLLOWING:

- A. JACKING FORCES AND JACKING PRESSURES, INCLUDING BUT NOT LIMITED TO MAXIMUM TEMPORARY JACKING FORCE AND JACKING PRESSURE;
- B. CERTIFIED JACK-GAGE-PUMP COMBO CALIBRATION DATA AND METHOD OF JACK IDENTIFICATION; EACH SUCH COMBO TO BE USED ON THE JOB SHALL BE CALIBRATED NO LATER THAN ONE (1) MONTH PRIOR TO ITS USE;
- C. METHOD OF DETERMINING THE SLACK;
- D. ANTICIPATED ELONGATION OF EACH TENDON AT EACH JACKING POINT;
- E. METHOD OF DETERMINING ANCHOR FORCE OR FORCE REMAINING IN A TENDON AFTER ANCHORAGE;
- F. METHOD OF REMOVING AN EXCESS TENDON LENGTH AFTER ANCHORAGE;
- G. METHOD OF SEALING TENDONS AND CLOSING STRESSING POCKETS;
- H. SAMPLE STRESSING RECORD.

20. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT A CONCRTETE PLACEMENT SEQUENCE FOR APPROVAL. ALL CONSTRUCTION JOINT SHALL BE CLEARLY DEFINED AND DIMENSIONED.

21. ALL TENDONS SHALL BE SECURELY SUPPORTED AT INTERVALS NOT EXCEEDING 48 INCHES ON-CETER, 36 INCHES RECOMMENDED. A MINIMUM OF TWO (2) TENDONS SHALL PASS THROUGH EACH COLUMN IN EACH PRINCIPAL DIRECTION.

22. ALL OPENINGS IN POST-TENSIONED SLABS AND/OR BEAMS SHALL BE FORMED OR SLEEVED. CORING OF POST-TENSIONED BEAMS OR SLABS WILL NOT BE PERMITTED WITHOUT THE WRITTEN CONSENTS OF THE ARCHITECT. ALL OPENINGS AND/OR SLEEVES MUST BE SHOWN ON THE SHOP DRAWINGS. ANY ADDITIONAL OPENINGS NOT SHOWN ON THE APPROVED SHOP DRAWINGS WILL REQUIRE A WRITTEN APPROVAL FROM THE ARCHITECT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ADDITIONAL REINFORCEMENT AROUND ALL OPENINGS IN ACCORDANCE WITH TYPICAL DETAILS OR AS REQUIRED BY SPECIFIC DETAILS ON THE DRAWINGS.

23. THE DESIGN OF THE STRUCTURE DOES NOT INCLUDE CLOSURE STRIPS SOMETIMES REQUIRED FOR CONSTRUCTABILITY. THE ARCHITECT/ENGINEER RESERVES THE RIGHT TO MODIFY DRAWINGS BY PROVIDING CLOSURE STRIP(S) WHEN SPECIFICALLY REQUESTED BY THE CONTRACTOR FOR CONSTRUCTABILITY. COSTS ASSOCIATED WITH SUCH MODIFICATION/REVISION INCLUDING BUT NOT LIMITED TO THE DESIGN OF THE CLOSURE STRIP(S) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

24. MAXIMUM PERMITTED PENETRATION INTO THE POST-TENSIONED CONCRETE SLABS AND BEAMS DUE TO DRILLED-IN POST-INSTALLED INSERTS SHALL NOT EXCEED 3/4" AND 1 1/2" RESPECTIVELY. PROVIDE CAST-IN INSERTS FOR HANGING DUCTS, PIPES OR OTHER MECHANICAL EQUIPMENT WHERE POSSIBLE, AND WHERE THE SPECIFIED MAXIMUM EMBEDMENT OF A DRILLED-IN POST-INSTALLED INSERT WILL NOT PROVIDE SUFFICIENT CAPACITY.

25. PRESTRESSING FORCE TRANSFERRED TO THE STRUCTURE (DERIVED FROM THE ACTUAL TENDON ELONGATIONS PER THE STRESSING RECORD) SHALL BE APPROVED BY THE ARCHITECT BEFORE TERMINATION OF ANY TENDN ENDS OR CONCRETING THE ADJACENT PART, OR INTRODUCING A CONTINUITY OF THE STRUCTURE THAT WOULD PREVENT ANY REMEDIAL WORK TO BE PERFORMED ON CONCRETE OR TENDONS IDENTIFIED BY THE RECORD.

26. AFTER ACCEPTANCE AND APPROVAL OF STRESSING RECORDS BY THE ARCHITECT, FOR TENDONS TO TERMINATE CUT OFF TENDON TAILS ABOUT 1/2" INSIDE THE POCKET AS SPECIFIED. SEAL TENDON TAILS WITH RUST INHIBITING TREATMENT AND POSITIVELY CONNECTED GASKETED PLASTIC CAP, AND DRY-PACK ALL POST-TENSIONING POCKETS WITH NON-SHRINK, NON-FERROUS GROUT AS SPECIFIED. THE FINAL COLOR AND FINISH OF THE POCKET INFILL IN EXPOSED AREAS SHALL MATCH THE ADJACENT CAST-IN-PLACE CONCRETE AS VERIFIED AND APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

27. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS FOR ALL POST-TENSIONED CONCRETE WORK.

STRUCTURAL MASONRY NOTES

1. ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCOORDANCE WITH THE SPECIFICATION FOR MASONRY STRUCTURES ACI 530.1-05.

- 2. MATERIALS:
 - A. LOAD-BEARING CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90, TYPE 1 WITH A MINIMUM UNIT COMPRESSIVE STRENGTH OF 2,150 PSI ON THE NET SECTION.
 - B. BUILDING BRICK OR FACE BRICK SHALL CONFORM TO ASTM C216 GRADE SW WITH A MINIMUM UNIT COMPRESSIVE STRENGTH OF 3,000 PSI.
 - C. MORTAR AND GROUT:
 - a. MORTAR FOR REINFORCED AND UNREINFORCED MASONRY SHALL CONFORM TO ASTM C270, PORTLAND-LEME, TYPE N BY PROPORTION, TO ACHIEVE A MINIMUM COMPRESSIVE STRENGTH OF 1,000 PSI.
 - b. GROUT SHALL CONFORM TO ASTM C476, TO ACHIEVE A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI.
 - D. MASONRY: COMPRESSIVE STRENGTH fm OF ANY MASONRY SHALL BE DETERMINED BASED ON THE STRENGTH OF THE UNITS AND SHALL NOT BE LESS THAN 1,500 PSI.
 - E. STEEL REINFORCING: VERTICAL AND HORIZONTAL REBAR AND SHOP FABRICATED STIRRUPS WHERE APPLICABLE FOR REINFORCED MASONRY SHALL CONFORM TO ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE. MASONRY JOINT LADDER OR TRUSS REINFORCEMENT SHALL CONFORM TO ASTM A951, HOT DIP GALVANIZED, UNLESS NOTED OTHERWISE IN THE PROJECT SPECIFICATIONS.

3. VERTICAL CELLS TO BE FILLED WITH GROUT SHALL BE ALIGNED TO PROVIDE A CONTINUOUS, UNOBSTRUCTED OPENING OF THE DIMENSIONS SHOWN IN TYPICAL DETAILS ON THESE DRAWINGS. CELLS WHICH CONTAIN VERTICAL REINFORCEMENT SHALL HAVE A MINIMUM OF 2"x2" CLEAR OPENING.

4. GROUT FOR FILLING REINFORCED OR UNREINFORCED CELLS, COURSES OR BOND BEAMS OF THE CONCRETE MASONRY SHALL BE FLUID WITH A 9" TO 11" SLUMP, AND PLACED BY ACCEPTABLE PRESSURE GROUTING PROCEDURES.

5. GROUT FOR FILLING REINFORCED OR UNREINFORCED CELLS SHALL BE PLACED IN MAXIMUM FOUR (4) FOOT LIFTS AND CONSOLIDATED IN PLACE BY VIBRATION OR OTHER ACCEPTABLE METHODS WHICH INSURE COMPLETE FILLING OF THE CELLS. ALL CELLS CONTAINING REINFORCING BARS AND/OR ANCHOR BOLTS SHALL BE FULLY GROUTED.

6. HOLLOW UNITS SHALL BE LAID WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS EXCEPT THAT WEBS SHALL ALSO BE BEDDED WHERE THEY ARE ADJACENT TO CELLS TO BE REINFORCED AND/OR FILLED WITH GROUT. IN THE STARTING COURSE ON FOOTINGS AND SOLID FOUNDATION WALLS AND IN NON-REINFORCED OR GROUTED PIERS, PILASTERS AND COLUMNS.

7. SOILD MASONRY UNITS WHERE REQUIRED OR OTHERWISE SELECTED BY THE CONTRACTOR FOR USE, SHALL BE LAID WITH FULL HEAD AND BED JOINTS.

8. POINTS OF BEARING SHALL BE ON TWO (2) COURSES OF SOLID MASONRY OR TWO (2) COURSES OF HOLLOW MASONRY GROUTED SOLID.

9. ALL CUTTING AND FITTING OF MASONRY, INCLUDING THAT REQUIRED TO ACCOMMODATE THE WORK OF OTHER TRADES, SHALL BE DONE WITH MASONRY SAWS.

10. CHASES SHALL BE BUILT INTO WALLS, NOT CUT IN. CHASES SHALL BE PLUMB AND SHALL BE A MINIMUM OF ONE (1) MASONRY UNIT LENGTH FROM JAMBS OR WALL OPENINGS. NO CHASES OTHER THAN THOSE SHOWN ON THE DRAWINGS SHALL BE CONSTRUCTED WITHOUT PRIOR REVIEW OF THE ARCHITECT.

- 11. REINFORCED MASONRY:
 - A. ALL WALLS AND PIERS SHALL HAVE HORIZONTAL JOINT REINFORCEMENT AT 16" ON-CENTER CONSISTING OF TWO (2) 9-GAGE RODS WITH 9-GAGE CROSS TIES AT 16" ON-CENTER, GALVANIZED WITH MINIMUM 1.3 OZ/FT² ZINC COATING, ASTM A153 CLASS B-3, OR COMPOSITE OR CAVITY WALLS PROVIDE TWO (2) RODS IN C.M.U. AND ONE (1) ROD IN BUILDING BRICK OR FACE BRICK.
 - B. THE MINIMUM CLEAR DISTANCE BETWEEN PARALLEL BARS EXCEPT IN COLUMN SHALL BE EQUAL TO THE NOMINAL BAR DIAMETER, BUT SHALL NOT BE LESS THAN 1 INCH.
 - C. VERTICAL REINFORCEMENT SHALL BE LAP SPICED A MINIMUM OF 48 TIME BAR DIAMETER (NOT LESS THAN 2'-0") WHERE REQUIRED.
 - D. ALL BASR SHALL BE COMPLETELY EMBEDDED IN MORTAR OR GROUT. ALL BARS SHALL HAVE A CLEAR COVE TO FACE OF MASONRY NOT LESS THAN:
 - 2" - FOR BARS LARGER THAN #5;
 - 1 1/2" - FOR #5 BARS AND SMALLER.

12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE TEMPORARY BRACING AS REQUIRED DURING CONSTRUCTION TO WITHSTAND APPLICABLE LATERAL LOADS AND THE PRESSURES OF FLUID GROUT.

13. CONCRETE MASONRY SHALL BE PROTECTED FROM ABSORBING MOISTURE AND WATER WHILE AT THE PLANT, DURING SHIPMENT AND AT THE SITE DURING CONSTRUCTION.

14. ANCHORS, WALL PLUGS, ACCESSORIES AND OTHER ITEMS TO BE BUILT IN SHALL BE INSTALLED AS THE MASONRY WORK PROGRESSES. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS.

15. FOR LINTEL NOTES AND SCHEDULE SEE DRAWING S003.

16. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

ANCHORAGE TO HARDENED CONCRETE NOTES

1. ANCHORAGE TO HARDENED CONCRETE SHALL INCLUDE MECHANICAL AND ADHESIVE ANCHORS OF TYPE, SIZE, NUMBER, AND SPACING AS SHOWN ON THE DRAWINGS, WHERE REQUIRED BY THE MANUFACTURERS' WRITTEN INSTRUCTIONS. PRE-DRILLED HOLES FOR SUCH ANCHORS SHALL BE CLEANED IN STRICT ACCORDANCE WITH MANUFACTURERS' REQUIREMENTS AND RESPECTIVE APPROVED ICC-ES REPORTS. ALL PREPARED HOLES SHALL BE OBSERVED BY THE OWNER'S TESTING AGENCY.

2. INSPECTION AND TESTING SHALL BE PROVIDED IN ACCORDANCE WITH THESE NOTES AND THE ICC-ES REPORTS FOR RESPECTIVE ANCHORS.

3. WHERE A SPECIFIC TYPE OF ANCHOR IS NOTED ON THE DRAWINGS, SUBSTITUTION FOR A DIFFERENT ANCHOR TYPE (INCLUDING SUBSTITUTING FOR A CAST-IN ANCHOR) SHALL NOT BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT.

4. ANY POST-INSTALLED ANCHORAGE SYSTEM REGARDLESS OF THE TYPE AND THE NUMBER OF ANCHORS, IF NOT SHOWN ON THE DRAWINGS, SHALL NOT BE PERMITTED WITHOUT A REVIEW AND APPROVAL BY THE ARCHITECT.

5. NO STEEL REINFORCEMENT OF ANY KINDG SHALL BE DAMAGED DURING ANCHOR INSTALLATION. ANY AND ALL SUCH OCCURRENCES SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT WHO WILL PROVIDE SPECIFIC DISPOSITION AND ISTRUCTIONS ON FURTHER ACTION.

6. REFER TO THE PROJECT SPECIFICATIONS FOR POST-INSTALLED ANCHORS REQUIREMENTS AND APPROVED PRODUCTS. SEE ADDITIONAL NOTES BELOW REGARDING SPECIFIC REQUIREMENTS TO ANCHORS SMD ANCHOR GROUPS.

MECHANICAL ANCHORS

1. UNLESS NOTED OTHERWISE ON THE DRAWINGS, MINIMUM EFFECTIVE ANCHOR EMBEDMENT DEPTH SHALL BE NOT LESS THAN 10 TIMES THE ANCHOR DIAMETER. MINIMUM EDGE DISTANCE TO THE NEAREST CONCRETE EDGE SHALL BE NOT LESS THAN 15 TIMES THE ANCHOR DIAMETER, AND MINIMUM ANCHOR SPACING SHALL BE NOT LESS THAN 12 TIMES THE ANCHOR DIAMETER.

2. STAINLESS STEEL ANCHORS SHALL BE USED AT ALL LOCATIONS SUBJECT TO WEATHER IN SERVICE AND WHERE SPECIFICALLY INDICATED ON THE DRAWINGS.

3. DEFECTIVE OR ABANDONED HOLES PREVIOUSLY ATTEMPTED FOR POST-INSTALLED ANCHORS, SHALL BE FILLED WITH NON-SHRINK NON-METALLIC GROUT OR AN INJECTABLE ADHESIVE. IN EITHER INSTANCE, THE INFILL MATERIAL SHALL MATCH THE SURROUNDING CONCRETE COMPRESSIVE STRENGTH. NOTIFY THE ARCHITECT OF ANY AND ALL DEFECTIVE OR ABANDONED PRE-DRILLED HOLES IN WALLS, BEAMS, SLABS AND COLUMNS. SEKLECTED MEMBERS MAY REQUIRE INFILL MATERIAL WITH A COMPRESSIVE MODULUS OF ELASTICITY MATCHING THAT OF THE SURROUNDING CONCRETE.

ADHESIVE ANCHORS

1. THE ADHESIVE ANCHOR SYSTEM USED FOR POST-INSTALLED ANCHORAGE TO CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 355.4 "ACCEPTANCE CRITERIA FOR QUALIFICATION OF POST-INSTALLED ADHESIVE ANCHORS IN CONCRETE, AND COMMENTARY".

2. UNLESS NOTED OTHERWISE, ANCHORS USED WITH ADHESIVE ANCHORING SYSTEMS SHALL BE AS NOTED ON THE DRAWINGS. WHEN ANCHOR STEEL IS NOT NOTED, PROVIDE ANCHORS CONFORMING TO ASTM A193 GRADE B7 OR EQUIVALENT. FOR STAINLESS STEEL ANCHORS PROVIDE STEEL CONFORMING TO AISI TYPE 304 OR TYPE 316. POST-INSTALLED REINFORCING DOWELS SHALL CONFORM TO ASTM A615 GRADE 60 UNLESS NOTED OTHERWISE.

3. UNLESS NOTED OTHERWISE ON THE DARWINGS, MINIMUM EFFECTIVE ANCHOR EMBEDMENT DEPTH SHALL BE 20 TIMES THE ANCHOR OR BAR DIAMETER, MINIMUM DISTANCE TO THE NEAREST CONCRETE EDGE SHALL BE 15 TIMES THE ANCHOR OR BAR DIAMETER, AND MINIMUM SPACING SHALL BE 12 TIMES THE ANCHOR OR BAR DIAMETER.

4. HOLES SHALL BE DRILLED WITH THE EQUIPMENT APPROVED OR RECOMMENDED BY THE ANCHORAGE SYSTEM MANUFACTURER. CORE DRILLING OF HOLES FORMPOST-INSTALLED ANCHORAGE SHALL NOT BE PERMITTED.

5. ANCHOR HOLES SHALL BE THOROUGHLY CLEANED OF ANY LOOSE PARTICLES AND/OR DUST AS REQUIRED BY THE ADHESIVE SYSTEM MANUFACTURER PRIOR TO INJECTION OF ANY ADHESIVE.

6. TWO-PART ADHESIVES SHALL BE MIXED, APPLIED AND CURED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS IN THE ICC-ES REPORT.

7. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

DESMAN

McHUGH125YEARS-EST. 1897-

DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE

304 HILL STREET, EAST DUNDEE, IL 60118

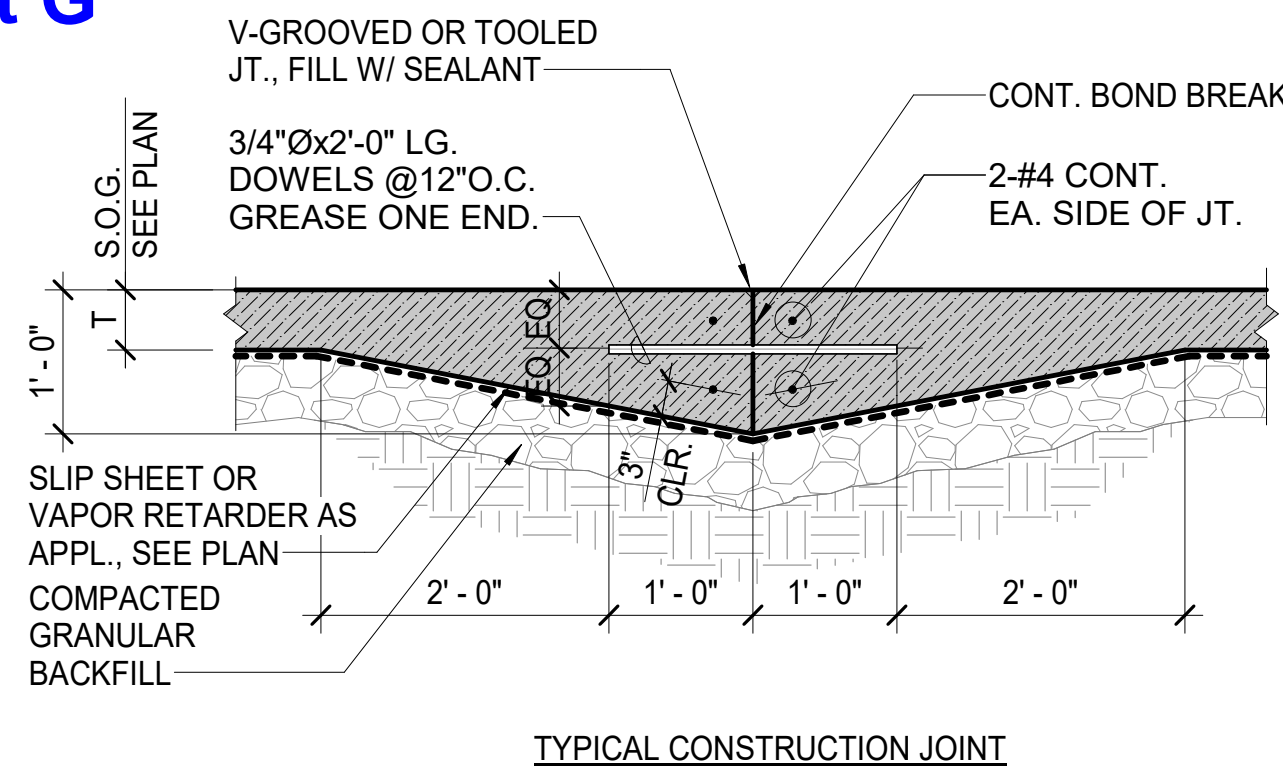
STATE OF ILLINOIS
D. YURY SWETIN
661-004519
Professional Engineer
Expiration Date 11-30-2024

ISSUE

ISSUE FOR PERMIT06-10-24

NO.	DESCRIPTION	DATE
DRAWING TITLE: GENERAL NOTES		
DRAWING NO: S003		
SCALE: As indicated		
DATE: ISSUED FOR PERMIT 06-10-24		
PROJECT NO: 50-24102		
DES. Designer	RWN. Author	CHKD. Checker

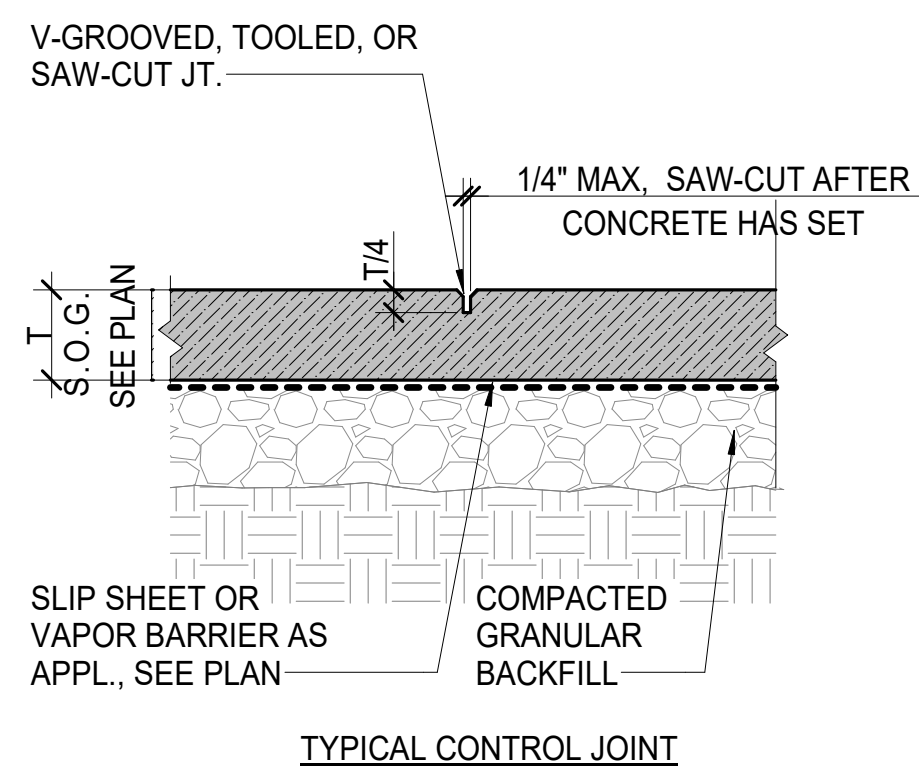
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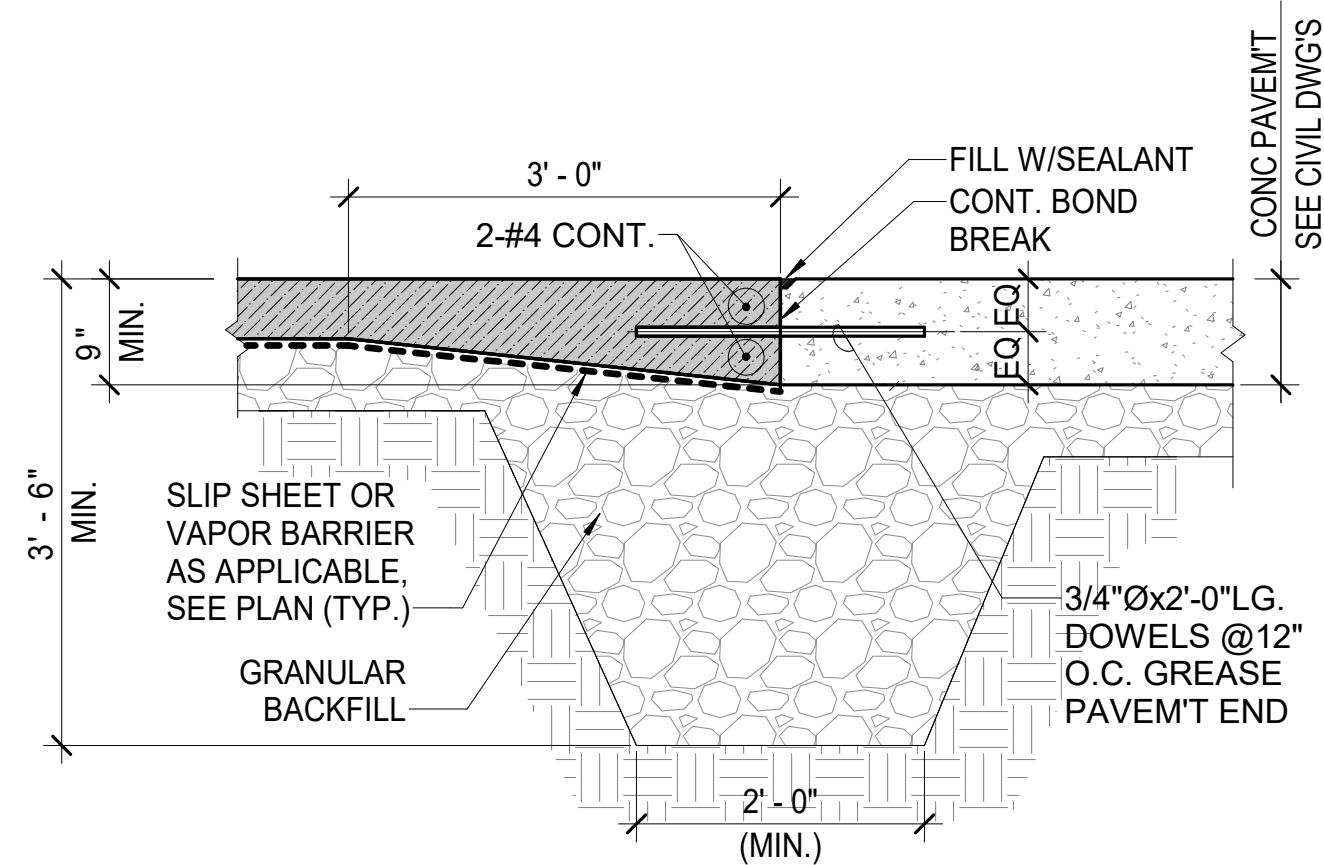
NOTES:
CONSTRUCTION AND CONTROL JOINTS ARE INTERCHANGEABLE AT CONTRACTOR'S OPTION. JOINTS LOCATED AT COLUMN CENTERLINES ARE CONSIDERED OPTIMUM; HOWEVER, IT IS INTENDED THAT THE CONTRACTOR LAYOUT A PATTERN THAT WILL RESULT IN JOINTS AT XX'-X\"/>

SLAB-ON-GRADE JOINT DETAILS FOR S.O.G. REINFORCED W/STRUCTURAL FIBERS ONLY

1
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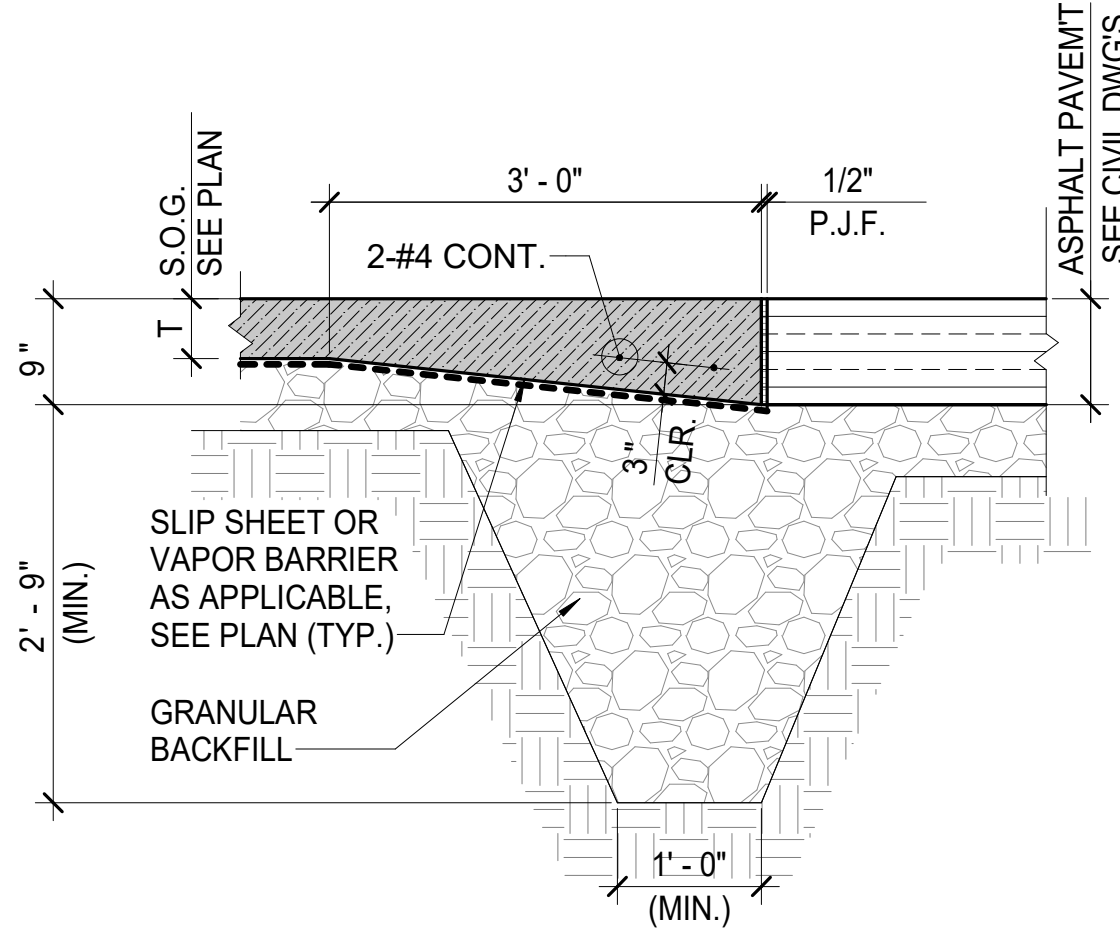


TYPICAL CONTROL JOINT



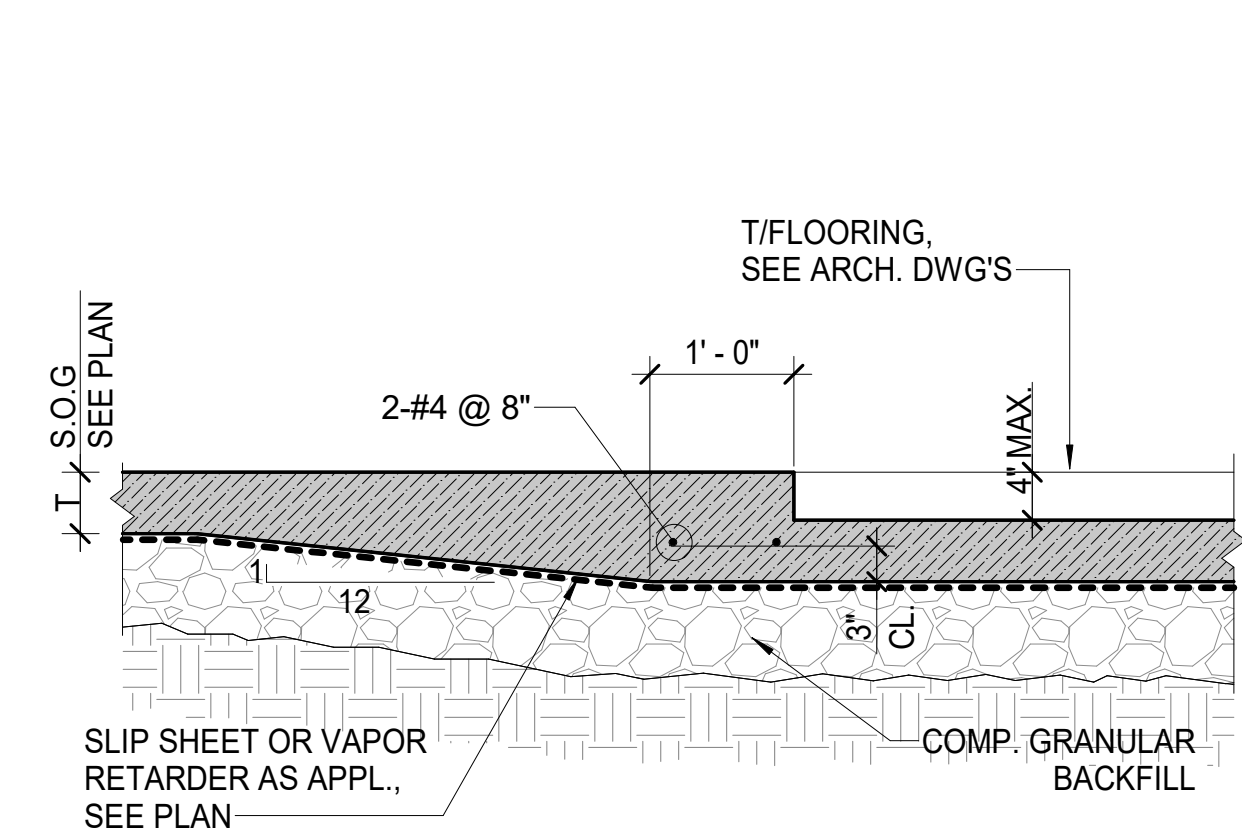
SLAB-ON-GRADE TO CONCRETE PAVEM'T INTERFACE DETAIL

5
S004 SCALE: N.T.S.



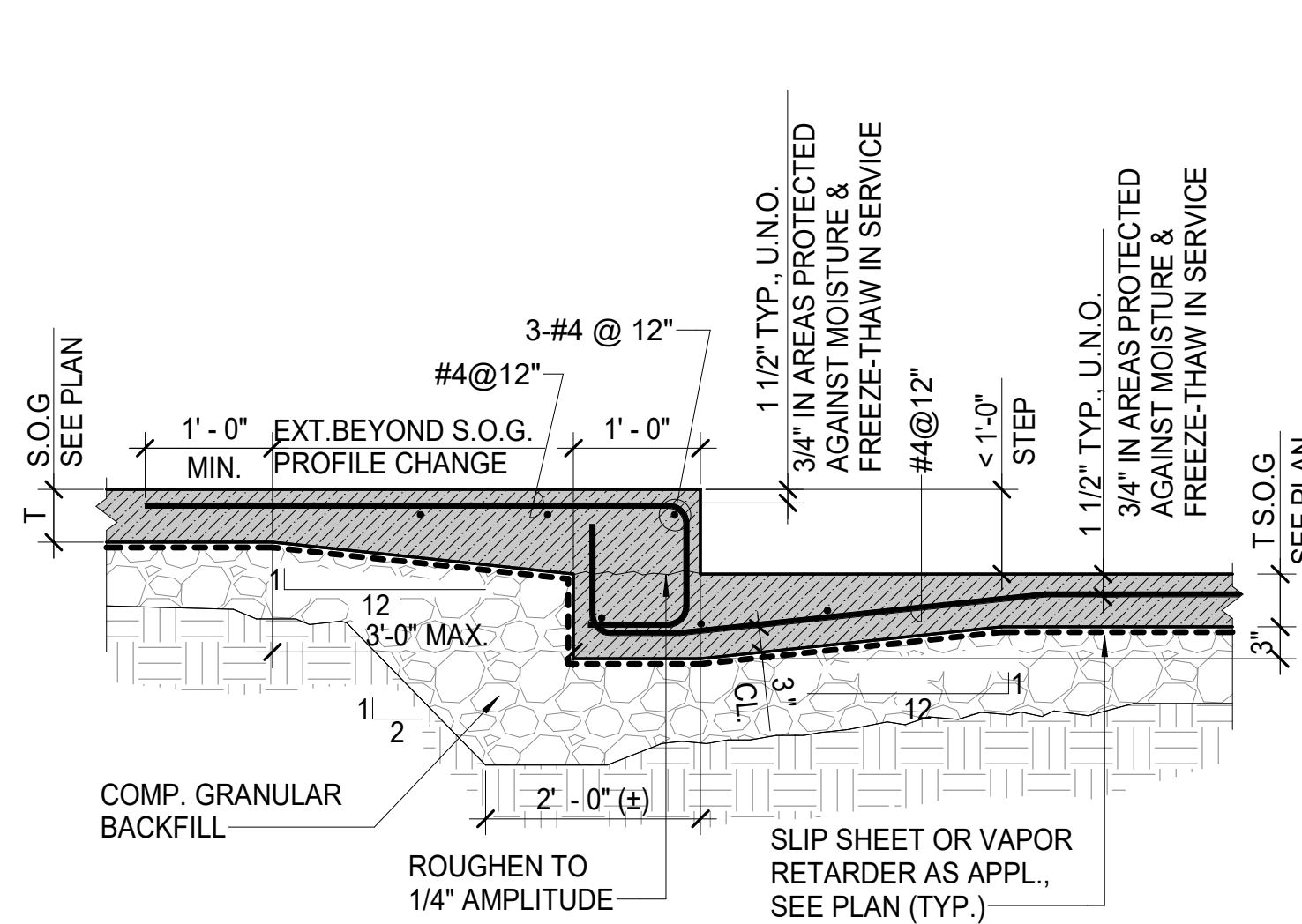
SLAB-ON-GRADE TO ASPHALT PAVEM'T INTERFACE DETAIL

6
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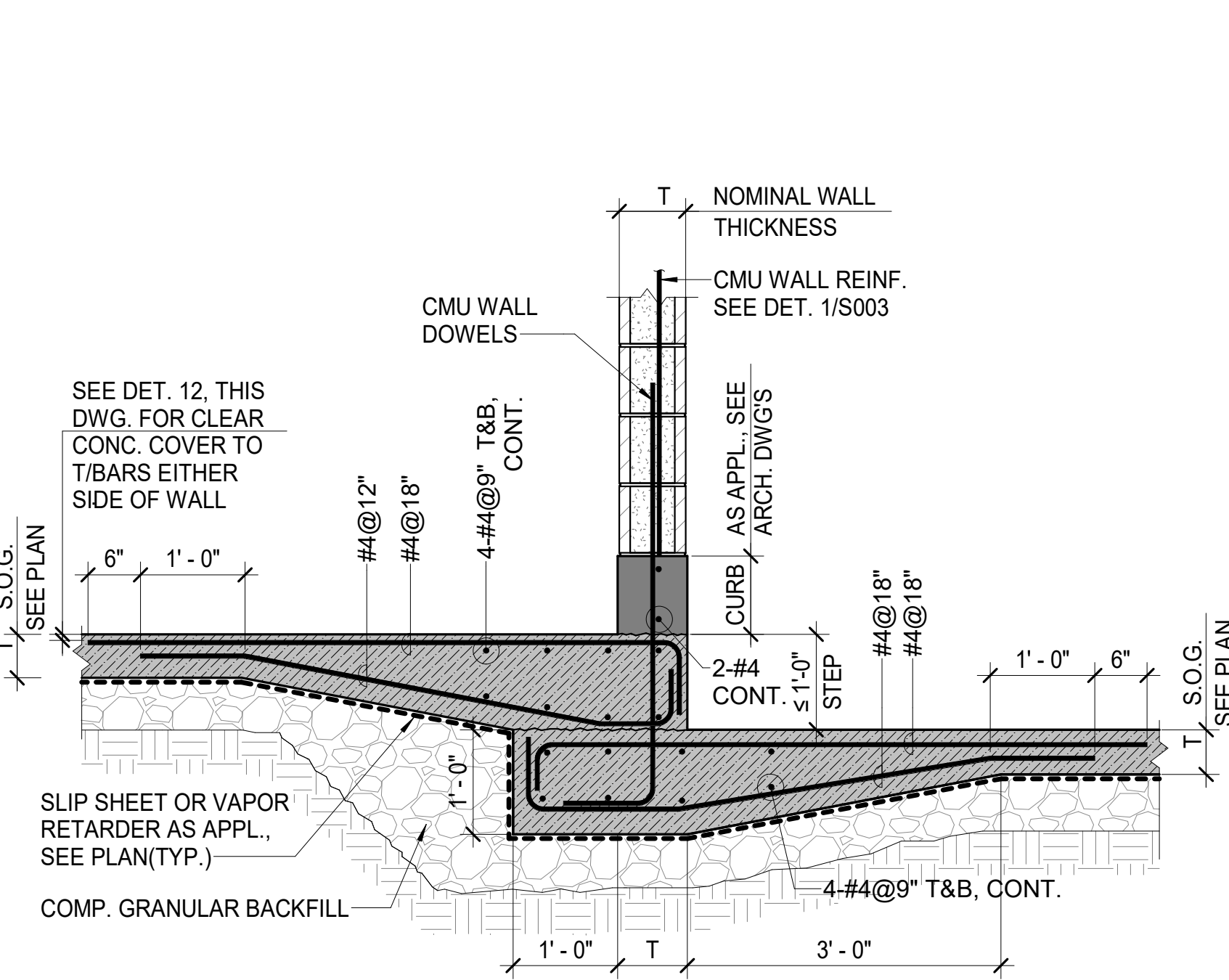
TYP. SLAB-ON-GRADE DEPRESSION DETAIL FOR DEPTH ≤ 4\"/>

10
S004 SCALE: N.T.S.



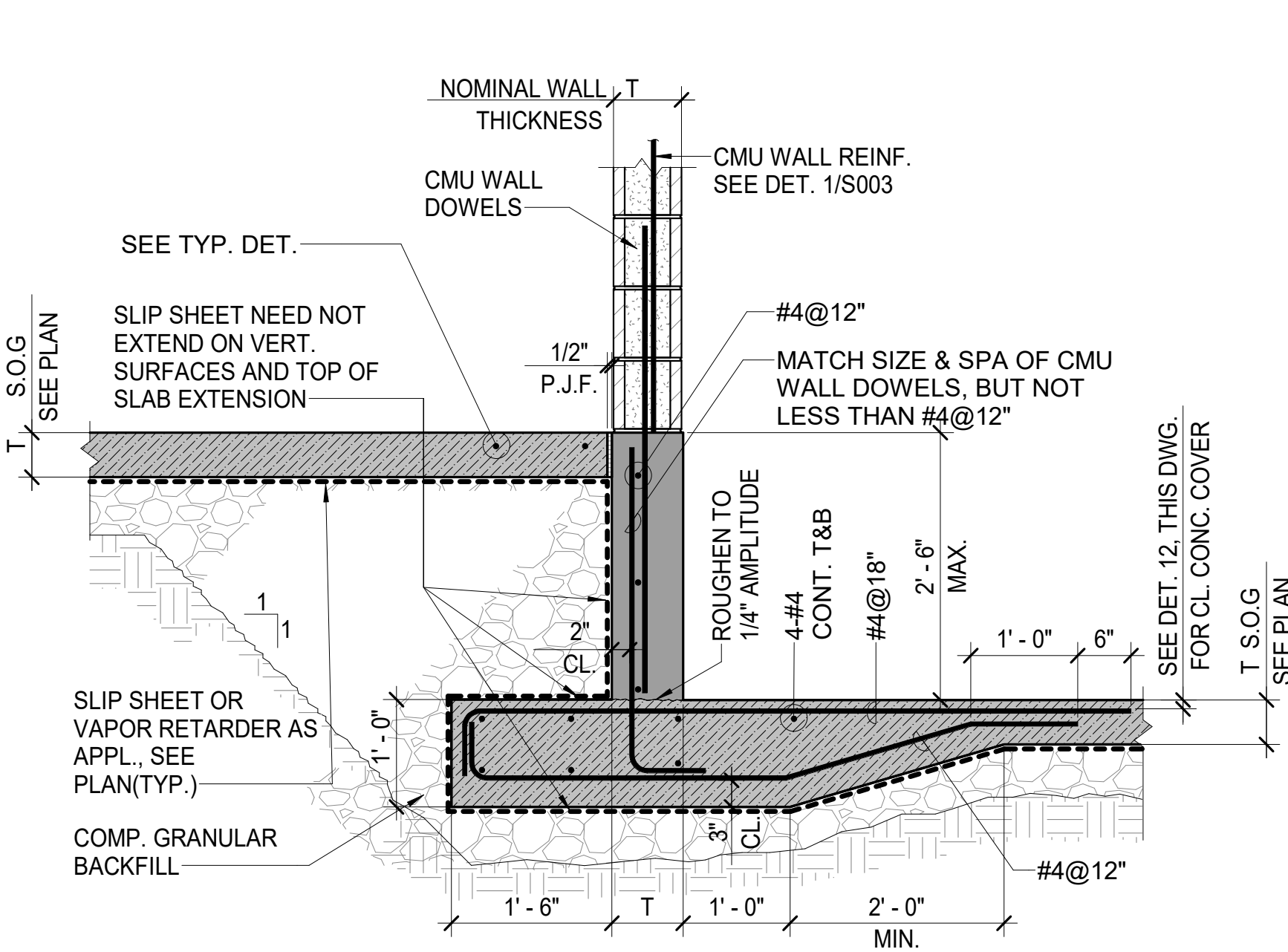
TYP. SLAB-ON-GRADE STEP DETAIL FOR DEPTH ≤ 1'-0\"/>

11
S004 SCALE: N.T.S.



TYP. SLAB-ON-GRADE DEPRESSION DETAIL FOR DEPTH ≤ 1'-0\"/>

14
S004 SCALE: N.T.S.

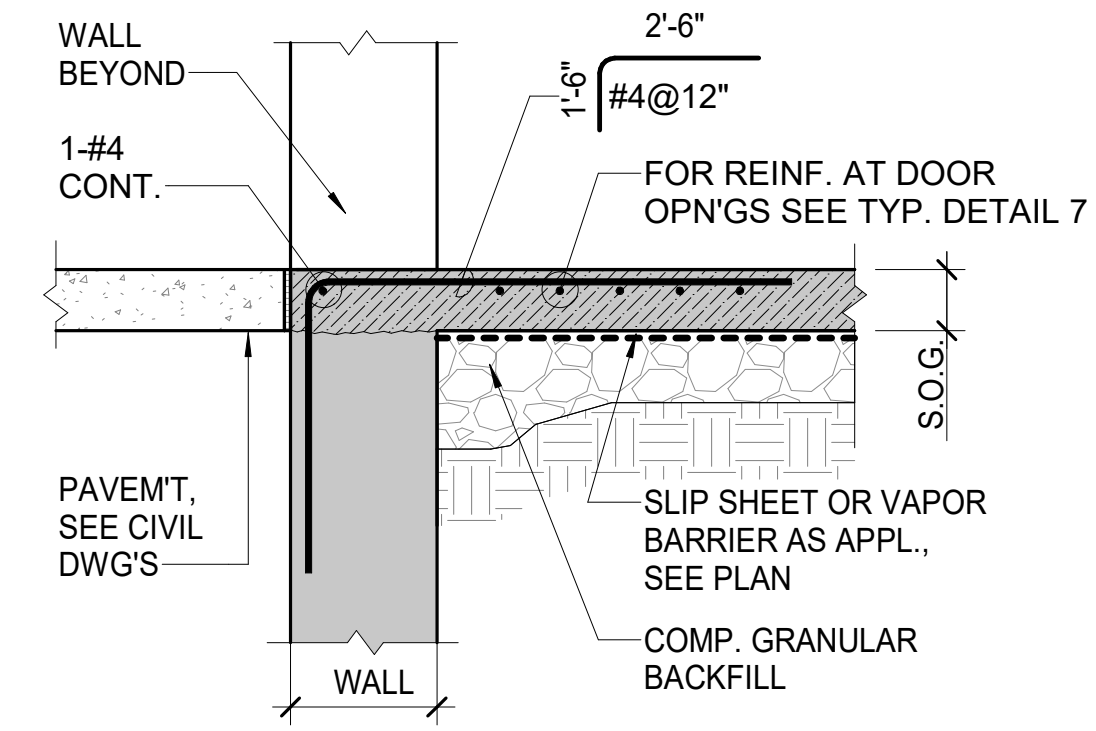


TYP. SLAB-ON-GRADE STEP DETAIL FOR DEPTH ≤ 2'-6\"/>

15
S004 SCALE: N.T.S.

TYP. SECTION SLAB-ON-GRADE AT FOUNDATION OR RETAINING WALL

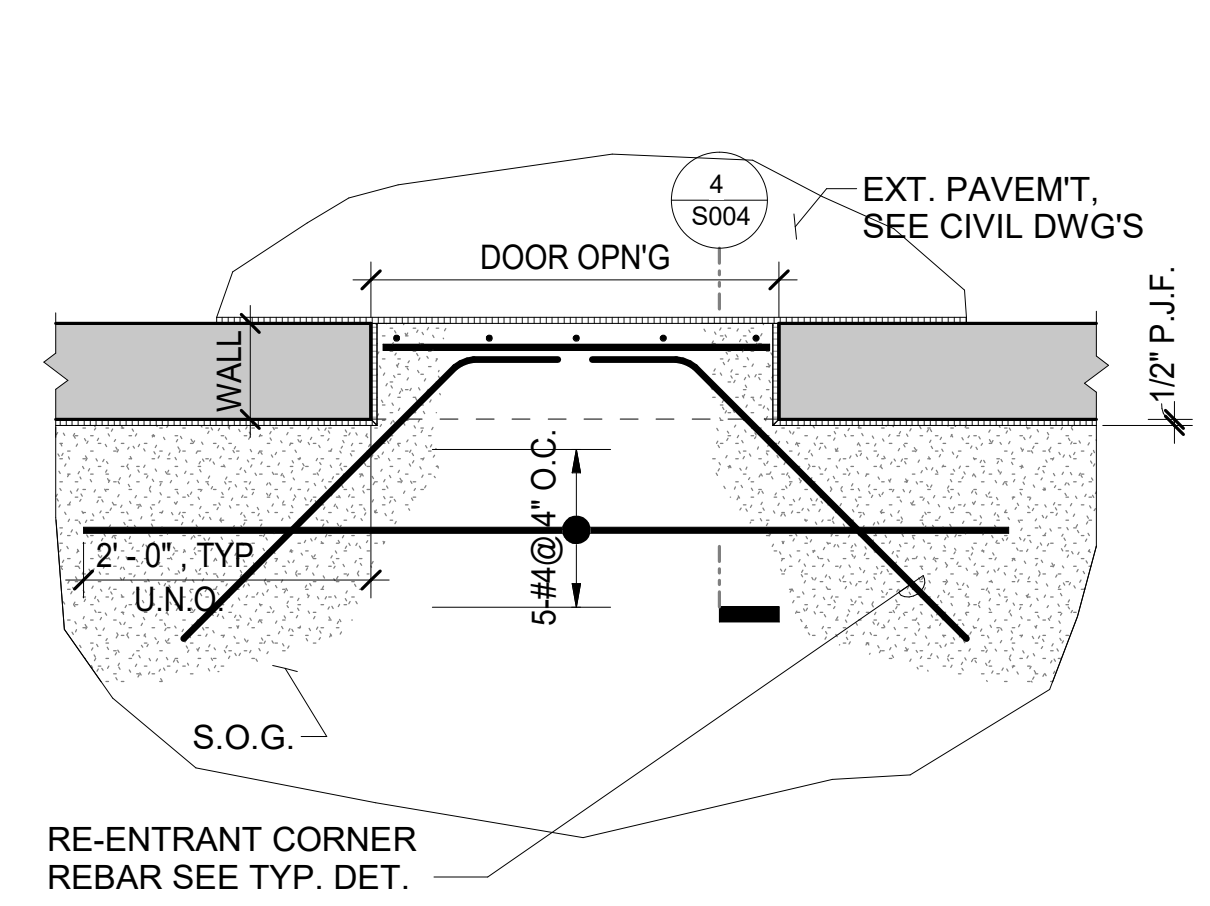
3
S004 SCALE: N.T.S.



NOTE:
PROVIDE CONTINUOUS SEALANT ALONG ALL SLAB TO WALL JOINTS.

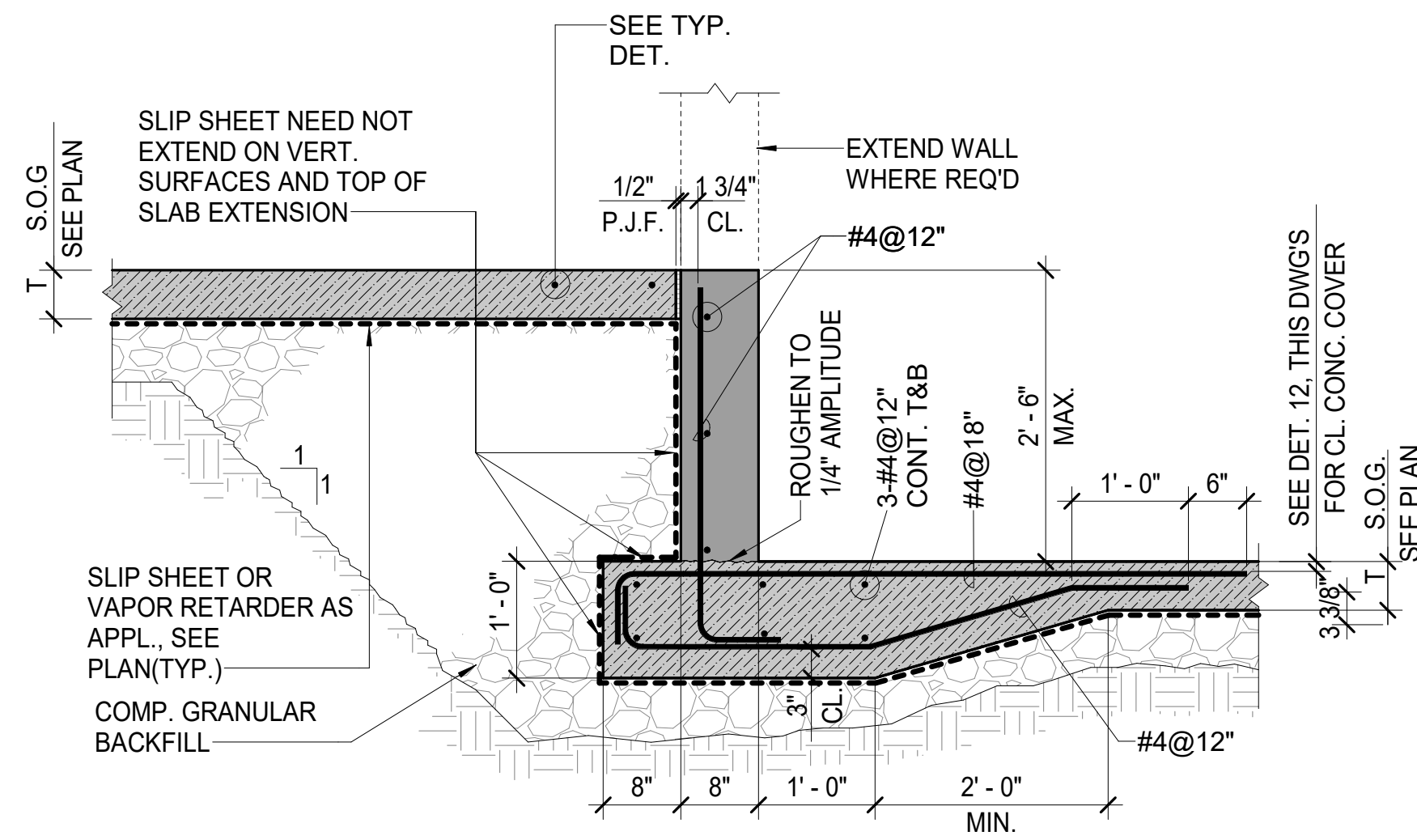
TYP. SECTION -SLAB-ON-GRADE AT FOUNDATION OR RETAINING WALL AT DOOR OPENING

4
S004 SCALE: N.T.S.



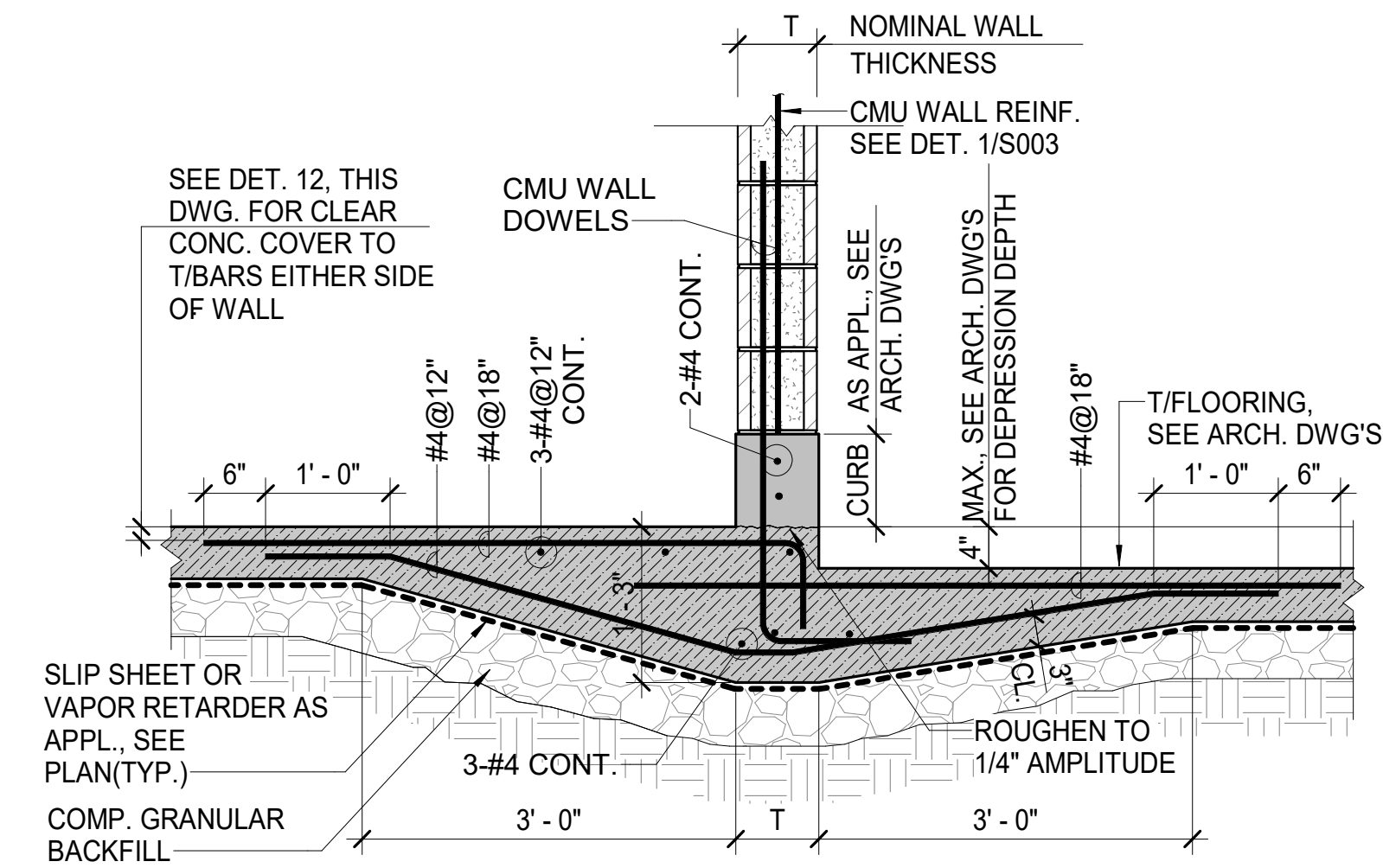
TYP. SLAB-ON-GRADE-FOUNDATION-WALL INTERFACE DETAIL AT DOOR OPENING

9
S004 SCALE: N.T.S.



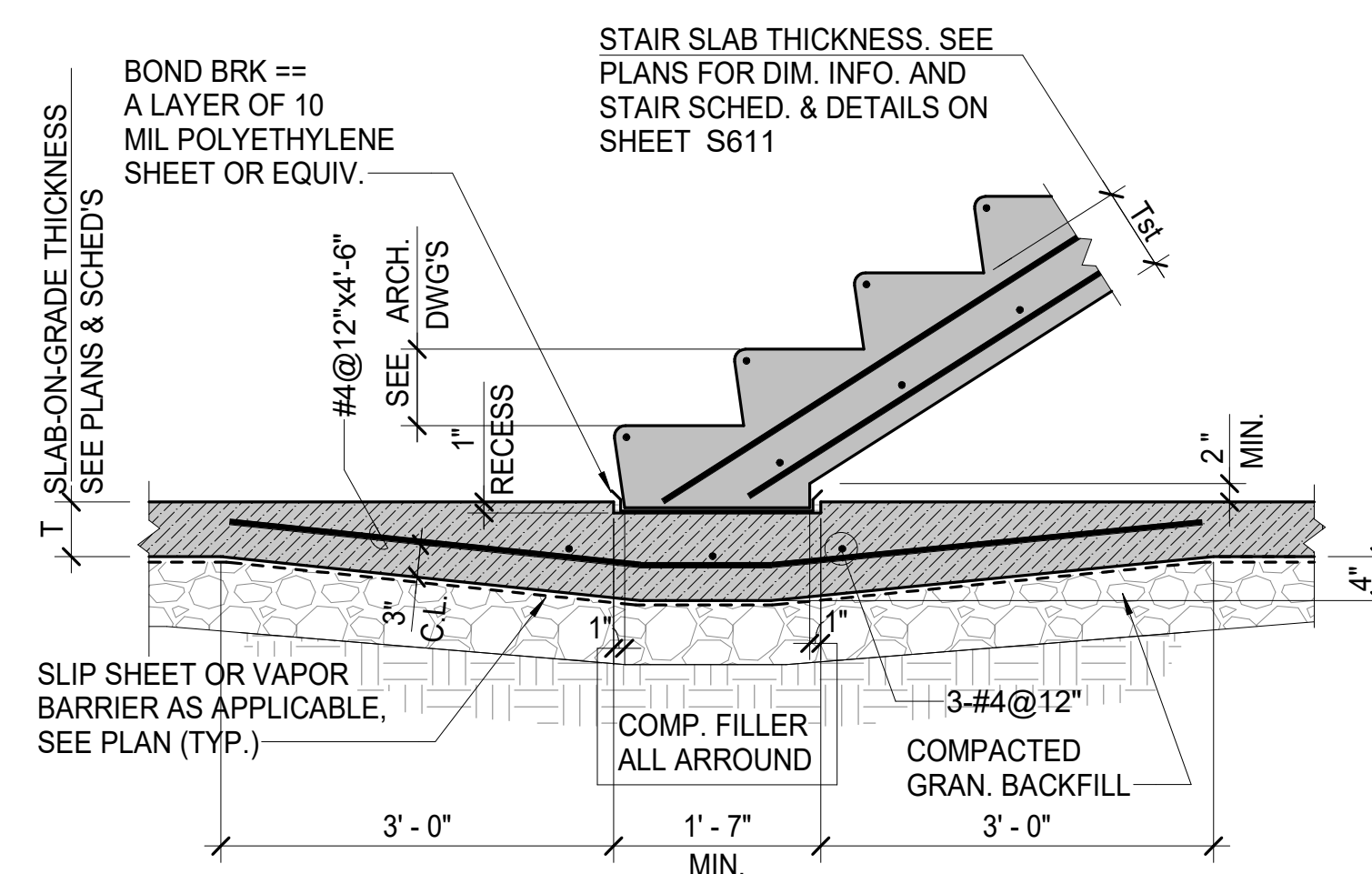
TYP. SLAB-ON-GRADE STEP DETAIL FOR DEPTH ≤ 2'-6\"/>

12
S004 SCALE: N.T.S.



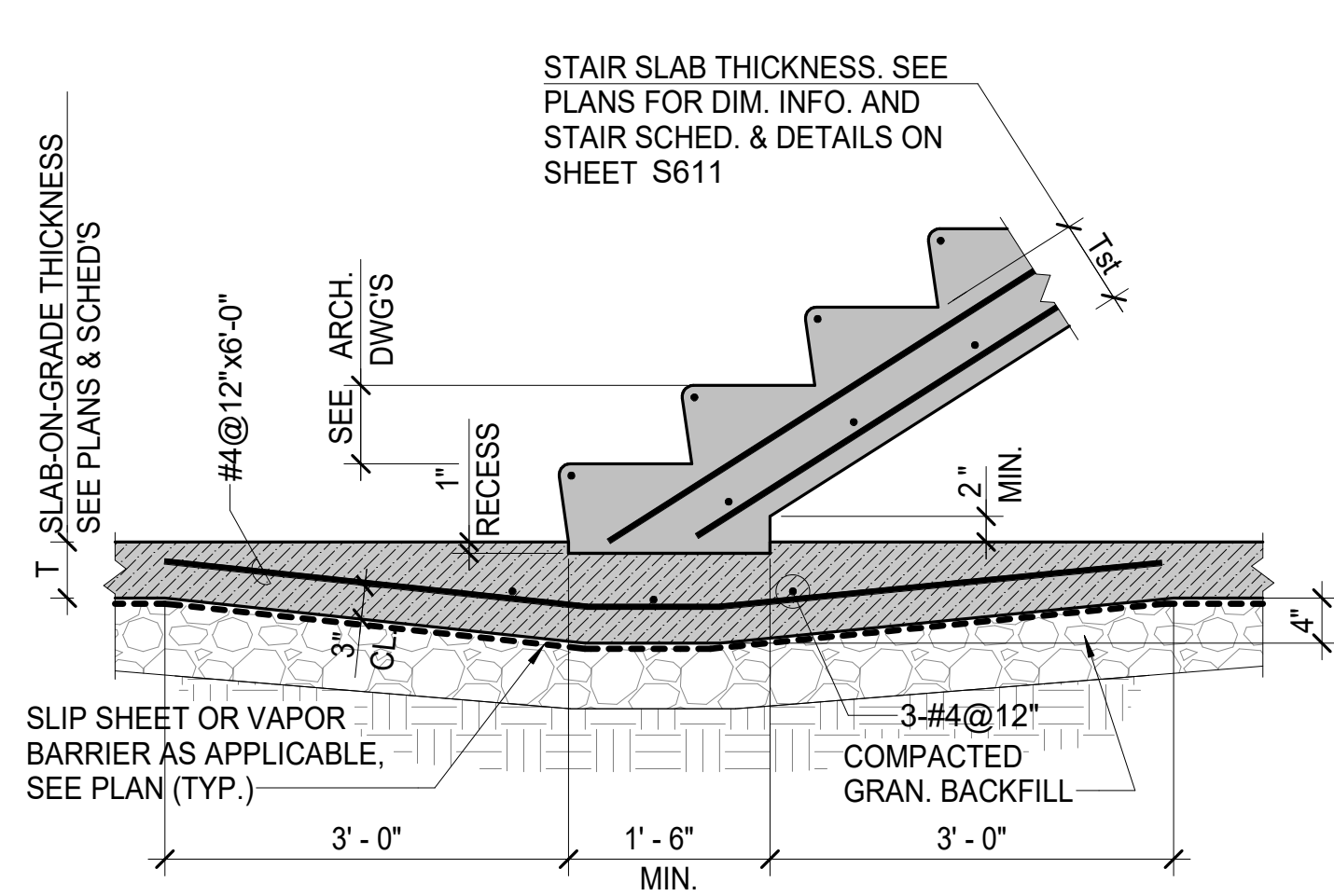
TYP. SLAB-ON-GRADE DEPRESSION DETAIL FOR DEPTH ≤ 4\"/>

13
S004 SCALE: N.T.S.



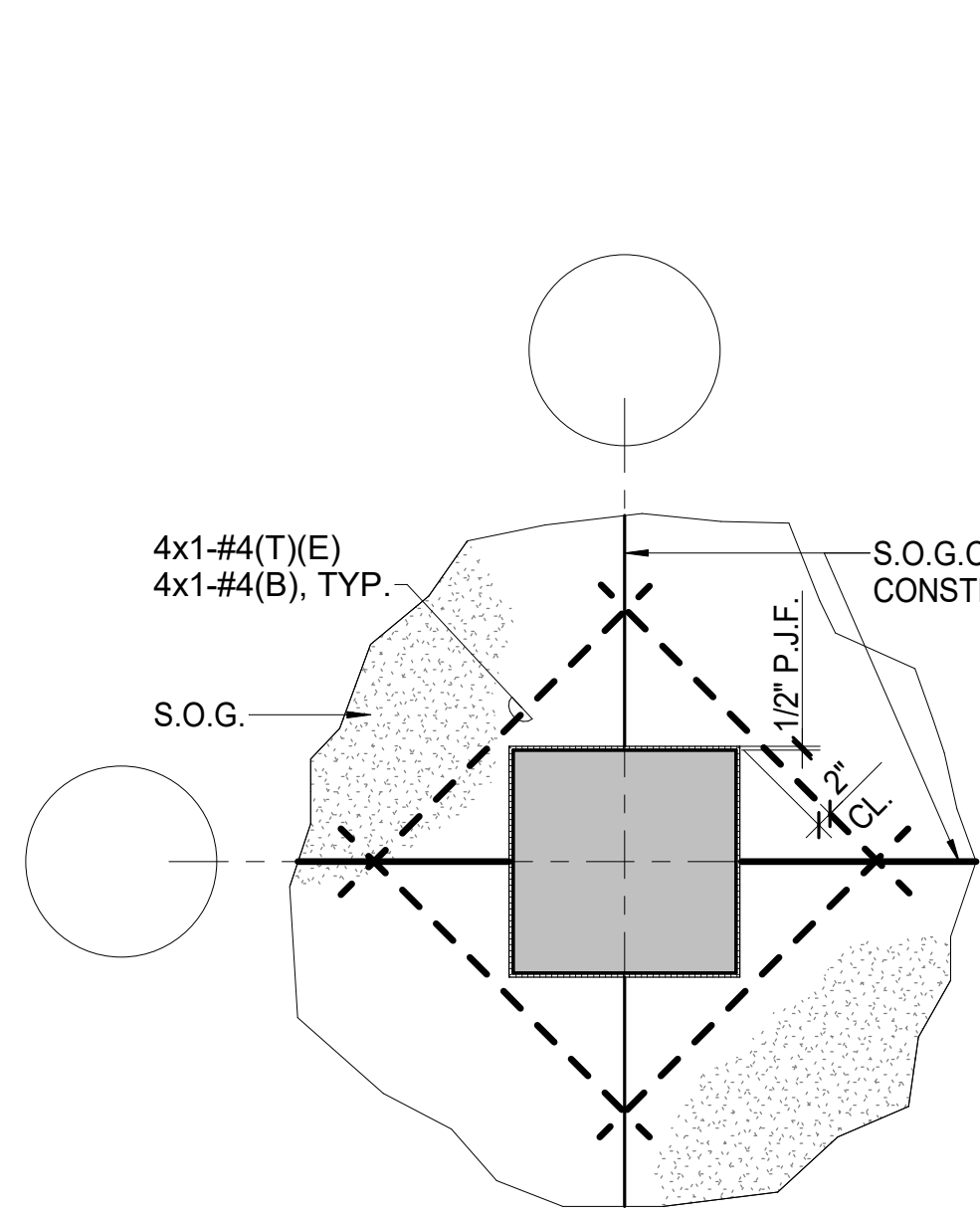
TYP. STAIR-TO-S.O.G. CONN. DETAIL FOR GARAGE INTEGRAL STAIRS

16
S004 SCALE: N.T.S.



TYP. STAIR-TO-S.O.G. CONN. DETAIL FOR STAIR IN ELEVATOR ENCLOSURE

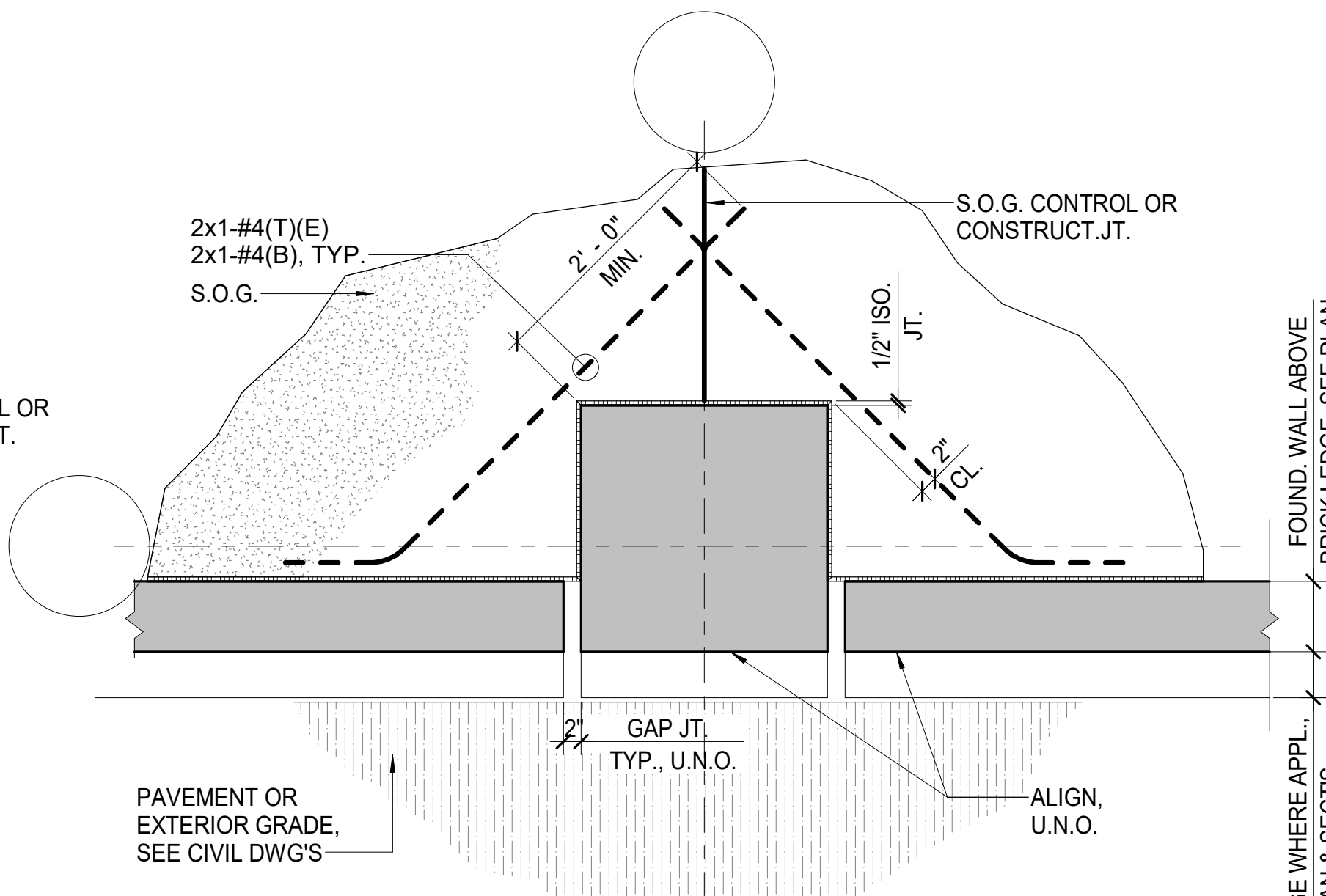
17
S004 SCALE: N.T.S.



NOTES:
BARS TO BE MIN. 4'-6\"/>

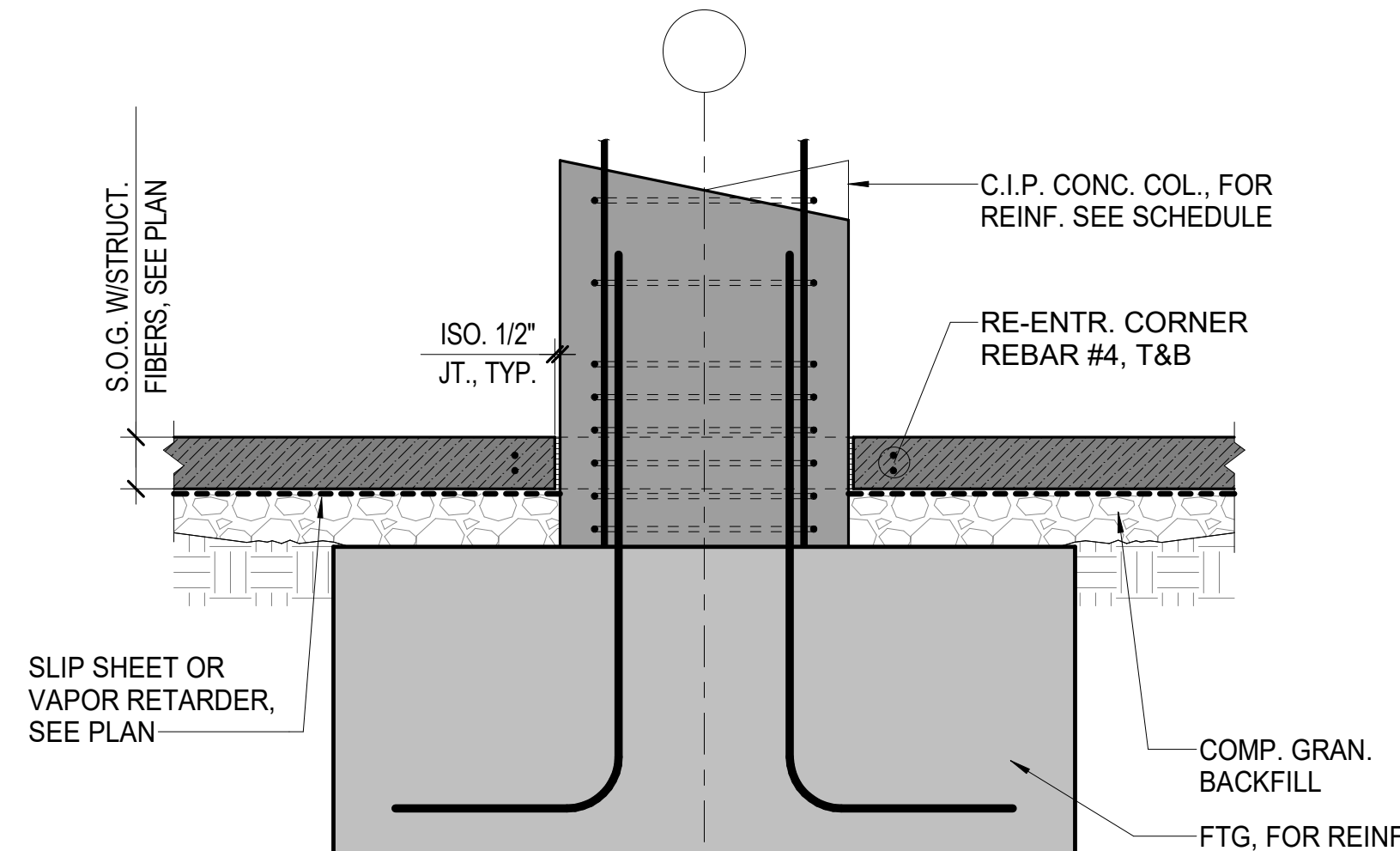
TYPICAL INTERIOR COLUMN ISOLATION
JOINT DETAIL AT S.O.G.

1
S005 SCALE: N.T.S.



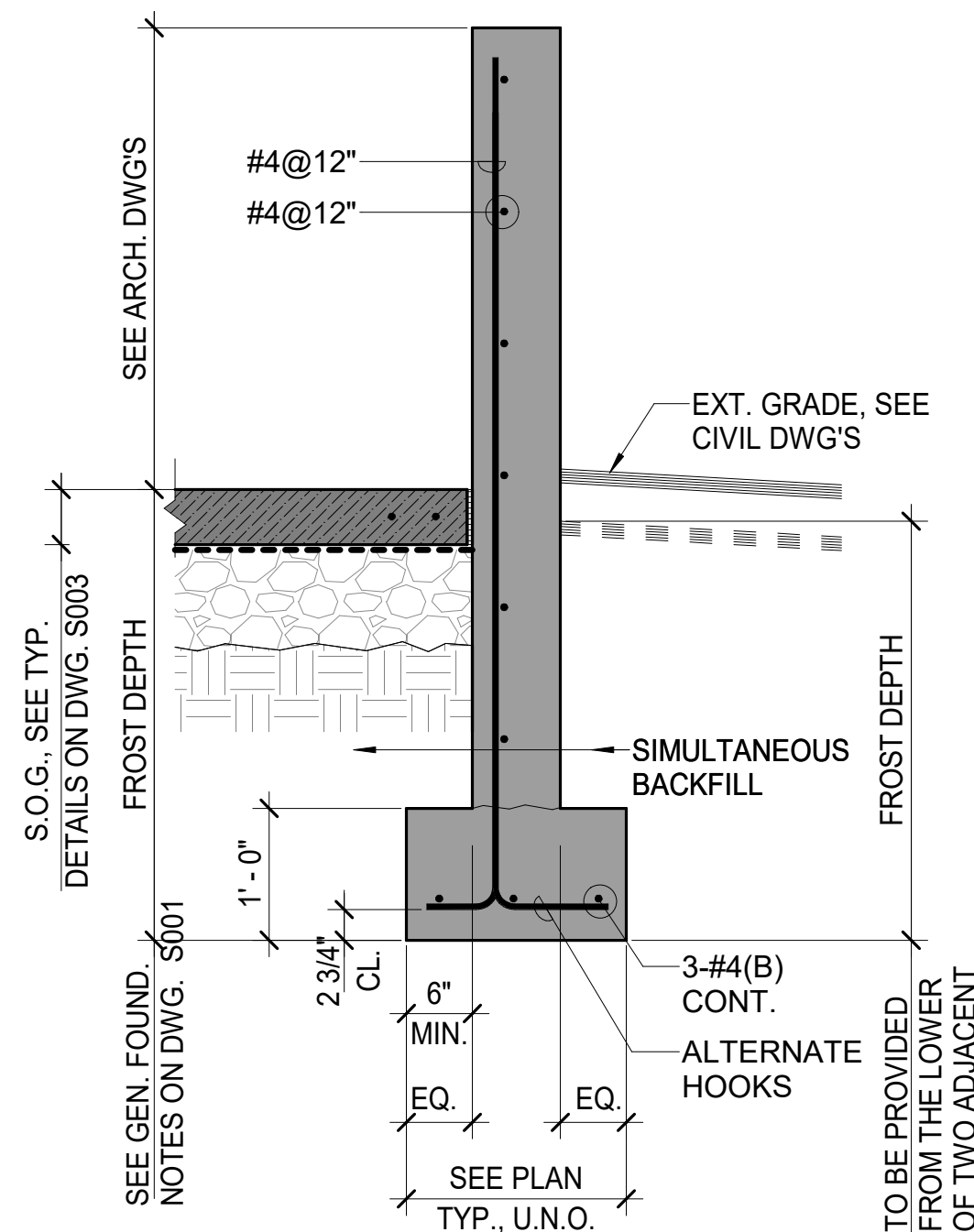
TYPICAL EXTERIOR COLUMN ISO. JOINT
DETAIL AT FOUND. WALL AND S.O.G.

2
S005 SCALE: N.T.S.



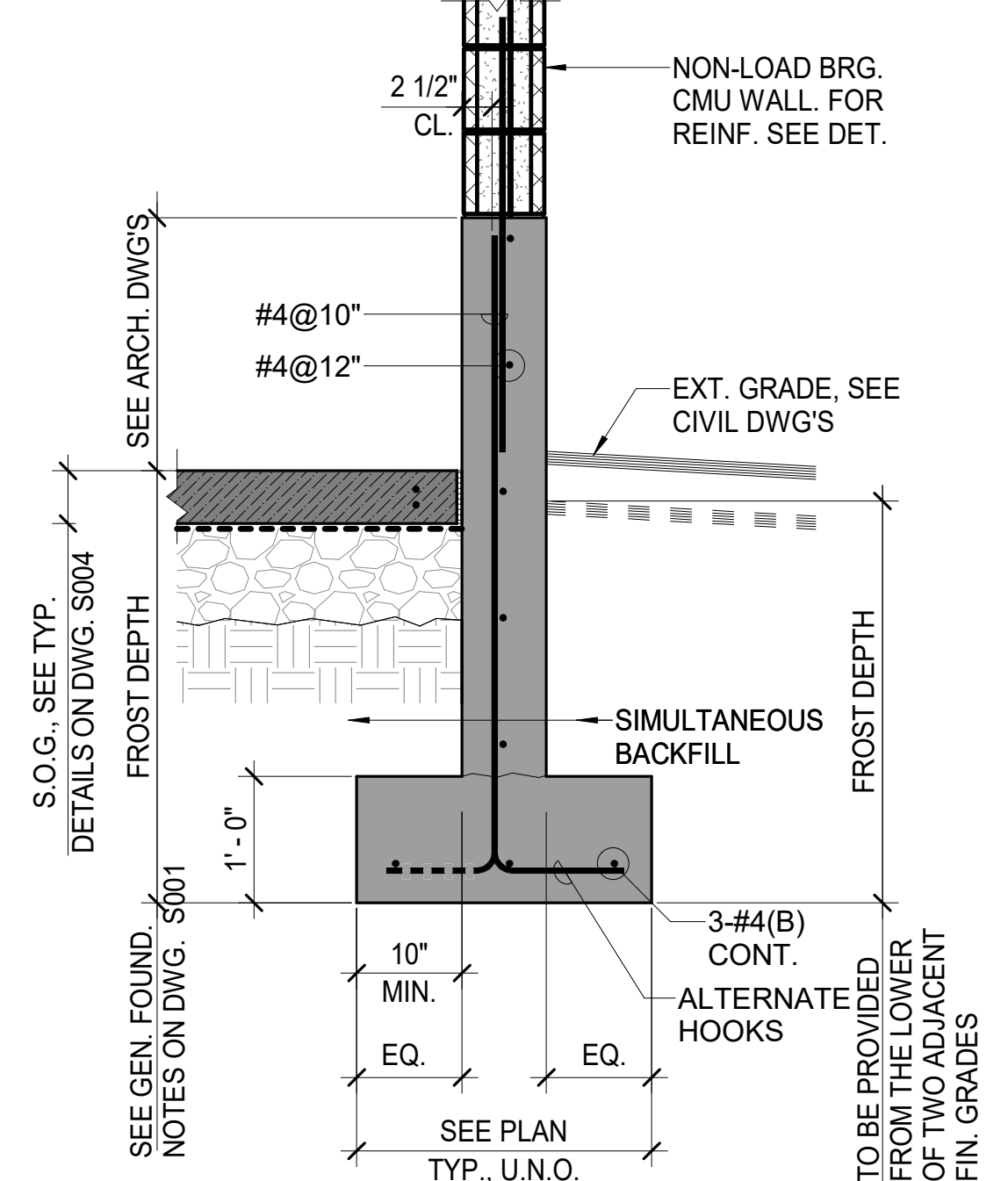
SECTION TYP. COLUMN-TO-S.O.G.
INTERFACE

3
S005 SCALE: N.T.S.



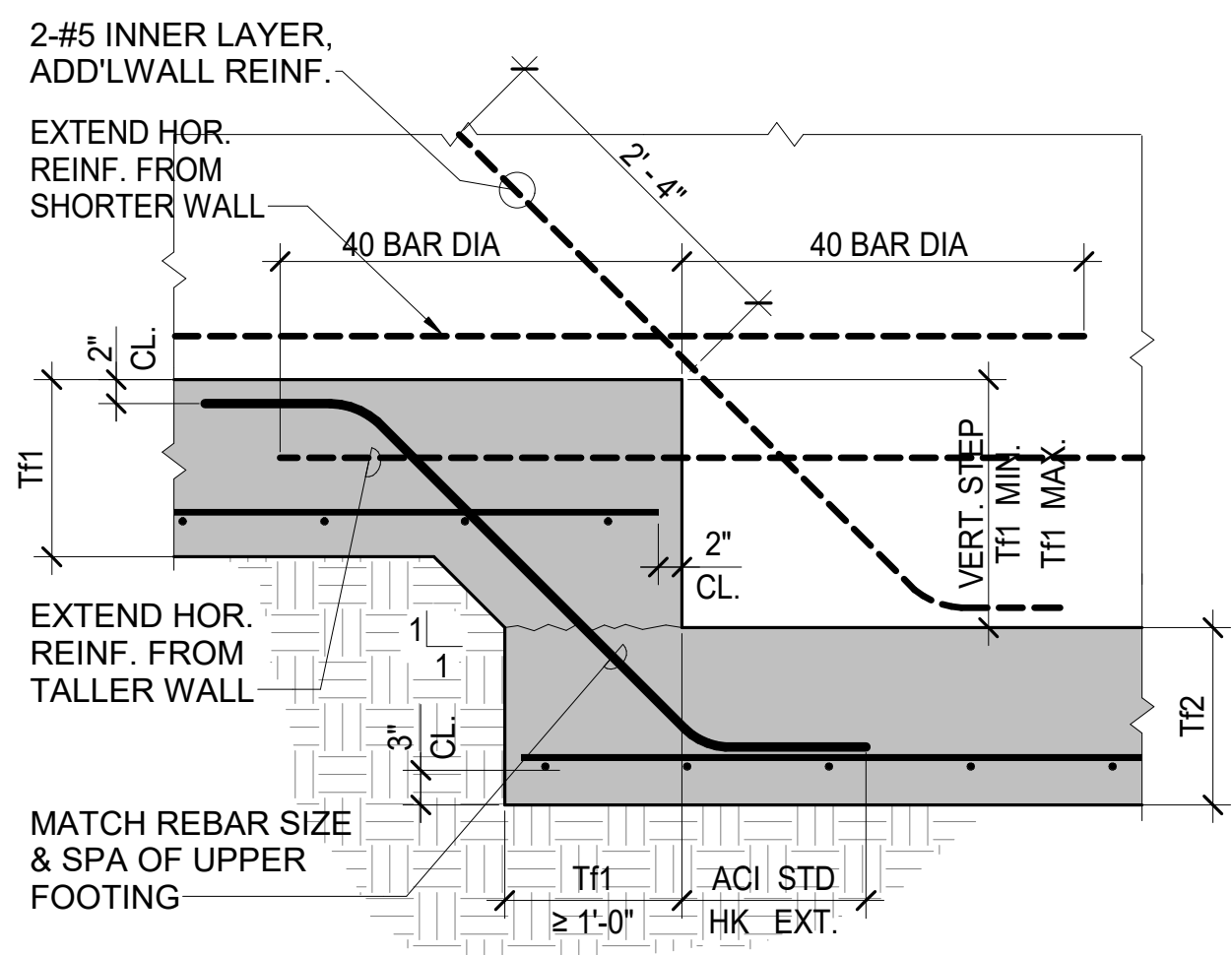
TYP. EXTERIOR FOUND. WALL
CROSS SECTION

4
S005 SCALE: N.T.S.



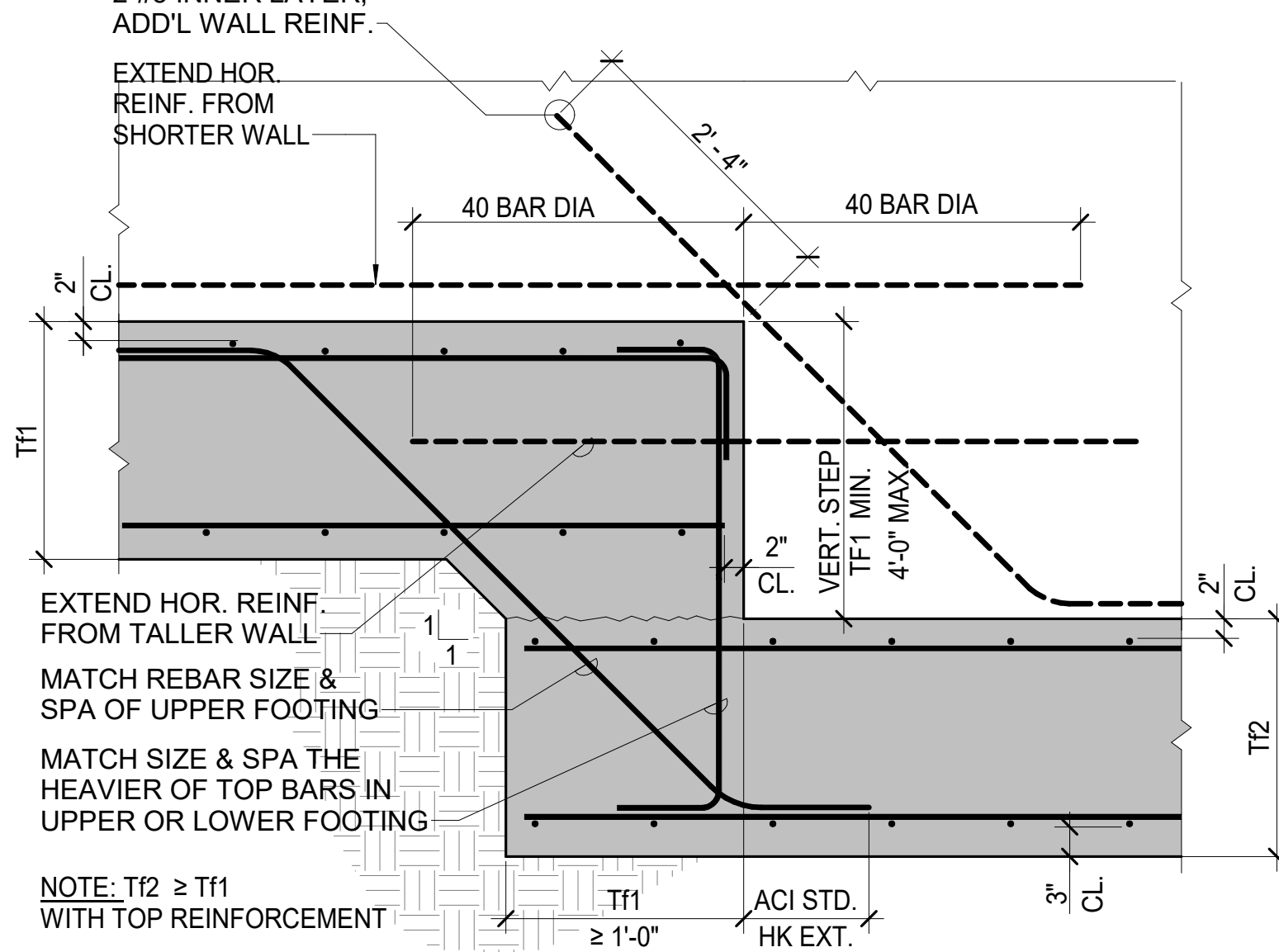
TYP. FOUND. WALL WITH CMU
NON-LOAD BEARING WALL

5
S005 SCALE: N.T.S.



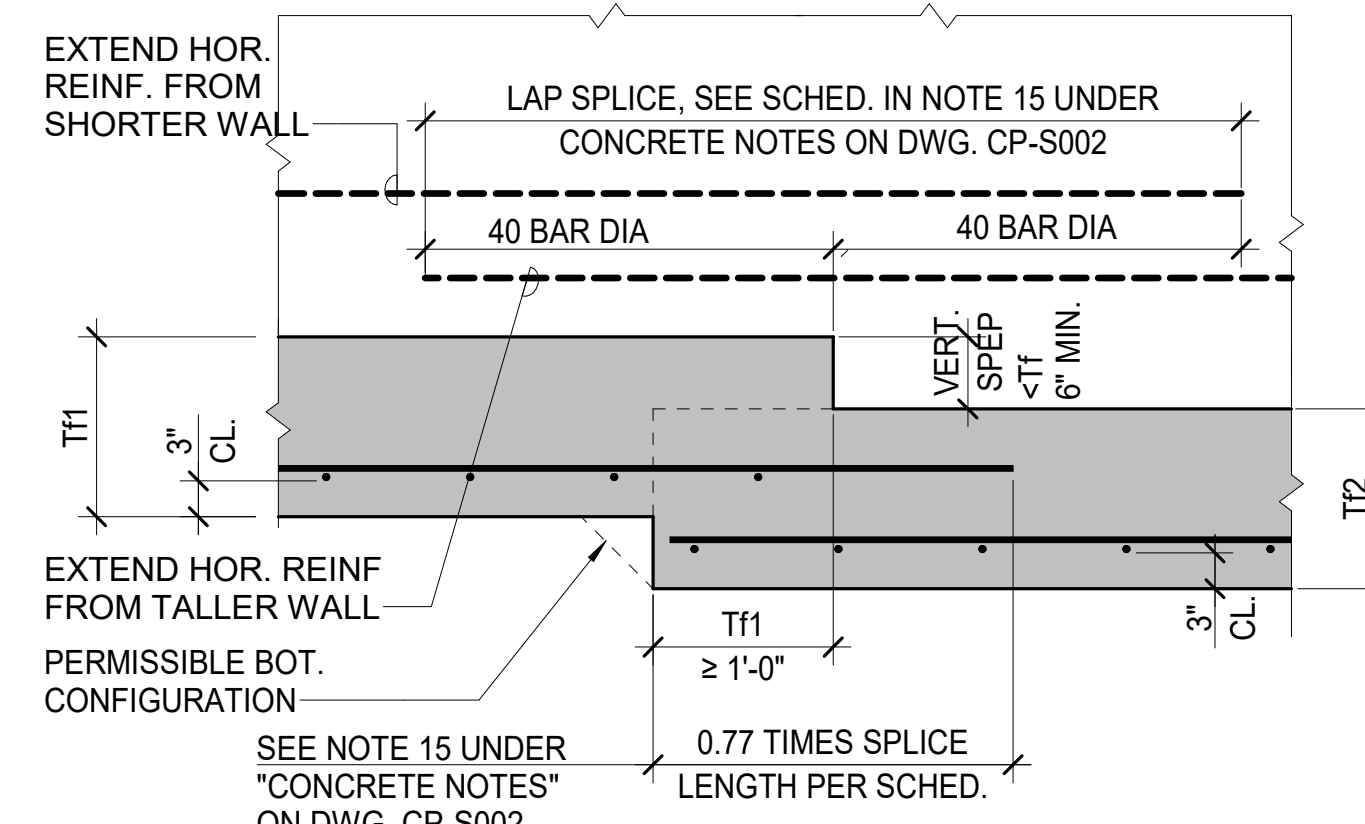
6A STEPPED FTG. DETAIL TYPE 1A

6A
S005 SCALE: N.T.S.



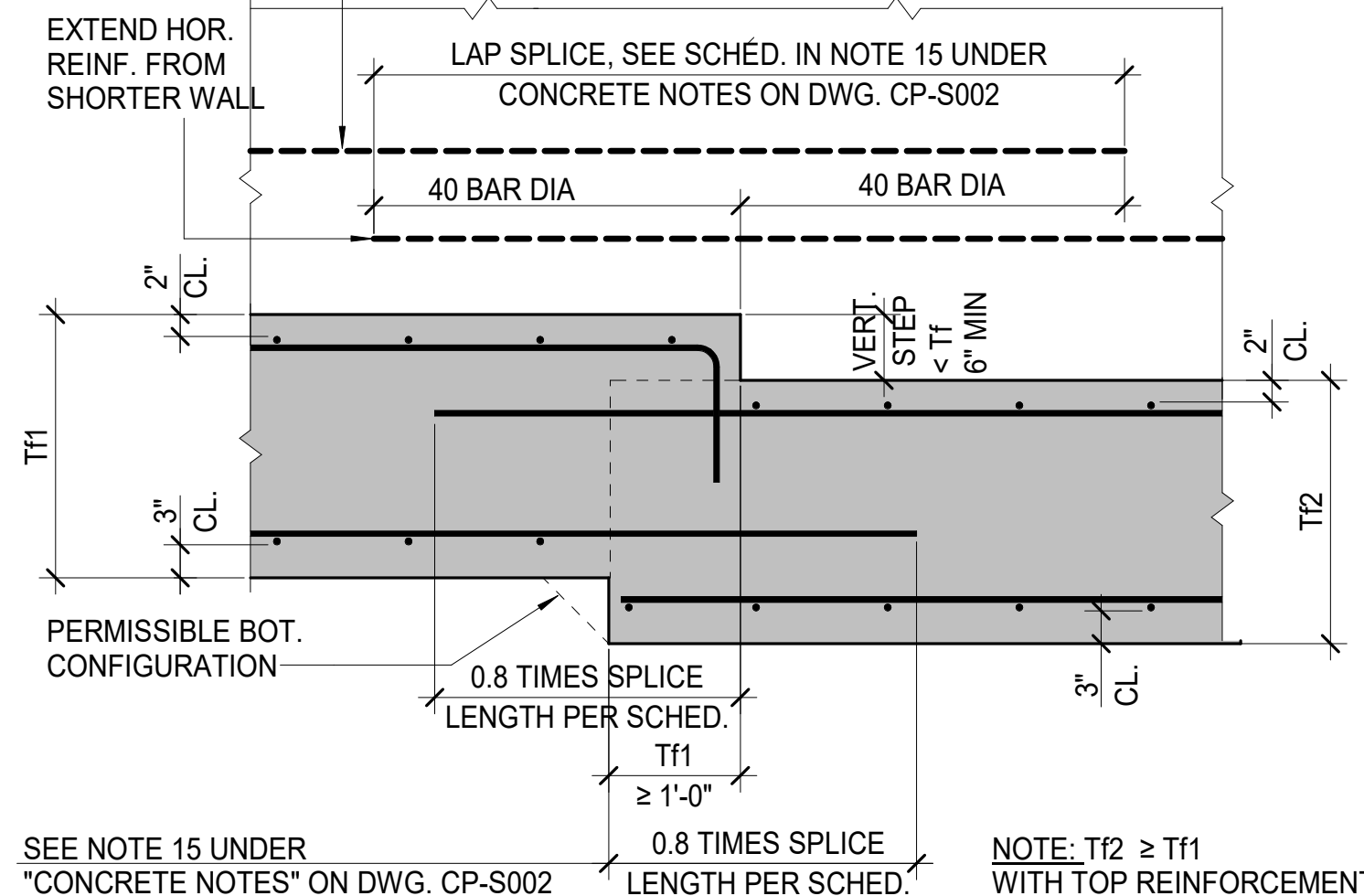
6B STEPPED FTG. DETAIL TYPE 1B

6B
S005 SCALE: N.T.S.



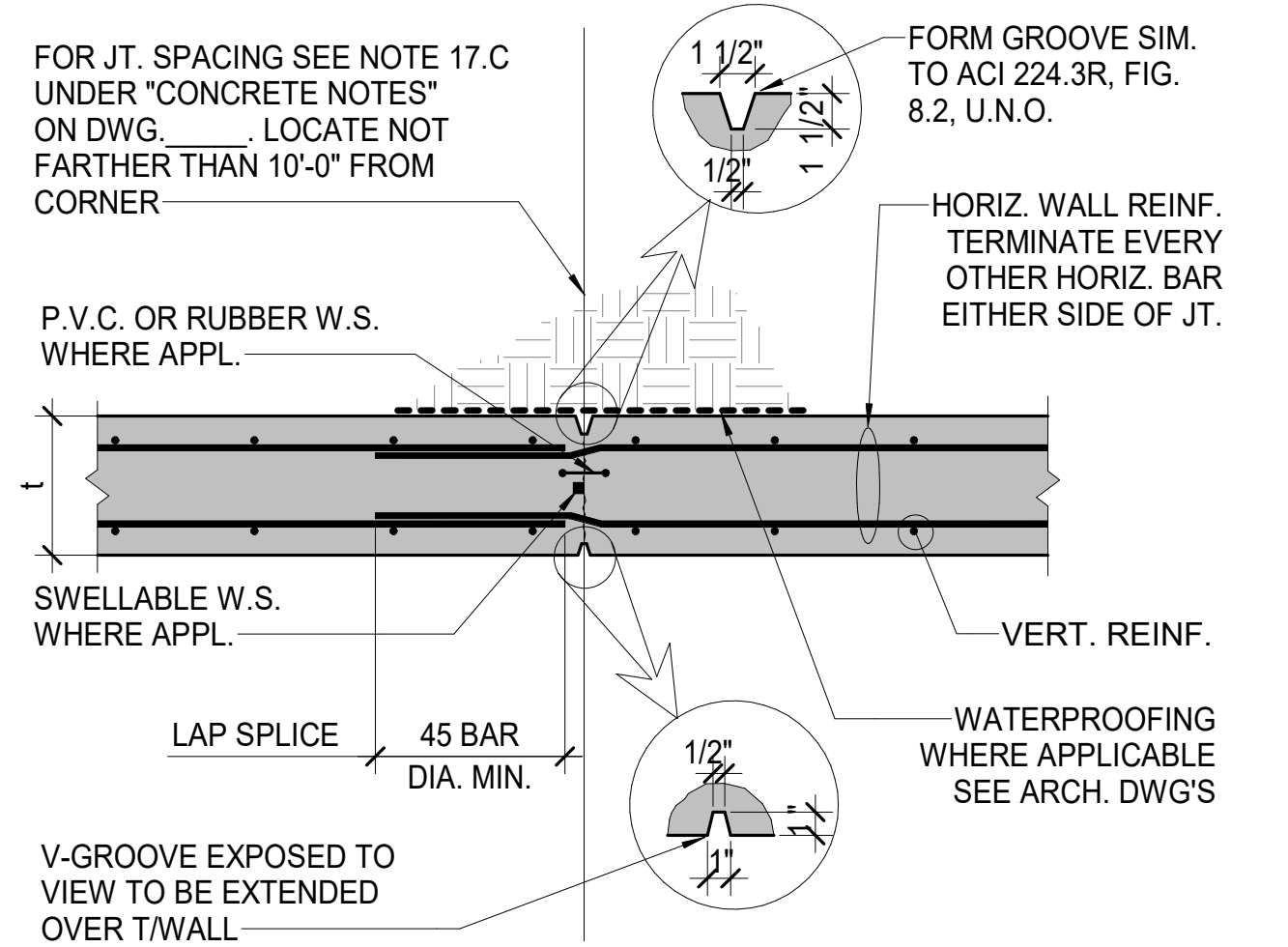
7A STEPPED FTG. DETAIL TYPE 2A

7A
S005 SCALE: N.T.S.



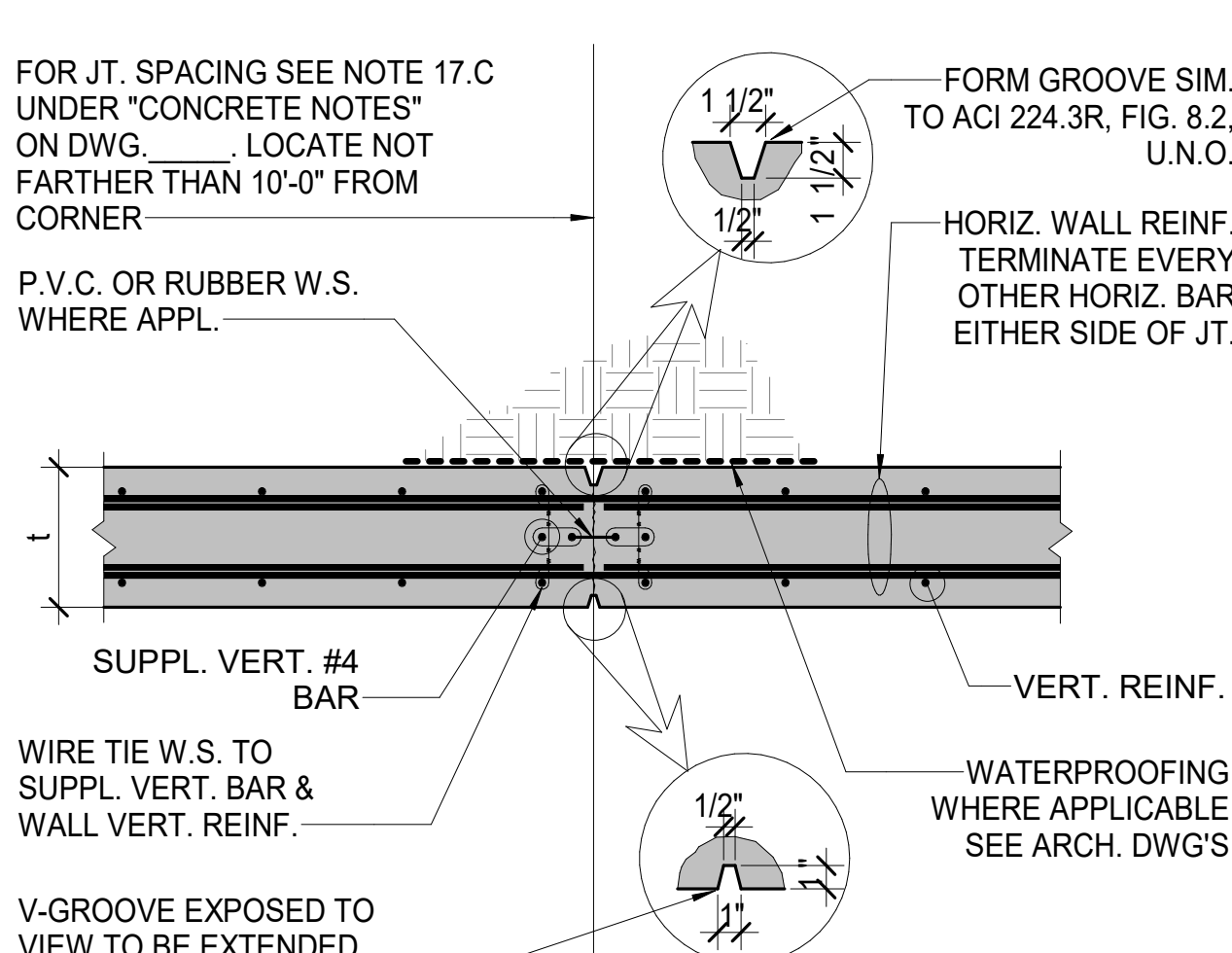
7B STEPPED FTG. DETAIL TYPE 2B

7B
S005 SCALE: N.T.S.



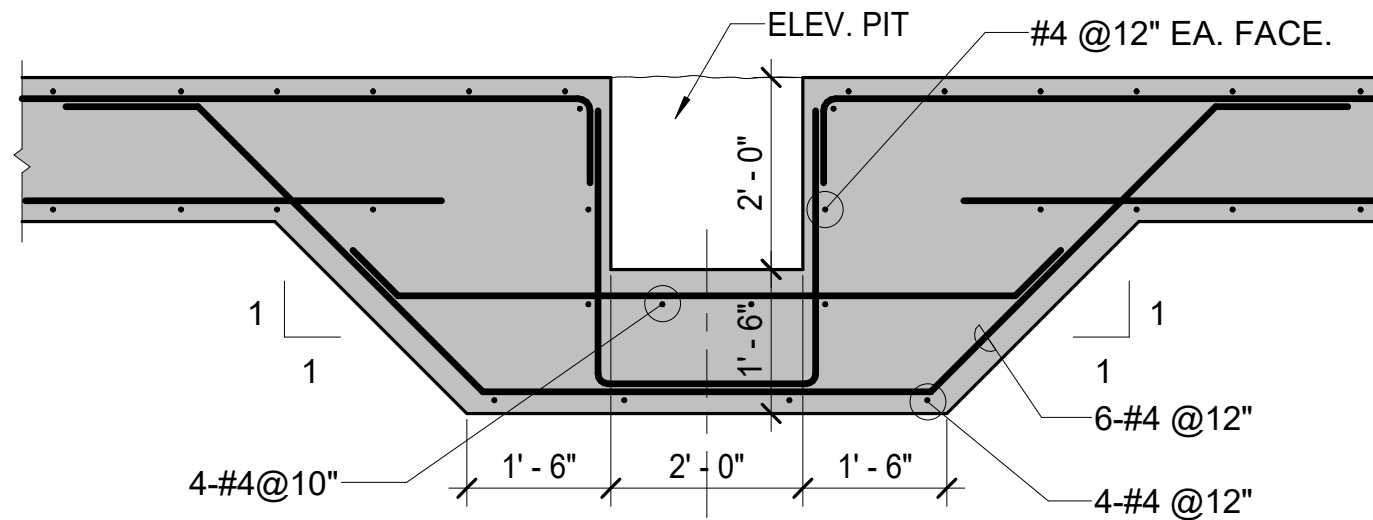
8 TYP WALL CONSTRUCTION JOINT DETAIL

8
S005 SCALE: N.T.S.



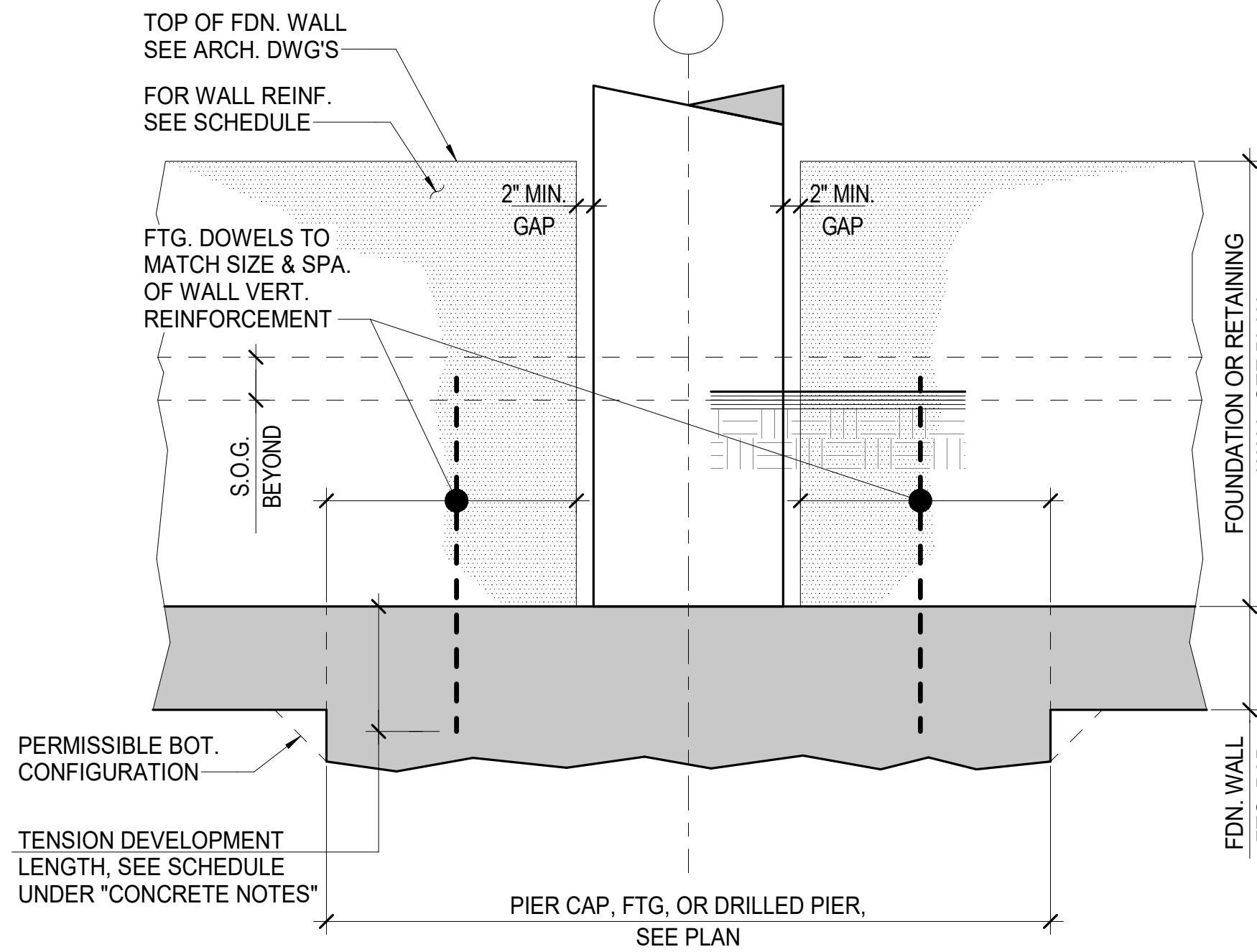
9 TYP WALL CONTROL JOINT DETAIL

9
S005 SCALE: N.T.S.



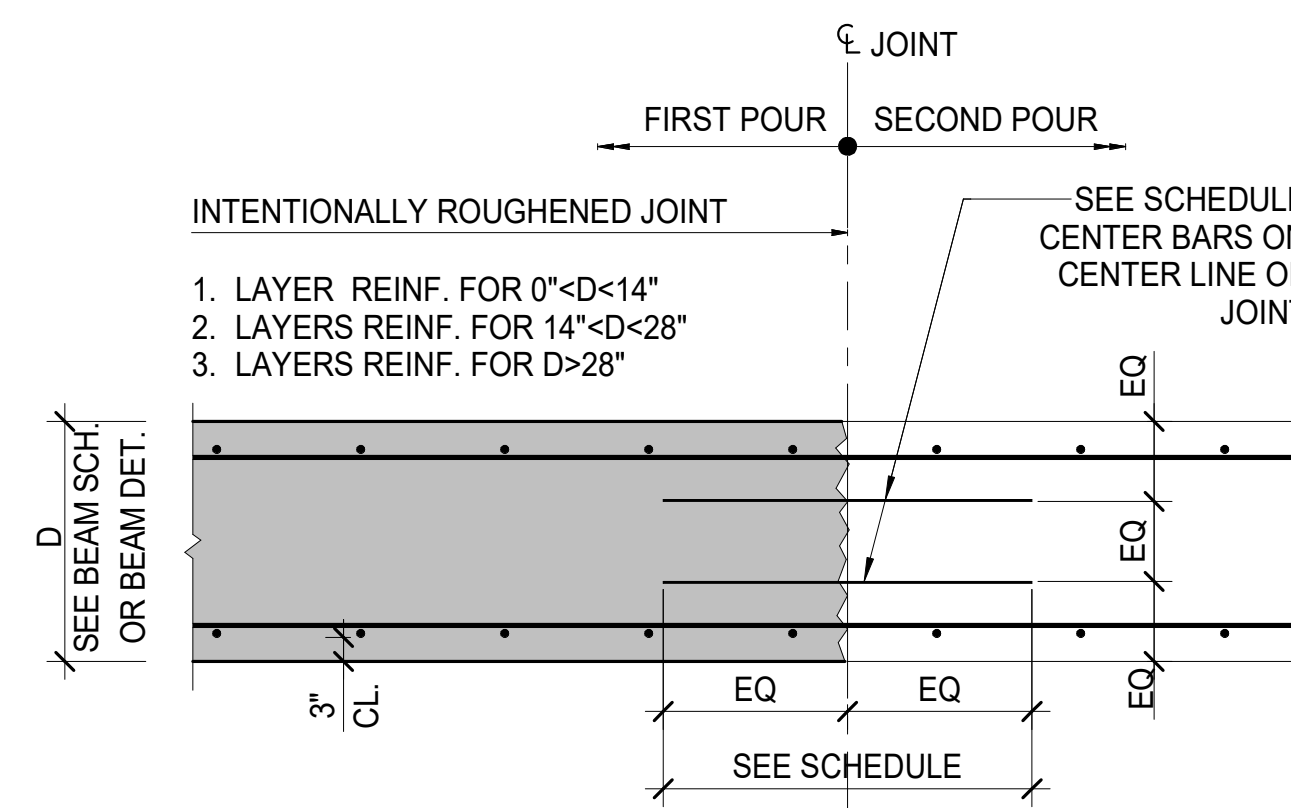
6 ELEVATOR SUMP PIT DETAIL

6
S005 SCALE: N.T.S.



TYP. SPREAD FTG. TO FOUNDATION WALL
INTERFACE DETAIL 0530

12
S005 SCALE: N.T.S.



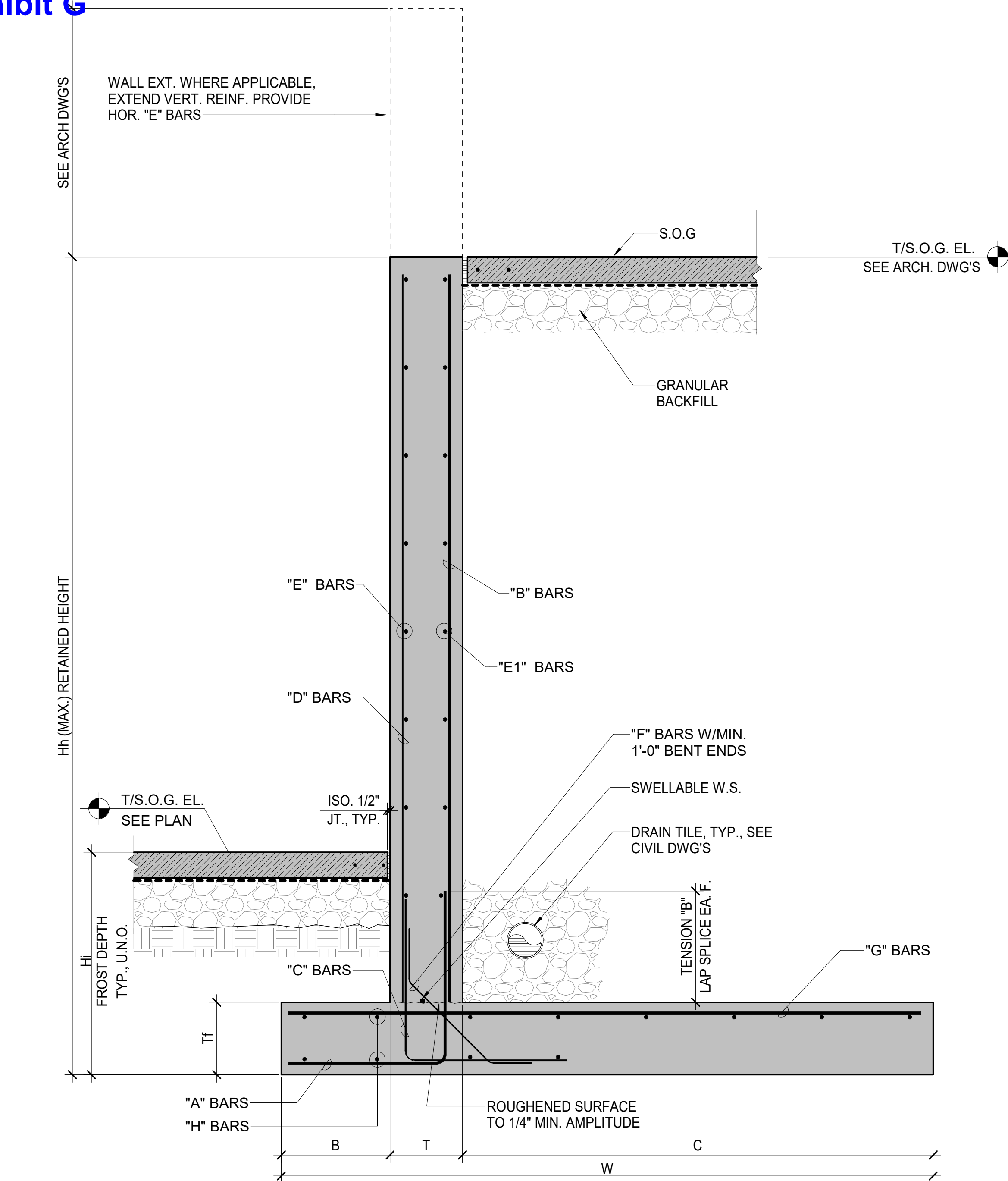
TYP. GRADE BEAM OR WALL FOOTING CONSTR.
JT DETAIL WITH CONTINUOUS PRIMARY REINFORCEMENT

13
S005 SCALE: N.T.S.

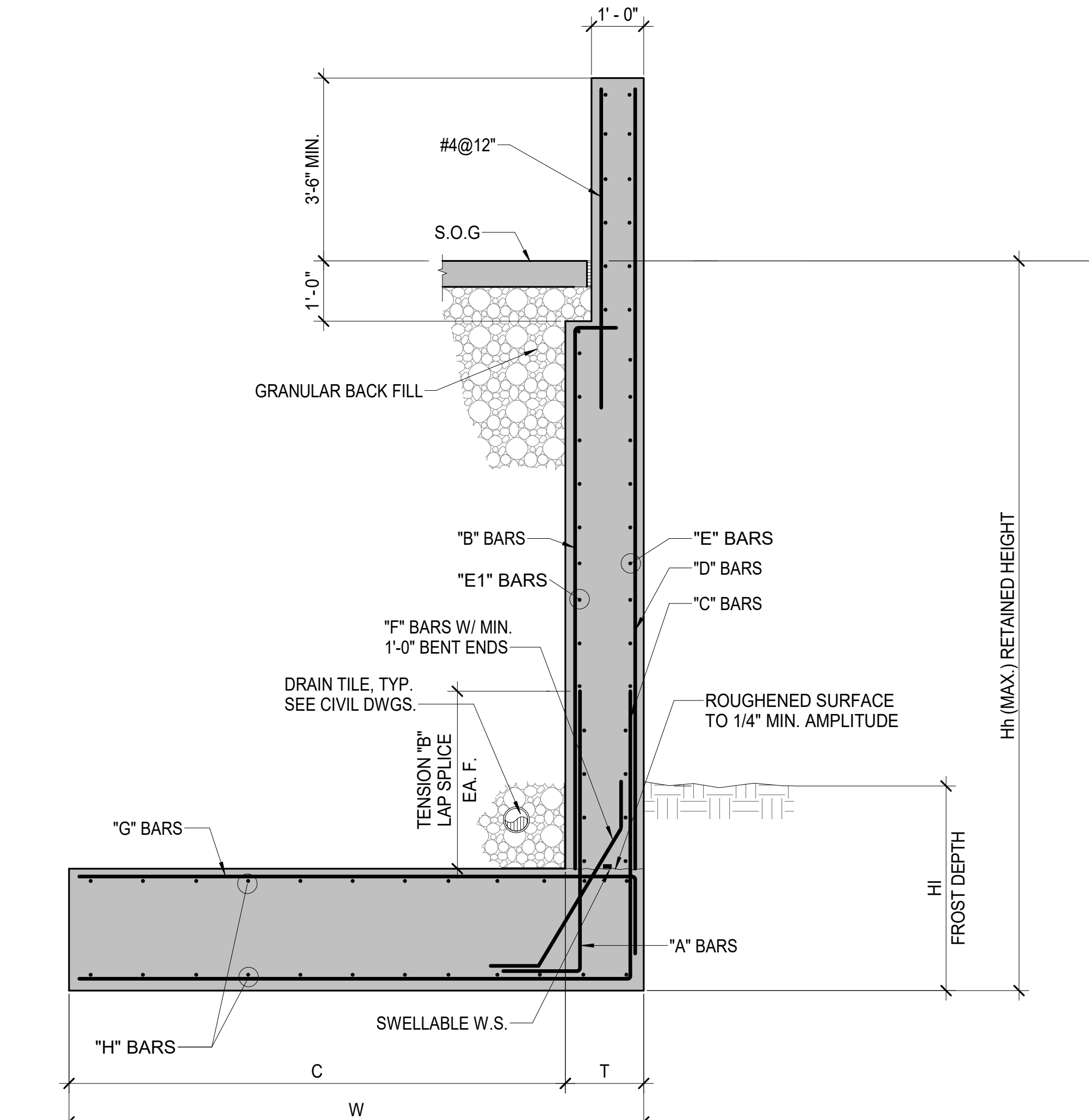
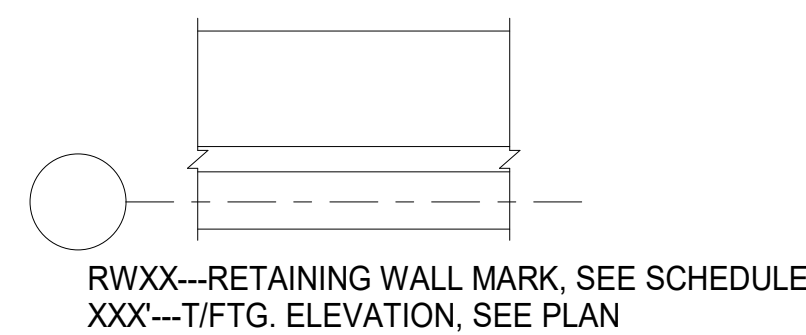
FOOTING CONSTRUCTION JOINT REBAR SCHEDULE	
FTG WIDTH W. INCHES, MAX.	JOINT REBAR SIZE, LENGTH, AND NUMBER PER LAYER
0" TO 14"	4 - #4 x 3'-0"
15" TO 24"	6 - #5 x 3'-6"
25" TO 34"	8 - #5 x 3'-6"
35" TO 48"	9 - #6 x 4'-0"
49" TO 60"	12 - #7 x 4'-6"
61" TO 72"	16 - #7 x 4'-6"
73" TO 90"	16 - #8 x 5'-0"

CONSTRUCTION JOINT NOTES:

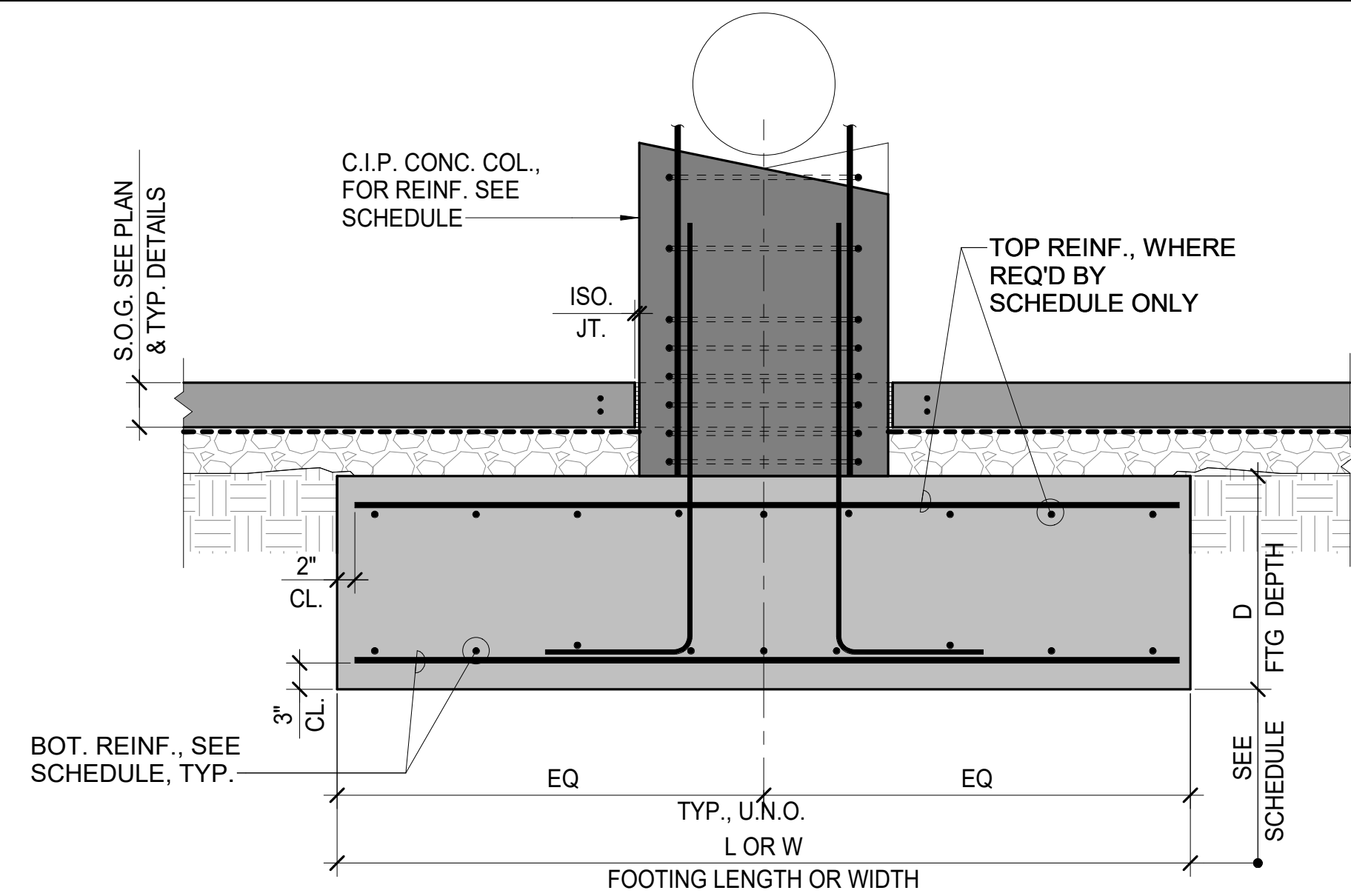
1. CONSTRUCTION JOINTS SHALL BE DONE IN ACCORDANCE WITH ACI 318 SECTION 6.4.
2. LOCATION OF CONSTRUCTION JOINTS SHALL BE APPROVED BY THE ARCHITECT AND ENGINEER.
3. JOINT REINFORCEMENT SHOWN TABULATED HEREIN, WAS DESIGNED IN ACCORDANCE WITH ACI 318 SECTION 11.7.
4. FOR FOOTING DIMENSIONS SEE PLANS, SECTIONS AND DETAILS.
5. FOR JOINTS IN FOOTINGS WITH THICKNESSES BEYOND THE TABULATED RANGE PROVIDE JOINT LOCATIONS TO THE ARCHITECT FOR SEPARATE DESIGN OF REQUIRED REINFORCEMENT.



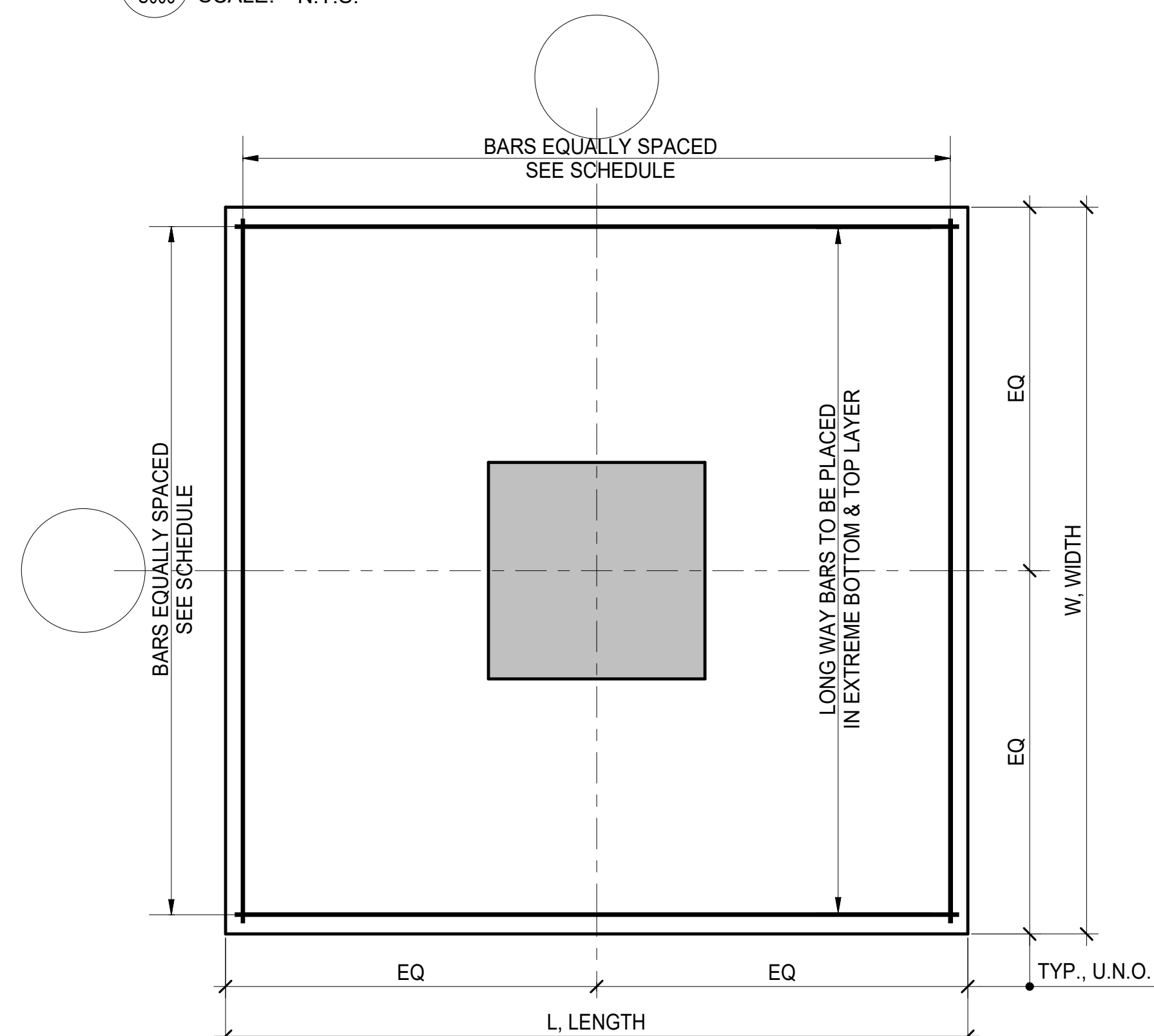
1 TYPICAL CANTILEVER RETAINING WALL TYPE A
S006 SCALE: N.T.S.



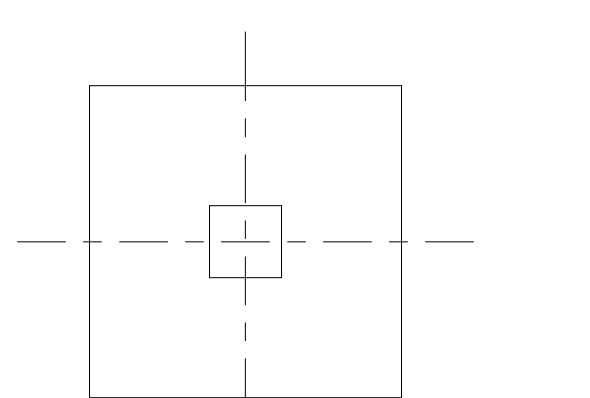
2 TYPICAL CANTILEVER RETAINING WALL (TYPE B)
S006 SCALE: N.T.S.



4 TYP. SPREAD FOOTING SECTION
S006 SCALE: N.T.S.



5 TYP. SPREAD FOOTING PLAN DETAIL
S006 SCALE: N.T.S.

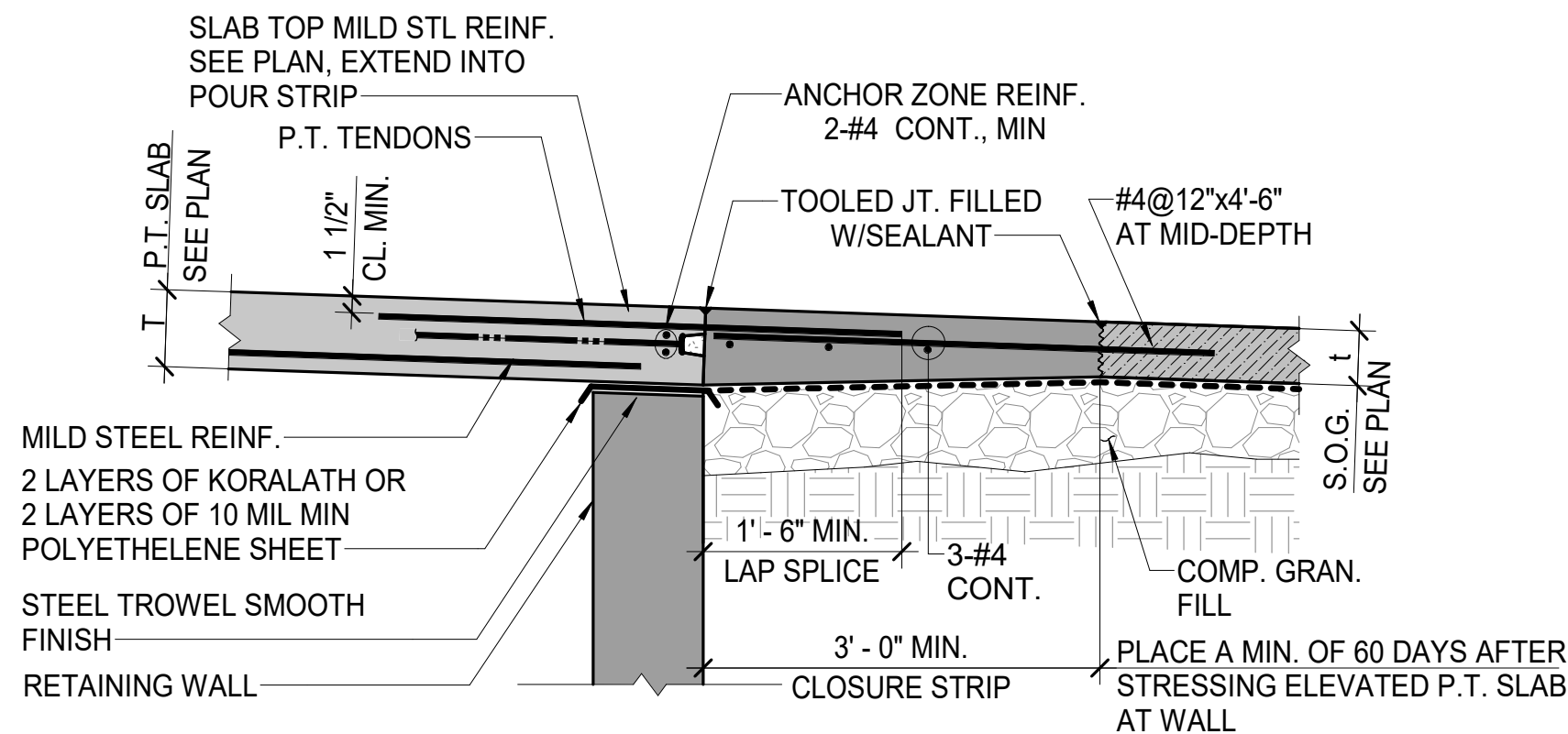


FXX--FOOTING MARK, SEE SCHEDULE
XXX--T/FTG. ELEVATION, SEE PLAN

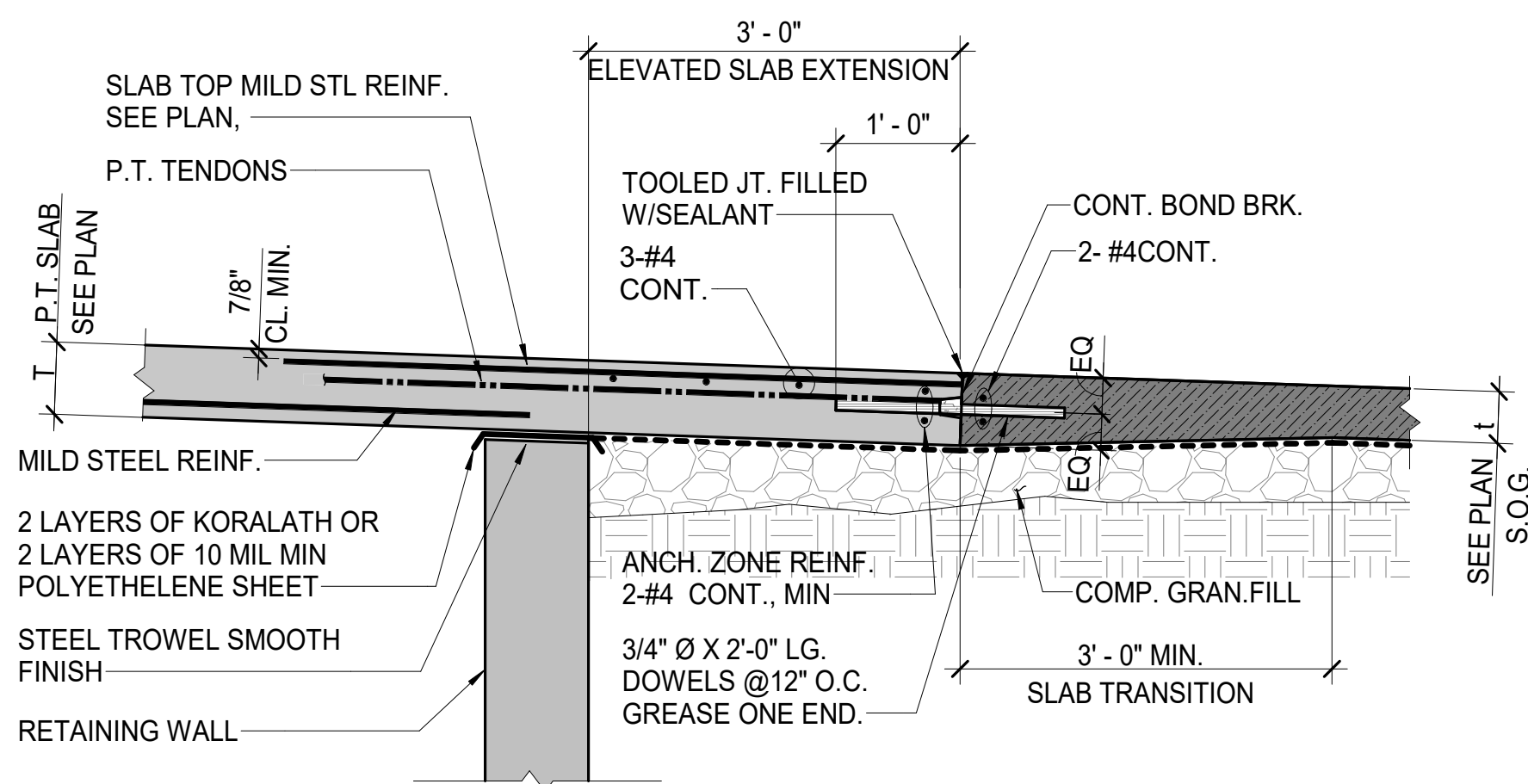
RETAINING WALL SCHEDULE

		DIMENSIONS							REINFORCEMENT										fc = 4,500 PSI	
WALL	WALL		Hi	W	B	T	C	Tt	"A" BARS DOWELS	"B" BARS VERT.	"C" BARS DOWELS	"D" BARS VERT.	"E" BARS HORIZ.	"E1" BARS HORIZ.	"F" BARS DIAGONAL	"G" BARS	"H" BARS	REMARKS		
MARK	TYPE	Hh MAX	"FROST" DEPTH	WIDTH	TOE	STEM	HEEL	FOOTING THICKNESS	I.F.	I.F.	O.F.	O.F.	E.F.	E.F.						
RW1	B	17'-3"	4'-0"	15'-3"	--	1'-4"	13'-11"	1'-8"	#7@10"	#7@10"	#4@18"	#4@18"	#4@12"	#4@12"	#4@18"	#7@14"	#4@11"			
RW2	B	12'-10"	4'-0"	8'-0"	--	1'-0"	7'-0"	1'-8"	#6@12"	#6@12"	#4@18"	#4@18"	#4@16"	#4@16"	--	#6@12"	#4@11"			
RW3	A	7'-0"	4'-0"	3'-8"	1'-0"	0'-8"	2'-0"	1'-0"	#4@12"	#4@12"	--	--	--	#4@12"	--	#4@12"	#4@16"			
RW4	A	7'-10"	4'-0"	4'-10"	2'-0"	0'-10"	2'-0"	1'-2"	#5@12"	#5@12"	#4@18"	#4@18"	#4@18"	#4@18"	--	#5@12"	#4@16"			
RW5	A	9'-5"	4'-0"	5'-0"	1'-3"	0'-10"	2'-11"	1'-0"	#5@12"	#5@12"	#4@18"	#4@18"	#4@18"	#4@18"	--	#5@12"	#4@16"			
RW6	A	14'-1"	4'-0"	10'-0"	2'-0"	1'-0"	7'-0"	1'-3"	#6@10"	#6@10"	#4@18"	#4@18"	#4@16"	#4@16"	#4@18"	#6@10"	#4@14"			
RW7	A	17'-3"	4'-0"	14'-0"	2'-0"	1'-4"	10'-8"	1'-8"	#7@10"	#7@10"	#4@18"	#4@18"	#4@12"	#4@12"	#4@18"	#7@14"	#4@11"			
RWX	A	XX'-X"	4'-0"	XX'-X"	X'-X"	X'-X"	X'-X"	X'-X"	#X@XX"	#X@XX"	#X@XX"	#X@XX"	#X@XX"	#X@XX"	#X@XX"	#X@XX"	#X@XX"			

- NOTES:
1. PROVIDE SIMULTANEOUS BACKFILL AT TOE & HEEL SIDE UNTIL TOE SIDE BACKFILL IS EQUAL TO ELEVATION PER ARCHITECTURAL DRAWINGS.
 2. REINFORCEMENT CALLED OUT IN THE SHADED CELLS OF THIS SCHEDULE SHALL BE EPOXY COATED.
 3. FOOTING PADS FOR RETAINING WALLS, WHERE APPLICABLE, HAVE BEEN PROPORTIONED FOR MAXIMUM 3,000 PSF SOIL BEARING PRESSURE.
 4. FOR WALL JOINTS, FOLLOW NOTES 13 AND 15 UNDER "GENERAL FOUNDATION NOTES" ON DWG. S00-01 AND NOTE 18 C. UNDER "CONCRETE NOTES" ON DWG. S00-02.



3.1 GRADE SLAB-TO-P.T. (ALT. 1) SLAB CONNECTION DETAIL
S006 SCALE: N.T.S.

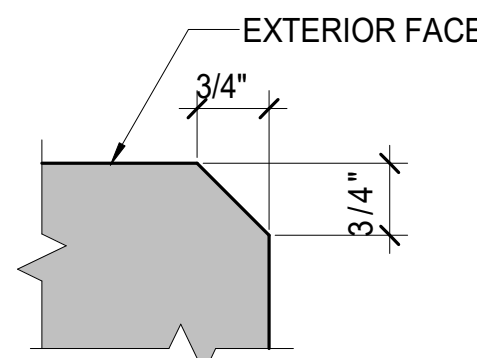


3.2 GRADE SLAB-TO-P.T. SLAB CONNECTION DETAIL (ALT. 2)
S006 SCALE: N.T.S.

COLUMN FOOTING SCHEDULE

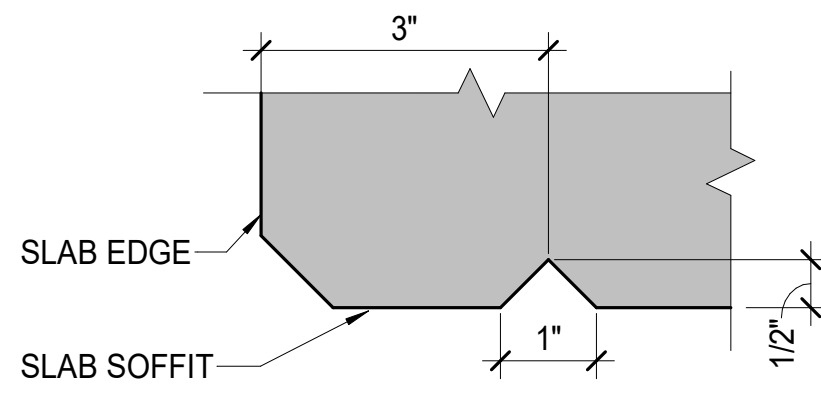
DIMENSIONS				BOTTOM REINF.		TOP REINFORCEMENT		REMARKS
FTG MARK	L	W	D	LONG WAY	SHORT WAY	LONG WAY	SHORT WAY	
F4	4'-0"	4'-0"	2'-0"	7 - #5	7 - #5	---	---	
F5.5	5'-6"	5'-6"	2'-0"	10 - #5	10 - #5	---	---	
F6	6'-0"	6'-0"	2'-0"	11 - #5	11 - #5	---	---	
F6.5	6'-6"	6'-6"	2'-0"	11 - #5	11 - #5	---	---	
F7	7'-0"	7'-0"	2'-0"	9 - #6	9 - #6	---	---	
F8	8'-0"	8'-0"	2'-0"	10 - #6	10 - #6	---	---	
F8.5	8'-6"	8'-6"	2'-0"	11 - #6	11 - #6	---	---	
F10	10'-0"	10'-0"	2'-0"	12 - #6	12 - #6	---	---	
F10.5	10'-6"	10'-6"	2'-0"	10 - #7	10 - #7	---	---	
F11.5	11'-6"	11'-6"	2'-0"	10 - #7	10 - #7	---	---	
F13.5	13'-6"	13'-6"	2'-0"	13 - #8	13 - #8	---	---	
F3/9	9'-0"	3'-0"	2'-0"	4 - #6	11 - #6	---	---	
F3/12.5	12'-6"	3'-0"	2'-0"	5 - #6	15 - #6	---	---	
F4/13.5	13'-6"	4'-0"	2'-0"	7 - #6	16 - #6	---	---	
F4/18.5	18'-6"	4'-0"	2'-3"	7 - #6	25 - #6	---	---	
F4.5/11	11'-0"	4'-6"	2'-0"	8 - #6	13 - #6	---	---	
F5.5/8	8'-0"	5'-6"	2'-3"	8 - #6	11 - #6	---	---	
F6/8.5	8'-6"	6'-0"	2'-0"	8 - #6	11 - #6	---	---	
F6/17.5	17'-6"	6'-0"	2'-3"	9 - #6	24 - #6	---	---	
F6.5/9.5	9'-6"	6'-6"	3'-0"	12 - #6	17 - #6	---	---	
F8/11.5	11'-6"	8'-0"	4'-0"	14 - #7	20 - #7	---	---	
FX	X'-X"	X'-X"	X'-X"	X - #X	X - #X	---	---	

- NOTES:
1. ALL CONCRETE FOR COLUMN AND WALL FOOTING PADS, ELEVATOR MAT, RETAINING WALLS, AND FOUNDATIONS WALLS SHALL BE REGULAR WEIGHT AND ATTAIN A MIN. 4500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, U.N.O.
 2. WHERE WALL FOOTINGS ABUT COLUMN FOOTINGS, WALL FOOTING REINFORCEMENT IS INTENDED TO BE STRAIGHT DEVELOPED IN TENSION INTO COLUMN FOOTING, U.N.O.



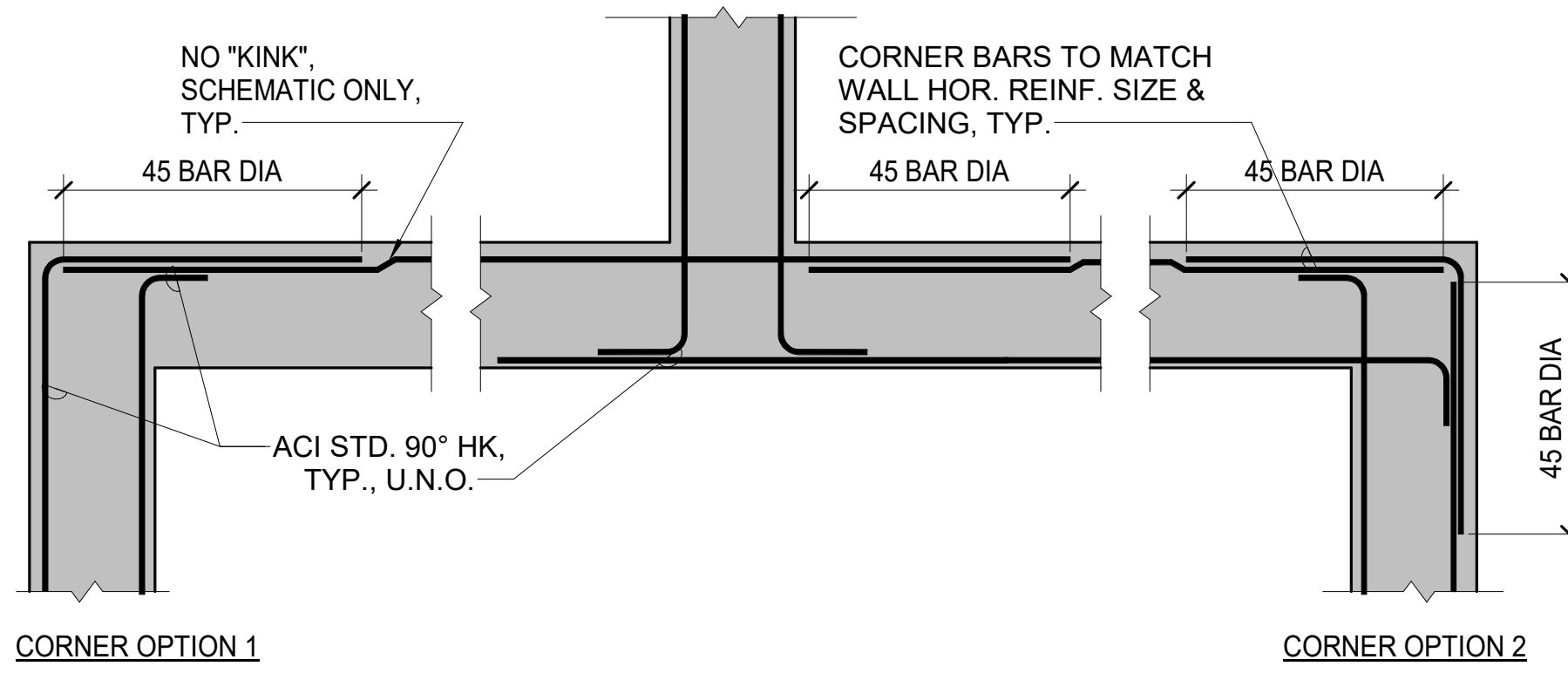
NOTE: PROVIDE CHAMFER THUS AT ALL EXTERIOR CORNERS, TYP., U.N.O.

1 TYP. CHAMFER DETAIL
SCALE: N.T.S.

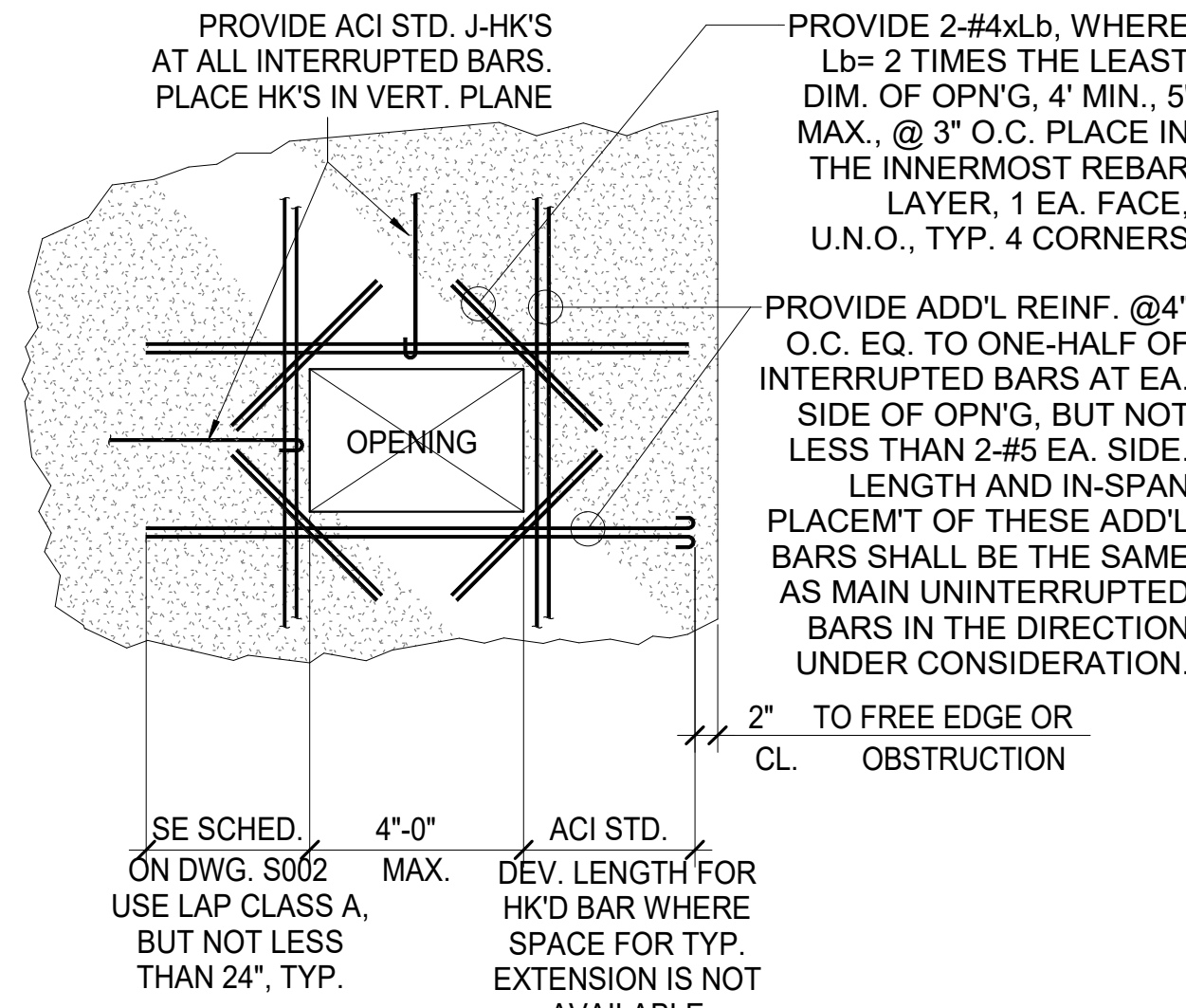


NOTE: PROVIDE DRIP THUS AT ALL SUPPORTED SLAB EDGES, U.N.O.

2 TYP. "DRIP" DETAIL AT SLAB EDGE
SCALE: N.T.S.

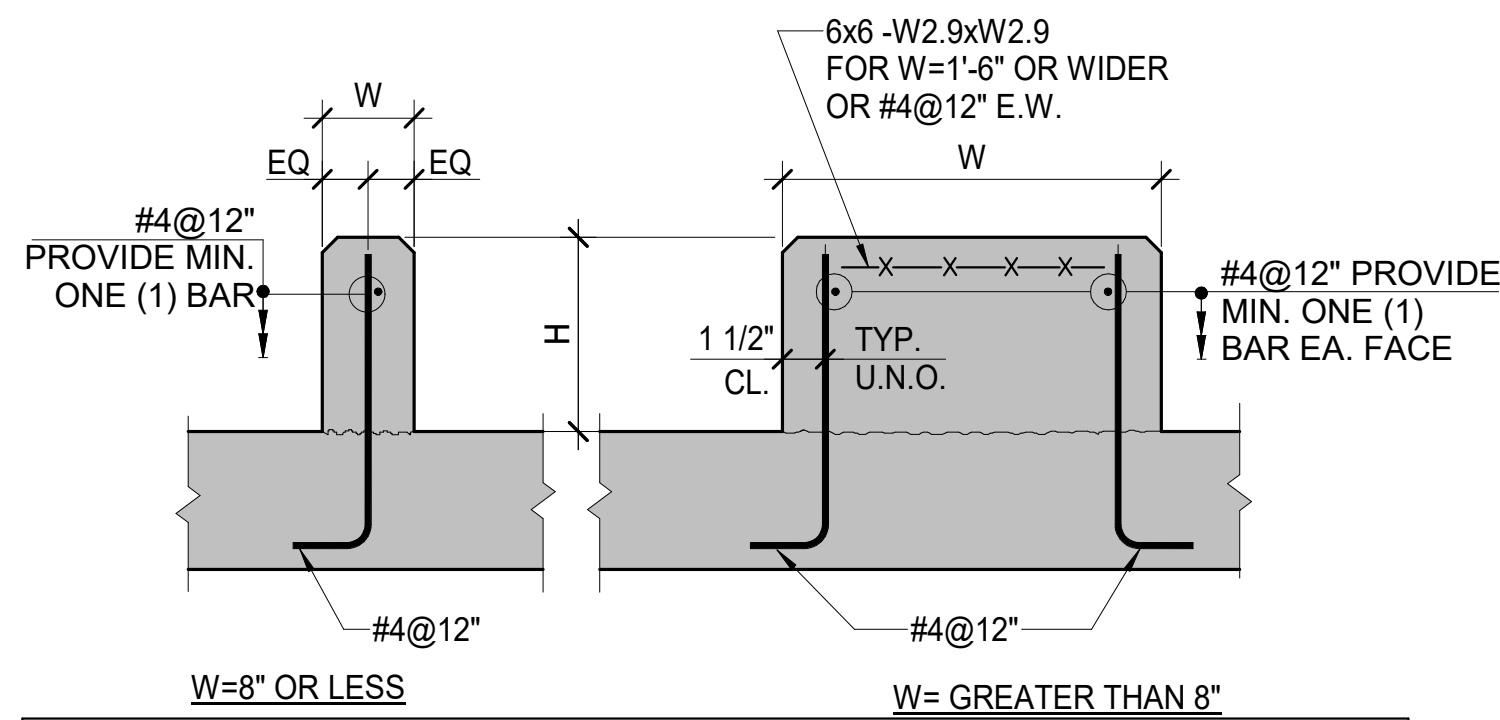


3 TYP. DETAIL - HORIZONTAL REINFORCEMENT AT WALL CORNERS
TWO REBAR CURTAINS SHOWN
SCALE: N.T.S.



NOTE: THIS DETAIL APPLIES TO SLAB AND WALL OPENINGS, REINFORCEMENT FOR WHICH HAS NOT BEEN SPECIFICALLY DETAILED WHEN SUCH DETAILS ARE PROVIDED ON THE STRUCTURAL DWG'S. REINF. SHOWN MUST BE SUPPLEMENTED WITH DIAGONAL CORNER REINF. SHOWN IN THIS DETAIL.

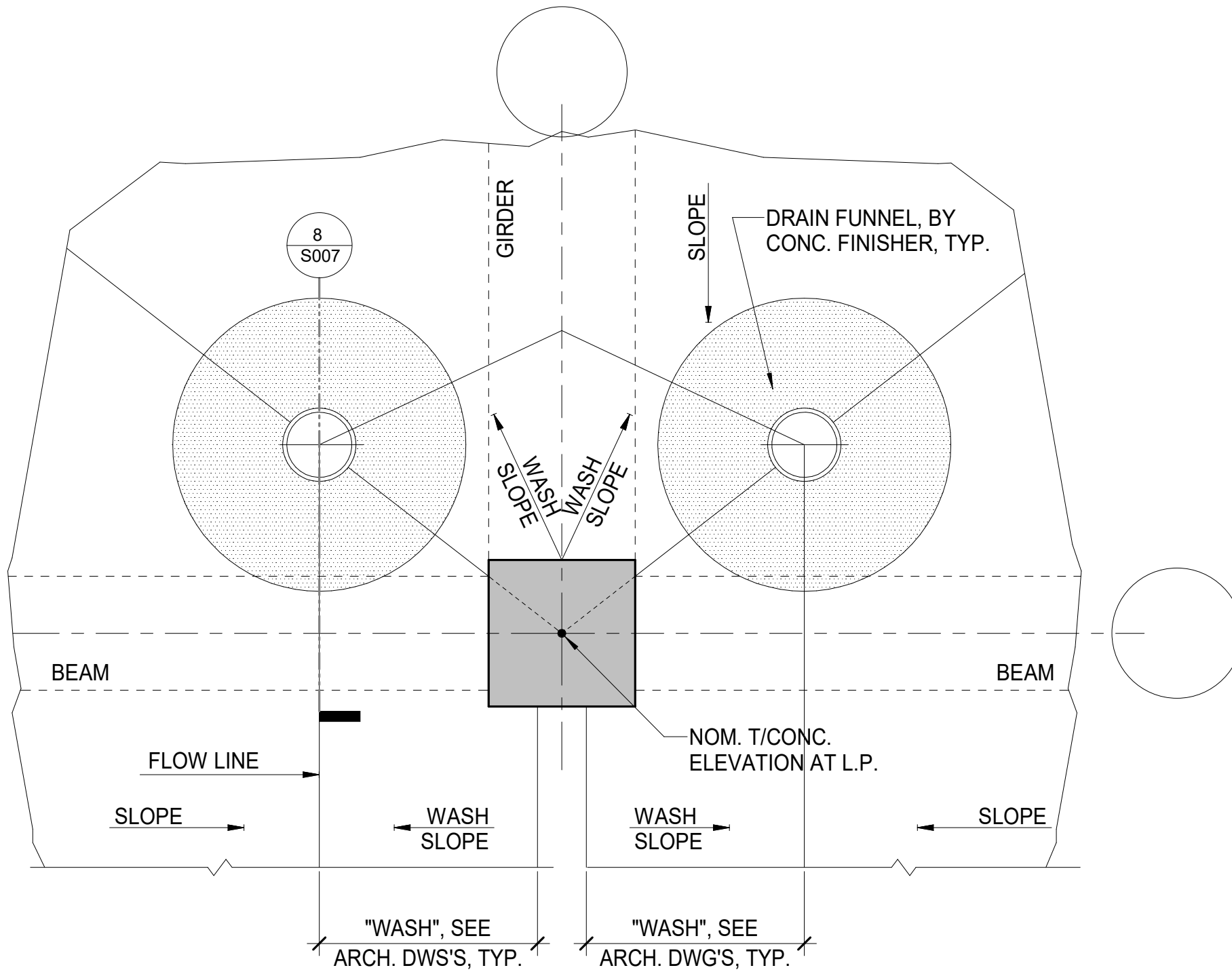
5 MIN. REINFORCEMENT AT SLAB OR WALL OPENINGS1
SCALE: N.T.S.



NOTES:

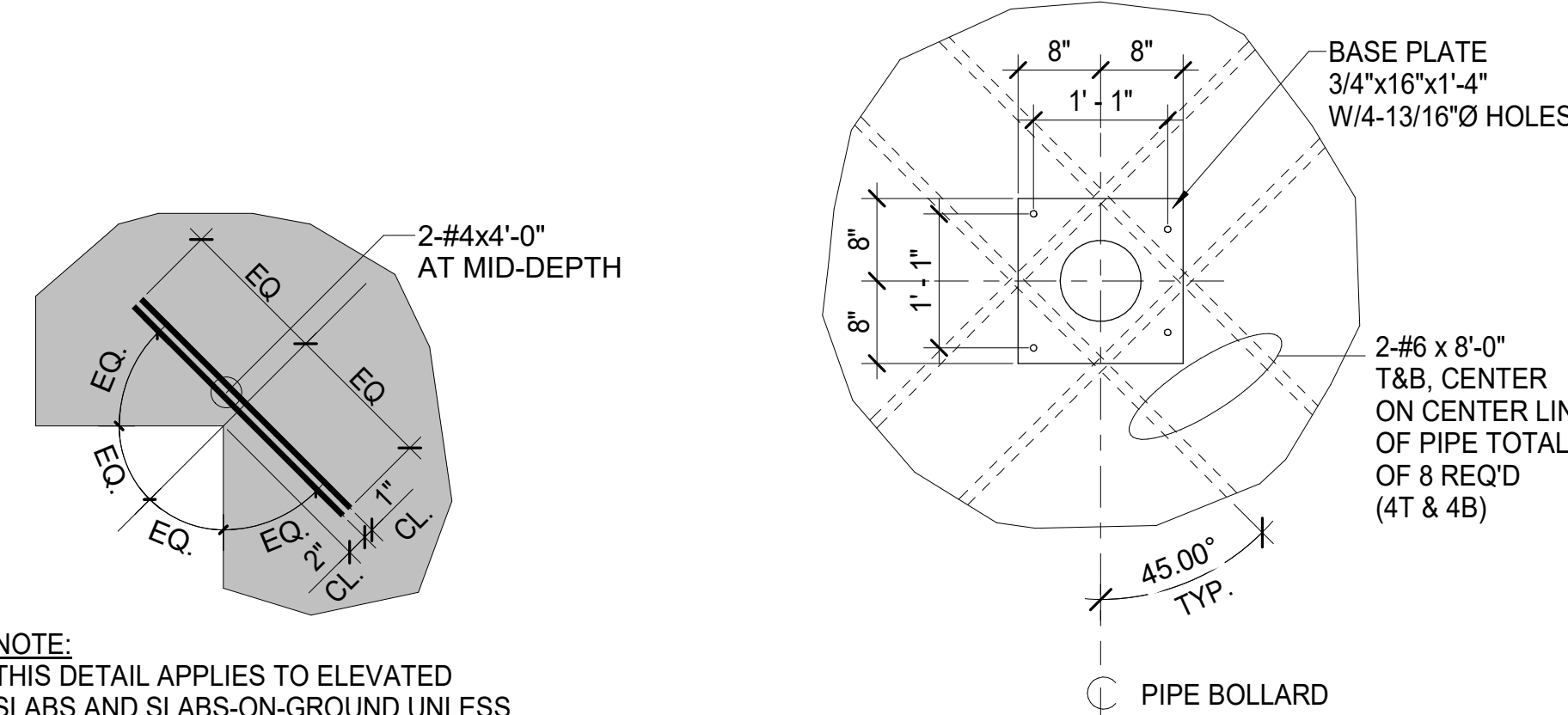
- FOR CURB W AND H DIMENSIONS SEE ARCH. DWG'S.
- MINIMUM PERMISSIBLE WIDTH W=4".
- CURBS WITH W=1'-6" AND WIDER REQUIRE TRANSVERSE TOOLED CONTROL JOINTS SPACED AT 10'-0" MAX. O.C.
- CURBS WITH WIDTHS (W) UNDER 10 FT. DO NOT REQUIRE LONGITUDINAL CONTROL JOINTS. FOR WIDER CURBS PROVIDE LONGITUDINAL TOOLED CONTROL JOINTS AT 10'-0" MAX.
- SEE TOOLED CONTROL JOINT, SEE TYPICAL DETAIL.

6 CONCRETE CURB DETAIL
SCALE: N.T.S.



- NOTES:
- FOR PLACEMENT AND QUANTITIES OF FLOOR DRAINS, SEE ARCHITECTURAL AND PLUMBING DRAWINGS.
 - PRESENCE OF A SECOND DRAIN AT CONDITION SHOWN IN THIS PLAN - DETAIL MAY NOT BE REQUIRED. TWO DRAINS ARE SHOWN FOR SCHEMATIC PURPOSES ONLY.

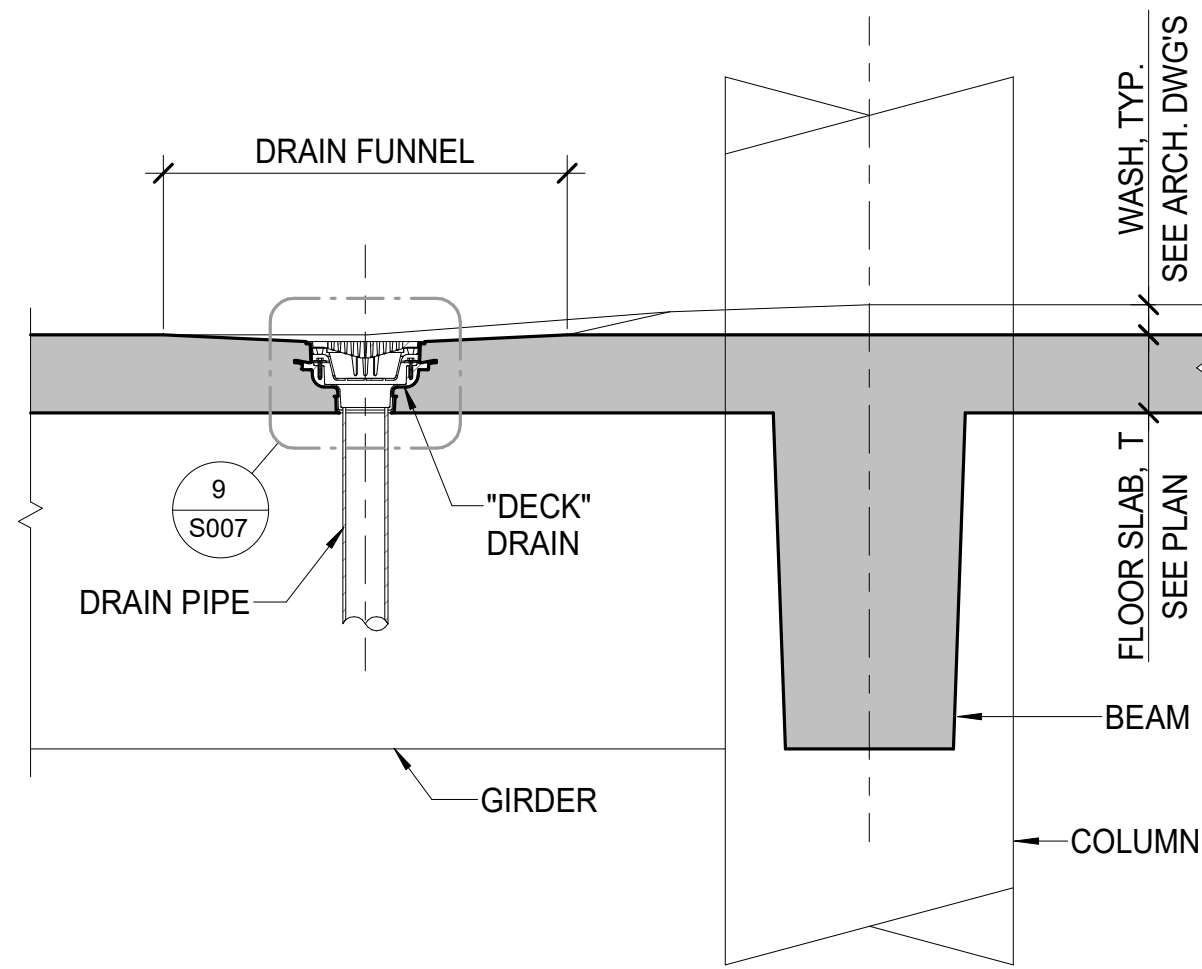
7 PARTIAL FLOOR PLAN AT INTERIOR DRAINS
WITH BEAMS AND GIRDER ROTATED 90°
SCALE: N.T.S.



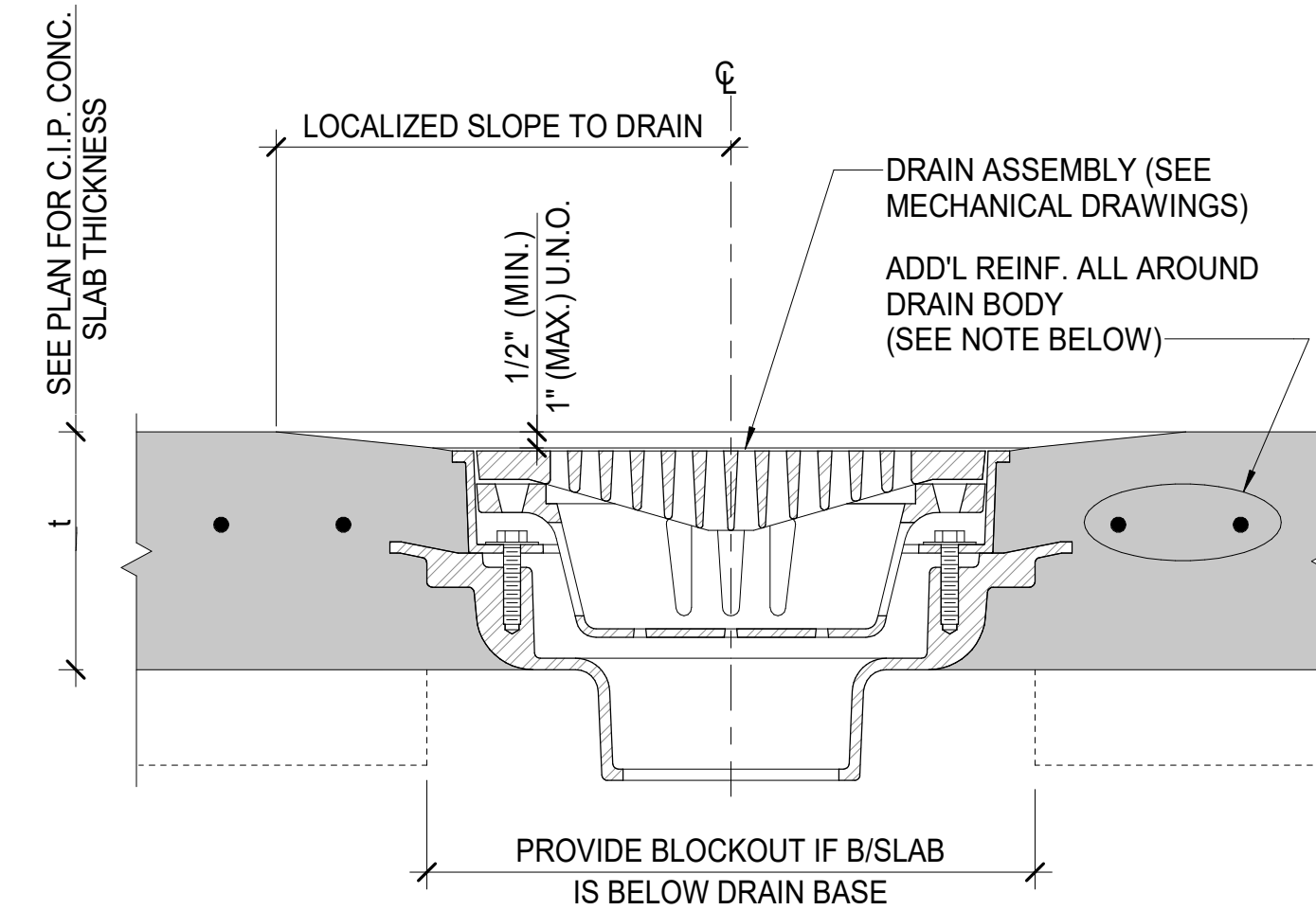
NOTE: THIS DETAIL APPLIES TO ELEVATED SLABS AND SLABS-ON-GROUND UNLESS MORE STRINGENT REQUIREMENTS APPLY PER DETAIL 5 / S007

4 TYP. RE-ENTRANT CORNER BARS
SCALE: N.T.S.

12 TYP. REMOVABLE PIPE-BOLLARD
SECTION
SCALE: N.T.S.

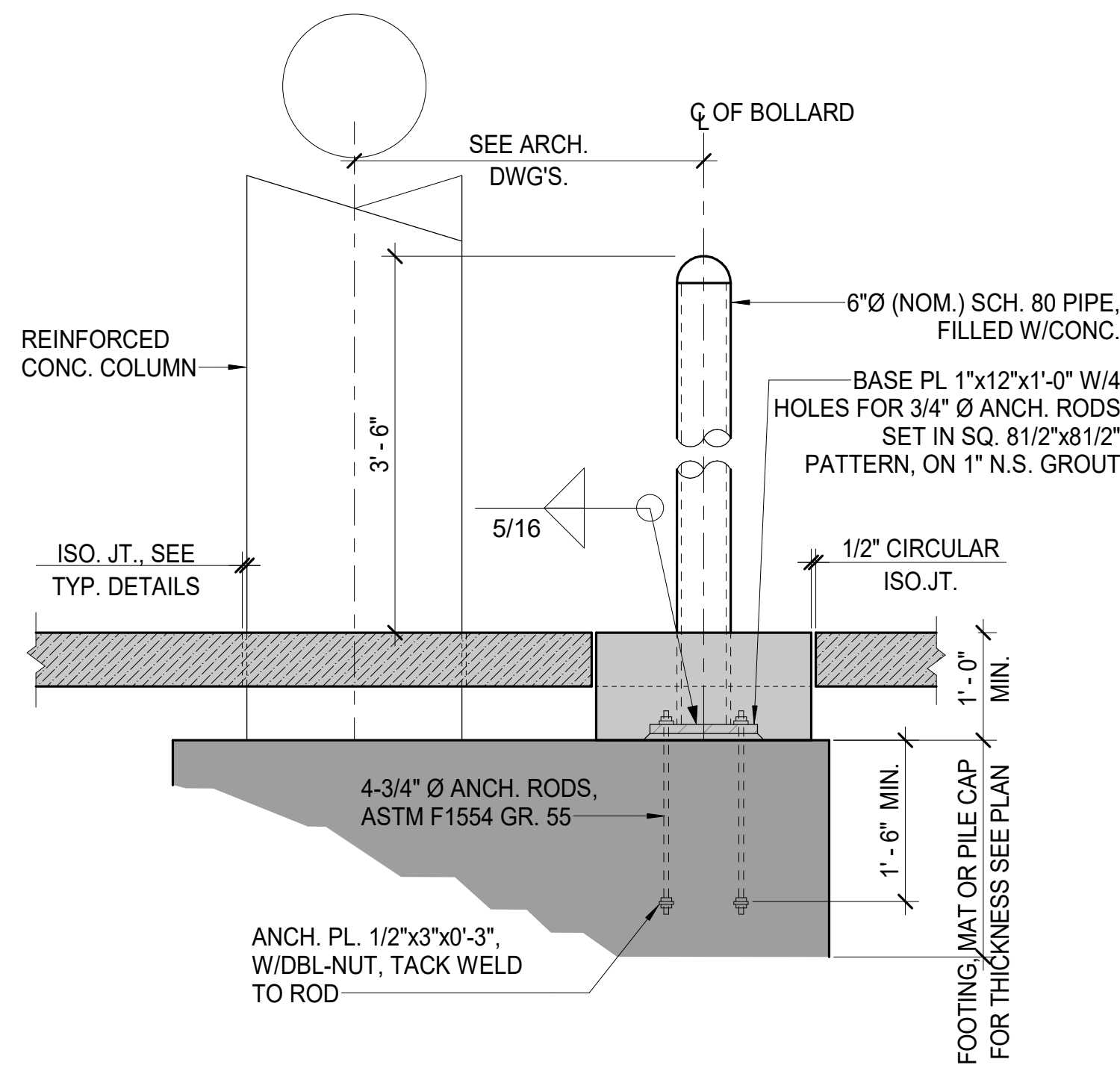


8 DRAIN SECTION
SCALE: N.T.S.

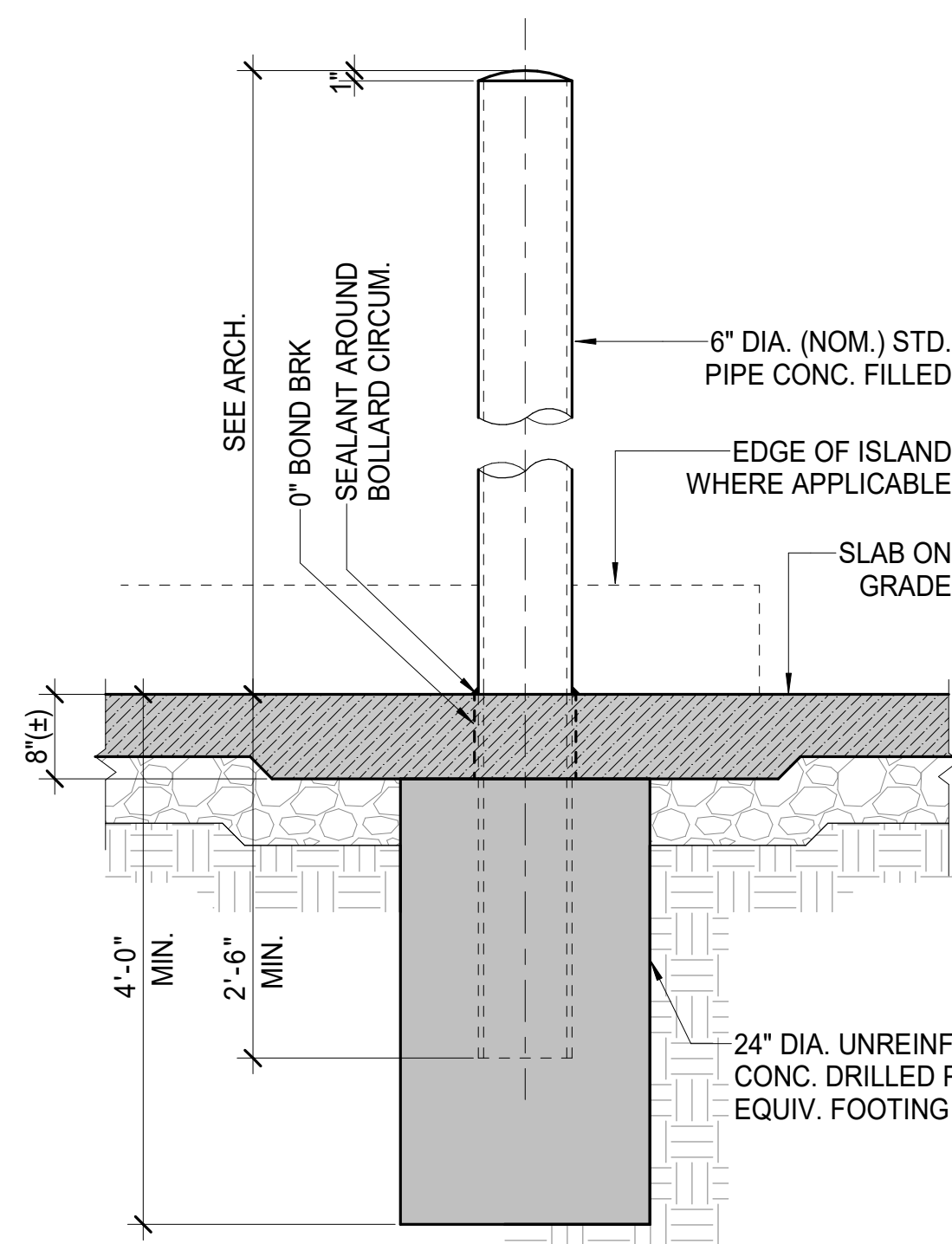


NOTE: FOR THE PURPOSES OF SLAB REINFORCING, THE FLOOR DRAIN LOCATION SHALL BE CONSIDERED A SLAB OPENING. PROVIDE ADDITIONAL REINFORCEMENT AS REQUIRED PER TYPICAL DETAIL 5, THIS DRAWING.

9 TYP. DECK DRAIN DETAIL
SCALE: N.T.S.

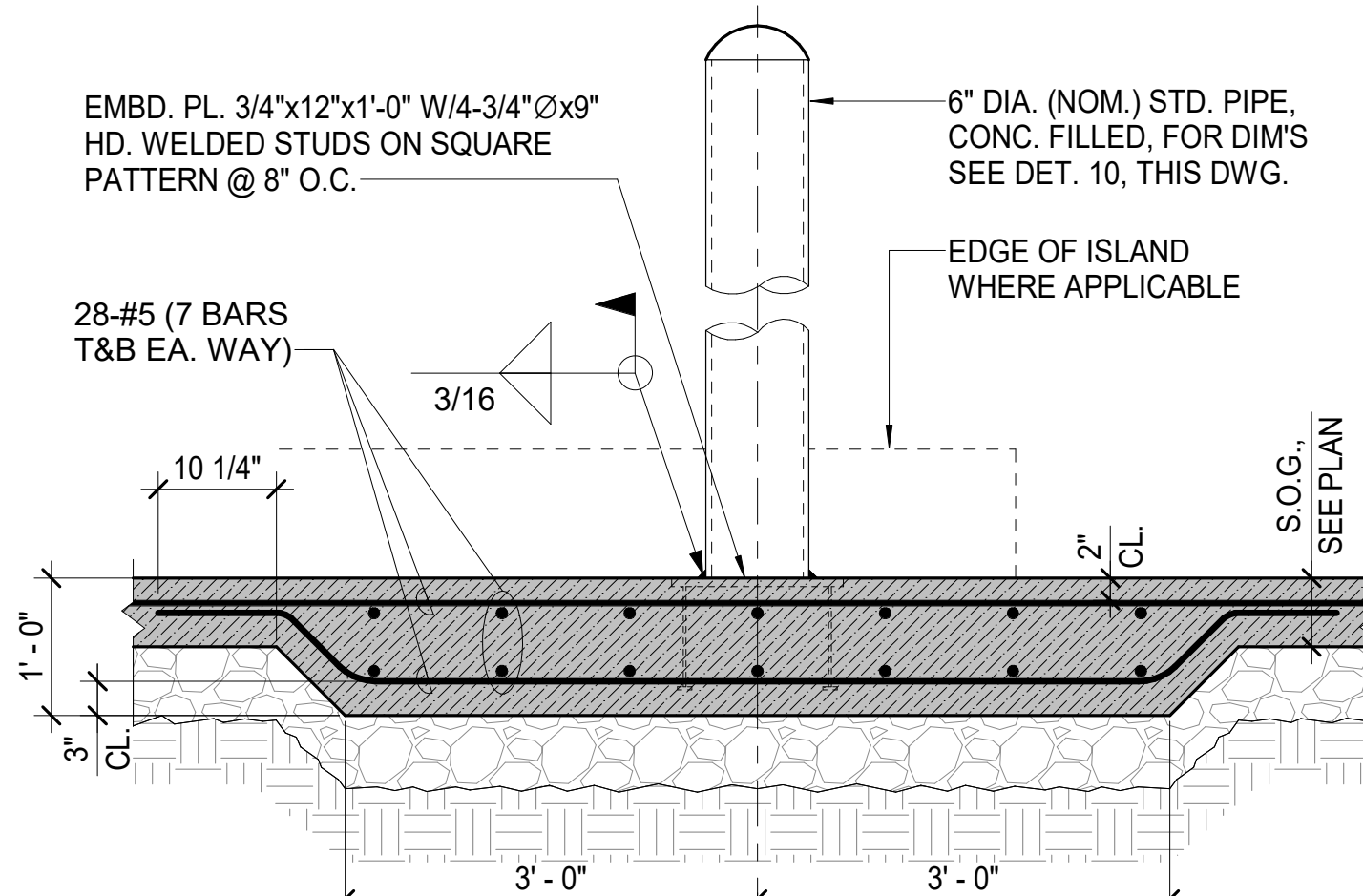


10 TYP. PIPE-BOLLARD DETAIL AT COL. FTG OR PILE CAP
PASSENGER VEHICLE IMPACT RESISTANT ONLY
SCALE: N.T.S.



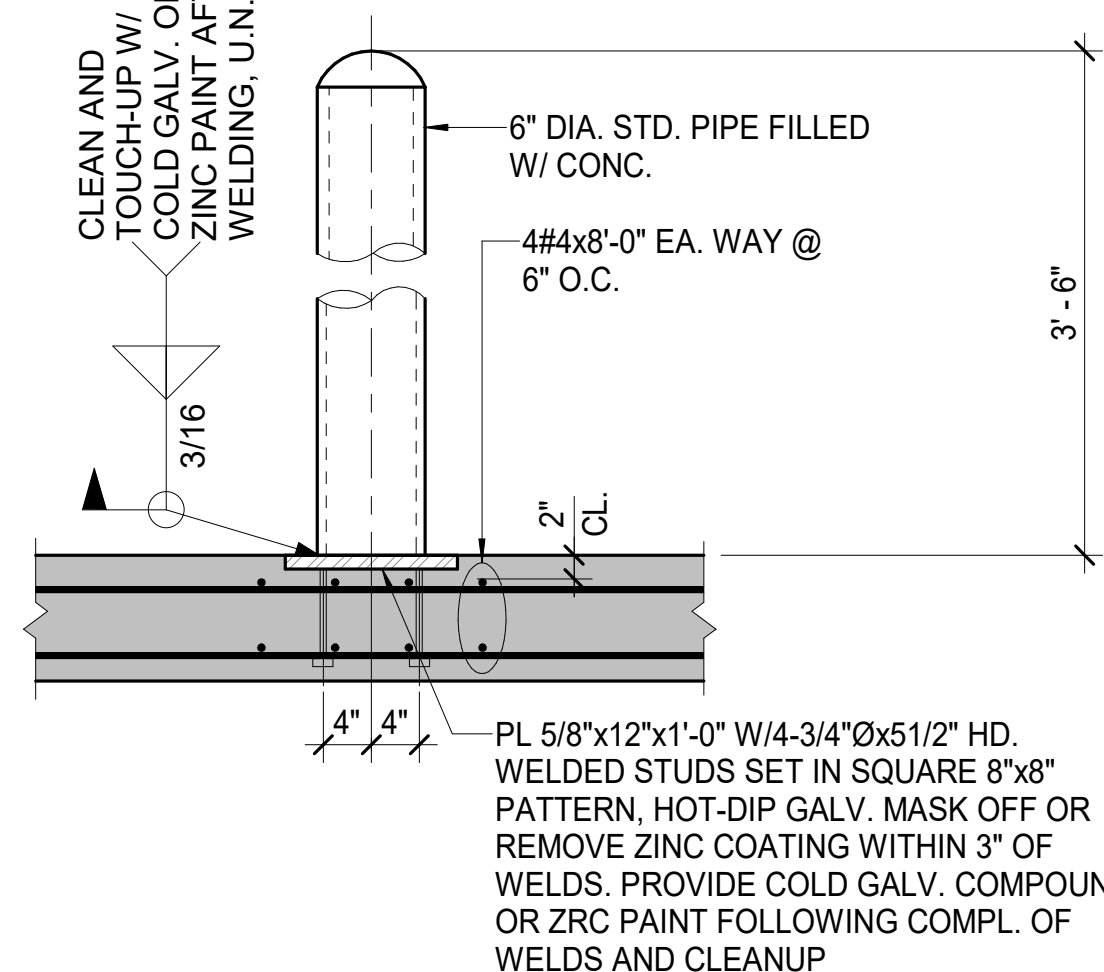
NOTE: THIS DETAIL SHALL BE DEEMED INADEQUATE FOR VEHICULAR IMPACT RESISTANCE WITHOUT SLAB-ON-GRADE IN PLACE

12.A TYP. PIPE-BOLLARD IN SLAB-ON-GRADE OR PAVEMENT
PASSENGER VEHICLE IMPACT RESISTANT ONLY
SCALE: N.T.S.

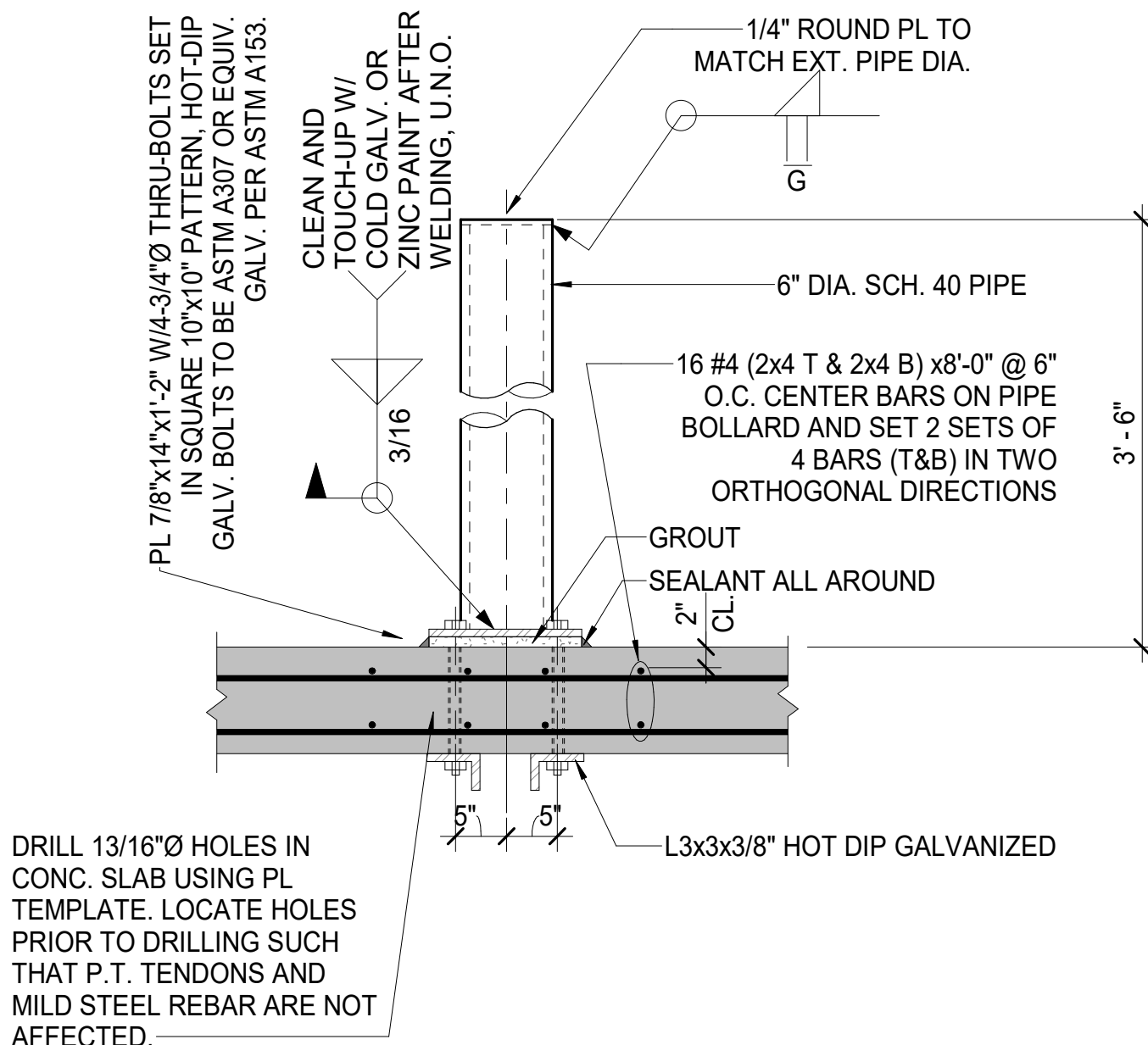


NOTE: NO SLAB CONTROL OR CONSTRUCTION JOINTS SHALL BE LOCATED WITHIN 5'-0" FROM BOLLARD CENTERLINE

12.B ALTERNATE PIPE-BOLLARD DETAIL ON SLAB-ON-GRADE
PASSENGER VEHICLE IMPACT RESISTANT ONLY
SCALE: N.T.S.



13. TYP. NON-REMOVABLE PIPE-BOLLARD DETAIL ON ELEVATED
SLAB PASSENGER VEHICLE IMPACT RESISTANT ONLY
SCALE: N.T.S.



14. TYP. REMOVABLE PIPE-BOLLARD DETAIL ON ELEVATED
SLAB PASSENGER VEHICLE IMPACT RESISTANT ONLY
SCALE: N.T.S.

NOT TO SCALE
DETAIL 1, THIS DRAWING

1. THIS DETAIL NEED NOT BE USED WHEN THE SUBJECT WALL IS PLACED BETWEEN INTEGRALLY BUILT INTERSECTING SIMILAR WALLS AND THE RESULTING HORIZONTAL SPAN DOES NOT EXCEED 36" T, WHERE T IS THE NOMINAL WALL THICKNESS.
2. THE FOLLOWING INFORMATION SHALL BE USED WITH THIS DETAIL FOR REINFORCED INTERIOR MASONRY PARTITIONS WITH THE MAXIMUM WIND PRESSURE OF 32 PSF AND NOT SUBJECT TO VEHICULAR (PASSENGER CAR) IMPACT.

MAXIMUM CONNECTION SPACING								
NOMINAL WALL THICKNESS	WALL HEIGHT (Feet)							
	8	9	12	15	18	20	22	24
4"	7'-0"	-	-	-	-	-	-	-
6"	9'-0"	↔	9'-0"	8'-0"	7'-6"	-	-	-
8"	11'-0"	↔	↔	11'-0"	9'-6"	9'-6"	-	-
10"	13'-0"	↔	↔	13'-0"	11'-0"	↔	11'-0"	-
12"	14'-6"	↔	↔	↔	14'-6"	12'-0"	↔	12'-0"

3. EXTERIOR MASONRY WALLS SUBJECT TO VEHICULAR IMPACT AND WIND LOADS IN EXCESS OF 5 PSF SHALL BE REINFORCED. TOPS OF SUCH WALLS MAY NOT BE BRACED FOR WALL HEIGHTS NOT EXCEEDING RESPECTIVE LIMITS FOR CANTILEVER WALLS IN SCHEDULES BELOW. WHEN BRACED AT TOP AND BOTTOM IN ACCORDANCE WITH DETAIL 1, THIS DRAWING, HEIGHT OF SUCH WALLS SHALL NOT EXCEED THE FOLLOWING LIMITS:

8" THICK --- 20'-0"
10" THICK --- 22'-0"
12" THICK --- 24'-0"

4. THE FOLLOWING REINFORCEMENT INFORMATION SHALL APPLY TO EXTERIOR C.M.U. WALLS SUBJECT TO WIND OR VEHICULAR (PASSENGER CAR) IMPACT AS APPLICABLE. THE MOST STRINGENT OF THE APPLICABLE CONDITIONS SHALL APPLY. LATERAL LOADS USED ARE AT STRENGTH LEVEL.

NOMINAL WALL THICKNESS, T	VEHICULAR IMPACT 10,000 lbs - WALL HEIGHT, MAX (FT)					
	CANTILEVER			BRACED		
	9	10	11	20	22	24
8"	#5@8"	-	-	#4@8"	-	-
10"	#5@16"	#5@16"	-	#5@16"	#5@16"	-
12"	#5@24"	#5@24"	#5@24"	#5@24"	#5@24"	#5@24"

NOMINAL WALL THICKNESS	WIND LOAD 32 PSF - WALL HEIGHT, MAX (FT)					
	CANTILEVER					
	6	7	8	9	10	11
4"	#4@24"	-	-	-	-	-
6"	#4@48"	#4@32"	#4@24"	-	-	-
8"	#4@48"	#4@48"	#4@40"	#4@24"	-	-
10"	#4@48"	#4@48"	#4@48"	#4@40"	#4@32"	-
12"	#4@48"	#4@48"	#4@48"	#4@48"	#4@40"	#4@32"

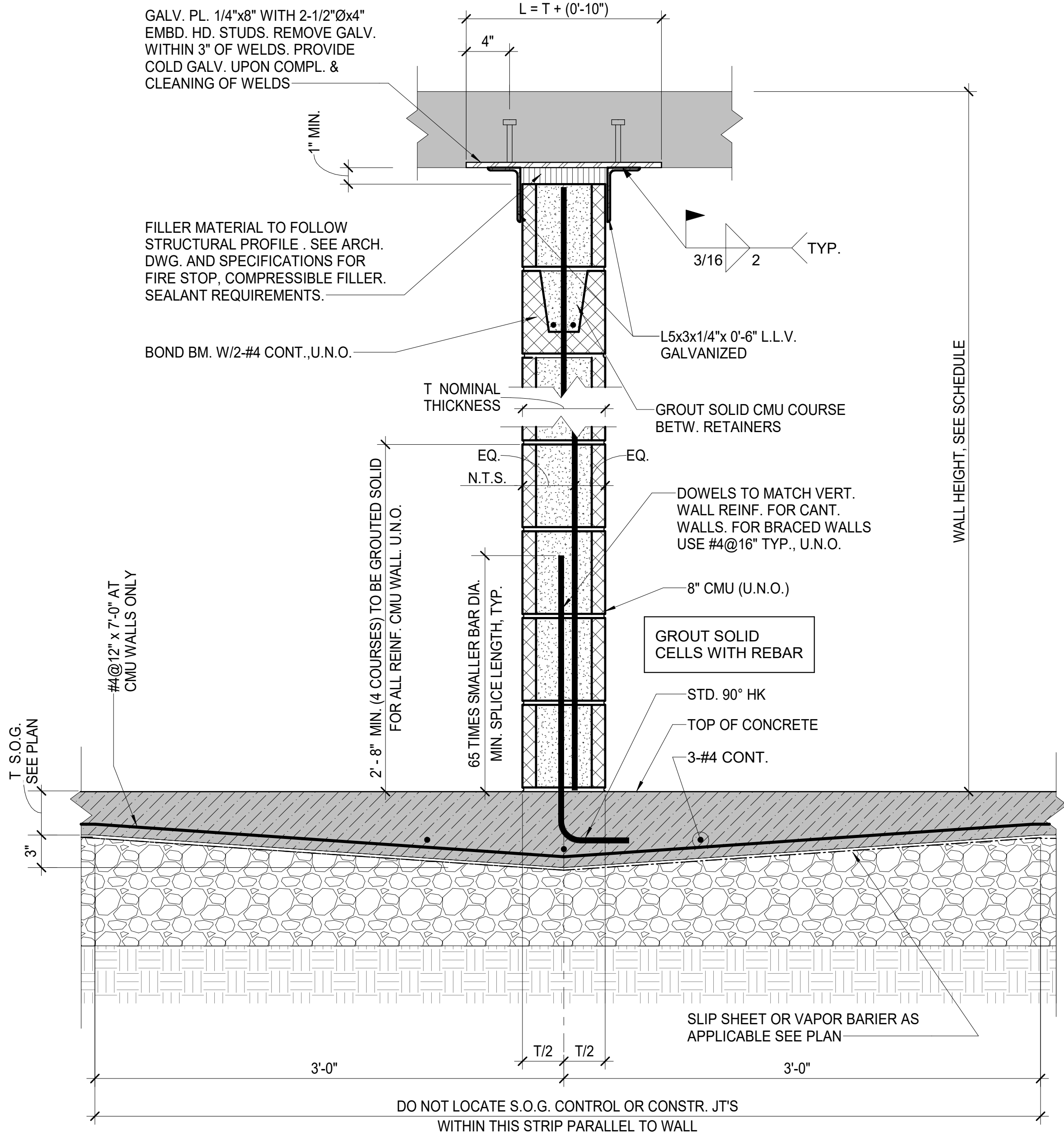
TALLER CANTILEVER WALLS NOT REFLECTED IN THESE TABLES ARE SPECIFICALLY DETAILED ON THE DRAWINGS.

WIND LOAD 32 PSF - WALL HEIGHT, MAX (FT)							
NOMINAL WALL THICKNESS	BRACED						
	10	12	15	18	20	22	24
4"	#4@24"	-	-	-	-	-	-
6"	#4@48"	#4@40"	#5@24"	#5@8"	-	-	-
8"	#4@48"	#4@48"	#4@40"	#4@24"	#5@16"	-	-
10"	#4@48"	#4@48"	#4@48"	#4@32"	#5@40"	#5@32"	-
12"	#4@48"	#4@48"	#4@48"	#4@40"	#4@32"	#5@40"	#5@32"

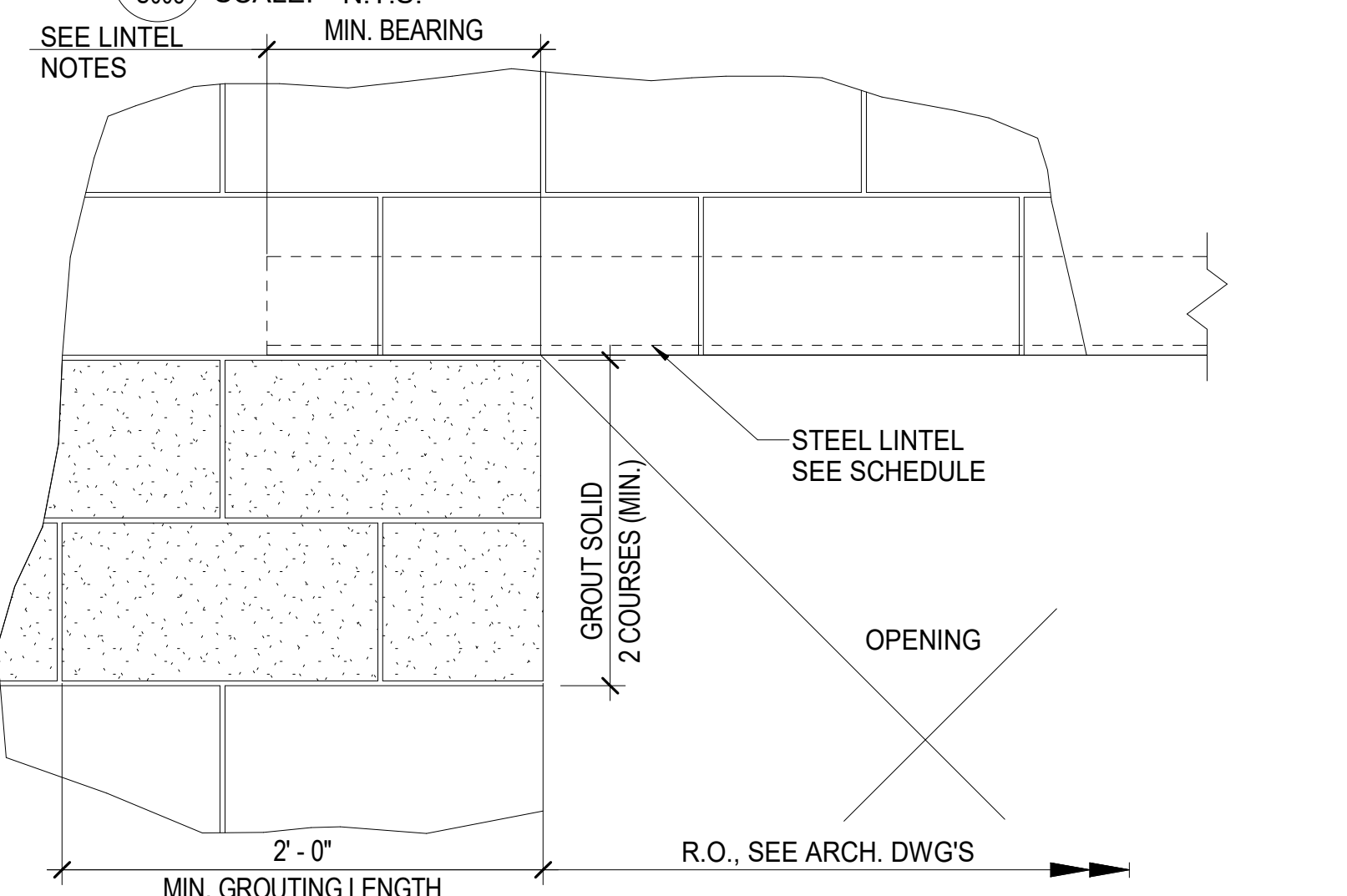
5. INTERIOR MASONRY PARTITIONS SUBJECT TO OBC '17 PAR. 1607.14 DESIGNED FOR LATERAL LOAD OF 5 PSF SHALL NOT EXCEED 12 FT FOR CANTILEVER ARRANGEMENT OR 24 FT FOR BRACED ARRANGEMENT. ALL SUCH PARTITIONS TALLER THAN 10 FT SHALL NOT BE LESS THAN 8" NOM. IN THICKNESS AND SHALL BE REINFORCED WITH #4@48" VERTICAL REINFORCEMENT. ADEQUACY OF THESE PARTITIONS FOR ANY ADDITIONAL LOADING NOT AVAILABLE AT THE TIME OF DESIGN SHALL BE VERIFIED BY THE ARCHITECT PRIOR TO CONSTRUCTION.

6. TOP OF WALL BRACING CONNECTIONS FOR EXTERIOR MASONRY WALLS SUBJECT TO VEHICULAR IMPACT AND WIND LOADS, WHEN REQUIRED, SHALL NOT BE SPACED FURTHER APART THAN 5'-0".

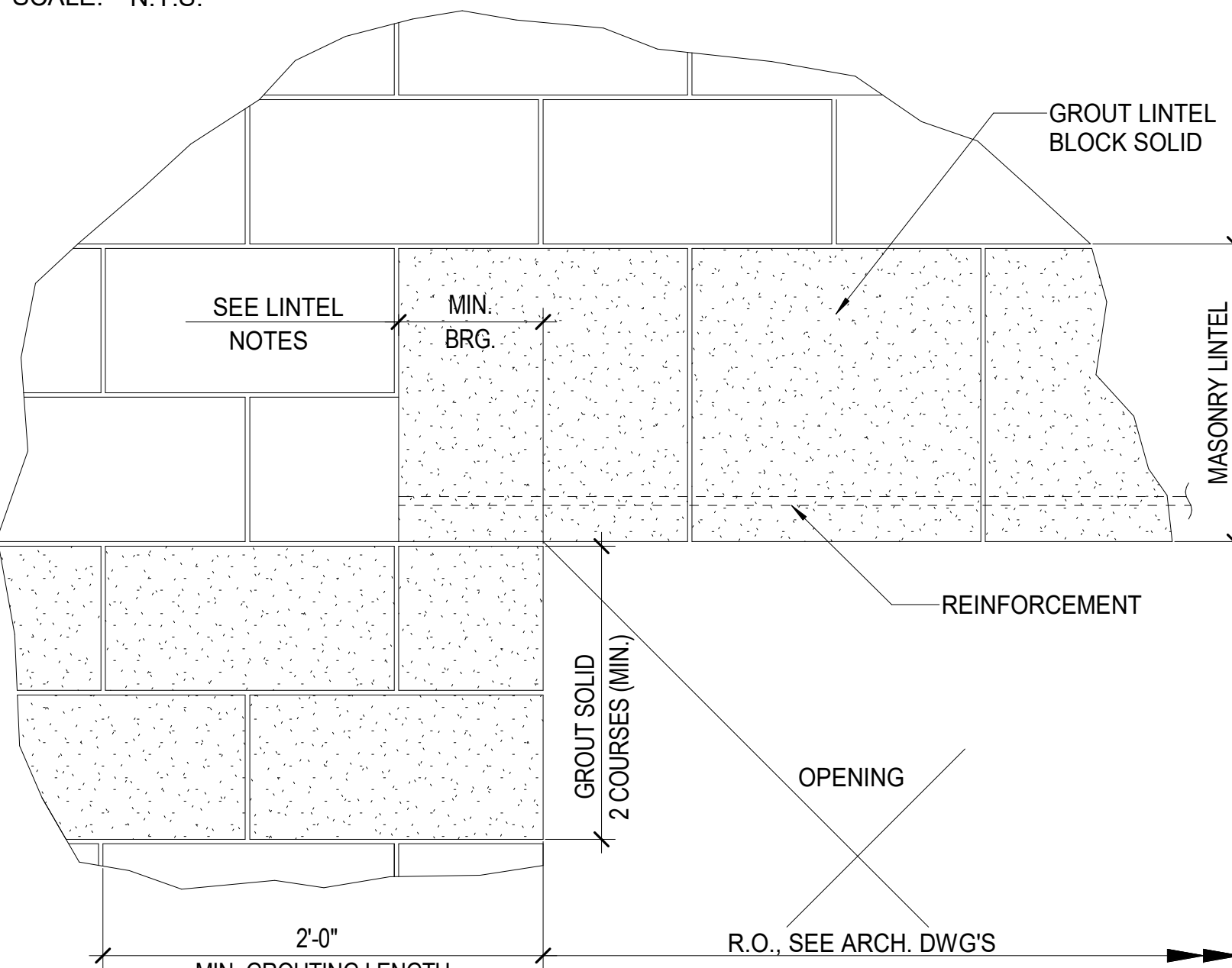
7. ALL EXTERIOR MASONRY WALLS SUBJECT TO VEHICULAR IMPACT AT PARKING AREAS OR DRIVE AISLES SHALL BE FULLY GROUTED FROM THE BEARING UP TO A HEIGHT OF 2'-8" (+/-) ABOVE FINISHED FLOOR.



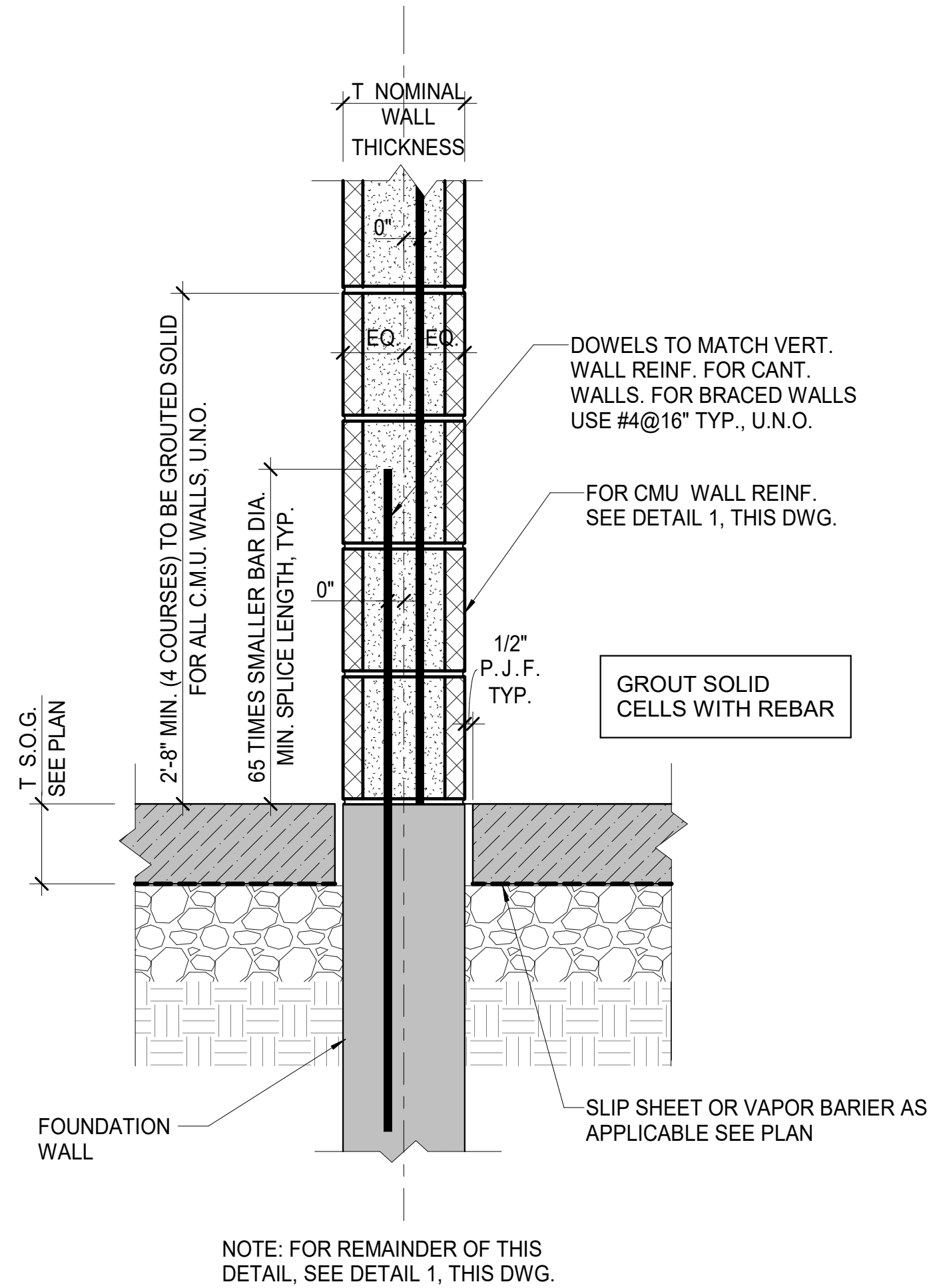
1 TYP. NON-LOAD BEARING CMU WALL DETAIL AT S.O.G. SLAB



4 BEARING DETAIL STEEL LINTEL IN CMU WALL_053024

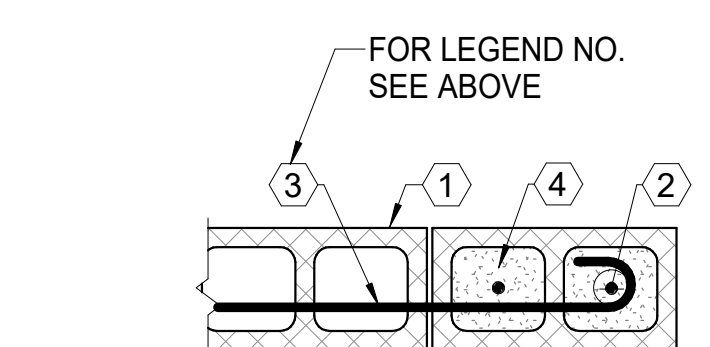


5 BEARING DETAIL MASONRY LINTEL IN CMU WALL_053024

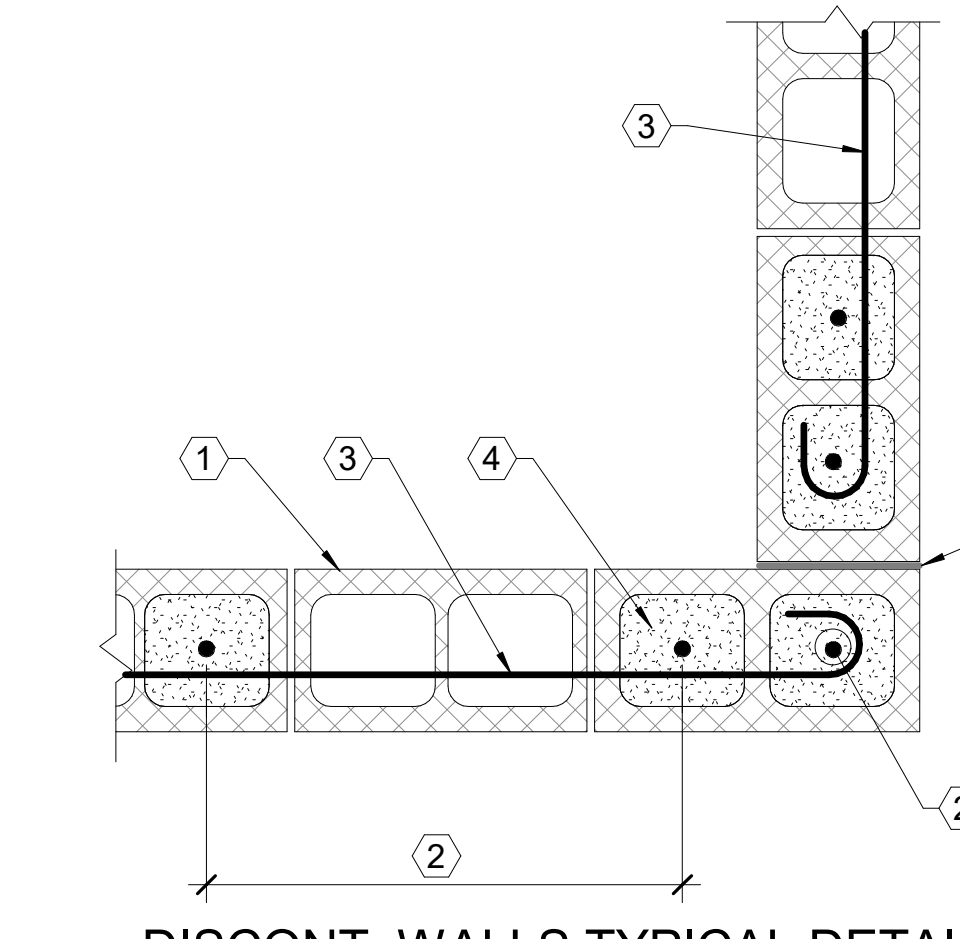


1A TYP. CMU ON FOUNDATION WALL DETAIL

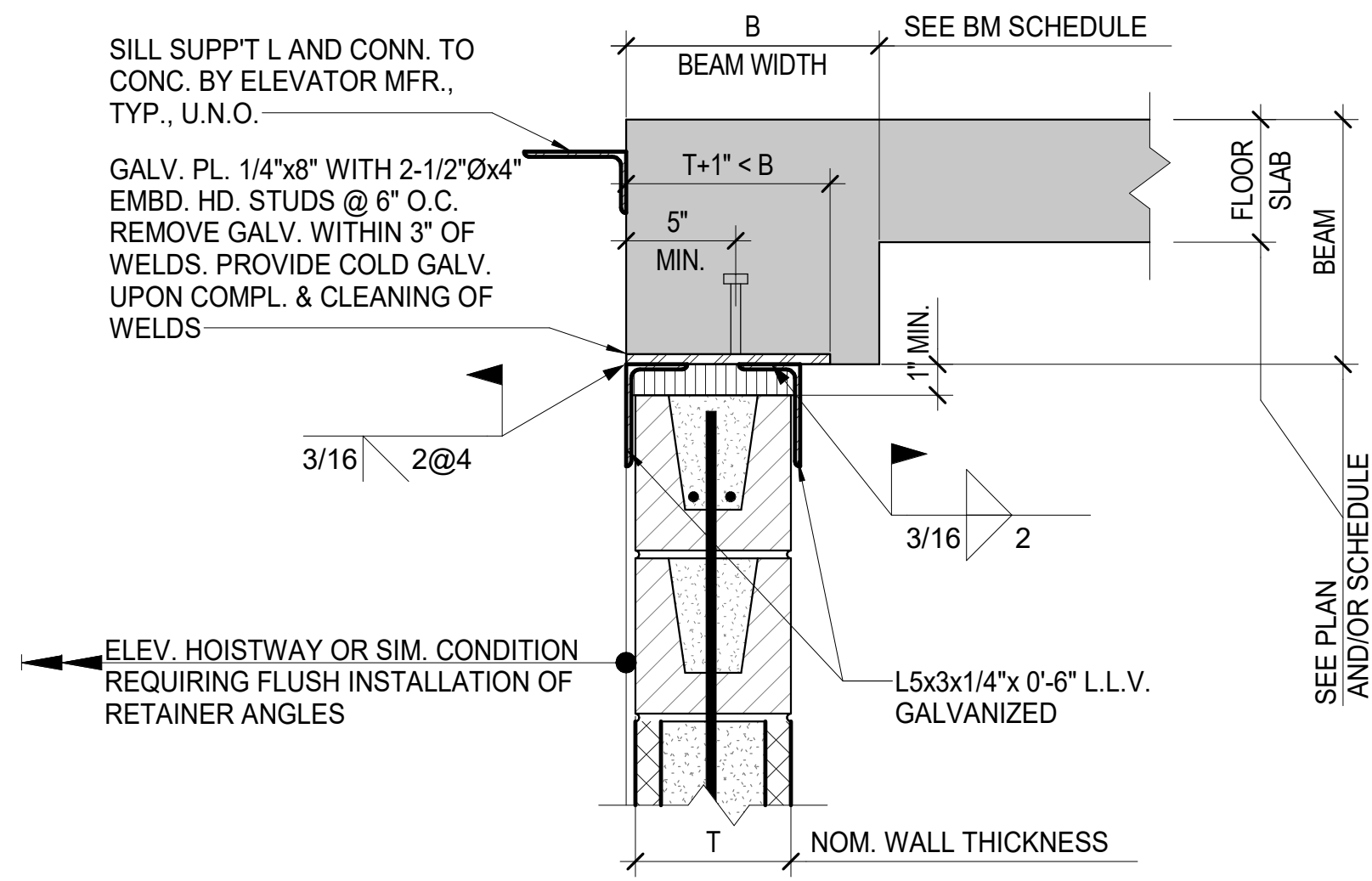
- LEGEND FOR DETAILS 6 THROUGH 9, THIS DWG.:
1. STRUCTURAL C.M.U.
 2. VERTICAL REBAR SCHEDULED. PROVIDE MIN. OF 2 IN GROUTED ADJ. CELLS AT DISCONT. ENDS AND CORNERS.
 3. HORIZONTAL REINF. IN BOND BEAMS, WHERE SHOWN
 4. GROUT
 5. EXP. JT. OR CONTROL JT. STRIP. ADHERE TO ONE SIDE.



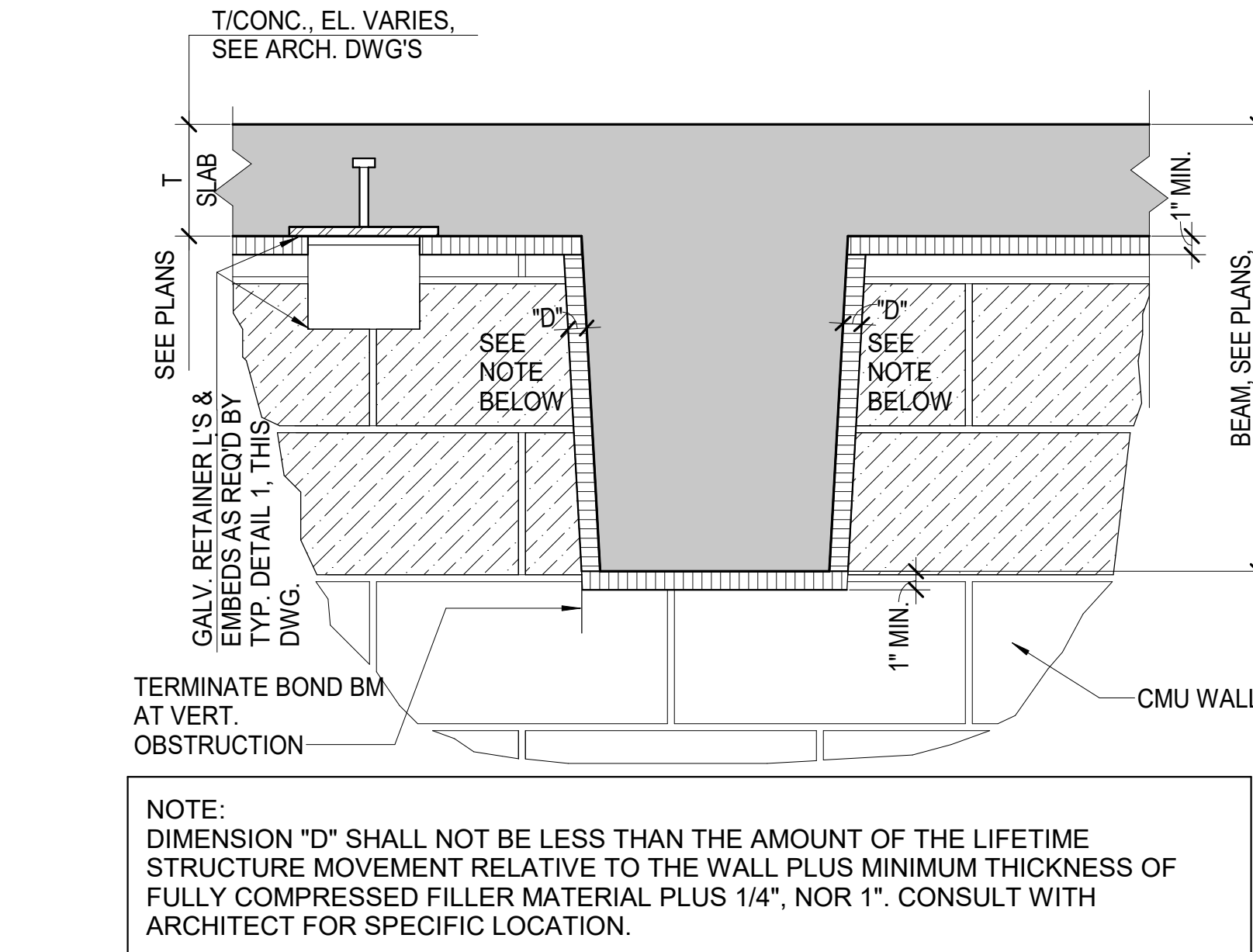
6 TYP. DETAIL. DISCONT. END OF CMU WALL_053024



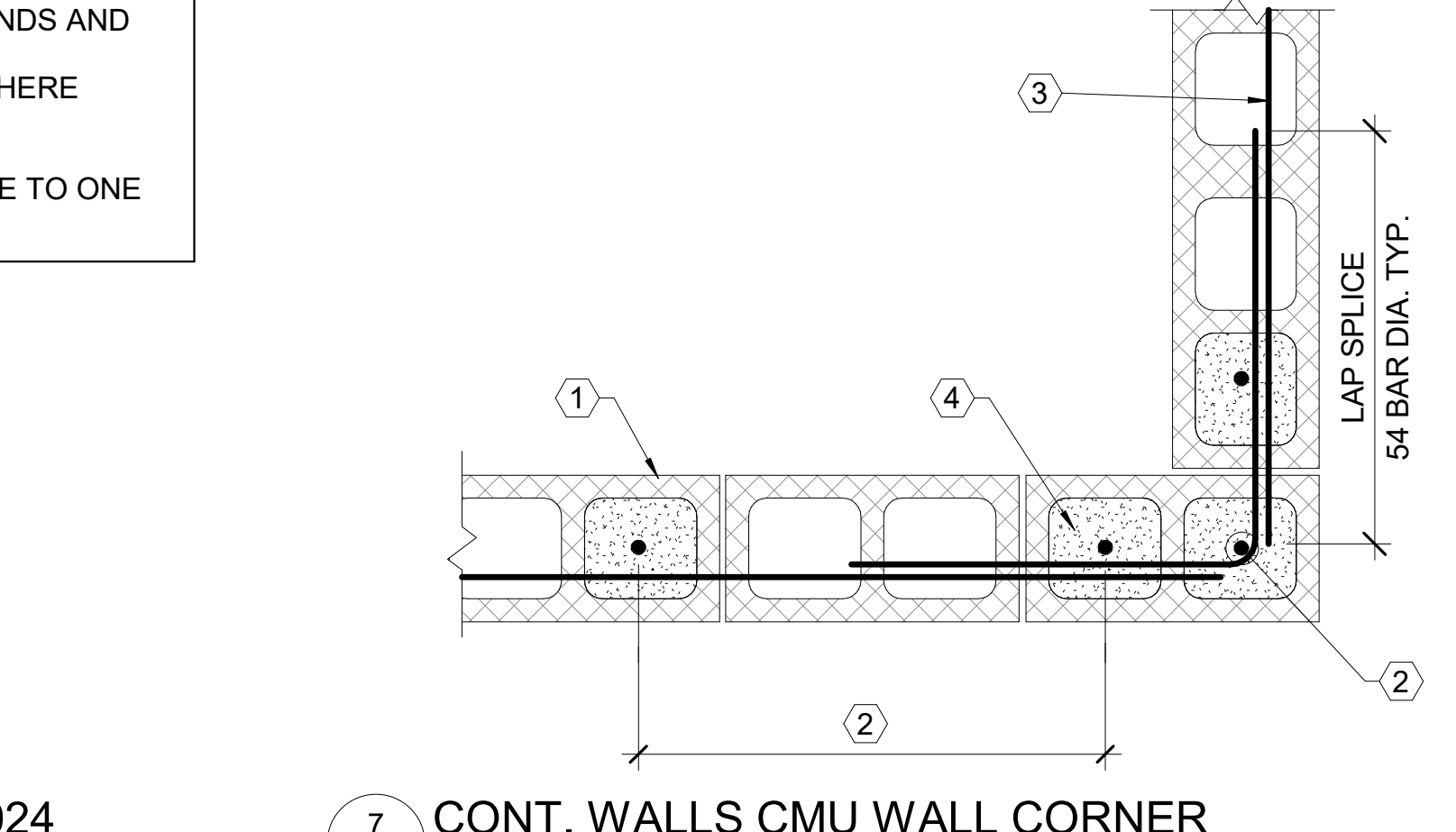
8 DISCONT. WALLS TYPICAL DETAIL CMU WALL CORNER



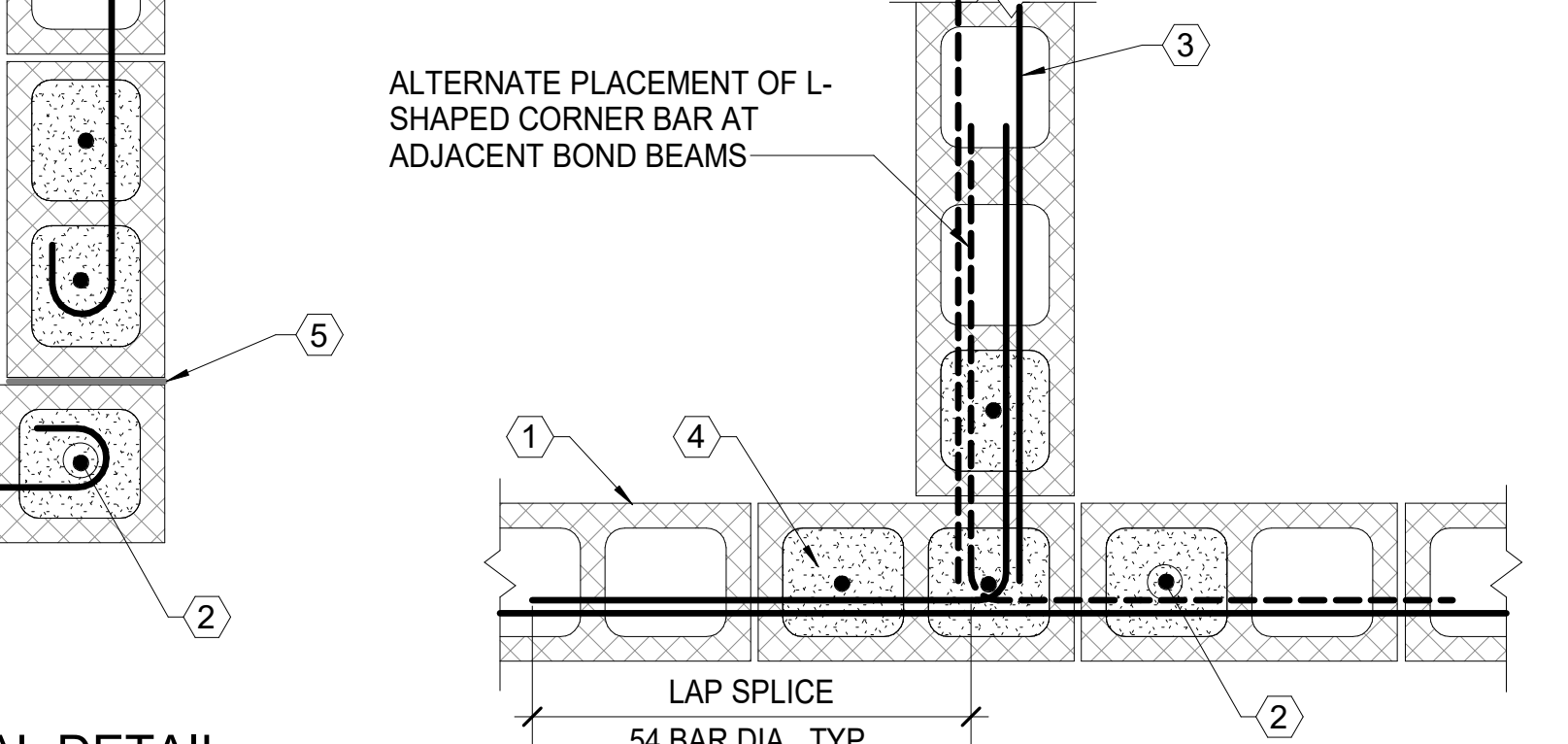
2 OPTIONAL WALL HEAD RETAINERS CONN. DETAIL_053024



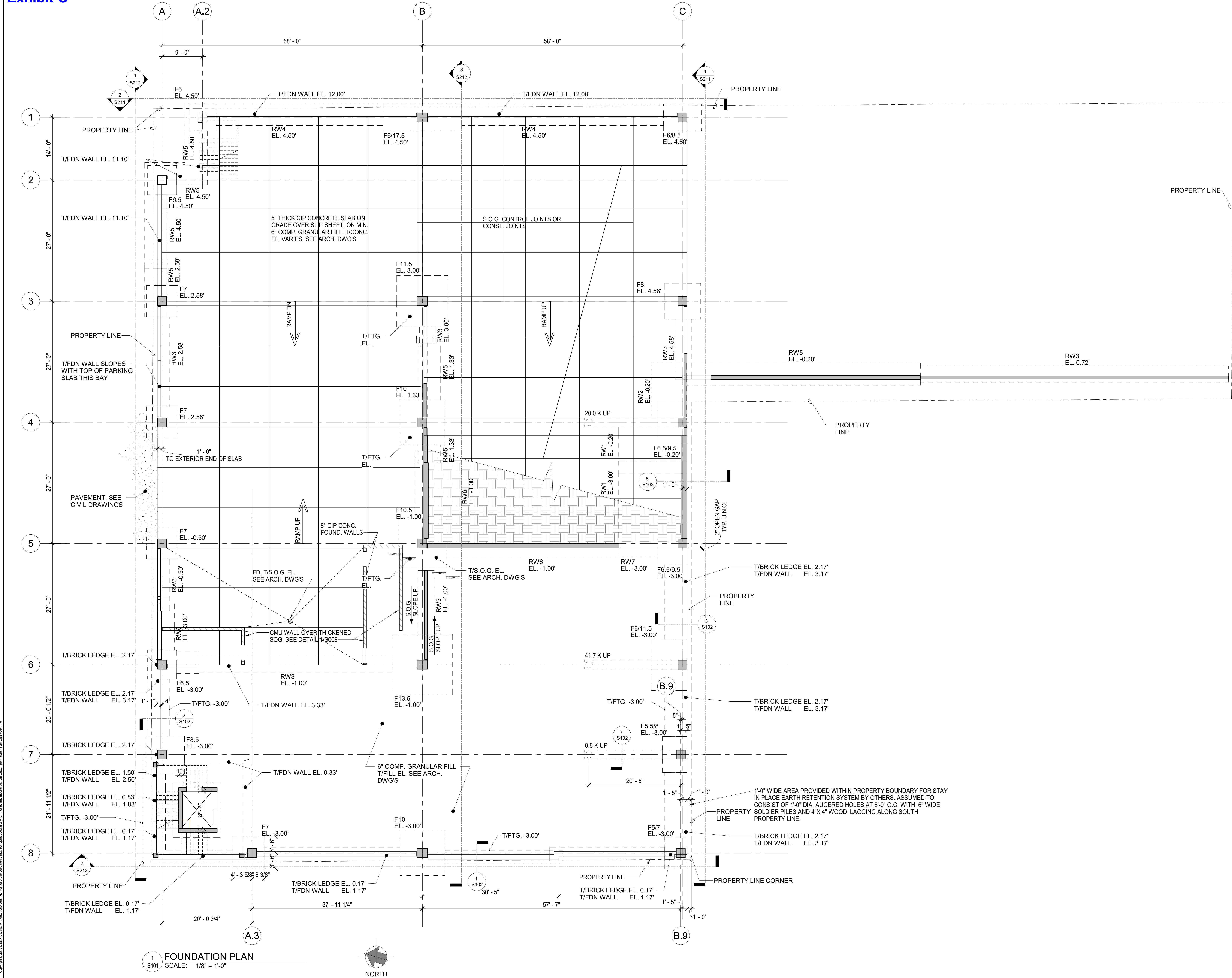
3 PARTIAL WALL ELEVATION AT VERTICAL OBSTRUCTION_053024



7 CONT. WALLS CMU WALL CORNER



9 TYPICAL DETAIL CMU WALL INTERSECTION



DES MAN

McHUGH

125 YEARS

EST. 1897

DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE

304 HILL STREET, EAST DUNDEE, IL 60118

STATE OF ILLINOIS

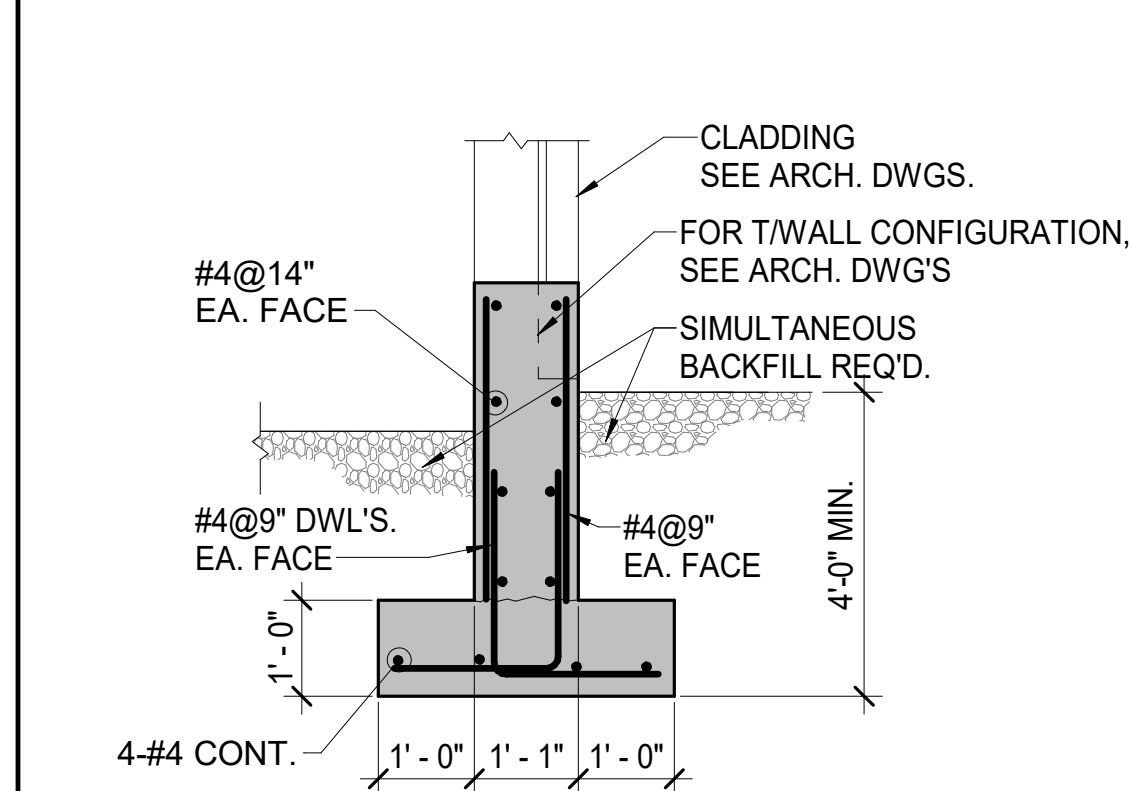
STEPHEN J. REBORA

PROFESSIONAL ARCHITECT

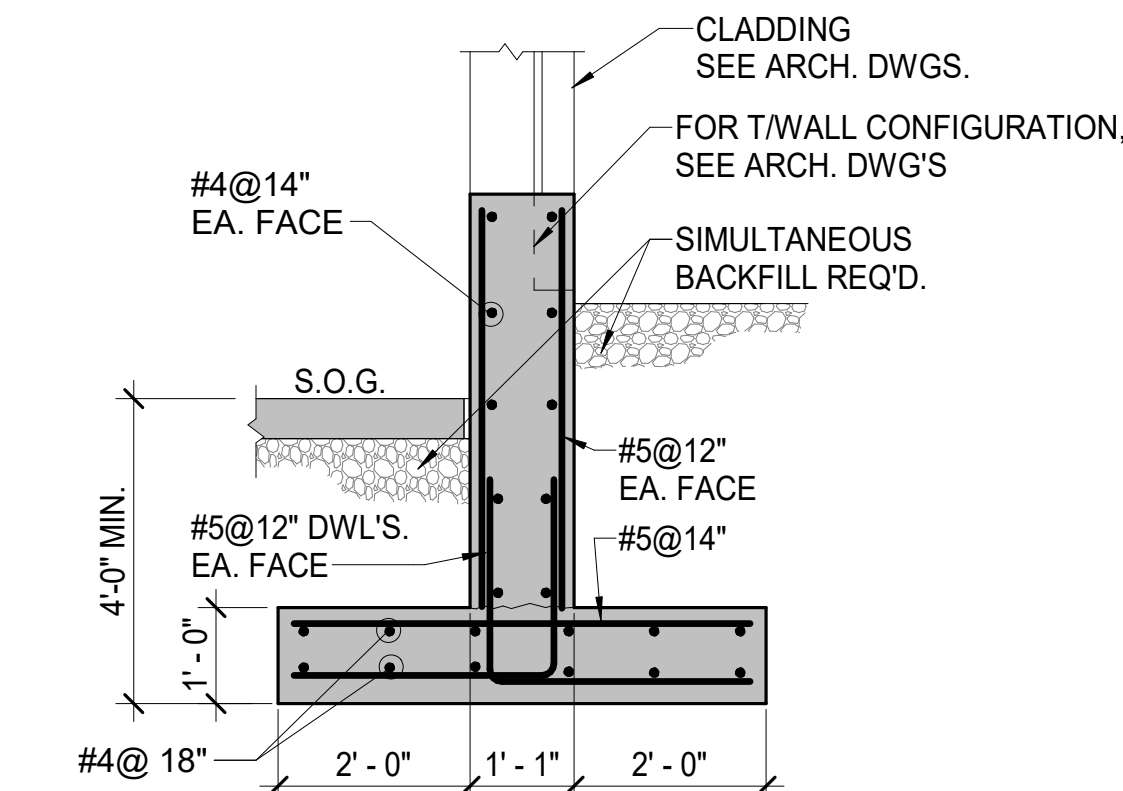
EXPIRATION DATE: 11/25

ISSUE

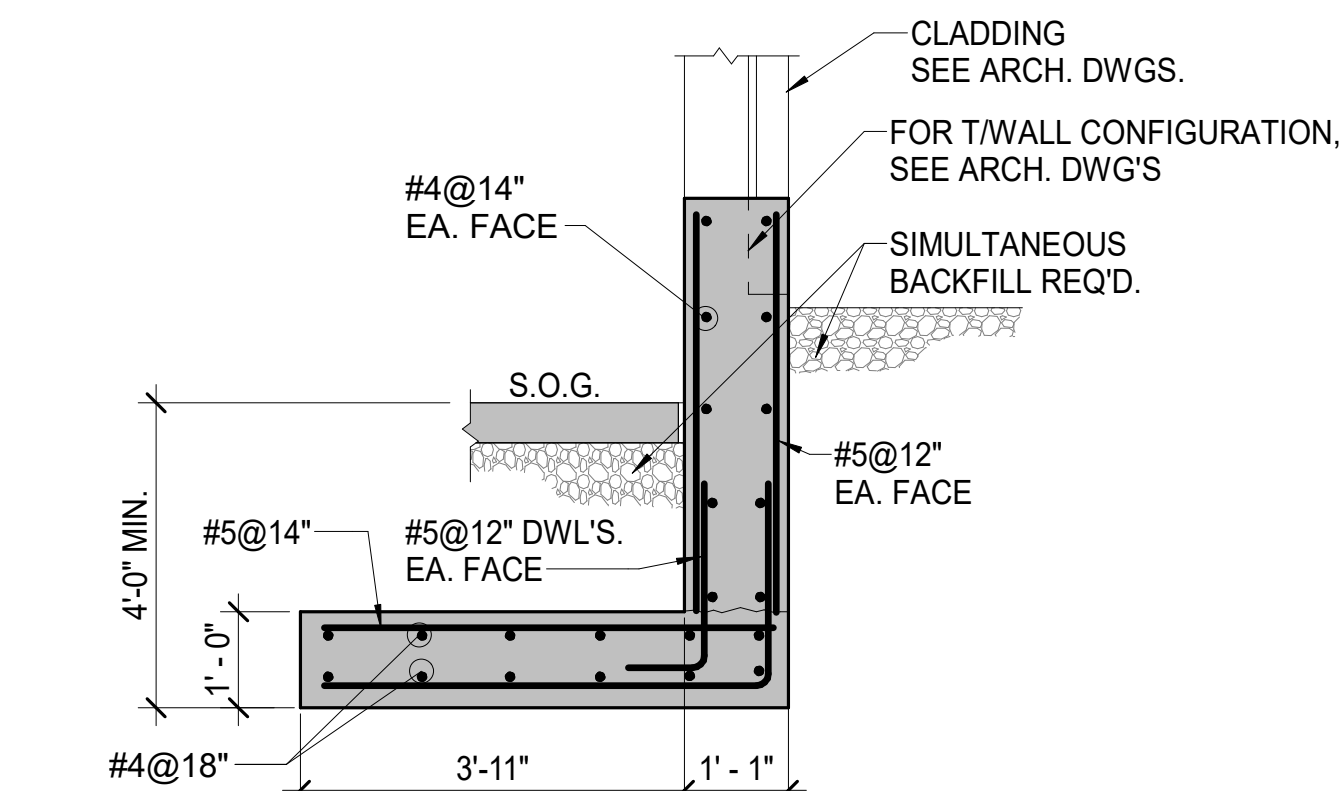
NO.	DESCRIPTION	DATE
DRAWING TITLE: FOUNDATION AND GRADE LEVEL PLAN		
DRAWING NO: S101		
SCALE: 1/8" = 1'-0"		
DATE: ISSUED FOR PERMIT DEC-24		
PROJECT NO: 50-24102		
DES. Designer	RWN. Author	CHK'D. Checker



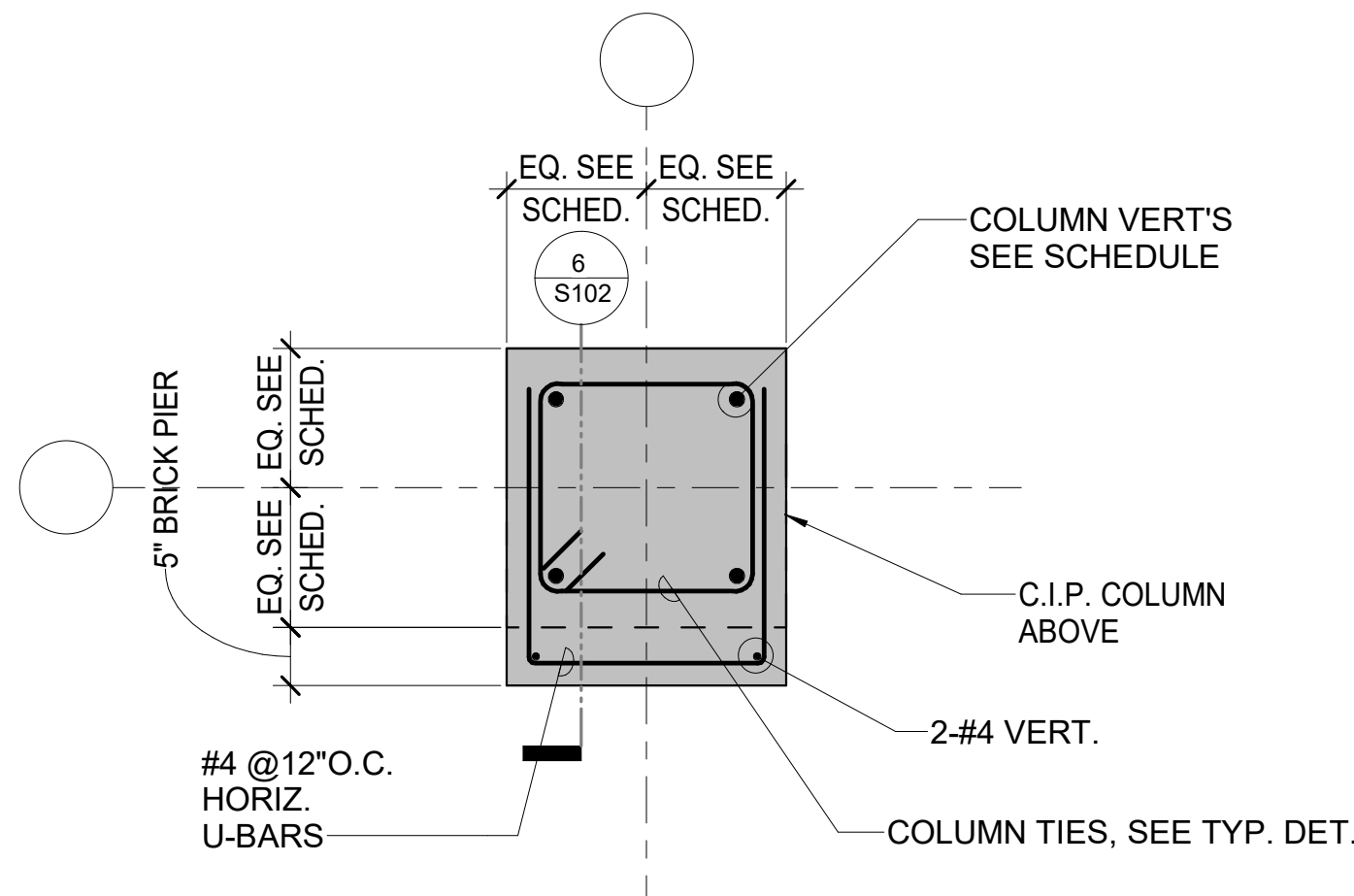
1 SECTION AT FOUNDATION WALL
SCALE: N.T.S.



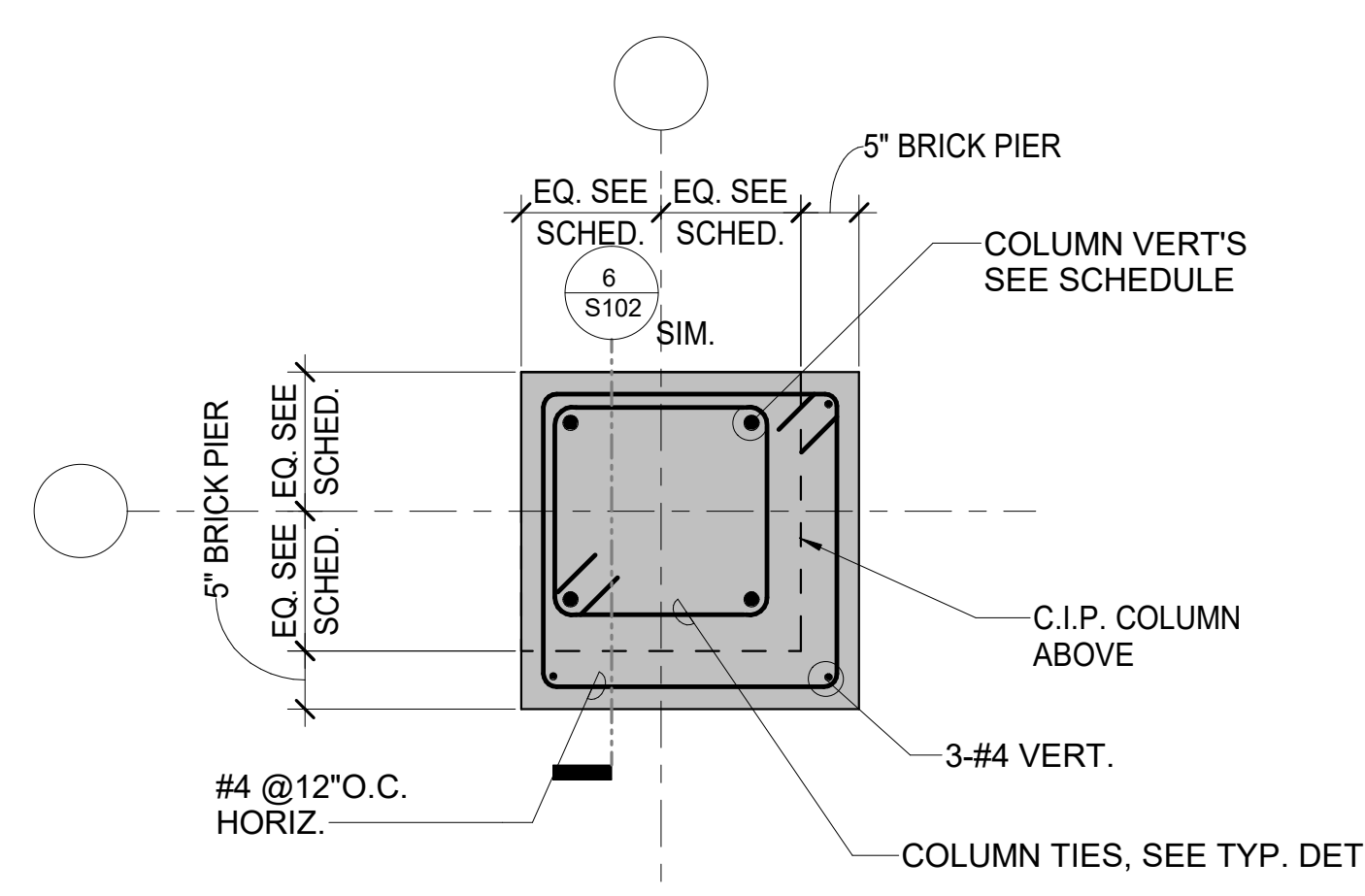
2 SECTION AT FOUNDATION WALL
SCALE: N.T.S.



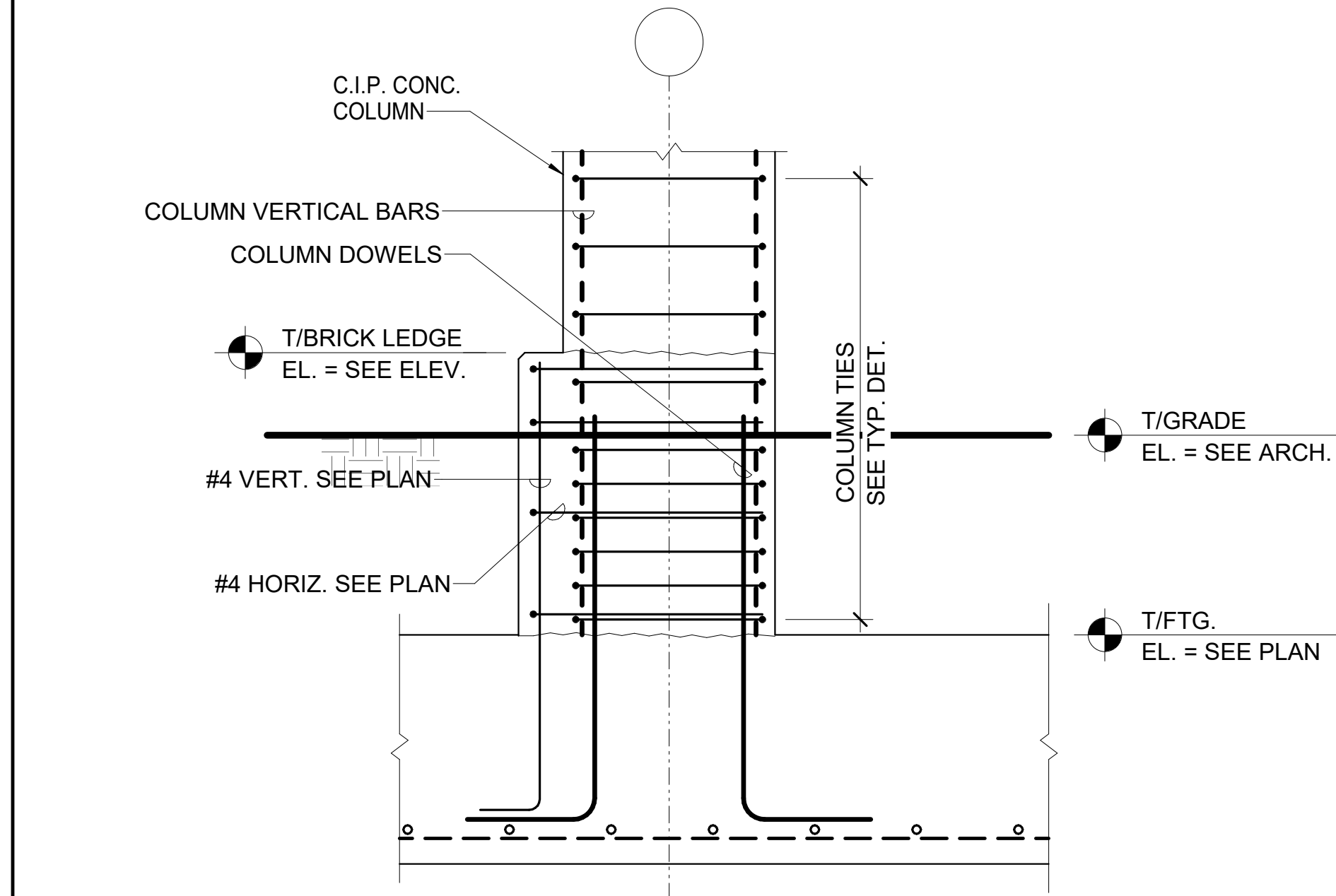
3 SECTION AT FOUNDATION WALL
SCALE: N.T.S.



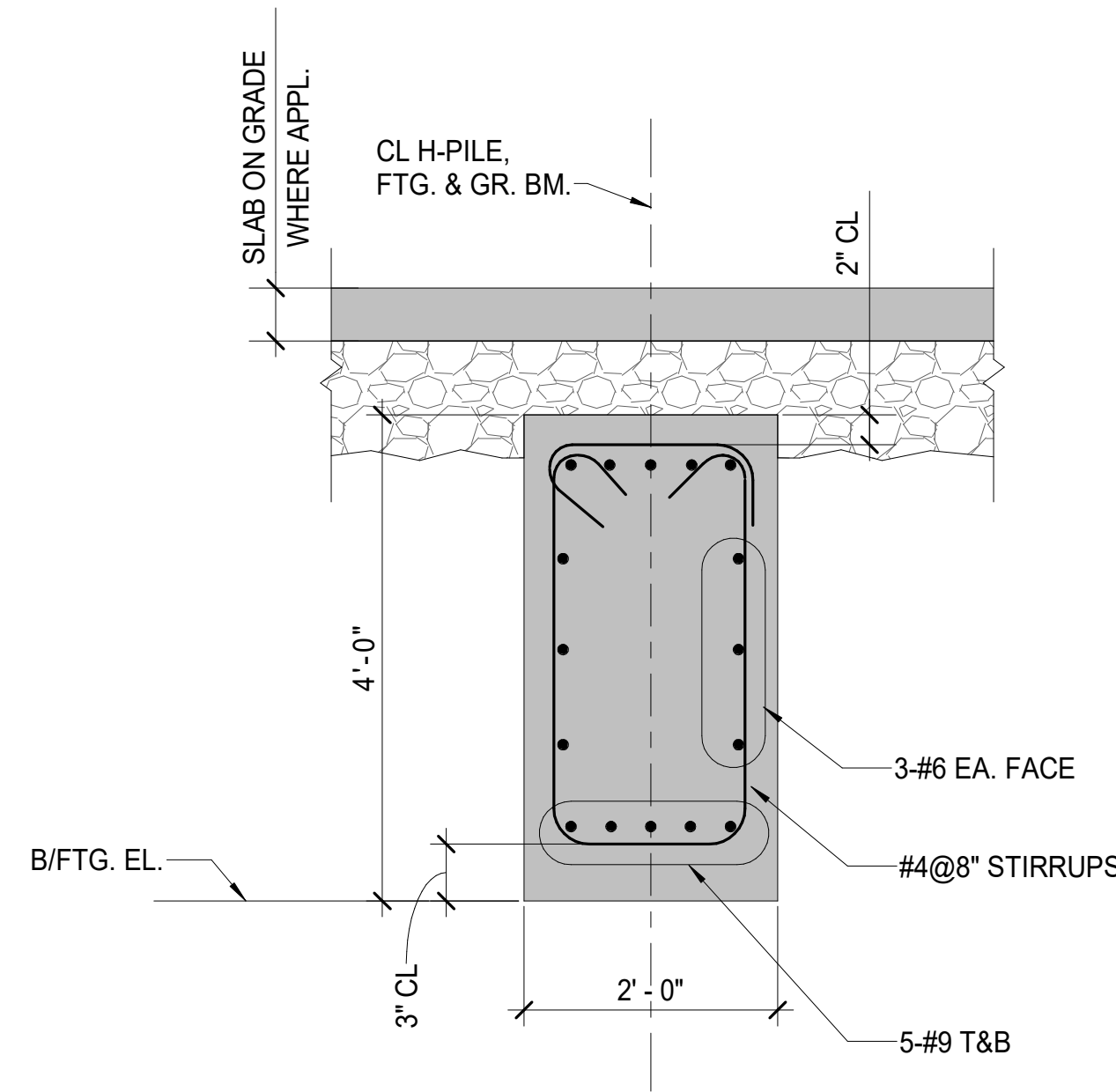
4 EXTERIOR COLUMN W/ BRICK LEDGE 061024
SCALE: N.T.S.



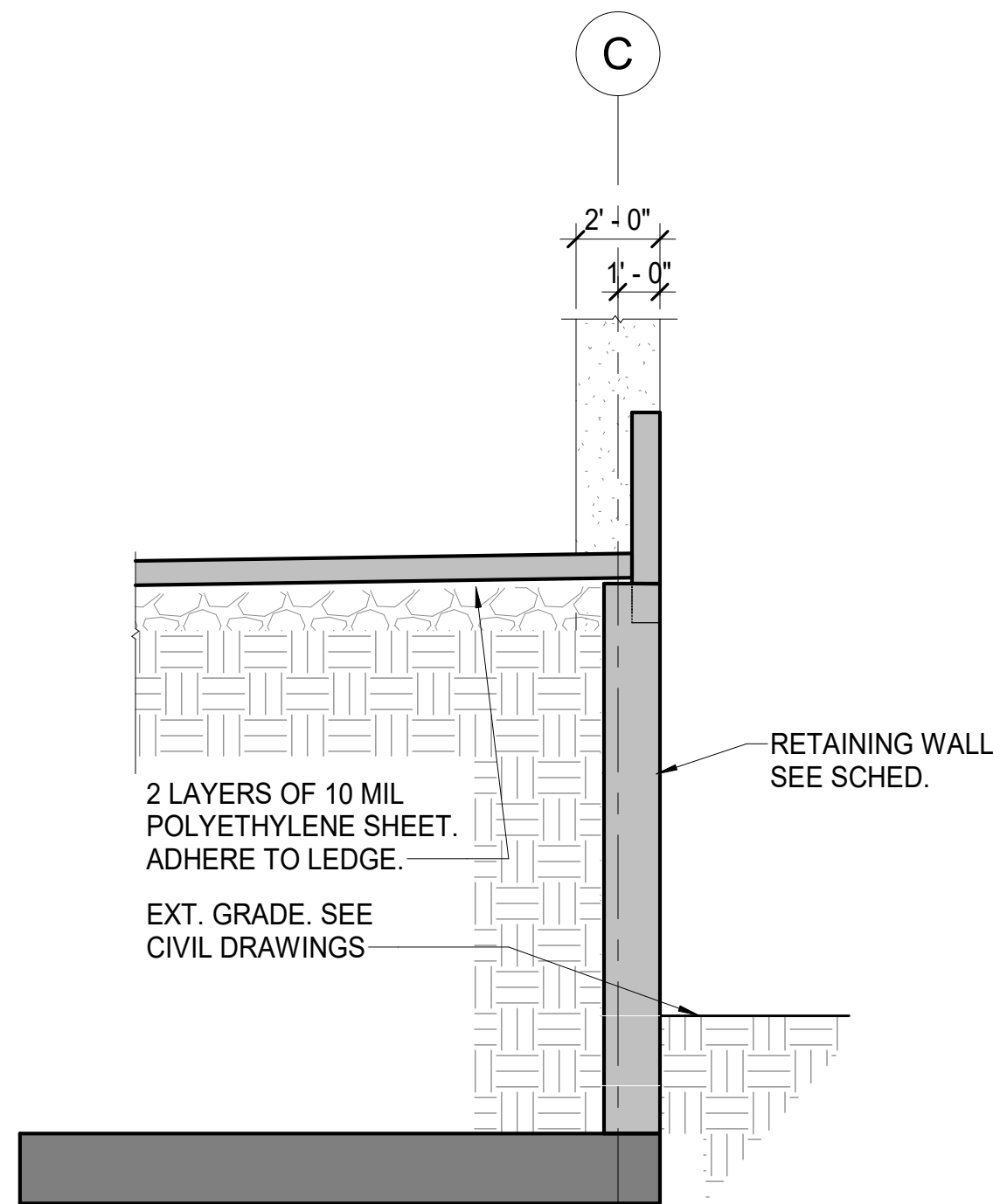
5 CORNER COLUMN W/ BRICK LEDGE 061024 01
SCALE: N.T.S.



6 SECTION - COLUMN W/ BRICK LEDGE 061024
SCALE: N.T.S.



7 TYPICAL GRADE BEAM DETAIL 0613
SCALE: N.T.S.



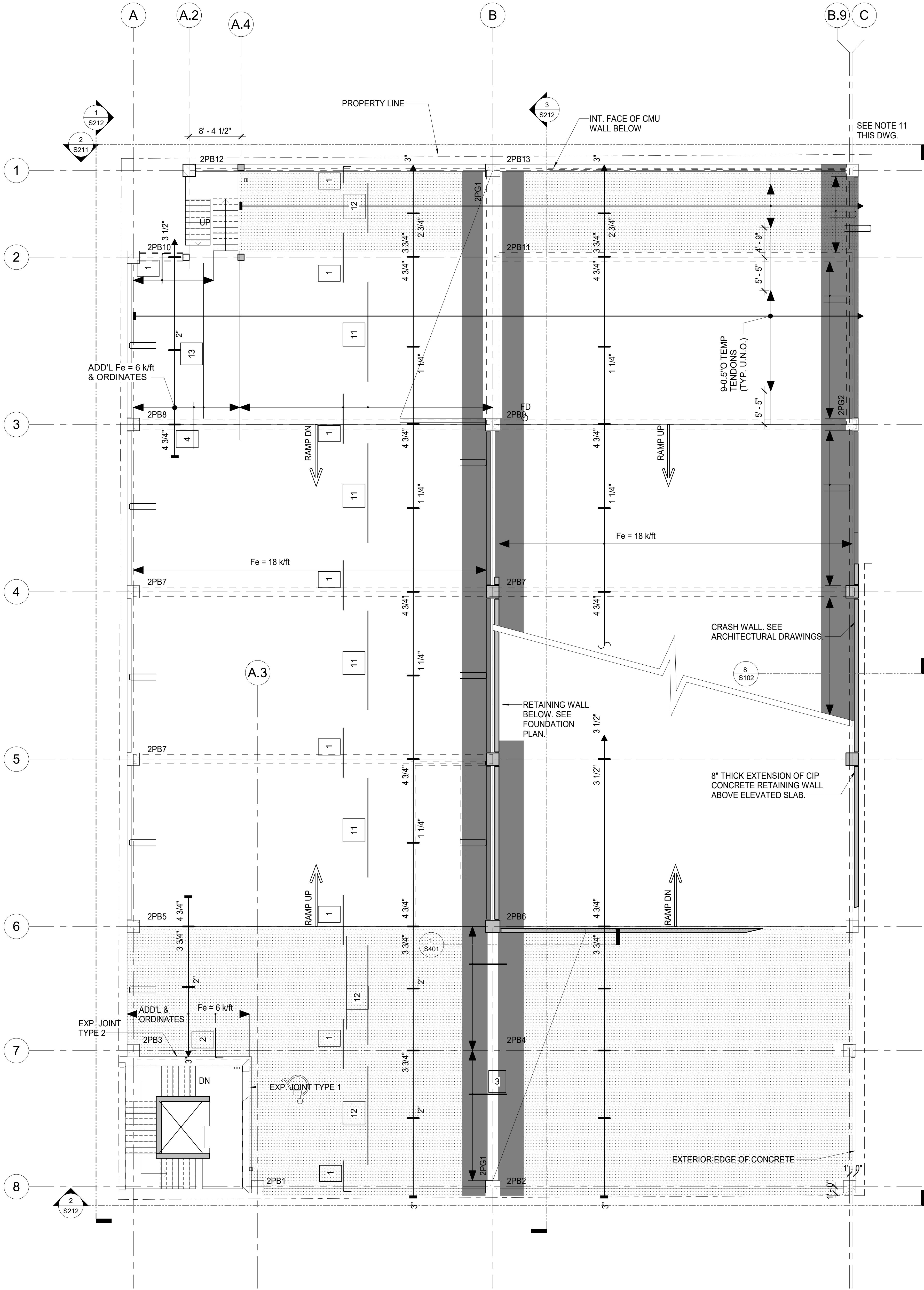
8 Detail 1
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE

DRAWING TITLE:
SECTIONS AND DETAILS

DRAWING NO:
S102

SCALE: As indicated		
DATE: ISSUED FOR		
PROJECT NO: 50-24102		
DES.	RWN.	CHK
Designer	Author	Checker



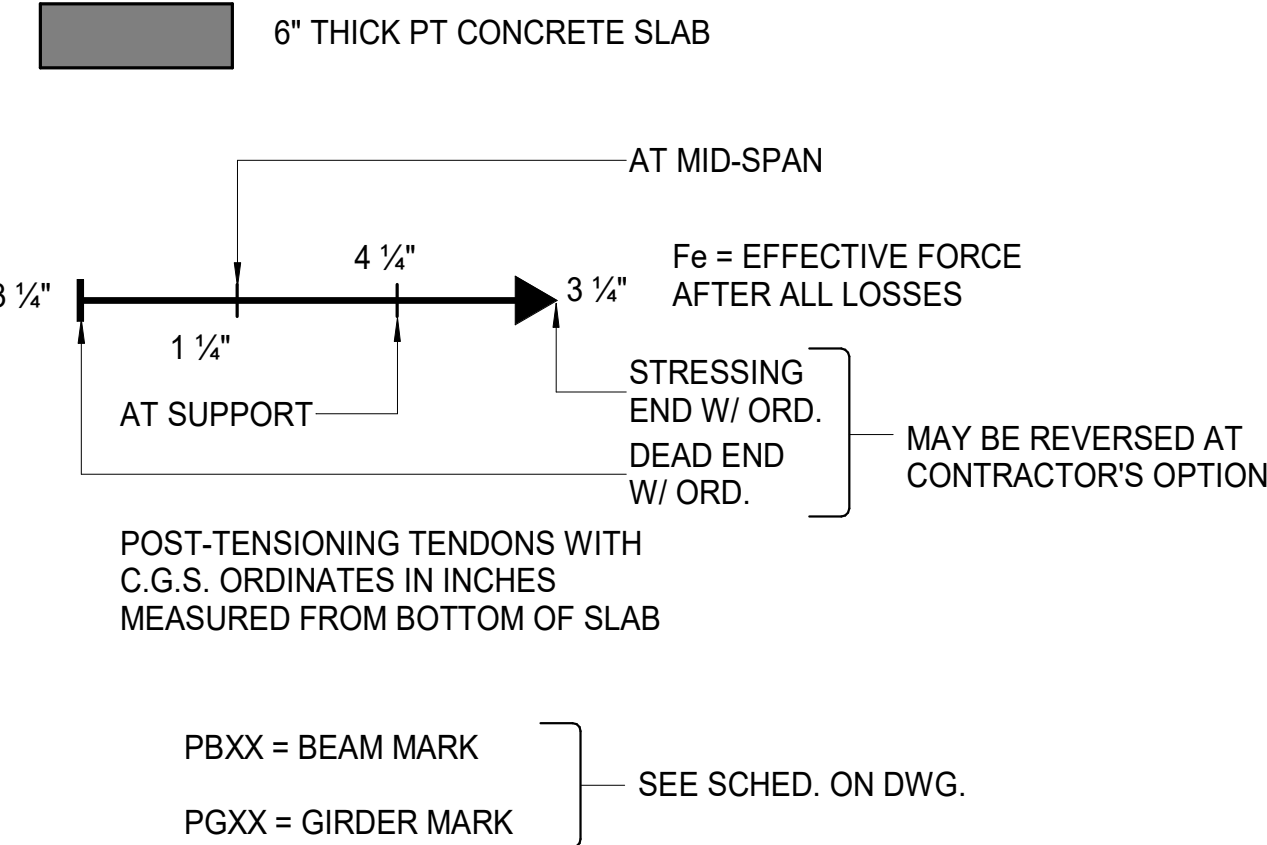
SLAB REINFORCING SCHEDULE:
(OVER ENTIRE BAY)

- TOP REBAR
- 1 #4 @ 14"
 - 1A #4 @ 14"; CONT. BARS (1+1A) MAY BE USED AT CONTR. OPTION
 - 2 #4 @ 16"
 - 3 #4 @ 12" x 6'-0"
 - 4 #4 @ 12"
 - 4A #4 @ 12"; CONT. BARS (4+4A) MAY BE USED AT CONTR. OPTION
 - 5 #5 @ 22"; H/PINS AT CRASH WALLS

- BOTTOM REBAR
- 11 #4 @ 14"
 - 12 #4 @ 16"
 - 13 #4 @ 14" x 23'-0"
 - 13 #4 @ 14" x 16'-0"

SHEET NOTES:

- ALL POST TENSIONED PARKING STRUCTURE ELEVATED SLAB SHALL BE 7" THICK, U.N.O.
- EXTEND AND LAP TOP AND BOTTOM BARS IN ZONES SPECIFICALLY DESIGNATED. SPLICE TOP BARS OVER MID-SPAN AND BOTTOM BARS OVER BEAMS. SEE SECTION.
- MINIMUM (2) MAIN SLAB OR BEAM/GIRDER TENDONS SHALL PASS THROUGH ANY COLUMN.
- PROVIDE A TOTAL OF NINE (X) 1/2 INCH DIAMETER TEMPERATURE TENDONS, EVENLY SPACED WITHIN THE DESIGNATED WIDTH OF SLAB, AT ALL TYPICAL BAYS, U.N.O. IN INSTANCES WHERE OTHER QUANTITY OF SUCH TENDONS IS CALLED OUT, SPACE EVENLY WITHIN THE DESIGNATED WIDTH OF SLAB.
- ALL HOOKS SHOWN IN PLAN SHALL BE STANDARD HOOKS PER ACI 318 OR ACI SP-066, U.N.O.
- LENGTHS OF HOOKED BARS SHOWN ON THESE DRAWINGS DO NOT INCLUDE HOOKS.
- ALL COLUMNS ARE CENTERED ON GRID LINES U.N.O.
- SPACING OF SLAB TENDONS OR GROUPS OF TENDONS SHALL NOT EXCEED 4'-0".
- FOR PURPOSES OF INTERPRETATION OF REINFORCEMENT SHOWN IN SCHEDULE, ALL BEAMS SHOWN IN PLANS ARE MARKED AT LEFT END OR LEFT-HAND SIDE OF SPAN.
- DAMAGED EPOXY COATING SHALL BE REPAIRED WITH SPECIFIED TOUCH-UP MATERIALS AND IN ACCORDANCE WITH MATERIAL MANUFACTURER'S INSTRUCTIONS.
- WITHIN THE SHADED AREA REFERENCED TO THIS NOTE, PROVIDE CONTINUOUS TOP AND BOTTOM MILD STEEL REINFORCEMENT IN LIEU OF SHORT BAR ARRANGEMENT PER TYPICAL DETAILS 4 AND 5 ON DRAWING S303. SPLICE TOP BARS AT MID-SPAN AND BOTTOM BARS AT BEAM CENTERLINES WITH CLASS "B" TENSION LAP SPLICE. REFER TO NOTE 13 UNDER "CONCRETE NOTES" ON DRAWING S002 FOR LAP SPLICE TABULATION FOR UNCOATED AND COATED BARS. IN ADDITION, PROVIDE 2-#5(E) TOP AND BOTTOM CONTINUOUS BARS ALONG EDGE OF SLAB ON EACH SIDE OF COLUMN GRID B AND ALONG EXTERIOR EDGES OF SLAB AT COLUMN GRIDS A AND C.
- AT ALL LOCATIONS WHERE VEHICULAR BARRIER/CRASH WALL OCCURS, EDGE OF SLAB IS TO REMAIN SHORED UNTIL CRASH WALL CONCRETE HAS REACHED 28-DAY COMPRESSIVE STRENGTH.



PLAN LEGEND

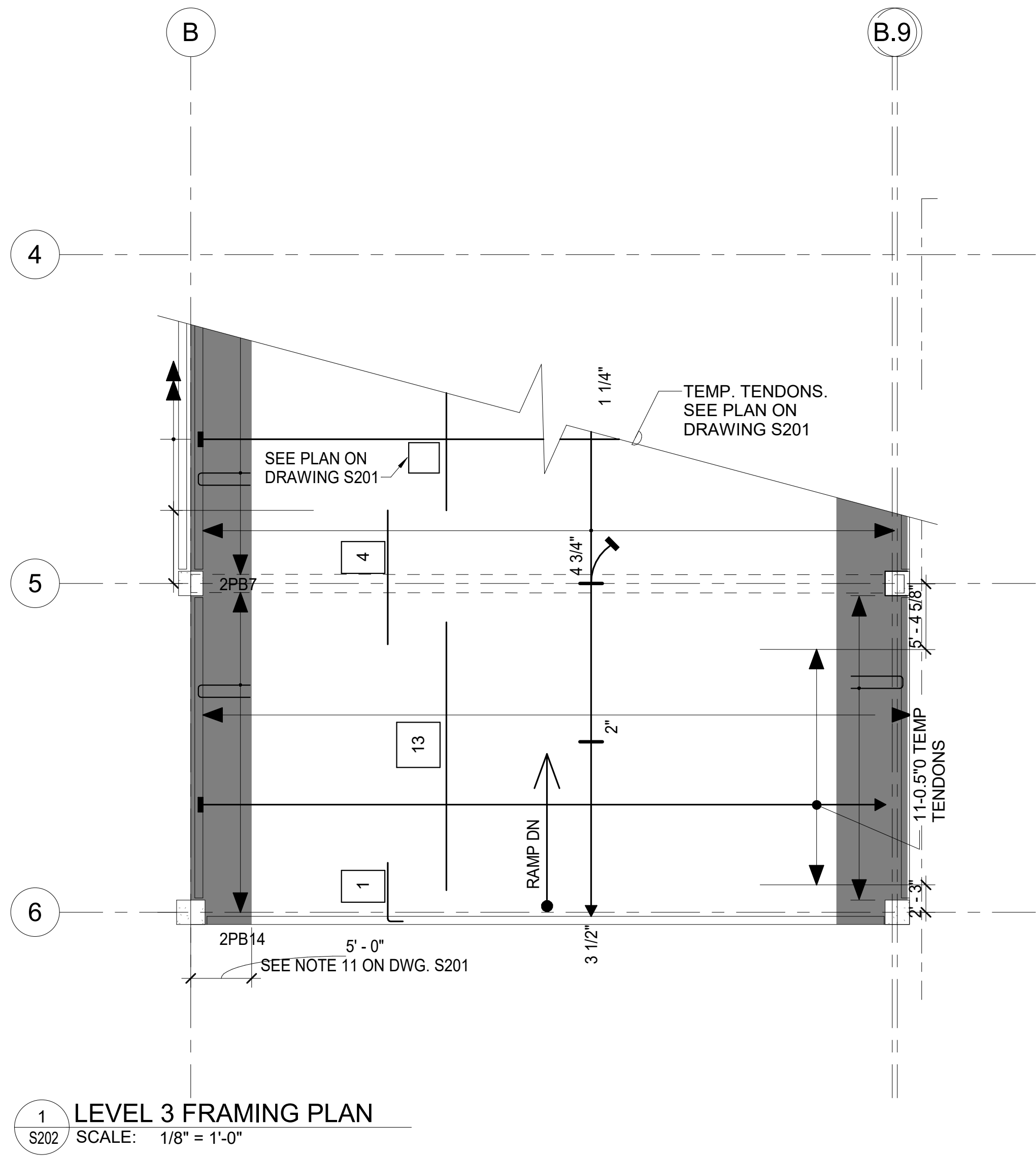
1 LEVEL 2 FRAMING PLAN
S201 SCALE: 1/8" = 1'-0"

NO.	DESCRIPTION	DATE

DRAWING TITLE:
**LEVEL 2
FRAMING PLAN**

DRAWING NO:
S201

SCALE: As indicated		
DATE: ISSUED FOR		
PERMIT 06-10-24		
PROJECT NO: 50-24102		
DES.	RWN.	CHK'D.
esigner	Author	Checker



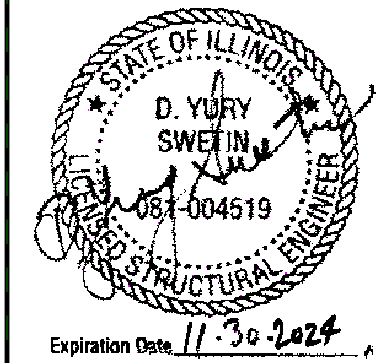
1 LEVEL 3 FRAMING PLAN
S202 SCALE: 1/8" = 1'-0"



DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE

304 HILL STREET, EAST DUNDEE, IL 60118



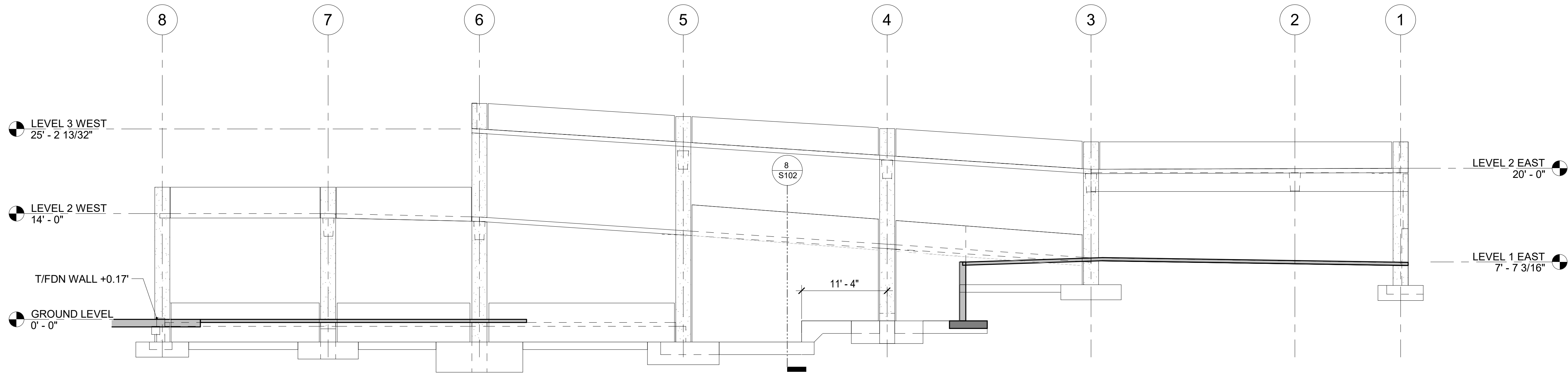
ISSUE		

NO.	DESCRIPTION	DATE
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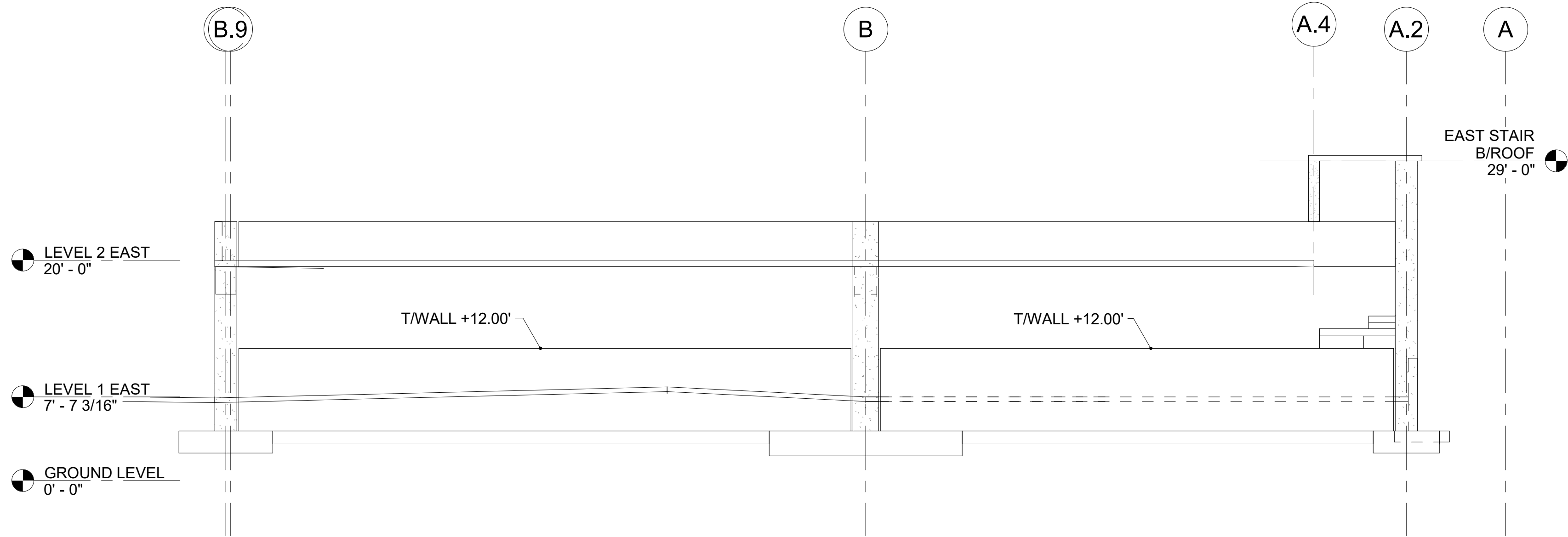
DRAWING NO:
S202

SCALE: 1/8" = 1'-0"		
DATE: ISSUED FOR PERMIT DEC-15-24		
PROJECT NO: 50-24102		
DES. Designer	RWN. Author	CHK'D. Checker

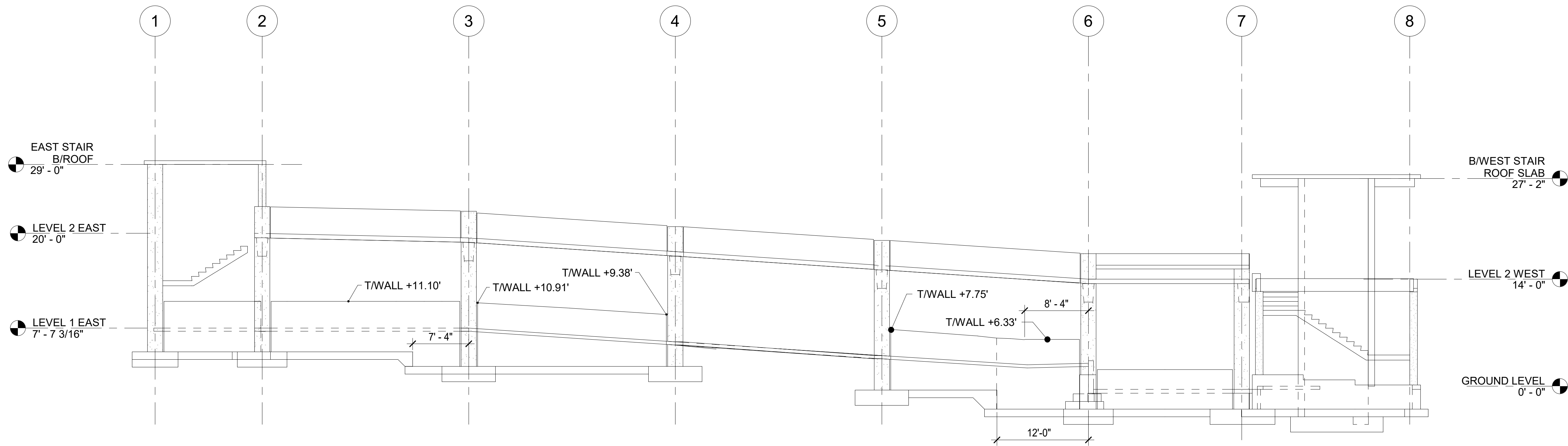




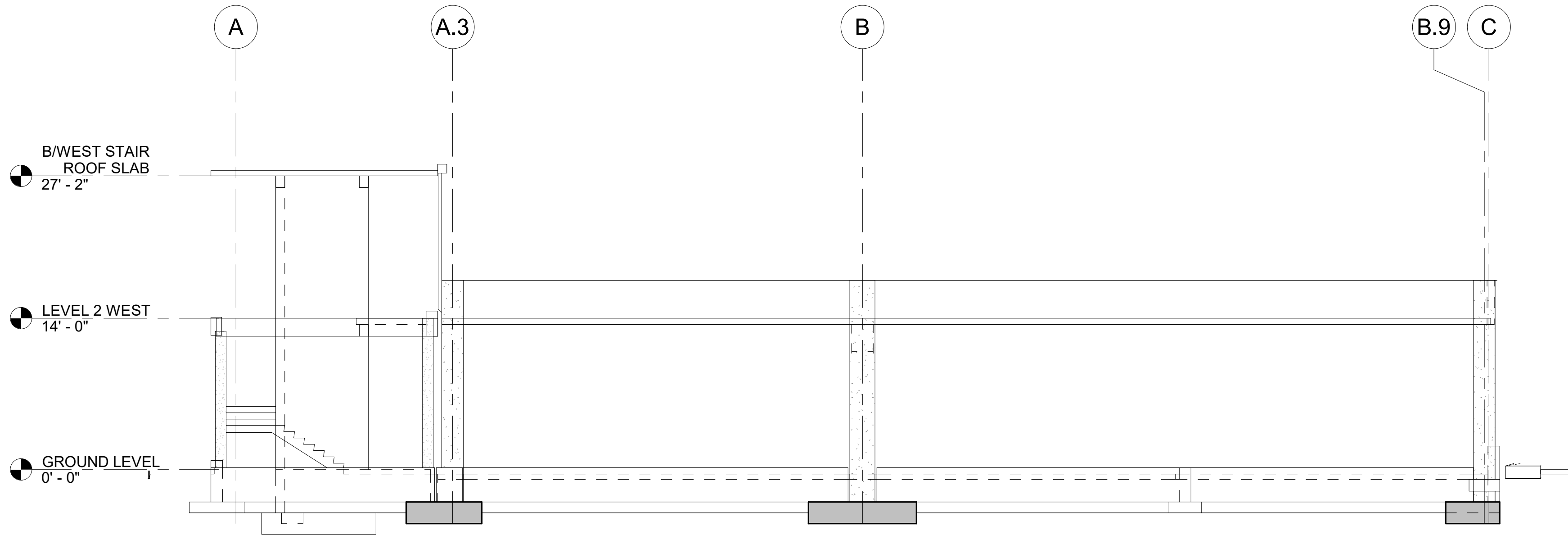
1 SOUTH SKELETAL ELEVATION
S211 SCALE: 1/8" = 1'-0"



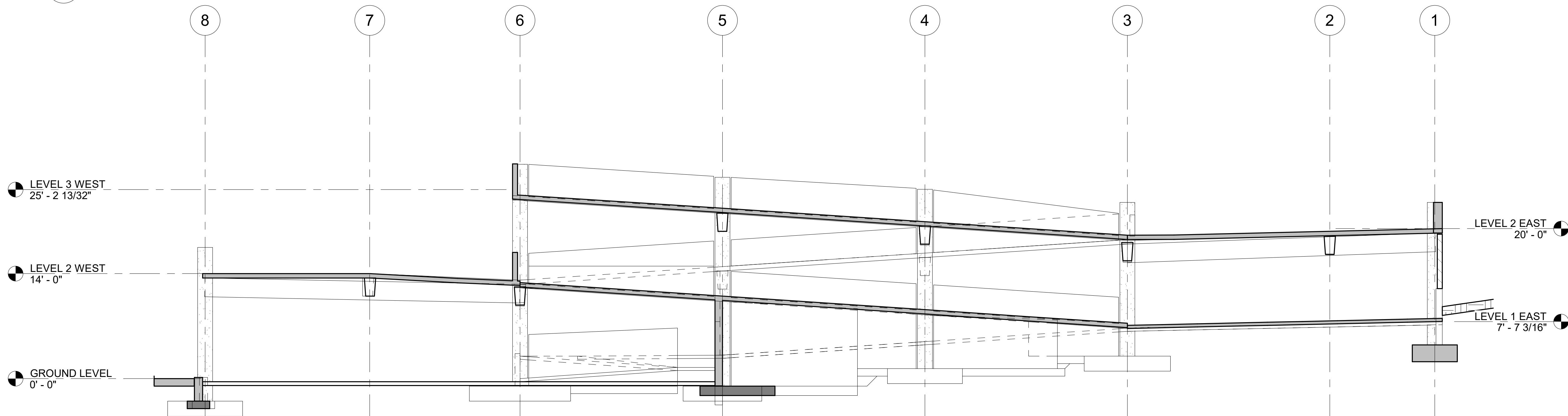
2 EAST SKELETAL ELEVATION
S211 SCALE: 1/8" = 1'-0"



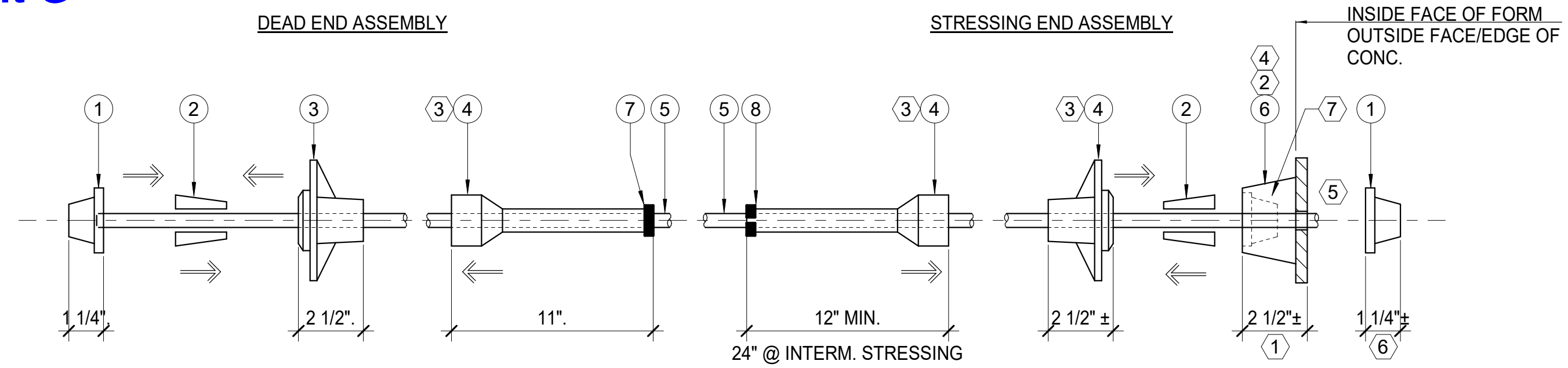
1 North Skeletal Elevation
SCALE: 1/8" = 1'-0"



2 West Skeletal Elevation
SCALE: 1/8" = 1'-0"



3 Skeletal Section Along Line B
SCALE: 1/8" = 1'-0"

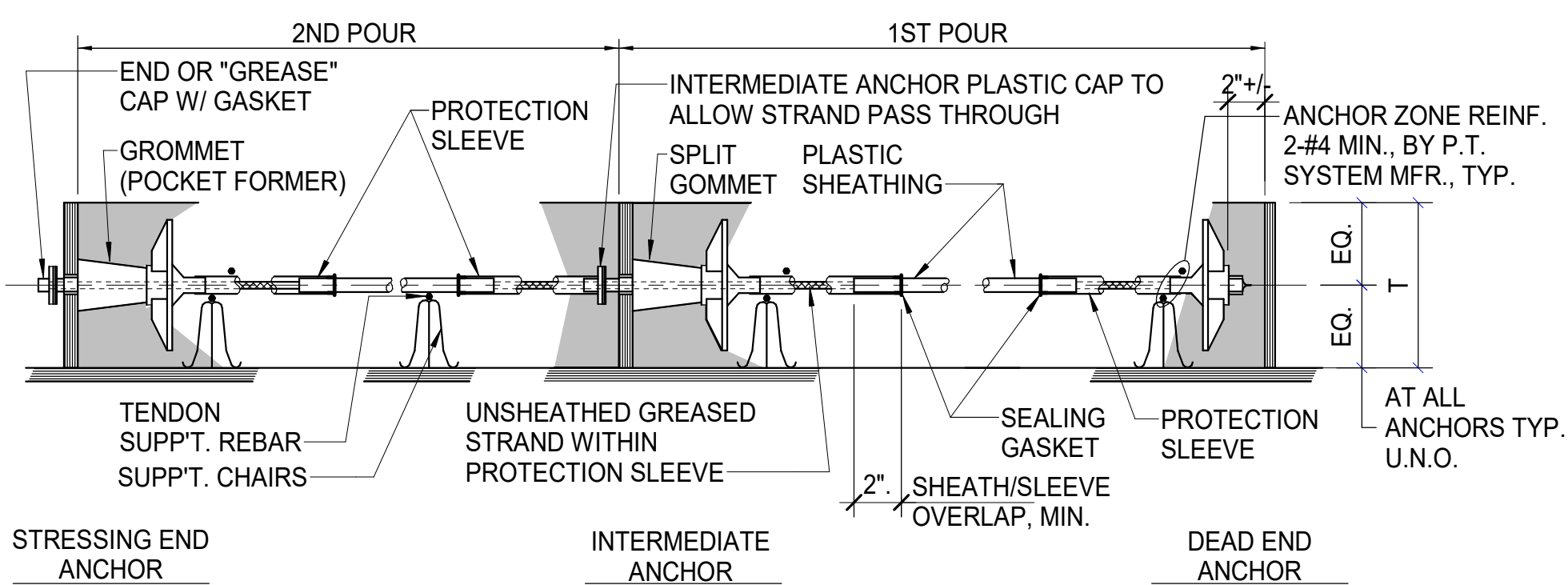


#	DESCRIPTION	REMARKS
1	END CAP	IF FABRICATED AT SHOP, WEDGES, CAP, AND SLEEVE WILL BE ASSEMBLED TIGHT TO ANCHOR
2	MONOWEDGES	
3	ANCHORAGE	
4	PROTECTION SLEEVE	APPLY ADDITIONAL P.T. GREASE PRIOR TO SLIDING SLEEVE
5	TENDON	GREASED AND SHEATHED STRAND
6	GROMMET	PLASTIC POCKET FORMER
7	SEALING GASKET	SHOP INSTALLED RUBBER PLUG
8	SPLIT SEALING GASKET	FIELD INSTALLED RUBBER PLUG
9	STRAND	UNSHEATHED GREASED STRAND IN PROTECTION SLEEVE

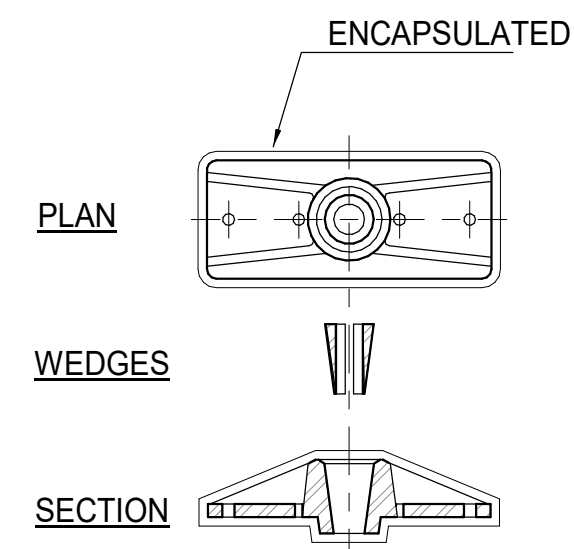
ASSEMBLY NOTES

1. LOCATE ANCHOR AT BULKHEAD PER PROJECT PLANS.
2. FOR STRESSING END TENDONS, INSTALL GROMMET FLUSH BETWEEN BULKHEAD AND ANCHOR FOR TIGHT SEAL.
3. APPLY ADDITIONAL PT GREASE, THEN SLIDE PROTECTION SLEEVE TIGHT AGAINST ANCHOR, LEAVE NO BARE STRAND EXPOSED, TAPE IF NECESSARY.
4. AFTER CONCRETE PLACEMENT, AT TIME OF STRESSING, REMOVE GROMMET AND INSERT WEDGES.
5. AFTER STRESSING, CUT STRAND TO WITHIN 1/8" OF END CAP.
6. GREASE END CAP AND INSERT TIGHT AGAINST ANCHOR.
7. PATCH STRESSING POCKET PER PROJECT REQUIREMENTS.

1 FULLY ENCAPSULATED POST-TENSIONING SYSTEM COMPONENTS
S301 SCALE: N.T.S.



2 UNIFORMLY SPACED TENDONS IN CORROSIVE ENVIRONMENT
S301 SCALE: N.T.S.



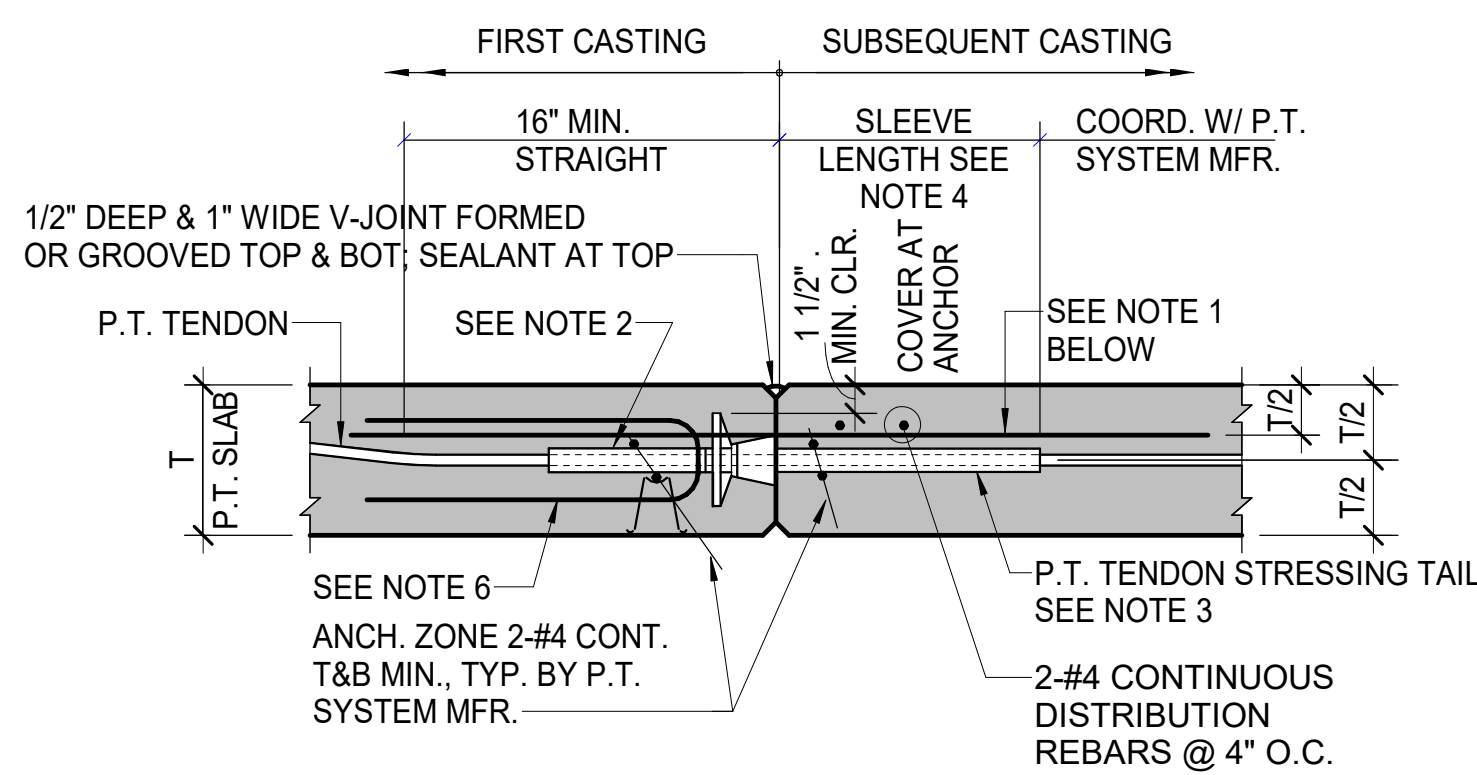
TYP. MONOSTRAND ANCHOR CASTING
S301 SCALE: N.T.S.

ANCHOR ZONE REINF. DESIGNED BY P.T. SYSTEM MFR., BUT NOT LESS THAN 2-#4 CONT. EXTEND A MIN. OF 16" BEYOND END OF ANCH. GROUP. IF EXT. SPACE IS NOT AVAILABLE, TERMINATE WITH STD. 90° HK

SUPPORT BARS 36" O.C. MAX.

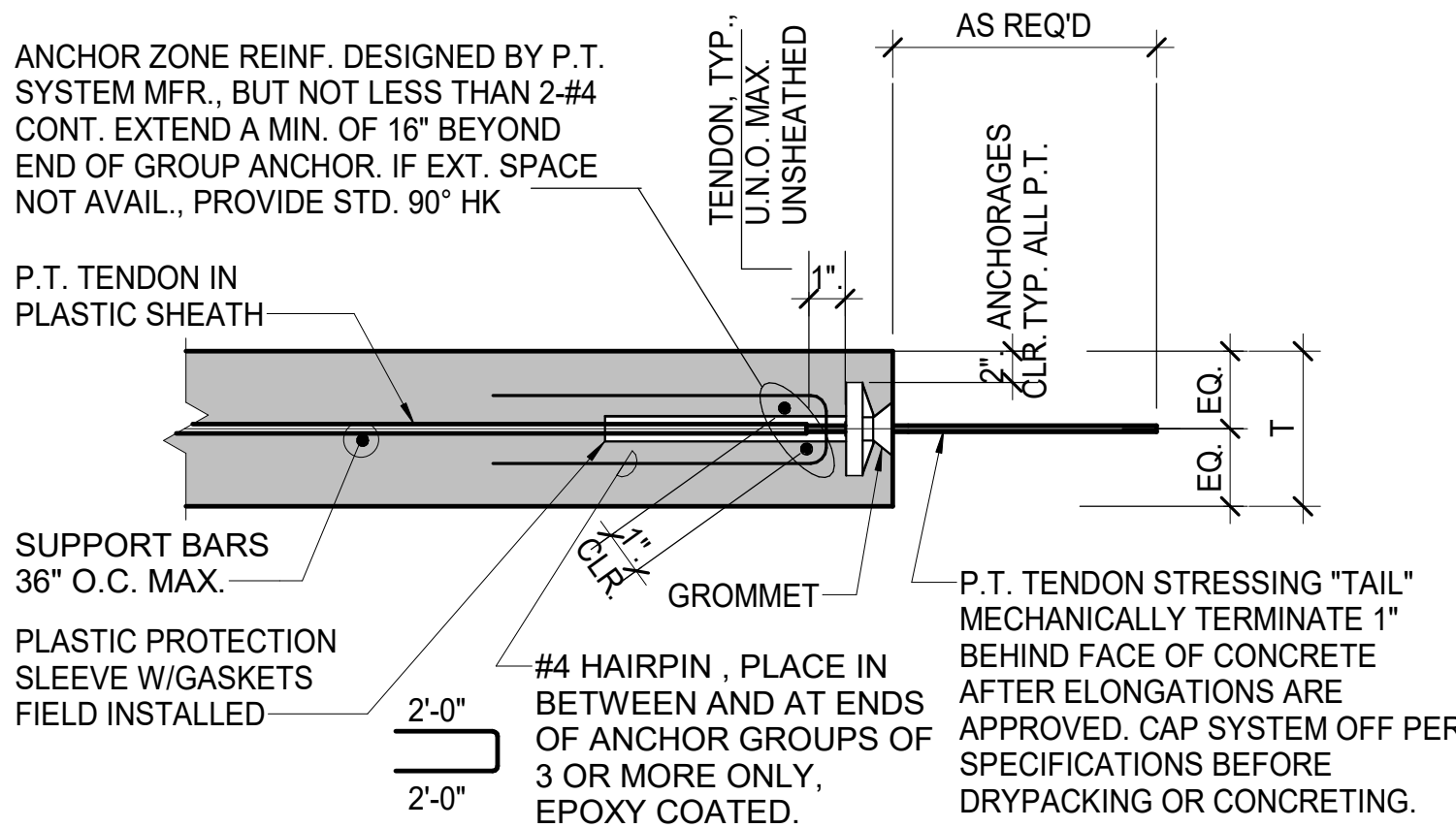
PLASTIC PROTECTION SLEEVE W/GASKETS, SHOP INSTALLED

4 TYP. DEAD END ANCHOR DETAIL
S301 SCALE: N.T.S.

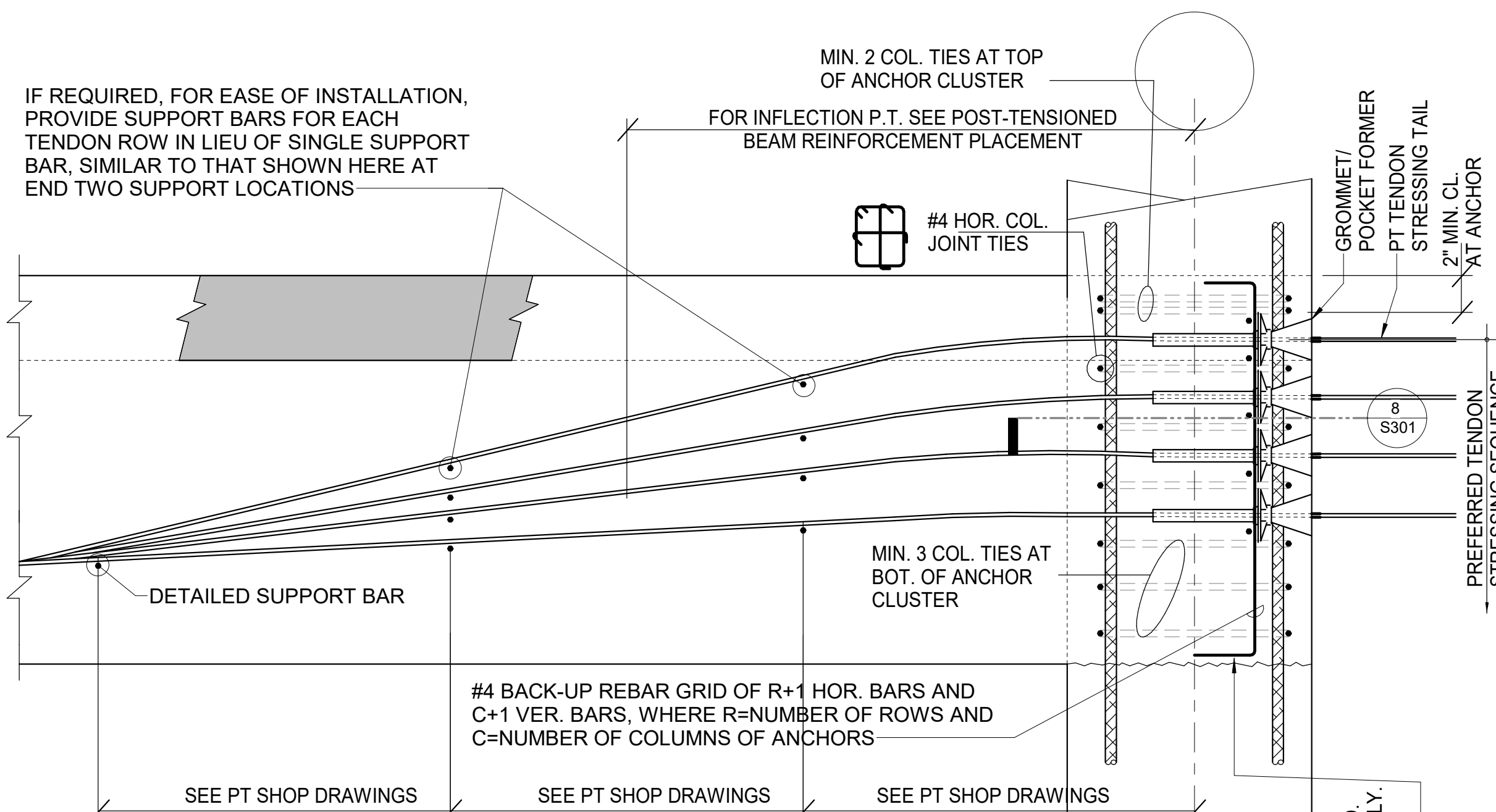


NOTES:

1. PLACE #4 x 4'-0" LONG REINF. BAR @ 2'-0" O.C. THROUGH CONSTR. JOINT LEVEL WITH PT TENDONS, CENTERED ON JOINT.
2. APPLY ADDITIONAL PT GREASE THEN SLIDE AND SEAL PROTECTIVE SLEEVE OVER EXPOSED STRAND PRIOR TO CONCRETING. AFTER CONCRETE PLACEMENT, JUST EXPOSED STRAND PRIOR TO CONCRETING. AFTER CONCRETE PLACEMENT
3. APPLY PT GREASE INSIDE SLEEVE THEN SLIDE AND SEAL PROTECTIVE SLEEVE OVER EXPOSED STRAND AFTER STRESSING.
4. SLEEVE LENGTH = ELONGATION AT INTERMEDIATE STRESSING END PLUS 12" MIN.
5. IF SUBSEQUENT POUR IS DELAYED MORE THAN 14 DAYS, CONSULT ARCHITECT FOR ADDITIONAL REBAR REQUIREMENTS.
6. FOR #4 HAIRPINS, SEE DETAIL 4 & 6 THIS SHEET.



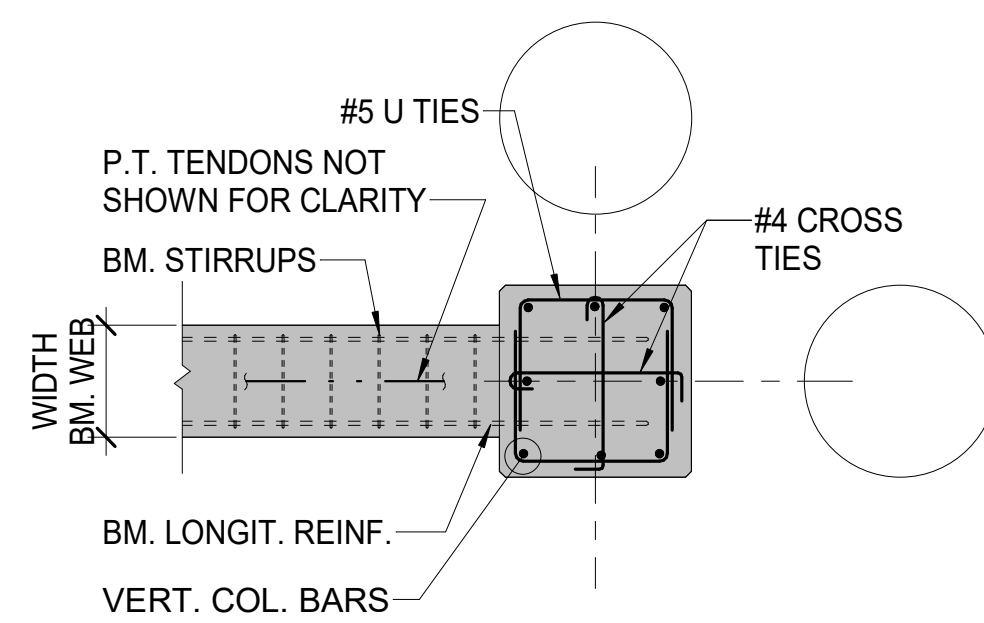
6 TYP. STRESSING END ANCHOR DETAIL
S301 SCALE: N.T.S.



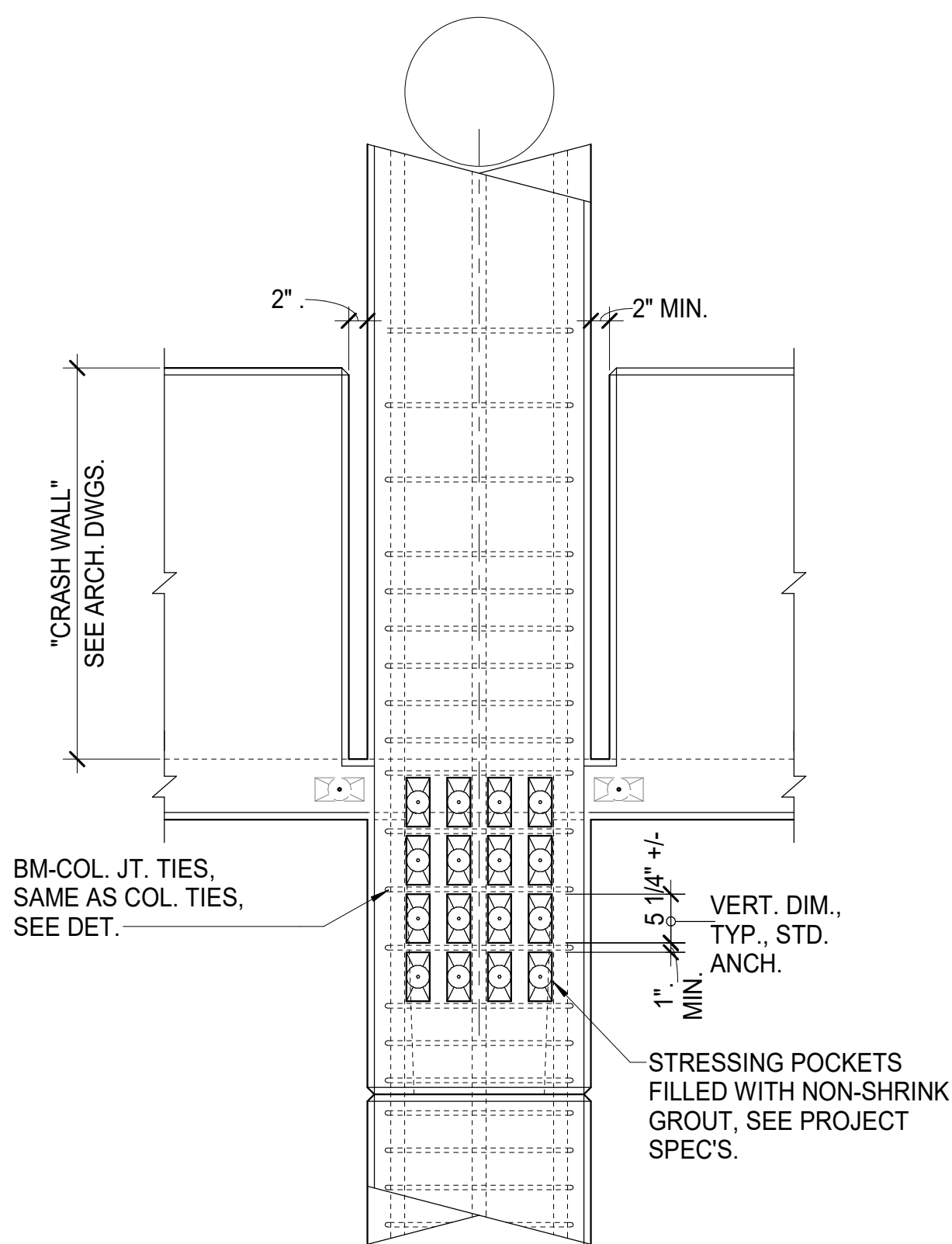
NOTES:

1. DETAIL AT STRESSING END SHOWN. SIMILAR ANCHOR ZONE REINFORCEMENT IS REQUIRED AT DEAD (NON-STRESSING) END.
2. POST-TENSIONING SYSTEM MANUFACTURER TO CONFIRM ADEQUACY OF THE ANCHOR ZONE REINFORCEMENT BY CALCULATION. SUBMIT THESE CALCULATIONS TO THE ARCHITECT, FOR REVIEW AND APPROVAL, AS PER THE PROJECT SPECIFICATIONS.

7 ANCHORAGE ZONE REINFORCEMENT IN BEAMS
S301 SCALE: N.T.S.

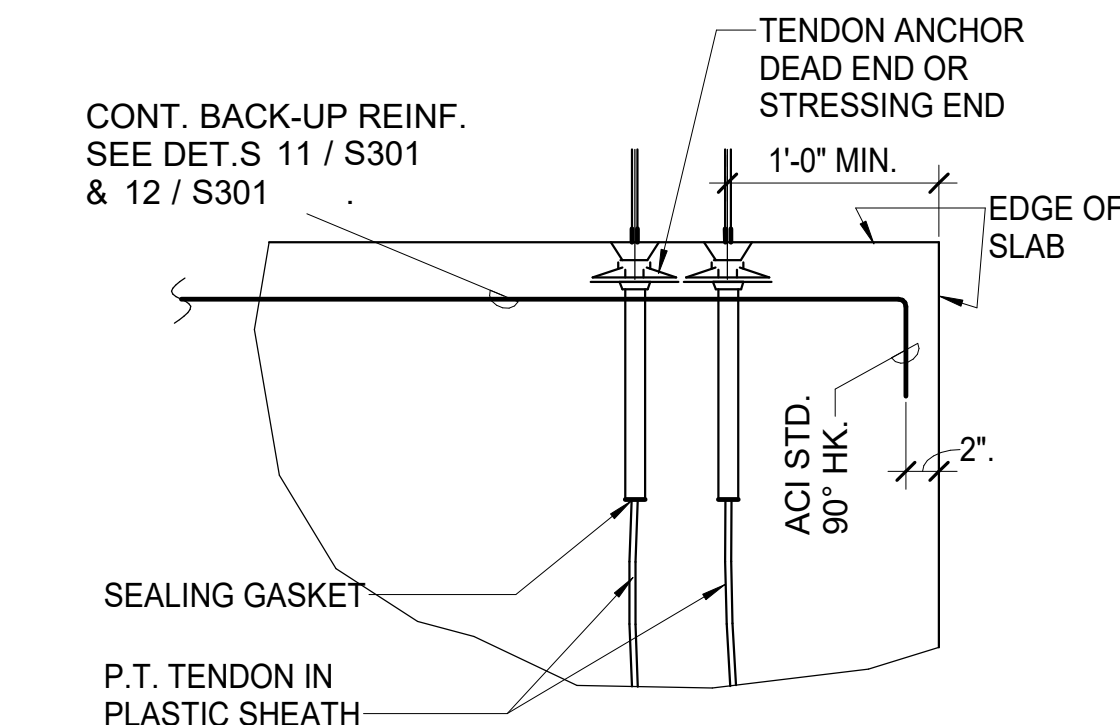


8 PLAN/SECTION AT BM.-COL. JT
S301 SCALE: N.T.S. ALTERNATE JOINT TIE DETAIL

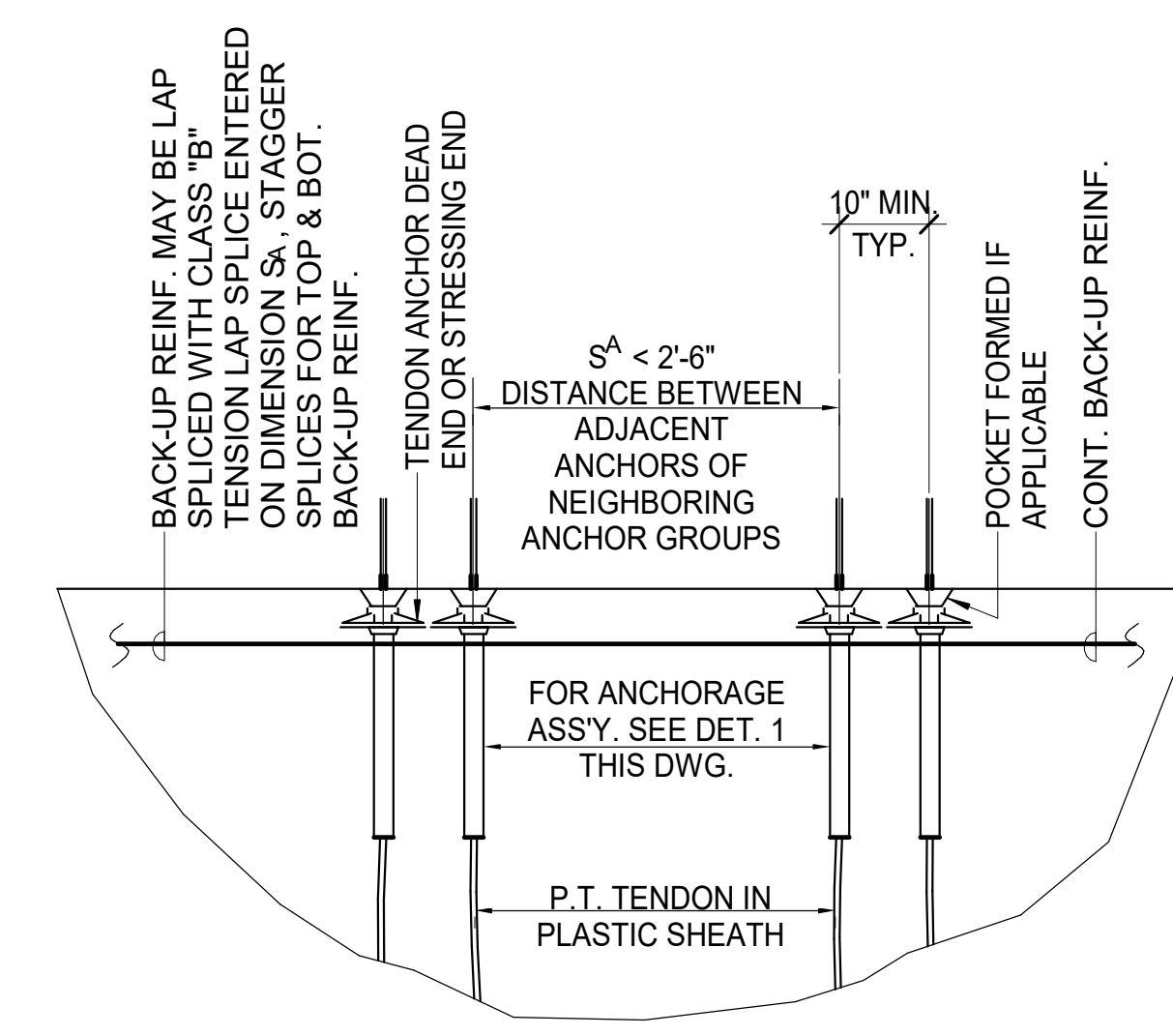


9 TYP. GARAGE BEAM-COLUMN EXTERIOR JOINT
S301 SCALE: N.T.S.

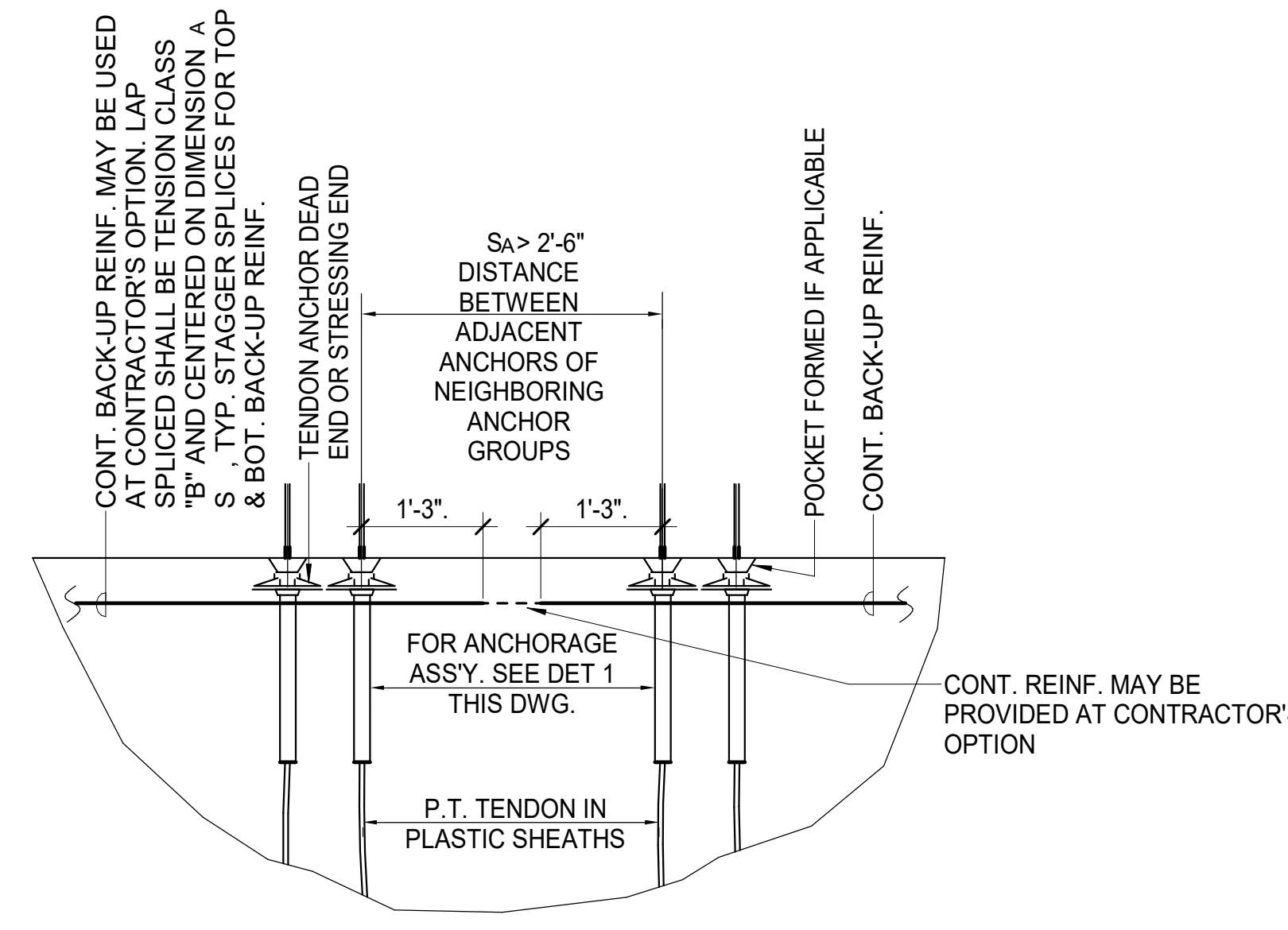
- NOTES:
1. SLAB MILE STEEL REINFORCEMENT OTHER THAN ANCHORAGE ZONE REBAR, NOT SHOWN FOR BREVITY.
 2. ANCHORAGE HAIRPINS NOT SHOWN SEE DETAILS 4 THRU 6 THIS SHEET FOR APPLICABILITY.



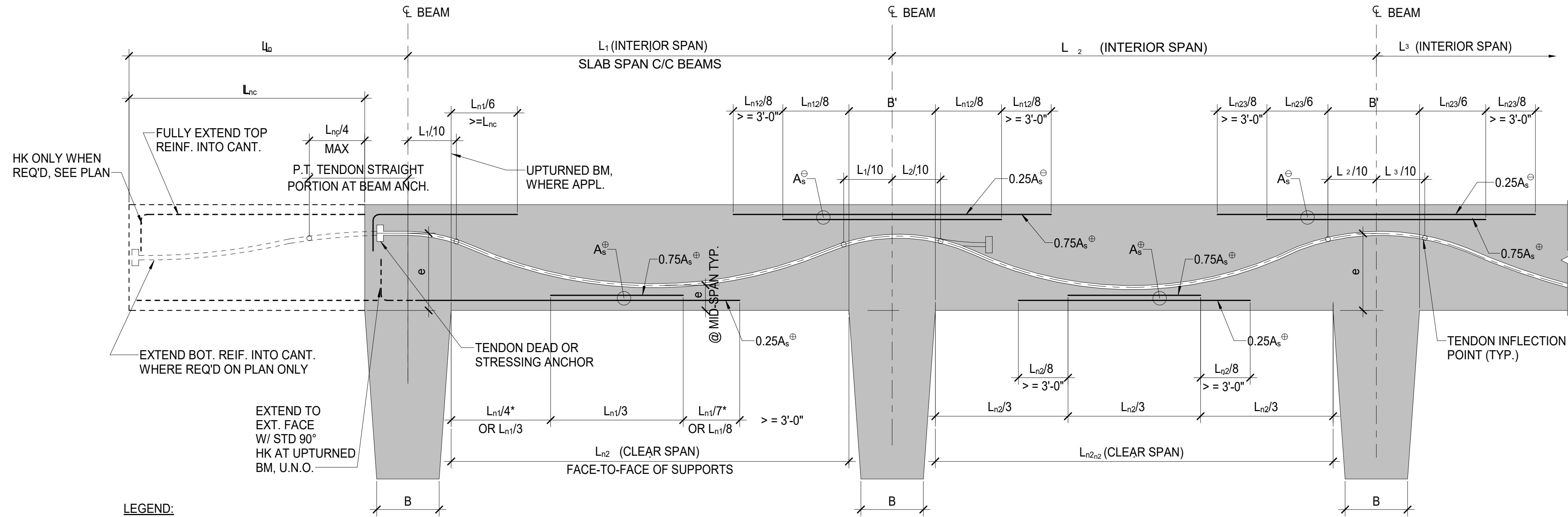
10 TYP. P.T. SLAB ANCHORAGE PLAN DETAIL AT CORNERS
S301 SCALE: N.T.S.



11 TYP. P.T. SLAB ANCHORAGE PLAN DETAIL WITH CLOSE SPACING OF ANCHORS
S301 SCALE: N.T.S.



12 TYP. P.T. SLAB ANCHORAGE PLAN DETAIL WITH WIDE SPACING OF ANCHORS
S301 SCALE: N.T.S.



POST-TENSIONED FLOOR BEAM AND GIRDER SCHEDULE																								
MARK	DIMENSIONS			SKETCH OF CROSS SECTION	NUMBER OF 0.5" DIA TENDONS	TENDON PROFILE (INCHES)			REINFORCEMENT										HORIZONTAL MILD STEEL BAR DIAGRAM			REMARKS		
	WIDTH (IN)	DEPTH (IN)	D						TOP BARS			BOTTOM BARS			SIDE BARS EA. FACE U.N.O.	STIRRUPS								
						B	B'	D	T _L	T _M	T _R	B _L	B _M	B _R		SIZE	TYPE	SPACING EA. END, U.N.O.	LEFT SUPPORT	RIGHT SUPPORT				
2PB1	15	15	52		5	24	21 1/2	48	2-#9	2-#5	2-#9	2-#6	2-#9	2-#6	3-#4	#4	U	1@2, 12@6, BAL@12						
2PB2	15	15	52		5	48	11	24	-	2-#5	2-#9	-	2-#9	2-#6	3-#4	#4	U	1@2, 12@6, BAL@12						
2PB3	18	18	37		13	27	4	33	3-#10	2-#5	3-#10	2-#6	2-#9	2-#6	-	#4	U	1@2, 12@6, BAL@12						
2PB4	16	18	37		13	33	4	27	-	2-#5	3-#10	-	2-#9	2-#6	-	#4	U	1@2, 12@6, BAL@12						
2PB5	16	18	37		13	27	4	33	3-#10	2-#5	3-#10	2-#6	2-#9	2-#6	-	#4	U	1@2, 12@6, BAL@12						
2PB6	16	18	37		13	33	4	27	-	2-#5	3-#10	-	2-#9	2-#6	-	#4	U	1@2, 12@6, BAL@12						
2PB7	16	18	37		18	25 5/8	4	25 5/8	3-#10	2-#5	3-#10	2-#6	2-#9	2-#6	-	#4	U	1@2, 12@6, BAL@12						
2PB8	16	18	37		16	26 1/2	4	33	3-#10	2-#5	3-#10	2-#6	2-#9	2-#6	-	#4	U	1@2, 12@6, BAL@12						
2PB9	16	18	37		16	33	4	26 1/2	-	2-#5	3-#10	-	2-#9	2-#6	-	#4	U	1@2, 12@6, BAL@12						
2PB10	16	18	37		13	27	4	33	2-#10	2-#5	3-#10	2-#6	2-#10	2-#6	-	#4	U	1@2, 12@6, BAL@12						
2PB11	16	18	37		13	33	4	27	-	2-#5	2-#10	-	2-#10	2-#6	-	#4	U	1@2, 12@6, BAL@12						
2PB12	15	15	52		5	37	11	48	2-#9	2-#5	2-#9	2-#6	2-#9	2-#6	3-#4	#4	U	1@2, 12@6, BAL@12						
2PB13	15	15	52		5	48	11	37	-	2-#5	2-#9	-	2-#9	2-#6	3-#4	#4	U	1@2, 12@6, BAL@12						
2PB14	15	15	52		6	37	11	37	2-#9	2-#5	2-#9	2-#6	2-#9	2-#6	3-#4	#4	U	1@2, 12@6, BAL@12						
2PG1	24	24	37		32	22 1/2	4	22 1/2	3-#10	3-#10	3-#10	3-#10	3-#10	3-#10	-	#4	U	1@2, 12@6, BAL@12				FOR ADD'L GIRDER REINF. SEE TYPICAL BEAM-GIRDER INTERSECTION DET.		
2PG2	22	22	37		12	21 1/4	4	21 1/4	2-#10	2-#10	2-#10	2-#9	2-#9	2-#9	-	#4	U	1@2, 12@6, BAL@12				FOR ADD'L GIRDER REINF. SEE TYPICAL BEAM-GIRDER INTERSECTION DET.		

DRAWING NOTES:

1. REFER TO THE FOLLOWING TABLE FOR REFERENCE DRAWINGS:

ITEM	DRAWING NO.
GENERAL NOTES	
P.T. BEAM AND SLAB TYPICAL DETAILS	
POST-TENSIONED BEAM SCHEDULE	THIS DWG.
GENERAL P.T. TYPICAL DETAILS	
T/CONCRETE FLOOR ELEVATIONS	SEE ARCH. DWG'S
COLUMN SCHEDULE AND DETAILS	

2. BEAM MARKS SHOWN IN PLAN HAVE BEEN PLACED AT RESPECTIVE BEAMS LEFT ENDS.
3. ANCHORAGES FOR ADDITIONAL TENDONS (SO NOTED ON DRAWINGS) SHALL BE LOCATED AT THE QUARTER POINT OF THE ADJACENT SPAN AND AT THE CENTER OF GRAVITY OF THE BEAM CROSS-SECTION. PROVIDE BACK-UP REINFORCEMENT AS REQ'D BY TYPICAL DETAILS.
4. TO ALLEVIATE CONGESTION AT INTERIOR BEAM AND COLUMN INTERSECTION, THE BEAM BOTTOM REINFORCEMENT MAY BE PLACED IN TWO LAYERS. TOP REINFORCEMENT MUST BE IN ONE LAYER UNLESS NOTED OTHERWISE. BEAM TOP LONGITUDINAL BARS MAY BE PLACED IN SLAB ON EITHER SIDE OF BEAM WEB WITHIN A DISTANCE OF 1.50 TIMES THE SLAB THICKNESS CLEAR, EITHER SIDE. HOWEVER, A MINIMUM OF TWO (2) BARS MUST BE PLACED WITHIN THE BEAM-COLUMN JOINT. EXTEND ALL TOP BARS INTO ADJOINING SLAB IF POSSIBLE.
5. FOR TYP. BEAM PENETRATIONS SEE DETAIL. THE CONTRACTOR SHALL COORDINATE EXACT LOCATION AND SIZE OF OPENING WITH OTHER DISCIPLINES REQUIRING PENETRATIONS AS SHOWN ON THE RESPECTIVE SUB-CONTRACTOR'S SHOP DRAWINGS. CONSULT THE ARCHITECT IF THE SIZE OF THE REQUIRED OPENING EXCEEDS THE LIMITS IN THE ABOVE DETAIL. SPECIAL DESIGN MODIFICATIONS MAY BE REQUIRED.
6. ALL P.T. TENDON AND MILD STEEL REBAR SHOP DRAWINGS MUST SHOW GRID DESIGNATION AND GRID DIMENSIONS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. FAILURE TO IDENTIFY GRIDS SHALL BE A CAUSE FOR DRAWING REJECTION.
7. P.T. DETAILS OF BEAM TENDON ANCHORAGES MUST BE COORDINATED WITH COLUMN SCHEDULE AND RESPECTIVE REBAR PATTERNS TO FACILITATE ANCHORAGE INSTALLATIONS.
8. DETAIL GIRDER SHEAR REINFORCEMENT BASED ON GIRDER SECTION VERTICAL DIMENSION PER SCHEDULE LESS ONE AND ONE-HALF INCH. GIRDERS ARE MARKED AS "PGXX" IN THE SCHEDULE.
9. ALL BEAM AND GIRDER TENDON GROUP PROFILES SHALL BE BASED ON SMOOTH PARABOLIC REVERSE CURVATURE CONFIGURATIONS WITH INFLECTION POINTS. ALSO SEE "POST-TENSIONED CONCRETE NOTES" ON GENERAL NOTES DRAWINGS.
10. FOR OPEN STIRRUPS IN THE SCHEDULE ABOVE (ACI STANDARD PATTERNS S1 THROUGH S9, AS SKETCHED IN THE SCHEDULE) PROVIDE SAME SIZE CAP PER ACI STANDARD BEND TYPE T9 PLACED OVER STIRRUPS WITHIN THE LENGTH EQUAL TWO TIMES THE DEPTH OF BEAM OR GIRDER FROM EACH END U.N.O. PLACE SAME CAP PIECES WITHIN THE REMAINING LENGTH OF CLEAR SPAN. SPACED AT 48 INCHES ON CENTER, MAXIMUM. ADJACENT CAP PIECES SHALL BE SET WITH 135° HOOKS ALTERNATING PLACEMENT ON EACH SIDE OF BEAM OR GIRDER.

DESMAN

McHUGH

125

YEARS

EST. 1897

DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE

304 HILL STREET, EAST DUNDEE, IL 60118

STATE OF ILLINOIS

D. YURY SWETIN

061-004519

Professional Engineer

Expiration Date 11-30-2024

ISSUE

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NO.	DESCRIPTION	DATE
DRAWING TITLE:		
POST-TENSIONED BEAM SCHEDULE		

DRAWING NO:
S311

SCALE: N.T.S.		
DATE:	ISSUED FOR	
PROJECT NO:	50-24102	
DES. Designer	RWN. Author	CHK'D. Checker



McHUGH
125
YEARS
EST. 1897

304 HILL STREET. EAST DUNDEE. IL 60118



ISSUE

NO.	DESCRIPTION	DATE
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DRAWING TITLE: SECTIONS AND DETAILS

DRAWING NO:

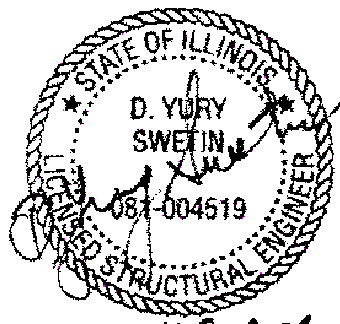
S401

SCALE: As indicated

DATE: ISSUED FOR

PROJECT NO: 50-24102

DES.	RWN.	CHK'D.
Designer	Author	Checker



	ISSUE	
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	ISSUE	

NO.	DESCRIPTION	DATE
DRAWING TITLE:		
CONCRETE		
COLUMN		
DETAILS		

DRAWING NO:

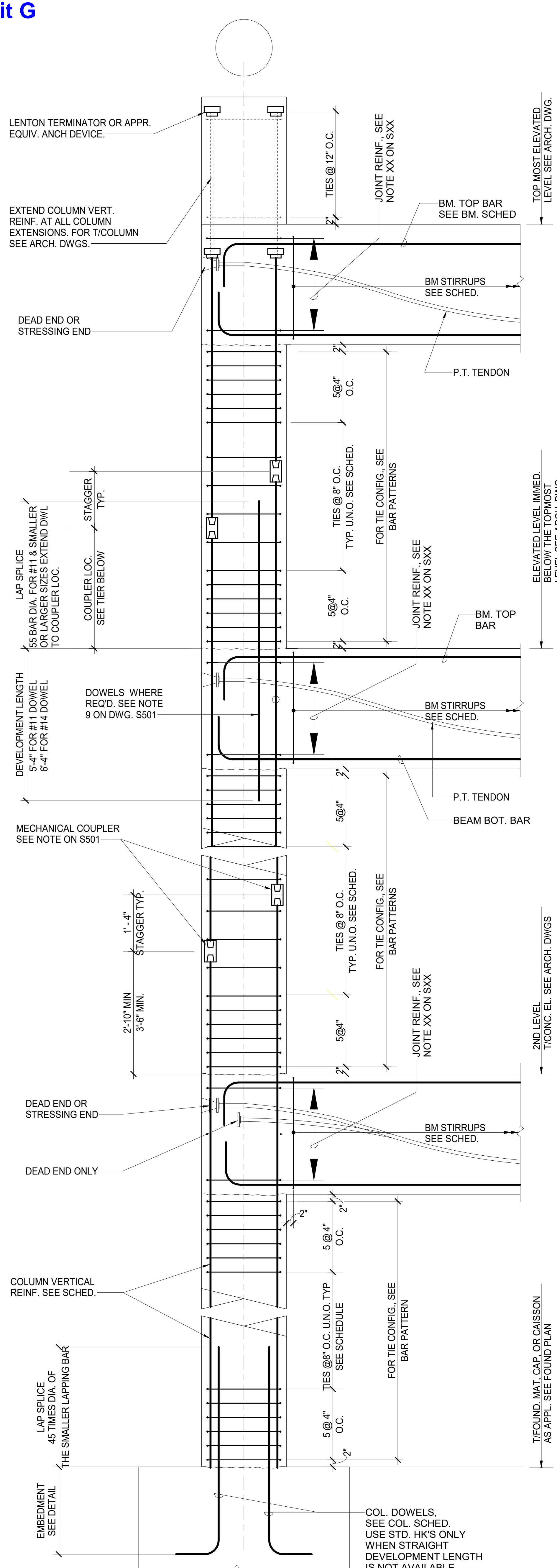
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SCALE: As indicated

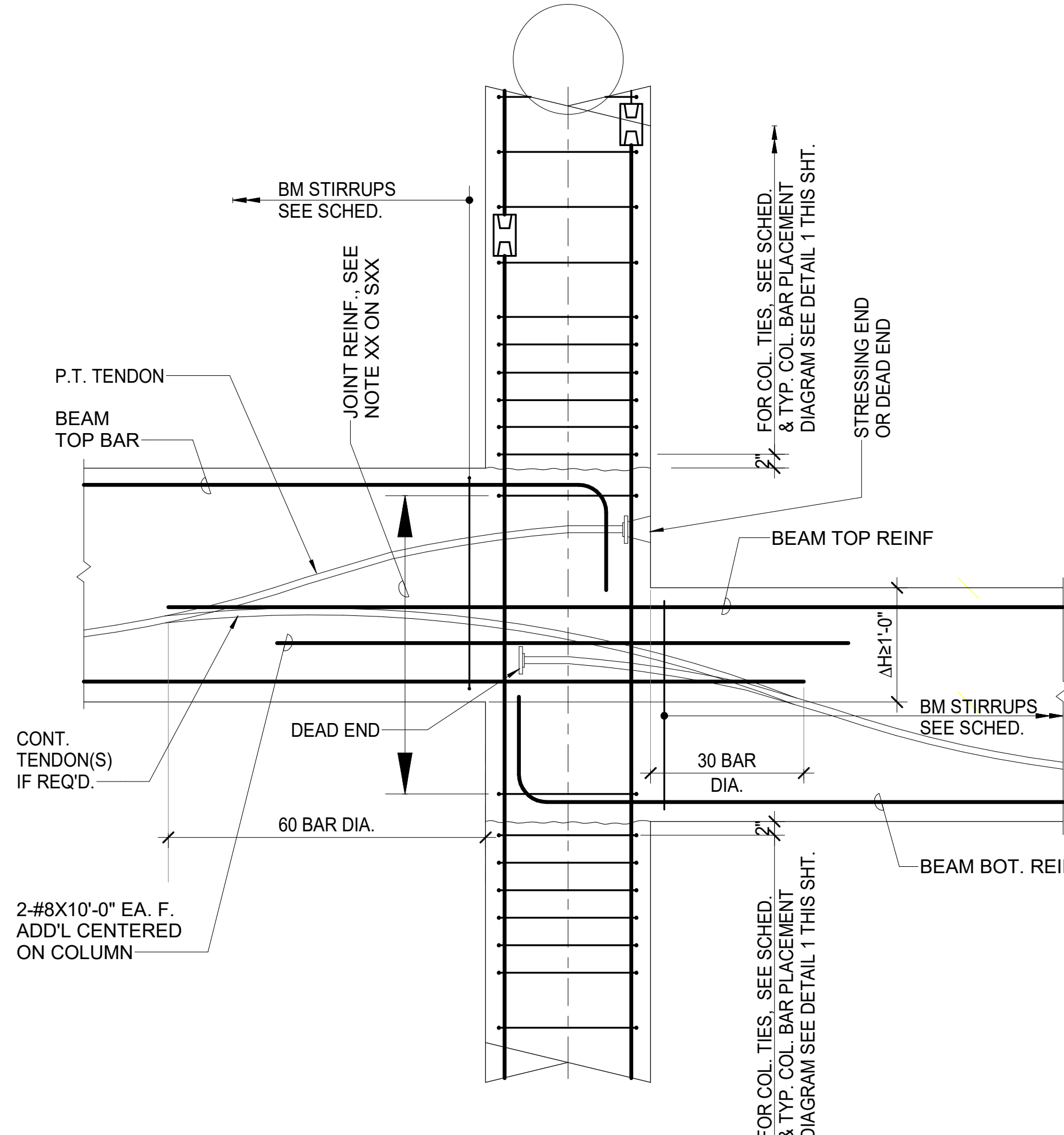
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PERMIT 06-10-24
PROJECT NO: 50-24102

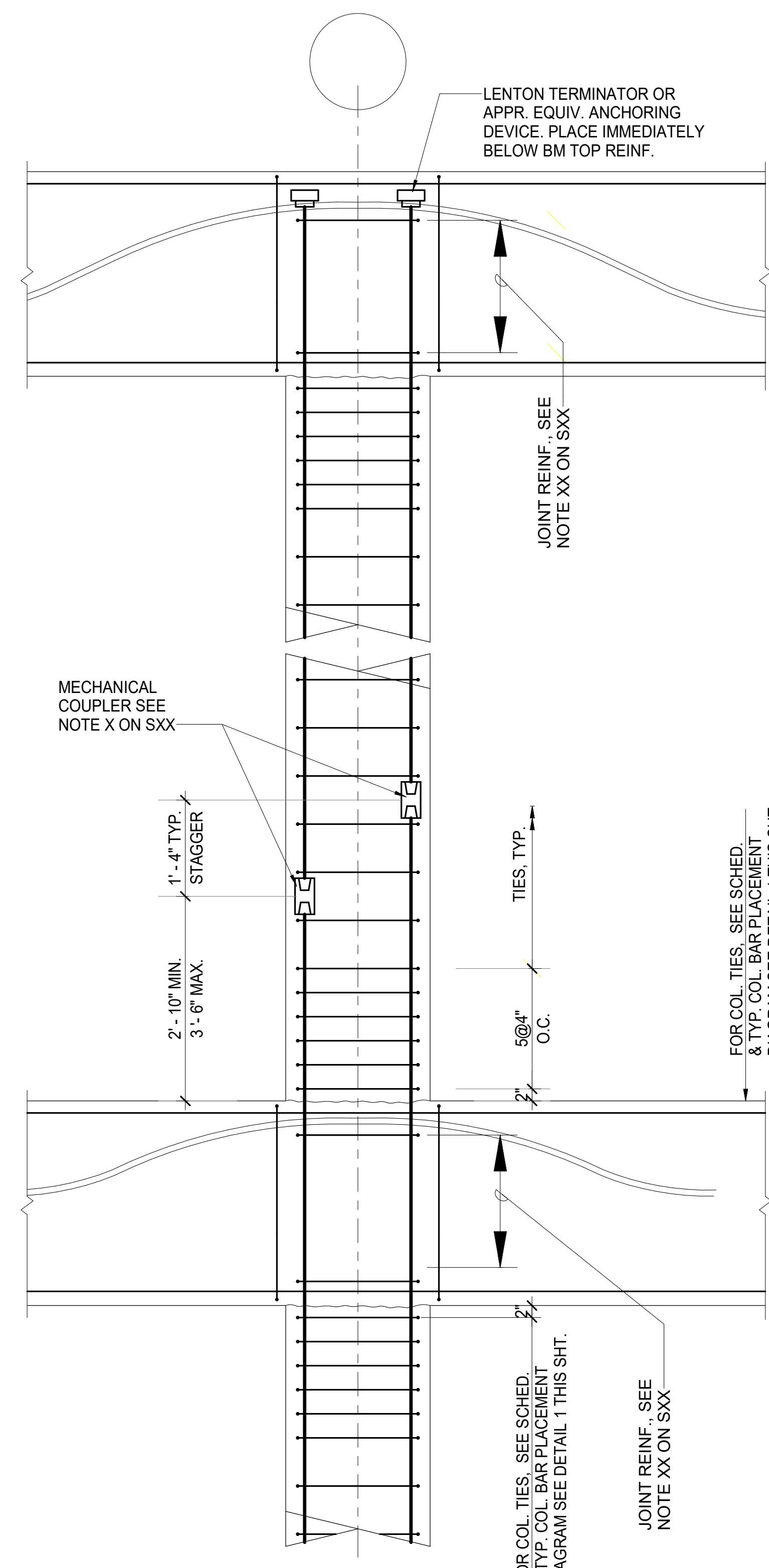
DES	BWN	CHK'D
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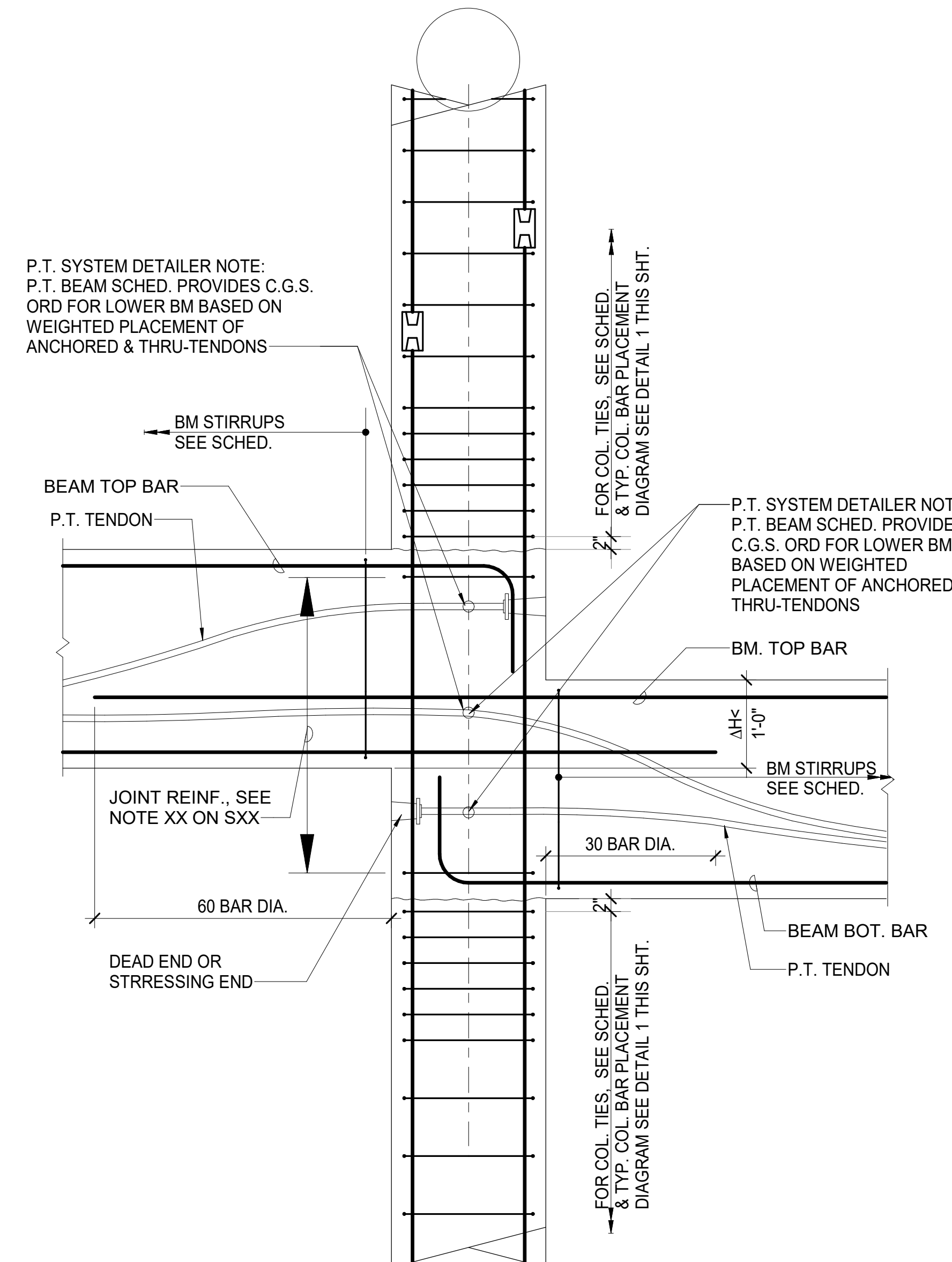
1 TYPICAL COLUMN BAR PLACEMENT DETAIL
S501 SCALE: N.T.S.



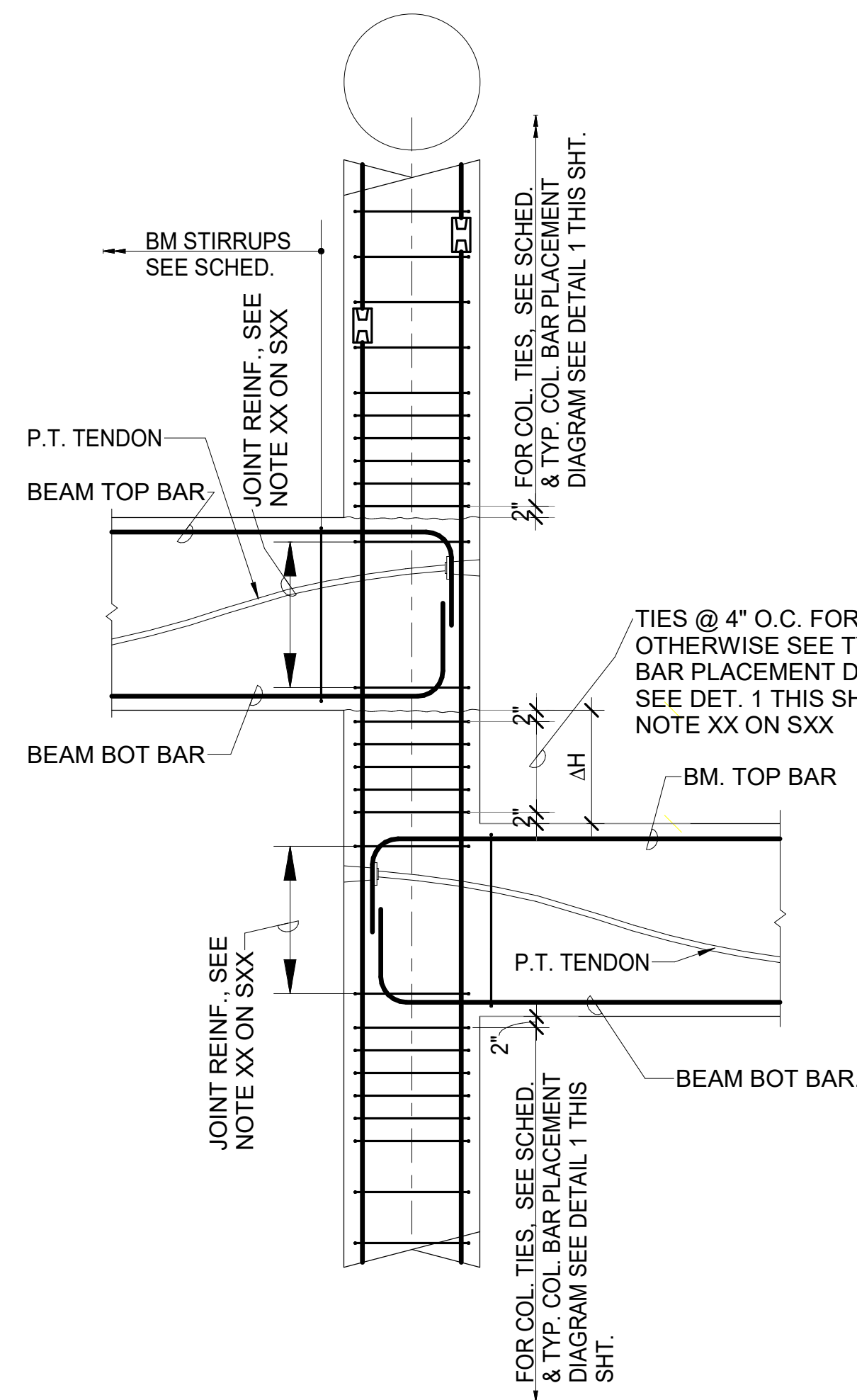
2 TYP. INTERIOR BEAM-COLUMN JOINT DETAIL
 S501 SCALE: N.T.S. WITH BM-SLAB STRUCTURE AT DIFF. ELEVATIONS
 ACROSS JT. (DEEP OVERLAP) $1'-0" \leq H \leq 2'-4"$



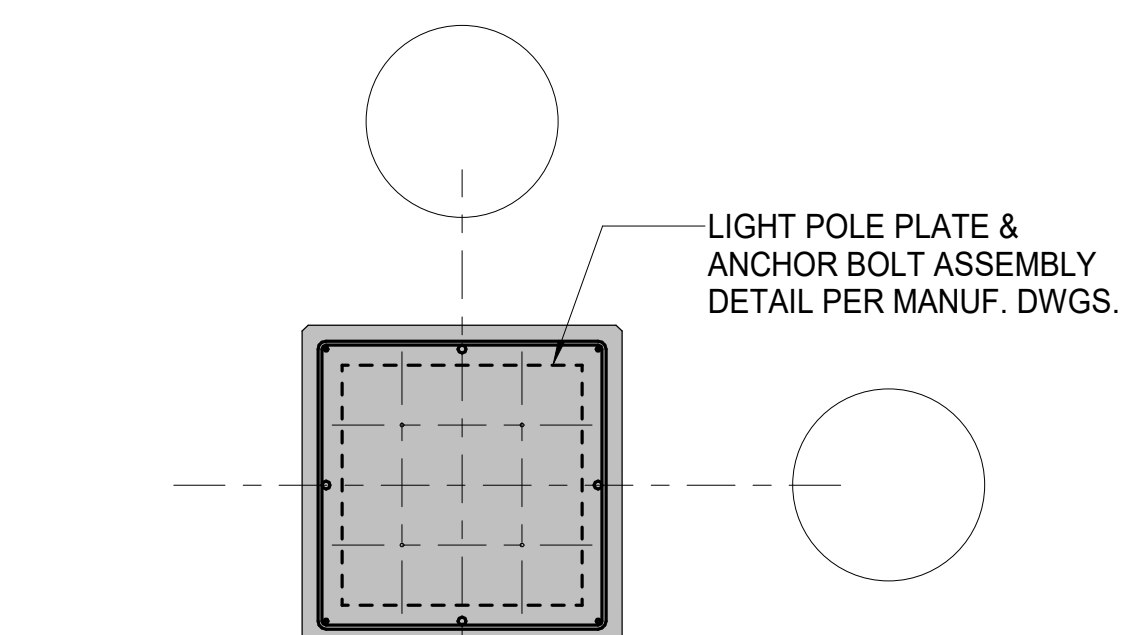
5 TYPICAL INTERIOR BM.-COL. JT. DETAIL
S501 SCALE: N.T.S.



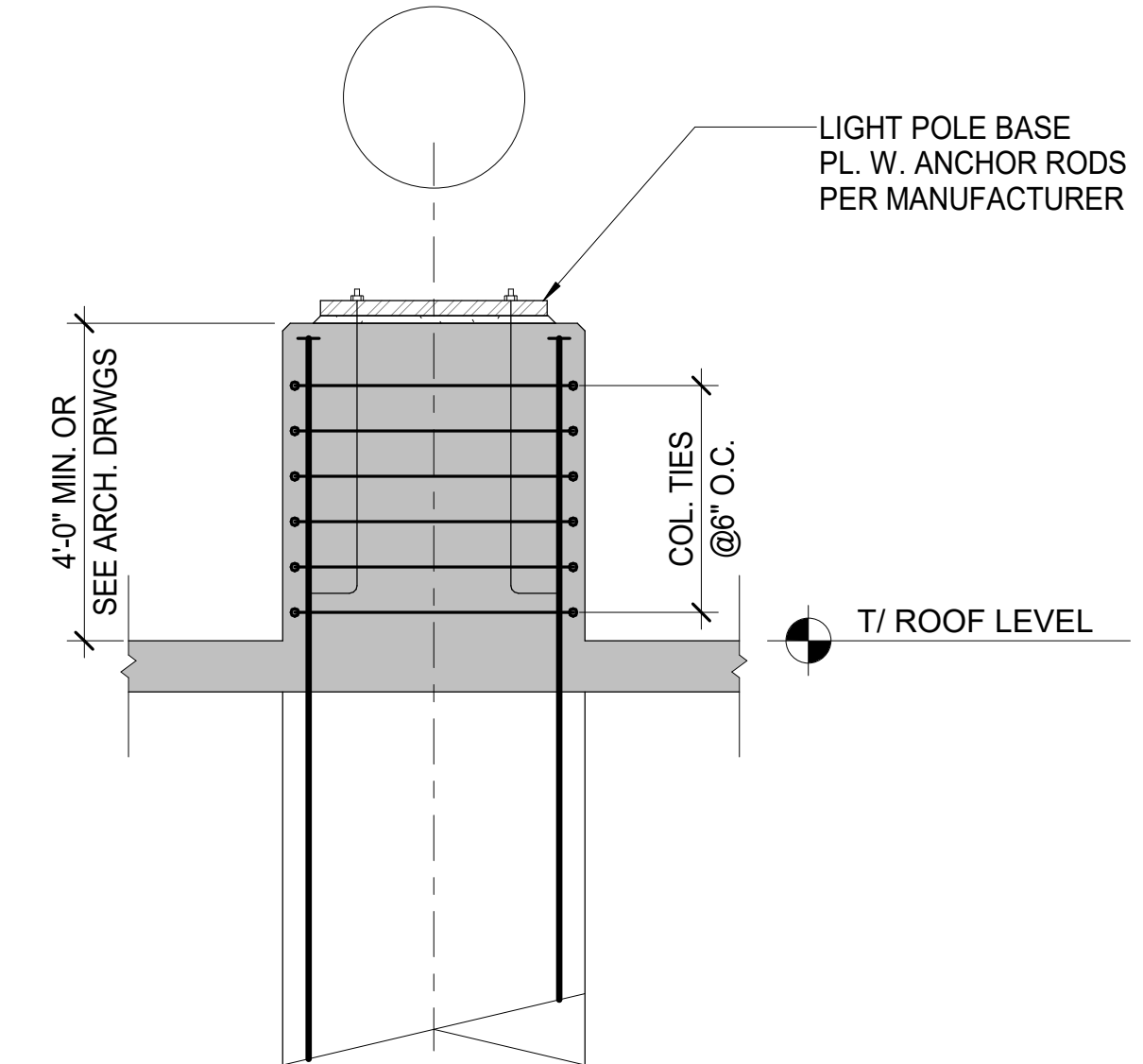
3 TYP. INTERIOR BM.-COL JOINT DETAIL
S501 SCALE: N.T.S. WITH BM-SLAB STRUCTURE AT DIFF. ELEVATIONS
ACROSS JT. (SHALLOW OVERLAP) H<1'-0"



4 TYP. INTERIOR BM. COL. JT. DETAIL
S501 SCALE: N.T.S. WITH BM-SLAB STRUCTURE AT DIFF



6 LIGHT POLE PLAN DETAIL
S501 SCALE: N.T.S.



7 LIGHT POLE BASE DETAIL
S501 SCALE: N.T.S.

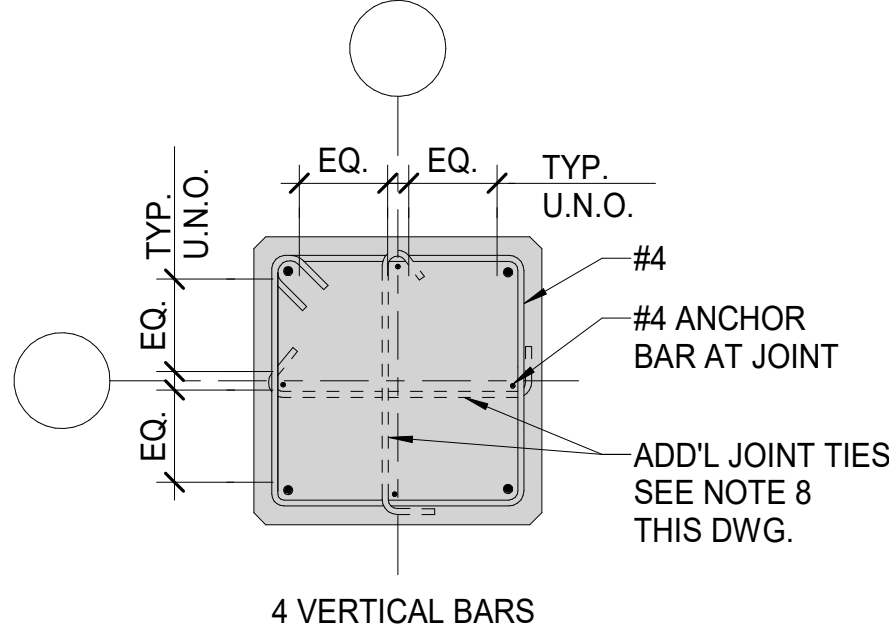
Exhibit G

GARAGE REINFORCED CONCRETE COLUMN SCHEDULE									
FLOOR	C O L U M N M A R K S - C O L U M N L I N E A								FLOOR
	Group8	Group7	Group6	Group5	Group4	Group3	Group2	Group1	
	A.3-8	A-7	A-6	A-5	A-4	A-3	A-2	A-1	
LEVEL 3W									LEVEL 2E
LEVEL 2W	SIZE: 24x24 F'c=5 KSI TYPE-1 8-#11 VERT. #4 TIES @8" O.C.	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.	LEVEL 2E
T/FND. EL	8-#11	8-#11	8-#11	8-#11	8-#11	8-#11	8-#11	8-#11	T/FND. EL
COLUMN DOWELS, U.N.O.									
COLUMN ORIENTATION									
REMARKS	FOR BRICK LEDGE, SEE DET. 5 / S102	FOR BRICK LEDGE, SEE DET. 4 / S102	FOR BRICK LEDGE, SEE DET. 4 / S102	FOR BRICK LEDGE, SEE DET. 4 / S102	FOR BRICK LEDGE, SEE DET. 4 / S102	FOR BRICK LEDGE, SEE DET. 4 / S102	FOR BRICK LEDGE, SEE DET. 5 / S102	FOR BRICK LEDGE, SEE DET. 5 / S102	

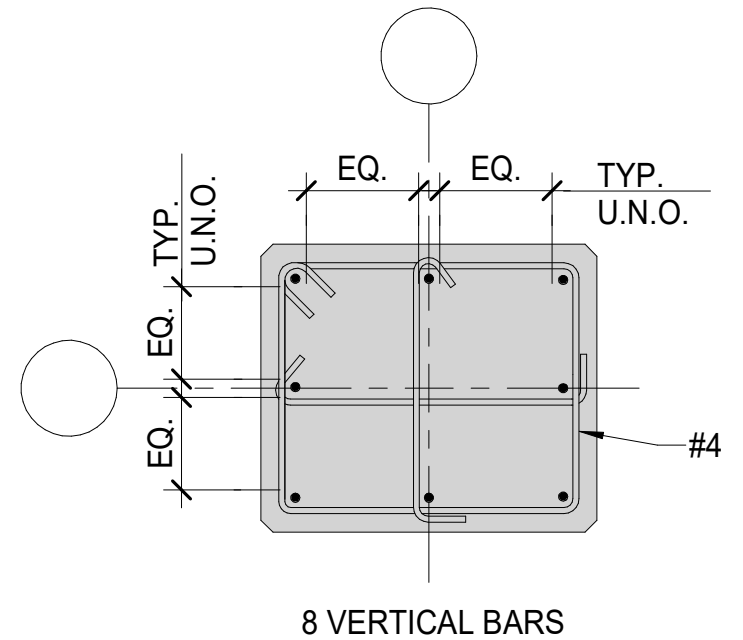
GARAGE REINFORCED CONCRETE COLUMN SCHEDULE									
FLOOR	C O L U M N M A R K S - C O L U M N L I N E C								FLOOR
	Group8	Group7	Group6	Group5	Group4	Group3	Group2	Group1	
	C-8	C-7	C-6	C-5	C-4	C-3	C-2	C-1	
LEVEL 3W									LEVEL 2E
LEVEL 2W	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.	LEVEL 2E
T/FND. EL	8-#11	8-#11	8-#11	8-#11	8-#11	8-#11	8-#11	8-#11	T/FND. EL
COLUMN DOWELS U.N.O.									
COLUMN ORIENTATION									
REMARKS	FOR BRICK LEDGE, SEE DET. 5 / S102								

LEGEND: EXTEND VERT. REINF. FROM TIER BELOW. SIZE TO MATCH, U.N.O. REFER TO TYP. DET. xxx

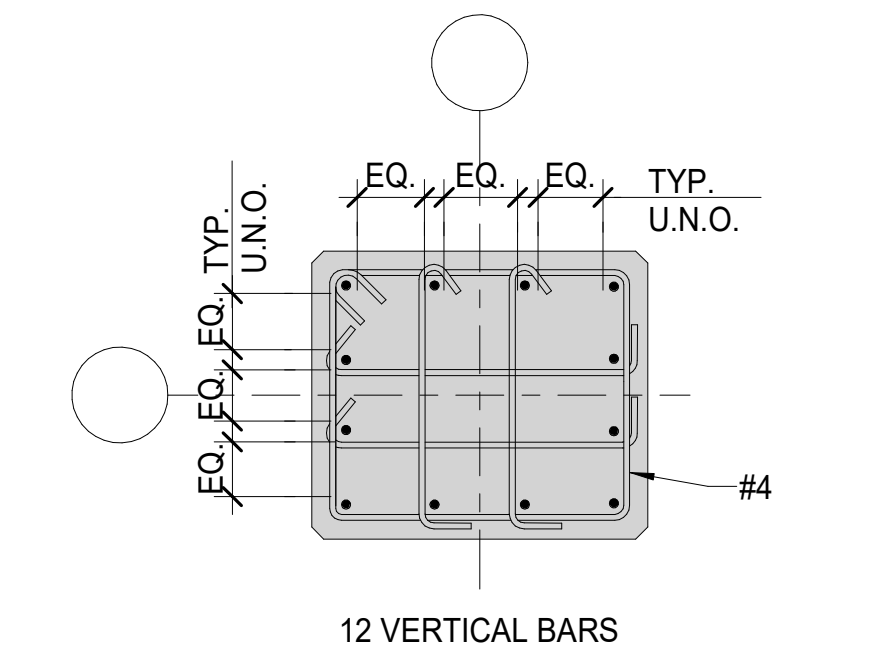
GARAGE REINFORCED CONCRETE COLUMN SCHEDULE									
FLOOR	C O L U M N M A R K S - C O L U M N L I N E B								FLOOR
	Group8	Group7	Group6	Group5	Group4	Group3	Group2	Group1	
	B-8	B-7	B-6	B-5	B-4	B-3	B-2	B-1	
LEVEL 3W									LEVEL 2E
LEVEL 2W	SIZE: 28x24 F'c=5 KSI TYPE-3 12-#11 VERT. #4 TIES @8" O.C.		SIZE: 28x24 F'c=5 KSI TYPE-3 12-#11 VERT. #4 TIES @8" O.C.	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#14 VERT. #4 TIES @8" O.C.	SIZE: 24x24 F'c=5 KSI TYPE-2 8-#14 VERT. #4 TIES @8" O.C.	SIZE: 28x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.		SIZE: 28x24 F'c=5 KSI TYPE-2 8-#11 VERT. #4 TIES @8" O.C.	LEVEL 2E
T/FND. EL	12-#11		12-#11	8-#11	8-#11	8-#11		8-#11	T/FND. EL
COLUMN DOWELS U.N.O.									
COLUMN ORIENTATION									
REMARKS	FOR BRICK LEDGE, SEE DET. 5 / S102								



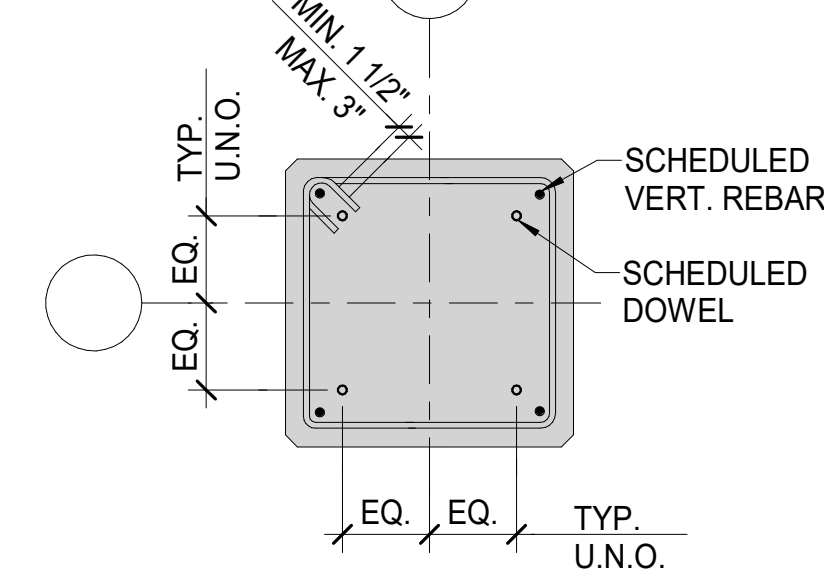
1 COLUMN TYPE-1
SCALE: N.T.S.



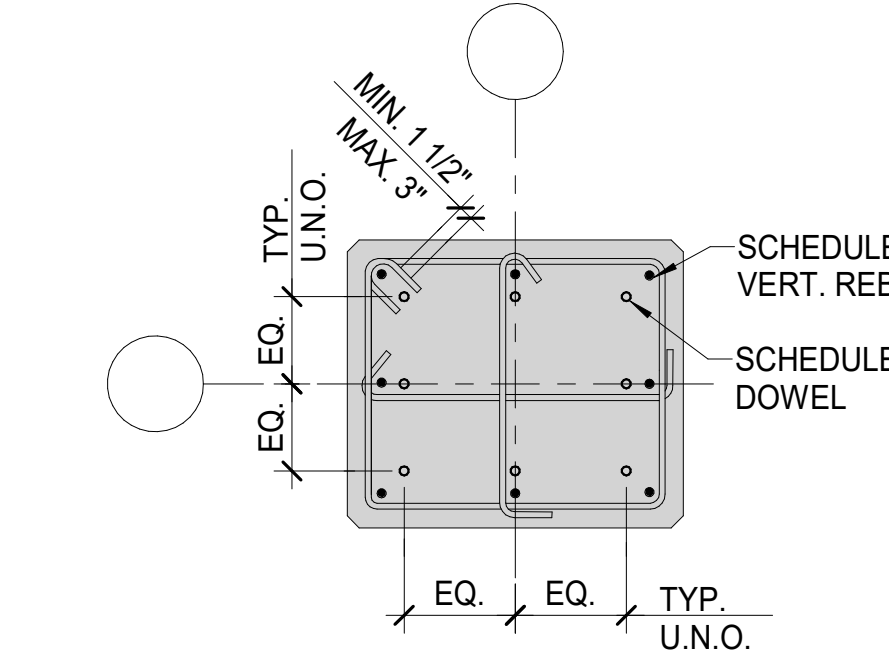
2 COLUMN TYPE-2
SCALE: N.T.S.



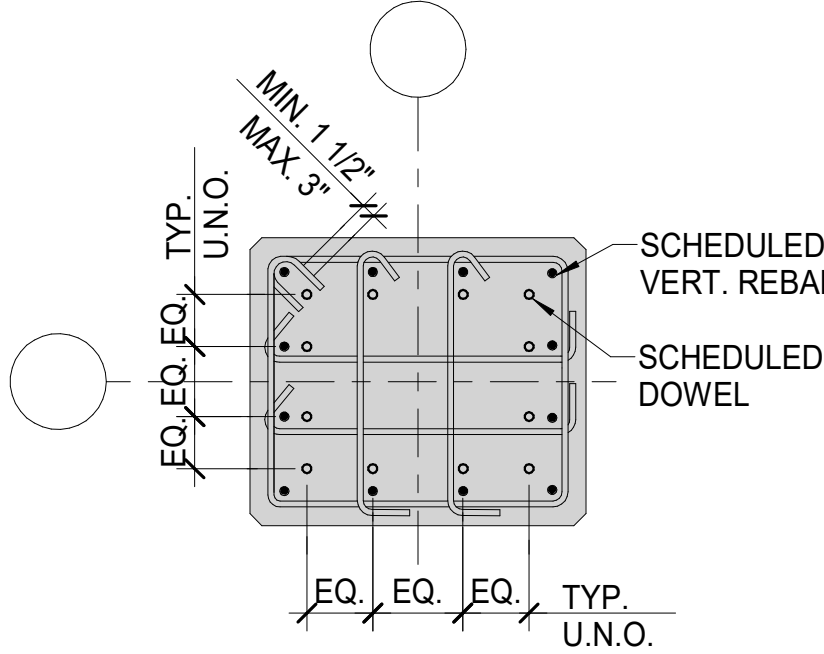
3 COLUMN TYPE-3
SCALE: N.T.S.



4 DOWEL PLACEM'T DETAIL FOR TYPE-1
SCALE: N.T.S.



5 DOWEL PLACEM'T DETAIL FOR TYPE-2
SCALE: N.T.S.



6 DOWEL PLACEM'T DETAIL FOR TYPE-3
SCALE: N.T.S.

COLUMN TYPICAL DETAIL AND SCHEDULE NOTES:

- ALL COLUMNS ARE CENTERED ON COLUMN GRID LINES UNLESS OTHERWISE NOTED.
- FOR COLUMN ORIENTATION SEE PLANS AND COLUMN SCHEDULE.
- REFER TO COLUMN SCHEDULE NOTES ON COLUMN SCHEDULE DWG. FOR SPECIFIC DETAILING REQUIREMENTS NOT INDICATED HEREIN BELOW.
- ALL COLUMN VERTICAL REBAR SHALL BE LAP SPLICED OR MECHANICALLY SPLICED PER THE TYPICAL DETAILS SHOWN ON THIS DRAWING.
- SEE ARCHITECTURAL DRAWINGS FOR LIGHT POLE SUPPORT COLUMNS AND DETAILS. COORDINATE ANCHOR BOLT LOCATIONS FOR THE LIGHT POLES WITH THE ELECTRICAL CONTRACTOR.
- IN ALL INSTANCES, VERTICAL REINFORCEMENT FROM COLUMN SEGMENT BELOW JOINT SHALL EXTEND THROUGH THAT JOINT. FOR ADJACENT TIER BAR PATTERNS, WHEN PART OF THE LOWER TIER VERTICAL REINFORCEMENT TERMINATES AT A JOINT PER SCHEDULE, EXTEND TERMINATING BARS A MINIMUM OF 50 TIMES BAR DIAMETER VERTICALLY UP INTO THE JOINT.
- PROJECTED VERTICAL LENGTH OF THE OFFSET-BENT COLUMN VERTICAL BARS SET WITHIN BEAM-COLUMN JOINTS SHALL NOT EXCEED 0.8H, WHERE H IS THE DEPTH OF THE JOINT. ANY OFFSET-BENT SHALL BE DONE WITH A SLOPE OF 1(HOR.):6(VERT. MIN.). OFFSET-BENT VERTICAL COLUMN BARS SHALL BE ENCLOSED WITH THE TYPICAL COLUMN HOOP TIES OR TIE SETS WHICH MUST INCLUDE ADDITIONAL TIE SETS PER TYPICAL DETAILS AT THE TOP AND THE BOTTOM OF THE BENT TRANSITION, WHERE THE PROJECTED VERTICAL LENGTH OF THE OFFSET-BENT COLUMN BAR EXCEEDS SCHEDULED TIE SPACING, INTERMEDIATE TIES ALONG SUCH TRANSITION SHALL VARY IN PLAN DIMENSIONS ACCORDINGLY.
- FOR BEAM-COLUMN JOINTS OF THE PARKING STRUCTURE FRAME, PROVIDE JOINT REINFORCEMENT IN THE FORM OF SCHEDULED COLUMN TIES, BUT IN NO CASE LESS THAN 3-#4 LEGS IN EACH DIRECTION, AS SHOWN IN DETAIL. WHEN NO VERTICAL BAR EXISTS WITHIN A PATTERN TO ANCHOR CENTER LEG OF A TIE SET, PROVIDE A #4 DOWEL (MAXIMUM OF 4 WOULD BE REQUIRED FOR A 4-BAR COLUMN BAR PATTERN) EXTENDING A MINIMUM OF 1'-0" INTO COLUMN SEGMENTS ABOVE AND BELOW JOINT. ALTERNATE PLACEMENT OF TIE SETS WITH ROWS OF POST-TENSIONING ANCHORS PER DETAIL. SUCH THAT TIE SPACING WITHIN JOINT AT ANCHOR CLUSTER DOES NOT EXCEED 7 INCHES. IN ADDITION, PROVIDE 2 SCHEDULED COLUMN TIES ABOVE ANCHOR CLUSTER AND SCHEDULED COLUMN TIES BELOW ANCHORAGE ZONE SPACED AT 4 INCHES ON-CENTER.
- FOR BEAM-COLUMN OR SLAB-COLUMN JOINTS WITHOUT POST-TENSIONING ANCHORS, PROVIDE SCHEDULED TIES, AND ADDITIONAL JOINT TIES AS REQUIRED, SPACED AT 6 INCHES ON-CENTER.
- USE THESE NOTES TOGETHER WITH TYPICAL DETAILS AND COLUMN SCHEDULE INFORMATION HEREIN ABOVE FOR COLUMN REINFORCING DETAILING. COLUMN DETAILING SHALL FOLLOW PRINCIPLES AND TYPICAL GRAPHICAL STANDARDS OF ACI SP-66 DETAILING MANUAL, LATEST EDITION.
- ALL FLOOR ELEVATIONS INDICATED IN THESE SCHEDULES ARE EITHER SCHEMATIC OR NOMINAL. SEE ARCH DWG'S FOR FINAL SPOT ELEVATIONS.
- ALL COLUMN TIES SHALL BE PER ACI 315, LATEST EDITION. STANDARD 90 OR 135 DEG. HOOKS SHALL BE USED AS SHOWN AND AS PER "CONCRETE NOTES" ON THE GENERAL NOTES DRAWING, UNLESS NOTED OTHERWISE.
- CLEAR COVER TO COLUMN TIES, EXPOSED TO WEATHER, FOR PARKING STRUCTURE SHALL BE 2 INCHES UNLESS NOTED OTHERWISE.
- TOP AND BOTTOM ELEVATION OF EACH TIER OF ANY COLUMN SHALL BE DETERMINED BY THE DETAILER USING ARCHITECTURAL AND STRUCTURAL PLANS, NOTES, AND DETAILS. THESE ELEVATIONS WILL VARY FROM COLUMN TO COLUMN EVEN IF THEY HAVE BEEN GROUPED INTO A SINGLE COLUMN IN THE SCHEDULE HEREIN ABOVE.
- SPACING OF TYPICAL COLUMN TIES INDICATED IN THE SCHEDULE IS MAXIMUM FOR A SPECIFIC SEGMENT INDICATED AND MAY REQUIRE REDUCTION BASED ON TYPICAL DETAILS. OF PARTICULAR IMPORTANCE MAY BE COLUMN SEGMENTS BETWEEN BEAMS SUPPORTING RAMPS ON THE OPPOSITE SIDES OF A GIVEN COLUMN AND FRAMED INTO OPPOSITE FACES OF THE SAME COLUMN. SHORT SEGMENTS THUS FORMED SHALL BE PROVIDED WITH TIES @ 4" O.C. UNLESS NOTED OTHERWISE.

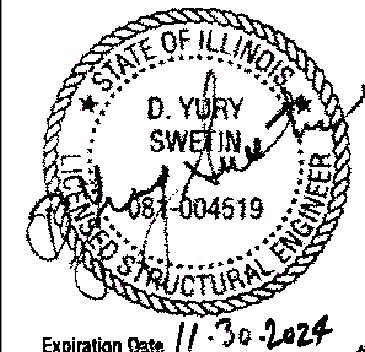
DESMAN



DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE

304 HILL STREET, EAST DUNDEE, IL 60118

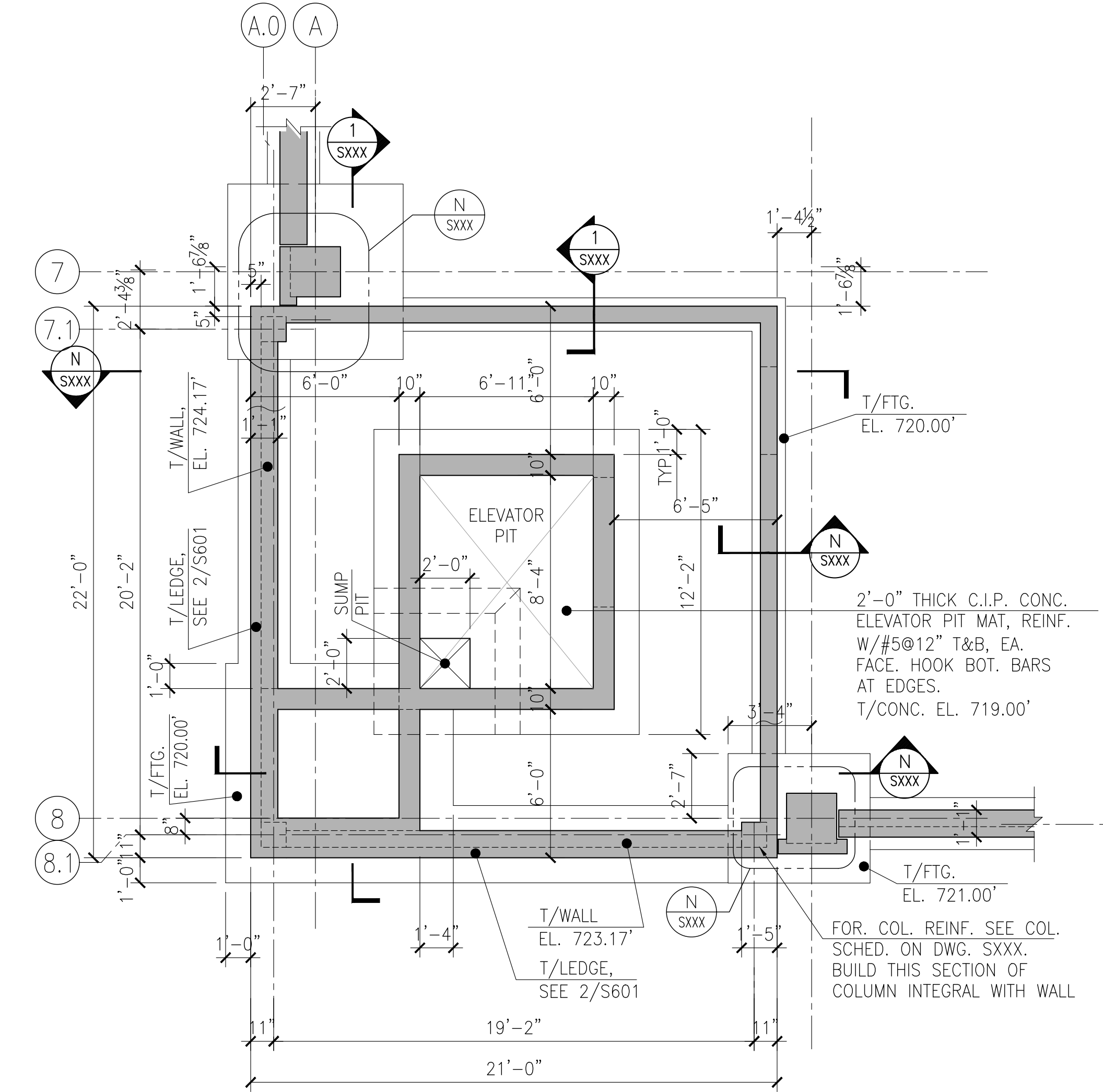


NO.	DESCRIPTION	DATE
	ISSUE	

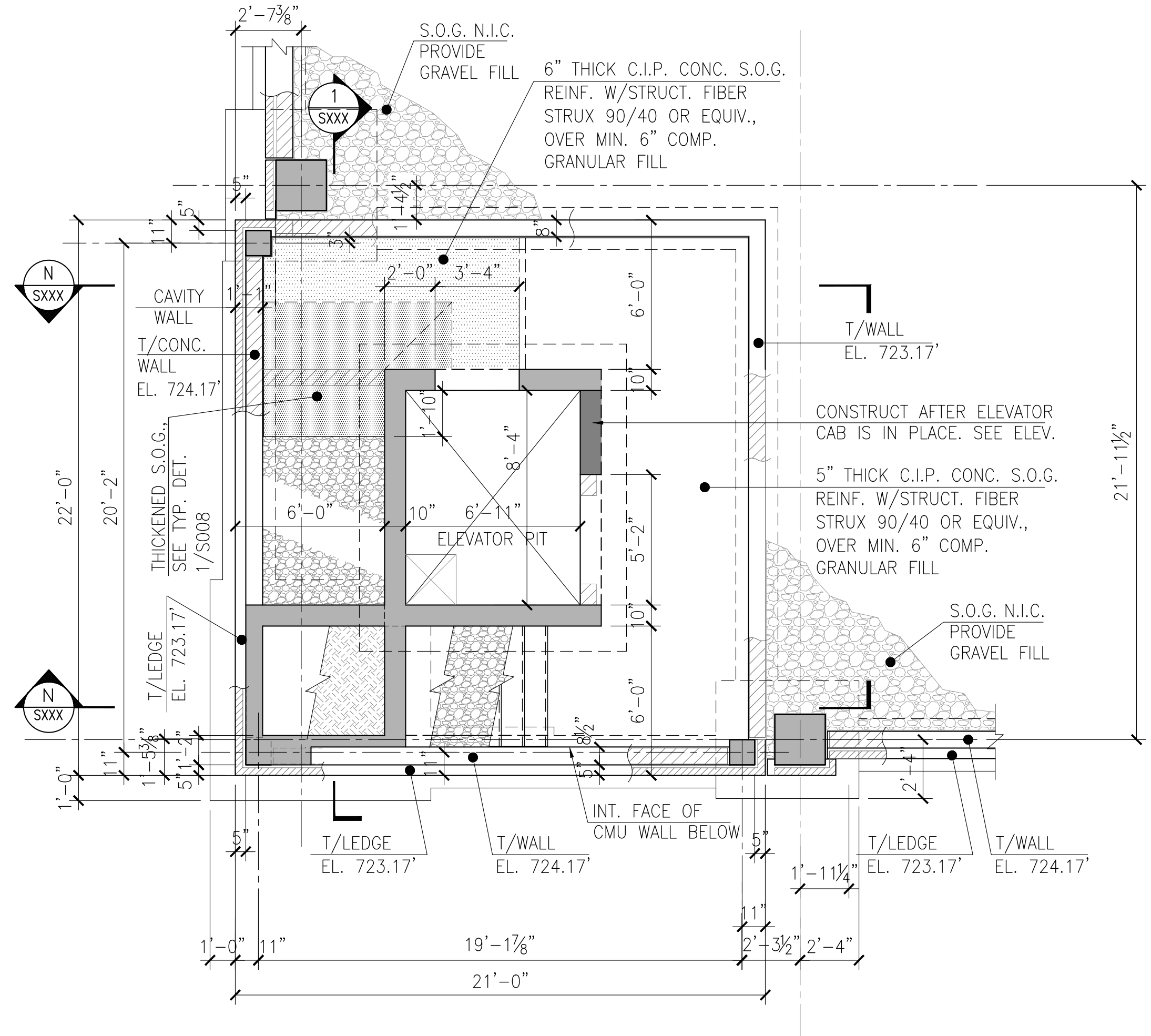
DRAWING TITLE:
GARAGE COLUMN SCHEDULE

DRAWING NO:
S502

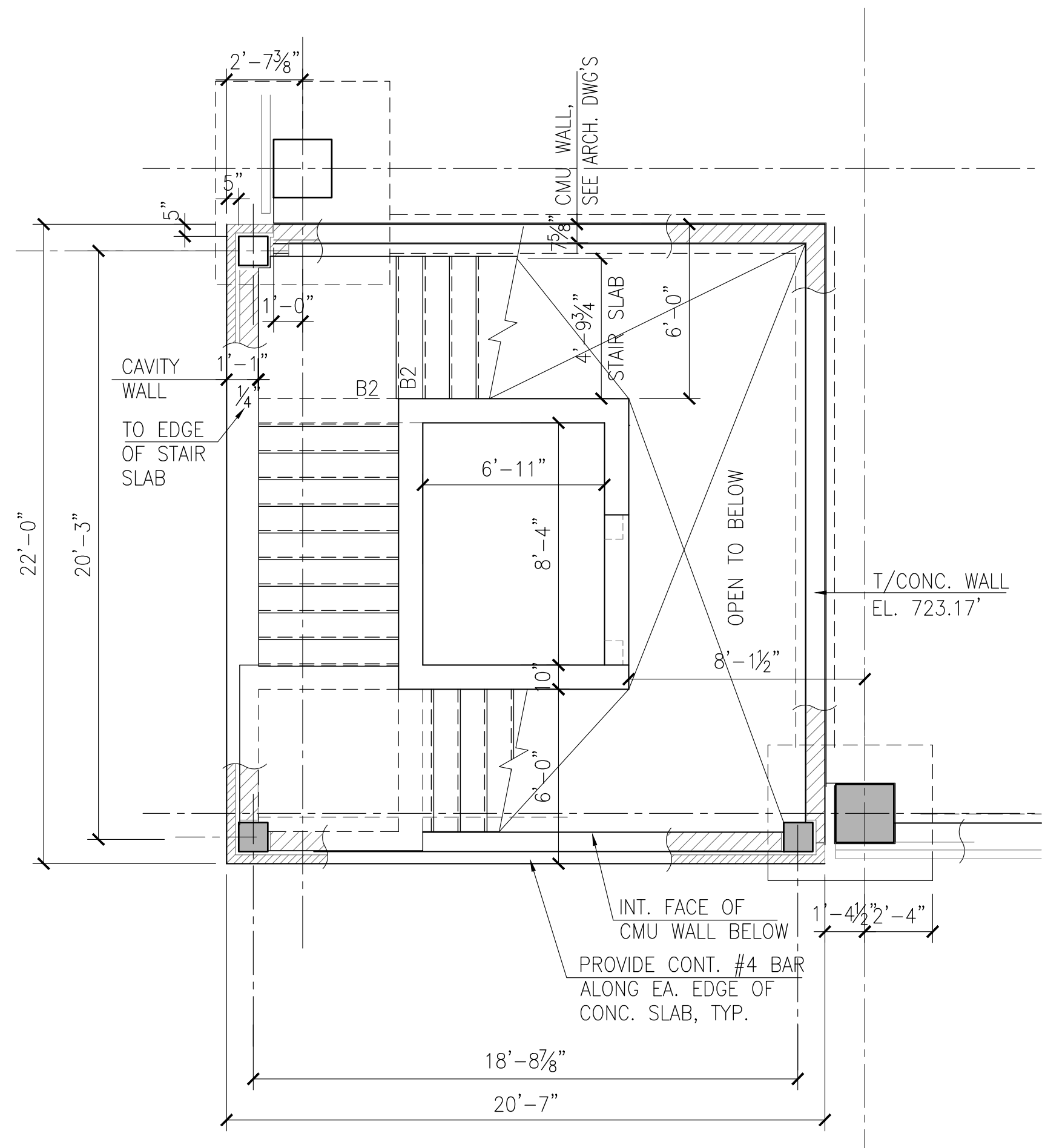
SCALE: N.T.S.		
DATE:	ISSUED FOR	
PROJECT NO:	50-24102	
DES.	RWN.	CHKD.
YS	CM	JR



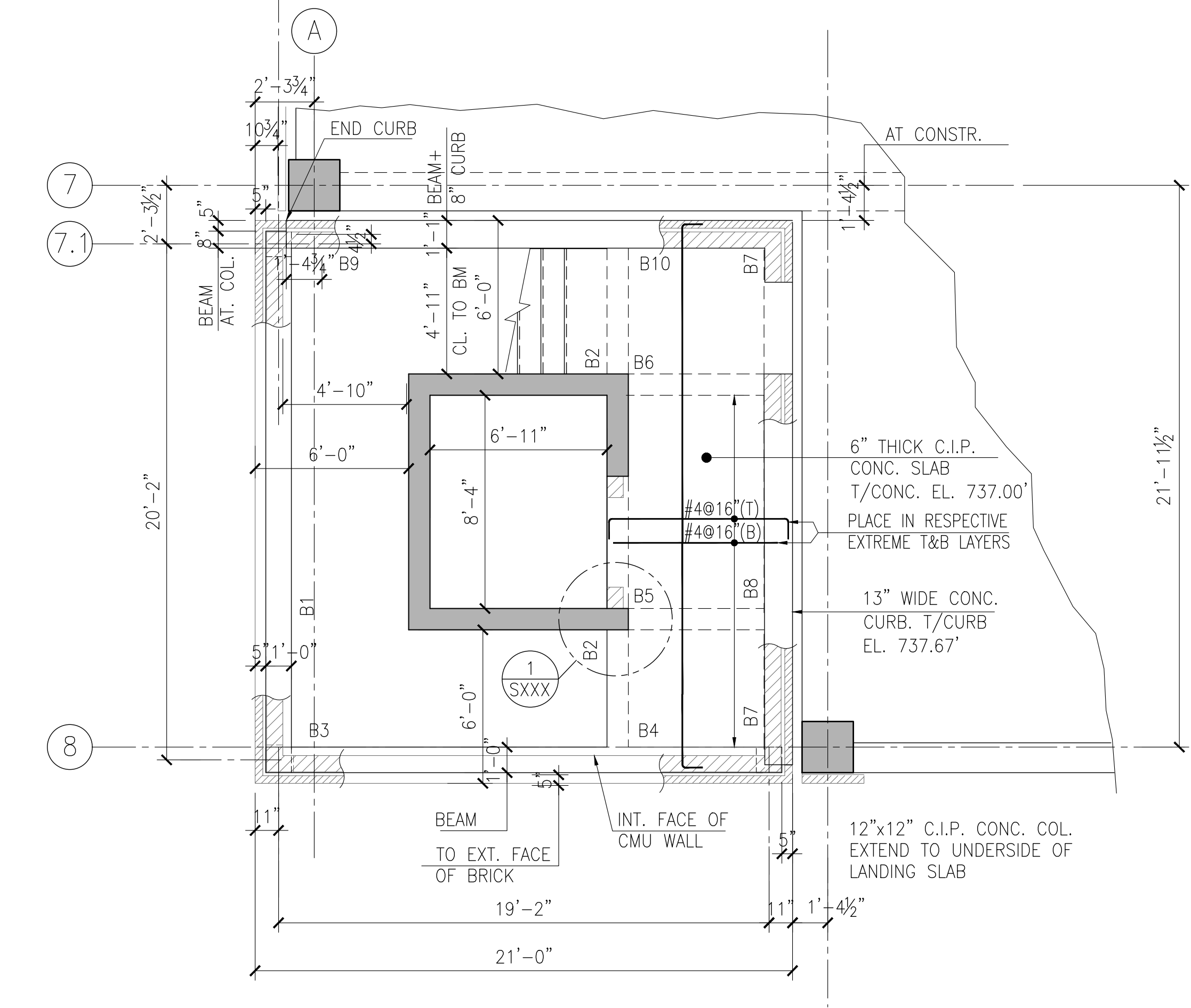
1 WEST STAIR PLAN - FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



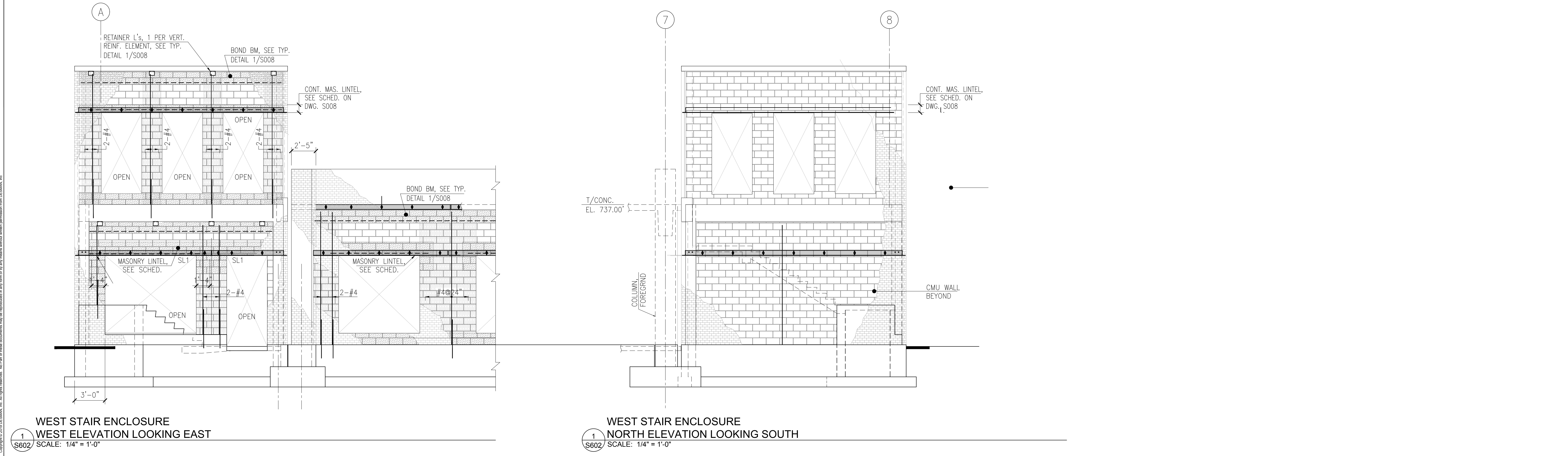
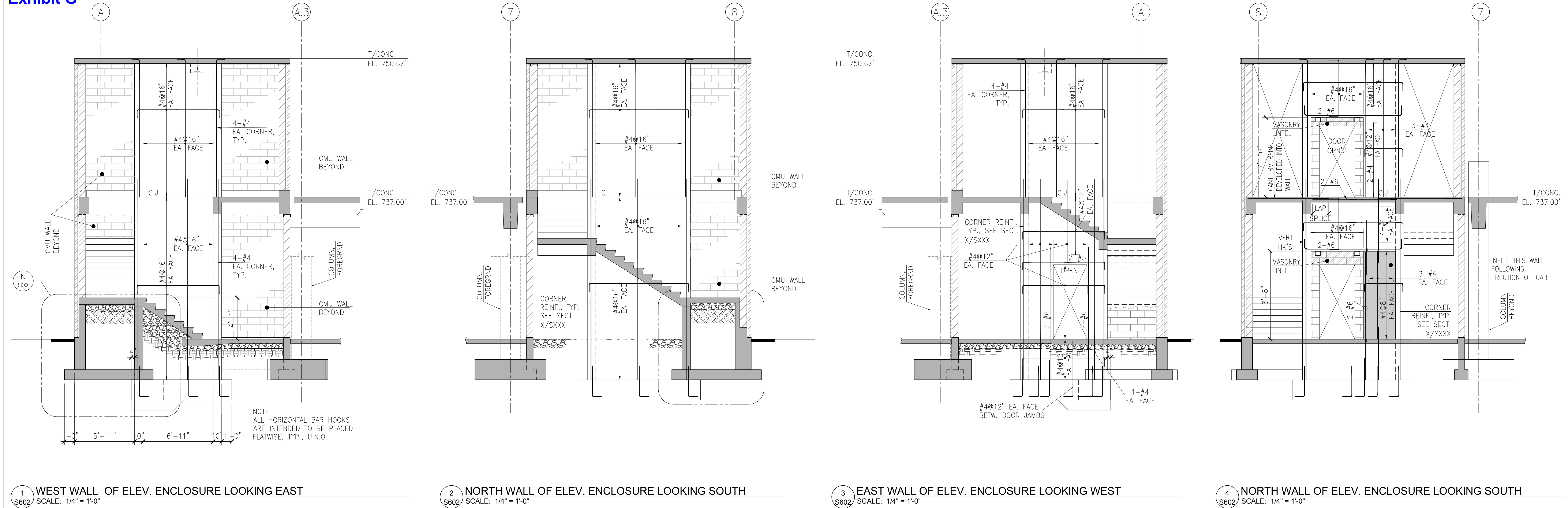
2 WEST STAIR PLAN - GRADE LEVEL PLAN
SCALE: 1/4" = 1'-0"



3 WEST STAIR PLAN - LANDING LEVEL PLAN
SCALE: 1/4" = 1'-0"



4 WEST STAIR PLAN - TOP FRAMING PLAN
SCALE: 1/4" = 1'-0"



DES MAN

McHUGH
125
YEARS
EST. 1897

DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE

304 HILL STREET, EAST DUNDEE, IL 60118

STATE OF ILLINOIS
D. VERN SWENIN
104519
Professional Engineer
Expiration Date 11-30-2025

ISSUE

ISSUE FOR PERMIT 06-10-24

NO. DESCRIPTION DATE

DRAWING TITLE:
ENLARGED
STAIR SECTIONS

DRAWING NO:
S602

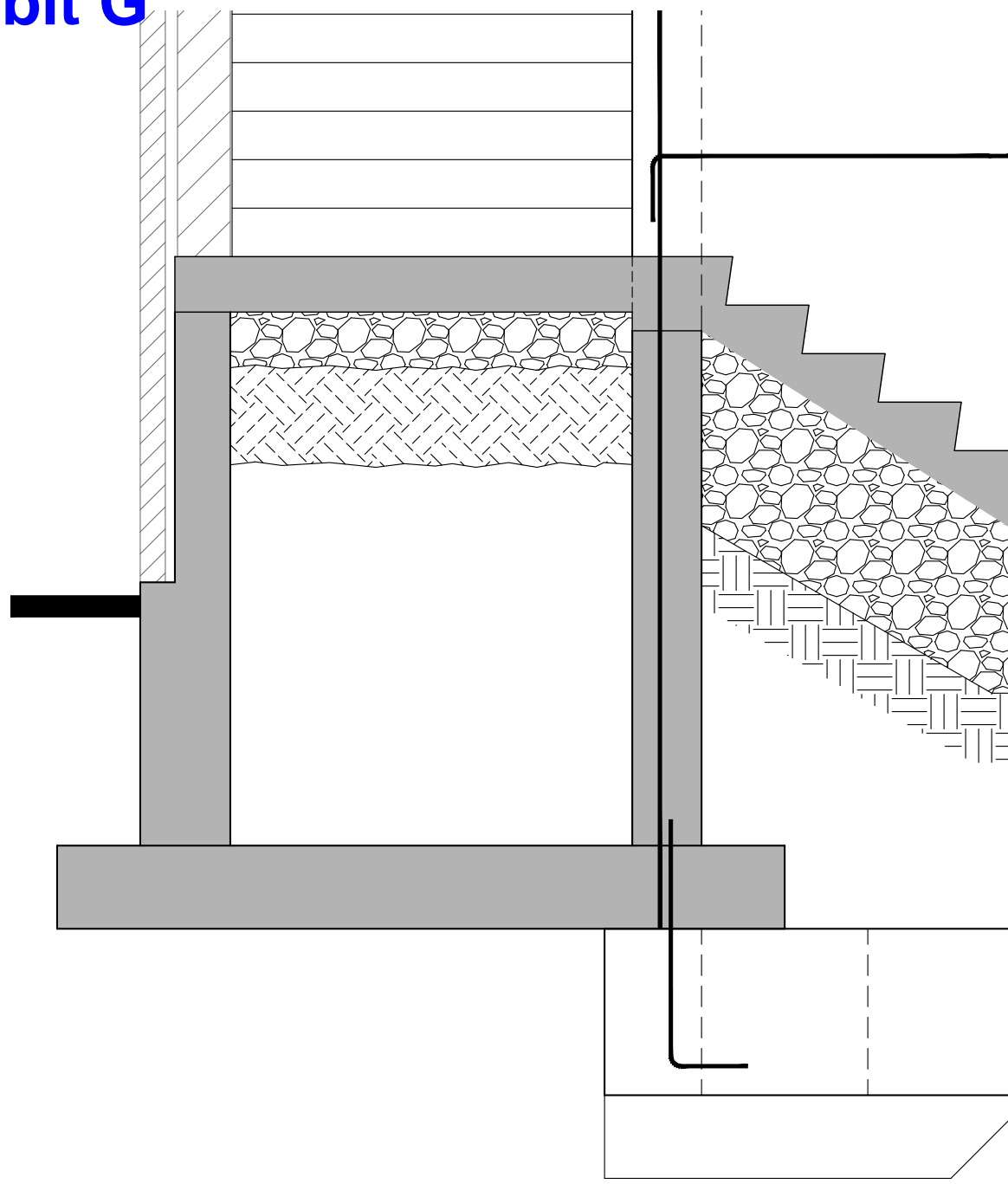
SCALE: 3/4" = 1'-0"

DATE: 05/30/24

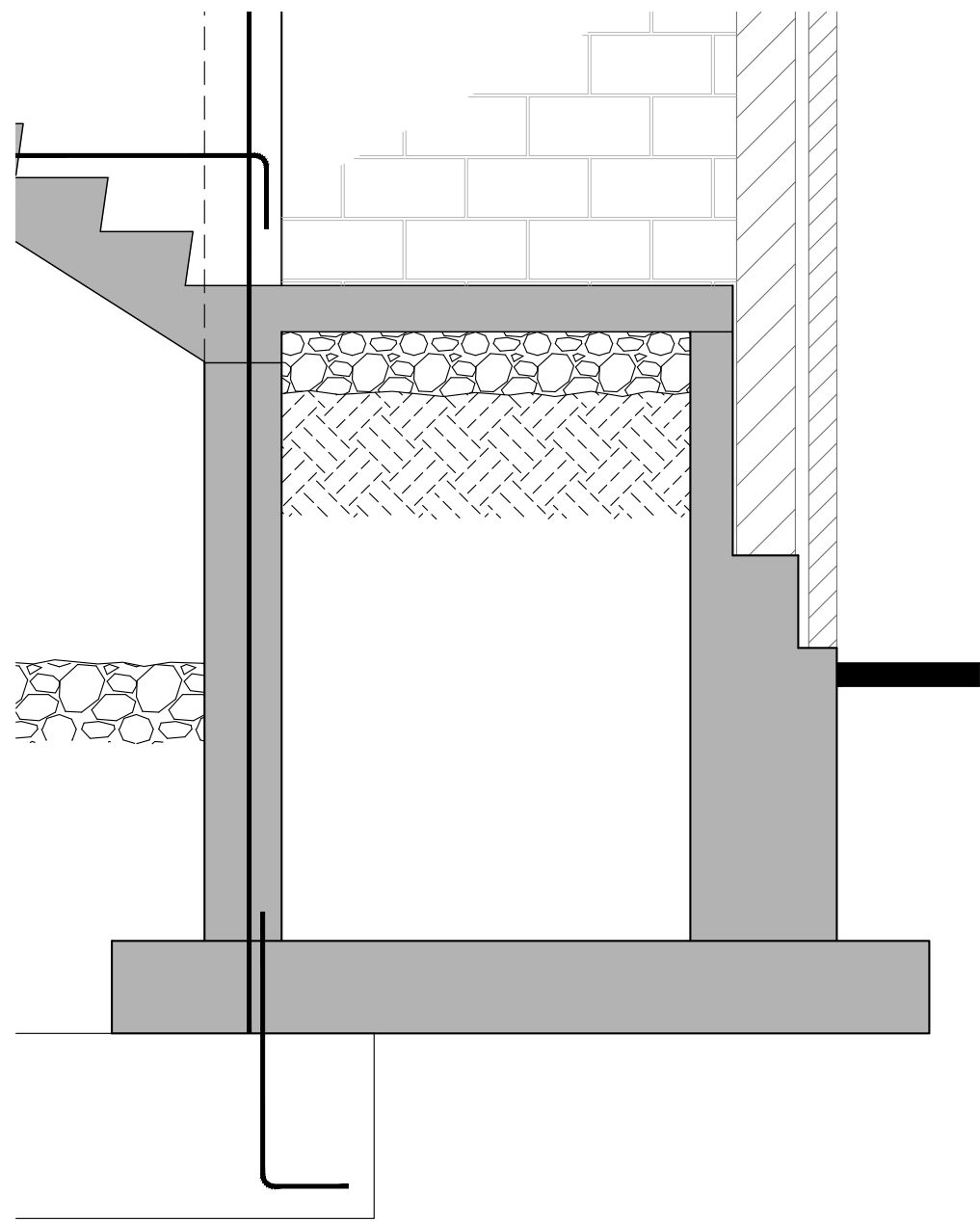
PROJECT NO: 50-24102

DES. YS RWN. MBT CHKD. YS

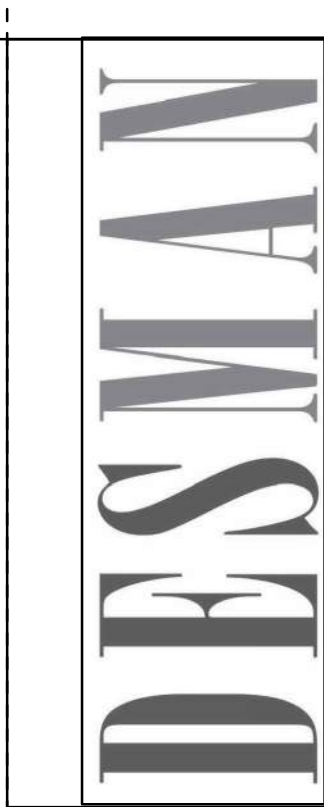
NOT FOR CONSTRUCTION



1 WEST STAIR ENLARGED SECTION
S603 / SCALE: 1/2" = 1'-0"



2 WEST STAIR ENLARGED SECTION
S603 / SCALE: 1/2" = 1'-0"



DOWNTOWN E. DUNDEE PARKING STRUCTURE

VILLAGE OF EAST DUNDEE

304 HILL STREET, EAST DUNDEE, IL 60118



I S S U E		
NO.	DESCRIPTION	DATE
	ISSUE FOR PERMIT	06-10-24

DRAWING TITLE:
**FOUNDATION
SECTION AND
DETAILS**

DRAWING NO:
S603

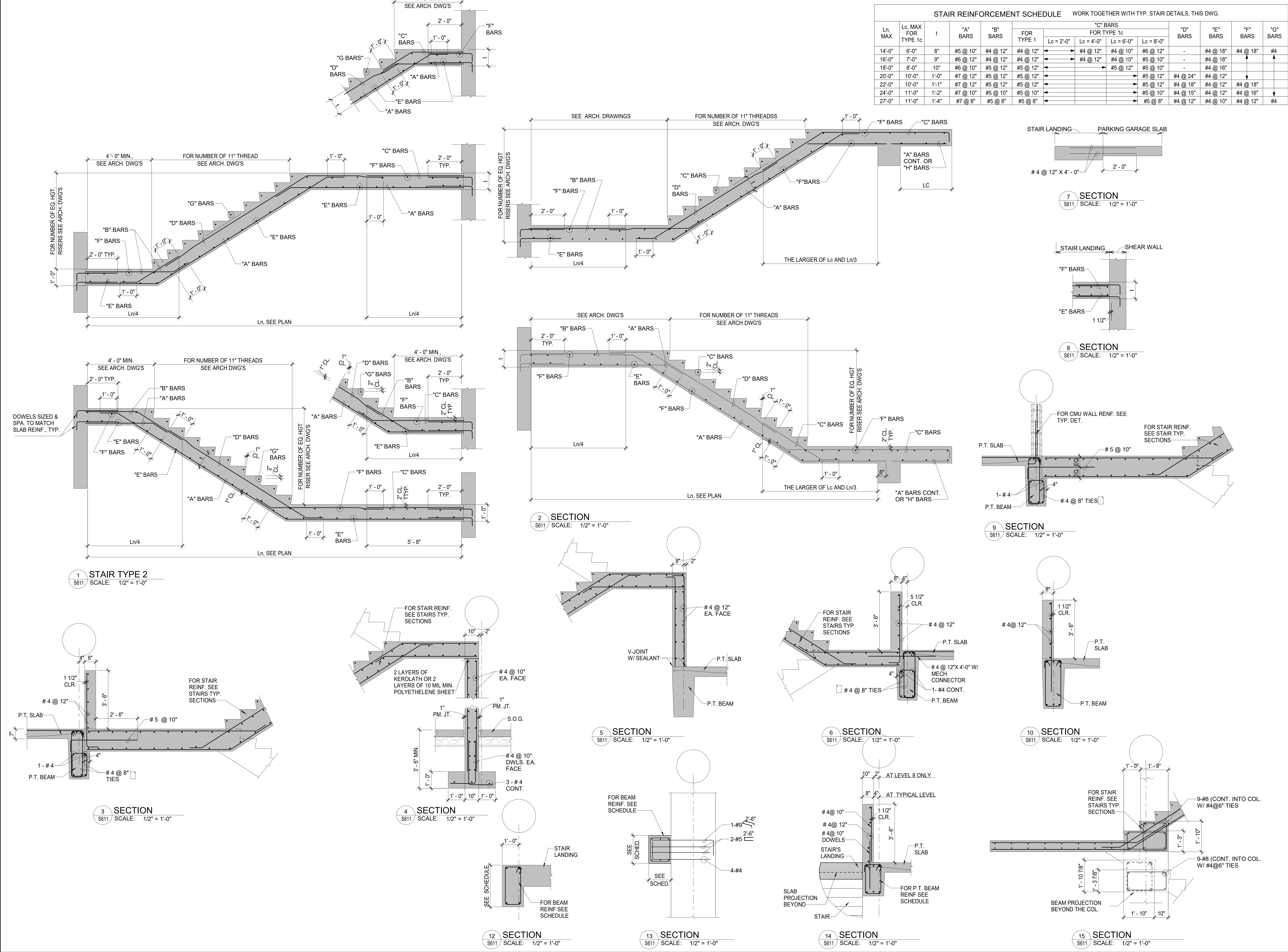
SCALE: 3/4" = 1'-0"

DATE: 05/30/24

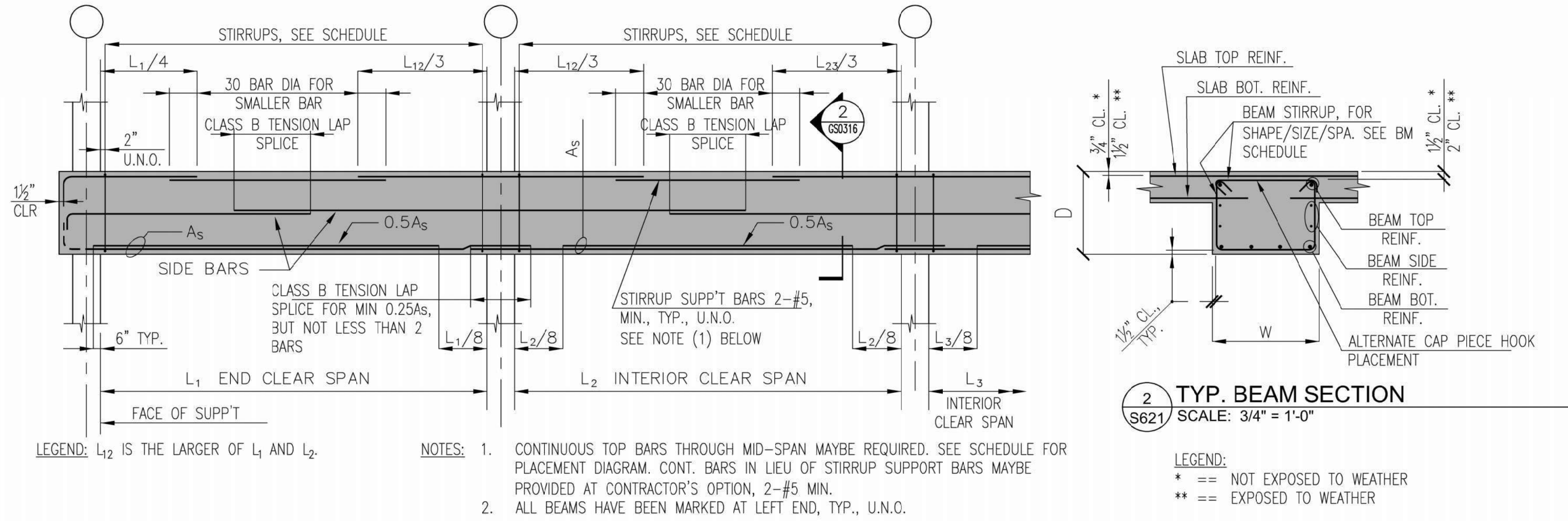
PROJECT NO: 50-24102

DES.	RWN.	CHK'D.
YS	MBT	YS

NOT FOR CONSTRUCTION

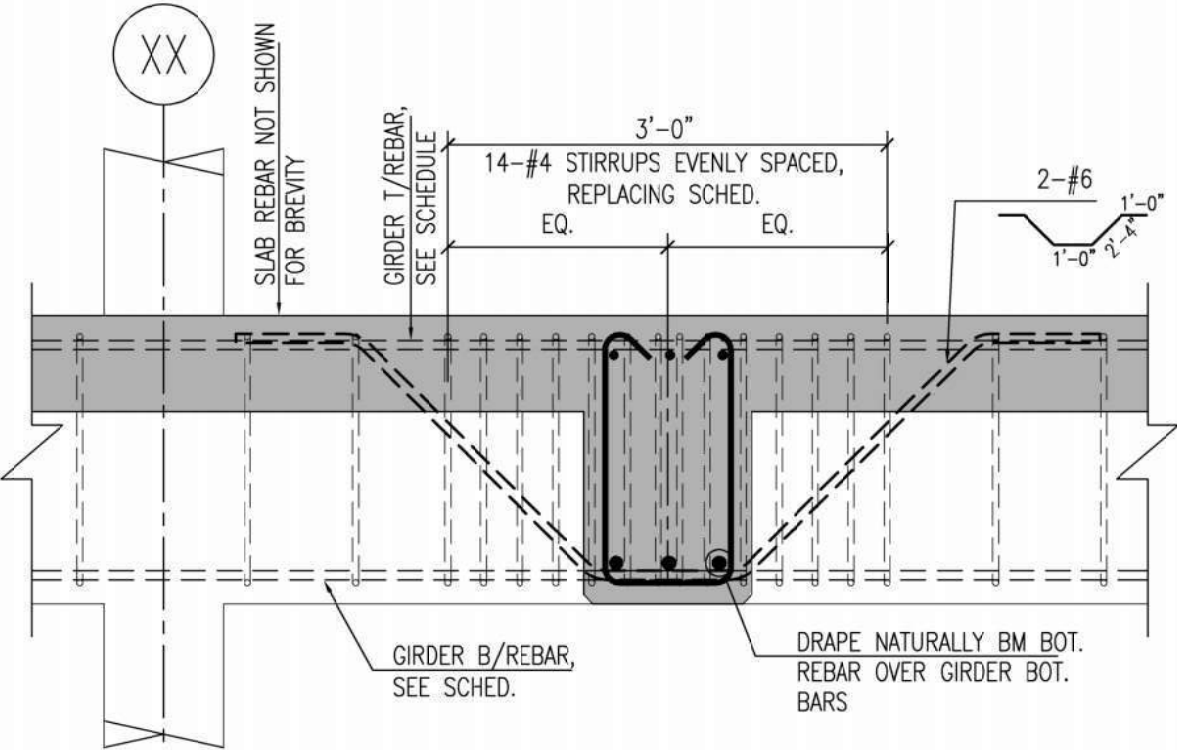


MARK	SHAPE	DIMENSIONS		REINFORCEMENT				STIRRUPS			PLAC'MT DIAGRAM FACE/ LEFT SUPP'T	REMARKS
		WIDTH W, IN	DEPTH D, IN	TOP LEFT	BOTTOM	TOP RIGHT	SIDE, EA. FACE	SIZE	SHAPE	SPA. EA. END, U.N.O.		
B1		12	20	2-#6	2-#6	2-#6	1-#4	#4		1@2", 6@8", BAL@12"		
B2		10	20	2-#7	2-#6	CONT.	2-#5			1@2", BAL@5"		CANTILEVER BM. LEFT END REBAR TO FULLY DEVELOP INTO WALL IN TENSION
B3		12	20	2-#6	2-#6	CONT.	2-#4			1@2", BAL@8"		EXTEND T&B REINF. THRU RIGHT SUPP'T & LAP SPLICE AT MID-SPAN OF B4
B4		12	20	CONT.	CONT.	CONT.	2-#4			1@2", BAL@8"		T&B REINF. CONT. FROM ADJ. SPAN. SEE REMARKS AT B3. CONT. REINF. PERMITTED
B5		10	20	2-#7	2-#6	CONT.	2-#4			1@2", BAL@8"		CANTILEVER BM. LEFT END REBAR TO FULLY DEVELOP INTO WALL IN TENSION
B6		10	20	3-#7	2-#6	CONT.	2-#4			1@2", BAL@8"		CANTILEVER BM. LEFT END REBAR TO FULLY DEVELOP INTO WALL IN TENSION
B7		13	20	2-#6	2-#6	CONT.	2-#5			1@2", BAL@5"		
B8		13	20	CONT.	2-#6	CONT.	2-#5			1@2", BAL@5"		SEE SECT. X/SXXX FOR CURB @ T/BM
B9		13	20	2-#6 +1-#4	2-#6	2-#7	1-#4			1@2", BAL@7"		SEE DETAIL D/SXXX FOR INTERFACE WITH COL. @ T/LEFT. PROVIDE ADD'L #4 FOR STIRRUP SUPP'T
B10		13	20	CONT.	2-#6	2-#7	1-#4			1@2", BAL@7"		



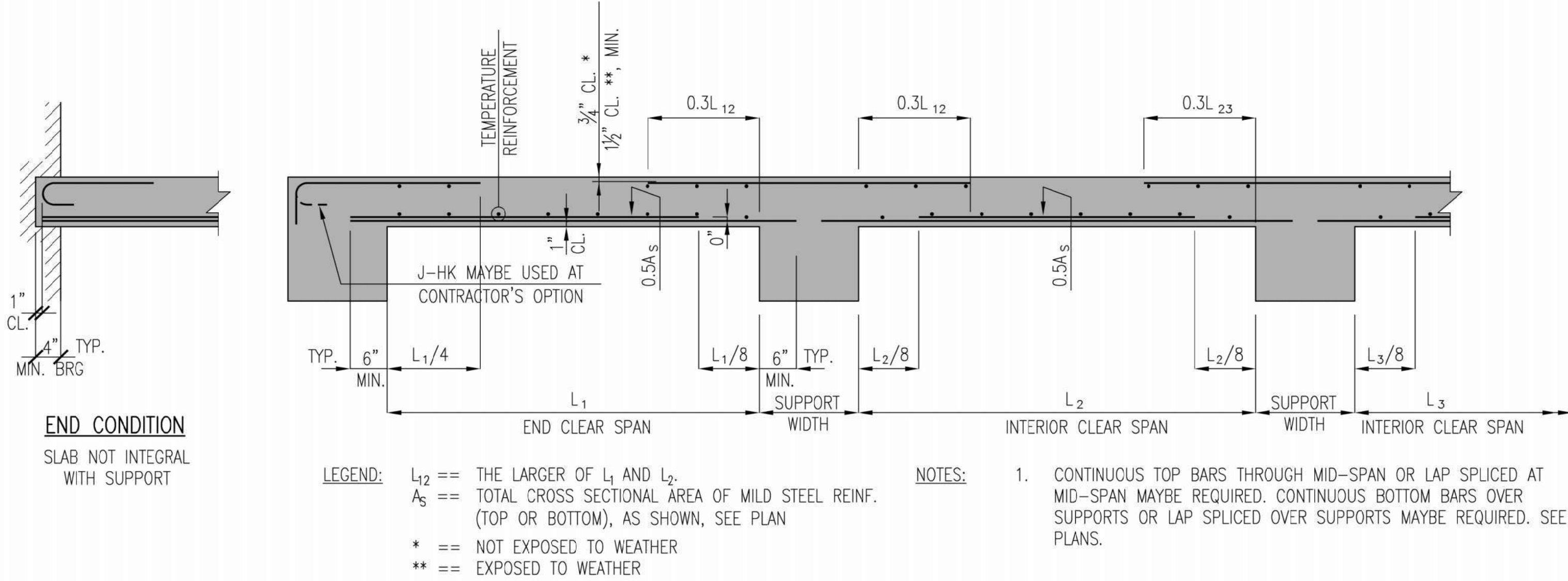
1
S621

TYP. BAR PLACEMENT DIAGRAM FOR CONVENTIONALLY REINFORCED
CONCRETE BEAMS
SCALE: NONE



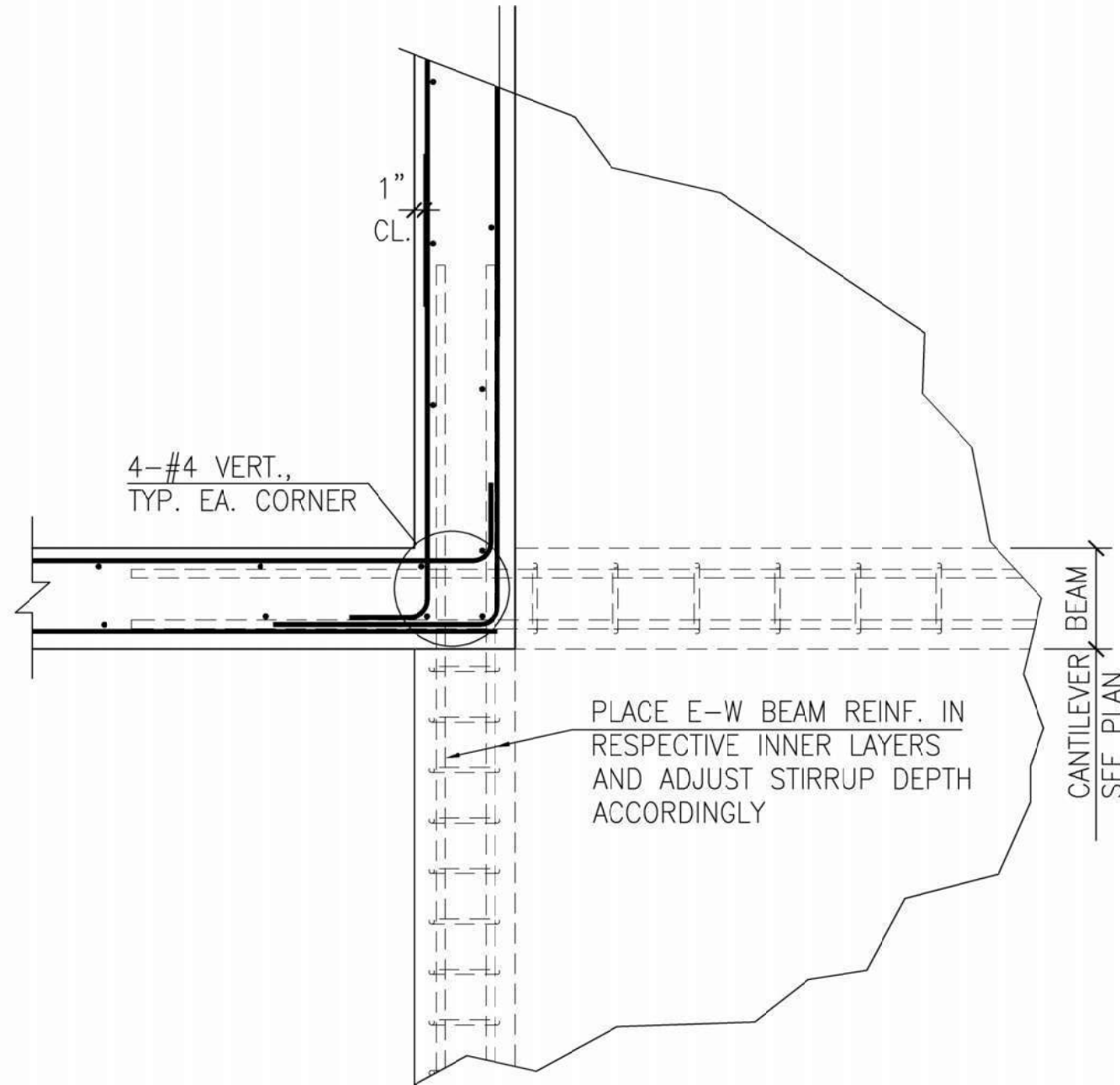
3
S621

DEFLECTION - BEAM/GIRDER
INTERFACE
SCALE: 1/4" = 1'-0"



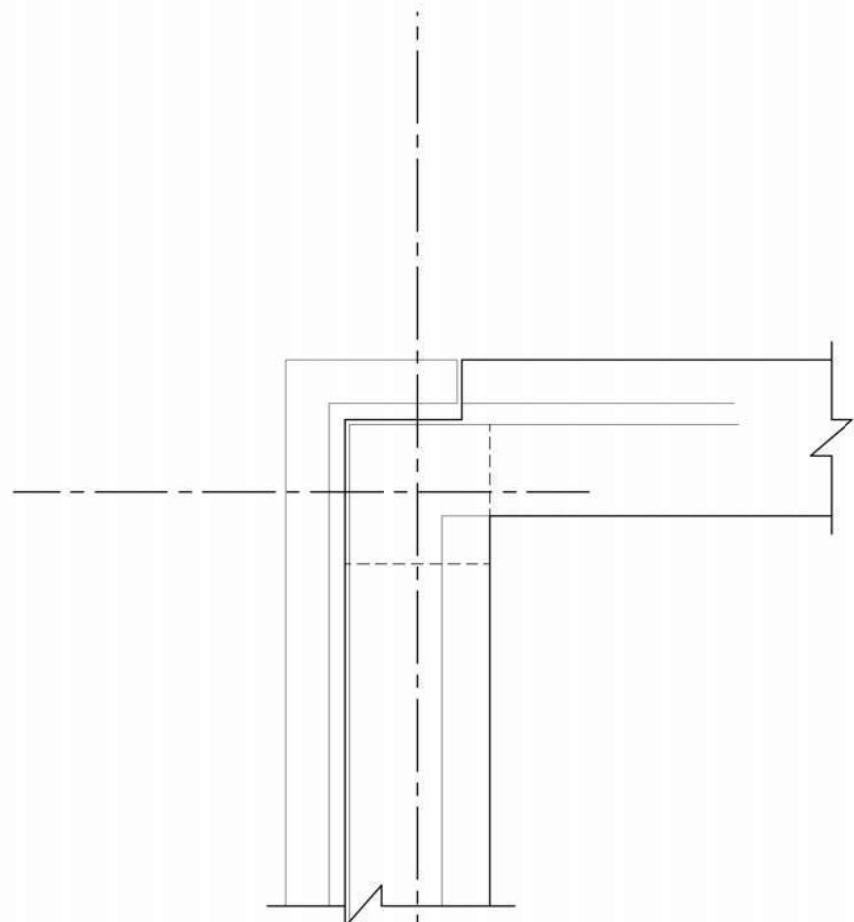
4
S621

TYP. BAR PLACEMENT DIAGRAM FOR CONVENTIONALLY REINFORCED
ONE-WAY CONCRETE SLABS
SCALE: NONE



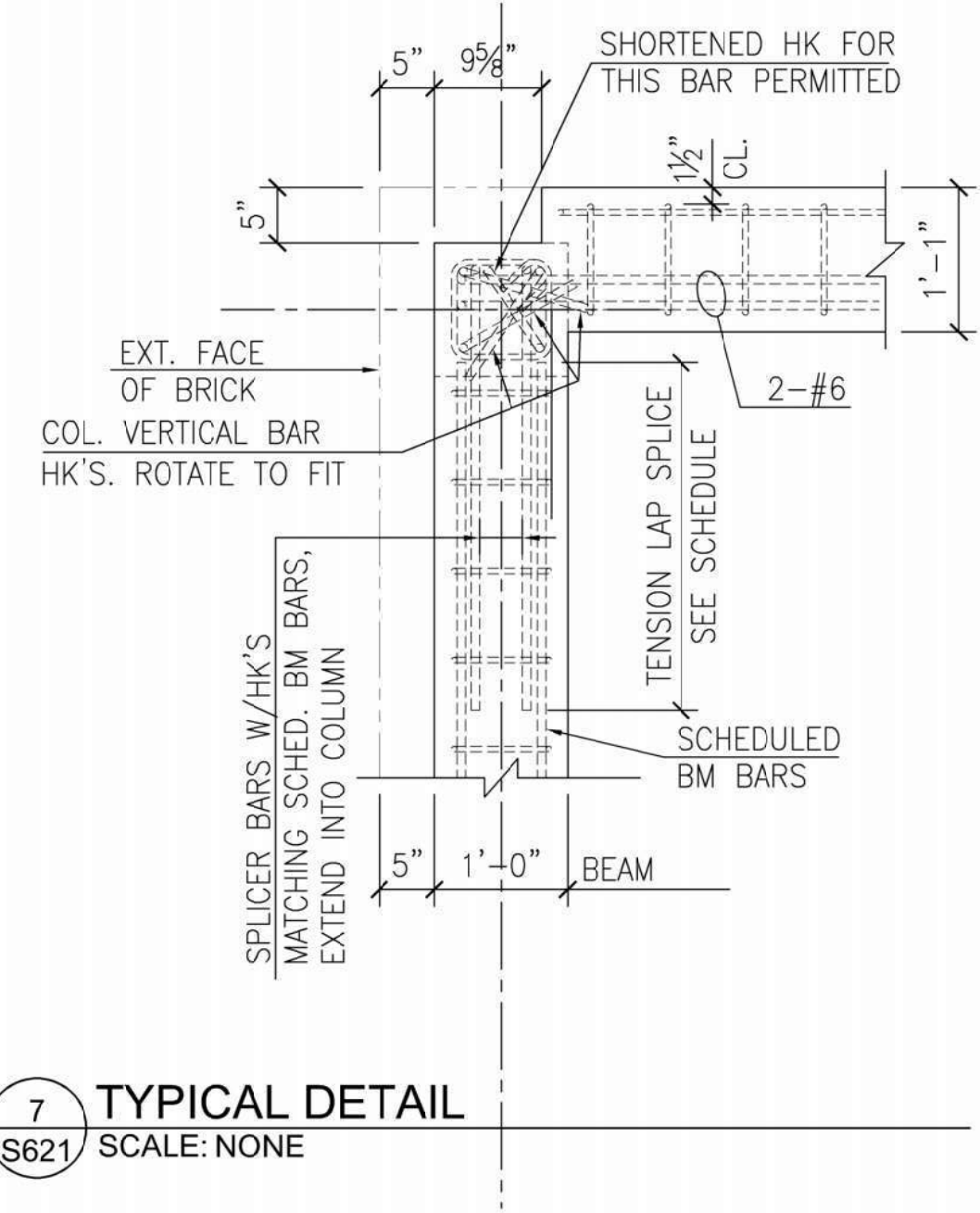
5
S621

TYPICAL DETAIL
SCALE: NONE



6
S621

TYPICAL DETAIL
SCALE: NONE



7
S621

TYPICAL DETAIL
SCALE: NONE

Exhibit H - Allowance and Contingencies

McHUGH

ALLOWANCE INCLUDED IN PROPOSAL	
Concealed conditions allowance for removal of unforeseen obstructions on site.	\$ 20,000
Dewatering - allowance	\$ 5,000
Caststone / metal panels, non-insulated cornice / coping @ northeast stairs and northwest stairs towers + west and partial south - supply & install allowance	\$ 124,000
Decorative overhang corbels @ northwest stairs towers + west - supply & install allowance	\$ 55,500
Interior & exterior signage allowance	\$ 10,000
ComEd underground relocation - allowance	\$ 96,993
TOTAL	\$ 311,493
CONTRACTOR CONTINGENCY	\$ 167,335

Exhibit I - Alternates



ALTERNATE PRICING	
ADD OPTION: Furnish and install face brick on the north side of columns, at the north building elevation along Hill St.	\$ 18,656
ADD OPTION: Furnish and install two electric vehicle charging stations (infrastructure for two charging stations included in base bid)	\$ 20,000

Exhibit J - Submittal Log

#	Submittal Description	Specification Section
1	Face Brick Samples	042000
2	Cornice Color & Material Samples	042000
3	Corbel Color & Material Samples	061000
4	Garage Screening Color & Material Samples	057016
5	Storefront Window Color Samples	084113
8	Door Hardware Product Data	087100
6	Exterior Paint Color Samples	099100
7	Interior Paint Color Samples	099100
9	Signage Shop Drawings & Samples	101400
10	Awning Material & Color Samples	107313

Memorandum



To: Village President and Board of Trustees

From: Franco Bottalico, Assistant to the Village Administrator

Subject: Ordinance Authorizing Easements Related to Parking Garage

Date: July 15, 2024

Action Requested:

Staff recommends Village Board approval of an ordinance authorizing execution and recording of easement agreements for permanent public utility and drainage easements and temporary construction easements agreements at locations adjacent to the proposed parking garage at 304 Hill St.

Summary:

Should the Board authorize staff to proceed with the construction of the parking garage at the July 15, 2024, Village Board meeting via the Design-Builder Contract Amendment agenda item, staff has worked with the neighboring properties for temporary construction easements and permanent storm water utility easements that would be needed for the construction. The easement agreements are as follows:

Property Address	Temporary Construction Easements	6' Permanent Storm Water Utility Easement
308 Hill Street	Yes	Yes
107 N. Van Buren Street	Yes	Yes
311 Jackson Street	Yes	No
102 N. River Street	Yes	No
104-106 N. River Street	Yes	No

The parking garage design-builder contractor, James McHugh Construction Co. ("McHugh") and their engineering firm, Pinnacle Engineering Group of East Dundee, have design the north east side of the parking garage site to include a swale that drains south into a manhole located on the east side of the Jackson Street surface parking lot. Because of that, a permanent storm water utility easement was necessary to be negotiated with the property owners (residences) in order for the parking garage project to proceed.

Additionally, McHugh requested a temporary 10-ft. construction easement for their contractors to access, drive, and remove existing trees and brush on the residents' properties until May of 2025.

Due to the removal of mature vegetation and the construction of a parking garage and surface lot next to existing residential, staff has negotiated with the property owners for Village provided considerations. The Village-provided considerations include one-time payment for their cooperation and landscape screening restoration, and the construction of a privacy, low-maintenance vinyl fence along the east side of the Jackson Street surface lot in the spring of 2025. The fence would be located on village property and be village-owned.

With regards to the businesses to the southwest of the parking garage site, there will be a minimal temporary construction easement on their properties until May of 2025. An approximate 3.5' construction easement to the north of the dental office, and an approximate half-foot construction easement to the east of the dental office, martial arts establishment, and River Street Tavern.

Attachment:

Ordinance

**AN ORDINANCE APPROVING AND AUTHORIZING EXECUTION AND RECORDING OF
EASEMENT AGREEMENTS FOR PERMANENT PUBLIC UTILITY AND DRAINAGE
EASEMENTS AND TEMPORARY CONSTRUCTION EASEMENT AGREEMENTS**

***(107 N. Van Buren Street, 308 Hill Street, 311 Jackson Street,
102 N. River Street, 104-106 N. River Street)***

WHEREAS, the Village of East Dundee (the “**Village**”) is a duly organized and validly existing home-rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and

WHEREAS, the Village recently acquired title to the parcel of real estate commonly known as 304 Hill Street and 309 Jackson Street, East Dundee, Illinois (the “**Village Property**”), and is in the process of constructing a parking garage and related improvements on the Village Property (the “**Garage Project**”); and

WHEREAS, the Village requires certain permanent easements and temporary construction easements to construct, operate, and maintain certain stormwater and sewer improvements (the “**Improvements**”) and for temporary construction staging, and other construction-related purposes; and

WHEREAS, portions of the Improvements and temporary staging areas are located on privately owned properties commonly known as 107 N. Van Buren Street, 308 Hill Street, 311 Jackson Street, 102 N. River Street, 104-106 N. River Street (collectively, the “**Properties**”); and

WHEREAS, the Village desires to enter into easement agreements (“**Easement Agreements**”) with the owners of the Properties (collectively, the “**Owners**”) pursuant to which the Owners agree to grant permanent easements and temporary construction easements, as applicable, across portions of the Properties to the Village for the construction and maintenance of the Improvements and temporary construction purposes (collectively, the “**Easement Agreements**”); and

WHEREAS, the Village President and Board of Trustees have reviewed the Easement Agreements and have determined that it is in the best interest of the Village to enter into the Easement Agreements with the Owners.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of East Dundee, Kane and Cook Counties, Illinois, as follows:

SECTION 1: Recitals. The above recitals are incorporated herein and made a part of this Ordinance.

SECTION 2: Approval of Easement Agreements. The Easement Agreements with the Owners are hereby approved in substantially the form attached to this Ordinance as **Group Exhibit A**, and in a final form approved by the Village Administrator.

SECTION 3: Authorization to Execute and Record Easement Agreements. The President and Board of Trustees hereby authorizes and directs the Village Administrator to execute and the Village Clerk to attest, on behalf of the Village, the final Easement Agreements and directs the Village Clerk, on behalf of the Village, to record the executed Easement Agreements at the Kane County Recorder of Deeds, following their execution and delivery to the Village Clerk by the Owners.

SECTION 4: Effective Date. This Ordinance shall be in full force and effect following its passage and approval in the manner provided by law.

PASSED THIS ____ day of _____, 2024 pursuant to a roll call vote as follows:

AYES: _____

NAYS: _____

ABSENT: _____

ABSTAIN: _____

APPROVED THIS ____ day of _____, 2024.

Jeffrey Lynam, Village President

ATTEST:

Katherine Diehl, Village Clerk

GROUP EXHIBIT A
EASEMENT AGREEMENTS

**PREPARED BY AND
AFTER RECORDING
RETURN TO:**

Lisa Starceвич
Elrod Friedman LLP
325 North LaSalle Street
Suite 450
Chicago, IL 60654

TEMPORARY CONSTRUCTION EASEMENT AGREEMENT
(102 N. River Street, East Dundee, IL)

THIS TEMPORARY CONSTRUCTION EASEMENT AGREEMENT (the "**Agreement**") is dated as of this 9 day of July 2024 (the "**Effective Date**"), by and between the **VILLAGE OF EAST DUNDEE**, an Illinois home-rule municipal corporation (the "**Village**"), and **102 RIVER STREET LLC**, an Illinois limited liability company ("**Owner**"), which hereinafter may be referred together as the "Parties" or individually as a "Party."

WHEREAS, Owner is the sole fee simple owner of certain real property situated at 102 N. River Street, East Dundee, County of Kane, State of Illinois, which real estate is legally described in **Exhibit A** attached hereto, and by this reference, made a part hereof (the "**Subject Property**"); and

WHEREAS, the Village recently acquired title to the parcel of real estate adjacent to the Subject Property, commonly known as 304 Hill Street and 309 Jackson Street, East Dundee, Illinois (the "**Village Property**"), and is in the process of constructing a parking garage and related improvements on the Village Property (the "**Garage Project**"); and

WHEREAS, the Village requires a temporary construction easement in, on, upon, over, and across a portion of the Subject Property for access to the Village Property, and for construction staging, and other construction-related purposes as the Village reasonably deems necessary or desirable in connection with the Garage Project; and

WHEREAS, Owner has agreed to grant to the Village a temporary construction easement on the Subject Property pursuant to the terms and conditions set forth in this Agreement.

NOW, THEREFORE, in consideration of the mutual covenants and agreements set forth herein and under the Village's home rule powers, the Parties hereto agree as follows:

1. **RECITALS.** The foregoing recitals are incorporated herein by reference as though

fully set forth.

2. **TEMPORARY CONSTRUCTION EASEMENT** Owner grants, conveys, warrants, and dedicates to the Village a temporary easement upon, under, that portion of the Subject Property depicted on ***Exhibit B*** attached hereto (the "***Temporary Easement Premises***"), together with all reasonable rights of ingress and egress over, along, across, and upon the Subject Property for use by the Village, its general contractor and subcontractors for construction staging, and other construction-related purposes as the Village reasonably deems necessary or desirable in connection with the Garage Project, subject to the terms and conditions of this Agreement (the "***Temporary Easement***"). The Temporary Easement Premises is approximately 0.64 feet wide and runs along the eastern boundary of the Subject Property. Owner reserves the right of access to and use of the Temporary Easement Premises in any manner not inconsistent with the rights granted to the Village under this Agreement.

3. **TERM OF TEMPORARY EASEMENT**. The Temporary Easement is for a term commencing on the Effective Date and expiring on May 31, 2025 (the "***Term***"). The Term may be extended by written notice from the Village to Owner, for a reasonable time if the Village is in compliance with the provisions of this Agreement at the time of expiration.

4. **LIENS**. The Village will not permit or suffer any lien to be imposed upon or to accrue against Owner, the Subject Property or the Temporary Easement Premises. The Village will indemnify, defend and hold harmless Owner from and against any liens and encumbrances arising out of any labor or services performed by or at the direction of, or materials furnished to, the Village or any parties claiming by, through or under the Village. In the event that any such lien will arise or accrue against the Owner, the Subject Property or the Temporary Easement Premises, the Village will promptly cause such lien to be released of record by payment thereof or posting a bond in a form and amount which is reasonably satisfactory to Owner.

5. **INDEMNIFICATION**. The Village agrees to indemnify, defend and save Owner harmless from and against any and all liabilities, claims, losses, or demands for personal injury or property damage arising out of or caused by any act or omission of the Village, any of its contractors or subcontractors, anyone directly or indirectly employed or engaged by any of them, or anyone for whose acts any of them may be liable, arising from the Village's exercise or use of the easement rights granted under this Agreement.

6. **INSURANCE**. The Village will maintain, and will require any of its contractors to maintain liability insurance in reasonable amounts, and with reputable companies, to protect Owner and the Village against claims arising directly or indirectly out of or in connection with the Village's use of the Temporary Easement Premises or Subject Property pursuant to this Agreement.

7. **COVENANTS RUNNING WITH THE LAND**. The easement and rights granted in this Agreement, the restrictions imposed by this Agreement, and the agreements and covenants contained in this Agreement will be easements, rights, restrictions, agreements and covenants running with the land, will be recorded against the Subject Property and will be binding upon and inure to the benefit of Owner and the Village and their respective heirs, executors, administrators, successors, assigns, agents, licensees, invitees, and representatives, including, without limitation, all subsequent owners of the Subject Property, or any portion thereof, and all persons claiming under them.

8. **ASSIGNMENT OF RIGHTS.** Owner agrees that the Village may assign its rights or delegate its duties under this Agreement to any assignee: (a) who is reasonably competent to exercise the rights granted herein and the obligations imposed herein; and (b) who makes adequate assurances to the Owners that any activity performed pursuant to such assignment or delegation will be conducted in a good and workmanlike manner; and (c) who otherwise attests in writing to comply with the terms of this Agreement. Notwithstanding any such assignment, the Village will not be released from its obligations under Section 5 of this Agreement.

9. **NO WAIVER OF TORT IMMUNITY.** Nothing contained in this Agreement will constitute a waiver by the Village of any right, privilege or defense which it has under statutory or common law, included but not limited to the Illinois Governmental and Governmental Employees Tort Immunity Act, 745 ILCS 10.

10. **ENTIRE AGREEMENT/AMENDMENT.** This instrument contains the entire agreement between the Parties relating to the rights granted herein and the obligations herein assumed. This Agreement may be modified, amended or annulled only by the written agreement of Owner and the Village.

11. **EXHIBITS.** Exhibits A and B attached to this Agreement are incorporated herein and made a part hereof by this reference.

12. **SEVERABILITY.** Invalidation by judgment or court order of any one or more of the covenants or restrictions contained herein will in no way affect any other provisions which will remain in full force and effect.

13. **CAPTIONS AND PARAGRAPH HEADINGS.** Captions and paragraph headings are for convenience only and are not a part of this Agreement and will not be used in construing it.

14. **NOTICES.** All notices provided for herein will be served upon the Parties by personal delivery, overnight courier or Certified United States mail, return receipt requested, at the following locations, or at such other location or locations as the Parties may from time to time designate in writing:

Notice to the Village:

Village of East Dundee
Attn: Village Administrator
120 Barrington Avenue
East Dundee, Illinois 60118

Notice to Owner:

102 River Street LLC
Attn: Steve Straub
12N345 Coombs Road
Elgin, Illinois 60124

Notices will be deemed given when received by the Party to whom it was sent.

15. **NO THIRD PARTY BENEFICIARIES.** This Agreement is entered into solely for the benefit of the Parties, and nothing in this Agreement is intended, either expressly or impliedly,

to provide any right or benefit of any kind whatsoever to any person and entity who is not a party to this Agreement or to acknowledge, establish, or impose any legal duty to any third party.

IN WITNESS WHEREOF, the Parties hereto have caused this instrument to be executed on the date first above written.

OWNER:

102 RIVER STREET LLC,
an Illinois limited liability company



Steve Straub, Manager

VILLAGE:

VILLAGE OF EAST DUNDEE:

By: _____

ACKNOWLEDGMENTS

STATE OF ILLINOIS)

COUNTY OF KANE)

This instrument was acknowledged before me on 7/9, 2024, by Franco Bottalico Asst. to Village Manager of the **VILLAGE OF EAST DUNDEE**, an Illinois municipal corporation, and by Deputy Clerk, the Village Clerk of said municipal corporation.

Franco Bottalico
Signature of Notary

SEAL

My Commission expires: 3/23/27



STATE OF ILLINOIS)

COUNTY OF KANE)

This instrument was acknowledged before me on July 9, 2024, by Steve Straub known to me to be the Manager of 102 River Street LLC and the person whose name is subscribed to the foregoing instrument and who did acknowledge that he executed the above instrument voluntarily and as his free act and deed.

Mary A. Comiskey
Signature of Notary

SEAL

My Commission expires: January 31, 2028



EXHIBIT A

Legal Description of the Subject Property

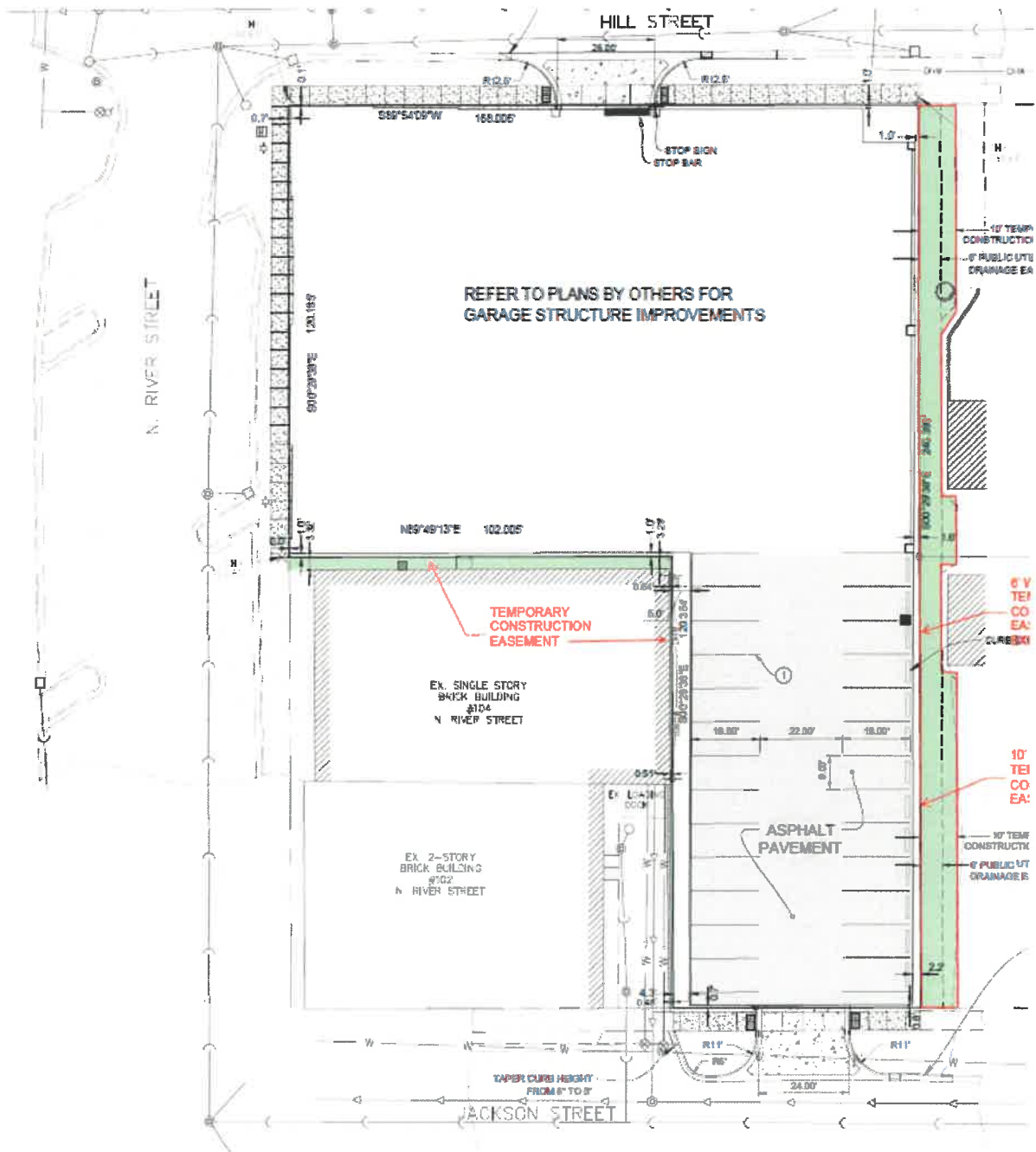
THE SOUTH HALF OF LOT 6 (EXCEPT THE WEST 30 FEET THEREOF) AND THE SOUTH HALF OF LOT 7 IN BLOCK 2 OF EAST DUNDEE, IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 42 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF EAST DUNDEE, KANE COUNTY, ILLINOIS.

Commonly known as 102 N. River Street, East Dundee, Illinois.

PIN: 03-23-320-005

EXHIBIT B

DEPICTION OF TEMPORARY CONSTRUCTION EASEMENT



**PREPARED BY AND
AFTER RECORDING
RETURN TO:**

Lisa Starceovich
Elrod Friedman LLP
325 North LaSalle Street
Suite 450
Chicago, IL 60654

TEMPORARY CONSTRUCTION EASEMENT AGREEMENT
(104-106 N. River Street, East Dundee, IL)

THIS TEMPORARY CONSTRUCTION EASEMENT AGREEMENT (the “**Agreement**”) is dated as of this 9 day of July 2024 (the “**Effective Date**”), by and between the **VILLAGE OF EAST DUNDEE**, an Illinois home-rule municipal corporation (the “**Village**”), and **DESAI AND DAUGHTERS LLC**, an Illinois limited liability company (“**Owner**”), which hereinafter may be referred together as the “**Parties**” or individually as a “**Party**.”

WHEREAS, Owner is the sole fee simple owner of certain real property situated at 104-106 N. River Street, East Dundee, County of Kane, State of Illinois, which real estate is legally described in **Exhibit A** attached hereto, and by this reference, made a part hereof (the “**Subject Property**”); and

WHEREAS, the Village recently acquired title to the parcel of real estate adjacent to the Subject Property, commonly known as 304 Hill Street and 309 Jackson Street, East Dundee, Illinois (the “**Village Property**”), and is in the process of constructing a parking garage and related improvements on the Village Property (the “**Garage Project**”); and

WHEREAS, the Village requires a temporary construction easement in, on, upon, over, and across a portion of the Subject Property for access to the Village Property, and for construction staging, and other construction-related purposes as the Village reasonably deems necessary or desirable in connection with the Garage Project; and

WHEREAS, Owner has agreed to grant to the Village a temporary construction easement on the Subject Property pursuant to the terms and conditions set forth in this Agreement.

NOW, THEREFORE, in consideration of the mutual covenants and agreements set forth herein and under the Village's home rule powers, the Parties hereto agree as follows:

1. **RECITALS.** The foregoing recitals are incorporated herein by reference as though

fully set forth.

2. **TEMPORARY CONSTRUCTION EASEMENT** Owner grants, conveys, warrants, and dedicates to the Village a temporary easement upon, under, that portion of the Subject Property depicted on ***Exhibit B*** attached hereto (the "***Temporary Easement Premises***"), together with all reasonable rights of ingress and egress over, along, across, and upon the Subject Property for use by the Village, its general contractor and subcontractors for construction staging, and other construction-related purposes as the Village reasonably deems necessary or desirable in connection with the Garage Project, subject to the terms and conditions of this Agreement (the "***Temporary Easement***"). The Temporary Easement Premises is approximately 3.32 feet wide along the northern boundary of the Subject Property and 0.64' feet wide along the eastern boundary of the Subject Property. Owner reserves the right of access to and use of the Temporary Easement Premises in any manner not inconsistent with the rights granted to the Village under this Agreement. Upon termination of the Term (as hereinafter defined), Village, or its successor or assigns, hereby agrees to return the Temporary Easement Premises to substantially the same condition as of the Effective Date.

3. **TERM OF TEMPORARY EASEMENT.** The Temporary Easement is for a term commencing on the Effective Date and expiring on May 31, 2025 (the "***Term***"). The Term may be extended by mutual agreement by the Parties.

4. **LIENS.** The Village will not permit or suffer any lien to be imposed upon or to accrue against Owner, the Subject Property or the Temporary Easement Premises. The Village will indemnify, defend and hold harmless Owner from and against any liens and encumbrances arising out of any labor or services performed by or at the direction of, or materials furnished to, the Village or any parties claiming by, through or under the Village. In the event that any such lien will arise or accrue against the Owner, the Subject Property or the Temporary Easement Premises, the Village will promptly cause such lien to be released of record by payment thereof or posting a bond in a form and amount which is reasonably satisfactory to Owner.

5. **INDEMNIFICATION.** The Village agrees to indemnify, appear, defend and save Owner harmless from and against any and all liabilities, claims, losses, judgments, demands, and costs (including reasonable attorneys' fees and court costs actually incurred) for personal injury or property damage arising out of or caused by any act or omission of the Village, any of its contractors or subcontractors, anyone directly or indirectly employed or engaged by any of them, or anyone for whose acts any of them may be liable, arising from the Village's exercise or use of the easement rights granted under this Agreement. Village expressly understands and agrees that any insurance policies required by this Agreement shall in no way limit the responsibility to indemnify, keep and save harmless and defend Owner, as herein provided.

6. **INSURANCE.** The Village will maintain, and will require any of its contractors to maintain liability insurance in reasonable amounts, and with reputable companies, to protect Owner and the Village against claims arising directly or indirectly out of or in connection with the Village's use of the Temporary Easement Premises or Subject Property pursuant to this Agreement.

7. **COVENANTS RUNNING WITH THE LAND.** The easement and rights granted in this Agreement, the restrictions imposed by this Agreement, and the agreements and covenants contained in this Agreement will be easements, rights, restrictions, agreements and covenants running with the land, will be recorded against the Subject Property and will be binding upon and inure to the benefit of Owner and the Village and their respective heirs, executors, administrators, successors, assigns, agents, licensees, invitees, and representatives, including, without

limitation, all subsequent owners of the Subject Property, or any portion thereof, and all persons claiming under them.

8. **ASSIGNMENT OF RIGHTS.** Owner agrees that the Village may assign its rights or delegate its duties under this Agreement to any assignee: (a) who is reasonably competent to exercise the rights granted herein and the obligations imposed herein; and (b) who makes adequate assurances to the Owners that any activity performed pursuant to such assignment or delegation will be conducted in a good and workmanlike manner; and (c) who otherwise attests in writing to comply with the terms of this Agreement. Notwithstanding any such assignment, the Village will not be released from its obligations under Section 5 of this Agreement.

9. **NO WAIVER OF TORT IMMUNITY.** Nothing contained in this Agreement will constitute a waiver by the Village of any right, privilege or defense which it has under statutory or common law, included but not limited to the Illinois Local Governmental and Governmental Employees Tort Immunity Act, 745 ILCS 10.

10. **ENTIRE AGREEMENT/AMENDMENT.** This instrument contains the entire agreement between the Parties relating to the rights granted herein and the obligations herein assumed. This Agreement may be modified, amended or annulled only by the written agreement of Owner and the Village.

11. **EXHIBITS.** Exhibits A and B attached to this Agreement are incorporated herein and made a part hereof by this reference.

12. **SEVERABILITY.** Invalidation by judgment or court order of any one or more of the covenants or restrictions contained herein will in no way affect any other provisions which will remain in full force and effect.

13. **CAPTIONS AND PARAGRAPH HEADINGS.** Captions and paragraph headings are for convenience only and are not a part of this Agreement and will not be used in construing it.

14. **NOTICES.** All notices provided for herein will be served upon the Parties by personal delivery, overnight courier or Certified United States mail, return receipt requested, at the following locations, or at such other location or locations as the Parties may from time to time designate in writing:

Notice to the Village:

Village of East Dundee
Attn: Village Administrator
120 Barrington Avenue
East Dundee, Illinois 60118

Notice to Owner:

Desai and Daughters LLC
Attn: Amish Desai
1323 Caribou Trail
Carol Stream, Illinois 60188

Notices will be deemed given when received by the Party to whom it was sent.

15. **NO THIRD PARTY BENEFICIARIES**. This Agreement is entered into solely for the benefit of the Parties, and nothing in this Agreement is intended, either expressly or impliedly, to provide any right or benefit of any kind whatsoever to any person and entity who is not a party to this Agreement or to acknowledge, establish, or impose any legal duty to any third party.

IN WITNESS WHEREOF, the Parties hereto have caused this instrument to be executed on the date first above written.

OWNER:

DESAI AND DAUGHTERS LLC,
an Illinois limited liability company

 Amish Desai
Amish Desai, Manager

VILLAGE:

VILLAGE OF EAST DUNDEE:

By: 

ACKNOWLEDGMENTS

STATE OF ILLINOIS)

COUNTY OF KANE)

This instrument was acknowledged before me on July 9, 2024, by Franco Bottalico, Assistant to Village Clerk of the **VILLAGE OF EAST DUNDEE**, an Illinois municipal corporation, and by _____, the Village Clerk of said municipal corporation.



Signature of Notary

SEAL

My Commission expires:

3/23/27



STATE OF ILLINOIS)

COUNTY OF KANE)

This instrument was acknowledged before me on July 9th, 2024, by Amir Desai known to me to be the Manager of DESAI AND DAUGHTERS LLC and the person whose name is subscribed to the foregoing instrument and who did acknowledge that he executed the above instrument voluntarily and as his free act and deed.



Signature of Notary

SEAL

My Commission expires:

3/23/27



EXHIBIT A

Legal Description of the Subject Property

THE NORTH ½ OF LOT 6 (EXCEPT THE WEST 30 FEET) AND THE NORTH ½ OF LOT 7 IN BLOCK 2 OF EAST DUNDEE, IN THE VILLAGE OF EAST DUNDEE, KANE COUNTY, ILLINOIS.

Commonly known as 104-106 N. River Street, East Dundee, Illinois 60118
PIN: 03-23-320-004

DEPICTION OF TEMPORARY CONSTRUCTION EASEMENT



PREPARED BY AND
AFTER RECORDING
RETURN TO:
Lisa Starceovich
Elrod Friedman LLP
325 North LaSalle Street
Suite 450
Chicago, IL 60654

**NON-EXCLUSIVE PERMANENT PUBLIC UTILITY AND DRAINAGE EASEMENT
AND TEMPORARY CONSTRUCTION EASEMENT AGREEMENT**
(107 N. Van Buren, East Dundee, IL)

THIS NON-EXCLUSIVE PERMANENT PUBLIC UTILITY AND DRAINAGE EASEMENT AND TEMPORARY CONSTRUCTION EASEMENT AGREEMENT (the "**Agreement**") is dated as of this 7/5 day of 7/5 2024 (the "**Effective Date**"), by and between the VILLAGE OF EAST DUNDEE, an Illinois home-rule municipal corporation (the "**Village**"), and JOHN MICHAEL BEASELY AND MARY JO BEASLEY (collectively, "**Owner**"), which hereinafter may be referred together as the "Parties" or individually as a "Party."

WHEREAS, Owner is the sole fee simple owner of certain real property situated at 107 N. Van Buren, East Dundee, County of Kane, State of Illinois, which real estate is legally described in **Exhibit A** attached hereto, and by this reference, made a part hereof (the "**Subject Property**"); and

WHEREAS, the Village recently acquired title to the parcel of real estate adjacent to the Subject Property, commonly known as 304 Hill Street and 309 Jackson Street, East Dundee, Illinois (the "**Village Property**"), and is in the process of constructing a parking garage and related improvements on the Village Property (the "**Garage Project**"); and

WHEREAS, the Village requires a permanent easement and use of that portion of the Subject Property, as depicted on **Exhibit B**, in order to construct, operate, and maintain certain stormwater and sewer improvements on the Subject Property; and

WHEREAS, the Village also requires a temporary construction easement in, on, upon, over, and across a portion of the Subject Property for access to the Village Property, and for construction staging, and other construction-related purposes as the Village reasonably deems necessary or desirable in connection with the Garage Project; and

WHEREAS, Owner has agreed to grant the easements to the Village and to permit the

Village's construction, operation, and maintenance of stormwater improvements and appurtenances on the Subject Property pursuant to the terms and conditions set forth in this Agreement.

NOW, THEREFORE, in consideration of the mutual covenants and agreements set forth herein and under the Village's home rule powers, the Parties hereto agree as follows:

1. **RECITALS.** The foregoing recitals are incorporated herein by reference as though fully set forth.

2. **GRANT AND USE OF PERMANENT EASEMENT.** Owner grants, conveys, warrants, and dedicates to the Village a 6' wide perpetual, non-exclusive easement upon, under, and across that portion of the Subject Property depicted on ***Exhibit B***, attached hereto, and by this reference, made a part hereof (the "***Permanent Easement Premises***") to survey, construct, install, operate, use, maintain, own, test, inspect, repair, and remove and replace certain stormwater and storm sewer improvements, drainage and swales, together with manholes and such other related facilities, attachments, and equipment (the "***Facilities***") and all reasonable rights of ingress and egress over, along, across, and upon the Subject Property necessary for the exercise of the rights granted herein. The Village will retain sole ownership of the Facilities.

3. **TEMPORARY CONSTRUCTION EASEMENT** Owner grants, conveys, warrants, and dedicates to the Village a non-exclusive, temporary construction easement upon, under, that portion of the Subject Property depicted on ***Exhibit C*** (the "***Temporary Easement Premises***"), together with all reasonable rights of ingress and egress over, along, across, and upon the Subject Property necessary for construction staging, and other construction-related purposes as the Village reasonably deems necessary or desirable in connection with the Garage Project. The Temporary Easement will automatically terminate on May 31, 2025 ("***Temporary Easement Term***"); provided, however that the Temporary Easement Term may be extended by written notice from the Village to Owner, for a reasonable time if the Village is in compliance with the provisions of this Agreement at the time of expiration.

The Permanent Easement Premises and Temporary Easement Premises are referred to collectively as the "***Easement Premises***."

4. **EASEMENT CONDITIONS.** The grant of easements and ancillary rights given to the Village under this Agreement will be subject to the following conditions:

(a) Owner reserves the right of access to and use of the Easement Premises in any manner not inconsistent with the rights granted to the Village under this Agreement, including but not limited to the right to install landscaping, gardens, shrubs and fencing on the Easement Premises that do not then or later conflict with the Facilities or the easement rights granted hereunder;

(b) The Village will notify Owner prior to commencement of any excavation, construction, repair, maintenance or other work or activity on the Easement Premises. The Parties will reasonably cooperate with respect to the commencement, timing, and location of such work or activity so as to avoid any interference with the Owner's use of the Subject Property or the Easement Premises;

(c) All construction or other work or activity by any entity within the Easement Premises will be performed in a safe and sound manner and in accordance with all applicable federal, state and local laws;

(d) The Village will clear the Easement Premises prior to and during installation of the Facilities, including removal of existing trees and shrubbery. The Village will be responsible for the payment of all costs associated with any work or activity performed on the Easement Premises pursuant to the grant of easement set forth in Paragraph 2 above;

(e) The Village will construct a 6' vinyl privacy screening fence on the Village Property along the surface lot on the east side of the Village Property after the expiration of the Temporary Easement Term;

(f) The Village will apply for fence variances necessary to increase the height of the vinyl privacy screening fence being installed on the Village Property as set forth in subsection (e) above to 8'; and

(g) In consideration of the grant of easements set forth in this Agreement, the Village agrees to pay Owner \$5,000.00 within 90 days of the Effective Date of this Agreement for Owner to use to install a fence, trees or shrubs as desired by Owner for screening purposes after the expiration of the Temporary Easement Term. Such installation shall be in compliance with Section 4(a) above and with all applicable laws and ordinances. The Village will have no restoration or repair obligations in connection with the Easement Premises and the Village is not responsible for restoring, repairing, or replacing any shrubs or trees in the Easement Premises.

5. **MAINTENANCE AND REPAIR OF FACILITIES.** The Village will maintain the Facilities in good working order and repair, and in compliance with applicable federal, state and local law. In the event that Owner determines that the Village is not in compliance with the terms of this Paragraph 5, Owner will provide the Village written notice of said non-compliance. Upon receipt of said written notice, the Village will have 30 days to commence reasonable measures to cure said non-compliance. Notwithstanding the above 30-day cure period, the Village will take immediate action to cure said non-compliance in the case of an emergency likely to cause immediate harm, damage or danger to surrounding property or to the public or private health, safety or welfare. In the event the Village fails to commence reasonable measures to cure said non-compliance at the expiration of the periods set forth herein, or otherwise exhibits an unwillingness to cure said non-compliance, Owner will have the right, but not the obligation, to take all steps necessary to bring the Facilities into good working order and repair and in compliance with all applicable federal, state and local laws, and the Village will be responsible for all reasonable costs and expenses incurred by Owner in connection with same, including reasonable attorneys' fees.

6. **LIENS.** The Village will not permit or suffer any lien to be imposed upon or to accrue against Owner, the Subject Property or the Easement Premises. The Village will indemnify, defend and hold harmless Owner from and against any liens and encumbrances arising out of any labor or services performed by or at the direction of, or materials furnished to, the Village or any parties claiming by, through or under the Village. In the event that any such lien will arise or accrue against the Owner, the Subject Property or the Easement Premises, the Village will

promptly cause such lien to be released of record by payment thereof or posting a bond in a form and amount which is reasonably satisfactory to Owner.

7. **INDEMNIFICATION.** The Village agrees to indemnify, defend and save Owner harmless from and against any and all liabilities, claims, losses, or demands for personal injury or property damage arising out of or caused by any act or omission of the Village, any of its contractors or subcontractors, anyone directly or indirectly employed or engaged by any of them, or anyone for whose acts any of them may be liable, arising from the Village's conduct of the Easement Activities or exercise or use of the easement rights granted under this Agreement.

8. **INSURANCE.** The Village will maintain, and will require any of its contractors hired to perform any work on the Easement Premises, to maintain liability insurance in reasonable amounts, and with reputable companies, to protect Owner and the Village against claims arising directly or indirectly out of or in connection with the Village's conduct of the Easement Activities or use of the Easement Premises or Subject Property pursuant to this Agreement. The Village will name, or cause any contractor hired to perform any work on the Easement Premises to name, Owner, as an additional insured and upon request will provide to Owner a copy of a Certificate of Insurance evidencing this coverage.

9. **TERM.** Except as specifically set forth in Paragraph 3 above, this Agreement will be in full force and effect for so long as the Facilities are required for purposes of stormwater and storm sewer services.

10. **ADDITIONAL EASEMENTS.** Owner reserves the right to use the Easement Premises in any manner that will not prevent or interfere in any way with the exercise by the Village of the rights granted herein; provided, however, that Owner must not damage, destroy, or permanently or temporarily improve or obstruct the Easement Premises or cause any improvements or obstructions to be constructed on the Easement Premises that would impair the exercise by the Village of the rights granted in this Agreement, including without limitation, fences, bridges, piers, trees and other vegetation and underground sprinkler systems, which would obstruct the free-flowing drainage of the Easement Property or obstruct access to the Facilities, without the express prior written consent of the Village Administrator.

11. **COVENANTS RUNNING WITH THE LAND.** The easements and rights granted in this Agreement, the restrictions imposed by this Agreement, and the agreements and covenants contained in this Agreement will be easements, rights, restrictions, agreements and covenants running with the land, will be recorded against the Subject Property and will be binding upon and inure to the benefit of Owner and the Village and their respective heirs, executors, administrators, successors, assigns, agents, licensees, invitees, and representatives, including, without limitation, all subsequent owners of the Subject Property, or any portion thereof, and all persons claiming under them. If any of the easements, rights, restrictions, agreements, or covenants created by this Agreement would otherwise be unlawful or void for violation of (a) the rule against perpetuities or some analogous statutory provision, (b) the rule restricting restraints on alienation, or (c) any other statutory or common law rules imposing time limits, then such easements, rights, restrictions, agreements or covenants will continue only until 21 years after the death of the last survivor of the now living lawful descendants of J.B. Pritzker, current Governor of the State of Illinois.

12. **ASSIGNMENT OF RIGHTS.** Owner agrees that the Village may assign its rights or delegate its duties under this Agreement to any assignee: (a) who is reasonably competent to exercise the rights granted herein and the obligations imposed herein; and (b) who makes

adequate assurances to the Owners that any activity performed pursuant to such assignment or delegation will be conducted in a good and workmanlike manner; and (c) who otherwise attests in writing to comply with the terms of this Agreement. Notwithstanding any such assignment, the Village will not be released from its obligations under Section 7 of this Agreement.

13. **NO WAIVER OF TORT IMMUNITY.** Nothing contained in this Agreement will constitute a waiver by the Village of any right, privilege or defense which it has under statutory or common law, included but not limited to the Illinois Governmental and Governmental Employees Tort Immunity Act, 745 ILCS 10.

14. **ENTIRE AGREEMENT/AMENDMENT.** This instrument contains the entire agreement between the Parties relating to the rights granted herein and the obligations herein assumed. This Agreement may be modified, amended or annulled only by the written agreement of Owner and the Village.

15. **EXHIBITS.** Exhibits A and B attached to this Agreement are incorporated herein and made a part hereof by this reference.

16. **SEVERABILITY.** Invalidation by judgment or court order of any one or more of the covenants or restrictions contained herein will in no way affect any other provisions which will remain in full force and effect.

17. **CAPTIONS AND PARAGRAPH HEADINGS.** Captions and paragraph headings are for convenience only and are not a part of this Agreement and will not be used in construing it.

18. **NOTICES.** All notices provided for herein will be served upon the Parties by personal delivery, overnight courier or Certified United States mail, return receipt requested, at the following locations, or at such other location or locations as the Parties may from time to time designate in writing:

Notice to the Village:

Village of East Dundee
Attn: Village Administrator
120 Barrington Avenue
East Dundee, Illinois 60118

Notice to Owner:

John Michael & Mary Jo Beasley
107 N. Van Buren
East Dundee, IL 60018

Notices will be deemed given when received by the Party to whom it was sent.

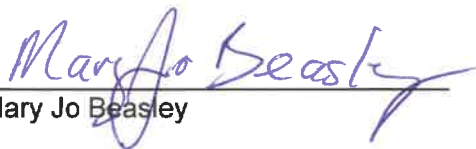
19. **NO THIRD PARTY BENEFICIARIES.** This Agreement is entered into solely for the benefit of the Parties, and nothing in this Agreement is intended, either expressly or impliedly, to provide any right or benefit of any kind whatsoever to any person and entity who is not a party to this Agreement or to acknowledge, establish, or impose any legal duty to any third party.

IN WITNESS WHEREOF, the Parties hereto have caused this instrument to be executed on the date first above written.

OWNER:



John Michael Beasley



Mary Jo Beasley

VILLAGE:


VILLAGE OF EAST DUNDEE:

By: 

ACKNOWLEDGMENTS

STATE OF ILLINOIS)
)
COUNTY OF KANE)

This instrument was acknowledged before me on July 5, 2024, by Franco Bottalico, Asst. to V: A of the **VILLAGE OF EAST DUNDEE**, an Illinois municipal corporation. /Deputy Clerk


Signature of Notary

SEAL

My Commission expires: March 23, 2027



STATE OF ILLINOIS)
)
COUNTY OF KANE)

This instrument was acknowledged before me on July 5, 2024, by John Michael Beasley and Mary Jo Beasley known to me to be the persons whose names are subscribed to the foregoing instrument and who did acknowledge that they executed the above instrument voluntarily and as their free act and deed.


Signature of Notary

SEAL

My Commission expires: March 23, 2027



EXHIBIT A

Legal Description of the Subject Property

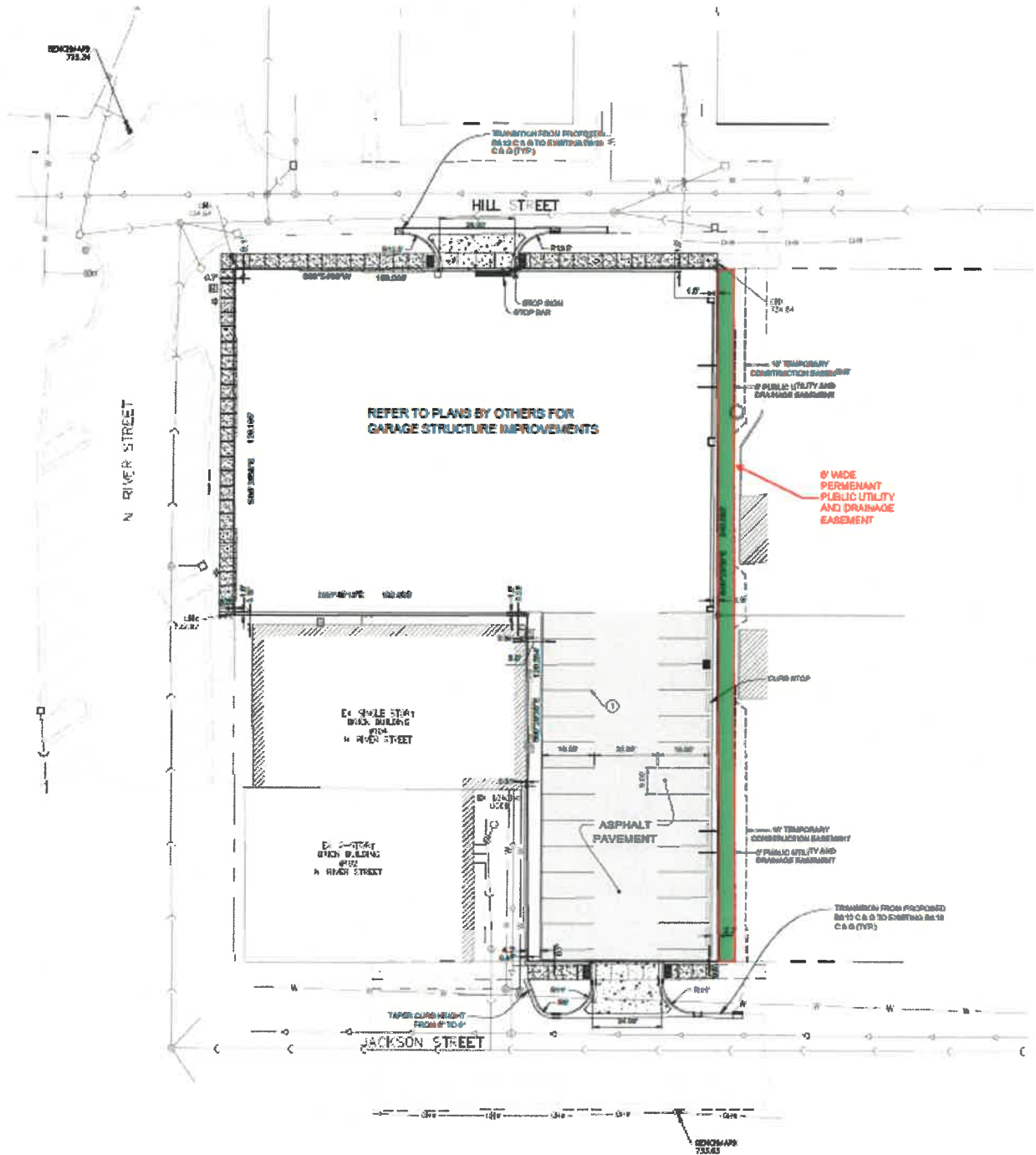
THE NORTHERLY HALF OF LOTS 9 AND 10 IN BLOCK 2 OF EAST DUNDEE, IN THE VILLAGE OF EAST DUNDEE, KANE COUNTY, ILLINOIS.

Commonly known as 107 N. Van Buren, East Dundee, Illinois.

PIN: 03-23-320-007-0000

EXHIBIT B

DEPICTION OF PERMANENT EASEMENT PREMISES



PREPARED BY AND
AFTER RECORDING
RETURN TO:
Lisa Starceвич
Elrod Friedman LLP
325 North LaSalle Street
Suite 450
Chicago, IL 60654

**NON-EXCLUSIVE PERMANENT PUBLIC UTILITY AND DRAINAGE EASEMENT
AND TEMPORARY CONSTRUCTION EASEMENT AGREEMENT**
(308 Hill Street, East Dundee, IL)

THIS NON-EXCLUSIVE PERMANENT PUBLIC UTILITY AND DRAINAGE EASEMENT AND TEMPORARY CONSTRUCTION EASEMENT AGREEMENT (the "**Agreement**") is dated as of this 11th day of JULY 2024 (the "**Effective Date**"), by and between the VILLAGE OF EAST DUNDEE, an Illinois home-rule municipal corporation (the "**Village**"), and PATRICK O'NEIL PROPERTY GROUP LLC HILL, an Illinois limited liability company ("**Owner**"), which hereinafter may be referred together as the "Parties" or individually as a "Party."

WHEREAS, Owner is the sole fee simple owner of certain real property situated at 308 Hill Street, East Dundee, County of Kane, State of Illinois, which real estate is legally described in **Exhibit A** attached hereto, and by this reference, made a part hereof (the "**Subject Property**"); and

WHEREAS, the Village recently acquired title to the parcel of real estate adjacent to the Subject Property, commonly known as 304 Hill Street and 309 Jackson Street, East Dundee, Illinois (the "**Village Property**"), and is in the process of constructing a parking garage and related improvements on the Village Property (the "**Garage Project**"); and

WHEREAS, the Village requires a permanent easement and use of that portion of the Subject Property, as depicted on **Exhibit B**, in order to construct, operate, and maintain certain stormwater and sewer improvements on the Subject Property; and

WHEREAS, the Village also requires a temporary construction easement in, on, upon, over, and across a portion of the Subject Property for access to the Village Property, and for construction staging, and other construction-related purposes as the Village reasonably deems necessary or desirable in connection with the Garage Project; and

WHEREAS, Owner has agreed to grant the easements to the Village and to permit the

Village's construction, operation, and maintenance of stormwater improvements and appurtenances on the Subject Property pursuant to the terms and conditions set forth in this Agreement.

NOW, THEREFORE, in consideration of the mutual covenants and agreements set forth herein and under the Village's home rule powers, the Parties hereto agree as follows:

1. **RECITALS.** The foregoing recitals are incorporated herein by reference as though fully set forth.

2. **GRANT AND USE OF PERMANENT EASEMENT.** Owner grants, conveys, warrants, and dedicates to the Village a 6' wide perpetual, non-exclusive easement upon, under, and across that portion of the Subject Property depicted on ***Exhibit B***, attached hereto, and by this reference, made a part hereof (the "***Permanent Easement Premises***") to survey, construct, install, operate, use, maintain, own, test, inspect, repair, and remove and replace certain stormwater and storm sewer improvements, drainage and swales, together with manholes and such other related facilities, attachments, and equipment (the "***Facilities***") and all reasonable rights of ingress and egress over, along, across, and upon the Subject Property necessary for the exercise of the rights granted herein.

3. **TEMPORARY CONSTRUCTION EASEMENT** Owner grants, conveys, warrants, and dedicates to the Village a non-exclusive, temporary construction easement upon, under, that portion of the Subject Property depicted on ***Exhibit C*** (the "***Temporary Easement Premises***"), together with all reasonable rights of ingress and egress over, along, across, and upon the Subject Property necessary for construction staging, and other construction-related purposes as the Village reasonably deems necessary or desirable in connection with the Garage Project and removal of the Additional Trees (as defined in Section 4(d) below). The Temporary Easement will automatically terminate on May 31, 2025 ("***Temporary Easement Term***"); provided, however that the Temporary Easement Term may be extended by written notice from the Village to Owner, for a reasonable time if the Village is in compliance with the provisions of this Agreement at the time of expiration.

The Permanent Easement Premises and Temporary Easement Premises are referred to collectively as the "***Easement Premises***."

4. **EASEMENT CONDITIONS.** The grant of easements and ancillary rights given to the Village under this Agreement will be subject to the following conditions:

(a) Owner reserves the right of access to and use of the Easement Premises in any manner not inconsistent with the rights granted to the Village under this Agreement, including but not limited to the right to install landscaping, gardens, shrubs and fencing on the Easement Premises that do not then or later conflict with the Facilities or the easement rights granted hereunder;

(b) The Village will notify Owner prior to commencement of any excavation, construction, repair, maintenance or other work or activity on the Easement Premises. The Parties will reasonably cooperate with respect to the commencement, timing, and location of such work or activity so as to avoid any interference with the Owner's use of the Subject Property or the Easement

Premises;

(c) All construction or other work or activity by any entity within the Easement Premises will be performed in a safe and sound manner and in accordance with all applicable federal, state and local laws;

(d) The Village will clear the Easement Premises prior to and during installation of the Facilities, including removal of existing trees and shrubbery in the Easement Premises and removal of two additional trees on the Subject Property (not in the Easement Area) as depicted on *Exhibit D* attached hereto (the "**Additional Trees**"). The Village will be responsible for the payment of all costs associated with any work or activity performed on the Easement Premises pursuant to the grant of easement set forth in Paragraph 2 above; and

(e) In consideration of the grant of easements set forth in this Agreement, the Village agrees to pay Owner \$9,000.00 within 90 days of the Effective Date of this Agreement for Owner to use to install a fence, trees or shrubs as desired by Owner for screening purposes after the expiration of the Temporary Easement Term. Such installation shall be in compliance with Section 4(a) above and with all applicable laws and ordinances. The Village will have no restoration or repair obligations in connection with the Easement Premises and the Village is not responsible for restoring, repairing, or replacing any shrubs or trees (including the Additional Trees) on the Subject Property or in the Easement Premises.

5. **MAINTENANCE AND REPAIR OF FACILITIES.** The Village will maintain the Facilities in good working order and repair, and in compliance with applicable federal, state and local law. In the event that Owner determines that the Village is not in compliance with the terms of this Paragraph 5, Owner will provide the Village written notice of said non-compliance. Upon receipt of said written notice, the Village will have 30 days to commence reasonable measures to cure said non-compliance. Notwithstanding the above 30-day cure period, the Village will take immediate action to cure said non-compliance in the case of an emergency likely to cause immediate harm, damage or danger to surrounding property or to the public or private health, safety or welfare. In the event the Village fails to commence reasonable measures to cure said non-compliance at the expiration of the periods set forth herein, or otherwise exhibits an unwillingness to cure said non-compliance, Owner will have the right, but not the obligation, to take all steps necessary to bring the Facilities into good working order and repair and in compliance with all applicable federal, state and local laws, and the Village will be responsible for all reasonable costs and expenses incurred by Owner in connection with same, including reasonable attorneys' fees.

6. **LIENS.** The Village will not permit or suffer any lien to be imposed upon or to accrue against Owner, the Subject Property or the Easement Premises. The Village will indemnify, defend and hold harmless Owner from and against any liens and encumbrances arising out of any labor or services performed by or at the direction of, or materials furnished to, the Village or any parties claiming by, through or under the Village. In the event that any such lien will arise or accrue against the Owner, the Subject Property or the Easement Premises, the Village will promptly cause such lien to be released of record by payment thereof or posting a bond in a form and amount which is reasonably satisfactory to Owner.

7. **INDEMNIFICATION.** The Village agrees to indemnify, defend and save Owner harmless from and against any and all liabilities, claims, losses, or demands for personal injury or property

damage arising out of or caused by any act or omission of the Village, any of its contractors or subcontractors, anyone directly or indirectly employed or engaged by any of them, or anyone for whose acts any of them may be liable, arising from the Village's conduct of the Easement Activities or exercise or use of the easement rights granted under this Agreement.

8. **INSURANCE.** The Village will maintain, and will require any of its contractors hired to perform any work on the Easement Premises, to maintain liability insurance in reasonable amounts, and with reputable companies, to protect Owner and the Village against claims arising directly or indirectly out of or in connection with the Village's conduct of the Easement Activities or use of the Easement Premises or Subject Property pursuant to this Agreement. The Village will name, or cause any contractor hired to perform any work on the Easement Premises to name, Owner, as an additional insured and upon request will provide to Owner a copy of a Certificate of Insurance evidencing this coverage.

9. **TERM.** Except as specifically set forth in Paragraph 3 above, this Agreement will be in full force and effect for so long as the Facilities are required for purposes of stormwater and storm sewer services.

10. **ADDITIONAL EASEMENTS.** Owner reserves the right to use the Easement Premises in any manner that will not prevent or interfere in any way with the exercise by the Village of the rights granted herein; provided, however, that Owner must not damage, destroy, or permanently or temporarily improve or obstruct the Easement Premises or cause any improvements or obstructions to be constructed on the Easement Premises that would impair the exercise by the Village of the rights granted in this Agreement, including without limitation, fences, bridges, piers, trees and other vegetation and underground sprinkler systems, which would obstruct the free-flowing drainage of the Easement Property or obstruct access to the Facilities, without the express prior written consent of the Village Administrator.

11. **COVENANTS RUNNING WITH THE LAND.** The easements and rights granted in this Agreement, the restrictions imposed by this Agreement, and the agreements and covenants contained in this Agreement will be easements, rights, restrictions, agreements and covenants running with the land, will be recorded against the Subject Property and will be binding upon and inure to the benefit of Owner and the Village and their respective heirs, executors, administrators, successors, assigns, agents, licensees, invitees, and representatives, including, without limitation, all subsequent owners of the Subject Property, or any portion thereof, and all persons claiming under them. If any of the easements, rights, restrictions, agreements, or covenants created by this Agreement would otherwise be unlawful or void for violation of (a) the rule against perpetuities or some analogous statutory provision, (b) the rule restricting restraints on alienation, or (c) any other statutory or common law rules imposing time limits, then such easements, rights, restrictions, agreements or covenants will continue only until 21 years after the death of the last survivor of the now living lawful descendants of J.B. Pritzker, current Governor of the State of Illinois.

12. **ASSIGNMENT OF RIGHTS.** Owner agrees that the Village may assign its rights or delegate its duties under this Agreement to any assignee: (a) who is reasonably competent to exercise the rights granted herein and the obligations imposed herein; and (b) who makes adequate assurances to the Owners that any activity performed pursuant to such assignment or delegation will be conducted in a good and workmanlike manner; and (c) who otherwise attests in writing to comply with the terms of this Agreement. Notwithstanding any such assignment, the Village will not be released from its obligations under Section 7 of this Agreement.

13. **NO WAIVER OF TORT IMMUNITY.** Nothing contained in this Agreement will constitute a waiver by the Village of any right, privilege or defense which it has under statutory or common law, included but not limited to the Illinois Governmental and Governmental Employees Tort Immunity Act, 745 ILCS 10.

14. **ENTIRE AGREEMENT/AMENDMENT.** This instrument contains the entire agreement between the Parties relating to the rights granted herein and the obligations herein assumed. This Agreement may be modified, amended or annulled only by the written agreement of Owner and the Village.

15. **EXHIBITS.** Exhibits A through D attached to this Agreement are incorporated herein and made a part hereof by this reference.

16. **SEVERABILITY.** Invalidation by judgment or court order of any one or more of the covenants or restrictions contained herein will in no way affect any other provisions which will remain in full force and effect.

17. **CAPTIONS AND PARAGRAPH HEADINGS.** Captions and paragraph headings are for convenience only and are not a part of this Agreement and will not be used in construing it.

18. **NOTICES.** All notices provided for herein will be served upon the Parties by personal delivery, overnight courier or Certified United States mail, return receipt requested, at the following locations, or at such other location or locations as the Parties may from time to time designate in writing:

Notice to the Village:

Village of East Dundee
Attn: Village Administrator
120 Barrington Avenue
East Dundee, Illinois 60118

Notice to Owner:

Patrick O'Neil Property Group LLC Hill
Attn: Patrick Sakolari
221 E. Chicago Street, #9
Elgin, Illinois 60120

Notices will be deemed given when received by the Party to whom it was sent.

19. **NO THIRD PARTY BENEFICIARIES.** This Agreement is entered into solely for the benefit of the Parties, and nothing in this Agreement is intended, either expressly or impliedly, to provide any right or benefit of any kind whatsoever to any person and entity who is not a party to this Agreement or to acknowledge, establish, or impose any legal duty to any third party.

IN WITNESS WHEREOF, the Parties hereto have caused this instrument to be executed on the date first above written.

OWNER:
PATRICK O'NEIL PROPERTY GROUP LLC HILL,
An Illinois limited liability company


Michelle Sakolari, Manager

VILLAGE:

VILLAGE OF EAST DUNDEE:

By: 

ACKNOWLEDGMENTS

STATE OF ILLINOIS)
)
COUNTY OF KANE)

This instrument was acknowledged before me on July 11, 2024, by Franco Bottalico, Asst. to Village Admin. of the **VILLAGE OF EAST DUNDEE**, an Illinois municipal corporation. Deputy clerk

[Signature]
Signature of Notary

SEAL

My Commission expires: 3/23/27



STATE OF ILLINOIS)
)
COUNTY OF KANE)

This instrument was acknowledged before me on JULY 11, 2024, by MICHELLE SAVOLARI known to me to be the MANAGER of Patrick O'Neil Property Group LLC Hill and the person whose name is subscribed to the foregoing instrument and who did acknowledge that they executed the above instrument voluntarily and as their free act and deed.

[Signature]
Signature of Notary



SEAL

My Commission expires: 8/28/2024

EXHIBIT A

Legal Description of the Subject Property

LOT 2 IN BLOCK 2 IN EAST DUNDEE, ON THE EAST SIDE OF FOX RIVER, IN KANE COUNTY, ILLINOIS.

Commonly known as 308 Hill Street, East Dundee, Illinois.
PIN: 03-23-320-002



EXHIBIT B

DEPICTION OF PERMANENT EASEMENT PREMISES

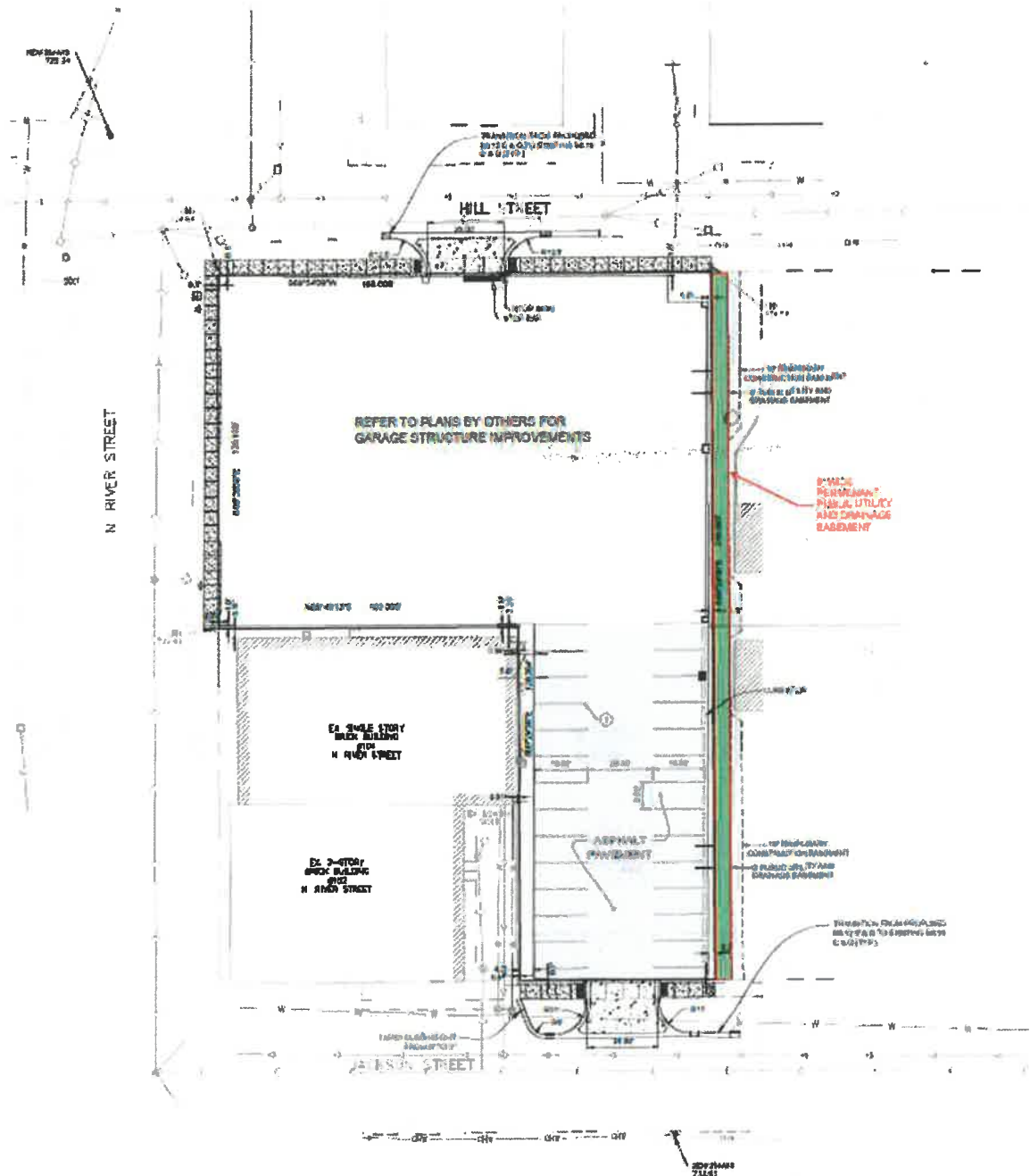


EXHIBIT C

DEPICTION OF TEMPORARY EASEMENT PREMISES

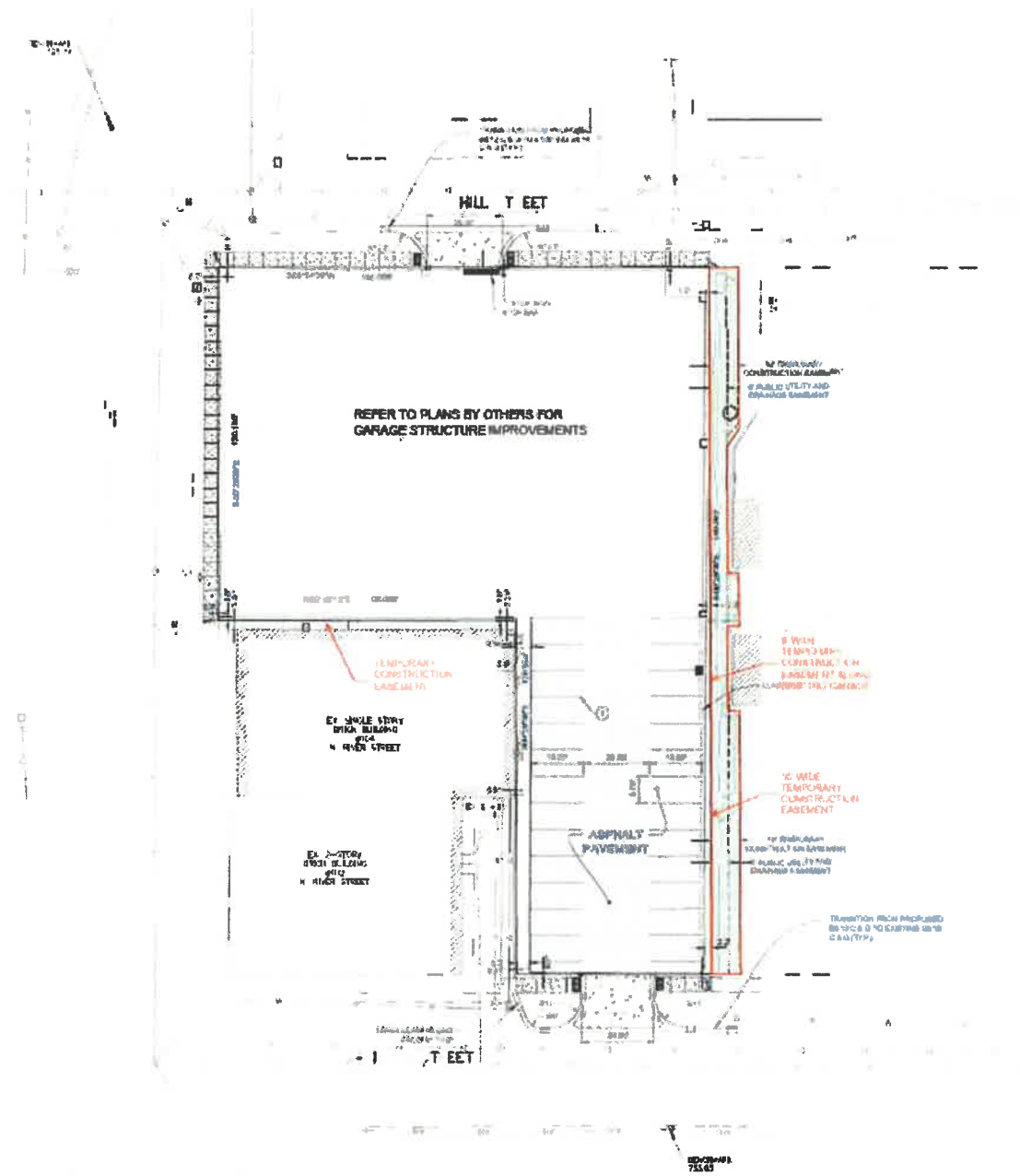


EXHIBIT D

ADDITIONAL TREES ON SUBJECT PROPERTY TO BE REMOVED BY VILLAGE



MORTGAGEE'S CONSENT

STATE OF IL)
COUNTY OF KANE) SS
)

TBK Bank, SSB, hereby certifies, that as a mortgagee of the real property legally described in the above Non-Exclusive Permanent Public Utility and Drainage Easement and Temporary Construction Easement Agreement, which is under a mortgage recorded in the Office of the Recorder of Deeds in Kane County, Illinois on May 29, 2024 and recorded as document number 2024K017923, it hereby consents to the granting of the above Non-Exclusive Permanent Public Utility and Drainage Easement and Temporary Construction Easement Agreement and does hereby subordinate its mortgage interest in the Easement Premises to the Village of East Dundee, Illinois for the purposes and uses stated in the above grant of easements document.

Dated at ELGIN, ILLINOIS, this 11th day of JULY, 2024.

FOR MORTGAGEE:

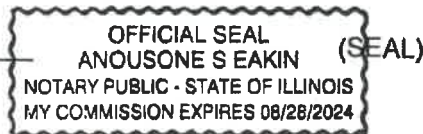
Michael W. Brown, SVP
its SVP for TBK BANK, SSB

STATE OF IL)
COUNTY OF KANE) SS
)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Michael W. Brown (title) and Senior Vice President - Commercial Lending (title) of TBK Bank, SSB, are known to me to be the same persons whose names are subscribed to the Mortgagee's Consent, appeared before me this day in person and acknowledged that they signed, sealed and delivered the said instrument as their free and voluntary act, for the uses and purposes herein set forth above.

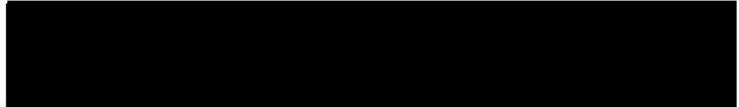
Given under my hand and notarial seal this 11th day of July, 2024.

Anousone S. Eakin
Notary Public
Commission Expires: 8/28/2024



**PREPARED BY AND
AFTER RECORDING
RETURN TO:**

Lisa Starceovich
Elrod Friedman LLP
325 North LaSalle Street
Suite 450
Chicago, IL 60654



com

TEMPORARY CONSTRUCTION EASEMENT AGREEMENT
(311 Jackson Street, East Dundee, IL)

THIS TEMPORARY CONSTRUCTION EASEMENT AGREEMENT (the "**Agreement**") is dated as of this 9 day of July 2024 (the "**Effective Date**"), by and between the **VILLAGE OF EAST DUNDEE**, an Illinois home-rule municipal corporation (the "**Village**"), and the **Brook B. Marshall Grantor Trust dated December 20, 2020** ("**Owner**"), which hereinafter may be referred together as the "Parties" or individually as a "Party."

WHEREAS, Owner is the sole fee simple owner of certain real property situated at 311 Jackson Street, East Dundee, County of Kane, State of Illinois, which real estate is legally described in **Exhibit A** attached hereto, and by this reference, made a part hereof (the "**Subject Property**"); and

WHEREAS, the Village recently acquired title to the parcel of real estate adjacent to the Subject Property, commonly known as 304 Hill Street and 309 Jackson Street, East Dundee, Illinois (the "**Village Property**"), and is in the process of constructing a parking garage and related improvements on the Village Property (the "**Garage Project**"); and

WHEREAS, the Village also requires a temporary construction easement in, on, upon, over, and across a portion of the Subject Property for access to the Village Property, and for construction staging, and other construction-related purposes as the Village reasonably deems necessary or desirable in connection with the Garage Project; and

WHEREAS, Owner has agreed to grant the temporary construction easement to the Village pursuant to the terms and conditions set forth in this Agreement.

NOW, THEREFORE, in consideration of the mutual covenants and agreements set forth herein and under the Village's home rule powers, the Parties hereto agree as follows:

1. **RECITALS.** The foregoing recitals are incorporated herein by reference as though fully set forth.

2. **TEMPORARY CONSTRUCTION EASEMENT** Owner grants, conveys, warrants, and dedicates to the Village a 10' wide non-exclusive, temporary construction easement upon, under, that portion of the Subject Property depicted on ***Exhibit B*** (the "***Temporary Easement Premises***"), together with all reasonable rights of ingress and egress over, along, across, and upon the Subject Property necessary for construction staging, and other construction-related purposes as the Village reasonably deems necessary or desirable in connection with the Garage Project. The Temporary Easement will automatically terminate on May 31, 2025 ("***Temporary Easement Term***"); provided, however that the Temporary Easement Term may be extended by written notice from the Village to Owner, for a reasonable time if the Village is in compliance with the provisions of this Agreement at the time of expiration.

3. **EASEMENT CONDITIONS**. The grant of easements and ancillary rights given to the Village under this Agreement will be subject to the following conditions:

(a) Owner reserves the right of access to and use of the Temporary Easement Premises in any manner not inconsistent with the rights granted to the Village under this Agreement, including but not limited to the right to install landscaping, gardens, shrubs and fencing on the Temporary Easement Premises that do not then or later conflict with the easement rights granted hereunder;

(b) The Village will notify Owner prior to commencement of any construction, repair, maintenance or other work or activity on the Temporary Easement Premises. The Parties will reasonably cooperate with respect to the commencement, timing, and location of such work or activity so as to avoid any interference with the Owner's use of the Subject Property or the Temporary Easement Premises;

(c) All construction or other work or activity by any entity within the Temporary Easement Premises will be performed in a safe and sound manner and in accordance with all applicable federal, state and local laws;

(d) The Village will clear the Temporary Easement Premises, including removal of existing trees and shrubbery. The Village will be responsible for the payment of all costs associated with any work or activity performed on the Temporary Easement Premises pursuant to the grant of easement set forth in Paragraph 2 above;

(e) The Village will construct a 6' vinyl privacy screening fence on the Village Property along the surface lot on the east side of the Village Property after the expiration of the Temporary Easement Term;

(f) The Village will apply for fence variances necessary to increase the height of the vinyl privacy screening fence being installed on the Village Property as set forth in subsection (e) above to 8'; and

(g) In consideration of the grant of easement set forth in this Agreement, the Village agrees to pay Owner \$5,000.00 within 90 days of the Effective Date of this Agreement for Owner to use to install a fence, trees or shrubs as desired by Owner for screening purposes after the expiration of the Temporary Easement Term. Such installation shall be in compliance with Section 3(a) above and with all

applicable laws and ordinances. The Village will have no restoration or repair obligations in connection with the Temporary Easement Premises and the Village is not responsible for restoring, repairing, or replacing any shrubs or trees in the Temporary Easement Premises.

4. **LIENS.** The Village will not permit or suffer any lien to be imposed upon or to accrue against Owner, the Subject Property or the Temporary Easement Premises. The Village will indemnify, defend and hold harmless Owner from and against any liens and encumbrances arising out of any labor or services performed by or at the direction of, or materials furnished to, the Village or any parties claiming by, through or under the Village. In the event that any such lien will arise or accrue against the Owner, the Subject Property or the Temporary Easement Premises, the Village will promptly cause such lien to be released of record by payment thereof or posting a bond in a form and amount which is reasonably satisfactory to Owner.

5. **INDEMNIFICATION.** The Village agrees to indemnify, defend and save Owner harmless from and against any and all liabilities, claims, losses, or demands for personal injury or property damage arising out of or caused by any act or omission of the Village, any of its contractors or subcontractors, anyone directly or indirectly employed or engaged by any of them, or anyone for whose acts any of them may be liable, arising from the Village's exercise or use of the easement rights granted under this Agreement.

6. **INSURANCE.** The Village will maintain, and will require any of its contractors hired to perform any work on the Temporary Easement Premises, to maintain liability insurance in reasonable amounts, and with reputable companies, to protect Owner and the Village against claims arising directly or indirectly out of or in connection with the Village's use of the Temporary Easement Premises or Subject Property pursuant to this Agreement. The Village will name, or cause any contractor hired to perform any work on the Easement Premises to name, Owner, as an additional insured and upon request will provide to Owner a copy of a Certificate of Insurance evidencing this coverage.

7. **ADDITIONAL EASEMENTS.** Owner reserves the right to use the Temporary Easement Premises in any manner that will not prevent or interfere in any way with the exercise by the Village of the rights granted herein; provided, however, that Owner must not damage, destroy, or permanently or temporarily improve or obstruct the Temporary Easement Premises or cause any improvements or obstructions to be constructed on the Temporary Easement Premises that would impair the exercise by the Village of the rights granted in this Agreement, without the express prior written consent of the Village Administrator.

8. **COVENANTS RUNNING WITH THE LAND.** The easement and rights granted in this Agreement, the restrictions imposed by this Agreement, and the agreements and covenants contained in this Agreement will be easements, rights, restrictions, agreements and covenants running with the land, will be recorded against the Subject Property and will be binding upon and inure to the benefit of Owner and the Village and their respective heirs, executors, administrators, successors, assigns, agents, licensees, invitees, and representatives, including, without limitation, all subsequent owners of the Subject Property, or any portion thereof, and all persons claiming under them. If any of the easements, rights, restrictions, agreements, or covenants created by this Agreement would otherwise be unlawful or void for violation of (a) the rule against perpetuities or some analogous statutory provision, (b) the rule restricting restraints on alienation, or (c) any other statutory or common law rules imposing time limits, then such easements, rights, restrictions, agreements or covenants will continue only until 21 years after the death of the last

survivor of the now living lawful descendants of J.B. Pritzker, current Governor of the State of Illinois.

9. **ASSIGNMENT OF RIGHTS.** Owner agrees that the Village may assign its rights or delegate its duties under this Agreement to any assignee: (a) who is reasonably competent to exercise the rights granted herein and the obligations imposed herein; and (b) who makes adequate assurances to the Owners that any activity performed pursuant to such assignment or delegation will be conducted in a good and workmanlike manner; and (c) who otherwise attests in writing to comply with the terms of this Agreement. Notwithstanding any such assignment, the Village will not be released from its obligations under Section 5 of this Agreement.

10. **NO WAIVER OF TORT IMMUNITY.** Nothing contained in this Agreement will constitute a waiver by the Village of any right, privilege or defense which it has under statutory or common law, included but not limited to the Illinois Governmental and Governmental Employees Tort Immunity Act, 745 ILCS 10.

11. **ENTIRE AGREEMENT/AMENDMENT.** This instrument contains the entire agreement between the Parties relating to the rights granted herein and the obligations herein assumed. This Agreement may be modified, amended or annulled only by the written agreement of Owner and the Village.

12. **EXHIBITS.** Exhibits A and B attached to this Agreement are incorporated herein and made a part hereof by this reference.

13. **SEVERABILITY.** Invalidation by judgment or court order of any one or more of the covenants or restrictions contained herein will in no way affect any other provisions which will remain in full force and effect.

14. **CAPTIONS AND PARAGRAPH HEADINGS.** Captions and paragraph headings are for convenience only and are not a part of this Agreement and will not be used in construing it.

15. **NOTICES.** All notices provided for herein will be served upon the Parties by personal delivery, overnight courier or Certified United States mail, return receipt requested, at the following locations, or at such other location or locations as the Parties may from time to time designate in writing:

Notice to the Village:

Village of East Dundee
Attn: Village Administrator
120 Barrington Avenue
East Dundee, Illinois 60118

Notice to Owner:

Brook B. Marshall, Trustee
Brook B. Marshall Grantor Trust dated 12/20/20
~~5078 N. 83rd Street~~
~~Scottsdale, AZ 85250-7302~~

and
956 Dundee Ave.
Elgin, IL 60120

Notices will be deemed given when received by the Party to whom it was sent.

16. **NO THIRD PARTY BENEFICIARIES**. This Agreement is entered into solely for the benefit of the Parties, and nothing in this Agreement is intended, either expressly or impliedly, to provide any right or benefit of any kind whatsoever to any person and entity who is not a party to this Agreement or to acknowledge, establish, or impose any legal duty to any third party.

IN WITNESS WHEREOF, the Parties hereto have caused this instrument to be executed on the date first above written.

OWNER:
BROOK B. MARSHALLGRANTOR TRUST
DATED DECEMBER 20, 2020


Brook B. Marshall, Trustee

VILLAGE:

VILLAGE OF EAST DUNDEE:

By:  _____

ACKNOWLEDGMENTS

STATE OF ILLINOIS)
)
COUNTY OF KANE)

This instrument was acknowledged before me on July 9, 2024, by Franco Bottalico, Asst. to Village Administrator of the **VILLAGE OF EAST DUNDEE**, an Illinois municipal corporation. Deputy Clerk


Signature of Notary

SEAL

My Commission expires: 3/23/27



STATE OF ILLINOIS)
)
COUNTY OF KANE)

This instrument was acknowledged before me on July 9, 2024, by Brook B. Marshall known to me to be the Trustee of the **BROOK B. MARSHALL GRANTOR TRUST DATED DECEMBER 20, 2020** and the person whose name is subscribed to the foregoing instrument and who did acknowledge that they executed the above instrument voluntarily and as their free act and deed.


Signature of Notary

SEAL

My Commission expires: 3/23/27



EXHIBIT A

Legal Description of the Subject Property

THE SOUTHERLY HALF OF LOTS 9 AND 10 IN BLOCK 2 OF EAST DUNDEE, IN THE VILLAGE OF EAST DUNDEE, KANE COUNTY, ILLINOIS.

Commonly known as 311 Jackson Street, East Dundee, Illinois.

PIN: 03-23-320-008

DEPICTION OF TEMPORARY EASEMENT PREMISES



Memorandum



To: Village President and Board of Trustees

From: Brandiss J. West, Finance & Administrative Services Director

Subject: Personnel Manual Amendment - Holidays

Date: July 9, 2024

Action Requested

Staff recommends Village Board approval of an ordinance amending the employee personnel manual regarding holidays to add Juneteenth and Columbus Day, both federally recognized holidays, to the Village's observed Holidays.

Background and Summary

Staff is recommending that the paid holidays granted to full-time employees be amended to include Juneteenth and Columbus Day. In order to accommodate this change, the personnel manual needs to be amended for non-union employees. The Village will discuss this amendment with the union Public Works and Police Department employees as well, which may be formalized in a forthcoming contract renewal with Local 150 (Public Works) and MAP (Police).

Attachments

Ordinance

ORDINANCE NUMBER 24 - __

**AN ORDINANCE OF THE VILLAGE OF EAST DUNDEE,
COOK AND KANE COUNTIES, ILLINOIS, AMENDING THE EMPLOYEE
PERSONNEL MANUAL REGARDING HOLIDAYS**

WHEREAS, the Village of East Dundee ("Village") is a home rule unit of local government pursuant to Section 6 of Article VII of the Constitution of the State of Illinois, and has the authority to exercise any power and perform any function pertaining to its government and affairs; and

WHEREAS, the Village desires to maintain policies and procedures by which employees of the Village are employed to ensure that all employees are treated in a manner consistent with all applicable employment laws and regulations and that those policies and procedures are provided to employees in a clear and consistent manner; and

WHEREAS, the President and Board of Trustees of the Village previously adopted a formal policy manual ("Personnel Manual") in order to further the Village's goal as stated herein; and

WHEREAS, the Personnel Manual is adopted by reference in Title III, Administration; Chapter 34, Village Policies; Section 34.20, Personnel Policy of the Village Code; and

WHEREAS, the President and Board of Trustees of the Village of East Dundee have determined that it is in the best interests of the Village that the Personnel Manual be amended to amend the Holidays contained in the Personnel Manual, Section 11.1 by adding two additional holidays, Juneteenth and Columbus Day, as follows:

11.1 Holidays

All employees who have full-time employment status shall receive time off and be paid for the following holidays:

New Year's Day	Columbus Day
Martin Luther King, Jr Day	Veteran's Day
Memorial Day	Thanksgiving Day
Juneteenth	Day after Thanksgiving
Independence Day	Christmas Eve
Labor Day	Christmas Day

NOW THEREFORE BE IT ORDAINED BY THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF EAST DUNDEE, COOK AND KANE COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1: Incorporation. That the recitals above shall be and are hereby incorporated in this Section 1 as if restated herein.

SECTION 2: Amendment to Personnel Manual. The Village Administrator is hereby authorized and directed to undertake any and all actions as may be required to implement this amendment to the Employee Personnel Manual.

SECTION 3: Conflict. In the event there is a conflict between the Employee Personnel Manual and any collective bargaining agreement, personnel services contract or Federal or State law, the terms and conditions of that contract or law shall prevail. In all other cases, the Employee Personnel Manual shall prevail.

SECTION 4: Continuation. That all provisions of the Village Code and Personnel Manual not amended herein shall remain in full force and effect.

SECTION 5: Repeal. All prior ordinances or resolutions related to the employment policies of the Village or inconsistent with the provisions of this ordinance are hereby repealed.

SECTION 6: Effect. That this Ordinance shall be in full force and effect upon its adoption, approval and publication in pamphlet form as provided by law.

ADOPTED this ____ day of _____, 2024 pursuant to a roll call vote as follows:

AYES: _____

NAYES: _____

ABSENT: _____

APPROVED by me this ____ day of _____, 2024.

Jeffrey Lynam, Village President

ATTEST:

Katherine Diehl, Village Clerk

Published in pamphlet form this ____ day of _____, 2024, under the authority of the Village President and Board of Trustees.

Recorded in the Village records on _____, 2024.

Memorandum



To: Village Board of Trustees
From: Jeff Lynam, Village President
Subject: Appointments to the Police Commission & the Depot Council
Date: July 15, 2024

Action Requested:

The Village President requests Village Board Advice and Consent to an Appointment to the Police Commission & Depot Council.

Summary:

This item was presented to the Board during the June 24, 2024 special Village Board meeting. A motion was made to postpone until the July 15, 2024 Village Board meeting to further discuss.

Village President Lynam submits for advice and consent the following regular appointments:

Police Commission:

Name	Term Expiration
Scott Cox (as a replacement for Craig Martin)	July 15, 2027

Depot Council:

Name	Term Expiration
Kim Brunner	July 15, 2027
Peggy Scarpelli	July 15, 2027