



**This meeting will be held in person
In Public Meeting Room A
Delta Administration Building
7710 West Saginaw Highway
Lansing, MI 48917**

**TOWNSHIP BOARD REGULAR MEETING
AGENDA**

Monday, November 18, 2024 - 6:00 PM

This meeting will be streamed live for viewing only at:

<https://us02web.zoom.us/j/84223763746?pwd=UIYvaC8rcm5BT2diWm5kanFKaEhyZz09>

Meeting ID: 842 2376 3746

Passcode: 674702

For the hearing impaired, please call 711 (TTY Support) to access the FCC's phone relaying service and provide the following phone number 1-312-626-6799.

Please note all public comments must be made in person.

- I. CALL TO ORDER**
- II. OPENING CEREMONIES**
- III. ROLL CALL** – Members: Acting Supervisor/Clerk Mary R. Clark, Treasurer Dennis R. Fedewa, Trustee Elizabeth (Beth) S. Bowen, Trustee Fonda J. Brewer, Trustee Andrea M. Cascarilla, and Trustee Karen J. Mojica
- IV. PRESENTATIONS AND PROCLAMATIONS**
- V. SET/ADJUST AGENDA**
- VI. PUBLIC HEARINGS** - Members of the public at the meeting shall not speak unless recognized by the chair. Members of the public shall be limited to speaking for a maximum of three (3) minutes during a public hearing. Prior to speaking, members of the public must also identify themselves with their name and address.
- VII. COMMUNICATIONS**
 - 1. [WRRF Update](#)**
 - 2. [Ultium Update](#)**
 - 3. [Sheriff Substation Update](#)**
- VIII. PUBLIC COMMENTS (maximum three minutes)**
- IX. INTRODUCTION OF ORDINANCES**
- X. PASSAGE OF ORDINANCES**
- XI. CONSENT AGENDA** – Anyone may request item(s) to be pulled from the consent agenda for discussion. If left on the consent agenda, the items will be voted on by a roll call vote of the Board en masse. Then, the individual item(s) will be discussed and voted upon.

4. Bills and Financial Transactions

a. **\$ 3,799,112.21**

5. Minutes

a. **November 11, 2024**

6. Set Public Hearing for a Commercial Rehabilitation District

The Assessors Office recommends that the Delta Township Board set a public hearing for December 2, 2024 at 6:00 p.m., in meeting Room A of the Delta Township Administration Building, 7710 West Saginaw Highway Lansing, MI, to establish the Matrix Commercial Rehabilitation District pursuant to P.A. 210 of 2005 legally described as: PART OF LOTS 34, 35, & 36 VERNDALE LAKES SUBDIVISION SEC 14, T4N,R3W, DELTA TWP DESC AS COM AT THE SE COR OF LOT 36; TH S 89D 57M 52S W 185.55 FT TO POB; TH S 89D 57M 52S W 380.26 FT; TO SW COR LOT 35; TH N 0D 26M 47S E 921.43 FT TO NW COR LOT 34; TH SELY 546.81 FT ON A CURVE TO THE LEFT WITH A LONG CHORD BEARING S 29D 47M 41S E 521.77 FT; TH S 60D 2M 8S E 181.96 FT & SELY 30.99 FT ON A CURVE TO THE RIGHT, A DISTANCE OF 30.97 FT CHORD BEARING S 56D 53M 57S E; TH S 43D 43M 0S W 250.98 FT; TH S 45D 3M 19S E 146.44 FT; TH S 0 D 2M 8S E 75.73 FT TO POB; 4.62 AC; and that the Township Clerk give notice of the hearing in accordance with the Michigan Open Meetings Act.

7. Set Public Hearing for a Commercial Rehabilitation Certificate Application

The Assessors Office recommends that the Delta Township Board set a public hearing to be held on December 2, 2024, at 6:00 p.m., in meeting Room "A" of the Delta Township Administration Building, 7710 West Saginaw Highway Lansing, MI 48917, to consider a request from Matrix Re, LLC for a Commercial Rehabilitation Exemption Certificate located in the proposed Matrix Commercial Rehabilitation District pursuant to P.A. 210 of 2005 legally described as: PART OF LOTS 34, 35, & 36 VERNDALE LAKES SUBDIVISION SEC 14, T4N,R3W, DELTA TWP DESC AS COM AT THE SE COR OF LOT 36; TH S 89D 57M 52S W 185.55 FT TO POB; TH S 89D 57M 52S W 380.26 FT; TO SW COR LOT 35; TH N 0D 26M 47S E 921.43 FT TO NW COR LOT 34; TH SELY 546.81 FT ON A CURVE TO THE LEFT WITH A LONG CHORD BEARING S 29D 47M 41S E 521.77 FT; TH S 60D 2M 8S E 181.96 FT & SELY 30.99 FT ON A CURVE TO THE RIGHT, A DISTANCE OF 30.97 FT CHORD BEARING S 56D 53M 57S E; TH S 43D 43M 0S W 250.98 FT; TH S 45D 3M 19S E 146.44 FT; TH S 0 D 2M 8S E 75.73 FT TO POB; 4.62 AC; that the Township Clerk give notice of the hearing in accordance with the Michigan Open Meetings Act, and that a copy of the proposed application be placed on file with the Delta Township Clerk available for review.

XII. ITEMS REMOVED FROM CONSENT AGENDA FOR DISCUSSION

XIII. ITEMS ADDED TO AGENDA UNDER SECTION V. SET/ADJUST AGENDA

XIV. OLD ITEMS OF BUSINESS

XV. NEW ITEMS OF BUSINESS

8. Rezoning Request Number PSL2024-0004 to rezone 0.95 acre parcel at 6020 W Saginaw Hwy (Parcel #040-088-005-030-00) from O (Office) to C (Commercial)

The Planning Department recommends that the Delta Township Board approve the request from Todd Kosta to rezone a 0.95-acre parcel at 6020 W Saginaw Hwy (Parcel #040-088-005-030-00) from (O) Office to (C) Commercial as described in Case #PSL2024-0004.

9. Anderson Park Permit

The Parks, Recreation & Cemeteries Department recommends that the Delta Township Board approve the permit request to permit use at Anderson Park from the hours of 07:00 am to 10:00 pm local, effective November 2024 through April 30, 2025.

XVI. CLOSED SESSION

XVII. MANAGER'S REPORT

XVIII. COMMITTEE OF THE WHOLE

10. Sign Ordinance

11. Self-Storage — Zoning Ordinance

XIX. PUBLIC COMMENTS (maximum three minutes)

XX. ADJOURNMENT

CHARTER TOWNSHIP OF DELTA

MARY R. CLARK, TOWNSHIP CLERK

Phone (517) 323-8500

Individuals with disabilities attending Township meetings or hearings and requiring auxiliary aids or services should contact Township Manager and ADA Coordinator Brian T. Reed by email at manager@deltami.gov or calling (517) 323-8590 to inform him of the date of the meeting or hearing that will be attended. Copies of minutes may be purchased or viewed in the Clerk's Office from 8 a.m. to 5 p.m., Monday through Friday.

Construction Progress

To: Delta Charter Township Board

Cc: Rick Kane, Jacob Kleinhenz, P.E.; Delta Charter Township

From: Brent Bode, P.E.; Ella Hoeffner, E.I.T.; Alex Michailuk

Date: November 13, 2024

Subject: WRRF P1 Update No. 029

CONSTRUCTION PROGRESS

1.1 AERATION TANKS

- General contractor Commercial Contracting Corporation (CCC) continued installation of the grating support beams over the Aeration Tank Influent Chambers.
- Subcontractors Allied Mechanical Services (AMS) & Superior Electric (SE) assisted the manufacturers with startup of the dissolved oxygen sensors, flowmeters, and valves on the Aeration Tanks.
- AMS continued to fill the Aeration Tanks with final effluent water in preparation for the second blower startup visit. AMS also filled the Influent and Effluent Chambers to leak test the slide gates.

1.2 BLOWER BUILDING

- Manufacturers APG Neuros and Commerce Controls Inc. completed the second startup visit for the blowers in the Blower Building. The programming and controls were verified and integrated into the SCADA system by Tetra Tech.
- SE continued to install conduits and disconnects in the Blower Building chemical feed room. SE also continued to pull and terminate wiring for power and controls to the blower processor panel, contactors, and to the chemical feed room equipment.

1.3 FINAL CLARIFIERS

- CCC installed forms, reinforcements, and placed concrete to complete the foundation slab of Final Clarifier No.1. CCC is installing forms and reinforcements for the walls of the clarifier.
- AMS continued installing the launder covers and current density baffles inside Final Clarifier No. 3. AMS worked with manufacturer Walker Process Equipment to inspect the sludge collection mechanism.

1.4 HEADWORKS BUILDING

- CCC placed concrete for the sidewalk and overhead door approaches at the Headworks Building.
- SE worked with Hoffman to excavate for the ductbank from the Headworks Building primary switches to the electrical vaults near the east entrance. SE installed conduits and wiring to supply power to the building. CCC installed reinforcements and placed concrete to encase the ductbank.
- AMS worked with Hoffman to install the natural gas piping from the Digester Building to the Headworks Building. AMS installed gas lines to the make-up air units.
- Subcontractor Murray Painting Co. continued applying priming the walls in the Headworks Building.

- Subcontractor Christen Detroit completed the installation of the membrane roofing system on the Headworks Building. Christen Detroit installed the coping and flashing around the parapet walls, the scupper and overflow boxes, and the roof drain downspouts.
- Subcontractor Traverse City Glass installed the doors and skylight in the Headworks Building.
- AMS completed installation of the 16" suction piping to the raw sewage pumps in the Headworks Building. The sample pump, sample sink, and associated piping were also installed. AMS continues to install the final effluent water piping throughout the building. AMS installed the gate stems and actuators on the slide gates in the screening room.
- AMS completed installation of the make-up air units and carbon adsorber for odor control at the Headworks Building. Installation of the ductwork throughout the building and the odor control duct to the Influent Junction Box is ongoing.
- SE continued installing conduits to the motor control centers, control panels, and variable frequency drives in the Headworks Building pump room. SE is also installing conduits to the mechanical bar screens, washer compactor, and slide gate operators in the screening room.
- Hoffman installed the storm sewer catch basins and piping west and south of the Headworks Building to the proposed sedimentation basin in the southeast corner of the site. A temporary basin was excavated, and the existing storm sewer outlet was temporarily tied into the new system for site drainage.

1.5 GRIT BUILDING

- Subcontractor 21st Century Salvage sawcut and removed a section of the existing wall for the Grit Building influent chamber. 21st Century Salvage is also mobilizing to the site and assembling scaffolding to begin demolition of the existing west grit tank equipment.
- AMS cut and capped the existing drain to isolate the west grit tank. CCC placed concrete bulkheads to isolate the existing influent and bypass channels.
- AMS completed installation of the 30" raw sewage force main piping to the Grit Building influent chamber. A temporary bypass directly to the Primary Tanks was installed for construction of the grit vortexes inside the existing grit tanks.
- CCC installed forms, reinforcements, and placed concrete for the walls of the influent chamber on the south side of the Grit Building. CCC is preparing to place concrete for the next wall section.
- AMS continues to install the carbon adsorber equipment for the odor control system at the Grit Building. SE installed conduits to the make-up air unit and carbon absorber.

1.6 ROAD IMPROVEMENTS

- Hoffman completed placement of the sand and aggregate road subbase along the west and north sides of the Aeration Tanks, the south service driveway, and at both site entrances. Hoffman also removed the existing pavement around the Solids Handling Building and placed the subbase for future paving.
- Hoffman removed an existing hydrant to expand the west site entrance. Hoffman also installed the storm sewer catch basins and piping around the west site entrance.
- Subcontractor Doan Construction Co. installed the curb and gutter along the north and south sides of Willow Highway, both site entrances, the south service driveway, and east of the Control Building.
- Subcontractor Reith Reiley placed asphalt for the pavement base course along the Aeration Tanks, and the top course on the Control Building parking lot.
- Hoffman removed the temporary paving on Willow Highway and installed the road subbase. Reith Riley milled the existing asphalt in the entire affected area then placed asphalt to pave the road. Subcontractor PK Striping installed the lane markings. Willow Highway was then reopened for full traffic.

1.7 OTHER

- Subcontractor Mersino Dewatering, Inc. (Mersino) removed the sanitary sewer bypass pumps and piping left on site from the influent sewer improvements.
- CCC performed the watertightness test Junction Box No. 3 with Tetra Tech. Subcontractor Ram Construction Services continues to inject the visible leaks on the structure with an epoxy resin.
- Hoffman placed topsoil and final graded the green spaces east and south of the Control Building, west of the Aeration Tanks, and along Willow Highway. Hoffman assisted NERC with seeding and mulch blanket installation to restore the areas.
- Tetra Tech is on site full time reviewing shop drawings, addressing RFI's, managing change issues, and observing the work.
 - Submittals received as of 11/11/2024: 408
 - RFI's received as of 11/11/2024: 227

CONTRACT

2.1 CHANGES

- Original Contract Price: \$73,776,000.00
 - Change Order No. 1: (\$699,318.00)
 - Change Order No. 2: \$38,161.19
 - Change Order No. 3: \$154,743.03
 - Change Order No. 4: \$36,914.78
 - Change Order No. 5: \$44,242.00
 - Change Order No. 6: \$235,201.15
 - Change Order No. 7: \$82,474.39
- Current Contract Price: \$73,668,418.54
- Final Completion Date: January 8, 2025

2.2 PAYMENT APPLICATIONS

- Pay Application for work through October 31, 2024: \$1,491,856.47
- Total paid to date: \$59,158,065.97

PHOTOGRAPHS

Photo 1: Aeration Tanks Overview



Photo 2: Aeration Tank Blowers Operating



Photo 3: Final Clarifiers Overview



Photo 4: Willow Highway Pavement



Photo 5: Grit Building Influent Chamber



Photo 6: Grit Building Force Main Bypass



Photo 7: Headworks Building Overview



Photo 8: Headworks Building Pump Room



Photo 9: Site Overview, 11/07/2024





Construction Progress

To: Delta Charter Township Board

Cc: Rick Kane, Jacon Kleinhenz

From: Josh Righi, OHM-Advisors

Date: November 13, 2024

Subject: Ultium 3 Bid Package #4 Division A – Equalization Basin: Update No. 14

1.0 CONSTRUCTION PROGRESS

- Influent Channel walls placed on 10/07.
- Pump Station Piping placed by 10/16.
- Channel grinders and stop plates placed and grouted into place in the influent channel on 10/22.
- Wet well pumps 1 & 4 replaced and level sensors placed by 11/12.

2.0 CONTRACT

2.1 CHANGES

- Change Order 1 (Division A): \$8,944.00
- Change Order 1 (Division B): \$46,471.11
- Change Order 1 (Division A and B Combined): \$55,415.11
- Division A Current Contract Price: \$8,688,644.00
- Division A and B Combined Current Contract Price: \$12,560,115.11
- Substantial Completion Date: December 6, 2024
- Final Completion Date: June 2, 2025



2.2 PAYMENT APPLICATIONS

- Pay application 1 for work from October 1 to October 31, 2023 = \$909,801.45
- Pay application 2 for work from November 1 to November 20, 2023= \$666,456.30
- Pay Application 3 for work from November 21 to December 15, 2023 = \$438,881.40
- Pay Application 4 for work from December 16 to January 19, 2024 = \$301,211.10
- Pay Application 5 for work from January 20 to February 23, 2024 = \$574,587.90
- Pay Application 6 for work from February 24 to March 22, 2024 = \$510,422.40
- Pay Application 7 for work from March 23 to April 26, 2024 = \$1,283,013.00
- Pay Application 8 for work from April 27 to May 24, 2024 = \$495,189.00
- Pay Application 9 for work from May 25 to June 21, 2024 = \$343,872.00
- Pay Application 10 for work from June 22 to August 2, 2024 = \$916,260.95
- Pay Application 11 for work from August 3 to August 23, 2024 = \$1,054,433.95
- Pay Application 12 for work from August 24 to September 27, 2024 = \$928,342.00
- Pay Application 13 for work from September 28 to October 25, 2024 = \$1,453,476.35
- Total to date: \$9,875,947.80



3.0 PHOTOGRAPHS



Photo 1: Influent Channel walls placed on 10/07.



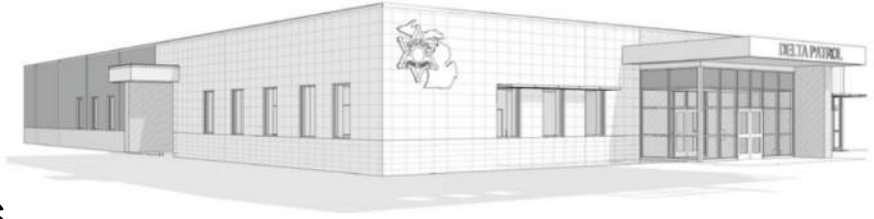
Photo 2: Pump Station Piping placed by 10/16.



Photo 2: Channel grinders and stop plates placed in the influent channel on 10/22.



Photo 4: Wet well pumps 1 & 4 replaced and wet well level sensors placed 11/13.



Construction Progress

- Final painting in the Mechanical and Electrical Rooms is nearing completion.
- Installation of the sunshades on the exterior door and window systems continues to progress.
- Installation of the composite metal panel system is in-progress.
- Installation of the wall tile in the Women's Locker Room is in-progress.
- Drywall installation and finishing continues to progress in the north half of the building.
- Final painting in the southwest portion of the building is in-progress.
- Installation of the finned-tube radiators is in-progress in the southwest portion of the building.
- Installation of the low-voltage data cabling is in-progress.
- Sealing of the concrete floor in the I.T. Room is in-progress.
- Installation of the access controls system is scheduled to begin next week.

Contracts

Original Contract Amount= \$12,083,651.00

Approved Changes to Date= \$432,940.00

Pending Change Orders Total= No Pending Change Orders

Current Contract Pricing= \$12,516,591.00

Substantial Completion Date: January 31, 2025

Final Completion Date: February 28, 2025

Payment Applications

Pay Applications 1-25 Total= \$8,226,845.76

Pay Applications 1-24 Status: Paid in Full

Pay Application 25 Status: Submitted



Installation of the Low-Voltage Data Cabling



Women's Locker Room - Wall Tile Installation



Final Painting and Finned-Tube Radiator Installation



Main Distribution Panel - Installation In-Progress

**DELTA CHARTER TOWNSHIP
FINANCE REPORT
FOR TOWNSHIP BOARD MEETING
11/18/2024**

Disbursement requests listed on the following pages, totaling \$3,799,112.21 have been received and reviewed by the Manager, Finance Director, and Clerk. It is recommended that all listed vouchers be approved for payment.

Payroll & Related	651,866.13
Refunds	535.00
Tax Distributions	-
Vendor Claims	<u>3,146,711.08</u>
Total	<u><u>\$ 3,799,112.21</u></u>

Mary R. Clark, Acting Supervisor/Township Clerk

Dennis R. Fedewa, Township Treasurer

PAYABLES FOR DELTA CHARTER TOWNSHIP
BOARD AGENDA DATE
11/18/2024

Check Date	Invoice Vendor	Description	Amount
10/02/2024	CONSUMERS ENERGY	SERVICE @ 811 N CANAL RD (08/09/24-09/09/24)	122.85
10/22/2024	CONSUMERS ENERGY	SERVICE @ MULT LOCATIONS (08/29/24-09/29/24)	88.51
11/05/2024	CONSUMERS ENERGY	SERVICE @ MULT LOCATIONS (9/12/2024-10/10/2024)	156.83
11/08/2024	180 DESIGNS, LLC	REPAIRS ON FORD 403	650.00
11/08/2024	AIRGAS USA, LLC	OXYGEN	394.49
11/08/2024	APOLLO FIRE APPARATUS	REPAIRS & PARTS	329.73
11/08/2024	BOUND TREE MEDICAL, LLC	MEDICAL SUPPLIES	6,966.34
11/08/2024	DINGES FIRE COMPANY	SMOKE LIQUID	1,079.00
11/08/2024	J.C. EHRlich	PEST CONTROL MAINTENANCE	84.70
11/08/2024	FLEETPRIDE	OIL-DRI/ DIESEL EXHAUST FLUID	860.00
11/08/2024	MCNAMARA'S HEATING & COOLING	EXHAUST FANS/BELT PICK UP	522.50
11/08/2024	ROSE PEST SOLUTIONS	MONTHLY PEST CONTROL	59.00
11/08/2024	STERICYCLE, INC.	MEDICAL WASTE DISPOSAL SERVICE -OCT/NOV 24	104.18
11/08/2024	TRI-COUNTY EMERGENCY MEDICAL	BLS RED MEDICATION BAG	15.00
11/11/2024	LANSING BOARD OF WATER & LIGHT	SERVICE @ 5317 OLD LANSING RD (09/13/24-10/12/24)	54.08
11/12/2024	LANSING BOARD OF WATER & LIGHT	SERVICE @ MULT LOCATIONS (09/14-24-10/13/24)	1,752.63
11/13/2024	LANSING BOARD OF WATER & LIGHT	SERVICE @ 7603 W SAGINAW HWY (09/15/24-10/14/24)	43.83
11/13/2024	ABENT, PATRICIA	ELECTION WORKERS - PRECINCT AVCB	287.00
11/13/2024	CAROL ADADO	ELECTION WORKERS - PRECINCT 11	227.50
11/13/2024	SUSAN K ADSIT	ELECTION WORKERS - PRECINCT AVCB	329.00
11/13/2024	SARAH LYNN ANDERTON	ELECTION WORKERS - PRECINCT EVC & 3	720.00
11/13/2024	ANTHONY, RICHARD	ELECTION WORKERS - PRECINCT 2	241.50
11/13/2024	CHERYL ARNING	ELECTION WORKERS - PRECINCT 6	245.00
11/13/2024	CATHERINE BABCOCK	ELECTION WORKERS - PRECINCT 16	231.00
11/13/2024	DIANNE BAILEY	ELECTION WORKERS - PRECINCT 14	365.00
11/13/2024	PAIGE SWEM	ELECTION WORKERS - PRECINCT 15	270.00
11/13/2024	JUDY BAUM	ELECTION WORKERS - PRECINCT 3	290.50
11/13/2024	DORENE BECKLEY	ELECTION WORKERS - PRECINCT 13	234.50
11/13/2024	PETER BENVENUTO	ELECTION WORKERS - PRECINCT 5	213.50

11/13/2024	JULIE BILLS	ELECTION WORKERS - PRECINCT 12	234.50
11/13/2024	BLANKENSHIP, RICHARD	ELECTION WORKERS - CLASS ONLY	31.50
11/13/2024	BLUE CROSS BLUE SHIELD OF MICHIGAN	HEALTH INSURANCE	181,243.99
11/13/2024	GWENDOLYN BODIFORD	ELECTION WORKERS - PRECINCT EVC & 3	630.00
11/13/2024	JEANETTE E BOERGER-DIXON	ELECTION WORKERS - PRECINCT 15	227.50
11/13/2024	JENNA BOHAC	ELECTION WORKERS - PRECINCT EVC & 16	371.25
11/13/2024	PATRICK BOHAC	ELECTION WORKERS - PRECINCT EVC & 16	472.00
11/13/2024	REBECCA BOUCK	ELECTION WORKERS - PRECINCT EVC & 14	640.50
11/13/2024	DENISE BOUGHTON	ELECTION WORKERS - PRECINCT 5	445.00
11/13/2024	EARL BREEN	ELECTION WORKERS - PRECINCT 2	435.00
11/13/2024	TARA BRIDE	ELECTION WORKERS - PRECINCT 8	258.00
11/13/2024	KATHERINE BROKER	ELECTION WORKERS - PRECINCT 12	410.00
11/13/2024	MALLORY BROKER	ELECTION WORKERS - PRECINCT 12	285.00
11/13/2024	NONA BROWN	ELECTION WORKERS - PRECINCT 13	234.50
11/13/2024	DANIEL BURNS	ELECTION WORKERS - PRECINCT AVCB	355.00
11/13/2024	BYRNES, JAMES	ELECTION WORKERS - PRECINCT 3	259.00
11/13/2024	JOAN CAPEL	ELECTION WORKERS - PRECINCT 8	236.25
11/13/2024	KARLA I CHAMBERLAIN	ELECTION WORKERS - PRECINCT 14	238.00
11/13/2024	CANDICE CHATFIELD	ELECTION WORKERS - PRECINCT AVCB	196.00
11/13/2024	KATE MARIE CLARK	ELECTION WORKERS - PRECINCT EVC	860.00
11/13/2024	DONNA JEAN CLEMENTS	ELECTION WORKERS - CLASS ONLY	21.00
11/13/2024	DAVID CORRIE	ELECTION WORKERS - PRECINCT EVC & 8	393.75
11/13/2024	PHYLLIS COSTELLO	ELECTION WORKERS - PRECINCT EVC & 11	609.00
11/13/2024	ROBERTA M CRUMMEL	ELECTION WORKERS - CLASS ONLY	14.00
11/13/2024	MARCELLA V CZAPSKI	ELECTION WORKERS - PRECINCT 1	272.00
11/13/2024	KAREN DALTON	ELECTION WORKERS - PRECINCT 6	266.00
11/13/2024	DENNIS JOHN DANN	ELECTION WORKERS - PRECINCT AVCB	392.00
11/13/2024	JUANITA D'ARIENZO	ELECTION WORKERS - PRECINCT 7	262.50
11/13/2024	ROBIN PAYTON	ELECTION WORKERS - PRECINCT 7	809.86
11/13/2024	DEARBORN NATIONAL LIFE INSURANCE CO	LIFE, ADD, LTD & OPT'L INSURANCE -NOV 24	7,565.91
11/13/2024	JANICE DENBY	ELECTION WORKERS - PRECINCT AVCB	175.00
11/13/2024	MINA DHARIA	ELECTION WORKERS - PRECINCT 2	227.50
11/13/2024	RAJESH DHARIA	ELECTION WORKERS - PRECINCT 12	227.50
11/13/2024	JOHN DUFF	ELECTION WORKERS - CLASS ONLY	14.00

11/13/2024	TERESA DUPUIS	ELECTION WORKERS - PRECINCT 1	227.50
11/13/2024	AMY EGGLESTON	ELECTION WORKERS - PRECINCT 11	277.50
11/13/2024	ROGER ELLIOTT	ELECTION WORKERS - PRECINCT 6	255.50
11/13/2024	SHANTA ELLSWORTH	ELECTION WORKERS - PRECINCT AVCB	143.50
11/13/2024	SUSAN ELLSWORTH	ELECTION WORKERS - PRECINCT AVCB	105.00
11/13/2024	DAVID EVANS	ELECTION WORKERS - PRECINCT 15	231.00
11/13/2024	CHERYL FARHAT	ELECTION WORKERS - PRECINCT AVCB	112.00
11/13/2024	FIDELITY SECURITY LIFE INS/ EYEMED	VISION INSURANCE COVERAGE-NOV 24	1,644.62
11/13/2024	FITZSIMONS, MARLENE	ELECTION WORKERS - PRECINCT 2	241.50
11/13/2024	SUSAN FOX	ELECTION WORKERS - PRECINCT 2	273.75
11/13/2024	FRACKER, LYNNE	ELECTION WORKERS - PRECINCT 11	277.50
11/13/2024	MITCHELL GAFF	ELECTION WORKERS - PRECINCT AVCB	329.00
11/13/2024	ALYSANDRA GANEM-REDD	ELECTION WORKERS - PRECINCT 6	307.50
11/13/2024	FRED GERHARDT	ELECTION WORKERS - PRECINCT 6	255.50
11/13/2024	MELODY GLICK	ELECTION WORKERS - PRECINCT 4	270.00
11/13/2024	GRANGER	YARD WASTE ROLL-OFF & CONTAINER SERVICE	4,012.30
11/13/2024	MAE HAAN	ELECTION WORKERS - PRECINCT 7	498.46
11/13/2024	ROBERT HAMMERSTEIN	ELECTION WORKERS - PRECINCT 13	245.00
11/13/2024	DEANNA HANIESKI	ELECTION WORKERS - PRECINCT 3	255.50
11/13/2024	HANSEN, OPAL J	ELECTION WORKERS - CLASS ONLY	21.00
11/13/2024	HILDENBRAND, JAMIE	ELECTION WORKERS - CLASS ONLY	21.00
11/13/2024	SHIRLEY HILL	ELECTION WORKERS - PRECINCT AVCB	234.50
11/13/2024	RUTHIE HODGE	ELECTION WORKERS - PRECINCT 7	478.59
11/13/2024	DOUGLAS HOEK	ELECTION WORKERS - PRECINCT AVCB	442.00
11/13/2024	CHARLES JENNINGS	ELECTION WORKERS - PRECINCT 12	245.00
11/13/2024	GERALDINE JENNINGS	ELECTION WORKERS - PRECINCT 1	241.50
11/13/2024	JOHNSON, MARA	ELECTION WORKERS - PRECINCT 4	245.00
11/13/2024	REGINA JOHNSON	ELECTION WORKERS - PRECINCT 7	425.00
11/13/2024	LEXIS JONES	ELECTION WORKERS - PRECINCT 8	370.00
11/13/2024	MELISSA KALTENBACH	ELECTION WORKERS - PRECINCT EVC	135.00
11/13/2024	JACOB KASPER	ELECTION WORKERS - PRECINCT 11	238.00
11/13/2024	RALPH MICHAEL KELLY	ELECTION WORKERS - PRECINCT 5	245.00
11/13/2024	KENTNER, SARAH	ELECTION WORKERS - PRECINCT 1	273.75
11/13/2024	TERI KEUSCH	ELECTION WORKERS - PRECINCT 16	292.50

11/13/2024	SADIE KILBOURN	ELECTION WORKERS - PRECINCT 11	390.00
11/13/2024	KISSANE, SHARI	ELECTION WORKERS - PRECINCT 8	227.50
11/13/2024	JOANN KLEIN	ELECTION WORKERS - PRECINCT 4	227.50
11/13/2024	KONEVAL, CADEN	ELECTION WORKERS - PRECINCT AVCB	224.00
11/13/2024	DEMPHNA KRIKORIAN	ELECTION WORKERS - PRECINCT 2	231.00
11/13/2024	KATHLEEN KRUSE	ELECTION WORKERS - PRECINCT 16	227.50
11/13/2024	DEBORAH LARKIN	ELECTION WORKERS - PRECINCT 7	707.39
11/13/2024	MICHELLE LEE	ELECTION WORKERS - PRECINCT EVC	333.75
11/13/2024	YUMEI LI-BACHAR	TAI CHI CLASSES	452.00
11/13/2024	DAVID LIVISKIE	ELECTION WORKERS - PRECINCT 6	289.50
11/13/2024	ERIN LIVISKIE	ELECTION WORKERS - PRECINCT AVCB	147.00
11/13/2024	VERONICA LONG	ELECTION WORKERS - PRECINCT 8	227.50
11/13/2024	WILLIAM LONG	ELECTION WORKERS - PRECINCT AVCB	206.50
11/13/2024	ROSELLA HELEN LONIER	ELECTION WORKERS - PRECINCT 4	231.00
11/13/2024	THERESA LOOMIS	ELECTION WORKERS - PRECINCT 3	300.00
11/13/2024	JUDY LUNDE-WHITMAN	ELECTION WORKERS - PRECINCT 16	238.00
11/13/2024	DANIEL LYNCH	ELECTION WORKERS - PRECINCT 2	231.00
11/13/2024	JUDY LYNCH	ELECTION WORKERS - PRECINCT AVCB	14.00
11/13/2024	THOMAS MAILAND	ELECTION WORKERS - PRECINCT AVCB	234.50
11/13/2024	LORETTA LOUISE MANDLEY	ELECTION WORKERS - PRECINCT 16	234.50
11/13/2024	ARLOA MARMION	ELECTION WORKERS - CLASS ONLY	21.00
11/13/2024	CHRISTOPHER MATTSON	ELECTION WORKERS - PRECINCT 4	520.00
11/13/2024	WARREN MEIDINGER	ELECTION WORKERS - PRECINCT AVCB	252.00
11/13/2024	LAVERNE MICKEL	ELECTION WORKERS - PRECINCT AVCB	570.00
11/13/2024	ANTON WOODS	ELECTION WORKERS - PRECINCT 12 - PHONE	20.00
11/13/2024	JACK MILLER	REIMBURSEMENT RE: ST JOE PROJECT	845.00
11/13/2024	LEOLA MITCHELL	ELECTION WORKERS - PRECINCT 14	227.50
11/13/2024	MOELLER, ANN	ELECTION WORKERS - PRECINCT 14	227.50
11/13/2024	CYNTHIA RAE MOONEY	ELECTION WORKERS - PRECINCT 15	231.00
11/13/2024	MOORE, DEANNE	ELECTION WORKERS - PRECINCT 5	234.50
11/13/2024	ANNETTE MOSHKOSKY	ELECTION WORKERS - PRECINCT 2	281.25
11/13/2024	JOHN MUENZER	ELECTION WORKERS - PRECINCT 14	272.00
11/13/2024	RACHEL CUSCHIERI- MURRAY	ELECTION WORKERS - PRECINCT AVCB	143.50
11/13/2024	VIRGINIA NOBLE	ELECTION WORKERS - PRECINCT AVCB	108.50

11/13/2024	DAVID NOBREGA	ELECTION WORKERS - PRECINCT 8	231.00
11/13/2024	NEIL O'BRIEN	ELECTION WORKERS - PRECINCT EVC & 15	581.25
11/13/2024	ADALENA GARCIA	DEPOSIT REFUND	300.00
11/13/2024	NANCY ENSLIN	RENTAL DEPOSIT REFUND	535.00
11/13/2024	SHIRLEY JACKSON	DEPOSIT REFUND	300.00
11/13/2024	MEREDITH PATTERSON	ELECTION WORKERS - PRECINCT EVC & 11	633.50
11/13/2024	MICHAEL PHELPS	ELECTION WORKERS - PRECINCT 1	277.50
11/13/2024	WALTER PIKE	ELECTION WORKERS - PRECINCT 1	241.50
11/13/2024	BEVERLY PILLAR	ELECTION WORKERS - PRECINCT 6	410.00
11/13/2024	JEANNETTE PIZZO	ELECTION WORKERS - PRECINCT 13	281.25
11/13/2024	JILL PLATE	ELECTION WORKERS - PRECINCT AVCB	475.00
11/13/2024	BARB POMA	ELECTION WORKERS - PRECINCT 13	316.25
11/13/2024	PROUT, DAVID	ELECTION WORKERS - PRECINCT 7	283.50
11/13/2024	ADDISON PUCK	ELECTION WORKERS - PRECINCT 15	519.36
11/13/2024	DAVID PUCK	ELECTION WORKERS - PRECINCT 15	420.00
11/13/2024	RUBY PUCK	ELECTION WORKERS - PRECINCT AVCB & EVC	459.50
11/13/2024	HEIDI PUNG	ELECTION WORKERS - PRECINCT	390.00
11/13/2024	HOLLY ELISE PURVES	ELECTION WORKERS - PRECINCT 11	265.00
11/13/2024	TERRI RATERINK	ELECTION WORKERS - PRECINCT 3	175.00
11/13/2024	SHIRLEY ROE	ELECTION WORKERS - PRECINCT AVCB	178.50
11/13/2024	SAARI, SUSAN	ELECTION WORKERS - PRECINCT 11	248.50
11/13/2024	SANCHEZ, KATHRYN KUHNS	ELECTION WORKERS - PRECINCT 8	231.00
11/13/2024	KARILYN SANDERS	ELECTION WORKERS - PRECINCT 11	270.00
11/13/2024	SCARBOROUGH, GERALD	ELECTION WORKERS - PRECINCT 15	248.50
11/13/2024	NOREEN SCHAFER	ELECTION WORKERS - PRECINCT AVCB	260.00
11/13/2024	KIMBERLY SCHOBERT	ELECTION WORKERS - PRECINCT 6	241.50
11/13/2024	JAMES SCHWEITZER	ELECTION WORKERS - PRECINCT 13	355.00
11/13/2024	STANLEY SIEFKER	ELECTION WORKERS - PRECINCT AVCB	182.00
11/13/2024	DENISE SIZEMORE	ELECTION WORKERS - PRECINCT 1	248.50
11/13/2024	JANET SMALL	ELECTION WORKERS - PRECINCT EVC & 4	360.00
11/13/2024	SMITH, BARBARA	ELECTION WORKERS - PRECINCT AVCB	108.50
11/13/2024	JAMES SMITH	ELECTION WORKERS - PRECINCT AVCB	98.00
11/13/2024	JEAN SOICH-HUSBY	ELECTION WORKERS - PRECINCT 12	231.00
11/13/2024	DAVID SONNENBERG	ELECTION WORKERS - CLASS ONLY	14.00

11/13/2024	DORIS JANE STANLEY	ELECTION WORKERS - PRECINCT EVC & 5	623.00
11/13/2024	JOSEPH E STATEN	ELECTION WORKERS - PRECINCT 3	315.00
11/13/2024	PAULA STEINER	ELECTION WORKERS - PRECINCT 15	234.50
11/13/2024	KATHLEEN SWEAT	ELECTION WORKERS - PRECINCT AVCB	224.00
11/13/2024	MICHAEL SWEAT	ELECTION WORKERS - PRECINCT AVCB	441.50
11/13/2024	DONNA TISDALE	ELECTION WORKERS - PRECINCT 14	238.00
11/13/2024	EILEEN TRIERWEILER	ELECTION WORKERS - PRECINCT 16	248.50
11/13/2024	MICHELLE TWICHELL	ELECTION WORKERS - PRECINCT AVCB	795.00
11/13/2024	WHITTNEY URIE	ELECTION WORKERS - PRECINCT 2	265.00
11/13/2024	JANIS VASILION	ELECTION WORKERS - PRECINCT 5	243.75
11/13/2024	MARILYN WADE	ELECTION WORKERS - PRECINCT 15	255.50
11/13/2024	GWEN WALDRON	ELECTION WORKERS - CLASS ONLY	14.00
11/13/2024	JOHN WALDRON	ELECTION WORKERS - PRECINCT AVCB	190.00
11/13/2024	VALERIE WALES-BEATTY	ELECTION WORKERS - PRECINCT 4	270.00
11/13/2024	CAROL WALKER	ELECTION WORKERS - PRECINCT EVC & 13	616.00
11/13/2024	SANDRA WALKER	ELECTION WORKERS - PRECINCT 5	285.00
11/13/2024	DAVID WARE	ELECTION WORKERS - PRECINCT 5	255.50
11/13/2024	KURT WARNER	ELECTION WORKERS - PRECINCT 14	1,070.56
11/13/2024	LINDA WEAVER	ELECTION WORKERS - PRECINCT 13	279.00
11/13/2024	ROBERT WELDON	ELECTION WORKERS - PRECINCT EVC & 5	561.00
11/13/2024	WICKMAN, BARRY	ELECTION WORKERS - PRECINCT 7	245.00
11/13/2024	ADAM WIESE	ELECTION WORKERS - PRECINCT 4	258.00
11/13/2024	WENDY ELIZABETH WISNIEWSKI	ELECTION WORKERS - PRECINCT 6	281.25
11/13/2024	WOLFER, ROBERT	ELECTION WORKERS - PRECINCT 8	231.00
11/13/2024	JULIE YEAKEY	ELECTION WORKERS - PRECINCT 12	241.50
11/13/2024	STEPHEN ZOPF	ELECTION WORKERS - PRECINCT 4	258.75
11/14/2024	LANSING BOARD OF WATER & LIGHT	SERVICE @ 215 SNOW RD (09/16/24-10/17/24)	1,057.28
11/18/2024	LANSING BOARD OF WATER & LIGHT	SERVICE @ MULT LOCATIONS & STREETLIGHTS - OCT 24	77,943.88
11/20/2024	CONSUMERS ENERGY	SERVICE @ MULT LOCATIONS (09/30-24-10/28/24)	100.18
11/20/2024	DUNIGAN BROTHERS	ST JOE WATERMAIN PATHWAY PROJECT	765,761.44
11/20/2024	THE ACCUMED GROUP	BILLING SERVICE FEE - EMS & FIRE -OCT 24	12,984.36
11/20/2024	AMBS MESSAGE CENTER	ANSWERING SERVICE - UTILITIES (11/1/2024-11/30/2024)	162.00
11/20/2024	AUTOMATION DIRECT	TRANSDUCER FOR PLANT DRAIN LS	438.00
11/20/2024	AUTO VALUE PARTS STORE	TOGGLE SWITCH, FILTERS, PAINT, & GASKET	831.63

11/20/2024	BLUESTONE PSYCH	NEW EMPLOYEE EXAMS	990.00
11/20/2024	BOB BROOKS COMPUTER SALES	TONER	1,518.00
11/20/2024	BREHOB	FIRE DEPT COMPRESSOR	462.78
11/20/2024	BS&A SOFTWARE	UTILITY BILLING TRAINING WITH RACHEL BURNS 10/24/24	1,200.00
11/20/2024	CASE CREDIT UNION	MONTHLY RENT PAYMENT -DEC 24	8,701.33
11/20/2024	CDW GOVERNMENT, INC.	IT EQUIPMENT, IPAD, & SAMSUNG IP PANEL	1,532.37
11/20/2024	CRANDELL BROS. TRUCKING CO.	GRAVEL PER TON	878.76
11/20/2024	ROGER L. DONALDSON, AIA P.L.C.	DECK REPLACEMENTS, PORCH REPLACEMENT, RAMPS	8,048.00
11/20/2024	EATON COUNTY	WORKCREW OCT & NOV 24	5,400.00
11/20/2024	EATON COUNTY TREASURER	SHERIFF CONTRACTUAL - NOV 24	370,669.00
11/20/2024	EATON COUNTY CLERK	PRIMARY ELECTION SERVICES	4,886.75
11/20/2024	ENMET LLC	COLLECTIONS GAS METER	1,285.24
11/20/2024	ETNA SUPPLY COMPANY	OMNI METERS - SHERIFF STATION, FLANGES, & COMPRESSION UNITS	4,339.80
11/20/2024	FACILITY SOLUTIONS, INC.	SANITARY SUPPLIES	1,160.11
11/20/2024	FERGUSON WATERWORKS #3386	PARTS FOR VALVE REPAIR, MANHOLE HOOK, & WRRF WATER MAIN	929.64
11/20/2024	FIBERTEC ENVIRONMENTAL SERVICES	BIOSOLIDS PFAS MONITORING	352.00
11/20/2024	FLEETPRIDE	PARTS FOR VEHICLES, FILTERS, & SWITCHES	549.98
11/20/2024	FRIEDLAND INDUSTRIES	CONFIDENTIAL SHREDDING	150.00
11/20/2024	GRAND LEDGE AUTO PARTS	BLOWER RESISTOR, ROCKER PANEL, & FUSE HOLDER	346.09
11/20/2024	HALLAHAN & ASSOCIATES	PROFESSIONAL SERVICES THROUGH OCT 31, 2024	1,476.00
11/20/2024	HAVILAND PRODUCTS COMPANY	CAUSTIC SODA & MURIATIC ACID	629.88
11/20/2024	HERITAGE-CRYSTAL CLEAN, LLC	USED OIL PICKUP	50.00
11/20/2024	IMAGING SPECTRUM	TABLET WITH PHOTMATIC AND WINDOWS SOFTWARE	560.47
11/20/2024	INTERNATIONAL MINUTE PRESS	PRINT, FOLD, MAIL W/S BILLS - OCT 24	6,017.14
11/20/2024	JETT PUMP & VALVE LLC	KEEN SUBMERSIBLE SOLIDS HANDLING - MT HOPE LS	8,332.47
11/20/2024	KANAZEH LAWN SERVICE	MOWING NOXIOUS WEEDS @ MULTIPLE PROPERTY	710.00
11/20/2024	KENDALL ELECTRIC INC.	SUBSTATION CAMERAS	2,016.90
11/20/2024	LYDEN OIL COMPANY	OIL	882.20
11/20/2024	MAURER'S	UTILITIES UNIFORMS OCT 24	887.20
11/20/2024	MCKEARNEY ASPHALT & SEALING, INC.	WMB ASPHALT REPAIR SETTLERS HILL DR	14,995.00
11/20/2024	MENARDS	MISC PARTS & SUPPLIES	259.75
11/20/2024	KYLE JEFFERS	EMS LICENSE RENEWAL	25.00
11/20/2024	CORPORATE WAREHOUSE SUPPLY	TONER	579.85
11/20/2024	MUNICIPAL SUPPLY CO.	CLAMPS	882.40

11/20/2024	NELSON TANK ENGINEERING & CONS	REPAINTING CREYTS RD TANK & INSPECTION	17,200.00
11/20/2024	CANON SOLUTIONS AMERICA, INC.	COPIER MAINTENANCE -NOV 24	81.21
11/20/2024	PVS TECHNOLOGIES, INC.	FERRIC CHLORIDE SOLUTION	21,418.18
11/20/2024	SAFEBUILT	CONTRACTED INSPECTION AND PLAN REVIEW	2,616.12
11/20/2024	SEILER INSTRUMENT & MFG CO, INC.	STANDARD LATH	168.00
11/20/2024	SMART BUSINESS SOURCE	PAPER, CALENDARS, & TONER	839.68
11/20/2024	SME	TESTING FOR WWTP PHASE 1	18,788.20
11/20/2024	STRYKER SALES CORP.	BATTERY REPLACEMENT KIT	735.00
11/20/2024	SUNDANCE CHEVROLET	VEHICLE MAINTENANCE SUPPLIES	2,490.40
11/20/2024	TOTAL PLASTICS RESOURCES, LLC	PRIMARY FLIGHT SHOES	1,073.40
11/20/2024	TRACE ANALYTICAL LABORATORIES INC	NPDES FINAL EFFLUENT, EPA312, & MONTHLY CHLORIDE	432.09
11/20/2024	USA BLUE BOOK	ULTIUM 3-BP4-GM BOOSTER STATION-WATER-LEAP	2,745.50
11/20/2024	U.S. POSTMASTER	POSTAGE FOR WINTER DELTA MAGAZINE	3,786.39
11/20/2024	VIRIDIS DESIGN GROUP	DELTA CENTER CEMETERY & SHARP PARK - PROF SVCS	3,465.00
11/20/2024	XYLEM WATER SOLUTIONS USA, INC.	UV LAMPS	5,065.00
11/25/2024	CONSUMERS ENERGY	STREET LIGHTS - OCTOBER 2024	4,743.10
11/29/2024	COMMERCIAL CONTRACTING CORPORATION	WRRF PROJECT	<u>1,491,856.47</u>
		PAYABLES	\$ 3,147,246.08
		PAYROLL PAY ENDING 11/09/2024	<u>\$ 651,866.13</u>
			<u><u>\$ 3,799,112.21</u></u>

CHARTER TOWNSHIP OF DELTA
Public Meeting Room A
Delta Township Administration Building
7710 West Saginaw Highway
Lansing, MI 48917

**TOWNSHIP BOARD REGULAR MEETING MINUTES FOR
MONDAY, NOVEMBER 11, 2024**

I. CALL TO ORDER

Acting Supervisor Clark called the meeting to order at 6:00pm.

II. OPENING CEREMONIES – Pledge of Allegiance

III. ROLL CALL

Members Present: Acting Supervisor Mary R. Clark, Acting Clerk Dennis R. Fedewa, Trustee Elizabeth S. Bowen, Trustee Fonda J. Brewer, Trustee Andrea M. Cascarilla, and Trustee Karen J. Mojica

Members Absent:

Others Present: Manager Brian T. Reed, Acting Fire Chief Kahler, Lieutenant Preston Dahlgren, Deputy Manager Erin LaPere, Assistant to the Manager/Communications Administrator Mary Worland, Parks, Recreation and Cemeteries Director Marcus Kirkpatrick, Planning & Economic Development Director Peter Menser, Utilities Director Rick Kane.

IV. PRESENTATIONS AND PROCLAMATIONS

1. Veteran’s Day Resolution



CHARTER TOWNSHIP OF DELTA RESOLUTION OF RECOGNITION OF VETERAN’S DAY 2024

WHEREAS, Delta Township recognizes the immeasurable bravery, dedication, and sacrifices made by the nearly 2,800 veterans who reside in our community; and

WHEREAS, Local veterans have fought on behalf of their country in every major conflict the United States has engaged in since the Civil War, in which Michigan provided the greatest number of people per capita to the Union forces; and

WHEREAS, The selfless service and unwavering commitment exhibited by these veterans have played a pivotal role in upholding the values of freedom and security cherished by the people of our community and the entire nation; and

WHEREAS, The veterans that reside in our Township represent a diverse tapestry of individuals uniting under the common purpose of protecting our country’s freedoms; and

WHEREAS, On this solemn occasion of Veterans Day, the Delta Township Board pays tribute to the valiant individuals who have served in the United States Armed Forces, displaying extraordinary courage in defense of our nation and its principles; and

WHEREAS, These esteemed veterans have demonstrated resilience, fortitude, and sacrifice, often leaving behind their families and risking their lives in the name of duty, honor, and service to our great nation.

NOW, THEREFORE BE IT RESOLVED, that on this Veterans Day, November 11, 2024, the Delta Township Board offers its heartfelt gratitude and recognition to the veterans in our community for their outstanding service, bravery, and commitment to defending the freedoms and liberties cherished by all citizens.

 Mary R. Clark, Clerk & Acting Supervisor	 Dennis R. Fedewa, Treasurer
 Elizabeth S. Bowen, Trustee	 Fonda J. Brewer, Trustee
 Andrea M. Cascarilla, Trustee	 Karen J. Mojica, Trustee



MONDAY, NOVEMBER 11, 2024, TOWNSHIP BOARD MINUTES – REGULAR
MEETING CHARTER TOWNSHIP OF DELTA

1b. Clerk Info

Clerk Clark and Manager Reed expressed their profound thanks to the Delta Township staff in general and the Clerk's staff for their hard work on the five elections conducted in the past 12 months. Precinct chairpersons, those in attendance and those unable to attend in person, were also recognized and thanked.

V. SET/ADJUST AGENDA

TRUSTEE BOWEN MOVED TO APPROVE THE AGENDA AS PRESENTED.

TRUSTEE CASCARILLA SUPPORTED THE MOTION. THE MOTION PASSED 6-0.

VI. PUBLIC HEARING

VII. COMMUNICATIONS

2. Bank Intercounty Drain Tree Clearing Notice

VIII. PUBLIC COMMENTS

James Lennon – Spoke regarding the mountain biking trails at Anderson Park and the limitation of use.

Evan Goodman - Spoke regarding the mountain biking trails at Anderson Park and the limitation of use.

Ann G. - Spoke regarding the mountain biking trails at Anderson Park and the limitation of use.

Kevin Feldpausch - Spoke regarding the mountain biking trails at Anderson Park and the limitation of use.

IX. INTRODUCTION OF ORDINANCES

X. PASSAGE OF ORDINANCES

XI. CONSENT AGENDA

TRUSTEE CASCARILLA MOVED TO APPROVE THE CONSENT AGENDA AS PRESENTED.

TRUSTEE BREWER SUPPORTED THE MOTION.

ROLL CALL:

MONDAY, NOVEMBER 11, 2024, TOWNSHIP BOARD MINUTES – REGULAR MEETING CHARTER TOWNSHIP OF DELTA

AYES: ACTING SUPERVISOR CLARK, ACTING CLERK FEDEWA, TRUSTEE BOWEN, TRUSTEE BREWER, TRUSTEE CASCARILLA AND TRUSTEE MOJICA

NAYS: NONE

ABSENT: NONE

THE MOTION PASSED 6-0.

3. Bills and Financial Transactions

Bonds/Debt Payments	\$	882,726.50
Payroll & Related	\$	21,764.67
Refunds	\$	337,697.85
Tax Distributions	\$	337,697.85
Vendor Claims	\$	1,604,539.31
Total	\$	2,846,728.33

TRUSTEE CASCARILLA MOVED TO APPROVE THE BILLS AND FINANCIAL TRANSACTIONS IN THE AMOUNT OF \$2,846,728.33.

TRUSTEE BREWER SUPPORTED THE MOTION. THE MOTION PASSED 6-0.

4. Minutes

a. Monday, October 21, 2024, Regular Board Meeting

TRUSTEE CASCARILLA MOVED TO APPROVE THE MONDAY, OCTOBER 21, 2024, REGULAR BOARD MEETING MINUTES AS PRESENTED.

TRUSTEE BREWER SUPPORTED THE MOTION. THE MOTION PASSED 6-0.

5. Acceptance of the Utility Agreement for 2200 Snow Rd – Spadafore Industrial

TRUSTEE CASCARILLA MOVED THAT THE DELTA TOWNSHIP BOARD APPROVE THE MUNICIPAL UTILITY AGREEMENT SUBMITTED BY SPADAFORE DISTRIBUTING COMPANY ALSO KNOWN AS SPADAFORE LIGHT INDUSTRIAL, FOR THE EXTENSION OF THE PUBLIC WATER MAIN AND SANITARY SEWER SERVICE LEADS TO SERVE THE PROPOSED SPADAFORE LIGHT INDUSTRIAL DEVELOPMENT AT 2200 SNOW ROAD, LANSING MI 48917. I FURTHER MOVE THAT THE TOWNSHIP ACTING

MONDAY, NOVEMBER 11, 2024, TOWNSHIP BOARD MINUTES – REGULAR MEETING CHARTER TOWNSHIP OF DELTA

SUPERVISOR AND TREASURER BE AUTHORIZED AND DIRECTED TO SIGN THE AGREEMENT ON BEHALF OF THE TOWNSHIP.

TRUSTEE BREWER SUPPORTED THE MOTION. THE MOTION PASSED 6-0.

6. Huber Strain Press Repair for WRRF

TRUSTEE CASCARILLA MOVED THAT THE DELTA TOWNSHIP BOARD APPROVE THE SOLE SOURCE PURCHASE OF NECESSARY PARTS (QUOTE INCLUDED) IN THE AMOUNT OF \$35,721.63

I FURTHER MOVE THAT THE TOWNSHIP MANAGER BE AUTHORIZED AND DIRECTED TO SIGN THE PURCHASE AUTHORIZATION FORMS.

TRUSTEE BREWER SUPPORTED THE MOTION. THE MOTION PASSED 6-0.

7. Rezoning # PRZ2024-0004 (Todd Kosta), rezone 0.95-acre parcel at 6020 W. Saginaw Hwy., (Parcel #040-088-005-030-00) from O (Office) to C (Commercial)

TRUSTEE CASCARILLA MOVED THAT THE DELTA TOWNSHIP BOARD INTRODUCE THE REZONING REQUEST FROM TODD KOSTA TO REZONE A 0.95 ACRE PARCEL AT 6020 W. SAGINAW HWY. (PARCEL #040-088-005-030-00), FROM O (OFFICE) TO C (COMMERCIAL).

I FURTHER MOVE THAT THE REZONING REQUEST SHALL BE CONSIDERED FOR FINAL ACTION BY THE TOWNSHIP BOARD AT ITS REGULAR MEETING SCHEDULED FOR NOVEMBER 18, 2024.

TRUSTEE BREWER SUPPORTED THE MOTION. THE MOTION PASSED 6-0.

XII. ITEMS REMOVED FROM CONSENT AGENDA FOR DISCUSSION

XIII. ITEMS ADDED TO AGENDA UNDER SECTION V. SET/ADJUST AGENDA

XIV. OLD ITEMS OF BUSINESS

XV. NEW ITEMS OF BUSINESS

8. Rezoning #PRZ2024-003 (K-2 Retail Construction & Development) - rezone 39.27 acres in Delta Crossings development from AG2 (Agricultural) to C (Commercial)

MONDAY, NOVEMBER 11, 2024, TOWNSHIP BOARD MINUTES – REGULAR
MEETING CHARTER TOWNSHIP OF DELTA

TRUSTEE CASCARILLA MOVED THAT THE DELTA TOWNSHIP BOARD APPROVE THE REZONING REQUEST FROM K-2 RETAIL CONSTRUCTION & DEVELOPMENT TO REZONE 39.27 ACRES ON THE NORTH SIDE OF W. SAGINAW HWY., IMMEDIATELY WEST OF INTERSTATE 69/96 FROM AG2 (AGRICULTURAL/RESIDENTIAL) TO C (COMMERCIAL) FOR THE FOLLOWING REASONS:

1. THE PROPOSED REZONING REQUEST MEETS THE CRITERIA SPECIFIED FOR REZONING IN SECTION 16.04 (CRITERIA FOR AMENDMENT TO THE OFFICIAL ZONING MAP) OF THE DELTA TOWNSHIP ZONING ORDINANCE.
2. THE SUBJECT SITE MEETS THE MINIMUM STANDARDS FOR LOT AREA AND LOT WIDTH OF THE PROPOSED C (COMMERCIAL) ZONING DISTRICT.
3. THE SUBJECT SITE IS APPROPRIATELY LOCATED NEAR INTERSTATE 69/96 AND W. SAGINAW HWY. AND IS ADJACENT TO OTHER COMMERCIAL LAND USES IN THE DELTA CROSSINGS DEVELOPMENT.
4. THE PROPOSED REZONING TO COMMERCIAL IS CONSISTENT WITH THE FUTURE LAND USE MAP DESIGNATION OF COMMERCIAL FROM THE 2013 COMPREHENSIVE PLAN.
5. PUBLIC WATER AND SANITARY SEWER ARE AVAILABLE TO SERVE THE SITE.

TRUSTEE MOJICA SUPPORTED THE MOTION. THE MOTION PASSED 6-0.

9. Special Land Use Permit #PSL2024-0012 (K-2 Retail Construction & Development) - construct large-scale retail establishment in Phase 4a of the Delta Crossings development

TRUSTEE BREWER MOVED THAT THE DELTA TOWNSHIP BOARD APPROVE THE SPECIAL LAND USE PERMIT REQUEST FROM K-2 RETAIL CONSTRUCTION & DEVELOPMENT TO CONSTRUCT A LARGE-SCALE RETAIL ESTABLISHMENT IN THE DELTA CROSSINGS DEVELOPMENT ON THE NORTH SIDE OF W. SAGINAW HWY., IMMEDIATELY WEST OF INTERSTATE 69/96 (PARCEL #040-009- 300-033-04) AS DESCRIBED IN CASE NO. PSL2024-0012, SUBJECT TO THE FOLLOWING CONDITIONS OF APPROVAL:

1. APPROVAL IS GRANTED IN ACCORDANCE WITH THE SITE PLAN PREPARED BY KEBS, INC. DATED AUGUST 19, 2024.
2. ANY EXPANSION OF THE APPROVED USE SHALL REQUIRE APPROVAL OF AN AMENDMENT TO THE SLUP.
3. THE PROJECT MUST RECEIVE SITE PLAN REVIEW APPROVAL FROM THE ZONING ADMINISTRATOR PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

MONDAY, NOVEMBER 11, 2024, TOWNSHIP BOARD MINUTES – REGULAR
MEETING CHARTER TOWNSHIP OF DELTA

4. THE APPLICANT SHALL PROVIDE DETAILS ON FENCING FOR THE PROPOSED BOAT STORAGE AREA, INCLUDING HEIGHT AND MATERIAL TYPE PER SECTION 8.61 OF THE ZONING ORDINANCE PRIOR TO SITE PLAN REVIEW APPROVAL BEING GRANTED BY THE ZONING ADMINISTRATOR. THE FENCE MUST BE AT LEAST SIX FEET TALL AND MAY NOT BE COMPRISED OF WIRE OR CHAIN-LINK.
5. WHEEL STOPS SHALL BE INSTALLED IN THE 40 PARKING SPACES THAT ARE LOCATED ALONG THE PEDESTRIAN WALKWAY TO ENSURE VEHICLES DO NOT BLOCK OR IMPEDE THE WALKWAY.
6. OUTDOOR DISPLAYS AND SALES ON THE SITE MUST MEET THE STANDARDS ESTABLISHED IN SECTION 8.41 OF THE ZONING ORDINANCE.
7. FAILURE OF THE APPLICANT TO COMPLY WITH ANY OF THE PROVISIONS REQUIRED BY THE ZONING ORDINANCE, OR ANY STIPULATIONS REQUIRED BY THE DELTA TOWNSHIP BOARD, SHALL CONSTITUTE GROUNDS FOR TERMINATION OF THIS PERMIT BY THE DELTA TOWNSHIP BOARD.

ACTING CLERK FEDEWA SUPPORTED THE MOTION. THE MOTION PASSED 6-0.

10. Special Land Use Permit #PSL2024-0013 (K-2 Retail Construction & Development) - establish vehicle sales/leasing and service facility within Bass Pro Shops retail building at Delta Crossings

ACTING CLERK FEDEWA MOVED THAT THE DELTA TOWNSHIP BOARD APPROVE THE SPECIAL LAND USE PERMIT REQUEST FROM K-2 RETAIL CONSTRUCTION & DEVELOPMENT TO ESTABLISH A VEHICLE REPAIR AND VEHICLE SALES/SERVICE FACILITY WITHIN A RETAIL BUILDING IN THE DELTA CROSSINGS DEVELOPMENT ON THE NORTH SIDE OF W. SAGINAW HWY., IMMEDIATELY WEST OF INTERSTATE 69/96 (PARCEL #040-009-300-033-04) AS DESCRIBED IN CASE NO. PSL2024-0013.

1. APPROVAL IS GRANTED IN ACCORDANCE WITH THE SITE PLAN PREPARED BY KEBS, INC. DATED AUGUST 19, 2024.
2. ANY EXPANSION OF THE APPROVED USE SHALL REQUIRE APPROVAL OF AN AMENDMENT TO THE SLUP.
3. THE PROJECT MUST RECEIVE SITE PLAN REVIEW APPROVAL FROM THE ZONING ADMINISTRATOR PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
4. THE APPLICANT SHALL PROVIDE DETAILS ON FENCING FOR THE PROPOSED BOAT STORAGE AREA, INCLUDING HEIGHT AND MATERIAL TYPE PER SECTION 8.61 OF THE ZONING ORDINANCE PRIOR TO SITE PLAN REVIEW APPROVAL BEING GRANTED BY THE ZONING ADMINISTRATOR. THE FENCE MUST BE AT LEAST SIX FEET TALL AND MAY NOT BE COMPRISED OF WIRE OR CHAIN-LINK.

MONDAY, NOVEMBER 11, 2024, TOWNSHIP BOARD MINUTES – REGULAR
MEETING CHARTER TOWNSHIP OF DELTA

5. WHEEL STOPS SHALL BE INSTALLED IN THE 40 PARKING SPACES THAT ARE LOCATED ALONG THE PEDESTRIAN WALKWAY TO ENSURE VEHICLES DO NOT BLOCK OR IMPEDE THE WALKWAY.
6. OUTDOOR DISPLAYS AND SALES ON THE SITE MUST MEET THE STANDARDS ESTABLISHED IN SECTION 8.41 OF THE ZONING ORDINANCE.
7. FAILURE OF THE APPLICANT TO COMPLY WITH ANY OF THE PROVISIONS REQUIRED BY THE ZONING ORDINANCE, OR ANY STIPULATIONS REQUIRED BY THE DELTA TOWNSHIP BOARD, SHALL CONSTITUTE GROUNDS FOR TERMINATION OF THIS PERMIT BY THE DELTA TOWNSHIP BOARD.

TRUSTEE CASCARILLA SUPPORTED THE MOTION. THE MOTION PASSED 6-0.

11. Salary Schedules and Compensation Adjustments effective January 1, 2025

ACTING SUPERVISOR CLARK MOVED THAT THE DELTA TOWNSHIP BOARD APPROVE ADJUSTING THE CURRENT FULL-TIME SALARY SCHEDULE WAGES BY 3% TO BE EFFECTIVE JANUARY 1, 2025; AND

I FURTHER MOVE THAT THE DELTA TOWNSHIP BOARD APPROVE ADJUSTING THE CURRENT PART-TIME SALARY SCHEDULE WAGES BY 3% TO BE EFFECTIVE JANUARY 1, 2025; AND

I FURTHER MOVE THAT THE DELTA TOWNSHIP BOARD APPROVE ADJUSTING THE ANNUAL COMPENSATION OF BRIAN REED, TOWNSHIP MANAGER, PER THE EMPLOYMENT AGREEMENT EXHIBIT 1, BY 3% TO BE EFFECTIVE JANUARY 1, 2025; AND

TRUSTEE CASCARILLA SUPPORTED THE MOTION. THE MOTION PASSED 6-0.

XVI. MANAGER’S REPORT – Brian Reed, Township Manager

Manager Reed presented his updates to the Township Board:

- Congratulations to all Board members for your re-elections.
- Thank you to the Clerk’s office staff, election workers and Township staff that worked this 2024 General Election and the preceding 4 elections.
- Thank you, Trustee Mojica and other Township staff, for their military service.
- Recipients for the Regional Growth Award for the Lansing Regional Chamber of Commerce: Amazon and Midwest Press. Capital Area Housing Partnerships was also recognized, they are a partner in our CHILL program.
- Community Awards are on Wednesday, November 13, 2024.
- Design work on Colt Elementary Enrichment Center will resume.

MONDAY, NOVEMBER 11, 2024, TOWNSHIP BOARD MINUTES – REGULAR
MEETING CHARTER TOWNSHIP OF DELTA

- The St. Joe project is progressing – The west side of Snow Road there are gaps where some guidewire poles sit, BWL will be out to move those so the pathway can be completed. The watermain is progressing nicely down towards Waverly, they are working though a problem at Snow Road and St. Joe that will be rectified soon, and paving will start going east at that intersection.

XVII. COMMITTEE OF THE WHOLE

12. Saginaw Hwy CIA Update

Peter Menser, Planning and Economic Development Director, gave a presentation to update the Board about the Saginaw Highway Corridor Improvement Authority

13. Anderson Park Hours Conversation

Marcus Kirkpatrick, Parks and Recreation Director, led a discussion about Anderson Park.

XVIII. CLOSED SESSION

XIX. PUBLIC COMMENTS

David Howell, 9487 Guinea Road – Spoke regarding Clerk Mary Clark and how much of an asset she is to the Township.

Ann G. – Spoke regarding Anderson Park, answering questions raised during the Anderson Park discussion.

Wardell Road Resident – Spoke regarding Anderson Park and concern about the plan for trafficking, wetland/grooming rules.

Evan Goodman – Spoke again regarding Anderson Park.

James Lennon – Spoke again regarding Anderson Park.

XX. ADJOURNMENT –

Acting Supervisor Clark adjourned the meeting at 8:31pm.

MONDAY, NOVEMBER 11, 2024, TOWNSHIP BOARD MINUTES – REGULAR
MEETING CHARTER TOWNSHIP OF DELTA

CHARTER TOWNSHIP OF DELTA

MARY R. CLARK, ACTING SUPERVISOR

DENNIS R. FEDEWA, ACTING CLERK



MEMO

TO: Acting Supervisor Mary R. Clark and the Delta Township Board

FROM: Brian Thelen, Deputy Assessing Director

DATE: November 11, 2024

SUBJECT: Set a public hearing for the establishment of the Matrix Commercial Rehabilitation District

The property located at 544 Cherbourg in Delta Township was purchased in November of 2024 by Matrix Re, LLC who is requesting that the Delta Township Board establish a Commercial Rehabilitation District. This District must be established prior to their request for a Commercial Rehabilitating Exemption Certificate.

Matrix Re, LLC provide creative, client-focused mechanical, electrical, and civil engineering services to the private and public sectors. Since 1999, they have prided themselves on innovative design solutions. This new building allows them to bring 2 offices together along with adding 50+ jobs in the next 5 years. Matrix Re, LLC will be renovating the office space right away. Renovations and updates will include new carpet, paint, new window coverings, and updated lighting. They will also make architectural changes including modifying conference rooms/offices, adding walls, and provide updated power sources to fit these changes. Outside the entrance they will clean and update the stone. In addition to the renovations and updates, they plan to do necessary maintenance on the building. This will include repairing the roof and replacing the sprinkler system in the attic and update the Heating and Cooling. The anticipated cost for the renovation is approximately \$1,000,000.

I offer the following motion:

“I move that the Delta Township Board set a public hearing for December 2, 2024, at 6:00 p.m., in meeting Room A of the Delta Township Administration Building, 7710 West Saginaw Highway Lansing, MI, to establish the Matrix Commercial Rehabilitation District pursuant to P.A. 210 of 2005 legally described as:

PART OF LOTS 34, 35, & 36 VERNDALE LAKES SUBDIVISION SEC 14, T4N,R3W, DELTA TWP DESC AS COM AT THE SE COR OF LOT 36; TH S 89D 57M 52S W 185.55 FT TO POB; TH S 89D 57M 52S W 380.26 FT; TO SW COR LOT 35; TH N 0D 26M 47S E 921.43 FT TO NW COR LOT 34; TH SELY 546.81 FT ON A CURVE TO THE LEFT WITH A LONG CHORD BEARING S 29D 47M 41S E 521.77 FT; TH S 60D 2M 8S E 181.96 FT & SELY 30.99 FT ON A CURVE TO THE RIGHT, A DISTANCE OF 30.97 FT CHORD BEARING S 56D 53M 57S E; TH S 43D 43M 0S W 250.98 FT; TH S 45D 3M 19S E 146.44 FT; TH S 0 D 2M 8S E 75.73 FT TO POB; 4.62 AC

I further move, that the Township Clerk give notice of the hearing in accordance with the Michigan Open Meetings Act.”

[Return to Agenda](#)





Assessing Department

(517) 323-8520

MEMO

TO: Acting Supervisor Mary R. Clark and the Delta Township Board

FROM: Brian Thelen, Deputy Assessing Director

DATE: November 11, 2024

SUBJECT: Set a public Hearing for a Commercial Rehabilitation Exemption Certificate Application for Matrix Re, LLC

The property located at 544 Cherbourg in Delta Township was purchased in November of 2024 by Matrix Re, LLC who request that the Delta Township Board consider their application for a Commercial Rehabilitation Exemption Certificate.

Matrix Re, LLC provide creative, client-focused mechanical, electrical, and civil engineering services to the private and public sectors. Since 1999, they have prided themselves on innovative design solutions. This new building allows them to bring 2 offices together along with adding 50+ jobs in the next 5 years. Matrix Re, LLC will be renovating the office space right away. Renovations and updates will include new carpet, paint, new window coverings, and updated lighting. They will also make architectural changes including modifying conference rooms/offices, adding walls, and provide updated power sources to fit these changes. Outside the entrance they will clean and update the stone. In addition to the renovations and updates, they plan to do necessary maintenance on the building. This will include repairing the roof and replacing the sprinkler system in the attic and update the Heating and Cooling. The anticipated cost for the renovation is approximately \$1,000,000.

I offer the following:

“BE IT RESOLVED that a public hearing will be held on December 2, 2024, at 6:00 p.m., in meeting Room “A” of the Delta Township Administration Building, 7710 West Saginaw Highway Lansing, MI 48917, to consider a request from Matrix Re, LLC for a Commercial Rehabilitation Exemption Certificate located in the proposed Matrix Commercial Rehabilitation District pursuant to P.A. 210 of 2005 legally described as:

PART OF LOTS 34, 35, & 36 VERNDALE LAKES SUBDIVISION SEC 14, T4N,R3W, DELTA TWP DESC AS COM AT THE SE COR OF LOT 36; TH S 89D 57M 52S W 185.55 FT TO POB; TH S 89D 57M 52S W 380.26 FT; TO SW COR LOT 35; TH N 0D 26M 47S E 921.43 FT TO NW COR LOT 34; TH SELY 546.81 FT ON A CURVE TO THE LEFT WITH A LONG CHORD BEARING S 29D 47M 41S E 521.77 FT; TH S 60D 2M 8S E 181.96 FT & SELY 30.99 FT ON A CURVE TO THE RIGHT, A DISTANCE OF 30.97 FT CHORD BEARING S 56D 53M 57S E; TH S 43D 43M 0S W 250.98 FT; TH S 45D 3M 19S E 146.44 FT; TH S 0 D 2M 8S E 75.73 FT TO POB; 4.62 AC

BE IT FURTHER RESOLVED that the Township Clerk give notice of the hearing in accordance with the Michigan Open Meetings Act, and

BE IT FINALLY RESOLVED that a copy of the proposed application be placed on file with the Delta Township Clerk available for review.”

[Return to Agenda](#)





To: Mary R. Clark and the Delta Township Board

From: Peter Menser, Planning and Economic Development Director
Hope Wojack, Associate Planner

Date: November 15, 2024

Subject: Rezoning #PSL2024-0004 (Todd Kosta), rezone 0.95 acre parcel at 6020 W. Saginaw Hwy. (Parcel #040-088-005-030-00) from O (Office) to C (Commercial).

Todd Kosta has applied to rezone a 0.95-acre parcel at 6020 W. Saginaw Highway (Parcel #040-088-005-030-00) from O (Office) to C (Commercial). If the rezoning is approved, the applicant has indicated they plan to demolish the existing funeral home that is located on the parcel and then market the vacant land to commercial developers.

The Planning Commission held a public hearing and recommended approval of the rezoning at its meeting on October 28, 2024, citing the following reasons for its decision:

1. The rezoning request meets the criteria specified for rezoning in Section 16.04 of the Delta Township Zoning Ordinance.
2. The subject site meets the minimum standards for lot area and lot width for the proposed C (Commercial) zoning district.
3. The subject site is appropriately located on W. Saginaw Hwy and is adjacent to other commercial land uses.

A staff memorandum outlining the rezoning request is attached for the Board's review, along with minutes from the Planning Commission meeting at which the request was discussed. Staff suggests the following motion for the Township Board to grant approval of the rezoning:

"I move that the Delta Township Board approve the request from Todd Kosta to rezone a 0.95-acre parcel at 6020 W. Saginaw Hwy. (Parcel #040-088-005-030-00) from (O) Office to (C) Commercial as described in Case #PSL2024-0004, for the following reasons:

1. The proposed rezoning request meets the criteria specified for rezoning in Section 16.04 (Criteria for Amendment to the Official Zoning Map) of the Delta Township Zoning Ordinance.
2. The subject site meets the minimum standards for lot area and lot width of the proposed C (Commercial) zoning district.
3. The subject site is appropriately located on W. Saginaw Hwy and is adjacent to other commercial land uses.
4. Public water and sanitary sewer are available to serve the site."

[Return to Agenda](#)





Planning Department

(517) 323-8560

To: Delta Township Planning Commission

From: Peter Menser, Planning & Economic Development Director
Hope Wojack, Associate Planner

Date: October 23, 2024

Subject: Rezoning #PSL2024-0004 (Todd Kosta), rezone 0.95 acre parcel at 6020 W. Saginaw Hwy. (Parcel #040-088-005-030-00) from O (Office) to C (Commercial).

Todd Kosta has applied to rezone a 0.95-acre (41,351 square foot) parcel at 6020 W. Saginaw Highway (Parcel #040-088-005-030-00) from O (Office) to C (Commercial). If the rezoning is approved, the applicant has indicated they plan to demolish the existing funeral home that is located on the parcel and then market the vacant land to commercial developers.

Rezoning Process

The rezoning process typically consists of three public meetings. First, the Planning Commission holds a public hearing on the request and makes a recommendation to the Township Board. Following the public hearing, the Township Board introduces the rezoning at one meeting and then takes final action at a subsequent meeting. Public notices are sent to property owners and occupants of parcels within 300 feet of the property ahead of the public hearing at the Planning Commission, but subsequent meetings are not preceded by mailed notices.

Future Land Use Map

The Future Land Use Map from the 2013 Comprehensive Plan designates the subject property in the (O) Office category. The stated intent of the Office district is to provide for a variety of office uses of a business and professional nature. The stated intent of the Commercial district is to provide for commercial land uses offering convenient shopping and services to residential areas.

Buffer Zones

Rezoning and subsequent redevelopment of the subject parcel would result in the requirement of a buffer zone along the northern property line as detailed in Section 12.02(h) of the Zoning Ordinance. A buffer zone is required between commercial/office districts and residential zoning districts. Future development would be required to provide a Type B buffer zone, which requires a 30 foot wide buffer between the commercial and residential zoning districts. A buffer zone shall contain at minimum a 3 foot high screen comprised of plant material, berm, screen walls and/or fences, or any combination of these elements. Staff is anticipating requiring a significant buffer as a condition of approval for any future development of the site given the close proximity to residential properties.

Zoning

The subject site is in the O (Office) zoning district. The following table compares the zoning standards of the existing Office zoning district with the proposed Commercial zoning district:

Zoning Standard	Office	Commercial
Min. Lot Area	15,000 sq. ft.	15,000 sq. ft.
Min. Lot Width	100 ft.	100 ft.
Max Lot Coverage	40%	40%
Front yard setback	50 ft.	50 ft.
Side yard setback	20 ft.*	20 ft.*
Rear yard setback	20 ft.	20 ft.
Max bldg. height	45 ft**	45 ft**

*Required side and rear setbacks shall be increased to 40 feet whenever a commercial property abuts any residential properties.

**Maximum building height can be increased by one foot for each two feet of additional front, side and rear setback that is provided over and above the minimum required, with a maximum height of 60 feet.

The property currently meets the standards for both the current and the proposed zoning districts. The parcel is 41,351 square feet in size and has approximately 150 feet of road frontage along W. Saginaw Highway. The parcel along the northern property line is zoned RB (Residential Low Density). The parcels along the eastern and southern property lines are zoned C (Commercial). The parcel along the western property line is zoned O (Office).

Permitted Uses

While reviewing the rezoning request the Planning Commission should consider all uses permitted by right and by special land use permit (SLUP) in both the existing Office and proposed Commercial zoning districts. The District Use Table (Table 4.18-B.1.) in the zoning ordinance provides a list showing many common land uses and the zoning district within which they are permitted. All the land uses allowed in Office zoning are also permitted in Commercial zoning, with the exception of places of worship. There are some land uses allowed in Commercial zoning that are not permitted in Office zoning, such as bars, plasma centers, drive-through restaurants, shopping centers, gas stations, and motor vehicle service facilities. Of those uses, only bars and shopping centers are allowed by right, all others are allowed only by approval of a SLUP.

Public Utilities

The existing building is served by municipal water and sanitary sewer. Public utilities will be reviewed in detail by the Engineering Department during the Site Plan Review process for any future development.

Review Criteria

Section 16.04(B) of the Zoning Ordinance provides six “findings” to be considered for a rezoning request. Those provisions are identified as being required for consideration of a rezoning, but not as the only criteria that can be used, which could include any other factors deemed relevant to the request. The findings from Section 16.04(B) are as follows:

1. *Whether the rezoning is consistent with the goals, policies, and uses proposed for the subject parcel in the Township's Comprehensive Plan.*

Staff comment: The property is identified as Office on the Future Land Use Map within the Comprehensive Plan, which does not align with the Comprehensive Plan, however the location along W. Saginaw Highway may be suited for designation as commercial if significant buffering is provided between the adjacent residential properties. One of the goals for the commercial district in the Comprehensive Plan is to encourage redevelopment and ensure that commercial development is compatible with adjacent land uses.

2. *Whether the rezoning is justified by a change in conditions since the original ordinance was adopted or by an error in the original ordinance.*

Staff comment: There have been no significant changes in land use surrounding the subject site since the current zoning ordinance was adopted in 2017. This site has been zoned Office since at least 1974 and was zoned Commercial on the 1970 zoning map.

3. *Whether the subject parcel possesses natural features and environmental characteristics which would be significantly adversely impacted by a development or use allowed by the requested rezoning.*

Staff comment: The property has been developed in its current general layout since 1987. It does not possess any natural features or environmental characteristics that would be adversely impacted by development or redevelopment.

4. *Whether the rezoning complies with the purposes of this ordinance as described in Section 1.02 D.*

Staff comment: Section 1.02 of the zoning ordinance, titled "Authority, Findings, and Purposes" includes subsection D "Purposes." That subsection includes 13 statements that establish the purposes behind the Township adopting zoning regulations and related zoning districts. The 13 purpose statements are as follows:

- A. Promoting and protecting the public health, safety and general welfare.
- B. Protecting the character and stability of the agricultural, recreational, residential, commercial, and industrial areas within Delta Township and promoting the orderly and beneficial development of such areas.
- C. Providing adequate light, air, privacy and convenience of access to property.
- D. Regulating the intensity of use of land and lot areas, and determining the area of open spaces surrounding buildings and structures necessary to provide adequate light and air and to protect the public health.
- E. Lessening and avoiding congestion on public highways and streets.
- F. Promoting adequate and efficient provisions for transportation systems, sewage disposal, water, energy, recreation, and other public service and facility requirements.
- G. Encouraging the use of lands and natural resources in the Township in accordance with their character and adaptability.
- H. Limiting the improper use of land.
- I. Fixing reasonable standards to which buildings and structures shall conform.
- J. Prohibiting uses, buildings or structures which are incompatible with the character of development or the uses, buildings or structures permitted within specified zoning districts.
- K. Protecting against fire, explosion, noxious fumes and odors, heat, dust, smoke, glare, noise, vibration, radioactivity, and other nuisances and hazards in the interest of the public health, safety, and general welfare.

L. Preventing the overcrowding of the land and undue concentration of buildings and structures so far as is possible and appropriate in each zoning district by regulating the use and bulk of buildings in relation to the land surrounding them.

M. Otherwise reduce hazards to life and property.

5. *Whether uses allowed under the proposed rezoning would be equally or better suited to the area than uses allowed under the current zoning.*

Staff comment: The location of the site along W. Saginaw Highway makes it potentially viable for both the existing and proposed zoning districts, depending on market conditions. The proposed Commercial zoning district allows land uses not permitted in Office zoning that could potentially impact the adjacent neighborhoods, but those uses require a SLUP that allows for oversight and the placement of conditions to minimize any impacts.

6. *The ability of the Township or other governmental agencies to provide services, infrastructure and facilities that may be required if the rezoning were approved.*

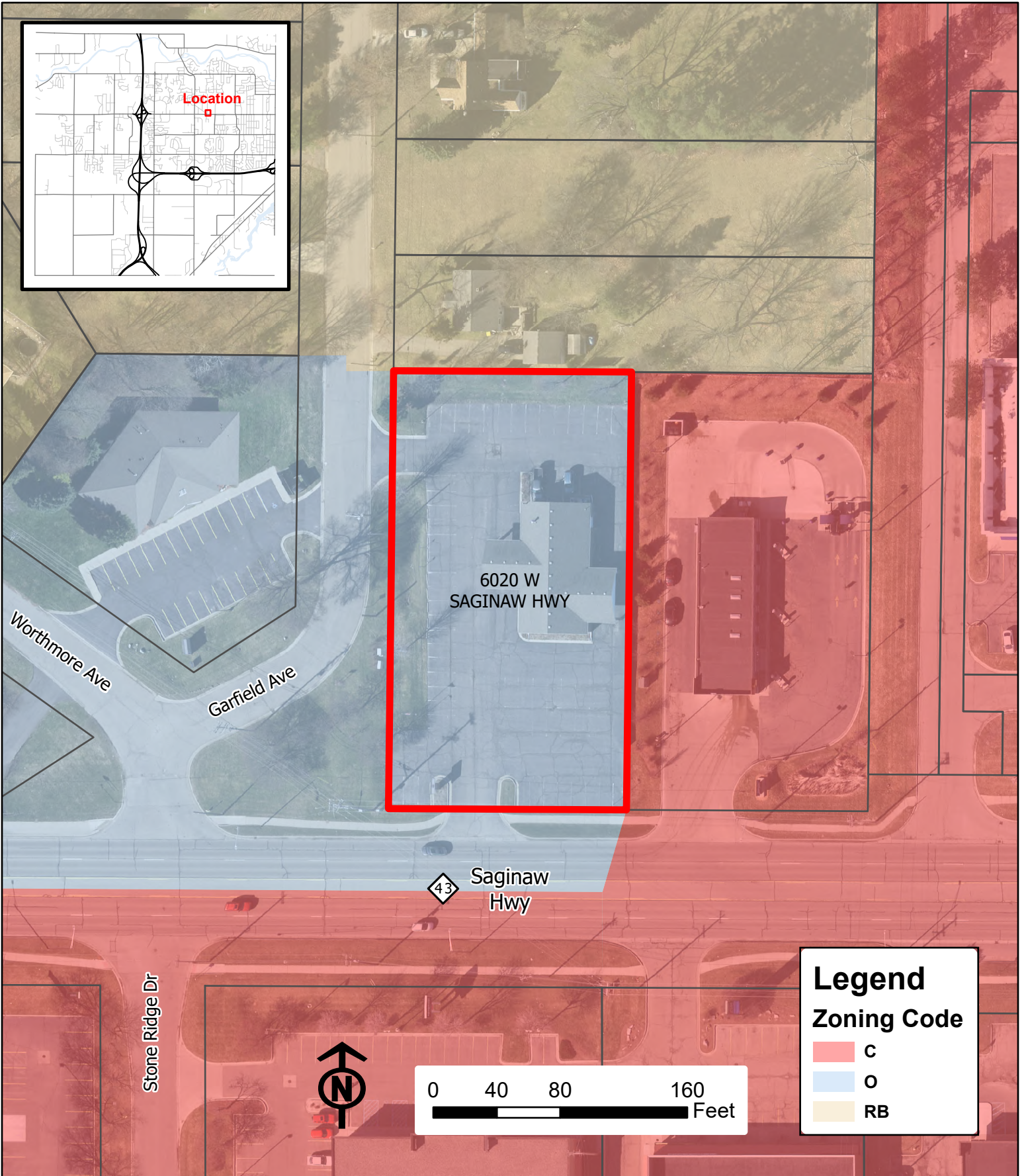
Staff comment: The subject site is located along a commercial corridor that provides convenient access to public services from the Township and other regional service providers.

Planning Commission Options

The Planning Commission may recommend approval or denial of the requested rezoning, or it may recommend a different zoning designation than proposed by the applicant to the Township Board. Staff suggests the following motion to recommend approval of the requested rezoning to C (Commercial):

“I move that the Planning Commission recommend to the Delta Township Board of Trustees approval of the request to rezone 6020 W. Saginaw Hwy (Parcel # 040-088-005-030-00) from O (Office) to C (Commercial) for the following reasons:

- 1. The proposed rezoning request meets the criteria specified for rezoning in Section 16.04 (Criteria for Amendment to the Official Zoning Map) of the Delta Township Zoning Ordinance.**
- 2. The subject site meets the minimum standards for lot area and lot width of the proposed C (Commercial) zoning district.**
- 3. The subject site is appropriately located on W. Saginaw Hwy and is adjacent to other commercial land uses.**
- 4. Public water and sanitary sewer are available to serve the site.**



Legend
Zoning Code

	C
	O
	RB

Delta Charter Township
7710 W. Saginaw Highway
Lansing, MI 48917
517.323.8500



6020 W Saginaw Hwy
Location Map



Rezoning Application

Planning Department

7710 W Saginaw Hwy, Lansing, MI 48917 - www.deltami.gov - 517.323.8560 - planning@deltami.gov

Property/Site Information			
Parcel ID	040-088-005-030-00		
Site Address (if applicable) <i>(Street/City/State/ZIP)</i>	6020 W Saginaw, Lansing, MI 48917		
Current Use(s)	Vacant funeral home	Proposed Use(s)	Commercial
Briefly Describe Project <ul style="list-style-type: none"> • Please include 5 paper copies and 1 digital copy (PDF format) of site plan • Site plan must meet all criteria enumerated in Section 6.02 A.2 	We would like to demolish the existing funeral home and then market the vacant property to sell to a retail or restaurant user.		
Applicant Information			
Company Name	New Entity that we will be forming before we purchase the property.		
Primary Contact Name	Todd Kosta		
Address <i>(Street/City/State/ZIP)</i>	4277 Okemos Rd, Suite 200, Okemos, MI 48864		
Primary Phone	310-633-3001	Alternate Phone	517-679-8633
Email	todd@woodworthcommercial.com		
Legal Interest	<input type="radio"/> Own <input type="radio"/> Lease <input checked="" type="radio"/> Offer to Purchase (copy attached)		
	<input type="radio"/> Contractor/Architect/Attorney/etc (specify): _____		
Do other persons, firms, corporations, or other legal entities have a legal interest in the property? <input checked="" type="radio"/> Yes (list on separate sheet) <input type="radio"/> No			
Owner Information (if different than applicant)			
Owner Name	Susan Jensen		
Company Name <i>(if applicable)</i>	Sanns Delta LLC		
Address <i>(Street/City/State/ZIP)</i>	313 Harpers Way, Lansing, MI 48917-9686		
Primary Phone	517-331-3848	Alternate Phone	517-331-3847
Primary Contact Email	ajensen@palmerbush.com		
Owner's Signature <i>(if not applicant)</i>			
Applicant's Signature			Date 9-26-24

Please indicate whether you grant permission for Township Staff or elected/appointed officials to visit the property.

Yes No

Property Owner Signature

Other parties with a legal interest in property:

Leo Trumble

Trumble Group

leo@trumblegroup.com

cell 527-819-8500

**CHARTER TOWNSHIP OF DELTA PLANNING COMMISSION REGULAR MEETING MINUTES:
OCTOBER 28, 2024**

I. CALL TO ORDER

Chair Hunt-Proctor called the meeting to order at 6:00 P.M.

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

Members Present: Hunt-Proctor, McConnell, Meddaugh, Mudry, Schweitzer

Members Absent: Bradley, Elsinga, Kosinski, Weinfeld

Others Present: Peter Menser, Hope Wojack

IV. APPROVAL OF AGENDA

Motion by Schweitzer, seconded by Meddaugh, that the agenda be approved as submitted.

VOICE VOTE. Carried 5-0.

V. APPROVAL OF MINUTES

- *Minutes of October 14, 2024, Planning Commission Meeting.*

Motion by McConnell, seconded by Mudry, that the minutes for the October 14, 2024 Planning Commission meeting be approved as submitted.

VOICE VOTE. Carried 5-0.

VI. CITIZEN COMMENTS FOR ITEMS NOT ON THE AGENDA – None

VII. CORRESPONDENCE – None

VIII. OLD BUSINESS – None

IX. PUBLIC HEARINGS

- 
- **Case # PRZ2024-0004 (Todd Kosta):** Rezone 0.95 acre parcel at 6020 W. Saginaw Hwy (Parcel # 40-088-005-030-00, from O (Office) to C (Commercial)).

Mrs. Wojack introduced the request and reviewed the staff report. Mrs. Wojack mentioned that the history of the property has been both office and commercial, and that any new development will require a larger buffer between the subject parcel and the adjoining residential properties.

Mr. McConnell asked about permitted land uses by right versus by special land use permit. Mr. Menser clarified that bars and shopping centers would be allowed by right on a commercially zoned property, all others would require a Special Land Use Permit (SLUP).

Motion by McConnell, seconded by Schweitzer, to open the public hearing.

VOICE VOTE. Carried 5-0.

Chair Hunt-Proctor asked if anyone from the public would like to speak.

David Wills, 716 Garfield Ave., Lansing MI 48917: Spoke about his concern for potential noise and traffic into his neighborhood. He also stated that he is concerned how this would affect property values.

Todd Kosta, Investor/Applicant: He spoke about the need for commercial property versus office property, especially along Saginaw Highway which is primarily a commercial corridor. Mr. Kosta stated that he has received multiple inquiries from restaurants, and not much interest or demand for office space or the funeral home for the area.

Mr. McConnell asked what protections there would be for the residential neighbors. Mrs. Wojack responded that a 40 foot building rear setback would be required since the parcel is adjacent to residential. Mr. Menser stated that the landscape buffer within the 40 foot setback could be a mix of plant materials, berming and/or fencing/wall.

Motion by McConnell, seconded by Schweitzer, to close the public hearing.

VOICE VOTE. Carried 5-0.

Motion by Schweitzer, seconded by Mudry:

"I move that the Planning Commission recommend to the Delta Township Board of Trustees approval of the request to rezone 6020 W. Saginaw Hwy (Parcel # 040-088-005-030-00) from O (Office) to C (Commercial) for the following reasons:

1. The proposed rezoning request meets the criteria specified for rezoning in Section 16.04 (Criteria for Amendment to the Official Zoning Map) of the Delta Township Zoning Ordinance.
2. The subject site meets the minimum standards for lot area and lot width of the proposed C (Commercial) zoning district.
3. The subject site is appropriately located on W. Saginaw Hwy and is adjacent to other commercial land uses.
4. Public water and sanitary sewer are available to serve the site.

ROLL CALL VOTE. Carried 5-0.

X. OTHER BUSINESS - None



To: Mary R. Clark, Acting Supervisor/Clerk and the Delta Township Board

From: Marcus Kirkpatrick

Date: November 14, 2024

Re: Anderson Park

Thank you for allowing me to share the history of Anderson Park and the Parks Department's collaboration with the Michigan Mountain Bikers Association (MMMBA) at your November 11 meeting. As a result of the meeting, we have concluded the follow as components that need to be addressed:

1. Update the agreement with MMMBA to clarify roles and responsibilities and processes for use and park improvements. This update will be drafted by administration and the updated agreement will include a legal review. The Parks & Recreation Commission will also review the updates for recommendation to the Township Board for final approval.
2. Review our insurance and risk carrier for any liability for permitting after-hours park use. It has been determined that under government immunity, the township is protected.
3. Review legal documents, including deed and easement documents, to confirm the status of Wardell Road and its boundaries of public versus private access. Continue monitoring traffic and parking implications.
4. Review the Anderson Park deed to verify intent at the time the property was dedicated.
5. Conduct an assessment to determine environmental impact, especially as it relates to any regulated wetlands.
6. Review ordinances related to parks and biking for potential amendments. This will include Sec. 30-5 (Hours) and Sec. 30-16 (biking).
7. Recommendation of permit for extended park hours for Anderson Park.

As this work continues, we are prepared to make a recommendation for a permit to extend hours at Anderson Park. The permit will include a request for the hours to be extended, for all park users, with an operation time of 7:00am – 10:00pm, effective for a 6-month period. This extension will allow further consideration of changes in ordinances. Therefore, I offer the following motion:

I move that the Delta Township Board approve the permit request to set Anderson Park's hours to 7:00am – 10:00pm, effective from November 19, 2024 – April 30, 2025.

[Return to Agenda](#)





Manager's Office

(517) 323-8590

To: Acting Supervisor/Clerk Mary R. Clark and Delta Township Board

From: Erin LaPere, Deputy Township Manager
Peter Menser, Planning & Economic Development Director
Dave Waligora, Assistant Planning Director

Re: Proposed updates to the Township Sign Ordinance

Date: November 18, 2024

The Manager's Office and the Planning & Economic Development Department have been working on updates to the Township's Sign Ordinance. These updates are primarily driven by an effort to continue to respond to the Supreme Court Decision (Reed v Gilbert), which required content neutrality in sign regulations, and the subsequent cases that have further delineated the permissible options that municipalities have available to regulate signage in their communities. Township staff has enlisted the services of our legal team to assist in crafting language that will be likely to stand up to legal scrutiny based on the current case law and court decisions.

A summary of the proposed updates is as follows:

- Modifying, adding, and deleting various terms and language in Definitions to accurately and consistently reflect the terms used in our ordinance, eliminate unnecessary terms, and better define the terms used.
- Minor clarifying updates throughout where language or terms were used inconsistently or interchangeably to make the language clearer to a layperson or sign company.
- Updates to language on how enforcement related costs can be assessed to a property owner.
- Modifications to language on temporary signs to ensure content neutrality in regulation.
 - Elimination of standards based on content, i.e. political signs, events signs, etc must be regulated similarly.
- Rewording language on prohibited signs to clearly include profanity or obscenity (current regulations are focused on adult-content).
- Updates to references to the building code related regulations to account for future updates to such codes.
- General cleanup of any typographical or grammatical/syntax errors.

If there is Board consensus to continue the process, staff will formally introduce the language at the next Township Board meeting scheduled for December 2nd and recommend public notice and adoption at a subsequent meeting.

Staff will be present at the meeting to discuss the proposed updates and answer any questions.

[Return to Agenda](#)



Chapter 32 SIGNS

ARTICLE I. IN GENERAL

Sec. 32-1. Short title.

This chapter shall be known as the "Charter Township of Delta Sign Ordinance."

Sec. 32-2. Purpose.

This article is intended to apply reasonable regulations concerning the use of signs and outdoor advertising structures, in order to achieve the following objectives:

- (1) Prevent excessive visual clutter and degradation of the visual environment in the township, which is likely to occur in the absence of reasonable regulations regarding the use of signs.
- (2) Provide adequate opportunity for various types of land uses to identify their location, the nature of the use and manage the use of signs as a means of communication to the general public.
- (3) To ensure that the size, design, type and placement of signs does not conflict with safe and efficient movement of vehicular traffic in the township.
- (4) To ensure that signs and sign structures are designed, constructed, installed, operated, and maintained so as not to constitute a safety hazard.
- (5) To protect and promote the health, safety and general welfare of the township and its residents.
- (6) To provide opportunities for the public to express freedom of speech while not regulating the message displayed on the sign.
- (7) To encourage signs that will facilitate economic development in the community.
- (8) To enhance the protection of property values.

Sec. 32-3. Authority.

This chapter is enacted pursuant to Act No. 359 of the Public Acts of Michigan of 1947 (MCL 42.1 et seq.), as amended.

Sec. 32-4. Substitution.

Any sign that can be displayed under the provisions of this chapter may contain a non-commercial message.

Sec. 32-5. Validity and severability.

- (a) *Validity.* If any court of competent jurisdiction shall declare any part of this chapter to be invalid, such ruling shall not affect any other provisions of this chapter not specifically included in said ruling.
- (b) *Severability.* If any court of competent jurisdiction shall declare invalid the application of any provision of this chapter to a particular parcel, sign or sign structure, such ruling shall not affect the application of said provision to any other parcel, sign or sign structure not specifically included in said ruling.

Sec. 32-6. Conflict with other laws.

Where any condition imposed by any provision of this chapter upon the use of any parcel, sign, or sign structure is either more restrictive or less restrictive than any comparable condition imposed by any other provision of this chapter or by the provision of any ordinance adopted under any other law, the provision which is more restrictive or which imposes a higher standard or requirement shall govern.

Sec. 32-7. Effective date.

The ordinance, from which this chapter is derived, shall become effective seven days from the date of final publication.

Sec. 32-8. Repeal of prior ordinance.

The Delta Charter Township Sign Ordinance, effective February 21, 2000, and all amendments thereto, and any prior sign ordinance of the township are hereby repealed effective coincident with the effective date of the ordinance, from which this chapter is derived. The repeal of said ordinance shall not have the effect of releasing or relinquishing any penalty, forfeiture or liability incurred under said ordinance, or any part thereof, and such ordinance shall be treated as still remaining in force for the purpose of instituting or sustaining any proper action for the enforcement of such penalty, forfeiture or liability.

ARTICLE II. DEFINITIONS

Sec. 32-9. Definitions.

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

~~*Abandoned sign* means a sign that no longer correctly advertises or directs a person to a bona fide business, person, goods, product, activity or service because of abandonment of use and vacation of property for a period of 12 months or longer.~~

Administrator means an individual or individuals appointed by the township manager charged with administering and enforcing this article.

Air dancer sign means an inflatable sign intended to draw attention by movement of air through the inflated core or similar mannerism and design, also known as a wind sock sign (Figure 1).

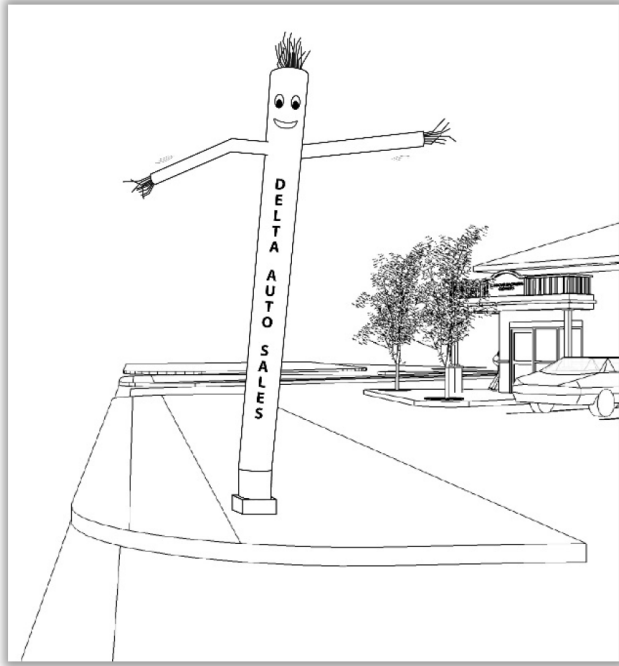


Figure 1 Air Dancer Sign

Awning/~~canopy~~ sign means a sign that is part of or located on a canopy or awning that is attached to and projects from a building wall, also known as a canopy sign-

Banners means:

- (1) The term "banner" means a sign intended to be hung either with or without a frame, possessing characters, letters, illustrations or ornamentations applied to paper, plastic or fabric of any kind (Figure 2).
- (2) The term "banner" does not include national flags, flags of political subdivisions, symbolic flags of any institution or feather signs.



Figure 2 Banner Sign

Bench sign means a sign located on any part of the surface of a bench or seat placed anywhere outside a building.

Billboard sign means a freestanding sign elevated by a single pole or pylons ~~which generally advertises an establishment, service, merchandise, use, entertainment, activity, product or message which is not conducted, sold, produced, manufactured, or furnished upon the parcel or lot on which the sign is located, and additionally shall include those signs as~~ regulated by the state pursuant to Public Act No. 2 of 2014, as amended.

Building means any structure, either temporary or permanent, having a roof supported by columns, walls, or any other supports, which is used for the purpose of housing, sheltering, storing, or enclosing persons, animals, or

personal property, or carrying on business activities. This definition includes mobile homes, tents, sheds, garages, greenhouses, and other accessory structures.

Business center/strip commercial means a single building containing two or more business establishments. Lodging uses with on-premises restaurants shall be included within this definition.

Business complex means a land parcel containing two or more buildings, each containing one or more individual business establishments.

Business establishment means a business operating independently of any other business on the same parcel or in the same building, separated from other businesses by walls, and with one or more doors that provide exclusive ingress and egress to that business.

Commemorative sign means a sign, tablet or plaque commemorating or memorializing a person, event, structure or site.

Commercial means a land use or activity involving the sale of goods and services for financial gain.

Construction sign means a temporary sign related to a current construction activity on an active job site.

Corner locations means those properties with frontage on two or more public streets.

Directional sign, on-premises, means a sign whose primary purpose is to direct the movement or parking of vehicles within the premises. Examples of signs which are included in this definition include directional signs at driveway entries from the public road, signs directing the movement of traffic within a parking area or driveway, signs identifying barrier-free parking spaces, signs identifying rear access doors in a multi-business establishment, signs prohibiting parking in loading areas or signs identifying loading dock names or numbers at a product distribution facility. ~~A sign intended to convey instructions and enhance traffic safety. Examples of instructional signs include design safety signs with directories, and signs providing directions and signs identifying on-site facilities.~~ A ~~non-instructional sign~~ directional sign may include the name of the business and logo.

Display area Sign area means the entire area within a circle, triangle or parallelogram enclosing the extreme limits of writing, lighting, representation, emblem or any figure of similar character, together with any frame or other material forming an integral part of the display or used to differentiate the sign from the background against which it is placed; excluding the necessary base, supports, or uprights on which such sign is placed (Figure 3). Where a sign has two or more faces, the area of all faces shall be included in determining the area of the sign; except that where two such faces are placed back to back and are at no point more than three feet from one another, the area of the sign shall be taken as the area of one face if the two faces are of equal area, or as the area of the larger face if the two faces are of unequal area.

- (1) *Exception 1.* The display area sign area of signs painted directly on building wall surfaces shall be that area within the circle, triangle or parallelogram enclosing the extreme limits of writing, letters or numbers.
- (2) *Exception 2.* The area of an awning/canopy sign shall be measured as provided in the main body of this definition, and the sign shall be treated as if it were a wall sign attached to the same wall to which the awning or canopy is attached, for purposes of determining maximum allowed sign area.

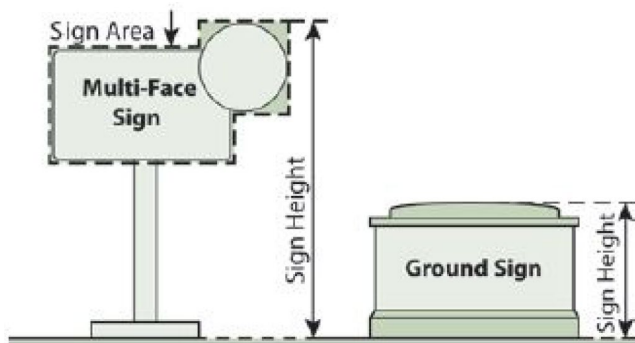


Figure 3 ~~Display Area~~Sign area and Sign Height

Electronic changeable message sign means a sign whose informational content can be changed or altered by means of electronically controlled electronic impulses.

Embedded electronic message device means an accessory device that is ~~made~~ part of a sign, ~~sign face~~, or sign structure with a total area that is less than that of the sign ~~face~~area to which it is attached, and displays only static display numbers, such as time, temperature, gas price information. Embedded electronic message device does not include electronic changeable message sign.

~~*Encroaching sign* means a sign that projects beyond the private property line into and over public right-of-way or a sign that projects beyond a required setback line.~~

Event sign means a temporary sign related to an activity, event, election, or similar use with a limited duration.

Expressway business means a motel, hotel, service station or restaurant that lies 2,000 feet or less from an expressway on-ramp or off-ramp.

Feather sign means a freestanding sign typically constructed of a shaft, driven in the ground or standing with supports, with an attached pennant that is vertically elongated and attached to the shaft (Figure 4). Also known as a feather flag.

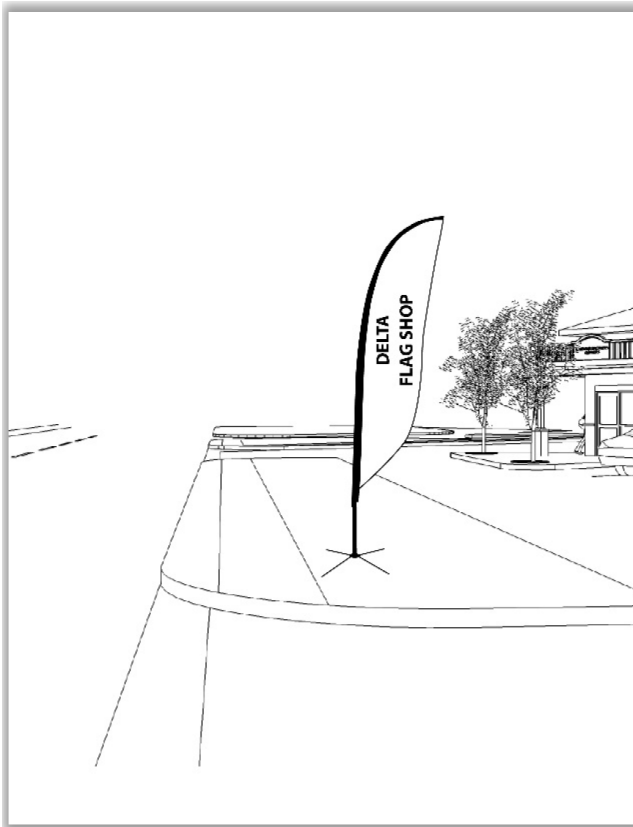


Figure 4 Feather Sign

Fence sign means any type of permanent or temporary sign affixed to a fence or freestanding wall.

Flag, business, means a flag displaying the name, insignia, emblem or logo of a profit-making entity. The term "business flag" does not include feather signs.

Flag, public, means a flag displaying the name, insignia, emblem, or logo of any nation, state, municipality, educational institution, civic/religious/fraternal organization or branch of the U.S. military.

~~Flag, means a sign made of textile or similarly flexible material, typically hung by rivets or openings which allow it to be attached to a pole, building façade, or projection.~~

Freestanding sign means a sign structurally separated from a building, supported by one or more posts or braces or attached directly to the ground or a standard, including but not limited to pole signs, ground signs, monument signs or post-mounted hanging signs.

Footcandle means a ~~measure unit of illumination light intensity~~ on a surface that is ~~one foot from a uniform source of light of one candle and~~ equal to one lumen per square foot.

Frontage means the side of the property facing a ~~public or private street thoroughfare.~~

~~General expression sign means a temporary sign that displays a non-commercial message and is unrelated to a specific event, political message, or the sale or lease of property.~~

~~Grade, average, means the arithmetic average of the lowest and highest grade elevations in an area within five feet of the sign structure.~~

~~Grade, finished, means the lowest point of elevation of finished ground surface between the sign structure and a line five feet of the structure. Where ground surface varies, grade shall be calculated as the average of the lowest and highest grade within five feet of the sign structure.~~

~~Grade, natural, means the elevation of the ground surface in its natural state, before man-made alterations.~~

Ground sign means a freestanding sign ~~that does not exceed 24 inches between the sign area and the grade and~~ that is supported by one or more short uprights, a ~~standard base,~~ or upon the ground (Figure 5).

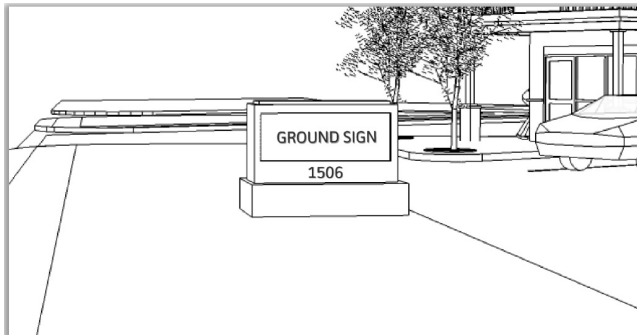


Figure 5 Ground Sign

~~Height Sign height of sign~~ means the maximum vertical distance from the uppermost extremity of a sign or sign support to the ~~average~~ grade at the base of the sign (Figure 3).

~~Home occupation sign~~ means any sign used ~~for the purpose of advertising services~~ in conjunction with a ~~lawful~~ home occupation.

Human directional sign means a person ~~or persons located on premise who is~~ advertising a business or service by holding or wearing a sign or dressed in a costume.

Identification sign means a sign that provides ~~identifying~~ information ~~identifying the premises,~~ with or without the street address.

Industrial park means a grouping of several industrial businesses on contiguous parcels, accessed by the same public or private street and sharing a common location identity.

Inflatable sign means a tethered sign consisting of an envelope inflated with pressurized or heated air, or a lighter-than-air gas, and displayed for the purpose of advertising ~~or attracting attention~~ a business or service.

~~Institutional sign means a sign established by a social, educational, religious, quasi-public or non-profit organization.~~

Logo means an emblem, letter, character, trademark or symbol used to represent any firm, organization, entity or product.

Marquee sign means a sign placed on a marquee over an entrance to a theater, museum, art gallery, hotel, motel, convention center or hall, exhibition hall or other similar use, that includes changeable copy that relates to the principal use on the premises and does not project horizontally beyond the marquee (Figure 6).



Figure 6 Marquee Sign

Menu board means a sign board on which a menu of food or services are posted or advertised for drive-in or drive-through businesses.

Mural means a painting or other work of art executed directly on a wall.

~~Nonconforming sign means any sign that does not conform to the requirements of this chapter.~~

Obsolete sign means ~~Obsolete signs are those a sign on a vacant, unoccupied premises or premises with a discontinued use that has been discontinued for 90 days, a sign that no longer correctly advertises or directs a person to a bona fide business, person, goods, product, activity or service.~~

Off-premises sign means a sign that advertises a business, product, service, event, person or subject that is not sold, produced, manufactured or furnished at the property on which ~~said the~~ sign is located. Off-premises sign shall not include permitted billboard or Unified Business District sign(s).

~~On-premises product display means an area on a property created to aesthetically display a manufacturer's product for advertisement or similar purpose.~~

~~On-premises sign means a sign that advertises a business, product, service, event, person or subject which is located on the same premises as the business, product, service, event, person or subject being advertised.~~

Pole sign means a sign having a sign face that is elevated a minimum of seven feet above the ground by one or more uprights, pylons or poles (Figure 7).

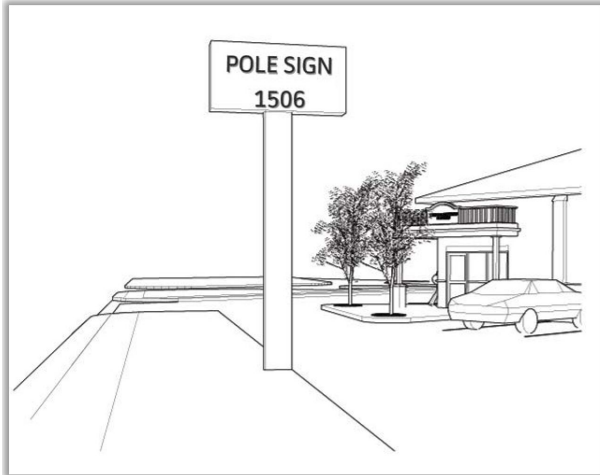


Figure 7 Pole Sign

~~*Political sign* means a sign supporting or opposing a candidate, proposition or other measure at an election or a sign exhibiting free expression or an ideological opinion.~~

Portable sign means a sign intended to be easily moved which is not attached to a building, structure, or the ground. Portable signs shall include, but are not limited to, trailer mounted signs, A-frame signs, sandwich board signs, etc. not including signs on a motor vehicle (Figure 8).

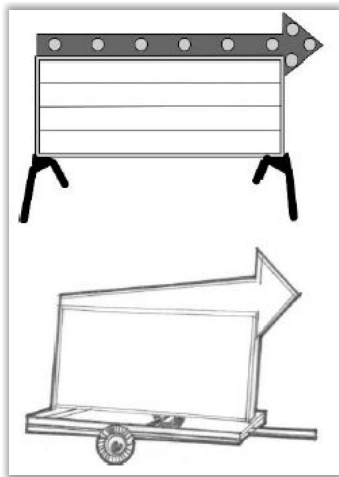


Figure 8 Portable Signs

Projecting sign means a sign attached to and projecting perpendicularly from a building wall, excluding awning/canopy signs, as defined herein. One face only shall be used for computation of the display area sign area of a projecting sign (Figure 9).

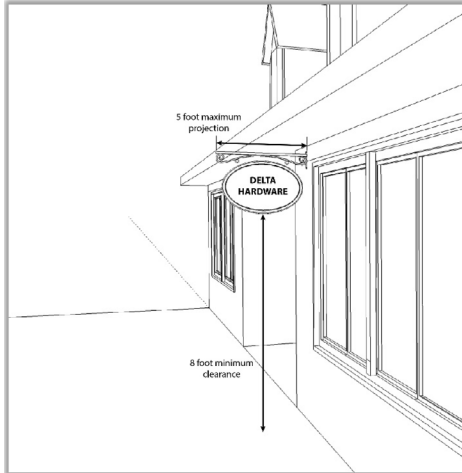


Figure 9 Projecting Sign

Real estate sign means a sign announcing or advertising the availability of an improved or unimproved lot, parcel or building, or portion thereof, for sale, lease or rent.

Residential gateway means the intersection that serves as an entrance to a platted subdivision.

Roof sign means a sign that is erected, constructed and maintained upon or above the roof of a building, or parapet wall and that is wholly or partially supported by such building.

Sandwich board sign means a temporary sign structure placed on the ground that consists of two back-to-back sign faces that are hinged together at the top and separated at the base a sufficient distance to solidly support the structure in an upright position (Figure 10).



Figure 10 Sandwich Board Sign

Searchlight means a powerful outdoor electric light with a concentrated beam that can be turned in the required direction.

Semi-nudity means a state of dress in which opaque clothing fails to cover the genitals, anus, anal cleft or cleavage, pubic area, vulva, or nipple and areola of the female breast.

Setback, required, means the minimum required horizontal separation distance between a public or private road right-of-way or property line, to any part of a sign, including any aboveground portions of a sign that project beyond the point of attachment of the sign to the ground (Figures 11—12).

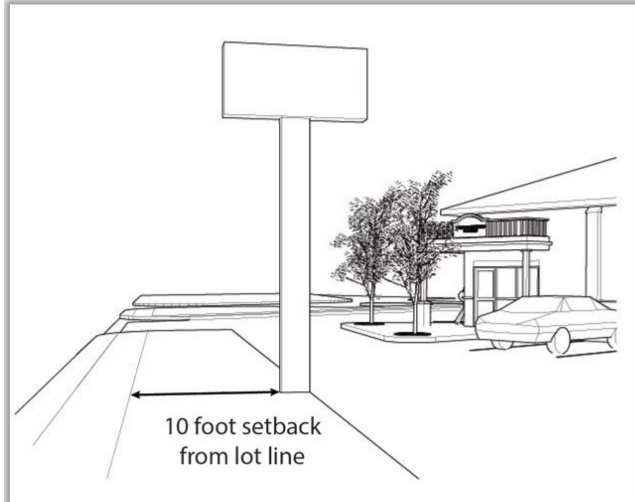


Figure 11 Setback, Required—Pole Sign

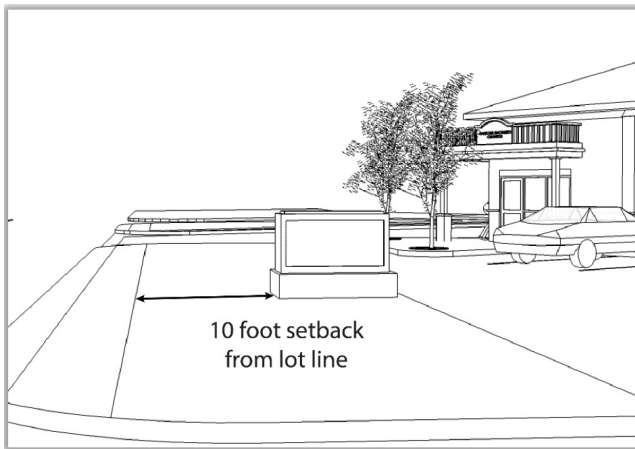


Figure 12 Setback, Required—Ground Sign

Signs means and includes every individual announcement, declaration, demonstration, display, illustration, insignia, surface or space when erected or maintained out of doors in view of the general public for identification, advertisement or promotion of the interests of any person. This definition shall include billboard signs and signs painted directly on walls of structures.

Specified anatomical area means less than completely and opaquely covered human genitals, pubic region, buttocks, or female breasts below a point immediately above the top of the areola; or human male genitals in a discernibly turgid state, even if covered.

Specified sexual activity means the fondling or other erotic touching of covered or uncovered human genitals, pubic region, buttocks, or female breast.

~~*Standard* means the base of a ground or monument sign (Figure 5).~~

Structure means anything constructed or erected, the use of which requires a more or less permanent location on the ground or attachment to something having a permanent location on the ground.

Supports and *uprights* mean those members constructed of wood or metal posts or pylons, masonry, concrete or other similar materials necessary for the structural support of a pole sign.

Temporary sign means a sign constructed for and intended to be displayed for a limited period of time (Figure 13).

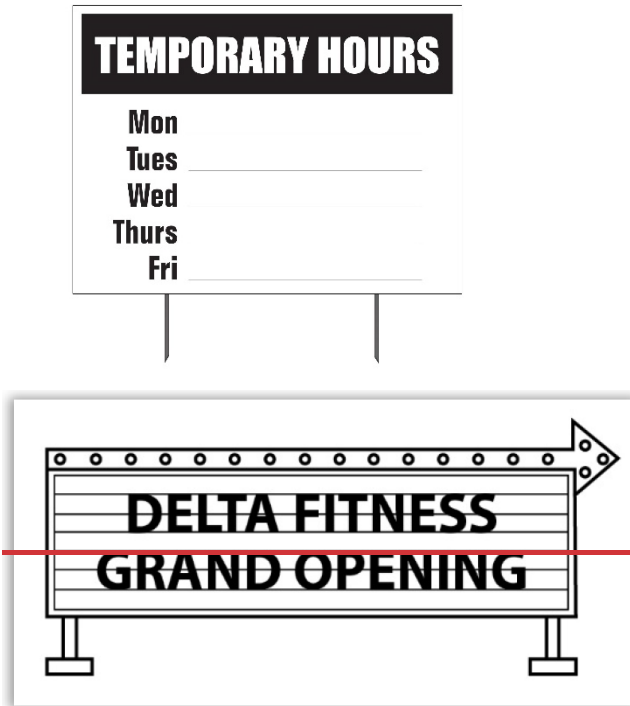


Figure 13 Temporary Sign

Unified business ~~development district~~ means a commercial development planned as a coordinated project in accordance with an approved signage plan.

Unified business district sign means a ground sign that identifies the unified business district.

Uppermost building line means the uppermost horizontal line of a building formed by a roof, wall or parapet wall.

Wall sign means a sign that is attached directly to a wall, mansard roof, roof overhang, parapet wall, or above a marquee of a building with the exposed face of the sign in a plane parallel to the building wall or to the surface on which it is mounted, not projecting more than 12 inches from the wall, and which does not have any part of such sign or sign supports extending above the uppermost building line not including chimneys, flagpoles, electrical or mechanical equipment, TV antennas or any other similar equipment or extensions. This definition shall include writing, letters or numbers placed or painted directly on a building wall surface.

Window sign means a sign attached to the inside or outside surface of a window on a building wall or door, or placed within six inches of the inside face of a window and intended to be viewed from outside the building.

~~Wayfinding~~Wayfinding sign means a sign for a publicly or privately owned ~~activity or attraction site or attraction~~ that is nationally or regionally known, that is of outstanding interest to the traveling public, installed in accordance with MDOT standards, and that is one of the following:

- (1) A natural phenomenon,
- (2) A scenic attraction,
- (3) A historic, educational, cultural, scientific, or religious site,
- (4) An outdoor recreational area.

ARTICLE III. ADMINISTRATION AND ENFORCEMENT

Sec. 32-10. Administrator.

This chapter shall be administered by an individual or individuals appointed by the township manager, or designee, who shall have the authority to issue sign permits and enforce this chapter. This individual will be referred to as the administrator in this chapter.

Sec. 32-11. Sign permits.

- (a) *Sign permit required.* No person shall erect, replace, apply, structurally alter or add to any sign without first obtaining a permit, unless exempt by this ~~chapter~~ordinance.
- (b) *Application procedure.* Application for a permit to erect, replace, apply, structurally alter or add to a sign shall be made to the administrator, by submission of the required forms, fees, exhibits and information by the owner of the property on which the sign is to be located, or by his agent or lessee. The application shall contain the following information:
- (1) The property owner's name, address and signature.
 - (2) The applicant's name, address and signature.
 - (3) The address, including applicable suite or unit number, ~~and permanent parcel number~~ of the property on which the sign is or will be located.
 - (4) The identification of the type of sign (ground, pole, temporary, wall) and method of illumination (internal, external, ECM).
 - (5) The name of business or name of premises to which the sign belongs or relates.
 - (6) Plans drawn to an accurate, common scale, depicting the following:
 - a. The dimensions, ~~display area~~sign area and a scaled drawing of the proposed sign, in accordance with section 32-25(c).
 - b. For ground signs and pole signs, a site plan drawn to scale, accurately identifying the location of the proposed sign and setbacks from the nearest public or private road right-of-way and property line. If there are proposed grade changes, such as adding a berm, this shall be noted on the site plan.
 - c. For ground signs and pole signs, the height of the sign.
 - d. For wall signs, the height and width of the building wall or tenant-controlled portion of building wall to which the sign will be attached.
 - e. For ECM signs, the interval of the message changes and ~~display area~~sign area.
 - f. The luminance of externally illuminated signs at the sign face and the source of illumination for internally illuminated signs, measured in foot candles.
- (c) *Scope.* Sign permits issued on the basis of plans and other information submitted as part of the permit application authorize only the design and construction set forth and described in the permit application, and no other design or construction.

- (d) *Conformity with plans required.* The administrator shall not approve plans or issue sign permits for any sign that does not conform to the provisions of this chapter.
- (e) *Records maintained.* The administrator shall maintain a record of all sign permits issued, and such record shall be open for public inspection.
- (f) *Permit fees.* An application for a sign permit shall be accompanied by payment of a fee, in an amount established by resolution of the township board.
- (g) *Permit not required for sign maintenance and change of message.*
 - (1) *Maintenance.* Painting, repainting, cleaning, maintenance, repair and change of sign message or graphics shall not be considered erection or alteration of a sign that requires issuance of a sign permit, provided that no structural alterations or additions to the ~~display area~~sign area are made. Further, signs refaced with a covering, including, but not limited to, banners and/or coverings made of fabric or other material, shall be considered temporary and permitted for a duration of only 60 days, after which the covering shall be replaced with a permanent sign face.
 - (2) *Re-lettering and rewording changeable copy.* The changing of ~~advertising~~ copy or message, either electronically or manually, on an approved-existing, permitted sign, such as a theater marquee, ~~institutional~~ bulletin board and similar ~~approved~~ signs which are specifically designed for use of changeable copy.

Sec. 32-12. Violations and penalties.

- (a) *Compliance.* Failure to comply with the provisions of this chapter shall constitute a violation of this chapter and shall be punishable as a municipal civil infraction as prescribed in section 1-7.
- (b) *Enforcement.* This chapter shall be enforced by the administrator, who is hereby designated as the authorized township official to issue municipal civil infraction citations, directing alleged violators to appear in court, or issue municipal civil infraction violation notices, directing alleged violators to appear at the township municipal violations bureau as provided by this Code.

Sec. 32-13. Nonconforming signs.

- (a) *Intent.* It is the intent of this chapter to permit the continuance of legal nonconforming signs until they are removed or destroyed and to encourage overall compliance with this chapter.
- (b) ~~Legal n~~Nonconforming signs. Existing signs that were lawfully established in conformance with all applicable regulations in effect prior to the effective date of the ordinance from which this chapter is derived shall be permitted to remain, although such sign may not conform to the provisions of this chapter.
- (c) ~~Illegal n~~nonconforming signs. Signs installed without a sign permit shall be considered an illegal ~~nonconforming~~ sign and shall be either removed or made to conform to this chapter and a permit obtained. Nothing in this code shall be construed to give a ~~n~~ nonconforming status to any sign erected without a sign permit.
- (d) *Change and compliance.* Nonconforming signs shall not be structurally changed, altered or enlarged unless such change, alteration or enlargement diminishes the nonconformity or complies with the requirements of this Code.
- (e) *Normal maintenance.* ~~Legal n~~Nonconforming signs may be painted, cleaned, maintained, repaired and messages, graphics and face changes may be permitted if compliant with this code.
- (f) *Relocation.* Nonconforming signs shall not be moved completely or in part to another location unless the sign installed at the new location conforms to this chapter.

- (g) *Rebuilding after damage.* Any nonconforming sign, sign structure, frame or standard destroyed by any means shall not be restored or rebuilt if the damage exceeds 50 percent of present day replacement value considering a sign of equal and similar size, materials, construction and quality. The sign owner shall provide two estimates acceptable to the administrator for an official determination concerning restoration and repair eligibility.

Sec. 32-14. Inspections, removal, maintenance and safety.

- (a) *Inspection.* Signs for which a permit is required may be inspected periodically by the administrator for compliance with this chapter and other township codes.
- (b) *Removal of signs.*
 - (1) The administrator may order the removal of any sign erected or maintained in violation of this chapter. The costs incurred for sign removal shall be assessed to the owner on the property tax roll. The cost of removal shall include any and all incidental expenses incurred by the Township in connection with the sign's removal.
 - a. The owner of a permanent sign for which a permit has been granted but does not conform to this chapter shall be given 30 days written notice to remove the sign or to bring it into compliance. If not removed by the owner or brought into compliance, the sign shall be removed by the township. Permanent signs not redeemed within 30 days of their removal may be disposed of in any manner deemed appropriate by the township.
 - b. The owner of permanent signs which are erected without a permit shall be given 14 days written notice to remove the signs or bring them into compliance. If not removed by the owner or brought into compliance, the sign shall be removed and impounded by the administrator or his/her designee. Permanent signs impounded by the township may be disposed of if not claimed and removed from the place of impoundment within 14 calendar days of the impoundment.
 - c. The administrator may remove an unpermitted temporary or portable sign immediately and without notice. Any sign removed by the administrator and/or designee, pursuant to the provisions of this section shall be held by the township for redemption by the owner. To redeem, the owner shall pay all costs incurred by the township for removal. Temporary signs not redeemed within 14 days of their removal may be disposed of in any manner deemed appropriate by the township.
 - d. The administrator may remove a permitted but nonconforming temporary or portable sign immediately and without notice. Any sign removed by the administrator and/or designee, pursuant to the provisions of this section shall be held by the township for redemption by the owner. To redeem, the owner shall pay all costs incurred by the township for removal. Temporary signs not redeemed within 14 days of their removal may be disposed of in any manner deemed appropriate by the township.
 - e. Any signs located within the road right-of-way may be removed by the administrator without warning.
 - (2) Signs that are no longer functional or are in disrepair for more than 60 days shall be removed, at the expense of the property owner, within 30 days following notice of non-compliance. The property owner shall be notified by U.S. mail. If the sign is not removed within 30 days, the administrator shall cause the sign to be removed and assess the cost of removal against the property.
 - (3) Upon demolition of buildings on commercial and office zoned properties, all non-conforming ~~pole~~-signs associated with the property and structure shall be removed. The sign removal shall include all components of the sign, including but not limited to the sign display-areaareas and the sign base, foundation, uprights, pylons, or poles. Non-conforming ~~pole~~-signs associated with structures

demolished prior to the effective date of the ordinance, from which this chapter is derived, shall be removed within 12 months of the effective date of the ordinance, from which this chapter is derived.

- (4) Pole signs associated with commercial and office structures and sites that have been completely abandoned for more than 12 months shall be removed. Failure to remove a pole sign within 12 months of abandoning a property shall constitute a violation of this chapter. Pole signs determined by the administrator to be abandoned on the effective date of the ordinance, from which this chapter is derived, shall be removed within 12 months. The sign removal shall include all sign ~~display areas~~ sign areas and the sign uprights, pylons or poles.
- (c) *Obsolete signs.* ~~Obsolete signs are those on vacant, unoccupied premises or discontinued use.~~ These signs shall be subject to the following:
 - (1) *Full removal.* The owner of a vacant or unoccupied property shall remove all graphics, text copy or other business or premises identification from the subject sign.
 - (2) *Panel removal.* In the event the sign is an internally illuminated sign or any sign with removable graphic display panels, the panels containing the sign graphic or message shall be removed and replaced by a blank and opaque panel containing no graphic or message.
 - (3) *Violation after notice.* Failure to remove the sign message from a vacant or unoccupied property within 45 days of official notice shall constitute a violation of this chapter.

Sec. 32-15. Discontinued or new zoning districts.

If any zoning district is discontinued in the zoning ordinance or if a new zoning district is created after the enactment of this chapter, signs in the affected areas shall be reviewed against the sign standards for the most restrictive ~~residential or commercial~~ zoning district, as applicable, until the sign code is amended.

(Ord. of 6-15-2015(1))

ARTICLE IV. SIGN BOARD OF APPEALS

Sec. 32-16. Established.

A township sign board of appeals is hereby established.

Sec. 32-17. Membership.

- (a) *Membership.* The township sign board of appeals shall consist of the seven members of the Township Zoning Board of Appeals; ~~a member of the township planning commission appointed by the planning commission, a member of the township board appointed by the township board, with terms of service concurrent with service on the planning commission and on the township board, and five additional members appointed by the township board from among electors residing within the township.~~
- (b) *Term limits.* Terms ~~not exceeding three years, shall be concurrent with the Zoning Board of Appeals appointment.~~
- (c) *Alternates.* The township zoning board of appeals alternates shall serve as the two alternate members for ~~the may appoint not more than two alternate members for the same term as regular members to the their term on the zoning sign~~ board of appeals. An alternate member may serve as a regular member ~~of the sign board of appeals in the absence of a regular member~~ if the regular member is absent from or will be unable to attend two or more consecutive meetings ~~of the sign board of appeals~~ or is absent from or will be unable to attend meetings for a period of more than 30 consecutive days. An alternate member may also be called upon to serve as a regular member for the purpose of reaching a decision on a case in which the regular

member has abstained for reasons of conflict of interest. The alternate member appointed shall serve in the case until a final decision is made. The alternate member has the same voting rights as a regular member ~~of the sign board of appeals~~. The alternate member shall serve at the call of the chairperson ~~of the sign board of appeals~~.

Sec. 32-18. Authority.

- (a) *Administrative appeals.* Any person allegedly aggrieved by a decision of the administrator relative to the placement, area, height and construction of a sign may appeal such decision to the sign board of appeals.
- (b) *Variations.* The sign board of appeals shall have the authority to grant variances from the provisions of this chapter whenever the strict application of requirements may pose demonstrable hardship or practical difficulty with regard to placement, area, height and construction of a sign. An appeal for variance from such requirements shall be filed with the administrator on a form provided for such purpose.
- (c) *Limitations of power.*
 - (1) The sign board of appeals shall not take any action that results, in effect, in a legislative change to the terms of this chapter.
 - (2) The sign board of appeals shall not have the authority to add to the types of signs permitted on any premises.

Sec. 32-19. General procedures.

- (a) *Form and fee.* Any person filing an appeal with the township sign board of appeals shall fill out the necessary appeal form provided by the administrator and shall pay a filing fee, as established by resolution of the township board.
- (b) *Agenda.* The administrator shall place an appeal request on a regular meeting agenda of the sign board of appeals within 45 days of filing.
- (c) *Public notice.* The administrator shall give due notice of all hearings to all owners of record of real property within 300 feet of the premises in question; such notice shall be delivered by first class mail addressed to the respective owners at the address given in the last assessment roll.
- (d) *Representation.* All persons appealing shall be required to appear ~~in person~~ or to be represented by a duly authorized agent to speak on behalf of their request and furnish supporting information and evidence as applicable.
- ~~(e) *Decision.* Within 90 days of filing, the sign board of appeals shall render a final decision in accordance with the provisions of this chapter.~~
- (f) *Effective date.* Decisions of the sign board of appeals shall become effective following the chairperson's certification of the board's decision.
- (g) *Stays.* The filing of an appeal shall stay all proceedings in furtherance of the action appealed from unless the administrator certifies to the sign board of appeals, after the appeal has been filed with him/her, that by reason of the facts stated in the certificate, an emergency exists, in which case the proceedings shall not be stayed, except by restraining order or by circuit court, following a timely notice to the administrator.

Sec. 32-20. Administrative appeal.

- (a) *Appeals.* The sign board of appeals shall have the authority to render a decision pertaining to applications for administrative appeals and interpretations filed as hereinafter provided:

- (1) Where it is alleged by the appellant that there is an error in any order, requirement, permit, interpretation, decision or refusal made by the administrator or any other township official, body, or agency in enforcing the provisions of this chapter.
 - (2) The sign board of appeals may reverse or affirm, wholly or in part, or may modify the order, requirement, permit, interpretation, decision or refusal as in its opinion ought to be done, and to that end shall have all the powers of the administrative official from whom the appeal was taken.
- (b) *Interpretations.* The administrator shall have the authority to request interpretations of the provisions of this chapter from the sign board of appeals.

Sec. 32-21. Variances.

- (a) *Criteria for Variances.* A variance shall not be granted unless the sign board of appeals determines that each of the following criteria and/or standards have been affirmatively satisfied:
- (1) Where there are practical difficulties or unnecessary hardships that will exist if the variance is not granted. The appellant must demonstrate that the alleged practical difficulty or unnecessary hardship, or both, are exceptional and peculiar to the appellant's situation and result from conditions that do not generally exist throughout the township.
 - (2) The fact that other larger signs constructed under prior sign ordinances exist in the area shall not be sufficient reason to declare practical difficulty or unnecessary hardship.
 - (3) The sign board of appeals shall not grant a variance if it is determined that the practical difficulty or unnecessary hardship is self-created.
 - (4) The terms "practical difficulties" and "unnecessary hardships" shall relate to the use of a particular parcel of land. Practical difficulty or unnecessary hardship shall not be deemed solely economic, as in relating to the cost of the sign, the size of the sign, or to the fact that the sign has already been constructed. The fact that the sign is only available in a standardized size and/or material (example: franchised business signs) shall not constitute a practical difficulty or unnecessary hardship.
 - (5) The practical difficulty or unnecessary hardship that is alleged to result from a failure to grant the variance, must include substantially more than mere inconvenience or the mere inability to attain a higher financial return.
 - (6) It must be demonstrated by the appellant that granting the variance will result in substantial justice being done, while consideration is given to the impacts on the public health, safety and welfare.
 - (7) The granting of the variance shall not impose a negative impact on the rights of others.
- (b) *Conditions.* In granting any variance, the sign board of appeals may prescribe appropriate conditions which meet the purpose of this chapter and are related to, and ~~insure~~ensure compliance with, the standards herein.

Sec. 32-22. Action.

- (a) *Concurrent vote.* The concurring vote of a majority of the members of the sign board of appeals appointed and serving shall be necessary to:
- (1) Revise any order, requirement, decision, interpretation or determination of the administrator or any other township official or agency; or
 - (2) Decide in favor of the applicant any matter upon which they are required to pass or to affect any variance of this chapter.
- (b) *Findings of fact.*

- (1) *Appeal.* The sign board of appeals shall prepare an official record for all appeals and shall base its decision on this record.
- (2) *Variance.* The official record for each variance must record a finding of fact for each ~~criteria~~critereion and/or standard in section 32-21(a).
- (c) *Official Record.* The sign board of appeals shall prepare an official record for each appeal and shall base its decision on this record. The official record shall include:
 - (1) The relevant administrative records and administrative orders issued herein relating to the appeal.
 - (2) The appeal form.
 - (3) The requisite written findings of fact, the conditions attached, the decisions and orders by the sign board of appeals in disposing of the appeal, signed by the chairman of the board.

Sec. 32-23. Review by circuit court.

Any party aggrieved by a final decision of the board of appeals may obtain a review thereof both on the facts and the law, in county circuit court.

ARTICLE V. SIGN REGULATIONS

Sec. 32-24. Generally.

The regulations in this article shall govern the type, use, size, height and number of signs permitted on any parcel of land in the township, based on the zoning district designation of the subject property, as shown on the official zoning map of the township, as amended, adopted as part of the township zoning ordinance, as amended.

(Ord. of 6-15-2015(1))

Sec. 32-25. General requirements.

- (a) *Permitted signs.* No sign may be erected unless it is expressly authorized by this chapter.
- (b) *Clear vision area.*
 - (1) No sign shall be erected or maintained in such a way as to obstruct vision between a height of three and ten feet within the triangular area formed by the intersection of the street right-of-way lines and a line connecting two points which are located on those intersecting right-of-way lines 30 feet from the point of the intersection of the right of way lines (Figure 14).



Figure 14 Street Intersection Clear Vision Area

- (2) No sign shall be erected or maintained in such a way as to obstruct vision between a height of three and ten feet within the triangular area formed by the intersection of a street right-of-way line and a paved/unpaved driveway and a line connecting two points which are located on the right-of-way line and the paved/unpaved driveway 20 feet from the point of intersection of the right-of-way line and paved/unpaved driveway (Figure 15).

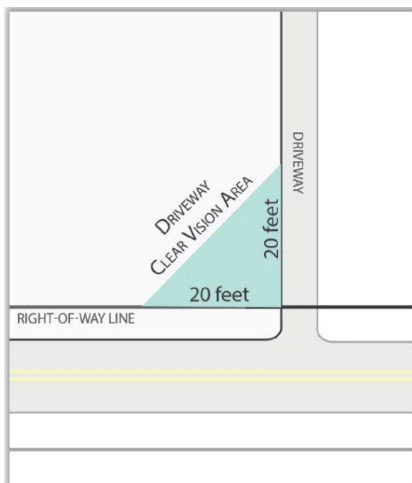


Figure 15 Driveway Clear Vision Area

- (3) The three foot height limit shall be measured from the lowest elevation of the segment of the intersecting road and driveway's centerlines that lies between the point of the intersection of the centerlines and the extension of the line drawn through the points 20 feet from the intersection of the right-of-way line and driveway.
- (c) *Sign measurement.* No sign shall exceed the maximum sign area allowed for the district in which it is located. The sign area is to be expressed in square feet, computed to the nearest tenth of a square foot, and shall be calculated as follows:

- (1) *Area.* The area of a sign shall be measured as the area within a single, continuous perimeter composed of any straight line geometric figure which encloses the extreme limits of writing, representation, emblem, logo or any other figure of similar character, together with any frame or other material or color forming an integral part of the display or used to differentiate the sign from the background against which it is placed, excluding only the structure necessary to support the sign (Figure 16).

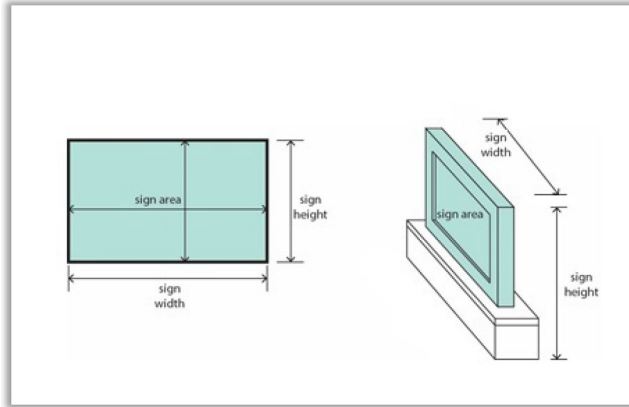


Figure 16 Sign Area Measurement

- (2) *Double-faced sign.* The area of a ground or projecting sign that has two or more faces shall be measured by including the area of all sign faces, except if two faces are placed back-to-back and are no more than two feet apart at any point, the area of one face shall be counted toward the maximum size requirement. If the two back-to-back faces are of unequal size, the larger of the two sign faces shall be counted as the one face.
- (3) *Wall sign.* For a sign consisting of individual letters and/or a logo affixed directly onto a building, the area of the sign shall be computed by measuring the area of the envelope required to enclose the lettering and logo.
- (4) *Business centers/strip commercial.* For buildings with multiple tenants, the sign area for wall, projecting, canopy or awning signs shall be determined by taking that portion of the front wall of the building applicable to each tenant and computing the sign requirements for that portion of the total wall (Figure 17).

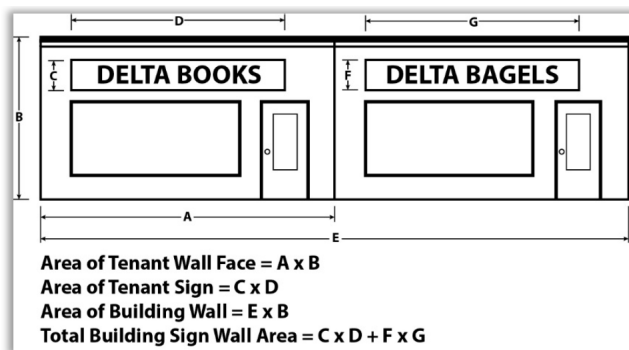


Figure 17 Wall Sign Measurement

- (d) ~~Design. Properties that contain multiple freestanding signs shall incorporate a common design theme among sign structures to maintain a unified character. Freestanding sign structures shall have similar construction, color, design and quality.~~

- (e) *Embedded electronic message devices.* These devices are permitted on all types of signs including pole signs. ~~Fuel price~~ Embedded electronic signs, e.g. fuel prices, time, temperature, shall not exceed eight square feet in area. The embedded electronic message area shall not be counted in determining compliance with the maximum permitted sign ~~display area~~ area.

Sec. 32-26. Exemptions.

Signs. The following signs are exempt from ~~the~~ permit requirements, provided, all other applicable requirements of this chapter are met:

- (1) Barber poles provided that bottoms of barber poles shall be attached to the building wall and must be at least eight feet from the ground or sidewalk, but the top must be lower than the height of the building. Barber poles must not extend more than 12 inches from the exterior face of the wall to which it is attached.
- (2) ~~Incidental Temporary~~ signs, no greater than two square feet in area, such as a prohibition on hunting or trespassing.
- (3) ~~C~~Construction signs, not exceeding 32 square feet shall be permitted. The sign shall be set back a minimum of 15 feet from any right-of-way line. The sign may be erected when a building permit is issued for construction and shall be removed within 30 days following issuance of a certificate of occupancy for the building or project to which the sign relates. Construction signs must abide by section 32-28 in compliance with standards of Section 32-33
- (4) Public art or murals not containing any words, logos, products or service representations.
- (5) Interior signs located completely within an enclosed building and not visible from outside the building or which are primarily directed at persons within the premises upon which the sign is located.
- (6) Historical markers, including plaques or signs describing a property's designation as a historical site or structure, not exceeding 20 square feet in area; provided, an officially designated state or federal historical marker shall not be subject to a size limitation.
- (7) Integral signs, such as names of building, date of erection, monumental citations, commemorative tablets and the like when carved into stone, concrete or similar material or made of bronze, aluminum, or other permanent type construction and made an integral part of the structure.
- (8) Window signs, provided that the maximum size of any window sign shall not exceed 25 percent of the area of the window on which it is displayed. Painted messages, text, graphics, posters, balloons, paper advertisements and similar items affixed to the window shall constitute a window sign.
- (9) Any identification, address, or for sale sign affixed to a wall, mailbox, post, lamppost or pillar, and that is no larger than two square feet in display surface. Address signs provided that numeral height no greater than six inches for ~~residences-residential uses~~ and 18 inches for ~~businesses and other~~ nonresidential uses. ~~Anything larger will count toward the total permitted display area.~~
- (10) Traffic control or other municipal signs such as, but not limited to, directional signs placed in rights-of-way, legal notices, railroad crossing signs, danger, accessible parking, fire lane and other temporary emergency signs that conform to the requirements of the manual of uniform traffic control devices.
- (11) Public flags.
- (12) Business flags, but shall be limited to the display of no more than two flags on the premises. Business flags do not include feather signs.
- (13) ~~On-premises parking lot and internal driveway directional~~ Directional signs, subject to the following limitations:
 - a. Maximum size shall be four square feet, except for Industrial-zoned properties where the maximum can be 12 square feet.

- b. ~~On-premises directional signs shall be~~ located a minimum of 15 feet from the public right-of-way. Directional signs under four square feet require a ~~one-foot~~one-foot setback from any property line. Directional signs four square feet or over require a ~~15-foot~~15-foot setback from any property line.
 - c. Multiple on-premises directional signs shall be mounted on the same structure, ~~unless the need to do otherwise can be demonstrated by the applicant to create a hardship that is nonfinancial in nature, in order to~~ limit the ~~detriment impacts~~ to environmental aesthetics and sight obstruction.
- (14) ~~Political-Event signs in compliance with Section 32-33, subject to the following limitations:~~
- a. ~~Political signs shall be removed within 14 calendar days after the election to which they pertain and shall not exceed a height of eight feet. Free expression or ideological opinion signs not related to an election shall not be subject to any time limit but shall be subject to the size limitations for political signs.~~
 - b. ~~For properties located in the RA, RB and RC zoning districts, the maximum size of any individual sign shall be 12 square feet. The aggregate size of all political signs displayed on the premises shall be 32 square feet.~~
 - c. ~~For all zoning districts, other than the RA, RB and RC zoning districts, the maximum size of any individual sign shall be 32 square feet. The aggregate size of all political signs displayed on the premises shall not exceed 64 square feet.~~
- (15) Signs maintained by the United States of America, the state of Michigan, and any agencies or political subdivisions thereof and educational institutions.
- (16) ~~Signage affixed to fuel pumps, vending machines, ice dispensers, etc.~~
- (17) Menu boards for drive-in/drive-through businesses.
- (18) Cart corrals with a maximum height of ten feet above grade and 12 square feet in display areasign area.
- (19) Scoreboard and athletic field sponsorship signs facing playing fields not primarily visible from the public right-of-way.
- (20) Holiday decorations.
- (21) Human directional signs.
- (22) Signs approved by MDOT, including wayfinding signs.
- (23) Any signs required by local, state or federal law.

Sec. 32-27. Prohibited signs.

The following signs are prohibited in the township:

- (1) Signs which are placed within or encroach into a public right-of-way, including signs placed on utility poles, utility cabinets, traffic control signs, structures or devices unless permitted by the agency having jurisdiction over the road and outside of clear vision triangles.
- (2) Roof signs.
- (3) Any sign which, by reason of its size, location, coloring or manner of illumination constitutes a traffic hazard or a detriment to traffic safety, by obstructing the vision of drivers, or by obstructing or detracting from the visibility of any traffic control device on public streets and roads.
- (4) Sign displays that interfere with, mislead or confuse drivers.

- (5) Signs and sign structures that are structurally unsafe, constitute a hazard to safety and health, that are not kept in good repair or have bare bulbs exposed.
- (6) Any sign that obstructs free ingress to or egress from a required door, window, fire escape or other required exit way.
- (7) Any sign publicly displaying language or imagery that is patently coarse, obscene, or profane to the average person, applying contemporary community standards.
- (8) Any sign displaying images of nudity, semi-nudity, specified anatomical areas or specified sexual activity, or using obscene material or words. The administrator shall also consider the following criteria when providing a determination:
 - a. An average person, applying contemporary community standards, must find that the material, as a whole, appeals to the prurient interest, is offensive or profane;
 - b. The material must depict or describe, in a patently offensive way, sexual conduct specifically defined by applicable law; and
 - c. The material, taken as a whole, must lack serious literary, artistic, political or scientific value.
- (89) Display or parking of a motor vehicle or trailer upon a lot or premises in a location visible from a public right-of-way, for the primary purpose of displaying a sign attached to, painted on or placed on the vehicle or trailer, with the exception of vehicles used regularly in the course of conducting the principal use located on the premises (Figure 18).

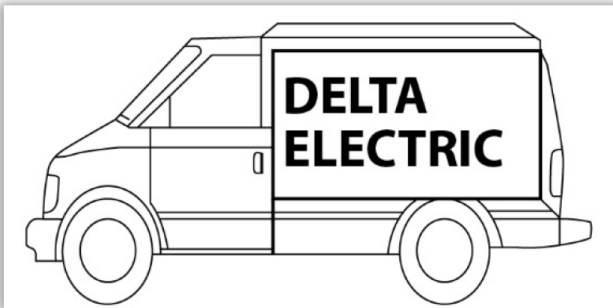


Figure 18 Sign on Motor Vehicle

- (9)10 Use of pennants, string lights, ribbons, or other such features which are hung or strung across any property, and which are not an integral, physical part of a building or other permanent structure on the property.
- (1011) Inflatable signs.
- (1112) Signs having any visible portion either in motion or having the appearance of being in motion, whether on a continuous basis or at intervals, and regardless of whether the motion or appearance of motion is caused by natural or artificial sources, with the exception of electronic changeable message signs.
- (1213) Off-premises signs, except for billboard signs as permitted in the Industrial (I) district.
- (1314) Billboard signs used for on-premises advertising.
- (1415) Bench signs.
- (1516) Home occupation signs.
- (1617) Signs are not permitted on that portion of any parcel that is less than 25 feet in width or depth.
- (1718) Any sign that is not expressly permitted.

- (~~1819~~) Feather signs, wind sock signs and air dancers.
- (~~1920~~) Searchlights.
- (~~2021~~) Digital displays on pole signs or elevated pole signs that do not about the sign face.
- (~~2122~~) Empty sign frames and structures.

Sec. 32-28. Residential (NR, AG1, AG2, RA, RB, RC, and RM) districts.

In the NR, AG1, AG2, RA, RB, RC, and RM districts, the requirements in ~~the following S~~schedule A shall govern sign use, area, type, height and numbers, in addition to requirements elsewhere in this chapter.

Sec. 32-29. Signs permitted in the office (O) district.

In the O district, the requirements in ~~the following S~~schedule B shall govern sign use, area, type, height and numbers, in addition to requirements elsewhere in this chapter.

Sec. 32-30. Signs permitted in the commercial (C) district.

In the C district, the requirements in ~~the following S~~schedule C shall govern sign use, area, type, height and numbers, in addition to requirements elsewhere in this chapter.

Sec. 32-31. Signs permitted in the industrial (I) zoning district.

In the I district, the requirements in ~~the following~~ Schedule D shall govern sign use, area, type, height and numbers, in addition to requirements elsewhere in this chapter.

SCHEDULE A — Section 32-28 Signs Permitted in Residential (NR, AG1, AG2, RA, RB, RC, and RM) Districts							
Use	Sign Type	Maximum # of signs	Maximum Display <u>Sign Area</u>	Location	Maximum Height	Electronic Standards	Other
<i>Residential Gateway</i>	Ground or wall/fence entrance sign	Ground: 2 signs per entrance wall/fence entrance sign: 2	20 sq. ft. per sign, with maximum of 2 display sign faces per sign.	10 ft. setback from all lot lines and outside the clear vision triangle.	8 ft.	* ECM signs Not allowed for residential gateways.	<ul style="list-style-type: none"> • 2 ft. standard (base) or bottom of sign face at least 2 ft. above grade. • Landscaping requirements per section 32-41. • Where two signs per street entrance are used, signs shall be of identical size, design and materials.
	Wall sign, canopy, projecting, marquee or awning	Not allowed for residential gateways.					
<i>Institutional use (including, but not limited to places of worship and schools)</i>	Ground sign	1 on each side of each street entrance.	40 sq. ft.	10 ft. setback from all lot lines and outside the clear vision triangle.	Ground: 8 ft.	* ECM signs allowed with a permitted wall or ground sign and in accordance with section	<ul style="list-style-type: none"> • 2 ft. standard (base) or bottom of sign face at least 2 ft. above grade. • Landscaping

						32-39. * No ECM signs shall be located within 200 ft. from a dwelling unit. * ECM display <u>area</u> <u>sign area</u> limited to 50 percent of total display <u>area</u> <u>sign area</u> permitted.	requirements per section 32-41. <ul style="list-style-type: none">• Wall signs: 12 in. maximum projection.• Projecting signs may extend a max. of 5 ft. from the wall of a building, but are limited to an 8 ft. height clearance.• New awning signs require a building permit.
	Wall sign, canopy, projecting, marquee or awning	No maximum.	Cumulative total sq. footage of signs on primary facades shall not exceed 10 percent of wall area to which it is attached; a building is limited to 2 primary facades. Signs on secondary facades shall not exceed 5 percent of the wall area to which it is attached.	On wall.	Below uppermost building line, not above peak or parapet and not on sloped roof.		

SCHEDULE B — Section 32-29 Signs Permitted in Office (O) District							
Use	Sign Type	Maximum # of signs	Maximum Display <u>Area</u> <u>Sign area</u>	Location	Maximum Height	Electronic Standards	Other
<i>Individual building containing 1 business</i>	Ground	1	40 sq. ft.	10 ft. setback from all lot lines and outside the	8 ft., including a 2 ft. minimum sign standard.	* ECM signs allowed with a permitted wall or ground sign	<ul style="list-style-type: none">• 2 ft. standard (base) or bottom of sign face at

				clear vision triangle.		and in accordance with section 32-39. * No ECM sign shall be located within 200 feet from a dwelling unit. * ECM display area <u>sign area</u> limited to 50 percent of total display area <u>sign area</u> permitted.	least 2 ft. above grade. • Landscaping requirements per section 32-41. • Display of street address per section 32-38.
	Wall sign, canopy, projecting or Awning	No maximum	Cumulative total sq. footage of signs on primary facades shall not exceed 15 percent of wall area to which it is attached; a building is limited to 2 primary facades. Signs on secondary facades shall not exceed 5 percent of the wall area to which it is attached.	On wall.	Below uppermost building line, not on sloped wall and not above peak or parapet.		<ul style="list-style-type: none"> • Wall signs: 12 in. maximum projection. • Projecting signs may extend a max. of 5 ft. from the wall of a building, but are limited to an 8 ft. height clearance. • New awning signs require a building permit.
	Marquee	1	6 sq. ft.	Underside of building	Not above peak or parapet and		

				overhang or eave	not on sloped roof.		
<i>Business center/Strip commercial (1 multi-tenant building on 1 parcel)</i>	Pole or ground sign	1 per street frontage	60 sq. ft.	10 ft. setback from all lot lines and outside the clear vision triangle.	Pole sign: 20 ft. Ground sign: 8 ft.	* ECM displays not permitted on pole signs. Allowed with a permitted wall or ground sign and in accordance with section 32-39. * No ECM sign shall be located within 200 ft. from a dwelling unit. * ECM display area <u>sign area</u> limited to 50 percent of total display area <u>sign area</u> permitted.	<ul style="list-style-type: none"> • 2 ft. standard (base) or bottom of sign face at least 2 ft. above grade (ground sign). • Landscaping requirements per section 32-41. • New pole signs see section 32-34 for wind load requirements. • Display of street address per section 32-38.
	Wall sign, canopy, projecting, marquee or awning	No maximum	Cumulative total sq. footage of signs on primary facades shall not exceed 15 percent of leased wall area to which it is attached; a building is	On wall.	Below uppermost building line, not on sloped wall and not above peak or parapet.		<ul style="list-style-type: none"> • Wall signs: 12 in. maximum projection. • Projecting signs may extend a max. of 5 ft. from the wall of a building, but are limited to an 8 ft. height

			limited to 2 primary facades. Signs on secondary facades shall not exceed 5 percent of the wall area to which it is attached.				clearance. <ul style="list-style-type: none"> • New awning signs require a building permit.
	Marquee	1	24 sq. ft.	Underside of building overhang or eave.	Not above peak or parapet and not on sloped roof.		
<i>Business complex (multiple buildings on one parcel)</i>	Pole or ground sign	1 per driveway access	60 sq. ft.	10 ft. setback from all lot lines and outside the clear vision triangle.	Pole sign: 20 ft. Ground sign: 8 ft.	* ECM displays not permitted on pole signs. Allowed with a permitted wall or ground sign and in accordance with section 32-39 * No ECM sign shall be located within 200 ft. from a dwelling unit. * ECM display area <u>sign area</u> limited to 50	<ul style="list-style-type: none"> • 2 ft. standard (base) or bottom of sign face at least 2 ft. above grade (ground sign). • Landscaping requirements per section 32-41 • New pole signs see section 32-34 for wind load requirements. • Display of street address

						percent of total display area sign area permitted.	per section 32-38.
	Wall sign, canopy, projecting, marquee or awning	No maximum per tenant	Cumulative total sq. footage of signs on primary facades shall not exceed 15 percent of leased wall area to which it is attached; a building is limited to 2 primary faces. Signs on secondary facades shall not exceed 5 percent of the wall area to which it is attached.		Below uppermost building line, not on sloped wall and not above peak or parapet.		<ul style="list-style-type: none"> Wall signs: 12 in. maximum projection. Projecting signs may extend a max. of 5 ft. from the wall of a building, but are limited to an 8 ft. height clearance. New awning signs require a building permit.
	Marquee	1	24 sq. ft.	Underside of building overhang or eave.	Not above peak or parapet and not on sloped roof.		
<i>Expressway business (hotel, motel, or restaurant that lies 2,000 feet</i>	Pole or ground	1	75 sq. ft. per sign	10 ft. setback from all lot lines and outside the	Pole sign: 30 ft. Ground sign: 8 ft.	* ECM displays not permitted on pole signs. Allowed with a permitted wall	<ul style="list-style-type: none"> 2 ft. standard (base) or bottom of sign face at least 2 ft.

<p>or less from an expressway on or off-ramp.</p>				clear vision triangle.		<p>or ground sign and in accordance with section 32-39</p> <p>* No ECM sign shall be located within 200 ft. from a dwelling unit.</p> <p>* ECM display area <u>sign area</u> limited to 50 percent of total display area <u>sign area</u> permitted.</p>	<p>above grade (ground sign).</p> <ul style="list-style-type: none"> • Landscaping requirements per section 32-41. • New pole signs see section 32-34 for wind load requirements. • Display of street address per section 32-38.
	<p>Wall sign, canopy, projecting or Awning</p>	<p>No maximum</p>	<p>Cumulative total sq. footage of signs on primary facades shall not exceed 15 percent of leased wall area to which it is attached; a building is limited to 2 primary faces. Signs on secondary facades shall not exceed 5 percent of the</p>	<p>On wall.</p>	<p>Below uppermost building line, not on sloped wall and not above peak or parapet.</p>	<p>• Wall signs: 12 in. maximum projection.</p> <p>• Projecting signs may extend a max. of 5 ft. from the wall of a building, but are limited to an 8 ft. height clearance.</p> <p>• New awning signs require a building permit.</p>	

			wall area to which it is attached.				
<i>Expressway business (hotel, motel, service station or restaurant that lies 2,000 feet or less from an expressway on or off-ramp.</i>	Elevated pole sign	1	6 sq. ft. for each ft. of sign height, up to a max of 300 sq. ft.	10 ft. setback from all lot lines and outside the clear vision triangle.	90 ft.		<ul style="list-style-type: none"> • Landscaping requirements per section 32-41. • New pole signs see section 32-34 for wind load requirements. • Min. height above grade of 60 ft. • Display of street address per section 32-38.
	Marquee	1	24 sq. ft.	Underside of building overhang or eave.	Not above peak or parapet and not on sloped roof.		
<i>Institutional use (including, but not limited to places of worship and schools)</i>	Ground sign	1 located adjacent to each street frontage.	40 sq. ft.	10 ft. setback from all lot lines and outside the clear vision triangle.	Ground sign: 8 ft.	*ECM displays not permitted on pole signs. Allowed with a permitted wall or ground sign and in accordance with section 32-39	<ul style="list-style-type: none"> • 2 ft. standard (base) or bottom of sign face at least 2 ft. above grade. • Landscaping requirements per section 32-41.

						<p>* No ECM sign shall be located within 200 ft. from a dwelling unit.</p> <p>* ECM display <u>area</u>sign area limited to 50 percent of total display <u>area</u>sign area permitted.</p>	<ul style="list-style-type: none"> • Display of street address per section 32-38.
	Wall sign, canopy, projecting, marquee or awning	No maximum	Cumulative total sq. footage of signs on primary facades shall not exceed 10 percent of wall area to which it is attached; a building is limited to 2 primary facades. Signs on secondary facades shall not exceed 5 percent of the wall area to which it is attached.	On wall.	Below uppermost building line, not above peak or parapet and not on sloped roof.	<ul style="list-style-type: none"> • Wall signs: 12 in. maximum projection. • Projecting signs may extend a max. of 5 ft. from the wall of a building, but are limited to an 8 ft. height clearance. • New awning signs require a building permit. 	

SCHEDULE C — Section 32-30 Signs Permitted in the Commercial (C) District							
Use	Sign Type	Maximum # of signs	Maximum Display <u>Area</u> Sign Area	Location	Maximum Height	Electronic Standards	Other
<i>Individual building containing 1 business</i>	Pole or Ground	1 located adjacent to each street frontage	75 sq. ft. per sign	10 ft. setback from all lot lines and outside the clear vision triangle.	Ground sign: 8 ft., Pole sign: 30 ft.	* ECM displays allowed with a permitted wall or ground sign and in accordance with section 32-39. * No ECM sign shall be located within 200 ft. from a dwelling unit. * ECM display area <u>sign area</u> limited to 50 percent of total display area <u>sign area</u> permitted.	<ul style="list-style-type: none"> • 2 ft. standard (base) or bottom of sign face at least 2 ft. above grade (ground sign). • Landscaping requirements per section 32-41. • New pole signs see section 32-34 for wind load requirements. • Display of street address per section 32-38.
	Wall sign, canopy, projecting, or Awning	No maximum	Cumulative total sq. footage of signs on primary facades shall not exceed 15 percent of wall area to which it is attached; a	On wall.	Below uppermost building line, not above peak or parapet and not on sloped roof.		<ul style="list-style-type: none"> • Wall signs: 12 inch projection max. • Projecting signs may extend a max. of 5 ft. from the wall of a building and are limited to

			building is limited to 2 primary faces. Signs on secondary facades shall not exceed 5 percent of the wall area to which it is attached.				an 8 ft. height clearance. <ul style="list-style-type: none"> • New awning signs require a building permit.
	Marquee	1	24 sq. ft.	Underside of building overhang or eave	Not above peak or parapet and not on sloped roof.		
<i>Business Center (1 multi-tenant building/strip commercial)</i>	Pole or ground sign	1 per street frontage (2 maximum street frontages)	Pole sign: 100 sq. ft. or 1 sq. ft. for each 1 ft. of building wall length facing the street frontage, whichever is greater up to a max. of 300 sq. ft. Ground sign: 150 sq. ft.	10 ft. setback from all lot lines and outside the clear vision triangle.	Pole sign: 30 ft. Ground sign: 8 ft.	* ECM displays allowed with a permitted wall or ground sign and in accordance with section 32-39* No ECM sign shall be located within 200 ft. from a dwelling unit.* ECM display <u>area</u> sign area <u>area</u> limited to 50 percent of total display	<ul style="list-style-type: none"> • 2 ft. standard (base) or bottom of sign face at least 2 ft. above grade (ground sign). • Landscaping requirements per section 32-41. • New pole signs see section 32-34 for wind load requirements. • Display of street address

						area sign area permitted.	per section 32-38.
	Wall sign, canopy, projecting, or Awning	No maximum per tenant	Cumulative total sq. footage of signs on primary facades shall not exceed 15 percent of leased/owned wall area to which it is attached; a building is limited to 2 primary facades. Signs on secondary facades shall not exceed 5 percent of the wall area to which it is attached.	On wall.	Below uppermost building line, not above peak or parapet and not on sloped roof.		<ul style="list-style-type: none"> • Wall signs: 12 inch projection max. • Projecting signs may extend a max. of 5 ft. from the wall of a building and are limited to an 8 ft. height clearance. • New awning signs require a building permit.
	Marquee	1 per business	24 sq. ft.	Underside of building overhang or eave.	Not above peak or parapet and not on sloped roof.		
Business Complex (Multiple buildings on	Pole or ground sign	1 per driveway access	Pole sign: 100 sq. ft. or 1 sq. ft. for each 1 ft. of building wall	10 ft. setback from all lot lines and outside the	Pole sign: 30 ft. Ground sign: 8 ft.	* ECM displays allowed with a permitted wall or ground sign	<ul style="list-style-type: none"> • 2 ft. standard (base) or bottom of sign face at

one parcel each containing one or more businesses)			length facing the street frontage, whichever is greater up to a max. of 300 sq. ft. Ground sign: 150 sq. ft.	clear vision triangle.		and in accordance with section 32-39 * No ECM sign shall be located within 200 ft. from a dwelling unit. * ECM display area <u>sign area</u> limited to 50 percent of total display area <u>sign area</u> permitted.	least 2 ft. above grade (ground sign). • Landscaping requirements per section 32-41. • New pole signs see section 32-34 for wind load requirements. • Display of street address per section 32-38.
	Wall sign, canopy, projecting, marquee or awning	No maximum per tenant	Cumulative total sq. footage of signs on primary facades shall not exceed 15 percent of leased/owned wall area to which it is attached; a building is limited to 2 primary facades. Signs on secondary facades shall	On wall.	Below uppermost building line, not above peak or parapet and not on sloped roof.		• Wall signs: 12 inch projection max. • Projecting signs may extend a max. of 5 ft. from the wall of a building and are limited to an 8 ft. height clearance • New awning signs require a building permit

			not exceed 5 percent of the wall area to which it is attached.				
	Marquee	1 per business	24 sq. ft.	Underside of building overhang or eave.	Not above peak or parapet and not on sloped roof.		
<i>Individual businesses with two or more buildings (examples: Auto sales, lumber yards, etc.)</i>	Pole or ground sign	2	75 sq. ft.	10 ft. setback from all lot lines and outside the clear vision triangle.	Pole sign: 30 ft. Ground sign: 8 ft.	* ECM displays allowed with a permitted wall or ground sign and in accordance with section 32-39* No ECM sign shall be located within 200 ft. from a dwelling unit.* ECM display <u>are sign area</u> limited to 50 percent of total display <u>are sign area</u> permitted.	<ul style="list-style-type: none"> • 2 ft. standard (base) or bottom of sign face at least 2 ft. above grade (ground sign). • Landscaping requirements per section 32-41. • New pole signs see section 32-34 for wind load requirements. • Display of street address per section 32-38.
	Wall sign, canopy, projecting,	No maximum per tenant	Cumulative total sq. footage of signs on	On wall.	Below uppermost building line, not above peak		

	marquee or awning		primary facades shall not exceed 15 percent of wall area to which it is attached; a building is limited to 2 primary facades. Signs on secondary facades shall not exceed 5 percent of the wall area to which it is attached.		or parapet and not on sloped roof.		signs may extend a max. of 5 ft. from the wall of a building and are limited to an 8 ft. height clearance. <ul style="list-style-type: none"> • New awning signs require a building permit.
	Marquee	1	24 sq. ft.	Underside of building overhang or eave.	Not above peak or parapet and not on sloped roof.		
<i>Expressway business (hotel, motel, service station or restaurant that lies 2,000 feet or less from an expressway on or off-ramp.</i>	Pole or ground	1	75 sq. ft.	10 ft. setback from all lot lines and outside the clear vision triangle.	Pole sign: 30 ft. Ground sign: 8 ft.	* ECM displays allowed with a permitted wall or ground sign and in accordance with section 32-39 * No ECM sign shall be located within 200 ft. from a dwelling	<ul style="list-style-type: none"> • 2 ft. standard (base) or bottom of sign face at least 2 ft. above grade (ground sign). • Landscaping requirements per section 32-41. • New pole

						unit. * ECM display area <u>sign area</u> limited to 50 percent of total display area <u>sign area</u> permitted.	signs see section 32-34 for wind load requirements. <ul style="list-style-type: none"> • Display of street address per section 32-38.
	Wall sign, canopy, projecting, or Awning		Cumulative total sq. footage of signs on primary facades shall not exceed 15 percent of leased/owned wall area to which it is attached; a building is limited to 2 primary facades. Signs on secondary facades shall not exceed 5 percent of the wall area to which it is attached.	On wall.	Below the uppermost building line, not above peak or parapet and not on sloped roof.		<ul style="list-style-type: none"> • Wall signs: 12 inch projection max. • Projecting signs may extend a max. of 5 ft. from the wall of a building and are limited to an 8 ft. height clearance • New awning signs require a building permit.
	Elevated pole sign	1	6 sq. ft. for each ft. of sign height, up to a	10 ft. setback from all lot lines and	90 ft.		<ul style="list-style-type: none"> • 2 ft. standard (base) • Landscaping

			max of 300 sq. ft.	outside the clear vision triangle.			requirements per section 32-36.
	Marquee	1	24 sq. ft.	Underside of building overhang or eave.	Not above peak or parapet and not on sloped roof.		<ul style="list-style-type: none"> • New pole signs see section 32-34 for wind load requirements. • Min. height above grade of 60 ft. • Display of street address per section 32-38.
<i>Institutional use (including, but not limited to places of worship and schools)</i>	Ground sign	1	40 sq. ft.	10 ft. setback from all lot lines and outside the clear vision triangle.	Ground sign: 8 ft.	<p>* ECM displays allowed with a permitted wall or ground sign and in accordance with section 32-39</p> <p>* No ECM sign shall be located within 200 ft. from a dwelling unit.</p> <p>* ECM display <u>are</u> <u>sign area</u></p>	<ul style="list-style-type: none"> • 2 ft. standard (base) or bottom of sign face at least 2 ft. above grade (ground sign). • Landscaping requirements per section 32-41. • Display of street address per section 32-38.
	Wall sign, canopy, projecting,	No maximum	Cumulative total sq. footage of signs on	On wall.	Below uppermost building line, not above peak	limited to 50 percent of total display	<ul style="list-style-type: none"> • Wall signs: 12 in. maximum projection.

	marquee or awning		primary facades shall not exceed 10 percent of wall area to which it is attached; a building is limited to 2 primary facades. Signs on secondary facades shall not exceed 5 percent of the wall area to which it is attached.		or parapet and not on sloped roof.	are sign area permitted.	<ul style="list-style-type: none"> • Projecting signs may extend a max. of 5 ft. from the wall of a building, but are limited to an 8 ft. height clearance. • New awning signs require a building permit.
--	-------------------	--	---	--	------------------------------------	-------------------------------------	---

SCHEDULE D — Section 32-31 Signs Permitted in the Industrial (I) District							
Use	Sign Type	Maximum # of signs	Maximum Display AreaSign Area	Location	Maximum Height	Electronic Standards	Other
<i>Individual business in one building (including individual businesses with 2 or more buildings)</i>	Pole or ground sign	1	Pole: 100 sq. ft. or 1 sq. ft. for each 1 ft. of building wall length whichever is greater up to a maximum of 300 sq. ft. Ground: 75 sq. ft.	10 ft. setback from all lot lines and outside the clear vision triangle.	Pole sign: 30 ft. Ground sign: 8 ft.	* ECM displays allowed with a permitted wall or ground sign and in accordance with section 32-39 * No ECM sign shall be located within 200 ft.	<ul style="list-style-type: none"> • 2 ft. standard (base) or bottom of sign face at least 2 ft. above grade (ground sign). • Landscaping requirements per section 32-41.

						from a dwelling unit. * ECM display <u>display area</u> sign area	<ul style="list-style-type: none"> • Display of street address per section 32-38.
	Wall sign, canopy, projecting or Awning	No maximum	Cumulative total sq. footage of signs on primary facades shall not exceed 15 percent of leased wall area to which it is attached; a building is limited to 2 primary facades. Signs on secondary facades shall not exceed 5 percent of the wall area to which it is attached.	On wall.	Below uppermost building line, not above peak or parapet and not on sloped roof.	limited to 50 percent of total display <u>display area</u> sign area permitted.	<ul style="list-style-type: none"> • Wall signs: 12 in. maximum projection. • Projecting signs may extend a max. of 5 ft. from the wall of a building, but are limited to an 8 ft. height clearance. • New awning signs require a building permit.
<i>Multi-tenant industrial building</i>	Pole or ground sign	1	Pole: 100 sq. ft. or 1 sq. ft. for each 1 ft. of building wall length whichever is greater up to a maximum of	10 ft. setback from all lot lines and outside the clear vision triangle.	Pole sign: 30 ft. Ground sign: 8 ft.	* ECM displays allowed with a permitted wall or ground sign and in accordance with section 32-39* No ECM	<ul style="list-style-type: none"> • 2 ft. standard (base) or bottom of sign face at least 2 ft. above grade (ground sign). • Landscaping

			300 sq. ft. Ground: 150 sq. ft.			sign shall be located within 200 ft. from a dwelling unit.* ECM display <u>area</u> <u>sign area</u> limited to 50 percent of total display <u>area</u> <u>sign area</u> permitted.	requirements per section 32-41. • Display of street address per section 32-38.
	Wall sign, canopy, projecting or awning	No maximum per tenant	Cumulative total sq. footage of signs on primary facades shall not exceed 15 percent of leased/owned wall area to which it is attached; a building is limited to 2 primary facades. Signs on secondary facades shall not exceed 5 percent of the wall area to which it is attached.	On wall.	Below uppermost building line, not above peak or parapet and not on sloped roof.		<ul style="list-style-type: none"> • Wall signs: 12 in. maximum projection. • Projecting signs may extend a max. of 5 ft. from the wall of a building, but are limited to an 8 ft. height clearance. • New awning signs require a building permit.
<i>Any parcel</i>	Billboard sign	No maximum	672 sq. ft. maximum if located on a parcel	* 1,500 ft. minimum spacing between	30 ft.	* ECM displays allowed with a permitted wall or ground sign	

			adjoining a limited access freeway right-of-way. 300 sq. ft. if not located on a parcel adjoining a limited access freeway right-of-way.	billboard signs on the same side of a public road* Minimum setback of 75 ft. from a public right-of-way, except that no setback is required from a limited access state highway right-of-way.* Minimum setback of 500 ft. from the property boundary of a residential district use, or from property boundary of a place of worship, a public park, or a public or private elementary or secondary school		and in accordance with section 32-39. * No ECM sign shall be located within 200 ft. from a dwelling unit. * ECM display area <u>sign area</u> limited to 50 percent of total display area <u>sign area</u> permitted.	
<i>Industrial park</i>	Pole or ground sign	1 per driveway access	Pole sign: 100 sq. ft. or 1 sq. ft. for each 1 ft.	10 ft. setback from all lot lines and	Pole sign: 30 ft. Ground sign 8 ft.	* ECM displays allowed with a permitted wall	• 2 ft. standard (base) or bottom of

			<p>of building wall length whichever is greater up to a maximum of 300 sq. ft. Ground sign: 75 sq. ft.</p>	<p>outside the clear vision triangle.</p>		<p>or ground sign and in accordance with section 32-39. * No ECM sign shall be located within 200 ft. from a dwelling unit. * ECM display <u>sign area</u> limited to 50 percent of total display <u>sign area</u> permitted.</p>	<p>sign face at least 2 ft. above grade (ground sign).</p> <ul style="list-style-type: none"> • Landscaping requirements per section 32-41. • New pole signs see section 32-34 for wind load requirements. • Display of street address per section 32-38.
--	--	--	---	---	--	---	--

Sec. 32-32. Temporary signs—General regulations.

- (a) *Permit required.* A temporary sign shall not be placed on any lot, parcel or premises, ~~with the exception of except for~~ single-family, two-family and multiple-family residential uses ~~or where otherwise exempt in this chapter,~~ unless a permit authorizing such temporary sign has been issued by the administrator.
- (b) *Required application contents.* Application for a permit to display a temporary sign shall be in accordance with the application procedure outlined in section 32-11(b).
- (c) ~~*Deposit required.* If the temporary sign is a trailer mounted sign, or changeable copy sign over 20 square feet, a refundable deposit in an amount as set by resolution of the township board shall be submitted, to financially guarantee conformance with the provisions herein, including removal of the sign on the permit expiration date.~~
- (d) *Standards for display of temporary signs.* The display of temporary signs, including banners, shall conform to the provisions of schedule E in section 32-33. In addition, the following standards shall apply to display of temporary signs for all nonresidential uses, in all zoning districts:
 - (1) A maximum of five permits authorizing display of a temporary sign for nine consecutive days shall be issued in any calendar year for any individual business premises.
 - (2) The beginning of the display period for a temporary sign shall not be more than 14 calendar days from the date of the issuance of the permit.
 - (3) There shall not be more than one temporary sign displayed per business on a property at any one time.
 - (4) A temporary sign over three feet in height above grade shall be set back a minimum of ten feet from any right-of-way line and not within the clear vision triangle as per section 32-25(b).
 - (5) Portable signs shall be subject to the following additional standards:
 - a. Illuminated portable signs shall be installed in conformance with all state and township electrical codes. No flashing or moving lights shall be used on any portable sign.
 - b. All portable signs and components shall be firmly anchored to the ground in a manner that ensures that the sign will not constitute a safety hazard in the event of high winds, as determined by the building official.
 - c. Any portable sign displayed in violation of this chapter may be impounded by the township as per section 32-14(b).

Sec. 32-33. ~~Permitted-Temporary sign standards.~~

The requirements for ~~permitted~~ temporary signs in the following schedule E shall govern sign use, area, type, height, and numbers, in addition to requirements elsewhere in this chapter:

SCHEDULE E — Section 32-33 Permitted-Temporary Sign Standards							
Use	Sign Type	Permit Required?	Maximum # of signs	Maximum Display Area Sign area	Maximum Height	Maximum Duration	Location Standards
Single-family and 2 family subdivisions and condominiums in all districts	Construction sign (Signs illustrating or advertising lots for sale in a subdivision)	No	1 per development	32 sq. ft.	8 ft.	Until 90 percent of the lots are sold.	May not encroach on or over right-of-way line. Minimum 10 15ft. setback for any sign over 3 ft. in height. * Must comply with clear vision standards section 32-25.
Single-family and 2 family residential uses in all districts	Ground sign <u>General Expression Sign</u>	No	No maximum	Total area of all signs may not exceed 12 sq. ft.	5 ft.	7 days. None.	May not encroach on or over right-of-way.
	Real estate sign (For sale/lease)	No	1 per lot/parcel	6 sq. ft.	8 ft.	5 days after the purpose of the sign is fulfilled sale/lease has been finalized.	Minimum 10 3 ft. setback for any sign over 3 ft. in height. * Must comply with clear vision
	Political Event signs	No	No maximum	See section 32-26	8 ft.	14 days after the election event to	

				<u>Individual sign maximum 12 sq ft; cumulative area maximum of 32 sq ft.</u>		which they pertain.	standards section 32-25.
Multiple-family residential use in RC and RM districts	Construction sign (Signs illustrating or advertising lots for sale)	No	1 per development	32 sq. ft.	8 ft.	Coinciding with expiration of building permit. Upon issuance of Certificate of Occupancy	May not encroach on or over right-of-way. Minimum 10 15 ft. setback for any sign over 3 ft. in height.
	Real estate sign (For sale/lease)	No	1 per development	10 sq. ft.	5 ft.	5 days after the sale/lease has been finalized. purpose of the sign is fulfilled.	* Must comply with clear vision standards section 32-25.
	<u>Political-Event</u> signs	No	No maximum	<u>Individual sign maximum 12 sq ft; cumulative area maximum of 32 sq ft. See section 32-26</u> N	8 ft.	14 days after the election to which they pertain.	

Non-residential uses in all districts	Construction sign (Name of project/future development, architects, builders/lenders...)	No	1 per lot or parcel	32 sq. ft.	8 ft.	Upon issuance of Certificate of Occupancy Upon occupancy of any part of the premises	May not encroach on or over right-of-way. Minimum 10 15 ft. setback for any sign over 3 ft. in height * Must comply with clear vision standards section 32-25.
	Real estate sign (for sale/lease)	No	1 per lot or premises	32 sq. ft.	8 ft.	5 days after the sale/lease has been finalized. purpose of the sign	May not encroach on or over right-of-way. Minimum 10 ft. setback for any sign over 3 ft. in height * Must comply with clear vision standards section 32-25.
	Political Event signs	No	Limited by the aggregate display area sign area of all signs	Individual sign maximum 32 sq ft; cumulative area maximum of 64 sq ft. See section 32-26 N	8 ft.	14 days after the election event to which they pertain.	

	Portable sign or other temporary sign	Yes	1 per premises, of either type	Portable sign: 32 sq. ft. Other: 24 sq. ft.	Portable sign: 8 ft. Other: Below roofline	Max. of 5 permits for 9 consecutive days per calendar year* See section 32-32.	
--	---------------------------------------	-----	--------------------------------	--	--	--	--

Sec. 32-34. Wind loadBuilding Code.

Signs and sign structures shall be designed and constructed ~~to resist wind forces of not less than 20 pounds per square foot on signs up to 60 feet in height and not less than 30 pounds per square foot for signs over 60 feet in height. Signs shall be designed~~ in compliance with the Michigan Building Code, as amended. The sign and sign structure shall be kept in satisfactory condition and immediately repaired or replaced upon notice of required maintenance.

~~Sec. 32-35. Bracing.~~

~~All bracing systems for signs shall be designed and constructed to transfer lateral forces to the foundation. For signs on buildings, all loads shall be transmitted through the structural frame of the building to the ground in such manner as to not overstress any of the elements thereof. Uplift due to overturning shall be adequately resisted by proper anchorage to the ground or the structural frame of the building.~~

~~Sec. 32-36. Anchorage.~~

~~Signs attached to masonry, concrete or steel shall be safely and securely fastened thereto by means of metal anchors, bolts or approved expansion screws of sufficient size and anchorage to safely support the loads applied.~~

Sec. 32-37. Electrical Code.

All permanent or temporary electrical installations shall comply with the current electrical code of the township. The full number of illuminating elements shall be kept in satisfactory working condition or be immediately repaired or replaced. ~~Signs that are only partially illuminated shall meet all electrical requirements for that portion directly illuminated. All electrical wiring shall be in conduit and not exposed to the elements. All electrical signs shall have a disconnecting switch located in a readily accessible place. All electrical signs shall have a disconnecting switch capable of being reached quickly for operation, renewal, or inspections without requiring those to whom ready access is requisite to climb over or remove obstacles or to resort to portable ladders, and so forth.~~

Sec. 32-38. Display of street address of premises on signs.

- (a) *Street address.* The street address number shall be displayed on the primary freestanding identification sign for each premises on land located in an office (O), commercial (C), or industrial (I) district (Figure 19). The display of street address numbers shall conform with the following standards:
- (1) Address numbers shall be displayed on the sign face or on the supporting structure of the sign, at a minimum height of two feet above grade.
 - (2) The height of the numbers shall be a minimum of four inches.
 - (3) The street address number shall be displayed using Arabic numerals, in a readily legible text style, and in a contrasting color from the background surface on which the number is placed.
 - (4) If the premises which are identified by a primary freestanding identification sign contains more than one street address number, the street address number displayed on the sign shall identify the lower and upper ends of the address range to which the sign pertains.
 - (5) Display of street address numbers on a sign structure shall not be considered a sign subject to the regulations contained in schedules B through E of this article, unless the height of the address numbers exceeds eight inches, in which case the street address number shall be considered a sign, subject to the limitations on size and number of signs contained in this chapter.

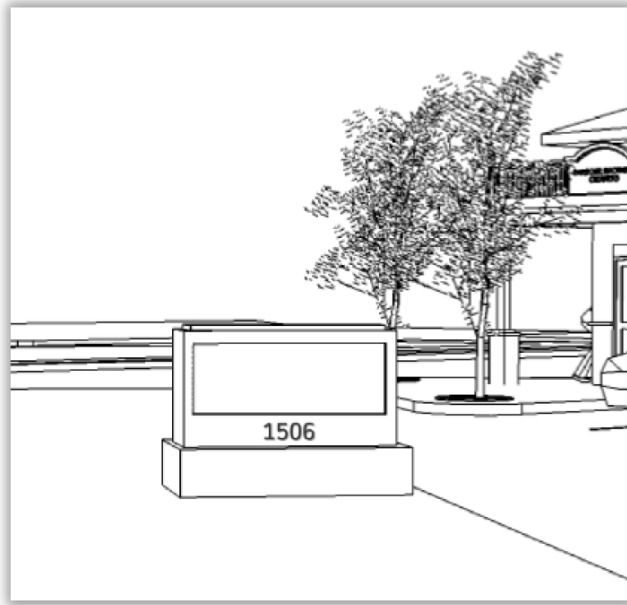


Figure 19 Address on Sign

Sec. 32-39. Electronic changeable message signs (ECM).

(a) *Regulations generally.*

- (1) Movement prohibition. Messages shall be stationary and the use of animation, flashing, traveling, scrolling or blinking characters is prohibited.
- (2) Minimum message copy interval. The message copy on electronic changeable message signs shall appear in intervals of no less than 15 seconds and transition between messages shall be instantaneous. Roll, splice, unveil, venetian, zoom, fade, dissolve, exploding, scroll and other methods of transition between messages shall not be permitted.
- (3) Pole sign prohibition. Electronic changeable message signs shall be prohibited on pole signs with the exception of billboard signs, elevated pole signs and embedded electronic message devices as per section 32-25(e).
- (4) The ECM portion on a pole sign or elevated pole sign must abut the primary sign face.
- (5) ~~Display area~~Sign area. No more than 50 percent of the maximum ~~display area~~sign area of a sign shall be devoted to an ECM display.
- (6) Display brightness shall be adjusted as ambient light levels change and shall be subject to review and regulation, as determined by the administrator. Luminance shall not exceed 0.3 foot-candles above the ambient (i.e., naturally illuminated environment) light measurement when measured from the sign face.
- (7) ECM components are not permitted within 200 feet of any dwelling unit except in those instances where dwelling units are located on the same parcel as an office or commercial use.

Sec. 32-40. Illumination.

(a) *General requirements.*

- (1) Illumination of signs shall not exceed 100 footcandles as measured on the sign face. Luminance is a measure of the light on the surface of the sign. A footcandle is a measure of luminance equal to one lumen per square foot.
 - (2) The light from any illuminated sign shall be so shaded, shielded, or directed that the light intensity or brightness will not be objectionable to the surrounding areas. No light shall shine directly onto adjacent property or the roadway.
- (b) *Externally lit signs.* Externally lighted signs are allowed in all commercial and industrial districts and for non-residential uses in residential districts, except home occupations, and shall comply with the following standards.
- (1) Sign lighting shall be of low intensity with effective provisions made to minimize spillover of light beyond the actual sign face.
 - (2) The light source shall be enclosed and directed to prevent light from shining directly onto traffic or neighboring property.
- (c) *Internally lit signs.* Internally lighted signs are allowed in all commercial and industrial districts. Sign faces shall be opaque so individual lamps are muted and cannot be distinguished behind the sign face.

Sec. 32-41. Ground sign landscaping.

- (a) Ground signs shall be landscaped ~~in order~~ to prevent damage and to screen and protect electrical components of the structure. The landscaping shall meet the following requirements:
- (1) Landscaping must extend at least two feet from the base of the sign ~~standard~~ (Figure 20). If landscaping is not possible, such as cases where signs are in parking areas, other measures, such as curbs, bollards, or methods acceptable to the administrator may be used to protect the sign.
 - (2) The length and width of the sign ~~standard (base)~~ shall be totaled to provide the linear feet around the perimeter of the ground sign. One spreading evergreen shrub shall be installed in the landscape area for each four linear feet around the ground sign subject to a minimum of four shrubs required regardless of the size of the ~~base standard~~. The shrubs shall be evenly distributed around the sign ~~standard base~~. ~~The administrator shall maintain a list of low spreading evergreen shrubs.~~

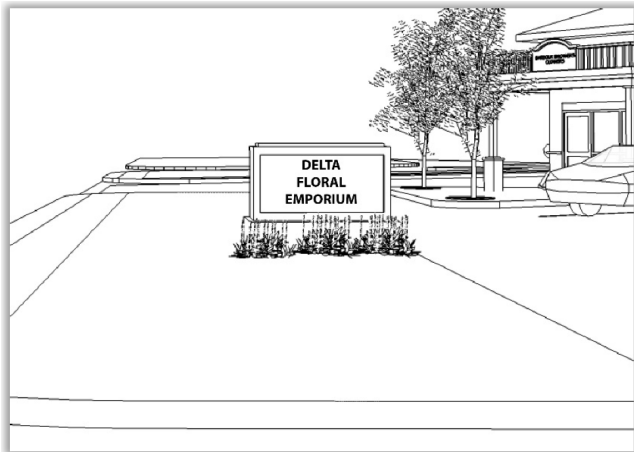


Figure 20 Ground Sign Landscaping

~~Sec. 32-42. On-premises product displays.~~

- ~~(a) *General.* Product manufacturers located on industrially-zoned properties adjacent to Interstate 69 or Interstate 96 may provide an on-premises product display of their manufactured merchandise.~~
- ~~(b) *Permit required.* An on-premises product display shall not be installed unless a permit authorizing said display has been issued by the administrator.~~
- ~~(c) *Required application contents.* Application for a permit to install an on-premises product display shall be made to the administrator by submission of the required forms, fees, exhibits and other required information by the owner, or the owner's agent or lessee, of the property on which the on-premises product display is proposed to be located. The application shall contain the following information:~~
- ~~(1) The name, mailing address and telephone number of the property owner, business owner and applicant for the permit.~~
 - ~~(2) Identification of the street address and parcel number of the parcel on which the on-premises product display is proposed to be installed.~~
 - ~~(3) A site plan, drawn to scale, accurately identifying the location of the proposed on-premises product display on the subject property.~~
 - ~~(4) A scaled drawing that accurately depicts the proposed on-premises product display and which accurately depicts the dimensions and display area of the proposed on-premises product display.~~
 - ~~(5) A brief written explanation listing the specific reason(s) an on-premises product display is needed.~~
 - ~~(6) A nonrefundable application fee as set forth within section 32-11(f).~~
- ~~(d) *Standards for displays.* The following standards shall apply to all on-premises product displays under this section:~~
- ~~(1) Products to be displayed shall be manufactured or assembled on the premises where the on-premises product display is to be located. Products to be displayed shall be actual size and in no way modified so as to be larger or smaller in dimension.~~
 - ~~(2) On-premises product display colors should accent, blend with, or complement surroundings and be compatible with materials and colors of nearby structures.~~
 - ~~(3) On-premises product displays shall be permanently constructed and shall consist of high quality durable materials.~~
 - ~~(4) On-premises product displays shall be maintained in good repair, structurally sound and in a sanitary condition. When required, all exposed surfaces shall be protected from the elements and against decay, peeling, or rust by periodic application of weather coating materials such as paint or similar surface treatment.~~
 - ~~(5) On-premises product displays shall not exceed 500 square feet in total area.~~
 - ~~(6) On-premises product displays shall not exceed 20 feet in total height; total height including any berm or any other object a product is proposed to be displayed upon. Products shall not be displayed on poles or roofs.~~
 - ~~(7) No portion of an on-premises product display shall be located within ten feet of any property line.~~
 - ~~(8) On-premises product displays shall serve only to advertise and/or display a product; products to be displayed shall not be offered for sale from the location of said display.~~
 - ~~(9) As allowed pursuant to the township's electrical code, on-premises product displays may be illuminated but said illumination shall not constitute a traffic hazard.~~

~~(10) On-premises product displays without signage shall be exempt from the calculation of the permitted sign area. On-premises product displays that propose to incorporate signage shall comply with the requirements of this chapter.~~

ARTICLE VI. UNIFIED BUSINESS ~~DEVELOPMENT~~DISTRICT

Sec. 32-43. Purpose and intent.

It is the intent of the unified business ~~development district~~ (UBD) regulations to allow flexibility in signage under a unified plan. The regulations are intended to result in a comprehensive signage plan which results in less signage overall than would typically result.

Sec. 32-44. Eligibility requirements.

- (a) *Minimum acreage.* ~~In order to~~To qualify for unified business ~~development district~~ (UBD) designation, the subject parcels must consist of a minimum of ten acres.
- (b) *Consent.* All property owners with a UBD shall sign the UBD application thereby consenting to compliance with the UBD regulations.
- (c) *Zoning.* Properties must be commercially zoned in order to qualify for UBD designation.

Sec. 32-45. Procedure.

The processing of a unified business ~~development district~~ (UBD) shall be as follows:

- (1) *Application.* Submittal of an application as provided by the administrator. A fee shall be paid as established by a resolution of the township board.
- (2) *Site plan.* A site plan shall accompany the UBD application. The site plan shall include:
 - a. A legal description of the site, dimensions of site boundary lines, total site area, north arrow, legend, graphic scale and title block containing the project name.
 - b. Location of buildings, structures, streets, parking lots, driveways, landscaped areas and easements proposed or existing on the property.
- (3) *Signage plan.* A signage plan shall accompany the UBD application. The signage plan shall include the following:
 - a. Computation of the maximum total sign area, the maximum area for individual signs, and the number of freestanding signs, both existing and proposed, on the property.
 - b. An accurate indication on the site plan of the proposed location of all signs.
 - c. An indication of sign materials, colors, height, size and illumination.
- (4) *Review and report.* The building department shall prepare a written analysis of the proposed UBD site plan and signage plan. The site plan, signage plan and staff report shall be forwarded to the sign board of appeals.
- (5) *Sign board of appeals review.* The sign board of appeals shall review the site plan, signage plan and staff report when considering a UBD request. The sign board of appeals shall have final authority as to whether a UBD designation shall be granted in whole or in part.

Sec. 32-46. Review criteria.

When reviewing the proposed unified business ~~development~~district (UBD) site plan and signage plan, the sign board of appeals shall apply the following criteria to determine its acceptance and the plan shall include the following elements:

- (1) The proposed signage shall not be contrary to the public interest or to the purpose of this chapter.
- (2) The UBD shall not cause a substantial adverse effect upon properties in the immediate vicinity of the subject parcel.
- (3) The signage plan shall provide common name identification to the public.
- (4) Shared access to parking and shared driveways within the ~~development~~district.
- (5) Shared signage shall be provided including the identification of the common name of the ~~development~~district.
- (6) The physical layout of the project shall result in a cohesive and unified development. However, the ~~development~~district may include out parcels for lease or for sale, which may be intersected by public streets.
- (7) The area proposed for the UBD shall not be a combination of individual parcels, solely assembled for the purposes of creating the UBD.
- (8) Signs shall be organized such that visual clutter is reduced and signs are integrated with other elements of the property such as architecture and landscaping.
- (9) Signs shall be designed and constructed in a manner that allows pedestrians and motorists to identify, interpret and respond in an efficient and safe manner to information contained on the signs.
- (10) The primary purpose of signs within the UBD shall be for identification rather than advertising.

Sec. 32-47. Waiver authority.

The sign board of appeals shall have authority to waive the following provisions of this chapter:

- (1) Off-premises signs, not ~~to include~~including signs placed in public rights-of-way, may be permitted.
- (2) The maximum ~~display area~~sign area and maximum height of permitted individual signs may be increased by a maximum of 25 percent.
- (3) Properties may be permitted to have an individual ~~business~~sign in addition to being permitted a ~~unified~~business ~~district center~~sign.

Sec. 32-48. Sign restrictions.

The following requirements shall apply to all signs within a unified business ~~development~~district (UBD):

- (1) The total sign area permitted for all signs within a UBD shall not exceed 75 percent of the sign area permitted under the sign ordinance regulations.
- (2) Mobile signs, as defined herein, shall not be permitted on properties for which a UBD has been approved.
- (3) Within the area of the UBD, spacing between business center signs shall be a minimum of 500 feet.

Sec. 32-49. Amendments.

A unified business ~~development~~district (UBD) signage plan may be amended by filing a new site plan and signage plan along with an application and the fee with the building division. The plan shall be submitted to the sign board of appeals and the criteria in sections 32-46, 32-47 and 32-48 applied.

Sec. 32-50. Existing signs.

If a unified business ~~development~~district (UBD) application is filed for a property on which existing signs are located, the signage plan shall include a schedule for bringing into conformance, no later than three years from the date of the sign board of appeals approval of the UBD, all signs not conforming to the UBD signage plan.

Sec. 32-51. Binding effect.

- (a) Following approval of the signage plan for the unified business ~~development~~district (UBD), no sign shall be erected, placed, painted, or maintained, except in conformance with the approved plan. Normal maintenance and repair of signs shall not be subject to the signage plan for the UBD.
- (b) The signage plan for the UBD shall be enforced in the same way as any provision of this chapter.
- (c) The UBD signage plan shall be binding on the property owners and their successors, assigns, tenants, and subtenants. A copy of the UBD signage plan shall be filed at the township clerk's office.
- (d) The existence of a UBD shall be noted in all leases pertaining to properties on which a UBD has been granted by the sign board of appeals. A deed restriction, acknowledging the existence of a UBD on the subject parcel, shall be recorded at the county register of deed's office and said restriction shall be binding on the property owners and their successors, assigns, tenants and subtenants. In addition, any sale of property on which a UBD has been granted shall include a disclosure regarding the UBD on the property.



To: Acting Supervisor Mary R. Clark and the Delta Township Board
From: Peter Menser, Planning & Economic Development Director
Date: November 14, 2024
Subject: Self-storage facilities in Commercial zoning

Over the last year, staff has received several inquiries from companies interested in developing self-storage facilities in Delta Township, mostly on properties along W. Saginaw Hwy. Further, during the recent consideration of a rezoning and two special land use permit applications (SLUP) for Delta Crossings, a submitted conceptual development plan depicts a self-storage facility slated for Phase 6 of that project. Staff are concerned about these types of facilities as it relates to maintaining the viability of the W. Saginaw Hwy. corridor and other commercial properties in the Township. Self-storage facilities are cheap to develop and lucrative to investors, but are inactive land uses, provide few jobs, and represent an opportunity cost that could displace more desirable future development.

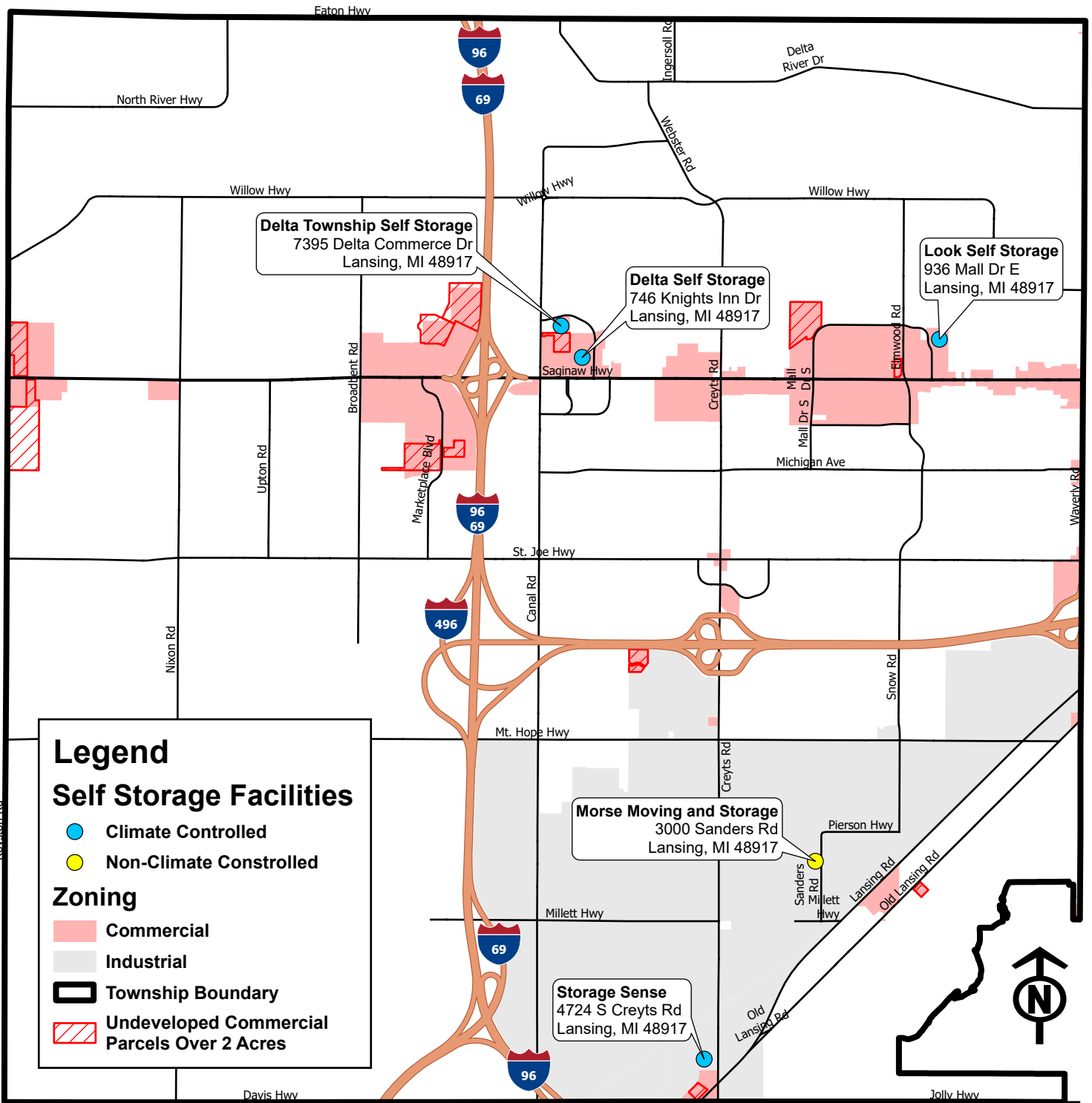
Currently, the Township's Zoning Ordinance allows self-storage facilities as a use allowed by approval of a SLUP in both the Industrial and Commercial zoning districts on parcels at least two acres in size. To date, there are five facilities in the Township, three in Commercial zoning districts and two in Industrial zoning districts. There are approximately 43 self-storage facilities in the greater Lansing area. To address the issues identified above, staff is suggesting that the Board consider removing self-storage facilities from the list of uses permitted in Commercial zoning districts and limit them to being developed only on properties zoned Industrial. Industrial zoning may be more appropriate given that self-storage facilities do not rely as much on high-traffic locations, are passive land uses that provide little spin-off economic activity, and typically are constructed using a building form that might better match those in an industrial area.

The proposed zoning amendment aligns with the "Improve Saginaw Highway" objective identified in the Board's 2021-2026 Strategic Plan. It also aligns with the general mission of the W. Saginaw Hwy. Corridor Improvement Authority (CIA) to revitalize and reinvigorate the W. Saginaw Hwy. corridor. The process to amend the Zoning Ordinance begins with initiation of an amendment by the Township Board, referral to the Planning Commission for a public hearing and recommendation on the proposal, followed by final consideration and potential adoption by the Township Board. Staff suggests the following motion to initiate a zoning amendment and refer the proposal to the Planning Commission:

"I move that the Delta Township Board initiate a zoning amendment to amend Table 4.18-B.1 in Section 4.18 (District Use Table) of the Delta Township Zoning Ordinance to remove self-storage facilities as a use permitted in the (C) Commercial zoning district and refer the amendment to the Planning Commission to hold a public hearing and provide a recommendation."

[Return to Agenda](#)





Delta Charter Township
7710 W. Saginaw Highway
Lansing, MI 48917
517.323.8500



**Self Storage Facilities
Location Map**