



AGENDA
DELTA CHARTER TOWNSHIP PLANNING COMMISSION
MEETING DELTA TOWNSHIP ADMINISTRATION BUILDING
7710 WEST SAGINAW
HIGHWAY MEETING ROOM A
MONDAY, SEPTEMBER 13, 2021, REGULAR MEETING
6:00 P.M.

MASKS WILL BE REQUIRED TO BE WORN BY THOSE ATTENDING THIS MEETING

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIENCE
- III. ROLL CALL
- IV. APPROVAL OF AGENDA
- V. APPROVAL OF MINUTES
 - a) Minutes of the August 23, 2021 Planning Commission Meeting.
 - b) Summary Record of Public Hearing for Case No. 7-21-09: Rezoning Request for a 6.41-acre parcel located on the east side of Broadbent Road, immediately north of the Regency at Lansing West Skilled Nursing Facility, in Section 9 of Delta Township; to rezone the subject parcel from AG2, Agricultural/Residential to RM, Multiple-Family Residential. Petitioner: West Lansing Retail Development III, LLC, 30300 Telegraph Road, Suite 280, Bingham Farms, MI. 48025.
 - c) Summary Record of Public Hearing for Case No. 7-21-09: Special Land Use Permit Request for a 4.25-acre parcel located on the northwest corner of Standard Drive and North Waverly Road in Section 1 of Delta Township. Request is for a Special Land Use Permit for a Place of Worship. Petitioner: Shekhinah International Church, 4625 Bristol St., Lansing, MI. 48910
- VI. CITIZEN COMMENTS FOR ITEMS NOT ON THE AGENDA
- VII. CORRESPONDENCE
- VIII. OLD BUSINESS – None

IX. PUBLIC HEARINGS

- a) Case No. 8-21-10: Special Land Use Permit Request for an expansion to the existing Delta Township Wastewater Plant, being a Major Essential Service Facility, located at 7000 West Willow Highway, on the north side of West Willow Highway, approximately 650 feet west of Lindy Drive, in Section 3 of Delta Township. Petitioner: Delta Charter Township, 7710 W Saginaw Hwy, Lansing, MI 48917.
- b) Case No. 8-21-11: Special Land Use Permit Request for a 130-foot-tall communications tower on the site of the Delta Township Wastewater Treatment Plant located at 7000 West Willow Highway, on the north side of West Willow Highway, approximately 650 feet west of Lindy Drive, in Section 3 of Delta Township. Petitioner: Delta Charter Township, 7710 W Saginaw Hwy, Lansing, MI 48917.
- c) Case No. 8-21-12: Special Land Use Permit Request for a restaurant with a drive-through window in "Building G" of the Delta Crossings retail development located on the west side of the main entrance drive into the development due north side of the Paradise Motors site, in Section 9 of Delta Township. Petitioner: West Lansing Retail Development LLC, 30300 Telegraph Rd., Suite 280 Bingham Farms, MI 48025.
- d) Adoption and Transmittal of the 2022-2027 Capital Improvements Program.

X. OTHER BUSINESS

Preliminary Site Plan Review: Delta Crossings – At Home 88,300 square-foot retail building on 9.22 acres adjacent west of the BJ's Wholesale Club (under construction) on the north side of Saginaw Highway, west of Marketplace Boulevard, in Section 9 of Delta Township. West Lansing Retail Development II, LLC, 30300 Telegraph Road, Suite 280, Bingham Farms, MI. 48025.

XI. PLANNING DIRECTOR COMMENTS

XII. PLANNING COMMISSIONER COMMENTS

XIII. ADJOURNMENT

Individuals with disabilities attending Township meetings or hearings and requiring auxiliary aids or services should contact Township Manager and ADA Coordinator Brian T. Reed by email at manager@deltami.gov or calling (517) 323-8590 to inform him of the date of the meeting or hearing that will be attended.

**CHARTER TOWNSHIP OF DELTA PLANNING COMMISSION MINUTES OF
AUGUST 23, 2021**

I CALL TO ORDER

Chairman Schweitzer called the meeting to order at 6:00 p.m.

II PLEDGE OF ALLEGIANCE

III ROLL CALL

Members Present: Bradley, Mudry, McConnell, Elsinga, Schweitzer, and Hunt-Proctor.

Members Absent: Kosinski, Meddaugh, and Weinfeld

Others Present: Assistant Planning Director Dave Waligora and Planner Matt McKernan

IV APPROVAL OF AGENDA

MOTION BY MCCONNELL, SECONDED BY MUDRY, THAT THE AGENDA BE APPROVED AS SUBMITTED. VOICE VOTE. CARRIED 6-0.

V APPROVAL OF MINUTES

- Minutes of the July 12, 2021 Planning Commission Meeting.
- Summary Record of Public Hearing for Case No. 6-21-08: Special Land Use Permit Request for Place of Worship Incidental/Ancillary Uses, 5401 W. St. Joe Hwy., SE corner of W. St. Joe Hwy. and Powderhorn, Section 23, Delta Township.

MOTION BY BRADLEY, SECONDED BY MUDRY, THAT THE MINUTES OF THE JULY 12, 2021 PLANNING COMMISSION MEETING, AND THE SUMMARY RECORD OF PUBLIC HEARING FOR CASE NO. 6-21-08: SPECIAL LAND USE PERMIT REQUEST FOR PLACE OF WORSHIP INCIDENTAL/ANCILLARY USES, 5401 W. ST. JOE HWY., SE CORNER OF W. ST. JOE HWY. AND POWDERHORN, SECTION 23, DELTA TOWNSHIP, BE APPROVED AS SUBMITTED. VOICE VOTE. CARRIED 6-0.

VI CITIZEN COMMENTS FOR ITEMS NOT ON THE AGENDA - None

VII CORRESPONDENCE – None

CHARTER TOWNSHIP OF DELTA PLANNING COMMISSION MINUTES OF JULY 12, 2021 - PAGE 2

VIII OLD BUSINESS – None

IX PUBLIC HEARINGS

- a. Case No. 7-21-09:** Rezoning Request: 6.41-acre parcel, located on the east side of Broadbent Road, immediately north of the Regency at Lansing West Skilled Nursing Facility, in Section 9 of Delta Township. Request is to rezone the subject parcel from AG2, Agricultural/Residential to RM, Multiple-Family Residential. Petitioner: West Lansing Retail Development III, LLC, 30300 Telegraph Road, Suite 280, Bingham Farms, MI. 48025.

(Summary Record of Public Hearing is filed under a separate cover.)

- b. Case No. 7-21-10:** Special Land Use Permit Request: 4.25-acre parcel located on the northwest corner of Standard Drive and North Waverly Road in Section 1 of Delta Township. Request is for a Special Land Use Permit for a Place of Worship. Petitioner: Shekhinah International Church, 4625 Bristol St., Lansing, MI. 48910.

(Summary Record of Public Hearing is filed under a separate cover.)

X OTHER BUSINESS - None

XII PLANNING DIRECTOR COMMENTS

XII PLANNING COMMISSIONER COMMENTS

Ms. Bradley inquired about the request for a drive-in theater the Commission reviewed on the former Lansing Mall theater site.

Mr. Waligora informed the Commission that the applicant wishes to withdraw his request for a drive-in theater but had not formally done so yet. He noted that the applicant received an occupancy permit for a comedy club inside of the building.

Ms. Bradley complimented staff on their very comprehensive and thorough reports.

XIII ADJOURNMENT

MOTION BY MCCONNELL, SECONDED BY ELSINGA, THAT THE MEETING BE ADJOURNED. VOICE VOTE. CARRIED 6-0.

Chairperson Schweitzer adjourned the meeting at 6:57 p.m.

**CHARTER TOWNSHIP OF DELTA PLANNING COMMISSION MINUTES OF JULY
12, 2021 - PAGE 3**

Respectfully Submitted,

Merritta Hunt-Proctor, Secretary

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Summary Record of Public Hearing for Case No. 7-21-09: Rezoning Request for a 6.41-acre parcel located on the east side of Broadbent Road, immediately north of the Regency at Lansing West Skilled Nursing Facility in Section 9 of Delta Township. Request is to rezone the subject parcel from AG2 Agricultural/Residential, to RM, Multiple-Family Residential. Petitioner is West Lansing Retail Development III, LLC, 30300 Telegraph Road, Suite 280, Bingham Farms, MI. 48025

Members in attendance: Bradley, Mudry, McConnell, Elsinga, Schweitzer, and Hunt-Proctor

Members absent: Kosinski, Meddaugh, and Weinfeld

Assistant Planning Director David Waligora presented the case by noting that the Township was in receipt of a rezoning request for 6.41-acres to accommodate an expansion of Phase 3 of the Delta Crossing Multi-Family residential development. Mr. Waligora reviewed adjacent land uses and their zoning classifications and significant elements of the 2013 Comprehensive Plan. He indicated that the Future Land Use Map recommends Office uses for the subject parcel in order to provide a buffer between commercial activities located to the south and the single-family areas located to the north and to the west. Mr. Waligora reminded the Commission that property located to the east was rezoned from Agricultural to RM, Multiple-Family Residential, a few months ago and that the subject parcel was originally planned to be used for the Carlson Road extension that would utilize an existing road easement. However, now that the developer has purchased the subject parcel, a straighter alignment of Carlson Road can be achieved, as well as provide a possible location for a clubhouse for the multi-family residential portion of the development.

Mr. Waligora reviewed physical site characteristics of the site, the fact that public utilities were available to serve the site, and that storm drainage would be directed to a series of regional detention ponds located to the north. Access to the site would be provided via Broadbent Road and the future Carlson Road extension and secondary access would be achieved via Marketplace Boulevard to the south. As development progresses, there will be a north-south connection available at Marketplace Boulevard. Mr. Waligora proceeded to review the criteria specified for rezoning in Section 16.04 of the Zoning Ordinance and how the proposed rezoning met those criteria. He felt that with the increased roadways and connectivity within the Delta Crossings development, it would lessen the impact at the Broadbent/Saginaw Highway intersection and provide other opportunities for access other than Saginaw Highway.

Mr. Waligora read the following correspondence into the record that was received by staff pertaining to the request this evening.

Anne Swink

From: David Waligora
Sent: Monday, August 23, 2021 1:18 PM
To: Meddaugh, Michael (MDOT); Gary Bozek; Jim Schweitzer; Arnold Weinfeld; mchp1; Personal; Rachel Elsing; 'kosins10@comcast.net'; L. Robert McConnell; 'mudrymj@aol.com'
Cc: Matthew McKernan; Anne Swink; Mary Worland; Mary Clark; Kathleen Krancich; Brian Reed; David Marquette
Subject: FW: Public Hearing Case No.02-21-03

FYI

From: raesper1@aol.com <raesper1@aol.com>
Sent: Monday, August 23, 2021 1:15 PM
To: David Waligora <DWaligora@deltami.gov>
Subject: Public Hearing Case No.02-21-03

Hi Brian,

My name is Richard Esper and my wife Lisa and I live at 12256 E Greenfield Rd. I am responding to the notice we received regarding the rezoning request along Broadbent & Carlson roads. We are opposed to rezoning this land from agricultural/residential to Rm, Multiple Family Residential as this will negatively impact our property & subdivision with increased Traffic, Noise, not to mention the roads are in extremely poor condition and are not able to handle the increased traffic with all the other developments east of this area. Also History shows Crime will increase within housing developments. We feel this development is not in the best interest to maintain a positive neighborhood atmosphere and will negatively impact property values and make homes less desirable in the future for the reason stated.

Thank You,
Richard & Lisa Esper
12256 E Greenfield Rd

CAUTION: This email originated from outside of the Delta Township organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

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Ms. Bradley inquired about the construction of a clubhouse.

Mr. Waligora noted that the developer envisioned building a clubhouse on the subject parcel in the future, but he reminded the Commission that once the rezoning was approved, any building permitted in the RM zoning district could be constructed that complied with setback and size requirements.

Mr. Schweitzer questioned if the 10-foot pathway would extend to Broadbent Road.

Mr. Waligora said there would be an east-west 10-foot pathway on both sides of the road.

Mr. McConnell asked how close the rezoning came to the existing development to the north.

Mr. Waligora said the closest residential neighborhood would be the parcels located on the west side of Broadbent Road.

Mr. Schweitzer inquired about the deteriorated condition of Broadbent Road north of Saginaw Highway.

Mr. Waligora indicated that the Road Commission is aware of the condition of Broadbent Road. The Road Commission plans on making improvements to the roadway once a significant portion of construction for Delta Crossings has commenced in an effort to save the new road from deteriorating.

Ross Valentine, representing K-2 Development, 3300 Telegraph Road, Bingham Farms, Michigan, 48025, noted that there would be a connection to Broadbent Road. He informed the Commission that they had the opportunity to purchase the subject parcel and if the rezoning is approved, they planned on constructing a clubhouse. Mr. Valentine stated that they didn't know what the final design would be at this time, but if the rezoning is approved, they would submit a final site plan.

Mr. Mudry felt the subject parcel was rather small considering the overall plan for the multi-family development.

Mr. Valentine said they were not planning on building additional buildings on the subject parcel, but rather they felt this would be a good location for a clubhouse where there was access so that motorists would not have to come through the commercial portion of the development.

Mr. Schweitzer asked if there was anyone in the audience who would like to speak on the request this evening.

There was no one.

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MOTION BY MCCONNELL, SECONDED BY MUDRY, THAT THE PUBLIC HEARING BE CLOSED. VOICE VOTE. CARRIED 6-0.

MOTION BY MUDRY, SECONDED BY BRADLEY, THAT THE DELTA TOWNSHIP PLANNING COMMISSION RECOMMEND TO THE TOWNSHIP BOARD APPROVAL OF THE REZONING REQUEST TO REZONE THE PROPERTY DESCRIBED IN CASE NO. 7-21-09 FROM AG2, AGRICULTURAL/RESIDENTIAL, TO RM, MULTIPLE FAMILY RESIDENTIAL, BEING THAT THE PROPOSED REZONING REQUEST COMPLIES WITH THE CRITERIA SPECIFIED FOR REZONING IN SECTION 16.04 (CRITERIA FOR AMENDMENT TO THE OFFICIAL ZONING MAP) OF THE DELTA TOWNSHIP ZONING ORDINANCE.

ROLL CALL VOTE. CARRIED 6-0.

Respectfully submitted,

Merritta Hunt-Proctor, Secretary

Summary Record of Public Hearing for Case No. 7-21-10: Special Land Use Permit Request for a 4.25-acre parcel located on the northwest corner of Standard Drive and North Waverly Road in Section 1 of Delta Township. Request is for a Special Land Use Permit for a Place of Worship. Petitioner is Shekhinah International Church, 4625 Bristol Street, Lansing, Michigan 48910.

Members in attendance: Bradley, Mudry, McConnell, Elsinga, Schweitzer, and Hunt-Proctor

Members absent: Kosinski, Meddaugh, and Weinfeld

Planner Matt McKernan informed the Commission that Places of Worship within the RB, Low Density Residential, zoning district required a Special Land Use Permit. The applicant wishes to construct a 6,864 square foot building at the northwest corner of Standard Drive and Waverly Road. Mr. McKernan noted that if the Special Land Use Permit is granted, the applicant will be required to submit a site plan illustrating a sidewalk along Standard Drive. The Township's Engineer did not recommend the installation of a sidewalk along Waverly Road currently due to non-connectivity to other sidewalks. The site plan will also include a landscaping plan and a rendering of the building. Mr. McKernan noted that after the Township Engineer's tentative review of the site plan, he did not raise any concerns and he felt all of the Township's requirements could be met.

Mr. McKernan provided a brief review of the General Review Standards for Special Land Use Permits by indicating that Places of Worship are required to have a primary access on a primary road which would minimize traffic concerns for the adjacent residential neighborhood. The applicant had indicated that their services will include live music, but the building design would eliminate 80% of the noise and that the applicant intended to install additional soundproofing measures. Mr. McKernan pointed out that the nearest occupied structure is located approximately 350 feet away from the proposed church building on the east side of Waverly Road and that staff did not anticipate noise being an issue. He noted that site plans were sent to the Ingham County Road Commission, who had jurisdiction over Waverly Road, but staff had not received any comments back at this time. If the Ingham County Road Commission denied access on Waverly Road, access would have to be provided via Standard Drive which would require a variance from the Township's Zoning Board of Appeals.

Mr. McKernan read the following correspondence from Nancy and Bob Chapman of 3124 Preakness Way into the record that was received by staff pertaining to the request this evening:

"As residents of the neighborhood, just a block or so away from the parcel Shekhinah would like to build on, we wanted to express our support for the SUP. It seems like a very good use for that parcel which in many ways represents the entrance to our subdivision. There are not a lot of good options for that particular parcel, but we think Shekhinah would be a welcome addition to the neighborhood. Having a well-maintained church and grounds there would also improve the visual entrance to the subdivision."

Mr. McKernan pointed out that his staff report indicated that the church would hold "bi-weekly"

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services and that the staff report should be corrected to read “twice weekly” services.

Laurie McMatre, 2001 West Mt. Hope Avenue, Apt. 106, Lansing, Michigan, said she is an elder for Shekhinah International Church and she wanted to thank staff for the work they had put into their request. Ms. McMatre noted that the church was in the process of purchasing the property contingent upon receiving approval for the Special Land Use Permit.

Stephanie Buckwick from Shekhinah International Church provided the Commission with a PowerPoint presentation that provided an overview of the churches' mission and outreach programs.

Mr. McConnell questioned if the church had a current facility.

Ms. Buckwick said approximately five years ago, they partnered with an African American church in Lansing but now that the building will be paid off this year, there was no reason to partner with them anymore which was why they were looking to build their own facility.

Mr. Schweitzer asked if there was anyone in the audience who would like to speak on the request this evening.

Henderson Bodiford, 3232 Pinto Circle, said he and his wife had been residents of the Saratoga Woods subdivision for 24+ years. He questioned what type of structure would be constructed and whether a real-estate analysis had been done in regard to property values in the neighborhood.

Ms. Buckwick said it was their goal to construct a one-story building that would be very appealing to the neighbors and add to the value of the adjacent neighborhoods.

Mr. McKernan said churches were a common use in residential areas and he didn't anticipate them impacting property values.

Dave Evans, 4525 Arabian Circle, Lansing, Michigan, said he and his wife had lived in the Saratoga subdivision for 25 years and he questioned if there was a drainage issue to the north.

Mr. McKernan said the subject parcel had been mistakenly designated as a wetland and that storm drainage would be directed to the north where the property experienced wetness.

Mr. Evans questioned if Franette Street was the applicant's northern property line.

Mr. McKernan said that was correct.

Mr. Evans questioned if notices about the meeting this evening were sent out.

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Mr. McKernan said meeting notices were sent to all property owners within 300 feet of the subject parcel.

Mr. Evans questioned how many parking spaces the church would have.

Mr. McKernan said there would be approximately 50 parking spaces. He noted that the church would be required to go through site plan review before the Planning Commission, but residents would not be given notice of the meeting. He encouraged Mr. Evans to contact the Planning Department for updates on meeting dates.

Mr. Evans noted that he had concerns about property care and appearance.

Ms. Buckwick noted that the church would take into consideration any suggestions the residents may have on landscaping preference.

Mr. Schweitzer pointed out that there were Township landscaping standards the applicant would be required to meet.

MOTION BY MCCONNELL, SECONDED BY MUDRY, THAT THE PUBLIC HEARING BE CLOSED. VOICE VOTE. CARRIED 6-0.

MOTION BY BRADLEY, SECONDED BY MUDRY, THAT THE DELTA TOWNSHIP PLANNING COMMISSION RECOMMEND TO THE DELTA TOWNSHIP BOARD APPROVAL OF THE SPECIAL LAND USE PERMIT FOR A PLACE OF WORSHIP REQUESTED BY SHEKHINAH INTERNATIONAL CHURCH AS DESCRIBED IN CASE NO. 7-21-10 FOR THE FOLLOWING REASONS:

- 1. THE SPECIFIC USE STANDARDS IN SECTION 8.19 HAVE BEEN MET.**
- 2. THE SPECIAL LAND USE STANDARDS SET FORTH IN SECTION 7.03 OF THE DELTA TOWNSHIP ZONING ORDINANCE HAVE BEEN MET.**

CONDITIONS OF APPROVAL:

- 1. PRELIMINARY SITE PLANS REVIEW FOR SHEKHINAH INTERNATIONAL CHURCH SHALL BE CONDUCTED BY THE PLANNING COMMISSION.**
- 2. FAILURE OF THE APPLICANT TO COMPLY WITH ANY OF THE PROVISIONS REQUIRED BY THE DELTA TOWNSHIP ZONING ORDINANCE, OR ANY STIPULATIONS REQUIRED BY THE DELTA**

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**TOWNSHIP BOARD, SHALL CONSTITUTE GROUNDS FOR
TERMINATION OF THE SPECIAL LAND USE PERMIT BY THE
DELTA TOWNSHIP BOARD.**

ROLL CALL VOTE. CARRIED 6-0.

Respectfully submitted,

Merritta Hunt-Proctor, Secretary

<https://deltami2.sharepoint.com/sites/DELTAPlanningDepartment/Shared Documents/General/Anne Swink/MIN/2021 PC/Shekhinah Church.doc>

Planning Commission

Special Use Permit-Essential Services, Major Delta Township Wastewater Treatment Plant Section 3

Meeting Date:
September 13, 2021

Report Date:
September 7, 2021

Case No: 08-21-10

Applicant:
Delta Township

Location
7000 W. Willow Hwy

Parcel Numbers:
040-003-300-300-00 &
040-003-300-270-00

Current Zoning District:
AG2-
Agricultural/Residential

Proposed Request:
Special Land Use Permit
for an amendment to an
existing Major Essential
Service.

Report Prepared by:
Matt McKernan,
Planner



Overview

A request to expand the existing Delta Township Wastewater Treatment plant, requiring an amendment to an existing Special Land Use Permit for a Major Essential Service.

Related Documents

- Application
- Site Plans dated 7/30/21

Existing Land Use:

Delta Township Wastewater Treatment Plant

Surrounding Zoning and Land Use:

North: AG2-Agricultural/Residential: Single-family home & Delta Mills Park

East: RB-Low Density Residential: Armstrong Hills Subdivision

South: RB-Low Density Residential-Creoside Condominiums

West: AG2-Agricultural/Residential: Undeveloped Township Property

Zoning History:

1970: E-Agricultural

1974: A2-Limited Agricultural

1990: A2-Agricultural/Residential

2017: AG2-Agricultural/Residential

Overview:

The Delta Township Wastewater Treatment Plant has exceeded its life cycle and needs to be re-constructed with increased capacity to accommodate future growth. The Wastewater Treatment Plant was originally constructed in 1965 and subsequently expanded in 1972 and 1982. The proposed expansion requires an amendment to the existing Special Land Use Permit, which necessitates a public hearing before the Planning Commission and approval from the Township Board. The wastewater treatment plant expansion will be subject to site plan review by the Planning Commission if the Special Land Use Permit is approved.

The expansion will require the removal of the control/administration building, 2 waste sludge storage buildings, a chemical storage building, a large clarifier, and an additional storage building in the southeast corner of the existing site. Three additional buildings will be removed to the northeast of the primary clarifier building in the center of the site.

The expansion will consist of a headworks building in the southeast corner of the site and a new electrical building connected to the existing sludge building along W. Willow Highway. The largest portion of the expansion will occur in the center of the site with a laboratory/control building, 5 aeration tanks, 4 clarifiers, and a filtration disinfection building.

The Special Land Use Permit request is concurrent with Case No. 08-21-11, which is a request for a 130-foot-tall radio tower associated with the operation of the Wastewater Treatment Plant operation.

Delta Township is in the process of adjusting the property lines of the wastewater treatment plant site to separate it from Delta Mills Park. The proposed property lines conform to setback standards for Major Essential Services. Further information is available in the application packet.

Standards of Review

The Planning Commission and Township Board must review and discuss the *General Review Standards for all Special Land Uses (Section 7.03)* and *Section 8.24 Essential Services, Major*.

Section 7.03 General Review Standards for all Special Land Uses

- 1. The proposed Special Land Use shall be compatible and in accordance with the goals, objectives and policies of the Delta Charter Township Comprehensive Plan and any associated sub-area and corridor plans.**

The proposed Special Land Use request is consistent with the 2013 Delta Township Comprehensive Plan, which anticipated that an expansion to the Wastewater Treatment Plant would be necessary in the immediate future to accommodate anticipated growth.

2. ***Be constructed, operated, and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed. A Special Land Use shall be designed and constructed as to not create a significant detrimental impact, as compared to the impacts of permitted uses.***

The wastewater treatment plant has been operational since 1965. Expanding the footprint of the operation will not fundamentally alter the residential character of the surrounding area.

3. ***Be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, water, and sewage facilities. Such services shall be provided and accommodated without an unreasonable public burden.***

The proposed expansion will not significantly impact traffic along W. Willow Highway. The wastewater treatment plant expansion will help the Township's sanitary sewer to function at a higher capacity.

4. ***Not involve uses, activities, processes, materials and equipment or condition of operation that will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors, or other such nuisance in comparison to the impacts associated with typical permitted uses.***

The wastewater treatment plant has been in operation since 1965 and hasn't been a source of significant traffic or noise nuisances. Due to the nature of wastewater treatment, odor is occasionally a concern. Most of the expansion is being done away from the more densely populated residential areas to the east and south of the site. Additionally, several odor control stations are being added to reduce the amount of odor escaping the site as much as possible.

5. ***The proposed Special Land Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e., volumes); types of traffic, access location and design, circulation, and parking design; street and bridge capacity; and traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion. The applicant shall comply with the Township's Complete Street Ordinance.***

The proposed wastewater treatment plant expansion is not expected to impact pedestrian or vehicle traffic along W. Willow Highway

6. ***The nature and character of the activities, processes, materials, equipment, or conditions of operation, either specifically or typically associated with the use shall be reviewed.***

The proposed expansion will not fundamentally alter the use of the site. The site has been used as a wastewater treatment plant since 1965.

7. ***Measures shall be taken to ensure that outdoor activity, storage, and work areas will be compatible with adjacent land uses.***

Nearly all the homes in the immediate vicinity of the site were built after the wastewater treatment plant opened in 1965. The wastewater treatment plant works to mitigate odor concerns, which are the most common complaint about the facility. The proposed expansion includes two odor control stations, which are intended to help mitigate odors from the site.

- 8. The proposed Special Land Use shall be designed, constructed, operated, and maintained to meet the stated intent of the zoning district and shall comply with all applicable ordinance standards.**

The proposed use meets all pertinent ordinance standards.

- 9. The general standards and requirements of this Section are basic to all uses authorized by Special Land Use approval. The specific and detailed requirements relating to particular uses and area requirements must also be satisfied for those uses.**

The specific use standards for Major Essential Services are outlined in Section 8.24 of the Zoning Ordinance and are reviewed below:

Section 8.24 Essential Services, Major

- A. Major essential service installations shall be exempt from compliance with the minimum setback, height, lot area, and lot coverage standards for the zoning district in which they are located; however, no portion of any building or structure servicing a major essential service installation shall be located within twenty (20) feet of a property line.**

All structures associated with the Wastewater Treatment Plant are setback at least 20 feet from adjacent property lines.

- B. The Zoning Administrator may require screening of above ground equipment and structures for major essential service installations.**

The wastewater treatment plant screened from the residential properties to the north and south by a landscaped berm. The operation is shielded from the east and west by wooded properties owned by Delta Township. Staff finds that additional screening is unnecessary.

- C. Landscaping shall be required for major essential service installations by the Zoning Administrator.**

The site plan indicates that a landscaped berm will be added next to the eastern entrance on W. Willow Highway. There is an existing landscaped berm between the two site entrances on W. Willow Highway.

Staff Recommendation

The following motion is offered if the Planning Commission is inclined to approve the Special Land Use Permit for the Delta Township Wastewater Treatment Plant:

*"I move that the Planning Commission recommend to the Delta Township Board, **approval** of the Special Land Use Permit for Essential Services, Major to allow for the expansion of the Delta Township Wastewater Treatment Plant as described in Case No. 08-21-10 for the following reasons:*

1. The specific use standards in Section 8.24 have been met.
2. The Special Land Use standards set forth in Section 7.03 of the Delta Township Zoning Ordinance have been met.

Conditions of Approval:

1. Final site plans for the Wastewater Treatment Plant will require Planning Commission approval.
2. Failure of the applicant to comply with any of the provisions required by the Delta Township Zoning Ordinance, or any stipulations added by the Delta Township Planning Commission or Township Board, shall constitute grounds for termination of these Special Land Use Permit.



DELTA CHARTER TOWNSHIP

Planning Department
7710 West Saginaw Highway
Lansing, Michigan 48917

Phone: (517) 323-8560 Fax: (517) 323-8599

**SPECIAL LAND USE
PERMIT APPLICATION**

1. **APPLICANT:** Name: Ernie West Delta Charter Township
(Last) (First) (M.I.)

Address: 7710 W Saginaw Highway, Lansing MI 48917
(No. & Street) (City) (State) (Zip)

Phone Nos: (517) 816-8290 (517) 719-5497
(Work) (Home) (Cell) (Fax)

2. **APPLICANT'S INTEREST IN PROPERTY:** Owner

3. **OWNER:** Name: Delta Charter Township
(Last) (First) (M.I.)

Address: 7710 W Saginaw Highway, Lansing MI 48917
(No. & Street) (City) (State) (Zip)

Phone Nos: (517) 816-8290 (517) 719-5497
(Work) (Home) (Cell) (Fax)

4. **REQUESTING SPECIAL LAND USE PERMIT FOR (Specify Use):** Expansion of Existing Waste Water Treatment Plant, Requiring an amended special land use permit for the proposed site use.

5. **LEGAL DESCRIPTION OF PROPERTY:** _____
Attached Separately

6. **ADDRESS OF PROPERTY:** 7000 W Willow HWY, Lansing, MI 48917

7. **PRESENT USE OF PROPERTY:** Waste Water Treatment Plant

8. **ATTACH REQUIRED SITE PLAN DRAWING:** Section 7.02 A.1. of the 2017 Delta Township Zoning Ordinance requires all Special Land Use Permit applications to be accompanied by five (5) paper copies and a digital PDF format copy of a site plan meeting the requirements of Section 6.02 A.2.

9. **NAMES & ADDRESSES OF ALL OTHER PERSONS, FIRMS, OR CORPORATIONS HAVING A LEGAL INTEREST IN THE PROPERTY:** _____

10. **APPLICANT'S SIGNATURE:**

X _____ Date: _____

11. **OWNER'S SIGNATURE:**

X _____ Date: _____

-OFFICIAL USE ONLY-	
CASE NO:	_____
FILING DATE:	_____
REC'D BY:	RECEIPT NO: _____
PC ACTION:	DATE: _____
BOARD ACTION:	DATE: _____
EFFECTIVE DATE:	_____



**Delta Mills Park & Delta Township Wastewater Treatment Plant (WWTP) Property History
Narrative
Delta Township Engineering Department
August 19, 2020**

Background

As part of the planned WWTP Major Capital Improvements project beginning design in August of 2020, survey and a title search were conducted on three parcels of land on which sits the current Delta Township WWTP (see attachment #1). The title search identified three Declaration and Notice documents (see attachment #2) associated with parcel number 040-003-300-286-00. These documents were recorded by Delta Township between 2017 and 2019, to comply with Michigan Department of Natural Resources grant funding requirements for three different grants received for improvements made to Delta Mills Park. These documents encumbered this parcel of land with restrictions for use of the property for outdoor public recreation uses only. However, this parcel has been historically shared between the WWTP and Delta Mills Park uses.

With the upcoming Major Capital Improvements project at the WWTP, a portion of the un-developed property situated on the shared parcel, within the existing fenced boundary of the WWTP, will be used for an expansion of the WWTP.

History

The Delta Township WWTP was originally constructed on a 10-acre parcel, fronting on Willow Highway and including Carrier Creek (see attachment #3). The parcel was purchased by the Township from the Hildreth family in 1965 (see attachment #4), for the purpose of constructing the WWTP. The Hildreth family kept ownership of the remaining 14 +/- acres, extending north of the 10-acre WWTP parcel, all the way to the Grand River. However, the 1965 deed mistakenly transferred the 14-acres to the Township. This was corrected in 1966. The Township apparently had negotiated a purchase option on the northern 14-acre parcel with the Hildreth family. This is referenced in the 1966 deed (see attachment #5).

In 1971, the Township purchased the 14 +/- acre parcel from the Hildreth family, using sewer funds, to accommodate the expansion of the WWTP (see attachment #6). A boundary survey was conducted by professional surveyor, Richard W. Steadman, in January and February of 1971, presumably for the property transaction. This boundary survey does not appear to have been recorded and a copy of the survey has not been located.

In 1971, Delta Mills Park did not yet exist. In October of 1972, the Township Board of Trustees passed an ordinance amending the zoning of the entire 24 +/- acre property from Agricultural to H – Community District Zone for “WWTP and Park” (attachment #7).

Delta Mills Park began to be developed as a township park beginning around 1973. Delta Mills Park improvements were located north of the WWTP site and east of Carrier Creek, while the WWTP lies south of Delta Mills Park and west of Carrier Creek. At this time, separate property descriptions for the park and WWTP portions of the parcel had not been developed.

In 1982, the Township purchased an additional 14 acres (1982 parcel) immediately west of the of the WWTP from the Hildreth family (attachment #8), again to accommodate the planned expansion of the WWTP. At that time, the zoning of the WWTP site now fell under the 1974 zoning ordinance. This ordinance superseded the previous zoning for the WWTP site and as part of the planning for the WWTP expansion, a conditional land use permit was required. As part of the conditional land use permit process, a legal description for the entire WWTP site boundary was developed by the Delta Township Engineering Department (see attachment #9). A description was also developed for Delta Mills Park, however, the description excluded the “triangle” portion of the park lying along the Grand River, north of Old River Trail, which is now the site of the Delta Mills Canoe Launch. A conditional use permit for the WWTP expansion was granted in November of 1982 (see attachment #10).

A June 15, 1983 survey drawing by Richard Steadman (see attachment #11) was recently located in township files that illustrates the property boundaries associated with the legal description developed for the WWTP site in 1982. This survey drawing indicates that property irons were set that would identify the north and east boundaries of the WWTP site on the combined 1965 and 1971 WWTP parcel, which is approximately 24 acres. This survey was not recorded, nor did it include written legal descriptions of the WWTP or Delta Mills Park boundaries. The parcel common to both the WWTP and Delta Mills Park was not formally split and the legal descriptions were never reflected in the Township’s tax roll/tax descriptions. As such, parcel 040-003-300-286-00, as reflected in the Township parcel mapping system and tax roll currently encompasses both the WWTP and Delta Mills Park site.

Problem

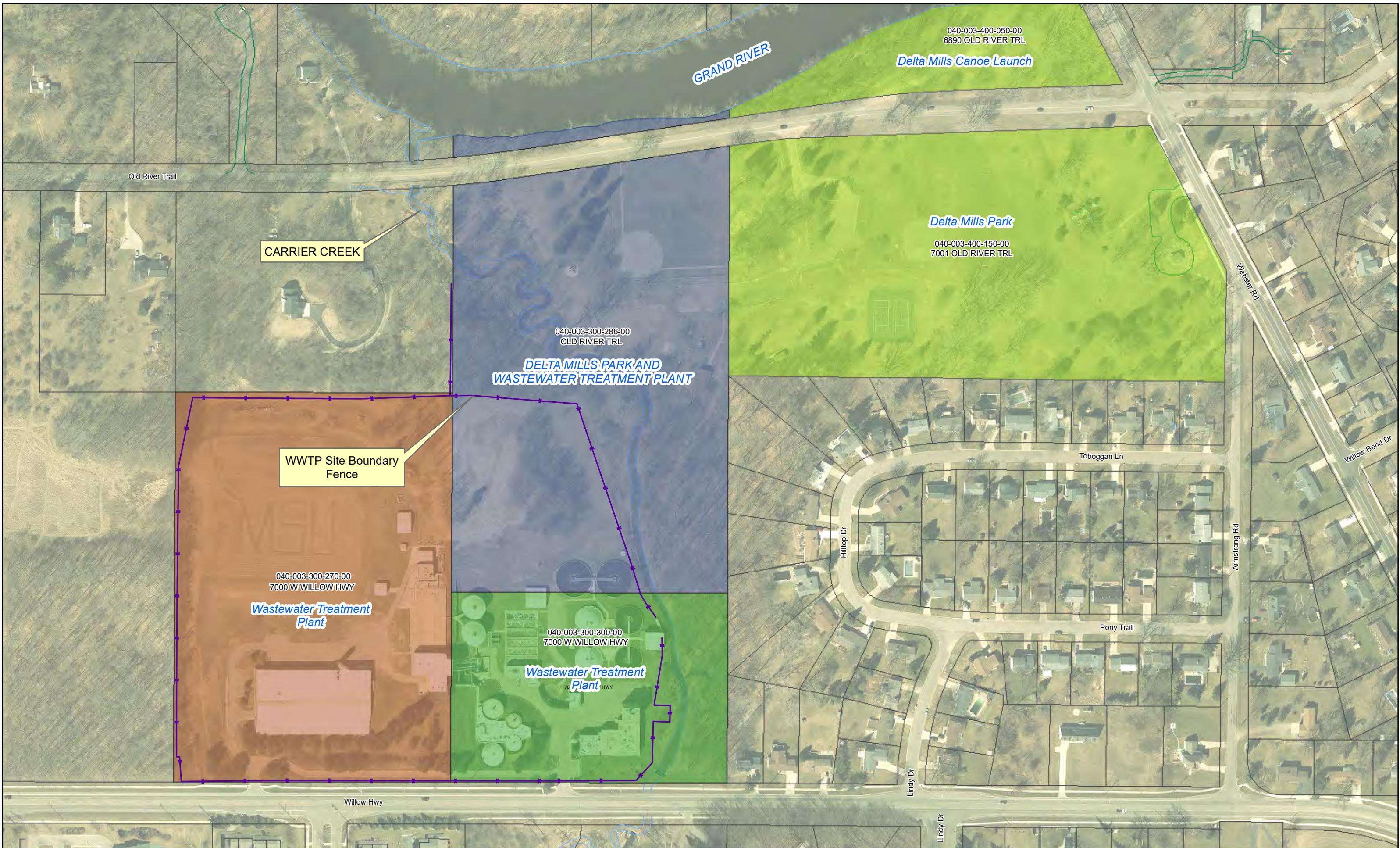
When the property use restriction documents associated with the DNR grants were developed, the tax description for parcel 040-003-300-286-00 was used, without separating the parcel into its historical WWTP and Delta Mills Park uses, thus the use restrictions now encumber the portion of the property within the WWTP site boundary that is intended for existing and future use for the WWTP. This issue was identified through a Title Search and review of documents by Gil Barish, P.S. as part of his survey work for the upcoming WWTP Major Capital Improvements project. This problem is the result of an error made in the development of the property restrictions, which used the Township parcel mapping and tax description of the parcel. At the time, staff were not aware of the legal description for the park boundary as established in 1982. Compounding the error, the aerial image was not overlaid on the parcel mapping, which would have identified the encroachment of the “park” area on the WWTP site. Had the historical legal descriptions for Delta Mills Park and the WWTP site been recorded and reflected in the Township parcel mapping system, this proper description for the Delta Mills Park property could have been used in developing the land use restriction documents.

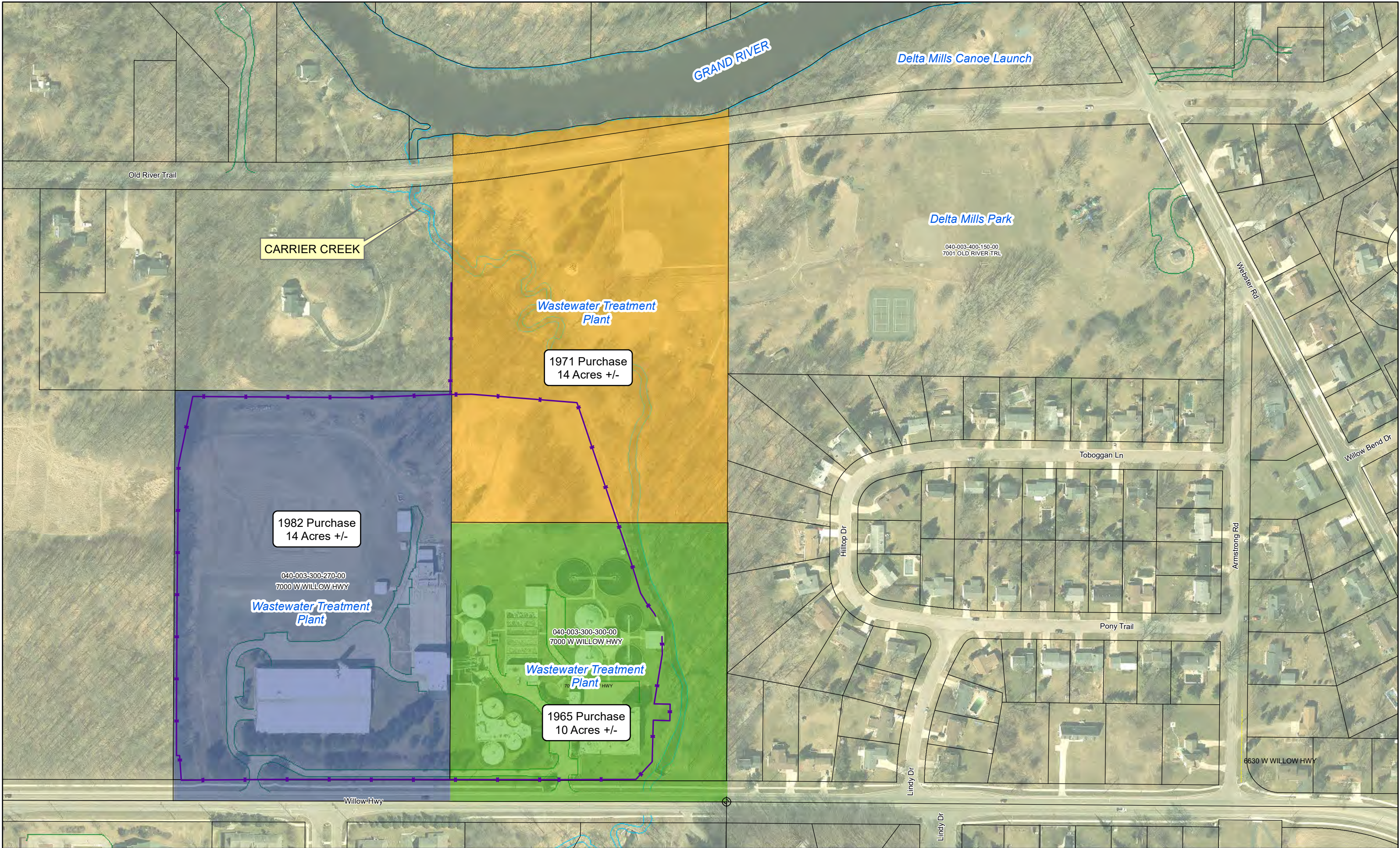
Solution

Delta Township Planning, Assessing, Parks, Utilities and Engineering Directors have reviewed the issue and concluded that the 1983 Steadman survey map accurately depicts the separation of parcel 040-003-300-286-00 into the historical WWTP and Delta Mills Park uses. This boundary maintains the historical intent of the Township to utilize land west of Carrier Creek for the WWTP and east of Carrier Creek as public park.

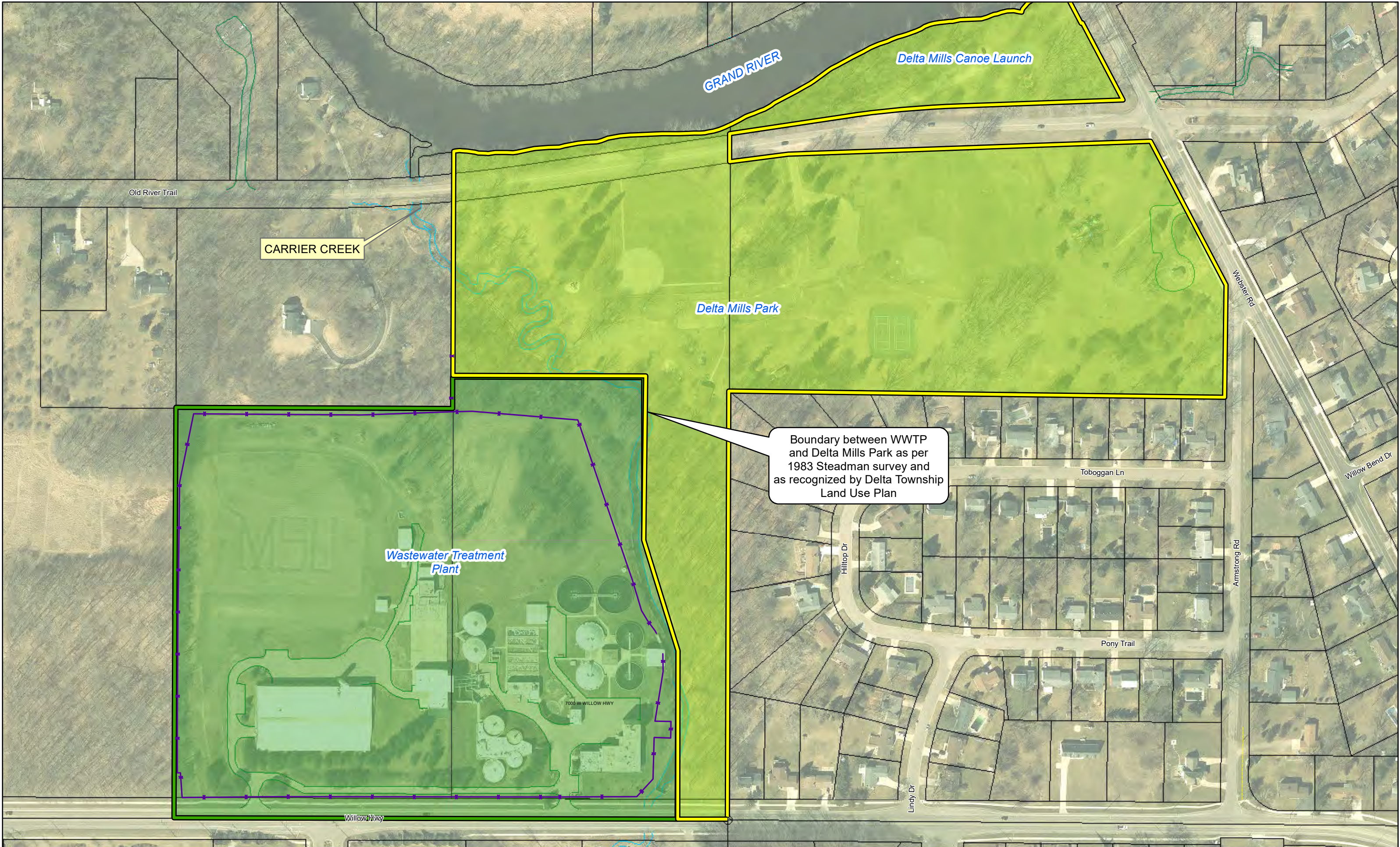
To formalize this, legal surveys will be developed for the entire boundary of the WWTP and the entire boundary of Delta Mills Park (see attachment # 12). These surveys with legal descriptions and quit claim deeds will be recorded at Eaton County Register of Deeds and the a parcel split/combination will be processed by the Assessing Department such that the tax roll is updated to reflect the legal boundaries of the two sites.

Subsequently, new Declaration and Notice documents will be drafted and recorded at the Eaton County Register of Deeds to replace the ones that used the incorrect legal descriptions for Delta Mills Park. This will correct the error that was made in describing the Delta Mills Park property and remove the encumbrances from the WWTP site.





ATTACHMENT #3
 Delta Township WWTP Property History
 WWTP Development



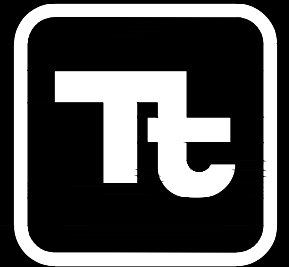
ATTACHMENT #12
Delta Township WWTP Property History
Proposed Parcels Per Land Use



DELTA TOWNSHIP, MICHIGAN

WWTP MAJOR CAPITAL IMPROVEMENTS

SITE PLAN



TETRA TECH

www.tetratech.com



SHEET INDEX	
SHEET NO.	SHEET TITLE
GENERAL	
G-000	COVER AND SHEET INDEX
CIVIL	
C-001	GENERAL NOTES AND LEGEND
C-002	PROPERTY DESCRIPTION AND SITE DATA
C-101	EXISTING SITE
C-102	PROPOSED DEMOLITION PLAN
C-103	PROPOSED SITE PLAN
C-104	OVERALL GRADING PLAN
C-501	STANDARD DETAILS
C-502	STANDARD DETAILS
C-503	STANDARD DETAILS

PROJECT LOCATION:

7000 W. WILLOW HWY
LANSING, MI 48917

CLIENT INFORMATION:

DELTA TOWNSHIP
7710 W. SAGINAW HIGHWAY
LANSING, MI 48917

Tt PROJECT No.:

200-214200-20001

CLIENT PROJECT No.:

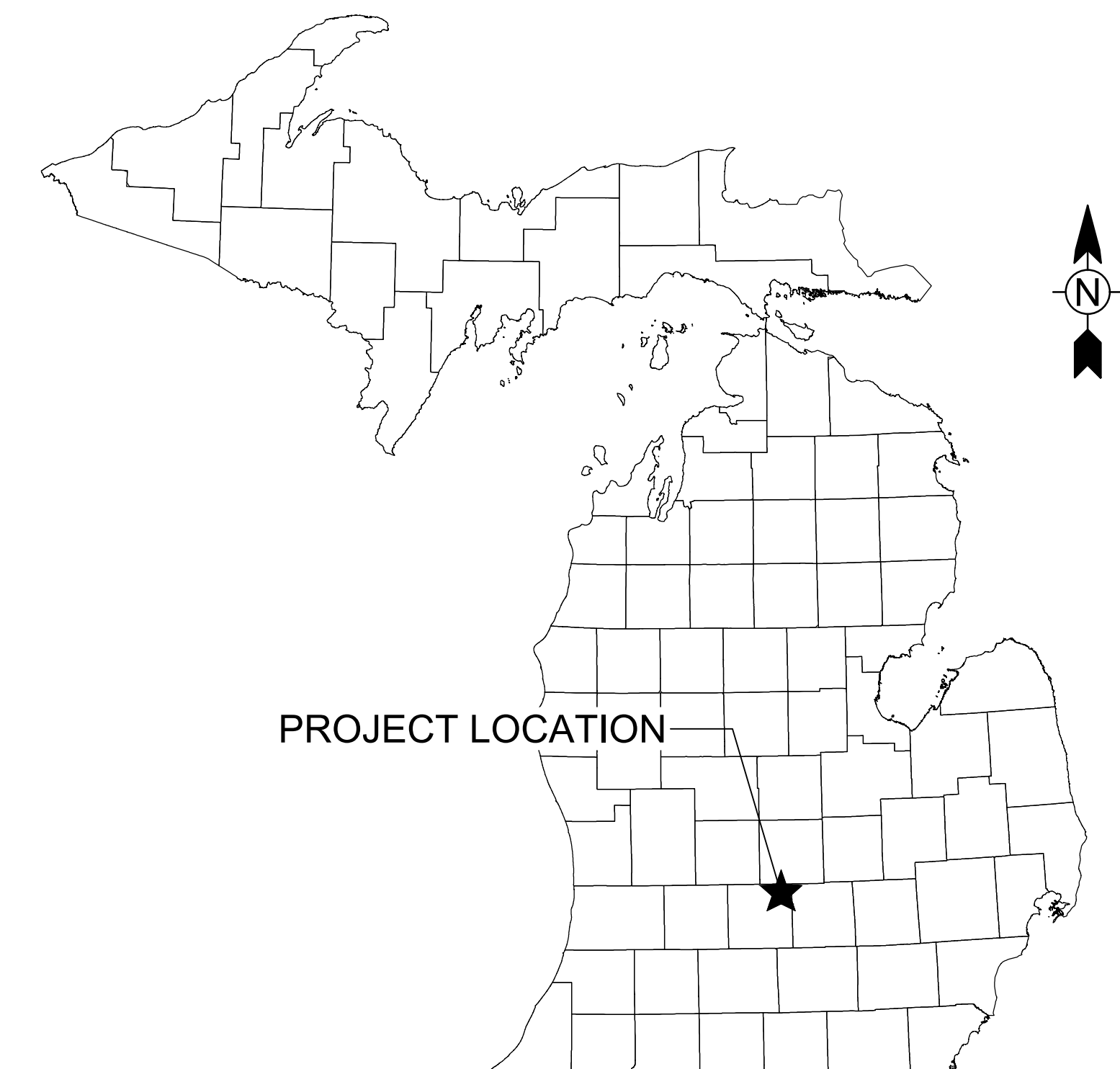
PROJECT DESCRIPTION / NOTES:

WWTP MAJOR CAPITAL IMPROVEMENTS PHASE 1

ISSUED:

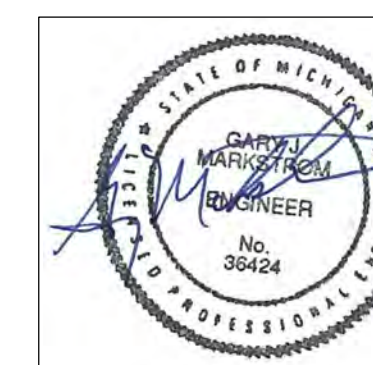
SPECIAL LAND USE PERMIT FOR COMMUNICATION TOWER AND WASTE WATER TREATMENT PLANT - 7/30/2021

VICINITY MAP:



**CALL MISS DIG
(800) 482-7171**

FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, 1974, THE CONTRACTOR SHALL CALL (800) 482-7171 A MINIMUM OF THREE (3) FULL WORKING DAYS (EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS) PRIOR TO EXCAVATING IN THE VICINITY OF UTILITY LINES. ALL "MISS DIG" PARTICIPATING MEMBERS WILL THIS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.



PREPARED FOR:
DELTA TOWNSHIP

SURVEY MAP
A PART OF THE SOUTHWEST 1/4,
SECTION 3, T4N, R3W, DELTA
TOWNSHIP, EATON COUNTY, MICHIGAN.

PARCEL DESCRIPTION (PARCEL 2)

A parcel of land situated in the southwest 1/4 of Section 3, T4N, R3W, Delta Township, Eaton County, Michigan, being more particularly described as follows:

Commencing at the south 1/4 corner of said Section 3, at a 5/8" steel bar and cap #47942 as recorded in Liber 2703, Page 740 of corners, Eaton County records;

thence North 00°02'35" West, 50.00 feet along the north and south 1/4 line of Section 3 to the north line of Willow Highway and the POINT OF BEGINNING (said 1/4 line is a right line between the said south 1/4 corner and a 5/8" steel bar and cap #47942 at the center of Section 3, as recorded in Liber 2703, Page 747);

thence South 89°45'30" West, 120.00 feet along the north line of Willow Highway to a 5/8" steel bar and cap #47942;

thence North 00°03'12" West, 350.00 feet to a 3/4" steel pipe and cap #11370;

thence North 17°01'17" West, 274.12 feet to a 3/4" steel pipe and cap #11370;

thence North 00°03'12" West, 390.00 feet to a 3/4" steel pipe;

thence South 89°45'30" West, 457.86 feet to a 3/4" steel pipe on the west line of the east 1/2 of the southwest 1/4 of Section 3;

thence North 00°04'38" West, 415.56 feet along the said west line to a 5/8" steel bar and cap #47942 on the south line of Old River Trail, said line also being an intermediate traverse line on the south bank of the Grand River (said point is South 00°04'38" East, 114 feet, more or less, from the edge of water);

thence along said south line of Old River Trail and traverse line, along a curve to the left with an arc length of 230.69 feet, a radius of 4033.50 feet, a chord bearing of North 82°39'35" East, and a chord length of 230.66 feet to a 5/8" steel bar and cap #47942;

thence continuing along said traverse line, North 81°01'17" East, 434.64 feet to a 5/8" steel bar and cap #47942 on the north and south 1/4 line of Section 3 (said point is South 00°02'53" East, 90 feet, more or less, from the edge of water);

thence South 00°02'53" East, 1512.54 feet to the POINT OF BEGINNING.

Description contains 464926.79 square feet, or 10.6733 acres, within the traversed area (12.13 acres, more or less, to the water's edge) and is subject to a 66 foot wide right of way for Old River Trail and any other easements of public record.

SURVEY MAP CERTIFICATION

I, GILBERT M. BARISH, CERTIFY TO THE PARTIES NAMED HEREON, THAT THIS SURVEY MAP COMPLIES WITH PUBLIC ACT 132 OF 1970, SECTION 54.213, AND THAT THE RELATIVE POSITIONAL PRECISION OF EACH CORNER MONUMENT DOES NOT EXCEED 0.07 FEET PLUS 50 PARTS PER MILLION BASED ON THE DIRECT DISTANCE BETWEEN TWO MONUMENTS.



Gilbert M. Barish
GILBERT M. BARISH, P.S. #400147942

GEODETIC DESIGNS INCORPORATED
2300 N. GRAND RIVER AVE.
LANSING, MI 48906
PHONE: (517) 908-0008
FAX: (517) 908-0009
www.geodeticdesigns.com



REVISION DATE:
FIELD: GB JC DRAWN BY: JJC
DATE: AUGUST 24, 2020
FILE: S079-2020
SHEET 3 OF 3

PREPARED FOR:
DELTA TOWNSHIP

SURVEY MAP
A PART OF THE SOUTHWEST 1/4,
SECTION 3, T4N, R3W, DELTA
TOWNSHIP, EATON COUNTY, MICHIGAN.

PARCEL DESCRIPTION (PARCEL 1)

A parcel of land situated in the southwest 1/4 of Section 3, T4N, R3W, Delta Township, Eaton County, Michigan, being more particularly described as follows:

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thence North 00°02'35" West, 50.00 feet along the north and south 1/4 line of Section 3 to the north line of Willow Highway (said 1/4 line is a right line between the said south 1/4 corner and a 5/8" steel bar and cap #47942 at the center of Section 3, as recorded in Liber 2703, Page 747);

thence South 89°45'30" West, 120.00 feet along the north line of Willow Highway to a 5/8" steel bar and cap #47942 and the POINT OF BEGINNING;

thence South 89°45'30" West, 1194.90 feet to a 5/8" steel bar and cap #47942 on the west line of the east 1/2 of the southwest 1/4 of Section 3;

thence North 00°06'22" West, 924.00 feet along the said west line to a 3/4" steel pipe and cap #11370 being 0.21' east and 0.46' north thereof;

thence North 89°45'30" East, 657.92 feet to a 3/4" steel pipe and cap #11370 on the west line of the east 1/2 of the southwest 1/4 of section 3;

thence North 00°04'38" West, 78.45 feet along the said west line to a 3/4" steel pipe;

thence North 89°45'30" East, 457.86 feet to a 3/4" steel pipe;

thence South 00°03'12" East, 390.00 feet to a 3/4" steel pipe and cap #11370;

thence South 17°01'17" East, 274.12 feet to a 3/4" steel pipe and cap #11370;

thence South 00°03'12" East, 350.00 feet to the POINT OF BEGINNING.

Description contains 1104972.77 square feet (25.3667 acres), more or less, and is subject to any easements of public record.

CORNER EVIDENCE TABLE

Ⓐ	3/4" STEEL PIPE & CAP #11370 0.21' EAST 0.46' NORTH
Ⓑ	3/4" STEEL PIPE & CAP #11370
Ⓒ	3/4" STEEL PIPE
Ⓓ	3/4" STEEL PIPE & CAP #11370
Ⓕ	3/4" STEEL PIPE & CAP #11370
Ⓖ	1/2" STEEL PIPE
Ⓗ	3/4" STEEL PIPE

ADJOINING OWNER INFORMATION

1	EDWARD & PATRICIA STOLICKER 6936 W. WILLOW HWY PID: 040-040-800-240-00	6	EILEEN HOUSTON 2219 HILLTOP DRIVE PID: 040-040-800-120-00
2	LOIS COKER 2105 HILLTOP DRIVE PID: 040-040-800-160-00	7	DELTA CHARTER TOWNSHIP OLD RIVER TRAIL PID: 040-003-400-150-00
3	ROBIN & LORIE DEBAR 2111 HILLTOP DRIVE PID: 040-040-800-150-00	8	WILLIAM & SANDRA CAMPBELL 7101 OLD RIVER TRAIL PID: 040-003-300-267-00
4	REX & ELAINE ELLIS 2203 HILLTOP DRIVE PID: 040-040-800-140-00	9	HOWARD & JUDITH HEDLUND 7301 OLD RIVER TRAIL PID: 040-003-300-261-00
5	JANE REITER, ETAL. 2211 HILLTOP DRIVE PID: 040-040-800-130-00	10	DELTA CHARTER TOWNSHIP OLD RIVER TRAIL PID: 040-003-300-235-00

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www.geodeticdesigns.com



REVISION DATE:
FIELD: GB JC DRAWN BY: JJC
DATE: AUGUST 24, 2020
FILE: S079-2020
SHEET 2 OF 3

PREPARED FOR:
DELTA TOWNSHIP

SURVEY MAP
A PART OF THE SOUTHWEST 1/4,
SECTION 3, T4N, R3W, DELTA
TOWNSHIP, EATON COUNTY, MICHIGAN.

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thence South 89°45'30" West, 120.00 feet along the north line of Willow Highway to a 5/8" steel bar and cap #47942 and the POINT OF BEGINNING;

thence South 89°45'30" West, 1194.90 feet to a 5/8" steel bar and cap #47942 on the west line of the east 1/2 of the southwest 1/4 of Section 3;

thence North 00°06'22" West, 924.00 feet along the said west line to a 3/4" steel pipe and cap #11370 being 0.21' east and 0.46' north thereof;

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thence South 00°03'12" East, 350.00 feet to the POINT OF BEGINNING.

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Ⓑ	3/4" STEEL PIPE & CAP #11370
Ⓒ	3/4" STEEL PIPE
Ⓓ	3/4" STEEL PIPE & CAP #11370
Ⓕ	3/4" STEEL PIPE & CAP #11370
Ⓖ	1/2" STEEL PIPE
Ⓗ	3/4" STEEL PIPE

ADJOINING OWNER INFORMATION

1	EDWARD & PATRICIA STOLICKER 6936 W. WILLOW HWY PID: 040-040-800-240-00	6	EILEEN HOUSTON 2219 HILLTOP DRIVE PID: 040-040-800-120-00
2	LOIS COKER 2105 HILLTOP DRIVE PID: 040-040-800-160-00	7	DELTA CHARTER TOWNSHIP OLD RIVER TRAIL PID: 040-003-400-150-00
3	ROBIN & LORIE DEBAR 2111 HILLTOP DRIVE PID: 040-040-800-150-00	8	WILLIAM & SANDRA CAMPBELL 7101 OLD RIVER TRAIL PID: 040-003-300-267-00
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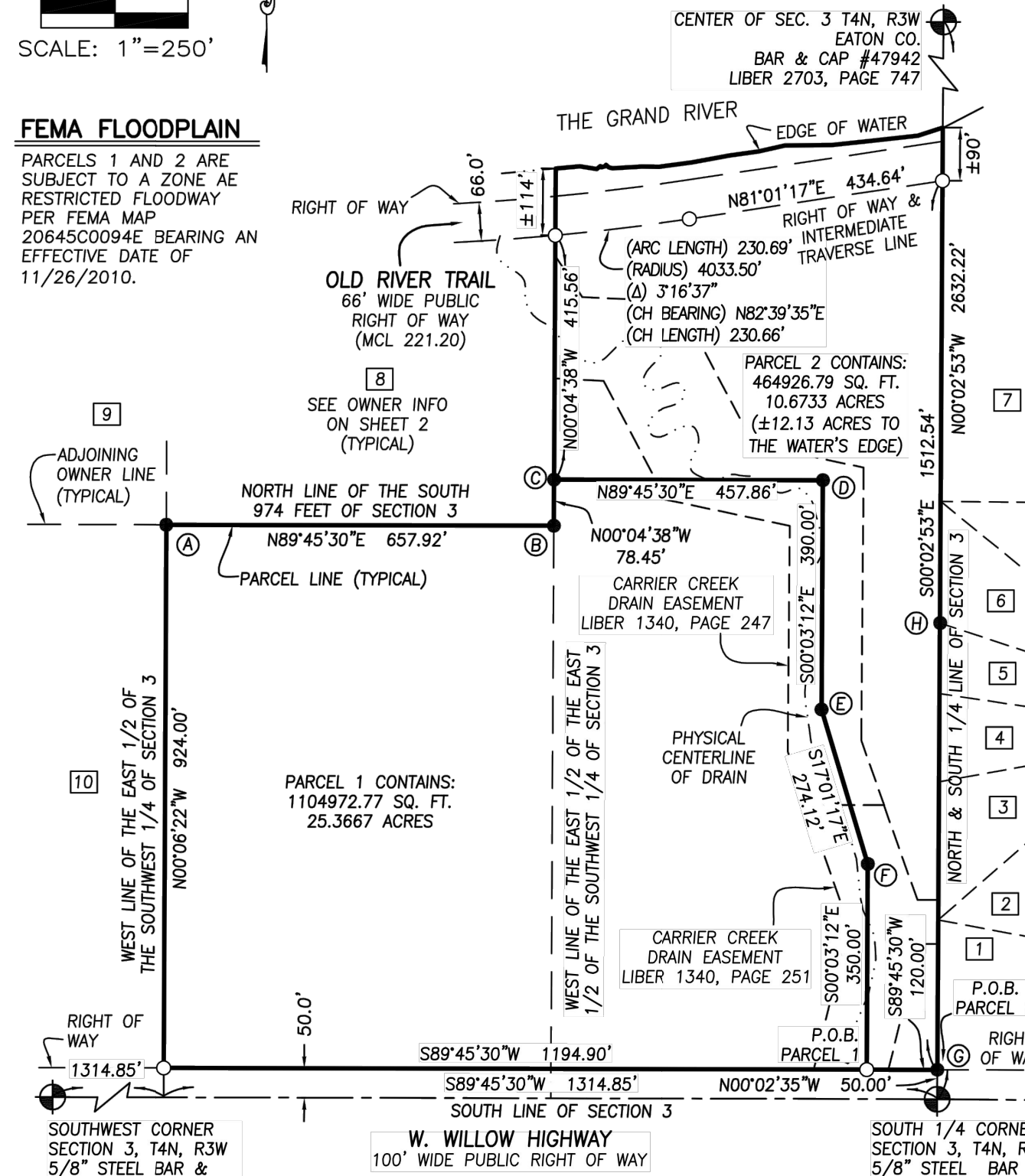


REVISION DATE:
FIELD: GB JC DRAWN BY: JJC
DATE: AUGUST 24, 2020
FILE: S079-2020
SHEET 1 OF 3



FEMA FLOODPLAIN

PARCELS 1 AND 2 ARE SUBJECT TO A ZONE A-E RESTRICTED FLOODWAY PER FEMA MAP 20645C0094E BEARING AN EFFECTIVE DATE OF 11/26/2010.



LEGEND

- = SET 5/8" x 24" STEEL BAR & CAP
- = FOUND CORNER EVIDENCE AS NOTED
- = SECTION CORNER
- = DISTANCE NOT TO SCALE
- M = MEASURED
- R = RECORDED
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT

REFERENCE SURVEYS

SURVEY BY RICHARD W. STEADMAN
DATED: 15-JUNE-1983

SURVEY NOTES

SEE SHEET 2 OF 2 FOR THE PARCEL DESCRIPTION AND SURVEY CERTIFICATION.

NOT ALL EASEMENTS OF PUBLIC RECORD MAY BE SHOWN.

NOT ALL IMPROVEMENTS MAY BE SHOWN.

LINEAR DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.

BEARING BASE

BEARINGS ARE BASED ON THE SOUTH LINE OF SECTION 3 PER THE 1983 STEADMAN SURVEY RECORDED AS BEARING SOUTH 89°45'30" WEST

SITE DATA

AREA

PARCEL 1: 25.37 AC
PARCEL 2: 12.13 AC
TOTAL: 37.50 AC

ZONING

AG2 - AGRICULTURE RESIDENTIAL

SETBACKS:

FRONT YARD 50 FEET MIN.
SIDE YARD 25 FEET MIN.
REAR YARD 50 FEET MIN.
HEIGHT 40 FEET MAX.

EXISTING BUILDING AREA: 3.28 AC
EXISTING IMPERVIOUS SURFACE: 5.47 AC
PROPOSED BUILDING REMOVAL: 0.59 AC
PROPOSED BUILDING ADDITION: 1.9 AC
PROPOSED IMPERVIOUS SURFACE: 8.08 AC
PERCENT IMPERVIOUS: 21%

PARKING

REQUIRED: ONE (1) SPACE FOR EACH TWO (2) EMPLOYEES

27 EMPLOYEES / 2 = 14 SPACES REQUIRED

51 SPACES PROVIDED, 2 BARRIER FREE

TETRA TECH



BY

MARK

DATE

DESCRIPTION

1

7/30/21

SPECIAL LAND USE PERMIT

DELTA TOWNSHIP, MICHIGAN

WWW.PUBLICWORKS.DELTATOWNSHIP.MI

PROPERTY DESCRIPTION

AND SITE DATA

PROJ: 200-214200-20001

DESN: SNB

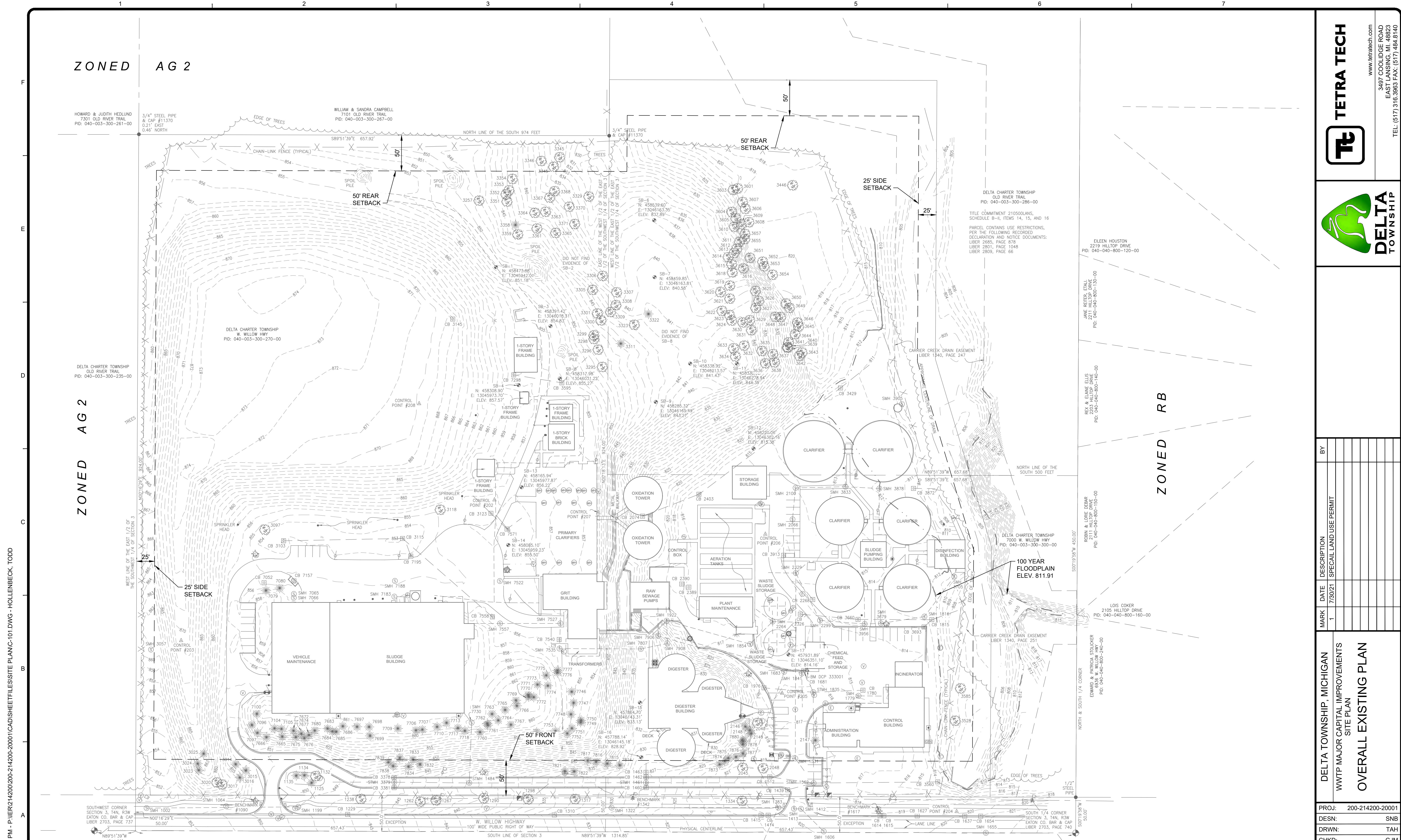
DRWN: TAH

CHKD: GJM

C-002

Consolidated Technical

Bar Measures 1 inch, otherwise drawing not to scale



OVERALL EXISTING PLAN
SCALE: 1" = 60'

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ZONED AG 2

ZONED AG 2

ZONED RB

TETRA TECH
www.tetra.tech.com
3497 COOLIDGE ROAD
EAST LANSING, MI 48823
TEL: (517) 316-3963 FAX: (517) 484-8140



MARK	DATE	DESCRIPTION	BY
1	7/30/21	SPECIAL LAND USE PERMIT	

DELTA TOWNSHIP, MICHIGAN
WWTP MAJOR CAPITAL IMPROVEMENTS
SITE PLAN
OVERALL EXISTING PLAN

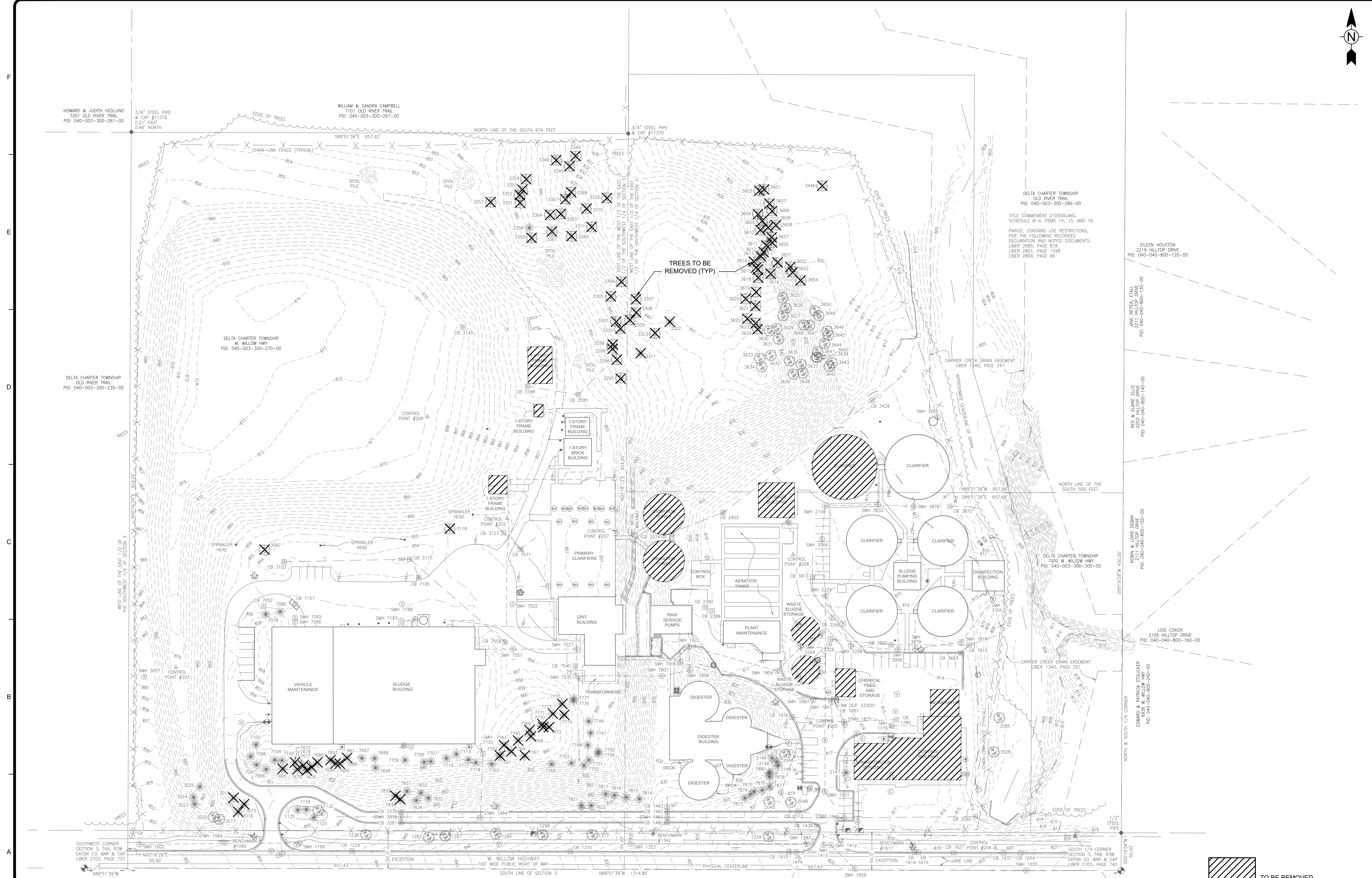
PROJ: 200-214200-20001
DESIN: SNB
DRWN: TAH
CHKD: GJM

C-101

Copyright: Tetra Tech

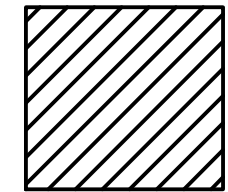
Bar Measures 1 inch, otherwise drawing not to scale

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DEMOLITION PLAN

SCALE: 1" = 60'



TO BE REMOVED

MARK	DATE	DESCRIPTION	BY
1	7/30/21	SPECIAL LAND USE PERMIT	

DELTA TOWNSHIP, MICHIGAN
 WWP MAJOR CAPITAL IMPROVEMENTS
 SITE PLAN
 DEMOLITION PLAN

PROJ: 200-214200-20001
 DESN: SNB
 DRWN: TAH
 CHKD: GJM

C-102

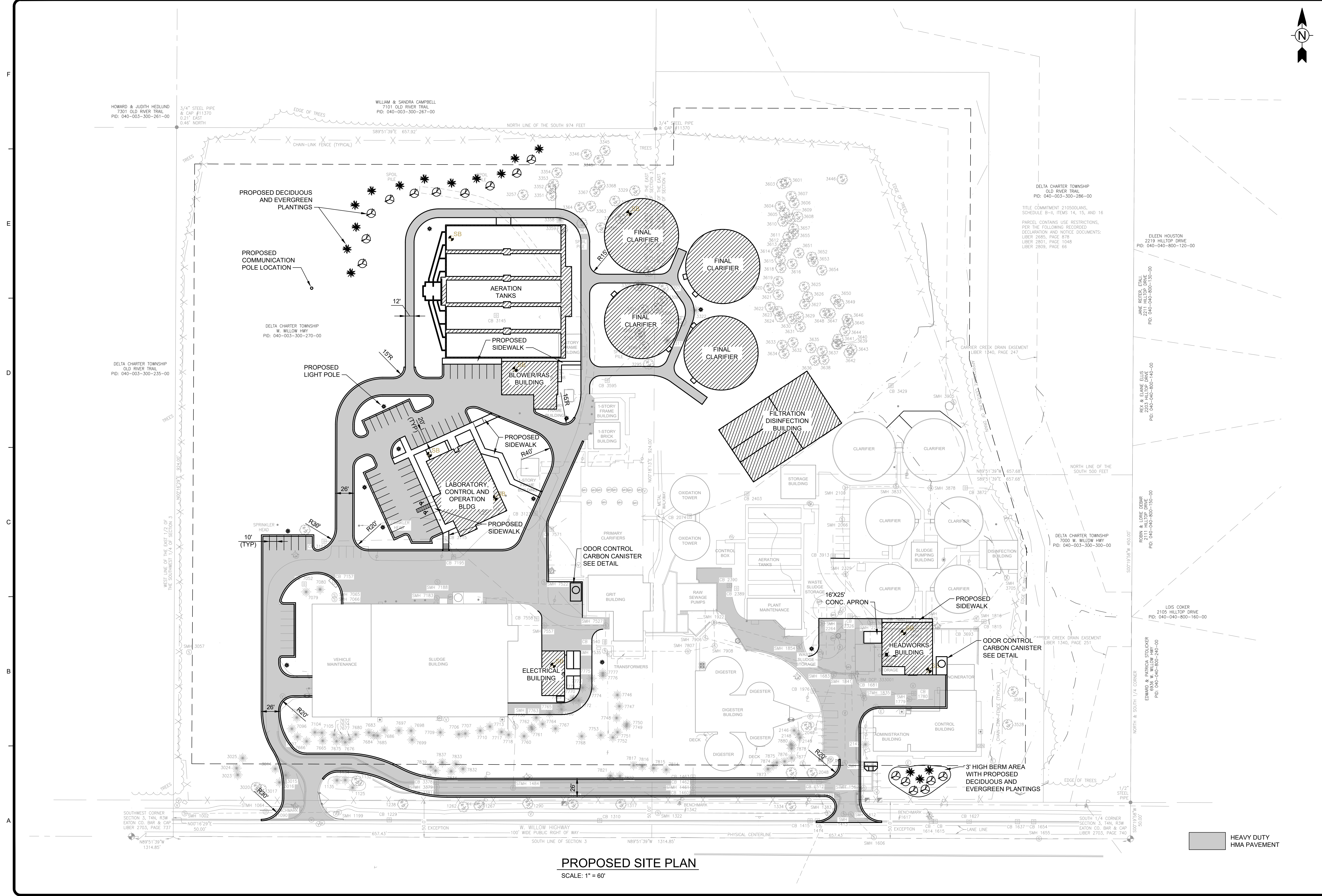
TETRA TECH

 www.tetra-tech.com
 3497 COOLIDGE ROAD
 EAST LANSING, MI 48823
 TEL: (517) 316-3963 FAX: (517) 484-8140

DELTA TOWNSHIP

Bar Measures 1 inch, otherwise drawing not to scale

7/30/2021 3:39:08 PM - P:\IER2\14200\2001\CAD\SITE\PLANS\C-103.DWG - HOLLENBECK, TODD



PROPOSED SITE PLAN

SCALE: 1" = 60'



TETRA TECH
www.tetra-tech.com
3497 COOLIDGE ROAD
EAST LANSING, MI 48823
TEL: (517) 316.3963 FAX: (517) 484.8140

MARK	DATE	DESCRIPTION	BY
1	7/30/21	SPECIAL LAND USE PERMIT	

DELTA TOWNSHIP, MICHIGAN
WWP MAJOR CAPITAL IMPROVEMENTS
SITE PLAN
PROPOSED SITE PLAN

PROJ: 200-214200-20001
DESIN: SNB
DRWN: TAH
CHKD: GJM

C-103

Copyright: Tetra Tech

Bar Measures 1 inch, otherwise drawing not to scale

7/30/2021 3:13:32 PM - P:\PIER2\14200\200-214200-20001\CAD\SSHEETS\PLANC-501.DWG - HOLLENBECK, TODD

REVISIONS DATE
Last Revision 06/2017
Adopted 03/2013

Delta Charter Township
ENGINEERING DEPARTMENT
7710 West Saginaw Highway
Lansing, MI 48917-5712
(517) 323-8540

STANDARD SANITARY SEWER DETAILS
MANHOLE ABANDONMENT DETAIL

NOTES:

- WHEN PIPE TERMINATES IN AN EXISTING MANHOLE, APPLY A MINIMUM 1/2" OF CEMENT PLASTER FLUSH WITH SURFACE.
- OTHER METHODS OF BULKHEADING PIPES MUST BE APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO CONSTRUCTION.

REVISIONS DATE
Last Revision N/A
Adopted 03/2013

Delta Charter Township
ENGINEERING DEPARTMENT
7710 West Saginaw Highway
Lansing, MI 48917-5712
(517) 323-8540

STANDARD SANITARY SEWER DETAILS
SEWER BULKHEAD DETAIL

REVISIONS DATE
Last Revision N/A
Adopted 03/2013

Delta Charter Township
ENGINEERING DEPARTMENT
7710 West Saginaw Highway
Lansing, MI 48917-5712
(517) 323-8540

STANDARD SANITARY SEWER DETAILS
SEWER SECTION REPLACEMENT

REVISIONS DATE
Last Revision N/A
Adopted 03/2013

Delta Charter Township
ENGINEERING DEPARTMENT
7710 West Saginaw Highway
Lansing, MI 48917-5712
(517) 323-8540

STANDARD SANITARY SEWER DETAILS
SANITARY SERVICE CONNECTIONS

NOTE: THIS DETAIL DOES NOT APPLY TO MANHOLES SHOWN WITH FLAT TOP OR WITH COMPOSITE CASTING.

REVISIONS DATE
Last Revision 03/0900
Adopted 03/2013

Delta Charter Township
ENGINEERING DEPARTMENT
7710 West Saginaw Highway
Lansing, MI 48917-5712
(517) 323-8540

STANDARD SANITARY SEWER DETAILS
MANHOLE CASTING ADJUSTMENT

NOTE:

- ALLOW GROUT TO CURE 24 HOURS, THEN SAWCUT AND REMOVE GROUT TUBE AND BACKFILL EXCAVATION.
- USE OF TRENCH EXCAVATION AS GROUT TUBE IS ACCEPTABLE, PROVIDED DISCHARGE CHUTE EXTENDS TO PIPE TO BE ABANDONED.

REVISIONS DATE
Last Revision N/A
Adopted 03/2013

Delta Charter Township
ENGINEERING DEPARTMENT
7710 West Saginaw Highway
Lansing, MI 48917-5712
(517) 323-8540

STANDARD SANITARY SEWER DETAILS
SANITARY SEWER ABANDONMENT

NOTE: MANHOLES THAT ARE NOT WITHIN DRIVEABLE SURFACE OR WITHIN THE INFLUENCE OF A DRIVEABLE SURFACE SHALL USE LIGHTWEIGHT COMPOSITE CASTING AND COVER AS DESCRIBED IN THE PROJECT SPECIFICATIONS.

REVISIONS DATE
Last Revision 06/2017
Adopted 03/2013

Delta Charter Township
ENGINEERING DEPARTMENT
7710 West Saginaw Highway
Lansing, MI 48917-5712
(517) 323-8540

STANDARD SANITARY SEWER DETAILS
SANITARY SEWER MANHOLE

TETRA TECH
www.tetra.tech.com
3497 COOLIDGE ROAD
EAST LANSING, MI 48823
TEL: (517) 316.3963 FAX: (517) 484.8140

DELTA TOWNSHIP

BY	DATE	DESCRIPTION
	7/30/21	SPECIALLAND USE PERMIT

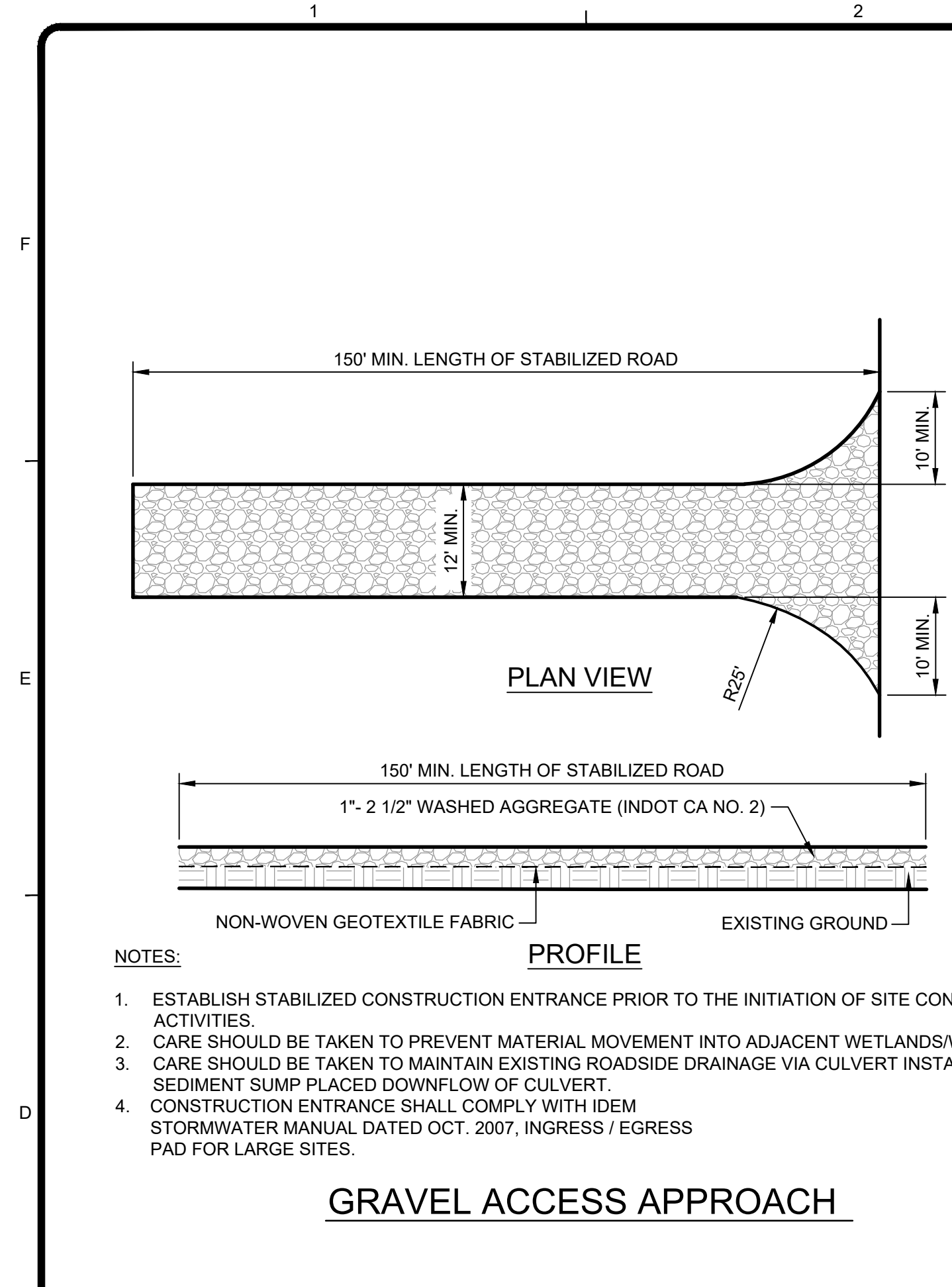
MARK 1

DELTA TOWNSHIP, MICHIGAN
WWTP MAJOR CAPITAL IMPROVEMENTS
SITE PLAN
DETAILS

PROJ: 200-214200-20001
DES: SNB
DRW: TAH
CHKD: GJM

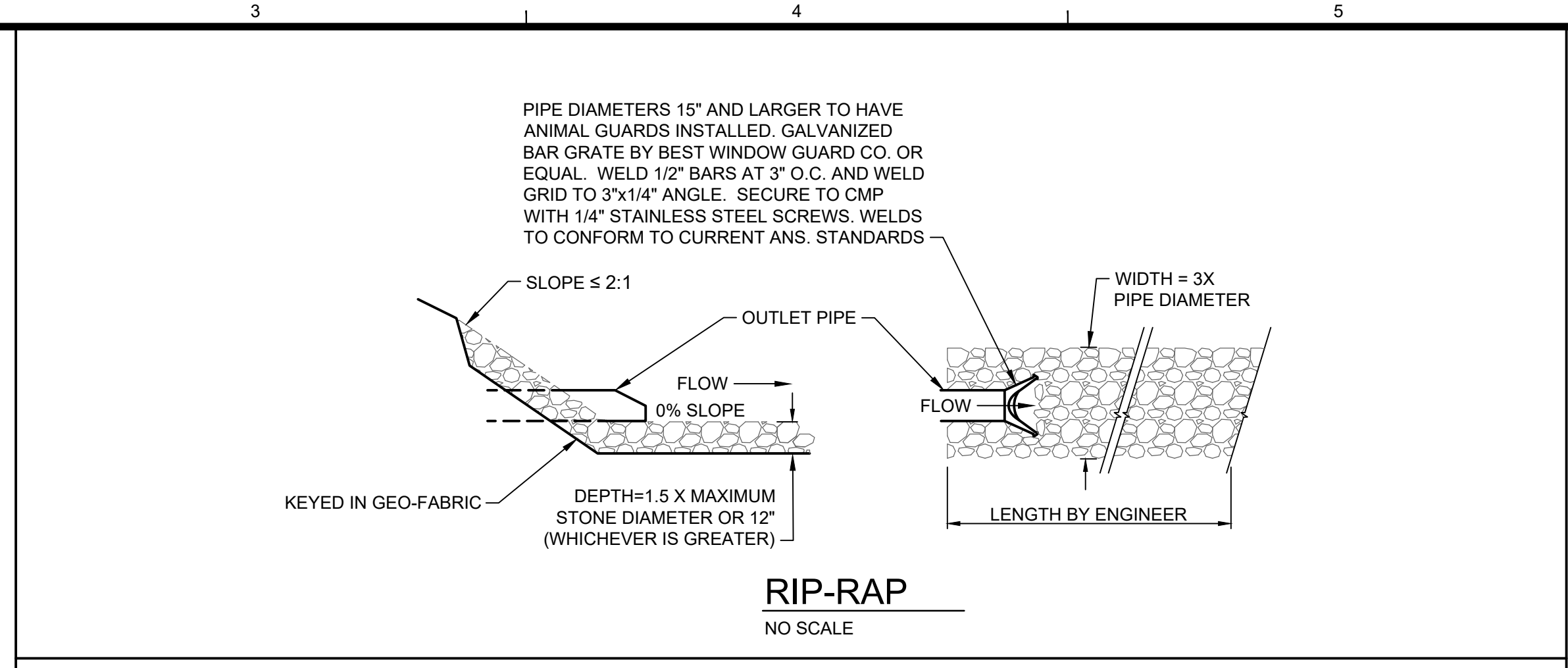
C-501

Copyright: Tetra Tech

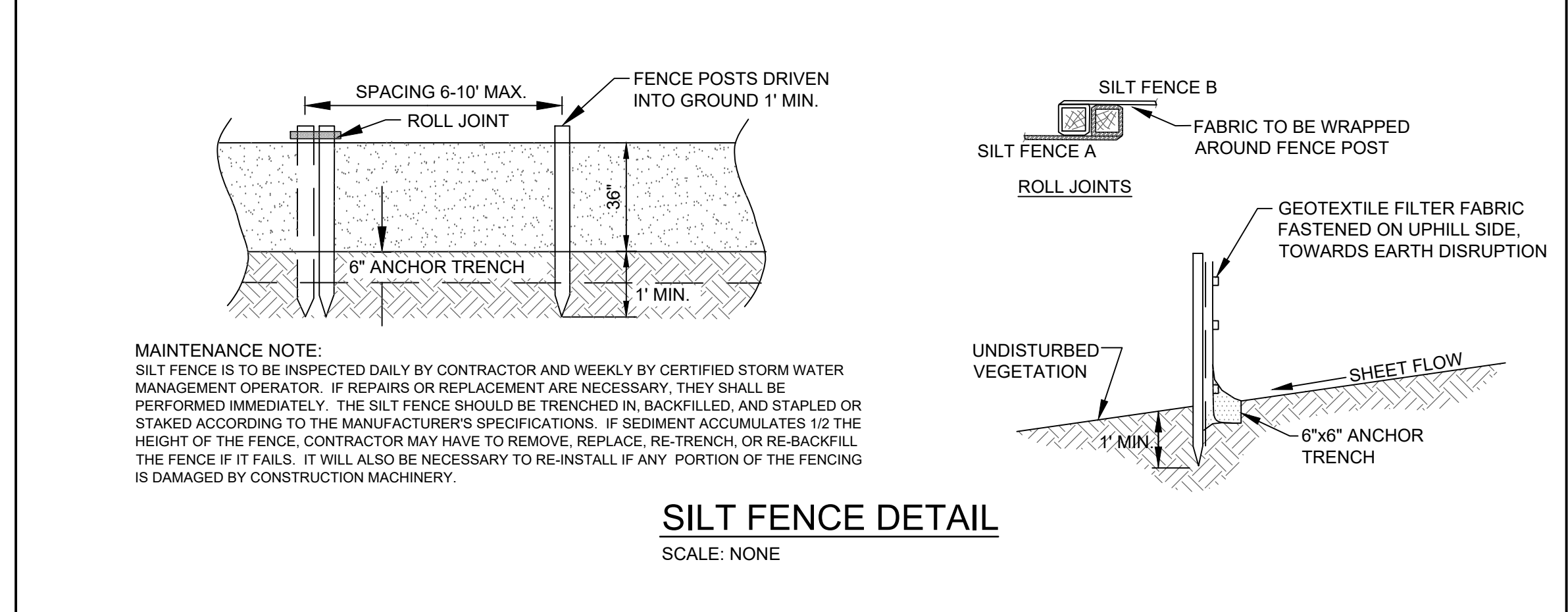


- NOTES:**
1. ESTABLISH STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INITIATION OF SITE CONSTRUCTION ACTIVITIES.
 2. CARE SHOULD BE TAKEN TO PREVENT MATERIAL MOVEMENT INTO ADJACENT WETLANDS/WATERBODIES.
 3. CARE SHOULD BE TAKEN TO MAINTAIN EXISTING ROADSIDE DRAINAGE VIA CULVERT INSTALLATION, WITH SEDIMENT SUMP PLACED DOWNFLOW OF CULVERT.
 4. CONSTRUCTION ENTRANCE SHALL COMPLY WITH IDEM STORMWATER MANUAL DATED OCT. 2007, INGRESS / EGRESS PAD FOR LARGE SITES.

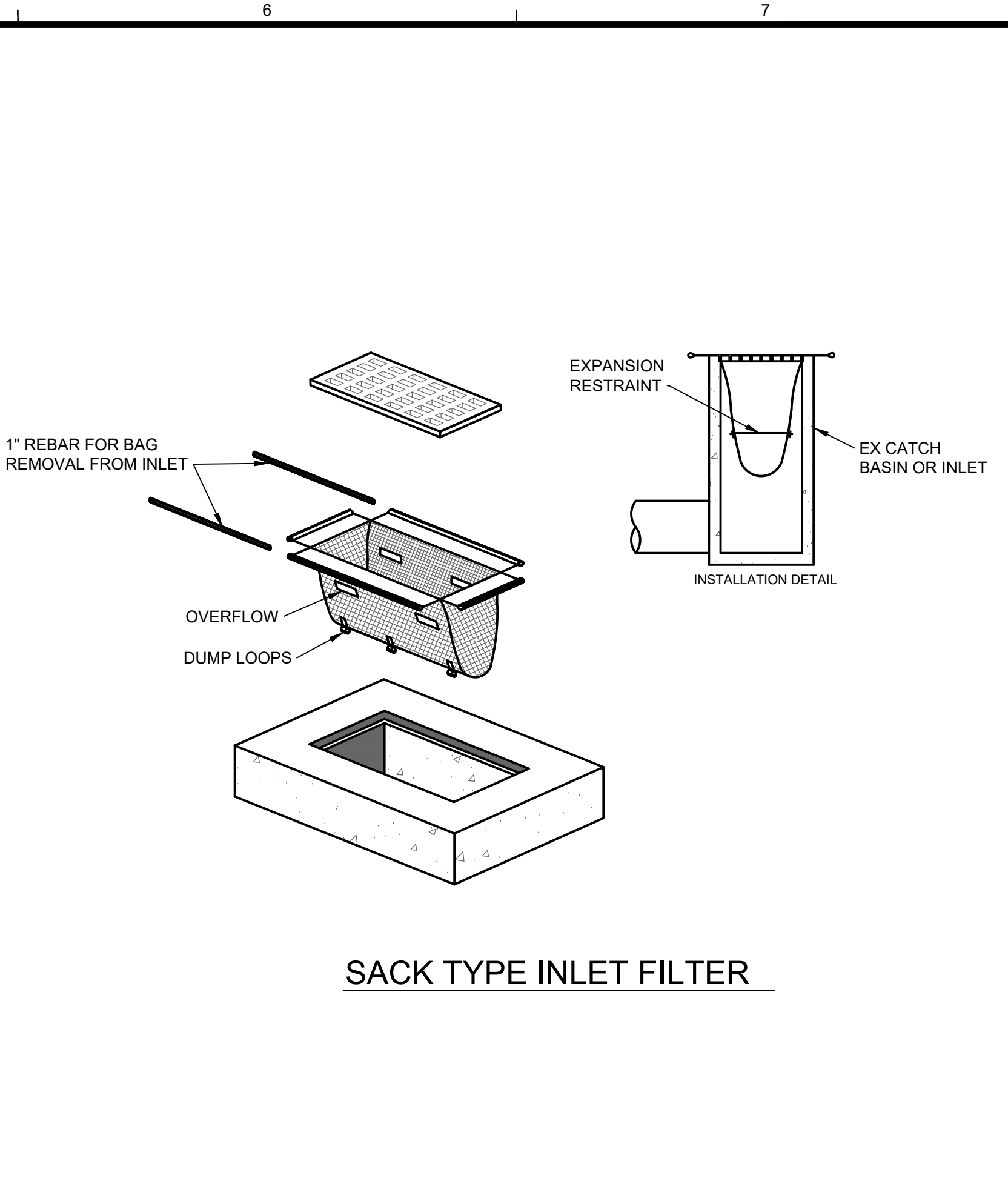
GRAVEL ACCESS APPROACH



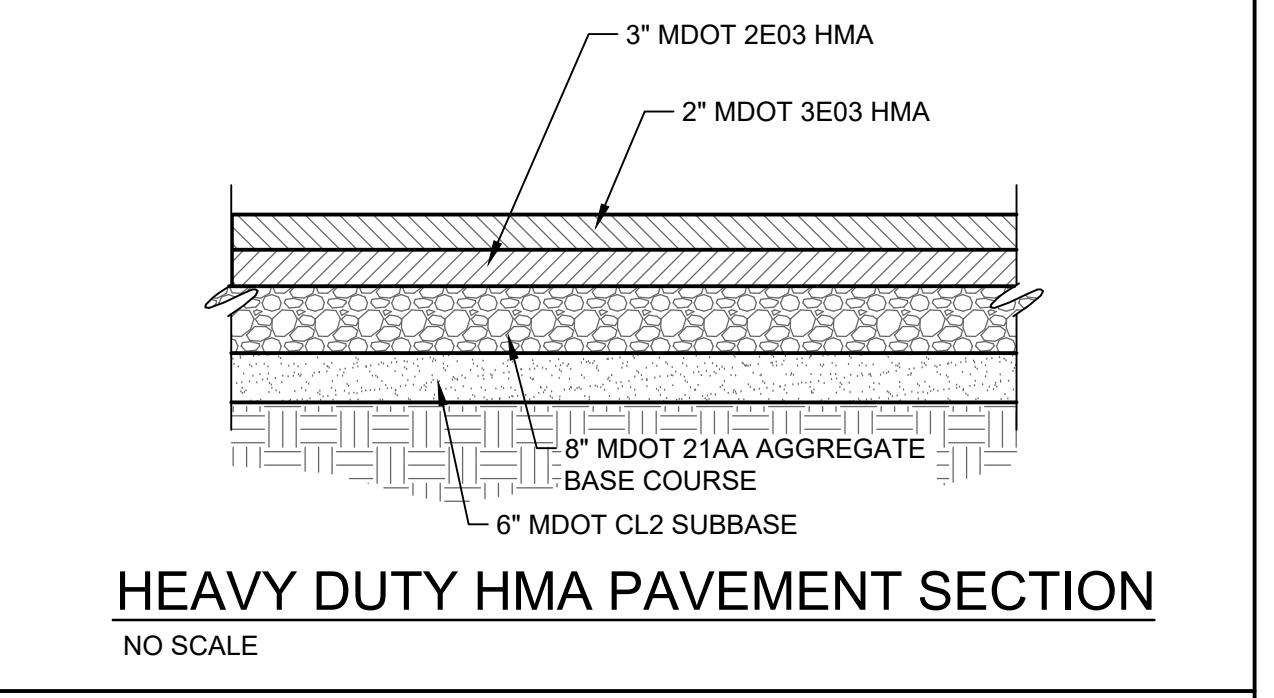
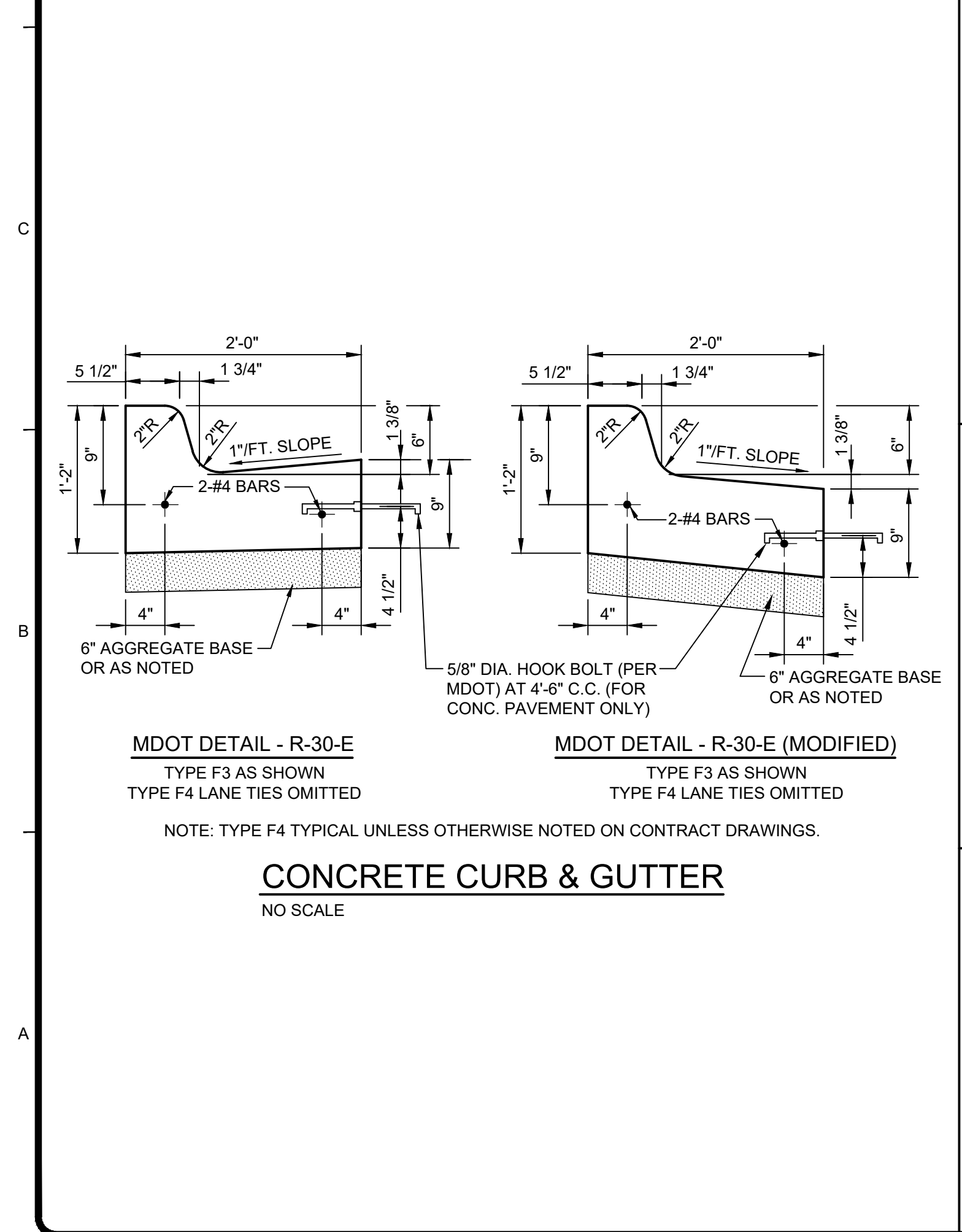
RIP-RAP
NO SCALE



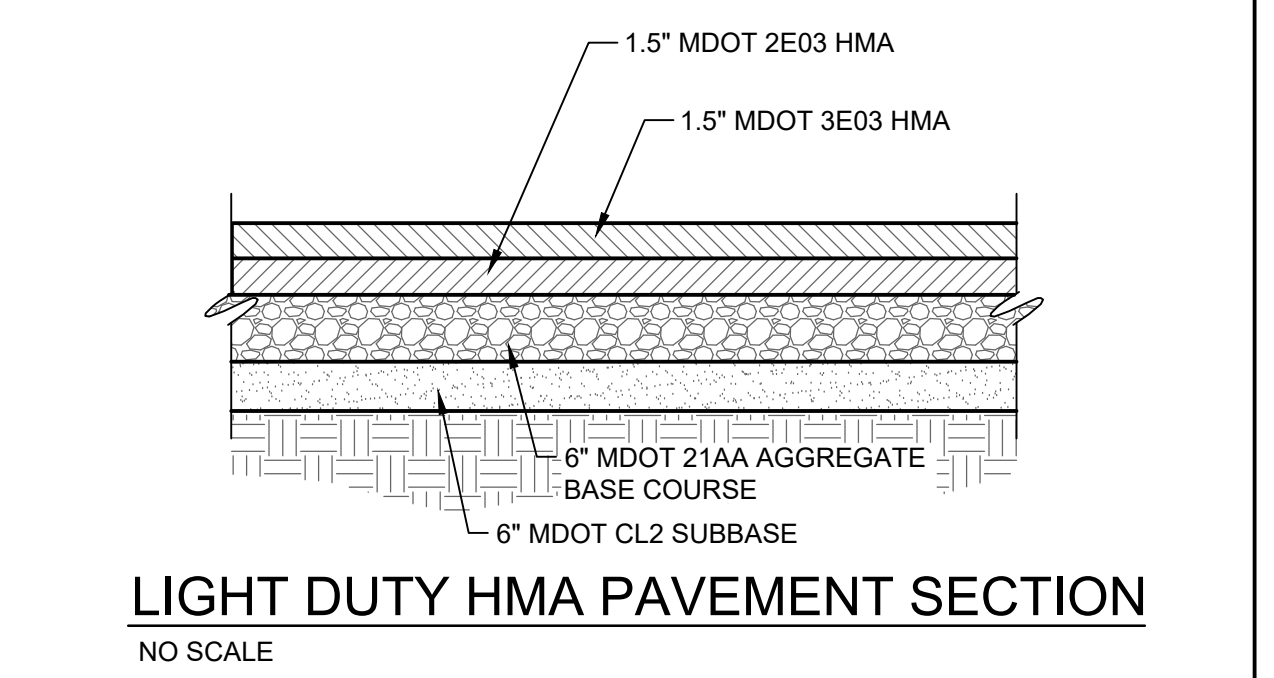
SILT FENCE DETAIL
SCALE: NONE



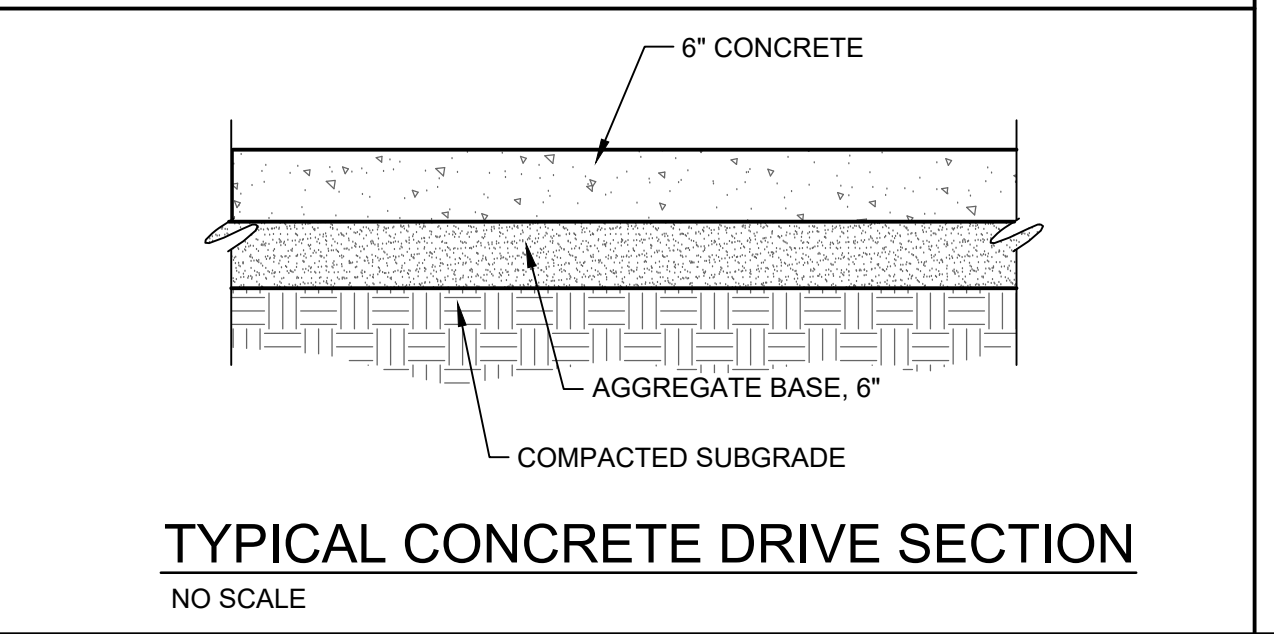
SACK TYPE INLET FILTER



HEAVY DUTY HMA PAVEMENT SECTION
NO SCALE

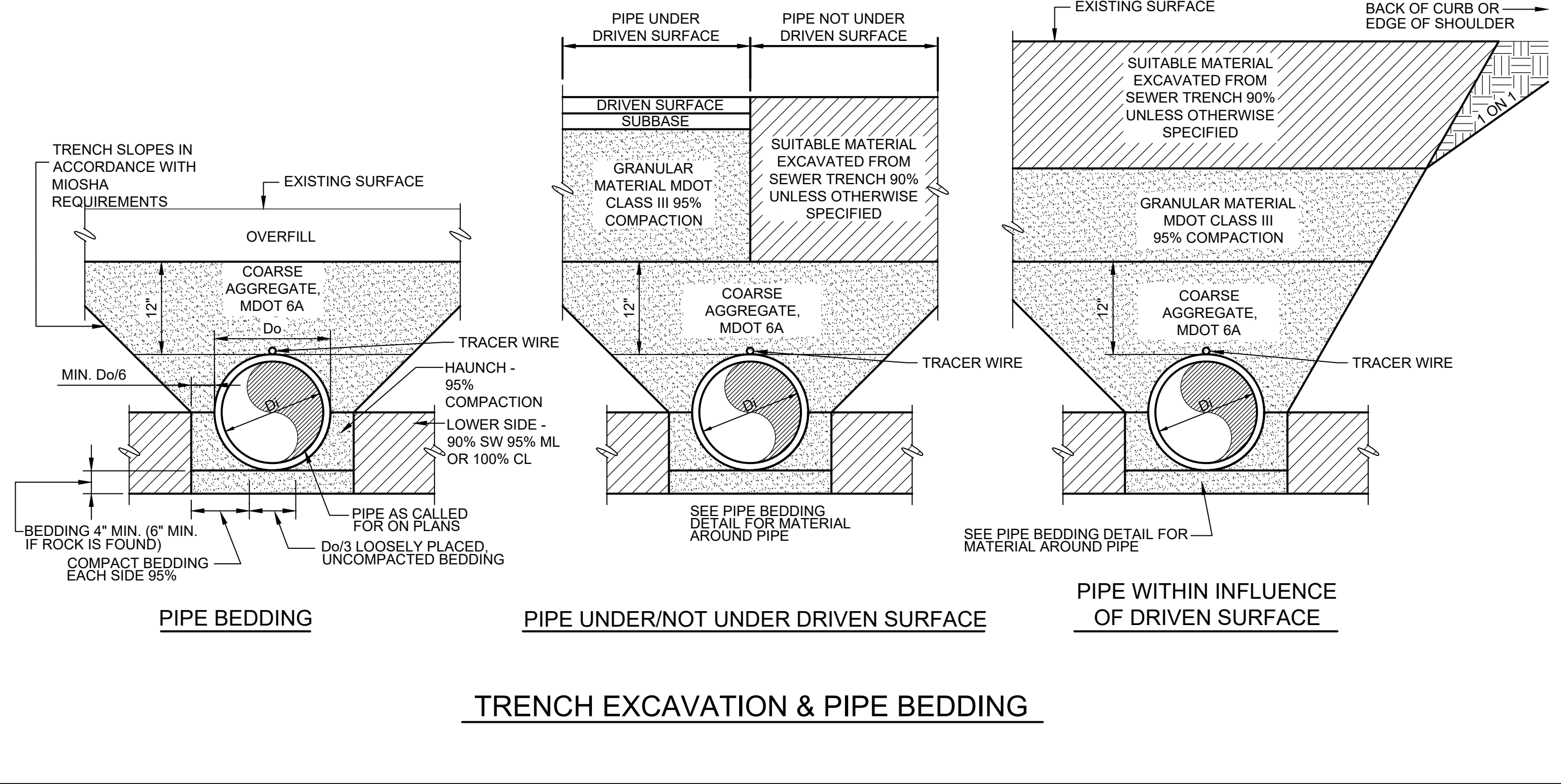


LIGHT DUTY HMA PAVEMENT SECTION
NO SCALE



TYPICAL CONCRETE DRIVE SECTION
NO SCALE

- NOTES:**
1. COMPACTION PRESENTED AS MINIMUM STANDARD PROCTOR VALUES.
 2. MATERIALS AROUND THERMOPLASTIC PIPE WITH DIAMETER < 6 INCHES SHALL PASS 0.5 INCH SIEVE, MATERIALS AROUND OTHER PIPES SHALL PASS 1.5 INCH SIEVE.
 3. DRIVEN SURFACE IS DRIVEWAY, PARKING AREA, ROAD BED OR SHOULDER.
 4. UTILITY TRENCHES LOCATED WITHIN A MDOT ROW SHALL CONFORM TO MDOT STANDARD DETAIL R-83.
 5. FOR ALL EXCAVATION WITHIN THE WETLAND LIMITS THE TOP TWO FEET OF TOP SOIL SHOULD BE STOCKPILED ON SITE AND SHALL BE REPLACED IN THE SAME LOCATION.



TRENCH EXCAVATION & PIPE BEDDING

MARK	DATE	DESCRIPTION	BY
1	7/30/21	SPECIAL LAND USE PERMIT	

DELTA TOWNSHIP, MICHIGAN
WWTP MAJOR CAPITAL IMPROVEMENTS
SITE PLAN
DETAILS

PROJ: 200-214200-20001
DES: SNB
DRW: TAH
CHK: GJM

C-502

7/30/2021 3:13:44 PM - P:\IER\214200\20001\CADD\SHETS\SITE PLAN\C-501.DWG - HOLLENBECK, TODD

P DIRECT EMBED POLES

DIRECT EMBED POLE STANDARD DESIGNS

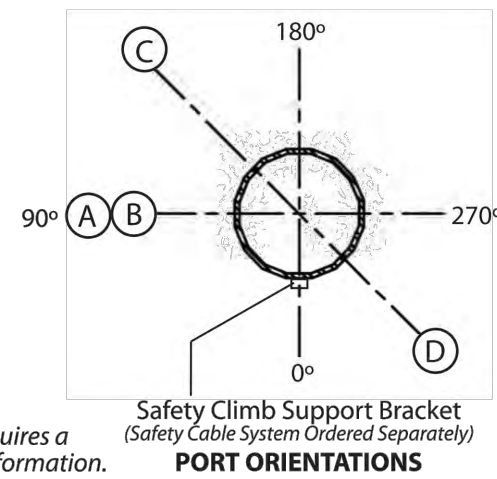
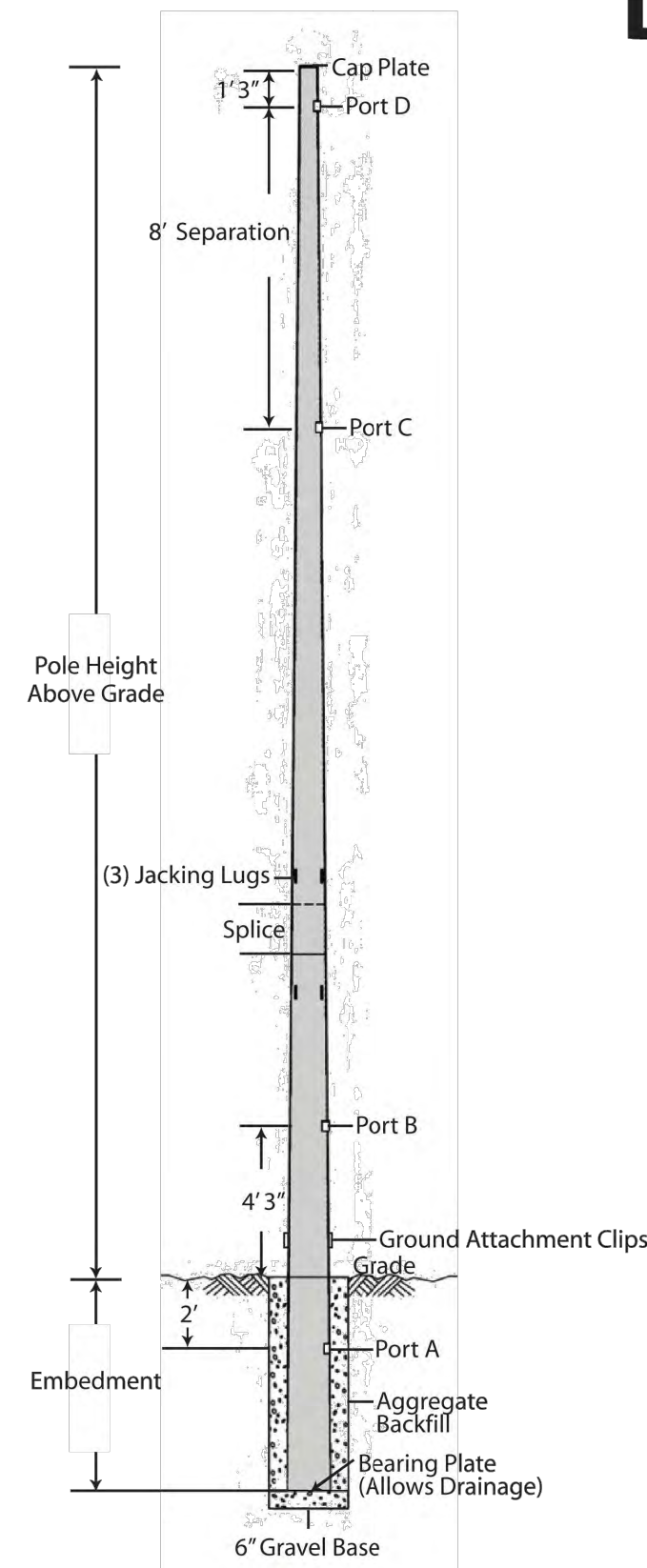
DIRECT EMBED POLES

GENERAL USE

ROHN Direct Embed Poles minimize site requirements, lowering lease rates and acquisition costs. They are designed for rapid installation, meeting the demands of today's dynamic communication environments. Whether you are supporting broadband, PCS, security or other lightweight systems, ROHN Tapered Steel Poles offer extremely efficient designs.

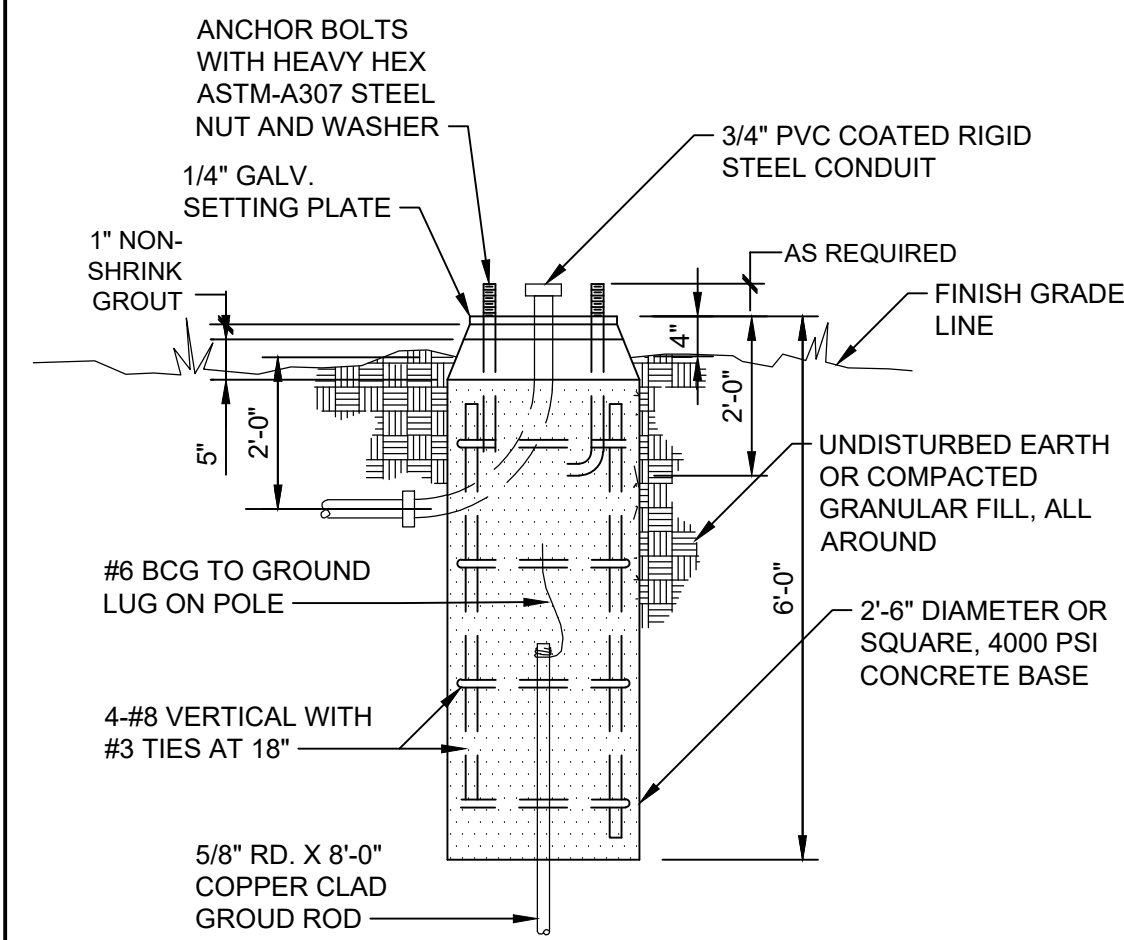
FEATURES

- Completely hot-dip galvanized after fabrication
- Fast, easy installation
- Designed for applications with stringent deflection requirements
- Internal routing of transmission lines
- Each pole ships with the following:
 - Assembly Drawings and Standard Foundation Details
 - (4) 5" x 7" Ports with (2) port covers
 - (3) Jacking Lugs on each side of splices
 - (3) Ground attachment clips
 - (1) Vented cap plate
 - (1) Bearing plate welded to bottom
 - Safety Climb Support Brackets
 - (1) Safety warning sign
 - (1) Pole ID tag
 - Attachment clips for optional step bolts
- Optional items are available and may be ordered separately. Please see accessories on page 225.
- Custom designs available for any height or application.



Per Rev G requirements, any structure greater than 10' requires a climber safety device. Please see page 225 for ordering information.
 Phone (309) 566-3000 • Fax (309) 566-3079 • www.rohnel.com • The Industry Standard
 © 2011 ROHN PRODUCTS LLC

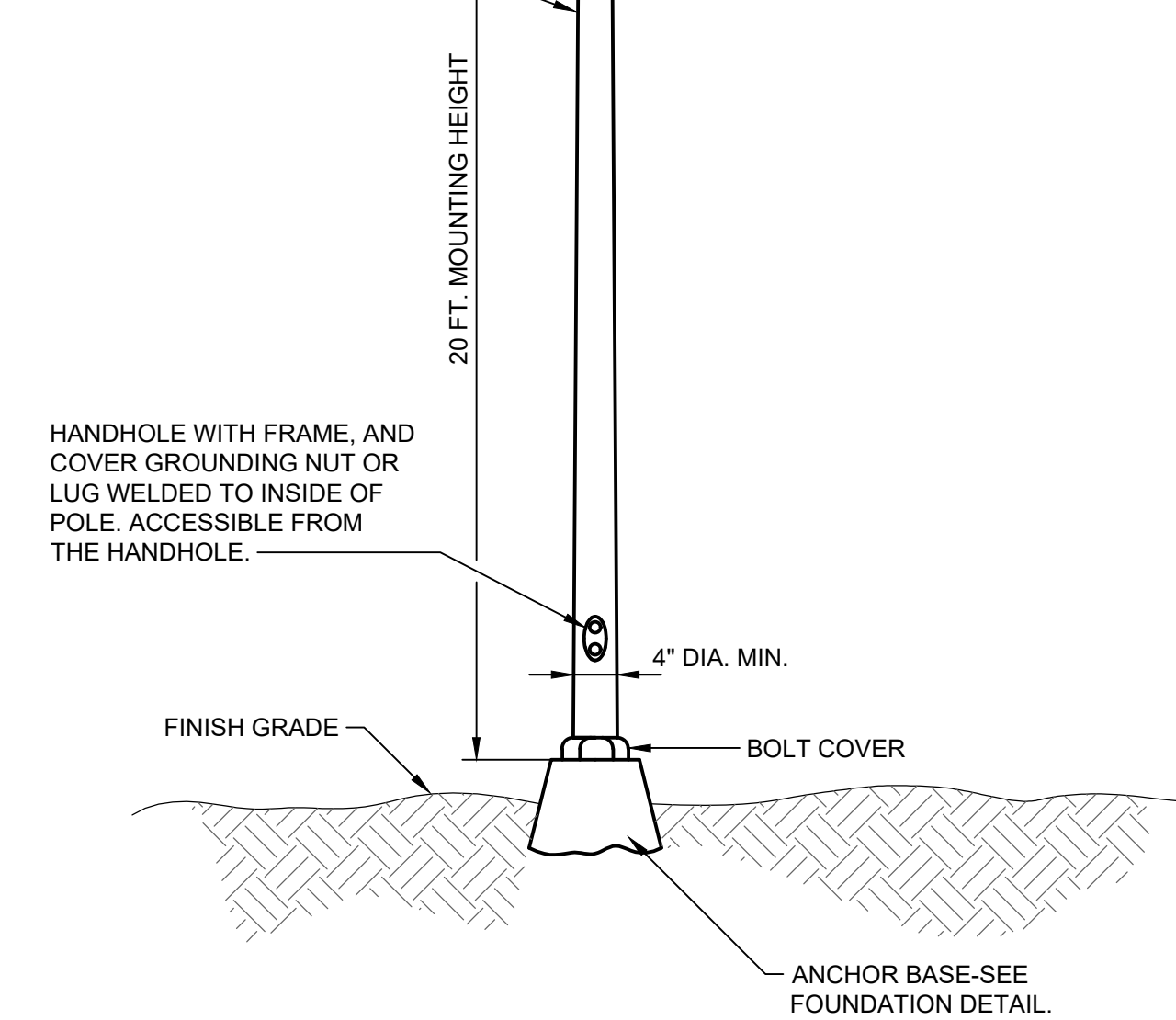
COMMUNICATION POLE DETAIL
NO SCALE



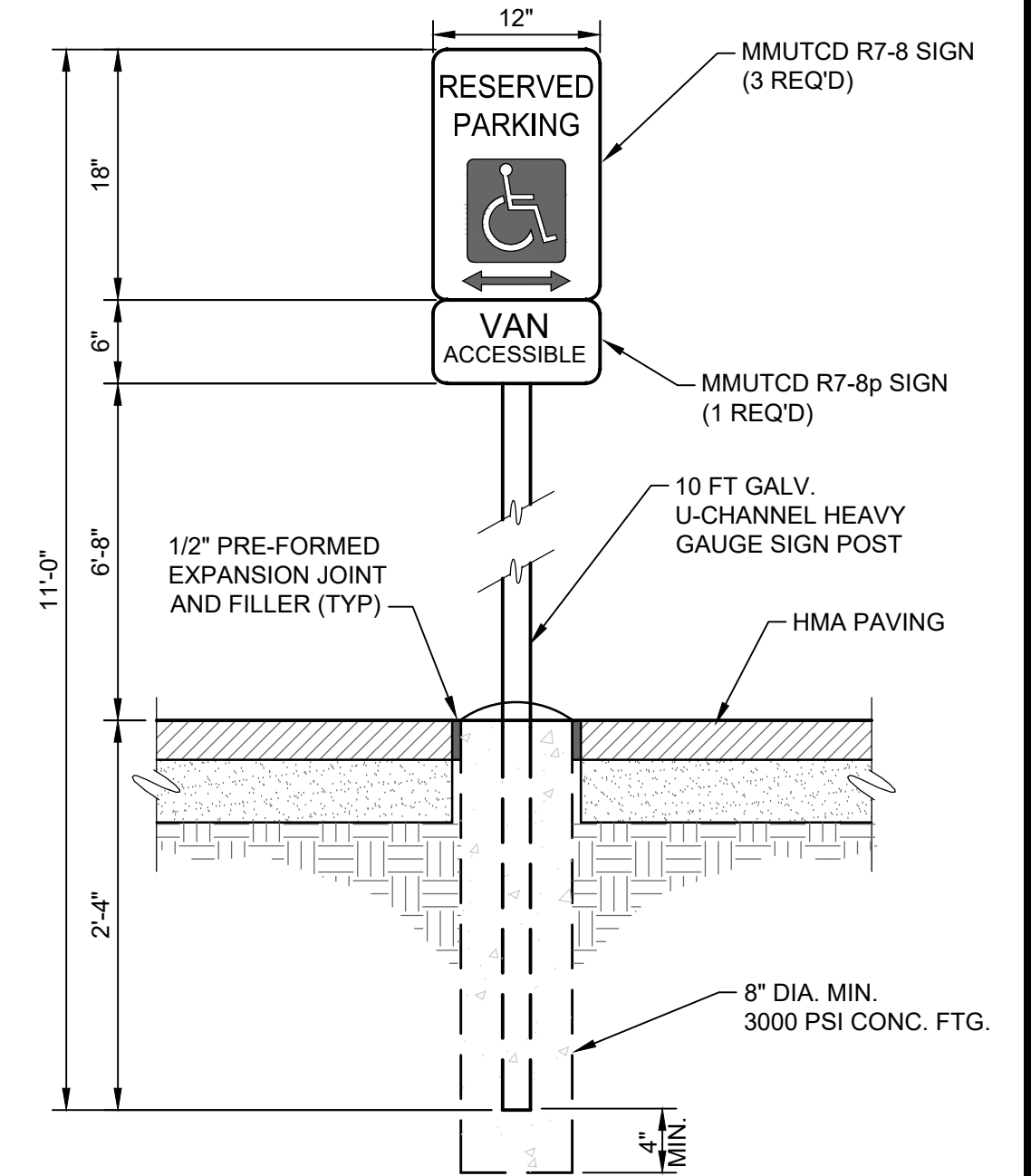
TYPICAL LIGHT STANDARD FOUNDATION DETAIL
NO SCALE

POLE SHALL BE SQUARE, OR RD. TAPERED, POLE, AND BASE PLATE SHALL BE FABRICATED OF ALUMINUM ALLOY, OR STEEL. ALUMINUM ALLOY MATERIALS SHALL BE ANODIZED, AND STEEL MATERIALS SHALL BE HOT DIPPED GALVANIZED INSIDE AND OUT. FURNISH HANDHOLE AND ALL MOUNTING HARDWARE.

250W HPS LITHONIA OUTDOOR, WEATHERPROOF WITH PHOTOCELL, AND SUITABLE FOR OPERATION DOWN TO -20°F.



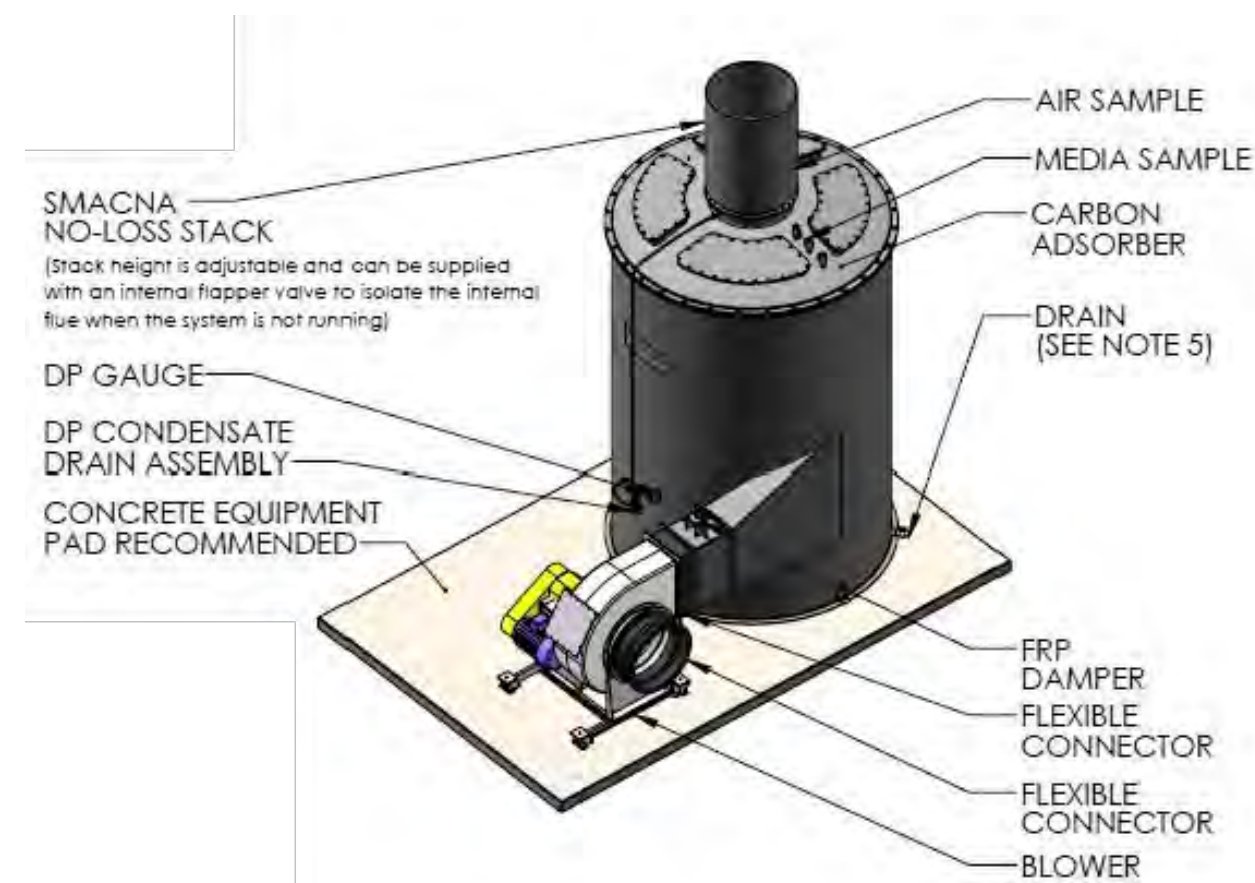
TYPICAL YARD LIGHTING DETAIL
NO SCALE



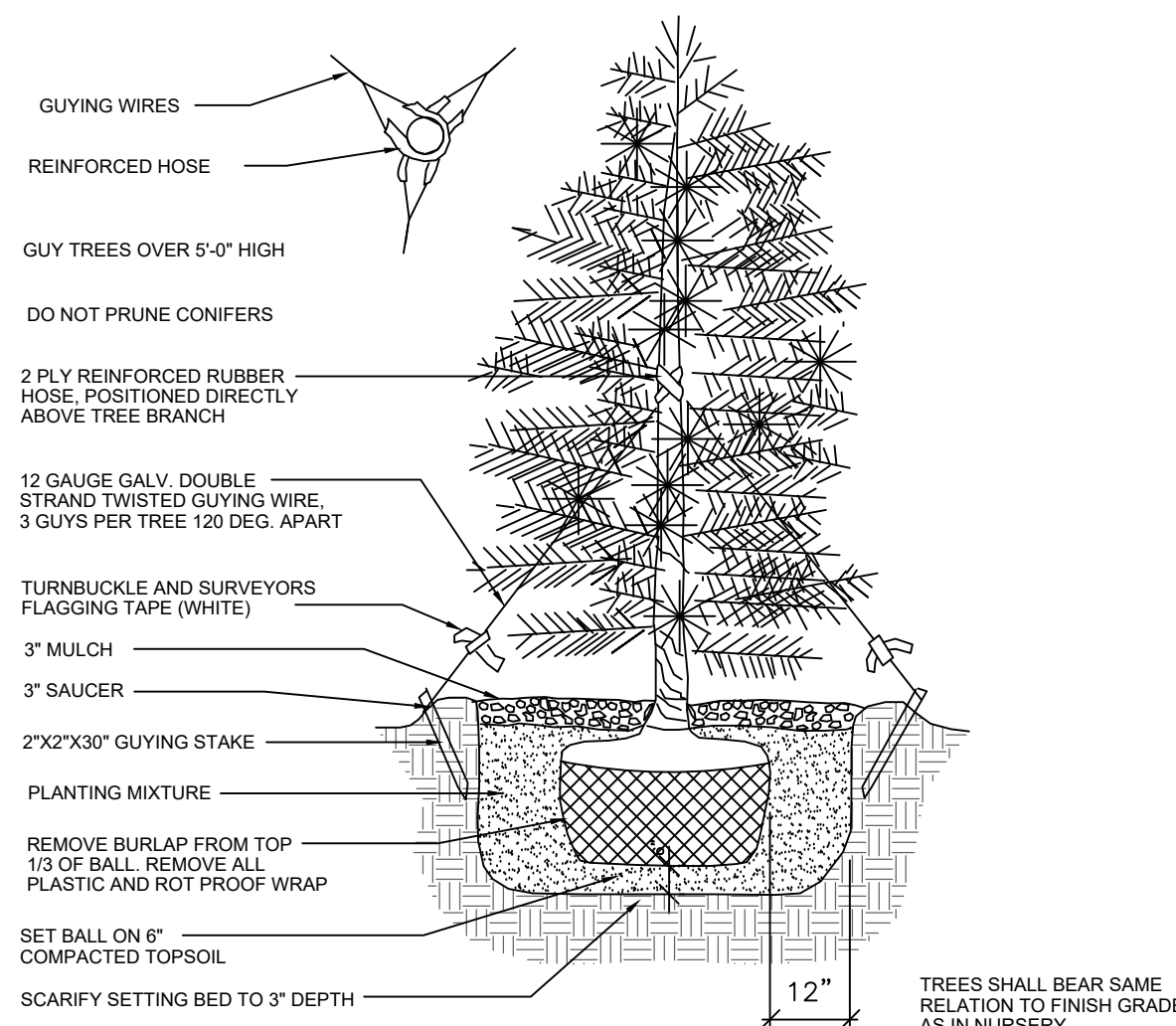
ADA PARKING SIGN
NO SCALE

LANDSCAPE SCHEDULE

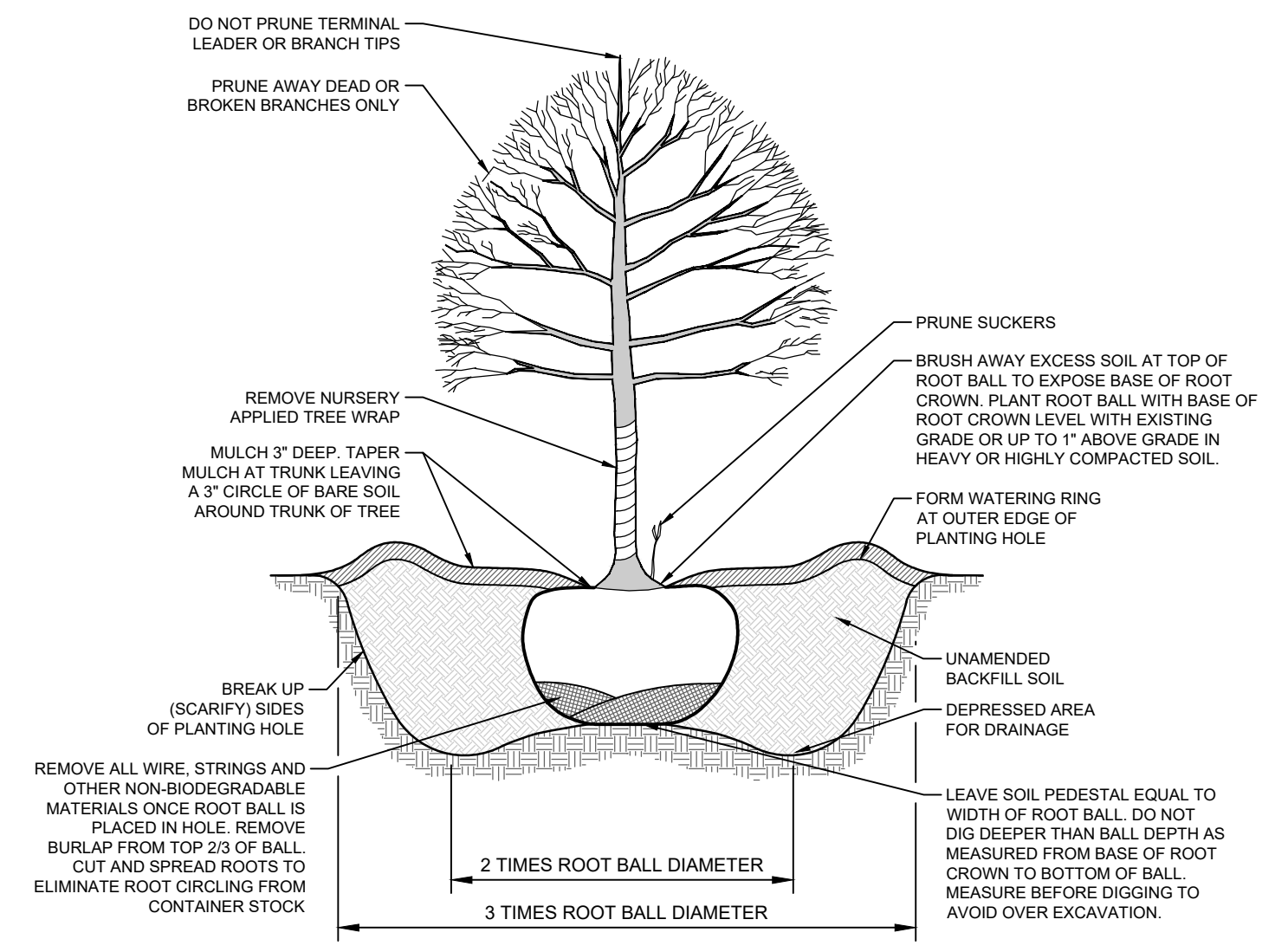
- 15 - BLUE SPRUCE 6 FT HEIGHT
- 8 - RED MAPLE 3" CALIPER
- 8 - FLOWERING CRAB 3" CALIPER



ODOR CONTROL DETAIL
NO SCALE



CONIFEROUS TREE PLANTING DETAIL
NO SCALE



- DO NOT STAKE UNLESS IN HEAVY CLAY SOILS OR WINDY CONDITIONS ARE DETERMINED BY LANDSCAPE ARCHITECT. IF STAKING IS REQUIRED:
1. STAKE WITH 2x2 HARDWOOD STAKES OR APPROVED METAL POST DRIVEN INTO SOIL OUTSIDE OF ROOT BALL. (3) PER TREE.
 2. SECURE TO TREE USING 1" CHAINLOCK OR LANDSCAPE ARCHITECT APPROVED TREE TIE MATERIAL. SECURE TREE TIE MATERIAL TO STAKE PER MANUFACTURER'S RECOMMENDATIONS. LOOP TIE AROUND TREE TO PROVIDE 1" SLACK FOR TRUNK GROWTH.
 3. REMOVE ALL STAKING MATERIAL AFTER (1) YEAR.

- NOTES:**
1. MINIMIZE DAMAGE TO BALLED AND BURLAP ROOT BALLS DURING PLANTING.
 2. SET TREE VERTICAL REGARDLESS OF FINISH GRADE SLOPE.
 3. FORM 3" TO 4" HIGH WATERING RING WITH SOIL AND COVER WITH MULCH AS SHOWN.
 4. BACKFILL HOLE HALF FULL OF NATIVE SOIL AND NO AMENDMENTS. TAMP SOIL TO STABILIZE ROOT BALL. FINISH BACKFILLING AND TAMP AGAIN. TREES OF 3" CALIPER OR LARGER SHOULD BE BACKFILLED AND TAMPED IN 3 EQUAL LEVELS.
 5. WATER ONLY AFTER PLANTING IS COMPLETED.

DECIDUOUS TREE PLANTING DETAIL
NO SCALE

7/30/2021 3:38:07 PM - P:\IER\214200-20001\CAD\ASHEETS\SITE PLAN\C-501.DWG - HOLLENBECK, TODD

TETRA TECH
www.tetra-tech.com
3497 COOLIDGE ROAD
EAST LANSING, MI 48823
TEL: (517) 316.3963 FAX: (517) 484.8140



MARK	DATE	DESCRIPTION
1	7/30/21	SPECIAL LAND USE PERMIT

DELTA TOWNSHIP, MICHIGAN
WWTP MAJOR CAPITAL IMPROVEMENTS
SITE PLAN
DETAILS

PROJ: 200-214200-20001
DESIN: SNB
DRAWN: TAWH
CHKD: GJM

C-503

Planning Commission

Special Use Permit-Wireless Communications Facility Delta Township Wastewater Treatment Plant Section 3

Meeting Date:
September 13, 2021

Report Date:
September 7, 2021

Case No: 08-21-11

Applicant:
Delta Township

Location
7000 W. Willow Hwy

Parcel Numbers:
040-003-300-300-00 &
040-003-300-270-00

Current Zoning District:
AG2-
Agricultural/Residential

Proposed Request:
Special Land Use Permit
for a Wireless
Communications Facility

Report Prepared by:
Matt McKernan,
Planner



Overview

A Special Land Use Permit request for a 130-foot high wireless radio communications monopole to be located at the Delta Township Wastewater Treatment Plant.

Related Documents

- Application
- Tower Project Illustrated Site Plans dated 7/30/21 with Case No. 08-21-10



Existing Land Use:

Delta Township Wastewater Treatment Plant

Surrounding Zoning and Land Use:

North: AG2-Agricultural/Residential: Single-family home & Delta Mills Park

East: RB-Low Density Residential: Armstrong Hills Subdivision

South: RB-Low Density Residential-Creoside Condominiums

West: AG2-Agricultural/Residential: Undeveloped Township Property

Zoning History:

1970: E-Agricultural

1974: A2-Limited Agricultural

1990: A2-Agricultural/Residential

2017: AG2-Agricultural/Residential

Overview:

Delta Township is requesting permission to construct a 130-foot high radio communications monopole at the Wastewater Treatment Plant. Wireless Communications facilities exceeding 50-feet in height require a Special Land Use Permit. The proposed monopole will provide communications to all of Delta Township's lift stations, water pump stations, and elevated tanks, and it will support new private and secure high speed wireless control and monitoring of remote sites. The request is concurrent with to Case No. 08-21-10, which is a Special Land Use Permit request for an expansion to the Delta Township Wastewater Treatment Plant.

Subsequent to the receipt of the site plan, the Engineering and Utility Departments decided to relocate the proposed radio tower to a more central location of the site. The new location is set back further from adjacent properties and meets the setback standards of Section 8.67 C.4. The proposed location is outlined at the top of page 2.

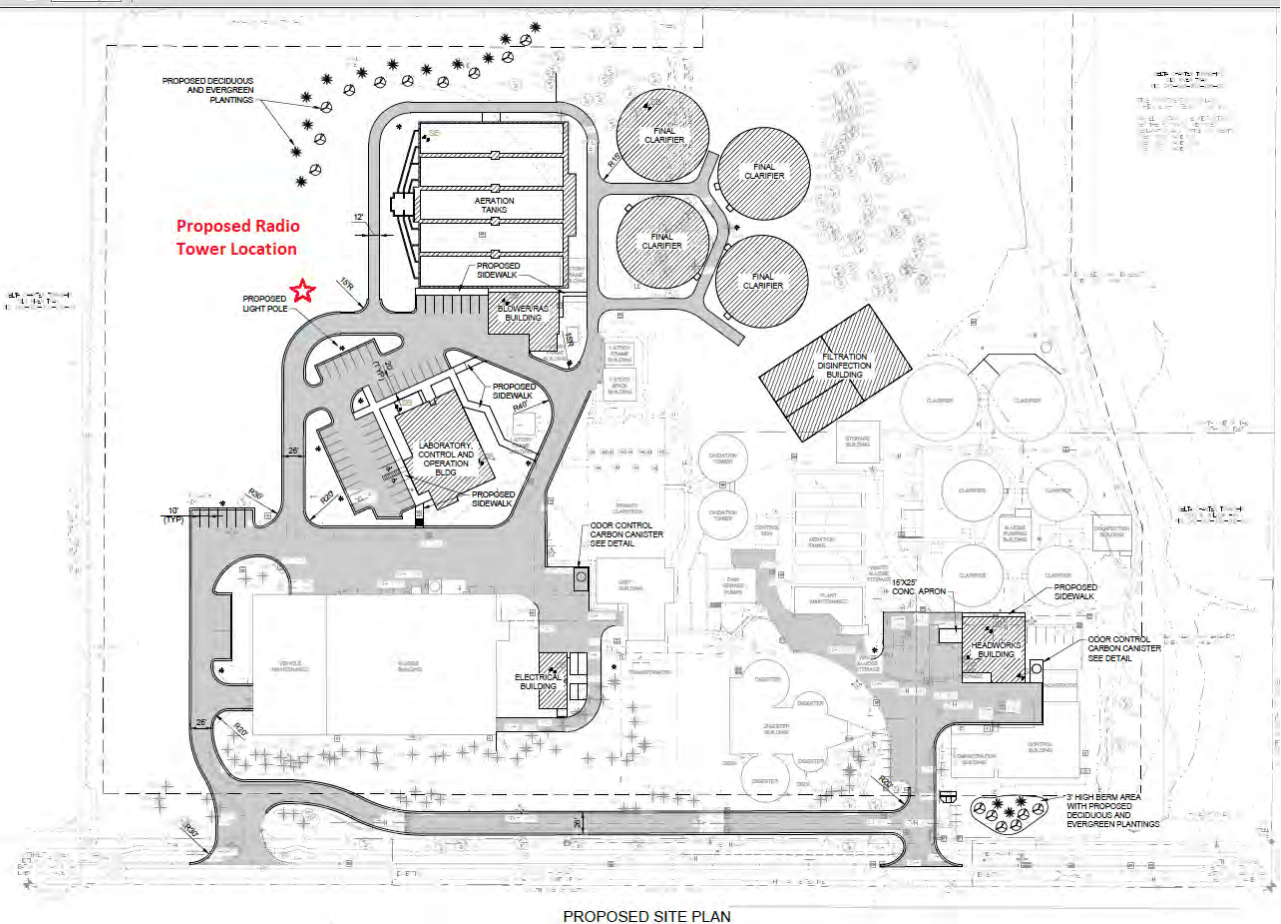
Standards of Review

The Planning Commission and Township Board must review and discuss the *General Review Standards for all Special Land Uses (Section 7.03)* and *Section 8.67 Wireless Communications Facilities*.

Section 7.03 General Review Standards for all Special Land Uses

- 1. The proposed Special Land Use shall be compatible and in accordance with the goals, objectives and policies of the Delta Charter Township Comprehensive Plan and any associated sub-area and corridor plans.***

The proposed monopole will improve the monitoring and control of the Township's water and sanitary sewer facilities, which will help facilitate the residential, commercial, and industrial growth anticipated in the 2013 Township Master Plan.



2. ***Be constructed, operated, and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed. A Special Land Use shall be designed and constructed as to not create a significant detrimental impact, as compared to the impacts of permitted uses.***

The request for a 130-foot tall monopole does not change the residential character of the area. The radio tower will be located near the expansion of the existing wastewater treatment plant and will be similar to existing wireless communication facilities within residential areas around the Township.

3. ***Be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, water, and sewage facilities. Such services shall be provided and accommodated without an unreasonable public burden.***

The proposed monopole will be located near the proposed expansion to the wastewater treatment plant. The proposed monopole will improve monitoring and control of Township water and sewer facilities.

4. ***Not involve uses, activities, processes, materials and equipment or condition of operation that will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors, or other such nuisance in comparison to the impacts associated with typical permitted uses.***

The operation of the radio communications tower will not create nuisances to adjacent properties provided the operational standards of Section 8.67 are met.

5. ***The proposed Special Land Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e. volumes); types of traffic, access location and design, circulation and parking design; street and bridge capacity; and traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion. The applicant shall comply with the Township's Complete Street Ordinance.***

The proposed radio communications tower will not impact pedestrian or vehicle traffic.

6. ***The nature and character of the activities, processes, materials, equipment, or conditions of operation, either specifically or typically associated with the use shall be reviewed.***

The proposed radio tower will primarily be a passive use. The proposed use is not expected to negatively impact adjacent properties so long as the specific use standards of Section 8.67 are followed.

7. ***Measures shall be taken to ensure that outdoor activity, storage, and work areas will be compatible with adjacent land uses.***

There is no outdoor storage associated with the proposed use. The only associated outdoor activity will be occasional maintenance, which will not negatively impact surrounding residential areas.

8. ***The proposed Special Land Use shall be designed, constructed, operated, and maintained to meet the stated intent of the zoning district and shall comply with all applicable ordinance standards.***

The proposed use meets all applicable standards of the AG2 zoning district.

9. ***The general standards and requirements of this Section are basic to all uses authorized by Special Land Use approval. The specific and detailed requirements relating to particular uses and area requirements must also be satisfied for those uses.***

The specific use standards for Wireless Communications Facilities are outlined in Section 8.67 of the Zoning Ordinance. The standards of Section 8.67 are reviewed below:

Section 8.67 SECTION WIRELESS COMMUNICATIONS FACILITIES

A. Application Requirements:

The provided site plans meet the applicable standards to proceed with review.

B. Exceptions:

The proposed radio communications tower exceeds 50 feet in height and thus requires a Special Land Use Permit.

C. Site and Development Requirements:

1. Principal or Accessory Use:

The radio communications tower will be an accessory use to the existing Delta Township Wastewater Treatment Plant.

2. Exemptions from Lot Area, Width & Coverage Requirements:

The subject parcel meets the minimum lot area, width, and coverage requirements for the AG2-Agricultural/Residential zoning district.

3. Height Limitations:

The proposed radio communications tower is located in the AG2-Agricultural/Residential and is not subject to maximum height requirements. The proposed 130-foot tower height would also meet the maximum 200-foot height limitation of the adjacent RB zoning district.

4. Setbacks:

The proposed radio communications tower will be located approximately 330 feet from the nearest property line, which exceeds the minimum 50-foot setback requirement for the AG2 zoning district.

5. Separation:

The proposed radio communications tower will be separated from the nearest tower (2,201 N. Canal Rd) by approximately 2,000 feet.

6. Screening:

The proposed radio tower will be located 650 feet from the nearest residential structure. The base of the radio pole will be screened from the residential properties to the north and south by a landscaped berm. The base of the pole will be shielded from the east and west by wooded properties owned by Delta Township. Staff finds that additional screening is unnecessary.

7. State and Federal Requirements:

All wireless communication facilities shall meet the standards of the Federal Aviation Administration, the Federal Communications Commission, and any other agency of the State of Michigan or federal government with authority to regulate towers and antennas.

8. Certification by a Structural Engineer:

The plans for the tower construction shall be certified by a registered structural engineer. The tower shall be designed to withstand a uniform wind loading as prescribed in the Township's Building Code, as amended.

9. Fencing:

The base of the tower, wire cable supports shall be enclosed with a minimum six (6)-foot high chain link fence.

10. Lighting and Color:

The applicant has submitted a photo indicating that the monopole will be a neutral grey color. The pole shall not be artificially lit unless stipulated by the Federal Aviation Administration.

11. Electromagnetic Exposure Standards:

All antennas on wireless communication facilities shall meet the electromagnetic exposure standards adopted by the Federal Communications Commission.

12. Cessation of Operation:

As the owner of the subject property, Delta Township will self-enforce the cessation of operations provisions of Section 8.67 C.12 of the zoning ordinance.

13. Co-location:

No co-location is proposed for the radio communications tower. Future co-location requests will need to conform to the standards of Section 8.67 C.13 of the Zoning Ordinance.

Staff Recommendation

The following motion is offered if the Planning Commission is inclined to approve the Special Land Use Permit for the Wireless Communications Tower for the Delta Township Wastewater Treatment Plant:

*"I move that the Planning Commission recommend to the Delta Township Board, **approval** of the Special Land Use Permit for a Wireless Communication Facility as described in Case No. 08-21-11 for the following reasons:*

- 1. The specific use standards in Section 8.67 have been met.*
- 2. The Special Land Use standards set forth in Section 7.03 of the Delta Township Zoning Ordinance have been met.*

Conditions of Approval:

Failure of the applicant to comply with any of the provisions required by the Delta Township Zoning Ordinance, or any stipulations added by the Delta Township Planning Commission or Township Board, shall constitute grounds for termination of these Special Land Use Permit."



DELTA CHARTER TOWNSHIP

Planning Department
7710 West Saginaw Highway
Lansing, Michigan 48917

Phone: (517) 323-8560 Fax: (517) 323-8599

**SPECIAL LAND USE
PERMIT APPLICATION**

1. **APPLICANT:** Name: Ernie West Delta Charter Township
(Last) (First) (M.I.)

Address: 7710 W Saginaw Highway, Lansing MI 48917
(No. & Street) (City) (State) (Zip)

Phone Nos: (517) 816-8290 (517) 719-5497
(Work) (Home) (Cell) (Fax)

2. **APPLICANT'S INTEREST IN PROPERTY:** Owner

3. **OWNER:** Name: Delta Charter Township
(Last) (First) (M.I.)

Address: 7710 W Saginaw Highway, Lansing MI 48917
(No. & Street) (City) (State) (Zip)

Phone Nos: (517) 816-8290 (517) 719-5497
(Work) (Home) (Cell) (Fax)

4. **REQUESTING SPECIAL LAND USE PERMIT FOR (Specify Use):** Expansion of Existing Waste Water Treatment Plant, Requiring a 130-foot radio communications tower on site.

5. **LEGAL DESCRIPTION OF PROPERTY:** _____
Attached Separately

6. **ADDRESS OF PROPERTY:** 7000 W Willow HWY, Lansing, MI 48917

7. **PRESENT USE OF PROPERTY:** Waste Water Treatment Plant

8. **ATTACH REQUIRED SITE PLAN DRAWING:** Section 7.02 A.1. of the 2017 Delta Township Zoning Ordinance requires all Special Land Use Permit applications to be accompanied by five (5) paper copies and a digital PDF format copy of a site plan meeting the requirements of Section 6.02 A.2.

9. **NAMES & ADDRESSES OF ALL OTHER PERSONS, FIRMS, OR CORPORATIONS HAVING A LEGAL INTEREST IN THE PROPERTY:** _____

10. **APPLICANT'S SIGNATURE:**

X _____ Date: _____

11. **OWNER'S SIGNATURE:**

X _____ Date: _____

-OFFICIAL USE ONLY-	
CASE NO:	_____
FILING DATE:	_____
REC'D BY:	RECEIPT NO: _____
PC ACTION:	DATE: _____
BOARD ACTION:	DATE: _____
EFFECTIVE DATE:	_____



August 2, 2021

Delta Charter Township
Planning Department
7710 West Saginaw Highway
Lansing, Michigan 48917

**RE: Delta WWTP Major Capital Improvements
Special Land Use Permit Application**

On behalf of Delta Charter Township Tetra Tech has prepared a special land use permit application for the proposed wastewater treatment plant (WWTP) improvements. A portion of the proposed electrical improvements to the WWTP include the installation of a 130-foot radio communication monopole at the WWTP site. Due to the proposed monopole being higher than the 50-foot limit, a special land use permit is required prior to construction. Attached are site plan drawings for the above referenced project and additional information on the proposed communication pole is provided below.

The proposed monopole will be a Rohn Heavy Duty Tower, 130-foot direct buried pre-engineered monopole. The pole includes a concrete encased foundation. A detail of the pole is provided on the site plan. The proposed monopole will provide communications to all of Delta Township's lift stations, water pump stations and elevated tanks, and it will support new private and secure high speed wireless control and monitoring of remote sites.

Figure 1 below shows a recently installed communications pole at another WWTP. The installation is the same manufacturer and size of the pole that will be installed at Delta WWTP. The monopole will be installed on the north east corner of the WWTP property at an elevation of 874 feet, and the proposed location is provided on the site plan.

Please review the attached Special Use permit application and associated site plan documents. If you have any questions or require additional information, please call.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Gary Markstrom', written over a white background.

Gary J. Markstrom, P.E.
Vice President



TETRA TECH



Figure 1. Recently Installed Pole at East Lansing WWRF

Planning Commission

Special Land Use Permit: Delta Crossings "Building G" Drive Thru Section 9

Meeting:
September 13, 2021

Report Date:
Sept 8, 2021

File No: 08-21-12

Applicant: K2
Development

General Location:
Former Flowerland
Property, Delta Crossings
Phase 1

Current Zoning District
C - Commercial

Report Prepared By:
David Waligora, AICP
Assistant Planning
Director



Overview

Special Land Use permit for a restaurant Drive Thru lane.

Staff Recommendation

Approval

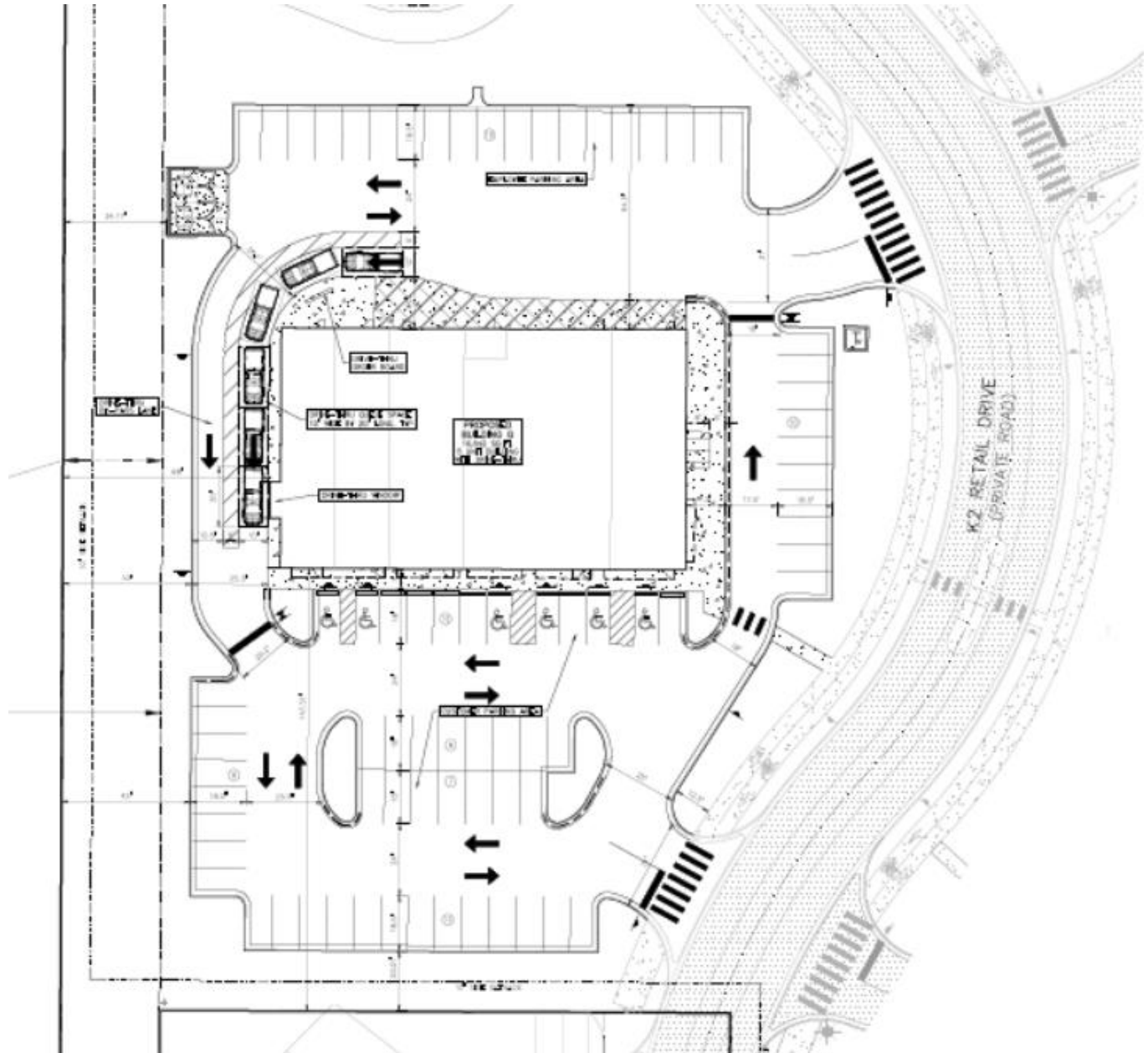
Related Documents

- SLU Concept Plan



Overview

The applicant has submitted an application for a proposed drive thru. Building G is located just west of the Texas Roadhouse restaurant and north of Pioneer Motors. Building G is comprised of 5 suites, where the westerly suite is designed as a drive-through food establishment, yet to be identified.



Surrounding Zoning and Land Use

North: Commercial: Delta Crossings Phase 1 Main Building

South: Commercial, Paradise Used Car Dealership

East: Commercial, Future Texas Roadhouse

West: Commercial, Crippen Automotive Dealer

Standards of Review

SECTION 7.03 REQUIRED STANDARDS AND FINDINGS FOR MAKING DETERMINATIONS

Standard of Review	Staff Comments
<p>Compatibility with the Comprehensive Plan. The proposed Special Land Use shall be compatible and in accordance with the goals, objectives and policies of the Delta Charter Township Comprehensive Plan and any associated sub-area and corridor plans.</p>	<p>Finding: Meets Standard</p> <p>Staff Comments: The area lies within the Saginaw Highway commercial tract of Delta Township, with adequate service from public safety and utilities.</p> <p>Drive-thru uses are very common in this area of the Township and in staff’s opinion the proposed use will not be out of place in this area.</p>
<p>Compatibility with Adjacent Uses. The proposed Special Land Use shall be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed. A Special Land Use shall be designed and constructed so as to not create a significant detrimental impact, as compared to the impacts of permitted uses.</p>	<p>Finding: Meets Standard</p> <p>Staff Comments: The 2013 Comprehensive recommends commercial development in this area of the Township.</p>
<p>Impact on Public Services. The proposed Special Land Use shall be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage, water and sewage facilities. Such services shall be provided and accommodated without an unreasonable public burden.</p>	<p>Finding: Meets Standard</p> <p>Staff Comments: The location can meet all stated requirements.</p>
<p>Impact on the Overall Environment. The proposed Special Land Use shall not involve uses, activities, processes, materials and equipment, or conditions of operation that will be detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, smoke, odors, or other such nuisance in comparison to the impacts associated with typical permitted uses.</p>	<p>Finding: Meets Standard</p> <p>Staff Comments: The proposed drive-through will not have a negative impact to the overall environment.</p>

<p>Traffic Impact. The proposed Special Land Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e. volumes); types of traffic, access location and design, circulation and parking design; street and bridge capacity; and traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion. The applicant shall comply with the Township’s Complete Street Ordinance.</p>	<p>Finding: Meets Standard</p> <p>Staff Comments: Staff does not see the proposed use having significant impact on traffic in the area.</p>
<p>Operational Characteristics. The nature and character of the activities, processes, materials, equipment, or conditions of operation, either specifically or typically associated with the use shall be reviewed.</p>	<p>Finding: Meets Standard</p> <p>Staff Comments: Staff finds that the proposed drive-through’s uses shall not have a negative impact.</p>
<p>Compliance with Zoning Ordinance Standards. The proposed Special Land Use shall be designed, constructed, operated, and maintained to meet the stated intent of the zoning district and shall comply with all applicable ordinance standards.</p>	<p>Finding: Meets Standard</p> <p>Staff Comments: Staff finds the proposed drive-through will comply with all state intentions of the commercial zoning district.</p>
<p>Special Land Use Approval Specific Requirements. The general standards and requirements of this Section are basic to all uses authorized by Special Land Use approval. The specific and detailed requirements relating to particular uses and area requirements must also be satisfied for those uses.</p>	<p>Finding: Meets Standard</p> <p>Staff Comments: MDOT has approved the design and location of the main entrance drive into Delta Crossings.</p>
<p>B. Site Plan Review. Properties for which an application for Special Land Use approval is made shall also be subject to site plan review in</p>	<p>Finding: Meets Standard</p> <p>Staff Comments: The applicant is aware the next step, if approved, would be a site plan review process.</p>

<p>accordance with the requirements of Chapter 6, Site Plan Review.</p>	
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SECTION 8.23 DRIVE-UP / DRIVE-THROUGH FACILITIES

<p>A. On-Site Stacking of Vehicles: Adequate on-site stacking space for vehicles shall be provided for each drive-through window to ensure that vehicles will not interfere with vehicular circulation or parking maneuvers on-site. Access to and from the property shall not interfere with traffic flows or cause congestion during peak hour traffic of the street(s) serving the property.</p>	<p>Finding: Meets Standard Staff Comments: Adequate space for stacking is provided for..</p>
<p>B. Ingress and Egress: Ingress and egress to drive-through facilities shall be part of the internal circulation of the site and integrated within the overall site design.</p>	<p>Finding: Meets Standard Staff Comments: The ingress and egress is handled via the private road which allows a motorists options to go either north to Marketplace (and eventually Broadbent and Willow Highway) or South to Saginaw Highway.</p>
<p>C. Stacking Space Requirements: Each stacking lane shall be one-way and each stacking lane space shall be a minimum of ten (10) feet in width and twenty (20) feet in length.</p> <p>If proposed, an escape lane shall be a minimum of ten (10) feet in width to allow other vehicles to pass those waiting to be served.</p>	<p>Finding: Meets Standard Staff Comments: Adequate room exists for stacking. No specific escape lane is shown, however staff finds that enough room exists for various vehicular movements.</p>

Staff Recommendation

The following motion is offered for the Planning Commission's consideration:

"I move that the Delta Township Planning Commission recommend approval to the Township Board, of the Special Land Use Permit, for a restaurant drive-through on the subject parcel described in Case No **08-21-12** subject to the following stipulations:

1. The use shall meet all applicable general and specific use standards applicable to drive through restaurants specified in the Delta Township Zoning Ordinance.
2. A site plan shall be submitted in accordance with the provision of Chapter 6 of the Delta Township Zoning Ordinance illustrating compliance with all the Township's applicable development regulations.
3. Failure of the applicant to comply with any of the provisions required by the Zoning Ordinance, or any stipulations required by the Delta Township Board, shall constitute grounds for termination of this permit by the Delta Township Board

CONSTRUCTION PLANS

DELTA CROSSINGS - BUILDING G

PART OF SECTION 09, T04N, R03W
DELTA TOWNSHIP, EATON COUNTY, MI

DESIGN TEAM

APPLICANT/DEVELOPER/OWNER

WEST LANSING RETAIL
DEVELOPMENT LLC
30300 TELEGRAPH ROAD, SUITE 280
BINGHAM FARMS, MI 48025
CONTACT: KRIS KRSTOVSKI
PHONE: 248.859.2817

BUILDING G

ROGVOY ARCHITECTS
32500 TELEGRAPH ROAD, SUITE 250
BINGHAM FARMS, MICHIGAN 48025
CONTACT: MARK DRANE, AIA, LEED AP
PHONE: (248) 540-7700
EMAIL: MDRANE@ROGVOY.COM



PROJECT MANAGER: KATIE CEGLARZ
PHONE: (248) 540-7700
EMAIL: KCEGLARZ@ROGVOY.COM

CIVIL ENGINEER

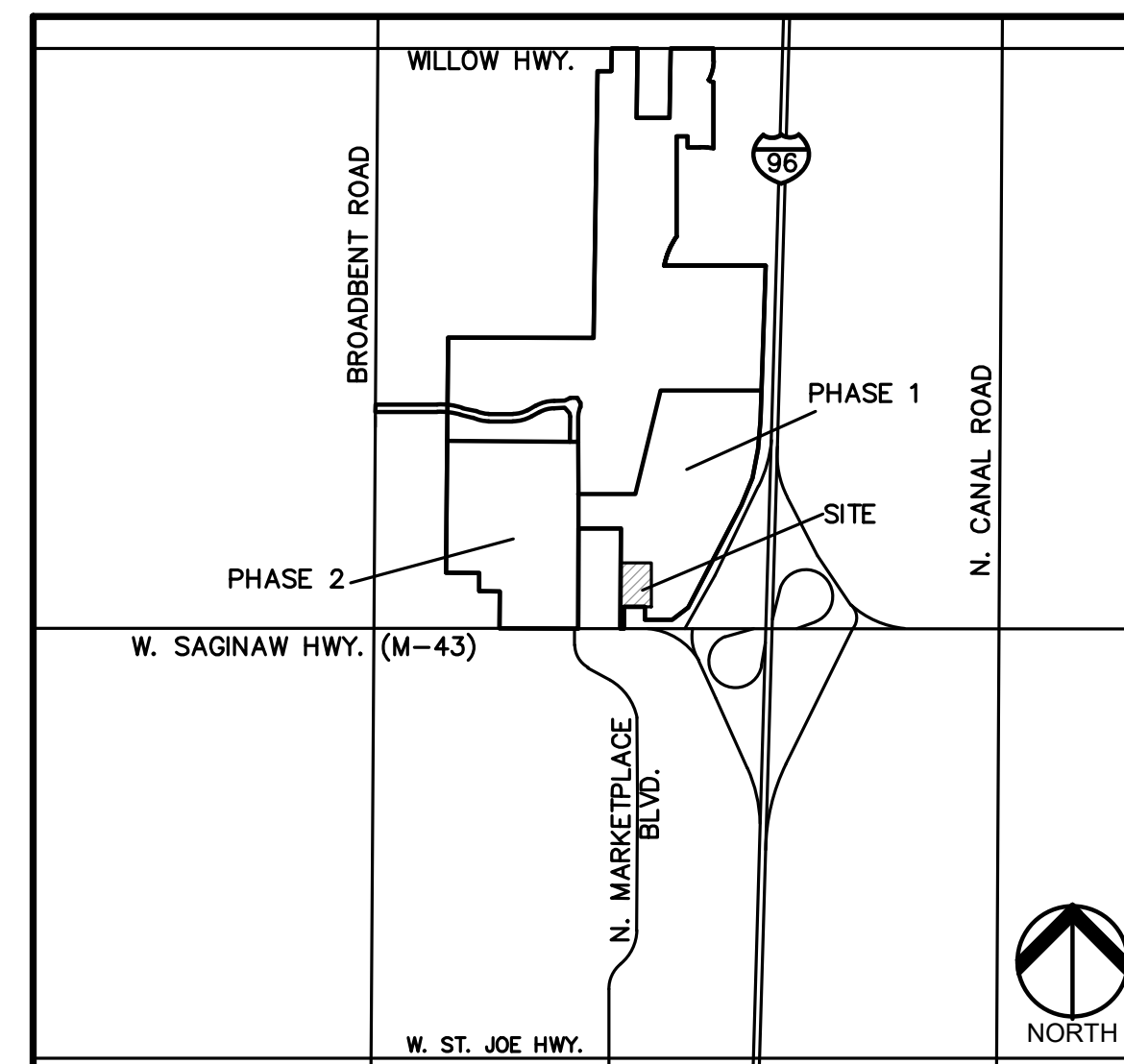
PEA GROUP
7927 NEMCO WAY, SUITE 115
BRIGHTON MI, 48116

PROJECT MANAGER: THOM DUMOND, PLA, LEED AP
PHONE: 248.979.4466
EMAIL: TDUMOND@PEAGROUP.COM

PROJECT ENGINEER: BRETT HOLLANDSWORTH, PS, PE
PHONE: 844.813.2949
EMAIL: BHOLLANDSWORTH@PEAGROUP.COM

LANDSCAPE ARCHITECT

PEA GROUP
7927 NEMCO WAY, STE. 115
BRIGHTON, MI 48116
CONTACT: JANET EVANS
PHONE: 844.813.2949
EMAIL: JEVANS@PEAGROUP.COM



LOCATION MAP
NO SCALE

INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.0	OVERALL SITE PLAN
C-1.1	OVERALL BOUNDARY DIMENSIONS
C-4.0	DIMENSIONS AND PAVING PLAN
C-4.1-G	SPECIAL LAND USE PERMIT SITE PLAN
A-3	BUILDING G ELEVATIONS AND FLOOR PLAN

UTILITY PROVIDERS

COMCAST - COMMUNICATIONS
CONTACT: CRAIG PUDAS
PHONE: 248.809.2715
EMAIL: CRAIG_PUDAS@CABLE.COMCAST.COM

CENTURYLINK - COMMUNICATIONS
CONTACT: TOM TROMBLEY
PHONE: 734.777.1910
EMAIL: THOMAS.STURMBER@CENTURYLINK.COM

CONSUMERS ENERGY - GAS & ELECTRIC
CONTACT: CURT GOLDING
PHONE: 800.477.5050
EMAIL: KURT.GOLDING@CMSENERGY.COM

DELTA TOWNSHIP - WATER & SEWER
CONTACT: ERNEST A WEST, P.E.
PHONE: 517.323.8540
EMAIL: EWEST@DELTAMI.GOV

LANSING BOARD OF WATER & LIGHT - ELECTRIC
PHONE: 517.702.6069

LEVEL 3 (NOW CENTURYLINK) - COMMUNICATIONS
CONTACT: RYAN EGAN
PHONE: 414.224.6767
EMAIL: RYAN.EGAN@CENTURYLINK.COM

FRONTIER/VERIZON - COMMUNICATIONS
CONTACT: KATHRYN ANDERSON
PHONE: 810.724.3127

ZAYO BANDWIDTH MIDWEST - COMMUNICATIONS
CONTACT: GEORGE HUSS
PHONE: 443.403.2023
EMAIL: GEORGE.HUSS@ZAYO.COM

LOCAL AGENCIES

DELTA TOWNSHIP - PLANNING DEPARTMENT
CONTACT: GARY M. BOZEK, AICP - DIRECTOR
PHONE: 517.323.8560
EMAIL: GBOZEK@DELTAMI.GOV

DELTA TOWNSHIP - ENGINEERING DEPARTMENT
CONTACT: ERNEST A. WEST, P.E.
PHONE: 517.323.8540
EMAIL: EWEST@DELTAMI.GOV

MICHIGAN DEPARTMENT OF TRANSPORTATION
CONTACT: MELISSA LONGWORTH, P.E.
PHONE: 517.599.8135
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EATON COUNTY - DRAIN OFFICE
CONTACT: JESSICA LARKIN - SOIL EROSION
PHONE: 517.543.3809
EMAIL: EDEIBEL@EATONCOUNTY.ORG

EATON COUNTY ROAD COMMISSION
CONTACT: MATT HANNAHS - ASSISTANT COUNTY ENGINEER
PHONE: 517.997.4067
EMAIL: MHANNAHS@EATONCOUNTYROAD.COM



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE - SPECIAL LAND USE PERMIT - DELTA TOWNSHIP	7/9/2021

PROJECT NARRATIVE:

PROJECT NAME:
DELTA CROSSINGS
PHASE 1

PROJECT AND SITE DESCRIPTION:
DELTA CROSSINGS (PHASE 1) PROPOSES CONSTRUCTION OF A DETACHED RESTAURANT, A FIVE (5) TENANT MIXED USE RESTAURANT/RETAIL/BEAUTY SALON BUILDING, AND A MULTI-TENANT RETAIL/COMMERCIAL LARGE SCALE RETAIL BUILDING LOCATED NORTH OF SAGINAW HWY (M-43) AND WEST OF I-69/96. THE PROJECT WILL EXTEND MARKETPLACE BLVD TO THE NORTH OF SAGINAW HWY AND CREATE NEW PRIVATE ROADS FOR THE BUILDING CONDOMINIUM UNITS. THE SITE IS CURRENTLY VACANT, BEING FARMED, AND/OR FORMERLY A GARDEN CENTER/NURSERY.

SITE ARRANGEMENT:
THE PROPOSED BUILDING CONDOMINIUM CONSISTS OF A 8,515 SQUARE FOOT DETACHED RESTAURANT WITH PARKING LOT, AN 10,842 SQUARE FOOT MIXED USE RESTAURANT/RETAIL/BEAUTY SALON BUILDING TO SUPPORT FIVE (5) TENANTS WITH PARKING LOT, AND A COMBINED 157,335 SQUARE FOOT RETAIL/COMMERCIAL LARGE SCALE RETAIL BUILDING WITH PARKING LOT. THE SITE WILL UTILIZED BUILDING CONDOMINIUM PLANS FOR CREATING PARCELS. PRIVATE ROADS PROVIDE ACCESS TO PUBLIC ROADS OF SAGINAW HWY AND MARKETPLACE BLVD (PROPOSED FUTURE PUBLIC).

NATURAL RESOURCES:
WETLAND - THE PROPOSED IMPROVEMENTS IMPACT FOUR (4) WETLAND AREAS ON THE SITE. THE AREAS ARE SMALL IN SIZE AND HAVE BEEN DETERMINED TO BE NON-REGULATED BY MDEGLE.

FLOODPLAIN - THE SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE (100-YEAR) FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26045C0206E, DATED 11/26/2010.

VEGETATION - THE FORMER GARDEN CENTER/NURSERY AREA IS OVERGROWN WITH BRUSH, SHRUBS, AND SMALL TREES SPORADICALLY THROUGHOUT BROKEN AND DILAPIDATED ASPHALT AND CONCRETE PAVEMENTS. THE REMAINING IMPACTED PORTION OF THE SITE IS VACANT/FARM FIELD WITH AREAS OF BRUSH, SHRUBS, AND SPORADIC TREE COVER.

ACCESS AND CIRCULATION:
VEHICULAR ACCESS AND CIRCULATION - VEHICULAR ACCESS TO ALL UNITS AND PARKING LOTS IS PROVIDED VIA NEW ROADWAYS. MARKETPLACE BLVD IS EXTENDED TO THE NORTH OF SAGINAW HWY AND IS PROPOSED TO BE A PUBLIC ROADWAY.

PEDESTRIAN ACCESS AND CIRCULATION - SIDEWALKS ARE PROVIDED ON BOTH SIDES OF THE NEW ROADS AND TO THE PROPOSED BUILDINGS FROM THE ROADWAYS. AN EASEMENT FOR A FUTURE NON-MOTORIZED PATHWAY IS PROVIDED ALONG I-69/96.

UTILITIES:
UTILITIES ARE PLACED WITHIN THE ROAD RIGHT-OF-WAY, OR WITHIN EASEMENTS.

ALL SITES ARE TO BE SERVED BY PUBLIC WATER, SANITARY SEWER, STORM SEWER, GAS, ELECTRIC, AND COMMUNICATIONS. GREASE TRAPS AND OIL/WATER SEPARATORS ARE PROVIDED AT RESTAURANT LOCATIONS. THE SITE IS SERVED BY THE LAZELL DRAIN AND REGIONAL DETENTION BASINS UNDER THE JURISDICTION OF EATON COUNTY DRAIN COMMISSIONERS OFFICE. A WATER QUALITY SEDIMENTATION BASIN IS PROVIDED PRIOR TO DISCHARGING STORM WATER TO THE LAZELL DRAIN WITH A RESTRICTED OUTLET CONSTRUCTED TO APPLICABLE STANDARDS.

PARKING LOT AND STREET LIGHTING:
PARKING LOT LIGHTING IS PROVIDED ACCORDING TO DELTA TOWNSHIP REQUIREMENTS. STREET LIGHTING IS PROVIDED AT THE INTERSECTIONS OF ROADS.

EXISTING PARCEL DATA TABLE:

PID: 040-009-300-033-00
ADDRESS: W SAGINAW HWY (VACANT)
GROSS AREA: 117.4 ACRES
CURRENT ZONING: C-COMMERCIAL & AG2-AGRICULTURAL/RESIDENTIAL
CURRENT OWNER: UNIFIED GROUP LLC
OWNER ADDRESS: 6250 W MICHIGAN AVE, LANSING, MI 48917

PID: 040-009-100-047-00
ADDRESS: W WILLOW HWY (VACANT)
GROSS AREA: 57.4 ACRES
CURRENT ZONING: AG2-AGRICULTURAL/RESIDENTIAL & RA-VERY LOW DENSITY RESIDENTIAL
CURRENT OWNER: UNIFIED GROUP LLC
OWNER ADDRESS: 6250 W MICHIGAN AVE, LANSING, MI 48917

PHASE 1 PARCEL DATA TABLE:

PID: 040-009-300-090-01
ADDRESS: 8132 W SAGINAW HWY (VACANT, FORMERLY GARDEN CENTER)
GROSS AREA: 28.14 ACRES
CURRENT ZONING: C-COMMERCIAL
CURRENT OWNER: UNIFIED GROUP LLC
OWNER ADDRESS: 6250 W MICHIGAN AVE, LANSING, MI 48917

SITE AREA: 28.14 ACRES (1,225,599 SQ.FT.) GROSS
27.98 ACRES (1,218,864 SQ.FT.) NET (EXCLUDES EXISTING PUBLIC R.O.W.)

SITE DATA TABLE:

ZONING: C-COMMERCIAL

PROPOSED USES: RETAIL/RESTAURANT

BUILDING INFORMATION:
MAXIMUM ALLOWABLE BUILDING HEIGHT = 45 FEET
UNITS A.2-A.9 PROPOSED BUILDING HEIGHT = 35.83 FEET
PROPOSED RESTAURANT BUILDING HEIGHT = <45 FEET
UNIT G PROPOSED BUILDING HEIGHT = 26.33 FEET

UNITS A.2-A.9 = 157,335 S.F.
PROPOSED RESTAURANT = 8,515 S.F.
UNIT G = 10,842 S.F.
BUILDING FOOTPRINT AREA = 176,692 TOTAL S.F.

BUILDING LOT COVERAGE (NET) = 14.5%

TOTAL IMPERVIOUS AREA (EXCLUDES EXISTING PUBLIC R.O.W.) = 952,306 S.F.
PERCENT IMPERVIOUS (NET) = 78.1%

SETBACK REQUIREMENTS - COMMERCIAL ZONING DISTRICT:
FRONT SETBACK (SOUTH): 50 FEET REQUIRED 88.1' PROVIDED
FRONT SETBACK (EAST): 50 FEET REQUIRED 101.22' PROVIDED
FRONT SETBACK (WEST): 50 FEET REQUIRED 349.5' PROVIDED
SIDE SETBACK (WEST): 10 FEET REQUIRED 69.00' PROVIDED
SIDE SETBACK (SOUTH): 10 FEET REQUIRED 147.51' PROVIDED
SIDE SETBACK (NORTH): 10 FEET REQUIRED 99.33' PROVIDED

PARKING CALCULATIONS:
UNITS A.2-A.9 (AS RETAIL): 4 SPACES/1000 SF(USABLE)
RETAIL, 157.3K (100% USABLE) = 629 SPACES REQUIRED
MAX PARKING IS 1.2*REQUIRED = 755
PARKING PROVIDED = 780 SPACES

2% OF SPACE MUST BE BARRIER FREE (501+)
780 SPACES PROVIDED = 16 BF SPACES REQUIRED
BARRIER FREE PARKING PROVIDED = 16 SPACES

1 BIKE PARKING SPACE FOR EVERY 20 AUTO SPACES (MAX 30)
780 SPACES PROVIDED = >30 SPACES REQUIRED
BIKE PARKING PROVIDED = 30 SPACES

PROPOSED RESTAURANT: 1 PER 2.5 PERSONS ALLOWED BY MAX OCCUPANCY, PLUS 1 PER EMPLOYEE
TOTAL PARKING REQUIRED = 171 SPACES
MAX PARKING IS 1.2*REQUIRED = 205 SPACES
PARKING PROVIDED = 205 SPACES

FOR 201 TO 300 SPACES, 7 MUST BE BARRIER FREE
205 SPACES PROVIDED = 7 BF SPACES REQUIRED
BARRIER FREE PARKING PROVIDED = 8 SPACES

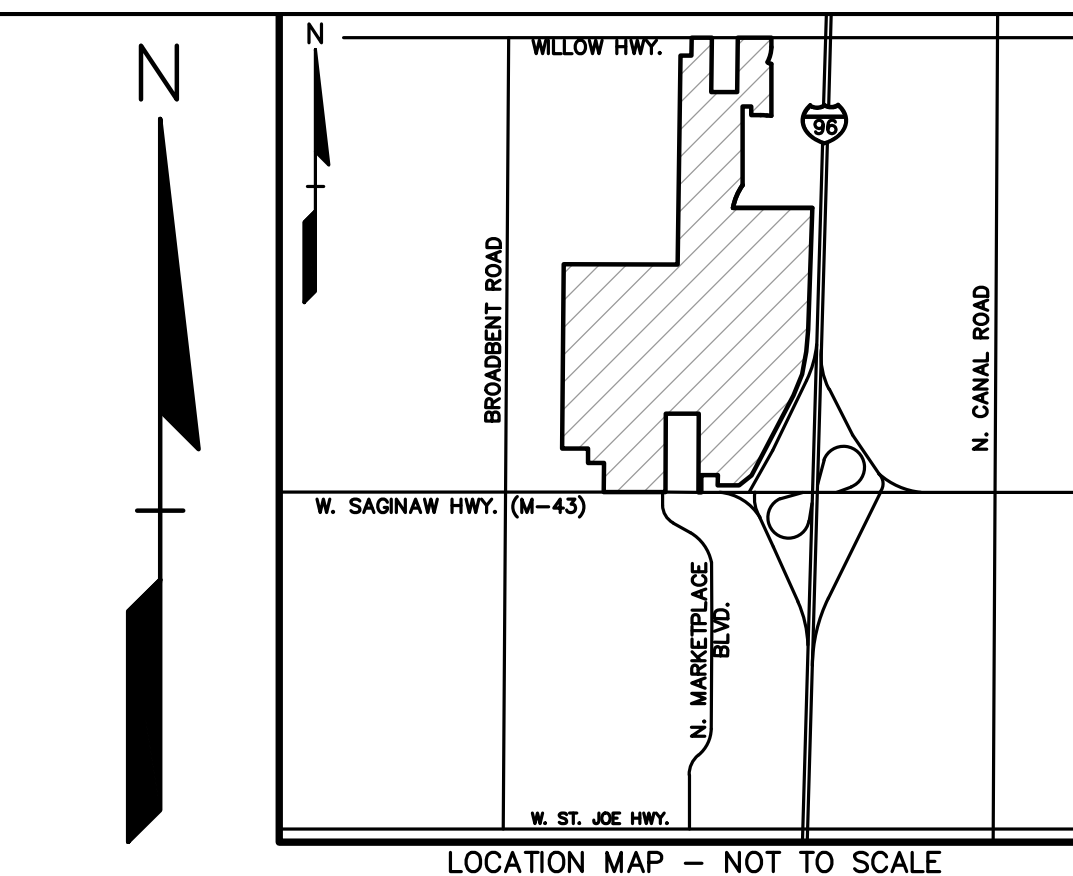
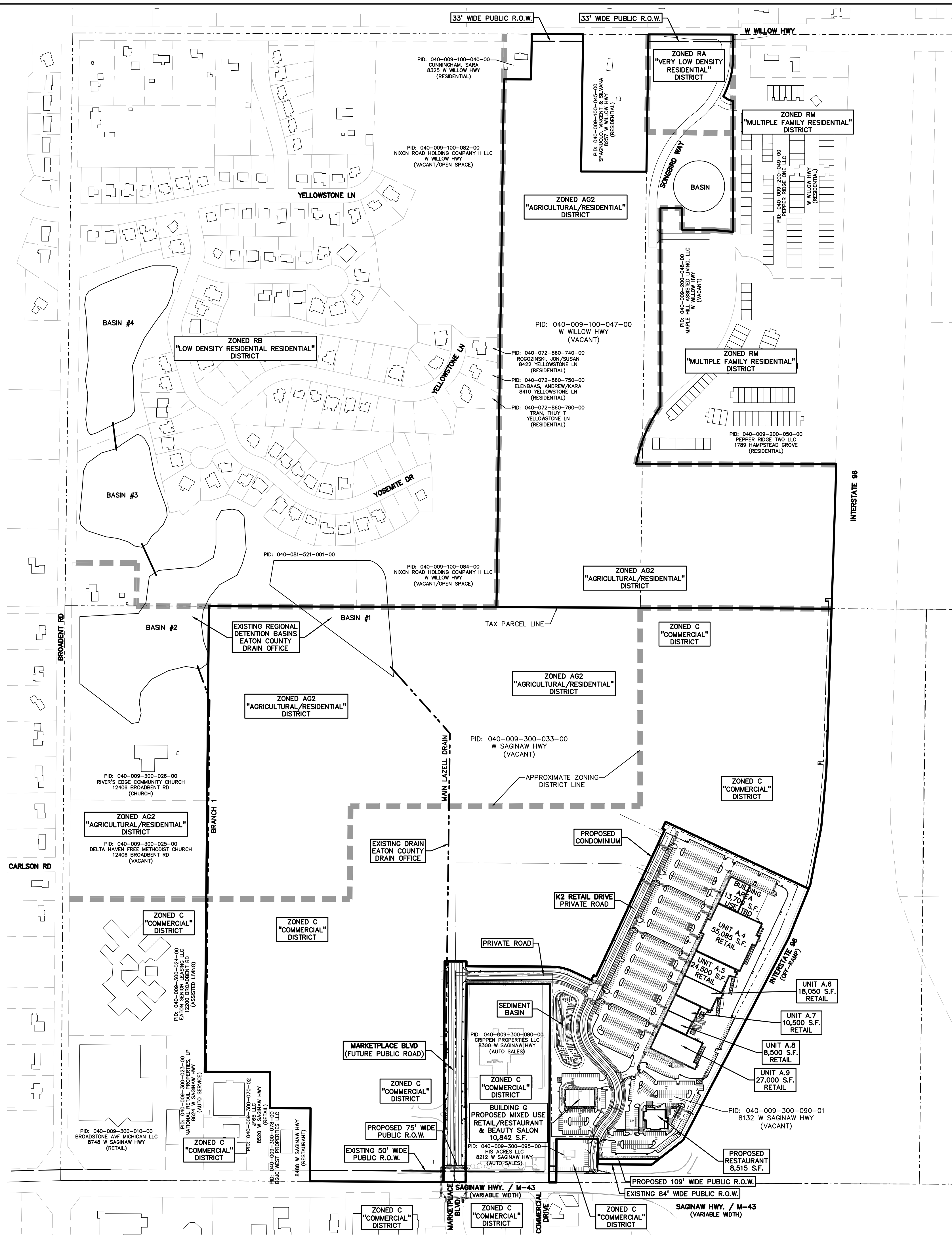
BICYCLE PARKING REQUIRED = 1 PER EVERY 20 CAR SPACES = 10.25 SPACES
BICYCLE PARKING PROVIDED = 12 SPACES

UNIT G (54% RETAIL): 4 SPACES/1000 SF(USABLE)
UNIT G (27% RESTAURANT): 1 SPACE/2.5 PERSON + 1 SPACE/EMPLOYEE
UNIT G (19% BARBER/BEAUTY SALON): 1.5 SPACES/STATION + 1 SPACE/2 EMPLOYEES

TOTAL REQUIRED = 64 SPACES
MAX PARKING IS 1.2*REQUIRED = 77 SPACES
PARKING PROVIDED = 77 SPACES

FOR 76 TO 100 SPACES, 4 MUST BE BARRIER FREE
77 SPACES PROVIDED = 4 BF SPACES REQUIRED
BARRIER FREE PARKING PROVIDED = 6 SPACES

1 BIKE PARKING SPACE FOR EVERY 20 AUTO SPACES (MAX 30)
77 SPACES PROVIDED = 4 SPACES REQUIRED
BIKE PARKING PROVIDED = 6 SPACES



LEGEND

EXISTING

- IRON FOUND
- IRON SET
- NAIL FOUND
- NAIL & CAP SET
- SEC. CORNER FOUND
- RECORDED
- MEASURED
- CALCULATED

PROPOSED

- BRASS PLUG SET
- MONUMENT FOUND
- MONUMENT SET
- RECORDED
- MEASURED
- CALCULATED

UTILITIES

- ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
- TELEPHONE U.S. CABLE, PEDESTAL & MANHOLE
- ELECTRIC U.S. CABLE, MANHOLE, METER & HANDHOLE
- GAS MAN. VALVE & GAS LINE MARKER
- WATERMAN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- SQUARE, ROAD & BEDDING CATCH BASIN, YARD DRAIN
- POST INDICATOR VALVE
- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MALBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIEN

CONCRETE

- CONC.
- ASPH.
- GRAVEL SHOULDER
- WETLAND

GRAPHIC SCALE

0 125 250 500 1000

(IN FEET)
1 inch = 250 ft.

BENCHMARKS
(GPS DERIVED - NAVD88)

BM #300
NORTHEAST BOLT ON A SIGNAL POLE LOCATED ON THE NORTHWEST CORNER OF W. SAGINAW HWY. AND N. MARKETPLACE BLVD., APPROX. 171'± SOUTHWEST BUILDING CORNER OF CRIPPEN MAZDA.
ELEV. = 849.88

BM #301
ARROW ON TOP OF HYDRANT 60' SOUTH OF CENTER LINE OF W. SAGINAW HWY. AND 160' EAST OF THE NORTHEAST CORNER OF SHELL GAS STATION OVERHANG.
ELEV. = 855.91

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26045C0206E, DATED 11/26/2010.

REVISIONS

NO.	DATE	DESCRIPTION
1	7/20/21	ISSUE FOR PERMIT SUBMITTAL
2	8/10/21	ISSUE FOR PERMIT SUBMITTAL
3	8/10/21	ISSUE FOR PERMIT SUBMITTAL
4	8/10/21	ISSUE FOR PERMIT SUBMITTAL
5	8/10/21	ISSUE FOR PERMIT SUBMITTAL
6	8/10/21	ISSUE FOR PERMIT SUBMITTAL
7	8/10/21	ISSUE FOR PERMIT SUBMITTAL
8	8/10/21	ISSUE FOR PERMIT SUBMITTAL
9	8/10/21	ISSUE FOR PERMIT SUBMITTAL
10	8/10/21	ISSUE FOR PERMIT SUBMITTAL
11	8/10/21	ISSUE FOR PERMIT SUBMITTAL
12	8/10/21	ISSUE FOR PERMIT SUBMITTAL
13	8/10/21	ISSUE FOR PERMIT SUBMITTAL

CAUTION!
THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE FOR THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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CONTRACTOR AGREES THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.

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f: 517.546.8973
www.peainc.com

K2 RETAIL CONSTRUCTION & DEVELOPMENT
3030 TELEGRAPH ROAD, SUITE 2380
BRIGHTON PARKS, MICHIGAN 48025

OVERALL SITE PLAN
DELTA CROSSINGS - PHASE 1
PART OF SECTION 08, TOWN, ROAD
DELTA TOWNSHIP, EATON COUNTY, MICHIGAN

DES. BSH DN. BSH SUR. CB P.M. TD

ORIGINAL ISSUE DATE:
MARCH 11, 2020

PEA JOB NO. 2019-442

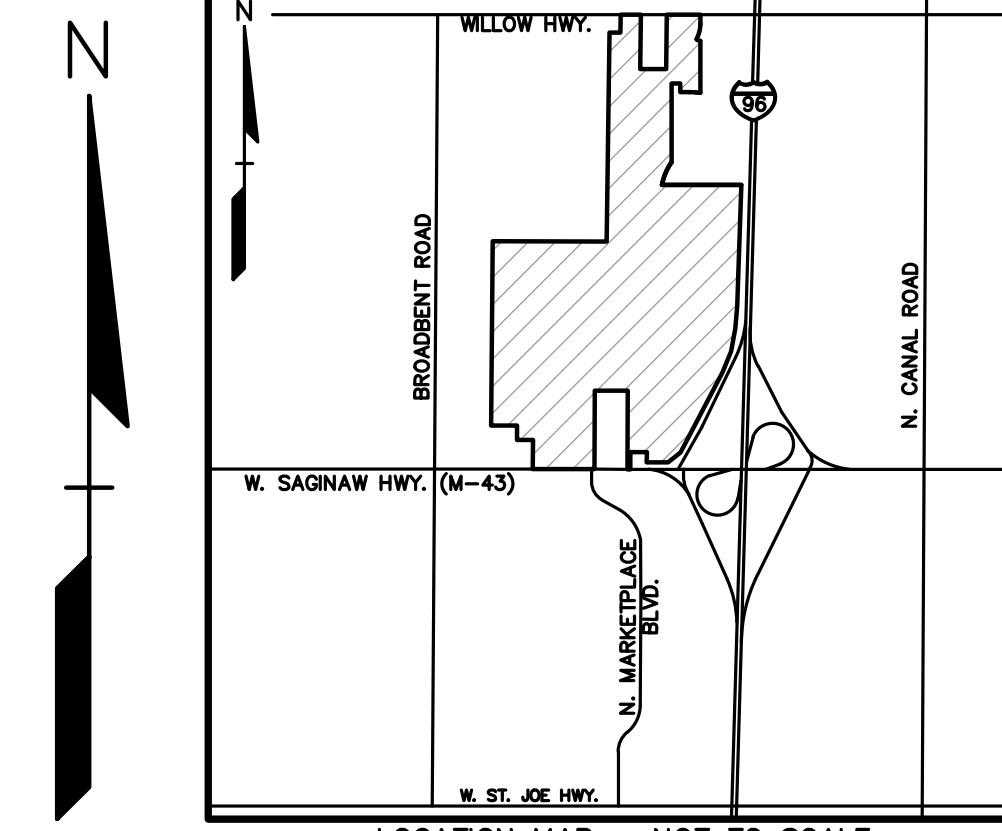
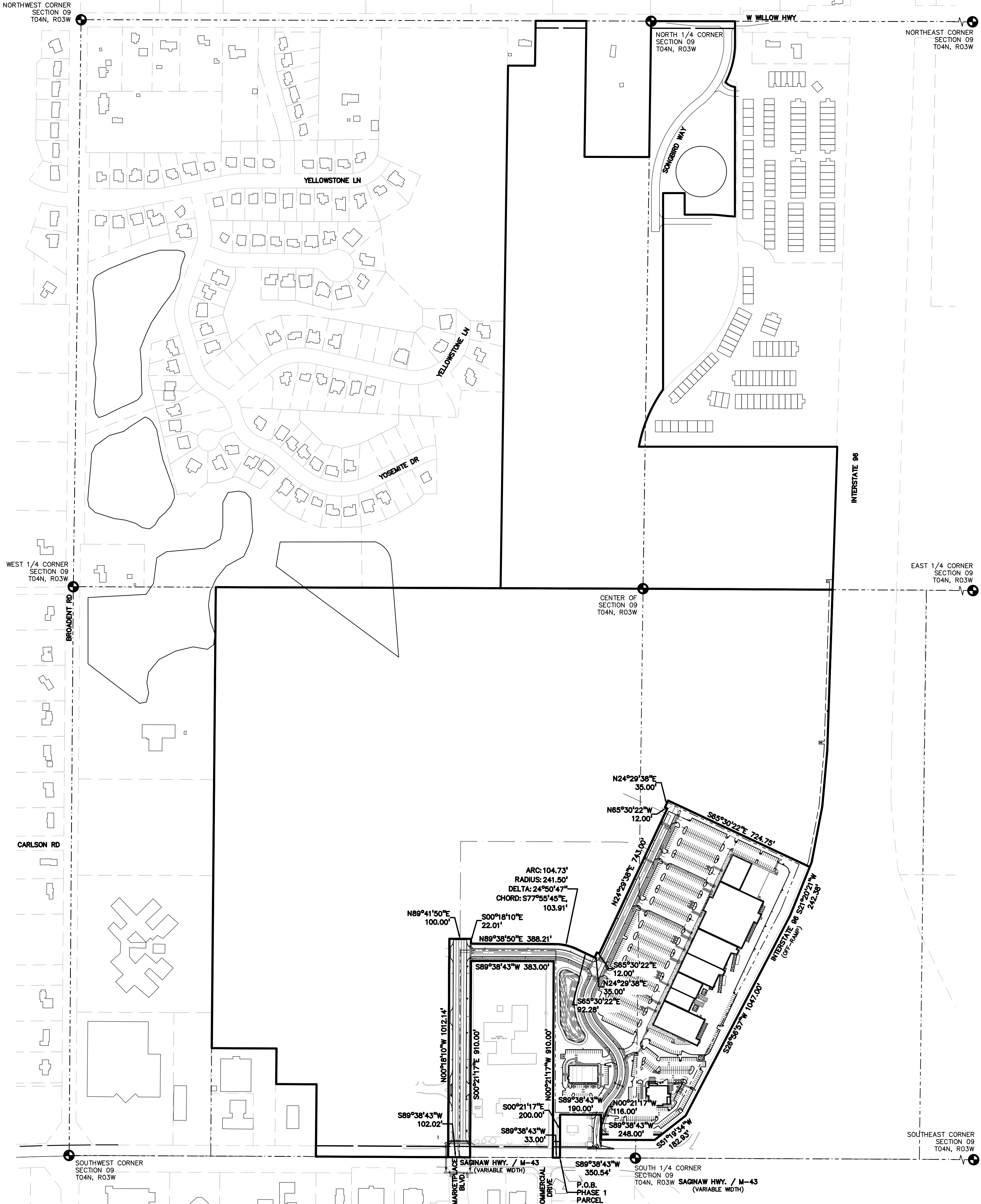
SCALE: 1" = 250'

DRAWING NUMBER:
C-1.0

REF: S:\PROJECTS\2019\2019442\DWG\CONSTR\PL1_V-C-1000.PLT-19442.DWG
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REF: S:\PROJECTS\2019\2019442\DWG\CONSTR\PL1_V-C-1000.PLT-19442.DWG

LEGAL DESCRIPTION
(Per PEA)

Delta Crossing Phase 1 Parcel Description
A parcel of being part of the Southwest 1/4 and Southeast 1/4 of Section 09, Town 04 North, Range 03 West, Charter Township of Delta, Eaton County, Michigan; more particularly described as Commencing at the South 1/4 Corner of said Section 09, thence South 89 degrees 38 minutes 43 seconds West, along the South Line of Section 09, 350.54 feet to the Point of Beginning of this Parcel Description; thence South 89 degrees 38 minutes 43 seconds West, continuing along the South Line of Section 09, 33.00 feet; thence North 00 degrees 21 minutes 17 seconds West, perpendicular to the South Line of Section 09, 910.00 feet; thence South 89 degrees 38 minutes 43 seconds West, parallel with the South Line of Section 09, 383.00 feet; thence South 00 degrees 21 minutes 17 seconds East, perpendicular to the South Line of Section 09, 910.00 feet to the South Line of Section 09; thence South 89 degrees 38 minutes 43 seconds West, along the South Line of Section 09, 102.02 feet; thence North 00 degrees 18 minutes 10 seconds West, 102.02 feet; thence North 89 degrees 41 minutes 50 seconds East, 100.00 feet; thence South 00 degrees 18 minutes 10 seconds East, 22.01 feet; thence North 89 degrees 38 minutes 50 seconds East, 388.21 feet; thence 104.73 feet along a tangential curve to the right, with a radius of 241.50 feet, a central angle of 24 degrees 50 minutes 47 seconds, and chord that bears South 77 degrees 55 minutes 45 seconds East, 103.91 feet; thence South 65 degrees 30 minutes 22 seconds East, along a tangential line, 92.28 feet; thence North 24 degrees 29 minutes 38 seconds East, 35.00 feet; thence South 65 degrees 30 minutes 22 seconds East, 12.00 feet; thence North 24 degrees 29 minutes 38 seconds East, 743.00 feet; thence North 65 degrees 30 minutes 22 seconds West, 12.00 feet; thence North 24 degrees 29 minutes 38 seconds East, 35.00 feet; thence South 65 degrees 30 minutes 22 seconds East, 724.75 feet to the westerly right-of-way for I-96, a limited access highway; thence the following four courses along said westerly right-of-way: 1.) South 21 degrees 20 minutes 21 seconds West, 242.38 feet; 2.) South 26 degrees 56 minutes 57 seconds West, 1047.00 feet; 3.) South 51 degrees 19 minutes 34 seconds West, 182.93 feet; 4.) South 89 degrees 38 minutes 43 seconds West, 248.00 feet; thence North 00 degrees 21 minutes 17 seconds West, perpendicular to the South Line of Section 09, 116.00 feet; thence South 89 degrees 38 minutes 43 seconds West, parallel with the South Line of Section 09, 190.00 feet; thence South 00 degrees 21 minutes 17 seconds East, perpendicular to the South Line of Section 09, 200.00 feet to the South Line of Section 09 and returning to the Point of Beginning of this Parcel Description. Containing 28.14 acres of land and subject to easements and restrictions of record or otherwise.



NO.	DATE	DESCRIPTION
1	7/20/21	ISSUE FOR PERMIT SUBMITTAL
2	8/02/21	ISSUE FOR ROADHOUSE CONSTRUCTION PLANS
3	8/02/21	ISSUE FOR TEXAS DRIVE WATER EXTENSION AND SEWER LEADS
4	4/22/21	ISSUE FOR PHASE 2 DRIVE WATER EXTENSION AND SEWER LEADS
5	2/22/21	ISSUE FOR PHASE 3 DRIVE WATER EXTENSION AND SEWER LEADS
6	2/22/21	ISSUE FOR PHASE 4 DRIVE WATER EXTENSION AND SEWER LEADS
7	10/12/20	ISSUE FOR UTILITY ADJUSTS, ELEC. LEADS, ELEC. ROOM
8	10/12/20	ISSUE FOR UTILITY ADJUSTS, ELEC. LEADS, ELEC. ROOM
9	10/12/20	ISSUE FOR UTILITY ADJUSTS, ELEC. LEADS, ELEC. ROOM
10	10/12/20	ISSUE FOR UTILITY ADJUSTS, ELEC. LEADS, ELEC. ROOM
11	10/12/20	ISSUE FOR UTILITY ADJUSTS, ELEC. LEADS, ELEC. ROOM
12	10/12/20	ISSUE FOR UTILITY ADJUSTS, ELEC. LEADS, ELEC. ROOM
13	10/12/20	ISSUE FOR UTILITY ADJUSTS, ELEC. LEADS, ELEC. ROOM
14	10/12/20	ISSUE FOR UTILITY ADJUSTS, ELEC. LEADS, ELEC. ROOM
15	10/12/20	ISSUE FOR UTILITY ADJUSTS, ELEC. LEADS, ELEC. ROOM
16	10/12/20	ISSUE FOR UTILITY ADJUSTS, ELEC. LEADS, ELEC. ROOM
17	10/12/20	ISSUE FOR UTILITY ADJUSTS, ELEC. LEADS, ELEC. ROOM
18	10/12/20	ISSUE FOR UTILITY ADJUSTS, ELEC. LEADS, ELEC. ROOM
19	10/12/20	ISSUE FOR UTILITY ADJUSTS, ELEC. LEADS, ELEC. ROOM
20	10/12/20	ISSUE FOR UTILITY ADJUSTS, ELEC. LEADS, ELEC. ROOM

CAUTION!
THE LOCATION AND ELEVATIONS OF EXISTING UTILITIES ARE SHOWN ON THIS DRAWING AND ARE ONLY APPROXIMATE. NO GUARANTEE IS GIVEN FOR THE ACCURACY OF THESE LOCATIONS AND ELEVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THE REQUIREMENTS SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFINE, INDENTIFY AND LOG DESIGN PROFESSIONAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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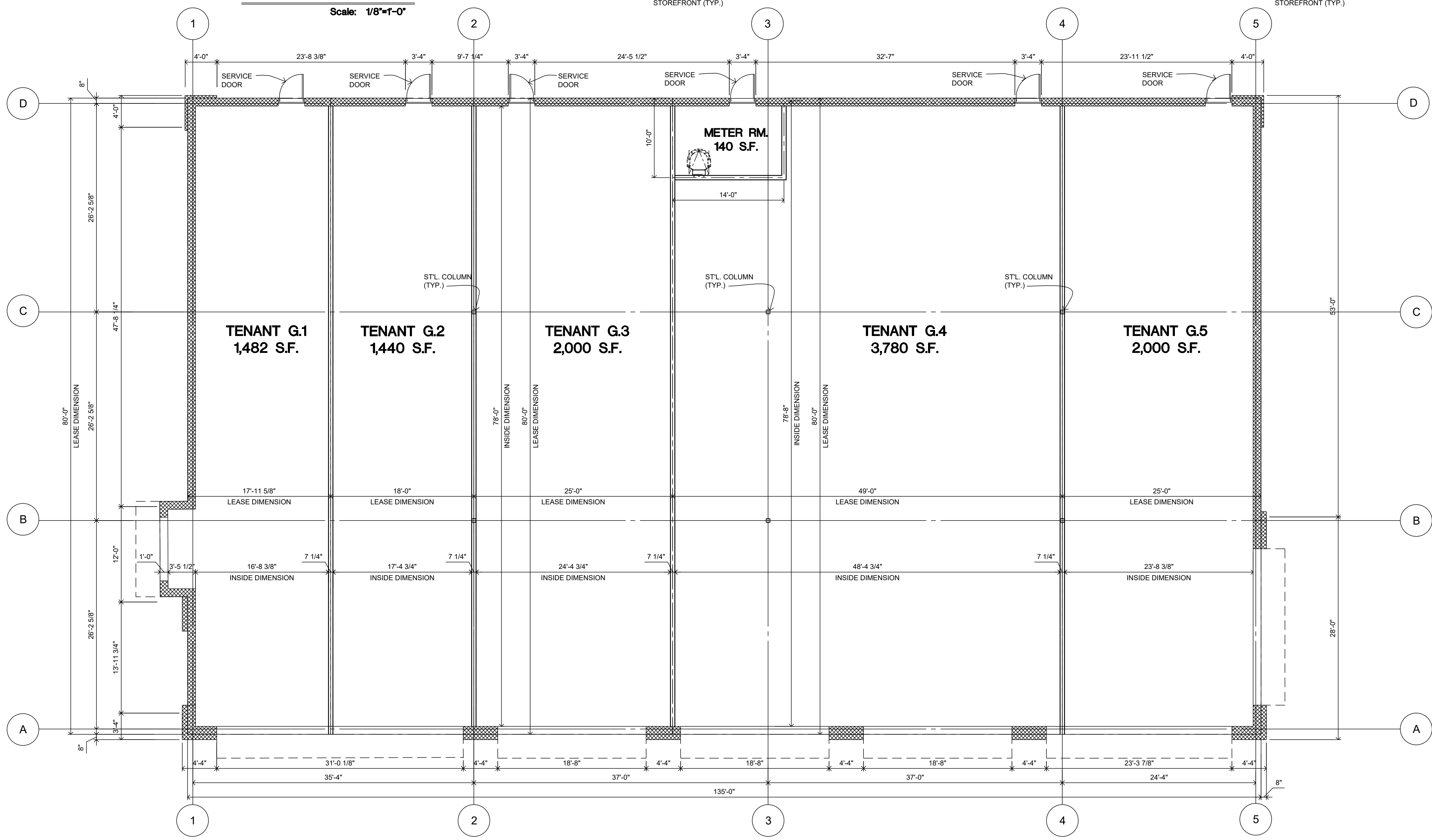
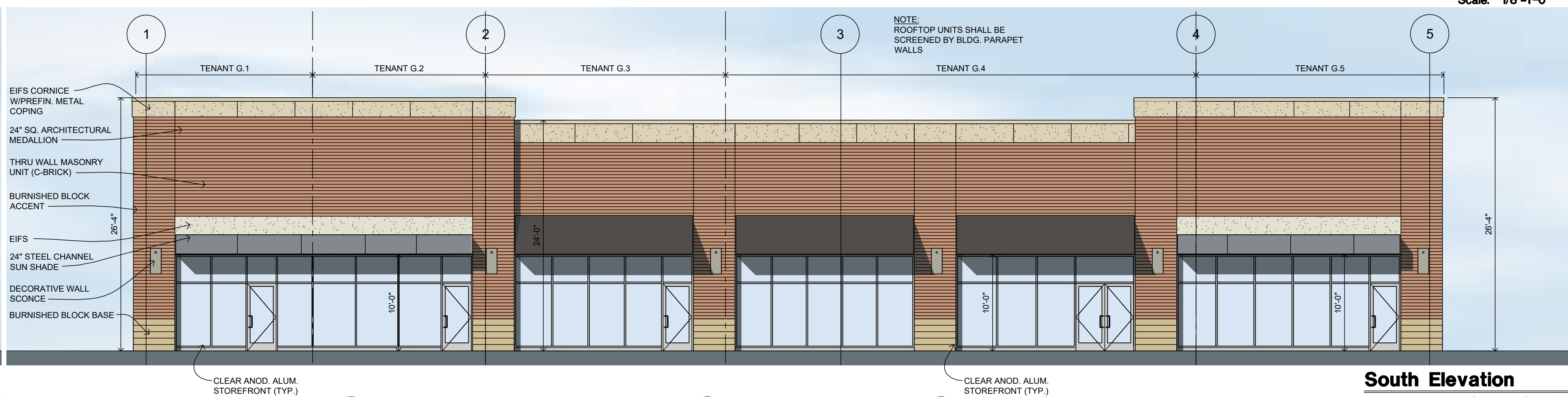
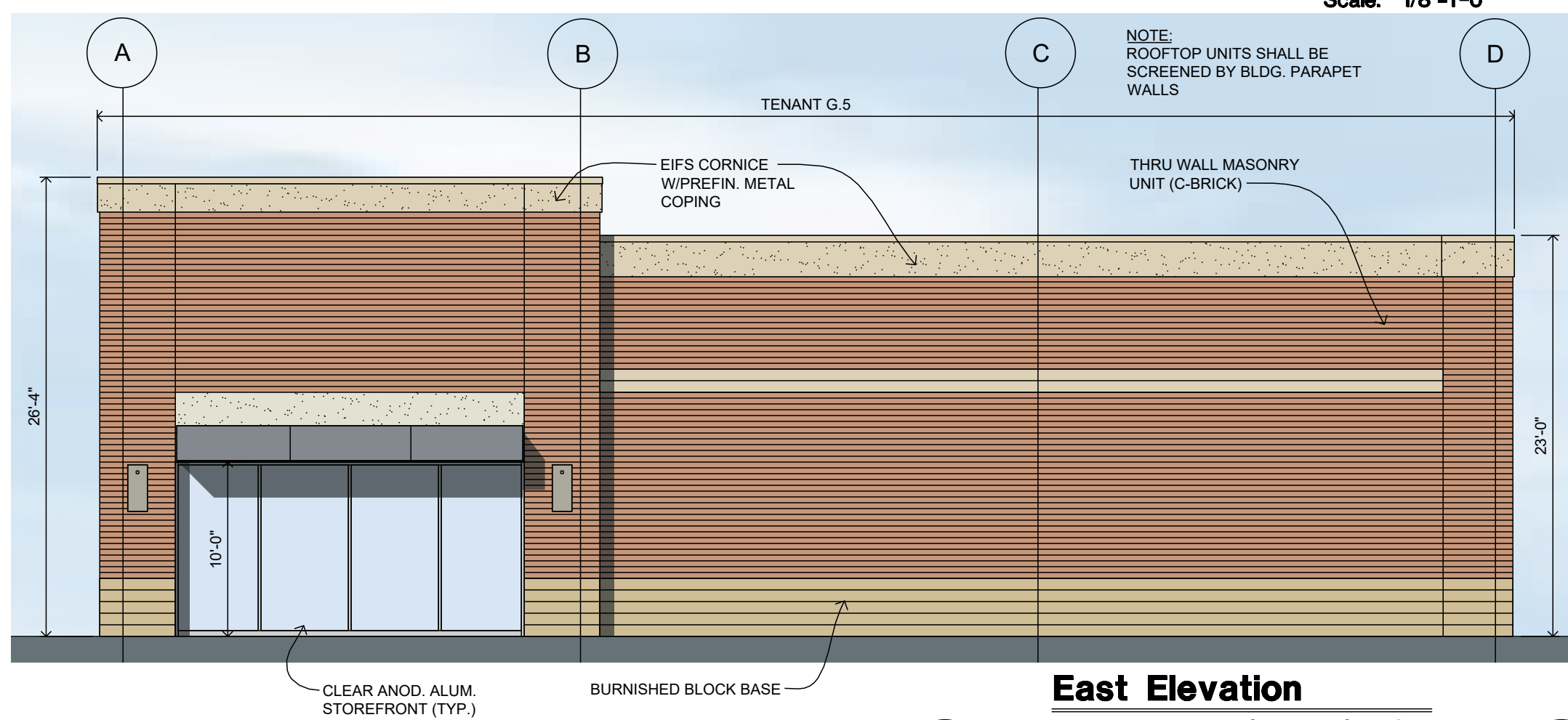
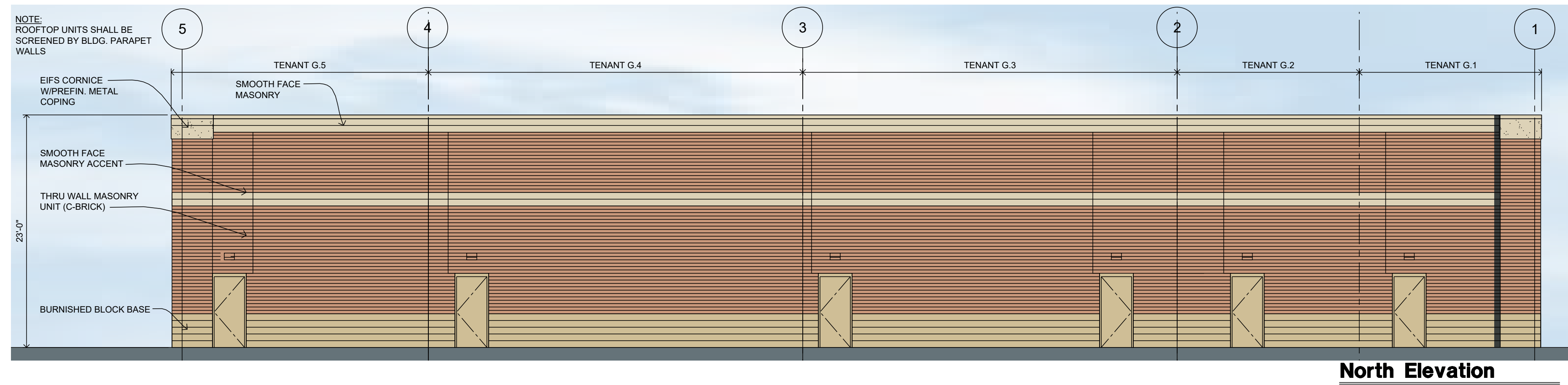
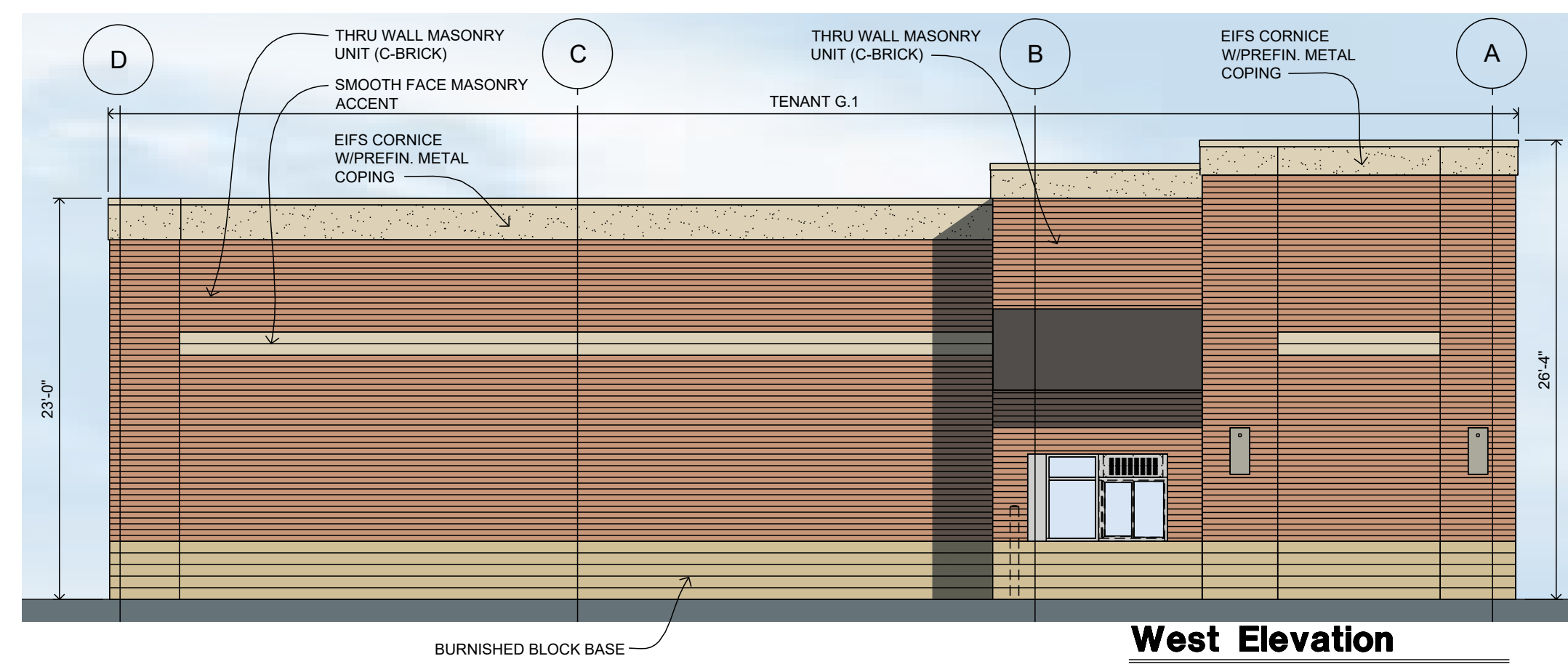
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PEA, Inc.
7927 Nemco Way, Ste. 115
Brighton, MI 48116
t: 517.546.8583
f: 517.546.8973
www.peainc.com

DES.	BSH	DN.	BSH	SUR.	CB	P.M.	TD
	BSH	DN.	BSH	SUR.	CB	P.M.	TD
K2 RETAIL CONSTRUCTION & DEVELOPMENT							
3030 TELEGRAPH ROAD, SUITE 280 BRIGHTON TOWNSHIP, MICHIGAN 48116							
OVERALL BOUNDARY DIMENSIONS							
DELTA CROSSINGS - PHASE 1							
PART OF SECTION 09, T04N, R03W DELTA TOWNSHIP, EATON COUNTY, MICHIGAN							
ORIGINAL ISSUE DATE: MARCH 11, 2020							
PEA JOB NO. 2019-442							
SCALE: 1" = 250'							
DRAWING NUMBER: C-1.1							

XREF: S:\PROJECTS\2019\2019442\DWG\CONSTR\1\1-V-BASE-19442.DWG
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XREF: S:\PROJECTS\2019\2019442\DWG\CONSTR\1\1-V-BASE-19442.DWG



North
Floor Plan
 1/8" = 1'-0"
 TOTAL AREA: 10,842 S.F.

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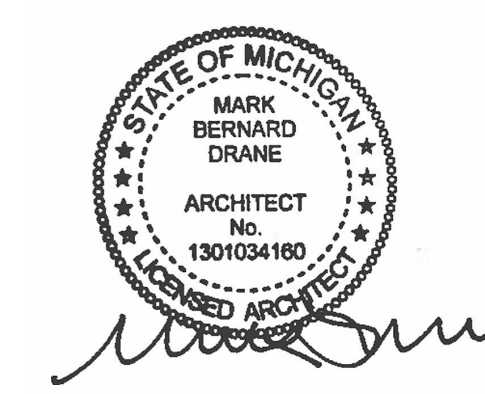
issued for:
 SPA SUBMITTAL 09 JAN 2020
 SPA SUBMITTAL 07 JUL 2021

project:

Proposed
Delta Crossings
 Saginaw Rd. & Interstate 96
 Delta Township, Michigan



32500 TELEGRAPH ROAD
 SUITE 250
 BINGHAM FARMS, MICHIGAN
 48025-2404
 PH 248.540.7700 FX 248.540.2710
 www.rogvoy.com



drawing:
Outparcel Bldg. G
Lease Elevations
& Floor Plan

DO NOT SCALE DRAWING
 issue date: 20 APR. 2021
 drawn: KC
 checked: MD
 approved: MD

file number: 18025
 sheet:

A-3

Planning Commission

Site Plan Review: At Home Section 9

Meeting Date:
September 13, 2021

Report Date:
September 9, 2021

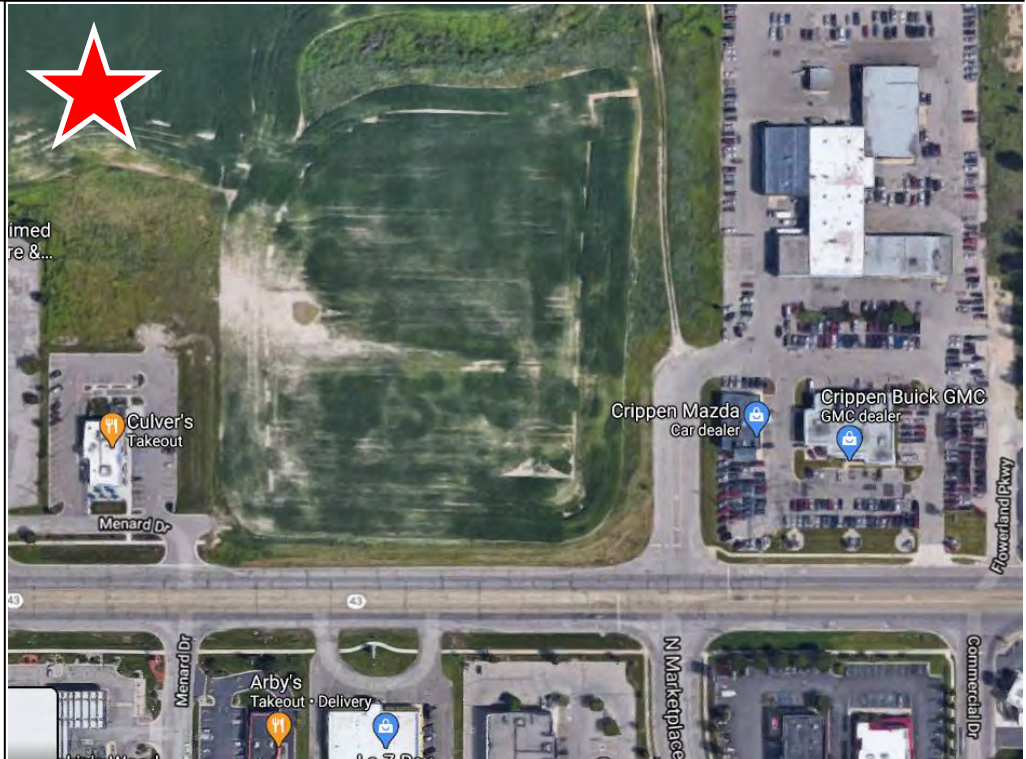
File No: Delta Crossings
Phase 2.3 Site Plan
Review: At Home

Applicant: Kris Krstovski,
K2 Retail Construction &
Development

General Location: SE
corner of Parcel 040-009-
300-033-01; generally
located on the west side
of Marketplace Drive,
north of Saginaw
Highway.

Current Zoning District
C - Commercial

Report Prepared By:
David Waligora, AICP
Assistant Planning
Director



Overview

Site plan review for an 88,300 square foot retail building.

Staff Recommendation

Approval; *with stipulations*

Related Documents

- Site Plan by PEA date Aug 24, 2021



Overview

The Planning Commission is in receipt of a site plan application for an 88,300 sq ft retail building for the store “At Home”. This site is the third plan of Delta Crossings Phase 2 (BJ’s warehouse and Consumer Credit Union). The building pad has no direct frontage on Marketplace or Saginaw Highway, and thus does not qualify for the Township’s Large Scale Retail requirements for building aesthetics, even though the building is above the sq. ft threshold of 50,000 sq ft.

Surrounding Zoning and Land Use

- North:** RM (Delta Crossings future Multi-Family Phase)
- South:** Commercial (Culvers, QD Gas Station, National Unclaimed Freight, Belle Tire)
- East:** Commercial (Delta Crossings, BJ’s Warehouse)
- West:** Commercial/Assisted Living (Value City Furniture, Regency and Lansing West)

Standards of Review

Chapter 6 – Site Plan Review, Section 6.07 (B) – Standards for Site Plan Review

Standard of Review	Staff Comments
1. The proposed use will not be injurious to the general health, safety, welfare, and character of the Township and surrounding neighborhood.	Finding: Meets Standard Staff Comments: The proposed development ties in well with the existing planned commercial development.
2. The proposed development is consistent with the Comprehensive Plan.	Finding: Meets Standard Staff Comments: The 2013 Comprehensive recommends commercial development in this area of the Township.
3. There is a proper relationship between public thoroughfares and proposed service drives, driveways, and parking areas.	Finding: Meets Standard Staff Comments: The proposed layout is reasonable to accommodate the commercial traffic generated by the new development in the area. Staff has minor concerns for internal flow; however, all the minimum standards of the zoning ordinance have been met.
4. The proposed development provides for proper development of roads, easements, and public utilities.	Finding: Meets Standard Staff Comments: The site will be accessed by curb cuts which have already been reviewed by Eaton County Road Commission and MDOT for regulatory compliance. Traffic will enter through one of three curb cuts on Marketplace, or one curb cut off of Saginaw.

<p>5. All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department.</p>	<p>Finding: Meets Standard</p> <p>Staff Comments: Fire Inspector Mike Roberts has reviewed the initial submission and approved with some minor stipulations.</p>
<p>6. Site access and circulation shall be designed to ensure the safe and convenient movement of vehicles, bicycles, pedestrians, and transit, where applicable.</p> <p>Where possible, separation of pedestrian and vehicular traffic shall be provided to avoid conflicts and unsafe conditions.</p> <p>Further, the arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and pedestrian or bicycle pathways in the area. Accessibility to the development shall be provided for persons of all abilities, in accordance with all applicable federal, state, and local regulations. Streets and drives which are part of an existing or planned street pattern serving adjacent development shall be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way as required by this Ordinance, the Eaton County Road Commission, and/or the Michigan Department of Transportation, as is applicable.</p>	<p>Finding: Meets Standard</p> <p>Staff Comments: The developer should review internal traffic and add appropriate signage where necessary to handle internal traffic. The Township has no specific standards which can control internal site traffic.</p> <p>The applicant has provided a shared N/S pedestrian connection which will connect to the future Carlson Drive to Saginaw Highway. Staff finds this adequate.</p> <p>The developer shows a future connection point at the SW corner of the site which has the potential to connect to the drive behind Value City Furniture, and offer a second Broadbent connection.</p> <p>An easement should be extended for this future connection at this location since it deals with off-site improvements.</p> <p>The likelihood of this connection being driven by market demand is low. This land is part of the northern half of the Belle Tire site. To develop this piece, Belle Tire would have to expand, or this area be incorporated into a commercial condominium by a neighboring property. This may be a good candidate for a future connection to be made by the Township to help more fully complete internal site connection with 177 feet of asphalt.</p>
<p>7. Site planning and design of specific improvements will accomplish the preservation and protection of existing natural resources and features to the extent reasonably possible.</p>	<p>Finding: Meets Standard</p> <p>Staff Comments: No resources of note exist on the subject parcel.</p>

<p>8. All streets shall be developed in accordance with the Eaton County Road Commission’s or the Michigan Department of Transportation’s specifications, as is applicable; unless developed as a private road in accordance with the requirements of Section 10.02. Properties abutting streets which have right of way deficiencies, as determined by the Eaton County Road Commission or the Michigan Department of Transportation shall provide additional right of way to the appropriate agency as determined by the Zoning Administrator. The additional right of way shall be provided to the appropriate agency via the appropriate written instrument and documentation prior to final site plan approval by the Zoning Administrator.</p>	<p>Finding: NA</p> <p>Staff Comments: The site uses existing approved connections.</p>
<p>9. Non-motorized transportation improvements, beyond the traditional sidewalk system which provides walks in front of homes and non-residential uses adjacent to roadways may be required. The improvements could include trails, shared use paths, and traditional sidewalks.</p> <p>a. Many items, including but not limited to the following, shall be considered when siting non-motorized transportation improvements in new developments:</p> <p>i. The Delta Charter Township Non-Motorized Transportation Plan, the Delta Township Parks & Recreation Plan, and the Delta Township Comprehensive Plan, as amended.</p> <p>However, non-motorized transportation improvements may be required even if such improvements are not specifically recommended in the aforementioned documents.</p> <p>ii. Providing safe routes to schools, creating recreational trails, and developing connections to retail/office areas, residential neighborhoods, community buildings, recreational areas, and similar land uses.</p>	<p>Finding: Meets Standard</p> <p>Staff finds the pedestrian facilities are adequate for this area of the development.</p>

<ul style="list-style-type: none"> iii. Proximity to natural features such as woodlots, water bodies, open space areas, etc. iv. Potential connection to other existing non-motorized transportation facilities, including those in adjacent communities. v. The demand created for non-motorized transportation facilities by residents/customers of the proposed development. vi. Taking advantage of existing easements and publicly owned lands. vii. By providing a sidewalk/path, residents may be able to substitute a pedestrian movement for a vehicular movement. 	
<p>b. During the site plan review process the Planning Commission and Zoning Administrator shall determine whether the need for non-motorized transportation improvement(s) on the subject parcel is necessitated by the development itself, or if the improvements would primarily serve the public at large.</p>	<p>Finding: Meets Standard</p> <p>Staff Comments: Staff finds that the facilities are adequate.</p>
<p>c. Easements shall be provided for non-motorized transportation facilities as required by the Planning Commission and Zoning Administrator. Easements may be required in anticipation of future construction of a trail, shared use path, and/or sidewalk.</p>	<p>Finding: Meets Standard</p> <p>Staff Comments: Staff does not find any nonmotorized easements necessary at this time.</p>
<p>10. The design of storm sewers, stormwater facilities, water mains, sanitary sewers, and other improvements shall meet the design and construction standards of the Township and other appropriate agencies.</p>	<p>Finding: TBD</p> <p>Staff Comments: Regional detention exists to the north of the property. The Township Engineer and Utility Department have reviewed the plan and provided the applicant comments for final review.</p>
<p>11. On-site stormwater facilities shall be provided as follows:</p> <ul style="list-style-type: none"> a. Appropriate measures shall be taken to ensure that stormwater runoff will not adversely affect neighboring properties, or the public storm drainage system as determined by the Eaton County Drain Commissioner. 	<p>Finding: TBD</p> <p>Staff Comments: The Drain Office has yet to provide comment regarding stormwater facilities.</p>

<p>b. Stormwater detention, retention, transport, and drainage facilities shall be designed to prevent the pollution of surface or groundwater resources, on-site or off-site. On-site stormwater management facilities shall be reviewed, approved, constructed, and maintained in accordance with the applicable rules, regulations, and specifications of the Eaton County Drain Commissioner’s (ECDC) Office. Said facilities shall also conform to the requirements of the ECDC’s current standards for post-construction controls for channel protection and water quality as described in the ECDC’s current MS4 Stormwater Discharge Permit issued by the Michigan Department of Environmental Quality (MDEQ).</p>	
<p>12. Wastewater systems, including on-site septic systems, shall be located to minimize any potential degradation of surface water or ground water quality, and be designed in accordance with applicable Township, County, and/or State standards</p>	<p>Finding: TBD</p> <p>Staff Comments: The project is to be connected by sanitary sewer and not on-site septic. The sanitary sewer design is being reviewed by the Township Utility and Engineering department.</p>
<p>13. Sites which include storage of hazardous waste, fuels, salt, or chemicals will be designed to prevent spills and discharges of pollution materials to the surface or the air, or to the ground, groundwater, or nearby water bodies in accordance with applicable Township, County, State, and/or Federal standards; and any applicable permits shall be obtained.</p>	<p>Finding: NA</p> <p>Staff Comments: No hazardous waste is expected to be stored on this site.</p>
<p>14. Landscaping, including grass, trees, shrubs, and other vegetation, shall be provided to maintain and improve the aesthetic quality of the site and area, as per the standards contained in this Ordinance.</p>	<p>Finding: Meets Standard</p> <p>The Landscaping requirements are stated below.</p>
<p>15. The site plan shall comply with all applicable Township Ordinances and any other applicable laws.</p>	<p>Finding: Meets Standard</p> <p>Staff Comments: Staff will review all standards in the following sections of the Zoning Ordinance a second time before giving final approval, but at this point it appears all have been met.</p>

Miscellaneous

Chapter 12: Site Design Standards

Landscaping

- The applicant shall include clear vision corners at each driveway intersection on the site plan, to show that these areas are being kept clear to provide a greater level of traffic safety. If vegetation is in these areas, it must be relocated if its anticipated height at maturity is above 3 ft.
- The northern property line should include a Type B Buffer (Refer to Table 12.02 H1)
The applicant has provided the appropriate width (30 ft) and number of trees, however, is missing the 3 ft high screen comprised of plat material berming, screen walls, and/or fences. Shrubs, fences, or berming should be included.
- Parking Lot Landscaping Calculations:
On the Landscaping Plan that applicant shows the amount of landscaped area required at 11,800 sq feet, however, does not provide the calculation for what has been provided.

Engineering, Water, and Sanitary Comments

The Engineering department provided comments to the applicant and awaiting a resubmission. No red flags were indicated.

Staff Recommendation

The following motion is offered for the Planning Commission's consideration:

"I move that the Delta Township Planning Commission approve the preliminary site plans for the proposed Delta Crossings Phase 2.3 plan, as illustrated on site plans prepared by PEA Group on August 24, 2021, subject to the following stipulations:

1. The applicant must meet all conditions of the Eaton County Drain Commissioner.
2. The applicant must meet all conditions of the Township Engineer, Township Utility Department, and Fire Department.
3. The applicant must resubmit for final approval with an updated Site Plan and Landscaping Plan meeting all stipulations of the Planning Department and Zoning Ordinance.
4. The applicant provides an easement for a future auxiliary connection to Broadbent Road.
5. Any additional Stipulations of the Planning Commission determined during discussion."

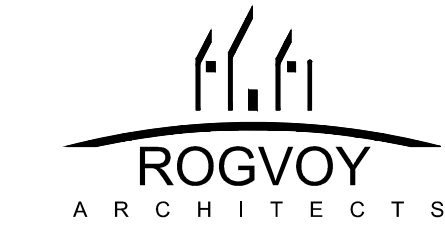
PRELIMINARY SITE PLANS

DELTA CROSSINGS - AT HOME

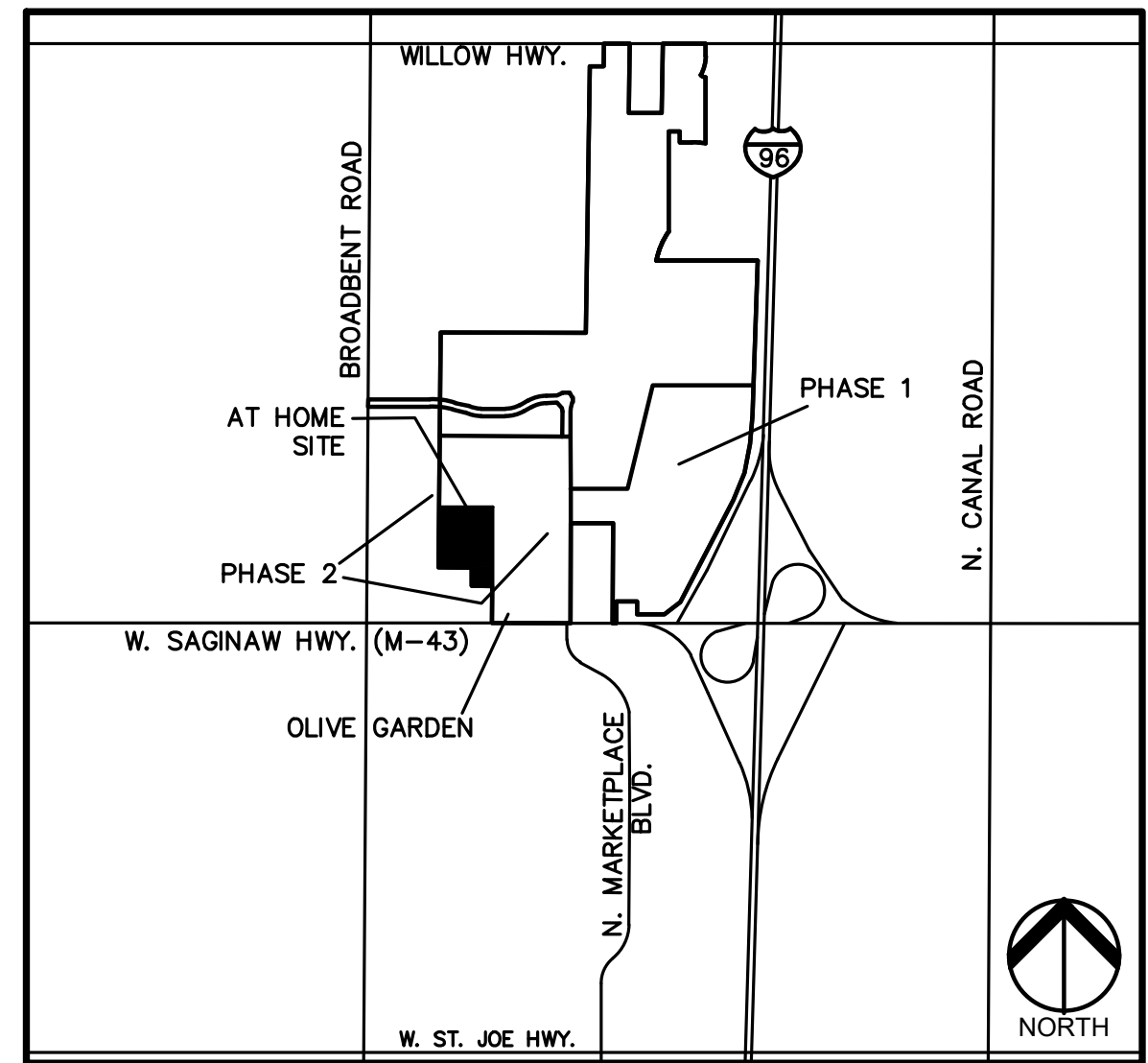
PART OF SECTION 09, T04W, R03W
DELTA TOWNSHIP, EATON COUNTY, MICHIGAN

DESIGN TEAM

<p>OWNER</p> <p>WEST LANSING RETAIL DEVELOPMENT II LLC 30300 TELEGRAPH ROAD, SUITE 280 BINGHAM FARMS, MI 48025 CONTACT: KRIS KRSTOVSKI PHONE: 248.859.2817</p> <p>APPLICANT/DEVELOPER</p> <p>WEST LANSING RETAIL DEVELOPMENT II LLC 30300 TELEGRAPH ROAD, SUITE 280 BINGHAM FARMS, MI 48025 CONTACT: KRIS KRSTOVSKI PHONE: 248.859.2817</p> <p>ARCHITECT</p> <p>ROGVOY ARCHITECTS 32500 TELEGRAPH ROAD, SUITE 250 BINGHAM FARMS, MI 48025 CONTACT: MARK DRANE, AIA, LEED AP PHONE: 248.540.7700 EMAIL: MDRANE@ROGVOY.COM</p>	<p>CIVIL ENGINEER</p> <p>PEA GROUP 7927 NEMCO WAY, SUITE 115 BRIGHTON MI, 48116</p> <p>PROJECT MANAGER: THOM DUMOND, PLA, LEED AP PHONE: 844.813.2949 EMAIL: TDUMOND@PEAGROUP.COM</p> <p>PROJECT ENGINEER: JR WATKINS, PE PHONE: 313.769.5770 EXT. 1404 EMAIL: JWATKINS@PEAGROUP.COM</p> <p>LANDSCAPE ARCHITECT</p> <p>PEA GROUP 45 W. GRAND RIVER AVE., STE. 501 DETROIT, MI 48226 CONTACT: KIMBERLY DIETZEL, RLA PHONE: 844.813.2949 EMAIL: KDIEZEL@PEAGROUP.COM</p>
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<p>UTILITY PROVIDERS</p> <p>COMCAST - COMMUNICATIONS CONTACT: CRAIG PUDAS PHONE: 248.809.2715 EMAIL: CRAIG_PUDAS@CABLE.COMCAST.COM</p> <p>CENTURYLINK - COMMUNICATIONS CONTACT: TOM TROMBLEY PHONE: 734.777.1910 EMAIL: THOMAS.STURMBER@CENTURYLINK.COM</p> <p>CONSUMERS ENERGY - GAS & ELECTRIC CONTACT: CURT GOLDING PHONE: 800.477.5050 EMAIL: KURT.GOLDING@CSEENERGY.COM</p> <p>DELTA TOWNSHIP - WATER & SEWER CONTACT: ERNEST A WEST, P.E. PHONE: 517.323.8540 EMAIL: EWEST@DELTAMI.GOV</p> <p>LANSING BOARD OF WATER & LIGHT - ELECTRIC PHONE: 517.702.6069</p> <p>LEVEL 3 (NOW CENTURYLINK) - COMMUNICATIONS CONTACT: RYAN EGAN PHONE: 414.224.6767 EMAIL: RYAN.EGAN@CENTURYLINK.COM</p> <p>FRONTIER/VERIZON - COMMUNICATIONS CONTACT: KATHRYN ANDERSON PHONE: 810.724.3127</p> <p>ZAYO BANDWIDTH MIDWEST - COMMUNICATIONS CONTACT: GEORGE HUSS PHONE: 443.403.2023 EMAIL: GEORGE.HUSS@ZAYO.COM</p>	<p>LOCAL AGENCIES</p> <p>DELTA TOWNSHIP - PLANNING DEPARTMENT CONTACT: GARY M. BOZEK, AICP - DIRECTOR PHONE: 517.323.8560 EMAIL: GBOZEK@DELTAMI.GOV</p> <p>DELTA TOWNSHIP - ENGINEERING DEPARTMENT CONTACT: ERNEST A. WEST, P.E. PHONE: 517.323.8540 EMAIL: EWEST@DELTAMI.GOV</p> <p>MICHIGAN DEPARTMENT OF TRANSPORTATION CONTACT: THOMAS J. FISHER, P.E. PHONE: 517.335.3707 EMAIL: FISHER1@MICHIGAN.GOV</p> <p>EATON COUNTY - DRAIN OFFICE CONTACT: JESSICA LARKIN - SOIL EROSION PHONE: 517.543.3809 EMAIL: EDEIBEL@EATONCOUNTY.ORG</p> <p>EATON COUNTY ROAD COMMISSION CONTACT: MATT HANNAHS - ASSISTANT COUNTY ENGINEER PHONE: 517.997.4067 EMAIL: MHANNAHS@EATONCOUNTYROAD.COM</p>
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INDEX OF DRAWINGS	
NUMBER	TITLE
--	COVER SHEET
C-1.0	OVERALL SITE PLAN
C-1.1	OVERALL BOUNDARY DIMENSIONS
C-2.1	TOPOGRAPHIC SURVEY
C-2.2	TOPOGRAPHIC SURVEY
C-3.1	DIMENSION AND PAVING PLAN
C-3.2	DIMENSION AND PAVING PLAN
C-4.1	GRADING PLAN
C-4.2	GRADING PLAN
C-6.1	UTILITY PLAN
C-6.2	UTILITY PLAN
C-9.0	SAFETY PLAN
C-10.1	SITE NOTES
C-10.2	DETAILS
C-10.3	DETAILS
C-10.4	MDOT DETAILS
SL-1.1	PHOTOMETRIC PLAN - NORTH
SL-1.2	PHOTOMETRIC PLAN - SOUTH
SL-1.3	PHOTOMETRIC DETAILS
L-1.0	LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAILS

A-1	CONCEPTUAL FLOOR PLAN
A-2	CONCEPTUAL ELEVATIONS

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL

REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	8/24/2021



LEGEND

EXISTING		PROPOSED	
●	IRON FOUND	⊗	BRASS PLUG SET
⊗	IRON SET	⊗	MONUMENT FOUND
●	NAIL FOUND	⊗	MONUMENT SET
⊗	NAIL & CAP SET	⊗	SEC. CORNER FOUND
		R	RECORDED
		M	MEASURED
		C	CALCULATED
—OH-ELEC—	ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE	—ELEC—	ELEC. UNDERGROUND CABLE TV, CATV PEDESTAL
—UG-CATV—	UNDERGROUND CABLE TV, CATV PEDESTAL	—PHONE—	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
—ELEC—	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE	—ELEC—	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
—GAS—	GAS MAIN, VALVE & GAS LINE MARKER	—WATER—	WATERMAIN, HYD. GATE VALVE, TAPPING BLEEVE & VALVE
—SEWER—	SANITARY SEWER, CLEANOUT & MANHOLE	—SEWER—	SANITARY SEWER, CLEANOUT & MANHOLE
—CS—	COMBINED SEWER & MANHOLE	—CS—	COMBINED SEWER & MANHOLE
□	SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN	□	SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
○	POST INDICATOR VALVE	○	POST INDICATOR VALVE
○	WATER VALVE BOOBYDRANT VALVE BOX, SERVICE SHUTOFF	○	WATER VALVE BOOBYDRANT VALVE BOX, SERVICE SHUTOFF
□	MARLBX, TRANSFORMER, IRRIGATION CONTROL VALVE	□	MARLBX, TRANSFORMER, IRRIGATION CONTROL VALVE
□	UNIDENTIFIED STRUCTURE	□	UNIDENTIFIED STRUCTURE
○	SPOT ELEVATION	○	SPOT ELEVATION
—	CONTOUR LINE	—	CONTOUR LINE
—	FENCE	—	FENCE
—	GUARDRAIL	—	GUARDRAIL
—	STREET LIGHT	—	STREET LIGHT
—	SIEN	—	SIEN
—	CONC.	CONC.	CONCRETE
—	ASPH.	ASPH.	ASPHALT
—	GRAVEL	GRAVEL	GRAVEL SHOULDER
—	WETLAND	—	WETLAND
—	3SD	—	3SD HEAVY FLOW DUTY ONLY
—	STD	—	STD HEAVY FLOW DUTY STRENGTH

NOTE:
REFER TO ARCHITECT PLANS FOR EXACT BUILDING FIXTURE TYPES AND LOCATIONS.

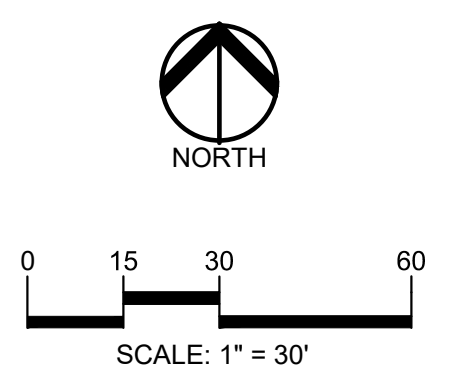
GENERAL SITE LIGHTING NOTES:

- THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
- ALL POLES ARE TO BE MOUNTED ON CONCRETE PEDESTALS 2 FEET ABOVE GRADE AS SHOWN IN DETAIL.
- ALL POLES LOCATED OUTSIDE OF THE PARKING LOT AREA SHALL BE LOCATED 3 FEET FROM BACK OF CURB OR EDGE OF SIDEWALKS AND 5 FEET FROM UTILITIES WHENEVER POSSIBLE.
- SHOP DRAWINGS FOR THE ELECTRICAL WIRING OF THE FIXTURES NEED TO BE SUPPLIED BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER FOR COORDINATION OF UNDERGROUND CONDUIT AND APPROVAL OF LAYOUT.
- ALL AREA LIGHT FIXTURES ARE TO BE DIRECTED AWAY FROM NEIGHBORING PROPERTIES AND ROADWAYS.
- CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIALS AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
- COORDINATE LIGHT FIXTURE PLACEMENT AND INSTALLATION WITH LANDSCAPE.
- ALL CONDUCTORS SHALL BE IN CONDUIT.
- LOCATION OF ALL BUILDING MOUNTED FIXTURES SUBJECT TO CHANGE PER ARCHITECTURE PLANS.

SITE PHOTOMETRIC DATA:

	ALLOWED	PROPOSED
1. MAX FIXTURE HEIGHT		
1.1. POLE-MOUNTED:	20 FT.	20 FT.
1.2. BUILDING-MOUNTED:	20 FT.	20 FT. (MAX)
2. MAX INTENSITY ON SITE:	10.0 F.c.	8.6 F.c.
3. *MAX LIGHT AT PROPERTY LINE		
3.1. RESIDENTIAL LINE:	0.1 F.c.	0.1 F.c.
3.2. NON-RESIDENTIAL LINE:	0.5 F.c.	0.2 F.c.

*MEASURED AT FIVE (5) FEET ABOVE GRADE.



CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
WEST LANSING RETAIL DEVELOPMENT II LLC
30300 TELEGRAPH ROAD, SUITE 280
BIRCHAM FARMS, MICHIGAN

PROJECT TITLE
DELTA CROSSINGS - AT HOME
PART OF SECTION 09, T64W, R33W
DELTA TOWNSHIP, LANSING COUNTY, MICHIGAN

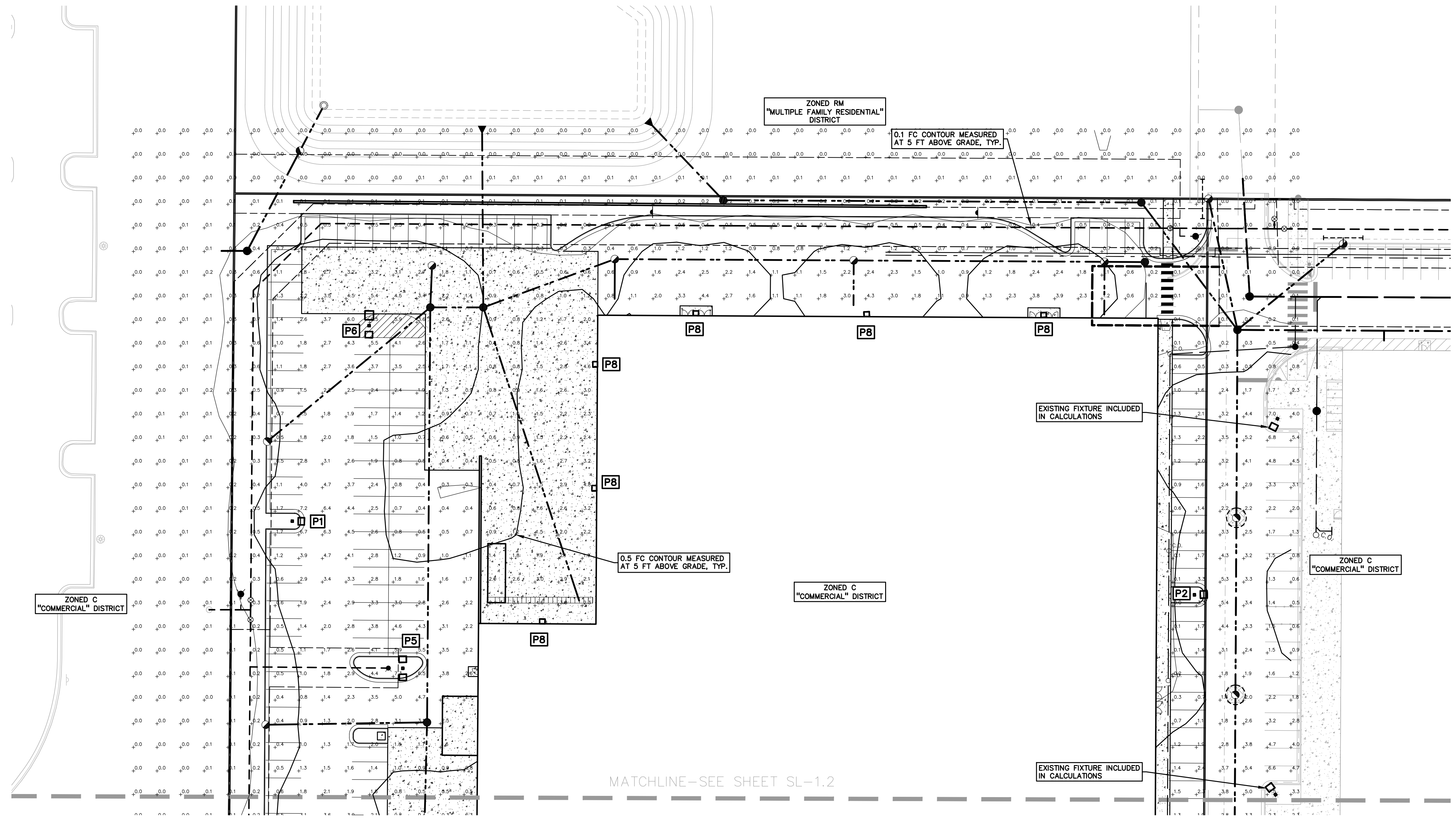
REVISIONS

ORIGINAL ISSUE DATE:
AUGUST 24, 2021

DRAWING TITLE
PHOTOMETRIC PLAN - NORTH

PEA JOB NO. 2019-442
P.M. THD
DN. JRW
DES. JRW
DRAWING NUMBER:

NOT FOR CONSTRUCTION **SL-1.1**

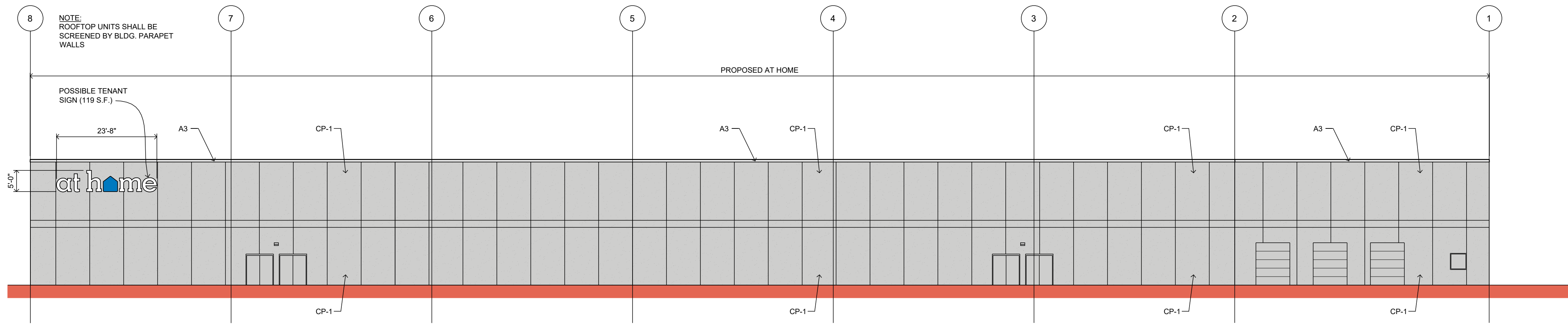


Symbol	Label	Mounting Height (ft)	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
□	P1	20	5	Lithonia Lighting	DSX1 LED P8 40K T4M MVOLT HS	DSX1 LED P8 40K T4M MVOLT with house-side shield	1	18424	0.95	207
□	P2	20	1	Lithonia Lighting	DSX1 LED P4 40K BLC MVOLT	DSX1 LED P4 40K BLC MVOLT	1	11878	0.95	125
□	P3	20	2	Lithonia Lighting	DSX1 LED P6 40K T4M MVOLT HS	DSX1 LED P6 40K T4M MVOLT with house-side shield	1	14482	0.95	163
□	P4	20	1	Lithonia Lighting	DSX1 LED P8 40K T4M MVOLT	DSX1 LED P8 40K T4M MVOLT	1	23740	0.95	207
□	P5	20	6	Lithonia Lighting	DSX1 LED P5 40K T4M MVOLT	DSX1 LED P5 40K T4M MVOLT	1	15495	0.95	276
□	P6	20	1	Lithonia Lighting	DSX1 LED P5 40K T3M MVOLT	DSX1 LED P5 40K T3M MVOLT	1	15377	0.95	138
□				Lithonia Lighting	DSX1 LED P5 40K T4M MVOLT	DSX1 LED P5 40K T4M MVOLT	1	15495	0.95	138
□	P7	20	4	Lithonia Lighting	OLLWD LED P1 40K MVOLT	OUTDOOR LED WALL CYLINDER DOWN LIGHT & 4000K NICHIA 219C	1	576	0.95	9.02
□	P8	15	6	Lithonia Lighting	DSX1 LED P2 40K T4M MVOLT	DSX1 LED P2 40K T4M MVOLT	1	8707	0.95	70

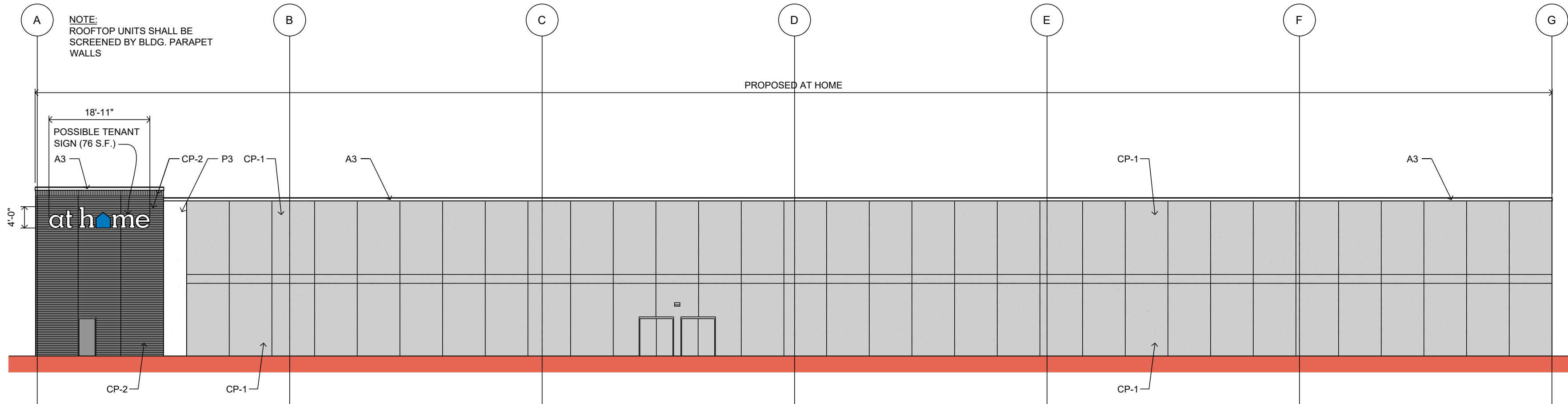
*BECAUSE NO IES FILE COULD BE FOUND FOR THE SPECIFIED FIXTURE, A SUBSTITUTE FILE WAS CHOSEN

Exterior Materials/Finishes

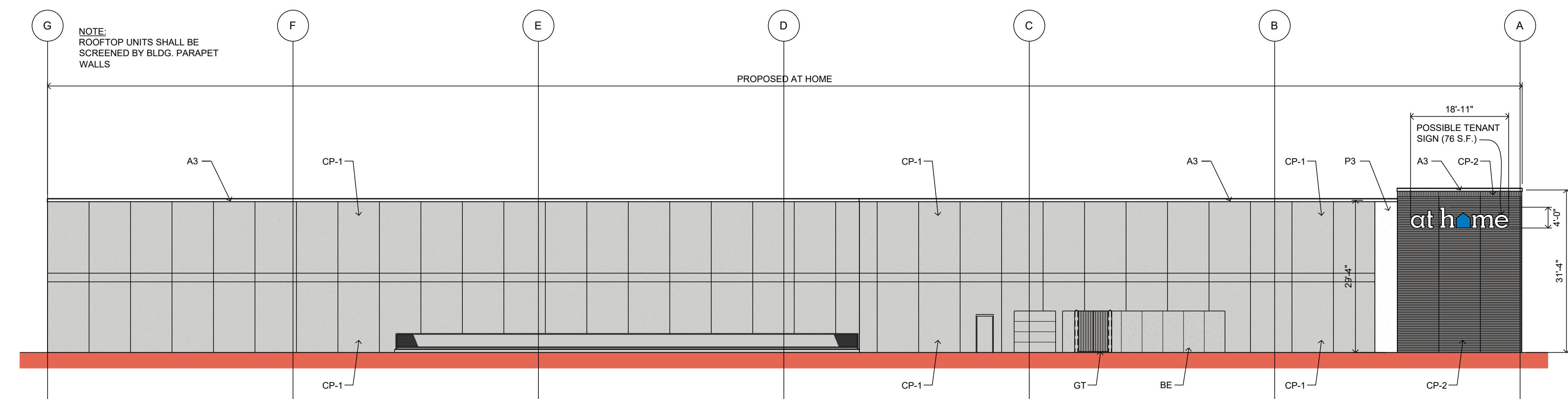
- A1 MATERIAL: ALUMINUM STOREFRONT/DOORS/CURTAINWALL
COLOR/FINISH: CLEAR MILL FINISH
- A2 MATERIAL: ALUMINUM BREAK METAL ASSEMBLIES/COMPONENTS
COLOR/FINISH: PRE-FINISHED TO MATCH STOREFRONT/DOORS
- A3 MATERIAL: PRE-FINISHED SHEET METAL COPING
COLOR/FINISH: PRE-FINISHED TO MATCH ADJACENT EXTERIOR WALL COLOR, UNLESS NOTED OTHERWISE.
- E1 MATERIAL: DRYVIT EIFS
ATHO-01-1022-AT HOME EXTERIOR DARK GRAY FINISH; SANDPEBBLE FINE
- E2 MATERIAL: DRYVIT EIFS
ATHO-02-1022-AT HOME EXTERIOR JENISON GRAY FINISH; SANDPEBBLE FINE
- G1 MATERIAL: GLASS/GLAZING
BASIS OF DESIGN: INSULATED GLASS (TEMPERED AS REQUIRED BY CODE)
SURFACE, SHGC AS REQUIRED BY CODES IN EFFECT
COLOR/FINISH: CLEAR
- G2 MATERIAL: GLASS/GLAZING
BASIS OF DESIGN: SINGLE PANE GLASS (TEMPERED AS REQUIRED BY CODE)
SURFACE, SHGC AS REQUIRED BY CODES IN EFFECT
COLOR/FINISH: CLEAR
- P1 MATERIAL: EXTERIOR PAINT
COLOR/FINISH: SW COLOR "AT HOME EXTERIOR DARK GRAY"; (HEAVY SAND, FLAT FINISH FOR CONCRETE PANELS/WALLS)
- P2 MATERIAL: EXTERIOR PAINT
BASIS OF DESIGN: SHERWIN WILLIAMS
COLOR/FINISH: SW COLOR "AT HOME EXTERIOR JENISON GRAY"; (HEAVY SAND, FLAT FINISH FOR CONCRETE PANELS/WALLS)
- P3 MATERIAL: EXTERIOR PAINT
BASIS OF DESIGN: SHERWIN WILLIAMS
COLOR/FINISH: SW COLOR "SW 7551 GREEK VILLA"; (HEAVY SAND, FLAT FINISH FOR CONCRETE PANELS/WALLS)
- R1 MATERIAL: STANDING SEAM METAL ROOFING
COLOR/FINISH: PRE-FINISHED BERRIDGE COLOR "ZINC GRAY".
- R2 MATERIAL: STANDING SEAM METAL ROOFING
COLOR/FINISH: PRE-FINISHED BERRIDGE COLOR "SHASTA WHITE".
- CP-1 MATERIAL: TEXTURED CONCRETE PANEL
COLOR/FINISH: PAINTED P2
- CP-2 MATERIAL: TEXTURED CONCRETE PANEL WITH STAMPED BRICK PATTERN
COLOR/FINISH: PAINTED P1
- BE MATERIAL: URESTONE STUCCO CLAD
COLOR/FINISH: PAINTED P1 W/ CONCRETE PANEL PATTERN
- GT MATERIAL: URESTONE STANDARD METAL GATE AND POSTS
COLOR: CHARCOAL GRAY



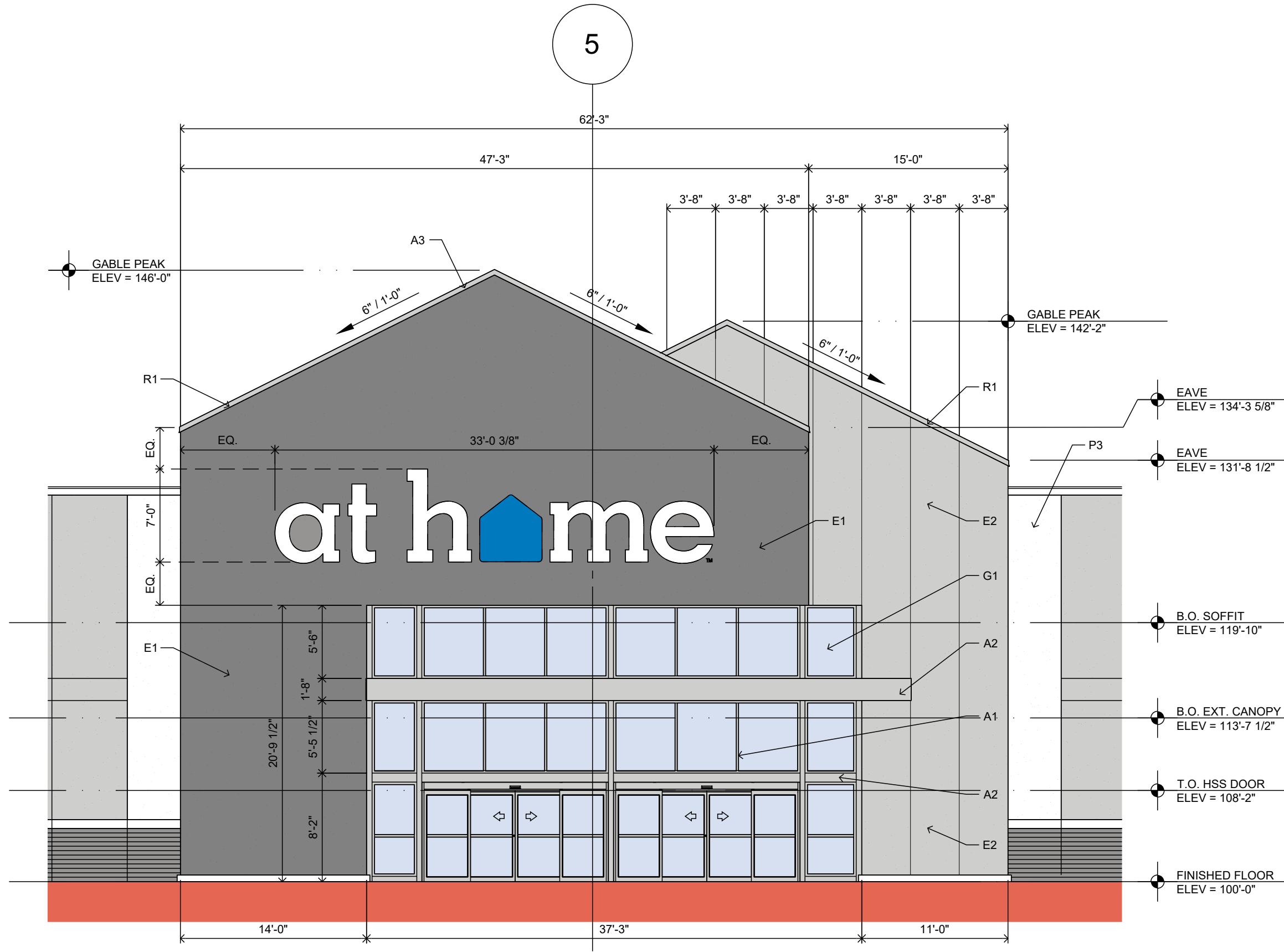
North Elevation
1/16" = 1'-0"



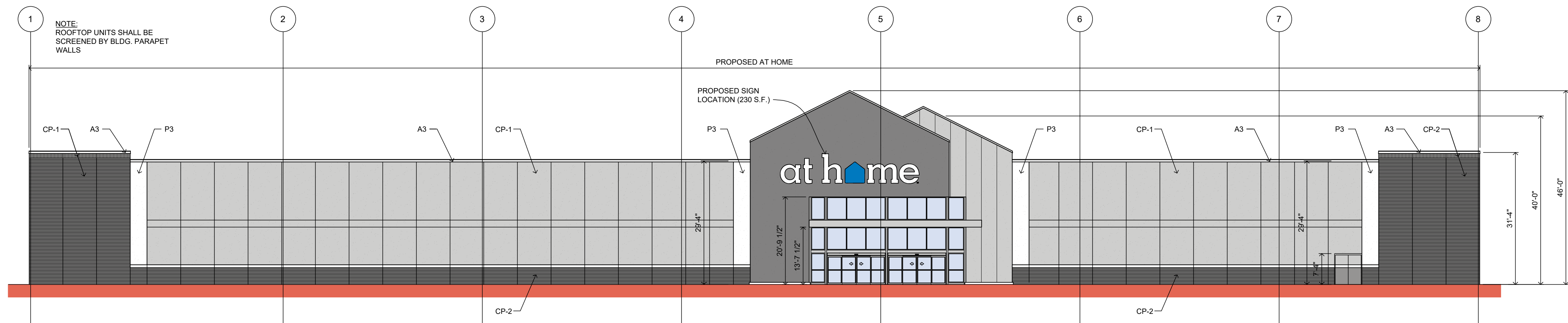
East Elevation
1/16" = 1'-0"



West Elevation
1/16" = 1'-0"



Enlarged Front Entry Elevation
1/8" = 1'-0"



South Elevation
1/16" = 1'-0"

issued for:
 OWNER REVIEW: 03.AUG.21
 OWNER REVIEW: 06.AUG.21
 OWNER REVIEW: 19.AUG.21

project:

Proposed At Home at
Delta Crossings
 Saginaw Road and I-96
 Delta Township, Michigan



32500 TELEGRAPH ROAD
 SUITE 250
 BINGHAM FARMS, MICHIGAN
 48025-2404
 PH 248.540.7700 FX 248.540.2710
 www.rogvoy.com



drawing:
Conceptual Elevations

DO NOT SCALE DRAWING
 issue date: 19 AUG. 2021
 drawn: KC
 checked: MD
 approved: MD

file number: 18025
sheet:

2022 CAPITAL IMPROVEMENT PLAN
YEARS: 2022 - 2027



DELTA CHARTER TOWNSHIP
PLANNING COMMISSION
September 13, 2021

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DELTA TOWNSHIP BOARD

Kenneth R. Fletcher, Supervisor
Mary R. Clark, Clerk
Dennis R. Fedewa, Treasurer
Elisabeth S. Bowen
Fonda J. Brewer
Andrea M. Cascarilla
Karen J. Mojica

DELTA TOWNSHIP PLANNING COMMISSION

Jim Schweitzer, Chair
Arnold Weinfeld, Vice Chair
Merritta Hunt-Proctor, Secretary
Wendy Bradley
Rachel Elsinga
Douglas Kosinski
Robert McConnell
Michael Meddaugh
Mark Mudry

2022 - 2027 CAPITAL IMPROVEMENTS PROGRAM COMMITTEE

Wendy Bradley, Planning Commissioner
Rachel Elsinga, Planning Commissioner
Merritta Hunt-Proctor, Planning Commissioner
Mark Mudry, Planning Commissioner
Rick Kane, Director of Utilities
Courtney Nicholls, Finance Director
David Waligora, AICP, Assistant Planning Director

DELTA TOWNSHIP PLANNING DIVISION STAFF

Gary Bozek, AICP – Planning Director
David J Waligora, AICP – Assistant Planning Director
Matt McKernan, Planner

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Chapter 1

INTRODUCTION TO CAPITAL IMPROVEMENTS PROGRAMMING

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INTRODUCTION

Like all municipalities, Delta Township budgets available capital to fund needed public projects and improvements to meet the needs of its residents and stakeholders, amidst typically fixed revenue streams. The Capital Improvement Plan (CIP), allows the Township to inform the public, prioritize projects, and prepare budgetary funding mechanisms for upcoming years. Finally, the plan vets projects to insure that money is being spent both wisely and efficiently.

WHAT ARE CAPITAL IMPROVEMENTS?

CAPITAL IMPROVEMENTS ARE PUBLIC IMPROVEMENTS. They are projects involving the expenditure of public funds, over and above annual operating expenses, for the purchase, construction, or replacement of the physical facilities of a community.

Examples include:

- ✓ New Public Buildings (Administration, Library, Fire and Sheriff)
- ✓ Parks
- ✓ Roads
- ✓ Water & Sanitary Sewer Lines
- ✓ Water & Sewage Treatment Plants

WHAT ARE THE GENERAL CHARACTERISTICS OF CAPITAL IMPROVEMENTS?

- ✓ They are large.
- ✓ They have a big price tag.
- ✓ They have long term usefulness and permanence (10-30 years).
- ✓ They involve expenditures of a non-recurring nature (i.e., Once it's paid for that's it! The maintenance of the facility once in place becomes part the annual operating budget).
- ✓ They usually provide a governmental facility for public service.
- ✓ They add substantially to the value of the municipality's fixed assets.

DELTA TOWNSHIP'S CAPITAL IMPROVEMENT PLAN

A capital improvement project for the purposes of Delta Township's capital improvements program is a major nonrecurring expenditure that includes one or more of the following:

- ✓ Any acquisition of land for a public purpose.
- ✓ Any construction of a new facility (e.g., a public building, water or sewer line, a playfield, or an addition to, or an extension of, such a facility)
- ✓ A nonrecurring rehabilitation (i.e., something which is infrequent and would not be considered annual or other recurrent maintenance) or major repair of all or part of a building, its grounds, or other facility, provided that the cost is \$50,000 or more and the improvement will have a useful life of ten years or more.
- ✓ The purchase of major equipment (e.g., a fire truck), provided that the cost is \$50,000 or more, which has a useful life of five years or more.
- ✓ Any planning, feasibility, engineering, or design study related to an individual capital improvement project or to a program that is implemented through individual capital improvement projects.
- ✓ Requests for funding projects that do not meet the criteria for inclusion in the capital improvements program are submitted as part of the Township's annual operational budget.

WHAT IS CAPITAL IMPROVEMENTS PROGRAMMING?

It is the preparation and updating of a proposed schedule of public works projects and related equipment to be built or purchased by local governments within a 6-year period. It covers the entire range of public facility and service requirements. The program lists all future projects in order of construction or acquisition priority, along with cost estimates and the anticipated means of financing each project by budget year.

The first year of scheduled projects is referred to as the "[Capital Budget](#)" and includes those projects scheduled to be funded in the upcoming fiscal year. These projects will be considered for inclusion in the Township's legally adopted budget. The succeeding years' schedule of projects makes up the "**Program**".

WHY DO WE USE A SIX-YEAR PROGRAMMING PERIOD?

A six-year period is most suitable. Two or three years is too little time for effective programming because planning and financing of major facilities typically takes longer. A period of seven years or more may project the program too far into the future to be of practical value as costs typically rise in that amount of time.

WHY DO WE UPDATE THE PROGRAM ANNUALLY?

The CIP is updated annually to fine tune the capital budget to reflect changing economic conditions. The Township wants to have the most accurate project costs included in the budget for the upcoming fiscal year. The program is also adjusted to reflect the need for additional projects and set different priorities if necessary.

WHAT ARE THE BENEFITS OF CAPITAL IMPROVEMENTS PROGRAMMING?

- ✓ **Focusing Attention on Community Goals, Needs, and Capabilities.** This involves bringing projects in line with community objectives, anticipated growth, and financial capabilities. This is the type of information contained in the Township's Comprehensive Plan. The CIP is a tool for implementing the goals, policies, and objectives set forth in the plan.
- ✓ **Achieving Optimum Use of the Taxpayer's Dollar.** Advance programming can help avoid costly mistakes. The program also aids the Township Board in making sound annual budget decisions. A listing of anticipated projects may encourage the purchase of land well in advance of construction at a lower present cost rather than higher future costs.
- ✓ **Serving Wider Community Interests.** Projects within the CIP are prioritized because of the greatest benefit to the greatest number of Township residents.
- ✓ **Encouraging a More Efficient Governmental Administration.** Coordination of capital improvements programming by township, county, and state agencies can reduce scheduling problems and conflicting or overlapping projects. For example, utilizing a CIP avoids paving a street one year and tearing it up the next to install a sewer.
- ✓ **Improving Intergovernmental and Regional Cooperation.** It may be possible to share needed facilities between local units of governments or between the municipality and a school district. Examples would be water and sewer plants or classroom space for recreation programs.

- ✓ **Maintaining a Sound and Stable Financial Program.** When there is ample time for planning, the most economical means of financing each project can be selected in advance. Keeping projects within the financial capacity of the community helps to preserve its credit rating and makes the area more attractive to business and industry.

- ✓ **Enhancing Opportunities for Participation in Federal and State Grant Programs.** Most grant applications require the need for the program to be well documented with a clear statement of goals and objectives. This documentation has already been developed in the CIP.

Chapter 2

CAPITAL IMPROVEMENT PROGRAMMING PROCESS



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WHAT IS THE LEGAL BASIS FOR CAPITAL IMPROVEMENTS PROGRAMMING IN DELTA TOWNSHIP?

The **Michigan Planning Enabling Act, 2008, PA 33** (MCL 125.3801 et. seq.), which became effective on September 1, 2008, mandates that the Planning Commission annually prepare a program of public improvements for the ensuing 6 years as follows:

To further the desirable future development of the local unit of government under the master plan, a planning commission, after the adoption of a master plan, shall annually prepare a capital improvements program of public structures and improvements.

The capital improvements program shall show those public structures and improvements, in the general order of their priority that in the commission's judgment will be needed or desirable and can be undertaken within the 6-year period. The capital improvements program shall be based upon the requirements of the local unit of government for all types of public structures and improvements. Consequently, agency or department of the local unit of government with authority for public structures or improvements shall upon request furnish the commission with lists, plans and estimates of time and cost of those public structures and improvements. - Sec. 65

Thus, the Delta Township Planning Commission has the primary responsibility of preparing the Township's Capital Improvements Program.

The Planning Commission annually appoints a Capital Improvements Program Committee and charges this committee with the responsibility of preparing the actual CIP document. Once prepared, the document is reviewed and approved by the full Commission at a public hearing.

The CIP Committee is typically composed of three members from the Planning Commission, a representative from the Township Manager's Office, a Township Department Head, and a Planning Department staff person. The Township Manager's representative provides information on the status of ongoing projects within the current year, along with information on the Township's current and expected financial status. The Planning Department staff person is responsible for the compilation of project requests and the preparation of the actual CIP document.

A SUMMARY OF DELTA TOWNSHIP'S CIP PROCESS

The process of preparing the Delta Township's Capital Improvements Program begins early in the year and continues into early August when the CIP document is submitted to the Township Manager for use in preparing the Township' annual budget. The Township's CIP process is as follows:

- May** A memo is sent by the planning staff on behalf of the CIP Committee to all department heads requesting the submission of projects for inclusion in the CIP. Projects are generally required to be submitted within one month of the CIP Committee's request. Standardized project status sheets, and project request forms are utilized. Information generally provided on the project requests forms includes a description of the project, the requested funding level, the years for funding and implementation, and the departmental priority of the project.
- June** Staff compiles the information received from the department heads for presentation. The projects are grouped according to their respective funds, i.e., general fund, water fund, sewer fund. The information packet presented to the CIP Committee also contains a list of the previous year's projects which have been funded or deleted and charts summarizing all project requests within their respective funds.
- CIP Committee meetings are held, at which projects are reviewed, department heads are interviewed, and project priorities are determined.
- September** The Planning Department completes the CIP document and transmits it to the Planning Commission for review and approval at a public hearing. Following the hearing, the CIP document is delivered in its final form to the Township Board and Township Manager for use in formulating the Township budget.

PREPARATION AND ADOPTION OF 2022 CIP

The preparation of the 2022 Capital Improvements Program followed the process as described above, and it was adopted by the Delta Township Planning Commission following a public hearing on September 14, 2020

Chapter 3

WHERE DOES THE MONEY COME FROM
AND WHERE DOES IT GO?



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WHERE DO YOUR TAX DOLLARS GO?

Delta Township's portion funds those services which the Township provides its residents. These include police and fire protection as well as administrative services. Funding for paramedic services is provided by a voter approved tax levy which was initiated at 2 mill in 1979 and renewed in 1984. In November of 1988 the voters approved a one mill ten year tax levy for paramedic services that began in 1989. The one mill paramedic services levy was renewed for another ten years on August 4, 1998, and it was renewed once again for ten years in 2018. Taxes that are paid to Eaton County are used to fund County services such as road and storm drain maintenance an

Delta Township serves as the collecting agent for taxes earmarked for education as well as County and Township services. The local school portion goes to the appropriate school district; either Lansing, Holt, Waverly or Grand Ledge districts. The intermediate school portion provides funding to the Eaton or Ingham Intermediate school districts which provide such services as special education, vocational education, and career centers.

DELTA TOWNSHIP'S THREE OPERATIONAL FUNDS

Delta Township has three operational funds which finance the services provided to Township residents. These three funds are **the General Fund, the Sanitary Sewer Fund, and the Water Fund**. Each of these is a separate autonomous entity.

The General Fund receives most of its revenues from property taxes, state shared revenues, and fees for general public services. Revenues to the Sanitary Sewer Fund and the Water Fund are derived from customer billings, new customer connection fees, and special assessments

GENERAL FUND REVENUES & EXPENDITURES

The General Fund provides support for nearly all of the basic public services of the Township. Over twenty services and numerous miscellaneous activities operate from revenues accruing to the General Fund.

Property tax revenues are determined by the taxable value of real property (land & buildings) and personal property (machinery, equipment, etc.) multiplied by the millage rate levied each year by the Delta Township Board for General Fund operations. Property tax revenues received in 2018 were generated by a millage rate of 4.9287. A mill represents \$1.00 for each \$1,000 of property valuation. For 2020 revenues, it is expected that the millage rate will again be set at 4.9287.

It should be noted that in addition to the 4.9287 mills mentioned above, there are additional Township tax levies of 0.9896 mills for paramedic services and 1mill for the Delta Township District Library. These are separate levies that were approved by the Township's voters.

The General Fund provides for the operation of the various departments providing public services to Township residents. Additional funding is provided for the maintenance of the Township's buildings and grounds, certain street and drain expenses, and a variety of other miscellaneous activities.

SANITARY SEWER FUND REVENUES & EXPENDITURES

The principal revenue sources for the Sanitary Sewer Fund are from sales, which represent receipts from monthly billings to sanitary sewer customers; capital charges, which are a one-time only purchase of equity representing capital investments paid for by all new customers; interest income, which is gained from short-term investment of available cash at local financial institutions; and main charges are paid by those property owners outside of special assessment districts for the cost of installing sanitary sewers in front of their properties.

Sanitary Sewer Fund expenditures result from the support of all wastewater collection and treatment operations within the Township. This includes the personnel necessary to operate the Wastewater Treatment Plant; the maintenance of collector sewers, lift stations, and treatment plant, and a variety of other service functions provided to the Township's sewer customers. Capital improvements to the existing sanitary sewer related facilities are also financed via the Sanitary Sewer Fund.

WATER FUND REVENUES & EXPENDITURES

The principal revenues for the Water Fund are from water sales, which are monthly payments made by customers of the system for water consumed, service installation fees for physical connection of new customers to the system, capital charges which are for the purchase of equity, and interest received from short-term investment of cash with local financial institutions.

Water Fund expenditures arise out of the construction and maintenance of the Township's water distribution system. This includes personnel, equipment, maintenance, construction, and repair of water mains and water storage tanks.

STATUS OF 2020 CIP PROJECTS BY DEPARTMENT

Engineering

PROJECT	FUNDING LEVEL & PROJECT STATUS
Canal Rehab for Road – 2023	Unfunded, to be coordinated with ECRC road resurfacing in 2023
Community Center to Hunters Park Pathway	Unfunded, project submitted for DNR grant, awaiting determination of grant funding
Marketplace Blvd Rehab – 2022	Unfunded, to be coordinated with ECRC road resurfacing in 2022
Millet Highway Rehab – 2022	Unfunded, to be coordinated with ECRC road resurfacing in 2022
Mt. Hope Bike Lanes with road 2021	Unfunded, to be coordinated with ECRC road resurfacing in 2021
Mt. Hope Park to St. Joe/Broadbent Pathway	Unfunded, no progress
Nixon Bike Lanes with road – 2023	Unfunded, to be coordinated with ECRC road resurfacing in 2023

Fire Department

Project	Funding Level and Project Status
Driveway Repair Station 2	Funded
Two New Ambulances	Funded
Tanker 415	Not Funded, removed from 2021 Capital Budget likely 2022
Engine 431	Sold, funding in process

Parks, Recreation, & Cemeteries

Project	Funding Level and Project Status
Community Center Parking Lot Paving and Expansion	\$150,000 Building Study in 2019
Community Center Re	\$500,000 - Building Study in 2019
Delta Mills Parking Lot Pavement	\$100,000 - Deferred to 2021
Delta Mills Playground Restroom Building	\$100,000 - \$50K grand funded in 2019
Enrichment Center Rehabilitation	\$500,000 - Building Study in 2019
Grand Woods Parking Lot Paving	\$200,000- Deferred to 2021
Hawk Meadows Park Pathway Paving	\$400,000 - \$300,000 grant funded in 2019
Hunter Orchard Park Pathway Paving	\$400,00 - \$225,000 grand funded in 2019
Mount Hope Park Fields Development	\$650,000 - \$300,00 grant funded in 2019
Mount Hope park Perimeter Pathway	\$600,000 - \$300,000 grant funded in 2019
Sharp Park Renovations	\$1,200,000 - Grant not funded, but resubmitted in 2020
Vehicle and Equipment Reserve Allocation	\$1,200,000 - Annual allotment received

Utilities

Project	Funding Level and Project Status
Emergency Connection to LBWL South - water Fund	In Progress
Sanitary Sewer System Modeling	In Progress
Distribution Grid tie connection -St. Joe	Finished
10 yd Dump Truck - WWTP Fund	In Progress
2 - 3-yard Dump Truck	In Progress
Large Crane Truck	In Progress
Snow Ground Storage - Water Fund	In Progress
Willow Lift Station Upgrade - WWTP	Not Yet Started
Submersible Pumps - WWTP	In Progress
Sanitary Manhole and Sewer Main - WWTP	In Progress

Chapter 4

2022 - 2027

PROJECT RANKINGS



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Introduction

This chapter contains CIP General Fund project descriptions and the priority levels set for those projects slated for funding in 2022 (i.e., the Capital Budget). The priorities have been set by the Capital Improvements Program Committee and approved by the Delta Township Planning Commission.

Ranking Criteria: This year the Committee utilized an updated methodology for analyzing project submissions. Now seven categories exist: **Master Plans, Regulatory Compliance, Infrastructure/Public Safety, Quality of Life, Impact of Operation Budget, External Funding, and Timing/Location.** Each category is weighted based on its level of importance, and the projects are assigned a score between 1 and 5. There are 85 points possible and the final score is determined by finding the percentage of the score against the possible 85 points. (A project scoring 85 points would be 100, a project scoring 40 points would be a 47).



Master Plans – Master Plans are prepared to provide Delta Township with vetted documentation identifying community goals and ideas. These plans are created holistically with community input, staff direction, and at times outside professional consultants.

- ✓ Is the proposed project contained in one or more specific Master Plan?
- ✓ Is the proposed project listed as a high priority, or over time, has it become a high priority of staff or board?
- ✓ Has the proposed project been fully developed and defined in enough detail so that the specifics are known?
- ✓ Have adequate public discussion and an appropriate level of citizen engagement around the project transpired, and does there appear to be broad community support?

1	2	3	4	5
The project is not part of any Master Plan		The project is included in a Master Plan but may not be a high priority or appropriate citizen engagement or the specific proposal has not yet transpired or is not included in the Master plan but is a high priority and has been well-vetted.		The project is included in a master plan, is a high priority, and is well-vetted.



Regulatory Compliance – This includes compliance with regulatory mandates such as Environmental Protection Agency (EPA) directives, the Americans with Disabilities Act, and other County, State and Federal laws. This also includes compliance with self-imposed Township ordinances and policies.

- ✓ Does the project address a current regulatory mandate?
- ✓ Will the project proactively address a foreseeable (within the next 6 years) regulatory mandate?
- ✓ Does the project have a lasting impact on promoting regulatory compliance over the long term (more than 10 years)?

1	2	3	4	5
The project is not addressing a regulatory compliance issue		The project provides a short-term fix for an existing regulatory compliance issue or for one anticipated in the near future.		The project resolves a pressing or long-term regulatory compliance issue.



Infrastructure / Public Safety – This item relates to infrastructure needs for the Township, as well as improves the overall safety of the community. Projects to address employee safety issues and to proactively manage risk, would also be included.

- ✓ How would the proposed project impact the safety of Delta residents and/or employees and how widespread is that potential impact?
- ✓ Is the infrastructure project needed?
- ✓ Will the project address an existing facility that is outdated or has exceeded its useful life?
- ✓ What is the degree of seriousness of the safety issue that is being addressed through the proposed project?
- ✓ Does the project help assist the Township to respond more effectively and efficiently to emergencies throughout the community?
- ✓ Is the project supported by a life cycle analysis of repair versus replacement?
- ✓ Does the project extend service to support/promote new growth?
- ✓ Does the project foster safe and accessible modes of travel?

1	2	3	4	5
The safety of infrastructure need for the project is low; or it addresses new or existing infrastructure.		The safety or infrastructure level of the project is moderate; it addresses a serious safety issue that has a limited impact or addresses a less-serious issue that serves the broader community; it addresses either new or existing infrastructure. (Maximum score for a new facility.)		The safety of infrastructure level of the project is high; it addresses a serious health/public safety issue that has a widespread impact; it addresses existing infrastructure; and the ancillary benefits are well-defined.



Quality of Life / Health & Wellness – Quality of Life / Health & Wellness are a characteristic that make Delta a favorable place to live, work, and play.

- ✓ How would the proposed project impact the quality of life for Delta residents and visitors—how widespread is that potential impact?
- ✓ Will the project attract new residents, businesses, or visitors to the Township?
- ✓ Does the project serve to preserve the integrity of the Township’s residential neighborhoods?
- ✓ Does the project help create a beautiful and clean community?

1	2	3	4	5
The project does not affect the Quality of Life/ Health and Wellness for Delta Township community members and visitors.		The project has a moderate impact of the Quality of Life / Health & Wellness for Delta Township Community members and visitors.		The project greatly impacts the Quality of Life/Health & Wellness for a wide range of Delta Township Community members and visitors.

Impact on Operational Budget – Some projects may affect the operating budget for the next few years or for the life of the facility. A new facility will need to be staffed and supplied, therefore having an impact on the operational budget for the life of the facility. Replacing a light with a more energy efficient model may decrease operational costs.

- ✓ Will the project require additional personnel to operate?
- ✓ Will the project require additional annual maintenance?
- ✓ Will the project require additional equipment not included in the project budget?
- ✓ Will the project reduce staff time and Township resources currently being devoted, and thus have a positive effect on the operational budget?
- ✓ Will the efficiency of the project save money?
- ✓ Will the project present a revenue generating opportunity?
- ✓ Will the project help grow a strong, diversified economic base to help offset any additional costs?



1	2	3	4	5
The project will have a negative effect on the budget. It will require additional money to operate.		The project will not affect the operating budget as it is cost/revenue neutral.		The project will have a positive effect on the budget. It will have significant savings in time, materials, and/or maintenance, or be revenue generating to offset some/all expenditures.

External Funding – Capital improvement projects can be funded through sources other than Township funds. Developer funding, grants through various agencies, and donations can all be sources of external funding for a project. The percentage of total cost funded by an outside source will determine the score in this category.

1	2	3	4	5
0% - 20% External Funding	21% – 40 % External Finding	41% - 60% External Funding	61% - 80% External Funding	81%-100% External Funding

Timing/Location – The timing and location of the project is an important piece of a project. If the project is not needed for many years, it would score low in this category. If the project is close in proximity to many other projects and/or if a project is urgent or may need to be completed before another one can be started, it would score high in this category. The score could be based on the answers to the following example questions:

- ✓ When is the project needed?
- ✓ Do other projects require this one to be completed first?
- ✓ Does this project require others to be completed first?
- ✓ Will it be more economical to build multiple projects together, thus reducing construction costs?
- ✓ Will it help reduce the overall number of neighborhood disruptions from year to year?
- ✓ Is this an existing facility at or near the end of its functional life?

1	2	3	4	5
The project does not have a critical timing/location component.		The project has either a timing or location factor critical to it.		Both timing and location are critical components of the project.

Scoring Matrix

Categories	Total Score	Category Weight	Weighted Score
Master Plans	5	3	15
Regulatory Compliance	5	3	15
Infrastructure / Public Safety	5	3	15
Quality of Life / Health & Wellness	5	2	10
Impact on Operation Budget	5	1	5
External Funding	5	3	15
Timing/Location	5	2	10
Total			85

2022 Capital Budget Scoring Matrix

PROJECT	DEPARTMENT	TOTAL	M-PLAN	REG	INFR	QUAL LIFE	BUDG IM	EXT FUND	TIMING	RANK	Score
Fire	Replacement of Aerial Platform Fire Apparatus	\$1,570,223	5	5	5	5	5	1	5	73	86%
Fire	Replacement of Pumper/Tanker 415	\$600,000	5	5	5	5	4	1	5	72	85%
Engineering	Replace Sheriff Substation	\$100,000	5	5	5	5	3	1	5	71	84%
Engineering	St. Joe Highway Non-Motorized Facility	\$1,720,000	5	5	5	5	3	1	5	71	84%
Fire	SELF CONTAINED BREATHING APPARATUS-SCBA	\$454,000	5	5	5	5	3	1	5	71	84%
Fire	PhysioControl LifePak 15 v4 Monitors/Defibrillators (9)	\$313,095	5	5	5	5	3	1	5	71	84%
Fire	Ambulance Replacement 2009 Road Rescue	\$300,000	5	5	5	5	3	1	5	71	84%
Fire	PhysioControl LUCAS Auto External Chest Compression Devices (CPR)	\$92,694	5	5	5	5	3	1	5	71	84%
Parks	Delta Mills Playground Restroom Building	\$135,000	5	5	5	5	3	2	3	70	82%
Parks	North Canal Road Land Acquisition	\$100,000	5	5	3	5	3	4	3	70	82%

2022 Capital Budget Scoring Matrix, *continued*

PROJECT	DEPARTMENT	TOTAL	M-PLAN	REG	INFR	QUAL LIFE	BUDG IM	EXT FUND	TIMING	RANK	Score
Engineering	Admin Elec/Mech	\$400,000	5	5	5	4	3	1	5	69	81%
Parks	Mount Hope Park Perimeter Pathway	\$425,000	5	4	3	5	3	3	4	66	78%
Engineering	Shared Use Pathway Broadbent Road – East Side, Willow Hwy to Saginaw Hwy	\$775,000	5	4	5	5	3	1	2	62	73%
Engineering	New Sidewalk on Willow from Thomas L. Parkway to Arden	\$150,000	1	4	5	5	3	1	4	54	64%
Engineering	Community Center to Hunters Park Pathway	\$50,000	5	1	1	5	3	1	5	47	55%
Parks	Mount Hope Park North Baseball Fields	\$650,000	5	1	1	3	3	3	4	47	55%

2022 Capital Budget Narratives

Replacement of Aerial Platform Fire Apparatus – \$1,570,223

Purchase of equipment to replace the existing 2001 Spartan/Smeal Aerial Platform.

The Fire Department proposes a purchase of a Sutphen 100' aerial platform (SPH100) fire apparatus, and then trading-in or selling the current aerial platform device to offset costs. If approved the anticipated construction time is 13 to 15 months after ordering.

Replacement of Pumper/Tanker 415 - \$600,000

Initially proposed in the 2019 CIP to replace the 1997 Spartan/4 Guys 3,000 pumper/tanker with a replacement pumper tanker. The vehicle was scheduled to be replaced in 2020 and vehicle is 24 years old. This request was deferred to higher priority purchases, but now is a high priority. This vehicle does not have current required emergency vehicle safety equipment. Although the vehicle's mileage is low, this is due to its limited use as a tanker/tender but is a necessity, due to only 35% of our response area having fire hydrants.

Replace Sheriff Substation, \$100,000+

This project involves replacing the existing Eaton County Sheriff Substation with a new building. It is a multiyear project, with expenditures in both 2022 and 2023.

St. Joe Highway Non-Motorized Facility, \$500,000

This project involves constructing a non-motorized pathway along St. Joe Highway between Creyts Road and Waverly Road. A study was completed in 2019 in conjunction with studying the water main replacement in this same area. If watermain is replaced, the pathway could easily be built on top of the water main as part of the water main restoration work. Both water main and pathway will require many easements. Easement acquisition process is beginning in 2021.

SELF CONTAINED BREATHING APPARATUS-SCBA, \$450,000

This proposed project is to replace our cache of Self-Contained Breathing Apparatus (SCBA), which will reach its end of life (obsolete) use in late 2021. This is a crucial part of our Personal Protective Equipment (PPE) that is worn on all structure fires, hazardous materials incidents, confined space and trench rescues. All the SCBA bottles have had their last hydrostatic test and once the expiration occurs, the bottles can no longer be filled with air.

This project will also be submitted for FEMA's Assistance to Firefighters Grant process in the fall of 2020, to be able to do this purchase using grant funding. Grant awards will be announced in June of 2021

PhysioControl LifePak 15 v4 Monitors/Defibrillators (9), \$313,095.17

Our current Automated External Defibrillators/Monitors consist of 8 (eight) LifePak 15 V1 & V2 units that have a life expectancy of 8 (eight) years and were manufactured in 2012 and 2015. These units have reached their end of life and cannot be upgraded. In fact, if any of these older units fail, we must purchase the new generation units, LifePak 15 v4. Additionally, we will need to purchase a new LifePak 15 v4 for the new Engine 433 that we expect to take delivery of in the very near future. We are submitting for approval, the purchase of 9 (nine) PhysioControl LifePak 15 v4 units.

Timeline: If approved in the budget, units can be received within 90 days.

Anticipated life expectancy of the new units is eight years.

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Ambulance Replacement 2009 Road Rescue, \$300,000

Request CIP approval/funding to replace a 2009 Road Rescue ambulance. This vehicle has high mileage and lacks current stringent HEPA ventilation systems and well as built-in UV decontamination equipment. It also does not have the power load and power cot systems for patient lifting. The department has 6 ambulances in its fleet: 4 front line and 2 reserve units. With the addition of the power load/power cot patient lifting system, there is a direct impact on employee injury reduction. This request meets the vehicle replacement schedule.

PhysioControl LUCAS Auto External Chest Compression Devices (CPR), \$92,693.60

The Delta Township Fire Department carries LUCAS V2 auto-external chest compression devices used for Cardiopulmonary Resuscitation (CPR). This has been a critical piece of equipment to maintain effective CPR, reduce the number of staff necessary for manual CPR during cardiac arrest incidents, and during long transport times to area hospitals. In fact, these units can remain on the patient during invasive emergency care and while in a cardiac cath lab setting. However, two of the LUCAS units will reach end of life in 18 months; our second-out ambulances are not equipped with them, and our new Engine 433 will need one.

Some key features of the LUCAS 3, v3.1 include:

- Ability to maintain distance from suspected and confirmed COVID-19 patients during CPR
- Reduced number of caregivers needed to administer chest compressions during a code compared to a rotation of caregivers providing manual CPR
- Improved caregiver safety when providing CPR during transport

Delta Mills Playground Restroom Building, \$100,000

Delta Mills is a very popular park offering access to the Grand River, softball fields, a soccer field, a large playground structure, a picnic shelter, pickleball courts, basketball courts, and nature viewing on the Grand River and Carrier Creek. One of its restroom buildings was recently been replaced with a new building that serves the west side of the park.

North Canal Road Land Acquisition, \$100,000

Delta Township has recognized the importance of parks and recreation for a healthy community. The Township's current Parks and Recreation Master Plan includes goals and objectives to include preservation, protection, and to improve historic, natural, scenic, or environmentally sensitive areas for appropriate public use and enjoyment and habitat protection. This land acquisition, which is adjacent to a proposed pathway/trail, the township's Community Center, Hunter's Orchard Park, and Delta Mills Park would assist the township in achieving this goal and objective.

Administrative Building Electrical and Mechanical Upgrades, \$400,000

The 2020 building assessment identified these necessary mechanical and electrical system improvements for the Administration Building due to their age and condition.

Mount Hope Park Perimeter Pathway, \$425,000

The purpose of this project is to construct a ten (10) foot wide shared use pathway development around the park's perimeter. The ADA accessible ten-foot path will be 3,800 feet long and connect to the existing pathway. The current pathway provides connections to the Ashford Manor and Pointe West neighborhoods. The addition will also allow future connections to other neighborhoods.

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Shared Use Pathway Broadbent Road – East Side, Willow Hwy to Saginaw Hwy, \$775,000

Project would construct a 10-foot-wide shared use pathway on the east side of Broadbent to provide a non-motorized route between Willow Highway and Saginaw Highway. Future extension to Mt Hope Highway and Mt. Hope Park. Coordination with future phases of Delta Crossing and associated Carlson Rd extension.

New Sidewalk on Willow from Thomas L. Parkway to Arden, \$150,000

This project involves replacing old 4-foot-wide sidewalk on the south side of Willow Highway from Thomas L. Parkway to Arden with new 5-foot-wide concrete sidewalk.

Community Center to Hunters Park Pathway, \$50,000 (Year 1)

This project involves the addition of a 10-foot shared use path from the Community Center on Willow to Hunters Park. The length is .40 miles. Previously the project was submitted for DNR funding. Funding request withdrawn due to DNR requirements for land encumbrances. Project could be impacted by pending property acquisition north of Community Center site.

Mount Hope Park North Baseball Fields, \$650,000

This project is a future phase in the development of Mount Hope Park and includes two new baseball fields.

2022 – 2027 Capital Program*

Department	Project Year	Project Name	Projected Cost
Engineering	2022	Community Center to Hunters Park Pathway	\$570,000
Parks	2022	Enrichment Center Rehabilitation	\$3,018,550
Parks	2022	Community Center Rehabilitation	\$1,612,844
Engineering	2022	Shared Use Pathway Broadbent Road - East Side, Willow Hwy to Saginaw Highway	\$770,000
Parks	2022	Willow Hwy to Old River Trail Pathway and Community Center Parking Lot	\$600,000
Roads / Engineering	2022	Marketplace Blvd Road Rehab	\$585,000
Parks	2022	Hunter's Orchard Park Pathway Paving	\$456,000
Engineering	2022	Millet Highway Rehab	\$370,000
Engineering	2023	Delta Mills to Hawk Meadow Park Pathway	\$2,200,000
Engineering	2023	Mount Hope Park to St. Joe / Broadbent Pathway	\$900,000
Engineering	2023	Nixon Road Bike Lanes and Resurfacing	\$870,216
Parks	2023	East-West Pathway and Sharp Park Renovations	\$868,000
Roads / Engineering	2023	Canal Road Rehab	\$310,000
Parks	2023	Grand Woods Park Parking Lot Paving	\$200,000
Parks	2023	Delta Mills Park Parking Lot Paving	\$107,500
Parks	2023	North Canal Road Land Acquisition	\$103,000
Parks	2023	Sharp Park Shelter	\$103,000
Engineering	2024	Pathway from Saginaw / Mall Drive to Elmwood / Michigan Ave via Ivan Street	\$1,220,000

*Capital Program supporting Documentation be found in the appendix.

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Chapter 5

2022-2027

SANITARY SEWER FUND

PROJECT DESCRIPTIONS



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Introduction

The Sanitary Sewer Fund is the second separate operational fund of Delta Township. Its revenue is derived from customer billings, new customer connection fees, and special assessments to property owners.

Sanitary sewer projects rely very heavily on current development patterns, citizen petitions for service, and special assessments for implementation. Projects listed for 2022 reflect the current demands for service. Projects in future years reflect the Utility Director's best guesses as to where the demand for service will be. The Board should be prepared to implement projects that, although not in the current year, may become necessary to implement due to an immediate increase in development in a particular area.

A listing of the 2022-2027 Sanitary Sewer Fund projects appears in Table 5-1. Descriptions of the projects appear following Table 5-1.

Specific priorities were not given to the various projects in that they are all considered necessary to maintain the required level of service and are implemented on an as needed basis.

**Sanitary Sewer Fund Project Priorities
Estimated Capital Requirements**

Item	2022	2023	2024	2025	2026	2027	Future
Generator to run 4 raw sewage pumps	80,000						
Rotating Biological Tower Distribution Arms & Media (1 of 2)	1,000,000						
Sanitary Manhole Lining & Sewer Main Line Repair	75,000	75,000	75,000	75,000	75,000	75,000	
Willow Lift Station upgrade	TBA						
Sanitary Sewer System Modeling (2 of 2)	100,000						
Submersible Sewer Pumps	80,000	80,000	80,000	80,000	80,000	80,000	
Cleaning and Maintenance of Carrier Creek sanitary sewer	TBA	TBA	TBA	TBA	TBA	TBA	
Wastewater Treatment Plant Expansion Plant	TBA	TBA	TBA	TBA	TBA	TBA	
Replace Jet Truck – Vehicle 1185	140,000						
Sewer Jet and Vactor Truck – Vehicle 1158		420,000					
Replace Bobcat skid steer			55,000				
Saginaw Sewer (Nixon to Oneida Township)							200,000
Willow Force Main into Upper Grit Channel							300,000
Delta Mills Sewers							1,500,000
Section 9 Sewage Pump Station							1,500,000
Equalization Basin @ Westland Lift Station							500,000
Section 1 Sewage Pump Station							500,000
Equalization Basin @ Delta Market lift station							1,500,000
St. Joe Highway Sewer - West							1,700,000

St. Joe Highway Sewer – East							1,600,000
Equalization Basin @ Willow Lift Station							3,000,000
Mt Hope Sewage Pump Station							1,700,000
Nixon Road Sewer							1,700,000
Willow Lift Station Major Upgrade							4,300,000
Willow Lift Station Force Main							3,800,000
Tammany Lift Station							500,000
Saratoga Lift Station Force Main							120/foot
River Ridge Lift Station							TBA

2022 SANITARY SEWER FUND PROJECT DESCRIPTIONS:

Generator to run 4 Raw Sewage Pumps at Wastewater Treatment Plant

Our current generator can only operate 2 raw sewage pumps. This is very minimum at best during low flow operations. However, during normal to high flow, they will not keep up with demand. For emergency operations, we need to be able to run a total of 6 pumps, which the plant was designed for.

Rotating Biological Tower Distribution Arms & Media

The distribution arms utilize one main support bearing assembly and are constructed of galvanized steel. The units are in constant contact with the liquid sewage operating in continuous operation 24/7/365 since 1986. The galvanized steel arms are deteriorating from the inside out. Failure of the distribution arm or support bearing assembly would render this equipment from operation and disrupt the treatment process. The Bio-tower media has surpassed its engineered life expectancy and needs to be replaced.

Willow Lift Station Upgrade

With the growth of the Township, the Willow Lift Station is nearing capacity and needs a major upgrade in the future. This project will start with design and engineering in preparation for the needed upgrade to meet 20-year needs with expandability for build-out. This construction will be necessary before flows exceed capacity from short-term improvement.

Sewer Jet and Vactor Truck - Vehicle 1158

This vehicle has been in service since 2001; its primary function is to maintain wastewater collection system cleaning sanitary sewers and lift station wet wells.

Sanitary Sewer System Modeling

A Phased approach to Modeling our sanitary sewer system.

Sections of our collection system to be modeled to give and understand system capacities and valuable inflow and infiltration (I&I) information allowing us to make localized repairs to our collection system of peaking factors above 5.

Submersible Sewage Pumps

Submersible pumps located in sewage pump applications such as; lift stations or WWTP Raw influent pit need to be replaced periodically to prevent failure due to their corrosive environment and constant contact with sewage.

Cleaning and Maintenance of Carrier Creek sanitary sewer

The Carrier Creek sanitary sewer has been evaluated using MSI sensing and rated by NASSCO/PACP coding. Heavy cleaning has been performed between I-496 and Gettysburg Road. A flow model has

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been developed. This allows us to develop asset management ranging from; replacement, lining, and other, to properly maintain this critical asset.

Wastewater Treatment Plant Expansion (On-Going)

The treatment plant has exceeded its life expectancy and needs to be re-constructed with increased capacity to accommodate future growth. This is a major project that is envisioned as a phased project starting with securing funding to start design to build engineering and working into construction phased over the next five to seven years.

Sanitary Manhole Lining and Sewer Main Line Repair

Concrete manholes suffer from hydrogen sulfide damage corroding away concrete that eventually will impact their structural integrity. If caught in time they can be lined to prevent any further hydrogen sulfide damage and extending their life span and prevent their replacement several decades.

Performing sanitary mainline CCTV inspections, we will find broken or failing sewer main that will need repair.

2023 Sanitary Sewer Fund Project Descriptions:

Replace Bobcat Skid Steer

The bobcat skid steer has been in service since 1986. This equipment is utilized throughout the WWTP year-round to provide maintenance and upkeep to facilities.

Sanitary Sewer System Modeling

A Phased approach to Modeling our sanitary sewer system.

Sections of our collection system to be modeled to give and understand system capacities and valuable inflow and infiltration (I&I) information allowing us to make localized repairs to our collection system of peaking factors above 5.

Submersible Sewage Pumps

Submersible pumps located in sewage pump applications such as; lift stations or WWTP Raw influent pit need to be replaced periodically to prevent failure due to their corrosive environment and constant contact with sewage.

Cleaning and Maintenance of Carrier Creek sanitary sewer

The Carrier Creek sanitary sewer has been evaluated using MSI sensing and rated by NASSCO/PACP coding. Heavy cleaning has been performed between I-496 and Gettysburg Road. A flow model has been developed. This allows us to develop asset management ranging from; replacement, lining, and other, to properly maintain this critical asset.

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Wastewater Treatment Plant Expansion (On-Going)

The treatment plant has exceeded its life expectancy and needs to be re-constructed with increased capacity to accommodate future growth. This is a major project that is envisioned as a phased project starting with securing funding to start design to build engineering and working into construction phased over the next five to seven years.

Sanitary Manhole Lining and Sewer Main Line Repair

Concrete manholes suffer from hydrogen sulfide damage corroding away concrete that eventually will impact their structural integrity. If caught in time they can be lined to prevent any further hydrogen sulfide damage and extending their life span and prevent their replacement several decades.

Performing sanitary mainline CCTV inspections, we will find broken or failing sewer main that will need repair.

2024 Sanitary Sewer Fund Project Descriptions:

Sanitary Sewer System Modeling

A Phased approach to Modeling our sanitary sewer system.

Sections of our collection system to be modeled to give and understand system capacities and valuable inflow and infiltration (I&I) information allowing us to make localized repairs to our collection system of peaking factors above 5.

Submersible Sewage Pumps

Submersible pumps located in sewage pump applications such as; lift stations or WWTP Raw influent pit need to be replaced periodically to prevent failure due to their corrosive environment and constant contact with sewage.

Cleaning and Maintenance of Carrier Creek sanitary sewer

The Carrier Creek sanitary sewer has been evaluated using MSI sensing and rated by NASSCO/PACP coding. Heavy cleaning has been performed between I-496 and Gettysburg Road. A flow model has been developed. This allows us to develop asset management ranging from; replacement, lining, and other, to properly maintain this critical asset.

Wastewater Treatment Plant Expansion (On-Going)

The treatment plant has exceeded its life expectancy and needs to be re-constructed with increased capacity to accommodate future growth. This is a major project that is envisioned as a phased project starting with securing funding to start design to build engineering and working into construction phased over the next five to seven years.

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Sanitary Manhole Lining and Sewer Main Line Repair

Concrete manholes suffer from hydrogen sulfide damage corroding away concrete that eventually will impact their structural integrity. If caught in time they can be lined to prevent any further hydrogen sulfide damage and extending their life span and prevent their replacement several decades.

Performing sanitary mainline CCTV inspections, we will find broken or failing sewer main that will need repair.

2025 Sanitary Sewer Fund Project Descriptions:

Sanitary Sewer System Modeling

A Phased approach to Modeling our sanitary sewer system.

Sections of our collection system to be modeled to give and understand system capacities and valuable inflow and infiltration (I&I) information allowing us to make localized repairs to our collection system of peaking factors above 5.

Submersible Sewage Pumps

Submersible pumps located in sewage pump applications such as; lift stations or WWTP Raw influent pit need to be replaced periodically to prevent failure due to their corrosive environment and constant contact with sewage.

Cleaning and Maintenance of Carrier Creek sanitary sewer

The Carrier Creek sanitary sewer has been evaluated using MSI sensing and rated by NASSCO/PACP coding. Heavy cleaning has been performed between I-496 and Gettysburg Road. A flow model has been developed. This allows us to develop asset management ranging from; replacement, lining, and other, to properly maintain this critical asset.

Wastewater Treatment Plant Expansion (On-Going)

The treatment plant has exceeded its life expectancy and needs to be re-constructed with increased capacity to accommodate future growth. This is a major project that is envisioned as a phased project starting with securing funding to start design to build engineering and working into construction phased over the next five to seven years.

Sanitary Manhole Lining and Sewer Main Line Repair

Concrete manholes suffer from hydrogen sulfide damage corroding away concrete that eventually will impact their structural integrity. If caught in time they can be lined to prevent any further hydrogen sulfide damage and extending their life span and prevent their replacement several decades.

Performing sanitary mainline CCTV inspections, we will find broken or failing sewer main that will need repair.

2026 Sanitary Sewer Fund Project Descriptions:

Sanitary Sewer System Modeling

A Phased approach to Modeling our sanitary sewer system.

Sections of our collection system to be modeled to give and understand system capacities and valuable inflow and infiltration (I&I) information allowing us to make localized repairs to our collection system of peaking factors above 5.

Submersible Sewage Pumps

Submersible pumps located in sewage pump applications such as; lift stations or WWTP Raw influent pit need to be replaced periodically to prevent failure due to their corrosive environment and constant contact with sewage.

Cleaning and Maintenance of Carrier Creek sanitary sewer

The Carrier Creek sanitary sewer has been evaluated using MSI sensing and rated by NASSCO/PACP coding. Heavy cleaning has been performed between I-496 and Gettysburg Road. A flow model has been developed. This allows us to develop asset management ranging from; replacement, lining, and other, to properly maintain this critical asset.

Wastewater Treatment Plant Expansion (On-Going)

The treatment plant has exceeded its life expectancy and needs to be re-constructed with increased capacity to accommodate future growth. This is a major project that is envisioned as a phased project starting with securing funding to start design to build engineering and working into construction phased over the next five to seven years.

Sanitary Manhole Lining and Sewer Main Line Repair

Concrete manholes suffer from hydrogen sulfide damage corroding away concrete that eventually will impact their structural integrity. If caught in time they can be lined to prevent any further hydrogen sulfide damage and extending their life span and prevent their replacement several decades.

Performing sanitary mainline CCTV inspections, we will find broken or failing sewer main that will need repair.

2027 Sanitary Sewer Fund Project Descriptions:

Sanitary Sewer System Modeling

A Phased approach to Modeling our sanitary sewer system.

Sections of our collection system to be modeled to give and understand system capacities and valuable inflow and infiltration (I&I) information allowing us to make localized repairs to our collection system of peaking factors above 5.

Submersible Sewage Pumps

Submersible pumps located in sewage pump applications such as; lift stations or WWTP Raw influent pit need to be replaced periodically to prevent failure due to their corrosive environment and constant contact with sewage.

Cleaning and Maintenance of Carrier Creek sanitary sewer

The Carrier Creek sanitary sewer has been evaluated using MSI sensing and rated by NASSCO/PACP coding. Heavy cleaning has been performed between I-496 and Gettysburg Road. A flow model has been developed. This allows us to develop asset management ranging from; replacement, lining, and other, to properly maintain this critical asset.

Wastewater Treatment Plant Expansion (On-Going)

The treatment plant has exceeded its life expectancy and needs to be re-constructed with increased capacity to accommodate future growth. This is a major project that is envisioned as a phased project starting with securing funding to start design to build engineering and working into construction phased over the next five to seven years.

Sanitary Manhole Lining and Sewer Main Line Repair

Concrete manholes suffer from hydrogen sulfide damage corroding away concrete that eventually will impact their structural integrity. If caught in time they can be lined to prevent any further hydrogen sulfide damage and extending their life span and prevent their replacement several decades.

Performing sanitary mainline CCTV inspections, we will find broken or failing sewer main that will need repair.

Future Sanitary Sewer Fund Project Descriptions:

Saginaw Sewer (Nixon to Oneida Township)

Because of failing septic systems, the sanitary sewer should be extended from just west of Nixon Road to the Delta/Oneida Township boundary.

Delta Mills Sewer

This project would put a pump station and gravity sewers in the Delta Mills area.

DRAFT

Section 9 Sewage Pump Station

This project would construct a new pumping station to handle the development west of I-96 as determined in the review of the Long-Range Sewer Plan.

Equalization Basin at Westland Park Lift Station

This area in the Township's industrial tract is experiencing rapid growth, which will necessitate equalizing peak flows at the lift station.

Section 1 Sewage Pump Station

This pump would construct a new pumping station in conjunction with development of homes north of the Grand River, immediately west of Waverly Road.

Equalization Basin at Delta Market Drive (formerly Saginaw) Lift Station

Due to rapid growth west of I-96, this station, located in Section 16 of the Township is reaching capacity and will have to be expanded or have an equalization basin added to accommodate peak flows.

St. Joe Highway Sewer - West

A new gravity sewer is needed along St. Joe Highway, west of Nixon Road, to accommodate growth in this area of the Township.

St. Joe Highway Sewer - East

The upstream 15-inch gravity sewer will reach capacity after 300 more REUs are connected and upsizing or a relief sewer will be required.

Equalization Basin at Willow Lift Station

This project would construct a flow-equalization structure west of I-96 to accommodate peak sewage flows. Wastewater would be stored in the basin during peak flow times and then be pumped to the wastewater treatment plant during off-peak hours. This will insure that wastewater flow to the plant does not exceed the capacity.

Mt. Hope Sewage Pump Station

This project would consist of a large pump station, force main, and gravity sewers to serve the area on Mt. Hope Highway that is west of I-96.

Nixon Road Sewer

This project would construct a new sewer on Nixon from St. Joe Highway to the Rockbridge lift station on west Interceptor when completed. This is needed to keep up with the growth in this area.

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Willow Lift station Major Upgrade

The Willow service area is nearing capacity and will need a major upgrade. Construct a new station near the existing station. Design new station to meet 20-year needs with expandability for build-out. Construct before flows exceed capacity from short term improvements.

Willow Lift station Force Main

Existing pipe is nearing capacity and can handle about 700 more REUs. Build new parallel force main with an inside diameter of 18-inches.

Tammany Lift Station

Tammany lift station upgrade. This station nearing its expected life span and is one of the last remaining high maintenance and inefficient energy designed lift stations.

Saratoga Lift Station Force Main

Saratoga lift station force main is the original pipe build in 1985 era. The asset management of this force main has a high critically rating because of a river crossing.

River Ridge Lift Station

River Ridge lift station latest full upgrade was in 1985. This station current designed wet well is at capacity. Rebuild station of build on site storage to handle flows.

Chapter 6

2022 - 2027

WATER FUND

PROJECT DESCRIPTIONS



DRAFT

Introduction

The Water Fund is the third separate operational fund of Delta Township. Like the Sanitary Sewer Fund, revenue is derived from customer billings, new customer connection fees, and special assessments to property owners. **The Water Fund is used to maintain and improve water distribution mains and water storage facilities, as well as providing money for annual operating expenditures.** All projects recommended for funding from 2022 through 2027 will be paid from the Water Fund.

Specific priorities were not given to the various projects in that they are all considered necessary to maintain the required level of service and are implemented on an as needed basis.

DRAFT

**Water Fund Project Priorities
Estimated Capital Requirements**

Item	2022	2023	2024	2025	2026	2027	Future
GM Booster Electrical & Mechanical Upgrades	TBA						
Replace Old Water Mains	200,000	200,000	200,000	200,000	200,000	200,000	
Water Main Replacement – Saginaw Hwy. Crossings	150,000	150,000	150,000	150,000	150,000	150,000	
Design and Engineering of Saginaw Hwy water main replacement along Saginaw – East	225,000						
Decommissioning of Wells		1000,000					
Willow Ground Storage Tank Painting Exterior Walls		50,000					
Willow Hwy Water Main (Broadbent to Nixon)							550,000
St Joe Highway Water Main (Jerryson to the west)							415,000
Old Lansing Road to Creyts Water Main							800,000
Purchase 5 Yard Dump Truck							70,000
Section 1 River Crossing							450,000
Well No. 10 River Crossing							800,000
Nixon Road Water							560,000

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Main (Willow-Saginaw)							
Elevated Tower (West of I-96)							1,500,000
Nixon Road Water Main (St Joe to Mt Hope)							560,000
Mt Hope Water Main (Nixon to Guinea)							560,000
Connections at River & RR track within Lansing							TBA
Water Main Replacement along Saginaw Highway							1,950,000
Water Main Replacement along St. Joe Highway							1,750,000
I-96 and Mt. Hope Water Main Crossing							400,000
Distribution Grid Tie in connection							90,000
Cleaning and painting elevated water towers							105,000
Replace Hunter Lift							50,000

2022 Water Fund Project Descriptions:

GM Booster Station Electrical & Mechanical Upgrade

The pump drives are reaching the end of their life expectancy and need to be replaced. Mechanical pump hydraulics improvements are for pump efficiency.

Design and Engineering of Saginaw Hwy water main replacement along Saginaw Hwy- East

The water main along the Eastern Saginaw Hwy is failing due to age and needs to be replaced. This will be a complicated replacement project and most probably replaced in phases. Given the complexity and cost of the water main replacement requiring it to be installed in phases; the design and engineering will need to be performed for the entire length to assure continuity and the securing of easements.

Decommissioning of Wells

Once MDEQ grants approval of no longer requiring Delta Township to maintain our well field for back up water supply to our distribution system; we will decommission and cap our wells.

Willow Ground Storage Tank painting exterior walls

The Willow Ground storage tank exterior side walls are original coatings. As our preventive maintenance program to maintain our important infrastructure the exterior walls need to be painted.

Replace Old Water Mains

As our infrastructure gets older, we are finding the water mains in the east end of the Township are deteriorating because of acidic soil conditions. It is recommended that we start repairing/replacing our infrastructure.

Water Main Replacement - Saginaw Highway Crossings (On-Going)

The water main crossings primarily put into service in the mid 60's and 70's and are failing due to age and excessive vibrations and frost from the roadway. The replacement schedule is to replace two crossings a year.

2023 – 2027 Water Fund Project Descriptions:

Replace Old Water Mains

As our infrastructure gets older, we are finding the water mains in the east end of the Township are deteriorating because of acidic soil conditions. It is recommended that we start repairing/replacing our infrastructure.

Water Main Replacement - Saginaw Highway Crossings (On-Going)

The water main crossings primarily put into service in the mid 60's and 70's and are failing due to age and excessive vibrations and frost from the roadway. The replacement schedule is to replace two crossings a year.

Future Water Fund Project Descriptions:

Willow Highway Water Main (Broadbent to Nixon)

This project would extend a water main along Willow Highway from Broadbent Road west to Nixon Road.

St. Joe Highway Water Main (Jerryson to the west)

A new water main is needed on St. Joe Highway west of Jerryson Road to accommodate the development coming in this area of the Township.

Old Lansing Road to Creyts Road

This project involves the construction of water mains from Murel Drive southwest along Old Lansing Road to Lansing Road, then southwest along Lansing Road to Creyts Road.

Purchase 5 yard Dump Truck

Currently, we have a 2 cubic yard truck and then we go to 10/12 cubic yard trucks. We are looking to purchase a 5 cubic yard truck for better efficiency.

Section 1 River Crossing

This water main would run east from the entrance to Grand Woods Park on Willow Highway, crossing the Grand River, then turning north and connecting to the Delta River Drive water main immediately west of Waverly Road.

Well No. 10 River Crossing

This project would involve constructing a water main from Well No. 10 north crossing the river at a point on Delta River Drive approximately half way between Ingersoll Road and Josette Lane. It then will run east on Delta River Drive to the existing water main near White Oaks Drive.

Nixon Road Water Main (Willow to Saginaw)

This project would construct a water main along Nixon Road from Willow Highway south to Saginaw Highway.

Elevated Water Tower West of I-96

This project would provide additional storage for peak flows west of I-96. It would be a one-million-gallon water tank that would likely be located west of Nixon on St Joe Highway or Saginaw Highway.

Nixon Road Water Main (St. Joe to Mt. Hope)

This project would construct a water main along Nixon Road between St. Joe Highway and Mt. Hope Highway.

Mt. Hope Highway Water Main (Nixon to Guinea)

This project would construct a water main along Mt. Hope Highway from Nixon Road to Guinea Road.

Water Main Replacement along Saginaw Highway

The water main along the Eastern Saginaw Hwy is failing due to age and needs to be replaced. This is some of the oldest main and where the Utility Department is having significant water main breaks.

Water Main Replacement along St. Joe Highway

The water main along the Eastern St. Joe Hwy is failing due to age and needs to be replaced. This is where the Utility Department is having significant water main breaks. This line should be up sized to 12" line.

I-96 and Mt. Hope Water Main Crossing

The Mt. Hope Highway crossing represents a new crossing that would add another point of connection between the 16-inch main west of I-96/69 serving GM Lansing Delta Facility to water mains on the East side of I-69/96.

Replace Hunter Lift

The Hunter Lift has been in service since 1986. This equipment is utilized throughout the Utility Department year-round to provide maintenance and upkeep to facilities.

Distribution Grid Tie-In Connection

To fulfill our MDEQ requirement of water reliability and sustainability study we will need to be able to meet our peak water demand of 7.4 MGD. To meet this reliability and sustainability requirement we will need to make at least two Delta -Lansing Township system tie in connections located at Michigan/Waverly, and Saginaw/Waverly intersections.

Cleaning and painting elevated water towers

Cleaning and painting the interior and/or exterior surfaces of our elevated water tanks. This is to maintain distribution assets to provide high quality water and maintain reliability. The scheduling of this work is based on professional inspections performed.

Chapter 7

DELTA TOWNSHIP

CAPITAL PROJECTS FUND



DRAFT

Delta Township Capital Projects Fund

The Capital Projects Fund (formerly called the Township Improvement Revolving Fund or TIRF) is the "reserve account" for the general fund. The monies in this fund are the transfers from General Fund to the Capital Projects Fund over a period of years. Reserves have been established for vehicle and equipment replacements for activities in the General Fund. Amounts are annually transferred to the Capital Projects Fund for future vehicle and equipment replacements. When new vehicles or equipment are purchased within an activity (i.e., fire, engineering, or parks), money is then transferred from Capital Projects Fund back to the General Fund to cover those purchases.

According to the Township's 2021 Budget, the estimated December 31, 2021 balance of the Delta Capital Projects Fund will be \$3,492,089.

The distribution of money within the fund is estimated to be as follows:

Interest & Facility Reserves

Unallocated Interest	\$ 806,850
Building Improvements	\$ 567,500
Building Replacement	\$ 1,250,000

Equipment Reserves:

Assessing	\$ 43,200
Clerk (Equipment)	\$ 129,730
Accounting	\$ 23,900
Township H & G (Equip.)	\$ 16,000
Fire	\$ 339,986
Building	\$ 79,006
Planning	\$ 15,360
Engineering (Veh. & Equip.)	\$ 42,500
Parks & Recreation (Equip.)	\$ 178,057

Estimated Balance: \$3,492,089

APPENDIX
2022-2027 CIP
PROJECT REQUEST SHEETS

DRAFT

CIP PROJECT STATUS SHEET

DEPARTMENT: Engineering

DATE: June 11, 2021

1. Please list the status of the 2021 CIP projects that were submitted for funding last year.

PROJECT	FUNDING LEVEL & PROJECT STATUS
Buildings	
Replace Sheriff's Office Substation	\$8 - \$10 million, selection process for Design-Builder on-going, funding method TBD
Administration Air Handler and Electrical Distribution Equipment Upgrades	\$350,000, projects identified by building assessment, intend to request funds in 2022 budget
Pathway/Sidewalk Projects	
Mt. Hope Park to St. Joe/Broadbent Pathway	Unfunded, no progress
Delta Mills Park to Hawk Meadow Park Pathway	Unfunded, coordinating w/ ECRC bridge grant application for federal bridge funds
Pathway from Saginaw/Mall Drive to Elmwood/Michigan Ave via Ivan Street	Unfunded, survey complete, need design, possible coordination with Saginaw CIA
New Pathway: Broadbent Road – East Side, Willow Hwy to Saginaw Hwy	Unfunded, no progress, possible coordination with future phase of Delta Crossing/Carlson Rd extension
New Sidewalk Construction – Willow Hwy: Thomas L. to Arden	Unfunded, need to complete design
St. Joe Highway Pathway – Creyts to Waverly	Unfunded, easement acquisition process beginning in 2021
Community Center to Hunters Park Pathway	Unfunded, DNR grant funding withdrawn, awaiting possible land acquisition that could impact project
Road Projects	
Nixon Bike Lanes with road – 2023	Project will be coordinated with ECRC for construction in 2023, local match funding to be requested in 2023 budget

2. *Withdrawal:* List the projects which you submitted for last year's CIP, were not funded, and you are withdrawing for the upcoming CIP. Please state the reasons for withdrawing the project.

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3. Please list those projects which you are submitting to the CIP Committee for the first time for 2022-2027.

Replace Sheriff's Office Substation Administration Air Handler and Electrical Distribution Equipment Upgrades
--

PERSON COMPLETING STATUS SHEET: Ernie West

TITLE: Township Engineer

Capital Improvement Plan - Project Request Sheet

Department: Engineering

Project Title: Replace Sheriff Substation

Project # 1 of 10

Date: June 11, 2021



Section 1: Project Overview

- A. **Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

This project involves replacing the existing Eaton County Sheriff Substation with a new building.

- B. **Project Justification:**

Why is the project necessary?

Existing building in poor/deteriorating condition as per the 2020 building assessment. Identified by the Board as a high priority project.

Who will benefit from the project?

Sheriff office staff and residents/businesses that they serve on a daily basis.

What are the short and long term benefits of this project?

Provide a functional/modern space that supports the public safety mission of the sheriff's office substation.

Are there any alternatives to the proposed project?

Rehabilitation of the existing building was deemed unfeasible due to functionality issues with the existing building layout

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C. Planning Context: Is the project part of an adopted program, policy, or plan?

- Yes*
- No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

Township board concurred with staff recommendation that this project be the highest priority that came out of the 2020 building assessment.

D. If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

E. Project Priority:

- Necessary
- Desirable
- Deferrable

Section 2: Budget

A. Estimated Project Costs

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	2025	2026	2027
Vehicle Purchase						
Land Acquisition	Unknown					
Construction		\$8-10 million				
Equipment						
Professional Services	100,000					
Other (Specify)						
Total Estimated Cost:	Unknown	Unknown				

B. Estimated Project Revenues

Annual Project Income \$ _____

Gain from Sale of Replaced Item \$ _____

Other (Specify in box below) \$ _____

Total Estimated Revenue: \$ _____

Other Project Revenues:

C. Effect on Operating Costs

Annual Maintenance & Repair Costs	\$ <u>Unknown</u>
Annual Cost of New Staff	\$ <u>Unknown</u>
Cost of Future Equipment	\$ <u>Unknown</u>
Annual Cost of Materials and Supplies	\$ <u>Unknown</u>
Totals:	\$ <u>Unknown</u>

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	2025	2026	2027
General Fund	\$100,000					
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)		\$8-10 million TBD				
Totals:						

Capital Improvement Plan - Project Request Sheet

Department: Engineering

Project Title: Replace Sheriff Substation

Project # 2 of 10

Date: June 11, 2021



Section 1: Project Overview

- A. **Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

This project involves replacing the existing air handling and electrical distribution system at the Administration Building.

- B. **Project Justification:**

Why is the project necessary?

The 2020 building assessment identified these necessary mechanical and electrical system improvements for the building due to their age and condition.

Who will benefit from the project?

Everyone who works, conducts business or attends meetings in the Administration Building.

What are the short and long term benefits of this project?

Provide better space conditioning and improved electrical system reliability.

Are there any alternatives to the proposed project?

None

DRAFT

C. Effect on Operating Costs

Annual Maintenance & Repair Costs \$ _____
 Annual Cost of New Staff \$ _____
 Cost of Future Equipment \$ _____
 Annual Cost of Materials and Supplies \$ _____
 Totals: \$ _____

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	2025	2026	2027
General Fund	\$400,000					
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:						

Capital Improvement Plan - Project Request Sheet

Department: Engineering

Project Title: Mt. Hope Park to St. Joe/Broadbent Pathway

Project # 3 of 10

Date: June 11, 2021



Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

This project involves the addition of a 10-foot shared use path from Mt Hope Park South (Mt Hope Hwy to Broadbent Rd, north to St Joe Hwy on West side). The length is 1.50 miles.

- B. Project Justification:**

Why is the project necessary?

Implementation of the adopted Delta Non-Motorized Transportation Plan

Who will benefit from the project?

Township residents, visitors and the environment

What are the short and long term benefits of this project?

Pedestrian safety & better health

Are there any alternatives to the proposed project?

None

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C. Effect on Operating Costs

Annual Maintenance & Repair Costs	\$ <u>10,000</u>
Annual Cost of New Staff	\$ _____
Cost of Future Equipment	\$ _____
Annual Cost of Materials and Supplies	\$ _____
Totals:	\$ <u>10,000</u>

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	2025	2026	2027
General Fund		\$1,200,000				
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:		\$1,200,000				

Capital Improvement Plan - Project Request Sheet

Department: Engineering

Project Title: Delta Mills to Hawk Meadow Park Pathway

Project # 4 of 10

Date: June 11, 2021



Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

This project involves the addition of a 10-foot shared use path along Webster, Clinton Street, Delta River Drive between Delta Mills Park and Hawk Meadow Park. Total length is .75 miles.

Eaton County Road Commission is applying for local bridge funding. If successful, this project would be coordinated with the bridge replacement to widen the bridge deck. The bridge construction timeline and funding drives the rest of the project.

- B. Project Justification:**

Why is the project necessary?

Implementation of the adopted Delta Non-Motorized Transportation Plan

Who will benefit from the project?

Township residents, park users, visitors and the environment

What are the short and long term benefits of this project?

Recreation, pedestrian safety & better health

Are there any alternatives to the proposed project?

None

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C. Planning Context: Is the project part of an adopted program, policy, or plan?

- Yes*
 No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

Priority project in Non-Motorized Transportation Plan

D. If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

E. Project Priority:

- Necessary
 Desirable
 Deferrable

Section 2: Budget

A. Estimated Project Costs

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	2025	2026	2027
Vehicle Purchase						
Land Acquisition						
Construction			2,000,000			
Equipment						
Professional Services		200,000				
Other (Specify)						
Total Estimated Cost:		200,000	2,000,000			

B. Estimated Project Revenues

Annual Project Income \$ _____

Gain from Sale of Replaced Item \$ _____

Other (Specify in box below) \$ _____

Total Estimated Revenue: \$ _____

Other Project Revenues:

C. Effect on Operating Costs

Annual Maintenance & Repair Costs	\$ <u>10,000</u>
Annual Cost of New Staff	\$ _____
Cost of Future Equipment	\$ _____
Annual Cost of Materials and Supplies	\$ _____
Totals:	\$ <u>10,000</u>

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	2025	2026	2027
General Fund		200,000	2,000,000			
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:		200,000	2,000,000			

Capital Improvement Plan - Project Request Sheet

Department: Engineering
Project Title: Pathway from Saginaw/Mall Drive to Elmwood/Michigan Ave via Ivan Street
Project # 5 of 10
Date: June 11, 2021



Section 1: Project Overview

A. Project Narrative: Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

This project involves the addition of a 10-foot shared use path from Elmwood Road (Michigan Ave to Ivan Drive). The length is approximately 1.1 miles.

B. Project Justification:

Why is the project necessary?

Township adopted Delta Trails (non-motorized plan)

Who will benefit from the project?

Township residents, visitors and the environment

What are the short and long term benefits of this project?

Pedestrian safety & better health

Are there any alternatives to the proposed project?

None

C. Effect on Operating Costs

Annual Maintenance & Repair Costs	\$ <u>10,000</u>
Annual Cost of New Staff	\$ _____
Cost of Future Equipment	\$ _____
Annual Cost of Materials and Supplies	\$ _____
Totals:	\$ <u>10,000</u>

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	2025	2026	2027
General Fund			1,200,000			
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:			1,200,000			

Capital Improvement Plan - Project Request Sheet



Department: Engineering
Project Title: Shared Use Pathway Broadbent Road – East Side, Willow Hwy to Saginaw Hwy
Project # 6 of 10
Date: June 11, 2021

Section 1: Project Overview

A. Project Narrative: Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

Project would construct a 10 foot wide shared use pathway on the east side of Broadbent to provide a non-motorized route between Willow Highway and Saginaw Highway. Future extension to Mt Hope Highway and Mt. Hope Park. Coordination with future phases of Delta Crossing and associated Carlson Rd extension.

B. Project Justification:

Why is the project necessary?

There are only some limited sections of sidewalk in this area and significant number of single family residences on the north end, near Willow Highway with no continuous non-motorized route to Saginaw Highway. Delta Crossing construction and pedestrian route and destinations on that site will create increased demand for this route.

Who will benefit from the project?

Residents in the area

What are the short and long term benefits of this project?

Improve walkability, citizens overall health & safety, and potentially reduce vehicle trips.

Are there any alternatives to the proposed project?

None

C. Effect on Operating Costs

Annual Maintenance & Repair Costs	\$ <u>5,000</u>
Annual Cost of New Staff	\$ _____
Cost of Future Equipment	\$ _____
Annual Cost of Materials and Supplies	\$ _____
Totals:	\$ <u>5,000</u>

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	2025	2026	2027
General Fund	750,000					
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:						

Capital Improvement Plan - Project Request Sheet

Department: Engineering

Project Title: New Sidewalk on Willow from Thomas L. Parkway to Arden

Project # 7 of 10

Date: June 11, 2021



Section 1: Project Overview

- A. **Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

This project involves replacing old 4 foot wide sidewalk on the south side of Willow Highway from Thomas L. Parkway to Arden with new 5 foot wide concrete sidewalk.

- B. **Project Justification:**

Why is the project necessary?

Township standards for sidewalk width are now 5 foot. The existing sidewalk is only 4 foot and is in fair condition. Some ramps were replaced to ADA standards with the road resurfacing project in 2017, but main line sidewalk issues were not included in the project.

Who will benefit from the project?

Township residents

What are the short and long term benefits of this project?

Increased walkability, pedestrian safety

Are there any alternatives to the proposed project?

Do nothing

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C. Effect on Operating Costs

Annual Maintenance & Repair Costs	\$ _____
Annual Cost of New Staff	\$ _____
Cost of Future Equipment	\$ _____
Annual Cost of Materials and Supplies	\$ _____
Totals:	\$ _____

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	2025	2026	2027
General Fund	150,000					
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:	150,000					

Capital Improvement Plan - Project Request Sheet

Department: Engineering

Project Title: St. Joe Highway Non-Motorized Facility

Project # 8 of 10

Date: June 11, 2021



Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

This project involves constructing a non-motorized pathway along St. Joe Highway between Creyts Road and Waverly Road.

A study was completed in 2019 in conjunction with studying the water main replacement in this same area.

If water main is replaced, the pathway could easily be built on top of the water main as part of the water main restoration work.

Both water main and pathway will require many easements. Easement acquisition process is beginning in 2021.

- B. Project Justification:**

Why is the project necessary?

Implementation of non-motorized plan, connection of Waverly pathway to the pathway on Snow Road near the Waverly Schools.

Who will benefit from the project?

Township residents, school students, visitors and the environment

What are the short and long term benefits of this project?

Increased walkability, pedestrian safety, reduced vehicle trip

Are there any alternatives to the proposed project?

Do nothing, keep existing sidewalks where they currently exist.

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C. Effect on Operating Costs

Annual Maintenance & Repair Costs	\$ <u>5,000</u>
Annual Cost of New Staff	\$ _____
Cost of Future Equipment	\$ _____
Annual Cost of Materials and Supplies	\$ _____
Totals:	\$ <u>5,000</u>

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	2025	2026	2027
General Fund	500,000	1,200,000				
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:	500,000	1,200,000				

Capital Improvement Plan - Project Request Sheet

Department: Engineering
Project Title: Community Center to Hunters Park Pathway
Project # 9 of 10
Date: June 11, 2021



Section 1: Project Overview

A. Project Narrative: Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

This project involves the addition of a 10-foot shared use path from the Community Center on Willow to Hunters Park. The length is .40 miles. Previously the project was submitted for DNR funding. Funding request withdrawn due to DNR requirements for land encumbrances. Project could be impacted by pending property acquisition north of Community Center site.

B. Project Justification:

Why is the project necessary?

Implementation of the adopted Delta Non-Motorized Transportation Plan

Who will benefit from the project?

Township residents, visitors and the environment

What are the short and long term benefits of this project?

Pedestrian safety & better health

Are there any alternatives to the proposed project?

None

C. Effect on Operating Costs

Annual Maintenance & Repair Costs	\$ <u>5,000</u>
Annual Cost of New Staff	\$ _____
Cost of Future Equipment	\$ _____
Annual Cost of Materials and Supplies	\$ _____
Totals:	\$ <u>5,000</u>

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	2025	2026	2027
General Fund	50,000	500,000				
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:						

Capital Improvement Plan - Project Request Sheet

Department: Engineering

Project Title: Nixon Road Bike Lanes and Resurfacing

Project # 10 of 10

Date: June 11, 2021



Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

This project involves the widening and resurfacing of Nixon from St. Joe Highway to Mt. Hope Highway.

- B. Project Justification:**

Why is the project necessary?

Existing pavement condition in poor/deteriorating condition, addition of bike lanes in response to non-motorized plan, more traffic expected in area upon opening of Mt. Hope Park

Who will benefit from the project?

Township residents, visitors, park users, bicyclists and the environment

What are the short and long term benefits of this project?

Less wear/tear on vehicles, pedestrian safety & better health

Are there any alternatives to the proposed project?

Resurface road without adding bike lanes

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C. Effect on Operating Costs

Annual Maintenance & Repair Costs	\$ _____
Annual Cost of New Staff	\$ _____
Cost of Future Equipment	\$ _____
Annual Cost of Materials and Supplies	\$ _____
Totals:	\$ _____

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	2025	2026	2027
General Fund		266,843				
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid		603,373				
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:		870,216				

CIP PROJECT STATUS SHEET

DEPARTMENT: FIRE

DATE: 2021-06-10

1. Please list the status of the 2021 CIP projects that were submitted for funding last year.

PROJECT	FUNDING LEVEL & PROJECT STATUS
E433(431)	Final Inspection complete. Expected delivery 8/2021
Replacement of Aerial Platform Fire Apparatus	10% matching funds approved. Resubmitting
Fire Station 1 Roof Repair/replace	Approved - scheduled
Replacement of Pumper/Tanker 415	Deferred to 2021/22 CIP Process
Self-Contained Breathing Apparatus-SCBA	Still in FEMA AFG Process – if not grant approved, will be department expense.

2. *Withdrawal:* List the projects which you submitted for last year's CIP, were not funded, and you are withdrawing for the upcoming CIP. Please state the reasons for withdrawing the project.

--

3. Please list those projects which you are submitting to the CIP Committee for the first time for 2022-2027.

- | |
|---|
| <ol style="list-style-type: none"> 1. PhysioControl LifePak 15 v4 Monitors/Defibrillators (9) 2. PhysioControl LUCAS Auto External Chest Compression Units (CPR) (5) 3. Replace 2009 Road Rescue Ambulance (1) |
|---|

PERSON COMPLETING STATUS SHEET: GREGORY S. GINEBAUGH

TITLE: FIRE CHIEF

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Capital Improvement Plan - Project Request Sheet

Department: FIRE

Project Title: Replacement of Aerial Platform Fire Apparatus

Project # 1 of 6

Date: 2021-06-10

Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

Purchase of equipment. Replacement of the 2001 Spartan/Smeal Aerial Platform.

Proposed purchase of a Sutphen 100' aerial platform (SPH100) fire apparatus, and trading in or selling our current aerial platform device.

- 2001 Spartan/Smeal 100' Platform

Timeline: once approved and ordered, anticipated construction time is 13 to 15 months.

B. Project Justification:

Why is the project necessary?

The Delta Township Fire Department has been utilizing our vehicle known as Truck 416, as a front-line fire apparatus for approximately 6 years. The constant daily use of this vehicle has increased the cost of maintenance, increase hour usage and miles. In addition, the vehicle has reached the NFPA 1901 and 1911 lifespan.

NFPA 1901 Standard for Automotive Fire Apparatus, Guidelines for First-line and Reserve Fire Apparatus, states, "...Apparatus more than 15 years old might include only a few of the safety upgrades required by the recent editions of the NFPA fire department apparatus standards or the equivalent Underwriters Laboratories of Canada (ULC) standards. Because the changes, upgrades, and fine tuning to NFPA 1901 have been truly significant, especially in the area of safety, fire departments should seriously consider the value (or risk) to fire fighters of keeping fire apparatus more than 15 years old in first-line service. It is recommended that apparatus more than 15 years old that have been properly maintained and that are still in serviceable condition be placed in reserve status; be upgraded in accordance with NFPA 1912; and incorporate as many features as possible of the current fire apparatus standard."

In addition, the aerial apparatus that is in the Delta Township Fire Department's fleet (2008 Spartan/Smeal 75' ladder), will not reach the upper floors or roofs of some of our taller buildings, such as the Crowne Plaza, some of the GM buildings and the Meijer cold storage building.

Current mileage of the 2001 Spartan/Smeal is 47,777 and the usage hours are 5334..

Maintenance cost for this vehicle, from 2020 to May of 2021, totals \$110,776.63. This does not include costs that occurred in June of 2021.

Proposal: CIP approval to replace the 2001 Spartan/Smeal 100' Aerial platform with a new Sutphen 100' aerial midship mount platform (SPH100) and sell/trade-in the existing aerial platform device (416).

Who will benefit from the project?

The residents and business will benefit from this vehicle replacement proposal by having a reliable, dependable and a more cost-effective vehicle that will have a much longer life span as well as a 30 year warranty on the ladder portion of the aerial apparatus.

What are the short and long term benefits of this project?

Short and long term benefits would include reduction in maintenance costs for the the older vehicle; reduce the number of days that the current vehicle is out of service for repairs upgrades to employee safety; increased reliability of an emergency response vehicle; license the vehicle as a paramedic response vehicle; increased warranty packages; vehicle replacement would not be needed for another 15 to 20 years. NOTE: financing packages are available that would allow for a scheduled replacement of the vehicle.

Are there any alternatives to the proposed project?

No. The 2001 Spartan/Smeal has reached its maximum lifespan and needs to be replaced.

C. Planning Context: Is the project part of an adopted program, policy, or plan?

- Yes*
- No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

Delta Fire Department vehicle replacement schedule.

D. If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

This type of vehicle responds to specific response plans for multiple story buildings. In addition, Delta Township is part of the MIMABAS (Michigan Mutual Aid Box Alarm System) that is a state-wide response network. This vehicle may be requested to respond as part of a structured regional resource request.

E. Project Priority:

- Necessary
- Desirable
- Deferrable

Section 2: Budget

A. Estimated Project Costs

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]
Vehicle Purchase	\$ 1,570,223.16	Lease to own?	Lease to own?	Lease to own?	Lease to own?	
Land Acquisition						
Construction						
Equipment						
Professional Services						
Other (Specify)						
Total Estimated Cost:						

B. Estimated Project Revenues

Annual Project Income \$ _____

Gain from Sale of Replaced Item	\$ _____
Other (Specify in box below)	\$ _____
Total Estimated Revenue:	\$ _____

Other Project Revenues:

C. Effect on Operating Costs

Annual Maintenance & Repair Costs	\$ _____
Annual Cost of New Staff	\$ _____
Cost of Future Equipment	\$ _____
Annual Cost of Materials and Supplies	\$ _____
Totals:	\$ _____

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]
General Fund	\$ 1,570,223.16	Lease to own?	Lease to own?	Lease to own?		
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:						



Capital Improvement Plan - Project Request Sheet

Department: FIRE

Project Title: SELF CONTAINED BREATHING APPARATUS-SCBA

Project # 2 of 6

Date: 2021-06-10

Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

This proposed project is to replace our cache of Self-Contained Breathing Apparatus (SCBA), which will reach its end of life (obsolete) use in late 2021. This is a crucial part of our Personal Protective Equipment (PPE) that is worn on all structure fires, hazardous materials incidents, confined space and trench rescues. All of the SCBA bottles have had their last hydrostatic test and once the expiration occurs, the bottles can no longer be filled with air.

This project will also be submitted for FEMA's Assistance to Firefighters Grant process in the fall of 2020, to be able to do this purchase using grant funding. Grant awards will be announced in June of 2021

- B. Project Justification:**

Why is the project necessary?

Required part of our PPE and once the expiration date has passed, they can no longer be used.

Who will benefit from the project?

The community, businesses, neighboring jurisdictions, all mutual aid partners including the Michigan MABAS system, as well as department employees will benefit from this project.

What are the short and long term benefits of this project?

All benefits will be considered long term. The life cycle of the replacement SCBA will span 15 years.

Are there any alternatives to the proposed project?

No. The equipment must be replaced. However, if grant funding is obtained, we will only experience a 10% cost share. (\$40,000 vs \$400,000)

C. Planning Context: Is the project part of an adopted program, policy, or plan?

- Yes*
- No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

NFPA 1852 Standard on Selection, Care, and Maintenance of Open-Circuit Self-Contained Breathing Apparatus (SCBA)

D. If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

SCBA request is part of Department response policies, including structural firefighting; hazardous materials incidents; OSHA and & MIOSHA requirements.

E. Project Priority:

- Necessary
- Desirable
- Deferrable

Section 2: Budget

A. Estimated Project Costs

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]
Vehicle Purchase						
Land Acquisition						
Construction						
Equipment	\$450,000					
Professional Services						
Other (Specify)						
Total Estimated Cost:						

B. Estimated Project Revenues

Annual Project Income \$ _____
 Gain from Sale of Replaced Item \$ _____
 Other (Specify in box below) \$ _____
 Total Estimated Revenue: \$ _____

Other Project Revenues:

C. Effect on Operating Costs

Annual Maintenance & Repair Costs \$ 2,000 every 5 yrs
 Annual Cost of New Staff \$ _____
 Cost of Future Equipment \$ _____
 Annual Cost of Materials and Supplies \$ _____
 Totals: \$ _____

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]
General Fund	\$450,000					
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:						



Capital Improvement Plan - Project Request Sheet

Department: FIRE

Project Title: Replacement of Pumper/Tanker 415

Project # 3 of 6

Date: 2021.06.10

Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

Initial 2019 CIP proposal to replace the 1997 Spartan/4 Guys 3,000 pumper/tanker with a replacement pumper tanker – vehicle scheduled to be replaced in 2020 and vehicle is 24 years old. This request was deferred to higher priority purchases, but now is a high priority.

This vehicle does not have current required emergency vehicle safety equipment. Although the vehicle's mileage is low, this is due to it's limited use as a tanker/tender but is necessary due to only 35% of our response area has fire hydrants.

B. Project Justification:

Why is the project necessary?

Vehicle will be 25 to 26 years old when a replacement is received. This vehicle is past the NFPA1901 recommended life.

Who will benefit from the project?

The residents of Delta Township and all surrounding communities that we provide mutual aid and automatic to.

What are the short and long term benefits of this project?

Short benefits of this project: remove a dated vehicle from front line response. Long term benefits will be a vehicle that will last another 15 – 25 years.

Are there any alternatives to the proposed project?

Replace vehicle with a pumper/tanker with a 1,000 to 1,500-gal tank to double as an engine and tanker. This would provide a backup or reserve fire engine that could be place into front line status when a front-line vehicle is out of service.

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C. Effect on Operating Costs

Annual Maintenance & Repair Costs \$ _____
 Annual Cost of New Staff \$ _____
 Cost of Future Equipment \$ _____
 Annual Cost of Materials and Supplies \$ _____
 Totals: \$ _____

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]
General Fund	\$600,000					
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:						



Capital Improvement Plan - Project Request Sheet

Department: FIRE

Project Title: PhysioControl LifePak 15 v4
Monitors/Defibrillators (9)

Project # 4 of 6

Date: 2021-06-10

Section 1: Project Overview

A. Project Narrative: Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

EMS Equipment Purchase Request. Our current Automated External Defibrillators/Monitors consist of 8 (eight) LifePak 15 V1 & V2 units that have a life expectancy of 8 (eight) years and were manufactured in 2012 and 2015. These units have reached their end of life and cannot be upgraded. In fact, if any of these older units fail, we must purchase the new generation units, LifePak 15 v4. Additionally, we will need to purchase a new LifePak 15 v4 for the new Engine 433 that we expect to take delivery of in the very near future. We are submitting for approval, the purchase of 9 (nine) PhysioControl LifePak 15 v4 units.

Timeline: when approved in the budget, units can be received within 90 days.
Anticipated life expectancy of the new units is eight years.

B. Project Justification:

Why is the project necessary?

The equipment requested is a requirement to provide advance life support services to the patients we care for. These units provide:

- SpO2 monitoring: COVID-19 patients requiring emergency treatment are typically hypoxic. Many are hypoxic without other associated symptoms and therefore monitoring SpO2 is critical to determine a baseline and if oxygen therapy, and other treatments are effective in treating hypoxia.
- End tidal Co2 monitoring provides feedback on the ventilation of the patient allowing our paramedics to provide the proper treatment.
- ECG monitoring: There is some early indication that COVID-19 patients may be at increased risk for ventricular arrhythmias due to the viral impact on myocardial function. Drugs used to treat COVID-19 can prolong the QT interval (Contraction of the hearts ventriculi), placing them at increased for R on T induced Ventricular Fibrillation (VF) caused by a lack of blood flow to the heart.
- Blood pressure monitoring is necessary to monitor the patient for Shock occurring from COVID-19
- Temperature monitoring

Who will benefit from the project?

All patients that we care for, as well as staff that uses this equipment.

What are the short and long term benefits of this project?

Short term goal is to replace aging/obsolete equipment. Long term goal is to not to replace units for another 8 years.

Are there any alternatives to the proposed project?

No. Funding has been requested through the American Response Plan (ARP) as well.

C. Planning Context: Is the project part of an adopted program, policy, or plan?

- Yes*
- No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

These units are a requirement of State of Michigan MDHHS protocols for advance life support units.

D. If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

E. Project Priority:

- Necessary
- Desirable
- Deferrable

Section 2: Budget

A. Estimated Project Costs

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]
Vehicle Purchase						
Land Acquisition						
Construction						

Equipment	\$313,095.17					
Professional Services						
Other (Specify)						
Total Estimated Cost:						

B. Estimated Project Revenues

Annual Project Income \$ _____
Gain from Sale of Replaced Item \$ _____
Other (Specify in box below) \$ _____
Total Estimated Revenue: \$ _____

Other Project Revenues: Minimal trade-in value.

C. Effect on Operating Costs

Annual Maintenance & Repair Costs \$ _____ Added into purchase (service agreement)
Annual Cost of New Staff \$ _____
Cost of Future Equipment \$ _____
Annual Cost of Materials and Supplies \$ _____
Totals: \$ _____

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]
General Fund	\$313,095.17					
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:						



Capital Improvement Plan - Project Request Sheet

Department: FIRE

Project Title: PhysioControl LUCAS Auto External Chest Compression Devices (CPR)

Project # 5 of 6

Date: 2021.06.10

Section 1: Project Overview

A. Project Narrative: Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

The Delta Township Fire Department carries LUCUS V2 auto-external chest compression devices used for Cardiopulmonary Resuscitation (CPR). This has been a critical piece of equipment to maintain effective CPR, [reduce the number of staff necessary for manual CPR](#) during cardiac arrest incidents and during long transport times to area hospitals. In fact, these units can remain on the patient during invasive emergency care and while in a cardiac cath lab setting. However, two of the LUCAS units will reach end of life in 18 months; our second-out ambulances are not equipped with them, and our new Engine 433 will need one.

Some key features of the LUCAS 3, v3.1 include:

- Ability to maintain distance from suspected and confirmed COVID-19 patients during CPR
- Reduced number of caregivers needed to administer chest compressions during a code compared to a rotation of caregivers providing manual CPR
- Improved caregiver safety when providing CPR during transport

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B. Project Justification:

Why is the project necessary?

LUCAS devices provide continuous, non-interrupted CPR on patients in cardiac arrest, and have been proven to increase patient survival rate.

Who will benefit from the project?

ALL patients who experience cardiac arrest, and the number of staff needed to provide CPR for lengthy travel time to area hospitals.

What are the short and long term benefits of this project?

Short term – replace end of life units.
Long term – will not have to be replaced for 8 years.

Are there any alternatives to the proposed project?

No.

C. **Planning Context:** Is the project part of an adopted program, policy, or plan?

- Yes*
- No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

Department, state and MDHHS CPR policies and protocols.

D. If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

Specific to DTFD cardiac arrest response policy

E. **Project Priority:**

- Necessary
- Desirable
- Deferrable

Section 2: Budget

A. **Estimated Project Costs**

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]
Vehicle Purchase						
Land Acquisition						
Construction						
Equipment	\$92,693.60					

Professional Services						
Other (Specify)						
Total Estimated Cost:						

B. Estimated Project Revenues

Annual Project Income \$ _____
Gain from Sale of Replaced Item \$ _____
Other (Specify in box below) \$ _____
Total Estimated Revenue: \$ _____

Other Project Revenues: _____

C. Effect on Operating Costs

Annual Maintenance & Repair Costs \$ Included in price
Annual Cost of New Staff \$ _____
Cost of Future Equipment \$ _____
Annual Cost of Materials and Supplies \$ _____
Totals: \$ _____

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]
General Fund	\$92,693.60					
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:						



Capital Improvement Plan - Project Request Sheet

Department: FIRE

Project Title: Ambulance Replacement 2009 Road Rescue

Project # 6 of 6

Date: 2021.06.10

Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

Request CIP approval/funding to replace a 2009 Road Rescue ambulance. This vehicle has high mileage and lacks current stringent HEPA ventilation systems and well as built-in UV decontamination equipment. It also does not have the power load and power cot systems for patient lifting.

The department has 6 ambulances in its fleet: 4 front line and 2 reserve units. With the addition of the power load/power cot patient lifting system, there is a direct impact on employee injury reduction.

This meets the vehicle replacement schedule.

B. Project Justification:

Why is the project necessary?

The 2009 unit is 12 years old, has high mileage, and lacks power load/power cot system.

Who will benefit from the project?

All patients that we care for, and all paramedic staff using the equipment.

What are the short and long term benefits of this project?

Long term goal – unit becomes a front line response unit with up-to-date equipment and decontamination standards.

Are there any alternatives to the proposed project?

No

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C. Effect on Operating Costs

Annual Maintenance & Repair Costs	\$ _____
Annual Cost of New Staff	\$ _____
Cost of Future Equipment	\$ _____
Annual Cost of Materials and Supplies	\$ _____
Totals:	\$ _____

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]	[YEAR]
General Fund	\$300,000					
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:						

CIP PROJECT STATUS SHEET

DEPARTMENT: Parks, Recreation & Cemeteries

DATE: June 5, 2021

1. Please list the status of those 2021 - 2026 CIP projects that were submitted for funding in 2020.

PROJECT	FUNDING LEVEL & PROJECT STATUS
Community Center Parking Lot Paving & Expansion	\$150,000 – Building study in 2019
Community Center Rehabilitation	\$500,000 – Building study in 2019
Delta Mills Parking Lot Pavement	\$100,000 – Deferred to 2024
Delta Mill Playground Restroom Building	\$135,000 – \$50,000 grant funded, planned for 2021
Enrichment Center Rehabilitation	\$500,000 – Building study in 2019
Grand Woods Parking Lot Paving	\$200,000 – Deferred to 2023
Hawk Meadow Park Pathway Paving	\$400,000 – \$300,000 grant funded in 2023
Hunters Orchard Park Pathway Paving	\$400,000 – \$225,000 grant funded in 2023
Mount Hope Park Fields Development	\$650,000 – \$300,000 grant funded in 2022
Mount Hope Park Perimeter Pathway	\$600,000 – \$300,000 grant funded in 2022
Sharp Park Renovations – East-West Pathway	\$850,000 – \$300,000 grant funded in 2020
North Canal Road Land Acquisition	\$100,000 - \$75,000 grant funded in 2020
Vehicle & Equipment Reserve Allocation	\$1,200,000 – Annual allotment received

2. *Withdrawal:* List the projects which you submitted for last year's CIP, were not funded, and you are withdrawing for the upcoming CIP. Please state the reasons for withdrawing the project.

N/A

3. Please list those projects which you are submitting to the CIP Committee for the first time for 2021-2026.

--

PERSON COMPLETING STATUS SHEET: Marcus Kirkpatrick

TITLE: Parks, Recreation & Cemeteries
Director

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Capital Improvement Plan - Project Request Sheet

Department: PARKS & RECREATION

Project Title: COMMUNITY CENTER REHABILITATION

Project # 1 of 12

Date: JUNE 5, 2021

Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

The Community Center has experienced some deterioration over the years. Maintenance staff has been dedicated to the facility to provide daily maintenance and project upgrades. Although staff improvements and building improvements have increased the attractiveness of the building, major maintenance is needed. Rehabilitation of the building is expected as a result of the 2019 buildings study.

- B. Project Justification:**

Why is the project necessary?

The Community Center is a very popular location for township programs. It serves as the main rental facility for residents and houses township programs and events. Rental events include weddings, receptions, family reunions, and open houses. As the need for exercise and enrichment programs continue to grow, the center will need to be expanded to accommodate.

Who will benefit from the project?

This project would provide the Township with expanded indoor recreation facilities to meet the current demand for recreation programs and affordable meeting space.

What are the short and long term benefits of this project?

Residents, program participants, and rental groups will benefit from the project. The benefits include improved use of valuable resources and amenities for programs and activities, while also providing safer access for all.

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Are there any alternatives to the proposed project?

Staff would have to continue closely monitoring and provide short-term solutions for building and maintenance challenges. Programming, rentals, and event planning would continue as normal, while trying to provide a quality indoor facility.

C. Planning Context: Is the project part of an adopted program, policy, or plan?

- Yes*
 No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

2019 Township Buildings Study

D. If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

Township residents and participants

E. Project Priority:

- Necessary
 Desirable
 Deferrable

Section 2: Budget

A. Estimated Project Costs

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	(YEAR)	(YEAR)	(YEAR)	(YEAR)
Vehicle Purchase						
Land Acquisition						
Construction		\$1,572,844				
Equipment						
Professional Services						
Other (Specify)						
Total Estimated Cost:		\$1,572,844				

B. Estimated Project Revenues

Annual Project Income	\$ <u>\$100,000</u>
Gain from Sale of Replaced Item	\$ _____
Other (Specify in box below)	\$ _____
Total Estimated Revenue:	\$ <u>\$100,000</u>

Other Project Revenues:

C. Effect on Operating Costs

Annual Maintenance & Repair Costs	\$ <u>\$10,000</u>
Annual Cost of New Staff	\$ _____
Cost of Future Equipment	\$ _____
Annual Cost of Materials and Supplies	\$ _____
Totals:	\$ <u>\$10,000</u>

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	(YEAR)	(YEAR)	(YEAR)	(YEAR)
General Fund		\$1,572,844				
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:		\$1,572,844				



Capital Improvement Plan - Project Request Sheet

Department: PARKS & RECREATION

Project Title: DELTA MILLS PARK PARKING LOT PAVING

Project # 2 of 12

Date: JUNE 5, 2021

Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

The project includes the paving of the gravel lot and parking spaces in Delta Mills Park.

- B. Project Justification:**

Why is the project necessary?

With the increased popularity of the park, the parking lot needs to be paved. Separate projects, restroom building & canoe launch/renovations, have produced the park's triangle area getting paved and 3 handicapped accessible parking spots being added in the main parking lot. The park's growth has continued as the parks connector pathway was installed.

Who will benefit from the project?

Residents and park users will benefit with new and improved accessible parking.

What are the short and long term benefits of this project?

The benefits include improved use of valuable resources and amenities, while also providing safer access for all. Maintenance cost will also be reduced as the gravel lots are expensive to maintain.

Are there any alternatives to the proposed project?

Continued maintenance cost and limited access for park users.

C. Planning Context: Is the project part of an adopted program, policy, or plan?

- Yes*
- No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

Parks Master Plan

D. If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

Residents and park users

E. Project Priority:

- Necessary
- Desirable
- Deferrable

Section 2: Budget

A. Estimated Project Costs

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	(YEAR)	(YEAR)	(YEAR)
Vehicle Purchase						
Land Acquisition						
Construction			\$95,000			
Equipment						
Professional Services			\$5,000			
Other (Specify)						
Total Estimated Cost:			\$100,000			

B. Estimated Project Revenues

Annual Project Income \$ _____

Gain from Sale of Replaced Item \$ _____

Other (Specify in box below) \$ _____

Total Estimated Revenue: \$ _____

Other Project Revenues: _____

C. Effect on Operating Costs

Annual Maintenance & Repair Costs \$ \$2,500
 Annual Cost of New Staff \$ _____
 Cost of Future Equipment \$ _____
 Annual Cost of Materials and Supplies \$ _____
 Totals: \$ \$2,500

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	(YEAR)	(YEAR)	(YEAR)
General Fund			\$50,000			
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid			\$50,000			
T.I.R.F.						
Other (Specify)						
Totals:			\$100,000			



Capital Improvement Plan - Project Request Sheet

Department: PARKS & RECREATION

Project Title: Delta Mills Playground Restroom Building

Project # 3 of 12

Date: JUNE 5, 2021

Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

Delta Mills is a very popular park offering access to the Grand River, softball fields, a soccer field, a large playground structure, a picnic shelter, pickleball courts, basketball courts, and nature viewing on the Grand River and Carrier Creek. One of its restroom buildings was recently been replaced with a new building that serves the west side of the park.

- B. Project Justification:**

Why is the project necessary?

With recent park renovations to triangle area and installation of the pathway, an additional restroom building is needed. The park is home to the township's biggest and most popular playground and sledding hill. This is the only area of the park that has year-round use. This project would renovate a 43-year-old well house into a restroom building and provide year-round access for playground users and winter activities.

Who will benefit from the project?

Residents and park users.

What are the short and long term benefits of this project?

The benefits will include year-round safe accessible restrooms.

DRAFT

Are there any alternatives to the proposed project?

Without improvements, porta-johns will continue to be used.

C. Planning Context: Is the project part of an adopted program, policy, or plan?

- Yes*
- No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

Parks Master Plan

D. If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

Residents and park users.

E. Project Priority:

- Necessary
- Desirable
- Deferrable

Section 2: Budget

A. Estimated Project Costs

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2021	(YEAR)	(YEAR)	(YEAR)	(YEAR)	(YEAR)
Vehicle Purchase						
Land Acquisition						
Construction	\$125,000					
Equipment						
Professional Services	\$10,000					
Other (Specify)						
Total Estimated Cost:	\$100,000					

B. Estimated Project Revenues

Annual Project Income \$ _____
 Gain from Sale of Replaced Item \$ _____
 Other (Specify in box below) \$ _____
 Total Estimated Revenue: \$ _____

Other Project Revenues: _____

C. Effect on Operating Costs

Annual Maintenance & Repair Costs \$ \$2,500
 Annual Cost of New Staff \$ _____
 Cost of Future Equipment \$ _____
 Annual Cost of Materials and Supplies \$ _____
 Totals: \$ \$2,500

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2021	(YEAR)	(YEAR)	(YEAR)	(YEAR)	(YEAR)
General Fund	\$85,000					
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid	\$50,000					
T.I.R.F.						
Other (Specify)						
Totals:	\$135,000					



DRAFT





Capital Improvement Plan - Project Request Sheet

Department: PARKS & RECREATION

Project Title: Grand Woods Park Parking Lot Paving

Project # 5 of 12

Date: JUNE 5, 2021

Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

The project includes the paving of the gravel lot and parking spaces in Grand Woods Park.

- B. Project Justification:**

Why is the project necessary?

Now that the township owns the park and with its increased popularity, the paving of the parking lot will improve parking and enhance events.

Who will benefit from the project?

Residents and park users will benefit with new and improved accessible parking.

What are the short and long term benefits of this project?

The benefits include improved use of valuable resources and amenities, while also providing safer access for all. Maintenance cost will also be reduced as the gravel lots are expensive to maintain.

Are there any alternatives to the proposed project?

Continued maintenance cost and limited access for park users.

C. Planning Context: Is the project part of an adopted program, policy, or plan?

- Yes*
- No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

Parks Master Plan

D. If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

Residents and park users.

E. Project Priority:

- Necessary
- Desirable
- Deferrable

Section 2: Budget

A. Estimated Project Costs

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	(YEAR)	(YEAR)	(YEAR)
Vehicle Purchase						
Land Acquisition						
Construction			\$195,000			
Equipment						
Professional Services			\$5,000			
Other (Specify)						
Total Estimated Cost:			\$200,000			

B. Estimated Project Revenues

Annual Project Income \$ _____

Gain from Sale of Replaced Item \$ _____

Other (Specify in box below) \$ _____

Total Estimated Revenue: \$ _____

Other Project Revenues:

C. Effect on Operating Costs

Annual Maintenance & Repair Costs	\$	<u>\$1,000</u>
Annual Cost of New Staff	\$	<u> </u>
Cost of Future Equipment	\$	<u> </u>
Annual Cost of Materials and Supplies	\$	<u>\$1,000</u>
Totals:	\$	<u> </u>

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	(YEAR)	(YEAR)	(YEAR)
General Fund			\$100,000			
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid			\$100,000			
T.I.R.F.						
Other (Specify)						
Totals:			\$200,000			



Capital Improvement Plan - Project Request Sheet

Department: PARKS & RECREATION

Project Title: Hawk Meadow Park Pathway Paving

Project # 6 of 12

Date: JUNE 5, 2021

Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

The project will include the paving of a ten (10) foot wide shared use pathway development from the trailhead located near the parking lot and will span the western portion of the trail loop to the existing paved pathway. The existing inter-loops that connect the outer pathways will also be paved which will provide wheelchair accessibility along the entire pathway system. The project will include approximately 5,954 linear feet of paved pathway. Other scope items for the project will include benches, trash & recycling receptacles, which will all be made of 100% recycled materials. The benches will be anchored into cement slabs and connected to the pathway.

- B. Project Justification:**

Why is the project necessary?

The paving of the loop will provide safer access for all park users. The paving will also allow access during rain and snow.

Who will benefit from the project?

Residents and park users, especially those requiring additional assistance, will benefit by having the entire pathway accessible.

What are the short and long term benefits of this project?

The benefits include improved use of valuable resources and amenities, while also providing safer access for all.

Are there any alternatives to the proposed project?

Continued use of current pathway which will continue to prevent ADA accessible.

C. Planning Context: Is the project part of an adopted program, policy, or plan?

- Yes*
- No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

Parks Master Plan

D. If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

Residents and park users

E. Project Priority:

- Necessary
- Desirable
- Deferrable

Section 2: Budget

A. Estimated Project Costs

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	(YEAR)	(YEAR)	(YEAR)	(YEAR)
Vehicle Purchase						
Land Acquisition						
Construction		\$540,000				
Equipment						
Professional Services		\$60,000				
Other (Specify)						
Total Estimated Cost:		\$600,000				

B. Estimated Project Revenues

- Annual Project Income \$ _____
- Gain from Sale of Replaced Item \$ _____
- Other (Specify in box below) \$ _____
- Total Estimated Revenue: \$ _____

Other Project Revenues:

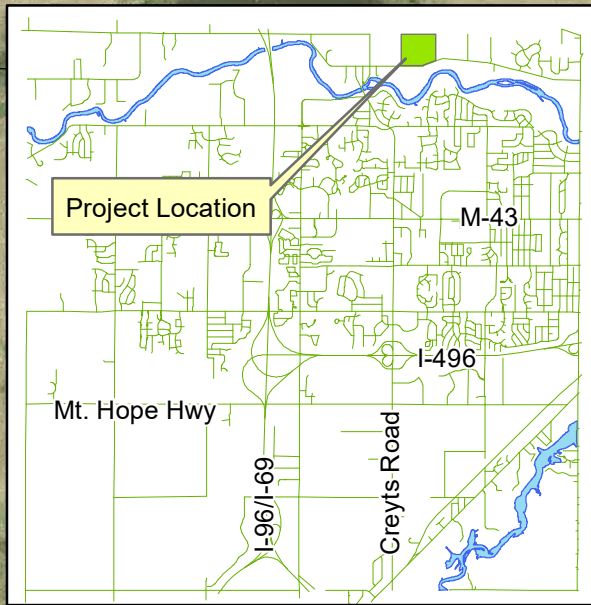
C. Effect on Operating Costs

Annual Maintenance & Repair Costs	\$ 2,500
Annual Cost of New Staff	\$ _____
Cost of Future Equipment	\$ _____
Annual Cost of Materials and Supplies	\$ 1,000
Totals:	\$ 3,500

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	(YEAR)	(YEAR)	(YEAR)	(YEAR)
General Fund		\$300,000				
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid		\$300,000				
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:		\$600,000				



PROPOSED 5,954 L.F. OF 10 FOOT WIDE, ASPHALT PAVED SHARED USE PATHWAY

EXISTING 2,024 L.F. OF 10 FOOT WIDE, ASPHALT PAVED SHARED USE PATHWAY

EXISTING GRAVEL PATHWAY

PARK BENCH AND TRASH AND RECYCLING RECEPTACLE (TYPICAL OF 2 LOCATIONS)

FUTURE CONNECTION TO SHARED USE PATHWAY TO OLD RIVER TRAIL/WEBSTER RD.

DELTA RIVER DRIVE

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TOWNSHIP TRAILS

Surface Material

- Proposed Paving
- Paved





Capital Improvement Plan - Project Request Sheet

Department: PARKS & RECREATION

Project Title: Hunter's Orchard Park Pathway Paving

Project # 7 of 12

Date: JUNE 5, 2021

Section 1: Project Overview

A. Project Narrative: Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

The pathways in Hunter's Orchard Park are approximately 20 years old. This project will renovate/pave the last unpaved path, which is 4,265 Linear Feet.

B. Project Justification:

Why is the project necessary?

The Old River Trail Pathway provides safe and non-motorized access from Webster Road to Delta Mills Park & Hunter's Orchard Park. The pathway makes a full connection to existing sidewalks and our East-West Pathway. Township staff has received negative feedback from residents and park users about not having safe access to all the paths and trails in Hunter's Orchard parks. As the numbers of park visitors continue to grow, all paths will be paved in the park.

Who will benefit from the project?

Hunter's Orchard Park is a very popular park offering access to pathways, fishing, and nature viewing on the Grand River. Connecting to the East-West Pathway allows non-motorized connection to Delta Mills Park, Sharp Park, Grand Woods Park, the Lansing Mall, and the Delta Townships Library.

What are the short and long term benefits of this project?

The benefits include improved use of valuable resources and amenities, while also providing safer access for all such as:

1. Improved connectivity between outdoor recreational parks, while providing safe access. Residents and visitors will enjoy recreational activities at Delta Mills Park & leisure opportunities along the Grand River at Hunter's Orchard Park.
2. Provide safe access for staff and volunteers to perform maintenance and clean up in the parks and along the road and riverbanks.
3. Contribute to the protection of Michigan's high-quality natural resources and help residents and visitors gain appreciation of the resources offered in our parks.

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Are there any alternatives to the proposed project?

Continued use of current pathway without ADA accessibility.

C. Planning Context: Is the project part of an adopted program, policy, or plan?

- Yes*
- No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

Parks Master Plan

D. If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

Residents and park users

E. Project Priority:

- Necessary
- Desirable
- Deferrable

Section 2: Budget

A. Estimated Project Costs

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	(YEAR)	(YEAR)	(YEAR)	(YEAR)
Vehicle Purchase						
Land Acquisition						
Construction		\$400,000				
Equipment						
Professional Services		\$50,000				
Other (Specify)						
Total Estimated Cost:		\$450,000				

B. Estimated Project Revenues

Annual Project Income \$ _____
Gain from Sale of Replaced Item \$ _____
Other (Specify in box below) \$ _____

Total Estimated Revenue: \$ _____

Other Project Revenues:

C. Effect on Operating Costs

Annual Maintenance & Repair Costs	\$ 1,000
Annual Cost of New Staff	\$ _____
Cost of Future Equipment	\$ _____
Annual Cost of Materials and Supplies	\$ 500
Totals:	\$ 1,500

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	(YEAR)	(YEAR)	(YEAR)	(YEAR)
General Fund		\$225,000				
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid		\$225,000				
T.I.R.F.						
Other (Specify)						
Totals:		\$450,000				



CONNECTION TO EXISTING RIVERSIDE WALKING TRAILS WITHIN HUNTER'S ORCHARD PARK

EXISTING 3,225 L.F. OF 10 FOOT WIDE, ASPHALT PAVED SHARED USE PATHWAY

PARK BENCH AND TRASH AND RECYCLING RECEPTACLE (TYPICAL OF 2)

4,265 L.F. OF PROPOSED 10' WIDE, ADA ACCESSIBLE, SHARED USE PATHWAY TO COMPLETE PATHWAY LOOP AND LOOP CONNECTORS WITHIN PARK.

TOTAL PAVED PATHWAY LOOP LENGTH WHEN COMPLETE WILL BE 1-1/4 MILES (+/-)

CONNECTION TO EXISTING RIVERSIDE WALKING TRAILS WITHIN HUNTERS ORCHARD PARK

CANOE LAUNCH CONSTRUCTION SUMMER 2019

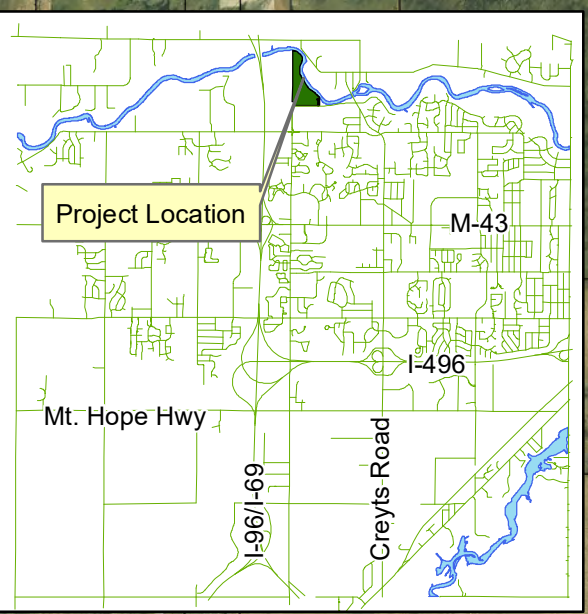
CONNECTION TO EXISTING WEBSTER ROAD SHARED USE PATHWAY

EXISTING PAVED PARKING AREA AND TRAILHEAD

HUNTER'S ORCHARD PARK

DELTA MILLS PARK

PATHWAY CONSTRUCTION SUMMER 2019



TOWNSHIP TRAILS

Surface Material

- Earthen
- Paved

Print: 11" x 17"



Capital Improvement Plan - Project Request Sheet

Department: PARKS & RECREATION

Project Title: Mount Hope Park North Baseball Fields

Project # 8 of 12

Date: JUNE 5, 2021

Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

This project is a future phase in the development of Mount Hope Park and includes two new baseball fields.

- B. Project Justification:**

Why is the project necessary?

With two fields already included in phase one of the park, this will bring the total number of fields to four. These four baseball fields will be home to and accommodate the department's youth baseball, softball, and T-ball programs.

Who will benefit from the project?

Residents, park users, and participants will benefit by having one location for youth baseball, softball, and T-ball.

What are the short and long term benefits of this project?

In addition to program benefits, the township will add valuable recreation amenities to the west side of the township.

Are there any alternatives to the proposed project?

With only two baseball fields at the park, program staff will have to rely on fields not owned by the township.

- C. Planning Context:** Is the project part of an adopted program, policy, or plan?

Yes*

No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

Parks Master Plan

D. If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

Residents and park users

E. Project Priority:

- Necessary
- Desirable
- Deferrable

Section 2: Budget

A. Estimated Project Costs

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	(YEAR)	(YEAR)	(YEAR)	(YEAR)	(YEAR)
Vehicle Purchase						
Land Acquisition						
Construction	\$600,000					
Equipment						
Professional Services	\$50,000					
Other (Specify)						
Total Estimated Cost:	\$650,000					

B. Estimated Project Revenues

Annual Project Income	\$	<u>100,000</u>
Gain from Sale of Replaced Item	\$	<u> </u>
Other (Specify in box below)	\$	<u> </u>
Total Estimated Revenue:	\$	<u>100,000</u>

Other Project Revenues:

C. Effect on Operating Costs

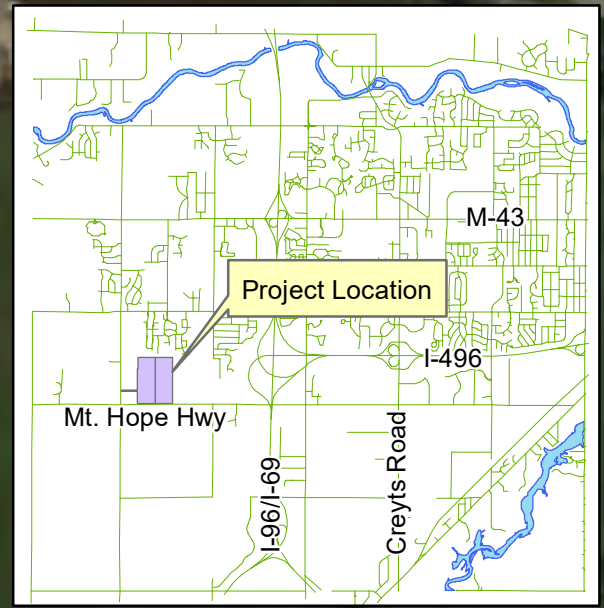
Annual Maintenance & Repair Costs	\$	<u>5,000</u>
Annual Cost of New Staff	\$	<u> </u>

Cost of Future Equipment	\$	<u> </u>
Annual Cost of Materials and Supplies	\$	<u> 2,500 </u>
Totals:	\$	<u> 7,500 </u>

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year 2022	2nd Year (YEAR)	3rd Year (YEAR)	4th Year (YEAR)	5th Year (YEAR)	6th Year (YEAR)
General Fund	\$350,000					
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid	\$300,000					
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:	\$650,000					



TWO (2) PROPOSED YOUTH BASEBALL FIELDS

PHASE 1/II MT. HOPE PARK CONSTRUCTION ON-GOING COMPLETION JULY 2019

Nixon Road

Mt Hope Hwy

DRAFT



1 in = 269 ft





Capital Improvement Plan - Project Request Sheet

Department: PARKS & RECREATION

Project Title: Mount Hope Park Perimeter Pathway

Project # 9 of 12

Date: JUNE 5, 2021

Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

The purpose of this project is to construct a ten (10) foot wide shared use pathway development around the park's perimeter. The ADA accessible ten-foot path will be 3,800 feet long and connect to the existing pathway. The current pathway provides connections to the Ashford Manor and Pointe West neighborhoods. The addition will also allow future connections to other neighborhoods.

- B. Project Justification:**

Why is the project necessary?

Connection to the new Mount Hope Park is important for all the township. This pathway will serve as a key connector for planned future non-motorized connections in Delta Township.

Who will benefit from the project?

Residents, park users, and participants will benefit by having paved, accessible pathways at the park. The pathway will provide a 3-mile loop around the park.

What are the short and long term benefits of this project?

In addition to program and event benefits, the township will add valuable recreation amenities to the west side of the township.

Are there any alternatives to the proposed project?

A new unpaved pathway could be installed but it would not be ADA accessible.

- C. Planning Context:** Is the project part of an adopted program, policy, or plan?
 Yes*
 No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

Parks Master Plan & Non-Motorized Transportation Plan

- D.** If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

Residents and park users

- E. Project Priority:**
 Necessary
 Desirable
 Deferrable

Section 2: Budget

A. Estimated Project Costs

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	(YEAR)	(YEAR)	(YEAR)	(YEAR)	(YEAR)
Vehicle Purchase						
Land Acquisition						
Construction	\$400,000					
Equipment						
Professional Services	\$25,000					
Other (Specify)						
Total Estimated Cost:	\$425,000					

B. Estimated Project Revenues

Annual Project Income \$ _____
Gain from Sale of Replaced Item \$ _____
Other (Specify in box below) \$ _____
Total Estimated Revenue: \$ _____

Other Project Revenues:

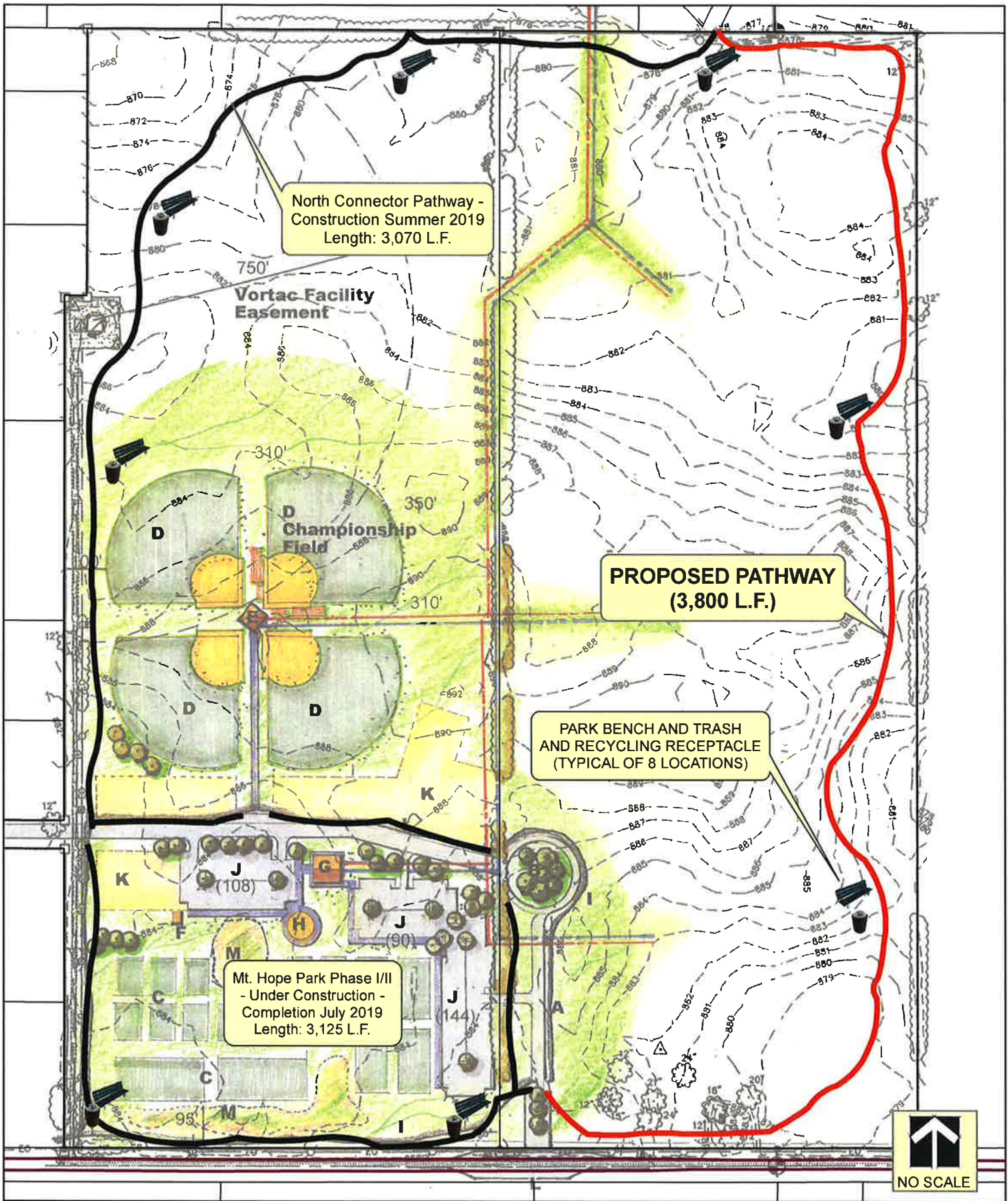
C. Effect on Operating Costs

Annual Maintenance & Repair Costs	\$ 2,500
Annual Cost of New Staff	\$ _____
Cost of Future Equipment	\$ _____
Annual Cost of Materials and Supplies	\$ 1,000
Totals:	\$ _____

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	(YEAR)	(YEAR)	(YEAR)	(YEAR)	(YEAR)
General Fund	\$212,500					
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid	\$212,500					
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:	\$425,000					



DELTA CHARTER TOWNSHIP

7710 W. SAGINAW HIGHWAY
 LANSING, MI 48917
 517.323.8555



LW 19-0018

MT. HOPE PARK PERIMETER PATHWAY DEVELOPMENT PLAN



Capital Improvement Plan - Project Request Sheet

Department: PARKS & RECREATION

Project Title: East-West Pathway & Sharp Park Renovations

Project # 10 of 12

Date: JUNE 5, 2021

Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

The project will:

- Increase accessibility to all areas and amenities within the park. The proposed pathway paving will connect the East-West Pathway to the restrooms, playground, ball fields, and other amenities in the northern portion of the park. The 10-foot wide pathway will be ADA accessible.
- Demolish the current 42-year-old shelter and construct a new shelter which can serve up to 2 rentals at a time for all activities. The proposed shelter will be 40' x 60' and accessible from the pathway and located near existing restrooms, playgrounds, softball fields, and sand volleyball courts.
- Establish a universally designed restroom building in the center of the park which will eliminate the need of a porta-john which is currently used. The proposed restroom building will be a 4-unit unisex facility with low-flow toilets, LED lightning, electric hand dryers, motion sensing faucets, a water fountain which will accommodate wheel-chair accessibility, and a trash bin made of recycled content. This building will be located near and paved accessibility to the East-West Pathway, shelter, amphitheater, outdoor exercise gym, and softball fields.
- The grills will exceed ADA requirements and will be rotating pedestal surface mount with paved access. The cooking grates have cool coil handles and can be adjusted to four different levels. Please see the attachment for an example. The two grills will be in the shelter area. Please see updated site plan for locations.
- The drinking fountain will exceed ADA requirements and will be wheelchair accessible with paved access. The unit will have a split-level design to allow multiple users and cater to a variety of heights and physical capabilities. The mounted buttons will ensure ease of operation. Please see the attachment for an example. The drinking fountain will be located outside of the restroom area. Please see updated site plan for location.
- The 12 picnic tables will provide more than the 5% of spaces needed for ADA requirements. The tabletops will be between 28 and 32 inches high, provide knee and toe clearance and clear floor space at accessible spots. Each table will be doubled-sided for ADA accessibility which provides 20% of the seating. The picnic tables will be in the shelter. Please see updated site plan for locations.
- The benches are made from 100% recycled materials. The concrete slabs will be 36" x 48" and exceed ADA minimum standards. The slabs will allow companion seating and access to trash & recycling receptacles. The benches will be anchored into the cement slabs and connected to the pathway. Please see updated site plan for locations.
- Access pathways will be added to the volleyball court and playground equipment from the proposed pathway.

B. Project Justification:

Why is the project necessary?

The proposed paving of the pathway will allow safe and accessible connection from the southern to the northern sections of the park. The proposed pathway will make a full connection to existing sidewalks and our East-West Pathway. Improvements to Existing Facilities' recognizes that Sharp Park is the most heavily used park within Delta Township and that upgrades/renovations are necessary for multiple park facilities, including the restrooms. Plans show the park is in 'High' priority of facility renovations and upgrades and safety enhancement projects

Who will benefit from the project?

Residents and park users, especially those requiring additional assistance, will benefit from the new and improved amenities.

What are the short and long term benefits of this project?

The benefits include improved use of valuable resources and amenities, while also providing safer access for all.

Are there any alternatives to the proposed project?

Continued use of outdated and inaccessible amenities.

C. Planning Context: Is the project part of an adopted program, policy, or plan?

- Yes*
- No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

Parks Master Plan

D. If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

Residents and park users, especially those requiring additional assistance, will benefit from the new and improved amenities.

E. Project Priority:

- Necessary
- Desirable
- Deferrable

Section 2: Budget

A. Estimated Project Costs

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	(YEAR)	(YEAR)	(YEAR)
Vehicle Purchase						
Land Acquisition						
Construction		\$765,000				
Equipment						
Professional Services		\$85,000				
Other (Specify)						
Total Estimated Cost:		\$850,000				

B. Estimated Project Revenues

Annual Project Income	\$ 30,000
Gain from Sale of Replaced Item	\$ _____
Other (Specify in box below)	\$ _____
Total Estimated Revenue:	\$ 30,000

Other Project Revenues:

C. Effect on Operating Costs

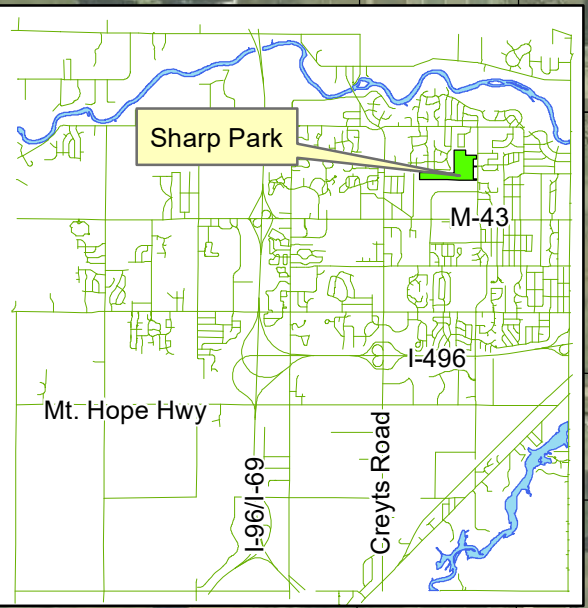
Annual Maintenance & Repair Costs	\$ 5,000
Annual Cost of New Staff	\$ _____
Cost of Future Equipment	\$ _____
Annual Cost of Materials and Supplies	\$ 1,000
Totals:	\$ 6,000

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	(YEAR)	(YEAR)	(YEAR)
General Fund		\$550,000				
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						

Special Assessment						
Federal Aid			\$300,000			
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:			\$850,000			



Existing Restrooms, Concessions/
Storage Building

Proposed Bench,
Pad, Trash, and
Recycle Containers

Proposed 10 foot wide, ADA
Concrete Pathway

Proposed Sewer and
Electrical Extensions for
New Restroom

ADA Accessible Parking
(3 Spaces)

Proposed Grills (2)
with Paved Access

Demolish Existing Shelter
and Construct New 40'x60'
Shelter with Picnic tables

Existing Sand
Volleyball Courts

Proposed Access Paths
to Playground and Volleyball
Courts

Proposed Bench,
Pad, Trash, and
Recycle Containers

Proposed Drinking Fountain

Proposed 4-unit,
Unisex, ADA Restroom Building

EAST - WEST PATHWAY

ELMWOOD ROAD

DRAFT





Capital Improvement Plan - Project Request Sheet

Department: PARKS & RECREATION

Project Title: North Canal Road Land Acquisition

Project # 11 of 12

Date: JUNE 5, 2021

Section 1: Project Overview

- A. Project Narrative:** Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

Delta Township has recognized the importance of parks and recreation for a healthy community. The Township's current Parks and Recreation Master Plan includes goals and objectives to include preservation, protection, and to improve historic, natural, scenic, or environmentally sensitive areas for appropriate public use and enjoyment and habitat protection. This land acquisition, which is adjacent to a proposed pathway/trail, the township's Community Center, Hunter's Orchard Park, and Delta Mills Park would assist the township in achieving this goal and objective.

- B. Project Justification:**

Why is the project necessary?

The proposed pathway will connect Willow Highway, from the Community Center to the Old River Trail Pathway. The Old River Trail Pathway provides non-motorize accessibility from Hunter's Orchard Park to Delta Mills Park. The parks are very popular parks offering access to the Grand River, trails, softball fields, a soccer field, a large playground structure, a picnic shelter, pickleball courts, basketball courts, fishing, and nature viewing on the Grand River and Carrier Creek. Connecting to the East-West Pathway allows non-motorize connection to Sharp Park, Grand Woods Park, the Lansing Mall, and the Delta Townships Library.

The 3.11 parcel is currently for sale. With its proximity to pathways and parks, it will provide future benefits to all. This parcel will allow increased accessibility to all areas and amenities within the parks.

Who will benefit from the project?

Residents and park users

What are the short and long term benefits of this project?

The benefits include purchasing an available parcel for future township use.

Are there any alternatives to the proposed project?

If the parcel is not purchased, expansion of the area will not be possible.

C. Planning Context: Is the project part of an adopted program, policy, or plan?

- Yes*
- No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

Parks Master Plan

D. If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

Residents and park users

E. Project Priority:

- Necessary
- Desirable
- Deferrable

Section 2: Budget

A. Estimated Project Costs

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	(YEAR)	(YEAR)	(YEAR)	(YEAR)	(YEAR)
Vehicle Purchase						
Land Acquisition	\$100,000					
Construction						
Equipment						
Professional Services						
Other (Specify)						
Total Estimated Cost:	\$100,000					

B. Estimated Project Revenues

Annual Project Income \$ _____
 Gain from Sale of Replaced Item \$ _____
 Other (Specify in box below) \$ _____
 Total Estimated Revenue: \$ _____

Other Project Revenues: _____

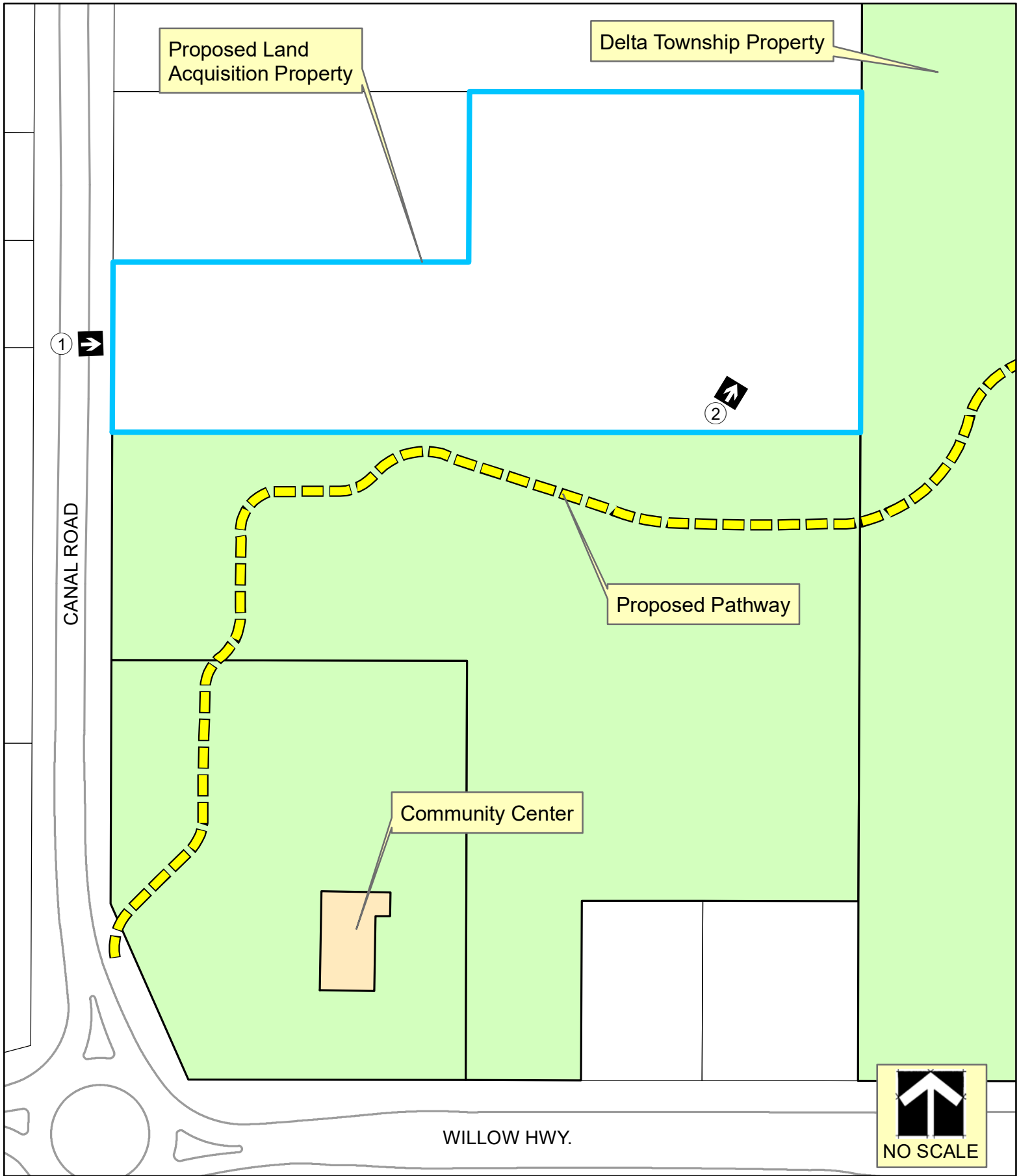
C. Effect on Operating Costs

Annual Maintenance & Repair Costs \$ _____
 Annual Cost of New Staff \$ _____
 Cost of Future Equipment \$ _____
 Annual Cost of Materials and Supplies \$ _____
 Totals: \$ _____

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	(YEAR)	(YEAR)	(YEAR)	(YEAR)	(YEAR)
General Fund	\$25,000					
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid	\$75,000					
T.I.R.F.						
Other (Specify)						
Totals:	\$100,000					



DELTA CHARTER TOWNSHIP

7710 W. SAGINAW HIGHWAY
 LANSING, MI 48917
 517.323.8555



TF20-0108

North Canal Road
 Land Acquisition
 Site Photo Map



PHOTO NO. 1
FACING EAST FROM CANAL ROAD



PHOTO NO. 2
FACING NORTH

DELTA CHARTER TOWNSHIP

7710 W. SAGINAW HIGHWAY
LANSING, MI 48917
517.323.8555



TF20-0108

N Canal Road
Land Acquisition
Site Photo I



Capital Improvement Plan - Project Request Sheet

Department: PARKS & RECREATION

Project Title: Vehicle & Equipment Reserve Allocation

Project # 12 of 12

Date: JUNE 5, 2021

Section 1: Project Overview

A. Project Narrative: Please provide a brief description of the project. Descriptions should include the **type of project** being proposed (property acquisition, building construction, purchase/lease of equipment or vehicles, etc.), the **anticipated project timeline**, and the **location of the project** (attach map if necessary).

This project allows the department to reserve funds for purchases of vehicles & equipment.

B. Project Justification:

Why is the project necessary?

In addition to the need for equipment & vehicle replacement, the reserve fund must grow to provide new equipment for new parks and projects.

Who will benefit from the project?

N/A

What are the short and long term benefits of this project?

Annual replacement of vehicles and equipment is needed. Staff identifies and prepares for future needs while also providing solutions for unexpected needs.

Are there any alternatives to the proposed project?

C. Planning Context: Is the project part of an adopted program, policy, or plan?

Yes*

No

*Please list the adopted program or policy, and how the project directly or indirectly meets these objectives:

D. If the CIP project request pertains to any Delta Township programs, policies, or plans, please list would benefit from the requested capital improvement:

E. Project Priority:

- Necessary
- Desirable
- Deferrable

Section 2: Budget

A. Estimated Project Costs

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2023	2023	2024	2025	2026	2027
Vehicle Purchase	\$60,000	\$60,000	\$60,000	\$60,000	\$60,000	\$60,000
Land Acquisition						
Construction						
Equipment	\$140,000	\$140,000	\$140,000	\$140,000	\$140,000	\$140,000
Professional Services						
Other (Specify)						
Total Estimated Cost:	\$200,000	\$200,000	\$200,000	\$200,000	\$200,000	\$200,000

B. Estimated Project Revenues

Annual Project Income \$ _____
Gain from Sale of Replaced Item \$ _____
Other (Specify in box below) \$ _____
Total Estimated Revenue: \$ _____

Other Project Revenues:

C. Effect on Operating Costs

Annual Maintenance & Repair Costs \$ _____

Annual Cost of New Staff \$ _____
 Cost of Future Equipment \$ _____
 Annual Cost of Materials and Supplies \$ _____
 Totals: \$ _____

D. Proposed Financing Method

(Please estimate amount from each funding source in each year)

	1st Year	2nd Year	3rd Year	4th Year	5th Year	6th Year
	2022	2023	2024	2025	2026	2027
General Fund	\$200,000	\$200,000	\$200,000	\$200,000	\$200,000	\$200,000
Sewer Fund						
Water Fund						
G.O Bonds						
Revenue Bonds						
Special Assessment						
Federal Aid						
State Aid						
T.I.R.F.						
Other (Specify)						
Totals:	\$200,000	\$200,000	\$200,000	\$200,000	\$200,000	\$200,000

Supervisor Kenneth R. Fletcher
Clerk Mary R. Clark
Treasurer Dennis R. Fedewa
Manager Brian T. Reed



Trustee Elizabeth S. Bowen
Trustee Fonda J. Brewer
Trustee Andrea M. Cascarilla
Trustee Karen J. Mojica

Utilities Department

(517) 323-8570

June 4, 2021

Brian Reed, Township Manager
Delta Charter Township
7710 W. Saginaw Hwy.
Lansing, MI 48917

Dear Brian:

CAPITAL IMPROVEMENTS PROGRAM 2022-2027

Attached is the Capital Improvements Program for 2022 to 2027 for the Utility Department.

Should you have any questions or concerns, please contact me.

Sincerely,

DELTA CHARTER TOWNSHIP

Richard L. Kane
Director of Utilities

hs

Attachments

cc: Dave Waligora

CIP PROJECT STATUS SHEET

Department: Utility

Date: 6/4/2021

1. Please list the status of those 2020-2025 CIP projects that were funded for 2020.

Project	Funding Level & Project Status
<u>Emergency Connection to LBWL South – water fund</u>	<u>Finished</u>
<u>Sanitary Sewer System Modeling</u>	<u>In Progress</u>
<u>10 yd. Dump Truck – WWTP Fund</u>	<u>Finished</u>
<u>2-3 yd. Dump Truck – Water Fund</u>	<u>Finished</u>
<u>Large Crane Truck – Water Fund</u>	<u>Finished</u>
<u>Snow Ground Storage – Water Fund</u>	<u>Finished</u>
<u>Willow Lift Station Upgrade – WWTP</u>	<u>In Progress</u>
<u>Submersible Pumps - WWTP</u>	<u>In Progress</u>
<u>Sanitary Manhole and Sewer Main – WWTP</u>	<u>In Progress</u>

2. Please list those projects which you submitted for last year's CIP (2021-2026), which were not funded and which you are not submitting this year. Please state the reasons for withdrawing the project.

3. Please list those projects, which you are submitting to the CIP Committee for the first time for 2022–2027.

A. 1.25 – 1.50 MG ground storage water tank located at Creyts Booster Station

Person completing status sheet: _____



Title: _____

Director of Utilities

DRAFT

**CAPITAL IMPROVEMENTS PROGRAM
UTILITY DEPARTMENT
SANITARY SEWER FUND PROJECT PRIORITIES
2022 – 2027**

2022 SANITARY SEWER FUND PROJECT DESCRIPTIONS:

Generator to run 4 Raw Sewage Pumps at Wastewater Treatment Plant

Our current generator can only operate 2 raw sewage pumps. This is very minimum at best during low flow operations. However, during normal to high flow, they will not keep up with demand. For emergency operations, we need to be able to run a total of 6 pumps, which the plant was designed for.

Rotating Biological Tower Distribution Arms & Media

The distribution arms utilize one main support bearing assembly and are constructed of galvanized steel. The units are in constant contact with the liquid sewage operating in continuous operation 24/7/365 since 1986. The galvanized steel arms are deteriorating from the inside out. Failure of the distribution arm or support bearing assembly would render this equipment from operation and disrupt the treatment process. The Bio-tower media has surpassed its engineered life expectancy and needs to be replaced.

Willow Lift Station Upgrade

With the growth of the Township, the Willow Lift Station is nearing capacity and needs a major upgrade in the future. This project will start with design and engineering in preparation for the needed upgrade to meet 20-year needs with expandability for build-out. This construction will be necessary before flows exceed capacity from short-term improvement.

Sewer Jet and Vector Truck - Vehicle 1158

This vehicle has been in service since 2001; its primary function is to maintain wastewater collection system cleaning sanitary sewers and lift station wet wells.

Sanitary Sewer System Modeling

A Phased approach to Modeling our sanitary sewer system.

Sections of our collection system to be modeled to give and understand system capacities and valuable inflow and infiltration (I&I) information allowing us to make localized repairs to our collection system of peaking factors above 5.

Submersible Sewage Pumps

Submersible pumps located in sewage pump applications such as; lift stations or WWTP Raw influent pit need to be replaced periodically to prevent failure due to their corrosive environment and constant contact with sewage.

DRAFT

Cleaning and Maintenance of Carrier Creek sanitary sewer

The Carrier Creek sanitary sewer has been evaluated using MSI sensing and rated by NASSCO/PACP coding. Heavy cleaning has been performed between I-496 and Gettysburg Road. A flow model has been developed. This allows us to develop asset management ranging from; replacement, lining, and other, to properly maintain this critical asset.

Wastewater Treatment Plant Expansion (On-Going)

The treatment plant has exceeded its life expectancy and needs to be re-constructed with increased capacity to accommodate future growth. This is a major project that is envisioned as a phased project starting with securing funding to start design to build engineering and working into construction phased over the next five to seven years.

Sanitary Manhole Lining and Sewer Main Line Repair

Concrete manholes suffer from hydrogen sulfide damage corroding away concrete that eventually will impact their structural integrity. If caught in time they can be lined to prevent any further hydrogen sulfide damage and extending their life span and prevent their replacement several decades.

Performing sanitary mainline CCTV inspections, we will find broken or failing sewer main that will need repair.

2023 SANITARY SEWER FUND PROJECT DESCRIPTIONS:

Replace Bobcat Skid Steer

The bobcat skid steer has been in service since 1986. This equipment is utilized throughout the WWTP year-round to provide maintenance and upkeep to facilities.

Sanitary Sewer System Modeling

A Phased approach to Modeling our sanitary sewer system.

Sections of our collection system to be modeled to give and understand system capacities and valuable inflow and infiltration (I&I) information allowing us to make localized repairs to our collection system of peaking factors above 5.

Submersible Sewage Pumps

Submersible pumps located in sewage pump applications such as; lift stations or WWTP Raw influent pit need to be replaced periodically to prevent failure due to their corrosive environment and constant contact with sewage.

Cleaning and Maintenance of Carrier Creek sanitary sewer

The Carrier Creek sanitary sewer has been evaluated using MSI sensing and rated by NASSCO/PACP coding. Heavy cleaning has been performed between I-496 and Gettysburg Road. A flow model has been developed. This allows us to develop asset management ranging from; replacement, lining, and other, to properly maintain this critical asset.

Wastewater Treatment Plant Expansion (On-Going)

The treatment plant has exceeded its life expectancy and needs to be re-constructed with increased capacity to accommodate future growth. This is a major project that is envisioned as a phased project starting with securing funding to start design to build engineering and working into construction phased over the next five to seven years.

Sanitary Manhole Lining and Sewer Main Line Repair

Concrete manholes suffer from hydrogen sulfide damage corroding away concrete that eventually will impact their structural integrity. If caught in time they can be lined to prevent any further hydrogen sulfide damage and extending their life span and prevent their replacement several decades.

Performing sanitary mainline CCTV inspections, we will find broken or failing sewer main that will need repair.

2024 SANITARY SEWER FUND PROJECT DESCRIPTIONS:

Sanitary Sewer System Modeling

A Phased approach to Modeling our sanitary sewer system.

Sections of our collection system to be modeled to give and understand system capacities and valuable inflow and infiltration (I&I) information allowing us to make localized repairs to our collection system of peaking factors above 5.

Submersible Sewage Pumps

Submersible pumps located in sewage pump applications such as; lift stations or WWTP Raw influent pit need to be replaced periodically to prevent failure due to their corrosive environment and constant contact with sewage.

Cleaning and Maintenance of Carrier Creek sanitary sewer

The Carrier Creek sanitary sewer has been evaluated using MSI sensing and rated by NASSCO/PACP coding. Heavy cleaning has been performed between I-496 and Gettysburg Road. A flow model has been developed. This allows us to develop asset management ranging from; replacement, lining, and other, to properly maintain this critical asset.

Wastewater Treatment Plant Expansion (On-Going)

The treatment plant has exceeded its life expectancy and needs to be re-constructed with increased capacity to accommodate future growth. This is a major project that is envisioned as a phased project starting with securing funding to start design to build engineering and working into construction phased over the next five to seven years.

Sanitary Manhole Lining and Sewer Main Line Repair

Concrete manholes suffer from hydrogen sulfide damage corroding away concrete that eventually will impact their structural integrity. If caught in time they can be lined to prevent any further hydrogen sulfide damage and extending their life span and prevent their replacement several decades.

Performing sanitary mainline CCTV inspections, we will find broken or failing sewer main that will need repair.

2025 SANITARY SEWER FUND PROJECT DESCRIPTIONS:

Sanitary Sewer System Modeling

A Phased approach to Modeling our sanitary sewer system.

Sections of our collection system to be modeled to give and understand system capacities and valuable inflow and infiltration (I&I) information allowing us to make localized repairs to our collection system of peaking factors above 5.

Submersible Sewage Pumps

Submersible pumps located in sewage pump applications such as; lift stations or WWTP Raw influent pit need to be replaced periodically to prevent failure due to their corrosive environment and constant contact with sewage.

Cleaning and Maintenance of Carrier Creek sanitary sewer

The Carrier Creek sanitary sewer has been evaluated using MSI sensing and rated by NASSCO/PACP coding. Heavy cleaning has been performed between I-496 and Gettysburg Road. A flow model has been developed. This allows us to develop asset management ranging from; replacement, lining, and other, to properly maintain this critical asset.

Wastewater Treatment Plant Expansion (On-Going)

The treatment plant has exceeded its life expectancy and needs to be re-constructed with increased capacity to accommodate future growth. This is a major project that is envisioned as a phased project starting with securing funding to start design to build engineering and working into construction phased over the next five to seven years.

Sanitary Manhole Lining and Sewer Main Line Repair

Concrete manholes suffer from hydrogen sulfide damage corroding away concrete that eventually will impact their structural integrity. If caught in time they can be lined to prevent any further hydrogen sulfide damage and extending their life span and prevent their replacement several decades.

Performing sanitary mainline CCTV inspections, we will find broken or failing sewer main that will need repair.

2026 SANITARY SEWER FUND PROJECT DESCRIPTIONS:

Sanitary Sewer System Modeling

A Phased approach to Modeling our sanitary sewer system.

Sections of our collection system to be modeled to give and understand system capacities and valuable inflow and infiltration (I&I) information allowing us to make localized repairs to our collection system of peaking factors above 5.

Submersible Sewage Pumps

Submersible pumps located in sewage pump applications such as; lift stations or WWTP Raw influent pit need to be replaced periodically to prevent failure due to their corrosive environment and constant contact with sewage.

Cleaning and Maintenance of Carrier Creek sanitary sewer

The Carrier Creek sanitary sewer has been evaluated using MSI sensing and rated by NASSCO/PACP coding. Heavy cleaning has been performed between I-496 and Gettysburg Road. A flow model has been developed. This allows us to develop asset management ranging from; replacement, lining, and other, to properly maintain this critical asset.

Wastewater Treatment Plant Expansion (On-Going)

The treatment plant has exceeded its life expectancy and needs to be re-constructed with increased capacity to accommodate future growth. This is a major project that is envisioned as a phased project starting with securing funding to start design to build engineering and working into construction phased over the next five to seven years.

Sanitary Manhole Lining and Sewer Main Line Repair

Concrete manholes suffer from hydrogen sulfide damage corroding away concrete that eventually will impact their structural integrity. If caught in time they can be lined to prevent any further hydrogen sulfide damage and extending their life span and prevent their replacement several decades.

Performing sanitary mainline CCTV inspections, we will find broken or failing sewer main that will need repair.

2027 SANITARY SEWER FUND PROJECT DESCRIPTIONS:

Sanitary Sewer System Modeling

A Phased approach to Modeling our sanitary sewer system.

Sections of our collection system to be modeled to give and understand system capacities and valuable inflow and infiltration (I&I) information allowing us to make localized repairs to our collection system of peaking factors above 5.

Submersible Sewage Pumps

Submersible pumps located in sewage pump applications such as; lift stations or WWTP Raw influent pit need to be replaced periodically to prevent failure due to their corrosive environment and constant contact with sewage.

Cleaning and Maintenance of Carrier Creek sanitary sewer

The Carrier Creek sanitary sewer has been evaluated using MSI sensing and rated by NASSCO/PACP coding. Heavy cleaning has been performed between I-496 and Gettysburg Road. A flow model has been developed. This allows us to develop asset management ranging from; replacement, lining, and other, to properly maintain this critical asset.

Wastewater Treatment Plant Expansion (On-Going)

The treatment plant has exceeded its life expectancy and needs to be re-constructed with increased capacity to accommodate future growth. This is a major project that is envisioned as a phased project starting with securing funding to start design to build engineering and working into construction phased over the next five to seven years.

Sanitary Manhole Lining and Sewer Main Line Repair

Concrete manholes suffer from hydrogen sulfide damage corroding away concrete that eventually will impact their structural integrity. If caught in time they can be lined to prevent any further hydrogen sulfide damage and extending their life span and prevent their replacement several decades.

Performing sanitary mainline CCTV inspections, we will find broken or failing sewer main that will need repair.

FUTURE SANITARY SEWER FUND PROJECT DESCRIPTIONS:

Saginaw Sewer (Nixon to Oneida Township)

Because of failing septic systems, the sanitary sewer should be extended from just west of Nixon Road to the Delta/Oneida Township boundary.

DRAFT

Delta Mills Sewer

This project would put a pump station and gravity sewers in the Delta Mills area.

Section 9 Sewage Pump Station

This project would construct a new pumping station to handle the development west of I-96 as determined in the review of the Long-Range Sewer Plan.

Equalization Basin at Westland Park Lift Station

This area in the Township’s industrial tract is experiencing rapid growth, which will necessitate equalizing peak flows at the lift station.

Section 1 Sewage Pump Station

This pump would construct a new pumping station in conjunction with development of homes north of the Grand River, immediately west of Waverly Road.

Equalization Basin at Delta Market Drive (formerly Saginaw) Lift Station

Due to rapid growth west of I-96, this station, located in Section 16 of the Township is reaching capacity and will have to be expanded or have an equalization basin added to accommodate peak flows.

St. Joe Highway Sewer - West

A new gravity sewer is needed along St. Joe Highway, west of Nixon Road, to accommodate growth in this area of the Township.

St. Joe Highway Sewer - East

The upstream 15-inch gravity sewer will reach capacity after 300 more REUs are connected and upsizing or a relief sewer will be required.

Equalization Basin at Willow Lift Station

This project would construct a flow-equalization structure west of I-96 to accommodate peak sewage flows. Wastewater would be stored in the basin during peak flow times and then be pumped to the wastewater treatment plant during off-peak hours. This will insure that wastewater flow to the plant does not exceed the capacity.

Mt. Hope Sewage Pump Station

This project would consist of a large pump station, force main, and gravity sewers to serve the area on Mt. Hope Highway that is west of I-96.

Nixon Road Sewer

This project would construct a new sewer on Nixon from St. Joe Highway to the Rockbridge lift station on west Interceptor when completed. This is needed to keep up with the growth in this area.

DRAFT

Willow Lift station Major Upgrade

The Willow service area is nearing capacity and will need a major upgrade. Construct a new station near the existing station. Design new station to meet 20-year needs with expandability for build-out. Construct before flows exceed capacity from short term improvements.

Willow Lift station Force Main

Existing pipe is nearing capacity and can handle about 700 more REUs. Build new parallel force main with an inside diameter of 18-inches.

Tammany Lift Station

Tammany lift station upgrade. This station nearing its expected life span and is one of the last remaining high maintenance and inefficient energy designed lift stations.

Saratoga Lift Station Force Main

Saratoga lift station force main is the original pipe build in 1985 era. The asset management of this force main has a high critically rating because of a river crossing.

River Ridge Lift Station

River Ridge lift station latest full upgrade was in 1985. This station current designed wet well is at capacity. Rebuild station of build on site storage to handle flows.

Item	Year of Anticipated Purchases and Estimated Cost						Future
	2022	2023	2024	2025	2026	2027	
Willow Lift Station Major Upgrade							4,300,000
Willow Lift Station Force Main							3,800,000
Tammany Lift Station							500,000
Saratoga Lift Station Force Main							120/foot
River Ridge Lift Station							TBA

**CAPITAL IMPROVEMENTS PROGRAM
UTILITY DEPARTMENT**

WATER FUND PROJECT PRIORITIES

2022 – 2027

2022 WATER FUND PROJECT DESCRIPTIONS:

GM Booster Station Electrical & Mechanical Upgrade

The pump drives are reaching the end of their life expectancy and need to be replaced. Mechanical pump hydraulics improvements are for pump efficiency.

Design and Engineering of Saginaw Hwy water main replacement along Saginaw Hwy- East

The water main along the Eastern Saginaw Hwy is failing due to age and needs to be replaced. This will be a complicated replacement project and most probably replaced in phases. Given the complexity and cost of the water main replacement requiring it to be installed in phases; the design and engineering will need to be performed for the entire length to assure continuity and the securing of easements.

Decommissioning of Wells

Once MDEQ grants approval of no longer requiring Delta Township to maintain our well field for back up water supply to our distribution system; we will decommission and cap our wells.

Willow Ground Storage Tank painting exterior walls

The Willow Ground storage tank exterior side walls are original coatings. As our preventive maintenance program to maintain our important infrastructure the exterior walls need to be painted.

Replace Old Water Mains

As our infrastructure gets older, we are finding the water mains in the east end of the Township are deteriorating because of acidic soil conditions. It is recommended that we start repairing/replacing our infrastructure.

Water Main Replacement - Saginaw Highway Crossings (On-Going)

The water main crossings primarily put into service in the mid 60's and 70's and are failing due to age and excessive vibrations and frost from the roadway. The replacement schedule is to replace two crossings a year.

2023 WATER FUND PROJECT DESCRIPTIONS:

Replace Old Water Mains

As our infrastructure gets older, we are finding the water mains in the east end of the Township are deteriorating because of acidic soil conditions. It is recommended that we start repairing/replacing our infrastructure.

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Water Main Replacement - Saginaw Highway Crossings (On-Going)

The water main crossings primarily put into service in the mid 60's and 70's and are failing due to age and excessive vibrations and frost from the roadway. The replacement schedule is to replace two crossings a year.

2024 WATER FUND PROJECT DESCRIPTIONS:

Replace Old Water Mains

As our infrastructure gets older, we are finding the water mains in the east end of the Township are deteriorating because of acidic soil conditions. It is recommended that we start repairing/replacing our infrastructure.

Water Main Replacement - Saginaw Highway Crossings (On-Going)

The water main crossings primarily put into service in the mid 60's and 70's and are failing due to age and excessive vibrations and frost from the roadway. The replacement schedule is to replace two crossings a year.

2025 WATER FUND PROJECT DESCRIPTIONS:

Replace Old Water Mains

As our infrastructure gets older, we are finding the water mains in the east end of the Township are deteriorating because of acidic soil conditions. It is recommended that we start repairing/replacing our infrastructure.

Water Main Replacement - Saginaw Highway Crossings (On-Going)

The water main crossings primarily put into service in the mid 60's and 70's and are failing due to age and excessive vibrations and frost from the roadway. The replacement schedule is to replace two crossings a year.

2026 WATER FUND PROJECT DESCRIPTIONS:

Replace Old Water Mains

As our infrastructure gets older, we are finding the water mains in the east end of the Township are deteriorating because of acidic soil conditions. It is recommended that we start repairing/replacing our infrastructure.

Water Main Replacement - Saginaw Highway Crossings (On-Going)

The water main crossings primarily put into service in the mid 60's and 70's and are failing due to age and excessive vibrations and frost from the roadway. The replacement schedule is to replace two crossings a year.

2027 WATER FUND PROJECT DESCRIPTIONS:

Replace Old Water Mains

As our infrastructure gets older, we are finding the water mains in the east end of the Township are deteriorating because of acidic soil conditions. It is recommended that we start repairing/replacing our infrastructure.

Water Main Replacement - Saginaw Highway Crossings (On-Going)

The water main crossings primarily put into service in the mid 60's and 70's and are failing due to age and excessive vibrations and frost from the roadway. The replacement schedule is to replace two crossings a year.

FUTURE WATER FUND PROJECT DESCRIPTIONS:

Willow Highway Water Main (Broadbent to Nixon)

This project would extend a water main along Willow Highway from Broadbent Road west to Nixon Road.

St. Joe Highway Water Main (Jerryson to the west)

A new water main is needed on St. Joe Highway west of Jerryson Road to accommodate the development coming in this area of the Township.

Old Lansing Road to Creyts Road

This project involves the construction of water mains from Murel Drive southwest along Old Lansing Road to Lansing Road, then southwest along Lansing Road to Creyts Road.

Purchase 5 yard Dump Truck

Currently, we have a 2 cubic yard truck and then we go to 10/12 cubic yard trucks. We are looking to purchase a 5 cubic yard truck for better efficiency.

Section 1 River Crossing

This water main would run east from the entrance to Grand Woods Park on Willow Highway, crossing the Grand River, then turning north and connecting to the Delta River Drive water main immediately west of Waverly Road.

Well No. 10 River Crossing

This project would involve constructing a water main from Well No. 10 north crossing the river at a point on Delta River Drive approximately half way between Ingersoll Road and Josette Lane. It then will run east on Delta River Drive to the existing water main near White Oaks Drive.

Nixon Road Water Main (Willow to Saginaw)

This project would construct a water main along Nixon Road from Willow Highway south to Saginaw Highway.

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Elevated Water Tower West of I-96

This project would provide additional storage for peak flows west of I-96. It would be a one-million-gallon water tank that would likely be located west of Nixon on St Joe Highway or Saginaw Highway.

Nixon Road Water Main (St. Joe to Mt. Hope)

This project would construct a water main along Nixon Road between St. Joe Highway and Mt. Hope Highway.

Mt. Hope Highway Water Main (Nixon to Guinea)

This project would construct a water main along Mt. Hope Highway from Nixon Road to Guinea Road.

Water Main Replacement along Saginaw Highway

The water main along the Eastern Saginaw Hwy is failing due to age and needs to be replaced. This is some of the oldest main and where the Utility Department is having significant water main breaks.

Water Main Replacement along St. Joe Highway

The water main along the Eastern St. Joe Hwy is failing due to age and needs to be replaced. This is where the Utility Department is having significant water main breaks. This line should be up sized to 12" line.

I -96 and Mt. Hope Water Main Crossing

The Mt. Hope Highway crossing represents a new crossing that would add another point of connection between the 16-inch main west of I-96/69 serving GM Lansing Delta Facility to water mains on the East side of I-69/96.

Replace Hunter Lift

The Hunter Lift has been in service since 1986. This equipment is utilized throughout the Utility Department year-round to provide maintenance and upkeep to facilities.

Distribution Grid Tie-In Connection

To fulfill our MDEQ requirement of water reliability and sustainability study we will need to be able to meet our peak water demand of 7.4 MGD. To meet this reliability and sustainability requirement we will need to make at least two Delta - Lansing Township system tie in connections located at Michigan/Waverly, and Saginaw/Waverly intersections.

Cleaning and painting elevated water towers

Cleaning and painting the interior and/or exterior surfaces of our elevated water tanks. This is to maintain distribution assets to provide high quality water and

maintain reliability. The scheduling of this work is based on professional inspections performed.

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