

Agenda Item 3

445 E. Wisconsin Avenue Lot-In-Depth Setback Variance

- Staff Report
- Vicinity Map
- Air Photos

Materials Submitted by Petitioner

- Application
- Statement of Intent
- Plat of Survey
- Proposed Site Plan
- Enlarged Proposed Site Plan
- Proposed Elevations
- Proposed Floor Plans
- Proposed Roof Plan
- Photographs

The complete file is available for review at the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Pasquesi and members of the Zoning Board of Appeals
DATE:	January 25, 2021
FROM:	Michelle E. Friedrich, Planning Technician
SUBJECT:	<i>Lot-in-Depth Setback Variance</i>

OWNERS

John and Loren Dixon
445 E. Wisconsin Avenue
Lake Forest, IL 60045

PROPERTY LOCATION

445 E. Wisconsin Avenue

ZONING DISTRICT

R-3 – Single Family Residence
40,000 minimum lot size

PROJECT REPRESENTATIVE

Peter Witmer, architect

SUMMARY OF REQUEST

This request is for approval of a lot-in-depth setback variance to allow construction of two small, single story additions within the required setback. A lot-in-depth property is defined as a property that does not meet the minimum street frontage, in this case, 125 feet, for the zoning district. The 445 E. Wisconsin Avenue property is 65 feet wide at the street. Due to the lot-in-depth nature of the property, the 40 foot front yard setback applies from all property lines for the home.

The property that is the subject of this petition is located on the east side of Wisconsin Avenue, north of Scott Street. The property was created through the Charles M. Rush Subdivision, recorded in 1973. The house predates the subdivision. The house was constructed in the 1901 as a coach house to a larger estate and today is adaptively reused as a single family residence.

The owner has been issued an interior demolition permit for some exploratory work that is not contingent upon this variance request.

FACTS

Compliance/Non-Compliance with Key Code Requirements

- ❖ The proposed project complies fully with the Building Scale requirements.
- ❖ The existing residence does not conform to the current lot-in-depth setback requirements and did not conform at the time the City approved the subdivision that created the lot.
- ❖ The property is a lot-in-depth, that is, a property that does not have the minimum street frontage required by the applicable zoning district. The front yard setback is applied to all sides of a lot-in-depth, in this case 40 feet.
- ❖ The proposed additions and a new air conditioning unit require a variance from the 40 foot lot-in-depth setback on the north side.

- ❖ The lot does not meet the minimum lot size requirement for the R-3 zoning district but was approved by the City through the subdivision in 1973.
- ❖ The lot does not meet the minimum lot width requirement for the R-3 zoning district and therefore, as noted above, is a lot in depth.

Physical, Natural or Practical Difficulties

- ❖ The non-conforming nature of the existing house was created by changes in Zoning Code after the approval of the subdivision.

STAFF EVALUATION

This property is located within the R-3 zoning district and given the lot-in-depth nature of the property, a 40 setback is required from all four property lines for the residence. As stated above, the lot does not conform to the current minimum lot size or minimum lot width requirements. The proposed single story additions, along the north side of the existing residence, will not encroach any further into the 40 foot setback than the existing residence does, at the closest point, 14'8", including the eave. There are existing air conditioning units on the north side of the existing residence that will remain and an additional air conditioning unit is proposed to be added, generally in the same place as one of the units. The requested variance will address the non-confirming air conditioning units and the additional unit that is proposed.

This residence was constructed as a coach house in 1901, prior to subdivision of the property. As noted above, this property was created through a subdivision that was approved by the City in 1973, prior to the adoption of the lot-in-depth setback requirements that are in place today, creating the need for a setback variance.

Approximately half of the existing residence is in the lot-in-depth setback along the north property line. The proposed additions are single story in nature, in keeping with the existing house and do not extend further than the existing house does toward the north property line. The additions serve to "fill in" space between two areas of the main mass of the residence that extend to the north. Along the north property line there is landscaping both on the subject property and on the neighboring property, and a solid fence on the property line. In addition, the driveway and garage serving the property to the north are closest to the proposed additions, the neighboring home is further away.

FINDINGS OF FACT

Based on review of the information submitted by the petitioners and an analysis of this request based on applicable portions of the Zoning Code, staff submits the following findings.

1. The requested setback variance will not alter the essential character of the neighborhood as the additions face a landscaped area which screens views of the additions from the neighboring property to the north. The proposed additions do not extend further than existing portions of the residence and are not visible from the streetscape.
2. The conditions upon which the variance is requested are generally unique to this property and not applicable to other properties in the same zoning district due to the fact that the original coach house which today is adaptively reused as a single family residence, was existing at the time of the subdivision and the City approved the subdivision and specifically the configuration of this lot with knowledge of the siting of the house in relation to the property line.

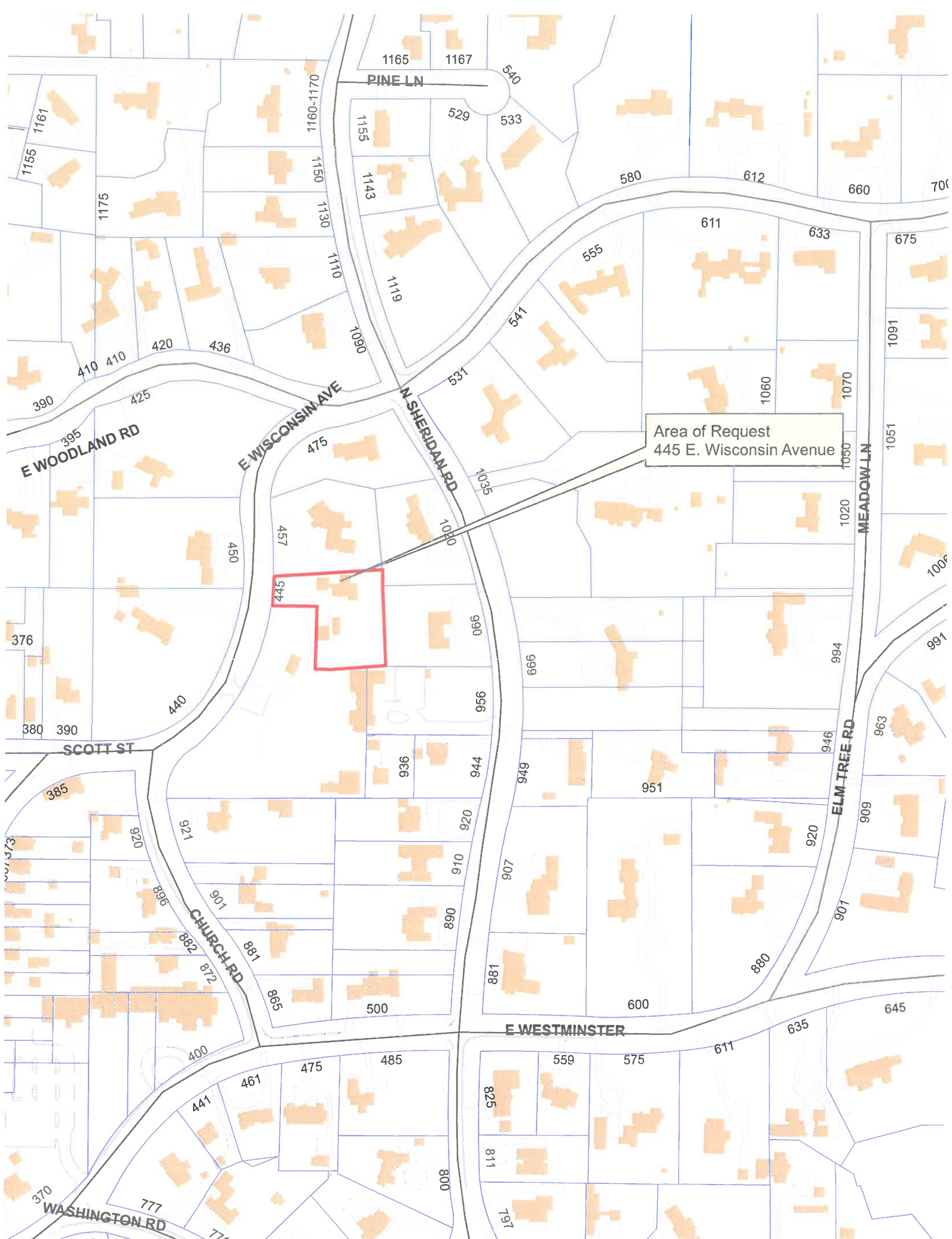
3. The hardship in conforming to the lot-in-depth setback requirements results from the adoption of lot-in-depth Code provisions after the property was subdivided which occurred after the structure was constructed. The application of the R-3 zoning district to the property also occurred after the original structure was constructed and after the property was created through a subdivision approved by the City.
4. The variance will not impair light or ventilation to adjacent properties to any greater extent than exists today, increase congestion, endanger public safety, or diminish property values. The proposed additions are small, a single story in height and well screened from the neighboring property to the north.

PUBLIC COMMENT

Standard public notice of this request was provided by the City to surrounding property owners. Notice was also provided in the Lake Forester and the agenda was posted at five public locations and on the City's website. As of the date of this writing, no correspondence has been received.

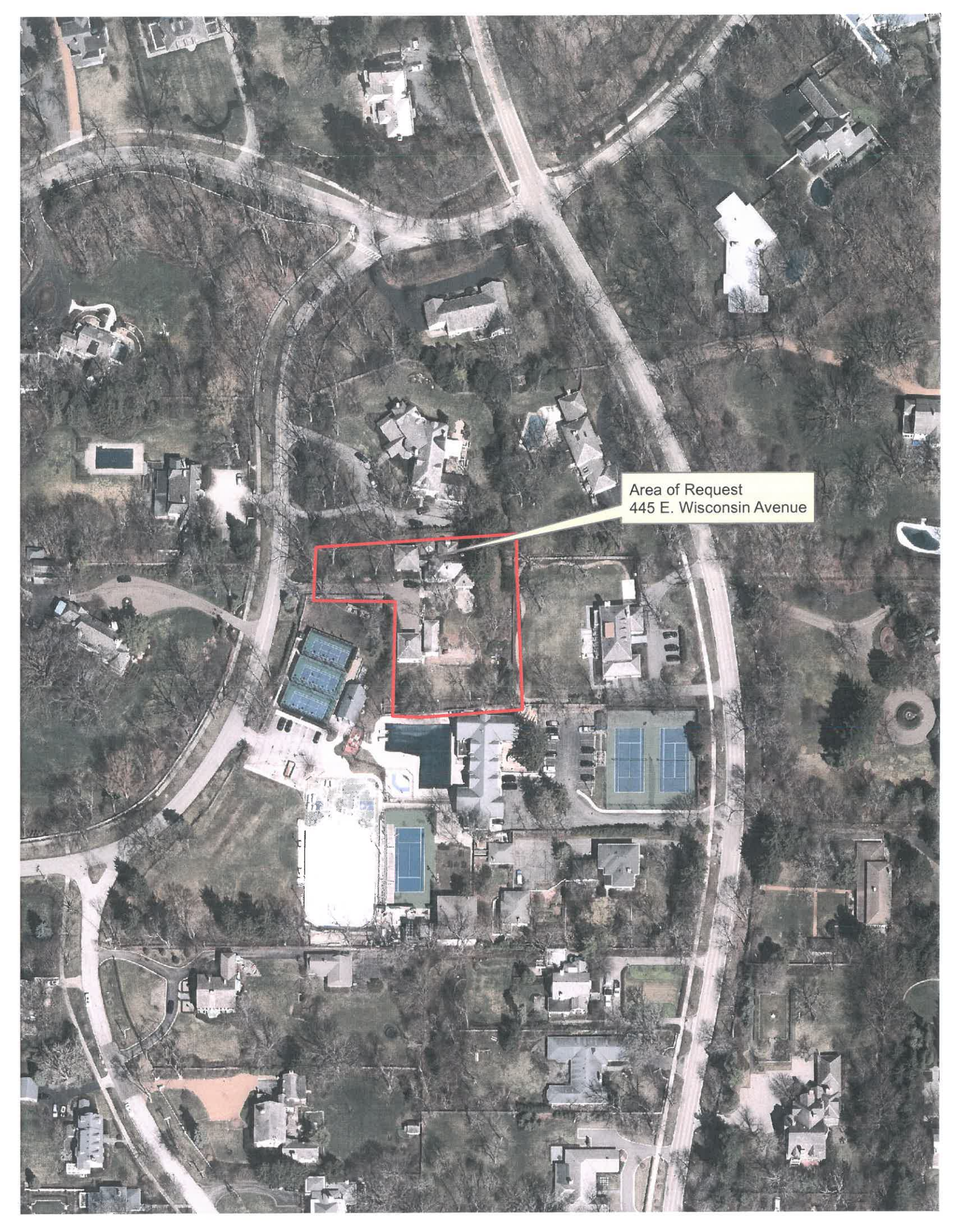
RECOMMENDATION

Based on the findings presented above, recommend approval to the City Council of a variance from the lot-in-depth setback requirement to allow construction of additions no closer than 14'8" to the north property line and placement of a new air conditioning unit no closer than 16 feet from the north property line consistent with the site plan submitted to the Board





Area of Request
445 E. Wisconsin Avenue

An aerial photograph of a residential neighborhood. A red rectangular outline highlights a specific area in the center of the image. A yellow callout box with a pointer indicates this area. The neighborhood features several houses, some with swimming pools, and a few tennis courts. A road runs diagonally across the right side of the image. The trees are mostly bare, suggesting a cooler season.

Area of Request
445 E. Wisconsin Avenue



THE CITY OF LAKE FOREST
ZONING BOARD OF APPEALS APPLICATION OF ZONING VARIANCE

PROJECT ADDRESS 445 E. WISCONSIN
ZONING DISTRICT R 3

Property Owner (s) Name JOHN & LOREN DIXON
(may be different from project address) Address 445 E. WISCONSIN
Phone _____ Fax _____
Email _____

Applicant/Representative Name PETER WITMER
Title PRES. WITMER & ASSOC
(if different from Property Owner) Address 1000 N. WESTERN AVE.
Phone 847 208-5240 Fax _____
Email PWITMER@WITMERANDASSOC.COM

Beneficial Interests

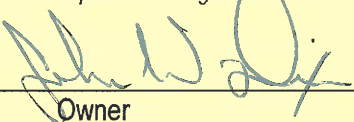

Corporation ☐ See Exhibit A
Partnership ☐ See Exhibit B
Trust, land or other ☐ See Exhibit C

Staff Reports are Available the Friday before the Meeting

Email Report:	Owner	<input type="checkbox"/>	Representative	<input type="checkbox"/>
Fax Report:	Owner	<input type="checkbox"/>	Representative	<input type="checkbox"/>
Pick Up Report:	Owner	<input type="checkbox"/>	Representative	<input type="checkbox"/>

Signatures

I have read the complete application packet and understand the variance process and criteria. I understand that this matter will be scheduled for a public hearing when a determination has been made that my application is complete.

 Owner	<u>Jan. 12, 2021</u> Date
 Owner	<u>Jan. 12, 2021</u> Date
Applicant/Representative	Date

445 WISCONSIN

LAKE FOREST

January 28, 2021

Statement of Intent - Zoning board of Appeals

We are asking for a side yard variation for the existing home that was a carriage house to the home to the north. It was conforming when subdivided in the 70's and became non conforming when the zoning law was changed in the 90's. One half of the existing home is in the setback. We have conformed to the previous setback of 15' which is required in the R-3 zoning. The bedroom addition is 16.75' from the side yard and the laundry Mudroom is 19.5'.

In remodeling this existing home a need to add an owners bedroom, bathroom and walk-in closet to the home. The only option being on the first floor and this is the logical space to add so that the bath and closet can be located in the 90's addition. They also have a need for a first floor laundry and Mudroom which are located at the secondary entry to the home. We are raising that entry up to correct a drainage issue that occurs at this door.

BEARINGS ARE ASSUMED

PLAT OF SURVEY

LEGAL DESCRIPTION

LOT 4 IN CHARLES M. RUSH SUBDIVISION, BEING A SUBDIVISION OF LOT 47 AND PART OF LOTS 60 AND 61 IN LAKE FOREST IN THE SOUTHEAST 1/4 OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID CHARLES M. RUSH SUBDIVISION RECORDED NOVEMBER 30, 1973 AS DOCUMENT 1644603 IN BOOK 52 OF PLATS, PAGES 12 AND 13, IN LAKE COUNTY, ILLINOIS.

Commonly Known as: 445 EAST WISCONSIN LAKE FOREST, ILLINOIS.
PIN NO. 12-28-406-003

STATE OF ILLINOIS)
COUNTY OF DU PAGE) S.S.)

I GREGORY L. POWELL, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS A CORRECT REPRESENTATION OF A SURVEY PERFORMED AT AND UNDER MY DIRECTION. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

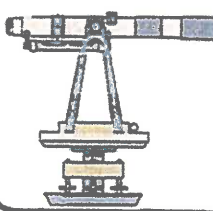
ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS 21ST DAY OF SEPTEMBER, A.D. 2004. MY LICENSE EXPIRES 1/30/2004

GREGORY L. POWELL
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3187

ORDER NO.	04-1695
Drawn by	NDV
Checked	GLP
Approved	GLP
Date	9/21/04
Scale	1" = 30'

Prepared for:
MORREALE, MACK & TERRY P.C.
449 Taft Avenue
Glen Ellyn, Illinois 60137

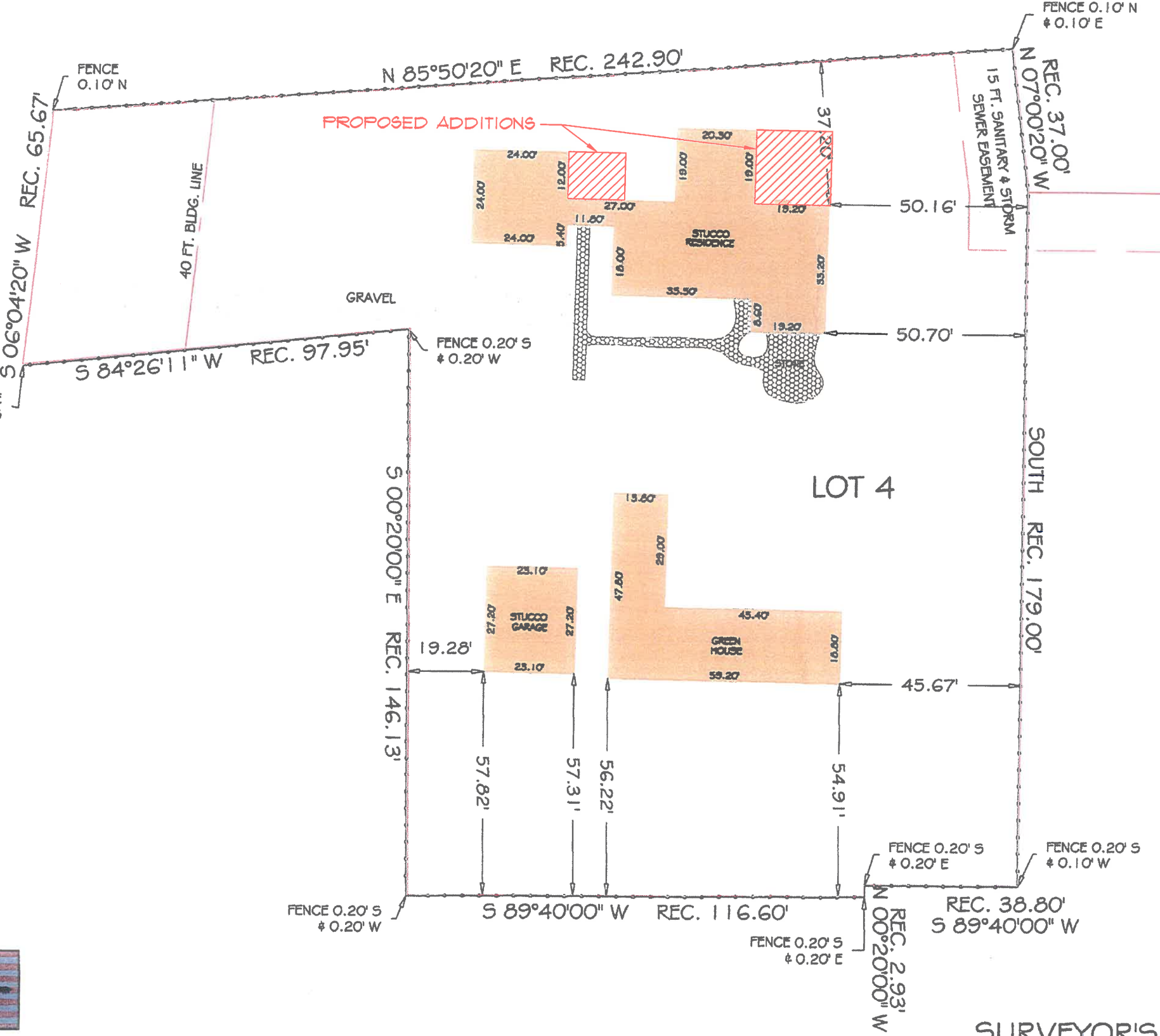


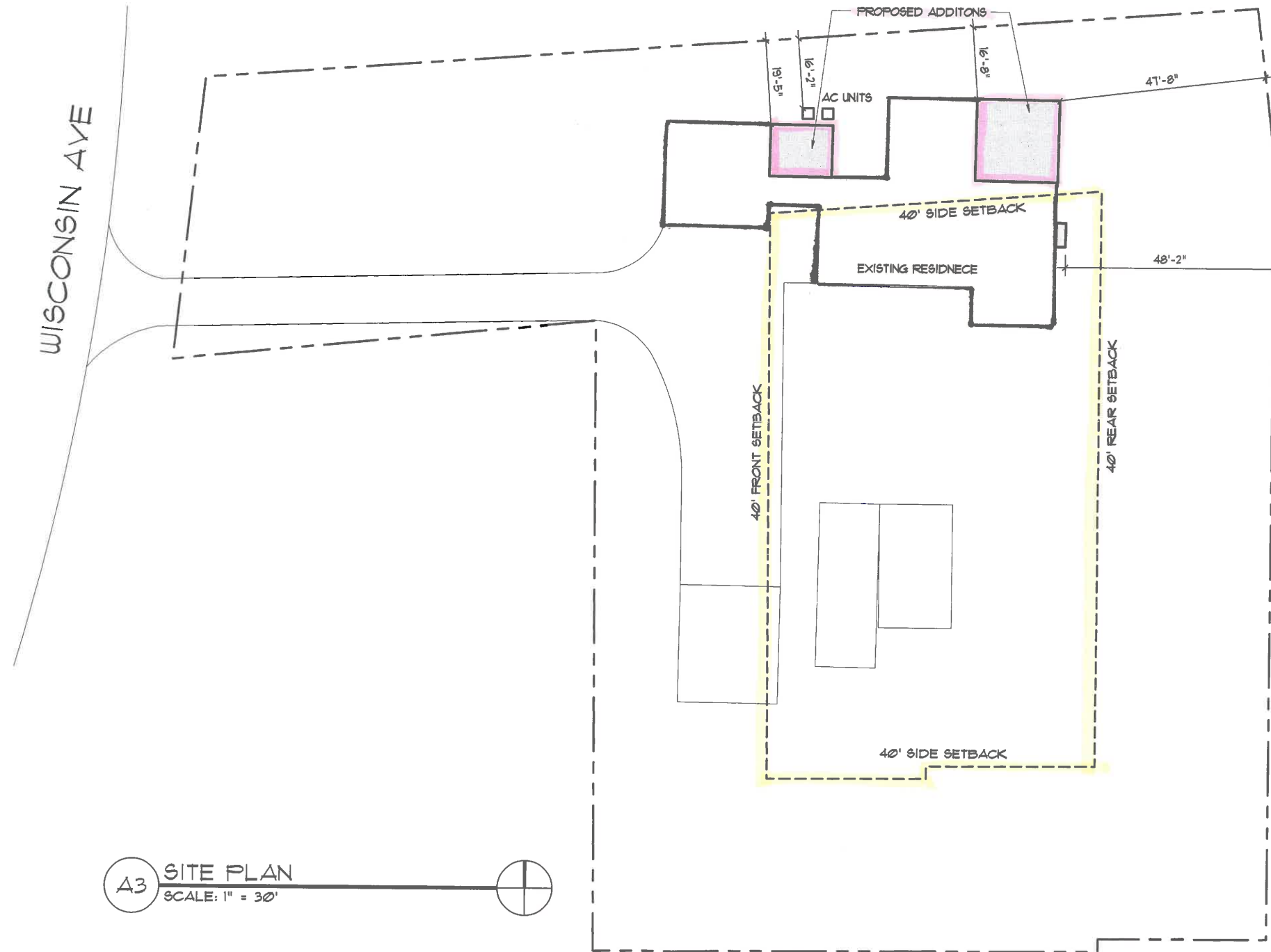
G. Powell & Associates Inc.
Professional Land Surveyors

5892 Chatsworth Court
Hanover Park, Illinois 60133
Phone (630) 540-2557
Fax (630) 540-2558

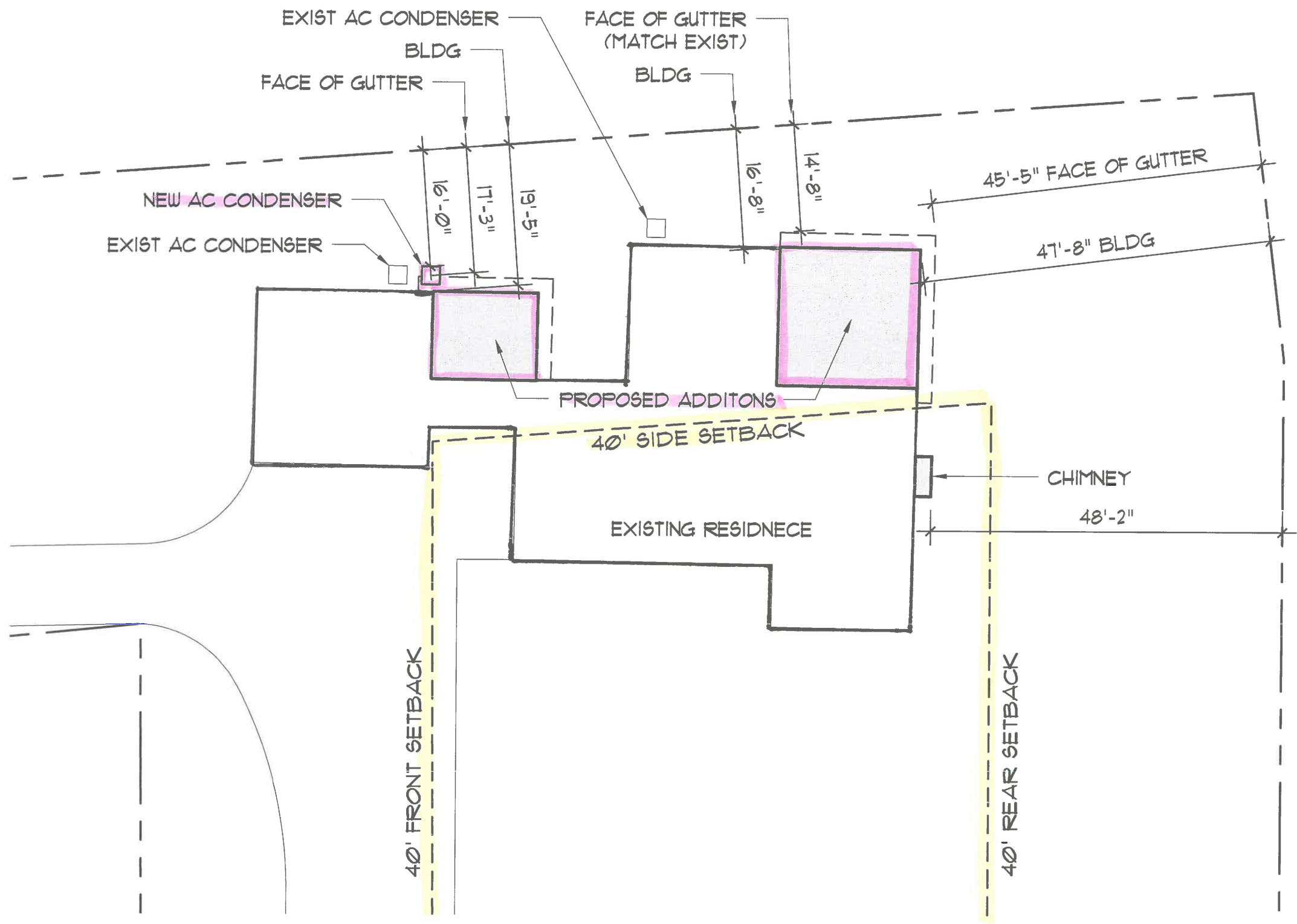
SURVEYOR'S NOTE:
IRON PIPES AT ALL PROPERTY CORNERS
UNLESS NOTED OTHERWISE

E. WISCONSIN





A3 SITE PLAN
SCALE: 1" = 30'



A3 SITE PLAN
SCALE: 1" = 20'-0"

W

1000 N. WESTERN AVE, LAKE FOREST IL 60045
847 234-5240

ADDITION & RENOVATION TO:
DIXON RESIDENCE
445 E WISCONSIN AVE
LAKE FOREST, ILLINOIS 60045

1. EXTERIOR DIMENSIONS ARE TAKEN FROM THE EXTERIOR FACE OF THE WALL AND EXTERIOR DIMENSIONS ARE FROM FACE OF GYI, BD.
2. INTERIOR PARTITIONS SHALL BE 2x4 STUDS AT 16" OC, w/ 1/2" TYPE "X" DRYWALL EACH SIDE UNLESS OTHERWISE NOTED (UNO.)
3. ALL DRYWALL TO BE 5/8" TYPE "X", W/ REINFORCED GYPSUM BACKER BOARD AT TILED LOCATIONS.
4. AT ENCLOSED ACCESSIBLE SPACES (UNDER STAIRS, INSTALL 1/2" TYPE "X" DRYWALL TO INTERIOR WALLS, AND ANY OTHER AREAS ON THE ENCLOSED SIDE OF STAIRS, ETC.
5. INSTALL 1/2" TYPE "X" DRYWALL UNDERSIDE OF ALL ENGINEERED FLOOR JOISTS WHERE EXPOSED.
6. PROVIDE ALL BLOCKING IN WALLS FOR MIRRORS, TOILET BARS, HILLHOOKS, AND ANY OTHER ITEMS REQUIRING BLOCKING.
7. ALL DOORS & WINDOWS TO HAVE MIN. 4" CASING UNDO, TYP.
8. ALL WINDOWS HAVING 36" MAX. RISE, TO BE 6 KG. 1/4 MIN. OPENING, 2x4 MIN. SILL, SILL HEIGHT 36" MAX. ASSE. TO BE 6" X 12" MIN. GRAVEL BASE W/ DRAIN CONNECTED TO FOOTING TIE A WELL, LADDER, 1 A MIN. INTERMEDIATE OR WEIGHT RATED COVER, GRATES COVERED TO BE UNSETTED AND REMOVABLE FROM THE INSIDE OF THE WELL.
9. STAIRS TO HAVE 7x4" MAX. RISERS, 16x16" MIN. TREADS, 1/2" MIN. UNDERSIDES MIN. TREAD THICK OF 6" x 4" MIN. POINT, MIN. TREAD THICK OF 16" MIN. x 4" POINT 1" FROM CONVERGING END OF TREAD.
10. STAIRS 16x16" RAILING x 24"-38" ABOVE TREAD NOBING ON AT LEAST ONE SIDE, INTERMEDIATE RAILS SPACED 4" x CLEAR SPACE BETWEEN MAX.
11. COORDINATE TRUSS/GUOST LOCATIONS W/ PLUMBING FIXTURE LOCATIONS.
12. ALL BATHROOM TUB AND SHOWER WALL FINISHES TO BE INSTALLED OVER 1/2" INTERIOR GYPSUM BACKER BOARD, INSULATE AND DRYWALL EXTERIOR WALLS BELOW ALL TUBS AND SHOWER SEATS, PROVIDE ONE-HOUR FIRE RATING FOR ALL TUBS AND SHOWER DISCS, ALL GLAZING AT TUBS AND SHOWERS SHALL BE SAFETY TYPE.
13. ALL COMMON BEDROOM WALLS & PLUMBING WALLS TO BE FILLED W/ HIGH DENSITY SOUND BATT INSULATION.
14. THE BUILDING ENCLOSURE COMPONENTS ARE TO BE INSTALLED AND TESTED PER SECTION R402.4 OF THE IECC.
15. ALL WINDOWS & DOORS TO HAVE MIN. U-FACTOR & MIN. R-10 SHGC, AIR INFILTRATION RATES FOR WINDOWS, SKYLIGHTS, & SLIDING GLASS DOORS SHALL NOT EXCEED 0.3 CFM/FT², AND SUNGLASS DOORS SHALL NOT EXCEED 0.5 CFM/FT².
16. ALL DRAFTSTOPPING AND FIRESTOPPING SHALL BE COMPLETED PRIOR TO THE ROUGH-IN INSPECTION.
17. BUILDING THERMAL INSULATION SHALL BE IDENTIFIED IN ACCORDANCE WITH SECTION R303.0 OF THE IECC.
18. ALL ATTIC ACCESS DOORS & PANELS ARE TO BE WEATHERSTRIPPED AND INSULATED TO EQUAL OR GREATER VALUE THAN THAT OF ADJACENT CONSTRUCTION IN ACCORDANCE WITH IECC SECTION R402.2.4

FOUNDATIONS

- ALL SOIL SUPPORTED FOOTINGS SHALL BE FOUNDED UPON UNDISTURBED, NATURAL SUBGRADE WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 3000 PSF.
- ALL ORGANIC AND/OR OTHER UNSUITABLE MATERIALS SHALL BE REMOVED FROM SUBGRADE AND BACKFILL AREAS AND BACKFILLED WITH SELECT FILL COMPACTED TO 98 PERCENT OF STANDARD PROCTOR (ASTM D1557) MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
- DO NOT UNDERMINE EXISTING CONSTRUCTION.
- PLACE BACKFILL SIMULTANEOUSLY ON BOTH SIDES OF FOUNDATION WALLS.
- ALL PERIMETER WALL, AND COLUMN FOOTINGS SHALL BEAR A MINIMUM OF 3'-6" BELOW FINISHED GRADE.

CONCRETE & REINFORCEMENT

- CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE "AMERICAN CONCRETE INSTITUTE" MINIMUM CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 308), SPECIFICATIONS FOR STRUCTURAL CONCRETE (ACI 308.1) & THE CRSI MANUAL OF STANDARD PRACTICE.
- UNLESS NOTED OTHERWISE, CONCRETE SHALL BE NORMAL WEIGHT CONCRETE AND SHALL DEVELOP 3000 PSI COMPRESSIVE STRENGTH IN 28 DAYS, 4000 PSI COMPRESSIVE STRENGTH FOR SLABS ON GROUND.
- ADHESIVE ANCHORS SHALL BE MANUFACTURED BY MILT OR EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- UNLESS NOTED OTHERWISE, REINFORCEMENT SHALL CONFORM TO ASTM SPECIFICATION A615, GRADE 60.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM SPECIFICATION A950.
- LA PL WELDED WIRE FABRIC TWO FULL MESH LENGTHS AT SIDE AND END LAPS (WIRE TOGETHER).
- UNLESS NOTED OTHERWISE, MINIMUM LA PL LENGTHS SHALL BE 36 BAR DIAMETERS.

STRUCTURAL STEEL

- STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC "LOAD AND RESISTANCE FACTOR DESIGN" SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS, AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".
- STRUCTURAL STEEL SHAPES AND PLATES SHALL CONFORM TO ASTM A36, UNLESS NOTED OTHERWISE. HOT FORMED STEEL TUBING SHALL CONFORM TO ASTM A500. ALL FORMED STEEL SHALL CONFORM TO ASTM A500, GRADE C. STRUCTURAL STEEL PIPE SHALL CONFORM TO ASTM A53. ANCHOR BOLTS SHALL BE ASTM A307 1" DIAMETER, 8' LONG, UNLESS NOTED OTHERWISE.
- BOLTS, NUTS AND WASHERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A307.
- WELDING SHALL CONFORM TO AISC D11 "STRUCTURAL WELDING CODE", LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70XX.
- THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES UNLESS THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT.

STRUCTURAL TIMBER

- ALL MATERIAL, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE TIMBER CONSTRUCTION STANDARDS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION OF THE AMERICAN FOREST AND PAPER ASSOCIATION.

MATERIALS

- WALL LINER AND TIMBER**

SOAKED LUMBER

HEMI-PIR OR SPRUCE-PIR-FIR, No. 2

100,000,000 PSI
- MODULUS OF ELASTICITY,**

MINIMUM WORKING STRESS DRY USE CONDITION:

EXTREME FIBER IN BENDING, SINGLE MEMBER, F_b 175 PSI

EXTREME FIBER IN BENDING, REPETITIVE MEMBER, F_b 160 PSI

TENSION PARALLEL TO GRAIN, F_t 3040 PSI

COMPRESSION PARALLEL TO GRAIN, F_c 15000 PSI

COMPRESSION PERPENDICULAR TO GRAIN, $F_{c\perp}$ 330 PSI

HORIZONTAL SHEAR, V 150 PSI
- PLYWOOD**

GRADE

ROOF SHEATHING - GRADE A

FLOOR SHEATHING - GRADE B

WALL SHEATHING - GRADE C

WALL SHEATHING - GRADE D

WALL SHEATHING - GRADE E

WALL SHEATHING - GRADE F

WALL SHEATHING - GRADE G

WALL SHEATHING - GRADE H

WALL SHEATHING - GRADE I

WALL SHEATHING - GRADE J

WALL SHEATHING - GRADE K

WALL SHEATHING - GRADE L

WALL SHEATHING - GRADE M

WALL SHEATHING - GRADE N

WALL SHEATHING - GRADE O

WALL SHEATHING - GRADE P

WALL SHEATHING - GRADE Q

WALL SHEATHING - GRADE R

WALL SHEATHING - GRADE S

WALL SHEATHING - GRADE T

WALL SHEATHING - GRADE U

WALL SHEATHING - GRADE V

WALL SHEATHING - GRADE W

WALL SHEATHING - GRADE X

WALL SHEATHING - GRADE Y

WALL SHEATHING - GRADE Z

WALL SHEATHING - GRADE AA

WALL SHEATHING - GRADE AB

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WALL SHEATHING - GRADE BA

WALL SHEATHING - GRADE BB

WALL SHEATHING - GRADE BC

WALL SHEATHING - GRADE BD

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WALL SHEATHING - GRADE BF

WALL SHEATHING - GRADE BG

WALL SHEATHING - GRADE BH

WALL SHEATHING - GRADE BI

WALL SHEATHING - GRADE BJ

WALL SHEATHING - GRADE BK

WALL SHEATHING - GRADE BL

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WALL SHEATHING - GRADE BO

WALL SHEATHING - GRADE BP

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WALL SHEATHING - GRADE BV

WALL SHEATHING - GRADE BW

WALL SHEATHING - GRADE BX

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WALL SHEATHING - GRADE BZ

WALL SHEATHING - GRADE CA

WALL SHEATHING - GRADE CB

WALL SHEATHING - GRADE CC

WALL SHEATHING - GRADE CD

WALL SHEATHING - GRADE CE

WALL SHEATHING - GRADE CF

WALL SHEATHING - GRADE CG

WALL SHEATHING - GRADE CH

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WALL SHEATHING - GRADE EQ

WALL SHEATHING - GRADE ER

WALL SHEATHING - GRADE ES

WALL SHEATHING - GRADE ET

WALL SHEATHING - GRADE EU

WALL SHEATHING - GRADE EV

WALL SHEATHING - GRADE EW

WALL SHEATHING - GRADE EX

WALL SHEATHING - GRADE EY

WALL SHEATHING - GRADE EZ

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WALL SHEATHING - GRADE FJ

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WALL SHEATHING - GRADE FM

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WALL SHEATHING - GRADE FO

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WALL SHEATHING - GRADE FR

WALL SHEATHING - GRADE FS

WALL SHEATHING - GRADE FT

WALL SHEATHING - GRADE FU

WALL SHEATHING - GRADE FV

WALL SHEATHING - GRADE FW

WALL SHEATHING - GRADE FX

WALL SHEATHING - GRADE FY

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WALL SHEATHING - GRADE GA

WALL SHEATHING - GRADE GB

WALL SHEATHING - GRADE GC

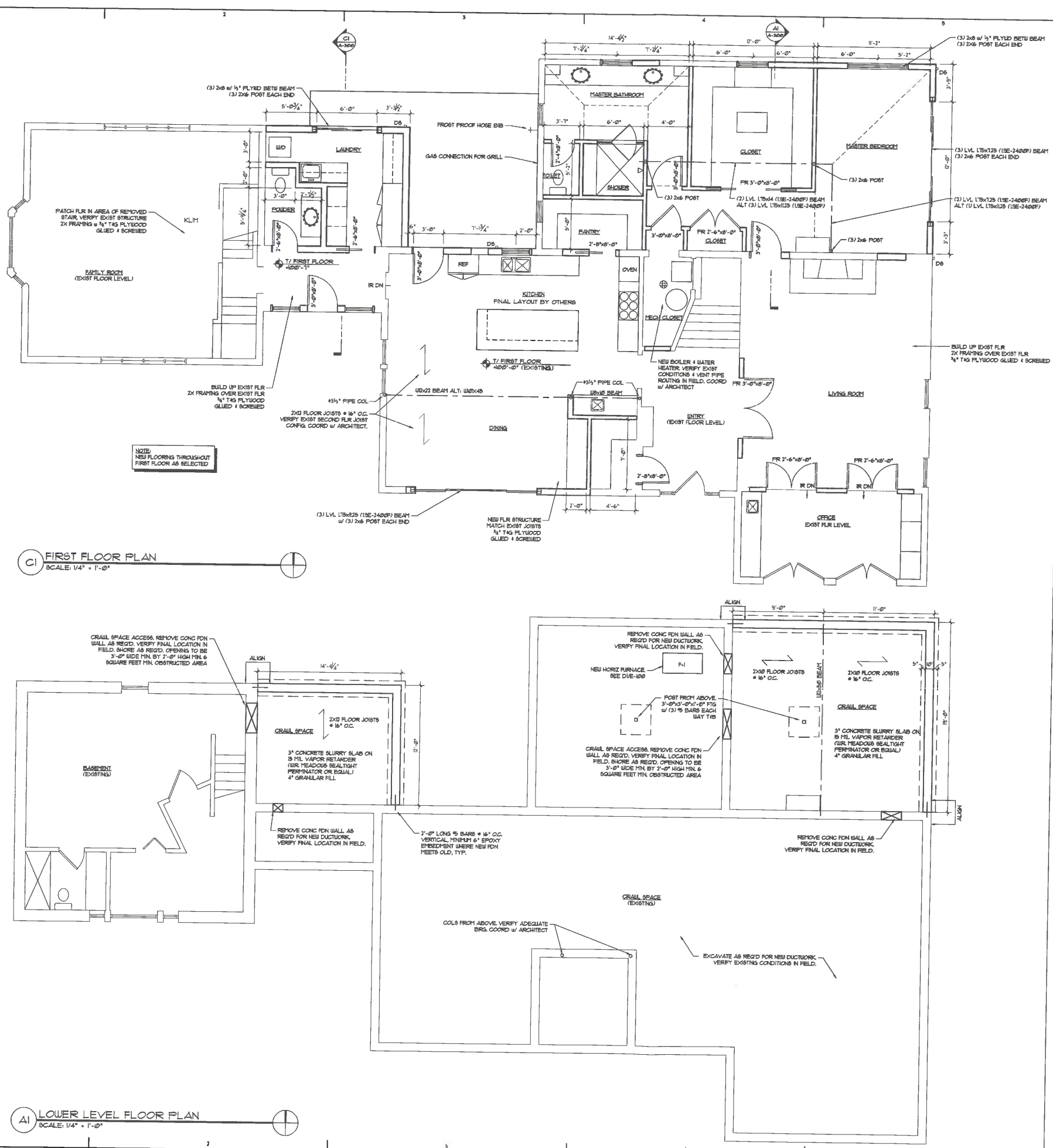
WALL SHEATHING - GRADE GD

WALL SHEATHING

[illegible]

SHEET NO.

A-100



W

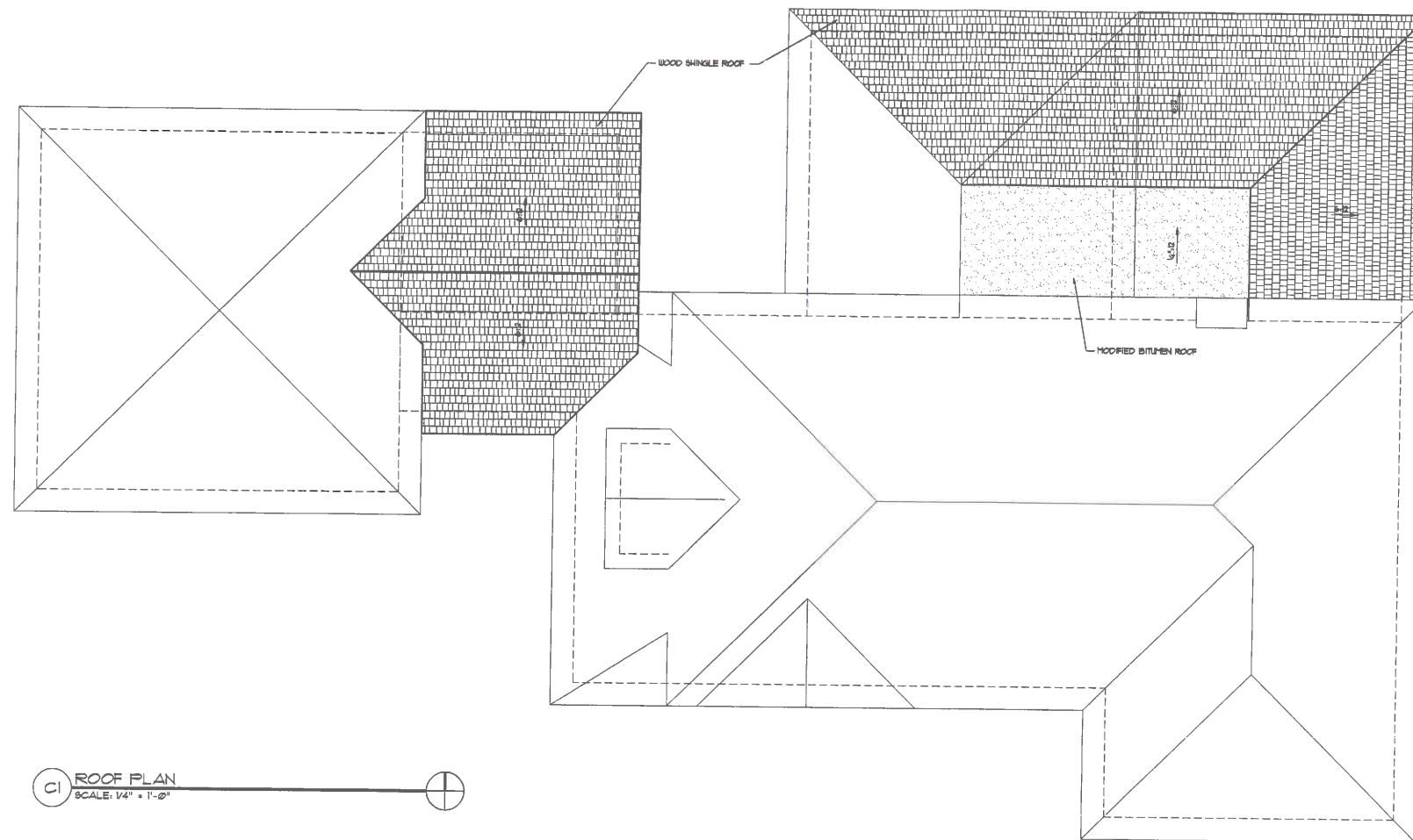
1000 N. WESTERN AVE, LAKE FOREST IL 60045
847 234-5240

ADDITION & RENOVATION TO:
DIXON RESIDENCE
445 E WISCONSIN AVE
LAKE FOREST, ILLINOIS 60045

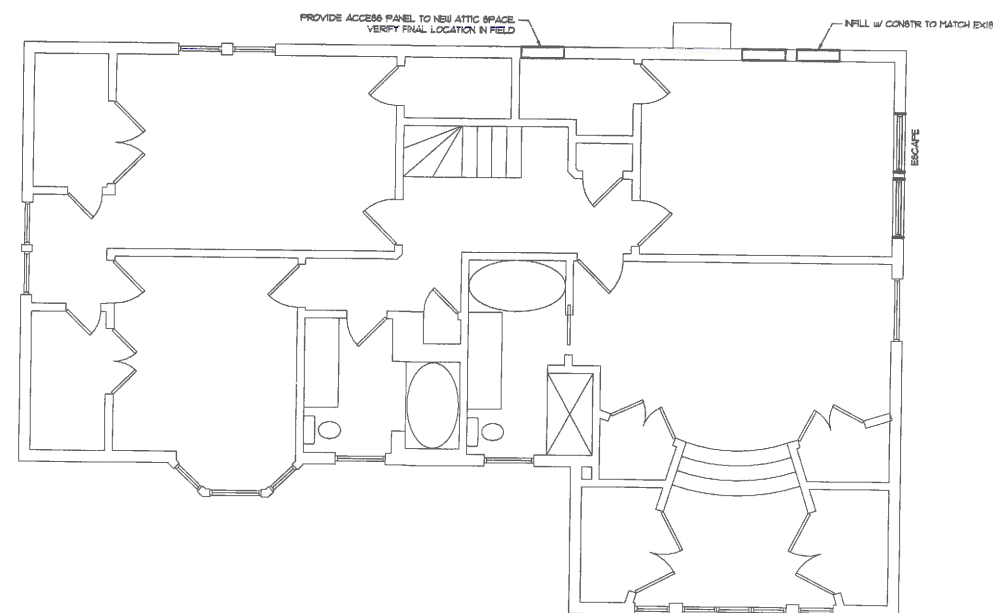
SHEET TITLE

SHEET NO:

1. WATERPROOF UNDERLAYMENT TO BE INSTALLED TO 24" MIN INSIDE INTERIOR WALL FACE, 36" FROM ALL ROOF INTERSECTIONS, INCLUDING BUT NOT LIMITED TO VALLEYS, ALL DORMER ROOFS, DORMER SIDE WALLS & ROOF VENTS.
2. PROVIDE FLASHING @ ALL SIDE WALLS OF DORMERS.
3. SHEET METAL FLASHING TYP. @ ALL VALLEYS, EAVES, ROOF & GUTTER INTERSECTIONS & WHERE NECESSARY @ REQUIRED.
4. CARPENTER TO COORDINATE ALL ROOF EAVE & OVERHANG DETAILS AND INTERSECTIONS. VERIFY w/ ARCHITECT ANY CONFLICTS AND/OR SPECIAL CONDITIONS.
5. PROVIDE SHEET METAL DRIP EDGE AT DORMER/ROOF WHERE NO GUTTERS ARE SHOWN OR SPEC'D.
6. COORDINATE w/ ARCHITECT THE LOCATIONS OF VENTS THROUGH THE ROOF.
7. THE TOTAL FREE VENTILATION AREA WILL BE A MIN. OF 1/300 OF THE TOTAL AREA OF THE SPACE TO BE VENTED. 50 PERCENT MIN. OF THE VENTILATION WILL BE IN THE UPPER PORTION OF THE SPACE AT LEAST 3'-6" ABOVE THE EAVE. THE REMAINING REQUIRED VENTILATION TO BE PROVIDED BY EAVE VENTS.



C1 ROOF PLAN
SCALE: 1/4" = 1'-0"



A1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

PHOTOGRAPHS



445 Wisconsin (subject property)



Northern Neighbor



440 Wisconsin



Winter Club