



MEMORANDUM

To: Chairman Grinnell and members of the Historic Preservation Commission

From: Catherine Czerniak, Director of Community Development
Abigail Vollmers, Senior Planner

Date: April 24, 2024

Subject: Process Follow-up for Approval of Synthetic Roofs in the Historic Districts and on Locally Landmarked Structures

Background

The Historic Preservation Commission was established in 1998 for the purpose of preserving, protecting, and enhancing properties and structures having historical value to the community and for other purposes as detailed in Chapter 155 of the City Code. The Commission focuses on preserving the integrity of the City's Historic Districts and Local Landmarks by evaluating petitions that come before it against the 17 Standards set forth in Chapter 155 of the City Code. The City also evaluates petitions for consistency with the Residential Design Guidelines which are incorporated into the Code by reference.

To preserve the historic integrity of the community, the Commission has consistently determined that the use of natural, historic, and traditional exterior materials is necessary to satisfy the 17 Standards. However, recognizing that exterior materials and construction methods evolve over time, the Commission, on an ongoing basis, considers information about and examines samples of new materials and methods and evaluates them against the 17 Standards to determine whether improvements in composition, character, texture, and visual quality, allow the new materials/methods to rise to the level of satisfying the 17 Standards. Specifically, in response to the present request, the Commission has conducted due diligence around synthetic roof products and a process for reviewing these types of requests is in place and specific characteristics that should be considered have been identified.

In response to recent public testimony, Staff conducted additional research including a discussion with the City of Boston, MA and reconnecting with other Illinois Northshore communities to get updates since the last contacts made. The following information directly responds to questions raised at the most recent Commission meeting.

City of Boston, MA – Boston Landmarks Commission

- The City of Boston Landmarks Commission has not banned the use of synthetic materials on landmarks including roofing materials. Most landmark changes (including materials) are reviewed on a case-by-case basis. Two highly restrictive historic districts, Beacon Hill and Back Bay, have not allowed non-traditional materials to date on the grounds that they are not an exact match, and cost is not a consideration. However other historic districts Highland Park, Aberdeen, and Bay Village, have allowed synthetic materials.

City of Evanston, IL – Preservation Commission

- The City of Evanston receives frequent synthetic roofing material requests. Evanston has approved synthetic slate, cedar, and clay tile roofs. Attitudes toward synthetic materials have shifted over the last few years as sustainability has begun playing a larger role in the conversation. The overarching City of Evanston approach is to maintain a flexible stance and consider synthetic materials based on the specifics of each case.

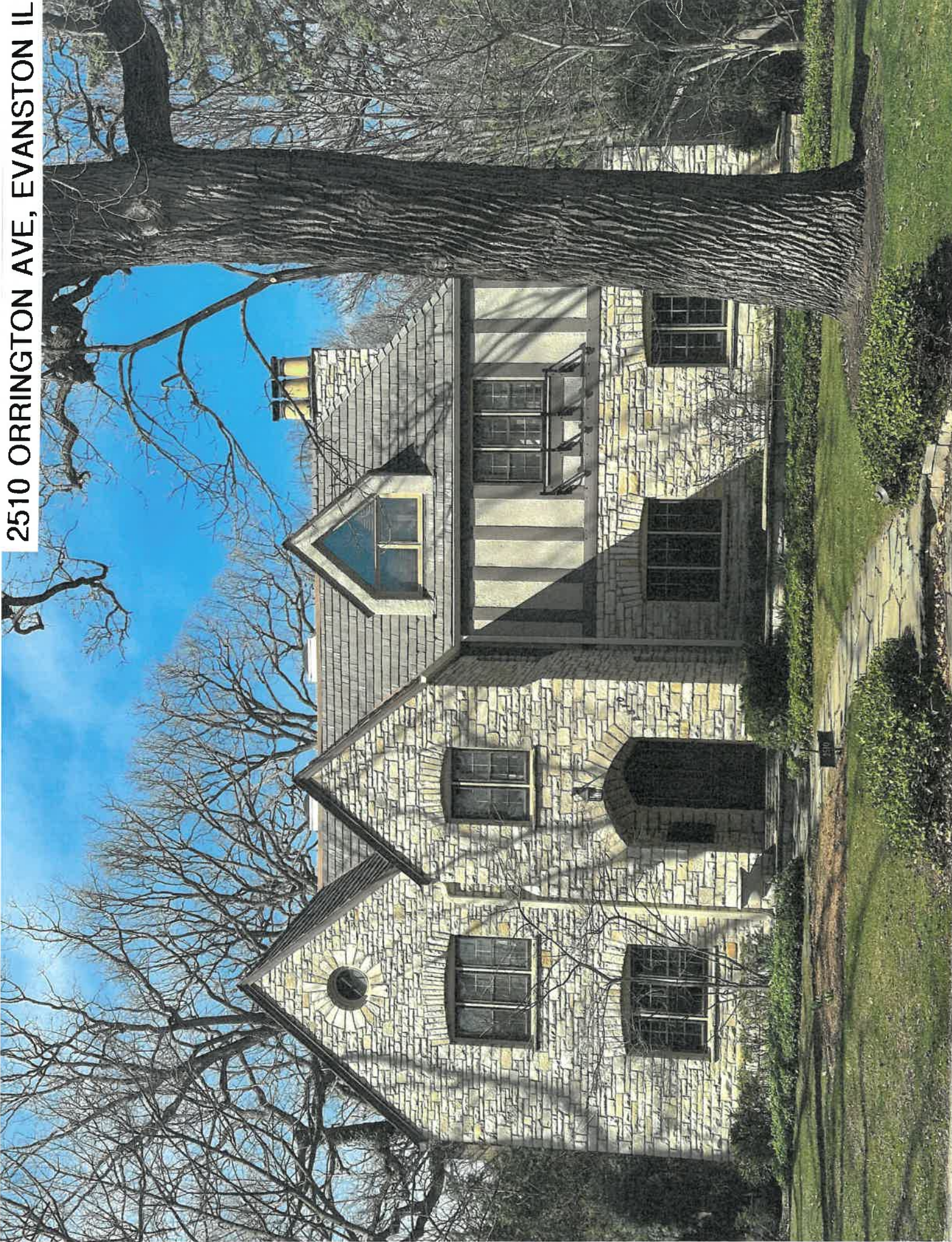
Upon receiving this information and viewing photos of the successful synthetic roof replacements they provided (photos of 2510 Orrington Avenue are included), staff went back to the US Department of the Interior, 16 Preservation Briefs, The Use of Substitute Materials on Historic Building Exteriors, to understand the approach for material appropriateness given a substitution. The following is an excerpt:

Choosing an Appropriate Substitute Material

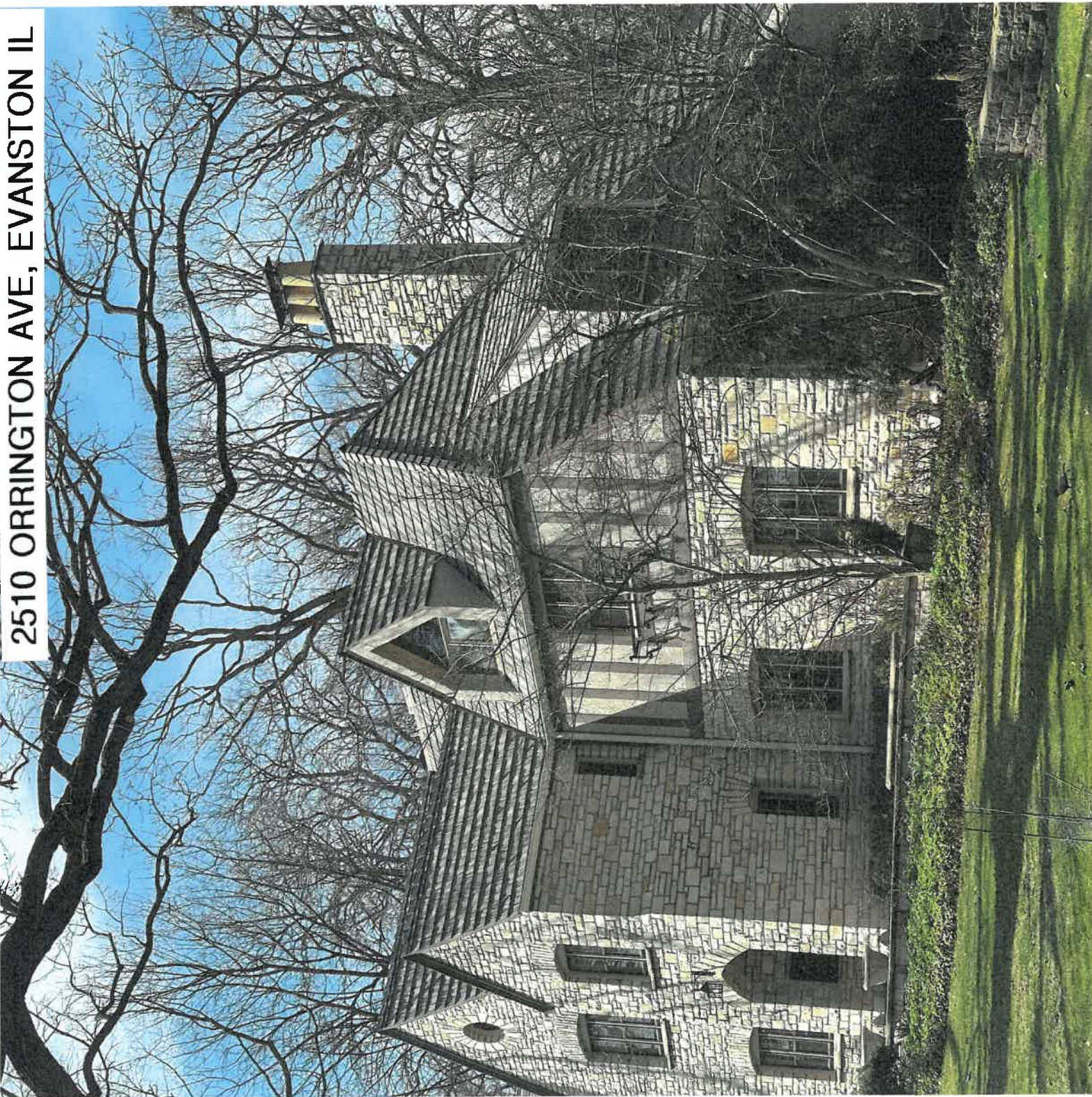
Once all reasonable options for repair and replacement in kind have been considered and sufficient justification for substitute materials has been established, the choice among the variety of substitute materials currently available must be made. Rapidly developing technologies allow a wide variety of materials to choose from that are intended to mimic historic materials. Many of the materials that were historically used as substitutes for more traditional historic materials have themselves become historic, and some of these early substitutes continue to be reasonable options as substitute materials today. No substitute material will exactly match the historic material in all aspects, but many are able to adequately match the appearance and relevant physical attributes to make for a potential substitute. If a substitute material is not an adequate physical and visual match given the specific conditions of the building and the project, then it should not be used to replace distinctive, character-defining materials and features.

The documents attached to this memorandum were developed based on the Commission's direction and concurrence at the last meeting and are now part of the City's process for evaluating requests for synthetic roof products. Both petitioners presenting requests have used these documents in preparation of their petitions.

2510 ORRINGTON AVE, EVANSTON IL



2510 ORRINGTON AVE, EVANSTON IL





Community Development Department
800 Field Drive • Lake Forest, IL 60045
www.cityoflakeforest.com

Synthetic Roof Products in the Historic Districts/Local Landmarks – *Process Determination*

This information packet is designed to guide property owners in the City's Historic Districts and owners of Locally Designated Landmarks through the process of considering and applying for approval to install a synthetic roof product.

Information on the review process, submittal requirements and standards for review of synthetic roof products is provided in this packet.

IS THE STRUCTURE ASSOCIATED WITH A SIGNIFICANT ARCHITECT IDENTIFIED ON THE SIGNIFICANT ARCHITECTS LIST APPROVED BY THE HISTORIC PRESERVATION COMMISSION OR IS IT A PROMINENT STRUCTURE IN THE HISTORIC DISTRICT?

- ☐ If **YES**, Historic Preservation Commission review is or may be required, please contact City staff to secure a place on an upcoming agenda and submit an application for Commission Review. Applications are available on the City's website: www.cityoflakeforest.com/HistoricPreservationCommission
- ☐ If **NO**, please submit an application for a building permit including all of the required submittal materials as detailed on the following page.



Synthetic Roof Products in the Historic Districts/Local Landmarks – *Application Submittal Checklist*

The required submittal materials are listed below.

- ☐ **APPLICATION** (Permit Application or Application for Commission review)
- ☐ **COMPLETED CHECKLIST**
- ☐ **SURVEY**
- ☐ **DESCRIPTION OF EXISTING ROOFING MATERIAL**
 - Material
 - Thickness
 - Color
- ☐ **SAMPLE OF PROPOSED MATERIAL AND COLOR**
 - Shingle
 - Ridge and end Caps
- ☐ **PRODUCT SPECIFICATIONS**
 - Texture
 - Composition
 - Color (monotone or variation)
 - Finish
- ☐ **INSTALLATION METHOD**
 - Drawing indicating how product will be applied to front facing gables with visible edges, if any
- ☐ **FLASHING**
 - Material
 - Color
- ☐ **PHOTOS OF HOUSING INCLUDING PHOTOS FROM STREETScape**
- ☐ **ADDRESSES OF PROPERTIES WHERE PROPOSED PRODUCT IS INSTALLED** (same color, texture and characteristics)
- ☐ **LANDSCAPE ENHANCEMENT PLAN**
 - If house is prominent on the streetscape and views of the roof are not softened by landscaping

Please contact Abigail Vollmers, Senior Planner, for assistance and additional information.

vollmersa@cityoflakeforest.com or 847-810-3505

Last Updated: March 22, 2024



Synthetic Roof Products in the Historic Districts/Local Landmarks – *Review Standards*

Synthetic roof products will be evaluated based on the following standards.

- ☐ **THICKNESS OF PROPOSED MATERIAL IN COMPARISON TO THE PRE-EXISTING ROOF MATERIAL**
- ☐ **THICKNESS OF PROPOSED MATERIAL IN COMPARISON TO THE MATERIAL IT IS INTENDED TO IMITATE**
- ☐ **MATTE FINISH**
- ☐ **SOFT/LIGHT TONE – AVOID STARK COLORS THAT CALL ATTENTION**
- ☐ **COMPOSITION OF THE ROOF MATERIAL INCLUDES SOME NATURAL MATERIALS (limited materials are acceptable)**
- ☐ **IMITATION SLATE IS RECOMMENDED OVER IMITATION WOOD IF SUPPORTED BY THE ARCHITECTURAL STYLE OF THE RESIDENCE**
- ☐ **FLASHING COLOR BLENDS WITH AS OPPOSED TO CONTRASTS WITH THE COLOR OF THE ROOFING PRODUCT**
- ☐ **VARIATION IN PRODUCT – COLOR, WIDTH**
- ☐ **VARIATION ALONG STREETScape – MUST BE SOME DISTINCTION FROM ROOFS ON ADJACENT PROPERTIES**
- ☐ **ADEQUATE LANDSCAPING EXISTS ON THE STREETScape SIDE OF THE RESIDENCE TO SOFTEN PROMINENCE OF ROOF FROM THE STREETScape OR, A LANDSCAPE PLAN IS PROVIDED DETAILING ADDITIONAL PLANTINGS PROPOSED TO OVER TIME, SOFTEN THE PROMINENCE OF THE SYNTHETIC ROOF PRODUCT FROM THE STREETScape**

Agenda Item 3
333 East Woodland Road
Replacement Roof with Synthetic Shingles

Staff Report
Vicinity Map
1959 Historic Photo
2024 Current Photo
1959 Real Estate Listing

Materials Submitted by Petitioner

Application
Plat of Survey
Statement of Intent
Proposed Roofing Material
Installation Method
Addresses with Installed Material
Streetscape
Product Installation Images
Appendix

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grinnell and members of the Historic Preservation Commission
DATE:	April 24, 2024
FROM:	Abigail Vollmers, Senior Planner
SUBJECT:	333 East Woodland Road – Proposed Roof Replacement with Non-Historic Synthetic Material

Petitioners

Mary Therese and Greg
Williams
333 Woodland Road
Lake Forest, IL 60045

Property Location

333 Woodland Road

Historic Districts

East Lake Forest Local &
National Register Historic
District

Project Representative

Mary Therese Williams, property owner

Summary of the Petition

The petitioners are requesting a Certificate of Appropriateness to allow replacement of the existing cedar shingle roof on a Contributing Structure in the Historic District with a synthetic material.

Description of Property and Surrounding Area

The property is located on the south side of Woodland Road, just east of the point where Edgewood Road intersects Woodland Road. This property represents a transition between the smaller and narrower lots to the west and the more expansive lots to the east. This property has a strong streetscape presence at the edge of the Historic District and the residence, in particular, the front elevation is highly visible and prominent.

Historically, the residence is known as the V. P. Straw House. The residence was constructed in 1928 in the Colonial Revival style on Lot 1 of the C.H. Lawrence Subdivision. The residence is identified as a Contributing Structure to the Historic District not only because of its age, but also due to the high quality of the overall design, the materials used in construction, and the level of craftsmanship.

- The residence underwent significant repairs and restoration of both the interior and exterior after a fire in 1959.
- In 1964, a permit was issued to re-roof the house with asphalt shingles. Based on the fact that the permit did not specify a change in roofing material, the pre-existing roof material at that time was likely asphalt. Historically, asphalt shingles were used on many homes in the Historic District and continue to be used today. Asphalt shingles are a traditional material that exists throughout the Historic District in the area surrounding this home.

- In 2000, a previous owner added low stone walls to the front of the house and re-landscaped the grounds removing several large trees from the northeast corner of the lot.
- In June 2001, a permit was issued to replace the asphalt roof with a cedar shingle roof, this change can be considered a substitute material given that it changed an original material on the house. While cedar shingles are also a traditional material that exists throughout the Historic District and in the area surrounding of this home, they were not original to this structure.

Staff Evaluation

In considering applications for a Certificate of Appropriateness, the Commission is charged with applying the 17 Standards in the Historic Preservation chapter of the City Code. In the case of this petition, only a limited number of the Commission's standards apply. The applicable standards are highlighted below.

Findings

A staff review of the Historic Preservation standards in the City Code is provided below. As appropriate, findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height

This standard is not applicable to the petition. No changes are proposed to the height of the house.

Standard 2 – Proportion of Front Façade

This standard is not applicable to the petition. No changes are proposed to the proportions of the front façade.

Standard 3 – Proportion of Openings

This standard is not applicable to the petition. No changes are proposed to the proportions of the openings.

Standard 4 Rhythm of Solids to Voids

This standard is not applicable to the petition. No changes are proposed to the rhythm of solids to voids.

Standard 5 – Spacing on the Street

This standard is not applicable to the petition. No changes are proposed to the size or mass of the home, there is no change to the spacing of structures on the streetscape.

Standard 6 – Rhythm of Entrance Porches

This standard is not applicable to the petition. No changes are proposed to the entrance to the home.

Standard 7 – Relationship of Materials and Texture - The relationship of the materials and texture of the facade shall be visually compatible with the predominant materials used in the structures to which it is visually related.

The continual evolution of synthetic roofing materials and installation practices drive the overall look and feel of the synthetic products closer to the visual characteristics of the natural material it seeks to replicate. When this house was re-roofed with cedar shingles, replacing the earlier asphalt shingles, the relationship of the roof material to the texture of the front façade changed somewhat however the change to the roof material did not diminish the prominence and historic impact of the front façade on the streetscape. The proposed use of a high quality, carefully selected and installed synthetic product will follow the pattern already established on this house with the roof material evolving over time. In addition, a carefully selected synthetic product will generally be visually compatible with the range of roof materials both in and outside of the Historic District since this property sits at the outer edge of the District.

Standard 8 – Roof Shapes.

This standard is not applicable to the petition. No changes are proposed to the roof shapes of the home.

Standard 9 – Walls of continuity – Facades, sites, and structures shall, when it is characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects and places to which such elements are visually related.

This standard can be met. The proposed synthetic roof product may be distinguishable as a manufactured product along the streetscape to the trained eye but with a carefully selected and installed synthetic product, visual similarity to a natural cedar roof can be achieved. The houses in the surrounding area have a mix of asphalt, cedar, and slate roofing materials making it likely that the synthetic material will not be as noticeable given the surrounding variability. A synthetic product that imitates slate could appear inconsistent with the style of the house.

The standard can be met with a substitute material installation of synthetic roofing that is well executed with front facing gables that show a material edge instead of an edge cap, minor shifts along the horizontal rows of tiles, the intermittent use of 8" wide and 10" wide pieces, and a color that has inherent variability and shading.

Standard 10 – Scale.

This standard is not applicable to the petition. No changes are proposed to the size or height of the home.

Standard 11 – Directional Expression of Front Elevation

This standard is not applicable to the petition. No changes are proposed to the directional expression of the front elevation.

Standard 12 – Preservation of Historic Material - The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed or adversely affected in a material way. The alteration of any historic material or distinctive architectural features should be avoided when possible.

This standard is met. As noted above, in 1964, an asphalt shingle roof was installed on the residence. Based on permit records, the asphalt roofing was installed to replace an

existing asphalt shingle roof. Based on City records, the residence likely, originally had an asphalt roof similar to other homes in the immediate neighborhood and within the Historic District. Asphalt shingles were historically used on many homes in the City's historic districts and are considered a traditional material, appropriate for homes in the Historic District due to consistent use through the decades.

Based on City records, in 2001, a cedar shingle roof was installed to replace the asphalt shingle roof that was on the home at that time. Cedar shingles, like asphalt shingles are traditional roof products and are both found throughout the Historic District in the area surrounding this home. Many people feel cedar shingle roofs are more distinguished than asphalt shingle roofs and many homes saw upgrades to cedar roofing material during the 1990s.

The roof is a distinguishing quality of the residence and is very prominent from the streetscape. The proposed use of a synthetic roof product would be a material substitution, not a replacement in kind of a non-original roof product. However, if the installation is well done, the material could provide the home with the general appearance of cedar shingles. One could argue that the size of the cedar shingle is more in scale with the very wide roof line than the smaller asphalt shingle sizes available and the synthetic product proposed attempts to imitate the size of the existing cedar shingles.

The large well-established canopy of trees on the property contribute to a maintenance condition that has caused the current homeowner to investigate alternative products to cedar.

Standard 13 – Preservation of natural resources

This standard is not applicable to this petition. No tree or vegetation removal is proposed as part of this request.

Standard 14 – Compatibility of New Construction - In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for consistency with the chosen style.

This standard is not applicable.

Standard 15 – Repair to deteriorated features - Deteriorated architectural features shall be repaired rather than replaced, wherever possible, in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. In the event replacement is necessary, the new material need not be identical to but should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

This standard is now met given advancements in the synthetic roofing installations. The proposed synthetic roof product attempts to imitate natural wood shingle but with a

high-quality synthetic product, the visual differences between natural wood shingle and the synthetic product are reduced.

Standard 16 – Surface cleaning.

This standard is not applicable to this request. Cleaning of the existing cedar roof shingles, which, according to City records were installed in 2001 is not proposed or appropriate due to the deteriorating condition of the shingles. Lack of regular maintenance by prior owners of the property, heavy tree cover, and the quality of the cedar shingles installed together likely all contributed to the current condition of the cedar shingles.

Standard 17 – Reversibility of additions and alterations - Wherever possible, additions or alterations to historic properties shall be done in such manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would not be impaired.

This standard is met. The roof material can be removed in the future without impacting the essential form of the historic property. Any newly developed material without a proven track record is subject to the risk of potential failure over time. The replacement process for a failed roof is straightforward and the responsibility falls on the homeowner to remediate.

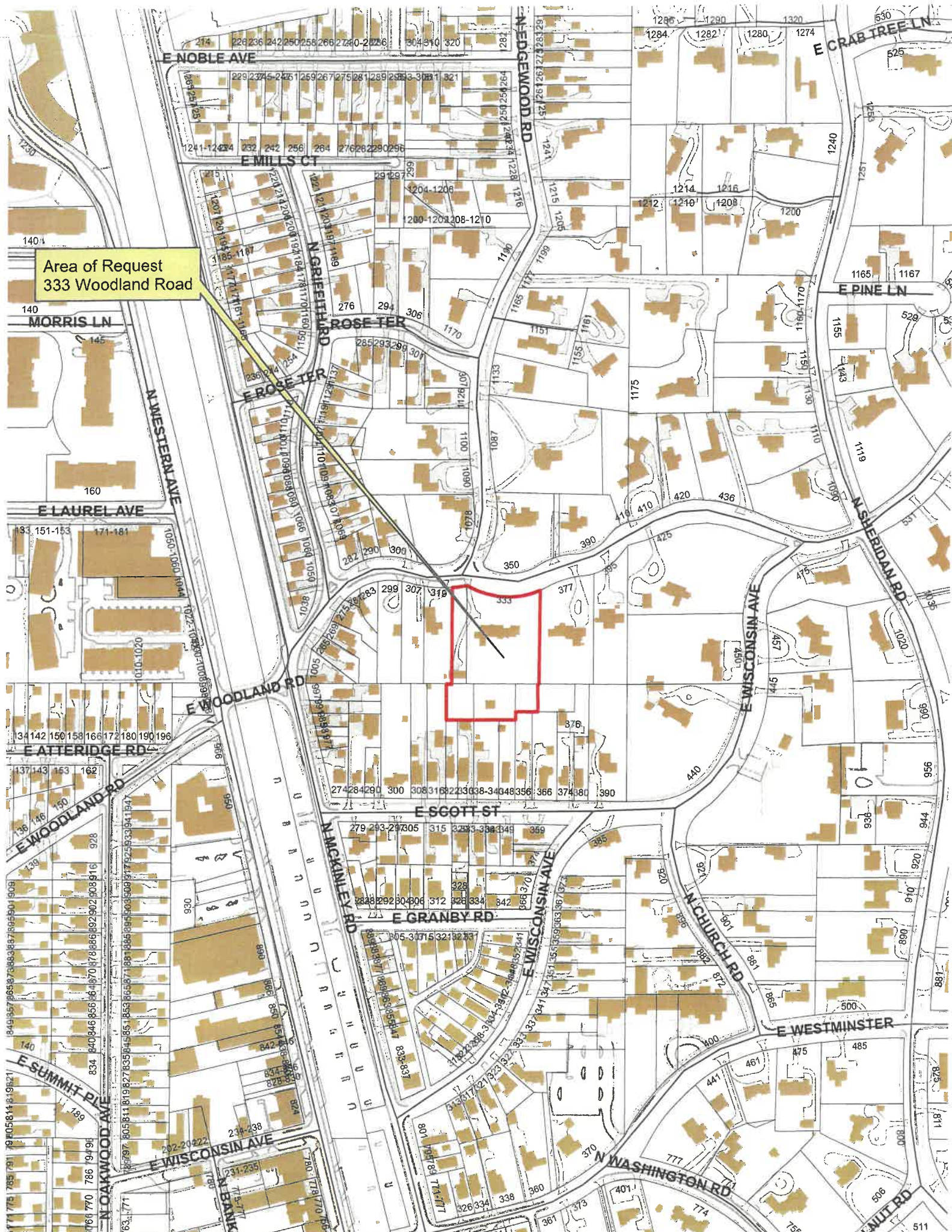
Public Comment

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and residents and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no correspondence was received in response to the notice provided for this meeting.

Recommendation

(1) Grant a Certificate of Appropriateness to allow the existing roof to be replaced with a synthetic roof product consistent with the specific product and installation method detailed in the materials submitted by the petitioner (2) adopt the above findings as the Commission's written findings of fact and reasons for its determination.

Area of Request
333 Woodland Road



333 E WOODLAND RD - 1959 ASPHALT ROOF



333 E WOODLAND RD - 2024 CEDAR ROOF



Directions: NORTH ON SHERIDAN RD FROM DEERPATH TO WOODLAND RD - WEST TO 333

Address: 333 East Woodland Road		Lot Size		Approximately 2 Acres	\$ 195,000
City: Lake Forest, Illinois E-1556		Rms.	Bed.		
Constr: Aluminum siding over Frame		12+	5-2	4½-1	Cost \$900. all
Style: Colonial-2Story		Year — Taxes		Porches	Garage 4-Car
Roof: Composition		1968		Screened Glazed + Terrace	Det. Heated
Built: About 1926		Faces: North		Elect: 220V-110V	
Contract:					
Basmt: Large - exterior and interior entrances.		Approximately:			
1st	Entrance hall with lovely open, circular staircase, living room with fireplace; dining room with fireplace; library with fireplace; gathering room with fireplace; powder room; butlers pantry; breakfast room; laundry; modern kitchen.				LR 31 x 19 fpl
2nd	Master suite consisting of bedroom with fireplace, dressing room, sitting room and bath. 4 other master bedrooms, 3 baths, studio, 2 maids rooms, 1 bath.				DR 23 x 16 fpl
3rd	Storage attic with cedar closet. Rear stairway off kitchen to second floor.				K 16 x 16
Check: School: Grade: Sheridan		JHS: Deerpath	HS: Lake Forest	BR's 18 x 16 fpl	
Transp: RR. CNW		Bus: To O'Hare	Other: Country Day, St. Mary's	18 x 15	
Mortgage: Existing		Available:		15 x 12	
City water, W Sanitary Sewer, Storm Sewer, S W W W				19 x 16	
Special Assessments \$ _____ for _____				21 x 16	
Remarks and any special conditions:		This is a traditionally charming and beautifully maintained residence situated on a picturesque property in East Lake Forest. Large bluestone terrace. Swimming Pool. Attractive garage building with 3 room apartment and gas heat. Heating figure for garage building - \$210.			
		Studio: 22 x 20			
		Possession:			
		Negotiable			
		Reason for Sale:			
		Smaller			
		Title			
Owner: Mr. & Mrs. John L. Behr		Bus. Phone:		Res. Phone:	
This information is considered accurate but we accept no liability for errors. The listing may be changed without notice.					
For office use only	Realtor Office: GILBERT RAYNER ASSOC., INC.	Phone: 234-3800			
050169	Sales Person: Carmen Burgess Olson	Home Phone: 234-9000			

MORE MULTIPLE LISTING CORPORATION



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS

PROJECT ADDRESS 333 E. Woodland Road

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input checked="" type="checkbox"/> Other - <u>Roof Replacement</u>	<input type="checkbox"/> Other	

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- ☐ East Lake Forest District ☐ Green Bay Road District ☐ Vine/Oakwood/Green Bay Road District
☐ Local Landmark Property or District ☐ Other

PROPERTY OWNER INFORMATION

Mary Therese & Greg Williams
Ownership Property

333 E. Woodland Road
Owner's Street Address (may be different from project address)

Lake Forest, IL 60045
City, State and Zip Code

847 809 1437
Phone Number

Fax Number

Kraftwilliams23@gmail.com
Email Address

Mary Therese Williams
Owner's Signature

ARCHITECT/BUILDER INFORMATION

Jason Chase JNJ Restoration
Name and Title of Person Presenting Project

JNJ Restoration
Name of Firm

1603 Clinton Ave
Street Address

Lake Forest, IL 60045
City, State and Zip Code

317 908 3091
Phone Number

Fax Number

JASON@JNJRESTORATION.COM
Email Address

Jason Chase
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER ☐ REPRESENTATIVE

MAR 15 '95 03:17PM

P.2/2

PLAT OF SURVEY of

Job No. 880259
Sec. 28-44-12

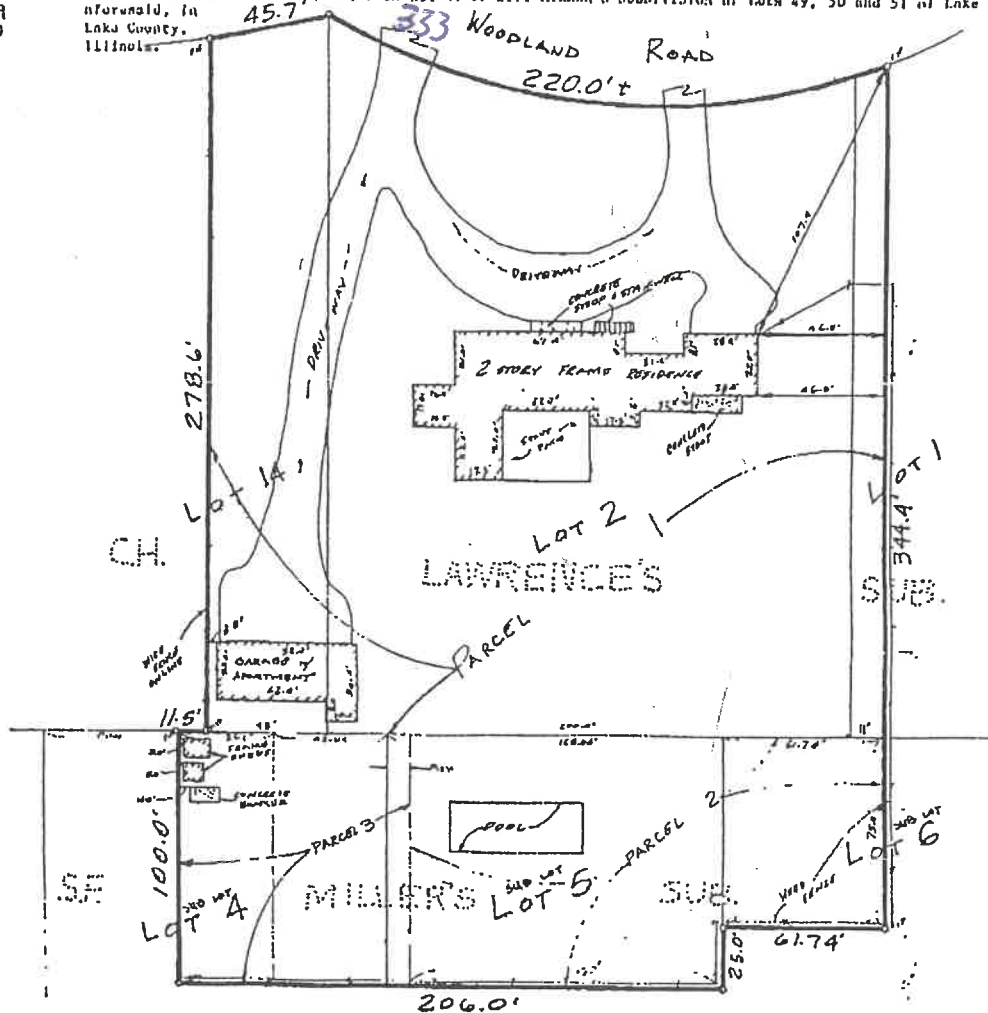


Parcel 1: The W. 11' of Lot 1 (measured along the S. line of said Lot), all of Lot 2 and the E. 45' of Lot 14 (as measured on the S. line of said Lot) in C.H. LAWRENCE'S SUBDIVISION of part of the NE1/4 of the SW1/4 of Sec. 28, T. 44 N., R. 12 E. of the 3rd P.M., according to the plat thereof recorded July 9, 1894, as Doc. 59189, in Book "D" of Plats, page 3, in Lake County, Illinois.

Parcel 2: The N. 100' of the E. 120' of Sub-Lot 3 and the W. 61.74' of the N. 75' of Sub-Lot 6 in Lot 49 in S.F. MILLER'S SUBDIVISION of Lots 49, 50 and 51 in The City of Lake Forest in the NE1/4 of the SW1/4 of Sec. 28, T. 44 N., R. 12 E. of the 3rd P.M., according to the plat thereof recorded November 18, 1861, in Book 12, page 383, in Lake County, Illinois.

Parcel 3: The N. 100' of the E. 36' of the W. 86' and the N. 100' of the E. 42.04' of Sub-Lot 4 and the N. 100' of the W. 8.04' of Sub-Lot 5 in Lot 49 of S.F. MILLER'S SUBDIVISION of Lots 49, 50 and 51 of Lake Forest in Lake County, Illinois.

± 40'
± 2, 1989
± 12, 1989



your description and site monuments with this plat and AT ONCE any discrepancies which you may find.

line restrictions and easements are shown only where they are so on the subdivision plat or are furnished with the ordered description, your deed, abstract, and or title policy.

isions are shown in feet and decimal part thereof, corrected at 82° F., not to be assumed by scaling.

Is not certified unless an Impressed seal is affixed hereon.

I, Vincent J. Masse, an Illinois Regis Land Surveyor, hereby certify that I surveyed the above described propo and that the plat above is a correct representation of said survey.

Vincent J. Masse
ILLINOIS LAND SURVEYOR NO. 2856

CHAMBERLIN/MASSE EN

CIVIL ENGINEERS - PLANNERS - SURVE

1641 North Milwaukee Avenue, Sul

Libertyville, Illinois 60048

362-8444

Supplemental Statements Regarding the Application for Certificate of Appropriateness

Our request for a DaVinci Select Shake Roof and rationale has not changed since our original petition over a year ago. With the recent updating and creation of guidelines to include synthetic roofs, we would like to reiterate our compliance. Before doing so, I would like to restate the genesis of this journey and why we continue to petition:

1. Our inability to secure proper insurance for our home and family
2. The partial replacement of cedar roofing on our garage provided us with a real-time example of the impact of the new cedar wood products and their rapid rate of deterioration in our home environment.
3. Rational and thoughtful evaluation for the most significant expense that needs repair for our home.
Key drivers of decision-making:
 - a. the deteriorating quality of cedar products resulting in much younger, more porous woods being used on homes today
 - b. our landscape of trees producing heavy moss and rodent access
 - c. credible improvements to the look, durability and safety of composition products on the market today, not to mention high-profile applications (Disney, Montage Hotels, Historic Districts, NPS) across the US.
4. We have carefully considered the materials used on our home historically including:
 - a. 1969, 1977, 1973 listing sheets all identifying the roof as "Composition"
 - b. 1999 Survey listing roof as Asphalt Shingle
 - c. Sometime in 2000's the material was changed to Cedar.

If you read the *City of Lake Forest's Historic Resources Survey Form* (as available at the History Center of LF-LB) for our home, the "Colonial Revival" is significant for architectural vocabulary such as gables, entrances, cornices and windows.

The roofing material is not of historic significance. The variety of roofing material demonstrates that the home architecture and our existing landscaping (natural stone, anchoring trees and boxwood designs) contribute more heavily to our being designated as "Prominent". Our roof installation will not impact any of these features.

The 1973 listing of our home specifically calls out:

"Aluminum siding over frame is a lifetime material, adds to insulation qualities for heating and cooling. Needs only annual washing with hose."

You have selected our home as a significant contributor to the Historic District in which we reside. Our home throughout its life has been comprised of a variety of natural, metal and synthetic materials demonstrating the evolution and substitution of substrates while maintaining the home's integrity. Our installation of DaVinci Select Shake faithfully replicates the appearance of cedar while offering insurability and durability, ensuring the preservation of our home's historical look for years to come.

333 E Woodland Road
Davinci Roof CA
April 2024

We've seen images of our home with asphalt. A Shake roof adds more character and enhances the style we aim to achieve for our home. With Cedar not being an acceptable option for us, we have done extensive work to find a suitable substitution with the same visual and dimensional attributes.

We have chosen: DaVinici Select Shake in Black Oak. I am submitting via physical sample or image in the ppt presentation, the following required materials to be reviewed in person:

- Samples of our proposed roof and others
- Specification comparison
- Images and descriptions of installations and end cap and gable articulation
- Our Streetscape
- Other properties and streetscapes

I will also bring an installation expert to answer specific questions the Commission may have on installation and appearance.

Sincerely,

Mary Therese and Greg Williams



Mary Therese and Gregory Williams
Certificate of Appropriateness Review
April 2024

Discussion Points for Meeting

Davinci Select Shake in Black Oak or Mountain

Material, Thickness, Color, Specifications

Installation and End Cap Application

Flashing - Copper consistent with existing

Our home streetscape

Other Lake Forest home streetscapes

Color Specialist

Kate Smith

DaVinci Roofscapes Color Expert

Dear Ms. Williams,

DaVinci Shake is an excellent choice for your lovely home. I will share suggestions for colors that fit its traditional style.

DaVinci Shake

Just about any blend will work on your house; however, a dark or medium-dark color complements the high-contrast combination of white with black accents.

Tahoe and Mountain are top colors and attractive options. Tahoe is a warm cedar brown, and Mountain is a deep gray-brown. Both have texture and subtle color variations, adding to their authentic look.

If you want more variety on the roof, look at Aged Cedar or Black from the Nature Crafted Collection. Black Oak is deep brown with dark charcoal, and Aged Cedar is golden brown with charcoal brown. Both create color variations on the top of the house with a mottled surface that mimics a naturally weathered roof. Mossy Cedar (not pictured) has a subtle look, softening cedar brown with an earthy gray patina. It does not have the strong contrast of the other colors, which allows Mossy Cedar to feel at home in the natural surroundings, trees, and landscaping surrounding your house. All three have the finish of roofing at that perfect moment between brand new and weathered.

Select Shake, Black Oak



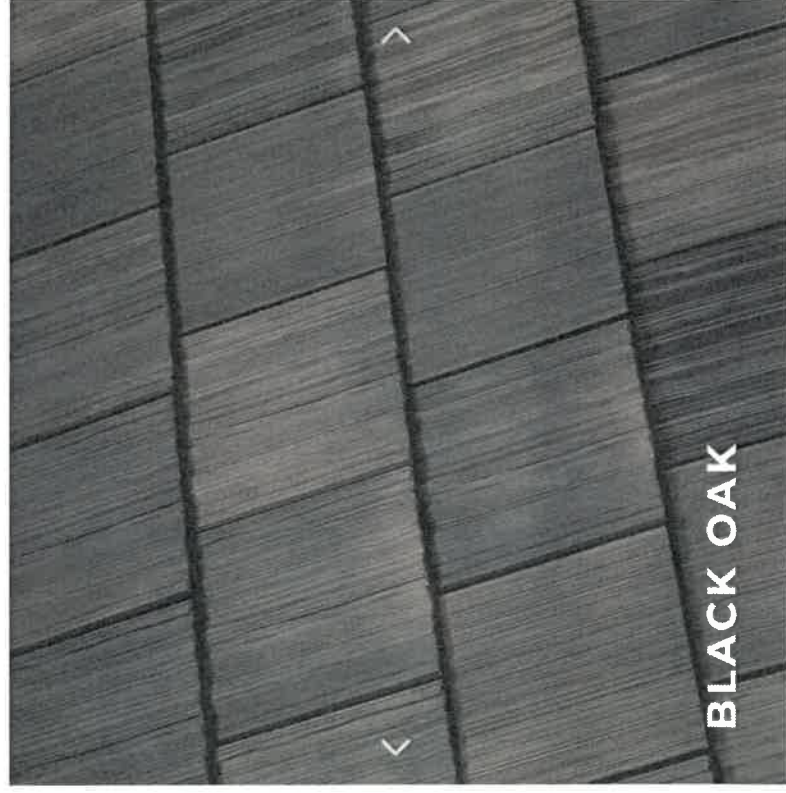
PRODUCTS

PROJECTS & INSPIRATION

PROFESSIONALS

SUPPORT

Q



Residential Black Oak

COLOR Black Oak

ROOF DETAIL Dormer
Staggered
Coursing

PROJECT
TYPE Residential

PRODUCT
TYPE Multi-Width
Shake

*NOTE: We are
proposing
Select Shake
(not multi or
single width)
product type*



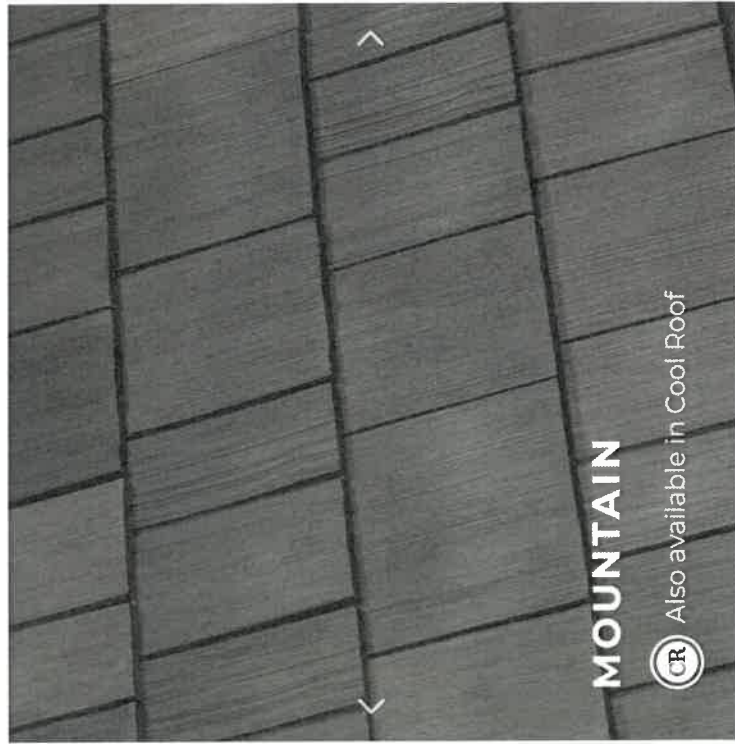


PRODUCTS

PROJECTS & INSPIRATION

PROFESSIONALS

SUPPORT





Mountain Residential

COLOR Mountain
PROJECT TYPE Residential
PRODUCT TYPE Select Shake



Material Spec Comparisons



DAVINCI JUST MADE A GREAT THING GREATER

With the DaVinci reputation of durability and effortless upkeep, our Select Shake tiles imitate authentic cedar shake better than any product on the market. DaVinci Select Shake molds are taken from real wood profiles, making them perfect for projects where a traditional cedar look is desired. DaVinci doesn't stop at beauty—the product design of our Select Shake allows for faster installation and will withstand whatever Mother Nature brings to the exterior of your home. When you're looking for the beauty of real cedar shake with the lasting elegance of DaVinci, our Select Shake has your home covered.

- Available in 8" and 10" widths
- The 10" pieces have a simulated keyway to give the look of 4" and 6" shakes to create a multi-width appearance.
- Finished look creates appearance of 4", 6", 8", and 10" shakes
- 5/8" tile thickness
- DaVinci Select Shake is created from authentic wood profiles, making it the most realistic roofing product on the market.
- Can be installed at 9" or 10" exposure
- Resistant to fading, rotting, cracking, and pests
- Lifetime Limited Material Warranty
- Tiles arrive at the job site bundled and pre-sorted by color, eliminating sorting and guesswork at the site



8"



10"

Cedar Roof
Quote (2023):
5/8" Thickness
7.5" - 10"
Exposure
5/8" hip and ridge
cap

INSTALLATION

STRAIGHT COURSING

Install the shakes one at a time starting in the lower left hand corner if right handed or lower right hand corner if left handed. The first course of shakes should be laid directly on the starter tiles with the butt of the shake flush with the butt of the starter tile. The shakes should be installed individually with two nails in or near the defined areas. The shakes should be laid individually with a rock type system, also known as rack-style, stair-stepping, or pyramiding, to prevent same size shake directly on top of another. The shakes should be laid with an approximate 3/8" gap between each shake. The gaps between shakes on adjacent courses should offset by a minimum 1/2". To assure proper horizontal alignment we recommend that chalk lines be snapped frequently. These chalk lines should be placed on the underlayment so that the shakes are aligned by the tips of the tiles rather than the butts.

Chalk lines should be snapped on underlayment with the tips of the shakes following the lines. Do not snap lines on DaVinCi Shake or use red chalk as the chalk may permanently discolor the shake.

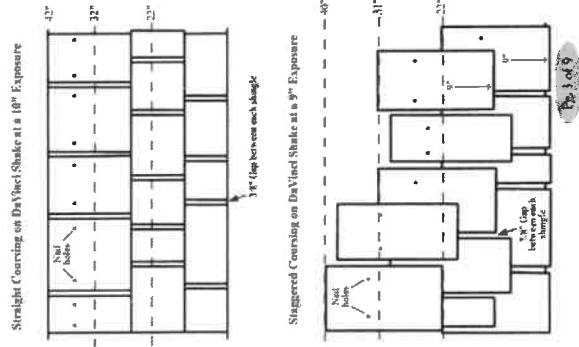
STAGGERED COURSING

DaVinCi Select Shake may be staggered using a similar method as Single-Width and Multi-Width Shake. This will mean that it will appear that two tiles are pulled down at once in some instances. When necessary the tiles with false breaks may be cut in the false break area to create two distinct tiles.

Select Shake tile do not have alignment indicators so the courses should be aligned with a chalk line at the tip of the tile or alternately with shake liner.

Staggering the courses is accomplished by laying the shakes in 9" courses with every other shingle lowered 1".

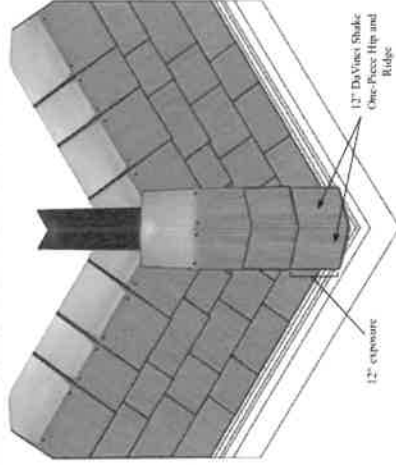
An example of how to accomplish this is as follows:



DAVINCI ONE-PIECE HIP AND RIDGE SHINGLE INSTALLATION

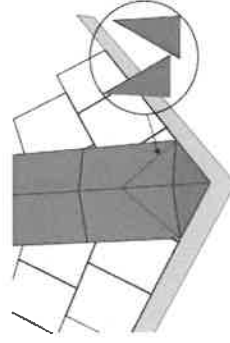
The one piece hip and ridge tile should be installed at a 12" exposure. The tiles should be nailed once on each side about 1/4" from the outside edge with an approved fastener long enough to penetrate through the roof deck and exceed it by 3/16". (2x4 roofing nails are acceptable in most instances.) The hip and ridge should be nailed approximately 1 2/3" from the butt of the tile, and 1/8" to 3/4" inch from the outside edge.

When nailing, it is best to try to nail the hip and ridge through the butt of the field tile, not in the void below the butt. The nail may be raised up to an inch above the nailing circle if necessary. If the tile must be nailed in the gap below the butt of the field tile, don't drive the nail down so hard that it distorts the hip and ridge tile. A chalk line should be used on the hips to assure straightness. A shingle over type continuous ridge vent may be used if wanted. If continuous ridge vent is used, nails used to secure the hip and ridge tiles must penetrate through the decking and exceed it by 3/16".



Hip Starter Application:

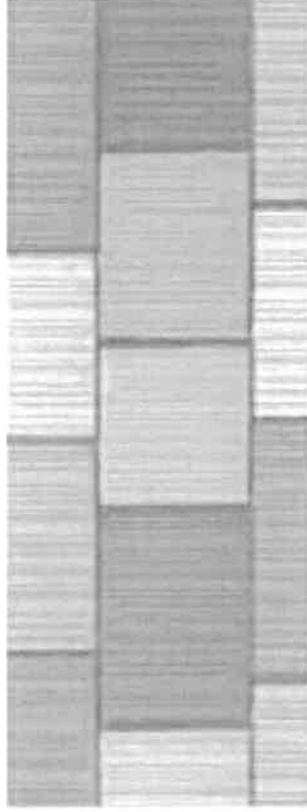
At the bottom of a hip, the hip and ridge tile may be cut on an angle so that the bottom edge may be installed parallel with the eave. A piece of flashing or UV stable roofing material should be installed along the bottom 6" of the hip in order to protect the area under the seam formed by the cut material. The cut hip and ridge tile is then assembled so that the two cut pieces are butted together to form the bottom piece of hip and ridge. Once these two tiles are in place, a full hip and ridge tile is installed and pulled down so the outside corners just reach the bottom of the roof.



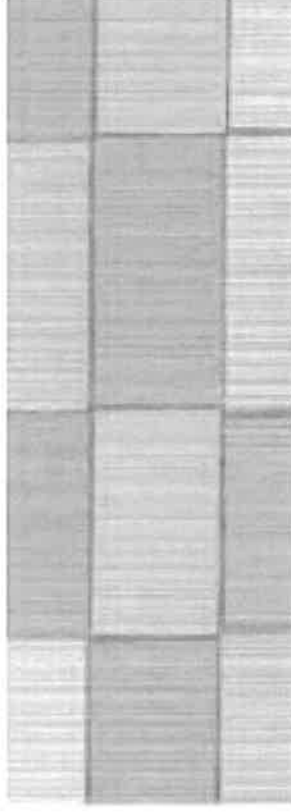
AVOID “CRACK ON CRACK”

The gap between two shingles in one course should always line up $1\frac{1}{2}$ " or more from the gap between two shingles in the course below. When possible, the same rule should apply to false breaks although this is for aesthetic reasons and will not affect the performance of the roof system.

Correct



Incorrect



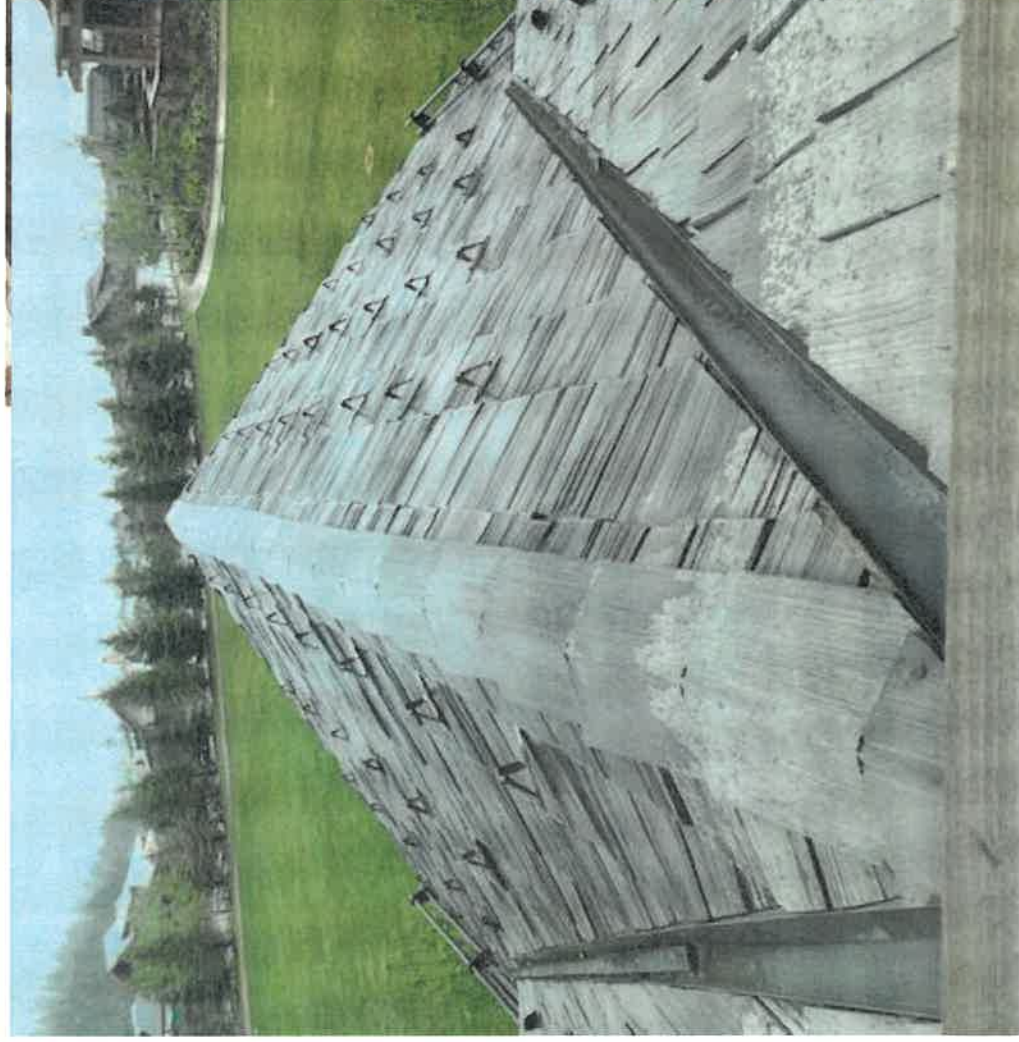
COLOR AND WIDTH VARIATION

Davinci Select shake bundles are made up of 8 different shake (tile) shapes. Four of the tiles are 8" wide and four are 10" wide. Of the four 10" tiles, three have false breaks making them appear to be two different shakes and one of them is a 10" tile without a false break. DaVinci Roofscapes recommends that the shakes should generally be installed as they come out of the bundles. Keep in mind there must be $1\frac{1}{2}$ " side lap maintained and installation must be in a rack or pyramid style.

GABLE ENDS / RAKES

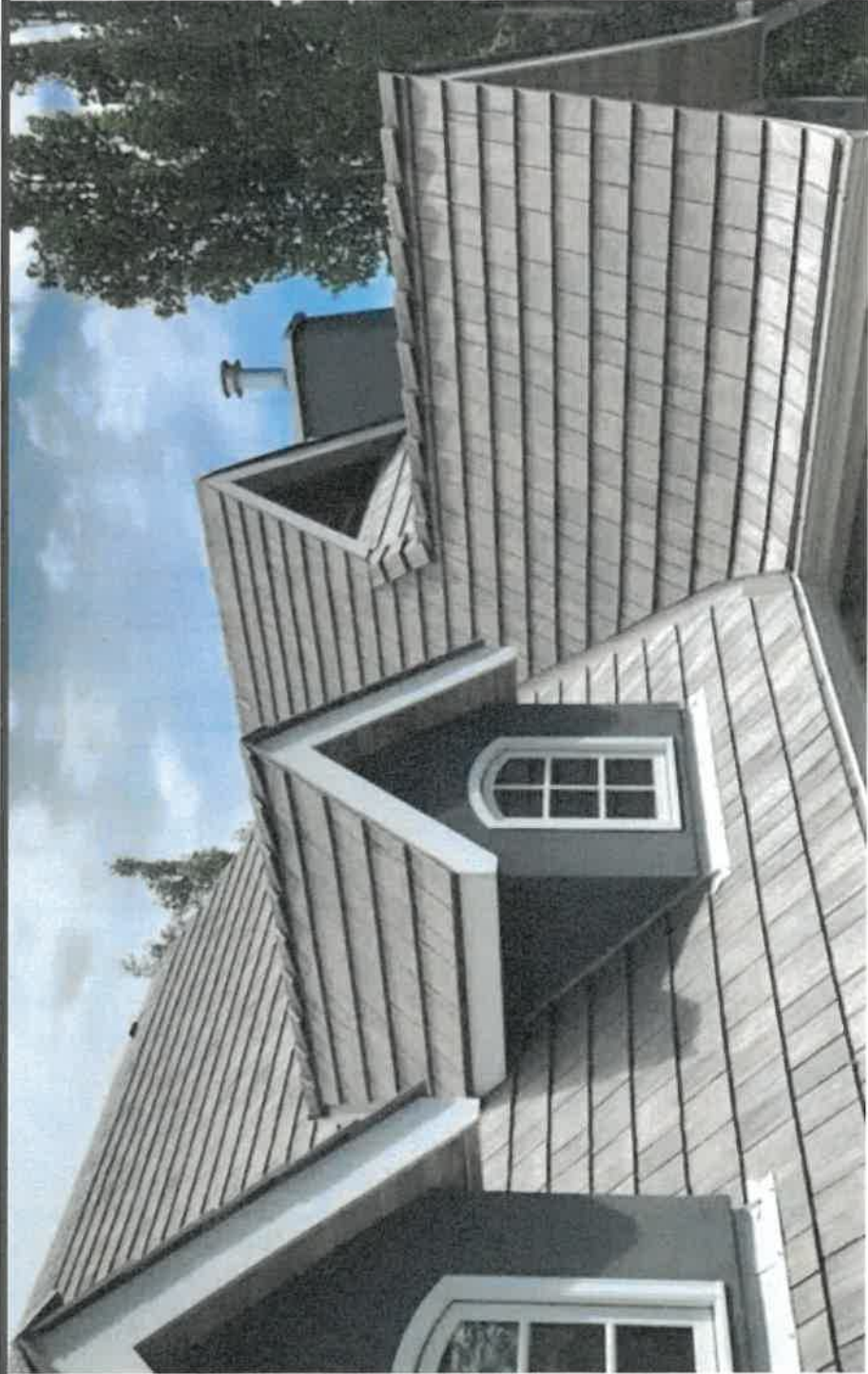
Cutting Select Shakes at gable ends, shakes should be cut so that the factory edge faces out on the gable end. When necessary the tiles with false breaks may be cut in the false break area to create two distinct tiles.

Notice Keyways, Caps and Randomness



GABLES

[Synthetic Slate & Shake Roof Gallery | DaVinci Roofscapes](#)



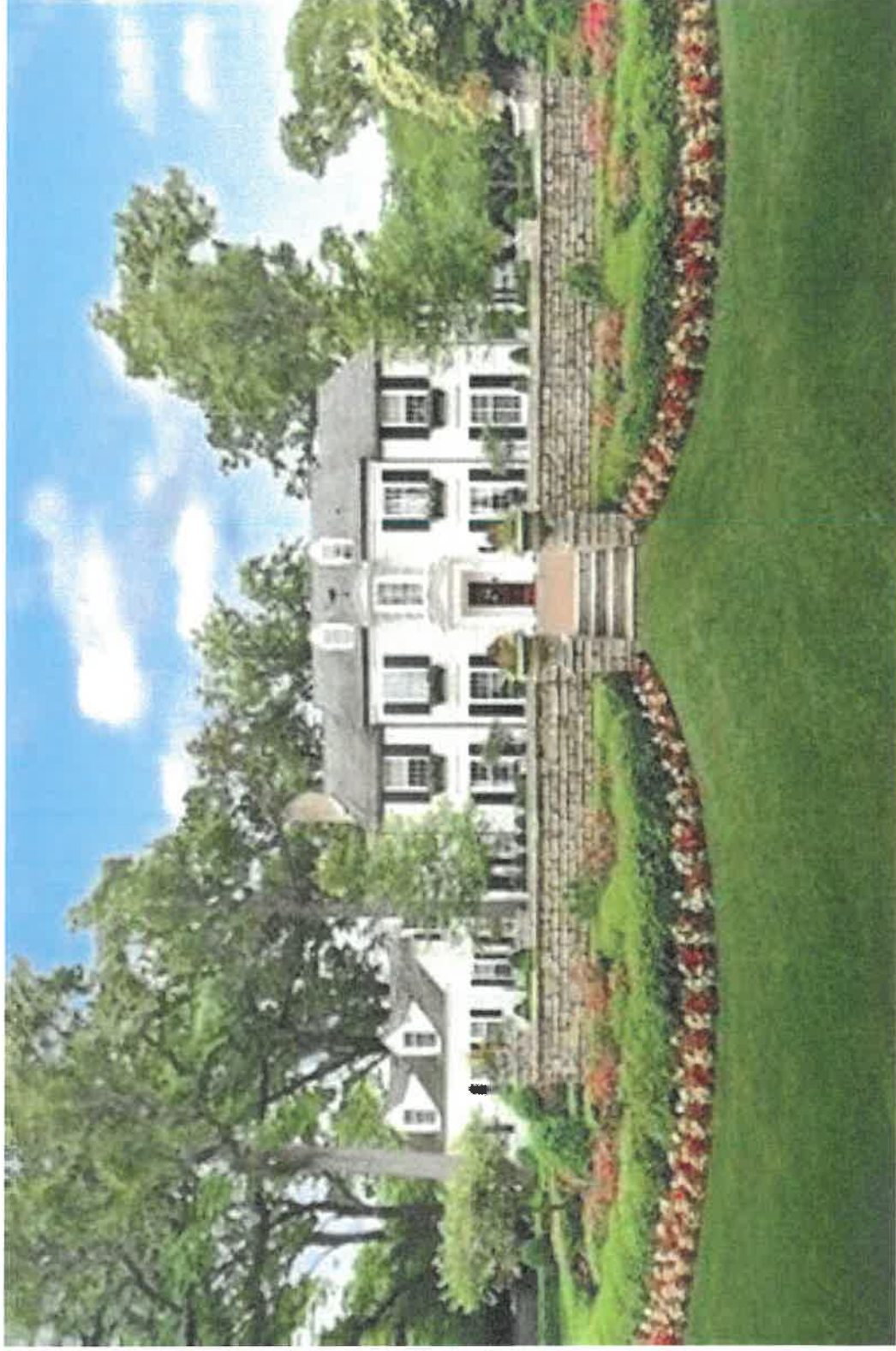
X

Aged Cedar Residential

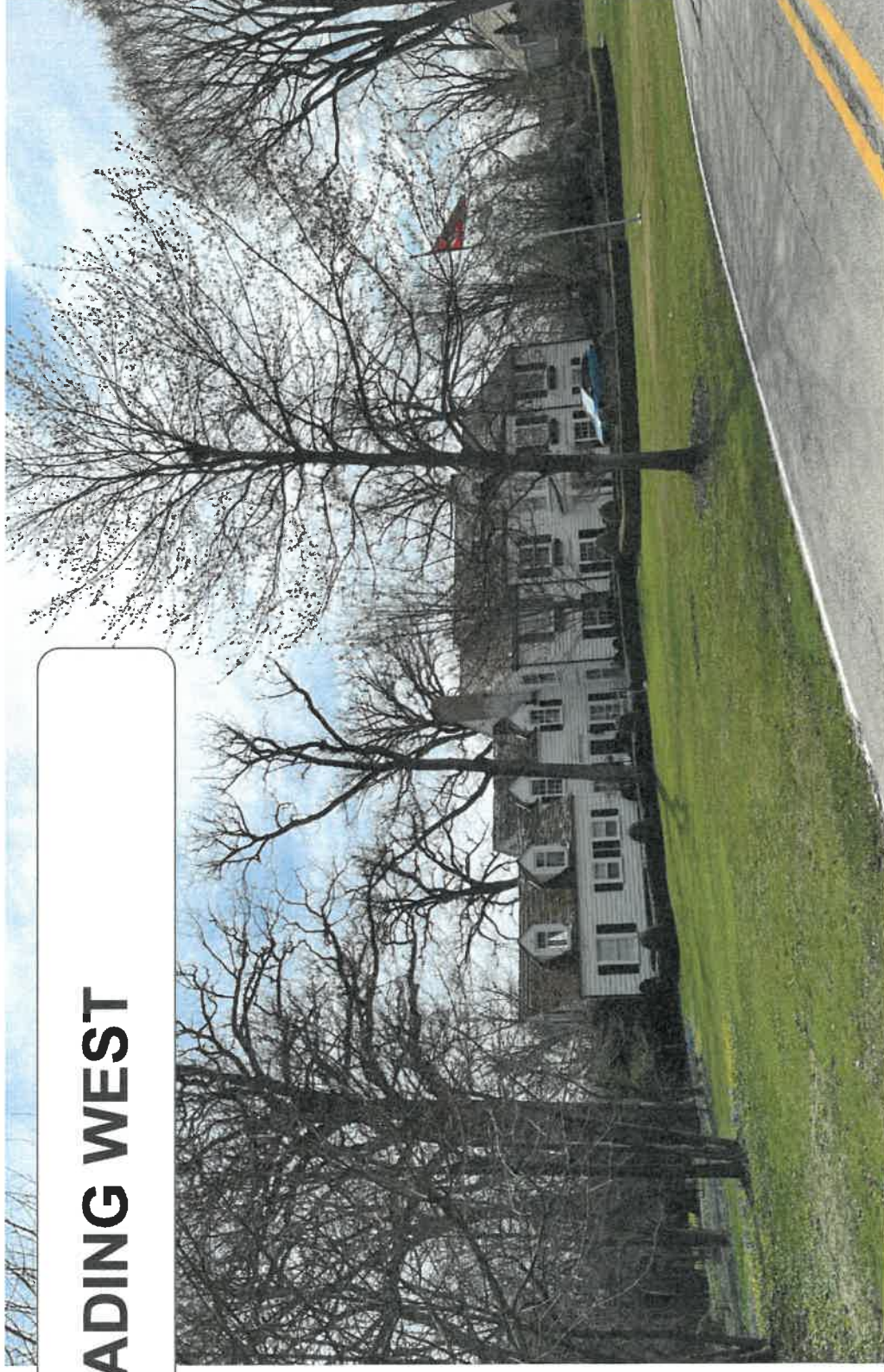
COLOR	Aged Cedar
ROOF DETAIL	Dormer
PROJECT TYPE	Commercial HOA Residential
PRODUCT TYPE	Select Shake

..

STREETSCAPE



HEADING WEST



APPROACHING FROM NORTH, HEADING EAST



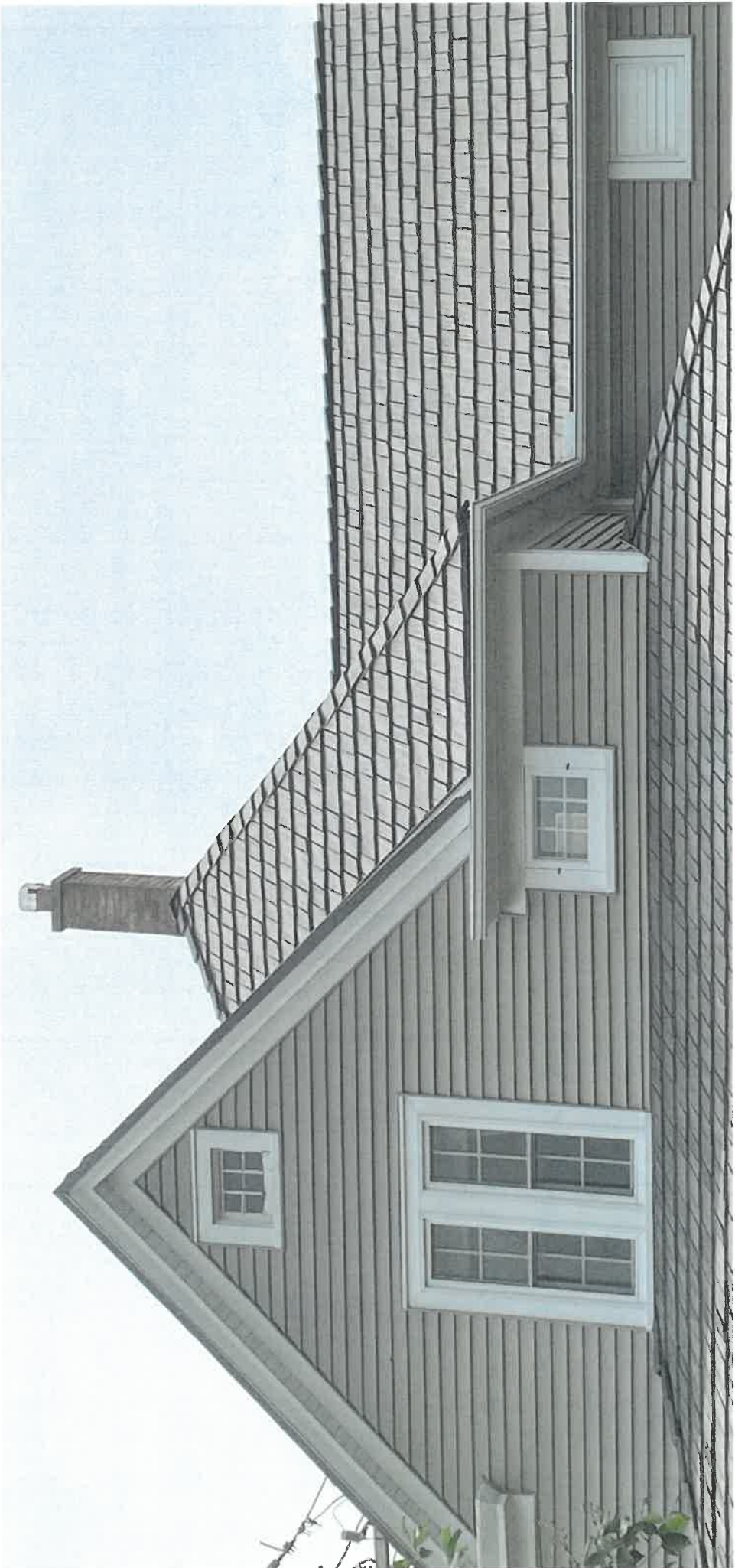
STREETSCAPES

Cedar



Synthetic





Appendix

Davinci historical homes

Cut and Paste the following links:

<https://www.davinciroofscapes.com/projects-inspiration/project-profiles/project-type/historical/>

NPS Chooses DaVinci Shake for Historic Mansion

Per the rules of the National Park Service, any preservation work performed on a national landmark must provide the same look as the original construction. This is to maintain the historical accuracy of the property. While the Carnegie family commissioned a real cedar roof, the harsh climate of Coastal Georgia makes it impractical to continually replace.

The Synthetic Shake Solution

Fortunately, the team at Register Roofing had a different idea. Their team recommended a composite roofing solution from DaVinci Roofscapes. It perfectly matches the traditional cedar shake roof in appearance. However, it far exceeds the natural cedar in performance. With Class 4 impact and Class A fire ratings, synthetic shake resists coastal weather, including standing up to high winds and nearby ocean conditions.

Link:

<https://www.davinciroofscapes.com/projects-inspiration/project-profiles/synthetic-shake-that-resists-coastal-weather-approved-for-historic-mansion/>



Agenda Item 4
250 Majestic Oak Court
Replacement Roof with Synthetic Shingles

Staff Report
Vicinity Map
Air Photo
Westleigh Farms Subdivision Plat of Survey

Materials Submitted by Petitioner

Application
Plat of Survey
Statement of Intent
Description of Existing Material
Description of Proposed Material
Installation Method
Addresses with Installed Material
Landscaping
House Photos

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grinnell and members of the Historic Preservation Commission
DATE:	April 24, 2024
FROM:	Abigail Vollmers, Senior Planner
SUBJECT:	250 Majestic Oak Court – Proposed Roof Replacement with Non-Historic Synthetic Material

Petitioners

Jeanette and Dan
Hodgkinson
250 Majestic Oak Court
Lake Forest, IL 60045

Property Location

250 Majestic Oak Court
(previously 210 South
Ridge Road)

Historic Districts

Local Landmark

Project Representative

Jeanette and Dan Hodgkinson, property owners

Summary of the Petition

The petitioners are requesting a Certificate of Appropriateness to allow replacement of the existing cedar shingle roof on a Locally Landmarked Structure with a synthetic material.

Description of Property and Surrounding Area

The Charles Garfield King Estate, which today is part of the Westleigh Farms subdivision, was designed in 1905 by Howard Van Doren Shaw. The manor house was a blend of arts and crafts style with colonial elements resulting in a relaxed country style home with terraces and porches, gables, and a roofline with a large overhang that shaded the second-floor windows. In 1938, the architect George Towner Senseney, renovated the interior and exterior of the home for his in-laws, John H. and Dorthea Noyes. Senseney was known as a modernist, one of his well-known projects was the Philco Salon at 643 North Michigan Ave in Chicago, which was described as the most modern radio studio in Chicago. The renovation of the King Estate resulted in a makeover of the house to the colonial revival style we still see in present times. The arts and craft elements were removed, the windows became uniform in their repetition and sizing, and the current detailing on the house was added. The roofline was pulled back, the overhang eliminated, and a prominent dental cornice added. The dormers were moved, a third one was added on the front of the house, and the large overhanging peaks were changed to soft arcs.

Some notable features of the home were added during this renovation such as the oversized columns travelling the full vertical distance of the façade, the front entry surround composed of an elongated swan's neck pediment. The original ship lap siding used by Howard Van Doren Shaw was the main surviving element to remain on

the remade house. The original roofing material is not called out in any of the historical information existing on the original house or the renovated house. The early photos appear to have a very monolithic look, but the gable edges show a roof that has some depth in the material suggesting the original roofing was likely cedar shake. The original historic integrity of the residence has been significantly impacted.

The estate was sold in the mid 2010's and subdivided for development shortly afterwards. The future of the estate home was in jeopardy until the current owners purchased the building and began restoring the deteriorating structure. The property around the home is now part of a seven-lot custom home neighborhood, part of the larger Westleigh Farm Subdivision as noted above.

Staff Evaluation

In considering applications for a Certificate of Appropriateness, the Commission is charged with applying the 17 Standards in the Historic Preservation chapter of the City Code. In the case of this petition, only a limited number of the Commission's standards apply. The applicable standards are highlighted below.

Findings

A staff review of the Historic Preservation standards in the City Code is provided below. As appropriate, findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height

This standard is not applicable to the petition. No changes are proposed to the height of the house.

Standard 2 – Proportion of Front Façade

This standard is not applicable to the petition. No changes are proposed to the proportions of the front façade.

Standard 3 – Proportion of Openings

This standard is not applicable to the petition. No changes are proposed to the proportions of the openings.

Standard 4 Rhythm of Solids to Voids

This standard is not applicable to the petition. No changes are proposed to the rhythm of solids to voids.

Standard 5 – Spacing on the Street

This standard is not applicable to the petition. No changes are proposed to the size or mass of the home, there is no change to the spacing of structures on the streetscape.

Standard 6 – Rhythm of Entrance Porches

This standard is not applicable to the petition. No changes are proposed to the entrance to the home.

Standard 7 – Relationship of Materials and Texture - The relationship of the materials and texture of the facade shall be visually compatible with the predominant materials used in the structures to which it is visually related.

The standard is met. The proposed synthetic roofing material is a match in size to the current roof shakes which were installed in 2001. The research the homeowner has done on the sizing and thickness of the shake material suggests that the current roof material is no longer produced in the exact form or possibly siding material was used in a roofing application. The existing roof material is not original and not historic however, the proposed synthetic product matches this existing material in size and other characteristics.

Standard 8 – Roof Shapes.

This standard is not applicable to the petition. No changes are proposed to the roof shapes of the home.

Standard 9 – Walls of continuity – Facades, sites, and structures shall, when it is characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects and places to which such elements are visually related.

This standard is met. The surrounding homes in the subdivision are all new construction and completely change the character around the estate home. The proximity of the future new homes both to the north and south, will change the way the estate home is experienced. Additional landscaping material should be considered in order to provide visual interest at the front of the house.

Standard 10 – Scale.

This standard is not applicable to the petition. No changes are proposed to the size or height of the home.

Standard 11 – Directional Expression of Front Elevation

This standard is not applicable to the petition. No changes are proposed to the directional expression of the front elevation.

Standard 12 – Preservation of Historic Material - The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed or adversely affected in a material way. The alteration of any historic material or distinctive architectural features should be avoided when possible.

This standard is met. The existing roof material is neither original, nor historic. One of the unique qualities of this home is the use of cutting-edge nontraditional materials throughout the home's existence. In the 1930's Carrera glass was an experimental new structural glass which was used in the 1938 renovation of the home as bathroom tile. Terrazzo was a common flooring material used in commercial buildings, but seldomly in residential applications, here it was used in the bathrooms with large decorative patterns. Linoleum flooring in the kitchen was unheard of in the late 30's as was the use of stainless steel for countertops. Both of these products became hallmarks of the modern post war American home, and along with plain metal cabinets they produced

a modern kitchen before its time.

Given the number of exterior features of the home that were changed with the 1938 renovation, only the layout in the center of the house and the ship lap siding can be attributed to the original architect of the house. Small windows were removed on the front façade, the large overhanging roof, the original front door surround, and the style of the windows were all changed with the renovation.

The existing roof was fully replaced in July of 2001. Replacement of any kind diminishes historical integrity, and much has been replaced on this house overtime. The use of a synthetic roof product, carefully chosen with respect to size, thickness, texture, and color is not inconsistent with the history of this home over time or with the home's location within a newly developing subdivision.

Standard 13 – Preservation of natural resources

This standard is not applicable to this petition. No tree or vegetation removal is proposed as part of this request.

Standard 14 – Compatibility of New Construction - In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for consistency with the chosen style.

This standard is not applicable.

Standard 15 – Repair to deteriorated features - Deteriorated architectural features shall be repaired rather than replaced, wherever possible, in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. In the event replacement is necessary, the new material need not be identical to but should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

This standard is now met given advancements in the synthetic roofing installations. The proposed synthetic roof product attempts to imitate natural wood shingle and advancements have been made that allow a high quality synthetic roof product, in a well-executed installation to provide an acceptable visual substitute for a natural or traditional roof product.

On this particular home, the gables are arched and appear to have a metal roof which can be replaced in kind and eliminate any concerns over the look of installation of a synthetic product on front facing gables.

Standard 16 – Surface cleaning.

This standard is not applicable to this request. Cleaning of the existing cedar roof shingles, which, according to City records were installed in 2001 is not proposed or appropriate due to the deteriorating condition of the shingles. Lack of regular

maintenance by prior owners of the property or use of an inferior cedar product in 2001, may in part have contributed to the current condition of the cedar shingles.

Standard 17 – Reversibility of additions and alterations - Wherever possible, additions or alterations to historic properties shall be done in such manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would not be impaired.

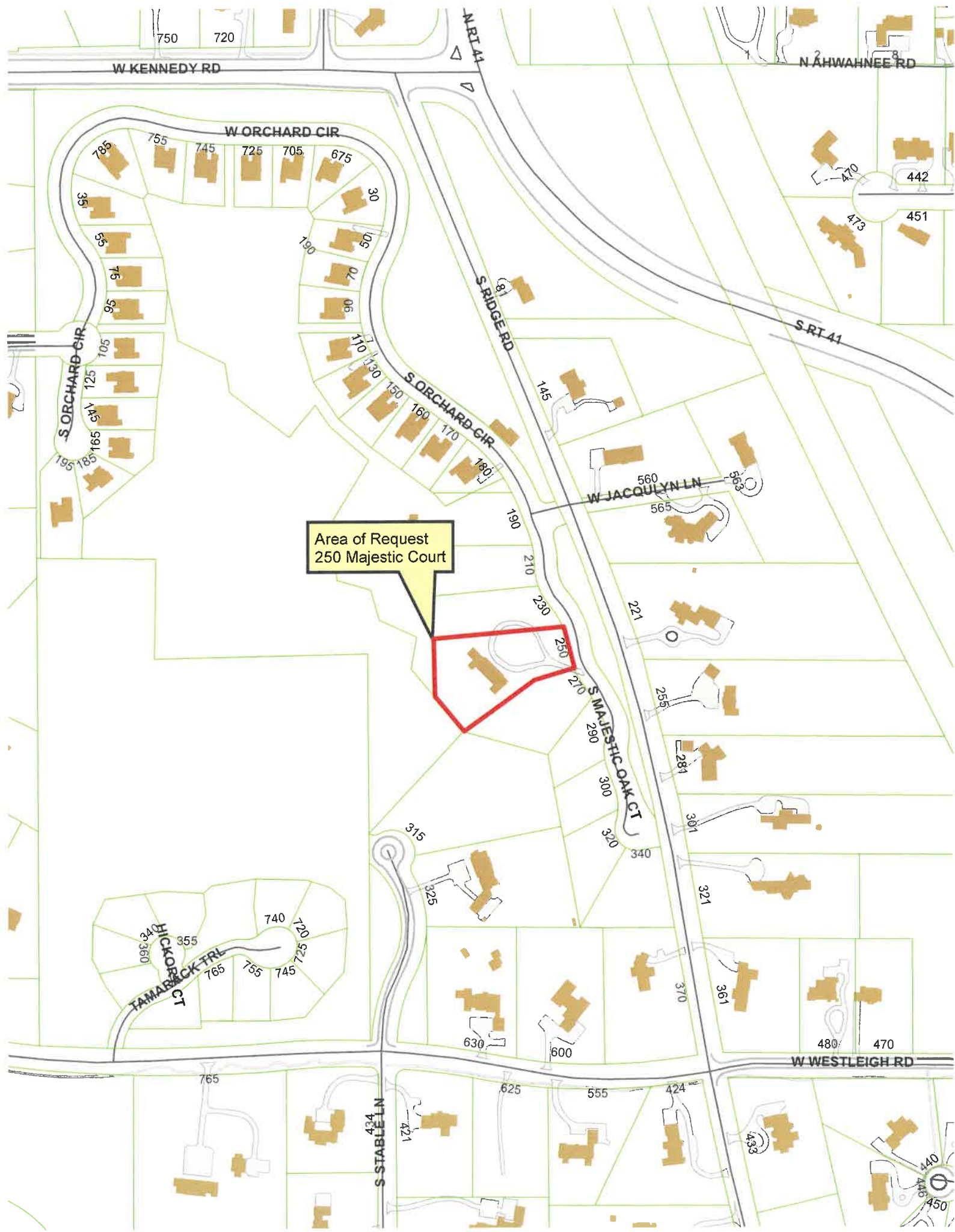
This standard is met. The roof material can be removed in the future without impacting the essential form of the historic property. Any newly developed material without a proven track record is subject to the risk of potential failure over time. The replacement process for a failed roof is straightforward and the responsibility falls on the homeowner to remediate.

Public Comment

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and residents and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no additional correspondence was received regarding this request.

Recommendation

(1) Grant a Certificate of Appropriateness approving the synthetic roof product with the characteristics as specifically proposed in this petition (2) adopt the above findings as the Commission's written findings of fact and reasons for its determination.





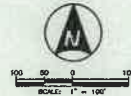
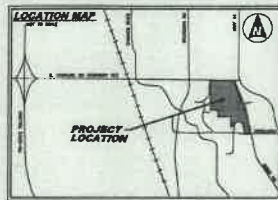
Area of Request
250 Majestic Oak Court

Text

7423055

8/24/2017

Survey: 08/24/2017 Time: 7:30:48 AM
 Project: 7423055
 File: 7423055-1-Sub-01.dwg
 User: J. H. H. H.
 Plot: 1 of 2
 Plot Date: 8/24/2017
 Plot Time: 7:30:48 AM
 Plot User: J. H. H. H.
 Plot Device: HPGL2
 Plot Scale: 1" = 100'



FINAL PLAT OF SUBDIVISION WESTLEIGH FARM

PLAT A, 2017-2, PART OF THE THIRTIETH, EIGHTH & NINTH, TOWNSHIP 36 NORTH, RANGE 10 EAST, COUNTY OF ILLINOIS

NOTES:

1. THIS PLAT IS BASED ON THE INFORMATION CONTAINED IN A COMMITMENT FOR THE SUBDIVISION OF THE WESTLEIGH FARM, PLAT A, 2017-2, PART OF THE THIRTIETH, EIGHTH & NINTH, TOWNSHIP 36 NORTH, RANGE 10 EAST, COUNTY OF ILLINOIS.
2. REVENUE BASED ON THE ILLINOIS DEPARTMENT OF REVENUE, 2016-17, 2017-18, 2018-19, 2019-20, 2020-21, 2021-22, 2022-23, 2023-24, 2024-25, 2025-26, 2026-27, 2027-28, 2028-29, 2029-30, 2030-31, 2031-32, 2032-33, 2033-34, 2034-35, 2035-36, 2036-37, 2037-38, 2038-39, 2039-40, 2040-41, 2041-42, 2042-43, 2043-44, 2044-45, 2045-46, 2046-47, 2047-48, 2048-49, 2049-50, 2050-51, 2051-52, 2052-53, 2053-54, 2054-55, 2055-56, 2056-57, 2057-58, 2058-59, 2059-60, 2060-61, 2061-62, 2062-63, 2063-64, 2064-65, 2065-66, 2066-67, 2067-68, 2068-69, 2069-70, 2070-71, 2071-72, 2072-73, 2073-74, 2074-75, 2075-76, 2076-77, 2077-78, 2078-79, 2079-80, 2080-81, 2081-82, 2082-83, 2083-84, 2084-85, 2085-86, 2086-87, 2087-88, 2088-89, 2089-90, 2090-91, 2091-92, 2092-93, 2093-94, 2094-95, 2095-96, 2096-97, 2097-98, 2098-99, 2099-100, 2100-101, 2101-102, 2102-103, 2103-104, 2104-105, 2105-106, 2106-107, 2107-108, 2108-109, 2109-110, 2110-111, 2111-112, 2112-113, 2113-114, 2114-115, 2115-116, 2116-117, 2117-118, 2118-119, 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2719-720, 2720-721, 2721-722, 2722-723, 2723-724, 2724-725, 2725-726, 2726-727, 2727-728, 2728-729, 2729-730, 2730-731, 2731-732, 2732-733, 2733-734, 2734-735, 2735-736, 2736-737, 2737-738, 2738-739, 2739-740, 2740-741, 2741-742, 2742-743, 2743-744, 2744-745, 2745-746, 2746-747, 2747-748, 2748-749, 2749-750, 2750-751, 2751-752, 2752-753, 2753-754, 2754-755, 2755-756, 2756-757, 2757-758, 2758-759, 2759-760, 2760-761, 2761-762, 2762-763, 2763-764, 2764-765, 2765-766, 2766-767, 2767-768, 2768-769, 2769-770, 2770-771, 2771-772, 2772-773, 2773-774, 2774-775, 2775-776, 2776-777, 2777-778, 2778-779, 2779-780, 2780-781, 2781-782, 2782-783, 2783-784, 2784-785, 2785-786, 2786-787, 2787-788, 2788-789, 2789-790, 2790-791, 2791-792, 2792-793, 2793-794, 2794-795, 2795-796, 2796-797, 2797-798, 2798-799, 2799-800, 2800-801, 2801-802, 2802-803, 2803-804, 2804-805, 2805-806, 2806-807, 2807-808, 2808-809, 2809-810, 2810-811, 2811-812, 2812-813, 2813-814, 2814-815, 2815-816, 2816-817, 2817-818, 2818-819, 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3108-1109, 3109-1110, 3110-1111, 3111-1112, 3112-1113, 3113-1114, 3114-1115, 3115-1116, 3116-1117, 3117-1118, 3118-1119, 3119-1120, 3120-1121, 3121-1122, 3122-1123, 3123-1124, 3124-1125, 3125-1126, 3126-1127, 3127-1128, 3128-1129, 3129-1130, 3130-1131, 3131-1132, 3132-1133, 3133-1134, 3134-1135, 3135-1136, 3136-1137, 3137-1138, 3138-1139, 3139-1140, 3140-1141, 3141-1142, 3142-1143, 3143-1144, 3144-1145, 3145-1146, 3146-1147, 3147-1148, 3148-1149, 3149-1150, 3150-1151, 3151-1152, 3152-1153, 3153-1154, 3154-1155, 3155-1156, 3156-1157, 3157-1158, 3158-1159, 3159-1160, 3160-1161, 3161-1162, 3162-1163, 3163-1164, 3164-1165, 3165-11



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS

PROJECT ADDRESS 250 Majestic Oak Ct

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- ☐ East Lake Forest District ☐ Green Bay Road District ☐ Vine/Oakwood/Green Bay Road District
☒ Local Landmark Property ☐ Other
or District

PROPERTY OWNER INFORMATION

Danny & Janette Hodgkinson
Owner of Property

ARCHITECT/BUILDER INFORMATION

Name and Title of Person Presenting Project

Owner's Street Address (may be different from project address)

Name of Firm

City, State and Zip Code

Street Address

815-260-8692

Phone Number

Fax Number

City, State and Zip Code

jnet2323@gmail.com

Email Address

Phone Number

Fax Number

Email Address

[Signature]
Owner's Signature

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER

☐ REPRESENTATIVE



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Danny & Janette Hodgkinson
Owner of Property

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City, State and Zip Code

815-260-8692

Phone Number

Fax Number

jnet2323@gmail.com
Email Address

[Signature]
Owner's Signature

ARCHITECT/BUILDER INFORMATION

Name and Title of Person Presenting Project

Name of Firm

Street Address

City, State and Zip Code

Phone Number

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Email Address

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THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Facade Material

- ☐ Stone
☐ Brick
☒ Wood Clapboard Siding
☐ Wood Shingle
☐ Cementitious Stucco
☐ Other _____

Color and/or Type of Material _____

Foundation Material

Exposed Foundation Material _____

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Color of Finish White

Finish and Color of Windows

- ☒ Wood (recommended)
☐ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Window Muntins

- ☐ Not Provided
☒ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars (recommended)
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Other _____

Fascias, Soffits, Rakeboards

- ☐ Wood
☐ Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
☐ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
☒ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Composition Shingles _____
☐ Sheet Metal _____
☐ Other _____

Flashing Material

- ☒ Copper
☐ Other _____
☐ Sheet Metal

Color of Material _____

Gutters and Downspouts

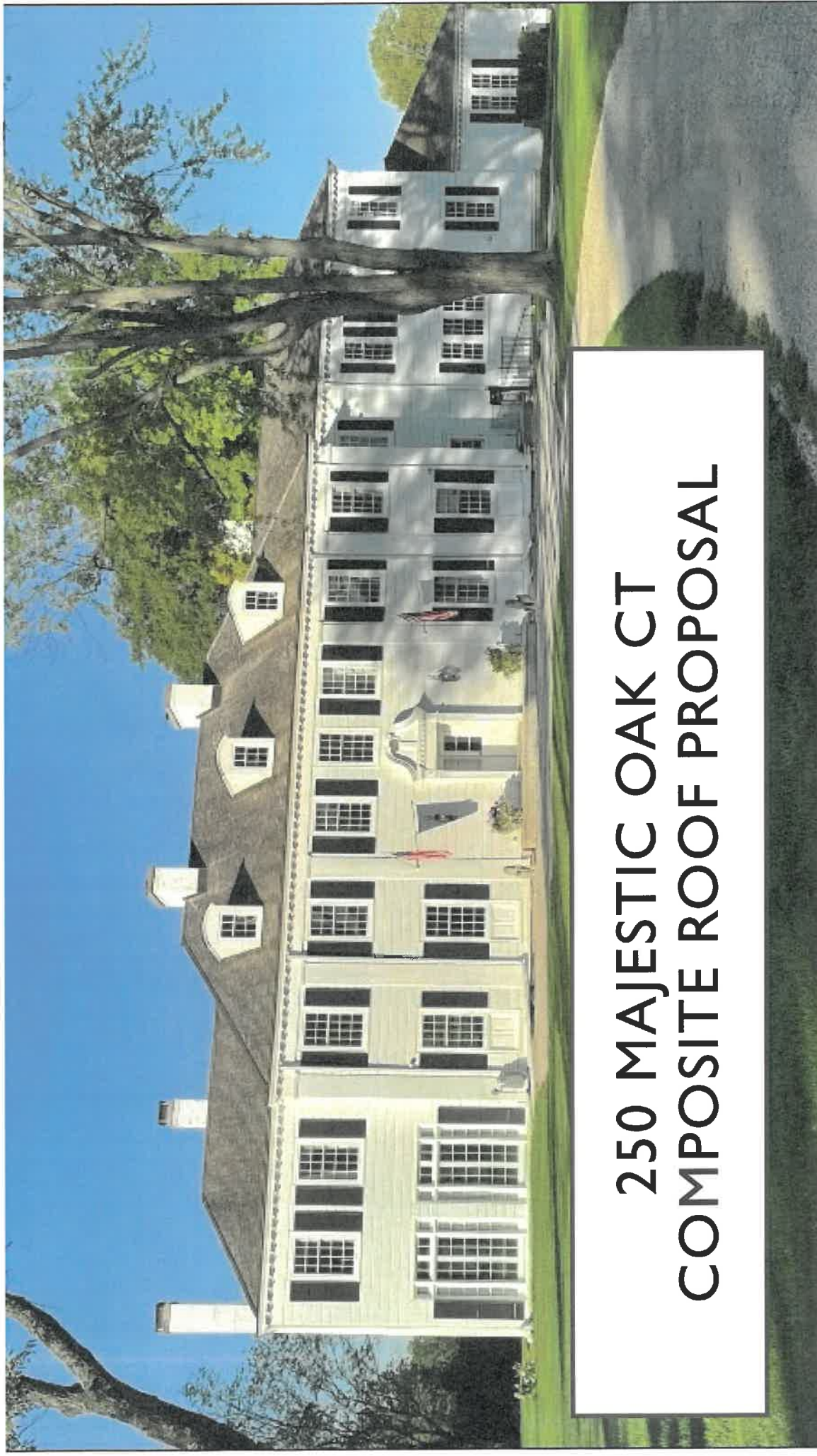
- ☒ Copper
☐ Aluminum
☐ Other _____

Driveway Material

- ☐ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☒ Crushed Stone
☐ Other _____

Terraces and Patios

- ☒ Bluestone
☐ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☒ Other limestone



250 MAJESTIC OAK CT COMPOSITE ROOF PROPOSAL

STATEMENT OF INTENT

- Due to the 2023 hail storm, a new roof is required for 250 Majestic Oak Ct, previously 210 S Ridge Rd. This home is an original Howard Van Doren Shaw known as the King Estate. We have resurrected the once abandoned home and have been restoring the property. To replace the roof we have spoken with several experts including the ISHPO and have determined that composite would be the only sustainable material to match the existing roof.
- The current shingle is a very thin small shake typically only used for siding. The roofing experts consulted said they would never recommend installing this type of shingle again on a roof.
- The closest match found is a specialty Davinci composite that has a smaller reveal than most shake roofs, which will look similar to what is there currently. Currently there is a 5" exposure, a shake roof is 8-10" and this composite has a maximum exposure of 8" .
- The current width of my shingles are 4" -9" this composite is 4" -10"

EXISTING ROOFING MATERIAL

- The existing shingle is a 1/4" thin small cedar shake typically only used for siding.
- Currently there is a 5" exposure
- The current width of the shingles vary from 4"-9"
- The roofing expert consulted said they would never recommend installing this type of shingle again on a roof in the Midwest. It is so thin
- Color is a dark grey aged cedar



PROPOSED MATERIAL

Proposed material is a specialty Davinci shake composite (made for siding) in the Black Oak color

Matching ridges and caps

Flashing will be copper

Texture is similar to real shake with a matte finish

Thickness is 1/2" – butt 1"



MAIN STREET

GENERAL CONTRACTORS



INSTALLATION METHOD

MAIN STREET

GENERAL CONTRACTORS



250 Majestic Oak Ct Lake Forest IL
Homeowner Phone Number 815-260-8692

- Remove 63 SQ of Cedar Woodshake and replace 69 SQ of DaVinci Shingles, with a Lifetime Warranty provided by the manufacturer on house. Sample provided.
- Will install 30# felt paper according to the Slope of the house which is 8/12 stated on the Eagleview provided
- Remove old and replace 208 LF of copper valleys. Total of 43 valleys.
Roof deck must be sound and in good condition and if replacement is required, it must be of same material, same exposure rating, same span rating or better and same thickness as existing
- The shingles shall be nailed in a technically correct manner using 2 nails per shingle and concealed from the weather.
- Will Provide two layer of underlayment Cemented together or a self-adhering polymer modified bitumen sheet (commonly known as - 'ice and water shield') which is required for roof over heated space and should extend from lowest edges/gutter of all roof surfaces to a point 24 inches minimum (measured horizontally) from the inside face of the exterior insulated wall line of the building (unless the overhang dimension is provided, the width of the membrane/underlayment used will not shed light on the 24" minimum requirement)
- 2 roof vent, plumbing stacks will be replaced and installed in compliance with code (Section R806.2) and
- This proposal includes the removal and disposal of the existing roof.
- Building permit will be obtained by Main Street General prior to start if necessary.
- Damaged plywood will be replaced at the rate of \$70 per 4 x 8 sheet of ½ in. plywood or percentage thereof.
- All landscaping will be protected to avoid any damage and all debris will be removed from gutters.

GABLES

Gables and two bay windows in rear of home will be replaced with copper if needed – these are curved and will remain looking identical as they do now.



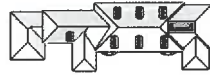


Premium Report
6/19/2023

250 Majestic Oak Ct, Lake Forest, IL 60045

Report: 53211868

ROOFLINE MOCKUP



In this 3D model, facets appear as semi-transparent to reveal overhangs.

PREPARED FOR

Contact: Scott Minton
Company: Green Light Public Adjuster Group
Address: 5525 lee ave
Downers Grove, IL 60515
Phone: 630-330-0257

TABLE OF CONTENTS

Images	1
Length Diagram	4
Pitch Diagram	5
Area Diagram	6
Notes Diagram	7
Report Summary	8

MEASUREMENTS

Total Roof Area = 6,828 sq ft
Total Roof Facets = 66
Predominant Pitch = 8/12
Number of Stories > 1
Total Ridges/Hips = 465 ft
Total Valleys = 208 ft
Total Rakes = 38 ft
Total Eaves = 624 ft

Measurements provided by www.eagview.com



Certified Accurate

www.easylevel.com/Guarantee.aspx

IMAGES

The following aerial images show different angles of this structure for your reference.

Top View



North Side



South Side



IMAGES

East Side



West Side

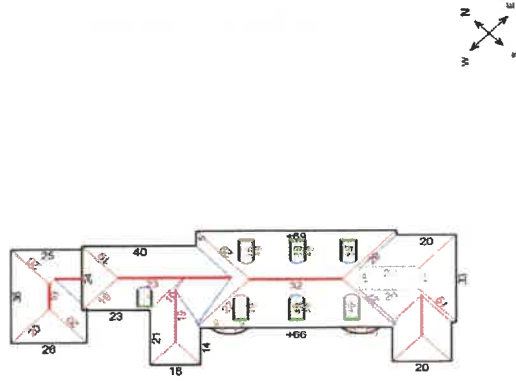


LENGTH DIAGRAM

Total Line Lengths:
Ridges = 125 ft
Hips = 340 ft

Valleys = 208 ft
Rafters = 38 ft
Eaves = 624 ft

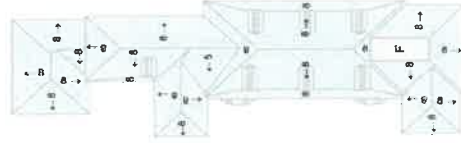
Flashing = 45 ft
Scoop Flashing = 170 ft
Parapets = 0 ft



Note: This diagram contains segment lengths (rounded to the nearest whole number) over 5.0 Feet. In some cases, segment labels have been removed for readability. Plus signs offset some numbers to avoid confusion when rotated (e.g., +6 and +9).

PITCH DIAGRAM

Pitch values are shown in inches per foot, and arrows indicate slope direction. The predominant pitch on this roof is 8/12



Note: This diagram contains labeled pitches for facet areas larger than 20.0 square feet. In some cases, pitch labels have been removed for readability. Blue shading indicates a pitch of 3/12 and greater. Gray shading indicates flat, 1/12 or 2/12 pitches. If present, a value of "0" indicates a flat facet (no pitch).

AREA DIAGRAM

Total Area = 6,828 sq ft, with 66 facets.



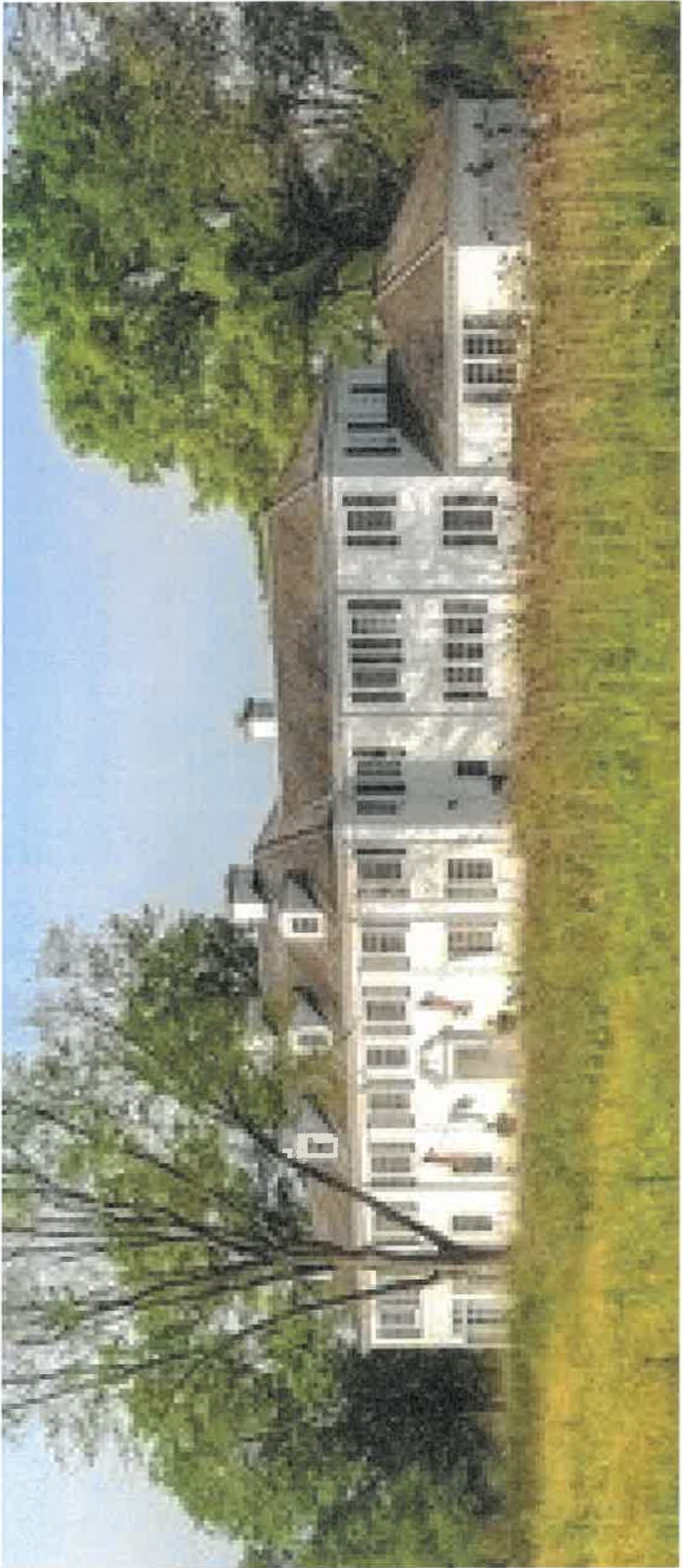
Note: This diagram shows the square feet of each roof facet (rounded to the nearest foot). The total area in square feet, at the top of this page, is based on the non-rounded values of each roof facet (rounded to the nearest square foot after being totaled).

**ADDRESSES WITH
BLACK OAK DAVINCI**

880 WOODSTREAM COURT	LAKE FOREST
960 S RIDGE	LAKE FOREST
720 BUENA ROAD	LAKE FOREST

LANDSCAPE ENHANCEMENT PLAN
IF THE HOUSE IS PROMINENT ON THE STREETSCAPE
AND VIEWS OF THE ROOF ARE NOT SOFTENED BY
LANDSCAPING
N/A

PHOTOS OF THE HOUSE ILLUSTRATING VIEWS FROM
THE STREETSCAPE
NO OTHER HOMES ON EITHER SIDE







Agenda Item 5
333 North Green Bay Road
Landscape, Hardscape, Fencing, and Lighting for a
Previously Approved New Home

Staff Report
Vicinity Map
Air Photo
Streetscape Photos

Materials Submitted by Petitioner

Application
Plat of Survey
Current Site Photos
Fence Plan
July 23, 2023 Proposed Fence Plan
Conservation Easement Fence Calculation
Tree Removal Plan
Tree Removal Summary
Landscape Plan
Landscape Materials
Hardscape Plan
Lighting Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.



TO:	Chairman Grinnell and members of the Historic Preservation Commission
DATE:	April 24, 2024
FROM:	Abigail Vollmers, Senior Planner
SUBJECT:	333 N. Green Bay Road – Landscape, hardscape, and fencing

PROPERTY OWNERS

Joshua and Jayme
O'Donnell
35 N. Aberdeen Street
Chicago, IL 60607

PROPERTY LOCATION

333 N. Green Bay Road

HISTORIC DISTRICTS

Green Bay Road Local &
National Register Historic
District

PROJECT REPRESENTATIVE

Bruce Everly and Joel Balentyne, Midwest Arbor Corp
1700 Holian Drive
Spring Grove, IL 60081

SUMMARY OF THE PETITION

This is a request for a Certificate of Appropriateness to approve the landscape (including tree removals beyond the immediate zone of construction), hardscape, fencing, and exterior lighting for a previously approved new single-family residence and attached garage on a vacant lot. Construction is underway on the site.

The residence and overall site plan were approved at the July 26, 2023 Historic Preservation Commission meeting. Consideration of tree removal beyond the area immediately impacted by construction, and the fencing, landscape, and lighting plans were continued to allow further development and to allow development of the site to get underway to give a better sense of visibility and relationships to the streetscape and surrounding properties.

As described in the petitioner's original statement of intent, the proposed residence was inspired by the work of architect Ike Colburn. The design of the house is contemporary and is intended to be simple in massing and detailing with a modern material and color palette.

The fencing, landscape, and lighting plans and details on the fencing and landscape materials submitted by the petitioner are included in the Commissioners' packet.

DESCRIPTION OF PROPERTY

The property is located on the east side of Green Bay Road, just south of the intersection with Pembroke Drive. The property is Lot 1 of the Volney Foster Resubdivision, a two-lot subdivision approved in 1997. Lot 2 of the subdivision is immediately east of the petitioner's property and is a lot in depth, with no street frontage. This property is developed with a three-story Georgian-style residence built in 1898. Both lots are heavily wooded and share a single curb cut and driveway.

The property at 333 N. Green Bay Road is 1.64 acres in size. There is a 50-foot conservation easement along the entire west side of the property line. This easement was established to maintain the wooded streetscape character along Green Bay Road. The entire 50-foot strip is required to remain vegetated using good forestry practices. Direct access to Green Bay Road from the property is prohibited as documented on the recorded plat of subdivision. Access to the property must be off the shared driveway that extends along the north side of the property. The driveway currently and will continue to provide access to the residence to the east at 335 N. Green Bay Road.

STAFF EVALUATION

Overview of Site Plan

The proposed residence is sited at an angle generally in the center of the property. A short driveway is proposed from the existing shared driveway to the north. A 20-foot-wide driveway gate anchored by two 4.5-foot-tall brick entry pillars and a 4-foot-high fence across the front (north) yard are proposed on either side of the driveway. A square motor court is located inside the gate at the front of the home. From the east side of the motor court, a curved driveway is proposed to access the east facing three-car attached garage. A stone patio and inground pool are proposed on the south side of the residence. The overall site plan was previously approved by the Commission.

The following materials received from the petitioner are included in the Commission's packet: a landscape plan, information on the proposed plant materials, an updated tree removal plan, and a hardscape plan and are reviewed below.

Fencing and Pillars

A fencing system with three types of fence material is being proposed for the property.

At the **west** property line along Green Bay Road a 6.5-foot-tall metal picket fence is intended to run the full length of the property and will be 3 feet back from the property line as required by the Code, and 8'-10" off the Green Bay Road sidewalk. This custom designed fence has two courses, a 2-foot high heavily picketed course at the bottom and a 4.5-foot less picketed course on top, the fence meets the 80% open criteria per the included calculation page. The design inspiration photos in the package suggest the fence will be painted black.

At the time the residence was presented to the Commission for review, the conceptual landscape plans appeared to indicate a more traditional wrought iron fence along Green Bay Road and a vertical board privacy fence along the other property lines. The fence styles currently proposed are more modern, a black metal picket fence and a horizontal board privacy fence which both feel industrial. The fencing style relates to the new house but appears out of place along the streetscape where a combination of fencing materials is visible. Stockade fencing is used across the street, and to the north and south of the property there are traditional fences that match the style of the related homes. To the north, a lower course of brick wall sets off a plain wrought iron fence punctuated with ball capped brick posts. Trimmed bushes run along the brick

base. To the south a wood panel fence with solid lower panels and upper spindles is repeated between rusticated brick posts.

Staff Recommendation:

Provide comment and direction on the appropriateness of the fence styles proposed around the property in relation to the streetscape and surrounding residences.

The existing shared driveway has matching piers, one on either side, each has an address of one of the homes in the subdivision. These are not reflected on any of the submitted plans.

Along the **north** side of the property, setback from the north property line in an angled manner to align with the orientation of the house and motor court, a similar looking 4-foot-high black picket fence is proposed with four 4.5-foot-high brick pillars, two on each side of the driveway. The pillars and gates appear to be set back a sufficient distance to allow a vehicle, including delivery trucks to pull completely off the shared driveway. No details are provided on the location and appearance of the gate controls or mail/package delivery components on the pillars. The section of fencing running through the conservancy easement meets the 80% open requirement.

Staff Recommendation: The plans submitted for permit shall include a dimensioned plan to verify that a typical delivery truck (a box truck) can pull completely off the shared driveway, and on to the apron in front of the gate, with sufficient space for the gate to open.

Staff Recommendation: The plans submitted for permit shall include a detail of gate controls and mail/package delivery components and where they are located on the pillars.

A privacy fence is the third fence type and runs along the **west** building line setback, outside of the Conservation Easement, across the **southern** property edge, and along the full distance of the **east** property line. This fence closes off the back yard parallel to the house on either front side completing the requirement for fencing around the pool.

Tree Removal and Landscape and Hardscape Plan

The updated tree removal plan reflects the 81 trees that were removed from the immediate area of construction as previously approved by the Commission concurrent with approval of the house.

An additional 44 trees are now proposed for removal by the petitioners' landscape architect along with 20 trees dead trees, 5 of which are located in the Conservation Easement. A site walk through with the City Arborist was conducted on April 4, 2024 during which the recommended tree removals noted by the landscape architect were reviewed and approved by the City Forester due to health considerations.

The landscaping plan and material list for the Conservancy Easement were also reviewed and recommended for approval by the City Forester. The mature trees in good health are to be maintained and new Pin Oak, White Pine, and Canadian Hemlock trees will be planted to fill in the gaps in the canopy. The understory buckthorns are to be removed and replanted with native witch-hazel and bottlebrush buckeye bushes to provide lower-level screening. A native wildflower mix is being proposed along the eastern side of the easement where there is more sunlight. The combination of plantings will restore the required density of the easement while eliminating invasive species. Lawn is not permitted within the Conservancy Easement.

The landscaping around the rest of the site will provide planting buffers to the house on the east and the south. Landscaping plantings are also proposed around the house and at the front entrance and back patio areas.

The landscape plan as presented includes 213 inches of replacement trees. On the final landscape plan submitted for permit the replacement inches will need to be clearly detailed.

The proposed hardscape materials match what was presented in July of 2023 and are appropriate with the materiality of the house.

Lighting Plan

The lighting plan consists of ground mounted tree up lights within the building setbacks on the west, south, and east sides, path lighting around backyard pool deck and patio areas, and hardscape lighting at storage areas on the patio. On the north side of the property four tree up lights are proposed near the gated entry. The type and location of the lights is consistent with the City's Lighting Guidelines however the fixture cut sheets are missing from the package and will be needed to be submitted for permit in order to complete the lighting review.

Findings

A review of the staff review of the Historic Preservation standards in the City Code is provided below. As appropriate, findings in response to the standards are offered for the Commission's consideration. Since the subject of this petition is fencing, landscape, hardscape, and exterior lighting, not all of the standards are applicable and some of the standards are only applicable to some of the components.

Standard 1 – Height.

This standard is met. The height of the fences comply with the Code.

Standard 2 - Proportion of front façade.

This standard is not applicable to this petition.

Standard 3 – Proportion of openings.

This standard is met with the 80% openness.

Standard 4 – Rhythm of solids to voids.

This standard is met. The balance of solids to voids in the fence proposed along Green Bay Road are generally consistent with some of the other fences along the streetscape.

Standard 5 – Rhythm of spacing and structures on streets.

This standard is not applicable to this petition.

Standard 6 – Rhythm of entrance porches.

This standard is not applicable to this petition.

Standard 7 – Relationship of materials and textures.

This standard is met. The proposed hardscape materials are high quality and relate to the new house.

Standard 8 – Roof shapes.

This standard is not applicable to this request.

Standard 9 – Walls of continuity.

This standard is not applicable to this request.

Standard 10 – Scale.

This standard is not applicable to this request.

Standard 11 – Directional Expression of Front Elevation.

This standard is not applicable to this request.

Standard 12 – Preservation of historic material.

This standard is not applicable to this request.

Standard 13 – Preservation of natural resources.

This standard is met. Healthy trees located in the Conservancy Easement and elsewhere on the site will be preserved. The Conservancy Easement will be replanted with appropriate materials to maintain the existing wooded character and the density of plantings along the Green Bay Road streetscape.

Standard 14 – Compatibility.

This standard is not fully met. The style of the fence proposed along Green Bay Road differs from other fences along the streetscape.

Standard 15 – Repair to deteriorated features.

This standard is not applicable to this request.

Standard 16 – Surface cleaning.

This standard is not applicable to this request.

Standard 17 – Integrity of historic property – Reversibility of Additions and Alterations.

This standard is not applicable to this request.

PUBLIC COMMENT

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no public comment has been received.

RECOMMENDATION

Grant a Certificate of Appropriateness approving the tree removals, landscaping, hardscaping, and exterior lighting for a new single-family residence with attached garage, at 333 N. Green Bay Road subject to the following conditions of approval.

1. The proposed light fixtures to be mounted on the exterior walls of the home, noted as existing light fixtures on the plan, must be submitted for review prior to rough in wall inspections. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights. All exterior lighting shall be sensitive to the dark sky character of the neighborhood.

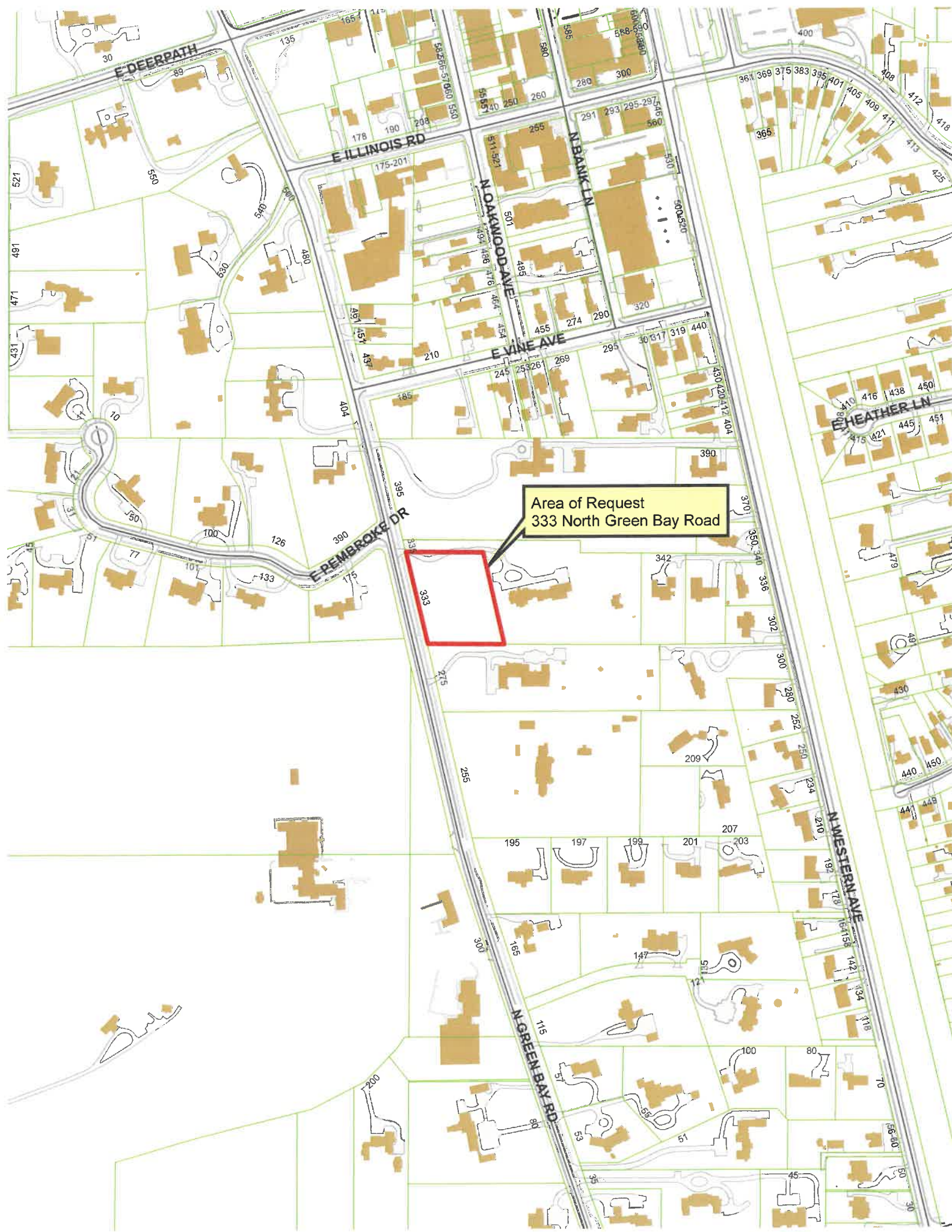
2. Plans submitted for permit must reflect the project as presented to the Commission. Any refinements made in response to direction from the Commission, or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Commission shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Commission's direction and approval prior to the issuance of any permits.

AND

Continue consideration of the fencing to allow review and modifications based on the Commission's and direction and to address the following comments.

3. The style of the fencing should relate to the new house and blend in with the streetscape and surrounding fence styles.

4. If the existing piers at the driveway entrance are to remain, provide detailed plans reflecting the transition between the new fence and the piers.



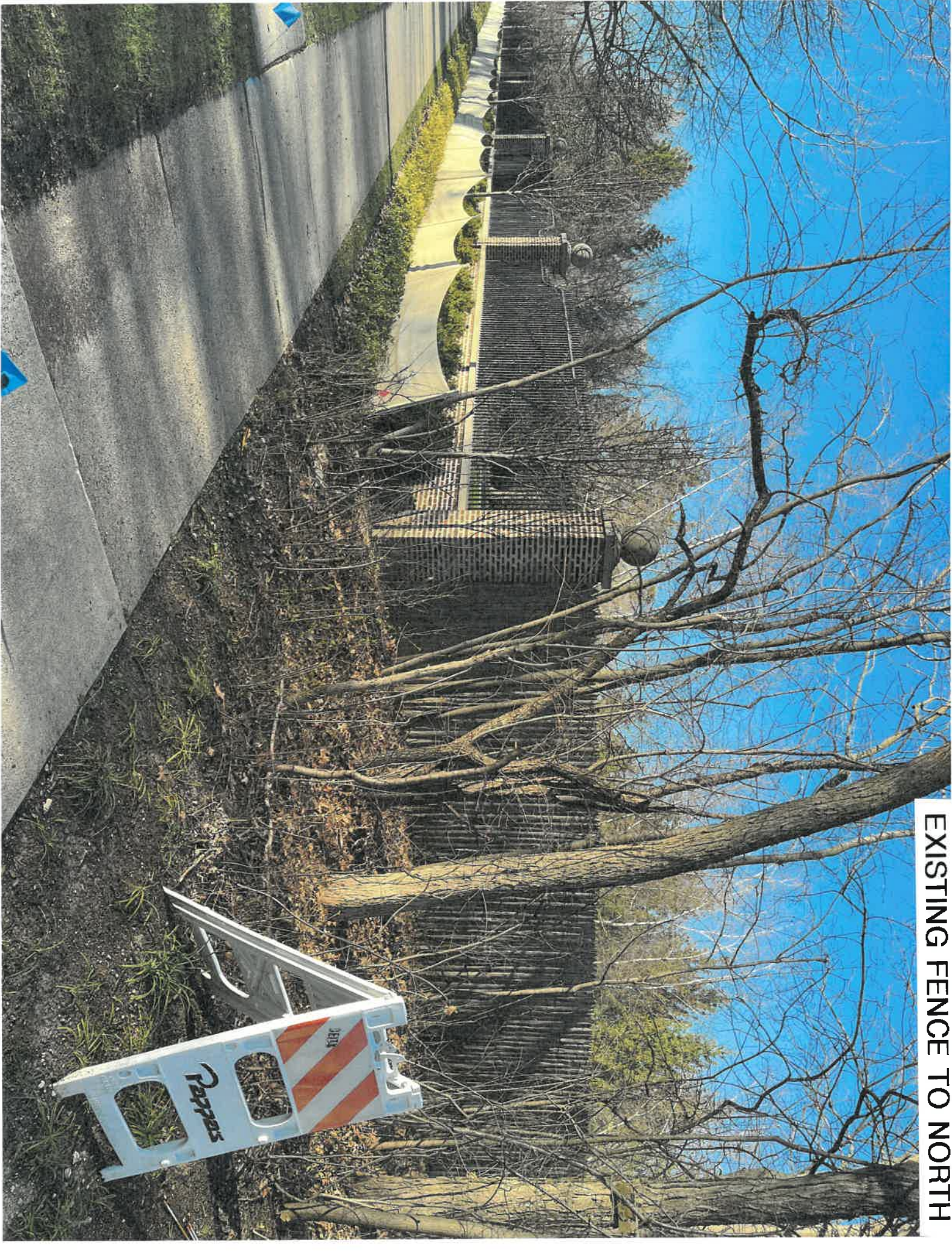
Area of Request
333 North Green Bay Road



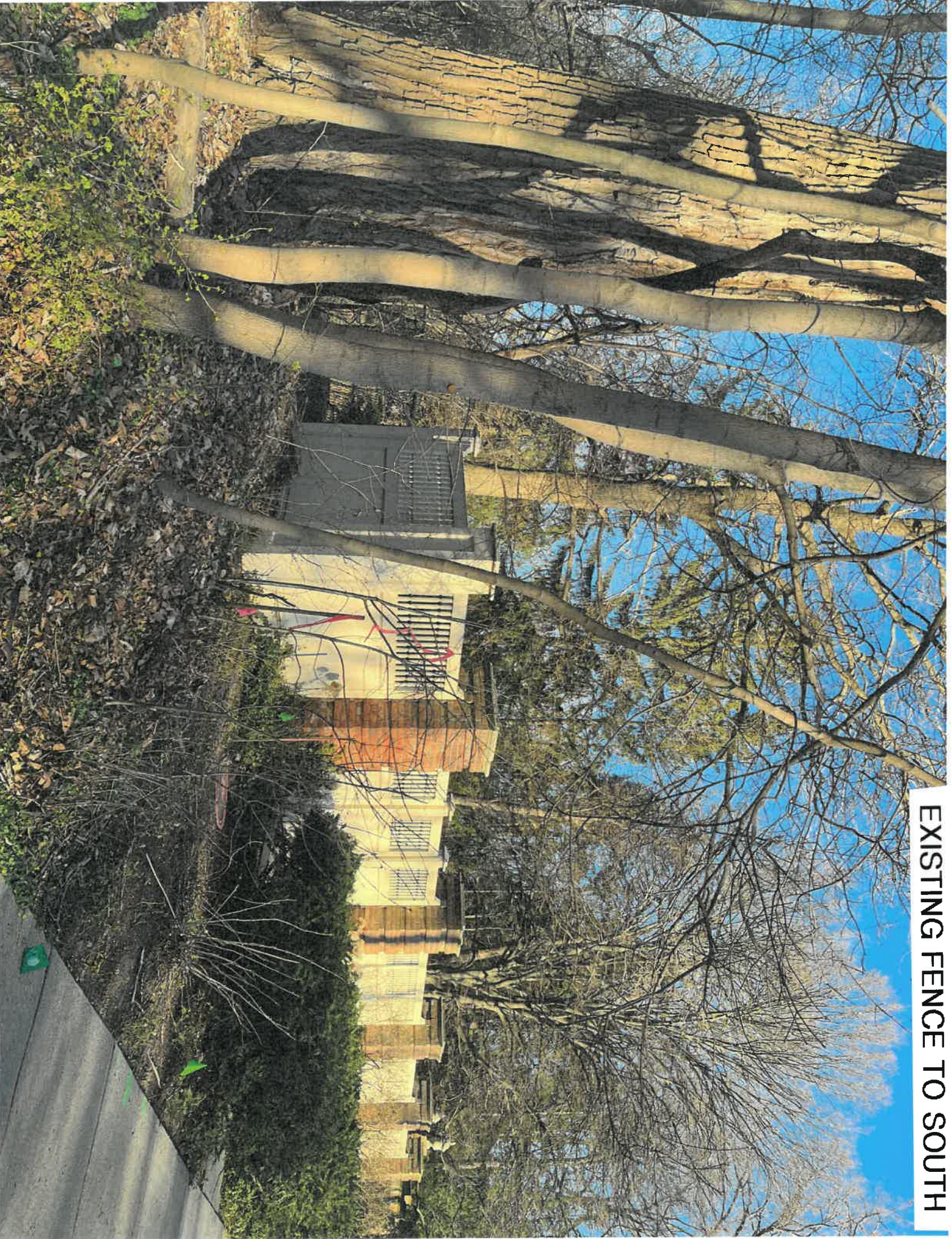
DRIVEWAY ENTRANCE PILLARS



EXISTING FENCE TO NORTH



EXISTING FENCE TO SOUTH



GREEN BAY ROAD VIEW NORTH





THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS

PROJECT ADDRESS 333 Green Bay Road

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- ☐ East Lake Forest District
 ☒ Green Bay Road District
 ☐ Vine/Oakwood/Green Bay Road District
☐ Local Landmark Property or District
 ☐ Other

PROPERTY OWNER INFORMATION

Joshua and Jayme O'Donnell

Owner of Property

35 North Aberdeen Street

Owner's Street Address (may be different from project address)

Chicago, IL 60607

City, State and Zip Code

Phone Number

Fax Number

joshua.odonnell@outlook.com

jaymemm@outlook.com

Email Address

ARCHITECT/BUILDER INFORMATION

Bruce Everly / Joel Balentyne

Name and Title of Person Presenting Project

Midwest Arbor Corp.

Name of Firm

1700 Holian Dr.

Street Address

Spring Grove, IL 60081

City, State and Zip Code

815-675-6766

Phone Number

Fax Number

joel.balentyne@midwestarborcorp.com

Email Address

DocuSigned by:

Joshua O'Donnell

Owner's Signature 60047F57DE74F3...

Joel Balentyne

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER

☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

☐ OWNER

☐ REPRESENTATIVE

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☐ Copper
- ☐ Other _____
- ☐ Sheet Metal

Color of Material _____

Gutters and Downspouts

- ☐ Copper
- ☐ Aluminum
- ☐ Other _____

Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☒ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☒ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____



THE CITY OF LAKE FOREST

HISTORIC PRESERVATION COMMISSION APPLICATION CHECKLIST

All of the following items must be submitted before your petition will be scheduled for consideration by the Historic Preservation Commission at an upcoming meeting. Please review the attached submittal schedule for the necessary deadlines. The following checklist (3 pages) should be completed and submitted with your application.

NOTE: Packets of information and drawings should be generally arranged in the following order

Commission Filing Fees – see fee schedule at www.cityoflakeforest.com

- ☐ **Historic Preservation Commission Filing Fee.**
- ☐ **Building Scale Calculation Fee.** *Required for additions and new construction.*

General

- ☒ **Application Form** (Attached)
- ☐ **Description of Exterior Materials** (Attached) *Samples of materials should be available for Commission review.*
- N/A ☐ **Statement of Intent** describing the proposed project. The description should explain how the project meets the 14 Standards of the Historic Preservation Ordinance, identify existing site and building conditions, the design rationale for the project and any unique limitations of the project.
- N/A ☐ **Statement supporting a Building Scale Variance** (if requested) based on the criteria in the Building Scale and Environment Ordinance should be included in the statement of intent. (see attached)
- N/A ☐ **Statement addressing the Demolition Criteria** (if Demolition is requested) in the Code is required. (see attached)
- N/A ☐ **Completed Building Scale Workbook.** One copy submitted with the 1/4 inch scale plans. Workbooks are available on our website at www.cityoflakeforest.com or at the Municipal Services Building at 800 Field Drive.
- see Civil ☒ **Impervious Surface Calculation** of the current amount of impervious surface and the proposed amount, including all building footprints, driveways, patios, terraces, pool decks, tennis courts etc.

At the Site for All Requests

- ☐ **Stake the Footprint** of all new residences and all additions. Ribbon at least two inches wide and of a bright color must be erected to represent the perimeter or outline of the building. The site must be staked at least two weeks prior to the meeting. *Staff and Commissioners will visit the site during that two-week period.*
- ☐ **Roofline Mock-Up.** Depending on the type of project, staff may require a roofline mock-up on the site. The mock-up should be erected to represent the roofline of the structure or addition, and strong enough to accurately maintain the proposed roof outline and height.

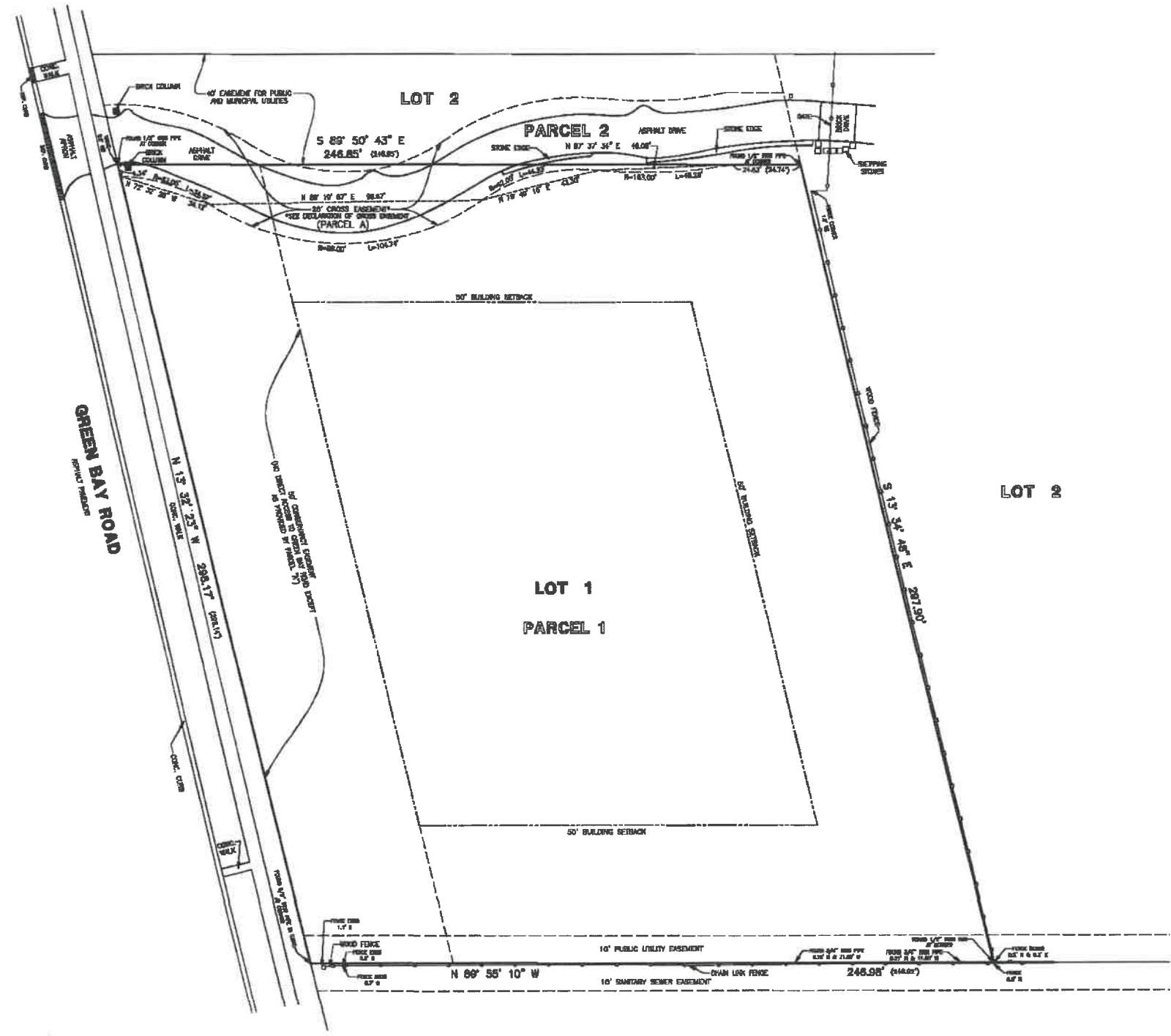
Plans & Drawings

- ☒ **Official Plat of Survey** showing the exact location of all existing buildings, parking areas, public improvements, easements, required setbacks, trees and other key features of the site.
- ☒ **Site Plan of Proposed Improvements.** The site plan shall show the property lines, zoning setbacks, any utility and access easements, conservation easements, preservation and no-disturbance areas, the location of all existing and proposed buildings or additions including roof overhangs, all patios, terraces, tennis courts, swimming pools and other accessory structures. All existing trees 8" DBH or larger and all clusters of 6 or more trees of at least 4" DBH shall be reflected on the plan.
- N/A ☐ **Parking lot Layout** (if applicable) complete with stall dimensions, number of spaces, wheel stops, type of surface, drainage, lighting, fencing, planting, aisle width, driveway approaches and required handicapped parking.
- ☒ **Grading Plan (Planning staff may waive this requirement for the HPC meeting if no grade change is proposed.)** If grade changes are proposed, a plan shall be submitted showing the existing elevation of the site and the location and amount of all proposed grading and fill. All existing trees 8" DBH or larger and all clusters of 6 or more trees of at least 4" DBH shall be reflected on this plan.
- ☐ **Site Grading Cross Section (if grade change is proposed.)** The cross section should show the existing grade on the site, the proposed grade, the proposed top of first floor and a measurement to the highest roof ridge. In cases where significant change to the existing grade is proposed, multiple sections may be necessary to clearly explain the project.
- ☒ **Tree Survey.** The survey shall include information on all existing trees 8" DBH or larger and cluster of 6 or more trees at least 4" DBH. Information shall include the location, size, species and conditions of each tree. Each tree shown on the survey shall be tagged on the site. The plan should indicate any trees proposed for removal.
- ☒ **Landscape Plan,** complete with size and species at the time of planting. The plan should show existing trees and vegetation and indicate whether they will remain or be removed.
- ☐ **Proposed Elevations.** Elevations should include a 6 ft figure on each elevation to show human scale. Additions should be drawn as they relate to the original structure and should be clearly illustrated as new building versus existing structure. Elevations should show both the existing and new buildings.
- ☐ **Proposed Floor Plans.** Additions should be drawn as they relate to the original structure.
- ☐ **Proposed Roof Plan**
- ☐ **Cross Sections** showing attic heights and existing grade on the site.
- ☐ **Streetscape Elevations** (Required for all new houses and major additions visible from the street) At a minimum, streetscape elevations should show the front elevations of the proposed house and adjacent structures. The streetscape elevation should illustrate any substantial grade changes between properties.
- ☒ **Photographs** of the site, existing buildings and the immediate neighborhood.
- ☐ **Supporting Documentation** related to the project including background or historical information on the property or letters from neighboring residents.
- ☐ **Concept Studies** of alternative designs and siting options for additions, new construction, and accessory structures to better explain the proposed project. Providing a list of pros and cons of the alternative concept studies is encouraged.

PLAT OF SURVEY

PARCEL 1:
LOT 1 IN VOLNEY FOSTER RESUBDIVISION, BEING A SUBDIVISION OF LOT 1 IN VOLNEY FOSTER SUBDIVISION OF PART OF THE NORTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 22, 1997 AS DOCUMENT 3898149 IN LAKE COUNTY, ILLINOIS.

PARCEL 2:
EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL 1 OVER THAT PART OF LOT 2 AS SHOWN ON PLAT OF VOLNEY FOSTER RESUBDIVISION, RECORDED JULY 22, 1997 AS DOCUMENT NUMBER 3898149, AND AS GRANTED BY THE DOCUMENT RECORDED JULY 28, 1997 AS DOCUMENT 3898106, IN LAKE COUNTY, ILLINOIS.



LOCATION MAP
NOT TO SCALE

AREA
71,503 Sq. Ft. OR 1.64 ACRES (MORE OR LESS)

STATE OF ILLINOIS } SS
COUNTY OF LAKE }
WE, GREENGARD, INC., DO HEREBY STATE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 6TH DAY OF JUNE, A.D., 2023.
JOSEPH R. SADOSKI
GREENGARD, INC.
111 BARTCLAY BOULEVARD, SUITE 310
LINCOLN-SHIRE, ILLINOIS 60069
PROFESSIONAL LAND SURVEYOR NO. 3318
MY RENEWABLE LICENSE EXPIRES 11-30-24.



DECLARATION OF CROSS EASEMENT:
FOR THE BENEFIT OF LOT 1 OVER LOT 2, THE PART OF LOT 1 IS GRANTED TO LOT 2, AND THE PART OF LOT 2 IS GRANTED TO LOT 1, FOR THE PURPOSES OF THE CROSS EASEMENT FOR INGRESS AND EGRESS.

1. AS SHOWN ON THE PLAT, THE CROSS EASEMENT FOR INGRESS AND EGRESS IS GRANTED TO LOT 2, AND THE PART OF LOT 2 IS GRANTED TO LOT 1, FOR THE PURPOSES OF THE CROSS EASEMENT FOR INGRESS AND EGRESS.

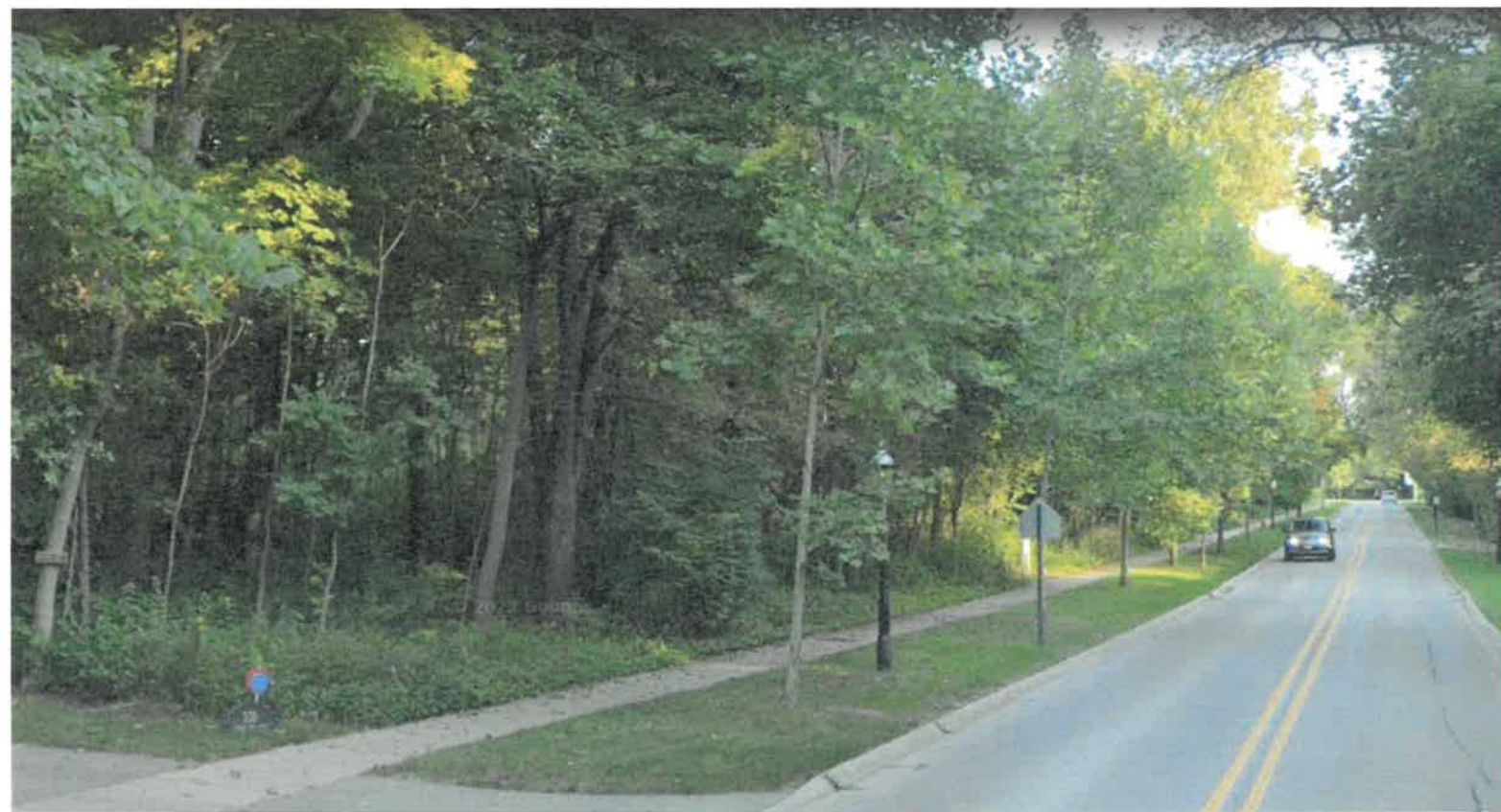
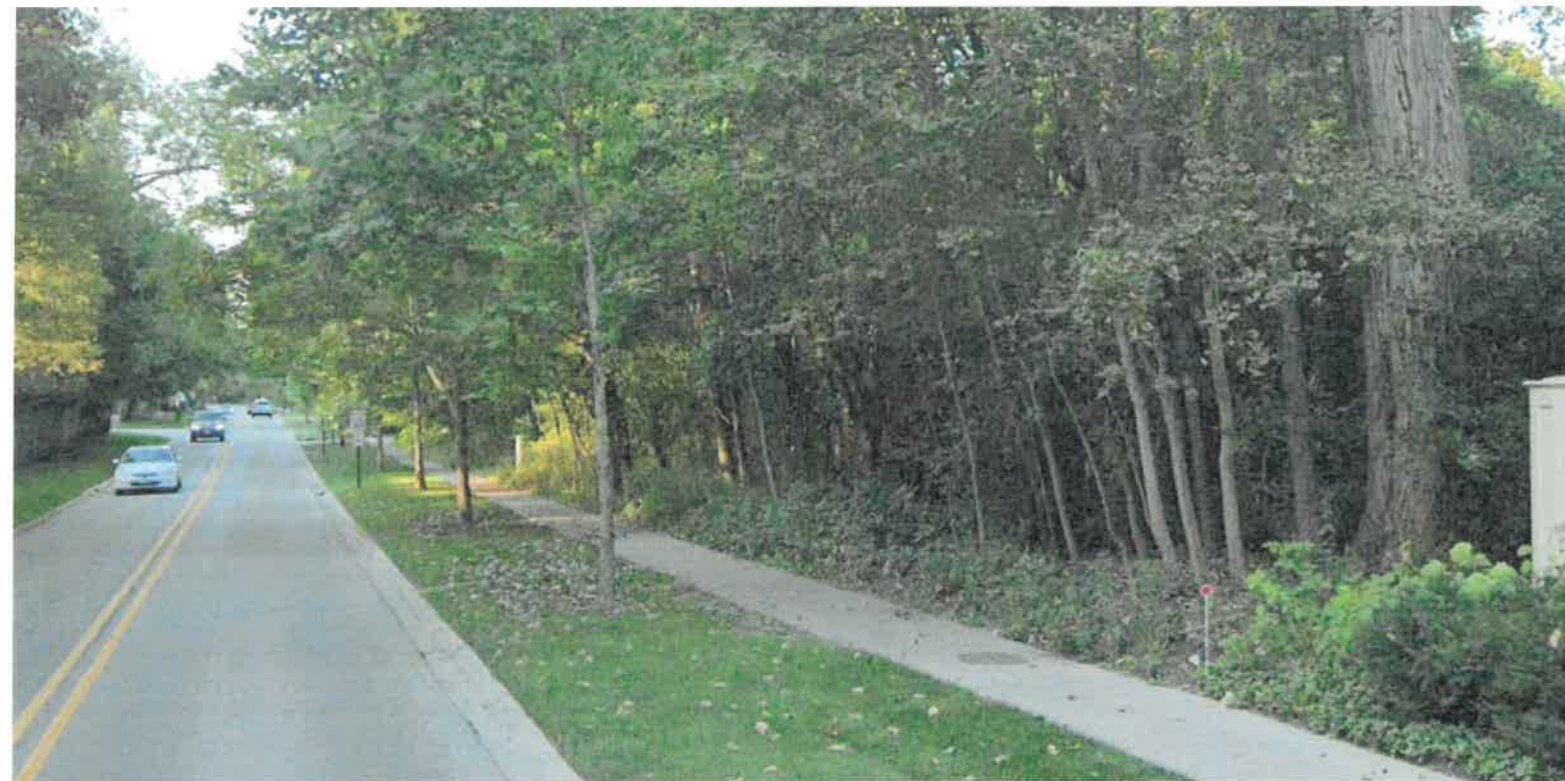
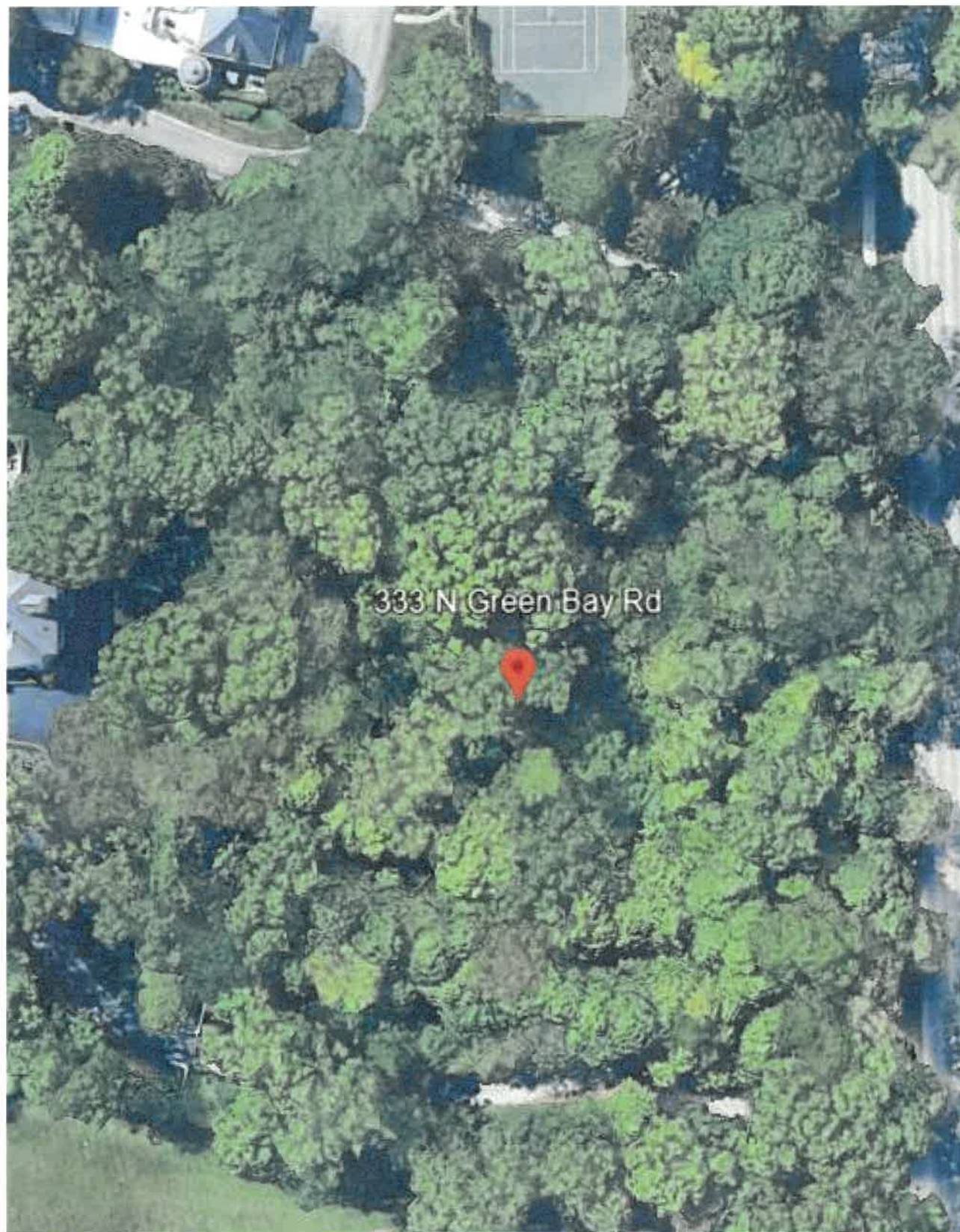
SURVEYORS NOTES:
1. THE PLAT IS SUBJECT TO RECORD OF TITLE.
2. () DENOTES CROSS EASEMENT.
3. BOUNDARY SURVEY: SOUTH AND WEST ARE THE ADJACENT SIDES.
4. ORIGINAL CROSS-NORTHWORKS ARCHITECTS & PLANNERS, INC.
5. ORIGINAL FIELD NOTES DATED 05-31-23.

ADDITIONAL NOTES:
1. BOUNDARY AND EGRESS TO LOT 1 AND LOT 2, PLAT THEREOF.
2. AN EGRESS EASEMENT IS GRANTED BY VOLNEY FOSTER RESUBDIVISION.
3. LOT 1 AND LOT 2 ARE SHOWN AS ADJACENT LOTS.
4. CHAIN LINK FENCE AND POSTS ARE SHOWN ON LOT 1.
5. CHAIN LINK FENCE AND POSTS ARE SHOWN ON LOT 2.

OWNER	DATE	REVISION	DATE	REVISION
SLM	08-08-23			
CHD	08-08-23			
ATTORNEY	DATE			

GREENGARD, INC.
Engineers & Surveyors & Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60068-3815
PHONE: 630-424-1000 FAX: 630-424-0887
E-MAIL: info@greengard.com IL PROFESSIONAL NO. 184-00288

SCALE: 1"=20'
SHEET: 1 OF 1





DATE: 04.02.2024

MIDWEST ARBOR CORPORATION

SITE PHOTOS-EAST PROPERTY LINE

333 N GREENBAY ROAD, LAKE FOREST IL

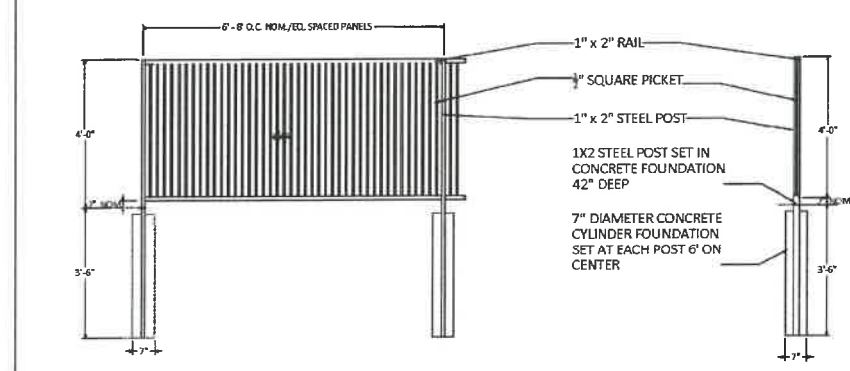


DATE: 04.02.2024

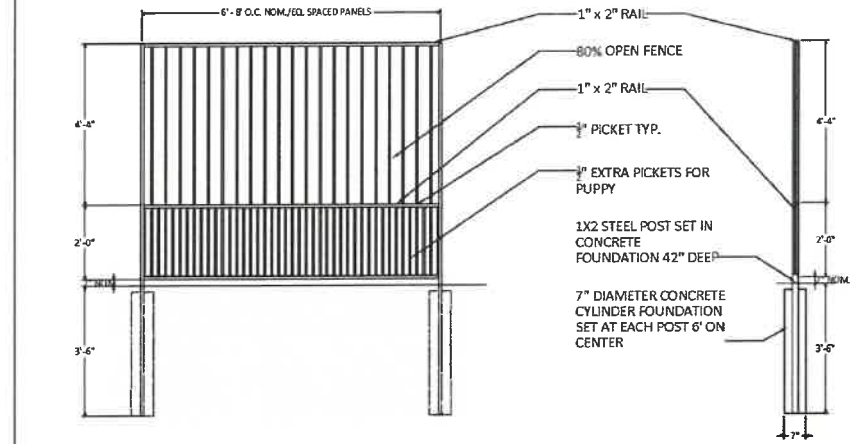
MIDWEST ARBOR CORPORATION

SITE PHOTOS-SOUTH PROPERTY LINE

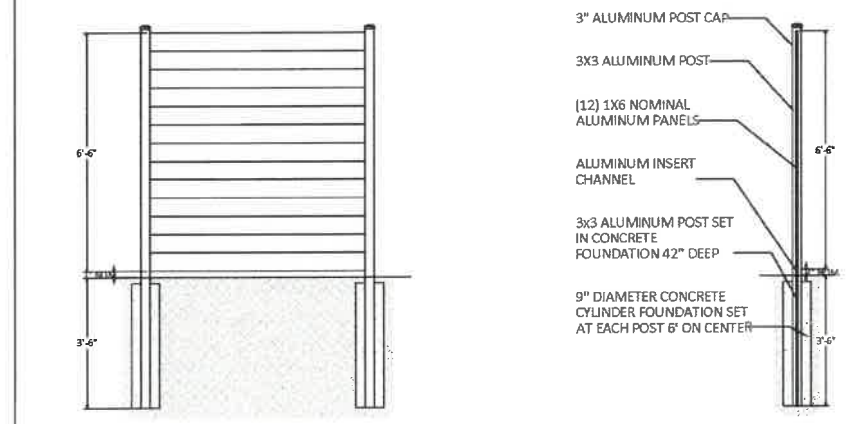
333 N GREENBAY ROAD, LAKE FOREST IL



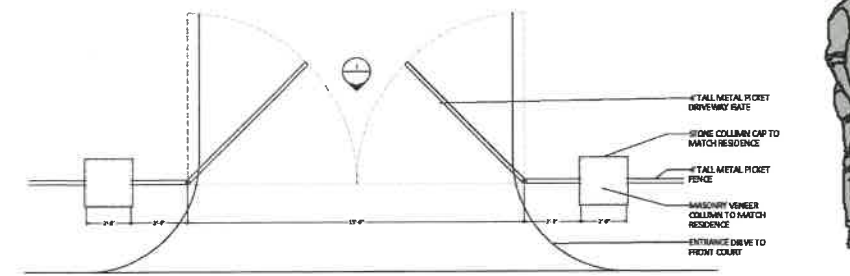
1 4' METAL PICKET FENCE SCALE: 3/8" = 1'-0" BLUE



2 6.5' METAL PICKET (80% OPEN FENCE) SCALE: 3/8" = 1'-0" GREEN



3 6.5' ALUMINUM PRIVACY FENCE SCALE: 3/8" = 1'-0" RED



COLUMNS/DRIVEWAY GATE PLAN VIEW

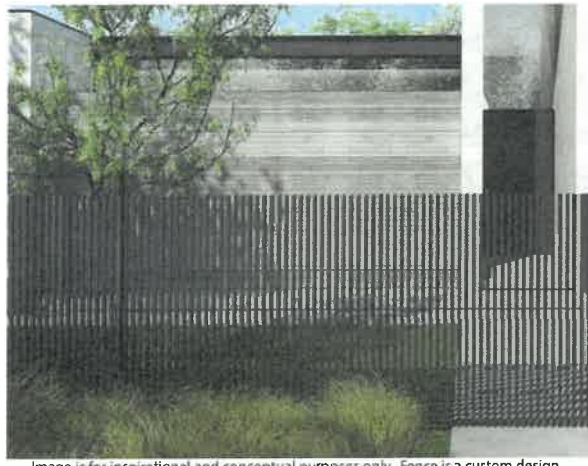
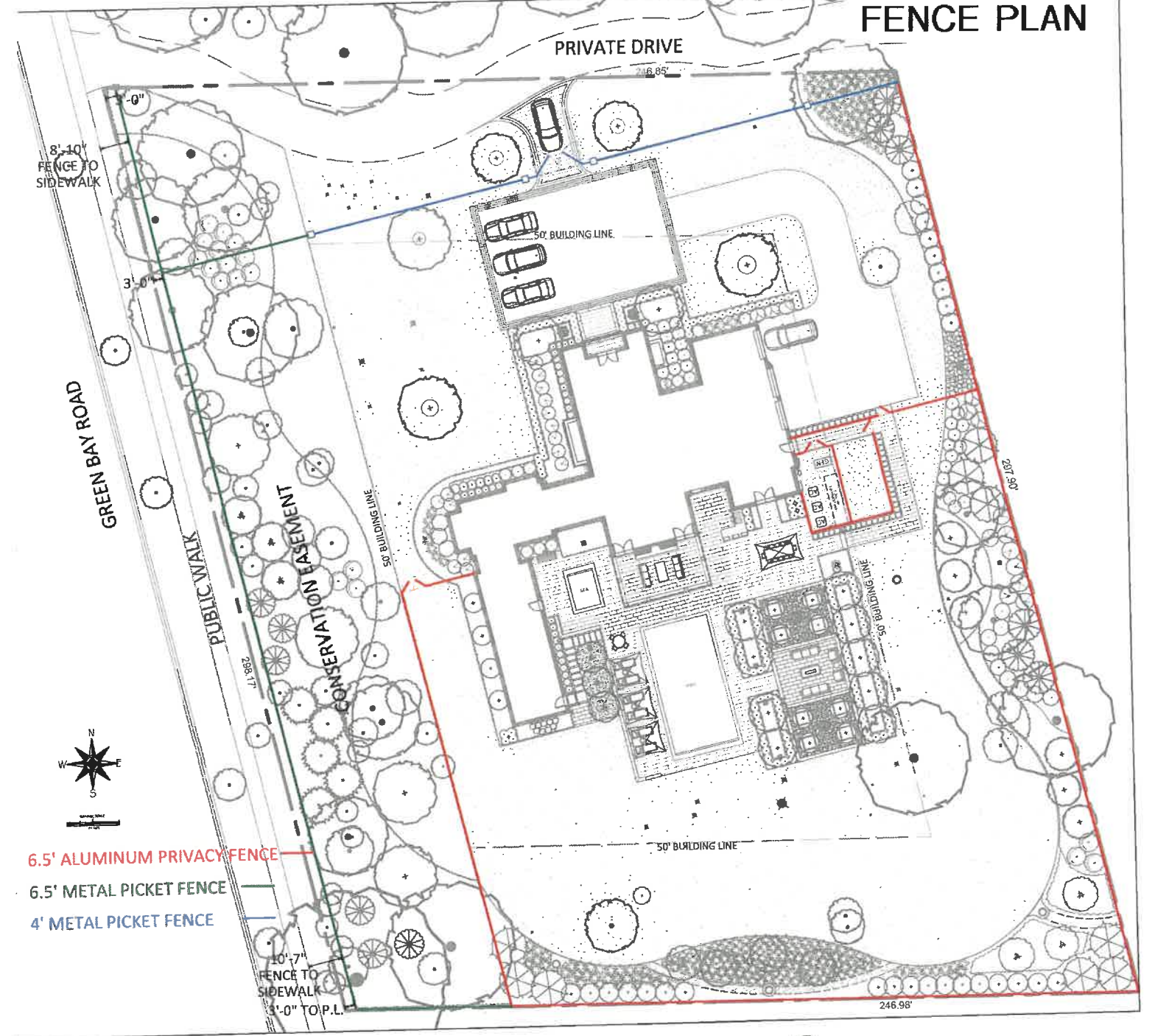


Image is for inspirational and conceptual purposes only. Fence is a custom design.



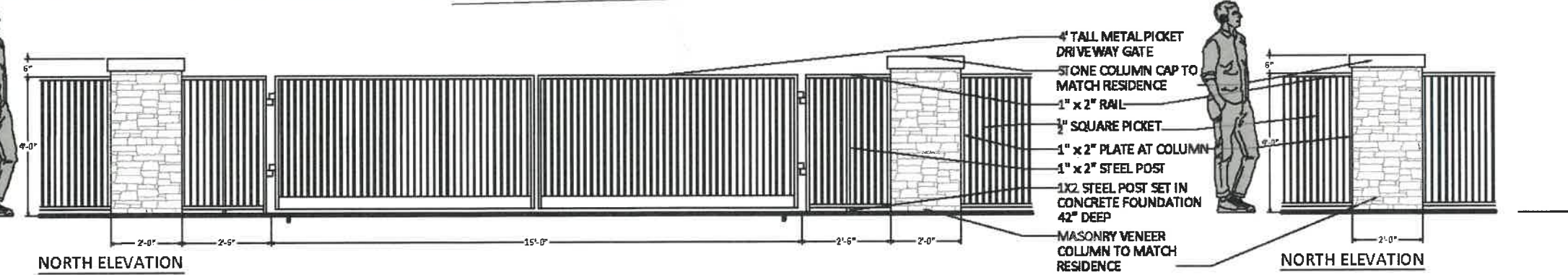
Image is for inspirational and conceptual purposes only. Fence is a custom design.



FENCE PLAN

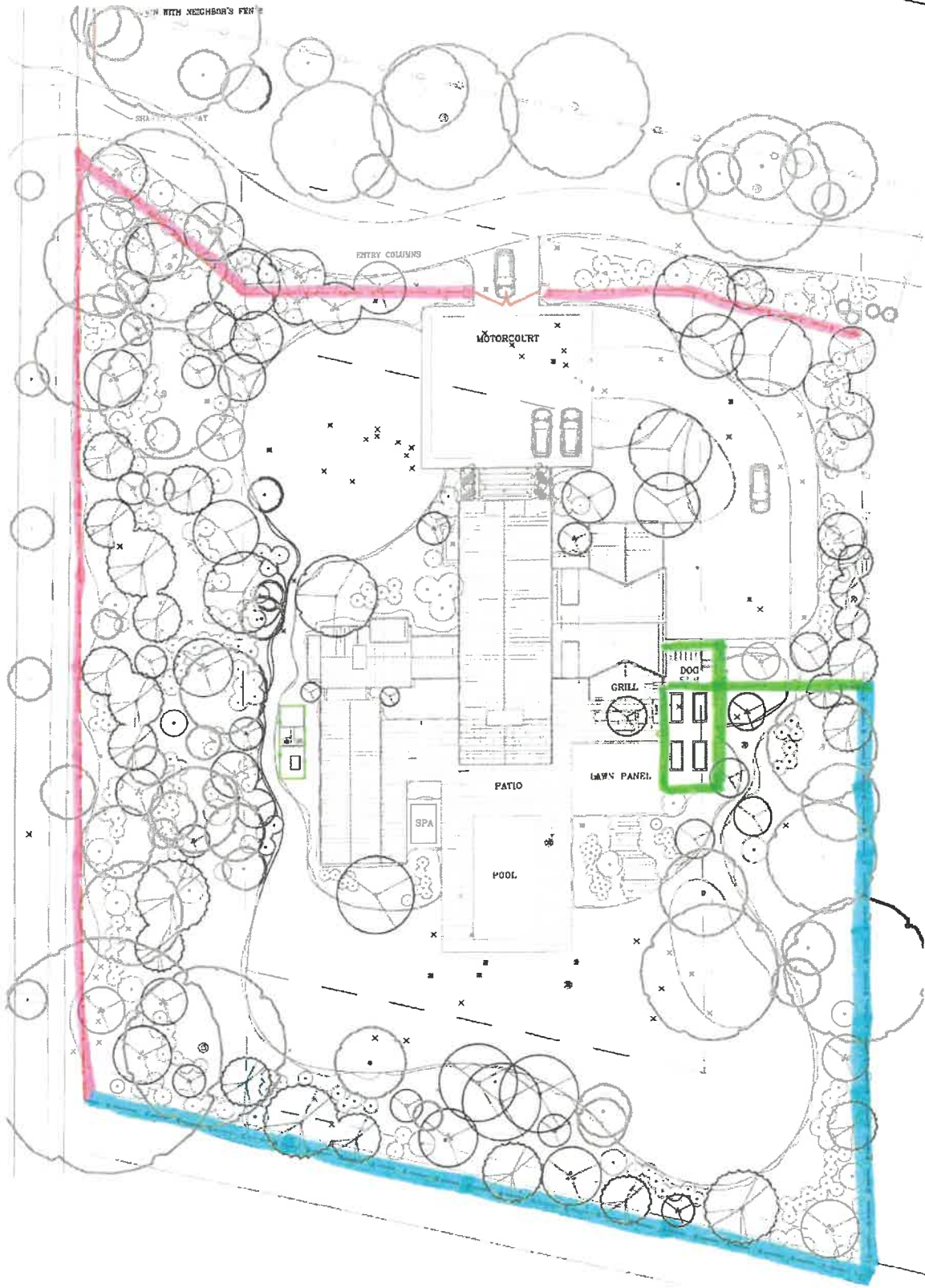


6.5' ALUMINUM PRIVACY FENCE
6.5' METAL PICKET FENCE
4' METAL PICKET FENCE



1 4' METAL PICKET DRIVEWAY GATE WITH COLUMNS SCALE: 1/4" = 1'-0" BLUE

2 MASONRY COLUMN WITH 4' METAL PICKET FENCE SCALE: 1/4" = 1'-0" BLUE



Legend

- Aluminum Fence
- Wood Fence
- Wood Decorative Screen



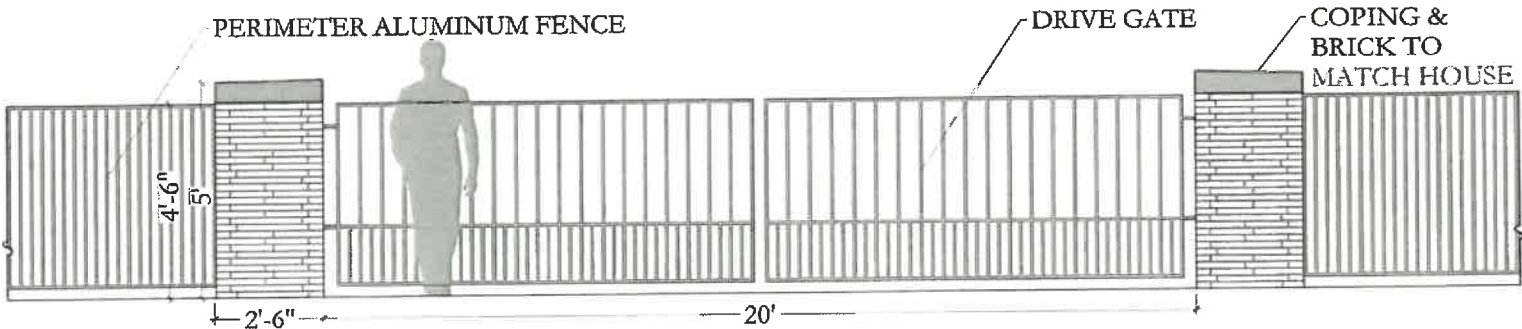
Aluminum Fence : 54" ht.



Wood Fence - Board on Board : 6'-6" ht.



Decorative Wood Screen : 54" - 6'-6" ht.



Entry Columns and Gate



PROPOSED LANDSCAPE FENCE STYLING
333 N GREENBAY ROAD

Fence/Entry Column Styling
333 N Green Bay Road, Lake Forest, IL

07/19/2023

Scale : : N.T.S.

Please Note: This is not a construction drawing.

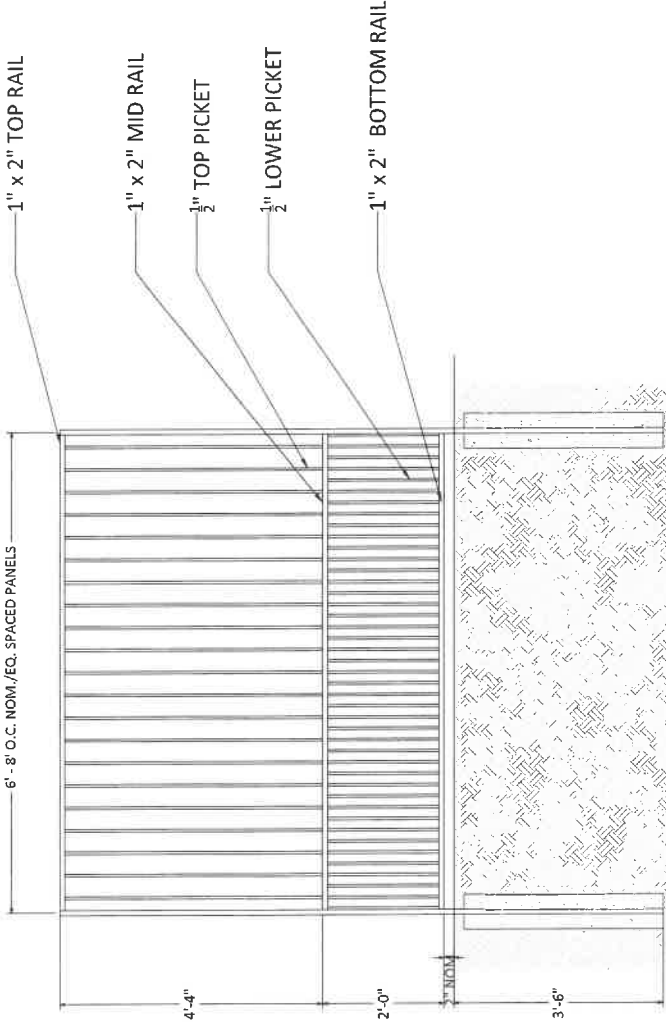
CRAIG BERGMANN
Landscape Design, Inc

900 N.Waukegan Road
Lake Forest, IL 60045
Telephone: (847) 251-8355

07.26.2023

NORTHWORKS

CONSERVATION EASEMENT FENCING DIAGRAM & CALCULATION



80% Openness Fence Calculation			
FENCE PART	AREA (SF)	NUMBER OF PARTS PER 8' SECTION	TOTAL (SF)
TOP RAIL	1" x 95" = 0.660	1	0.660
MID RAIL	1" x 95" = 0.660	1	0.660
BOTTOM RAIL	1" x 95" = 0.660	1	0.660
VERTICAL POST	1" x 78" = 0.542	1	0.542
TOP PICKETS	.5" x 52" = 0.177	21	3.717
LOWER PICKETS	.5" x 22" = 0.076	23	1.748
		TOTAL:	8.0
TYPICAL 8' X 6'6" FENCE SECTION = 52.0 SF			
52.0 - 8.0 = 44.0 SF			
44.0 SF = 84% OPEN			

2 6.5' METAL PICKET (80% OPEN FENCE) GREEN
SCALE: 1/2" = 1'-0"

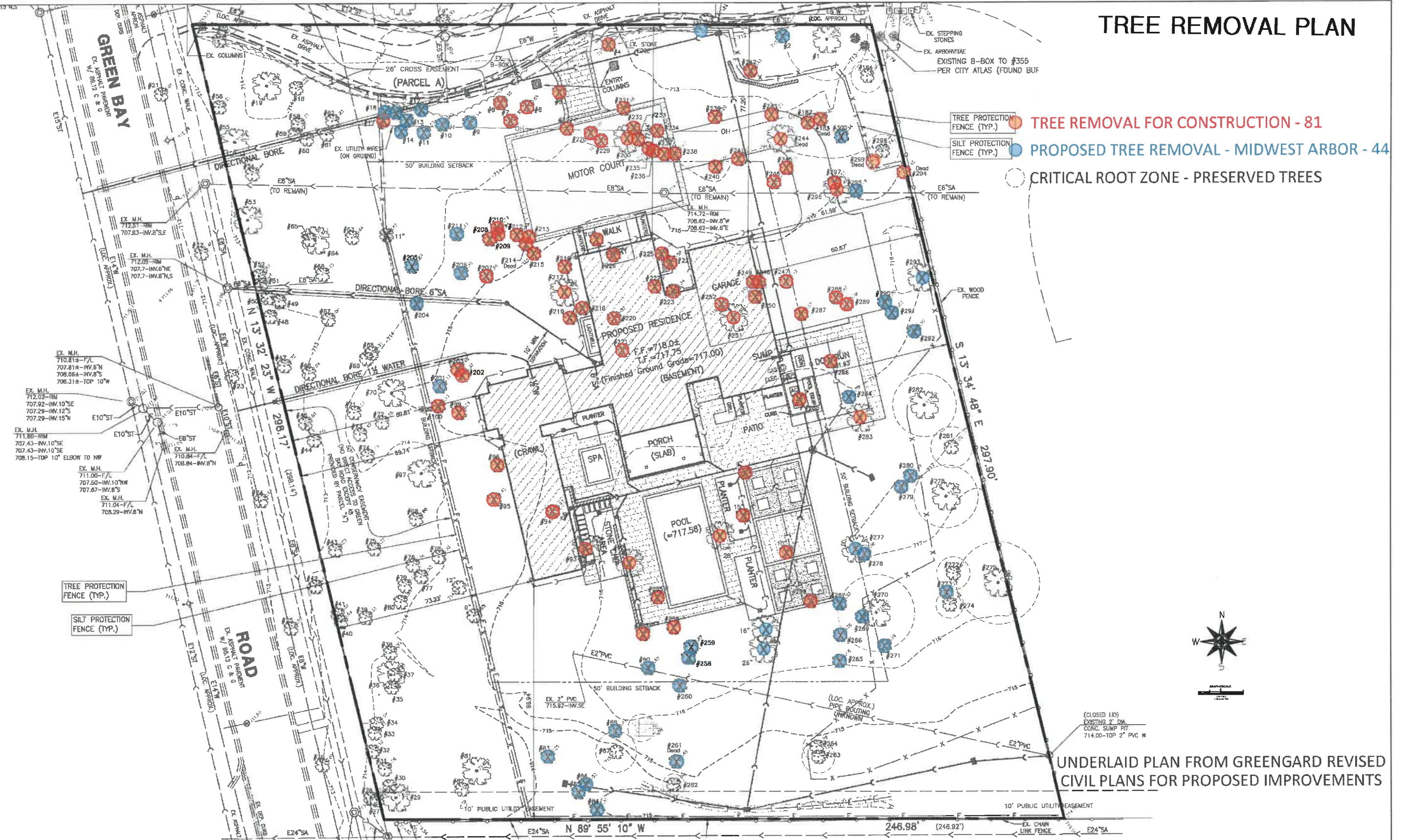
MIDWEST ARBOR
1700 HOLIAN DRIVE
SPRING GROVE, IL 60081
(815) 675-6766
INFO@MIDWESTARBORCORP.COM

O'DONNELL
333 GREEN BAY ROAD LAKE FOREST IL 60045

SCALE:
1/2" = 1'

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TREE REMOVAL PLAN



DATE: 04.02.2024

MIDWEST ARBOR CORPORATION

TREE REMOVALS

333 N GREENBAY ROAD, LAKE FOREST IL

Tree Removals Summary - 333 N. Green Bay Road Lake Forest

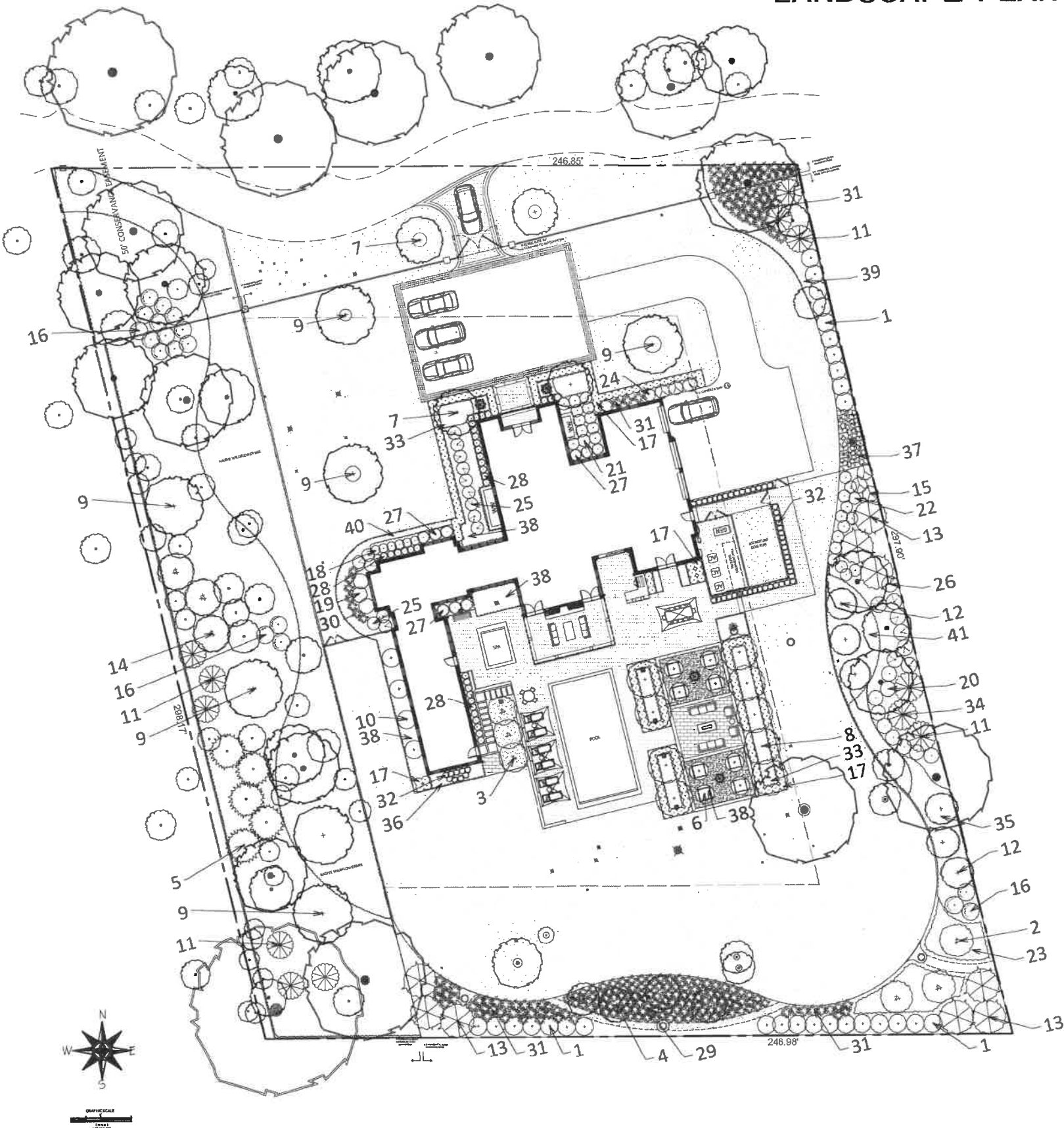
Midwest Arbor Proposed Tree Removals			
TAG #	SIZE	SPECIES	NOTES/REASON
2	8	American Elm	Remove per good forestry practices, proximity to tree # 1
3	7	American Elm	Remove to open up view to front of residence - in front along shared drive, missed on plan (Field Located)
13	9	Linden	Remove to open up view to front of residence
16	7	Linden	Remove to open up view to front of residence
90	16	White Oak	Remove to open up views to rear yard/lawn space for recreation
201	6	Sugar Maple	Remove due to proximity to new residence and grading impact
204	7	American Elm	Remove due to proximity to new residence and grading impact
258	16	White Oak	Remove to open up views to rear yard/lawn space for recreation
259	15	White Oak	Remove to open up views to rear yard/lawn space for recreation
267	6	American Elm	Remove proximity to tree #270
269	11	Red Oak	Remove proximity to tree #270
271	6	American Elm	Remove proximity to tree #270
277	18	White Oak	Remove proximity to proposed landscape improvements/significant deadwood
280	6	American Elm	Remove proximity to tree #278
284	11	American Elm	Remove proximity to proposed landscape improvements
293	25	Red Oak	Remove per good forestry practices, hazard tree damaged main trunk
295	10	American Elm	Remove proximity to proposed driveway
300	10	Sugar Maple	Remove proximity to proposed driveway
	16	White Oak	Remove to open up views to rear yard/lawn space for recreation
	26	White Oak	Remove to open up views to rear yard/lawn space for recreation
Total Caliper Inches		236	Total Trees = 20
Invasive Tree Removals			
Tree Type	Quantity	Total Caliper Inches	Notes/Reason
Norway Maple	22 + 1(Dead)	197	Remove per good forestry practices, invasive - (#265 are noted as Dead)
Ash	1	11	#261 is noted as Dead

Tree Removals Summary - 333 N. Green Bay Road Lake Forest

Trees Removed for Construction Per Original Permit Application (Northworks)			
Tree Type	Quantity	Total Caliper Inches	
American Elm	4	33	Buildable Area of the Lot
Black Walnut	1	12	Buildable Area of the Lot
Catalpa	2	27	Buildable Area of the Lot
Hickory	1	11	Buildable Area of the Lot
Linden	2	18	Buildable Area of the Lot
Norway Maple	42	333	Buildable Area of the Lot
Red Oak	1	6	Buildable Area of the Lot
Sugar Maple	5	55	Buildable Area of the Lot
White Oak	6	137	Buildable Area of the Lot
	2	37	Buildable Area of the Lot - 28" and 9"
Totals	66	669	
Dead Trees Per Original Permit Application (Northworks)			
Tree Type	Quantity	Total Caliper Inches	
Ash	4	53	
Catalpa	1	14	
Norway Maple	5	47	
Red Oak	2	26	
Silver Maple	1	20	
Sugar Maple	2	17	
Totals	15	177	
Dead Trees within Conservancy Easement (Northworks)			
Tree Type	Quantity	Caliper Inches Total	
American Elm	1	15	
Ash	1	12	
Norway Maple	2	18	
White Oak	1	28	
Totals	5	73	

LANDSCAPE PLAN

333 GREEN BAY ROAD LAKE FOREST, IL 60045			
	PLANT MATERIAL	SIZE	QUANTITY
1	ARBORVITAE – NIGRA	7’-0”	29
2	BIRCH – RIVER	9’-0”	3
3	BIRCH – WHITESPIRE	8’-0”	3
4	HAWTHORN	2’-6.00000”	3
5	HEMLOCK – CANADIAN	8’-0”	5
6	HORNBEAM – EUROPEAN	10’-0”	8
7	LINDEN – LITTLE LEAF	3’-6.00000”	4
8	MAPLE – RED	3’-6.00000”	9
9	OAK – PIN	3’-6.00000”	7
10	OAK – REGAL PRINCE	10’-0”	4
11	PINE – WHITE	8’-0”	12
12	REDBUD – EASTERN	6’-0”	6
13	SPRUCE – NORWAY	8’-0”	9
14	WITCHAZEL – COMMON	5’-0”	3
15	YEW – CAPITATA	5’-0”	6
16	BOTTLEBRUSH BUCKEYE	24”	18
17	BOXWOOD – GREEN VELVET	18”	186
18	HYDRANGEA – BOBO	18”	6
19	HYDRANGEA – FIRELIGHT	36”	3
20	HYDRANGEA – LIMELIGHT	36”	9
21	HYDRANGEA – LITTLE LIME	36”	12
22	HYDRANGEA – STRAWBERRY SUNDAE	36”	14
23	JUNIPER – KALLAY	18”	39
24	LILAC – DWARF KOREAN	24”	2
25	VIBURNUM – FRAGRANT	36”	15
26	VIBURNUM – MOHICAN	36”	8
27	YEW – DENSE	24”	9
28	YEW – HICKS	36”	35
29	CARTEX EVERILLO	1 gal	116
30	HAKONE BENI-KAZE	1 gal	8
31	MAIDEN ADAGIO	1 gal	95
32	KARL FORESTER	1 gal	55
33	ALLIUM – MILLENIUM	1 gal	389
34	ASTILBE – SUPERBA	1 gal	68
35	FERN – OSTRICH	1 gal	52
36	GERANIUM – JOHNSONS BLUE	1 gal	8
37	HOSTA – ELEGANS	1 gal	22
38	LILYTURF – GREEN	1 quart	346
39	MEADOW SEED MIX	1 lbs/ 100 sqft	
40	PACHYSANDRA	3” pots	27
41	SOLOMONS SEAL	1 gal	247





ARBORVITAE - NIGRA

Thuja Occidentalis 'Nigra'

Light Requirements: Full Sun to Part Shade

Foliage Color: Deep Green

Height: 20' - 30'

Width: 4' - 10'

Landscape Importance: This arborvitae is an upright tree with a cone shape and deep green foliage. Works great as privacy screening or backdrop planting.



BIRCH- RIVER

Betula Nigra

Light Requirements: Sun to Shade

Height: 25'-30'

Landscape Importance: An ornamental tree that offers seasonal color. It's leaves are bright green in Summer and turn yellow in Autumn. The exfoliating nature of the bark adds interest and beauty to the Winter landscape. A tree that is great for wet situations and will tolerate some drought.



BIRCH - WHITESPIRE

Betula Populifolia 'Whitespire'

Light Requirements: Sun to Shade

Height: 25' - 30'

Width: 10' - 20'

Landscape Importance: An ornamental tree that offers seasonal color. It's leaves are bright green in summer and turn yellow in autumn. The exfoliating nature of the bark adds interest and beauty to the winter landscape. A tree that is great for wet situations and will tolerate some drought.





HAWTHORN - THORNLESS COCKSPUR

Crataegus Crus - Galli var. Inermis

Light Requirements: Sun

Flower Color: White

Fruit: Small Red

Flower Time: Spring

Height: 20'-30'

Width: 20'-35'

Landscape Importance: A small ornamental tree with multi-season interest. Clusters of white flowers appear in spring with a gentle fragrance. Silver-grey bark tends to peel, revealing an inner peachy-copper hue. In autumn the



HEMLOCK - CANADIAN

Tsuga Canadensis

Light Requirements: Full Sun to Partial Sun

Height: 40' - 70'

Width: 25' - 35'

Landscape Importance: This Hemlock is great for screening and foundation plantings. It grows in a pyramidal form and features soft, feathery green needles.



HORNBEAM- COLUMNAR EUROPEAN

Carpinus betulus 'Fastigiata'

Light Requirements: Full Sun

Fall Color: Yellow

Height: 35'

Width: 10'- 20'

Landscape Importance: A great upright tree with compact branching that forms a good screen or hedge. It develops an oval vase shape and it withstands pruning and has great form. Dark green leaves turn yellow in the Fall.



LINDEN - LITTLE LEAF

Tilia Cordata

Light Requirements: Sun to Part Sun

Flower Color: Yellow

Height: 40'

Width: 15'

Landscape Importance: Littleleaf Linden has dark green foliage throughout the season. The small glossy heart-shaped leaves turn an outstanding yellow in the Fall. It features subtle clusters of fragrant yellow flowers with tan bracts hanging below the branches in early Summer. The



MAPLE - RED

Acer Rubrum

Light Requirements: Full sun

Flower Color: Red

Height: 40'-60'

Width: 30'-50'

Landscape Importance: The Red Maple is rounded in shape and a fast grower. In the Spring and Summer hints of scarlet are shown and brilliant red appears in the early fall.



OAK - PIN

Quercus Palustris

Light Requirements: Full Sun

Height: 60'- 70'

Width: 30'- 40'

Landscape Importance: During the summer, pin oak trees have dark green, glossy leaves that turn a deep red to bronze color in the fall, and hang on throughout winter. The beautiful foliage hangs from thick, dense branches. Having a rather ovate shape that turns more pyramidal with age, pin oaks' lower branches hang down, while the middle branches reach out horizontally and the upper branches grow upright.





OAK - REGAL PRINCE ENGLISH

Quercus Robur 'Regal Prince'

Light Requirements: Sun

Fall Color: Yellow to Gold

Height: 50'

Width: 20'

Landscape Importance: This oak is an excellent, fast growing street tree or upright accent in the landscape. It can be used as a narrow green privacy barrier. The foliage is dark green with silvery undersides turning to yellow with some orange in Fall clinging through winter. It transplants



PINE - WHITE

Pinus Strobus

Light Requirements: Full Sun to Light Shade

Height: 40' - 50'

Width: 25'

Landscape Importance: Most common evergreen. This pine grows rapidly and accepts pruning better than other evergreen trees. It makes a good windbreak and screen.



REDBUD - EASTERN

Cercis Canadensis

Light Requirements: Sun to partial shade

Flower Color: Pink

Height: 20'-30'

Width: 25'-35'

Landscape Importance: This tree has a short trunk with a rounded crown of spreading branches. These branches fill with pink flowers in the spring, before the leaves emerge, creating a beautiful array of color. Brilliant yellow fall color



SPRUCE - NORWAY

Picea Abies

Light Requirements: Sun to Part Sun

Foliage Color: Green

Height: 40'

Width: 25'

Landscape Importance: A stately tree with a pyramidal shape when young, and pendulous branches as it matures. The largest and fastest growing of the spruces. This evergreen tree grows swiftly and provides excellent screening.



WITCHHAZEL - COMMON

Hamamelis Virginiana

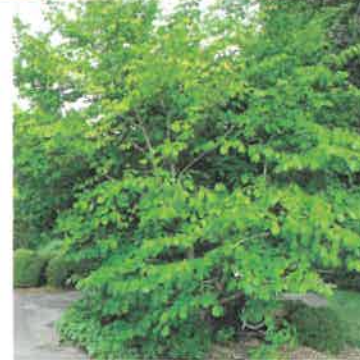
Light Requirements: Shade to Part Shade

Flower Color: Yellow

Flower Time: Fall

Height: 12'- 15'

Landscape Importance: Tolerates full sun, but performs best in shade. Produces interesting color at a time when color is hard to find.



YEW - CAPITATA

Taxus Cuspidata 'Capitata'

Light Requirements: Sun to Shade

Height: 4' and up (10' - 25' average)

Width: 5' - 10'

Landscape Importance: Dense slow growing evergreen with rich, dark green foliage. Tolerates shearing and can be grown in full sun or heavy shade. Can be used as a trimmed 8'- 10' hedge.





BOTTLEBRUSH - BUCKEYE

Aesculus Parviflora

Light Requirements: Part Shade

Flower Color: White

Flower Time: June through July

Height: 6' - 12'

Width: 12' - 15'

Landscape Importance: The Bottlebrush Buckeye forms a mound shape with leaves that turn yellow-green in the fall. Cylindric spikes of feathery white flowers bloom in early summer.



BOXWOOD - GREEN VELVET HEDGE

Buxus 'Greenvelvet'

Light Requirements: Sun to Part Sun

Foliage Color: Green

Height: 2' - 3'

Width: 2' - 3'

Landscape Importance: This evergreen shrub exhibits perfect formal look. A round, full-bodied type with a vigorous habit. Appropriate spacing must be observed to create an attractive hedge.



HYDRANGEA - BOBO

Hydrangea Paniculata 'Bobo'

Light Requirements: Part Shade to Full Sun

Flower Color: White

Flower Time: Mid Summer to Mid Fall

Height: 2' - 3'

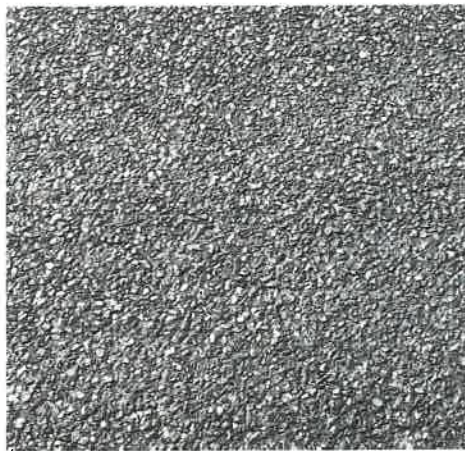
Width: 3' - 4'

Landscape Importance: A delightful dwarf hydrangea that is engulfed by large white flowers in the summer. The flowers are held upright on strong stems and continue to grow and lengthen as they bloom.





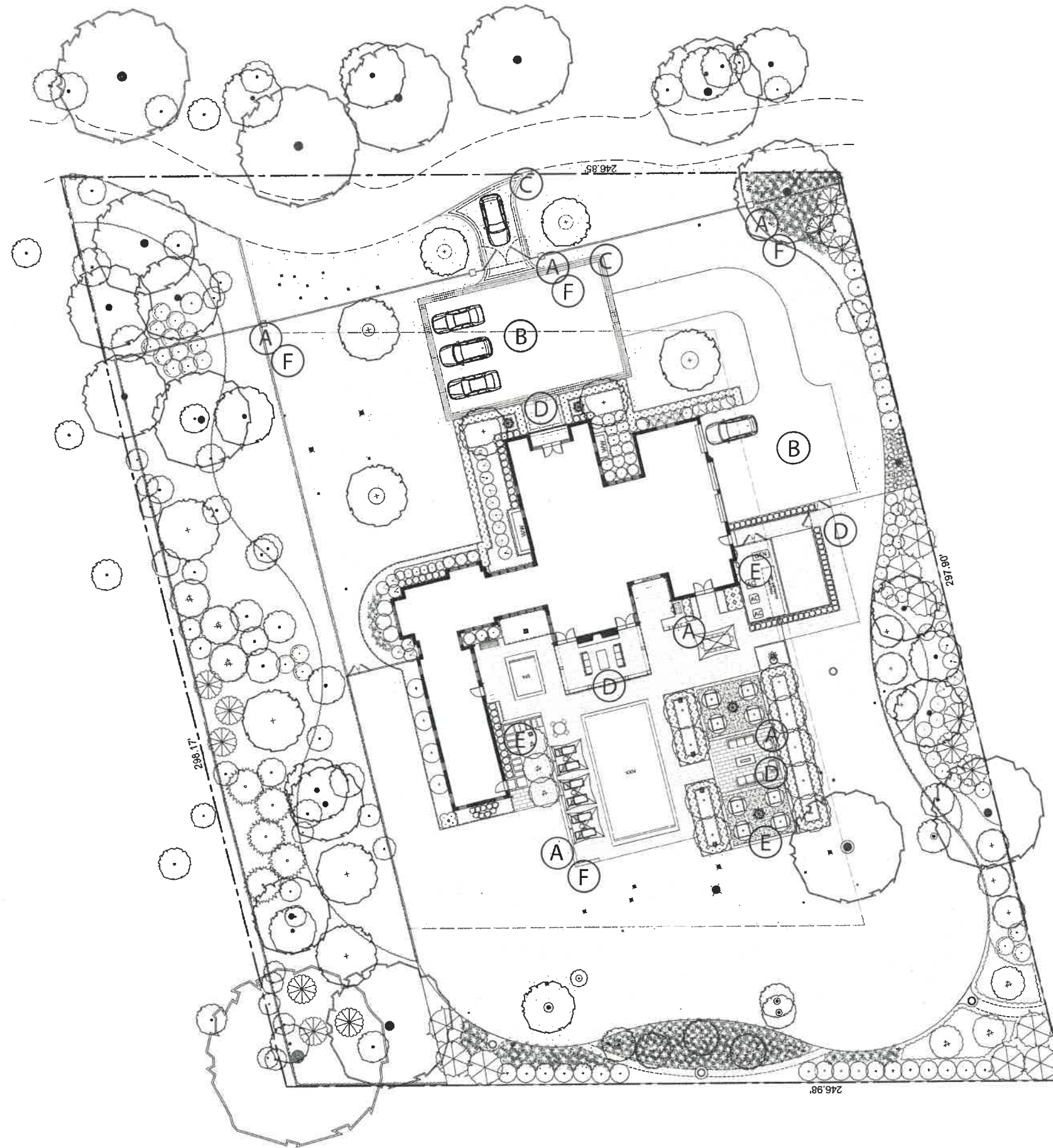
(A) ROMAN BRICK-OFF
WHITE/NEUTRAL



(B) ASPHALT



(C) ENDICOTT-MANGANESE
IRONSPOT



(D) BLUESTONE-SELECT

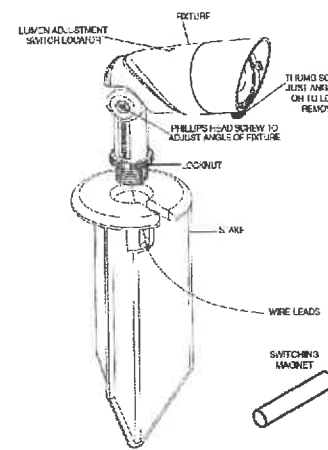


(E) BLUESTONE CHIP

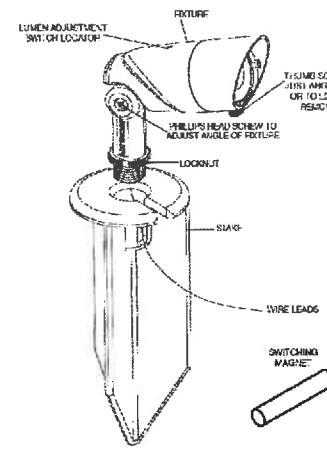


(F) LIMESTONE

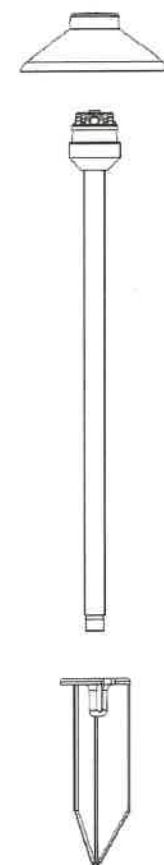
LIGHTING PLAN



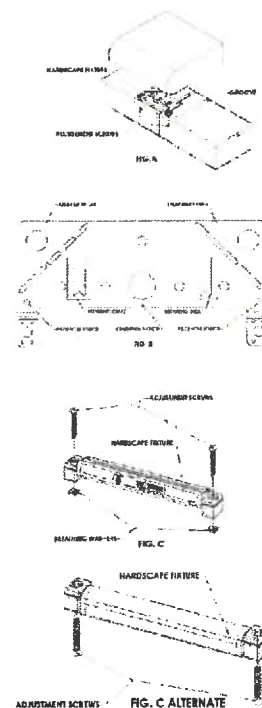
KICHLER LARGE 35 DEGREE SPOT LIGHT
#16019AZT27



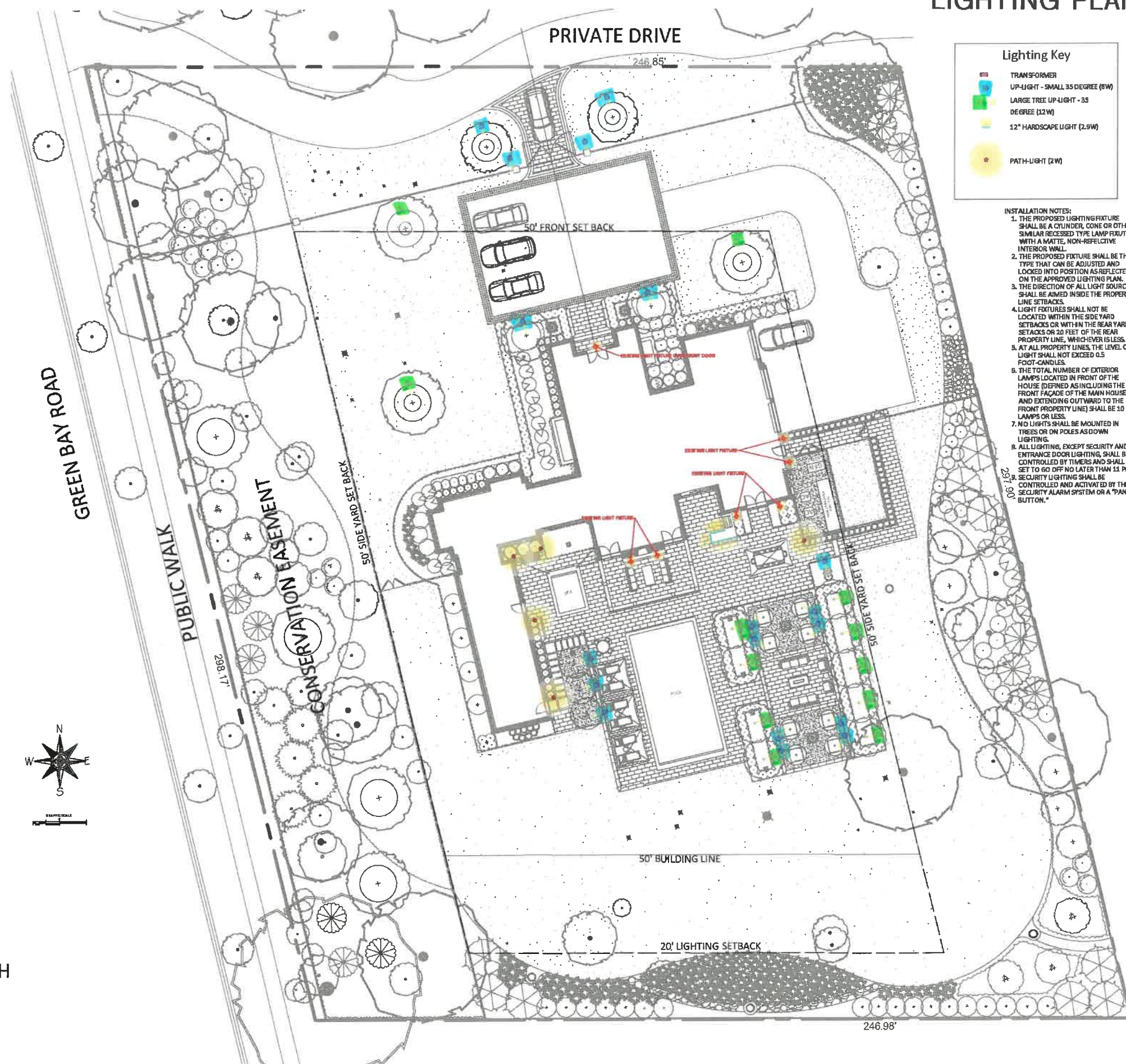
KICHLER SMALL 35 DEGREE SPOT LIGHT
#16016AZT27



KICHLER PATH LIGHT
#15820AZT27



KICHLER 12" HARDSCAPE LIGH
#16102GRY27



Lighting Key	
	TRANSFORMER
	UP-LIGHT - SMALL 35 DEGREE (8W)
	LARGE TREE UP-LIGHT - 35 DEGREE (12W)
	12" HARDSCAPE LIGHT (2.9W)
	PATH-LIGHT (2W)

- INSTALLATION NOTES:
1. THE PROPOSED LIGHTING FIXTURE SHALL BE A CYLINDER, CONE OR OTHER SIMILAR RECESSED TYPE LAMP FIXTURE WITH A MATTE, NON-REFLECTIVE INTERIOR WALL.
 2. THE PROPOSED FIXTURE SHALL BE THE TYPE THAT CAN BE ADJUSTED AND LOCKED INTO POSITION AS REFLECTED ON THE APPROVED LIGHTING PLAN.
 3. THE DIRECTION OF ALL LIGHT SOURCES SHALL BE AIMED INSIDE THE PROPERTY LINE SETBACKS.
 4. LIGHT FIXTURES SHALL NOT BE LOCATED WITHIN THE SIDE YARD SETBACKS OR WITHIN THE REAR YARD SETBACKS OR 20 FEET OF THE REAR PROPERTY LINE, WHICHEVER IS LESS.
 5. AT ALL PROPERTY LINES, THE LEVEL OF LIGHT SHALL NOT EXCEED 0.5 FOOT-CANDLES.
 6. THE TOTAL NUMBER OF EXTERIOR LAMPS LOCATED IN FRONT OF THE HOUSE (DEFINED AS INCLUDING THE FRONT FACADE OF THE MAIN HOUSE AND EXTENDING OUTWARD TO THE FRONT PROPERTY LINE) SHALL BE 10 LAMPS OR LESS.
 7. NO LIGHTS SHALL BE MOUNTED IN TREES OR ON POLES AS DOWN LIGHTING.
 8. ALL LIGHTING, EXCEPT SECURITY AND ENTRANCE DOOR LIGHTING, SHALL BE CONTROLLED BY TIMERS AND SHALL BE SET TO GO OFF NO LATER THAN 11 PM.
 9. SECURITY LIGHTING SHALL BE CONTROLLED AND ACTIVATED BY THE SECURITY ALARM SYSTEM OR A "PANIC BUTTON."