

Agenda Item 4
845 Maplewood Road
Additions, Exterior Alterations and Building Scale Variance

Staff Report
Building Scale Summary
Vicinity Map
Air Photo

Materials Submitted by Petitioner

Application
Updated Statement of Intent
Description of Exterior Materials
Proposed Site Plan
Proposed North Elevation
Proposed East Elevation
Proposed South Elevation
Proposed West Elevation
Perspective Sketch
Proposed Floorplans
Proposed Driveway Gate and Pillars
Proposed Fence and Pillars
Proposed Garden Wall Detail
Proposed Material and Color Palette Images
Tree Removal Plan
Tree Inventory
Proposed Landscape Plan

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grinnell and Members of the Historic Preservation Commission
DATE:	August 23, 2023
FROM:	Jennifer Baehr, Planner
SUBJECT:	845 Maplewood Road Continued Consideration - Additions, Alterations and Building Scale Variance

Property Owners

Megan and Tristan Hoag
135 Old Green Bay Road
Winnetka, IL 60093

Property Location

845 Maplewood Road
Southeast corner of Sheridan Road
and Maplewood Road

Historic Districts

East Lake Forest Local &
National Historic Districts

Project Representative

Scott Streightiff, Architect
555 Oakwood Avenue
Lake Forest, IL 60045

SUMMARY OF THE REQUEST

This is a request for a Certificate of Appropriateness for significant additions to the north, east, south and west sides of the home, and the addition of second floor living space. A building scale variance is requested.

Because the property is located on a corner lot, the buildable area on the property is limited and multiple zoning variances are necessary for the proposed work. On July 24th the Zoning Board of Appeals recommended approval of the variances required for the proposed work subject to approval of the design aspects of the project by the Commission.

COMMISSION DISCUSSION TO DATE ON THIS PETITION

The Commission considered this petition at the July 26, 2023 meeting. At that meeting, the Commission voted to approve demolition of significant portions of the residence and indicated general support for the proposed additions, alterations and building scale variance. The Commission voted to continue consideration of the proposed additions, alterations and building scale variance to allow the petitioner to consider the suggestions offered by the Commission and provide additional information on various elements of the project. The Commission offered direction and requested additional information on the following:

- Incorporate permeable materials into the driveways and parking areas to reduce the amount of impervious surface.
- Provide detail on the proposed driveway entry gates and pillars, garden walls and fencing
- Provide detail on the proposed garage doors.
- Provide samples of the color and material palette.
- Identify existing vegetation that will remain on the site and all vegetation and trees proposed for removal.

- Enhance the landscape plan to include plantings in an effort to visually mitigate the increased height and mass of the home to comply with the criteria for a building scale variance.

INFORMATION PROVIDED AND REVISIONS SINCE THE LAST MEETING

- The plans were modified to include permeable paver borders along each of the driveways.
- Drawings reflecting the style, dimensions and materials of the driveway entry gates, pillars, garden walls and fencing were provided.
- Although not requested by the Commission, the plans were revised to incorporate stone pillars spaced every 16 feet into the fence line on the west property line, adjacent to Sheridan Road.
- Images and specifications for the proposed garage doors were provided.
- Images of the proposed color and material palette were provided.
- A tree and vegetation removal plan was provided.
- The landscape plan was updated to provide more detail on the proposed plantings.
- Additional shade and evergreen trees were incorporated into the landscape plan.

The petitioner's revised statement of intent addressing the Commission's comments and direction and is included in the Commission's packet. Portions of the previous submittal are included in the Commission's packet for reference.

DESCRIPTION OF THE PROPERTY

The property is on the southeast corner of Maplewood and Sheridan Roads and is bordered on the east side by a ravine. Lake Forest College is located directly west of the property across Sheridan Road. The property is 27,059 square feet, just over a half-acre in size. The existing driveway and a small parking area are accessed off of Maplewood Road.

STAFF REVIEW

A summary of the project based on the information provided by the petitioner is presented below.

Proposed Additions and Alterations

The existing garage is located on the east side of the house and faces Maplewood Road. The existing garage will be converted to living space. On the north side of the home, generally in front of the existing garage, a sunroom addition is proposed. The addition on the west side of the home, closest to Sheridan Road, consists of an attached three car garage and a master suite. The proposed three car garage faces west, toward Sheridan Road. On the south side of the home, the existing covered porch will be enclosed and become part of the kitchen and the southeast corner of the house will be slightly expanded to the south. Open porch additions are proposed at the entrance to the home on the north elevation, and on the east side of the home. The height of the home will be raised to accommodate living space on the second floor. The proposed second floor living space is largely within the roof form to avoid the appearance of a full second story addition. The exterior alterations include all new windows and doors and exterior materials.

Site Plan

With the new garage on the west side of the home, a second curb cut is proposed on Sheridan Road. A driveway gate and pillars are proposed at the Sheridan Road entrance. Drawings of the proposed gate and pillars are included in the Commission's packet. The existing curb cut on Maplewood Road will remain. The existing parking area at the front of the home, on the north side, will be slightly reduced in size. A new patio is proposed on the south side of the home. The solid fence on the

north and west sides of the property will be removed. The petitioner is proposing to install a new 4 foot tall aluminum fence in a “black iron” color with 4.5 foot tall stone pillars with limestone caps spaced every 16 feet along Sheridan Road. A drawing of the stone pillar and fence and an image of the stone material proposed for the pillars are included in the Commission’s packet. The location of the fence and pillars is reflected on the landscape plan.

Findings

A staff review of the Historic Preservation standards in the City Code is provided below. As appropriate, findings in response to the standards are offered for the Commission’s consideration.

Standard 1 – Height.

This standard is met. The height of the residence will increase from 17 feet to 27 feet. The proposed cupola is 7 feet tall including the finial, so the total height of the home, including the cupola, is 34 feet. The maximum height allowed for this property is 35 feet.

Standard 2 - Proportion of front façade.

This standard is met. The proposed additions and alterations to the front elevation present balanced proportions.

Standard 3 – Proportion of openings.

This standard is met. The proposed openings reflect mostly vertical, narrow proportions that are consistent with the style of the home.

Standard 4 – Rhythm of solids to voids.

This standard is met. The proposed openings are evenly spaced and aligned across the home.

Standard 5 – Rhythm of spacing and structures on streets.

This standard is met. The proposed additions extend predominantly to the west and north of the residence and away from neighboring properties. The additions will not disrupt the rhythm of spacing of structures along Sheridan Road or Maplewood Road. The additions on the south side of the home will not extend any closer to the neighboring property than the existing residence.

Standard 6 – Rhythm of entrance porches.

This standard is met. The porch proposed at the front entrance is symmetrical in design and breaks up the front elevation with a single-story projecting element.

Standard 7 – Relationship of materials and textures.

This standard is met. The proposed exterior materials are natural, high quality materials that are compatible with the quality of materials found in the surrounding neighborhood. The exterior walls will be brick. The primary roof forms will be natural slate shingle and the porch, dormers and cupola will have metal standing seam roofs. Aluminum clad wood windows with interior and exterior muntin bars are proposed. Limestone is proposed for the window sills. Wood trim, fascia and soffits are proposed. The gutters and downspouts will be steel. The chimney is stone with a clay chimney pot.

The exterior color palette consists of white painted brick, charcoal gray slate roof tiles and metal roofing, white trim, gray windows, and white garage doors.

The proposed hardscape includes asphalt driveways with paver borders, bluestone stoops, patios and walkways, stone garden walls along the planting area at the front porch, stone pillars with limestone caps at each of the driveway entrances, a wood gate painted dark gray at the Sheridan Road driveway

entrance, and a black aluminum fence with stone pillars and limestone caps is proposed along the west property line.

Standard 8 – Roof shapes.

This standard is met. The primary roof forms are a combination of steeply pitched hip and gable style roofs, consistent with the style of the home.

Standard 9 – Walls of continuity.

This standard is met. The style, materials, and detailing are consistent on all elevations of the house.

Standard 10 – Scale.

A building scale variance is requested.

- The allowable square footage based on the size of the property is 4,293 square feet. The allowable square footage is based on the total lot area. In this case, the total lot area contains table and non-table land. Non-table land is defined in the Code as land where the slope in any direction exceeds 10 percent. The area of the ravine on the east side of the property is considered non-table land. Only 50% of the non-table land is counted in the calculation of the lot area.
- The existing residence is below the allowable square footage for the property by 2,524 square feet.
- The proposed first floor additions total 1,724 square feet. This includes the square footage of the existing garage that will be converted into living space. The addition of the second floor living space and increased roof mass will add 1,371 square feet.
- A total of 600 square feet is allowed for a garage on this property. The proposed garage totals 750 square feet. The garage overage of 150 square feet must be added to the total square footage of the residence.
- A total of 429 square feet of design elements is permitted based on the size of the property and is exempt from the total square footage calculation. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as dormers and open porches. As proposed, there is a total of 604 square feet of design elements. An excess of 175 square feet of design elements must be added to the total square footage of the residence.
- In summary, the residence with the proposed additions, second floor space and increased roof mass will total 5,189 square feet. The total square footage exceeds the allowable by 896 square feet. A building scale variance of 21 percent is requested.

Review of Building Scale Variance Standards

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, *Standard 1 and at least one additional standard be met. The Code does not require that all five standards be met.* These standards recognize that each project is different as is the context of each site. A staff review of the standards is provided below.

Standard 1 -- The project is consistent with the design standards of the City Code.

This standard is met. The Code and City's Design Guidelines encourage the use of design elements to bring human scale to projects and to avoid the appearance of oversized, out of scale elements. In this case, the additions and increased roof massing are designed in a manner that create a hierarchy of forms and balance on the elevations of the home. The design incorporates elements such as dormers and porches that break up the mass and bring a human scale to the appearance of the home.

Standard 2 -- Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

This standard can be met. Currently, the house has minimal visibility from the street due to the existing fence and vegetation, however the petitioner is proposing to remove the existing fence and the majority of the vegetation along Maplewood Road and Sheridan Road. The proposed landscape plan reflects trees and shrubs along the north, west and south property lines. Most of the proposed plantings along the north property line, in the area in front of the house, are lilac trees that will not provide much coverage to effectively mitigate the increased height and mass of the home as viewed from the streetscape. Two shade trees are proposed on either side of the driveway entrance on Maplewood Road. The shade trees proposed adjacent to the driveway entrance are species that have a more vertical and upright structure and will not become very wide to provide much coverage or tree canopy. The plantings proposed along the west property line, along Sheridan Road, includes a few shade trees and arborvitae. On the south property line, the existing hedge of arborvitae will remain and effectively screens views of the home from the neighbor to the south. The proposed landscape plan reflects additional arborvitae on the west and east ends of the existing arborvitae hedge to continue the landscape buffer between the property and the neighboring home to the south.

- Staff recommends substituting some of the ornamental trees and upright shade trees along the north property line with shade trees that will provide more coverage to more effectively mitigate the appearance of the increased height and mass of the home to fully satisfy this Standard.

Standard 3 -- New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

This standard is met. At its closest point, the house as proposed is 33 feet and 7 inches from the north property line along Maplewood Road. The house at its closest point is 37 feet and 7 inches away from the west property line along Sheridan Road. The residence as proposed presents a story-and-a-half massing and is lower in height compared to the closest adjacent home. There is a large amount of open space between the home and the residence to the east.

Standard 4 -- The height and mass of the residence, garage, and accessory structures will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

This standard is met. The proposed height and mass of the residence is compatible with the height and mass of structures on adjacent lots. The residence as proposed is 27 feet tall with the proposed cupola rising to 34 feet, just below the maximum allowed height of 35 feet. The building footprint as proposed is comparable to the size of surrounding homes.

Standard 5 – The property is located in a local historic district or is designated as a Local Landmark and the approval of a variance would further the purpose of the ordinance.

This standard is met. The property is located in a local historic district. The approval of the variance will allow the home to be expanded to meet the property owners' needs and today's standards in a reasonable manner. The residence as proposed is compatible with the scale of surrounding homes.

Standard 6 -- The property is adjacent to land used and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

The standard is partially met. This property is located adjacent to a ravine, a natural feature that serves to mitigate the appearance of mass when the home is viewed from across the ravine. The ravine will remain as a natural feature and cannot be filled or developed.

In summary, the criteria for a building scale variance are satisfied as detailed in the findings presented above. The first standard and three additional standards are satisfied. A fourth standard is partially met.

Standard 11 – Directional Expression of Front Elevation.

This standard met. The directional expression of the front façade is oriented toward Maplewood Road and the garage wing is oriented toward Sheridan Road. The horizontal orientation of the residence minimizes impacts to neighboring properties.

Standard 12 – Preservation of historic material.

This standard is not met. The residence was constructed in 1954 and little of the original materials will be preserved. Although the residence is more than 50 years old and is located in the historic district, the residence is not architecturally or historically significant.

Standard 13 – Preservation of natural resources.

This standard can be met. The project will require removal of five trees to accommodate the proposed additions and hardscape. The trees proposed for removal include four Spruce and one Maple tree. The trees proposed for removal are in fair to poor condition. Based on the condition, size and species of the trees proposed for removal a total of 15 replacement inches is required. In addition, a number of ornamental trees and shrubs along the west and north property lines are proposed for removal. These plantings include cherry trees, crabapple trees, dogwood trees, buckthorn, lilac, and witch-hazel.

The landscape plan that was provided by the petitioner reflects new shade, evergreen and ornamental trees along the north, west and south property lines. The trees proposed along the property lines include maple, ginkgo, oak, lilac, and arborvitae. Boxwoods are proposed in front of the fence along the west property line and along some portions of the north property line. Understory plantings and shrubs including hydrangea, weigela, and witch-hazel are proposed along the north and west property lines. Shrubs and ornamental trees are proposed around the foundation of the home.

As noted above, to support the criteria for a building scale variance, staff recommends substitution of shade trees that have a fuller appearance for some of the ornamental and vertical trees currently

proposed in an effort to mitigate the appearance of the increased height and mass of the house with the additions as proposed.

Standard 14 – Compatibility.

This standard is met. The proposed architectural style, scale, and high quality materials are consistent with the character of the surrounding neighborhood.

Standard 15 – Repair to deteriorated features.

This standard is not applicable to this request. The portions of the existing residence to remain are in good condition. No repair is proposed.

Standard 16 – Surface cleaning.

This standard is not applicable to this request. No surface cleaning is proposed.

Standard 17 – Integrity of historic property.

This standard is met. Although the existing residence is identified as a Contributing structure to the District based on its age, it is not architecturally or historically significant. The additions and alterations are designed in a manner that are compatible with the quality and character of the surrounding neighborhood.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Department of Community Development to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

RECOMMENDATION

Grant a Certificate of Appropriateness approving the construction of additions, exterior alterations, and a building scale variance based on the findings presented in this staff report. Staff recommends approval subject to the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission. If any modifications are proposed in response to Commission direction or as a result of design development, plans clearly detailing the areas of change must be submitted at the time of submission for permit, *along with* the plans originally presented to the Commission, and will be subject to review by staff, in consultation with the Chairman as appropriate, to verify that the plans are consistent with the intent of the Commission and the approvals granted.
2. Prior to the issuance of a building permit, a detailed landscape plan must be submitted reflecting at least the 15 required replacement inches, plantings that offer screening of the parking areas and the increased mass and height of the home to the extent possible as viewed from the street and neighboring properties. The plan shall be subject to the review and approval of the City's Certified Arborist.
3. A detailed grading and drainage plan is required prior to the issuance of a building permit and will be subject to review and approval by the City Engineer. Attention should be paid to avoiding drainage impacts on neighboring properties as a result of the construction proposed, both in the short term, during construction, and over the long term.

4. Prior to the issuance of a building permit, a plan to protect trees, vegetation and the ravine during construction must be submitted and will be subject to review and approval by the City's Certified Arborist and the City Engineer.
5. Details of all exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
6. Prior to the issuance of a building permit, a materials' staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the neighborhood and on neighboring properties during construction and to minimize impacts on trees intended for preservation. No on street parking is permitted on Sheridan Road or Maplewood Road due to traffic volumes and the location of the property at a corner. Contractors may need to park off site and shuttle to the site is adequate on site parking cannot be accommodated without impacting trees and vegetation intended for preservation.

THE CITY OF LAKE FOREST HISTORIC PRESERVATION COMMISSION -- BUILDING SCALE INFORMATION SHEET

Address 845 Maplewood Road Owner(s) Megan and Tristan Hoag
 Architect Scott Streightiff, architect Reviewed by: Jen Baehr
 Date 7/26/2023
 Lot Area 27059 sq. ft. Table Land 24675 sq. ft. Non-Table Land 2384 sq. ft.

Square Footage of Existing Residence:

1st floor 1769 + 2nd floor 0 + 3rd floor 0 = 1769 sq. ft.

Design Element Allowance = 429 sq. ft.

Total Existing Design Elements = 34 sq. ft. Excess = 0 sq. ft.

Garage 463 sf actual ; 600 sf allowance (garage to be converted to living space) = 0 sq. ft.

Garage Width 20 ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*
 (existing)

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Existing Residence To Remain: = 1769 sq. ft.

Square Footage of Proposed Additions:

1st floor 1724 + 2nd floor 1371 + 3rd floor 0 = 3095 sq. ft.

New Garage Area 750 sq. ft. Excess = 150 sq. ft.

New Design Elements 604 sq. ft. Excess = 175 sq. ft.

TOTAL SQUARE FOOTAGE = 5189 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 4293 sq. ft.

DIFFERENTIAL = 896 sq. ft. **NET RESULT:**
Over Maximum

896 sq. ft. is

Allowable Height: 35 ft. Actual Height 34'-0" (proposed - measured to top of cupola) 21% over the Max. allowed

DESIGN ELEMENT EXEMPTIONS (Existing & Proposed)

Design Element Allowance: 429 sq. ft.

Front & Side Porches = 604 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

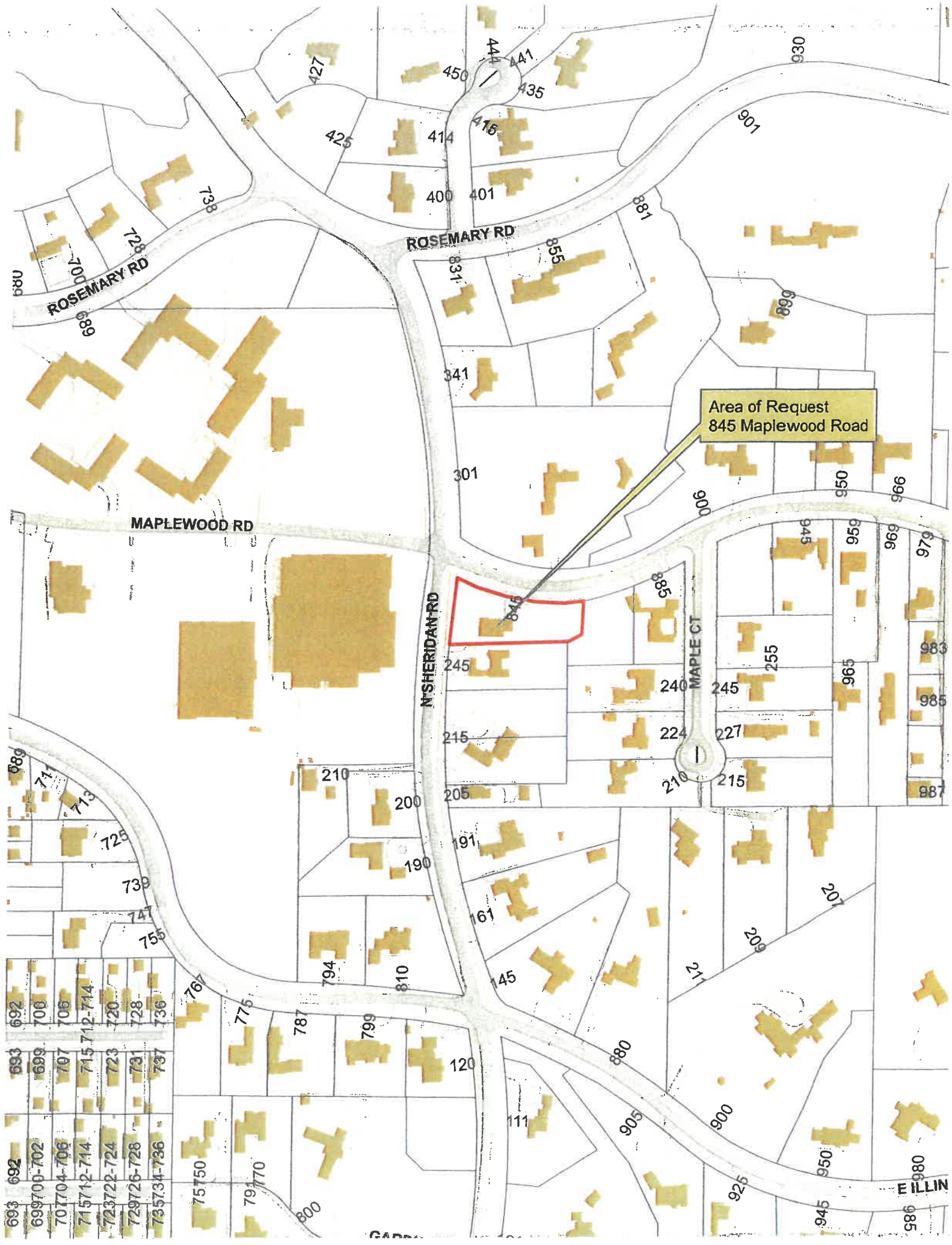
Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 604 sq. ft.

Excess Design Elements = 175 sq. ft.



Area of Request
845 Maplewood Road

ROSEMARY RD

MAPLEWOOD RD

N SHERIDAN RD

MAPLE CT

E HILLIN





THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS

PROJECT ADDRESS 845 MAPLEWOOD

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input checked="" type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input checked="" type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- ☐ East Lake Forest District ☐ Green Bay Road District ☐ Vine/Oakwood/Green Bay Road District
☐ Local Landmark Property or District ☐ Other

PROPERTY OWNER INFORMATION

MEGAN & TRISTAN HOAG

Owner of Property

845 MAPLEWOOD

Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60045

City, State and Zip Code

773-592-7941

Phone Number

Fax Number

TRISTANHOAG@GMAIL.COM

Email Address

[Signature]

Owner's Signature

ARCHITECT/BUILDER INFORMATION

SCOTT A. STREIGHTIFF, AIA

Name and Title of Person Presenting Project

STREIGHTIFF

Name of Firm

555 OAKWOOD AVE

Street Address

LAKE FOREST, IL 60045

City, State and Zip Code

847-525-7000

Phone Number

Fax Number

@COMCAST.NET

Email Address

[Signature]

Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER

☐ REPRESENTATIVE



STREIGHTIFF ARCHITECTS LLC
555 Oakwood Ave.
Lake Forest, IL 60045

STATEMENT OF INTENT

Date: August 9, 2023

Project: Megan and Tristan Hoag Residence
845 Maplewood Road
Lake Forest, IL 60045

Description: Continuation of a request for an approval of a new addition & adaptive reuse of existing structure.

Statement: This petition was presented to this Board this past month, July 26, 2023. The Commission (HPC) voted to approve the demolition with conceptual approval of the proposed design. The Commission (HPC) voted to continue consideration, and requested the following detailed information.

Per the Commissions request, we are submitting the following documentation, drawings and samples for your review and consideration in addition to the prior materials submitted.

1. **Primary Structure Material Samples and Colors:** (Specification sheets attached and samples shall be presented at the public hearing.)
 - a. **Roof shingle** – Slate Roof “Charcoal Gray”
 - b. **Standing seam metal roofs** - Kynar Steel “Tuxedo Gray”
 - c. **Brick solid color** - Sherwin Williams “Greek Villa” - Product Specification “Romabio” penetrating finish.
 - d. **House Trim** (Fascias, soffits, columns, etc. - Benjamin Moore “White” - OC 151 Satin Finish
 - e. **Window Clad Color** - Weathershield “Gray Matters”
 - f. **Limestone** - Sills, Lintels, Copings all elevations
 - g. **Stone chimney and low garden wall** – Lannon Stone “Fon Du Lac” blend set in Ashlar pattern.
 - h. **Garage Doors** - Wood carriage door to match house trim - “White” BM OC 151
2. **Driveways (As shown on the attached Landscape Plan)** – The driveways will include a permeable paver apron and perimeter border, with an asphalt center. The Paver selection is **Unilock Holland Premier Paver** – Color “Granite” – This will be set in a running bond pattern – Specification sheet attached.

3. **Entry Gate/Piers (Sheridan Road Entry)** – A detailed drawing of the proposed entry gates are attached. The piers shall be constructed of Lannon Stone “Fon Du Lac” blend set in Ashlar pattern with a limestone cap. The proposed entry gates shall be constructed of wood and painted BM “Graphite” in a soft gloss finish. The proposed mortar is “white” color with silica sand mix to achieve a white finish. The lanterns have been removed from the piers, but will be softly uplit to identify the property.
4. **Entry Piers (Maplewood Entry)** – The entry piers (no gate) on Maplewood shall be as shown on the Landscape Plan and shall match the piers on Sheridan Road. The piers shall be constructed of Lannon Stone “Fon Du Lac” blend set in Ashlar pattern with a limestone cap. The proposed mortar is “white” color with silica sand mix to achieve a white finish. The piers shall be softly uplit to identify the property.
5. **Porches and Walks to drive** – The porches and walks shall be as proposed on the Landscape Plan attached, and shall be constructed in **Bluestone**. The bluestone shall be rectangular (approx. 18” x 30”) set in a running bond pattern. The porches shall have a concrete base, and the walks and patios will be “dryset” to achieve a semi-permeable installation.
6. **Proposed Fence on Sheridan Road** – A detailed drawing of the proposed fence is attached. The fence shall consist of Lannon Stone Piers spaced every 16’ along Sheridan Road, with 4’ high extruded aluminum between each pier in a “**Black Iron**” color. The piers shall be constructed of Lannon Stone “Fon Du Lac” blend set in Ashlar pattern with a limestone cap. The piers and fence will be softened with a row of boxwoods in front of the iron gate, and a row of 12” high flowering ground cover in front of the boxwoods to the sidewalk edge. Perimeter screening shall be incorporated on the property side of the fence as shown on the proposed Landscape Plan.
7. **Proposed Landscape Plan** - A tree inventory survey is included in this packet identifying the existing vegetation and invasive species proposed for removal. A detailed Landscape Plan is also included in this packet that identifies the quantities, sizes and species for all proposed replacement plantings.

With these added materials, we hope the Commission has a clear understanding of the intent for this project. Thank you for your thoughtful consideration.

Respectfully submitted,

A handwritten signature in dark ink, appearing to read 'Scott A. Streightiff', with a long horizontal line extending to the right.

Scott A. Streightiff, AIA



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- ☐ Stone
☒ Brick
☐ Wood Clapboard Siding
☐ Wood Shingle
☐ Cementitious Stucco
☐ Other _____

Color and/or Type of Material _____

Foundation Material

Exposed Foundation Material _____

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Color of Finish _____

Finish and Color of Windows

- ☐ Wood (recommended)
☒ Aluminum Clad — SLATE
☐ Vinyl Clad
☐ Other _____

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars (recommended)
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone
☐ Brick
☒ Wood
☐ Other _____

Window Trim

- ☒ Limestone
☐ Brick
☒ Wood
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☒ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☒ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☐ Copper
- ☐ Other _____
- ☐ Sheet Metal

Color of Material GREY

Gutters and Downspouts

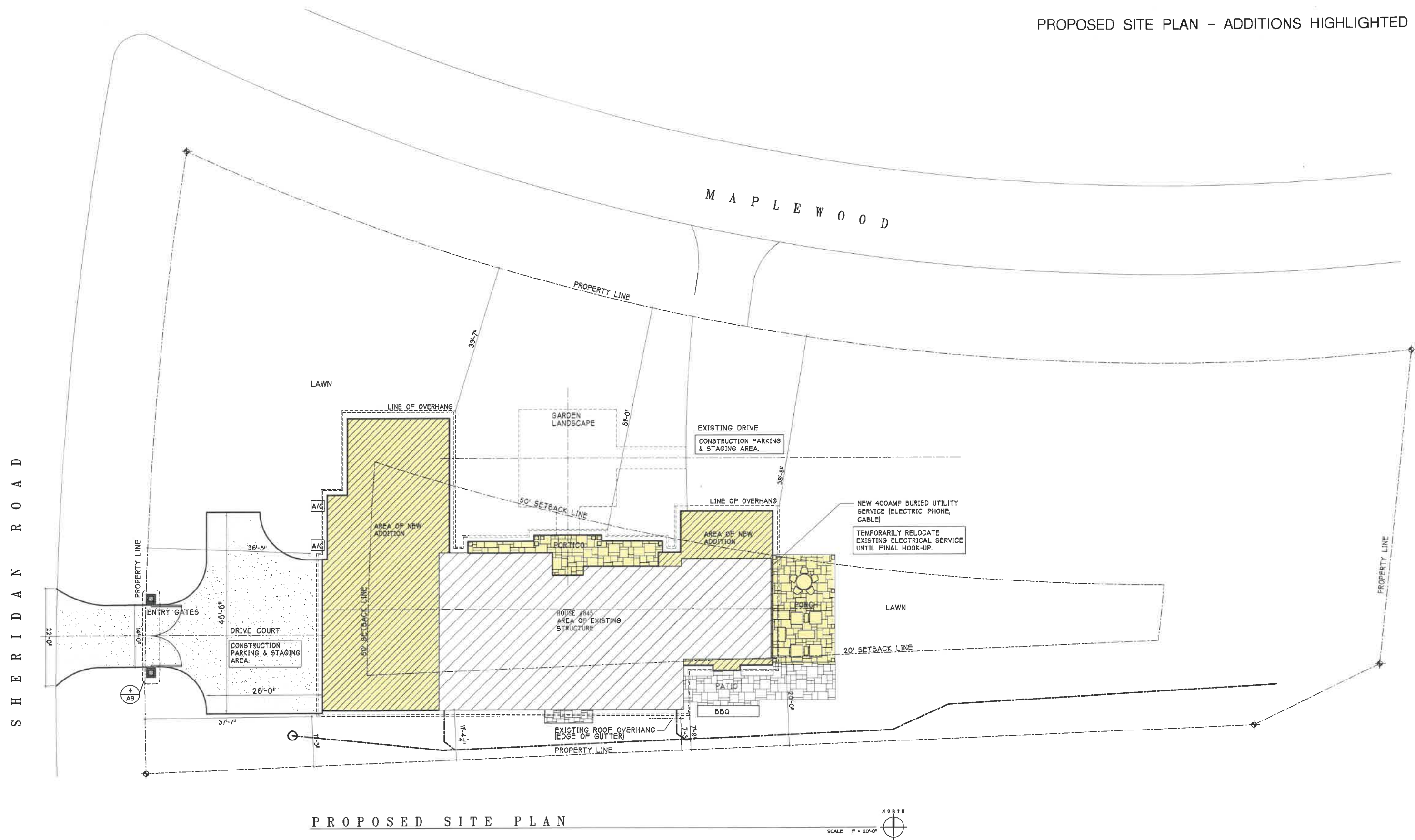
- ☒ Copper
- ☐ Aluminum
- ☐ Other _____

Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☒ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____



- MATERIALS KEY
- 1. SLATE ROOF
 - 2. PAINTED WOOD TRIM
 - 3. GREY KYNAR GUTTERS & D.S.
 - 4. BRICK VENEER - SOLID COLOR
 - 5. LIMESTONE SILLS
 - 6. CLAD WINDOW/DOOR
 - 7. STONE GARDEN WALL
 - 8. DECORATIVE CUPOLA - WOOD AND GREY KYNAR
 - 9. DORMER WALLS - PAINTED WOOD
 - 10. DORMER ROOF - GREY KYNAR STANDING SEAM
 - 11. FRONT PORCH ROOF - GREY KYNAR STANDING SEAM
 - 12. GABLE VENT MATERIAL - PAINTED WOOD AND MASONRY

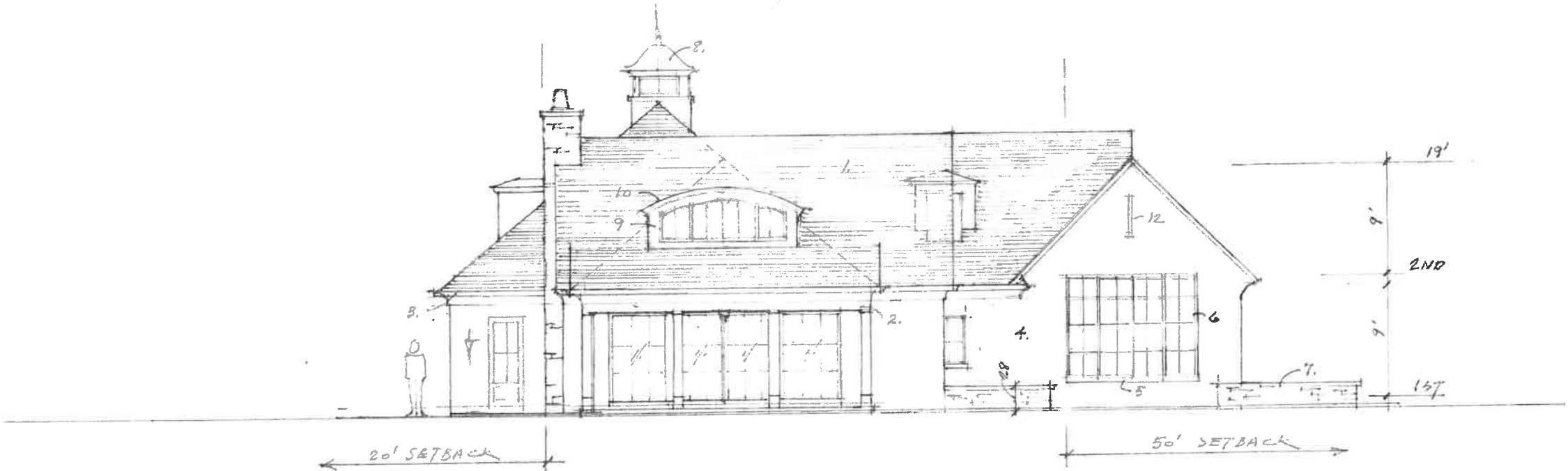


PROPOSED FRONT ELEVATION

THE HOAG RESIDENCE
875 MAPLEWOOD LF

STREIGHTIFF LLC
555 OAKWOOD LF

- MATERIALS KEY
- 1. SLATE ROOF
 - 2. PAINTED WOOD TRIM
 - 3. GREY KYNAR GUTTERS & D.S.
 - 4. BRICK VENEER - SOLID COLOR
 - 5. LIMESTONE SILL
 - 6. CLAD WINDOW/DOOR
 - 7. STONE GARDEN WALL
 - 8. DECORATIVE CUPOLA - WOOD AND GREY KYNAR
 - 9. DORMER WALLS - PAINTED WOOD
 - 10. DORMER ROOF - GREY KYNAR STANDING SEAM
 - 11. FRONT PORCH ROOF - GREY KYNAR STANDING SEAM
 - 12. GABLE VENT MATERIAL - PAINTED WOOD AND MASONRY

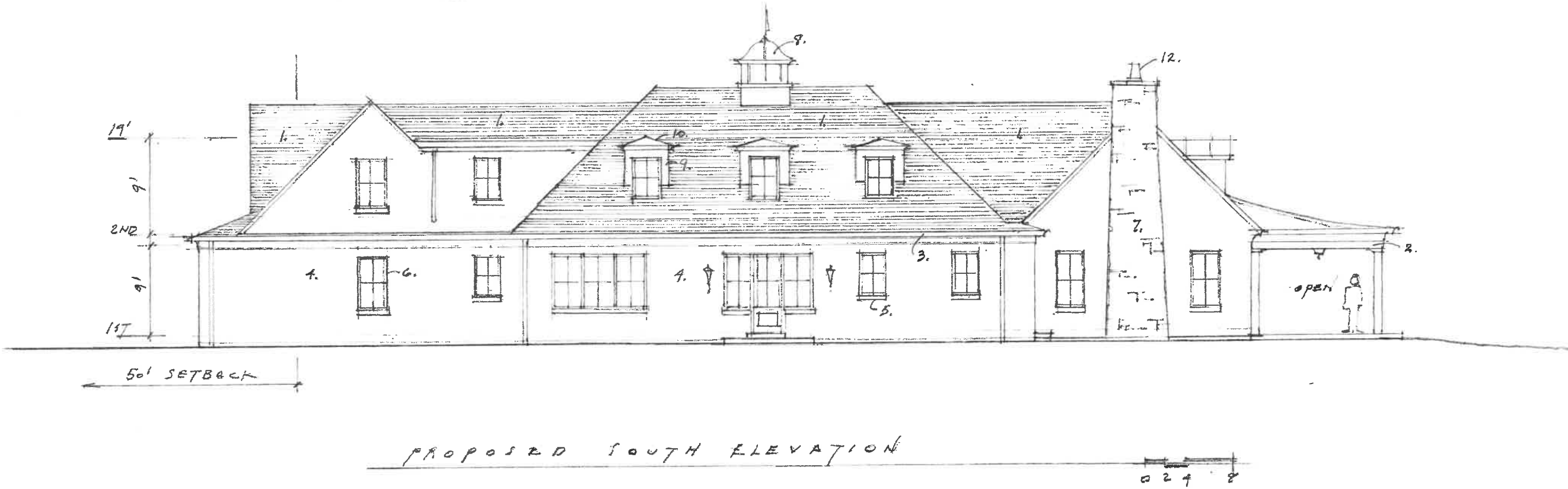


PROPOSED EAST ELEVATION

THE HOAG RESIDENCE
845 MAPLEWOOD LF

© STREIGHTIFF LLC
555 OAKWOOD LF

- MATERIALS KEY
- 1. SLATE ROOF
 - 2. PAINTED WOOD TRIM
 - 3. GREY KYNAR GUTTERS & D.S.
 - 4. BRICK VENEER - SOLID COLOR
 - 5. LIMESTONE SILLS
 - 6. CLAD WINDOW/DOOR
 - 7. STONE CHIMNEY
 - 8. DECORATIVE CUPOLA - WOOD AND GREY KYNAR
 - 9. DORMER WALLS - PAINTED WOOD
 - 10. DORMER ROOF - GREY KYNAR STANDING SEAM
 - 11. GABLE VENT MATERIAL - PAINTED WOOD AND MASONRY
 - 12. CHIMNEY CAP - TERRA COTTA AND METAL SCREEN



PROPOSED SOUTH ELEVATION

THE HOAG RESIDENCE -
945 MAPLEWOOD LF

© STREIGHTIFF LLC
555 OAKWOOD LF

- MATERIALS KEY**
- 1. SLATE ROOF
 - 2. PAINTED WOOD TRIM
 - 3. GREY KYNAR GUTTERS & D.S.
 - 4. BRICK VENEER - SOLID COLOR
 - 5. LIMESTONE SILL S
 - 6. CLAD WINDOW/DOOR
 - 7. STONE GARDEN WALL
 - 8. PAINTED GARAGE DOOR
 - 9. DORMER WALLS - PAINTED WOOD
 - 10. DORMER ROOF - GREY KYNAR STANDING SEAM
 - 11. FRONT PORCH ROOF - GREY KYNAR STANDING SEAM
 - 12. GABLE VENT MATERIAL - PAINTED WOOD AND MASONRY

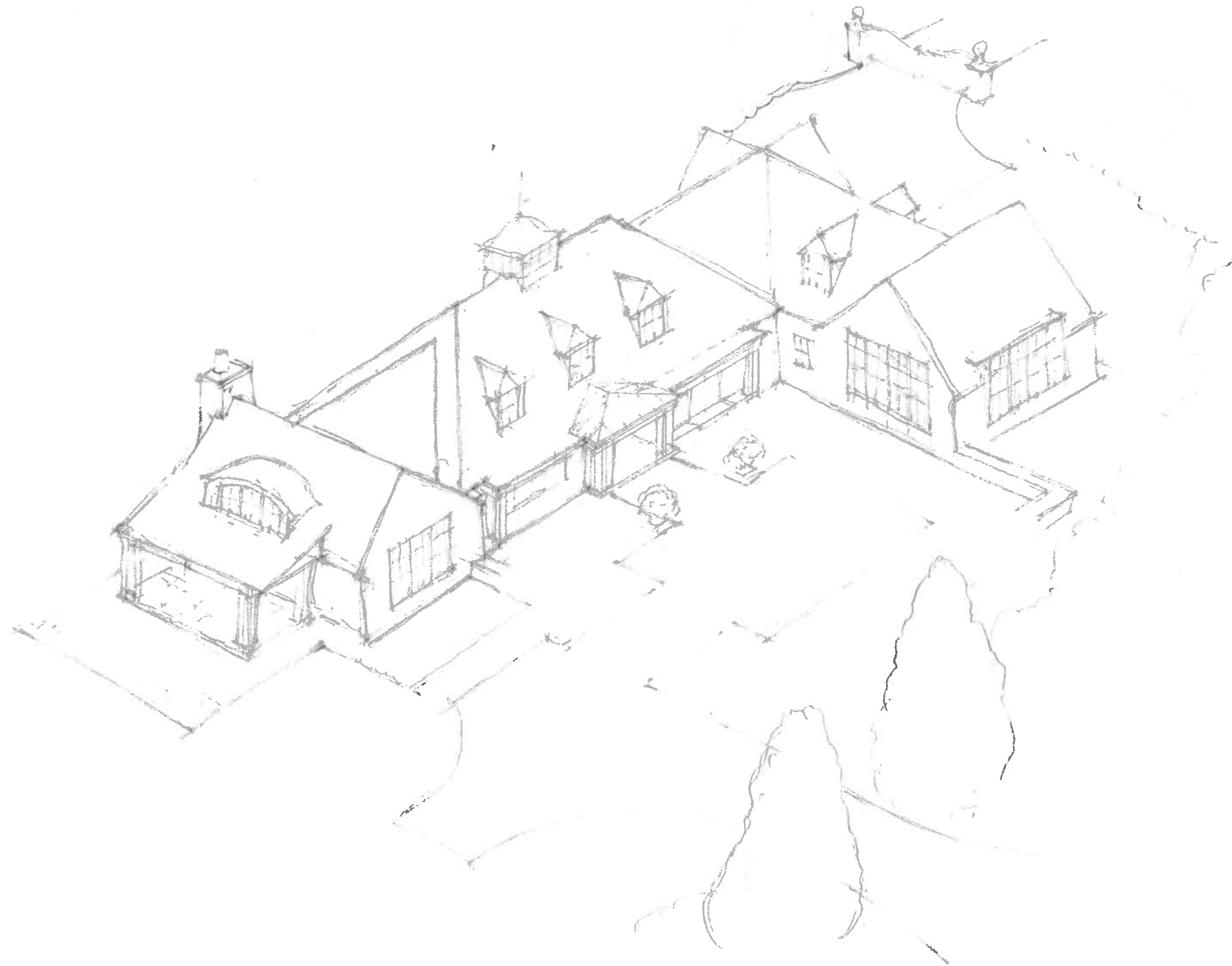


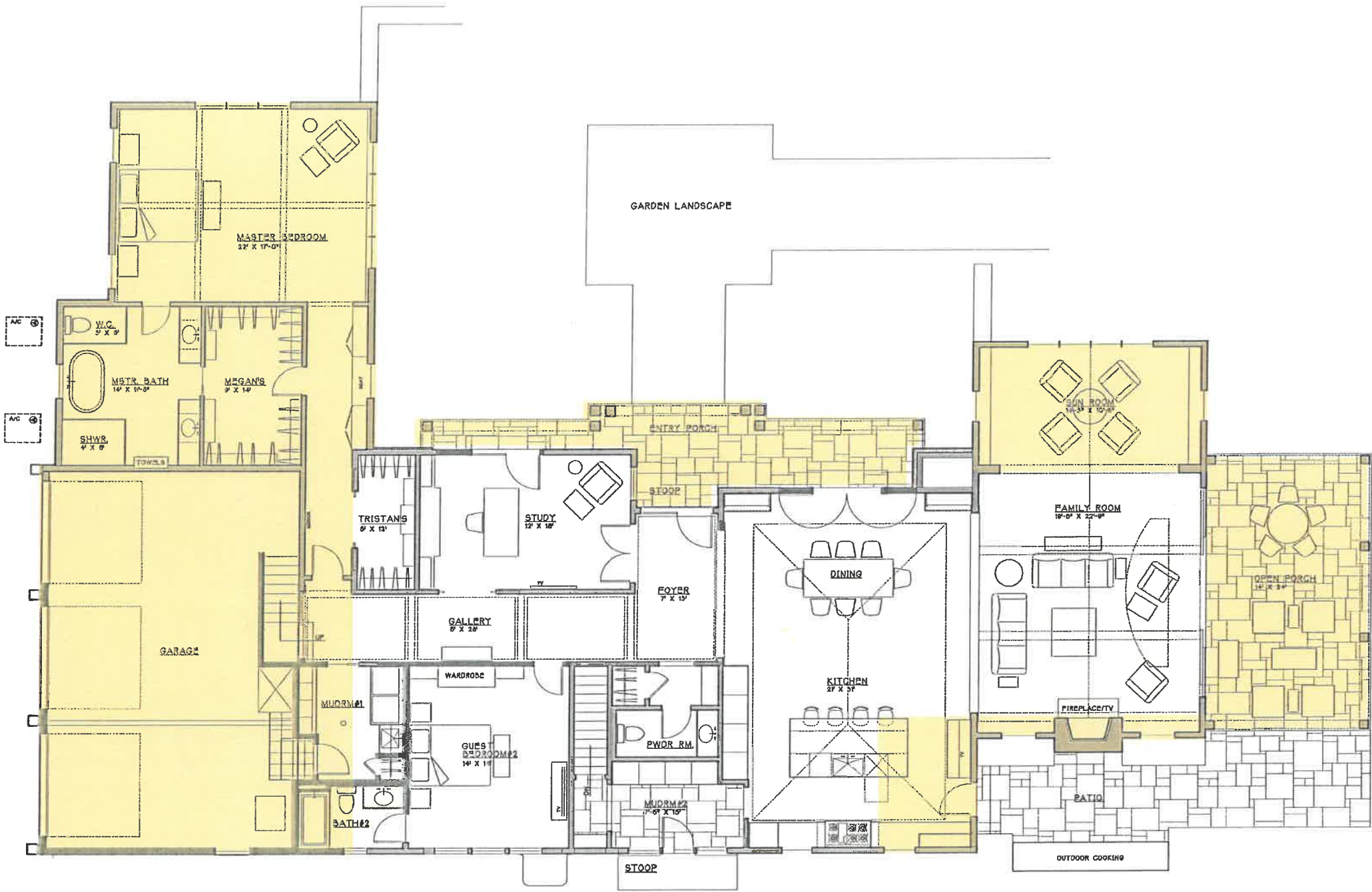
PROPOSED WEST ELEVATION

0 2 4 7

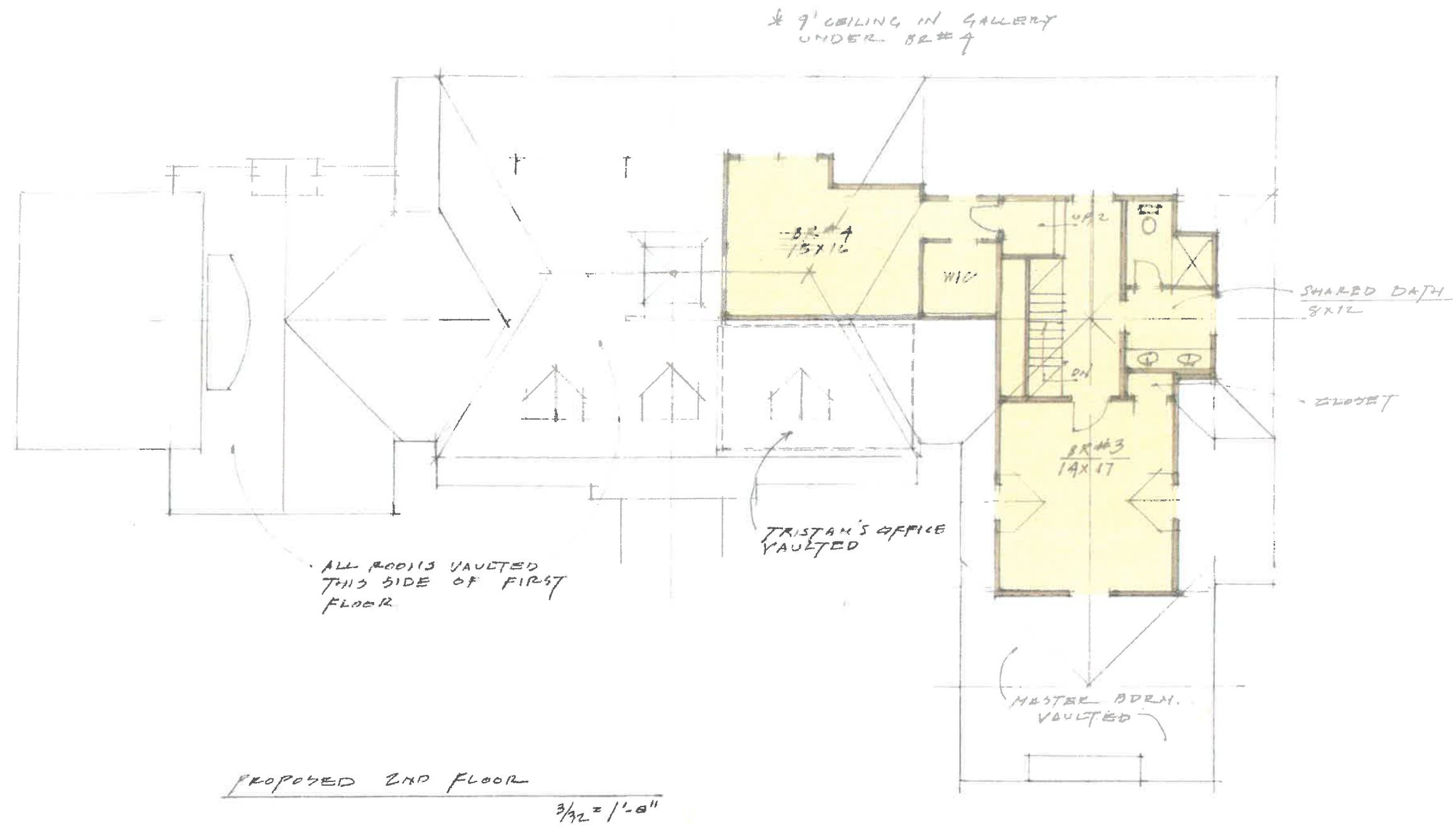
THE HOAG RESIDENCE
875 MAPLEWOOD LF

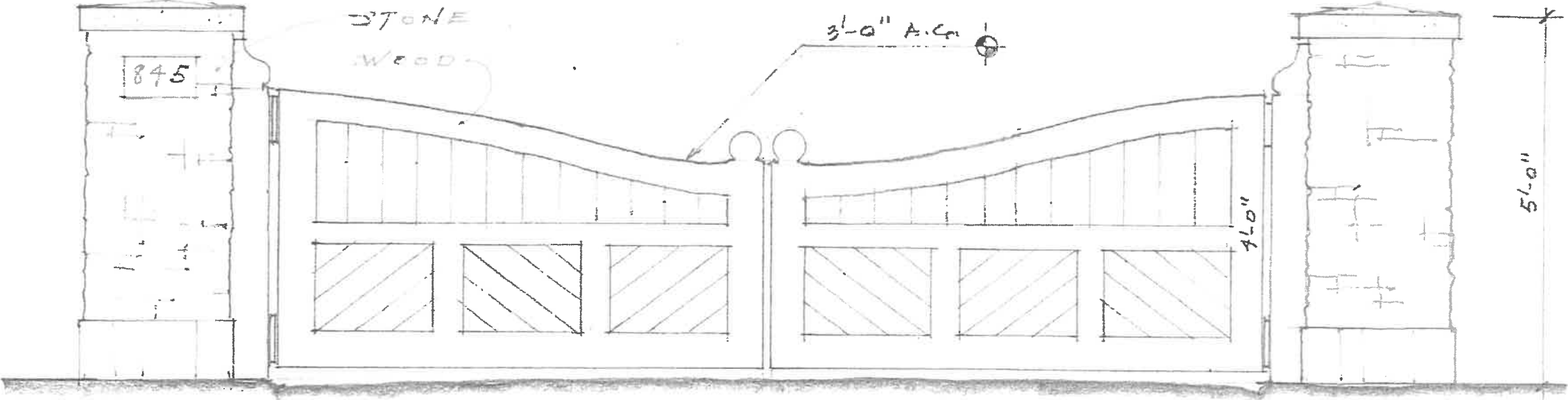
© STREIGHTIFF, LLC
555 OAKWOOD LF



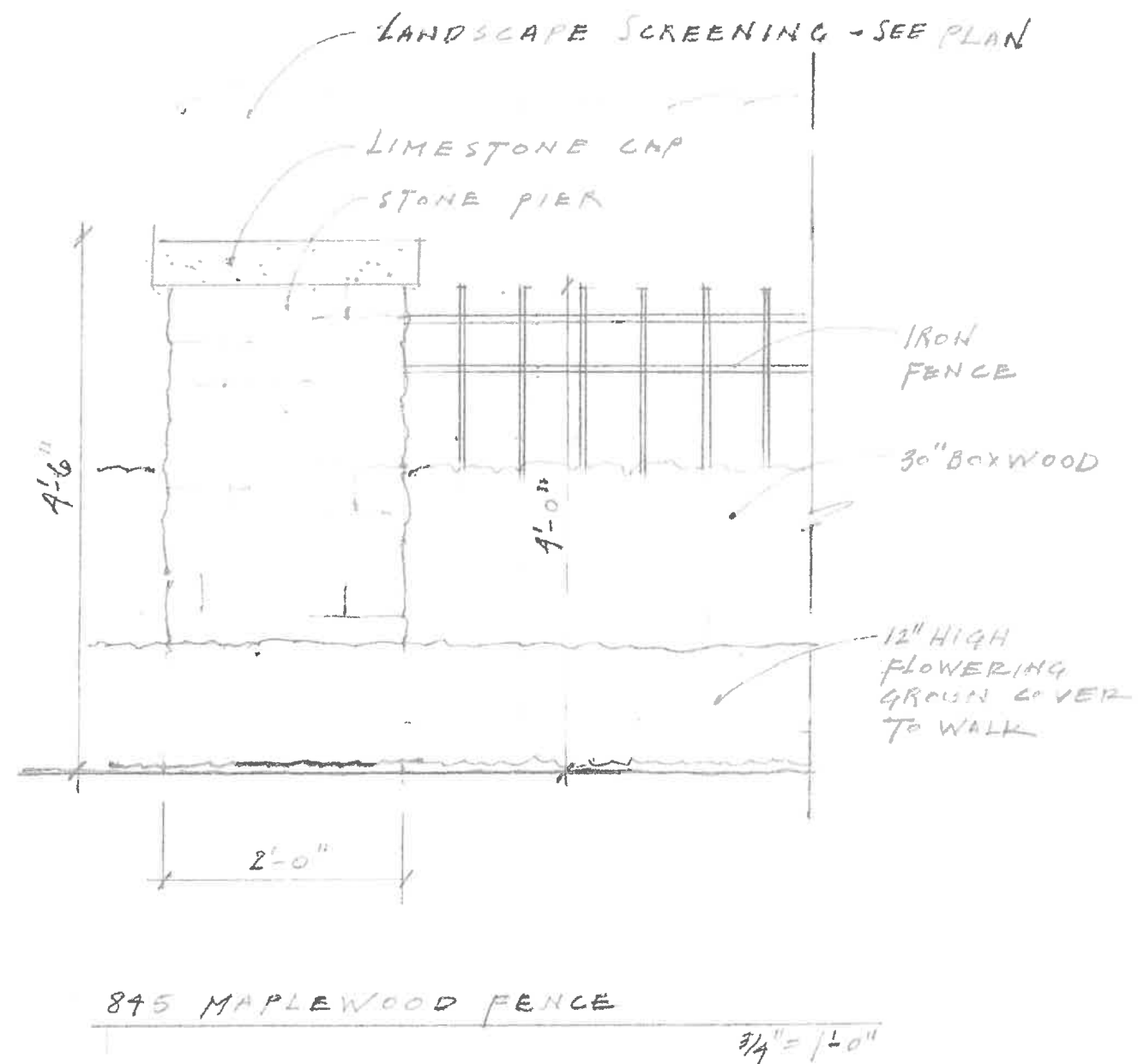


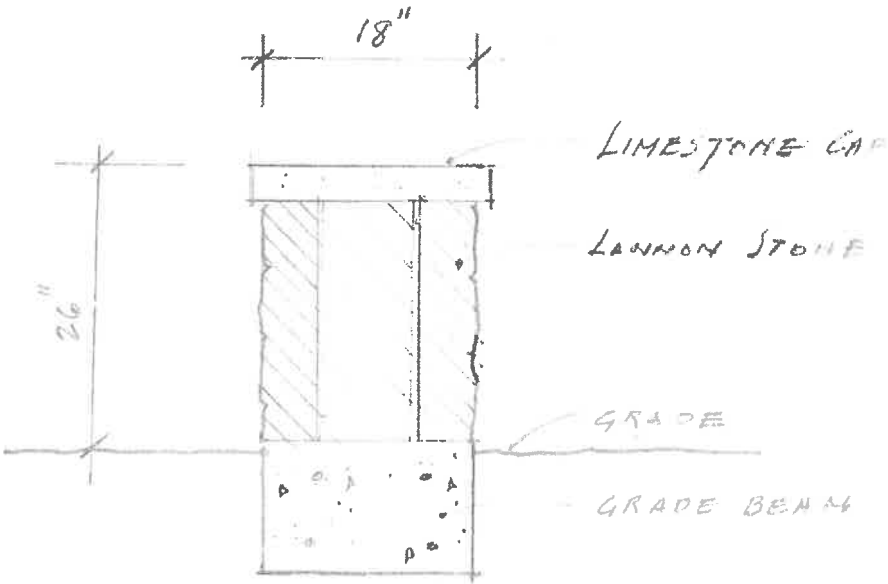
1 PROPOSED FIRST FLOOR PLAN





PROPOSED SHERIDAN RD. ENTRY GATE



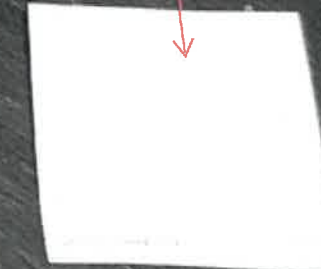


GARDEN WALL DETAIL

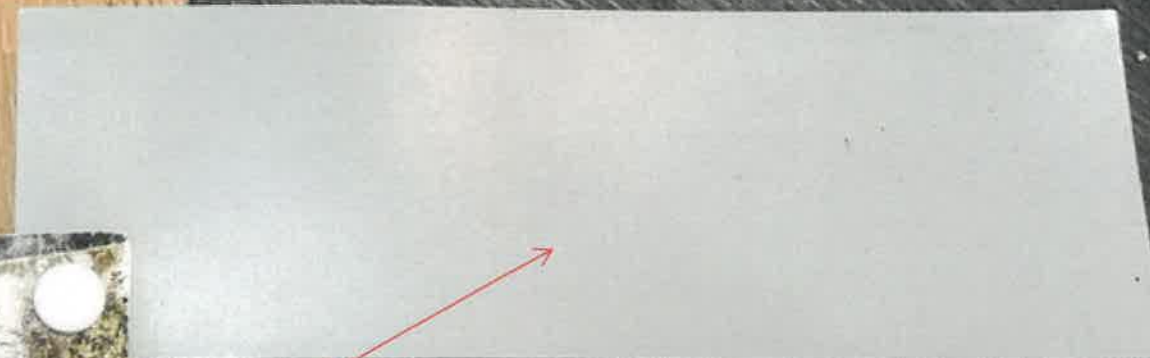
$\frac{3}{4}" = 1'-0"$

SLATE ROOF TILE SAMPLE

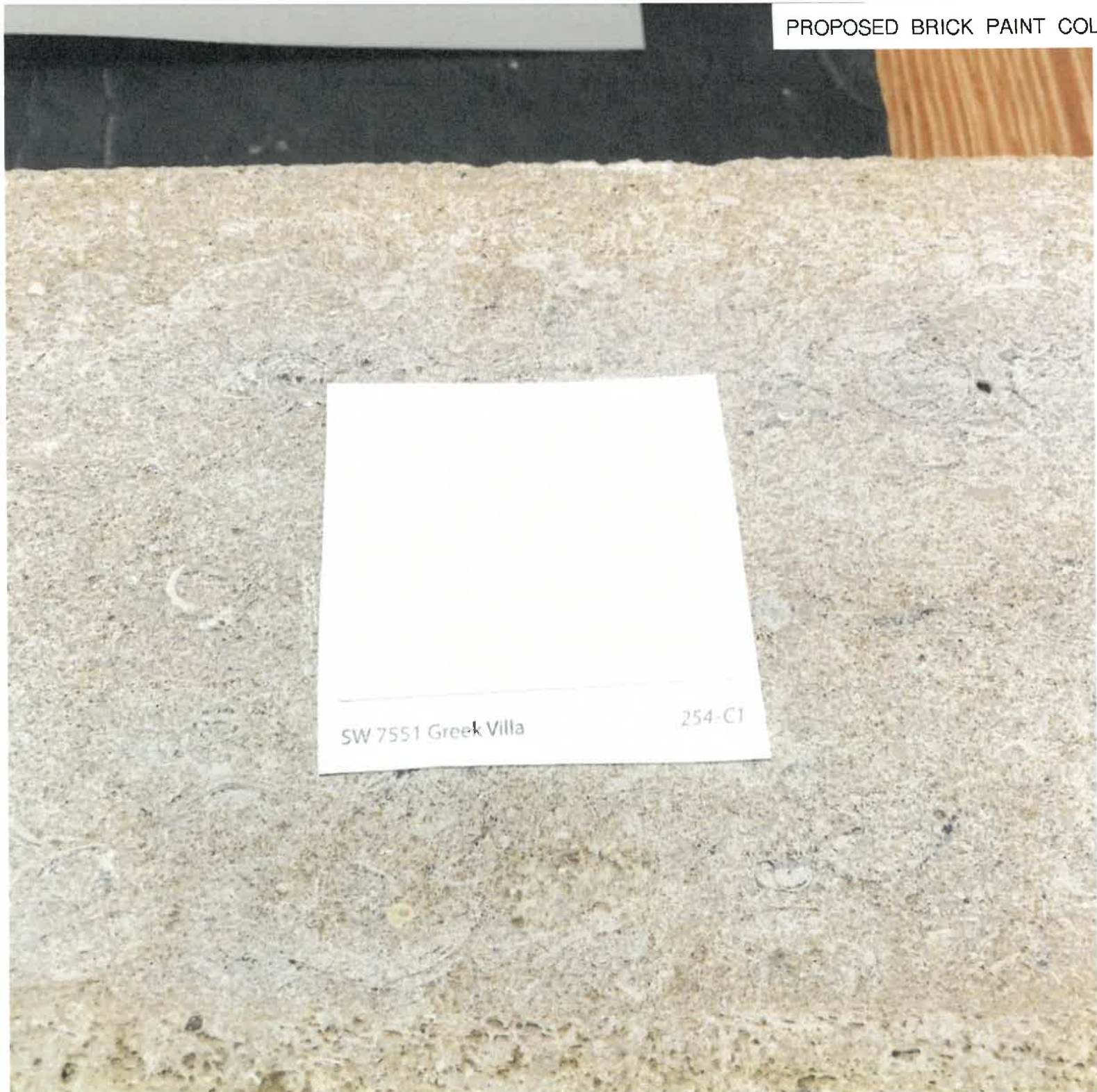
BRICK PAINT COLOR SAMPLE



METAL ROOF SAMPLE



WINDOW COLOR SAMPLE



DIMENSIONAL

FOND DU LAC

TAILORED BLEND

50% ROCKFACED



GEOLOGY: dolomitic limestone - quarried in USA

COLOR RANGE

gray, light gray, buff, and white

COLOR CONSISTENCY PER PALLET

somewhat consistent

PALLET

FULL VENEER: 4,000 pounds

THIN VENEER: 10-15 lbs/ft²; Qty Bx or Sm Bx

Qty Bx- 100 sq ft flats and 50 lineal ft corners

Sm Bx- (24) 8 sq ft flats (192 sq ft) and

(20) 8 lineal ft corners (160 lineal ft)

ASTM TESTING DATA

FOND DU LAC C97 water absorption—0.11%

FOND DU LAC C97 density—176.5 pcf

FOND DU LAC C99

modulus of rupture—2,480 psi

FOND DU LAC C170

compressive strength w/rift—31,810 psi

compressive strength across rift—26,550 psi

FOND DU LAC C880

flexural strength—1,740 psi

PART NUMBER

FULL VENEER:

18STBUE02010TN - Sold per Ton

THIN VENEER:

Qty Bx flat: 18TVBUE02024QB - Sold per pallet

Sm Bx flat: 18TVBUE02024BX - Sold per box

Qty Bx corner: 18TVBUE02523QB - Sold per pallet

Sm Bx corner: 18TVBUE02523BX - Sold per box

ARCHITECT/DESIGNER INFO

SKU: SM03007



INSTALLATION SHOWN

Mortar: Western W-11

Joint Type: Raked

BIM DETAILS

Revit, Hatch Patterns,
Seamless Textures, 3-Part
Specs, DWGS, SDS,
Warranty



FULL VENEER

COMMON COVERAGE *Est. (can vary)

Standard Joint	Drystack	Overgrout
40 square feet / ton	30 ft ² /ton	50 ft ² /ton

DIMENSIONS

l: 6" to 42" (24")

h: 2-1/4"; h: 5";

h: 7-3/4"; h: 10-1/2"

w: 3" to 5" (4")

note: ± 1/8" on sawn heights - additional heights available

TYPICAL BLEND

20 percent 2-1/4"; 40 percent 5";

30 percent 7-3/4"; 10 percent 10-1/2"

TYPICAL PIECE

Ends square; sawn top and bottom; sides are split; splitface, bedface back and face; stone is rectangular in appearance with length longer than height Fifty percent hand trimmed with a hammer and chisel on the entire face.

THIN VENEER

COMMON COVERAGE PER BOX *Est. (can vary)

Standard Joint	Drystack	Overgrout
8 & 100 square feet	6 & 75 ft ²	10 & 110 ft ²

DIMENSIONS

l: 6" to 24" (12")

h: 2-1/4"; h: 5";

h: 7-3/4"; h: 10-1/2"

w: 3/4" to 1-1/4" (1")

corner return 3" to 5"

note: ± 1/8" on sawn heights - additional heights available

TYPICAL BLEND

20 percent 2-1/4"; 40 percent 5";

30 percent 7-3/4"; 10 percent 10-1/2"

TYPICAL PIECE

Ends square; sawn top and bottom; sides are split; splitface and bedface face; sawn back; stone is rectangular having linear sawn appearance with length longer than height. Fifty percent hand trimmed with a hammer and chisel on the entire face.



White

OC-151

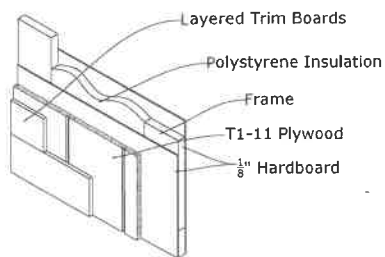
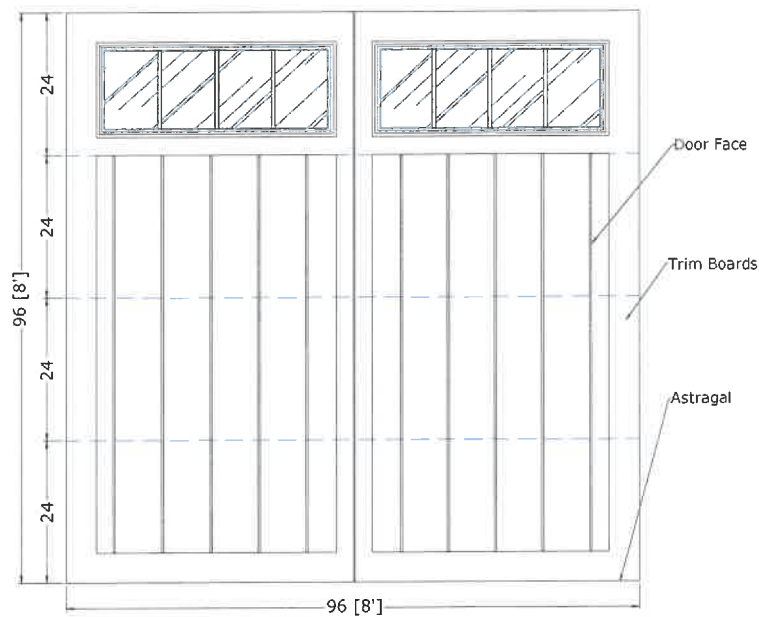


Graphite

1603



Trim H-41



Weather Strip Color (select one)

- ☐ Sandstone
- ☐ White
- ☐ Dark Brown

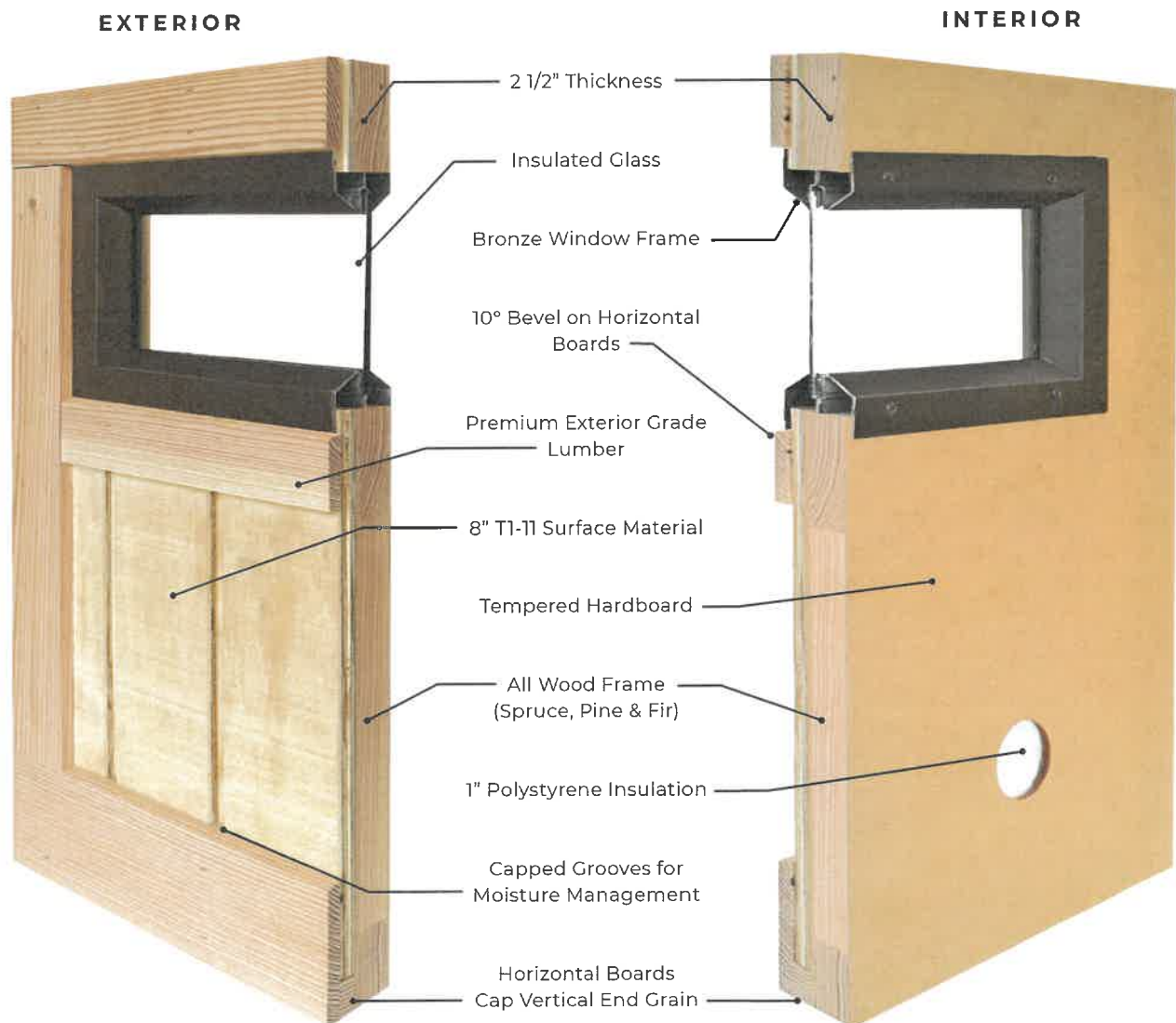
CAMBEK
DESIGNER DOORS®

Customer Name: Trim H-41	Proposal Number:	Rev:
Date:	Scale: 1/2" = 1'	Page: 1 of 1
	Designed By:	
I understand that the door shown above will be built to the confirmed finished opening size indicated on the Site Inspection Form or Garage Door Site Worksheet.		
Customer Approval		Date
© Copyright of Designer Products, LLC. Unauthorized reproduction prohibited.		

CAMBEK™

DESIGNER DOORS®

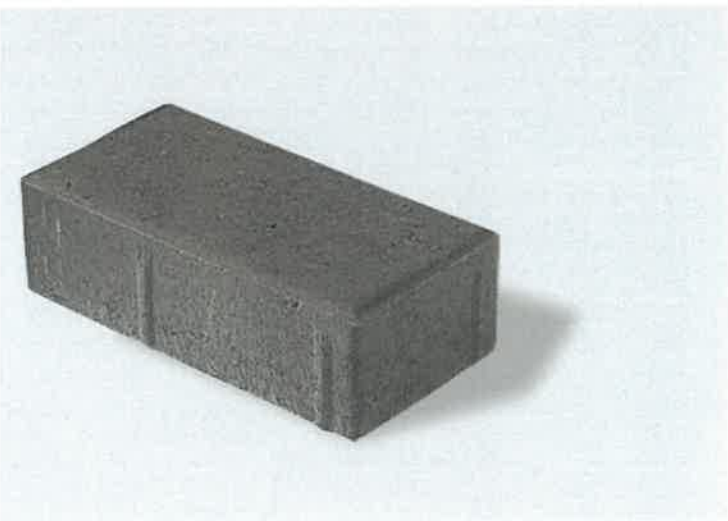
For enhanced curb appeal, CAMBEK offers an economical all wood door that can be painted or stained to coordinate with a home's exterior. Offered in standard sizes with a variety of trim board configurations and window patterns, the CAMBEK Limited Series provides an updated elevation for a great price.



CAMBEK Limited

Unilock Holland Premier Paver

3 7/8" x 7 7/8" x 2 3/8"



Holland Premier offers a classic rectangular shape with the reassurance of Enduracolor, for a refined surface and long-lasting color. This single size is available in a range of colors and can be laid in a running bond, herringbone or basket weave pattern for residential or commercial projects. Holland Premier is also sometimes used as an economical option for paver borders or banding in vertical features.

COLORS



APPLICATIONS



SHAPE AND SIZE

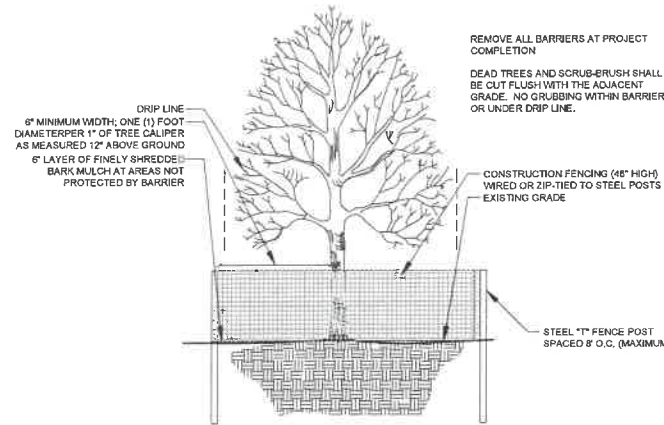




Joint
Utility
Locating
Information for
Excavators

Call 48 hours before you dig
(Excluding Sat., Sun. & Holidays)

TREE REMOVAL PLAN - HIGHLIGHTED TREES PROPOSED FOR REMOVAL



1 DETAIL TREE PROTECTION/PRESERVATION DETAIL
N.T.S. SECTION

Tree Inventory / Preservation Data						
KEY	Genus	Common Name	Size (DBH)	Notes/Action	Reason	
1	Prunus	Black Cherry	18"	Tree to remain		
2	Ulmus	Elm	40"	Tree to remain		
3	Cornus	Dogwood	10-12"	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan	
4	Ulmus	Elm	30"	Tree to remain		
5	Cornus	Dogwood	10-12"	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan	
6	Ulmus	Elm	32"	Tree to remain		
7	Rhamnus	Buckthorn	6"	TREE TO BE REMOVED; STUMPED		
8	Prunus	Cherry	10-12"	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan	
9	Cornus	Dogwood	10-12"	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan	
10	Cornus	Dogwood	10-12"	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan	
11	Cornus	Dogwood	10-12"	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan	
12	Cornus	Dogwood	10-12"	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan	
13	Cornus	Dogwood	10-12"	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan	
14	Cornus	Dogwood	10-12"	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan	
15	Cornus	Dogwood	10-12"	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan	
16	Rhamnus	Buckthorn	10-12"	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan	
17	Rhamnus	Buckthorn	10-12"	TREE TO BE REMOVED; STUMPED		
18	Rhamnus	Buckthorn	10-12"	TREE TO BE REMOVED; STUMPED		
19	Rhamnus	Buckthorn	10-12"	TREE TO BE REMOVED; STUMPED		
20	Rhamnus	Buckthorn	12-15"	TREE TO BE REMOVED; STUMPED		
21	Rhamnus	Buckthorn	12-15"	TREE TO BE REMOVED; STUMPED	Condition	
22	Rhamnus	Buckthorn	12-15"	TREE TO BE REMOVED; STUMPED	Condition	
23	Malus	Crabapple	30"	TREE TO BE REMOVED; STUMPED	Health	
24	Malus	Crabapple	14"	TREE TO BE REMOVED; STUMPED	Health	
25	Hamamelis	Witchhazel	15"	TREE TO BE REMOVED; STUMPED	Average condition, nearing end of lifespan	
26	Syringa	Tree Lilac	18"	TREE TO BE REMOVED; STUMPED	Average condition, nearing end of lifespan	
27	Rhamnus	Buckthorn	10-12"	TREE TO BE REMOVED; STUMPED		
28	Rhamnus	Buckthorn	10-12"	TREE TO BE REMOVED; STUMPED		
29	Rhamnus	Buckthorn	10-12"	TREE TO BE REMOVED; STUMPED		
30	Carya	Shagbark Hickory	12"	Tree to remain		
31	Ostrya	Ironwood	10"	TREE TO BE REMOVED; STUMPED	Condition	
32	Carya	Shagbark Hickory	13"	Tree to remain		
33	Cornus	Dogwood	10-12"	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan	
34	Prunus	Black Cherry	16"	Tree to remain		
35	Cornus	Dogwood	10-12"	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan	
36	Prunus	Cherry	8"	Tree to remain		
37	Acer	Maple	15"	Tree to remain		
38	Prunus	Cherry	8"	Tree to remain		
39	Picea	Spruce	4"	TREE TO BE REMOVED; STUMPED	Thinning due to crowding and shade	
40	Rhamnus	Buckthorn	8"	TREE TO BE REMOVED; STUMPED		
41	Acer	Silver Maple	11"	TREE TO BE REMOVED; STUMPED	Dead	
42	Picea	Colorado Blue Spruce	12"	TREE TO BE REMOVED; STUMPED	House Expansion	
43	Picea	Colorado Blue Spruce	12"	TREE TO BE REMOVED; STUMPED	House Expansion	
44	Picea	Colorado Blue Spruce	15"	TREE TO BE REMOVED; STUMPED	House Expansion	
45	Picea	Colorado Blue Spruce	20"	TREE TO BE REMOVED; STUMPED	House Expansion	
46	Malus	Crabapple	4"	TREE TO BE REMOVED; STUMPED	House Expansion	
47	Quercus	Oak	10"	Tree to remain	Construction Access	
48	Juniperus	Cedar	15"	Tree to remain		
49	Carya	Shagbark Hickory	22"	Tree to remain		
50	Quercus	Red Oak	10"	Tree to remain		
51	Ulmus	Elm	14"	Tree to remain		
52	Fraxinus	Ash	6"	TREE TO BE REMOVED; STUMPED	Dead	
53	Rhamnus	Buckthorn	10-12"	TREE TO BE REMOVED; STUMPED		
54	Rhamnus	Buckthorn	10-12"	TREE TO BE REMOVED; STUMPED		
55	Rhamnus	Buckthorn	10-12"	TREE TO BE REMOVED; STUMPED		
56	Rhamnus	Buckthorn	10-12"	TREE TO BE REMOVED; STUMPED		
57	Rhamnus	Buckthorn	10-12"	TREE TO BE REMOVED; STUMPED		
58	Quercus	Red Oak	20"	Tree to remain		
59	Cornus	Dogwood	10-12"	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan	



PROJECT

TRISTAN & MEGAN HOAG RESIDENCE

845 Maplewood Avenue
Lake Forest, IL 60045

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
7.21.23	ISSUE TO OWNER
8.09.23	REVISIONS

These plans were prepared by
W. David Heller, ASLA
Registered Landscape Architect
#157-000558

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

EXISTING VEGETATION PLAN

PROJECT MANAGER WDH

PROJECT NUMBER 23-042

DATE 08.09.23

SHEET NUMBER

L 1.0



TREE PRESERVATION PLAN

Scale: 1" = 10'0"

TREE INVENTORY – HIGHLIGHTED TREES PROPOSED FOR REMOVAL

Tree Inventory / Preservation Data

KEY	Genus	Common Name	Size (DBH)	Notes /Action	Reason
1	Prunus	Black Cherry	18"	Tree to remain	
2	Ulmus	Elm	40"	Tree to remain	
3	Cornus	Dogwood	10-12'	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan
4	Ulmus	Elm	30"	Tree to remain	
5	Cornus	Dogwood	10-12'	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan
6	Ulmus	Elm	32"	Tree to remain	
7	Rhamnus	Buckthorn	6"	TREE TO BE REMOVED; STUMPED	
8	Prunus	Cherry	10-12'	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan
9	Cornus	Dogwood	10-12'	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan
10	Cornus	Dogwood	10-12'	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan
11	Cornus	Dogwood	10-12'	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan
12	Cornus	Dogwood	10-12'	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan
13	Cornus	Dogwood	10-12'	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan
14	Cornus	Dogwood	10-12'	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan
15	Cornus	Dogwood	10-12'	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan
16	Rhamnus	Buckthorn	10-12'	TREE TO BE REMOVED; STUMPED	
17	Rhamnus	Buckthorn	10-12'	TREE TO BE REMOVED; STUMPED	
18	Rhamnus	Buckthorn	10-12'	TREE TO BE REMOVED; STUMPED	
19	Rhamnus	Buckthorn	10-12'	TREE TO BE REMOVED; STUMPED	
20	Rhamnus	Buckthorn	12-15'	TREE TO BE REMOVED; STUMPED	
21	Rhamnus	Buckthorn	12-15'	TREE TO BE REMOVED; STUMPED	
22	Rhamnus	Buckthorn	12-15'	TREE TO BE REMOVED; STUMPED	Condition
23	Malus	Crabapple	30"	TREE TO BE REMOVED; STUMPED	Condition
24	Malus	Crabapple	14"	TREE TO BE REMOVED; STUMPED	Health
25	Hamamelis	Witchhazel	15'	TREE TO BE REMOVED; STUMPED	Average condition, nearing end of lifespan
26	Syringa	Tree Lilac	18'	TREE TO BE REMOVED; STUMPED	Average condition, nearing end of lifespan
27	Rhamnus	Buckthorn	10-12'	TREE TO BE REMOVED; STUMPED	
28	Rhamnus	Buckthorn	10-12'	TREE TO BE REMOVED; STUMPED	
29	Rhamnus	Buckthorn	10-12'	TREE TO BE REMOVED; STUMPED	
30	Carya	Shagbark Hickory	12"	Tree to remain	
31	Ostrya	Ironwood	10"	TREE TO BE REMOVED; STUMPED	Condition
32	Carya	Shagbark Hickory	13"	Tree to remain	
33	Cornus	Dogwood	10-12'	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan
34	Prunus	Black Cherry	16"	Tree to remain	
35	Cornus	Dogwood	10-12'	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan
36	Prunus	Cherry	8"	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan
37	Acer	Maple	15"	Tree to remain	
38	Prunus	Cherry	8"	Tree to remain	
39	Picea	Spruce	4"	TREE TO BE REMOVED; STUMPED	Thinning due to crowding and shade
40	Rhamnus	Buckthorn	8"	TREE TO BE REMOVED; STUMPED	
41	Acer	Silver Maple	11"	TREE TO BE REMOVED; STUMPED	Dead
42	Picea	Colorado Blue Spruce	13"	TREE TO BE REMOVED; STUMPED	House Expansion
43	Picea	Colorado Blue Spruce	12"	TREE TO BE REMOVED; STUMPED	House Expansion
44	Picea	Colorado Blue Spruce	16"	TREE TO BE REMOVED; STUMPED	House Expansion
45	Picea	Colorado Blue Spruce	20"	TREE TO BE REMOVED; STUMPED	House Expansion
46	Malus	Crabapple	4"	TREE TO BE REMOVED; STUMPED	Construction Access
47	Quercus	Oak	10"	Tree to remain	
48	Juniperus	Cedar	15'	Tree to remain	
49	Carya	Shagbark Hickory	28"	Tree to remain	
50	Quercus	Red Oak	10"	Tree to remain	
51	Ulmus	Elm	14"	Tree to remain	
52	Fraxinus	Ash	6"	TREE TO BE REMOVED; STUMPED	Dead
53	Rhamnus	Buckthorn	10-12'	TREE TO BE REMOVED; STUMPED	
54	Rhamnus	Buckthorn	10-12'	TREE TO BE REMOVED; STUMPED	
55	Rhamnus	Buckthorn	10-12'	TREE TO BE REMOVED; STUMPED	
56	Rhamnus	Buckthorn	10-12'	TREE TO BE REMOVED; STUMPED	
57	Rhamnus	Buckthorn	10-12'	TREE TO BE REMOVED; STUMPED	
58	Quercus	Red Oak	20"	Tree to remain	
59	Cornus	Dogwood	10-12'	TREE TO BE REMOVED; STUMPED	Air circulation, nearing end of lifespan

SHADE TREES (DECIDUOUS)		DECIDUOUS SHRUBS	
ARM	Armstrong Red Maple	CW	Common Witchhazel
PSG	Princeton Sentry Ginkgo	IH	Incrediball Hydrangea
CSO	Crimson Spire Oak	IBH	Incrediball Blush Hydrangea
ORNAMENTAL TREES (DECIDUOUS)		LH	Limelight Hydrangea
ABS	Autumn Brilliance Serviceberry	LQFH	Little Quick Fire Hydrangea
GGCC	Golden Glory Conellian Cherry	TBS	Tor Birchleaf Spiraea
JTL	Ivory Silk Japanese Tree Lilac	DKL	Dwarf Lilac Patio Tree
		KSV	Fragrant Korean Spice Viburnum
		SBW	Sonic Bloom Weigela

EVERGREEN TREES	
DGA	Nigra Arborvitae
GGA	Green Giant Arborvitae
ECH	Eastern Canadian Hemlock

EVERGREEN SHRUBS	
GMB	Green Mountain Boxwood
GVB	Green Velvet Boxwood

PLANT ABBREVIATIONS

ORNAMENTAL GRASSES	
DMG	Dwarf Maidengrass

HERBACEOUS PERENNIALS	
MDA	Maggie Daley Astilbe (Pink)
EBH	Elegans Bigleaf Hosta
FWH	Frances Williams Bigleaf Hosta
OF	Ostrich Fern

GROUNDCOVERS & VINES	
CLT	Creeping Lilly Turf
GCP	Green Carpet Pachysandra

HELLER & ASSOCIATES, LLC

LANDSCAPE ARCHITECTURE

One Redwood Court

Racine, Wisconsin 53402

ph 262.639.9733

fx 262.639.9737

david@wdavidheller.com

PROJECT

TRISTAN & MEGAN HOAG RESIDENCE

845 Maplewood Avenue
Lake Forest, IL 60045

ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
7.21.23	ISSUE TO OWNER
8.09.23	REVISIONS

These plans were prepared by
W. David Heller, ASLA
Registered Landscape Architect
#157-000558

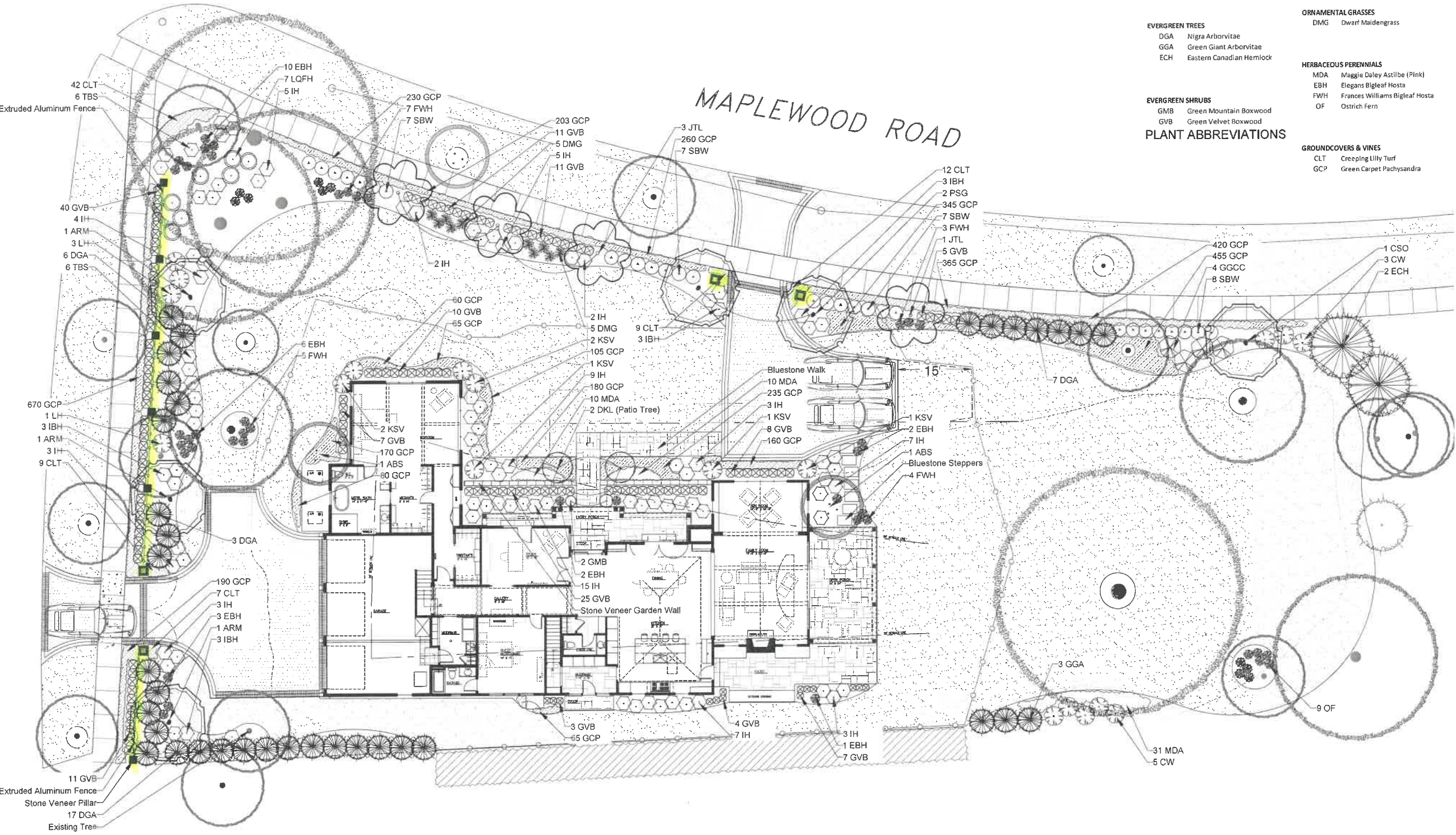
Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

LANDSCAPE PLANTING PLAN

PROJECT MANAGER	WDH
PROJECT NUMBER	23-042
DATE	08.09.23
SHEET NUMBER	

L 1.3



CALL JULIE TOLL FREE
1-800-892-0123

Joint
Utility
Locating
Information for
Excavators
Call 48 hours before you dig
(Excluding Sat., Sun. & Holidays)

NORTH

LANDSCAPE PLANTING PLAN

Scale: 1" = 10'0"

PROJECT
TRISTAN & MEGAN HOAG RESIDENCE

845 Maplewood Avenue
Lake Forest, IL 60045

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
7.21.23	ISSUE TO OWNER
8.07.23	REVISED PER MEETING
8.09.23	REVISIONS

These plans were prepared by:
W. David Heller, ASLA
Registered Landscape Architect
#157-000558

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

OVERALL LANDSCAPE CONCEPT PLAN

PROJECT MANAGER WDH

PROJECT NUMBER 23-042

DATE 08.09.23

SHEET NUMBER

L 1.1



GREEN VELVET BOXWOOD (LOW HEDGE)



INCREDIBALL HYDRANGEA



SONIC BLOOM WEIGELA



DWARF MAIDEN GRASS



SKYLARK HORNBEAM



PRINCETON SENTRY GINKGO



COMMON WITCHAZEL



GOLDEN GLORY DOGWOOD



EASTERN HEMLOCK



CRIMSON SPIRE OAK



DWARF FOTHERGILLA



DARK GREEN ARORVITAE



SERVICEBERRY



KOREANSPICE VIBURNUM



INCREDIBALL HYDRANGEA



ARMSTRONG RED MAPLE



INCREDIBLUSH HYDRANGEA



ARMSTRONG RED MAPLE



DARK GREEN ARORVITAE

SHERIDAN ROAD

MAPLEWOOD ROAD



NORTH

OVERALL LANDSCAPE CONCEPT

Scale: 1" = 10'0"

Agenda Item 5
105 Mayflower Road
Pool House and Pergola

Staff Report
Building Scale Summary
Vicinity Map
Air Photo

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Proposed Site Plan
Proposed Elevations
Proposed Building Section and Perspective Renderings
Proposed Floorplan
Proposed Landscape Plan

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grinnell and members of the Historic Preservation Commission
DATE:	August 23, 2023
FROM:	Jennifer Baehr, Planner
SUBJECT:	105 Mayflower Road – Pool House and Pergola

PETITIONERS

Karl and Joan Gedge
105 Mayflower Road
Lake Forest, IL 60045

PROPERTY LOCATION

105 Mayflower Road

HISTORIC DISTRICTS

East Lake Forest Local &
National Historic District

PROJECT REPRESENTATIVE

Wells Wheeler, architect
1100 N. Waukegan Road
Lake Forest, IL 60045

SUMMARY OF THE PETITION

The petitioners are requesting a Certificate of Appropriateness to allow construction of a pool house and pergola on the west side of the property. The proposed pool house is a small structure that will house the pool equipment, a changing room and storage space. A small pergola is proposed on the east side of the pool house.

In July 2023, a permit for an inground pool on the west side of the property was issued and that work is currently underway. The plans for the proposed pool house were not included as part of the plans submitted for the pool and it is staff's understanding that the pool house was not originally contemplated.

DESCRIPTION OF PROPERTY AND SURROUNDING AREA

This property is located on the east side of Mayflower Road, between Illinois and Maplewood Roads. The property is approximately 2.40 acres in size and includes a portion of a ravine along the west and south sides of the property. The residence on the property was constructed in 1979 and was designed by architect Ike Colburn. The surrounding area is characterized by estate homes situated on large properties.

STAFF EVALUATION

Pool House and Pergola

The proposed pool house is a single story structure and totals approximately 195 square feet. The design and exterior materials of the pool house are proposed to match the residence. On the east side of the pool house, a cedar pergola totaling approximately 106 square feet is proposed. The proposed pool house and pergola are located on center with the pool.

Findings

A staff review of the Historic Preservation standards in the City Code is provided below. As appropriate, findings in response to the standards are offered for the Commission's consideration.

Standard 1 - Height:

This standard is met. The existing residence is mostly a single story structure with some second floor space and a tower element that is three stories tall. The pool house and pergola are single story structures. The pool house is approximately 13 feet tall and the pergola is approximately 8 feet and 9 inches tall. The maximum allowable height for an accessory structure is 25 feet.

Standard 2 – Proportion of Front Façade:

This standard is not applicable to this petition. No changes are proposed to front façade of the residence.

Standard 3 – Proportion of openings:

This standard is met. The proposed openings on the pool house consist of small vertically oriented windows that match the proportions and style of the windows on the residence. A French door, consistent with the doors on the home, is proposed on the east elevation of the pool house, facing the pool. A single metal door is proposed on the west elevation of the pool house to access the pool equipment room.

Standard 4 Rhythm of Solids to Voids:

This standard is met. The pool house has limited openings due to the fact that the purpose of the structure is primarily to house the pool equipment and provide storage space. The solid walls of the pool house are broken up with single openings on each elevation.

Standard 5 – Spacing on the Street:

This standard is met. The proposed pool house is located on west side of the property, between the residence and Mayflower Road. The pool house is small and there is a significant distance between the pool house and the street, therefore, the perception of spacing of structures on the streetscape will not be impacted.

Standard 6 – Rhythm of Entrance Porches:

This standard is not applicable to the petition. The front entrance of the residence is not proposed to change.

Standard 7 – Relationship of Materials and Texture:

This standard is met. The materials proposed for the pool house match the residence. The exterior walls of the pool house are stucco and the roof will be cedar shingle. Wood windows, trim, fascia and soffits are proposed. The proposed pergola will be cedar.

Standard 8 – Roof Shapes:

This standard is met. The pool house will have a gable roof with an 8:12 pitch to match the gable roof forms on the residence.

Standard 9 – Walls of continuity:

This standard is met. The style, exterior materials and architectural detailing of the pool house and pergola are consistent with the residence presenting a cohesive appearance across the property.

Standard 10 - Scale:

This standard is met. The project as proposed complies with the square footage limitations. Based on the lot size a residence of up to 7,699 square feet is permitted on the site. In addition, design elements of up to 770 square feet and a garage of up to 800 square feet are permitted. The residence on the property is 3,240 square feet. The square footage of the proposed pool house is 195 square feet. The proposed pergola is 106 square feet and is considered a design element and is exempt from the total square footage calculation. In total, the existing residence with the proposed pool house is 55 percent under the maximum allowable square footage for the property.

Standard 11 – Directional Expression of Front Elevation:

This standard is not applicable to this petition. The directional expression of the front elevation of the residence is not proposed to change.

Standard 12 – Preservation of Historic Material:

This standard is not applicable to this petition. There are no changes proposed to the original residence.

Standard 13 – Preservation of natural resources:

This standard is met. Construction of the pool required removal of several trees. The proposed pool house and pergola will not require any additional tree removal.

The landscape plan submitted by the petitioner reflects a mix of new shade, evergreen and ornamental trees and understory plantings mostly along the north and west sides of the pool and pool house. The City Arborist reviewed the proposed landscape plan and supports the plantings as proposed. The required replacement inches for the trees removed to construct the pool are met.

On the west side of the property, between the street and the pool house there is dense vegetation that will remain and screen the proposed pool house.

Standard 14 – Compatibility:

This standard is met. The architectural style, materials, and scale of the pool house and pergola are compatible with the residence.

Standard 15 – Repair to deteriorated features:

This standard is not applicable to this petition.

Standard 16 – Surface cleaning:

This standard is not applicable to this petition.

Standard 17 – Integrity of historic property:

This standard is met. The integrity of the residence and property is not threatened by the proposed pool house and pergola. The pool house is designed in a manner that is compatible with the character of the property and the exterior materials are consistent with those on the residence and with materials used throughout the Historic District.

PUBLIC COMMENT

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners

and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, staff has not received any public comment on this petition.

RECOMMENDATION

Grant a Certificate of Appropriateness approving the proposed pool house and pergola and a building scale variance subject to the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission. If any modifications are proposed in response to Commission direction or as a result of design development, plans clearly detailing the areas of change must be submitted at the time of submission for permit, *along with* the plans originally presented to the Commission, and will be subject to review by staff, in consultation with the Chairman as appropriate, to verify that the plans are consistent with the intent of the Commission and the approvals granted.
2. Prior to the issuance of a building permit, a plan to protect trees and vegetation identified for preservation during construction must be submitted and will be subject to review and approval by the City's Certified Arborist.
3. Details of exterior lighting shall be included with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
4. Prior to the issuance of a building permit, a materials' staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the neighborhood, neighboring properties and existing trees and landscaping during construction.

THE CITY OF LAKE FOREST HISTORIC PRESERVATION COMMISSION -- BUILDING SCALE INFORMATION SHEET

Address 105 Mayflower Road Owner(s) Karl and Joan Gedge
 Architect Wells Wheeler, architect Reviewed by: Jen Baehr
 Date 8/23/2023
 Lot Area 103994 sq. ft. Table Land 64243 sq. ft. Non-Table Land 39701 sq. ft.

Square Footage of Existing Residence:

1st floor 2636 + 2nd floor 523 + 3rd floor 81 = 3240 sq. ft.

Design Element Allowance = 770 sq. ft.

Total Existing Design Elements = 184 sq. ft. Excess = 0 sq. ft.

Garage 572 sf actual ; 800 sf allowance (garage to be converted to living space) = 0 sq. ft.

Garage Width 22 ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Existing Residence: = 3240 sq. ft.

Square Footage of Proposed Additions:

1st floor 195 + 2nd floor 0 + 3rd floor 0 = 195 sq. ft.

New Garage Area 0 sq. ft. Excess = 0 sq. ft.

New Design Elements 106 sq. ft. Excess = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 3435 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 7699 sq. ft.

DIFFERENTIAL = 4264 sq. ft.

NET RESULT:
Under Maximum

4264 sq. ft. is

55% under the
Max. allowed

Allowable Height: 40 ft. Actual Height 37'-9" (existing residence) 13'-0" (pool house)

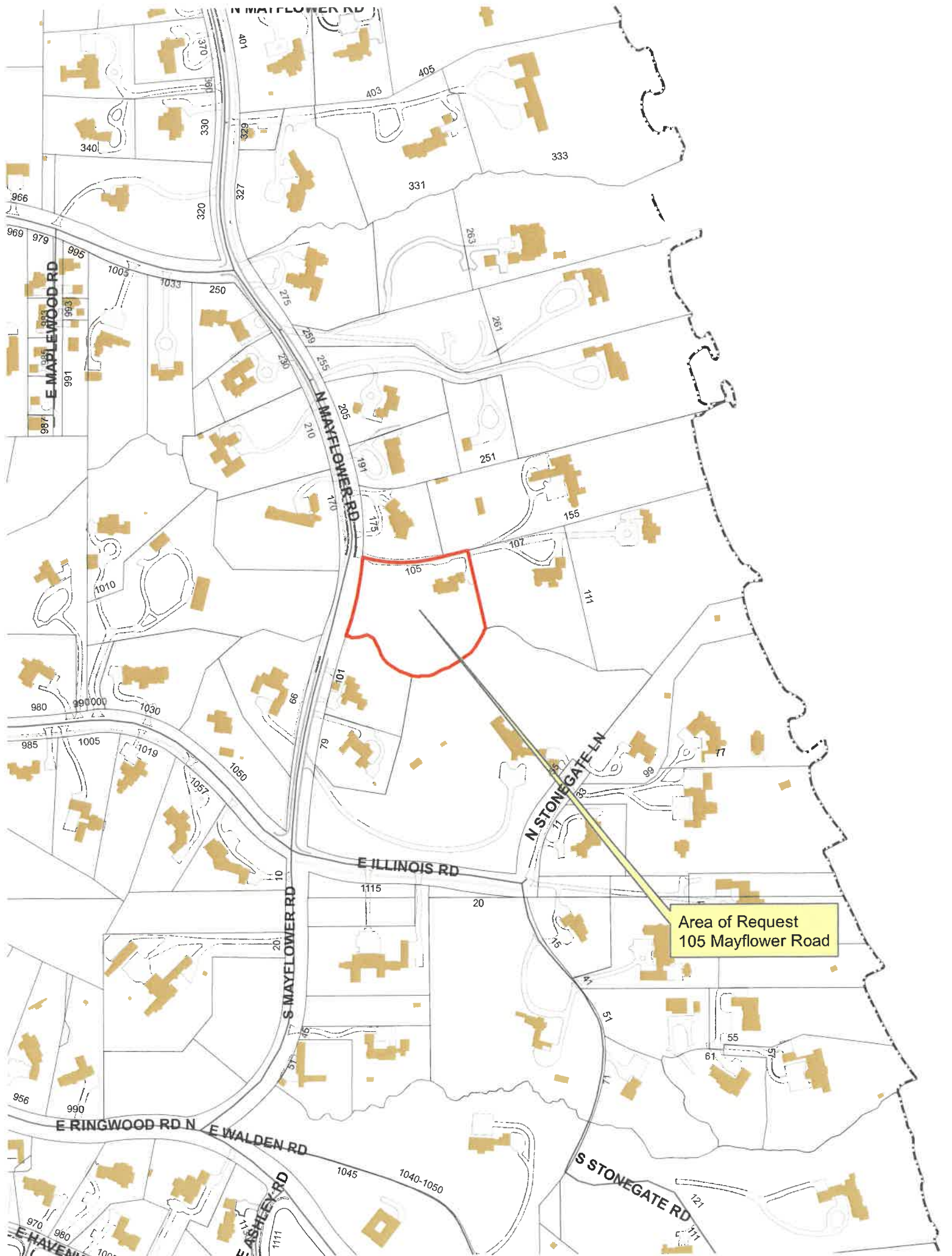
DESIGN ELEMENT EXEMPTIONS (Existing & Proposed)

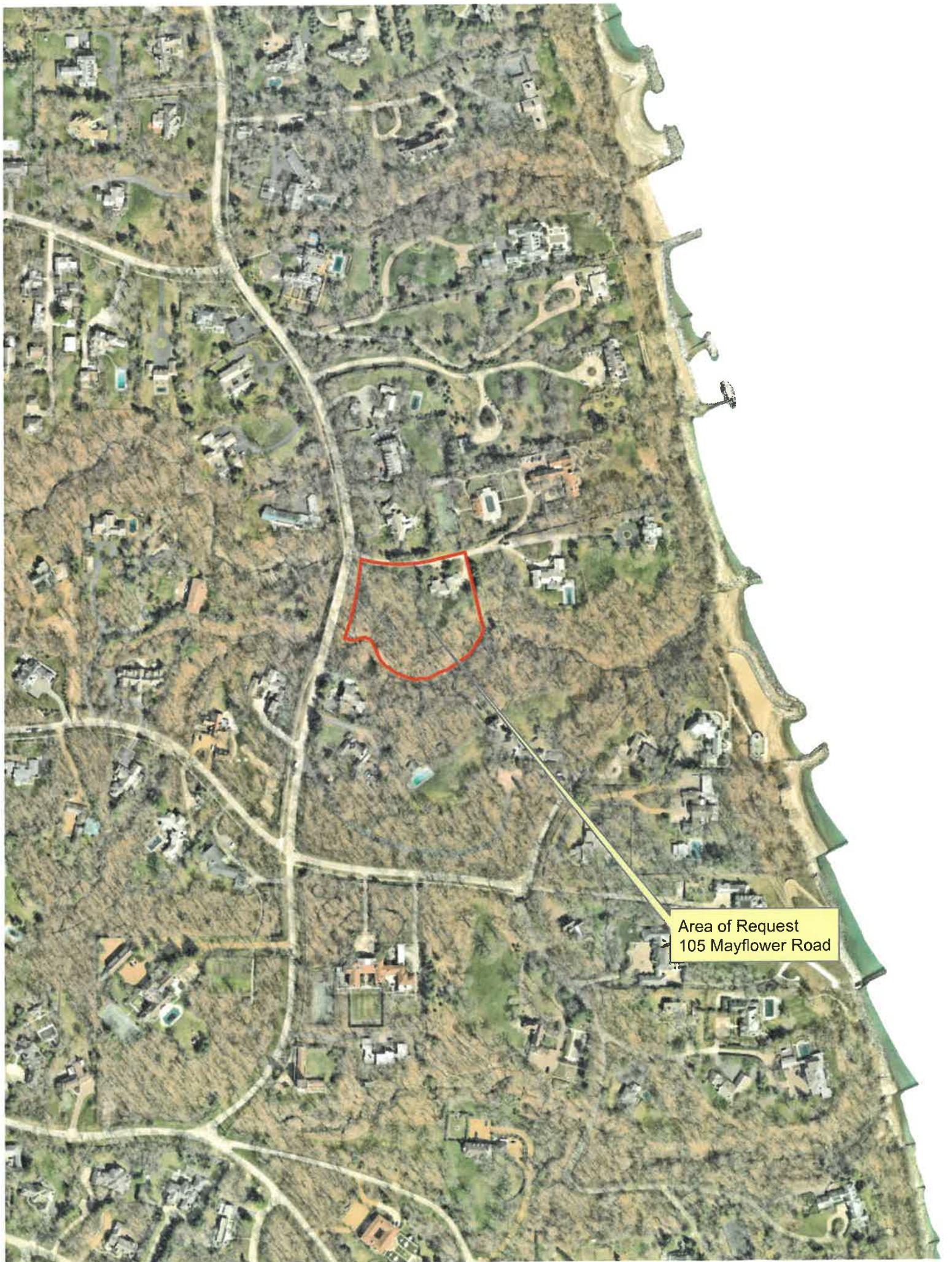
Design Element Allowance: 770 sq. ft.

Front & Side Porches = 0 sq. ft.
 Rear & Side Screen Porches = 0 sq. ft.
 Covered Entries = 0 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = 256 sq. ft.
 Individual Dormers = 0 sq. ft.
 Bay Windows = 34 sq. ft.

Total Actual Design Elements = 290 sq. ft.

Excess Design Elements = 0 sq. ft.





Area of Request
105 Mayflower Road



Area of Request
105 Mayflower Road



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS

PROJECT ADDRESS 105 N. MAYFLOWER RD.

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- ☒ East Lake Forest District ☐ Green Bay Road District ☐ Vine/Oakwood/Green Bay Road District
☐ Local Landmark Property or District ☐ Other

PROPERTY OWNER INFORMATION

KARL & JEAN GEDGE
Owner of Property

105 N. MAYFLOWER RD
Owner's Street Address (may be different from project address)

LAKE FOREST IL 60045
City, State and Zip Code

847 275 7699
Phone Number Fax Number

KGEDGE @ GMAIL .COM
Email Address

Karl Gedge
Owner's Signature

ARCHITECT/BUILDER INFORMATION

WELLS WHEELER
Name and Title of Person Presenting Project

WELLS WHEELER ARCHITECT
Name of Firm

1100 N. WACKESAN RD.
Street Address

LAKE FOREST IL 60045
City, State and Zip Code

847 804 0487
Phone Number Fax Number

WINARCH @ SBCGLOBAL.NET
Email Address

Wells P. Wheeler
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

☐ OWNER ☐ REPRESENTATIVE



Wells P. Wheeler
□ Architect □
1100 North Waukegan Road
Lake Forest, Illinois 60045
847 604 8819 847 804 0487
wwarch@sbcglobal.net

July 25, 2023

Historic Preservation Commission
Lake Forest, IL 60045

Project: Pool House Addition

STATEMENT OF INTENT

The Owners of the property at 105 N. Mayflower Road, Mr. & Mrs. Karl Gedge, have contracted with Boilini Pools and with Manfredini Landscaping to build a swimming pool on the west portion of the property. This construction has been reviewed by the City of Lake Forest and is currently underway. I have been hired to provide design and construction documents for a pool house.

The purpose of the pool house will be to protect the pool equipment and provide space for storage of pool accessories, pool toys for the grandchildren, and space for a changing room. The design intent is to provide as little enclosed space as possible and to provide a building that derives all of its characteristics and details from the principal residence, designed by Ike Coburn in 1979.

The Gedge Residence was originally designed for the Kneibler Family in a vaguely Mediterranean style characterized by the stucco exterior, stylized window treatments with timber lintels, large roof overhangs, warm tone color palette, and a dominant orientation to the south for solar gain in the winter.

Our solution for the pool house is to borrow all pertinent exterior elements, which include the cedar shingles, exposed rafter tails, stucco exterior, and window/door lintels. We are providing a transitional zone between the pool and the pool house with a pergola and seating area. The desire is to encourage clematis vines to cover the cedar frame to provide additional shading and a floral embellishment.

Respectfully submitted,

Wells P. Wheeler, ALA
Architect

HISTORIC PRESERVATION COMMISSION APPLICATION INFORMATION**HISTORIC PRESERVATION ORDINANCE STANDARDS**

For Review of Replacement Structures, New Construction, Additions and Alterations
(summary from Ordinance)

Standard 1 Height. Height shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related. *The height of the Pool House ridge will be the lower than any existing ridge on the property.*

Standard 2 Proportion of Front Façade. The relationship of the width to the height of the front elevation shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related. *The new structure will be similarly shaped and visually compatible.*

Standard 3 Proportion of Openings. The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects, and places to which the building is visibly related. *The new openings are sized to be compatible with the new pool house and the existing residence.*

Standard 4 Rhythm of Solids to Voids in Front Façade. The relationship of solids to voids in the front façade of a structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related. *The relationship is similar to that of the main house.*

Standard 5 Rhythm of Spacing and Structures on Streets. The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related. *The pool house provides a suitable and compatible termination at the west end of the pool. It may not even be visible in warm weather summer months.*

Standard 6 Rhythm of Entrance Porches, Storefront Recesses, and other Projections. The relationship of entrances and other projections to sidewalks shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related. *As mentioned above, the pergola serves as a transition between the pool and the shelter. The design is a more detailed extrapolation of an existing sun buster on the east side of the house.*

Standard 7 Relationship of Materials and Texture. The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials used in the structures to which it is visually related. *The materials will be the same.*

Standard 8 Roof Shapes. The roof shape of a structure shall be visually compatible with the structures to which it is visually related. *The roof shape and pitch will be the same as the closest element on the principal residence.*

Standard 9 Walls of Continuity. Facades and property and site structures, such as masonry walls, fences, and landscape masses, shall, when it is characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects, and places which such elements are visually related. *There will be a minimal fence enclosing the pool yard, but, as mentioned, visibility will be limited.*

Standard 10 Scale of a Structure. The size and mass of structures in relation to open spaces, windows, door openings, porches, adjacent structures, and balconies shall be visually compatible with the properties, structures, and balconies shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related. **The proposed structure is essentially a simplified mini-version of the main house. It will be visually compatible.**

Standard 11 Directional Expression of Front Elevation. A structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related in its directional character, whether this be vertical, horizontal or non-directional character. **The pool house will be on axis with the pool and this will reinforce the front expression. The ridge of the pool house is also in alignment with the closest gabled element of the house.**

Standard 12 Preserving Distinguishing Features. The distinguishing original qualities or character of a property, structure, site, or object and its environment shall not be destroyed or adversely affected in a material way. The alteration of any historic material or distinctive architectural features should be avoided when possible. **No architectural features on the main house will be affected.**

Standard 13 Protection of Resources. Every reasonable effort shall be made to protect and preserve archeological and natural resources affected by, or adjacent to any project. **Measures will be taken to protect and/or restore all natural features.**

Standard 14 New Construction. In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for compatibility. **The pool house will be compatible.**

Standard 15 Repair to Deteriorated Features. Deteriorated architectural features shall be repaired rather than replaced, wherever possible, in accordance with the Secretary of the Interior Standards for Treatment of Historic Properties. Repair or replacement should be based on accurate duplications of features and should match the material being replaced in composition, design, color, texture and other visual qualities. **Does not apply to this project.**

Standard 16 Surface Cleaning. The surface cleaning of historic material and distinctive architectural features shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the significant materials shall not be undertaken. **Does not apply to this project.**

Standard 17 Reversibility of Additions and Alterations. Whenever possible, additions or alterations to historic properties shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would not be impaired. **The pool house is a separate element, and it will be possible to remove it without affecting the original structure.**



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- ☐ Stone
- ☐ Brick
- ☐ Wood Clapboard Siding
- ☐ Wood Shingle
- ☒ Cementitious Stucco
- ☐ Other _____

Color and/or Type of Material BLP

Foundation Material

Exposed Foundation Material CONCRETE

Window Treatment

Primary Window Type

- ☐ Double Hung
- ☒ Casement
- ☐ Sliding
- ☐ Other _____

Color of Finish SEPIA

Finish and Color of Windows

- ☒ Wood (recommended)
- ☐ Aluminum Clad
- ☐ Vinyl Clad
- ☐ Other _____

Window Muntins

- ☒ Not Provided
- ☐ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars (recommended)
- ☐ Interior muntin bars only
- ☐ Exterior muntin bars only
- ☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
- ☐ Brick
- ☒ Wood
- ☐ Other _____

Window Trim

- ☐ Limestone
- ☐ Brick
- ☒ Wood
- ☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
- ☐ Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material N/A

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☒ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☒ Copper
- ☐ Other _____
- ☐ Sheet Metal

Color of Material _____

Gutters and Downspouts N/A

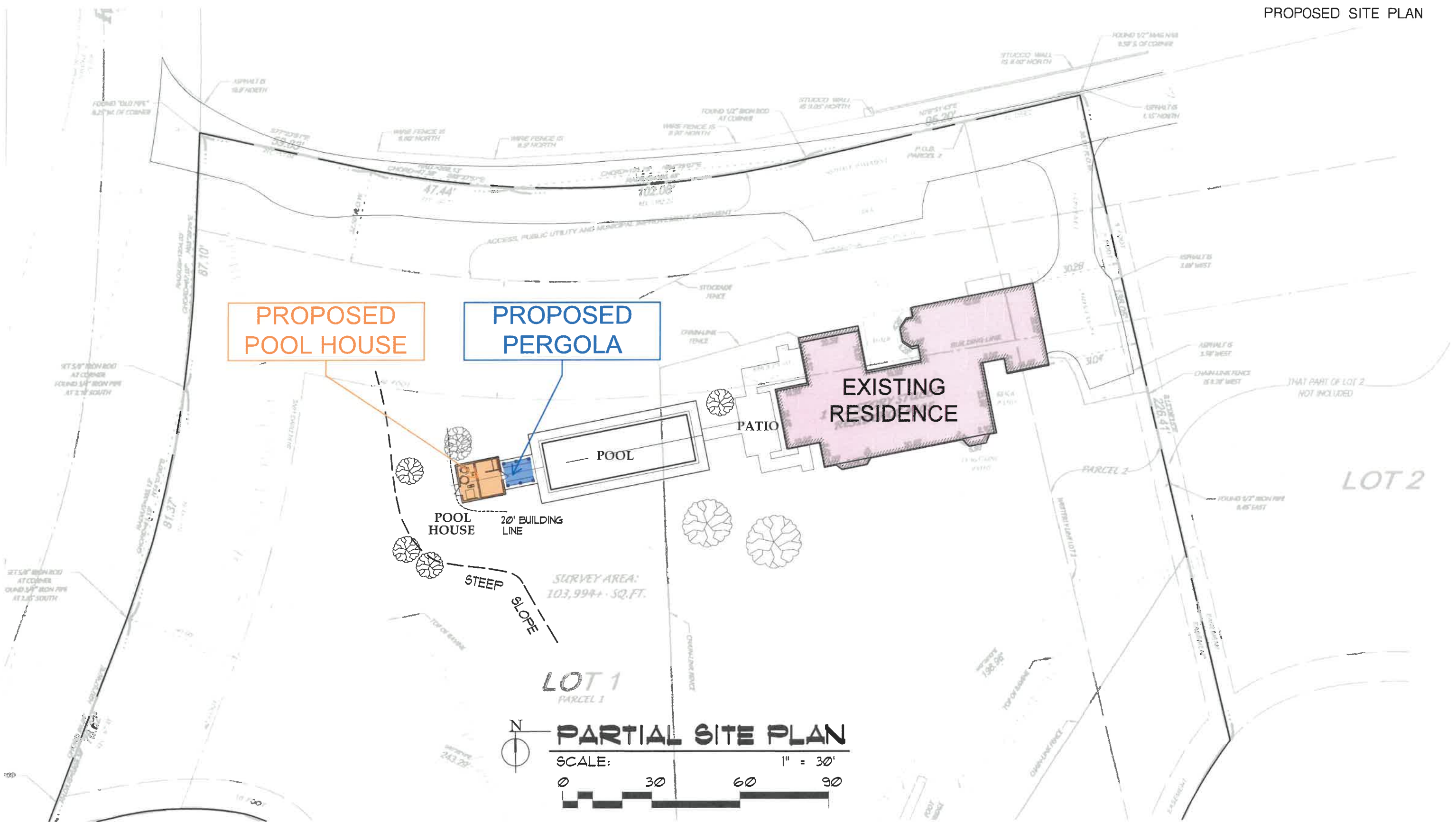
- ☐ Copper
- ☐ Aluminum
- ☐ Other _____

Driveway Material N/A

- ☐ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☒ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____



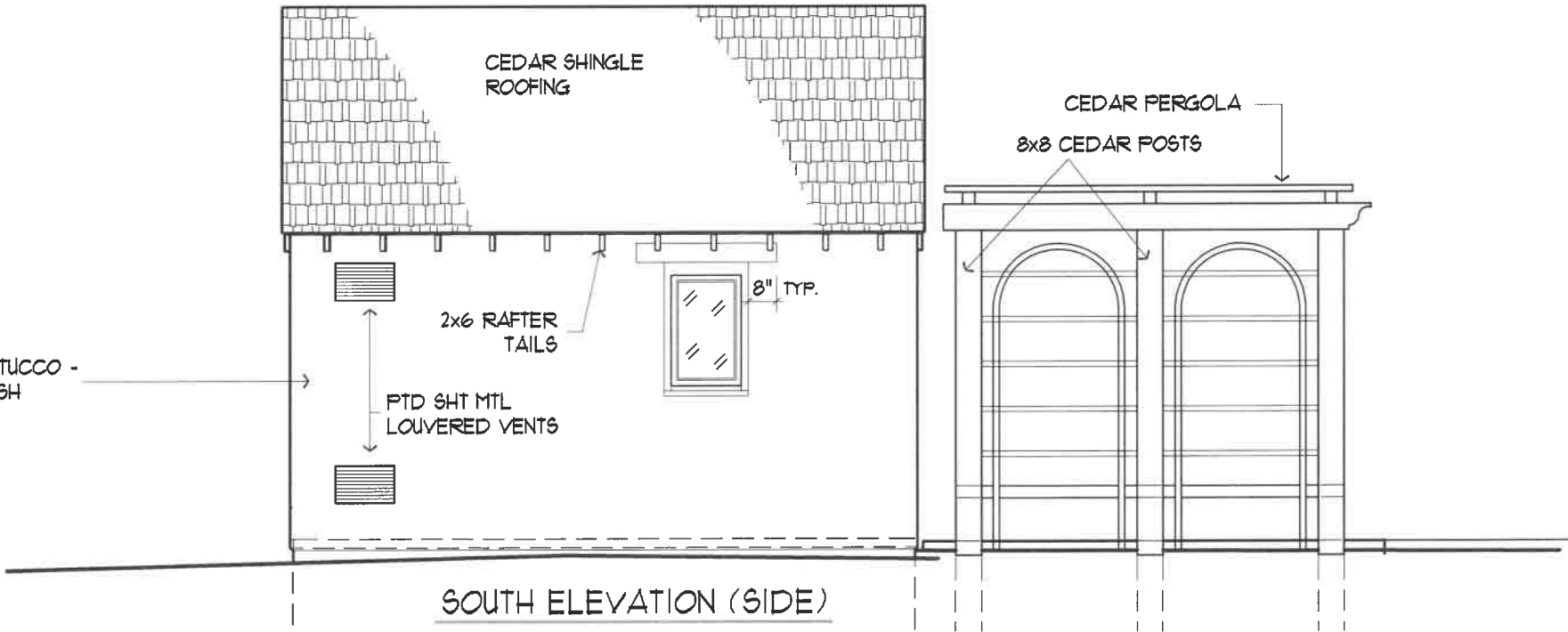
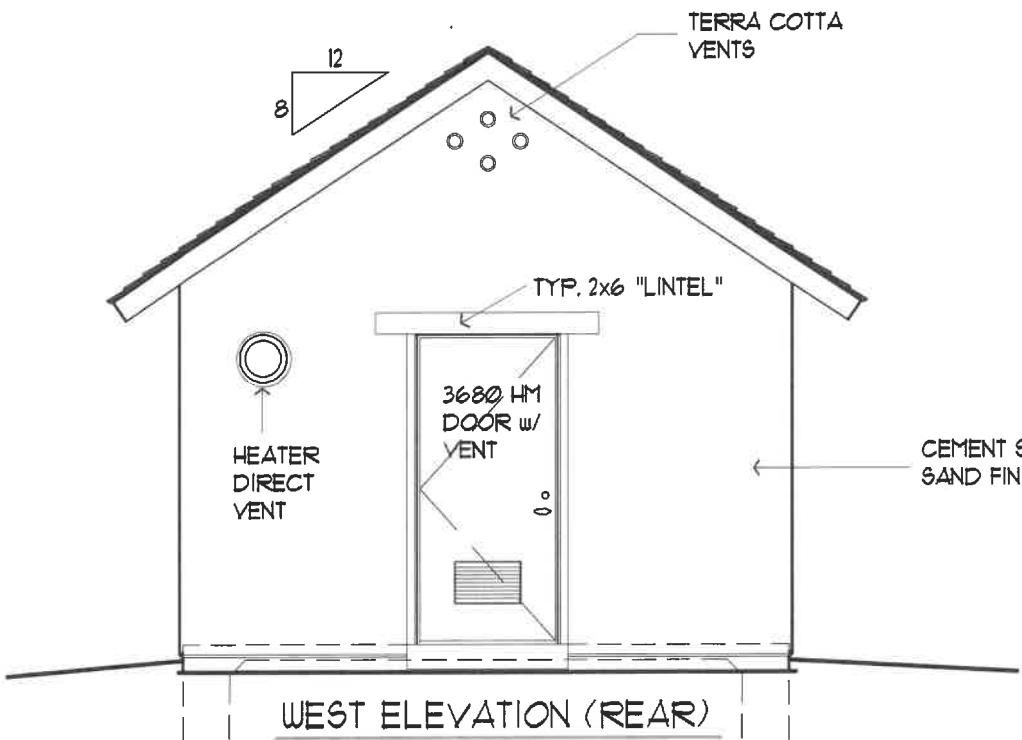
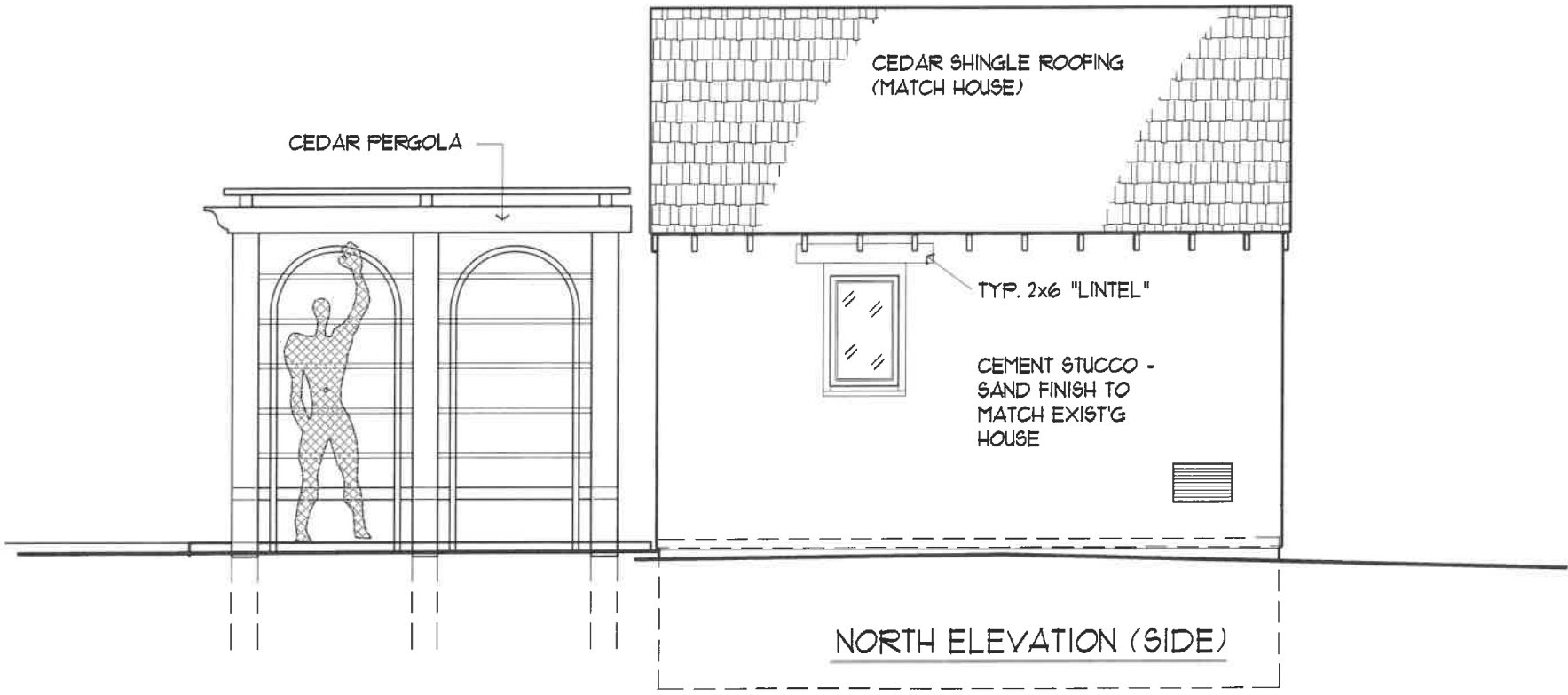
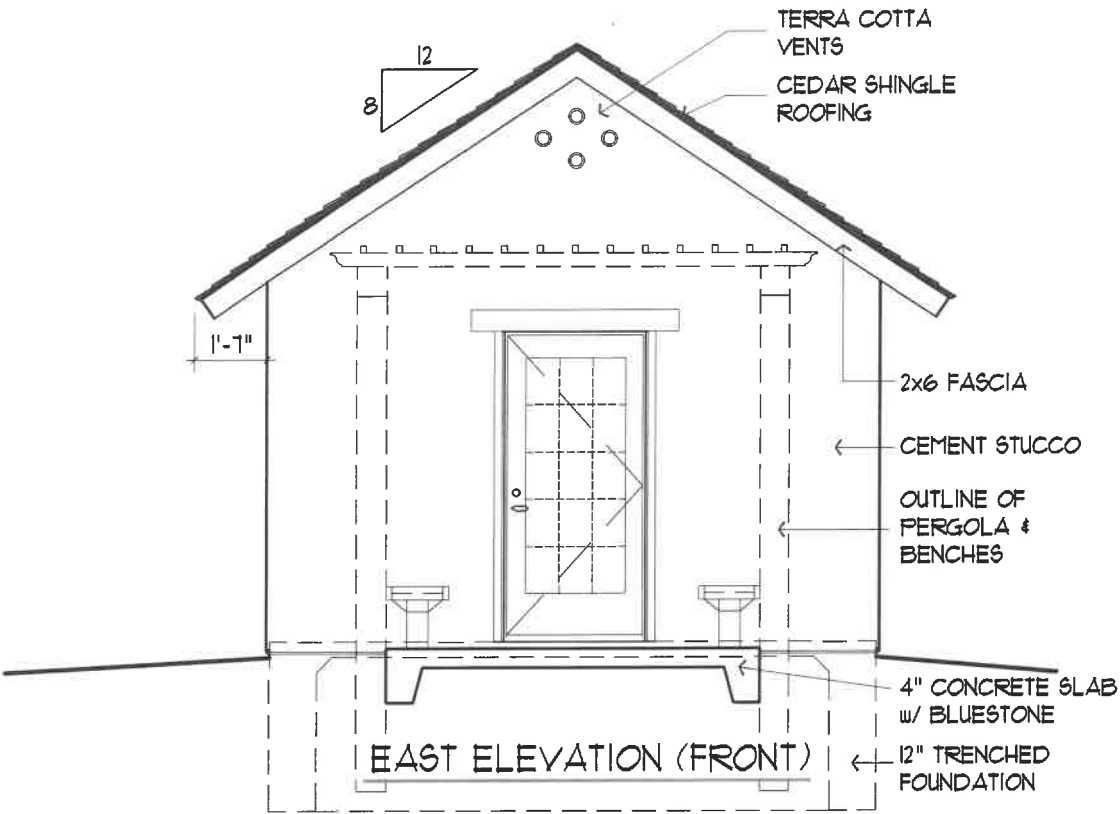
GEDGE POOL HOUSE
105 N. MAYFLOWER RD.
LAKE FOREST 60045 ILLINOIS

JOB No. : 23041
JULY 18, 2023

Wells P. Wheeler
Architect
ALA



1100 North Waukegan Road
Lake Forest Illinois 60045
wwarch@sbcglobal.net
Tel: 847 604 8819 Tel: 847 804 0487



POOL HOUSE ELEVATIONS @ 1/4" = 1'-0"

GEDGE POOL HOUSE
105 N. MAYFLOWER RD.
LAKE FOREST 60045 ILLINOIS

JOB No. : 23041

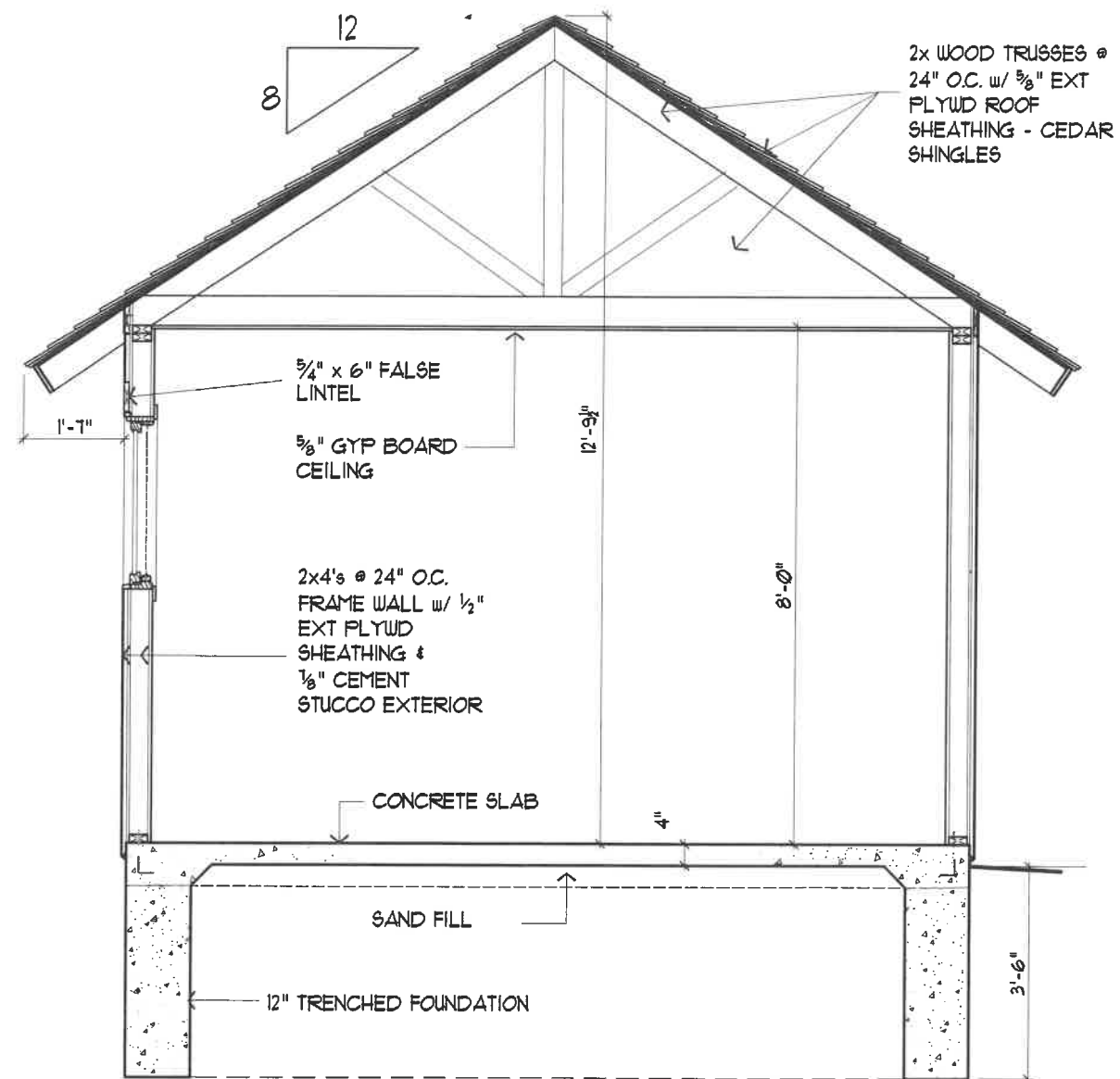
JULY 25, 2023

Wells P. Wheeler
Architect
ALA



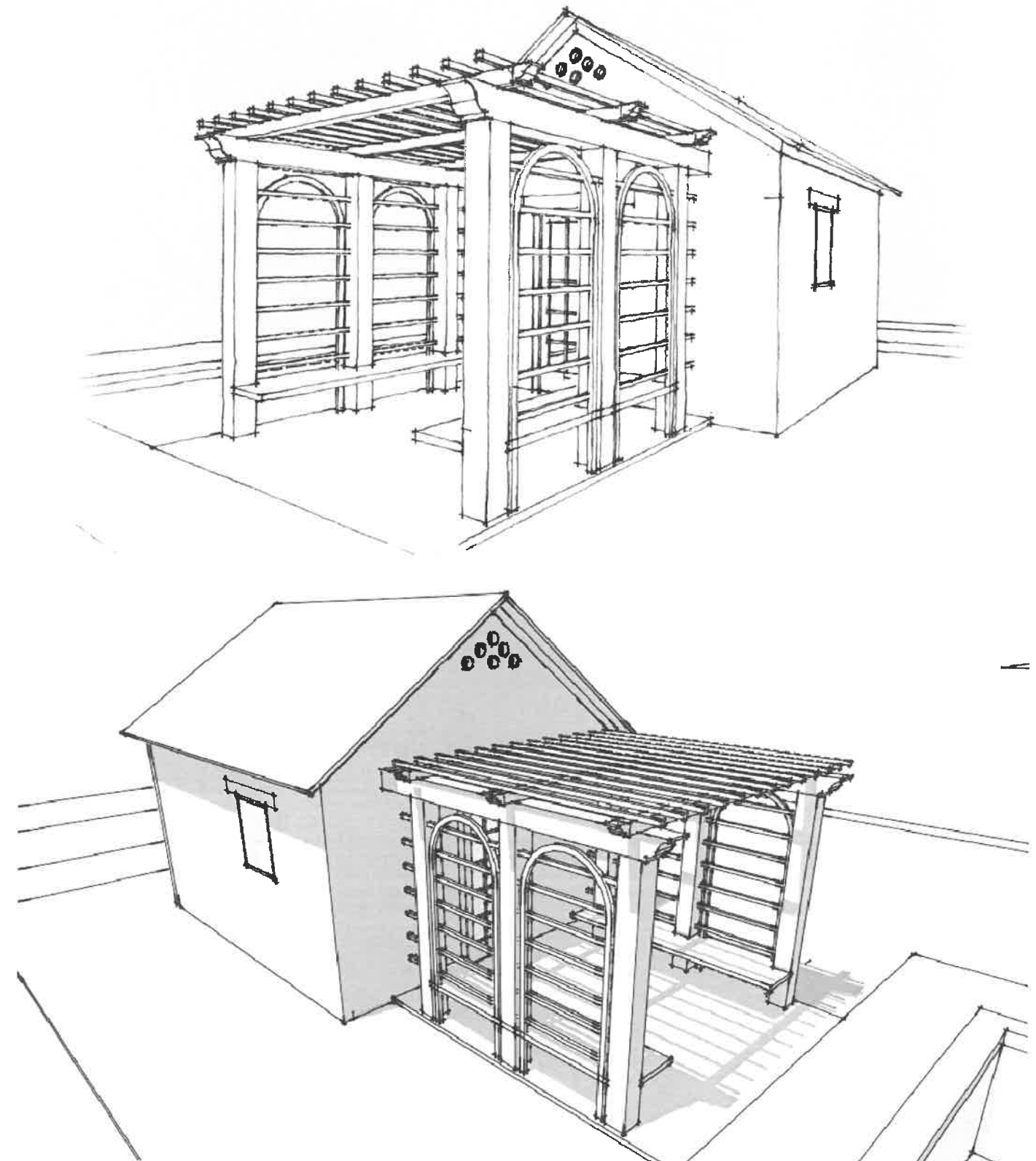
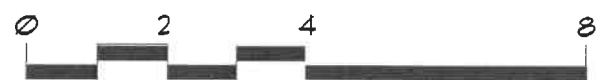
1100 North Waukegan Road
Lake Forest Illinois 60045
wwarch@sbcglobal.net
Tel: 847 604 8819 Tel: 847 804 0487

PAGE **REVISED**
SK-14



POOL HOUSE SECTION

SCALE: 3/8" = 1'-0"



PERSPECTIVE SKETCHES

GEDGE POOL HOUSE
105 N. MAYFLOWER RD.
LAKE FOREST 60045 ILLINOIS

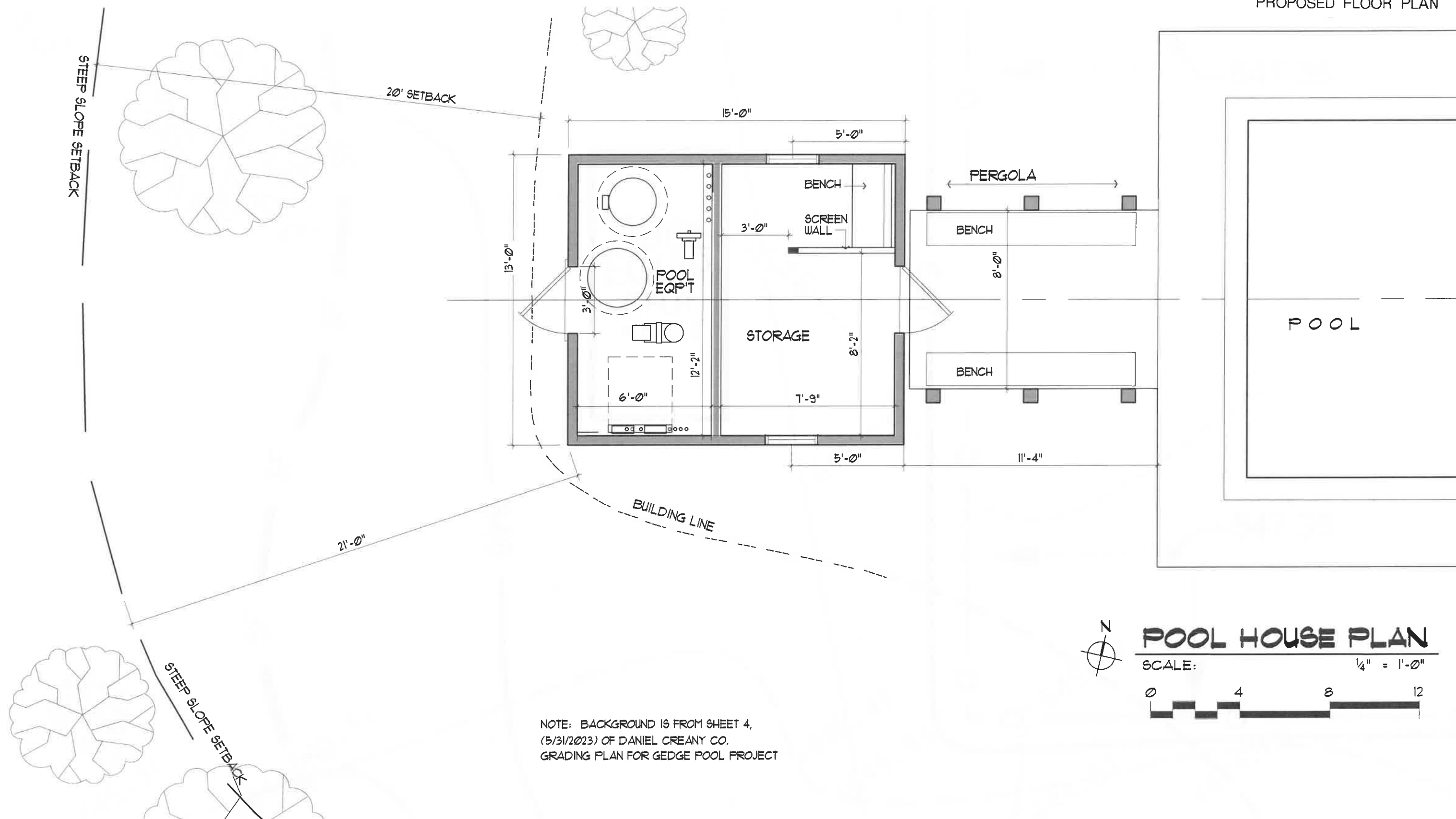
JOB NO. : 23041
JULY 25, 2023

Wells P. Wheeler
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ALA



1100 North Waukegan Road
Lake Forest Illinois 60045
wwarch@sbcglobal.net
Tel: 847 604 8819 Tel: 847 804 0487

PAGE
SK-15



POOL HOUSE PLAN

SCALE: 1/4" = 1'-0"



GEDGE POOL HOUSE
105 N. MAYFLOWER RD.
LAKE FOREST 60045 ILLINOIS

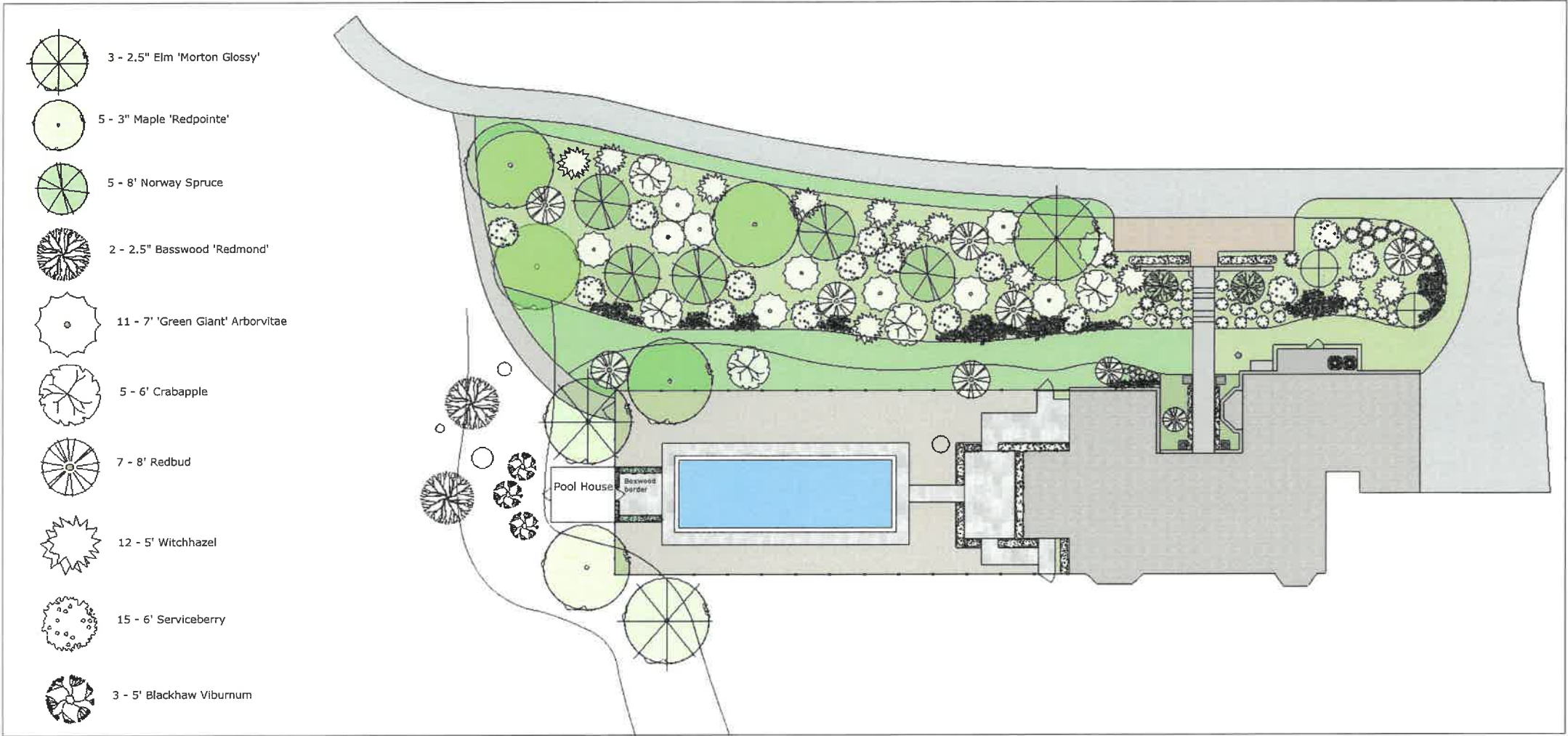
JOB No. : 23041
JULY 25, 2023

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Architect
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PAGE REVISED
SK-09





GEDGE RESIDENCE PHOTOS

GEDGE POOL HOUSE
105 N. MAYFLOWER RD.
LAKE FOREST 60045 ILLINOIS

JOB No. : 23041
JULY 25, 2023

Wells P. Wheeler
Architect
ALA



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Agenda Item 6
333 Woodland Road
Roof Replacement with Synthetic Material

Staff Report
Vicinity Map
Air Photo

Materials Submitted by Petitioner

Application

Statement of Intent

Images of Existing Residence

Proposed Synthetic Material Specifications

Images of Existing Roof and Proposed Synthetic Material

Proposed Synthetic Material Information – Mountain Color

Proposed Synthetic Material Information – Black Oak Color

Historic Homes with Synthetic Roofing from Manufacturer Website

Images of Homes with Synthetic Roofing

List of Homes in Lake Forest with Synthetic Roofing

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grinnell and members of the Historic Preservation Commission
DATE:	August 23, 2023
FROM:	Catherine Czerniak, Director of Community Development Jennifer Baehr, Planner
SUBJECT:	333 Woodland Road – Proposed Roof Replacement with Non-Historic Synthetic Material

Petitioners

Mary Therese and Greg Williams
333 Woodland Road
Lake Forest, IL 60045

Property Location

333 Woodland Road

Historic Districts

East Lake Forest Local &
National Register Historic District

Project Representative

Mary Therese Williams, property owner

Summary of the Petition

The petitioners are requesting a Certificate of Appropriateness to allow replacement of the existing cedar shingle roof on a Contributing Structure in the Historic District with a synthetic material.

Background

The Historic Preservation Commission was established in 1998 for the purpose of preserving, protecting, and enhancing properties and structures having historical value to the community and for other purposes as detailed in Chapter 155 of the City Code. The Commission focuses on preserving the integrity of the City's Historic Districts and Local Landmarks by evaluating petitions that come before it against the 17 Standards set forth in Chapter 155 of the City Code. The City also evaluates petitions for consistency with the Residential Design Guidelines which are incorporated into the Code by reference.

To preserve the historic integrity of the community, the Commission has consistently determined that the use of natural, historic, and traditional exterior materials is necessary to satisfy the 17 Standards. However, recognizing that exterior materials and construction methods evolve over time, the Commission, on an ongoing basis, considers information about and examines samples of new materials and methods and evaluates them against the 17 Standards to determine whether as a result of improvements and developments over time in composition, character, texture, and visual quality, the non-historic materials/methods rise to the level of satisfying the 17 Standards. Specifically, in response to the present request, the Commission has conducted recent due diligence around synthetic roof products and has expressed an interest in continuing to investigate options for roof products that may satisfy the applicable standards as these products evolve over time.

On June 21, 2023, the Commission held a publicly noticed workshop as part of recent due diligence on new materials and methods. A panel of six architects participated in the workshop and offered opinions on synthetic exterior materials including specifically on currently available synthetic roof

products. The architects advised that the synthetic roof products currently available are not visually compatible with historic structures or appropriate for use in historic districts due to appearance, finish, texture, profile, installation requirements such as ridge and end caps, and because they attempt to imitate the natural and traditional roof products unsuccessfully. Some of the architects acknowledged that they have used synthetic roof products outside of historic districts, others took a strong stance that they do not intend to use the synthetic roof products as currently available.

Understanding the continuing interest on the part of some in the synthetic roof product, the Commission has committed to continued study and monitoring of the evolving products. The Commission has directed staff to continue to conduct research and the Commission is scheduled to have a follow up workshop which will involve a bus tour throughout the community to observe installations of various roof products both in the Historic District and outside of the District to continue to consider compatibility and visual appearance in the context of the structures themselves and the surrounding neighborhood and larger Historic District if applicable.

Commission Consideration to Date on this Petition

The Commission considered this petition at the June 28, 2023, meeting. At the meeting, the Commission raised various concerns and questions about the proposed synthetic roof product and its use in the Historic District. The Commission ultimately voted to continue consideration of the petition concluding that based on the information available, and the questions raised, findings could not yet be made on whether or not the petition satisfied the applicable Standards.

The following points highlight some of the questions and concerns that were raised by the Commission about the proposed use of the synthetic roof material on a Contributing Structure located in the Historic District, its visual qualities and compatibility.

- How is the installation of synthetic roof shingles different from or similar to the installation of natural and traditional roof materials and how does the required installation change the visual character of the roof?
 - When are the ridge and end caps needed for synthetic roofing?
 - How does the use of ridge and end caps affect the overall appearance of the roof?
- Are the ridge and caps used on synthetic installations consistent with the historic form, proportions, and aesthetics of a natural product, an historic or traditional roof?
- How does the synthetic shingle visually compare to natural and traditional roofing materials historically used in the Historic District?
 - What are the specific visual differences or similarities?
- Does the synthetic product attempt to imitate a natural, historic, or traditional product or does it stand on its own as a “new” material, with distinct characteristics?
- Is the thickness of synthetic roofing visually compatible with natural and traditional materials?
- Is the synthetic product visually compatible and compatible in character with natural, historic, and traditional materials used elsewhere on the structure?
- Is the texture of the synthetic roof product visually compatible with natural and traditional materials?
- Is there variation and randomness to the proposed synthetic product or does the product have a distinguishable production-type appearance?

- Does the synthetic roofing material age over time or patina consistent with historically used materials? Does it fade or change color over time? Does the finish/sheen wear off or become more pronounced?
- What is the visual relationship between how synthetic materials would appear over time in comparison to how other elements of the historic structure patina overtime?
- Does the synthetic product call attention to itself and detract from the overall historic integrity of the structure, nearby historic structures and the overall Historic District?

Since the June meeting, the Chairman of the Commission and staff met with the petitioner to review the concerns raised and clarified that the use of cedar shingles or asphalt shingles are permitted as replacement roof materials given the previous use of both on the residence and the fact that both materials are traditionally and commonly found throughout the Historic District.

DESCRIPTION OF PROPERTY AND SURROUNDING AREA

The property is located on the south side of Woodland Road, just east of the point where Edgewood Road intersects Woodland Road. This property represents a transition between the smaller and narrower lots to the west and the more expansive lots to the east. This property has a strong streetscape presence in the Historic District and the residence, in particular, the front elevation and expansive roof, are highly visible and prominent.

Historically, the residence is known as the V. P. Straw House. The residence was constructed in 1928 in the Colonial Revival style on Lot 1 of the C.H. Lawrence Subdivision. The residence is identified as a Contributing Structure to the Historic District not only because of its age, but also due to the high quality of the overall design, the materials used in construction, and the level of craftsmanship.

- The residence underwent significant repairs and restoration of both the interior and exterior after a fire in 1959.
- In 1964, a permit was issued to re-roof the house with asphalt shingles. Based on the fact that the permit did not specify a change in roofing material, the pre-existing roof material at that time was asphalt. Historically, asphalt shingles were used on many homes in the Historic District and continue to be used today. Asphalt shingles are a traditional material that exists throughout the Historic District in the area surrounding this home.
- In 2000, a previous owner added low stone walls to the front of the house and re-landscaped the grounds removing several large trees from the northeast corner of the lot.
- In June 2001, a permit was issued to replace the asphalt roof with a cedar shingle roof, the roof proposed for replacement in this petition. Cedar shingles are also a traditional material that exists throughout the Historic District and in the area surrounding this home.

STAFF EVALUATION

In considering applications for a Certificate of Appropriateness, the Commission is charged with applying the 17 Standards in the Historic Preservation chapter of the City Code. In the case of this petition, only a limited number of the Commission's standards apply. The applicable standards are highlighted below.

Findings

A staff review of the Historic Preservation standards in the City Code is provided below. As appropriate, findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height

This standard is not applicable to the petition. No changes are proposed to the height of the house.

Standard 2 – Proportion of Front Façade

This standard is not applicable to the petition. No changes are proposed to the proportions of the front façade.

Standard 3 – Proportion of Openings

This standard is not applicable to the petition. No changes are proposed to the proportions of the openings.

Standard 4 Rhythm of Solids to Voids

This standard is not applicable to the petition. No changes are proposed to the rhythm of solids to voids.

Standard 5 – Spacing on the Street

This standard is not applicable to the petition. No changes are proposed to the size or mass of the home, there is no change to the spacing of structures on the streetscape.

Standard 6 – Rhythm of Entrance Porches

This standard is not applicable to the petition. No changes are proposed to the entrance to the home.

Standard 7 – Relationship of Materials and Texture - The relationship of the materials and texture of the facade shall be visually compatible with the predominant materials used in the structures to which it is visually related.

This standard is not met. Based on available information, the proposed synthetic product will stand out as visually different from the exterior materials on the residence and on other structures in the Historic District. The visual qualities of the proposed synthetic product including the texture, finish(sheen), thickness, and lack of randomness and variation differ from the characteristics of natural, historic, and traditionally used exterior products such as asphalt and cedar. The synthetic material attempts to imitate the appearance of natural wood with an overly textured wood grain appearance.

Standard 8 – Roof Shapes.

This standard is not applicable to the petition. No changes are proposed to the roof shapes of the home.

Standard 9 – Walls of continuity – Facades, sites, and structures shall, when it is characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects and places to which such elements are visually related.

This standard is not met. The proposed synthetic roof product will visually stand out and be distinguishable as a manufactured product along the streetscape, in the Historic District, and in comparison to other structures to which it is visually related. The visual characteristics of the

synthetic material differ in texture, profile, thickness, finish (sheen), and randomness from exterior materials traditionally found throughout the Historic District such as asphalt and cedar. There is no evidence as to how the proposed synthetic material will age and whether it will, on an ongoing basis, appear “new” creating an incompatible relationship with traditional materials used on visually related properties, which age and patina over time.

Standard 10 – Scale.

This standard is not applicable to the petition. No changes are proposed to the size or height of the home.

Standard 11 – Directional Expression of Front Elevation

This standard is not applicable to the petition. No changes are proposed to the directional expression of the front elevation.

Standard 12 – Preservation of Historic Material - The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed or adversely affected in a material way. The alteration of any historic material or distinctive architectural features should be avoided when possible.

This standard is not met. As noted above, in 1964, an asphalt shingle roof was installed on the residence. Based on permit records, the asphalt roofing was installed to replace an existing asphalt shingle roof. Based on City records, the residence likely originally had an asphalt roof similar to other homes in the immediate neighborhood and within the Historic District. Asphalt shingles were historically used on many homes in the City’s historic districts and is considered a traditional material, appropriate for homes in the Historic District due to consistent use through the decades.

Based on City records, in 2001, a cedar shingle roof was installed to replace the asphalt shingle roof that was on the home at that time. Cedar shingles, like asphalt shingles are traditional roof products and are both found throughout the Historic District in the area surrounding this home.

The roof is a distinguishing quality of the residence, very prominent from the streetscape. The proposed use of a synthetic roof product will adversely impact the historic integrity of the residence by altering a distinguishing feature of the residence. Applying a non-historic, non-traditional product to the roof will create inconsistency and incompatibility with the existing historic and traditional materials on the residence. Both asphalt and cedar shingles were historically used on the residence and on nearby structures in the Historic District.

Standard 13 – Preservation of natural resources

This standard is not applicable to this petition. No tree or vegetation removal is proposed as part of this request.

Standard 14 – Compatibility of New Construction - In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for consistency with the chosen style.

This standard is not met. In considering new construction, in this case, the installation of new materials, the Commission considers the architectural style of the home. As noted above this home previously had asphalt shingle roofing and currently has a cedar shingle roof, both of which are traditional roof materials for this architectural style. There are many examples of Colonial Revival

style homes in the Historic District with both asphalt and cedar shingle roofs. The visual characteristics and qualities of the proposed synthetic roof product are not compatible with the historic residence and the surrounding Historic District.

Standard 15 – Repair to deteriorated features - Deteriorated architectural features shall be repaired rather than replaced, wherever possible, in accordance with the Secretary of the Interior’s Standards for the Treatment of Historic Properties. In the event replacement is necessary, the new material need not be identical to but should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

This standard is not met. The proposed synthetic roof product attempts to imitate natural wood shingle but there are significant visual differences between natural wood shingle and the synthetic product including texture, uniformity, rigidity, thickness, profile, detailing (end and ridge caps), and finish (sheen). The proposed synthetic material is not consistent in visual character and does not match the material being replaced on the historic residence.

Standard 16 – Surface cleaning.

This standard is not applicable to this request. Cleaning of the existing cedar roof shingles, which, according to City records were installed in 2001 is not proposed or appropriate due to the deteriorating condition of the shingles. Lack of regular maintenance by prior owners of the property may in part have contributed to the current condition of the cedar shingles.

Standard 17 – Reversibility of additions and alterations - Wherever possible, additions or alterations to historic properties shall be done in such manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would not be impaired.

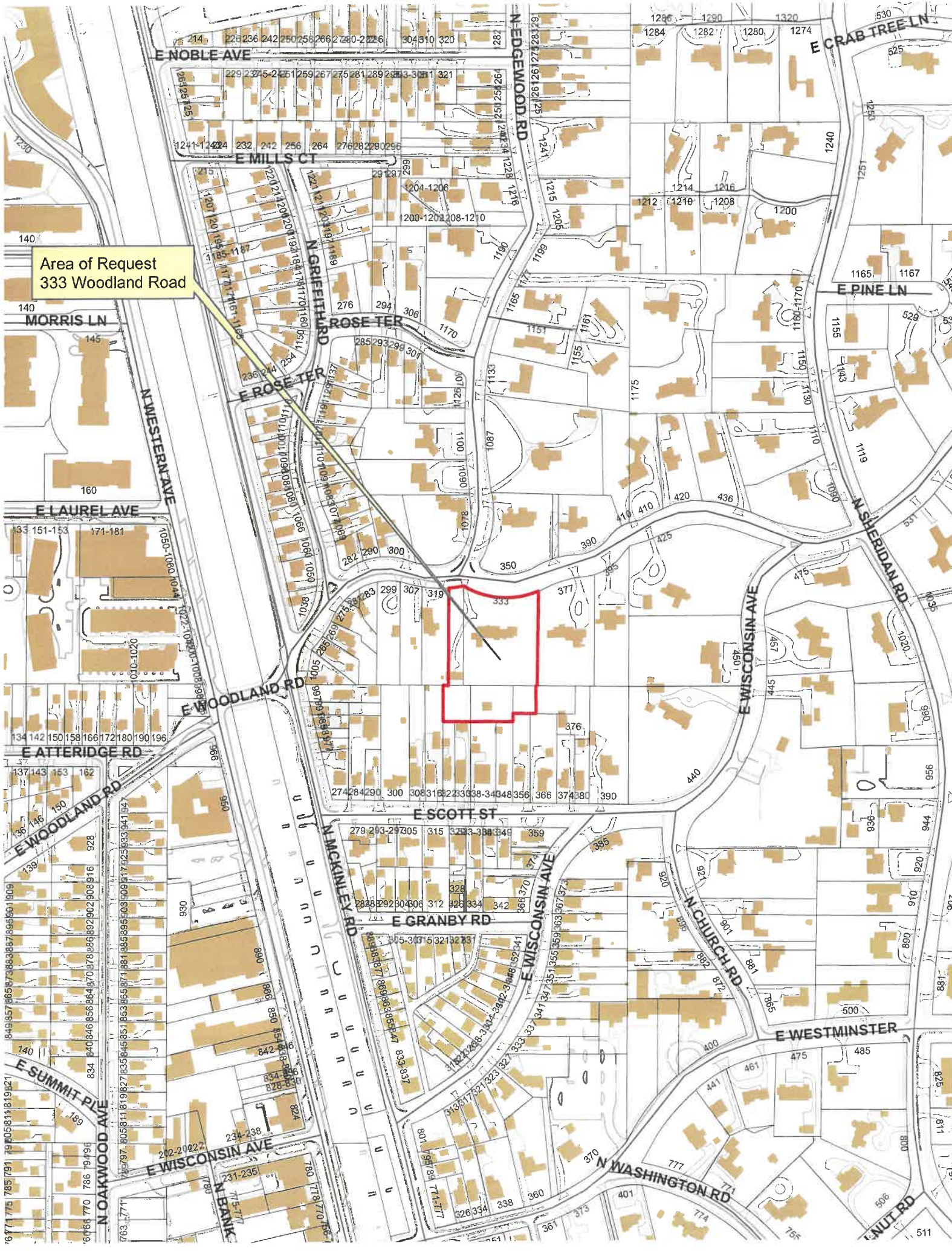
This standard is not fully met. The roof material can be removed in the future without impacting the essential form of the historic property. However, given the visual differences between the synthetic product and traditional, historic, and natural materials used on the home and in the surrounding neighborhood, the visual character of the property and its essential form and historic integrity will be impaired.

PUBLIC COMMENT

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and residents and the agenda for this meeting was posted at various public locations and on the City’s website. Prior to the July meeting, testimony was provided to the Commission in opposition to the request. As of the date of this writing, no additional correspondence was received regarding this request.

RECOMMENDATION

(1) Grant a Certificate of Appropriateness to allow the existing roof to be replaced with historical materials, either cedar shingles or asphalt; (2) Deny the request for a Certificate of Appropriateness to change the roofing material to a synthetic product; and (3) adopt the above findings as the Commission’s written findings of fact and reasons for its determination.



Area of Request
333 Woodland Road



Area of Request
333 Woodland Road

**MATERIALS PREVIOUSLY SUBMITTED BY
PETITIONER FOR JUNE MEETING**



LAKE FOREST

**THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS**

PROJECT ADDRESS 333 E. Woodland Road

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input checked="" type="checkbox"/> Other - <u>Roof Replacement</u>	<input type="checkbox"/> Other	

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- ☒ East Lake Forest District ☐ Green Bay Road District ☐ Vine/Oakwood/Green Bay Road District
☐ Local Landmark Property or District ☐ Other

PROPERTY OWNER INFORMATION

Mary Therese & Greg Williams
Ownership Property

333 E. Woodland Road
Owner's Street Address (may be different from project address)

Lake Forest, IL 60045
City, State and Zip Code

847.809.1437
Phone Number

Fax Number

Kraftwilliams23@gmail.com
Email Address

Mary Therese Williams
Owner's Signature

ARCHITECT/BUILDER INFORMATION

Jason Chase JNJ Restoration
Name and Title of Person Presenting Project

JNJ Restoration
Name of Firm

1603 Clinston Ave
Street Address

Lake Forest, IL 60045
City, State and Zip Code

317.908.3091
Phone Number

Fax Number

Jason@jnjrestoration.com
Email Address

[Signature]
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

☐ OWNER ☐ REPRESENTATIVE

Mary Therese & Gregory Williams
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Lake Forest, IL 60045
847-809-1437 Kraftwilliams23@gmail.com

Chair and Members of the Lake Forest Historic Preservation Commission
and Community Development Members,

Thank you for your time in reviewing our certificate of appropriateness application. It is important to note that this home and our neighborhood is our treasure. For 18 months we pursued the purchase, watching countless youtube video tours and doing endless drive-bys. In the late fall of 2016, ownership became a reality, and our family of 7 (our 5 children between the ages of 2-10 at the time and us) moved in. Our home is well lived in, we are blessed to have a revolving door of children, family and friends helping us to make it a warm, inviting place to call home. And apparently, our family is not the first, we constantly have Lake Forest friends telling us how many times they spent the night or snuck in or out of our house as a kid.

We respect our home. And do not take any expense for it lightly. We've gone to great expense to repair stonewalls, landscaping, etc. It should not be a surprise that our roof would be no exception.

When purchasing the home we had a roof inspection done, it was determined that we could probably continue with typical cedar maintenance plan (de-mossing, treating, replacing shingles) for a few years but eventually it would need to be replaced. We utilized Etruscan and CRC to service, each coming out 2-4 times over the next 4 years. It became apparent that we are not typical home, the location of aging, shade-providing trees creates extensive moss build up and critter access. In 2018, after replacing a section of shingles on our garage, a family of racoons figured out how to climb the adjacent tree and burrow into the roof.

From 2017 to the present, I have been getting estimates on Cedar Roofs. Since then, the cost to replace our roof has doubled. It started at \$65,000 in 2017 then a trade tariff was put on Canadian Imports, followed shortly after by the pandemic, driving supply down and prices up. We tried to wait it out paying close to \$10,000 in maintenance. In Jan of 2021 the price jumped to \$91,200 and today the cost is \$124,000. In addition, the quality of the cedar product has deteriorated, with young porous wood being sold to meet the demand. Leaving us to not only pay a premium for the materials but continue to be shackled with high annual maintenance costs on a product whose life span has been shortened.

It is no wonder why I have been researching a better solution. My path started with our contractor who specializes in historic homes. Casey Brey with Euro Construction. He connected me to Gosia Worbel with ABC Supply Co. to explore all roofing options, but tipped me off to synthetics, saying more and more of his customers are installing these "composite based roofs". Gosia and I narrowed it down to Davinci the leading manufacturer in the space. She put me in contact with the regional representative for Davinci who then gave me 3 installers with stellar

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Lake Forest, IL 60045
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reputations. After submitting bids, talking through pros and cons, I landed on Jason with JnJ Restorations. (bid attached).

DaVinci synthetic roofs offer several benefits over cedar shake roofs. Here are some advantages:

1. **Durability:** DaVinci synthetic roofs are known for their exceptional durability. They are engineered to withstand extreme weather conditions, including high winds, hail, and heavy rain. Unlike cedar shake roofs, which are susceptible to cracking, splitting, and rotting over time, DaVinci roofs offer long-lasting performance.
2. **Low Maintenance:** DaVinci roofs require minimal maintenance compared to cedar shake roofs. They do not require regular treatments or coatings to protect against pests, mold, or moisture damage. Additionally, DaVinci roofs are resistant to UV rays and fading, so they maintain their appearance without the need for frequent maintenance.
3. **Fire Resistance:** Unlike cedar shake roofs, which are highly flammable, DaVinci synthetic roofs have a Class A fire rating. They are made from non-combustible materials, such as engineered polymers and fire-retardant additives, making them an excellent choice for areas prone to wildfires or with strict fire safety regulations.
4. **Wide Range of Styles and Colors:** DaVinci offers a wide variety of styles and colors to choose from, allowing homeowners to achieve the desired aesthetic for their homes. Whether you prefer the look of natural slate, hand-split cedar shakes, or other architectural styles, DaVinci synthetic roofs can mimic the appearance of various roofing materials while providing superior performance.
5. **Sustainability:** DaVinci roofs are environmentally friendly. They are made from recycled materials, reducing the demand for new resources. They are produced from virgin resins fortified with UV stabilizers to protect color. Moreover, they have a longer lifespan compared to cedar shake roofs, which helps reduce waste over time.
6. **Cost-Effective:** Although the upfront cost of a DaVinci synthetic roof may be higher than that of a cedar shake roof, it offers long-term cost savings. With its durability and low maintenance requirements, homeowners can save on repair and replacement costs over the life of the roof.

There are many benefits to synthetic roofs. And it is acknowledged by the over 100 residents of Lake Forest who have Davinci, and likely 100 more who have an alternative brand. Synthetic roofs have come a long way, even in 6 years. I did not even consider them in 2017 because they looked overly manufactured. That is not the case now. The marketplace has blossomed, with multiple high-end manufacturers and more knowledgeable installers. In speaking with residents that installed a Davinci in August of 2021 on South Sheridan Road, the husband and wife's comment was "after we did the research, our only conclusion was that it would be irresponsible to NOT install Davinci."

I agree.

I would also like to highlight the provision outlined below as it's interpretation is important to this matter:

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(15) *Repair to deteriorated features.* Deteriorated architectural features shall be repaired rather than replaced, wherever possible, in accordance with the Secretary of the Interior's *Standards for the Treatment of Historic Properties*. In the event replacement is necessary, the new material need not be identical to but should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

According to the standards for review, our deteriorating roof, which needs to be replaced, need not be identical. We feel the Davinci Select Shake we have chosen DOES match composition (10 inches), design (grain treatment and thickness), texture and visual qualities. In fact, I'd like you to please drive the neighborhood North of Northwestern Hospital, off Waukegan Road: Carroll Rd and Symphony Rd. It is a great example of how synthetic actually maintains the prestigious and clean look of a home. This neighborhood has a mix of synthetic styles and cedar. Jason, our installer and I would argue, some homes look great and a couple demonstrate poor installation. The shakes should overlap, just like a cedar roof. The installation process of Cedar and Synthetic should be the same. And must be done by a reputable roofer. Also note, a couple homes in this neighborhood are Cedar. They have mismatched, broken shakes and really do not have as strong an appeal.

I would also encourage you to drive by the Gloucester Crossing neighborhood, just past Sunset Foods, behind the parking lot of St Pat's Church. Here you will find a neighborhood of Davinci.

If you did not know snow guards are recommended for composite roofs because they have a non-porous surface similar to slate, it would be very hard to tell which home is cedar and which is synthetic.

Key Points for Consideration:

- I encourage the Commissioners to re-view the 774 Washington Road petition at the 4/28/21 HPC meeting (https://www.cityoflakeforest.com/government/boards_and_commissions/historic_preservation_commission.php) As you know the petitioners, were granted certificate of appropriateness for synthetic siding. Here are some key take-aways as it relates to our petition:
 - o As noted by a couple Commissioners, there was no history of synthetic *siding* use in the City of Lake Forest at that time and therefore the Commission could not substantiate the material claims. There are hundreds of Lake Forest homes with Davinci Roofs going as far back as 2013. They all met the LF building/roofing codes and are easy to view for integrity today.
 - o Neighborhood continuity. Our historic district has no dominate roofing material. It is a mixture of Wood, Slate and Synthetic (asphalt) currently.

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- The majority of Commissioners, approved the composite synthetic material as one that can mimic visual qualities of wood.
- Multiple Commissioners rejected the Council's point of view that street presence of a home is an allowable consideration for certificate discussion.
- Materials and methods evolve overtime, due diligence should be placed not on specific materials, but the elements of composition, design, color, texture and visual appeal.
- The non-natural material(synthetic) is limited to only the roof.
- Davinci is the top selling manufacturer. I have provided a link to Historic homes (eg.Frank Lloyd Wright in WI) across the country using Davinci Roofs. It includes commentary on how and why other HPCs made the decision to approve.
- Financially. There is a financial benefit, while marginal at installation, the close to \$5,000 spent every 2 years to de-moss, treat and repair Cedar along with the reduction of \$500 in annual insurance costs because Davinci is an Impact Resistant roofing material is considerable. Over the lifespan of a Cedar Roof (16 yrs) that's a savings of \$56,000. (this does not include unforeseen acts such as animals and hail/high winds)
- We would welcome the input of the Commission on the Davinci Shake style and color. The Davinci Select Shake in Mountain is most used by our Style home (White Cape Cod with black shutters), but we also talked about the Black Oak to accomplish some color differentiation.

Thank you for joining me in this discussion. I hope the Commission will recognize the progress of synthetic materials over the past 5 years not only visually, but environmentally and structurally. We love our home and with our youngest being 8, we plan to spend many more years enjoying the coastal, sophisticated vibe it proudly displays. We feel confident that synthetic brands like Davinci will continue to penetrate Historic Districts. They are already growing at a rapid rate outside of them and our town is just one small example.

Sincerely,

Mary Therese and Greg Williams



1603 Orrington Ave. Ste 600, Evanston IL 60202

P 847-531-4847 F 847-531-4986

www.jnrestoration.com

RESTORATION

SCOPE OF WORK / ROOF REPLACEMENT

Mary Therese Williams
333 E Woodland Way
Lake Forest, IL 60045

The following specifications and estimates for the following:

- Tear off and remove 1 layer of existing Roofing material Cedar Shakes along with any accessories on the roof. Tarps and Plywood will be used as needed to protect home and landscaping during construction process. A magnetic sweep of the yard will be implored throughout the job.
- Supply & Install new **Davinci Select Shake (Color TBD)**
- Install new layer of synthetic underlayment on entire roof deck prior to shingle installation. Hydra Synthetic breathable underlayment used & rated for metal, tile and slate roof installation
- Install Grace Select Ice and Water shield in all eaves (2 courses) & in valleys. and run 1/2 course of ice and water shield on all rakes of roof and in all roof to wall transitions. Low slope roof areas to be covered in Ice and Water shield.
- Install Grace Select ice & Water shield around all openings on roof, pipe jacks, vents, chimney & roof to wall transitions to provide a water tight structure.
- Install a starter course of Davinci starter course in all eaves of home for proper shingle installation.
- Davinci shingle installation to be installed with stainless steel nails / Synthetic Felt to be installed using Stinger Plastic Cap coil nails
- Install new Double Crimped Valleys on home (Kynar Coated Steel/color match) Each side of valley to be covered with Ice and Water shield prior to New Davinci installation.
- Install new 1 piece Davinci Hip and ridge on home
- Install New Ridge vent system on home to ensure proper roof venting of roof structure.
- Replace all Pipe Jacks with new lead boots for all pipe jacks on roof.
- Install new flashing on roof to replace old. All step flashing to be installed with custom made davinci Step flashing. All Roof to wall transitions to be custom bent on site to replace old. (kynar coated Steel/color match)
- All trash debris and roof waste to be removed from property along with proper cleanup of property during and after roof construction.
- Install Snow guards over garage doors
- Provide Permit – All Village inspections will be coordinated by JnJ Restoration

Roof Total: \$73,998.53

** Garage Roof Option: \$19,594.66

Prices above Include permit fee of 1.5%

Customer Acceptance

Date

Customer Acceptance

Date



Mary Therese and Gregory Williams
Certificate of Appropriateness Review
May 2023

333 E Woodland Road, Our Home



Moss build-up and tree proximity



Select Shake Specs


[PRODUCTS](#)
[PROJECTS & INSPIRATION](#)
[PROFESSIONALS](#)
[SUPPORT](#)


DAVINCI JUST MADE A GREAT THING GREATER

With the DaVinci reputation of durability and effortless upkeep, our Select Shake tiles imitate authentic cedar shake better than any product on the market. DaVinci Select Shake molds are taken from real wood profiles, making them perfect for projects where a traditional cedar look is desired. DaVinci doesn't stop at beauty—the product design of our Select Shake allows for faster installation and will withstand whatever Mother Nature brings to the exterior of your home. When you're looking for the beauty of real cedar shake with the lasting elegance of DaVinci, our Select Shake has your home covered.

- Available in 8" and 10" widths
- The 10" pieces have a simulated keyway to give the look of 4" and 6" shakes to create a multi-width appearance.
- Finished look creates appearance of 4", 6", 8", and 10" shakes
- 5/8" tile thickness
- DaVinci Select Shake is created from authentic wood profiles, making it the most realistic roofing product on the market.
- Can be installed at 9" or 10" exposure
- Resistant to fading, rotting, cracking, and pests
- Lifetime Limited Material Warranty
- Tiles arrive at the job site bundled and pre-sorted by color, eliminating sorting and guesswork at the site



8"



10"

Link: <https://www.davinciroofscapes.com/products/shake/select-shake/>

Why Davinci?

Link:

<https://www.newenglandmetalroof.com/composite-roof-shingles-brands/>

PROS

- Transferable warranties
- Class 4 impact rated
- Multiple Energy Star colors
- Seven lines of shingles

CONS

- Warranty prorated after 10 years
- Transfers are limited to the first 10 years

Davinci Roofscapes - Best Overall

Davinci Roofscapes offers seven lines of composite roofing made from virgin resins treated with UV stabilizers to ensure color retention.

- Wide Selection

The most significant advantage of Davinci is the vast product lineup, consisting of seven different lines of composite shingles that look like cedar shakes and slate tiles. The Bellaforté is the signature line and comes in shake or slate in various colors and sizes.

- EcoBlend Colors

DaVinci also has a selection of Cool Roof colors that pass regulations set by California Title 24/LA County, EnergyStar, and LEED green building requirements. Each line of composite shingles has one or more Energy Star colors.

- Superior Performance

Because all of DaVinci's products are Class 4 impact rated and 110-mph wind rated, they have superior performance against hail, debris, and storm damage.

- Transferable Warranties

A noteworthy feature of DaVinci products is the Lifetime limited warranty, transferable twice in the first 10 years. After 10 years, the warranty becomes prorated for the next 40 years, making the lifetime warranty the same as a 50-year warranty.

- Price Analysis

Davinci roofing can run from \$5.75 to \$10.50 a square foot, with \$4 to \$6.50 for materials and labor costing between \$1.75 and \$4 per square foot. For a roofing square - 100 square feet - the price will range between \$175 and \$300.

Proposed Select Shake Mountain
is same dimension as cedar
shake alternative and original
cedar roof (10 inches)



Materials will be provided at meeting.



Davinci Select Shake Mountain



Davinci Select Shake - Mountain



DaVinci Mountain

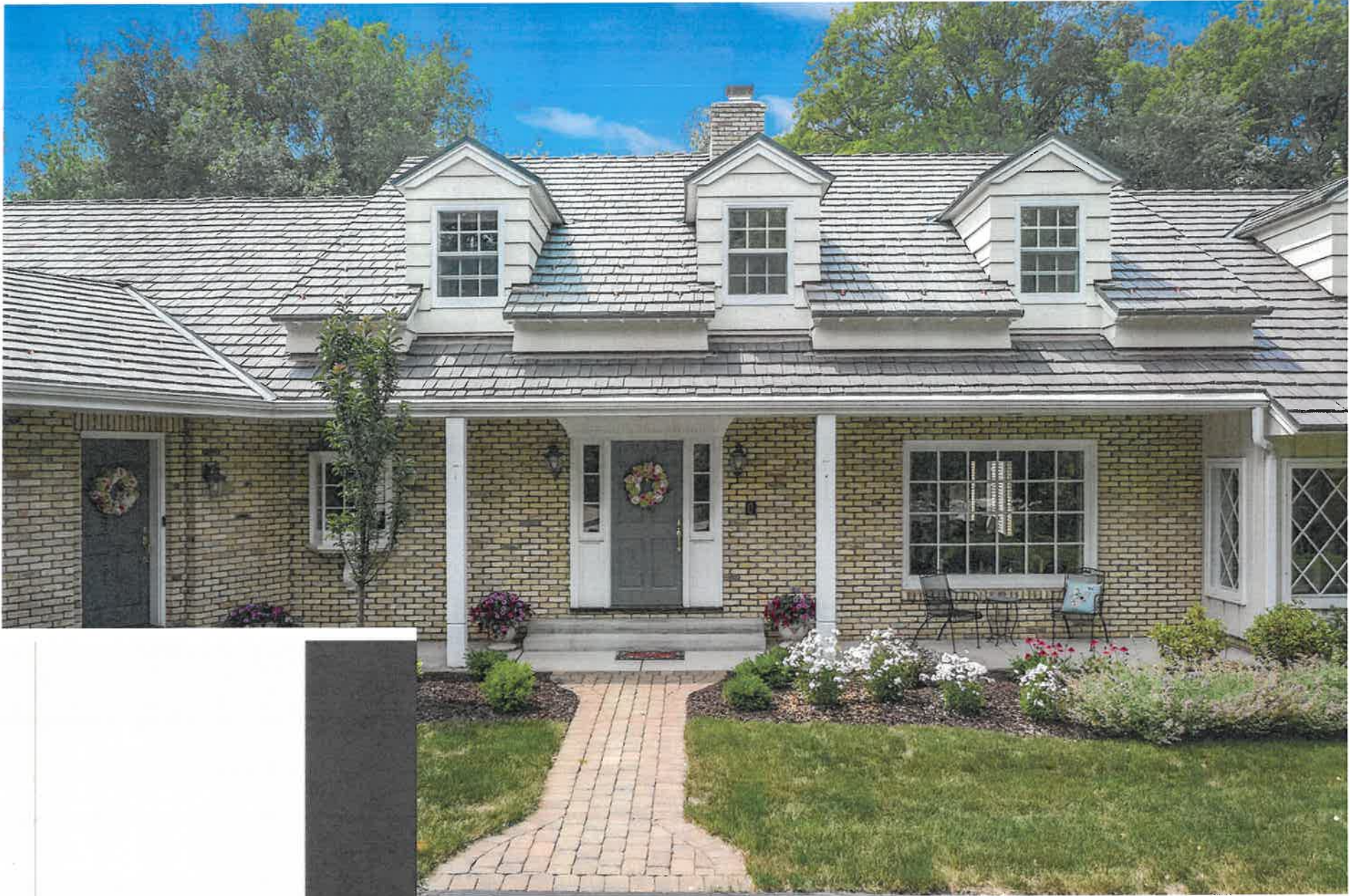
Main Color

Origami White SW 7636
Origami White SW 7636

Trim

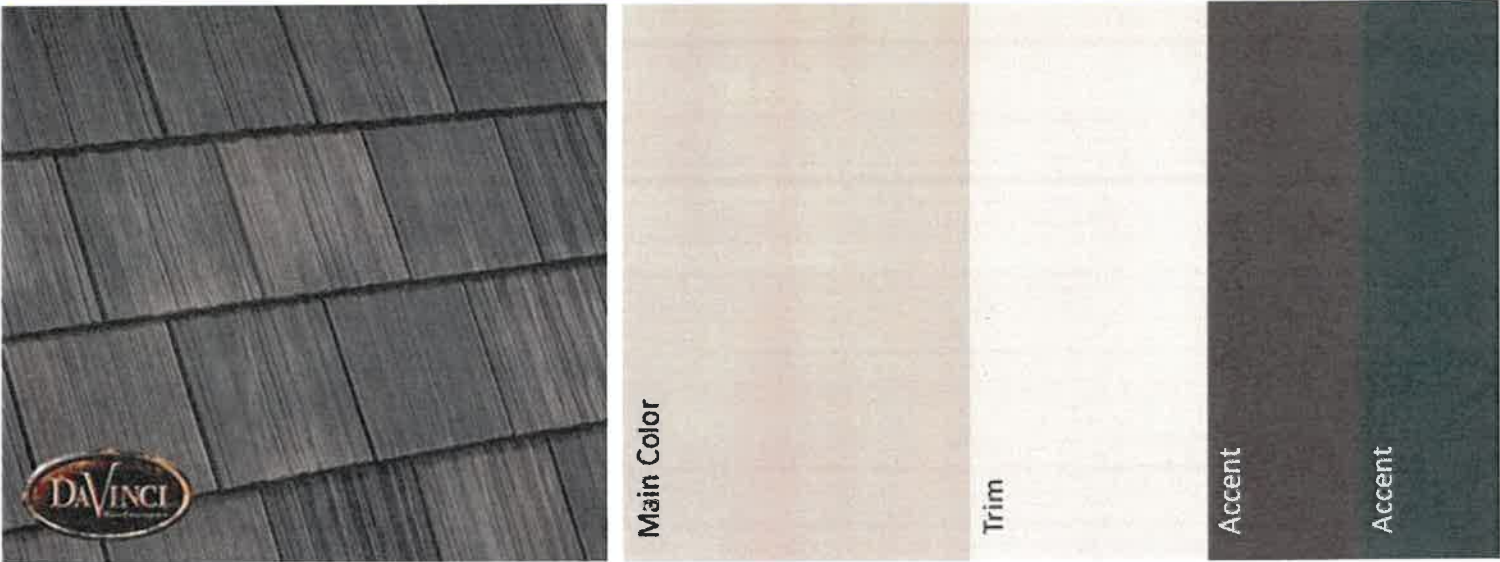
Accent

■ Deep Forest Brown SW 9175



Black Oak Shake

Alternative option for our home style.



DaVinci Black Oak

- Dhurrie Beige SW 7524
- Kestrel White SW 7516
- Rockweed SW 2735
- Cascades SW 7623

Reroofing a Frank Lloyd Wright Home

<https://www.davinciroofscapes.com/projects-inspiration/project-profiles/reroofing-a-frank-lloyd-wright-home/>



Product: Single-Width Shake in the natural Aged Cedar



NPS Chooses DaVinci Shake for Historic Mansion

Per the rules of the National Park Service, any preservation work performed on a national landmark must provide the same look as the original construction. This is to maintain the historical accuracy of the property. While the Carnegie family commissioned a real cedar roof, the harsh climate of Coastal Georgia makes it impractical to continually replace.

The Synthetic Shake Solution

Fortunately, the team at Register Roofing had a different idea. Their team recommended a composite roofing solution from DaVinci Roofscapes. It perfectly matches the traditional cedar shake roof in appearance. However, it far exceeds the natural cedar in performance. With Class 4 impact and Class A fire ratings, synthetic shake resists coastal weather, including standing up to high winds and nearby ocean conditions.

Link:

<https://www.davinciroofscapes.com/projects-inspiration/project-profiles/synthetic-shake-that-resists-coastal-weather-approved-for-historic-mansion/>



DaVinci Impact-Resistant Slate Roof Brings Curb Appeal to a Lakefront Home

Product: Terry Haseman's lakefront home was originally built in 1904 as a yacht club. Then it was transitioned into a hotel. Now it's a private residence that's for sale for 1.5 million dollars. What roof did Haseman have added to the expansive house to add curb appeal before he put it on the market? A Bellaforté Slate composite roof in an attractive European blend of four colors.

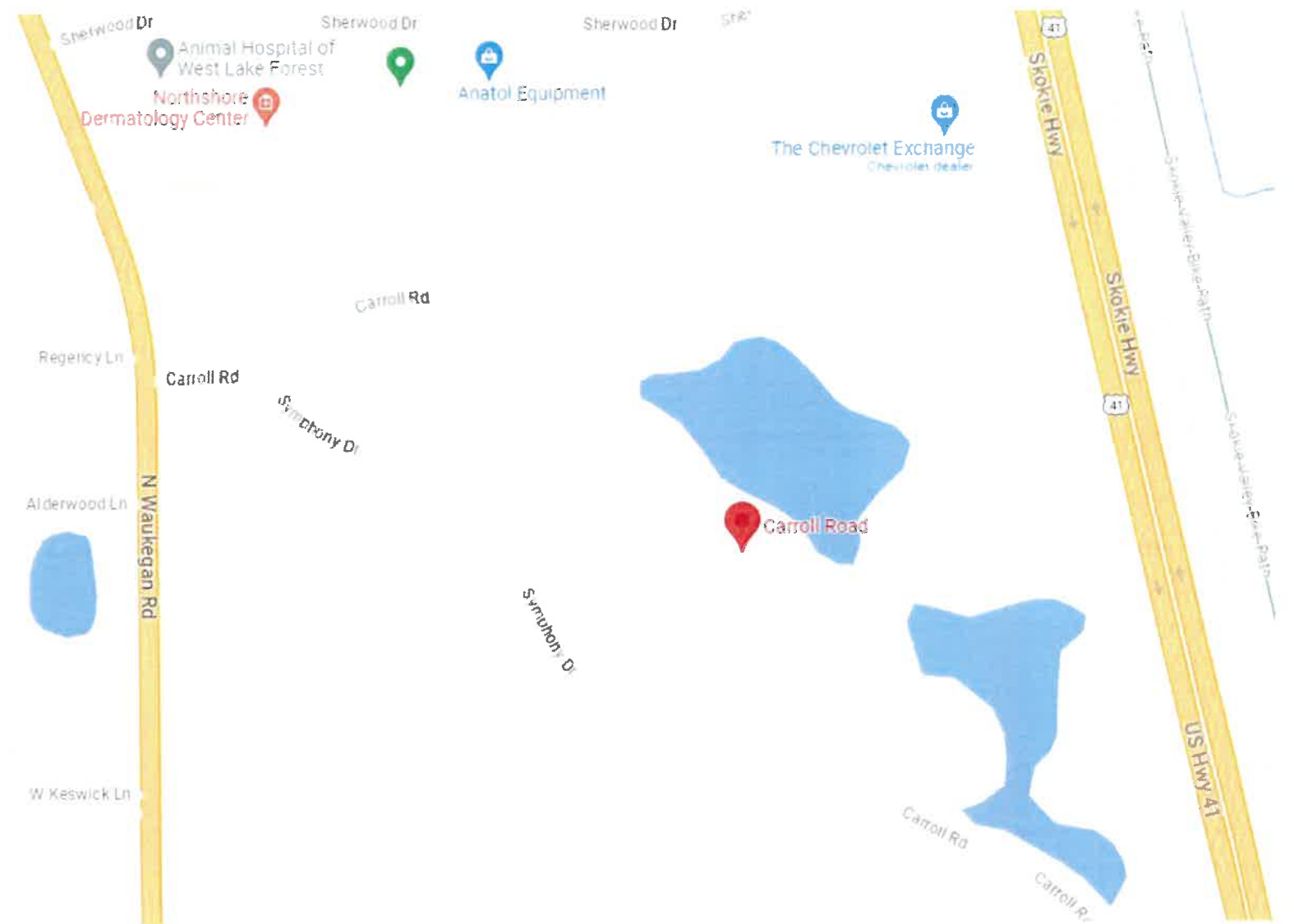
<https://www.davinciroofscapes.com/projects-inspiration/project-profiles/davinci-impact-resistant-slate-roof-brings-curb-appeal-lakefront-home/>



Examples Around Town

Carroll & Symphony Road In Lake Forest

The majority of homes in this development are synthetic. It is a good example of seeing the Synthetic vs Cedar next door.



Synthetic



Cedar



Cedar



Synthetic



LIST OF HOUSES IN LAKE FOREST WITH SYNTHETIC ROOFING

Close Date	Install Street	Install City	Install State	Install Zip/Postal	Primary Product	Color/Blend
10/13/2022	1467 N McKinley Rd	Lake Forest	IL	60045	Bellaforte Shake	Mountain
10/27/2021	130 Pembroke Dr	Lake Forest	IL	60045	Bellaforte Shake	Chesapeake
7/14/2020	80 W Minster Ave	Lake Forest	IL	60045	Bellaforte Shake	Mountain
8/4/2021	850 Symphony St	Lake Forest	IL	60045	Select Shake	Black Oak
6/5/2021	881 Carrol Rd	Lake Forest	IL	60010	Select Shake	Aged Cedar
10/31/2021	1051 Inverlieth Rd	Lake Forest	IL	60045	Select Shake	Aged Cedar
8/1/2021	1100 Keswick Ln	Lake Forest	IL	60045	Bellaforte Shake	Mountain
5/14/2021	110 S Suffolk Ln	Lake Forest	IL	60045	Bellaforte Shake	Tahoe
11/4/2021	45 E Sandpiper Ln	Lake Forest	IL	60045	Bellaforte Shake	Mountain
5/17/2022	185 Wallace Rd	Lake Forest	IL	60045	Bellaforte Shake	Chesapeake
11/8/2022	845 McCormick Dr	Lake Forest	IL	60045	Bellaforte Shake	Mountain
12/15/2015	1340 N. Waukegan Lake	Lake Forest Park	IL		Multi Width Shake	Mountain
4/28/2016	1340 N. Waukegan Road	Lake Forest	IL	60045	Multi Width Shake	Mountain
7/14/2020	730 Hunter Lane	Lake Forest	IL	60045	Bellaforte Shake	Mountain
6/15/2020	791 Hunter Lane	Lake Forest	IL	60045	Bellaforte Shake	Tahoe
10/4/2022	481 Yorktowne Ln	Lake Forest	IL	60045	Select Shake	Mountain
10/4/2021	861 Hunter Ln	Lake Forest	IL	60045	Bellaforte Shake	Tahoe
1/27/2022	787 Coventry Dr	Lake Forest	IL	60045	Bellaforte Shake	Mountain
9/1/2020	790 Coventry Dr	Lake Forest	IL	60045	Bellaforte Shake	Tahoe
3/26/2019	860 â€” 862 Gloucester Crossing	Lake Forest	IL	60045	Bellaforte Shake	Tahoe
8/7/2019	851 - 853 GLOUCESTER CROSSING	LAKE FOREST	IL	60045	Bellaforte Shake	Tahoe
10/4/2019	870 - 880 Gloucester Crossing	Lake Forest	IL	60045	Bellaforte Shake	Tahoe
9/24/2019	884 - 888 Gloucester Crossing	Lake Forest	IL	60045	Bellaforte Shake	Tahoe
6/20/2019	827 - 829 KNIGHTSBRIDGE COURT	LAKE FOREST	IL	60045	Bellaforte Shake	Tahoe
11/27/2019	900 - 906 Gloucester Crossing	Lake Forest	IL	60045	Bellaforte Shake	Tahoe
7/10/2019	831 - 833 KNIGHTSBRIDGE COURT	LAKE FOREST	IL	60045	Bellaforte Shake	Tahoe
9/24/2019	891 - 893 Gloucester Crossing	Lake Forest	IL	60045	Bellaforte Shake	Tahoe
12/30/2019	908 - 910 Gloucester Crossing	Lake Forest	IL	60045	Bellaforte Shake	Tahoe
11/21/2019	930 - 940 Gloucester Crossing	Lake Forest	IL	60045	Bellaforte Shake	Tahoe
7/29/2019	881 KNIGHTSBRIDGE COURT	LAKE FOREST	IL	60045	Bellaforte Shake	Tahoe
9/13/2019	850-852 Knightsbridge Ct.	Lake Forest	IL	60045	Bellaforte Shake	Tahoe
4/19/2022	900 W Everett Rd	Lake Forest	IL	60045	Select Shake	Aged Cedar

7/16/2018 27820 N IRMA LEE CIRCLE	Lake Forest	IL	60045 Bellaforte Shake	Mountain
10/21/2021 1401 Harlan Ln	Lake Forest	IL	60045 Bellaforte Shake	Mountain
10/3/2022 1270 Kathryn Ln	Lake Forest	IL	60045 Select Shake	Chesapeake
4/29/2021 855 Jennifer Court	Lake Forest	IL	60045 Select Shake	Weathered Gray
9/17/2020 1369 Kathryn Lane	Lake Forest	IL	60045 Bellaforte Shake	Tahoe
7/13/2013 1330 Kurtis Lane Lake	Lake Forest	IL	Bellaforte Shake	Tahoe
11/17/2021 1400 Kurtis Ln	Lake Forest		60045 Select Shake	Aged Cedar
7/26/2021 1410 Lawrence Ave	Lake Forest	IL	60045 Bellaforte Shake	Weathered Gray
4/9/2021 1630 Aspen Dr	Lake Forest	IL	60045 Bellaforte Shake	Mountain
1/7/2021 1681 Aspen Drive	Lake Forest	IL	60045 Bellaforte Shake	Chesapeake
11/6/2018 1306 Oak Knoll Dr	Lake Forest	IL	60045 Bellaforte Shake	Tahoe
7/1/2017 920 Goldenrod	Lake Forest	IL	60045 Bellaforte Shake	Mountain
3/30/2018 1680 Lowell Ln Lake	Lake Forest	IL	60045 Multi Width Shake - Pre Aged Cedar	
2/23/2022 1630 Alexis Ct	Lake Forest	IL	60045 Bellaforte Shake	Weathered Gray
3/10/2021 216 Brampton Ln	Lake Forest	IL	60045 Select Shake	Mountain
4/7/2022 217 Brampton Ln	Lake Forest	IL	60045 Multi Width Shake - Pre Aged Cedar	
4/10/2018 226 Brampton Lane Lake	Lake Forest	IL	Bellaforte Shake	Tahoe

RIVERWOODS

Close Date	Install Street	Install City	Install State	Install Zip/Postal Code	Primary Product	Color/Blend
4/2/2019	51 Pembroke Dr Lake	Lake Forest	IL	60045	Multi Width Slate	European
9/29/2020	250 Ahwahnee Lane	Lake Forest	IL	60045	Bellaforte Slate	Slate Gray
8/13/2020	600 N Westmoreland Rd	Lake Forest	IL	60045	Multi Width Slate	European
5/18/2021	365 Chiltern Dr	Lake Forest	IL	60045	Single Width Slate	Slate Gray
8/30/2021	30 S Sheridan Rd	Lake Forest	IL	60045	Single Width Slate	European
6/20/2018	60 W Honeysuckle Rd	Lake Forest	IL	60045	Bellaforte Slate	European
1/12/2007	1080 Winwood Dr.	Lake Forest	IL	60045	Multi Width Slate	European
11/14/2022	1120 Emmons Ct	Lake Forest	IL	60045	Province Slate	Brownstone
3/4/2019	990 W Deerpath Rd	Lake Forest	IL	60045	Bellaforte Slate	Brownstone
7/12/2022	899 Ringwood Rd	Lake Forest	IL	60045	Multi Width Slate	European
6/3/2022	21 South Suffolk Ln	Lake Forest	IL	60045	Bellaforte Slate	Castle Gray
11/11/2019	465 Hunter Lane	Lake Forest	IL	60045	Bellaforte Slate	European
11/15/2015	1181 Melody	Lake Forest	IL	60045	Multi Width Slate	
11/15/2022	870 Holden Ct	Lake Forest	IL	60045	Province Slate	Slate Black
10/31/2017	1310 Long Meadow Lane	Lake Forest	IL	60045	Multi Width Slate	European
5/6/2021	230 Wallace Rd	Lake Forest	IL	60045	Single Width Slate	Slate Black
8/23/2021	777 Hunter Ln	Lake Forest	IL	60045	Bellaforte Slate	Slate Gray
1/27/2022	471 Yorktowne Ln	Lake Forest	IL	60045	Single Width Slate	European
12/8/2020	651 W Northcroft Ct	Lake Forest	IL	60045	Multi Width Slate	Slate Gray
1/8/2007	851 Hunter Lane Lake	Lake Forest	IL		Multi Width Slate	European
9/1/2012	1000 New Castle Drive	Lake Forest	IL	60045	Single Width Slate	European
10/31/2017	560 Newcastle Dr Lake	Lake Forest	IL	60045	Bellaforte Slate	European
9/5/2018	671 New Castle Dr	Lake Forest	IL	60045	Bellaforte Slate	Slate Gray
9/4/2018	721 New Castle Drive	Lake Forest	IL	60045	Bellaforte Slate	European
5/4/2021	1275 Gavin Ct	Lake Forest	IL	60045	Single Width Slate	Canyon
6/21/2022	415 Oak Knoll Dr	Lake Forest	IL	60045	Bellaforte Slate	Brownstone
7/14/2014	886 Morningside Dr. Lake	Lake Forest	IL		Multi Width Slate	Castle Gray
6/15/2022	450 Oak Knoll	Lake Forest	IL	60045	Single Width Slate	European
2/23/2017	720 Jennifer Ct. Lake	Lake Forest	IL	60045	Single Width Slate	Slate Black
9/15/2016	711 Jennifer Court	Lake Forest	IL	60045	Multi Width Slate	European
9/21/2022	950 Lakewood Dr	Lake Forest	IL	60045	Bellaforte Slate	European
10/19/2020	1491 Kathryn Lane	Lake Forest	IL	60045	Multi Width Slate	European

6/15/2020	1470 Kurtis Lane	Lake Forest	IL
9/24/2022	1661 Aspen Dr	Lake Forest	IL
4/22/2021	1481 S Estate Ln	Lake Forest	IL
9/28/2021	1743 Lowell Ln	Lake Forest	IL
3/24/2021	1735 Paddock Lane	Lake Forest	IL
3/4/2020	1830 Telegraph Road	Lake Forest	IL
7/9/2021	1730 Paddock Ln	Lake Forest	IL
2/22/2016	1850 Windridge	Lake Forest	IL
8/8/2018	1866 Windridge Dr Lake	Lake Forest	IL
10/13/2013	1925 Wedgewood Dr Lake	Lake Forest	IL

60045	Multi Width Slate	Castle Gray
60045	Bellaforte Slate	Canyon
60045	Bellaforte Slate	Slate Black
60045	Single Width Slate	Slate Black
60045	Multi Width Slate	European
60045	Bellaforte Slate	European
60045	Multi Width Slate	European
60045	Multi Width Slate	European
60045	Bellaforte Slate	Smokey Gray
	Single Width Slate	Brownstone