

Agenda Item 3

1302 N. Green Bay Road Replacement Residence

Staff Report
Building Scale Summary Sheet
Vicinity Map
Air Photo

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Site Plan
Proposed South (Front) Elevation
Proposed South (Front) Color Elevation
Proposed West Elevation
Proposed North Elevation
Proposed East Elevation
Proposed Roof Plan
Building Sections
Proposed First Floor Plan
Proposed Second Floor Plan
Conceptual Landscape Plan

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



TO:	Chairman Grinnell and members of the Historic Preservation Commission
DATE:	February 22, 2023
FROM:	Jennifer Baehr, Planner Catherine Czerniak, Director of Community Development
SUBJECT:	1302 N. Green Bay Road - Replacement Residence

PETITIONERS

Ralph & Mary Gesualdo
1418 N. Green Bay Road
Lake Forest, IL 60045

PROPERTY LOCATION

1302 N. Green Bay Road

HISTORIC DISTRICTS

Green Bay Road Local &
National Register Historic District

PROJECT REPRESENTATIVE

John Krasnodebski, Architect
272 E. Deerpath
Lake Forest, IL 60045

SUMMARY OF THE PETITION

This is a request for a Certificate of Appropriateness to approve a replacement residence, attached garage, preliminary landscape plan and overall site plan. Demolition of the existing residence on the property was previously approved by the Commission at the October 11, 2022 meeting. It is expected that demolition of the existing residence will be underway in the coming weeks. An application for the demolition is on file with the City and the petitioner is awaiting disconnections of the various utilities to be completed.

The statement of intent and supporting materials submitted by the petitioner are included in the Commissioners' packets and more fully explain the proposed project.

DESCRIPTION OF PROPERTY

This property is located west of Green Bay Road, between Alden Lane and Laurel Avenue. It is accessed by a long private drive that serves several properties. The property is approximately 48,200 square feet and is irregular in shape.

Site Plan

The replacement residence is sited generally in the center of the property and is in compliance with the applicable zoning setback requirements. The existing residence on the property is sited very close to the north property line and is non-conforming with respect to the zoning setbacks. In a previous petition submitted by the property owner, the existing residence was proposed for renovation and expansion. Several neighbors objected to the earlier plan because of the location of the existing house near the north property line. The neighbors requested that a new residence conform to the current setback requirements which the current plan does.

The proposed asphalt driveway will be located slightly west of the center of the south property line and leads to a gravel motor court at the front of the replacement residence. A low stone wall is proposed around the motor court. A bluestone terrace is proposed at the rear (north side) of the

replacement residence.

Replacement Residence

The proposed residence is designed in the English Country style and is comprised of a primary two-story mass with one-and-a-half story masses on the east and west sides. The three car garage faces west and projects south of the home, it is connected to the house by a small breezeway. The style of the home is compatible with many homes in the Historic District that reflect strong, simple forms, with a clear hierarchy of massing and elegant detailing.

Findings

A staff review of the applicable standards in the City Code is provided below. Preliminary findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height.

This standard is met. The height of the house as proposed is 34 feet as measured from the lowest point of existing grade to the highest roof peak and is below the maximum height of 40 feet permitted for a lot of this size.

Standard 2 – Proportion of Front Façade.

This standard is met. The front of the house is oriented south. The front façade presents a central two-story mass with smaller masses on either side creating movement and balance across the front elevation.

Standard 3 – Proportion of Openings.

This standard is met. The proposed openings around the home are mostly casement style windows with some square windows. The openings reflect tall, narrow proportions, consistent with the English Country style.

Standard 4 – Rhythm of Solids to Voids.

This standard is generally met. There is mostly a consistent rhythm of solids to voids on the elevations. Larger expanses of openings are proposed on the south (front) elevation of the house in the stair hall. This portion of the home is approximately 100 feet from the south property line. Given the distance from the stair hall area of the home to the south property line and existing and new landscaping, impacts from light spillover to neighboring properties are expected to be minimal.

Standard 5 – Spacing on the Street.

This standard is met. The proposed replacement residence will not be visible from Green Bay Road, only from a private road. The replacement residence is proposed generally in the center of the property and appears to offer appropriate spacing in the context of other homes surrounding the property. The siting of the replacement residence improves the spacing between structures given that the existing residence on the property is sited very closely to the north property line.

Standard 6 – Rhythm of Entrance Porches.

This standard is met. The front entrance is centered on the drive approach and is highlighted by a swooping garden wall and stone surround.

Standard 7 – Relationship of Materials and Texture.

This standard is met. High quality, natural materials are proposed for the replacement residence. The exterior walls are a combination of cedar shingle and stone. The primary roof forms will be natural slate and secondary roof forms will be copper. Aluminum clad windows with interior and exterior muntin bars are proposed. Limestone door and window trim is proposed. Wood fascia, rakeboards and soffits are proposed. Stone chimneys with clay chimney pots are proposed. The gutters and downspouts are copper.

Hardscape on the site includes an asphalt driveway, gravel motor court, and bluestone terraces, stoops and steps.

Standard 8 – Roof Shapes.

This standard is met. The primary roof forms are a mix of steep gable and hip roofs. More shallow roof forms are proposed on the breakfast room and porch on the rear of the home.

Standard 9 – Walls of Continuity.

This standard is met. The style, exterior materials, and architectural detailing are consistent on all elevations of the replacement residence.

Standard 10 – Scale.

This standard is met. The residence as presented complies with the building scale requirements. Based on the lot size, a residence of up to 5,657 square feet is permitted on the site. In addition, a garage of up to 800 square feet is permitted along with up to 566 square feet of design elements. The residence totals 5,602 square feet. The garage totals 852 square feet and there are 375 square feet of design elements. The excess square footage of the garage must be added to the overall square footage of the home. In total, the proposed replacement residence totals 5,657 square feet and is 0.05 percent under the allowable square footage for this property.

Standard 11 – Directional Expression of Front Elevation.

This standard is met. The front elevation faces south, toward the private lane. The directional expression of the front elevation is balanced with vertical forms and a series of masses that present a horizontal direction.

Standard 12 – Preservation of Historic Material.

This standard is not applicable to this request.

Standard 13 – Protection of Natural Resources.

This standard can be met. As currently proposed, a total of 22 trees are proposed for removal. Many of the trees proposed for removal are low-quality species or are in poor condition. Based on the size, species and condition of the trees proposed for removal a total of 48 replacement inches is required. As construction proceeds, the viability of the remaining trees on the site will need to be reassessed. In the event additional trees are compromised, additional replacement inches may be required.

The conceptual landscape plan submitted by the petitioner reflects the existing trees on the property that will remain and new shade trees around the motor court at the front of the home. Boxwood hedges are proposed around the rear terrace. Based on the conceptual landscape plan, the minimum landscape criteria for new construction are not fully satisfied. The minimum criteria require a mix of shade, evergreen and ornamental plantings. The landscape plan must be modified to incorporate

evergreen and ornamental trees to satisfy the minimum landscape criteria in the Code. As the landscape plan is more fully developed, the plan shall detail the quantity, size and species for all new plantings to ensure that the minimum landscape criteria and the required replacement inches are satisfied. The required replacement inches must be planted on site to the extent possible using good forestry practices. If all replacement tree inches cannot be accommodated on the site, a payment in lieu of on-site plantings may be accepted, at the discretion of the City, to support tree planting to enhance the streetscape in the general area.

Standard 14 – Compatibility.

This standard is met. The architectural style, scale, high quality materials, and architectural detailing of the replacement residence are compatible with the surrounding neighborhood.

Standard 15 – Repair to deteriorated features.

This standard is not applicable to this request.

Standard 16 – Surface cleaning.

This standard is not applicable to this request.

Standard 17 – Integrity of historic property.

This standard is met. The proposed replacement residence reflects a traditional architectural style that is in keeping with the surrounding neighborhood. The replacement residence features design elements and high quality natural materials that enhance the appearance of the home and are consistent with the character and integrity of the surrounding neighborhood and the Historic District overall.

PUBLIC COMMENT

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

RECOMMENDATION

Grant a Certificate of Appropriateness approving a replacement residence, attached garage, conceptual landscape plan and overall site plan on property located at 1302 Green Bay Road. The recommendation is based on the findings presented in this staff report. Staff recommends the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission. Any refinements made in response to direction from the Commission, or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Commission shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Commission's direction and approval prior to the issuance of any permits.
2. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall meet the minimum landscape criteria for new construction and provide for the required 48 replacement inches on site

to the extent possible using good forestry practices. If all replacement tree inches cannot be accommodated on the site, the number of remaining inches for which a payment in lieu of planting will be required must be noted on the plan. The full payment in lieu of on site plantings is required prior to the issuance of a Certificate of Occupancy. If during construction, additional trees on the site are compromised in the opinion of the City's Certified Arborist, additional replacement inches or payment in lieu of on site planting may be required.

3. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect any trees identified for preservation during construction as well as trees on neighboring properties, must be submitted and will be subject to review and approval by the City's Certified Arborist.
4. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights. All exterior lighting shall be sensitive to the impacts on the public park and the wood land across the street and the dark sky character of the neighborhood.
5. Prior to the issuance of a building permit, a materials' staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the neighborhood, neighboring properties and existing trees and landscaping during construction.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1302 N. Green Bay Road Owner(s) Ralph & Mary Gesualdo
 Architect John Krasnodebski Reviewed by: Jen Baehr
 Date 2/22/2023
 Lot Area 48216 sq. ft.

Square Footage of Proposed Residence:

1st floor 3415 + 2nd floor 1839 + 3rd floor 348 = 5602 sq. ft.

Design Element Allowance = 566 sq. ft.

Total Actual Design Elements = 375 sq. ft. Excess = 0 sq. ft.

Garage 852 sf actual ; 800 sf allowance Excess = 52 sq. ft.

Garage Width 23 ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Proposed Residence = 5654 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 5657 sq. ft.

DIFFERENTIAL = 3 sq. ft. **NET RESULT:**
Under Maximum

3 sq. ft. is

Allowable Height: 40 ft. Actual Height 34 ft. **0.05% under the
Max. allowed**

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 566 sq. ft.

Front & Side Porches = 229 sq. ft.
 Rear & Side Screen Porches = 0 sq. ft.
 Covered Entries = 89 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = 0 sq. ft.
 Individual Dormers = 57 sq. ft.
 Bay Windows = 0 sq. ft.

Total Actual Design Elements = 375 sq. ft. Excess Design Elements = 0 sq. ft.



Area of Request
1302 N. Green Bay Road



Area of Request
1302 N. Green Bay Road





THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS

PROJECT ADDRESS 1302 N. GREEN BAY

APPLICATION TYPE NEW HOME

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- ☐ East Lake Forest District ☒ Green Bay Road District ☐ Vine/Oakwood/Green Bay Road District
☐ Local Landmark Property or District ☐ Other

PROPERTY OWNER INFORMATION

RALPH & MARY GESUALDO

Owner of Property

1418 N. GREEN BAY RD.

Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60045

City, State and Zip Code

847. 812-1906

Phone Number

Fax Number

rmauro@iamilwaukee.com

Email Address



Owner's Signature

ARCHITECT/BUILDER INFORMATION

JOHN KRASNODEBSKI

Name and Title of Person Presenting Project

LANDMARK DEVELOPMENT CO.

Name of Firm

272 E. DEERPATH SUITE 334

Street Address

LAKE FOREST, IL 60045

City, State and Zip Code

847-812-9906

Phone Number

Fax Number

JKRAS@SBCGLOBAL.NET

Email Address



Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER ☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

☐ OWNER ☐ REPRESENTATIVE

L A K E F O R E S T
LANDMARK
D E V E L O P M E N T C O M P A N Y

ARCHITECTURE CONSTRUCTION DEVELOPMENT
272 EAST DEERPATH LAKE FOREST, IL
TELEPHONE: 847.615.0637 FAX: 847.615.9116

**HISTORIC PRESERVATION COMMISSION
STATEMENT OF INTENT
CERTIFICATE OF APPROPRIATENESS
1302 NORTH GREEN BAY ROAD, LAKE FOREST**

Date: January 12, 2023

PROJECT:
NEW CONSTRUCTION
1302 North Green Bay Road
Lake Forest, IL 60045

The Historic Preservation Commission Application is attached request for a new home located at 1302 North Green Bay Road.

Statement of Intent:

We are proposing a beautiful new home with a developed landscape plan that will improve the property and enhance the unique West Green Bay Road neighborhood and historic district.

The new home will be constructed of high-quality natural materials and will blend seamlessly with the fabric of the existing historic neighborhood with its mix of old and new homes. The new home is proposed in an English Country style with a lannon stone, cut limestone and wood shingle exterior with a slate roof. This style exists in many of the historic homes in the neighborhood.

The relationship of the new home to its 1.1-acre property will maintain the unique characteristics of this neighborhood. We have been sensitive in proposing improvements to this property to meet the needs of modern family living, while creating a sensitive architectural design of the new home and maintaining the streetscape of the private lane off North Green Bay Road.

Certificate of Appropriateness:

The first part of this application addresses a Certificate of Appropriateness for the proposed replacement structure. The proposed project satisfies the following relevant *Standards* for granting the Certificate of Appropriateness for replacement structure and will improve the overall appearance of and enhance the property. Detailed evidence addressing the fourteen standards for granting the request is provided below:

1. **Height.** The height of the central massing at 32ft is lower than the 40ft requirement with secondary roof lines transitioning down to 1 1/2 stories and is visually compatible with neighboring homes.

1302 North Green Bay Road, Lake Forest, IL 60045

L A K E F O R E S T
L A N D M A R K
D E V E L O P M E N T C O M P A N Y

ARCHITECTURE CONSTRUCTION DEVELOPMENT
272 EAST DEERPATH LAKE FOREST, IL
TELEPHONE: 847.615.0637 FAX: 847.615.9116

2. **Proportion of front façade.** The relationship of the width to height of the proposed homes massing is visually compatible with the neighboring homes.
3. **Proportion of openings.** The relationship of the width to height of the windows and doors in the proposed new home's elevations are well balanced in an asymmetrical composition of the English Country style.
4. **Rhythm of solids to voids in front façade.** The front façade of the proposed new home exemplifies an asymmetrical, informal composition with a strong center entrance marked by a swooping garden wall. The major mass has secondary wings which create a lower scale. The fenestration pattern is characterized by mulled casement windows.
5. **Rhythm of spacing and structures on streets.**
The proposed new home will be compatible with and will not adversely impact the neighborhood character. The distinguishing feature of this area is the relationship of the landscape to the built structures within the fabric of the picturesque country lanes beyond the bustle of Green Bay Road. A unique characteristic of this area is the predominance of Open Lands. The new house does not have a strong presence on the streetscape because it is set back and nestled in the mature trees and the courtyard. Due to the large, wooded lot sizes of the neighborhood, the impact of a new home is minimal. In addition, the high quality natural materials and details such as bays, dormers, brackets and shutters of the home that reference the historic architecture of the neighboring homes will allow it to blend in seamlessly.
6. **Rhythm of entrance porches.** A common theme throughout many of historic designs is the timbered porch element utilized on the first floor which is included in this design.
7. **Relationship of materials and texture.** The new home will be constructed of high-quality natural materials and will blend seamlessly with the fabric of the existing neighborhood and its mix of predominately older homes. It is proposed in lannon stone and limestone with wood windows and a slate roof. The porch elements are proposed in stained wood.
8. **Roof shapes.** The new home in the English Country style has a combination of gabled roof and hipped forms for the primary massing and hipped roof forms for the secondary massing which serve to transition to a lower the overall appearance and creates scale.
9. **Walls of continuity.** The new home's masonry walls form an enclosure along the street and ensure visual compatibility with the neighboring properties. The proposed front facade design of the new home will enhance the property. The articulation of the walls, dormers, bay windows, and porches create a cohesive wall of continuity which will improve the appearance of the property from the entrance off the access road and create an improved line of sight of the property from the private lane.
10. **Scale of structure.** The size and mass of the proposed new home is compatible in relation to the open space of the environs, along with the articulation of all four elevations, fenestration patterns, dormers and porches are visually compatible with the neighboring properties.

L A K E F O R E S T
L A N D M A R K
D E V E L O P M E N T C O M P A N Y

ARCHITECTURE CONSTRUCTION DEVELOPMENT
272 EAST DEERPATH LAKE FOREST, IL
TELEPHONE: 847.615.0637 FAX: 847.615.9116

- 11. Directional expression of front elevation.** The directional expression of the front elevation of the proposed new house with its L shape, creates a landscaped gravel courtyard with the garage appearing as a coach house. The orientation to the street will be preserved.
- 12. The distinguishing original qualities or character of the property, structure, site or object and its environment shall not be destroyed.** By creating a new structure designed sensitively in a historic style compatible with its neighbors, sited within a landscaped courtyard, and preserving the existing driveway access, the unique character of the property will be preserved and enhanced
- 13. Every reasonable effort shall be made to protect and preserve archeological resources affected by, or adjacent to any project.** Agreed.
- 14. In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for compatibility.** Our collective goal for the design of this project is to create a subdued, understated structure within the landscape. This integration of the house and landscape has precedence with examples of historic architectural design and would contribute to the rich architectural heritage of Lake Forest. The new home's high quality natural materials, sympathetic massing, multi-level roof heights, gabled and hipped roof forms, all serve to preserve and enhance the character of the property.
- 15. Repair to deteriorated features.** This standard does not apply.
- 16. Surface cleaning.** This standard does not apply.
- 17. Reversibility of additions and alterations.** This standard does not apply.

In conclusion, the new home is a significant improvement to the historic property and will add significant value to the property. We have created a sensitive design, which responds to and enhances this property and its distinctive setting.

Please note the enclosed package includes further information for your review. If you have any questions, please contact me at 847-615-0637.

Sincerely,
LAKE FOREST LANDMARK DEVELOPMENT

John Krasnodebski, President



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- ☒ Stone
☐ Brick
☐ Wood Clapboard Siding
☐ Wood Shingle
☐ Cementitious Stucco
☐ Other _____

Color and/or Type of Material _____

Foundation Material

Exposed Foundation Material CONCRETE / STONE

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Color of Finish BRONZE

Finish and Color of Windows

- ☐ Wood (recommended)
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other BRONZE

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars (recommended)
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone
☐ Brick
☐ Wood
☐ Other _____

Window Trim

- ☒ Limestone
☐ Brick
☐ Wood
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☒ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☒ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☒ Copper
- ☐ Other _____
- ☐ Sheet Metal

Color of Material _____

Gutters and Downspouts

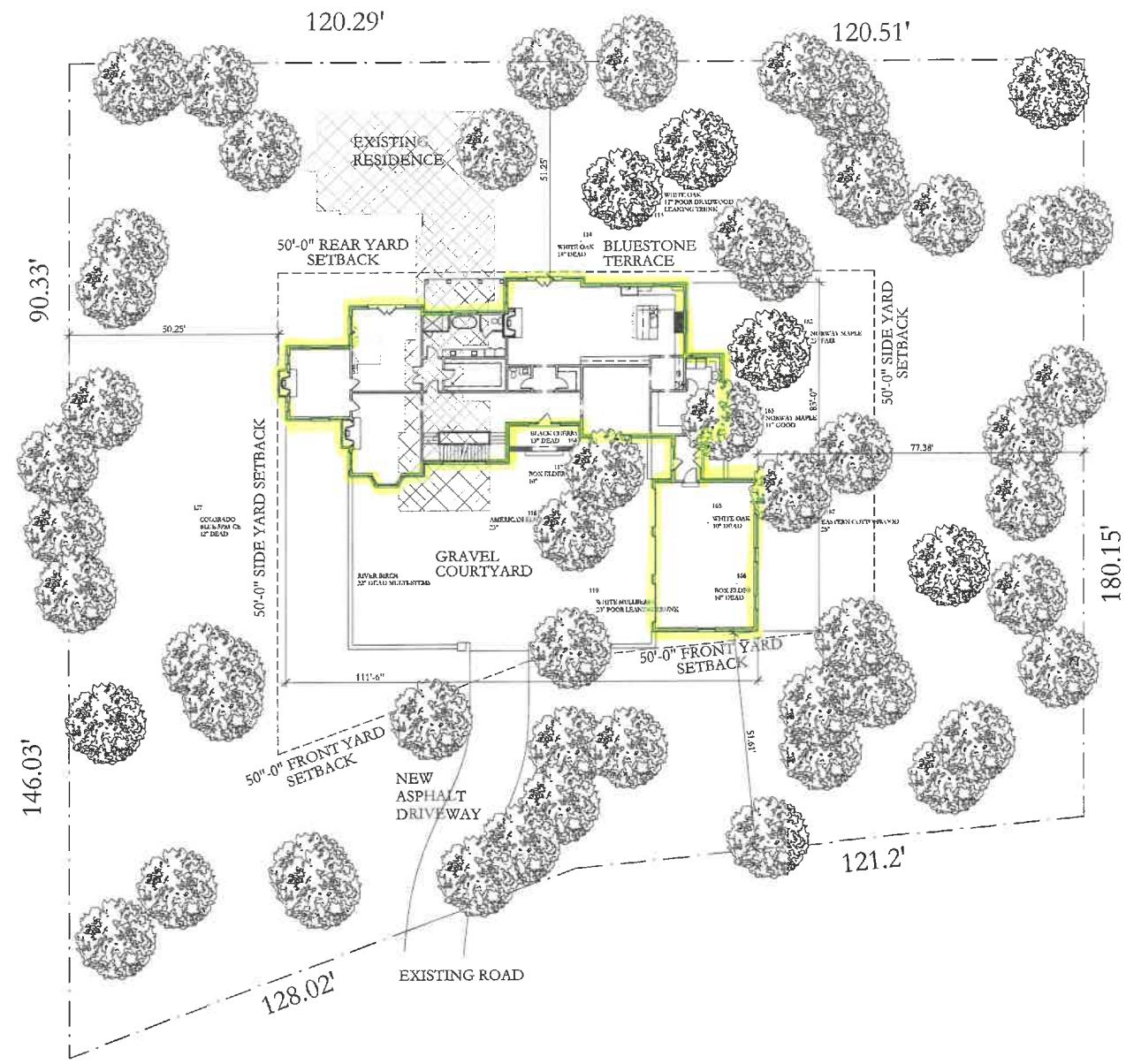
- ☒ Copper
- ☐ Aluminum
- ☐ Other _____

Driveway Material

- ☐ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☒ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☒ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____



SITE PLAN

SCALE: 1"=16'-0"

ISSUED FOR REVIEW:
ISSUED FOR PERMIT:
ISSUED FOR BID:
ISSUED FOR CONSTRUCTION:
REVISED:

GESUALDO RESIDENCE

1302 N. GREEN BAY
LAKE FOREST, ILLINOIS 60045

LANDMARK
DESIGN
272 DEERPATH RD. LAKE FOREST, IL
TEL: 847.615.0637 FAX: 847.615.9116

PROPOSED SOUTH (FRONT) ELEVATION



FRONT ELEVATION

SCALE: 1/4"=1'-0"

ISSUED FOR REVIEW:
ISSUED FOR PERMIT:
ISSUED FOR BID:
ISSUED FOR CONSTRUCTION:
REVISED:

GESUALDO RESIDENCE

LANDMARK
DANCE COMPANY

272 DEERPATH RD. LAKE FOREST, IL
TEL: 847.615.0637 FAX: 847.615.3116

A-1

© COPYRIGHT 2023

PROPOSED SOUTH (FRONT) COLOR ELEVATION





LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

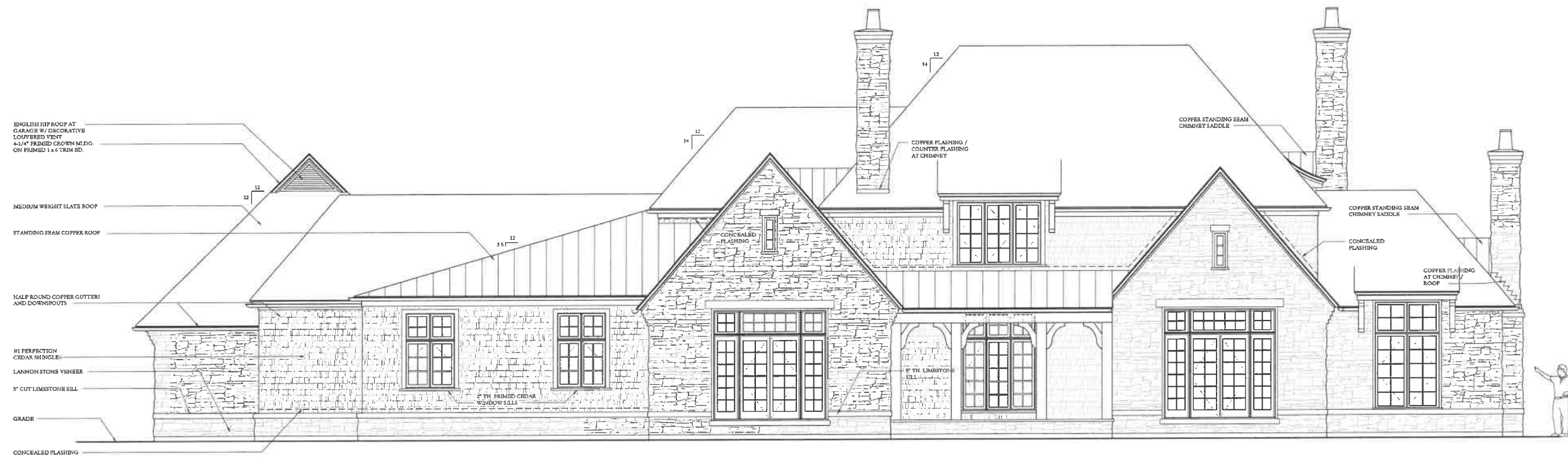
ISSUED FOR REVIEW:
ISSUED FOR PERMIT:
ISSUED FOR BID:
ISSUED FOR CONSTRUCTION:
REVISED:

GESUALDO RESIDENCE

1302 N. GREEN BAY
LAKE FOREST, ILLINOIS 60045

LANDMARK

272 DEERPATH RD. LAKE FOREST, IL
TEL: 847.616.0637 FAX: 847.616.0116



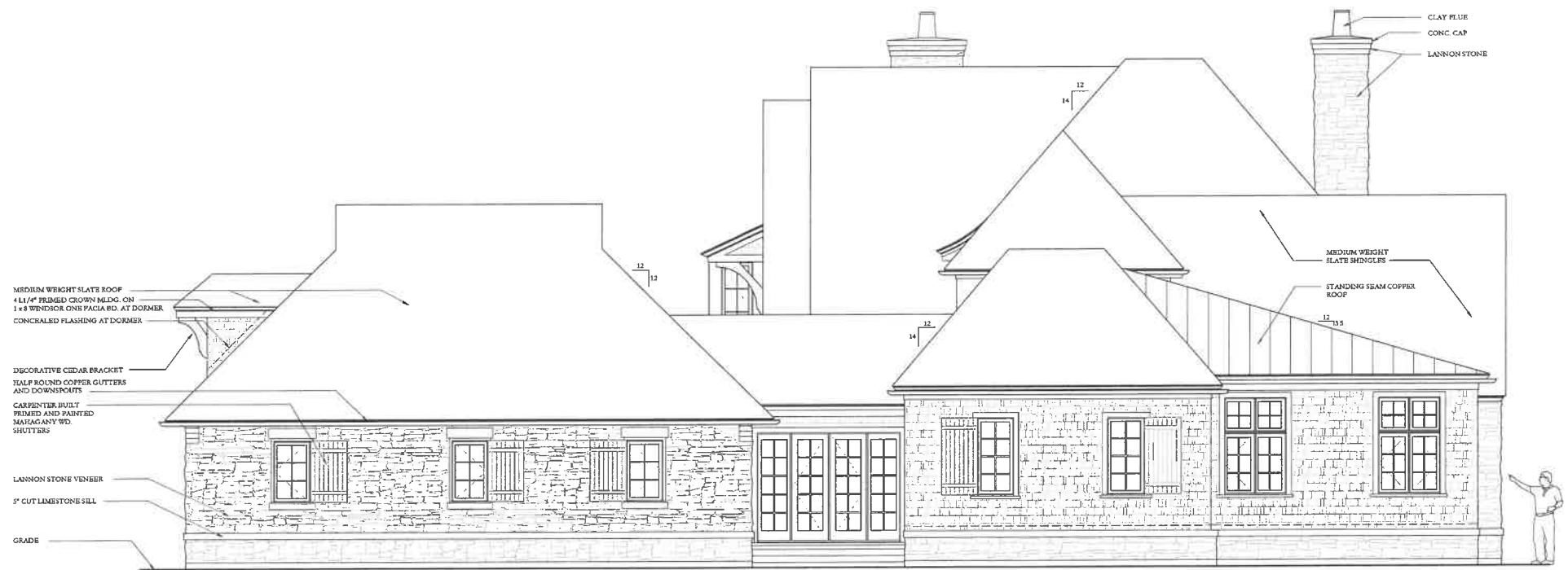
SCALE: 1/4"=1'-0"

ISSUED FOR REVIEW:
ISSUED FOR PERMIT:
ISSUED FOR BID:
ISSUED FOR CONSTRUCTION:
REVISED:

GESUALDO RESIDENCE

1302 N. GREEN BAY
LAKE FOREST, ILLINOIS 60045

LANDMARK
OFFICE BUILDING COMPANY
272 DEERPATH RD. LAKE FOREST, IL
TEL: 847.615.0637 FAX: 847.615.9110



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

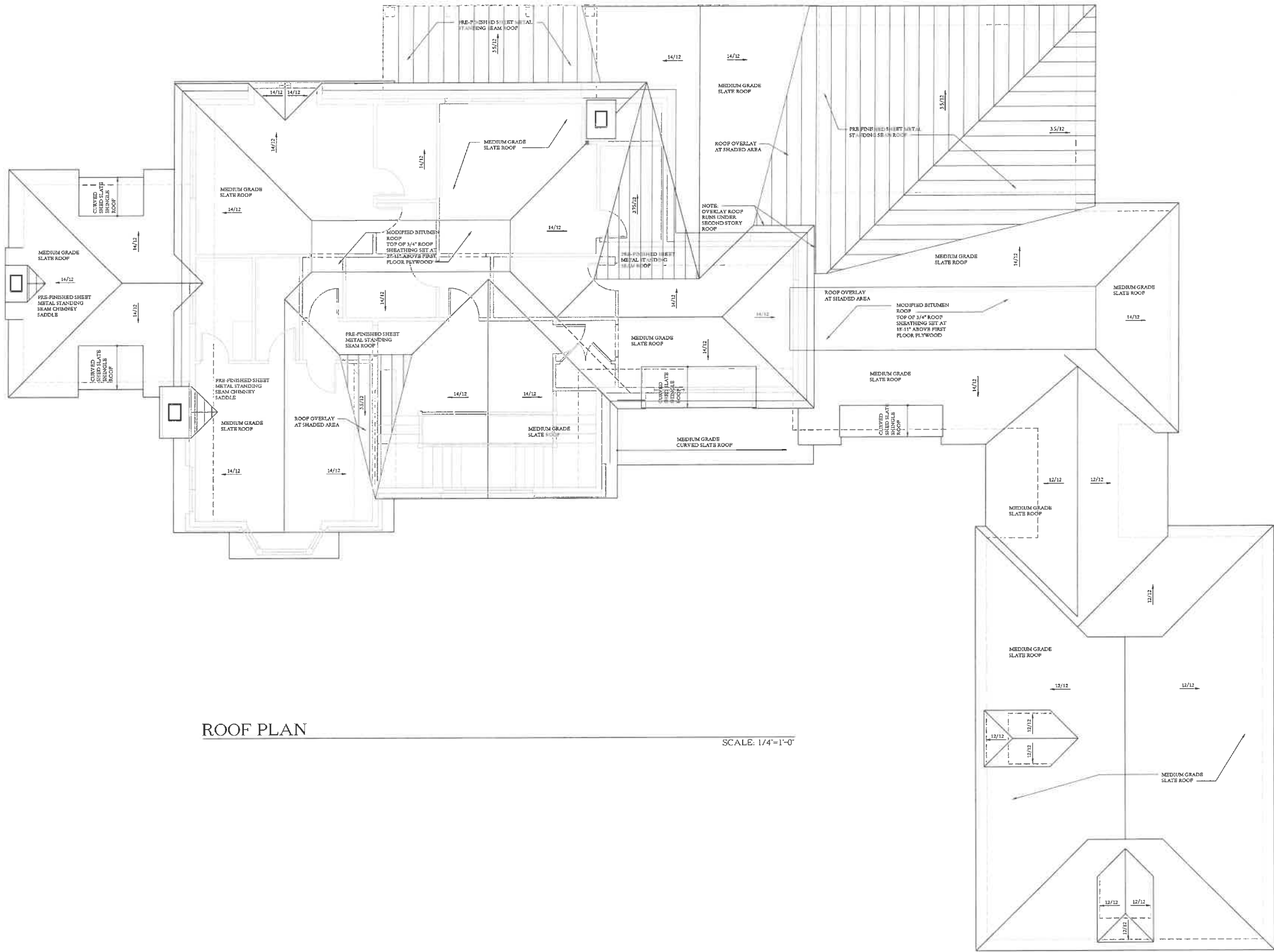
ISSUED FOR REVIEW:
ISSUED FOR PERMIT:
ISSUED FOR BID:
ISSUED FOR CONSTRUCTION:
REVISED:

GESUALDO RESIDENCE

1302 N. GREEN BAY
LAKE FOREST, ILLINOIS 60045

LANDMARK

272 DEERPATH RD LAKE FOREST, IL
TEL: 847.615.0637 FAX: 847.615.9116



ISSUED FOR REVIEW:
ISSUED FOR PERMIT:
ISSUED FOR BID:
ISSUED FOR CONSTRUCTION:
REVISED:

GESUALDO RESIDENCE

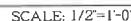
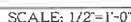
1302 N. GREEN BAY
LAKE FOREST, ILLINOIS 60045

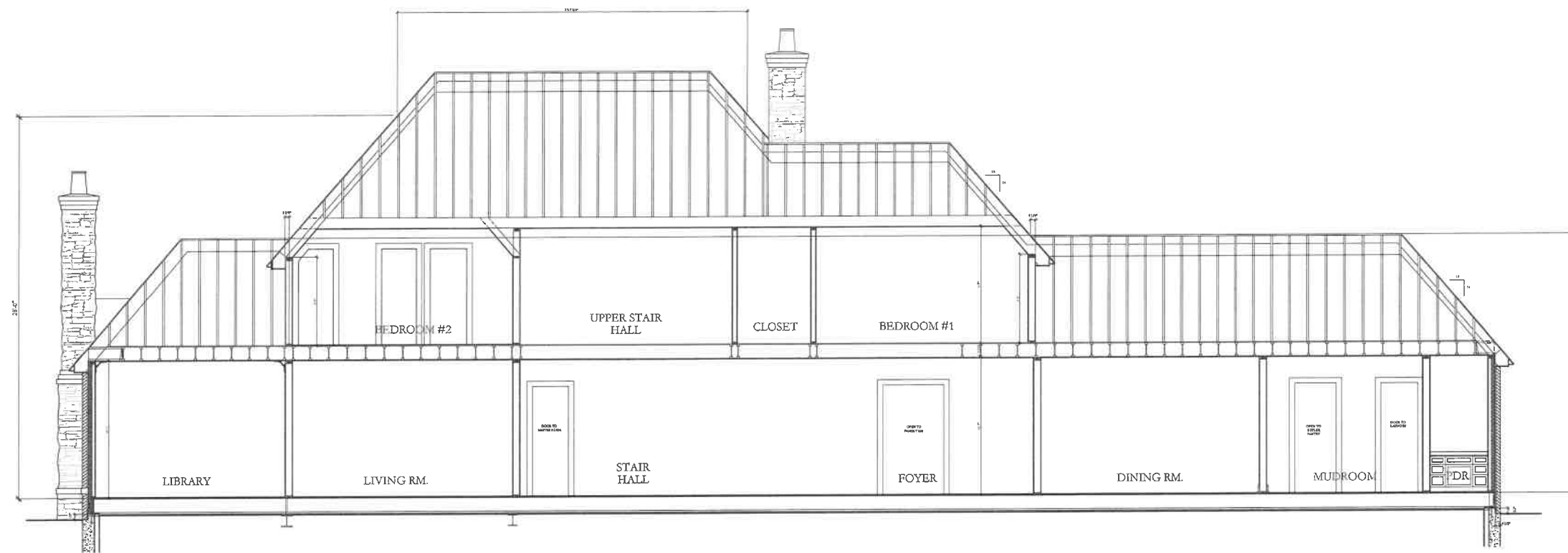
LANDMARK

272 DEERPATH RD. LAKE FOREST, IL
TEL: 847.615.0637 FAX: 847.615.9116

1302 N. GREEN BAY
LAKE FOREST, ILLINOIS 60045

A-10





LONGITUDINAL SECTION

SCALE: 1/4"=1'-0"

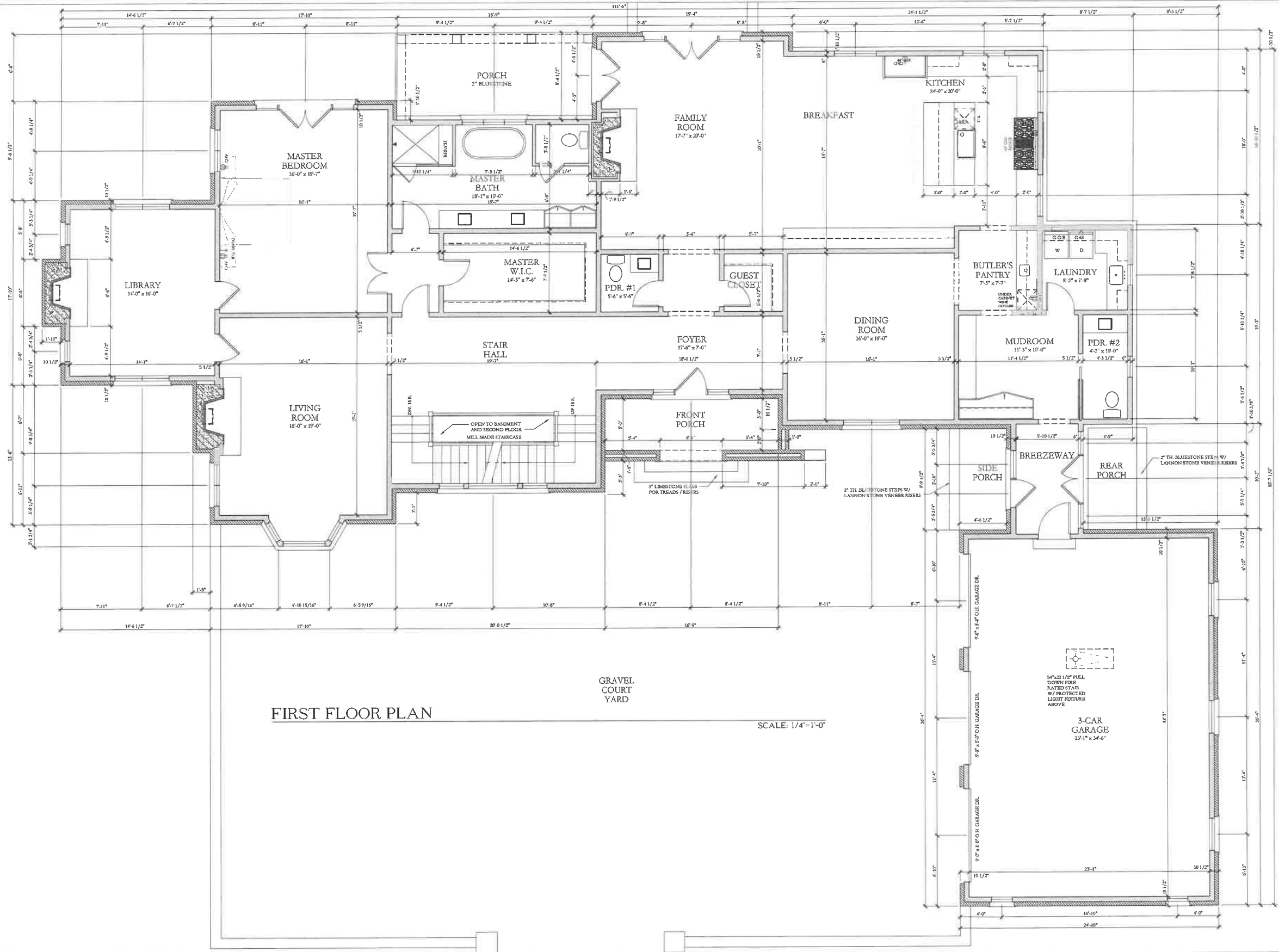
ISSUED FOR REVIEW:
ISSUED FOR PERMIT:
ISSUED FOR BID:
ISSUED FOR CONSTRUCTION:
REVISED:

GESUALDO RESIDENCE

1302 N. GREEN BAY
LAKE FOREST, ILLINOIS 60045

LANDMARK

272 DEERPATH RD. LAKE FOREST, IL
TEL: 847.615.6637 FAX: 847.615.9116



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

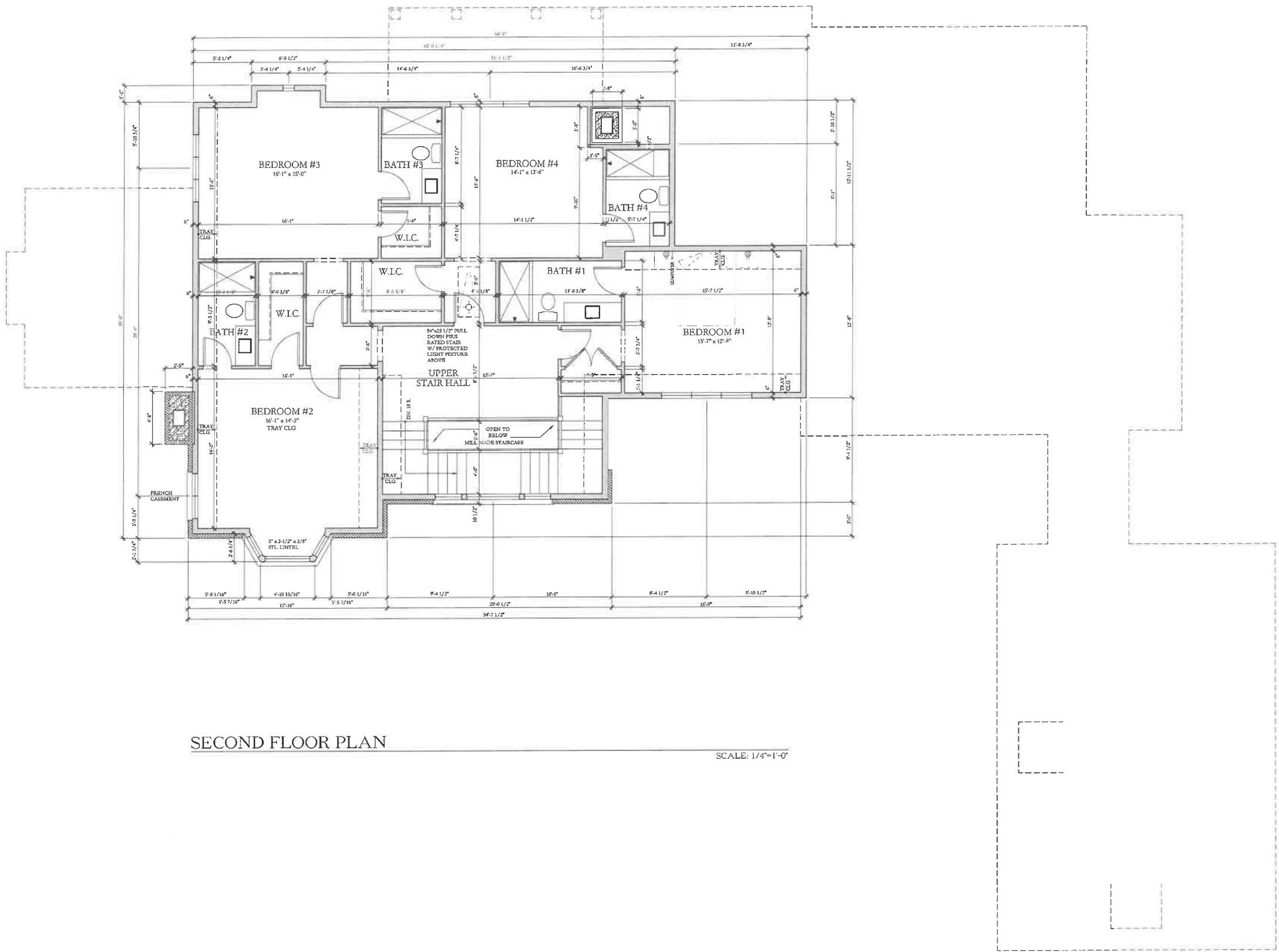
ISSUED FOR REVIEW:
ISSUED FOR PERMIT:
ISSUED FOR BID:
ISSUED FOR CONSTRUCTION:
REVISED:

GESUALDO RESIDENCE
1302 N. GREEN BAY
LAKE FOREST, ILLINOIS 60045

LANDMARK

DESIGN

272 DEERPATH RD. LAKE FOREST, IL
TEL: 847.615.0637 FAX: 847.615.9116



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

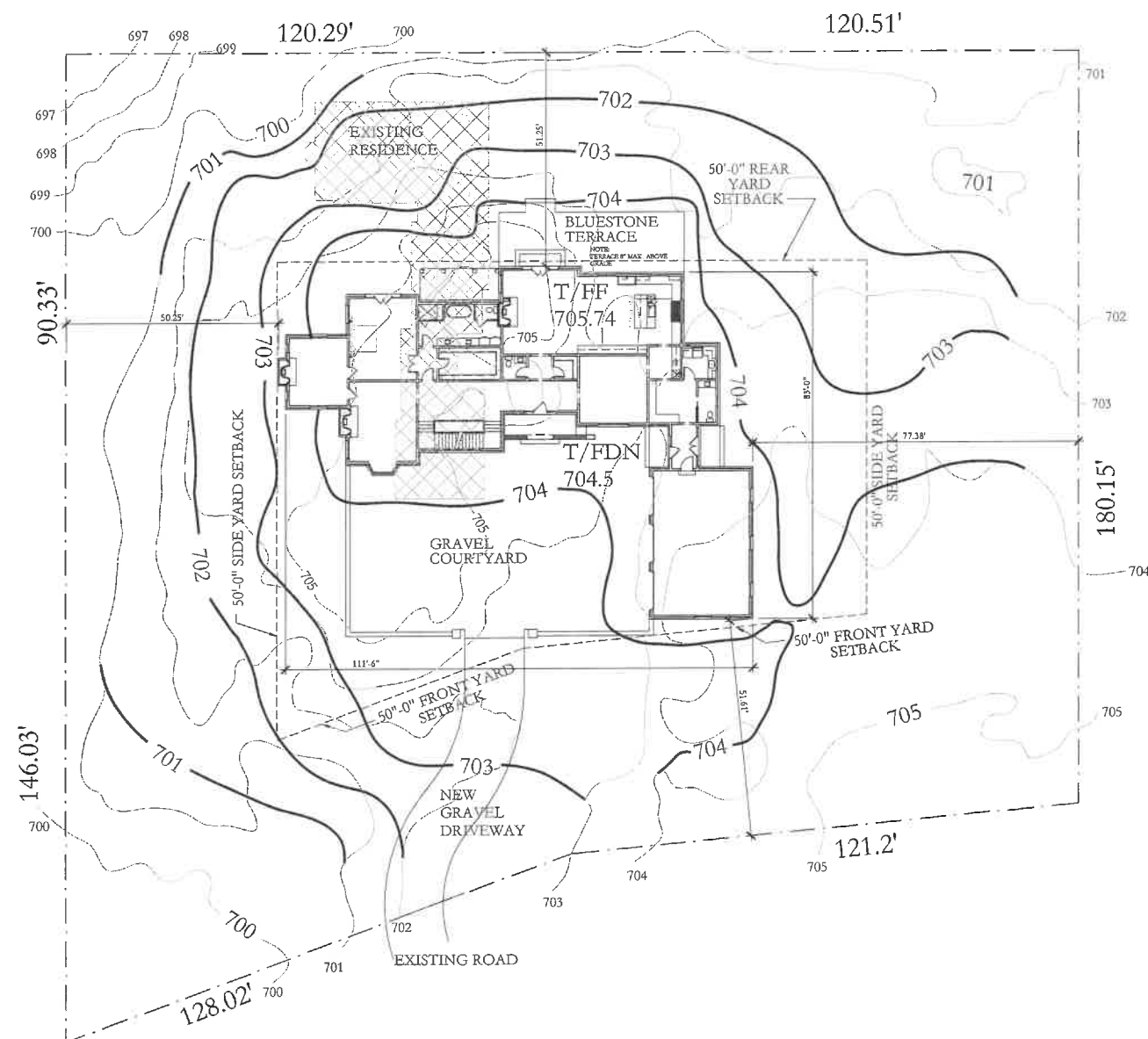
ISSUED FOR REVIEW:
ISSUED FOR PERMIT:
ISSUED FOR BID:
ISSUED FOR CONSTRUCTION:
REVISED:

GESUALDO RESIDENCE

1302 N. GREEN BAY
LAKE FOREST, ILLINOIS 60045

LANDMARK

272 DEERPATH RD. LAKE FOREST, IL
TEL: 847.615.0637 FAX: 847.615.9116



GRADING PLAN

SCALE: 1"=16'-0"

© COPYRIGHT 2023

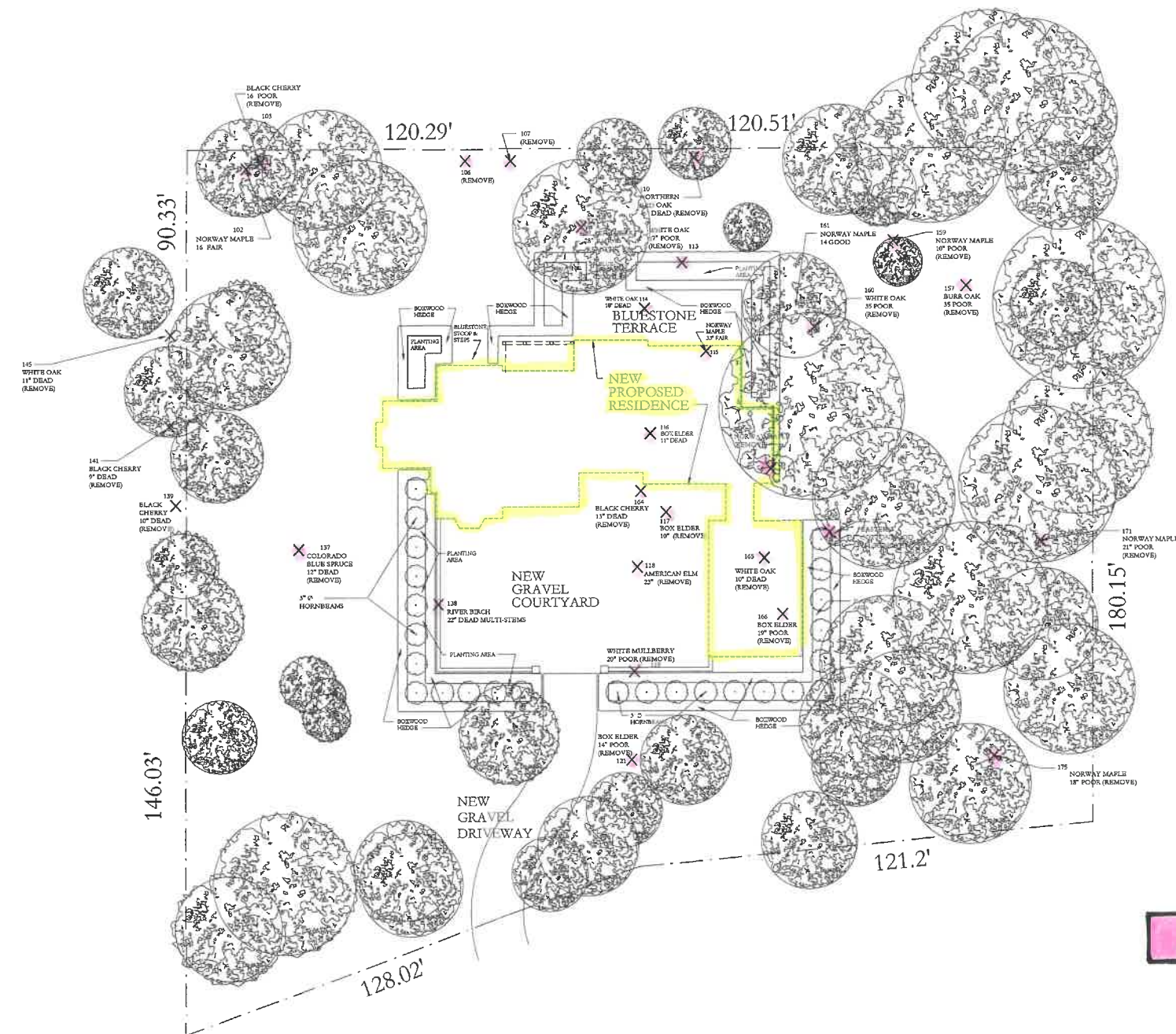
ISSUED FOR REVIEW:
ISSUED FOR PERMIT:
ISSUED FOR BID:
ISSUED FOR CONSTRUCTION:
REVISED:

GESUALDO RESIDENCE

1302 N. GREEN BAY
LAKE FOREST, ILLINOIS 60045

LANDMARK

272 DEERPATH RD. LAKE FOREST, IL
TEL: 847.615.0637 FAX: 847.615.9116



 TREES PROPOSED FOR REMOVAL

1302 N. GREEN BAY GESUALDO RESIDENCE TREES TO BE REMOVED

Tree #	Date Added	Common Name	Latin Name	DBH	Condition	Notes	Latitude	Longitude	Old Tree Tags if Present
103	12/16/2022	Black Cherry	Prunus serotina		16 Poor	Deadwood	42.26532	-87.8535	458
106	12/16/2022	Colorado Blue Spruce	Picea pungens 'glauca'		8 Dead		42.26532	-87.8533	456
107	12/16/2022	Colorado Blue Spruce	Picea pungens 'glauca'		8 Dead		42.26531	-87.8533	456
110	12/16/2022	Northern Red Oak	Quercus rubra		46 Dead	Multiple Stems	42.26532	-87.853	
113	12/16/2022	White Oak	Quercus alba		17 Poor	Deadwood, Leaning trunk	42.26532	-87.853	
114	12/16/2022	White Oak	Quercus alba		18 Dead		42.26525	-87.8531	439
115	12/16/2022	Norway Maple	Acer platanoides		33 Fair	Cavity, Co-dominant Limbs, Included Bark	42.26521	-87.8531	
116	12/16/2022	Boxelder	Acer negundo		11 Dead		42.26518	-87.853	437
117	12/16/2022	Boxelder	Acer negundo		12 Fair	Deadwood, Leaning trunk	42.26513	-87.8531	425
118	12/16/2022	American Elm	Ulmus americana		23 Good		42.26507	-87.8531	423
119	12/16/2022	White mulberry	Morus alba		20 Poor	Cavity, Leaning trunk	42.26503	-87.8531	421
121	12/16/2022	Boxelder	Acer negundo		14 Poor	Deadwood, Leaning trunk	42.26495	-87.8531	409
137	12/16/2022	Colorado Blue Spruce	Picea pungens 'glauca'		12 Dead		42.26489	-87.8534	461
138	12/16/2022	River Birch	Betula nigra		22 Dead	Multiple Stems	42.26503	-87.8534	461
							42.265	-87.8533	471
							42.26508	-87.8535	470
							42.26515	-87.8535	468
							42.2652	-87.8535	466
							42.26522	-87.8528	453
							42.26525	-87.8528	446
							42.2652	-87.8529	
							42.2651	-87.853	426
							42.26508	-87.8531	
							42.26504	-87.853	
							42.26499	-87.853	
							42.26505	-87.8529	427
							42.26504	-87.8527	431
							42.26489	-87.8527	
157	12/16/2022	Bur Oak	Quercus macrocarpa		35 Poor	Deadwood			
159	12/16/2022	Norway Maple	Acer platanoides		10 Poor	Cavity, Deadwood			
160	12/16/2022	White Oak	Quercus alba		35 Poor	Deadwood, Leaning trunk			
163	12/16/2022	Norway Maple	Acer platanoides		11 Good				
164	12/16/2022	Black Cherry	Prunus serotina		13 Dead	Fallen on garage/fence/drive			
165	12/16/2022	White Oak	Quercus alba		10 Dead				
166	12/16/2022	Boxelder	Acer negundo		19 Poor	Major Crack, Trunk unstable and held up by surrounding trees, Weak attachments			
167	12/16/2022	Eastern cottonwood	Populus deltoides		25 Good	Deadwood			
171	12/16/2022	Norway Maple	Acer platanoides		21 Poor	Cavity, Deadwood, Leaning trunk			
175	12/16/2022	Norway Maple	Acer platanoides		18 Poor	Cavity, Multiple Stems			

Agenda Item 4

435 Illinois Road Porch Removal and Replacement, Addition, Exterior Alterations

Staff Report
Historic Resource Survey
Building Scale Summary Sheet
Vicinity Map
Air Photo

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Site Plan
Existing East (Front) Elevation
East (Front) Elevation – With Demolition
Proposed East (Front) Elevation
Proposed Replacement Porch - Enlarged
Existing South Elevation
South Elevation – With Demolition
Proposed South Elevation
Existing West Elevation
West Elevation – With Demolition
Proposed West Elevation
Existing North Elevation
North Elevation – With Demolition
Proposed North Elevation
Proposed Roof Plan
Building Sections
Perspective Renderings
Existing First Floor Plan
Proposed First Floor Plan
Existing Second Floor Plan
Proposed Second Floor Plan
Proposed Hardscape Plan
Conceptual Landscape Plan
Images of Existing Residence & Neighboring Homes

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grinnell and Members of the Historic Preservation Commission
DATE:	February 22, 2023
FROM:	Jennifer Baehr, Planner
SUBJECT:	435 E. Illinois Road – Porch Replacement, Addition, Exterior Alterations, and Partial Demolition

PROPERTY OWNERS

Allen and Beth Laufenberg
435 Illinois Road
Lake Forest, IL 60045

PROPERTY LOCATION

435 Illinois Road

HISTORIC DISTRICTS

East Lake Forest Local &
National Historic Districts

PROJECT REPRESENTATIVE

Diana Melichar, architect
207 E. Westminster
Lake Forest, IL 60045

SUMMARY OF THE PETITION

A Certificate of Appropriateness is requested to allow removal of the existing porch on the front of the home and construction of a replacement porch across the front of the house and wrapping around to the north side of the home. A single-story family room addition is proposed on the southwest corner of the home along with related, limited demolition. Various exterior alterations are also proposed. Approval of the conceptual landscape plan is requested.

DESCRIPTION OF PROPERTY AND SURROUNDING AREA

The property is located on the west side of Illinois Road, between College Road and Heather Lane, and is bordered by the McClory bike path to the west with the railroad tracks beyond. The property is 2.97 acres in size. The site is generally rectangular in shape and is approximately 198 feet wide and 625 feet in length.

The residence on the property was built in 1895 in the Queen Anne architectural style and is known as the Edwin S. Wells Jr. House. The original architect and builder are unknown. Additional information and history on the property is provided in the Historic Resource Survey and the petitioner's statement of intent included in the Commission's packet.

Several additions and alterations have been made to the residence over the years. Although it is unclear if a front porch was part of the home as originally constructed in 1895, a porch is shown wrapping around the front and south sides of the home on a historic map from 1917. This porch was removed sometime between 1917 and 1929. It is believed that the existing front porch near the southeast corner of the home was constructed in 1939 based on available City permit records. The attached two-car garage and porch on the north side of the home were constructed in 1999. Various interior alterations and window replacement were completed in 2013.

STAFF EVALUATION

Porch Removal and Replacement Porch

As noted above, the existing porch on the front of the house was a later addition and is not original to the home. The existing porch is very different in style, proportion and detailing from the home. The petitioner's statement of intent describes the front porch as being in an awkward location, not addressing the front entry to the home. With the unusual placement of the porch on the front elevation, the front entrance is often overlooked and instead, visitors enter the home through the side door on the north facade.

The petitioner is proposing to completely remove the existing front porch and replace it with a porch that is more in keeping with the architectural style of the home. The proposed single-story porch will extend across the entire length of the front of the home and wrap around a portion of the north side of the house. The proposed porch will help to conceal a ramp on the northeast of the home which is desired for accessibility to the home. The proposed porch will highlight the front entrance and provide more balance across the primary façade of the home. The proposed porch reflects delicate spindlework detailing, which is typical of the Queen Anne architectural style.

Family Room Addition

As noted in the petitioner's statement of intent, the existing kitchen and family room have very little connection to the expansive rear yard and other primary living spaces on the first floor. The petitioner is proposing a single-story addition on the southwest corner of the home and related demolition. The addition will facilitate relocation of the kitchen, the family room, and dining area to a more centralized location on the first floor. The addition also provides a more direct connection between the house and the rear yard, offering expansive views and ample natural light into the interior spaces.

Exterior Alterations

Currently, the projecting bay on the north elevation of the home is squared off on the first floor and does not follow the original angled configuration of the bay. Based on historic maps, the squared off addition of the bay was completed sometime between 1939 and 1967. The petitioner is proposing to remove the squared off portion of the bay and balcony above and construct new walls on the first floor that follow the original angled configuration.

The existing fireplace and chimney in the dining room that is visible on the rear elevation will be removed. The existing railing on the flat roof areas on the south side of the home will also be removed.

Site Plan

The driveway configuration will be modified to create a parking area near the northeast corner of the home. The portion of the driveway that extends along the north side of the home will be straightened. A dry stacked stone retaining wall is proposed on the north side of the new parking area at the northeast corner of the home. The retaining wall is 20 inches tall. New bluestone terraces and walkways are proposed along the front and south sides of the home. Stone walls and piers are proposed around the terrace on the southwest corner of the house. The proposed stone piers are 2 feet tall, and the stone walls are 20 inches tall. Details of the proposed driveway configuration, terraces and walls are included on the hardscape plan included in the Commission's packet.

Findings

A staff review of the Historic Preservation standards in the City Code is provided below. Findings in response to the standards are offered below for the Commission's consideration.

Standard 1 – Height.

This standard is met. The existing home is 38 feet and 8 inches tall; no changes are proposed to the height of the home. The proposed porch is 16 feet and 7 inches tall, and the proposed addition is 21 feet and 9 inches tall. Both the replacement porch and addition are significantly lower in height in comparison to the existing home.

Standard 2 - Proportion of Front Façade.

This standard is met. The replacement porch will improve the proportions and balance across the front façade.

Standard 3 – Proportion of Openings.

This standard is met. The existing residence features a variety of opening sizes and proportions. The proposed openings on the addition and reconfigured north bay present proportions that are consistent with other openings on the home.

Standard 4 – Rhythm of Solids to Voids.

This standard is generally met. The existing home has mostly single openings, and groupings of openings are only found on the east and south gables and on the garage. The proposed addition has groupings of double hung windows presenting larger expanses of openings to take advantage of views and provide natural light into the interior.

Standard 5 – Rhythm of Spacing on the Street.

This standard is met. The existing home is setback from the street approximately 128 feet. The existing porch on the front of the home is 18 feet deep. The proposed porch is approximately 11 feet and 7 inches deep. Given the distance of the home from the street and the narrower depth of the replacement porch the spacing on the street will not be negatively impacted. At its closest point, the proposed addition on the south side of the home is approximately 86 feet from the south property line and does not project beyond the most southern wall of the existing home.

Standard 6 – Rhythm of Entrance Porches.

This standard is met. As noted above, the proposed replacement porch will extend across the entire length of the front of the home and wrap around a portion of the north side of the house. A wrap-around single-story porch is very common for the Queen Anne architectural style. The replacement porch appropriately highlights the front entrance of the home and features ornamentation that is in keeping with the architectural style.

Standard 7 – Relationship of Materials and Textures.

This standard is met. The proposed materials are consistent with the existing home. The replacement porch will be painted wood. The proposed addition will have wood clapboard siding, a cedar shake roof, wood windows and doors with interior and exterior muntins and wood trim and soffits. The gutters and downspouts are copper.

Standard 8 – Roof shapes.

This standard is generally met. The existing home has a mix of hip, gable, and flat roofs. The

proposed porch will have a flat roof with a small gable element above the front entrance. The addition will have a combination of flat and hip roof forms. On the front elevation, the existing house has a two-story turret-like element with a faceted hip roof. The proposed addition has a similar massing and roof form to the turret-like element on the front elevation, but unlike the existing turret-like element, the proposed element is a single-story mass. The proposed faceted hip roof form appears a bit contrived and squat on the single-story addition, whereas the turret-like element on the front elevation presents a more vertical, slender appearing form.

- Commission input is requested on the roof forms proposed on the family room addition.

Standard 9 – Walls of continuity.

This standard is generally met. The replacement porch and addition follow the architectural style, detailing and exterior materials of the existing home. As noted above, there may be some benefit to refining the roof form on the family room addition.

Standard 10 – Scale.

This standard is met. The project as proposed complies with the square footage limitations. Based on the lot size, a residence of up to 12,236 square feet is permitted on the site. In addition, design elements of up to 1,224 square feet and a garage of up to 800 square feet are permitted. Based on the City's building scale calculation, the existing house, with the proposed porch and proposed additions, is under the allowable square footage by 3,171 square feet, equal to 26 percent of the allowable square footage.

Standard 11 – Directional Expression of Front Elevation.

This standard is met. The replacement porch supports the directional expression of the front elevation, whereas the existing porch presents a very deep and heavy element on the front façade that presents an unbalanced appearance.

Standard 12 – Preservation of Historic Material.

This standard is met. The proposed porch and addition do not impact any distinguishing original elements of the existing residence.

Standard 13 – Preservation of Natural Resources.

This standard is met. The petitioner has submitted an application for a tree removal permit. The tree is located on the south side of the house and appears to be near the proposed addition. Information on the tree or trees proposed for removal will be required prior to the issuance of a building permit to determine whether any replacement inches are required to be planted on the property.

The conceptual landscape plan reflects proposed plantings along the foundation of the replacement porch, the family room addition, on the north side of the home and around the new terraces on the south side of the house. New plantings are also proposed along the north side of the driveway and new parking area at the northeast corner of the house. The proposed plantings include a mix of deciduous, evergreen and ornamental trees. Deciduous and evergreen shrubs are also proposed.

Standard 14 – Compatibility.

This standard is met. The proposed style, architectural detailing, proportions and exterior materials, of the replacement porch and addition are compatible with the existing residence.

Standard 15 – Repair to Deteriorated Features.

This standard is not applicable to this request.

Standard 16 – Surface Cleaning.

This standard is not applicable to this request.

Standard 17 – Integrity of Historic Property.

This standard is met. The integrity of the property is not threatened by the proposed porch and addition. The proposed porch, rear addition, and various alterations are designed in a manner that is compatible with the character of the property, improve the appearance of the home, and enhance the livability of the house for the current owners. The proposed work represents a high-quality investment in an important historic property.

PUBLIC COMMENT

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Department of Community Development to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, staff has not received any public comment on this petition.

RECOMMENDATION

Grant a Certificate of Appropriateness approving the removal of the existing front porch, construction of a replacement porch, limited demolition of elements around the house, a single-story family room addition, associated exterior alterations, a conceptual landscape plan, and the overall site plan based on the findings detailed in this staff report and subject to the following conditions of approval.

1. Consideration shall be given to simplifying the massing and roof form of the family room addition to avoid the appearance of a short, squat element in contrast to the elegant, vertical character of the overall residence.
2. Plans submitted for permit must reflect the project as presented to the Commission with the modification noted above. If any additional modifications are proposed in response to Commission direction or as a result of design development, plans clearly detailing the areas of change must be submitted at the time of submission for permit, along with the plans originally presented to the Commission, and will be subject to review by staff, in consultation with the Chairman as appropriate, to verify that the plans are consistent with the intent of the Commission and the approvals granted.
3. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted, any trees identified for removal shall be identified and will be subject to review and approval by the City's Certified Arborist. The plan shall at a minimum provide for foundation plantings around the porch and addition and if required, replacement trees inches.

4. Prior to the issuance of a building permit, a plan to protect trees and vegetation identified for preservation during construction must be submitted and will be subject to review and approval by the City's Certified Arborist.
5. Details of all exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
6. Prior to the issuance of a building permit, a materials' staging, and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the neighborhood, neighboring properties and existing trees and landscaping during construction.



City of Lake Forest, Illinois

Historic Resources Survey Form

ID: 2367

Property Address:

Street: 435 E ILLINOIS RD
City: Lake Forest **State:** Illinois
County: Lake

Historic Property Name: Edwin S. Wells, Jr. House

Original Owner: Edwin S. Wells

Other Previous Owners: SAWLE, CORNELIA BOWMAN

Present Owner: LAUFENBERG, ALLEN G

Current Property Name:

Resource Type: Building

Date of Construction: 1895

Use, Original: Single Family Residence

Use, Present: Single Family Residence

Theme: Domestic

Secondary Theme: 19th Century Architecture

Style: Queen Anne

Secondary Style: Victorian

Architect/Engineer: Unknown

Builder/Contractor: unknown

Landscape Architect:



Photo Name: May 1995

Demolished: **Date:**

Zoning District: R3

Subdivision: SUB OF LOTS 237

Subdivided from:

Current Property Size (est.): 2.97 acres

Original Property Size (est.):

Facade Easement?:

Held by:

Conservation Easement?:

Held by:

Plan Shape: Irregular

Number of Stories: 2.5

Structural Framing:

Foundation Material:

Facade Material: Clapboard

Roof Form: Gable

Roof Material: Asphalt Shingle

Primary Window Type: Double Hung

Porches: Open porch at front

Integrity: Good

Condition: Good

Decorative Features & Surfacing:

The dominant gable with cornice returns, stringcourse, and two-story polygonal bay are some of the Queen Anne detailing.

DECORATIVE SURFACING: Wood shingles at gable ends



City of Lake Forest, Illinois

Historic Resources Survey Form

ID: 2367

Local Register:

Local Historic District:

Local Ordinance Historic District

Contributing Significance to Local District:

Contributing

Contributing Significant Resources:

Edwin S. Wells, Jr. House - 1895

Is this Property Eligible for Local Landmark Designation?:

Local Landmark Designation:

Is this Property Identified as a Historic Resource located outside the Local Historic District?:

Other Districts:

Historic Residential and Open Space Preservation District

National Register:

National Register Historic District:

Lake Forest

Contributing Significance to National District:

Contributing Significant Resources:

Is this Property Eligible for National Register Listing?:

Individual National Register Listing :

Other Designations:

History and Significance:

This property is identified as a contributing structure to the Historic District. The existing house, constructed in 1895, is an exemplification of the Queen Anne style and is distinguished by its overall quality of design, detail, materials and craftsmanship. This building possesses a high level of integrity making it worthy of preservation or restoration.

Edwin S Wells was President of Wells & Faulkner.

The Queen Anne style was the dominant style of domestic architecture during the period from about 1880 to 1900. The style was named and popularized by a group of 19th century English architects led by Richard Norman Shaw. The style was spread throughout the country by pattern books and the first architectural magazine, "The American Architect and Building News." The expanding railroad network also helped popularize the style by making pre-cut architectural details conveniently available through much of the nation.

The style is characterized by a steeply pitched roof, usually with a dominant front-facing gable; patterned shingles, cutaway bay windows, and other devices used to avoid a smooth walled appearance; asymmetrical façade with partial and full-width porch which is one story high and extended along one or both side walls.

Changes:

A porch was built in 1940. An existing greenhouse was rebuilt in 1967. A two-car garage was added to the west side of the house in 1999.

Property Setting:

Residential neighborhood; This property is located on the west side of Illinois, two lots south of College.

Associated Buildings:

There is a greenhouse, a shed, a coach house, and a garage with an apartment on the property.

Sources of Information:

City of Lake Forest Address and Historic House Files; Arpee, History and Reminiscences.

Certif. of Appropriateness Case #(s):

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 435 Illinois Road Owner(s) Allen and Beth Laufenberg
 Architect Diana Melichar Reviewed by: Jen Baehr
 Date 2/22/2023
 Lot Area 130455 sq. ft.

Square Footage of Existing Residence:

1st floor 2919 + 2nd floor 2245 + 3rd floor 1066 = 6230 sq. ft.

Design Element Allowance = 1224 sq. ft.

Total Existing Design Elements
(To Remain) = 166 sq. ft. Excess = 0 sq. ft.

Existing Garage 722 sf actual ; 800 sf allowance = 0 sq. ft.

Garage Width 22 ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 1934 sq. ft.

Total Square Footage of Existing Residence: = 8164 sq. ft.

Square Footage of Proposed Additions:

1st floor 901 + 2nd floor 0 + 3rd floor 0 = 901 sq. ft.

New Garage Area 0 sq. ft. Excess = 0 sq. ft.

New Design Elements 560 sq. ft. Excess = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 9065 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 12236 sq. ft.

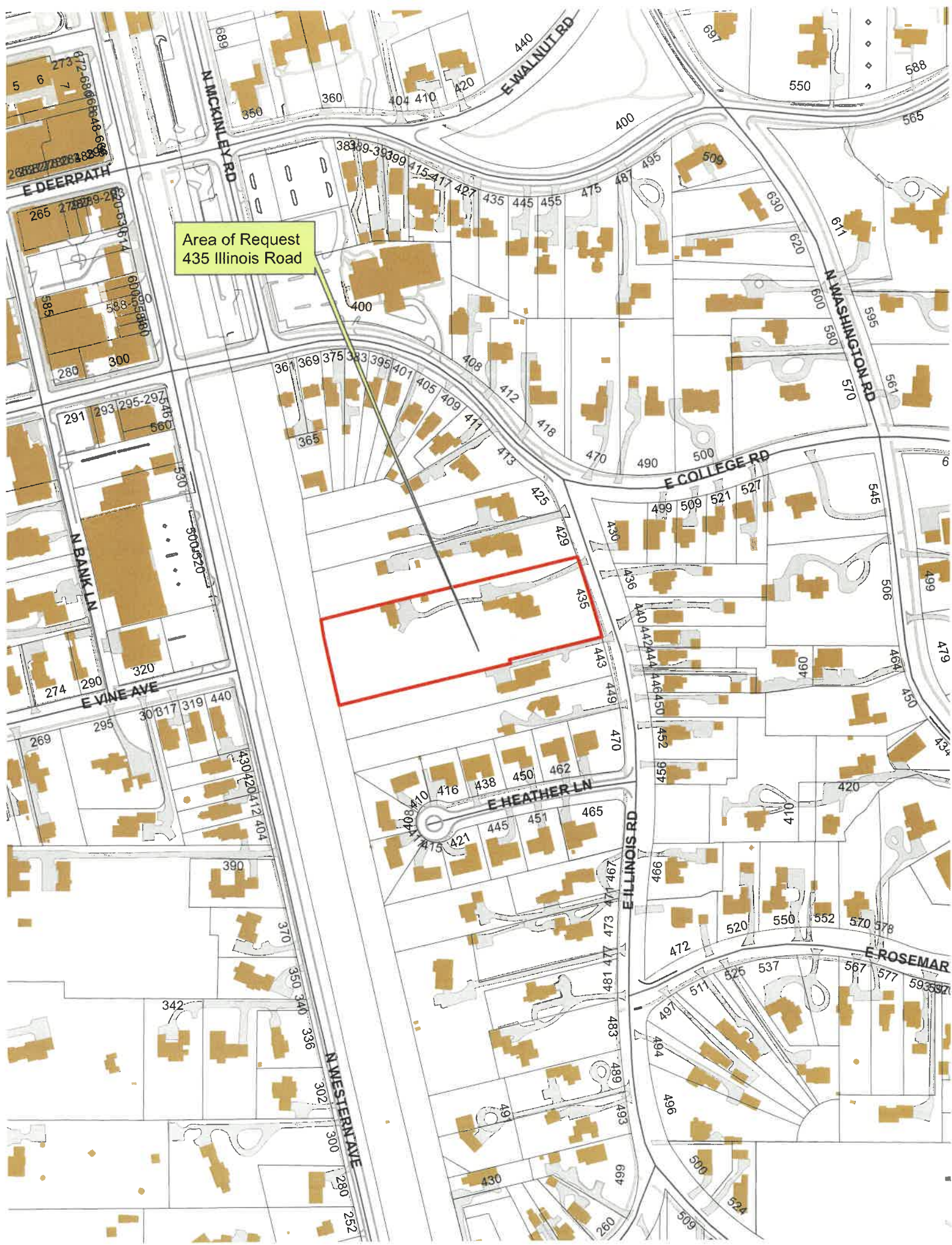
DIFFERENTIAL = -3171 sq. ft. **NET RESULT:**
Under Maximum

3171 sq. ft. is

Allowable Height: 40 ft. Actual Height 38'-8" (existing house) 21' -9" (proposed addition) 26% under the **Max. allowed**

DESIGN ELEMENT EXEMPTIONS (Existing & Proposed)

Design Element Allowance:	<u>1224</u>	sq. ft.	
Front & Side Porches =	<u>713</u>	sq. ft.	
Rear & Side Screen Porches =	<u>0</u>	sq. ft.	
Covered Entries =	<u>0</u>	sq. ft.	
Portico =	<u>0</u>	sq. ft.	
Porte-Cochere =	<u>0</u>	sq. ft.	
Breezeway =	<u>0</u>	sq. ft.	
Pergolas =	<u>0</u>	sq. ft.	
Individual Dormers =	<u>0</u>	sq. ft.	
Bay Windows =	<u>13</u>	sq. ft.	
Total Actual Design Elements =	<u>726</u>	sq. ft.	
Excess Design Elements =	<u>0</u>	sq. ft.	



Area of Request
435 Illinois Road

Area of Request
435 Illinois Road



Area of Request
435 Illinois Road





THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS

PROJECT ADDRESS 435 East Illinois Road, Lake Forest, IL 60045

APPLICATION TYPE

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- ☒ East Lake Forest District ☐ Green Bay Road District ☐ Vine/Oakwood/Green Bay Road District
☐ Local Landmark Property or District ☐ Other

PROPERTY OWNER INFORMATION

Allen & Beth Laufenberg

Owner of Property

435 East Illinois Road

Owner's Street Address (may be different from project address)

Lake Forest, IL 60045

City, State and Zip Code

(224) 723-9189 (Beth)

Phone Number

Fax Number

beth60045@me.com

Email Address



Owner's Signature

ARCHITECT/BUILDER INFORMATION

Diana Melichar, President, RA

Name and Title of Person Presenting Project

Melichar Architects

Name of Firm

207 East Westminster, Suite 104

Street Address

Lake Forest, IL 60045

City, State and Zip Code

847-295-2440

Phone Number

Fax Number

Diana@melichararchitects.com

Email Address



Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

☐ OWNER

☐ REPRESENTATIVE

STATEMENT OF INTENT

LAKE FOREST HISTORIC PRESERVATION COMMISSION

Request for partial demolition and new additions to the

Mr. Allen and Ms. Beth Laufenberg

435 East Illinois Road

Request

The Laufenbergs are requesting the removal of an existing front porch and a replacement porch with ramp, the reinstatement of the original northerly building bay at the first floor, and a family room/dining area building addition. Wherever possible, the Laufenbergs also want to modify flat roofs to low sloped roofs. Associated landscape and terracing at the additions is also requested.

Background

In 2013, the Laufenbergs undertook a major interior rehabilitation and renovation of the front half of their newly acquired home. Since it was originally constructed in 1895, the Laufenberg residence has undergone many changes, additions and (unfortunately) periods of benign neglect. During their 2013 renovation project, the Laufenbergs encountered many costly, necessary repairs. Any new additions and renovations to the rear half of their home had to wait until this second phase of design and construction work.

For the past 10 years, the Laufenbergs have dealt with visitor confusion, as guests try to navigate to their front door. The existing front porch does not address the front door and entry hall of the home, as the porch is not located at the front door, but rather, it is situated further south and accessed by the Living Room. Furthermore, a side entry door on the northern façade, accessed right from the driveway, currently serves as a prominent entry point to the home. It is clear that this side entry was never meant to be the entry to the home, but rather a convenient means of entering the basement via a ground level mid-platform at the stair landing.

We would like to reinstate a front porch to the Laufenberg's, providing a visual designation for the front door and entry hall facing the street. It is reminiscent of the wrap around porch as shown on the 1917 Sanborn map. This new porch, designed in the Queen Anne style of the home, will provide covered access to the front door, as well as a concealed new handicap ramp (the ramp will start on the northern, driveway side). We will remove the unsympathetic first floor "squared-off" addition at the northern bay, and reinstate a new wall to follow the original bay foundation. This new wall will not have an entry door, thus, eliminating entry confusion for the home. (Note that during the 2013 renovation, we found that that existing squared-off wall is actually sitting on asphalt rather than foundation wall).

Regarding the proposed family room/dining area addition, the existing home has a servant wing that has served as the kitchen/family area. Unfortunately, this living space within the home has very little

connection to the Laufenberg's expansive yard, nor to other first floor living spaces. This is because a 1999 garage addition blocks light and views to the west; and the remodeled servant area is remote from other entertaining spaces of the home. Our proposed design and addition intends to better connect the formal and informal living spaces together, and capitalize on light and views to the yard.

Residence History (see attached chronology and diagrams)

Melichar Architects undertook extensive research of the chronological history of the home, which indicates that it has undergone many changes and renovations since it was built in 1895. New additions and proposed changes as presented today are consistent with the ever-changing evolution of the home.

It is important to note that there have been at least three iterations of the front porch, as shown in the 1917 and 1929 Sanborn maps, and evidenced in the 1939 building permit. The 1939 porch addition that is currently on the house is not sympathetic to the home's architecture and spatial arrangements.

No renowned architect nor persons of significant importance have been attributed to the home.

Standards for review for a Certificate of Appropriateness for additions and alterations:

- (1) **Height.** The height of the proposed front porch and family room/dining area addition are visually compatible with and relate to the existing Queen Anne architecture of the home.
- (2) **Proportion of front facade.** The proposed front porch design visually ties the building elements of the front facade together. This is achieved by narrowing the depth of the porch, and expanding its width to encompass the large northerly bay.
- (3) **Proportion of openings.** There are many different types of fenestration on the existing home. The relationship of the width to height of windows and doors on the family room/dining area addition is visually compatible with the existing home.
- (4) **Rhythm of solids to voids in front facades.** The front porch colonnade complements the existing home and streetscape to which it visually relates. The relationship of solids to voids is balanced, and is consistent with the Queen Anne architecture style.
- (5) **Rhythm of spacing and structures on streets.** Not applicable. The home remains in-place, with the exception of a few smaller additions.
- (6) **Rhythm of entrance porches, storefront recesses and other projections.** The proposed front porch has consistent rhythm in its own right, and is more compatible with the original building architecture, and to neighboring properties.
- (7) **Relationship of materials and texture.** The proposed additions will match the same materials and texture as the original home.
- (8) **Roof shapes.** The roof shape of the additions shall be visually compatible with the existing home.

(9) **Walls of continuity.** Facades of the proposed additions relate to the existing home and to the neighborhood.

(10) **Scale of a structure.** The size and mass of the additions in relation to open spaces, windows, door openings, etc. are visually compatible with the existing home.

(11) **Directional expression of front elevation.** The proposed front porch is more compatible with the Queen Anne style of the home and its street facing entrance than the original porch.

(12) **The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed.** In general, this home has undergone many additions and renovations. The new additions/alterations will not destroy the distinguishing characteristics of the existing home; and, if these new additions/alterations are removed in the future, the essential form and integrity of the original historic property would not be impaired.

CHRONOLOGY OF 435 ILLINOIS ROAD, LAKE FOREST

HISTORICAL BACKGROUND

Previous attributions have been based on the assumption that the house at 435 Illinois Road was built for Edwin S. Wells in 1869. Further research indicates that although Wells moved to Lake Forest in 1869, he did not live on Illinois Road until decades later and the house was not constructed until 1895, three years after he married a wealthy widow.

Wells was a Presbyterian evangelist who moved to Chicago during the Great Revival era of the 1850s. He opened a shoe store in downtown Chicago where he sponsored revival meetings. In those years the Presbyterian founders of Lake Forest were selling town lots to raise money for Lake Forest College; Wells may have bought lot 239 (435 Illinois Road) at that time.

Wells & Faulkner, a wholesale grocery firm, was established in 1860. On the 1880 census, Wells is a “grocer” and one of his sons is a clerk in the store. *The Past & Present of Lake County – 1877* lists Edwin S. Wells as “farmer, villa lot, 11 acres” (obviously *not* wooded 5-acre lot 239).

Wells’ wife died in 1891; he remarried in 1892 (*History of Lake County, 1912*). The 1900 census shows him (for the first time) living on Illinois Road with his new wife, two adult children, and two servants; his occupation is now “capitalist.” 1910 census data show that at age 82 – six years before he died – Wells was living with his daughter’s family in Wilkes Barre, PA.

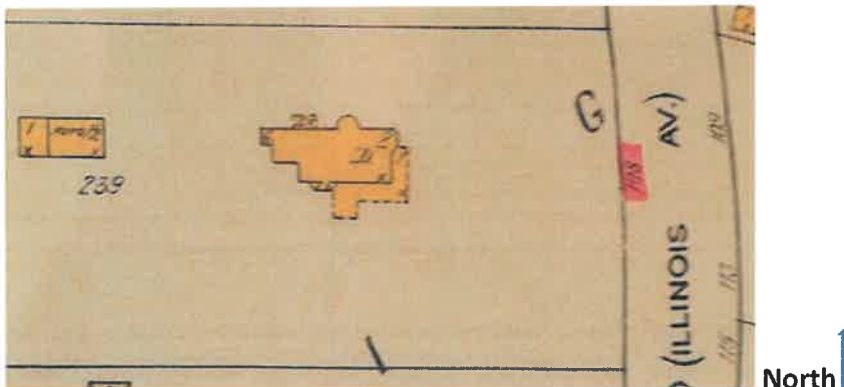
CONSTRUCTION CHRONOLOGY

1895 (*City of Lake Forest Historic Resources Survey, 1999*)

The house was constructed in the Queen Anne style, which was the dominant style of domestic architecture from about 1880 to 1910. A typical feature of this style is an expansive front porch with decorative wood trim extending along one or two side walls.

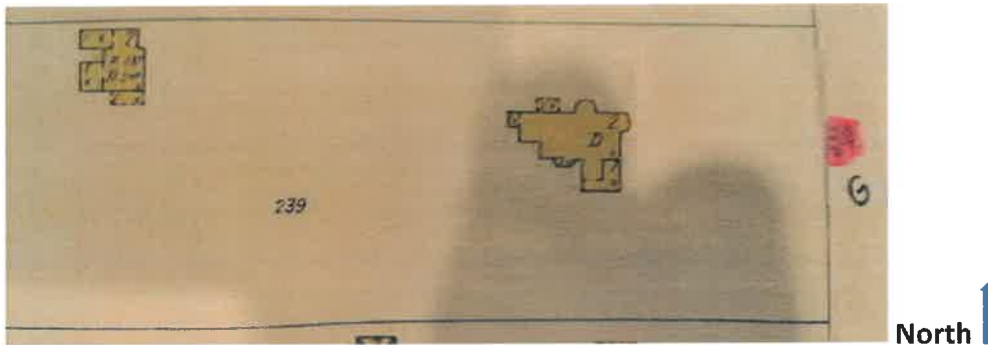
1917 (*Sanborn Map*)

Street address was briefly changed to 108 Brushwood Road, and later changed back to 435 Illinois Road. The plan of the house shows a typical Queen Anne front porch wrapping around the front of the house and the south side.



1929 (Sanborn Map)

On the plan of the house, the Queen Anne-style porch is gone. An addition now juts out on the south side, with a small porch at its base.



CITY OF LAKE FOREST PERMITS

Below are a list of permits that were issued by the City of Lake Forest (*obtained by Freedom of Information Act to review the property file*). Many of the changes may coincide with property sales and purchases, as indicated by real estate sales sheets (Lake Forest History Center archives) for property sales in 1954, 1964, 1973, 1975, and 2003, 2009 (*Lake County Tax Assessor records*).

1939

Permit is issued to rebuild the chimney; the small porch at its base is removed. A new porch foundation and framing are included in the permit (evidently the one that is now attached to the southeast front of the house). These alterations erased the historic Queen Anne first-floor front detailing.

1949

Permit issued for kitchen alterations.

1966

Permit issued to repair fire damage; how extensive the damage was and how much of the exterior was affected is not clear.

1967

Permits issued to remodel the kitchen and rebuild the existing greenhouse.

Between 1967 – 1999

Multiple permits are issued for fence, electrical, heating, sewer, plumbing, bedroom to master bath conversion, roofing, window replacement, bathroom remodel, and tree removals, etc.

1999

Permit issued to Horcher Brothers Construction for an attached a two-car garage at the northwest corner of the house, as well as an entry porch on the north side, and a deck on the south side (shown in purple).

2013

Permit issued to Lynch Construction for interior alterations, as designed by Melichar Architects. Appended to the application were window replacements for windows that were rotten beyond repair.

CHRONOLOGY DIAGRAMS

showing building & porches

1895



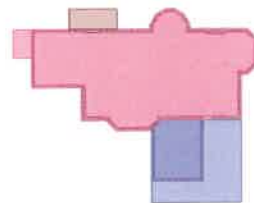
- Original Foundation
- Porches unknown

1917



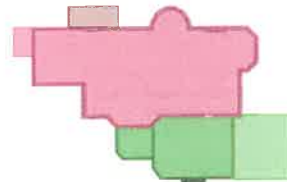
- Porches are shown on the 1917 Sandborn map

1929



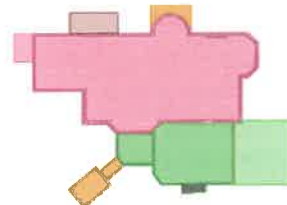
- Front porch removed
- New front porch configuration
- Building addition

1939



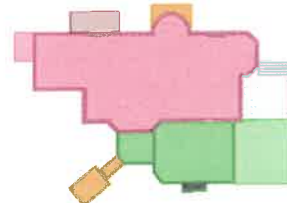
- New front porch configuration
- Multiple building additions

1967



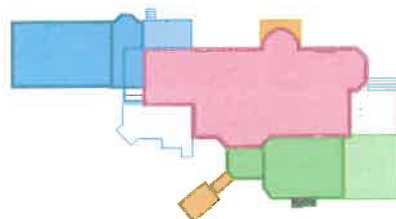
- Building addition (green house)
- Data shows 1st floor addition to north-side bay by 1967 (unclear on actual date it was constructed)

1973



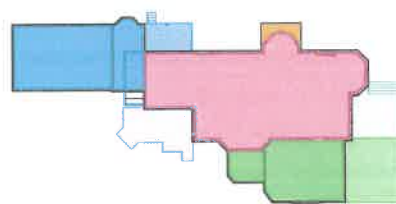
- Front terrace addition

1999



- Porches (north & west) removed
- Building addition (3-car garage &)
- D
- D
- D

2023



- C
- G





THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- ☐ Stone
☐ Brick
☒ Wood Clapboard Siding
☐ Wood Shingle
☐ Cementitious Stucco
☐ Other _____

Color and/or Type of Material MATCH EXISTING

Foundation Material

Exposed Foundation Material BRICK

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Color of Finish MATCH EXISTING

Finish and Color of Windows

- ☒ Wood (recommended)
☐ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars (recommended)
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☒ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☒ Copper
- ☐ Other _____
- ☐ Sheet Metal

Color of Material _____

Gutters and Downspouts

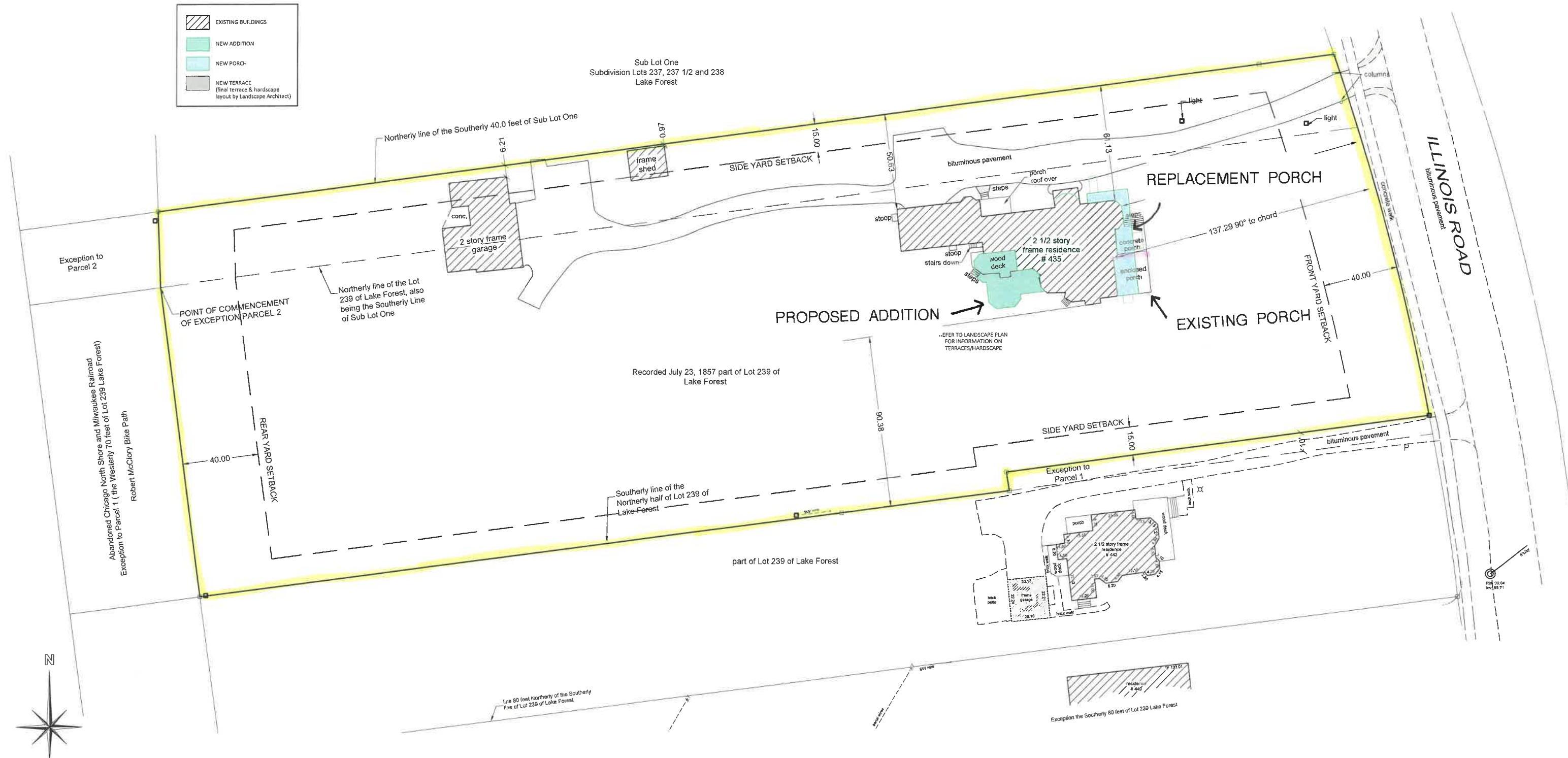
- ☒ Copper
- ☐ Aluminum
- ☐ Other _____

Driveway Material

- ☒ Asphalt TO PATCH AS REQUIRED
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☒ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____



DATE: HPC SUBMITTAL
01/13/2023



TITLE: EXISTING EAST ELEVATION

SCALE: 1/8"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023



TITLE: EXISTING EAST ELEVATION W/ DEMOLITION

SCALE: 1/8"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023



TITLE: PROPOSED EAST ELEVATION

SCALE: 1/8"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023



TITLE: ENLARGED FRONT PORCH ELEVATION

SCALE: 1/2"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023



TITLE: EXISTING SOUTH ELEVATION

SCALE: 1/8"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023



TITLE: EXISTING SOUTH ELEVATION W/ DEMOLITION

SCALE: 1/8"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023



TITLE: PROPOSED SOUTH ELEVATION

SCALE: 1/8"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023



TITLE: EXISTING WEST ELEVATION

SCALE: 1/8"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

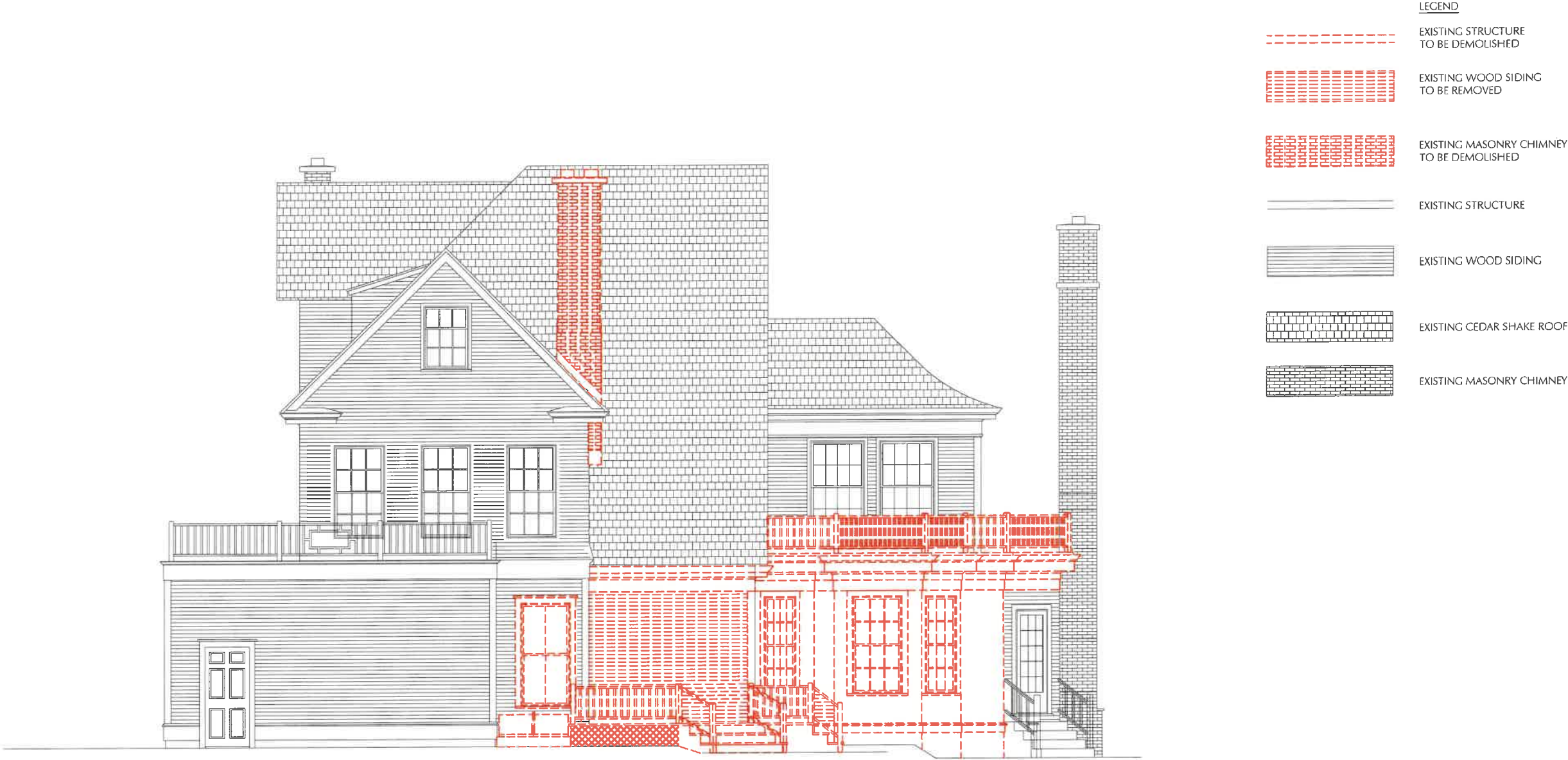
207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023

WEST ELEVATION - DEMOLITION SHOWN IN RED



TITLE: EXISTING WEST ELEVATION W/ DEMOLITION

SCALE: 1/8"=1'-0"



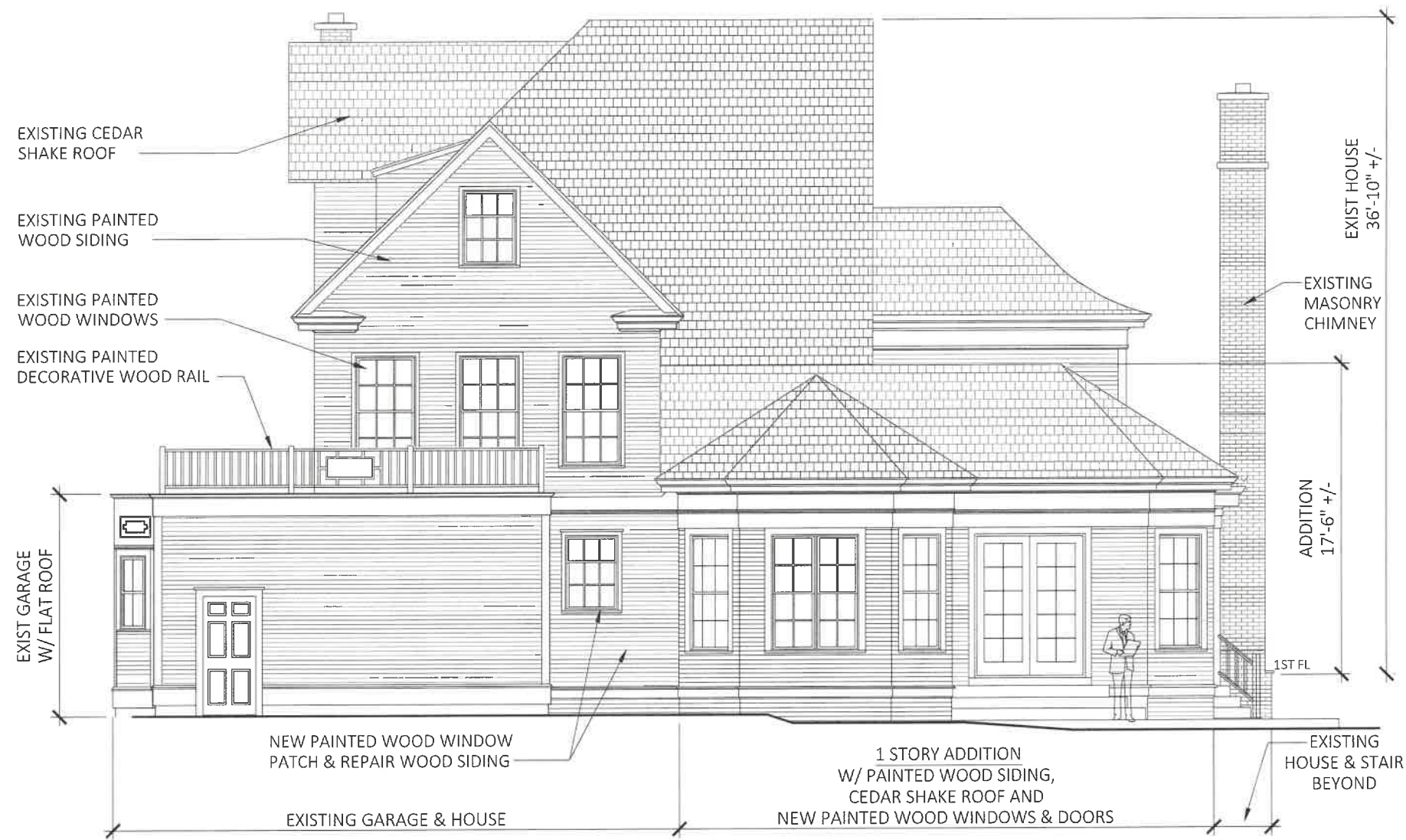
MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023



TITLE: PROPOSED WEST ELEVATION

SCALE: 1/8"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023



TITLE: EXISTING NORTH ELEVATION

SCALE: 1/8"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023



TITLE: EXISTING NORTH ELEVATION W/ DEMOLITION

SCALE: 1/8"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023



TITLE: PROPOSED NORTH ELEVATION

SCALE: 1/8"=1'-0"



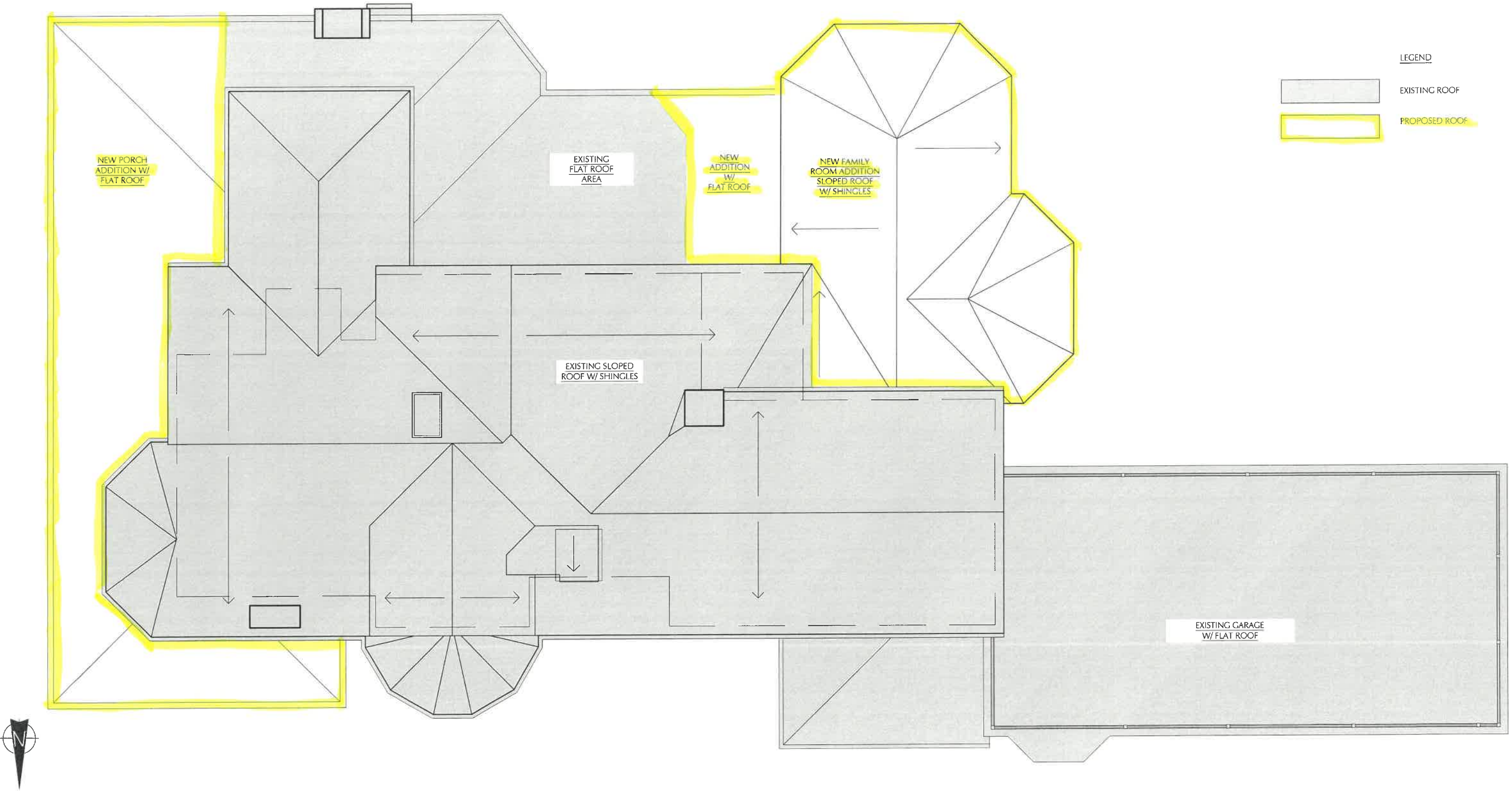
MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023



TITLE: PROPOSED ROOF PLAN

SCALE: 1/8"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

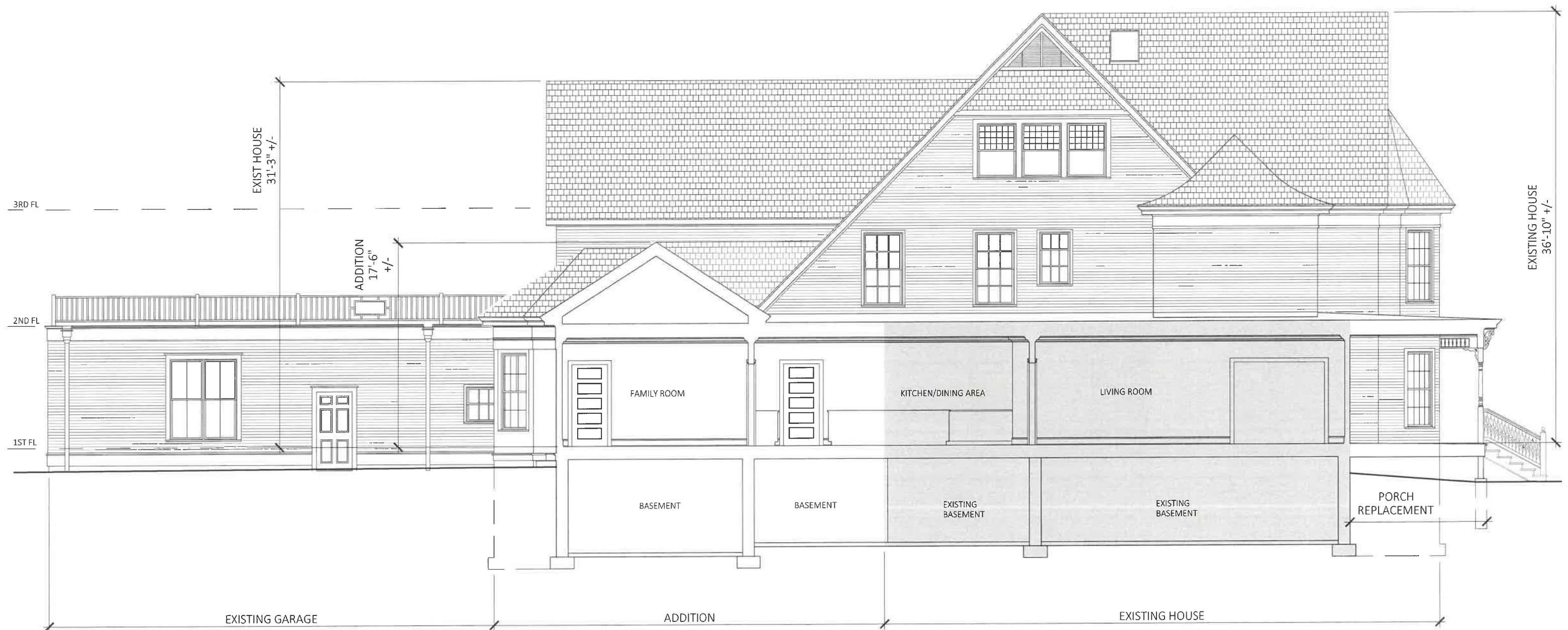
207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023

PROPOSED BUILDING SECTION



TITLE: BUILDING SECTION @ PROPOSED ADDITION

SCALE: 1/8"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023



TITLE: EXISTING BUILDING SECTION WITH PROPOSED ADDITION

SCALE: 1/8"=1'-0"



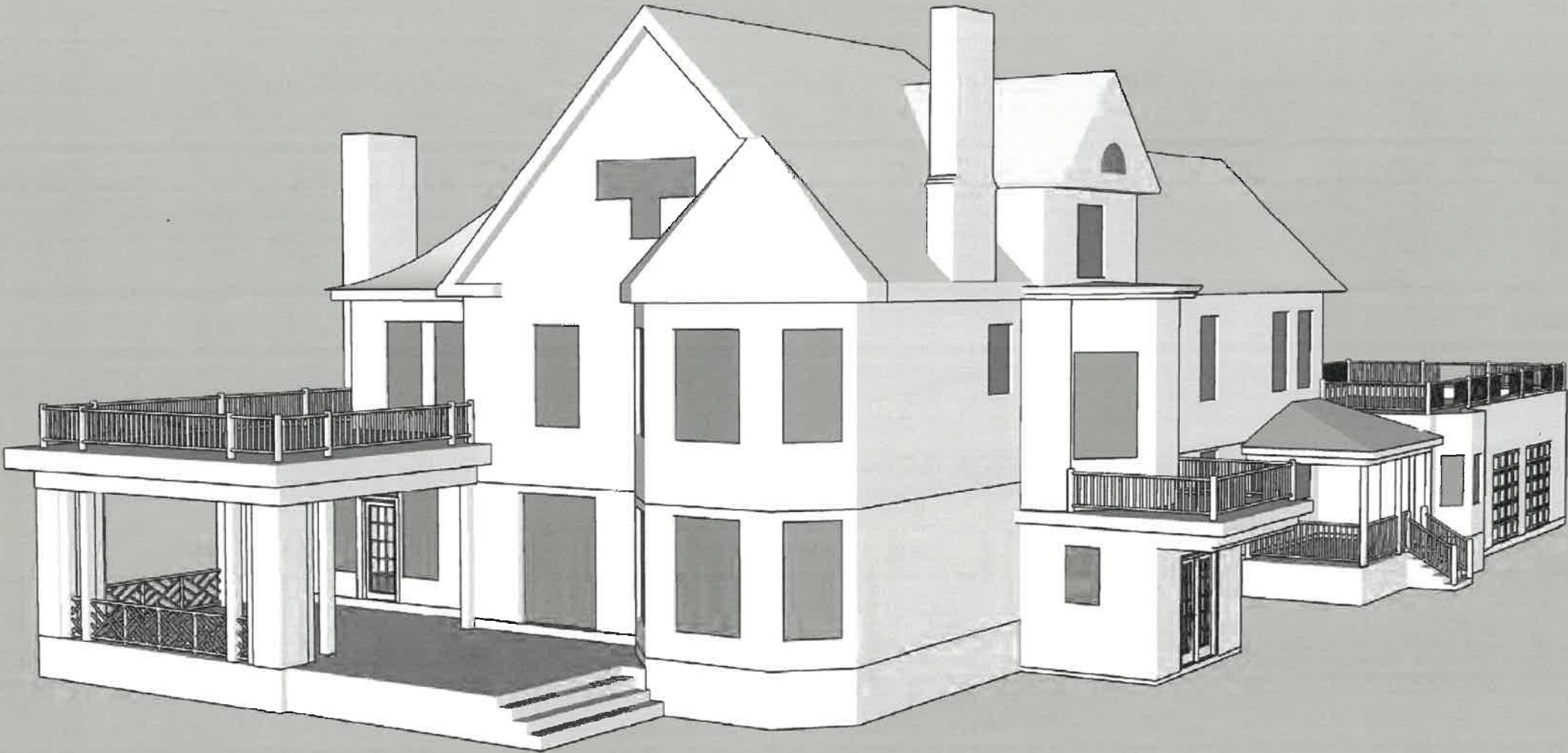
MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023



TITLE: 3D MODEL - EXISTING #2

SCALE: NTS



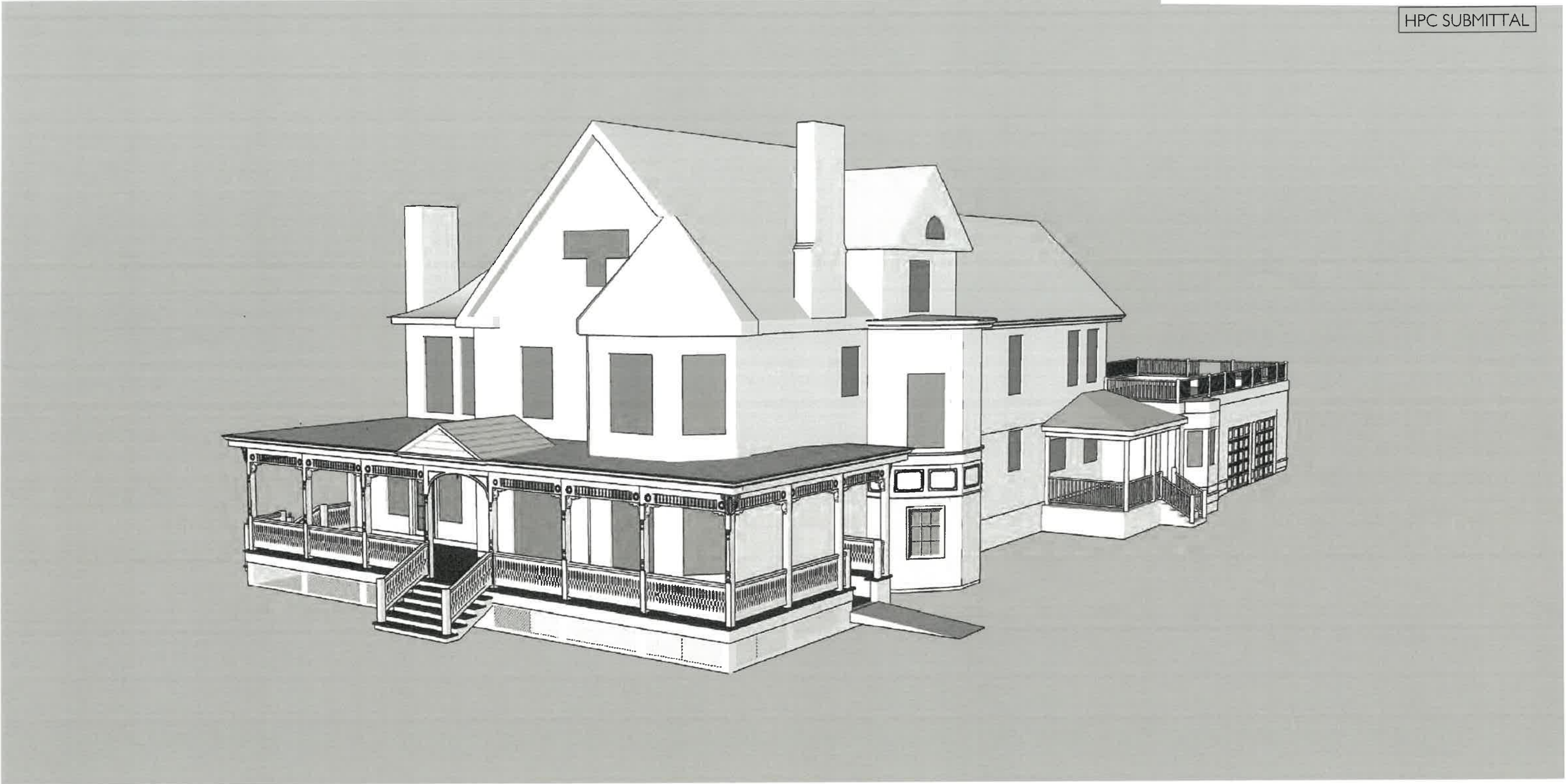
MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: 01/13/2023
HPC SUBMITTAL



TITLE: 3D MODEL - PROPOSED #2

SCALE: NTS



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: ~~1/20/2023~~ HPC SUBMITTAL
01/13/2023



TITLE: 3D MODEL - EXISTING #1

SCALE: NTS

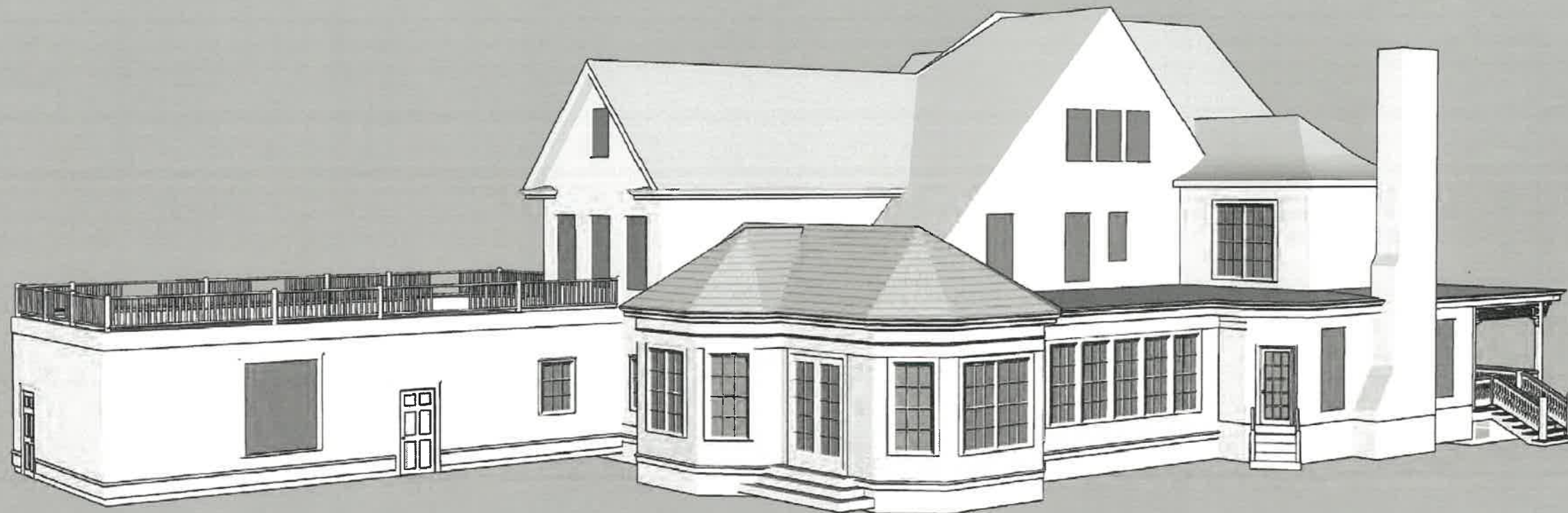


MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001
DATE: 01/13/2023
HPC SUBMITTAL



TITLE: 3D MODEL - PROPOSED #1

SCALE: NTS



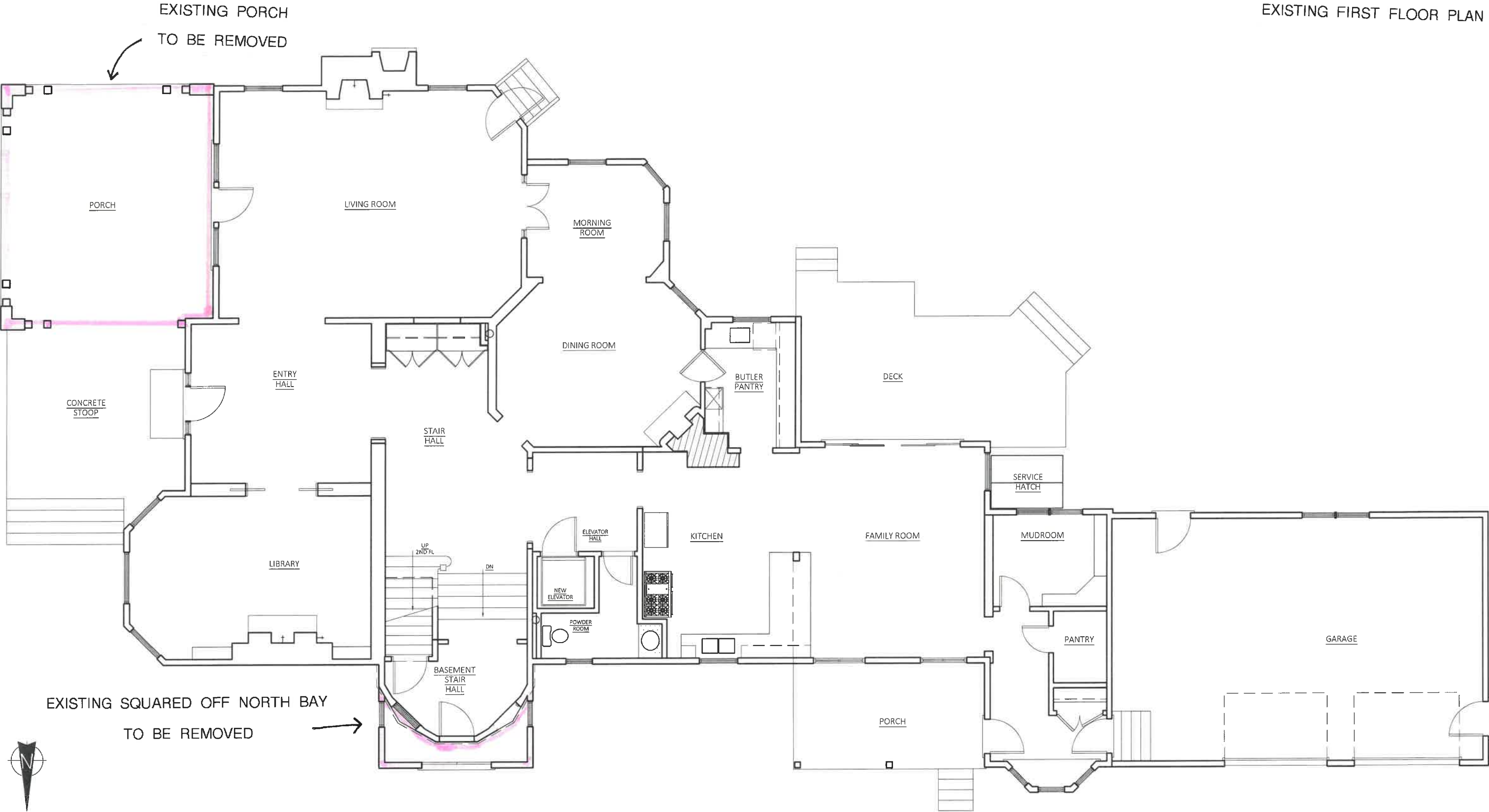
MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: 01/13/2023
HPC SUBMITTAL



TITLE: EXISTING FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

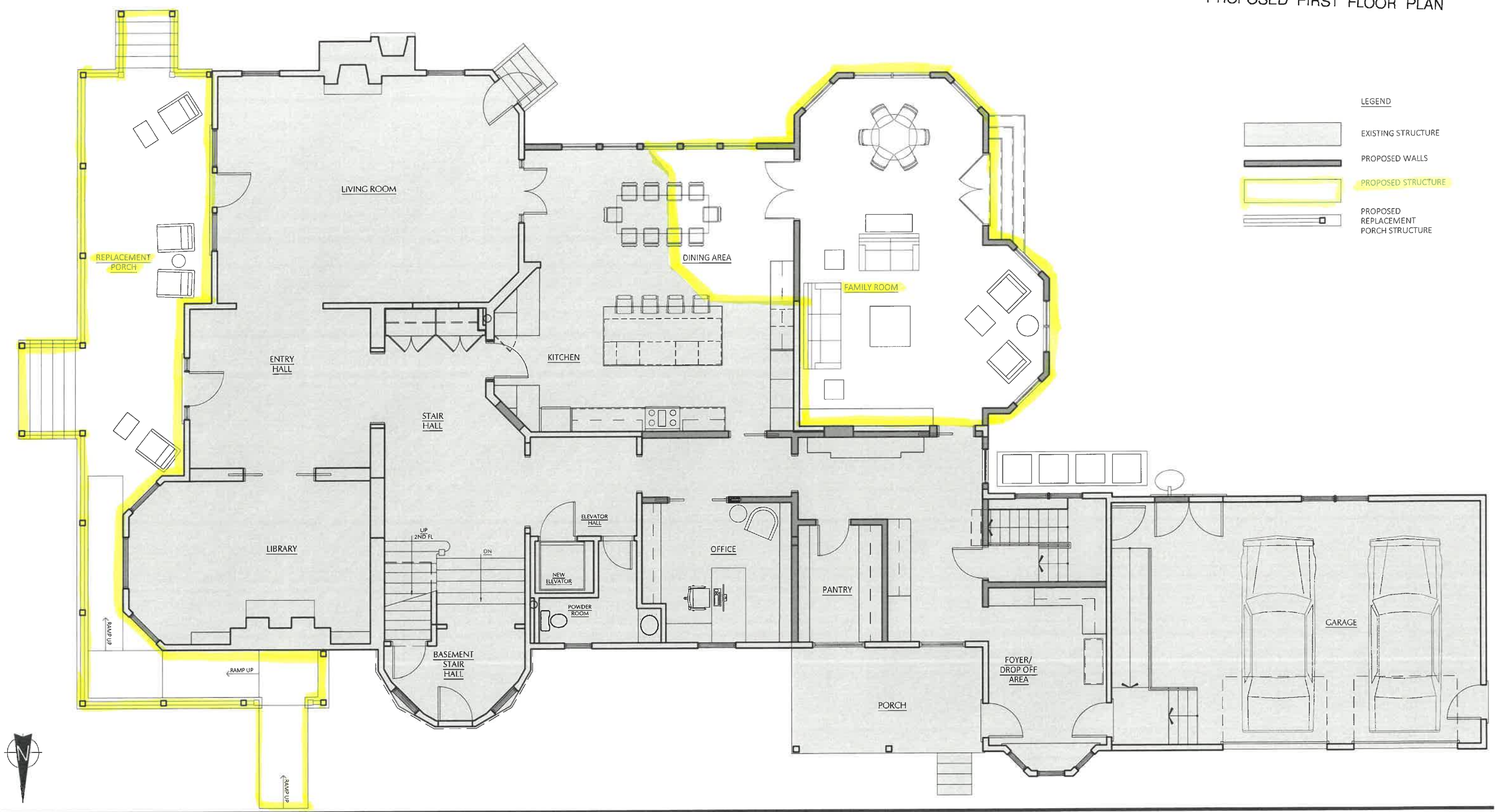
207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023

PROPOSED FIRST FLOOR PLAN



TITLE: PROPOSED FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



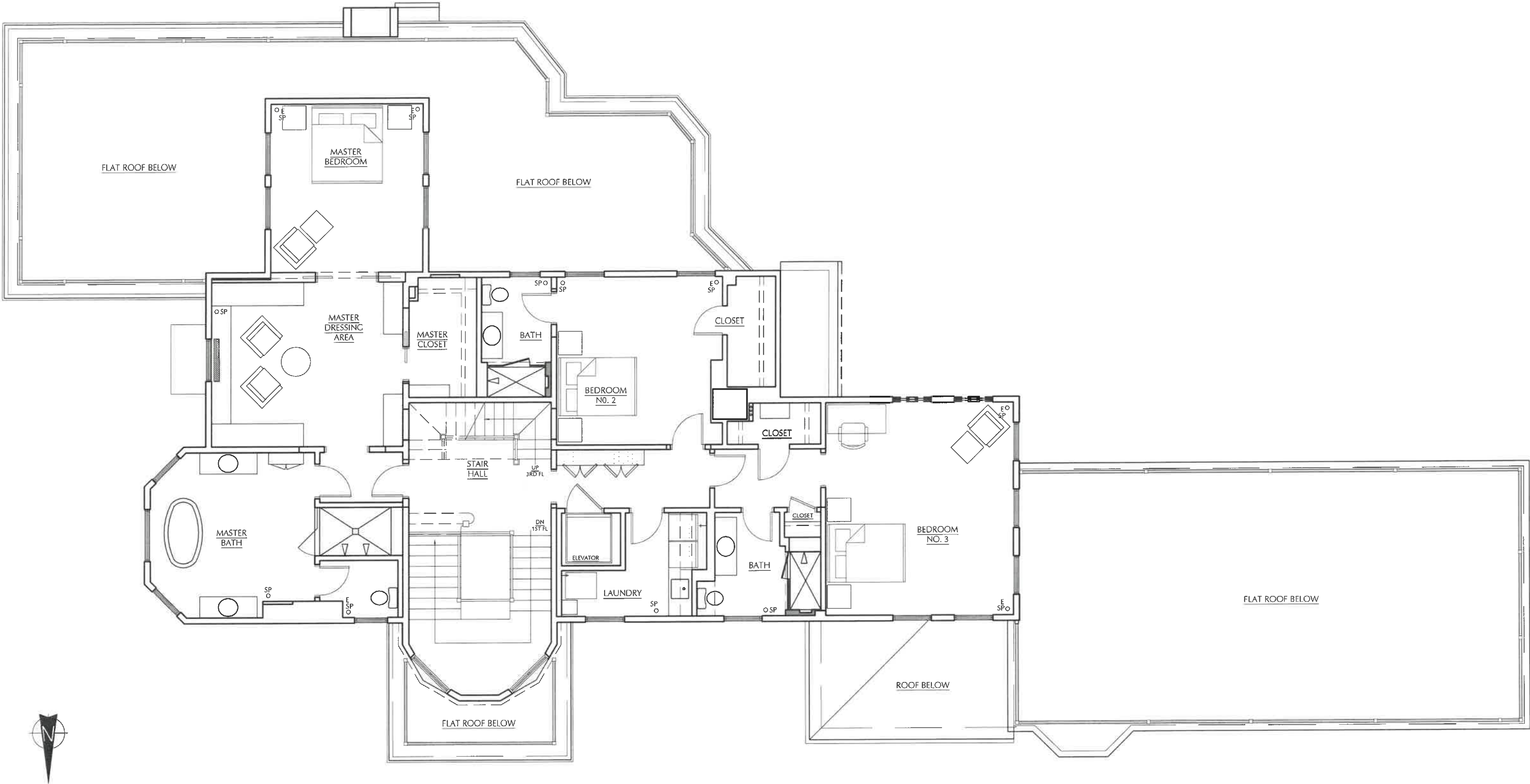
MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER
P 847-295-2440 F 847-295-2451
LAKE FOREST, ILLINOIS 60045
© 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001

DATE: HPC SUBMITTAL
01/13/2023



TITLE: EXISTING 2nd FLOOR PLAN

SCALE: 1/8"=1'-0"



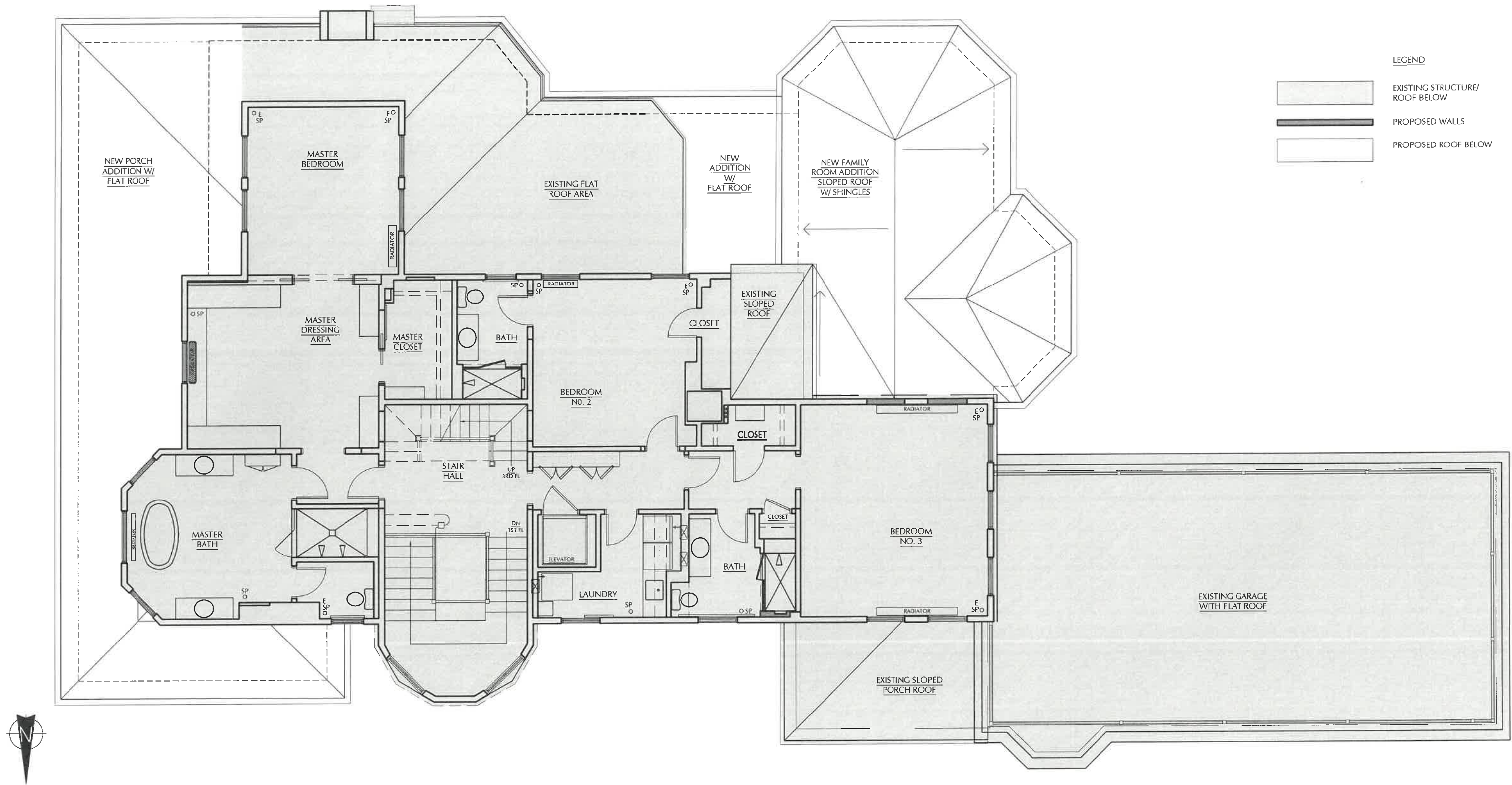
MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045
P 847-295-2440 F 847-295-2451 © 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001
DATE: HPC SUBMITTAL
01/13/2023

PROPOSED SECOND FLOOR PLAN



TITLE: PROPOSED 2nd FLOOR PLAN

SCALE: 1/8"=1'-0"

MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER
P 847-295-2440 F 847-295-2451

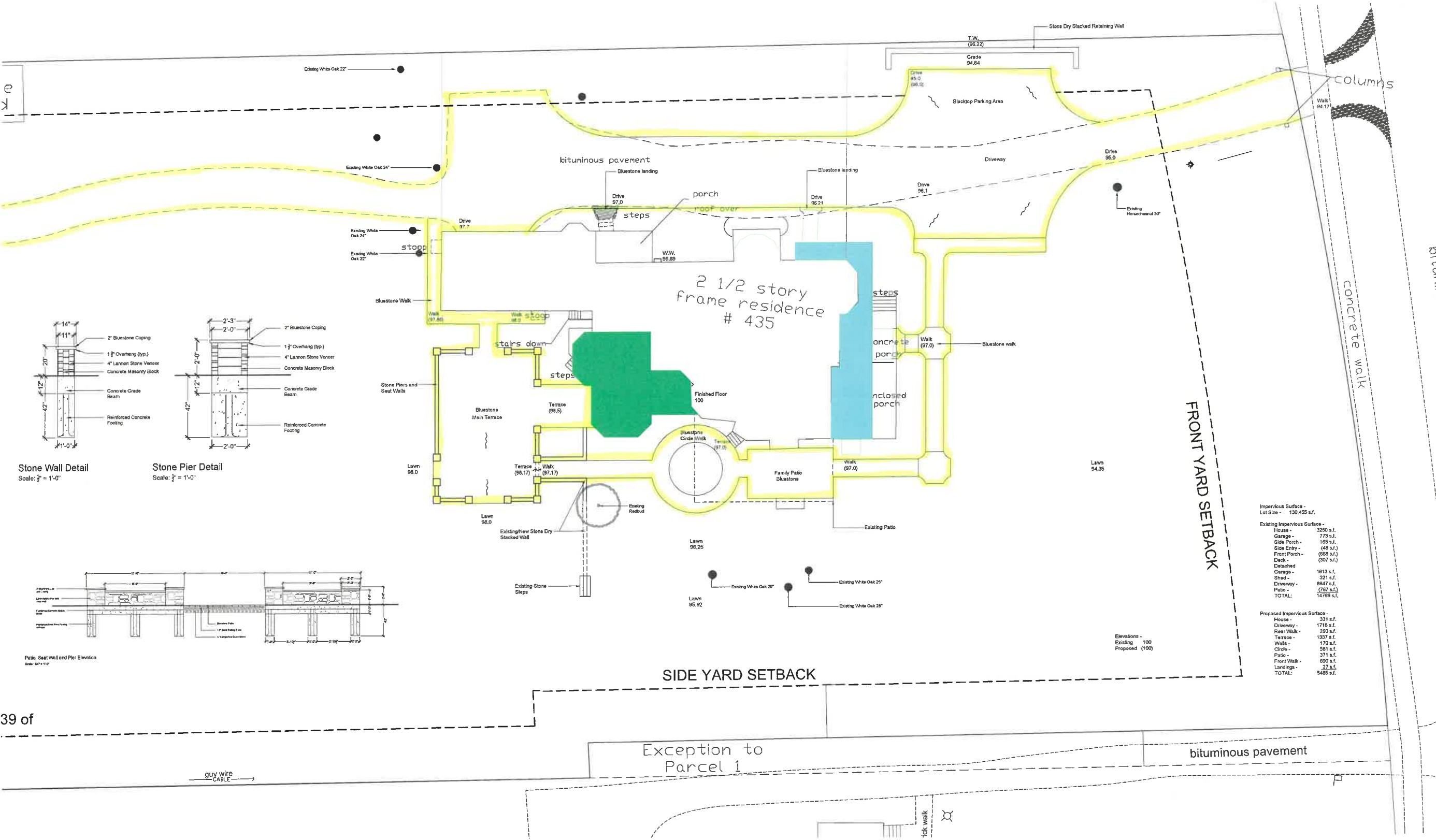
LAKE FOREST, ILLINOIS 60045
© 2023 MELICHAR ARCHITECTS

LAUFENBERG RESIDENCE
RENOVATIONS AND ADDITIONS TO
435 EAST ILLINOIS ROAD
LAKE FOREST, IL 60045

JOB NO.: 2001
DATE: HPC SUBMITTAL
01/13/2023

This plan is a conceptual drawing and is not to be used for construction. It is intended to show the general concept of the design and is not to be used for construction. It is intended to show the general concept of the design and is not to be used for construction.

PROPOSED HARDSCAPE PLAN - HARDSCAPE HIGHLIGHTED



Impervious Surface -
Lot Size - 130,455 s.f.

Existing Impervious Surface -

House -	3250 s.f.
Garage -	773 s.f.
Side Porch -	165 s.f.
Side Entry -	(48 s.f.)
Front Porch -	(688 s.f.)
Deck -	(307 s.f.)
Detached Garage -	1813 s.f.
Shed -	321 s.f.
Driveway -	8547 s.f.
Patio -	(751 s.f.)
TOTAL:	14789 s.f.

Proposed Impervious Surface -

House -	3311 s.f.
Driveway -	1718 s.f.
Rear Walk -	250 s.f.
Terrace -	1337 s.f.
Walls -	170 s.f.
Circle -	581 s.f.
Patio -	371 s.f.
Front Walk -	890 s.f.
Landings -	271 s.f.
TOTAL:	5485 s.f.

Elevations -
Existing - 100
Proposed - (100)

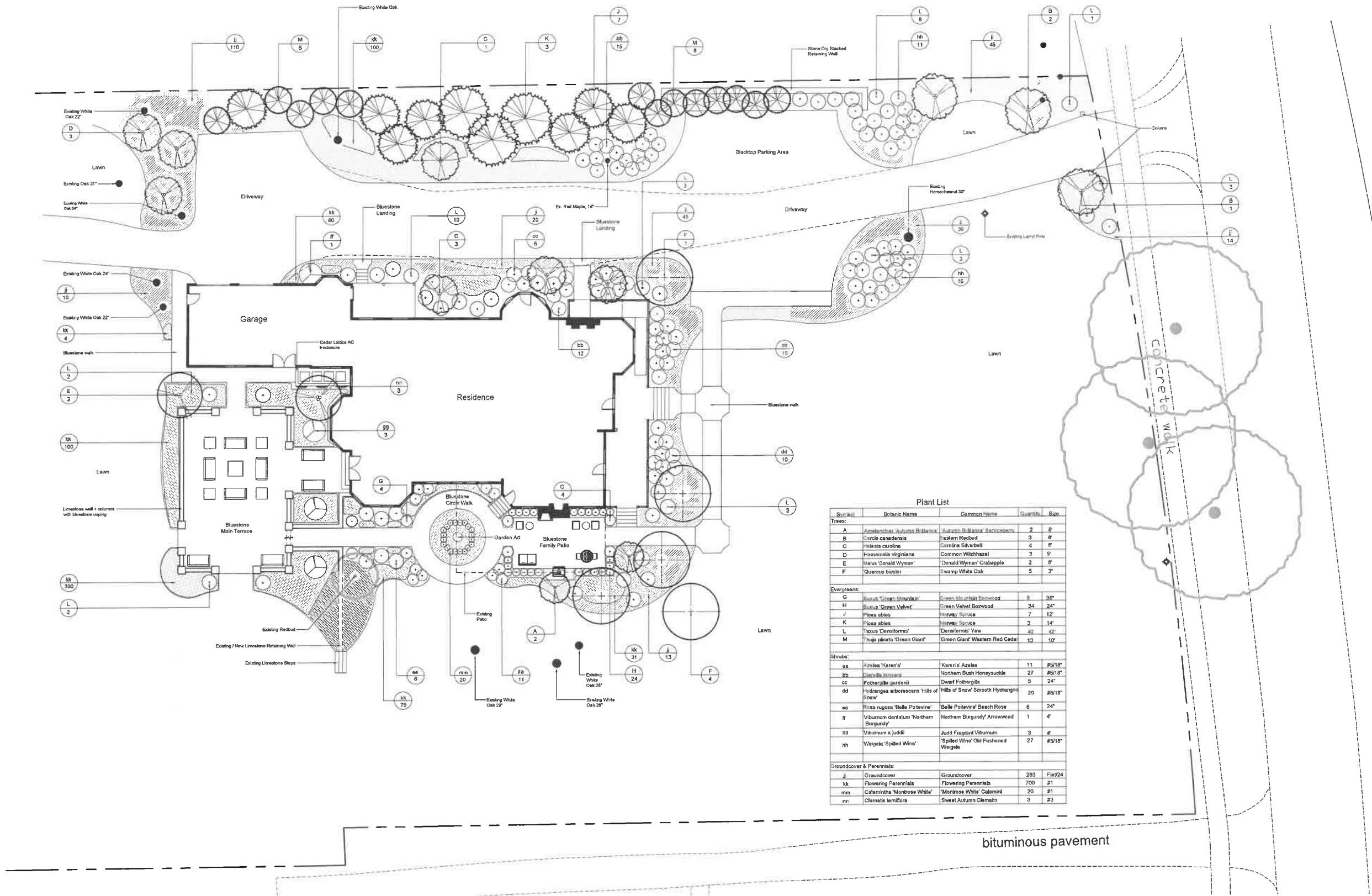
1 HARDSCAPE CONCEPT
SCALE: 1" = 10'

Laufenberg Residence

435 E Illinois Rd, Lake Forest, IL
Project No: L/Laufenberg
01/16/2023

MARIANI
300 Rockland Road | Lake Bluff, Illinois 60
Phone: 847.234.2172 | Fax: 847.234.2
www.marianilandscape.com

This plan is conceptual. All dimensions are to be verified. Materials are represented as best future condition in a more mature state. All existing and future conditions in this plan are to be used as a final landscape design. All dimensions are to be verified. Materials are represented as best future condition in a more mature state. All existing and future conditions in this plan are to be used as a final landscape design.



1 LANDSCAPE CONCEPT
SCALE: 1" = 10'



Laufenberg Residence

435 E Illinois Rd, Lake Forest, IL
Project No. L/Laufenberg
01/16/2023



East Façade (front)



View from northeast (from driveway)



North Façade (side)



South Façade (side)



West Façade (rear)



East Façade (facing street)



South Façade (facing subject property)



East Façade (facing street)



West Façade (facing street)



West Façade (facing street)