

**Agenda Item 4**  
**Lake Forest Library**  
**Dome Replacement**

Staff Report  
Vicinity Map  
*Air Photos*

Materials Submitted by Petitioner

Application  
Statement of Intent  
*Description of Exterior Materials*  
Proposed Elevations  
Proposed Roof Plan  
Section Details  
Conceptual Dome Drainage Options  
Conceptual Corner Drainage Options  
*Correspondence*

*Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.*



## STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grinnell and members of the Historic Preservation Commission
DATE:	May 25, 2022
FROM:	Catherine Czerniak, Director of the Community Development Department
SUBJECT:	<b>Lake Forest Library – Rehabilitation of the Dome</b>

### **PROPERTY OWNER**

City of Lake Forest  
220 E. Deerpath  
Lake Forest, IL 60045

### **PROPERTY LOCATION**

360 E. Deerpath

### **HISTORIC DISTRICTS**

East Lake Forest Local and  
National Historic Districts

### **PROJECT REPRESENTATIVES**

John Johnson, President, Lake Forest Library Board  
Catherine Lemmer, Executive Director, Lake Forest Library  
Kenneth Itle, Associate Principal, Wiss, Janney, Elstner Associates, Inc.

### **Summary of the Petition**

This is a request for a Certificate of Appropriateness approving the rehabilitation of the Library dome. Associated exterior work including cornice and trim replacement, masonry cleaning and repointing is also proposed.

### **Background**

The Library is located on the north side of Deerpath, between McKinley and Washington Roads. The property is identified a Contributing Structure to the Historic District. The Library was constructed in 1931 and designed by architect Edwin Hill Clark. In 1978, three wings were added to the Library. In 1984, the original dome was replaced with a new lead-coated copper dome that matched the original dome detailing and retained gutter that was added sometime after the original construction.

History and background on the Library is detailed in the City's Historic Resources Survey form attached to this staff report and in the detailed statement of intent submitted by Wiss, Janney and Elstner Associates, Inc., the firm engaged by the Library Board for this project.

### **Staff Evaluation**

A staff review of the Historic Preservation standards in the City Code is provided below. As appropriate, findings in response to the standards are offered for the Commission's consideration.

#### **Standard 1 – Height.**

This standard is met. The rehabilitation of the dome and the associated exterior work will closely replicate the existing conditions. The height of the building will not change.

#### **Standard 2 – Proportion of Front Façade.**

This standard is not applicable to this petition. No changes are proposed to the proportions of the front façade.

**Standard 3 – Proportion of Openings.**

This standard is not applicable to this petition. No changes are proposed to the proportions of openings around the building.

**Standard 4 – Rhythm of Solids to Voids.**

This standard is not applicable to this petition. The rehabilitation of the dome will not change the rhythm of solids to voids on the building.

**Standard 5 – Spacing on the Street.**

This standard is not applicable to this petition. No change is proposed to the spacing of structures along the streetscape.

**Standard 6 – Rhythm of Entrance Porches.**

This standard is not applicable to this petition. No modifications to the entrance are proposed.

**Standard 7 – Relationship of Materials and Texture.**

This standard is met. The original dome was constructed in 1931 of lead-coated copper. The rehabilitation in 1984 replaced the original dome with a new lead-coated copper dome.

Due to a number of challenges with lead coated copper today, the rehabilitation now proposed utilizes a tin-zinc-alloy coated copper for the dome, trim and cornice. The proposed change in material is due to the associated health and environmental concerns related to the production and use of lead and the difficulty in obtaining the product. The tin-zinc-alloy coated copper material will have the same texture and will be similar in appearance to the original lead-coated copper dome. The replacement built-in gutter will also be tin-zinc-alloy coated copper.

The existing wire glass in the skylight will be replaced where needed, with new wire glass to fit within the existing frame.

**Standard 8 – Roof Shapes.**

This standard is met. The shape of the dome is not proposed to change. The shape of the dome is based on the original underlying structural components which will be retained.

On the north side of the dome, a built-in gutter is proposed in the location of an existing concave trim element. The dome trim and cornice will be maintained, and the built-in gutter will be minimally visible.

**Standard 9 – Walls of Continuity.**

This standard is met. The appearance of the replacement dome will largely be consistent with the existing dome. The new roof material will be visually similar to the original lead-coated copper dome and more consistent than the 1980's rehabilitation.

**Standard 10 – Scale.**

This standard is not applicable to this petition. No change in the size or scale of the building is proposed.

**Standard 11 – Directional Expression of Front Elevation.**

This standard is met. The replacement dome and associated exterior work will maintain the

directional expression of the front elevation.

**Standard 12 – Preservation of Historic Material.**

This standard is met. The existing roofing material on the dome was installed in 1984 and is not original to the building. The proposed material will replicate the original materials to the extent possible given the challenges with lead coated copper today.

**Standard 13 – Protection of Natural Resources.**

This standard is not applicable to this petition. No natural features on the property will be impacted.

**Standard 14 – Compatibility.**

This standard is met. The exterior materials and the proposed design and approach to the rehabilitation of the dome replicate the original construction to the extent possible while at the same time, addressing ongoing water infiltration issues. A built-in gutter and downspouts are proposed to minimize the amount of water that flows over the masonry below the dome.

**Standard 15 – Repair to deteriorated features.**

This standard is met. The dome is in a state of deterioration and has been shrink wrapped for the last couple years to mitigate water infiltration. Repair of the dome is no longer feasible.

The brick masonry below the limestone of the central mass of the building will be repointed with new mortar that matches the color and texture of the existing mortar.

**Standard 16 – Surface cleaning.**

This standard is met. The limestone will be cleaned using mild chemical cleaners to remove staining.

**Standard 17 – Integrity of historic property.**

This standard is met. The proposed rehabilitation of the dome and associated exterior work is necessary and will preserve the integrity of the historic building.

The proposed work will remove and replace materials that are not original to the building. The rehabilitation plan replicates the original dome to the extent possible while also addressing flaws in the original design that allowed water infiltration.

**PUBLIC COMMENT**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, staff has received two letters from neighboring property owners expressing support for the petition. The letters are included in the Commission's packet.

**RECOMMENDATION**

Grant a Certificate of Appropriateness approving the removal of the existing dome roofing and approving the replacement dome as presented in this staff report and incorporating the Commission's deliberations as additional findings. Staff recommends approval subject to the following conditions of approval.



1. Plans submitted for permit must reflect the project as presented to the Commission. If any modifications are proposed in response to Commission direction or as a result of design development, plans clearly detailing the areas of change must be submitted at the time of submission for permit, *along with* the plans originally presented to the Commission, and will be subject to review by staff, in consultation with the Chairman as appropriate, to verify that the plans are consistent with the intent of the Commission and the approvals granted.
2. Prior to the issuance of a building permit, a plan to protect trees and vegetation identified for preservation during construction must be submitted and will be subject to review and approval by the City's Certified Arborist.
3. Prior to the issuance of a building permit, a materials staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the neighborhood, neighboring properties and existing trees and landscaping during construction.



# City of Lake Forest, Illinois

## Historic Resources Survey Form

ID: 1010

**Property Address:**

**Street:** 360 E DEERPATH  
**City:** Lake Forest **State:** Illinois  
**County:** Lake

**Historic Property Name:** Lake Forest Library

**Original Owner:** City of Lake Forest

**Other Previous Owners:** LAKE FOREST LIBRARY

**Present Owner:** BOARD OF DIRECTORS OF THE LAKE FOREST

**Current Property Name:** Lake Forest Library

**Resource Type:** Building

**Date of Construction:** 1931

**Use, Original:** Library

**Use, Present:** Library

**Theme:** Education

**Secondary Theme:** 20 Century Architecture

**Style:** Colonial Revival

**Secondary Style:** Georgian

**Architect/Engineer:** Edwin Hill Clark

**Builder/Contractor:** unknown

**Landscape Architect:**

**Plan Shape:** Irregular

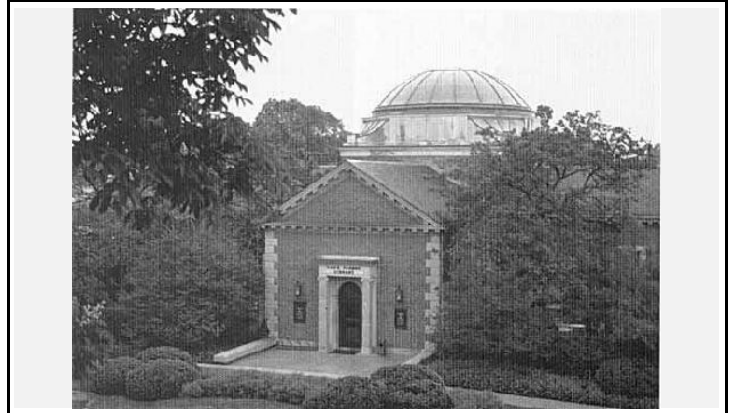
**Number of Stories:** 1.00

**Structural Framing:** unknown

**Foundation Material:** unknown

**Facade Material:** Brick

**Roof Form:** Cross gable with dome



**Photo Name:** 1010\_1

**Demolished:** **Date:**

**Zoning District:** O1

**Subdivision:** Lot 5 W. A. Nichols Subdivision

**Subdivided from:** Dr. Charles H. Quinlan Estate - 13.4 acres, built 1870, extant. Location: 404 East Deerpath

**Current Property Size (est.):** 2.05 acres

**Original Property Size (est.):** 2.05 acres

**Facade Easement?:** No

**Held by:**

**Conservation Easement?:** No

**Held by:**

**Roof Material:** Asphalt Shingle

**Primary Window Type:** Fixed

**Porches:**

**Integrity:** Excellent

**Condition:** Good

**Decorative Features & Surfacing:**

Quoins, dentilled pediment, square columns with Ionic capitals at entry, dome are some of the decorative features of this building.

DECORATIVE SURFACING: Limestone details



# City of Lake Forest, Illinois

## Historic Resources Survey Form

ID: 1010

### Local Register:

#### **Local Historic District:**

Local Ordinance Historic District

#### **Contributing Significance to Local District:**

Contributing

#### **Contributing Significant Resources:**

Lake Forest Library - Edwin Hill Clark, 1931

#### **Is this Property Eligible for Local Landmark Designation?:**

Yes

#### **Local Landmark Designation:**

#### **Is this Property Identified as a Historic Resource located outside the Local Historic District?:**

#### **Other Districts:**

### National Register:

#### **National Register Historic District:**

Lake Forest

#### **Contributing Significance to National District:**

Contributing

#### **Contributing Significant Resources:**

#### **Is this Property Eligible for National Register Listing?:**

#### **Individual National Register Listing :**

#### **Other Designations:**

Listed in the Illinois Historic Structures Survey (Illinois Dept. of Conservation, 1975).

### **History and Significance:**

This property is identified as a contributing structure to the Historic District. The existing building, constructed in 1931, is an distinguished by its overall quality of design, detail, materials and craftsmanship. Edwin Hill Clark was a noted architect whose work is significant to the history and development of Lake Forest. Overall the building possesses a high level of integrity making it worthy of preservation.

The library sits atop a slight rise up from Deerpath, which is to the south across a broad lawn. A bench at the sidewalk on Deerpath is in line with the building's center. A driveway at each side of the site with a parallel footpath moves northward before the footpath turns inward across the terrace top to reach the small forecourt before the central entrance.

The brick building has long pitched-roof wings extending east and west and a similar but smaller projection reaching back toward the road. On its front is the entrance with an arched door flanked by an ionic pier, each one made of three pieces of white and yellow marble with a matte surface and holding a simple entablature with the library's identity. The corners of this wing, like the other, have limestone quoins. The gable is a pediment; its horizontal and raking elements have only a cornice with large modillions, both in limestone. The same cornice serves as the eaves for the flanking wings. In front of the wings are small courts defined by low walls running out from the entrance projection. At the lateral wings' intersection with the entrance projection rises a square brick element slightly higher than the roof ridges. It sustains an octagon, the diagonal corners of which are sloped with a warped plane. Above it rises a low dome with broad ribs in its metal covering. Below it, inside, is the circulation desk. Beyond it and not visible from the street except at the extreme ends are additions with simpler walls but done in keeping with the original design. The building's ultimate parent is the Pantheon in Rome, but its more immediate source is Monticello, the home of Thomas Jefferson, a domestic application of the same prototype. The result is a building that is clearly civic in purpose but an appropriate occupant of a residential area.

Although Mayor Gorton appointed the first library board in 1898, there was no public home for the library. When City Hall was completed the second floor became the library's new home. In 1929, an offer to fund a building for the library was received from Mrs. Kersey Coates Reed and her sister, Mrs. Charles H. Schweppe. This was to be a memorial to Mrs. Reed's late husband, Kersey Coates Reed. Of their gift of \$250,000, \$50,000 would eventually be spent to furnish and equip the building. The library was designed by noted architect, Edwin Clark, and won the Craftsmanship Award of the Chicago Architects' Club for 1931.

In May 1932, the Remisoff murals were completed. These murals represent the poets and prose writers of antiquity as conceived by the artist.

In 1978 three new wings were added. Brenner, Danforth, Rockwell were the architects and Franz Lipp was the landscape architect. Monies for the addition were underwritten by gifts from the community and a substantial donation from the Reed family.

A renovation of the three bookstacks was completed in 1990. In 1992, the Children's Department was refurbished and a mural by Thomas Melvin, commissioned by the Friends of Lake Forest Library, was installed in the children's foyer.

Edwin Hill Clark (1878 – 1967) was born in Chicago and graduated from Yale University in 1900. From 1900 to 1903 he was the assistant superintendent of Wadsworth-Howland Company, his brother's paint company. Clark went into architecture in 1903, working for William Augustus Otis; he was admitted to partnership in April 1908 and the name of the firm was changed to Otis & Clark in 1914. After the firm of Otis & Clark was dissolved on April 15, 1920, Clark went into partnership with Chester Howe Walcott until 1924, when they both returned to private practice. Clark later was a member of the Illinois State Art Commission.

### **Changes:**



## City of Lake Forest, Illinois

### Historic Resources Survey Form

ID: 1010

In 1977 additions, by architect George Danforth, were made to the building including wings on the east and west sides and along the north elevation. In 2000, a sunken patio on the east side of the building was enclosed with a glass structure. The addition was designed by architect David Woodhouse.

#### Property Setting:

This property is located on the north side of Deerpath just east of the intersection of McKinley and Deerpath. The Church of the Covenants, designed by Howard Van Doren Shaw, is located to the west of the Library.

#### Associated Buildings:

---

#### Sources of Information:

City of Lake Forest Address Files, City of Lake Forest History File. IL Historical Journal, Summer 1986.

#### Certif. of Appropriateness Case #(s):

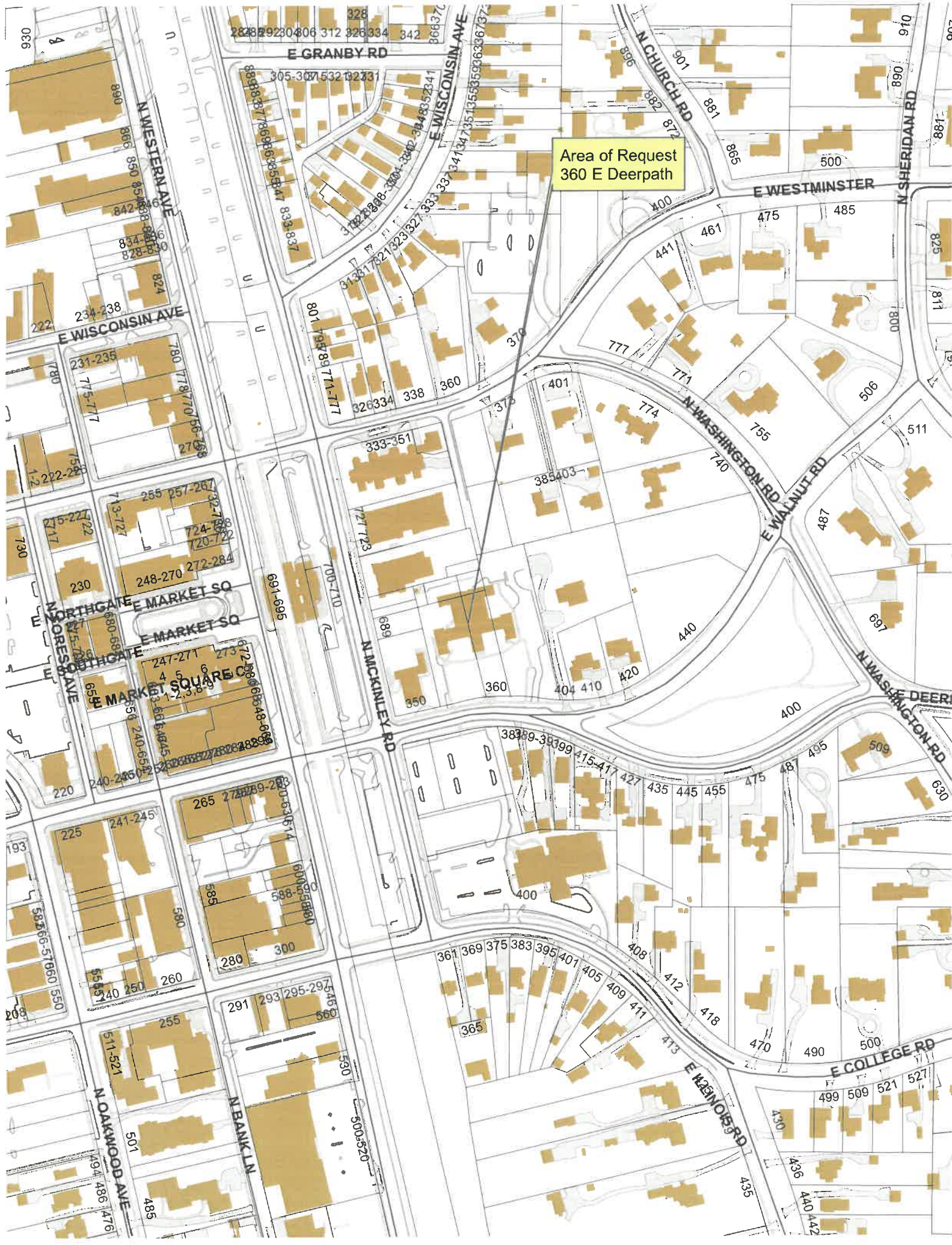
**360 E DEERPATH**

**Survey Date:** October 1999

**Demolished:**

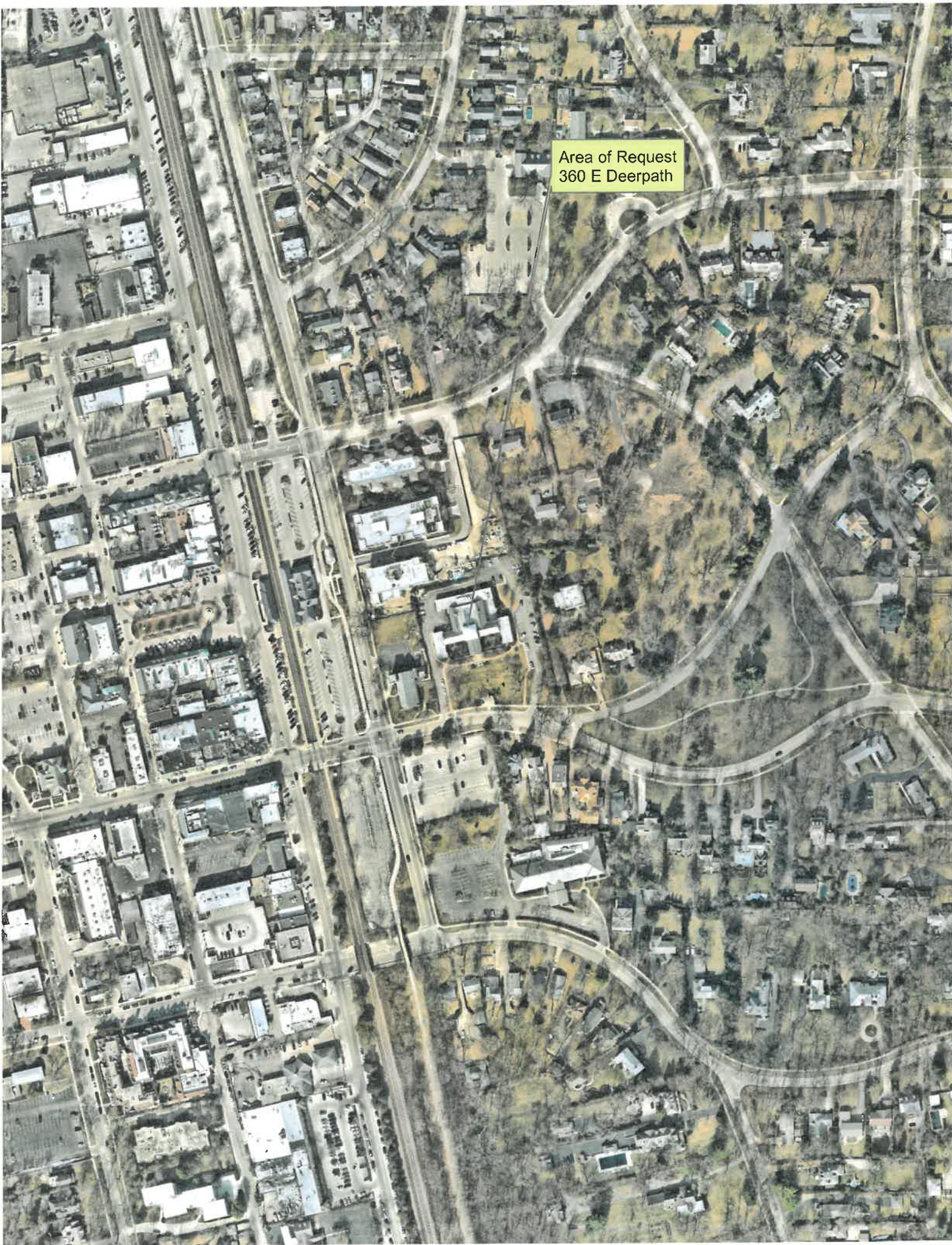
**Demolition Date:**





Area of Request  
360 E Deerpath





Area of Request  
360 E Deerpath





Area of Request  
360 E Deerpath





**THE CITY OF LAKE FOREST**  
**HISTORIC PRESERVATION COMMISSION APPLICATION FOR A**  
**CERTIFICATE OF APPROPRIATENESS**

**PROJECT ADDRESS** Lake Forest Library, 360 East Deerpath Road, Lake Forest, IL 60045

**APPLICATION TYPE**

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

**HISTORIC DISTRICT OR LOCAL LANDMARK** (leave blank if unknown)

- ☒ East Lake Forest District    ☐ Green Bay Road District    ☐ Vine/Oakwood/Green Bay Road District  
☐ Local Landmark Property or District    ☐ Other

**PROPERTY OWNER INFORMATION**


Lake Forest Library Board, John Johnson, President  
*Owner of Property*

360 East Deerpath Road  
*Owner's Street Address (may be different from project address)*

Lake Forest, IL 60045  
*City, State and Zip Code*

(847) 234-0636  
*Phone Number*                      *Fax Number*

jjohnson@lakeforestlibrary.org  
*Email Address*

  
*Owner's Signature*

**ARCHITECT/BUILDER INFORMATION**

Kenneth Itle, Associate Principal  
*Name and Title of Person Presenting Project*


Wiss, Janney, Elstner Associates, Inc.  
*Name of Firm*

330 Pfingsten Road  
*Street Address*

Northbrook, IL 60062  
*City, State and Zip Code*

(847) 272-7400                      (847) 291-9599  
*Phone Number*                      *Fax Number*

kitle@wje.com  
*Email Address*

  
*Representative's Signature (Architect/ Builder)*

**The staff report is available the Friday before the meeting, after 3:00pm.**

<i>Please email a copy of the staff report</i>	<input checked="" type="checkbox"/> OWNER	<input checked="" type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



## LAKE FOREST LIBRARY DOME ROOF REHABILITATION

### Statement of Intent

April 22, 2022

### Historic Background

The Lake Forest Library was chartered on July 4, 1898, by Lake Forest City Council. Funded by a donation from sisters Mrs. Charles H. Schweppe and Mrs. Stanley Keith in memory of Mrs. Keith's first husband, Kersey Coates Reed, a new library building was constructed on East Deerpath Road in 1930–1931. The building was designed by Chicago architect Edwin H. Clark in 1930. Exterior construction was largely complete by March 1931, and the building was dedicated and opened to the public in June 1931. H. F. Friestedt Co. was the general contractor, and John W. Thompson Co. completed the roofing and sheet metal work.

As noted on the architect's original drawings, the dome roof was lead-coated copper supported on a structural deck of "Pyrofill." Pyrofill was a proprietary system of U.S. Gypsum Company and consists of gypsum mixed with wood fibers applied over a gypsum board formwork. This material was placed and shaped to create the doubly curved form of the dome. At the center of the dome was a double-glazed steel-framed skylight system. Below the dome itself, there are four triangular corner roof areas clad with similar lead-coated copper, terminating in corner piers. These corner roof areas are supported on wood-framed structural decks. The walls below the dome are clad with limestone down to a continuous watertable course; the walls below the watertable are brick masonry. In the original design, water drained off the dome and onto the walls and roof areas below; no gutters or downspouts were provided.

Based on the available historic photographs, at some point early in the life of the building, a sheet metal gutter was installed on top of the lowest continuous limestone watertable course below the dome. This gutter connected to two downspouts, one on the east elevation and one on the west elevation, which discharged onto the north flat roof behind the dome. This gutter collects all runoff from the dome and corner roof areas, although water still runs off the sheet metal and over the limestone masonry to reach the gutter.

As seen in historic photographs, by the 1970s, the lead-coated copper dome had weathered to a fairly uniform light gray color. Dark-colored staining was present on the limestone masonry below the dome.

The sheet metal roofing of the dome and corner areas was completely replaced in 1984. Drawings were prepared by Allan M. Pickus Architects of Waukegan. The original sheet metal roofing was removed, and new asphalt roofing felt and lead-coated copper roofing were installed, matching the original detailing. The perimeter gutter and downspouts at the limestone watertable were replaced in kind. The limestone and brick masonry was cleaned as part of the project. The 1984 drawings indicate that the skylight was to be removed and the sheet metal roof extended to close up the opening; however, as implemented, the original skylight was retained and the new sheet metal roofing was terminated at the skylight frame.

Subsequent to the 1984 project, the lead-coated copper roofing has weathered irregularly, with variable gray and black patina. Staining has recurred on the limestone masonry. However, the primary current

concern and need for the project is to address water infiltration. Leakage has occurred at the dome roof, leading to staining and deterioration of the plaster ceiling below. Water infiltration has also occurred at the masonry walls below the dome, leading to efflorescence and deterioration of masonry within the attic, and damage to finishes within the building. To mitigate the water infiltration, the dome has been covered with temporary tarps since 2018.

Refer to the historic photographs, attached.

## **Summary of Proposed Work**

The proposed work will involve the rehabilitation of the skylight, dome, and masonry walls at the central volume of the library, down to grade. From top to bottom, the areas of work and included scope are as follows:

- **Skylight.** The existing 1930 skylight will be maintained. Cracked pieces of existing wire glass will be replaced with new wire glass in the original frame. All joinery will be re-sealed.
- **Dome roof.** The existing 1984 batten-seam sheet metal roofing assembly will be removed down to the original gypsum deck. New coated copper batten-seam sheet metal roofing will be installed over a new fully adhered rubberized asphalt underlayment. The panel sizes and detailing of the batten will match the original 1930 drawings.
- **Dome perimeter trim and cornice.** The existing 1984 sheet metal will be removed. New coated copper perimeter trim and cornice sheet metal work will be installed, matching the 1930 drawings. At one location, the perimeter trim will be modified. As shown on the attached drawings, one concave surface of the original profile will be removed, and a new built-in gutter will be installed. This gutter will collect water from the dome roof and direct it toward new downspouts to be located on the north wall of the central volume, discharging onto the flat roof of the bookstack wing. This modification to the roof drainage will minimize the volume of water that flows over the masonry below, reducing future staining of the limestone and water infiltration to the attic and masonry walls below. We anticipate that this change will be minimally visible from grade, as the prominent lines of the perimeter trim and cornice above and below the gutter will be unchanged from the original design.
- **Corner roof areas.** The existing 1984 sheet metal will be removed down to the original wood deck. New coated copper batten-seam sheet metal roofing will be installed, matching the 1930 drawings. At the top of each area, an existing surface that is flat will be given a slight slope for drainage. At the bottom of each area, adjacent to the back of the corner pier, a sheet metal cricket will be introduced for improved drainage. We anticipate that these modifications will be minimally visible from grade, if noticeable at all.
- **Limestone masonry.** The limestone masonry below the sheet metal roofing will be cleaned, and joint sealant will be replaced. The existing sheet metal gutter atop the lowest watertable will be replaced to match the existing profile, with downspouts at the north half of the east and west elevations, matching the existing configuration.
- **Brick masonry.** The brick masonry below the limestone on all four sides of the central volume of the building will be repointed, down to the roof below, or to grade. The new mortar will match the color and texture of the mortar at adjacent walls.

- Interior work at the attic, not visible to the public, will include masonry repair and addition of insulation.
- The plaster ceiling at the central lobby (under the dome) will be repaired to match the existing texture and will be repainted to match the existing white color. (Repair of other interior finishes is not included in the present project.)

## Roofing Material

The original 1930 roofing was lead-coated copper, and the 1984 replacement roofing used lead-coated copper. Copper has been used for roofing for centuries and is known for its development of a green patina. Water run-off from copper roofing can deposit green-colored staining on other building materials, including light-colored natural stones such as limestone. Therefore, starting in the twentieth century, lead-coated copper was used for aesthetic reasons to mitigate this type of staining. The lead coating applied to the copper develops a neutral color patina, so water run-off does not deposit noticeable staining on other building materials. In recent decades, health and environmental concerns have resulted in lead being less commonly used in the construction industry. Therefore, tin-zinc-alloy coated copper was developed in the 1990s to serve the same aesthetic purpose as lead-coated copper. For the current project, we propose to use tin-zinc-alloy coated copper for all sheet metal work.



Figure 1. Original lead-coated copper roofing on the library in 1978, with a neutral gray patina.



Figure 2. Tin-zinc-alloy coated copper gutter installed in Evanston in 2009. After thirteen years of weathering, it has a neutral gray patina.

## Review of Standards

The proposed work meets the Standards for Review of Applications for Certificates of Appropriateness. A discussion of each standard as it applies to this project follows.

1. **Height.** The height of the building will not be changed by the dome roof rehabilitation work.
2. **Proportion of front facade.** The proportions of the facades will not be changed by the dome roof rehabilitation work.
3. **Proportion of openings.** The proportion of openings in the facades will not be changed by the dome roof rehabilitation work.
4. **Rhythm of solids to voids in front facades.** The pattern of openings in the facades will not be changed by the dome roof rehabilitation work.
5. **Rhythm of spacing and structures on streets.** The relationship of the structure to the open space between it and adjoining structures will not be changed by the dome roof rehabilitation work.
6. **Rhythm of entrance porches, storefront recesses and other projections.** The relationship of entrances and other projections to sidewalks will not be changed by the dome roof rehabilitation work.
7. **Relationship of materials and texture.** The proposed work includes replacement of the existing lead-coated copper roof assembly with a new tin-zinc-alloy coated copper roof assembly. This change in material offers the same detailing and installation, the same expected service life, the same texture, and a very similar color to the original material, while avoiding any health or environmental concerns related to the use of lead.
8. **Roof shapes.** The overall roof shape will not be changed by the dome roof rehabilitation work. At the dome itself, the roof shape is determined by the shape of the underlying gypsum structural deck. This structural deck will be retained in place during the work. The new sheet metal roofing assembly will conform to the shape of the gypsum deck, in the same manner as the existing sheet metal roof. At the perimeter of the dome, a new built-in gutter will be created at the location of an existing concave trim element. The profiles and projecting lines of the dome trim and cornice will be maintained, making the addition of the gutter minimally visible from grade.

At the corner areas, the overall concave shape is determined by the shape of the underlying wood structural deck. This structural deck will be retained in place during the work, and the new sheet metal roofing assembly will conform to the shape of the wood deck, in the same manner as the existing sheet metal roof. For improved drainage, a small cricket will be introduced behind each corner pier. This cricket will be minimally visible from grade (if visible at all).

9. **Walls of continuity.** The facades and garden walls will not be changed by the dome roof rehabilitation work.
10. **Scale of a structure.** The size and mass of the structure will not be changed by the dome roof rehabilitation work.
11. **Directional expression of front elevation.** The directional expression of the facade will not be changed by the dome roof rehabilitation work.

12. **Preserving distinguishing features.** The proposed dome roof rehabilitation work will preserve the appearance of the distinguishing features of the library by matching the detailing and profiles of the original roof design. The restoration of a watertight building envelope will also preserve other building materials and finishes.
13. **Protection of resources.** The dome roof rehabilitation work will be above ground on an existing structure. The logistics and protection of the site during construction will be part of the requirements in the contract documents and will be discussed as part of the selection of a contractor for construction.
14. **New construction.** The dome roof rehabilitation work does not include new construction.
15. **Repair to deteriorated features.** The 1984 roofing material has deteriorated and is no longer repairable. The original roof design is well documented by architectural drawings and archival photographs, allowing for accurate replication of the composition, design, and profile of the various roof components.
16. **Surface cleaning.** The cleaning of the limestone will use mild chemical cleaners to remove accumulated soiling. The use of inappropriate cleaning systems such as acidic cleaners will be expressly prohibited in the contract documents.
17. **Reversibility of additions and alterations.** Periodic replacement of roof coverings is an expected part of building maintenance. The current project will primarily remove and replace non-original materials dating to the 1984 reroofing. The original masonry and structural systems below will be protected for the life of the new roof.



## HISTORIC PHOTOGRAPHS



Figure 3. The building under construction, early 1931. Source: *The Lake Forester*, March 6, 1931.



Figure 4. Postcard view of the library, 1930s.

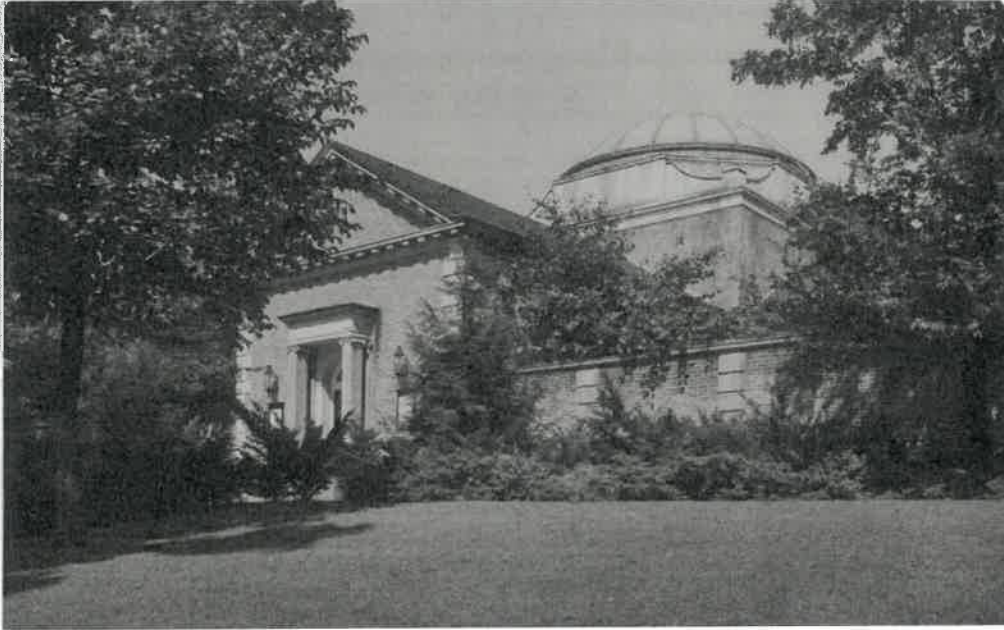


Figure 5. View of the library from the southeast, circa 1960s. The gutter atop the limestone watertable was already present at this time.



Figure 6. View from the southwest, 1975.





Figure 7. Aerial view, 1978, after completion of the additions to the library. Note the light gray color of the dome, the staining of the masonry below, and the gutter and downspouts atop the limestone watertable.



Figure 8. Condition of the dome in early 1984, before the roof replacement project.



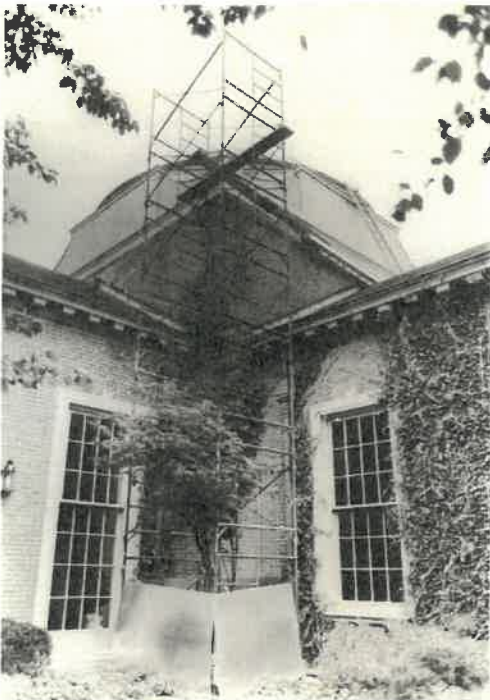


Figure 9. Dome roof replacement in progress, 1984. Note that the limestone has been cleaned.



Figure 10. View of the library from the southeast, 1993.



Figure 11. View of the dome, August 2017.

## PRESENT-DAY VIEWS



Figure 12. View of the library from Deerpath Road.



Figure 13. View of the library from the east.





Figure 14. View of the northwest side of the library.



Figure 15. View of the dome from the roof of the bookstack wing.



THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS***  
*(The use of natural materials is strongly encouraged)*

**Façade Material**

- ☒ Stone  
☒ Brick  
☐ Wood Clapboard Siding  
☐ Wood Shingle  
☐ Cementitious Stucco  
☐ Other \_\_\_\_\_

Color and/or Type of Material \_\_\_\_\_

**Foundation Material**

Exposed Foundation Material \_\_\_\_\_  
\_\_\_\_\_

**Window Treatment**

**Primary Window Type**

- ☒ Double Hung  
☐ Casement  
☐ Sliding  
☐ Other \_\_\_\_\_

Color of Finish \_\_\_\_\_

**Finish and Color of Windows**

- ☒ Wood (recommended)  
☐ Aluminum Clad  
☐ Vinyl Clad  
☐ Other \_\_\_\_\_

**Window Muntins**

- ☐ Not Provided  
☒ True Divided Lites

*Simulated Divided Lites*

- ☐ Interior and Exterior muntin bars (recommended)  
☐ Interior muntin bars only  
☐ Exterior muntin bars only  
☐ Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- ☒ Limestone  
☐ Brick  
☐ Wood  
☐ Other \_\_\_\_\_

**Window Trim**

- ☒ Limestone  
☐ Brick  
☐ Wood  
☐ Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- ☐ Wood  
☒ Other Limestone Cornice \_\_\_\_\_

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material**

---

- ☒ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other \_\_\_\_\_

**Roofing**

---

**Primary Roof Material**

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☒ Slate
- ☐ Clay Tile
- ☐ Composition Shingles \_\_\_\_\_
- ☒ Sheet Metal Tin-Zinc-Alloy Coated Copper
- ☒ Other Modified bitumen membrane

**Flashing Material**

- ☐ Copper
- ☒ Other Tin-Zinc-Alloy Coated Copper
- ☐ Sheet Metal

Color of Material \_\_\_\_\_

**Gutters and Downspouts**

---

- ☐ Copper
- ☐ Aluminum
- ☒ Other Tin-Zinc-Alloy Coated Copper

**Driveway Material**

---

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other \_\_\_\_\_

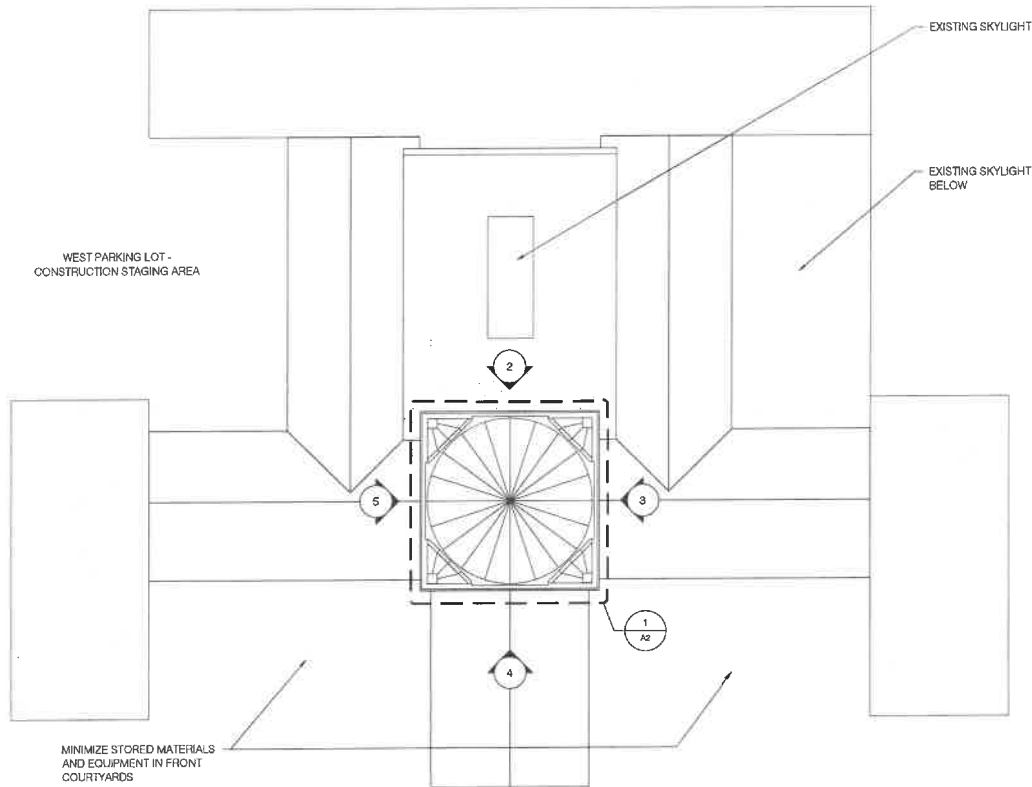
**Terraces and Patios**

---

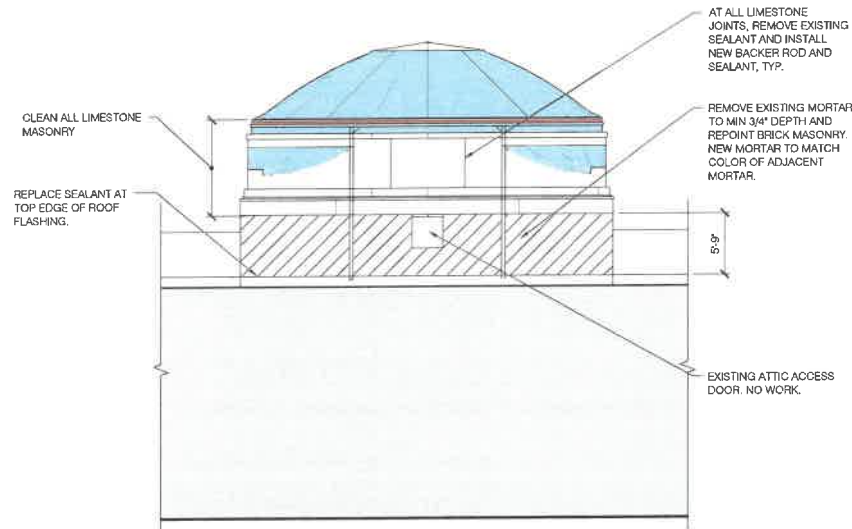
- ☐ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☒ Other N/A

Plotted: 4/22/2022 4:51 PM by Stacey, Reed File Name: P:\2021\2021\_Spec\2021\_5121\_0 - LAKE FOREST LIBRARY (MJD)\Drawings\Preservation Commission Review - Lake Forest Library.dwg

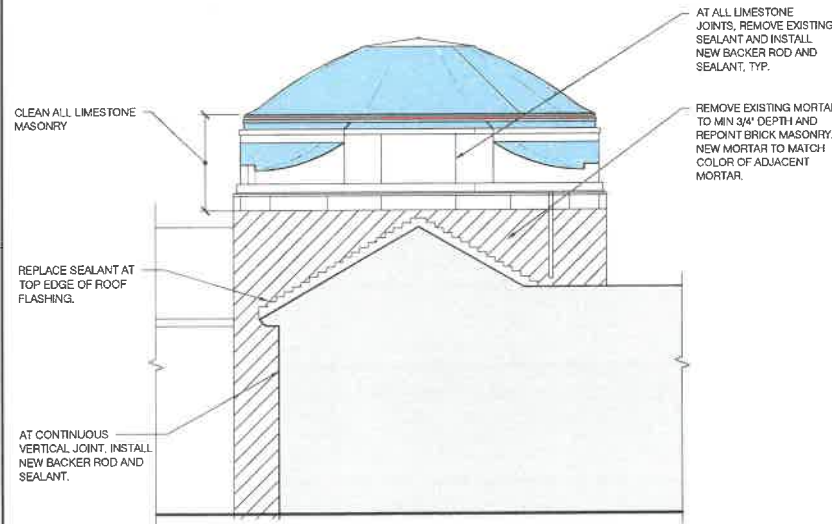
© Copyright 2022. All rights reserved. No part of this document may be reproduced in any form or by any means without permission from Wiss, Janney, Elstner Associates, Inc. (WJE). WJE disclaims any responsibility for its unauthorized use.



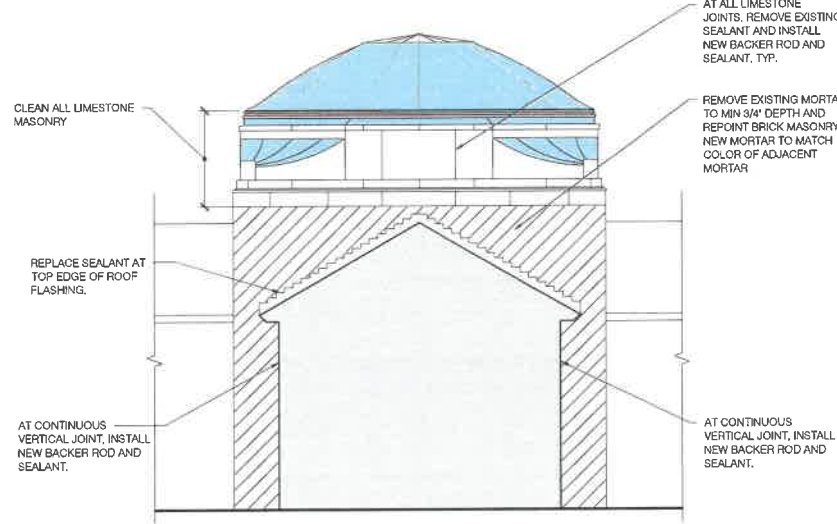
1 Overall Roof Plan  
Scale: 1/16"=1'-0"



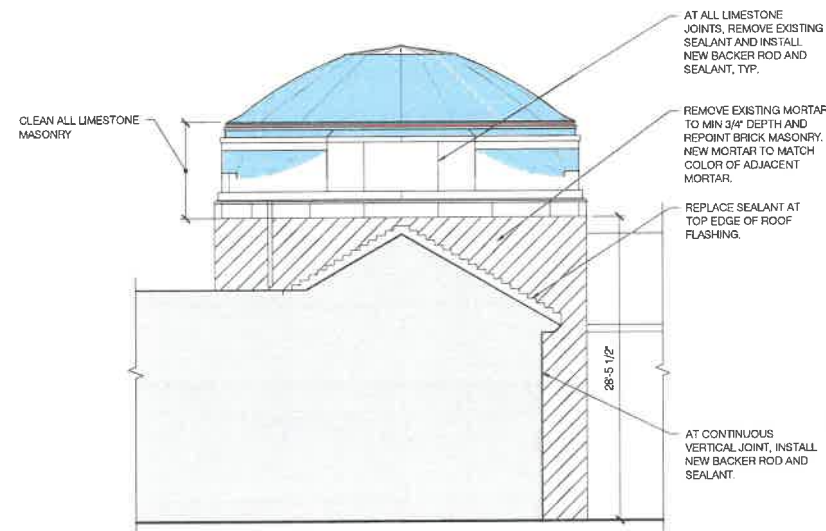
2 North Elevation  
Scale: 1/8"=1'-0"



3 East Elevation  
Scale: 1/8"=1'-0"



4 South Elevation  
Scale: 1/8"=1'-0"



5 West Elevation  
Scale: 1/8"=1'-0"

**WJE** ENGINEERS  
ARCHITECTS  
MATERIALS SCIENTISTS

Wiss, Janney, Elstner Associates, Inc.  
330 Pfingsten Road  
Northbrook, Illinois 60062  
847.272.7400 tel | 847.480.9534 fax  
www.wje.com

Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit  
Doylestown | Honolulu | Houston | Indianapolis | London | Los Angeles  
Manassas | New Haven | Northbrook (HQ) | New York | Philadelphia | Pittsburgh  
Portland | Princeton | Raleigh | San Antonio | San Diego | San Francisco | Seattle  
South Florida | Washington, DC

Consultants

Project

## Lake Forest Library Dome Roof Replacement

360 East Deerpath Road  
Lake Forest, IL 60045

Client

## Lake Forest Library

360 Deerpath Road  
Lake Forest, IL 60045

1	4/22/22	For Historic Preservation Review
Mark	Date	Description

Project No. 2021.5121

Date 04/22/2022

Drawn DRS

Checked KMI / TMP

Scale

## Overall Plan and Elevations

Sheet Title

Sheet No.

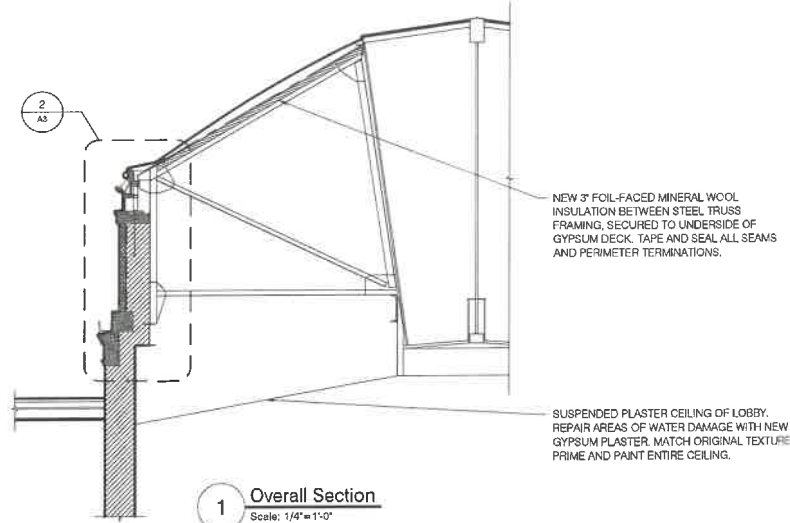
**A1**



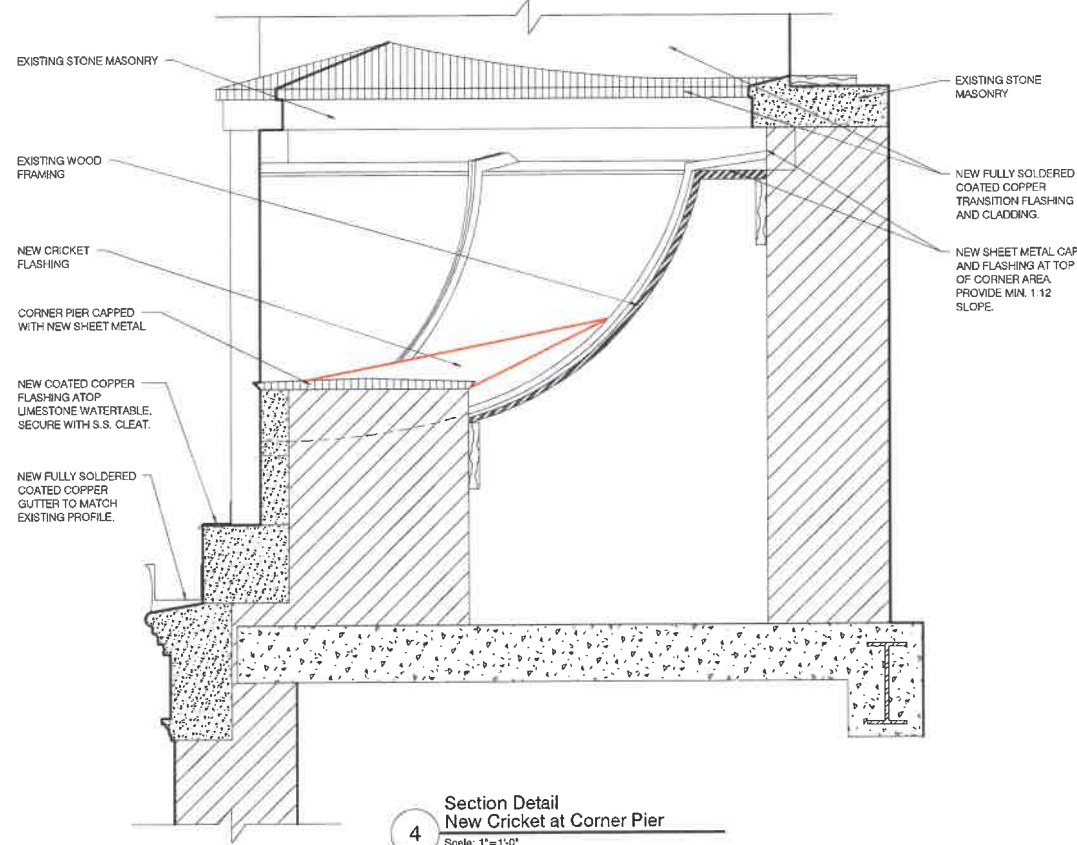
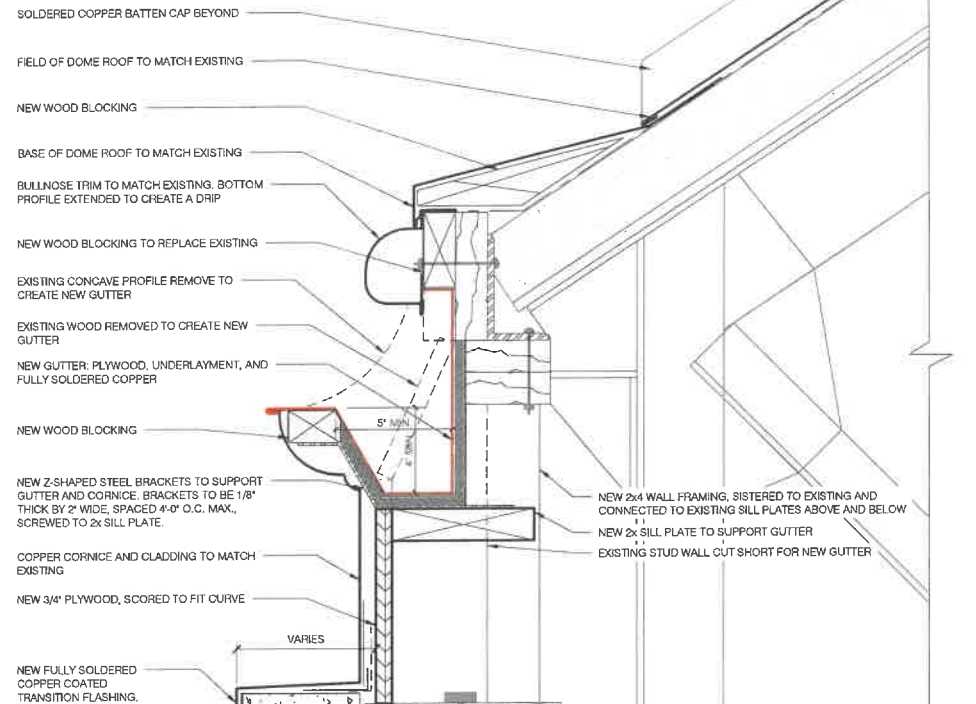
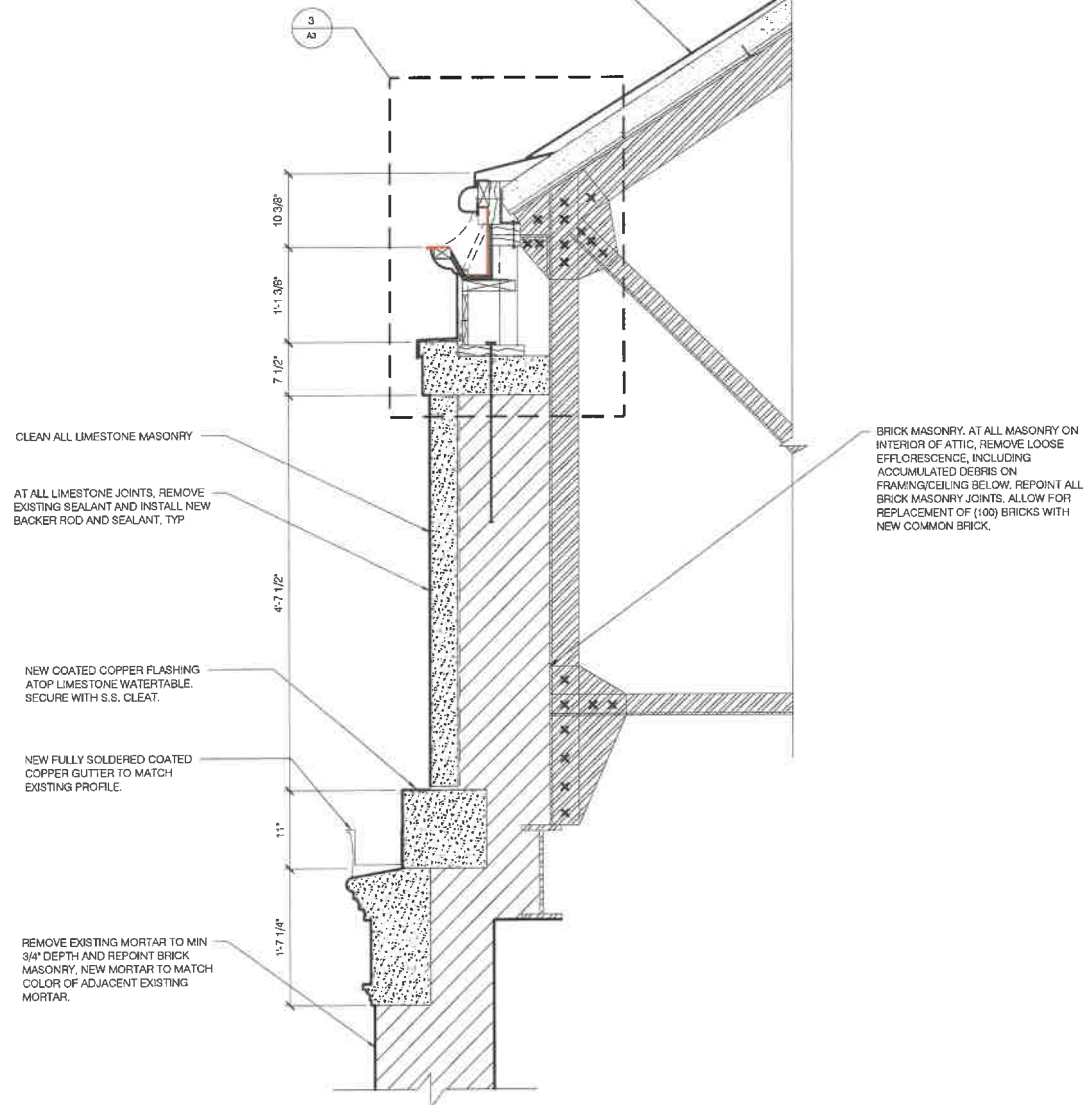




Printed: 4/22/2022 4:51 PM by: Structures, Road File Name: P:\2021\2021 Lake Forest Library.dwg  
© Copyright 2022. All rights reserved. No part of this document may be reproduced in any form or by any means without permission from Wiss, Janney, Elstner Associates, Inc. (WJE). WJE disclaims any responsibility for its unauthorized use.



BATTEN SEAM DOME ROOFING  
REMOVE ALL SHEET METAL, UNDERLAYMENT, AND BATTENS. INSTALL NEW PRIMER, HI-TEMP UNDERLAYMENT, WOOD BATTENS SECURED WITH S.S. FASTENERS. FLASHING PLY OF UNDERLAYMENT OVER BATTEN. AND NEW COATED COPPER ROOFING NAILED TO BATTENS. NEW FULLY SOLDERED COATED COPPER BATTEN COVERS TO MATCH EXISTING PROFILES



**WJE** ENGINEERS  
ARCHITECTS  
MATERIALS SCIENTISTS

**Wiss, Janney, Elstner Associates, Inc.**  
330 Pfingsten Road  
Northbrook, Illinois 60062  
847.272.7400 tel | 847.480.9534 fax  
www.wje.com

Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit  
Doylestown | Honolulu | Houston | Indianapolis | London | Los Angeles  
Manneapolis | New Haven | Northbrook (HQ) | New York | Philadelphia | Pittsburgh  
Portland | Princeton | Raleigh | San Antonio | San Diego | San Francisco | Seattle  
South Florida | Washington, DC

Consultants

Project

**Lake Forest Library  
Dome Roof  
Replacement**

360 East Deerpath Road  
Lake Forest, IL 60045

Client

**Lake Forest Library**

360 Deerpath Road  
Lake Forest, IL 60045

1	4/22/22	For Historic Preservation Review
Mark	Date	Description
THIS SHEET PLOTS FULL SIZE AT 24x36 (INCHES)		

Project No.	2021.5121
Date	04/22/2022
Drawn	DRS
Checked	KMI / TMP
Scale	

**Sections**

Sheet Title

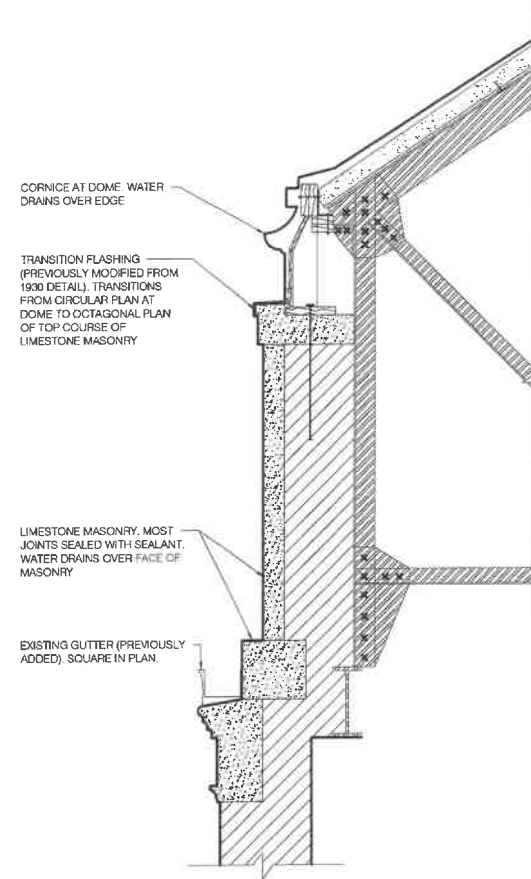
Sheet No.

**A3**

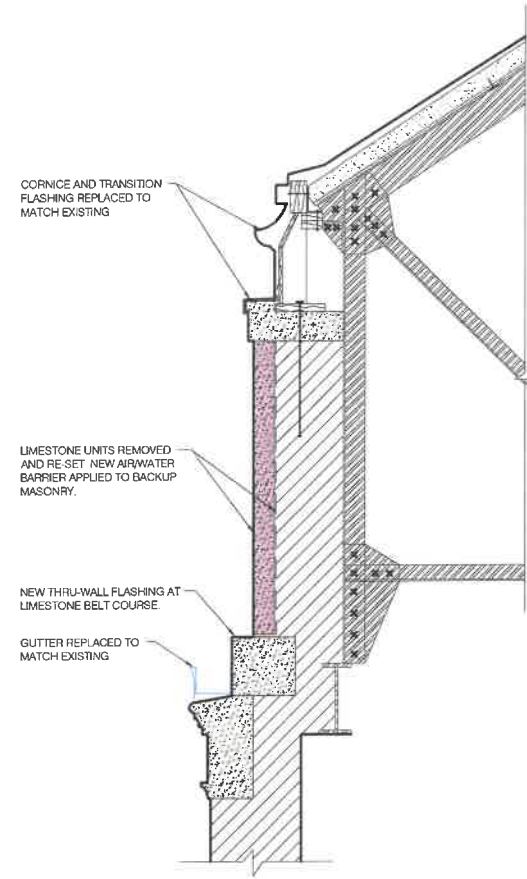
Photo: 4/22/2022 4:46 PM by Stancu, Reed File Name: P:\2021\2021\_Sketch\2021\_5121.D - LAKE FOREST LIBRARY (MJT)\Drawing\Superseded\SK-1 and SK-2 Conceptual Drainage Sketch.dwg

© Copyright 2022. All rights reserved. No part of this document may be reproduced in any form or by any means without permission from Wiss, Janney, Elstner Associates, Inc. (WJE). WJE disclaims any responsibility for all unauthorized use.

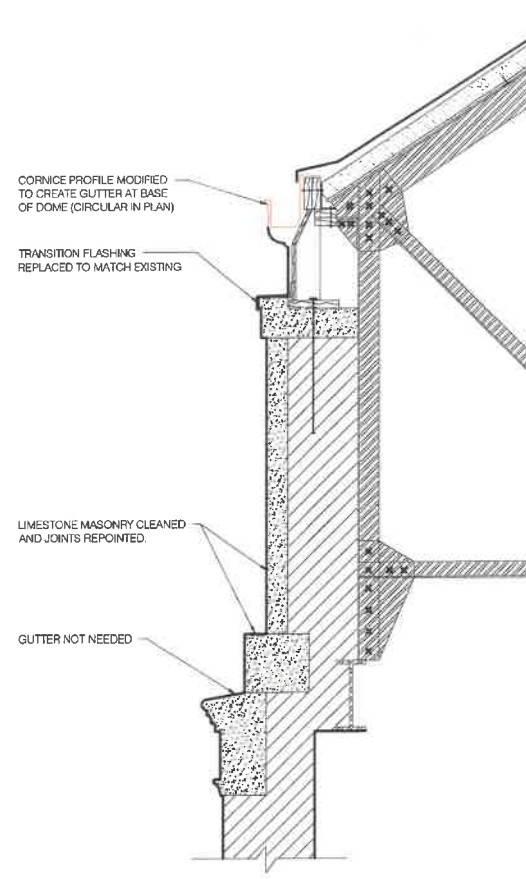
# PRELIMINARY OPTIONS CONSIDERED DURING DESIGN



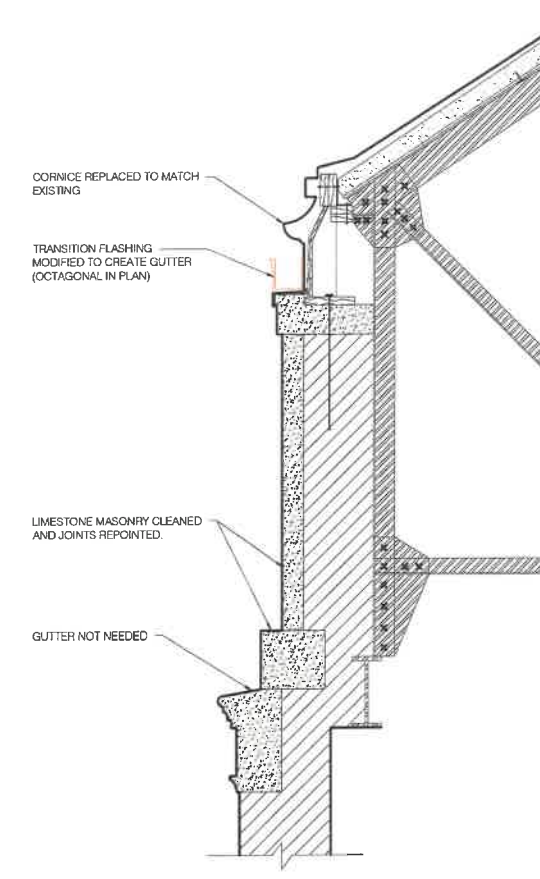
**1A** EXISTING CONDITIONS  
(SECTION AT CENTERLINE)  
Scale: 3/4" = 1'-0"



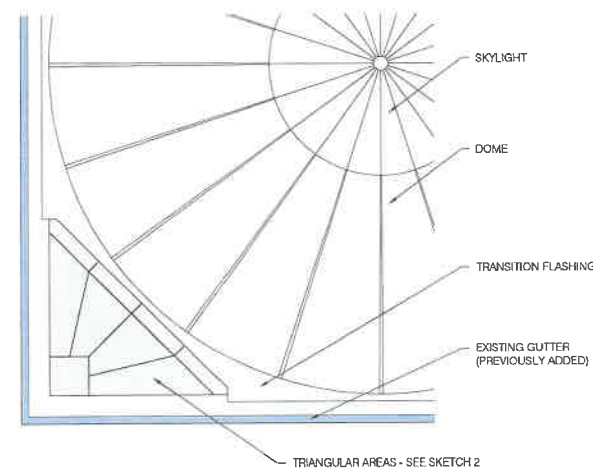
**2A** OPTION 1: ADD FLASHING AND WATER BARRIER TO PROTECT STRUCTURE. DRAINAGE SAME AS EXISTING  
Scale: 3/4" = 1'-0"



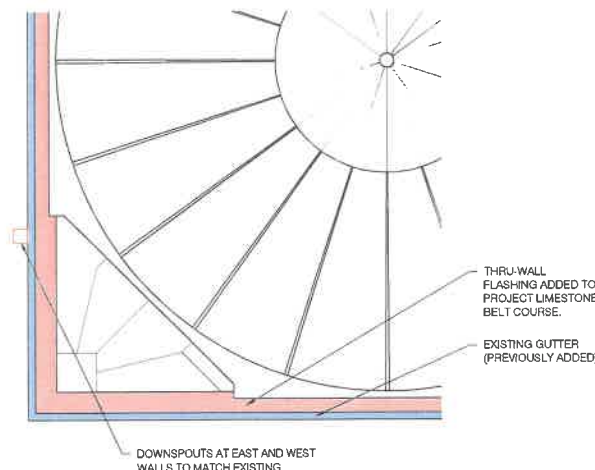
**3A** OPTION 2: ADD GUTTER AT BASE OF DOME  
Scale: 3/4" = 1'-0"



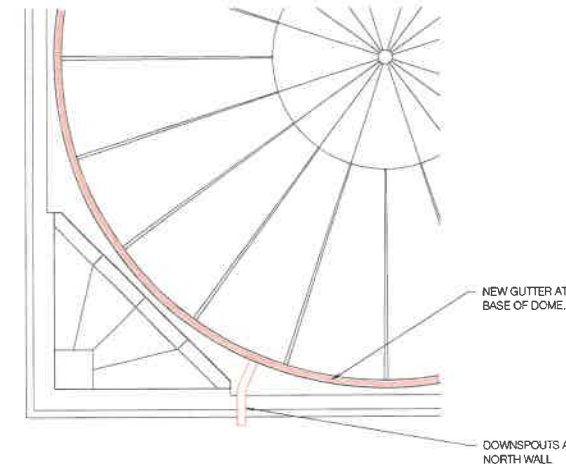
**4A** OPTION 3: ADD GUTTER AT TOP OF MASONRY  
Scale: 3/4" = 1'-0"



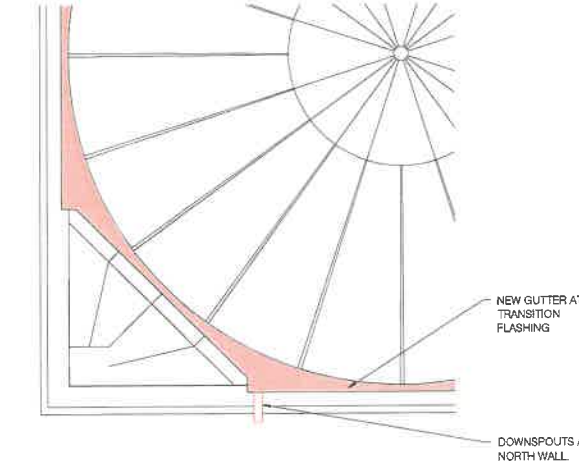
**1B** EXISTING CONDITIONS  
(QUARTER PLAN OF ROOF)  
Scale: 1/4" = 1'-0"



**2B** OPTION 1  
(QUARTER PLAN OF ROOF)  
Scale: 1/4" = 1'-0"



**3B** OPTION 2  
(QUARTER PLAN OF ROOF)  
Scale: 1/4" = 1'-0"



**4B** OPTION 3  
(QUARTER PLAN OF ROOF)  
Scale: 1/4" = 1'-0"

**WJE** ENGINEERS  
ARCHITECTS  
MATERIALS SCIENTISTS

Wiss, Janney, Elstner Associates, Inc.  
330 Pfingsten Road  
Northbrook, Illinois 60062  
847.272.7400 tel | 847.480.9534 fax  
www.wja.com

Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit  
Dayton | Houston | Indianapolis | London | Los Angeles  
Minneapolis | New Haven | Northbrook (HQ) | New York | Philadelphia | Pittsburgh  
Portland | Princeton | Raleigh | San Antonio | San Diego | San Francisco | Seattle  
South Florida | Washington, DC

Consultants

Project


Lake Forest Library  
Dome Roof  
Replacement

360 East Deerpath Road  
Lake Forest, IL 60045

Client

Lake Forest Library

360 Deerpath Road  
Lake Forest, IL 60045

1	4/22/22	For Historic Preservation Review
Mark	Date	Description
		
THIS SHEET PLOTS FULL SIZE		

Project No.	2021.5121
Date	04/22/2022
Drawn	DRS
Checked	KMI / TMP
Scale	As Shown

Conceptual Dome  
Drainage Options

Sheet Title

Sheet No.

A4



Plot: 4/22/2022 4:46 PM by Stuenkel, Brad File Name: P:\2021\2021\_5121\01-LAKE FOREST LIBRARY (MFP)\Drawings\Supplements\SK-1 and SK-2 Conceptual Drainage Sketch.dwg

# PRELIMINARY OPTIONS CONSIDERED DURING DESIGN

**WJE** ENGINEERS  
ARCHITECTS  
MATERIALS SCIENTISTS

Wiss, Janney, Elstner Associates, Inc.  
330 Pfingsten Road  
Northbrook, Illinois 60062  
847.272.7400 tel | 847.480.9534 fax  
www.wja.com

Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit  
Dorchester | Honolulu | Houston | Indianapolis | London | Los Angeles  
Minneapolis | New Haven | Northbrook (HQ) | New York | Philadelphia | Pittsburgh  
Portland | Princeton | Raleigh | San Antonio | San Diego | San Francisco | Seattle  
South Florida | Washington, DC

Consultants

Project

Lake Forest Library  
Dome Roof  
Replacement

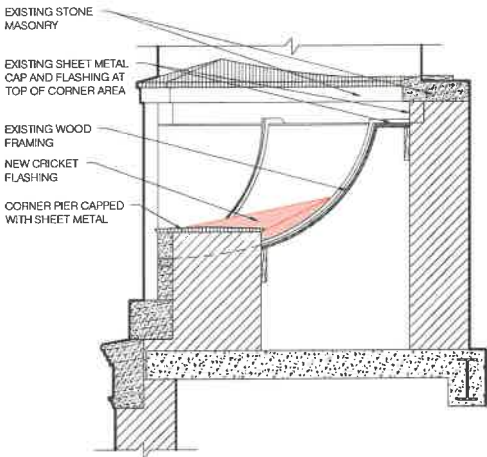
360 East Deerpath Road  
Lake Forest, IL 60045

Client

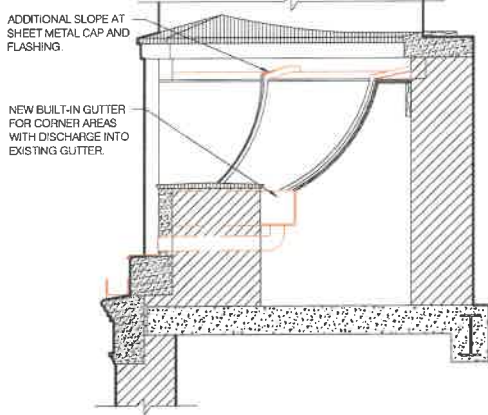
Lake Forest Library

360 Deerpath Road  
Lake Forest, IL 60045

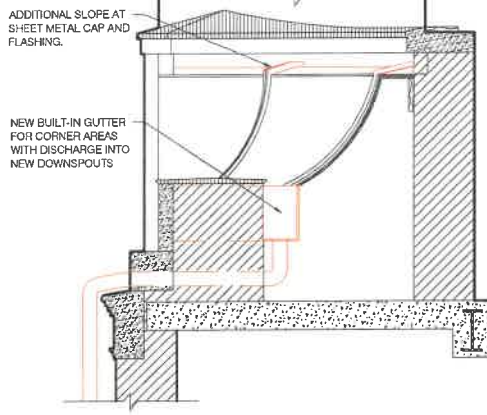
1A EXISTING CONDITIONS  
(SECTION AT CENTERLINE)  
Scale: 1/2" = 1'-0"



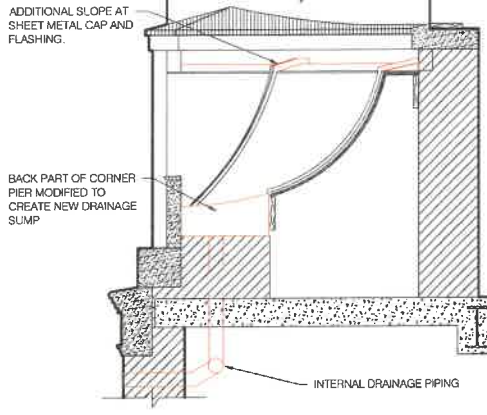
2A OPTION 1: ADD FLASHING AND WATER BARRIER TO PROTECT STRUCTURE. DRAINAGE SAME AS EXISTING  
Scale: 1/2" = 1'-0"



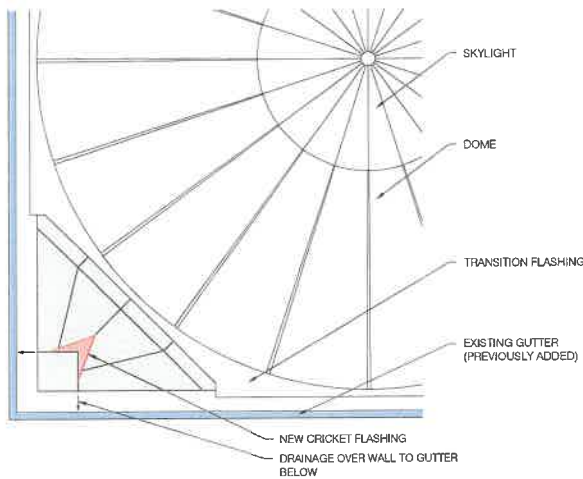
3A OPTION 2: ADD GUTTER AT BASE OF DOME  
Scale: 1/2" = 1'-0"



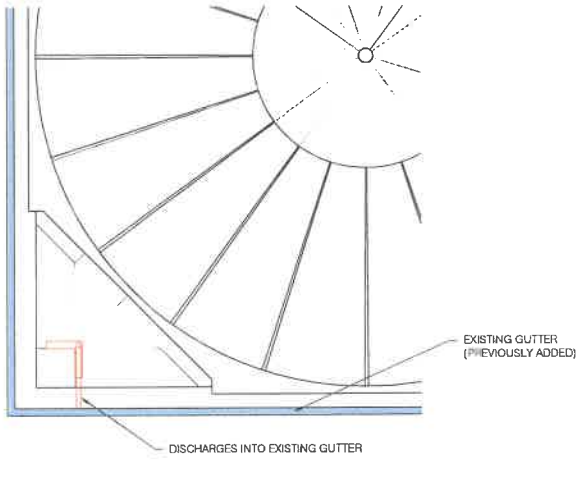
4A OPTION 3: ADD GUTTER AT TOP OF MASONRY  
Scale: 1/2" = 1'-0"



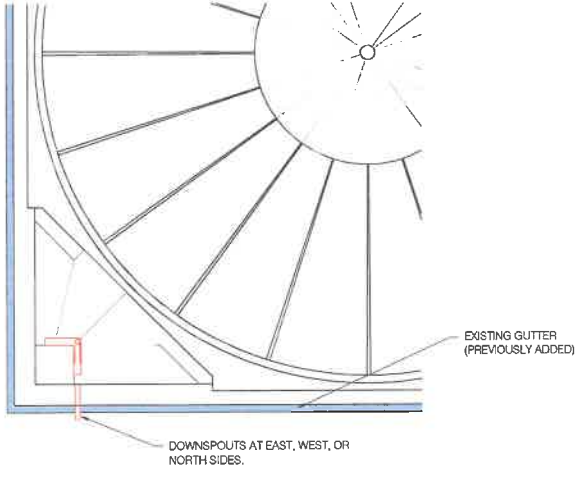
1B EXISTING CONDITIONS  
(QUARTER PLAN OF ROOF)  
Scale: 1/4" = 1'-0"



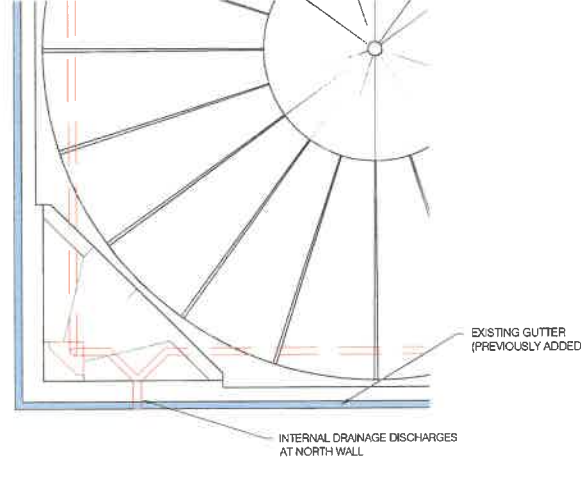
2B OPTION 1  
(QUARTER PLAN OF ROOF)  
Scale: 1/4" = 1'-0"



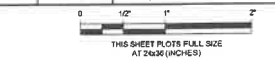
3B OPTION 2  
(QUARTER PLAN OF ROOF)  
Scale: 1/4" = 1'-0"



4B OPTION 3  
(QUARTER PLAN OF ROOF)  
Scale: 1/4" = 1'-0"



Mark	Date	Description
1	4/22/22	For Historic Preservation Review



Project No. 2021.5121

Date 04/22/2022

Drawn DRS

Checked KMI / TMP

Scale As Shown

Conceptual Corner Areas  
Drainage Options

Sheet Title

Sheet No.

A5

© Copyright 2022. All rights reserved. No part of this document may be reproduced in any form or by any means without permission from Wiss, Janney, Elstner Associates, Inc. (WJE). WJE disclaims any responsibility for its unauthorized use.

**Agenda Item 5**  
**89 E. Deerpath**  
**Exterior Alterations**

Staff Report  
*Historic Resources Survey Form*  
*Building Scale Summary*  
Vicinity Map  
*Air Photos*

Materials Submitted by Petitioner

Application  
Statement of Intent  
*Description of Exterior Materials*  
Proposed Site Plan  
Main House  
    Partial Existing and Proposed West Elevations  
    Partial Existing and Proposed South Elevations  
    Existing and Proposed East Elevations  
    Partial Existing and Proposed North Elevations  
    *Existing and Proposed First Floor Plans*  
Coach House  
    Existing and Proposed South Elevations  
    *Existing and Proposed Floor Plans*  
Pool House  
    Existing and Proposed North Elevations  
    Proposed North Color Elevation  
    Existing and Proposed East Elevations  
    *Existing and Proposed First Floor & Hardscape Plans*  
*Images of Existing Property*

*Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.*



## STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grinnell and members of the Historic Preservation Commission
DATE:	May 25, 2022
FROM:	Jennifer Baehr, Planner
SUBJECT:	<b>89 E. Deerpath</b> – Exterior Alterations, Pergola Addition & Building Scale Variance

### **PROPERTY OWNERS**

Nate and Lauren Kelly  
89 E. Deerpath  
Lake Forest, IL 60045

### **PROPERTY LOCATION**

89 E. Deerpath  
Southwest Corner of Deerpath  
and Green Bay Road

### **HISTORIC DISTRICTS**

Green Bay Road Local & National  
Register Historic District

### **PROJECT REPRESENTATIVE**

Ronald McCormack, architect  
400 Broad Street  
Lake Geneva, WI 53147

### **SUMMARY OF THE PETITION**

The petitioners are requesting a Certificate of Appropriateness to allow exterior alterations to the existing structures on the property. The exterior alterations consist of window and door replacement, enclosure of an existing screen porch on the main house, and painting the exterior brick walls on the pool house at the southwest corner of the property. An outdoor kitchen and pergola structure are proposed on the north side of the pool house. New hardscape is also proposed around the pool house.

### **DESCRIPTION OF PROPERTY AND SURROUNDING AREA**

This property is located on the southwest corner of Deerpath and Green Bay Road. The property is known as Bagatelle and is identified as a Contributing Structure to the Historic District. There are three structures on the property; the main house, the coach house at the northeast corner of the site and the pool house generally at the southwest corner of the site. The main residence and coach house were constructed in 1915 and designed in a French Renaissance style by Edward H. Bennett. Bennett worked with Daniel Burnham with whom he was the co-author of the 1909 Chicago Plan. The pool house was built in 1936 and was also designed by Bennett in the Art Moderne style.

More history and background on the property is included in the City's Historic Resources Survey form attached to this staff report.

### **STAFF EVALUATION**

#### *Main House and Coach House*

The petitioners proposed to enclose the screen porch at the southeast corner of the main house and convert it to a dining area. The existing screened openings will be replaced with windows and full lite doors are proposed on the east and west elevations of the space.

Originally, there was a small entry porch on the east side of the home that was enclosed in 1991 and converted to a mudroom. A new French door, matching the front entry door, is proposed on the north elevation of the mudroom.

The sitting room on the east side of the home was originally a sunroom that was entirely glass. In 1991, the sunroom was modified with new windows and a copper roof. The tall casement windows in the sitting room and mudroom on the east side of the main house will be replaced with new openings that are more proportional to the original windows on the home.

The petitioners propose to replace the existing wood storm doors on the south side of the home with aluminum clad wood storm doors.

The only alteration proposed to the coach house at the northeast corner of the property is the addition of one double hung window on the second floor, on the south elevation.

#### *Pool House*

The petitioner is proposing to remove and modify the length of the existing clerestory windows on the north elevation of the pool house to allow for a folding glass door system below. The existing entry door on the east elevation of the pool house will be replaced with a door that is being removed from the kitchen in the main house.

The exterior of the pool house is comprised of different types of brick with different colors and textures. Because of the differences in the appearance of the brick, the petitioners propose to paint the brick the pool house an off-white color to match the stucco on the main house.

An outdoor kitchen and a simple steel pergola is proposed on the northside of the pool house.

#### *Findings*

A staff review of the Historic Preservation standards in the City Code is provided below. As appropriate, findings in response to the standards are offered for the Commission's consideration.

#### **Standard 1 – Height**

This standard is met. The proposed alterations do not change the height of the existing residence. The proposed pergola structure is approximately 8 feet and 6 inches tall and is much lower in height than the existing pool house structure to which it is attached.

#### **Standard 2 – Proportion of Front Façade**

This standard is met. The changes to the front façade are minimal. The new French door proposed in the mudroom on the north façade generally match the appearance of the main entry door although, the new French door does not feature an arched top like the main entry door and therefore, the hierarchy of openings on the front façade is maintained.

#### **Standard 3 – Proportion of openings**

This standard is met. The existing home has a variety of opening sizes and proportions. The proposed replacement windows and doors match the proportions of the original openings on the home.

#### **Standard 4 – Rhythm of Solids to Voids**

This standard is met. The proposed exterior alterations on the main house and pool house maintain the existing rhythm of solids to voids. The new opening on the south elevation of the coach house breaks up an expanse of solid wall, more in keeping with the rhythm of solids to voids found on the rest of the coach house.

#### **Standard 5 – Spacing on the Street**

This standard is not applicable to this request. The proposed exterior alterations and pergola structure do not impact the spacing of structures along the streetscape.

#### **Standard 6 – Rhythm of Entrance Porches**

This standard is not applicable to this request. The entrance to the home is not proposed to change.

#### **Standard 7 – Relationship of Materials and Texture**

This standard is met. In the areas that will be filled in due to changes in window sizes, the materials will match the existing stucco and brick. The new windows and storm doors on the main house and coach house will be aluminum clad wood. The proposed folding door system on the pool house will be aluminum to match the existing openings. The pergola will be constructed of steel columns and beams.

#### **Standard 8 – Roof Shapes**

This standard is not applicable to this request. The roof shapes will not change.

#### **Standard 9 – Walls of continuity**

This standard is met. The new windows on the main house are intended to match more closely to the original windows to present a more cohesive appearance across the elevations of the main house. As noted above, the exterior of the pool house reflects different types of brick. Painting the pool house will make the exterior appear more cohesive.

#### **Standard 10 – Scale**

A building scale variance is requested.

A residence of up to 8,940 square feet is permitted on the property based on the City's building scale regulations. In addition, design elements totaling 894 square feet and a garage allowance of 800 square feet are available. The existing residence on the property is 11,588 square feet and is over the maximum allowable square footage for the property by 2,648 square feet, equal to 29.6 percent of the allowable square footage.

The existing screen porch is currently considered a design element and is exempt from the total square footage of the home. By enclosing the screen porch with windows, the screen porch can no longer be considered a design element and it must be counted toward the total square footage of the house and other structures on the property which already exceed the maximum allowable for this property and therefore, a building scale variance despite the fact that the building footprint is not changing. The square footage of the enclosed screen porch in addition to the existing overage totals 2,836 square feet. A building scale variance of 31.7 percent is requested.

The proposed pergola structure totals 103 square feet and is considered a design element and does not add to the existing square footage overage.

### **Review of Building Scale Variance Standards**

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, *Standard 1 and at least one additional standard be met. The Code does not require that all five standards be met.* These standards recognize that each project is different as is the context of each site. A staff review of the standards is provided below and *findings are offered for the Commission's consideration.*

#### ***Standard 1 -- The project is consistent with the design standards of the City Code.***

This standard is met. Enclosure of the screen porch is a relatively minimal change and does not impact the building footprint. The existing screens will be replaced with windows and glass doors, the openings will not change and the porch still reflects an open and light appearance.

#### ***Standard 2 -- Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.***

This standard is met. Enclosure of the screen porch will not change its height or size. The porch is located on the rear of the main home and is not visible from the street and is minimally visible, if at all, from adjacent properties.

#### ***Standard 3 -- New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.***

This standard is met. As noted above, the porch is not visible from the street. The enclosed porch will be mostly glass, presenting a light and open appearance.

#### ***Standard 4 -- The height and mass of the residence, garage, and accessory structures will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.***

This standard is met. The height of the porch is not proposed to change and because the porch will be mostly glass, the open character will not add to the visual mass of the home.

#### ***Standard 5 -- The property is located in a local historic district or is designated as a Local Landmark and the approval of a variance would further the purpose of the ordinance.***

This standard is met. The property is located in a local historic district. Enclosure of the porch has minimal visual impact to the property and will enhance the functionality of the home for the current property owner.

#### ***Standard 6 -- The property is adjacent to land used and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.***

The standard is not met. This property is not located adjacent to open space.



**In summary, in staff's determination, the criteria for a building scale variance are satisfied as detailed in the findings presented above. The first standard and four additional standards are satisfied.**

**Standard 11 – Directional Expression of Front Elevation**

This standard is not applicable to this request. The proposed exterior alterations and pergola structure do not impact the directional expression of the front elevation.

**Standard 12 – Preservation of Historic Material**

This standard is met. The proposed exterior alterations and pergola do not result in the loss of any distinguishing features or elements of the historic structures.

**Standard 13 – Preservation of Natural Resources**

This standard is met. The proposed alterations and pergola will not impact any existing trees on the site. New plantings including Redbud trees and a boxwood hedge are proposed around the new stone terrace on the north side of the pool house.

**Standard 14 – Compatibility**

This standard is met. The proportions of the new openings and exterior materials are compatible with the style and character of the existing structures on the property. The pergola is an open structure that has a light appearance that does not visually impact the pool house structure.

**Standard 15 – Repair to deteriorated features**

This standard is not applicable to this request. Based on information in the petitioner's statement of intent, there are no plans to repair deteriorated features as part of this project. The existing storm doors that are in disrepair will be completely replaced with new aluminum clad wood doors.

**Standard 16 – Surface cleaning**

This standard is not applicable to this request. Based on information in the petitioner's statement of intent, surface cleaning is not currently needed.

**Standard 17 – Integrity of historic property**

This standard is met. The proposed exterior alterations will not negatively impact the integrity of the historic property but instead, will enhance the appearance of the home by replacing the incompatible openings in the sitting room and mudroom with windows that are compatible with the character with the existing residence. As noted above, the pergola is a light and open structure that will not impact the integrity of the pool house structure.

**PUBLIC COMMENT**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, staff has not received any public comment on this petition.

## **RECOMMENDATION**

Grant a Certificate of Appropriateness approving the exterior alterations to the existing residence, coach house and pool house structures, a pergola, a building scale variance and hardscape and landscape enhancements as presented in this staff report and incorporating the Commission's deliberations as additional findings. Staff recommends approval subject to the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission. If any modifications are proposed in response to Commission direction or as a result of design development, plans clearly detailing the areas of change must be submitted at the time of submission for permit, *along with* the plans originally presented to the Commission, and will be subject to review by staff, in consultation with the Chairman as appropriate, to verify that the plans are consistent with the intent of the Commission and the approvals granted.
2. Prior to the issuance of a building permit, a plan to protect trees and vegetation identified for preservation during construction must be submitted and will be subject to review and approval by the City's Certified Arborist.
3. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, *except those illuminated by natural gas at low light levels*, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
4. Prior to the issuance of a building permit, a materials staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the neighborhood, neighboring properties and existing trees and landscaping during construction.



# City of Lake Forest, Illinois

## Historic Resources Survey Form

ID: 1060

**Property Address:**

Street: 89 E DEERPATH  
City: Lake Forest State: Illinois  
County: Lake

**Historic Property Name:** Edward H. Bennett, Sr. House, "Bagatelle"

**Original Owner:** Edward H. Bennett, Sr.

**Other Previous Owners:** LACY, ALAN

**Present Owner:** KELLY, NATHAN P

**Current Property Name:**

**Resource Type:** Building  
**Date of Construction:** 1915-16  
**Use, Original:** Single Family Residence  
**Use, Present:** Single Family Residence  
**Theme:** Domestic  
**Secondary Theme:** Country Estate Era  
**Style:** French Country  
**Secondary Style:**

**Architect/Engineer:** Edward Herbert Bennett

**Builder/Contractor:** Unknown

**Landscape Architect:**

**Plan Shape:** Rectangular  
**Number of Stories:** 2  
**Structural Framing:**  
**Foundation Material:**  
**Facade Material:** Brick and Stucco  
**Roof Form:** Hip

**Decorative Features & Surfacing:**

**Photo Name:** 1979

**Demolished:** **Date:**

**Zoning District:** R4

**Subdivision:** Parts of Lots 8, 9 & 10 of Thompson's Addition; platted 1865.

**Subdivided from:** David B. Jones Estate - 180 acres, built 1895, extant.  
Location: 500 N. Green Bay Road

**Current Property Size (est.):** 2.05 acres

**Original Property Size (est.):** 2.05 acres

**Facade Easement?:** No

**Held by:**

**Conservation Easement?:** No

**Held by:**

**Roof Material:** Slate

**Primary Window Type:**

**Porches:**

**Integrity:** Good

**Condition:** Good





## City of Lake Forest, Illinois Historic Resources Survey Form

ID: 1060

### Local Register:

#### **Local Historic District:**

Local Ordinance District

#### **Contributing Significance to Local District:**

Contributing

#### **Contributing Significant Resources:**

House, "Bagatelle," - Edward Herbert Bennett, 1915-16; Coach house - Edward Herbert Bennett, 1915-16; concrete wall - 1915-16; Studio - Edward Herbert Bennett, 1936; landscape - 1915-16; statue - 1920s; fountain - 1920s

### **Is this Property Eligible for Local Landmark Designation?:**

Yes

#### **Local Landmark Designation:**

Listed as a Local Landmark,

### **Is this Property Identified as a Historic Resource located outside the Local Historic District?:**

#### **Other Districts:**

Historic Residential and Open Space Preservation

### National Register:

#### **National Register Historic District:**

Green Bay Road

#### **Contributing Significance to National District:**

Contributing

#### **Contributing Significant Resources:**

House, "Bagatelle," - Edward Herbert Bennett, 1915-16; Coach house - Edward Herbert Bennett, 1915-16; concrete wall - 1915-16; Studio - Edward Herbert Bennett, 1936; landscape - 1915-16; statue - 1920s; fountain - 1920s

### **Is this Property Eligible for National Register Listing?:**

#### **Individual National Register Listing :**

Listed on the National Register of Historic Places, March 3, 1995

#### **Other Designations:**

### **History and Significance:**

"Bagatelle" is identified as a contributing structure to the Historic District. The existing house, constructed in 1915-16, is an exemplification of the French Country style and is distinguished by its overall quality of design, detail, materials, and craftsmanship. Overall the building possesses a high level of integrity making it worthy of preservation.

David B. Jones built one of the earliest estates on Green Bay Road, "Pembroke Lodge", at 500 Green Bay Road, extant. Designed by Henry Ives Cobb in 1895, his main house remains a single family home; the barn was remodeled into a single family home by Jones' grandson, architect Edward H. Bennett, Jr., for himself and his family. Jones originally owned all the property west of Green Bay Road that sloped down to the Skokie River from West Westminster, one street north of Deerpath Road, to approximately Pembroke Drive on the south. "Bagatelle", was built on property that was a gift from David B. Jones to his daughter, Catherine and Edward H. Bennett following their marriage.

Edward H. Bennett (1874-1954) was born in England and studied architecture in Paris. He came to Chicago to work for Daniel Burnham, with whom he was the co-author of the 1909 Chicago Plan. As part of the Chicago Plan, he designed the Michigan Avenue bridge, a double-decked trunnion bascule bridge, it was the world's first bridge to have two levels for street traffic. Bennett's design, completed in 1920, was a monumental link between the north and south sides of Michigan Avenue.

The Bennett House was designed in the style that gained popularity from approximately 1915 to 1945 and has been variously known as "French Renaissance," "French Eclectic," or "French Revival." The styles' characteristic features include steeply pitched hipped roofs with flaring eaves, double glass doors opening onto a terrace or balcony, low arched dormers and quoins at the corners. In addition, there is a sense of dignity, formality and serenity to almost all French Renaissance homes, including Bennett's. Bennett chose to name his house "Bagatelle" after a small but formal manor house in Bois des Boulogne, Paris.

That Edward H. Bennett should have been inspired by French architecture in the design for his Lake Forest house is not surprising. The formal design for his home and grounds can be traced to his training. In 1895, he studied at the Ecole des Beaux-Arts in Paris, where he received a scholarly and disciplined training and learned the art of composition: to design buildings by combining elements from various historical sources into unified and orderly wholes. With excellent integrity, there is a clearly seen cohesiveness to the design of Bennett's house, coach house and surrounding wall (which are similar in scale, use of material and detailing) and to the axial relationship between the house and gardens.

The two-story coach house, located in the northeast corner of the property, was originally a rectangular structure with an exterior door accessing the upstairs apartment on the north exposure. A north wing that is approximately 25' x 20' was added to the coach house by Bennett. It doubled the size of the garage. The City of Lake Forest has no building records before 1928 in its file for this property and Edward Bennett, Jr. states it was built before 1930. The north wing is square with a pointed hip roof.

Between the house and the garage is a courtyard that connects to two driveways, one that exists to the west of the house onto Deerpath and one that exists south onto Green Bay Road. The entrance onto Green Bay was recently cut to replace a second cut onto Deerpath, near the corner, to relieve a traffic hazard. The house, coach house and studio are all secluded from the street by the 6 foot concrete wall with wire brushed red brick trim.

Standing at the highest point on the property, the Bennett House dominates the landscape, with formal gardens extending from the broad rectangular terrace on the south side of the house. These are laid out symmetrically as Bennett originally intended, though they incorporate changes Bennett made in the 1920s. Toward the south end of the lawn, in the center, is a pool with corners that curve inward and a tile floor in a geometric pattern. Just beyond the pool are five concrete stairs leading up to a small rectangular lawn rimmed by hedges, with a statue of a woman named Flora. At the back of the statue are two urns.

The ornamental pool, urns and statue were added in the 1920s. Bennett's son Edward H. Bennett, Jr. commented in a memoir written in 1993 that his father planned a garden with a pool. He notes that four vases probably come from a trip his parents made to Paris in 1923.



## City of Lake Forest, Illinois

### Historic Resources Survey Form

ID: 1060

In 1936, Edward H. Bennett, desiring a retreat and a place to paint, built a studio at the south end of the lower lawn which had not previously been landscaped. The studio was accessed by a stone walkway at the south end of the gardens in front of the statue.

The studio that Bennett designed was built in the Art Moderne style. French in origin, the style can trace its roots to the Exposition de Arts Decorative, held in Paris in 1925. The style is highly simplified, differing from the earlier more stylized and ornamental Art Deco style in its use of smooth surfaces, flat roofs and curved corners.

#### Changes:

All changes that have been made to the property over the years have either been made by Bennett or are sympathetic with Bennett's designs, and both the buildings and setting have excellent integrity. In 1922, the east entrance and greenhouse were restructured.

#### Property Setting:

The Edward H. Bennet House, "Bagatelle", designed in 1915-16 by its owner, is located on the southwest corner of Deerpath and Green Bay Road. The property contains the French Renaissance style house, which is located in the middle of the north end of the property with the south façade facing formally-landscaped gardens; a similarly designed coach house built the same year in is located in the northeast corner of the property and a studio, designed in the Art Modern style by Bennett in 1936 in the southwest corner of the property. A concrete wall built in 1915-1916 surrounds the property along Deerpath and Green Bay Road.

#### Associated Buildings:

Garage with Apartment, Studio; Pool, Shed

#### Sources of Information:

Green Bay Road National Register District Nomination Form, Buchbinder-Green, 1995; LF GIS; City of Lake Forest Address and History Files.

#### Certif. of Appropriateness Case #(s):

**89 E DEERPATH**

Survey Date:

Demolished:

Demolition Date:

# THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 89 E. Deerpath Owner(s) Nate and Lauren Kelly  
 Architect Ronald McCormack Reviewed by: Jen Baehr  
 Date 5/25/2022  
 Lot Area 89249 sq. ft.

## Square Footage of Existing Residence:

1st floor 3609 + 2nd floor 3198 + 3rd floor 2100 = 8907 sq. ft.

Design Element Allowance = 894 sq. ft.

Total Existing Design Elements = 561 sq. ft. Excess = 0 sq. ft.

Garage 1078 sf actual ; 800 sf allowance Excess = 278 sq. ft.

Garage Width 26'-9" ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 2403 sq. ft.

Total Square Footage of Existing Residence = 11588 sq. ft.

**29.6% over the maximum allowed  
(Existing)**

## Square Footage of Proposed Additions:

1st floor 188 + 2nd floor 0 + 3rd floor 0 = 188 sq. ft.

New Garage Area 0 sq. ft. Excess = 0 sq. ft.

New Design Elements 103 sq. ft. (new pool house pergola) Excess = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 11776 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 8940 sq. ft.

DIFFERENTIAL = 2836 sq. ft.

**NET RESULT:**  
**Over Maximum  
(Existing)** 2418 sq. ft. is

Allowable Height: 40 ft. Actual Height 38'- 9" (existing house) 8'-6" (new pergola) **31.7% over the  
Max. allowed**

## DESIGN ELEMENT EXEMPTIONS (Existing & Proposed)

Design Element Allowance: 894 sq. ft.

Front & Side Porches = 0 sq. ft.

Rear & Side Screen Porches = 310 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

Pergolas = 103 sq. ft.

Individual Dormers = 63 sq. ft.

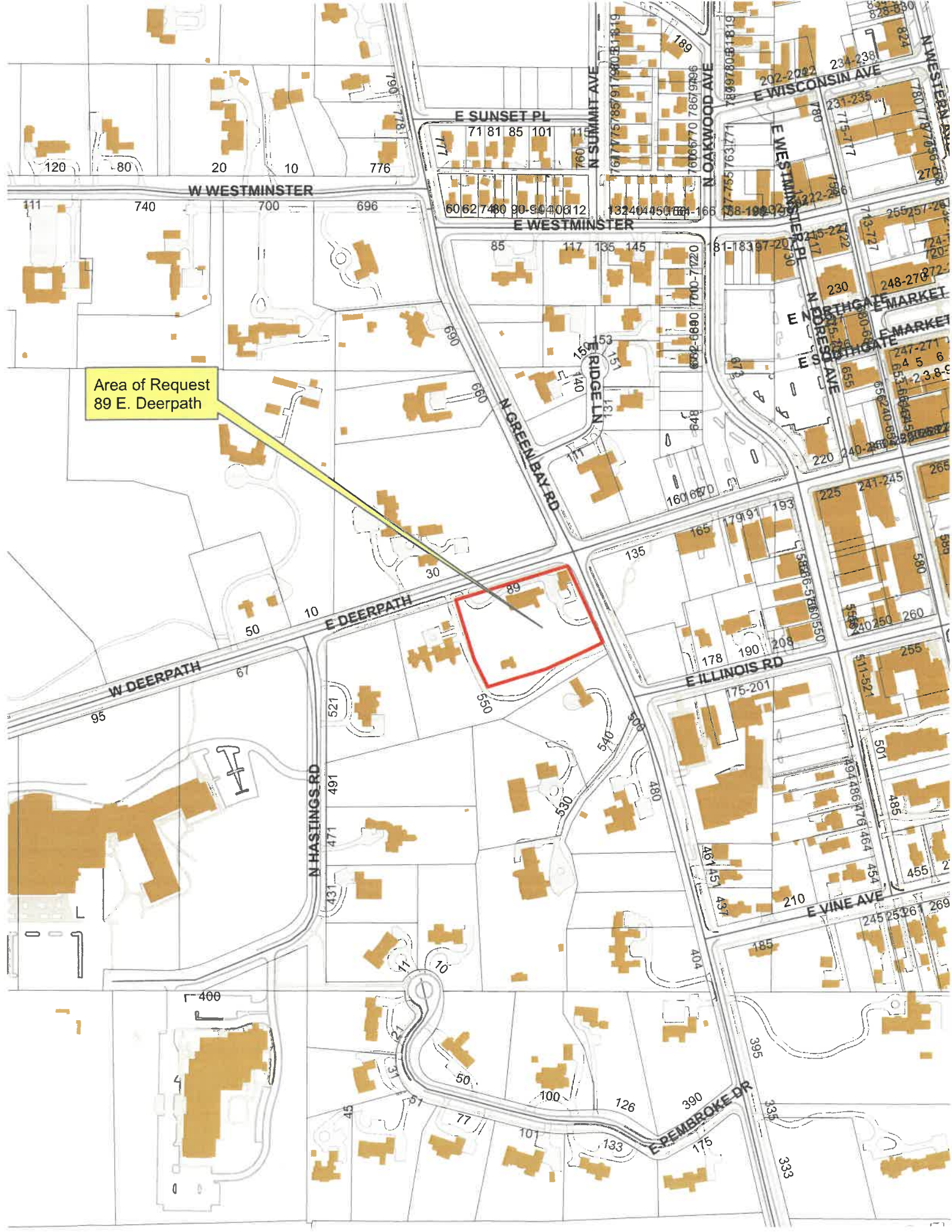
Bay Windows = 0 sq. ft.

Total Actual Design Elements = 476 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request  
89 E. Deerpath





Area of Request  
89 E. Deerpath





Area of Request  
89 E. Deerpath







**THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A  
CERTIFICATE OF APPROPRIATENESS**

**PROJECT ADDRESS** 89 DEERPATH ROAD, LAKE FOREST

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input checked="" type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

**HISTORIC DISTRICT OR LOCAL LANDMARK** (leave blank if unknown)

- ☐ East Lake Forest District    ☒ Green Bay Road District    ☐ Vine/Oakwood/Green Bay Road District  
☒ Local Landmark Property or District    ☐ Other

**PROPERTY OWNER INFORMATION**

NATE & LAUREN KELLY  
Owner of Property

89 DEERPATH RD.  
Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60045  
City, State and Zip Code

312-213-3544  
Phone Number                      Fax Number

NATHAN.P.KELLY@GMAIL.COM  
Email Address

Owner's Signature

**ARCHITECT/BUILDER INFORMATION**

RONALD MCCORMACK, AIA  
Name and Title of Person Presenting Project

MCCORMACK & ETTEN ARCHITECTS  
Name of Firm

400 BROAD ST.  
Street Address

LAKE GENEVA, WI 53147  
City, State and Zip Code

262-248-8391  
248-8392  
Phone Number                      Fax Number

RON@MCCORMACKETTEN.COM  
Email Address

Representative's Signature (Architect/Builder)

**The staff report is available the Friday before the meeting, after 3:00pm.**

<b>Please email a copy of the staff report</b>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
<b>Please fax a copy of the staff report</b>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
<b>I will pick up a copy of the staff report at the Community Development Department</b>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE

March 23, 2022

Ms. Cathy Czerniak  
Director, Community Development  
City of Lake Forest, IL

Cc: Ms. Jenn Baehr, Community Development  
Ron McCormack, McCormack + Etten Architects LLP

RE: Renovations to Bagatelle, 89 Deerpath Rd.

Dear Cathy,

Thank you again for taking a preliminary look at our proposed plans! Per my conversation with your office, below are the exterior alterations to the structures- Main House, Garage/Guest House and Pool House. We are very cognizant of the historical importance of the home. In every case, the proposed alterations are designed to 1) restore the home to the original design by Edward Bennett or 2) remodel additions that were done previously to be more consistent with Bennett's design intent and aesthetic. I do have a copy of most of the original plans for reference and we will include those in our submittal if you would like to confirm any details. Additionally, I have added the applicable permit numbers and dates to previous additions for reference.

Please let us know if you have any questions.

**Primary House**

- Amend the windows & door in the side mudroom - The mudroom was an addition approved on 11/20/1991 under Lake Forest permit 24524. As originally designed by Bennett, this was a roofed open porch with exterior stair to basement. As it currently stands, the windows and doors are inconsistent with the original windows and doors on the house. The proposed alterations would correct these inconsistencies and match style and placement with the remainder of the house, and would allow more efficient interior functionality.

- Amend the windows in the east sunroom and gazebo. As originally designed by Bennett, this was a glass-roofed sunroom and screened gazebo. The proposed alterations would make the windows in the sunroom more consistent with the original windows in the house with matching divided lights. The screens in the gazebo, which detract from the beauty of the space, would be replaced with full glass windows and doors with the structure minimally altered to support them. In both cases, the outside appearance is minimally impacted.

- The existing deteriorated full lite French storm doors at 1<sup>st</sup> floor terrace and west porch to be replaced with matching clad wood doors.

**Garage**

- Addition of one window to the south wall of north side addition, 2nd story - The garage addition was added after the original construction and is not on the original plans. It is the only wall in the guest house without a window. The window would be centered above a window on the first floor and match the existing original windows at the 2<sup>nd</sup> floor addition.

**Pool House**

- Restore the north facing windows and doors to full height - The large north facing windows and doors were altered and replaced with brick about 6 ft in height. This can be seen in the attached images. Please notice that the brick, mortar, and lintels do not match the original structure. We propose restoring this to the original condition, removing the brick courses, and replacing it with full length doors to match the existing curved doors that remain.

- Replace the existing slab entry door on East side with a glass French door relocated from the main house.

- Paint to match the stucco on the house - The brick on the pool house has been added to, repaired, and replaced numerous times since its original construction in 1936. We propose painting the entire structure to match the stucco color on the main house. This would make the structure more consistent and eliminate the chopped-up feel of the existing brick.

- Add an outdoor grill area - Addition of an outdoor kitchen and patio area. While not connected to the pool house or altering any existing structures, we wanted to point it out nonetheless.

Regards,  
Nate





April 8, 2022

The City of Lake Forest  
Historic Preservation Commission

Re: Renovations to Bagatelle, Garage/Guest House & Pool House  
Nathan & Lauren Kelly, Owners  
89 E Deerpath Road Lake Forest, IL

### STATEMENT OF INTENT

Dear Commission Members: In support of the Historic Preservation Commission Application for Certificate of Appropriateness for the Kelly Residence at 89 Deerpath Road, Lake Forest, I offer the following explanations for the 17 criteria for the Standards for Review; Responses are in **bold face** within each item.

#### § 155.08 STANDARDS FOR REVIEW OF APPLICATIONS FOR CERTIFICATES OF APPROPRIATENESS.

(A) Standards for review of replacement structures, new construction, additions and alterations. In considering an application for a certificate of appropriateness for replacement structures, new construction, additions and alterations, the Commission shall consider only the following general standards, specific design guidelines, if any, accompanying the ordinance designating the landmark, interior landmark or district, and the standards included in this section, as relevant and applicable.

(1) Height. Height shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.

**There are no new exterior additions proposed and there is no proposed change to the height of any existing structures.**

(2) Proportion of front facade. The relationship of the width to the height of the front elevation shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

**There are no new exterior additions proposed and there is no proposed change to the height of any existing structures.**

(3) Proportion of openings. The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

**The new windows proposed at the Main House Mud Room and Family Room will match the divided light proportions of the original adjacent windows, replacing windows that were a poor match and out of scale in this 1990's addition. The new French entry door at north wall of Mud Room will match the main front door proportions, except no arch top is wanted here (see photos). The new windows proposed for the enclosure of the Dining Porch will infill the existing screened openings, and will not have divided lites, to better match the original screened porch look. New French storm doors for the south façade of the main house will exactly**

McCormack + Etten /Architects, LLP

400 Broad Street, Lake Geneva, WI 53147  
Email: [ron@mccormacketten.com](mailto:ron@mccormacketten.com)

Ph (262) 248-8391 x11 Fax (262) 248-8392  
<http://www.mccormacketten.com>



match existing deteriorated wood storm doors, but are proposed to be clad aluminum for better longevity.

The new window added at south facing 2<sup>nd</sup> floor wall of the Guest House will match the adjacent windows on east wall of same structure.

At the Pool House, the new series of glass full-lite doors on north wall will match the proportions and aluminum finish of the original casement windows adjacent and above. Based on the mis-match of existing brick veneer in this wall area to be removed, it is presumed that there was originally a glass wall in this area that was later enclosed for some reason.

(4) Rhythm of solids to voids in front facades. The relationship of solids to voids in the front facade of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

**There are no changes proposed to the front façade of the Main House. The new window at the south wall of Guest House will be barely visible from Green Bay Road, but it will add interest to an existing blank wall area. The north wall of the Pool house has no visibility from off property.**

(5) Rhythm of spacing and structures on streets. The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

**No changes proposed.**

(6) Rhythm of entrance porches, storefront recesses and other projections. The relationship of entrances and other projections to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

**Not applicable.**

(7) Relationship of materials and texture. The relationship of the materials and texture of the facade shall be visually compatible with the predominant materials used in the structures to which it is visually related.

**No change in materials or textures is proposed; brick and stucco will match existing.**

(8) Roof shapes. The roof shape of a structure shall be visually compatible with the structures to which it is visually related.

**No changes proposed.**

(9) Walls of continuity. Facades and property and site structures, such as masonry walls, fences and landscape masses, shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects and places to which such elements are visually related.

**No changes proposed. The existing 6 foot tall brick and stucco walls on Deerpath and Green Bay Roads, that the property is so well known for, do in fact conceal all of the proposed exterior changes from public view**

(10) Scale of a structure. The size and mass of structures in relation to open spaces, windows, door openings, porches, adjacent structures and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

**No changes proposed.**

(11) Directional expression of front elevation. A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in

**McCormack + Etten /Architects, LLP**

400 Broad Street, Lake Geneva, WI 53147  
Email: [ron@mccormacketten.com](mailto:ron@mccormacketten.com)

Ph (262) 248-8391 x11 Fax (262) 248-8392  
<http://www.mccormacketten.com>



its directional character, whether this be vertical character, horizontal character or nondirectional character.

**No changes proposed.**

(12) Preserving distinguishing features. The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed or adversely affected in a material way. The alteration of any historic material or distinctive architectural features should be avoided when possible.

**No changes proposed. Please refer to Owner's letter to Community Development regarding their commitment to preserving Bagatelle.**

(13) Protection of resources. Every reasonable effort shall be made to protect and preserve archaeological and natural resources affected by, or adjacent to any project.

**The only change to exterior landscape is for a new stone terrace and exterior bbq area adjacent to the Pool House, and a new stone walk connecting to the swimming pool. This will displace minor planting beds and lawn. No trees will be affected.**

(14) New construction. In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for consistency with the chosen style.

**No style changes are proposed. The unique Deco or International style of the Pool House built in 1936, will be retained and respected, despite the departure from the French Country Manor style of the Main house.**

(15) Repair to deteriorated features. Deteriorated architectural features shall be repaired rather than replaced, wherever possible, in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. In the event replacement is necessary, the new material need not be identical to but should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

**There are no major deteriorated components being removed or replaced in this project other than select windows and doors, and every effort is to match original in detail and color.**

(16) Surface cleaning. The surface cleaning of historic material and distinctive architectural features shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historically, visually, aesthetically, culturally or archaeologically significant materials shall not be undertaken.

**No intensive surface cleaning is needed or proposed.**

(17) Reversibility of additions and alterations. Wherever possible, additions or alterations to historic properties shall be done in such manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would not be impaired.

**Any of the proposed changes could be reversed in the future, but if done, it is felt they would be to the detriment of the property functionally, aesthetically, and historically.**

**McCormack + Etten /Architects, LLP**

400 Broad Street, Lake Geneva, WI 53147  
Email: [ron@mccormacketten.com](mailto:ron@mccormacketten.com)

Ph (262) 248-8391 x11 Fax (262) 248-8392  
<http://www.mccormacketten.com>





THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS***  
(The use of natural materials is strongly encouraged)

**Facade Material**

- ☐ Stone  
☒ Brick  
☐ Wood Clapboard Siding  
☐ Wood Shingle  
☒ Cementitious Stucco  
☐ Other \_\_\_\_\_

**Foundation Material**

Exposed Foundation Material \_\_\_\_\_

Color and/or Type of Material EXISTING  
BROWN BRICK,  
WARM WHITE STUCCO

**Window Treatment**

**Primary Window Type**

- ☒ Double Hung  
☐ Casement  
☐ Sliding  
☐ Other \_\_\_\_\_

**Finish and Color of Windows**

- ☒ Wood (recommended)  
☒ Aluminum Clad  
☐ Vinyl Clad  
☐ Other \_\_\_\_\_

Color of Finish MARVIN COCONUT CREAM

**Window Muntins**

- ☐ Not Provided  
☒ True Divided Lites

**Simulated Divided Lites**

- ☐ Interior and Exterior muntin bars (recommended)  
☐ Interior muntin bars only  
☐ Exterior muntin bars only  
☐ Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- ☒ Limestone SILL  
☐ Brick  
☐ Wood  
☐ Other STUCCO PER EXIST.

**Window Trim**

- ☒ Limestone SILL  
☐ Brick  
☐ Wood  
☐ Other STUCCO PER EXIST.

**Fascias, Soffits, Rakeboards** NA

- ☐ Wood  
☐ Other \_\_\_\_\_

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS - CONTINUED***

**Chimney Material** NA, EXISTING

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other \_\_\_\_\_

**Roofing**

**Primary Roof Material**

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☒ Slate
- ☐ Clay Tile
- ☐ Composition Shingles
- ☐ Sheet Metal
- ☒ Other COPPER

**Flashing Material**

- ☒ Copper
- ☐ Other \_\_\_\_\_
- ☐ Sheet Metal

Color of Material EXISTING, NO CHANGE

**Gutters and Downspouts**

- ☒ Copper
- ☐ Aluminum
- ☐ Other EXISTING, NO CHANGE

**Driveway Material**

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☒ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other EXISTING, NO CHANGE

**Terraces and Patios**

- ☒ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other BLUESTONE TERRACE NEW @ POOL HOUSE

R.E. DECKER

R.G. PAVLETIC  
P.L.S. 035-3261

# Map of Survey

OF

Those parts of Lots 8, 9 and 10 described as follows: Beginning at the point of intersection of the Westerly line of Green Bay Road and the Southerly line of Deerpath (said point of intersection being the Northeast corner of Lot 8 in said Thompsons Addition to the City of Lake Forest; thence South 25 degrees 15 minutes East along said Westerly line of Green Bay Road, 245.00 feet (deed 244.80 feet (measured) to the Northeast corner of Lot "A" in the Pembroke Subdivision, according to the plat thereof recorded as Document 1100609 on November 27, 1968; thence South 64 degrees 45 minutes West along the Northerly line of said Lot "A" in the Pembroke Subdivision 176.00 feet (deed 175.98 feet (measured) to an angle point in said Northerly line of Lot "A"; thence continuing along said Northerly line of Lot "A" in the Pembroke Subdivision, South 72 degrees 20 minutes West 175.70 feet (deed 175.46 feet (measured) to the Northwest corner of said Lot "A" also being a point on the Easterly line of Lot 2 in said Pembroke Subdivision; thence North 25 degrees 15 minutes West along the Easterly line of said Lot 2 in the Pembroke Subdivision, 84.83 feet (deed 84.78 feet (measured) to an angle point in said Easterly line of said Lot 2 in the Pembroke Subdivision; thence continuing along said Easterly line of Lot 2 in the Pembroke Subdivision North 18 degrees 02 minutes West 180.00 feet (deed 180.09 feet (measured, more or less, to the Northeast corner of said Lot 2, also being a point on said Southerly line of Deerpath; and thence North 71 degrees 58 minutes East along said Southerly line of Deerpath, 330.00 feet (deed 330.30 feet (measured), more or less, to the point of beginning, in Thompsons Addition to the City of Lake Forest, a subdivision of part of the Northwest Quarter of Section 33, Township 44 North, Range 12, East of the Third Principal Meridian, according to the plat thereof, recorded August 7, 1865, in Book 39 of Deeds, Page 184, in Lake County, Illinois.

Commonly known as: 89 E. DEERPETH, LAKE FOREST, ILLINOIS.

## PROPOSED SITE PLAN

LEGEND	
N.	North
S.	South
E.	East
W.	West
N.W.	Northwest
N.E.	Northeast
S.E.	Southeast
S.W.	Southwest
P.O.B.	Point of Beginning
S.O.F.T.	Square Feet
R.O.W.	Right of Way
Doc.	Document
Rec.	Recorded as
Meas.	Measured
T.F.	Top of Foundation
MIN.	Minimum
MAX.	Maximum

### EXTERIOR ALTERATION KEYNOTES: (X)

#### MAIN HOUSE

- REMODEL EXISTING HUBROOM, NEW ENTRY DOOR & WINDOWS
- REMODEL EXISTING SITTING ROOM, REMOVE & REPLACE WINDOWS
- REMODEL EXISTING SCREEN PORCH FOR NEW CONDITIONED SPACE NEW DOORS & WINDOWS IN EXISTING OPENINGS
- EXISTING STORM DOORS TO BE REMOVED & REPLACED

#### GUEST HOUSE

- NEW WINDOW ADDED AT SECOND FLOOR SOUTH ELEVATION

#### POOL HOUSE

- NEW DOOR SYSTEM AT NORTH FACADE, EXISTING BRICK TO BE PAINTED, RELOCATED ENTRY DOOR FROM MAIN HOUSE, NEW OUTDOOR KITCHEN & PERGOLA

### ZONING INFO:

PARCEL NO.: 0331103

ZONING DISTRICT: CITY OF LAKE FOREST - HISTORIC RESIDENTIAL PRESERVATION AND OPEN SPACE DISTRICT R-4 SINGLE FAMILY RESIDENCE DISTRICT

LOT AREA: 1.05245 SF. ± 1.205 ACRES

#### SETBACKS:

SINGLE FAMILY DETACHED DWELLING

FRONT YARD 50 FT  
INTERIOR SIDE YARD 20 FT  
CORNER SIDE YARD 50 FT  
REAR YARD 50 FT

#### ACCESSORY USE

FRONT YARD 50 FT  
INTERIOR SIDE YARD 20 FT  
CORNER SIDE YARD 20 FT  
REAR YARD 10 FT  
STRUCTURE ENTIRELY LOCATED IN REAR 75% OF LOT

MAXIMUM BUILDING HEIGHT: 40 FT

### SITE NOTES

- SURVEY INFORMATION SHOWN HEREIN IS TAKEN FROM PLAT OF SURVEY PREPARED BY (R.E. DECKER PROFESSIONAL LAND SURVEYORS P.C. 14 E. COOK AVENUE, LIBERTYVILLE, IL 60046, PHONE (631) 367-0091, DATED (11-26-2017) PROJECT NO. (11-08)
- NO WARRANTY IS MADE REGARDING THE ACCURACY OF THE SURVEY
- ALL TREES AND SHRUBS OUTSIDE OF 10' (TEN) PERIMETER OF THE BUILDING STRUCTURE SHALL REMAIN AND SHALL BE PROTECTED FROM DAMAGE AT ALL TIMES, UNLESS OTHERWISE DIRECTED. WITHIN THE CROWN LINE OF ANY TREES TO REMAIN, DO NOT STORE ANY MATERIALS, STOCKPILE SOIL, PAVK OR DRIVE VEHICLES OR EQUIPMENT, CHANGE EXISTING GRADE, WATER LEVEL OR DRAINAGE PATTERNS UNLESS SPECIFICALLY PERMITTED TO DO SO BY THE ARCHITECT. DAMAGED TREES SHALL BE REPLACED BY NEGLIGENT PARTY WITH STOCK OF EQUAL SIZE AND VALUE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE IN ALL DIRECTIONS. VERIFY GRADES AND RELATIVE FLOOR LEVELS IN FIELD PRIOR TO EXCAVATION AND MAKE ADJUSTMENTS AS DIRECTED BY ARCHITECT TO ENSURE PROPER DRAINAGE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EROSION CONTROL MEASURES AT SITE DURING CONSTRUCTION AS REQUIRED BY LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES, AND HAVE ALL EXISTING UTILITIES STAKED PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO INITIATING ANY CONSTRUCTION.
- ALL INSTALLATIONS SHALL CONFORM TO THE APPROPRIATE REGULATORY AGENCY REQUIREMENTS.
- ERRORS IN TOPOGRAPHY AND/OR FAILURE TO NOTIFY ARCHITECT OF DISCREPANCIES SHALL VOID THIS DESIGN.

Lot 2  
Pembroke Subdivision

ARCHITECTURAL SITE PLAN  
w/ POOLHOUSE LANDSCAPE  
SCALE: 1" = 20'-0"

### EXISTING IMPERVIOUS SURFACES

ELEMENT	AREA
EX MAIN HOUSE	± 326.0 SF
EX WEST SCREEN PORCH	± 380 SF
EX EAST SCREEN PORCH	± 188 SF
EX GUEST HOUSE	± 1443 SF
EX POOL HOUSE	± 1131 SF
EX MAIN HOUSE TERRACE	± 601 SF
EX DRIVEWAY & WALKS	± 10531 SF
EX FOUNTAIN	± 271 SF
EX PRIVACY WALLS	± 715 SF
EX POOL TERRACE & WALKS	± 2382 SF
EX POOL HOUSE WALK & PATIO	± 535 SF
TOTAL EXISTING IMPERVIOUS SURFACES	± 21431 SF

### NEW IMPERVIOUS SURFACES

ELEMENT	AREA
NEW POOL TERRACE & WALK	654 SF
NEW OUTDOOR KITCHEN & PERGOLA	103 SF
TOTAL NEW IMPERVIOUS SURFACES	757 SF

McCormack + Eiten / Architects, LLP  
Lake Geneva, WI 53147  
400 Broad Street  
Ph: (262) 248-8391  
Fax: (262) 248-8392  
www.mccormackeiten.com  
contact@mccormackeiten.com

ALTERATIONS TO THE  
NATE & LAUREN KELLY RESIDENCE - BAGATELLE  
89 DEERPETH RD  
LAKE FOREST, IL 60045

PROJECT NO.  
2130

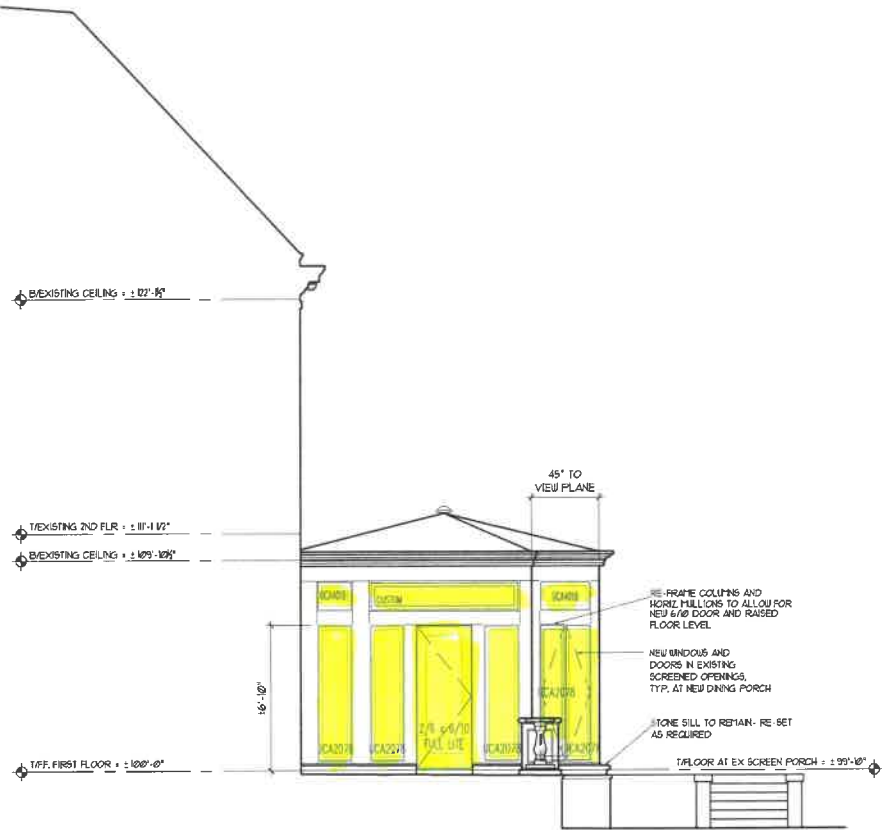
REVISIONS  
PRELIMINARY  
BID/APPRAVAL  
PERMIT  
CONSTRUCTION  
DATE  
5-6-2022  
SHEET  
AS-1  
OF

PARTIAL EXISTING & PROPOSED WEST ELEVATIONS AT SCREEN PORCH

(MAIN HOUSE)



PARTIAL MAIN HOUSE AT EX SCREEN PORCH  
EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"



PARTIAL MAIN HOUSE AT EX SCREEN PORCH  
WEST ELEVATION  
SCALE: 1/4" = 1'-0"



PARTIAL EXISTING & PROPOSED SOUTH ELEVATIONS (MAIN HOUSE)



MAIN HOUSE  
EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

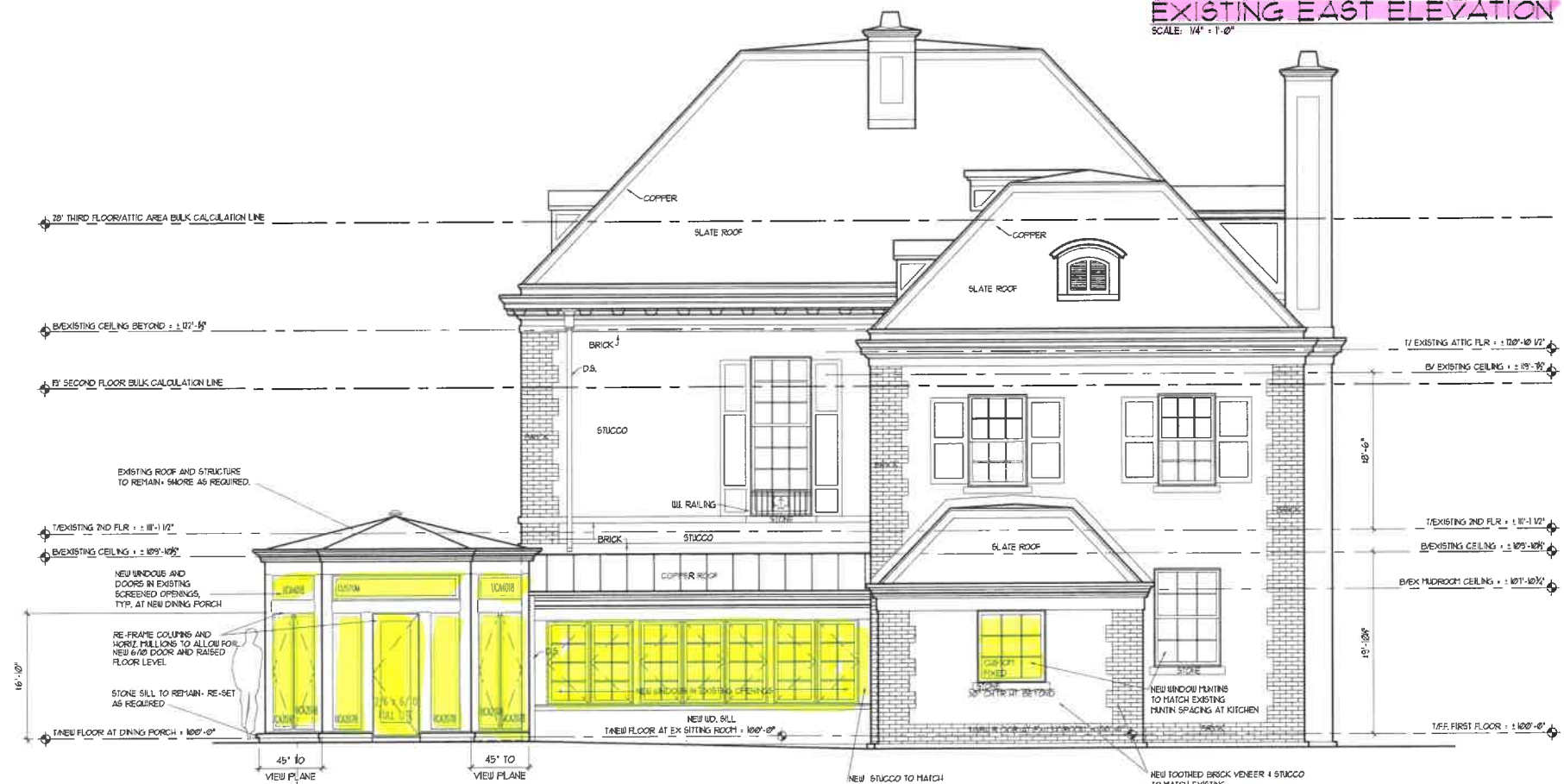


MAIN HOUSE  
SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

REPLACE EXISTING 1/2\"/>



MAIN HOUSE  
EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"



MAIN HOUSE  
PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"

ALTERATIONS TO THE  
**NATE & LAUREN KELLY RESIDENCE - BAGATELLE**  
89 DEERPATH RD  
LAKE FOREST, IL 60045

PROJECT NO.  
2130

REVISIONS	

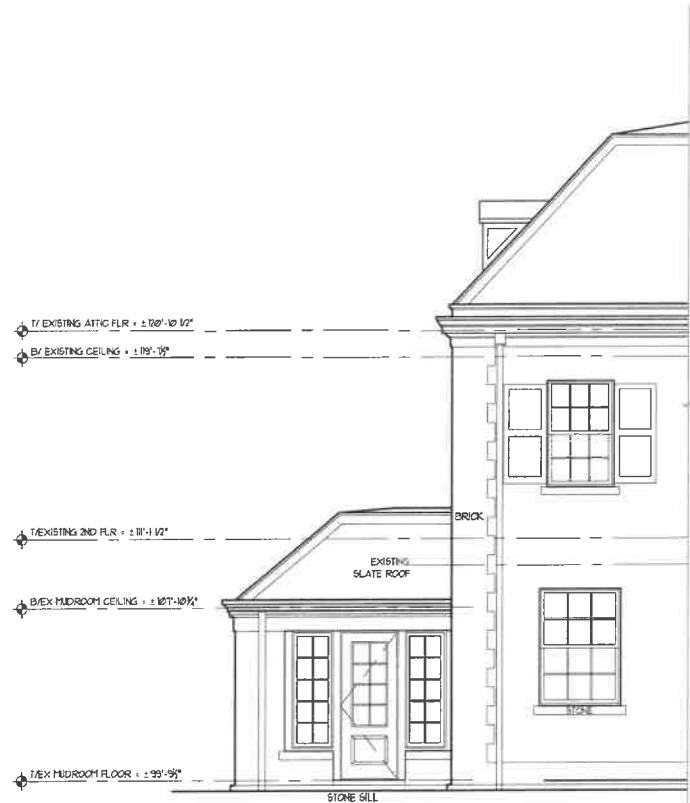
- ☒ PRELIMINARY
- ☐ BID/APPROVAL
- ☐ PERMIT
- ☐ CONSTRUCTION

DATE  
5-6-2022

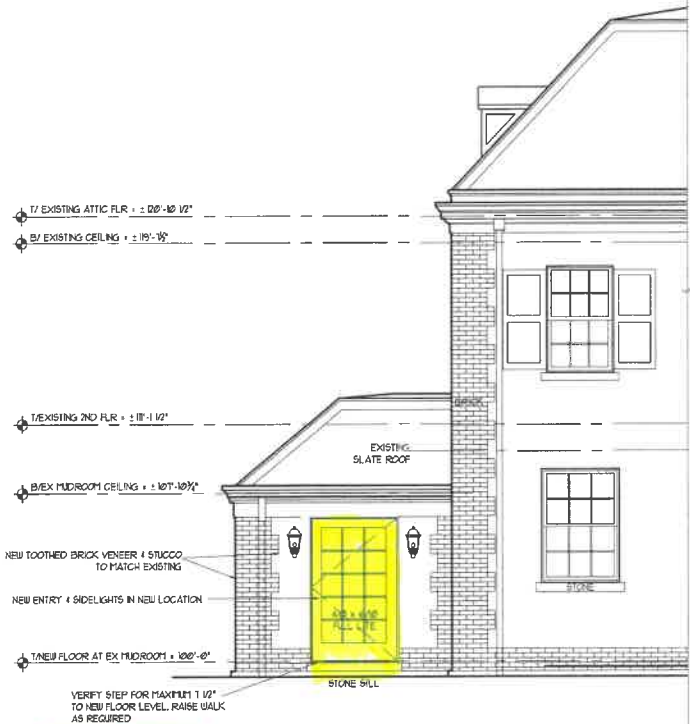
SHEET  
**A-5**  
OF

**McCormack + Eiten / Architects** <sup>TM</sup>, LLP  
Lake Geneva, WI 53147  
Ph (262) 248-8391  
Fax (262) 248-8392  
www.mccormackeiten.com  
contact@mccormackeiten.com

PARTIAL EXISTING & PROPOSED NORTH ELEVATIONS (MAIN HOUSE)



MAIN HOUSE  
EXISTING PARTIAL NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



MAIN HOUSE  
PARTIAL NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

McCormack + Eiten / Architects <sup>TM</sup>, LLP  
400 Broad Street  
Lake Geneva, WI 53147  
Ph (262) 248-8381  
Fax (262) 248-8392  
www.mccormackeiten.com  
contact@mccormackeiten.com

ALTERATIONS TO THE  
NATE & LAUREN KELLY RESIDENCE - BAGATELLE  
89 DEERPATH RD  
LAKE FOREST, IL 60045

PROJECT NO.  
2130

REVISIONS

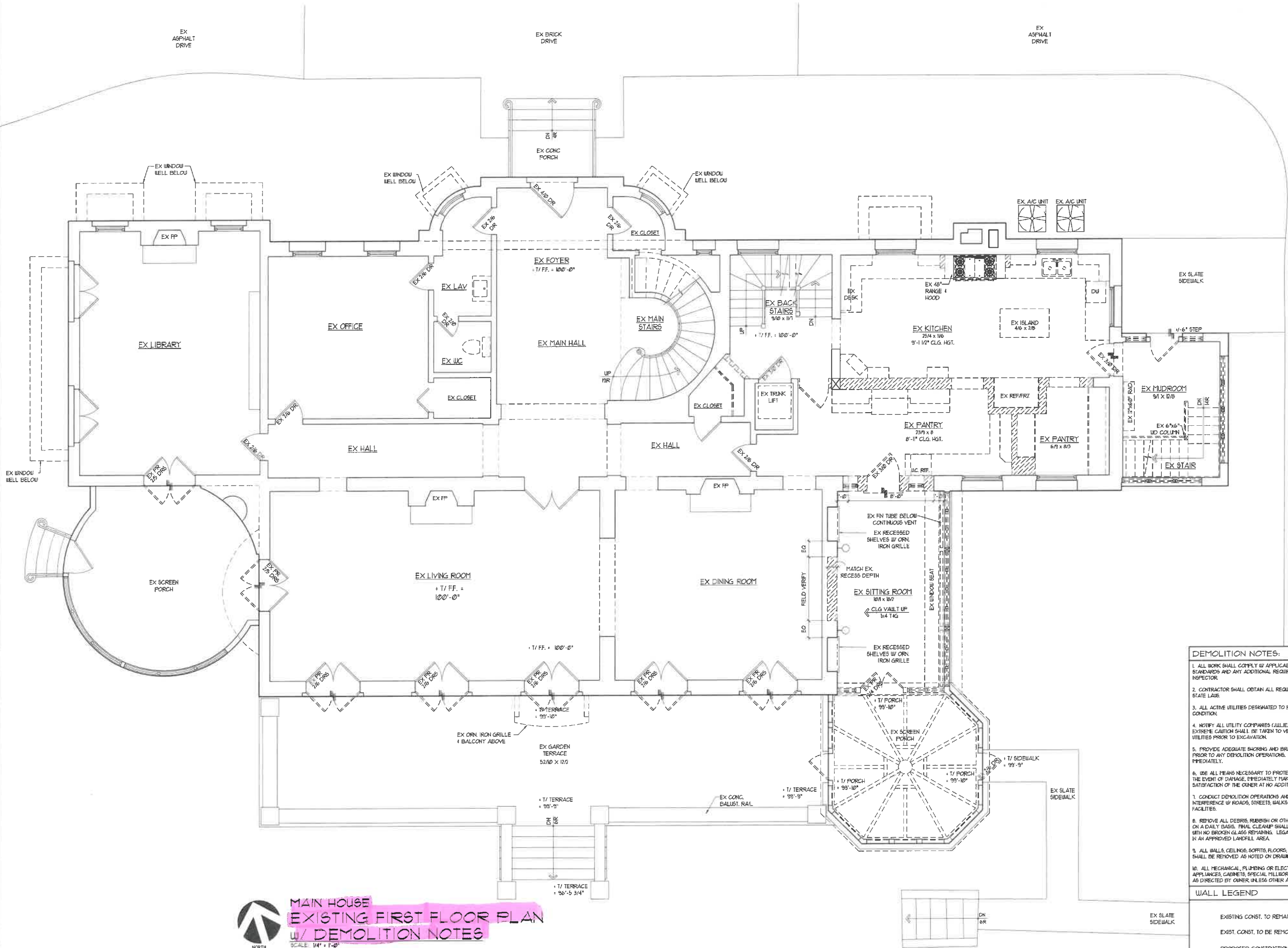
<input checked="" type="checkbox"/>	PRELIMINARY
<input type="checkbox"/>	BID/APPROVAL
<input type="checkbox"/>	PERMIT
<input type="checkbox"/>	CONSTRUCTION

DATE  
5-6-2022

SHEET  
A-6  
OF



EXISTING FIRST FLOOR PLAN (MAIN HOUSE)



MAIN HOUSE  
EXISTING FIRST FLOOR PLAN  
w/ DEMOLITION NOTES  
SCALE: 1/4" = 1'-0"

- DEMOLITION NOTES:
1. ALL WORK SHALL COMPLY W/ APPLICABLE BUILDING CODE STANDARDS, OSMA STANDARDS AND ANY ADDITIONAL REQUIREMENTS AS SPECIFIED BY THE LOCAL BUILDING INSPECTOR.
  2. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR CONFORMANCE TO LOCAL AND STATE LAWS.
  3. ALL ACTIVE UTILITIES DESIGNATED TO REMAIN SHALL BE PRESERVED IN OPERATING CONDITION.
  4. NOTIFY ALL UTILITY COMPANIES (WILLIE, DISGERS HOTLINE, ETC.) AS APPLICABLE. EXTREME CAUTION SHALL BE TAKEN TO VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
  5. PROVIDE ADEQUATE SHORING AND BRACING OF ALL RELATED STRUCTURE TO REMAIN PRIOR TO ANY DEMOLITION OPERATIONS. NOTIFY ARCHITECT OF ANY STRUCTURAL CONCERN IMMEDIATELY.
  6. USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS DESIGNATED TO REMAIN. IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
  7. CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE W/ ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
  8. REMOVE ALL DEBRIS, RUBBISH OR OTHER MATERIALS RESULTING FROM THE DEMOLITION ON A DAILY BASIS. FINAL CLEANUP SHALL BE BROODY CLEAN INSIDE AND RAKED OUTSIDE WITH NO BROKEN GLASS REMAINING. LEGALLY DISPOSE OF THE ABOVE MATERIALS OFF-SITE IN AN APPROVED LANDFILL AREA.
  9. ALL WALLS, CEILING, SOFFITS, FLOORS, CONCRETE SLABS, FOOTINGS AND FOUNDATIONS SHALL BE REMOVED AS NOTED ON DRAWINGS.
  10. ALL MECHANICAL, PLUMBING OR ELECTRICAL EQUIPMENT, DOORS AND WINDOWS, APPLIANCES, CABINETS, SPECIAL MILLWORK AND OTHER ITEMS REMOVED SHALL BE STORED AS DIRECTED BY OWNER UNLESS OTHER AGREEMENT FOR SALVAGE.
- WALL LEGEND
- |                             |       |
|-----------------------------|-------|
| EXISTING CONST. TO REMAIN   | ===== |
| EXIST. CONST. TO BE REMOVED | ----- |
| PROPOSED CONSTRUCTION       | ===== |

ALTERATIONS TO THE  
NATE & LAUREN KELLY RESIDENCE - BAGATELLE  
83 DEERPATH RD  
LAKE FOREST, IL 60045

PROJECT NO.  
2130

REVISIONS

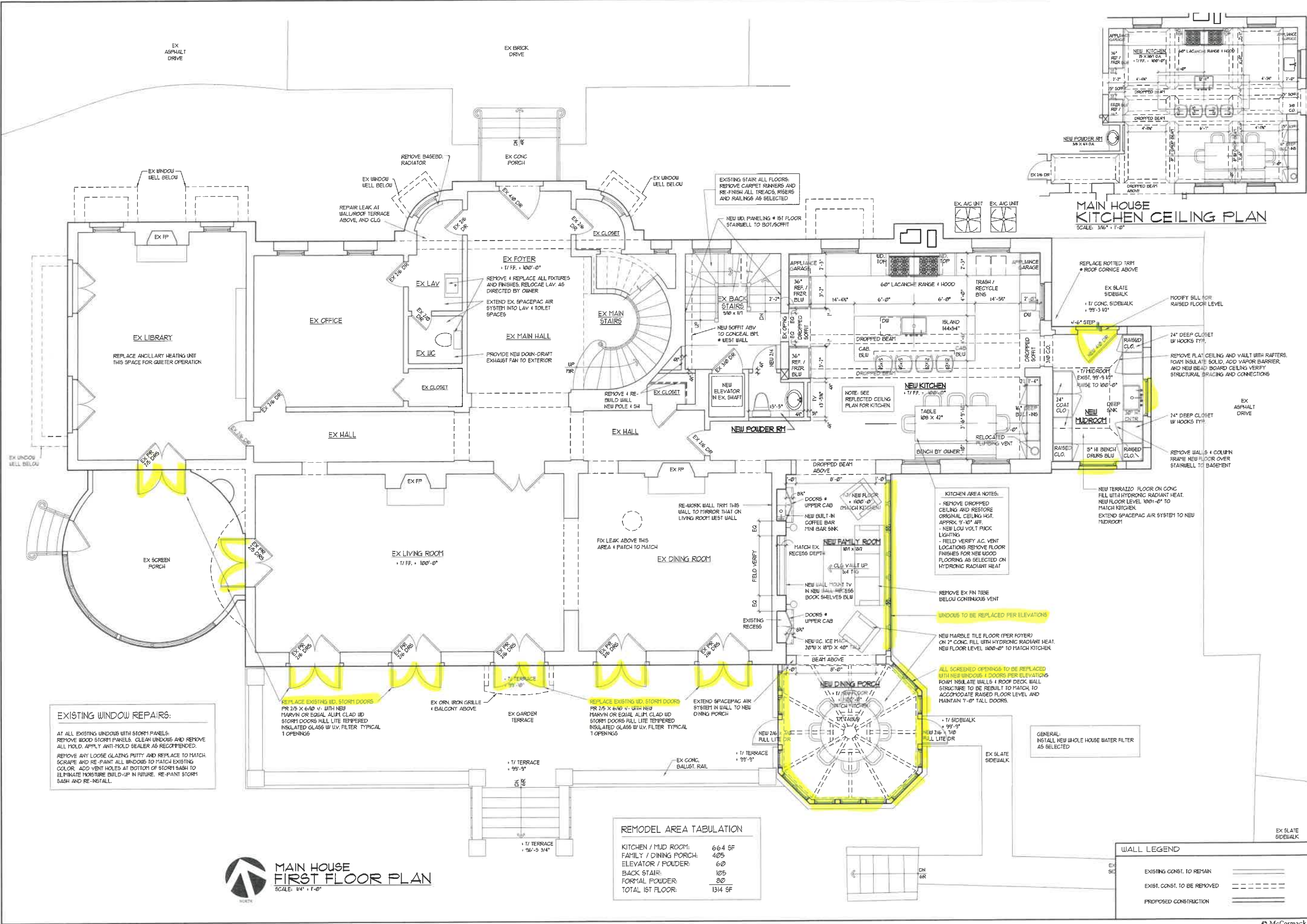
<input checked="" type="checkbox"/>	PRELIMINARY
<input type="checkbox"/>	BID/APPROVAL
<input type="checkbox"/>	PERMIT
<input type="checkbox"/>	CONSTRUCTION

DATE  
4-8-2022

SHEET  
AB-1  
OF

McCormack + Eiten / Architects, LLP  
Lake Geneva, WI 53147  
400 Broad Street  
Ph (262) 248-8391  
Fax (262) 248-8392  
www.mccormackeiten.com  
contact@mccormackeiten.com





MAIN HOUSE KITCHEN CEILING PLAN  
SCALE: 3/16" = 1'-0"

ALTERATIONS TO THE  
**NATE & LAUREN KELLY RESIDENCE - BAGATELLE**  
83 DEERPATH RD  
LAKE FOREST, IL 60045

PROJECT NO.  
2130

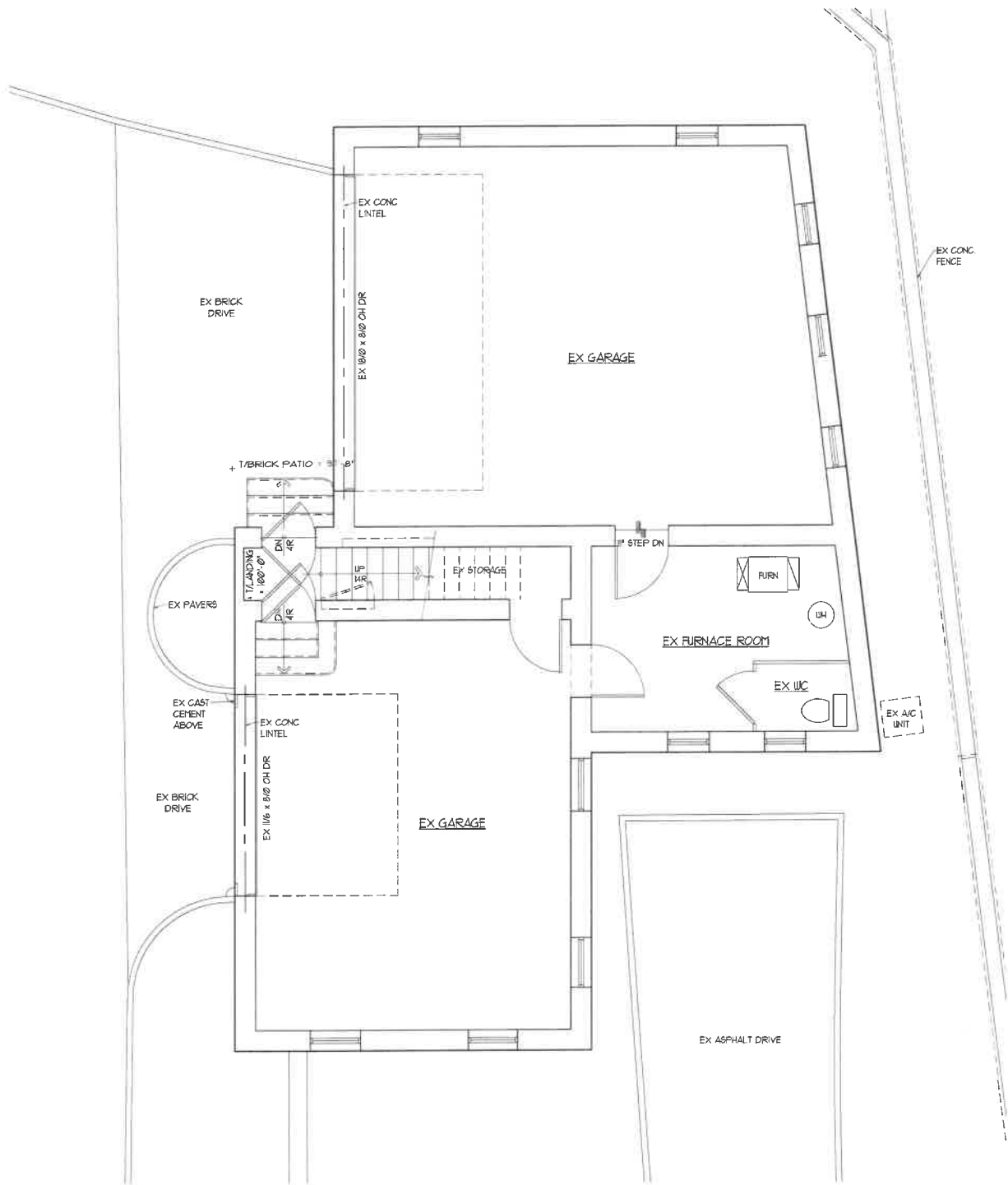
**McCormack + Eiten / Architects, LLC**  
Lake Geneva, WI 531  
400 Broad Street  
Ph (262) 248-8391  
contact@mccormackeiten.com  
www.mccormackeiten.com



GUEST HOUSE  
EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

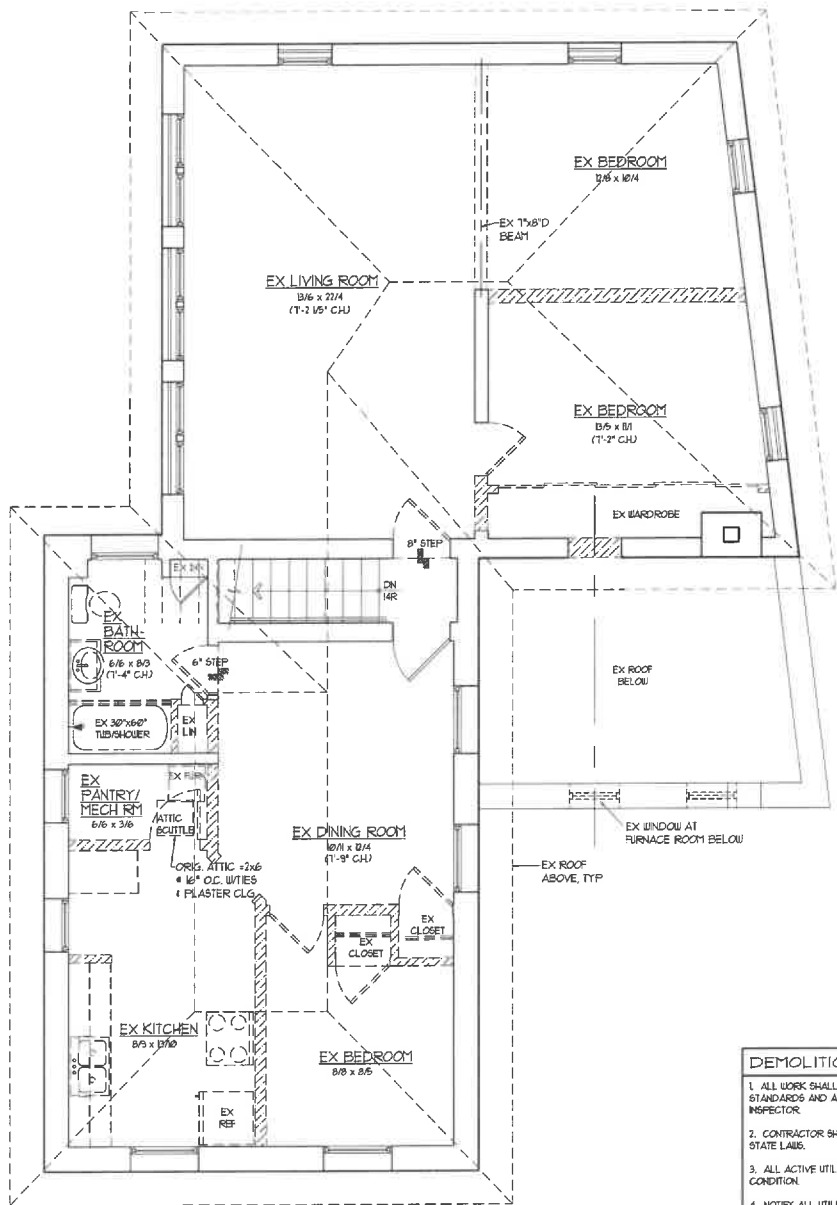


GUEST HOUSE  
PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



**GUEST HOUSE**  
**EXISTING FIRST FLOOR PLAN**  
**w/ DEMOLITION NOTES**

SCALE: 1/4" = 1'-0"



**GUEST HOUSE**  
**EXISTING SECOND FLOOR PLAN**  
**w/ DEMOLITION NOTES**

SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:	
1.	ALL WORK SHALL COMPLY W/ APPLICABLE BUILDING CODE STANDARDS, OSHA STANDARDS AND ANY ADDITIONAL REQUIREMENTS AS SPECIFIED BY THE LOCAL BUILDING INSPECTOR.
2.	CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR CONFORMANCE TO LOCAL AND STATE LAWS.
3.	ALL ACTIVE UTILITIES DESIGNATED TO REMAIN SHALL BE PRESERVED IN OPERATING CONDITION.
4.	NOTIFY ALL UTILITY COMPANIES (JULIE, DIGGERS HOTLINE, ETC.) AS APPLICABLE. EXTREME CAUTION SHALL BE TAKEN TO VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
5.	PROVIDE ADEQUATE SHORING AND BRACING OF ALL RELATED STRUCTURE TO REMAIN PRIOR TO ANY DEMOLITION OPERATIONS. NOTIFY ARCHITECT OF ANY STRUCTURAL CONCERN IMMEDIATELY.
6.	USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS DESIGNATED TO REMAIN. IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
7.	CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE W/ ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
8.	REMOVE ALL DEBRIS, RUBBISH OR OTHER MATERIALS RESULTING FROM THE DEMOLITION ON A DAILY BASIS. FINAL CLEANUP SHALL BE BROOD CLEAN INSIDE AND RAKED OUTSIDE WITH NO BROKEN GLASS REMAINING. LEGALLY DISPOSE OF THE ABOVE MATERIALS OFF-SITE IN AN APPROVED LANDFILL AREA.
9.	ALL WALLS, CEILINGS, SOFFITS, FLOORS, CONCRETE SLABS, FOOTINGS AND FOUNDATIONS SHALL BE REMOVED AS NOTED ON DRAWINGS.
10.	ALL MECHANICAL, PLUMBING OR ELECTRICAL EQUIPMENT, DOORS AND WINDOWS, APPLIANCES, CABINETS, SPECIAL MILLWORK AND OTHER ITEMS REMOVED SHALL BE STORED AS DIRECTED BY OWNER, UNLESS OTHER AGREEMENT FOR SALVAGE.
WALL LEGEND	
EXISTING CONST. TO REMAIN	=====
EXIST. CONST. TO BE REMOVED	-----
PROPOSED CONSTRUCTION	=====



PROPOSED FIRST & SECOND FLOOR PLANS (COACH HOUSE)

McCormack + Etten / Architects <sup>PC</sup>, LLP

400 Broad Street  
Ph (262) 248-8391  
contact@mccormacketten.com

ALTERATIONS TO THE  
**NATE & LAUREN KELLY RESIDENCE - BAGATELLE**  
89 DEERPATH RD  
LAKE FOREST, IL 60045

PROJECT NO.  
2130

REVISIONS

PRELIMINARY

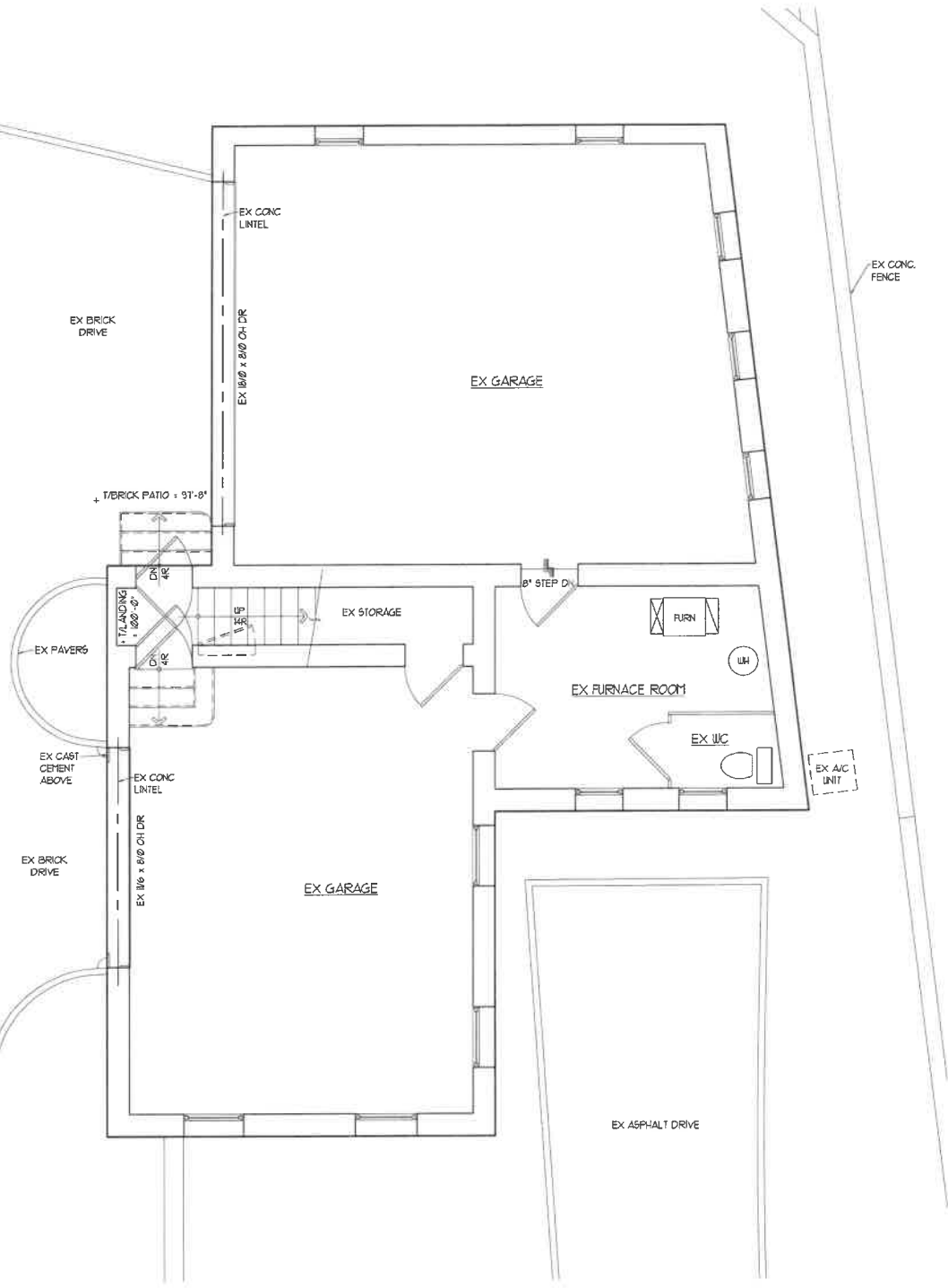
BID/APPROVAL

PERMIT

CONSTRUCTION

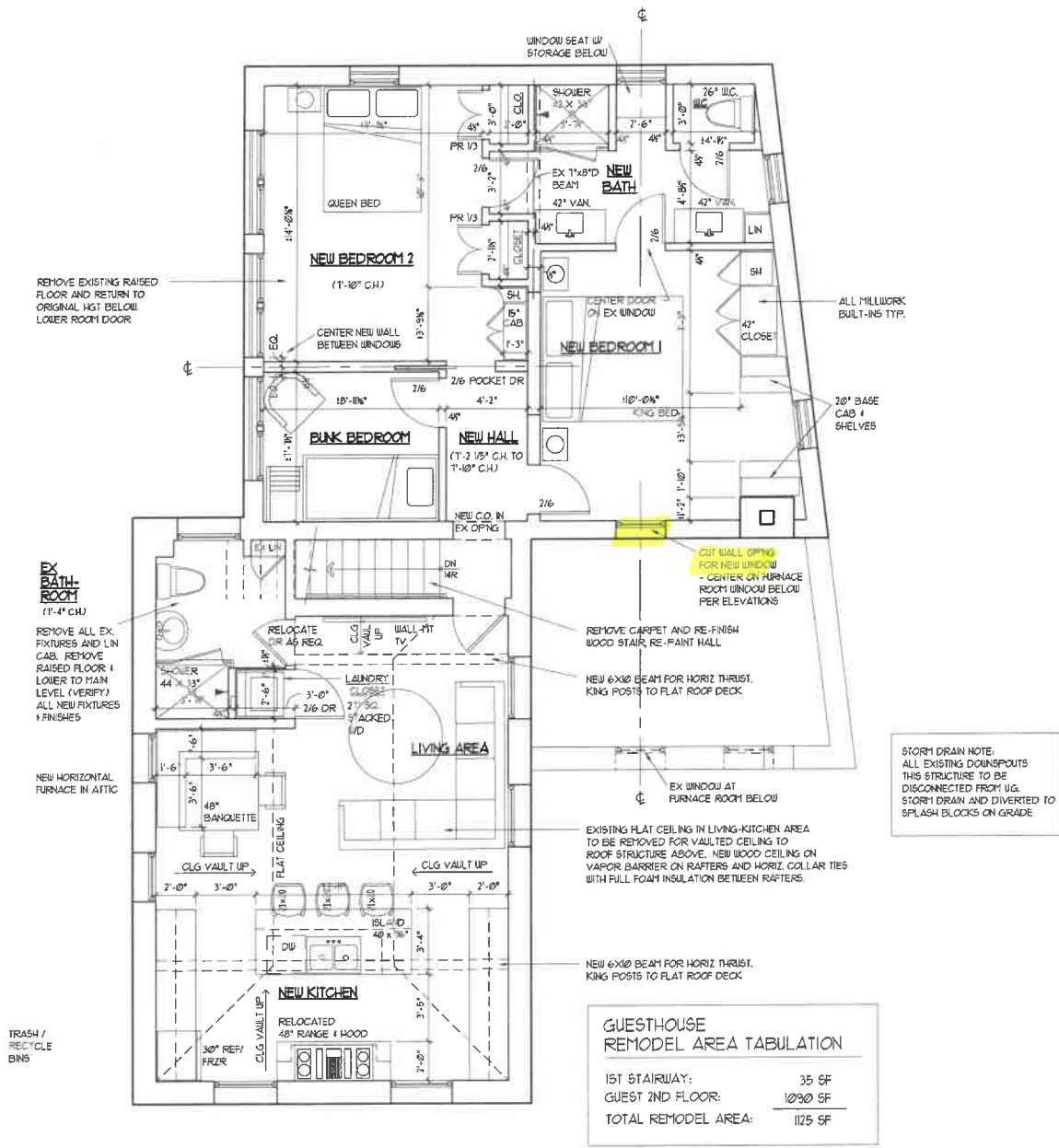
DATE  
5-6-2022

SHEET  
A-1



**GUEST HOUSE  
FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

NO CHANGES



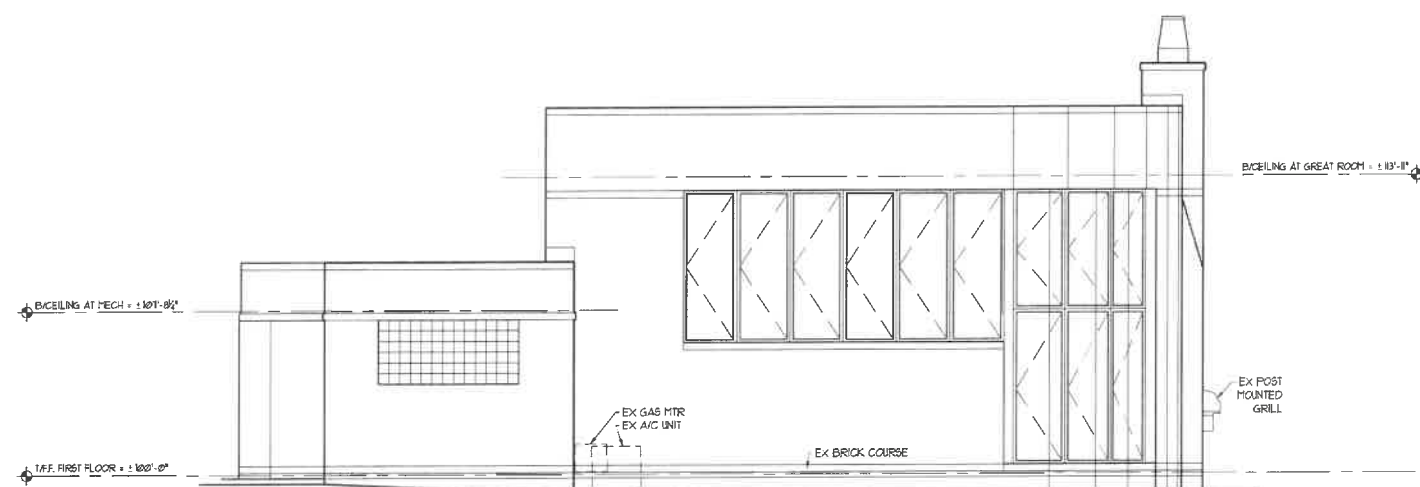
**GUEST HOUSE  
SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

GUESTHOUSE REMODEL AREA TABULATION	
1ST STAIRWAY:	35 SF
GUEST 2ND FLOOR:	1090 SF
TOTAL REMODEL AREA:	1125 SF

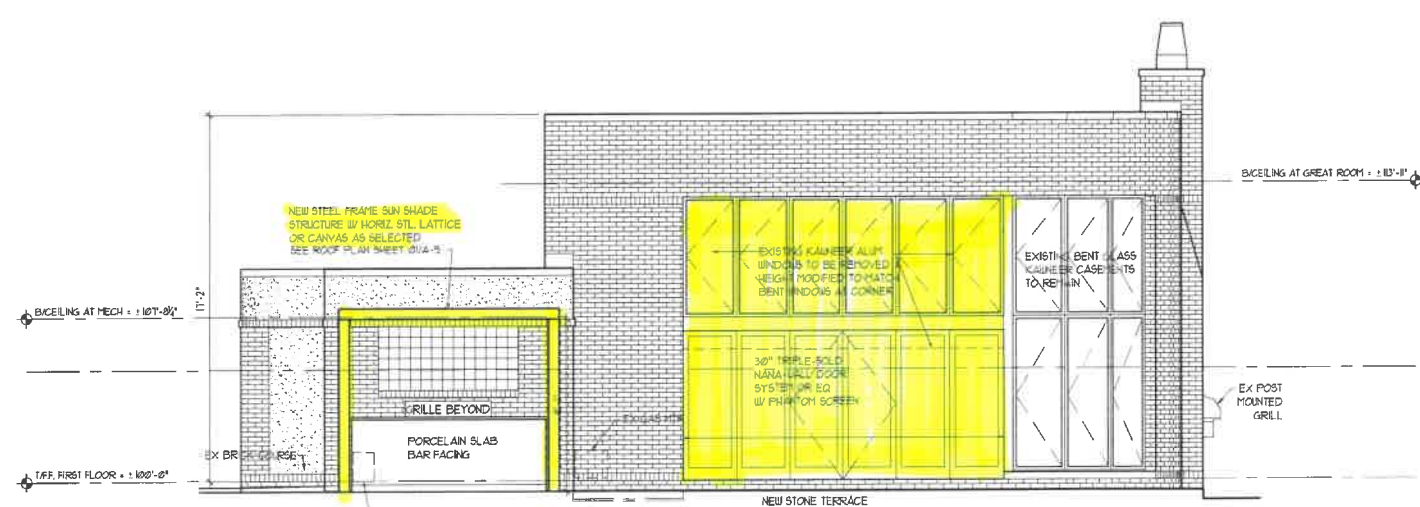
WALL LEGEND	
EXISTING CONST. TO REMAIN	=====
EXIST. CONST. TO BE REMOVED	-----
PROPOSED CONSTRUCTION	=====



EXISTING & PROPOSED NORTH ELEVATIONS (POOL HOUSE)



**POOLHOUSE**  
**EXISTING NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**POOLHOUSE**  
**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

NOTE: ALL EXISTING BRICK AND STUCCO WALLS TO BE PAINTED OFF WHITE TO MATCH MAIN HOUSE STUCCO, AS SELECTED.

**McCormack + Etten / Architects** <sup>TM</sup>, LLP  
400 Broad Street  
Lake Geneva, WI 53147  
Ph (262) 248-8391  
Fax (262) 248-8392  
contact@mccormacketten.com  
www.mccormacketten.com



ALTERATIONS TO THE  
**NATE & LAUREN KELLY RESIDENCE - BAGATELLE**  
89 DEERPATH RD  
LAKE FOREST, IL 60045

PROJECT NO.  
2130

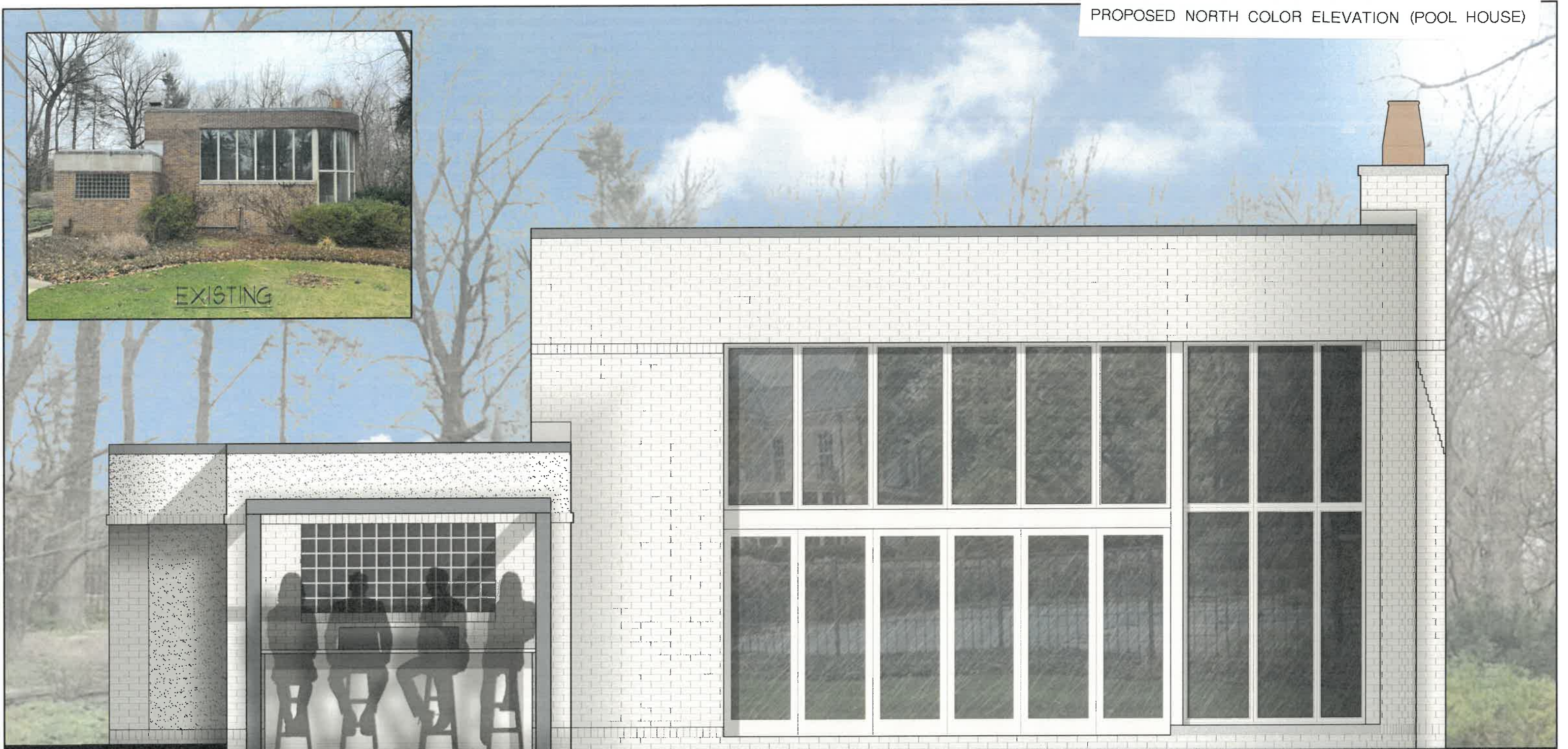
REVISIONS

	PRELIMINARY
	BID/APPROVAL
	PERMIT
	CONSTRUCTION

DATE  
5-6-2022

SHEET  
A-11





## POOL HOUSE - NORTH ELEVATION

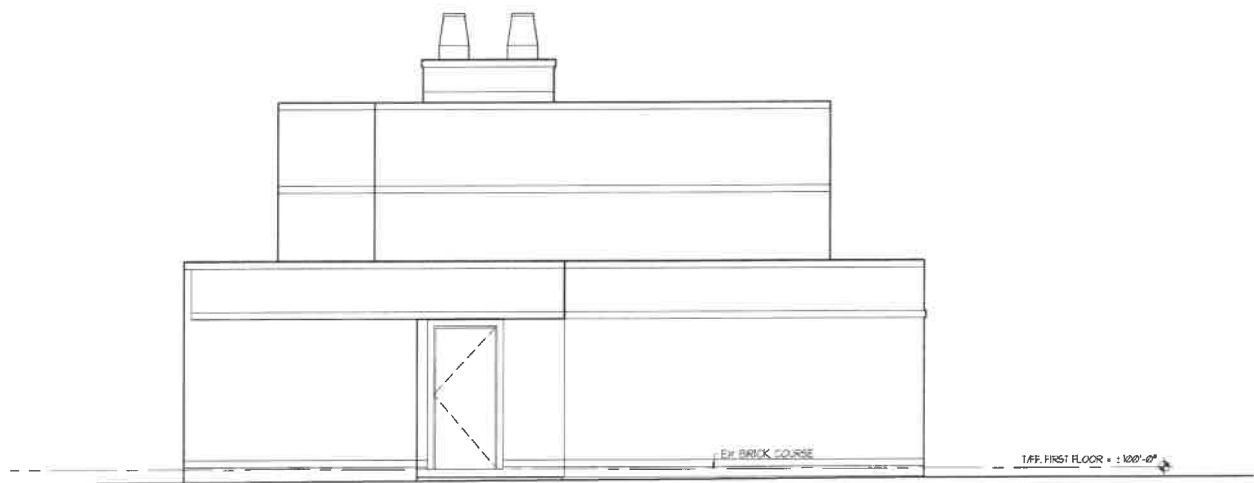
ALTERATIONS TO THE  
**NATE & LAUREN KELLY RESIDENCE - BAGATELLE**  
89 DEERPATH RD  
LAKE FOREST, IL 60045



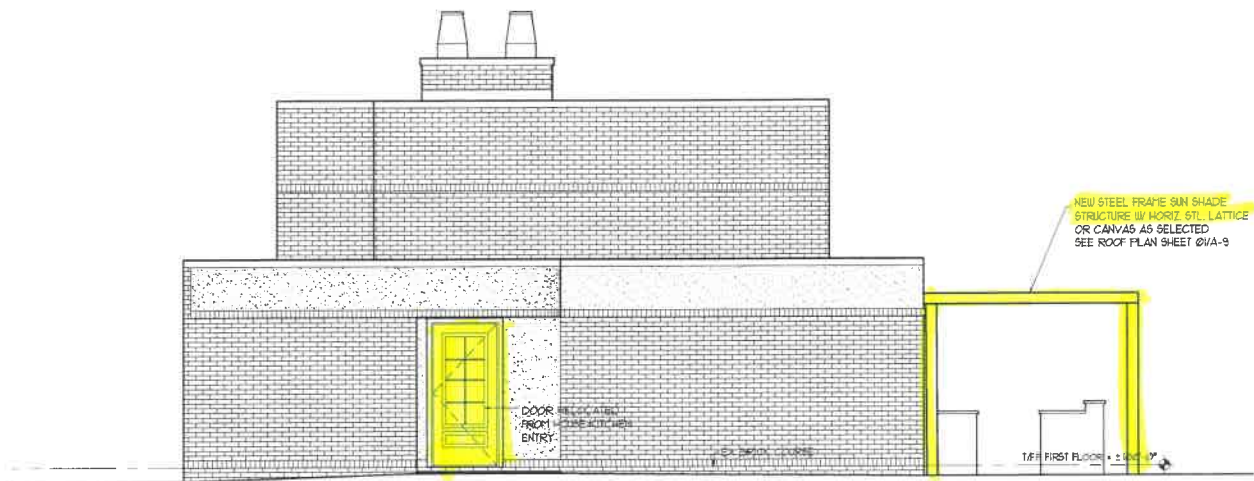
**McCormack + Etten / Architects** <sup>TM</sup>, LLP  
400 Broad Street Lake Geneva, WI 53147  
Ph (262) 248-8391 Fax (262) 248-8392  
contact@mccormacketten.com www.mccormacketten.com



EXISTING & PROPOSED EAST ELEVATIONS (POOL HOUSE)



POOLHOUSE  
EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"



POOLHOUSE  
EAST ELEVATION  
SCALE: 1/4" = 1'-0"



McCormack + Eiten / Architects <sup>TM</sup>, LLP  
400 Broad Street  
Lake Geneva, WI 5347  
Ph (262) 248-8391  
Fax (262) 248-8392  
contact@mccormackeiten.com  
www.mccormackeiten.com

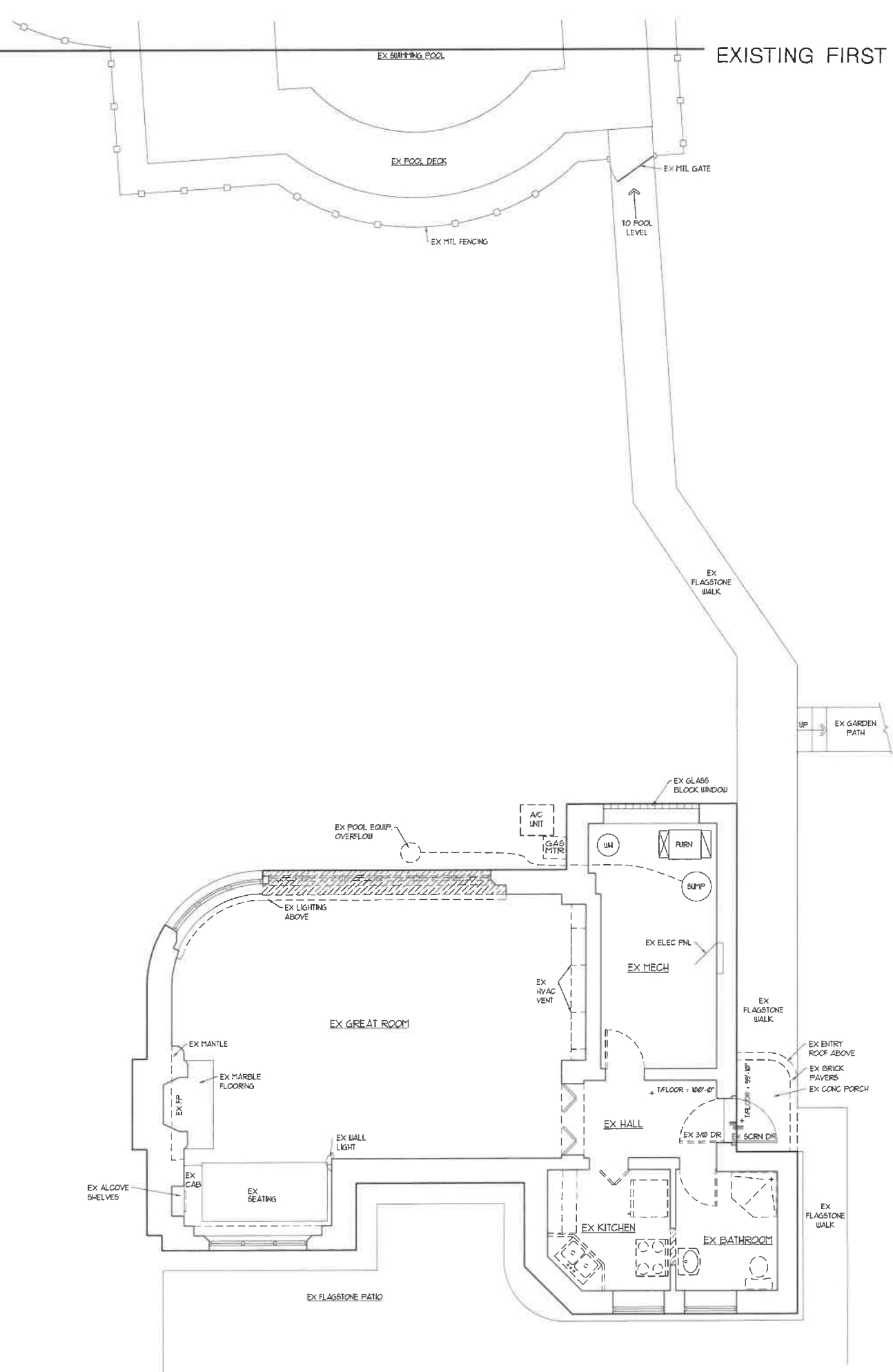
ALTERATIONS TO THE  
**NATE & LAUREN KELLY RESIDENCE - BAGATELLE**  
893 DEERPATH RD  
LAKE FOREST, IL 60045

PROJECT NO.  
2130

REVISIONS	
<input checked="" type="checkbox"/>	PRELIMINARY
<input type="checkbox"/>	BID/APPROVAL
<input type="checkbox"/>	PERMIT
<input type="checkbox"/>	CONSTRUCTION
DATE 5-6-2022	
SHEET A-10	



EXISTING FIRST FLOOR PLAN (POOL HOUSE)



## DEMOLITION NOTES:

1. ALL WORK SHALL COMPLY W/ APPLICABLE BUILDING CODE STANDARDS, OSHA STANDARDS AND ANY ADDITIONAL REQUIREMENTS AS SPECIFIED BY THE LOCAL BUILDING INSPECTOR.
2. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR CONFORMANCE TO LOCAL AND STATE LAWS.
3. ALL ACTIVE UTILITIES DESIGNATED TO REMAIN SHALL BE PRESERVED IN OPERATING CONDITION.
4. NOTIFY ALL UTILITY COMPANIES (GAS, DUGGERS HOTLINE, ETC) AS APPLICABLE. EXTENSIVE CAUTION SHALL BE TAKEN TO VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
5. PROVIDE ADEQUATE SHORING AND BRACING OF ALL RELATED STRUCTURE TO REMAIN PRIOR TO ANY DEMOLITION OPERATIONS. NOTIFY ARCHITECT OF ANY STRUCTURAL CONCERN IMMEDIATELY.
6. USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS DESIGNATED TO REMAIN. IN THE EVENT OF DAMAGE, IMMEDIATELY RAISE ALL REPAIRS AND REPERMITS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
7. CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMAL INTERFERENCE W/ ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
8. REMOVE ALL DEBRIS, RUBBISH OR OTHER MATERIALS RESULTING FROM THE DEMOLITION ON A DAILY BASIS. FINAL CLEANUP SHALL BE BROOM CLEAN INSIDE AND RAKED OUTSIDE UNTO NO BROKEN GLASS REMAINING. LEGALLY DISPOSE OF THE ABOVE MATERIALS OFF-SITE IN AN APPROVED LANDFILL AREA.
9. ALL WALLS, CEILINGS, SLOTTED FLOORS, CONCRETE SLABS, FOOTINGS AND FOUNDATIONS SHALL BE REMOVED AS NOTED ON DRAWINGS.
10. ALL MECHANICAL, PLUMBING OR ELECTRICAL EQUIPMENT, DOORS AND WINDOWS, APPLIANCES, CABINETS, SPECIAL MILLWORK AND OTHER ITEMS REMOVED SHALL BE STORED AS DIRECTED BY OWNER, UNLESS OTHER AGREEMENT FOR SALVAGE.

#### WALL LEGEND

EXISTING CONST. TO REMAIN \_\_\_\_\_

EXIST. CONST. TO BE REMOVED - - - - -

PROPOSED CONSTRUCTION \_\_\_\_\_



POOLHOUSE  
EXISTING FLOOR PLAN  
W/ DEMOLITION NOTES  
SCALE: 1/4" = 1'-0"

**McCormack + Etten / Architects** TV  
 400 Broad Street  
 Lake Geneva, WI  
 Ph (262) 248-8391  
 contact@mccormacketten.com  
 Fax (262) 248-  
 www.mccormacketti



**NATE & LAUREN KELLY RESIDENCE - BAGATELLE**  
89 DEERPATH RD  
LAKE FOREST IL 60045

PROJECT NO.  
2130

## REVISIONS

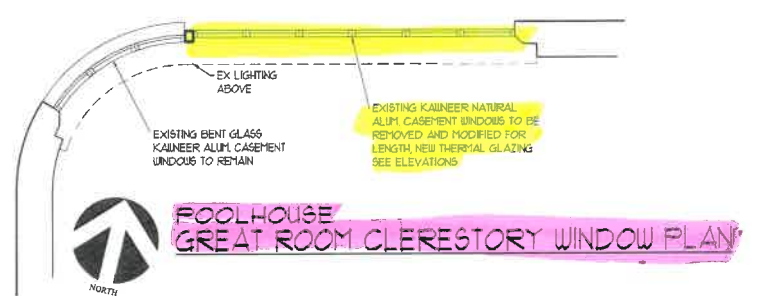
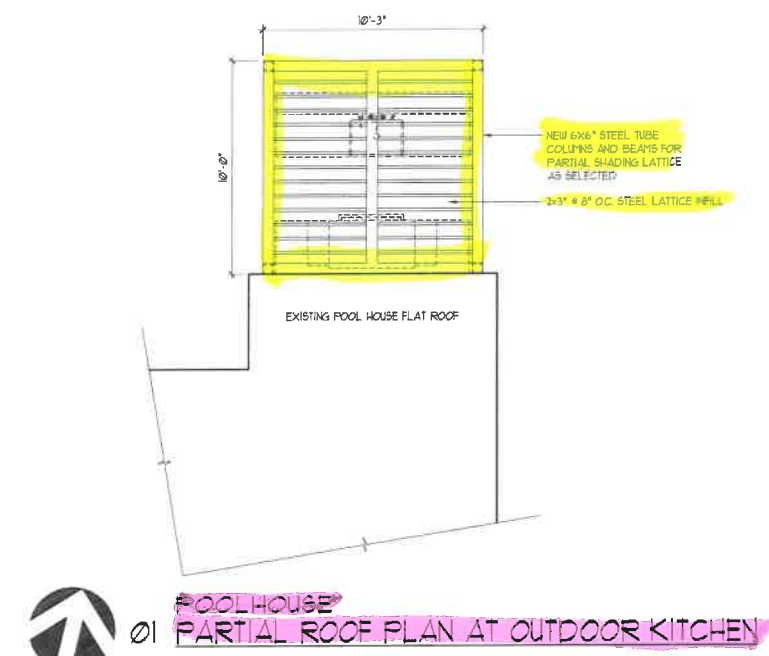
<input checked="" type="checkbox"/> PRELIMINARY
<input type="checkbox"/> BID/APPROVAL
<input type="checkbox"/> PERMIT
<input type="checkbox"/> CONSTRUCTION
DATE 4-8-2022
SHEET AB-4

McCormack + Eiten / Architects  
Lake Geneva, WI  
400 Broad Street  
Ph (262) 248-8391  
contact@mccormackeitten.com  
www.mccormackeitten.com

ALTERATIONS TO THE  
NATE & LAUREN KELLY RESIDENCE - BAGATELLE  
89 DEERPATH RD  
LAKE FOREST, IL 60045

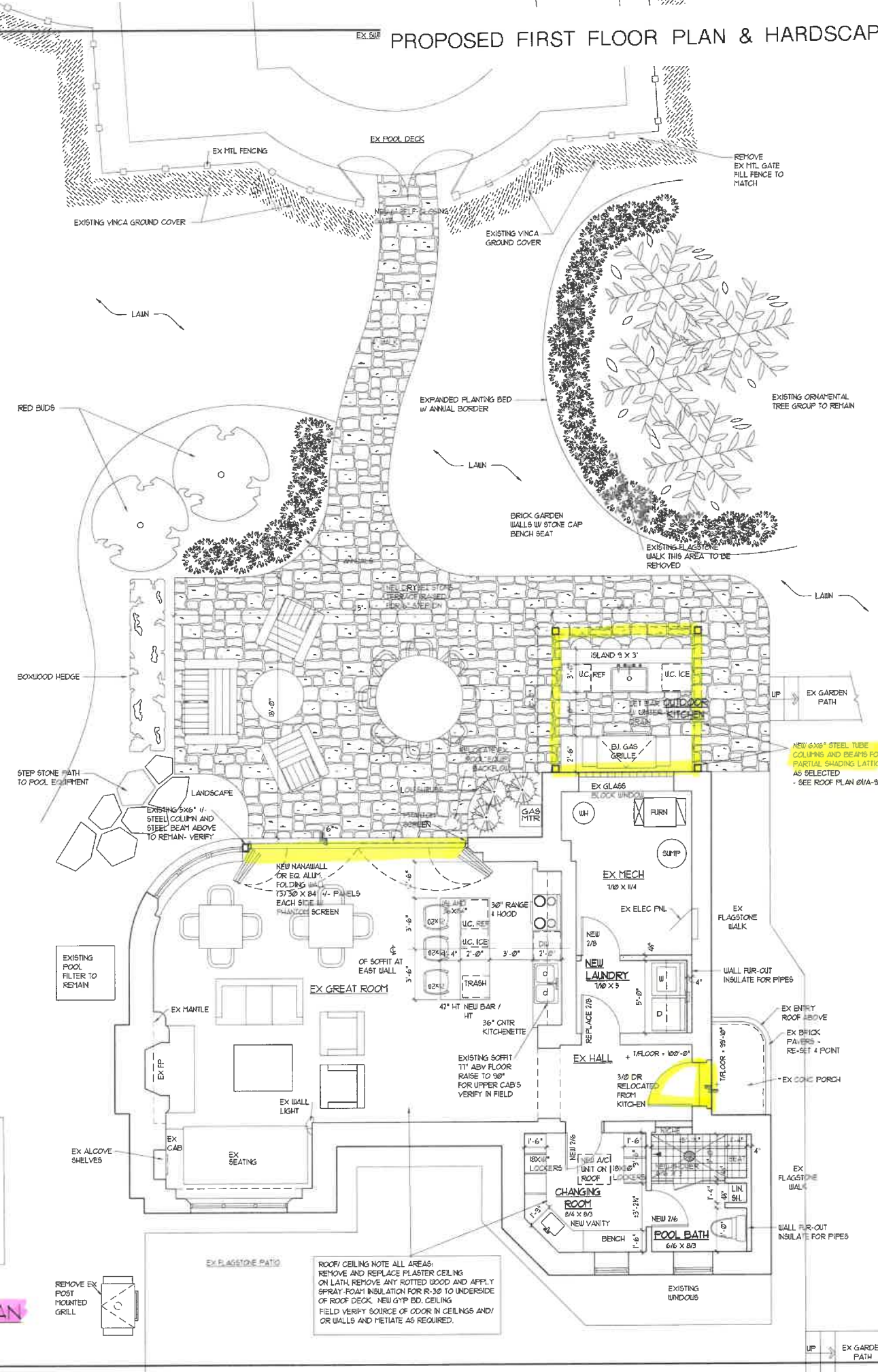
PROJECT NO.  
2130

REVISIONS	
<input checked="" type="checkbox"/> PRELIMINARY	
<input type="checkbox"/> BID/APPROVAL	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	
DATE	5-6-2022
SHEET	A-9



POOLHOUSE REMODEL AREA TABULATION & NEW FOLLY / TERRACE AREA	
POOLHOUSE REMODEL:	898 SF
NEW PAVILION 'A':	212 SF
NEW PAVILION 'B':	210 SF
NEW PERGOLA / KITCHEN:	256 SF
NEW OPEN TERRACE:	484 SF

POOLHOUSE  
FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



WALL LEGEND	
EXISTING CONST. TO REMAIN	=====
EXIST. CONST. TO BE REMOVED	-----
PROPOSED CONSTRUCTION	=====





2 EX SITTING ROOM - EAST ELEVATION  
EXISTING WINDOWS TO BE REMOVED & REPLACED



3 EX SCREEN PORCH / NEW DINING ROOM - WEST ELEVATION  
REMODEL EXISTING SCREEN PORCH FOR NEW CONDITIONED SPACE  
NEW DOORS & WINDOWS IN EXISTING OPENINGS



3 EX SCREEN PORCH / NEW DINING ROOM - EAST & SOUTH ELEVATION  
REMODEL EXISTING SCREEN PORCH FOR NEW CONDITIONED SPACE  
NEW DOORS & WINDOWS IN EXISTING OPENINGS

2 EX SITTING ROOM - EAST ELEVATION  
EXISTING WINDOWS TO BE REMOVED & REPLACED

MAIN HOUSE

PRELIMINARY

ALTERATIONS TO THE  
**NATE & LAUREN KELLY RESIDENCE - BAGATELLE**  
89 DEERPATH RD  
LAKE FOREST, IL 60045

**McCormack + Etten / Architects, LLP**  
400 Broad Street  
Lake Geneva, WI 53147  
Ph (262) 248-8391  
contact@mccormacketten.com www.mccormacketten.com



© McCormack + Etten / Architects, LLP

DATE  
4-8-2022

PROJECT NO.  
2130

SHEET

OF

COMMENTS: NONE





1 MUDROOM - NORTH ELEVATION  
REMODEL EXISTING MUDROOM, NEW ENTRY DOOR & WINDOWS



1 MUDROOM - SOUTH AND EAST ELEVATIONS  
REMODEL EXISTING MUDROOM, NEW ENTRY DOOR & WINDOWS



SINGLE STORY FRONT ENTRY - NORTH ELEVATION

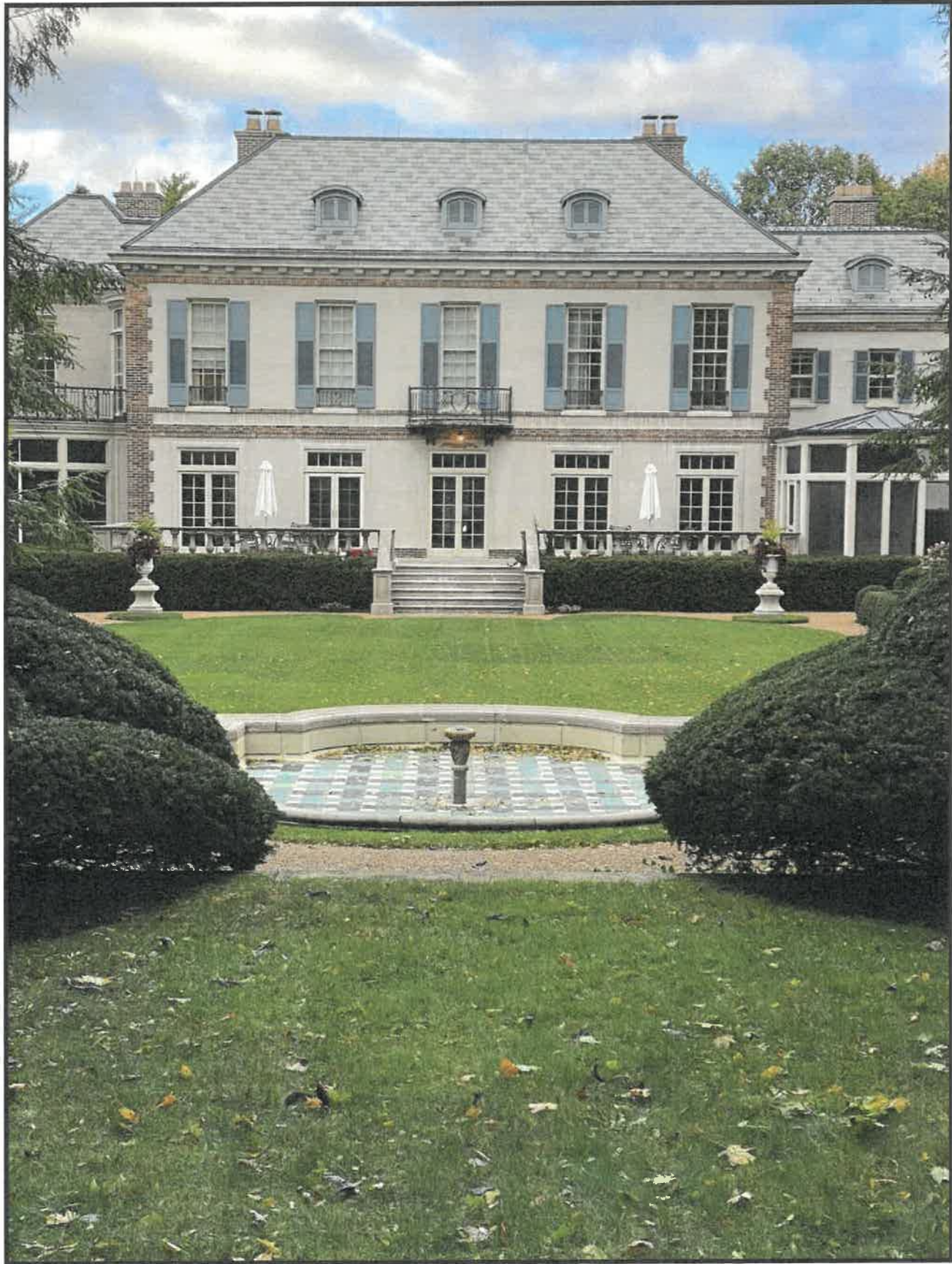
MAIN HOUSE

PRELIMINARY		SHEET		OF _____	
DATE		4-8-2022		PROJECT NO.	
				2130	
ALTERATIONS TO THE		NATE & LAUREN KELLY RESIDENCE - BAGATELLE 89 DEERPATH RD LAKE FOREST, IL 60045 COMMENTS: NONE			
McCormack + Etten / Architects <sup>TM</sup> , LLP 400 Broad Street Lake Geneva, WI 53147 Ph (262) 248-8391 contact@mccormacketten.com www.mccormacketten.com		© McCormack + Etten / Architects, LLP			





4 MAIN HOUSE - SOUTH ELEVATION  
EXISTING STORM DOORS TO BE REMOVED & REPLACED



4 MAIN HOUSE - SOUTH ELEVATION  
EXISTING STORM DOORS TO BE REMOVED & REPLACED

MAIN HOUSE

PRELIMINARY

**McCormack + Etten / Architects, LLP**  
400 Broad Street  
Lake Geneva, WI 53147  
Ph (262) 248-8391  
contact@mccormacketten.com www.mccormacketten.com

ALTERATIONS TO THE  
**NATE & LAUREN KELLY RESIDENCE - BAGATELLE**  
83 DEERPATH RD  
LAKE FOREST, IL 60045

DATE  
4-8-2022

PROJECT NO.  
2130

SHEET

OF

© McCormack + Etten / Architects, LLP

COMMENTS: NONE





6 POOL HOUSE - LOOKING NORTHEAST AT POOL  
NEW DOOR SYSTEM AT NORTH FACADE, EXISTING BRICK TO BE PAINTED,  
RELOCATED ENTRY DOOR FROM MAIN HOUSE, NEW OUTDOOR KITCHEN & PERGOLA



6 POOL HOUSE - EAST ELEVATION  
NEW DOOR SYSTEM AT NORTH FACADE, EXISTING BRICK TO BE PAINTED,  
RELOCATED ENTRY DOOR FROM MAIN HOUSE, NEW OUTDOOR KITCHEN & PERGOLA



6 POOL HOUSE - NORTH ELEVATION  
NEW DOOR SYSTEM AT NORTH FACADE, EXISTING BRICK TO BE PAINTED,  
RELOCATED ENTRY DOOR FROM MAIN HOUSE, NEW OUTDOOR KITCHEN & PERGOLA



6 POOL HOUSE - NORTH ELEVATION  
NEW DOOR SYSTEM AT NORTH FACADE, EXISTING BRICK TO BE PAINTED,  
RELOCATED ENTRY DOOR FROM MAIN HOUSE, NEW OUTDOOR KITCHEN & PERGOLA

## POOL HOUSE

PRELIMINARY

ALTERATIONS TO THE <b>NATE &amp; LAUREN KELLY RESIDENCE - BAGATELLE</b> 89 DEERPATH RD LAKE FOREST, IL 60045 COMMENTS: NONE	DATE 4-8-2022	SHEET OF
	PROJECT NO. 2130	

**McCormack + Eitten / Architects™, LLP**  
400 Broad Street  
Lake Geneva, WI 53147  
Ph (262) 248-8391 Fax (262) 248-8392  
contact@mccormackeitten.com www.mccormackeitten.com



© McCormack + Eitten / Architects, LLP



**Agenda Item 6**  
**151 Ridge Lane**  
**Addition and Detached Garage**

Staff Report  
*Building Scale Summary*  
Vicinity Map  
*Air Photos*

Materials Submitted by Petitioner

Application  
Statement of Intent  
*Description of Exterior Materials*  
Proposed Site Plan  
*Existing West Elevation*  
Proposed West Elevation and Color Rendering  
*Existing North Elevation*  
Proposed North Elevation and Color Rendering  
*Existing East Elevation*  
Proposed East Elevation and Color Rendering  
*Existing South Elevation*  
Proposed South Elevation and Color Rendering  
*Existing Hidden South Elevation*  
Proposed Hidden South Elevation and Color Rendering  
Proposed Garage West Elevation and Color Rendering  
Proposed Garage East Elevation and Color Rendering  
Proposed Perspective Views  
*Proposed Roof Plan*  
*Existing First Floor Plan*  
*Proposed First Floor Plan*  
*Proposed Second Floor Plan*  
*Tree Removal Plan*  
*Conceptual Landscape Plan*  
*Images of Existing Residence and Surrounding Neighborhood*

*Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.*



## STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grinnell and members of the Historic Preservation Commission
DATE:	May 25, 2022
FROM:	Jennifer Baehr, Planner
SUBJECT:	<b>151 Ridge Lane</b> – Mudroom Addition, Detached Garage and Hardscape

### **PETITIONERS**

Scott Carter  
151 Ridge Lane  
Lake Forest, IL 60045

### **PROPERTY LOCATION**

151 Ridge Lane

### **HISTORIC DISTRICTS**

Green Bay Road Local &  
National Register Historic District

### **PROJECT REPRESENTATIVE**

Richard Bories  
325 West 38<sup>th</sup> Street Suite 204  
New York, NY 10018

### **SUMMARY OF THE PETITION**

The petitioners are requesting a Certificate of Appropriateness to allow construction of a detached garage on the east side of the site, a single-story mudroom addition on the rear of the existing residence, and associated exterior alterations. Hardscape and landscape enhancements to the rear yard are also proposed.

The existing house is nonconforming with respect to the 12 foot side yard setback on the north side of the property. The Zoning Board of Appeals will consider a request for a variance from the north side yard setback for the proposed mudroom addition on May 23, 2022 and staff will inform the Commission of the Board's action at the meeting.

In May 2019, the Commission granted a Certificate of Appropriateness for a single story addition on the rear of the home to accommodate an enlarged kitchen and a family room. The property owners did not move forward with the previously approved plans. New plans are presented for Commission consideration.

### **DESCRIPTION OF PROPERTY AND SURROUNDING AREA**

This property is located on the east side of Ridge Lane, a short dead end street west of Green Bay Road, between Deerpath and Westminster. The property is also has access from Oakwood Avenue. The property is about a half an acre in size and is irregular in shape with the front property line following the curve of the cul-de-sac at the north end of Ridge Lane.

The residence was built in 1930 and designed in a French style by architect Ralph Milman. The home is identified as a Contributing Structure to the Historic District. The residence features a mansard roof, quoin details, and segmental dormers.

## **STAFF EVALUATION**

### *Proposed Detached Garage*

The existing home has an attached single car garage on the north side of the house. The petitioner proposes to convert the existing garage into a family room and construct a detached two car garage on the east side of the property. The garage doors will face south. Stucco walls are proposed to extend from the northwest and southwest corners of the garage. On the west side of the detached garage, an open cabana is proposed.

### *Proposed Mudroom Addition*

A single-story mudroom addition is proposed at the rear of the home, on the east side of the existing garage. The mudroom addition will replicate the size, materials and detailing of the screen porch on the south side of the home. The addition of the mudroom on the north side completes the symmetry of the east elevation and reflects a balanced massing.

### *Exterior Alterations*

The existing screen porch on the rear of the home will be rebuilt as an open porch without screens and will match the size, materials and detailing of the existing porch.

Currently, there is a garage door and an entry door on the north end of the west (front) elevation. The petitioner proposes to remove the existing doors and install a new double door centered on the north wing.

The existing window on the west end of the north elevation will be replaced with a tall, narrow window that matches the single window on the south elevation. New windows are proposed at the center mass of the north elevation in the new family room.

### *Site Plan*

A portion of the existing driveway, on the north side of the property, will be removed. A new asphalt motor court is proposed south of the detached garage. A new stone terrace is proposed at the rear of the home. Stepping stone walkways are proposed from the mudroom addition and open porch on the south side of the home, to the new cabana attached to the garage.

A staff review of the Historic Preservation standards in the City Code is provided below. As appropriate, findings in response to the standards are offered for the Commission's consideration.

### **Standard 1 – Height**

This standard is met. The proposed mudroom addition and detached garage are lower in height than the existing home. The existing residence is a one and a half story mass at 27 feet and 4 inches tall. The proposed mudroom addition is a single-story mass and is 12 feet and 9 inches tall. The detached garage at its tallest point is 16 feet and 5 inches tall.

### **Standard 2 – Proportion of Front Façade**

This standard is met. The only change proposed to the front façade is removal of the existing openings on the north end and replacement of those elements with a new double door centered on the wall.



### **Standard 3 – Proportion of openings**

This standard is met. The new openings proposed on the mudroom addition and detached garage are compatible with the existing openings on the home. Some of the new openings are exact matches to existing openings including the new windows on the north elevation of the home.

### **4 – Rhythm of Solids to Voids**

This standard is met. The existing home reflects a mostly regular rhythm of solids to voids with the exception of the existing solid wall on the north elevation. The petitioner is proposing to add windows to the north elevation to break up the mass of the north wall. The proposed garage reflects a solid wall on the east elevation which is appropriate given the location of the garage in relation to the neighboring garages on the properties to the east.

### **Standard 5 – Spacing on the Street**

This standard is not applicable to this petition. The proposed exterior alterations and additions will not impact the spacing of structures along the streetscape.

### **Standard 6 – Rhythm of Entrance Porches**

This standard is not applicable to this petition. No changes are proposed to the entrance to the home.

### **Standard 7 – Relationship of Materials and Texture**

This standard is met. The proposed mudroom addition, detached garage and cabana will be constructed of materials consistent with the existing residence. The exterior walls of the mudroom and garage will be stucco and painted to match the existing home. The walls on the north and south sides of the garage will also be stucco. The mudroom addition will have a copper roof and the garage will have a flat membrane roof with a parapet wall. The new windows and doors will be wood with exterior and interior muntins. The door trim will be stucco to match the existing home and the window trim will be wood. Copper scuppers and downspouts are proposed on the detached garage. Bluestone is proposed for the new terrace.

### **Standard 8 – Roof Shapes**

This standard is met. The roof on the mudroom addition will match the existing porch roof on the south side of the house. The garage has a low-slope roof with a parapet wall to keep the mass and height of the garage subordinate to the main house.

### **Standard 9 – Walls of continuity**

This standard is met. The proposed mudroom addition and garage are designed in the style of the existing home. The addition and garage also reflect materials and detailing that are consistent with the existing home.

### **Standard 10 – Scale**

This standard is met. The project as proposed complies with the building scale limitations. A residence of up to 4,043 square feet is permitted on the property. In addition, design elements totaling 404 square feet and a garage allowance of 600 square feet are available. Based on the City's building scale calculation, the existing house, with the proposed mudroom addition and detached garage is under the allowable square footage by 225 square feet, equal to 6 percent of the allowable square footage.

### **Standard 11 – Directional Expression of Front Elevation**

This standard is not applicable to this request. The changes proposed to the front elevation are minimal and do not impact the directional expression of the front facade.

### **Standard 12 – Preservation of Historic Material**

This standard is met. The proposed addition is designed in a sensitive manner and will not negatively impact any distinguishing features of the home.

### **Standard 13 – Preservation of natural resources**

This standard is met. The proposed detached garage will impact two Cottonwood trees. Both trees are in poor condition. The conceptual landscape plan reflects new shade trees across the property and new hedges on the north and south sides of the property.

### **Standard 14 – Compatibility**

This standard is met. The architectural style, exterior materials, and detailing of the mudroom addition and detached garage are compatible with the existing residence.

### **Standard 15 – Repair to deteriorated features**

This standard is not applicable to this request.

### **Standard 16 – Surface cleaning**

This standard is not applicable to this request. No surface cleaning is proposed.

### **Standard 17 – Integrity of historic property**

This standard is met. The integrity of the existing residence is not threatened by the proposed addition and garage. The addition and garage are designed in a manner that is compatible with the character of the property. The addition and garage will enhance the livability of the house for the current owners.

## **PUBLIC COMMENT**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and residents and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no correspondence was received regarding this request.

## **RECOMMENDATION**

Recommend approval of a Certificate of Appropriateness approving a two-car detached garage, a mudroom addition on the east elevation, associated exterior alterations, and landscape and hardscape enhancements subject to the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission. If any modifications are proposed in response to Commission direction or as a result of design development, plans clearly detailing the areas of change must be submitted at the time of submission for permit, *along with* the plans originally presented to the Commission, and will be subject to review by staff, in consultation with the Chairman as appropriate, to verify that the plans are consistent with the intent of the Commission and the approvals granted.

2. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. If during construction, additional trees on the site are compromised in the opinion of the City's Certified Arborist, replacement inches or payment in lieu of on site planting may be required.
3. Prior to the issuance of a building permit, a plan to protect trees and vegetation identified for preservation during construction must be submitted and will be subject to review and approval by the City's Certified Arborist.
4. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, *except those illuminated by natural gas at low light levels*, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
5. Prior to the issuance of a building permit, a materials staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the neighborhood, neighboring properties and existing trees and landscaping during construction.



**THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET**

Address 151 Ridge Lane Owner(s) Scott and Julie Carter

Architect Richard Bories and James Shearron Reviewed by: Jen Baehr

Date 5/25/2022

Lot Area 20866 sq. ft.

**Square Footage of Existing Residence:**

1st floor 1478 + 2nd floor 1793 + 3rd floor 0 = 3271 sq. ft.

Design Element Allowance = 404 sq. ft.

Total Actual Design Elements = 121 sq. ft. Excess = 0 sq. ft.

Garage 442 sf actual ; 600 sf allowance Excess = 0 sq. ft.

Garage Width 18 ft. *may not exceed 24' in width on lots  
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

**Total Square Footage of Existing Residence** = 3271 sq. ft.

**DIFFERENTIAL (Existing)** = 772 sq. ft.  
**Under Maximum**

**Square Footage of House and Proposed Addition:**

1st floor 547 + 2nd floor 0 + 3rd floor 0 = 547 sq. ft.

New Garage 598 sq. ft. = 0 sq. ft.

New Design Elements 228 sq. ft. = 0 sq. ft.

**TOTAL SQUARE FOOTAGE (Existing and Proposed)** = 3818 sq. ft.

**TOTAL SQUARE FOOTAGE ALLOWED** = 4043 sq. ft.

**DIFFERENTIAL (Existing and Proposed)** = 225 sq. ft. **NET RESULT:**  
**Under Maximum**

225 sq. ft. is

Allowable Height: 35 ft. Actual Height 27'-4"(existing house) 16'-5" (proposed garage) **6% under the Max. allowed**

**DESIGN ELEMENT EXEMPTIONS**

**Design Element Allowance:** 404 sq. ft.

Front & Side Porches = 0 sq. ft.

Rear & Side Screen Porches = 349 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

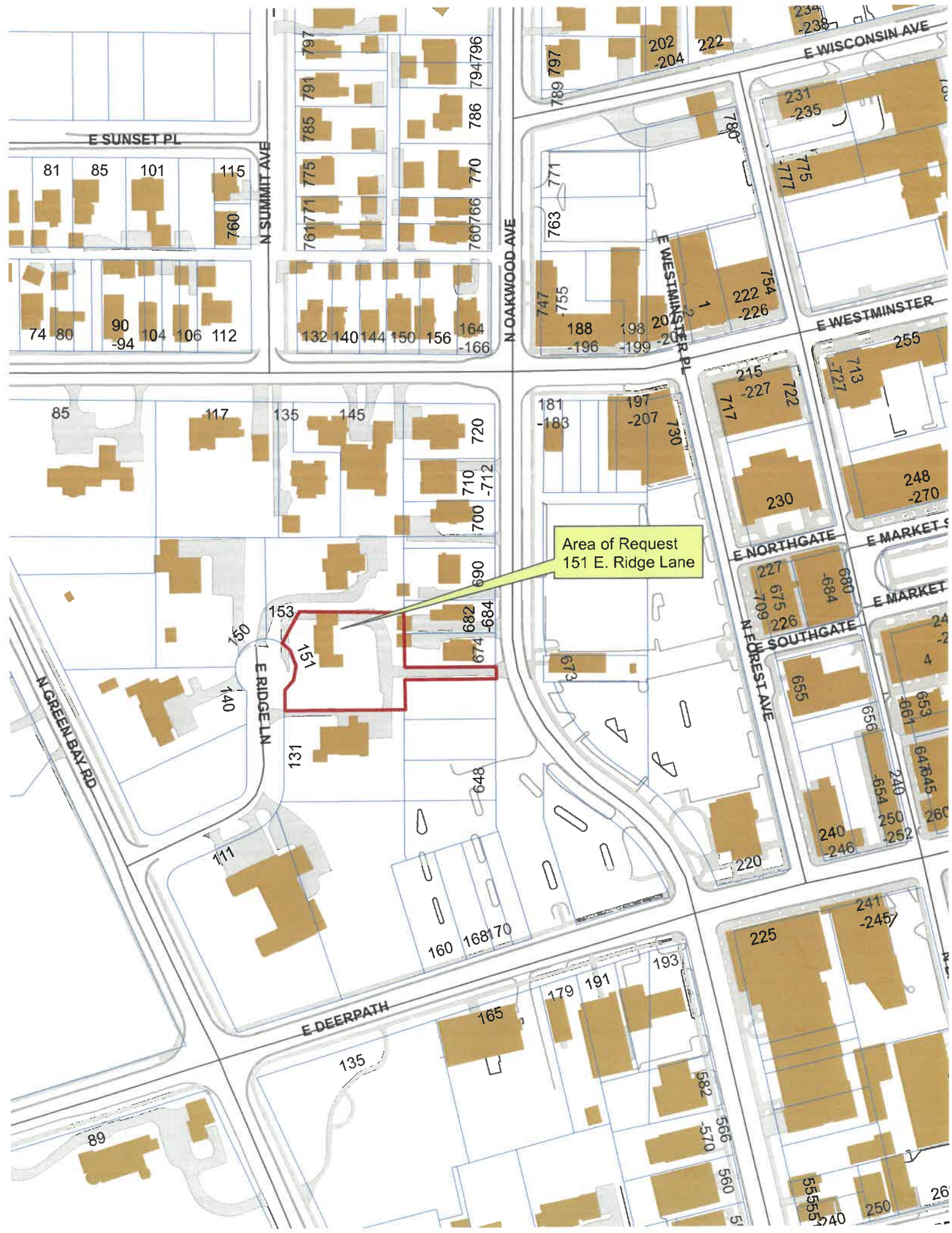
Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

**Total Actual Design Elements =** 349 sq. ft. **Excess Design Elements =** 0 sq. ft.







Area of Request  
151 E. Ridge Lane





Area of Request  
151 E. Ridge Lane





**THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A  
CERTIFICATE OF APPROPRIATENESS**

**PROJECT ADDRESS** 151 Ridge Lane, Lake Forest, IL 60045

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

**HISTORIC DISTRICT OR LOCAL LANDMARK** (leave blank if unknown)

- ☐ East Lake Forest District    ☐ Green Bay Road District    ☐ Vine/Oakwood/Green Bay Road District  
☐ Local Landmark Property or District    ☐ Other

**PROPERTY OWNER INFORMATION**

Scott D. Carter

*Owner of Property*

151 Ridge Lane

*Owner's Street Address (may be different from project address)*

Lake Forest, IL 60045

*City, State and Zip Code*

312-909-1375

*Phone Number*

*Fax Number*

carterscott07@gmail.com

*Email Address*

  
*Owner's Signature*

**ARCHITECT/BUILDER INFORMATION**

Richard Bories, Partner

*Name and Title of Person Presenting Project*

Bories and Shearron Architecture DPC

*Name of Firm*

325 West 38th Street suite 204

*Street Address*

New York, NY 10018

*City, State and Zip Code*

212-706-8262

*Phone Number*

*Fax Number*

dick@boriesandshearron.com

*Email Address*

  
*Representative's Signature (Architect/Builder)*

The staff report is available the Friday before the meeting, after 3:00pm.

*Please email a copy of the staff report*

☐ OWNER    ☐ REPRESENTATIVE

*Please fax a copy of the staff report*

☐ OWNER    ☐ REPRESENTATIVE

*I will pick up a copy of the staff report at  
the Community Development Department*

☐ OWNER    ☐ REPRESENTATIVE

## LAKE FOREST HISTORIC PRESERVATION COMMISSION

### STATEMENT OF INTENT

Request for  
One-Story Addition, New Detached Garage, and Minor Alterations  
to the single-family residence at  
151 Ridge Lane  
Lake Forest, Illinois 60045

Prepared by:  
Bories and Shearron Architecture DLC  
May 2021

We are respectfully requesting the Building Review Board's consideration and approval for new additions and alterations to 151 Ridge Lane for Julie and Scott Carter.

#### **Project History**

151 Ridge Lane is a single-family house built in c1930 in the French Directoire style. The home was designed by Ralph Milman and A. S. Morphet. The house is in the Green Bay Road Historic District.

#### **Description of Additions and Renovations**

##### 1) Alterations:

The Carters are particularly aware of the need for stewardship of their Ridge Lane house. The existing garage will be converted into living space. We intend to maintain the front elevation, except to center the existing garage door in the mass. This alteration maintains the historical street facing façade.

##### 2) New Single-Story Addition:

In the rear of the house, not in view from the street, an addition will be added to complete the symmetry of the rear elevation, duplicating the size, shape, and material of the existing screened porch. The addition will house a mudroom for the residence. This single-story addition will add additional square footage to the residence without disturbing the original design's symmetry and proportions.

##### 3) New Detached Garage:

A new, detached garage will be added to provide increased parking as the original, one-car attached garage will be converted to living space.

#### **14 Standards of the Historic Preservation Ordinance**

We considered the following applicable standards regarding our request for a certificate of appropriateness for additions and alterations:



- 1.) Height. This standard has been met. The height of the addition to the rear elevation are equal in height to its counterpart, the existing screened porch. The addition completes the symmetry of the rear elevation.
- 2.) Proportion of front façade. This standard has been met. The only alteration to the façade, removing a door and centering the existing garage door, will only improve the proportion of the street side of the house.
- 3.) Proportion of openings. The relationship of the width to height of new windows and doors are visually compatible with the original building. New windows and doors are exact replicas of existing windows and doors where possible. New single doors are in proportion to the existing French doors.
- 4.) Rhythm of solids to voids in front façade. This standard has been met. There are no new openings proposed for the façade. We are removing a single, person door into the garage, restoring the existing outswing garage doors, and centering this door on that wing of the house. This creates a perfectly balanced façade.
- 5.) Rhythm of spacing and structures on streets. This standard has been met. The visible alterations to the property do not impact the spacing and structures on the street.
- 6.) Rhythm of entrance porches, storefront recesses, and other projections. This standard has been met. The recentered garage door adds to the rhythm of the façade as it creates symmetry on that bay of the house.
- 7.) Relationship of materials and textures. This standard has been met. The addition's roof, walls, door, and finishes will copy exactly the existing finishes and materials of the house and screened porch. The new garage and wall will also be stucco to match the primary structure.
- 8.) Roof shapes. This standard has been met. The roof shape of the addition will mimic exactly the existing roof on the screened porch opposite it at the south end of the east elevation. The roof of the garage will be "flat" (sloped to drain), hidden by a stucco parapet and cap.
- 9.) Walls of continuity. This standard has been met. Fences and walls have been sensitively designed to ensure visual compatibility with the existing house and property and respect the established public ways along Ridge Lane.
- 10.) Scale of a structure. This standard has been met. The size and mass of the proposed additions are compatible with the existing house. The addition to the primary structure creates symmetry on the rear elevation. The new garage provides visual rear yard privacy from the blank garage walls from the houses on Oakwood.
- 11.) Directional expression of front elevation. This standard has been met. The façade remains compatible with surrounding properties, etc. as the only change is removing a person door and centering the existing garage door on that bay of the structure.
- 12.) Preserving distinguishing features. This standard has been met. The house retains most of its original detailing, windows, doors, chimneys, etc. There is no plan to remove or alter these elements. When necessary, we are copying the existing details exactly to maintain the structure's inherent beauty.

13.) Protection of Resources. This standard has been met. Every reasonable effort shall be made to protect and preserve existing healthy trees and vegetation on site.

14.) New Construction. This standard has been noted and met.

15.) Repair to deteriorated features. This standard has been met. New cladding materials will match the materials being replaced in composition, design, color, texture, and other visual qualities. New windows and doors will be designed with exact copies of these existing, original elements on the structure.

16.) Surface cleaning. This standard has been met. The surface cleaning of the existing stucco walls and quoins will be undertaken with gentlest means possible so as not to damage it. Prior to any cleaning work, we will direct the contractor to perform test patches in the areas where we will be removing existing stucco for new window and door openings to determine the best, final cleaning methods.

17.) Reversibility of additions and alterations. This standard has been met. Wherever possible, additions or alterations to the historic structure and property shall be done in a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would not be impaired.

We appreciate this opportunity to present the new proposal to the Carter Residence. Please let us know if you have any questions or require further information.

Thank you Sincerely,

Dick Bories  
Partner

Bories & Shearron Architecture DPC  
325 West 38th Street  
Suite No. 204  
New York, NY 10018  
T: (917) 374-3422  
W: [www.boriesandshearron.com](http://www.boriesandshearron.com)



THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS***  
*(The use of natural materials is strongly encouraged)*

**Façade Material**

- ☐ Stone  
☐ Brick  
☐ Wood Clapboard Siding  
☐ Wood Shingle  
☒ Cementitious Stucco  
☐ Other \_\_\_\_\_

Color and/or Type of Material \_\_\_\_\_

**Foundation Material**

Exposed Foundation Material Painted Concrete

**Window Treatment**

**Primary Window Type**

- ☐ Double Hung  
☒ Casement  
☐ Sliding  
☐ Other \_\_\_\_\_

Color of Finish \_\_\_\_\_

**Finish and Color of Windows**

- ☒ Wood (recommended)  
☐ Aluminum Clad  
☐ Vinyl Clad  
☐ Other \_\_\_\_\_

**Window Muntins**

- ☐ Not Provided  
☐ True Divided Lites

*Simulated Divided Lites*

- ☒ Interior and Exterior muntin bars (recommended)  
☐ Interior muntin bars only  
☐ Exterior muntin bars only  
☐ Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- ☐ Limestone  
☐ Brick  
☐ Wood  
☒ Other Stucco to match existing

**Window Trim**

- ☐ Limestone  
☐ Brick  
☒ Wood at bays  
☐ Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- ☐ Wood  
☐ Other \_\_\_\_\_



**THE CITY OF LAKE FOREST**  
**HISTORIC PRESERVATION COMMISSION APPLICATION**  
***DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED***

**Chimney Material**

---

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other \_\_\_\_\_

**Roofing**

---

**Primary Roof Material**

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles \_\_\_\_\_
- ☐ Sheet Metal \_\_\_\_\_
- ☒ Other Low Slope Roofing

**Flashing Material**

- ☒ Copper to match existing
- ☐ Other \_\_\_\_\_
- ☐ Sheet Metal

Color of Material \_\_\_\_\_

**Gutters and Downspouts**

---

- ☒ Copper
- ☐ Aluminum
- ☐ Other \_\_\_\_\_

**Driveway Material**

---

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other \_\_\_\_\_

**Terraces and Patios**

---

- ☒ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other \_\_\_\_\_

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706 - 8262  
boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/14/2022	FOR ZBA
2	4/15/2022	FOR HPC

## REVISIONS:

NO.	DATE	ISSUE

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

PROPOSED SITE PLAN

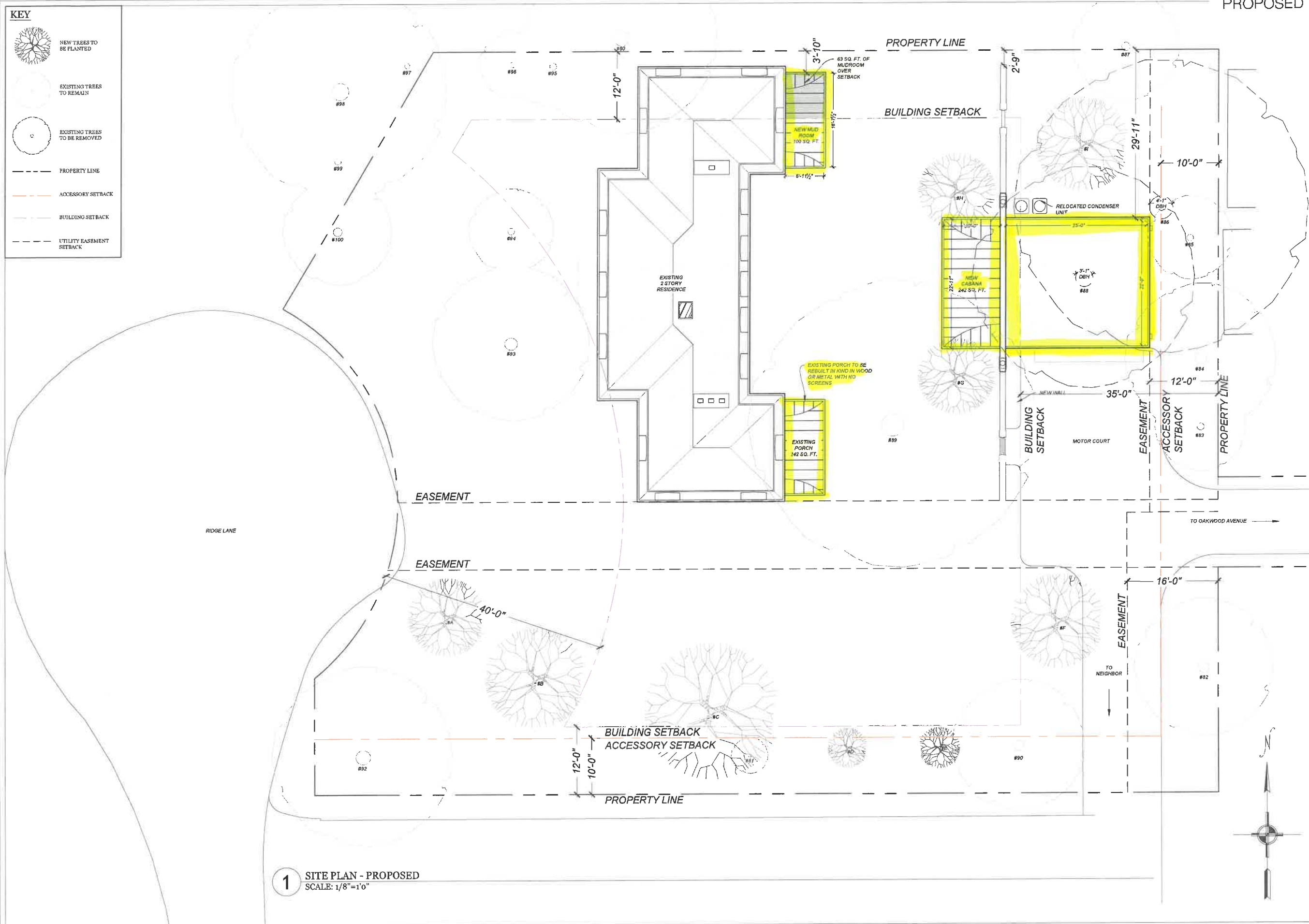
PROJECT #:	202105
------------	--------

DRAWN BY:

CHECKED BY:	JAQ
-------------	-----

DRAWING NO:

A-002.0A



**1 SITE PLAN - PROPOSED**  
SCALE: 1/8"=1'0"

EXISTING WEST ELEVATION



BORIES & SHEARRON  
ARCHITECTURE DPC

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706 - 8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture - DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE
1	5/11/2022	FOR HPC/ZBA

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

EXISTING  
WEST ELEVATION

PROJECT #:	202105
DRAWN BY:	
CHECKED BY:	JAQ
DRAWING NO:	

A-E02.0A



1 WEST ELEVATION - EXISTING  
SCALE: 1/4"=1'0"





BORJES & SHEARRON  
ARCHITECTURE DPC  
325 West 38th Street, Suite 204  
New York, NY 10018  
T: (212) 706 - 8262  
www.borjessandshearron.com

© 2020 Borjes & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Borjes & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Borjes & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/14/2022	FOR ZBA
2	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE
1	5/11/2022	FOR HPC/ZBA

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

PROPOSED  
WEST ELEVATION

PROJECT #: 202105

DRAWN BY:

CHECKED BY:

JAQ

DRAWING NO:

A-200.0A



1 WEST ELEVATION - PROPOSED  
SCALE: 1/4"=1'0"



**BORIES & SHEARRON**  
ARCHITECTURE DPC  
325 West 38th Street, Suite 204  
New York, NY 10018  
T: (212) 706-8266  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1 4/15/2022 FOR HPC

REVISIONS:

NO.	DATE	ISSUE

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

PROPOSED  
WEST ELEVATION  
COLOR RENDERING

PROJECT #:	202105
DRAWN BY:	HA
CHECKED BY:	JAQ
DRAWING NO:	

A-P10.0



1 WEST ELEVATION - COLOR RENDERING



BORIES & SHEARRON  
ARCHITECTURE DPC

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706-8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

EXISTING NORTH  
ELEVATION

PROJECT #:	202105
DRAWN BY:	
CHECKED BY:	JAQ
DRAWING NO:	

A-E02.1



1 NORTH ELEVATION - EXISTING  
SCALE: 1/4"=1'0"





BORIES & SHEARRON  
ARCHITECTURE DPC  
325 West 38th Street, Suite 204  
New York, NY 10018  
T: (212) 706-8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/14/2022	FOR ZBA
2	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

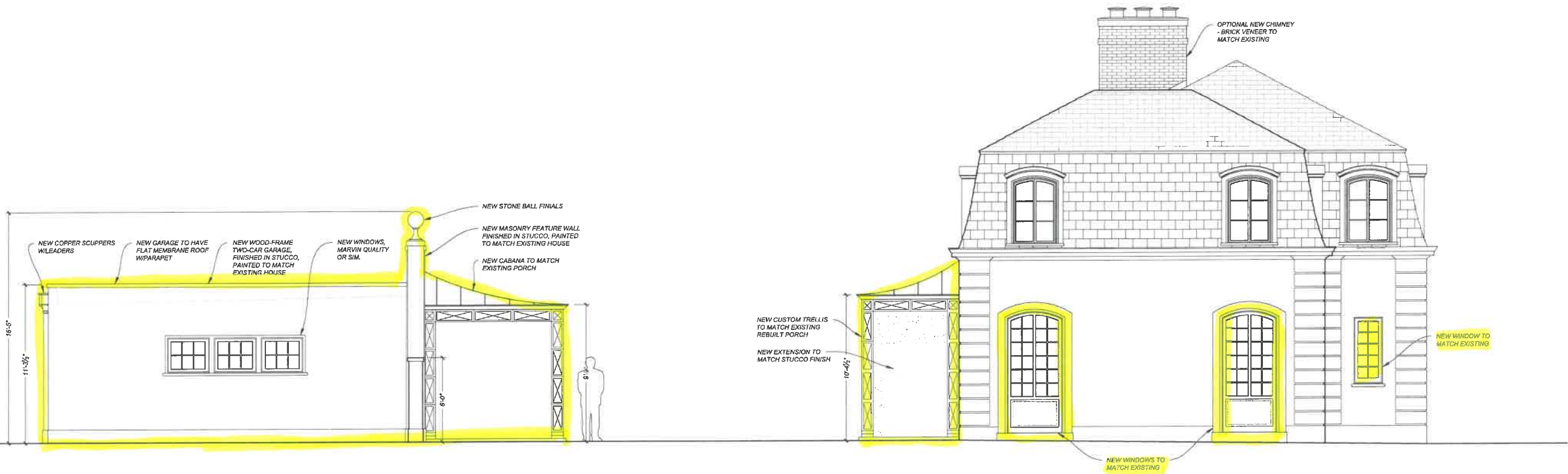
DRAWING TITLE:

PROPOSED  
NORTH ELEVATION

PROJECT #: 202105  
DRAWN BY:  
CHECKED BY: JAQ

DRAWING NO:

A-200.1



1 NORTH ELEVATION - PROPOSED  
SCALE: 1/4"=1'0"



**BORIES & SHEARRON**  
ARCHITECTURE DPC  
325 West 38th Street, Suite 204  
New York, NY 10018  
T: (212) 706-8262  
www.boriesandshearron.com

© 2022 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1 4/15/2022 FOR HPC

REVISIONS:

NO.	DATE	ISSUE
-----	------	-------

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

PROPOSED  
NORTH ELEVATION  
COLOR RENDERING

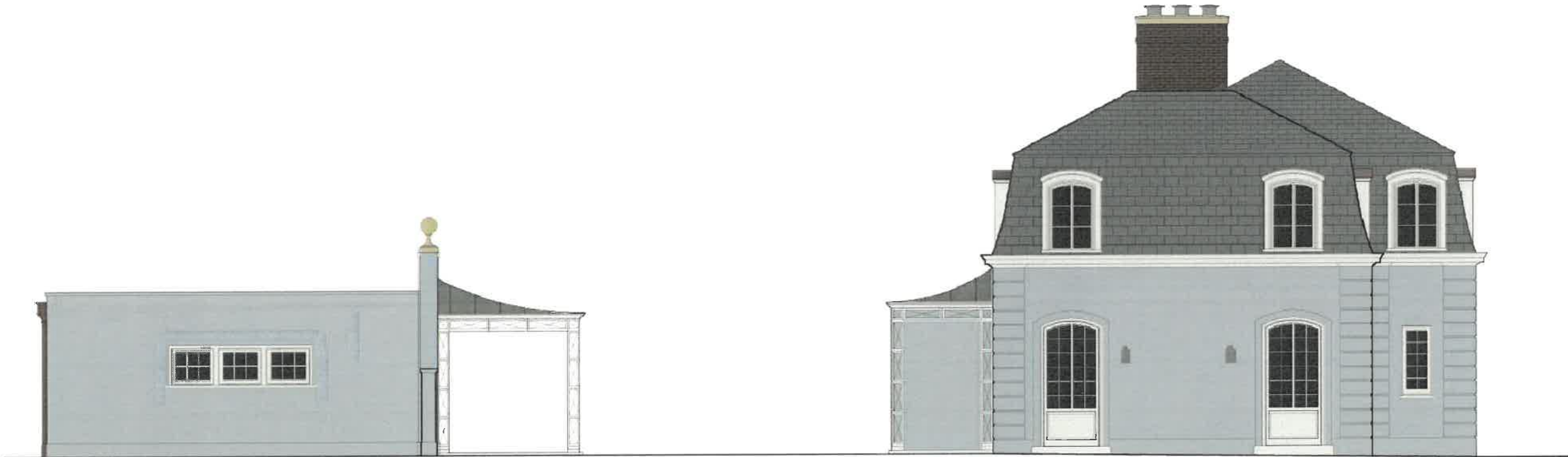
PROJECT #: 202105

DRAWN BY: HA

CHECKED BY: JAQ

DRAWING NO:

A-P10.1



1 NORTH ELEVATION - COLOR RENDERING



BORIES & SHEARRON  
ARCHITECTURE DPC  
325 West 38th Street, Suite 204  
New York, NY 10018  
T: (212) 706 - 8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE
1	5/11/2022	FOR HPC/ZBA

PROJECT TITLE:

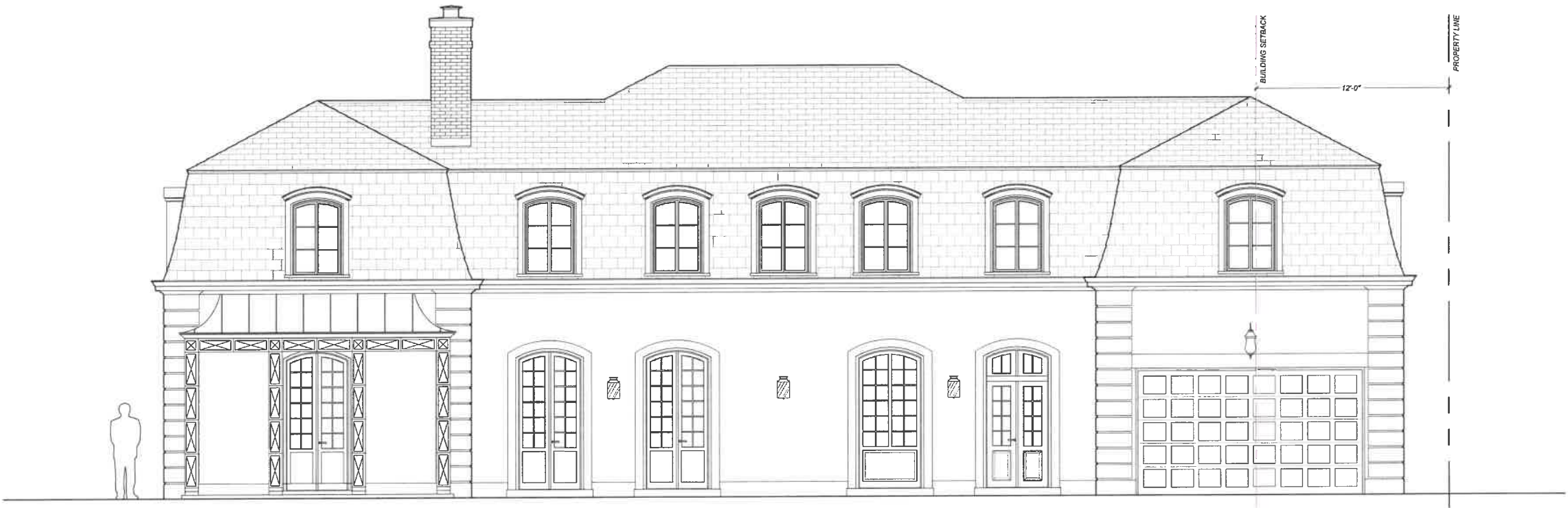
CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

EXISTING  
EAST ELEVATION

PROJECT #:	202105
DRAWN BY:	
CHECKED BY:	JAQ
DRAWING NO:	

A-E02.2A



1 EAST ELEVATION - EXISTING  
SCALE: 1/4"=1'0"





BORIES & SHEARRON  
ARCHITECTURE DPC  
325 West 38th Street, Suite 204  
New York, NY 10018  
T: (212) 706 - 8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/14/2022	FOR ZBA
2	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE
1	5/11/2022	FOR HPC/ZBA

PROJECT TITLE:

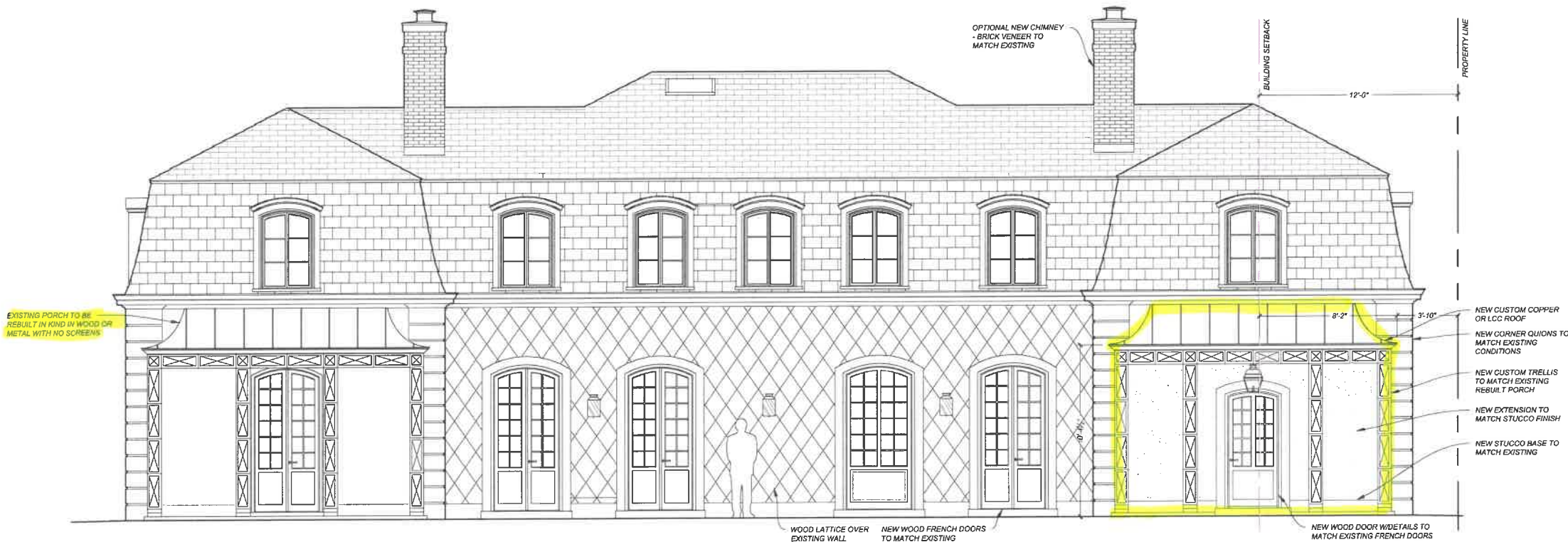
CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

PROPOSED  
EAST ELEVATION

PROJECT #:	202105
DRAWN BY:	
CHECKED BY:	JAQ
DRAWING NO:	

A-200.2A



1 EAST ELEVATION - PROPOSED  
SCALE: 1/4"=1'0"



BORIES & SHEARRON  
ARCHITECTURE DPC  
325 West 38th Street, Suite 204  
New York, NY 10018  
T: (212) 706-8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1 4/15/2022 FOR HPC

REVISIONS:

NO.	DATE	ISSUE
-----	------	-------

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

PROPOSED  
EAST ELEVATION  
COLOR RENDERING

PROJECT #: 202105

DRAWN BY: HA

CHECKED BY: JAQ

DRAWING NO:

A-P10.2



1 EAST ELEVATION - COLOR RENDERING



BORIES & SHEARRON  
ARCHITECTURE DPC

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706-8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

EXISTING SOUTH  
ELEVATION

PROJECT #: 202105

DRAWN BY:

CHECKED BY:

JAQ

DRAWING NO:

A-E02.3



1 SOUTH ELEVATION - EXISTING  
SCALE: 1/4"=1'0"



PROPOSED SOUTH ELEVATION



**BORIES & SHEARRON  
ARCHITECTURE DPC**

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706-8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/14/2022	FOR ZBA
2	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE
1	5/11/2022	FOR HPC/ZBA

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

PROPOSED  
SOUTH ELEVATION

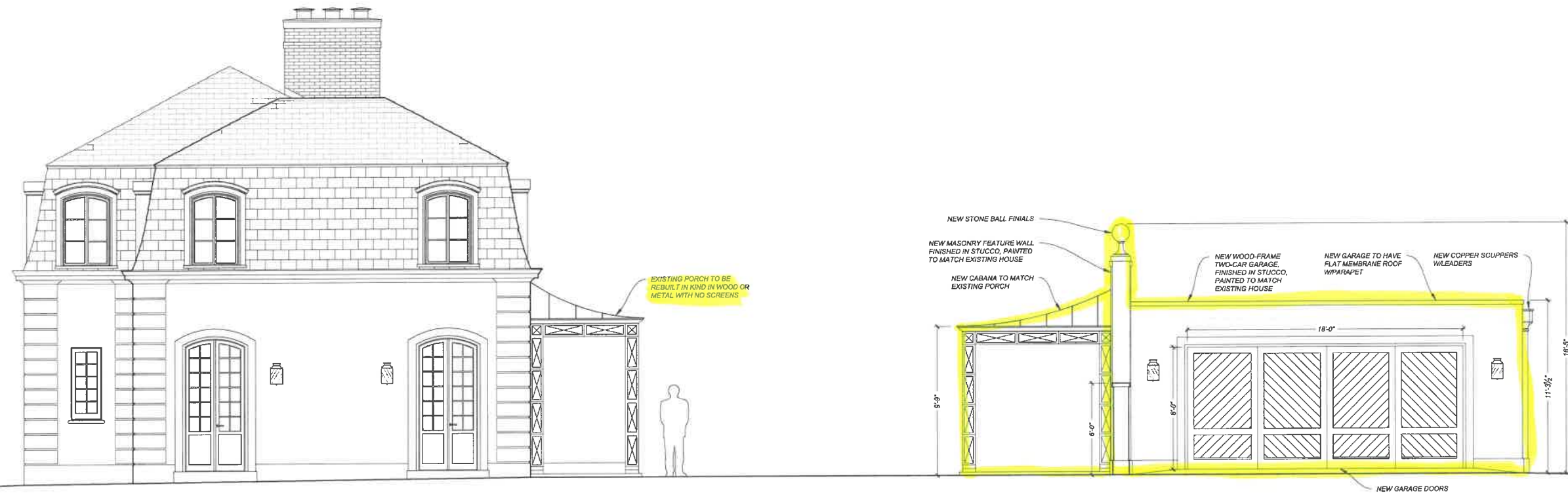
PROJECT #: 202105

DRAWN BY:

CHECKED BY: JAQ

DRAWING NO:

**A-200.3A**



**1** SOUTH ELEVATION - PROPOSED  
SCALE: 1/4"=1'0"



BORIES & SHEARRON  
ARCHITECTURE DPC  
325 West 38th Street, Suite 204  
New York, NY 10018  
T: (212) 706-8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1 4/15/2022 FOR HFC

REVISIONS:

NO. DATE ISSUE

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

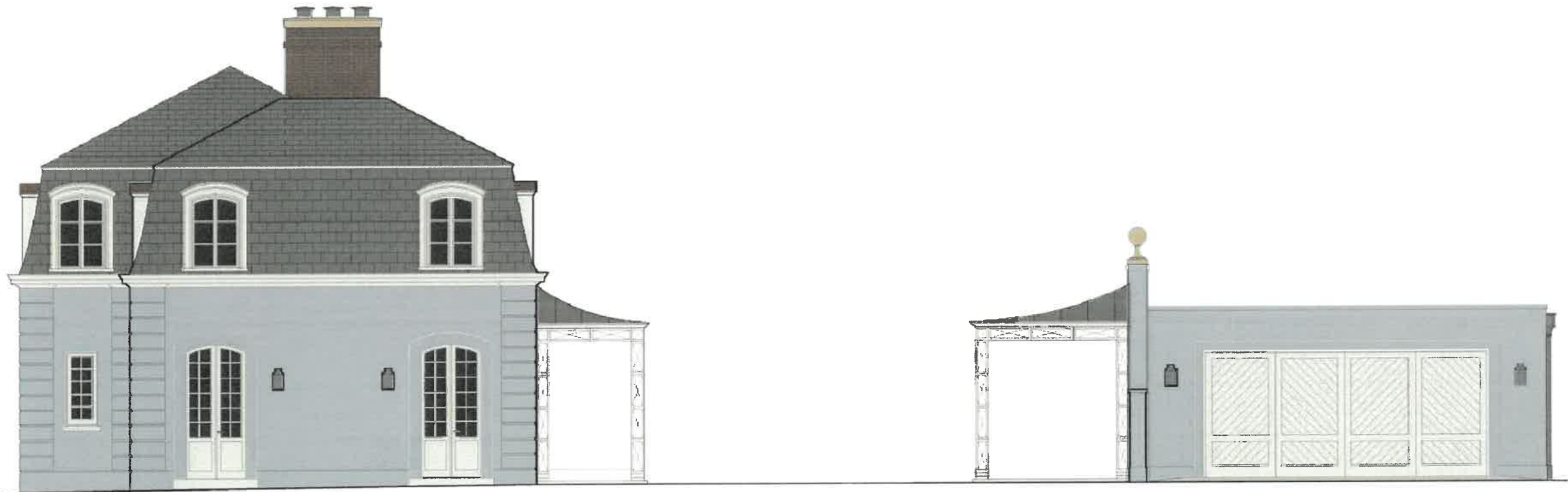
PROPOSED  
SOUTH ELEVATION  
COLOR RENDERING

PROJECT #: 202105

DRAWN BY: HA

CHECKED BY: JAQ

DRAWING NO:



1 SOUTH ELEVATION - COLOR RENDERING

A-P10.3



BORIES & SHEARRON  
ARCHITECTURE DPC

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706-8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/14/2022	FOR ZBA
2	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

PROPOSED  
HIDDEN SOUTH ELEVATION

PROJECT #: 202105

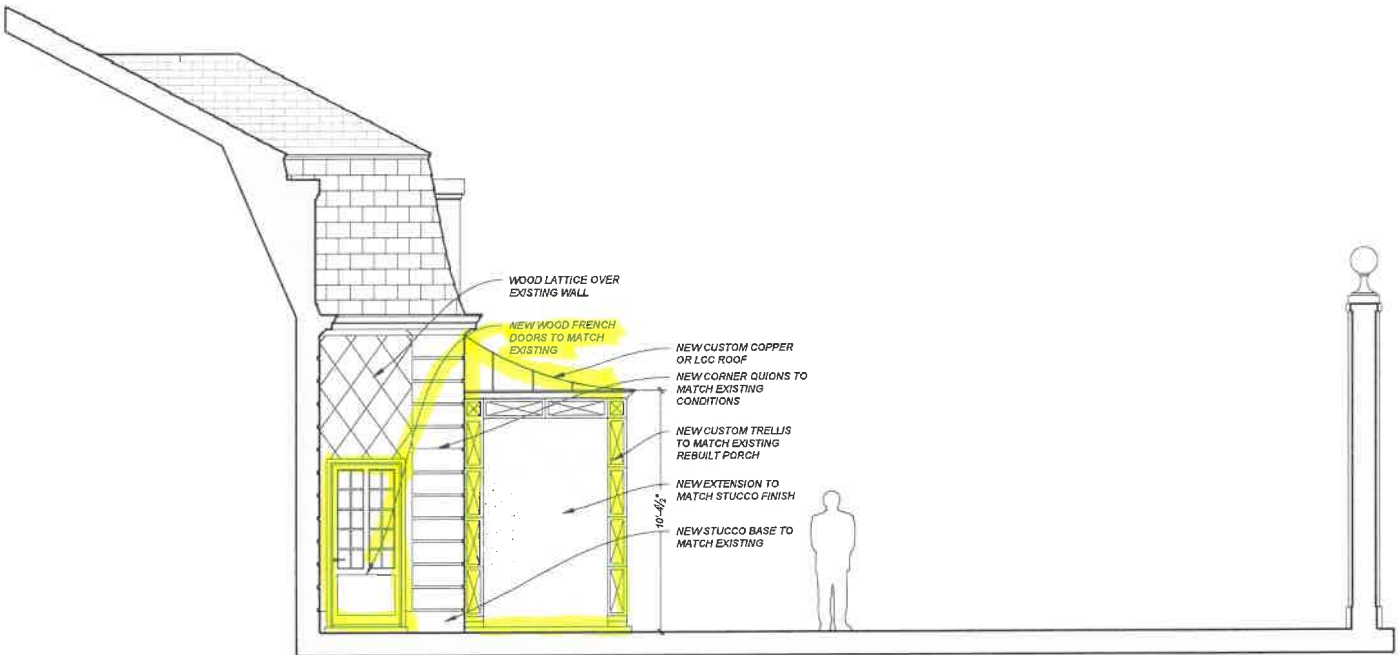
DRAWN BY:

CHECKED BY:

JAQ

DRAWING NO:

A-200.6



1 HIDDEN SOUTH ELEVATION - PROPOSED  
SCALE: 1/4"=1'0"





**BORIES & SHEARRON**  
ARCHITECTURE DPC  
325 West 38th Street, Suite 204  
New York, NY 10018  
T: (212) 706-8266  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2023

1 4/15/2022 FOR HPC

REVISIONS:

NO.	DATE	ISSUE
-----	------	-------

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

PROPOSED  
HIDDEN SOUTH ELEVATION  
COLOR RENDERING

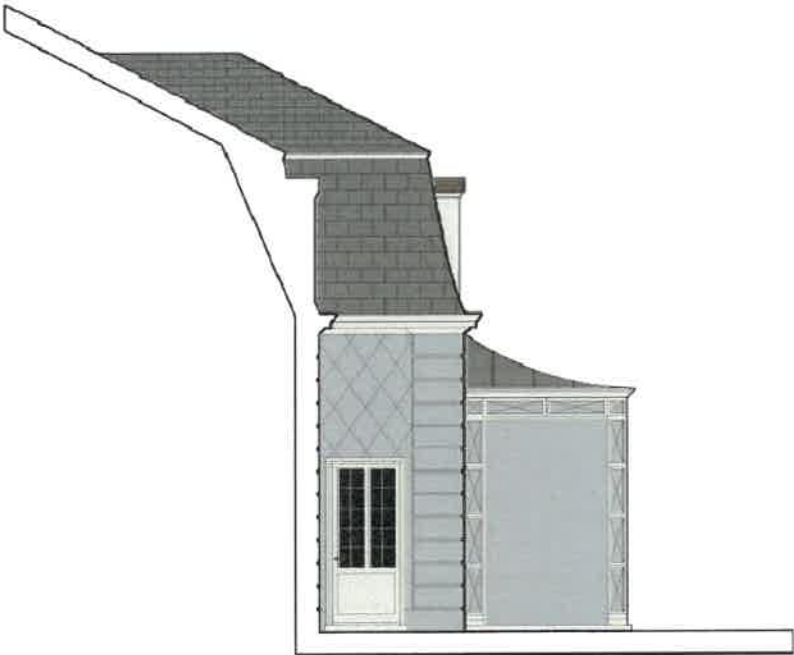
PROJECT #: 202105

DRAWN BY: HA

CHECKED BY: JAQ

DRAWING NO:

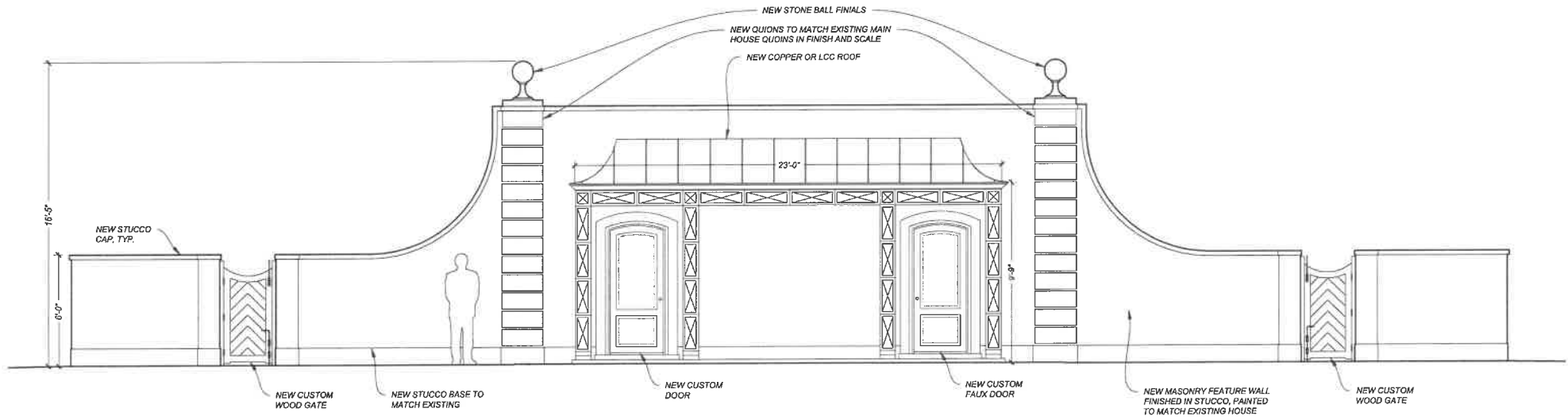
A-P10.6



1 HIDDEN SOUTH ELEVATION - COLOR RENDERING



**BORIES & SHEARRON  
ARCHITECTURE DPC**  
325 West 38th Street, Suite 204  
New York, NY 10018  
T: (212) 706 - 8262  
www.boriesandshearron.com



**1** GARAGE WEST ELEVATION - PROPOSED  
SCALE: 1/4"=1'0"

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property of Bories & Shearron Architecture DPC. The drawings may not be used except with the express written consent of Bories & Shearron Architecture DPC.

ISSUE DATE: April 14, 2022

1	4/14/2022	FOR ZBA
2	4/15/2022	FOR HPC

REVISIONS:		
NO.	DATE	ISSUE

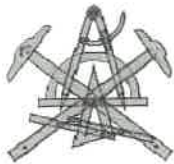
PROJECT TITLE:  
  
CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:  
  
PROPOSED  
GARAGE WEST ELEVATION

PROJECT #:	202105
DRAWN BY:	
CHECKED BY:	JAQ

DRAWING NO:

A-200.4



**BORIES & SHEARRON**  
ARCHITECTURE DPC  
335 West 38th Street, Suite 204  
New York, NY 10018  
T: (212) 706-8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1 4/15/2022 POR HPC

REVISIONS:

NO.	DATE	ISSUE
-----	------	-------

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

PROPOSED  
WEST ELEVATION CAR GARAGE  
COLOR RENDERING

PROJECT #: 202105

DRAWN BY: HA

CHECKED BY: JAQ

DRAWING NO:

A-P10.4



1 GARAGE WEST ELEVATION - COLOR RENDERING



PROPOSED EAST GARAGE ELEVATION



BORIES & SHEARRON  
ARCHITECTURE DPC

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706-8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/14/2022	FOR ZBA
2	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

PROPOSED  
GARAGE EAST ELEVATION

PROJECT #: 202105

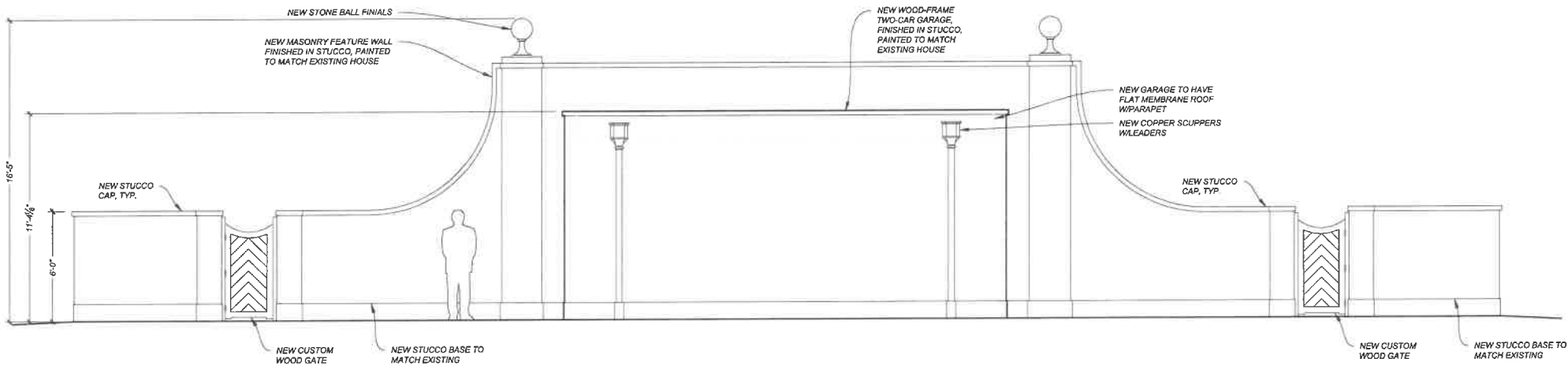
DRAWN BY:

CHECKED BY:

JAQ

DRAWING NO:

A-200.5



1 GARAGE EAST ELEVATION - PROPOSED  
SCALE: 1/4"=1'0"

PROPOSED EAST COLOR GARAGE ELEVATION



BORIES & SHEARRON  
ARCHITECTURE DPC  
325 West 38th Street, Suite 204  
New York, NY 10018  
T: (212) 706-8866  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2023

1 4/15/2023 FOR HPC

REVISIONS:

NO.	DATE	ISSUE

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

PROPOSED  
EAST ELEVATION CAR GARAGE  
COLOR RENDERING

PROJECT #: 202105

DRAWN BY: HA

CHECKED BY: JAQ

DRAWING NO:

A-P10.5



1 GARAGE EAST ELEVATION - COLOR RENDERING



BORIES & SHEARRON  
ARCHITECTURE DPC

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706 - 8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/14/2022	FOR ZBA
2	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

MASSING MODEL  
BIRD'S EYE VIEW

PROJECT #: 202105

DRAWN BY:

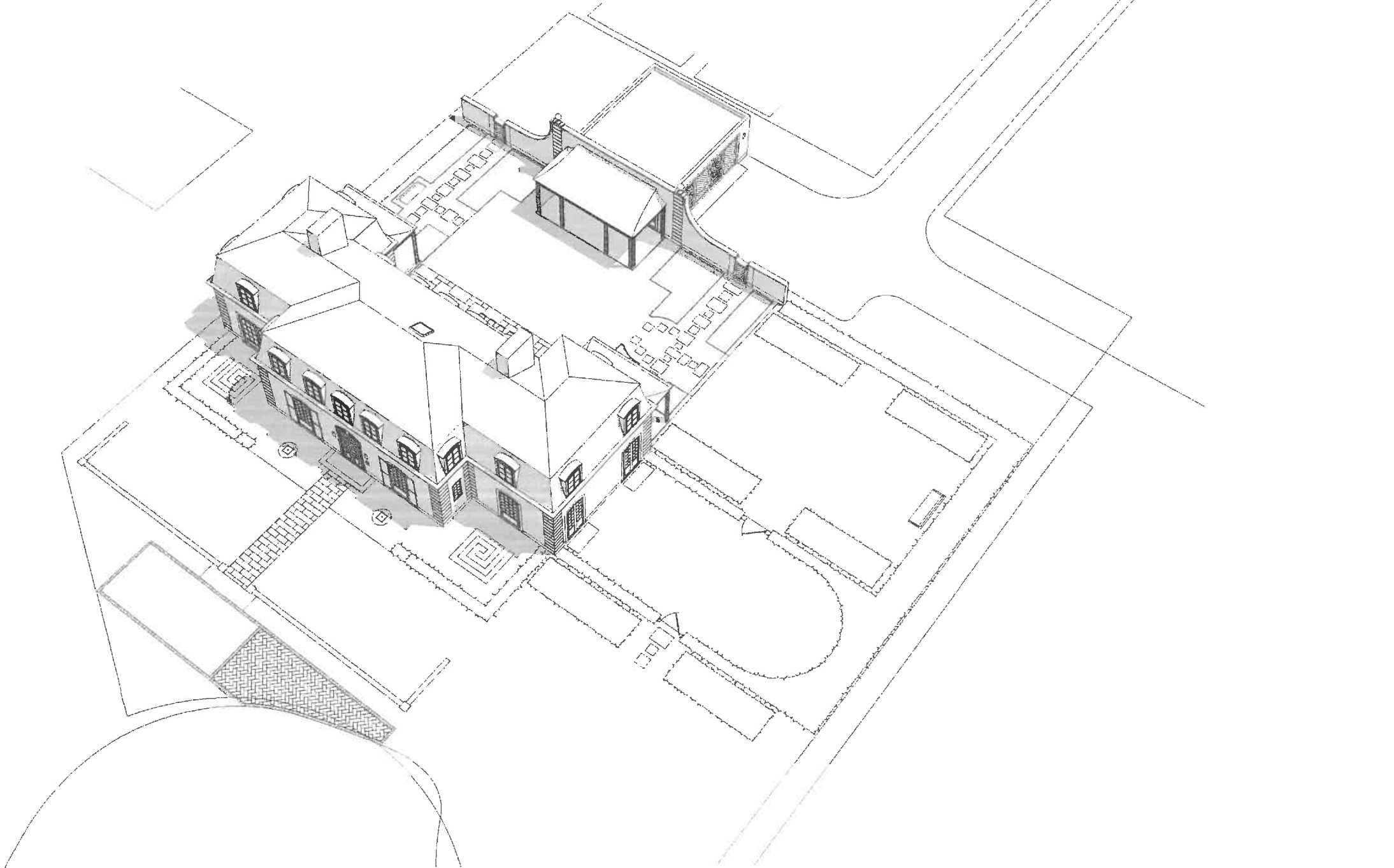
CHECKED BY:

JAQ

DRAWING NO:

A-P20.0

1 BIRD'S EYE VIEW







**BORIES & SHEARRON  
ARCHITECTURE DPC**

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706 - 8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/14/2022	FOR ZBA
2	4/15/2022	FOR HPC

**REVISIONS:**

NO.	DATE	ISSUE

**PROJECT TITLE:**

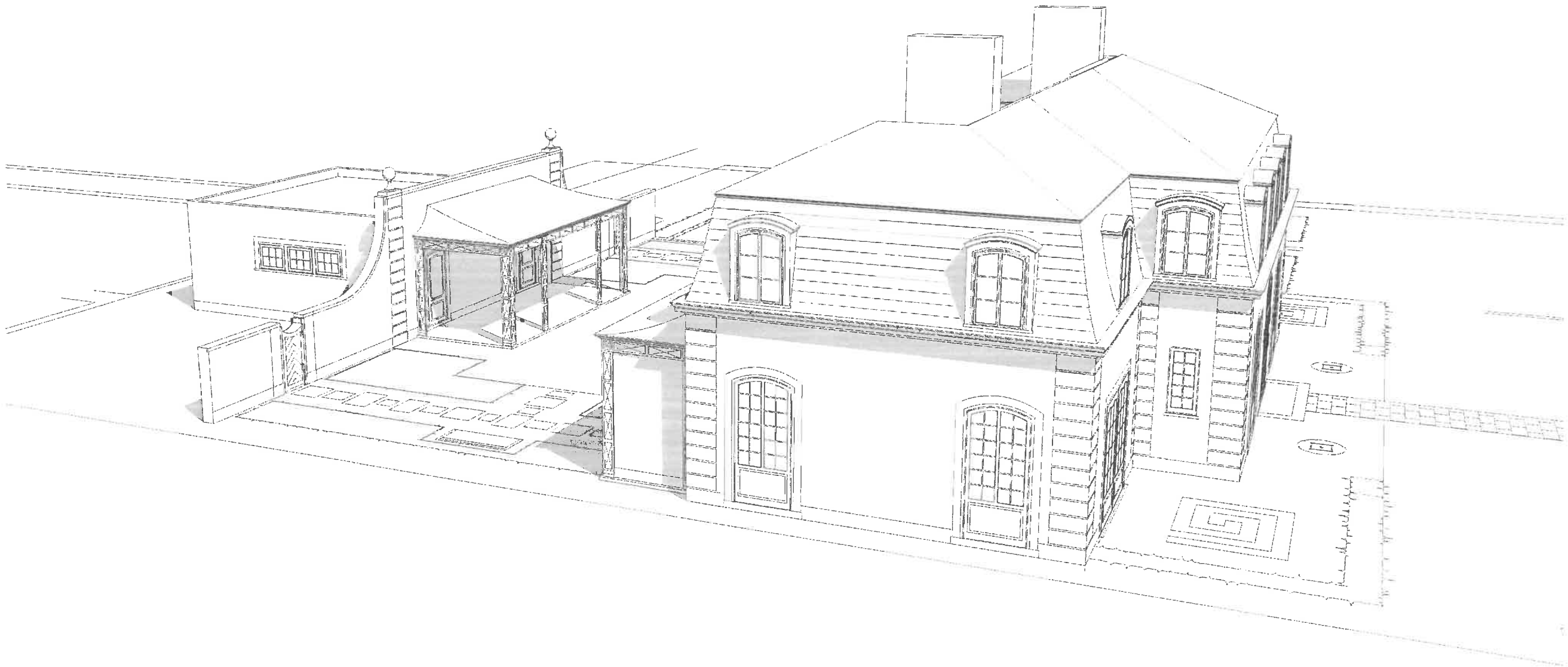
CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

**DRAWING TITLE:**

MASSING MODEL  
VIEW LOOKING SOUTH

PROJECT #:	202105
DRAWN BY:	
CHECKED BY:	JAQ
DRAWING NO:	

**A-P20.1**



**1** VIEW LOOKING SOUTH



1 VIEW LOOKING NORTH



BORIES & SHEARRON  
ARCHITECTURE DPC

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706-8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/14/2022	FOR ZBA
2	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

MASSING MODEL  
VIEW LOOKING NORTH

PROJECT #:	202105
DRAWN BY:	
CHECKED BY:	JAQ
DRAWING NO:	

A-P20.2

PROPOSED ROOF PLAN



BORIES & SHEARRON  
ARCHITECTURE DPC

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706 - 8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/14/2022	FOR ZBA
2	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

PROPOSED  
ROOF PLAN

PROJECT #: 202105

DRAWN BY:

CHECKED BY: JAQ

DRAWING NO:

A-110.0

SLATE MANSARD ROOF,  
TYP.

COPPER DORMER ROOFS,  
TYP.

BUILT-IN GUTTER, TYP.

NEW COPPER OR LCC  
PORCH ROOF W/NEW  
COPPER GUTTER

NEW LOW-SLOPE MEMBRANE  
ROOF W/PARAPET

NEW CHIMNEY W/BRICK  
VENEER TO MATCH EXISTING

NEW COPPER OR LCC  
CABANA ROOF W/NEW  
COPPER GUTTER

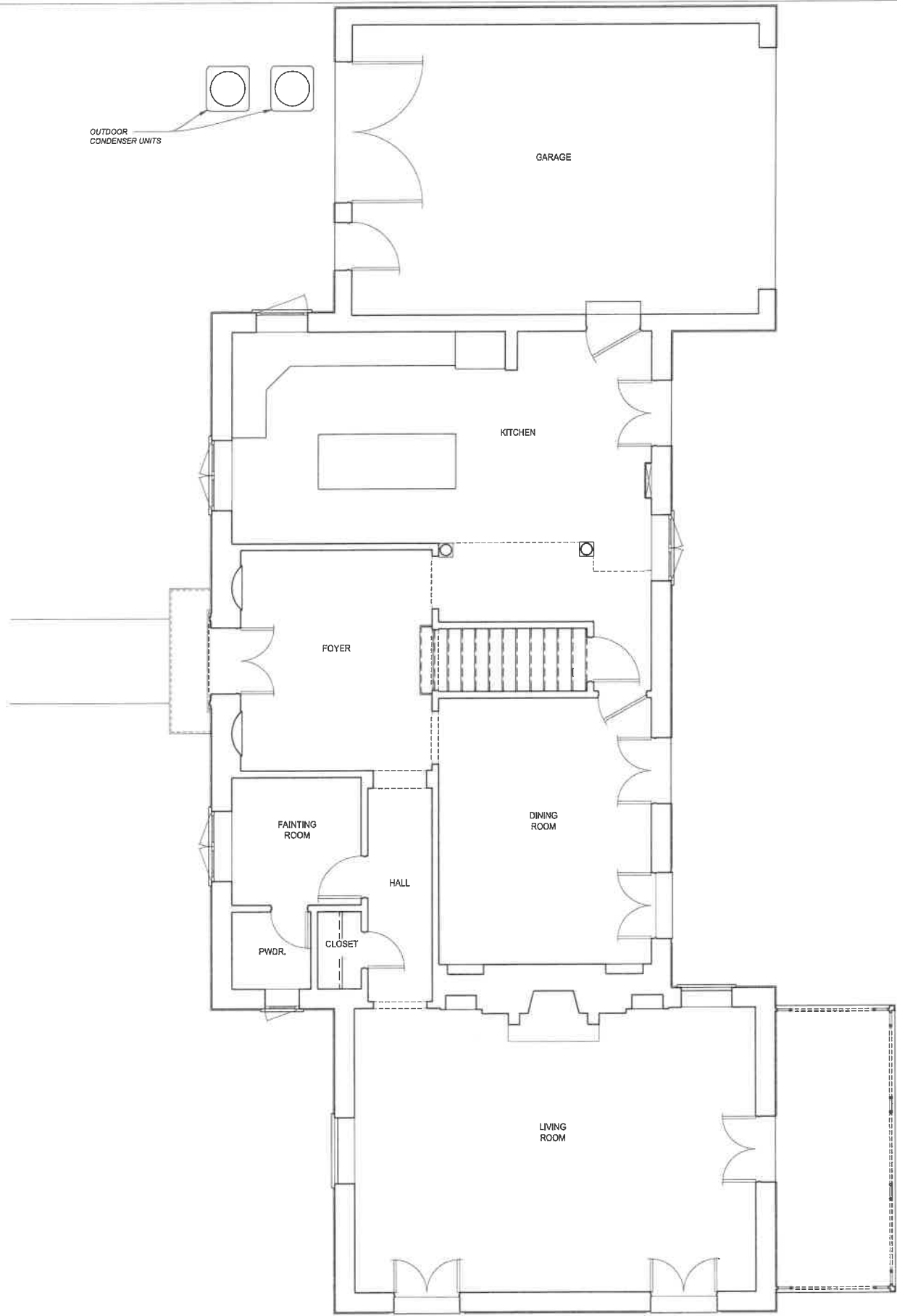
COPPER PORCH ROOF

COPPER PORCH GUTTER

NEW SCUPPER W/COPPER  
LEADER, TYP.

1 ROOF PLAN - PROPOSED  
SCALE: 1/8"=1'0"





1 FIRST FLOOR PLAN - EXISTING  
SCALE: 1/4"=1'0"



BORIES & SHEARRON  
ARCHITECTURE DPC

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706 - 8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

EXISTING FIRST FLOOR PLAN

PROJECT #:	202105
DRAWN BY:	
CHECKED BY:	JAQ
DRAWING NO:	

A-E01.0



BORIES & SHEARRON  
ARCHITECTURE DPC

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706 - 8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/14/2022	FOR ZBA
2	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE
-----	------	-------

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

PROPOSED  
FIRST FLOOR PLAN

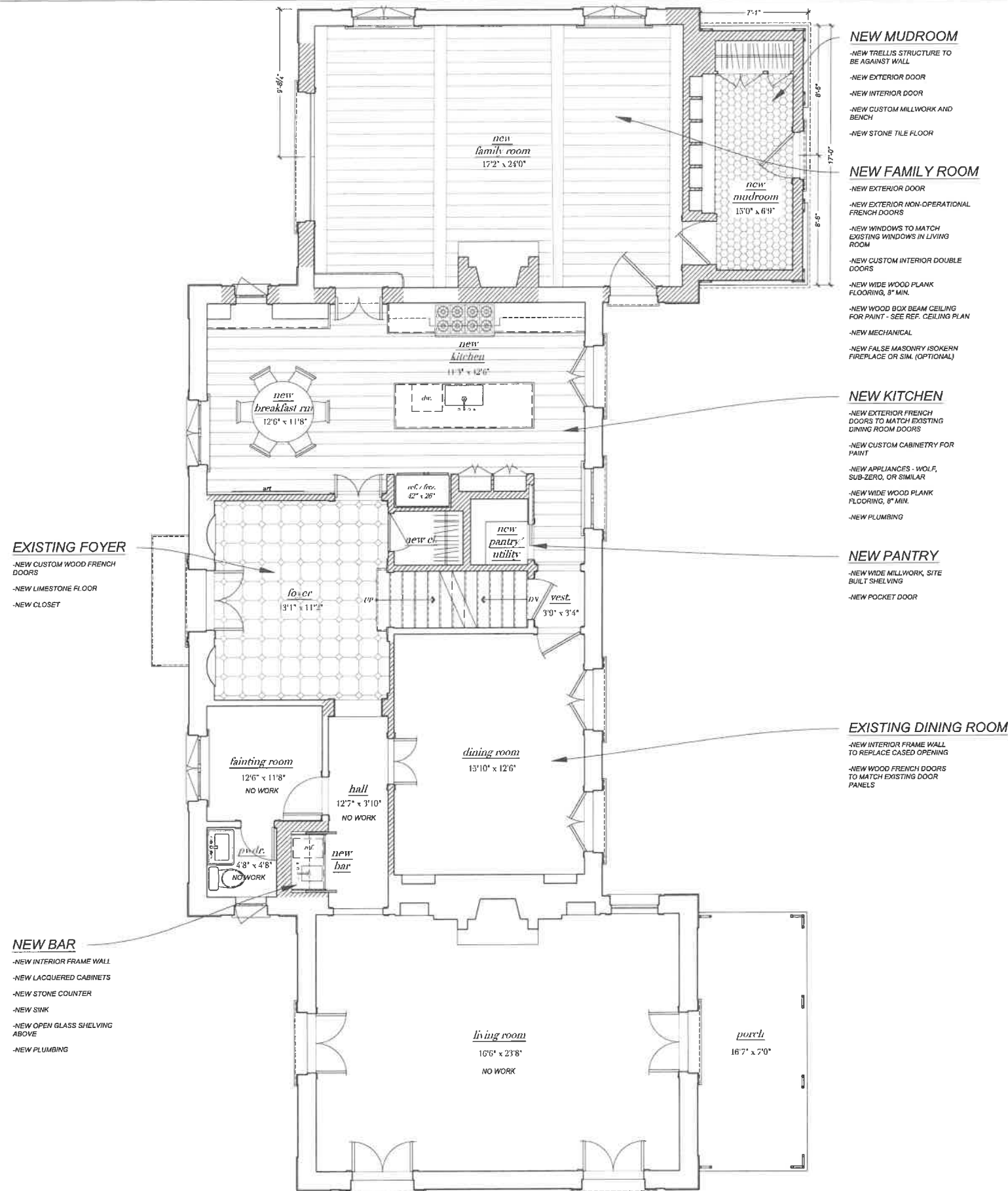
PROJECT #: 202105

DRAWN BY:

CHECKED BY: JAQ

DRAWING NO:

A-100.0



1 FIRST FLOOR PLAN - PROPOSED  
SCALE: 1/4"=1'0"

TREE REMOVAL PLAN



BORIES & SHEARRON  
ARCHITECTURE DPC

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706 - 8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1 5/11/2022 FOR HPC

REVISIONS:

NO. DATE ISSUE

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

TREE MANAGEMENT PLAN

PROJECT #: 202105

DRAWN BY:

CHECKED BY: JAC

DRAWING NO:

A-003.2

KEY



NEW TREES TO  
BE PLANTED



EXISTING TREES  
TO REMAIN



EXISTING TREES  
TO BE REMOVED  
AND REPLACED



EXISTING TREES TO  
BE REMOVED AND  
NOT REPLACED

PROPERTY LINE

ACCESSORY SETBACK

BUILDING SETBACK

UTILITY EASEMENT  
SETBACK

TREE SURVEY

STATUS	TAG #	DBH (in)	SPECIES	GENUS SPECIES	CONDITION RATING
Existing	80	32"	Cottonwood	Populus Deltoides	3
Existing	81	6"	Norway	Acer Platanoides	2
Existing	82	23"	White Oak	Quercus Alba	3
Existing	83	15"	Siberian Elm	Ulmus Pumila	4
Existing	84	25"	Black Walnut	Juglans Nigra	4
Existing	85	14"	Hackberry	Celtis Occidentalis	3
Existing to be removed	86	49"	Cottonwood	Populus Deltoides	4
Existing	87	18"	Norway Maple	Acer Platanoides	4
Existing to be removed	88	37"	Cottonwood	Populus Deltoides	4
Existing to be removed	89	48"	Cottonwood	Populus Deltoides	2
Existing	90	22"	Norway Maple	Acer Platanoides	2
Existing	92	30"	Hackberry	Celtis Occidentalis	2
Existing	93	26"	Honeylocust	Gleditsia Triacanthos	2
Existing	94	14"	Honeylocust	Gleditsia Triacanthos Var. Inermis	4
Existing	95	14"	Norway Maple	Acer Platanoides	3
Existing	96	11"	Norway Maple	Acer Platanoides	3
Existing	97	11"	Bovelder	Acer Negundo	3
Existing	98	36"	Cottonwood	Populus Deltoides	2
Existing	99	13"	Horse-Chestnut	Aesculus Hippocastanum	4
Existing	100	19"	Horse-Chestnut	Aesculus Hippocastanum	4
New	A	5"	London Plane Tree	Platanus x Acerifolia	n/a
New	B	5"	London Plane Tree	Platanus x Acerifolia	n/a
New	C	5"	London Plane Tree	Platanus x Acerifolia	n/a
New	D	5"	London Plane Tree	Platanus x Acerifolia	n/a
New	E	5"	London Plane Tree	Platanus x Acerifolia	n/a
New	F	5"	London Plane Tree	Platanus x Acerifolia	n/a
New	G	5"	London Plane Tree	Platanus x Acerifolia	n/a
New	H	5"	London Plane Tree	Platanus x Acerifolia	n/a
New	I	5"	London Plane Tree	Platanus x Acerifolia	n/a
New	J	5"	London Plane Tree	Platanus x Acerifolia	n/a

CONDITION RATING CHART

RAITING	Description	General Criteria
1	Excellent	The tree is typical of the species, has less than 10% deadwood in the crown that is attributable to normal causes, has no other observed problems, and requires no remedial action.
2	Good	The tree is typical of the species and/or has less than 20% deadwood in the crown, only one or two minor problems that are easily corrected with normal care.
3	Fair	The tree is typical of the species and/or has less than 30% deadwood in the crown, one or two minor problems that are not eminently lethal to the tree, and no significant decay or structural problems, but the tree must have remedial care above normal care in order to minimize the impact of future stress and to insure continued health.
4	Poor	The tree is not typical of the species and/or has over 50% deadwood in the crown, major decay or structural problems, is hazardous or is severely involved with insects, disease, or other problems that even if aggressively corrected would not result in the long term survival of the tree.
5	Dead	Less than 10% of the tree shows signs of life.

REPLACEMENT TREE CALCULATION

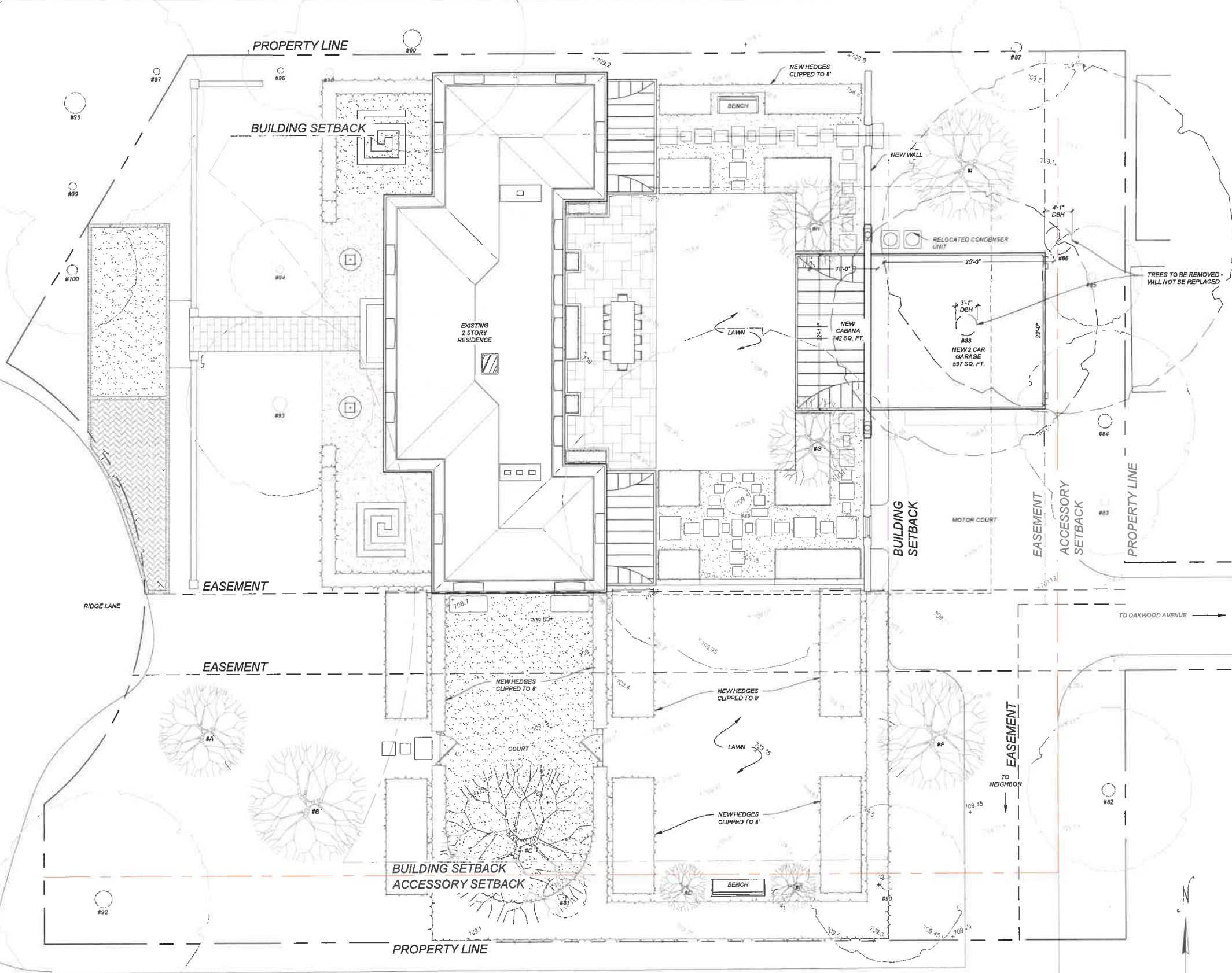
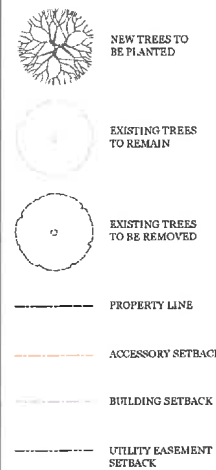
Tree To Be Removed	Diameter	Replacement Diameter
#86	49"	0" (Condition = 4)
#88	37"	0" (Condition = 4)

1

TREE MANAGEMENT PLAN  
SCALE: 1/8"=1'0"



KEY



BORIES & SHEARRON  
ARCHITECTURE DPC

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706 - 8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

NO.	DATE	FOR HPC
1	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE
-----	------	-------

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

CONCEPTUAL  
LANDSCAPE PLAN

PROJECT #: 202105

DRAWN BY:

CHECKED BY: JAQ

DRAWING NO:

A-003.0A

1 CONCEPTUAL LANDSCAPE PLAN  
SCALE: 1/8"=1'0"





#1



#4



#7



#2



#5



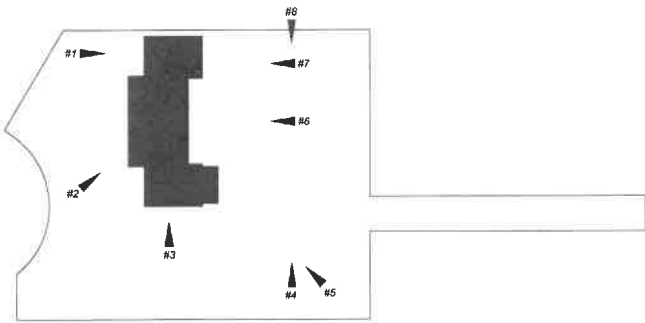
#8



#3



#6



BORIES & SHEARRON  
ARCHITECTURE DPC

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706-8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/14/2022	FOR ZBA
2	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

EXISTING BUILDING PHOTOS

PROJECT #:

202105

DRAWN BY:

CHECKED BY:

JAQ

DRAWING NO:

A-P00.1





BORIES & SHEARRON  
ARCHITECTURE DPC

325 West 38th Street, Suite 204  
New York, NY 10018

T: (212) 706 - 8262  
www.boriesandshearron.com

© 2020 Bories & Shearron Architecture DPC  
The design and concepts shown are the sole property  
of Bories & Shearron Architecture DPC. The  
drawings may not be used except with the express  
written consent of Bories & Shearron Architecture  
DPC.

ISSUE DATE: April 14, 2022

1	4/14/2022	FOR ZBA
2	4/15/2022	FOR HPC

REVISIONS:

NO.	DATE	ISSUE

PROJECT TITLE:

CARTER RESIDENCE  
151 RIDGE LANE  
LAKE FOREST, IL 60045

DRAWING TITLE:

NEIGHBORHOOD PHOTOS

PROJECT #: 202105

DRAWN BY:

CHECKED BY: JAQ

DRAWING NO:

A-P00.2



140



150



135



151



131



111



674



690

