

Agenda Item 3

McKinley Road Redevelopment Phase Three 715 McKinley Road, 361 Westminster Condominium Building & Single Family Residence

Staff Report
Vicinity Map
Air Photo

Materials Submitted by Petitioner

Statement of Intent
Planned Development Site Plan
Site Plan – Enlargement of Phase Three
Landscape Plan – Phase Three Overall

Single Family Residence

Description of Exterior Materials
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Roof Plan
Building Section

Condominium Building

Elevations
Roof Plan – Hardscape and Landscape

Streetscape Image

Correspondence

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grinnell and members of the Historic Preservation Commission
DATE:	November 16, 2022
FROM:	Catherine Czerniak, Director of Community Development
SUBJECT:	McKinley Road Redevelopment Phase Three – Condominium Building and Single Family Residence

Property Owners

City of Lake Forest
(361 E. Westminster) and
373 E. Westminster LLC –
Todd Altounian 50%
Peter Witmer 50%
(portion of 373 E.
Westminster)

PROPERTY LOCATION

715 McKinley Road
361 E. Westminster
East of McKinley Road,
South of Westminster

HISTORIC DISTRICTS

East Lake Forest Local and
National Historic Districts

Applicant/Developer

361 Westminster LLC (Todd Altounian 50%, and Peter Witmer 50%)

Representatives

Peter Witmer, architect
O'Donnell, Callaghan LLC

Introduction and Brief Background

This matter is before the Historic Preservation Commission for consideration in accordance with a Settlement Agreement approved by the City Council in a six to one vote on October 17, 2022. The Settlement Agreement between the City and the developer, 361 Westminster LLC, is the result of lengthy negotiations between the two parties. The negotiations were entered into at the direction of the City Council in an effort to explore options for resolving pending litigation. Importantly, the terms of the Settlement Agreement are not under the purview of the Historic Preservation Commission. However, the Settlement Agreement does not approve the design aspects of the development and provides for a process for review by the Commission based on the 17 standards applied to all new development in the City's Historic Districts. The architectural design, massing, detailing and exterior materials of the proposed buildings are under the purview of the Historic Preservation Commission.

The Settlement Agreement also provides a process for review of the changes by the Plan Commission. The Plan Commission considered the changes at a public hearing held on November 9, 2022, and voted 6 to 0 to forward a recommendation to the City Council to approve an amendment to the previously approved Special Use Permit incorporating the revised plan for the third phase of the McKinley Road Multi-Family Development as an exhibit to the Special Use Permit.

As background, on April 5, 2021, the City Council approved the zoning entitlements for the third phase of the Planned Development through a Special Use Permit. That approval remains in place today. Subsequent to that approval, the City Council denied an appeal of the Historic Preservation Commission's denial of a Certificate of Appropriateness for the project. Following the denial of the appeal, the developer filed a lawsuit against the City which is still pending today. The Settlement Agreement referenced above is an effort on the part of both parties to resolve the dispute at the local level, rather than allow development decisions that impact the future of Lake Forest to be left in the hands of the Court. To that end, the developer has offered changes to the previously approved plat and site plan for consideration through the standard City review processes. As noted above, the Historic Preservation Commission's charge is to consider the modified plans and take action as the Commission determines to be appropriate to either approve or deny a Certificate of Appropriateness.

Commission Action Requested

This petition is presented to the Commission for consideration of revised plans presented for a condominium building, part of the third and final phase of the McKinley Road Multi-Family Planned Development. A single family residence has been incorporated into the third phase of the development and is also presented to the Commission for consideration and action. The two buildings as now proposed complete the McKinley Planned Development.

There is a vacant, single family residential lot to the east of the phase three site, 373 E. Westminster, that is not part of the planned development and is not part of this request. Commission action will be required in the future when a petition for a new residence on the 373 E. Westminster property is filed.

Staff Review

The property proposed for development as the third phase of the McKinley Road Multi-Family Planned Development is located in the East Lake Forest Local Historic District putting this property, unlike the two earlier phases of this development, under the purview of the Historic Preservation Commission, rather than the Building Review Board. Adjacent properties to the north, east and south are in the Historic District. The three properties adjacent to the development site to the west are not within the Local Historic District however, they are part of the context of surrounding development that must be considered as the Commission evaluates the two buildings based on the 17 standards.

The property that is the subject of this petition is located on the south side of E. Westminster, at the western edge of the East Lake Forest Historic District. This area is identified as a transitional area, located between more intense uses to the west, condominium buildings, the business district, and the railroad tracks, and historic single family homes to the east.

Review of the Proposed "Settlement Plan"

A summary of the changes reflected on the current plan as well as acknowledgement of aspects of the plan that have not changed is provided below.

Changes

- *Phase 3 of the Multi-Family Planned Development is now comprised of two buildings, instead of a single building.*

As currently proposed, the overall Planned Development will be made up of a total of four buildings. Buildings one and two are existing condominium buildings that front on McKinley Road and are completed and occupied. Building three as now proposed is a six or seven unit, two story condominium building with a footprint of 10,748 square feet. The fourth building is proposed as a one and a half story single family home fronting on Westminster.

During the earlier public hearing process on this proposed development, concern was voiced about the presence of a condominium building on the Westminster frontage, at the entrance to the historic district, and adjacent to and across the street from existing single family residences. In direct response to that concern, a single family residence is now proposed as a fourth building in the Planned Development. The single family home is intended to provide a transition from the 333 E. Westminster condominium building and the adjacent single family home, to the stand alone single family homes on the north side of Westminster and to the east along the south side of Westminster.

- *The overall building square footage of the third condominium has been reduced by 1,918 square feet from the previously approved plan.*

The footprint of the condominium building as now proposed is smaller than previously approved. As currently proposed, the condominium building footprint is 10,748 square feet. As previously proposed, the third condominium building was 11,707 square feet. The total square footage of the condominium as now proposed is 21,496 square feet in comparison to the previously approved building at 23,414 square feet.

- *Total square footage in phase three.*

The total square footage of the two buildings now proposed on the site is more than the square footage of the single building previously approved. Although detailed drawings of the proposed single family home have not yet been prepared pending a ruling on the modified site plans, the proposed house is approximately 3,500 square feet. As part of a unified multi-family planned development, there is no specific limitation on the building square footages.

- *Total number of units.*

The total number of units in the condominium building will be six or seven depending on buyer demand. With the single family home, the total number of units in phase three of the development will be reduced by one unit or will remain at eight units, the number of units proposed in the previously approved plan. No increase in the number of units is proposed.

- *Building 3, the two story condominium building, is shifted to the south 56 feet further away from the Westminster streetscape at the closest point than the previously proposed condominium building.*

The condominium building as now proposed is setback 104 to 121 feet from the property line along Westminster. In the previously approved plan, the condominium building was setback 48 to 62 feet at the closest points.

- *The green space is shifted to the west and incorporates the 2,100 square foot out lot that was previously planned to be transferred to the Library. The out lot will be landscaped green space.*

The overall size of the green space both at the north and south ends of the phase three parcel is reduced as a result of shifting the third condominium building to the south, away from the Westminster streetscape, and to accommodate a single family home.

The 28' by 75' out lot that was previously identified as a parcel that would be transferred to the Library is also impacted by the present plan which focuses on pulling the third condominium building back from the Westminster streetscape and placing a house on the streetscape. Under the current plan, the north property line of the Library remains unchanged from the existing condition.

- *Hardscape areas for roof top patios are limited and enhanced screening is provided.*

Roof top patios remain consistent with those on buildings one and two. However, in response to concern about impacts on neighboring properties, the hardscape for the patios is centrally located on the condominium building, away from the building edges. Enhanced plantings are proposed at the perimeter of the building to further mitigate any off site impacts.

Roof top patios are permitted by the building and zoning codes and are found on various types of buildings throughout the community. Roof top patios are not considered an additional floor or story under the City's regulations. Unlike balconies which project from buildings above the first floor level and are highly visible from off site, roof top patios, furniture, and people using the spaces, are rarely visible from off of the site particularly if they are located in the center of buildings as proposed in this case. An awning and landscaping may be visible.

Although use of property is not under the jurisdiction of the Historic Preservation Commission, as background information, the Lake Forest Police Department confirmed that to date, no complaints of any kind have been received pertaining to the roof top patios on the two existing buildings in the McKinley Multi-Family Planned Development.

The roof patios as proposed are not common space available for all building tenants. Each roof patio is owned by the owner of a unit on the top floor of the building. The patios are available and accessible only to that party and invited guests. The penthouses on the roof provide access to the privately owned roof patios and also provide access for roof top mechanicals. Residential sized air conditioner units are located on the roof, below the parapet walls, and are fully screened from views from off the site.

Aspects that Remain the Same

- The condominium building is a two story building stepping down from the two earlier three story buildings constructed as part of this development.
- The third condominium building is at a lower elevation than the first two condominium buildings due to the change in topography across the site.
- Below grade parking is provided under the condominium building for residents of the building along with limited guest parking.
- No change in the private road configuration is proposed.

- Extensive landscaping across the site is proposed consistent with the landscaping of the two earlier buildings. A two story building is more quickly screened by landscaping than a three story building.
- The architectural design of the condominium building remains unchanged. It relates to the first two buildings; but is refined to reflect less ornamentation as the development transitions from three stories to two stories, and from more intense development along McKinley Road to less intense development, single family homes to the north and east.

Single Family Residence

A single family home is sited on the north portion of the phase three development site, fronting on Westminster. The single family residence was added at this location in direct response to previous requests to preserve the residential character and scale along Westminster, at the entrance to the Historic District. The petitioner's statement of intent describes the style of the home as a colonial farmhouse. The front of the proposed single-family residence is oriented to face north, toward Westminster, consistent with the orientation of the neighboring homes to the east and those on the north side of Westminster. The proposed residence is comprised of a primary one and a half story mass with a single story garage mass on the west side of the home. The residence features steeply pitched gable roof forms and secondary shallow shed roof forms. The residence incorporates design elements including an open porch, screen porch and dormers that break up the mass of the home and provide a human scale. Many of these elements are found on homes throughout the surrounding neighborhood.

Condominium Building

The condominium building remains a two story building. Although this building is shortened and shifted to the south in the current plan, the design elements and the exterior materials remain consistent with those presented in the previous plan. The design of the condominium building is generally consistent with the two previously constructed condominium buildings in this development however as previously described by the developer, the third building transitions to more residential in character than to the two previous buildings through simplification of the ornamentation and exterior materials. The height of the condominium building is similar to the height of the single-family homes in the neighborhood.

Site Plan

As noted above, the proposed single-family residence is sited on the north side of the property. The home is set back approximately 23 feet from the north property line and generally follows the siting of surrounding single family homes from the street.

The condominium building is located at the east end of the private road that enters the development from McKinley Road and provides a visual terminus to the road. The front of the condominium building faces west relating directly to the other two buildings in the development. Access to underground parking is from the west, from the existing alley.

The east side of the building is softened with perimeter landscaping, a reduction in the number of windows and simplification of the exterior materials recognizing the transition at this point from multi-family residential to single family homes.

Findings on 17 Standards

A review of the applicable standards in the City Code is provided below. Findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height.

Single Family Residence

This standard is met. At its tallest point, the proposed single family residence is 29 feet and 6 inches tall and is compatible with the height of surrounding homes. (A streetscape image illustrating this relationship of building heights along Westminster is included in the Commission's packet.)

Condominium Building

This standard is met. A height variance was granted for the first and second buildings in the development, both of which are three stories, 40 feet at the parapet. The height of the third condominium building as measured to the top of the stair enclosure or penthouse is 33 feet and 6 inches. The proposed two story condominium building provides a transition from the taller condominium buildings to the west to the single family homes to the east and fully complies with the allowable height of 35 feet. No height variance is requested. Of note, the topography of the overall development site transitions to a lower grade on the phase three parcel. The perceived height of the third condominium building is further reduced due to the lower grade of the underlying property.

Standard 2 – Proportion of Front Façade.

Single Family Residence

This standard is met. The front façade of the single family residence presents balanced proportions with simple massing that consists of a primary mass with smaller, secondary masses. The height and width of the front façade is consistent with homes in the surrounding neighborhood.

Condominium Building

This standard is met. The front of the condominium building is oriented to the west, internal to the development and directly relating to the first two condominium buildings. The front of the building features projecting and recessed areas with vertical elements that visually break up the length of the building. The height of the building is comparable to many of the existing structures in the surrounding area.

Standard 3 – Proportion of Openings.

Single Family Residence

This standard is generally met. The proposed openings around the home are mostly double hung windows with some smaller square windows in the gable ends and in the garage. The 6 over 6 muntin pattern in the double hung windows is consistent with the traditional style of the home. Some windows on the second floor on the north and west elevations appear to crowd the space on the gable ends, consideration should be given to reducing the size of the windows in these areas.

Condominium Building

This standard is met. There is a regular pattern of openings around the building that are evenly spaced and aligned between the first and second levels.

Standard 4 – Rhythm of Solids to Voids.

Single Family Residence

This standard is generally met. There is generally a consistent rhythm of solids to voids across the elevations of the home. The front and side elevations present single openings while the rear elevation has double openings which is appropriate to allow views into the rear yard and let in natural light to the main living spaces of the home.

Condominium Building

This standard is met. There is a regular pattern of solid areas and openings around the elevations of the building.

Standard 5 – Spacing on the Street.

Single Family Residence

This standard is met. As noted above, the proposed single family residence is closely aligned with the front of the home directly west. The proximity of the home to the east property line is not unlike the siting of homes on the north side of Westminster in relation to the side property lines.

Condominium Building

This standard is met. The proposed building is set behind the proposed single family residence and is no longer prominently located on the Westminster streetscape. The condominium building is located behind the single family residence and is sited over 100 feet back from the streetscape.

Standard 6 – Rhythm of Entrance Porches.

Single Family Residence

This standard is met. The front entrance on the single-family residence is appropriately centered on the front elevation and is flanked by sidelights.

Condominium Building

This standard is met. The front entries along the west elevation are detailed with elements such as fluted columns, entablatures, sidelights and transoms, helping to reinforce the residential character and appearance of the building and bringing a human scale to the design.

Standard 7 – Relationship of Materials and Texture.

Single Family Residence

This standard is met. The proposed materials are consistent with the traditional style of the home and the character of the surrounding neighborhood. The exterior walls have wood clapboard siding. Cedar shingle is proposed for the primary roof forms and standing seam metal roofs are proposed for the secondary roof forms. Aluminum clad wood windows with interior and exterior muntin bars are proposed. Wood is proposed for trim, fascia, rake boards and soffits. A brick chimney is proposed. The gutters and downspouts are aluminum.

Condominium Building

This standard is met. The exterior of the building is comprised of high quality and natural materials that are consistent with the two existing condominium buildings in the development. Brick is proposed for the primary façade material with stone accents. A stone cap is proposed for the parapet walls. Aluminum clad windows with interior and exterior muntins are proposed. Wood panels are proposed in some areas at the spandrels between the first and second floors. Stone columns and cornices are proposed at the entrances on the west elevation.

Standard 8 – Roof Shapes.

Single Family Residence

This standard is met. The proposed residence features mostly gable style roof forms with a 12:12 pitch. Shallow shed roof forms with a 4:12 pitch are proposed for the secondary roof forms on the front and rear elevations.

Condominium Building

This standard is met. The building features a flat roof enclosed by a parapet wall identical to the first two buildings, at a lower level. The stair enclosure, also referred to as a penthouse, rises 5'-6" above the parapet wall and is sited away from the perimeter of the building and as a result, will have limited visibility from off of the site due to limited sightlines.

Standard 9 – Walls of Continuity.

Single Family Residence

This standard is met. The architectural style, level of detailing and exterior materials are consistent on all elevations of the house.

Condominium Building

This standard is met. The fenestration, exterior materials, and architectural detailing is consistent on all elevations of the building. The design of the building is very similar to the two earlier buildings, with some simplification, resulting in a unified overall development.

Standard 10 – Scale.

Single Family Residence and Condominium Building

This standard is met. The Building Scale provisions normally applied to single family and duplex dwellings do not apply to this multi-family development. The residence is the fourth building in a Planned Development, not a stand-alone single family residence. The property is in a transitional area and the scale of the single family residence and condominium building responds to the buildings of various sizes to the north, east, south and west.

Standard 11 – Directional Expression of Front Elevation.

Single Family Residence

This standard is met. The front of the house is oriented to face north, toward the street, consistent with the other homes on Westminster in the surrounding area.

Condominium Building

This standard is met. The front elevation of the building presents a horizontal expression, consistent with horizontal expression of the two earlier buildings in the development.

Standard 12 – Preservation of Historic Material

This standard is not applicable to this request, a new single family residence and condominium building are proposed.

Standard 13 – Protection of Natural Resources

This standard is met. One tree is proposed for removal. The preliminary landscape plan submitted by the petitioner reflects a number of proposed plantings around the perimeter of the property including on the east side adjacent to the existing single family residence, on the Westminster streetscape, and between the single family residence and the condominium building.

Standard 14 – Compatibility

Single Family Residence

This standard is met. The surrounding neighborhood features a variety of architectural styles. The traditional massing, exterior materials and architectural detailing of the proposed residence is compatible with the character of the surrounding neighborhood.

Condominium Building

This standard is met. The transitional nature of the site requires some balance between the higher density development and larger buildings to the west and south of the site, and the single family residential area to the east and north. The building serves as a transition and responds to the various building forms surrounding it. The design of the building identifies it as part of a larger, unified development as originally envisioned for this site while at the same time, giving a nod to existing development to the north and east and to the Historic District by reducing the height of the building in comparison to the other condominium buildings, incorporating residential design elements, and through the use of high quality, natural exterior materials consistent with those found in the surrounding neighborhood and in the Historic District.

Standard 15 – Repair to deteriorated features.

This standard is not applicable to this request, a new single family residence and condominium building are proposed.

Standard 16 – Surface cleaning.

This standard is not applicable to this request, a new single family residence and condominium building are proposed.

Standard 17 – Integrity of historic property.

This standard is met. As described in the findings above, the buildings are designed with mass, height, ornamentation and exterior materials that are consistent with the overall character of the Historic District. This site is transitional in nature and as such, must respond to established development on all sides. The two buildings are designed to respect the integrity of the surrounding historic structures and the overall historic district.

PUBLIC COMMENT

Public notice of this petition was provided in accordance with the City requirements and practices and to an expanded interested parties list prior to each meeting of the Commission at which this petition was considered. The agenda for this meeting was posted at various public locations and on the City's website. The public testimony received to date is included in the Commission's packet.

RECOMMENDATION

Based on the findings detailed above, grant Certificates of Appropriateness for:

1. A new single family residence and the associated landscape plan.
2. A two story condominium building and the associated landscape plan.

The recommendation is subject to the following conditions of approval.

3. The large double hung windows on the north and west elevation of the gable ends of the single family residence shall be reduced in size to avoid a crowded appearance.

4. Plans submitted for permit must reflect the structures as presented to the Commission. If any modifications are proposed in response to Commission direction or as a result of design development, plans clearly detailing the areas of change must be submitted at the time of submission for permit, along with the plans originally presented to the Commission, and will be subject to review by staff, in consultation with the Chairman as appropriate, to verify that the plans are consistent with the intent of the Commission and the approvals granted.
5. Details of all exterior lighting shall be included with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view. All exterior lights shall be set on timers to turn off no later than 11 p.m.

No exterior building or landscape lights are permitted on the east side of the building in recognition of the adjacent single family homes, except for safety and security lights that may be required by the Code.

6. All mechanical equipment, on the roof and on the ground, shall be fully screened from view from off of the site.
7. Prior to the issuance of a building permit, a materials' staging, and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval. All reasonable efforts shall be made to minimize and manage impacts on the adjacent homes, the surrounding neighborhood, and nearby streets during construction.

On street parking of construction vehicles and contractors is not permitted. It may be necessary for contractors to park off site, in public permit parking lots, to avoid congestion on and near the site. The 7 a.m. start time shall be strictly adhered to, no staging of construction vehicles or activity on public streets or on the construction site is permitted prior to 7 a.m.

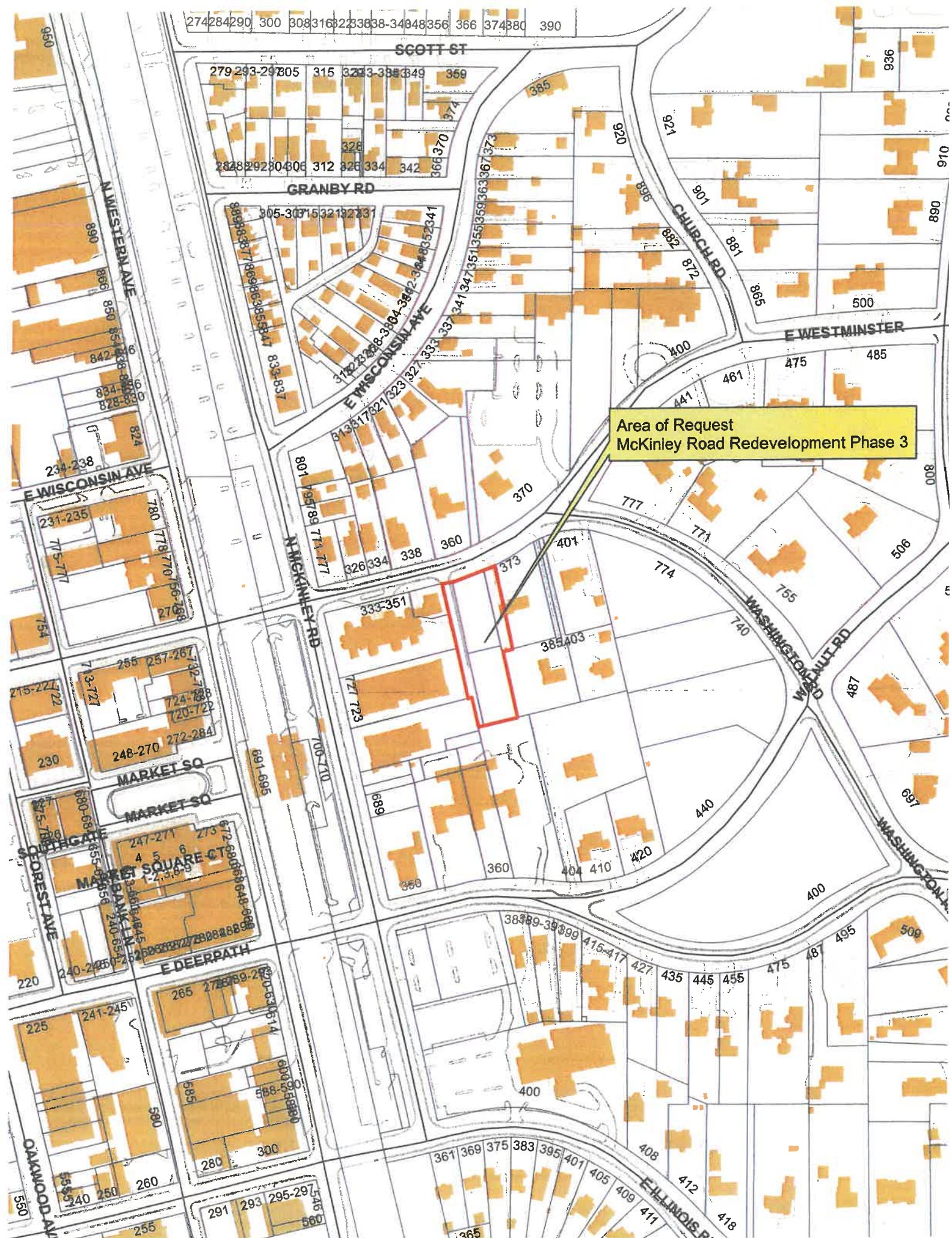
8. Prior to the issuance of a building permit, a final landscape plan, drawn in accordance with the approved grading and drainage plan shall be submitted and will be subject to final review and approval by the City Arborist. The plan shall include:
 - a. Dense perimeter plantings shall be provided on the east side of the building including evergreen plantings and plantings at low, mid and higher canopy levels.
 - b. Sufficient foundation plantings to establish a residential character, pedestrian friendly building entrances and to create privacy for first floor residents.
 - c. Plantings shall be consistent in character, density and quality with the plantings for the phase one and two buildings.

The petitioner is encouraged to talk with the neighboring property owner to the east to determine if there is interest in collaborating on plantings to enhance the buffer between the two properties.

9. Prior to the issuance of a Certificate of Occupancy for the condominium building, 1) the construction of the single family residence must be underway and all permits issued and

fees paid, 2) all landscaping shall be planted consistent with the approved plan, a landscape maintenance bond shall be submitted to the City in an amount determined by the City's Certified Arborist, to assure replacement of trees or vegetation that dies, becomes diseased or fails to thrive during the initial five year maintenance period. The City Arborist shall inspect the plantings each spring and fall for a period of five years after the issuance of a Certificate of Occupancy Permit. (The bond shall be replenished if it is drawn down prior to the end of the five year period.)

10. The petitioner is encouraged to collaborate with the City and neighboring property owners in an effort to underground the remaining utilities near the site.



Area of Request
McKinley Road Redevelopment Phase 3



Area of Request
McKinley Road Redevelopment Phase 3

715 MCKINLEY

LAKE FOREST

November 16th, 2022

Statement of Intent

Historic Preservation Commission

715 McKinley/361 Westminster

This project is the third and final phase of the McKinley Development.

This proposal is the result of a negotiated settlement.

The property under consideration includes the western 38' of the 373 Westminster site and does include the remaining portion of the eastern part of the 373 Westminster site.

The plan varies from the plan that was approved by the city council and was rejected by the HPC in the following ways.

- Provides a single family residence on the north of the property that faces Westminster Avenue.
- Moves and reduces the size of the condominium building to the south.
- Retains the property that was to be donated to the library for open space.

Building massing

The single family home on the north of the property will have a pitched roof and attached two car garage accessed from an auto court and curb cut from the alley.

The 715 building steps down from the prior phase 1 and 2, 727/723 and 705 buildings to the west. First floor elevation is approximately 3.5' lower and the building picks up similar detailing but caps the brick portion of the building at 2 stories. The building will have exterior terraces on the second floor. There will be roof terraces above the second floor as in the first two western buildings are on the third floor. These roof areas are indicated on the roof plan and have designated areas for use and screen from east and north with landscape planters.

Building Design

Single Family 361 Westminster

This home is designed as a colonial farmhouse with gray wood siding, and white trim, soffits and fascia, wood shingle roof and metal standing seam roof over the lower pitched porch

areas, double hung windows and dormers. It's auto court and garage entry are tucked away from the Westminster street and entered off the private drive. The front porch and entry are from Westminster. The outdoor area is south facing behind the home.

715 McKinley Condominium

The 715 building is similar in detailing to the previous design where the stone cornice is replaced with a brick detail to make the elevations not as contrasted with the stone cornice and heads. The entries are designed at the other buildings and there are entry doors from the units on the west elevation at the street level. Parapets hide the mechanical equipment of the roof and planted areas shield the roof areas from the neighbors from the east and north.

Seventeen Standards

Standard 1 - Height

This standard is met. The single family home and condo building are under the 35' height for the underline zoning. The home is comparable to the surrounding homes and is 1.5 stories with pitched roofs and dormers for the second floor rooms.

The 715 building steps down from the prior phase 1 and 2, 727/723 and 705 buildings to the west. First floor elevation is approximately 3.5' lower and the building picks up similar detailing but caps the brick portion of the building at 2 stories.

Standard 2 - Proportion of Front Facade

This standard is met. The single family home has the scale and size of elements, porch, entry door, pitched roofs and dormers to the other homes on Westminster. The condo building relates to the other two phases of the project which are adjacent the Condo building.

Standard 3 - Proportion of Front Facade

This standard is met. The single family home has massing elements that mimic the adjacent home to the west. The Scale of the roof, porch, garage, dormers, and projected gable all fit with the residential Westminster street homes. The West elevation of the condo matches the scale of the other two buildings in a two story scheme.

Standard 4 - Rhythm of Solid and Voids

This standard is met. The single family home is broken down into elements of garage, porch, gable and dormers which create a rhythm of solid and voids.

Standard 5 - Spacing on the Street

This standard is met. The single family home matches the spacing of the adjacent homes on the street. The 715 building matches the 705 and 727/723 buildings. In spacing and relationship to the street.

Standard 6 - Rhythm of Entrance Porches

This standard is met. The 361 home has an entrance porch much like other homes on the street. The 715 has entrance portico's that match the other two buildings.

Standard 7 - Relationship of materials and Texture

This standard is met. The 361 home has cedar siding and wood roof shingles which relate to the other homes on the street. The 715 building is brick and stone to match its neighbors.

Standard 8 - Roof Shapes

This standard is met. The 361 home has pitched roofs which are typical in the Westminster street scape. The 715 building has a flat roof which relates to the other buildings in the visual relationship from the public way

Standard 9 - Walls of Continuity

This standard is met. Both buildings have all four elevations that are consistent elevations. The home has similar detailing for wood siding, double hung windows, shutters, and soffit and fascia details to the other homes in the area. The condo has similar detailing to the other phases of the project but does change to a more brick details as a posed to stone from the first two buildings.

Standard 10 - Scale

This standard is met. The home is similar scale to the surrounding homes and the condo is similar to the scale of its surrounding buildings.

Standard 11 - Directional Expression of Front Elevation

This standard is met. The front elevation of the home at 361 faces Westminster with its front porch and front door and entry walk from the street. The front of the 715 building fronts on the north to its private street.

Standard 12 -

This standard is not applicable to this request, a new building is proposed.

Standard 13 - Protection of Natural Resources.

This standard is met. Currently, only one tree remains on the site. The tree is proposed for removal. The preliminary landscape plan submitted which reflects similar quality and quantity of the previous phases.

Standard 14 - Compatibility.

This standard is met. The transitional nature of the site requires some balance between the higher density area to the west of the site and the single family residential area to the east and north. The design of the building identifies it as part of a larger, unified development as originally envisioned for this site while at the same time, giving a nod to existing development to the north and east and to the Historic District by reducing the height of the building, modifying some design elements and changing some of the materials. The single family home on the north end facing Westminster relates to the street scape on Westminster while the condo building relates to the existing buildings.

Standard 15 - Repair to deteriorated features.

This standard is not applicable to this request, a new building is proposed.

Standard 16 - Surface cleaning.

This standard is not applicable to this request, a new building is proposed.

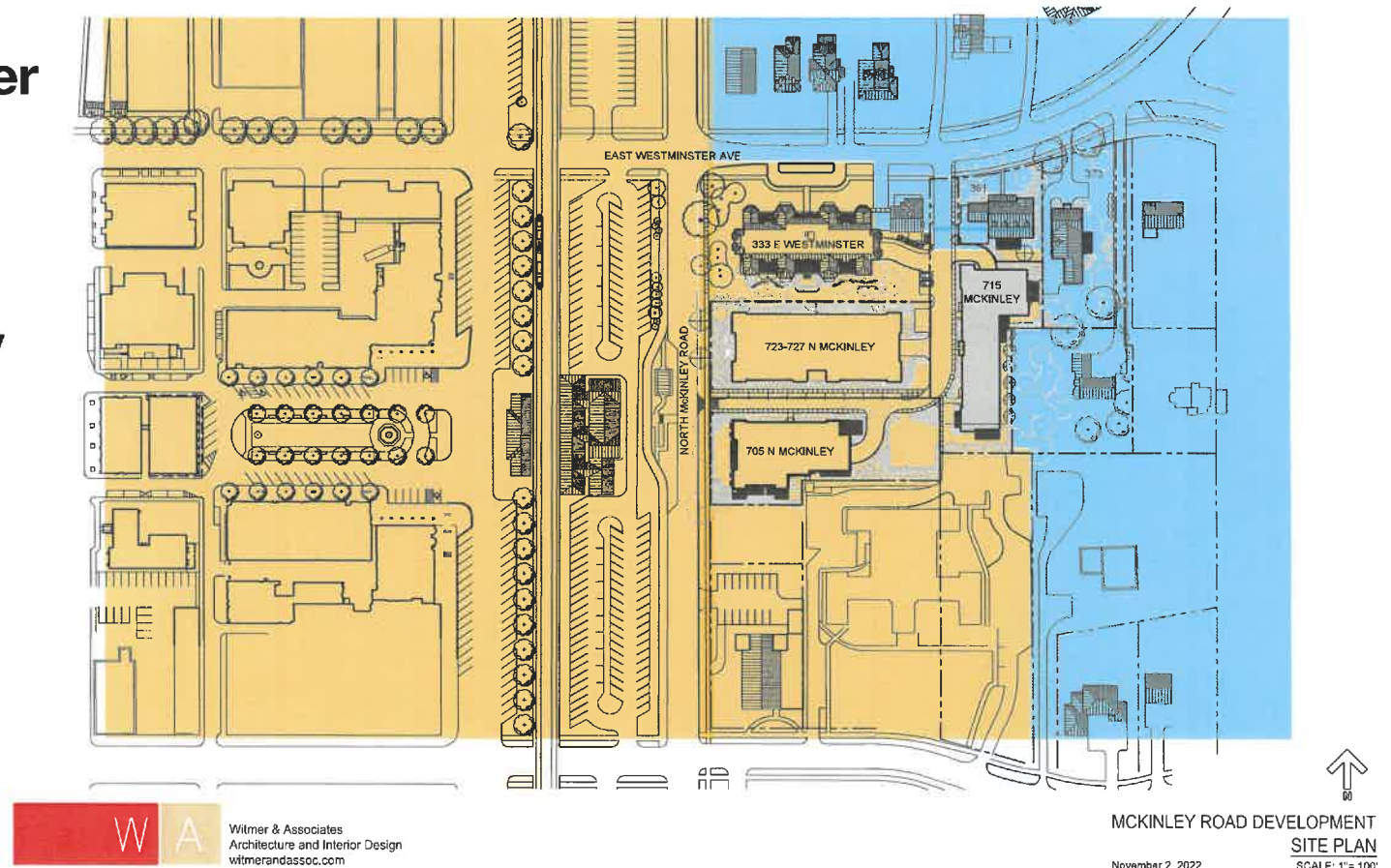
Standard 17 - Integrity of historic property.

This standard is not applicable to this request, a new building is proposed.

There are two different context that this project is viewed from:

1. East Westminster Ave (Westminster Streetscape)

2. The private drives of McKinley Condo Development, Library, Church (McKinley Streetscape)



#1 standard Height

(1) *Height.* Height shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.

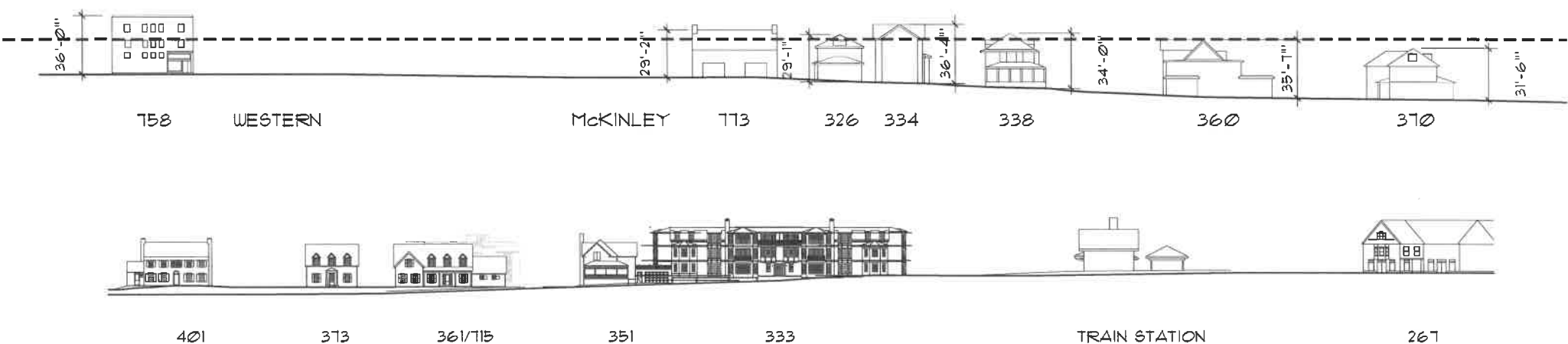
- Average height of structures on Westminster
- Average height of Library, 705 and 723/727 McKinley

Visual properties heights and averages

Address	Height in feet
Westminster Streetscape	
773 McKinley	29.2
326 Westminster	29.1
334 Westminster	36.3
338 Westminster	34.0
360 Westminster	35.6
370 Westminster	31.5
401 Westminster	30.8
351 Westminster	30.0
333 Westminster	39.8
Average	32.9
361 Westminster	31.5
McKinley Street Scape	
351 Westminster	30.0
333 Westminster	39.8
723/727 McKinley	40.1
705 McKinley	40.1
Library	48.2
Average	39.6
715 McKinley	31.5

Height

Westminster Streetscape



East-west site section



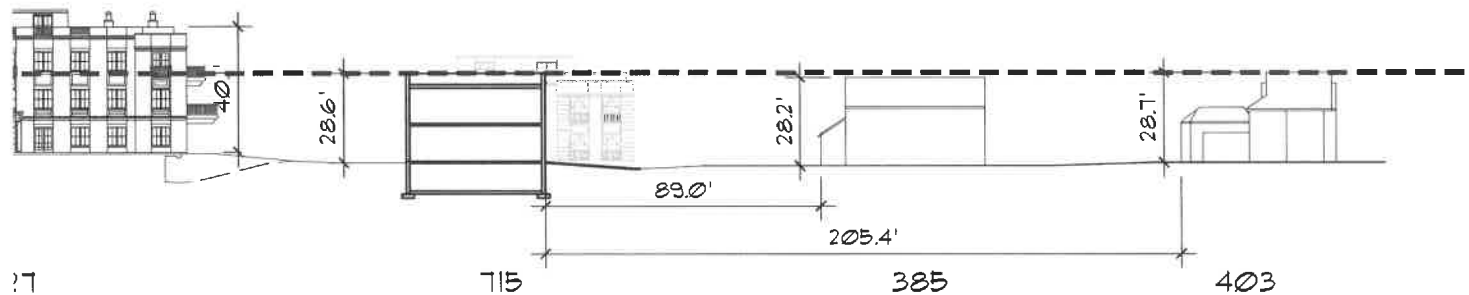
Height

Alley and Library streetscape

North south site section and east west site section



North south site section



#2 Proportion of front facade

(2) *Proportion of front facade.* The relationship of the width to the height of the front elevation shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

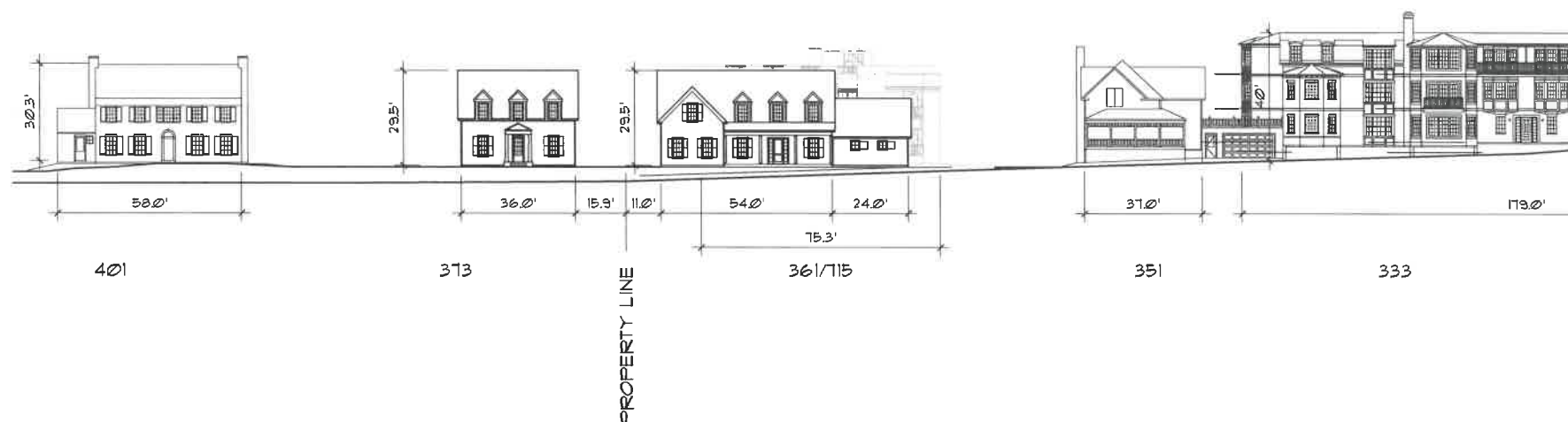
Visual properties Width and averages

- Residential homes on Westminster typically have a main body, elements applied to the body, porches, gables entry elements.
- The 361 Westminster design has the similar height and width to homes on Westminster

Address	Width in feet	Height in feet	Ratio	
			Width	Ht
Westminster Streetscape				
773 McKinley	52.0	29.2	1.8	1.0
326 Westminster	29.0	29.1	1.0	1.0
334 Westminster	33.3	36.3	0.9	1.0
338 Westminster	37.0	34.0	1.1	1.0
360 Westminster	67.0	35.6	1.9	1.0
370 Westminster	53.0	31.5	1.7	1.0
401 Westminster	58.0	30.8	1.9	1.0
351 Westminster	37.1	30.0	1.2	1.0
333 Westminster	179.0	39.8	4.5	1.0
Average	60.6	32.9	1.8	1.0
715 McKinley at Westminster elevation	50.8	31.5	1.6	1.0
715 McKinley 35' back from north elevation	75.5	31.5	2.4	1.0

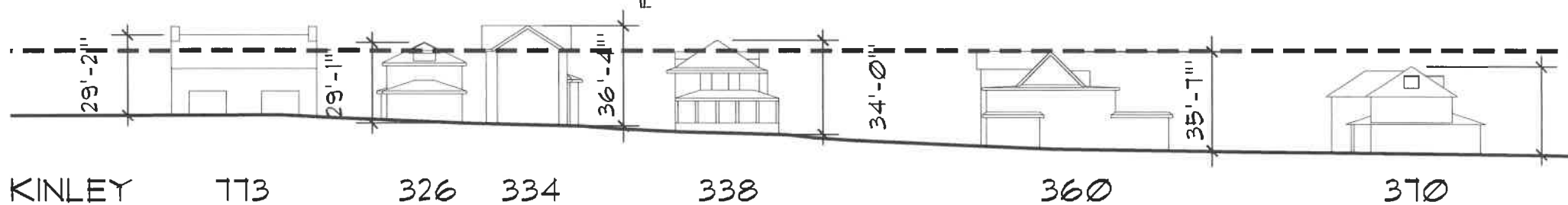
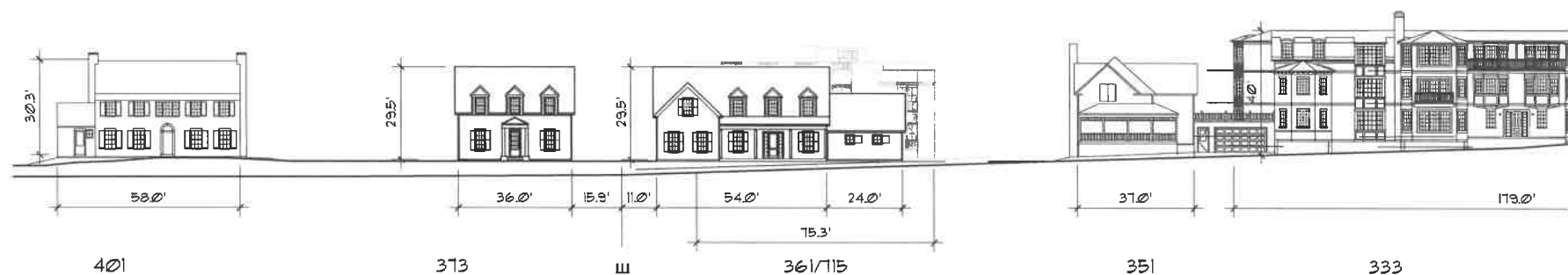
Proportion of front facade

Westminster Streetscape



Proportion of front facade

Westminster Streetscape



Proportion of front facade

McKinley Condo Streetscape

- Proportion of the front facade of the 723/727 and 705 building west elevations in iron railings, projections and center relationship are very similar to the 715 buildings



#3 Proportion of openings

(3) *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

715 McKinley

- Traditional bearing wall w/ simple span opening of houses and condo on Westminster.
 - Identical to 705 and 723/727 McKinley
 - Library on the elevation has very little opening that face site and are visually related
-

#3 Proportion of openings

(3) *Proportion of openings.* The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects and places to which the building is visually related.

351 Westminster

- Traditional bearing wall w/ simple span opening of houses and condo on Westminster.
- Identical to 705 and 723/727 McKinley
- Library on the elevation has very little opening that face site and are visually related



Proportions of openings

Westminster streetscape



Proportions of openings

McKinley streetscape

- 6' wide x 8' high doors
- Double 3' wide x 6' high windows

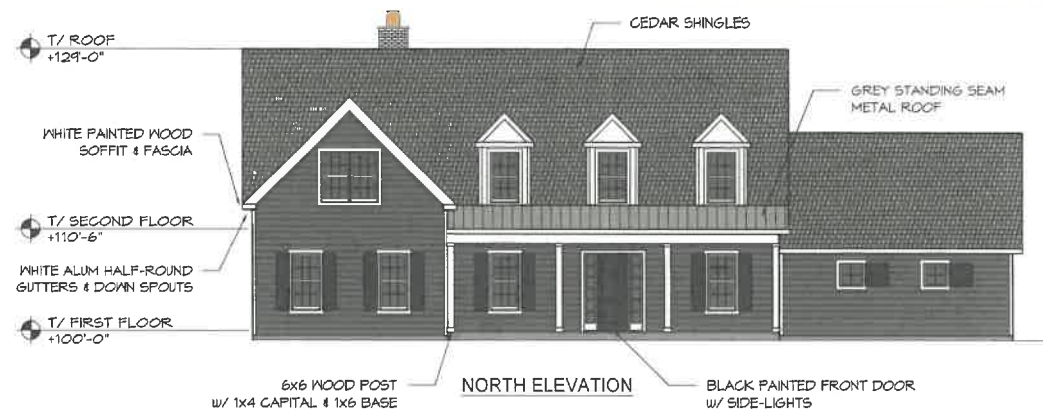


#4 Rhythm of solids and voids in front facades

(4) *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front facade of a structure shall be visually compatible with properties, structures, sites, public ways, objects and places to which it is visually related.

Westminster Streetscape

- Porches act as the voids in our design as the other homes on Westminster
- East bay steps out off the body of the elevation as the other homes have gable projections
- West massing steps back 35' as many garages do that on the Westminster visual connections.



Solids and Voids of front Facade

McKinley Visual connection

- Visual connection of the 723/727 and 705 building west elevations in iron railings, projections and center relationship are very similar to the proposed 715 building



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723-727 N McKinley R
ELEVATION
October 23, 2017 SCALE 1/16" = 1'

#5 Rhythm of spacing and structures on the streets

(5) *Rhythm of spacing and structures on streets.* The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

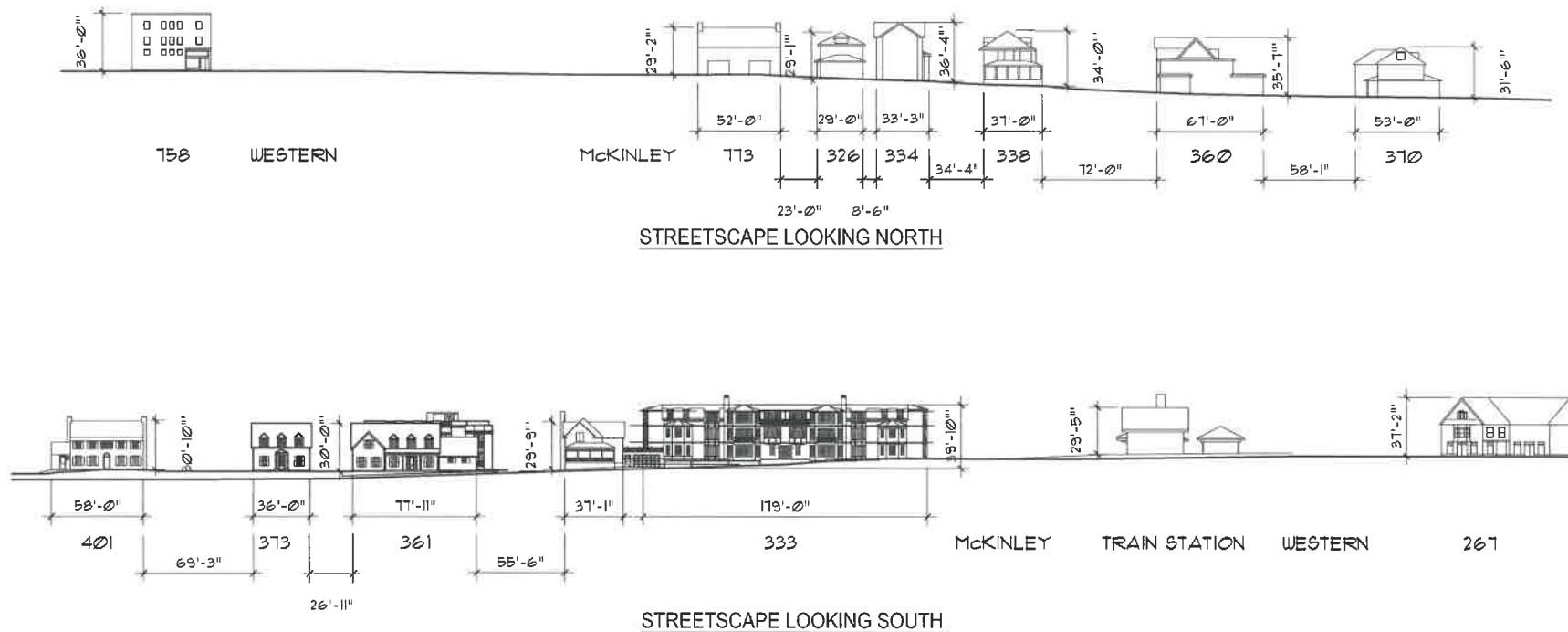
- Existing houses and condo spacing of houses and condo on Westminster.
- Identical to 705 and 723/727 McKinley
- Library on the elevation has very little opening that face site and are visually related

Visual properties space between averages

Address	Height in feet
Westminster Streetscape	
773 McKinley-326 Westminster	23.0
326 Westminster-334 Westminster	8.5
334 Westminster-338 Westminster	34.8
338 Westminster-360 Westminster	72.0
360 Westminster-370 Westminster	58.1
401 Westminster-373 Westminster (new not built)	52.3
373 Westminster (not build) 715 McKinley	30.6
715 McKinley-351 Westminster	70.2
Average	43.7
715 McKinley	50.4

Rhythm of spacing and structures on the streets

Westminster Streetscape



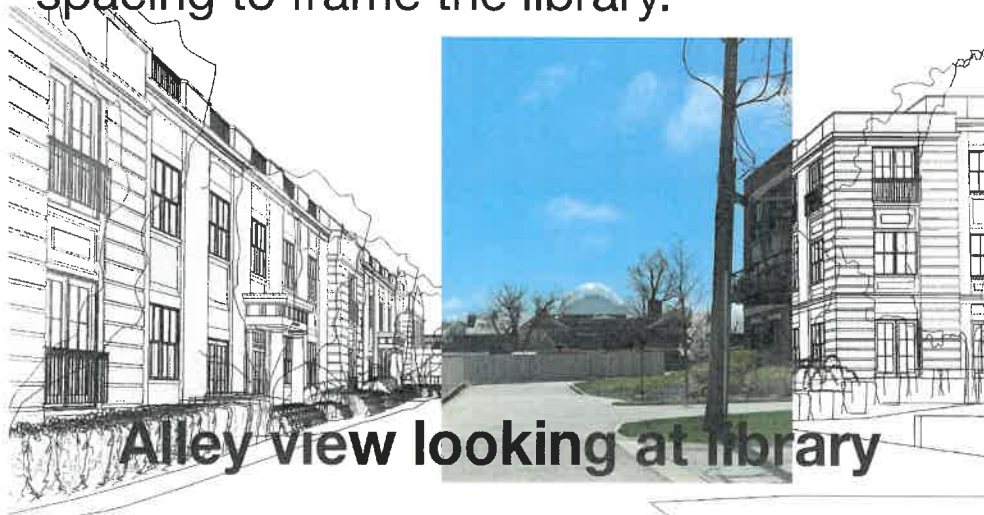
Witmer & Associates
Architecture and Interior Design
witmerandassoc.com

MCKINLEY ROAD DEVELOPMENT
WESTMINSTER AVE STREETSCAPE
November 8, 2022 SCALE: 1" = 60'

Rhythm of spacing and structures on the streets

Alley and McKinley Visual connection

- Visual connection of the vistas created by the buildings which terminate at the train station and market sq tower.
- 715 and 723/727 building create visual spacing to frame the library.



#6 Rhythm of entrance porches, storefront recesses and other projections

(6) *Rhythm of entrance porches, storefront recesses and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related.

- Provide porch that has entry doors inside from Westminster elevation
- Identical to 705 and 723/727 McKinley on Alley elevation



#6 Rhythm of entrance porches,
storefront recesses and other projections

Streetscape of Westminster



#7 Relationship of materials and texture

(7) *Relationship of materials and texture.* The relationship of the materials and texture of the facade shall be visually compatible with the predominant materials used in the structures to which it is visually related.

- Westminster visual connection is a mix of clapboard, stucco, brick, and shingle.
- The Library, Church, 705 723/727 McKinley are all brick and stone which we are matching.

Visual properties of exterior materials

Address	Material
Westminster Streetscape	
773 McKinley	Brick
326 Westminster	Stucco
334 Westminster	Clapboard
338 Westminster	Shingle
360 Westminster	Stucco
370 Westminster	Clapboard
401 Westminster	Clapboard
351 Westminster	Clapboard
333 Westminster	Stucco/brick
361 Westminster	Clapboard
705 McKinley	Brick
723/727 McKinley	Brick
Library	Brick
Church	Brick
715 McKinley	Brick

Relationship of materials and textures

Alley streetscape



Relationship of materials and texture

Building details

- Same "kit of parts" used in 715 723/727 building

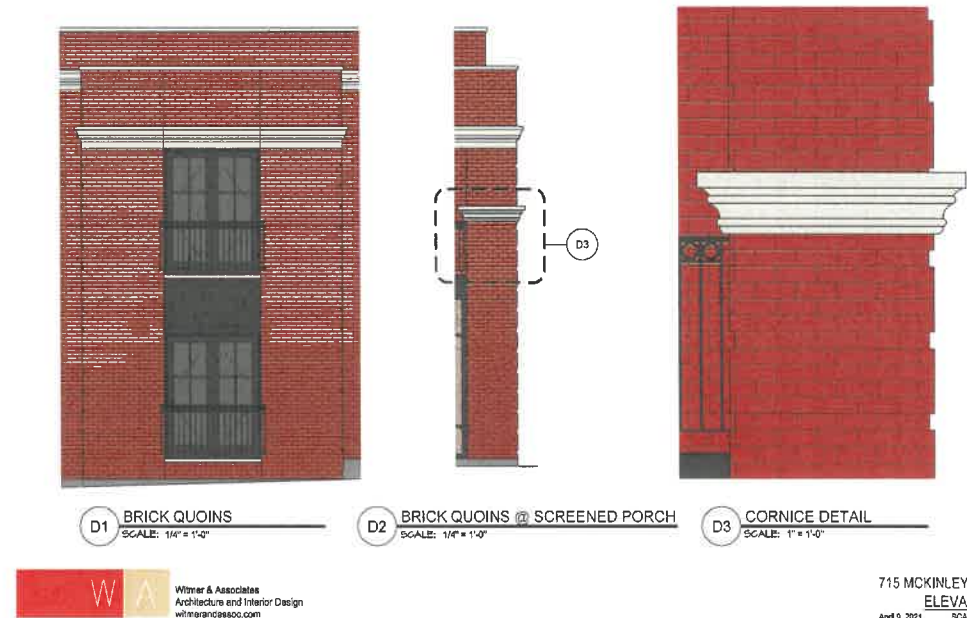
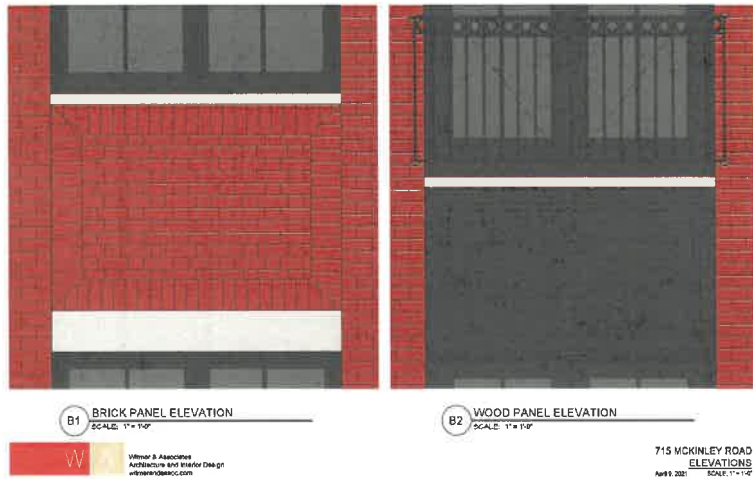


Relationship of materials and texture

Building details



- Same "kit of parts" used in 705 723/727 building

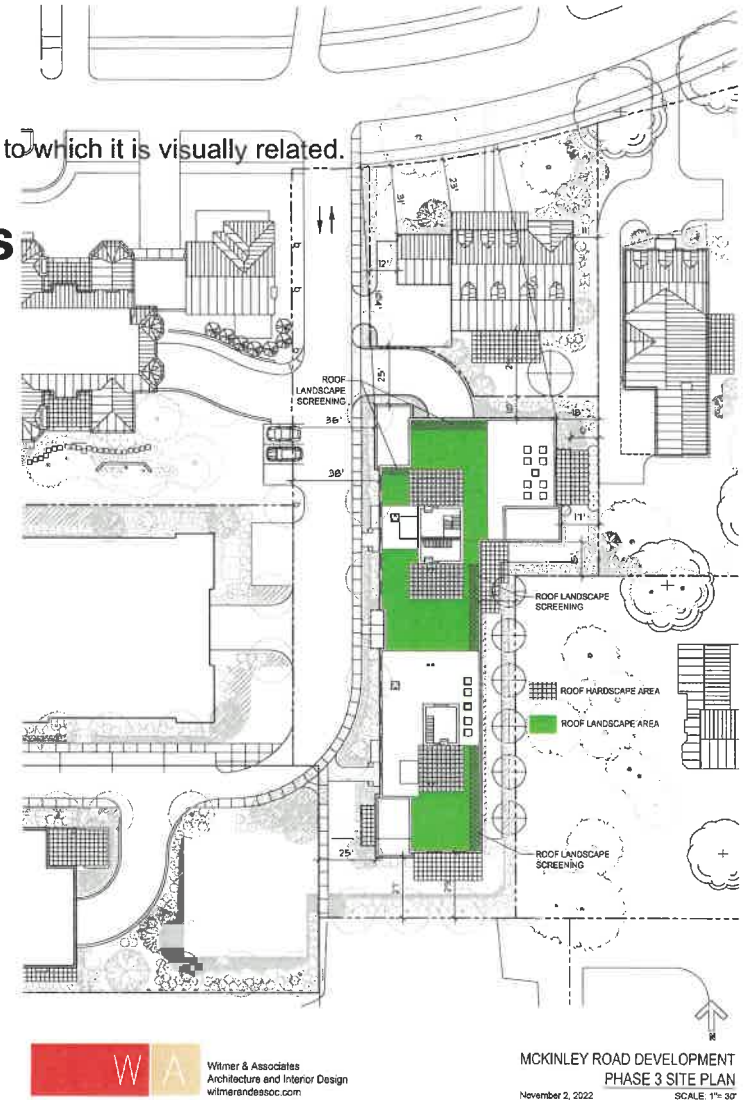


#8 Roof shapes

(8) *Roof shapes.* The roof shape of a structure shall be visually compatible with the structures to which it is visually related.

Westminster and McKinley Streetscapes

- 361 Westminster has pitched roofs as the other homes along Westminster
- 715 McKinley is the same as 705 and 723/727 McKinley

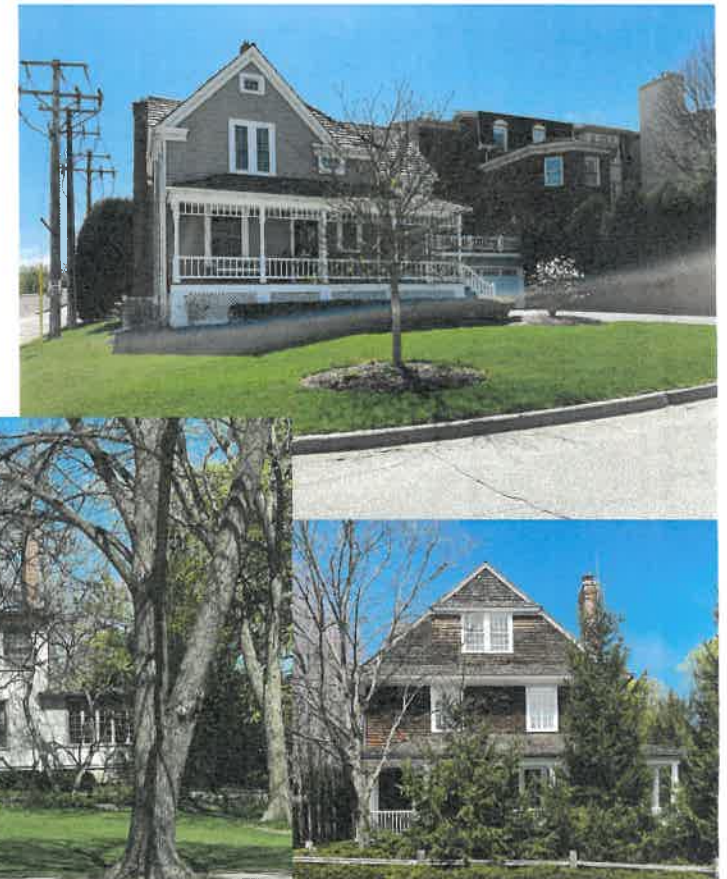
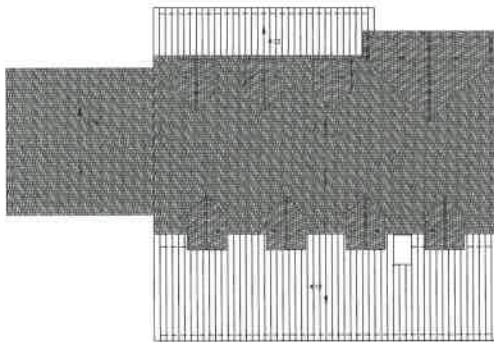


#8 Roof shapes

(8) *Roof shapes.* The roof shape of a structure shall be visually compatible with the structures to which it is visually related.

Westminster streetscape

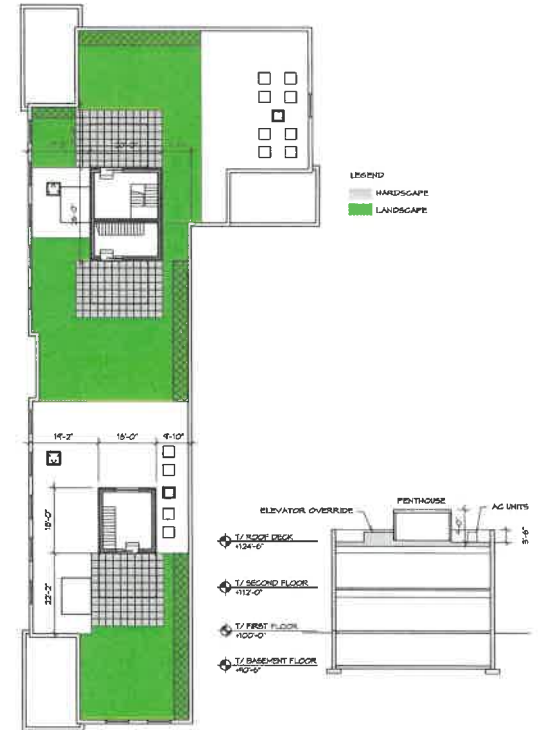
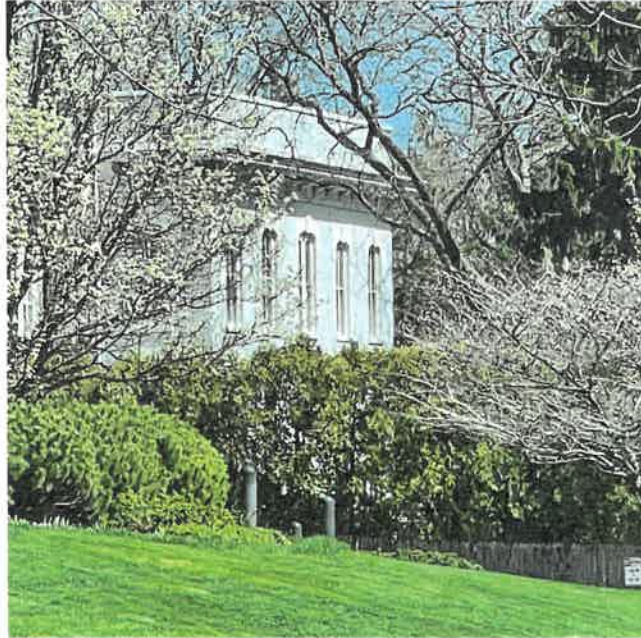
- Pitched roofs with projected gables and Dormers match the existing homes on Westminster



Roof shapes

McKinley streetscape

- Flat roof with Parapet walls
- Home on Deerpath
- Wings on library
- 705 and 723/727 McKinley



#9 Walls of continuity

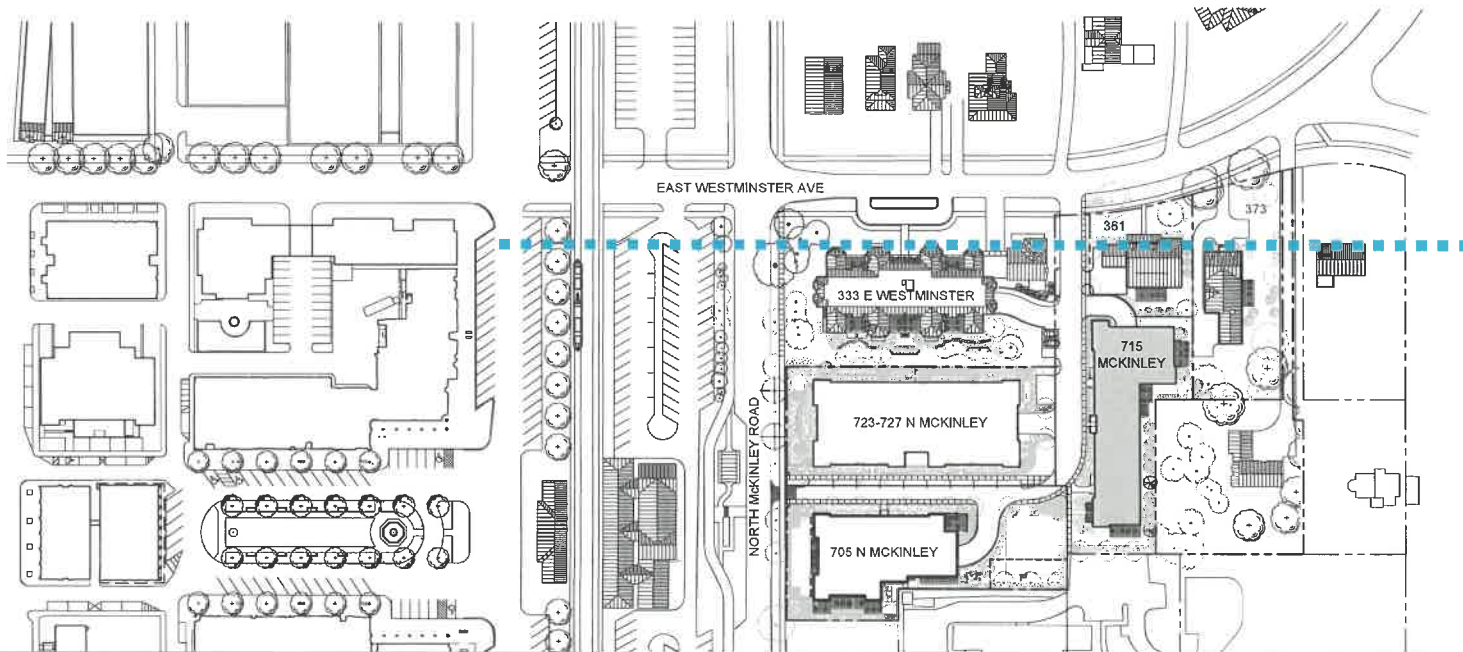
(9) *Walls of continuity.* Facades and property and site structures, such as masonry walls, fences and landscape masses, shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects and places to which such elements are visually related.

- Stepping back the facade to align with 333 Westminster allow the Gray house to sit out in the foreground
 - Allows for the front lawn to be continual and continues to the east.
 - Formal courtyard space created on the south elevation which relates to the visual courtyard spaces created in the library, market sq. Street scape creates a continuum of the existing streetscape created between the 715 723/727 buildings.
 - wall w/ simple span opening of houses and condo on Westminster.
 - Identical to 705 and 723/727 McKinley
 - Library on the elevation has very little opening that face site and are visually related
-

#9 Walls of continuity

Westminster streetscape

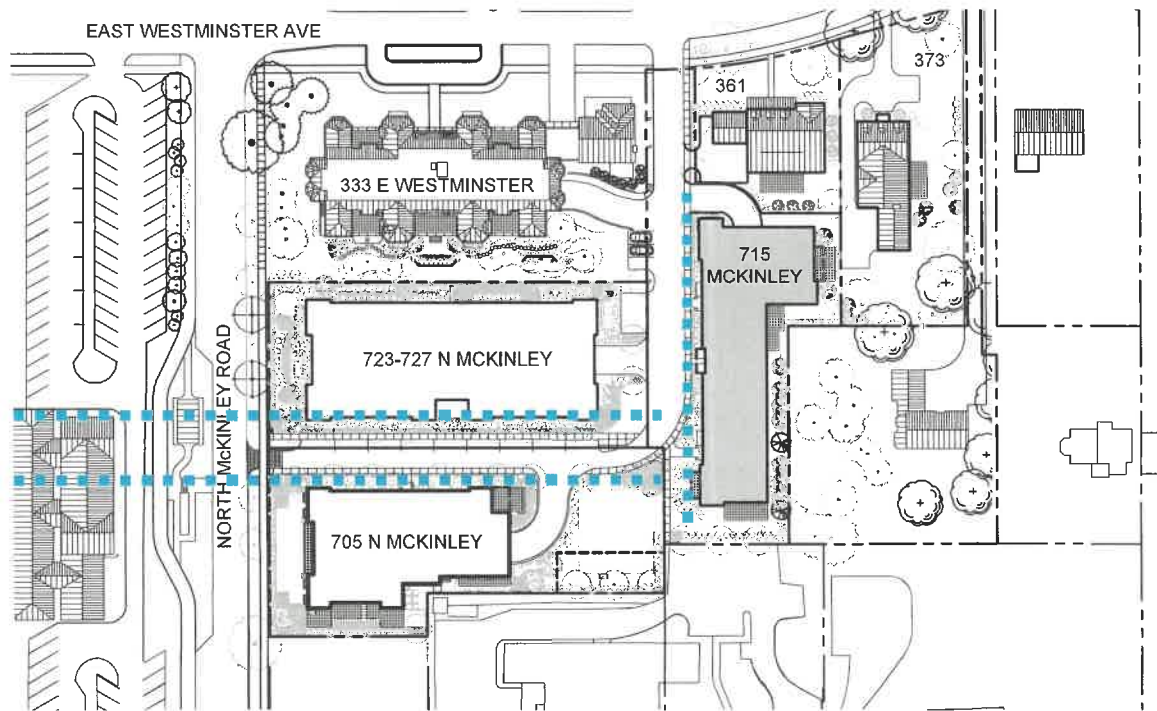
- Elevation of 351, future 373 and of 333 Westminster aligns with north elevation



#9 Walls of continuity

McKinley streetscape

- Wall that align and makes the streetscape of the east-west McKinley Development street has continuity with the east elevation of 715 McKinley



#9 Walls of continuity

Alley streetscape

- Wall that align and make the streetscape of the east-west street



#10 Scale of a structure

(10) *Scale of a structure.* The size and mass of structures in relation to open spaces, windows, door openings, porches, adjacent structures and balconies shall be visually compatible with the properties, structures, sites, public ways, objects and places to which they are visually related.

- 361 Westminster is of similar scale to the homes on Westminster. This is indicated in the following dimensional chart.
 - 705 is of similar scale to the McKinley Streetscape with the exception that it is a two story building and not three stories.
-

Scale of Structure

Westminster Streetscape

- Height and Width of the north elevation are close to the average of heights and widths visual relation to the site

Visual properties heights and averages

Address	Height in feet
Westminster Streetscape	
773 McKinley	29.2
326 Westminster	29.1
334 Westminster	36.3
338 Westminster	34.0
360 Westminster	35.6
370 Westminster	31.5
401 Westminster	30.8
351 Westminster	30.0
333 Westminster	39.8
Average	32.9
361 Westminster	31.5
McKinley Streetscape	
351 Westminster	30.0
333 Westminster	39.8
723/727 McKinley	40.1
705 McKinley	40.1
Library	48.2
Average	39.6
715 McKinley	31.5

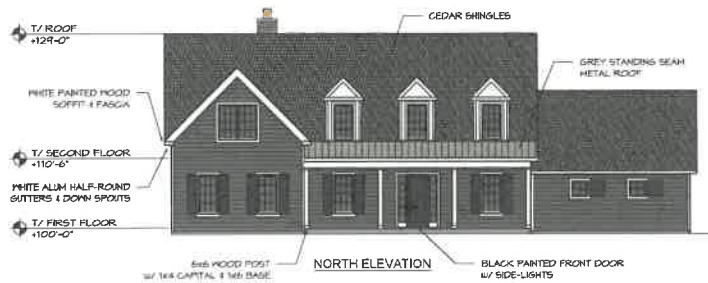
#11 Directional Expression of front elevation

(11) *Directional expression of front elevation.* A structure shall be visually compatible with the properties, structures, sites, public ways, objects and places to which it is visually related in its directional character, whether this be vertical character, horizontal character or nondirectional character.

- The north elevation of the 361 Westminster house would be characterized as nondirectional. It has both vertical elements with the detailing of the coins and horizontal elements at in the stone caps and cornices. This is similar to the surrounding homes
 - 715 McKinley has the same non-directional design as the 727/723 and 705 buildings.
-

#11 Directional Expression of front Westminster streetscape

- McKinley road elevation relates to the front elevations of 705 723/727 in the use of materials that read both vertically and Horizontally



#11 Directional Expression of front elevation

McKinley streetscape

- McKinley road elevation relates to the front elevations of 705 723/727 in the use of materials that read both vertically and horizontally



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723-727 N McKinley Rd
ELEVATIONS
October 23, 2017 SCALE 1/16" = 1'-0"

#12 Preserving distinguishing features

(12) *Preserving distinguishing features.* The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed or adversely affected in a material way. The alteration of any historic material or distinctive architectural features should be avoided when possible.

- Not applicable
-

#13 Protection of resources

(13) *Protection of resources.* Every reasonable effort shall be made to protect and preserve archaeological and natural resources affected by, or adjacent to any project.

- Landscape plan replaces the removed trees.
 - Tree lined streetscape
 - Front yard landscape with trees
-

#14 New Construction

(14) *New construction.* In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for consistency with the chosen style.

- There are two distinct styles for the project one of a farmhouse residential for the 361 Westminster home and the style matching the existing 705 723/727 McKinley buildings for the 715 building.
 - This design style is applied to all four elevations on the building for both buildings.
-

#15 Repair to deteriorated features

(15) *Repair to deteriorated features.* Deteriorated architectural features shall be repaired rather than replaced, wherever possible, in accordance with the Secretary of the Interior's *Standards for the Treatment of Historic Properties*. In the event replacement is necessary, the new material need not be identical to but should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

- Not Applicable
-

#16 Surface cleaning

(16) *Surface cleaning.* The surface cleaning of historic material and distinctive architectural features shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historically, visually, aesthetically, culturally or archaeologically significant materials shall not be undertaken.

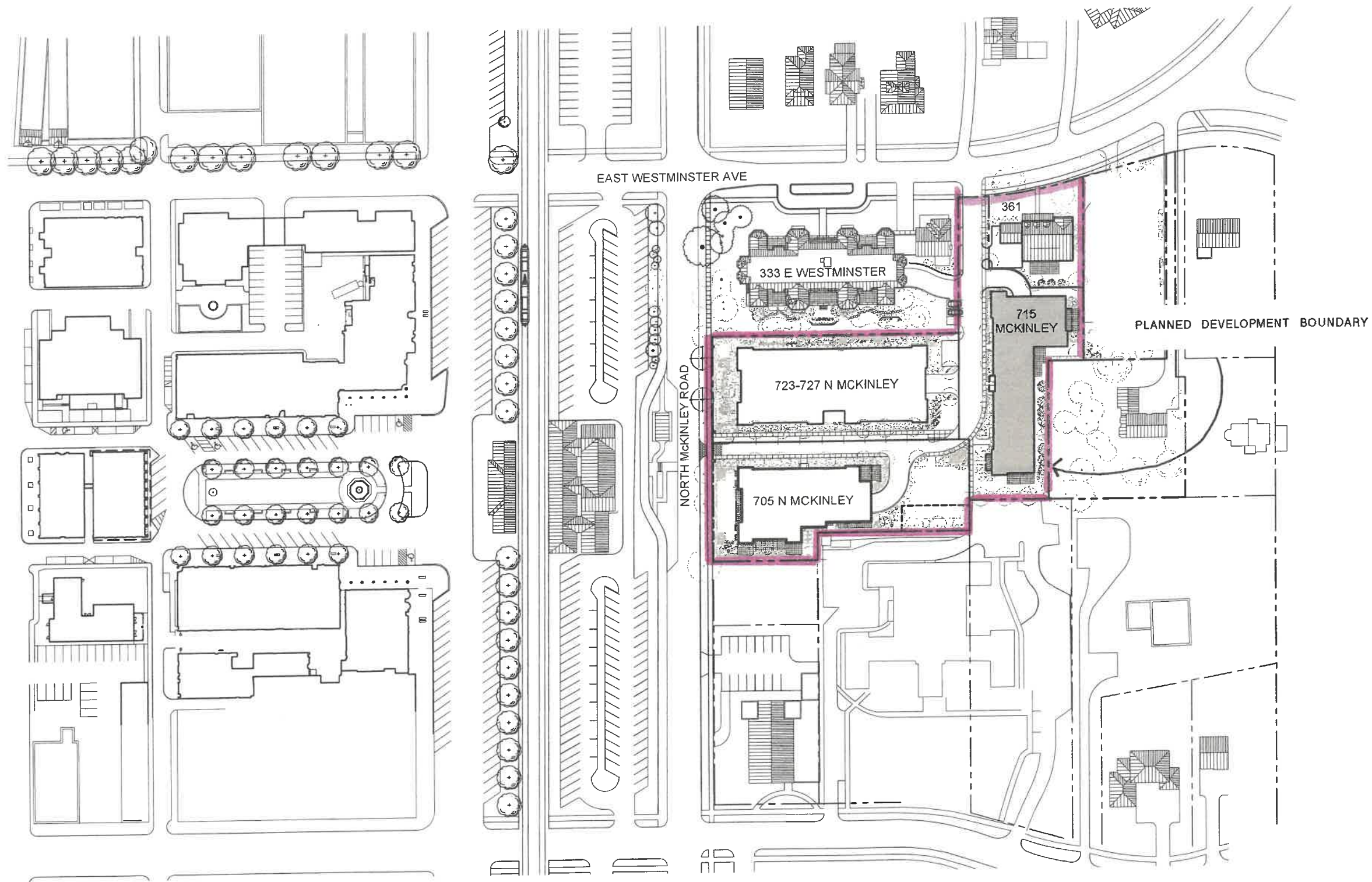
- Not Applicable
-

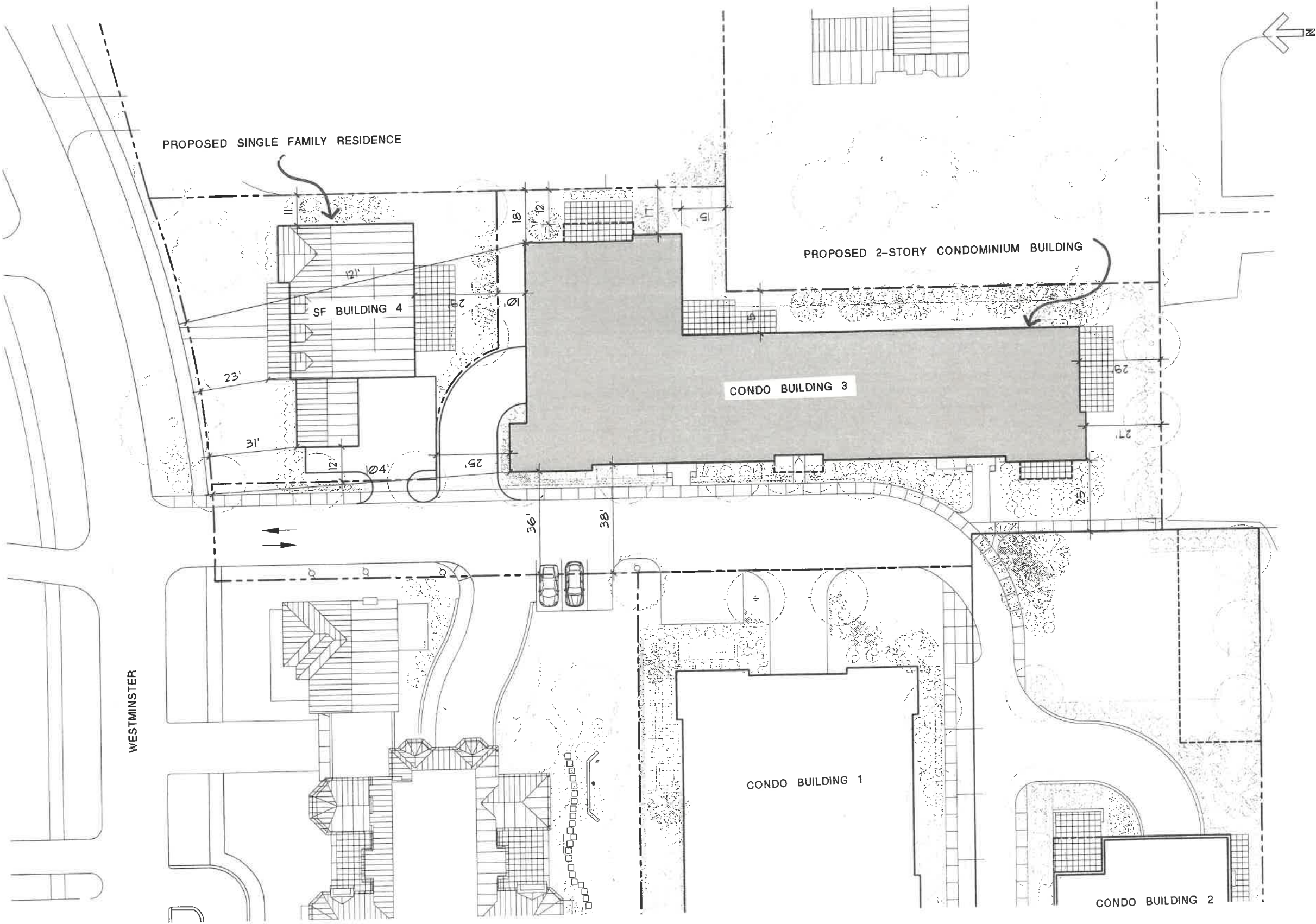
#17 Reversibility of additions and alterations

(17) *Reversibility of additions and alterations.* Wherever possible, additions or alterations to historic properties shall be done in such manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would not be impaired.

- Not Applicable
-

MCKINLEY MULTI-FAMILY PLANNED DEVELOPMENT
CURRENTLY PROPOSED

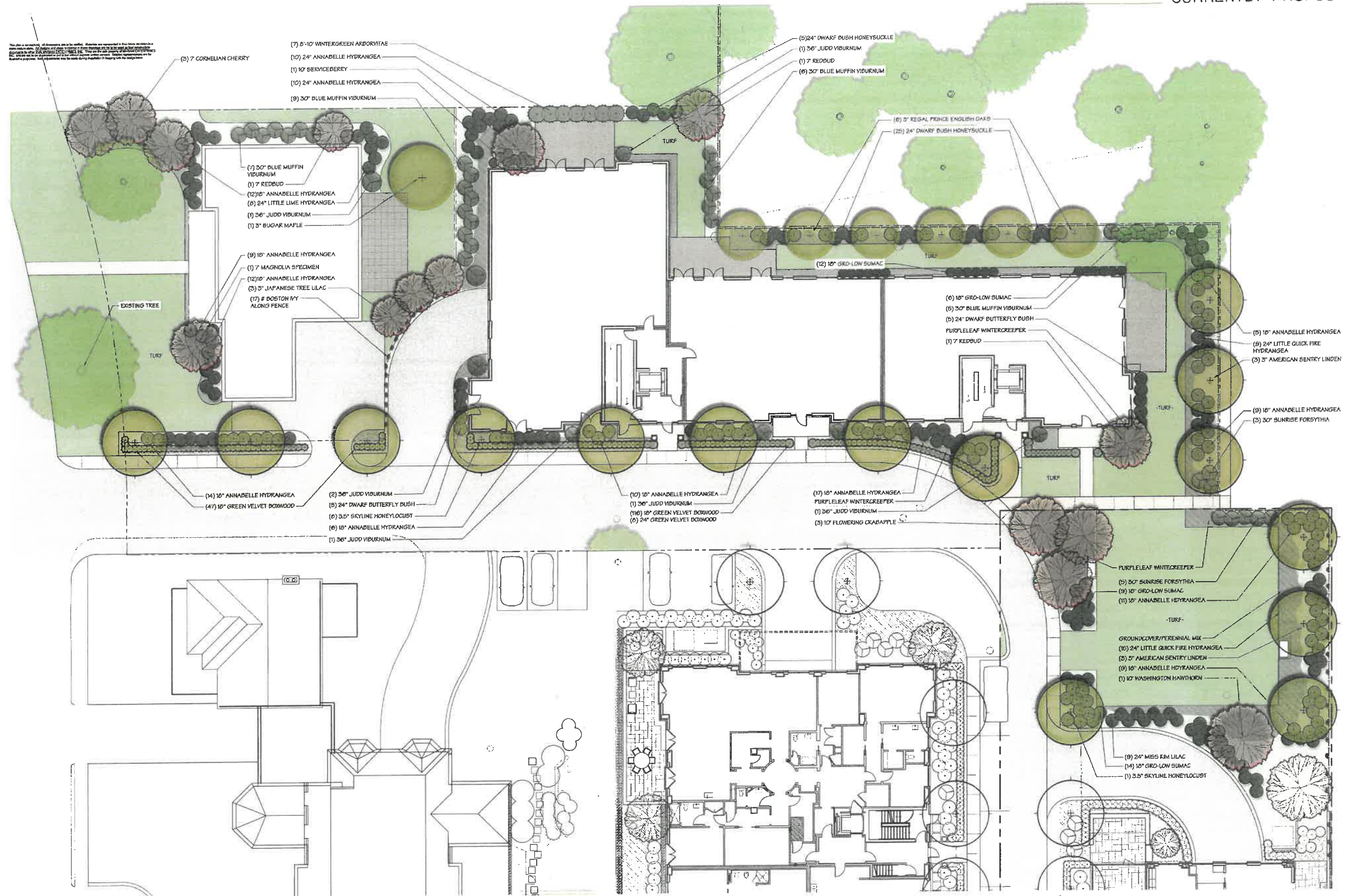




MCKINLEY ROAD DEVELOPMENT
PHASE 3 SITE PLAN
October 10, 2022
SCALE: 1"= 30'

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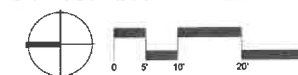




715 McKinley RD. - Phase 3 Landscape Plan

715 McKinley Rd, Lake Forest IL

Project No: 715_10037
11.02.2022



MARIANI
300 Rockland Road | Lake Bluff, Illinois 60045
Phone: 847.234.2172 | Fax: 847.234.2754
www.marianilandscape.com

SINGLE FAMILY RESIDENCE



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- ☐ Stone
- ☐ Brick
- ☒ Wood Clapboard Siding
- ☐ Wood Shingle
- ☐ Cementitious Stucco
- ☐ Other _____

Color and/or Type of Material GREY

Foundation Material

Exposed Foundation Material _____

Window Treatment

Primary Window Type

- ☒ Double Hung
- ☐ Casement
- ☐ Sliding
- ☐ Other _____

Color of Finish WHITE

Finish and Color of Windows

- ☐ Wood (recommended)
- ☒ Aluminum Clad
- ☐ Vinyl Clad
- ☐ Other _____

Window Muntins

- ☐ Not Provided
- ☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars (recommended)
- ☐ Interior muntin bars only
- ☐ Exterior muntin bars only
- ☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
- ☐ Brick
- ☒ Wood
- ☐ Other _____

Window Trim

- ☐ Limestone
- ☐ Brick
- ☐ Wood
- ☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
- ☐ Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☒ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☐ Copper
- ☐ Other _____
- ☒ Sheet Metal

Color of Material _____

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

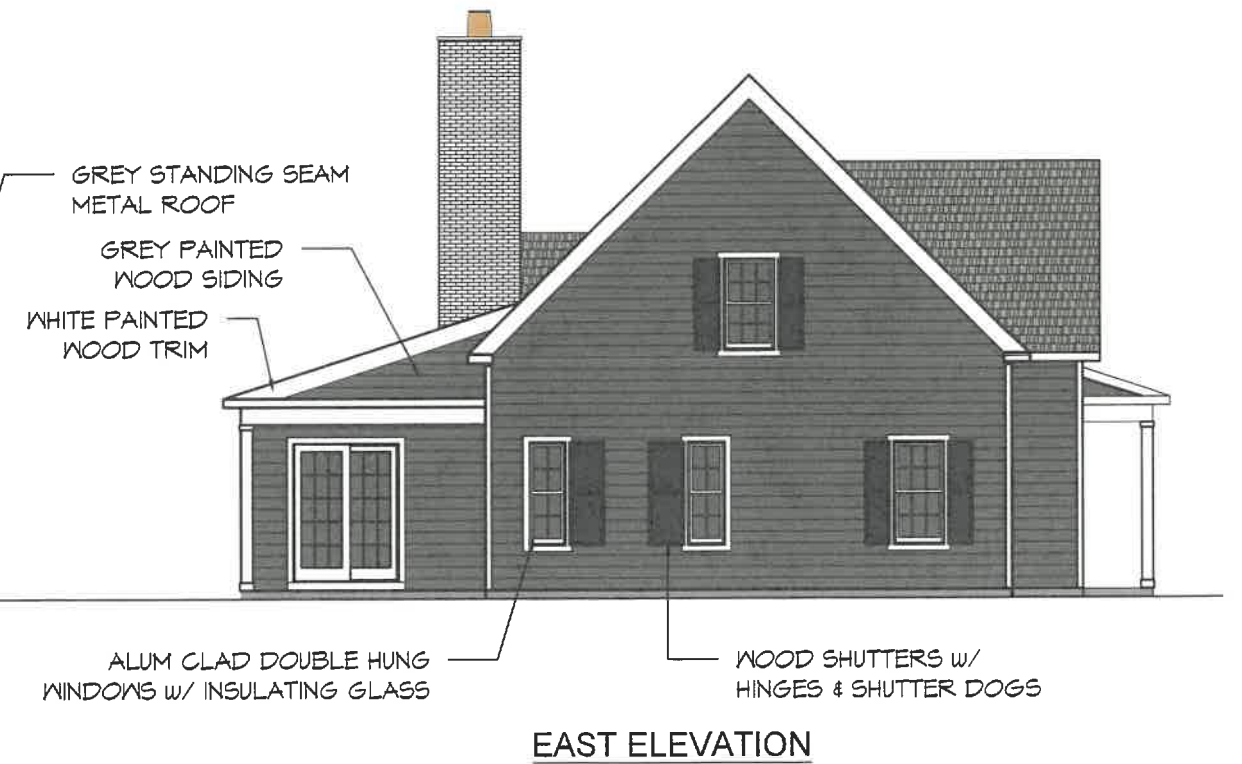
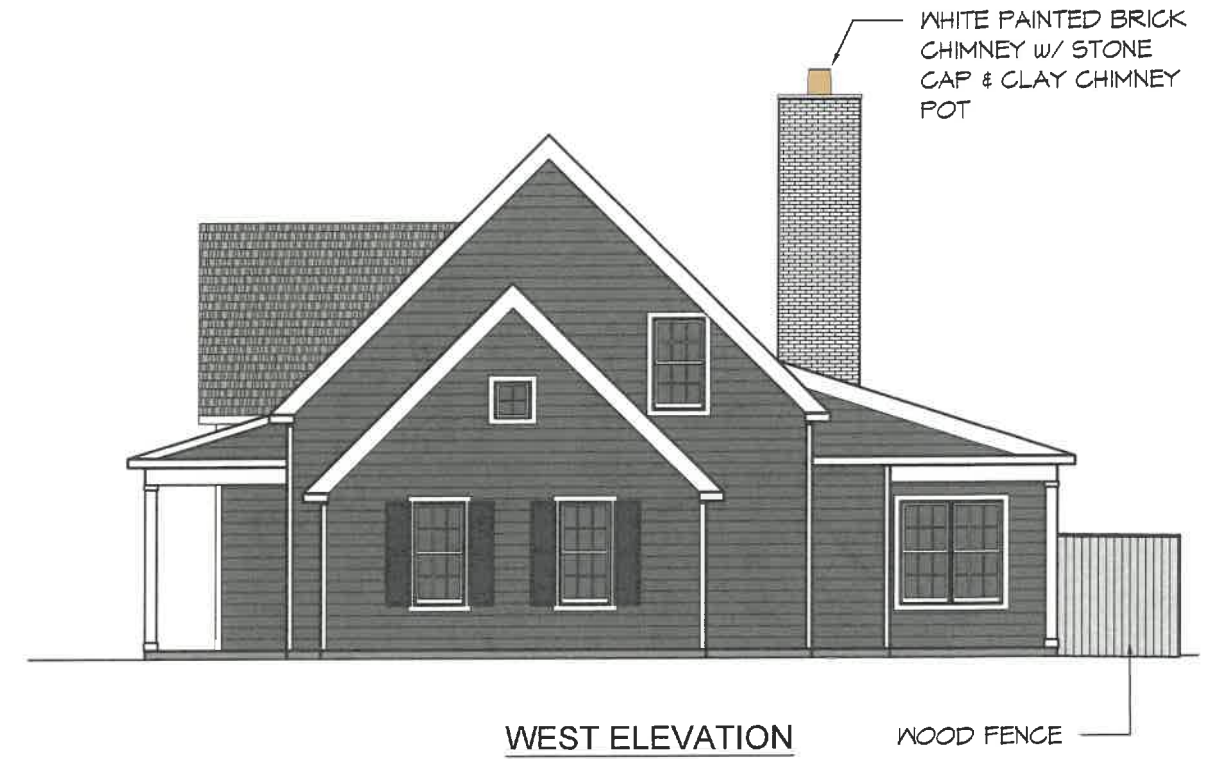
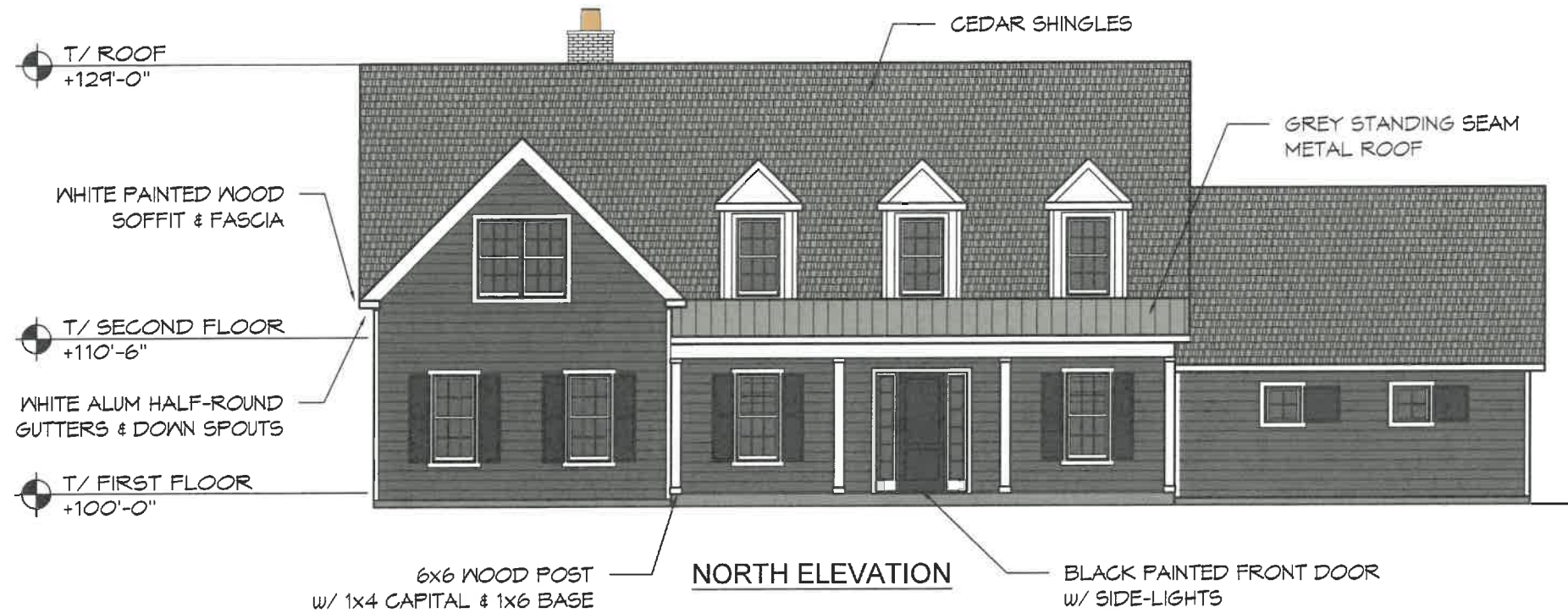
Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☒ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____

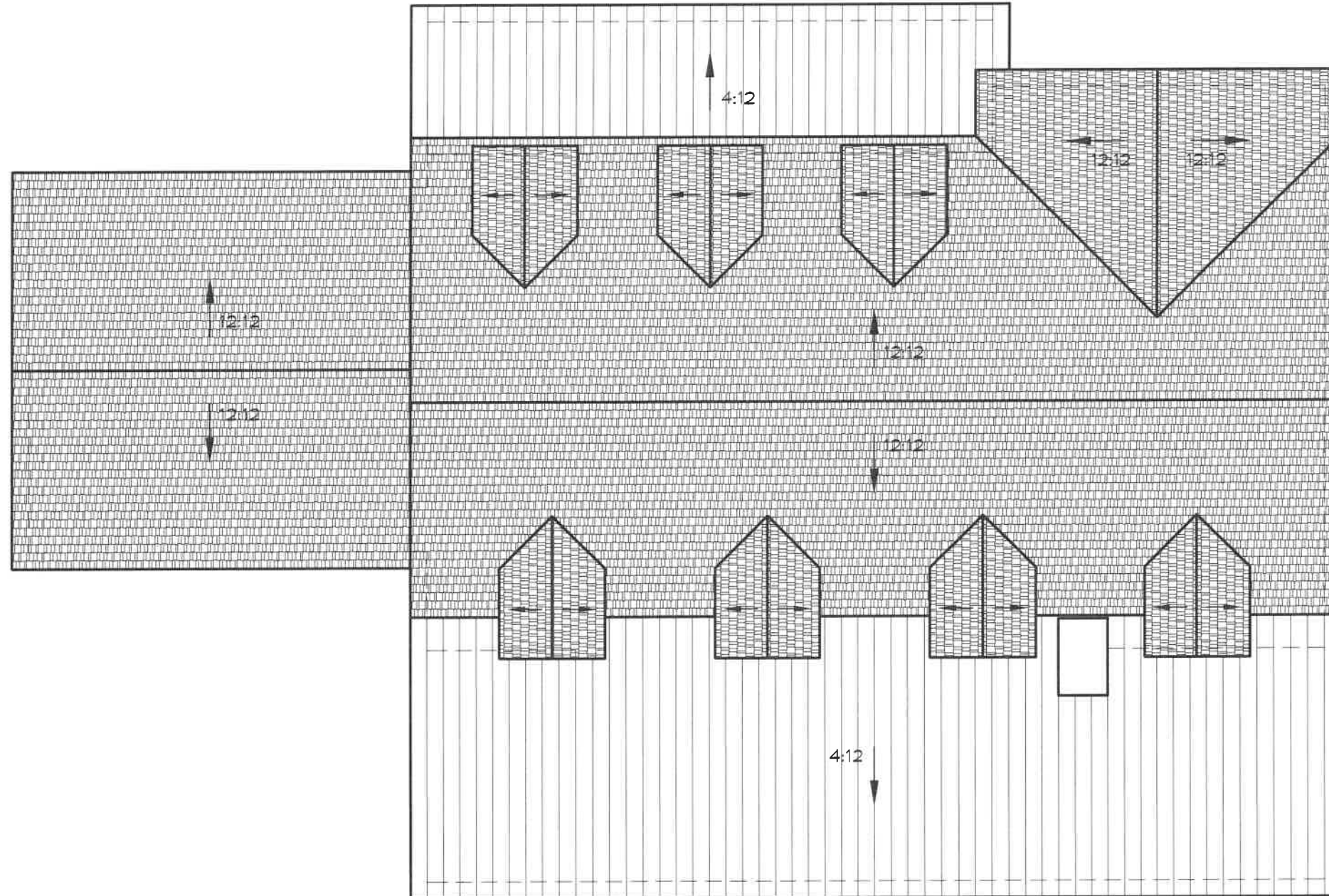
PROPOSED ELEVATIONS - SINGLE FAMILY RESIDENCE



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361 E WESTMINSTER
ELEVATIONS

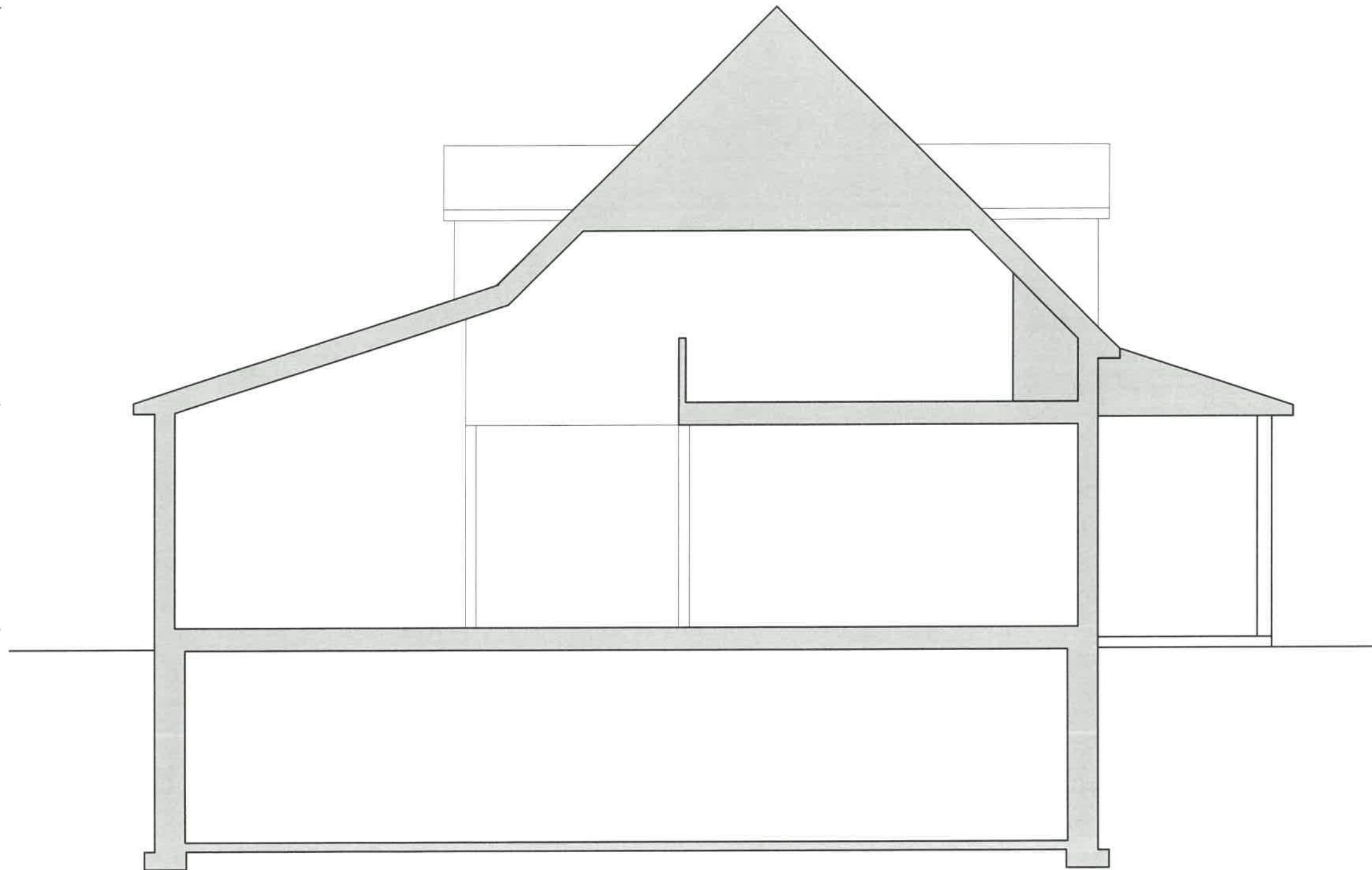
November 2, 2022 SCALE: N.T.S.



T/ ROOF
+129'-0"

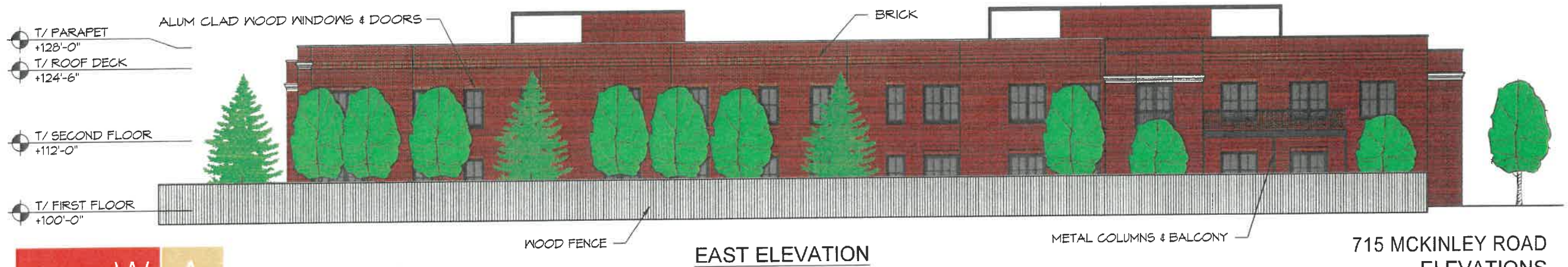
T/ SECOND FLOOR
+110'-6"

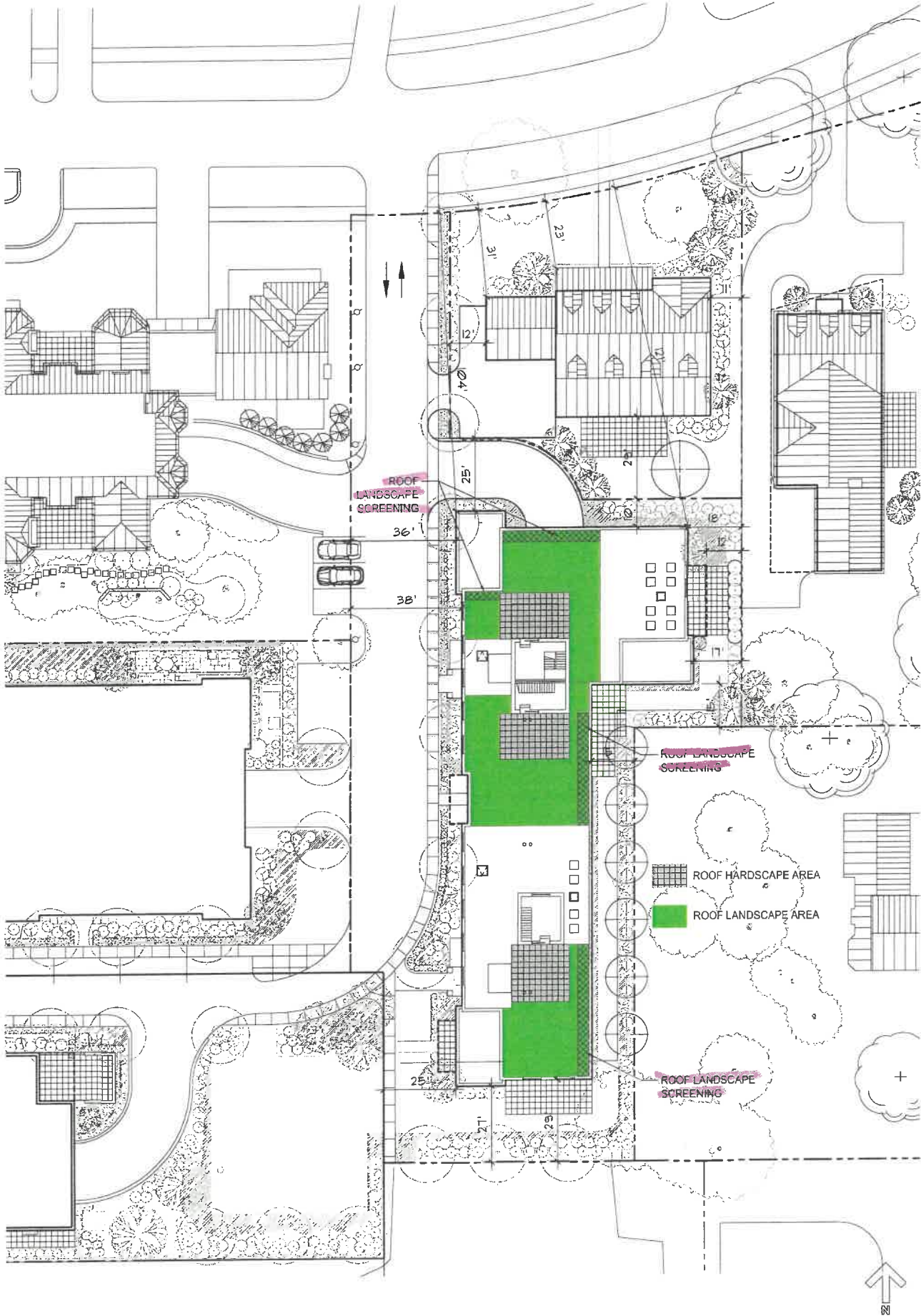
T/ FIRST FLOOR
+100'-0"

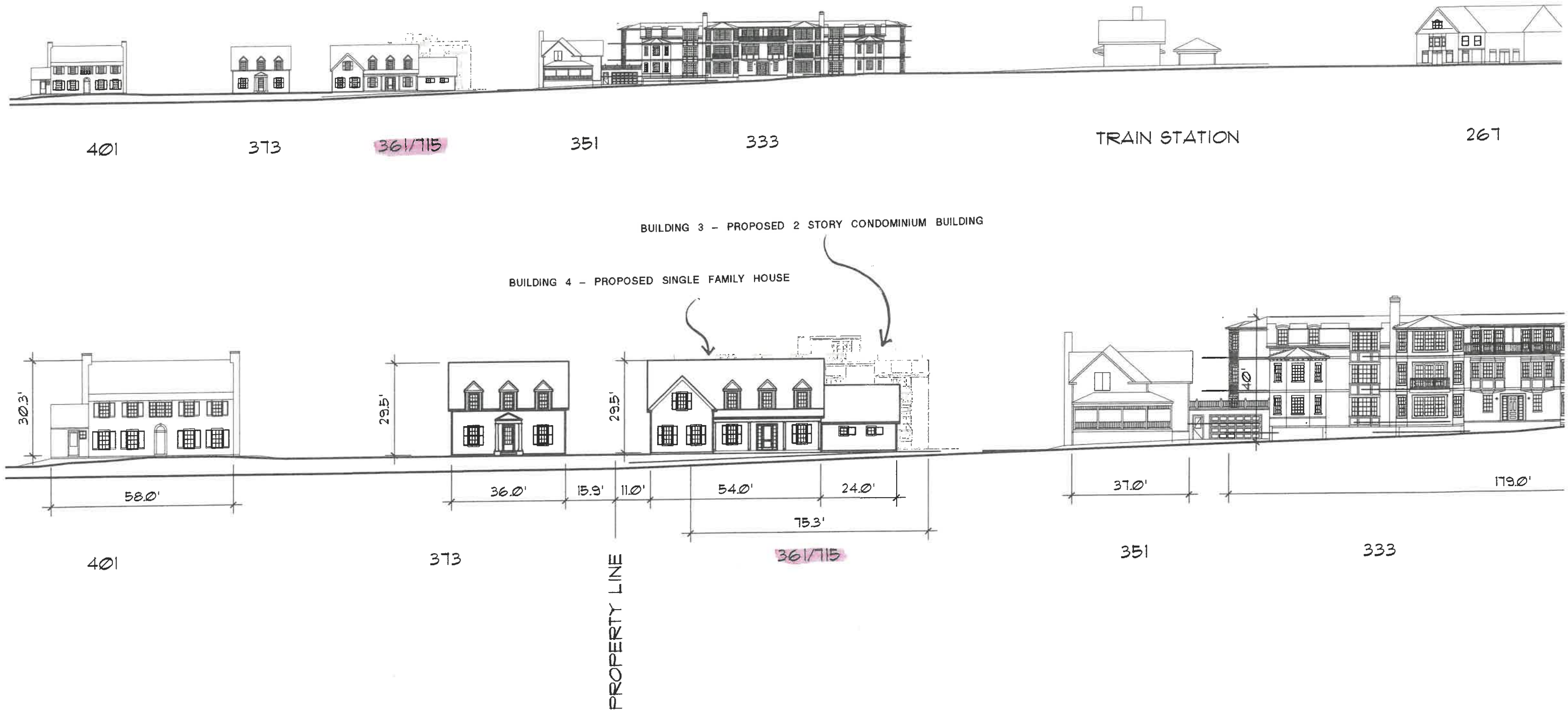


TWO-STORY CONDOMINIUM BUILDING

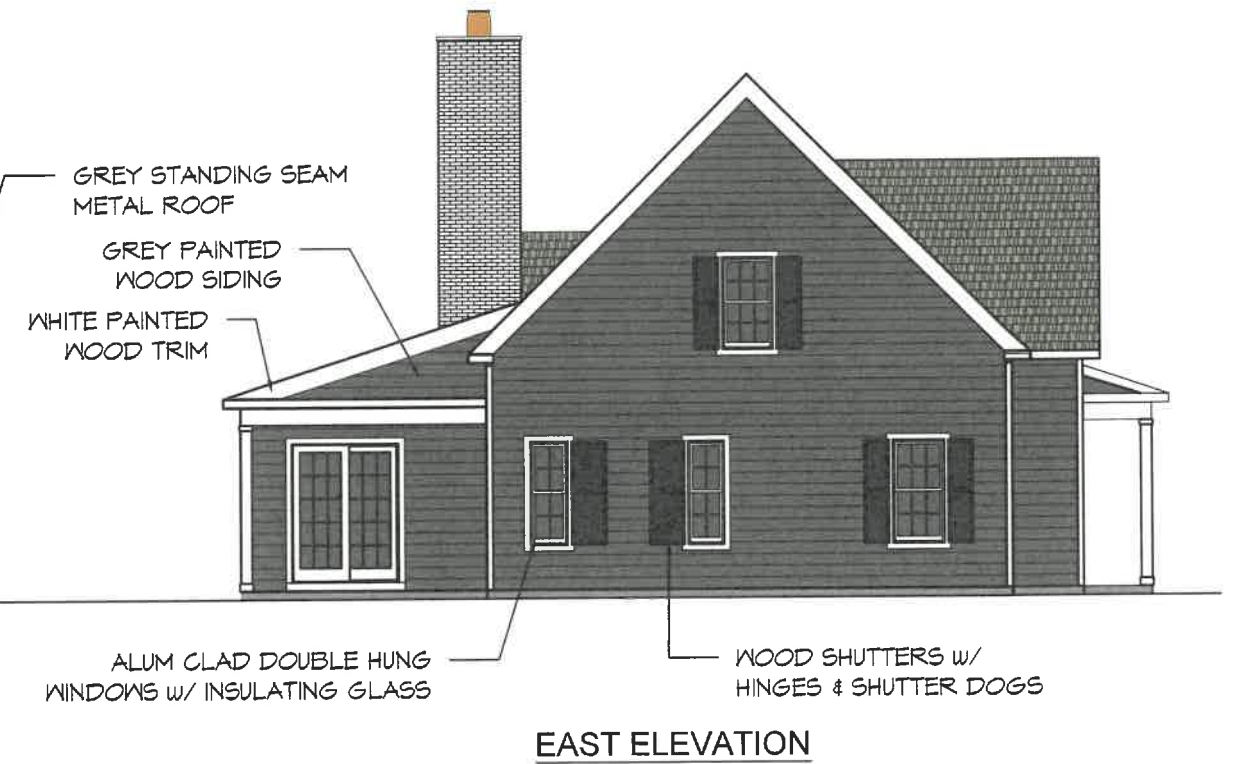
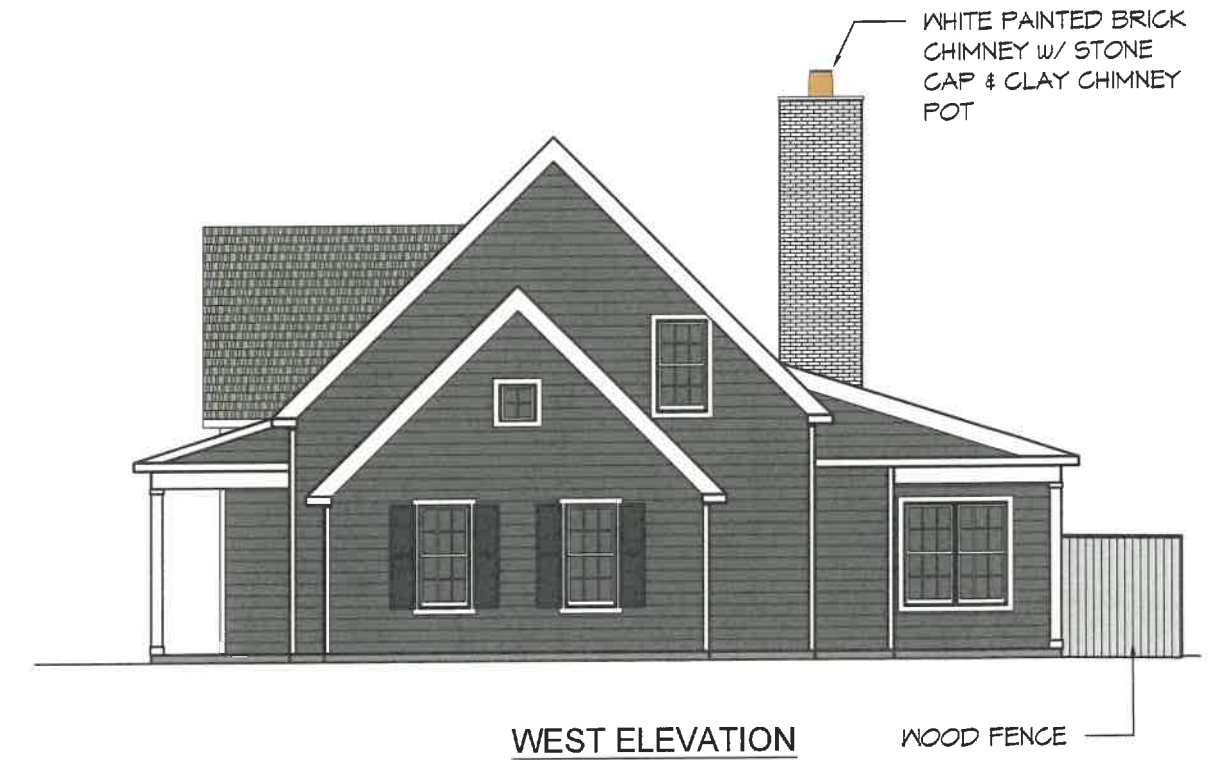
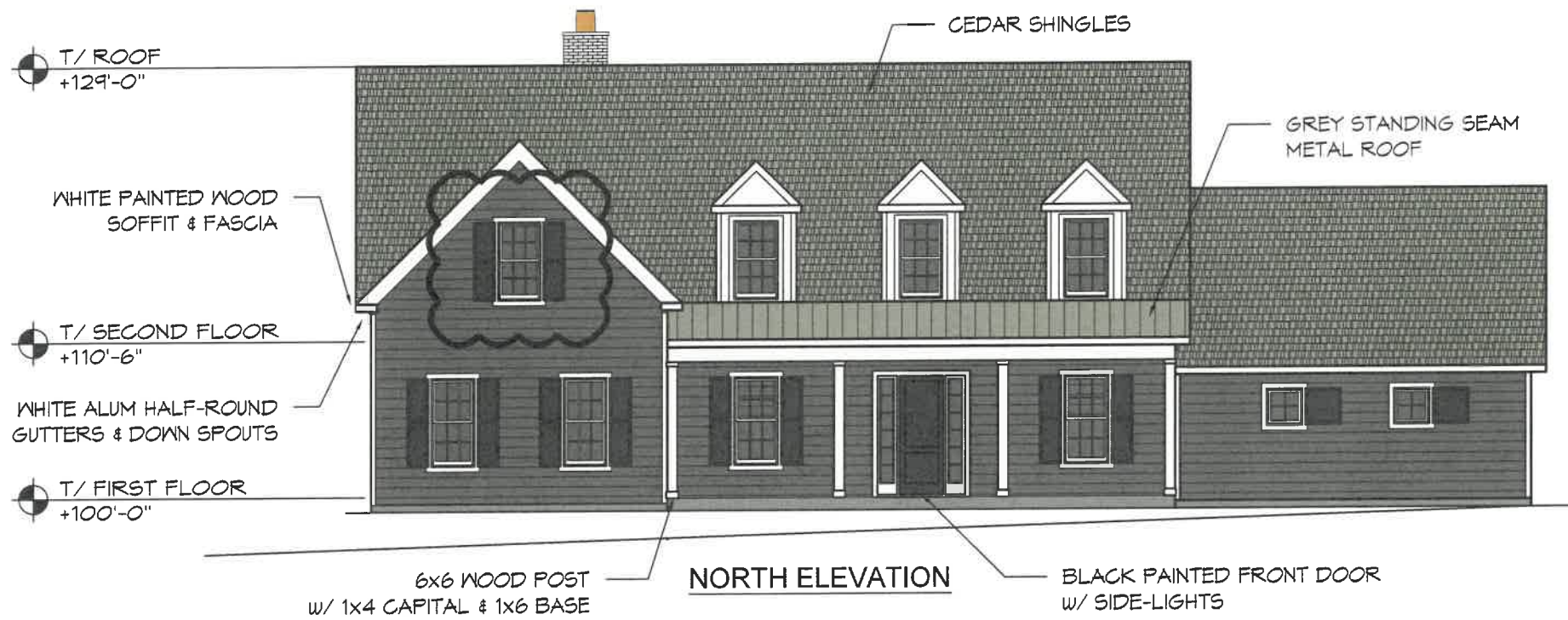
ELEVATIONS – PROPOSED 2-STORY CONDOMINIUM BUILDING
CURRENTLY PROPOSED

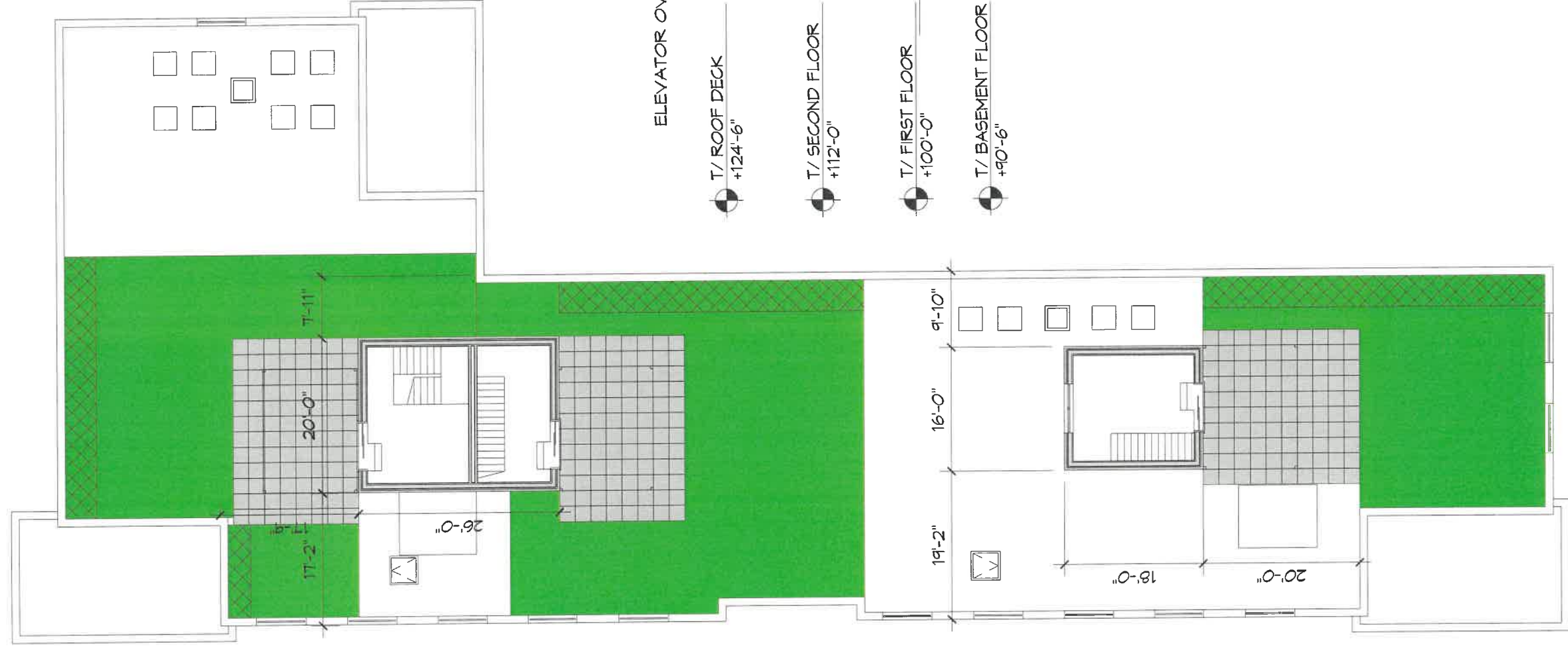






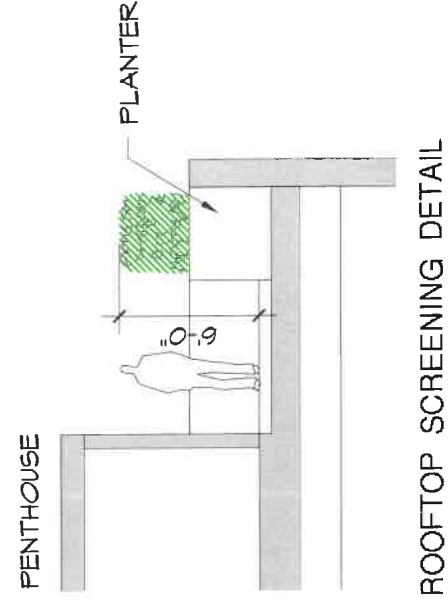
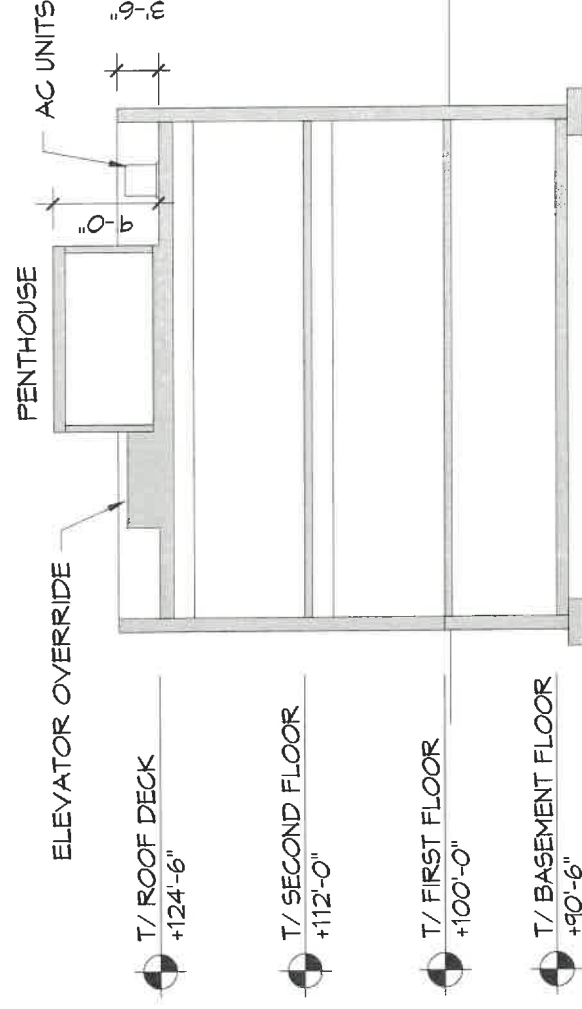
**MCKINLEY ROAD REDEVELOPMENT PHASE THREE
ADDITIONAL MATERIALS – RECEIVED NOVEMBER 15, 2022**



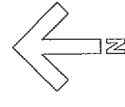


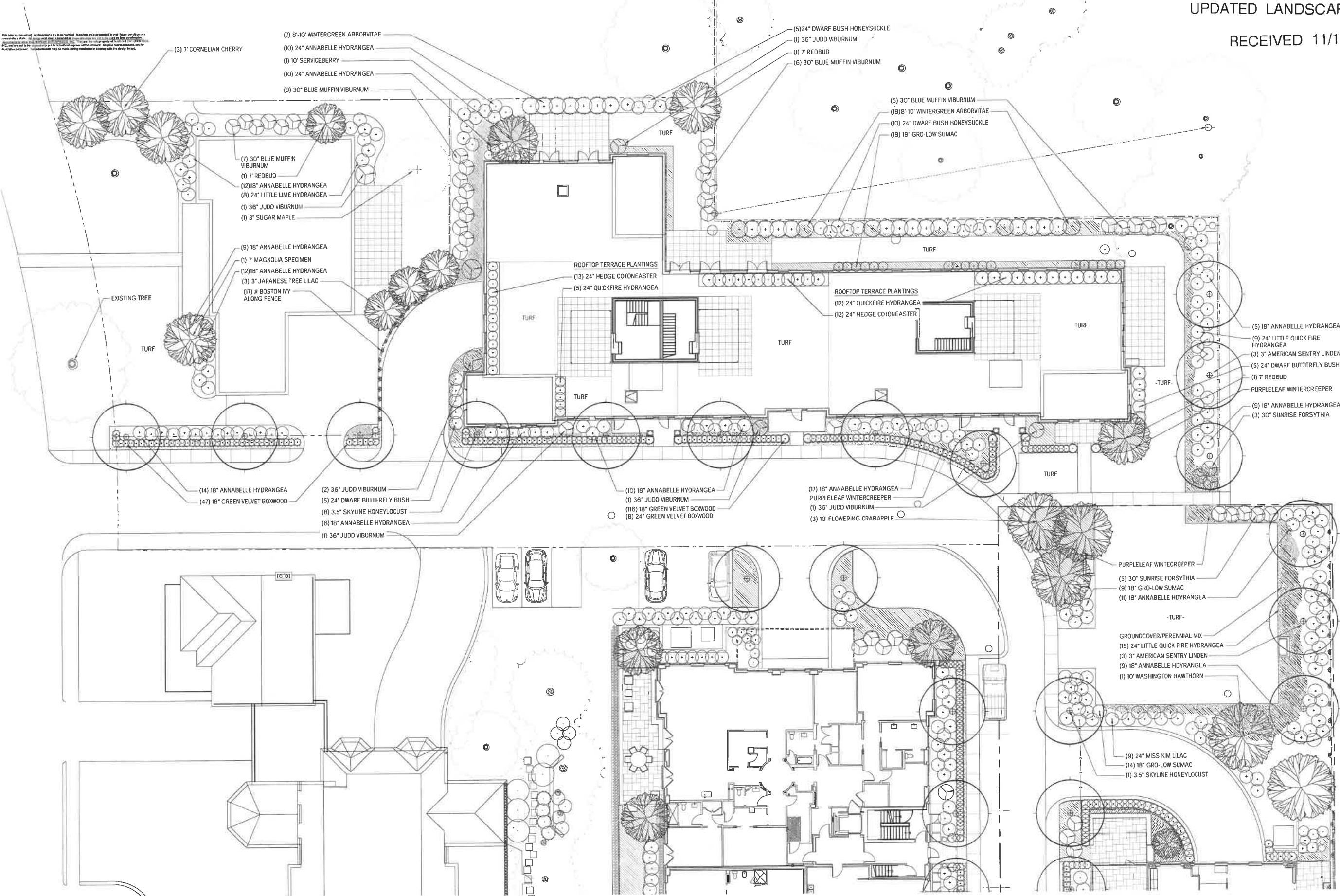
LEGEND

- HARDSCAPE
- LANDSCAPE



CONDOMINIUM BUILDING – ROOF PLAN & BUILDING SECTIONS

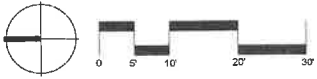




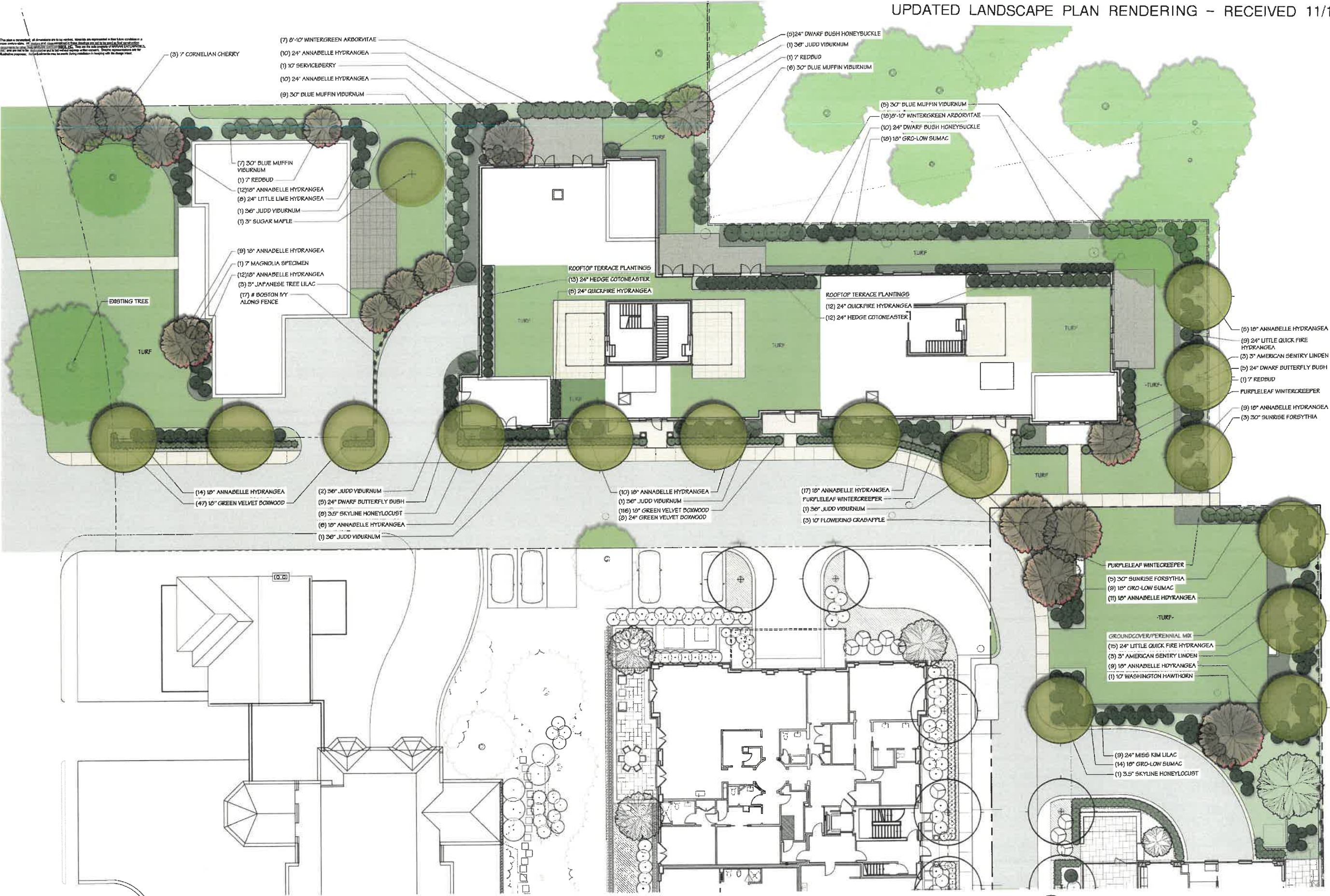
715 McKinley RD. - Phase 3 Landscape Plan

715 McKinley Rd, Lake Forest IL

Project No: 715_16037
11.14.2022



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