

Agenda Item 3
335 Robinson Drive
New Residence

Staff Report
Building Scale Summary Sheet
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Plat of Survey
Proposed Site Plan
Impervious Surface Calculations
Proposed North Elevation
Proposed North Elevation Rendering
Proposed East Elevation
Proposed East Elevation Rendering
Proposed South Elevation
Proposed South Elevation Rendering
Proposed West Elevation
Proposed West Elevation Rendering
Perspective Renderings
Roof Plan
Building Sections
Site Section
Floor Plans
Preliminary Site Grading and Tree Removal Plan
Tree Inventory
Conceptual Landscape Plan

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grieve and members of the Historic Preservation Commission
DATE:	July 12, 2021
FROM:	Jennifer Baehr, Planner
SUBJECT:	335 Robinson Drive – New Residence

PETITIONERS

Doug and Maggie Reynolds
900 Polo Lane
Glenview, IL 60025

PROPERTY LOCATION

335 Robinson Drive

HISTORIC DISTRICTS

Green Bay Road Local and
National Historic Districts

PROJECT REPRESENTATIVE

Doug Reynolds, Reynolds Architecture
1765 Maple Street, Suite 200
Northfield, IL 60093

SUMMARY OF THE PETITION

This is a request for a Certificate of Appropriateness for a new single family residence on a vacant lot. Approval of a conceptual landscape plan, tree removal plan and overall site plan is also requested.

PROPERTY DESCRIPTION

The property is located on the south side of Robinson Drive, between Green Bay Road and the railroad tracks to the west. The property is located in the Thorndale subdivision which created six buildable lots on the original Thorndale Manor estate. The original house and coach house remain on separate lots within the subdivision. The property will be the third new residence in the development. The first new residence was constructed several years ago at the entrance to the subdivision near Green Bay Road. The Commission more recently approved the second residence in this subdivision at 295 Robinson Drive which is presently under construction.

The parcel that is the subject of this request is approximately 1.82 acres and is somewhat irregular in shape following the curve of Robinson Drive along the north side. In an effort to protect the wooded character of the Thorndale Subdivision, the perimeter of the property in this request is protected through a combination of easements and buffer areas which were established as part of the subdivision process and documented on the plat of subdivision. The easements and buffer areas impose limitations on the buildable area on the property.

- Two Landscape Buffer Areas are located on the site, one buffer area is 50 feet wide and is located along the north property line, and the second buffer area is 25 feet wide and is located along the south property line. The purpose of the south buffer area is to assure that through the preservation of existing vegetation and new plantings, a significant vegetative buffer is established and preserved between the new residences in the Thorndale Subdivision and the existing homes to the south.

- A 30 foot wide Conservation Area Easement follows the east property line. All vegetation is to remain within this area to retain a dense, natural tree and vegetation buffer.

STAFF EVALUATION

Site Plan

The proposed residence is oriented north, toward the street. A single curb cut is proposed. The proposed driveway curves through the front yard and around the east side of the house to access the attached three car garage. A circular motor court is proposed at the northeast corner of the home. Paver patios are proposed on the west and south sides of the house. An in-ground pool is proposed in the rear yard.

The site plan as presented shows no encroachment into the Conservation Easement and some encroachment into the Landscape Buffer Area which is necessary and was anticipated in order to provide access to the site from Robinson Drive.

Based on the information submitted by the petitioner, the amount of proposed impervious surface on the site totals 12,059 square feet, equal to 15% of the site. The building footprint totals 4,300 square feet and other hardscape surfaces including the driveway, motor court, walkways, patios and pool deck total 7,759 square feet. This total includes some hardscape such as the gravel driveway and motor court and paver patios which are considered semi-permeable.

Residence

As stated in the petitioner's statement of intent, the proposed residence is designed in a modern Tudor style. The building footprint is relatively compact. The home presents a one-and-a-half story massing with steeply pitched roof forms. The home features elements such as a limestone surround at the front entrance, a screen porch, dormers that break through the cornice, and bay windows.

Findings

A staff review of the applicable standards in the City Code is provided below. Findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height.

This standard is met. The proposed residence at its maximum height, is 33 feet and 6 inches as measured from the lowest point of existing grade adjacent to the house. The maximum height allowed for this property is 40 feet.

Standard 2 – Proportion of Front Façade.

This standard is met. The front façade of the main mass of the home presents a symmetrical design with a front facing gable form that projects from the main volume, creating depth to the front elevation and highlighting the front entry.

Standard 3 – Proportion of Openings.

This standard is met. The openings around the home are consistently vertically oriented and have tall, narrow proportions.

Standard 4 – Rhythm of Solids to Voids.

This standard is generally met. The rhythm of solids to voids is generally consistent on all elevations of the home. The house features larger expanses of openings on the south and west elevations to take advantage of views of the property and provide ample natural light into the great room, kitchen and dining room.

Standard 5 – Spacing on the Street.

This standard is met. The proposed house will not be visible from Green Bay Road, only from Robinson Drive, a private road. The Landscape Buffer Area and Conservation Easement are intended to minimize direct views of the residence from the streetscape. The overall subdivision is intended to have a dense wooded character.

Standard 6 – Rhythm of Entrance Porches.

This standard is met. The front entrance is located on the north elevation, facing Robinson Drive. The front entrance is centered on the projecting gable form.

Standard 7 – Relationship of Materials and Texture.

This standard is met. The exterior is comprised of high quality and natural materials. The exterior wall material is stucco. The main roof will be slate and the dormers will have standing seam metal roofs. Aluminum clad windows with interior and exterior muntin bars are proposed. Wood fascia, rakeboards and soffits are proposed. The front door surround and the window sills are limestone. Stucco chimneys to match the exterior walls of the house and clay chimney pots are proposed.

The color palette consists of white stucco, gray windows and trim, and a black slate roof tile. This proposed residence distinguishes itself from the more trendy stark contemporary farmhouse designs recently seen on a number of occasions by the Commission in that the residence is designed in a modern version of the Tudor style and incorporates high quality natural materials, simple massing and roof forms, and refined architectural detailing.

Hardscape on the site includes a gravel driveway and motor court, paver patios and walkways and a concrete pool deck.

Standard 8 – Roof Shapes.

This standard is met. The primary roof forms are a mix of gable and hip roof types that consistently have a steep 12:12 pitch. The dormers have shallow roof pitches to minimize the appearance of the dormer roofs.

Standard 9 – Walls of Continuity.

This standard is met. The massing, scale, proportions of openings, and simple detailing are consistent on all elevations of the house.

Standard 10 – Scale.

This standard is met. The residence as presented complies with the building scale requirements. Based on the lot size, a residence of up to 8,142 square feet is permitted on the site. In addition, a garage of up to 800 square feet is permitted along with up to 814 square feet of design elements. The proposed house totals 8,058 square feet, and is 1% under the allowable square footage. The attached three car garage totals 760 square feet and there are 487 square feet of design elements.

Standard 11 – Directional Expression of Front Elevation.

This standard is met. The front elevation appropriately faces north, toward Robinson Drive.

Standard 12 – Preservation of Historic Material.

This standard is not applicable to this request.

Standard 13 – Protection of Natural Resources.

This standard can be met. The center and west side of this particular site is generally open with more dense vegetation on the east and south sides of the site. As currently proposed, six trees are proposed for removal. The trees proposed for removal include four Red Oak and two Shagbark Hickory trees. Most of the trees that will be impacted by construction are in good to fair condition. Based on the condition, species and size of the trees proposed for removal a total of 50 replacement inches is required. In the event additional trees are compromised during construction, additional replacement inches will be required.

The petitioner submitted a preliminary landscape plan that reflects some new plantings across the property. The new plantings include Honeylocust, Ginkgo, Maple, and Spruce trees. A number of ornamental trees and shrubs are also proposed. Based on the preliminary landscape plan, the total number of replacement inches is not yet fully satisfied. As the landscape plan is more fully developed, the plan shall provide for the required replacement inches on site. The landscape plan as currently presented reflects minimal plantings in the landscape buffer area on the north side of the site. As noted above, the purpose of buffer areas is to assure that through the preservation of existing vegetation and infill with new plantings, a significant vegetative buffer is established and maintained. As the landscape plan is more fully developed, plantings shall be incorporated on the north side of the site to enhance the buffer area.

Standard 14 – Compatibility.

This standard is met. The design of the residence is compatible with the massing, roof forms and quality of materials found in the surrounding neighborhood.

Standard 15 – Repair to deteriorated features.

This standard is not applicable to this request. The property is vacant, there are no existing structures.

Standard 16 – Surface cleaning.

This standard is not applicable to this request.

Standard 17 – Integrity of historic property.

This standard is generally met. The property is vacant, there are no existing structures. The existing dense vegetation within the Conservation Area and Landscape Buffer Areas will be retained as required by the plat of subdivision to preserve the historically natural character of the site.

PUBLIC COMMENT

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Department of Community Development to surrounding property owners and the agenda for this meeting was posted at various public locations and is available on the City's website. As of the date of this writing, no correspondence was received regarding this request. Staff

has requested and is awaiting written approval of the residence from the Architectural Review Board for the Thorndale Subdivision.

RECOMMENDATION

Grant a Certificate of Appropriateness approving a new residence, conceptual landscape plan, tree removal plan and overall site plan for property located at 335 Robinson Drive, subject to the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission. Any refinements made in response to direction from the Commission, or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Commission shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Commission's direction and approval prior to the issuance of any permits.
2. At the time of submittal for a building permit, detailed drainage and grading plans must be submitted. Consistent with the subdivision approval, no grading or filling shall be permitted except the absolute minimum necessary to meet accepted engineering standards and practices given the significant tree removal already proposed on the site and in the interest of minimizing stress on the trees intended to remain.
3. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect any trees identified for preservation during construction must be submitted and will be subject to review and approval by the City's Certified Arborist. Chain link fencing shall be required to protect trees intended for preservation in addition to any pre and post construction treatments or maintenance required by the City's Certified Arborist.
4. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and shall be subject to review and approval by the City's Certified Arborist. The plan shall provide for the 50 required replacement inches to the extent possible using good forestry practices, detail enhancements to the Landscape and Buffer Areas. Primarily native species shall be used.
5. Details of all exterior lighting, if any is proposed, shall be reflected on the plans submitted for permit. Cut sheets of all light fixtures should be provided and all fixtures shall direct light downward and the source of the light shall be fully shielded from view from off the property. The right to night, dark sky goals shall be satisfied. All lights shall be set on a timer to turn off no later than 11 p.m. except for lights operated by motion detectors.
6. Prior to the issuance of a building permit, a materials staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize impacts on surrounding properties and on all protected easement and preservation areas.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 335 Robinson Drive Owner(s) Doug and Maggie Reynolds
 Architect Doug Reynolds Reviewed by: Jen Baehr
 Date 7/12/2021
 Lot Area 79271 sq. ft.

Square Footage of New Residence:

1st floor 3500 + 2nd floor 4262 + 3rd floor 297 = 8058 sq. ft.
 Design Element Allowance = 814 sq. ft.
 Total Actual Design Elements = 487 sq. ft. Excess = 0 sq. ft.
 Garage 760 sf actual ; 800 sf allowance Excess = 0 sq. ft.
 Garage Width 22 ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*
 Basement Area = 0 sq. ft.
 Accessory buildings = 0 sq. ft.
TOTAL SQUARE FOOTAGE = 8058 sq. ft.
TOTAL SQUARE FOOTAGE ALLOWED = 8142 sq. ft.
DIFFERENTIAL = -84 sq. ft.
Under Maximum

Allowable Height: 40 ft. Actual Height 33'-6" ft.

NET RESULT:

84 sq. ft. is

1% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 814 sq. ft.

Front & Side Porches = 0 sq. ft.

Rear & Side Screen Porches = 398 sq. ft.

Covered Entries = 14 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

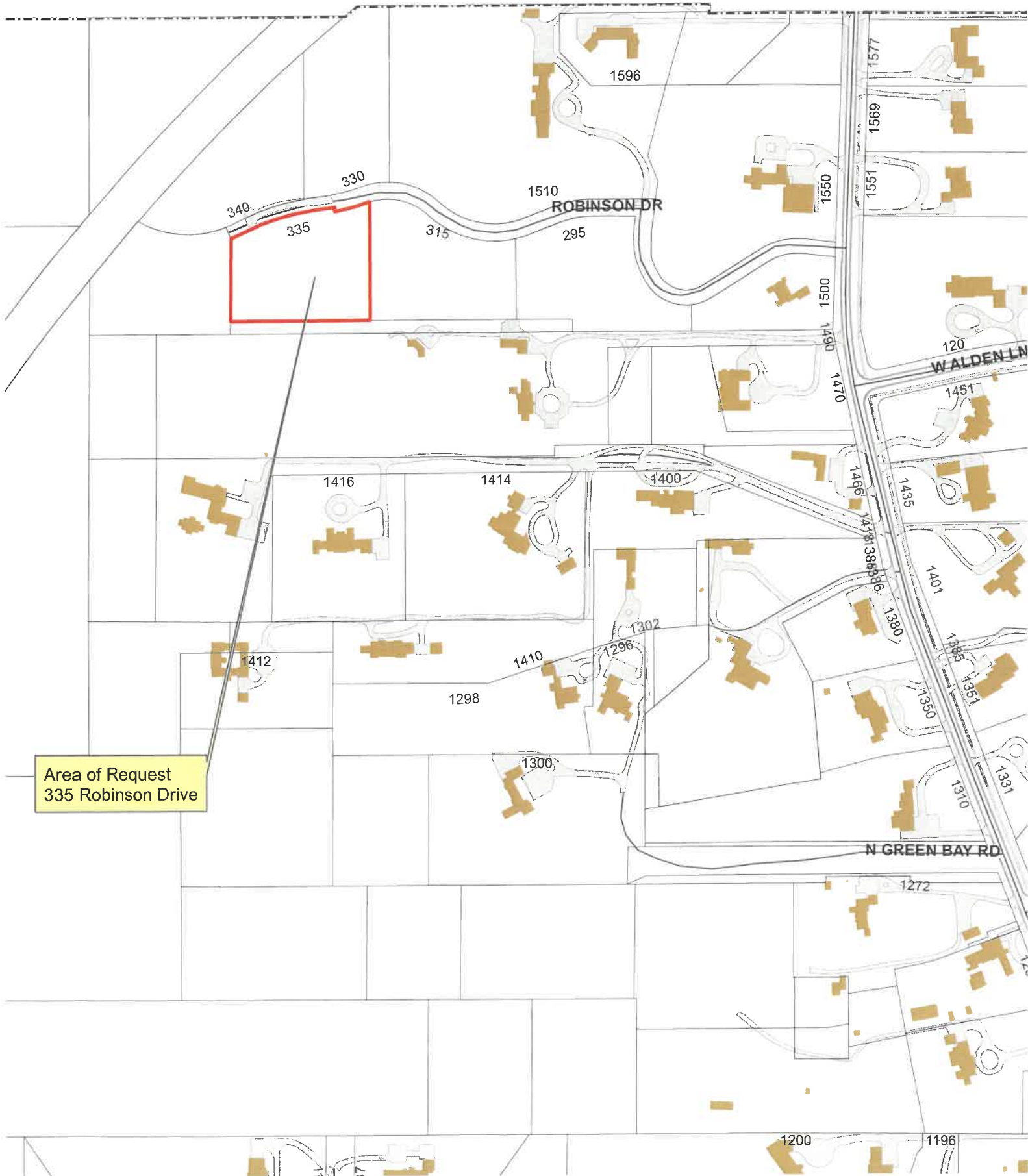
Pergolas = 0 sq. ft.

Individual Dormers = 75 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 487 sq. ft.

Excess Design Elements = 0 sq. ft.





Area of Request
335 Robinson Drive

Area of Request
335 Robinson Drive





THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS

PROJECT ADDRESS 335 Robinson Drive

APPLICATION TYPE

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- ☐ East Lake Forest District ☒ Green Bay Road District ☐ Vine/Oakwood/Green Bay Road District
☐ Local Landmark Property or District ☐ Other

PROPERTY OWNER INFORMATION

Doug and Maggie Reynolds

Owner of Property

900 POLO LANE

Owner's Street Address (may be different from project address)

Glenview, IL 60025

City, State and Zip Code

847.962.9740

Phone Number

Fax Number

Doug@ReynoldsArchitecture.com

Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

M. Douglas Reynolds

Name and Title of Person Presenting Project

Reynolds Architecture

Name of Firm

1765 Maple Street , suite 200

Street Address

Northfield, IL 60093

City, State and Zip Code

847-501-3150

Phone Number

Fax Number

Doug@ReynoldsArchitecture.com

Email Address

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER

☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

☐ OWNER

☐ REPRESENTATIVE



REYNOLDS ARCHITECTURE
DESIGN AND CONSTRUCTION

Standards for Replacement Structures

335 Robinson Drive
Lake Forest, Illinois

Height The proposed height of the new 1.5-story home is approximately 34' and is well below the maximum allowable height of 40'.

Proportion of Front Façade

The front façade is articulated in plan and elevation which combines to break the façade into masses that are proportional the overall scale of the home.

Proportion of Openings

The windows are consistent within the facade and compatible with the style.

Rhythm of solids to voids in front facades

The successful rhythm of solids and voids can be seen on the front elevation and renderings.

Rhythm of spacing and structures on streets

There are no adjacent structures.

Rhythm of entry porches and other projections

The proposed entry, bay window and balconies compliment the façade by providing focal points on each elevation.

Relationship of materials and texture

The Modern Tudor style of the home was conceived to have a mostly white stucco walls with a dark slate roof and medium gray windows for contrast and reinforce the rhythm of the openings.

Roof Shapes

All or the primary roof forms are created at a 12:12 pitch. A mix of hip and gable form are utilized to control mass and provide contrast that allows certain elements to be emphasized. The dormers are executed with a shallow pitched hip roof to create the illusion of a flat roof on those elements.

Walls of continuity

This does not seem to apply to this site or project.

Scale of Structure

The scale of the proposed home is a relatively modest 1-1/2 story structure with 2nd floor spaces expressed with dormers that further breakdown the overall composition. The garage is placed near the rear of the home to reduce the overall scale at the road.

Directional Expression of the front elevation

The proposed front elevation is facing the road.

Preserving distinguishing features

n/a

Protection of resources

Many of the trees in the buildable parts of the site, including the larger heritage oak tree in the SE corner of the property, are either dead or in decline. Most of the eastern and southern portions of the lot is overgrown with buckthorn. We plan to clear the buckthorn wherever possible and save as many of the healthy trees as possible.

New Construction

See above comments about the proposed architecture.

Repair to deteriorated features

n/a

Surface Cleaning

No surface cleaning is proposed as part of this application.

Reversibility of Additions and Alterations

No additions or alterations are proposed as part of this application.



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- ☐ Stone
- ☐ Brick
- ☐ Wood Clapboard Siding
- ☐ Wood Shingle
- ☒ Cementitious Stucco
- ☐ Other _____

Color and/or Type of Material white

Foundation Material

Exposed Foundation Material n/a

Window Treatment

Primary Window Type

- ☐ Double Hung
- ☒ Casement
- ☐ Sliding
- ☐ Other _____

Color of Finish Gray

Finish and Color of Windows

- ☐ Wood (recommended)
- ☒ Aluminum Clad
- ☐ Vinyl Clad
- ☐ Other _____

Window Muntins

- ☐ Not Provided
- ☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars (recommended)
- ☐ Interior muntin bars only
- ☐ Exterior muntin bars only
- ☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone
- ☐ Brick
- ☒ Wood
- ☐ Other _____

Window Trim

- ☒ Limestone
- ☐ Brick
- ☐ Wood
- ☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
- ☐ Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☐ Stone
- ☒ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☒ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☒ Sheet Metal kynar coated alum. standing seam for dormer roofs
- ☐ Other _____

Flashing Material

- ☐ Copper
- ☒ Other Kynar coated aluminum
- ☐ Sheet Metal

Color of Material Vermont Black

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum (Kynar coated)
- ☐ Other _____

Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☐ Bluestone
- ☒ Brick Pavers
- ☐ Concrete Pavers
- ☒ Poured Concrete
- ☐ Other _____

PLAT OF SURVEY

LOT 5 OF THORNDALE, BEING A SUBDIVISION OF PART OF THE SOUTHEAST ¼ OF THE SECTION 20 AND THE NORTH ½ OF SECTION 29, TOWNSHIP 44 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED APRIL 17, 2008 AS DOCUMENT NUMBER 6334405 IN LAKE COUNTY, ILLINOIS.

PLAT OF SURVEY

detention, stormwater and drainage easement and their appurtenances to be maintained by the "THORNDALE HOMEOWNERS Association" pursuant to the Thorndale Declaration

Outlot "B"

PLAT IS VOID IF IMPRESSED SEAL DOES NOT APPEAR

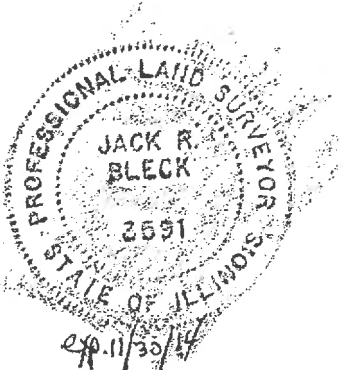
STATE OF ILLINOIS } S.S.
COUNTY OF LAKE

NOTE: ONLY THOSE BUILDING LINES OR EASEMENTS SHOWN ON THE RECORDED SUBDIVISION PLAT ARE SHOWN HEREON; CHECK LOCAL ORDINANCES BEFORE BUILDING. COMPARE YOUR DESCRIPTION AND SITE MARKINGS WITH THIS PLAT AND AT ONCE REPORT ANY DISCREPANCIES WHICH YOU MAY FIND.

ON BEHALF OF BLECK ENGINEERING CO., INC., I, JACK R. BLECK, DO HEREBY CERTIFY THAT THE PROPERTY DESCRIBED IN THE ABOVE CAPTION WAS SURVEYED AND STAKED BY ME, OR UNDER MY DIRECTION, AND THE PLAT DRAWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY. MEASUREMENTS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

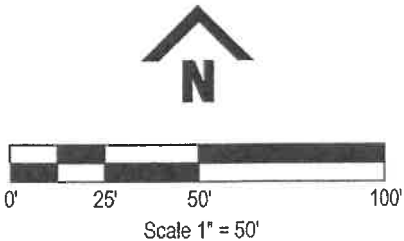
DATED AT LAKE FOREST, ILLINOIS, THIS 14TH DAY OF FEBRUARY A.D., 2014.

BY Jack R. Bleck
REGISTERED ILLINOIS LAND SURVEYOR NO. 3591



ABBREVIATIONS:
m. or meas. = measured
r. or rec. = record
CB = chord bearing
CH = chord length
L = arc length
N = North
S = South
E = East
W = West
S.F. = square feet
FIP = found iron pipe
FIR = found iron rod

Note: Iron rods were set at all lot corners unless noted otherwise.

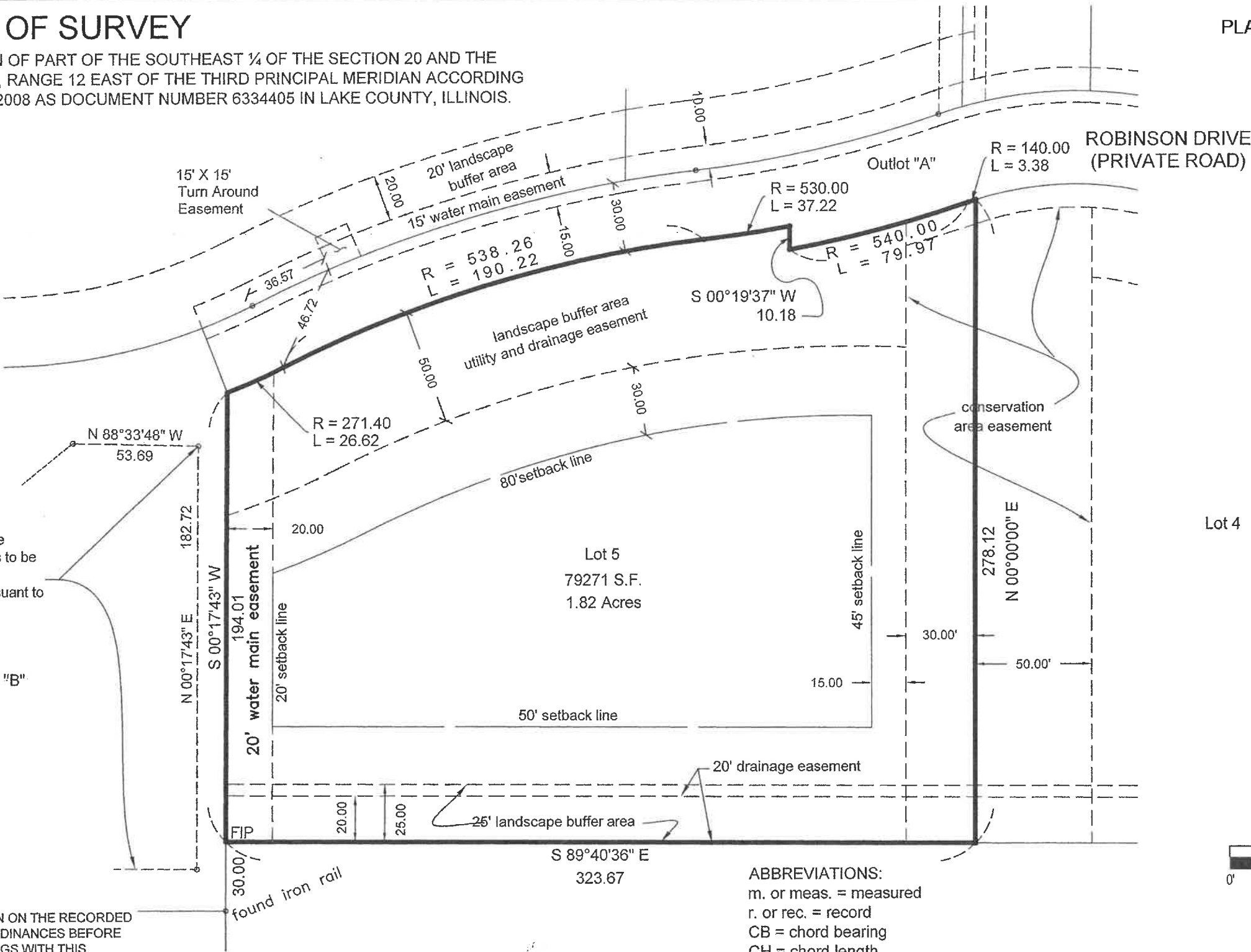


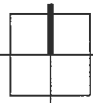
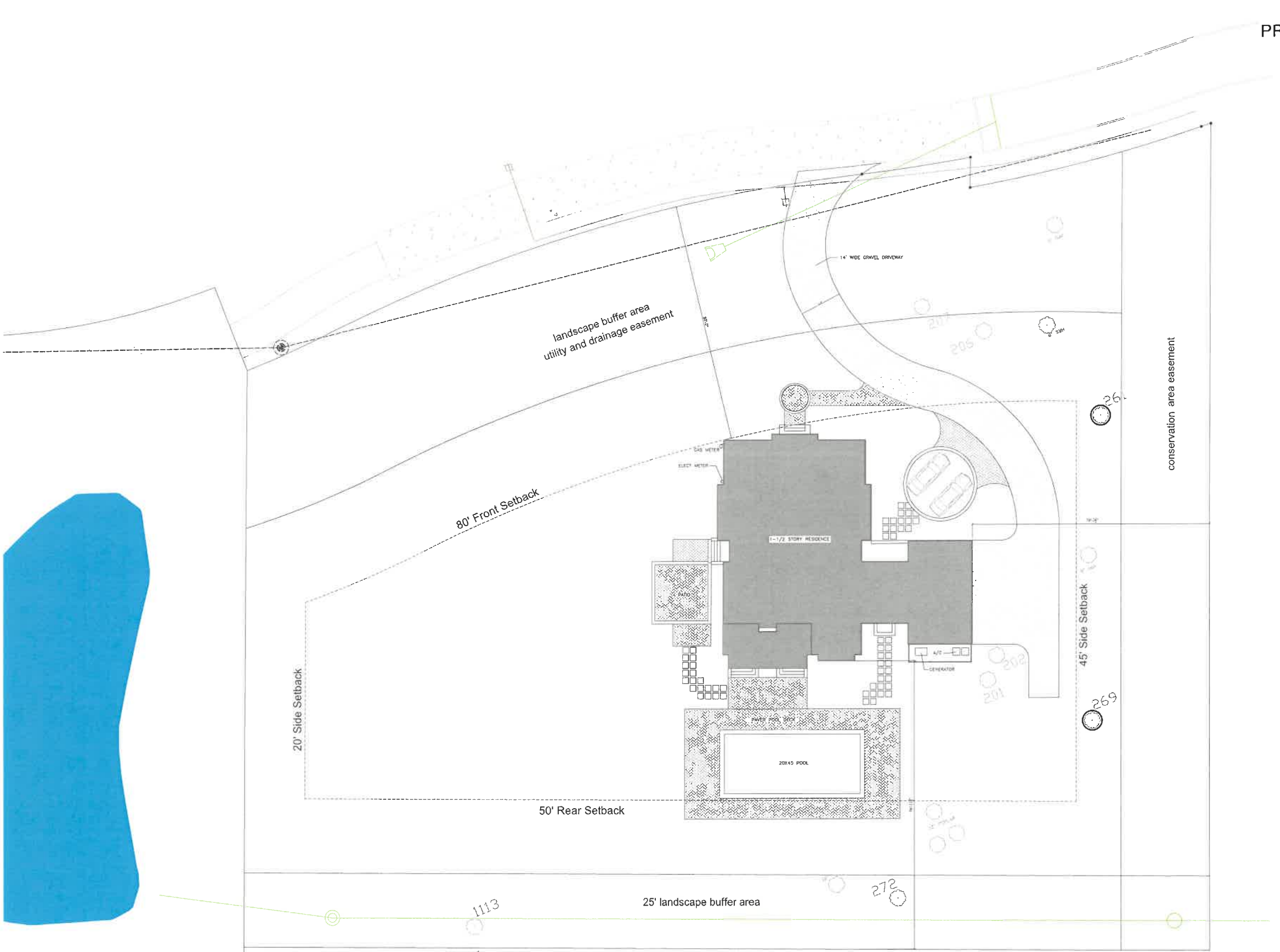
Job No. 70-532



Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045

T 847.295.5200 F 847.295.7081
www.bleckeng.com





PROPOSED SITE PLAN

THE REYNOLDS RESIDENCE
335 ROBINSON DRIVE LAKE FOREST, ILLINOIS





REYNOLDS ARCHITECTURE
DESIGN AND CONSTRUCTION

Impervious Surface Calculations

335 Robinson Drive
Lake Forest, Illinois

Lot Size 79,271 sf

Proposed Impervious Lot Area

House	4,300 sf
Driveway (Gravel)	3,452 sf
Parking Pad (Gravel)	490 sf
Parking Pad Apron (pavers)	230 sf
Pool Deck	1,764 sf
Patios (pavers)	878 sf
Stoops/Rear Screened Porch	690 sf
Front Walk	255 sf
<hr/>	
Total	12,059 sf
% of Lot	15.21%

5/14/21	HPC REVIEW
7/12/21	HPC REVIEW

28' ABOVE 1ST FLOOR

19' ABOVE 1ST FLOOR



NORTH ELEVATION



DOUGLAS
REYNOLDS
ARCHITECT

1765 MAPLE STREET
SUITE 200
NORTHFIELD, ILLINOIS 60063
VOICE 847.503.3190
RaynoldsArchitecture.com

The Reynolds Residence
335 Robinson Drive Lake Forest, Illinois

EXTERIOR ELEVATIONS

Sheet

A3.0



PROPOSED EAST ELEVATION

Revisions

5/14/21	HPC REVIEW
7/12/21	HPC REVIEW



EAST ELEVATION



DOUGLAS
REYNOLDS
ARCHITECT
1765 MAPLE STREET
SUITE 200
NORTHFIELD, ILLINOIS 60093
VOICE 847.501.3150
ReynoldsArchitecture.com

The Reynolds Residence
335 Robinson Drive Lake Forest, Illinois

EXTERIOR ELEVATIONS

Sheet

A3.3

PROPOSED EAST ELEVATION RENDERING



5/14/21	HPC REVIEW
7/12/21	HPC REVIEW



**DOUGLAS
REYNOLDS
ARCHITECT**
1763 MAPLE STREET
SUITE 200
NORTHFIELD, ILLINOIS 60093
VOICE 847.501.3159
ReynoldsArchitecture.com

The Reynolds Residence
335 Robinson Drive Lake Forest, Illinois

EXTERIOR ELEVATIONS

Sheet

A3.2

PROPOSED SOUTH ELEVATION RENDERING



5/14/21	HPC REVIEW
7/12/21	HPC REVIEW

28' ABOVE 1ST FLOOR

19' ABOVE 1ST FLOOR

FIRST FLOOR

FIRST FLOOR

WEST ELEVATION





DOUGLAS
REYNOLDS
ARCHITECT

1765 MAPLE STREET
SUITE 200
NORTHFIELD, ILLINOIS 60093
VOICE 847.501.3150
ReynoldsArchitecture.com

The Reynolds Residence
335 Robinson Drive Lake Forest, Illinois

EXTERIOR ELEVATIONS

Sheet

A3.1

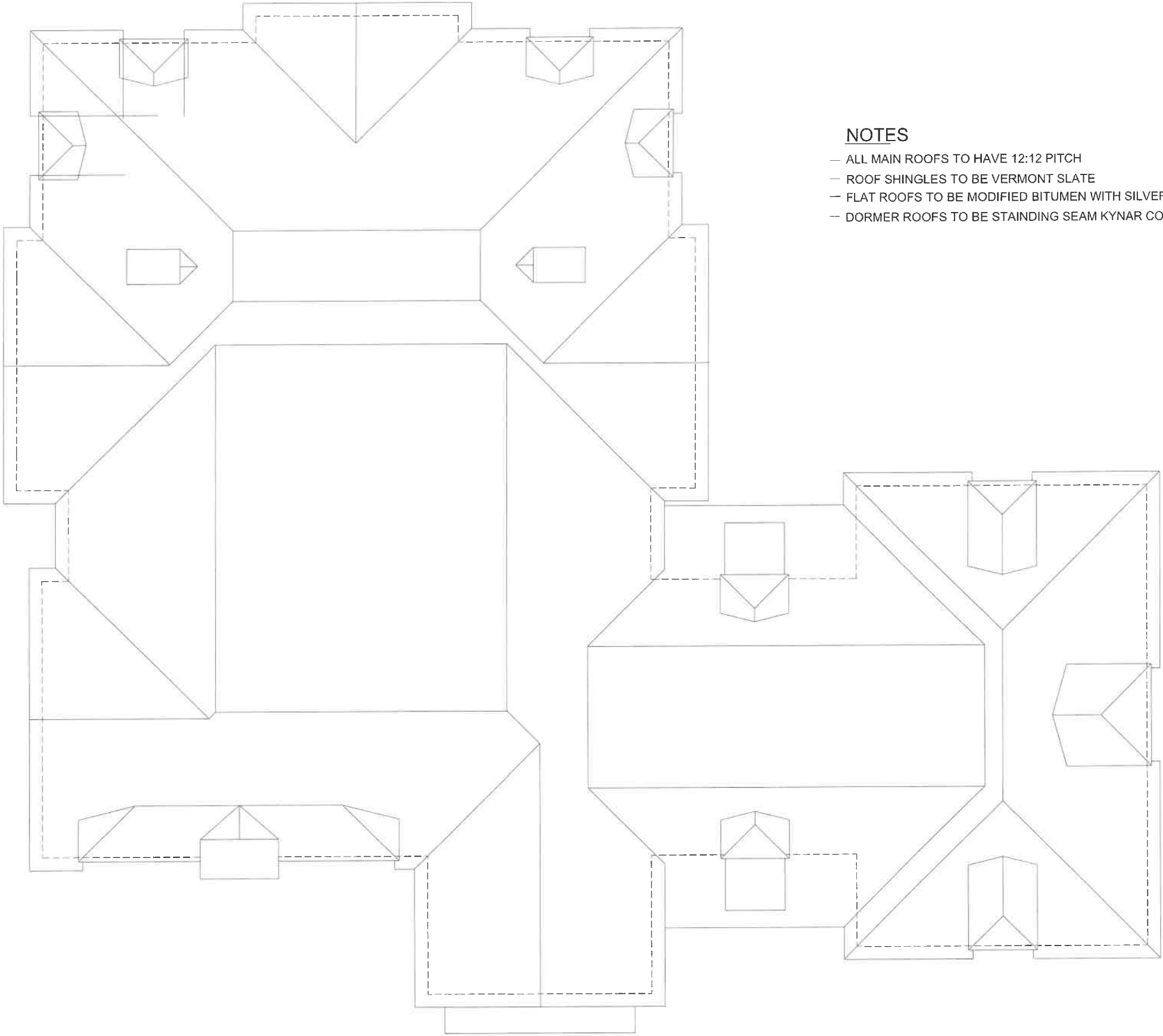








5/14/21	HPC REVIEW
7/12/21	HPC REVIEW



NOTES

- ALL MAIN ROOFS TO HAVE 12:12 PITCH
- ROOF SHINGLES TO BE VERMONT SLATE
- FLAT ROOFS TO BE MODIFIED BITUMEN WITH SILVER COATING
- DORMER ROOFS TO BE STANDING SEAM KYNAR COATED ALUMINUM



DOUGLAS
REYNOLDS
ARCHITECT

1765 MAPLE STREET
SUITE 200
NORTHFIELD, ILLINOIS 60093
VOICE 847.501.3150
ReynoldsArchitecture.com

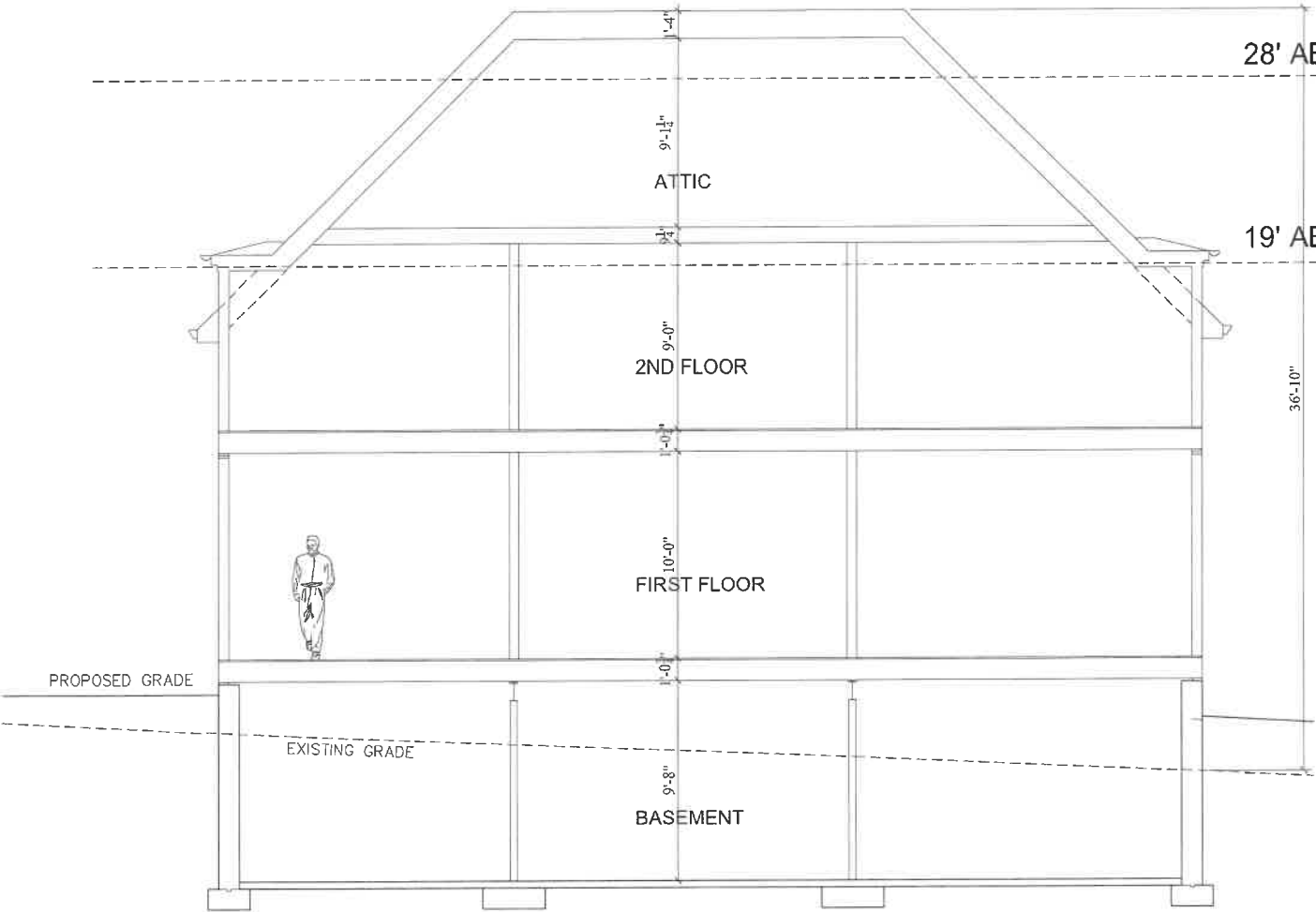
The Reynolds Residence
335 Robinson Drive Lake Forest, Illinois

ROOF PLAN
Sheet

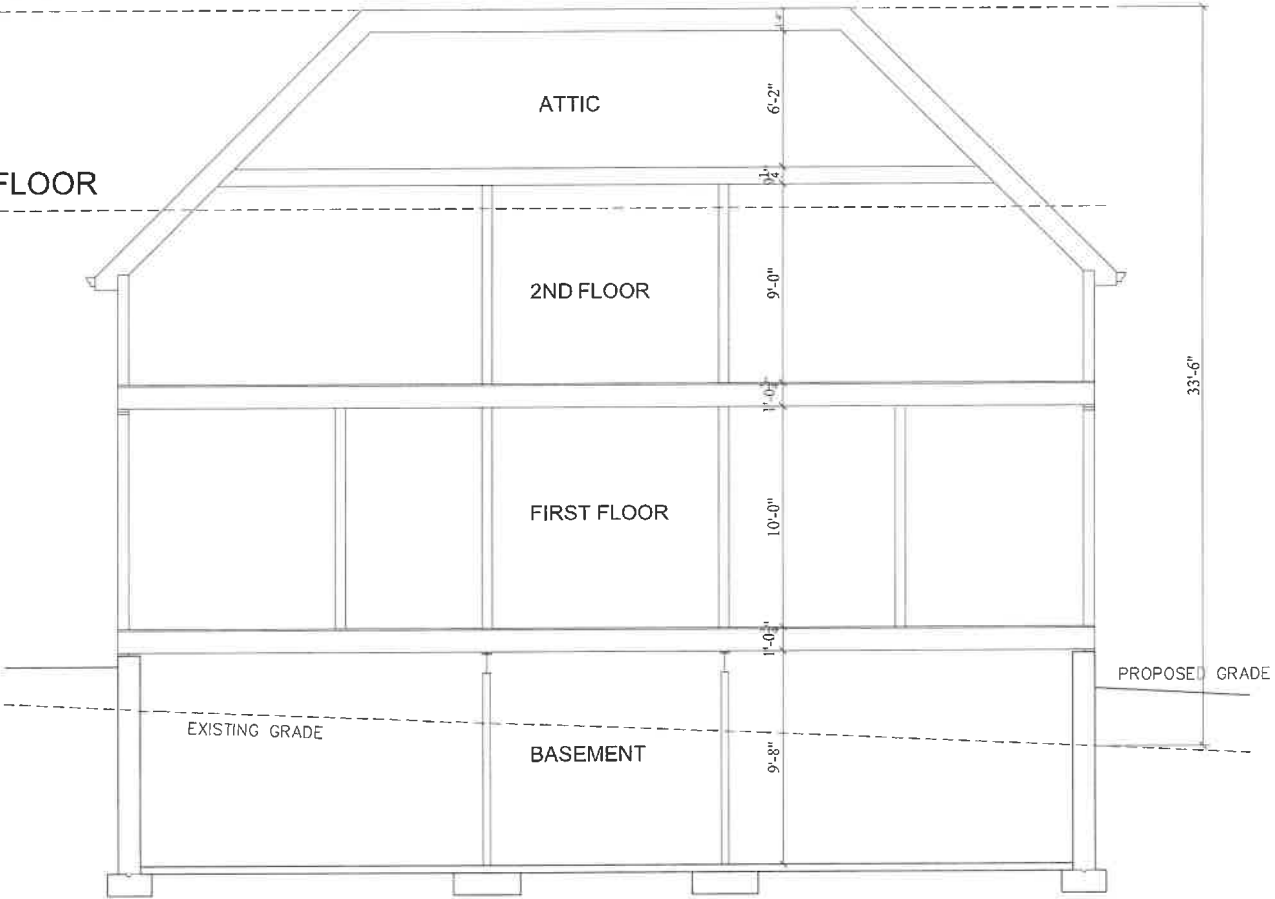


PROPOSED ROOF PLAN
THE REYNOLDS RESIDENCE
335 ROBINSON DRIVE LAKE FOREST, ILLINOIS

5/14/21	HPC REVIEW
7/12/21	HPC REVIEW



EAST -WEST BUILDING SECTION 1



EAST -WEST BUILDING SECTION 2



DOUGLAS
REYNOLDS
ARCHITECT

1765 MAPLE STREET
SUITE 200
NORTHFIELD, ILLINOIS 60093
VOICE: 847.503.3150
RaymondArchitecture.com

The Reynolds Residence

335 Robinson Drive Lake Forest, Illinois

BUILDING SECTIONS

Sheet

A3.4

SITE SECTION

Revisions

5/14/21	HPC REVIEW
7/13/21	HPC REVIEW





DOUGLAS
REYNOLDS
ARCHITECT

1765 MAPLE STREET
SUITE 200
NORTHFIELD, ILLINOIS 60093
VOICE 847.501.3150
ReynoldsArchitecture.com

The Reynolds Residence
335 Robinson Drive Lake Forest, Illinois

SITE SECTION

Sheet

A4.0



FIRST FLOOR PLAN

Revisions

5/14/21	HPC REVIEW
7/12/21	HPC REVIEW



DOUGLAS
REYNOLDS
ARCHITECT
1765 MAPLE STREET
SUITE 200
NORTHFIELD, ILLINOIS 60093
VOICE 847.501.3156
ReynoldsArchitecture.com

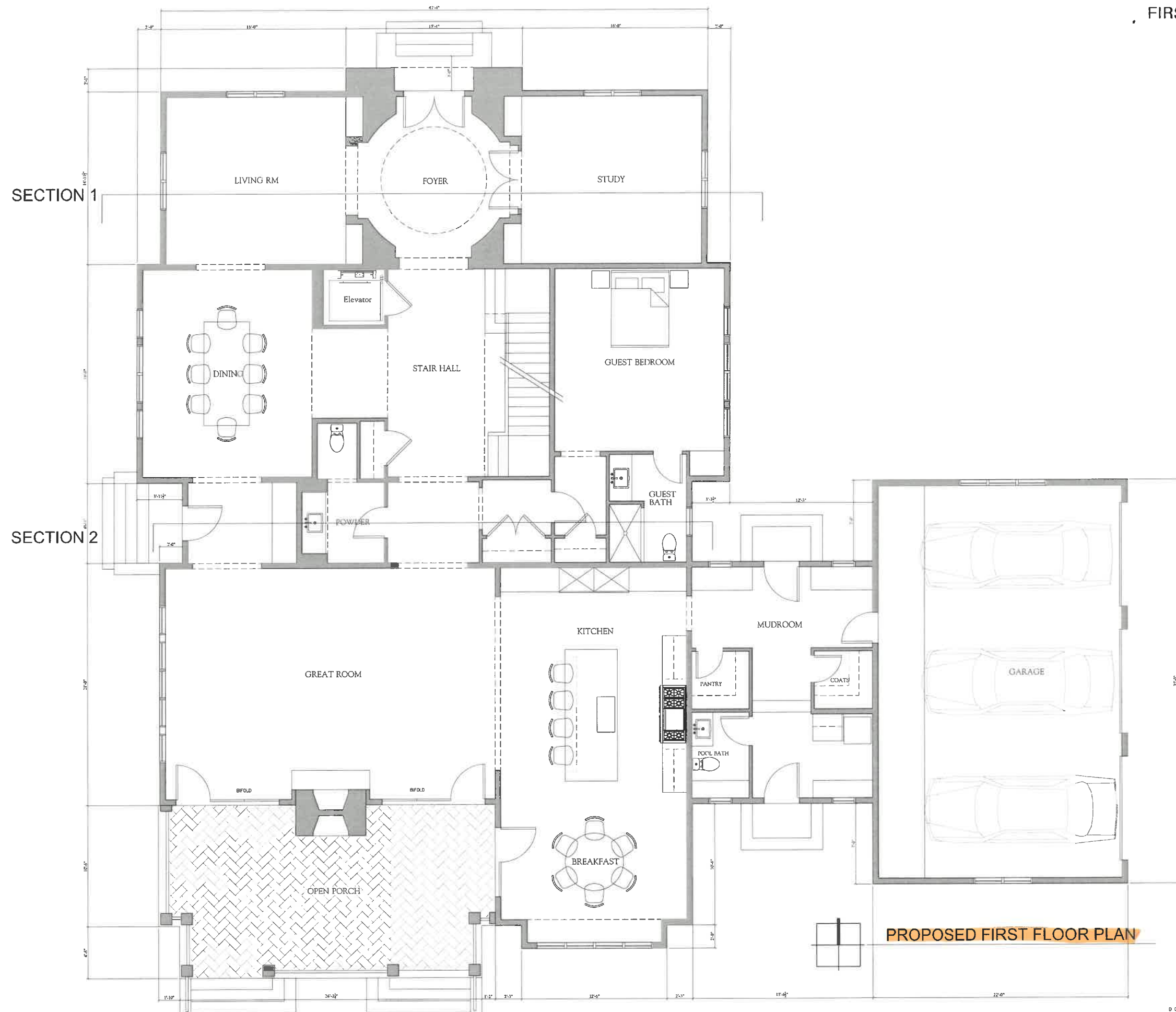
The Reynolds Residence
335 Robinson Drive Lake Forest, Illinois

FIRST FLOOR PLAN

Sheet

A2.0

DOUGLAS REYNOLDS ARCHITECTS 2021



5/14/21	HPC REVIEW
7/12/21	HPC REVIEW



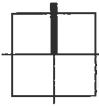
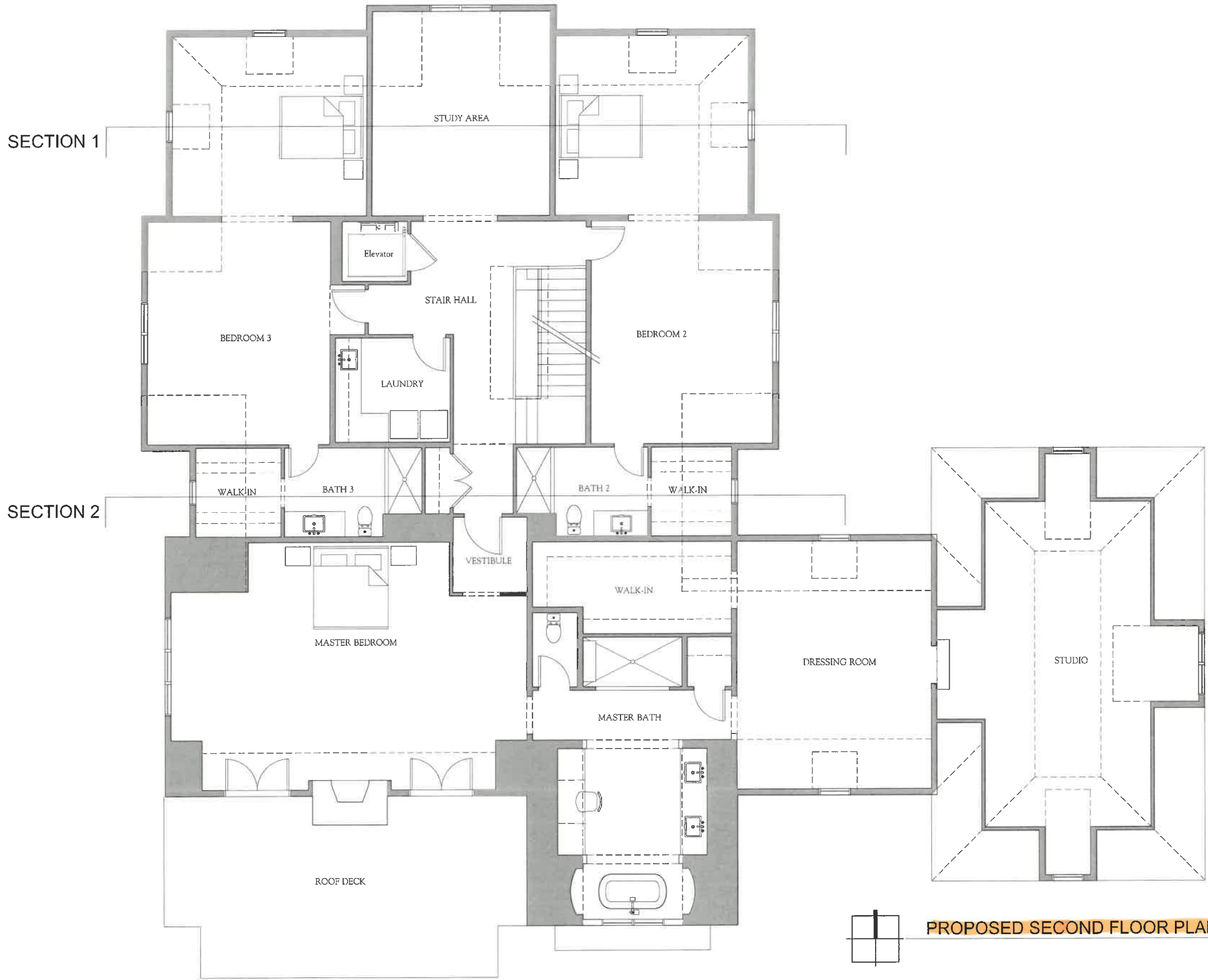
DOUGLAS
REYNOLDS
ARCHITECT
1755 MAPLE STREET
SUITE 200
NORTHFIELD, ILLINOIS 60093
VOICE 847.501.3180
ReynoldsArchitecture.com

The Reynolds Residence
335 Robinson Drive Lake Forest, Illinois

2ND FLOOR PLAN

Sheet

A2.1

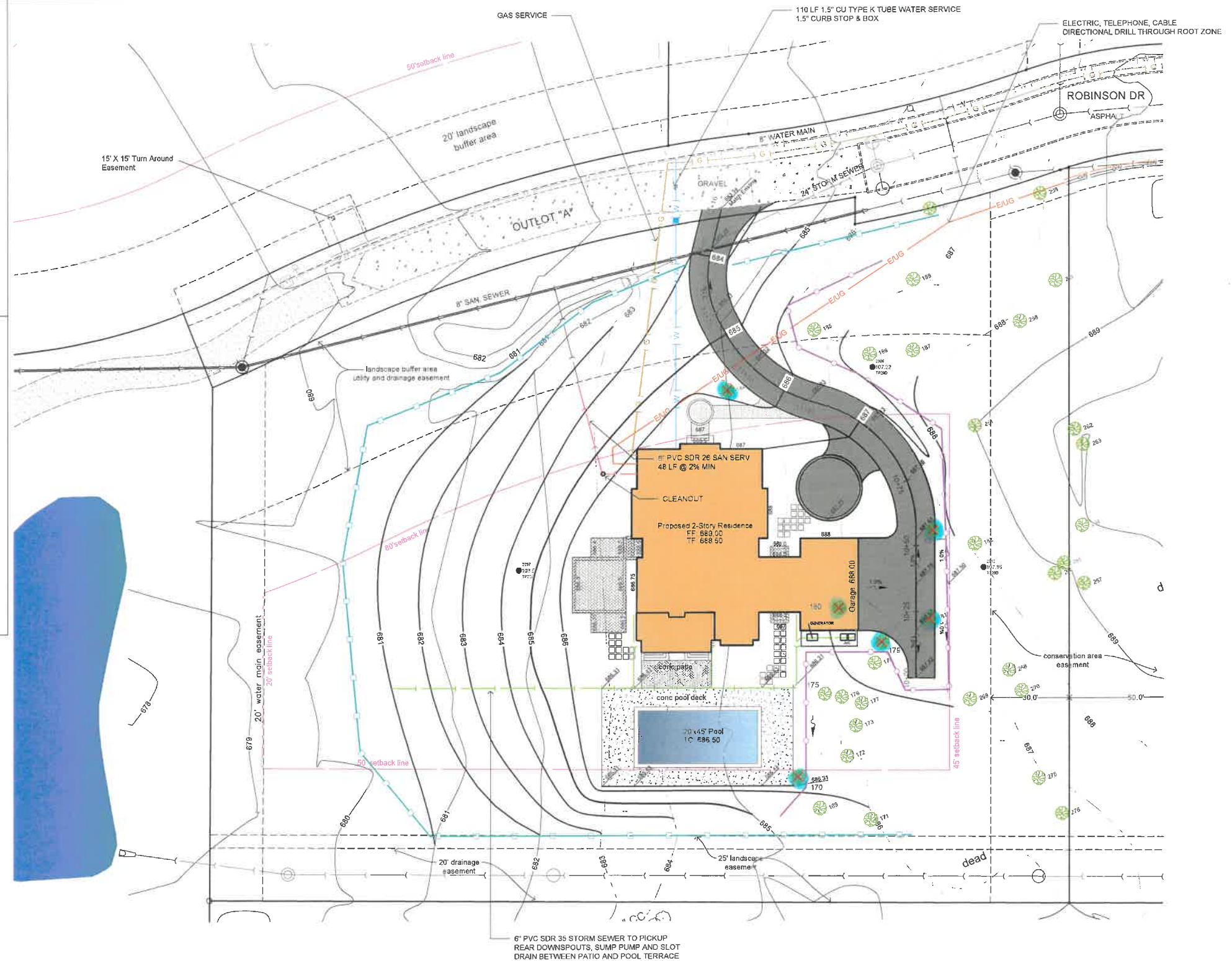


PROPOSED SECOND FLOOR PLAN

PRELIMINARY SITE GRADING & TREE REMOVAL PLAN

Tree Inventory LOT S-335 Robinson Lake Forest, 16.6004E				
Tag No.	Common Name	Scientific Name	DBH	Condition
160	Green Ash	<i>Fraxinus pennsylvanica</i>	16"	0-dead
169	Black Cherry	<i>Prunus serotina</i>	13"	0-dead
160	Green Ash	<i>Fraxinus pennsylvanica</i>	10"	0-dead
161	Black Cherry	<i>Prunus serotina</i>	14.5"	2-heavy deadwood
162	Green Ash	<i>Fraxinus pennsylvanica</i>	18.5"	0-dead
163	Hawthorn	<i>Crataegus</i>	13"	2-heavy deadwood
164	Green Ash	<i>Fraxinus pennsylvanica</i>	14.5"	0-dead
165	Green Ash	<i>Fraxinus pennsylvanica</i>	12.5"	0-dead
166	White Oak	<i>Quercus alba</i>	6.5"	3-minor deadwood
167	Pin Oak	<i>Quercus palustris</i>	15.5"	2-heavy deadwood
168	Green Ash	<i>Fraxinus pennsylvanica</i>	18.5"	0-dead
168	White Birch	<i>Betula papyrifera</i>	9"	3-minor deadwood
170	Red Oak	<i>Quercus rubra</i>	8"	3-minor deadwood
171	Shepherd's Hickory	<i>Carya ovata</i>	11"	3-minor deadwood
172	Shepherd's Hickory	<i>Carya ovata</i>	10.5"	3-minor deadwood
173	Quaking Aspen	<i>Populus tremuloides</i>	8"	0-dead
174	Quaking Aspen	<i>Populus tremuloides</i>	10"	0-dead
175	Quaking Aspen	<i>Populus tremuloides</i>	8"	0-dead
176	Quaking Aspen	<i>Populus tremuloides</i>	8"	0-dead
177	Quaking Aspen	<i>Populus tremuloides</i>	10.5"	0-dead
178	But Oak	<i>Quercus macrocarpa</i>	8"	2-heavy deadwood
179	Shepherd's Hickory	<i>Carya ovata</i>	11.5"	3-minor deadwood
180	Red Oak	<i>Quercus rubra</i>	7"	4-minor deadwood
181	Shepherd's Hickory	<i>Carya ovata</i>	9"	4-minor deadwood
182	Red Oak	<i>Quercus rubra</i>	9.5"	3-minor deadwood
183	Red Oak	<i>Quercus rubra</i>	9.5"	2-heavy deadwood
184	Red Oak	<i>Quercus rubra</i>	12.5"	3-minor deadwood
185	Black Cherry	<i>Prunus serotina</i>	17"	2-heavy deadwood
186	Pin Oak	<i>Quercus palustris</i>	15.5"	2-heavy deadwood
187	Shepherd's Hickory	<i>Carya ovata</i>	8"	3-minor deadwood
188	But Oak	<i>Quercus macrocarpa</i>	8"	3-minor deadwood
189	Shepherd's Hickory	<i>Carya ovata</i>	11"	3-minor deadwood


Tree Inventory LOT 5-335 Robinson Lata Forest, 11 6000S			
256	White Oak	Quercus alba	20.5'
257	Shagbark Hickory	Carya ovata	22'
260	Red Oak	Quercus rubra	23"
258	Red Oak	Quercus rubra	32"
261	Red Oak	Quercus rubra	32"
262	White Oak	Quercus alba	21.5'
263	Bur Oak	Quercus macrocarpa	23"
264	Bur Oak	Quercus macrocarpa	23"
265	White Oak	Quercus alba	19"
266	White Oak	Quercus alba	19.5'
267	Bur Oak	Quercus macrocarpa	23"
268	Bur Oak	Quercus macrocarpa	28.5'
270	Bur Oak	Quercus macrocarpa	33"
275	White Oak	Quercus alba	24"
276	Red Oak	Quercus rubra	27"
1112	Bur Oak	Quercus macrocarpa	13"



- ① **STABILIZED CONSTRUCTION ENTRANCE**
Use existing driveway
- ② **TREE PRESERVATION & CONSTRUCTION LIMITS FENCE**
Temporary 4' Tall Green Snow Fence w/ Steel Posts
- ③ **SILT FILTER FENCE**
Shall comply with AASHTO Standard M 288-00
- ④ **MUD AND DUST CONTROL**
- ⑤ **TEMPORARY INLET PROTECTION**
All open lid structures to have Catch All Baskets or approved equal.
- ⑥ **EROSION CONTROL BLANKET**
North American Green S75

Notes:

1. Downspouts in to splash at grade unless otherwise shown. Provide concrete splash pad at discharge.
2. For downspouts tying into sewer system, provide 2" air gap.

 SILT FENCE

 TREE FENCE

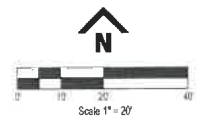
BLECK

engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 W bleckeng.com

335 Robinson Drive

Lake Forest, IL



BENCHMARK:
ELEVATION = Arrow Nail On Fire Hydrant on
East Side of Green Bay Road Approximately
130 feet South of Entrance to 1510 North
Green Bay Road: 715.11'

ISSUED DATE	ISSUED FOR
05.28.2021	HPC

PROFESSIONAL SEAL

"To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."

Michael G. Bleck, PE 05.28.2021

License No. 002-040873 Expires 11/08/21

© 2021 Black Engineering Company, Inc. All Rights Reserved
 (Linear Professional) Design Firm 184-000111

DOUG REYNOLDS
1765 Maple Street Suite 200
Northfield, IL 60093

70-532-5	Project No.
mgb	Drawn By
MB	Checked By

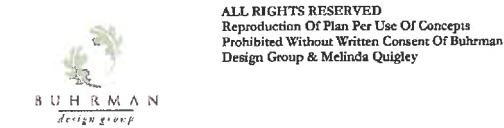
Drawing No.

3

Drawing Name

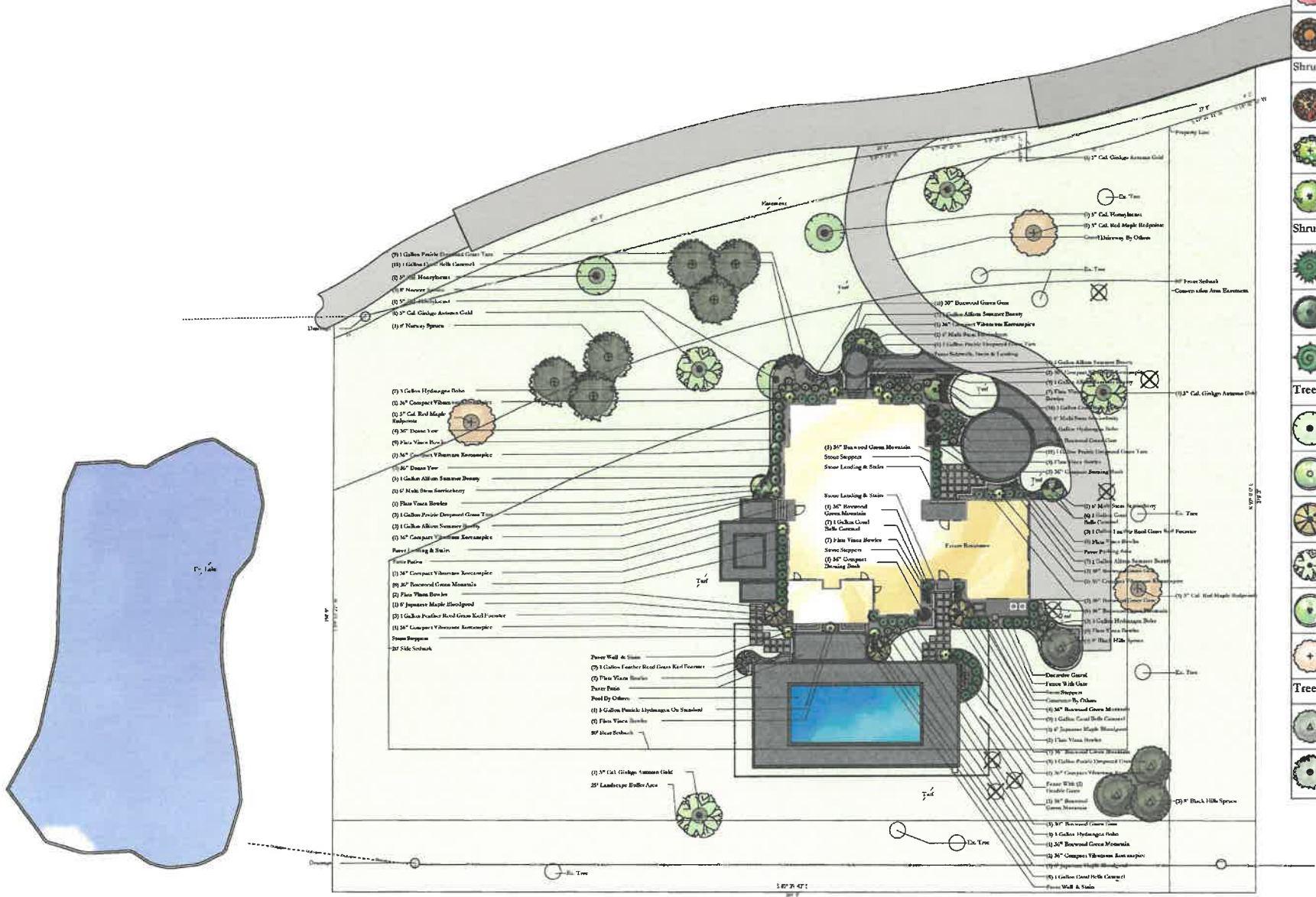
Site Grading Plan

Tag No.	Common Name	Scientific Name	DBH	Condition
158	Green Ash	Fraxinus pennsylvanica	16"	0-dead
159	Black Cherry	Prunus serotina	13"	0-dead
160	Green Ash	Fraxinus pennsylvanica	16"	0-dead
161	Black Cherry	Prunus serotina	14.5"	2-heavy deadwood
162	Green Ash	Fraxinus pennsylvanica	16.5"	0-dead
163	Hawthorn	Crataegus	13"	2-heavy deadwood
164	Green Ash	Fraxinus pennsylvanica	14.5"	0-dead
165	Green Ash	Fraxinus pennsylvanica	12.5"	0-dead
166	White Oak	Quercus alba	8.5"	3-minor deadwood
167	Pin Oak	Quercus palustris	15.5"	2-heavy deadwood
168	Green Ash	Fraxinus pennsylvanica	16.5"	0-dead
169	White Birch	Betula papyrifera	8"	3-minor deadwood
170	Red Oak	Quercus rubra	8"	3-minor deadwood
171	Shagbark Hickory	Carya ovata	11"	3-minor deadwood
172	Shagbark Hickory	Carya ovata	10.5"	3-minor deadwood
173	Quaking Aspen	Populus tremuloides	9"	0-dead
174	Quaking Aspen	Populus tremuloides	10"	0-dead
175	Quaking Aspen	Populus tremuloides	8"	0-dead
176	Quaking Aspen	Populus tremuloides	8"	0-dead
177	Quaking Aspen	Populus tremuloides	9.5"	0-dead
178	Bur Oak	Quercus macrocarpa	10.5"	2-heavy deadwood
179	Shagbark Hickory	Carya ovata	11.5"	3-minor deadwood
180	Red Oak	Quercus rubra	7"	4-minor deadwood
181	Shagbark Hickory	Carya ovata	7"	4-minor deadwood
182	Red Oak	Quercus rubra	9.5"	3-minor deadwood
183	Red Oak	Quercus rubra	10"	2-heavy deadwood
184	Red Oak	Quercus rubra	9.5"	3-minor deadwood
185	Black Cherry	Prunus serotina	17"	2-heavy deadwood
186	Pin Oak	Quercus palustris	15.5"	2-heavy deadwood
187	Shagbark Hickory	Carya ovata	8"	3-minor deadwood
189	Bur Oak	Quercus macrocarpa	8"	3-minor deadwood
190	Shagbark Hickory	Carya ovata	11"	3-minor deadwood
256	White Oak	Quercus alba	20.5"	2-heavy deadwood
298	Shagbark Hickory	Carya ovata	23"	2-heavy deadwood
260	Red Oak	Quercus rubra	23"	2-heavy deadwood
258	Red Oak	Quercus rubra	32"	2-heavy deadwood
261	Red Oak	Quercus rubra	32"	2-heavy deadwood
262	White Oak	Quercus alba	21.5"	2-heavy deadwood
263	Bur Oak	Quercus macrocarpa	23"	2-heavy deadwood
264	Bur Oak	Quercus macrocarpa	23"	2-heavy deadwood
265	White Oak	Quercus alba	19"	2-heavy deadwood
266	White Oak	Quercus alba	19.5"	2-heavy deadwood
267	Bur Oak	Quercus macrocarpa	25"	2-heavy deadwood
269	Bur Oak	Quercus macrocarpa	28.5"	1-large cavity in trunk
270	Bur Oak	Quercus macrocarpa	33"	0-dead
275	White Oak	Quercus alba	24"	2-heavy deadwood
276	Red Oak	Quercus rubra	23"	2-heavy deadwood
1112	Bur Oak	Quercus macrocarpa	13"	3-minor deadwood



20200 W. Winchester Rd. | Mundelein, IL 60060
847-949-9245
info@buhmandesigngroup.com

NOTE:
Plant Substitution May Be Used. Installation
Sizes On Plants See Contractors Agreement.
Plants Shown On Design At Maturity &
Maintained Height. Plants Shown At Best
Attribute.



Plant Legend				
Symbol	Qty	Common Name	Botanical Name	Container
Groundcovers\Ornamental Grass				
	38	Dwarf Prairie Dropseed Grass Tara	Sporobolus heterolepis Tara	1 Gallon
	15	Feather Reed Grass Karl Foerster	Calamagrostis acutiflora Karl Foerster	1 Gallon
Groundcovers\Perennials				
	49 Flats (24 Cell Count)	Vinca Bowles	Vinca minor Bowles	Flat
Herbaceous\Perennials				
	40	Allium Summer Beauty	Allium Summer Beauty	1 Gallon
	57	Coral Bells Caramel	Heuchera Caramel	1 Gallon
Shrubs\Deciduous				
	4	Compact Burning Bush	Euonymus alatus Compactus	36"
	21	Hydrangea Bobo	Hydrangea paniculata ILVOBO	3 Gallon
	11	Compact Koreanspice Viburnum	Viburnum carlesii Compacta	36"
Shrubs\Evergreen				
	33	Boxwood Green Mountain	Buxus microphylla x. B. sempervirens Green Mountain	36"
	7	Dense Yews	Taxus x media Densiformis	36"
	25	Littleleaf Boxwood Green Gem	Buxus microphylla x. B. sempervirens Green Gem	30"
Trees\Deciduous				
	3	Honey Locust	Gleditsia triacanthos inermis	3" Cal.
	1	Hydrangea On Standard Tree	Hydrangea paniculata On Stadard Tree	5 Gallon
	3	Japanese Maple Blood Good	Acer palmatum var. atropurpureum Bloodgood	6'
	4	Maidenhair Autumn Gold	Ginkgo biloba Autumn Gold	3" Cal.
	4	Multi Stem Serviceberry	Amelanchier canadensis	6'
	3	Red Maple Redpointe	Acer rubrum Frank Jr.	3" Cal.
Trees\Evergreen				
	4	Black Hills Spruce	Picea glauca var. Densata	8'
	6	Norway Spruce	Picea abies	8'

Artisan Concept Design.
Actual Design Measurements,
Materials & Installation May
Vary.

335 Robinson Dr. Lake Forest. IL 60045
Date: 7-3-2021
Scale: 1/20" = 1'.0
Designed By: Marion Gorski | Melinda Quigley
24 x 36 Landscape

Agenda Item 4
901 Spring Lane
Partial Demolition, Additions, Alterations
Building Scale Variance

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner
Application
Statement of Intent
Description of Exterior Materials
Photographs
Plat of Survey – Existing Conditions
Proposed Site Plan
Existing Elevations
Proposed East Elevation
Proposed East Color Elevation
East Elevation Overlay
Proposed South Elevation
South Elevation Overlay
Proposed West Elevation
West Elevation Overlay
Proposed North Elevation
North Elevation Overlay
Proposed Roof Plan
Proposed Floor Plans
Tree Removal Plan
Partial Preliminary Landscape Plan
Renderings

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grieve and Members of the Historic Preservation Commission
DATE:	July 12, 2021
FROM:	Jennifer Baehr, Planner
SUBJECT:	901 Spring Lane Partial Demolition, Additions, Alterations and Building Scale Variance

Property Owners

Natalie and Justin Hagstrom
901 Spring Lane
Lake Forest, IL 60045

Property Location

901 Spring Lane

Historic Districts

East Lake Forest Local &
National Historic District

Project Representative

Scott Streightiff, Architect
555 Oakwood Avenue
Lake Forest, IL 60045

Summary of the Request

This is a request for a Certificate of Appropriateness for a partial demolition of the residence, significant additions to the south and west sides of the home, and expansion of the second floor. A building scale variance is also requested. On the first floor, the additions will accommodate a new three car garage and a new family room. The expansion of the second floor will accommodate a master bedroom suite, additional bedrooms, and bathrooms. As an alternative to a full demolition, the petitioner brought forward this request to reuse some portions of the existing structure, while making significant improvements to allow the house to meet the needs of the new owners. Modifications to the architectural style, materials, and roof forms are proposed as well as changes to the site configuration of the driveway and the addition of a new motor court at the front of the house.

The petitioner's statement of intent indicates that some repair work to the historic accessory structure located at the rear of the property and rehabilitation of the existing pool are also planned. Based on information provided by the petitioner, the repair and restoration work are not part of the immediate project. will occur at a later date. Plans that detail the extent of the repair work and rehabilitation of the pool have not yet been submitted, when they are, depending on the scope of work, Commission review may be required.

The existing house is nonconforming with respect to the lot-in-depth setback requirements. The Zoning Board of Appeals recently considered and unanimously recommended approval of zoning variances to allow construction of the three car garage partially within the setback subject to review and approval by the Historic Preservation Commission.

Description of the Property and Surrounding Area

This property is located at the west end of Spring Lane. It is accessed by a shared drive off of Mayflower Road that serves this property and another property to the east. The property is approximately 2 acres in size and includes a portion of a ravine along the west property line. The

existing residence was constructed in 1954 and was designed by architect Jerome Cerny. During the 1990's, the home was extensively remodeled, and the appearance of the home changed significantly. Today, almost nothing remains from Cerny's original design. The changes made in the 1990s significantly compromised the integrity of the original Cerny design and as a result, the property is not designated as a Contributing Structure to the Historic District. The current version of the house is less than 50 years old. The petitioner engaged a preservation consultant to prepare a Historic Resource Evaluation. The report reviews the history of the property and details the changes made to the home over the years. The report is included in the Commission's packet.

There is an existing accessory structure on the north side of the property. The accessory structure was designed by architect David Adler. It is unclear when the accessory structure was built, although the Historic Resource Evaluation provided by the petitioner indicates that the structure was likely built in the late 1920s.

Staff Review

The statement of intent and supporting materials submitted by the petitioner are included in the Commissioners' packets and provide detailed information. A summary of the project based on the information provided by the petitioner is presented below.

Proposed Demolition

Calculations provided by the petitioner note that approximately 35 percent of the residence will be demolished as part of the proposed project. The City Code defines a full demolition as more than 50 percent of the total structure; therefore, the petition is considered a **partial demolition**.

Demolition Criteria 1 -- Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the city and the state.

This criteria is satisfied. As noted above, the remodeling of the home completed in the 1990s severely compromised the architectural integrity of the house. The exterior of the home mostly reflects the work completed in the 1990s and does not present any notable features or detailing.

Demolition Criteria 2 -- Whether the property, structure or object contributes to the distinctive historic, cultural, architectural or archeological character of the District as a whole and should be preserved for the benefit of the people of the city and the state.

This criteria is satisfied. The residence does not contribute in a distinctive way to the character of the Historic District. The home is not prominent on the streetscape given its location on a lot in depth, away from the street and behind adjacent properties.

Demolition Criteria 3 -- Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable District.

This criteria is satisfied. The demolition of the residence is not be contrary to the purpose and intent of the Preservation Chapter of the Lake Forest Code. The residence does not display any historical or architectural significance making it worthy of preservation.

Demolition Criteria 4 -- Whether the property, structure or object is of such old, unusual or

uncommon design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.

This criteria is satisfied. The residence is not of such old, unusual, or uncommon design, texture, or material that it could not be reproduced without great difficulty or expense. The residence could be replicated. The residence was originally constructed in 1954 but significantly altered in the 1990s.

Demolition Criteria 5 -- Except in cases where the owner has no plans for a period of up to five years to replace an existing Landmark or property, structure or object in a District, no Certificate of Appropriateness shall be issued until plans for a replacement structure or object have been reviewed and approved by the Commission.

This criteria is pending review by the Commission. Additions and alterations are proposed to the existing residence and are subject to review and approval by the Commission.

Proposed Additions and Alterations

The petitioner is proposing to reconfigure all of the existing interior spaces. The existing front facing garage is located on the north side of the house and is visible when entering the site. With the interior renovation of the home, the existing three car garage will be converted into a sports court and a new three car garage addition is proposed on the south side of the house. Based on the petitioner's statement of intent, the siting of the garage addition is intended to create a more formal approach to the home and a less prominent service area with the garage.

The petitioner is also proposing an addition on the west (rear) side of the residence that will house a new family room facing the rear yard. A pergola structure is proposed on the south side of the new family room addition. The existing screen porch on the rear of the home is proposed to be enclosed and converted into a guest bedroom.

The existing residence will be converted one-and-a-half stories to two-and-a-half stories. The existing second floor will be completely reconfigured and expanded to house a new master bedroom suite, three bedrooms, and bathrooms.

The exterior alterations include new windows and doors, new exterior materials, modifications to the roof massing, a new exterior color palette, a new entry element and covered porches on the front elevation, and various design elements including single gable dormers and shutters on the windows.

Site Plan

The building footprint will increase by approximately 1,745 square feet as a result of the proposed additions. The existing curb cut will be maintained and the driveway on the property will be reconfigured. A new motor court is proposed at the front of the house, centered on the new front entry.

The site plan provided by the architect shows a different driveway configuration than what is reflected on the landscape plan.

- Clarification is requested on the proposed configuration of the driveway and motor court.

Pillars are reflected on the conceptual landscape plan, on the north and south sides of the motor court. A terrace is proposed on the rear of the home. An outdoor fireplace is proposed on the north side of the addition, on the rear of the home.

- Clarification is requested regarding the proposed materials and height for the pillars.

The site plan and information submitted by the petitioner shows that the amount of impervious surface on the site will increase from 16,201 square feet, equal to 18 percent of the lot area, to 21,839 square feet, equal to 24 percent of the lot area. The building footprint increases from 5,535 square feet to 7,468 square feet, including the square footage of the historic accessory structure. The paved surfaces, including the driveway, motor court, pool, and terrace increases from 10,666 square feet to 14,371 square feet.

Findings

A staff review of the Historic Preservation standards in the City Code is provided below. As appropriate, findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height.

This standard is met. The overall height of the residence will increase from 25 feet to 35 feet at the highest point, as a result of the reconstructed roof and will be below the maximum height of 40 feet permitted for a lot of this size. The height of the proposed residence is compatible with the surrounding homes, most of which are two and two-and-a-half stories tall.

As noted above, information is needed on the height of the pillars.

Standard 2 - Proportion of front façade.

This standard is met. The proposed alterations to the front elevation improve the overall balance of the front façade and present a clear hierarchy of masses.

Standard 3 – Proportion of openings.

This standard is met. The elevations present a variety of opening shapes and sizes. Although the openings vary in size and shape, they generally present vertical proportions.

Standard 4 – Rhythm of solids to voids.

This standard is met. The elevations generally present openings that are evenly spaced and aligned between the first and second floors. New skylights are proposed in the master bathroom as reflected on the south elevation and the roof plan. Skylights in some cases are a source of irritation for neighbors due to light spillover and can be inconsistent with the dark sky character of the Historic District. As proposed, the skylights are located on one of the south facing, taller main roof forms, and could be a source of light spillover and could impact the neighboring home.

Standard 5 – Rhythm of spacing and structures on streets.

This standard is met. The proposed additions extend to the west and south of the residence. Given that the location of the property is minimally visible from the street, the proposed additions do not visually impact the appearance of spacing of structures along the streetscape.

Standard 6 – Rhythm of entrance porches.

This standard is met. The front entrance to the home projects slightly from the main mass of the residence. A stone surround is proposed at the front door. A covered porch is proposed on the

front elevation at a secondary entrance to the home. The porch provides an element that reflects a human scale and breaks up the façade with an open structure.

Standard 7 – Relationship of materials and textures.

This standard is met. The proposed additions and modifications will be constructed of natural materials consistent with the quality of materials found in the surrounding neighborhood. The exterior walls are lime wash brick with some stone accents. The roof is wood shingle. Aluminum clad wood windows with interior and exterior muntin bars are proposed. Limestone is proposed for door and window trim. Wood rakeboards, fascia and soffits are proposed. The gutters and downspouts are copper. The chimneys are lime wash brick. The cupola is copper.

The driveway is a combination of asphalt and crushed stone. Bluestone is proposed for the walkways and rear terrace.

Standard 8 – Roof shapes.

This standard is met. A series of gable and hip roof forms are proposed around the residence with a clear hierarchy of roof forms. A cupola is proposed on the single story mass on the north end of the home.

Standard 9 – Walls of continuity.

This standard is met. The massing, scale, and detailing are consistent on all elevations of the house.

Standard 10 – Scale.

A building scale variance is requested.

- The allowable square footage based on the size of the property is 7,862 square feet. The allowable square footage is based on the total lot area. In this case, the total lot area contains table and non-table land. Non-table land is defined in the Code as, land where the slope in any direction exceeds 10 percent. Only 50% of the non-table land is counted in the calculation of the land area.
- The existing residence is below the allowable square footage for the property by 2,826 square feet. The total square footage of the existing residence that will remain after the partial demolition including the square footage of the existing historic accessory structure is 4,194 square feet.
- A total of 800 square feet is allowed for a garage on this property. The proposed garage totals 1,032 square feet. The garage overage of 232 square feet must be added to the total square footage of the residence.
- A total of 786 square feet of design elements is permitted for this property. The proposed covered porch, covered entries and the pergola add a total of 452 square feet of design elements.
- The proposed first floor additions total 1,835 square feet. This includes the square footage of the existing garage that will be converted into a sports court and the square footage of the existing screen porch that will be converted into a guest bedroom.

- The expansion of the second floor and increased roof mass will add 4,126 square feet to the second floor space and add 575 square feet to the attic space.
- In summary, the existing house with the proposed additions and increased roof mass will total 10,962 square feet. The total square footage exceeds the allowable by 3,100 square feet. A building scale variance of 39 percent is requested.

Review of Building Scale Variance Standards

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, *Standard 1 and at least one additional standard be met. The Code does not require that all five standards be met.* These standards recognize that each project is different as is the context of each site. A staff review of the standards is provided below.

Standard 1 -- The project is consistent with the design standards of the City Code.

This standard is met. The Code and City's Design Guidelines encourage the use of design elements to bring human scale to projects and to avoid the appearance of oversized, out of scale elements. In this case, the additions and increased roof massing are designed in a manner that create a hierarchy of forms and balance on the elevations of the home. The design incorporates elements such as dormers, covered porches, and a pergola that break up the mass and bring a human scale to the appearance of the home.

Standard 2 -- Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

This standard can be met. Currently, the house has minimal visibility from the street and from adjacent properties. The existing vegetation on the property appears to effectively mitigate the appearance of the proposed additions and increased roof mass, although some vegetation is proposed for removal on the east and south sides of the house. The petitioner submitted a conceptual landscape plan that reflects new plantings around the motor court and rear terrace. Based on the conceptual landscape plan, new plantings are not currently proposed along the south side of the house. Given that the garage addition is proposed on the south side of the home, additional plantings will need to be incorporated as part of the final landscape plan to mitigate the appearance of the increased building footprint and height from the neighboring property.

Standard 3 -- New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

This standard is met. As noted above the house has minimal visibility from the streetscape. Given the expansiveness of the site, the proposed additions and increased roof mass do not appear to present an overbuilt appearance on the property. At its closest points, the house is 24 feet from the north property line and is 31 feet from the south property line. Based on the distance of the home from the property lines it does not appear that light to or views from neighboring homes are not negatively impacted.

Standard 4 -- The height and mass of the residence, garage, and accessory structures will generally be compatible with the height and mass of structures on adjacent lots,

buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

This standard is met. The proposed height and mass of the residence is compatible with the height and mass of structures on adjacent lots. As noted above, the surrounding neighborhood is comprised of many two and two-and-a-half story residences, the residence as proposed at its tallest point is 35 feet and is two-and-a-half stories tall. The building footprint of the residence as proposed is also comparable to the footprints of surrounding homes.

Standard 5 – The property is located in a local historic district or is designated as a Local Landmark and the approval of a variance would further the purpose of the ordinance.

This standard is not met. The property is located in a local historic district however the purpose of the proposed additions and alterations is not to preserve an historically significant property.

Standard 6 -- The property is adjacent to land used and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

The standard is partially met. This property is located adjacent to a ravine, a natural feature that serves to mitigate the appearance of mass when the home is viewed from across the ravine. The ravine will remain as a natural feature and cannot be filled or developed.

In summary, the criteria for a building scale variance are satisfied as detailed in the findings presented above. The first standard and three additional standards are satisfied. A fourth standard is partially met.

Standard 11 – Directional Expression of Front Elevation.

This standard met. The directional expression of the front façade is oriented east, toward the street, although the home is not visible from the streetscape.

Standard 12 – Preservation of historic material.

This standard is met. The existing residence was constructed in 1954 and little of the original materials remain today. Although the residence is more than 50 years old and is located in the historic district, the residence is not architecturally or historically significant and the integrity of the original design has been significantly compromised.

Standard 13 – Preservation of natural resources.

This standard can be met. The project will require the removal of four trees to accommodate the proposed additions and motor court. All four trees proposed for removal, including two Maples, a Katsura and Hawthorn tree are in good condition based on the tree survey provided by the petitioner and will require replacement inches to be planted on site. Based on the condition, size and species of the trees proposed for removal a total of 39 replacement inches is required.

The conceptual landscape plan that was provided by the petitioner reflects new planting around the motor court and in the rear of the house. A boxwood and hornbeam hedge are proposed around the front motor court. Shade trees are proposed on the east corners of the motor court and ornamental trees are proposed on either side of the front door. The rear terrace is bordered by a boxwood

hedge and a perennial bed. Based on the current landscape plan the total amount of replacement inches are not yet satisfied. As the landscape plan is further developed, the plan shall provide for the required replacement inches on site and substantial plantings that offer screening of the increased mass and height shall be incorporated particularly along the south property line.

Standard 14 – Compatibility.

This standard is met. The scale, high quality materials, hierarchy of massing and architectural detailing are consistent with the character of the surrounding neighborhood.

Standard 15 – Repair to deteriorated features.

This standard can be met. As noted above, the petitioner's statement of intent indicates some repair work on the historic accessory structure is planned along with future rehabilitation of the pool. Plans for this work have not yet been submitted. Given that the accessory structure is historic and was designed by a notable architect, as noted above, depending on the scope of restoration and repair work proposed, this future project may require Commission once plans are developed.

Standard 16 – Surface cleaning.

This standard is not applicable to this request. No surface cleaning is proposed.

Standard 17 – Integrity of historic property.

This standard is met. The existing residence is not identified as a Contributing structure to the District and is not architecturally or historically significant. The additions and alterations are designed in a manner that are compatible with the quality and character of the surrounding neighborhood.

Public Comment

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at four public locations and on the City's website. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Grant a Certificate of Appropriateness approving the partial demolition of the existing single family residence, construction of additions, exterior alterations, and a building scale variance based on the findings presented in this staff report and incorporating the Commission's deliberations as additional findings. Staff recommends approval subject to the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission. If any modifications are proposed in response to Commission direction or as a result of design development, plans clearly detailing the areas of change must be submitted at the time of submission for permit, *along with* the plans originally presented to the Commission, and will be subject to review by staff, in consultation with the Chairman as appropriate, to verify that the plans are consistent with the intent of the Commission and the approvals granted.
2. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall provide for the required 39 replacement inches on site. If during construction, additional trees on the site are compromised in the opinion of the City's Certified Arborist, additional replacement inches or payment in lieu of on site planting may be required. The plan shall also incorporate plantings that

provide screening of the increased mass and height of the home from neighboring homes particularly along the south property line.

3. A detailed grading and drainage plan is required prior to the issuance of a building permit and will be subject to review and approval by the City Engineer. Attention should be paid to avoiding drainage impacts on neighboring properties as a result of the construction proposed, both in the short term, during construction, and over the long term.
4. Prior to the issuance of a building permit, a plan to protect trees, vegetation and the ravine during construction must be submitted and will be subject to review and approval by the City's Certified Arborist and the City Engineer.
5. Details of exterior lighting shall be reflected on the plans submitted for permit. Cut sheets of all light fixtures should be provided and all fixtures shall direct light downward and the source of the light shall be shielded from view from off the property. The dark streetscape character shall be preserved.
6. Prior to the issuance of a building permit, a materials staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the street, the neighborhood, neighboring properties and existing trees and landscaping during construction.

Address	<u>901 Spring Lane</u>	Owner(s)	<u>Natalie and Justin Hagstrom</u>
Architect	<u>Scott Streightiff, architect</u>	Reviewed by:	<u>Jen Baehr</u>
Date	<u>7/12/2021</u>		
Lot Area	<u>75780</u> sq. ft.		

1st floor 3292 + 2nd floor 805 + 3rd floor 0 = 4097 sq. ft.
(to be removed)

Total Existing Design Elements = 284 sq. ft. (screen porch to be converted to guest room) Excess = 0 sq. ft.

Garage 838 sf actual ; 800 sf allowance (garage to be converted to sports court) = 38 sq. ft.

Garage Width 25'-3" ft. *may not exceed 24' in width on lots*
(existing) *18,900 sf or less in size.*

Accessory buildings = 902 sq. ft.

Total Square Footage of Existing Residence To Remain:
$$= \frac{4194}{(\text{existing to remain})} \text{ sq. ft.}$$

1st floor 1835 + 2nd floor 4126 + 3rd floor 575 = 6536 sq. ft.

New Design Elements **452** sq.ft. *Excess* = 0 sq.ft.

TOTAL SQUARE FOOTAGE = **10962** sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = **7862** sq. ft.

DIFFERENTIAL = $\frac{3100}{\text{Over Maximum (Existing)}}$ sq. ft. **NET RESULT:** 3100 sq. ft. is

Allowable Height:	40	ft.	Actual Height	32'-0" (existing) 35'-0" (proposed)	39% over the Max. allowed
-------------------	-----------	-----	---------------	-------------------------------------	--------------------------------------

Design Element Allowance: 786 sq. ft.

Front & Side Porches = 0 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 132 sq. ft.

Portico = 0 sq. ft.Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

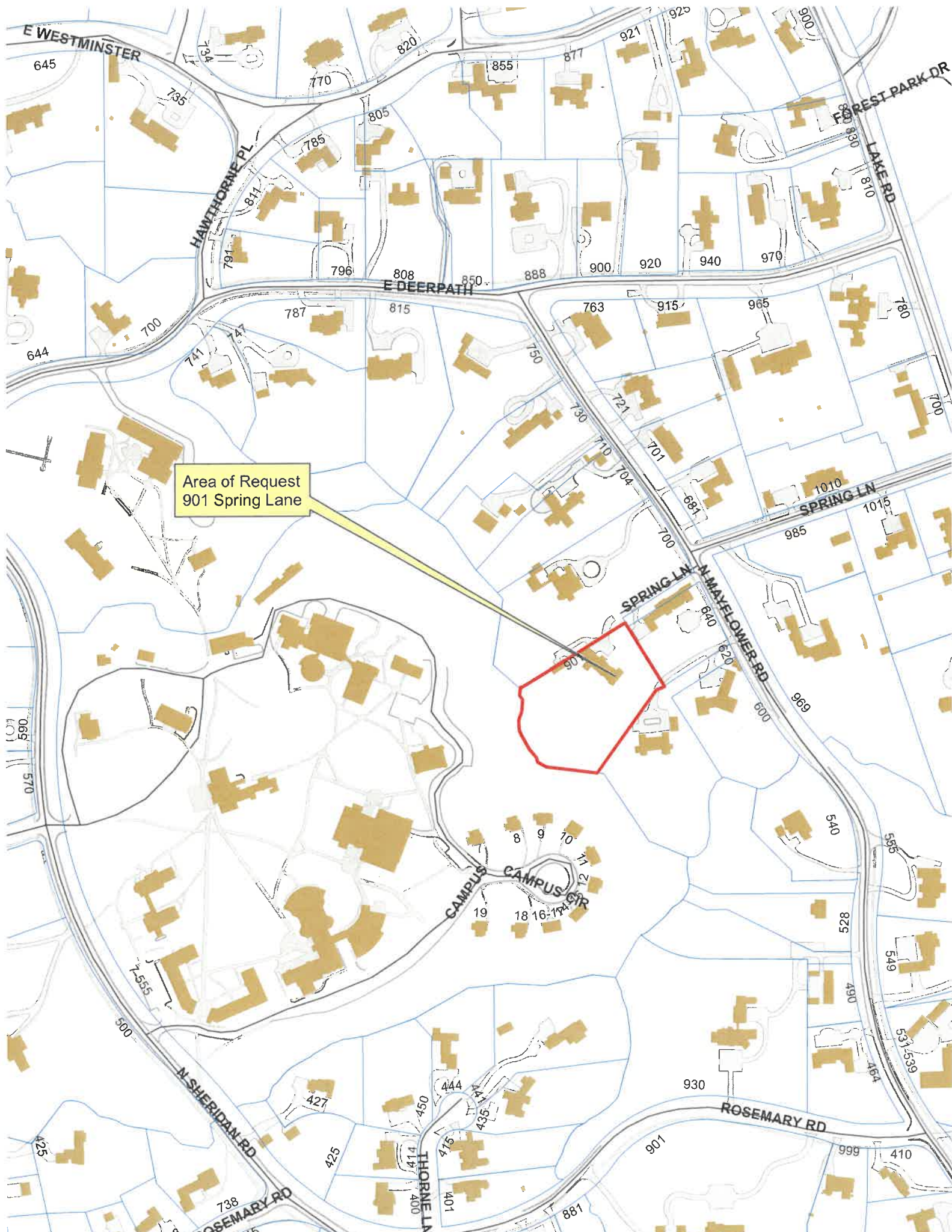
Pergolas = **320** sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 452 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request
901 Spring Lane

Area of Request
901 Spring Lane



Area of Request
901 Spring Lane





THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS

PROJECT ADDRESS 901 SPRING LANE

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input checked="" type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input checked="" type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- ☒ East Lake Forest District ☐ Green Bay Road District ☐ Vine/Oakwood/Green Bay Road District
☐ Local Landmark Property or District ☐ Other

PROPERTY OWNER INFORMATION

NATALIE & JUSTIN HAGSTROM
Owner of Property

901 SPRING LANE
Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60045
City, State and Zip Code

Phone Number _____ Fax Number _____

jhagstrom@gmail.com
natalie.hagstrom@gmail.com
Email Address

[Signature]
Owner's Signature

ARCHITECT/BUILDER INFORMATION

SCOTT A. STREIGHTIFF, AIA
Name and Title of Person Presenting Project

STREIGHTIFF ARCHITECTS
Name of Firm

555 OAKWOOD AVE.
Street Address

LAKE FOREST, IL 60045
City, State and Zip Code

847-525-4000
Phone Number Fax Number

SCOTT STREIGHTIFF@COMCAST.NET
Email Address

[Signature]
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report ☐ OWNER ☐ REPRESENTATIVE

Please fax a copy of the staff report ☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department ☐ OWNER ☐ REPRESENTATIVE



STREIGHTIFF ARCHITECTS LLC
555 Oakwood Avenue
Lake Forest, IL 60045

STATEMENT OF INTENT

Date: 24 May 2021

Project: The Hagstrom Residence
901 Spring Lane
Lake Forest, IL 60045

Petition requests:

- Approval for New Additions & Renovations to Primary Structure. Adaptive re-use of existing Garage.
- Preservation of Historic Coach House & Pool.

Statement:

The primary intent of this petition is to request approval for approximately **3,051** square feet of New Additions and Renovations to the primary structure. As well as Preservation and Rehabilitation of the existing coach house and pool located at **901 Spring Lane**. These improvements shall include:

- Proposed modifications in form and function (hierarchy of elements) to the primary residence.
- Adaptive re-use of the existing 3-car garage.
- Restore and preserve the existing historic coach house.
- Restore and preserve the existing historic pool.
- Enhanced landscape, entry court & screening plan.

The proposed modifications will require Zoning Variances as outlined for the approximately **90,604** square foot lot.

- A variance to the existing front yard setback line a to allow parking beyond the setback.
- A variance to the lot-in-depth side yard setback lines
- An approximate **3,051 sf** proposed variance to the current building scale ordinance.
- **Note 1:** The subject property is lot-in-depth
- **Note 2:** The existing residence abuts a ravine (non-table land)
- **Note 3:** The property has unique/significant features

Background/Historical data/Objective:

This section of Spring Lane (and Mayflower) is characterized by a fairly wooded streetscape with distinctive manor homes on large lots.

The subject property is a lot-in-depth property with its access drive on the west side of Mayflower at the west end of Spring Lane. The property abuts a wooded ravine in the back,

directly east of Lake Forest College. The subject property was originally part of a larger parcel belonging to the *Merrie Meade* estate built in 1875, which was later demolished in 1939.

The existing primary structure, originally designed by architect Jerome Cerny, was part of a subdivision, built in the 1960's. Upon review, this would not be considered one of Cerny's finer commissions when compared to other more significant projects locally. The home has been altered significantly. This home underwent significant modifications/ renovations in the late 1990s in somewhat of a post-modern style popular at the time. The current home is in need of significant functional and aesthetic modifications.

That said, this property unfolds and more significant historic features are discovered. There is an historic Coach House on the property designed by noted architect, David Adler. Built in the 1920s, commissioned as an auxiliary studio to the original *Merrie Meade* house. This coach house is a treasure. The Owners wish to preserve this structure as it exists today in predominantly unaltered form, while addressing some modest deferred maintenance as part of a larger plan.

Additionally, there is an historic pool and 'secret' grotto on this property (with interesting folklore) that will be rehabilitated and preserved as part of a larger plan.

The owners are very sensitive to the property and the historic context of this distinctive neighborhood. The owners would like to modify the main home to meet their programmatic family needs, classically designed, while preserving the significant historic elements of this property.

The property owners wish to expand the home, and more importantly wish to create a proper hierarchy of elements and sense of arrival. As it exists today, one is confronted with (3) home depot grade garage doors upon first arrival to the site. A visitor rarely travels beyond this point and enters through the service entry. Our wish is to alter this condition and arrive first at a more formal entry court on axis with the front door...and then proceed to the parking court beyond the forecourt. As a result, the parking court will be more discreet at the south end and contain an added 3.5 car garage.

The Owners wish to adaptively re-use the existing 3-car garage and convert it into a much needed exercise/sport room.

In so doing, the common areas of the home will be moved to the more desirable south end and bedrooms will move upstairs. The result will be a gracious five (5) bedroom home consistent with other like properties in this district.

It is important to note that most of the excess square footage requested for this variance is contained in (3) areas; 1.) The historic out building 2.) The existing garage adaptively re-used, 3.) excess attic space. The attic space is a result of appropriately scaled roof pitches consistent with the style of this era.

The homeowners have addressed the following ***Relevant Criteria*** set forth by the City of Lake Forest.

Review of Standards -- Chapter 51, Historic Preservation

Standard 1 – Height.

- The height of the proposed is a 1.5 story eave line with the ridge of the central mass at 34.5'. A maximum height of 40' is permitted on this lot. The secondary masses are stepped down, have a single story eave line and approach 29' at the ridge. The wings are single story. The proposed height is appropriate and will be visually compatible and will not be disruptive to nearby properties, residences or the streetscape.

Standard 2 - Proportion of front façade.

- The central mass of the house is dominant with secondary masses stepping down on either side of the main mass. The proportions of the front façade are simple and consistent.

Standard 3 – Proportion of openings.

- The windows and doors are generally consistent and aligned on all elevations. The proportions of the openings are consistent with the chosen architectural style. The west elevation has more expansive windows to take advantage of the ravine, pool and yard views.

Standard 4 – Rhythm of solids to voids.

- There is a consistent rhythm of solids to voids around the house.

Standard 5 – Rhythm of spacing and structures on streets.

- The existing house and coach house cannot be seen from the street

Standard 6 – Rhythm of entrance porches.

- The front entry is symmetrical in design.

Standard 7 – Relationship of materials and textures.

- This standard is met.

Standard 8 – Roof shapes.

- There is a dominant roof form and secondary forms. The shapes are simple and consistent with the overall character of the proposed residence.

Standard 9 – Walls of continuity.

- The massing, scale, detailing and, materials are generally consistent around the house.

Standard 10 – Scale.

- The subject property is surrounded by significantly larger homes.
- We have endeavored to design the modifications so that the appearance of bulk is mitigated.

- The majority of the excess space requested is contained within the historic out building, the existing garage adaptively re-used, and attic spaces. The attic space is a result of appropriately scaled roof pitches consistent with the context and era.

Standard 15 – Repair to deteriorated features.

- This standard shall be addressed.

Standard 16 – Surface cleaning.

- This standard shall be addressed.

Standard 17 – Integrity of historic property.

- This standard is met.

Proposed Design

The proposed modifications will not adversely impact the neighborhood character. The proposed modifications are classically designed in an understated, historic character and use high quality traditional materials that will withstand the test of time. The proposed modifications are designed in a style consistent with its context. ...influenced by French Manor style architecture. The proposed exterior is simple, understated and composed of natural materials such as limestone and brick veneer. The entryways are enhanced with heavy timber, authentically proportioned with mortise and tenon joinery. The windows are clad with simulated true divided lites. The shutters shall appear when appropriate in a pleasing and airy cool gray/blue. The roof is cedar shingle with copper gutters and downspouts. The wood trim in a neutral color shall appear complimentary to the natural palette of materials.

Alternative Studies:

We have explored several alternatives to the design of this project including (3) alternatives for the garage and drive approach (attached in your packets). We feel that the petition before you has been carefully examined, and will have less impact to the historic district than a fully conforming alternative. And will preserve significant historical features on the property.

The owners have reviewed the petition with the surrounding neighbors and have their support on the proposed improvements. For these reasons, we would like to request that the petition be approved.

Thank you for your thoughtful consideration.

Respectfully submitted,



Scott A. Streightiff, AIA

901 Spring Lane - Standards for Building Scale Variance

Standard 1 The project is consistent with the design standards in section 9-86 of the City of LF code.

This standard is met.

Standard 2 Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

This standard is met. The subject property is lot-in-depth and cannot be seen from the street. There is also a large buffer of both deciduous and non-deciduous mature screening at the perimeter of the property. The subject property abuts a large ravine at the rear (west) end of the property. Beyond the ravine is LFC.

Standard 3 New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition the proposed structures or additions will not have a significant negative impact on the light to and views from the homes.

- *This standard is met. We have endeavored to design the modifications so that the appearance of bulk is mitigated. The central main mass has a 1.5 story eave line and the subordinate wings that encroach have a single story eave line and lower ridge line.*

Standard 4 The height and mass of the residence, garage, and accessory structures will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

This standard is met.

Standard 5 The property is located in the historic district or is designated as a Local Landmark and the addition is consistent with the standards in the Historic Preservation Ordinance and approval of a variance would further the purpose of the Ordinance.

This standard is met. The property is within the local historic district and significant historic features will be preserved contributing to the local historic district.

Standard 6 The project is adjacent to land use and zoned as permanent open space, a conservation easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

This standard is not applicable.



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- ☒ Stone
☒ Brick
☐ Wood Clapboard Siding
☐ Wood Shingle
☐ Cementitious Stucco
☐ Other _____

Color and/or Type of Material WHITE / NEUTRAL

Foundation Material

Exposed Foundation Material _____

Window Treatment

Primary Window Type

- ☒ Double Hung
☒ Casement
☐ Sliding
☒ Other FRENCH DOORS

Finish and Color of Windows

- ☐ Wood (recommended)
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish SLATE GREEN / GRAY

Window Muntins

- ☐ Not Provided
☒ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars (recommended)
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone
☒ Brick
☒ Wood
☐ Other _____

Window Trim

- ☒ Limestone
☒ Brick
☒ Wood
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
- ☒ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material – *TBD*

- ☒ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☒ Composition Shingles *SLATE*
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☒ Copper
- ☐ Other _____
- ☐ Sheet Metal

Color of Material _____

Gutters and Downspouts

- ☒ Copper
- ☐ Aluminum
- ☐ Other _____

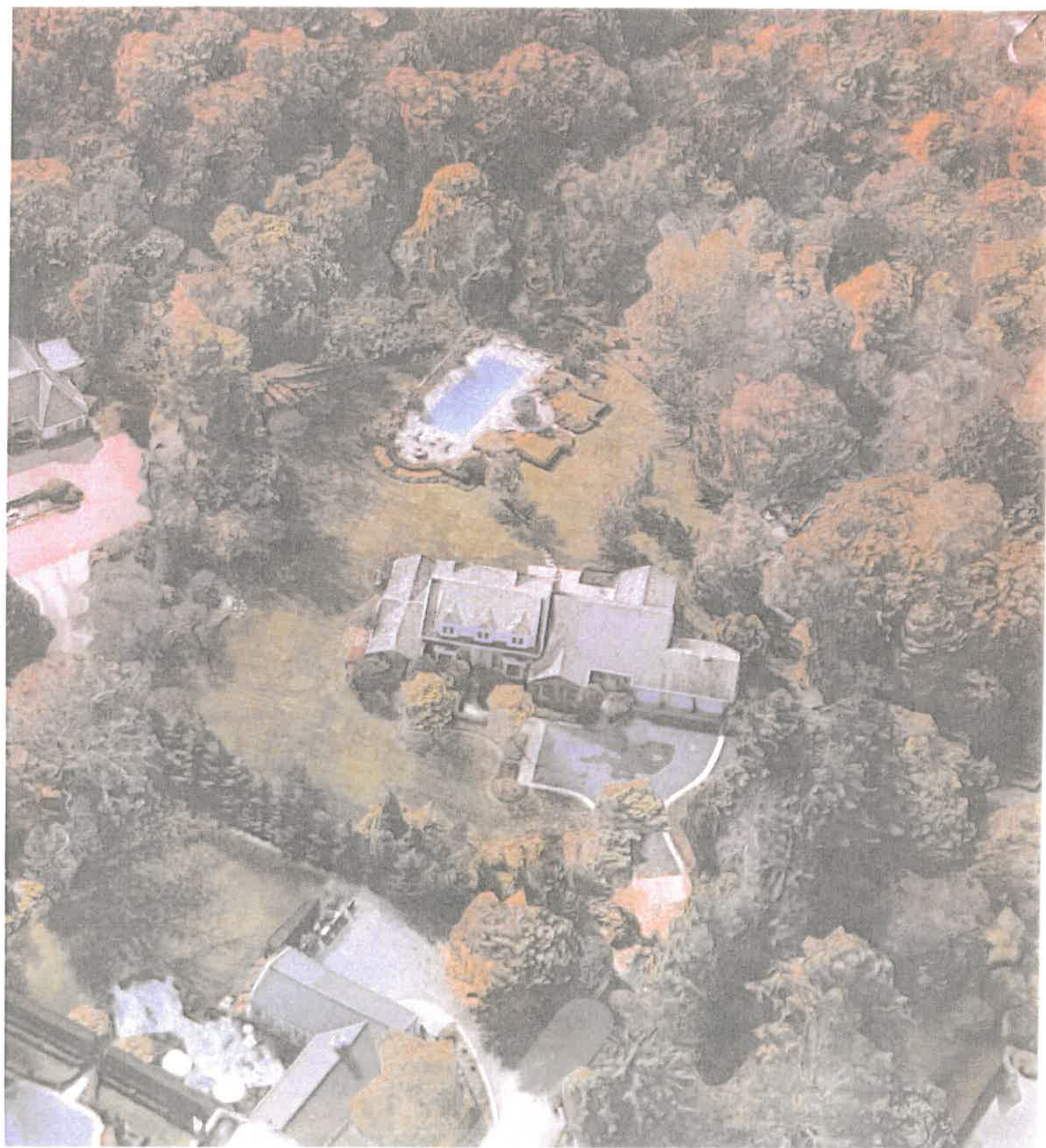
Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☒ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☒ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____

PHOTO'S
EXISTING PROPERTY





ARRIVAL

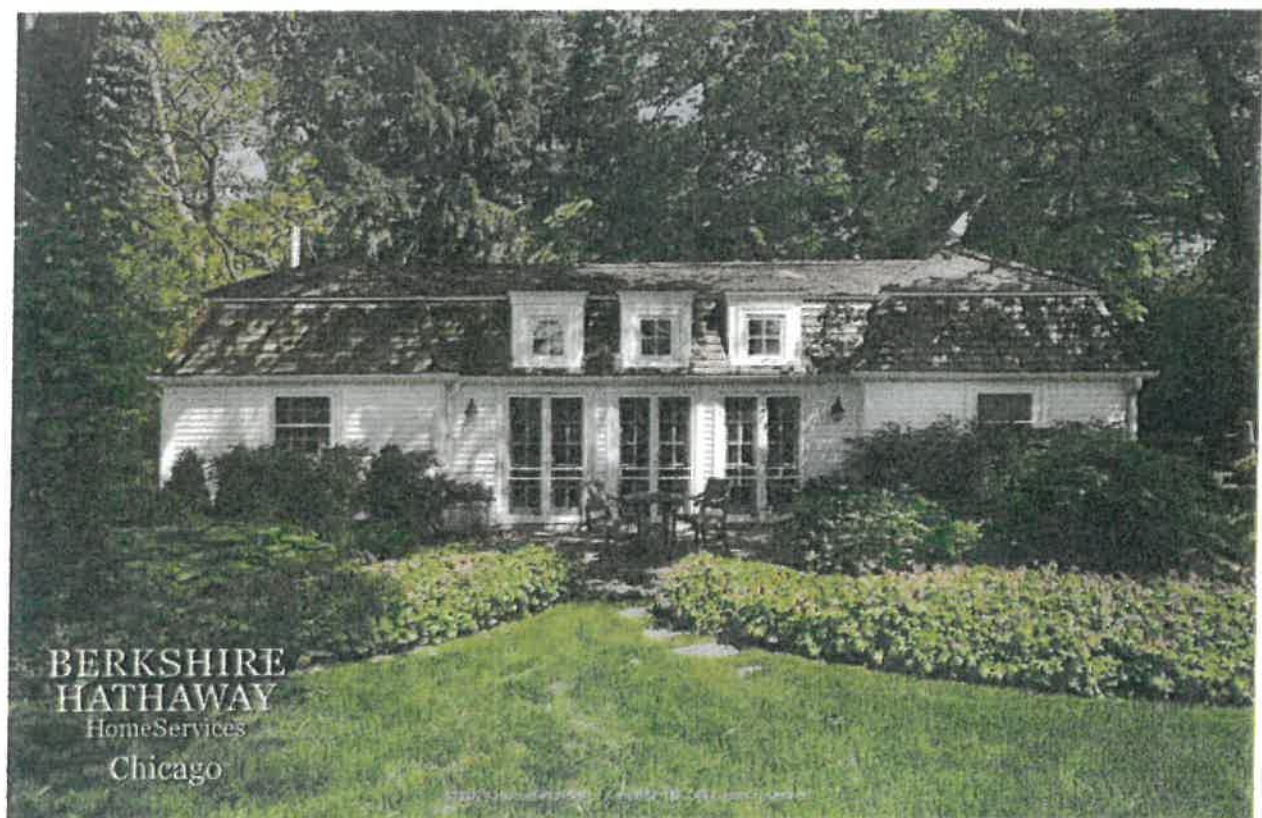












BERKSHIRE
HATHAWAY
HomeServices
Chicago















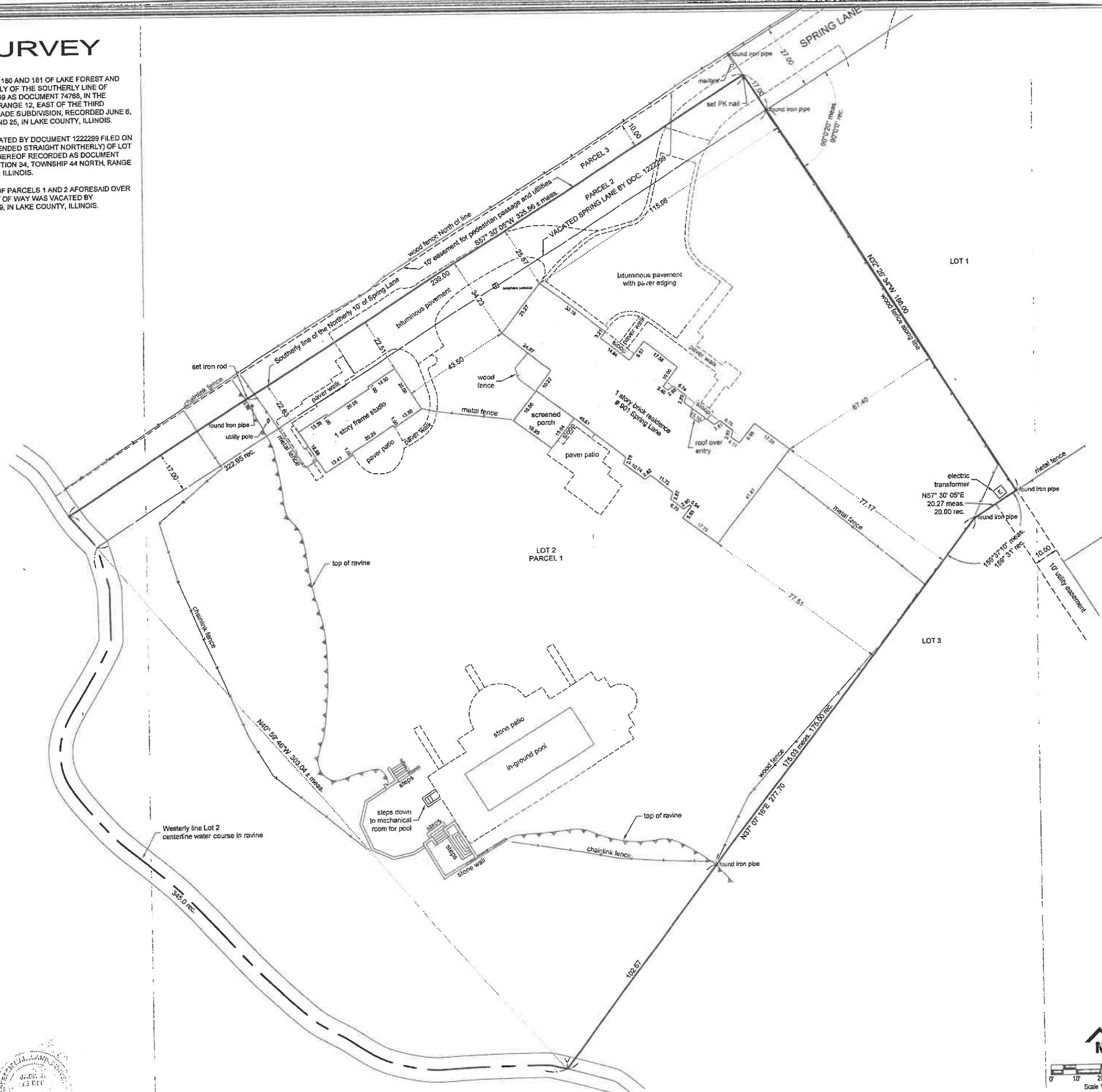
PLAT OF SURVEY

PARCEL 1:
 THAT PART OF LOT 182 OF SAID LAKE FOREST LYING SOUTHERLY OF THE SOUTHERLY LINE OF SPRING LANE AS RELOCATED BY PLAT RECORDED JUNE 22, 1899 AS DOCUMENT 74768, IN THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF MERRIE MEADE SUBDIVISION, RECORDED JUNE 6, 1950 AS DOCUMENT 698608, IN BOOK 32 OF PLATS, PAGES 24 AND 25, IN LAKE COUNTY, ILLINOIS.

PARCEL 2:
 THE SOUTHERLY 17 FEET OF THAT PART OF SPRING LANE VACATED BY DOCUMENT 1222289 FILED ON APRIL 15, 1964, LYING WESTERLY OF THE EASTERLY LINE (EXTENDED STRAIGHT NORTHERLY) OF LOT 2 IN MERRIE MEADE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 698608 ON JUNE 6, 1950, IN THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS.

PARCEL 3:
 AN EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCELS 1 AND 2 AFORESAID OVER THE NORTHERLY 10 FEET OF SPRING LANE, WHICH SAID RIGHT OF WAY WAS VACATED BY INSTRUMENT RECORDED APRIL 15, 1964 AS DOCUMENT 1222289, IN LAKE COUNTY, ILLINOIS.

AREA PARCELS 1 AND 2 = 2.08 ± ACRES



PLAT IS VOID IF IMPRESSED
 SEAL DOES NOT APPEAR

STATE OF ILLINOIS } S.S.
 COUNTY OF LAKE }

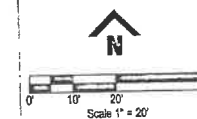
NOTE: ONLY THOSE BUILDING LINES OR EASEMENTS SHOWN ON THE RECORDED SUBDIVISION PLAT ARE SHOWN HEREON. CHECK LOCAL ORDINANCES BEFORE BUILDING. COMPARE YOUR DESCRIPTION AND SITE MARKINGS WITH THIS PLAT AND AT ONCE REPORT ANY DISCREPANCIES WHICH YOU MAY FIND.

ON BEHALF OF BLECK ENGINEERING COMPANY, INC., I, JACK R. BLECK, DO HEREBY CERTIFY THAT THE PROPERTY DESCRIBED IN THE ABOVE CAPTION WAS SURVEYED AND STAKED BY ME, OR UNDER MY DIRECTION, AND THE PLAT DRAWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY. MEASUREMENTS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

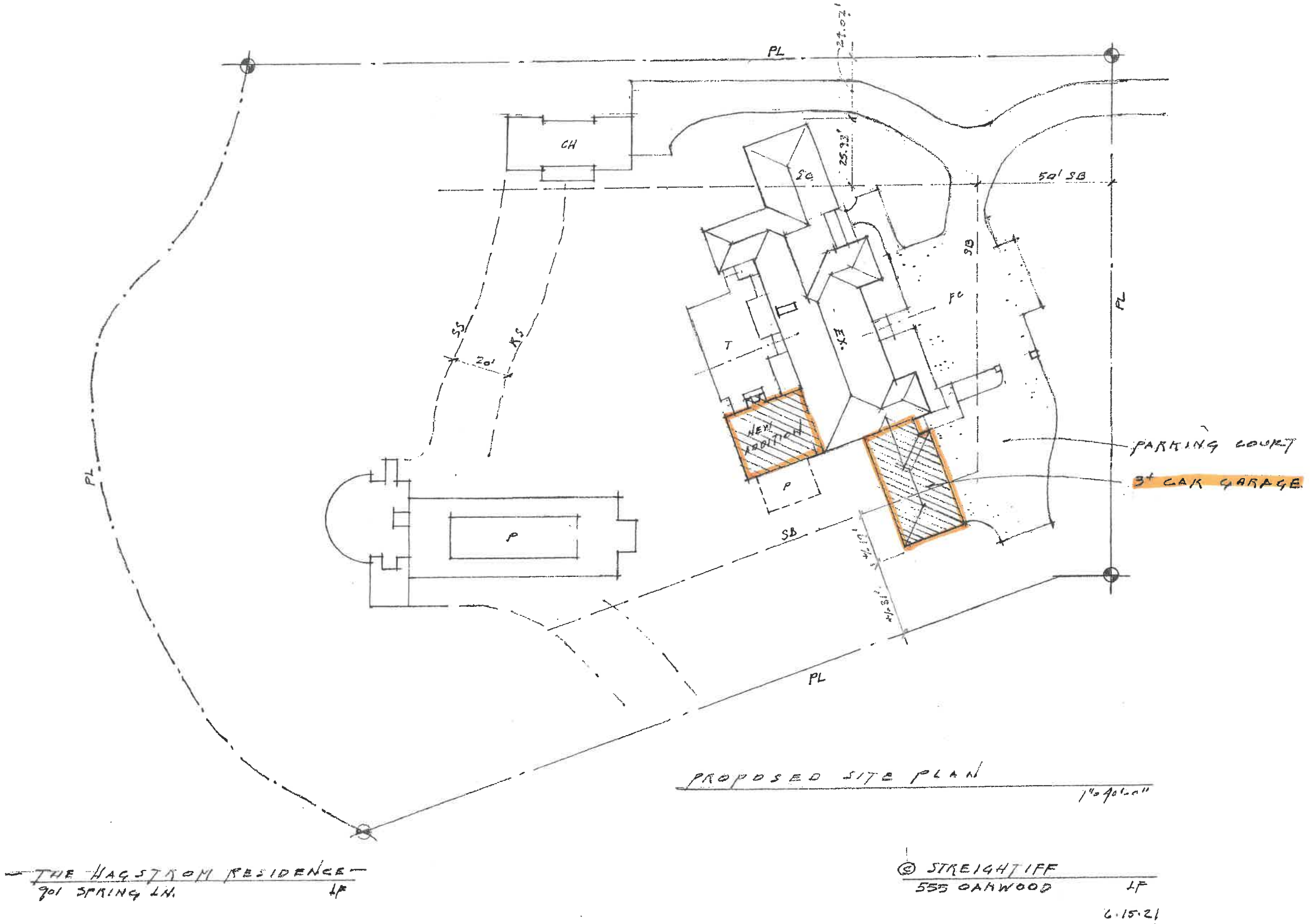
DATED AT LAKE FOREST, ILLINOIS, THIS 4TH DAY OF JANUARY A.D., 2021.

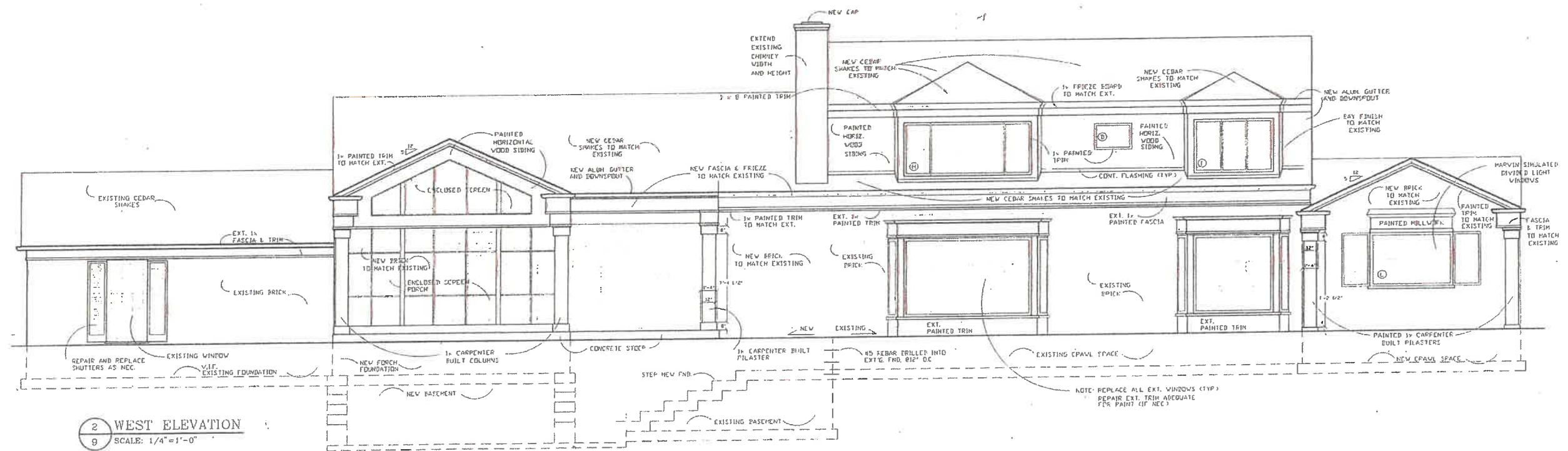
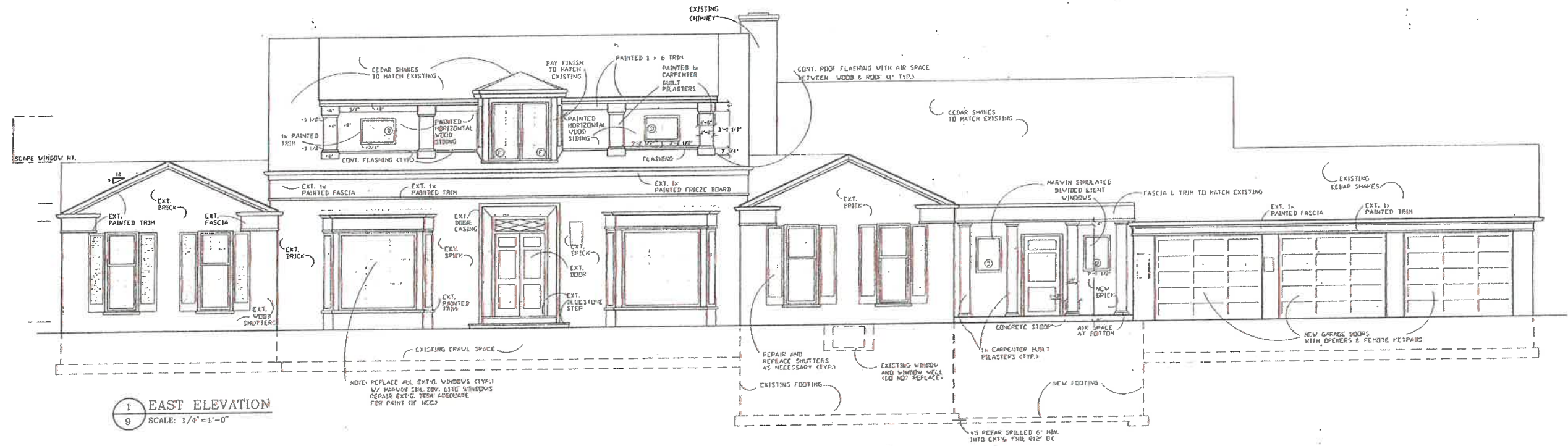
BY Jack R. Bleck
 REGISTERED ILLINOIS LAND SURVEYOR NO. 3591

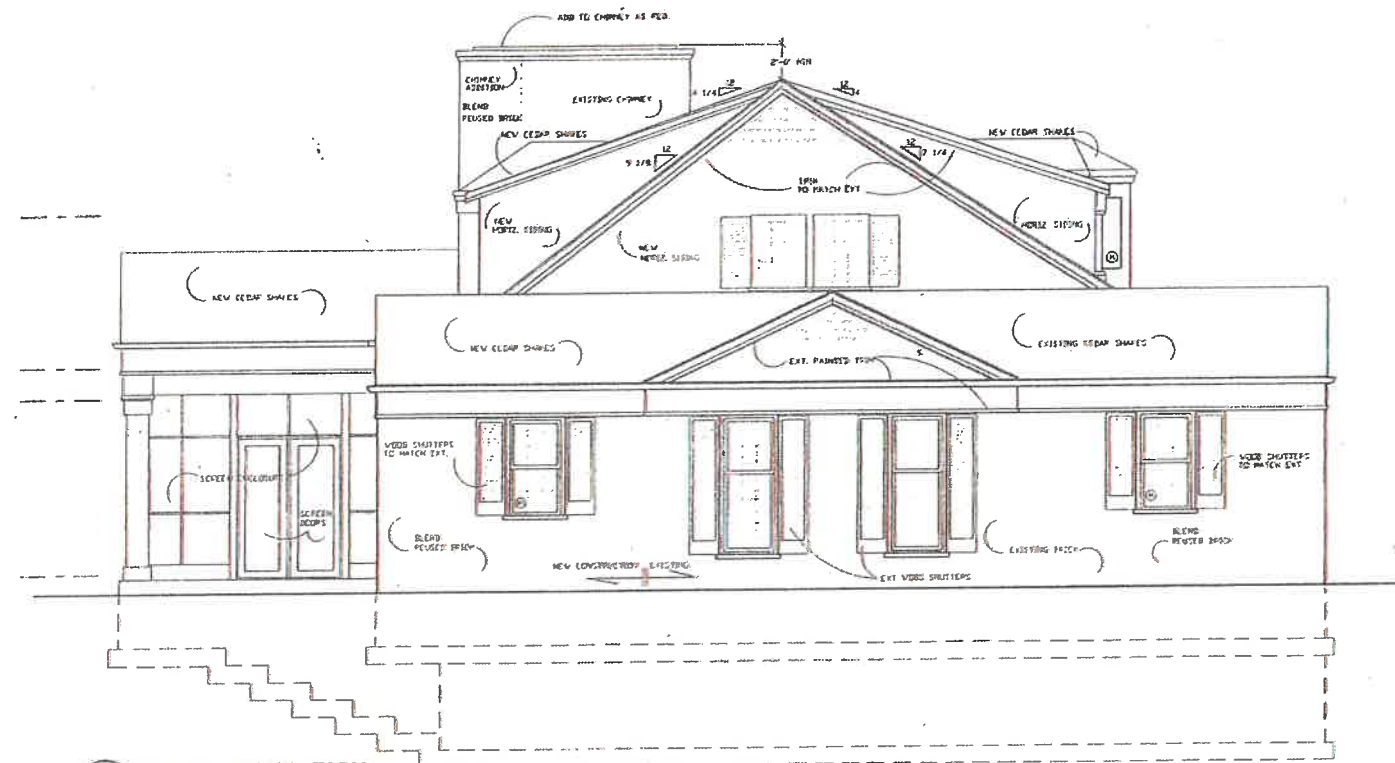
ABBREVIATIONS:
 m. or meas. = measured
 r. or rec. = record
 CB = chord bearing
 CH = chord length
 R = radius
 L = arc length
 N = North
 S = South
 E = East
 W = West
 S.F. = square feet



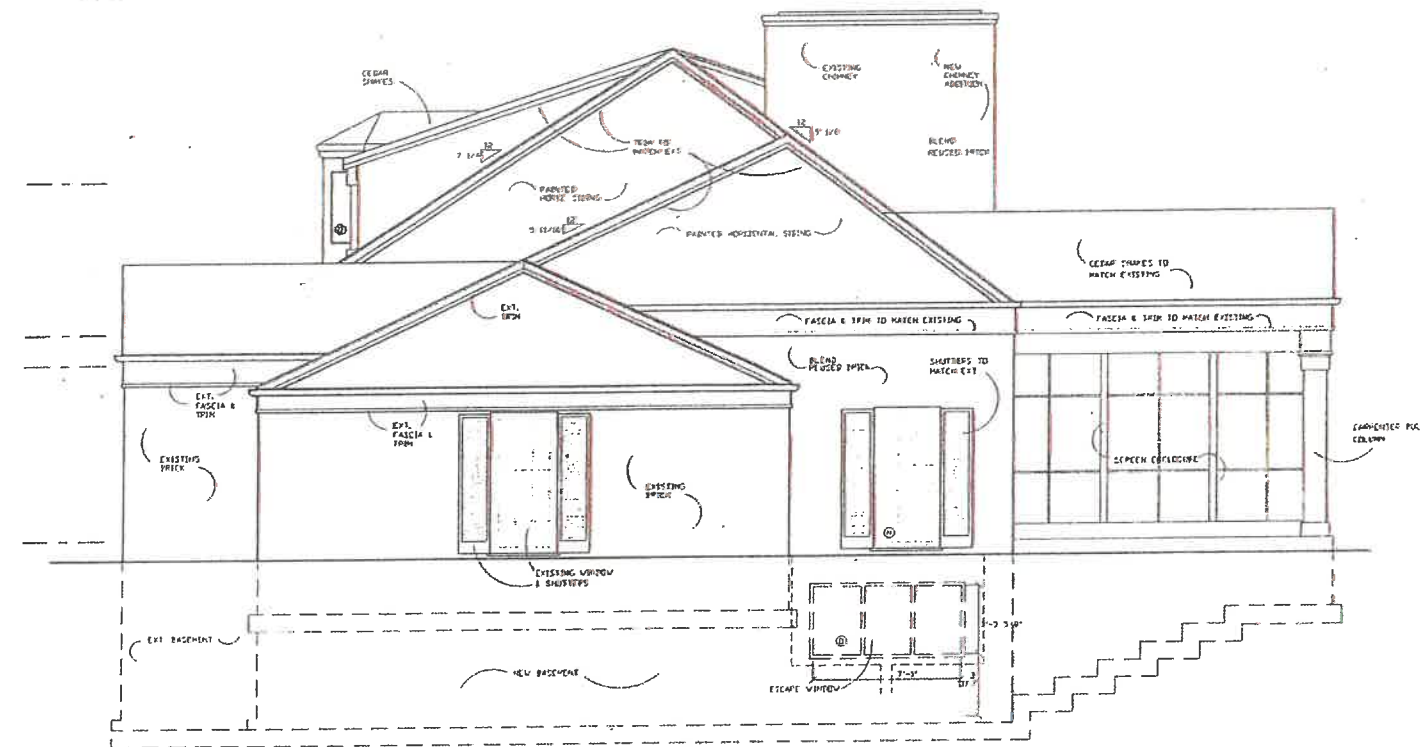
Bleck Engineering Company, Inc.
 1375 North Western Avenue
 Lake Forest, Illinois 60045
 T 847.295.5200 F 847.295.7081
 www.bleckeng.com



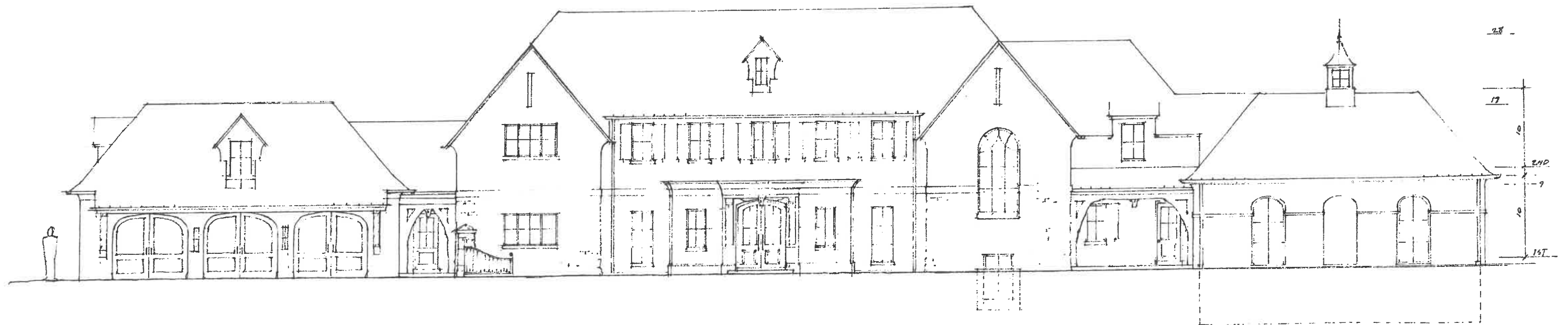




1 SOUTH ELEVATION
10 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
10 SCALE: 1/4" = 1'-0"



PROPOSED FRONT (EAST) ELEVATION
1/10/2017

- THE HAGSTROM RESIDENCE -
701 SPRING LN. LP

© STABIGHTIFF LLC
555 OAKWOOD LP
7.1.21

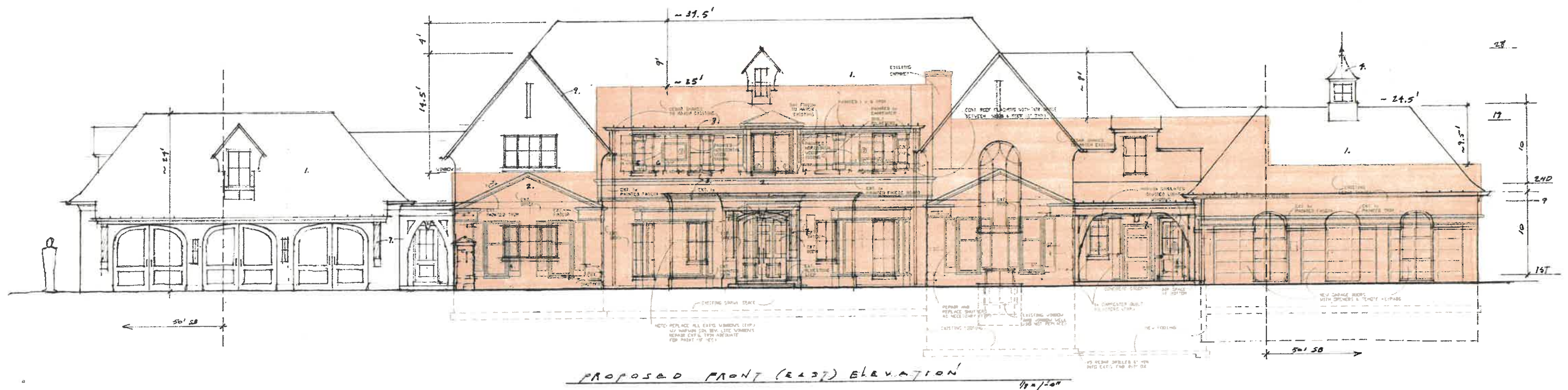


PROPOSED FRONT (EAST) ELEVATION 1/10/20

THE HAGSTADT RESIDENCE -
901 SPRING LN. LF

© STRAIGHTUP LLC
555 OAKWOOD LP
7.1.21

- Materials Key**
1. Cedar Shingle Roof
 2. Brick Veneer w/ Lime Wash
 3. Limestone
 4. Copper
 5. Clad Window - blue/gray
 6. Paneled Shutter - light blue/gray
 7. Heavy Timber - cerused
 8. Copper Gutter/Downspout
 9. Wood Trim - Neutral Color



THE HAGSTROM RESIDENCE
701 SPRING LN.
LF

STREIGHTIFF, LLC
555 OAKWOOD
LP
7.22.21

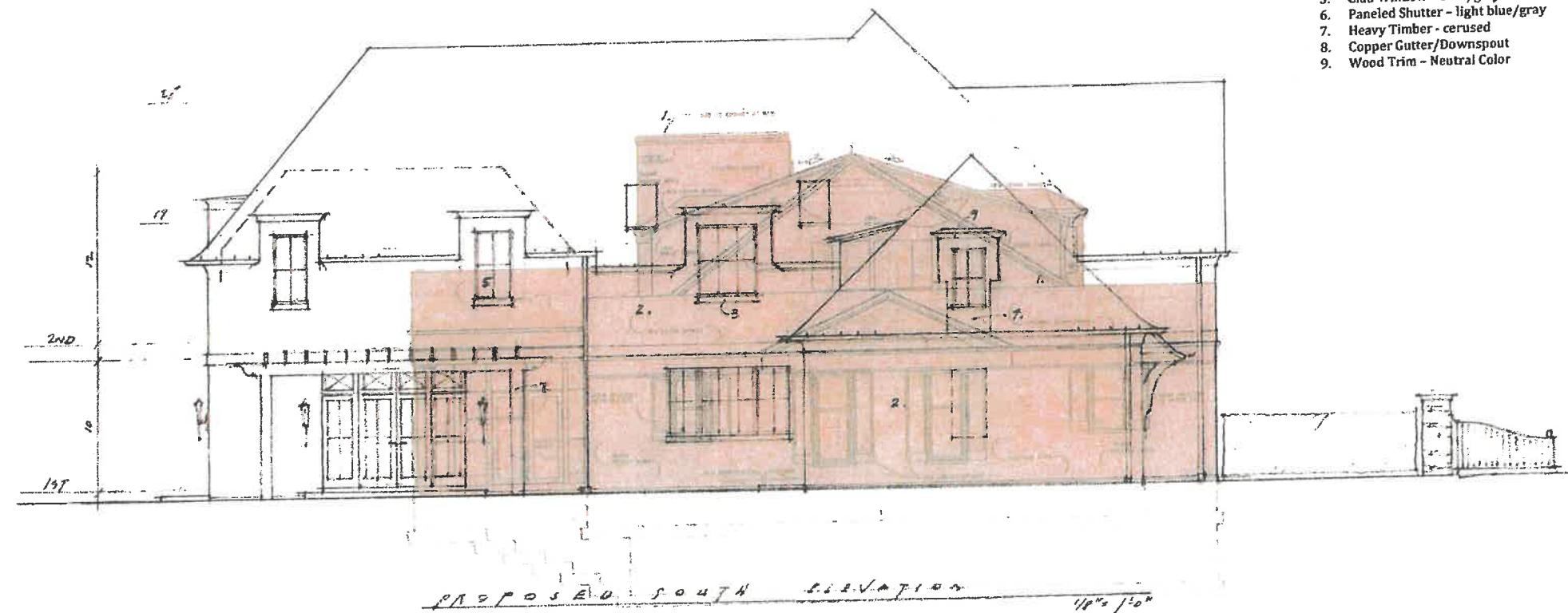


- Materials Key**
- 1. Cedar Shingle Roof
 - 2. Brick Veneer w/ Lime Wash
 - 3. Limestone
 - 4. Copper
 - 5. Clad Window - blue/gray
 - 6. Paneled Shutter - light blue/gray
 - 7. Heavy Timber - cerused
 - 8. Copper Gutter/Downspout
 - 9. Wood Trim - Neutral Color

PROPOSED SOUTH ELEVATION

THE HAGSTROM RESIDENCE
901 SPRING LN. LF

SYNTHETIC LLC
555 BARKWOOD LF
7.21.21

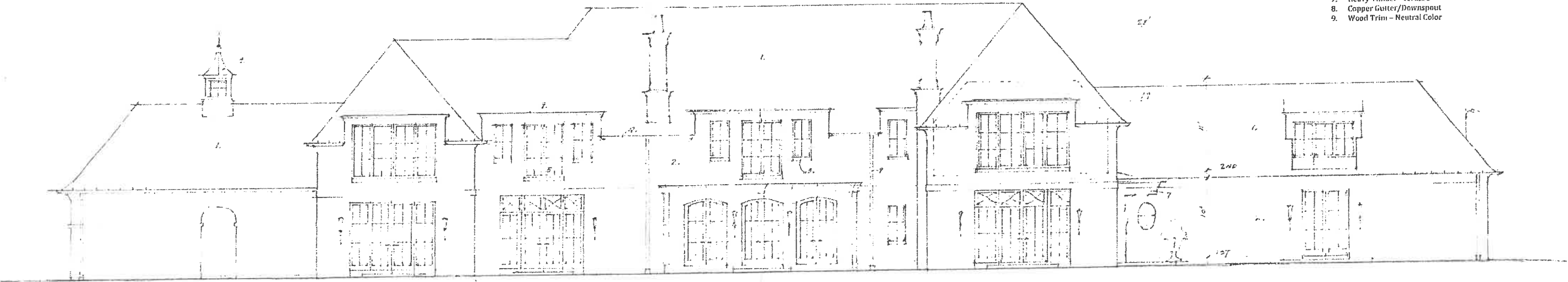


Materials Key

1. Cedar Shingle Roof
2. Brick Veneer w/ Lime Wash
3. Limestone
4. Copper
5. Clad Window - blue/gray
6. Paneled Shutter - light blue/gray
7. Heavy Timber - cerused
8. Copper Gutter/Downspout
9. Wood Trim - Neutral Color

~ THE HAGSTROM RESIDENCE ~
701 SPRING LN. LF

© STRAIGHTIFF LLC
555 OAKWOOD LF
7.28.21



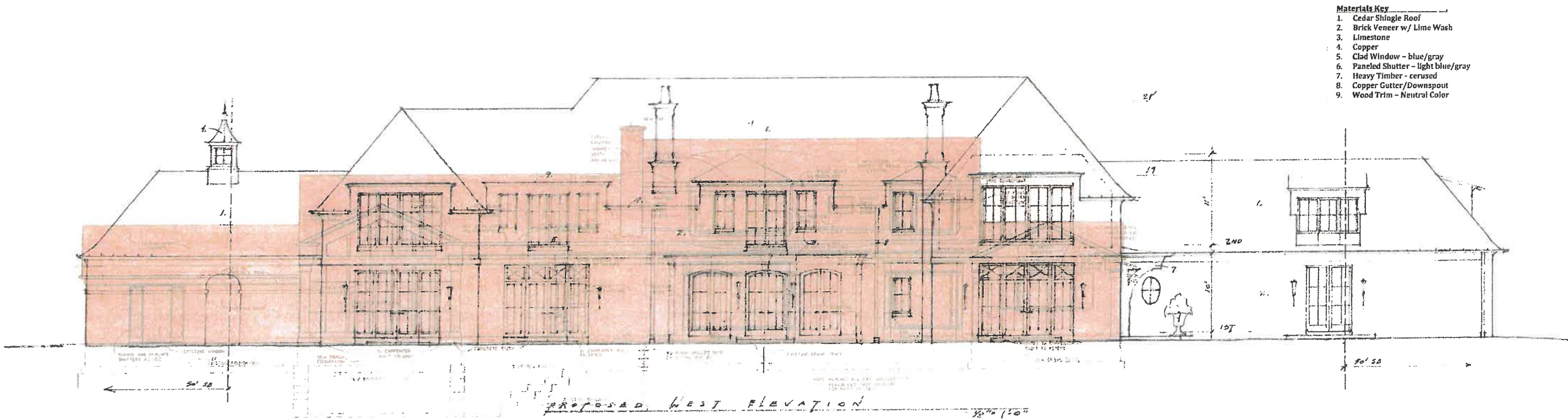
- Materials Key**
- 1. Cedar Shingle Roof
 - 2. Brick Veneer w/ Lime Wash
 - 3. Limestone
 - 4. Copper
 - 5. Clad Window - blue/gray
 - 6. Paneled Shutter - light blue/gray
 - 7. Heavy Timber - cerused
 - 8. Copper Gutter/Downspout
 - 9. Wood Trim - Neutral Color

PROPOSED WEST ELEVATION

2021.10

THE HANCOCK ARCHITECTS
701 BENTLEY LN
LA JOLLA, CA 92037

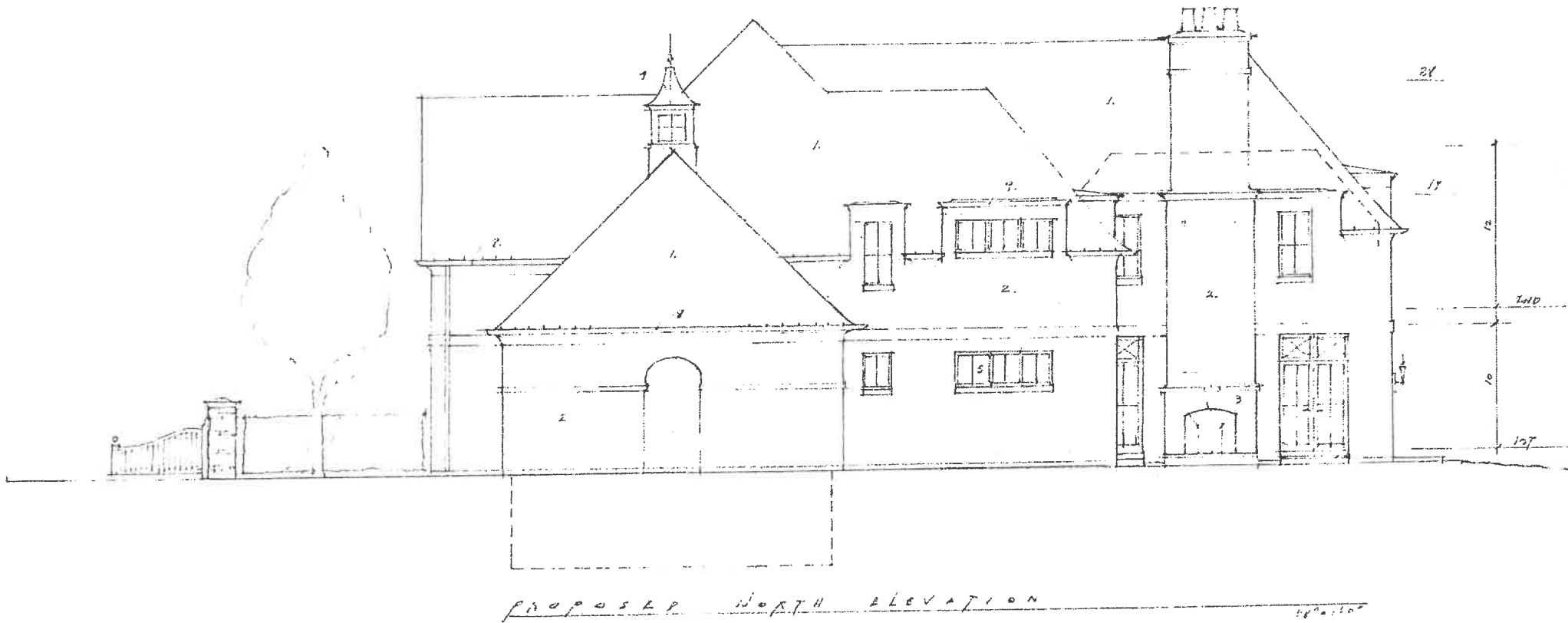
5748.94 LF 260
555 DAKWOOD LF
7.22.21



~ THE HAGSTROM RESIDENCE ~
901 SPRING LN
LP

② STRAIGHTWAY LLO
555 OAKWOOD LP
7.27.21

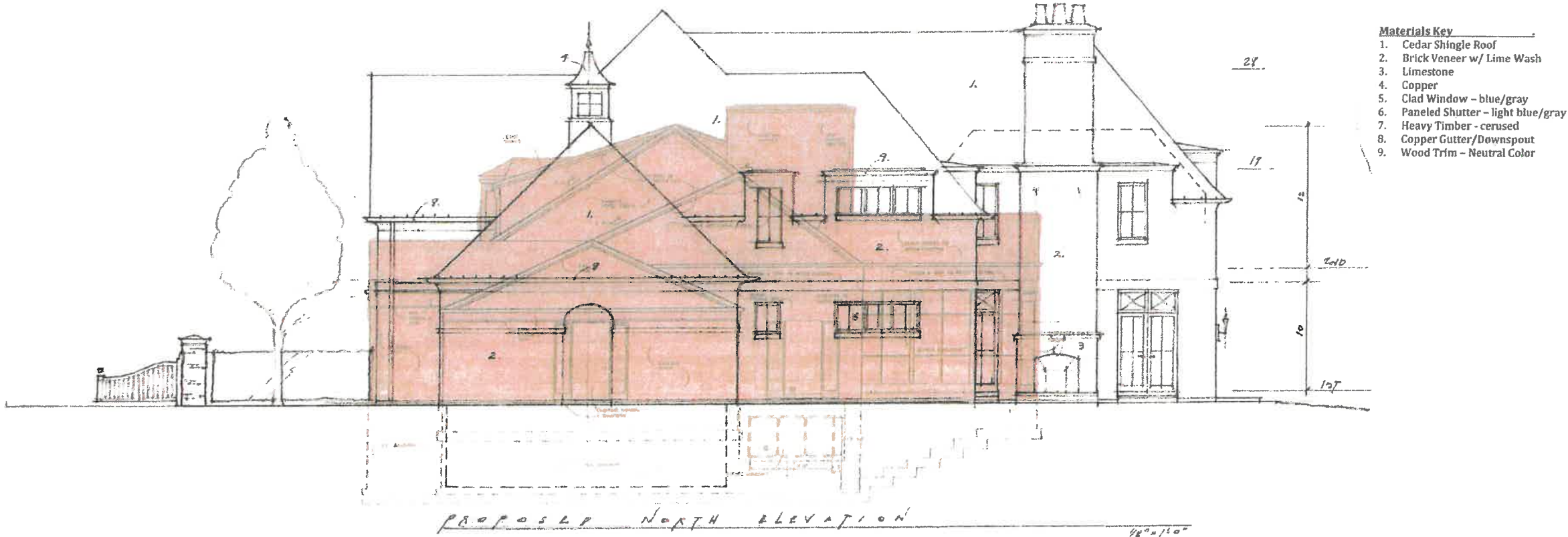
PROPOSED NORTH ELEVATION



- Materials Key**
- 1. Cedar Shingle Roof
 - 2. Brick Veneer w/ Lime Wash
 - 3. Limestone
 - 4. Copper
 - 5. Clad Window - blue/gray
 - 6. Paneled Shutter - light blue/gray
 - 7. Heavy Timber - cerused
 - 8. Copper Gutter/Downspout
 - 9. Wood Trim - Neutral Color

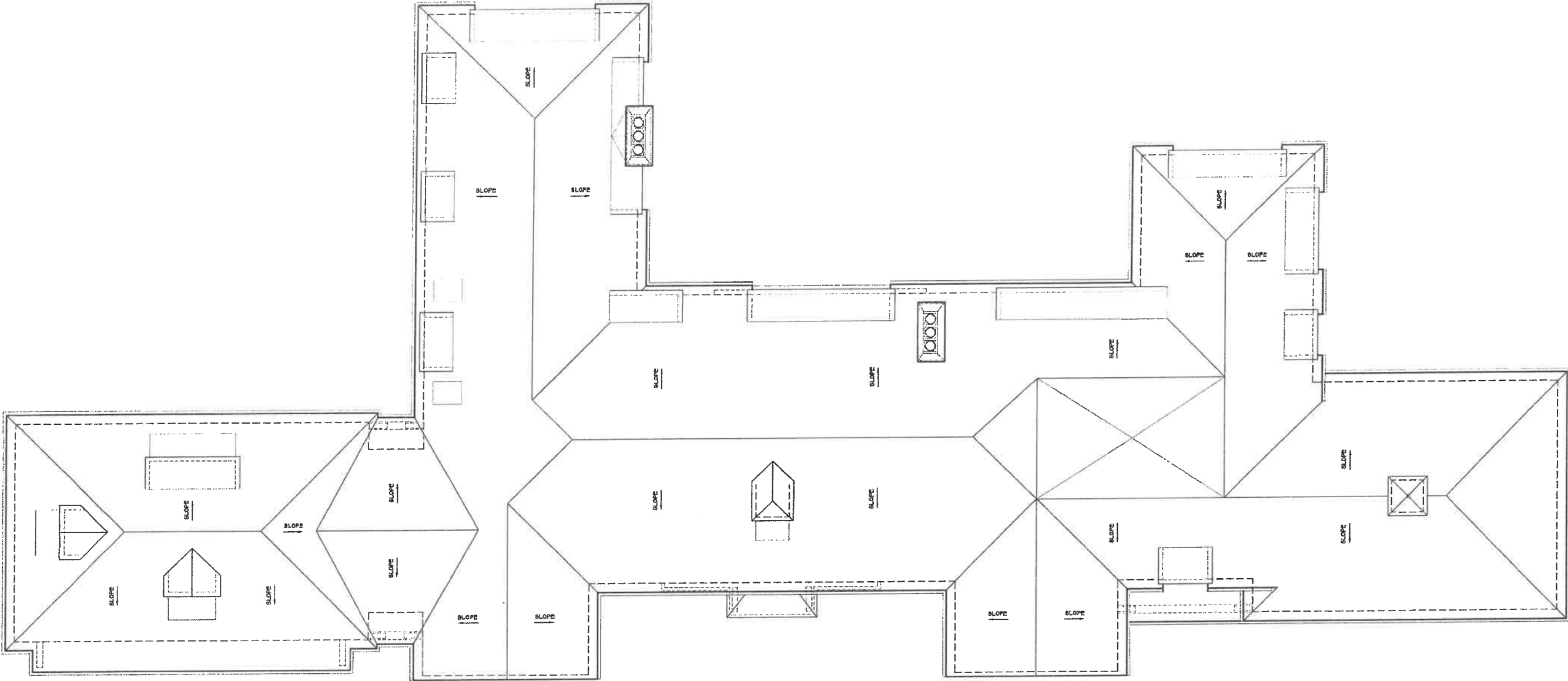
~ THE HAGSTROM RESIDENCE ~
701 SPRING LN. 1P

STREIGHTIFF LLC
555 OAKWOOD LF
7-25-21



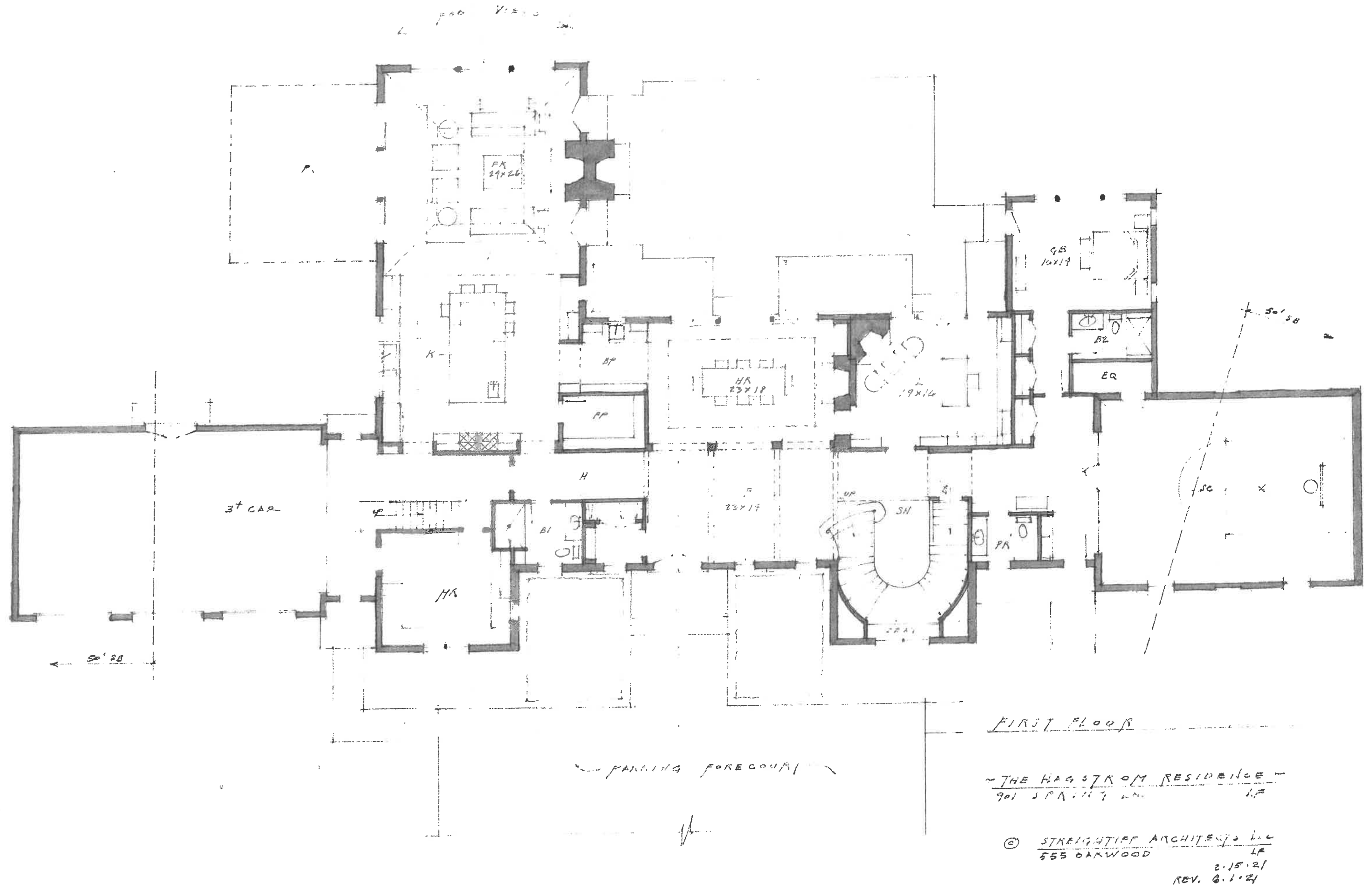
~ THE HAGSTROM RESIDENCE ~
701 SPRING LN. IF

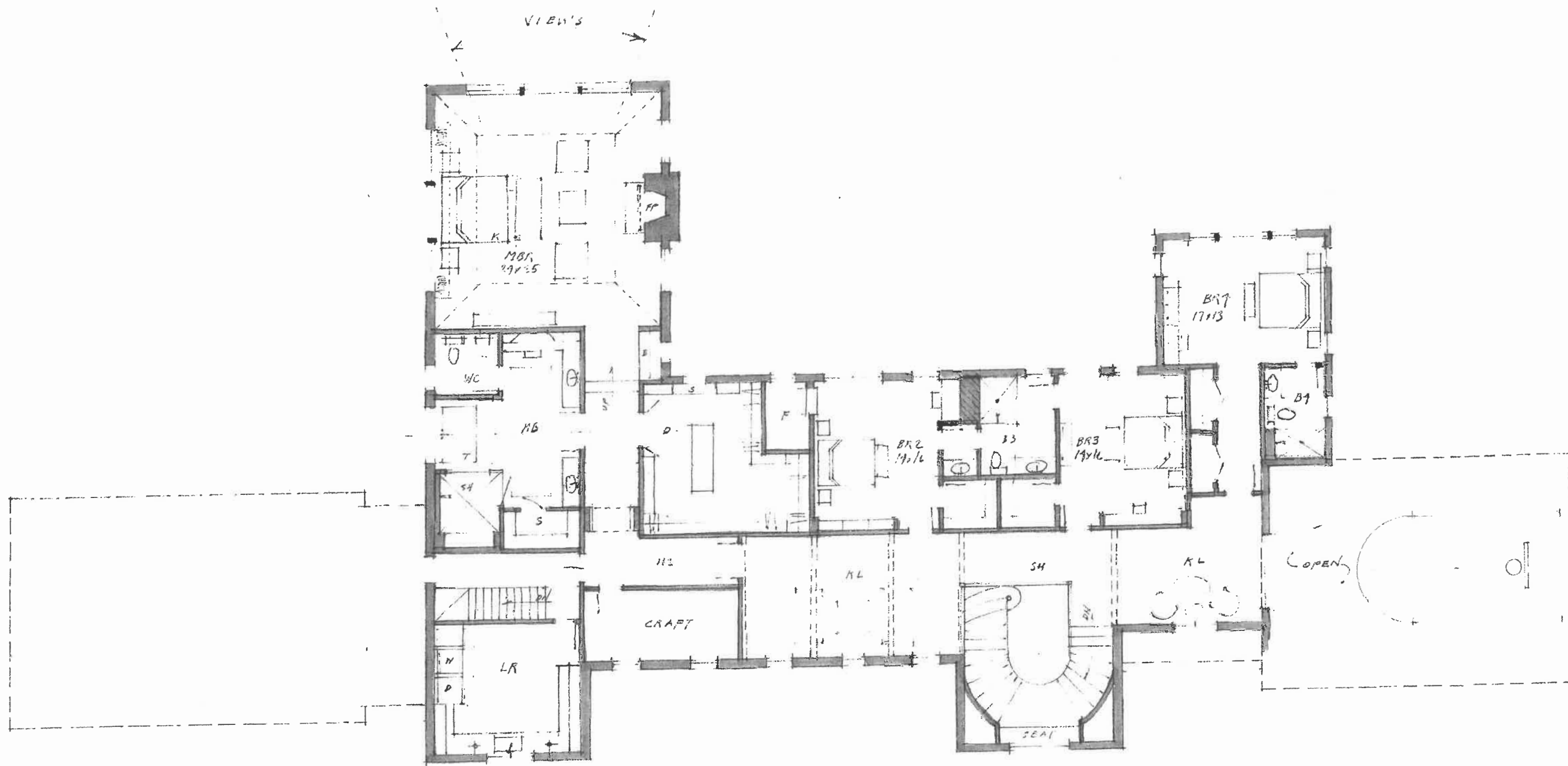
© STRAIGHTUP LLC
556 OAKWOOD LF
7-28-21



1 PROPOSED ROOF PLAN

SCALE 3/16" = 1'-0"





SECOND FLOOR PLAN SCHEME B

THE HAGSTROM RESIDENCE
901 SPRING LN.
LF

© STREIGHTIFF ARCHITECTS LLC
555 OAKWOOD
LF
REV 6.1.21

TAG #	SPECIES	DBH	CONDITION	NOTES
5	Norway Spruce	11	3	Good Condition
7	Maple	9	3	Double Lead
8	Hemlock	10	5	Severe Decline
9	Hemlock	9	4	Die-Back
10	Japanese Tree Lilac	25	4	Die-Back
11	Red Elm	34	3	Good Condition
12	Redbud	8	3	Interior Deadwood
13	Linden	32	3	Double Lead - Deadwood
14	Honey Locust	28	3	Multiple Leads - Large Deadwood
15	Japanese Tree Lilac	25	4	Die-Back
16	Japanese Tree Lilac	9	3	Good Condition
17	Pear	21	3	Hollow - Missing Top
18	Pear	15	3	Hollow - Missing Top
19	Pear	15	5	Hollow - Missing Top
20	Pear	33	5	Hollow - Missing Top
21	Japanese Tree Lilac	12	3	Good Condition
22	Hawthorn	10	3	Good Condition
23	Hawthorn	10	3	Good Condition
24	Hawthorn	10	3	Good Condition
25	Hawthorn	15	5	Good Condition
26	Hawthorn	10	3	Good Condition
27	Crapeapple	13	5	Severe Decline
28	Kabura	10	3	Multiple Leads - Top Close To House
29	Hawthorn	13	3	Deadwood
30	Hawthorn	13	3	Deadwood
31	Hawthorn	8	5	Damaged Main Lead - One-Sided
32	Hawthorn	8	3	Good Condition
33	Hawthorn	8	3	Good Condition
34	Red Sunset Maple	8	3	Good Condition - Chlorotic
35	Red Sunset Maple	8	3	Good Condition - Chlorotic
36	Chinkapin Oak	7	3	Good Condition
37	Sugar Maple	19	3	Good Condition

Conditions (1) best - (6) dead ; Trees 8" above were tagged / Below-line generally. Pruned Components were not tagged. (5)-8" Green Giant Arborvitae in front were not tagged.

Daniel Taylor - IL-4003-A - 02-21



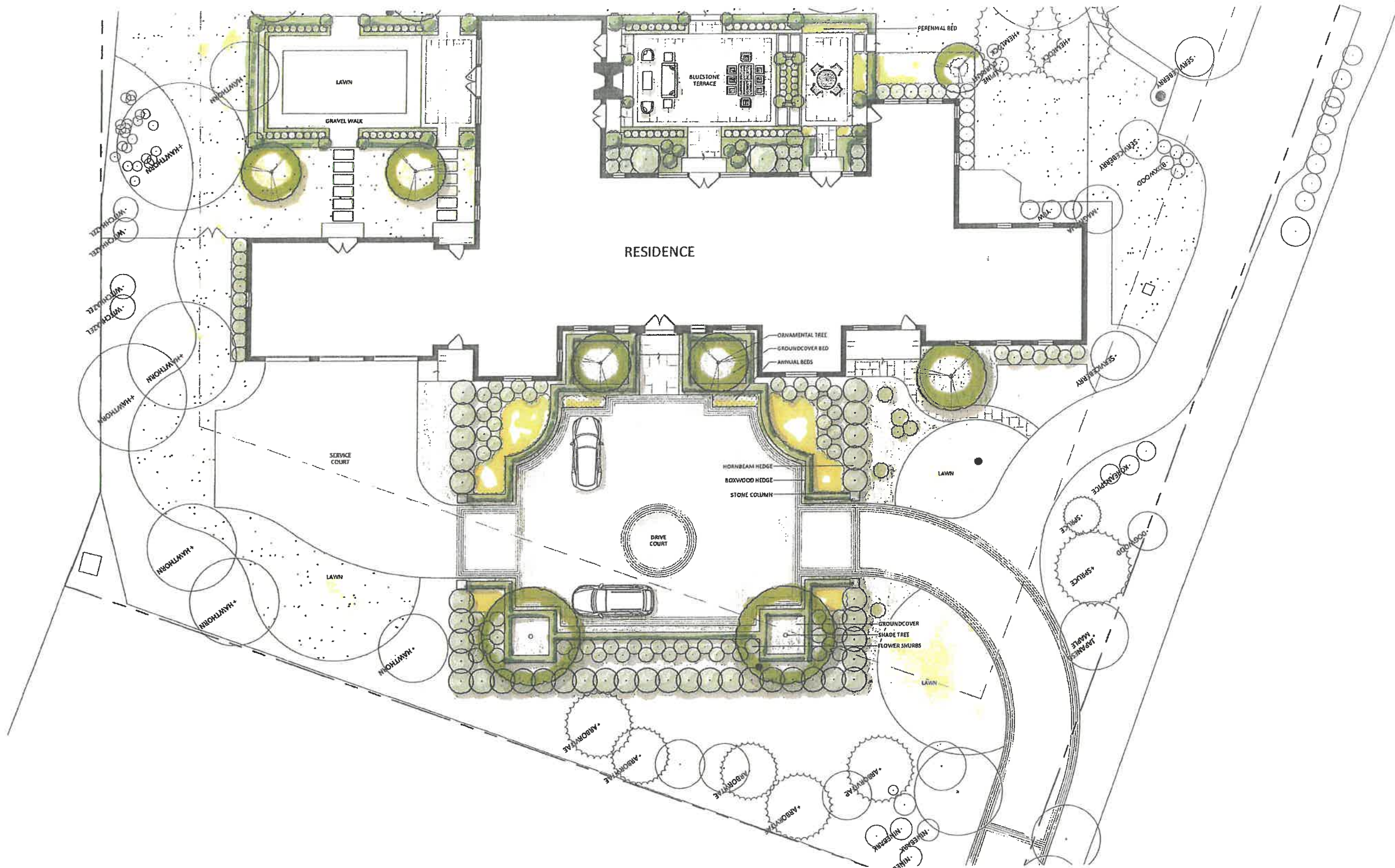
RP
ROSBOROUGH
PARTNERS, INC.
300 N. 4th Street, Suite 104
P.O. Box 1000
P.O. Box 1000
www.rosboroughpartners.com

ROSBOROUGH PARTNERS, INC. hereby reserves all and all common law and statutory copyrights and other proprietary rights in and to the drawings and information contained herein. No part of these drawings or information may be reproduced, stored in a retrieval system, or used in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of ROSBOROUGH PARTNERS, INC. These plans are to be used for the project only.

PROJECT: Hagstrom Residence
DESIGNED BY: PR, JH
DRAWN BY: JH, EP
REVISIONS:
NO DATE ISSUE

CONSULTANTS:
GENERAL NOTES:

NOT FOR CONSTRUCTION
SEE REMOVALS
-1.0



RP
ROSBOROUGH
PARTNERS, INC.

342 N. 4th Street, Suite 104
Libertyville, IL 60048
p 847 549 1361
f 847 549 1392
www.rosboroughpartners.com

Rosborough Partners, Inc. hereby reserves any and all common law and statutory copyrights and other property rights in these plans. Written permission must be obtained prior to the reproduction, disclosure to a third party, or use of these plans. Rosborough Partners, Inc. accepts no liability should these plans be used by a third party.



CLIENT: _____ CONSULTANTS: _____ GENERAL NOTES: _____

ISSUED FOR:		DESIGNED BY: PR, JH	
NOT FOR CONSTRUCTION		DRAWN BY: JH, EP	
PROJECT:		REVISIONS:	
HAGSTROM RESIDENCE			
901 SPRING LANE		1	05/14/21
LAKE FOREST, IL 60045		NO	DATE
			CONCEPT 1
			ISSUE





STREIGHTIFF



STREIGHTIFF



STREIGHTIFF



STREIGHTIFF



STRECHTFF





STREIGHTIFF



STREIGHTIFF

Agenda Item 5
210 E. Onwentsia Road
New Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement in Response to Commission's Direction
Proposed Site Plan
Proposed Site Plan – Enlarged
Proposed Site Section
Previously Proposed South Elevation
Proposed South Elevation
Proposed South Color Elevation
Dormer Size Diagram
Previously Proposed West Elevation
Proposed West Elevation
Proposed West Color Elevation
Previously Proposed North Elevation
Proposed North Elevation
Proposed North Color Elevation
Previously Proposed East Elevation
Proposed East Elevation
Proposed Greenhouse Elevations
Proposed East Color Elevation
Color Renderings
Proposed Material Palette
Proposed Roof Plan
Proposed Greenhouse Floor Plan and Roof Plan
Building Section
Floorplans
Existing Conditions Plan – Wetlands and Tree Removal
Tree Inventory
Preliminary Site Grading Plan
Conceptual Landscape Plan
Proposed Entry and Motor Court Columns

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grieve and members of the Historic Preservation Commission
DATE:	July 21, 2021
FROM:	Jennifer Baehr, Planner
SUBJECT:	210 E. Onwentsia Road – Continued Consideration of New Residence

PETITIONERS

Vikram and Rachel Karnani
360 Linden Avenue
Lake Forest, IL 60045

PROPERTY LOCATION

210 E. Onwentsia Road

HISTORIC DISTRICTS

Green Bay Road Local and
National Historic Districts

PROJECT REPRESENTATIVE

Edward Deegan
503 Park Drive, Suite #4
Kenilworth, IL 60043

SUMMARY OF THE PETITION

This is a request for a Certificate of Appropriateness for a new single family residence and attached garage proposed on a vacant lot. Approval of a conceptual landscape plan and overall site plan is also requested.

COMMISSION DISCUSSION TO DATE ON THIS PETITION

The Commission considered this petition at the June 23, 2021 meeting. At that meeting, the Commission voted to continue the petition and requested the petitioners consider and respond to the comments offered by the Commission and to provide additional information. The Commission offered the following comments and direction on the petition.

- Refine and reduce the size of the dormers.
- Reduce the height of the columns at the front entrance.
- Study and revise the western extending hyphen and the screen porch. Explore how to improve the balance of the east and west wings.
- Modify the detailing on the single garage door to be consistent with the larger door.
- Study the selected architectural style and evaluate whether the symmetry or asymmetry aligns with the style.
- Consider the potential for conversion of the screen porch to a four season space in the future and what that could mean from an appearance or functional perspective.
- Coordinate with the bodies having jurisdiction to properly address the wetlands on the site.
- Continue work to secure appropriate permits from Lake County Stormwater Management Commission, the body with jurisdiction over various aspects of the site that are not within the purview of the HPC.
- Continue to work with the project engineer and the City Engineer to verify that the grading and drainage plans comply with all applicable requirements.

The petitioner's revised statement of intent is included in the Commission's packet along with revised elevations. Portions of the previous submittal are included in the Commission's packet for comparison purposes.

REVISIONS SINCE THE LAST MEETING

The following key revisions were made in response to the Commission's direction at the last meeting.

- The size of the dormers was reduced. The petitioner provided a diagram that illustrates how the dormer size was modified. The diagram is included in the Commission's packet.
- The height of the columns at the driveway entrance were reduced from seven feet tall to six feet tall.
- The design and exterior materials of the west wing were modified to better relate to the appearance of the main mass and east wing of the residence.
- The single garage door design was modified to match the larger garage door.
- Although not under the purview of the HPC, the necessary approval was obtained from the Lake County Stormwater Management Commission related to the wetlands on the site.
- Based on the City Engineer's preliminary review of the drainage and grading plan, the plan appears to satisfy the requirements of the Watershed Development Ordinance. The final drainage and grading plan will be subject to review and approval by the City Engineer prior to the issuance authorizing any work on the site.

Staff raised concerns to the petitioner's architect about whether the limited changes made to the plans since the last meeting fully respond to the comments, concerns and direction provided by the Commission.

PROPERTY DESCRIPTION

The property is located on the north side of Onwentsia Road, west of Green Bay Road. The property is the rear lot of the 2-lot Whalley Subdivision which was recorded in April 1990. The property is considered a lot-in-depth because the frontage on Onwentsia Road is less than the minimum lot width required for a lot in this zoning district. Because the property is a lot-in-depth and is located behind an existing residence, the site is minimally visible from the street.

The property totals 66,198 square feet, excluding the narrow portion of the lot on the south side that serves to access the site from Onwentsia Road. There is a significant grade change across the site. From the east side of the property to the west side, there is approximately 16 feet of grade change.

There are wetlands along the west property line and in the northwest corner of the site as reflected on existing conditions plan in the Commission's packet.

STAFF EVALUATION

Site Plan

The proposed residence faces south and the attached three car garage faces east. Two stone pillars are proposed on either side of the driveway at the entrance to the site. The existing gravel driveway will be removed and replaced with an asphalt driveway that is located generally in the center of the

narrow portion of the site and curves around the south side of the property to the motor court at the front of the house. Low stone walls are proposed around the motor court. From the east side of the motor court, the driveway continues to the service court and attached garage on the east side of the house.

Terraces and a formal lawn are proposed north of the residence. A pool is proposed generally in the northwest corner of the site and landscaped terraces are proposed between the pool and the formal lawn area. A greenhouse and vegetable garden are proposed north of the garage, on the east side of the site. A four foot tall fence is proposed around the pool and rear yard. A six foot tall fence is proposed around the vegetable garden.

Based on information submitted by the petitioner, the proposed impervious surface on the site totals 23,130 square feet, equal to 30% of the total lot area. The building footprint totals 5,959 square feet and is equal to 8% of the lot area. Other paved surfaces including the driveway, motor court, terraces, walls and walkways total 17,171 square feet. This total includes some hardscape such as the cobble and gravel motor court and gravel walkways which is considered semi-permeable. Since the previous proposal, the impervious surface was slightly reduced by 227 square feet.

New Residence

Based on the petitioner's statement of intent, the residence is designed in a French Country style. The main mass of the proposed residence is two and half stories with hip roof forms. The garage mass on the east side of the residence is a single story volume. On the west side of the residence an open porch is proposed that is connected to the main mass by a colonnade. The home features traditional French detailing such as flared eaves, shutters, balconies, and arched dormers.

Findings

A staff review of the applicable standards in the City Code is provided below. Findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height.

This standard is met. The surrounding neighborhood reflects one and a half, two, and two and a half story homes. The proposed residence is two and a half stories tall and at its maximum height, the house is at 37'-10" as measured from the lowest point of existing grade adjacent to the residence to the tallest roof peak. The maximum height allowed for this property is 40 feet.

Standard 2 – Proportion of Front Façade.

This standard is met. The front façade of the residence, facing south, presents a symmetrical appearance at the main central mass with smaller masses on the east and west sides. The front façade features a balanced and aligned fenestration pattern and design elements such as an iron balcony, dormers, and chimneys on each end that frame the main volume of the residence.

Standard 3 – Proportion of Openings.

This standard is met. The house features a combination of single and double casement windows. In some areas transom windows are proposed. The windows and doors present narrow and vertical proportions, consistent with the French style.

Standard 4 – Rhythm of Solids to Voids.

This standard is generally met. There is mostly a consistent rhythm of solids to voids on the

elevations, however, the rear elevation presents larger expanses of openings on the center and arched bay windows to take advantage of views to the rear yard and provide ample natural light into the home. The west wing of the home was modified to reflect a more solid areas by incorporating stone walls and square stone columns that presents a more substantial appearance as opposed to the lightweight screened porch and lattice walls that were previously proposed.

Standard 5 – Spacing on the Street.

This standard is met. As noted above, due to the site being setback from the street and behind an existing residence, the property is only minimally visible from the street.

Standard 6 – Rhythm of Entrance Porches.

This standard is met. The entrance to the home is appropriately centered on the front façade. The entry features a double French door with a stone jack arch above.

Standard 7 – Relationship of Materials and Texture.

This standard is met. The exterior is comprised of high quality and natural materials. Fieldstone is proposed for the primary façade material. Horizontal wood siding is proposed on a portion of the garage and on the recessed area at the center of the rear (north) elevation. Wood trim and panels are proposed for the projecting bay windows. Slate is proposed for the main roof forms and copper is proposed for the low-pitch roof forms on the connecting elements on the east and west sides of the residence. The dormers will be wood. The smaller dormers will have copper roofs and the large arched dormer on the front façade will have a slate roof. Aluminum clad wood windows, with interior and exterior muntin bars are proposed. Wood louvered shutters with shutter dogs are proposed. Wood is proposed for the fascia boards and soffits Stone chimneys with clay pots are proposed.

Hardscape on the site includes an asphalt drive and a cobble and gravel motor court. Fieldstone is proposed for the entry pillars, low walls around the motor court, the terrace walls, and the stair risers. Bluestone is proposed for the stair treads, terraces on the rear of the home, around the formal lawn, and for the pool deck.

Standard 8 – Roof Shapes.

This standard is met. The primary hip roof forms have a steep 11:12 pitch, consistent with the French style. The roof forms on the connecting elements on the east and west sides of the residence have a shallow 2:12 pitch in order to minimize the appearance of mass and create separation between the various volumes that comprise the residence.

Standard 9 – Walls of Continuity.

This standard is met. The architectural style, building materials, proportions of openings, and architectural detailing are consistent on all elevations of the house. The west wing of the house was modified to incorporate materials that are in keeping with the main mass and east wing of the home which help to present a more cohesive design.

Standard 10 – Scale.

This standard is met. The residence as presented complies with the building scale requirements. Based on the lot size which does not include the land area of the narrow strip of land on which the driveway is located, a residence of up to 7,096 square feet is permitted on the site. In addition, a garage of up to 800 square feet is permitted along with up to 710 square feet of design elements. The

proposed residence totals 7,027 square feet. The garage totals 756 square feet and there are 751 square feet of design elements. The excess square footage of design elements must be added to the overall square footage of the home. In total, the home is 69 square feet below the allowable square footage.

Standard 11 – Directional Expression of Front Elevation.

This standard is met. The front of the house faces south, toward the street, however, it is located behind a house that fronts on Onwentsia Road will only be minimally visible from the street, if at all.

Standard 12 – Preservation of Historic Material.

This standard is not applicable to this petition.

Standard 13 – Protection of Natural Resources.

This standard is not fully met but can be addressed through mitigation of the proposed impacts on natural resources. As currently proposed, a total of 42 trees are proposed for removal. Eleven of the trees proposed for removal are located within the footprint of the residence. The remaining 31 trees proposed for removal are located in areas where grading work will impact the trees and in areas of proposed hardscape, such as the driveway, motor court, terraces, pool and pool deck. The trees proposed for removal include Elm, Spruce, Poplar, Maple, Pine, Box Elder, and Ash trees. Based on the tree survey provided by the petitioner, the majority of the trees proposed for removal are in fair condition however, because they are not all high quality species, only partial inch for inch replacement totaling 255 inches will be required. Replacement inches are not required for trees that are in poor condition.

The conceptual landscape plan submitted by the petitioner reflects a number of shade, evergreen and ornamental trees across the property. An alley of Swamp White Oak trees is proposed along the driveway on the narrow portion of the property. Evergreen plantings such as Norway Spruce trees and Arborvitae are proposed in the northeast corner of the site, around the motor court and along the angled south property line. Hornbeam trees are proposed around the perimeter of the pool area. As the landscape plan is finalized, the plantings will require review by City engineering staff to assure that any impacts to wetlands are properly reviewed and addressed as required and to avoid conflicts with required drainage infrastructure and overland stormwater flow areas. Due to the change in topography across the site, drainage will be carefully reviewed to mitigate any impact to surrounding properties.

As the landscape plan is developed further, the plan shall provide for the required replacement inches on site to the extent possible using good forestry practices. If all replacement tree inches cannot be accommodated on the site or, a payment in lieu of on-site plantings may be accepted by the City to support tree planting to enhance the streetscape in the general area.

Standard 14 – Compatibility.

This standard is met. The scale, height, materials, and architectural detailing are compatible with the mix of styles in the surrounding historic neighborhood.

Standard 15 – Repair to deteriorated features.

This standard is not applicable to this request.

Standard 16 – Surface cleaning.

This standard is not applicable to this request.

Standard 17 – Integrity of historic property.

This standard is met. The proposed residence reflects a traditional architectural style with high quality natural materials, and is consistent with the character and integrity of the surrounding neighborhood and the Historic District overall.

PUBLIC COMMENT

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

RECOMMENDATION

Grant a Certificate of Appropriateness approving a new residence, attached garage, conceptual landscape plan and overall site plan on property located at 210 E. Onwentsia Road, subject to the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission. Any refinements made in response to direction from the Commission, or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Commission shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Commission's direction and approval prior to the issuance of any permits.
2. At the time of submittal for a building permit, detailed drainage and grading plans must be submitted. The plans shall clearly reflect all existing trees and identify those proposed for removal. Grading and filling shall be limited to the minimum necessary to meet accepted engineering standards in the interest of minimizing stress on the trees intended to remain. The plans shall be subject to review and approval by the City Engineer in consultation with the City's Certified Arborist.
3. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect any trees identified for preservation during construction must be submitted and will be subject to review and approval by the City's Certified Arborist. Chain link fencing shall be required to protect trees intended for preservation in addition to any pre and post construction treatments or maintenance required by the City's Certified Arborist.
4. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall provide for the required replacement inches on site to the extent possible using good forestry practices and identify any remaining inches for which a payment in lieu of planting will be required prior to the issuance of a Certificate of Occupancy. If during construction, additional trees on the site are compromised in the opinion of the City's Certified Arborist, additional replacement inches or payment in lieu of on site planting may be required.
5. Details of all exterior lighting shall be reflected on the plans submitted for permit. No landscape lighting is proposed based on the current plans. For all exterior lights on the residence, garage or elsewhere on the site, cut sheets of all light fixtures shall be provided.

All fixtures shall solely direct light downward and the source of the light shall be shielded from view from off the property by the fixtures. Careful attention shall be paid to any exterior lighting that is proposed given the location of the residence at the rear of the adjacent home.

6. Prior to the issuance of a building permit, a plan for construction parking and materials' staging shall be submitted to the City for review and will be subject to City approval in an effort to minimize impacts on the surrounding neighborhood. No on street parking of construction vehicles or contractor's vehicles is permitted due to the narrow width of the street.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 210 E. Onwentsia Road Owner(s) Vikram and Rachel Karnani
 Architect Edward Deegan, architect Reviewed by: Jen Baehr
 Date 7/21/2021
 Lot Area 66198 sq. ft.

Square Footage of New Residence:

1st floor 3795 + 2nd floor 2486 + 3rd floor 0 = 6281 sq. ft.

Design Element Allowance = 710 sq. ft.

Total Actual Design Elements = 751 sq. ft. Excess = 41 sq. ft.

Garage 756 sf actual ; 800 sf allowance Excess = 0 sq. ft.

Garage Width 23 ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 402 sq. ft.

Accessory buildings = 303 sq. ft.

TOTAL SQUARE FOOTAGE = 7027 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 7096 sq. ft.

DIFFERENTIAL = -69 sq. ft.

Under Maximum

Allowable Height: 40 ft. Actual Height 37'-10" ft.

NET RESULT:

69 sq. ft. is

0.97% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 710 sq. ft.

Front & Side Porches = 674 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 77 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

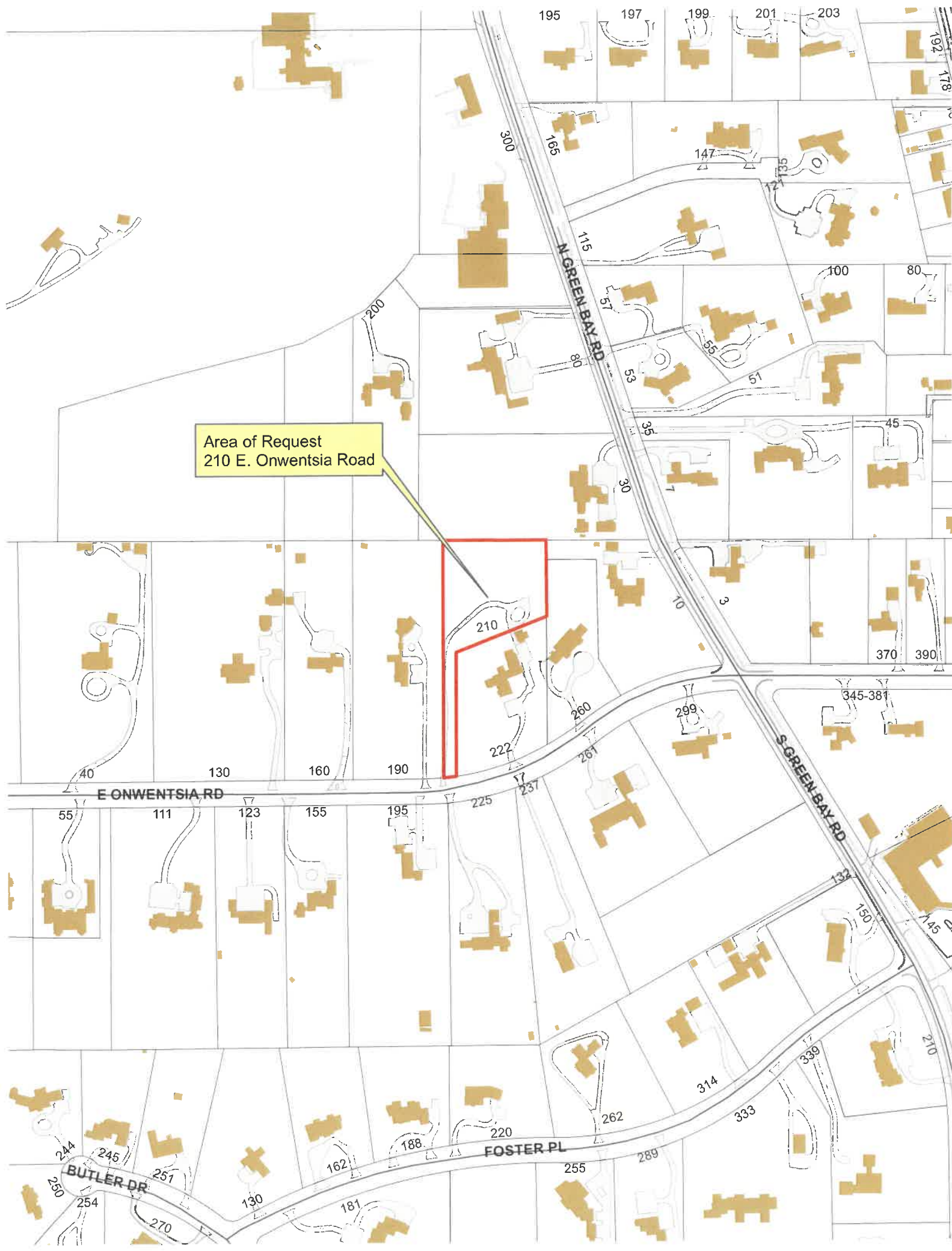
Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 751 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request
210 E. Onwentsia Road



Area of Request
210 E. Onwentsia Road





THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS

PROJECT ADDRESS 210 E. Onwentsia Road

APPLICATION TYPE

<i>RESIDENTIAL PROJECTS</i>	<i>COMMERCIAL PROJECTS</i>
<input checked="" type="checkbox"/> New Residence <input type="checkbox"/> New Accessory Building <input type="checkbox"/> Addition/Alteration <input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Demolition Complete <input type="checkbox"/> Demolition Partial <input type="checkbox"/> Height Variance <input type="checkbox"/> Other
<input type="checkbox"/> New Building <input type="checkbox"/> Addition/Alteration <input type="checkbox"/> Height Variance <input type="checkbox"/> Other	<input type="checkbox"/> Landscape/Parking <input type="checkbox"/> Lighting <input type="checkbox"/> Signage or Awnings

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- ☐ East Lake Forest District ☒ Green Bay Road District ☐ Vine/Oakwood/Green Bay Road District
☐ Local Landmark Property or District ☐ Other

PROPERTY OWNER INFORMATION

Vikram and Rachel Karnani

Owner of Property

360 Linden Avenue

Owner's Street Address (may be different from project address)

Lake Forest, IL 60045

City, State and Zip Code

847 848-2184

Phone Number

Fax Number

karnani.vikram@gmail.com

Email Address



Owner's Signature

ARCHITECT/BUILDER INFORMATION

Edward Deegan

Name and Title of Person Presenting Project

Edward Deegan Architects

Name of Firm

503 Park Drive, Suite 4

Street Address

Kenilworth, IL 60043

City, State and Zip Code

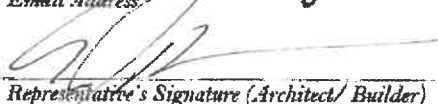
847-906-4110

Phone Number

Fax Number

eid@edwarddeeganarchitects.com

Email Address



Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

☐ OWNER

☐ REPRESENTATIVE



Meeting Action Summary

Date of Action: June 23, 2021

The City of Lake Forest Historic Preservation Commission voted to continue the following petition and provided direction to the petitioners:

Petition Address: 210 Onwentsia Road
Property Owners: Vikram and Rachel Karnani
Representative: Edward Deegan, architect

Project Description: New Residence and Conceptual Landscape Plan

The Commission provided the following direction to the petitioners.

- Refine and reduce the size of the dormer windows.
 - Dormer size has been reduced 10% per commissioner comments.
- Reduce the height of the columns at the front entrance.
 - Height reduced per attached Landscape drawings.
- Study and revise the western extending hyphen and the screen porch. Explore how to better balance the east and west wings.
 - Pool House/Screened porch has been adjusted to match main house language and now feels more like the Eastern wing.
- Modify the detailing on the single garage door to be consistent with the larger door.
 - Door design has been changed per commissioner comments.
- Study the design style selected and how the symmetry or asymmetry aligns with the style.
 - We feel this project is a great representation of the chosen French Country Vernacular. This style allows for a hierarchy of forms to both work with local symmetries and a larger compositional balance.
- Consider the potential for conversion of the screen porch to a four season space in the future.
 - This will be considered of course but for now the porch will be maintained as an open-air structure.
- Clarify that the wetlands are being appropriately addressed.
 - The wetlands permit is approved by lake county per attached document. All that remains is city approval during the city permitting phase.
- Provide an update on the status of the permit from Lake County Stormwater Management Commission.
 - The wetlands permit is approved by lake county per attached document. All that remains is city approval during the city permitting phase.
- Continue to verify that the drainage is properly addressed by the project engineer and the City Engineer and that the existing stormsewer.
 - Bleck Engineering has designed a stormwater system that will handle both water internally on the site and externally to the existing Storm sewer. All designs have been reviewed by the City Staff and preliminarily approved by Brian Joyce (Engineering Supervisor)



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- ☒ Stone
☐ Brick
☐ Wood Clapboard Siding
☐ Wood Shingle
☐ Cementitious Stucco
☐ Other _____

Color and/or Type of Material _____

Foundation Material

Exposed Foundation Material _____

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Color of Finish white _____

Finish and Color of Windows

- ☐ Wood (recommended)
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars (recommended)
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone
☐ Brick
☐ Wood
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☐ Wood
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☒ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☒ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☐ Copper
- ☐ Other _____
- ☐ Sheet Metal

Color of Material _____

Gutters and Downspouts

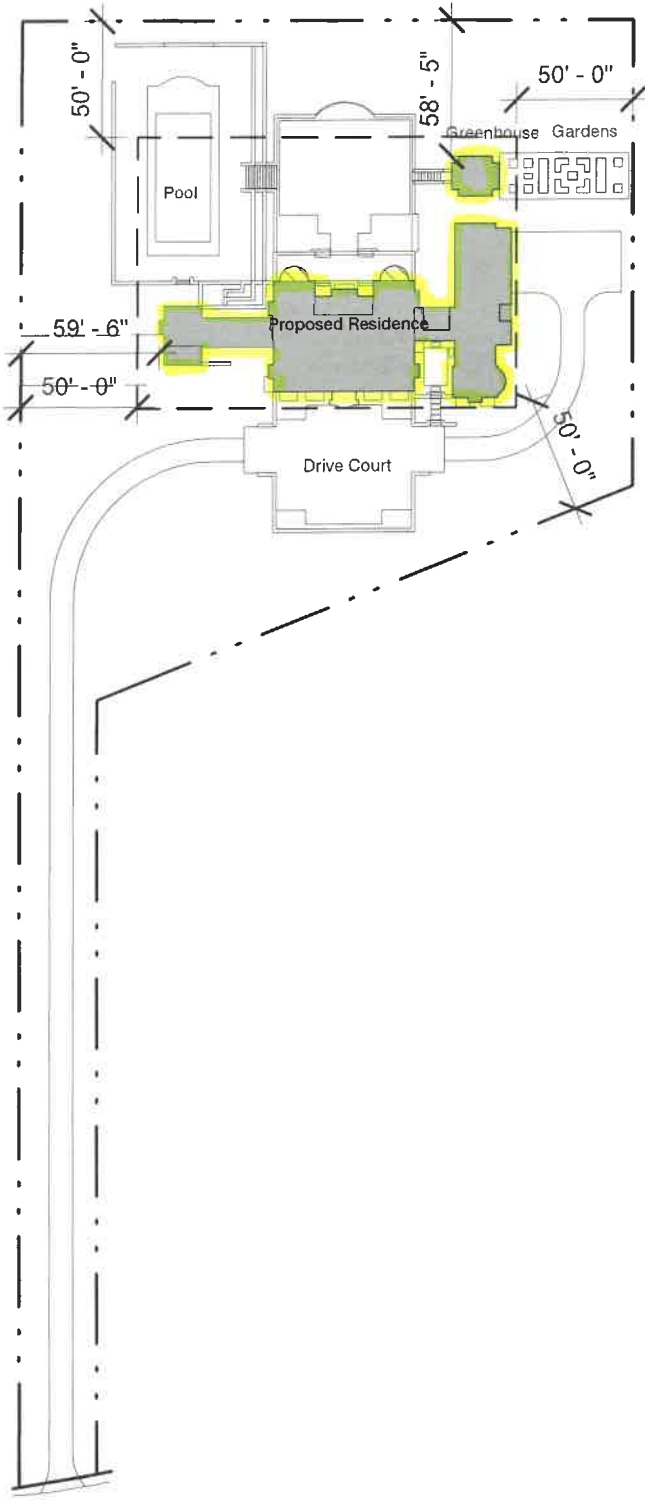
- ☒ Copper
- ☐ Aluminum
- ☐ Other _____

Driveway Material

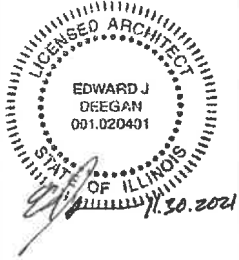
- ☐ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☒ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☒ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____



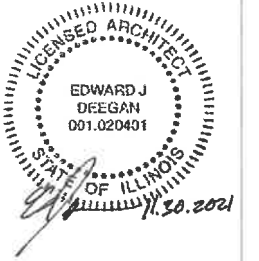
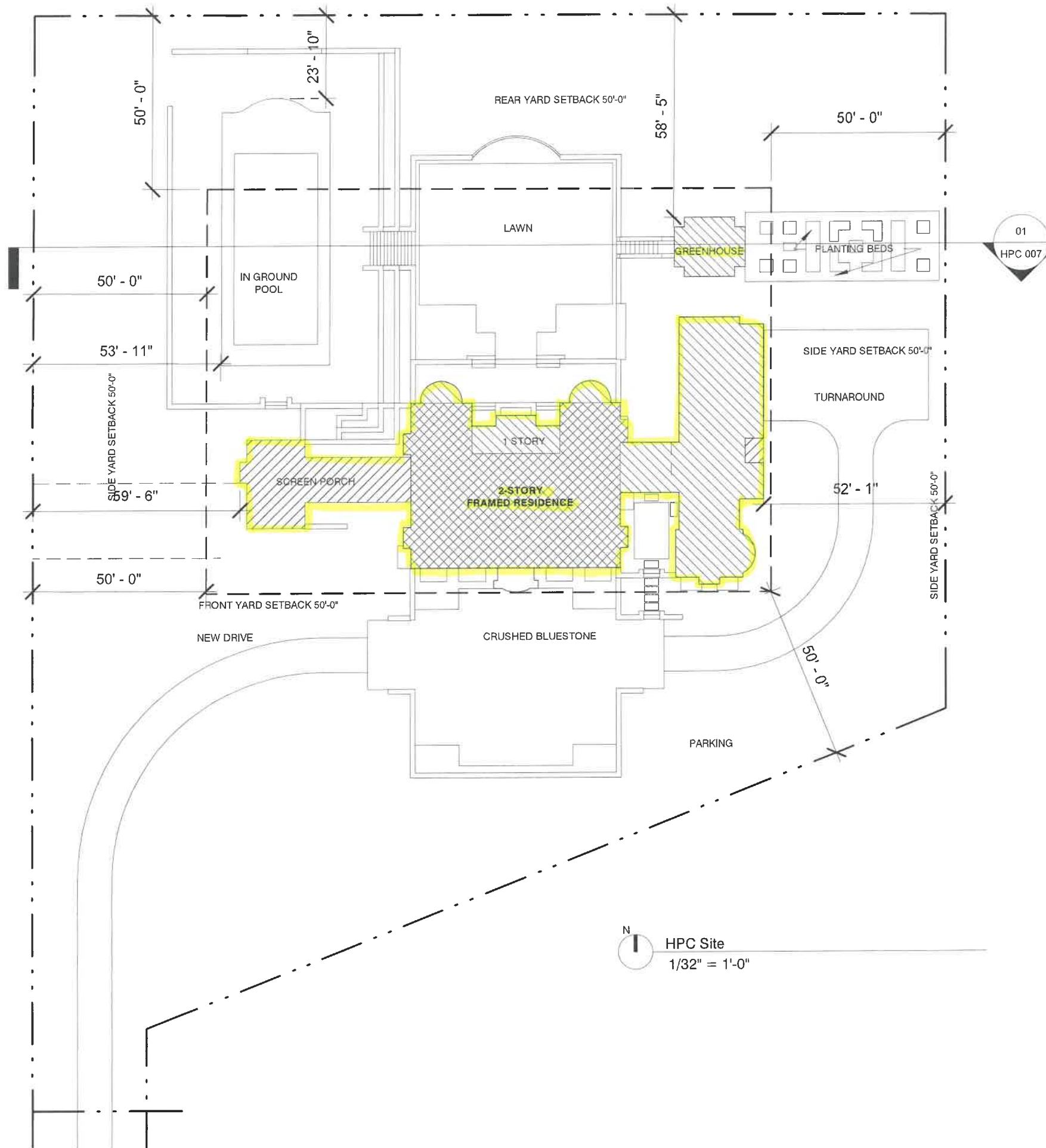
N
HPC Proposed Site Diagram
1" = 80'-0"



The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

PROPOSED SITE
DIAGRAM
SHEET NO.
HPC 004



The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045

**EDWARD DEEGAN
ARCHITECTS**
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

SITE PLAN

SHEET NO.

HPC 005



01 Proposed Site Section
1" = 20'-0"

SHEET NO.

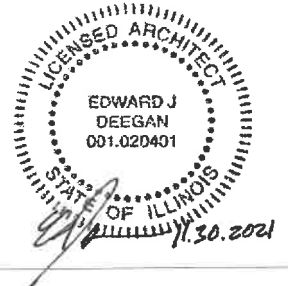
HPC 007

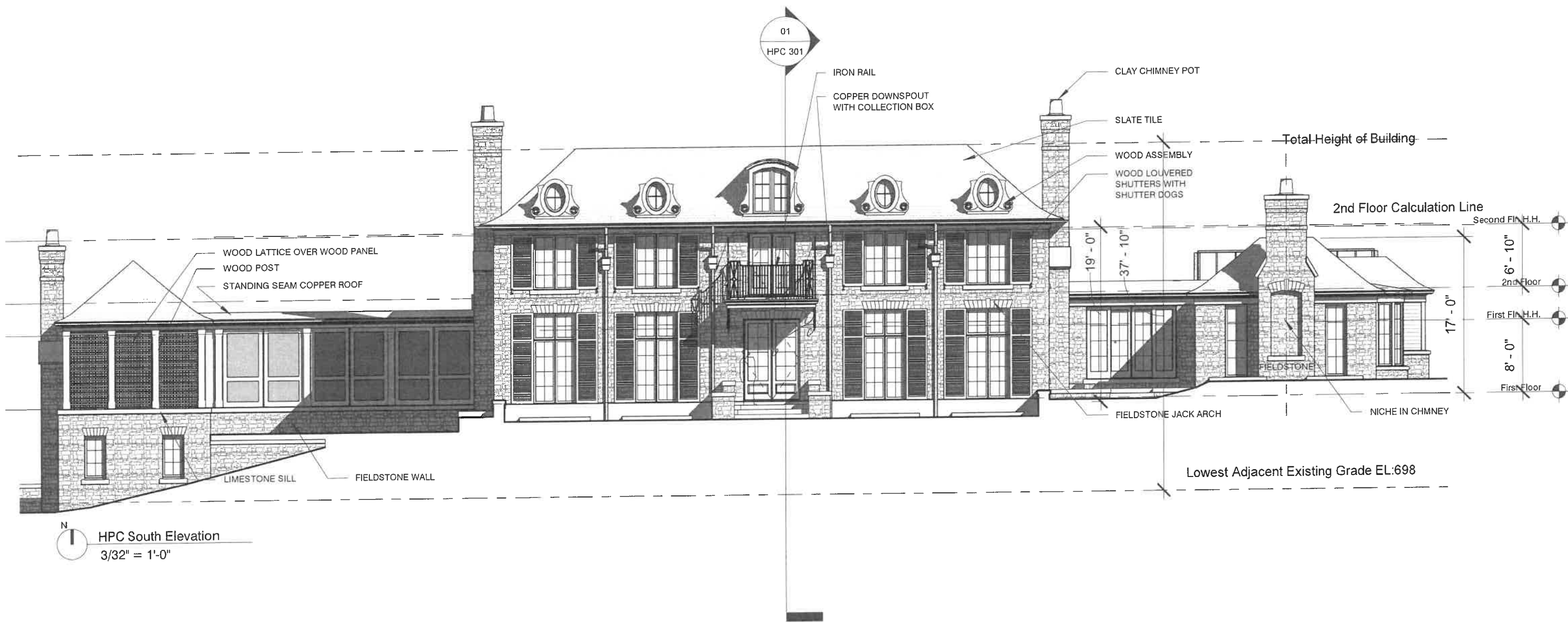
PROP. SITE SECTION

**EDWARD DEEGAN
ARCHITECTS**

503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045





SHEET NO.
HPC 203
SOUTH ELEVATION

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045

LICENSED ARCHITECT
EDWARD J. DEEGAN
001.020401
STATE OF ILLINOIS
11.30.2021



SHEET NO.

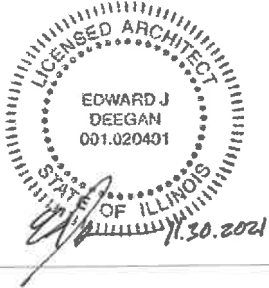
HPC 203

SOUTH ELEVATION

**EDWARD DEEGAN
ARCHITECTS**

503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045





South Elevation 0 5 10
Scale: 3/32"=1'-0"

SHEET NO.

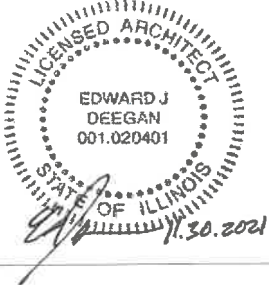
HPC 209

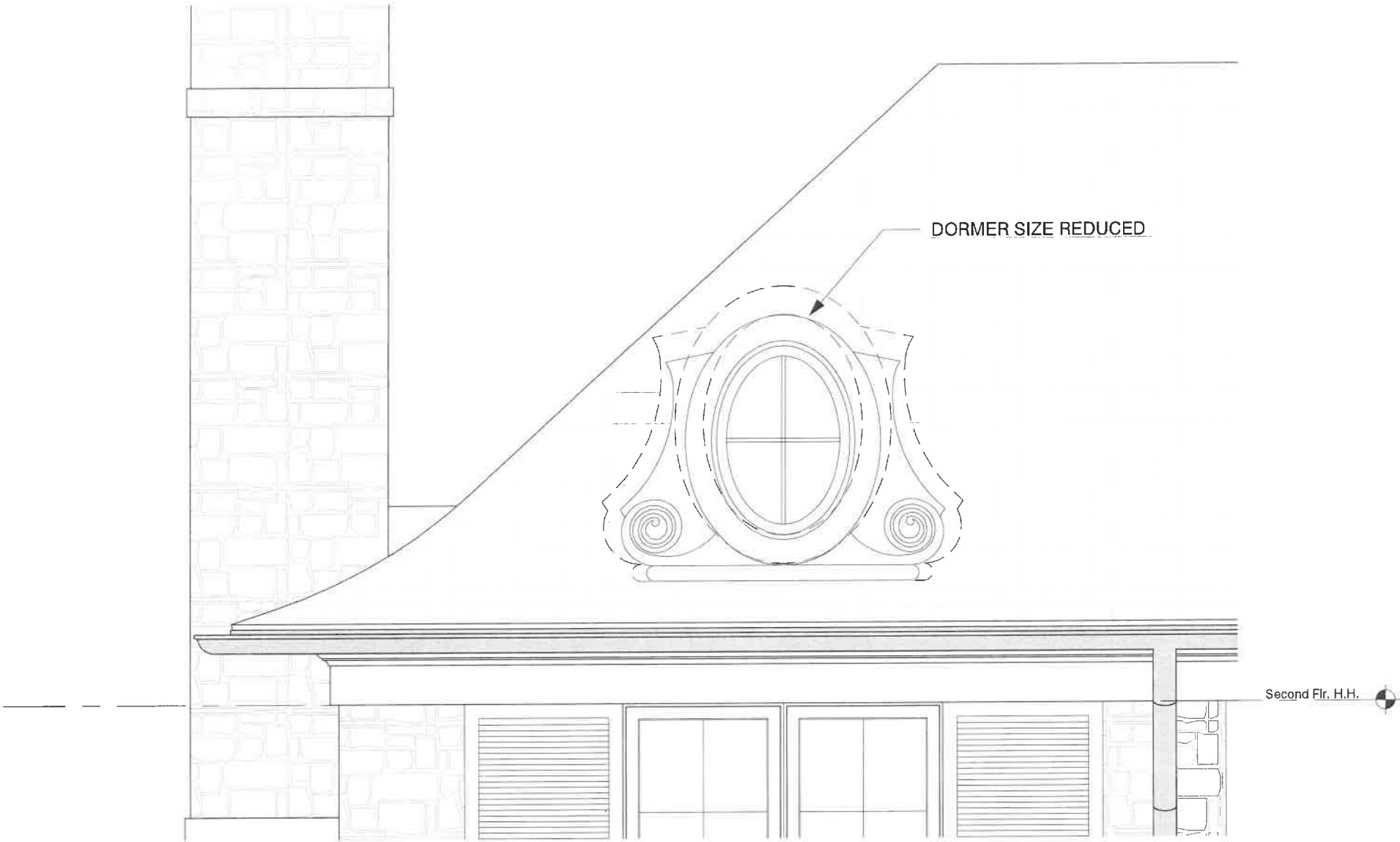
SOUTH RENDERING

**EDWARD DEEGAN
ARCHITECTS**

503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045



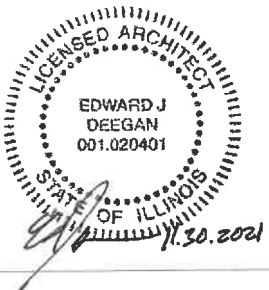


1 Dormer Reduction
1/2" = 1'-0"

SHEET NO.
HPC 203b
DORMER REDUCTION

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045

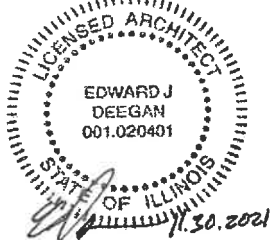




SHEET NO.
HPC 204
WEST ELEVATION

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045





SHEET NO.

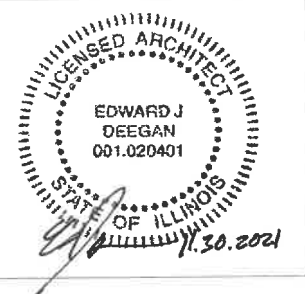
HPC 204

WEST ELEVATION

**EDWARD DEEGAN
ARCHITECTS**

503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045



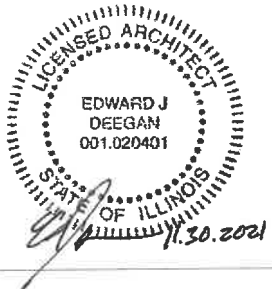


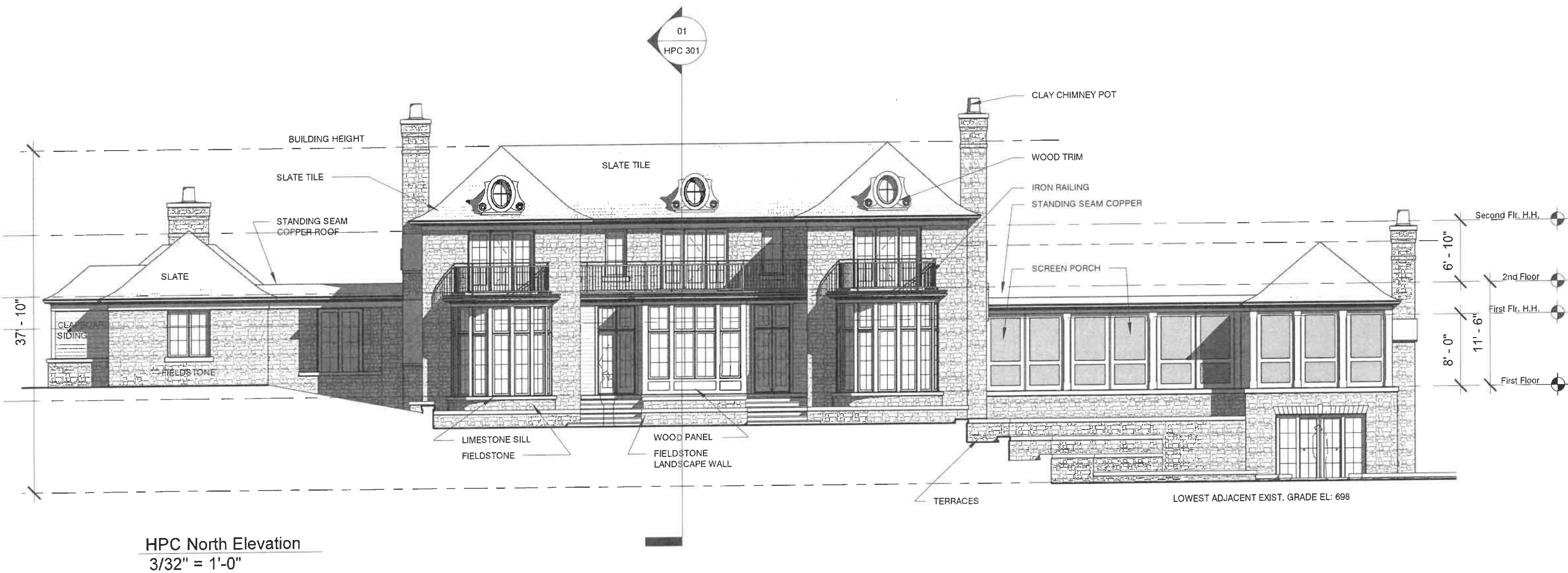
West Elevation 0 5 10
Scale: 3/32"=1'-0"

SHEET NO.
HPC 210
WEST RENDERING

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045

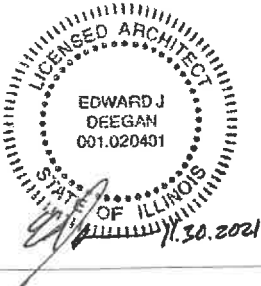


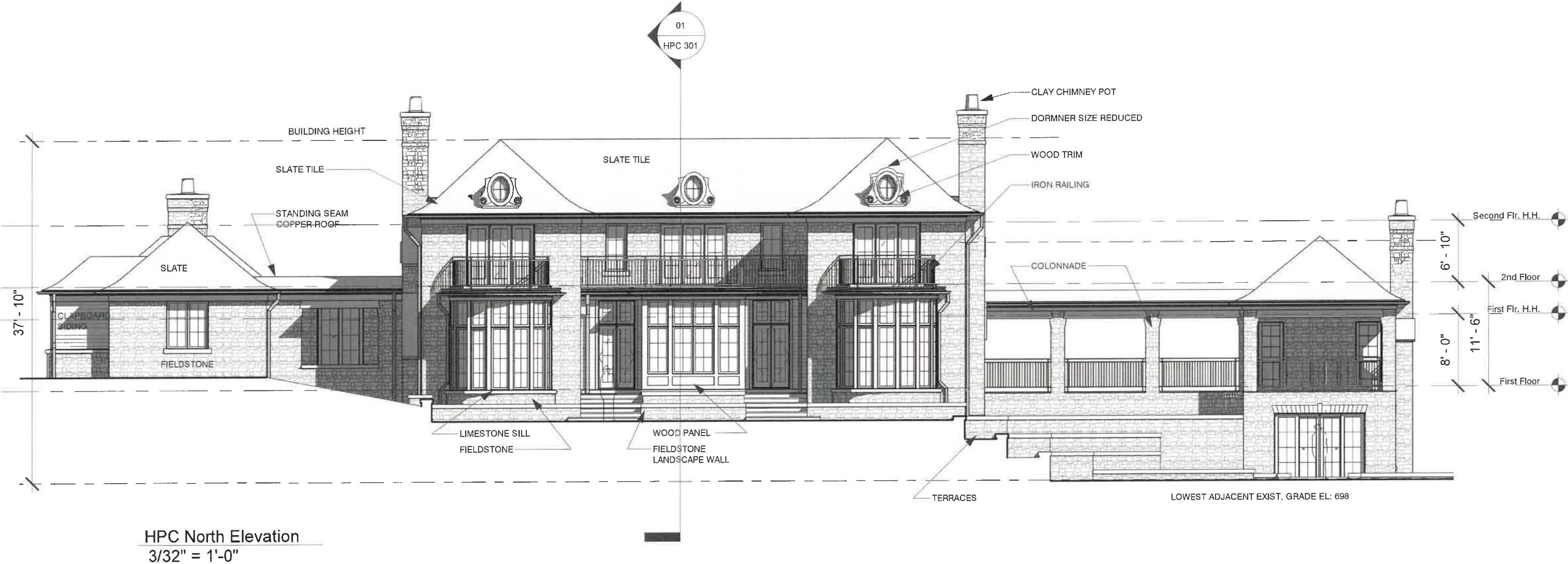


SHEET NO.
HPC 201
NORTH ELEVATION

**EDWARD DEEGAN
ARCHITECTS**
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045





SHEET NO.

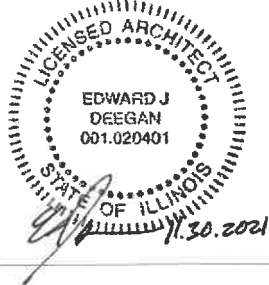
HPC 201

NORTH ELEVATION

**EDWARD DEEGAN
ARCHITECTS**

503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045





North Elevation 0 5 10
Scale: 3/32"=1'-0"

SHEET NO.

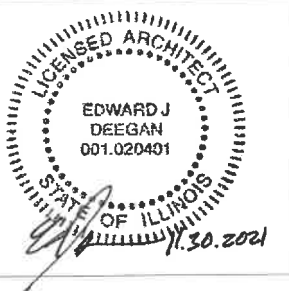
HPC 207

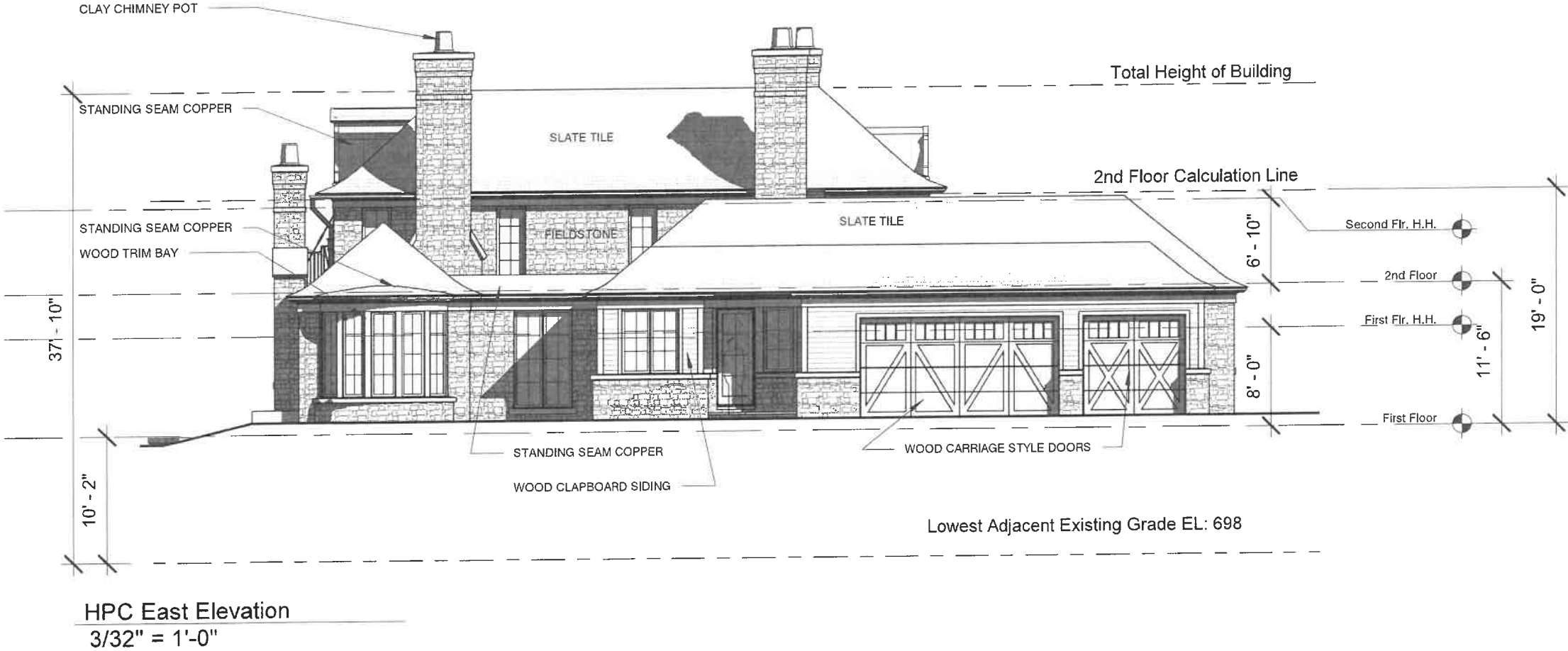
NORTH RENDERING

EDWARD DEEGAN
ARCHITECTS

503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045

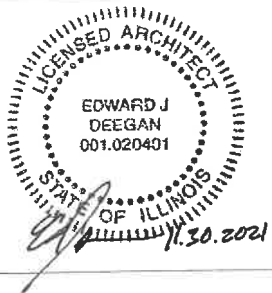


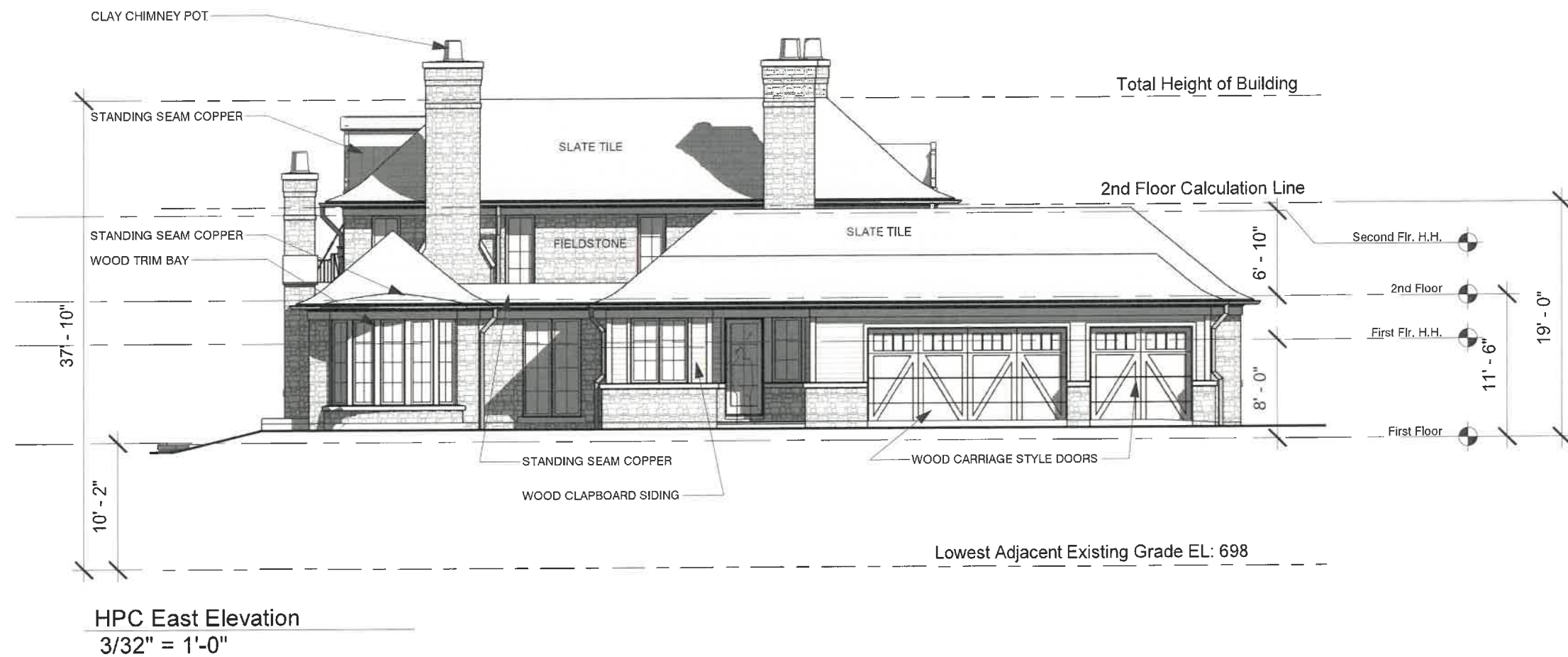


SHEET NO.
HPC 202
EAST ELEVATION

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045





SHEET NO.

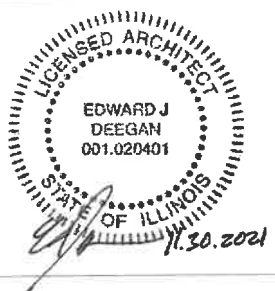
HPC 202

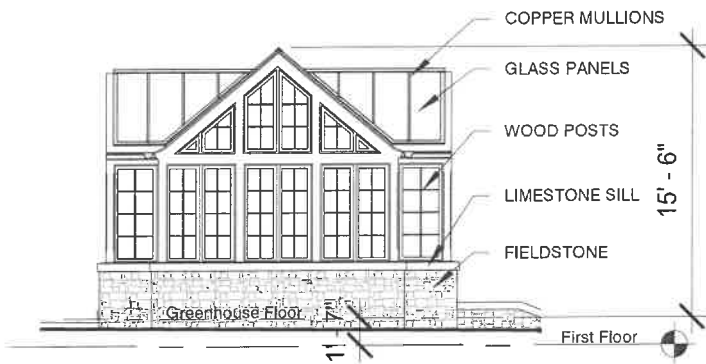
EAST ELEVATION

**EDWARD DEEGAN
ARCHITECTS**

503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045





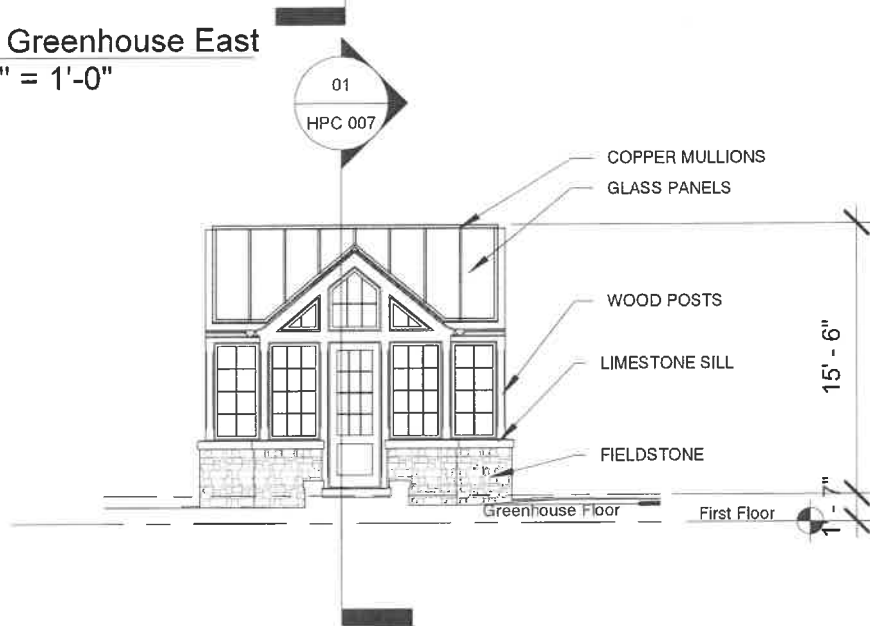
HPC Greenhouse North
3/32" = 1'-0"



HPC Greenhouse South
3/32" = 1'-0"



HPC Greenhouse East
3/32" = 1'-0"



HPC Greenhouse West
3/32" = 1'-0"

SHEET NO.

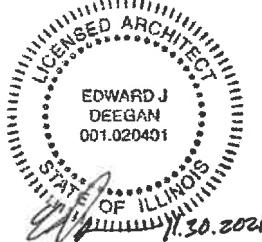
HPC 205

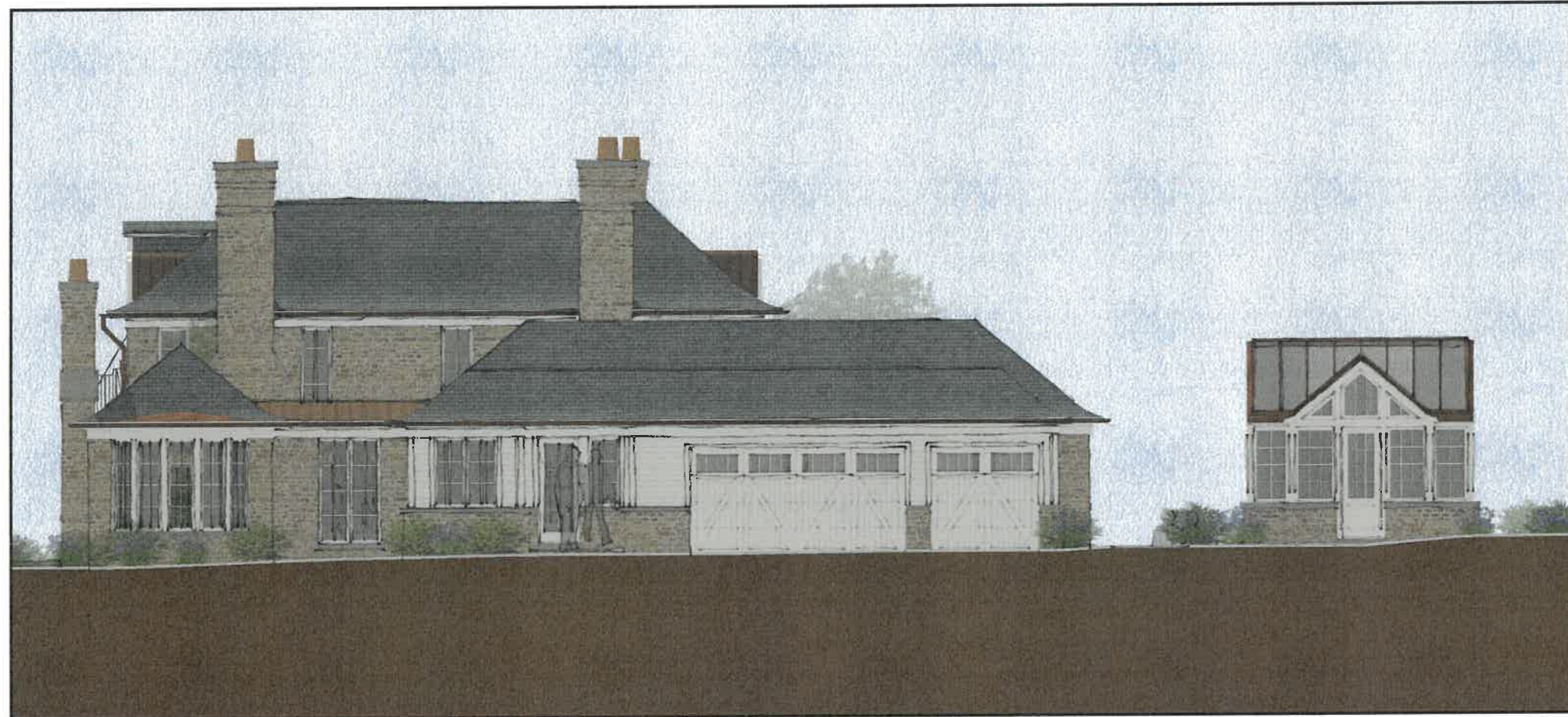
GREEN HOUSE ELEV.

**EDWARD DEEGAN
ARCHITECTS**

503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045





East Elevation 0 5 10
Scale: 3/32"=1'-0"

SHEET NO.

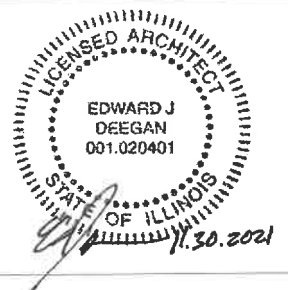
HPC 208

EAST RENDERING

EDWARD DEEGAN
ARCHITECTS

503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045





Perspective Looking Northeast
Scale: N/A

SHEET NO.
HPC 211
PERSPECTIVE

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045





Perspective Looking Southeast

Scale: N/A

SHEET NO.

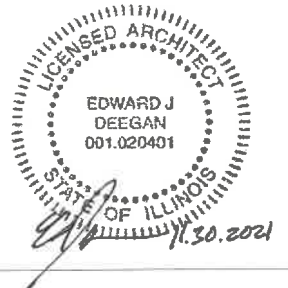
HPC 212

PERSPECTIVE

**EDWARD DEEGAN
ARCHITECTS**

503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

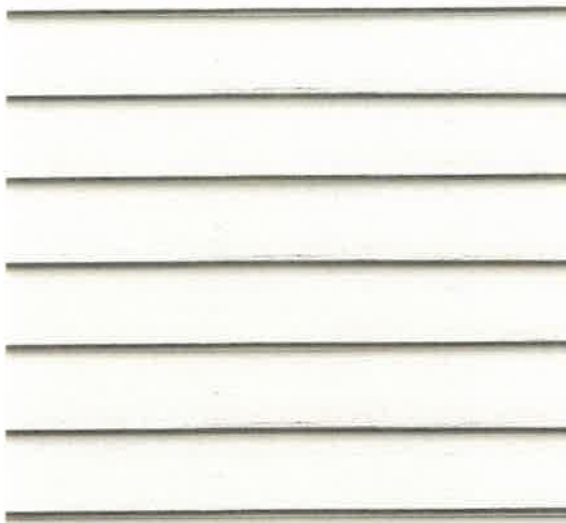
The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045



Materials



Fieldstone



Clapboard Siding



Slate Roof Tile

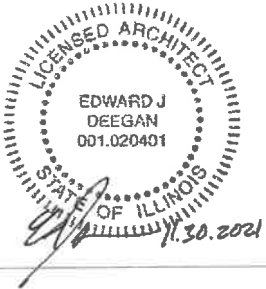


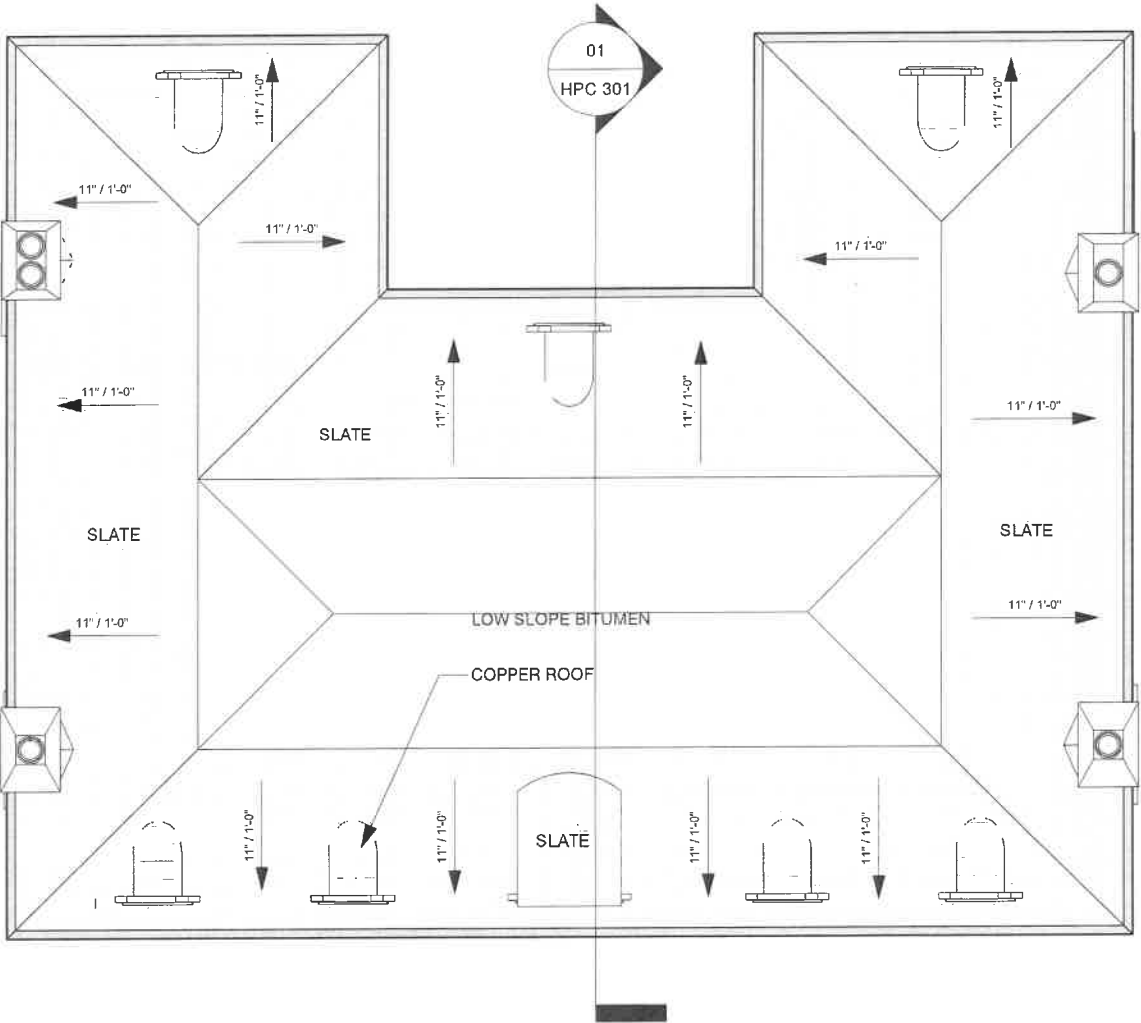
Copper Half Round Gutters and Downsoupts

SHEET NO.
HPC 401
MATERIALS

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045



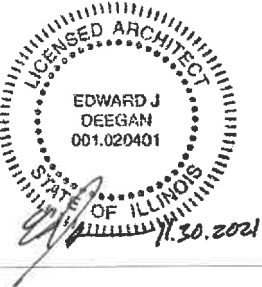


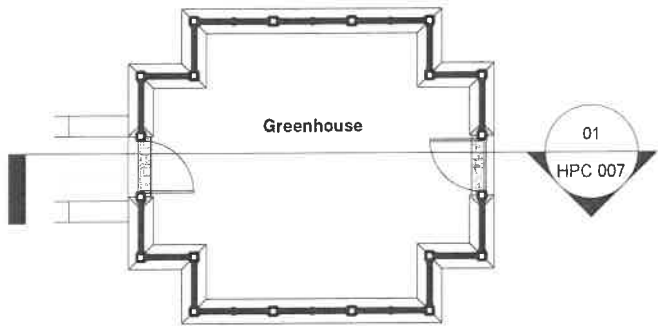
N
HPC Roof Plan
3/32" = 1'-0"

SHEET NO.
HPC 104
ROOF PLAN

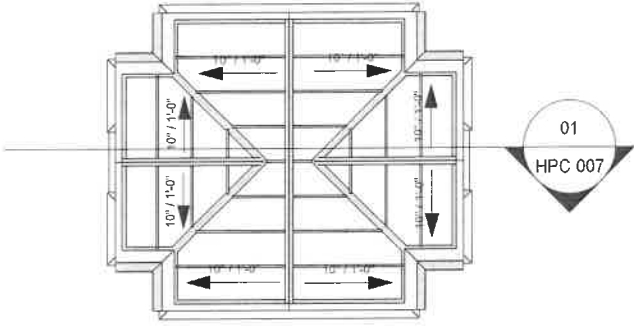
EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045





N
HPC Greenhouse Plan
3/32" = 1'-0"

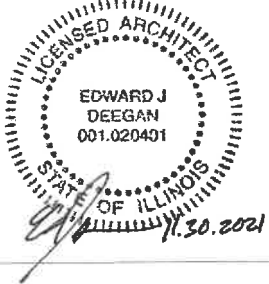


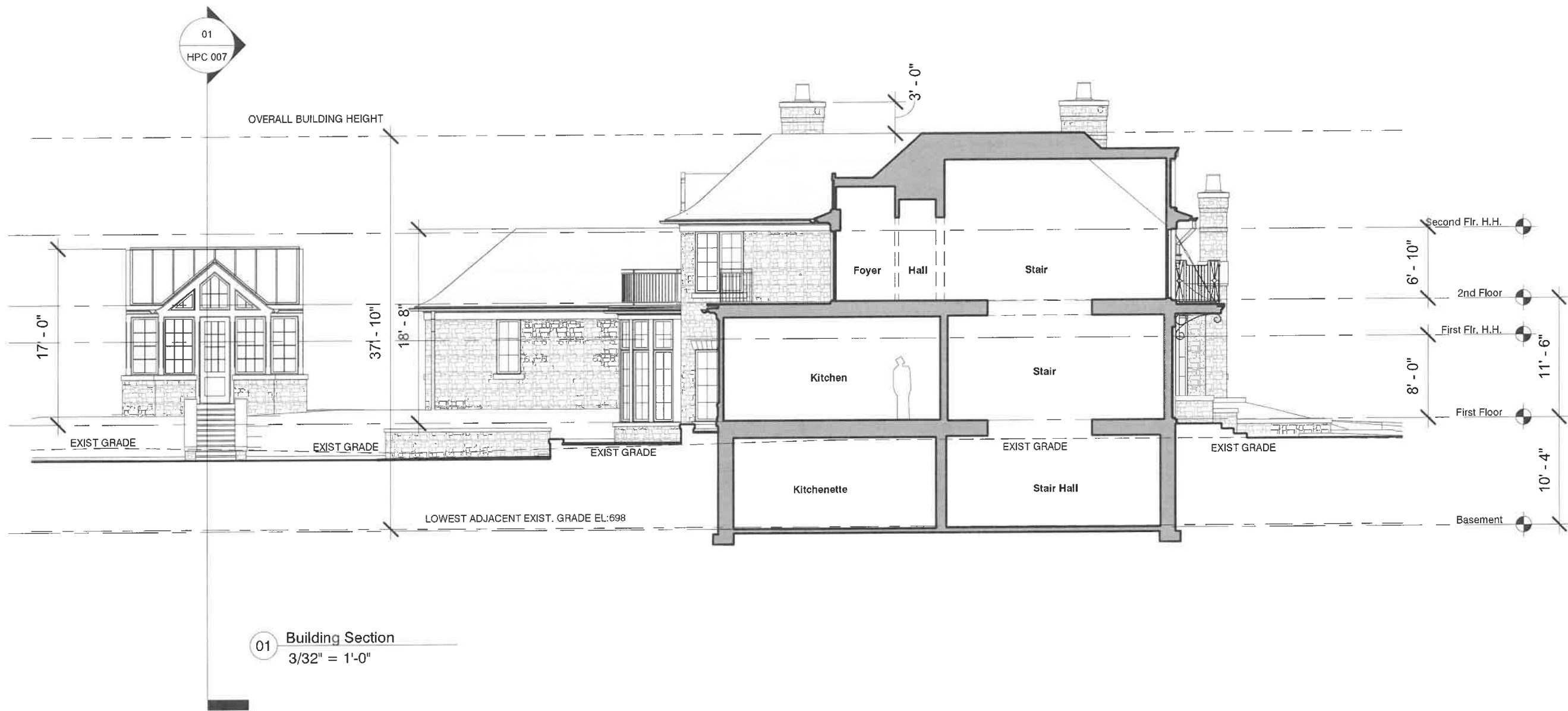
N
HPC Greenhouse Roof Plan
3/32" = 1'-0"

SHEET NO.
HPC 105
GREENHOUSE PLANS

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045





SHEET NO.

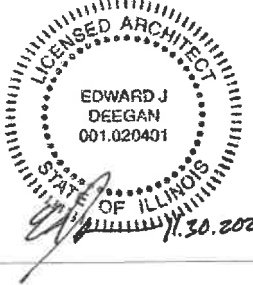
HPC 301

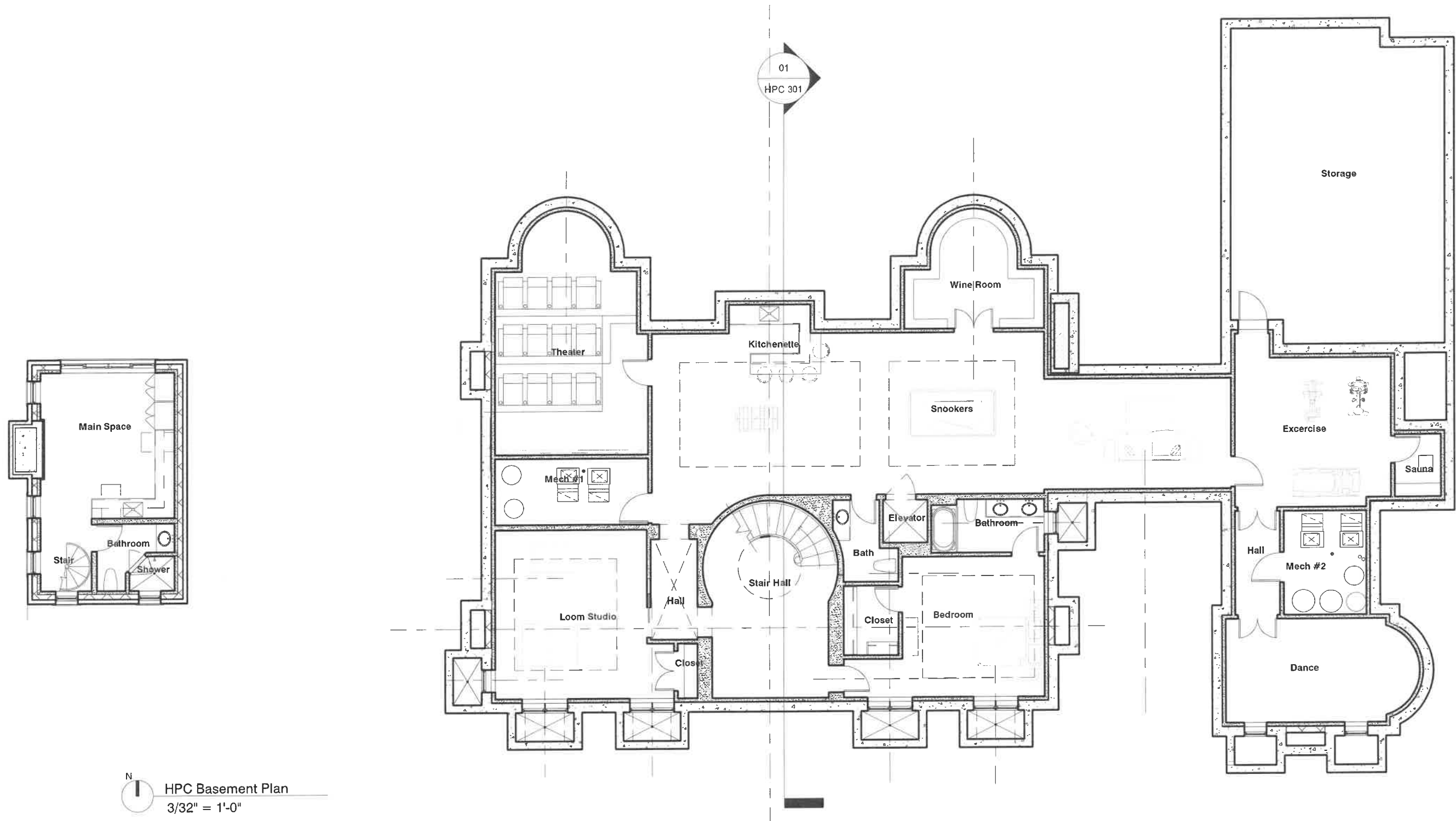
BUILDING SECTION

**EDWARD DEEGAN
ARCHITECTS**

503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045





SHEET NO.

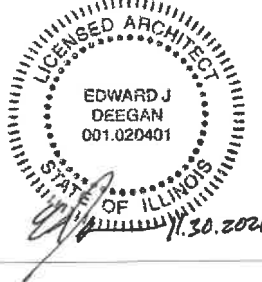
HPC 101

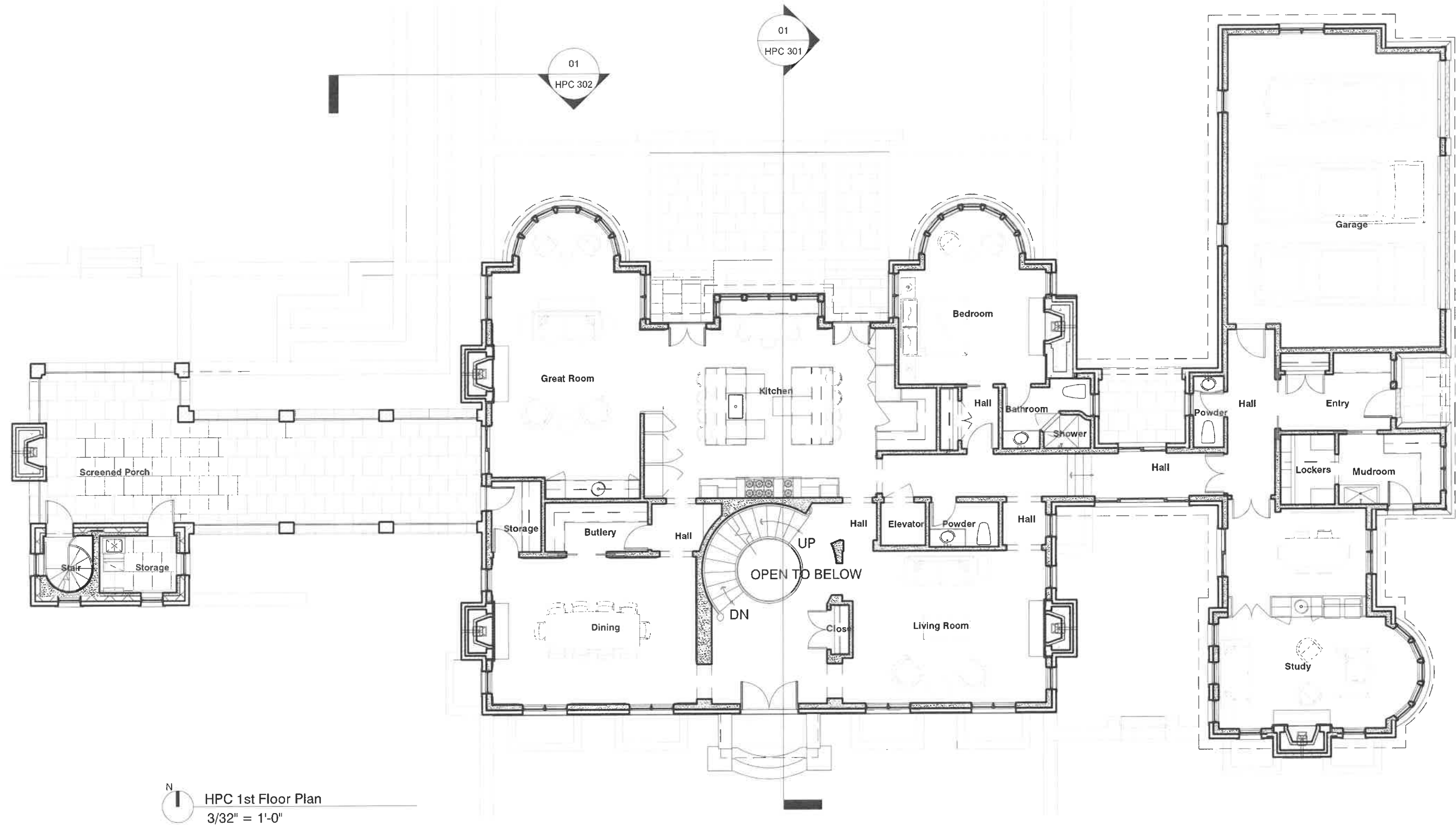
BASEMENT PLAN

**EDWARD DEEGAN
ARCHITECTS**

503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045



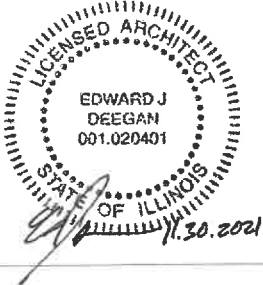


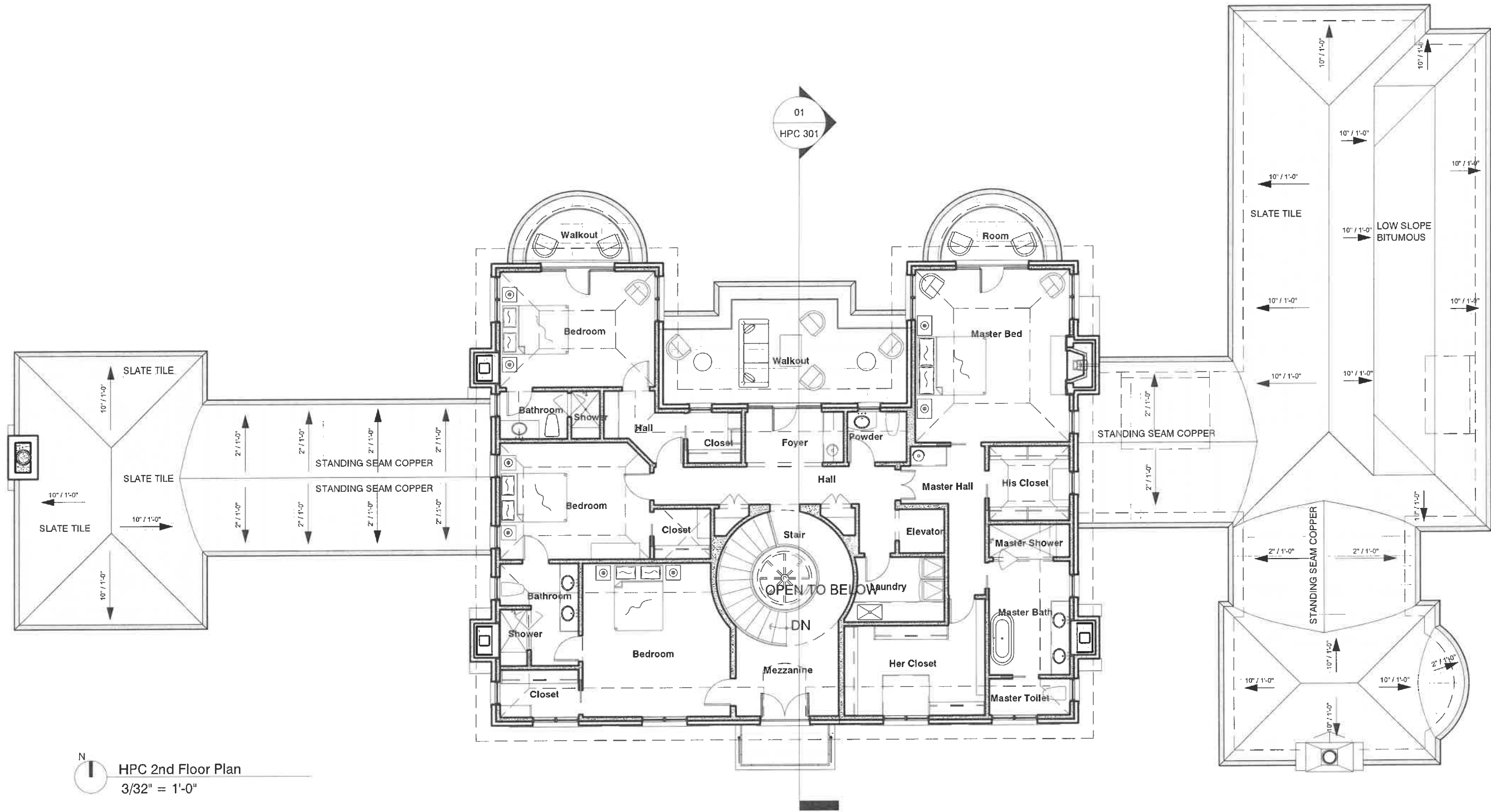
N
HPC 1st Floor Plan
3/32" = 1'-0"

SHEET NO.
HPC 102
FIRST FLOOR PLAN

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045



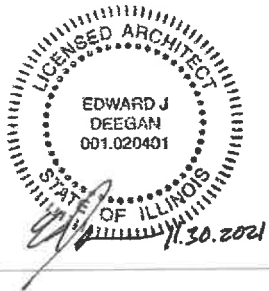


N
HPC 2nd Floor Plan
3/32" = 1'-0"

SHEET NO.
HPC 103
2ND FLOOR PLAN

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Karnani Residence
210 Onwentsia Rd.
Lake Forest, IL 60045



210 E. ONWENTSIA ROAD, LAKE FOREST, IL

LOT 2 IN WHALLEY SUBDIVISION, BEING A RESUBDIVISION OF PART OF LOT 2 IN THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED APRIL 17, 1990, AS DOCUMENT 2896644, IN LAKE COUNTY, ILLINOIS.

P.I.N. 16-04-106-003

PLAT OF SURVEY PROVIDED BY:
R.E. DECKER, P.C.
PROFESSIONAL LAND SURVEYORS
333 W. PETERSON RD SUITE B
LIBERTYVILLE, IL 60048
TEL 847-362-0091
DECKERSURVEY@GMAIL.COM
DATED JUNE 3, 2020

TOPOGRAPHIC SURVEY PROVIDED BY:
BONO CONSULTING, INC.
1018 BUSSE HIGHWAY
PARK RIDGE, IL 60068
TEL 847-823-3300
BBONO@BONOCONSULTING.COM
DATED JUNE 10, 2020

WETLAND BOUNDARIES BY:
DK ENVIRONMENTAL SERVICES, INC.
1422 SUNFLOWER COURT
GRAYSLAKE, IL 60030
TEL 847-548-7458
DKENVIRONMENTAL@SBCGLOBAL.NET
DATED MARCH 27, 2021

TREE SURVEY PROVIDED BY:
LOU LEGGETT
CERTIFIED ARBORIST #177A
847-561-7061

N

0 10 20 40

Scale 1" = 20'

BENCHMARK:
SET NAIL IN TREE # 72
ELEVATION = 708.00 (NAVD88)

70-1206 Project No.

DJD Drawn By

PJB Checked By

Drawing No

Drawing Name

Existing Conditions, Demo
& Tree Preservation Plan

C-2

Patrick J. Bleck, PE
License No. 062 04378 Expires 11/2021

July 6, 2021

PROFESSIONAL SEAL

To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices as to reduce the likelihood of the drainage to the adjoining property because of the construction of the project.

BLECK

engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 F 847.295.7081
www.bleckeng.com

ISSUED DATE

ISSUED FOR

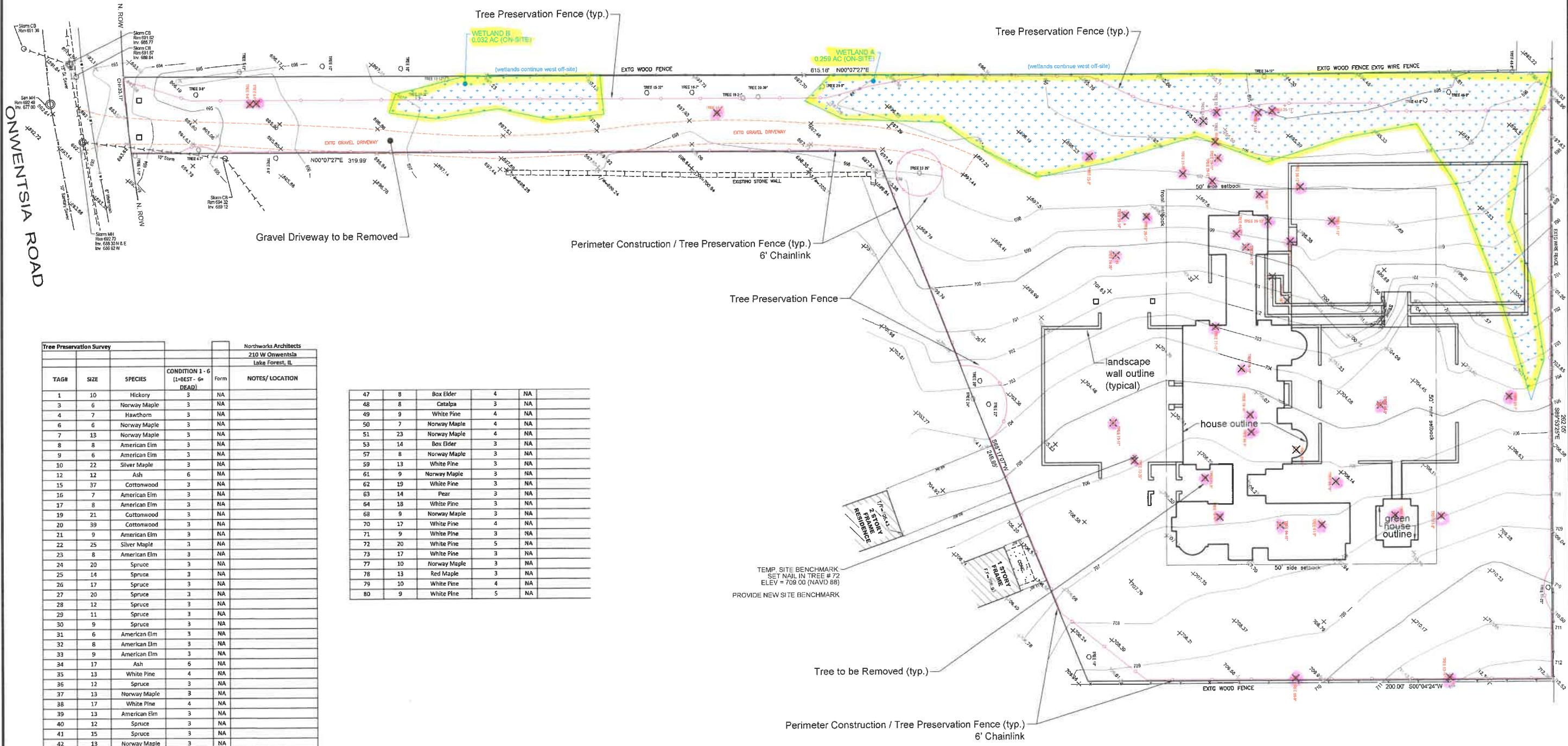
05.05.2021 HPC REVIEW

06.02.2021 HPC REVIEW

06.14.2021 HPC REVIEW

07.06.2021 HPC REVIEW

WETLANDS & TREES PROPOSED FOR REMOVAL HIGHLIGHTED



Tree Preservation Survey					Northworks Architects 210 W Onwentsia Lake Forest, IL	
TAG#	SIZE	SPECIES	CONDITION 1 - 6 (1=BEST - 6= DEAD)	Form	NOTES/ LOCATION	
1	10	Hickory	3	NA		
3	6	Norway Maple	3	NA		
4	7	Hawthorn	3	NA		
6	6	Norway Maple	3	NA		
7	13	Norway Maple	3	NA		
8	8	American Elm	3	NA		
9	6	American Elm	3	NA		
10	22	Silver Maple	3	NA		
12	12	Ash	6	NA		
15	37	Cottonwood	3	NA		
16	7	American Elm	3	NA		
17	8	American Elm	3	NA		
19	21	Cottonwood	3	NA		
20	39	Cottonwood	3	NA		
21	9	American Elm	3	NA		
22	25	Silver Maple	3	NA		
23	8	American Elm	3	NA		
24	20	Spruce	3	NA		
25	14	Spruce	3	NA		
26	17	Spruce	3	NA		
27	20	Spruce	3	NA		
28	12	Spruce	3	NA		
29	11	Spruce	3	NA		
30	9	Spruce	3	NA		
31	6	American Elm	3	NA		
32	8	American Elm	3	NA		
33	9	American Elm	3	NA		
34	17	Ash	6	NA		
35	13	White Pine	4	NA		
36	12	Spruce	3	NA		
37	13	Norway Maple	3	NA		
38	17	White Pine	4	NA		
39	13	American Elm	3	NA		
40	12	Spruce	3	NA		
41	15	Spruce	3	NA		
42	13	Norway Maple	3	NA		
43	6	American Elm	3	NA		
45	16	White Pine	3	NA		
46	9	Box Elder	5	NA		

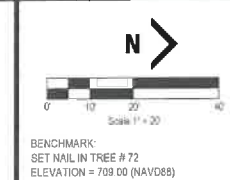
47	8	Box Elder	4	NA
48	8	Catalpa	3	NA
49	9	White Pine	4	NA
50	7	Norway Maple	4	NA
51	23	Norway Maple	4	NA
53	14	Box Elder	3	NA
57	8	Norway Maple	3	NA
59	13	White Pine	3	NA
61	9	Norway Maple	3	NA
62	19	White Pine	3	NA
63	14	Pear	3	NA
64	18	White Pine	3	NA
68	9	Norway Maple	3	NA
70	17	White Pine	4	NA
71	9	White Pine	3	NA
72	20	White Pine	5	NA
73	17	White Pine	3	NA
77	10	Norway Maple	3	NA
78	13	Red Maple	3	NA
79	10	White Pine	4	NA
80	9	White Pine	5	NA

TREE INVENTORY

Tree Preservation Survey					
					210 W Onwentsia
					Lake Forest, IL
TAG#	SIZE	SPECIES	CONDITION 1 - 6 (1=BEST - 6=DEAD)	Form	NOTES/ LOCATION
1	10	Hickory	3	NA	
3	6	Norway Maple	3	NA	
4	7	Hawthorn	3	NA	
6	6	Norway Maple	3	NA	
7	13	Norway Maple	3	NA	
8	8	American Elm	3	NA	
9	6	American Elm	3	NA	
10	22	Silver Maple	3	NA	
12	12	Ash	6	NA	
15	37	Cottonwood	3	NA	
16	7	American Elm	3	NA	
17	8	American Elm	3	NA	
19	21	Cottonwood	3	NA	
20	39	Cottonwood	3	NA	
21	9	American Elm	3	NA	
22	25	Silver Maple	3	NA	
23	8	American Elm	3	NA	
24	20	Spruce	3	NA	
25	14	Spruce	3	NA	
26	17	Spruce	3	NA	
27	20	Spruce	3	NA	
28	12	Spruce	3	NA	
29	11	Spruce	3	NA	
30	9	Spruce	3	NA	
31	6	American Elm	3	NA	
32	8	American Elm	3	NA	
33	9	American Elm	3	NA	
34	17	Ash	6	NA	
35	13	White Pine	4	NA	
36	12	Spruce	3	NA	
37	13	Norway Maple	3	NA	
38	17	White Pine	4	NA	
39	13	American Elm	3	NA	
40	12	Spruce	3	NA	
41	15	Spruce	3	NA	
42	13	Norway Maple	3	NA	
43	6	American Elm	3	NA	
45	16	White Pine	3	NA	
46	9	Box Elder	5	NA	

47	8	Box Elder	4	NA	
48	8	Catalpa	3	NA	
49	9	White Pine	4	NA	
50	7	Norway Maple	4	NA	
51	23	Norway Maple	4	NA	
53	14	Box Elder	3	NA	
57	8	Norway Maple	3	NA	
59	13	White Pine	3	NA	
61	9	Norway Maple	3	NA	
62	19	White Pine	3	NA	
63	14	Pear	3	NA	
64	18	White Pine	3	NA	
68	9	Norway Maple	3	NA	
70	17	White Pine	4	NA	
71	9	White Pine	3	NA	
72	20	White Pine	5	NA	
73	17	White Pine	3	NA	
77	10	Norway Maple	3	NA	
78	13	Red Maple	3	NA	
79	10	White Pine	4	NA	
80	9	White Pine	5	NA	

210 E. ONWENTSIA ROAD, LAKE FOREST, IL



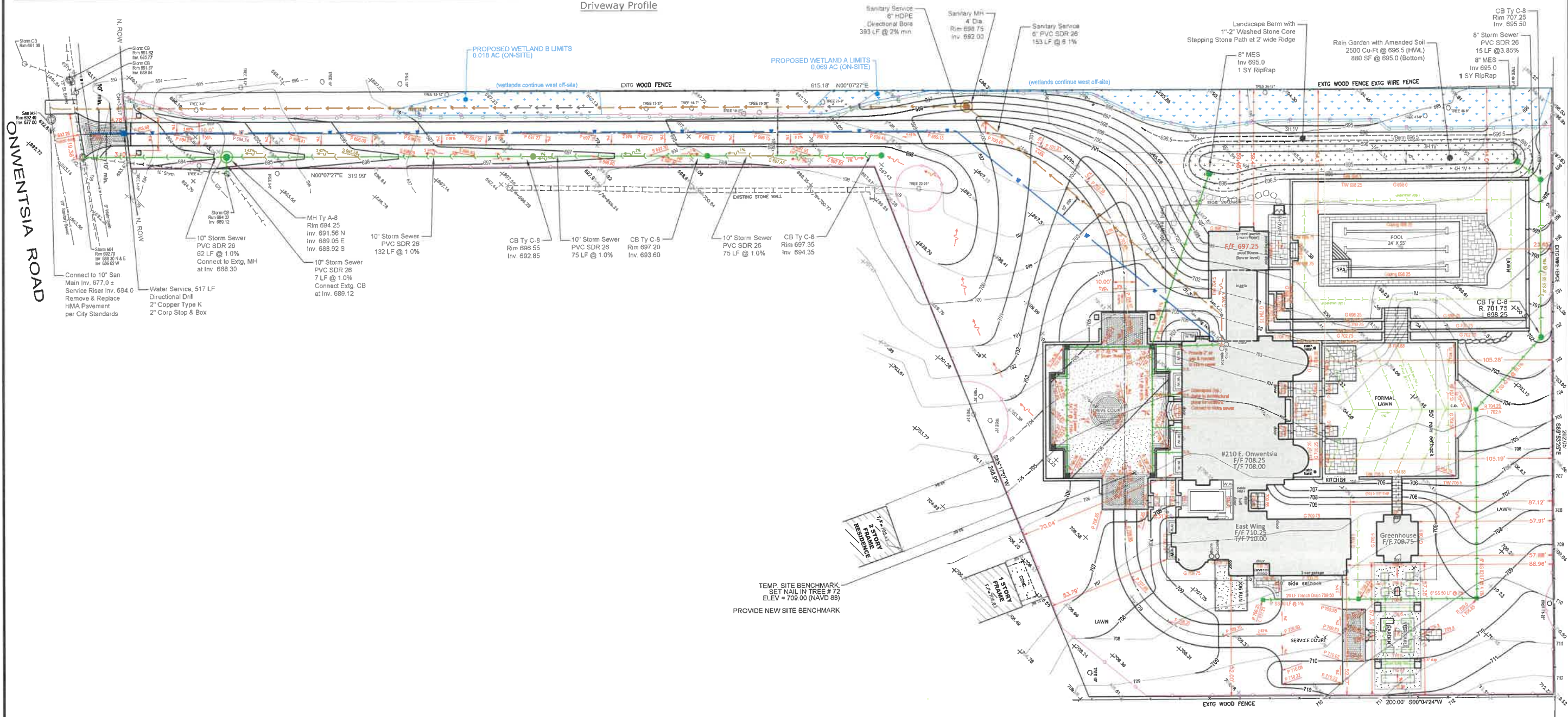
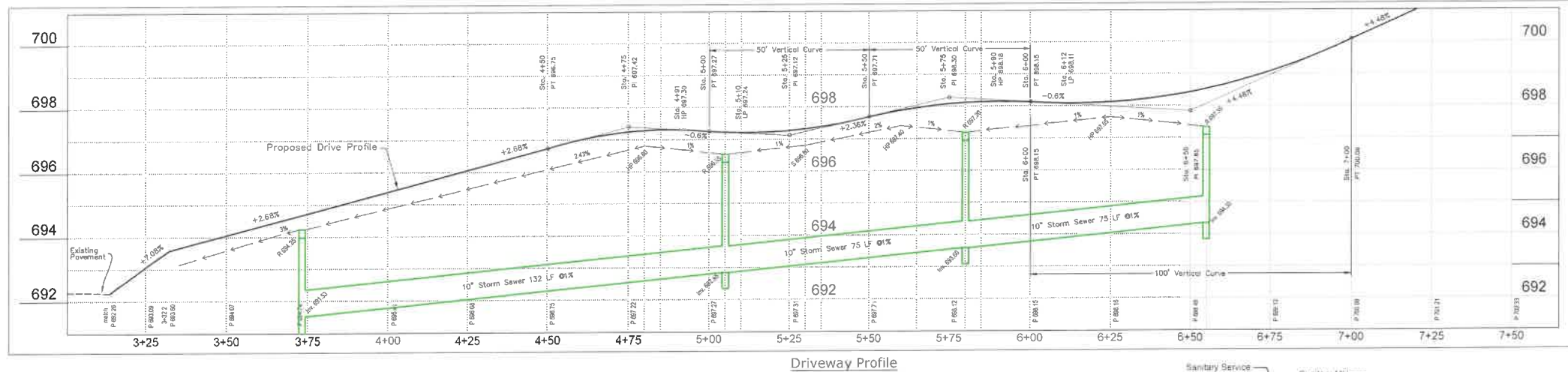
PROFESSIONAL SEAL
"To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."

BLECK
engineers | surveyors
Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 F 847.295.7081
www.bleckeng.com

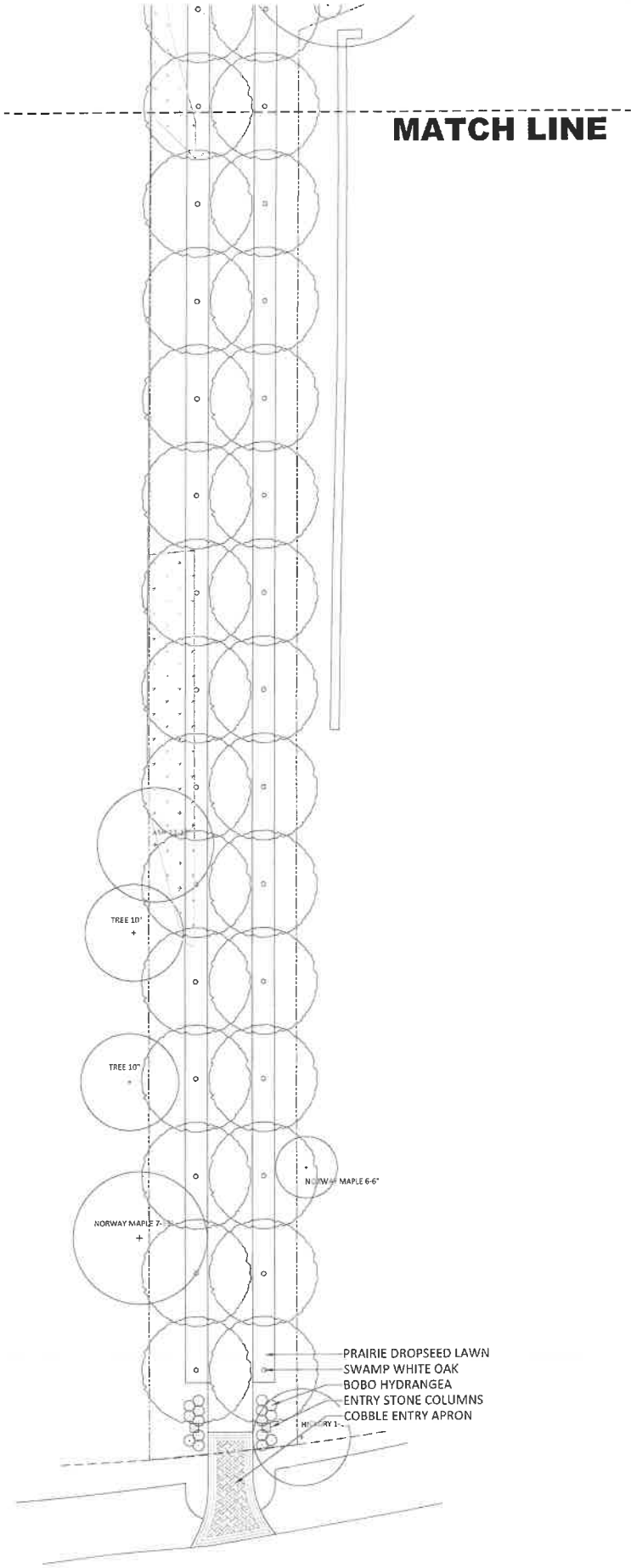
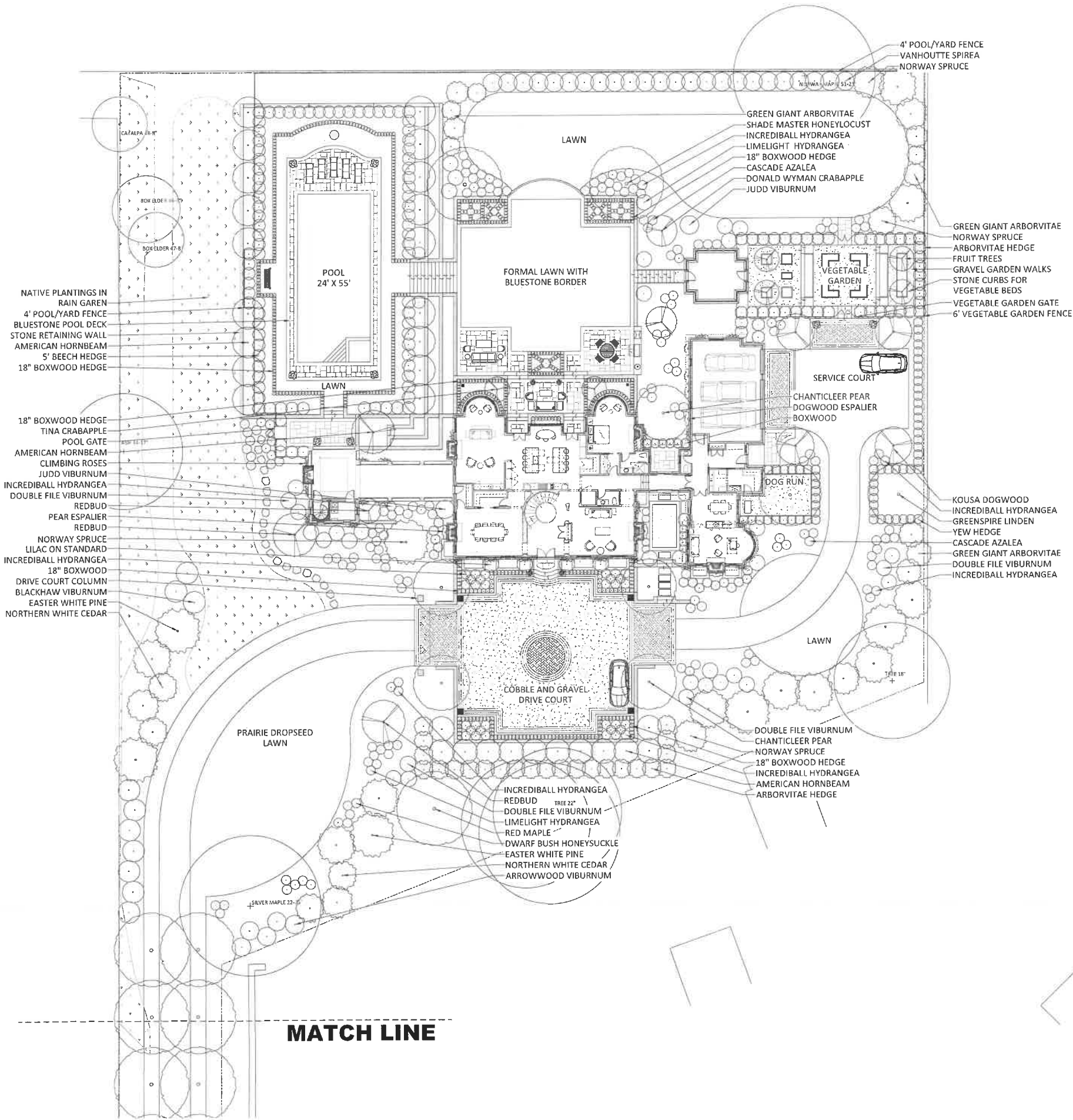
70-1206	Project No.
DJD	Drawn By
PJB	Checked By
C-3	Drawing No.
Proposed Conditions	Drawing Name

ISSUED DATE	ISSUED FOR
05.06.2021	HPC REVIEW
06.02.2021	HPC REVIEW
06.14.2021	HPC REVIEW
07.06.2021	HPC REVIEW

July 6, 2021
Patrik J. Bleck, PE
License No. 018.047878 Expires 11/2025



TEMP. SITE BENCHMARK
SET NAIL IN TREE # 72
ELEV = 709.00 (NAVD 88)
PROVIDE NEW SITE BENCHMARK



ISSUED FOR:
NOT FOR
CONSTRUCTION

PROJECT:
KARNANI RESIDENCE

DESIGNED BY: PR, JH
DRAWN BY: JH

CONSULTANTS:

GENERAL NOTES:

1/16" = 1'-0"



Redborough Partners, Inc. hereby reserves all rights and property rights in these plans. Written permission must be obtained prior to the reproduction, distribution, or use of these plans in any form. Redborough Partners, Inc. accepts no liability should these plans be used by a third party.

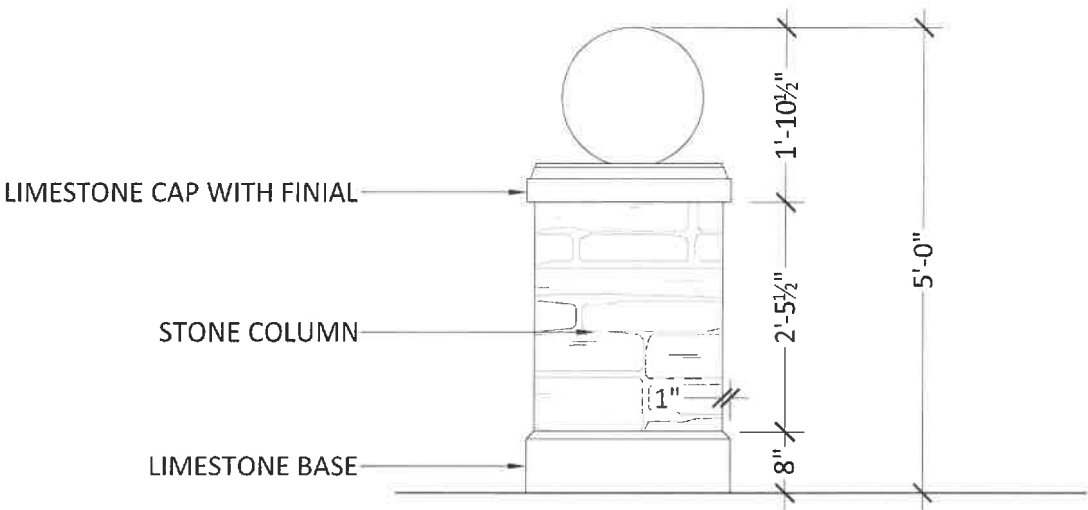
RP
ROSBOROUGH
PARTNERS, INC.

210 E ONATENSA RD
LAKE FOREST, IL 60045

NO DATE ISSUE

242 N. 4th Street, Suite 304
Milwaukee, WI 53212
(414) 224-1339
www.redboroughpartners.com

DRIVE COURT COLUMN



ENTRY COLUMN

