

**The City of Lake Forest
Historic Preservation Commission Agenda**

Regular Meeting

**Wednesday, August 26, 2020
Remote Access Meeting**

6:30 P.M.

*Jan Gibson
Robin Petit*

*Bruce Grieve Chairman
Carol Gayle
Elizabeth Sperry*

*Steve Lamontagne
Ron Levitsky*

This meeting will be conducted remotely in compliance with Governor's Executive Order 2020-07, issued on March 16, 2020 that suspended certain Open Meetings Act provisions relating to in-person attendance by members of a public body. The Governor's Order: (1) suspends the requirement in Section 2.01 that "members of a public body must be physically present;" and (2) suspends the limitations in Section 7 on when remote participation is allowed.

Members of the public can participate remotely in the meeting by following the public audience link below. The meeting ID and password are also provided:

<https://us02web.zoom.us/j/86292385965?pwd=cj9FaHdjZElnMUc2MkFRdzJmc1pXdz09>
Meeting ID: 86292385965 Password: 1861

Information on each of the petitions to be heard is available on the City's website or by contacting the Community Development Department at 847-810-3520. **Members of the public who wish to comment on a petition are encouraged to submit written comments in advance of the meeting to baehrj@cityoflakeforest.com Members of the public who wish to comment during the public comment portion of the meeting will have the opportunity to do so by calling 847-810-3643.** City staff will be on site at the City's Municipal Services Facility during the meeting however, the Commissioners will all participate remotely.

1. Introduction of Commissioners and staff and overview of meeting procedures – Chairman Grieve
2. Consideration of the minutes of the July 22, 2020 meeting of the Commission.
3. Continued consideration of a request for approval of a Certificate of Appropriateness for a new residence on a vacant lot located at **450 Washington Road**. The Commission will also consider the associated site plan, proposed tree removal and landscape plan.
Property Owner: Lakeshore Historic Properties, LLC
(Arthur & Anne Mertes, 99%, & Kathleen Mertes, 1%)
Representative: Keith Labutta, architect
4. Consideration of a request for approval of a Certificate of Appropriateness for a three car garage and mudroom addition and exterior alterations to an existing single family home at **237 E. Onwentsia Road**.
Property Owners: Justin and Shannon Engelland
Representative: John Berta, architect
5. Consideration of a request for approval of a Certificate of Appropriateness for a new residence on a vacant lot located at **740 Washington Road**. The Commission will also consider the associated site plan, tree removal and landscape plan.
Property Owners: Hugh and Diane Zentmyer
Representative: Edward Deegan, architect

MEETING PROCEDURES

*Historic Preservation
Commission meetings follow the procedures outlined below. In the spirit of fairness to all parties, any of these procedures may be modified for a particular item at the discretion of the Chairman.*

1. Introduction of the Item by the Chairman
2. Declaration of Conflicts of Interest and Ex Parte Contacts by members of the Commission.
3. Presentation by the Petitioner – 10 minutes.
4. Identification of Issues by Staff - 5 minutes.
5. Questions or requests for clarification from Commission to Petitioner or Staff.
6. Public Testimony - 5 minutes per speaker.
7. Final Questions from Commission to Petitioner or Staff, or direction to Petitioner and Staff to provide additional information.
8. Petitioner Rebuttal - 10 minutes.
9. Staff response to public testimony- 5 minutes.
10. Commission Discussion and Comment
11. Motion and second
12. Final Commission comments
13. Commission Action

*Mandatory Adjournment time
11:00 p.m.*

Individuals with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, may contact the Community Development Department at 847-810-3503.

continued on next page

Other Items

6. Opportunity for the public to address the Historic Preservation Commission on non-agenda items.
7. Additional information from staff.

Mandatory Adjournment time is 11:00 p.m.

Agenda Item 3
450 Washington Road
New Residence

Staff Report

June 24, 2020 Meeting Minutes

Building Scale Summary

Vicinity Map

Air Photos

Materials Submitted by Petitioner

Application

Updated Statement of Intent

Updated Description of Exterior Materials

Plat of Survey

Proposed Site Plan

Previously Proposed East Elevation

Proposed East Elevation

Previously Proposed South Elevation

Proposed South Elevation

Previously Proposed West Elevation

Proposed West Elevation

Previously Proposed North Elevation

Proposed North Elevation

Color Rendering

Material Palette

Proposed Roof Plan

Proposed Building Section

Proposed First Floor Plan

Proposed Second Floor Plan

Proposed Grading & Drainage Plan Description

Proposed Grading & Drainage Plan

Tree Inventory

Tree Removal Plan

Preliminary Landscape Plan

Proposed Plantings

Streetscape Images

Surrounding Neighborhood Images

Correspondence

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grieve and members of the Historic Preservation Commission
DATE:	August 26, 2020
FROM:	Jennifer Baehr, Assistant Planner
SUBJECT:	450 Washington Road – Continued Consideration of a New Residence

PETITIONERS

Arthur & Anne Mertes
140 Morris Lane #211
Lake Forest, IL 60045

PROPERTY LOCATION

450 Washington Road

HISTORIC DISTRICTS

East Lake Forest Local and
National Historic Districts

PROJECT REPRESENTATIVE

Keith Labutta, Northworks Architects
1512 N. Throop Street
Chicago, IL 60642

SUMMARY OF THE PETITION

This is a request for a Certificate of Appropriateness for a new single family residence and attached garage proposed on a vacant lot. Approval of a conceptual landscape plan and overall site plan is also requested.

COMMISSION DISCUSSION TO DATE ON THIS PETITION

The Commission considered this petition at the June 24, 2020 meeting. At that meeting, the Commission voted to continue the petition to allow the petitioners to consider the comments offered by the Commission and consider revisions to the plans. The Commission offered the following comments and direction on various aspects of the design of the residence and the landscape plan.

- Reconsider the design in an effort to achieve more visual compatibility with the surrounding historic neighborhood and consistency with the standards that the Commission is charged with using.
- Identify an architectural style and remain generally true to that style.
- Reconsider the roof pitch in an effort to adjust the gables.
- Add depth and detail to the residence, consider allowing certain elements to be proud of the rest of the elevation.
- Study the gable roof forms in an effort to create a more balanced and symmetrical appearance.
- Reconsider the design in an effort to break up the front elevation and present a more human scale.
- Refine the architectural detailing in an effort to vary and soften the appearance of the home.
- Refine the fenestration pattern in order to align the openings between floors and present a more regular pattern across all elevations of the home. Consider the windows in the context of the chosen architectural style, both style and placement.

- Use a more subtle color palette in an effort to fit in more quietly with the character of the surrounding homes and streetscape.
- Consider different roof materials to incorporate some materials found more commonly found throughout the surrounding neighborhood.
- Consider adding an overhang to the roof to add depth to the appearance of the house.
- Enhance and refine the landscape plan to recognize the utility easement and existing underground utilities and to provide screening along the north and south property lines.

The petitioner provided a revised statement of intent in response to the Commission's comments as summarized above. The revised statement of intent is included in the Commission's packet. Portions of the previous submittal are included in the Commission's packet for comparison purposes. The minutes from the June meeting are also included in the packet detailing the Commission's deliberations on this petition.

REVISIONS SINCE THE LAST MEETING

The following key revisions were made in response to the Commission's direction at the last meeting. The numerous changes appear to directly respond to the Commission's comments resulting in a plan that more fully satisfies the applicable standards.

- The style of the house was changed to Colonial Revival to be more compatible with the surrounding historic neighborhood.
- The roof forms and pitches were modified to fit with the Colonial Revival architectural style.
- Design elements such as a portico, pergola and dormers were incorporated into the design of the home.
- Architectural detailing (window trim, window and door casing, crown detail at the cornice) was enhanced to provide more depth and character to the appearance of the home.
- The placement of windows was modified to reflect a more balanced and regular fenestration pattern.
- Double hung windows with a 6 over 6 lite pattern, and paneled shutters are proposed, consistent with the Colonial Revival architectural style.
- The color palette was modified to fit in more quietly with the character of the surrounding neighborhood.
- The main roof material was changed to cedar shingle to be more consistent with the surrounding homes.

PROPERTY DESCRIPTION

Portions of the information below are repeated from the previous staff report on this petition for the benefit of those who may be unfamiliar with the project.

The property is located on the west side of Washington Road, between College and Rosemary Roads. The property is part of the Alling Subdivision which was approved and recorded in 1988, to establish separate lots for the various structures that were previously constructed as part of a family compound-type development. The Subdivision is comprised of seven parcels. The existing houses in this subdivision were originally built as summer cottages by local builder Van Wagenen Alling in the early 1900's. The cottages were built around the main house, a farmhouse formerly located on the 450 Washington Road property, the property that is now proposed for development. The

farmhouse was demolished in the 1970's. The enclave of summer homes was known as "Brownsville", have a unique character and common styles and details. The larger surrounding neighborhood is characterized by homes mostly built in the 1920's of different architectural styles including Georgian, Mediterranean, Colonial Revival, and Craftsman.

The 450 Washington Road property is 41,991 square feet and is irregular in shape. This property fronts on Washington Road, unlike most of the other lots in this subdivision. Four of the lots in the subdivision are setback from the Washington Road frontage and are accessed from shared private driveways off of Washington Road. Special setbacks are established on the plat of subdivision for the 450 property; a 60 foot front yard setback and a 150 foot rear yard setback. These increased setbacks were established to maintain a sense of open space, to preserve views through the subdivision and to retain a connection between what were originally a cluster of related structures. In addition, there are two utility easements crossing this property; one in an east/west direction along the south property line and the other, in a north/south direction near the rear third of the site. The survey included in the packet details the easements and the utilities located within the easements.

In August, 2019, the owners of the 450 Washington Road property were considering putting the vacant property on the market. In preparation for marketing the property, the property owners requested a permit from the City for limited tree removal to open up views into the property. The permit was granted to allow removal of thirteen trees. The trees that were removed included six Mulberry trees, four Ash trees, a Black Locust tree, a Catalpa tree and a White Oak tree. The trees removed were identified by the owner's Certified Arborist as either dead or in poor condition. The trees removed as part of the issued permit are reflected in the tree inventory and on the tree removal plan included in the Commission's packet noted as "removed under prior permit. In addition to the removal of the thirteen trees, extensive clearing of the site also occurred. The standard process is that prior to clearing of a site or tree removal, a plan for development is presented to the City. In this case, because of the owners stated purpose for the tree removal was to open views into the site to better market the property, a tree removal permit was issued in advance of an approval of a development plan on the market, a tree removal permit was issued. Replacement inches for the removals that have already occurred are accounted for in this report.

STAFF EVALUATION

Site Plan

The proposed residence faces east toward Washington Road, and the attached garage faces north. The orientation of the house is angled to follow the curve of the street. The home is sited toward the east end of the lot, in an effort to maintain views and open space between the homes to the north and south and in conformance with the setbacks established on the plat of subdivision. An asphalt drive and motor court are proposed at the front of the home. A stone terrace is proposed on the rear of the home.

The site plan information submitted by the petitioner shows that the amount of proposed impervious surface on the site totals 7,178 square feet, equal to 17% of the site. The building footprint totals 3,360 square feet and other paved surfaces including the driveway and motor court total 3,818 square feet.

New Residence

The proposed residence is a two-story mass with a combination of hipped and gable roofs. The garage mass is on the south end of the house, connected by a small single story linking element. A screen porch is located on the rear of the home. Based on the petitioner's statement of intent, the style of the home is Colonial Revival. The home features many elements of the Colonial Revival style, such as a portico, sidelights at the front entry, a detailed cornice, shutters, and lap siding.

Updated Findings

A staff review of the applicable standards in the City Code, based on the revised plans submitted by the petitioners, is provided below.

Standard 1 – Height.

This standard is met. Like many of the surrounding homes, the proposed residence is two stories and at its maximum height, the residence is 32'-2" as measured from the lowest point of existing grade adjacent to the house, to the highest peak. The maximum height allowed for this property is 40 feet. The overall height will need to be monitored closely during construction to assure that the height conforms to the plans presented. Importantly, the height as reflected on as-built drawings must be measured from lowest point of **existing grade** adjacent to the house, the grade on the site prior to construction.

Standard 2 – Proportion of Front Façade.

This standard is met. The front facade of the residence presents a two story mass behind the projecting single story garage on the south end. A projecting gable form is located on the north end of the front elevation and helps to provide depth to the façade. The front façade also features a portico element that highlights the front entry and helps break up the main mass of the residence. The placement and alignment of the openings on the front elevation present a balanced and regular pattern.

Standard 3 – Proportion of Openings.

This standard is met. Double hung windows with a 6 over 6 lite pattern are proposed. The proportions of the windows are narrow and vertically oriented, and are consistent with the Colonial Revival architectural style.

Standard 4 – Rhythm of Solids to Voids.

This standard is met. There is a consistent rhythm of solids to voids around the house.

Standard 5 – Spacing on the Street.

This standard is met. As noted above, the proposed residence is accessed directly from Washington Road, unlike the other homes in the subdivision which are accessed from private lanes. It does not appear that the 450 Washington Road property has a right of access from the adjacent private lane to the north. The house is sited in conformance with the front yard setback as reflected on the plat of subdivision.

Standard 6 – Rhythm of Entrance Porches.

This standard is met. The entrance to the home is highlighted by the portico element. The portico features round columns and a detailed entablature.

Standard 7 – Relationship of Materials and Texture.

This standard is met. High quality, natural materials are proposed for the residence. Wood clapboard siding is proposed for the exterior wall material. Wood shingles are proposed for the main roof forms and standing seam metal roofs are proposed on the linking element between the house and garage, and on the screen porch. The windows are white, aluminum clad with interior and exterior muntin bars. The chimneys are brick and painted white. Wood trim, fascia and soffits are proposed. The pergola is also wood.

Standard 8 – Roof Shapes.

This standard is met. The residence features simple hip and gable roof forms, consistent with the Colonial Revival architectural style. The gable roof forms have an 8:12 pitch and the hip roof has a 3:12 pitch.

Standard 9 – Walls of Continuity.

This standard is met. The massing, scale, and detailing are consistent on all elevations of the house.

Standard 10 – Scale.

This standard is met. The residence as presented complies with the building scale requirements. Based on the lot size, a residence of up to 5,159 square feet is permitted on the site. In addition, a garage of up to 800 square feet is permitted along with up to 516 square feet of design elements. The proposed residence totals 5,129 square feet. The garage totals 758 square feet and there are 557 square feet of design elements; the excess square footage for design elements is counted toward the overall square footage of the house.

Standard 11 – Directional Expression of Front Elevation.

This standard is met. The front elevation is oriented toward the street on a slight angle. Unlike the surrounding homes in the subdivision located off of private lanes, this house fronts on Washington Road, making it appropriate for the home to face the street.

Standard 12 – Preservation of Historic Material.

This standard is not applicable to this request.

Standard 13 – Protection of Natural Resources.

This standard is generally met. A total of six trees are proposed for removal now, in addition to the trees previously removed from the site. Five of the trees proposed for removal are located within the footprint of the house and motor court. The remaining tree proposed for removal is close to the southeast corner of the house and will be impacted by the construction activity. Based on the tree survey provided by the petitioner, three out of the five trees proposed for removal are healthy and will require inch for inch replacement for a total of 30 inches. The remaining trees proposed for removal are in poor condition, no replacement inches are required for these trees. As construction proceeds, the viability of the remaining trees on the site will need to be reassessed. In the event additional trees are compromised, additional replacement inches or payment in lieu of on site plantings will be required.

The preliminary landscape plan submitted by the petitioner reflects a number of proposed plantings on the property on the north and south property lines, at the front of the house, around the motor court and around the rear terrace. The proposed plantings include shade trees such as Swamp White Oak, Elm, and Quaking Aspen trees and evergreen plantings such as White Fir, Norway Spruce and

Arborvitae. A number of ornamental shrubs and grasses are also proposed. Based on the preliminary landscape plan, the required amount of replacement inches as currently anticipated, appears to be met. Further review of the proposed species and the adequacy of the replacement inches will occur at the time a final landscape plan is submitted.

In response to comments made during the last meeting, the landscape plan was revised to remove all new plantings from the utility easement along the south property line. To address concerns previously raised by the neighbor to the south, additional landscaping should be incorporated along the south side of the house, to the extent possible, outside of the utility easement. Once the project takes shape, it will be necessary to reevaluate the landscape plan to ensure there is a sufficient landscape buffer between the new house and neighboring properties, particularly the two homes immediately to the south.

Standard 14 – Compatibility.

This standard is met. The chosen style, massing, height and materials are consistent with the surrounding residences.

Standard 15 – Repair to deteriorated features.

This standard is not applicable to this request.

Standard 16 – Surface cleaning.

This standard is not applicable to this request.

Standard 17 – Integrity of historic property.

This standard is not applicable to this request.

PUBLIC COMMENT

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, staff has received one letter from a neighboring property owner. The letter is included in the Commission's packet.

RECOMMENDATION

Grant a Certificate of Appropriateness approving a new residence, attached garage, conceptual landscape plan and overall site plan on property located at 450 Washington Road, subject to the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission. If any further modifications are proposed as a result of direction from the Commission or design development, plans clearly detailing the areas of change must be submitted at the time of submission for permit, *along with* the plans originally presented to the Commission, and will be subject to review by staff, in consultation with the Chairman as appropriate, to verify that the plans are consistent with the intent of the Commission and the approvals granted.
2. At the time of submittal for a building permit, detailed drainage and grading plans must be submitted. The plans shall clearly reflect all existing trees and identify those proposed for removal and any additional trees that may be impacted by grading on the site or construction

- activity. Grading and filling shall be limited to the minimum necessary to meet accepted engineering standards in the interest of minimizing stress on the trees intended to remain and preserving the existing topography.
3. The final landscape plan shall be subject to review and approval by the City Arborist to assure that all vegetation removed or impacted by construction or grading is replaced as appropriate. In addition, the plan must reflect adequate, year round screening along the south side of the house to minimize views from on and off the property and to screen the mechanical equipment. At the time the final landscape plan is reviewed, a final calculation of replacement inches required will be completed and proposed species will be reviewed.
 4. Plantings shall be installed prior to the issuance of a Certificate of Occupancy or, if that is not possible due to the time of year, a cash bond shall be posted in an amount of 110% of the plant materials and labor to assure planting during the next available planting seasons.
 5. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect any trees identified for preservation during construction as well as trees on neighboring properties, must be submitted and will be subject to review and approval by the City's Certified Arborist. In addition, for any trees that, as determined by the City Arborist, may be impacted by construction activity, a plan for protection, including pre and post construction treatments as may be appropriate, must be prepared by an independent Certified Arborist and submitted with the building permit application. The tree protection plan shall be subject to review and approval by the City's Certified Arborist.
 6. Details of exterior lighting, if any is proposed, shall be reflected on the plans submitted for permit. Cut sheets of all light fixtures should be provided and all fixtures shall direct light downward and the source of the light shall be shielded from view from off the property. The right to night, dark sky goals shall be satisfied. All exterior lights, except for motion detection lights, shall be on timers set to turn off no later than 11 p.m.
 7. Prior to the issuance of a building permit, a plan for construction parking and materials' staging shall be submitted to the City for review and will be subject to City approval in an effort to minimize impacts on the surrounding neighborhood. Due to the narrow, curving road no parking of construction related vehicles on the street is permitted.

The City of Lake Forest
Historic Preservation Commission
 Proceedings of the June 24, 2020 Meeting

A meeting of the Lake Forest Historic Preservation Commission was held on Wednesday, June 24, 2020, at 6:30 p.m. This meeting was conducted remotely in compliance with Governor's Executive Order 2020-07, issued on March 16, 2020 that suspended certain Open Meetings Act provisions relating to in-person attendance by members of a public body due to the Covid-19 pandemic.

Historic Preservation Commissioners present: Chairman Bruce Grieve and Commissioners Carol Gayle, Jan Gibson, Steve Lamontagne, Ron Levitsky, and Elizabeth Sperry

Commissioners absent: None (one position vacant)

City staff present: Catherine Czerniak, Director of Community Development, Jennifer Baehr, Assistant Planner

4. Consideration of a request for a Certificate of Appropriateness approving a new single family residence with an attached garage on a vacant lot at 450 Washington Road. Approval of a conceptual landscape plan and the overall site plan is also requested.

Property Owner: Lakeshore Historic Properties, LLC

(Arthur & Anne Mertes, 99%, & Kathleen Mertes, 1%)

Project Representative: Keith Labutta, Northworks Architects

Chairman Grieve asked the Commission for any Ex Parte contacts or conflicts of interest. Hearing none, he invited a presentation from the petition.

Mr. Labutta introduced the project on behalf of the property owners. He explained that the property is located on the west side of Washington Road and was originally the location of the main house surrounded by seasonal cottages many of which remain today as full time homes. He added that many of the homes in this area, Brownsville, were built by the same builder. He stated that the 450 Washington Road property is currently vacant and has been since the main house was demolished decades ago. He described the surrounding homes as an eclectic mix of architectural styles that include Mediterranean, Mid-Century Modern, Colonial Revival and Shingle style homes. He noted that the surrounding homes reflect similar exterior materials, in particular the use of stucco and clapboard. He explained that the 450 Washington Road property is relatively narrow, with large front and rear yard setbacks as well as a number of utility

exterior walls of the house are a light color stucco and asphalt shingle is proposed for the hip and gable roofs with metal standing seam for the low-pitch roofs. He stated that different shades of gray are being considered for the stucco. He explained that meeting the building scale requirements was a challenge due to the grade change across the site and the size of the house desired. He added that the clipped roof form was driven by the need to meet the City's building scale requirements but also helps to minimize the appearance of mass. He explained that design elements such as shutters and bay windows were studied in an effort to incorporate some more traditional detailing.

Ms. Baehr explained that the property is part of the Alling Subdivision which is comprised of seven lots. She added that five of the lots in the subdivision are currently developed with single family homes which were originally built as summer cottages in the early 1900's by the same local builder. She noted that most of the existing single family homes in the subdivision are very similar in architectural style, massing and detailing. She stated that across Washington Road, on the east side, the neighborhood reflects a mix of architectural styles and massing types. She explained that the 450 Washington Road property has been vacant since the 1970's, when the original farmhouse on the property was demolished. She stated that the property is irregular in shape and fronts on Washington Road, unlike most of the other lots in this subdivision which are setback from the street and are accessed from private driveways off of Washington Road. She explained that the design of the proposed residence is simple, with a rectangular floor plan and two-story massing, with minimal detailing, which is typical of recent trends seen in new residential construction. She noted that the staff report includes a few recommendations on the overall design of the house. She stated that as currently proposed, the house presents a large unbroken mass on the front elevation and staff recommends that some design elements such as covered entries or bay windows are incorporated to help break up the mass and provide a more human scale to the appearance of the home. She explained that the proposed exterior materials are generally consistent with materials found in the Historic District, however, staff suggests that materials such as wood shingle or slate tile be considered for the roof material in place of the asphalt shingle in an effort to incorporate more traditional materials that are found in the Historic District and provide more depth and texture to the appearance of the house. She added that a clay chimney pot should also be used in order to be more consistent with the Historic District. She stated that the proposed color palette consists of a light color stucco, a dark gray roof, and black windows. She noted that as currently proposed, the color palette creates somewhat of a stark appearance and staff recommends that a more subtle color palette be considered. She stated that a letter was received from a neighboring property owner and was provided to the Commission and the petitioner in advance of the meeting. She explained that the letter raises concerns about drainage and the proposed landscape plan. She stated that the City Engineer is aware of the neighbors' concerns regarding drainage, and will consider the potential for off site impacts when the grading and drainage plans are reviewed. She added that the City can provide the neighbors

of symmetry on the front façade. She agreed with Commissioner Gibson that the size of the gable roof forms should be reconsidered. She encouraged the petitioner to explore incorporating a roof overhang and to study the window profiles in an effort to provide depth and dimension to the appearance of the home. She stated that the home does reflect some type of style although it is not a historically defined style.

In response to questions from Commissioner Gayle, Mr. Labutta stated that the home reflects both symmetry and asymmetry, creating a quaintness in the character of the home.

In response to questions from Commissioner Levitsky, Mr. Bleck explained that during typical storm events, the majority of the storm water will be drained to the east, toward Washington Road which should result in a significant improvement for the neighbors to the south over the existing conditions. He stated that the plans reflect drainage structures at the northeast and southwest corners of house to intercept the flows and direct water to the storm sewer system to the west. He noted that under most conditions, the proposed plan will take care of drainage on the site.

Commissioner Levitsky explained that he understands the intent to keep the home simple and unpretentious, however he noted that as currently proposed, the home has a somewhat stark appearance.

In response to questions from Commissioner Levitsky, Mr. Labutta confirmed that additional detailing such as rafter tails, roof overhangs, shutters and bay windows were studied.

In response to questions from Chairman Grieve, Mr. Labutta confirmed that the window muntins are black. He explained that if the muntins were white, it may diminish the appearance of the muntins and the windows may appear as a larger opening.

Mr. Labutta shared a massing model with the Commission.

Hearing no further questions or comments from the Commission, Chairman Grieve invited public testimony.

Jim Carris, 430 Washington Road, noted that he and his family are the neighbors to the south of the proposed residence. He expressed concern about drainage noting the grade change in the area. He noted that since the site was cleared by the property owners, the water flows more quickly to his property and on to the ravine to the south. He asked that as the landscape plan is further developed evergreen plantings be added along the south property line to screen views to and from the 450 Washington Road property.

Hearing no further comments from the Commission, Chairman Grieve summarized the Commission's comments and suggestions. He recognized that the exterior of the residence is driven in many ways by the interior layout however, he noted that it appears that there may be some opportunity to refine the proportions of the windows. He added that as currently proposed, the windows appear very modern and inconsistent with a French Country style home. He explained that French Country or European Farmhouse style homes have smaller windows and openings and different proportions. He asked the petitioner to think about elements that might be incorporated to add some level of detailing to the home. He added that although the neighborhood reflects many different architectural styles, the homes in the surrounding area consistently have a great deal of character and charm.

In response to questions from Mr. Labutta, Ms. Czerniak stated that the staff notes taken during the meeting will be shared with the petitioner. She offered that staff is available to provide input on revised plans and concepts developed in response to the Commission's concerns and comments in an effort to bring the petition back to the Commission as quickly as possible. She noted that in the past, the Commission has used a subcommittee to resolve one or two very specific issues of a petition when the overall standards have been determined to be satisfied. Hearing no further comments or questions, Chairman Grieve invited a motion.

Commissioner Lamontagne made a motion to continue the petition to allow the petitioner to consider and respond to the comments, questions and discussion of the Commission including, but not limited to:

- Reconsider the design in an effort to achieve more visual compatibility with the surrounding historic neighborhood and consistency with the standards that the Commission is charged with using.
- Identify an architectural style and remain generally true to that style.
- Reconsider the roof pitch in an effort to adjust the gables.
- Add depth and detail to the residence, consider allowing certain elements to be proud of the rest of the elevation.
- Study the gable roof forms in an effort to create a more balanced and symmetrical appearance.
- Reconsider the design in an effort to break up the front elevation and present a more human scale.
- Refine the architectural detailing in an effort to vary and soften the appearance of the home.
- Refine the fenestration pattern in order to align the openings between floors and present a more regular pattern across all elevations of the home. Consider the windows in the context of the chosen architectural style, both style and placement.
- Use a more subtle color palette in an effort to fit in more quietly with the character of the surrounding homes and streetscape.
- Consider different roof materials to incorporate some materials found more commonly found throughout the surrounding neighborhood.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address <u>450 Washington Road</u>	Owner(s)	<u>Lakeshore Historic Properties, LLC</u> <u>C/O Arthur Mertes</u>
Architect <u>Keith Labutta</u>	Reviewed by:	<u>Jen Baehr</u>
Date <u>8/26/2020</u>		
Lot Area <u>41991</u> sq. ft.		

Square Footage of New Residence:

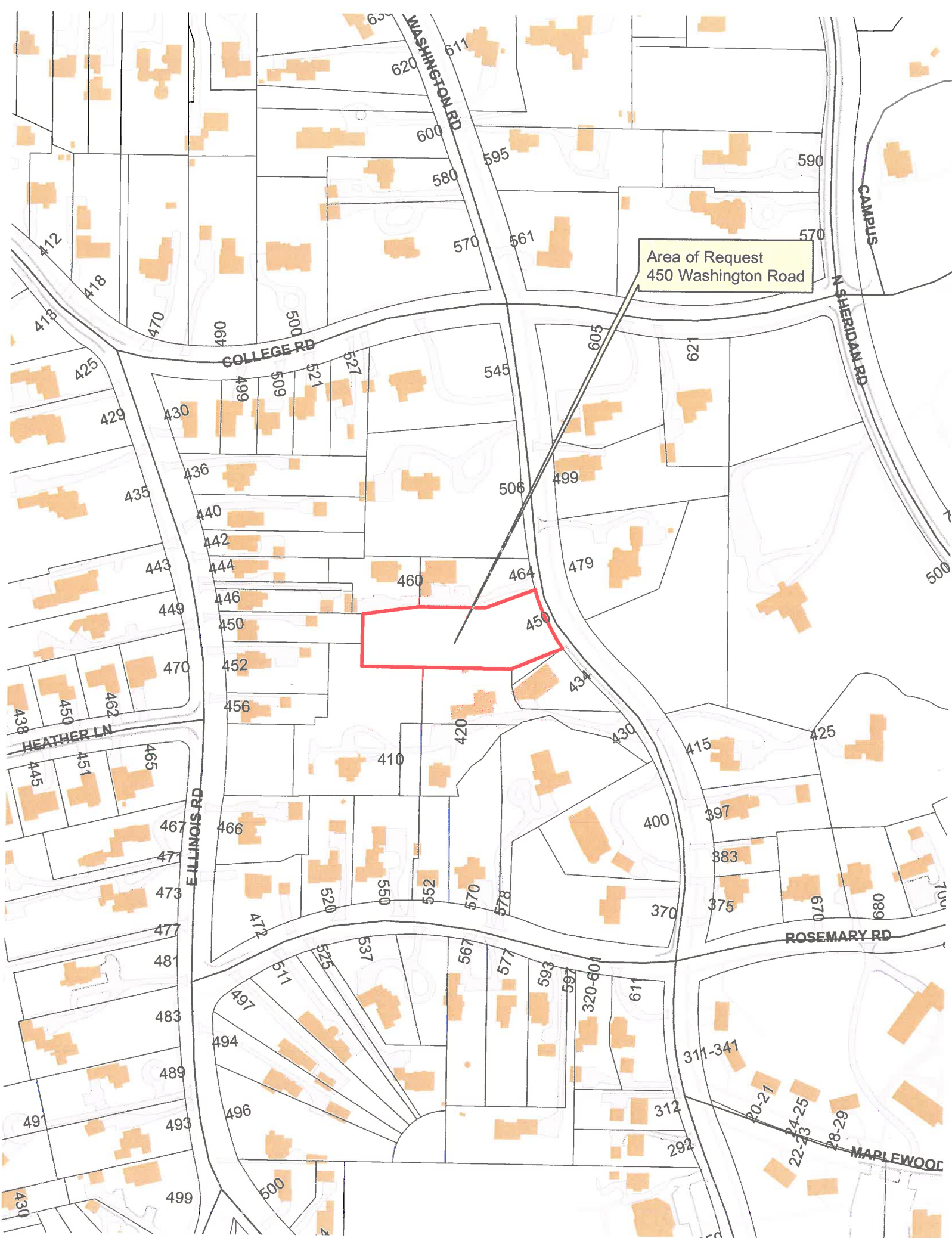
1st floor <u>2582</u> + 2nd floor <u>2506</u> + 3rd floor <u>0</u>	=	<u>5088</u> sq. ft.
Design Element Allowance =	<u>516</u> sq. ft.	
Total Actual Design Elements =	<u>557</u> sq. ft.	Excess = <u>41</u> sq. ft.
Garage <u>758</u> sf actual ; <u>800</u> sf allowance	Excess =	<u>0</u> sq. ft.
Garage Width <u>23'-8"</u> ft.	<i>may not exceed 24' in width on lots 18,900 sf or less in size.</i>	
Basement Area	=	<u>0</u> sq. ft.
Accessory buildings	=	<u>0</u> sq. ft.
TOTAL SQUARE FOOTAGE	=	<u>5129</u> sq. ft.
TOTAL SQUARE FOOTAGE ALLOWED	=	<u>5159</u> sq. ft.
DIFFERENTIAL	=	<u>-30</u> sq. ft.
		Under Maximum
Allowable Height: <u>40</u> ft.	Actual Height	<u>32' - 2"</u> ft.

NET RESULT:

30 sq. ft. is
0.6% under the
Max. allowed


DESIGN ELEMENT EXEMPTIONS

Design Element Allowance:	<u>516</u> sq. ft.	
Front & Side Porches =	<u>0</u> sq. ft.	
Rear & Side Screen Porches =	<u>233</u> sq. ft.	
Covered Entries =	<u>0</u> sq. ft.	
Portico =	<u>45</u> sq. ft.	
Porte-Cochere =	<u>0</u> sq. ft.	
Breezeway =	<u>0</u> sq. ft.	
Pergolas =	<u>279</u> sq. ft.	
Individual Dormers =	<u>0</u> sq. ft.	
Bay Windows =	<u>0</u> sq. ft.	
Total Actual Design Elements =	<u>557</u> sq. ft.	Excess Design Elements = <u>0</u> sq. ft.



Area of Request
450 Washington Road



An aerial photograph of a residential neighborhood. A large, irregularly shaped parcel of land is outlined in red. The parcel is mostly wooded with bare trees. To the north of the parcel is a road with a white car parked on it. To the east is a curved road. Several houses are visible in the surrounding area, some with large lawns and trees. A yellow text box with a black border is located in the upper right quadrant, with a line pointing to the red-outlined parcel.

Area of Request
450 Washington Road



**THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS**

PROJECT ADDRESS 450 WASHINGTON ROAD, LAKE FOREST

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- ☒ East Lake Forest District ☐ Green Bay Road District ☐ Vine/Oakwood/Green Bay Road District
☐ Local Landmark Property or District ☐ Other

PROPERTY OWNER INFORMATION

LAKE SHORE HISTORIC PROPERTIES, LLC
C/O ARTHUR MERTES

Owner of Property

140 MORRIS LANE #211

Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60045

City, State and Zip Code

(312) 953-0718

Phone Number

Fax Number

mertes.reb@gmail.com

Email Address



Owner's Signature

ARCHITECT/BUILDER INFORMATION

KEITH LABUTTA, VICE PRINCIPAL

Name and Title of Person Presenting Project

NORTHWORKS ARCHITECTS & PLANNERS

Name of Firm

1512 N THROOP ST

Street Address

CHICAGO, IL 60642

City, State and Zip Code

(312) 440-9850

Phone Number

Fax Number

KLABUTTA@NWKS.COM

Email Address



Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

☐ OWNER

☐ REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name	ARTHUR E & ANNE M MERTES	Name	KATHLEEN MERTES
Address	140 MORRIS LANE #211 LAKE FOREST, IL 60045	Address	1S 728 RIDGE ROAD GLEN ELLYN, IL 60137
Ownership Percentage	99 %	Ownership Percentage	1 %

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%

NORTHWORKS

450 Washington Road

Lake Forest, Illinois

City of Lake Forest – Historic Preservation Commission

Statement of Intent

August 4, 2020

The proposed residence at 450 Washington Road is for a currently vacant lot. One of our primary concerns in the design of the new home was determining appropriate site placement. We studied a variety of options for interior programmatic placement of the new home along with paying particular attention to inward and outward site views, access to natural sun light, and positioning of the home in relation to existing structures.

We've sited the home on the lot slightly off of a true east-west access. This was done with the intent to angle the front façade toward Washington Road, better responding the slight curve of the road as one would pass this property. The entry drive is positioned with an axial alignment to the front door, establishing a focal hierarchy for the home. The orientation of the home also intends to be respectful neighboring of homes and preventing lines of sight into adjacent structures.

We've assessed both the immediately adjacent homes as well as homes throughout the Lake Forest community to understand the various building styles used within the neighborhood. We found a variety of architectural styles including Craftsman (5), mid-century modern (4), Mediterranean (1), English Cottage (9), Queen Anne (8), a blend of Dutch Colonial and Shingle Style (7), Tudor Revival (6), Greek Revival, Georgian and Colonial Revival are used throughout. Given the range of historic styles being present, we have chosen the Colonial Revival style for this home, which has examples of use at two of the immediately adjacent properties.

This home is designed as an asymmetrical primary massing, which can be found in Colonial Revival homes primarily prior to 1900. A projecting gable form at the street-side facade houses the garage and creates a subtle drive court. Garage doors are side loaded so as to obscure their visibility from the street. A projecting entry portico with traditional colonial trim detailing has been used to accent the main entry, as was common within this style. A simple, two-story gable form at the NE corner creates the asymmetry in what would otherwise be the widely recognized simple box form used on many Colonial Revival structures.

Window openings along all façades are double-hung and aim to maintain traditional proportions of light divisions. Use pairs of double hung windows can also be found throughout, which was a common approach to window openings of the Colonial Revival style. Window height and scale also changes between first and second floor at all façades to create a hierarchy between levels and maintain an appropriateness with interior ceiling heights. Window fenestration is accentuated with exterior shutters, traditional window casing, and crown. Dormer windows were added to the garage massing to help with constructing additional building details that make this home relatable to the human scale. Opening alignment was critically studied between levels and used throughout all facades to present a highly organized design.

Roof overhangs were studied and designed with a traditional crown build-up at the eaves and soffit for a more articulated transition from roof massing to façade massing. This detail wraps to the adjacent gable form, which is typical of Colonial Revival detailing.

The material palette of the home is intended to be consistent with the neighborhood. Use of cedar shingles and painted clapboard siding as the primary exterior finish material will blend into the surrounding context. Use of ornamental wood trim details at eaves, chippendale railing, simulated divided lights, and wood pilasters and columns further reflect our intentions to be consistent with architectural style and build with a new home of historic character.

Project Name: 450 Washington Road Residence
NWKS Project Number: 1945

PETITIONER RESPONSE TO HPC NOTICE OF ACTION

- Reconsider the design in an effort to achieve more visual compatibility with the surrounding historic neighborhood and consistency with the standards that the Commission is charged with using.
 - NWKS Response: We have changed the style of the home to be a Colonial Revival. We have made to change in response to finding consistency with the immediately adjacent neighbors, two of which are also Colonial Revival style.
- Identify an architectural style and remain generally true to that style.
 - NWKS Response: Colonial Revival
- Reconsider the roof pitch in an effort to adjust the gables
 - NWKS Response: The roof pitch has been adjusted to an 8:12 pitch, which we believe to be appropriate for the revised style of this home.
- Add depth and detail to the residence, consider allowing certain elements to be proud of the rest of the elevation.
 - NWKS Response: In addition to changing the overall design style, we've included an entry portico, dormer windows at the garage, shutters at windows, enhanced window casing and trim detailing, and a trellis and column system along the west façade to add detail and depth.
- Study the gable roof forms in an effort to create a more balanced and symmetrical appearance.
 - NWKS Response: The roof gables have been modified for the new design style. A two-story projection at east façade forms a single gable along the main façade.
- Reconsider the design in an effort to break up the front elevation and present a more human scale.
 - NWKS Response: Design elements such as a portico, window shutters, ornamental window trim and wood clapboard siding will help to bring a human scale to the revised design.
- Refine the architectural detailing in an effort to vary and soften the appearance of the home.
 - NWKS Response: All detailing is intended to be consistent with Colonial Revival style and aims to provide a design with an enhanced level of detail.
- Refine the fenestration pattern in order to align the openings between floors and present a more regular pattern across all elevations of the home. Consider the windows in the context of the chosen architectural style, both style and placement.
 - NWKS Response: Window alignment for all facades has been achieved. Additional fenestration detailing can be found in the form of enhanced casing and wood trim details, shutters, and smaller overall lite divisions. Window operation has been changed to a double hung to be more consistent with Colonial Revival architectural styling.
- Use a more subtle color palette in an effort to fit in more quietly with the character of the surrounding homes and streetscape.
 - NWKS Response: In changing to the Colonial Revival style, the intended color palette will be white cladding with gray shutters. We believe this color palette to be consistent with other homes of this style and within the East Lake Forest Historic District.

- Consider different roof materials to incorporate some materials found more commonly throughout the surrounding neighborhood.
 - NWKS Response: We will be using cedar shingles to be more consistent with the surrounding neighborhood.
- Consider adding an overhang to the roof to add depth to the appearance of the house.
 - NWKS Response: The roof overhang has been increased by the addition of a built-up crown detail at the fascia board.
- Enhance and refine the landscape plan to recognize the utility easement and existing underground utilities and to provide screening along the north and south property lines.
 - Landscape Architect Response:

The following changes have been reflected in the drawing as per HPC prelim. review commentary and under advisement of Jen Baehr, Asst. City Planner.

 - 1. All NEW plant material has been moved out of Utility Easements.
 - 2. All Utility Easements have been redefined w/ slash pattern zoning for easier recognition on plan.

A couple of points regarding existing site conditions in the Utility Easements:

 - 1. There are naturally existing hardwood trees in both the North & South Easements, IE: Tree #910 White Oak, #909 Eastern White Pine, #908 Northern Red Oak, #938 & #940 Amer. Elm, to name a few.
 - 2. There are ornamental plantings in the North Utility Easement planted by past 464 Washington Road homeowners
 - 3. There is a garage, asphalt driveway section, stacked stone wall and hardscapes in 460 Washington Rd. Utility Easements
 - 4. There is large invasive Buckthorn grove in South Easement
 - 5. Privacy screening for the 430 Washington Rd. Shed on the south border will be addressed in permit landscape or post construction working with City Planners and City Forester to determine best solution



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- ☐ Stone
☐ Brick
☒ Wood Clapboard Siding
☐ Wood Shingle
☐ Cementitious Stucco
☐ Other _____

Color and/or Type of Material WHITE

Foundation Material

Exposed Foundation Material CONCRETE
VISIBLE EXTENTS LIMITED, AS
POSSIBLE WITH GRADING

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Color of Finish WHITE

Finish and Color of Windows

- ☐ Wood (recommended)
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars (recommended)
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
☐ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☒ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Composition Shingles _____
☐ Sheet Metal _____
☐ Other _____

Flashing Material

- ☐ Copper
☒ Other ALUMINUM, PAINTED
☐ Sheet Metal

Color of Material _____

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

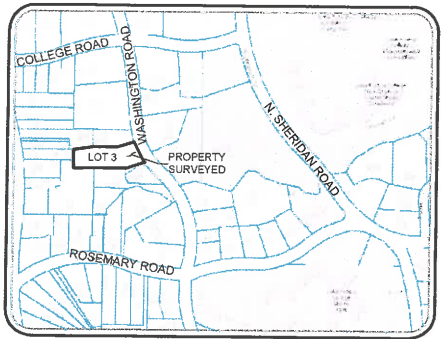
- ☐ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☒ Crushed Stone
☒ Other COBBLESTONE EDGE

Terraces and Patios

- ☒ Bluestone (PATHWAYS)
☐ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☒ Other STONE PAVERS

ALTA/NSPS Land Title Survey

Lot 3 in Ailing Subdivision, being a Subdivision of part of the Northeast 1/4 of Section 33, Township 44 North, Range 12, East of the Third Principal Meridian, according to the Plat thereof recorded November 23, 1988 as Document 2743088, in Lake County, Illinois.



Vicinity Map

(Not to Scale)

THIS SURVEY IS BASED UPON COMMITMENT FOR TITLE INSURANCE CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO.: 16S704861LF EFFECTIVE DATE: FEBRUARY 20, 2018

Note Corresponding to Schedule B

- M 20. Notation on the Plat of Lake Forest recorded July 23, 1857 in Book "D" of Plats, pages 72 to 77, both inclusive, as follows: "Those lots partly bounded by ravines go to the center of them."
- Q 24. Terms and conditions contained in the Grant of Easements and Driveway Covenants dated November 10, 1988 and recorded November 23, 1988 as Document 2743089 made by the Trustees of the Bertha Ailing Brown Trust. Note: This instrument provides for the individual lot owners to be responsible for the cost of maintenance and repair of the driveway easement areas. (As shown hereon. Lot 3 is not included in this grant of easement.)
- R 25. Building line 60 feet back from the right of way line of Washington Street and 150 feet back from the West lot line of Lot 3. (As shown hereon.)
- U 26. Public utilities easement over the North 5 feet and West 10 feet of Lot 3. (As shown hereon.)
- S 27. Municipal and public utilities easement over the South 15 feet (except the West 406 103 3 feet thereof) and the East 25 feet of the West 496 128 3 feet of Lot 3. (As shown hereon.)
- T 28. Notation contained on the Plat of Subdivision, as follows: It is further covenanted and agreed as follows (1) The construction of a fence shall not be permitted along any interior property line within this Subdivision (2) Lots "X" and "Y" hereon shown are not building lots themselves. They may be built on only when attached to adjacent ownerships. (3) The maintenance of yard storm and paving drains are the sole responsibility of the affected lot owner and not the responsibility of the City of Lake Forest to maintain this covenant may be enforced by the City of Lake Forest at its option; and no changes may be made in the covenant contained herein without the written consent of said City of Lake Forest. This covenant shall be binding upon the heirs, executors, successors and assigns of the undersigned owner and shall run with the title of the Lands hereby subdivided.
- X 29. An encroachment over the south line of Lot 3 of the NE corner of a frame garden shed located on lot 4 by 1.21 feet. (As shown hereon.)

Current Zoning Information

§ 129.053 R-3 SINGLE-FAMILY RESIDENCE DISTRICT.
(A) Permitted uses. The following uses are permitted in the R-3 District:
(1) Single-family detached dwellings;
(2) Parks, playgrounds and community buildings operated by municipal agencies;
(3) Truck and flower gardens and nurseries, provided, however, that the products shall not be sold at retail on the premises and no building shall be erected upon the premises other than a dwelling and the usual accessory buildings; and
(4) Accessory uses and buildings incidental to and on the same zoning lot as the principal use.
(B) Special uses. Special uses may be allowed in the R-3 District as provided in § 159.045.
(C) Lot size requirements.

	Minimum Lot Area	Minimum Lot Width
Single-family detached dwellings	40,000 sq. ft.	125 ft.
Truck and flower gardens and nurseries	5 acres	300 ft.

(D) Requirements. (Setbacks are given in linear feet.)

(1) Permitted uses.

	Required Setbacks			
	Front Yard	Interior Side Yard	Corner Side Yard	Rear Yard
Single-family detached dwellings	40	15	40	40
Parks, playgrounds and community buildings operated by municipal agencies—permanent structures	50*	50*	50*	50*
Truck or flower gardens and nurseries—permanent structures	100*	100*	100*	100*

* If no structures are established, no yard requirements

(2) Accessory uses.

	Required Setbacks			
	Front Yard	Interior Side Yard	Corner Side Yard	Rear Yard
Buildings, accessory	40	15*	30	10

* Unless an entire structure is located on the rear 25% of the lot, in which case only ten feet shall be required

(E) Height requirements. The maximum height of all principal buildings and structures shall be governed by § 150.148 and the maximum height of all accessory buildings and structures shall not exceed 25 feet.

(Prior Code, § 46-38) (Ord. eff. 1-15-1972; Ord. 91(A), passed 1-7-1961; Ord. 92-14, passed 4-16-1992)

ABBREVIATIONS:

m. or meas. = measured
r. or rec. = record
CB = chord bearing
Ch = chord length
L = arc length
N = North
S = South
E = East
W = West
S.F. = square feet

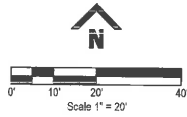
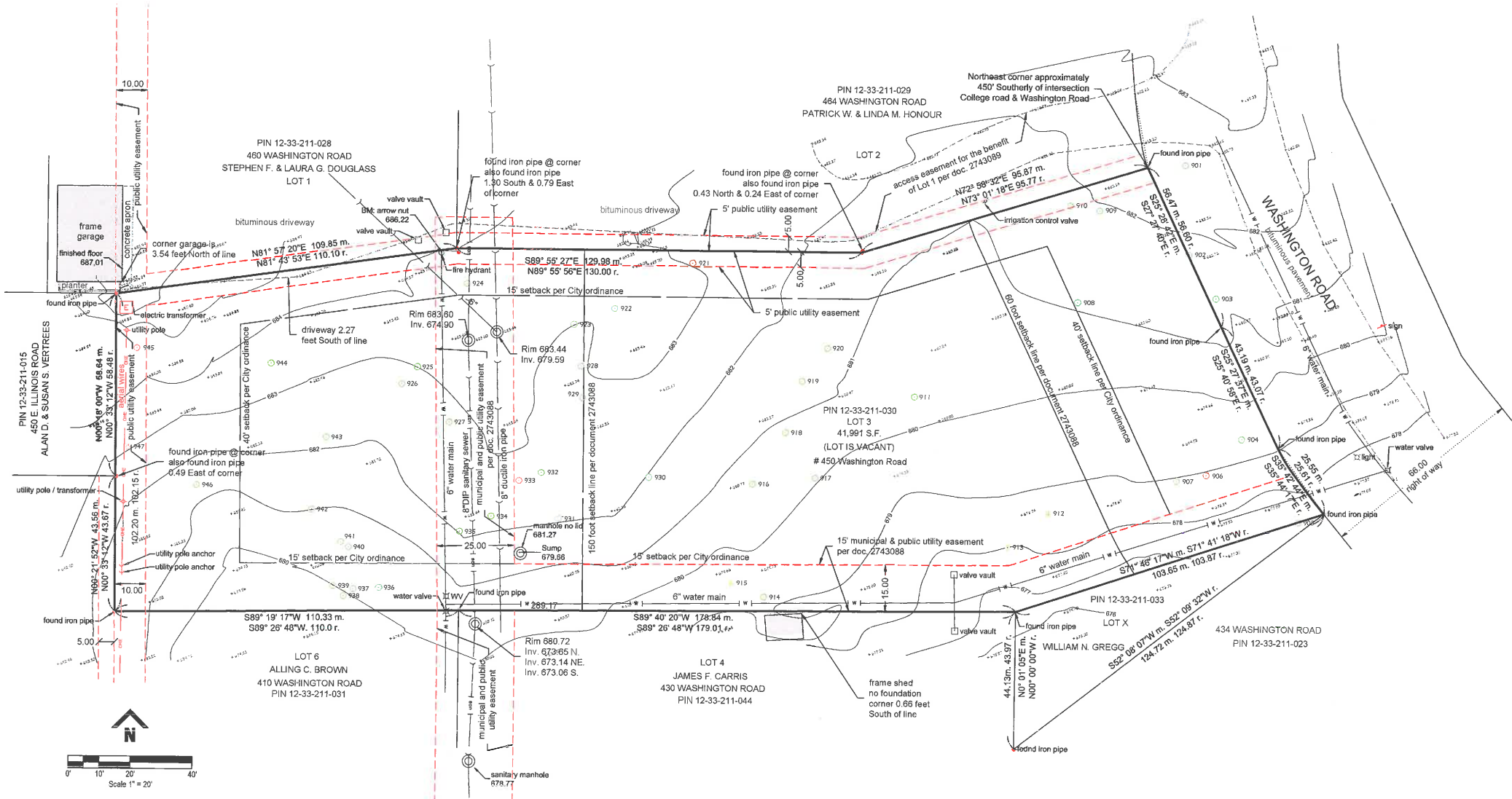
Job #70-1053

BLECK

engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045

T 847.295.5200 F 847.295.7081
www.bleckeng.com



Miscellaneous Notes

1. BASIS OF BEARINGS: ILLINOIS STATE PLANE COORDINATES - EAST ZONE
2. MEASUREMENTS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
3. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
4. SCHEDULE B ITEMS NOT LISTED HEREON REFER TO ITEMS SUCH AS TAXES, MORTGAGES, LEASES, ASSESSMENT FEES, CONNECTION FEES, AND SIMILAR TITLE INSURANCE CONCERNS WHICH ARE NOT MATTERS OF SURVEY. THE SURVEYOR HAS NOT EXAMINED OR ADDRESSED THESE ITEMS AND MAKES NO STATEMENT CONCERNING THEM.
5. IRON RODS WERE SET AT ALL CORNERS, UNLESS NOTED OTHERWISE.
6. THE PROPERTY SHOWN HEREON IS NOT WITHIN A FLOOD PLAIN AND HAS BEEN DESIGNATED AS ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF A 500 YEAR FLOOD PLAIN) ACCORDING TO THE FLOOD INSURANCE RATE MAP, MAP NUMBER 17097C0277 K, EFFECTIVE DATE: SEPTEMBER 18, 2013.
7. VERTICAL RELIEF GROUND SURVEY, ESTABLISHED BY MONUMENT RECORD: MONUMENT NUMBER 61, BRASS CAP IN CONCRETE AT THE NORTHWEST CORNER OF THE INTERSECTION OF DEERPATH ROAD AND WASHINGTON ROAD. NAVD 88 ELEVATION = 670.379.
8. THERE ARE NO OBSERVED DELINEATED WETLANDS AREAS ON THE PROPERTY.
9. THERE ARE NO BUILDINGS EXISTING ON THE SURVEYED PROPERTY.
10. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD OBSERVATION AND FROM EXISTING DRAWINGS ON FILE IN THIS OFFICE. TOGETHER WITH UTILITY INFORMATION PROVIDED BY THE CITY OF LAKE FOREST. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE WITH THE INFORMATION AVAILABLE.

Tree ID	Botanical Name	Common Name	Size	Count	Form	Problems	Notes/Remarks	Comments	Co-Leaders at DBH	Nearest Tree
901	Quercus rubra	Northern Red Oak	15	3	2	minor deadwood				
902	Acer glaberrimum	Boxelder Maple	8	3	3	twist in trunk, multiple leaders				
903	Ulmus americana	American Elm	13	2	3	weak crown, double leader				
904	Pinus strobus	Eastern White Pine	21	3	3	minor deadwood, damaged leader, twisted up				
905	Quercus alba	White Oak	31	5	4	minor deadwood, trunk scar, one sided, double leader				
906	Fraxinus pennsylvanica	Green Ash	22	3	4	minor deadwood				
907	Fraxinus americana	White Ash	14	6	3	minor deadwood, damaged leader, epicormics				
908	Quercus rubra	Northern Red Oak	31	4	3	minor deadwood				
909	Pinus strobus	Eastern White Pine	20	3	4	new sided				
910	Quercus alba	White Oak	29	3	4	minor deadwood, one sided, branch scar, twist in trunk				
911	Juglans nigra	Black Walnut	13	2	3	weak crown, multiple leaders				
912	Pinus strobus	Eastern White Pine	7	2	3	one sided				
913	Thuja occidentalis	Eastern Arborvitae	16	4	4	weak crown, trunk scar, decay, damaged leader, slight lean				
914	Quercus alba	White Oak	18	3	4	minor deadwood, canopy				
915	Amelanchier canadensis	Eastern Red-ender	10	3	4	one sided, over topped, slight sweep				
916	Prunus serotina	Black Cherry	11	3	4	minor deadwood, one sided, vine infested, slight sweep, double leader				
917	Tilia americana	Basswood (American Linden)	8	2	4	weak crown, one sided, double leader, crossing branches				
918	Tilia americana	Basswood (American Linden)	8	2	4	weak crown, one sided, double leader, crossing branches				
919	Ulmus americana	American Elm	9	2	3	minor deadwood, thin crown				
920	Quercus alba	White Oak	9	3	3	vine infested, slight lean, multiple leaders				
921	Ulmus americana	American Elm	23	4	3	minor deadwood, basal decay, dieback, multiple leaders				
922	Ulmus americana	American Elm	19	5	4	suckering				
923	Ulmus americana	American Elm	10	2	3	weak crown				
924	Robinia pseudoacacia	Black Locust	31	3	3	minor deadwood, weak crown, twist in trunk				
925	Quercus alba	White Oak	15	5	4	minor deadwood, weak crown				
926	Carya ovata	Shagbark Hickory	21	3	3	minor deadwood, weak crown, basal decay, double leader				
927	Ulmus americana	American Elm	11	3	4	minor deadwood, excessive lean, weak crown, suckering, over-topped, slight sweep				
928	Acer negundo	Boxelder Maple	20	5	4	broken limbs, sparse foliage, trunk scar, decay, hollow				
929	Acer negundo	Boxelder Maple	8	3	4	minor deadwood, excessive lean, one sided, suckering				
930	Ulmus americana	American Elm	12	3	4	minor deadwood, over-topped, thin crown, slight lean				
931	Ulmus americana	American Elm	8	2	3	twist in trunk				
932	Ulmus americana	American Elm	10	3	3	weak crown, multiple leaders				
933	Ulmus americana	American Elm	11	4	4	minor deadwood, split trunk, basal decay, one sided				
934	Acer negundo	Boxelder Maple	6	3	4	suckering, slight sweep				
935	Fraxinus pennsylvanica	Green Ash	24	5	3	minor deadwood				
936	Ulmus americana	American Elm	10	3	3	minor deadwood, twist in trunk				
937	Ulmus americana	American Elm	12	3	4	vine infested, slight lean, multiple leaders				
938	Ulmus americana	American Elm	13	3	4	minor deadwood, excessive lean, one sided, suckering				
939	Ulmus americana	American Elm	8	2	3	minor deadwood, over-topped, thin crown, twist in trunk				
940	Ulmus americana	American Elm	8	3	3	twist in trunk, slight lean, double leader				
941	Ulmus americana	American Elm	8	3	3	double leader				
942	Juglans nigra	Black Walnut	10	3	3	minor deadwood, multiple leaders				
943	Acer negundo	Boxelder Maple	16	3	4	minor deadwood, basal scar, excessive lean, weak crown, suckering, multiple leaders				
944	Acer glaberrimum	Boxelder Maple	16	3	3	minor deadwood, multiple leaders				
945	Acer negundo	Boxelder Maple	12	4	4	basal decay, one sided, suckering, damaged leader, pruned for overhanging limbs				

PLAT IS VOID IF IMPRESSED SEAL DOES NOT APPEAR

STATE OF ILLINOIS
COUNTY OF LAKE J.S.S.

To: Chicago Title Insurance Company, Lakeshore Historic Properties, LLC or its nominee, Bank of America, N.A. and Thomas E. Quinlan, as co-trustees of the Ailing C. Brown Trust Agreement, dated December 5, 2012.

This is to certify that this map or plat and the survey on which it is based were made in accordance with 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 8, 11, 19, and 21.

Dated at Lake Forest, Illinois this 15th day of May, 2018.

Jack R. Bleck
Registered Land Surveyor No. 3591
In the State of Illinois

Date of fieldwork: March 19, 2018
Revision Date: May 15, 2018
Revision Date: July 20, 2018
Revision Date: August 1, 2018
Revision Date: September 21, 2018

PROPOSED SITE PLAN

NORTHWORKS

CHICAGO | JACKSON HOLE | SAN FRANCISCO | PHILADELPHIA

1512 N. Throop Street

Chicago, Illinois 60642

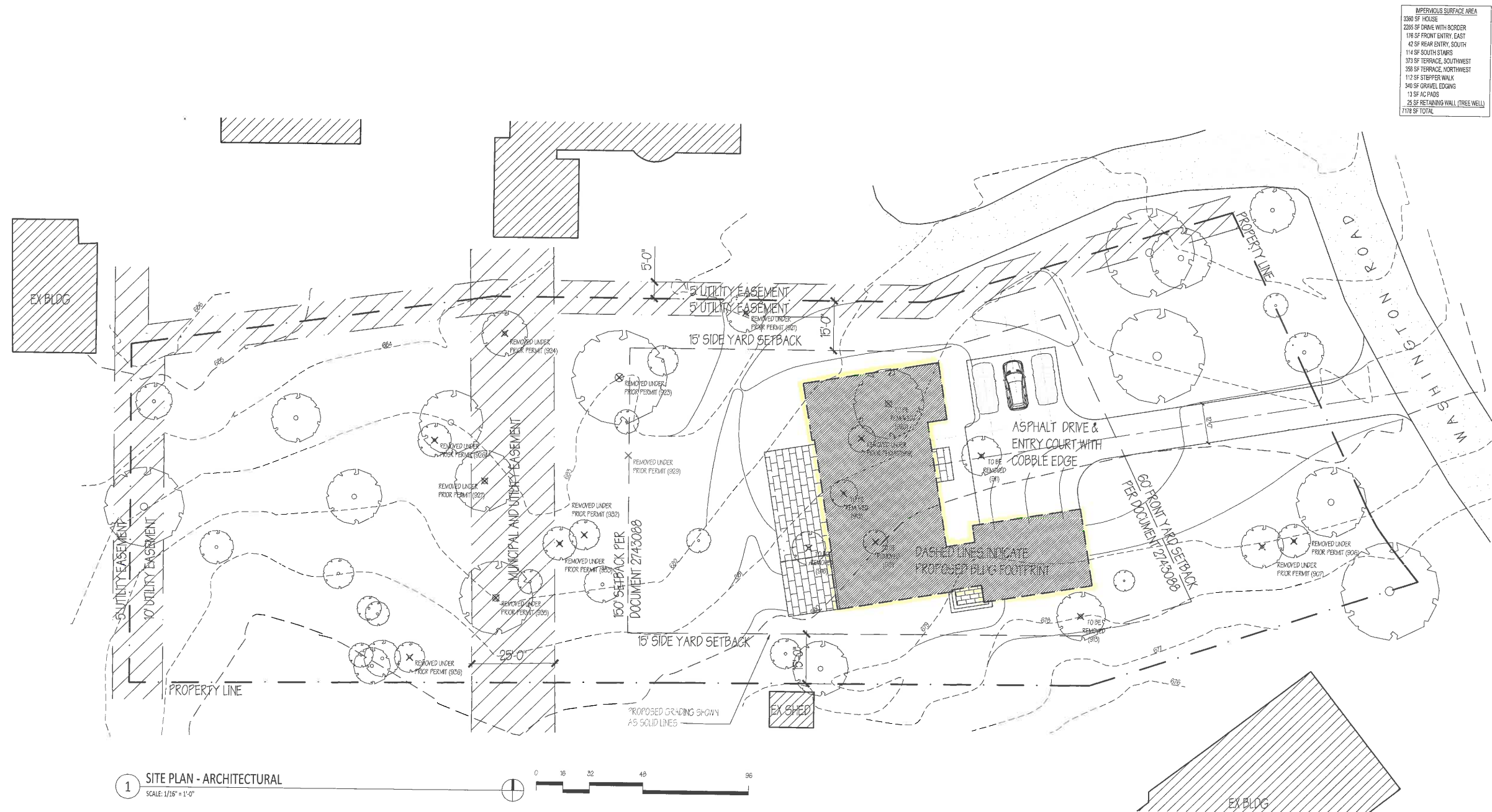
T 312-440-9850

F 312-440-9851

www.nwks.com

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NOT FOR CONSTRUCTION / FOR COORDINATION ONLY



1 SITE PLAN - ARCHITECTURAL
SCALE: 1/16" = 1'-0"



1 SITE SECTION - EAST TO WEST
SCALE: 1/16" = 1'-0"

IMPERVIOUS SURFACE AREA	
3360 SF HOUSE	
2285 SF DRIVE WITH BORDER	
176 SF FRONT ENTRY, EAST	
42 SF REAR ENTRY, SOUTH	
114 SF SOUTH STAIRS	
373 SF TERRACE, SOUTHWEST	
358 SF TERRACE, NORTHWEST	
112 SF STEPPER WALK	
340 SF GRAVEL EDGING	
13 SF AC PADS	
25 SF RETAINING WALL (TREE WELL)	
7118 SF TOTAL	

ISSUED DATE	ISSUED FOR
02.14.2020	HPC REVIEW
05.08.2020	HPC REVIEW, REVISED PACKAGE
06.03.2020	HPC REVIEW, CLARIFICATIONS
07.29.2020	HPC REVIEW, REVISED PETITION

PROFESSIONAL SEAL

PROJECT
WASHINGTON ROAD RESIDENCE
450 WASHINGTON ROAD
LAKE FOREST, IL

1945	Project No.
KEL	Drawn By
EAD	Checked By
Discipline	Drawing No.

A 0.1

Drawing Name
SITE PLAN - ARCHITECTURAL

ELEVATION MATERIAL LEGEND

1. 3-PART TRADITIONAL STUCCO
- 2A. 4" STONE SILL
- 2B. 4" STUCCO SILL
3. WOOD FASCIA BOARD, PTD
4. STANDING SEAM METAL ROOF (16" PANELS)
5. ARCHITECTURAL GRADE, ASPHALT SHINGLES
6. 6" HALF-ROUND ALUMINUM GUTTERS AND DOWNSPOUTS
7. ALUMINUM CLAD, WOOD WINDOWS
8. WOOD POSTS AND BEAMS FOR STAIN
9. WOOD FACED GARAGE DOOR FOR STAIN
10. WOOD ENTRY DOOR FOR STAIN WITH LIMESTONE SURROUND

- ## ELEVATION MATERIAL LEGEND
1. 3-PART TRADITIONAL STUCCO
 - 2A. 4" STONE SILL
 - 2B. 4" STUCCO SILL
 3. WOOD FASCIA BOARD, PTD
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 8. WOOD POSTS AND BEAMS FOR STAIN
 9. WOOD FACED GARAGE DOOR FOR STAIN
 10. WOOD ENTRY DOOR FOR STAIN WITH LIMESTONE SURROUND

PREVIOUSLY PROPOSED EAST ELEVATION



450 WASHINGTON ROAD - EAST ELEVATION PROPOSED

SCALE: 1/8" = 1'-0"

05.08.20

ELEVATION MATERIAL LEGEND

1. CEDAR LAP SIDING, PTD
2. WOOD SILL, PTD
3. WOOD CROWN / FASCIA BOARD, PTD
4. STANDING SEAM METAL ROOF (12" PANELS)
5. CEDAR SHINGLES (NATURAL FINISH)
6. 6" HALF-ROUND ALUMINUM GUTTERS AND DOWNSPOUTS
7. ALUMINUM CLAD, WOOD WINDOWS
8. WOOD TRELLIS, PTD
9. WOOD FACED GARAGE DOOR, PTD
10. WOOD ENTRY DOOR, PTD
11. WOOD FASCIA, SIDING OR TRIM, PTD
12. WOOD ENTRY PORTICO, PTD
13. WOOD SHUTTERS, PTD
14. BRICK VENEER
15. CAST IN PLACE, CONCRETE FOUNDATION
16. WOOD COLUMNS, PTD

PROPOSED EAST ELEVATION



450 WASHINGTON ROAD - EAST ELEVATION PROPOSED

SCALE: 1/8" = 1'-0"

07.29.20

ELEVATION MATERIAL LEGEND

- 1. 3-PART TRADITIONAL STUCCO
- 2A. 4" STONE SILL
- 2B. 4" STUCCO SILL
- 3. WOOD FASCIA BOARD, PTD
- 4. STANDING SEAM METAL ROOF (16" PANELS)
- 5. ARCHITECTURAL GRADE, ASPHALT SHINGLES
- 6. 6" HALF-ROUND ALUMINUM GUTTERS AND DOWNSPOUTS
- 7. ALUMINUM CLAD, WOOD WINDOWS
- 8. WOOD POSTS AND BEAMS FOR STAIN
- 9. WOOD FACED GARAGE DOOR FOR STAIN
- 10. WOOD ENTRY DOOR FOR STAIN WITH LIMESTONE SURROUND



450 WASHINGTON ROAD - SOUTH ELEVATION PROPOSED

SCALE: 1/8" = 1'-0"

ELEVATION MATERIAL LEGEND

1. CEDAR LAP SIDING, PTD
2. WOOD SILL, PTD
3. WOOD CROWN / FASCIA BOARD, PTD
4. STANDING SEAM METAL ROOF (12" PANELS)
5. CEDAR SHINGLES (NATURAL FINISH)
6. 6" HALF-ROUND ALUMINUM GUTTERS AND DOWNSPOUTS
7. ALUMINUM CLAD, WOOD WINDOWS
8. WOOD TRELLIS, PTD
9. WOOD FACED GARAGE DOOR, PTD
10. WOOD ENTRY DOOR, PTD
11. WOOD FASCIA, SIDING OR TRIM, PTD
12. WOOD ENTRY PORTICO, PTD
13. WOOD SHUTTERS, PTD
14. BRICK VENEER
15. CAST IN PLACE, CONCRETE FOUNDATION
16. WOOD COLUMNS, PTD

PROPOSED SOUTH ELEVATION



450 WASHINGTON ROAD - SOUTH ELEVATION PROPOSED

SCALE: 1/8" = 1'-0"

07.29.20

ELEVATION MATERIAL LEGEND

- 1. 3-PART TRADITIONAL STUCCO
- 2A. 4" STONE SILL
- 2B. 4" STUCCO SILL
- 3. WOOD FASCIA BOARD, PTD
- 4. STANDING SEAM METAL ROOF (16" PANELS)
- 5. ARCHITECTURAL GRADE, ASPHALT SHINGLES
- 6. 6" HALF-ROUND ALUMINUM GUTTERS AND DOWNSPOUTS
- 7. ALUMINUM CLAD, WOOD WINDOWS
- 8. WOOD POSTS AND BEAMS FOR STAIN
- 9. WOOD FACED GARAGE DOOR FOR STAIN
- 10. WOOD ENTRY DOOR FOR STAIN WITH LIMESTONE SURROUND

PREVIOUSLY PROPOSED WEST ELEVATION



ELEVATION MATERIAL LEGEND

1. CEDAR LAP SIDING, PTD
2. WOOD SILL, PTD
3. WOOD CROWN / FASCIA BOARD, PTD
4. STANDING SEAM METAL ROOF (12" PANELS)
5. CEDAR SHINGLES (NATURAL FINISH)
6. 6" HALF-ROUND ALUMINUM GUTTERS AND DOWNSPOUTS
7. ALUMINUM CLAD, WOOD WINDOWS
8. WOOD TRELLIS, PTD
9. WOOD FACED GARAGE DOOR, PTD
10. WOOD ENTRY DOOR, PTD
11. WOOD FASCIA, SIDING OR TRIM, PTD
12. WOOD ENTRY PORTICO, PTD
13. WOOD SHUTTERS, PTD
14. BRICK VENEER
15. CAST IN PLACE, CONCRETE FOUNDATION
16. WOOD COLUMNS, PTD

PROPOSED WEST ELEVATION



450 WASHINGTON ROAD - WEST ELEVATION PROPOSED

SCALE: 1/8" = 1'-0"

07.29.20

ELEVATION MATERIAL LEGEND

1. 3-PART TRADITIONAL STUCCO
- 2A. 4" STONE SILL
- 2B. 4" STUCCO SILL
3. WOOD FASCIA BOARD, PTD
4. STANDING SEAM METAL ROOF (16" PANELS)
5. ARCHITECTURAL GRADE, ASPHALT SHINGLES
6. 6" HALF-ROUND ALUMINUM GUTTERS AND DOWNSPOUTS
7. ALUMINUM CLAD, WOOD WINDOWS
8. WOOD POSTS AND BEAMS FOR STAIN
9. WOOD FACED GARAGE DOOR FOR STAIN
10. WOOD ENTRY DOOR FOR STAIN WITH LIMESTONE SURROUND

PREVIOUSLY PROPOSED NORTH ELEVATION



450 WASHINGTON ROAD - NORTH ELEVATION PROPOSED

SCALE: 1/8" = 1'-0"

05.08.20

ELEVATION MATERIAL LEGEND

1. CEDAR LAP SIDING, PTD
2. WOOD SILL, PTD
3. WOOD CROWN / FASCIA BOARD, PTD
4. STANDING SEAM METAL ROOF (12" PANELS)
5. CEDAR SHINGLES (NATURAL FINISH)
6. 6" HALF-ROUND ALUMINUM GUTTERS AND DOWNSPOUTS
7. ALUMINUM CLAD, WOOD WINDOWS
8. WOOD TRELLIS, PTD
9. WOOD FACED GARAGE DOOR, PTD
10. WOOD ENTRY DOOR, PTD
11. WOOD FASCIA, SIDING OR TRIM, PTD
12. WOOD ENTRY PORTICO, PTD
13. WOOD SHUTTERS, PTD
14. BRICK VENEER
15. CAST IN PLACE, CONCRETE FOUNDATION
16. WOOD COLUMNS, PTD

PROPOSED NORTH ELEVATION



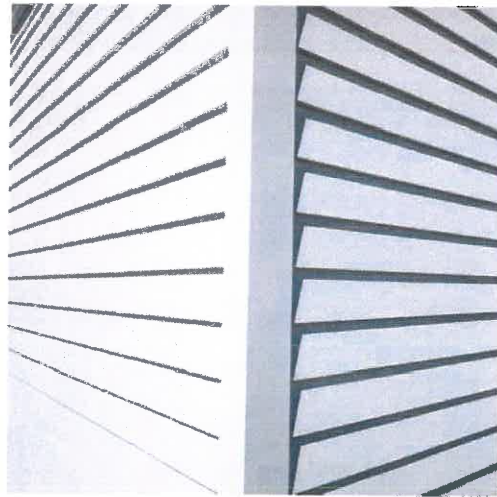
450 WASHINGTON ROAD - NORTH ELEVATION PROPOSED

SCALE: 1/8" = 1'-0"



450 WASHINGTON ROAD - ENTRY RENDERING
SCALE: NTS

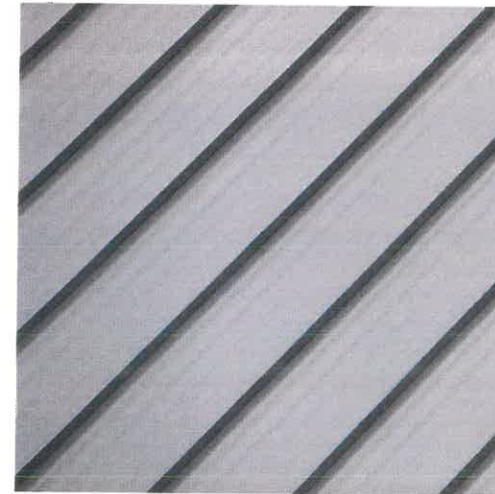
MATERIAL PALETTE



1 WOOD CLAPBOARD SIDING



2 CEDAR SHINGLES



3 STANDING SEAM METAL ROOF

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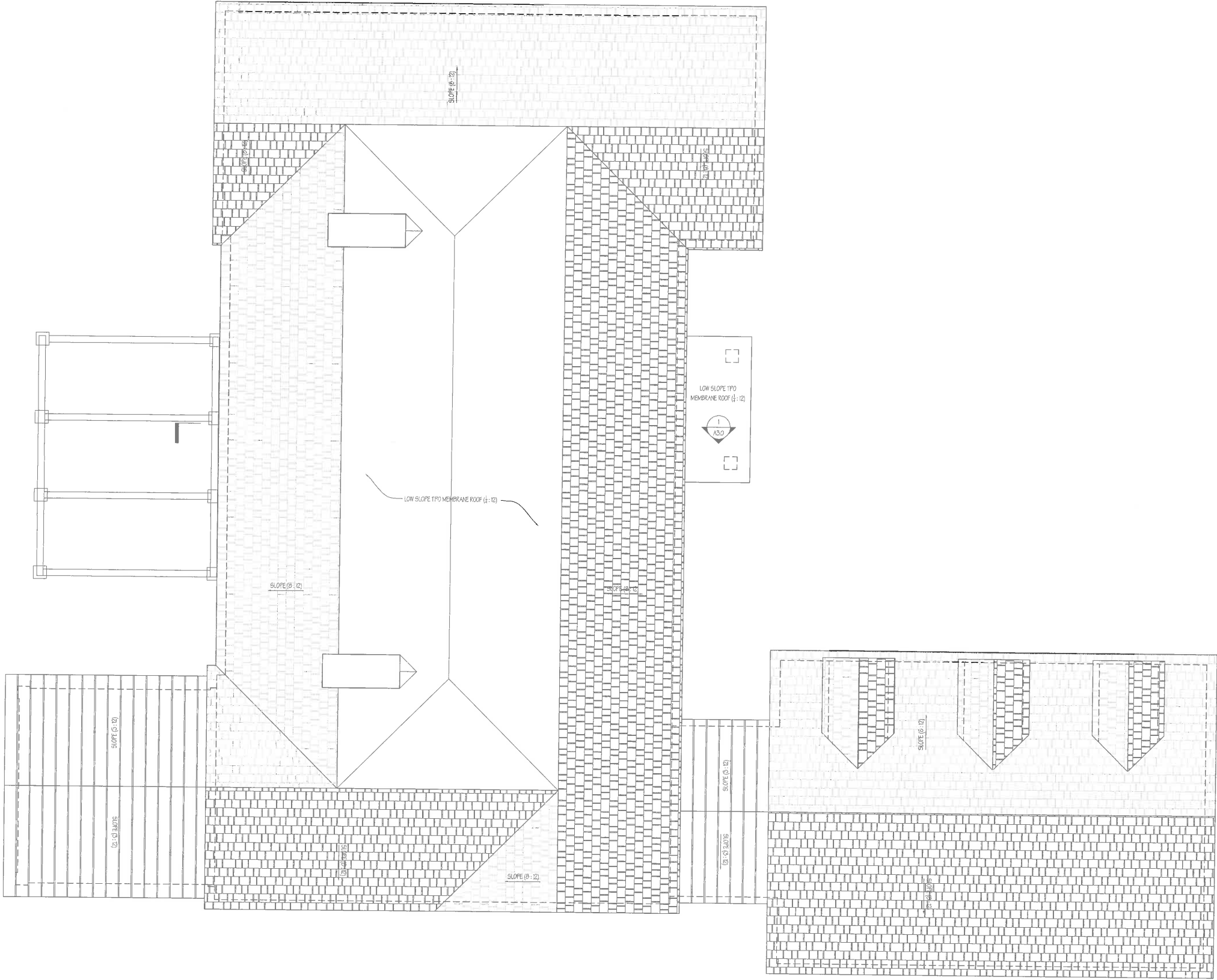
PROJECT
WASHINGTON ROAD RESIDENCE
450 WASHINGTON ROAD
LAKE FOREST, IL

1945	Project No.
KEL	Drawn By
EAD	Checked By
Discipline	Drawing No.
A	4.0

Drawing Name

MATERIALS PALETTE

PROPOSED ROOF PLAN



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

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06.03.2020	HPC REVIEW_CLARIFICATIONS
07.29.2020	HPC REVIEW_REVISED PETITION

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PROJECT
WASHINGTON ROAD RESIDENCE
450 WASHINGTON ROAD
LAKE FOREST, IL

1945	Project No.
KEL	Drawn By
EAD	Checked By
Discipline	Drawing No.

A 1.3

Drawing Name
ROOF PLAN

PROPOSED BUILDING SECTION



1 BUILDING SECTION THRU GREAT ROOM
SCALE: 1/4" = 1'-0"

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06.09.2020	HPC REVIEW_CLARIFICATIONS
07.29.2020	HPC REVIEW_REVISIED PETITION

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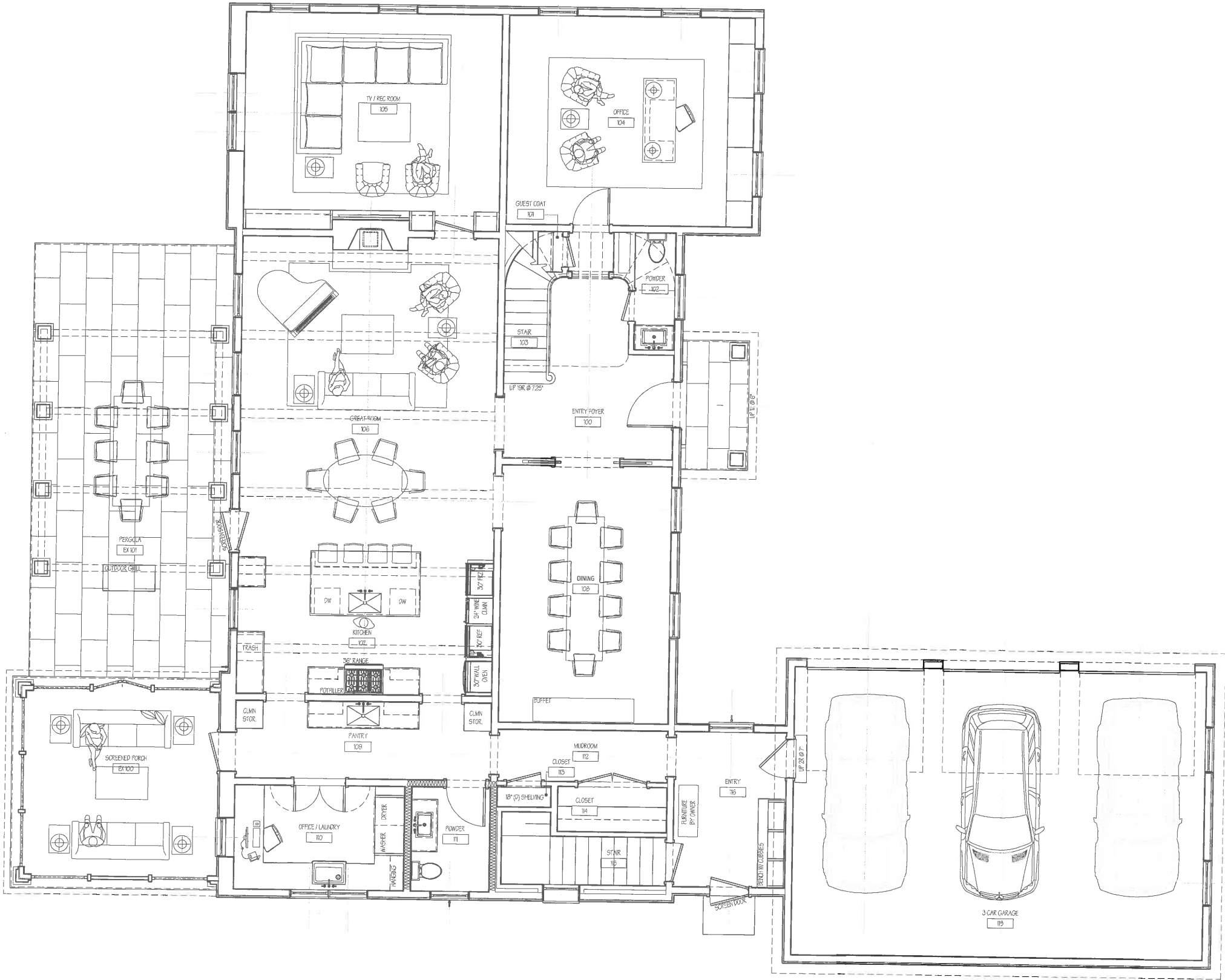
PROJECT
WASHINGTON ROAD RESIDENCE
450 WASHINGTON ROAD
LAKE FOREST, IL

1945	Project No.
KEL	Drawn By
EAD	Checked By
Discipline	Drawing No.

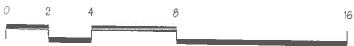
A 3.0

Drawing Name
BUILDING SECTIONS

PROPOSED FIRST FLOOR PLAN



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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PROJECT
WASHINGTON ROAD RESIDENCE
450 WASHINGTON ROAD
LAKE FOREST, IL

1945	Project No.
KEL	Drawn By
EAD	Checked By
Discipline	Drawing No.

A 1.1

Drawing Name
FIRST FLOOR PLAN

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PROPOSED SECOND FLOOR PLAN



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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06.03.2020	HPC REVIEW_CLARIFICATIONS
07.29.2020	HPC REVIEW_REVISD PETITION

PROFESSIONAL SEAL

PROJECT
WASHINGTON ROAD RESIDENCE
450 WASHINGTON ROAD
LAKE FOREST, IL

1945	Project No.
KEL	Drawn By
EAD	Checked By
Discipline	Drawing No.

A 1.2

Drawing Name

SECOND FLOOR PLAN



MEMO

Date: June 23, 2020

Job No. 70-1053

From: Patrick J. Bleck, PE

To: Arthur Mertes

Re: Lot 3 in Alling Subdivision (450 Washington Road), Drainage

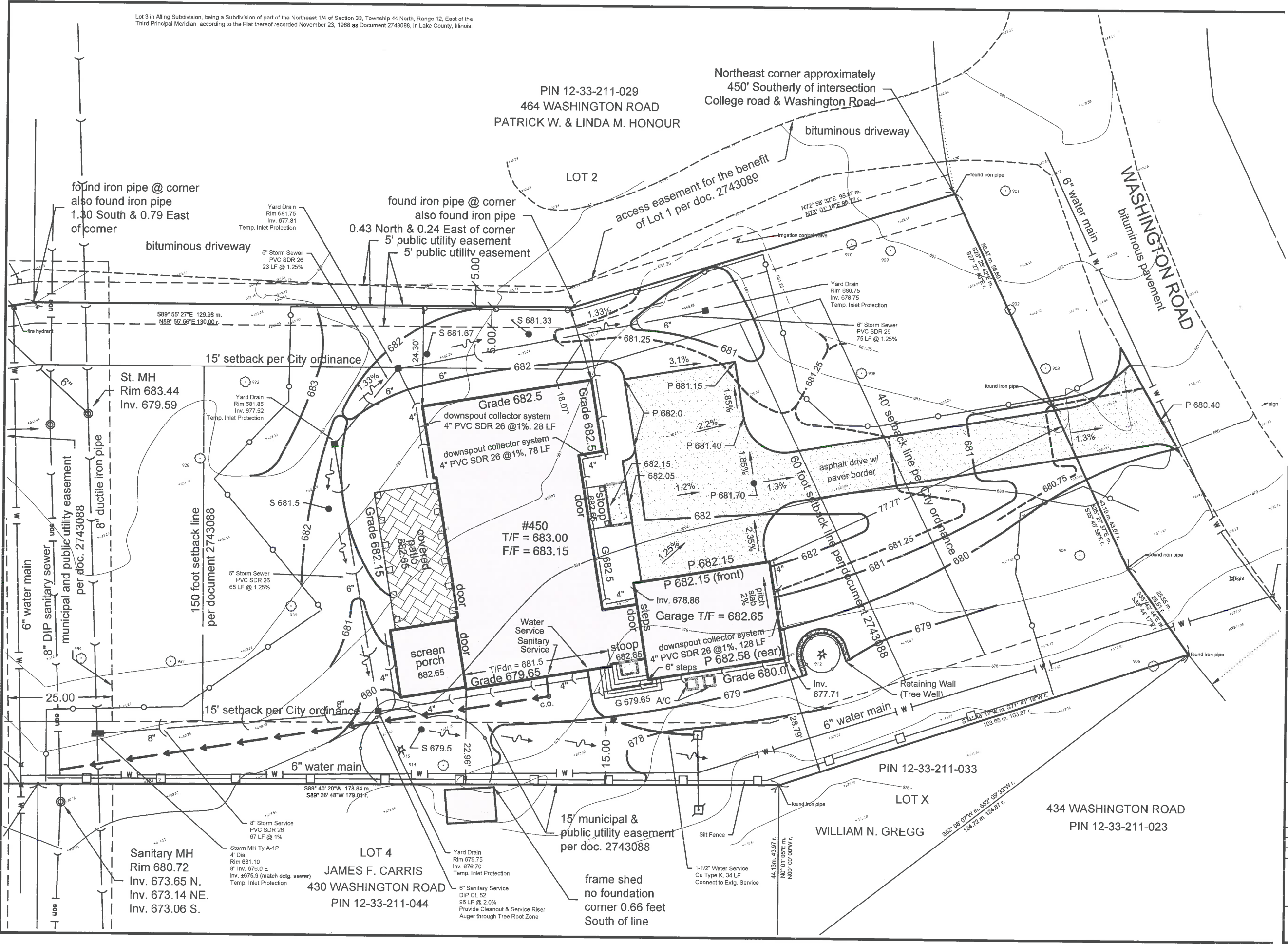
As requested, we have prepared this memo to describe the existing drainage conditions of this property together with the proposed preliminary site grading plan.

The Alling Subdivision, a 7 lot subdivision was created in 1988, prior to this subdivision this property was an estate. The main house of the estate was located on the western portion of Lot 3. The main house was demolished some time prior to 1974 and has been vacant since. Lot 3 contains approximately 0.98 acres and the ground typically slopes from the north to the south with approximately four (4) feet of drop across the property. Approximately 3.25 acres of tributary area draining towards lot 3, at the location of the proposed house. The stormwater continues to flow south off-site, between two residences located at 430/434 Washington Road and then continues draining to the ravine located to the south of 430/434.

The proposed preliminary site grading plan was developed with consideration of the tributary area to the site together, conveyance of the stormwater on site and the downstream adjacent property owners. The site grading plan utilizes overland flow paths together with a supplemental underground drainage system.

The proposed house location allows for a high point of the overland flow path to be created at the northwest corner of the house. This allows for the stormwater to drain around the proposed structure along the north side of the house to a drainage structure. Flows which exceeds the capacity of the drainage system will flow overland to the east along north side of the house to a drainage structure and then along the driveway to Washington Street and south around the west side of the house to a drainage structure. The underground drainage system extends around the perimeter of the house and connects the roof downspouts and sump pump. The drainage structures are located at the southwest corner of the house and the northeast corner of the house. The drainage structures are proposed on the drainage system to drain the low flows. This system drains to the existing 8" storm sewer located west of the proposed house within the drainage easement.

PROPOSED GRADING AND DRAINAGE PLAN



BLECK

engineers | surveyors

Bleck Engineering Company, Inc.

1375 North Western Avenue

Lake Forest, Illinois 60045

T 847.295.5200 F 847.295.7081

www.bleckeng.com

Single Family Home

450 Washington Road

Lake Forest, IL

Lot Area: 41991 SF

Existing Impervious: 0 SF

Proposed Impervious: 6816 SF

N

0 5 10 20

Scale 1" = 10'

REFERENCE BENCHMARK:

LAKE FOREST MONUMENT #61

BRASS CAP IN CONCRETE

NORTHWEST CORNER OF INTERSECTION

DEERPATH ROAD AND WASHINGTON ROAD.

ELEVATION = 670.37

SITE BENCHMARK:

ARROW NUT ON FIRE HYDRANT

AT NORTH PROPERTY LINE

ELEVATION = 686.22

ISSUED DATE	ISSUED FOR
03.04.2020	BRB
03.09.2020	BRB
05.04.2020	BRB
06.03.2020	BRB
08.05.2020	BRB

PROFESSIONAL SEAL

PATRICK J. BLECK

082-042878

LICENSED PROFESSIONAL ENGINEER

ILLINOIS

Patrick J. Bleck, PE

Aug. 5, 2020

License No. 082-042878 Expires 11/05/21

70-1053	Project No.
UND	Drawn By
PJB	Checked By

Drawing No.

C3.0

Drawing Name

GRADING PLAN

TREES HIGHLIGHTED PINK - REMOVED UNDER PRIOR PERMIT

TREES HIGHLIGHTED ORANGE - CURRENTLY PROPOSED FOR REMOVAL

* Note: Removed since original Tree Inventory

Tree Inventory Listing
Lot 3 Washington Road
Lake Forest, Illinois

Prepared by Urban Forest Management, Inc. 4/19/2018

BLECK

engineers | surveyors


Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 F 847.295.7081
www.bleckeng.com

Single Family Home

450
Washington
Road

Lake Forest,
IL

Tag No.	Botanical Name	Common Name	Size	Cond.	Form	Problems	Insect/Disease	Comments	Co-Leaders at DBH	Heritage Tree
901	Quercus rubra	Northern Red Oak	15	3	2	minor deadwood				
902	Acer platanoides	Norway Maple	8	3	3	twist in trunk, multiple leaders				
903	Ulmus americana	American Elm	13	2	3	weak crotch, double leader				
904	Pinus strobus	Eastern White Pine	23	3	3	minor deadwood, damaged leader, limbed up				
905	Quercus alba	White Oak	32	3	4	minor deadwood, trunk scar, one sided, double leader				Yes
* 906	Fraxinus pennsylvanica	Green Ash	11	5	4	minor deadwood				Yes
* 907	Fraxinus americana	White Ash	14	6	3		Emerald ash borer			
908	Quercus rubra	Northern Red Oak	31	4	3	minor deadwood, damaged leader, epicormics		Dead.		
909	Pinus strobus	Eastern White Pine	20	3	4	one sided				Yes
910	Quercus alba	White Oak	29	3	4	minor deadwood, one sided, branch scars, twist in trunk				Yes
911	Juglans nigra	Black Walnut	13	2	3	weak crotch, multiple leaders				Yes
912	Picea abies	Norway Spruce	7	2	3	one sided				
913	Thuja occidentalis	Eastern Arborvitae	16	4	4	weak crotch, trunk scar, decay, damaged leader, slight lean			Forked at base with a 16" co-leader.	
914	Quercus alba	White Oak	18	3	4	minor deadwood, sweep				Yes
915	Juniperus virginiana	Eastern Red-cedar	10	3	4	one sided, over-topped, slight sweep				
916	Prunus serotina	Black Cherry	11	3	4	minor deadwood, one sided, vine infested, slight sweep, double leader				
917	Tilia americana	Basswood (American Linden)	8	2	4	weak crotch, one sided, double leader, crossing branches				
* 918	Tilia americana	Basswood (American Linden)	9	2	3	minor deadwood, thin crown				
* 919	Morus spp.	Mulberry	9	3	3	vine infested, slight lean, multiple leaders				
* 920	Quercus alba	White Oak	23	4	3	heavy deadwood, basal decay, dieback, multiple leaders				Yes
* 921	Fraxinus americana	White Ash	13	5	4	suckering	Emerald ash borer			
* 922	Ulmus americana	American Elm	10	2	3	weak crotch				
* 923	Robinia pseudoacacia	Black Locust	31	3	3	minor deadwood, weak crotch, twist in trunk				Yes
* 924	Quercus alba	White Oak	15	6	4			Dead.		
925	Carya ovata	Shagbark Hickory	21	3	3	minor deadwood, weak crotch, basal swell, double leader				Yes
* 926	Morus spp.	Mulberry	11	3	4	minor deadwood, excessive lean, weak crotch, suckering, over-topped, slight sweep			Forked at 3.5' with a 9" co-leader.	
* 927	Catalpa speciosa	Northern Catalpa	20	5	4	broken limbs, sparse foliage, trunk scar, decay, hollow			Forked at 1.5' with a 20" co-leader.	Yes
928	Acer negundo	Boxelder Maple	8	3	4	minor deadwood, excessive lean, one sided, suckering				
* 929	Morus spp.	Mulberry	8	3	4	minor deadwood, one sided, thin crown, slight lean				
930	Robinia pseudoacacia	Black Locust	8	2	3	twist in trunk				
931	Juglans nigra	Black Walnut	12	2	3	weak crotch, multiple leaders				
* 932	Morus spp.	Mulberry	10	3	3	minor deadwood, weak crotch			Forked at 4' with a 4" co-leader.	
* 933	Morus spp.	Mulberry	11	4	4	minor deadwood, split trunk, basal decay, one sided			Forked at base with 7", 5" co-leaders.	
934	Acer negundo	Boxelder Maple	8	3	4	suckering, slight sweep				
* 935	Fraxinus pennsylvanica	Green Ash	24	5	3	minor deadwood	Emerald ash borer			Yes
* 936	Morus spp.	Mulberry	10	3	3	minor deadwood, twist in trunk			Forked at 3' with a 4" co-leader.	
937	Ulmus americana	American Elm	12	3	4	over-topped, slight sweep, multiple leaders				
938	Ulmus americana	American Elm	12	3	4	minor deadwood, weak crotch, sweep, over-topped				
939	Ulmus americana	American Elm	8	2	4	minor deadwood, over-topped, thin crown, twist in trunk				
940	Ulmus americana	American Elm	8	3	4	trunk scar, slight sweep, double leader				
941	Ulmus americana	American Elm	8	3	3	double leader			Forked at base with a 3" co-leader.	
942	Juglans nigra	Black Walnut	10	3	3	minor deadwood, multiple leaders				Yes
943	Acer negundo	Boxelder Maple	18	3	4	minor deadwood, basal scar, excessive lean, weak crotch, suckering, multiple leader			Forked at 3' with a 7" co-leader.	
944	Acer platanoides	Norway Maple	16	3	3	minor deadwood, multiple leaders				
945	Acer negundo	Boxelder Maple	12	4	4	basal decay, one sided, suckering, damaged leader, pruned for overhead wires			Forked at 1.5' with a 10" co-leader.	
946	Juglans nigra	Black Walnut	11	3	4	one sided, twist in trunk			Forked at 4.5' with a 7" co-leader.	
947	Picea abies	Norway Spruce	26	3	4	minor deadwood, weak crotch, pruned for side wires, double leader		Forked at 6'.		Yes

ISSUED DATE	ISSUED FOR
03.04.2020	BRB
03.09.2020	BRB
05.04.2020	BRB
PROFESSIONAL SEAL	
	
Patrick J. Bleck, PE License No. 062412819, State of Illinois	
May 4, 2020	
70-1053	Project No.
DJD	Drawn By
PJB	Checked By
Drawing No.	
C2.0	
Drawing Name	
EXISTING CONDITION & TREE PROTECTION PLAN	

TREE REMOVAL PLAN

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1 SITE PLAN - TREE REMOVAL
SCALE: 1/16" = 1'-0"



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05.08.2020	HPC REVIEW, REVISED PACKAGE
06.03.2020	HPC REVIEW, CLARIFICATIONS
07.29.2020	HPC REVIEW, REVISED PETITION

PROFESSIONAL SEAL

PROJECT
WASHINGTON ROAD RESIDENCE
450 WASHINGTON ROAD
LAKE FOREST, IL

1945	Project No.
KEL	Drawn By
EAD	Checked By
Discipline	Drawing No.

A 0.2

Drawing Name
TREE REMOVAL PLAN

450 WASHINGTON RD., Lake Forest, IL



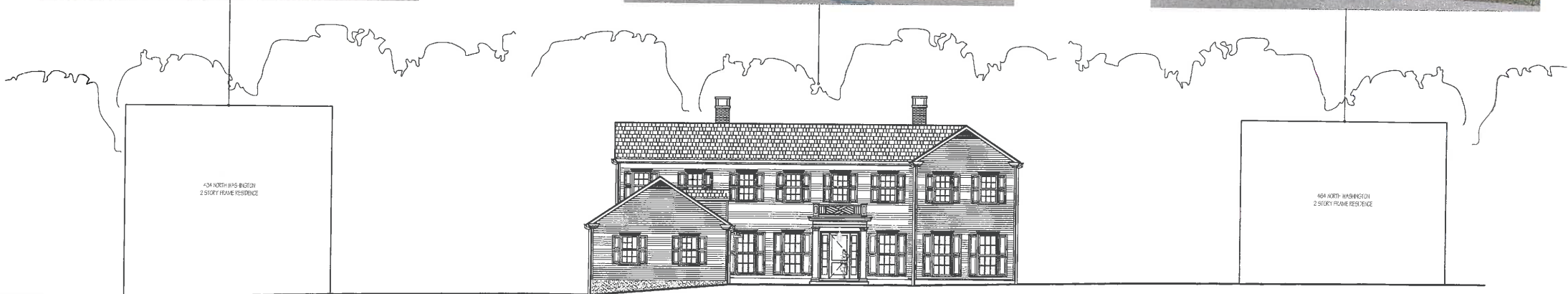
PRELIMINARY PLANT SCHEDULE

RE. DWG: MERTES CONCEPT 1.6 24X36 10 SC 08212020

8/21/2020

Quantity	Botanical Name	Common Name	Size
3	<i>Abies concolor</i>	CONCOLOR WHITE FIR	8'
3	<i>Aesculus parviflora</i>	BOTTLEBRUSH BUCKEYE	7G
5	<i>Amelanchier laevis</i>	ALLEGHANY SERVICEBERRY	5'
5	<i>Buxus 'Green Mountain'</i>	GREEN MTN. BOXWOOD	21"
29	<i>Buxus 'Green Velvet'</i>	GREEN VELVET BOXWOOD	21"
6	<i>Clethra 'Vanilla Spice'</i>	VANILLA SPICE SUMMERSWEET SHRUB	3 GAL.
3	<i>Hamamelis vernalis</i>	VERNAL WITCHHAZEL	4'
3	<i>Hydrangea m. 'Bloomstruck'</i>	BLOMSTRUCK SMOOTH HYDRANGEA	5 G.
17	<i>Juniperus virginiana 'Grey Owl'</i>	GREY OWL EASTERN REDCEDAR	5 G.
1	<i>Larix decidua</i>	LARCH (NATIVE)	7'
15	<i>Ligustrum 'Cheyenne'</i>	CHEYENNE' PRIVET	5 G.
2	<i>Ostrya virginiana</i>	IRONWOOD (NATIVE)	6'
1	<i>Picea abies</i>	NORWAY SPRUCE	9'
13	<i>Populus tremuloides</i>	QUAKING ASPEN (NATIVE)	8-10'
1	<i>Quercus bicolor</i>	SWAMP WHITE OAK	3"
2	<i>Syringa m. 'Palibin' 4' std</i>	PALIBIN LILAC STANDARD TREE	15G
8	<i>Taxus cuspidata 'Green Wave'</i>	GREEN WAVE JAPANESE YEW	5 G.
6	<i>Thuja occidentalis 'Techny Mission'</i>	TECHNY MISSION ARBORVITAE	6'
9	<i>Thuja occidentalis 'Techny Mission'</i>	TECHNY MISSION ARBORVITAE	8'
3	<i>Thuja occidentalis 'Smaragd (Emerald™)'</i>	SMARAGD (EMERALD™) AMERICAN ARBORVITAE	7'
2	<i>Ulmus x 'Morton (Accolade™)'</i>	MORTON (ACCOLADE™) HYBRID ELM	3.5"

STREETSCAPE IMAGES



1 STREETSCAPE ELEVATION

ISSUED DATE	ISSUED FOR
02.14.2020	HPC REVIEW
05.08.2020	HPC REVIEW_REVISED PACKAGE
06.03.2020	HPC REVIEW_CLARIFICATIONS
07.29.2020	HPC REVIEW_REVISED PETITION

PROFESSIONAL SEAL

PROJECT
WASHINGTON ROAD RESIDENCE
450 WASHINGTON ROAD
LAKE FOREST, IL

1945	Project No.
KEL	Drawn By
EAD	Checked By
Discipline	Drawing No.
A	2.2

Drawing Name
STREETSCAPE ELEVATION

NOT FOR CONSTRUCTION / FOR COORDINATION ONLY



1 SITE



1



2



3



4



5

2 ADJACENT CONTEXT

NORTHWORKS

CHICAGO | JACKSON HOLE | SAN FRANCISCO | PHILADELPHIA

1512 N. Throop Street Chicago, Illinois 60642
T 312-440-9850 F 312-440-9851 www.nwks.com

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Any discrepancies shall be reported immediately to the
Architect before proceeding. Only figured dimensions should
be used. Contractors and fabricators to verify all dimensions
on site prior to beginning Work.

NOT FOR CONSTRUCTION / FOR COORDINATION ONLY

ISSUED DATE	ISSUED FOR
02.14.2020	HPC REVIEW
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PROFESSIONAL SEAL

PROJECT
WASHINGTON ROAD RESIDENCE
450 WASHINGTON ROAD
LAKE FOREST, IL

1945	Project No.
KEL	Drawn By
EAD	Checked By
Discipline	Drawing No.

A 6.0

Drawing Name
CONTEXT PHOTOS



1 GENERAL NEIGHBORHOOD CONTEXT

NORTHWORKS

CHICAGO | JACKSON HOLE | SAN FRANCISCO | PHILADELPHIA

1512 N. Throop Street Chicago, Illinois 60642
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PROFESSIONAL SEAL

PROJECT
WASHINGTON ROAD RESIDENCE
450 WASHINGTON ROAD
LAKE FOREST, IL

1945	Project No.
KEL	Drawn By
EAD	Checked By
Discipline	Drawing No.

A 6.1

Drawing Name
CONTEXT PHOTOS

CORRESPONDENCE

Baehr, Jennifer

Subject: FW: 450 Washington rd.

From: Bourne, Malcolm [mailto:bournem@stifel.com]
Sent: Wednesday, August 19, 2020 12:08 PM
To: Baehr, Jennifer <BaehrJ@cityoflakeforest.com>
Subject: 450 Washington rd.

CAUTION: This email originated from outside the organization. Verify the legitimacy of the email with the sender before clicking links or opening attachments from unexpected sources.

Hi there,

I am responding to petition of 450 Washington rd.

I have some concerns re drainage and screening
Currently there is a significant evergreen that would provide some visual break but I see that it is to be removed
Tree #913

Also there does not appear to be topography plan to reduce runoff from significantly increased hard space areas
Is there a drainage plan to reduce water flow to the south?

Also the south face of blank garage wall is concerning

M

Malcolm Bourne
434 Washington Rd
Lake Forest Il.
8473731243
mgbourne3@gmail.com

This message, and any of its attachments, is for the intended recipient(s) only, and it may contain information that is privileged, confidential, and/or proprietary and subject to important terms and conditions available at <http://www.stifel.com/disclosures/emaildisclaimers/>. If you are not the intended recipient, please delete this message and immediately notify the sender. No confidentiality, privilege, or property rights are waived or lost by any errors in transmission.

Agenda Item 4
237 E. Onwentsia Road
Garage & Mudroom Addition and Exterior Alterations

Staff Report
Historic Survey Form
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statements of Intent
Description of Exterior Materials
Plat of Survey
Proposed Site Plan
Existing East Elevation
Proposed East Elevation
Existing North Elevation
Proposed North Elevation
Existing West Elevation
Proposed West Elevation
Proposed West Elevation (Without Terrace Walls & Fireplace)
Existing South Elevation
Proposed South Elevation
Proposed South Garage Elevation
Proposed Color Palette
Proposed Roof Plan
Existing First Floor Plan
Proposed First Floor Plan
Conceptual Landscape Plan
Images of Existing Residence

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grieve and Members of the Historic Preservation Commission
DATE:	August 26, 2020
FROM:	Jennifer Baehr, Assistant Planner
SUBJECT:	237 E. Onwentsia Road - Garage and Mudroom Addition, Exterior Alterations

PETITIONERS

Justin and Shannon Engelland
1178 Mt. Vernon Avenue
Lake Forest, IL 60045

PROPERTY LOCATION

237 E. Onwentsia

HISTORIC DISTRICTS

Green Bay Road Local &
National Historic Districts

PROJECT REPRESENTATIVE

John Berta, architect
422 N. Hough Street
Barrington, IL 6001

SUMMARY OF THE PETITION

A Certificate of Appropriateness is requested to authorize construction of a three car garage and mudroom addition and various exterior alterations. The existing house has a formal interior layout, and currently lacks a family room. The existing garage will be converted to interior living space to provide a family room off of the existing kitchen. The petitioner also proposes stone terraces on the rear side of the house and other exterior alterations including window and door replacement and painting the exterior of the home.

The petitioners purchased the property in June of this year and were anxious to begin preliminary investigative work on the interior to prepare for future repairs and alterations. To accommodate the petitioner's request, a permit was issued for interior work only in July, work that has no impact on the exterior appearance of the house. As a result, when members of the Commission visit the site, you will see evidence of ongoing work that is unrelated to this petition.

DESCRIPTION OF PROPERTY AND SURROUNDING AREA

The property is located on the south side of Onwentsia Road, west of Green Bay Road. The lot is very narrow on the north end, along the street, and increases in size as it extends to the south. Due to the siting of the house on the property and existing vegetation, the residence is minimally visible from the street. The residence faces east and fronts on the Lake Forest Country Day school field.

This residence is identified as a Contributing Structure to the Historic District. The residence, constructed in 1939, was designed in a Colonial Revival Style by architects Edwin Hill Clark and Chester Howe Walcott. The home features steeply pitched hip roofs, single shed dormers, and a traditional door surround at the front entry.

STAFF EVALUATION

A staff review of the Historic Preservation standards in the City Code is provided below. As appropriate, findings in response to the standards are offered for the Commission's consideration.

Proposed Garage and Mudroom Addition

As noted above, the small, existing garage will be converted into a family room and a new three car garage is proposed on the north side of the existing residence. A mudroom is also proposed on the north side of the house to connect the new garage to the residence. The new garage is a single story mass with a steeply pitched hip roof to match the existing house. The front elevation of the garage has three stained wood garage doors with brick soldier courses above. The garage also has two shed dormers to break up the roof mass.

Proposed Exterior Alterations

Various modifications to the residence are proposed. All of the windows on the residence are proposed to be replaced with aluminum clad double hung windows that will match the profile and proportions of the existing windows. The existing iron balcony above the front door will be restored. On the north elevation, the existing garage doors will be removed and a brick chimney will be added along with windows on either side of the chimney. Two sets of French doors are proposed on the west (rear) elevation of the house to access the proposed terraces from the living room and family room. The screen porch door and windows at the south portion of the rear elevation will be removed and replaced with a French door with decorative lattice panels on either side. The existing screen porch windows on the south elevation will be removed and replaced with double hung windows and decorative lattice panels and board and batten siding to match the materials and detailing above.

Site Plan

No changes to the existing driveway are proposed. The existing driveway in its current configuration will provide access to the new garage. The existing curved brick wall in front of the screen porch on the north side of the house is proposed to be removed. This wall does not appear to be original and appears out of character with the style and geometry of the existing residence. As noted above, the petitioner is proposing two new bluestone terraces on the rear side of the house. The terrace adjacent to the mudroom addition, will have brick seat walls around the perimeter and an outdoor fireplace.

Standard 1 – Height.

This standard is met. The proposed garage and mudroom are below the height of the existing house. The existing residence is a two story mass and is 35 feet and 10 inches tall. The height of the existing house is not proposed to change. The proposed garage is 28 feet and 2 inches tall as measured from the lowest point of existing grade adjacent to the garage footprint to the highest peak. The mudroom addition is 15 feet and 10 inches tall from the lowest point of adjacent existing grade to the highest peak.

Standard 2 - Proportion of Front Façade.

This standard is met. The proportions of the existing front façade of the residence are not proposed to change. The garage is set back from the front of existing house. The front of the garage reflects a balanced and symmetrical appearance.

Standard 3 – Proportion of Openings.

This standard is met. The openings on the proposed garage and mudroom addition are appropriate for the style of the home and are consistent with the proportions of the openings found on the existing house. The openings on the garage are double hung windows with a 6 over 9 muntin pattern, and the openings on the mudroom addition are double hung windows with a 4 over 4

muntin pattern.

Standard 4 – Rhythm of Solids to Voids.

This standard is generally met. There is generally a consistent rhythm of solids to voids around the existing home. The elevations of the garage reflect larger expanses of solid wall than what is found on the existing house, however, the more limited fenestration appears appropriate for a garage structure.

Standard 5 – Rhythm of Spacing on the Street.

This standard is not applicable to this request. As noted above, due to the siting of the existing house and existing vegetation, the home is only minimally visible from the street.

Standard 6 – Rhythm of Entrance Porches.

This standard is not applicable to this request. The proposed alterations will not impact the main entrance of the residence.

Standard 7 – Relationship of Materials and Textures.

This standard is met. The proposed garage and mudroom addition will be constructed of natural materials consistent with the existing residence. The garage and mudroom addition will have a brick exterior and a slate roof to match the existing house. The new and replacement windows will be aluminum clad wood windows with exterior and interior muntins. Wood trim, fascia and soffits are proposed. Bluestone is proposed for the new terraces.

The exterior brick and trim of the existing house, new garage and mudroom addition will be painted a cream color. The windows will also be a cream color to match the brick. The window shutters will be painted dark gray and the front door will be painted a charcoal color. The statement of intent includes samples of the proposed paint colors.

Standard 8 – Roof shapes.

This standard is met. The proposed garage and mudroom addition features hip roofs, consistent with the dominant roof form of the existing house.

Standard 9 – Walls of continuity.

This standard is generally met. The proportions, scale, materials, and detailing are generally consistent on all elevations of the house.

Standard 10 – Scale.

This standard is met. The project as proposed complies with the building scale requirements. The property totals 101,376 square feet. A residence of up to 9,910 square feet is permitted on the property based on the City's building scale regulations. In addition, design elements totaling 991 square feet and a garage allowance of 800 square feet are available. Based on the City's building scale calculation, the house, with the proposed garage and mudroom addition, is under the allowable square footage by 38% percent.

Standard 11 – Directional Expression of Front Elevation.

This standard is met. The main façade and original massing of the house are generally preserved because of the garage mass being set back from the front of the existing residence.

Standard 12 – Preservation of Historic Material.

This standard is met. The proposed garage and mudroom addition will not negatively impact the historic integrity and character of the home. The proposed addition and alterations are in keeping with the character of the property and are sensitive to and compatible with the historic residence.

Standard 13 – Preservation of Natural Resources.

This standard can be met. Limited tree removal will be required to allow for construction of the garage. The trees that will be impacted are identifiable from the staking on the site. The submittal of a tree survey is pending. Once a tree survey is received, based on the size, species and condition, the required replacement inches will be determined. Replacement inches should be planted in the area to the west of the garage as space and the existing grades permit.

Standard 14 – Compatibility.

This standard is met. The proposed style, detailing, and massing of the garage and mudroom addition are compatible with the existing residence. The proposed alterations will enhance the character of the existing residence and improve some of the less compatible changes that have been made to the residence over the years.

Standard 15 – Repair to Deteriorated Features.

This standard is met. As noted above, the existing iron balcony above the front door will be restored. In the areas of the board and batten siding on the west and south elevations, damaged or rotted wood will be replaced with new board and batten siding to match the existing.

Standard 16 – Surface Cleaning.

This standard is not applicable to this request.

Standard 17 – Integrity of Historic Property.

This standard is met. The garage and mudroom addition are designed in a manner that is consistent with the character of the property and distinguishable from the original residence.

PUBLIC COMMENT

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Department of Community Development to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, staff has not received any public comment on this petition.

RECOMMENDATION

Grant a Certificate of Appropriateness for the construction of a three car garage and mudroom addition and exterior alterations to the existing residence located at 237 E. Onwentsia Road subject to the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission. If any modifications are proposed in response to Commission direction or as a result of design development, plans clearly detailing the areas of change must be submitted at the time of submission for permit, *along with* the plans originally presented to the Commission, and will be subject to review by staff, in consultation with the Chairman as appropriate, to verify that the plans are consistent with the intent of the Commission and the approvals granted.

2. At the time plans are submitted for permit, a tree survey shall be prepared by a Certified Arborist for the existing trees in the location of the garage and mudroom addition to allow a determination of the total number of replacement inches to be planted on site based on the size, species and condition of the trees to be removed.
3. A final landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. Replacement plantings as determined to be required shall be reflected on the final landscape plan. To the extent possible, some vegetation screening should be installed on the west side of the new garage.
4. Prior to the issuance of a building permit, a plan to protect trees and vegetation identified for preservation during construction must be submitted and will be subject to review and approval by the City's Certified Arborist.
5. Details of exterior lighting, including, but not limited to, lights proposed on the garage and on the pillars, shall be reflected on the plans submitted for permit. Cut sheets of all light fixtures should be provided and all fixtures shall direct light downward and the source of the light shall be shielded from view from off the property. The dark streetscape character shall be preserved.
6. Prior to the issuance of a building permit, a materials staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the neighborhood, neighboring properties and existing trees and landscaping during construction. It appears that there is sufficient space on the property for materials staging and construction parking so long as tree protection fencing is installed as needed.



City of Lake Forest, Illinois

Historic Resources Survey Form

ID: 3999

Property Address:

Street: 237 E ONWENTSIA RD
City: Lake Forest State: Illinois
County: Lake

Historic Property Name: James Ramsey Minor/John Jay Borland House

Original Owner: J. Ramsey Minar

Other Previous Owners: NORTON, RICHARD

Present Owner:**Current Property Name:**

Resource Type: Building

Date of Construction: 1939

Use, Original: Single Family Residence

Use, Present: Single Family Residence

Theme:**Secondary Theme:**

Style: Colonial Revival

Secondary Style:

Architect/Engineer: Chester Howe Walcott & Edwin Hill Clark

Builder/Contractor: unknown

Landscape Architect:

Plan Shape: Rectangular

Number of Stories:

Structural Framing:

Foundation Material:

Facade Material:

Roof Form:

Decorative Features & Surfacing:



Photo Name: 3999_1

Demolished: **Date:**

Zoning District:

Subdivision:

Subdivided from:

Current Property Size (est.):

Original Property Size (est.):

Facade Easement?:

Held by:

Conservation Easement?:

Held by:

Roof Material:

Primary Window Type:

Porches:

Integrity:

Condition:



City of Lake Forest, Illinois

Historic Resources Survey Form

ID: 3999

Local Register:

Local Historic District:

Local Ordinance District

Contributing Significance to Local District:

contributing

Contributing Significant Resources:

Is this Property Eligible for Local Landmark Designation?:

Yes

Local Landmark Designation:

Is this Property Identified as a Historic Resource located outside the Local Historic District?:

Other Districts:

National Register:

National Register Historic District:

Green Bay Road

Contributing Significance to National District:

contributing

Contributing Significant Resources:

Is this Property Eligible for National Register Listing?:

Individual National Register Listing :

Other Designations:

History and Significance:

This property is identified as a significant contributing structure in the Historic District. The house was designed by Edwin Hill Clark and Chester Howe Walcott, two noted architects whose work is significant to the history and development of Lake Forest. The existing house, constructed in 1939, is an exemplification of the Colonial Revival style and is distinguished by its overall quality of design, detail, materials, and craftsmanship. Overall the building possesses a high level of integrity making it worthy of preservation.

This five-bay Colonial Revival house is built of brick and faces east, presenting its narrow side with its slightly stepped back north garage wing to Onwentsia Road. The centered entrance has an arched opening and is flanked by delicate pilasters; it is set beneath a French door that opens to a wrought iron balcony supported by decorative wrought iron brackets. The remainder of the second-story windows sit on a stone string course.

The house was built in 1939 for Harriet Keller and James Ramsey Minor, a 1934 graduate of Yale University. However, by the time World War I was over the Minors had moved to Glendale, Ohio, and their house had become the home of John Jay Borland (February 4, 1912-).

After graduating from Harvard University in 1933, Borland joined the real estate firm of Winston & Company and married Barbara Hutchins on October 20, 1936. He later went into banking, becoming vice president of the Continental Illinois National Bank & Trust Company. President of Tower Garage, he was a director of the Chicago Chapter of the American Red Cross, the Harvard Club of Chicago, Children's Memorial Hospital, Lake Forest Hospital, and Lake Forest Day School. Trustee of the Chicago Zoological Society, the Chicago Historical Society, and Lake Forest College, Borland also served as president of the Shoreacres Club from 1950 to 1951.

Edwin Hill Clark (1878-1967) was born in Chicago, and graduated from Yale University in 1900. From 1900 to 1903 he was the assistant superintendent of Wadsworth-Howland Company, his brother's paint company. Clark went into architecture in 1903, working for William Augustus Otis; he was admitted to partnership in April 1908 and the name of the firm was changed to Otis & Clark in 1914. After the firm of Otis & Clark was dissolved on April 15, 1920, Clark went into partnership with Chester Howe Walcott until 1924, when they both returned to private practice. Clark later was a member of the Illinois State Art Commission and was the architect of the Lake Forest Library (1931).

Chester H. Walcott (1883-1947) was born and educated in Chicago. He graduated from Princeton University in 1903 with a Bachelors of Science degree in Architecture and continued his studies in Ateliers of the Ecole des Beaux Arts in Paris. He returned to Chicago in 1910 and entered a partnership with Arthur Brown, he later was associated with Edwin Clark. After 1924 he practiced independently. Examples of Walcott's buildings include: St. Chrysostom's Church and Parish House in Chicago, the Aquarium in Lincoln Park, and Lake Forest Academy. Walcott died in his home in Lake Forest in 1947.

Changes:

According to available City records, few or no exterior changes have taken place.

Property Setting:

Residential: This property is located on the south side of Onwentsia, three lots west of Green Bay Road.



City of Lake Forest, Illinois

Historic Resources Survey Form

ID: 3999

Associated Buildings:

Sources of Information:

Green Bay Road Historic District National Register Nomination form -- Barbara
Buchbinder-Green; City of Lake Forest Address and History Files

Certif. of Appropriateness Case #(s):

237 E ONWENTSIA RD

Survey Date:

Demolished:

Demolition Date:

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 237 E. Onwentsia Road Owner(s) Justin and Shannon Engelland

Architect John Berta, Capital Architects LLC Reviewed by: Jen Baehr

Date 8/26/2020

Lot Area 101376 sq. ft.

Square Footage of Existing Residence:

1st floor 1943 + 2nd floor 2359 + 3rd floor 670 = 4973 sq. ft.

Design Element Allowance = 991 sq. ft.

Total Actual Design Elements = 118 sq. ft. Excess = 0 sq. ft.

Garage 483 sf actual ; 800 sf allowance Excess = 0 sq. ft.

Garage Width 22 ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 19 sq. ft.

Total Square Footage of Existing Residence = 4992 sq. ft.

Square Footage of Proposed Additions:

1st floor 721 + 2nd floor 0 + 3rd floor 0 = 721 sq. ft.

New Garage Area 1164 sq. ft. Excess = 364 sq. ft.

New Design Elements 48 sq. ft. Excess = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 6077 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 9910 sq. ft.

DIFFERENTIAL = -3833 sq. ft. **NET RESULT:**
Under Maximum

3833 sq. ft. is

Allowable Height: 40 ft. Actual Height 35'-10" (existing house) 28'-2" (proposed garage) 38% under the
Max. allowed

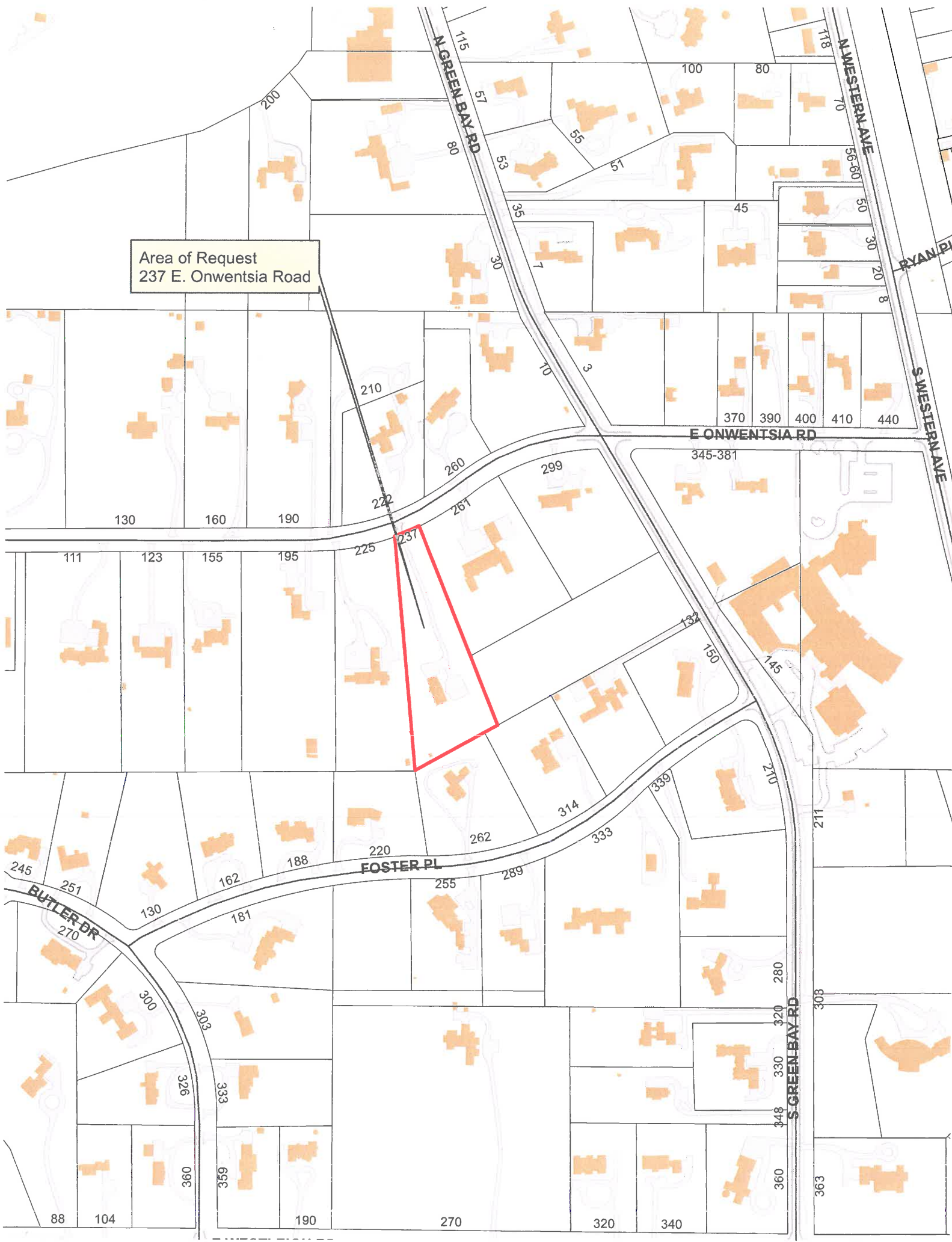
DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 991 sq. ft.

Front & Side Porches = 0 sq. ft.
Rear & Side Screen Porches = 118 sq. ft.
Covered Entries = 0 sq. ft.
Portico = 0 sq. ft.
Porte-Cochere = 0 sq. ft.
Breezeway = 0 sq. ft.
Pergolas = 0 sq. ft.
Individual Dormers = 0 sq. ft.
Bay Windows = 0 sq. ft.

Total Actual Design Elements = 118 sq. ft. **Excess Design Elements** = 0 sq. ft.

Area of Request
237 E. Onwentsia Road



Area of Request
237 E. Onwentsia Road



Area of Request
237 E. Onwentsia Road





THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION

PROJECT ADDRESS 237 E. Onwentsia Rd; Lake Forest, IL

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

Shannon & Justin Engelland
Owner of Property

1178 Mt. Vernon Ave.
Owner's Street Address (may be different from project address)

Lake Forest, IL 60045
City, State and Zip Code

206.819.8748
Phone Number

Fax Number

jengelland@hotmail.com
Email Address

Owner's Signature

Shannon Engelland

ARCHITECT/BUILDER INFORMATION

JOHN BERTA-ARCHITECT
Name and Title of Person Presenting Project

CAPITAL ARCHITECTS, LLC
Name of Firm

422 N. Hoxworth St.
Street Address

BARRINGTON, IL 60010
City, State and Zip Code

847-209-1125
Phone Number

Fax Number

jberta@comcast.net
Email Address

[Signature]
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER

☐ REPRESENTATIVE

237 East Onwentsia

Owners statement of intent

Justin and I moved to Lake Forest eight years ago from Seattle, WA as our children were reaching school age. Although neither of us grew up here, Justin's parents moved to Lake Forest in 1999 and we wanted our children to grow up near family. We both grew up with parents that had built or renovated homes, and it's an interest we share. In Seattle, we renovated our first home together – a 1918 Craftsman bungalow. When we moved to Lake Forest, we renovated our current home extensively. We enjoy the creative process together – and with a shared interest in art, history, and architecture – we hoped to one day have an opportunity to restore one of Lake Forest's beautiful, historic properties.

Over the last two years, we have actively been looking for the right next home for our family. We were continually drawn back to 237 E. Onwentsia. Initially, we referred to it as one of Lake Forest's "peek-a-boo" houses as you can glimpse it during the winter but the house disappears from view in the summer. We fell in love with the long driveway, the magical property, and the elegant and understated home. The prior owners were antique dealers. We had just as much fun looking at the furniture when we first toured it as we did looking at the beautiful millwork surrounding the main staircase. It felt like home.

We've enjoyed researching the Colonial Revival house with a curator from the History Center, learning about its designers Edwin Hill Clark and Chester Howe Walcott, as well as its owners since being built in 1939. We intend to restore its original elegance, updating rotting windows, restoring and preserving woodwork, and painting the home in a palette that highlights its beautiful slate roof and balcony with decorative wrought iron brackets and handrails.

We also intend to update the floor plan to make it a family friendly home that preserves its distinct formal areas while creating a new family room connected to a renovated kitchen. The existing home currently lacks any family room on the main floor. We intend to build a new mudroom and attached garage, which will allow us to convert the existing garage into a spacious family room. This creates a warm and connected family area of the house. It also allows us to preserve the existing back staircase, that leads to what will become our children's bedrooms.

Finally, we intend to better connect the home to the incredible property. We want to create opportunities for indoor/outdoor entertaining by building bluestone terraces accessed from new French doors off of the formal living room. We also want to create a less formal outdoor living space for the family, with a bluestone terrace and an outdoor fireplace accessed directly from both the family room and mudroom.

This is a home we're excited to raise our children in for years to come. Thank you for the opportunity to present our project, and we look forward to hearing your thoughts and feedback on our proposal.

Respectfully,



Shannon and Justin Engelland



CAPITAL ARCHITECTS PLANNING & DESIGN

237 East Onwentsia Road

Lake Forest, Illinois

City of Lake Forest Historic Preservation Commission

July 27, 2020

Statement of intent

New attached 3-Car garage and mudroom addition, exterior modifications

The scope of work focuses on the construction of a new 3-car attached garage and mudroom to an existing single-family residence located at 237 East Onwentsia Road. The existing three-story house is finished with brick veneer, double hung windows and a slate roof with dormer accents.

The new garage shall be located to the northwest corner of the home. The location of the garage has been chosen to preserve many existing trees on the north side of the driveway. It has also been set back from the existing house to maintain focus on the original house. The new mudroom will connect the garage to the existing house. The existing driveway will allow access into the new garage, no additional driveway will be required to be constructed under this scope of work.

The design of the garage is to match the exterior of the existing home. The exterior garage walls will be finished with brick veneer that will be the same size, color and profile of the house brick. The brick veneer will extend on all sides of the garage. Brick soldier course details will be provided over the garage door and along the roof soffits to match the existing soldier course on the home. The arched overhead doors match the arches on the existing screen porch that faces to the east. New double hung windows will be provided on the north and west side of the garage. The size and profile of the windows will match the windows on the existing house. The pitch of the roof shall match the roof pitch on the main roof. The garage roof will be finished with slate shingles and copper gutters to match the slate roof on the existing house. (2) new wood framed dormers will be provided at the front of the garage to match the dormers on the main roof.

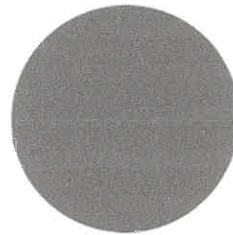
Minor changes to the existing home shall include the removal of all the existing double hung windows. New double hung windows will be installed into the existing window openings. The size and profile of the new windows will match the existing windows. The color of the windows will be color-matched to the proposed paint color of the house. The existing garage doors shall be removed. The wall framing shall be modified to accommodate a new masonry fireplace with new double hung windows positioned to align with the existing double hung windows on the second floor. The rear elevation of the house shall be modified to accommodate (2) pairs of new French doors that will exit onto a new stone patio. A new exterior fireplace to be provided at the edge of the new patio. The existing screened porch along the south side of the house shall be modified into a four-season room. New double hung windows shall be installed to match the style of the existing double hung windows. The existing batt and board siding to be repaired and

painted to “like new” condition. All existing masonry throughout the existing house and new garage shall be painted to provide consistent finish across new and existing brick. The balcony will be repaired and the wrought iron supporting brackets will be restored as necessary. The color palette was chosen for consistency with the color of the existing structure. The existing shutters will be repaired as necessary and repainted. The existing front door will be painted. Color palette for brick, windows, trim, and front door are below.

Color palette

Brick, windows, and trim
Farrow & Ball – POINTING No. 2003

Shutters
Farrow & Ball – DOWN PIPE No. 26



DOWN PIPE

No. 26

POINTING

No. 2003

Front door
Farrow & Ball – RAILINGS No. 31



RAILINGS

No. 31

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other _____

Chimney Pot Material

- ☐ None
- ☒ Clay
- ☐ Other _____

Foundation Material

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☒ Other concrete

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☒ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Synthetic Product _____
- ☐ Other _____

Flashing Material

- ☒ Copper
- ☐ Sheet Metal
- ☐ Other _____

Skylights

- ☐ Proposed
- ☐ Existing
- ☒ None

Gutters and Downspouts

- ☒ Copper
- ☐ Aluminum
- ☐ Other _____

Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☒ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | | | |
|-------------------------------------|-----------------------|--------------------------|------------------|
| <input type="checkbox"/> | Stone | <input type="checkbox"/> | Aluminum Siding |
| <input checked="" type="checkbox"/> | Brick | <input type="checkbox"/> | Vinyl Siding |
| <input type="checkbox"/> | Wood Clapboard Siding | <input type="checkbox"/> | Synthetic Stucco |
| <input type="checkbox"/> | Stucco | <input type="checkbox"/> | Other _____ |
| <input type="checkbox"/> | Wood Shingle | | |
- Individual or Panels? _____

Color of Material _____

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood (recommended)
☒ Aluminum Clad
☐ Fiberglass
☐ Other _____

Color of Finish color match: brick

Window Muntins

- ☐ Not Provided
☐ True Divided Lites
☒ Simulated Divided Lites (affixed interior and exterior muntins)

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Other _____

Window Trim

- ☐ Limestone
☒ Brick
☐ Wood
☐ Other _____

Fascias, Soffits, Rakeboards

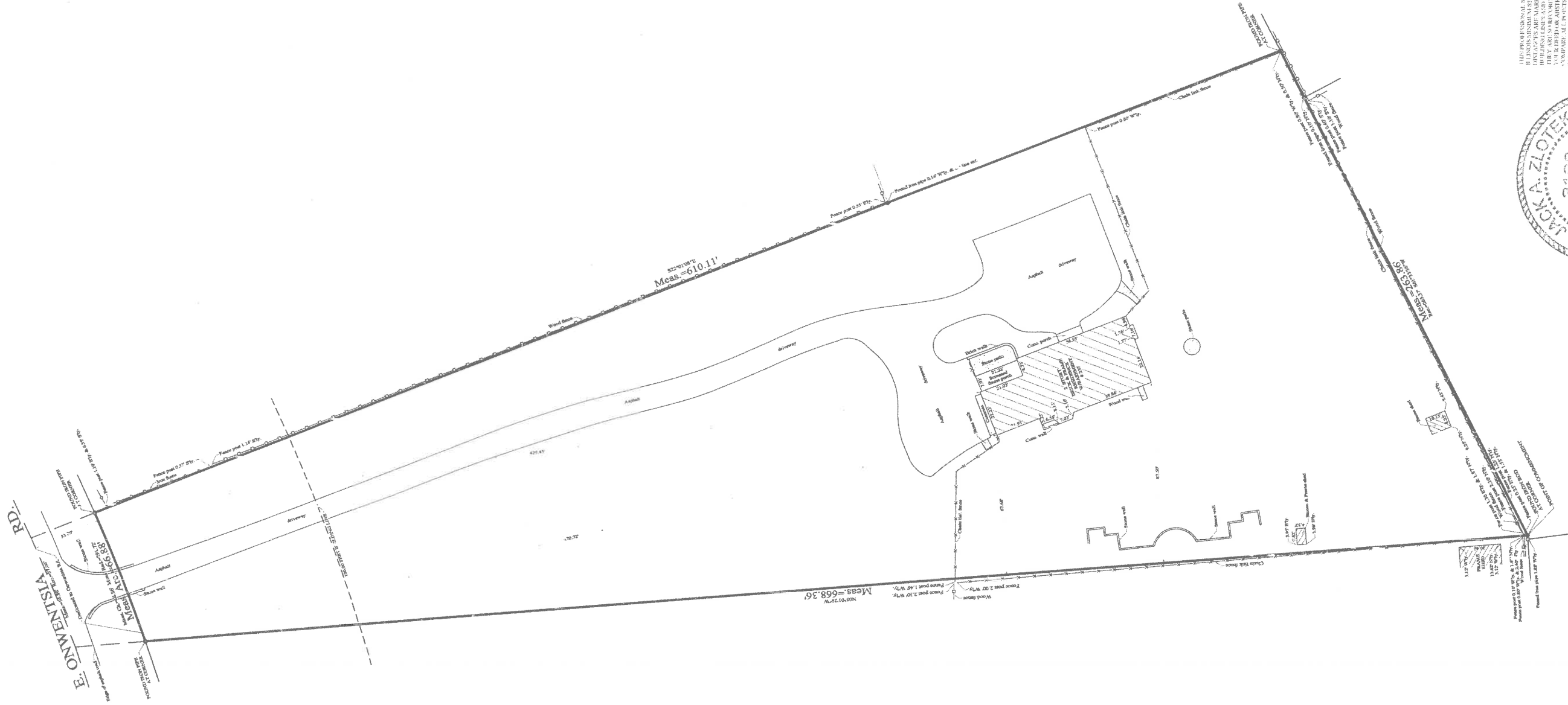
- ☒ Wood
☐ Other _____



A. P. SURVEYING COMPANY, PC.
 LICENSE NO. 184-003369
 PROFESSIONAL DESIGN FIRM - LAND SURVEYING CORPORATION
PLAT OF SURVEY

[illegible]

2124 PARKVIEW COURT
WYOMING, WYOMING 82009
TEL: (307) 853-0364
FAX: (307) 853-0353
e-mail:
dpc@wyomingdpc.com



UNLESS OTHERWISE NOTED HEREON, THE HEADING BASIS, ELEVATION, DATUM AND COORDINATE DATUM, IF GIVEN, IS ASSUMED.
THE TITLE/COMMITMENT NO. "20010478" WAS FURNISHED FOR THIS SURVEY
DIMENSIONS ARE NOT TO BE ASSIGNED FROM SCALING.

Order No. 20-8032
 Scale: 1 inch = 25
 Date: APRIL 14, 2020.
 Ordered by: HOLLAND & KNIGHT, LLP.
ATTORNEYS AT LAW



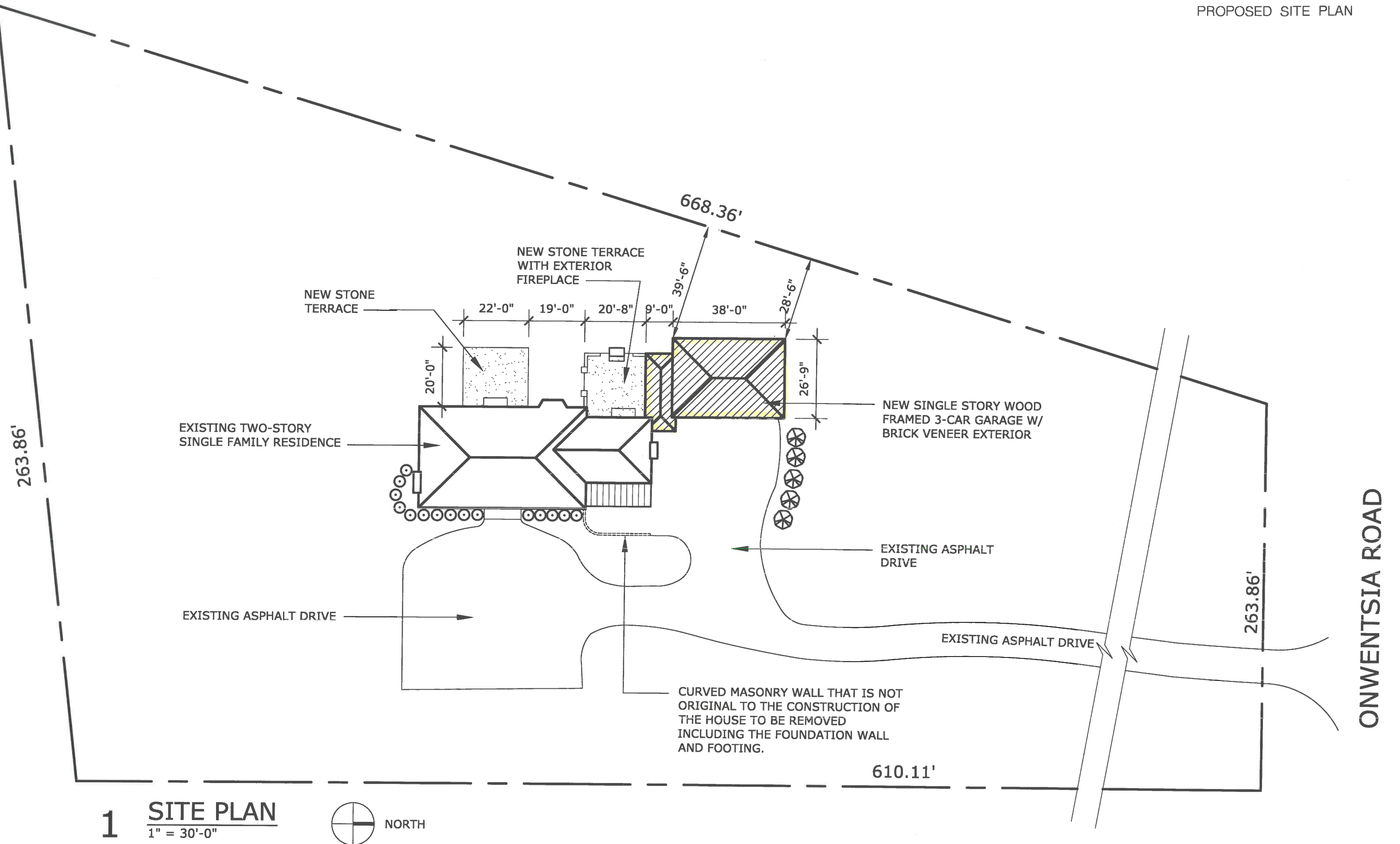
THIS PROFESSIONAL SERVICE PROVIDES TO THE CURRENT PLANS COMPARISON AND MAPS FOR A DOZEN SURVEY DISTRICTS ARE MARKED IN DEPTH AND THE TOTAL PART OF THE PROJECTS AND PLANNERS ARE SHOWN ONLY WITH THE ALSO RECORDED IN THE MAPS, OTHERWISE REFER TO THE DIRECTOR ABSTRACT.

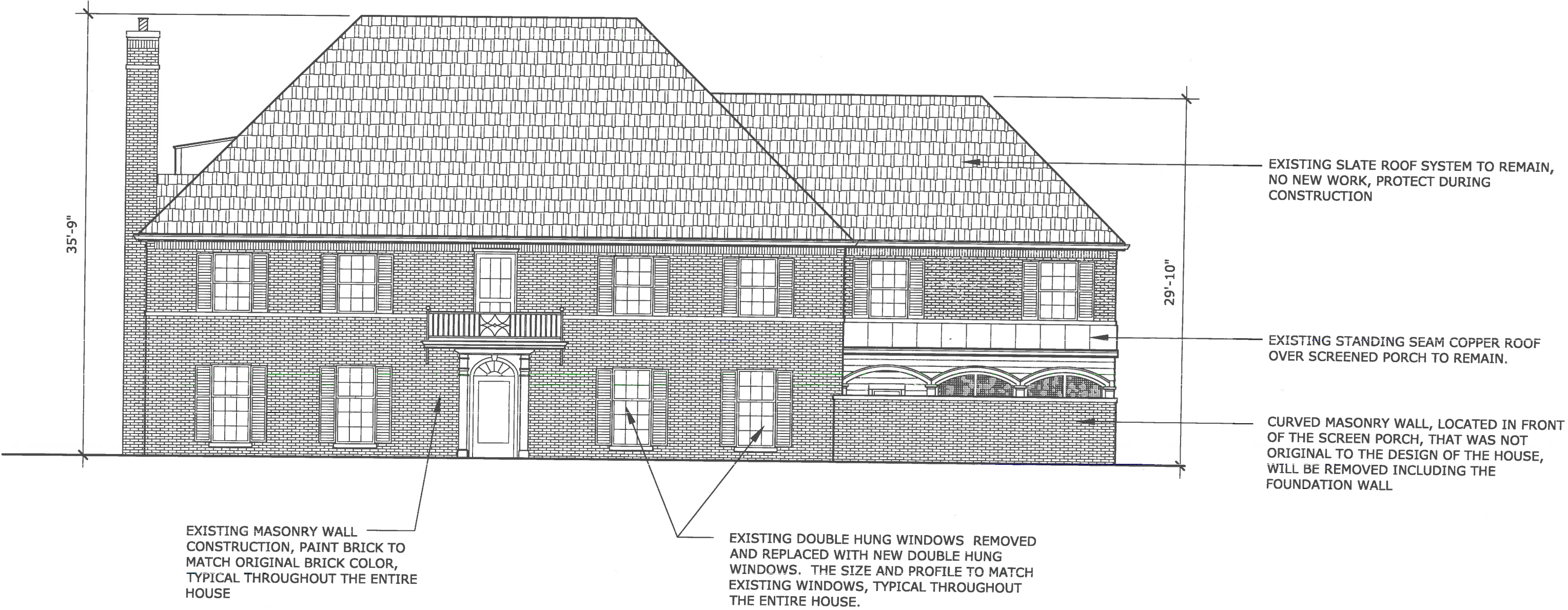
COMPARISON OF SUBJECTS BEING IN SAME AND AT ONE TIME REFLECT ANY DIFFERENCES

State of Illinois
County of Cook

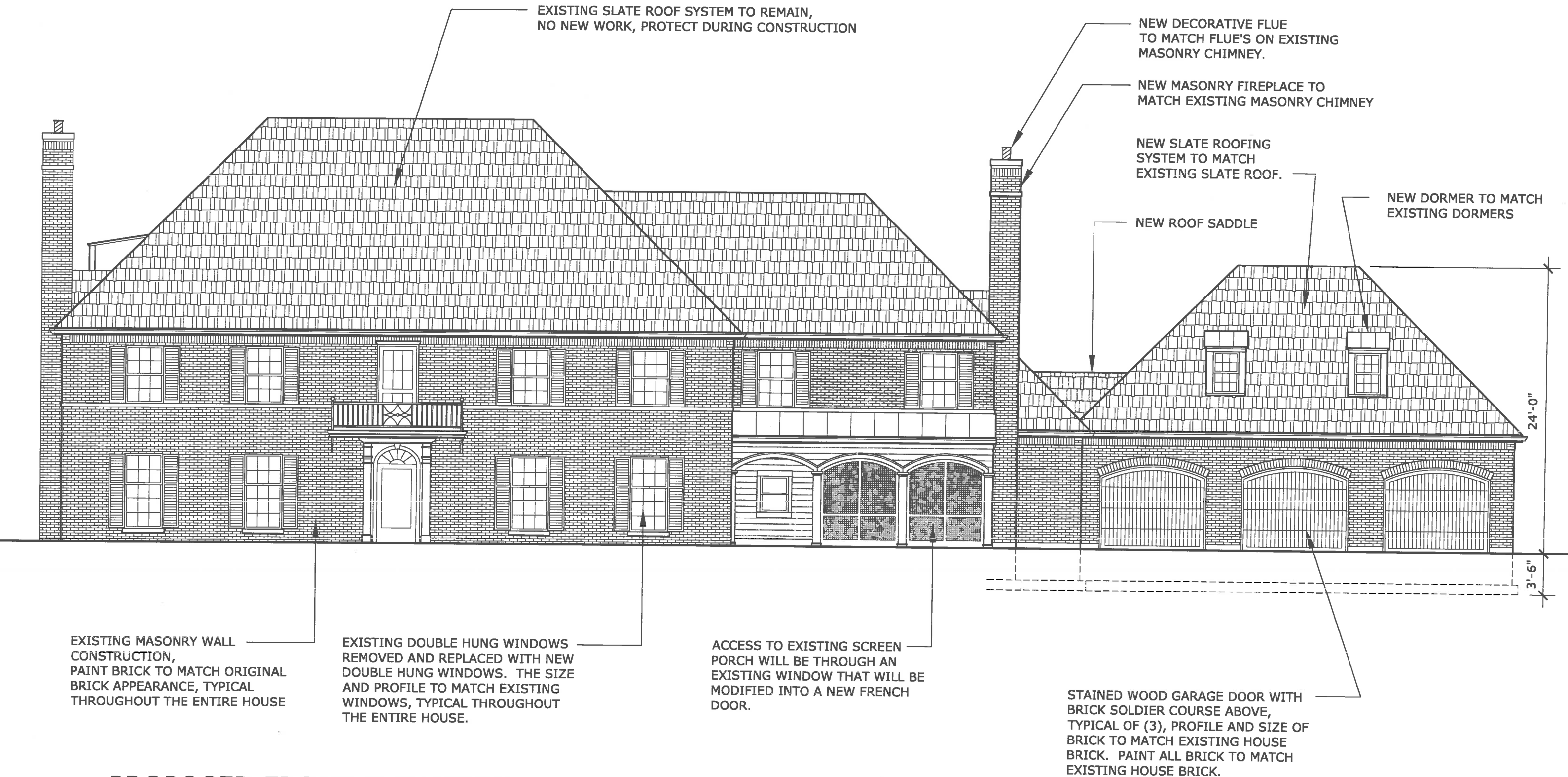
PROB. REG. AND SURV. YEAR No. M186
License Expiration November 30, 2020

PLAT OF SURVEY



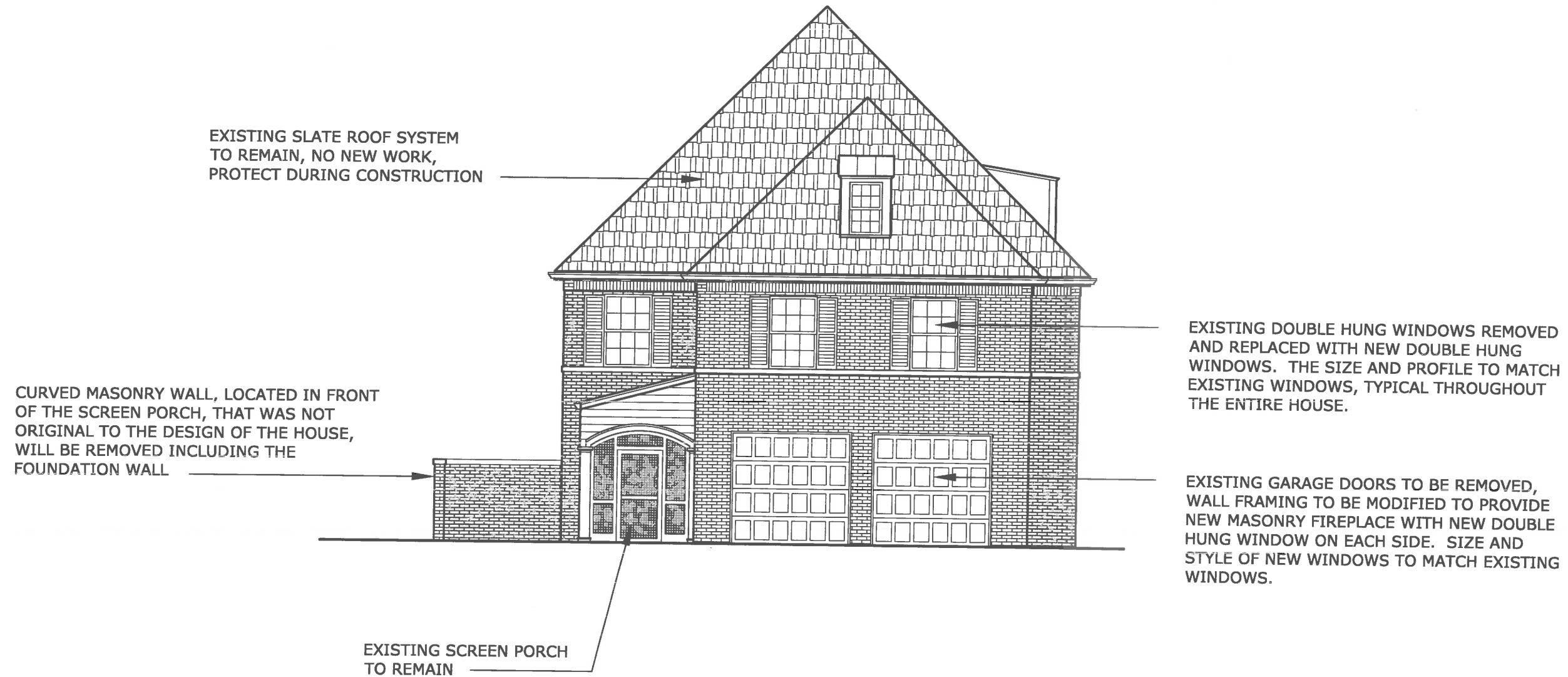


1 EXISTING FRONT ELEVATION
1/8" = 1'-0"



1 **PROPOSED FRONT ELEVATION**

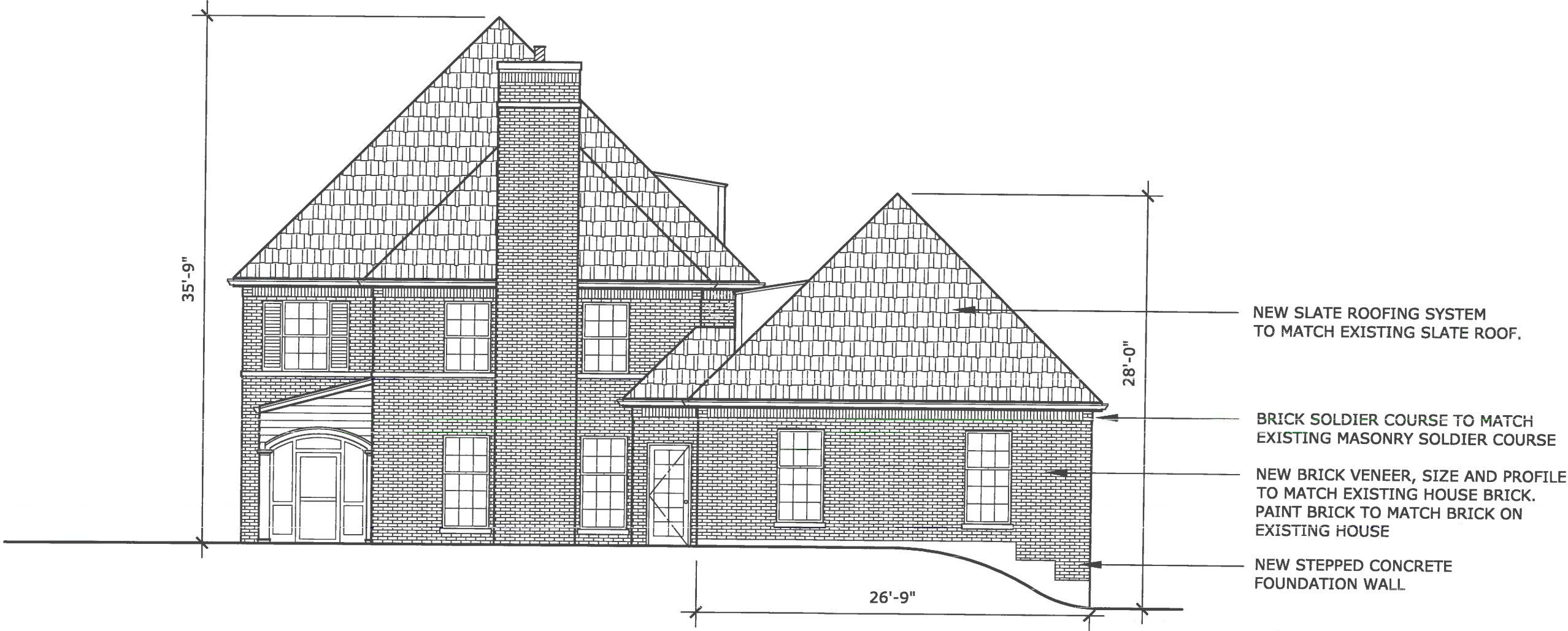
1/8" = 1'-0"



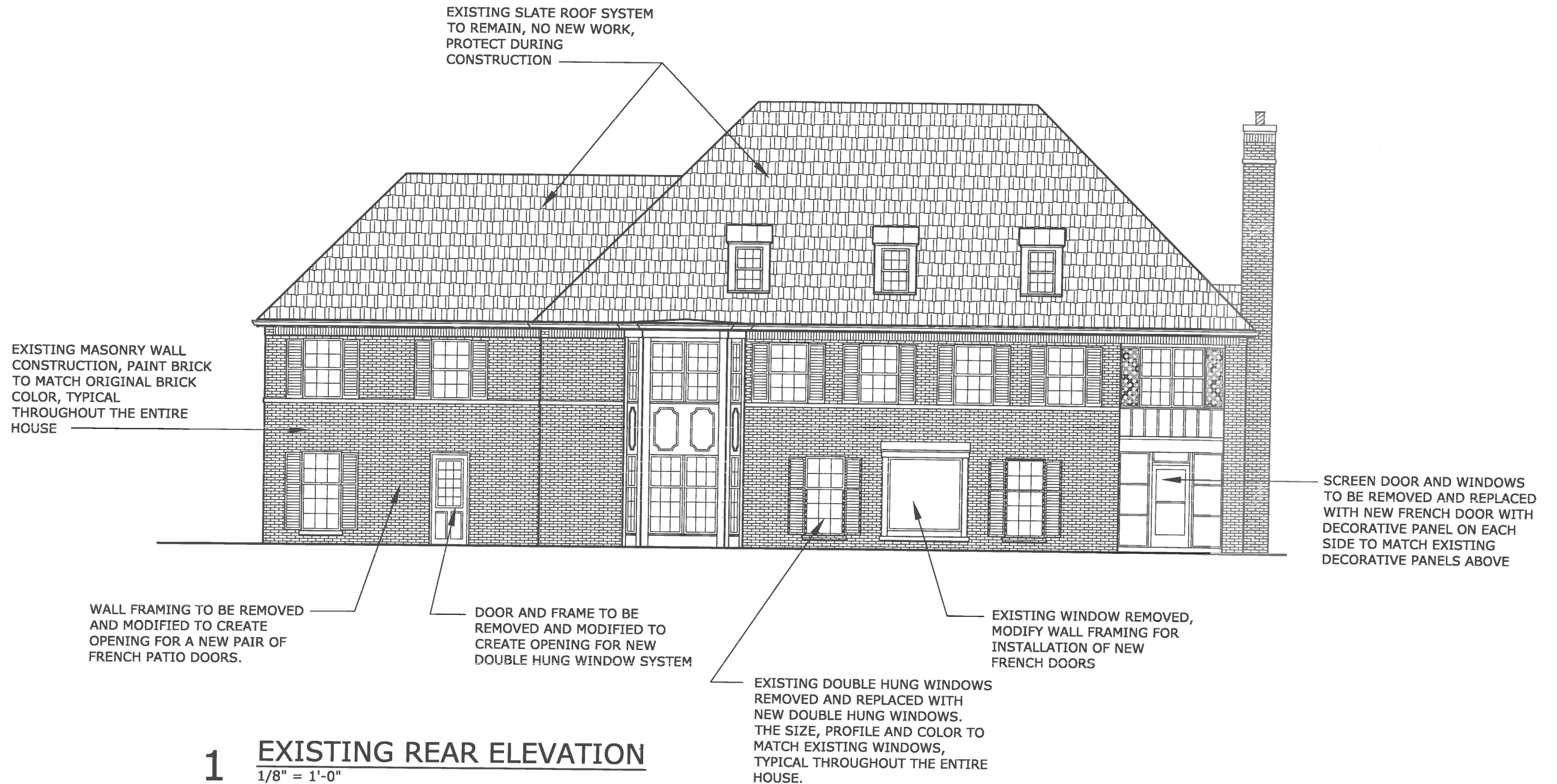
1

EXISTING NORTH ELEVATION

1/8" = 1'-0"

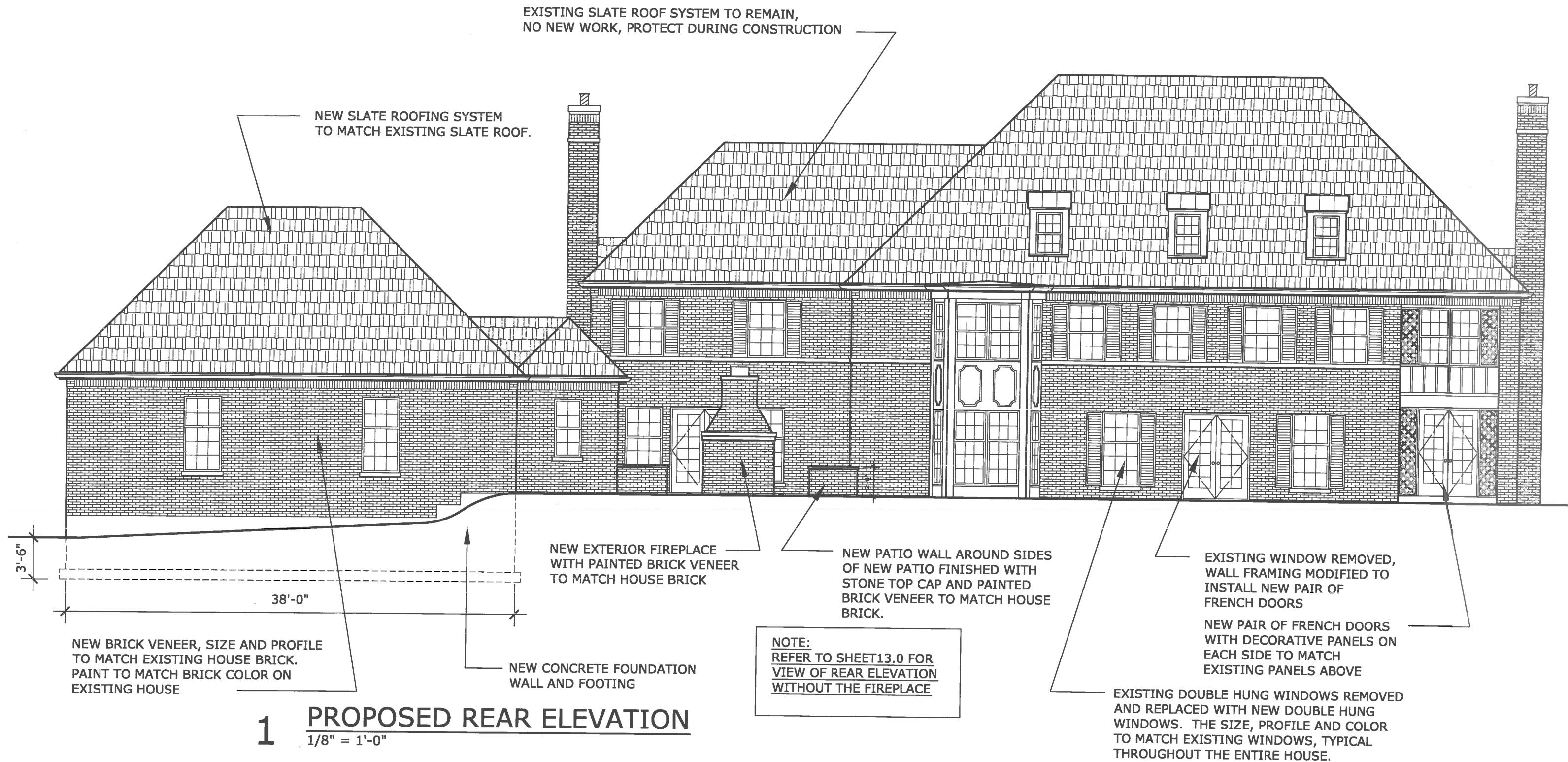


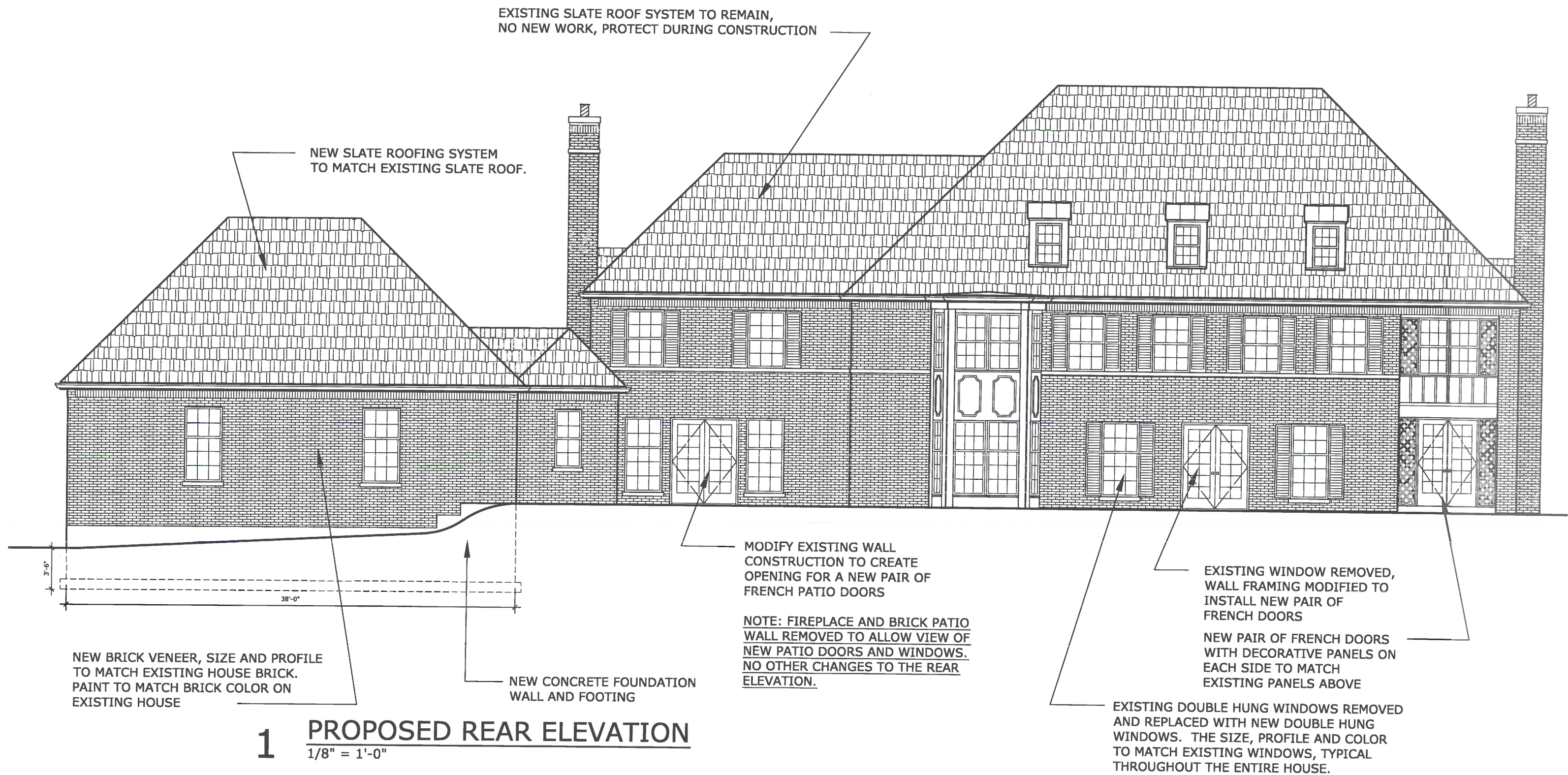
1 PROPOSED NORTH ELEVATION
1/8" = 1'-0"

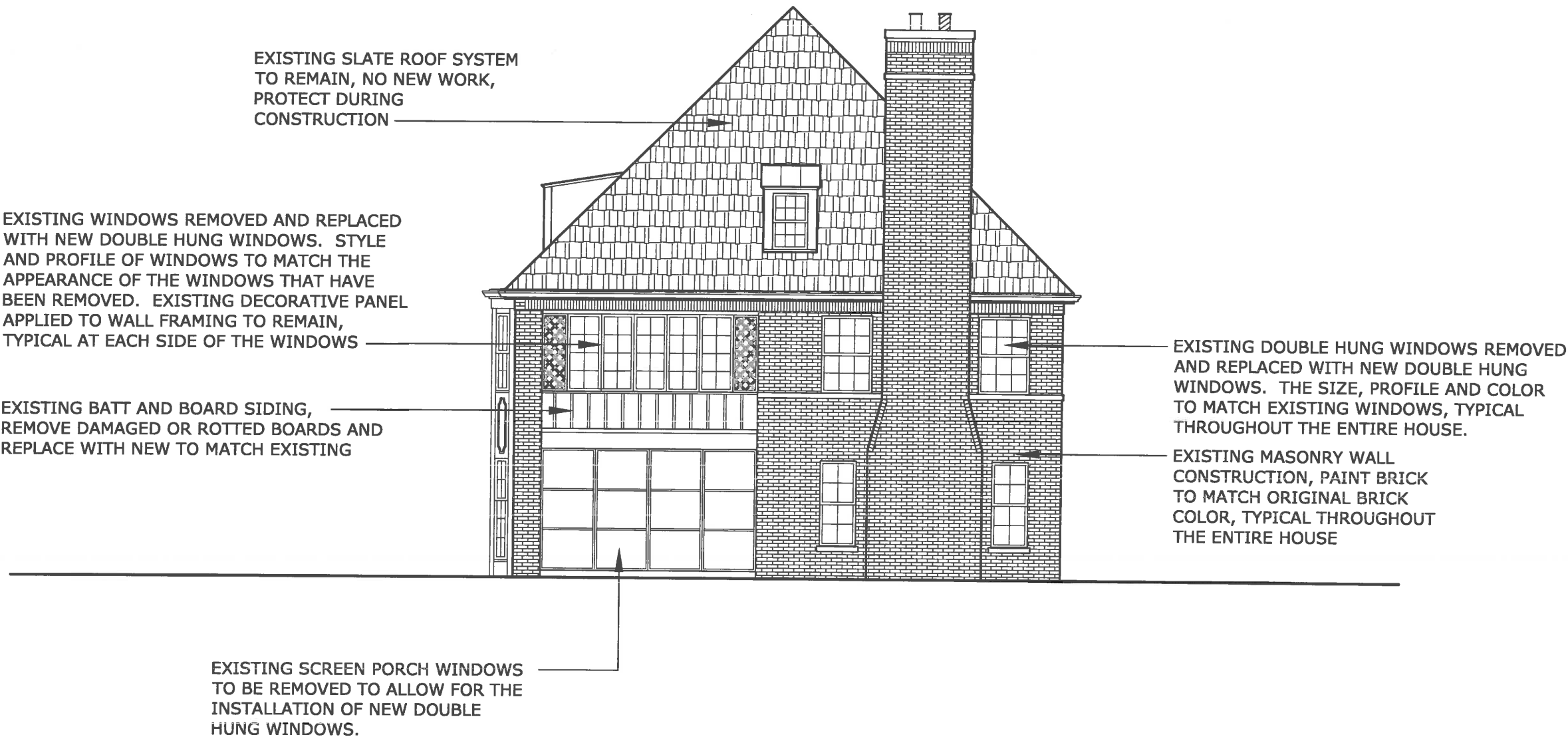


1 EXISTING REAR ELEVATION

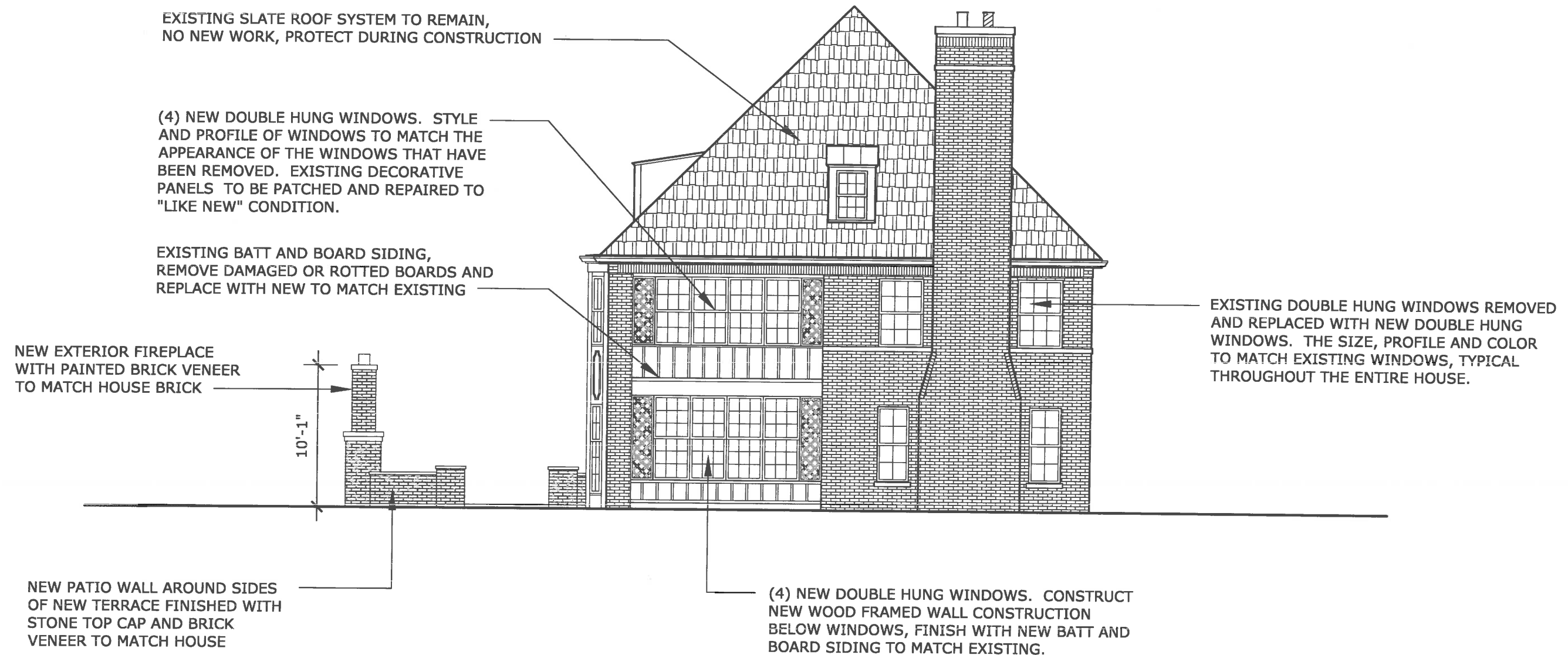
1/8" = 1'-0"





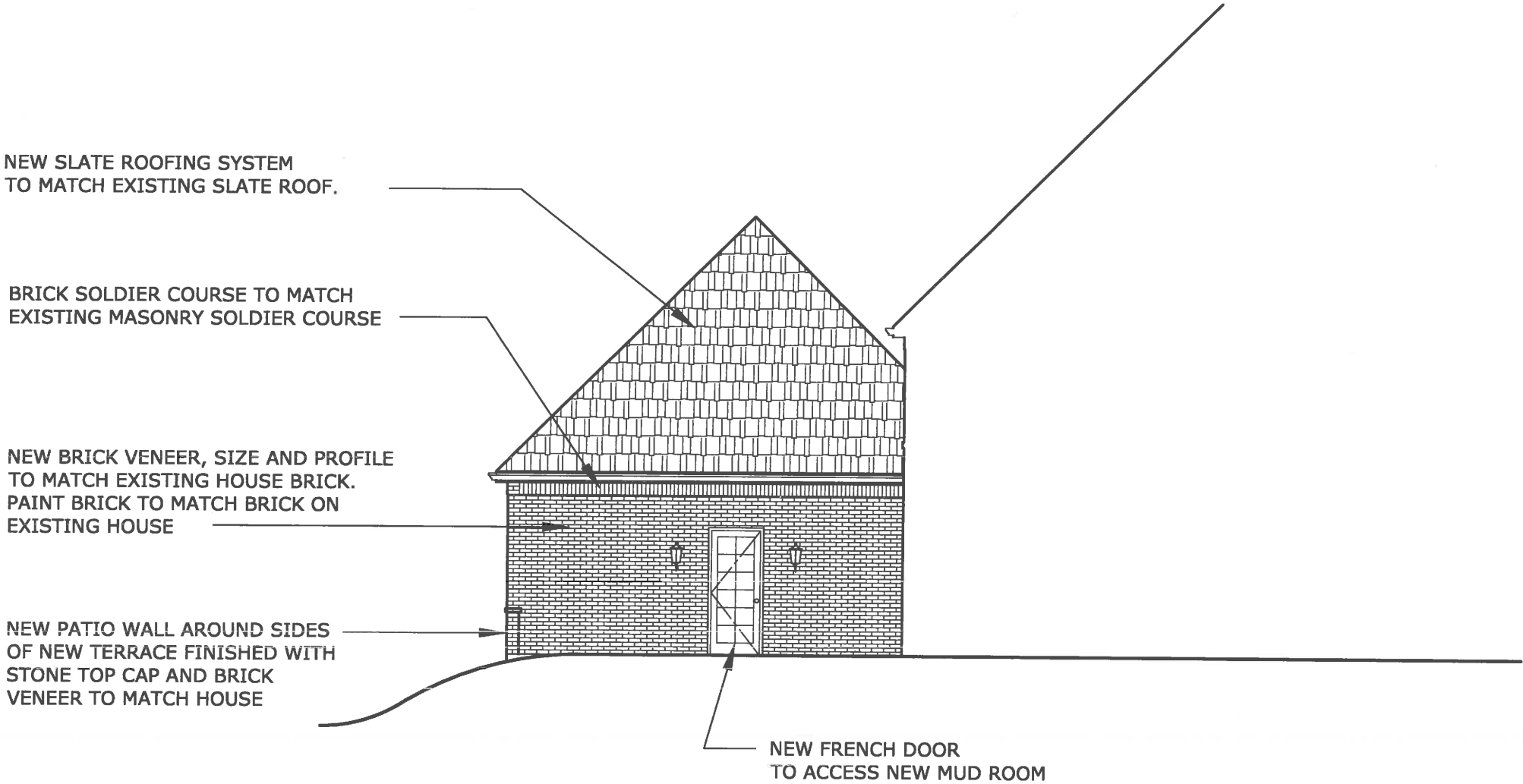


1 EXISTING SOUTH ELEVATION
1/8" = 1'-0"



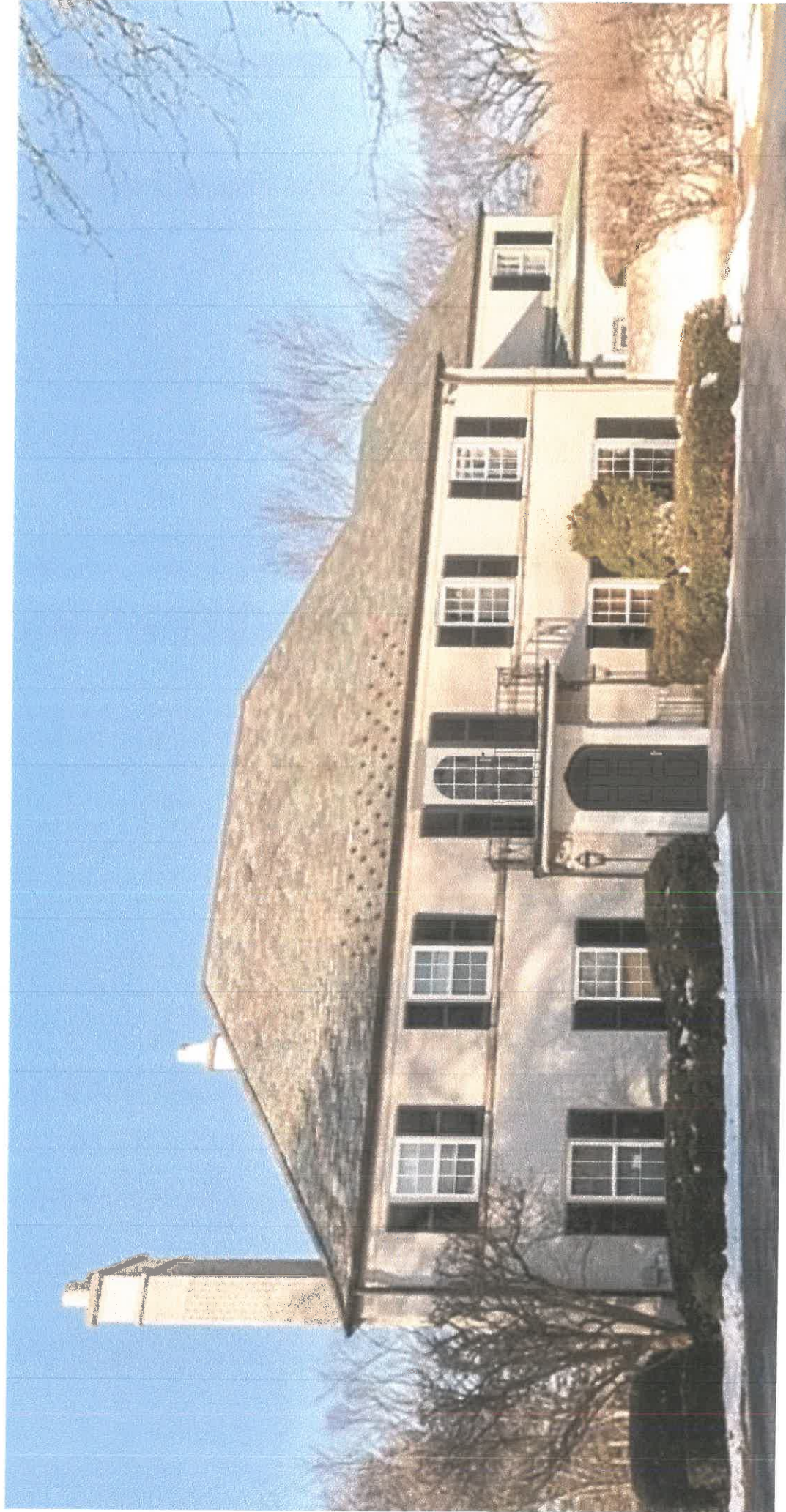
1 PROPOSED SOUTH ELEVATION

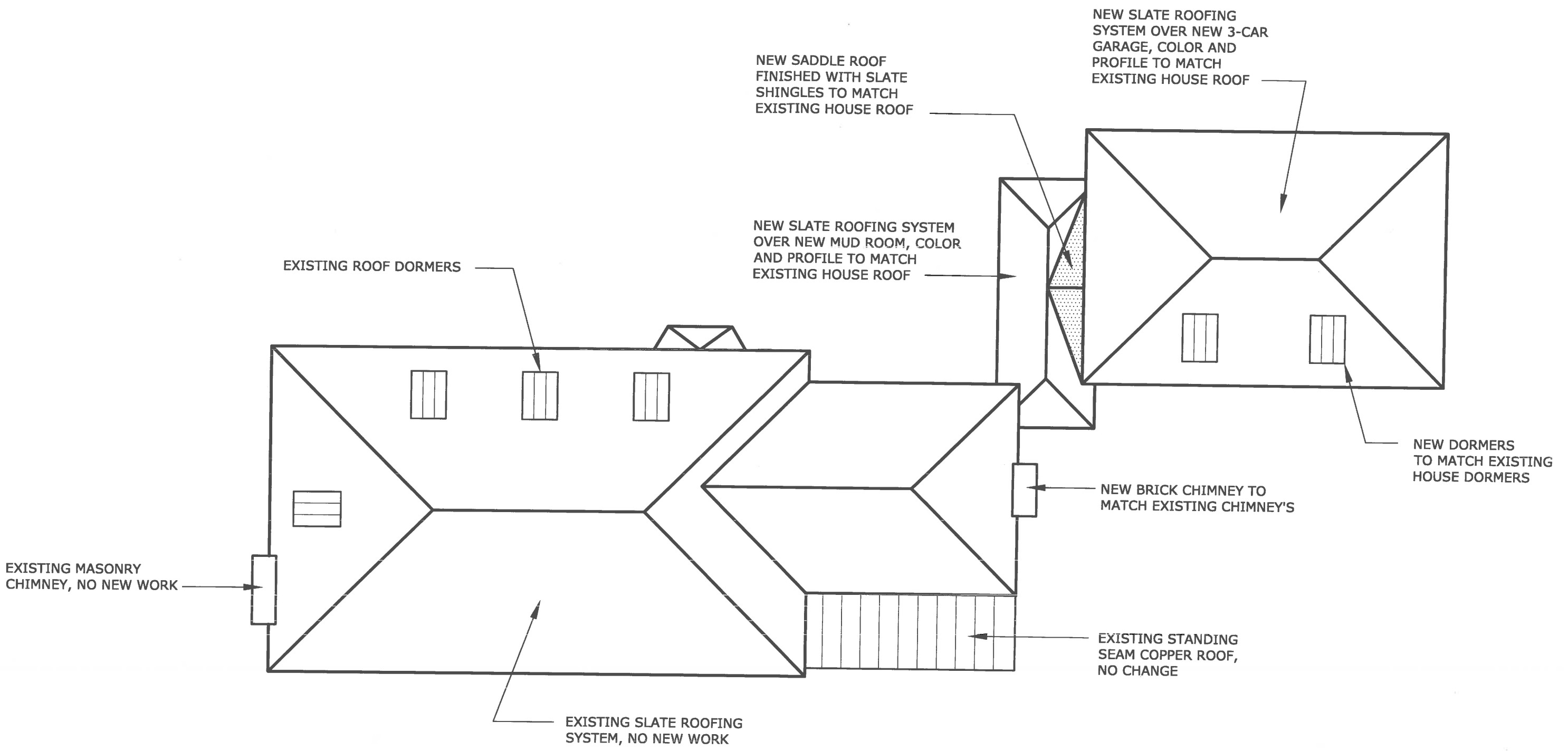
1/8" = 1'-0"



1 PROPOSED SOUTH GARAGE ELEVATION
1/8" = 1'-0"

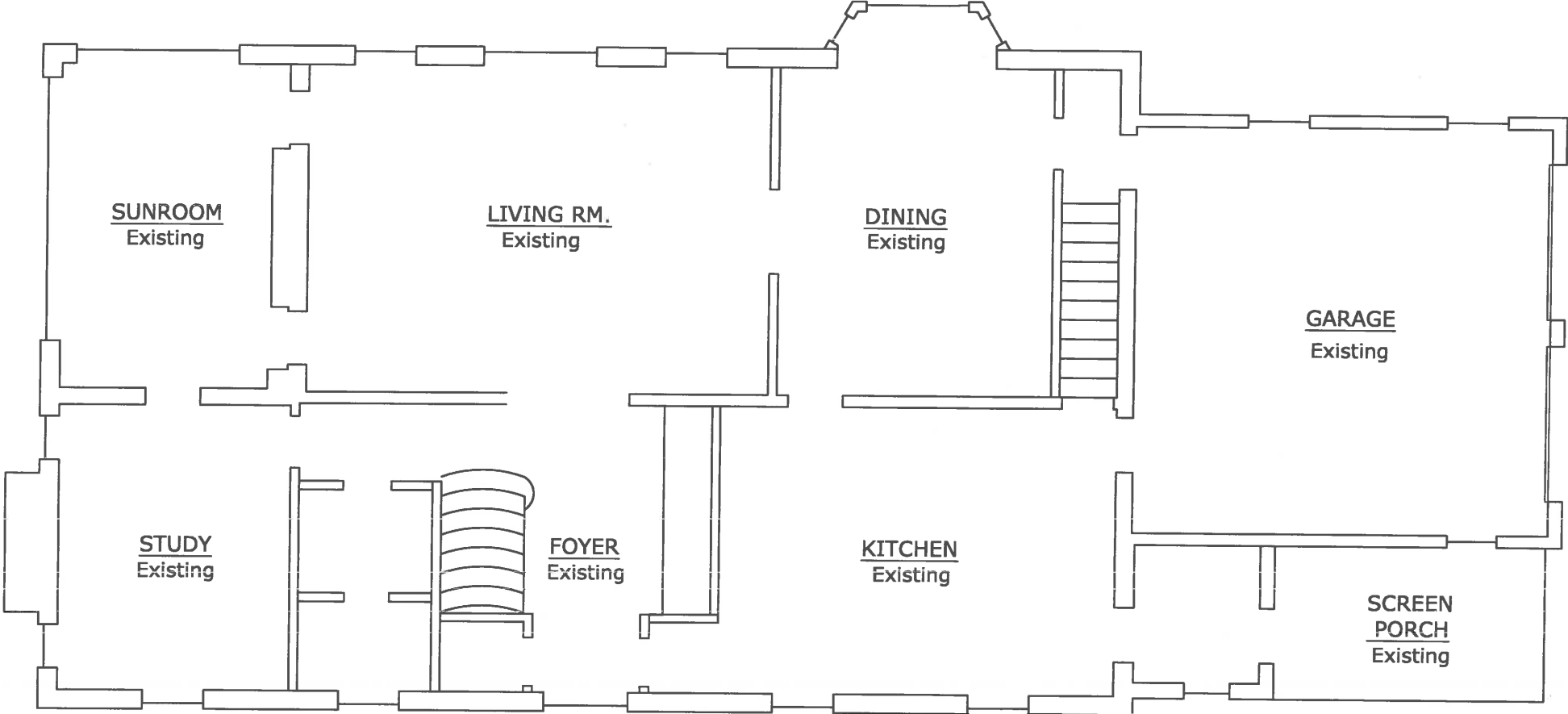
PROPOSED COLOR PALETTE





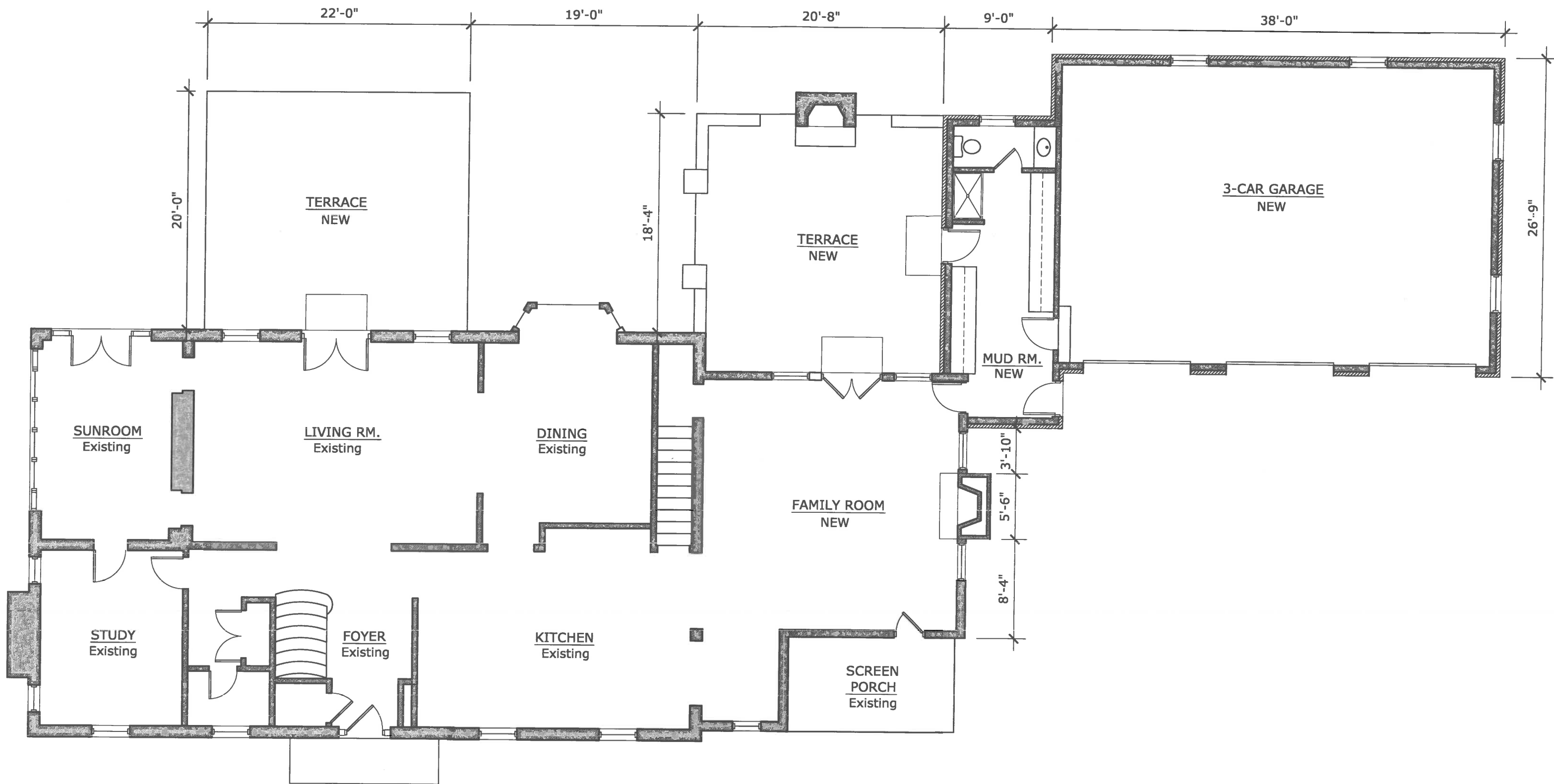
1 ROOF PLAN
3/32" = 1'-0"

 NORTH



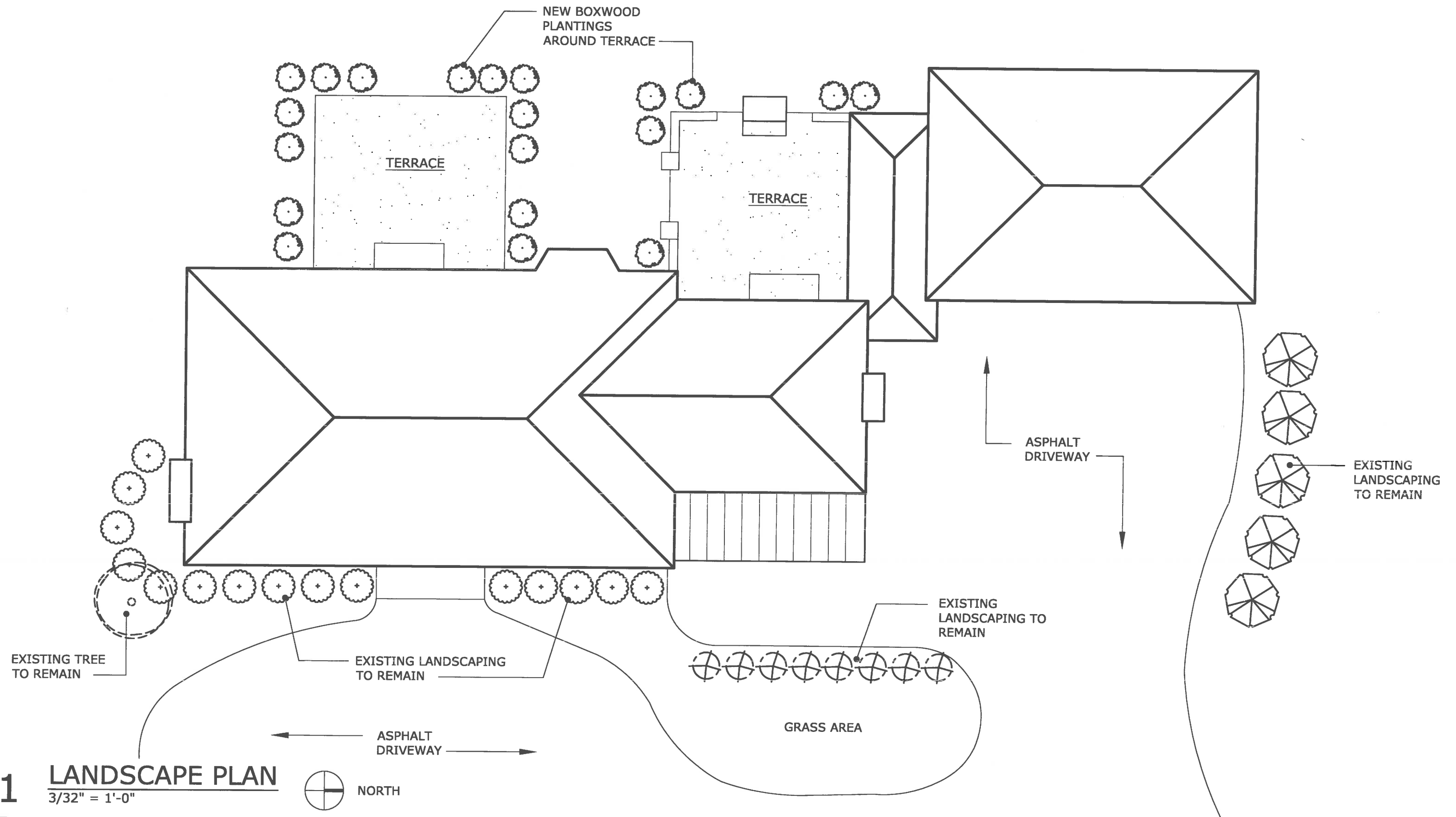
1 EXISTING FIRST FLOOR PLAN
1/8" = 1'-0"

 NORTH



1 **PROPSOED FIRST FLOOR PLAN**
1/8" = 1'-0"





237 East Onwentsia

Site Photographs

Front elevations



Rear elevation



Existing living room window – proposed French door and terrace (Rear elevation)



Existing porch – proposed sunroom (South elevation)



Existing porch – proposed sunroom & French door (Rear elevation)



Existing garage – proposed family room & chimney (Front/north elevation)



Existing garage – proposed family room, French doors, terrace (South elevation)



Existing non-original curved wall & dog run – proposed wall removal (Front elevation)



Existing screened porch arches – mimic curve for garage doors



237 East Onwentsia

Neighborhood Photographs

222 E. Onwentsia



261 E. Onwentsia



225 E. Onwentsia



Agenda Item 5
740 Washington Road
New Residence

Staking Diagram
Staff Report
July 24, 2019 Meeting Minutes
Building Scale Summary
Vicinity Map

Materials Submitted by Petitioner

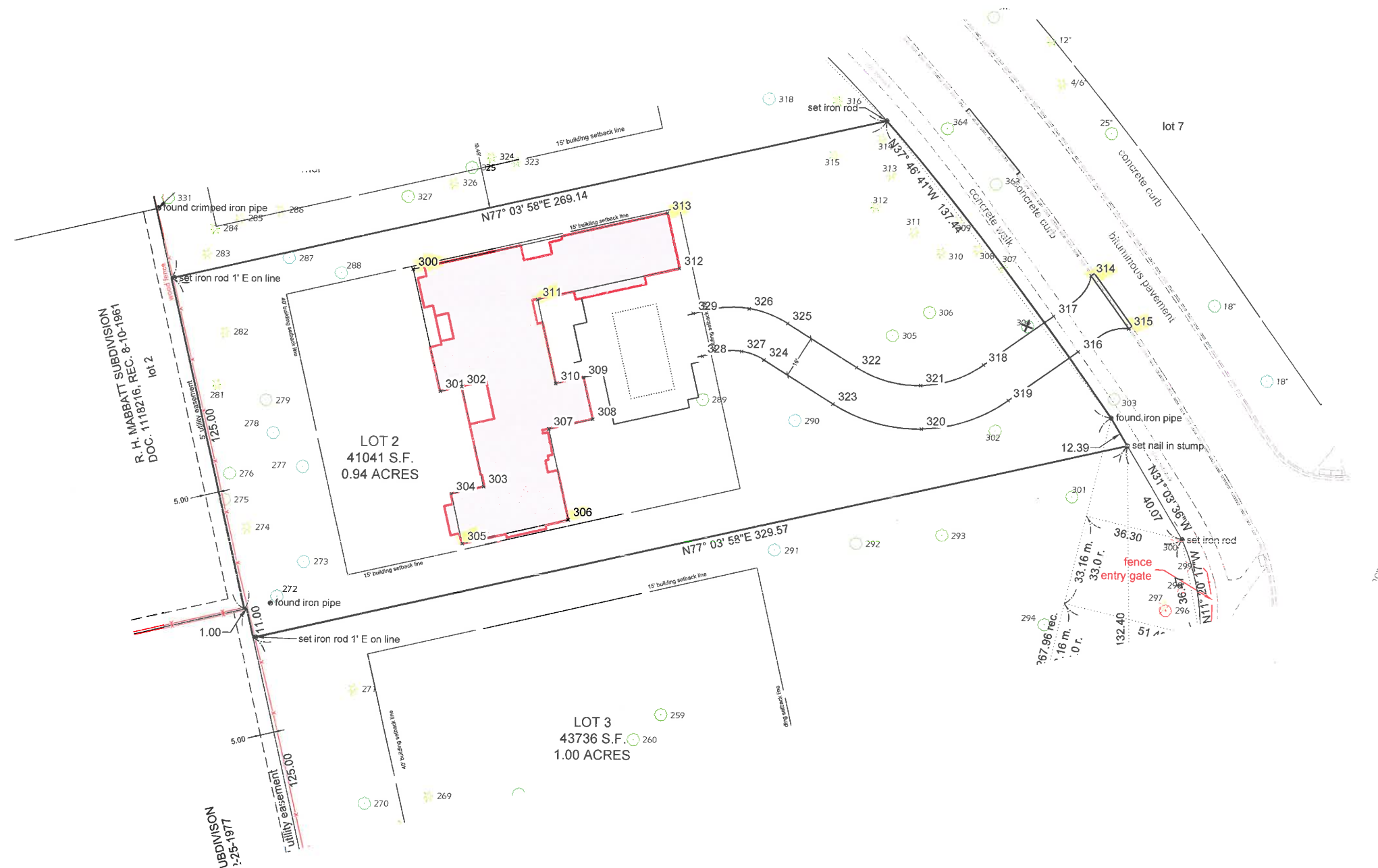
Application
Statements of Intent
Description of Exterior Materials
Plat of Survey
Existing Site Topography & Site Section
Proposed Site Plan & Site Section
Site Context
Proposed East (Front) Elevation
Proposed East (Front) Color Elevation
Proposed South Elevation
Proposed South Color Elevation
Proposed West Elevation
Proposed West Color Elevation
Proposed North Elevation
Proposed North Color Elevation
Perspective Color Renderings
Proposed Roof Plan
Proposed Building Section
Proposed Basement Plan
Proposed First Floor Plan
Grading Plan Description
Grading and Drainage Plan
Tree Inventory
Proposed Landscape Plan
Correspondence

Lot 1 – Preliminary Plans

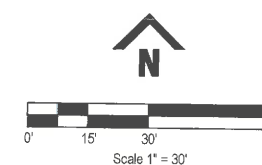
Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.

STAKING DIAGRAM

Lot 2 in The Margaret M. & Hampden M. Swift Memorial Subdivision, being a subdivision of parts of lots in the original Subdivision of Lake Forest in the Northwest ¼ of the Northeast ¼ of Section 33, Township 44 North, Range 12, East of the Third Principal Meridian, according to the Plat thereof recorded June 3, 2020 as document number 7660968 in Lake County, Illinois.



ABBREVIATIONS:
m. or meas. = measured
r. or rec. = record
CB = chord bearing
CH = chord length
R = radius
L = arc length
N = North
S = South
E = East
W = West
S.F. = square feet



Project No. 70-1051

BLECK
engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045

T 847.295.5200 F 847.295.7081
www.bleckeng.com



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grieve and members of the Historic Preservation Commission
DATE:	August 26, 2020
FROM:	Jennifer Baehr, Assistant Planner
SUBJECT:	740 Washington Road – New Residence on a Vacant Lot

PETITIONERS

Hugh and Diane Zentmyer
29744 N. Spyglass Court
Ivanhoe, IL 60060

PROPERTY LOCATION

740 Washington Road

HISTORIC DISTRICTS

East Lake Forest Local and
National Historic Districts

PROJECT REPRESENTATIVE

Edward Deegan
503 Park Drive, Suite #4
Kenilworth, IL 60043

SUMMARY OF THE PETITION

This is a request for a Certificate of Appropriateness for a new single family residence and attached garage proposed on a vacant lot. Approval of a conceptual landscape plan and overall site plan is also requested.

The statement of intent and supporting materials submitted by the petitioner are included in the Commissioner's packets. A summary of the project based on the information provided is presented below.

As additional background, in May and June of 2018, the Historic Preservation Commission considered and ultimately approved the demolition of the Swift residence that was sited at the high point of this entire 3.8 acre property. The Swift heirs originally tried to market the house and property as is, but were unsuccessful. After demolition of the residence occurred, the entire site was marketed as a single lot, a buyer did not step forward. The Swift family then proceeded with subdivision of the property. During its deliberations, the Plan Commission requested review and comment from the Historic Preservation Commission. In July, 2019, the Historic Preservation Commission discussed the proposed subdivision. An excerpt of the minutes of that meeting is attached to this report as additional background.

In early 2020, the City Council, based upon a recommendation from the Plan Commission, approved a four lot subdivision of the Swift property. As part of the approval, several notes on the plat and conditions were incorporated into the approval. The notes and conditions that are relevant to the Commission's consideration of the first of the four new residences that will be proposed for this site are detailed below. Specific direction to the Historic Preservation Commission is highlighted.

- Tree preservation areas are located: 1) along the north portion of the Washington Road street frontage of Lot 2, 2) along the Walnut Road street frontage and at the corner of Lot 3, and 3) in the southwest corner of Lot 4 for the purpose of protecting and preserving the overall character and integrity of significant groupings of trees in these areas. Curb cuts and driveways shall be located to minimize impact in these areas.
- The front yard setback lines for Lots 2 and 3 as reflected on the plat intentionally supersede the standard setbacks in the R-3 zoning district for the purpose of preserving the streetscape and trees.
- Only open, non-sight obscuring fences are permitted within the front yard setbacks of all lots.
- Lots 2 and 3 shall be limited to a single curb cut.
- Review of architectural plans for each new home and other appropriate documents by the Historic Preservation Commission shall be completed and all necessary approvals obtained. The Commission shall consider the following factors when reviewing proposed driveway locations: preservation of parkway trees, protection of healthy trees within the Tree Preservation Areas, limiting impervious surface, curved driveways to limit direct views to homes and garages and assuring appropriate sightlines for safety purposes.

PROPERTY DESCRIPTION

The property is located on the west side of Washington Road, between Westminster and Walnut Road. The property is Lot 2 of the recently approved Margaret M. and Hampden M. Swift Memorial Subdivision which was recorded with Lake County in June 2020. The Subdivision is comprised of four parcels. This lot is the first to be developed in this Subdivision. Plans for a second lot, Lot 1, were recently submitted to the City for preliminary review and are expected to be presented to the Commission for public hearing in September. Early concept for the siting and design of the residence proposed for Lot 1 are included at the end of the Commission's packet for reference.

Lot 2, the site now proposed for development, totals 41,041 square feet and is generally rectangular however, the east property line follows the curve of Washington Road. There is a significant grade change across the site which was identified as a unique feature of the property during the earlier discussions of the subdivision. To the extent possible, the existing topography is intended to be preserved.

The overall Swift property is located in an established, historic single family home neighborhood, within walking distance to the Central Business District, train station, the beach, Library, Gorton Community Center and other community amenities. The four new homes on this site have the potential to have a significant impact on the character of the overall neighborhood. The conditions of approval of the subdivision strived to assure that as the lots developed, the wooded character of the property, the vegetated streetscapes and the existing topography would be preserved to the extent possible to allow the new development to fit quietly into the historic neighborhood. This property is close to some of the communities most important historic structures including the Library, train station, the Church of the Covenants and many historically significant homes.

STAFF EVALUATION

Site Plan

The proposed residence faces east toward Washington Road, and the attached garage faces south. A tree preservation area, as noted on the Plat of Subdivision, is located at the north east corner of the site, along Washington Road. A single curb cut is proposed, consistent with the limitations on the Plat of Subdivision, near the southeast corner of site to avoid impact to the tree preservation area to the north.

An asphalt drive is proposed. The configuration of the driveway is configured in an effort to try to preserve significant trees in the front yard. Stone outcroppings are proposed along a portion of the north and south sides of the driveway to serve as retaining walls and essentially a tree well, with the goal of protecting and preserving a significant Heritage tree to the north of the driveway. Stone outcroppings are also proposed along the south property line and in the northwest corner of the site as a way to help preserve the existing grades on some portion of the site and to transition to adjacent lots. An asphalt and paver motor court is proposed at the front of the house. Lime washed brick walls are proposed around the motor court. A brick paver patio is proposed on the rear of the house. The existing brick feature near the rear (west) property line, which served as a grill and patio area for the house that was demolished, is proposed to remain. Adjacent to the existing brick walls, a new koi pond is proposed.

Based on information submitted by the petitioner, the amount of proposed impervious surface on the site totals 9,713 square feet, equal to 24% of the site. The building footprint totals 5,550 square feet and other paved surfaces including the driveway, motor court, walls and walkways total 4,163 square feet.

New Residence

Based on the petitioner's statement of intent, the residence is designed in an English country house style. The proposed residence is a one and half story mass with a combination of gable, hip and shed roof forms. The garage mass is on the north end of the house, connected by a small single story linking element. The home features traditional, simple detailing. High quality, natural materials are proposed with a neutral, subtle color palette.

Findings

A staff review of the applicable standards in the City Code is provided below. Findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height.

This standard is met. The surrounding neighborhood reflects mostly one and half and two story homes. The proposed residence is one and a half stories tall and at its maximum height, the ridge of the roof over the elongated cupola (the lantern), the height is 28'-3" as measured from the lowest point of existing grade adjacent to the house. The main roof ridge of the house is at 24'-2" based on the information submitted to staff. A dimensioned elevation was not submitted and therefore is not included in the Commission's packet. At the time of submittal for permit, a fully dimensioned elevation will be required to demonstrate compliance with the heights as stated above, as presented to staff. The maximum height allowed for this property is 40 feet.

Standard 2 – Proportion of Front Façade.

This standard is met. The front of the residence, facing Washington Road, presents a one and half story massing with projecting gable forms and an open porch, creating depth to the front facade of the house. The elongated cupola, or lantern as identified by the petitioner, is visible on the front elevation. The lantern element is offset from the front entrance, and generally centered over the front porch element.

Standard 3 – Proportion of Openings.

This standard is generally met. The house features mostly narrow and vertically oriented openings. The fenestration pattern is generally consistent around the elevations of the house, with the exception of the rear elevation which presents larger openings to take advantage of views to the rear yard.

Skylights, identified on the roof plan as a “glass ridge” are proposed near the roof ridge both to the east and west of the lantern element on the gable roof form above the kitchen and breakfast room. The purpose of the skylights is to allow more natural light into the space from above. The potential for light spillover from both the skylights and the lantern is a concern given the dark character of the neighborhood and the elevated nature of this house given the topography of the property. Preventing the potential for one or more beacons of light from the roof of the house will be important to minimize impacts on neighboring properties and on the historic character of the area.

- Commission input on the potential for light spillover is requested.

Standard 4 – Rhythm of Solids to Voids.

This standard is generally met. There is mostly a consistent rhythm of solids to voids on the elevations, however, as noted above, the rear elevation presents larger expanses of openings to take advantage of views to the rear yard and provide ample natural light into the family room and kitchen. Based on discussions with the petitioners, window treatments will be used in these areas to minimize the impact of the lighting from the interior. Existing vegetation as well as proposed new plantings in the rear yard will help to minimize light impacts to the surrounding neighbors.

Standard 5 – Spacing on the Street.

This standard is met. This is the first lot to be developed in the Subdivision, the properties adjacent to the lot are vacant, and so this house will begin to establish a pattern of spacing along the streetscape.

Standard 6 – Rhythm of Entrance Porches.

This standard is met. A covered entrance porch is proposed on the front façade. The porch is appropriately located and consistent with the architectural style of the home.

Standard 7 – Relationship of Materials and Texture.

This standard is met. The exterior is comprised of high quality and natural materials. Lime-washed brick is proposed for the primary façade material. Horizontal wood siding is proposed on the garage and on projecting bays around the house. Wood panels are proposed on the exterior in some areas below openings. Wood shingle is proposed for the main roof material and standing seam copper roofs are proposed for the front porch, projecting bay windows and the linking element between the house and garage. White aluminum clad wood windows, simulated divided lites, with affixed interior

and exterior muntin bars, are proposed. Brick is proposed for the window and door trim. Wood is proposed for the fascia boards, soffits and rake boards. A brick chimney with a copper cap is proposed. Additional information is needed to understand the intended treatment of the pipe exiting from the chimney. Clay chimney pots are common in the Historic District. Consideration should be given to whether that treatment at the top of the chimney would be more compatible with the surrounding area.

- Commission input on the chimney is requested.

Hardscape on the site includes an asphalt drive, an asphalt and paver motor court, lime washed brick walls around the motor court, and a stone patio on the rear.

Standard 8 – Roof Shapes.

This standard is generally met. The residence features mostly gable roof forms, as well as shed and hipped roofs as secondary roof forms. As noted above, an elongated cupola, or lantern, is proposed above the kitchen. As currently proposed, the cupola appears somewhat out of place with the character of the proposed residence. The length of the element was reduced from earlier plans which reflected a much longer extension of the element to the east and west at the roof ridge. The element was shortened in response to earlier staff comments.

Although there is some complexity to the roof, the gable forms are predominant and add a sense of rhythm to the appearance of the home.

- Commission input on the cupola, lantern, element is requested.

Standard 9 – Walls of Continuity.

This standard is generally met. The massing, scale, and detailing are generally consistent on all elevations of the house.

Standard 10 – Scale.

This standard is met. The residence as presented complies with the building scale requirements. Based on the lot size, a residence of up to 5,083 square feet is permitted on the site. In addition, a garage of up to 800 square feet is permitted along with up to 508 square feet of design elements. The proposed residence totals 4,418 square feet. The garage totals 846 square feet; the excess square footage of the garage is counted toward the overall square footage of the house. There are 434 square feet of design elements.

Standard 11 – Directional Expression of Front Elevation.

This standard is met. The front elevation is oriented toward the street, consistent with the directional expression of the homes in the surrounding neighborhood.

Standard 12 – Preservation of Historic Material.

This standard is not applicable to this request. Although the brick element in the rear yard is proposed to be preserved, no particular historic significance has been attributed to that element.

Standard 13 – Protection of Natural Resources.

This standard requires further due diligence during the final design phase and throughout the construction process. The location of the proposed residence is generally in the location of the home originally on the site. No existing trees are located within the footprint of the house, garage or motor court.

A nine inch Hawthorn tree located adjacent to the driveway will be removed. The configuration of the proposed driveway is designed to preserve the grouping of evergreen trees on the northeast side of the site and a heritage oak tree (#305 on the tree survey). The petitioner has submitted a pre and post construction maintenance plan for the heritage oak tree. The plan also reflects a boulder wall, essentially creating a tree well, to protect the tree given its location near the proposed driveway and grading work. As construction activity on the site gets underway, the impacts on any trees identified for protection and preservation will be re-evaluated on an ongoing basis and if it is determined that trees on the property are negatively impacted by construction or grading, replacement inches or a payment in lieu of on site plantings will be required based on the size, species and conditions of the trees impacted. Replacement of Heritage trees is required at double inch for inch replacement.

The preliminary landscape plan submitted by the petitioner reflects a number of proposed plantings on the property including Maple, Spruce, Birch, and Beech trees, and a variety of ornamental plantings around the foundation of the house and motor court. Based on the proposed landscape plan, the required amount of replacement inches as currently anticipated, is met.

Standard 14 – Compatibility.

This standard is generally met. The scale, height, materials, and architectural detailing are compatible with the mix of styles in the surrounding historic neighborhood.

Standard 15 – Repair to deteriorated features.

This standard is not applicable to this request.

Standard 16 – Surface cleaning.

This standard is not applicable to this request.

Standard 17 – Integrity of historic property.

This standard is generally met. The property is vacant and one of four new development sites in this area. The conditions of approval of the recent subdivision are intended to allow the four new homes to fit quietly into this important historic neighborhood respecting the significant trees, vegetated streetscape and the topography of the site. The petitioner has made efforts to site the residence and configure the hardscape to minimize tree removal and limit longer term negative impacts on trees and vegetation as a result of construction activity.

PUBLIC COMMENT

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, one email was received from a resident living in the general vicinity of the proposed new residence.

RECOMMENDATION

Grant a Certificate of Appropriateness approving a new residence, attached garage, conceptual landscape plan and overall site plan on property located at 740 Washington Road, subject to the following conditions of approval.

1. Refine the plans and further study specific elements as directed by the Commission.
2. Plans submitted for permit must reflect the project as modified and approved by the Commission. Any modifications made to the plans presented to the Commission as a result of refinements made in response to the Commission's direction and discussion and final design development must be clearly detailed and called out on the plans submitted for permit. The plans as originally submitted to the Commission for review must also be submitted for comparison purposes, areas of change should be highlighted. The plans submitted for permit will be subject to review by staff, in consultation with the Chairman as appropriate, to verify that the plans are consistent with the intent of the Commission and the approvals granted.
3. At the time of submittal for a building permit, detailed drainage and grading plans must be submitted. The plans shall clearly reflect all existing trees and identify those proposed for removal. Grading and filling shall be limited to the minimum necessary to meet accepted engineering standards in the interest of minimizing stress on the trees intended to remain. The plans shall be subject to review and approval by the City Engineer in consultation with the City's Certified Arborist.
4. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect any trees identified for preservation during construction must be submitted and will be subject to review and approval by the City's Certified Arborist. Chain link fencing shall be required to protect trees intended for preservation in addition to any pre and post construction treatments or maintenance required by the City's Certified Arborist.
5. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall provide for the required replacement inches on site to the extent possible using good forestry practices and identify any remaining inches for which a payment in lieu of planting will be required prior to the issuance of a Certificate of Occupancy. If during construction, additional trees on the site are compromised in the opinion of the City's Certified Arborist, additional replacement inches or payment in lieu of on site planting may be required.
6. Details of all exterior lighting shall be reflected on the plans submitted for permit. No landscape lighting is proposed based on the current plans. For all exterior lights on the residence, garage or elsewhere on the site, cut sheets of all light fixtures shall be provided. All fixtures shall solely direct light downward and the source of the light shall be shielded from view from off the property by the fixtures.
 - The plans submitted for permit shall demonstrate how any light emitted from any skylights or the lantern will be mitigated to avoid off site impacts.
 - The right to night, dark sky goals shall be satisfied.

7. Prior to the issuance of a building permit, a plan for construction parking and materials' staging shall be submitted to the City for review and will be subject to City approval in an effort to minimize impacts on the surrounding neighborhood. The existing topography and trees and vegetation shall be protected from impact. Due to the curving road no parking of construction or contractor vehicles is permitted on the street. Off-site parking at the public parking lots located nearby will be required.

Excerpt
The City of Lake Forest
Historic Preservation Commission
Proceedings of the July 24, 2019 Meeting

A regular meeting of the Lake Forest Historic Preservation Commission was held on Wednesday, July 24, 2019, at 6:30 p.m., at the City of Lake Forest City Hall, 220 E. Deerpath, Lake Forest, Illinois.

Historic Preservation Commissioners present: Chairman Bruce Grieve and Commissioners Jan Gibson, Carol Gayle, Steve Lamontagne, Bill Redfield, Elizabeth Sperry and Wells Wheeler.

6. Non-Action Item: Discussion and input on a matter referred to the Commission by the Plan Commission, the Swift Subdivision, 770 Washington Road. No action is requested.

Ms. Czerniak stated that this agenda item was referred to the Commission by the Plan Commission for input, no Commission action is required. She explained that at the time the Historic Preservation Commission considered the request for demolition of the residence on the Swift property, the Commission requested the opportunity to provide input to the Plan Commission on any future development proposal for the property. She explained that the Plan Commission heard an introductory presentation on a subdivision proposal for the Swift property at the last meeting. She stated that the property is approximately 3.8 acres and is located within walking distance to the train station and near the new condominium development on McKinley Road. She noted that the property is zoned R-3 with a minimum lots size of 40,000 square feet and is also in the Historic Residential and Open Space Preservation Overlay District which allows flexibility with respect to lot size, setbacks, curb cuts and other aspects of a development so long as the underlying density is not exceeded. She noted that a 4-lot subdivision is in proposed, in conformance with the density allowed by the zoning district. She explained that the Historic Preservation Commission is asked to identify what aspects or characteristics of the site should be considered for preservation as part of the subdivision and redevelopment. She added that the overlay district gives the Plan Commission and City Council the flexibility to preserve natural features, historic features, and the character of the property. She stated that all of the comments from the Historic Preservation Commission will be forwarded to the Plan Commission. She stated that the Commission is not asked to take any official action or vote on this agenda item.

Commissioner Gibson stated that from a streetscape and historic district character perspective, the garden element at the southeast point of the property and the grove of oak and conifer trees along Washington Road are important features of the site. She noted that during the previous hearing, Susan Benjamin

stated that at least a 40 foot setback for all structures is appropriate to preserve the character of the southern part of the property. She stated that in her opinion, because Walnut Road is a very short street, curb cuts should be limited in this area.

Commissioner Sperry noted that the 40 foot setback along the streetscape is critical in preserving the character of the property. She stated that the mature vegetation on the property should be preserved. She added that particular attention should be paid to how the subdivision will impact Triangle Park visually. She noted that the site already has a point of entry at the north end. She stated that curb cuts and driveways should be minimized to preserve the streetscape views and openness of the site.

Commissioner Wheeler suggested that cluster housing or townhomes may be appropriate for the site to minimize the impact to the features and vistas of the property. He stated that features such as the council ring – type element and the area near the pond should be considered for preservation. He noted that the location of the new property lines should be sensitive to the features of the site.

Commissioner Gayle stated that the property is in an important and prominent location within the City and historic district. She added that the natural beauty of the site, the wooded character, and the sense of open, park-like space should all be preserved to the extent possible.

Commissioner Redfield agreed with comments made by Commissioner Gayle. He added that the landscaping on the property, particularly the rock and garden at the southeast corner of the property should be preserved and restored.

Commissioner Lamontagne stated that preserving the mature, healthy trees on the site is important, he noted however the grading done for future construction may pose challenges for preserving trees. He stated that the rocks and vegetation surrounding the pond should be preserved, rehabilitated or enhanced. He suggested that the rock feature could be made visible to pedestrians to enhance the streetscape. He recommended that a single curb cut be considered for proposed lots two and three. He observed that lots one and four could potentially be developed with a circular driveway with landscaped open space that visually becomes an extension of Triangle Park and the parkway.

Chairman Grieve stated that for many decades, the Swift property was shared with and enjoyed by the neighborhood and community as a whole. He stated that the subdivision should be mindful of working to maintain the pastoral qualities of the site. He suggested that setbacks be established in a thoughtful manner so that some of the features of the site are shared, at least visually, and not isolated on private property. He noted that because of the grade change across the property, the topography of the site should be carefully considered when drawing the property lines.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 740 Washington Road Owner(s) Hugh and Diane Zentmyer

Architect Edward Deegan Reviewed by: Jen Baehr

Date 8/26/2020

Lot Area 41041 sq. ft.

Square Footage of New Residence:

1st floor 3872 + 2nd floor 187 + 3rd floor 0 = 4060 sq. ft.

Design Element Allowance = 508 sq. ft.

Total Actual Design Elements = 434 sq. ft. Excess = 0 sq. ft.

Garage 846 sf actual ; 800 sf allowance Excess = 46 sq. ft.

Garage Width 23'-3" ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 312 sq. ft.

Accessory buildings = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 4418 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 5083 sq. ft.

DIFFERENTIAL = -665 sq. ft.

Allowable Height: 40 ft. Actual Height 28'-3" ft.

Under Maximum

NET RESULT:

665 sq. ft. is

13% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 508 sq. ft.

Front & Side Porches = 434 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

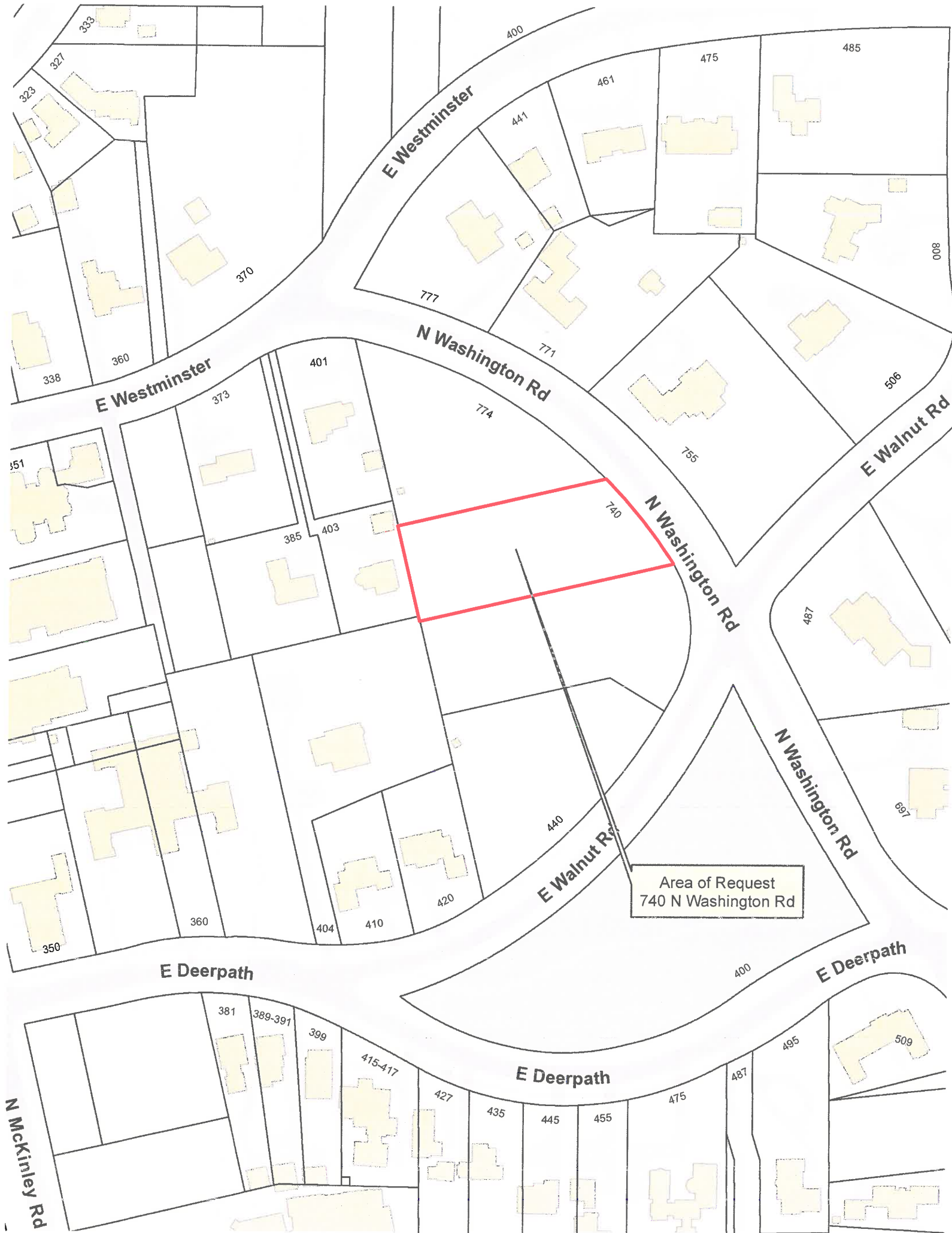
Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 434 sq. ft.

Excess Design Elements = 0 sq. ft.





THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS

PROJECT ADDRESS **740 Washington Road, Lot #2**

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- ☒ East Lake Forest District ☐ Green Bay Road District ☐ Vine/Oakwood/Green Bay Road District
☐ Local Landmark Property or District ☐ Other

PROPERTY OWNER INFORMATION

Hugh and Diane Zentmyer

Owner of Property

29744 N. Spyglass Court

Owner's Street Address (may be different from project address)

Ivanhoe, IL 60060

City, State and Zip Code

847-736-2308

Phone Number

Fax Number

hzentmyer@gmail.com

Email Address

Hugh Zentmyer
Diane Zentmyer
Owner's Signature

ARCHITECT/BUILDER INFORMATION

Edward Deegan

Name and Title of Person Presenting Project

Edward Deegan Architects

Name of Firm

503 Park Drive, Suite #4

Street Address

Kenilworth, IL 60043

City, State and Zip Code

847-906-4110

Phone Number

Fax Number

ejd@edwarddeeganarchitects.com

Email Address

Representative's Signature (Architect, Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER

☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER

☐ REPRESENTATIVE

August 2, 2020

To:

Catherine Czerniak, Director of Community Development
Jen Baehr, Assistant Planner
Historic Preservation Commission Members

Dear Ms. Czerniak, Ms. Baehr, Commission Members:

As we continue the process of planning and building our new home at 740 Washington Road (lot 2), we would like to introduce ourselves and provide you information about not only us, but our project and intentions. We've lived and raised our three children in the Libertyville/Green Oaks area. Most recently we have enjoyed living in Ivanhoe, Illinois, golfing and dining at Ivanhoe Country Club, in addition to our winter home in the mountains of North Scottsdale, Arizona.

We are familiar with Lake Forest because our daughter and her family have been residents for the past 18 years. We have visited our daughter and grandchildren many, many times and greatly appreciate the historic downtown area, the shops, restaurants and beautiful homes.

While we originally had no intentions of building another home, seeing Lot 2 changed everything; it is walking distance to our daughter and her family, downtown Lake Forest, the library, shopping and restaurants. This site is a real gem; especially learning of and hearing the historic nature of the property. The Swift's family home stood on Lot #2.


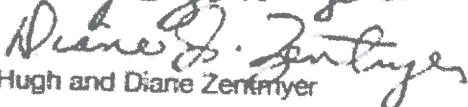
We plan to keep several items from the original Swift residence, a granite stand (it was once a bird bath) that was a gift to Mrs. Swift from her son and the original garden stepping stones.

We feel it is important to maintain the line of mature trees and shrubs that screen the frontage of the property from the sidewalk on Washington Road. For this reason, we have placed our driveway in a location that will cause the least disturbance and has an overall aesthetic appeal. This will preserve the privacy and treelined view as pedestrians walk down Washington Road, and is just one of the ways we take our role of being good stewards of the land and streetscape seriously.

Under the creative expertise and knowledge of our architect, Ed Deegan, and his team, we are honored to bring this application to you for approval. The plan fits into the natural landscape and surrounding neighborhood, meets all 17 Historic Preservation Commission guidelines and offers a timeless facade that will be enjoyed by future generations.

Thank you for the work you do as city planners and as a preservation commission. Together, you are the reason Lake Forest maintains its unique character, one we can't wait to be part of.

Best regards,



Hugh and Diane Zentmyer

July 17, 2020

Chairman and members of the Lake Forest Historic Preservation Commission
The City of Lake Forest
220 East Deerpath
Lake Forest, IL. 60045

Dear Chairman and the Members of the Commission,

Statement of Intent for 740 N. Washington Road:

At the most essential level, the goal of this project is to construct a single-story home that thoughtfully and graciously caters to the needs of its inhabitants, who intend to make it their primary residence for retirement. The late Swift Estate itself was conceived and manifested in the English country house tradition, and the proposed design for 740 Washington seeks to honor and sustain a degree of stylistic and historical continuity in that very tradition.

The Established Architectural Vernacular and Character:

Holistically, the aspiration is for the structure to not be imposed on - but rather, woven into - the natural landscape and the residential fabric of the neighborhood. At the most essential level, the aspirations for this project are to emulate the principles of a 'Country House' in the English tradition, made suitable to fit contemporary standards of living. A survey of the existing vernacular of neighborhood dwellings witnesses the use of symmetry, balance and classic detailing of "Colonial Revival" homes, all principles this design seeks to dutifully complement.

Standards of the Historic Preservation Ordinance:

1. **Height:** The proposed dwelling is single-story with a maximum height of 27' 3" (Height to top of the cupola).
2. **Proportion of Front Façade:** By virtue of being single-story, the home will be of modest height, and by extension, vertically undisruptive to (not in competition with) the surrounding dwellings or flora. Rhythmically, the home's gable forms provide the primary anchorages of the structure, establishing holistic balance and sustaining a synchronized posture along the front and back facades. The gable forms are spatially punctuated in a sequence respectful to the English country tradition, and undulate and step back graciously to achieve a nuanced harmony between solids and voids.



3. **Proportion of Openings:** Overall, the home's openings are respectfully scaled to the overall massing of the home. The design is highly compatible with homes on adjacent properties. The windows of the house reflect simple and consistent balance throughout. Select window areas corresponding to living room and bedroom space have been adapted ever-so-slightly to allow ample natural light to permeate the interior. The doors of the home are of traditional dimensions. Additionally, the cupola has been affixed to the home's central gable span to serve as an ethereal light well, capable of capturing ample natural light by day while never projecting any semblance of disruptive luminosity by night. The orientation of the cupola is on axis with the house's orientation towards Washington Road, and thus the cupola's minor, single-pane face is far more perceptible than its longer axial profile.
4. **Rhythm of solids to voids in front of facades:** The front elevation with its primary gable forms, are spatially punctuated, undulating to achieve a nuanced harmony between solids and voids. The proportions of the gables themselves - and the windows / openings impressed upon them - likewise remain faithful to the English Country House philosophy, thinly and delicately perforated at the gable's center, preserving an ample, solid face of the gable laterally and vertically.
5. **Rhythm of spacing and structures on streets:** At present, the site exists within a developmental vacuum - a context inherited from the late Swift Estate. The new construction would be the first structure erected on the four-way subdivision of the former estate grounds and thus would aspire to establish a neutral, agreeable palette amidst the immediate vicinity – intimately, respectfully, and unassumingly.
6. **Rhythm of entrance porches, storefront, recesses and other projections:** The entrance porch space present on the front facade is understated and seamlessly integrated within the confines of the roof plan to create a tasteful and nuanced harmony between solid and voided space. Window bays achieve prominence only on the back (private) facade of the house. The window bays abide a technique perfected in the English Country House tradition.
7. **Relationship of materials and texture:** From a material standpoint, the home will be a predominantly lime-washed brick structure, outfitted with punctuated white paneling around select window areas to achieve a pristine exterior finish. We consider the material treatment to be consistent with and flattering to the traditional and timeless textural parlance of the East Lake Forest Historic District. Delicate quatre-perforations adorn the tops of the gable forms and remain considerably understated, yet endowing the form with a mark of nuanced loveliness. Guage arches outfit the tops of windows as structurally relieving agents. Corbeled brick details at the gable returns diffuse the formality of the structure. The use of copper on the cupola and several low roof pitches are a virtuous complement to the prevalence of cedar shingle as the primary roof material.
8. **Roof shapes:** The roof shape itself is dictated by the home's primary gable forms and abides by the traditional angularity perceived in the neighborhood's established homes.



9. **Walls of continuity**: All proposed wall structures of the front façade, including the structural walls of the dwelling itself as well as walls for landscape enclosure, are consistent in height. The rooflines are standardized and sustained through the entirety of the front elevation.
10. **Scale of structure**: As a single-story dwelling, the home is of modest vertical scale. Consummately, the scale is subtle, contextually respectful and understated.
11. **Directional expression of structure**: The proposed orientation of the home on the site seeks a natural axial alignment with the soft curvature of Washington Road, posturing the front elevation in quasi-parallel orientation with the street. Moreover, the home will be nestled a considerable distance from the street to safeguard the privacy of the residents and maintain a reasonable balance of aesthetic discretion vs. engagement from pedestrian and vehicular traffic.
12. **Preserving distinguishing features**: N/A due to status as 'New Construction'.
13. **Protection of resources**: No major changes. The design of the driveway graciously preserves a significant Heritage Oak in the front yard.
14. **New Construction**: The entire home will be a 'New Construction'.
15. **Repair to deteriorated features**: N/A due to status as 'New Construction'.
16. **Surface Cleaning**: N/A due to status as 'New Construction'.
17. **Reversibility of Additions and Alterations**: This is a 'New Construction' home.

Very truly yours,



Edward J Deegan AIA NCARB





THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- ☐ Stone
☒ Brick
☐ Wood Clapboard Siding
☐ Wood Shingle
☐ Cementitious Stucco
☐ Other _____

Foundation Material

Exposed Foundation Material _____

Color and/or Type of Material Lime Wash Brick

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood (recommended)
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish White

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars (recommended)
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☒ Brick
☐ Wood
☐ Other _____

Window Trim

- ☐ Limestone
☒ Brick
☐ Wood
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
☐ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☒ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Composition Shingles
☒ Sheet Metal Standing Seam Copper
☐ Other _____

Color of Material _____

Flashing Material

- ☒ Copper
☐ Other _____
☐ Sheet Metal

Gutters and Downspouts

- ☒ Copper
☐ Aluminum
☐ Other _____

Driveway Material

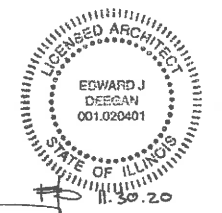
- ☒ Asphalt
☐ Poured Concrete
☒ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☒ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☐ Other _____

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T 847.295.5200 F 847.295.7081
www.bleckeng.com



The Zentmyer Residence
740 Washington Rd.
Lake Forest, IL 60045

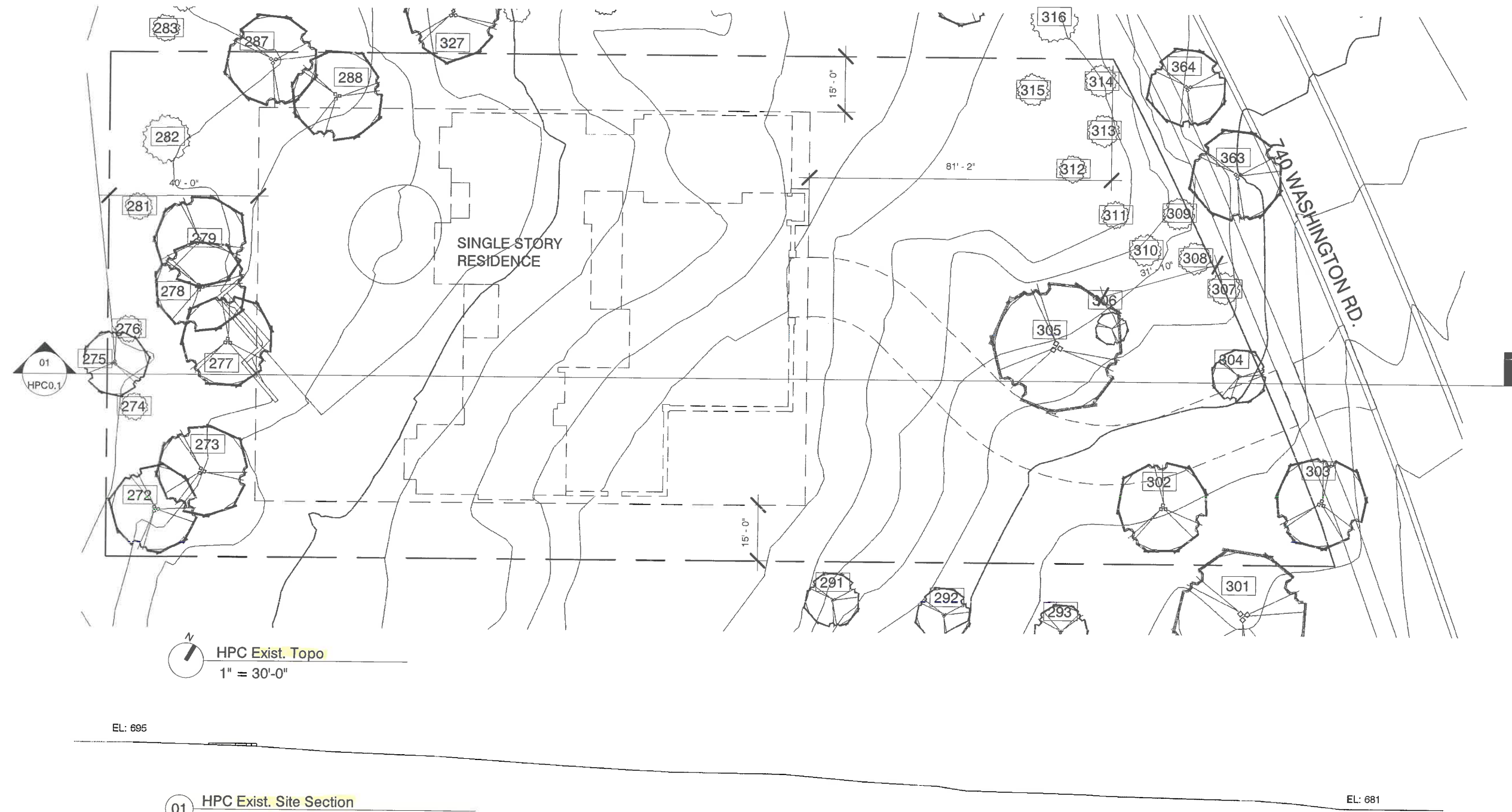
EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

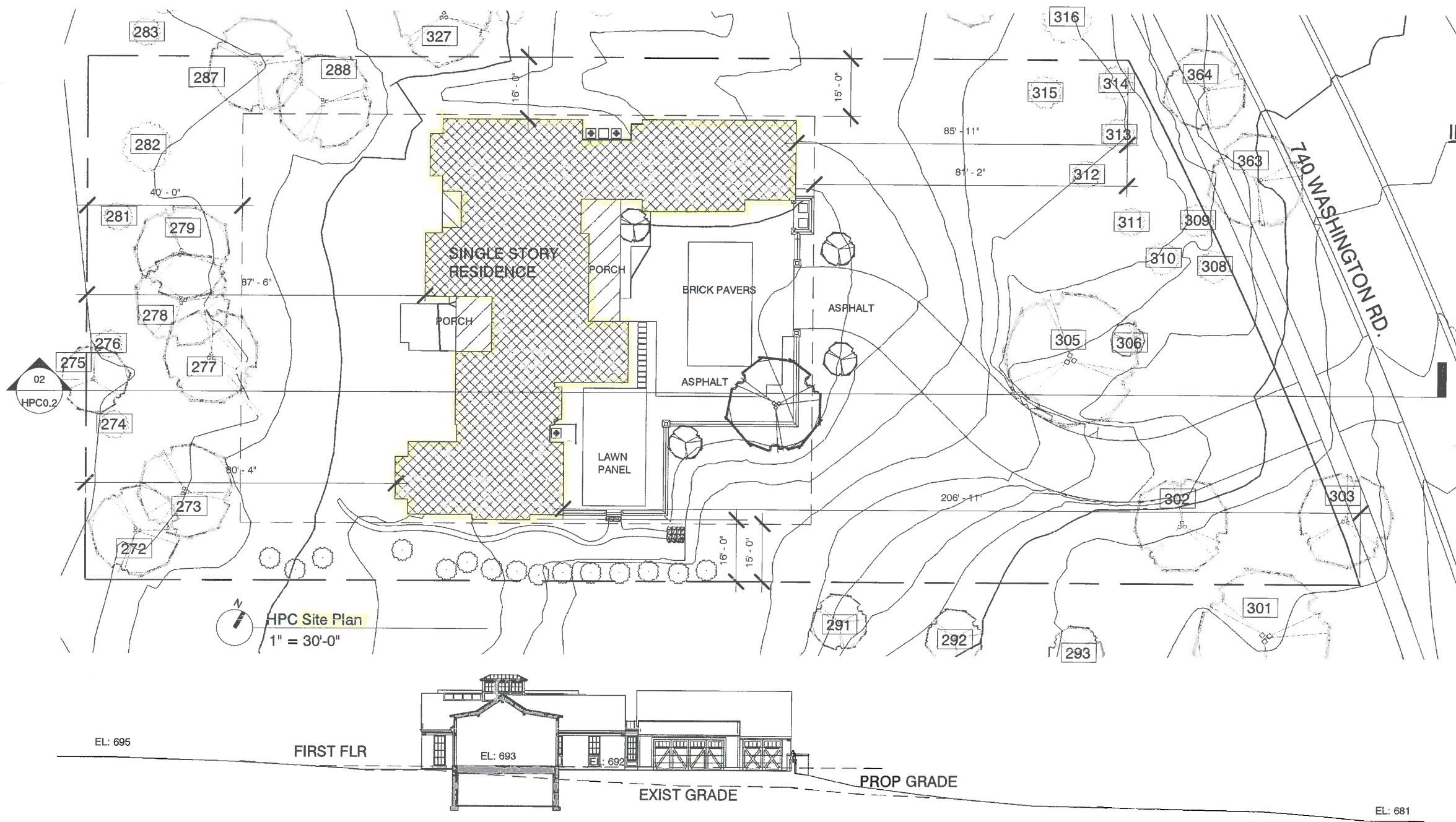
HPC SET 07/30/2020

EXIST. TOPO

SHEET NO.

HPC0.1





IMPERVIOUS SURFACE CALCULATION

DESCRIPTION	AREA (S.F.)
BUILDING FOOTPRINT	4,959.60
PORCH 1	282.06
PORCH 2	307.68
DRIVEWAY	1761.33
DRIVEWAY (ASPHALT)	1,350.64
DRIVEWAY (BRICK PAVERS)	531.93
BLUESTONE	135.63
BLUESTONE STEPS	51.81
WALL	179.59
WALKWAY	152.36
LOT AREA:	41,052.45
TOTAL SQ FT:	9,712.63
PERCENTAGE:	23.7%



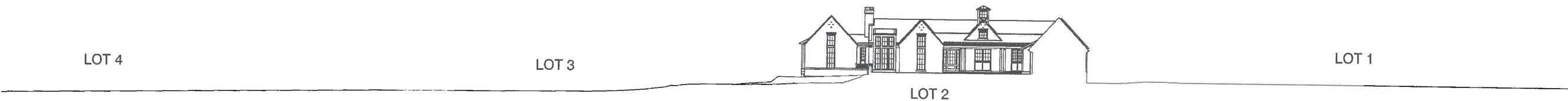
VICINITY MAP



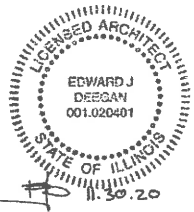
ACROSS FROM LOTS 2 AND 3



ACROSS FROM LOT 1



HPC Site Context
1" = 40'-0"



The Zentmyer Residence
740 Washington Rd.
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

HPC SET 07/30/2020

SITE CONTEXT

SHEET NO.

HPC0.3

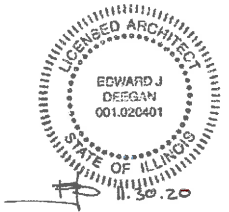


East Elevation
1/8" = 1'-0"

SHEET NO.
HPC2.6
ELEVATIONS
08/12/2020 HPC SET

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Zentmyer Residence
740 Washington Rd.
Lake Forest, IL 60045



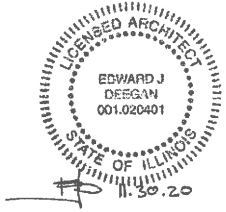


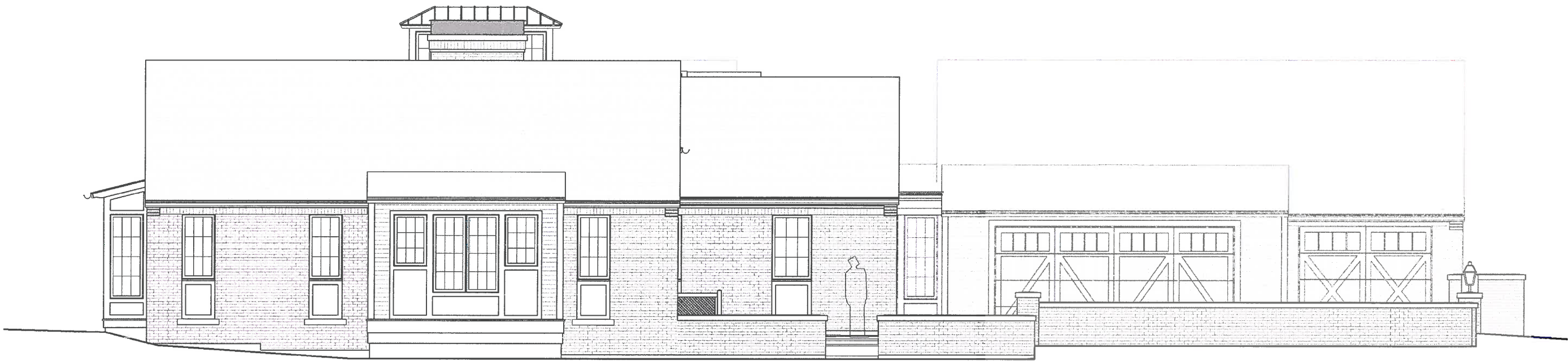
East Elevation
Scale: 1/8"=1'-0"

SHEET NO.
HPC2.2
ELEVATIONS
08/12/2020 HPC SET

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Zentmyer Residence
740 Washington Rd.
Lake Forest, IL 60045





South Elevation
1/8" = 1'-0"

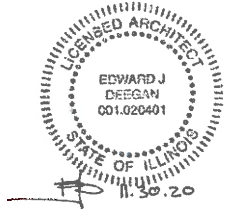
SHEET NO.
HPC2.7

ELEVATIONS

08/12/2020 HPC SET

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Zentmyer Residence
740 Washington Rd.
Lake Forest, IL 60045



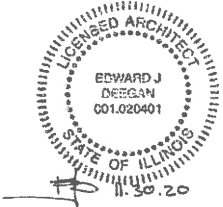


South Elevation
Scale: 1/8"=1'-0"

SHEET NO.
HPC2.3
ELEVATIONS
08/12/2020 HPC SET

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Zentmyer Residence
740 Washington Rd.
Lake Forest, IL 60045



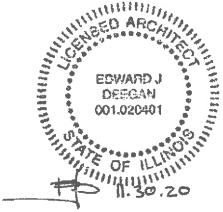


West Elevation
1/8" = 1'-0"

SHEET NO.
HPC2.8
ELEVATIONS
08/12/2020 HPC SET

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Zentmyer Residence
740 Washington Rd.
Lake Forest, IL 60045





West Elevation
Scale: 1/8"=1'-0"

SHEET NO.
HPC2.4

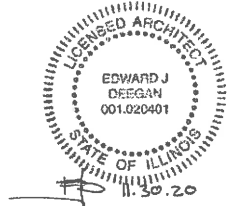
ELEVATIONS

08/12/2020 HPC SET

EDWARD DEEGAN
ARCHITECTS

503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Zentmyer Residence
740 Washington Rd.
Lake Forest, IL 60045



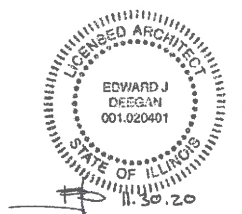


North Elevation
1/8" = 1'-0"

SHEET NO.
HPC2.5
ELEVATIONS
08/12/2020 HPC SET

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Zentmyer Residence
740 Washington Rd.
Lake Forest, IL 60045



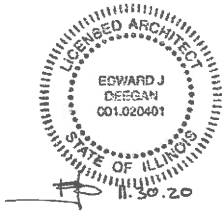


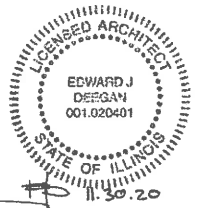
North Elevation
Scale: 1/8"=1'-0"

SHEET NO.
HPC2.1
ELEVATIONS
08/12/2020 HPC SET

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

The Zentmyer Residence
740 Washington Rd.
Lake Forest, IL 60045





The Zentmyer Residence
740 Washington Rd.
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

HPC SET 07/30/2020

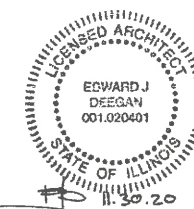
RENDER

SHEET NO.

HPC2.3



Front Perspective



The Zentmyer Residence
740 Washington Rd.
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

HPC SET 07/30/2020

RENDER

SHEET NO.

HPC2.4

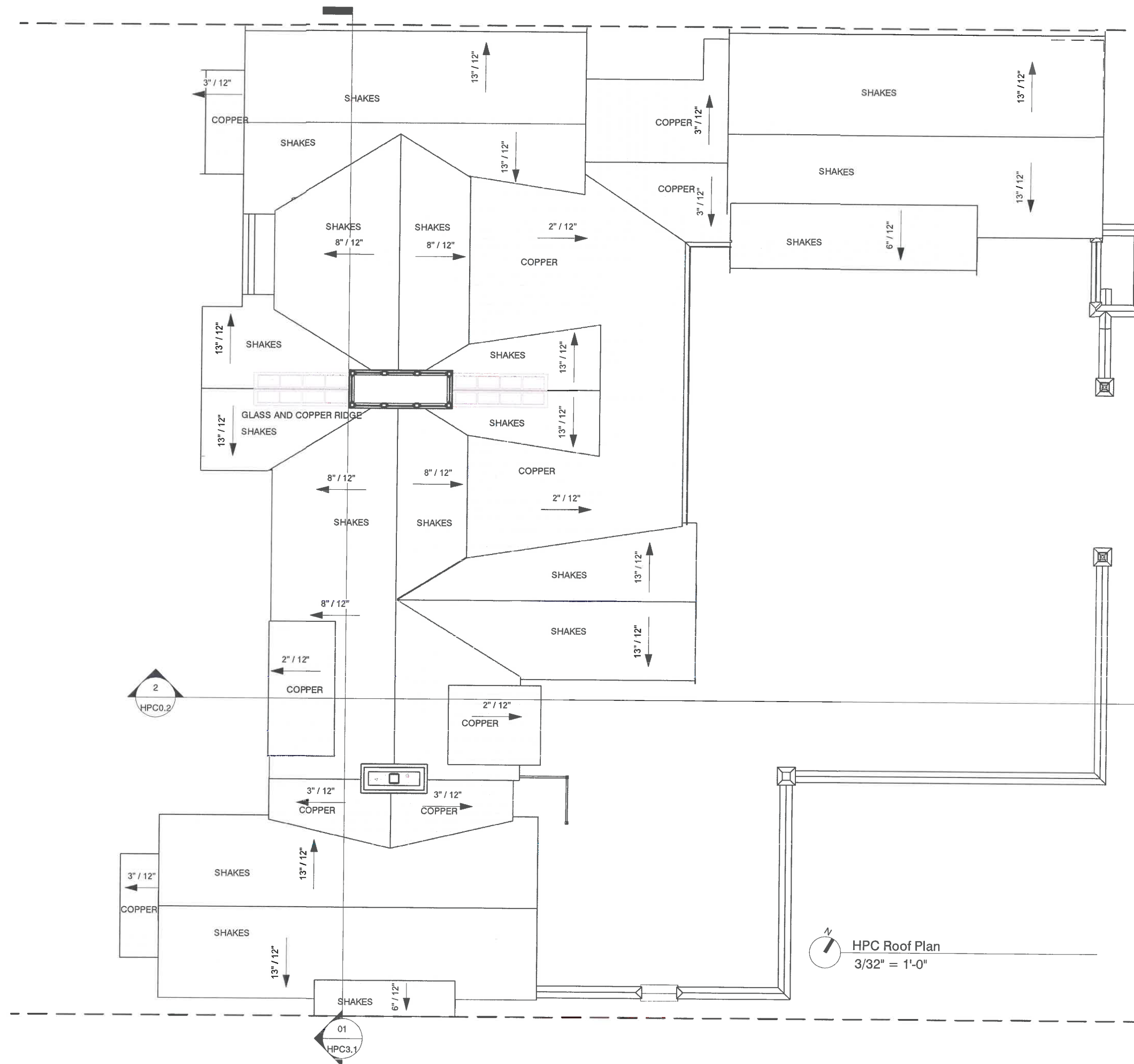


Rear Perspective

EDWARD J
DEEGAN
001.020401
11.30.20

**EDWARD DEEGAN
ARCHITECTS**
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

HPC1.3



EDWARD J DEEGAN

001.020401

STATE OF ILLINOIS

11.30.20

EDWARD DEEGAN

ARCHITECTS

503 Park Drive #4

Kenilworth IL 60043

(847) 906-4110

The Zentmyer Residence

740 Washington Rd.

Lake Forest, IL 60045

HPC SET 07/30/2020

SECTIONS

SHEET NO.

HPC3.1

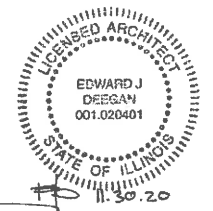
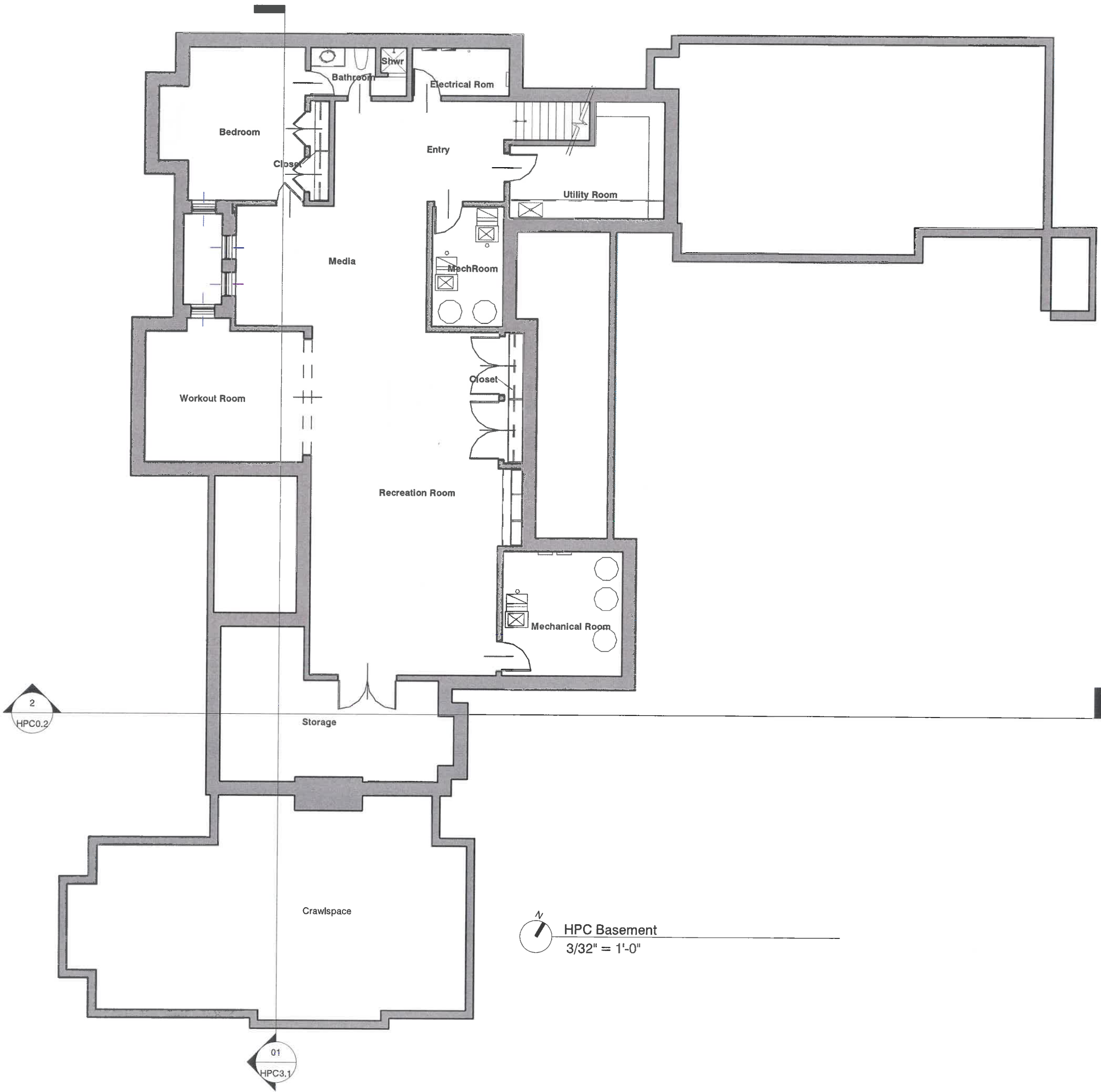
Master Bath Shower Hall Great Room Rear Porch Breakfast Shower Bathroom Craft Room

Crawlspace Storage Workout Room Media Bedroom

First Floor (Rough) 10' - 4"

Basement -10' - 4 1/4"

01 HPC Section
3/32" = 1'-0"



The Zentmyer Residence
740 Washington Rd.
Lake Forest, IL 60045

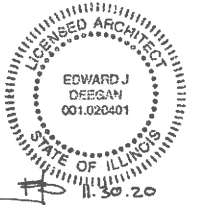
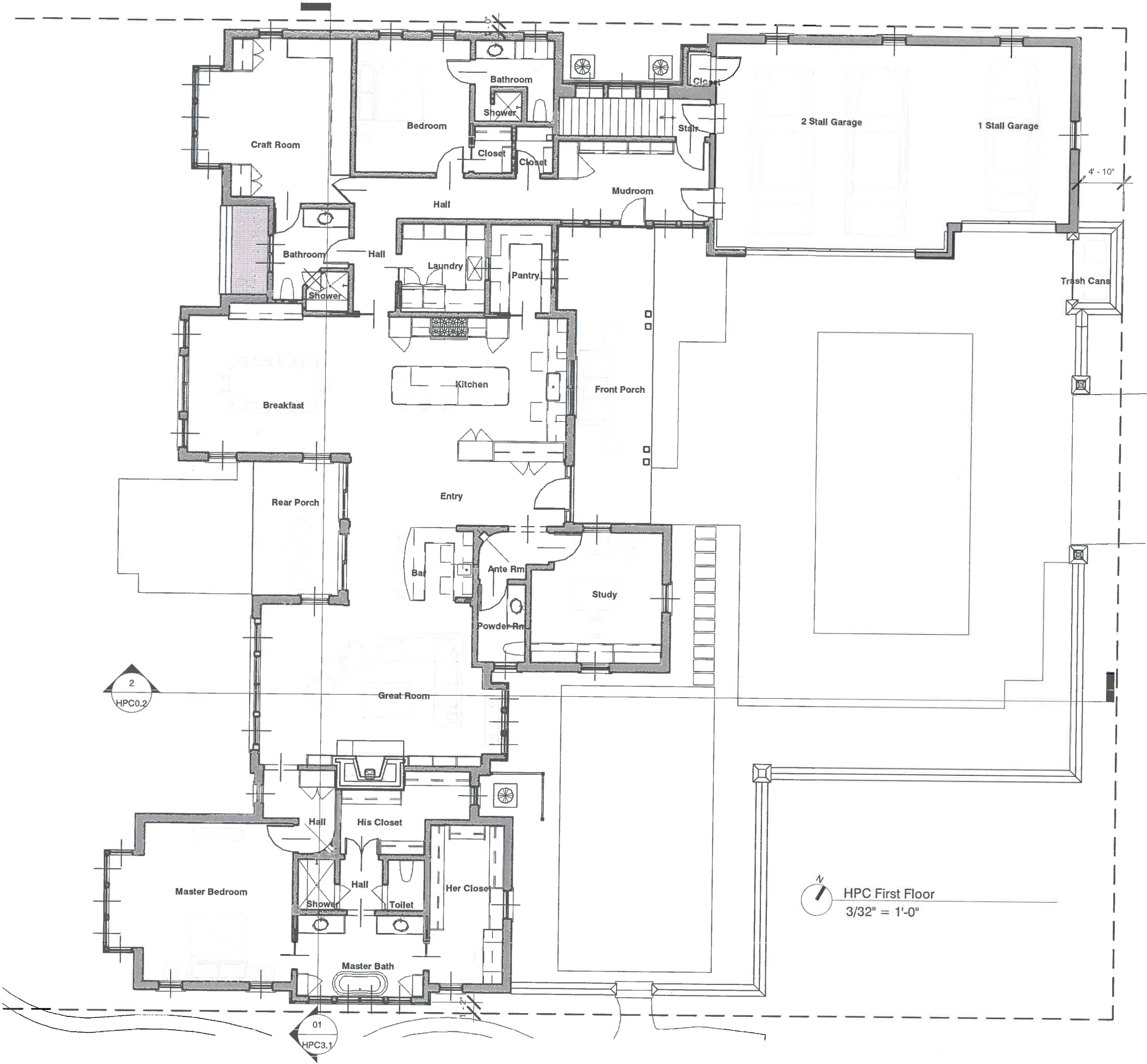
EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

HPC SET 07/30/2020

BASEMENT

SHEET NO.

HPC1.1



The Zentmyer Residence
740 Washington Rd.
Lake Forest, IL 60045

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Kenilworth IL 60043
(847) 906-4110

HPC SET 07/30/2020

FIRST FLOOR

SHEET NO.

HPC1.2



Bleck Engineering Company, Inc
1375 North Western Avenue Lake Forest, IL 60045
T 847.295.5200 F 847.295.7081 W bleckeng.com

MEMO

August 7, 2020
Job No. 70-1051-2

To: Cathy Czerniak, Director Community Development

From: Patrick J. Bleck, PE

Re: Zentmyer Residence
Margaret M. & Hampden M. Swift Memorial Subdivision Lot 2

The topographic survey of Lot 2 reveals the property generally slopes from the westerly property line to the southeast corner of the lot. The elevation along the western property line is approximately 695 and the southeasterly property corner has an elevation of 680, there is a fifteen (15) foot change in elevation across the property.

The western line of the building envelope has an elevation of 694 and slopes towards the southeasterly corner of the building envelope is at elevation of 687, there is a seven (7) foot change in elevation across the building envelope.

The goal on sighting the foundation of the proposed house within the building envelope was to keep the foundation as low as possible, but high enough to provide proper drainage around the foundation. The existing ground elevation at the four corners of the building foundation are as follows:

- Northwest corner of foundation is approximately 692.8
- Southwest corner of foundation is approximately 691.0
- Northeast corner of foundation is approximately 688.8
- Southeast corner of foundation is approximately 688.5

The top of foundation has been established to be 692.87, the finished floor elevation of the structure is 793.06. There will be two (2) steps down to the garage floor elevation at the doors of 692.1. The auto-court area slopes toward the driveway and the elevation of the driveway at the auto-court was established to be 690.9. This elevation was established from the eastern garage stall and sloping down at 6% gradient. The existing sidewalk at the proposed driveway is 681.24, therefore the elevation drop between the between the auto-court and sidewalk is approximately 9.6 feet, which will provide a slope of 6.36% for the driveway. The steepness of the driveway is within range of recommended slopes.

BLECK
engineers | surveyors

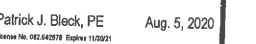
Lot 2 Swift Subdivision

Zentmyer
Residence

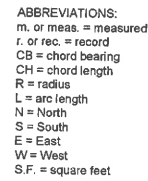
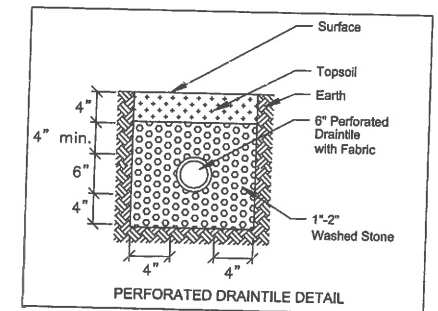
ARROW NUT ON FIRE HYDRANT
NORTH PARKWAY AT INTERSECTION
WASHINGTON ROAD & WESTMINSTER
ELEVATION = 687.20

PROFESSIONAL SEAL

"To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."



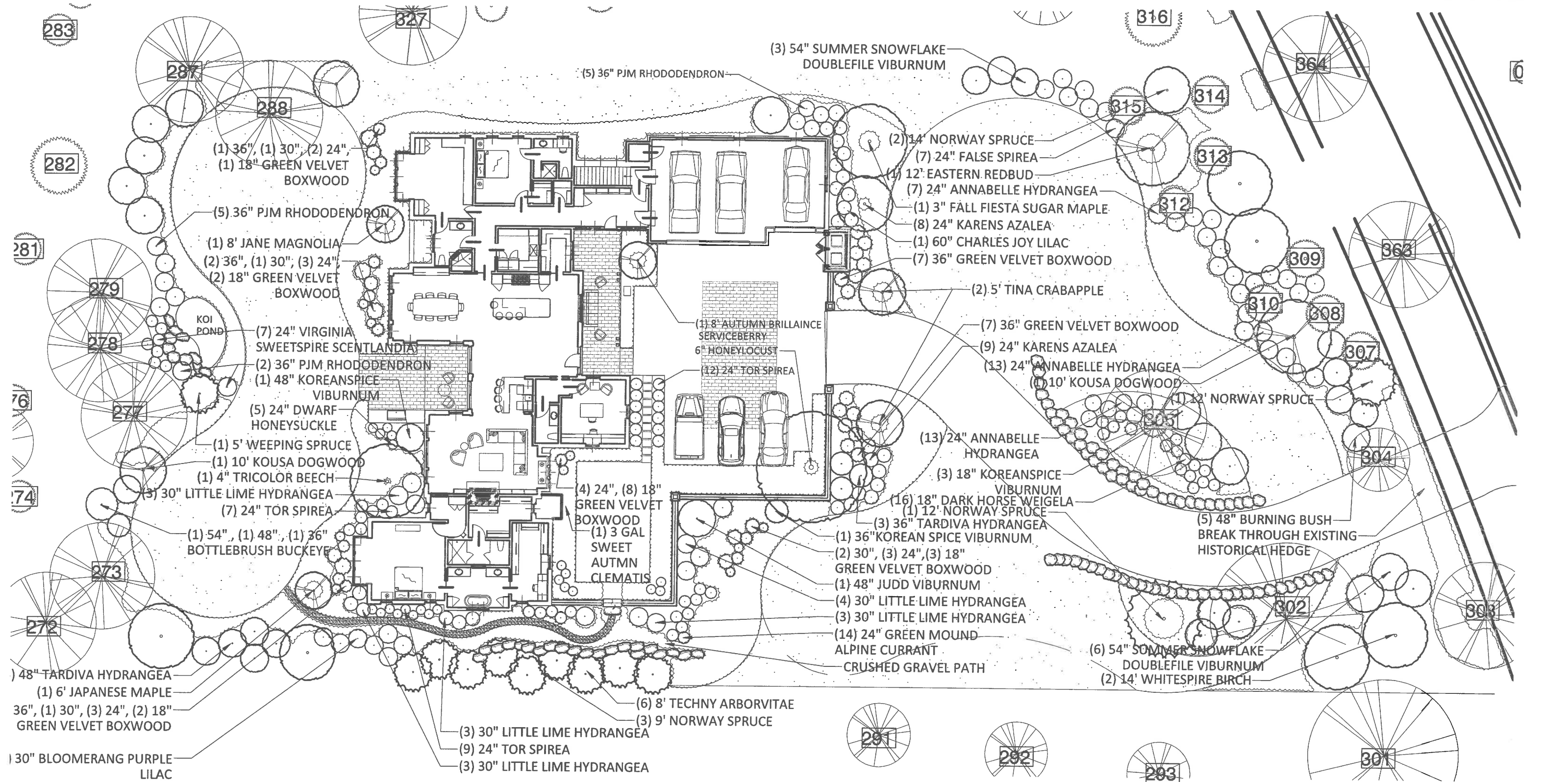
70-1051-2	Project No.
DJD	Drawn By
PJB	Checked By
Drawing No.	
1	
Drawing Name	
Preliminary Site Grading Plan	



No.	Species	Size	Cond	Form	Height
272	american elm	33	3	3	X
273	white oak	38	3	4	X
274	eastern arborvitae	9	4	4	
275	norway maple	18	3	4	X
276	eastern arborvitae	8	3	4	
277	white oak	27	3	4	X
278	white oak	20	3	4	X
279	white oak	24	3	4	X
281	eastern arborvitae	10	3	3	
282	norway spruce	16	3	3	
287	northern red oak	34	4	3	X
288	northern red oak	32	4	4	X
292	silver maple	14	3	3	
303	northern red oak	28	3	3	X
304	hawthorn	9	3	3	
305	northern red oak	42	3	5	X
306	black cherry	10	3	4	
307	norway spruce	20	3	4	X
308	norway spruce	23	3	3	X
309	norway spruce	15	3	3	
310	norway spruce	15	3	3	X
311	eastern arborvitae	12	3	4	
312	eastern arborvitae	16	4	4	
313	norway spruce	18	3	4	X
314	norway spruce	17	3	3	
315	eastern white pine	15	3	3	
363	northern red oak	34	3	4	X
364	northern red oak	45	3	3	X

TREE INVENTORY - Urban Forst Management 3/25/19

<u>No.</u>	<u>Species</u>	<u>Size</u>	<u>Cond</u>	<u>Form</u>	<u>Heritage</u>
272	american elm	33	3	3	X
273	white oak	38	3	4	X
274	eastern arborvitae	9	4	4	
275	norway maple	18	3	4	X
276	eastern arborvitae	8	3	4	
277	white oak	27	3	4	X
278	white oak	20	3	4	X
279	white oak	24	3	4	X
281	eastern arborvitae	10	3	3	
282	norway spruce	16	3	3	
287	northern red oak	34	4	3	X
288	northern red oak	32	4	4	X
302	silver maple	14	3	3	
303	northern red oak	29	3	3	X
TO BE REMOVED → 304	hawthorn	9	3	4	
HERITAGE → 305	northern red oak	42	3	3	X
OAK TREE					
306	black cherry	10	3	4	
307	norway spruce	20	3	4	X
308	norway spruce	23	3	3	X
309	norway spruce	15	3	3	
310	norway spruce	18	3	3	X
311	eastern arborvitae	12	2	4	
312	eastern arborvitae	16	4	4	
313	norway spruce	18	3	4	X
314	norway spruce	17	3	3	
315	eastern white pine	15	3	3	
363	northern red oak	34	3	4	X
364	northern red oak	45	3	3	X



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SCALE: 1" = 20'-0"

CLIENT: Hugh & Diane Zentmeyer

CONSULTANTS:

GENERAL NOTES:

ISSUED FOR:		
ZENTMYER		
ALTERNATE		
DRIVE OPTION		
PROJECT:		
Zentmeyer Residence		
740 Washington Road Lake Forest, IL 60045		
DESIGNED BY: KB, PR		
DRAWN BY: KB		
REVISIONS:		
1	07/15/2020	HPC
NO	DATE	ISSUE

CORRESPONDENCE

Baehr, Jennifer

From: ROBIN DONNELLEY <reweiss214@aol.com>
Sent: Tuesday, August 18, 2020 11:11 AM
To: Baehr, Jennifer
Subject: 740 Washington Rd...

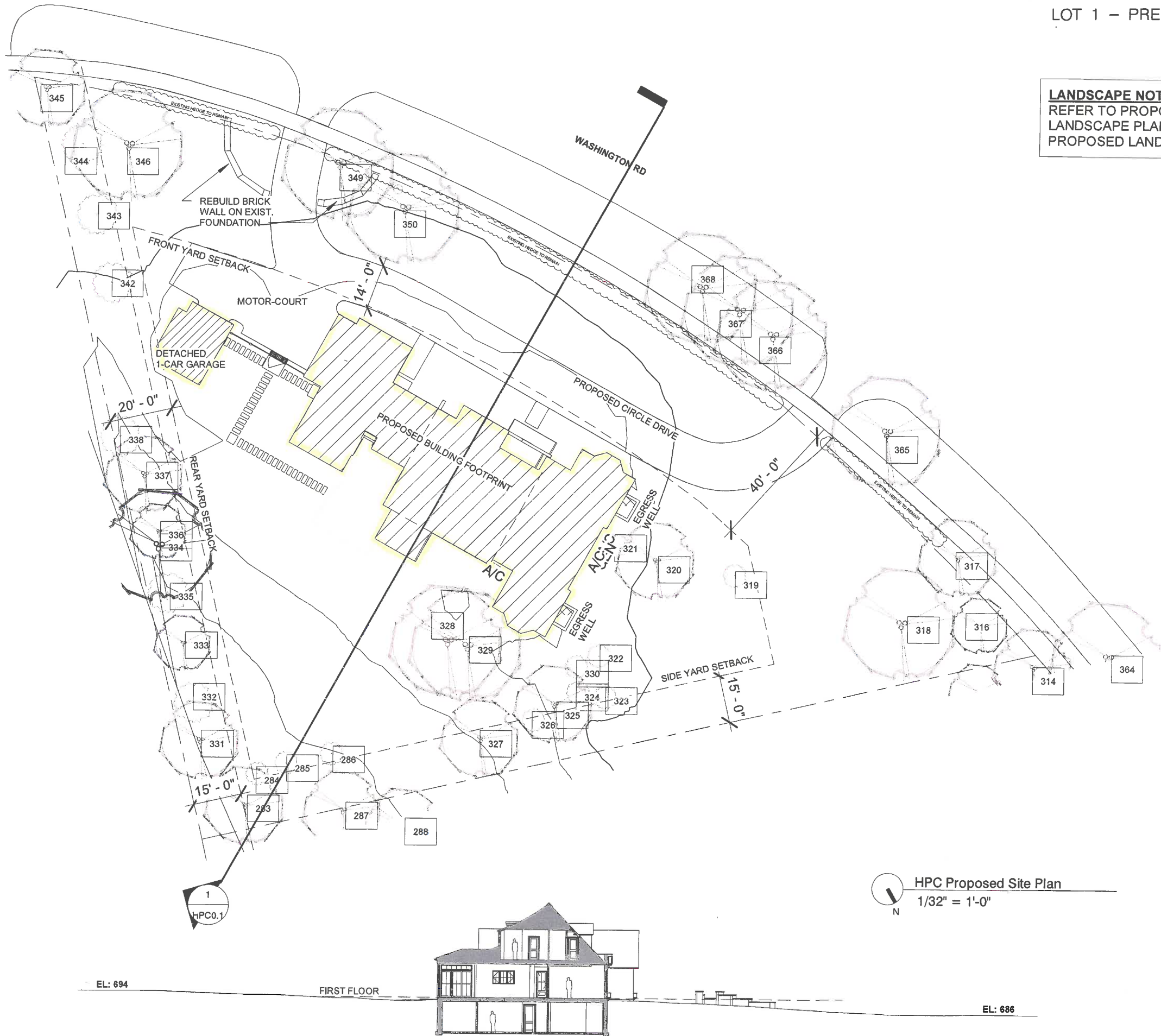
Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from outside the organization. Verify the legitimacy of the email with the sender before clicking links or opening attachments from unexpected sources.

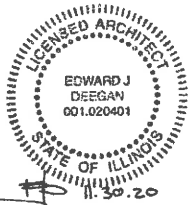
The new residence that is going to be constructed at 740 Washington Road looks like it will blend in with the surrounding houses. I do hope that before construction begins... the entire overgrown trees and bushes... that surrounds the area needs serious attention..... Residents who walk their dogs, push baby carriages, etc..have to dodge overhanging cypress trees, bushes, tree branches,overgrown weeds.. that are definitely encroaching on the sidewalk... making it quite dangerous for people to navigate the area.... Thank you... Robin Donnelley.. 333 East Westminster...

Sent from my iPad

LOT 1
PRELIMINARY PLANS



LANDSCAPE NOTE:
REFER TO PROPOSED
LANDSCAPE PLAN FOR
PROPOSED LANDSCAPING



Sperzel Residence
774 Washington Rd,
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

HPC SET 08/14/2020

PROP. SITE PLAN

SHEET NO.

HPC0.2

HPC Proposed Site Plan
1/32" = 1'-0"

HPC Prop. Site Section



Front Perspective

Scale: N/A

SHEET NO.

HPC4.2

PERSPECTIVE VIEW

08/12/2020 HPC SET

**EDWARD DEEGAN
ARCHITECTS**

503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

Sperzel Residence
774 Washington Rd,
Lake Forest, IL 60045

