

**THE CITY OF LAKE FOREST
CITY COUNCIL AGENDA**

Monday, August 7, 2023, 6:30 p.m.
220 E. Deerpath
Lake Forest, IL 60045

CALL TO ORDER AND ROLL CALL

6:30 p.m.

Honorable Mayor, Stanford R. Tack

Nancy Novit, Alderman First Ward

Jim Preschlack, Alderman Third Ward

Joseph R. Waldeck, Alderman First Ward

Ara Goshgarian, Alderman Third Ward

Edward U. Notz, Jr., Alderman Second Ward

Eileen Looby Weber, Alderman Fourth Ward

John Powers, Alderman Second Ward

Richard Walther, Alderman Fourth Ward

PLEDGE OF ALLEGIANCE

REPORTS OF CITY OFFICERS

1. COMMENTS BY MAYOR

A. Police Department Promotion

- Karl Walldorf, Chief of Police

1. Swear in Deputy Chief Kevin Zelk

2. COMMENTS BY CITY MANAGER

A. Community Spotlight

- Lake Forest Music Institute

B. Overview: Central Business District - Implementation Priorities

- Catherine Czerniak, Director of Community Development

3. OPPORTUNITY FOR CITIZENS TO ADDRESS THE CITY COUNCIL

4. COMMITTEE REPORTS

5. ITEMS FOR OMNIBUS VOTE CONSIDERATION

1. Approval of June 17, 2023, City Council Meeting Minutes

A copy of the minutes can be found beginning on **page 10**.

COUNCIL ACTION: Approval of June 17, 2023, City Council Meeting Minutes

2. Approval of the Check Register for the Period of June 24 to July 28, 2023

STAFF CONTACT: *Elizabeth Holleb, Finance Director (847-810-3612)*

BACKGROUND/DISCUSSION: City Code Section 38.02 sets forth payment procedures of the City. The Director of Finance is to prepare a monthly summary of all warrants to be drawn on the City treasury for the payment of all sums due from the City (including all warrants relating to payroll and invoice payments) by fund and shall prepare a detailed list of invoice payments which denotes the person to whom the warrant is payable. The warrant list detail of invoice payments shall be presented for review to the Chairperson of the City Council Finance Committee for review and recommendation. All items on the warrant list detail recommended for payment by the Finance Committee Chairperson shall be presented in summary form to the City Council for approval or ratification. Any member of the City Council shall, upon request to the City Manager or Director of Finance, receive a copy of the warrant list detail as recommended by the Finance Committee Chairperson. The City Council may approve the warrant list as so recommended by the Finance Committee Chairperson by a concurrence of the majority of the City Council as recorded through a roll call vote.

The Council action requested is to ratify the payments as summarized below. The associated payroll and invoice payments have been released during the check register period noted.

Following is the summary of warrants as recommended by the Finance Committee Chairperson:

Check Register for June 24- July 28, 2023

	Fund	Invoice	Payroll	Total
101	General	682,690	1,886,393	2,569,083
501	Water & Sewer	309,843	203,016	512,859
220	Parks & Recreation	258,262	603,065	861,327
311	Capital Improvements	2,092,374		2,092,374
202	Motor Fuel Tax	258		258
230	Cemetery	324,617	43,357	367,974
210	Senior Resources	15,728	31,412	47,140
510	Deerpath Golf Course	88,003	2,545	90,548
601	Fleet	122,790	61,208	183,998
416 - 434	Debt Funds	3,699		3,699
248	Housing Trust			0
201	Park & Public Land	9,000		9,000
	All other Funds	1,059,359	195,567	1,254,926
		\$4,966,623	\$3,026,562	\$7,993,185

The amount reported as "All other Funds" includes \$405,835 in Library expenses and \$486,456 in medical/dental plan expenses.

COUNCIL ACTION: Approval of the Check Register for the Period of June 24 to July 28, 2023

3. Approval to Purchase the Verkada Security Camera System from Modern Media Technologies in the Amount of \$50,085, and Structured Cabling from Graybar in the Amount of \$14,800

*STAFF CONTACT: Jim Shaw, Director of Innovation and Technology (847-810-3590)
Joseph Gabanski, Assistant Director of Innovation and Technology (847-810-3591)*

PURPOSE AND ACTION REQUESTED: Staff requests approval to expend capital funds for a Security Camera System for the Recreation Center.

BACKGROUND/DISCUSSION: This authorization would allow for continuation of an upgraded centralized Security Camera System and associated hardware for the Recreation Center building. With this implementation, activities within coverage zones would be documented and available for department stakeholders and Police in real time and on-demand. This cloud-based system provides granular access and 30-days of historical video. The system also provides real-time notification with robust search and analytical capabilities compliant with the Illinois (740 ILCS 14/) Biometric Information Privacy Act.

While the Recreation Center has existing security cameras in place, staff have challenges in usability, sub-par video quality compared to today’s standards, and difficulty in obtaining replacement analog video hardware. This fiscal year’s project is part of an envisioned multi-year initiative that would consolidate discontinuous security camera systems currently in place and expand to City locations that have little to no coverage. Most City sites including parks are included in the plan and locations have been prioritized based on department feedback regarding level of need.

PROJECT REVIEW/RECOMMENDATIONS:

Milestone	Date	Comments
RFP Issuance	09/30/2022	
Vendor Proposals Submitted	10/19/2022	Fourteen Vendors Submitted Proposals. Received & Reviewed
System Demonstrations	11/04/2022-11/14/2022	Review & Recommendation by City Selection Committee
Project Phase 1	3/20/2023	Approved by City Council

BUDGET/FISCAL IMPACT: On September 30, 2022, a Request for Proposals (RFP) for a citywide security camera solution was released by the City, published in the Lake County News Sun, and posted on the City’s website. On October 19, 2022, the City received fourteen system proposals. A selection committee, comprised of department representatives, reviewed, and evaluated the responses based on the ability to fulfill identified needs, vendor qualifications, references, and proposed cost. Vendors were selected as finalists and provided a demonstration of their proposed system.

Based on the City selection committee’s scoring of demonstrations, staff’s recommended vendor is Modern Media Technologies for the Verkada Security Camera system. Modern Media is being recommended due to their product offering, quality of workmanship previously performed, understanding of our environment, and cost. The vendor has successfully

completed audio/visual work for the City at Municipal Services, City Hall, Dickinson Hall, the Recreation Center/CROYA, and the Water Plant. They also come highly recommended by the Lake Forest School System being their vendor for AV and Security Camera systems. Modern Media is locally based out of Lake Bluff.

City staff has performed extensive walkthroughs of all City sites with the vendor to confirm camera coverage and most appropriate types of hardware. This included verification to ensure that the specific scope of the hardware proposed, implementation, training, and on-going services is right-sized for the City.

Has City staff obtained competitive pricing for proposed goods/services? **Yes**

Furthermore, the installation of the cameras in the identified locations will require re-cabling as all existing cameras will be converted from analog to digital ethernet. As part of this phase of the project costs, staff is requesting to expend funds to Graybar as the Omnia Partners bid award winner for structured cabling, cable terminators, and minor peripherals in an amount of \$14,800.

The requested purchase is being made via the joint purchase co-operative, Omnia Partners, who coordinates and maintains lead agency solicited contracts on behalf of local government entities nationwide. Per Section 6.1D of the City's Purchasing Directive, purchases can be made via a variety of governmental joint purchasing programs. Numerous pieces of equipment are bid nationally, and such bids conform to all requirements of the Illinois State bidding laws.

Has City staff obtained competitive pricing for proposed goods/services? **No**
 Specific Exception Requested: Administrative Directive 3-5, Section 6.1D –Government Joint Purchase.

FY2024 Funding Source	Amount Budgeted	Amount Requested	Budgeted? Y/N
IT Capital 311-1303-466.66-13	\$72,000	\$64,885	Y

This project was identified as a FY24 capital project funded via the Capital Improvements Fund and the process to date coincides with the IT Long Range Plan.

COUNCIL ACTION: Approval to Purchase the Verkada Security Camera System from Modern Media Technologies in the Amount of \$50,085, and Structured Cabling from Graybar in the Amount of \$14,800

4. Consideration of Ordinances Approving Recommendations from the Building Review Board. (First Reading, and if Desired by the City Council, Final Approval)

STAFF CONTACT: *Catherine Czerniak,*
Director of Community Development (810-3504)

PURPOSE AND ACTION REQUESTED: The following recommendations from the Building Review Board are presented to the City Council for consideration as part of the Omnibus Agenda.

BACKGROUND:

107 S. Ridge Road – The Building Review Board considered a request for approval of a new residence on a vacant lot. No public testimony was presented on this petition. (Board vote: 5-0, approved)

1021 Prairie Avenue – The Building Review Board considered a request for approval of a building scale variance for a sunroom addition at the rear of the house. No public testimony was presented on this petition. (Board vote: 7-0, approved)

1371 Edgewood Road – The Building Review Board considered a request for approval of a new residence on a vacant lot. No public testimony was presented on this petition. (Board vote: 5-0, approved)

Amberley Woods Courtyard Homes

The Building Review Board considered requests from McNaughton Development for modifications to previously approved plans for new residences in the Amberley Woods development. Testimony was offered by several neighbors expressing concern about continued changes to the previously approved plans and specifically to the proposal to addition of a third, front facing garage bay. Concerns were also expressed about drainage in general in the area. The Board recommended approval of the majority of the changes requested with some refinement and the elimination of the third garage bay as further detailed below.

1845 Amberley Court – The Building Review Board considered a request for approval of modifications including the addition of a single story sunroom at the rear of the house, modifications to the roof form to accommodate a third bedroom on the second floor, the addition of a dormer, and the addition of French doors and windows on the rear elevation. The Board indicated support for all of the requested changes subject to refinement of the dormer to align with the existing dormers in size and placement. (Board vote: 7-0, approved)

1935 Amberley Court – The Building Review Board considered a request for approval of modifications including changes to the detail of the eave returns, the addition of a third front facing garage bay, the addition of a window and modifications to the windows on a projecting bay. The Board indicated support for all of the requested changes with the exception of the addition of a third garage bay. The motion as approved by the Board does not include approval the third garage bay. (Board vote: 7-0, approved)

2015 Amberley Court – The Building Review Board considered a request for approval of modifications including expansion of the family room into an open porch with a triple window and French door, the addition of a single story sunroom at the rear of the house, relocation of a chimney, and extension of the roof form and addition of a double window to accommodate an additional bedroom on the second floor. The Board indicated support for all of the requested changes. (Board vote: 7-0, approved)

Ordinances approving the petitions as recommended by the Building Review Board, with key exhibits attached, are included in the Council packet beginning on **page 15**. The Ordinances, complete with all exhibits, are available for review in the Community Development Department.

COUNCIL ACTION: If determined to be appropriate by the City Council, waive first reading and grant final approval of the Ordinances approving the petitions in accordance with the Building Review Board's recommendations.

5. **Consideration of Final Approval of an Ordinance Adopting an Updated Chapter of the Comprehensive Land Use Plan as it Relates to the Central Business District AND Consideration of a Motion Establishing Priorities for Implementation: 1) Infrastructure, 2) Bank Lane Enhancement, and 3) Inner Ring – Pro -active Planning. (Final Approval of Ordinance and Approval of a Motion Establishing Priorities)**

*PRESENTED BY: Catherine J. Czerniak,
Director of Community Development (847-810-3504)*

PURPOSE AND ACTION REQUESTED: As a follow up to the almost year long process of community engagement and deliberations by the Central Business District Adhoc Working Group and the Plan Commission, an updated chapter to the Comprehensive Land Use Plan focusing on the Central Business District is presented to the Council for final action and direction on implementation priorities.

BACKGROUND

On July 17th the City Council heard a presentation, invited public comment and voted unanimously to approve first reading of an ordinance approving the updated Central Business District chapter. This planning process continues the City's tradition of careful and comprehensive long term planning.

Central Business District Process and Recommendations

The review and update process for the Central Business District chapter offered numerous opportunities for public input and involvement. A Working Group served as advisory to City staff and the City's consultant, Teska Associates, in the development of early drafts of the chapter. Public input opportunities included individual interviews, focus groups, an online poll and comment map, a community workshop, and a public hearing before the Plan Commission over the course of two meetings. Because of the importance of the Central Business District to the entire community, the public engagement process was more robust than those used in the past.

The updated Central Business District chapter is included in the Council packet beginning on **page 74**. Some key concepts presented in the chapter are summarized below.

- The Central Business District is sized appropriately and does not need to be expanded or reconfigured.
- The Core of the District must be preserved, protected and enhanced.
- Overall character is important - distinctive and uniquely Lake Forest.
- There are many strengths to build on, but there are also weaknesses and opportunities.
- The District is comprised of distinct and different areas: the Core, the Inner Ring, and the Neighborhood Business Areas.
- City investment in infrastructure is critical to incenting private investment, attracting new businesses, and retaining existing businesses.

- Some buildings should be targeted for adaptive reuse and preserved, other sites are appropriate for, and some are in need of, redevelopment.
- Returning multi-family residential options to the District will help support businesses and create vitality, day and night.
- Retail alone can no longer be relied on to support the District, a mix of uses is necessary as is flexibility in order to sustain and build the vitality of the District over the long term.
- Parking is critical to retaining and attracting new businesses, the City has a key role to play in assuring adequate and convenient parking.
- Transitions between the commercial areas and the surrounding residential neighborhoods need to be carefully considered to preserve and protect the residential neighborhoods.

In addition to recommending approval of the updated chapter, the Plan Commission forwarded the following recommendations for implementation priorities to the City Council.

- *Infrastructure*

Evaluate infrastructure. Invest in maintenance and upgrading of infrastructure in the Central Business District to support continued vitality and to encourage private investment in the District. (streets, sidewalks, stormsewers, parking, lighting, landscaping, public restrooms, accessibility improvements)

- *Bank Lane*

Develop a plan and timeline for enhancements to Bank Lane to create a distinctive and welcoming walkable corridor. Establish a process, conduct the necessary studies, allocate funding and provide opportunities for public input. Encourage private investment by leading through public investment in infrastructure along this corridor.

- *Inner Ring*

Pro-actively plan for future development/redevelopment in this area.

BUDGET/FISCAL IMPACT: Adoption of updates to the Comprehensive Land Use Plan does not commit the City to any expenditure of funds or initiate any specific projects. Instead, the vision and desired outcomes highlighted in the Central Business District chapter are a jumping off point and hopefully, inspiration for future discussions, research, deliberations, and action. Any expenditures related to implementation will be considered by the City Council through a separate review process.

By supporting, investing, and guiding, the City can lead the way toward achieving the vision of preservation, enhanced vitality, and sensitive future development in the Central Business District.

COUNCIL ACTIONS: Consideration of Final Approval of an Ordinance Adopting an Updated Chapter of the Comprehensive Land Use Plan as it Relates to the Central Business District. (Final Approval of Ordinance.)

AND

Consideration of a Motion Establishing Priorities for Implementation:

1) Infrastructure, 2) Bank Lane Enhancement, and 3) Inner Ring – Proactive Planning.
(Approval of a Motion Establishing Priorities)

COUNCIL ACTION: Approve the five (5) omnibus items as presented

6. OLD BUSINESS

7. NEW BUSINESS

8. ADDITIONAL ITEMS FOR DISCUSSION/ COMMENTS BY COUNCIL MEMBERS

9. ADJOURNMENT

A copy of the Decision Making Parameters is included beginning on **page 9** of this packet.

Office of the City Manager

August 2, 2023

The City of Lake Forest is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are required to contact City Manager Jason Wicha, at (847) 234-2600 promptly to allow the City to make reasonable accommodations for those persons.





THE CITY OF LAKE FOREST

DECISION-MAKING PARAMETERS FOR CITY COUNCIL, AND APPOINTED BOARDS & COMMISSIONS

Adopted June 18, 2018

The City of Lake Forest Mission Statement:

“Be the best-managed, fiscally-responsible and appealing community and promote a community spirit of trust, respect and citizen involvement.”

The Lake Forest City Council, with the advice and recommendations of its appointed advisory Boards and Commissions, Lake Forest Citizens, and City Staff, is responsible for policy formulation and approval. Implementation of adopted strategy, policy, budgets, and other directives of Council is the responsibility of City Staff, led by the City Manager and Senior Staff. The Mayor and Aldermen, and appointed members of Boards and Commissions should address matters in a timely, deliberate, objective and process-driven manner, making decisions guided by the City of Lake Forest Strategic and Comprehensive Plans, the City’s Codes, policies and procedures, and the following parameters:

- Motions and votes should comprise what is in the best long-term interests of all Lake Forest citizens, measured in decades, being mindful of proven precedents and new precedents that may be created.
- All points of view should be listened to and considered in making decisions with the long-term benefit to Lake Forest’s general public welfare being the highest priority.
- Funding decisions should support effectiveness and economy in providing services and programs, while mindful of the number of citizens benefitting from such expenditures.
- New initiatives should be quantified, qualified, and evaluated for their long-term merit and overall fiscal impact and other consequences to the community.
- Decision makers should be proactive and timely in addressing strategic planning initiatives, external forces not under control of the City, and other opportunities and challenges to the community.

Community trust in, and support of, government is fostered by maintaining the integrity of these decision-making parameters.

The City of Lake Forest’s Decision-Making Parameters shall be reviewed by the City Council on an annual basis and shall be included on all agendas of the City Council and Boards and Commissions.

The City of Lake Forest
CITY COUNCIL MEETING
Proceedings of the Monday, July 17, 2023
City Council Meeting – City Council Chambers
220 E Deerpath, Lake Forest, IL 60045

CALL TO ORDER AND ROLL CALL: Honorable Mayor Tack called the meeting to order at 7:23 p.m., and City Clerk Margaret Boyer called the roll of Council members.

Present: Honorable Mayor Tack, Alderman Novit, Alderman Waldeck, Alderman Notz, Alderman Powers, Alderman Preschlack, Alderman Goshgarian, Alderman Weber, Alderman Walther

Absent: none.

CALL TO ORDER AND ROLL CALL

PLEDGE OF ALLEGIANCE was recited by all.

REPORTS OF CITY OFFICERS

COMMENTS BY MAYOR

- A. **Police Department Promotion**
 - Karl Walldorf, Chief of Police

- 1. **Swear in Deputy Chief Michael Lange**

Mayor Tack sworn in Michael Lange to the role of Deputy Police Chief. Pictures were taken.

COMMENTS BY CITY MANAGER

OPPORTUNITY FOR CITIZENS TO ADDRESS THE CITY COUNCIL

COMMITTEE REPORTS

FINANCE COMMITTEE

*****PUBLIC HEARING ON THE CITY’S ANNUAL APPROPRIATION ORDINANCE*****

Mayor Tack asked for a motion to open the Public meeting.

Alderman Preschlack made a motion to open the Public Hearing, seconded by Alderman Goshgarian. The following voted “Aye”: Alderman Novit, Waldeck, Notz, Powers, Preschlack, Goshgarian, Weber, and Walther. The following voted “Nay”: None. 8-Ayes, 0 Nays, motion carried.

OPEN PUBLIC HEARING at 7:30 p.m.

Mayor Tack opened the opportunity for comment. Seeing none, he asked for a motion to close the Public Hearing.

CLOSE PUBLIC HEARING at 7:31 p.m.

Alderman Weber made a motion to close the Public Hearing, seconded by Alderman Powers. The following voted "Aye": Alderman Novit, Waldeck, Notz, Powers, Preschlack, Goshgarian, Weber, and Walther. The following voted "Nay": None. 8-Ayes, 0 Nays, motion carried.

**1. Consideration of the Annual Appropriation Ordinance for FY2024 and Approval of Rollovers
(Final Reading – Public Hearing Required)**

Elizabeth Holleb, Finance Director, reported while the annual municipal budget represents the City's financial "plan" for expenditures over the course of the fiscal year, the annual Appropriation Ordinance is the formal legal mechanism by which the City Council authorizes the expenditure of public funds. It appropriates specific sums of money by object and purpose. State statutes require the passage of an Appropriation Ordinance by July 31 each year. Ms. Holleb stated that the rollovers are requested to eliminate under and over budgeting of funds in the new fiscal year. The Appropriations Ordinance provides for a 10% "contingency" above the budgeted expenditures for each fund, allowing to approve unbudgeted expenditures based on unanticipated events.

Mayor Tack asked the Council if there were any questions. Seeing none he offered the opportunity for comment. Seeing none, he asked for a motion.

COUNCIL ACTION: Conduct a public hearing on the City's FY2024 Annual Appropriation Ordinance. Upon closing the public hearing, it is recommended that the City Council consider approval of the final reading of the Ordinance and the rollovers. A copy of the ordinance is available for review by the public in the City Clerk's office.

Alderman Preschlack made a motion to approve the Annual Appropriation Ordinance for FY2024 and Approval of Rollovers, seconded by Alderman Goshgarian. The following voted "Aye": Alderman Novit, Waldeck, Notz, Powers, Preschlack, Goshgarian, Weber, and Walther. The following voted "Nay": None. 8-Ayes, 0 Nays, motion carried.

2. GFOA Certificate of Achievement for Excellence in Financial Reporting Award Presentation

Jim Preschlack, Finance Committee Chairman, informed the Council that the city has received notification that it has, for the 44th consecutive year, been awarded the Government Finance Officers Association Certificate of Achievement for Excellence in Financial Reporting for its FY22 Comprehensive Annual Financial Report. Alderman Preschlack presented the award to Diane Hall, Assistant Finance Director. Ms. Hall coordinates the annual audit process and preparation of the City's annual financial report. The City Council offered their congratulations. Pictures were taken.

ITEMS FOR OMNIBUS VOTE CONSIDERATION

- 1. Approval of June 5, 2023, City Council Meeting Minutes**
- 2. Approval of the Check Register for the Period of May 27 – June 23, 2023**
- 3. Approval of an additional Two-Year Professional Services Agreement with Automated Merchant Systems (AMS) to provide credit card processing services.**
- 4. Approve the Purchase of Three Dual Band Portable Radios and Updating Twenty-Six Department Owned Dual Band Capable Portable Radios for the Fire Department from State Bid Vendor Motorola Solutions in the total amount of \$124,616.95**

5. **Waive the Bidding Process and Authorize the Police Department to enter into a three-year agreement with Tyler Technologies for the purchase of replacement Adjudication Software for a total amount of \$87,523.00**
6. **Waive the Bidding Process and Authorize the Police Department to enter into a five-year contract with Flock Safety for the purchase of (10) Ten License Plate Recognition Cameras for a total amount of \$118,250.**
7. **Approval of a Recommendation from the Public Works Committee to Waive the Bid Process and Award Purchase for the Building Maintenance Section Mobile Work Van Replacement to Fyda Freightliner of Cincinnati in the Amount of \$78,163**
8. **Consideration of an Ordinance Approving a Recommendation from the Historic Preservation Commission. (First Reading and if Desired by the City Council, Final Approval)**
9. **Consideration of Ordinance Approving a Recommendation from the Zoning Board of Appeals. (First Reading, and if Desired by the City Council, Final Approval)**
10. **Consideration of Board and Commission Recommendations Related to the Athletic Field Improvements at Deerpath Park. (Waive First Reading and Grant Final Approval of Ordinances)**
11. **Consideration of a Waiver of Permit Fees Associated with an Addition and Drainage Improvements at Cherokee School and a New Playground at Sheridan School. (Approval by Motion)**

COUNCIL ACTION: Approval of the eleven (11) Omnibus items as presented.

Mayor Tack asked members of the City Council if there were any items that they would like removed or taken separately. Alderman Weber requested to approve the June 20 City Council meeting minutes as amended and noted by the Mayor.

Alderman Weber made a motion to approve the eleven (11) Omnibus items as amended, seconded by Alderman Preschlack. The following voted "Aye": Alderman Novit, Waldeck, Notz, Powers, Preschlack, Goshgarian, Weber and Walther. The following voted "Nay": none. 8-Ayes, 0-Nays, motion carried.

Information such as Purpose and Action Requested, Background/Discussion, Budget/Fiscal Impact, Recommended Action and a Staff Contact as it relates to the Omnibus items can be found on the agenda.

OLD BUSINESS

NEW BUSINESS

1. **Consideration of Recommendations from the Plan Commission in Support of Adoption of an Update to the Comprehensive Land Use Plan as it Relates to the Central Business District and Establishing Priorities for Implementation. (First reading of an Ordinance)**

COUNCIL ACTION: Grant first reading of an Ordinance updating the City's Comprehensive Plan as it relates to the Central Business District and establishing implementation priorities as recommended by the Plan Commission.

Catherine Czerniak, Community Development Director, provided the City Council with a presentation on Plan Commission recommendations to update the Comprehensive Land Use Plan, noting the Central Business District as the current chapter pending approval. She noted upcoming processes, working groups appointed by the City Manager, community polling data, and early observations. Ms. Czerniak also highlighted Bank Lane by providing the Council with a video of the Central Business District areas of opportunity. Ms. Czerniak presented the first reading of an Ordinance as approved by the Plan commission updating the CBD chapter, identifying infrastructure, Bank Lane, and the inner ring as priorities.

City Council had discussion on the purpose and importance of Bank Lane, the addition of a glossary to the plan, visual context, and the presence of boards and commissions within the overall process and the Central Business District.

Mayor Tack asked if there was anyone from the public who would like to comment.

Brian Norton discussed the effectiveness of boards and commissions in Lake Forest, noting possible expansions of the historic district and distinctions between the core and the inner ring of the central business district.

Marina Purrier noted the lack of addressing scooters and bicycles in the Bank Lane portion of the process.

Laura Luce addressed the City Council, noting the importance to uphold unanimous decisions of boards and commissions.

Mayor Tack asked if there are any additional comments from the public. Seeing none, he asked for a motion.

COUNCIL ACTION: Grant first reading of an Ordinance (page 80 of the packet) updating the City's Comprehensive Plan as it related to the Central Business District and establishing implementation priorities as recommended by the Plan Commission.

Alderman Notz made a motion to grant first reading of an Ordinance updating the City's Comprehensive Plan as it relates to the Central Business District and Establishing Implementation priorities as recommended by the Plan Commission, seconded by Alderman Preschlack. The following voted "Aye": Alderman Novit, Waldeck, Notz, Powers, Preschlack, Goshgarian, Weber and Walther. The following voted "Nay": none. 8-Ayes, 0-Nays, motion carried.

ADDITIONAL ITEMS FOR COUNCIL DISCUSSION/COMMENTS BY COUNCIL MEMBERS
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The City Council had discussion on the status of the bluff stabilization project, noting plantings and watering, and the overall satisfaction of the project thus far. Mayor Tack asked if there were any additional comments. Seeing none, he asked for a motion to adjourn into executive session.

- 1. EXECUTIVE SESSION pursuant to 5ILCS120/2(c), 1 for the purpose of discussing the hiring, performance, and compensation of City employees.**

Alderman Preschlack made a motion to adjourn into executive session pursuant to 5ILCS120/2(c), 1 for the purpose of discussing the hiring, performance, and compensation of City employees, seconded by Alderman Walther. The following voted "Aye": Alderman Novit, Waldeck, Notz, Powers, Preschlack, Goshgarian, Weber and Walther. The following voted "Nay": none. 8-Ayes, 0-Nays, motion carried.

Adjournment into Executive Session at 8:48 p.m.

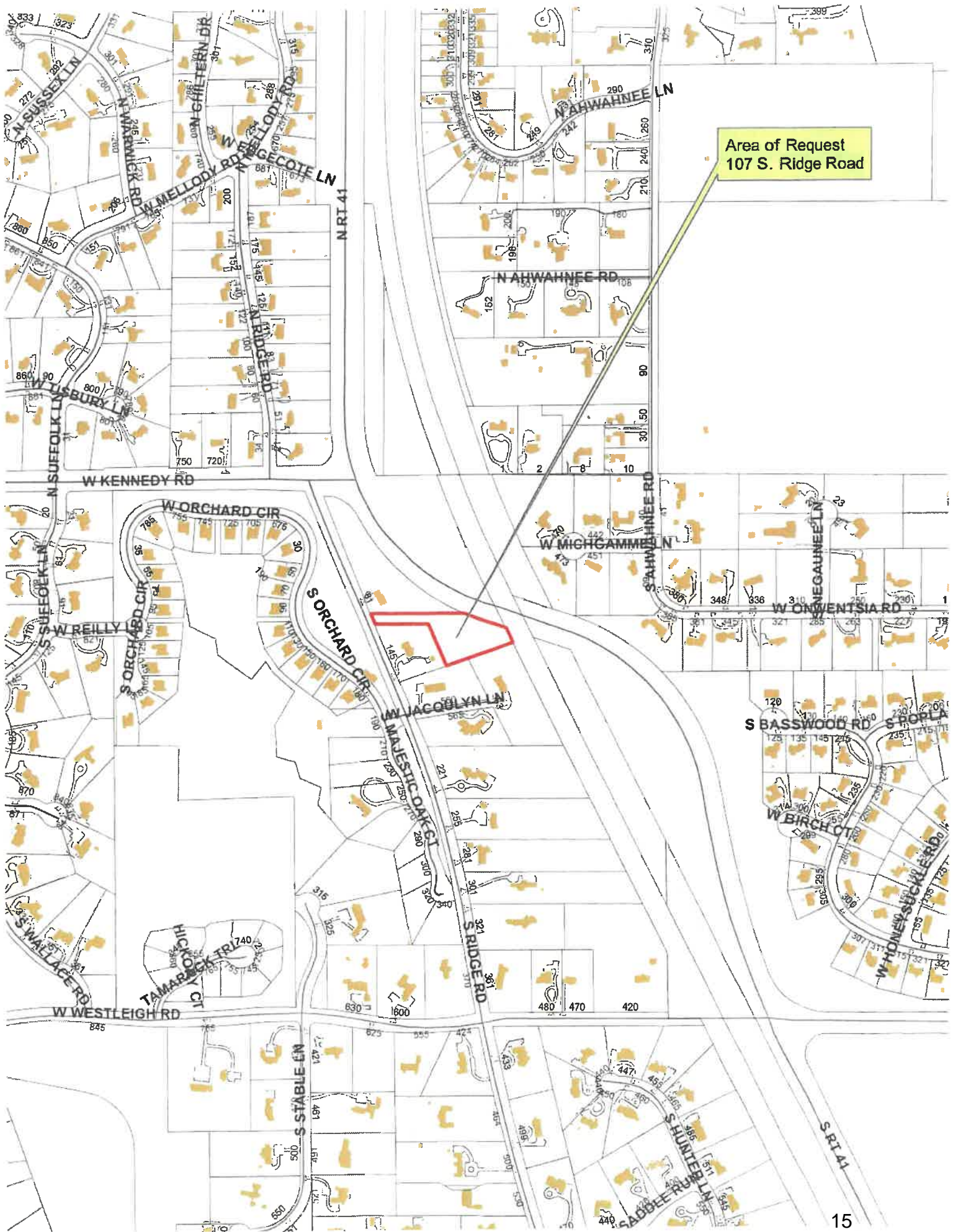
Reconvene into Regular Session at 9:55 p.m.

ADJOURNMENT

There being no further business Mayor Tack asked for a motion. Alderman Novit made a motion to adjourn, seconded by Alderman Goshgarian. Motion carried unanimously by voice vote at 9:56 p.m.

Respectfully Submitted,
Margaret Boyer, City Clerk

A video of the City Council meeting is available for viewing at the Lake Forest Library and on file in the Clerk's office at City Hall. You can also view it on the website by visiting www.cityoflakeforest.com. Click on I Want To, then click on View, then choose Archived Meetings Videos.



Area of Request
107 S. Ridge Road

THE CITY OF LAKE FOREST
ORDINANCE NO. 2023- ____

**AN ORDINANCE APPROVING ARCHITECTURAL AND SITE DESIGN FOR THE
PROPERTY LOCATED AT 107 S. RIDGE ROAD**

WHEREAS, Von Hanovnikian ("**Owner**") is the owner of that certain real property commonly known as 107 S. Ridge Road, Lake Forest, Illinois and legally described in **Exhibit A**, attached hereto ("**Property**"); and

WHEREAS, the Property is located in the R-4, Single Family Residence Zoning District; and

WHEREAS, the Owner desires to construct a new residence and install landscaping ("**Improvements**") as depicted on the site plan and architectural drawings that are attached hereto as **Group Exhibit B** ("**Plans**"); and

WHEREAS, the Owner submitted an application ("**Application**") to permit the construction of the Improvements and was required to present the Plans to the Building Review Board ("**BRB**") for its evaluation and recommendation; and

WHEREAS, pursuant to notice duly published, the BRB reviewed and evaluated the Plans at a public hearing held on June 7, 2023 ; and

WHEREAS, the BRB, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify, made the following findings:

1. the Property is located within the R-4, Single Family Residence District under the City Code,
2. Owner proposes to construct the Improvements as depicted on the Plans,

3. the evidence presented indicates that the construction of the Improvements, if undertaken in conformity with the recommended conditions and the Plans, will meet the design standards and requirements of Section 150.147 of the City Code,

and recommended that the City Council approve the Application and the Plans, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owner's Application to construct the Improvements on the Property, and the findings and recommendations of the BRB, have determined that it is in the best interests of the City and its residents to grant approval to the Application, subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 150.147 of the City Code, and subject to the limitations therein and the conditions set forth in Section Three of this Ordinance, the City Council does hereby grant approval of the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Conditions on Approval. The approval granted pursuant to Section Two of this Ordinance shall be, and is hereby, conditioned upon and limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. Compliance with Laws. Chapters 150, regarding buildings and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. Tree Preservation. The Owner will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.
- D. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans.
- E. Fees and Costs. The Owner shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owners shall reimburse the City for all of its costs (including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.
- F. Other conditions. The improvements shall be substantially in conformance with the Board's deliberations as reflected on *Exhibit C, Notice of Action – Board Recommendation*, attached hereto.

SECTION FOUR: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the discretion of the City Council, be of no force or effect if the Owner has not (i) executed and (ii) thereafter filed with the City Clerk, within 90 days following the passage of this Ordinance, the unconditional agreement and consent, in the form attached hereto as Exhibit D and by this reference made a part hereof, to accept and abide by each and all of the terms, conditions, and limitations set forth herein.

PASSED THIS __ DAY OF _____, 2023.

AYES: ()

NAYS: ()

ABSENT: ()

ABSTAIN: ()

PASSED THIS __ DAY OF _____, 2023.

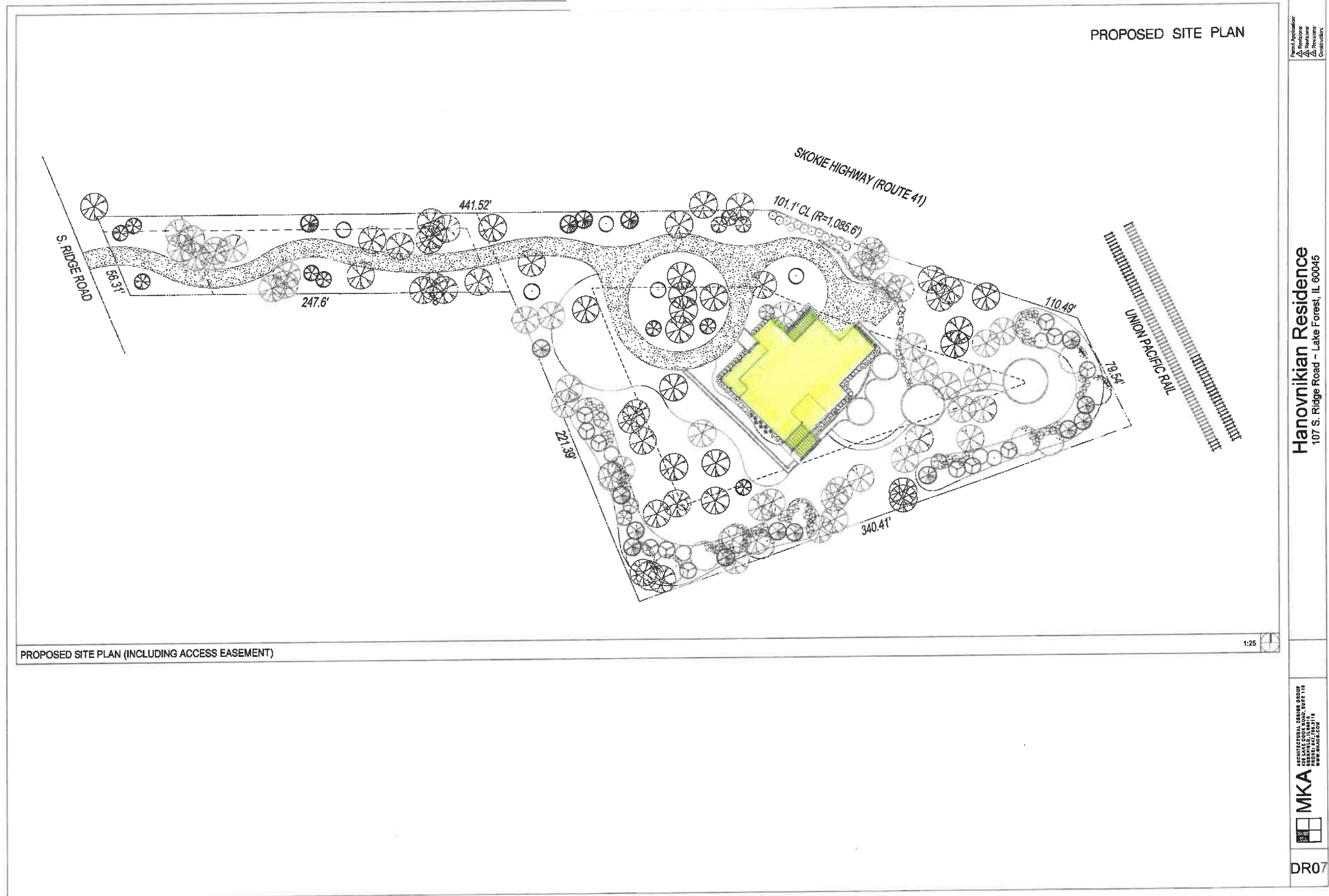
Mayor

ATTEST:

City Clerk

GROUP EXHIBIT B

The Plans



PROPOSED SITE PLAN (INCLUDING ACCESS EASEMENT)

1:25

Permit Application
Site Plan
Site Plan
Construction

Hanovnikian Residence
107 S. Ridge Road - Lake Forest, IL 60045

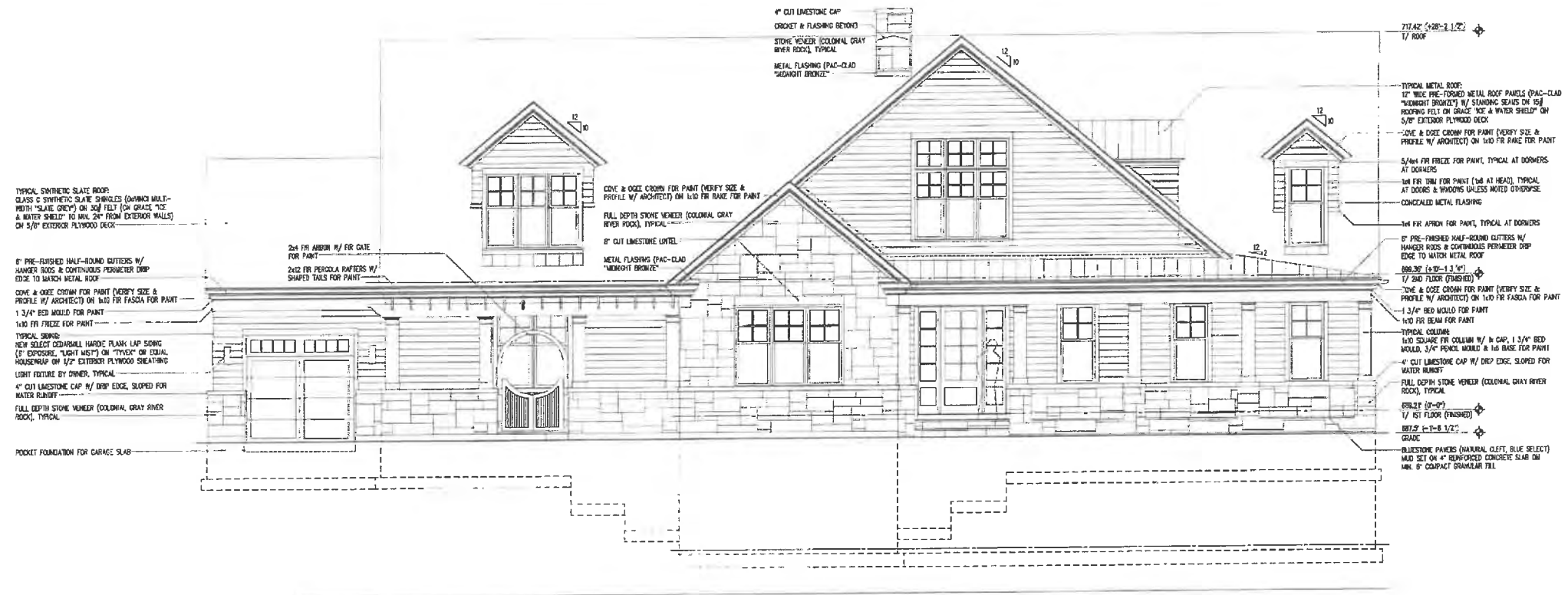
MKA
ARCHITECTURAL, ENGINEERING,
AND LANDSCAPE ARCHITECTURE
P.C.
100 N. LAKE COOK ROAD, SUITE 110
DEERFIELD, IL 60015
WWW.MKAD.COM

DR07

GROUP EXHIBIT B

The Plans

PROPOSED NORTH (FRONT) ELEVATION



Permit Application:
Architectural Designer
Professional Engineer
Professional Surveyor
Professional Geotechnical Engineer
Professional Landscape Architect
Professional Interior Designer
Professional Environmental Engineer
Professional Environmental Scientist
Professional Environmental Planner
Professional Environmental Analyst
Professional Environmental Scientist
Professional Environmental Planner
Professional Environmental Analyst

Hanovnikian Residence
107 S. Ridge Road - Lake Forest, IL 60045

ARCHITECTURAL DESIGN GROUP
107 S. RIDGE ROAD, SUITE 116
LAKE FOREST, ILLINOIS 60045
PH: 847.235.1116
WWW.MKADGROUP.COM

MKA

DR11

GROUP EXHIBIT B

The Plans

PROPOSED WEST ELEVATION



COVE & GEELE DORMY FOR PAINT (NEEPLY SIZE A PROFILE W/ 1/2" RADIUS) ON 1/4" BIR BASE FOR PAINT

TYPICAL SYNTHETIC SLATE ROOF:
CLASS C SYNTHETIC SLATE SHINGLES (DORMER MULTI-WIDTH - SLATE GREY) ON 3/8" FELT (ON GRADE "ICE & WATER SHIELD" TO MIN. 2" FROM EXTERIOR WALLS) ON 5/8" EXTERIOR PLYWOOD DECK

TYPICAL SIDING:
NEW SELECT CEDAR/MILL HARDW. PLANK LAP SIDING (6" EXPOSURE, "LIGHT MIST") ON "TYNEX" OR EQUAL HOUSEWRAP ON 1/2" EXTERIOR PLYWOOD SHEATHING

1/4" FR. ITEM FOR PAINT (1/2" AT HEAD), TYPICAL AT DOORS & WINDOWS UNLESS NOTED OTHERWISE

CONCEALED METAL FLASHING

TYPICAL METAL ROOF:
12" WIDE PRE-FINISHED METAL ROOF PANELS (PAC-CLAD "MIDNIGHT BRONZE") W/ STANDING SEAMS ON ICE ROOFING FELT ON GRADE "ICE & WATER SHIELD" ON 5/8" EXTERIOR PLYWOOD DECK

6" PRE-FINISHED HALF-ROUND GUTTERS W/ HANGER RODS & CONTINUOUS PERIMETER DRIP EDGE TO MATCH METAL ROOF

TYPICAL COLUMN:
1/2" SQUARE FR. COLUMN W/ 1/4" CAP, 1 3/4" BED MOULD, 3/4" PENCIL MOULD & 1/2" BASE FOR PAINT

FULL DEPTH STONE VENEER (COLONIAL GRAY RIVER ROCK), TYPICAL

4" CUT LIMESTONE CAP W/ DRIP EDGE, SLOPED FOR WATER RUNOFF

BLUESTONE PAVERS (NATURAL CLEFT, BLUE SELECT) Laid SET ON 4" REINFORCED CONCRETE SLAB ON MIN. 6" COMPACT GRANULAR FILL

770.42' (+28'-2 1/2")
1/2" ROOF

4" CUT LIMESTONE CAP

STONE VENEER (COLONIAL GRAY RIVER ROCK), TYPICAL

METAL FLASHING (PAC-CLAD "MIDNIGHT BRONZE") COVE & GEELE DORMY FOR PAINT (NEEPLY SIZE A PROFILE W/ 1/2" RADIUS) ON 1/4" BIR BASE FOR PAINT

TYPICAL METAL ROOF:
12" WIDE PRE-FINISHED METAL ROOF PANELS (PAC-CLAD "MIDNIGHT BRONZE") W/ STANDING SEAMS ON ICE ROOFING FELT ON GRADE "ICE & WATER SHIELD" ON 5/8" EXTERIOR PLYWOOD DECK

TYPICAL SIDING:
NEW SELECT CEDAR/MILL HARDW. PLANK LAP SIDING (6" EXPOSURE, "LIGHT MIST") ON "TYNEX" OR EQUAL HOUSEWRAP ON 1/2" EXTERIOR PLYWOOD SHEATHING

1/4" FR. APRON FOR PAINT, TYPICAL AT CORNERS

TYPICAL SYNTHETIC SLATE ROOF:
CLASS C SYNTHETIC SLATE SHINGLES (DORMER MULTI-WIDTH - SLATE GREY) ON 3/8" FELT (ON GRADE "ICE & WATER SHIELD" TO MIN. 2" FROM EXTERIOR WALLS) ON 5/8" EXTERIOR PLYWOOD DECK

699.30' (+10'-1 3/4")
1/2" 2ND FLOOR (THICKNESS)

1/2" FR. PERGOLA RAFTERS W/ SHAPED TAILS FOR PAINT

TYPICAL COLUMN:
1/2" SQUARE FR. COLUMN W/ 1/4" CAP, 1 3/4" BED MOULD, 3/4" PENCIL MOULD & 1/2" BASE FOR PAINT

METAL SCREEN

699.27' (0'-0")
1/2" 1ST FLOOR (THICKNESS)

697.5' (-1'-8 1/2")
GRADE

BLUESTONE PAVERS (NATURAL CLEFT, BLUE SELECT) Laid SET ON 4" REINFORCED CONCRETE SLAB ON MIN. 6" COMPACT GRANULAR FILL

FULL DEPTH STONE VENEER (COLONIAL GRAY RIVER ROCK), TYPICAL

Permit Application
Architect
Engineer
Contractor

Hanovnikian Residence
107 S. Ridge Road ~ Lake Forest, IL 60045

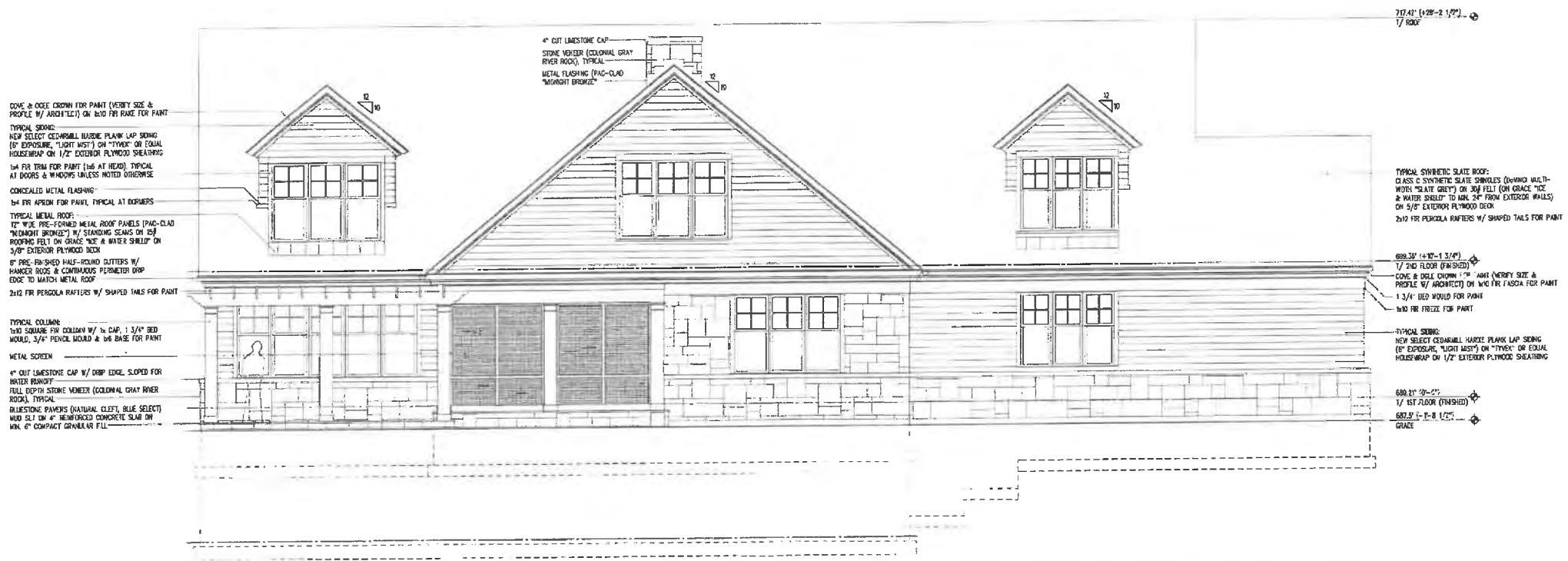
MKA
ARCHITECTURAL DESIGN GROUP
107 S. RIDGE ROAD
LAKE FOREST, ILLINOIS 60045
WWW.MKADWG.COM

DR14

GROUP EXHIBIT B

The Plans

PROPOSED SOUTH ELEVATION



Project Information:
 Revision:
 Revision:
 Revision:
 Construction

Hanovnikian Residence
 107 S. Ridge Road ~ Lake Forest, IL 60045

MKA
 ARCHITECTURAL GROUP
 107 S. RIDGE ROAD, SUITE 110
 LAKE FOREST, IL 60045
 WWW.MKAGROUP.COM

DR13

GROUP EXHIBIT B

The Plans

PROPOSED EAST ELEVATION



COVE & OGGE CROWN FOR PAINT (VERIFY SIZE & PROFILE W/ ARCHITECT) ON 1/4" FIR FASCIA FOR PAINT

4" CUT LIMESTONE CAP

STONE VENEER (COLONIAL GRAY RIVER ROCK), TYPICAL

METAL FLASHING (PAC-CLAD "SHORTER BRONZE")

TYPICAL METAL ROOF:

12" WIDE PRE-FORMED METAL ROOF PANELS (PAC-CLAD "SHORTER BRONZE") W/ STANDING SEAMS ON 1/2" ROOFING FELT ON GRADE "ICE & WATER SHIELD" ON 5/8" EXTERIOR PLYWOOD DECK

5/16" FIR FINISH FOR PAINT, TYPICAL AT DORMERS AT DORMERS

CONCEALED METAL FLASHING-

1/4" FIR APRON FOR PAINT, TYPICAL AT DORMERS

1/4" FIR TRIM FOR PAINT (1/4" AT HEAD), TYPICAL AT DOORS & WINDOWS UNLESS NOTED OTHERWISE

TYPICAL SIDING:

NEW SELECT CEDARWALL HORIZONTAL PLANK LAP SIDING (4" EXPOSURE, "LIGHT MIST") ON "TYPICAL" OR EQUAL HOLD-DOWN ON 1/2" EXTERIOR PLYWOOD SHEATHING

6" PRE-FINISHED HALF-ROUND GUTTERS W/ HANGER ROOS & CONTINUOUS FORMER Drip EDGE TO MATCH METAL ROOF

COVE & OGGE CROWN FOR PAINT (VERIFY SIZE & PROFILE W/ ARCHITECT) ON 1/4" FIR FASCIA FOR PAINT

1 3/4" BED MOULD FOR PAINT

1/4" FIR FINISH FOR PAINT

FULL DEPTH STONE VENEER (COLONIAL GRAY RIVER ROCK), TYPICAL

4" CUT LIMESTONE CAP W/ DRIP EDGE, SLOPED FOR WATER RUNOFF

TYPICAL SYNTHETIC SLATE ROOF:

CLASS C SYNTHETIC SLATE SHINGLES (DORMER WALL) 1/2" NORTH "SLATE GUTTER" ON 3/8" FELT ON GRADE "ICE & WATER SHIELD" TO MIN. 2" FROM EXTERIOR WALLS ON 5/8" EXTERIOR PLYWOOD DECK

2x12 FIR PIRGOLA RAFTERS W/ SHAPED TAILS FOR PAINT

6" PRE-FINISHED HALF-ROUND GUTTERS W/ HANGER ROOS & CONTINUOUS FORMER Drip EDGE TO MATCH METAL ROOF

8/16" SP 4x8-1 3/4"

1/2" 2ND FLOOR (FINISHED)

COVE & OGGE CROWN FOR PAINT (VERIFY SIZE & PROFILE W/ ARCHITECT) ON 1/4" FIR FASCIA FOR PAINT

1 3/4" BED MOULD FOR PAINT

1/4" FIR FINISH FOR PAINT

TYPICAL COLUMN:

1/4" SQUARE FOR COLUMN W/ 1/2" CAP, 1 3/4" BED MOULD, 3/4" FINISH MOULD & NO BASE FOR PAINT

FULL DEPTH STONE VENEER (COLONIAL GRAY RIVER ROCK), TYPICAL

4" CUT LIMESTONE CAP W/ DRIP EDGE, SLOPED FOR WATER RUNOFF

6/8" SP 10x10

1/2" 1ST FLOOR (THICKEN)

6/8" SP 10x10 (1 1/2")

GRADE

POCKET FOUNDATION FOR GARAGE SLAB

Family Architecture:
 Architects:
 Engineers:
 Planners:
 Contractors:

Hanovnikian Residence
 107 S. Ridge Road - Lake Forest, IL 60045

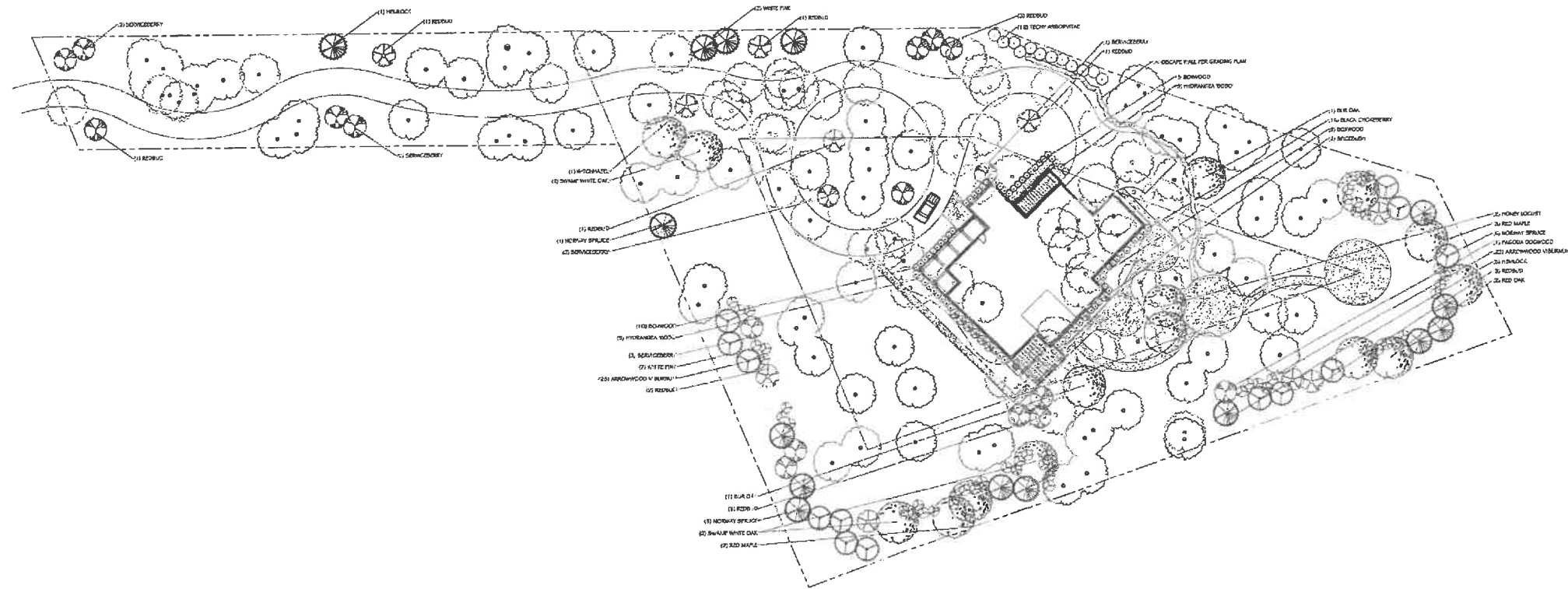
MKA
 ARCHITECTURAL DESIGN GROUP
 1000 N. WILSON AVENUE
 CHICAGO, IL 60642
 WWW.MKADGROUP.COM



DR12

GROUP EXHIBIT B

The Plans

PRELIMINARY LANDSCAPE PLAN



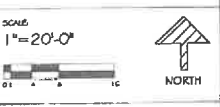
-  EXISTING TREE TO REMAIN
 -  EXISTING TREE TO BE REMOVED
- see tree removal plan for more details on existing trees to remain & be removed

Hanovnikian Residence
107 South Ridge Road
Lake Forest, Illinois

DISCLAIMER
These plans are conceptual. All changes and details contained in these drawings are the sole property of Van Zelst, Inc. These drawings are not to be used as construction documents by any other contractor than Van Zelst, Inc.
These plans are conceptual and are not to be displayed or put into use without explicit written consent of Van Zelst, Inc.
Materials represented in this drawing are their best condition, a more mature status. Certain representations are for illustrative purposes only. It may be necessary to make field adjustments during the construction process. See section for complete site plan. Dimensions will be held as stated on the face of the workpiece.

ISSUES & REVISIONS:

5.11.2023	



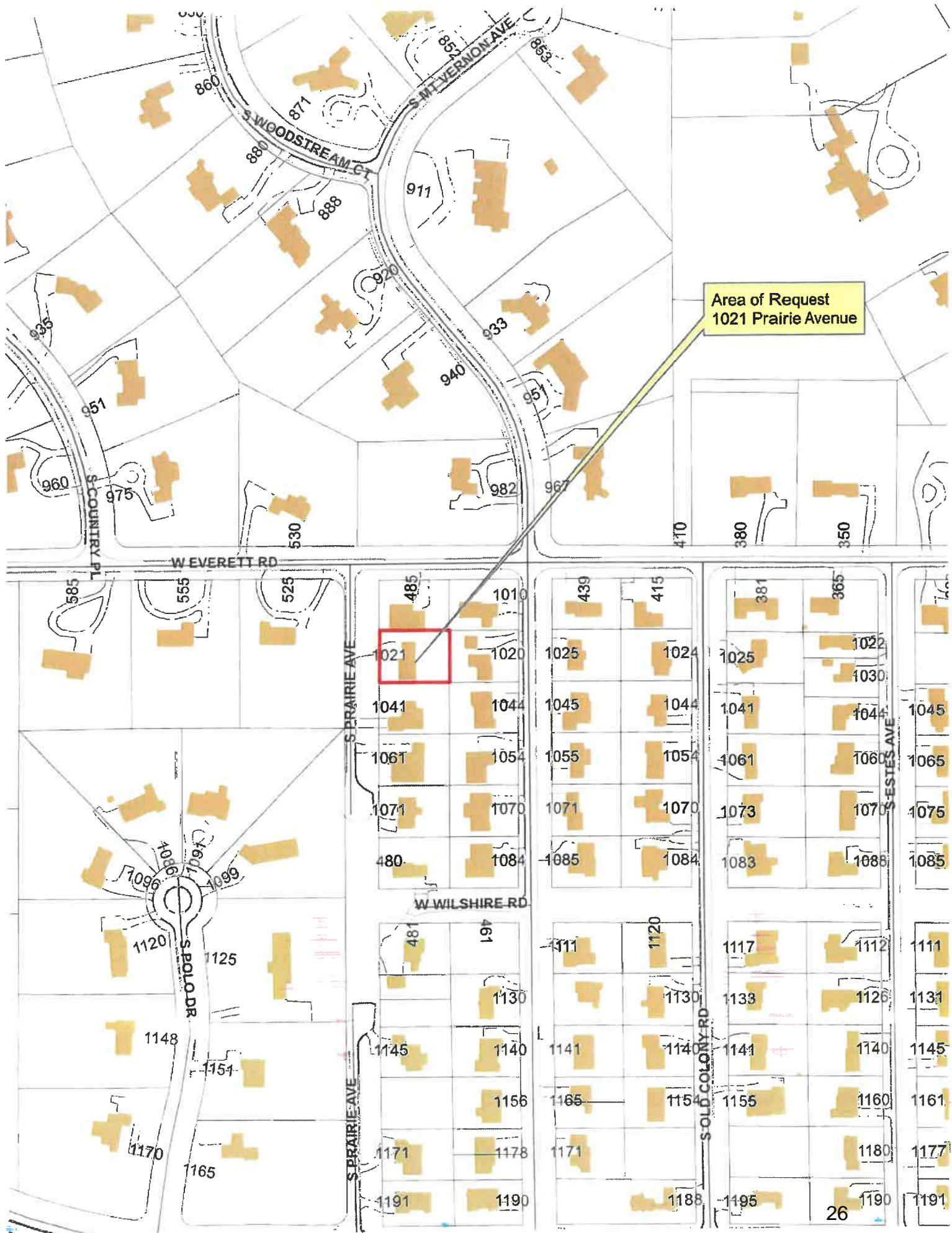
CLIENT:
Hanovnikian

DRAWN: MC	DATE: 5.08.2023
CHECKED: DVZ	

SHEET TITLE:
Landscape Plan

SHEET # 1 of 1	PROJECT #
-------------------	-----------

Van Zelst inc.
Landscape Development & Management
3000 N. Irving St. | Chicago, IL 60630 | Tel: 773.232.2000



Area of Request
1021 Prairie Avenue

Street	House Number	Street	House Number	Street	House Number	Street	House Number
S Prairie Ave	1021	S Prairie Ave	1020	S Prairie Ave	1025	S Prairie Ave	1024
S Prairie Ave	1041	S Prairie Ave	1044	S Prairie Ave	1045	S Prairie Ave	1044
S Prairie Ave	1061	S Prairie Ave	1054	S Prairie Ave	1055	S Prairie Ave	1054
S Prairie Ave	1071	S Prairie Ave	1070	S Prairie Ave	1071	S Prairie Ave	1070
S Prairie Ave	1081	S Prairie Ave	1084	S Prairie Ave	1085	S Prairie Ave	1084
S Prairie Ave	1117	S Prairie Ave	1112	S Prairie Ave	1117	S Prairie Ave	1112
S Prairie Ave	1133	S Prairie Ave	1126	S Prairie Ave	1133	S Prairie Ave	1126
S Prairie Ave	1145	S Prairie Ave	1140	S Prairie Ave	1141	S Prairie Ave	1140
S Prairie Ave	1156	S Prairie Ave	1156	S Prairie Ave	1155	S Prairie Ave	1160
S Prairie Ave	1171	S Prairie Ave	1178	S Prairie Ave	1171	S Prairie Ave	1180
S Prairie Ave	1191	S Prairie Ave	1190	S Prairie Ave	1188	S Prairie Ave	1190

THE CITY OF LAKE FOREST

ORDINANCE NO. 2023-___

AN ORDINANCE APPROVING ARCHITECTURAL AND SITE DESIGN
REVIEW AND GRANTING A FLOOR AREA EXCEPTION FOR
THE PROPERTY LOCATED AT 1021 PRAIRIE AVENUE

WHEREAS, Fred and Jill Bartuch ("**Owners**") are the owners of that certain real property commonly known as 1021 Prairie Avenue, Lake Forest, Illinois and legally described in Exhibit A, attached hereto ("**Property**"); and

WHEREAS, the Property is located in the R-2, Single Family Residence District; and

WHEREAS, the Owners desire to construct a sunroom addition ("**Improvements**") as depicted on the site plan and architectural drawings that are attached hereto as Group Exhibit B ("**Plans**"); and

WHEREAS, the Owners submitted an application ("**Application**") to permit the construction of the Improvements and were required to present the Plans to the Building Review Board ("**BRB**") for its evaluation and recommendation; and

WHEREAS, the Improvements as depicted on the Plans would exceed the maximum floor area allowances as set forth in Section 150.148 (C) of the City Code, which apply to new construction on, or additions and alterations to existing construction on, residential property; and

WHEREAS, pursuant to notice duly published, the BRB reviewed and evaluated the Plans at a public hearing held on July 5, 2023; and

WHEREAS, the BRB, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify, made the following findings:

1. the Property is located within the R-2 District under the City Code,
2. Owners propose to construct the Improvements as depicted on the Plans,
3. as depicted on the Plans, a portion of the Improvements exceed the maximum floor area allowances set forth in Section 150.148(C) of the City Code,
4. the Improvements are consistent with the design standards in Section 150.147 of the City Code,
5. mature trees, other vegetation, and the existing residence on the Property effectively mitigate the appearance of excessive mass of the structure and as a result, the proposed development of the Improvements as set forth on the Plans is in keeping with the streetscape and overall neighborhood,
6. the Improvements are sited in a manner that minimizes the appearance of mass from the streetscape and sited in the generally location of the existing structure which will be demolished,
7. the proposed Improvements will not have a significant negative impact on the light to or views from neighboring homes,
7. the height and mass of the Improvements will generally be compatible with the height and mass of structures on adjacent lots and with the structure that will be demolished, buildings on the street and on adjacent streets, and other residences and garages in the same neighborhood, the Lake Forest College football field is located directly east of the proposed replacement structure,.
8. the evidence presented indicates that the construction of the Improvements, if undertaken in conformity with this Ordinance, the recommended conditions, and the Plans, will meet the standards and requirements of Sections 150.147 and 150.148 of the City Code,

and recommended that the City Council approve the Application and the Plans and grant an exception to the maximum allowable floor area consistent with the Plans, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owners' Application to construct the Improvements on the Property, and the findings and recommendations of the BRB, have determined that it is in the best interests of the City and its residents to grant approval to the Application and exception to the maximum allowable floor area, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council further determine in the exercise of the City's home rule powers that it is in the best interests of the City and its residents to grant Owners' request for exceptions to the otherwise applicable maximum floor area requirements, subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 150.147 of the City Code, and subject to the limitations therein and the conditions set forth in Section Four of this Ordinance, the City Council does hereby grant approval of the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Maximum Floor Area Exception Granted. Pursuant to Section 150.148 of the City Code, and subject to the limitations therein and the conditions set forth in Section Four of this Ordinance, the City Council does hereby grant an exception to the maximum floor area requirements set forth in Section 150.148(D) of the City Code, as more fully depicted on the Plans, by allowing the Improvements and other structures on the Property to have a maximum square footage not to exceed 3,867 square feet.

SECTION FOUR: Conditions on Approval. The approval granted pursuant to Sections Two and Three of this Ordinance shall be, and are hereby, conditioned upon and limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. Compliance with Laws. Chapters 150, regarding building and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. Tree Preservation. The Owners will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.

- D. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans.
- E. Fees and Costs. The Owners shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owners shall reimburse the City for all of its costs (including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.
- F. Other conditions. The improvements shall be substantially in conformance with the Board's deliberations as reflected on Exhibit C, Notice of Action – Board Recommendation, attached hereto.

SECTION FIVE: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the discretion of the City Council, be of no force or effect if Owners have not (i) executed and (ii) thereafter filed with the City Clerk, within 90 days following the passage of this Ordinance, the unconditional agreement and consent, in the form attached hereto as Exhibit D and by this reference made a part hereof, to accept and abide by each and all of the terms, conditions, and limitations set forth herein. The City Clerk is hereby directed to record this Ordinance and such agreement and consent with the Recorder of Deeds of Lake County.

PASSED THIS __ DAY OF _____, 2023.

AYES: ()

NAYS: ()

ABSENT: ()

ABSTAIN: ()

PASSED THIS __ DAY OF _____, 2023.

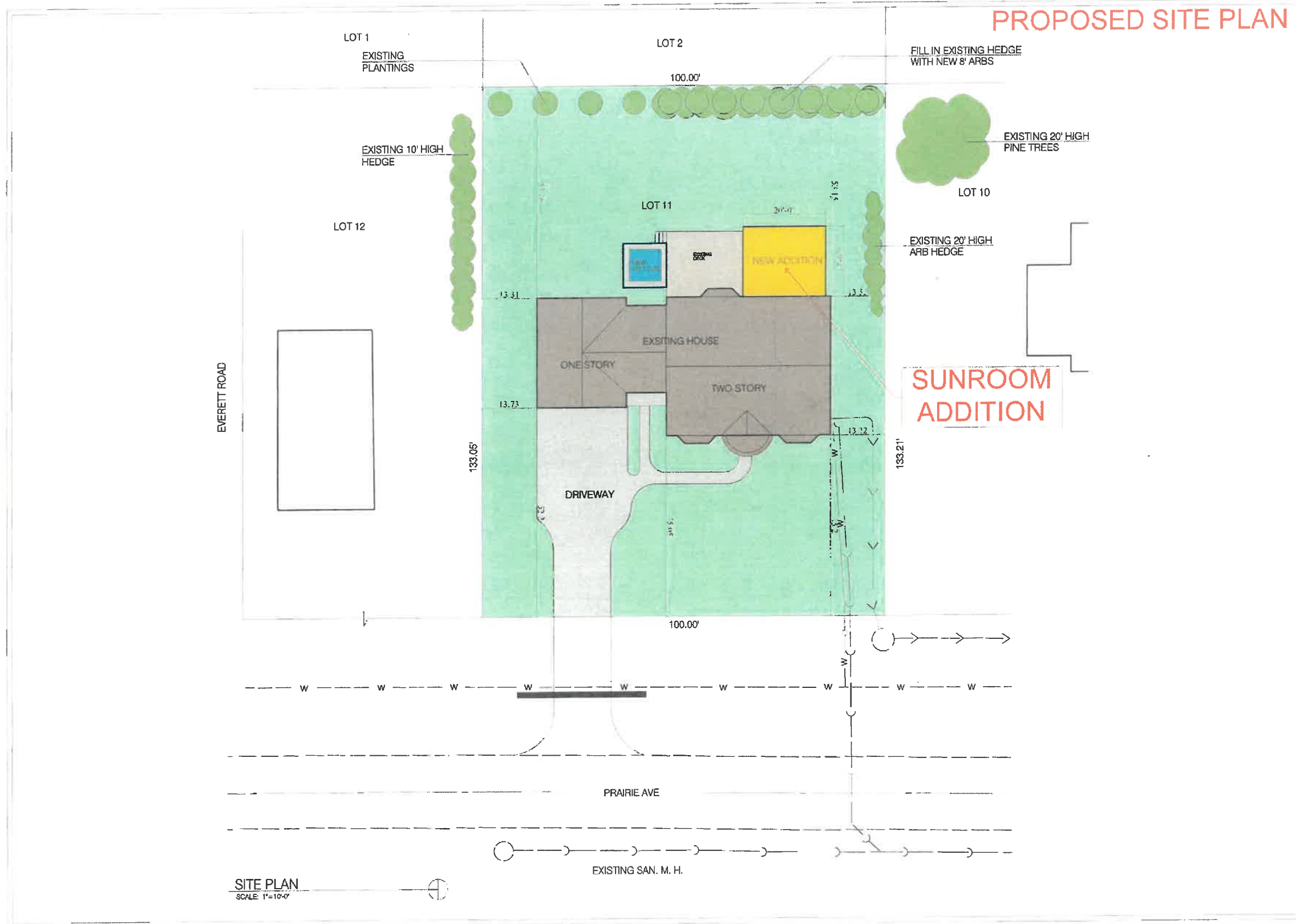
Mayor

ATTEST:

City Clerk

GROUP EXHIBIT B

The Plans



GRACELINE ARCHITECTURE SC
FRANK J. KLEPITSCH, A.I.A.
ARCHITECTURE DESIGN-BUILD INTERIOR DESIGN
PHONE 847.688.8802 EMAIL FKLEPITSCH@GMAIL.COM

BARTUCH RESIDENCE
1021 PRAIRIE
LAKE FOREST ILLINOIS

STAMP

THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION & TO THE BEST OF MY KNOWLEDGE CONFORM TO THE BUILDING CODES OF LAKE FOREST, ILLINOIS

No.	REVISION / ISSUE	DATE

DATE: 02/10/2023 SCALE: VARIOUS
DRAWING: APPROX
COPYRIGHT © 2023 GRACELINE ARCHITECTURE SC

TITLE

SITE PLAN
SHEET NUMBER
SK1

GROUP EXHIBIT B

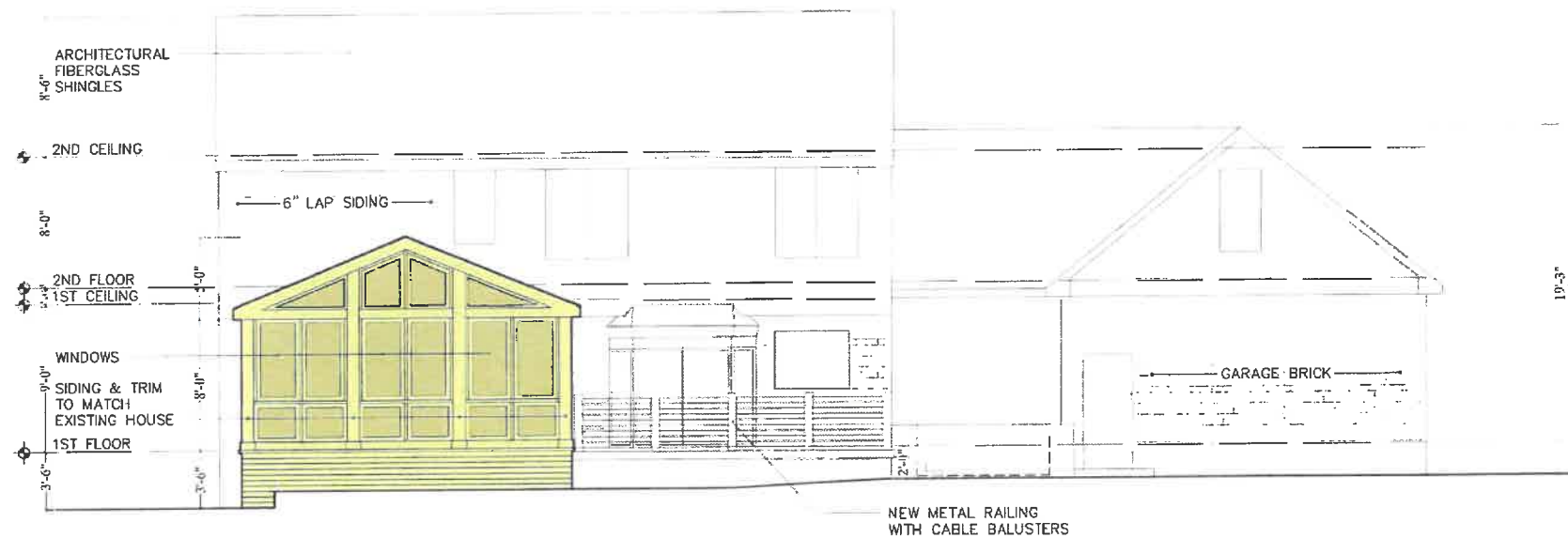
The Plans

PROPOSED WEST AND EAST ELEVATIONS



WEST ELEVATION
SCALE: 1/4"=1'-0"

SUNROOM ADDITION NOT VISIBLE FROM WEST (FRONT) ELEVATION



EAST ELEVATION
SCALE: 1/4"=1'-0"

GRACELINE ARCHITECTURE SC
FRANK J. KLEPITSCH, A.I.A.
ARCHITECTURE DESIGN-BUILD INTERIOR DESIGN
PHONE 847.659.8802 EMAIL FKLEPITSCH@SBCGLOBAL.NET

BARTUCH RESIDENCE
1021 PRARIE
LAKE FOREST ILLINOIS

STAMP

THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION & TO THE BEST OF MY KNOWLEDGE CONFORM TO THE BUILDING CODES OF LAKE FOREST, ILLINOIS.

No. | REVISION / ISSUE | DATE
DATE: 02/15/2023 SCALE: 1/4" = 1'-0"
DRAWING: APPROV:
DRAWN BY:

TITLE
ELEVATIONS

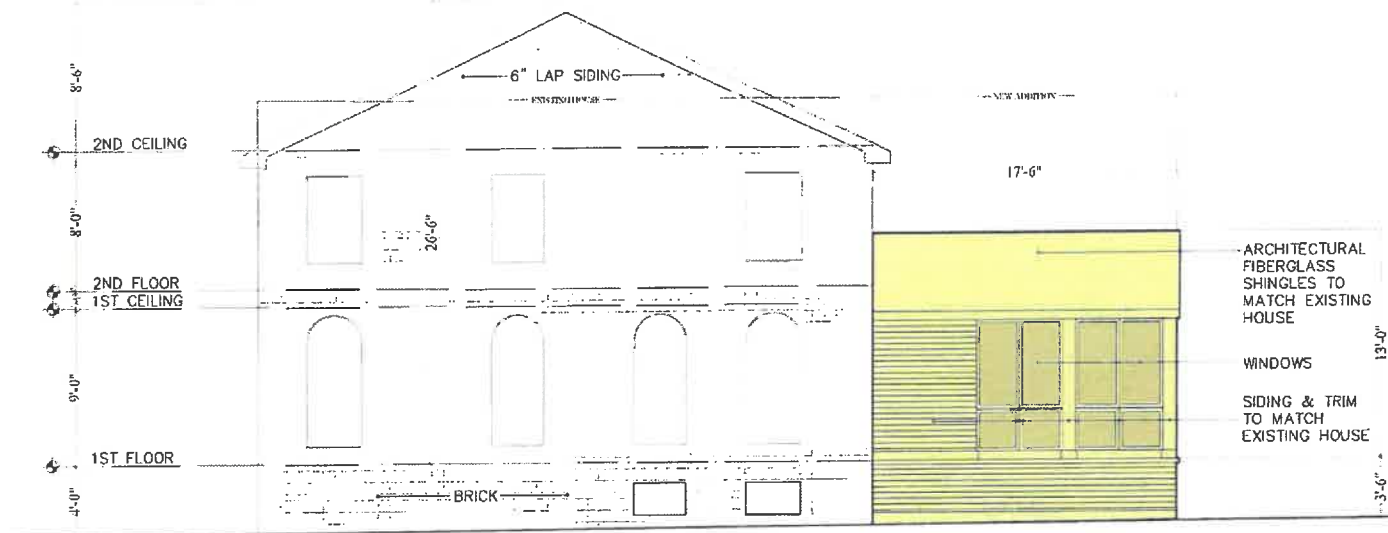
SHEET NUMBER

SK4

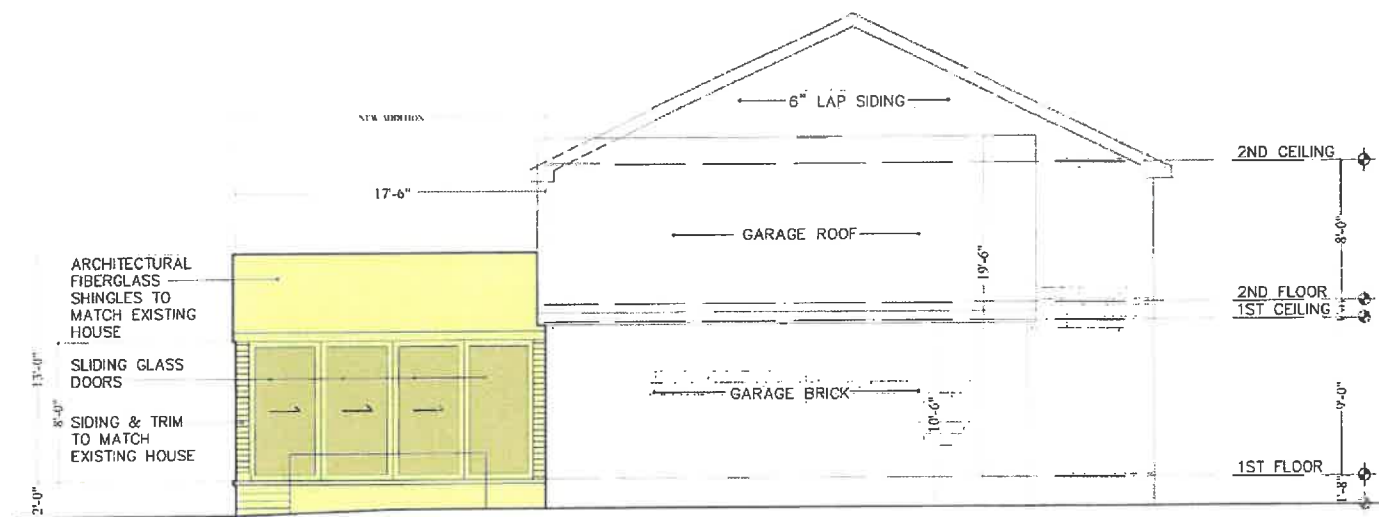
GROUP EXHIBIT B

The Plans

PROPOSED SOUTH AND NORTH ELEVATIONS



SOUTH ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"

GRACELINE ARCHITECTURE SC
FRANK J. KLEPITSCH, A.I.A.
ARCHITECTURE DESIGN-BUILD INTERIOR DESIGN
PHONE 847.668.8802 EMAIL FKLEPITSCH@SCGLOBAL.NET

BARTUCH RESIDENCE
1021 PRARIE
LAKE FOREST ILLINOIS

STAMP

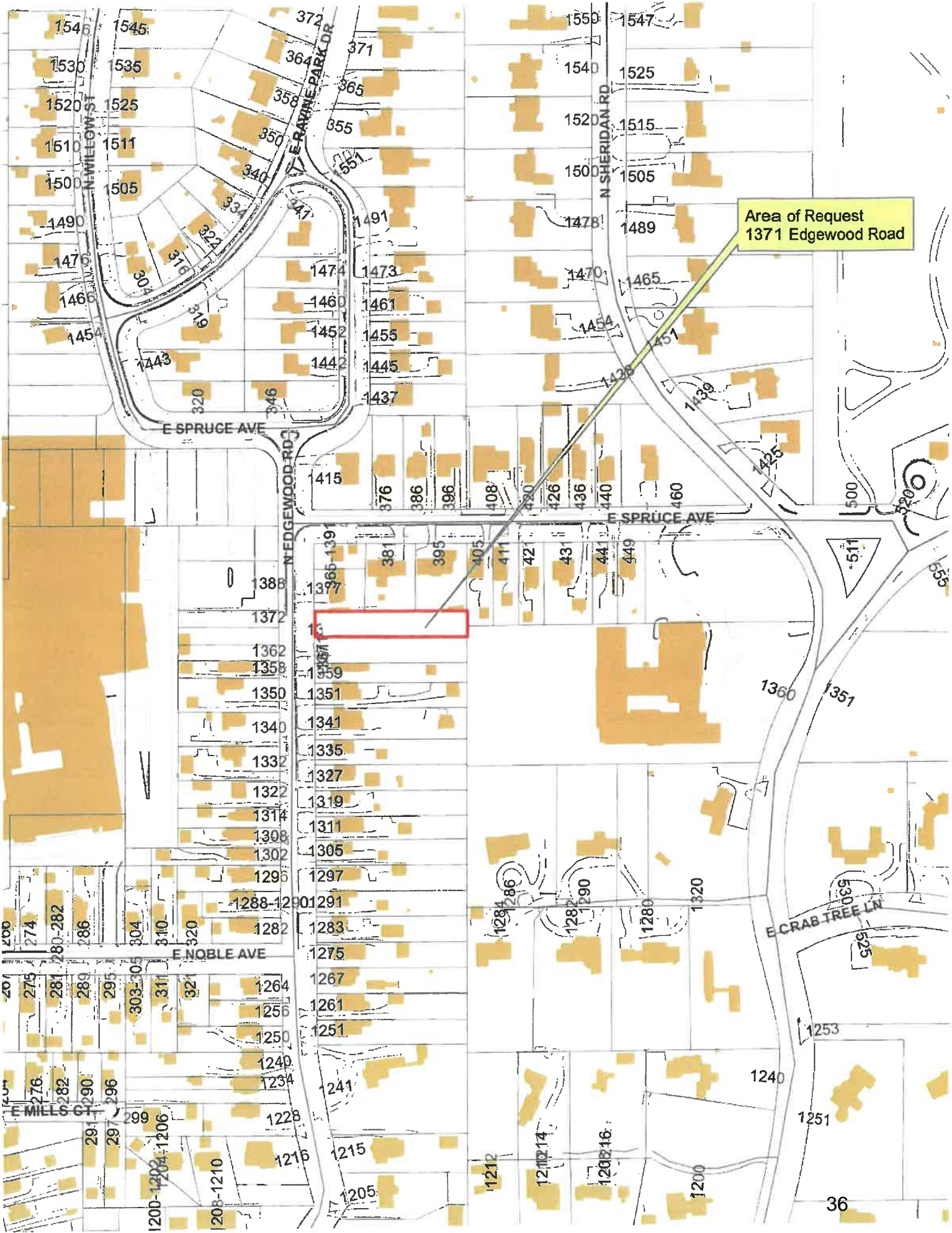
THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION & TO THE BEST OF MY KNOWLEDGE CONFORM TO THE BUILDING CODES OF LAKE FOREST, ILLINOIS.

NO.	REVISION / ISSUE	DATE

TITLE
ELEVATIONS

SHEET NUMBER

SK3



Area of Request
1371 Edgewood Road

1371

1546 1545 372 364 371 1550 1547
1530 1535 358 365 1540 1525
1520 1525 355 1520 1515
1610 1511 350 355 1500 1505
1500 1505 340 351 1478 1489
1490 334 1491 1470 1465
1476 304 316 1474 1473 1454
1466 319 1460 1461 1454
1454 1443 1452 1455 1428 1451
1443 1442 1445 1437 1439
320 346 415 376 386 396 408 420 426 436 440 460 500 520
E SPRUCE AVE
1388 1397 381 395 405 411 42 43 44 449 511 555
1372 1365-139 1361 1359 1360 1351
1362 1358 1351 1341 1335
1350 1341 1332 1327
1340 1335 1322 1319
1314 1311 1308 1305
1302 1295 1297 1291
1288-1290 1283 1275
1275 1267 1261 1251
1264 1256 1250 1240 1234
E NOBLE AVE
200 274 280-282 286 304 310 320 1282 1241 1228
E MILLS ST 291 296 299 1200-1204-1206 208-1210 1216 1215 1205
1212 1214 1216 1200 1240 1251 36
1284 86 1287 290 1280 1320 530 525 1253

THE CITY OF LAKE FOREST
ORDINANCE NO. 2023- ____

**AN ORDINANCE APPROVING ARCHITECTURAL AND SITE DESIGN FOR THE
PROPERTY LOCATED AT 1371 EDGEWOOD ROAD**

WHEREAS, Richard and Jennifer Sarhaddi ("**Owners**") are the owners of that certain real property commonly known as 1371 Edgewood Road, Lake Forest, Illinois and legally described in *Exhibit A*, attached hereto ("**Property**"); and

WHEREAS, the Property is located in the GR-3, Single Family Residence Zoning District; and

WHEREAS, the Owners desire to construct a new residence, detached garage and install landscaping ("**Improvements**") on a vacant lot as depicted on the site plan and architectural drawings that are attached hereto as Group *Exhibit B* ("**Plans**"); and

WHEREAS, the Owners submitted an application ("**Application**") to permit the construction of the Improvements and were required to present the Plans to the Building Review Board ("**BRB**") for its evaluation and recommendation; and

WHEREAS, pursuant to notice duly published, the BRB reviewed and evaluated the Plans at public hearings held on June 7, 2023; and

WHEREAS, the BRB, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify, made the following findings:

1. the Property is located within the GR-3, General Residence District under the City Code,
2. Owners propose to construct the Improvements as depicted on the Plans,

3. the evidence presented indicates that the construction of the Improvements, if undertaken in conformity with the recommended conditions and the Plans, will meet the design standards and requirements of Section 150.147 of the City Code,

and recommended that the City Council approve the Application and the Plans, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owners' Application to construct the Improvements on the Property, and the findings and recommendations of the BRB, have determined that it is in the best interests of the City and its residents to grant approval to the Application, subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 150.147 of the City Code, and subject to the limitations therein and the conditions set forth in Section Three of this Ordinance, the City Council does hereby grant approval of the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Conditions on Approval. The approval granted pursuant to Section Two of this Ordinance shall be, and is hereby, conditioned upon and limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. Compliance with Laws. Chapters 150, regarding buildings and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. Tree Preservation. The Owners will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.
- D. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans.
- E. Fees and Costs. The Owners shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owners shall reimburse the City for all of its costs (including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.
- F. Other conditions. The improvements shall be substantially in conformance with the Board's deliberations as reflected on *Exhibit C, Notice of Action – Board Recommendation*, attached hereto.

SECTION FOUR: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the discretion of the City Council, be of no force or effect if the Owners have not (i) executed and (ii) thereafter filed with the City Clerk, within 90 days following the passage of this Ordinance, the unconditional agreement and consent, in the form attached hereto as Exhibit D and by this reference made a part hereof, to accept and abide by each and all of the terms, conditions, and limitations set forth herein.

PASSED THIS __ DAY OF _____, 2023.

AYES: ()

NAYS: ()

ABSENT: ()

ABSTAIN: ()

PASSED THIS __ DAY OF _____, 2023.

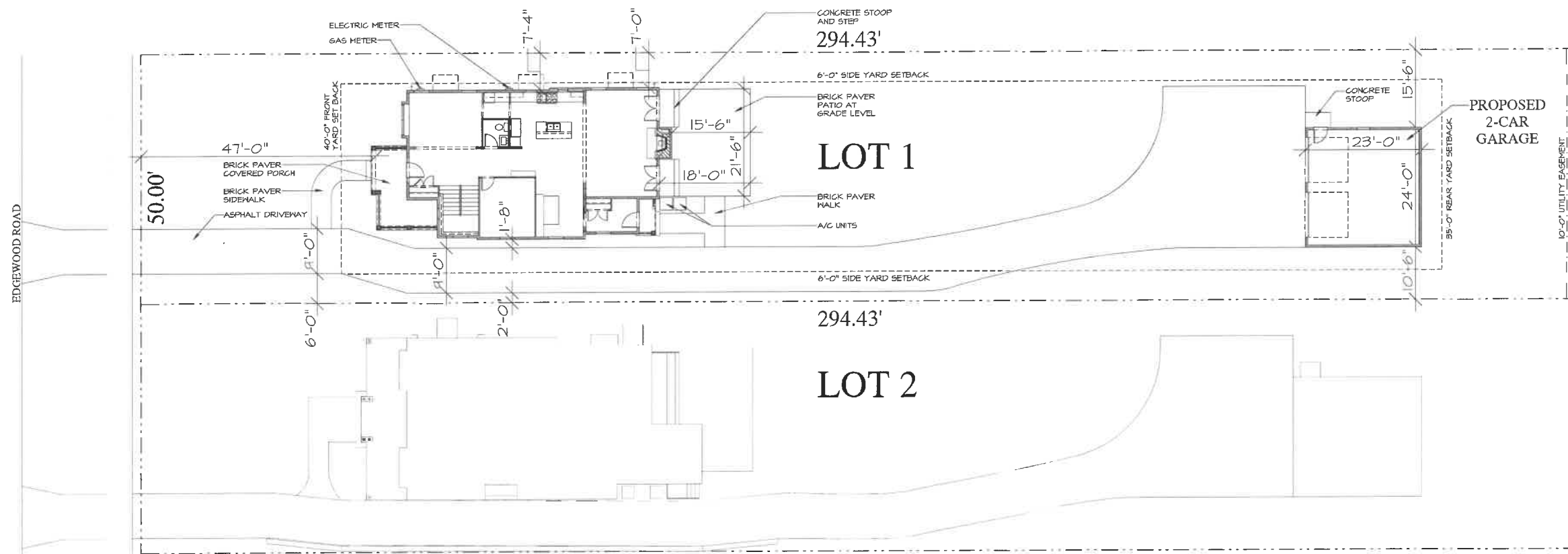
Mayor

ATTEST:

City Clerk

GROUP EXHIBIT B

The Plans



1 SITE PLAN
AR 01

PROPOSED
ALL CIVIL ENGINEERING AND FINAL APPROVED GRADES BY OTHERS
ALL EXTERIOR GRADE IMPROVEMENTS AND LANDSCAPING BY OTHERS

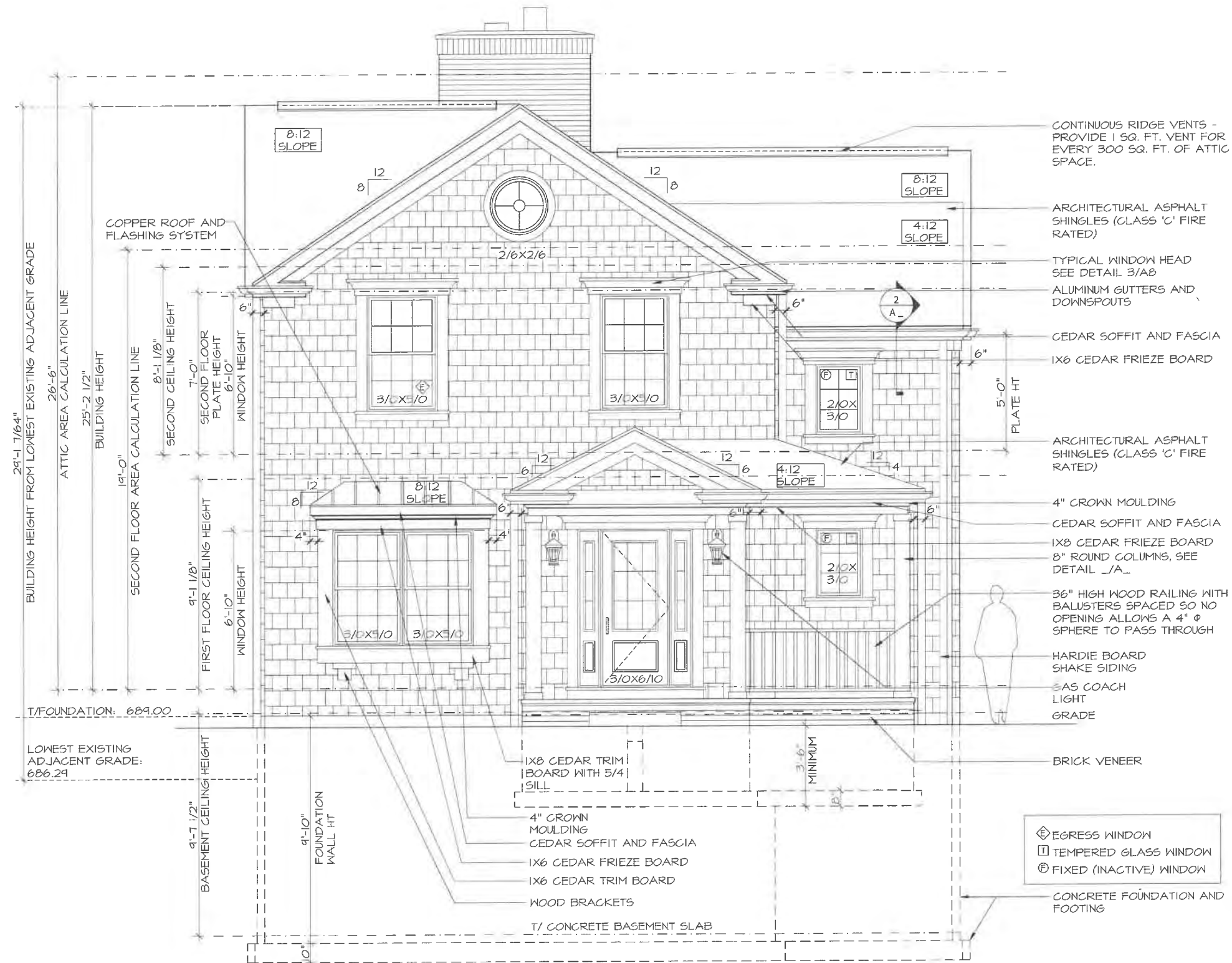
SCALE: N.T.S.

REVIEW ONLY - NOT FOR CONSTRUCTION

<p>2675 COMMERCE DR. SUITE 100 VILLAGE CLAY, IL 60073 MAIN: 847-437-2000 WWW.ASPECTDESIGNINC.COM TEL: 847-437-2000</p>		<p>ASPECT DESIGN INC. ARCHITECTS</p>	
PROJECT #	AD23118	<p>SARHADDI RESIDENCE PROPOSED SITE PLAN</p>	
DRAWN BY:	DR/MB	<p>AR 01</p>	
<p>REVIEW</p>		<p>REVIEW</p>	
04/05/2023	04/06/2023	04/17/2023	04/19/2023
04/17/2023	04/19/2023	04/26/2023	05/02/2023
05/02/2023	05/02/2023	05/02/2023	05/02/2023
<p>REVIEW</p>		<p>REVIEW</p>	
<p>04/17/2023</p>		<p>04/17/2023</p>	
<p>REVIEW</p>		<p>REVIEW</p>	
<p>SARHADDI RESIDENCE</p>		<p>NEW CONSTRUCTION - LOT 1 1371 EDGEWOOD ROAD LAKE FOREST, ILLINOIS 60045</p>	

GROUP EXHIBIT B

The Plans



1 FRONT ELEVATION
AR 03

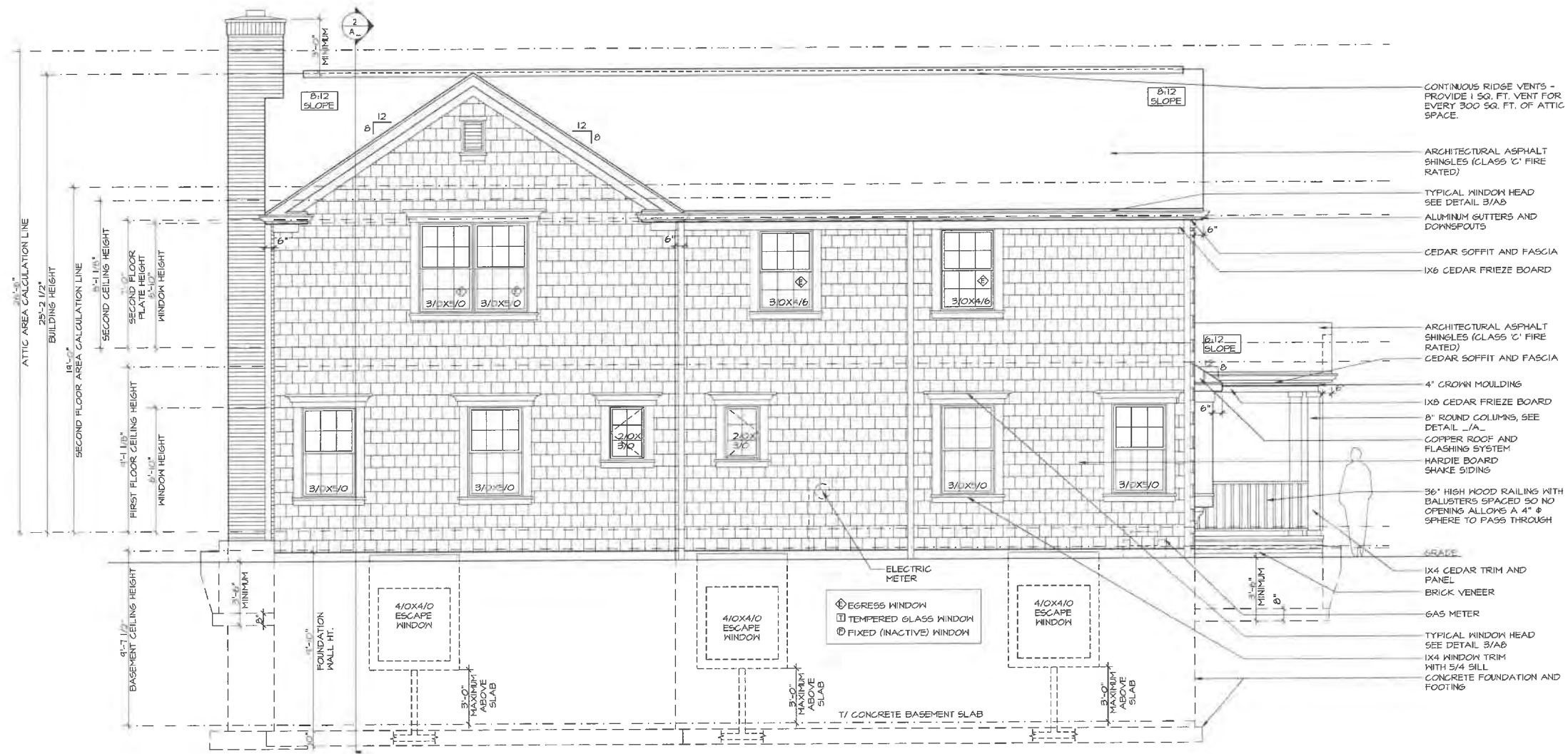
(WEST)
SCALE: N.T.S.

REVIEW ONLY-NOT FOR CONSTRUCTION

SARHADDI RESIDENCE	
NEW CONSTRUCTION - LOT 1 1371 EDGEWOOD ROAD LAKE FOREST, ILLINOIS 60045	
REVIEW	06/13/2023
REVIEW	04/05/2023
REVIEW	04/06/2023
REVIEW	04/27/2023
REVIEW	04/12/2023
REVIEW	04/09/2023
REVIEW	04/02/2023
REVIEW	03/13/2023
REVIEW	02/08/2023
26575 COMMERCE DR. SUITE 607 Volo, IL 60073 MAIN: 847-467-2500 www.aspectdesigninc.com IL License #1440004	
PROJECT # AD23118 DRAWN BY: DB/MB SARHADDI RESIDENCE EXTERIOR ELEVATIONS AR 03	
# 3 OF 11 TOTAL SHEETS	

GROUP EXHIBIT B

The Plans



- CONTINUOUS RIDGE VENTS - PROVIDE 1 SQ. FT. VENT FOR EVERY 300 SQ. FT. OF ATTIC SPACE.
- ARCHITECTURAL ASPHALT SHINGLES (CLASS 'C' FIRE RATED)
- TYPICAL WINDOW HEAD SEE DETAIL 3/A/B
- ALUMINUM GUTTERS AND DOWNSPOUTS
- CEDAR SOFFIT AND FASCIA
- 1X6 CEDAR FRIEZE BOARD
- ARCHITECTURAL ASPHALT SHINGLES (CLASS 'C' FIRE RATED)
- CEDAR SOFFIT AND FASCIA
- 4" CROWN MOULDING
- 1X8 CEDAR FRIEZE BOARD
- 8" ROUND COLUMNS, SEE DETAIL 1/A
- COPPER ROOF AND FLASHING SYSTEM
- HARDIE BOARD SHAKE SIDING
- 36" HIGH WOOD RAILING WITH BALUSTERS SPACED SO NO OPENING ALLOWS A 4" Ø SPHERE TO PASS THROUGH
- SEATE
- 1X4 CEDAR TRIM AND PANEL
- BRICK VENEER
- GAS METER
- TYPICAL WINDOW HEAD SEE DETAIL 3/A/B
- 1X4 WINDOW TRIM WITH 5/4 BILL
- CONCRETE FOUNDATION AND FOOTING

1 LEFT ELEVATION

(NORTH)

AR 04

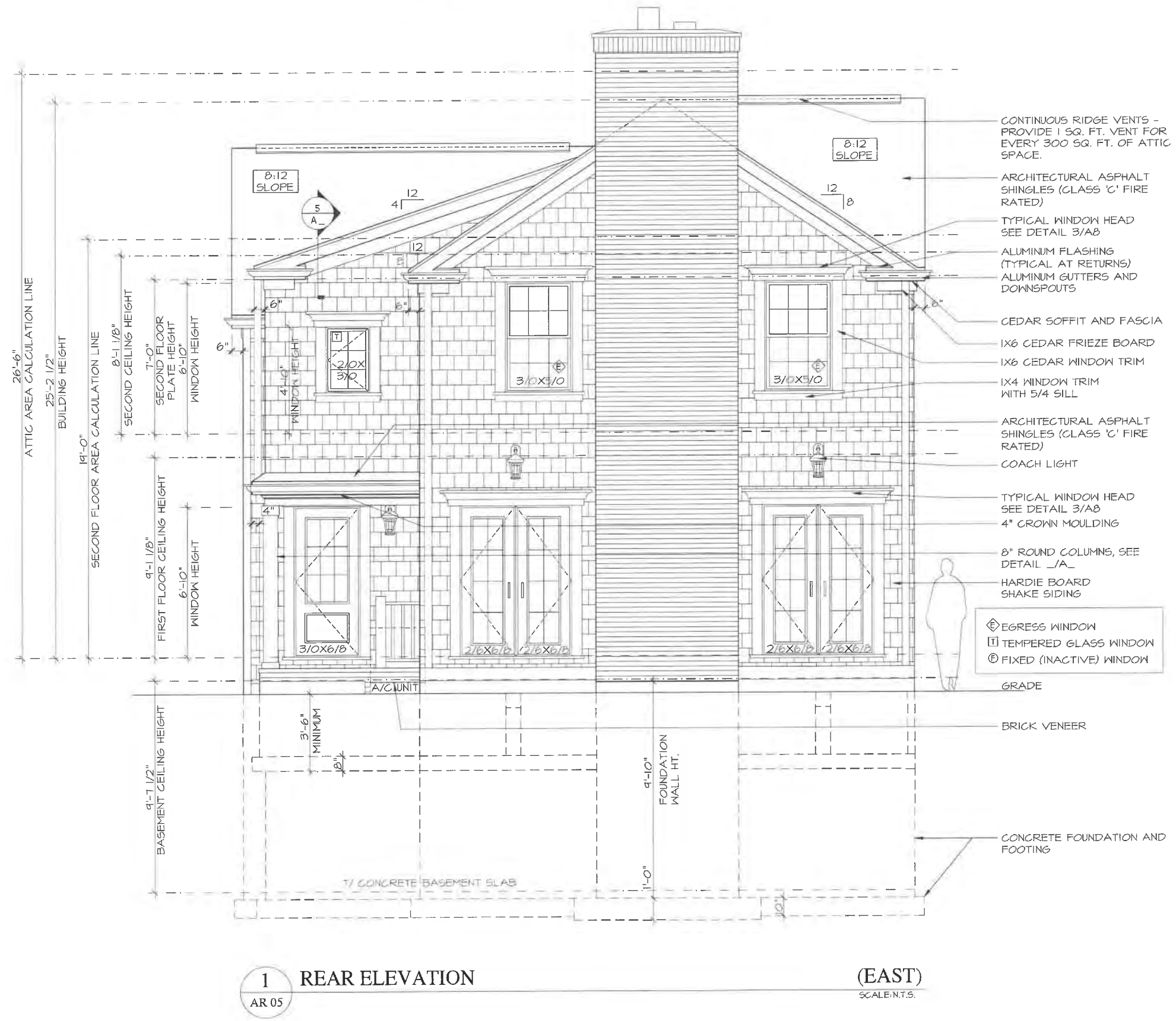
SCALE: N.T.S.

REVIEW ONLY-NOT FOR CONSTRUCTION

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REVIEW	04/07/2023
REVIEW	04/09/2023
REVIEW	04/12/2023
REVIEW	04/17/2023
REVIEW	04/19/2023
REVIEW	04/26/2023
REVIEW	05/15/2023
REVIEW	05/24/2023
16575 COMMERCE DR. SUITE 607 Volo, IL 60073 MARK: 847-677-2500 WWW.ASPECTDESIGNINC.COM IL License # 14106674	
ASPECT DESIGN INC. ARCHITECTS	
PROJECT #	AD23118
DRAWN BY:	DB/MB
SARHADDI RESIDENCE EXTERIOR ELEVATIONS	
AR 04	
# 4 OF 11 TOTAL SHEETS	

GROUP EXHIBIT B

The Plans

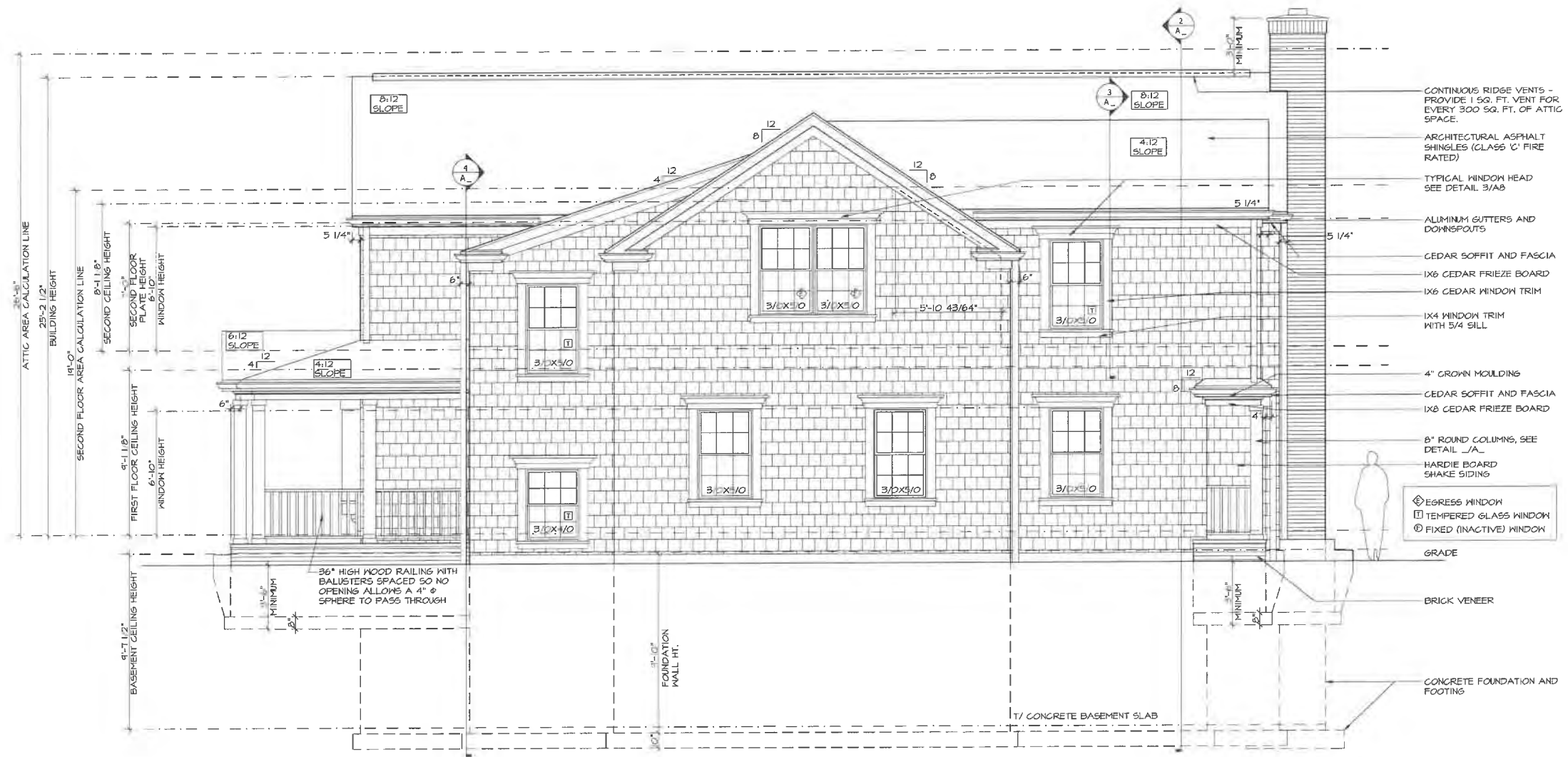


REVIEW ONLY - NOT FOR CONSTRUCTION

SARHADDI RESIDENCE	
NEW CONSTRUCTION - LOT 1 1371 EDGEWOOD ROAD LAKE FOREST, ILLINOIS 60045	
REVIEW	04/12/2023
REVIEW	04/12/2023
REVIEW	04/12/2023
REVIEW	04/12/2023
REVIEW	04/12/2023
REVIEW	04/12/2023
REVIEW	04/12/2023
REVIEW	04/12/2023
REVIEW	04/12/2023
REVIEW	04/12/2023
2675 COMMERCE DR. WOLF CREEK, IL 60073 MAIL: 847-457-2500 WWW.ASPECTDESIGNINC.COM TEL: 847-457-1800	
PROJECT #	AD23118
DRAWN BY:	DR / MR
SARHADDI RESIDENCE EXTERIOR ELEVATIONS	
AR 05	
# 5 OF 11 TOTAL SHEETS	

GROUP EXHIBIT B

The Plans



1 RIGHT ELEVATION
AR 06

(SOUTH)
SCALE: N.T.S.

REVIEW ONLY-NOT FOR CONSTRUCTION

SARHADDI RESIDENCE
NEW CONSTRUCTION - LOT 1
1371 EDGEWOOD ROAD
LAKE FOREST, ILLINOIS 60045

REVIEW	04/13/2023
REVIEW	04/05/2023
REVIEW	04/06/2023
REVIEW	04/17/2023
REVIEW	04/19/2023
REVIEW	04/19/2023
REVIEW	05/15/2023
REVIEW	05/28/2023

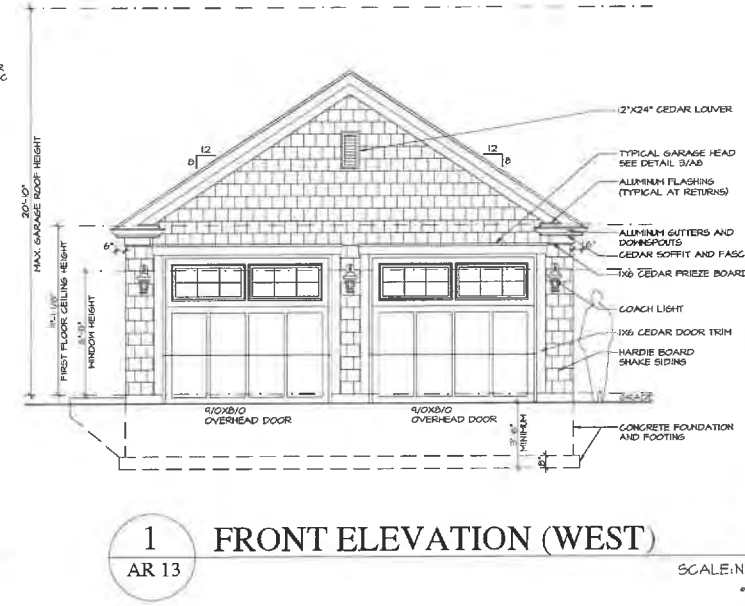
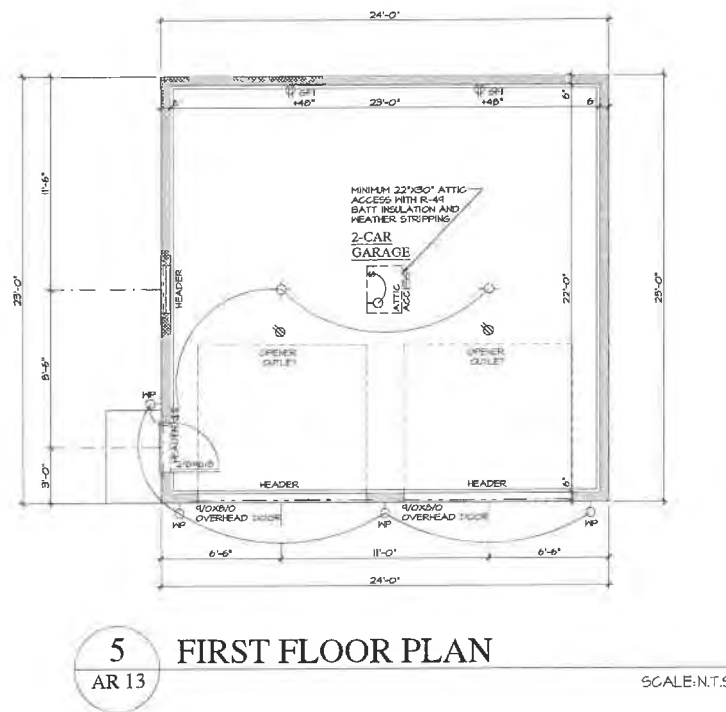
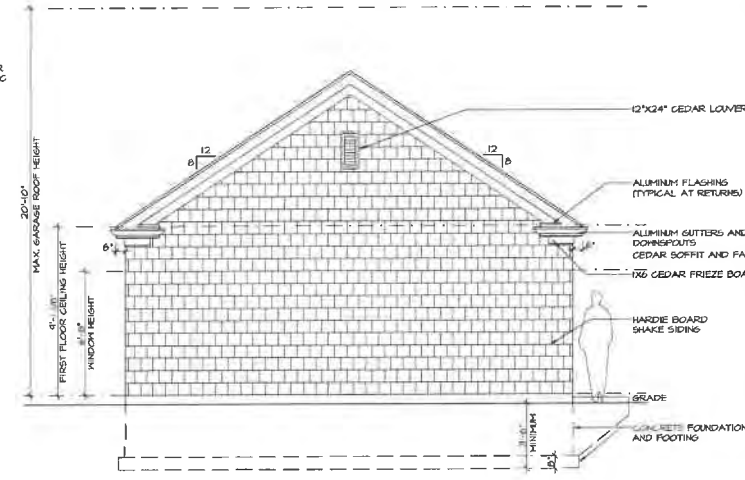
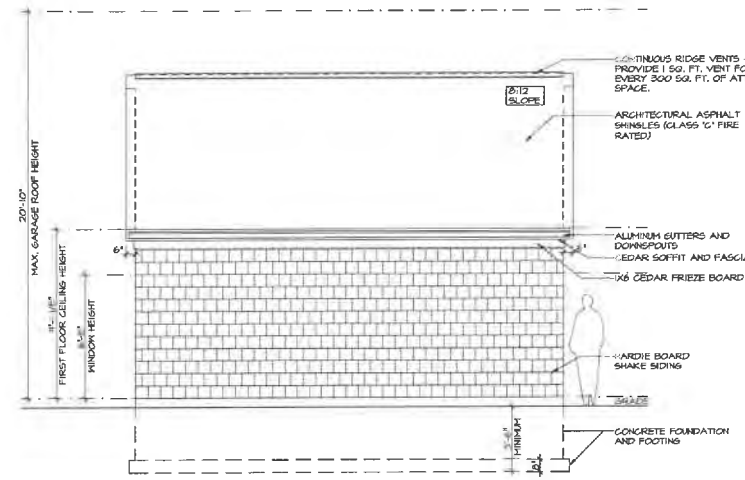
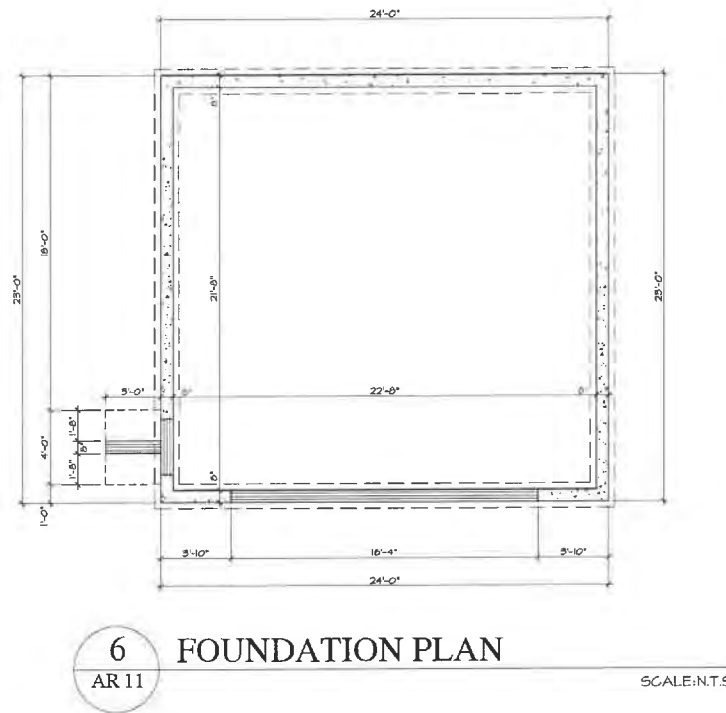
26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
MAIL: 847-457-2500
www.aspectdesigninc.com
ILLINOIS 14-00514

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD23118
DRAWN BY: DR / MR
SARHADDI RESIDENCE
EXTERIOR ELEVATIONS
AR 06
6 OF 11 TOTAL SHEETS

GROUP EXHIBIT B

The Plans



REVIEW ONLY-NOT FOR CONSTRUCTION

SARHADDI RESIDENCE	
NEW CONSTRUCTION - LOT 1 1371 EDGEWOOD ROAD LAKE FOREST, ILLINOIS 60045	
04/03/2023	REVIEW
04/06/2023	REVIEW
04/12/2023	REVIEW
04/19/2023	REVIEW
04/26/2023	REVIEW
05/03/2023	REVIEW
26575 COMMERCE DR. SUITE 607 Volo, IL 60073 PHONE: 847-457-2500 WWW.ASPECTDESIGN.COM IL LICENSE # 1416004	
ASPECT DESIGN INC. ARCHITECTS	
PROJECT #	AD23118
DRAWN BY:	DR / MR
SARHADDI RESIDENCE DETACHED GARAGE	
AR 13	
# 13 OF 11 TOTAL SHEETS	

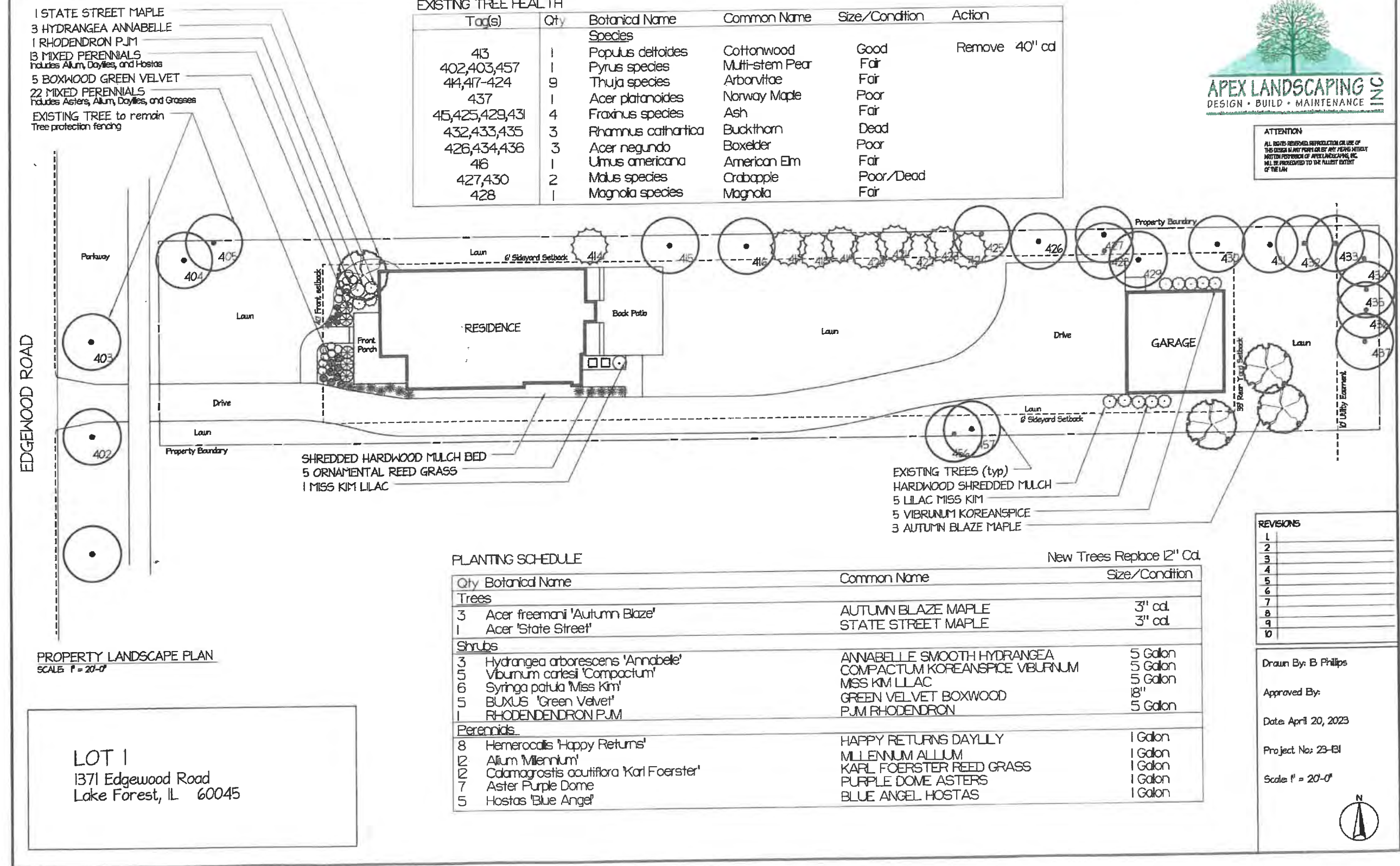
GROUP EXHIBIT B

The Plans

PRELIMINARY LANDSCAPE PLAN



ATTENTION
ALL RIGHTS RESERVED. REPRODUCTION OR USE OF THIS DESIGN IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF APEX LANDSCAPING INC. WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.



- 1 STATE STREET MAPLE
- 3 HYDRANGEA ANNABELLE
- 1 RHODENDRON P.J.M
- 13 MIXED PERENNIALS
Includes Allium, Daylilies, and Hostas
- 5 BOXWOOD GREEN VELVET
- 22 MIXED PERENNIALS
Includes Asters, Allium, Daylilies, and Grasses
- EXISTING TREE to remain
Tree protection fencing

EXISTING TREE HEALTH

Tag(s)	Qty	Botanical Name	Common Name	Size/Condition	Action
		<u>Species</u>			
413	1	Populus deltoides	Cottonwood	Good	Remove 40' cal
402,403,457	1	Pyrus species	Multi-stem Pear	Fair	
414,417-424	9	Thuja species	Arborvitae	Fair	
437	1	Acer platanoides	Norway Maple	Poor	
415,425,429,431	4	Fraxinus species	Ash	Fair	
432,433,435	3	Rhamnus cathartica	Buckthorn	Dead	
426,434,436	3	Acer negundo	Boxelder	Poor	
416	1	Ulmus americana	American Elm	Fair	
427,430	2	Malus species	Crabapple	Poor/Dead	
428	1	Magnolia species	Magnolia	Fair	

EDGEWOOD ROAD

PROPERTY LANDSCAPE PLAN
SCALE: 1" = 20'-0"

LOT 1
1371 Edgewood Road
Lake Forest, IL 60045

PLANTING SCHEDULE

Qty	Botanical Name	Common Name	Size/Condition
<u>Trees</u>			
3	Acer freemanii 'Autumn Blaze'	AUTUMN BLAZE MAPLE	3" cal.
1	Acer 'State Street'	STATE STREET MAPLE	3" cal.
<u>Shrubs</u>			
3	Hydrangea arborescens 'Annabelle'	ANNABELLE SMOOTH HYDRANGEA	5 Gallon
5	Viburnum cerasi 'Compactum'	COMPACTUM KOREANSPICE VIBURNUM	5 Gallon
6	Syringa patula 'Miss Kim'	MISS KIM LILAC	5 Gallon
5	BUXUS 'Green Velvet'	GREEN VELVET BOXWOOD	18"
1	RHODENDRON P.J.M	P.J.M RHODENDRON	5 Gallon
<u>Perennials</u>			
8	Hemerocallis 'Happy Returns'	HAPPY RETURNS DAYLILY	1 Gallon
12	Allium 'Millennium'	MILLENNIUM ALLIUM	1 Gallon
12	Calamagrostis acutiflora 'Karl Foerster'	KARL FOERSTER REED GRASS	1 Gallon
7	Aster Purple Dome	PURPLE DOME ASTERS	1 Gallon
5	Hostas 'Blue Angel'	BLUE ANGEL HOSTAS	1 Gallon

New Trees Replace 12" Cal.

REVISIONS

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

Drawn By: B Phillips

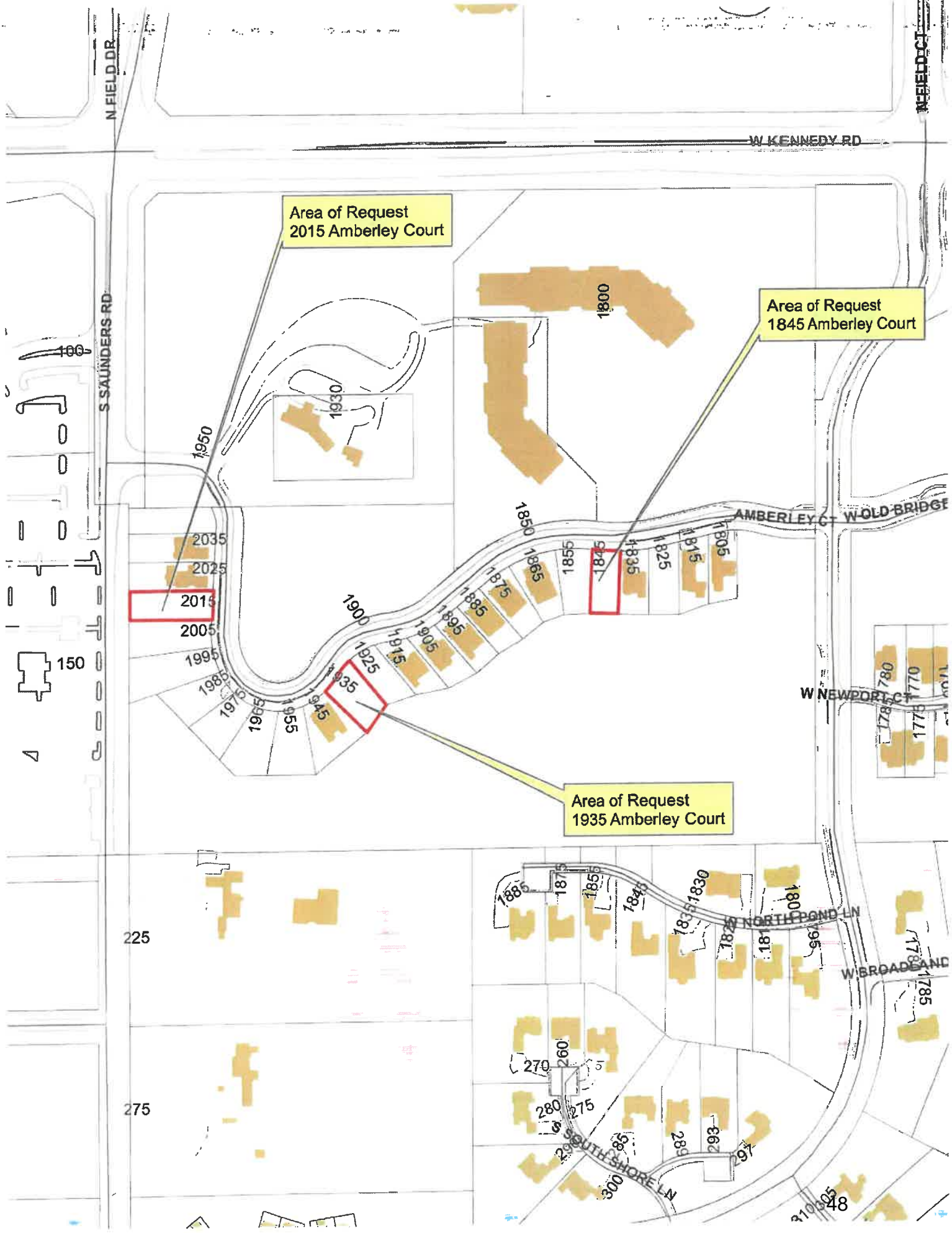
Approved By:

Date: April 20, 2023

Project No: 23-131

Scale: 1" = 20'-0"





Area of Request
2015 Amberley Court

Area of Request
1845 Amberley Court

Area of Request
1935 Amberley Court

N FIELD DR

S SAUNDERS RD

W KENNEDY RD

N FIELD DR



2015

1845

1935

150

225

275

AMBERLEY CT W OLD BRIDGE

W NEWPORT CT

NORTH POND LN

W BROADBAND

SOUTH SHORE LN

310 305 48

THE CITY OF LAKE FOREST

ORDINANCE NO. 2023- ____

AN ORDINANCE APPROVING REVISIONS TO PREVIOUSLY APPROVED PLANS
1845 AMBERLEY COURT

WHEREAS, McNaughton Development (Paul R. McNaughton 100%) ("**Owner**") is the owner of that certain real property commonly known as the 1845 Amberley Court, Lake Forest, Illinois, legally described in **Exhibit A**, attached hereto ("**Property**"); and

WHEREAS, the Property is located in the TD, Traditional Zoning District; and

WHEREAS, the Amberley Woods mixed use development of which the Courtyard Homes are a part, was originally approved by the City Council on April 20, 2006 consistent with the requirements of the TD Zoning District; and

WHEREAS, the Owner desires to make revisions to the previously approved plan including the addition of a single story sunroom on the rear of the house, modification of the roof form to accommodate a third bedroom on the second floor, addition of a dormer, and the addition of French doors and windows on the rear elevation ("**Improvements**") as depicted on the architectural drawings that are attached hereto as **Group Exhibit B ("Plans")**; and

WHEREAS, the Owner submitted an application ("**Application**") to permit the construction of the Improvements and was required to present revised Plans to the Building Review Board ("**BRB**") for its evaluation and recommendation; and

WHEREAS, pursuant to notice duly published, the BRB reviewed and evaluated the Plans at a public hearing held on July 5, 2023; and

WHEREAS, the BRB, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify, made the following findings:

1. the Property is located within the TD, Traditional District under the City Code,
2. Owner proposes to construct the Improvements as depicted on the Revised Plans,
3. the evidence presented indicates that the construction of the Improvements, if undertaken in conformity with the recommended conditions and the Plans, will meet the design standards and requirements of Section 150.147 of the City Code,

and recommended that the City Council approve the Application and the Plans, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owner's Application to construct the Improvements on the Property, and the findings and recommendations of the BRB, have determined that it is in the best interests of the City and its residents to grant approval to the Application, subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 150.147 of the City Code, and subject to the limitations therein and the conditions set forth in Section Three of this Ordinance, the City Council does hereby grant approval of

the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Conditions on Approval. The approval granted pursuant to Section Two of this Ordinance shall be, and is hereby, conditioned upon and limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. Compliance with Laws. Chapters 150, regarding buildings and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. Tree Preservation. The Owner will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.
- D. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans.
- E. Fees and Costs. The Owner shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owners shall reimburse the City for all of its costs

(including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.

- F. Other conditions. The improvements shall be substantially in conformance with the Board's deliberations as reflected on **Exhibit C**, Notice of Action – Board Recommendation, attached hereto.

SECTION FOUR: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the discretion of the City Council, be of no force or effect if the Owner has not (i) executed and (ii) thereafter filed with the City Clerk, within 90 days following the passage of this Ordinance, the unconditional agreement and consent, in the form attached hereto as **Exhibit D** and by this reference made a part hereof, to accept and abide by each and all of the terms, conditions, and limitations set forth herein.

PASSED THIS __ DAY OF _____, 2023.

AYES: ()

NAYS: ()

ABSENT: ()

ABSTAIN: ()

PASSED THIS __ DAY OF _____, 2023.

Mayor

ATTEST: _____
City Clerk

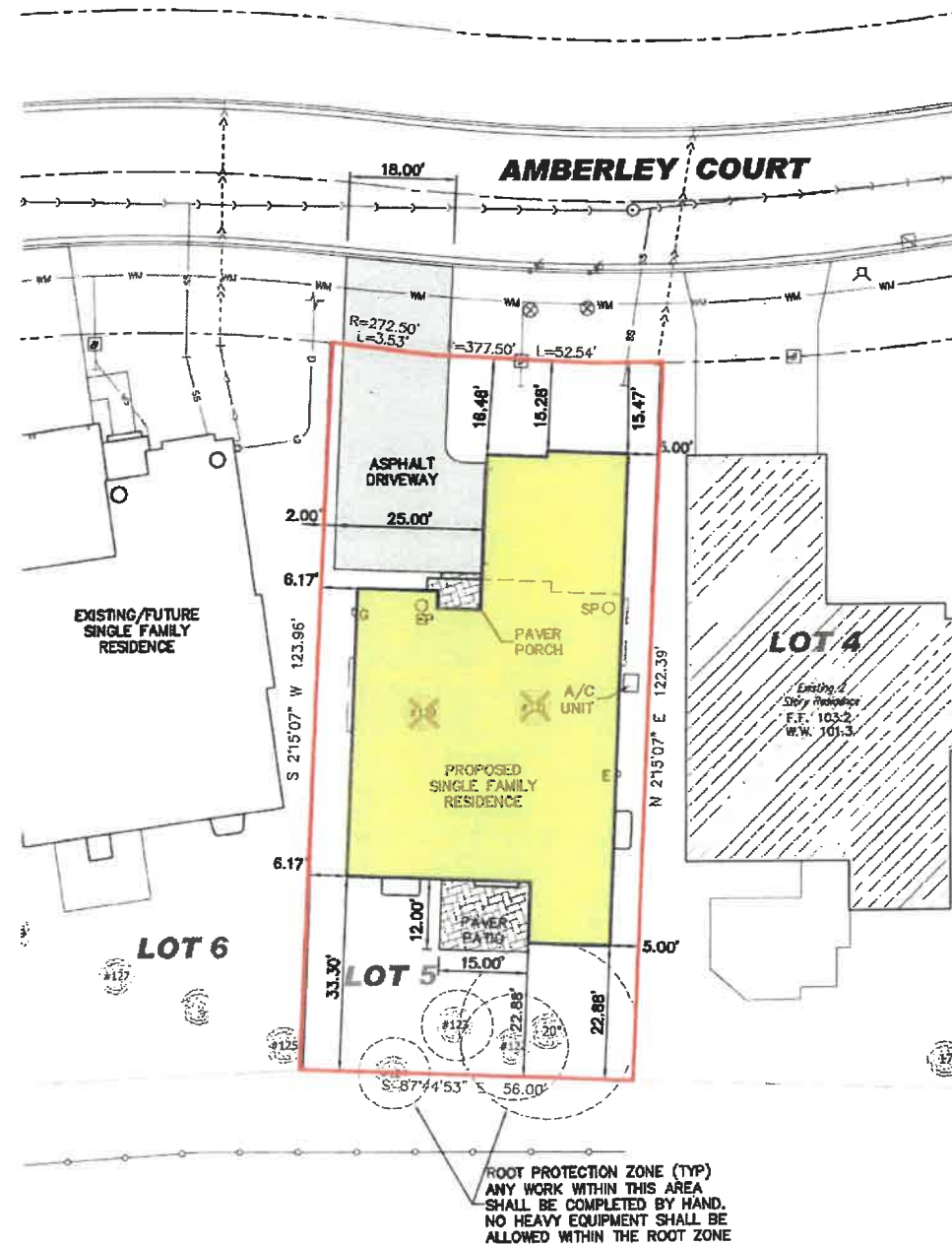
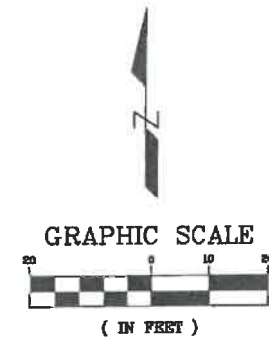
GROUP EXHIBIT B

The Plans

1845 AMBERLEY COURT - PROPOSED SITE PLAN

SITE PLAN

LOT 5 IN AMBERLEY WOODS SUBDIVISION, BEING A SUBDIVISION OF THE WEST 1/4 OF GOVERNMENT LOT 2 OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF THEREOF RECORDED APRIL 31, 2006 AS DOCUMENT 6051357, IN LAKE COUNTY, ILLINOIS.



PROPOSED NORTH (FRONT) AND SOUTH (REAR) ELEVATIONS - 1845 AMBERLEY COURT CARLISLE FRENCH COUNTRY



FRONT ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"

- WINDOW/DOOR NOTES:
- WINDOW DESIGNATIONS ARE AS FOLLOWS
 - 2080 IS EQUAL TO 2' 0" x 8' 0" UNIT
 - 2640 IS EQUAL TO 2' 6" x 4' 0" UNIT S.T.C.
 - PROVIDE TEMPERED GLAZING ON DOORS
 - DOOR SIDE LIGHTS AND WITHIN 24" OF DOOR JAMB
 - PELLA LIFESTYLE ALUMINUM CLAD UNITS
- EXTERIOR LIGHT FIXTURE NOTES:
- ALL EXTERIOR LIGHT FIXTURES TO HAVE FROSTED OR TEXTURED SEEDS GLASS



REAR ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE THE SAME COMPLY WITH ALL RULES, REGULATIONS AND ORDINANCES RELATING TO STRUCTURES AND BUILDINGS FOR THE CITY OF LAKE FOREST

DATE: 2/23/23
LICENSE EXPIRES: 11/30/24 ARCHITECT

SHEET INDEX

1 of 9	FRONT & REAR ELEVATION
2 of 9	RIGHT & LEFT ELEVATION
3A of 9	WALL SECTIONS
4 of 9	WALL SECTIONS
4 of 9	GENERAL NOTES, DETAILS & PLUMBING DIAGRAMS
5 of 9	FOUNDATION PLAN
6 of 9	FINISHED BASEMENT PLANS
7 of 9	FIRST FLOOR PLAN
8 of 9	SECOND FLOOR PLAN
9 of 9	ROOF FRAMING PLAN
11 of 2	FIRST FLOOR STRUCTURAL PLAN
12 of 2	SECOND FLOOR STRUCTURAL PLAN
BWH.1	WALL BRACING PLANS

CEILING HEIGHTS

ALL CEILING HEIGHTS ARE LESS THAN 14' 0" EXCEPT AREAS NOTED AS OPEN TO BELOW

AREA TABULATIONS

FIRST FLOOR	2,373.72 S.F.
GARAGE	545.54 S.F.
SECOND FLOOR	1,220.72 S.F.
GROSS FLOOR AREA	4,139.98 S.F.

DESIGN LOADS

ROOF LIVE LOAD	30 lbs per s.f.
FLAT ROOF LIVE LOAD	40 lbs per s.f.
UNFINISHED ATTIC FLOOR LIVE LOAD	20 lbs per s.f.
FLOOR LIVE LOAD - sleeping rooms	40 lbs per s.f.
FLOOR LIVE LOAD - other rooms	40 lbs per s.f.
DECK LIVE LOAD	40 lbs per s.f.
BALCONY LIVE LOAD	60 lbs per s.f.
PARTITION DEAD LOAD	15 lbs per s.f.
FLOOR DEAD LOAD	10 lbs per s.f.

LAKE FOREST CODES

- INTERNATIONAL RESIDENTIAL CODE 2018
- INTERNATIONAL MECHANICAL CODE, 2018
- INTERNATIONAL PROPERTY MAINTENANCE CODE 2006
- INTERNATIONAL FUEL GAS CODE 2018
- INTERNATIONAL ENERGY CONSERVATION CODE 2018
- NATIONAL ELECTRICAL CODE (NFPA 70) 2017
- STATE OF ILLINOIS PLUMBING CODE, CURRENT 77th CODE 800
- FIRE PREVENTION CODE 2018
- IF SAFE TY CODE NFPA 101, 2018
- NFPA 72 FIRE ALARM CODE 2016
- NFPA 13 2013, FIRE SPRINKLER CODES 2016
- LAKE FOREST MUNICIPAL CODE

DATE	2/23/23
REVISIONS	GENERAL REVISION

AMBERLEY COURT
LAKE FOREST
LOT 5 - CARLISLE/FRENCH
COPYRIGHT 2023 FERGO ARCHITECTS, LLC
11820 JACKSON STREET
BURR RIDGE, IL 60027
PHONE: 630.935.3400
FAX: 630.935.3402

McNAUGHTON
DEVELOPMENT

434 North Center Avenue
Lake Geneva Park, Illinois 60138
708.362.0418 phone
FAX: 630.935.3402



JOB NO: LOT 5
DATE: FEBRUARY 23, 2023

PROPOSED EAST (LEFT) AND WEST (RIGHT) ELEVATIONS - 1845 AMBERLEY COURT CARLISLE FRENCH COUNTRY



BOXED AREA SHOWS EXTENT OF
ORIGINALLY APPROVED OPEN PORCH
(THIS AREA NOT IDENTIFIED AS A CHANGE
BY DEVELOPER)

LEFT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION (WEST)
SCALE: 1/4" = 1'-0"

REVISIONS	ISSUED FOR PERMIT
DATE	2/23/23

AMBERLEY COURT
LAKE FOREST
LOT 5 - CARLISLE/FRENCH
COPYRIGHT 2023 FERGO ARCHITECTS, LLC
11520 JACOBSON STREET
BURRIDGE, IL 60027
PHONE: 830.325.3400
FAX: 830.325.3402

McNAUGHTON
DEVELOPMENT

434 North Dover Avenue
La Grange Park, Illinois 60026
708.382.0448 phone
708.382.0448 phone
FERGO ARCHITECTS, LLC

LOT 5
DATE
FEBRUARY 23, 2023

THE CITY OF LAKE FOREST

ORDINANCE NO. 2023- ____

AN ORDINANCE APPROVING REVISIONS TO PREVIOUSLY APPROVED PLANS
1935 AMBERLEY COURT

WHEREAS, McNaughton Development (Paul R. McNaughton 100%) ("**Owner**") is the owner of that certain real property commonly known as the 1845 Amberley Court, Lake Forest, Illinois, legally described in **Exhibit A**, attached hereto ("**Property**"); and

WHEREAS, the Property is located in the TD, Traditional Zoning District; and

WHEREAS, the Amberley Woods mixed use development of which the Courtyard Homes are a part, was originally approved by the City Council on April 20, 2006 consistent with the requirements of the TD Zoning District; and

WHEREAS, the Owner desires to make revisions to the previously approved plan including modification of the detailing on the eave return and the addition of and modification to windows in a bay ("**Improvements**") as depicted on the architectural drawings that are attached hereto as **Group Exhibit B** ("**Plans**"); and

WHEREAS, the Owner submitted an application ("**Application**") to permit the construction of the Improvements and was required to present revised Plans to the Building Review Board ("**BRB**") for its evaluation and recommendation; and

WHEREAS, pursuant to notice duly published, the BRB reviewed and evaluated the Plans at a public hearing held on July 5, 2023; and

WHEREAS, the BRB, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify, made the following findings:

1. the Property is located within the TD, Traditional District under the City Code,
2. Owner proposes to construct the Improvements as depicted on the Revised Plans,
3. the evidence presented indicates that the construction of the Improvements, if undertaken in conformity with the recommended conditions and the Plans, will meet the design standards and requirements of Section 150.147 of the City Code,

and recommended that the City Council approve the Application and the Plans, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owner's Application to construct the Improvements on the Property, and the findings and recommendations of the BRB, have determined that it is in the best interests of the City and its residents to grant approval to the Application, subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 150.147 of the City Code, and subject to the limitations therein and the conditions set forth in Section Three of this Ordinance, the City Council does hereby grant approval of

the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Conditions on Approval. The approval granted pursuant to Section Two of this Ordinance shall be, and is hereby, conditioned upon and limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. Compliance with Laws. Chapters 150, regarding buildings and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. Tree Preservation. The Owner will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.
- D. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans.
- E. Fees and Costs. The Owner shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owners shall reimburse the City for all of its costs

(including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.

- F. Other conditions. The improvements shall be substantially in conformance with the Board’s deliberations as reflected on **Exhibit C**, Notice of Action – Board Recommendation, attached hereto.

SECTION FOUR: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the discretion of the City Council, be of no force or effect if the Owner has not (i) executed and (ii) thereafter filed with the City Clerk, within 90 days following the passage of this Ordinance, the unconditional agreement and consent, in the form attached hereto as **Exhibit D** and by this reference made a part hereof, to accept and abide by each and all of the terms, conditions, and limitations set forth herein.

PASSED THIS __ DAY OF _____, 2023.

AYES: ()

NAYS: ()

ABSENT: ()

ABSTAIN: ()

PASSED THIS __ DAY OF _____, 2023.

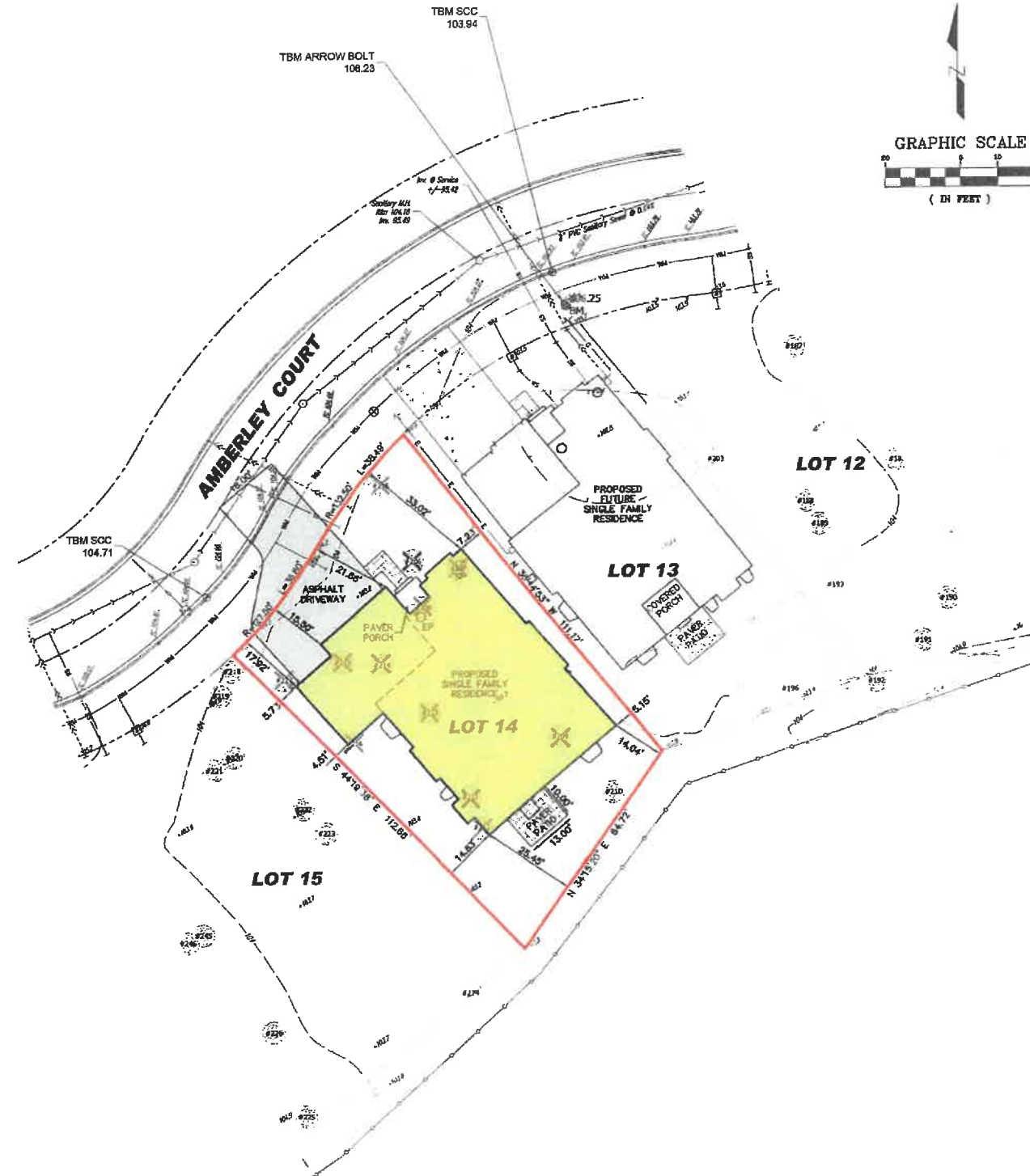
Mayor

ATTEST: _____
City Clerk

SITE PLAN

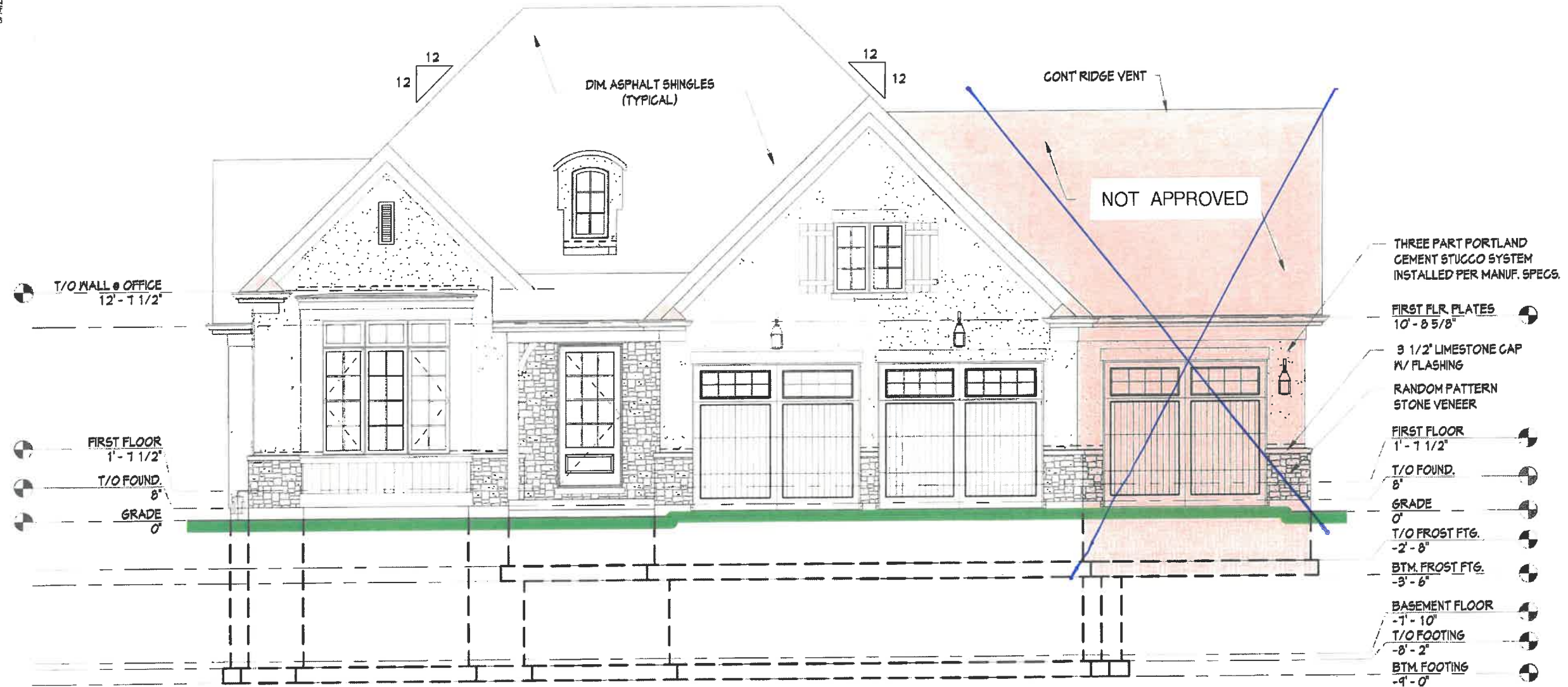
LOT 14 IN AMBERLEY WOODS SUBDIVISION, BEING A SUBDIVISION OF THE WEST 1/4 OF GOVERNMENT LOT 2 OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF THEREOF RECORDED APRIL 31, 2006 AS DOCUMENT 8051367, IN LAKE COUNTY, ILLINOIS.

1935 AMBERLEY COURT PROPOSED SITE PLAN



6/14/2023 11:59:18 AM

1935 AMBERLEY COURT - FENWICK FRENCH COUNTRY PROPOSED NORTH ELEVATION (FRONT)



1 FRONT

SCALE: 3/16" = 1'-0"

E:\Projects\2387\1935 Amberley Court (Lot 14).ind

JUNE 14, 2023

DANIEL LESUS ARCHITECTS, P.C. <small>DESIGN • PLANNING • CONSULTING</small>
1033 Holly Circle P: 847.550.0972
Lake Zurich, IL. 60047 F: 847.550.1075
dlarchitectspc.com

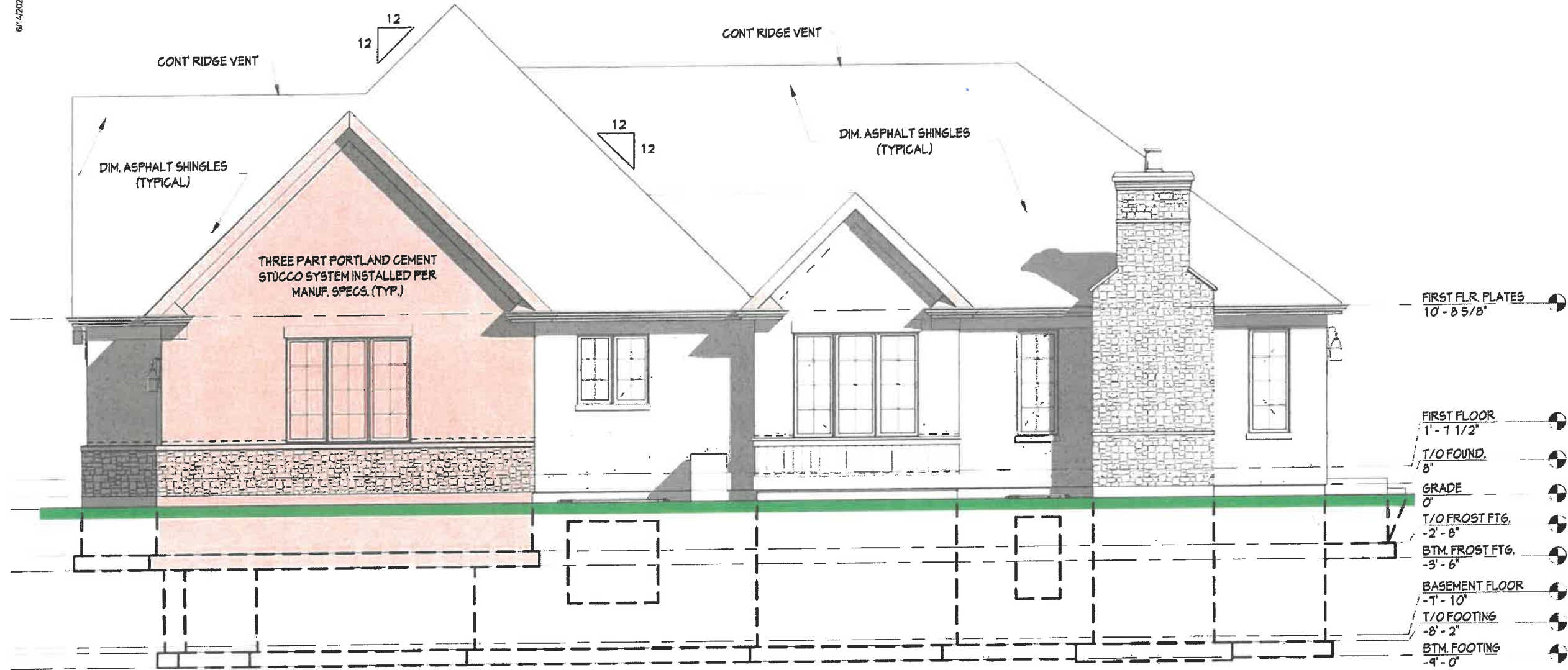
PROPOSED 3-CAR FENWICK COUNTRY FRENCH
1935 AMBERLEY CT. (LOT 14)
LAKE FOREST, ILLINOIS 60045

PERMIT:
REVISION:
REVISION:
PROJECT NO.

SHEET:
3
FRONT
<small>© COPYRIGHT 2022 BY DANIEL LESUS ARCHITECTS, P.C.</small>

1935 AMBERLEY COURT - FENWICK FRENCH COUNTRY PROPOSED WEST ELEVATION (RIGHT)

6/14/2023 11:58:26 AM



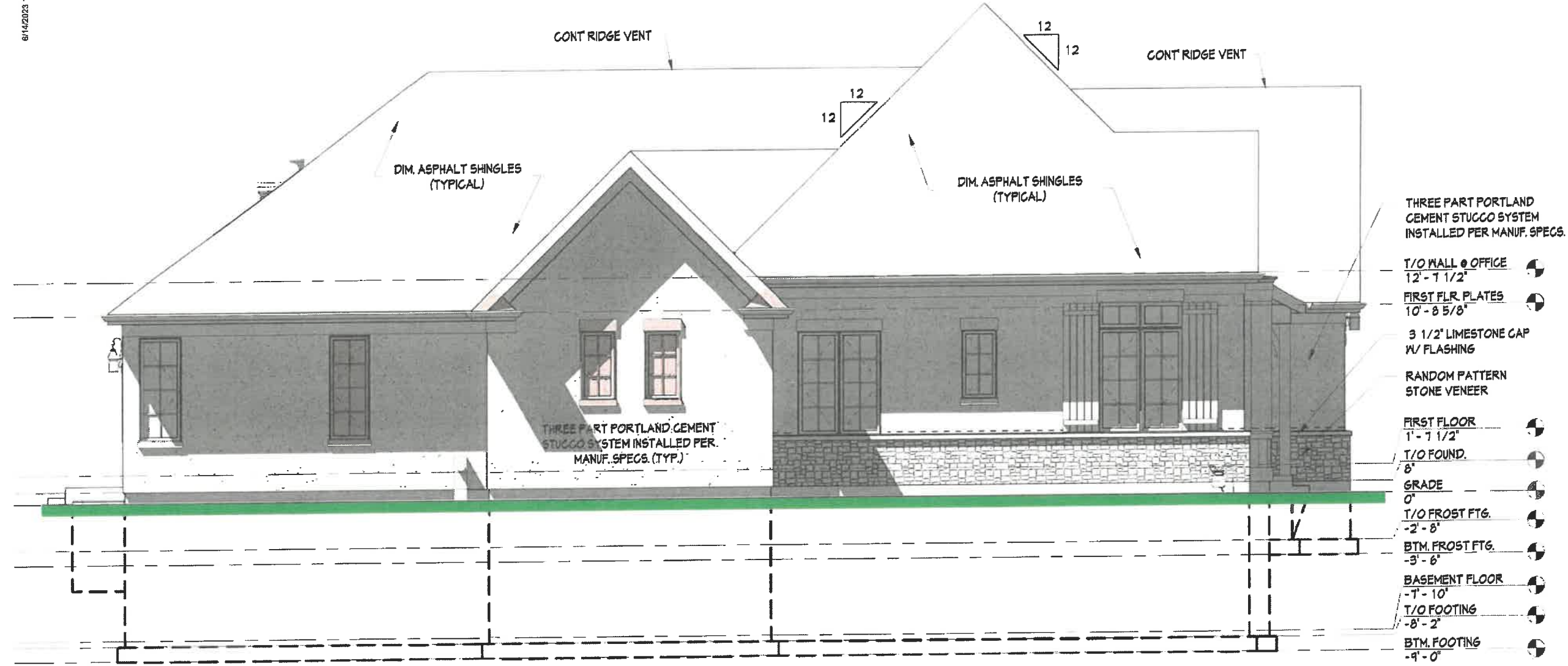
1 RIGHT
SCALE: 3/16" = 1'-0"

E:\Projects\238197\1935 Amberley Court (Lot 14).rvt

JUNE 14, 2023	DANIEL LESUS ARCHITECTS, P.C. <small>ARCHITECTS & CONSULTANTS</small> 1033 Holly Circle P: 847.550.0972 Lake Zurich, IL 60047 F: 847.550.1075 dlesusarchitects.com	PROPOSED 3-CAR FENWICK COUNTRY FRENCH 1935 AMBERLEY CT. (LOT 14) LAKE FOREST, ILLINOIS 60045	PERIT: REVIEW: REVISION: PROJECT NO.	SHEET: 4 RIGHT <small>© COPYRIGHT 2022 BY DANIEL LESUS ARCHITECTS, P.C.</small>
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1935 AMBERLEY COURT - FENWICK FRENCH COUNTRY PROPOSED EAST ELEVATION (LEFT)

6/14/2023 11:59:43 AM



1 LEFT
SCALE: 3/16" = 1'-0"

E:\Projects\23871\1935 Amberley Court (Lot 14).rvt

JUNE 14, 2023

DANIEL LESUS ARCHITECTS, P.C.
DESIGN • PLANNING • CONSULTING
1033 Holly Circle P: 847.550.0972
Lake Zurich, IL 60047 F: 847.550.1075
dlarchitectspc.com

PROPOSED 3-CAR FENWICK COUNTRY FRENCH
1935 AMBERLEY CT. (LOT 14)
LAKE FOREST, ILLINOIS 60045

PERMIT:
REVISION:
REVISION:
PROJECT NO.

6
LEFT

© COPYRIGHT 2023 BY
DANIEL LESUS ARCHITECTS, P.C.

THE CITY OF LAKE FOREST
ORDINANCE NO. 2023- ____

AN ORDINANCE APPROVING REVISIONS TO PREVIOUSLY APPROVED PLANS
2015 AMBERLEY COURT

WHEREAS, McNaughton Development (Paul R. McNaughton 100%) ("**Owner**") is the owner of that certain real property commonly known as the 1845 Amberley Court, Lake Forest, Illinois, legally described in **Exhibit A**, attached hereto ("**Property**"); and

WHEREAS, the Property is located in the TD, Traditional Zoning District; and

WHEREAS, the Amberley Woods mixed use development of which the Courtyard Homes are a part, was originally approved by the City Council on April 20, 2006 consistent with the requirements of the TD Zoning District; and

WHEREAS, the Owner desires to make revisions to the previously approved plan including the addition of a single story sunroom on the rear of the house, modification of the roof form to accommodate an additional bedroom on the second floor, expansion of the family room into an open porch with a triple window and French doors, and relocation of a chimney ("**Improvements**") as depicted on the architectural drawings that are attached hereto as **Group Exhibit B ("Plans")**; and

WHEREAS, the Owner submitted an application ("**Application**") to permit the construction of the Improvements and was required to present revised Plans to the Building Review Board ("**BRB**") for its evaluation and recommendation; and

WHEREAS, pursuant to notice duly published, the BRB reviewed and evaluated the Plans at a public hearing held on July 5, 2023; and

WHEREAS, the BRB, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify, made the following findings:

- 1. the Property is located within the TD, Traditional District under the City Code,
- 2. Owner proposes to construct the Improvements as depicted on the Revised Plans,
- 3. the evidence presented indicates that the construction of the Improvements, if undertaken in conformity with the recommended conditions and the Plans, will meet the design standards and requirements of Section 150.147 of the City Code,

and recommended that the City Council approve the Application and the Plans, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owner’s Application to construct the Improvements on the Property, and the findings and recommendations of the BRB, have determined that it is in the best interests of the City and its residents to grant approval to the Application, subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 150.147 of the City Code, and subject to the limitations therein and the conditions set forth in Section Three of this Ordinance, the City Council does hereby grant approval of the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Conditions on Approval. The approval granted pursuant to Section Two of this Ordinance shall be, and is hereby, conditioned upon and limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. Compliance with Laws. Chapters 150, regarding buildings and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. Tree Preservation. The Owner will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.

- D. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans.
- E. Fees and Costs. The Owner shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owners shall reimburse the City for all of its costs (including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.
- F. Other conditions. The improvements shall be substantially in conformance with the Board's deliberations as reflected on **Exhibit C**, Notice of Action – Board Recommendation, attached hereto.

SECTION FOUR: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the discretion of the City Council, be of no force or effect if the Owner has not (i) executed and (ii) thereafter filed with the City Clerk, within 90 days following the passage of this Ordinance, the unconditional agreement and consent, in the form attached hereto as **Exhibit D** and by this reference made a part hereof, to accept and abide by each and all of the terms, conditions, and limitations set forth herein.

PASSED THIS __ DAY OF _____, 2023.
 AYES: ()
 NAYS: ()
 ABSENT: ()

ABSTAIN: ()

PASSED THIS __ DAY OF _____, 2023.

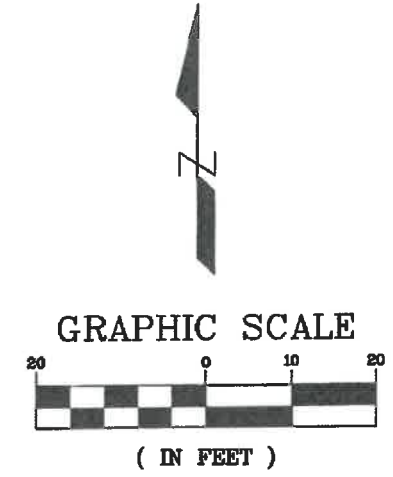
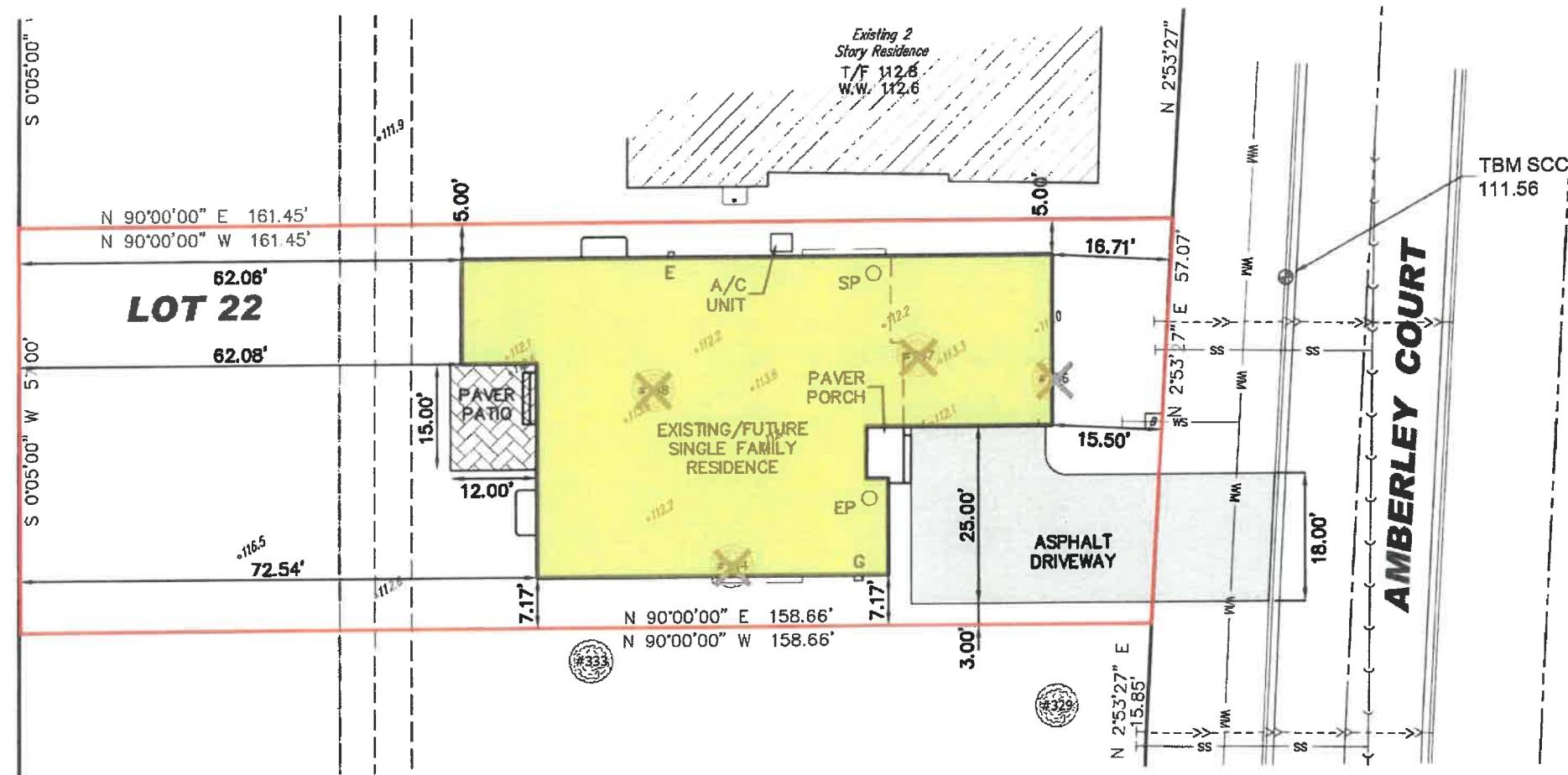
Mayor

ATTEST: _____
City Clerk

2015 AMBERLEY COURT PROPOSED SITE PLAN

SITE PLAN

LOT 22 IN AMBERLEY WOODS SUBDIVISION, BEING A SUBDIVISION OF THE WEST 1/2 OF GOVERNMENT LOT 2 OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF THEREOF RECORDED APRIL 31, 2006 AS DOCUMENT 6051357, IN LAKE COUNTY, ILLINOIS.



GROUP EXHIBIT B

The Plans

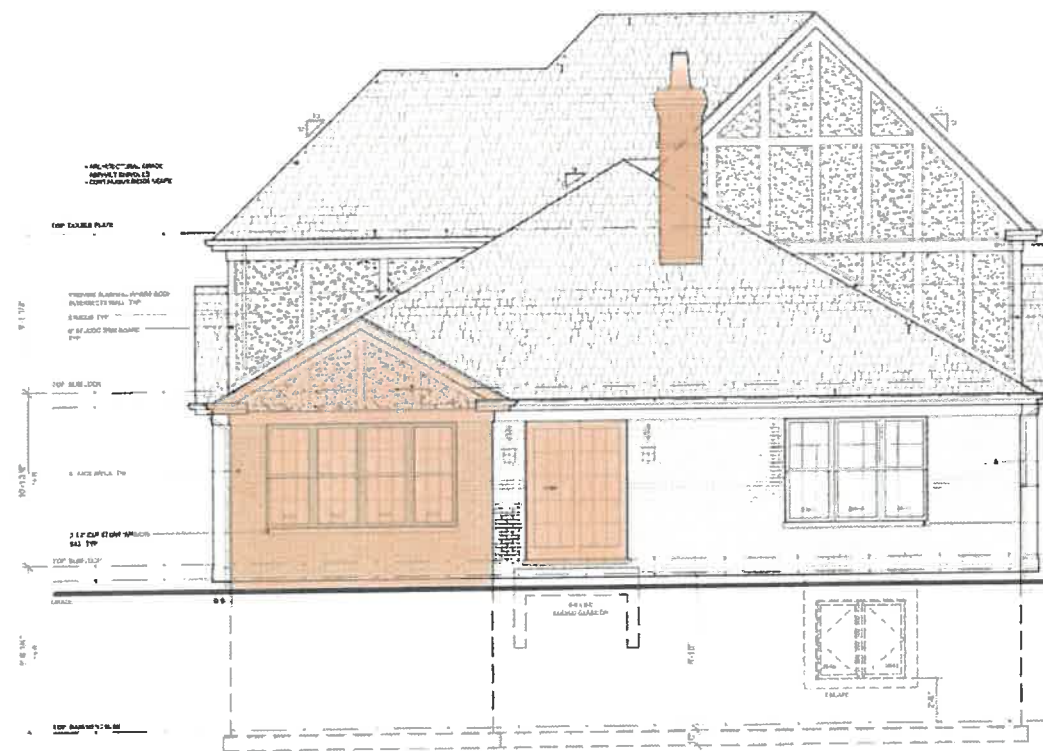
2015 AMBERLEY COURT - CARLISLE TUDOR PROPOSED EAST (FRONT) AND WEST (REAR) ELEVATIONS



FRONT ELEVATION (EAST)

SCALE: 1/4" = 1'-0"

- WINDOW DOOR NOTES
 - WINDOW DOOR SIZES ARE AS FOLLOWS
 - 288 IS EQUAL TO 2'-0" x 8'-0" UNIT
 - 264 IS EQUAL TO 2'-0" x 4'-0" UNIT, ETC
 - PROVIDE TEMPERED GLAZING IN DOORS
 - DOOR SIZES LIGHTS AND WINDOWS 24" OF DOOR
 - 2488
 - PELLA 1 1/2" STYLE ALUMINUM CLAD WHITE
- EXTERIOR LIGHT FIXTURE NOTES
 - ALL EXTERIOR LIGHT FIXTURES TO HAVE
 - PROTECTED OR TEXTURED/LEDGED GLASS



REAR ELEVATION (WEST)

SCALE: 1/4" = 1'-0"

1. I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE THEY COMPLY WITH ALL RULES, REGULATIONS AND ORDINANCES RELATING TO STRUCTURES AND BUILDINGS FOR THE CITY OF LAKE FOREST

DATE: 6/23
LICENSE NUMBER: 110034 ARCHITECT

SHEET INDEX	
1 of 9	FRONT & REAR ELEVATION
2 of 9	RIGHT & LEFT ELEVATION
3 of 9	WALL SECTIONS
4 of 9	GENERAL NOTES - DETAIL & PLUMBING DIAGRAMS
5 of 9	FOUNDATION PLAN
6 of 9	FURNISHED BASEMENT PLANS
7 of 9	FIRST FLOOR PLAN
8 of 9	SECOND FLOOR PLAN
9 of 9	ROOF FRAMING PLAN
10 of 9	FIRST FLOOR STRUCTURAL PLAN
11 of 9	SECOND FLOOR STRUCTURAL PLAN
12 of 9	WALL BRACING PLANS

CEILING HEIGHTS	
ALL CEILING HEIGHTS ARE LESS THAN 14' 0" EXCEPT AREAS NOTED AS OPEN TO BELOW	

AREA TABULATIONS	
FIRST FLOOR	2,382.98 S.F.
GARAGE	231.79 S.F.
SECOND FLOOR	1,871.03 S.F.
GRAND FLOOR AREA	4,485.81 S.F.

DESIGNER LOADS	
ROOF LIVE LOAD	30 lbs per sq ft
FLAT ROOF LIVE LOAD	40 lbs per sq ft
UNFINISHED ATTIC FLOOR LIVE LOAD	20 lbs per sq ft
FLOOR LIVE LOAD (except where noted)	40 lbs per sq ft
FLOOR LIVE LOAD (where noted)	40 lbs per sq ft
DECK LIVE LOAD	60 lbs per sq ft
BALCONY LIVE LOAD	60 lbs per sq ft
PARTITION DEAD LOAD	10 lbs per sq ft
FLOOR DEAD LOAD	10 lbs per sq ft

LAKE FOREST CODES	
1	INTERNATIONAL RESIDENTIAL CODE 2018
2	INTERNATIONAL MECHANICAL CODE 2018
3	INTERNATIONAL PROVISIONS TO INTERNATIONAL CODE 2018
4	INTERNATIONAL FUEL GAS CODE 2018
5	INTERNATIONAL ENERGY CONSERVATION CODE 2018
6	NATIONAL ELECTRICAL CODE (NEC) 2017
7	STATE OF ILLINOIS PLUMBING CODE CURRENT, 1971 CODE 890
8	2018 INTERNATIONAL CODE 2018
9	LIFESAFETY CODE NFPA 101 2018
10	NFPA 72 FIRE ALARM CODE 2016
11	NFPA 11, 12, 13B, 13C, 13E, 13F, 13R, 13S, 13X, 13Y, 13Z, 13Z-1, 13Z-2, 13Z-3, 13Z-4, 13Z-5, 13Z-6, 13Z-7, 13Z-8, 13Z-9, 13Z-10, 13Z-11, 13Z-12, 13Z-13, 13Z-14, 13Z-15, 13Z-16, 13Z-17, 13Z-18, 13Z-19, 13Z-20, 13Z-21, 13Z-22, 13Z-23, 13Z-24, 13Z-25, 13Z-26, 13Z-27, 13Z-28, 13Z-29, 13Z-30, 13Z-31, 13Z-32, 13Z-33, 13Z-34, 13Z-35, 13Z-36, 13Z-37, 13Z-38, 13Z-39, 13Z-40, 13Z-41, 13Z-42, 13Z-43, 13Z-44, 13Z-45, 13Z-46, 13Z-47, 13Z-48, 13Z-49, 13Z-50, 13Z-51, 13Z-52, 13Z-53, 13Z-54, 13Z-55, 13Z-56, 13Z-57, 13Z-58, 13Z-59, 13Z-60, 13Z-61, 13Z-62, 13Z-63, 13Z-64, 13Z-65, 13Z-66, 13Z-67, 13Z-68, 13Z-69, 13Z-70, 13Z-71, 13Z-72, 13Z-73, 13Z-74, 13Z-75, 13Z-76, 13Z-77, 13Z-78, 13Z-79, 13Z-80, 13Z-81, 13Z-82, 13Z-83, 13Z-84, 13Z-85, 13Z-86, 13Z-87, 13Z-88, 13Z-89, 13Z-90, 13Z-91, 13Z-92, 13Z-93, 13Z-94, 13Z-95, 13Z-96, 13Z-97, 13Z-98, 13Z-99, 13Z-100
12	NFPA 704 FIRE RISK RATING CODE 2014
13	LAKE FOREST MUNICIPAL CODE

REVISIONS	DATE	BY

AMBERLEY COURT
LAKE FOREST
LOT 22 - CARLISLE TUDOR
COPYRIGHT 2018 PERCON ARCHITECTS, LLC

McNAUGHTON
DEVELOPMENT

13220 JACKSON STREET
BURNING WOOD, IL 60027
PHONE: 630.335.3400
FAX: 630.335.3402

484 North County Avenue
La Grange Park, Illinois 60526
708.383.0418 phone
708.383.0418 fax

FERRARI
ARCHITECTS, LLC

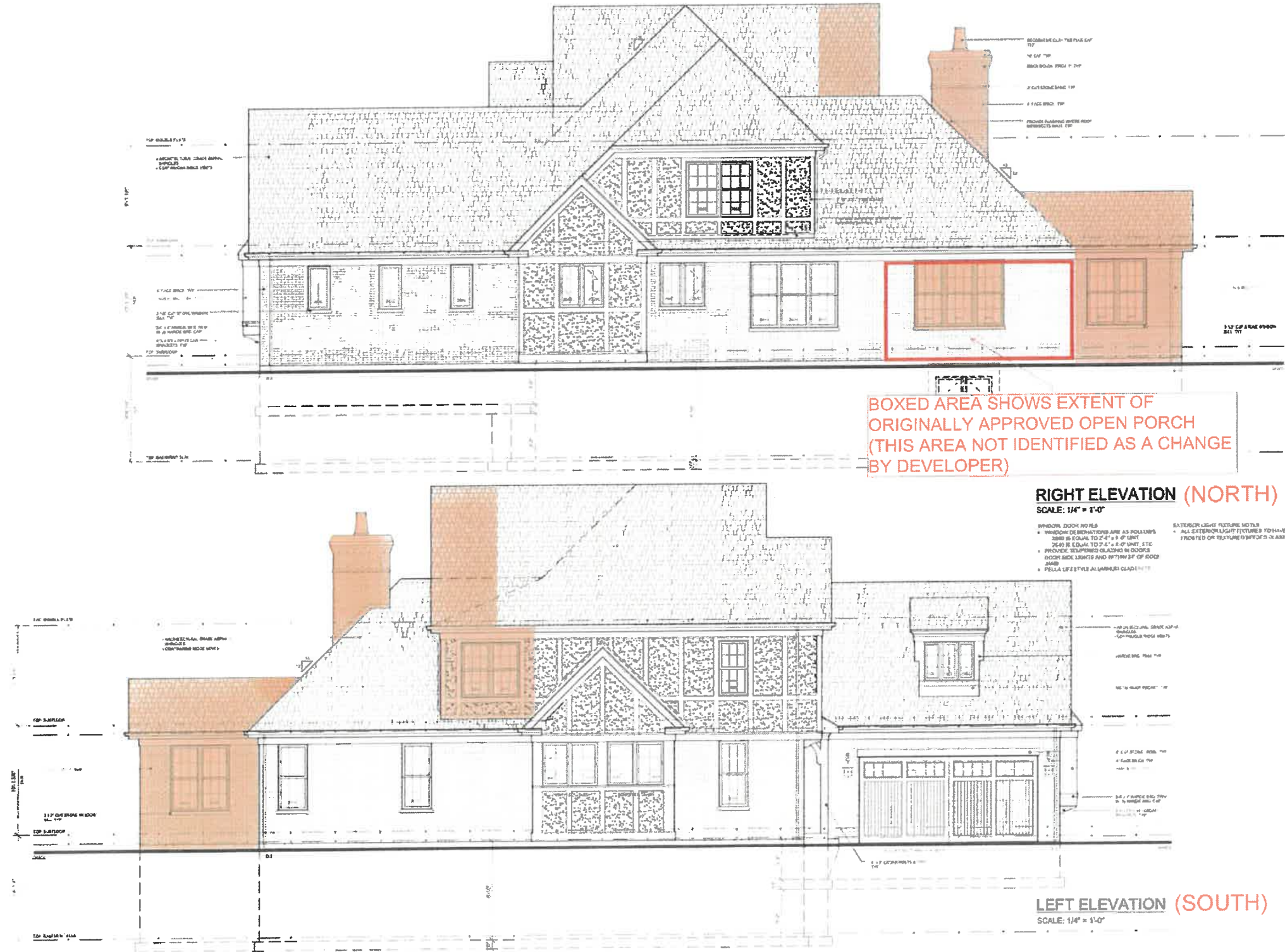
LOT 22
DATE: JUNE 7, 2023

1 of 9

GROUP EXHIBIT B

The Plans

2015 AMBERLEY COURT - CARLISLE TUDOR PROPOSED NORTH (RIGHT) AND SOUTH (LEFT) ELEVATIONS



BOXED AREA SHOWS EXTENT OF ORIGINALLY APPROVED OPEN PORCH (THIS AREA NOT IDENTIFIED AS A CHANGE BY DEVELOPER)

REVISIONS	DATE	BY	DESCRIPTION

**AMBERLEY COURT
LAKE FOREST**
LOT 22 - CARLISLE TUDOR
COPYRIGHT 2023 FERRISS ARCHITECTS, LLC
11330 W. NORTH AVENUE, SUITE 100, LAKE FOREST, IL 60045
PHONE: 800.255.3400 FAX: 800.255.3402

**McNAUGHTON
DEVELOPMENT**
11330 W. NORTH AVENUE, SUITE 100, LAKE FOREST, IL 60045
PHONE: 800.255.3400 FAX: 800.255.3402

604 North Dover Avenue
La Grange Park, Illinois 60526
300.532.8449 phone
FERRISS ARCHITECTS, LLC

LOT 22
DATE: JUNE 1, 2023

THE CITY OF LAKE FOREST

ORDINANCE NO. 2023 - _____

AN ORDINANCE AMENDING THE COMPREHENSIVE LAND USE PLAN FOR THE CITY OF LAKE FOREST AS IT PERTAINS TO THE CENTRAL BUSINESS DISTRICT

WHEREAS, the City of Lake Forest developed its first Comprehensive Land Use Plan in 1955; and

WHEREAS, the plan was updated in 1978, 1981, 1986, 1988, 1992, 1998, 2001, 2013 and 2016; and

WHEREAS, the City Council has directed a review and update of the Comprehensive Land Use Plan, using a phased approach, recognizing that the Plan was last wholly updated in 1998; and

WHEREAS, updates to the chapters relating to the Waukegan Road/Settlers' Square Business District and the Route 60 Corridor have been completed and the focus is now on the Central Business District; and

WHEREAS, a diverse adhoc Working Group was appointed, and included members who each have a unique interest in and perspective on the Central Business District, to consider public comment and advise staff and the City's consultant on the development of a draft update of the Comprehensive Plan as it relates to said area; and

WHEREAS, over the course of two meetings, April 20, 2023, and June 14, 2023, the Plan Commission held a public hearing and considered the draft chapter and the recommendations that came out of the study and deliberations of the Working Group; and

WHEREAS, the updated chapter relating to the Central Business District is intended to establish a vision and desired outcomes looking forward 5, 10, 20 years, and strategies for achieving that vision; and

WHEREAS, the Plan Commission of The City of Lake Forest after presentations, public comment and deliberations, recommended to the City Council approval of an update to the Comprehensive Land Use Plan as it pertains to the Central Business District and further recommended that priority be placed the following areas: Infrastructure, Bank Lane, and the Inner Ring.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, LAKE COUNTY, ILLINOIS AS FOLLOWS:

SECTION ONE: Recitals. The foregoing recitals are hereby adopted by this reference as the findings of the City Council and are hereby incorporated into this Section as if fully set forth.

SECTION TWO: Amendment to The City of Lake Forest Comprehensive Land Use Plan. The Central Business District chapter of the Comprehensive Land Use Plan is hereby amended as reflected in Exhibit A which is attached hereto and made a part hereof.

SECTION THREE: Effective Date. This ordinance shall be in full force and effect upon its passage, approval, and publication in pamphlet form in the manner provided by law.

Passed this _____ day of _____ 2023

AYES:

NAYS:

ABSENT:

ABSTAIN:

Approved this ____ day of ____2023.

Mayor

ATTEST:

City Clerk



AS RECOMMENDED BY THE PLAN COMMISSION • JUNE 2023

THE CENTRAL BUSINESS DISTRICT

• Looking Forward •

FOR INCORPORATION INTO THE COMPREHENSIVE PLAN

The background of the page is a photograph of a park. On the left, there is a tall flagpole with an American flag flying. In the center and right, there are large, leafy trees with green and yellow foliage. The ground is a green lawn. The entire page is framed by a white border.

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THE CENTRAL BUSINESS DISTRICT

The City of Lake Forest's Central Business District (CBD) is one of the community's many treasures.

INTRODUCTION

The Central Business District serves the Lake Forest community by providing retail, restaurants, service businesses, office space, public parking, and outdoor gathering spaces for day to day activity as well as community events. Historically, the CBD has also included residential units above first floor retail and service businesses. Over time, most of the original residential units in the CBD have been adapted to office space creating less of a 24/7 environment.

This Chapter of the Comprehensive Plan is being updated at a unique time, as the community and nation are coming out of the Covid pandemic. During the 2020-2022 pandemic, Lake Forest experienced a peak in home sales with many families and individuals accelerating moves from the City of Chicago to the suburbs.

Lake Forest's tree lined streets, welcoming neighborhoods, preserved open spaces, excellent and varied school options, safe environment and distinctive and welcoming Central Business District are just a few of the reasons people chose to make Lake Forest their home during this unprecedented time.

Established restaurants followed their customers to Lake Forest attracting other new businesses and bringing in patrons from surrounding communities. This chapter update occurs at an opportune time to pause, appreciate what the community has in the CBD, assess its strengths and weaknesses, and look forward. Strategies for preserving, protecting, enhancing and supporting the CBD in the future are detailed in this chapter.

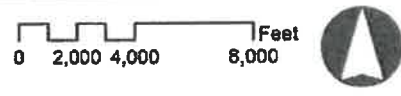
CENTRAL BUSINESS DISTRICT LOCATION MAP

Lake Forest's Central Business District (CBD) is identified within the context of the City's boundaries on the map below. The CBD is linear, extending along the west side of Western Avenue, parallel to the Metra Union Pacific North (UP_N) commuter rail line. This chapter does not recommend any change in the current geographic limits of the Central Business District.



— Lake Forest City Boundary
★ Lake Forest Central Business District

The Lake Forest Central Business District extends along Western Avenue to the north and south of Deerpath, and a few blocks west of Western Avenue along key east/west corridors.

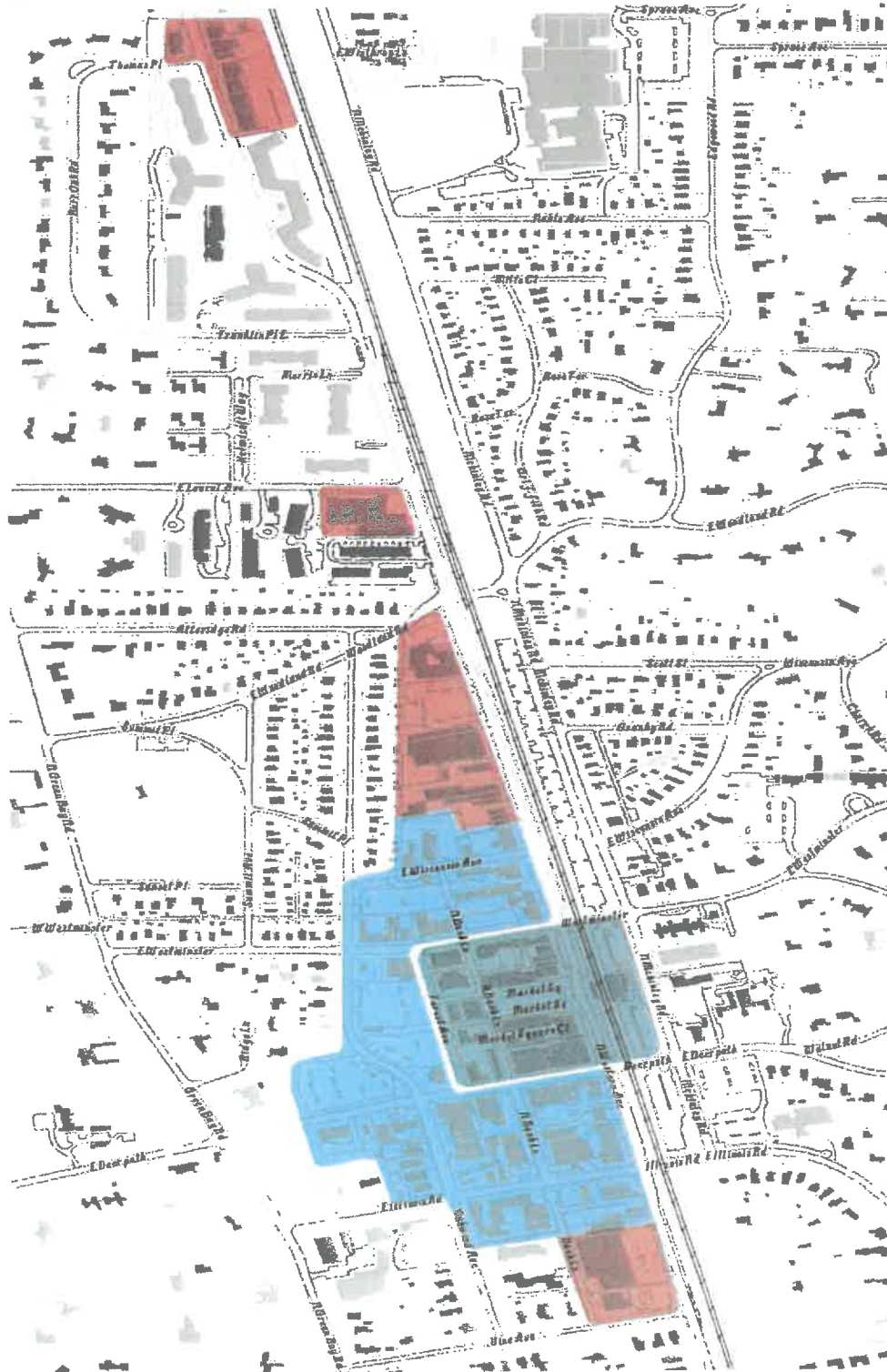


Insert Map * Label Key Points of Interest & Pair with Photos

(Market Square, Metra Station, Deerpath Inn, Gorton, Greensward, North and South Alley, etc.)

CENTRAL BUSINESS DISTRICT SUBAREAS

■ THE CORE ■ INNER RING ■ NEIGHBORHOOD BUSINESS



CENTRAL BUSINESS DISTRICT
SUBAREAS

CBD Subarea #1

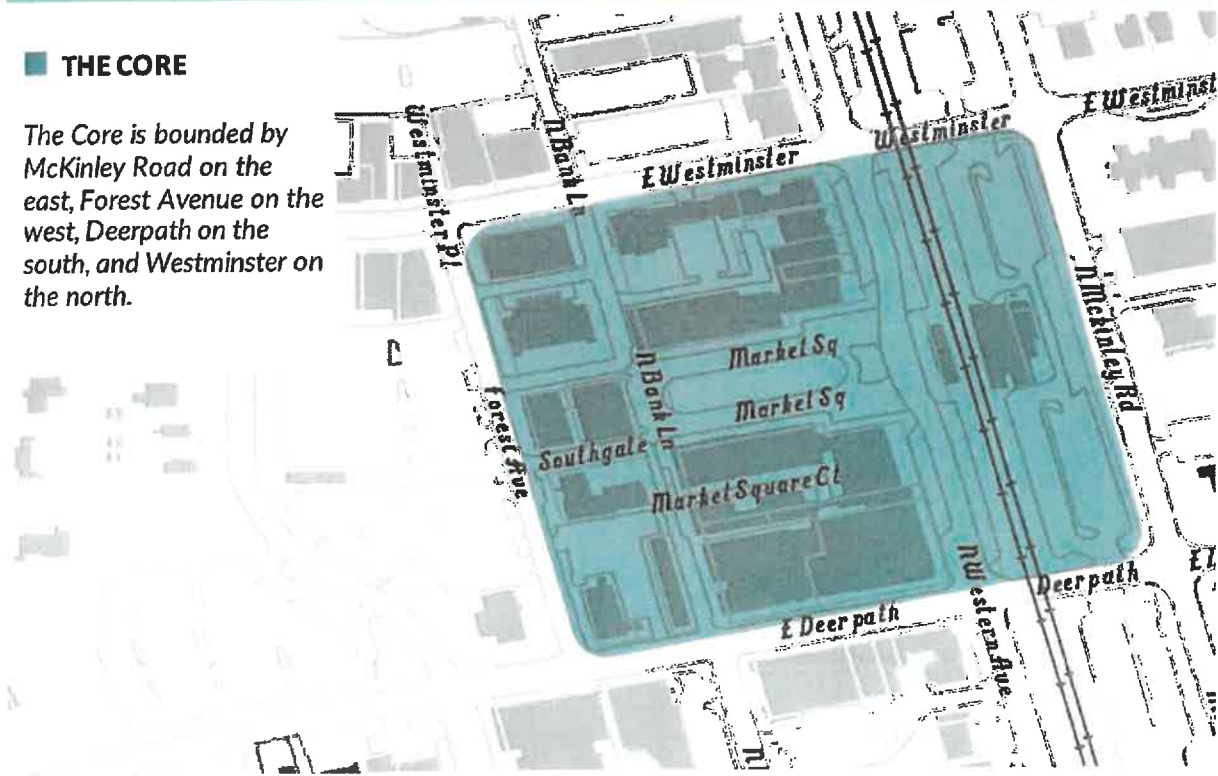
The Core: A Unique Experience

Lake Forest's iconic Market Square, the historically significant buildings, the Greensward, courtyards, and the predominance of ground floor retail businesses make up the heart of Lake Forest's Central Business District. Market Square is known as the first planned shopping center in the United States. The buildings that comprise Market Square are historically and architecturally significant, designed by Howard Van Doren Shaw. Market Square was created as a result of a community vision, community initiative, and community investment.



THE CORE

The Core is bounded by McKinley Road on the east, Forest Avenue on the west, Deerpath on the south, and Westminster on the north.



**CENTRAL BUSINESS DISTRICT
SUBAREAS**

In 1913 Lake Forest Improvement Trustees, comprised of prominent local residents, acquired 400 feet of frontage along Western Avenue and charged architect and local historian Howard Van Doren Shaw with developing a plan to transform Lake Forest's core. The result of the visionary plan and the public/ private partnership, was a business district that serves as a model, even today, for communities across the Country. Most other buildings in the Core are also important and contribute to the distinctive character of the Central Business District.

The "Core" subarea has historically been dominated by first floor retail and storefront windows that invite shoppers in and activate the streetscape. Today, more service businesses are interspersed among the retail stores: banks, real estate offices, shipping services, and personal care salons of various types. The second-floor spaces in the subarea support small to medium size office uses. Several distinctive outdoor spaces for passive and active enjoyment are located in the Core. The Greensward in Market Square, the north and south Market Square Courtyards, the dining patio on Southgate, and the Lake Forest Bank and Trust Garden offer outdoor areas to eat, gather, sit, stroll, and enjoy community events.

Preservation, restoration, and maintenance are of the utmost importance in the Core. Opportunities for adaptive reuse of buildings exist, for example the U.S. Post Office building and site if it becomes available in the future.

(Opportunity Areas are addressed later in this chapter.)

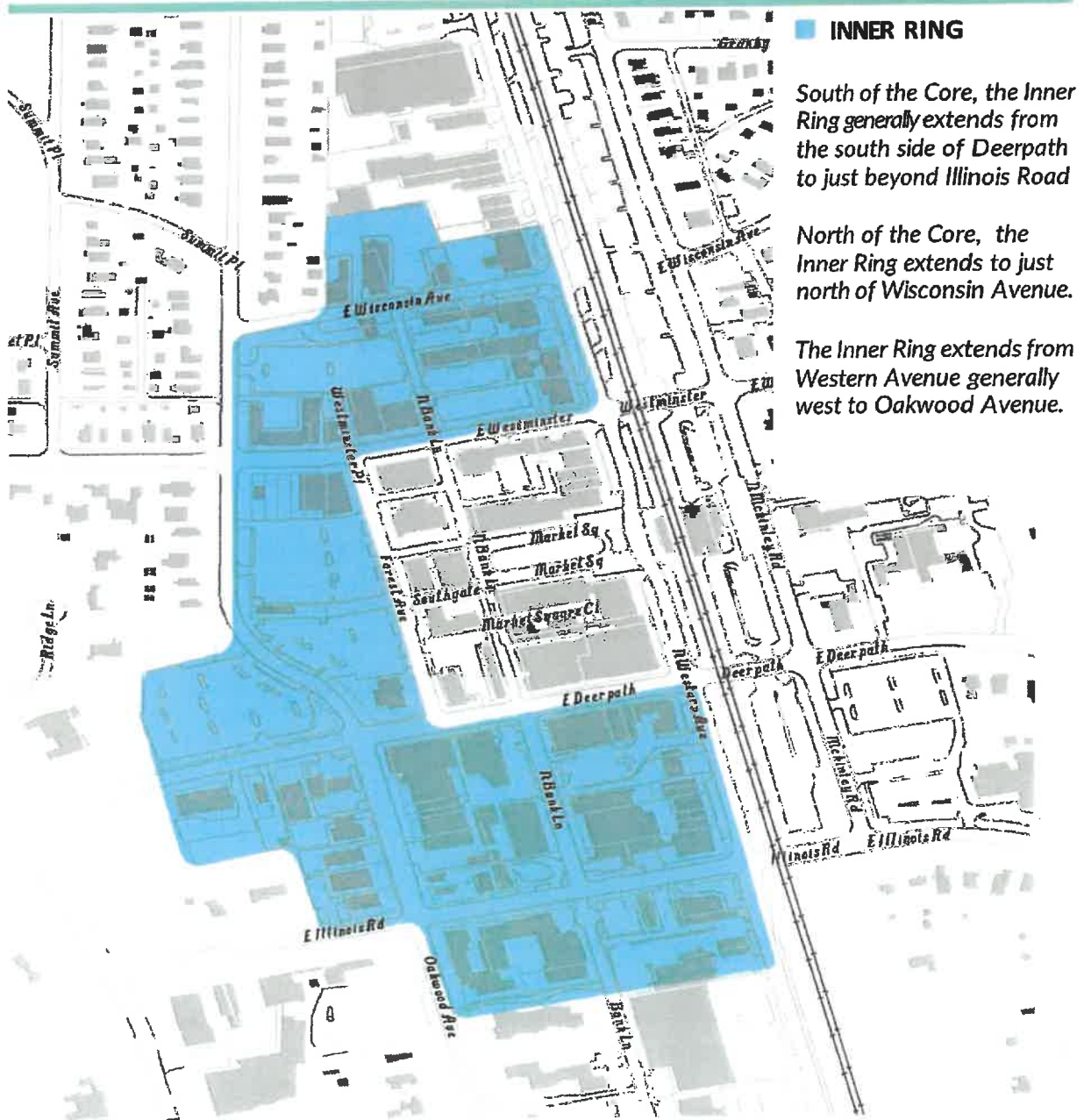


CENTRAL BUSINESS DISTRICT
SUBAREAS

CBD Subarea #2

Inner Ring: Meeting Daily Needs

The Inner Ring is comprised of those properties and buildings located just beyond and adjacent to the Core, a mix of commercial uses in buildings of various sizes, ages, and architectural integrity “ring” the Core adding to the vitality and density of the CBD.



**CENTRAL BUSINESS DISTRICT
SUBAREAS**

The Inner Ring Subarea supports a mix of businesses including retail, restaurants, service businesses, medical and dental offices and other professional offices. This area also includes large expanses of City owned surface parking lots which provide customer and employee parking to support businesses and community activities.



The Inner Ring subarea offers the greatest opportunity for development and redevelopment in the CBD including the adaptive reuse of existing important buildings and the potential for redevelopment of sites that are underutilized and do not contribute significantly to the character of the CBD, as well the opportunity to re-think how the City owned surface lots can best serve and support the CBD in a manner consistent with the desired overall character. Parking is critical to support a vibrant CBD and can be provided in a more attractive manner than occurs today, in combination with providing opportunities for other desired uses.



CENTRAL BUSINESS DISTRICT
SUBAREAS

CBD Subarea #3

Neighborhood Business: Smaller Scale/Personal & Professional Services

Beyond the Core and Inner Ring, the Central Business District extends in a linear fashion, primarily along Western Avenue. These Neighborhood Business nodes, include a mix of commercial uses, service businesses, and professional offices that are smaller in scale and lower in density than those found in the Core and Inner Ring subareas.

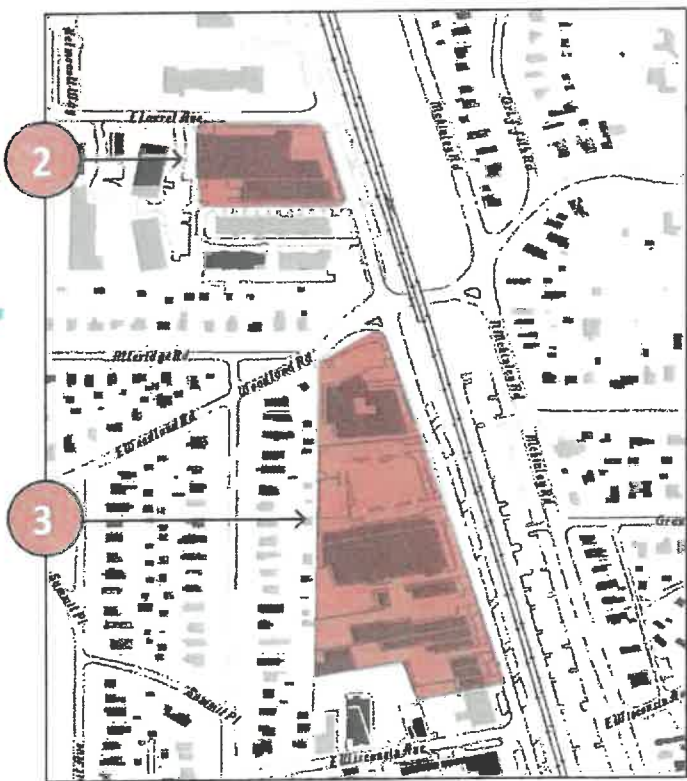
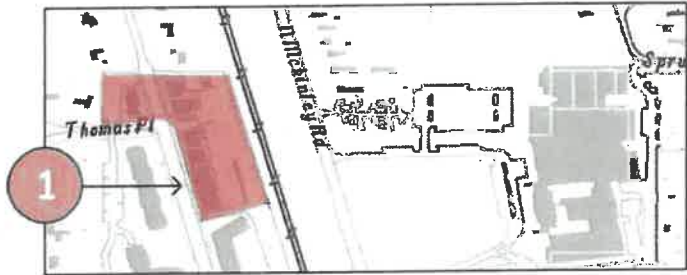
■ NEIGHBORHOOD BUSINESS

SUBAREA 1: Western Avenue between Franklin Place and Thomas Place

SUBAREA 2: Corner of Western Avenue and Laurel Avenue

SUBAREA 3: Western Avenue north of Wisconsin Avenue to Woodland Road

SUBAREA 4: Western Avenue south of Illinois Road to Vine Avenue, and west to Bank Lane

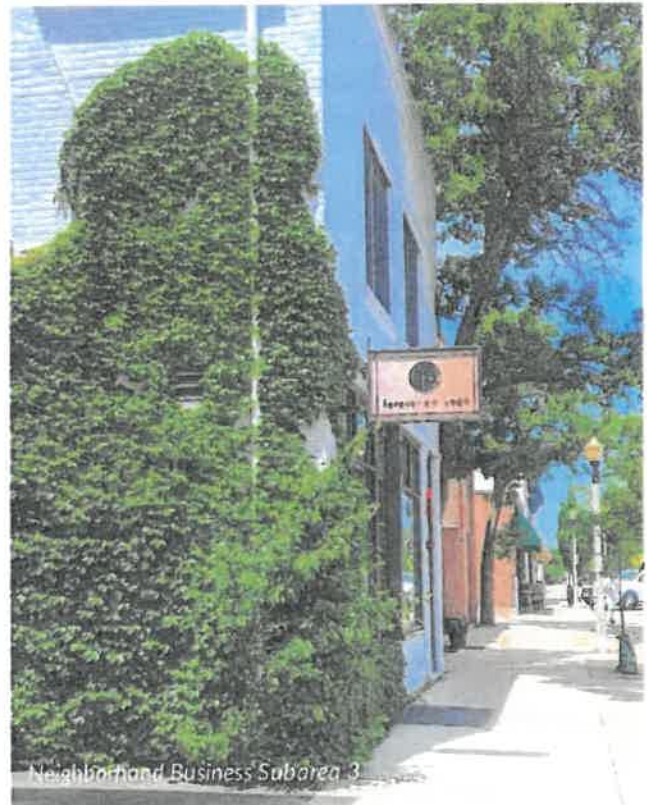


CENTRAL BUSINESS DISTRICT
SUBAREAS

The Neighborhood Business subarea, more so than the Inner Ring, offers businesses that meet every day needs including: grocery and drug stores, dry cleaners, restaurants, salons, and professional services. This subarea is adjacent to a variety of residential housing types, single family homes as well as multi-family buildings. Development in the Neighborhood Business area is less intense with many of the buildings being single use.

At the far north and south ends of the subarea, buildings support a mix of uses with office and residential located above ground-floor commercial. A limited number of businesses have on-site parking lots, with the majority relying on street parking. Public parking lots located on the east side of the railroad tracks are available to support off-site parking for employees and valet services. Access to the remote parking lots is available by way of underpasses at Woodland and Illinois Roads and at-grade crossings at Westminster and

Photos: The Neighborhood Business Subarea includes a range of businesses and service types to meet every day needs. Some buildings single-story / single-use structures, whereas others include upper story residential units.



CENTRAL BUSINESS DISTRICT

VISION

"Looking forward, the vision for Lake Forest's Central Business District is not to change it into something different, something more akin to business districts in other communities, but instead, to enhance and preserve the historic character and architecturally significant buildings and spaces, and to maintain an environment in which businesses thrive and a place residents and visitors are drawn to again and again, for day to day needs, a special night out, to find that one of a kind gift, and to celebrate the community."

In other words, the vision is to build upon strengths, address weaknesses and create long term community benefit from opportunities.

The configuration and size of the overall CBD is well suited to meet the needs of the community. Neither expansion, nor a reduction in the CBD is recommended in this chapter.

The neighborhoods surrounding and adjacent to the District should be preserved and their unique character protected. Located within easy walking distance to the shops, eateries, gathering spaces, and services offered by the CBD, these neighborhoods are an important part of the community fabric.

The proximity of residential neighborhoods to the CBD provides mutual benefits to both residents and businesses; residents enjoy quick access to local shops and restaurants while businesses benefit from a nearby customer base. It is also recognized that these residential neighborhoods experience impacts by virtue of their proximity to the CBD.

This chapter acknowledges these impacts, the importance of synergy and balance between adjacent uses, and offers recommendations on how to create appropriate transitions between the business district and surrounding residential areas.

CENTRAL BUSINESS DISTRICT

GOALS & STRATEGIES

*Goal 1: Foster an active, resilient and vibrant mix of uses by protecting and leveraging the Central Business District's **strengths***

The CBD exemplifies Lake Forest, the quality, the character, the history, the vitality, the distinctiveness, the community. Buildings, streetscapes, and public spaces contribute to the special experience and fond memory of being in Lake Forest. The CBD has something for everyone and is active day, evening, winter and summer. A balance of uses in a pleasing environment is maintained with a focus on attracting not only Lake Forest residents, but also residents of surrounding communities, and visitors from near and far. The mix of uses is not static and reflects changes in markets, technologies, and consumer behaviors. The character, available parking, well maintained infrastructure, development parameters that set clear expectations, and an active customer base all serve to attract continued private investment, encourage adaptive reuse of important buildings, and incent redevelopment of appropriate sites in a manner that aligns with and enhances the character of the CBD.

*Goal 2 · Reinforce a distinct, cohesive and charming sense of place by preserving and strengthening **community character***

The ever-evolving CBD maintains and builds upon the features that make it resilient, timeless, and distinctive; a diversity of building styles, quality building materials, landscaped streetscapes and gathering areas, surprises around every corner, spaces that evoke a sense of place, pedestrian amenities, ease of access, a strong mix of commercial uses, and community events that align with and support businesses. The historic and more contemporary buildings and spaces share common themes and create a unified whole that is welcoming, invites exploration, and contributes to the unique character of the district.

*Goal 3 · Enhance **Bank Lane** as unique and charming pedestrian corridor to create catalyst for future enhancements in the CBD*

Bank Lane is a narrow, north-south inviting pedestrian connecting areas north and south with the Core, a comfortable and memorable experience. Located one block west of Western Avenue, the limited length street extends from Vine Avenue north to Wisconsin Avenue, intersecting with Market Square, spanning six blocks. It's location and orientation provides connectivity and creates synergy between different uses, the various east-west street corridors and public spaces. The pedestrian-scaled streetscape, lighting and amenities provide an inviting setting for strolling, shopping, indoor and outdoor dining and seasonal programming. Temporary street closures along Bank Lane provide one of a kind spaces for dining and festivities.

CENTRAL BUSINESS DISTRICT
GOALS

*Goal 4 - Meet the needs of existing and future development by maintaining and enhancing **infrastructure** - parking, streets, sidewalks, stormwater management, lighting, signage, and integrated technologies*

The CBD is safe, accessible, convenient, and inviting in a way that draws users to businesses and public events throughout the day and year. The CBD is neighbor-friendly, reliably serving the needs of Lake Forest residents while attracting visitors from a larger market area and afar. The continued investment in infrastructure maintenance, innovation, upgrades and enhancement by the City contributes to the resilient, sustainable and vibrant nature of the CBD while encouraging ongoing investment by private property and business owners.

*Goal 5 - Provide high-quality living, working and business climates by supporting and fostering strong **public/private partnerships***

The City's participation in maintaining and enhancing infrastructure and public places under its control demonstrates the need for and importance of an ongoing partnership with private property and business owners. The community has a long tradition of public/private partnerships, there is a shared and vested interest in maintaining and enhancing property values, creating a profitable business climate, and providing high-quality living and working opportunities. Consideration is given on an ongoing basis to opportunities for public/private partnerships, building on the community's long and successful tradition.



CENTRAL BUSINESS DISTRICT
RECOMMENDED ACTIONS

Achieving Our Vision & Goals

The Comprehensive Plan is not a regulatory document. Instead, it articulates a vision and sets out goals and recommends actions to proactively shape the future and arrive at that vision. It looks forward while being informed by the past.

- *This plan is intended to be used by Boards, Commissions, and the City Council as a tool and guide in making decisions about development, adaptive reuse, preservation, investment in infrastructure, polices, and regulations.*
- *This plan is intended to set realistic expectations for property owners, investors, developers, and residents and to avoid surprises.*
- *The plan is intended to encourage creative ideas and new concepts and to position the City well to adapt in the future always with an eye toward preserving the distinctive character of the CBD.*
- *The tradition of careful planning has served Lake Forest well, and that tradition should continue.*

1 • Protect & Leverage Strengths

This first set of recommendations is focused on recognizing and re-enforcing past successes, ideas, initiatives and actions that have served the CBD and community well over time. Further, “Building on Strengths” means identifying, preserving, protecting, and as necessary, finding new uses for historically and architecturally significant buildings.

1.1: Support a Mix of Local & National Businesses

Support, encourage and welcome a mix of retail, restaurant entertainment, and service uses, both locally based businesses and national brands, in the Core.

PHOTO PLACEHOLDER

1.2: Focus Specialty Retail in the Core

Recognize changes in the retail market make it unrealistic to expect that retail alone will sustain the CBD. To the extent possible, focus specialty retail in the Core to draw shoppers and create synergy that is mutually beneficial to businesses.

1.3: Promote Year-Round Activity

Support and encourage businesses that promote daytime, evening, and year-round foot-traffic.

1.4: Prioritize Infrastructure Investments

Continually plan for and prioritize public investments in infrastructure including, but not limited to, accessible parking, stormwater management, landscaping, broadband and smart infrastructure, wayfinding signage, electric vehicle charging stations, lighting, and ongoing maintenance and upgrades of City rights-of-way.

PHOTO PLACEHOLDER

1.5: Facilitate Business Attraction & Retention

Review and update the Zoning Code on an ongoing basis to facilitate attraction and retention of desired uses, restaurants, entertainment, retail and service businesses. Consider ways the City can assist in overcoming obstacles by thinking creatively about support services such as shared loading zones, nearby and remote parking facilities, use of rights-of-way for outdoor dining, and recycling/trash areas.

PHOTO PLACEHOLDER

1.6: Address Public Parking & Wayfinding

Re-think public parking locations and management with the goal of making parking more convenient, comfortable, safe, easy to find and intuitive to navigate by car and foot. Minimize enforcement costs and user confusion via available technology.

1.7: Enhance Pedestrian Experience

Enhance the pedestrian experience via wider walkways, walkable alleys, enhanced landscaping, varied/safe hardscapes, improved sightlines at crosswalks, benches, lighting, spaces to gather, and public art recognizing that buildings have historically served as distinctive public art in the Core.

1.8: Support Inner Ring Residential

Encourage residential uses of various types and price points especially in the Inner Ring to support the Core, and beyond, and to increase pedestrian activity and vitality throughout the day and evening hours, seven days a week, all year round.

1.9: Encourage Adaptive Reuse

Encourage business/property owners to restore and maintain historically significant buildings and adaptively reuse/upgrade buildings to accommodate a variety of uses including, but not limited to residential, retail, restaurants, entertainment venues, and offices.

1.10: Support Upper Story Multi-Family Residential

Support multi-family residential as an appropriate adaptive reuse of upper floors in buildings in the CBD, particularly in the Inner Ring.

1.11: Recognize Financial Feasibility

Recognize that adaptive reuse projects must be financially feasible in the eyes of developers and lenders; be flexible, collaborative, and open minded.

1.12: Market Trends & Sustainability

Support adaptive reuse of existing buildings as a sustainable approach to responding to changing market trends and demands.

PHOTO PLACEHOLDER



1.13: Identify Development Parameters

Preserve and enhance the unique character of the CBD by identifying elements that define the character of specific areas of the CBD and specific blocks.

1.14: Ensure Design Adaptability

Assure that new buildings are designed consistent with applicable standards and development parameters and built with future adaptability and reuse in mind. Avoid construction of new, single purpose buildings that cannot reasonably accommodate different uses over time.

1.15 Recognize Building Significance

Acknowledge that not every building in the CBD is significant enough to demand adaptive reuse and support appropriate redevelopment, consistent with established parameters, in those cases. Support appropriate redevelopment of properties in cases where existing buildings do not contribute positively to the character of the CBD. The 17 standards should be adhered to for properties within the historic district and any applicable design guidelines should be followed for other sites

1.16: Enhance Predictability

Provide an efficient and predictable review process for development projects that closely adhere to the 17 Standards applicable to properties within the Historic District, achieve the vision and goals established in this document, and align with regulations and parameters established by the City.

2 - Preserve & Strengthen Community Character

Identifying character defining elements and establishing Development Parameters to provide guidance to property owners, developers and stakeholders is important. The following recommendations are intended to provide a starting point for more in-depth study and discussion.

2.1 Undertake Collaborative Process

The process to develop Development Parameters and to articulate defining character elements should involve a variety of stakeholders, invite many perspectives, and utilize creative means, including, but not limited to design charrettes, to provide guidance *prior* to the development of proposals for specific sites. The goal is to set realistic expectations, balance various interests, and preserve and enhance the unique character and long term vitality of the CBD.

Development Parameters should, at a minimum, address the following:

2.1A: Streetscape Activation

Design buildings and outdoor spaces that attract uses that activate and enhance the streetscape and sidewalk.

2.1B: Design Elements

Use setbacks, human-scale design elements, architectural styles and details that relate to significant surrounding buildings and the established streetscape character.

2.1C: Comfortable Spaces

Incorporate natural exterior materials, nooks and crannies for gathering and pausing, high quality landscaping and lighting at appropriate levels to balance safety with low levels of illumination found in the community.

2.1D: Distinguished Buildings

Recognize that buildings themselves, i.e. their architectural styles, materials, massing, height, orientation, etc., have served the community well as distinguishing artful elements and design and carry on that tradition.

2.1E: Development Parameters

Once developed, adopt Development Parameters through a public process to proactively set realistic expectations and assist property owners, developers, architects, contractors, and designers in the renovation or construction of buildings in a manner compatible with the architectural heritage and character of Lake Forest's CBD.

3 • Enhance & Connect Bank Lane

Bank Lane is a narrow, limited-length street that offers unique experiences, interest and opportunity for connectivity between key elements of the CBD. The recommendations that follow offer a path toward strengthening Bank Lane as a Pedestrian Corridor. Further study should be conducted as concepts are explored to assess the impacts of proposed changes including, but not limited to impacts, positive or negative, on adjacent businesses and properties, traffic circulation, and pedestrian comfort and safety.



insert aerial map of Bank Lane



CENTRAL BUSINESS DISTRICT
RECOMMENDED ACTIONS

■ 3.1 Bank Lane Far South - Vine Avenue to Illinois Road

As Bank Lane extends from Vine Avenue to Illinois Road, the west side is developed with multi-family residential buildings and the east side is developed with the service side (rear) of commercial buildings that front on Western Avenue. This service oriented portion of Bank Lane is visually connected with the historic Deer Path Inn at Illinois Road.

Existing Photos: Looking South on Bank Lane to Vine Avenue



3.1-A: Consider benefits and challenges to making this block of Bank Lane one-way.

3.1-B: Consider ways to beautify the service corridor.

3.1-C: Require uses to maintain enclosed trash areas, fences, landscaping and buildings at a consistent level recognizing the adjacent residential development.

3.1-D: Ensure commercial lighting is sensitive to adjacent residential, properly shielded, directed downward, and the minimum needed for safety and security.

3.1-E: Recognize this block serves important functions for businesses and the Deer Path Inn.

3.1-F: Encourage property owners and utility companies, as opportunities present, to underground utilities.

3.1-G: Require new development on east side to provide appropriate transitions from commercial uses fronting on Western Avenue to multi-family residential uses on west side.

CENTRAL BUSINESS DISTRICT
RECOMMENDED ACTIONS

■ 3.2 Bank Lane South · Illinois Road to Deerpath

Bank Lane provides an important link between Illinois Road and Deerpath and offers opportunities to provide a unique, inviting and memorable pedestrian connection between the Deer Path Inn and Market Square and the larger CBD creating synergy between hospitality, restaurant, retail, and residential uses.

Existing Photo: Looking South to Illinois Road



3.2-A: Encourage and support redevelopment of underutilized properties with a mix of uses including multi-family residential and restaurants.

3.2-B: Require new developments to include pedestrian amenities such as wide sidewalks, gathering spaces, benches, outdoor dining areas, green streetscapes, human scaled first floor building facades, well placed and marked cross walks, and pedestrian friendly, subtle but safe, lighting.

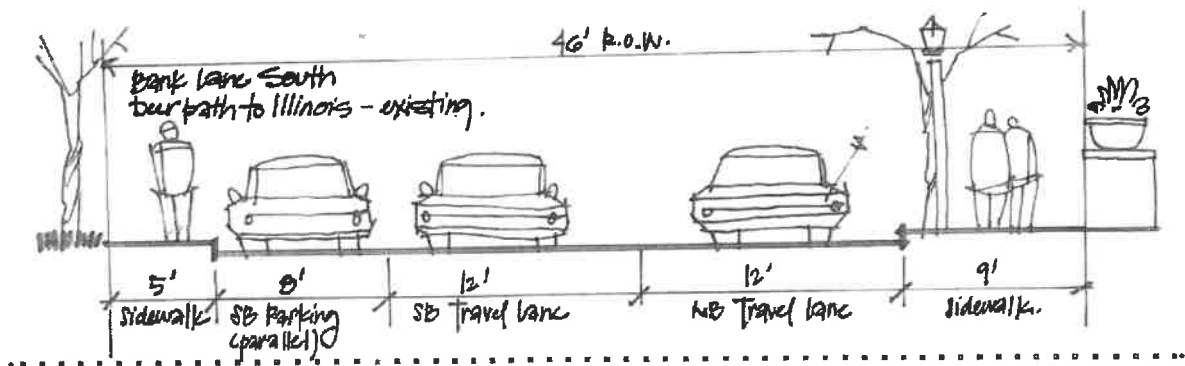
3.2-C: Consider making Bank Lane one way south from Deerpath to minimize congestion on Deerpath by avoiding left turn movements and to allow the travel lane on Bank Lane to be narrowed reducing vehicle speeds and providing additional opportunities for on street parking. Undertake the necessary traffic and circulation studies to evaluate feasibility and pros and cons of this concept.

CENTRAL BUSINESS DISTRICT
RECOMMENDED ACTIONS

Bank Lane South - Illinois to Deerpath

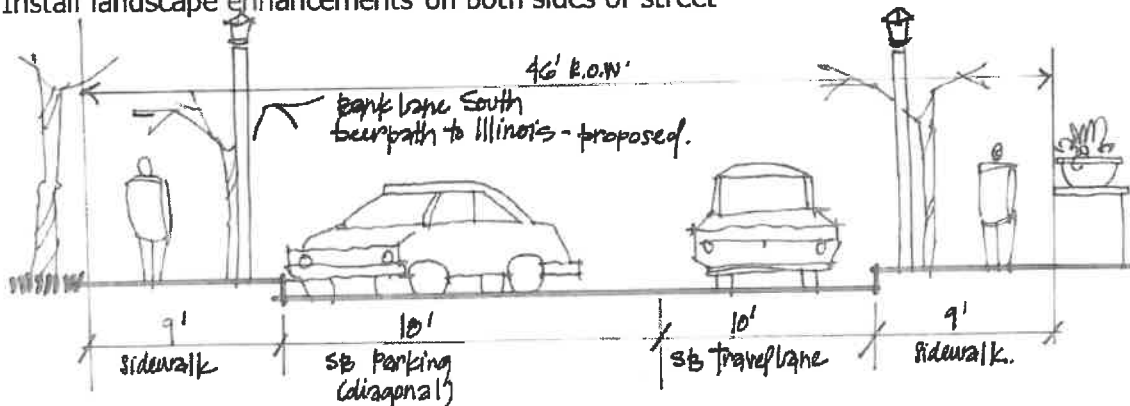
Existing Conditions - OVERVIEW OF CONSTRAINTS

- Two-way traffic / travel lanes limit pedestrian walkway
- Very narrow 5 foot sidewalk on west-side
- No pedestrian scaled lighting on west side
- No tree grate / tree on west side
- West side parallel parking does not provide many stalls



Proposed Concept - OVERVIEW OF IMPROVEMENTS

- Support redevelopment of underutilized properties
- Encourage mix of uses and multi-family residential
- Provide the ability to close the entire block for community events
- Convert to one-way southbound from Deerpath to minimize congestion
- Convert west side parallel parking to diagonal parking to increase on street parking
- Require pedestrian amenities as redevelopment occurs
- Widen sidewalks from 5 feet to 9 feet
- Add interest and character defining elements
- Install pedestrian scaled lighting on both sides of street
- Install landscape enhancements on both sides of street

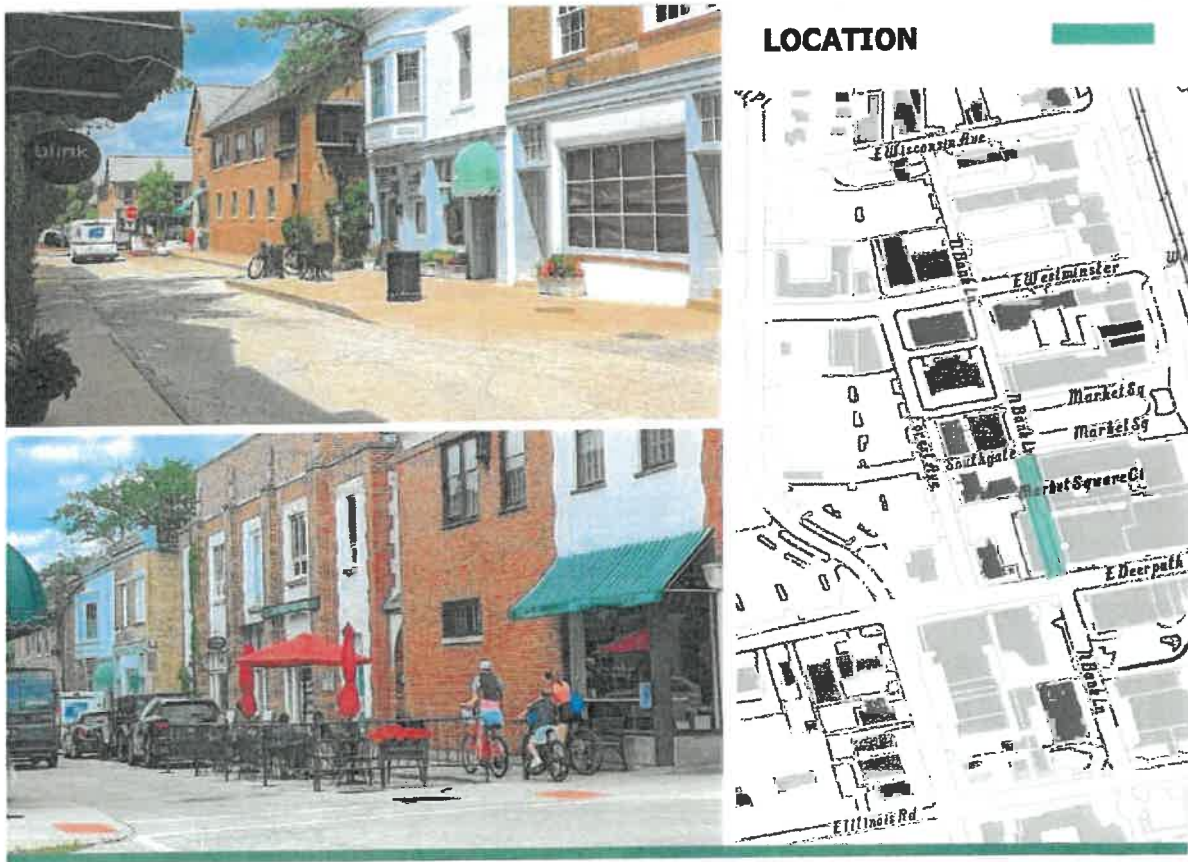


CENTRAL BUSINESS DISTRICT
RECOMMENDED ACTIONS

■ 3.3 Bank Lane Core · Deerpath to Market Square

Bank Lane from Deerpath to Market Square is one-way north with a single travel lane. It is a unique and interesting space, alley-like with adjacent outdoor courtyards and dining spaces as one approaches Market Square. What had once been a service road behind the buildings facing Western Avenue has evolved into a very special sub-area. Unique businesses fill nooks and crannies, inviting exploration, and respite from the active business district experience and nearby more heavily travelled streets.

Existing Photos: Looking North to Market Square



3.3-A: Pedestrian Experience • Place a priority on pedestrian comfort and experience by considering improvements that support walkability over vehicle use recognizing there are first floor retail businesses that rely on visibility and the limited parking available on the street.

3.3-B: Parking • Recognize the need for parking to support retail businesses and restaurants and any future uses, new or expanded, that may locate in the CBD including multi-family residential.

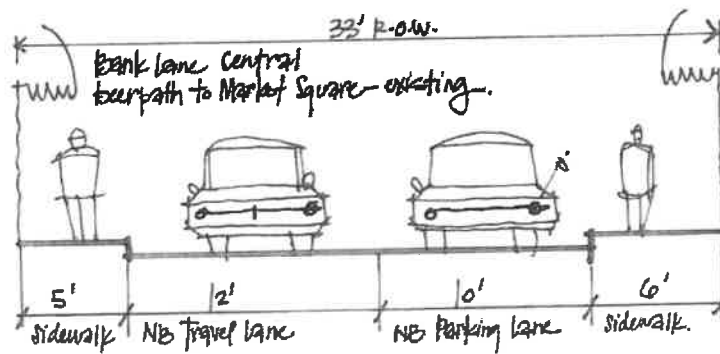
3.3-C: Events • Continue to use this block of Bank Lane for special events, allowing short term closure to vehicles while drawing increased pedestrian travel to the area for business exposure.

CENTRAL BUSINESS DISTRICT
RECOMMENDED ACTIONS

Bank Lane Core - Deerpath to Market Square

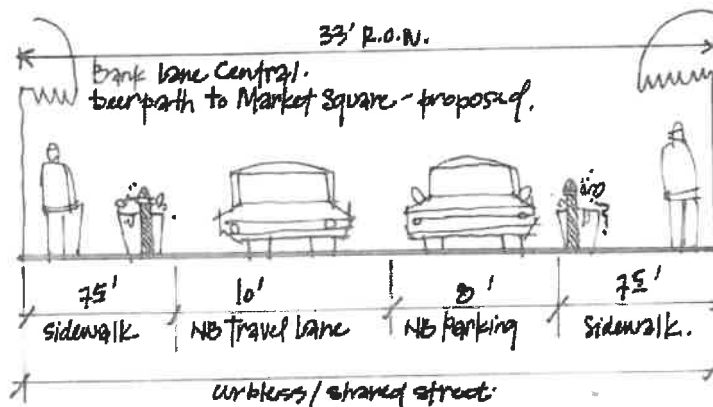
Existing Conditions - OVERVIEW OF CONSTRAINTS

- One-way north-bound travel lane
- North-bound parallel parking on east side of street
- Very narrow 5 ft sidewalk on west-side, 6 ft on east side
- Narrow sidewalk limits landscape planters and amenities



Proposed Concept - OVERVIEW OF IMPROVEMENTS

- Prioritize pedestrian comfort, experience and walkability
- Convert to curbsless street; continue to use for special events/short term closures
- Widen sidewalks to 7.5 feet (reduce width of travel / parking lanes)
- Install bollards to define pedestrian zone
- Install planters, lighting, and pedestrian amenities



CENTRAL BUSINESS DISTRICT
RECOMMENDED ACTIONS

■ **3.4 Bank Lane North · Market Square to Wisconsin Avenue**

Bank Lane from Market Square north to its terminus at Wisconsin Avenue continues as a narrow, single lane one-way north street with narrow sidewalks. Significant opportunities exist to enhance this portion of Bank Lane and encourage pedestrian activity between restaurants and businesses between Market Square and Wisconsin Avenue, including on Westminster.

Existing Photo: Looking North from Bank Lane to Westminster



3.4-A: Adaptive Reuse Opportunities · Recognize that adaptive reuse and development opportunities exist along this stretch of Bank Lane including the Post Office, activating Market Square’s North Courtyard, upgrading or replacing some underutilized buildings, and the potential for future development of portions of existing parking lots.

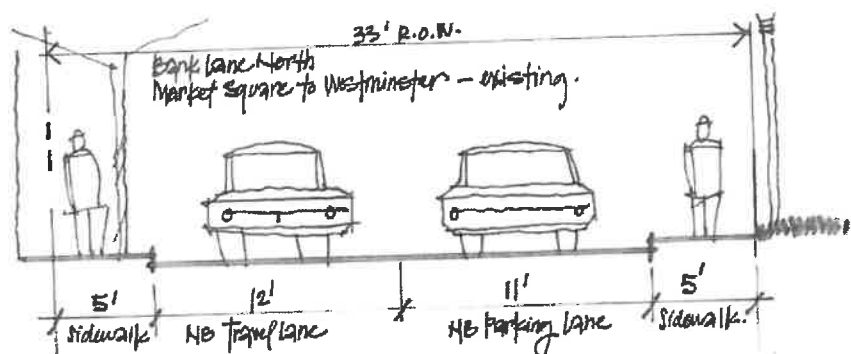
3.4-B: Pedestrian Experience · Encourage new development / redevelopment to give priority to pedestrian amenities to create a distinctive and active Bank Lane pedestrian link from Illinois Road to Wisconsin Avenue, a corridor of restaurants, outdoor spaces, and a favorite place for an evening stroll.

CENTRAL BUSINESS DISTRICT
RECOMMENDED ACTIONS

Bank Lane Core · Market Square to Wisconsin Avenue

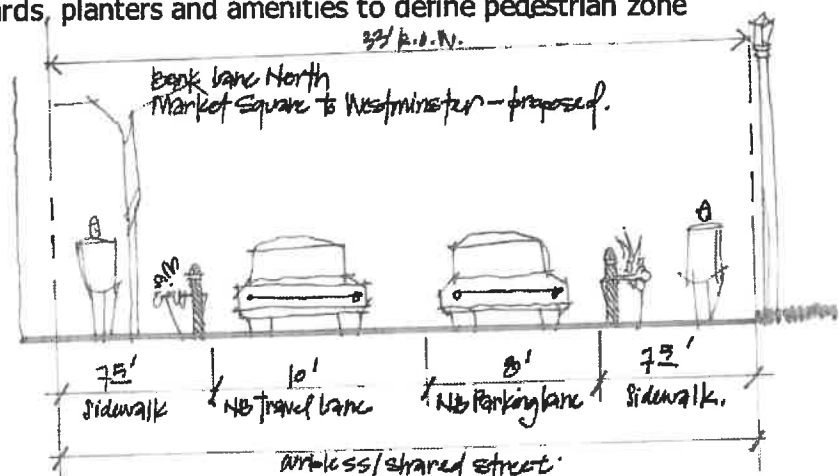
Existing Conditions - OVERVIEW OF CONSTRAINTS

- One-way north-bound travel lane
- North-bound parallel parking on east side of street
- Narrow 5 ft sidewalks
- No landscape planters or amenities in public r.o.w



Proposed Concept - OVERVIEW OF IMPROVEMENTS

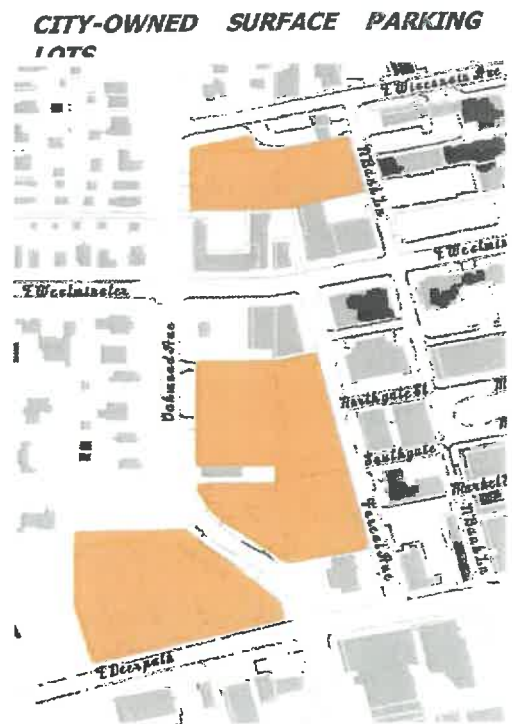
- Recognize adaptive reuse and development opportunities
- Prioritize pedestrian experience
- Create a distinctive and active Bank Lane to draw people to the north
- Convert to curbless street (no curb, at grade)
- Widen sidewalks to 7.5 feet (reduce width of travel / parking lanes)
- Install bollards, planters and amenities to define pedestrian zone



4 • Maintain & Enhance Infrastructure

The City-owned surface parking lots cover more than 4 acres of land in the CBD. They serve an important role in providing access to and supporting CBD vitality and represent a significant opportunity to serve as a potential catalyst for future redevelopment within the Inner Ring.

Parking is essential to sustain businesses in the CBD. Surface lots and structures must be planned, designed and managed thoughtfully to meet the needs of varying users, and accommodate changes over time, while providing safe, intuitive access. Given that the historic and established CBD Core is entirely built-out, proactive planning and efficient utilization of parking areas and potential redevelopment sites within the Inner Ring is critical. The surface parking lots owned by the City could, if developed at the proper scale and in a manner consistent with the character of the CBD with a mix of uses such as a variety of housing types, limited retail space, quality restaurant opportunities, outdoor gathering areas, and parking with limited visibility from the streetscape, enhance and support long term, sustainable vibrancy in the CBD. The recommendations that follow take into account these cross-cutting benefits and opportunities.



4.1: Intuitive Parking & Business Success

Recognize that easy to use parking, in the right locations, offered in a welcoming manner with clear signage and wayfinding is critical to the success of existing businesses and essential in attracting new businesses.

4.2: Planned Improvements & Locations

Plan for parking improvements in various locations to support businesses in the Core and Inner Ring, which historically have minimal, if any, onsite parking.

4.3: Pedestrian Connections & Amenities

Enhance pedestrian connections to parking through landscaping, appropriate signage, and well maintained and lighted walkways including under viaducts.

4.4: Parking Availability

Ensure that adequate parking on site or off site is planned for and provided when considering new development, redevelopment, or adaptive reuse of existing buildings.

4.5: Parking Requirements

Meet parking requirements through newly created spaces planned as part of future developments, through shared on-site parking agreements, or allocations as part of a future parking structure, if one is constructed. Surface parking lost through new development or renovation must be replaced in some similarly convenient manner.

4.6: Parking Policies

Consider where, when and whether accepting payment in lieu of parking requirements benefits the community, and what other forms of creative compensation may be warranted and/or appropriate to incentivize added character and vibrancy in the CBD.

4.7: Develop Parking Lot/Structure Development Parameters

Assure that parking lots and parking structures are designed and landscaped to fit in with and not be disruptive to the established character of the CBD and streetscapes. Give consideration to the following

4.7-A: Conceal or screen parking lots to minimize visual, light, sound and activity impacts on streetscapes and adjacent residential neighborhoods

4.7-B: Design new parking structures in ways that are compatible with the scale, materials and character of surroundings, and avoid the appearance of a parking structure while still making it easy to find.

4.7-C: Assure massing, height, connections and features achieve an appropriate transition from more intense development to adjacent residential neighborhoods. Avoid over-building, monolithic structures, and monotony; pay deference to significant historic structures.

4.7-D: Direct traffic away from residential streets, avoiding ingress and egress points.

4.7-E: Integrate interesting pedestrian connections, green space, outdoor gathering areas, and landscaped streetscapes; make parking part of the "Lake Forest experience" through creative wayfinding, programming opportunities / spaces, public art and materials.

4.7-F: Take advantage of changes in topography to minimize appearance of massing.

4.7-G: Build in sustainability elements such as: permeable paving, energy saving measures, alternate energy technologies, bike racks, building orientation to minimize heating/cooling demands, natural building materials, EV charging stations, recycling opportunities, water saving measures and court yard, roof top gardens.

4.8: Identify Stormwater Opportunities

Evaluate existing infrastructure in the CBD and identify needed improvements: streets, sidewalks, stormwater management, lighting.

4.9: Prioritize Public Improvements

Prioritize infrastructure improvements in the CBD in the Capital Improvement Plan especially those improvements necessary to protect private investments and promote public safety.

4.10: Incentivize Private Improvements

Consider incentives to support private stormwater management initiatives brought forward by CBD property owners.

4.11: Development Requirements

Require stormwater management improvements in conjunction with redevelopment and new development and take advantage of opportunities to collaborate on improvements as development occurs.

4.12: Inviting, Directional Signage

Invite people into the CBD with clear but understated signage that directs visitors to the Core, restaurants, shops, parking, and bicycle racks.

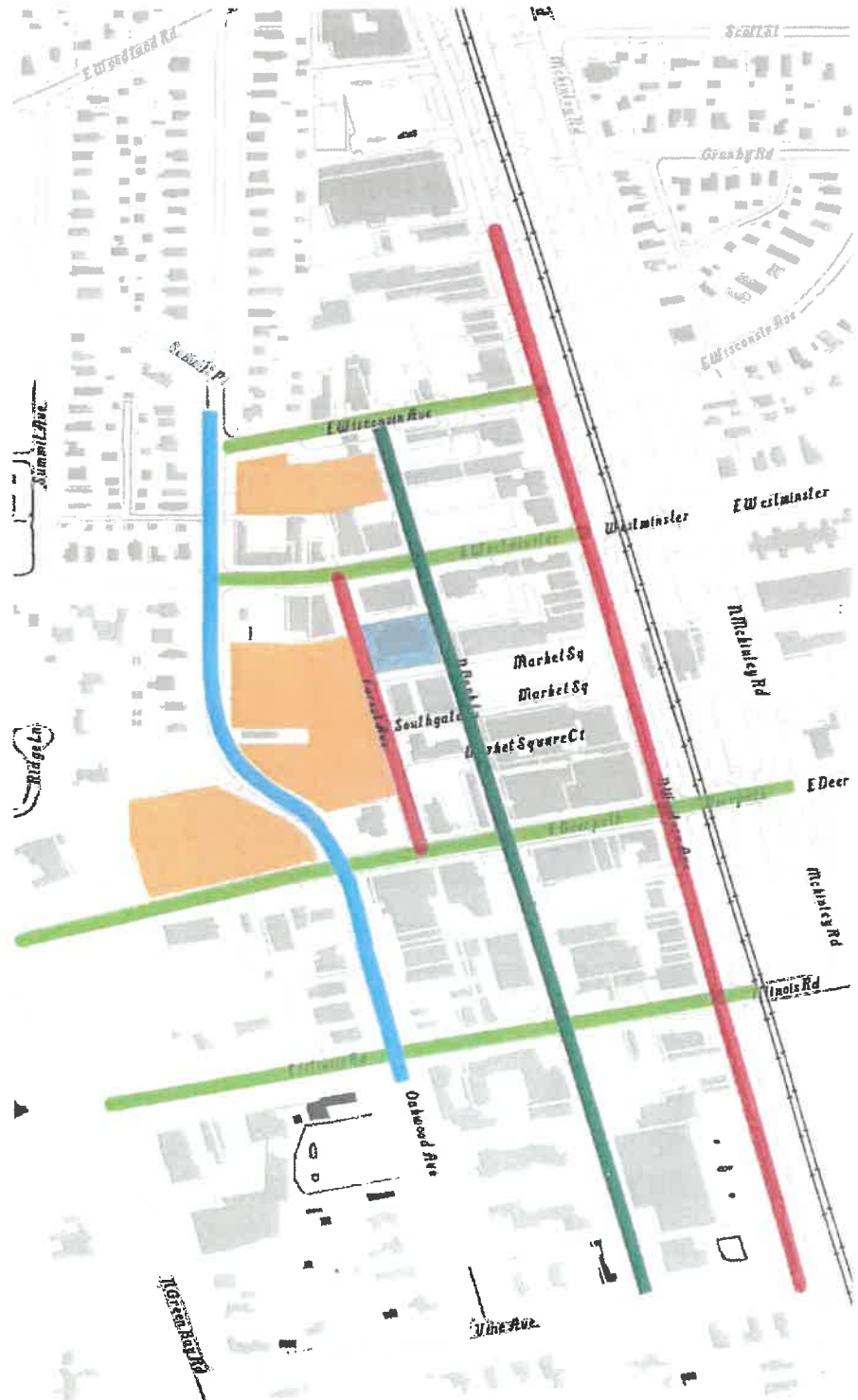
4.13: Develop Comprehensive Wayfinding & Signage

Develop a comprehensive Wayfinding & Signage Plan to guide pedestrians and vehicles easily to and through the CBD. Signage should respect and align with the overall character of the CBD.

Insert photos

5 - Support & Foster Public Private Partnerships

- City-Owned Surface Parking Lots
- US Post Office
- Bank Lane Corridor
- Near Term Priority Actions*
- Primary North-South Corridors**
- Forest Avenue
Western Avenue*
- Primary East-West Corridors**
- Wisconsin Avenue
Westminster
Deerpark
Illinois Road*
- Transitional Corridors**
- Oakwood Avenue*



CENTRAL BUSINESS DISTRICT
RECOMMENDED ACTIONS

■ 5.1 U.S. Post Office

The Post Office is adjacent to and anchors the northwest corner of Market Square. Both the use and its Art Deco Post Office architecture are valued and contribute to the character of the Core.

5.1-A: Continue to monitor and remain in communication with the U.S. Postal Service with respect to the Lake Forest Post Office and any future intentions to downsize to a smaller location in or near Market Square.

5.1-B: Encourage the Post Office to retain a presence in the CBD going forward if the Post Office leaves the existing building.

5.1-C: Recognize that preservation, restoration of the building will be costly and may require incentives or assistance from the City or outside groups to make adaptive reuse of the building for desired uses possible.

5.1-D: Lead efforts to explore opportunities for public/private partnerships to support adaptive reuse of building for one or more uses to add vitality to Core: restaurants, retail, entertainment venue.



**CENTRAL BUSINESS DISTRICT
RECOMMENDED ACTIONS**

■ **5.2 & 5.3 Streetscape Corridor Enhancements**

Various street corridors “knit together” the CBD as a whole providing pedestrian and vehicle access through, to, and beyond the CBD in all directions. Parking is well interspersed throughout the CBD in various forms (on street parking, public lots, private lots) encouraging residents and visitors to park and meander from restaurants to local businesses, making stops along the way.

The various street corridors in the CBD have distinctly different building types, forms, and character. Two-sided streetscapes offer the opportunity for building facades and block faces to relate to each across the street creating a unified character. Depending on the width of the street and sidewalk, building heights, closed or transparent building facades, and the presence of or lack of landscaping and gathering spaces, the character of each street corridor offers a unique experience. Enhancing the public infrastructure in the corridors where and when needed on an ongoing basis should be a priority for the City. Private property owners should be encourage to do their part to maintain and enhance the corridors.



CENTRAL BUSINESS DISTRICT
RECOMMENDED ACTIONS

■ **5.2 Primary & Transitional North/South Corridors**
Western Avenue, Forest Avenue, Oakwood Avenue

Insert map / photos

Western Avenue is the primary North/South Corridor and borders the entire east edge of the CBD from north to south. Together, Western Avenue, the railroad tracks and McKinley Road provide an approximately 300 foot separation distance between the CBD and the residential neighborhoods to the east. Wide sidewalks extend along the west side of Western Avenue through the Core, Inner Ring, and beyond, creating a generally comfortable and active pedestrian experience although at times bicycles and scooters share the space causing congestion.

5.2-A: Invite businesses to actively use outdoor space along Western Avenue for limited seating and benches in good weather while maintaining an unobstructed sidewalk sufficient in width to support comfortable pedestrian use.

5.2-B: Continually maintain and enhance the landscaping along both sides of Western Avenue the full length of the CBD; maintain a similar density of plant material throughout.

5.2-C: Consider ways to better identify the most heavily used mid-block crosswalks. Shoppers and restaurant patrons frequently cross Western Avenue to reach the diagonal on-street parking on the east side of the street.

Forest Avenue extends from Deerpath north to Westminster, intersecting with Northgate and Southgate, which provide easy vehicle and pedestrian connections to Market Square. The expansive surface parking lots to the west make this narrow corridor appear wider.

5.2-D: Consider ways to enhance and bring awareness to Forest Avenue as a north/south pedestrian corridor.

5.2-E: Significant redevelopment and adaptive retrofit opportunities exist along Forest Avenue. The Character Guidelines and Development Parameters discussed earlier in this chapter must assure development connects with and supports Market Square, forms an appropriate edge to the business district, and respects and protects the neighborhood to the west.

CENTRAL BUSINESS DISTRICT
RECOMMENDED ACTIONS

Insert map / photo

Oakwood Avenue North extends from just north of Deerpath to Wisconsin Avenue. It is a "Transitional Corridor" given the interfacing of residential on the west side of the street with the business district on the east side. Any future development must pay special deference to this unique interface and preserving the residential character of the neighborhood.

5.2-F: Avoid encroachment of the CBD beyond the current limits.

5.2-G: Protect, preserve, enhance the residential character of Oakwood Avenue.

5.2-H: Street frontage on east side of Oakwood Avenue must respect the established residential character on the west side in terms of use, massing, rooflines, setbacks, architectural styles, materials, and landscaping.

5.2-I: Create a pedestrian friendly streetscape.

5.2-J: Vehicular ingress/egress for any future development with frontage on Oakwood Avenue must be mindful of the residential neighborhood. Traffic studies should be conducted for any significant development or redevelopment in this transitional area to assess potential impacts on the residential character of the neighborhood as a result of traffic volumes, cut-through traffic, and ingress/egress points.

5.2-K: Consider ways to discourage "cut through" traffic on Oakwood Avenue by minimizing any new access points, street designs, and wayfinding/directional signage.

5.2-L: Provide pedestrian connections from residential neighborhood to/through CBD.

CENTRAL BUSINESS DISTRICT
RECOMMENDED ACTIONS

Insert map / photo

Oakwood Avenue South extends from Deerpath south to just past Illinois Road with both sides of the street developed with commercial buildings of various types. This portion of Oakwood Avenue essentially forms the west edge of the business district and is used by some as a "bypass" to avoid congestion on Deerpath at times.

5.2-M: Recognize that Oakwood Avenue has not successfully functioned as a location for retail businesses in part due to building configurations and distance from the Core.

5.2-N: Support personal service businesses, professional and medical offices, and multi-family residential along this corridor.

5.2-O: Explore opportunities to enhance the functionality of buildings, activate open spaces, add pedestrian pathways and improve connections to the greater CBD.

5.2-P: If sites redevelop, parking should be added away from the streetscape, behind, under, or internal to buildings, to support a mix of uses with adequate parking.

CENTRAL BUSINESS DISTRICT
RECOMMENDED ACTIONS

■ **5.3 Primary East/West Street Corridors**

Deerpath, Illinois Road, Westminster, Wisconsin Avenue

Insert map / photo

Deerpath is the primary east-west entrance to the CBD and is heavily traveled and congested at times. The entry corridor should represent the best the City has to offer and evoke a sense that one has arrived somewhere special. The streetscape should present high quality architecture, well landscaped streets, consistent lighting, green spaces, and safe and well placed pedestrian crossings and amenities.

5.3-A: When implementing the Deerpath Streetscape Improvement Plan consider the improvements in the context of infrastructure improvements that may be needed on Bank Lane to avoid ongoing construction in the CBD. Plan for a subsequent phase of the Deerpath Streetscape Improvement Plan extending to Route 41, a high visibility entry into the CBD.

5.3-B: Enhance the walkability along Deerpath encouraging pedestrian activity between Veterans Park and the CBD.

5.3-C: Encourage replacement of buildings along Deerpath that do not contribute positively to creating a welcoming entry to the CBD. Plan for a streetscape that along which buildings on either side relate to each other in massing, height, style, detailing, and materials.

5.3-D: Character Guidelines should seek to enhance the streetscape environment and encourage pedestrian activity, safety and comfort via setbacks, seat walls, furnishings, landscaping and other elements.

5.3-E: Consider limiting turns on to Deerpath in the most congested blocks by making Bank Lane one way south.

CENTRAL BUSINESS DISTRICT
RECOMMENDED ACTIONS

Insert map / photo

Illinois Road anchors the south end of the Inner Ring with historic buildings and a unique blend of uses, a distinctive hotel, restaurants, and specialty businesses.

5.3-F: Encourage continued development of hospitality-oriented businesses as additive uses to the Deer Path Inn and other businesses in the area.

5.3-G: Plan for increased parking to support uses, build-in excess parking, in appropriate forms and locations, as new development and redevelopment occurs.

5.3-H: Consider opportunities for public/private partnerships to support parking in this corridor.

Insert map / photo

Westminster west of Western Avenue, is an active corridor, just beyond the Core of the CBD. A mix of uses and building types line this street although over time, some buildings fronting on the street have been lost and replaced with auto-oriented development diminishing the pedestrian attractiveness, connectivity, and sense of vitality along this corridor.

5.3-I: Encourage appropriate redevelopment and reuse of underutilized and outdated properties in a manner that welcomes pedestrian activity and steps down as Westminster approaches Oakwood Avenue.

5.3-J: Protect and respect the Oakwood Avenue residential neighborhood as redevelopment occurs along Westminster.

5.3-K: Pay attention to how buildings on street frontages relate to buildings across the street.

CENTRAL BUSINESS DISTRICT
RECOMMENDED ACTIONS

Insert map / photo

Wisconsin Avenue west of Western Avenue is anchored with substantial buildings at Western Avenue quickly stepping down to smaller scale buildings to the west. Wisconsin Avenue is the north end of Bank Lane.

5.3-L: Development on Wisconsin Avenue should provide an attractive visual terminus at the north end of Bank Lane.

5.3-M: Maintain a significant step down in scale at the shared edge of the business district and adjacent residential neighborhood.

5.3-N: Preserve and protect the Oakwood Avenue residential neighborhood as redevelopment occurs along Wisconsin Avenue.