

SPECIAL MEETING OF THE CITY COUNCIL

START TIME 5:00pm

THE CITY OF LAKE FOREST

CITY COUNCIL AGENDA

Monday, October 3, 2022

220 E. Deerpath, Lake Forest, IL 60045

CALL TO ORDER AND ROLL CALL

1. **EXECUTIVE SESSION** pursuant to 5ILCS120/2(c), 11 The City Council will be discussing pending litigation

Adjournment into Executive Session

Reconvene into Regular Session

NOTE: The City Council will recess until 6:30 pm

THE CITY OF LAKE FOREST

CITY COUNCIL AGENDA

Monday, October 3, 2022, 6:30pm

220 E. Deerpath, Lake Forest, IL 60045

Honorable Mayor, George Pandaleon

James E. Morris, Alderman First Ward

Nancy P. Novit, Alderman First Ward

Melanie Rummel, Alderman Second Ward

Edward U. Notz, Jr., Alderman Second Ward

Jim Preschlack, Alderman Third Ward

Ara Goshgarian, Alderman Third Ward

Raymond Buschmann, Alderman Fourth Ward

Eileen Looby Weber, Alderman Fourth Ward

CALL TO ORDER AND ROLL CALL

6:30pm

PLEDGE OF ALLEGIANCE

REPORTS OF CITY OFFICERS

1. COMMENTS BY MAYOR

A. Resolution of Appreciation for Lake Forest Day Foundation President, Art Wood

A copy of the resolution can be found on **page 7**

COUNCIL ACTION: Approve the Resolution of Appreciation for Lake Forest Day Foundation President, Art Wood

B. Resolution of Appreciation Recognizing Emeritus Status of Jack Preschlack related to the Lake Forest Day Foundation

A copy of the resolution can be found on **page 8**

COUNCIL ACTION: Resolution of Appreciation Recognizing Emeritus Status of Jack Preschlack related to the Lake Forest Day Foundation

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| 2. COMMENTS BY CITY MANAGER |
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**A. Award of Excellence in Marketing Tools for Government Service Delivery
- Jim Shaw, Director of Innovation and Technology and Dana Olson,
Communications Manager**

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| 3. OPPORTUNITY FOR CITIZENS TO ADDRESS THE CITY COUNCIL |
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| 4. COMMITTEE REPORTS |
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| 5. ITEMS FOR OMNIBUS VOTE CONSIDERATION |
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1. Approval of September 6, 2022, City Council Meeting Minutes

A copy of the minutes can be found beginning on **page 9**.

COUNCIL ACTION: Approval of September 6, 2022, City Council Meeting Minutes

2. Approval of the Check Register for the Period of August 27 – September 23, 2022

STAFF CONTACT: *Elizabeth Holleb, Finance Director (847-810-3612)*

BACKGROUND/DISCUSSION: City Code Section 38.02 sets forth payment procedures of the City. The Director of Finance is to prepare a monthly summary of all warrants to be drawn on the City treasury for the payment of all sums due from the City (including all warrants relating to payroll and invoice payments) by fund and shall prepare a detailed list of invoice payments which denotes the person to whom the warrant is payable. The warrant list detail of invoice payments shall be presented for review to the Chairperson of the City Council Finance Committee for review and recommendation. All items on the warrant list detail recommended for payment by the Finance Committee Chairperson shall be presented in summary form to the City Council for approval or ratification. Any member of the City Council shall, upon request to the City Manager or Director of Finance, receive a copy of the warrant list detail as recommended by the Finance Committee Chairperson. The City Council may approve the warrant list as so recommended by the Finance Committee Chairperson by a concurrence of the majority of the City Council as recorded through a roll call vote.

The Council action requested is to ratify the payments as summarized below. The associated payroll and invoice payments have been released during the check register period noted.

Following is the summary of warrants as recommended by the Finance Committee Chairperson:

Check Register for August 27- September 23, 2022

| | Fund | Invoice | Payroll | Total |
|-----------|----------------------|--------------------|--------------------|--------------------|
| 101 | General | 614,103 | 1,679,493 | 2,293,597 |
| 501 | Water & Sewer | 119,803 | 196,553 | 316,356 |
| 220 | Parks & Recreation | 192,576 | 470,743 | 663,318 |
| 311 | Capital Improvements | 1,026,521 | | 1,026,521 |
| 202 | Motor Fuel Tax | 5,791 | | 5,791 |
| 230 | Cemetery | 20,693 | 40,807 | 61,499 |
| 210 | Senior Resources | 12,043 | 29,852 | 41,895 |
| 510 | Deerpath Golf Course | 14,493 | 3,038 | 17,531 |
| 601 | Fleet | 82,637 | 62,794 | 145,431 |
| 416 - 433 | Debt Funds | 475 | | 475 |
| 248 | Housing Trust | | | 0 |
| 201 | Park & Public Land | 1,996 | | 1,996 |
| | All other Funds | 509,962 | 182,236 | 692,198 |
| | | \$2,601,093 | \$2,665,516 | \$5,266,609 |

The subtotal denoted "All other Funds" includes \$368,544 in medical/dental claims.

COUNCIL ACTION: Approval of the Check Register for the Period of August 27 – September 23, 2022.

3. Consideration of a Request to Waive the Fidelity Bond Requirement in Connection with Holding a Raffle in the City of Lake Forest for The Women's Board of Northwestern Lake Forest Hospital and Northwestern Medicine Lake Forest Hospital (Approval by Motion)

STAFF CONTACT: Margaret Boyer, City Clerk (847.810.3674)

PURPOSE AND ACTION REQUESTED: Staff requests City Council consideration of waiving the fidelity bond requirement in connection with a proposed raffle from The Women's Board of Northwestern Lake Forest Hospital and Northwestern Medicine Lake Forest Hospital.

BACKGROUND: In January 2020 the City Council approved an Ordinance Amending Chapter 110, titled "Licenses and Miscellaneous" related to Raffles, to align these sections with recent State of Illinois Legislation. Section 110.0149, J, allows the raffle manager designated by the organization to seek a waiver of the bond requirement from the City Council.

At this time The Women's Board of Northwestern Lake Forest Hospital and Northwestern Medicine Lake Forest Hospital are requesting a waiver of the bond requirement and has submitted a request. A copy of the requests can be found beginning on **page 13**

BUDGET/FISCAL IMPACT: N/A

COUNCIL ACTION: Consideration of a Request to Waive the Fidelity Bond Requirement in Connection with Holding a Raffle in the City of Lake Forest for The Women's Board of Northwestern Lake Forest Hospital and Northwestern Medicine Lake Forest Hospital. (Approval by Motion)

4. Consideration of Ordinances Approving Recommendations from the Building Review Board. (First Reading, and if Desired by the City Council, Final Approval)

STAFF CONTACT: *Catherine Czerniak,*
Director of Community Development (810-3504)

PURPOSE AND ACTION REQUESTED: The following recommendations from the Building Review Board are presented to the City Council for consideration as part of the Omnibus Agenda.

BACKGROUND:

1150 Highland Avenue – The Building Review Board recommended approval of a new single family residence on a vacant lot. Two neighbors presented testimony raising concerns about the proximity of the proposed driveway to the property line, tree removal, and the potential for off site drainage impacts. The plan was modified to shift the driveway away from the property line and the Board acknowledged that as a vacant buildable lot, the proposed tree removal is necessary. The City Engineer visited the site, met with neighbors and will take into account the concerns raised in reviewing the drainage and grading plans submitted for permit. (Board vote 6-0, approved)

172 N. Ridge Road – The Building Review Board recommended approval of a partial demolition, a large rear addition, reconfiguration of the roof to increase the overall height, relocation of the driveway, and construction of a new garage. No public testimony was presented on this petition. (Board vote 6-0, approved)

Amberley Woods Courtyard Homes – The Building Review Board recommended approval of an additional design option to the previously approved Courtyard Homes in the Amberley Woods development. The design modifications include minor changes to the building footprint and roof massing, adjustments to the window sizes and proportions, and refinement of some of the architectural detailing. No public testimony was presented on this petition. (Board vote: 6-0, approved)

780 N. Western Avenue – The Building Review Board recommended approval of an updated exterior lighting plan for the Bank of America. No testimony was presented on this petition. (Board vote 6-0, approved)

Ordinances approving the petitions as recommended by the Building Review Board, with key exhibits attached, are included in the Council packet beginning on **page 15**. The Ordinances, complete with all exhibits, are available for review in the Community Development Department.

COUNCIL ACTION: If determined to be appropriate by the City Council, waive first reading and grant final approval of the Ordinances approving the petitions in accordance with the Building Review Board's recommendations.

COUNCIL ACTION: Approval of the four (4) omnibus items as presented.

6. OLD BUSINESS

7. NEW BUSINESS

8. ADDITIONAL ITEMS FOR DISCUSSION/ COMMENTS BY COUNCIL MEMBERS

1. EXECUTIVE SESSION pursuant to 5 ILCS 120/2 (c), (1), The City Council will be discussing personnel.

Adjournment into Executive Session

Reconvene into Regular Session

9. ADJOURNMENT

A copy of the Decision Making Parameters is included beginning on **page 6** of this packet.

Office of the City Manager

September 28, 2022

The City of Lake Forest is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are required to contact City Manager Jason Wicha, at (847) 234-2600 promptly to allow the City to make reasonable accommodations for those persons.





THE CITY OF LAKE FOREST

DECISION-MAKING PARAMETERS FOR CITY COUNCIL, AND APPOINTED BOARDS & COMMISSIONS

Adopted June 18, 2018

The City of Lake Forest Mission Statement:

"Be the best-managed, fiscally-responsible and appealing community and promote a community spirit of trust, respect and citizen involvement."

The Lake Forest City Council, with the advice and recommendations of its appointed advisory Boards and Commissions, Lake Forest Citizens, and City Staff, is responsible for policy formulation and approval. Implementation of adopted strategy, policy, budgets, and other directives of Council is the responsibility of City Staff, led by the City Manager and Senior Staff. The Mayor and Aldermen, and appointed members of Boards and Commissions should address matters in a timely, deliberate, objective and process-driven manner, making decisions guided by the City of Lake Forest Strategic and Comprehensive Plans, the City's Codes, policies and procedures, and the following parameters:

- Motions and votes should comprise what is in the best long-term interests of all Lake Forest citizens, measured in decades, being mindful of proven precedents and new precedents that may be created.
- All points of view should be listened to and considered in making decisions with the long-term benefit to Lake Forest's general public welfare being the highest priority.
- Funding decisions should support effectiveness and economy in providing services and programs, while mindful of the number of citizens benefitting from such expenditures.
- New initiatives should be quantified, qualified, and evaluated for their long-term merit and overall fiscal impact and other consequences to the community.
- Decision makers should be proactive and timely in addressing strategic planning initiatives, external forces not under control of the City, and other opportunities and challenges to the community.

Community trust in, and support of, government is fostered by maintaining the integrity of these decision-making parameters.

The City of Lake Forest's Decision-Making Parameters shall be reviewed by the City Council on an annual basis and shall be included on all agendas of the City Council and Boards and Commissions.



RESOLUTION OF APPRECIATION

WHEREAS, Art Wood has devoted much valuable time and personal attention to the work of the Lake Forest Day Foundation as its President since 2007 and, on behalf of the citizens of Lake Forest, continually met his responsibilities with purpose and dedication; and

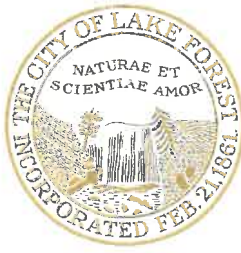
WHEREAS, Art Wood brought quick wit and good nature as a positive force to collaborate with the American Legion in celebrating Lake Forest Day; and

WHEREAS, the citizens of Lake Forest recognize and are deeply appreciative of the valuable time and service he contributed to the preservation and improvement of the Lake Forest Day Celebration in our community by serving on the Lake Forest Day Foundation.

NOW, THEREFORE, BE IT RESOLVED that the City Council of The City of Lake Forest, Illinois, on behalf of the administration and residents of the community, hereby expresses the profound gratitude of the citizens of Lake Forest to Art Wood for the loyal and faithful public service he has given by means of this resolution, which shall be spread upon the permanent records of the City Council.

Adopted by the City Council of
The City of Lake Forest this
3rd day of October, 2022

George A. Pandaleon, Mayor



RESOLUTION

WHEREAS, Lake Forest Resident Jack Preschlack has lived in the City of Lake Forest for 45 years, and

WHEREAS, Lake Forest Day Foundation was founded by Art Wood, Jack Preschlack, Willard Bunn, Howard Adams, Bud Turner and David Nash from the American Legion, and early supporters the Stuart, McKenzie, and other Lake Forest families in 2007, all civic leaders in their own right, as Lake Forest Day was approaching its one hundred year anniversary; and

WHEREAS, Lake Forest Day Foundation's mission then and now is to safeguard and ensure that Lake Forest Day celebrations will occur well into the future, and that the American Legion who so tirelessly run Lake Forest Day for the community, have the support and financial means necessary to continue this important and valued community event; and

WHEREAS, Jack Preschlack stepped up early in its founding to be the Foundation's Chief Fundraiser, calling all of his friends in the community to reinforce the vital mission of The Lake Forest Day Foundation and help secure Lake Forest Day for the future, with initial fund raising efforts culminating in an epic black tie celebration at Lake Forest Beach, celebrating the one hundredth anniversary of Lake Forest Day, with hundred's of Lake Foresters and Gary Sinise's, the Lieutenant Dan Band playing to a full house; and

WHEREAS, through the decades, Lake Forest Day Foundation has continued to uphold the tradition of Lake Forest Day; and

WHEREAS, Lake Forest Day Foundation is a true community partner, annually supporting the American Legion with Lake Forest Day Celebrations; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAKE FOREST that the Council, on behalf of the entire community hereby expresses its sincere appreciation and gratitude to The Lake Forest Day Foundation and Founding Member, Jack Preschlack for a public service faithfully performed; and

BE IT FURTHER RESOLVED that the City Clerk be and hereby is instructed to deliver a copy of this resolution duly signed by the Mayor to **The Lake Forest Day Foundation** on this 3rd day of October 2022.

The City of Lake Forest
CITY COUNCIL MEETING
Proceedings of the Special, Tuesday, September 6, 2022
City Council Meeting - City Council Chambers
220 E Deerpath, Lake Forest, IL 60045

CALL TO ORDER AND ROLL CALL Mayor Pandaleon called the meeting to order at 5:00p.m, and City Clerk Margaret Boyer called the roll of Council members

Present: Alderman Morris, Alderman Novit, Alderman Rummel, Alderman Notz, Alderman Preschlack, Alderman Goshgarian, Alderman Buschmann, and Alderman Weber.

Absent: None.

Alderman Rummel made a motion to adjourn into executive session pursuant to 5ILCS120/2(c), 11 The City Council will be discussing pending litigation, seconded by Alderman Goshgarian. The following voted "Aye": Alderman Morris, Novit, Rummel, Notz, Preschlack, Goshgarian, Buschmann and Weber. The following voted "Nay": None. 8-Ayes, 0 Nays, motion carried

1. **EXECUTIVE SESSION pursuant to 5ILCS120/2(c), 11 The City Council will be discussing pending litigation**

Adjournment into Executive Session at 5:03p.m.

Reconvene into Regular Session at 6:08 p.m.

Note: the City Council recessed until 6:30 pm

CALL TO ORDER AND ROLL CALL: Honorable Mayor Pandaleon reconvened the meeting to order at 6:30pm, and the Deputy City Clerk Joyce Reda called the roll of Council members.

Present: Alderman Morris, Alderman Novit, Alderman Rummel, Alderman Notz, Alderman Preschlack, Alderman Goshgarian, Alderman Buschmann, and Weber.

Absent: None

CALL TO ORDER AND ROLL CALL

PLEDGE OF ALLEGIANCE was recited.

REPORTS OF CITY OFFICERS

COMMENTS BY MAYOR

Mayor Pandaleon shared the sad news of the passing of Carl Nagel and Sue Dixon, and extended the City Councils heartfelt sympathies to the families on behalf of the City of Lake Forest.

COMMENTS BY CITY MANAGER

A. Community Spotlight

- Lake Forest Open Lands Association
- Ryan London, President

City Manager Jason Wicha introduced Ryan London, President of the Lake Forest Open Lands Association. Mr. London presented a slideshow highlighting 25 years of internship classes, training over 160 future conservation leaders, 68,000 students, and preserving over 900 acres of land. He gave an overview of upcoming events including Bagpipes and Bonfire on September 25, the Fall Tree sale on October 29, weekly guided hikes, bird watching lessons, monthly conservation cocktail meetings, and Native Voices, a yearlong program starting in 2023 aimed at celebrating the culture and heritage of Native Americans. Mr. London finalized with a QR code for social media and updates, which are also all available on their website. The City Council thanked Mr. London and the organization for the work they continue to put into preservation and the engagement of the public on nature.

B. Forest Park Beach Restoration Project
-Chuck Myers, Superintendent Cemetery, Parks & Forestry

City Manager Jason Wicha introduced Chuck Myers, Superintendent of Parks and Forestry, to give a brief update on the omnibus request item related to the Forest Park Beach Restoration Project. He reported that the project expects to begin in October with a permit approval.

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| OPPORTUNITY FOR CITIZENS TO ADDRESS THE CITY COUNCIL |
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| COMMITTEE REPORTS |
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| ITEMS FOR OMNIBUS VOTE CONSIDERATION |
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1. **Approval of August 1, 2022, City Council Meeting Minutes**
2. **Approval of the Check Register for the Period of July 23 – August 26, 2022**
3. **Approval of an 18-month Contract Extension with Lake Forest Bank and Trust for Banking Services**
4. **Consideration of a Request to Waive the Fidelity Bond Requirement in Connection with Holding a Raffle in the City of Lake Forest for the Lake Forest/Lake Bluff Chamber of Commerce (Approval by Motion)**
5. **Approve the purchase of complete “System” that includes Body Worn Cameras (BWC), Squad Car Mobile Video System (MVS), Taser 7 tasers and a Cloud Based Digital Evidence Management Software (DEMS) included in the FY2023 Capital Equipment Budget, from the National Sourcewell low bidder Axon, in the Amount of \$120,395.00.**
6. **Award of Contract for Bulk Purchase of Mobil Diesel Efficient Fuel to the Suburban Purchasing Cooperative’s Low Bidder, Al Warren Oil Co., Inc.**
7. **Approval of Resolution Committing Local Funds for the 2022 Illinois Transportation Enhancement Program for The Deerpath Streetscape Project Grant Application and the Authorization of the City Manager to Execute Related Grant Application Documents**
8. **Approval of a Public Works Committee Recommendation of an Award of Bid to Bruce Brugioni Construction Co. for the Elawa & City Hall Tuck Pointing and Elawa Garden Wall Repair Project**

in the Amount of \$115,279 to include a 10% Contingency in the Amount of \$11,600 for a Grand Total of \$126,879

- 9. Consideration of a Resolution of Authorization for an OSLAD Grant Program project at South Park.**
- 10. Approval of a Recommendation from the Public Works Committee to Award a Contract to John Keno & Company for the Forest Park Beach Restoration Project, in the Amount of \$258,363 plus 4% Contingency in the Amount of \$10,000, for a Total of \$268,363**
- 11. Consideration of Requests for Waivers of City Fees Relating to Supporting Special Events Organized by the School of St. Mary Parent Association and the Deer Path Art League. (Approval by Motion)**

COUNCIL ACTION: Approval of the eleven (11) omnibus items as presented.

Mayor Pandaleon asked members of the Council if they would like to remove any item or take it separately. The City Council had discussion on item # 5.

Mayor Pandaleon asked members of the Council if they would like to remove any item or take it separately. Seeing none, he asked for a motion.

Alderman Weber a motion to approve the ten (10) Omnibus items as presented, seconded by Alderman Notz. The following voted "Aye": Alderman Morris, Novit, Rummel, Notz, Preschlack, Goshgarian, Buschmann and Weber. The following voted "Nay": None. 8-Ayes, 0 Nays, motion carried

Information such as Purpose and Action Requested, Background/Discussion, Budget/Fiscal Impact, Recommended Action and a Staff Contact as it relates to the Omnibus items can be found on the agenda.

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| ORDINANCES |
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| OLD BUSINESS |
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- 1. Status Report on the Development and Discussions to Date on the Design Options for Synthetic Turf Fields at Deerpath Community Park (Council Direction is Requested)**

COUNCIL ACTION: Provide direction in support of continuing design development for synthetic turf fields at Deerpath Community Park consistent with the following recommendations as endorsed by the City Manager's Advisory Group. (No Action Requested – Informal Direction Only)

- 1. Finalize the field design based on a 9.5-acre synthetic turf configuration.**
- 2. Direct staff to select turf field material options based on evaluation criteria of player safety, playability, maintenance demands, durability, and environmental sensitivity.**
- 3. Continue to develop the Conceptual Vision Plan to provide a framework for future Council decisions.**

Superintendent of Parks and Forestry, Mr. Chuck Myers, began a presentation regarding a status update for the Deerpath Park Synthetic Turf Field project. He provided a background summary of the timeline of events up to the current state, outlining the nine-member advisory group formed by the City Manager. The group advised, challenged, offered insight, and made recommendations to City staff and City consultants, reviewing progress on four focus areas: Design/Sustainability, Programming, Traffic and Parking, and Field Maintenance. The Advisory group is recommending to Council to continue the design process with the 9.5-acre synthetic athletic field layout (shifted East), using City staff's criteria for materials and support from the long-range Conceptual Vision Plan. He stated that the 9.5-acre (shifted east) option will cost an estimated \$12,500,000, not including other structures or amenities.

Mayor Pandaleon asked if there was anyone from the public who would like to comment on the topic.

Paul Hamman offered his opinion to the City Council in opposition noting health concerns related to heat on the field.

Rick Amos offered his opinion to the City Council in favor of the 9.5-acre site, noting that using the 7.6 option may lead to safety issues.

Mayor Pandaleon brought back discussion to the council members. The City Council had lengthy discussion on the 9.5-acre plan being optimal, materials used for the buildings and maintenance, the work performed by Johnson consultants, environment repercussions based on materials, cost of the project. The Council had additional discussion on programming and availability, amenities offered, under sizing the field, future asset development and the conceptual vision plan.

Mayor Pandaleon summarized the City Council discussion to show support of the Committees recommendation to finalize the field design based on a 9.5-acre synthetic turf configuration, direct staff to select turf field material options based on evaluation criteria of player safety, playability, maintenance demands, durability, and environmental sensitivity and continue to develop the Conceptual Vision Plan to provide a framework for future Council decisions.

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| NEW BUSINESS |
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| ADDITIONAL ITEMS FOR COUNCIL DISCUSSION/COMMENTS BY COUNCIL MEMBERS |
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| ADJOURNMENT |
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There being no further business Mayor Pandaleon asked for a motion. Alderman Novit made a motion to adjourn, seconded by Alderman Buschmann. Motion carried unanimously by voice vote at 8:48 p.m.

Respectfully Submitted,
Margaret Boyer, City Clerk

A video of the City Council meeting is available for viewing at the Lake Forest Library and on file in the Clerk's office at City Hall. You can also view it on the website by visiting www.cityoflakeforest.com. Click on I Want To, then click on View, then choose Archived Meetings Videos.

THE WOMEN'S BOARD
OF NORTHWESTERN LAKE FOREST HOSPITAL

September 27, 2022

Mayor Pandaleon
The City of Lake Forest
220 E. Deerpath
Lake Forest, IL 60045

Dear Mayor Pandaleon,

The Women's Board of Northwestern Lake Forest Hospital is asking for the City Council's consideration of a waiver for the requirements of the fidelity bond, with regards to our Holiday Boutique Raffle license application. The Holiday Boutique Raffle includes items with an estimated value of approximately \$2,000.00 and we anticipate the number of tickets to be sold at 400.

Thank you in advance for your consideration.

Most sincerely,

Jane Duncan, Kathy Ivinjack and Diana Webb
Co-chairs, Women's Board Holiday Boutique
Women's Board of Northwestern Lake Forest Hospital



Lake Forest Hospital
1000 North Westmoreland Road
Lake Forest, Illinois 60045-9989
847.234.5600

September 1, 2022

Mayor Pandaleon
The City of Lake Forest
220 E. Deerpath
Lake Forest, IL 60045

Dear Mayor Pandaleon,

Northwestern Medicine Lake Forest Hospital is asking for the City Council 's consideration of a waiver for the requirements of the fidelity bond, with regards to our Nursing Basket Raffle license application. The Nursing Basket Raffle includes items with an estimated value of approximately \$2,000.00 and we anticipate the number of tickets to be sold at 1,000.

Thank you in advance, for your consideration .

Sincerely,

A handwritten signature in black ink that reads 'Karen Mahnke'.

Karen Mahnke, MSN, RN, NEA-BC
Vice President, Operations and Bernthal Family Chief Nurse Executive



Area of Request
1150 Highland Avenue

THE CITY OF LAKE FOREST

ORDINANCE NO. 2022- ____

AN ORDINANCE APPROVING ARCHITECTURAL AND SITE DESIGN FOR THE
PROPERTY LOCATED AT 1150 HIGHLAND AVENUE

WHEREAS, US First Seria One LLC (Nenad Zecevic) ("**Owner**") is the owner of that certain real property commonly known as 1150 Highland Avenue, Lake Forest, Illinois and legally described in **Exhibit A**, attached hereto ("**Property**"); and

WHEREAS, the Property is located in the R-2, Single Family Residence Zoning District; and

WHEREAS, the Property is a vacant, buildable lot; and

WHEREAS, the Owner desires to build a new residence, attached garage and make other site improvements including the installation of landscaping ("**Improvements**") as depicted on the site plan, architectural drawings and conceptual landscape plan attached hereto as Group **Exhibit B** ("**Plans**"); and

WHEREAS, the Owner submitted an application ("**Application**") to permit the construction of the Improvements and was required to present the Plans to the Building Review Board ("**BRB**") for its evaluation and recommendation; and

WHEREAS, pursuant to notice duly published, the BRB reviewed and evaluated the Plans at public hearings held on April 6, 2022 and July 6, 2022; and

WHEREAS, the BRB, having fully heard and having considered the evidence and testimony by all those attending the public hearings who wished to testify, made the following findings:

1. the Property is located within the R-2, Single Family Residence District under the City Code,

2. Owner proposes to construct the Improvements as depicted on the plans,
3. the evidence presented indicates that the construction of the Improvements, if undertaken in conformity with the recommended conditions and the Plans, will meet the design standards and requirements of Section 150.147 of the City Code,

and recommended that the City Council approve the Application and the Plans, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owner's Application to construct the Improvements on the Property, and the findings and recommendations of the BRB, have determined that it is in the best interests of the City and its residents to grant approval to the Application, subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 150.147 of the City Code, and subject to the limitations therein and the conditions set forth in Section Three of this Ordinance, the City Council does hereby grant approval of the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Conditions on Approval. The approval granted pursuant to Section Two of this Ordinance shall be, and is hereby, conditioned upon and

limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. Compliance with Laws. Chapters 150, regarding buildings and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. Tree Preservation. The Owner will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.
- D. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans.
- E. Fees and Costs. The Owner shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owner shall reimburse the City for all of its costs (including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City

shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.

- F. Other conditions. The improvements shall be substantially in conformance with the Board's deliberations as reflected on **Exhibit C**, Notice of Action – Board Recommendation, attached hereto.

SECTION FOUR: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the discretion of the City Council, be of no force or effect if the Owner have not (i) executed and (ii) thereafter filed with the City Clerk, within 90 days following the passage of this Ordinance, the unconditional agreement and consent, in the form attached hereto as **Exhibit D** and by this reference made a part hereof, to accept and abide by each and all of the terms, conditions, and limitations set forth herein.

PASSED THIS __ DAY OF _____, 2022.

AYES: ()
NAYS: ()
ABSENT: ()
ABSTAIN: ()

PASSED THIS __ DAY OF _____, 2022.

Mayor

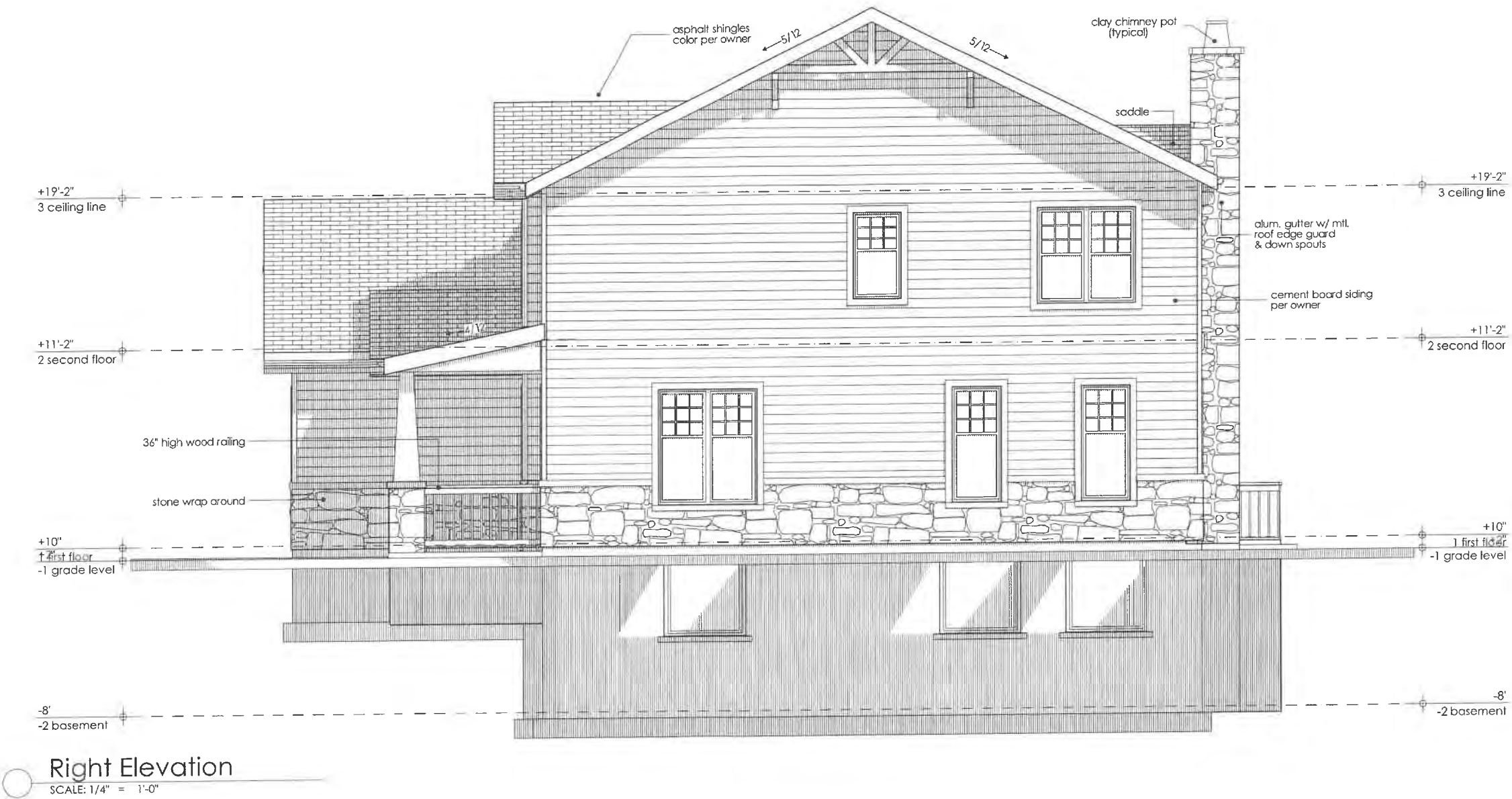
ATTEST:

City Clerk

The Plans



The Plans

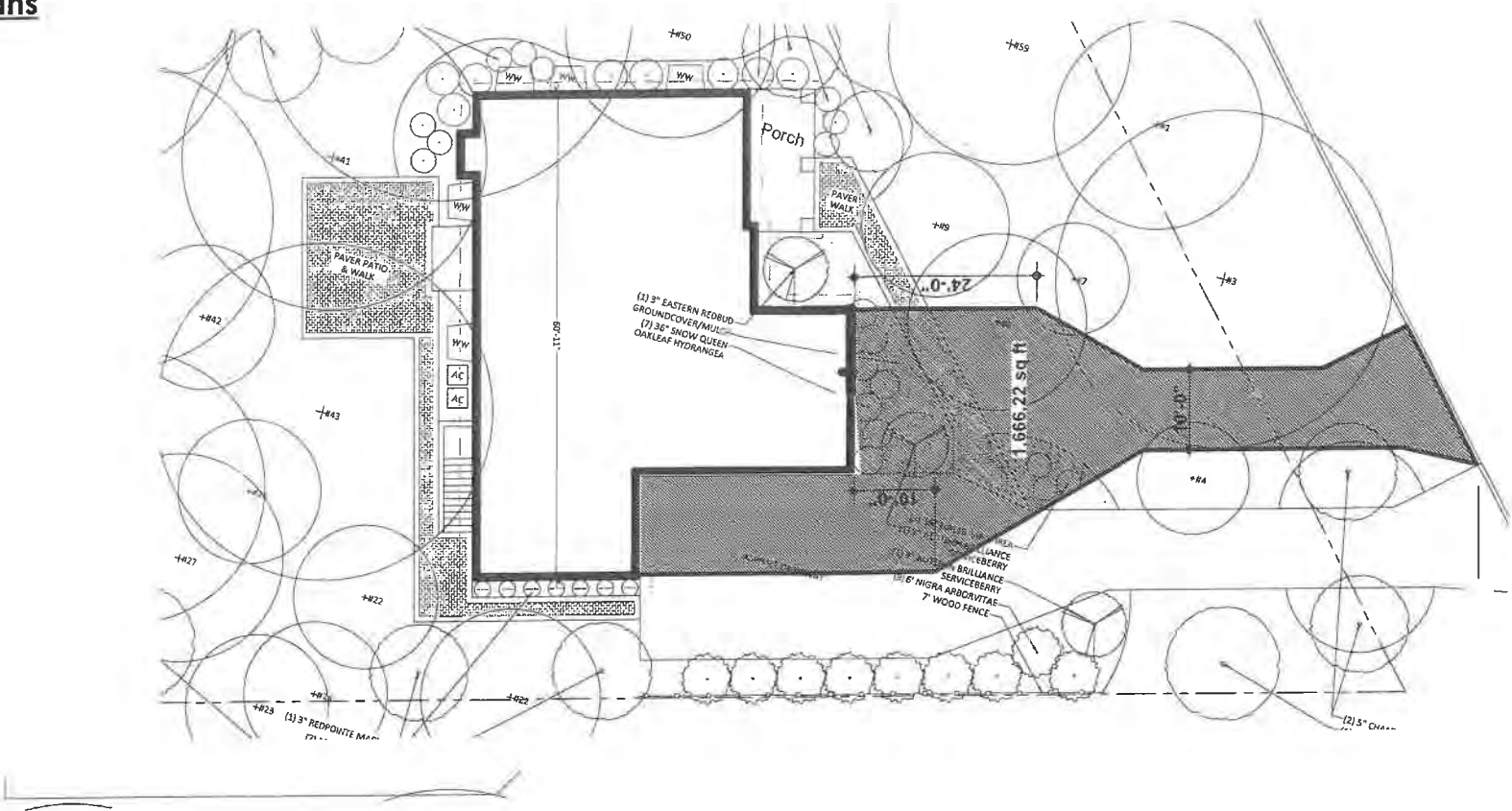


The Plans



Rear Elevation
SCALE: 1/4" = 1'-0"

The Plans



| TREE REPLACEMENT LIST | | | | |
|--------------------------------|--------------------|------|--------------------|----------|
| BOTANIC NAME | COMMON NAME | SIZE | REPLACEMENT INCHES | QUANTITY |
| Acer freemanii 'Autumn Blaze' | Autumn Blaze Maple | 3" | 3" | 1 |
| Acer rubrum 'Redpointe' | Redpointe Maple | 3" | 3" | 2 |
| Aesculus glabra | Ohio Buckeye | 3" | 3" | 3 |
| Carpinus caroliniana | American Hornbeam | 3" | 3" | 4 |
| Fagus sylvatica | European Beech | 3" | 3" | 1 |
| Liriodendron tulipifera | Tulip Tree | 4" | 4" | 1 |
| Nyssa sylvatica | Black Gum | 3" | 3" | 1 |
| Pyrus calleryana 'Chanticleer' | Chanticleer Pear | 5" | 5" | 2 |
| Tilia cordata | American Linden | 4" | 4" | 1 |

Required Replacement Inches: 48
Total Proposed Replacement Inches: 48

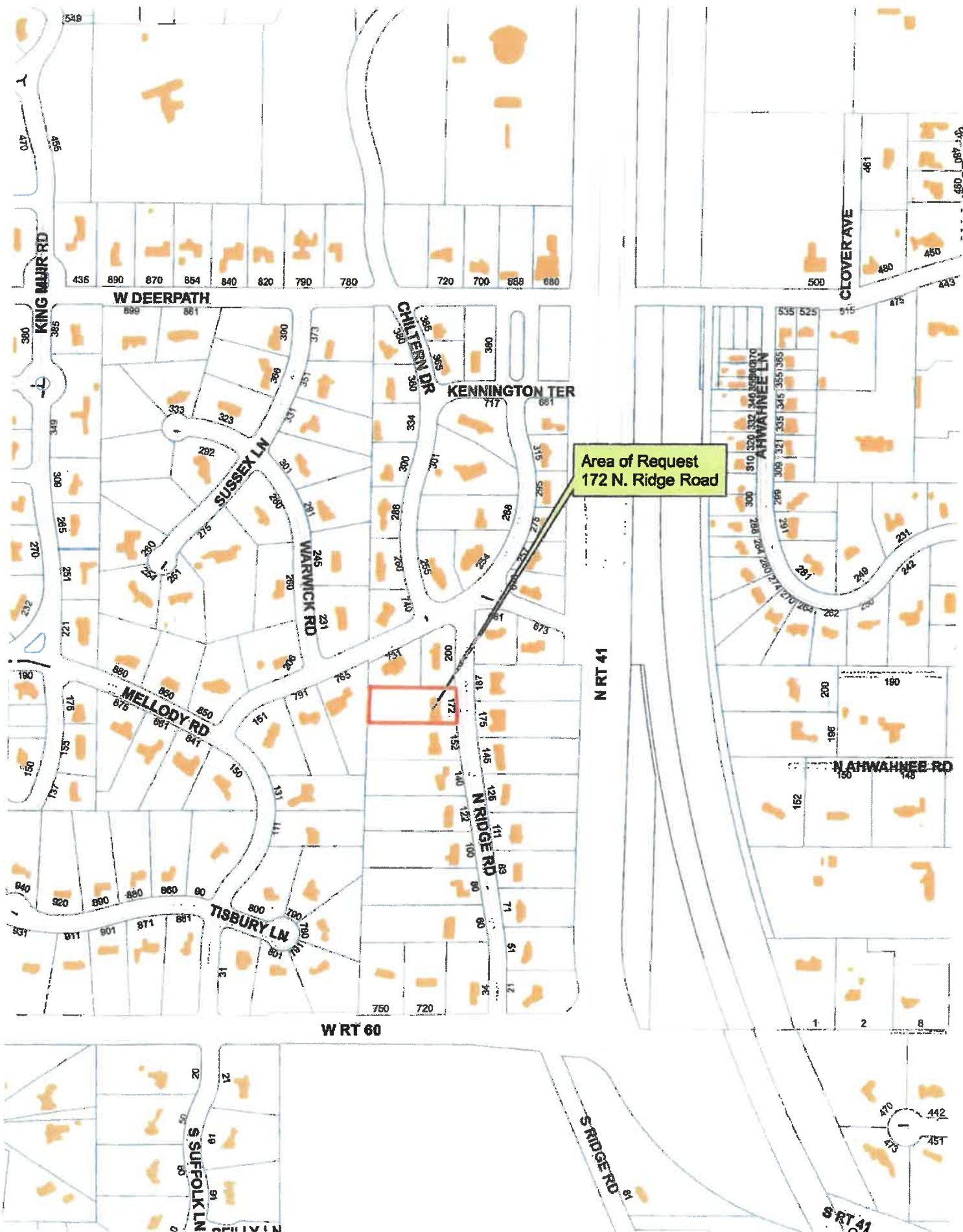
| LANDSCAPE REQUIREMENTS | | | |
|---|--------------------------------|------|----------|
| BOTANIC NAME | COMMON NAME | SIZE | QUANTITY |
| Under Story/Ornamental Trees | | | |
| Amelanchier x grandiflora 'Autumn Brilliance' | Autumn Brilliance Serviceberry | 3" | 2 |
| Cercis canadensis | Eastern Redbud | 3" | 1 |
| Thuja occidentalis 'Nigra' | Nigra Arborvitae | 6" | 9 |
| Hydrangea quercifolia 'Snow Queen' | Strawberry Sundae Hydrangea | 36" | 10 |
| Spiraea betulifolia 'Tor' | Birchleaf Spirea | 36" | 3 |

RP

ROSBOROUGH PARTNERS, INC.

242 N. 4th Street, Suite 104
Minneapolis, MN 55401
P 612.242.1161
www.rosboroughpartners.com

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Area of Request
172 N. Ridge Road

THE CITY OF LAKE FOREST

ORDINANCE NO. 2022- ____

AN ORDINANCE APPROVING ARCHITECTURAL AND SITE DESIGN FOR THE
PROPERTY LOCATED AT 172 N. RIDGE ROAD

WHEREAS, Helen Logarakis ("**Owner**") is the owner of that certain real property commonly known as 172 N. Ridge Road, Lake Forest, Illinois and legally described in Exhibit A, attached hereto ("**Property**"); and

WHEREAS, the Property is located in the R-3, Single Family Residence Zoning District; and

WHEREAS, the Owner desires to demolish a portion of the existing home and construct additions and alterations ("**Improvements**") as depicted on the site plan, landscape plan and architectural drawings that are attached hereto as Group Exhibit B ("**Plans**"); and

WHEREAS, the Owner submitted an application ("**Application**") to permit the construction of the Improvements and was required to present the Plans to the Building Review Board ("**BRB**") for its evaluation and recommendation; and

WHEREAS, pursuant to notice duly published, the BRB reviewed and evaluated the Plans at a public hearing held on July 6, 2022; and

WHEREAS, the BRB, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify, made the following findings:

1. the Property is located within the R-3, Single Family Residence District under the City Code,

2. Owner proposes to construct the Improvements as depicted on the Plans,
3. the evidence presented indicates that the construction of the Improvements, if undertaken in conformity with the recommended conditions and the Plans, will meet the design standards and requirements of Section 150.147 of the City Code,

and recommended that the City Council approve the Application and the Plans, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owner's Application to construct the Improvements on the Property, and the findings and recommendations of the BRB, have determined that it is in the best interests of the City and its residents to grant approval to the Application, subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 150.147 of the City Code, and subject to the limitations therein and the conditions set forth in Section Three of this Ordinance, the City Council does hereby grant approval of the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Conditions on Approval. The approval granted pursuant to Section Two of this Ordinance shall be, and is hereby, conditioned upon and

limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. Compliance with Laws. Chapters 150, regarding buildings and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. Tree Preservation. The Owner will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.
- D. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans.
- E. Fees and Costs. The Owner shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owner shall reimburse the City for all of its costs (including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City

F. Other conditions. The improvements shall be substantially in conformance with the Board's deliberations as reflected on Exhibit C, Notice of Action – Board Recommendation, attached hereto.

PASSED THIS __ DAY OF _____, 2022
 AYES: () ABSENT: ()
 NAYS: () ABSTAIN: ()

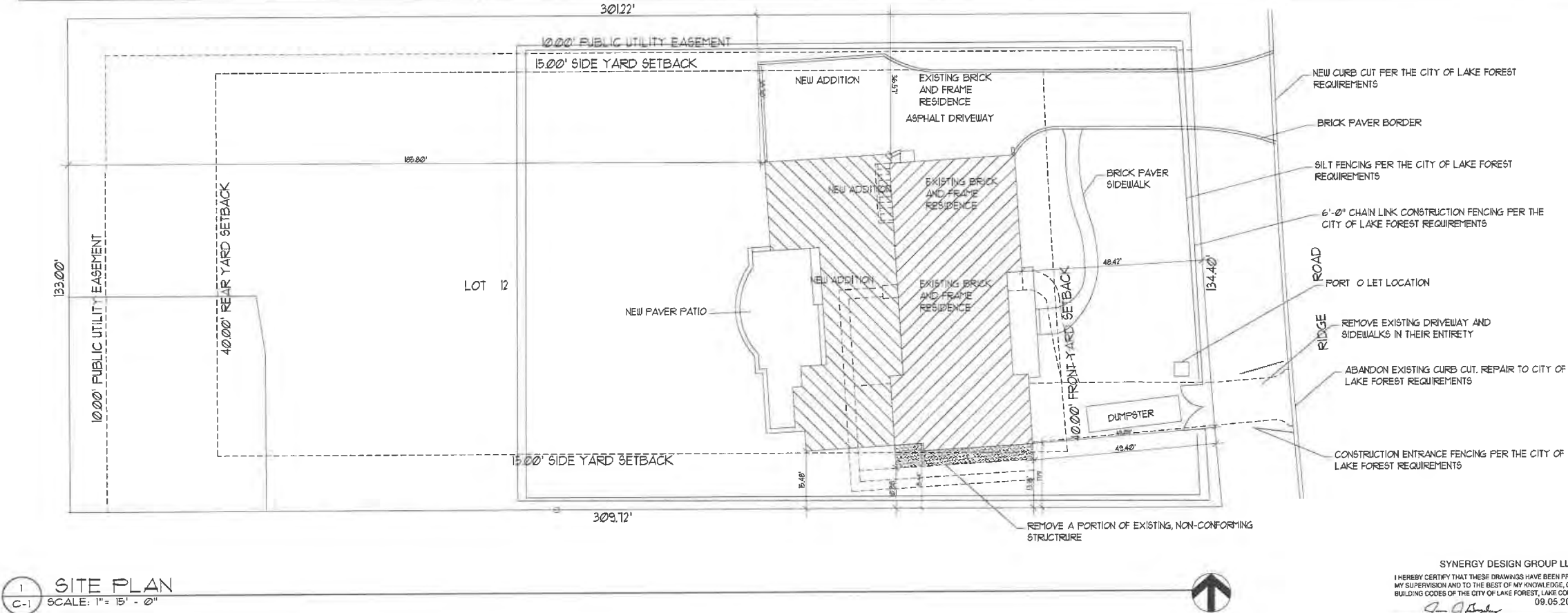
Mayor

City Clerk

The Plans

LOGARAKIS RESIDENCE
172 RIDGE ROAD
LAKE FOREST, IL. 60045

| GENERAL BUILDING INFORMATION | | DRAWING INDEX | |
|--|---|---|--|
| JURISDICTION: CITY OF LAKE FOREST / LAKE COUNTY THIS PROJECT TO CONFORM TO THE FOLLOWING CODES WITH LOCAL AMENDMENTS: 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL FUEL GAS CODE 2018 FIRE PREVENTION CODE 2017 NFPA NATIONAL ELECTRICAL CODE ILLINOIS STATE PLUMBING CODE, 77 ILL. ADM. CODE 890 2018 NFPA FIRE PREVENTION CODE 2018 NFPA LIFE SAFETY CODE NFPA 101 NFPA 72, FIRE ALARM CODE 2016 EDITION NFPA 13, 130, 13R, FIRE SPRINKLER CODES, 2016 EDITION | ZONING CLASSIFICATION: "R-3" | EXISTING FIRST FLOOR FOOTPRINT (MINUS DEMO) = 2,548 SQ. FT. PROPOSED ADDITION: 2,043 SQ. FT. PROPOSED DRIVEWAY = 2,539 SQ. FT. PROPOSED REAR PATIO = 196 SQ. FT. FRONT PORCH: 194 SQ. FT. PROPOSED IMPERVIOUS : 8,120 SQ. FT. / 40,653 = 19.9% SURFACES CALCULATION MAXIMUM BUILDING HEIGHT: 32'-0" PROPOSED BUILDING HEIGHT: 22'-9-1/2" | |
| | LOT SIZE 40,653 SQ. FT. BUILDING SCALE: 40,653 X 20 + 1,800 = 5,052 SQ. FT. EXISTING FIRST FLOOR: 2,721 SQ. FT. EXISTING NON CONFORMING ARE REMOVED = -171 SQ. FT. FIRST FLOOR ADDITION = 1,229 SQ. FT. SECOND FLOOR ADDITION = 939 SQ. FT. 3 CAR ATTACHED GARAGE = 810 SQ. FT. COVERED PORCH = 194 SQ. FT. -820 SQ. FT. ALLOWANCE FOR GARAGE -134 SQ. FT. ALLOWANCE FOR COVERED PORCH -174 SQ. FT. MIDDLE FRONT DORMER ALLOWANCE TOTAL FAR (AFTER ALLOWANCES): 4,680.5 SQ. FT. OF 5,052 ALLOWABLE | C-1 SITE PLAN, GENERAL BUILDING INFORMATION A-1 DEMOLITION PLANS A-2 FOUNDATION PLAN, DETAILS A-2.1 BASEMENT FLOOR PLAN A-3 FIRST FLOOR PLAN A-4 SECOND FLOOR PLAN A-5 ELEVATIONS A-6 ELEVATIONS A-7 BUILDING SECTION A-7.1 WALL SECTIONS T-1.1 BASEMENT ELECTRICAL PLAN T-1.2 FIRST FLOOR ELECTRICAL T-1.3 SECOND FLOOR ELECTRICAL T-1.4 PLUMBING SUPPLY AND WASTE DIAGRAM, WSPU CALCS S-1 FIRST AND SECOND FLOOR STRUCTURAL PLANS S-2 SECOND FLOOR CEILING JOIST PLAN, ROOF PLAN | |



1 SITE PLAN
C-1 SCALE: 1" = 15' - 0"

SYNERGY DESIGN GROUP LLC
I HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, CONFORM TO THE BUILDING CODES OF THE CITY OF LAKE FOREST, LAKE COUNTY ILLINOIS 09.05.2022

ARCHITECT: JUAN J. GONZALEZ - PRINCIPAL ARCH. LIC. # 00102971 EXP. 11.30.22
PROFESSIONAL DESIGN FIRM: LIC. # 184-00173 EXP. 4.30.2023

LIMIT OF WARRANTY OF ARCHITECT'S WORK PRODUCT:
THE ARCHITECT AND HIS CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE WORK PRODUCT THEREIN BEYOND A REASONABLE DILIGENCE, IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST IN THE WORK PRODUCT.
THE ARCHITECT SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ARCHITECT OF SUCH CONDITIONS SHALL ABSOLVE THE ARCHITECT FROM ANY RESPONSIBILITY OF SUCH FAILURE.

ACTION TAKEN WITHOUT KNOWLEDGE AND CONSENT OF THE ARCHITECT OR IN CONTRADICTION TO THE WORK PRODUCT OR THE RECOMMENDATIONS OF THE ARCHITECT, SHALL BECOME THE RESPONSIBILITY OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH ANY WORK DONE PURSUANT TO THESE PLANS AND/OR SPECIFICATIONS. THE GENERAL CONTRACTOR SHALL HOLD HARMLESS AND INDEMNIFY THE ARCHITECT AGAINST ALL ACTIONS AND CLAIMS ARISING OUT OF THIS PROJECT, NOT A RESULT OF THE ARCHITECT'S CONDUCT, INCLUDING ALL FEES AND COSTS.

SYNERGY DESIGN GROUP LLC
2181 N. STONEHEDGE COURT
ROUND LAKE BEACH, ILLINOIS 60073
MOBILE: 847-343-8284 BUSINESS: 224-643-7695

DATE: 09.05.22
DRAWN: JIG
CHECK'D: JIG

C-1



LOGARAKIS RESIDENCE
172 RIDGE ROAD
LAKE FOREST, ILLINOIS 60045

SITE PLAN
GENERAL BUILDING INFORMATION

SYNERGY DESIGN GROUP LLC
2181 N. STONEHEDGE COURT
ROUND LAKE BEACH, ILLINOIS 60073
MOBILE: 847-343-8284 BUSINESS: 224-643-7695

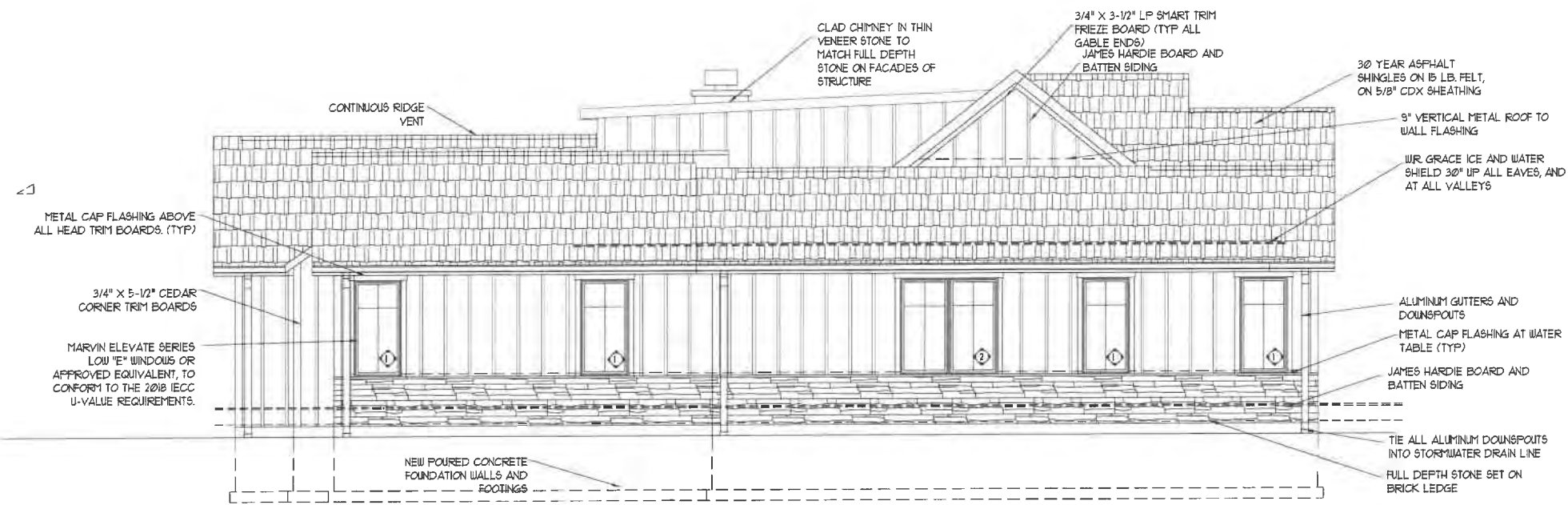
| DATE | REVISION |
|----------|----------|
| 09.05.22 | DRAWN |
| | JIG |
| | CHECK'D |
| | JIG |

C-1

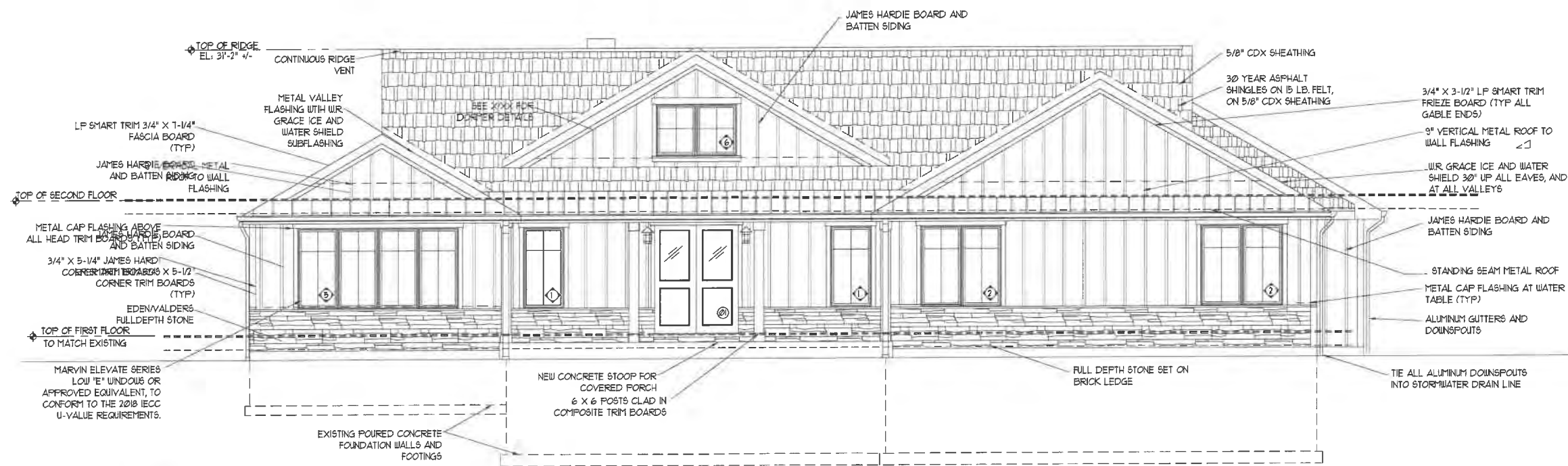


GROUP EXHIBIT B

The Plans



2 SOUTH ELEVATION
A-5 SCALE: 1/4" = 1' - 0"



1 EAST ELEVATION
A-5 SCALE: 1/4" = 1' - 0"



LOGARAKIS RESIDENCE
172 RIDGE ROAD
LAKE FOREST, ILLINOIS 60045

ELEVATIONS

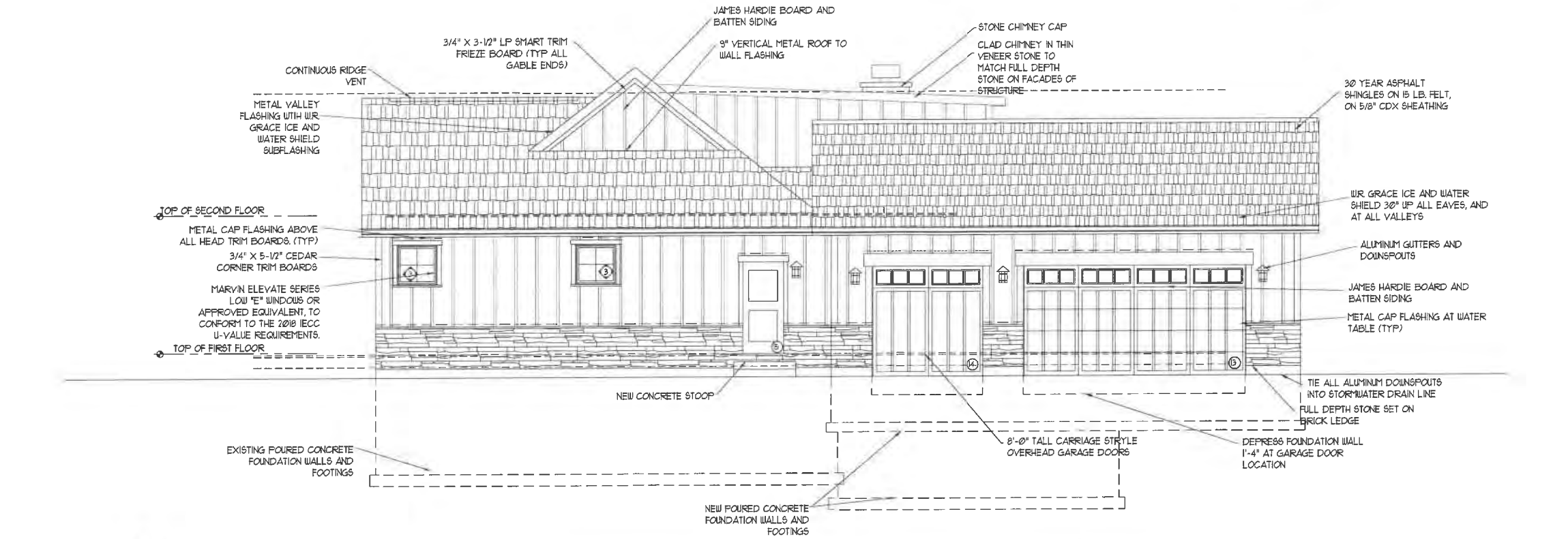
SYNERGY DESIGN GROUP LLC
2181 N. STONEHEDGE COURT
ROUND LAKE BEACH, ILLINOIS 60073
MOBILE: 847-343-8284 BUSINESS: 224-643-7695



| DATE | REVISION |
|----------|----------|
| 09.05.22 | DRAWN |
| | JG |
| | CHECK'D |

A-5


The Plans



2 NORTH ELEVATION
A-6 SCALE: 1/4" = 1' - 0"



1 WEST ELEVATION
A-6 SCALE: 1/4" = 1' - 0"




LOGARAKIS RESIDENCE
172 RIDGE ROAD
LAKE FOREST, ILLINOIS 60045

ELEVATIONS

SYNERGY DESIGN GROUP LLC
2181 N. STONEHEDGE COURT
ROUND LAKE BEACH, ILLINOIS 60073
MOBILE: 847-343-8284 BUSINESS: 224-643-7695

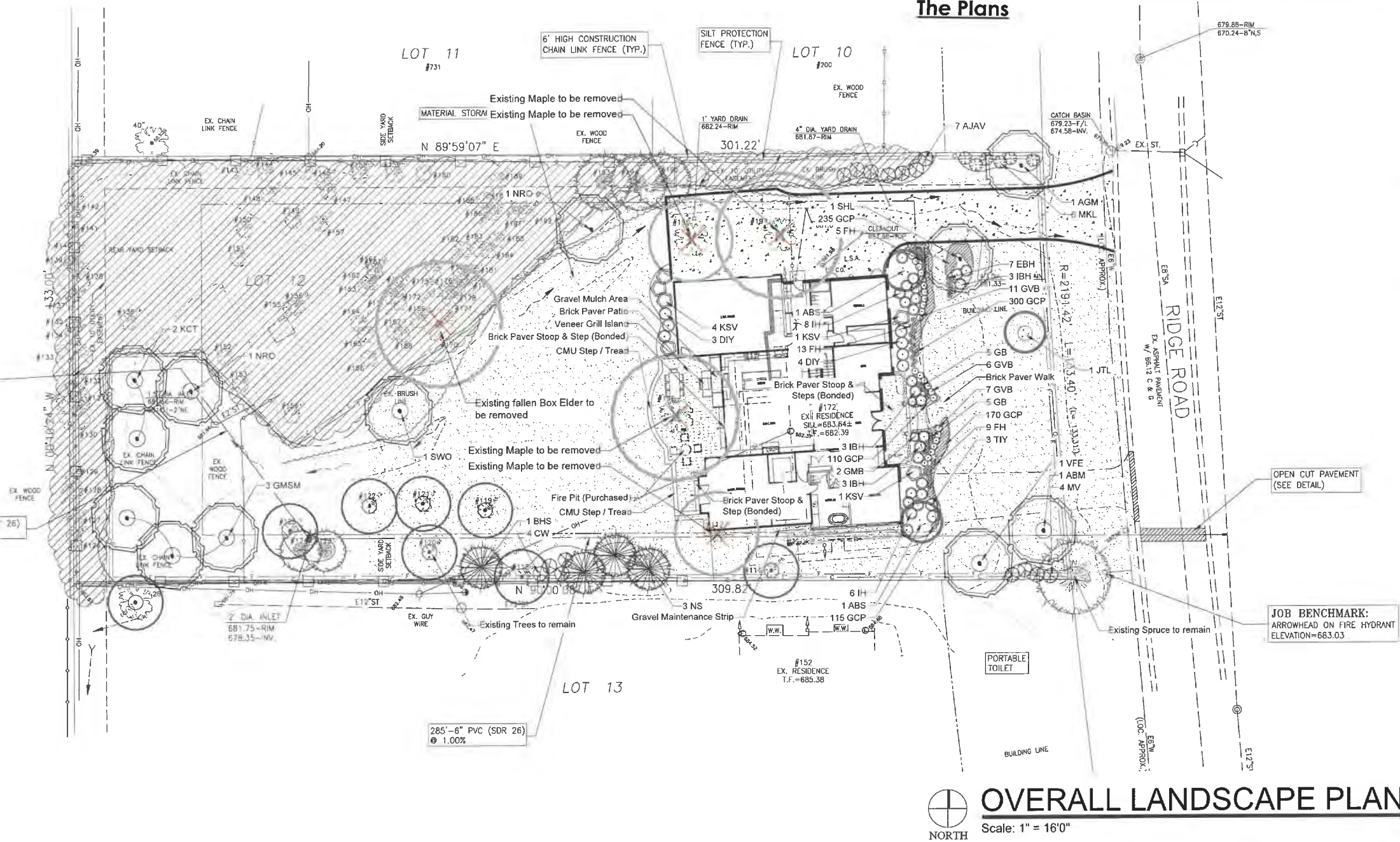
| DATE | REVISION |
|----------|----------|
| 09.05.22 | DRAWN |
| | JG |
| | CHECK'D |



A-6

The Plans

- SHADE TREES (DECIDUOUS)
- ABM Autumn Blaze Maple
 - GMSM Green Mountain Sugar Maple
 - SHL Skyline Honeylocust
 - AGM Autumn Gold Maidenhair
 - KCT Kentucky Coffee Tree
 - SWO Swamp White Oak
 - NRO Northern Red Oak
 - VFE Valley Forge American Elm
- ORNAMENTAL TREES (DECIDUOUS)
- ABS Autumn Brilliance Serviceberry
 - JTL Ivory Silk Japanese Tree Lilac
- EVERGREEN TREES
- NS Norway Spruce
 - BHS Black Hills Spruce
- EVERGREEN SHRUBS
- GMB Green Mountain Boxwood
 - GVB Green Velvet Boxwood
 - DIY Dense Intermediate Yew
 - TIY Taunton Intermediate Yew
- DECIDUOUS SHRUBS
- CW Common Witchhazel
 - IH Incrediball Hydrangea
 - IBH Incrediball Blush Hydrangea
 - MKL Miss Kim Dwarf Ulac
 - KSV Fragrant Korean Spice Viburnum
 - AJAV Autumn Jazz Arrowwood Viburnum
 - MV Mohican Viburnum
- HERBACEOUS PERENNIALS
- GB Goatsbeard
 - FH Fraxinea Hosta
 - EBH Elegans Bigleaf Hosta
- GROUNDCOVERS & VINES
- GCP Green Carpet Pachysandra
- PLANT ABBREVIATIONS



OVERALL LANDSCAPE PLAN

Scale: 1" = 16'0"

City of Lake Forest
Residential Landscape Requirements
Section 99.102

Front Foundation (LF) fronting a public or private street (North Foundation, LF):

133.4 Linear Feet

Required Shrubs (Front Yard):

27 Deciduous Shrubs (minimum height = 36")
45 Deciduous Shrubs shown on Landscape Plan

Two of the three conditions below must be satisfied:

i.) Two (2) 3.0' Shade Trees must be planted for each 100 LF of foundation(s) along front and front and corner side yards

2.7 Required 3" Shade Trees

OR

ii.) Three (3) three inch understory or ornamental trees must be on the site for each 100 LF of foundation, or portion thereof along the front and corner side yards

4.0 Required 3" Ornamental / Understory Trees

OR

iii.) Three (3) six to eight foot evergreens must be planted for each 100 linear feet

4.0 Required 6-8' Evergreen Trees

CODE REQUIREMENTS

| PROPOSED TREE REMOVALS | | | SIZE (DBH) Inches | CONDITION RATING | REPLACEMENT INCHES |
|----------------------------------|-------------------|--------------|----------------------|---------------------|-----------------------|
| TREE TAG # | Scientific Name | Common Name | | | |
| 117 | Acer sacharum | Sugar Maple | 15 | 3 (Good) | 15 |
| 170 | Acer negundo | Box Elder | 27 | 6 (fallen) | 0 |
| 196 | Acer plantanoides | Norway Maple | 22 | 5 (Poor) | 0 |
| 197 | Acer sacharinum | Silver Maple | 38 | 3 (Good) | 38 |
| 198 | Acer plantanoides | Norway Maple | 25 | 3 (Good) | 25 |
| Total DBH (in) Removed: | | | 127 | | 78 |
| Trees Inches to Replace: | | | 78 | | |
| Shade Tree inches shown on plan: | | | 36 | | |

SHEET TITLE
OVERALL
LANDSCAPE
PLAN

PROJECT MANAGER WDH
PROJECT NUMBER 22-043
DATE 06.30.22
SHEET NUMBER

L 1.0

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|---------|-------------|
| 6.30.22 | FIRST ISSUE |

JOB BENCHMARK:
ARROWHEAD ON FIRE HYDRANT
ELEVATION=663.03



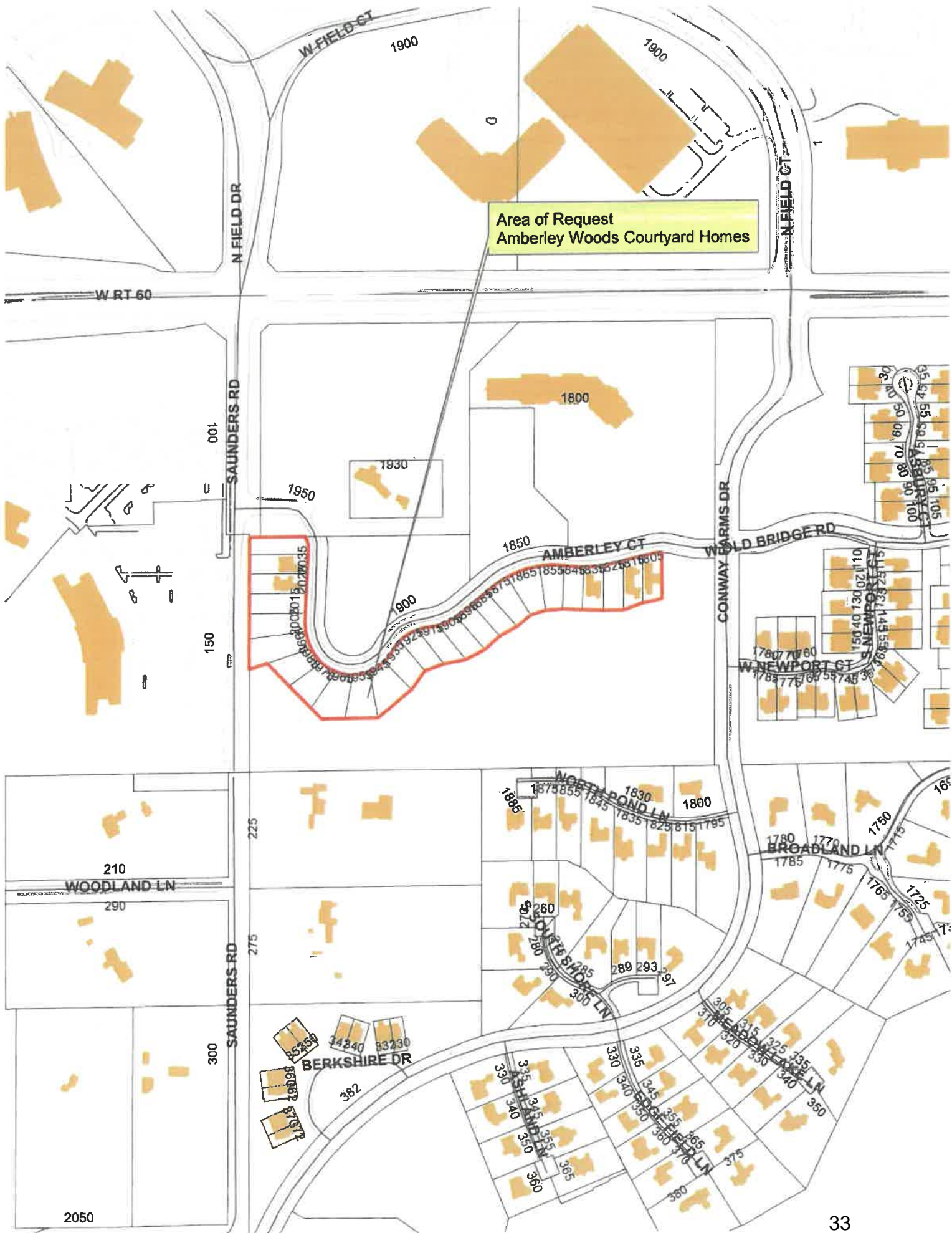
These plans were prepared by:
W. David Heller, ASLA
Registered Landscape Architect
#157-000558
Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

OVERALL
LANDSCAPE
PLAN

PROJECT MANAGER WDH
PROJECT NUMBER 22-043
DATE 06.30.22
SHEET NUMBER

L 1.0



THE CITY OF LAKE FOREST

ORDINANCE NO. 2022- ____

AN ORDINANCE APPROVING ALTERNATE DESIGNS IN ADDITION TO THE
PREVIOUSLY APPROVED DESIGN MODELS FOR THE AMBERLEY WOODS COURTYARD
HOMES DEVELOPMENT

WHEREAS, McNaughton Development (Paul R. McNaughton 100%) ("**Owner**") is the owner of vacant lots within that certain real property commonly known as Amberley Woods Courtyard Homes, Lake Forest, Illinois as legally described in **Exhibit A**, attached hereto ("**Property**"); and

WHEREAS, the Property is located in the TD, Traditional Zoning District; and

WHEREAS, the Amberley Woods mixed use development of which the Courtyard Homes are a part, was originally approved by the City Council on April 20, 2006 consistent with the requirements of the TD Zoning District; and

WHEREAS, the Owner desires to add alternate design options to the previously approved architectural plans ("**Improvements**") as depicted on the architectural drawings that are attached hereto as **Group Exhibit B ("Plans")**; and

WHEREAS, the Owner submitted an application ("**Application**") to permit the construction of the Improvements and was required to present the new Plans to the Building Review Board ("**BRB**") for its evaluation and recommendation; and

WHEREAS, pursuant to notice duly published, the BRB reviewed and evaluated the Plans at a public hearing held on September 7, 2022; and

WHEREAS, the BRB, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify, made the following findings:

1. the Property is located within the TD, Traditional District under the City Code,
2. Owner proposes to construct the Improvements as depicted on the Revised Plans,
3. the evidence presented indicates that the construction of the Improvements, if undertaken in conformity with the recommended conditions and the Plans, will meet the design standards and requirements of Section 150.147 of the City Code,

and recommended that the City Council approve the Application and the Plans, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owner's Application to construct the Improvements on the Property, and the findings and recommendations of the BRB, have determined that it is in the best interests of the City and its residents to grant approval to the Application, subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 150.147 of the City Code, and subject to the limitations therein and the conditions set forth in Section Three of this Ordinance, the City Council does hereby grant approval of

the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Conditions on Approval. The approval granted pursuant to Section Two of this Ordinance shall be, and is hereby, conditioned upon and limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. Compliance with Laws. Chapters 150, regarding buildings and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. Tree Preservation. The Owner will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.
- D. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans.
- E. Fees and Costs. The Owner shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owners shall reimburse the City for all of its costs

(including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.

- F. Other conditions. The improvements shall be substantially in conformance with the Board's deliberations as reflected on **Exhibit C**, Notice of Action – Board Recommendation, attached hereto.

SECTION FOUR: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the discretion of the City Council, be of no force or effect if the Owner has not (i) executed and (ii) thereafter filed with the City Clerk, within 90 days following the passage of this Ordinance, the unconditional agreement and consent, in the form attached hereto as **Exhibit D** and by this reference made a part hereof, to accept and abide by each and all of the terms, conditions, and limitations set forth herein.

PASSED THIS __ DAY OF _____, 2022.

AYES: ()

NAYS: ()

ABSENT: ()

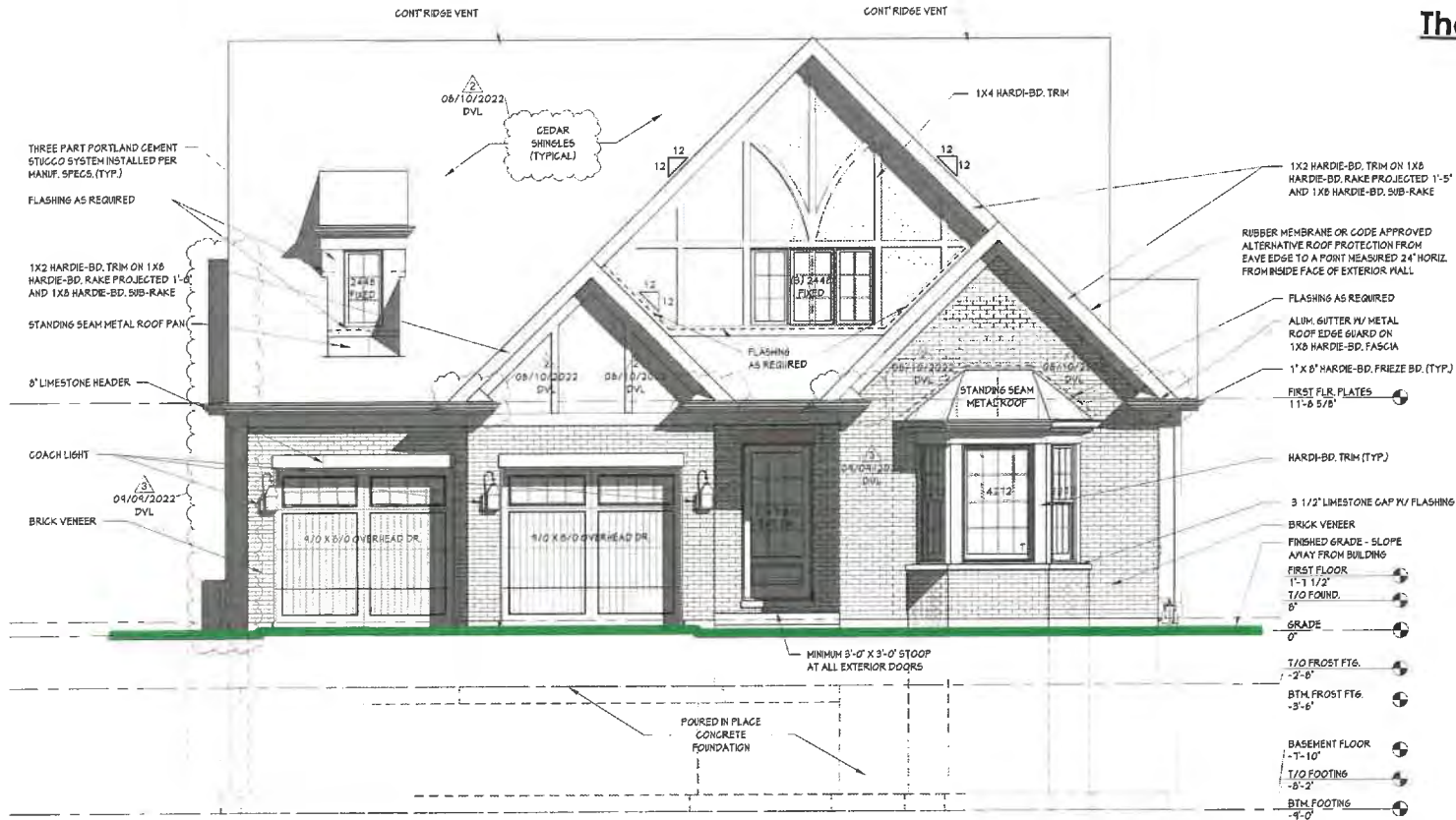
ABSTAIN: ()

PASSED THIS __ DAY OF _____, 2022.

Mayor

ATTEST: _____
City Clerk

The Plans



1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FRAMING NOTE:

ALL DIMENSIONS ARE TO ROUGH FRAMING. WALLS ARE DIMENSIONED AS PRECUT STUDS WITH SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE.

WINDOW NOTE:

ALL WINDOWS ARE ALUMINUM CLAD, MOOD MANUFACTURED BY "PELLA" LIFESTYLE OR EQUAL WITH A MAXIMUM GLAZING U-VALUE OF 0.30. WINDOW DESIGNATION IS UNIT SIZE IN INCHES. 24" X 12" IS A 24" X 12" UNIT. ALL EMERGENCY EGRESS WINDOWS IN SLEEPING ROOMS SHALL COMPLY WITH THE 2018 IRC, SECTION R310.1 AND ARE REQUIRED TO HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES. MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET WITH A MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES AND A MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES.

GLAZING NOTES:

ALL GLAZING IN HAZARDOUS LOCATIONS SHALL COMPLY WITH 2018 IRC, SECTION R308.4

FLASHING NOTES:

- ALL CONCRETE STOOPS AND STEPS BEING POURED TO AN ELEVATION HIGHER THAN THE TOP OF FOUNDATION AND AGAINST A CARPENTER BUILT MALL OR RIM JOIST MUST FIRST BE FLASHED WITH 26 GAUGE SHEET METAL FLASHING PROJECTING 3 INCHES MINIMUM ABOVE THE TOP OF THE FINISHED STOOP (AND UNDER THE THRESHOLD AT ANY DOOR UNIT) AND BENT AS REQUIRED TO EXTEND 3 INCHES MINIMUM BELOW THE TOP OF FOUNDATION. THE TOP OF FOUNDATION MUST BE 6" ABOVE FINISHED GRADE, SIDEWALKS, PATIOS, OR DRIVEWAY.
- THE WEATHER RESISTANT BARRIER (TYVEK OR EQUAL) COVERING THE MALL SHEATHING MUST LAP OVER THIS REQUIRED FLASHING.
- INSTALLATION OF ALL REQUIRED FLASHING MUST BE COMPLETED BEFORE THE START OF MASONRY VENEER WORK (IF ANY).
- THE PERFORMANCE AND LONGEVITY OF MASONRY WORK CAN BE DRASTICALLY AFFECTED IF STANDARD METHODS AND PROCEDURES OF FLASHING ARE NOT APPLIED TO PREVENT ENTRANCE OF WATER, INCLUDING BUT NOT LIMITED TO THE FOLLOWING KEY AREAS:
 - ABOVE WALL OPENINGS (OR WHEREVER A STEEL ANGLE EXISTS);
 - BELOW WALL OPENINGS (SUCH AS WINDOW/DOOR SILLS);
 - AT ROOF/WALL INTERSECTIONS WHERE THE MASONRY CONTINUES INSIDE THE STRUCTURE BELOW THE ROOF;
 - AT CHIMNEY GAPS OR MASONRY MANSCOTS;
 - AT THE TOP BASE OF A WALL.

- CHIMNEY FLASHING AT ROOF INTERSECTIONS TO BE EXTENDED THROUGH MASONRY A MINIMUM OF 4 INCHES AND LAPPED UP THE WALL UNDER THE WEATHER RESISTANT BARRIER (TYVEK OR EQUAL). MASONRY WALL FLASHING AT ROOF INTERSECTIONS TO BE EXTENDED THROUGH MASONRY A MINIMUM OF 4 INCHES AND LAPPED UP THE WALL UNDER THE WEATHER RESISTANT BARRIER (TYVEK OR EQUAL). FLASHING MEMBRANE TO BE PROPERLY LAPPED AND ADHERED TO THE BUILDING FRAME; FLASHING MEMBRANE TO BE EXTENDED BEYOND THE EXTERIOR FACE OF THE BUILDING; FLASHING WITH END DAMS AT ALL LINTELS AND SILLS; BASE LINTEL AND ROOF FLASHING TO BE LAPPED UNDER THE WEATHER RESISTANT BARRIER (TYVEK OR EQUAL); WEAPHOLES MUST BE PROVIDED NO LESS THAN 24" ON CENTER DIRECTLY ABOVE ALL MASONRY BASE, LINTELS, AND ROOF FLASHING TO BE KEPT OPEN.

2 WINDOW/DOOR SILL DETAIL

SCALE: NTS

3 TYP. FOUNDATION FLASHING

SCALE: NTS

5 TYP. WINDOW FLASHING

SCALE: 1/4" = 1'-0"

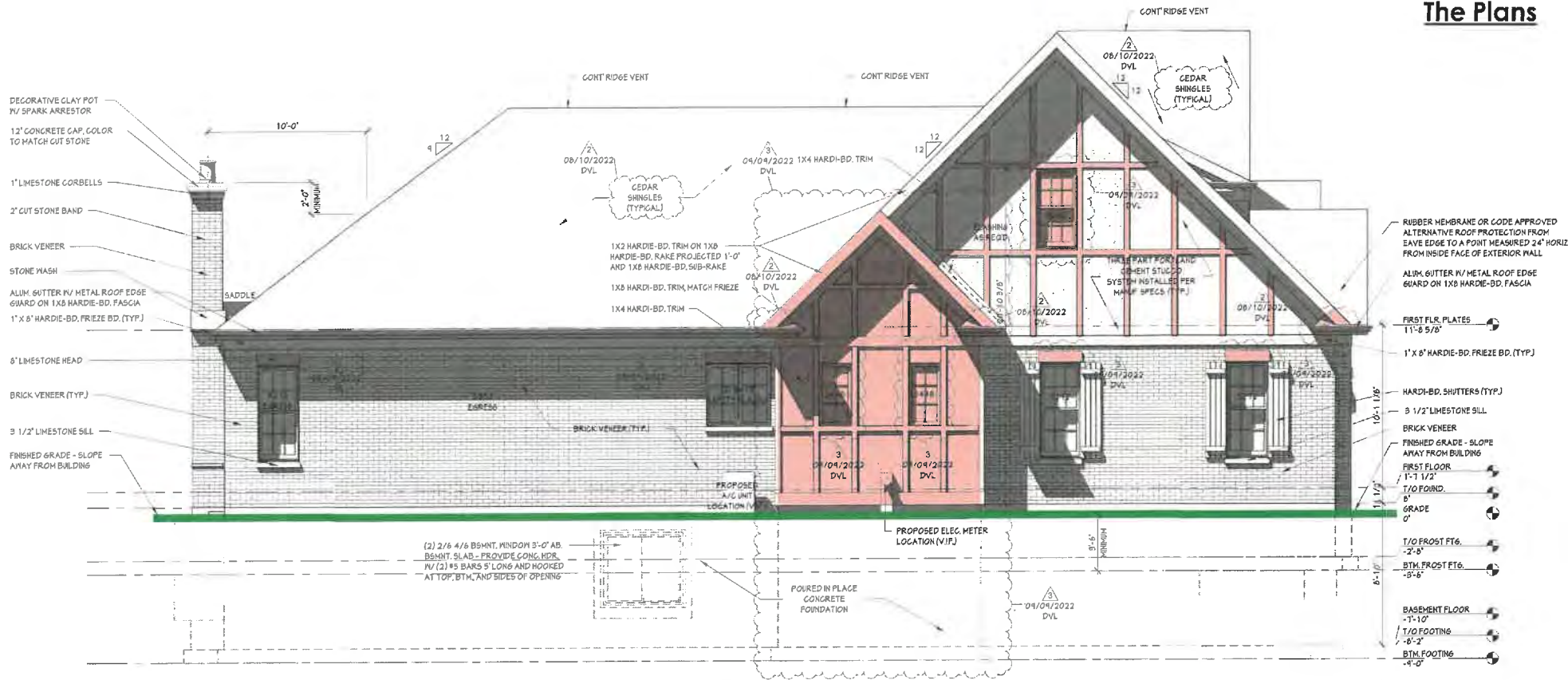
LINTEL SCHEDULE:

| CLEAR SPAN: | STEEL ANGLE: |
|---------------|--------------------|
| 4'-0" OR LESS | 2" X 3" X 3/8" |
| 5'-0" | 2 1/2" X 3" X 3/8" |
| 6'-0" | 2 1/2" X 3" X 1/2" |
| 7'-0" | 2 1/2" X 3" X 1/2" |
| 8'-0" | 2 1/2" X 3" X 1/2" |
| 9'-0" | 2 1/2" X 3" X 1/2" |
| 10'-0" | 2 1/2" X 3" X 1/2" |
| 11'-0" | 2 1/2" X 3" X 1/2" |
| 12'-0" | 2 1/2" X 3" X 1/2" |

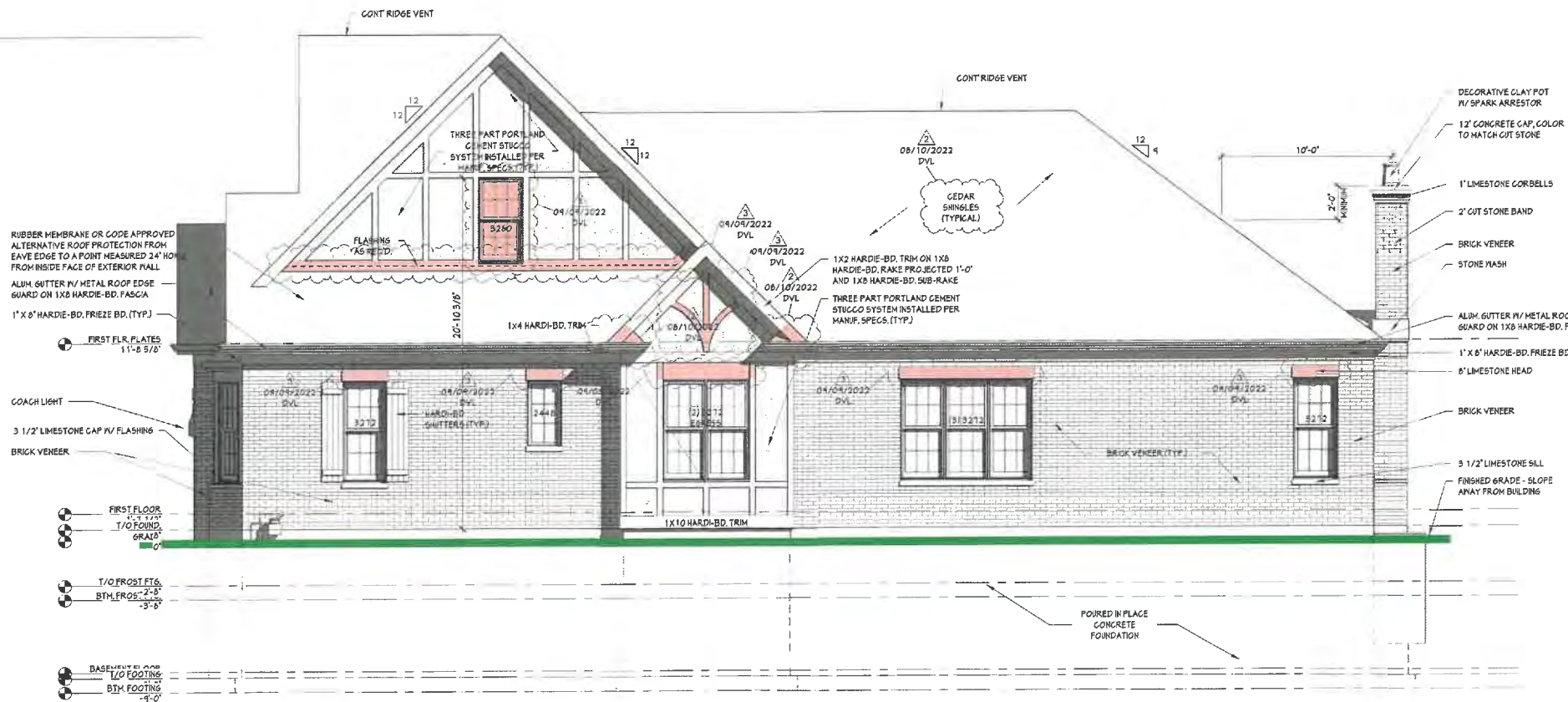
ALL MASONRY OVER OPENINGS SHALL BE SUPPORTED BY STEEL

GROUP EXHIBIT B

The Plans



1 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

| LINTEL SCHEDULE: | |
|------------------|-------------------------|
| CLEAR SPAN: | STEEL ANGLE: |
| 4'-0" OR LESS | 2 1/2" X 3 1/2" X 5/16" |
| 5'-0" | 2 1/2" X 3 1/2" X 5/16" |
| 6'-0" | 2 1/2" X 3 1/2" X 5/16" |
| 7'-0" | 2 1/2" X 3 1/2" X 5/16" |
| 8'-0" | 2 1/2" X 3 1/2" X 5/16" |
| 9'-0" | 2 1/2" X 3 1/2" X 5/16" |
| 10'-0" | 2 1/2" X 3 1/2" X 5/16" |
| 11'-0" | 2 1/2" X 3 1/2" X 5/16" |

ALL MASONRY OVER OPENINGS SHALL BE SUPPORTED BY STEEL

FRAMING NOTE:

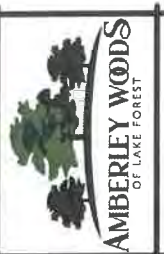
ALL DIMENSIONS ARE TO ROUGH FRAMING, WALLS ARE DIMENSIONED AS PRECUT STUDS WITH SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE.

WINDOW NOTE:

• ALL WINDOWS ARE ALUMINUM GLAD, MOOD MANUFACTURED BY 'TELLA' LIFESTYLE OR EQUAL WITH A MAXIMUM GLAZING U-VALUE OF 0.30
• WINDOW DESIGNATION IS UNIT SIZE IN INCHES, 2412 IS A 24" X 12" UNIT.
• ALL EMERGENCY EGRESS WINDOWS IN SLEEPING ROOMS SHALL COMPLY WITH THE 2018 IRC, SECTION R310.1 AND ARE REQUIRED TO HAVE A: SILL HEIGHT OF NOT MORE THAN 44 INCHES
MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET WITH A MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES AND A MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES

GLAZING NOTES:

ALL GLAZING IN HAZARDOUS LOCATIONS SHALL COMPLY WITH 2018 IRC, SECTION R308.4



DANIEL LESUS ARCHITECTS, P.C.
DESIGN + PLANNING + CONSULTING
1033 Holly Circle
Lake Zurich, IL 60047
P: 847.550.0972
F: 847.550.1075
darchitectspc.com

NEW RESIDENCE
1945 AMBERLY CT. (LOT 15)
LAKE FOREST, ILLINOIS 60045

DATE: JUNE 10, 2022
DRAWN BY: DVL
CHECKED BY: DVL
PERMIT: JULY 11, 2022
REVISION: AUG. 10, 2022
REVISION: SEPT. 04, 2022
REVISION:
PROJECT NO. 22848



SHEET:
A3.1
RIGHT & LEFT ELEV.

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E:\Projects\22848\1945 Amberley Court (Lot 15).rvt



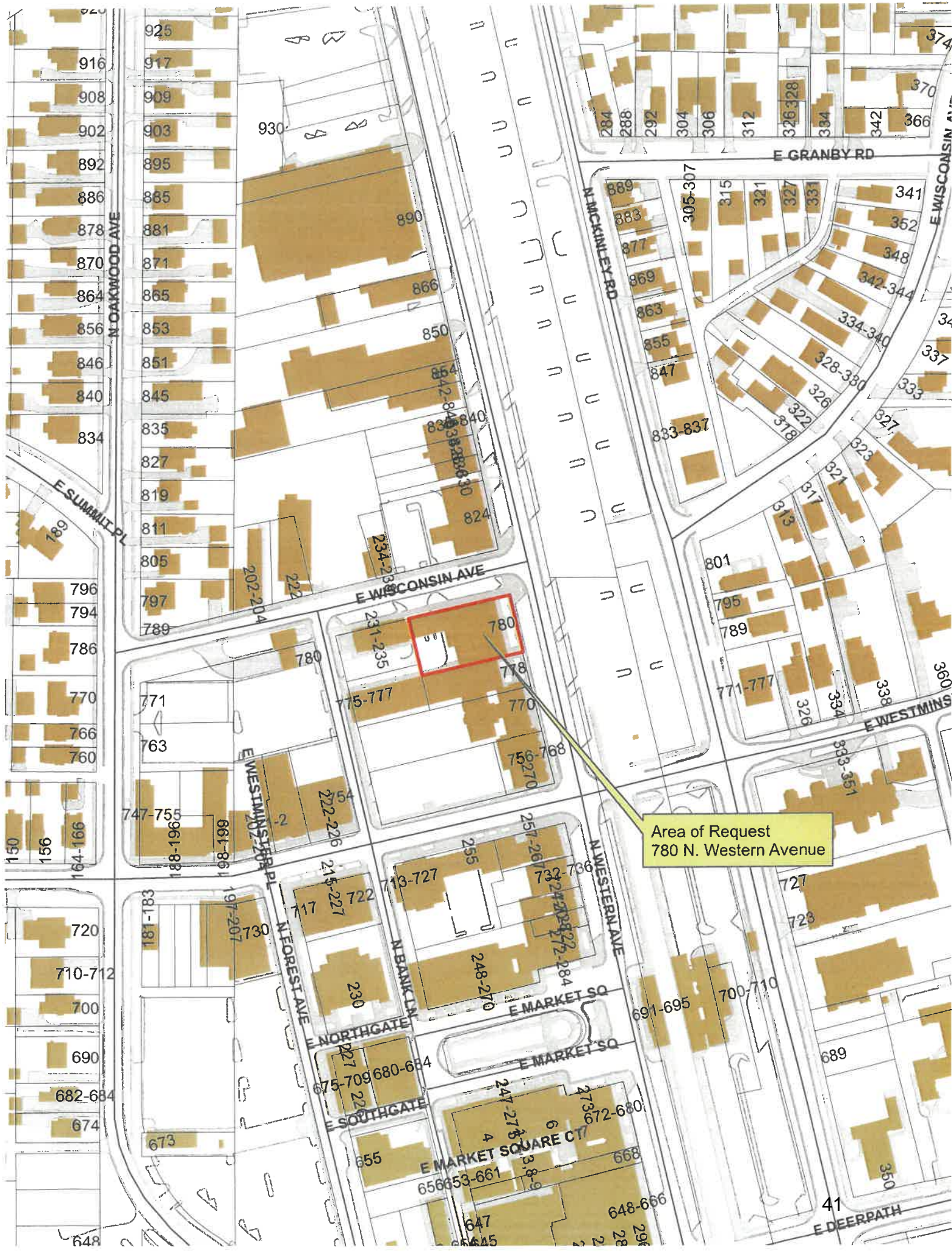
ALL DIMENSIONS ARE TO ROUGH FRAMING, WALLS ARE
DIMENSIONED AS PRECUT STUDS WITH SINGLE BOTTOM
PLATE AND DOUBLE TOP PLATE.

- ALL WINDOWS ARE ALUMINUM GLAD WOOD MANUFACTURED BY "PELLA" LIFESTYLE OR EQUAL WITH A MAXIMUM GLAZING U-VALUE OF 0.30
- WINDOW DESIGNATION IS 16 UNIT SIZE IN INCHES, 2412.5 IS 24" X 12" UNIT.
- ALL EMERGENCY EGRESS WINDOW SIZES IN SLEEPING ROOMS SHALL COMPLY WITH THE 2018 IRC, SECTION R310.1 AND ARE REQUIRED TO HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES
- MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET WITH A MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES AND A MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES

ALL GLAZING IN HAZARDOUS LOCATIONS SHALL
COMPLY WITH 2018 IRC, SECTION R308.4

2 ROOF PLAN
SCALE: 3/16" = 1'-0"

40



THE CITY OF LAKE FOREST

ORDINANCE NO. 2022- ____

AN ORDINANCE APPROVING AN UPDATED LIGHTING PLAN FOR BANK OF AMERICA

WHEREAS, the Swarthout Family, LLC ("**Owner**") is the owner of that certain real property on which Bank of America is the Ground Lease Holder ("**Petitioner**") commonly known as 780 N. Western Avenue, Lake Forest, Illinois and legally described in **Exhibit A**, attached hereto ("**Property**"); and

WHEREAS, the Property is located in the B-3, Traditional Business Zoning District; and

WHEREAS, the Petitioner desires to enhance the lighting on and around the Bank of America for security purposes ("**Improvements**") as depicted on the lighting plans and specifications attached hereto as **Exhibit B** ("**Plans**"); and

WHEREAS, the Petitioner, submitted an application ("**Application**") to permit the construction of the Improvements and was required to present the Plans to the Building Review Board ("**BRB**") for its evaluation and recommendation; and

WHEREAS, pursuant to notice duly published, the BRB reviewed and evaluated the Plans at public hearings held on July 6, 2022 and September 7, 2022; and

WHEREAS, the BRB, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify, made the following findings:

1. the Property is located within the B-3, Traditional Business District under the City Code,

2. the Petitioner proposes to construct the Improvements as depicted on the Plans,
3. the evidence presented indicates that the construction of the Improvements, if undertaken in conformity with the recommended conditions and the Plans, will meet the design standards and requirements of Section 150.147 of the City Code,

and recommended that the City Council approve the Application and the Plans, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered the Petitioner's Application to construct the Improvements on the Property, and the findings and recommendations of the BRB, have determined that it is in the best interests of the City and its residents to grant approval to the Application, subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 150.147 of the City Code, and subject to the limitations therein and the conditions set forth in Section Three of this Ordinance, the City Council does hereby grant approval of the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Conditions on Approval. The approval granted pursuant to Section Two of this Ordinance shall be, and is hereby, conditioned upon and

limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. Compliance with Laws. Chapters 150, regarding buildings and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans.
- D. Fees and Costs. The Petitioner shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Petitioner shall reimburse the City for all of its costs (including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.

- E. Other conditions. The improvements shall be substantially in conformance with the Board's deliberations as reflected on **Exhibit C**, Notice of Action, attached hereto.

SECTION FOUR: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the discretion of the City Council, be of no force or effect if Petitioner has not (i) executed and (ii) thereafter filed with the City Clerk, within 60 days following the passage of this Ordinance, the unconditional agreement and consent, in the form attached hereto as **Exhibit D** and by this reference made a part hereof, to accept and abide by each and all of the terms, conditions, and limitations set forth herein.

PASSED THIS __ DAY OF _____, 2022.

AYES: ()

NAYS: ()

ABSENT: ()

ABSTAIN: ()

PASSED THIS __ DAY OF _____, 2022.

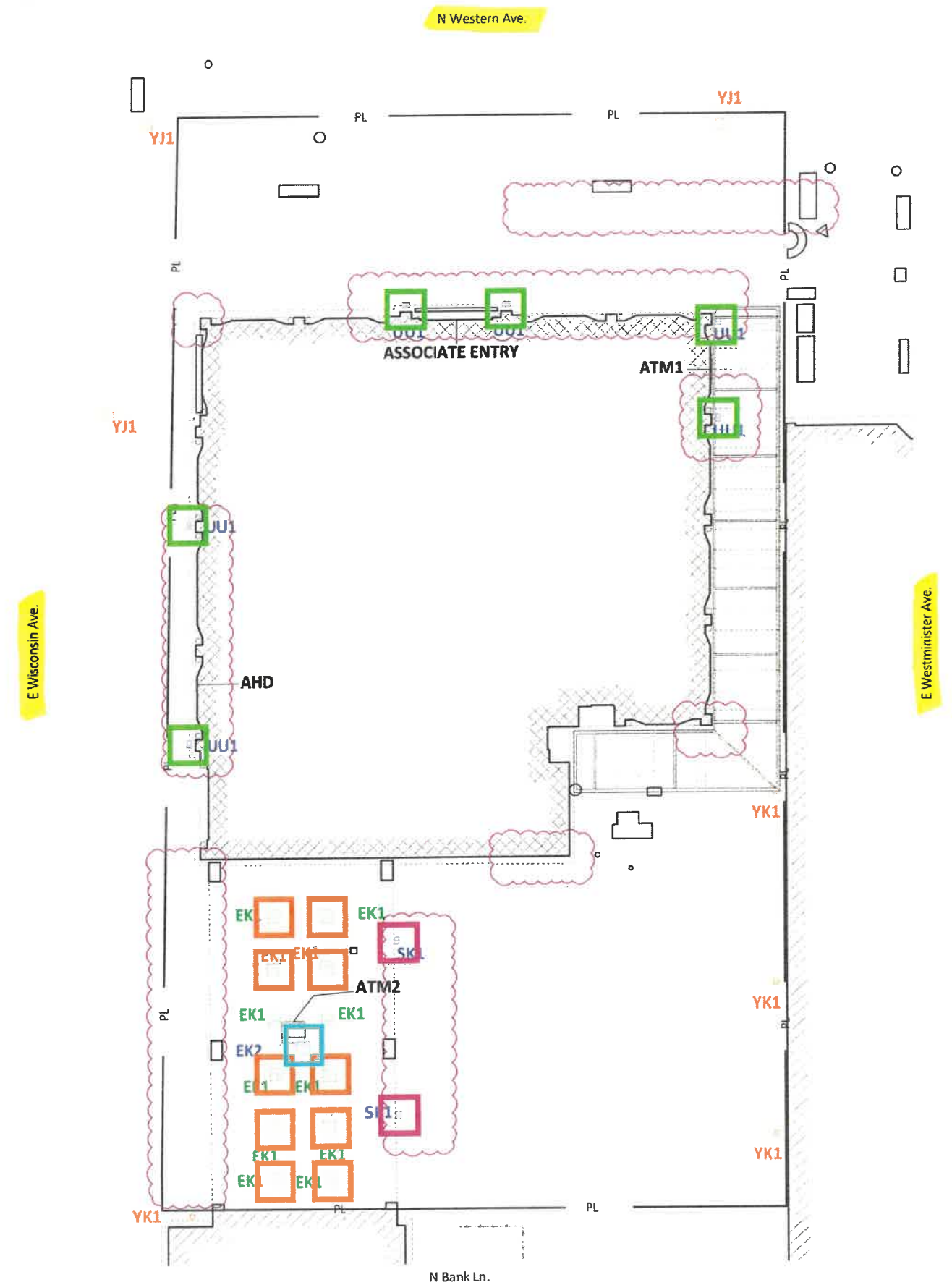
Mayor

ATTEST:

City Clerk

The Plans

- NEW BUILDING LIGHT FIXTURE - TYPE UU1
- NEW BUILDING LIGHT FIXTURE - TYPE SK1
- NEW DRIVE-THRU RECESSED LIGHT FIXTURE
- REPLACEMENT DRIVE-THRU RECESSED LIGHT FIXTURE



The Plans

☐ NEW BUILDING LIGHT FIXTURE - UU1



The Plans

 NEW BUILDING LIGHT FIXTURE - UU1



The Plans

- NEW BUILDING LIGHT FIXTURE - UU1
- NEW BUILDING LIGHT FIXTURE - SK1

