Agenda Item 3 1175 Old Colony

Continued consideration of a new residence and preliminary landscape plan on a vacant lot.

Staff Report Vicinity Map Air Photos

Materials Submitted by Petitioner
Application
Description of Materials
Statement of Intent
Survey
Site Plan
Conceptual Rendering - Proposed
Elevations - Proposed
Roof - Proposed
Sections - Proposed
Floor Plans - Proposed
Preliminary Landscape Plan
Tree Survey
Representation of Materials

<u>Materials from May 1st</u> Site Plan Floor Plans

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1175 Old Colony Road

Continued consideration of a new residence on a vacant lot and a conceptual landscape plan.

Property Owner: Mary Milligan Funk
Presented by: Mary Milligan Funk

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of a new two-story residence on a vacant lot and the initial landscape concepts.

Description of Property

This property is located on the east side of Old Colony Road, just north of Old Elm Road and the Prairie Wolf Forest Preserve. It falls within the Lake Forest Heights Subdivision, platted in 1924. The 15,000 square foot lot is rectangular in shape.

Activity Since the Last Meeting

City staff met with the petitioner as a follow up to the May meeting to review the comments, questions, and suggestions that were offered by the members of the Board. The Board's comments and direction are summarized below.

- > The driveway shall not exceed 16 feet in width in the front yard setback.
- > Provide samples of proposed exterior materials.
- > Provide further detail of the materials and architectural elements on all elevations.
- > Show dimensions on the plans.
- Use a single material for gutters and downspouts.
- ➤ Conduct further study and refine the north, south, and east elevations as it relates to balancing the relationship of solids and voids.
 - o Consider the addition of windows, dormers, and shutters to break up large expanses of unbroken walls.
- Further detail the floor plan and assure consistency between the floor plan and the exterior of the home. Provide details of the intended attic space.
- Illustrate areas of hardscape on the site plan.
- Provide a detailed landscape plan.
- > Provide details on the intended chimney cap.

Refined plans and additional information were submitted by the petitioner and are included in the Board's packet along with the site plan and elevations

presented to the Board in May. The petitioner's statement details the various changes made.

<u>Staff Review of Standards – Evaluation, Comments, and Recommendations</u> Standards in General

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan - This standard is met.

The proposed site plan demonstrates adjustments to the driveway and hardscape plan. Previously proposed at 24 feet in width, the driveway is now 16 feet in width the front yard setback, conforming with the zoning code. A hardscape pathway connects the driveway to the front entrance and proposed as a combination of gravel and stone or brick. Similar materials are proposed for the rear yard patio, south of the screened porch. Changes are highlighted in the packet.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 3,400 square feet is permitted on the site with an allowance of 576 square feet for a garage and 340 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 2,576 square feet.
- The proposed garage totals 609 square feet, 33 square feet over the maximum garage exemption. The overage must be added to the square footage of the house.
- In addition to the above square footage, a total of 454 square feet of design elements are incorporated into the design of the house including the rear screen porch. This totals 114 square feet above the maximum design element exemption. The overage must be added to the square footage of the house.

In conclusion, the proposed residence totals 2,723 square feet, 677 square feet or 20 percent below the maximum allowable square footage for this property.

At its tallest peak, the residence as measured from the lowest point of existing grade is 26 feet and four inches. The maximum height allowed for a residence

on this size lot is 30 feet as measured from the lowest point of existing grade to the tallest roof peak.

Elevations – This standard is met.

In response to Board direction, each elevation was further detailed. A chimney cap was added and the gutter material was changed from copper on the front façade and aluminum on all other sides to aluminum on all four sides. The balance of solids and voids was refined on the north, south, and east elevations. The north elevation improved with the addition of garage windows and shutters. Shutters were also added to windows on the south elevation. On the south elevation, a door replaced a foyer window and the window at the top of the staircase was enlarged. Windows on the right side of the elevation are now grouped together. On the east elevation, a dormer was added above the rear garage door. Overall, the elevations have benefited from the changes and the changes respond to the Board's direction. Changes are highlighted in the packet.

Type, color, and texture of materials – This standard is met.

Light green doors and shutters are proposed on the soft white cement stucco exterior walls. The doors are trimmed with buff limestone. The chimney is proposed as stucco to match the exterior walls. Consideration of a masonry chimney is encouraged to add character and distinction to the home. The casement wood windows with aluminum cladding and interior and exterior munitns are detailed with buff limestone sills. Aluminum gutters and downspouts are proposed on all elevations in response to Board direction. The driveway material is noted as either asphalt, concrete, or gravel with crushed stone being a "first choice". Additional information will be required at the time of permit to clarify the base proposed for the driveway. The front walk connecting the driveway to the front entrance is noted as brick or bluestone or gravel and the rear patio is material is noted as a combination of gravel and stone or brick.

Staff Recommendation: Materials shall be clearly detailed on the plans submitted for permit and will be subject to staff review for compliance with the materials as represented to and approved by the Board.

Staff Recommendation: Consideration shall be given to a masonry chimney to add character and distinction to the home.

Landscaping - This standard can be met.

The petitioner's conceptual landscape plan and statement of intent demonstrate how landscaping criteria will be met. A fully detailed tree survey, tree removal plan, and landscape plan will be required at the time of submittal for permit. The landscape plan must provide details on the proposed species, location, and size at the time of planting, and any replacement tree inches that are required. A grading and drainage plan has not yet been submitted for this

project and it is anticipated that additional trees on the site may be impacted by grading, drainage and construction activity. The tree survey, landscape plan, and grading and drainage plan will be evaluated by City staff to determine the required number of replacement tree inches and for compliance with the Code's minimum landscape requirements for new homes. Any proposed hardscape should be reflected on the landscape plan or on a separate hardscaping plan.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this request.

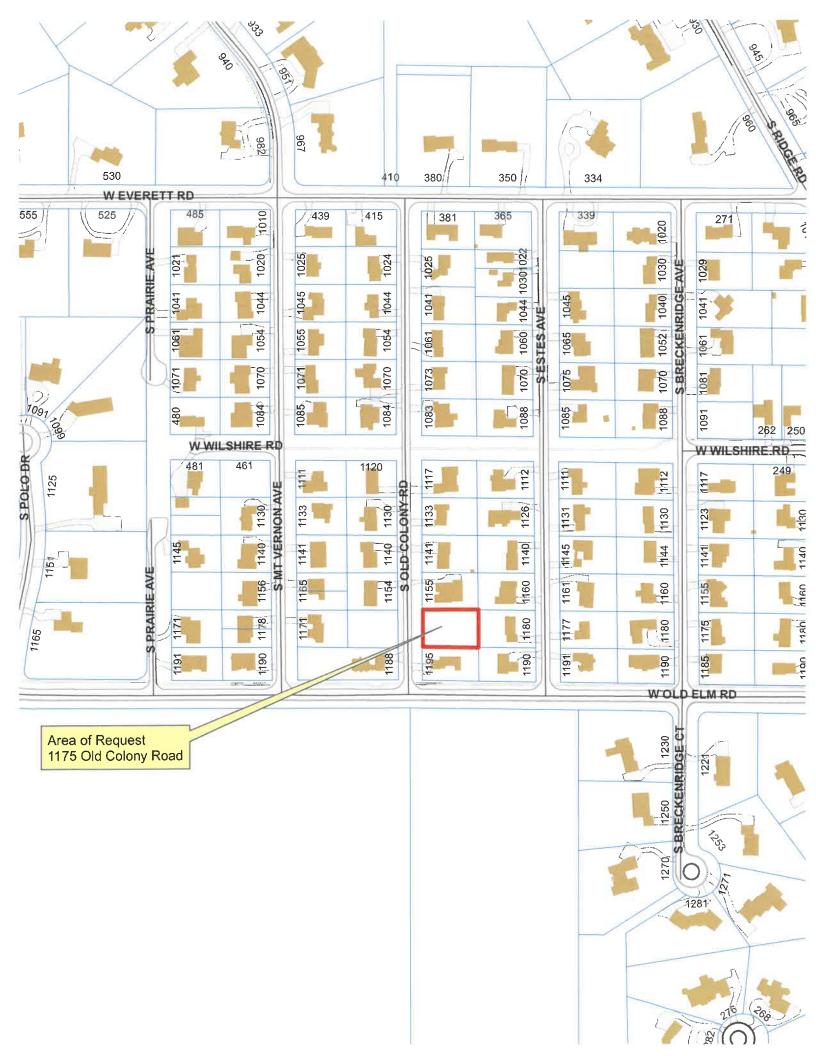
Recommendation

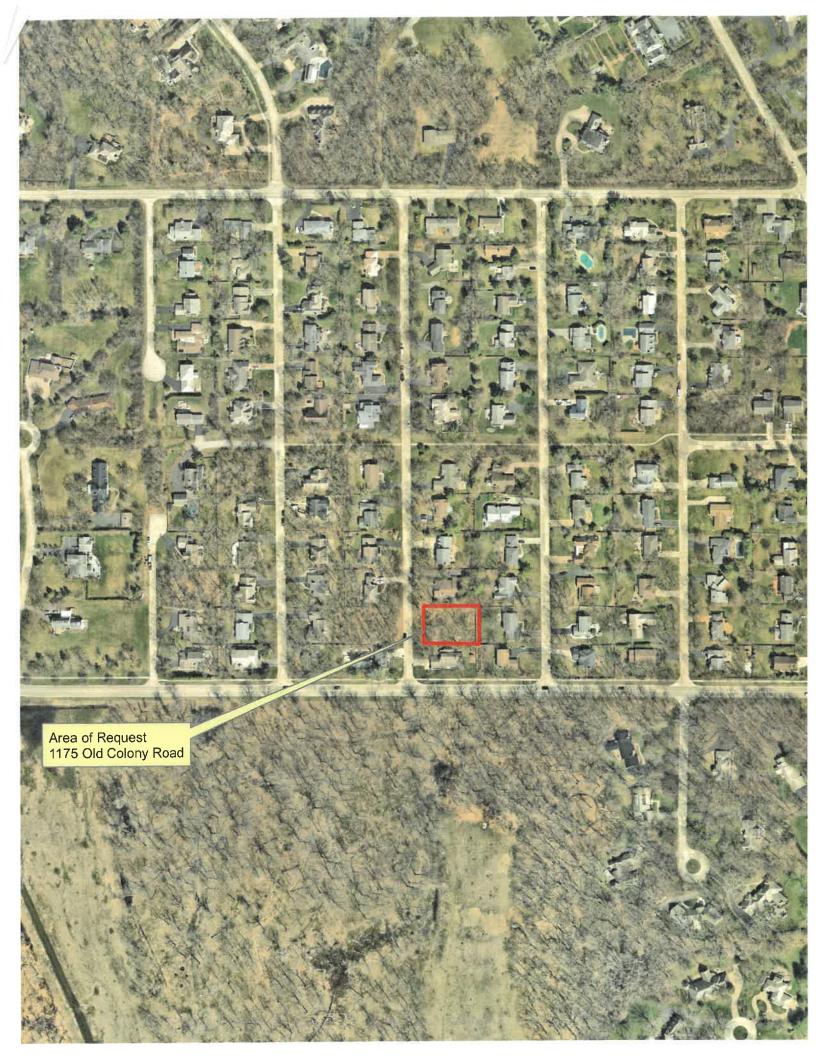
Recommend approval of the residence and attached garage based on the findings presented in this staff report which are adopted by the Board and incorporating the Board's deliberations as additional findings subject to the following conditions of approval.

Conditions of Approval

- 1. Materials shall be clearly detailed on the plans submitted for permit and will be subject to staff review for compliance with the materials as represented to and approved by the Board.
- 2. Consideration shall be given to a masonry chimney to add character and distinction to the home.
- 3. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
- 4. Prior to the issuance of a building permit, a detailed tree survey must be submitted to the City for review. Tree species, condition, and size must be provided. City staff will review the existing trees in the context of the drainage and grading plan and determine the required replacement tree inches.

- 5. Prior to the issuance of a building permit, a detailed landscape and hardscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscape standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. Any inches not able to be accommodated on the site shall be compensated through a payment in lieu of on site planting and will be used to plant parkway trees in the general area of the property. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.
- 6. Tree Protection Plan Prior to the issuance of a building permit, a plan to protect the parkway trees and all other trees that may be impacted during construction must be submitted and will be subject to review and approval by the City.
- 7. At the time of submittal for a building permit, detailed drainage and grading plans must be submitted. No grading or filling shall be permitted except the absolute minimum necessary to meet accepted engineering standards and practices.
- 8. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
- 9. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.









THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1175 Old	Colony	Rd.			
APPLICATION TYPE					
RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS			
New Residence Demolition C New Accessory Building Demolition I Addition/Alteration Height Varia Building Scale Variance Other	Partial	New Building Addition/Alteration Height Variance Other	☐ Landscape/Parking ☐ Lighting ☐ Signage or Awnings ☐		
PROPERTY OWNER INFORMATION	A	RCHITECT/BUILD	er Information		
Man Milligan Funk	Name q	Dary Mill nd Title of Person Present	gan Funk		
Owner's Street Address (may be different from project addres.	s) Rame of	Storative to	kmes, Inc		
City, State and Zip Code		59 India.	TI		
\$47-269-7897 Phone Number Fax Number	SA City, Sta	te and Zip Code	rings, Co 8648		
Mary restorative homes of	gmail <u>em</u> Phone N	847-2	269-789 7 Fax Number		
may brust	ur		ative homes e		
Owner's Signature	Represen	tative's Signature (Archite	ct/ Builder)		
The staff report is available the	e Friday before	the meeting, after	3:00pm.		
Please email a copy of the staff report	OWNER	T REPRESENTATE	VE		
Please fax a copy of the staff report	OWNER	☐ REPRESENTATION	VE		
I will pick up a copy of the staff report at	□ OWNER	☐ REPRESENTATIV	VE.		



THE CITY OF LAKE FOREST **BUILDING REVIEW BOARD APPLICATION** DESCRIPTION OF EXTERIOR MATERIALS (The use of natural materials is strongly encouraged)

	Material Stone		Aluminum Siding
Min S	Brick		Vinyl Siding
	Wood Clapboard Siding		Synthetic Stucco
5	Stucco		Other
	☐ Wood Shingle		
	ndividual or Panels?		
	color of Material Soft White		
	Treatment		
Sec. F	rimary Window Type	Finis	h and Color of Windows
	Double Hung	L'	Wood (recommended)
فر	Casement	X	Aluminum Clad
L	Sliding	H	Vinyl Clad
L	Other	П	Other
s S	True Divided Lites imulated Divided Lites Interior and Exterior muntin bars (recommended) Interior muntin bars only Exterior muntin bars only		
rim Ma	Muntin bars contained between the glass		
Do	or Trim	Wind	dow Trim
П	Limestone	X	Limestone Sills
H	Brick		Brick
×	Wood		Wood
	Other_		Other
Fas	cias, Soffits, Rakeboards		
X	Wood		
	Other		

THE CITY OF LAKE FOREST HISTORIC PRESERVATION COMMISSION APPLICATION DESCRIPTION OF EXTERIOR MATERIALS — CONTINUED

Chimney Material		Foundation Material					
		Brick Stone Stucco Other			Brick Stone Stucco Other		
Roof	ing				A TOTAL STATE OF THE PARTY OF T		
	Prima	ry Roof Material		Flashing N	faterial statement of the statement of t		
		Wood Shingles Wood Shakes Slate Clay Tile Composition Shingles		□ kd □ □ Skylights	Copper Sheet Metal Other		
		Sheet Metal 12' Standing Se Other	0.00	X	Proposed Existing None		
Gutte	ers and	Downspouts					
		Copper Aluminum Other					
Driveway Material							
3rl 2nl	Y XX	Poured Concrete		and be	asphelter concrete.		
1st	A	Crushed Stone 1s+ Chace. Other	_	may be			
Terraces and Patios							
	MADON	Bluestone Brick Pavers Concrete Pavers Poured Concrete	200	m b in atom	of grovel + stone or brick		

Letter of Intent 1175 S Old Colony Rd 6/5/24

Proposed Design

The proposed design is a 2-story home on a 1/3-acre vacant lot at 1175 S Old Colony Rd, which is designed using Building Biology principles. This is a form of healthy building and focuses on how the built environment affects the health of the occupant.

Sitting on a slab foundation and housing all mechanicals in a sealed room off the garage, this house will be built using 10" thick, mass wall construction with a Lime plaster (stucco) overlay on the exterior and a smooth plaster overlay on the interior. The thickness of the walls and type of construction allows for recession of the windows and doors which creates both depth and richness to the façade. The roof is 12" standing seam metal in an aged zinc color. Windows have clad exteriors and wood interiors with simulated divided lights and limestone sills. All shutters, doors and trim are painted wood. Gutters will be aluminum with scuppers on the front façade. Exterior light fixtures are Bevolo brand, gas.

As a recap:

The proposed bulk is 2722 sq feet (3400 allowed) The proposed height is 26'6" (30' allowed) No setback variance is requested

Plan details

You requested additional detail on all elevations including the chimney cap and removal of the rogue window in the upper bedroom floor plan.

<u>I responded</u> by adding detail to each elevation and chimney and removing the window as illustrated in the packet.

West elevation (Front)

You requested gutter material be consistent on all sides

I responded by changing all gutters to seamless aluminum

North elevation (Left side)

You requested I address solids and voids

<u>I responded</u> by adding a window to the garage and shutters on the attic and garage windows

East elevation

You requested I relook at the east side of the garage area

I responded by adding another dormer to the attic centered over the rear garage door.

Letter of Intent 1175 S Old Colony Rd 6/5/24

South elevation

You requested I relook at the solids and voids.

<u>I responded</u> by enlarging the window in the staircase; replacing the window in the foyer with a door; grouping the three windows on the far-right side and adding a shutter to the upper bedroom window.

I also investigated adding windows to the southwest bedroom, as discussed, however I determined the following:

- 1) The addition of a dormer in this area negatively impacts the front gable elevation and therefore the overall design of the house.
- 2) The south side of this area is largely blocked by the garden wall
- 3) The simplicity of this side is in keeping with a European country house

Attic

You requested further detail of the interior attic space

I responded by having this detailed as illustrated.

Site-plan & Landscape plan

You requested the driveway shown at 16' from the setback line forward, all hardscapes shown, and more detail and explanation on the landscape plan.

<u>I responded</u> by ensuring the width of the driveway does not exceed 16' past the setback. I have also added more detail and clarity to this portion of the plan for you.

Due to the amount of natural vegetation on this lot and our desire to save as many trees as possible; we are working with the City Forester, Bartlett Tree and a foundation engineer to make this happen. The remaining landscaping will be determined by the outcomes of our success and will be completed with city staff's approval at a later date. The front yard plantings that are currently shown exceed the requirements from the city.

The plants include:

- 4 Multi-stem Redbuds
- 7 6' Evergreens
- 1 Weeping Crab
- 7 Boxwood
- 6 Rhododendron

Letter of Intent 1175 S Old Colony Rd 6/5/24

Materials

You requested material samples and details in addition to the pictures presented.

<u>I responded</u> with additional pictures, attached and I will bring additional samples to the meeting.

Material recap

Soft white smooth stucco

Metal roof in weathered zinc finish

Simulated divided light windows

Limestone sills

Wooden front door, painted dark gray

Correctly sized, soft green, wooden shutters with hinges and shutter dogs

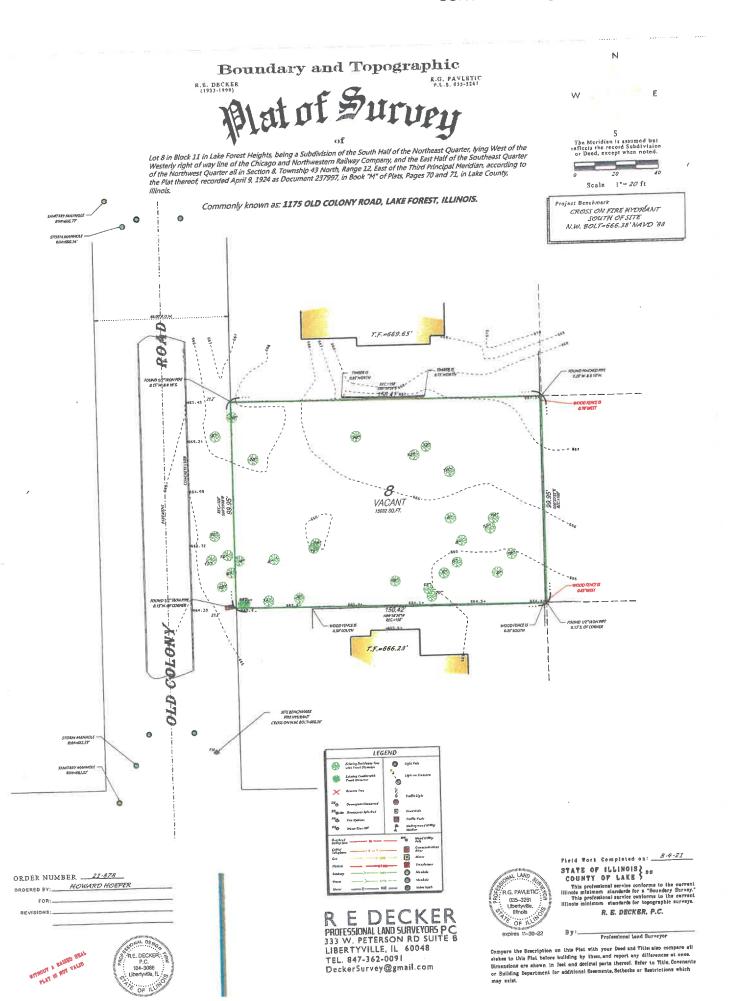
Painted garage doors and garden door, soft green – design as shown on plans

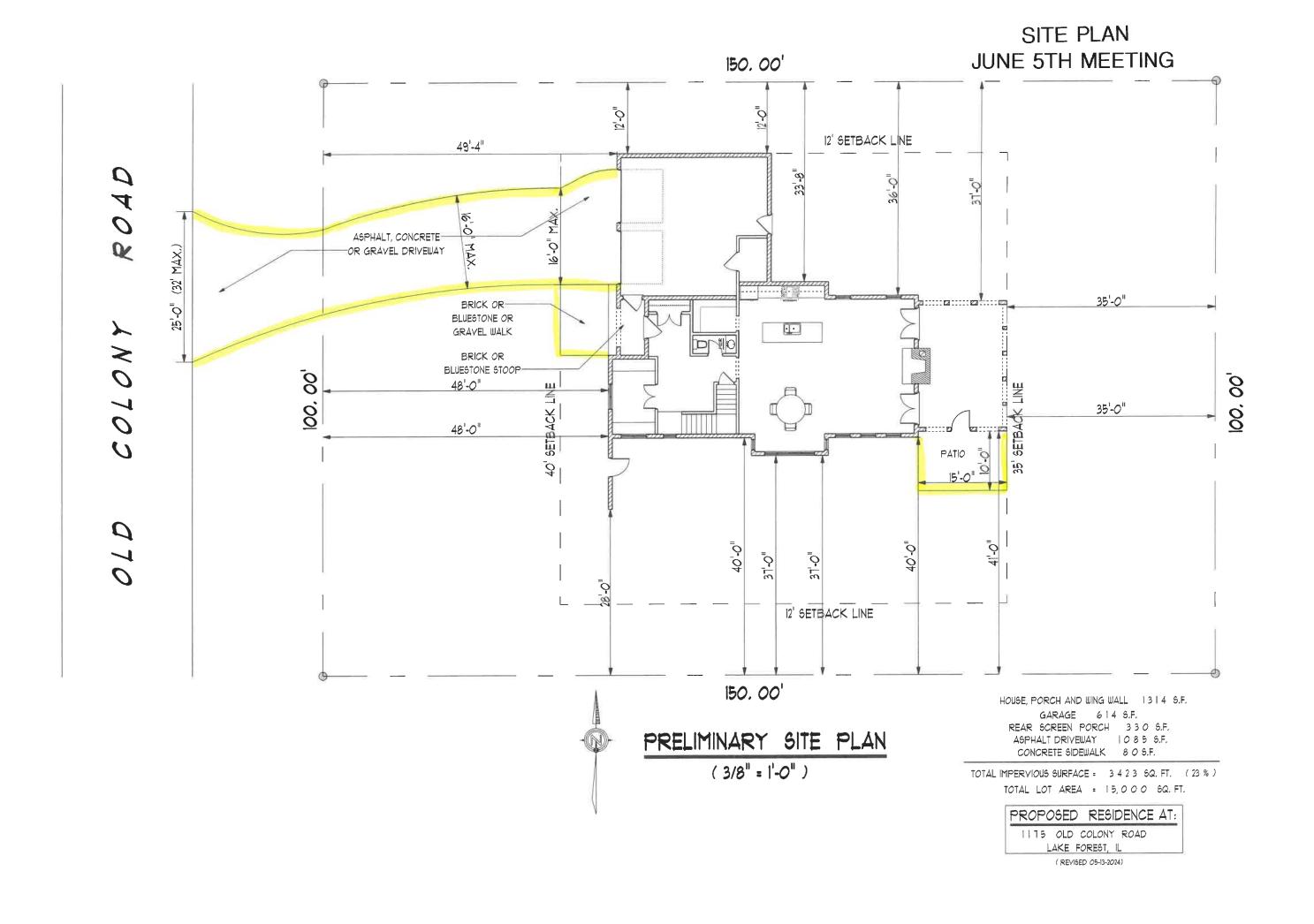
Aluminum gutters with scuppers as shown on the plan

Driveway – Gravel with brick apron OR asphalt OR concrete

Patios - Gravel OR brick OR bluestone

Front Stoop – Brick or Bluestone



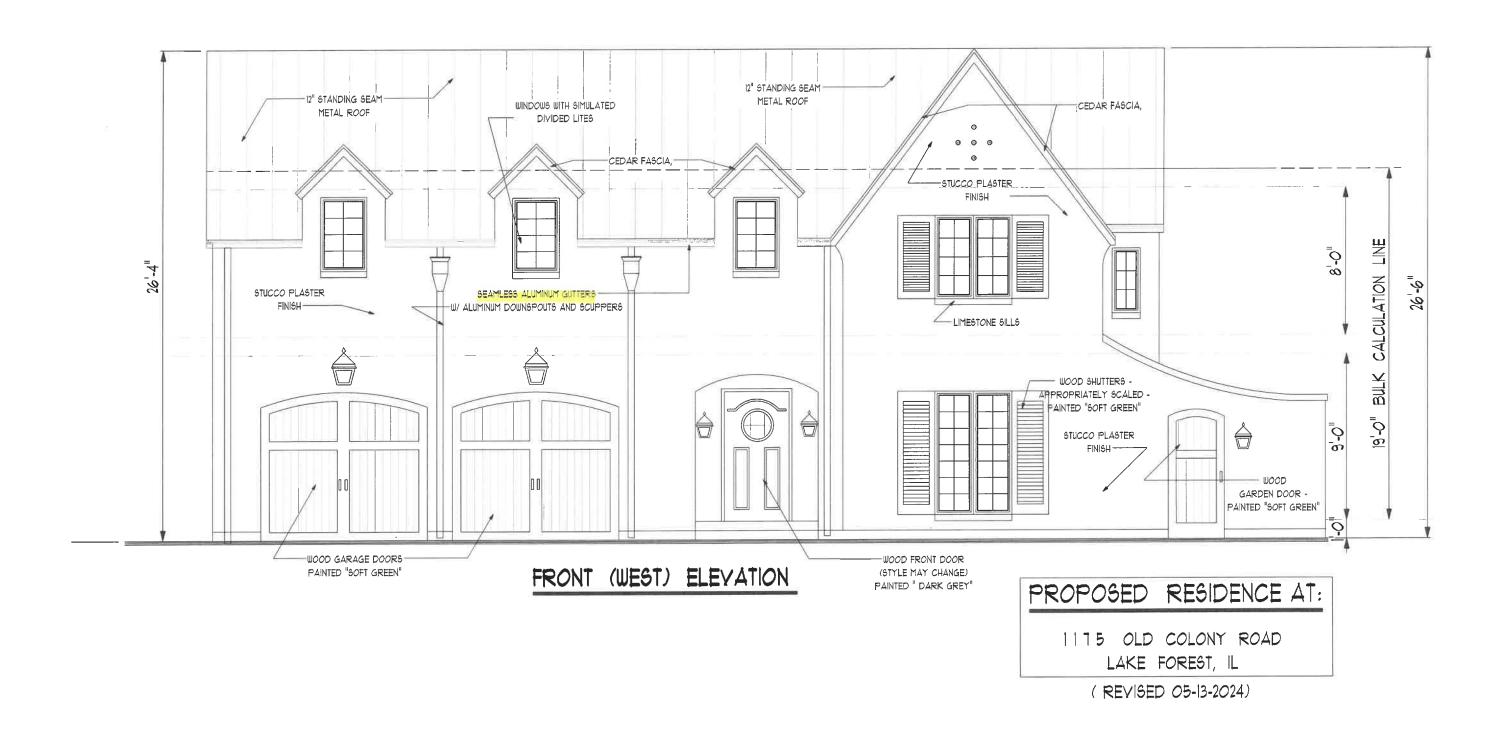


CONCEPTUAL RENDERING

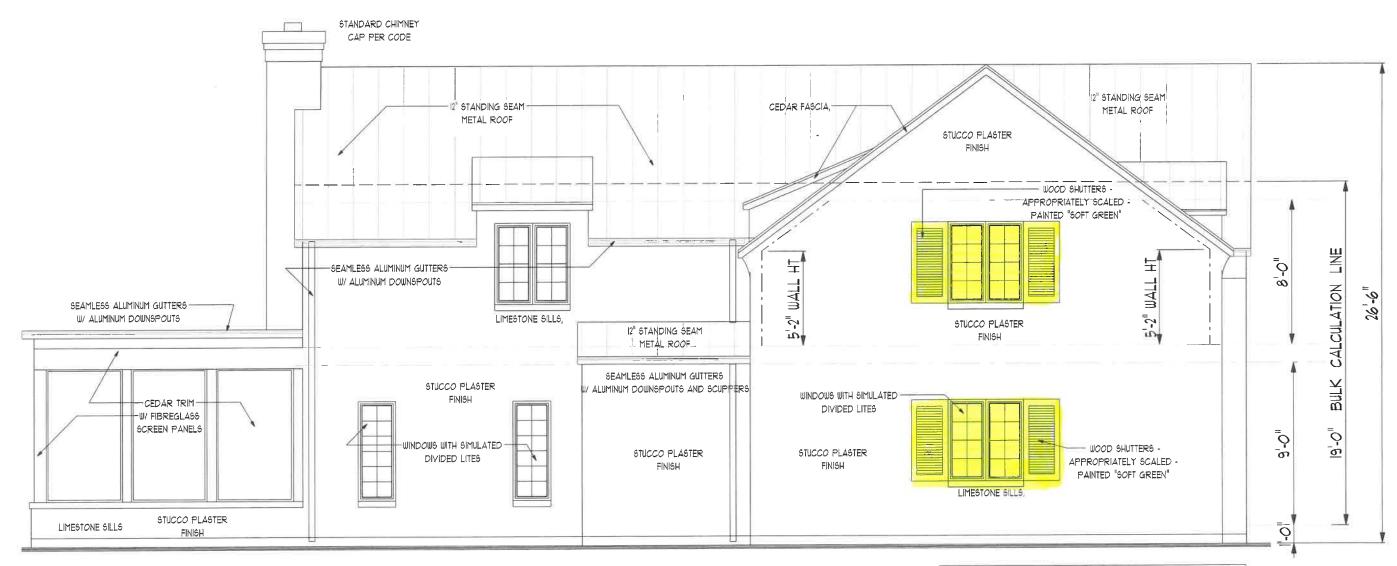


FRONT (WEST) ELEVATION

PROPOSED WEST ELEVATION JUNE 5TH MEETING



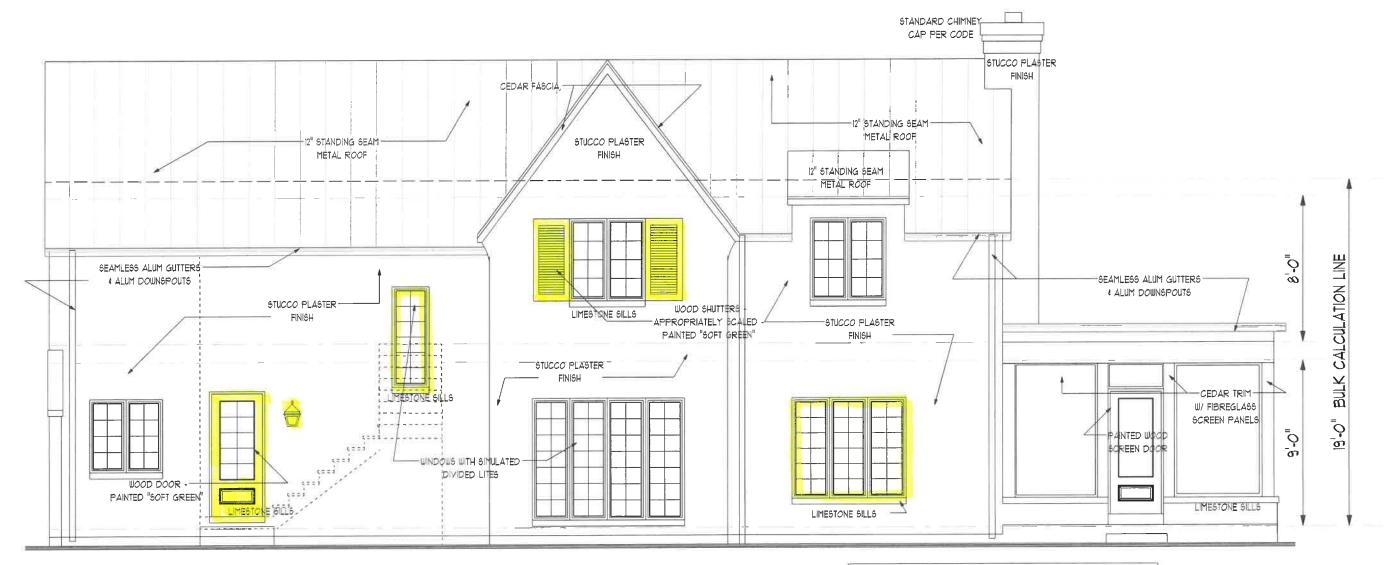
PROPOSED NORTH ELEVATION (SIDE) JUNE 5TH MEETING



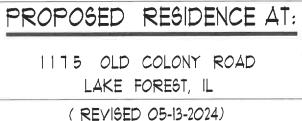
LEFT (NORTH) ELEVATION



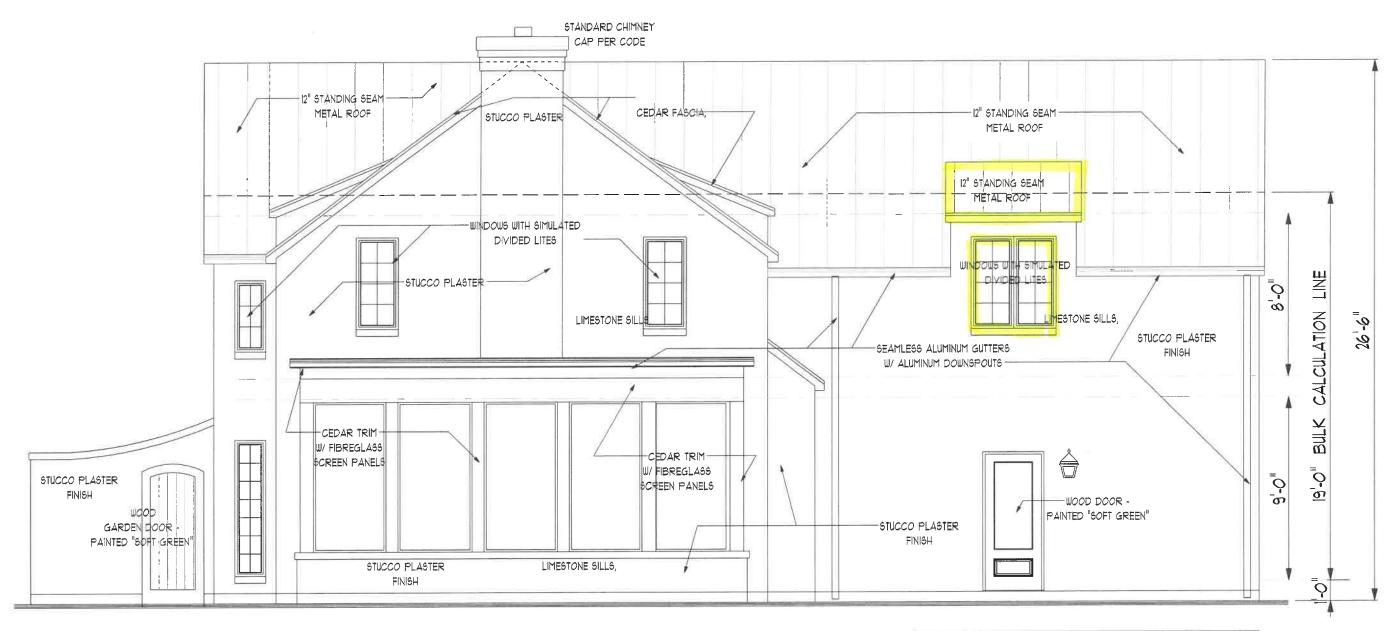
PROPOSED SOUTH ELEVATION (SIDE) JUNE 5TH MEETING



RIGHT (SOUTH) ELEVATION



PROPOSED EAST ELEVATION JUNE 5TH MEETING



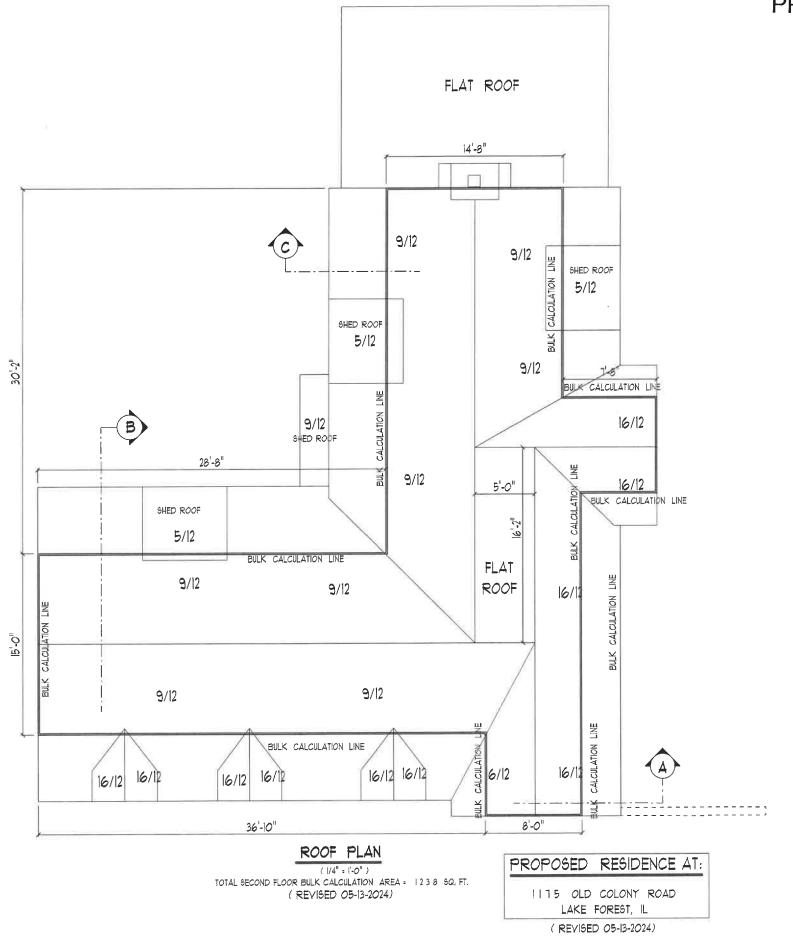
BACK (EAST) ELEVATION

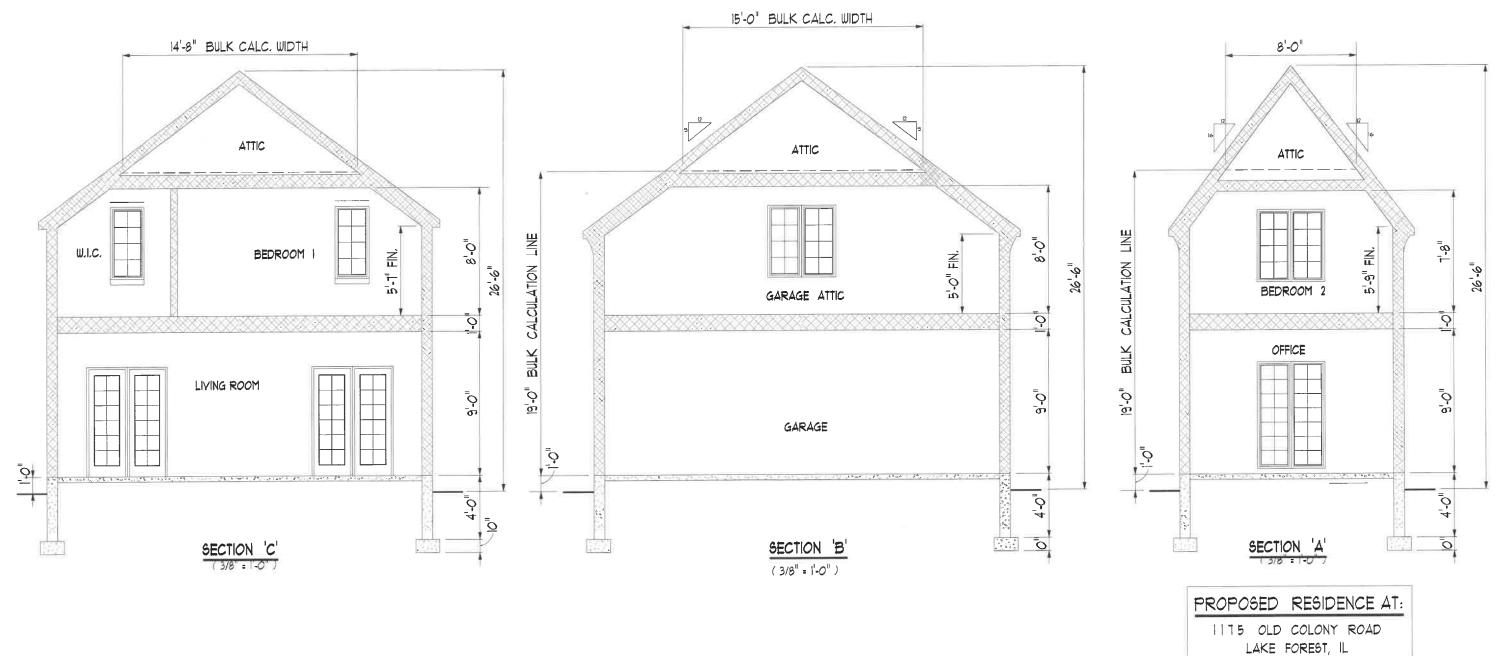


1115 OLD COLONY ROAD LAKE FOREST, IL

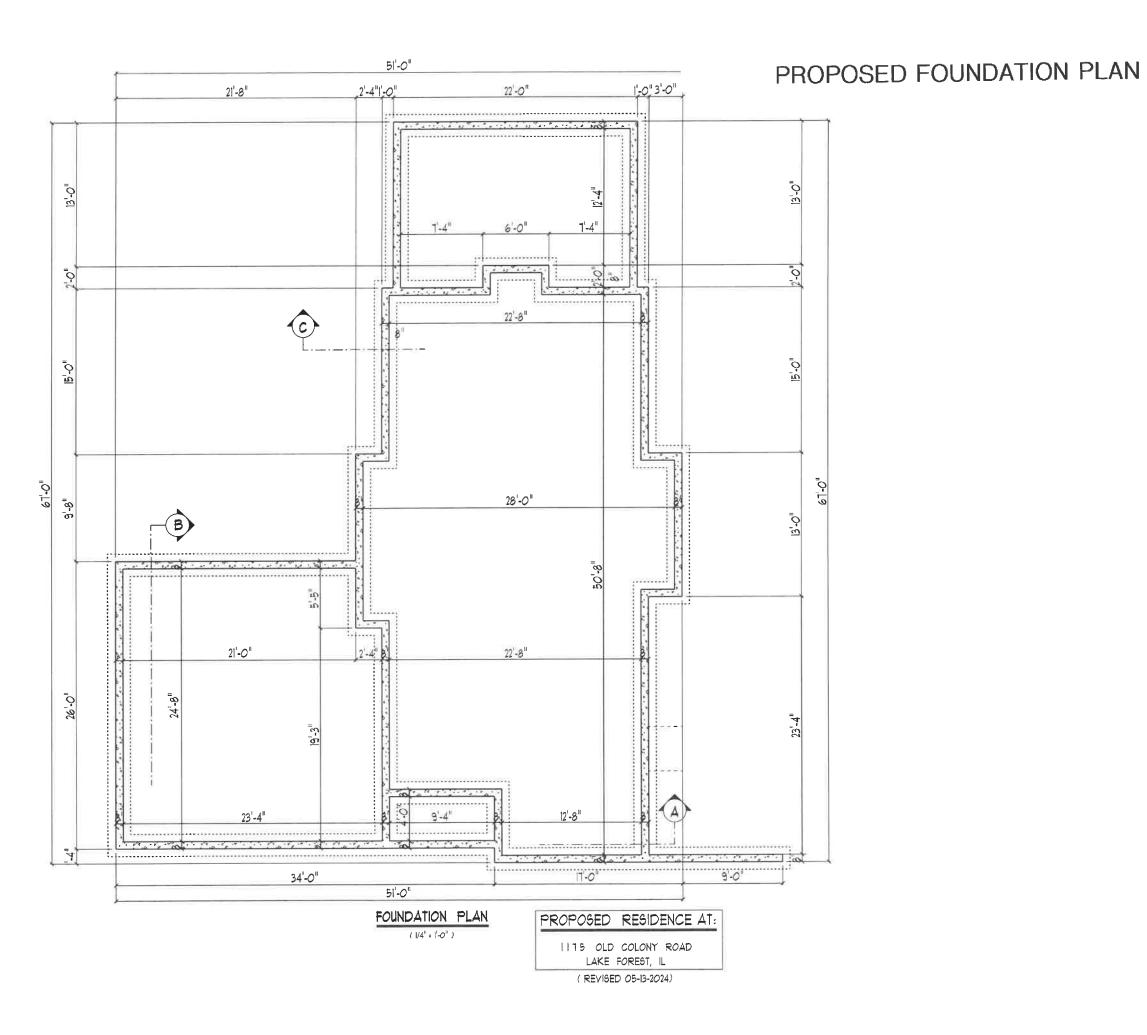
(REVISED 05-13-2024)

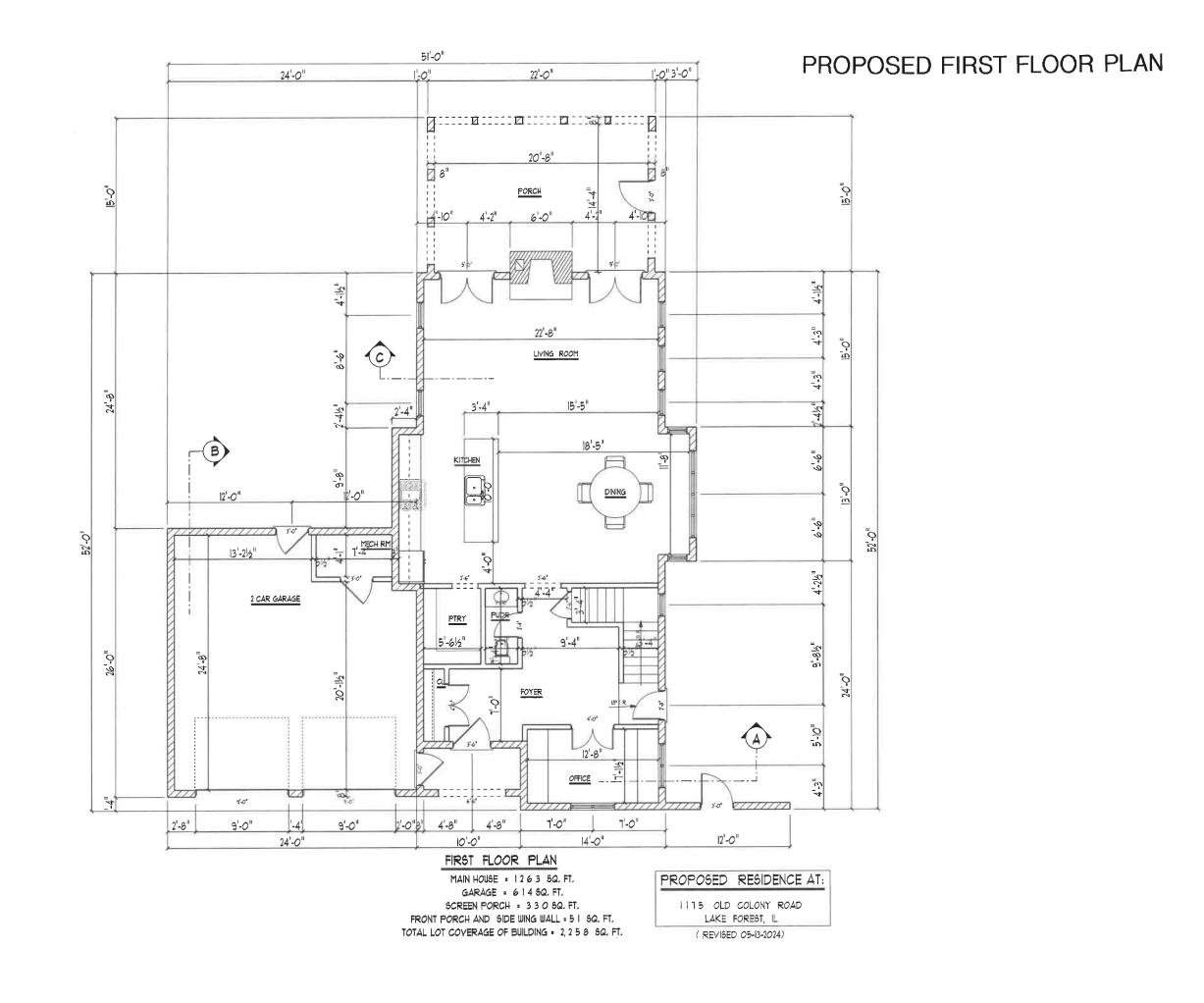
PROPOSED ROOF PLAN

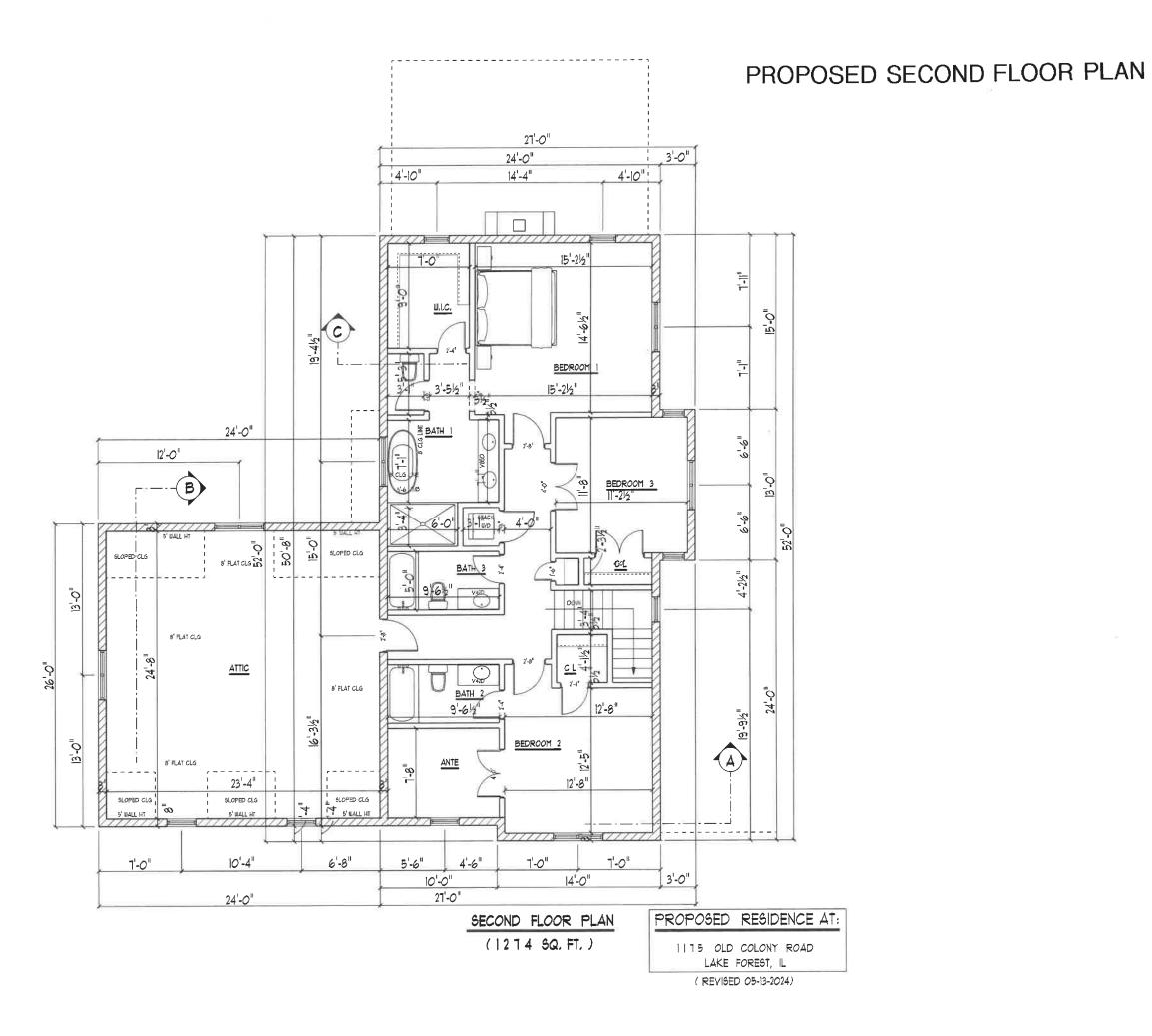


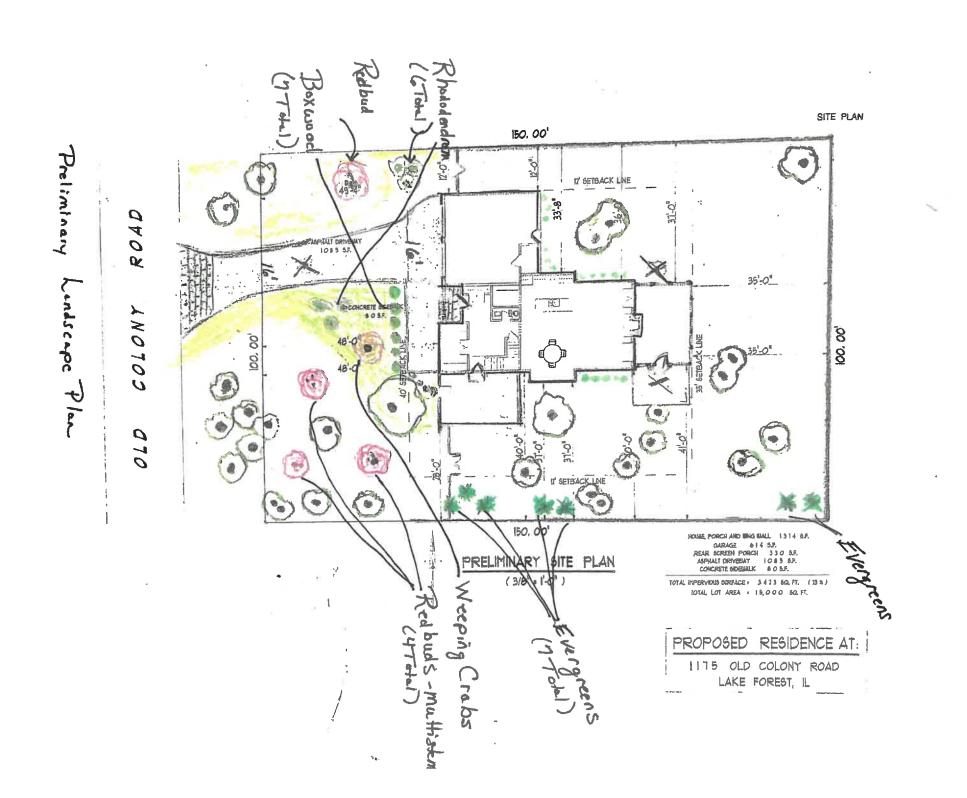


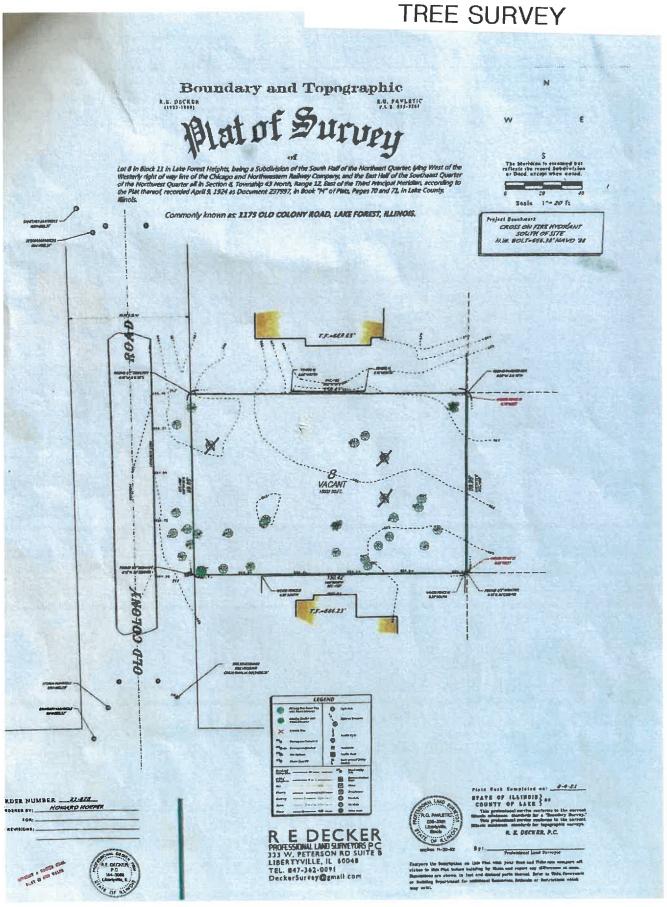
LAKE FOREST, IL











REPRESENTATION OF MATERIALS

Illustration of offwhite stucco finish

Lime plaster over 10" solid mass wall construction

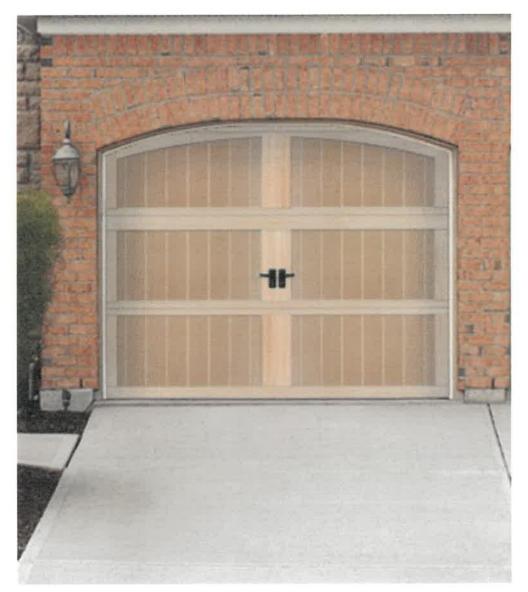


Illustration of the depth of inset windows & doors made possible by 10" mass wall construction





Clopay Semi-custom Reserve Wood Collection



"Farrow & Ball" Apple Green paint for Garage Doors, Shutters, Garden Doors, Rear & Side Doors



REPRESENTATION OF MATERIALS

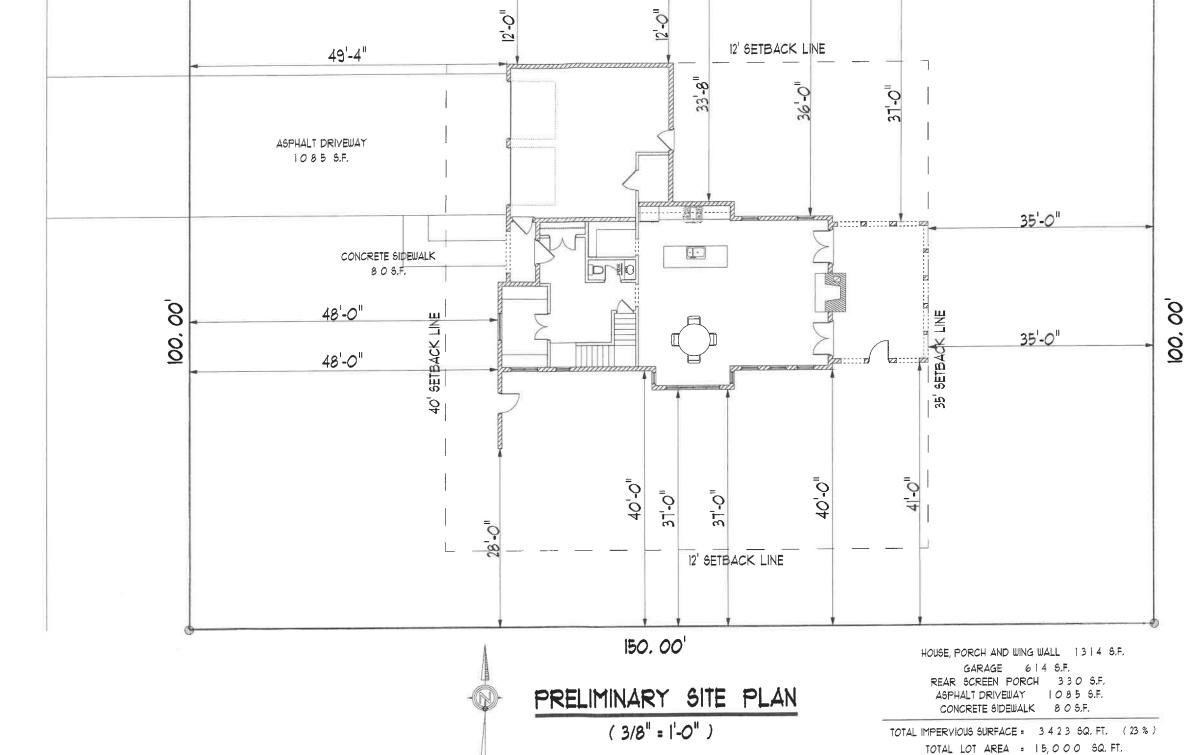
Bevolo Gas Light Fixtures



"Vintage" Zinc-look Metal Roof with 12" standing seam by Western Metal Roofing



Materials from May 1st Building Review Board Meeting



Q

ROA

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150.00

PROPOSED RESIDENCE AT:

1175 OLD COLONY ROAD LAKE FOREST, IL

MAY 1ST MEETING



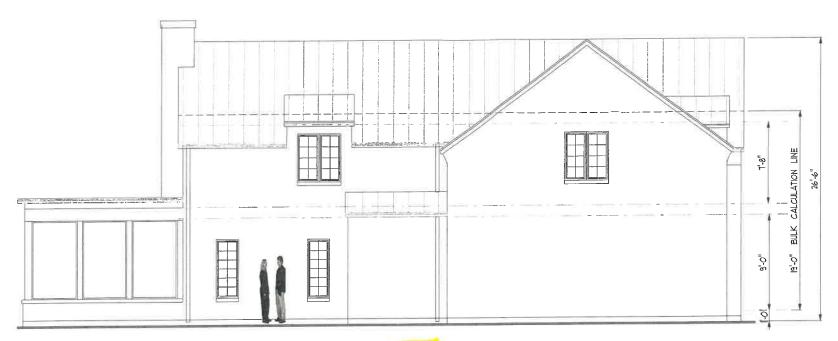


PROPOSED RESIDENCE AT:

1115 OLD COLONY ROAD

LAKE FOREST, IL

MAY 1ST MEETING



LEFT (NORTH) ELEVATION



PROPOSED RESIDENCE AT:

1115 OLD COLONY ROAD LAKE FOREST, IL

Agenda Item 4 245 W. Westminster Demolition and New Single-Family Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photo

Materials Submitted by Petitioner
Application
Statement of Intent
Description of Materials
Survey – Existing Conditions
Existing Photos
Site Plan with Overlay
Elevations - Proposed
Roof Plan
Building Section
Floor Plans
Conceptual Landscape Plan
Tree Removal Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

245 W. Westminster

Consideration of a request for recommendations in support of approval of the demolition of the existing residence and in support of a replacement residence and attached garage and a preliminary landscape plan.

Property Owners: The Lisa M. Geneser Trust, Christ Geneser 100%

Presented by: John Krasnodebski, Architect

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request to demolish and replace the existing residence. A preliminary landscape plan is also included.

Description of Property

This 80,217 square foot property is located on the south side of W. Westminster, east of the Deerpath Golf Course. It falls within the Westminster Park subdivision, platted in 1982. The existing ranch style home was built in 1985. Permit records reflect minor repairs and updates to the home over time.

Proposed Demolition

The petitioner provided a review of the demolition criteria which is included in the Board's packet. The applicable criteria are reviewed by staff below.

Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

This criterion is met. The existing residence is not architecturally, aesthetically, or historically significant. The home was built in 1985 and does not have any particular significance in relation to its surroundings.

Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.

This criterion is somewhat met. The existing brick house is in good condition and does not require repairs. However, the petitioner explored options for adding a second floor and found them to be unsuccessful. The petitioner found that the desired second floor addition would cause an overage in square footage and decrease the aesthetic value in comparison to a complete demolition and new construction.

Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

This criterion is not met. There are no reports, structural or otherwise, demonstrating that this residence is unsuitable for residential use. The house is currently occupied by renters.

Criteria 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

This criterion is met. There is no evidence to suggest that the proposed demolition will adversely impact the value of other properties in the neighborhood.

Criteria 5 – The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.

This criterion is met. The proposed house is designed to be compatible with the neighborhood and not adversely impact the neighborhood's character. Review by the Building Review Board is required to assure that all applicable standards and the City's Design Guidelines are satisfied. However, impacts to the mature trees on the site will change the wooded character of the lot to some extent.

Staff finds that the criteria for demolition mostly satisfied.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan - This standard is met.

The proposed house faces north, toward Westminster, with an attached side loaded garage facing west. A second curb cut is proposed to create a "U" shaped driveway split by a drive court at the front entrance. A terrace is shown at the rear. The house, overall, is sited toward the front of the lot, maximizing the extensive backyard space. It is setback slightly from the street in comparison to the existing residence.

Given the presence of wetlands and floodplain on the property, necessary review will take place by City engineering staff at the time of permit.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 8,217 square feet is permitted on the site with an allowance of 800 square feet for a garage and 822 square feet for

design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 7,982 square feet.
- The proposed garage totals 975 square feet. With a maximum garage exemption of 800 square feet, 175 square feet must be added to the square footage of the residence.
- In addition to the above square footage, a total of 521 square feet of design elements are incorporated into the design of the house.
- In conclusion, the proposed residence totals 8,157 square feet. That is 61 square feet or less than 1 percent below the maximum allowable square footage for this property.

At its tallest peak, the residence as measured from the lowest point of existing grade is 39 feet. The maximum height allowed for a residence on this size lot is 40 feet as measured from the lowest point of existing grade to the tallest roof peak.

Staff Recommendation: Require the submittal of as-built drawings during the construction process to assure that the maximum permitted building height of 40 feet is not exceeded as measured from the lowest adjacent grade to the tallest peak of the roof.

Elevations – This standard is met.

The petitioner's statement of intent describes the style of the home as inspired by English Arts and Crafts architecture. The use of symmetry, hierarchical massing and design elements come together to make a well-designed residence.

Type, color, and texture of materials – This standard is met.

High quality materials are proposed throughout. According to the petitioner, the home will have a limewashed brick exterior, cedar shingle roof, limestone front entrance, bronze clad simulated divided lite casement windows with limestone details and surrounds, stained wood soffit and fascia, brick corbeling at the gable ends, copper gutters, copper downspouts, and copper collector boxes. The proposed driveway is asphalt with brick paver aprons. The terrace is proposed to be bluestone.

Landscaping - This standard can be met.

As currently proposed, several trees will be removed. The required replacement inches shall be determined at the time of permit. If it is determined by the City's Certified Arborist that additional trees are negatively impacted by construction of the house and installation of hardscape, additional replacement inches may be required.

The preliminary landscape plan submitted by the petitioner reflects plantings around the foundation of the home. At the time of permit, the final landscape plan will be evaluated to confirm compliance with the Code requirements for new homes.

Staff Recommendation: Provide landscape screening along west property line across from the side load garage to screen the neighboring property from car headlights.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this petition.

Recommendation

Recommend approval of demolition of the existing residence based on the findings presented above.

and

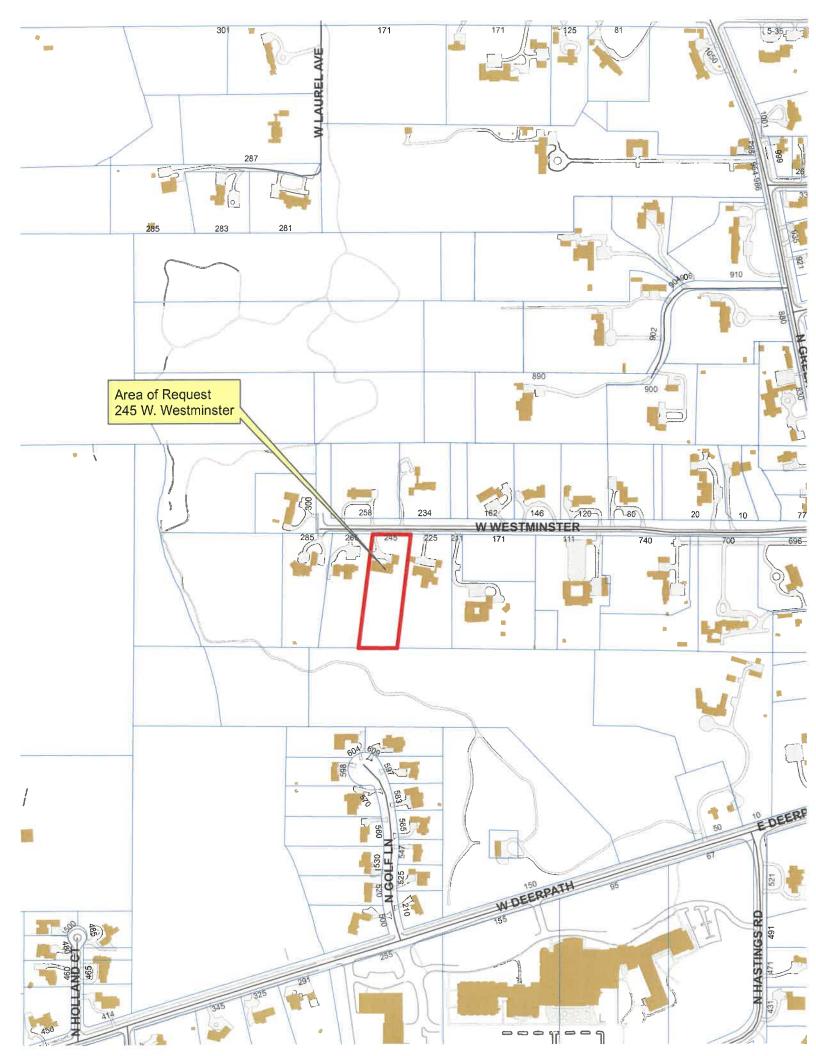
Recommend approval of the residence, attached garage, conceptual landscape and overall site plan based on the findings presented in this staff report and incorporating the Board's deliberations as additional findings subject to the following conditions of approval.

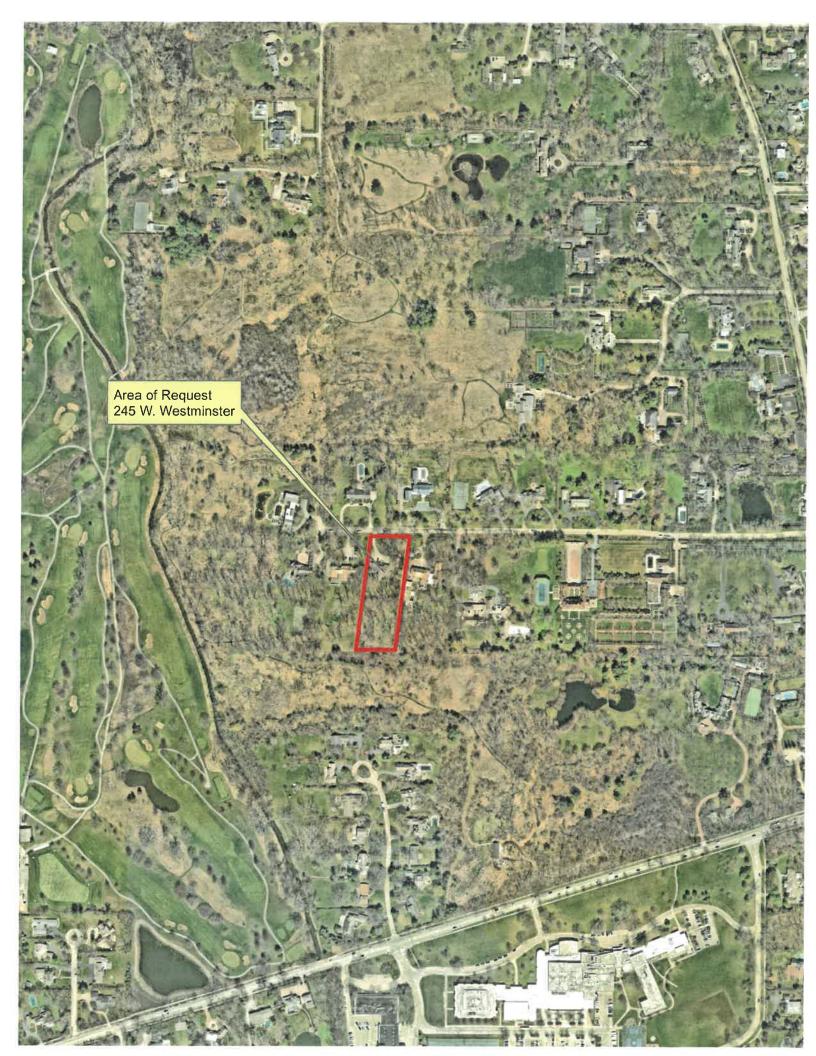
- 1. Provide as-built drawings during the construction process to assure that the maximum permitted building height of 40 feet is not exceeded as measured from the lowest adjacent grade to the tallest peak of the roof.
- 2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

- 3. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.
 - Provide landscape screening along west property line across from the side load garage to screen the neighboring property from car headlights.
- 4. Tree Protection Plan Prior to the issuance of a building permit, a plan to protect all trees that may be impacted during construction must be submitted and will be subject to review and approval by the City. If determined to be necessary by the City's Certified Arborist, a pre and post treatment plan for the trees will be required to increase the chances of survival of the trees intended for preservation.
- 5. At the time of submittal for a building permit, detailed drainage and grading plans must be submitted. No grading or filling shall be permitted except the absolute minimum necessary to meet accepted engineering standards and practices.
- 6. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
- 7. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address	225 W Westminster		Owner(s) L	isa M. C	Seneser Tru	st, Chris	Genser 10	00%
Architect	John Krasnodebski		Reviewed by:		L. Prado			
Date	6/5/2024							
Lot Area	80217 sq. ft.	Allowed Square Footage	e 8217					
Square Foota	ge of Residence							
1st floor	3794 + 2nd floor	+ 3rd floo	or <u>2571</u>		=7	982	_sq. ft.	
Design Elem	ent Allowance =	sq. ft.						
Total Actual I	Design Elements =	521 sq. ft.		Excess	=	0	sq.ft.	
Garage	975 sf actual ;	sf allowance	9	Excess	=1	175	sq. ft.	
Garage Widt	hft.	may not exceed 24' in width	on lots					
Basement Ar	rea	18,900 sf or less in size.			=	0	sq. ft.	
Accessory bu	uildings				=	0	sq. ft.	
Total Square	Footage of Residence				=8	157	sq. ft.	
TOTAL SQUA	RE FOOTAGE				=8	157	sq. ft.	
TOTAL SQUA	RE FOOTAGE ALLOWED	1			=8	217	sq. ft.	
DIFFERENTIA	AL				= Under I	60 Maximur	sq. ft. n	NET RESULT: 60 sq. ft. is
Allowable He	eight:ft.	Actual Height	39ft.			Nea	arly _	1% under Max. allowed
DESIGN ELE	MENT EXEMPTIONS							
De	sign Element Allowance:	822 sq. ft.						
Rea	Open Porches = r & Side Screen Porches = Covered Entries =	236 sq. ft.						
	Portico = Porte-Cochere = Breezeway = Pergolas =							
	Dormers = Bay Windows =	147 sq. ft.						
Total A	Actual Design Elements =	521 sq. ft.	Excess	s Desigr	n Elements	=	0	sq. ft.









THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

Project Address 245 W. WE	ESTMINISTER
Application Type	
RESIDENTIAL PROJECTS	COMMERCIAL PROJECTS
✓ New Residence ✓ Demolition Comple ✓ New Accessory Building ✓ Demolition Partial ✓ Addition/Alteration ✓ Height Variance ✓ Building Scale Variance ✓ Other	te
PROPERTY OWNER INFORMATION The Lisa M. Geneser Trost dated 1/29	ARCHITECT/BUILDER INFORMATION
Owner of Property 230 North gate St.# 478 Lake Brest, D. 40045 Owner's Street Address (may be different from project address)	Name and Title of Person Presenting Project LAKE FOREST LINDMARK DLV. Name of Firm
LAKE FOR 257 12. 60045 City, State and Zip Code	272 E. DEERPATH Street Address
3129534515 Redone Number rax Number	LAKE FOREST, 12. City, State and Zip Code
Genesery Egnail. com	Phone Number Fax Number jkrasesbeglobel. net
Sygnes	Email Address Sin Massechelole Representative's Signature (Architect/ Builder)
Owner's Signature	Reprépentative's Signature (Architect/Builder)
The staff report is available the Fri	iday before the meeting, after 3:00pm.
Please email a copy of the staff report	OWNER REPRESENTATIVE
Please fax a copy of the staff report	□ OWNER □ REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	□ OWNER □ REPRESENTATIVE

TRUST OWNERSHIP (EXHIBIT C)

Please list the Trust number and name and address of the Trustee, as well as the names and addresses of all beneficiaries of the Trust, together with their respective interests in the Trust. The application shall be further verified by the applicant in his capacity as Trustee or by the beneficiary as a beneficial owner of an interest in the Trust and the application shall be signed individually by as many beneficiaries as are necessary to constitute greater than 50% ownership of the beneficial interest of the trust.

TRUST NUMBE	RThe Lisa M. Genes Trust Dated 11-29-2021	Name Firm	TRUSTEE INFORMATION Lisa Geneser N/A 230 Northgate St. #679 Lakeforest, IL 60045 3129534515
Beneficiaries			
Name <u>(</u>	Chris Genesee	Name	
2	30 Northgate St#6 ake Forest, IL 40045	700	
Address L	ake Forest, IL 40045	Address	
Trust Interest		Trust Inter	est%
C	lus Jones		
Name _		Name	
Address _		Address	ii-
Trust Interest	%	Trust Inter	est %
Name		Name	3
Adding		A .1.1	
Address		Address	3—
Trust Interest	%	Trust Inter	est%

BUILDING REVIEW BOARD STATEMENT OF INTENT & DEMOLITION CRITERIA 245 W. WESTMINSTER, LAKE FOREST

Date: April 15, 2024

PROJECT:

REQUEST FOR DEMOLITION AND REPLACEMENT HOME 245 W. Westminster, Lake Forest, IL 60045

Statement of Intent:

This proposal includes a request for the demolition of the existing home at 245 W. Westminster and for the approval of the replacement home.

The existing home was built in 1985. It is a 3,560 sq ft, ranch style home, with a brown brick exterior, brown asphalt shingles, green wood soffit and fascia, brown windows, and brown aluminum gutters and downspouts. It has 8'0" ceiling heights, and a partial basement.

We started the project with the intent of renovating the house by removing the roof and adding a second floor. After a lot of study and many iterations of design options, we determined that a renovation would not be feasible. Adding a second floor would exceed the square footage allowed, would exacerbate the relatively tight side yard requirements, be a dramatically less attractive option than a new home, and would be very cost prohibitive, costing more than a new construction.

As a result, a new home design is the best option for this property.

The proposed new home is a 6,000 sq ft traditional home inspired by English Arts and Crafts architecture. It is a 1.5 story home. It has an antiqued limewashed brick exterior, cedar shingle roof, limestone front entrance, bronze clad simulated divided lite casement windows with limestone details and surrounds, stained wood soffit and fascia, brick corbeling at the gable ends, copper gutters, copper downspouts, and copper collector boxes.

The proposed new home is symmetrical in design and exhibits a simple hierarchy of massing. It has a taller central massing, with telescoping 1-story wings. One of the wings is a side loaded garage. Many of the design elements encouraged by the City of Lake Forest's design guidelines are included in this design. Elements include a repetition of dormers, simple gable roof forms, brick chimneys, porches, dove cotes, brick corbels, garden walls, etc. The ratio of window to wall brings a very comfortable scale to the home. The new home will be constructed of high quality, natural materials with an enhanced landscape design, and will blend harmoniously with the fabric of the neighborhood.

We are proposing a traditional design that enhances the property and neighborhood for many years to come.

Part Two - Demolition Criteria:

The proposed project satisfies the following relevant standards for granting the request for demolition and will generally improve the overall appearance of the property on W. Westminster. The detailed evidence addressing the five criteria for granting the demolition request is provided below:

1. The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

The existing structure does not exhibit historic, architectural, aesthetic, or cultural significance. The existing home is not a significant example of a historic architectural style. The original architect is not known. The existing structure was built in 1985 and does not have any particular significance in relation to its surroundings.

2. Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.

We started the project with the intent of renovating the house by removing the roof and adding a second floor. After a lot of study and many iterations of design options, we determined that a renovation would not be feasible. Adding a second floor would exceed the square footage allowed, would exacerbate the relatively tight side yard requirements, be a dramatically less attractive option than a new home, and would be very cost prohibitive, costing more than a new construction. As a result, a new home design is the best option for this property.

3. The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

Given the current condition and restraints of the existing structure, significant work would be needed to make it suitable for residential use.

4. The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

The proposed demolition of the existing structure and proposed replacement structure will not adversely impact the value of the property within the neighborhood. The new home will be constructed of high-quality natural materials, with an enhanced landscape design, and will blend seamlessly with the fabric of the existing neighborhood. We are proposing a traditional design that enhances the property and the value of the property.

5. The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.

We are proposing a traditional design for the replacement structure that enhances the property and neighborhood and will be compatible with and not adversely impact the neighborhood character.



In conclusion, the new home is a significant improvement from the existing home, will add significant character and value to the property, and will seamlessly integrate with the caliber of the existing homes in Lake Forest.

Please note the enclosed package includes further information for your review. If you have any questions, please contact me at 847-615-0637.

Sincerely,

LAKE FOREST LANDMARK DEVELOPMENT

John Krasnodebski, President



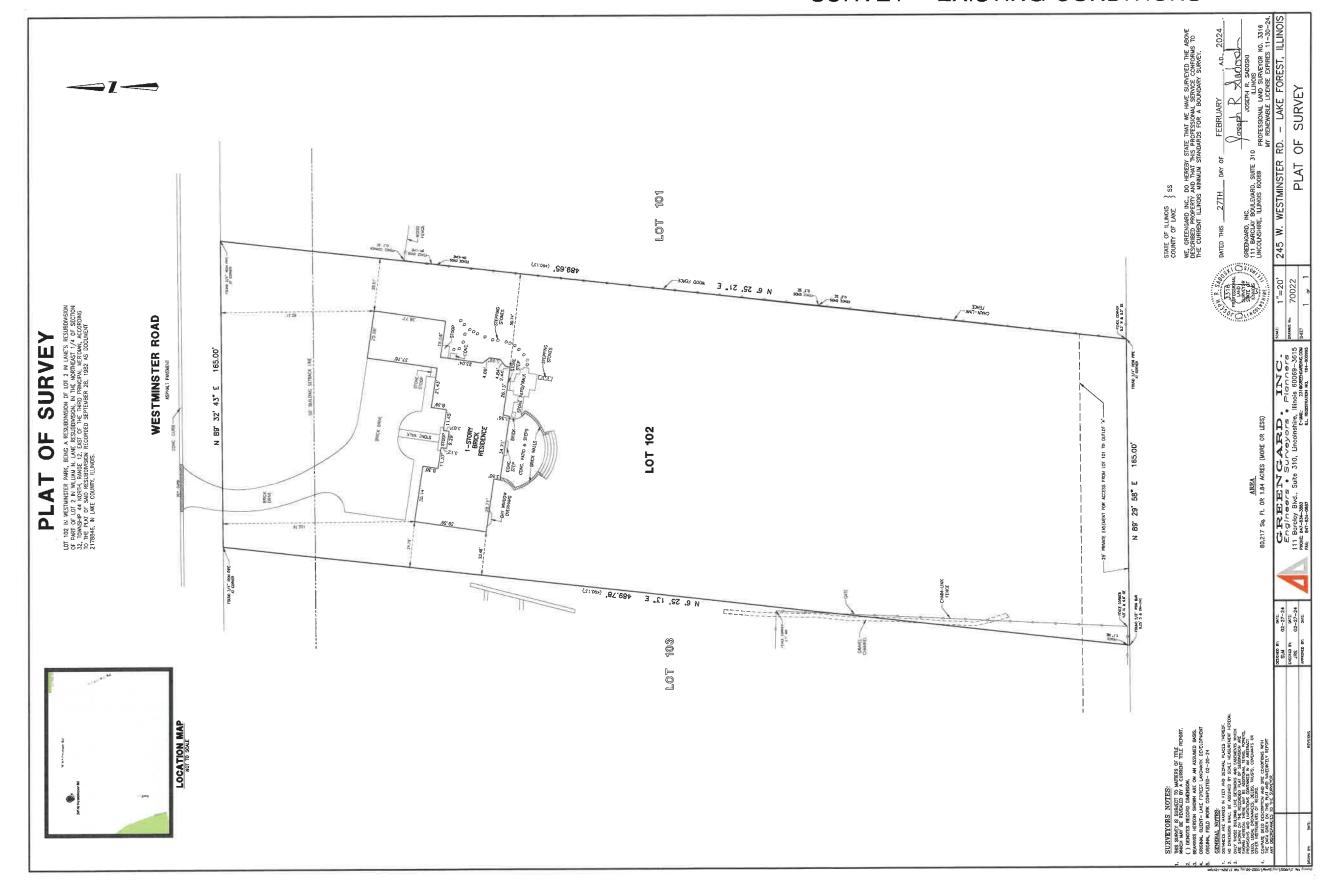
THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION DESCRIPTION OF EXTERIOR MATERIALS

Façade Mater	rial		
⊠ E □ v □ s	Stone Brick Wood Clapboard Siding Stucco f Material <u>WHITE LIMEWASH</u>		Wood Shingle Aluminum Siding Vinyl Siding Synthetic Stucco Other
Window Treat	tment		
Primary	y Window Type	Finis	h and Color of Windows
	Double Hung Casement Sliding Other	□	Wood Aluminum Clad Vinyl Clad Other of Finish BRONZE
Window	w Muntins		
	Not Provided Frue Divided Lites		
Simulat	ed Divided Lites		
	nterior and Exterior muntin bars nterior muntin bars only Exterior muntin bars only Muntin bars contained between the glass		
Trim Material			
Door Trir	m		ow Trim
☐ Bri ☐ Wo ☐ Syi	nestone ick pod nthetic Material her		Limestone Brick Wood Synthetic Material Other
Fascias.	Soffits, Rakeboards		
⊠ Wo □ Oth	bod her nthetic Material		

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney I	<i>l</i> laterial		
X	Brick Stone		
H	Stucco		
ñ	Other		
Roofing			
Prin	nary Roof Material	Flasi	hing Material
M	Wood Shingles	X	Copper
	Wood Shakes		CHOOL WOLD
	Slate		Other
님	Clay Tile		
	Composition Shingles		
	Sheet Metal		
	Other		
Cold	er of Material		
Gutters an	d Downspouts		
\boxtimes	Copper		
	Aluminum		
	Other		
Driveway I	Material		
×	Asphalt		
	Poured Concrete		
X	Brick Pavers		
	Concrete Pavers		
×	Crushed Stone		
Ц	Other		
Terraces a	nd Patios		
Z	Bluestone		
	Brick Pavers		
	Concrete Pavers		
	Poured Concrete		
	Other		

SURVEY - EXISTING CONDITIONS



Existing Site: 245 W. Westminster, North Elevation





Existing Site: 245 W Westminster, East Elevation





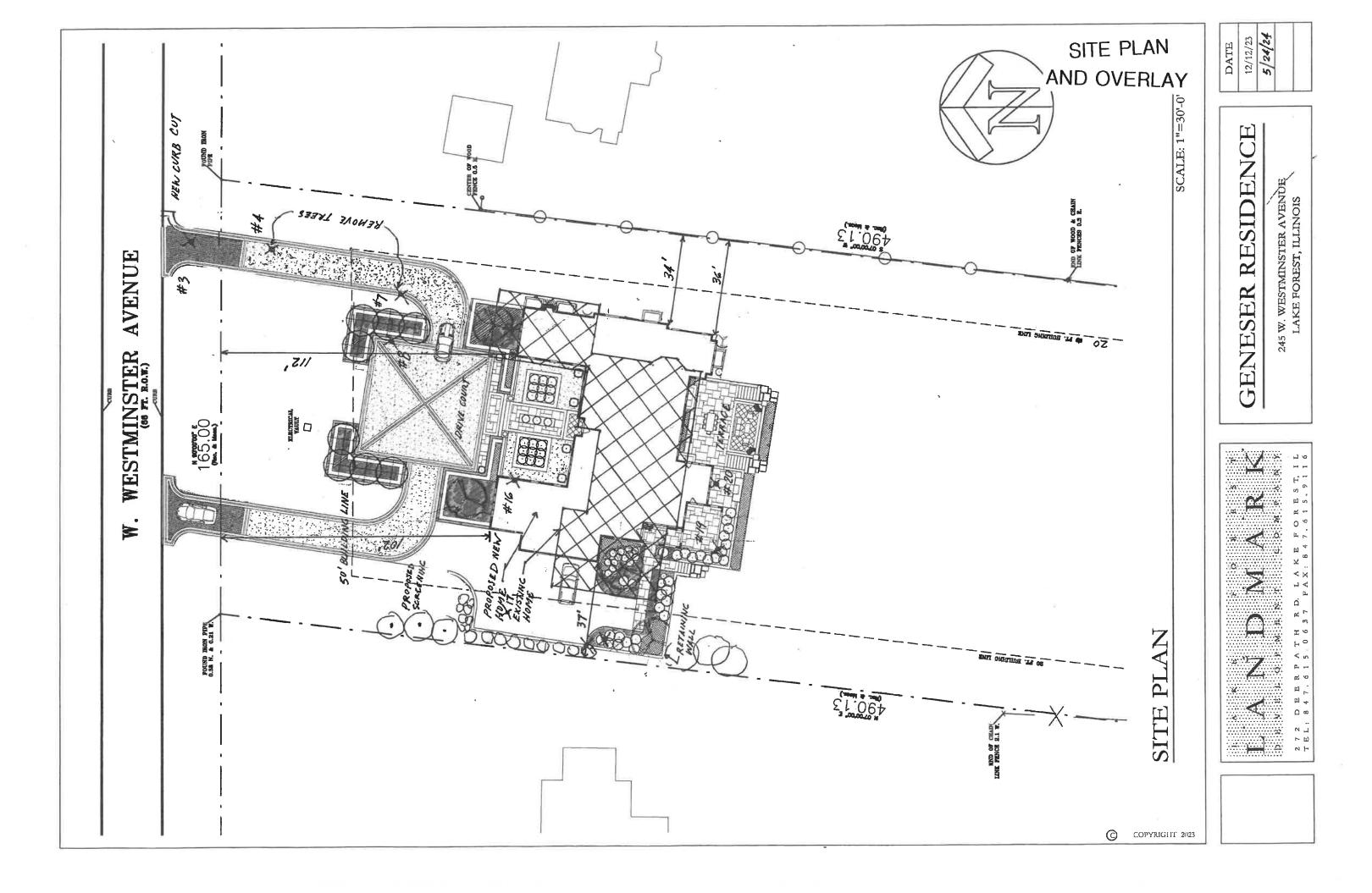
Existing Site: 245 W Westminster, South Elevation



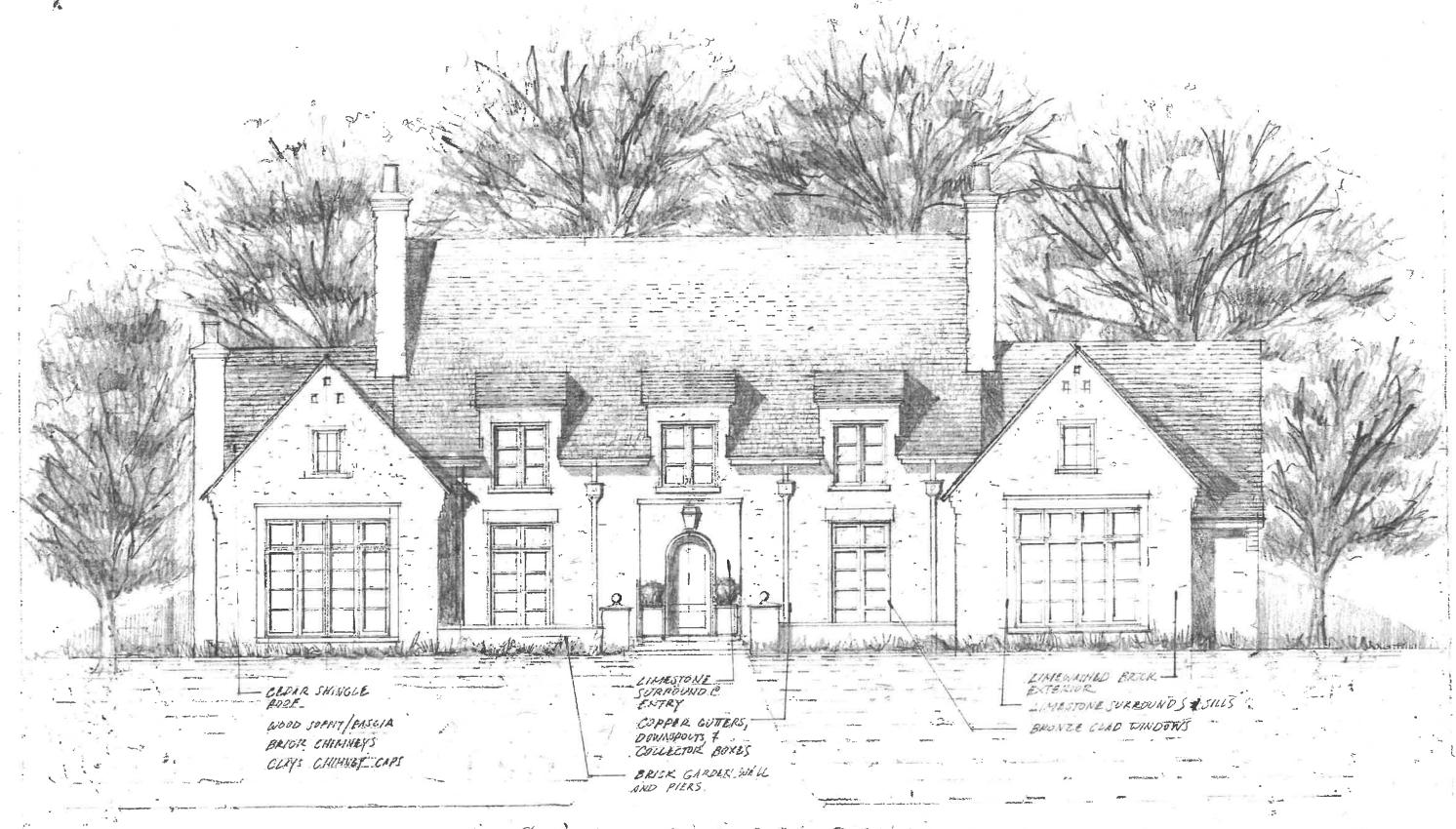


Existing Site: 245 W Westminster, West Elevation of Garage



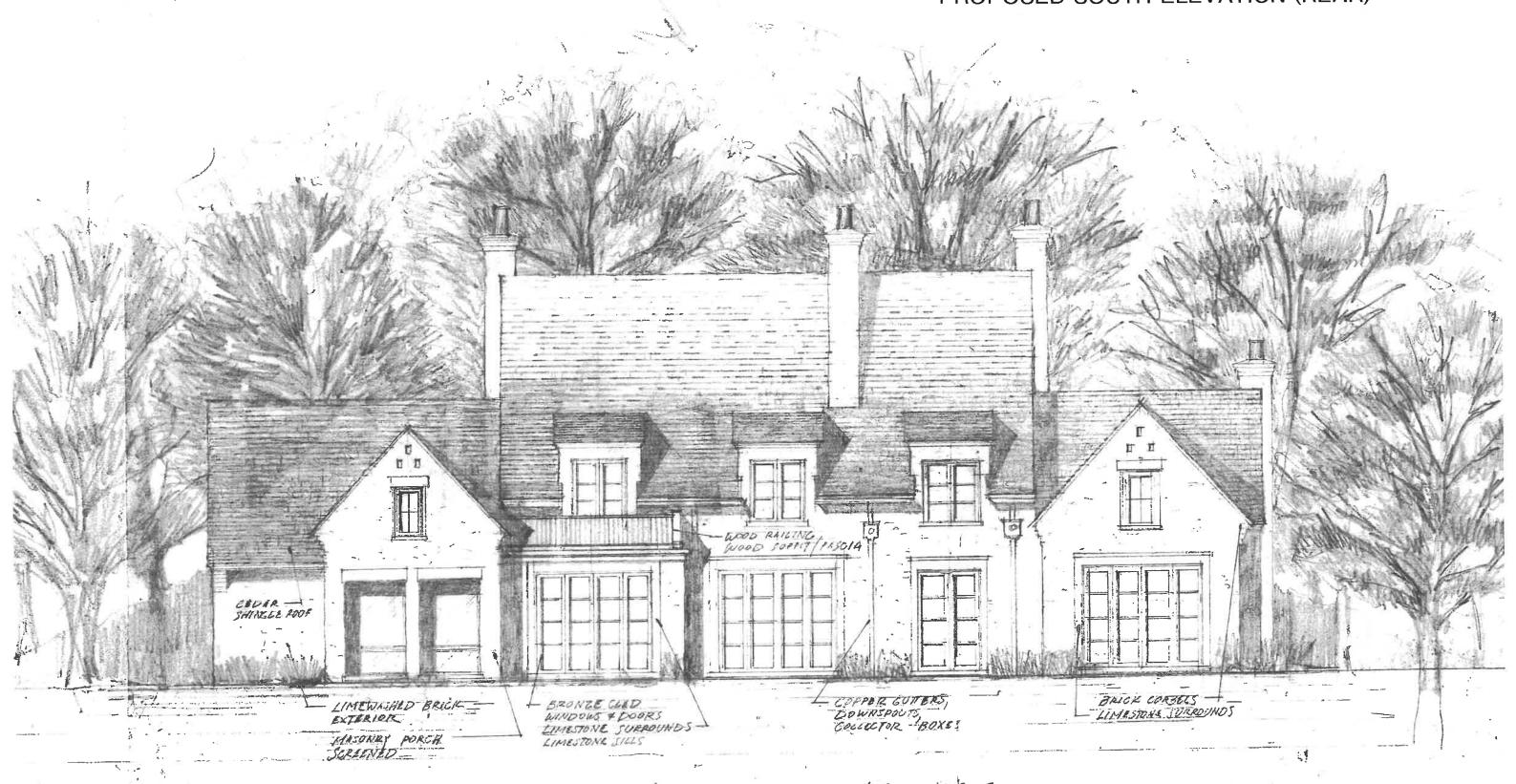


PROPOSED NORTH ELEVATION (FRONT)



FRONT ELEVATION (18"=1:0"

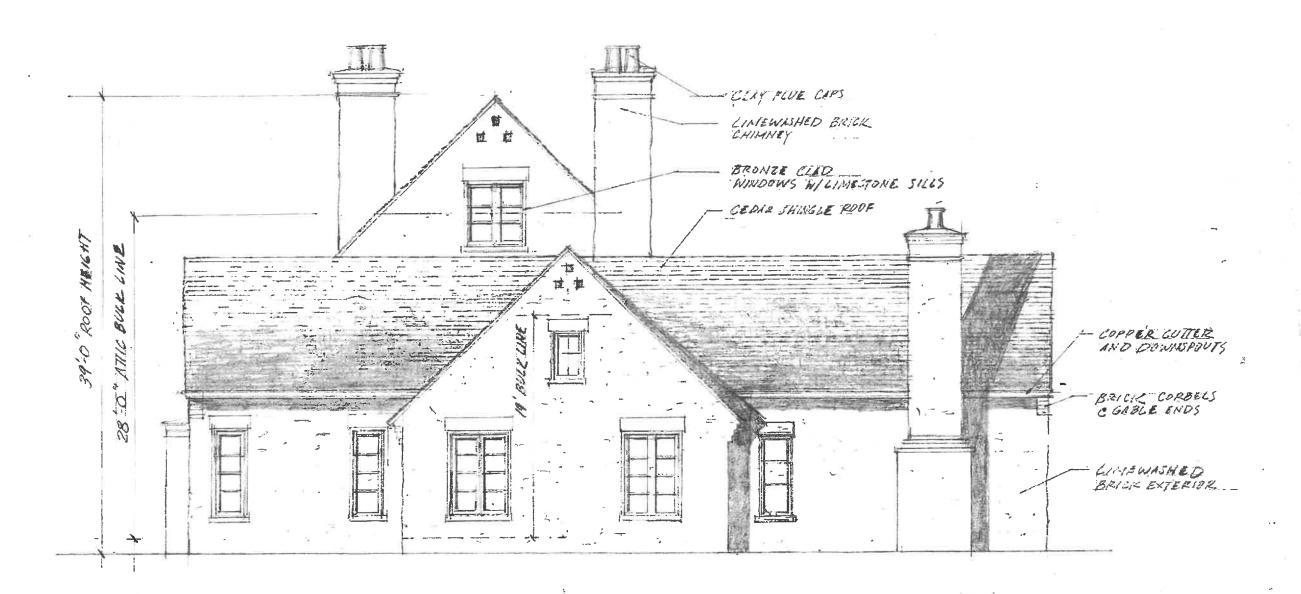
PROPOSED SOUTH ELEVATION (REAR)



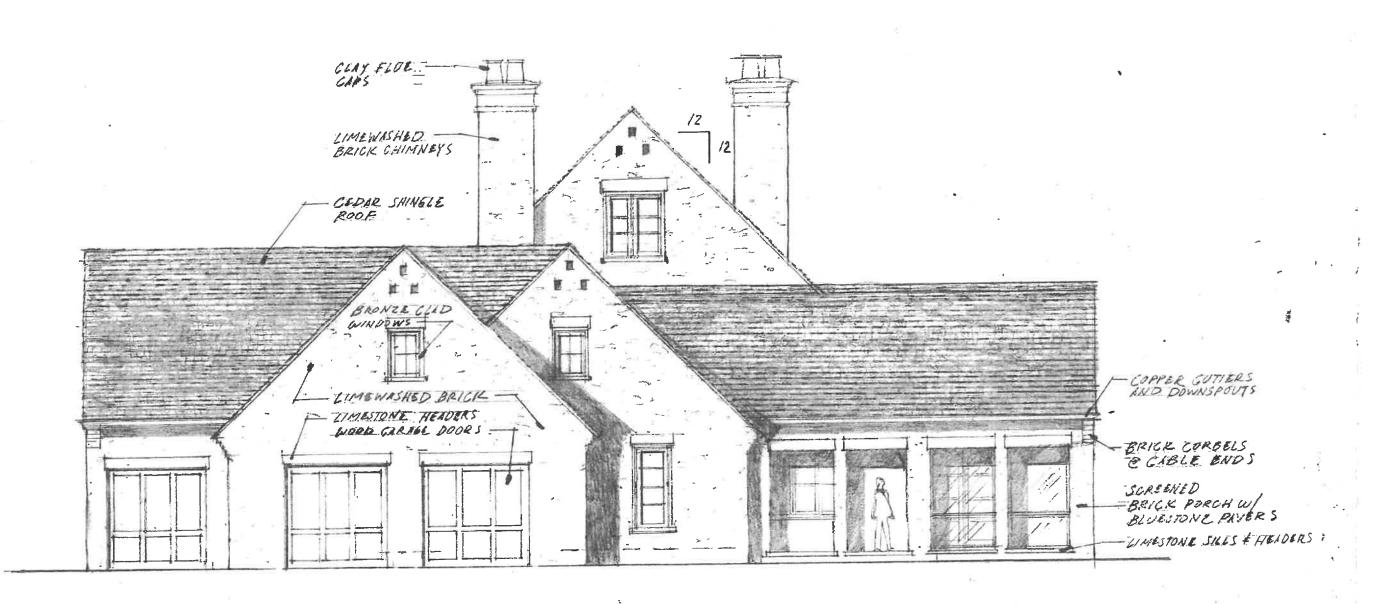
- ~ GENESER RESTORNEESOUTH ELEVATION

1/8"=1:0"

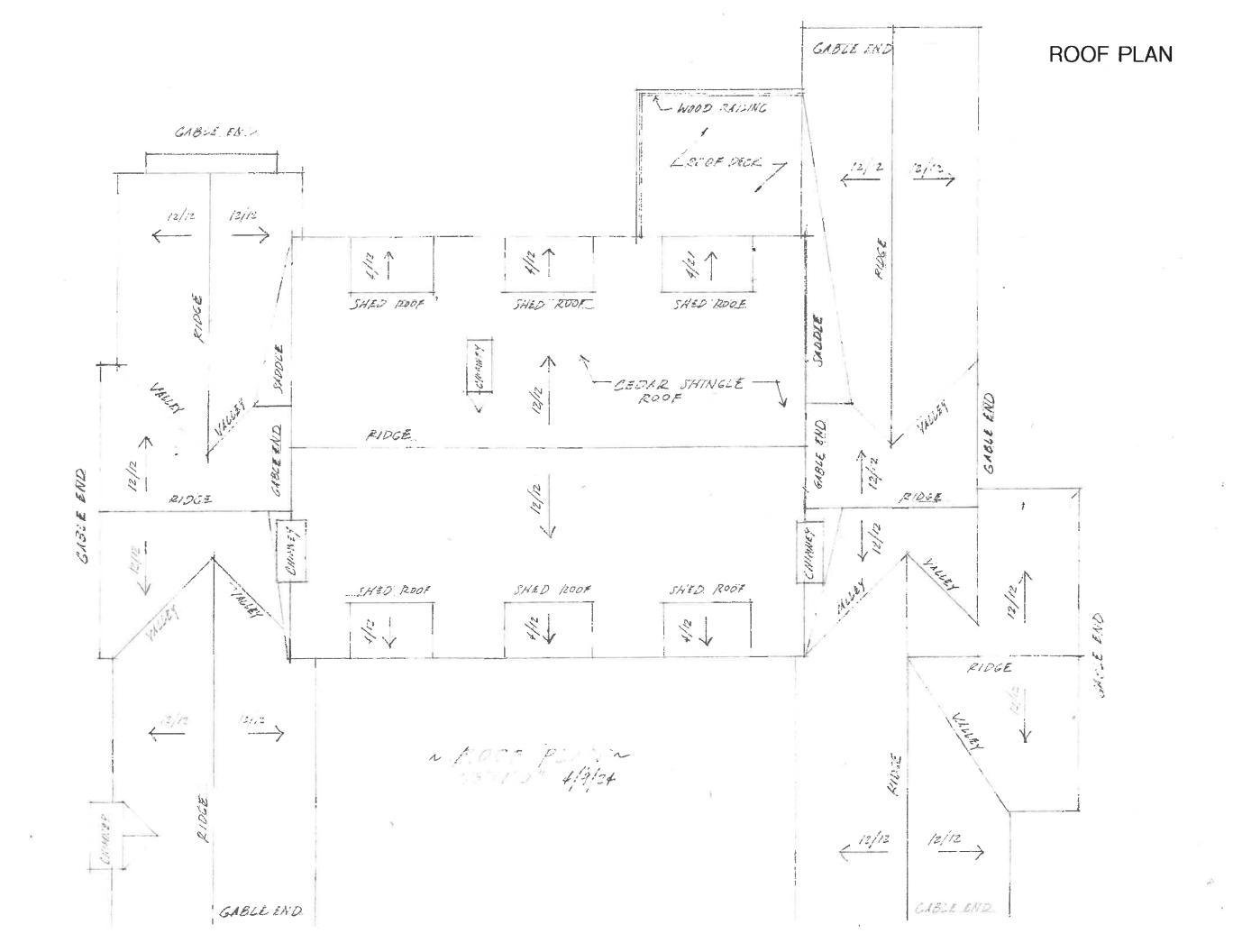
3/3/24

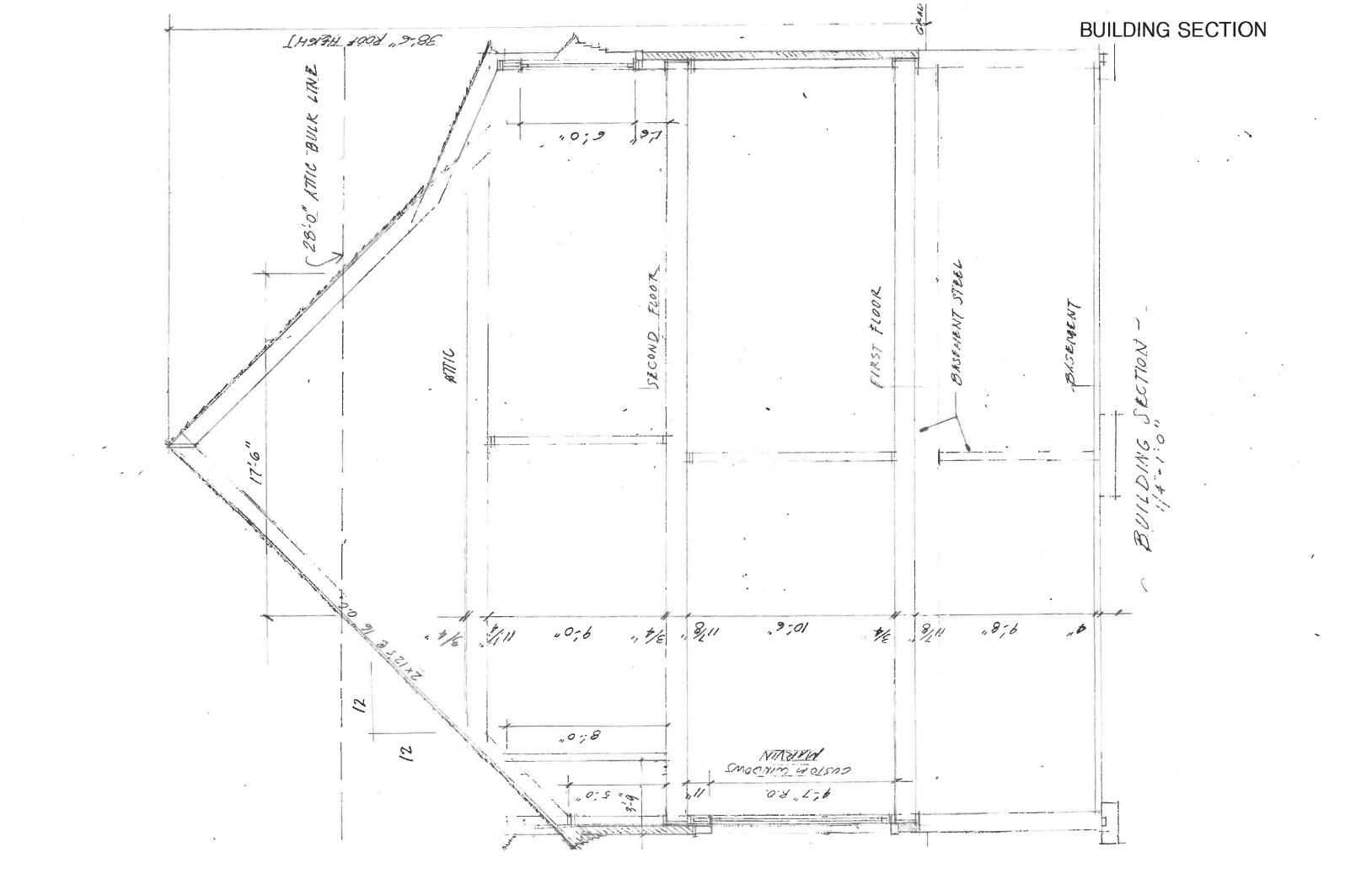


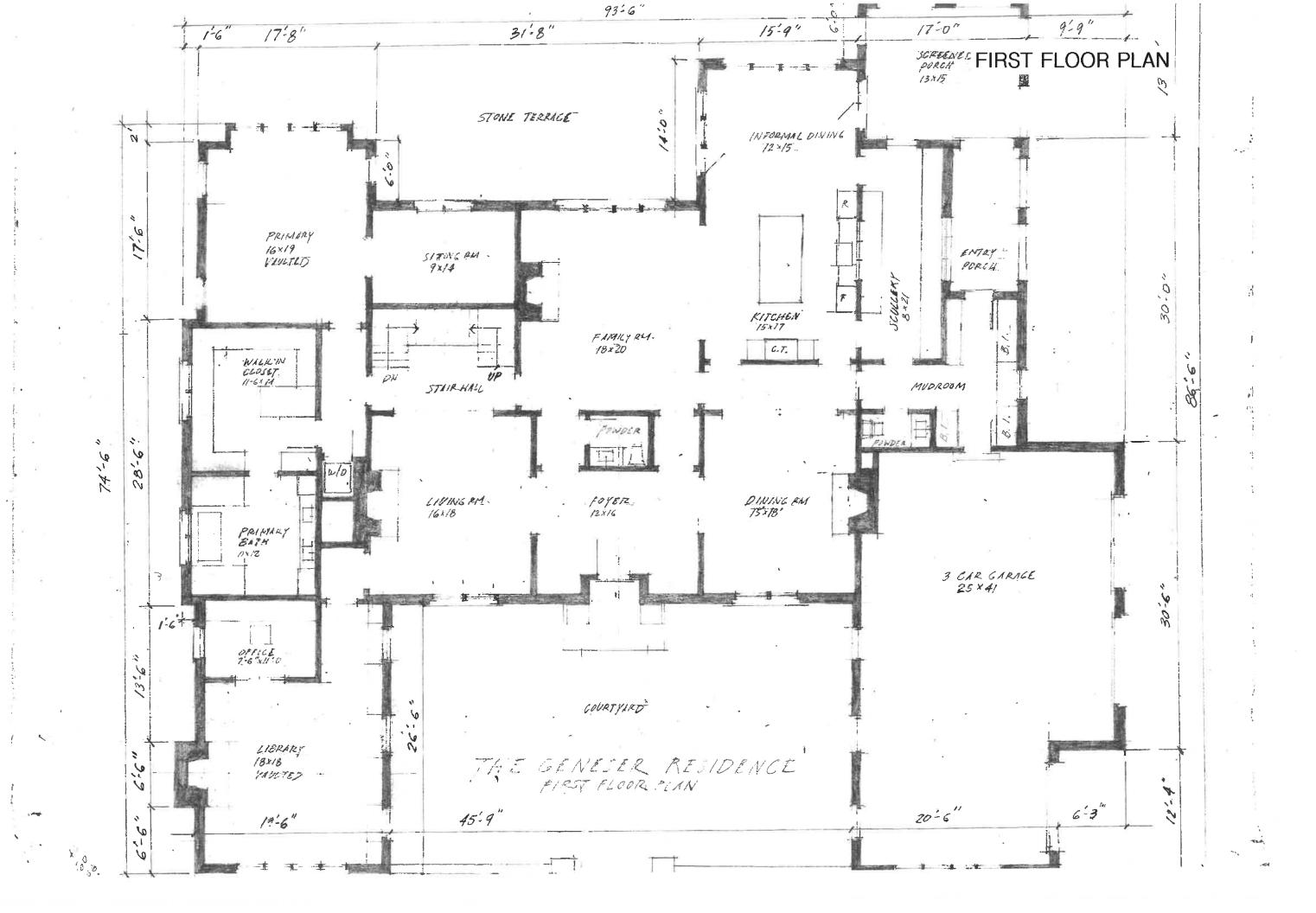
1/8=1:0" FIFTION ~ 1/8=1:0" 4/1/24

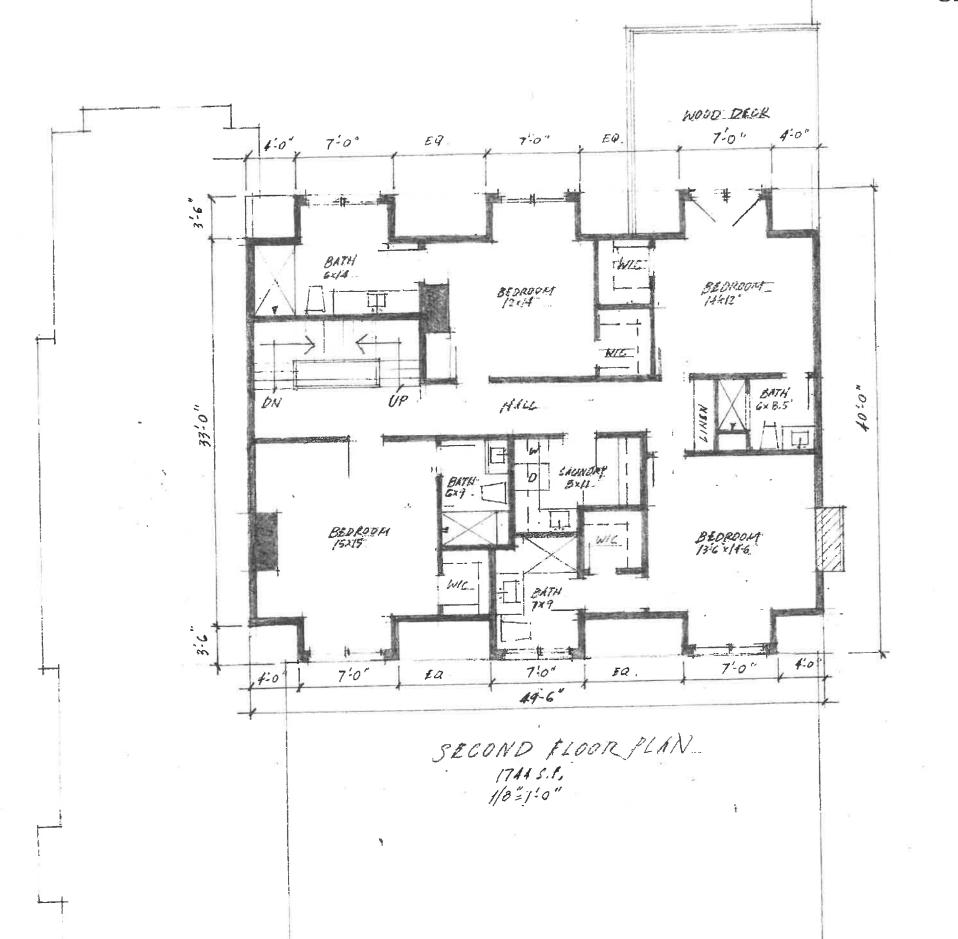


- WEST ELEVATION ~ , 48=1=0" 4/2/24









8 Crabapple Tree Preservation Survey CONCEPTUAL LANDSCAPE PLAN 7 Hawthorn 6 (1=BEST -17 Silver Maple 6= DEAD) B Hemlock TAG # SIZE SPECIES 25 Silver Maple 21 Norway Maple 29 Silver Maple 22 Norway Maple 12 Silver Maple 34 Silver Manie Silver Maple Hemlock 6 Hemlock Silver Maple Boxelder Silver Maple Lou Leggett American Eln 14 Silver Maple 34 Silver Maple Certified Arborist#177 11 Black Chemy 12 Austrian Pine 847-561-7061 29 Silver Maple Black Walnut (6) 10' NORWAY SPRUCE 19 Silver Maple 9 American Elm (9) 10' GREEN GIANT ARBORVITAE 24 Honey Locust 9 Silver Maple 26 Honey Locust (5) 4" SWAMP WHITE OAK 7 Silver Maple 13 Crabapple Silver Maple (6) 10' GREEN GIANT ARBORVITAE 8 Buckeye Silver Maple Ash (1) 12' COLE'S SELECT SERVICEBERRY 29 Cottonwood 41 Silver Maple 23 Silver Maple (7) 14' GREEN GIANT ARBORVITAE 33 Silver Maple 32 Silver Maple (3) 12' CORNELIANCHERRY DOGWOOD 34 Silver Maple (5) 12' SERBIAN SPRUCE (3) 12' WINTERGREEN ARBORVITAE HERBACEOUS PLANTINGS LARGE DECIDUOUS SHRUB - LOW EVERGREEN 'CLOUD' TREE TO BE REMOVED, TYP. (2) 10' SARGENT CRABAPPLE (8) 4" WINTER KING HAWTHORN (3) 14' REDBUD STONE TERRACE (1) 12' JAPANESE TREE LILAC (3) X DECORATIVE GRAVEL PATH STONE WALK CHIP & SEAL DRIVEWAY (5) 10' NORWAY SPRUCE ASPHALT GARAGE COURT (6) 10' RIVER BIRCH RETAINING WALL (7) 10' GREEN GIANT ARBORVITAE (3) 14' NORWAY SPRUCE EXISTING TREE TO REMAIN, TYP. MULCH PATH - (3) 16' REDBUD - (3) 10' BLACKHAW VIBURNUM (3) 12' SERBIAN SPRUCE (3) 12' WINTERGREEN ARBORVITAE (3) 10' KOUSA DOGWOOD - ENTRY COLUMNS -(3) 12' CORNELIANCHERRY DOGWOOD (3) 12' WINTERGREEN ARBORVITAE



SCALE: 1/16"=1'-0"



PAVER APRON

Z45 W. WESTMINSTER

* TREES TO BE

REMOVED

TAG#	SIZE	SPECIES	6 (1=BES 6= DEAD)
1	21	Norway Maple	3
2	22	Norway Maple	3
3	25	Norway Maple	3
4	23	Black Cherry	4
5	13	American Elm	6
- 6	27	Silver Maple	3
7	34	Silver Maple	3
8	35	Silver Maple	4
9	16	Norway Maple	3
10	19	Silver Maple	3
11	24	Honey Locust Honey Locust	3
13	13	Crabapple	3
14	16	Hawthorn	4
15	9	Ash	4
16	9	Serviceberry	4
17	33	Silver Maple	4
18	38	Silver Maple	4
19	37	Silver Maple	3
20	27	Silver Maple	3
21	8	Crabapple	3
22	7	Hawthorn	3
23	17	Silver Maple	4
24	8	Hemlock	3
25	8	Hemlock	3
26	7 8	Hemlock	4
27	7	Hemlock Hemlock	4
29	8	Hemlock	4
30	18	Silver Maple	3
31	14	Silver Maple	3
32	11	Black Cherry	3
33	12	Austrian Pine	4
34	29	Silver Maple	3
35	21	American Elm	3
36	9	Silver Maple	3
37	7	Silver Maple	3
38	29	Silver Maple	4
39	8	Buckeye	3
40	41	Silver Maple	3
41	23	Silver Maple	4
42	32	Silver Maple	4
43	34	Silver Maple	3
44	12	Silver Maple Mulberry	3
46	9	Mulberry	3
47	7	Hackberry	3
48	32	Silver Maple	3
49	25	Silver Maple	3
50	29	Silver Maple	4
51	12	Silver Maple	3
52	16	Silver Maple	3
53	12	Boxelder	4
54	33	Boxelder	4
55	8	American Elm	3
56	9	Black Walnut	3
57	13	Silver Maple	5
58	6	Black Walnut	3
59	9	American Elm	3
60	29	Silver Maple	3
61 62	7	Silver Maple Silver Maple	3
63	15	Silver Maple	3
64	29	Cattonwood	3
65	12	Silver Maple	4
66	7	Silver Maple	3
67	12	American Elm	3
68	11	Silver Maple	3
69	22	Silver Maple	4
70 71	10	Silver Maple Hawthorn	3
72	19	Honey Locust	4
73	7	Boxelder	3
74	9	Black Walnut	4
75	9	Black Walnut	3
76	10	Black Walnut	3 5
77	13	Silver Maple Black Walnut	5
79	7	Buckeye	3

TREE REMOVAL PLAN

Agenda Item 5 632 Grandview Lane Garage and Rear Additions to an Existing Residence

Staff Report
Building Scale Summaries
Vicinity Maps
Air Photos

Materials Submitted by Petitioner

Application

Description of Materials

Statement of Intent

Site Plan

Elevations

Roof Plan

Section

Floor Plans

Tree Survey

Existing Photos

632 Grandview Lane

Consideration of a garage and rear addition to an existing home.

Property Owner: Brooke and Chris Sorto Presented by: Omar Guiterrez, Architect

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of garage and rear additions to an existing home.

Description of Property

This property is located on the east side of Grandview Lane, to the southwest of Cherokee School. It is 22,752 square feet and falls within the Whispering Oaks Unit 6 subdivision, platted in 1960.

<u>Staff Review of Standards – Evaluation, Comments, and Recommendations</u> Standards in General

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan - This standard is met.

Changes to the footprint of the residence are reflected on the plans with the proposed two car garage and rear addition. The garage projects 20 feet from the front façade toward the street. Projecting garages are not uncommon for the neighborhood.

A pergola is proposed to connect the garage to the front porch and a paver walk is proposed. The asphalt driveway widens as it approaches the proposed garage but does not exceed 16 feet in width in the front yard setback. In the rear, a patio is proposed alongside the rear dining room addition. A small addition expands the living room at the northwest corner of the house.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,138 square feet is permitted on the site with an allowance of 600 square feet for a garage and 414 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The existing residence totals 2,419 square feet.
- The proposed residence totals 2,819 square feet.
- The proposed garage totals 392 square feet, 8 square feet under the maximum garage exemption.
- In addition to the above square footage, a total of 311 square feet of design elements are incorporated into the design of the house including the proposed pergola. This totals 103 square feet below the maximum design element exemption

In conclusion, the proposed residence totals 2,819 square feet. That is 32 percent below the maximum allowable square footage for this property.

At its tallest peak, the residence as measured from the lowest point of existing grade is 27 feet. The maximum height allowed for a residence on this size lot is 35 feet as measured from the lowest point of existing grade to the tallest roof peak. The additions proposed are a single story in height.

Elevations – This standard generally met.

The street facing east elevation shows the new garage and pergola. The garage shape echoes the existing Colonial Revival form with matching detail. An additional window on the left of the garage replaces an existing, larger window.

On the north elevation, the vast expanse of solid wall could benefit from the addition of windows to break up the solid wall massing, A window with shutters could be considered on this elevation, similar to the proposed garage window on the south elevation.

On the west elevation, windows on the proposed dining room take advantage of the view of the rear yard. The shape of the addition takes the form of a pergola. The elevation could benefit from breaking the grouping of four rear facing windows into two to better balance the solids and voids.

Consideration could be given to the use of a square shape, rather than an octagonal shape, for the dining room addition and refining the proposed windows on the rear addition to allow both elements to better match the existing residence.

Staff Recommendation: Conduct further study of the north and west elevations with attention to improving the balance between solids and voids. **Staff Recommendation:** Consider the use of a square shape, rather than an octagonal shape, for the dining room addition.

Staff Recommendation: Conduct further study of the proposed dining room windows to better match the existing structure.

Type, color, and texture of materials – This standard is met. The proposed materials will match the existing materials on the home. Stone pavers are proposed for the patio.

Landscaping - This standard can be met.

A landscape plan has not been submitted at this time. No trees are proposed to be removed. The property is well landscaped. Landscaping negatively impacted by the construction will need to be replaced.

Staff Recommendation: Landscaping negatively impacted by construction shall be replaced.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this request.

Recommendation

Recommend approval of the residence and attached garage based on the findings presented in this staff report and incorporating the Board's deliberations as additional findings subject to the following conditions of approval.

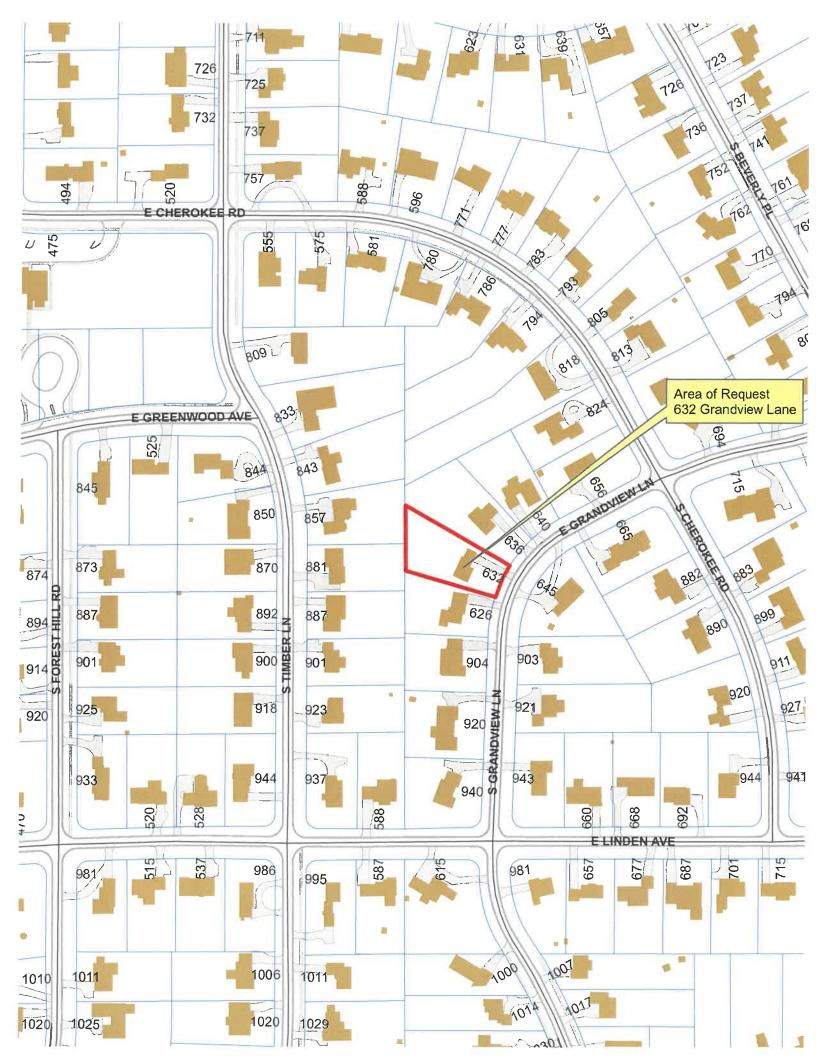
Conditions of Approval

- 1. Conduct further study of the north and west elevations with attention to improving the balance between solids and voids.
- 2. Landscaping negatively impacted by construction shall be replaced.
- 3. Consider the use of a square shape, rather than an octagonal shape, for the dining room addition.
- 4. Conduct further study of the proposed dining room windows to better match the existing structure.
- 5. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan

- and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
- 6. Prior to the issuance of a building permit, a detailed tree survey must be submitted to the City for review. Tree species, condition, and size must be detailed. City staff will review the existing trees in the context of the drainage and grading plan and determine the required replacement tree inches.
- 7. Prior to the issuance of a building permit, a detailed landscape and hardscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. Any inches not able to be accommodated on the site shall be compensated through a payment in lieu of on site planting and will be used to plant parkway trees in the general area of the property. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.
- 8. Tree Protection Plan Prior to the issuance of a building permit, a plan to protect the parkway trees and all other trees that may be impacted during construction must be submitted and will be subject to review and approval by the City.
- 9. At the time of submittal for a building permit, detailed drainage and grading plans must be submitted. No grading or filling shall be permitted except the absolute minimum necessary to meet accepted engineering standards and practices.
- 10. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
- 11.A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address	632 Grandview		(Owner(s)	Brooke a	and C	hris Sorto		
Architect	Omar Guiterrez		i	Reviewed by	y:	<u>L. P</u>	rado		
Date	6/5/2024								
Lot Area	22752 sq. ft.	Allowed Square Fo	otage	4138					
Square Foota	ge of Residence								
1st floor	+ 2nd floor	877 + 3r	d floor_	0	-	=	2419	sq. ft.	
Design Eleme	ent Allowance =	sq. ft.							
Total Actual [Design Elements =	312 sq. ft.			Excess	=	0	sq.ft.	
Garage	sf actual ;	600 sf allow	wance		Excess	=,	0	sq. ft.	
Garage Width	h <u>20</u> ft.	may not exceed 24' in		lots					
Basement Ar	ea	18,900 sf or less in siz	?e.			=	0	sq. ft.	
Accessory bu	uildings					=	0	sq. ft.	
Proposed Addition = 4					400	sq. ft.			
Total Square	Footage of Residence					=_	2819	sq. ft.	
TOTAL SQUA	RE FOOTAGE					=_	2819	sq. ft.	
TOTAL SQUA	RE FOOTAGE ALLOWED)				=	4138	sq. ft.	
DIFFERENTIA	AL					=	1319	sq. ft.	NET RESULT:
						U	nder Maxin	num	1319sq. ft. is
Allowable He	ight: 35 ft.	Actual Height	27	ft.				Nearly	32%under Max. allowed
DESIGN ELEN	MENT EXEMPTIONS								
Des	sign Element Allowance:	414	sq. ft.						
Rea	Open Porches = r & Side Screen Porches =	0	sq. ft. sq. ft.						
	Covered Entries = Portico =	0	sq. ft. sq. ft.						
	Porte-Cochere = Breezeway =		sq. ft. sq. ft.						
	Pergolas =		sq. it. sq. ft.						
	Individual Dormers =		sq. ft.						
	Bay Windows =	0	sq. ft.						
Total A	Actual Design Elements =	312	sq. ft.	Exce	ss Desig	n Ele	ments =	0	sq. ft.









THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

APPLICATION TYPE							
RESIDENTIAL PROJECTS	COMMERCIAL PROJECTS						
□ New Residence □ Demolition Complete □ New Accessory Building □ Demolition Partial □ Addition/Alteration □ Height Variance □ Building Scale Variance □ Other	New Building						
Property Owner Information	ARCHITECT/BUILDER INFORMATION						
Brooke and Chris Sorto	Omar Gutiérrez						
Owner of Property	Name and Title of Person Presenting Project						
632 Grandview Ln	Omar Gutiérrez, Architect						
Owner's Street Address (may be different from project address)	Name of Firm						
Lake Forest, IL 60045	1209 Monroe St						
City, State and Zip Code	Street Address						
646-675-5764	Evanston, IL 60202						
Phone Number Fax Number	City, State and Zip Code						
beleibow@hotmail.com	847-903-4067						
Email Address	Phone Number Fax Number						
γ γ	omar@ogutierrez.com						
MAN MEN	Email Address						
Oune 's Signature	Representative's Signature (Architect/Builder)						
10							
The staff report is available the Frida	y before the meeting, after 3:00pm.						
Please email a copy of the staff report	OWNER REPRESENTATIVE						
Please fax a copy of the staff report	OWNER REPRESENTATIVE						
I will pick up a copy of the staff report at	OWNER REPRESENTATIVE						



THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION DESCRIPTION OF EXTERIOR MATERIALS

(The use of natural materials is strongly encouraged)

Façade Material							
□ Stone □ Brick □ Wood Clapboard Siding □ Stucco □ Wood Shingle Individual or Panels? individual Color of Material white to match existing Window Treatment	☐ Aluminum Siding ☐ Vinyl Siding ☐ Synthetic Stucco ☐ Other						
Primary Window Type	Finish and Color of Windows						
Double Hung □ Casement □ Sliding □ Other Color of Finish white to match existing Window Muntins □ Not Provided □ True Divided Lites Simulated Divided Lites □ Interior and Exterior muntin bars (recommended) □ Interior muntin bars only □ Exterior muntin bars only □ Muntin bars contained between the glass Trim Material	□ Wood (recommended) □ Aluminum Clad □ Vinyl Clad □ Other						
Door Trim	Window Trim						
☐ Limestone ☐ Brick ☒ Wood to match existing ☐ Other Fascias, Soffits, Rakeboards	☐ Limestone ☐ Brick ☑ Wood ☐ Other						
✓ Wood to match existing							

The City of Lake Forest Historic Preservation Commission Application $Description\ of\ Exterior\ Materials-continueD$

Chimney Material		Foundation Material						
	Brick Stone Stucco Other_ no chimney proposed		Brick Stone Stucco Other concrete					
Roofing								
Prima	ry Roof Material	Flashing M	laterial					
	Wood Shingles Wood Shakes Slate Clay Tile Composition Shingles Sheet Metal Other _asphalt shingles to match existing	Skylights	Copper Sheet Metal to match existing Other Proposed Existing None					
Gutters and Downspouts								
	Copper Aluminum to match existing Other							
Driveway N	flaterial							
	Asphalt Poured Concrete Brick Pavers Concrete Pavers Crushed Stone Other							
Terraces a	nd Patios							
	Bluestone Brick Pavers Concrete Pavers Poured Concrete Other _stone pavers							



Omar Gutiérrez

EVANSTON, IL 60202

847.903.4067

OMAR@OGUTIERREZ.COM

May 9, 2024

Building Review Board City of Lake Forest

RE: Statement of Intent - additions to single family home at 632 Grandview Ln

Dear Building Review Board members,

The proposed additions to the home at 632 Grandview aim to enhance my client's enjoyment of their Colonial Revival style home while being careful to follow its design language with simple massing of the additions as well as matching existing design details.

As such, the proposed Dining Room addition takes advantage of the views of the large back yard and leads to a stone patio at grade to further enjoy the yard. New doors to the same new Patio are proposed from the Mudroom and Living Room.

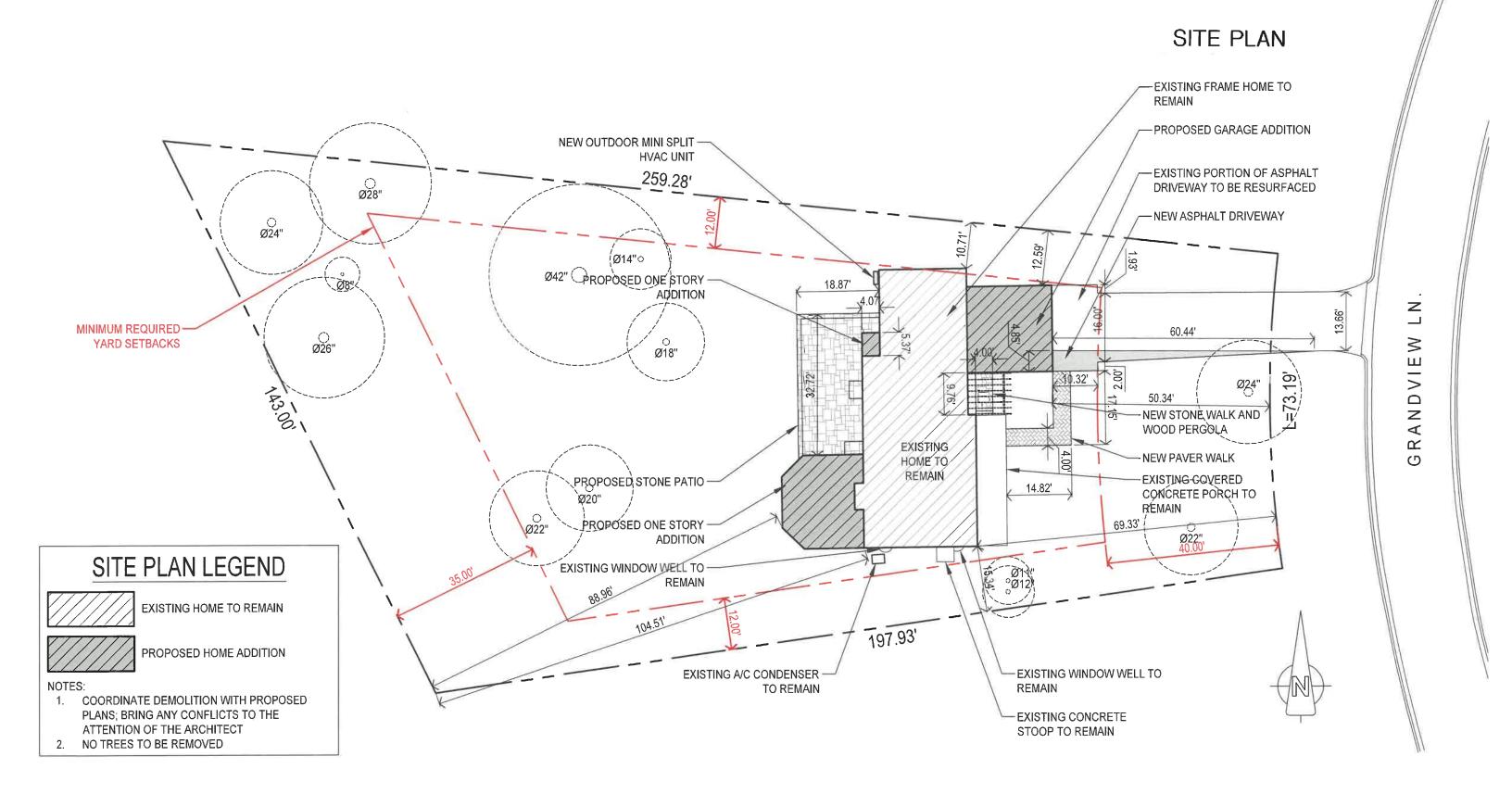
The existing attached Garage does not connect internally to the home and the room adjacent to it is the Living Room. With a need for storage, a proper Mudroom and a 2 car Garage, we propose converting the existing attached Garage into a Mudroom and Storage Closet, connecting the Mudroom to the Living Room and adding a new attached 2 car Garage on the front of the home. The Garage addition is a one story structure with architectural details and materials to match the existing home, a roof of the same pitch and the reuse of the existing overhead door. For those occasions when access to the Garage from the Front Porch is necessary, we propose a side door in the Garage visually connected to the Front Porch via a wood Pergola. We opted not to design a roof in this area so as to not obscure the natural light in the Living Room.

Both additions are one story structures that continue the design hierarchy of the tallest portion of the home and feature simple roof shapes.

The front of the home features dentils on the gables and fascia that are not present on the sides and rear elevation. We propose to extend that detail throughout the home for consistency.

Sincerely,

Omar Gutiérrez, Architect

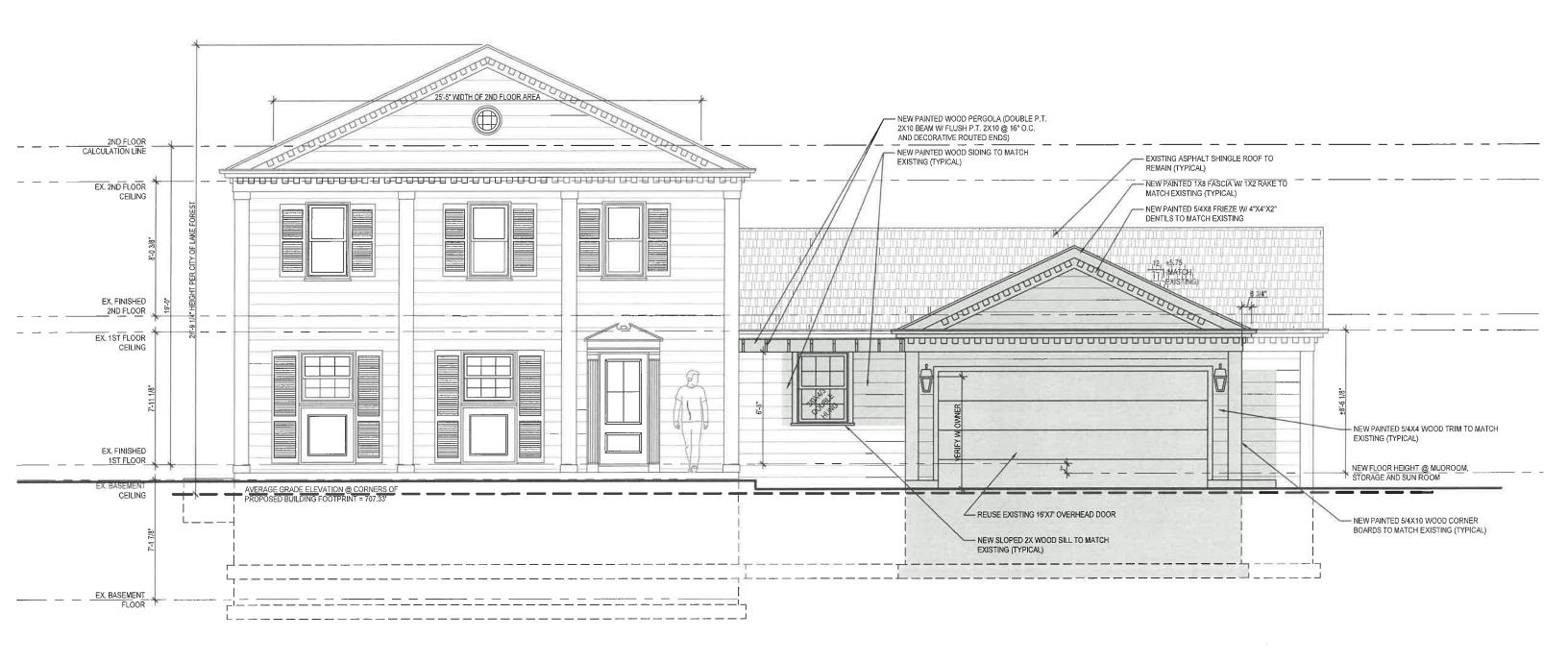




THE SORTO RESIDENCE
632 GRANDVIEW LN - LAKE FOREST, IL
SITE PLAN OF PROPOSED IMPROVEMENTS - SCALE: 1"=20'-0" - 05/09/2024

© OMAR GUTIERREZ, ARCHITECT

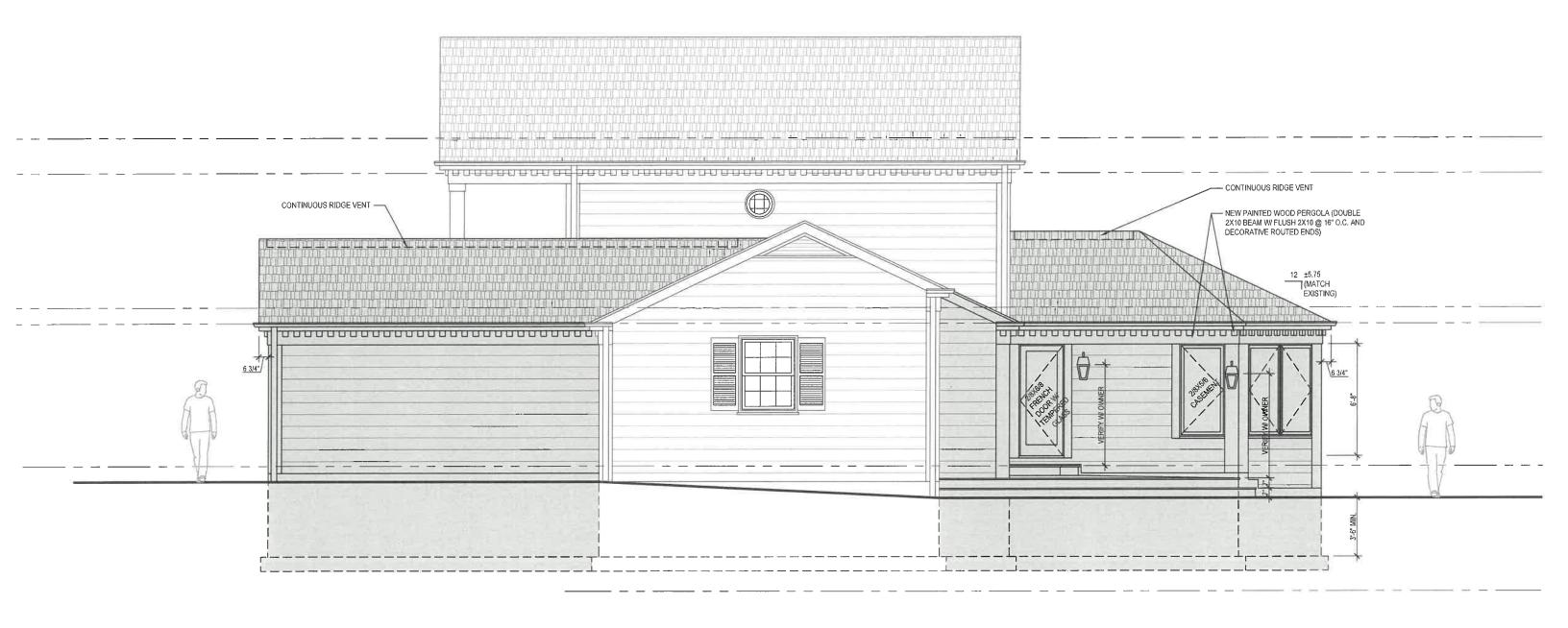
PROPOSED FRONT ELEVATION (EAST)





THE SORTO RESIDENCE
632 GRANDVIEW LN - LAKE FOREST, IL
FRONT (EAST) ELEVATION - SCALE: 3/16"=1'-0" - 05/09/2024
© OMAR GUTIERREZ, ARCHITECT

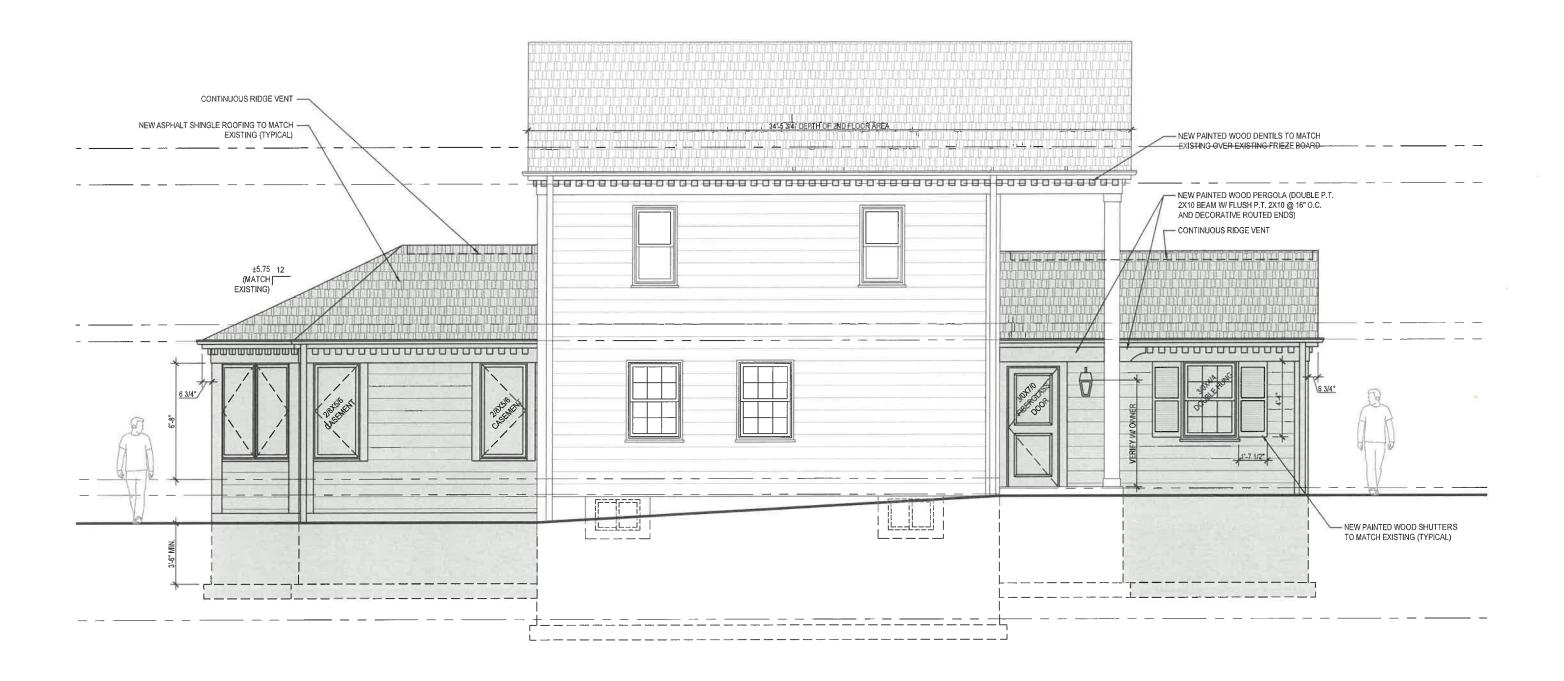
PROPOSED SIDE ELEVATION (NORTH)





THE SORTO RESIDENCE
632 GRANDVIEW LN - LAKE FOREST, IL
RIGHT SIDE (NORTH) ELEVATION - SCALE: 3/16"=1'-0" - 05/09/2024
© OMAR GUTIERREZ, ARCHITECT

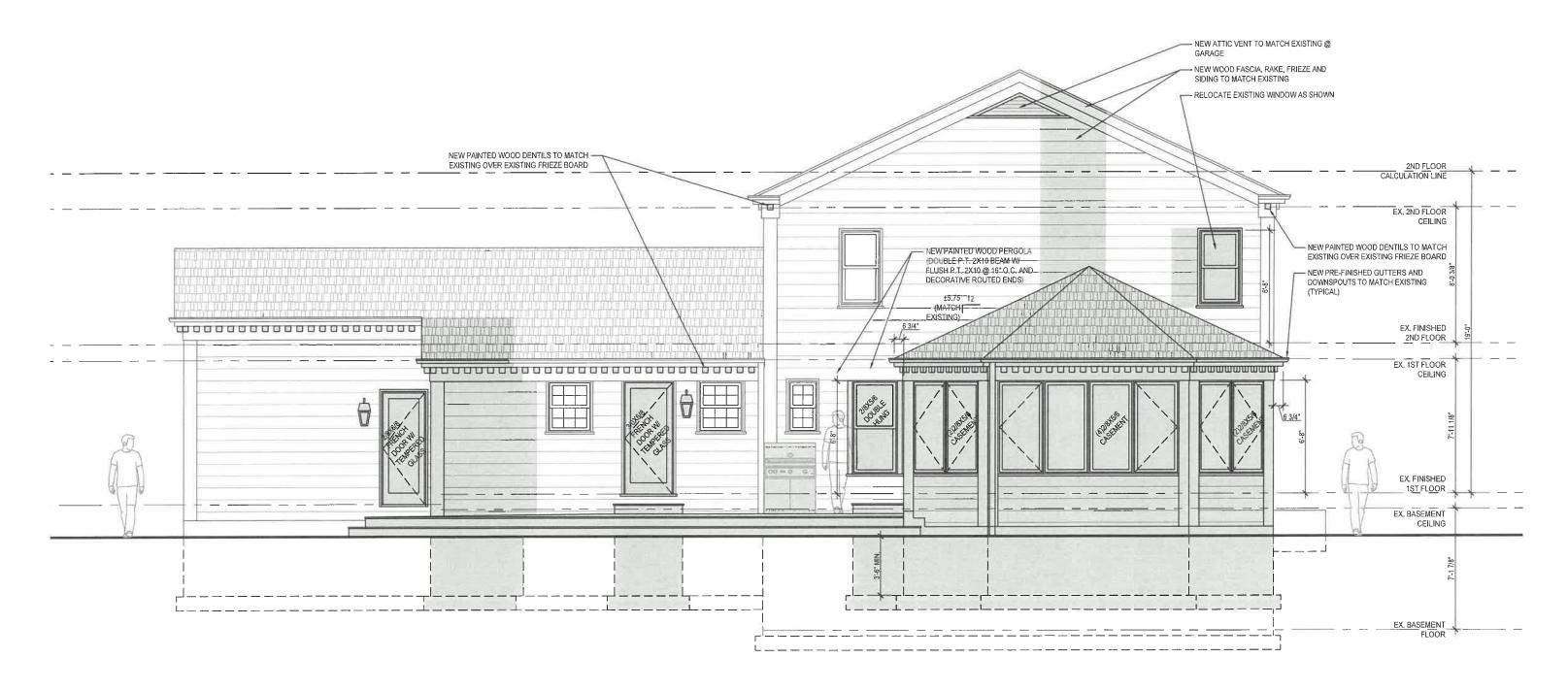
PROPOSED SIDE ELEVATION (SOUTH)





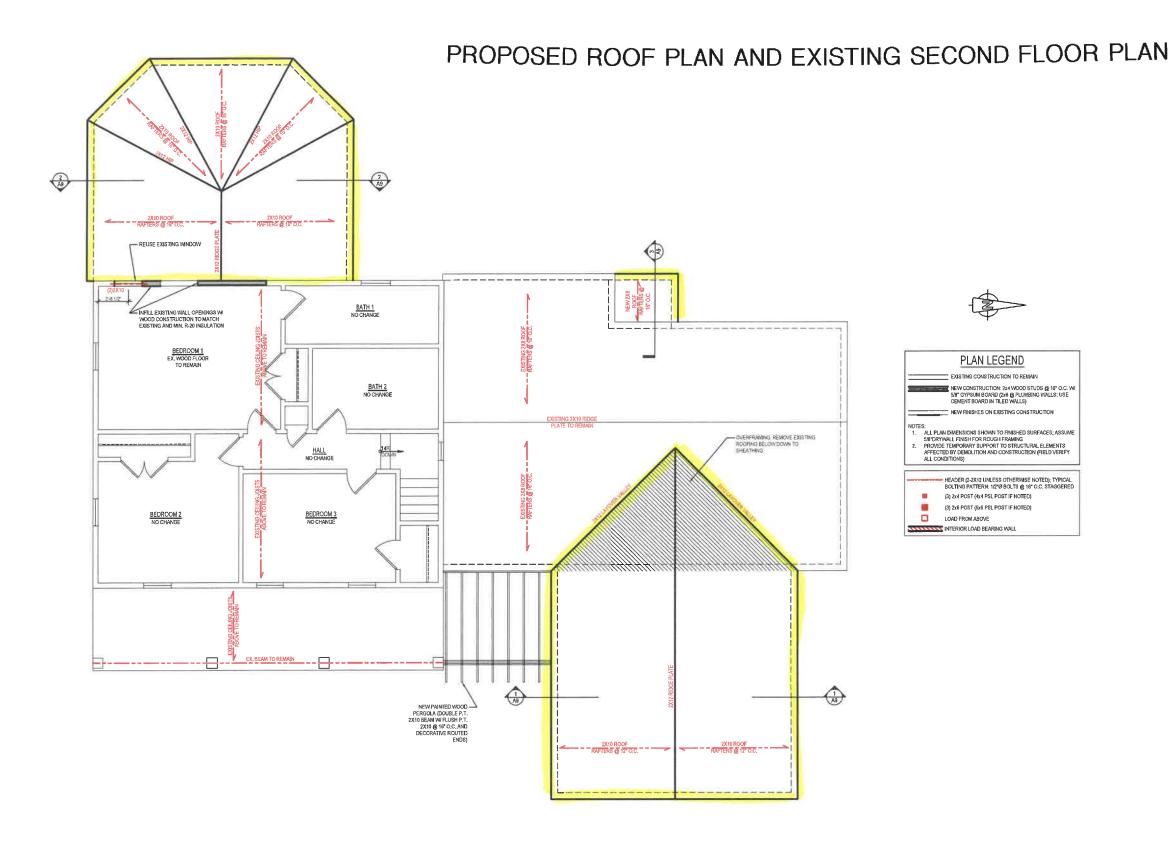
THE SORTO RESIDENCE
632 GRANDVIEW LN - LAKE FOREST, IL
LEFT SIDE (SOUTH) ELEVATION - SCALE: 3/16"=1'-0" - 05/09/2024
© OMAR GUTIERREZ, ARCHITECT

PROPOSED REAR ELEVATION (WEST)





THE SORTO RESIDENCE
632 GRANDVIEW LN - LAKE FOREST, IL
REAR (WEST) ELEVATION - SCALE: 3/16"=1'-0" - 05/09/2024
© OMAR GUTIERREZ, ARCHITECT

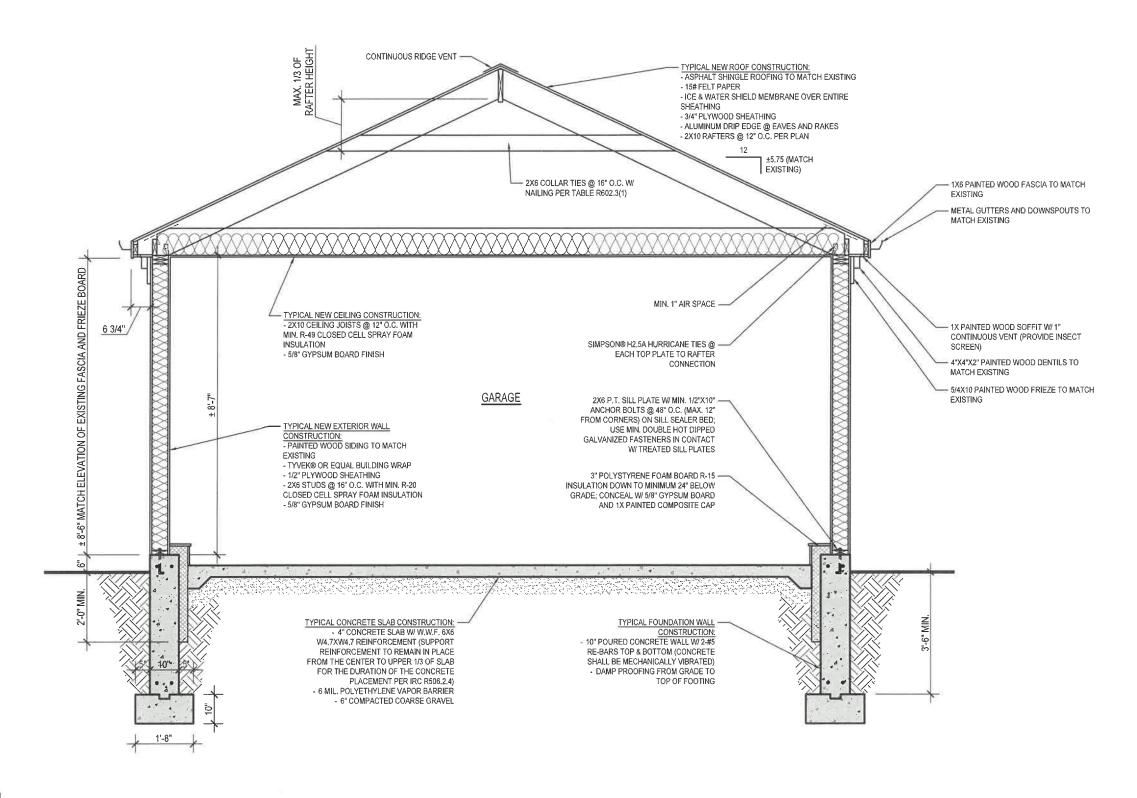




THE SORTO RESIDENCE
632 GRANDVIEW LN - LAKE FOREST, IL
PROPOSED SECOND FLOOR / ROOF PLAN - SCALE: 1/8"=1'-0" - 05/09/2024

© OMAR GUTIERREZ, ARCHITECT

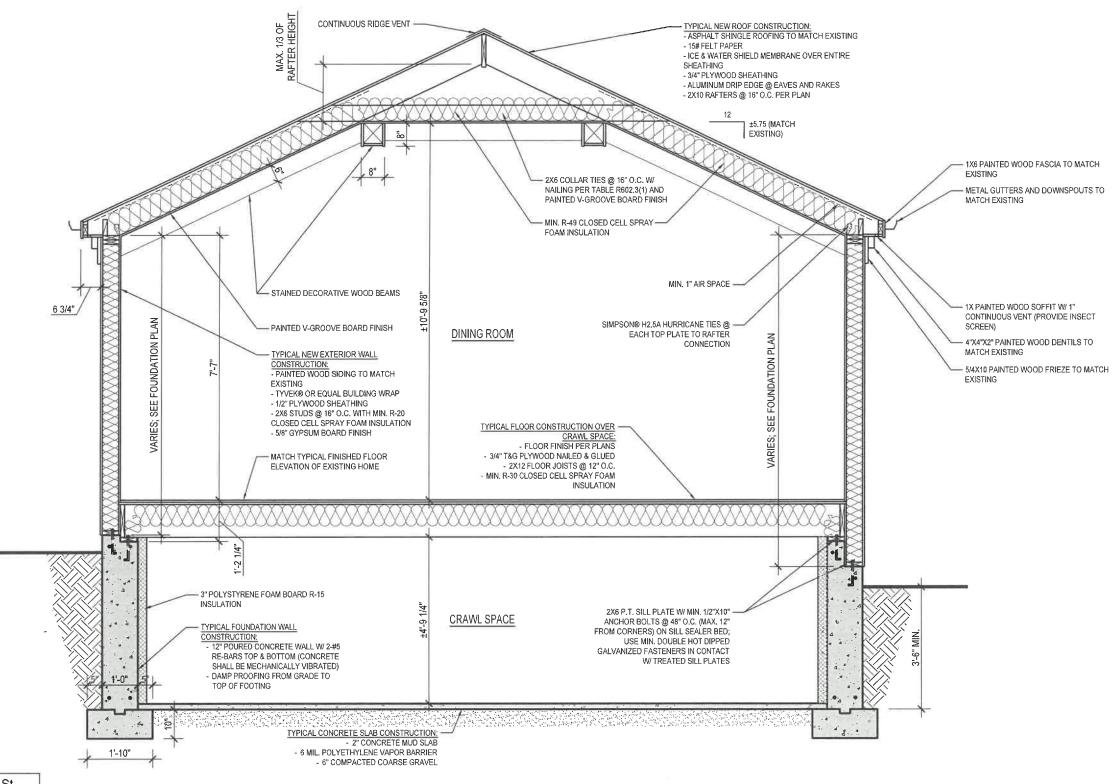
PROPOSED GARAGE CROSS SECTION





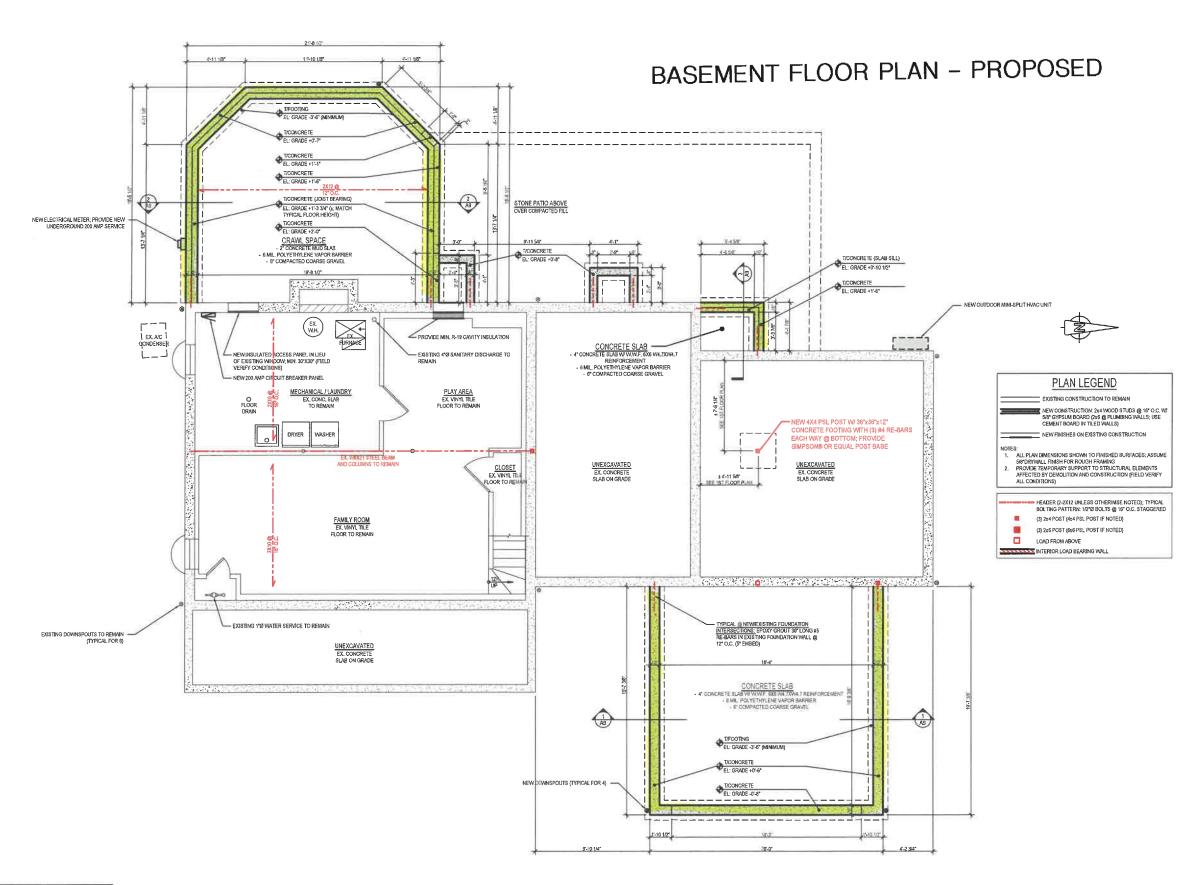
THE SORTO RESIDENCE
632 GRANDVIEW LN - LAKE FOREST, IL
PROPOSED GARAGE SECTON - SCALE: 3/8"=1'-0" - 05/09/2024
© OMAR GUTIERREZ, ARCHITECT

PROPOSED DINING ROOM SECTION





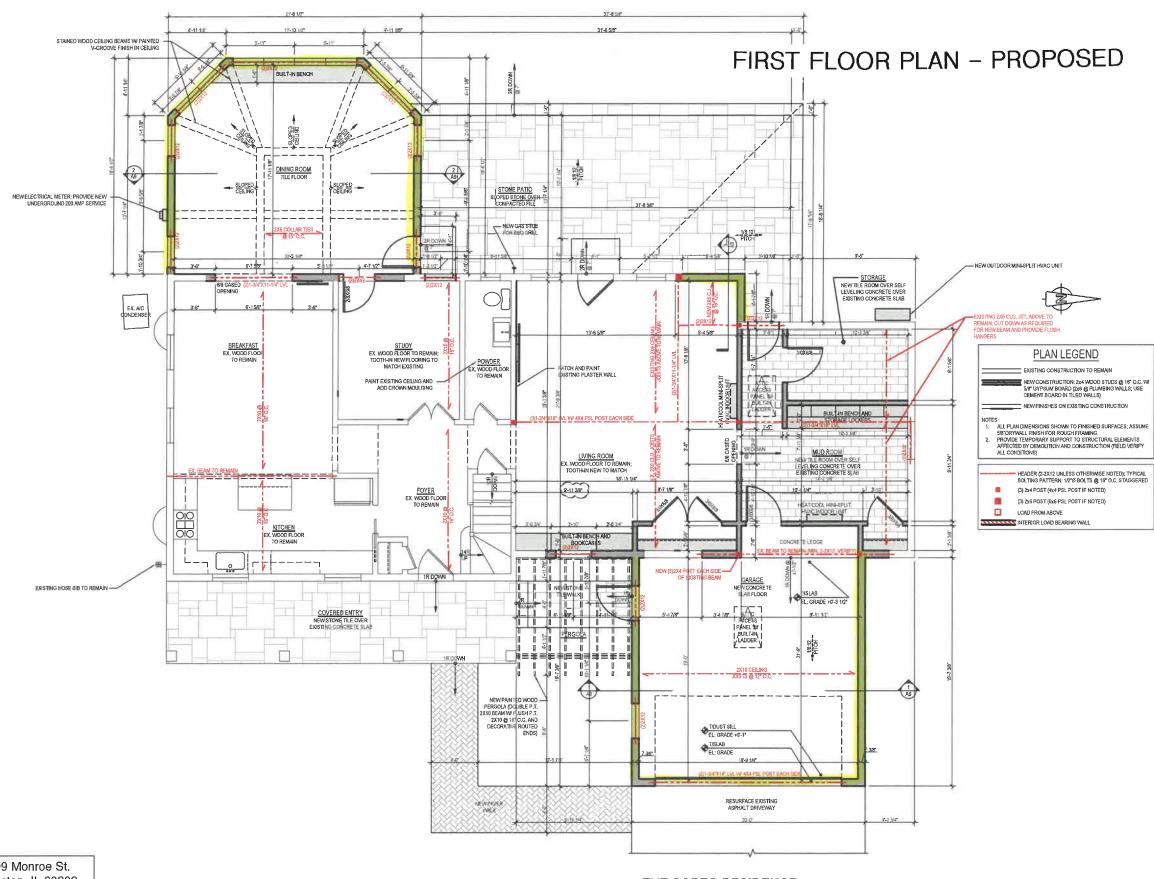
THE SORTO RESIDENCE
632 GRANDVIEW LN - LAKE FOREST, IL
PROPOSED DINING ROOM SECTON - SCALE: 3/8"=1'-0" - 05/09/2024
© OMAR GUTIERREZ, ARCHITECT





THE SORTO RESIDENCE
632 GRANDVIEW LN - LAKE FOREST, IL
PROPOSED BASEMENT / FOUNDATION PLAN - SCALE: 1/8"=1'-0" - 05/09/2024

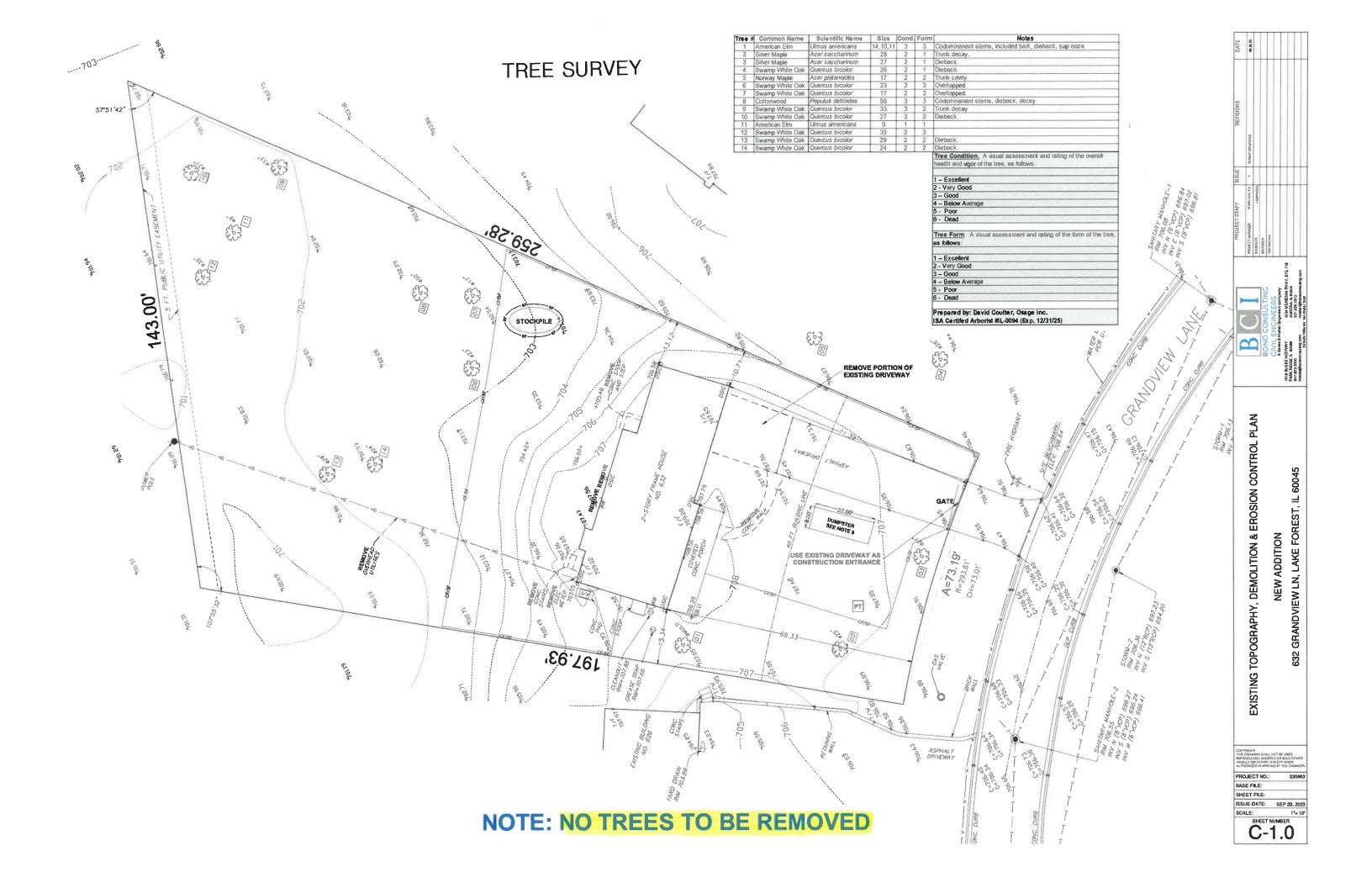
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THE SORTO RESIDENCE
632 GRANDVIEW LN - LAKE FOREST, IL
PROPOSED FIRST FLOOR PLAN - SCALE: 1/8"=1'-0" - 05/09/2024

© OMAR GUTIERREZ, ARCHITECT







Agenda Item 6 227 W. Onwentsia Building Scale Variance for Alterations and the Addition of a Pool House

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner
Application
Description of Materials
Statement of Intent
Site Plan
Elevations
Conceptual Renderings - Front
Roof Plan
Floor Plans
Conceptual Renderings - Rear

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

227 W. Onwentsia Road

Consideration of a request for building scale variance for alterations to the residence and the addition of a pool house.

Property Owner: Christine Roth

Presented by: Tom VanDeWeghe, Project Manager

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a building scale variance for alterations to the residence and the addition of a pool house. A preliminary landscape plan is included.

Description of Property

This property is located south of W. Onwentsia Road in the Onwentsia Acres subdivision, platted in 1950. It borders the Onwentsia Gardens subdivision to the south. The property is 58,827 square feet including the square footage of the 33-foot-wide Conservation Easement located along the west property line.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan - This standard is met.

The proposed house remains centered on the lot facing north toward Onwentsia Road. The footprint of the residence will be expanded with the proposed rear addition and a new front porch. Modifications to the roof are proposed including the addition of dormers. Pillars are proposed at the northwest driveway entrance and the landscape and driveway profile are proposed to change slightly. Additional hardscaping is proposed in both the front and the rear. A pool house and pool are proposed near the southwest corner of the property. Additional screening and plantings are proposed in and near the Conservation Easement to replace trees and other vegetation that were previously removed without proper approvals. A new fence is also proposed.

Staff Recommendation: Provide details on the proposed pillars at the northwest driveway entrance including lights and gates if any are proposed. If the pillars

are taller than four feet, they must be set back at least three feet from the property line.

Building Massing and Height – A variance is requested.

The maximum building height for this property is 30 feet. The highest point of the house, as measured from the lowest point of the existing grade, is approximately 30 feet. As noted above, the height of the proposed sunroom addition is 16 feet and 6 inches and is significantly lower than the maximum height allowed.

Based on the lot size, a residence of up to 6,506 square feet is permitted on the site with an allowance of 800 square feet for a garage and 651 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The existing residence totals 5,469 square feet.
- The garage totals 1,003 square feet. With a maximum garage exemption
 of 800 square feet, 203 square feet of the garage must be added to the
 square footage of the residence.
- In addition to the above square footage, a total of 959 square feet of design elements are incorporated into the design of the house. With a maximum design element exemption of 651 square feet, 308 square feet must be added to the square footage of the residence.
- The proposed first and second floor additions to the residence total 714 square feet.
- The pool house totals 688 square feet.

In conclusion, the residence with the proposed additions, alterations, and the pool house totals 7,382 square feet. That is 876 square feet or 13 percent over the maximum allowable square footage for this property. A variance is requested.

The standards that must be considered in evaluating a variance from the allowable square footage are reviewed below.

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, Standard 1 and at least one additional standard be met. The Code does not require that all five standards be met. These standards recognize that each project is different as is the context of each site. A staff review of the standards is provided below.

Standard 1 – The project is consistent with the design standards of the City Code.

This standard can be met. The Building Review Board is charged with reviewing the project and if determined to be appropriate, directing refinement, to assure compliance with the City's Design Guidelines. A recommendation from the Building Review Board in support of the petition will satisfy this Standard.

Standard 2 – Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

This standard can be met. Significant landscape screening is needed to screen views of the addition, pool and pool house. Replanting of the Conservation Easement is required and will, over time, restore the trees and vegetation that was previously removed from the protected area.

Standard 3 – New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

This standard can be met. The proposed addition and pool house are not visible from the streetscape. As stated in the finding for Standard 2, significant landscaping is needed to screen views of the rear of the home, pool and pool house. The landscaping should screen both the increased massing which is over and above the allowable square footage and lights. Light fixtures will need to comply with the dark sky character of the area, directing light downward.

Standard 4 – The height and mass of the structure(s) will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

This standard is met. Structures on surrounding properties consist of single-story and multi-story homes. The proposed addition and new pool house comply with the height limitations.

Standard 5 – The property is located in a local historic district or is designated as a Local Landmark and the approval of a variance would further the purpose of the ordinance.

This standard is not met. The property is not located in a local historic district or designated as a Local Landmark.

Standard 6 – The property is adjacent to land used and zoned as permanent open space, a Conservation Easement, or a detention pond

and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

This standard is partially met. A Conservation Easement extends along the west side of the property, this area is to remain vegetated and will help to mitigate views of the increased mass on the property.

In summary, the criteria for a building scale variance are satisfied. The first three Standards can be met with enhancements to the plans. The fourth Standard is met and the sixth Standard is partially met.

At its tallest peak, the residence as measured from the lowest point of existing grade, is 27 feet. The maximum height allowed for a residence on this size lot is 40 feet as measured from the lowest point of existing grade to the tallest roof peak.

Elevations – This standard is generally met.

The petitioner intends to make alterations to the existing home. Fenestration and materials are changed throughout all four elevations. The changes proposed on the north elevation appear to provide symmetry with the proposed dormers and addition to the roof form. The addition of stone and a front porch is intended to add a sense of arrival. Removal of the semi-round windows and horizontal trim on the gable ends unifies the facade.

The changes proposed on the south elevation simplify the roof form. The addition of a gable roof and dormers break up the roof form and match the look of the front elevation. Full height windows and sliding doors are added. An outdoor dining area is tucked under the new roof form allowing for a transitional space.

The trim on the east and west elevation carries the look of the front elevation around the home.

The pool house matches the main residence in style and materials. Its prominence to the rear neighbors, with a chimney height over 20 feet tall, is noted.

Type, color, and texture of materials – This standard is met.

Hardie shingle siding is proposed with painted wood fascia, soffits, trim, window casing, wood columns and beams. The proposed roof material is a synthetic product that is intended to imitate cedar shake. Limestone veneer is proposed on the landscape wall at the front entry and on the chimney at the rear of the proposed pool house. The walkways and terraces are proposed to be bluestone pavers.

Staff Recommendation: Material samples should be provided at the Building Review Board meeting.

Landscaping - This standard can be met.

The petitioner is working with a landscape architect to finalize the landscape plan. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum:

- 1. Meet the landscaping standards for new residences detailed in the Code.
- 2. Restore plantings in the Conservation Easement along the west property line.
- 3. Include replacement tree inches to account for any additional trees removed to accommodate the proposed construction.

The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

Staff Recommendation: Restore significant plantings in the Conservation Easement.

Staff Recommendation: Screen the mechanical equipment on the east elevation with landscaping.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this petition.

Recommendation

Recommend approval of a building scale variance to allow alterations and additions to the residence and construction of a pool house based on the findings presented in this staff report and incorporating the Board's deliberations as additional findings subject to the following conditions of approval.

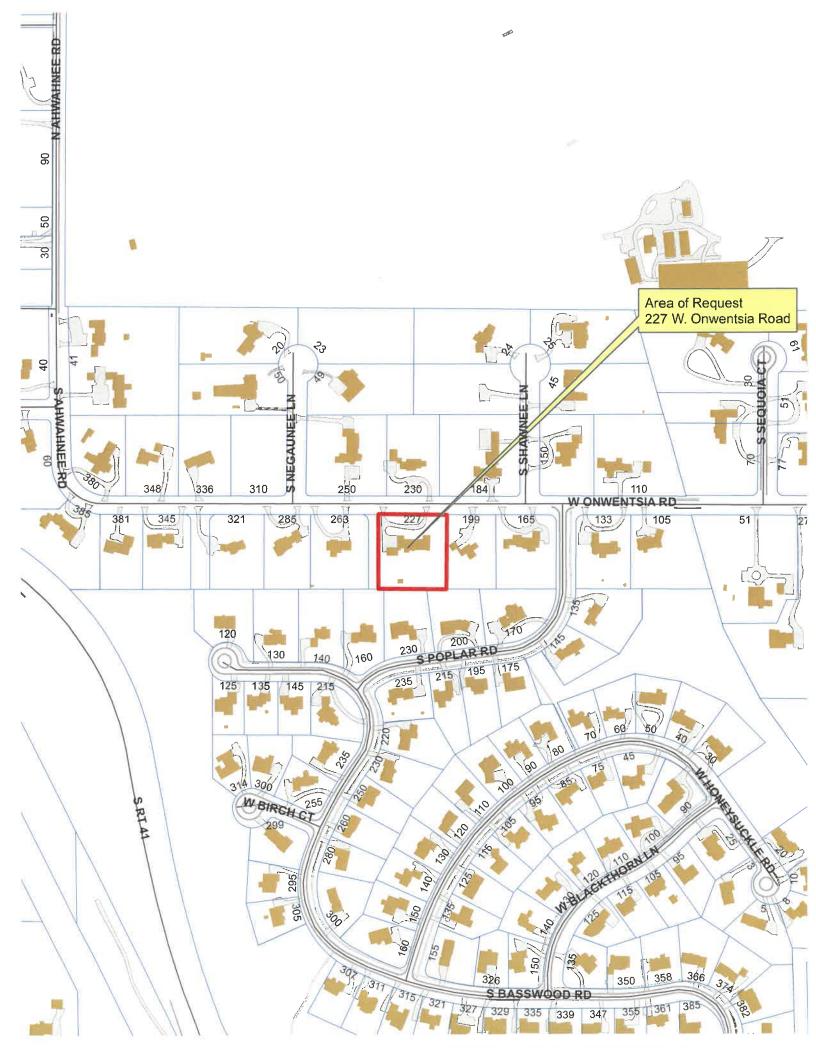
- Provide details on the proposed pillars at the northwest driveway entrance including lights and gates if any are proposed. If the pillars are taller than four feet, they must be set back at least three feet from the property line.
- 2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of

final design development, shall be clearly called out on the plans submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

- 3. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping. The landscape plan shall:
 - a. Restore significant plantings in the Conservation Easement.
 - b. Screen the mechanical equipment on the east elevation with landscaping.
- 4. Tree Protection Plan Prior to the issuance of a building permit, a plan to protect all trees that may be impacted during construction must be submitted and will be subject to review and approval by the City.
- 5. At the time of submittal for a building permit, detailed drainage and grading plans must be submitted. No grading or filling shall be permitted except the absolute minimum necessary to meet accepted engineering standards and practices.
- 6. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
- A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address	227 W Onwenstsia			Owner(s)	Christine	Rot	h		
Architect	Tom VanDeWeghe			Reviewed by:		<u>L. P</u>	rado		
Date	6/5/2024								
Lot Area	58827 sq. ft.	Allowed Square Fo	otage	6506					
Square Foota	ge of Residence								
1st floor	+ 2nd floor	1039 + 3r	d floor	0		=	5469	sq. ft.	
Design Eleme	ent Allowance =	651 sq. ft.							
Total Actual [Design Elements =	959sq. ft.			Excess	=	308	sq.ft.	
Garage	sf actual ;	sf allow	vance		Excess	= _	203	sq. ft.	
Garage Width	nft.	may not exceed 24' in	width c	on lots					
Basement Are	ea	18,900 sf or less in siz	e.			=_	0	sq. ft.	
Accessory bu	uildings					=	688	sq. ft.	
Proposed Ad	ditions					=	714	sq. ft.	
Total Square	Footage of Residence					=_	7382	sq. ft.	
TOTAL SOLIA	RE FOOTAGE					=	7382	sq. ft.	
		1				_	6506	sq. ft.	
TOTAL SQUARE FOOTAGE ALLOWED					_			NET RESULT:	
DIFFERENTIA	IL					-	876 Over Maxim	sq. ft.	
								1	876sq. ft. is
Allowable He	ight:ft.	Actual Height	2	7ft.			1	Nearly	13% over Max. allowed
DESIGN ELEN	MENT EXEMPTIONS								
De	sign Element Allowance:	651	sq. ft.						
	Open Porches =		sq. ft.						
Rea	r & Side Screen Porches =		sq. ft.						
	Covered Entries =		sq. ft.						
	Portico =		sq. ft.						
	Porte-Cochere =		sq. ft.						
	Breezeway =		sq. ft.						
	Pergolas =		sq. ft.						
	Dormers =		sq. ft.						
	Bay Windows =	0	sq. ft.						
Total A	actual Design Elements =	959	sq. ft.	Exces	s Desig	n Ele	ements =	0	sq. ft.









THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 227 Onwentsia Road, Lake Farest.

APPLICATION TYPE	<				
Residential Projects	COMMERCIAL PROJECTS				
New Residence New Accessory Building Addition/Alteration Building Scale Variance Other					
Property Owner Information	ARCHITECT/BUILDER INFORMATION				
Christine Roth Owner of Property	Tom Van De Weghe, Project Mar Name and Title of Person Presenting Project				
227 W. Onwents:a Rd. Owner's Street Address (may be different from project address)	TEA2 Design Name of Firm				
Lake Forest, IV 60045 City, State and Zip Code	2724 W. 43rd St. Street Address				
847 · 910 · 7474 . Phone Number Fax Number	Minneapolis, MN 55410 City, State and Zip Cons				
croth@ermangroup.co					
Email Address	Phone Number Fax Number Vandeweg he @tealdesign. W Email Address				
Owner's Signature	Representative's Signature (Architect/Builder)				
The staff report is available the Fr	iday before the meeting, after 3:00pm.				
Please email a copy of the staff report	OWNER REPRESENTATIVE				
Please fax a copy of the staff report	□ OWNER □ REPRESENTATIVE				
I will pick up a copy of the staff report at the Community Development Department	OWNER D REPRESENTATIVE				



THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION DESCRIPTION OF EXTERIOR MATERIALS

Façade Material	
Stone (Partial) Brick Wood Clapboard Siding Stucco Color of Material Greyish-White Greyish Brann Window Treatment	□ Wood Shingle □ Aluminum Siding □ Vinyl Siding □ Synthetic Stucco □ Other Stave: limestave.
Primary Window Type	Finish and Color of Windows
Double Hung CLAD Casement CLAD Sliding Other	□ Wood Aluminum Clad □ Vinyl Clad □ Other □ Color of Finish
Window Muntins	
☐ Not Provided ☐ True Divided Lites	
Simulated Divided Lites	
Interior and Exterior muntin bars Interior muntin bars only Exterior muntin bars only Muntin bars contained between the glass	
Trim Material	
Door Trim	Window Trim
☐ Limestone ☐ Brick ────────────────────────────────────	☐ Limestone ☐ Brick ☐ Wood ☐ Synthetic Material ☐ Other
Fascias, Soffits, Rakeboards	
	Tru Exterior (Boral)

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney N	Material Material
X	Brick Stone Stucco Other
Roofing	
Prin	nary Roof Material Flashing Material
	Wood Shingles Wood Shakes Sheet Metal Clay Tile Composition Shingles Sheet Metal Other Sheet Metal Other Sheet Metal
Colo	r of Material
Gutters an	d Downspouts
M □	Copper Aluminum Other <u>Painted half</u> round gutters & dannsporte (alumi or steel).
Driveway I	naterial
XONOO	Asphalt Poured Concrete Brick Pavers — partial Concrete Pavers Crushed Stone Other
Terraces a	nd Patios
X	Bluestone Brick Pavers Concrete Pavers Poured Concrete Other



April 19, 2024

BUILDING REVIEW BOARD APPLICATION – Building Scale Christine & Ted Roth, Owners, residence at: 227 West Onwentsia Road Lake Forest, IL 60045

Prepared by:

TEA2 Design -- Authorized representative Tom Van De Weghe, Senior Project Manager and Dan Nepp, Principal

LEGAL PROPERTY DESCRIPTION:

LOT 33 AND THAT PART OF LOT "4" LYING EAST OF A LINE DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF LOT 33 IN SAID SUBDIVISION: THENCE WEST ALONG THE SOUTH LINE OF SAID LOT "B' TO AN EQUIDISTANT POINT BETWEEN SAID SOUTHWEST CORNER OF LOT 33 AND THE SOUTHEAST CORNER OF LOT 32 IN SAID SUBDIVISION: THENCE DUE NORTH TO THE TERMINUS POINT OF SAID TINE BEING THE SOUTH LINE OF ONWENTSIA ROAD AS EXTENDED EAST AND WEST, ALL IN THE ESTATE OF LEANDER J. MCCORMICK ONWENTSIA ACRES, BEING A SUBDIVISION IN SECTION 5. TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED JANUARY 30, ,1950, AS DOCUMEIJT 690062, IN BOOK 32 OF PLATS. PAGES 14 ANO 15, IN LAKE COUNTY, ILLINOIS.

DESCRIPTION OF EXTERIOR MATERIALS:

- --Hardie Shingle (painted) wall siding, possibly with stained cedar wall shingles in the darker toned upper gable areas).
- --Painted wood fascia, soffits, trim and window casing.
- -- Painted wood columns & beams.
- --Painted stile & rail paneling with painted tongue & groove panels at the Entry Porch wall, and at the southside Dining Room 'bay'.
- --Note: In some locations, TruExterior (Boral) or 'engineered pre-primed wood' may be substituted for wood for durability.
- --Clad Marvin (or equal) insulated windows (double hung and casements) and French doors with simulated divided lites (interior & exterior).
- --Synthetic 'cedar shake' roof shingles.
- --Painted metal half-round gutters and round downspouts
- --Limestone wall veneer (random ashlar pattern) on streetside elevation (also used on entry drive site walls).
- --Bluestone paver walkways & terraces.

PROJECT SUMMARY and STATEMENT OF INTENT:

The existing house has not been renovated in decades. The weatherworn windows, siding and roof are all badly in need of complete replacement. The Roth's would like to take the opportunity to not only replace these necessary items, but they also want to add some architectural features that will bring the house up to the quality level of the surrounding houses in the neighborhood.

The house as it stands today is the sum of an original house plus two uncoordinated additions. The sum of these parts is a bit of a jumble, lacking order and lacking typical features found in neighboring houses. Additions proposed in this application include:

- -- A new entry porch, similar to neighboring houses
- --An added center gable roof form (on the west end) Filling in a 'missing tooth' that will help allow the street elevation to have an architecturally appropriate symmetry.
- --New north (street side) dormers, partially re-using the existing dormers with some new dormers added. This will further reinforce the street-side house symmetry.

The existing house interior is also not equivalent to the contemporary standard of typical houses in the neighborhood. Interior ceilings throughout the house are barely 8 feet high, and the room sizes are of a smaller scale from the original 1950's house. The proposed interior changes include demolition of the existing Sunroom, Dining Room and Living Room, replacing them with a modern Kitchen, Dining Room and Living Room, all with higher ceilings and views of the backyard. 'Backside' additions associated with these interior remodeled spaces include:

- -- A new Living Room projecting gable and stone chimney
- -- A new Owners Suite Porch roof
- -- A new Dining Room 'bay'
- --New 'false' roofs are added to simplify and unify the south elevation
- -- A new Pool and Poolhouse are proposed

VARIANCE REQUEST: Building Scale Variance

Practical difficulties or hardships:

When Roth's purchased this house they inherited a house that was below the neighborhood standard for houses. Their intent is to update the house, replacing the old and warn out exteriors, while at the same time investing in new additions that will bring the house up to the standards of their neighborhood. Their desire is to help raise the quality of the neighborhood, whereas today the house is below the current standard.

The Bulk Book calculations for this proposed project are also hampered in two ways:

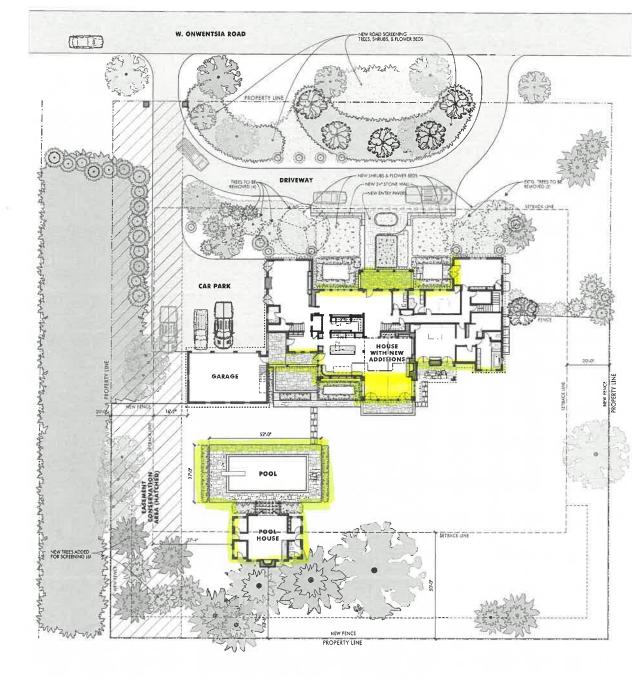
1) Minimum Lot Area in the R4 district is listed as 60,000 s.f. for single family detached dwellings. The Roth lot is under this standard at 58,827. This lower lot area total reduces the 'Maximum Allowable Bulk"

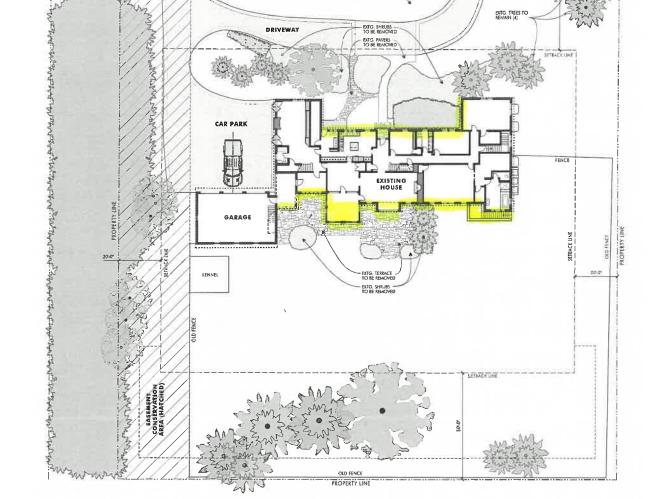
2) The attached Garage that the Roth's purchased was already too large by code. At 879 s.f., the Main Level of the Garage is already 79 s.f. over the allowable 800 s.f. area. Further, the previous owner was allowed to build a Garage tall enough that they could create a finished space (with generous dormer areas) for an Upper Level. The Bulk Book calculations for this Upper Level Garage area adds a further 354 s.f. (measured at the 19' line), for a total Garage area of 1233 s.f. – 433 s.f. over the allowable amount. If 433 s.f. were removed from our Bulk Book calculations, the final 'overage %' would be 6.8%, not 13.4%.

Variance has to be in harmony with the general purpose and intent of the code:

The Building Scale code, and the Bulk Book Workbook, seek to maintain a standard for the scale of residential projects, and to especially encourage projects that have an appreciation of historic character and attention to detail. The aim of the Roth remodeling and addition project has been to create a new 'good neighbor' on the street-side, matching the quality and character seen all along Onwentsia Road. Almost of the proposed additions, which affect the final 'overage' seen in the Bulk Book, are massed in the back side of the house, unseen by the neighbors. However, even these additions are sensitively scaled. All of these changes seek to improve the Roth's house, but also to improve the neighborhood as a whole. This also includes an investment in roadside landscaping.

SITE PLAN





Site Plan & Landscape Plan - Existing

SCALE: 1'=20'-0'

O_MP10

TOTAL PROPERTY VOFT	58,827 5011		
DRIVEWAY	5.616 SQF1		
ENTRY WALK AND TERRACES	433 SQF1		
HOUSE	4,493 SQFI		
GARAGE	900 SQF1		
BRÉEŻEWAY	192 SQF7		
SOUTH WALK AND TERRACES	1,003 SQF1		
KENNEL/SHED	306 SQF1		
EXT, STAIR TO BASEMENT	119 SQF3		
TOTAL HARD SURFACE SQFT	13,062 SQF1		

Site Plan & Landscape Plan - Proposed

SCALE: 11-20-09' 0_19100

TOTAL PROPERTY SQFT.	58,827 SQF
DRIVEWAY	5,986 SQF
ENTRY WALK AND TERRACES	543.90/
HOUSE	4,731.504
GARAGE	900 50/
BREEZEWAY	357.506
SOUTH WALK AND TERRACES	745 SQF
POOL DECK	775 SQF
POOL HOUSE	688 SQF
TOTAL HARD SURFACE SQFT	14,725 SQF

PERCENT HARD SURFACE - PROPOSED



TEA2

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Not for Construction

Project Name

Roth Residence

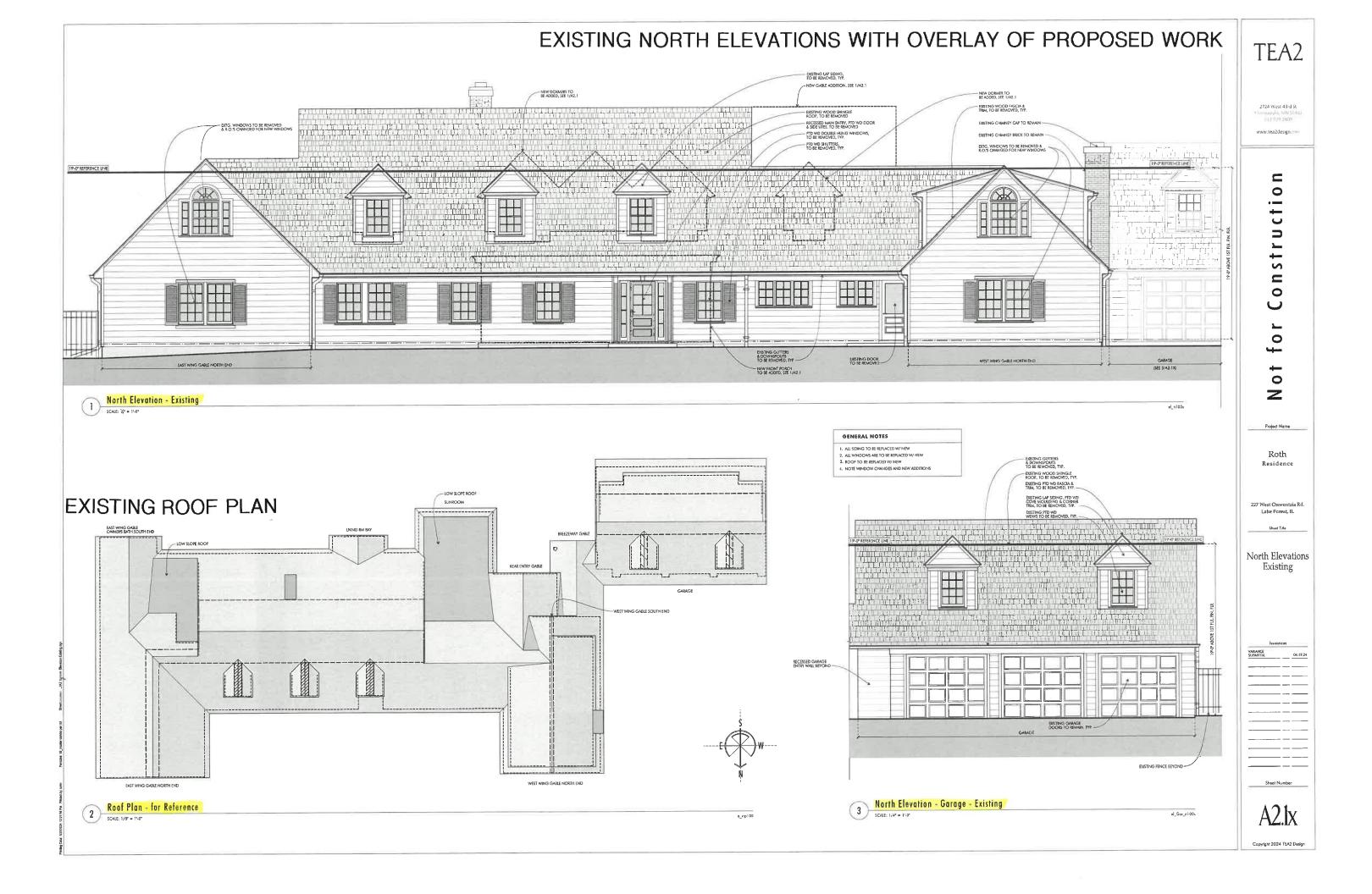
227 West Onwentsia Rd. Lake Forest, IL

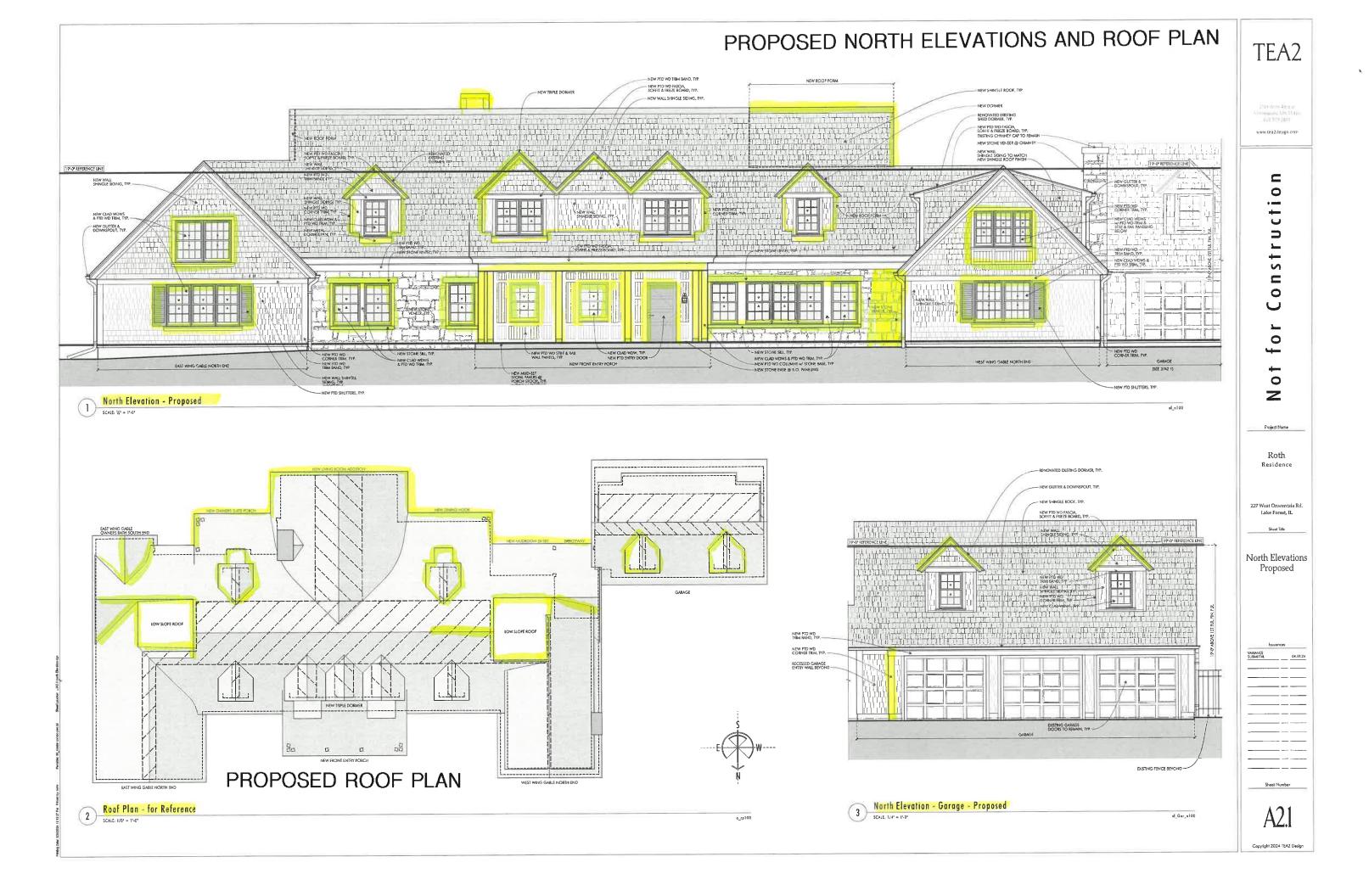
> Existing & New Site Plans

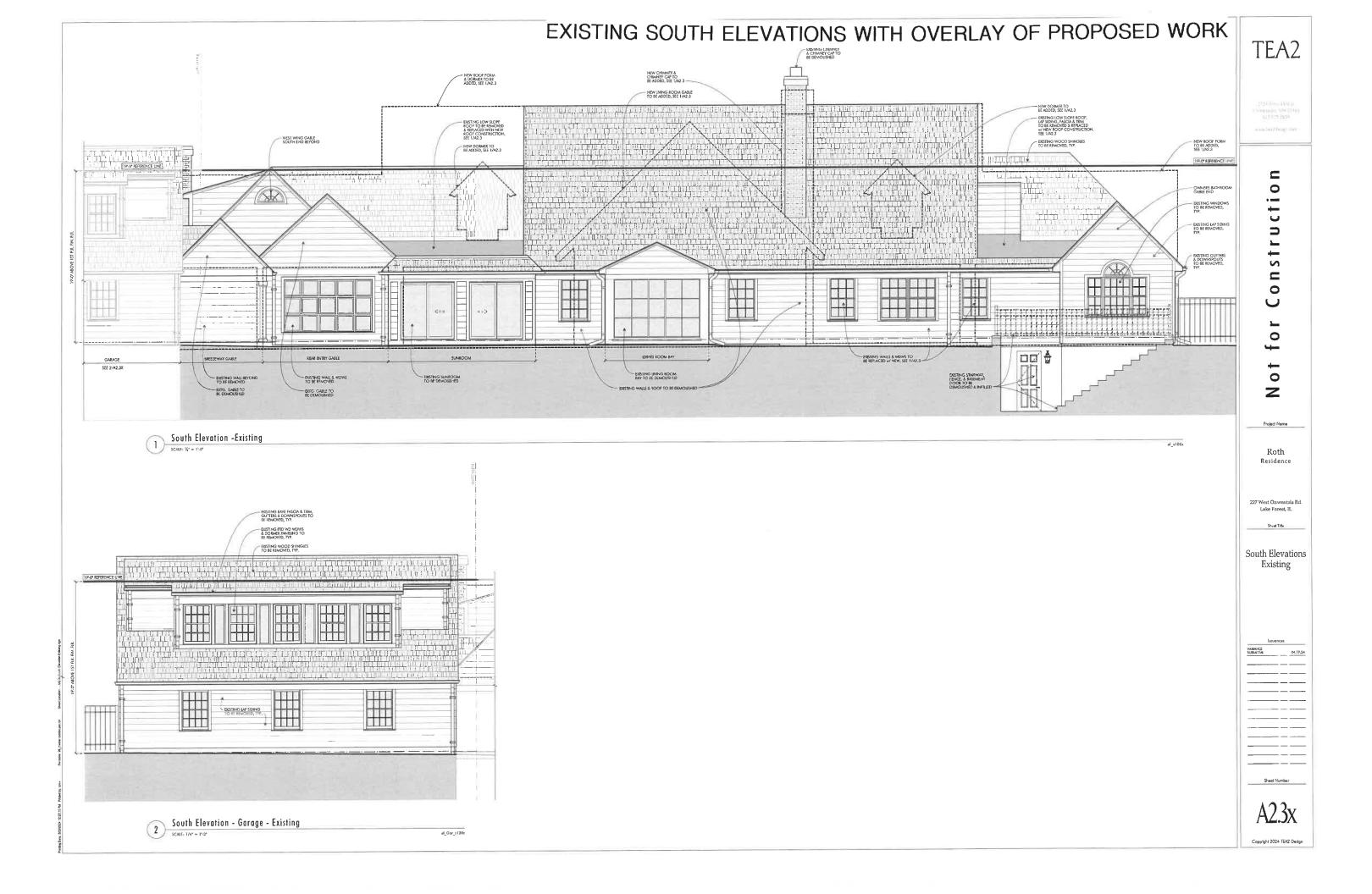
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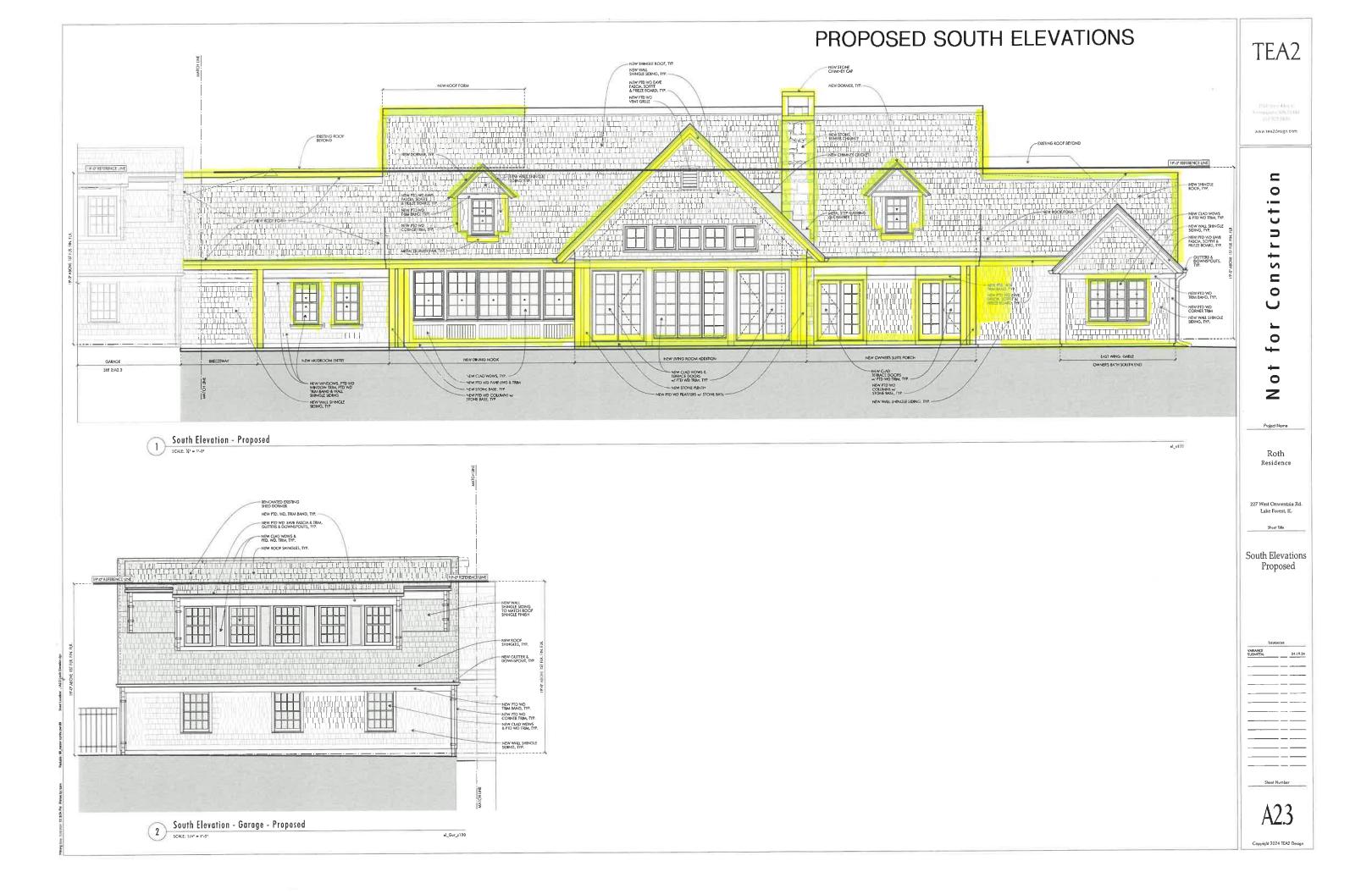
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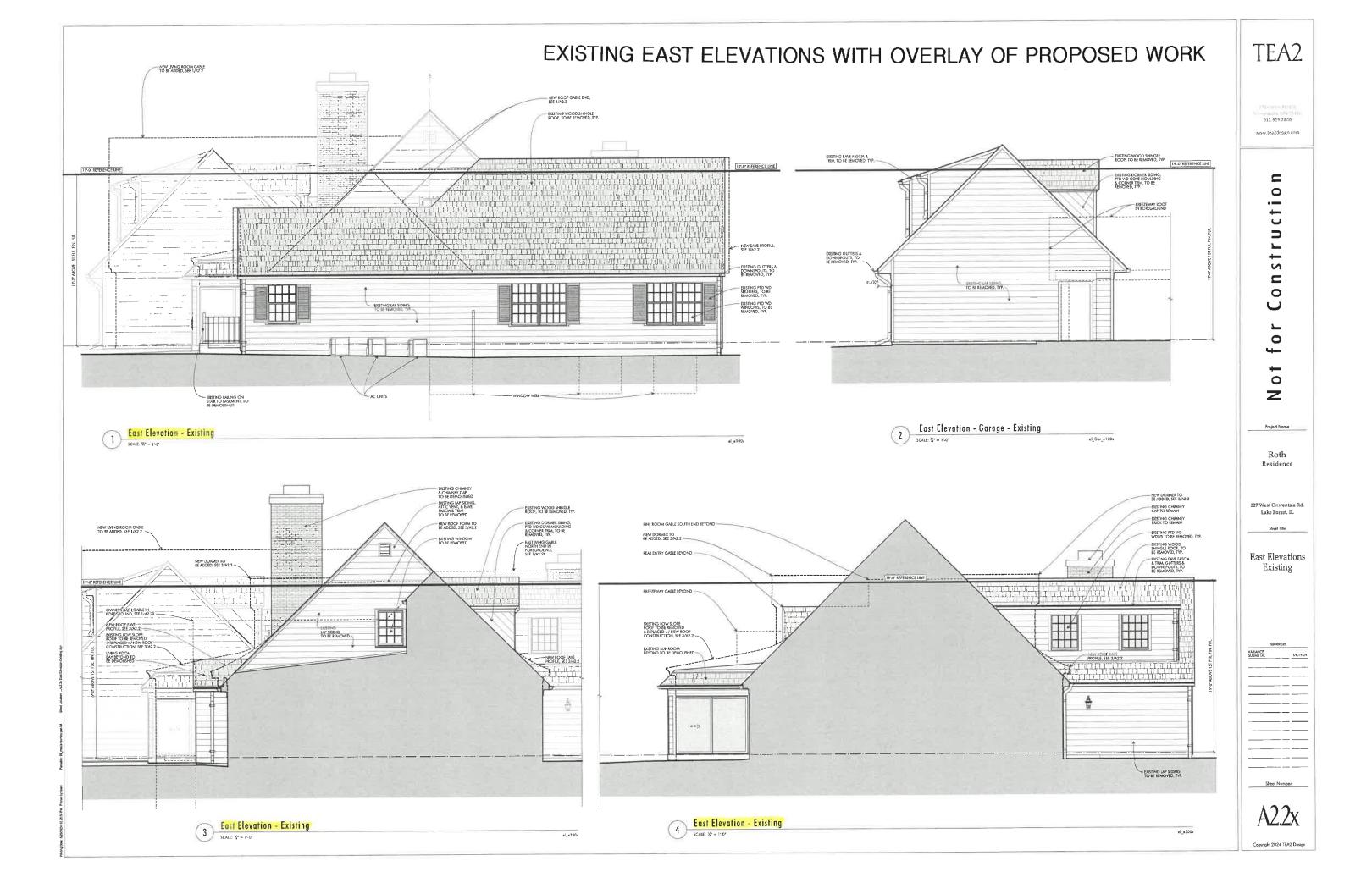
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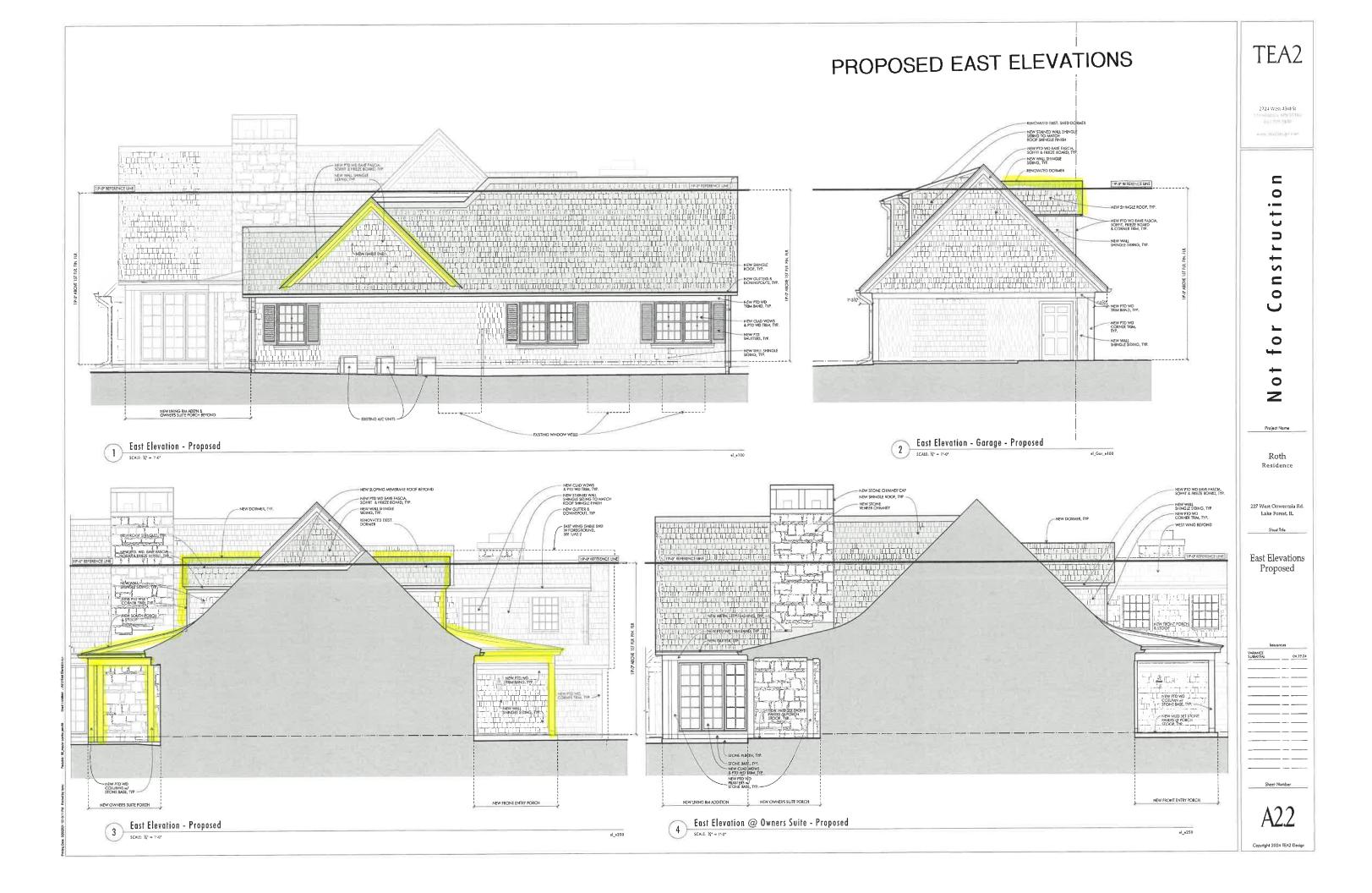












EXISTING WEST ELEVATIONS WITH OVERLAY OF PROPOSED WORK EXISTING CHIMNEY CAP TO REMAIN EXISTING WOOD SHINGLES TO BE REMOVED, TYP. EXISTING CHIMNEY BRICK TO BE REMOVED 19'-0' REFERENCE LINE EXISTING EAVE FASCIA & TRIM, GUTTER & DOWNSPOUTS TO BE REMOVED, TYP. TO BE REMOVED, TYP DUSTING PTD WD WINDOWS & DOORS TO BE REMOVED, TYP. EXISTING PTD WD SHUTTERS TO BE REMOVED, TYP. West Elevation -Existing EXISTING WOOD SHINGLES TO BE REMOVED, TYP. EXISTING PTD WD WDW & LAP SIDING TO BE REMO NEW LIVING ROOM GABLE TO BE ADDED, SEE 2/A2.4 1910* EFFENCE UNE NEW EAVE PROFILE, SEE 2/A2.4 PINE ROOM GABLE NORTH END IN FOREGROUND EXISTING GUTTER & DOWNSPOUTS TO BE REMOVED. TYP. EXISTING SUNROOM TO BE DEMOUSHED EXISTING EAP SIDING TO BE REMOVED, TYP. 622 NEW FRONT PORCH TO BE ADDED, SEE 2/A2.4 SUNROOM West Elevation - Existing

TEA2

2724 West 43rd St Minneapolis, MN 55-110 612-929-2800 www.tea2design.com

ot for Construction

Project Name

Roth Residence

227 West Onwentsia Rd. Lake Forest, IL

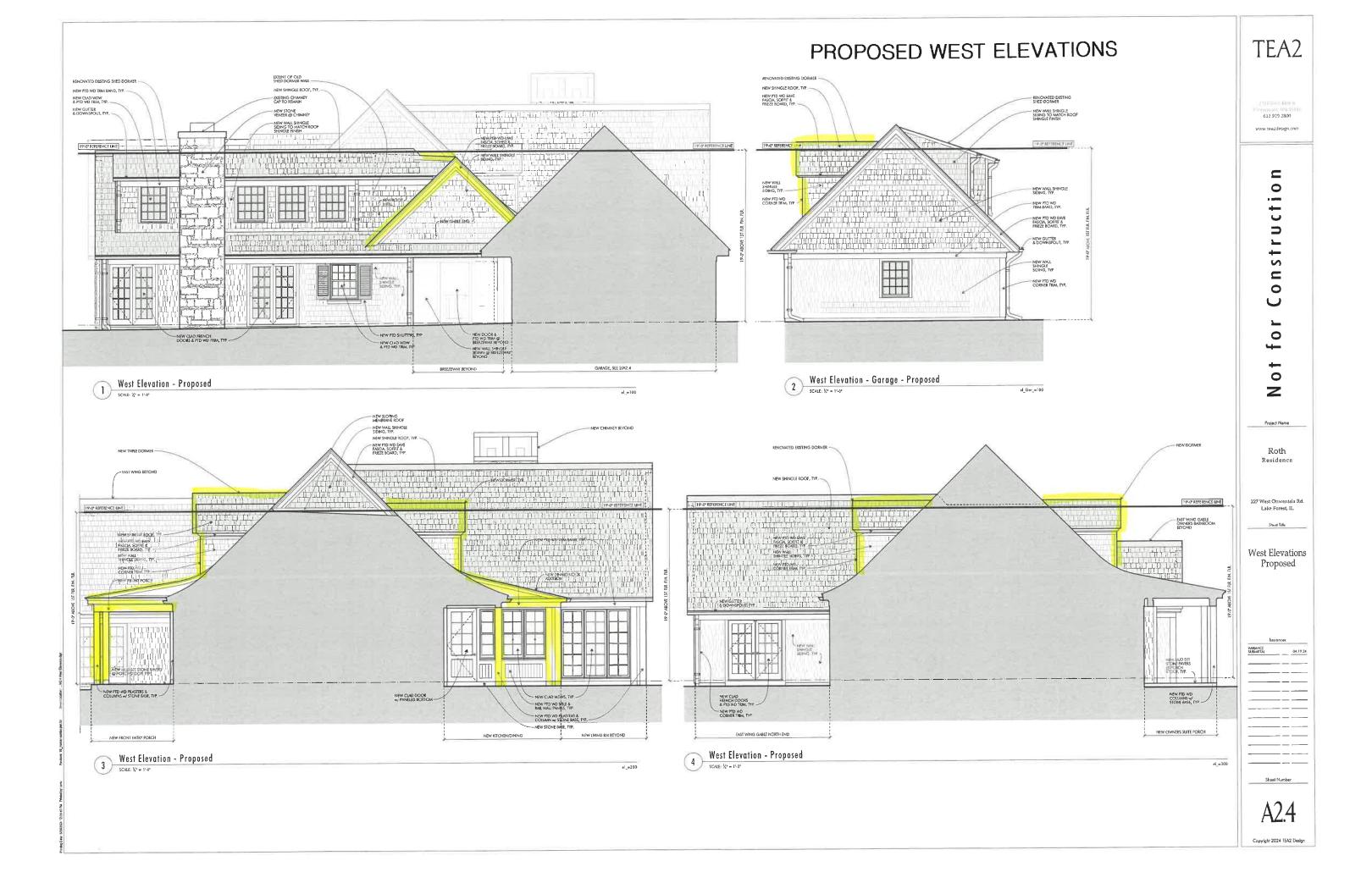
West Elevations Existing

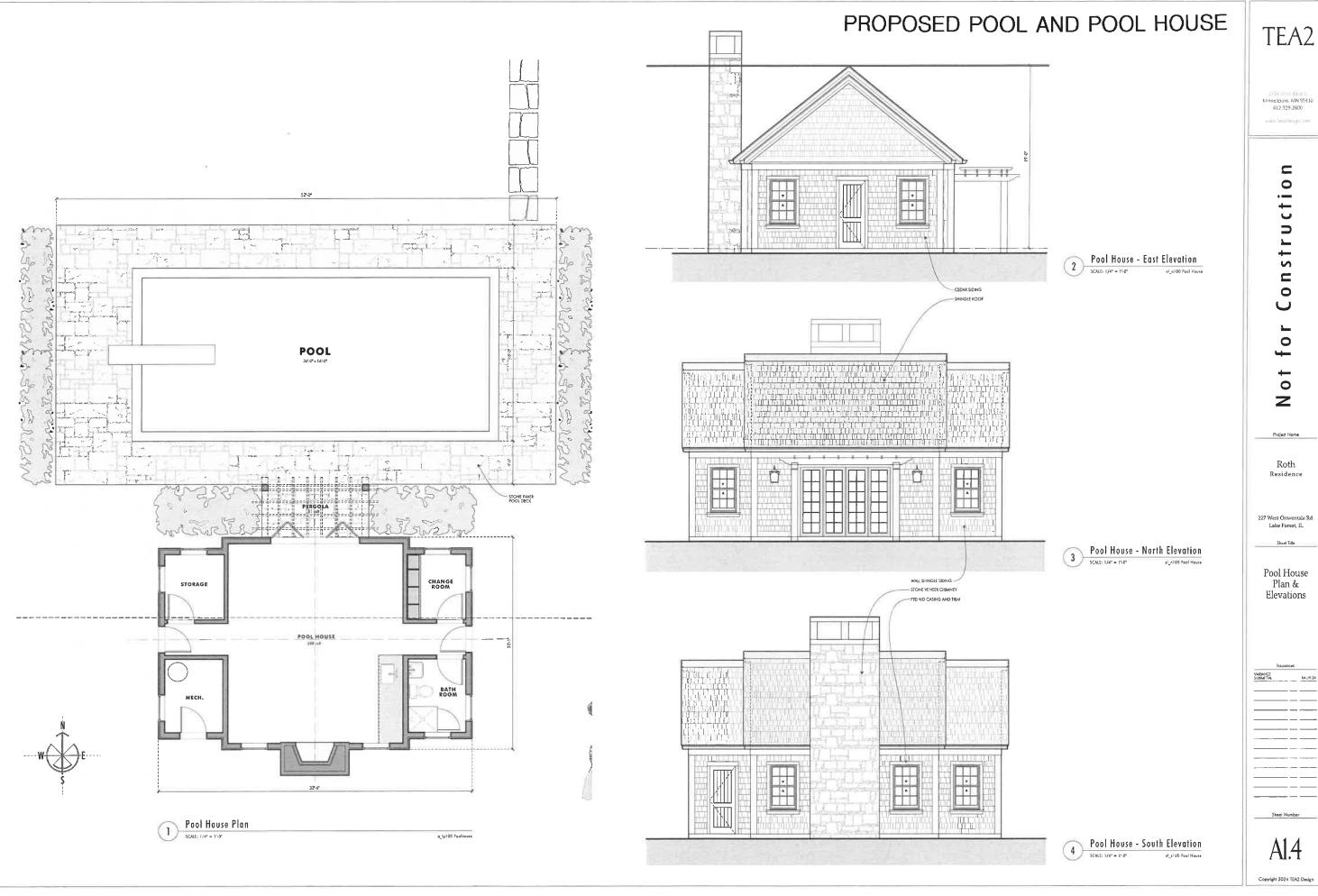
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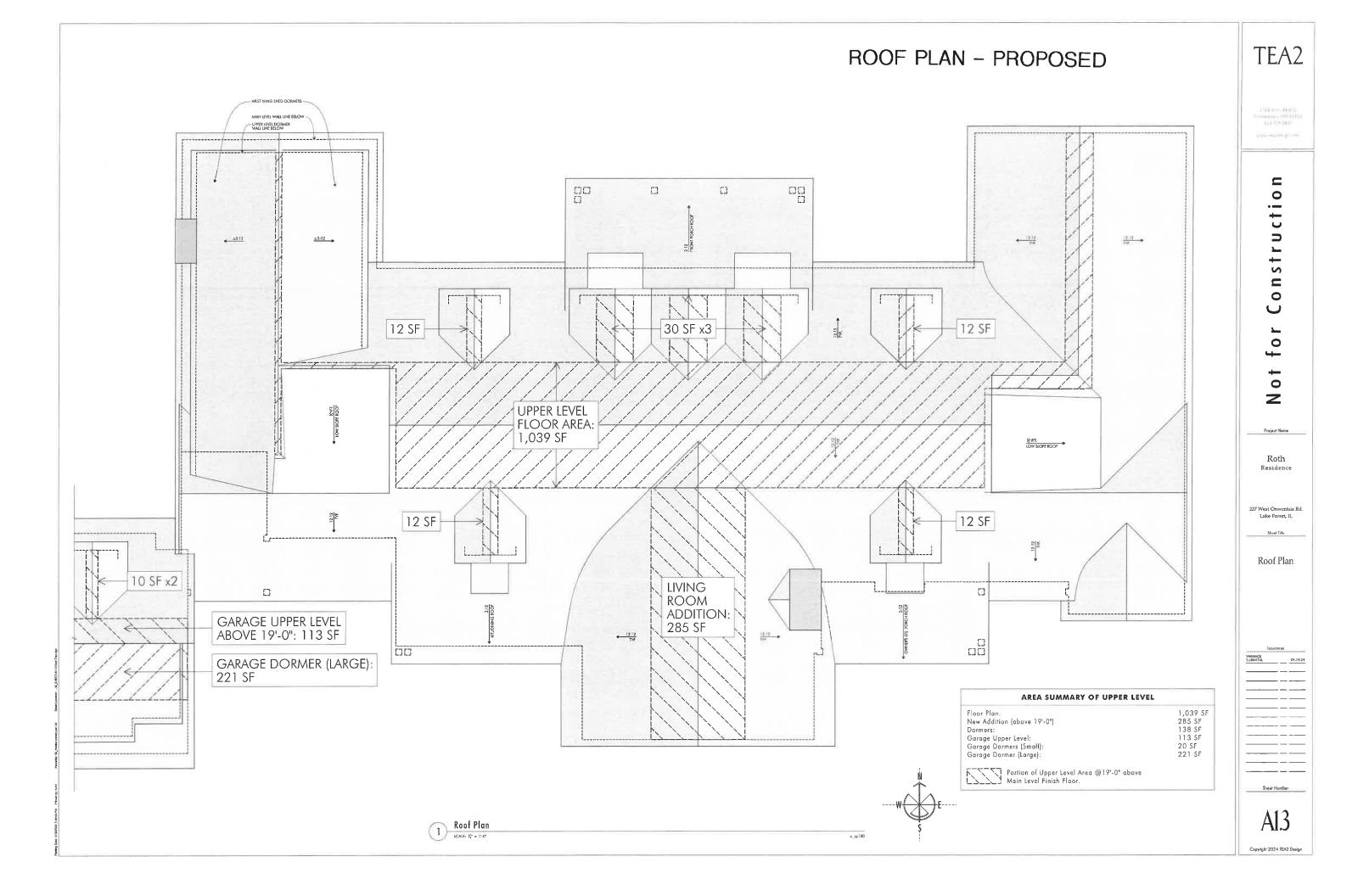
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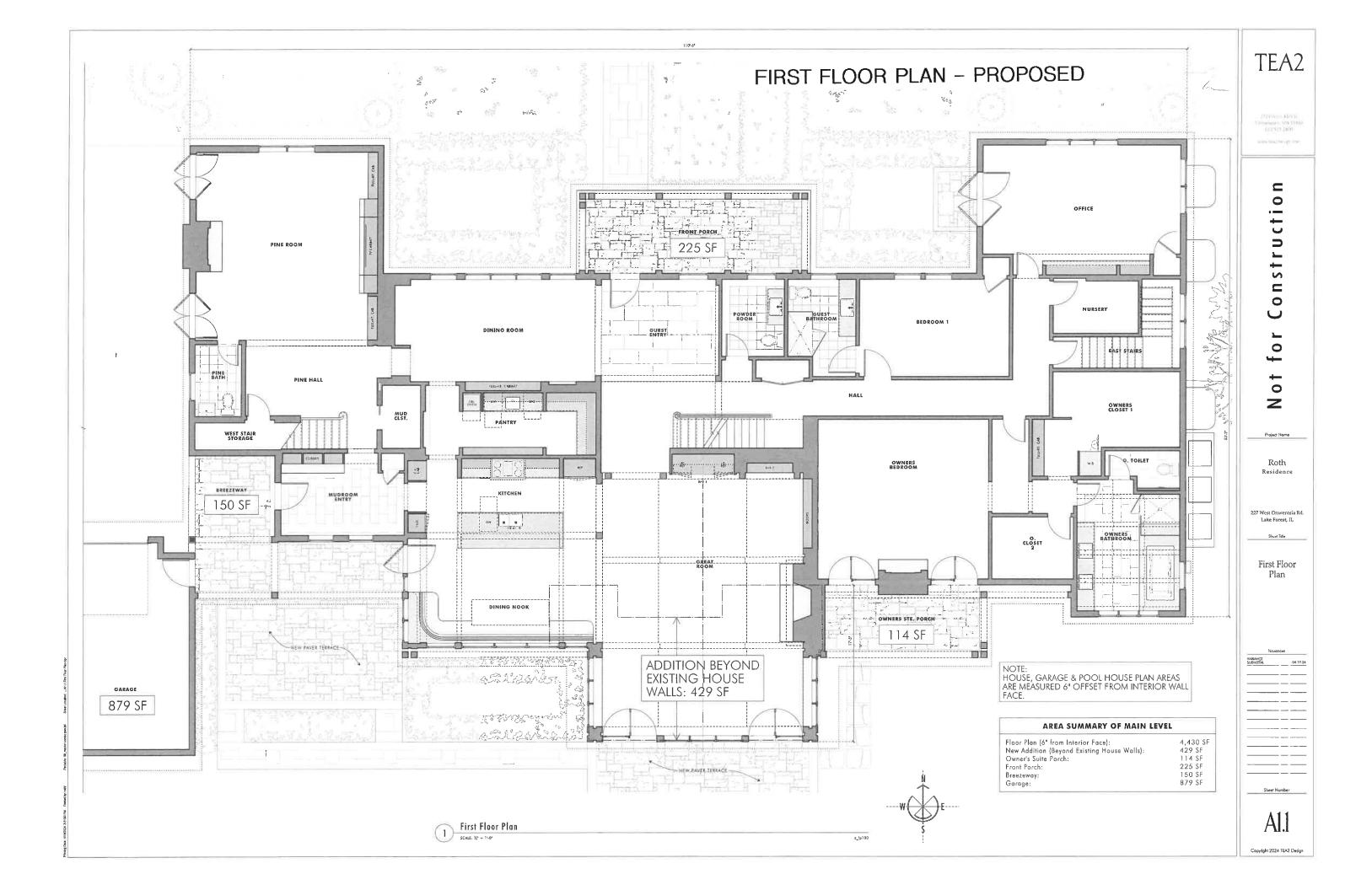


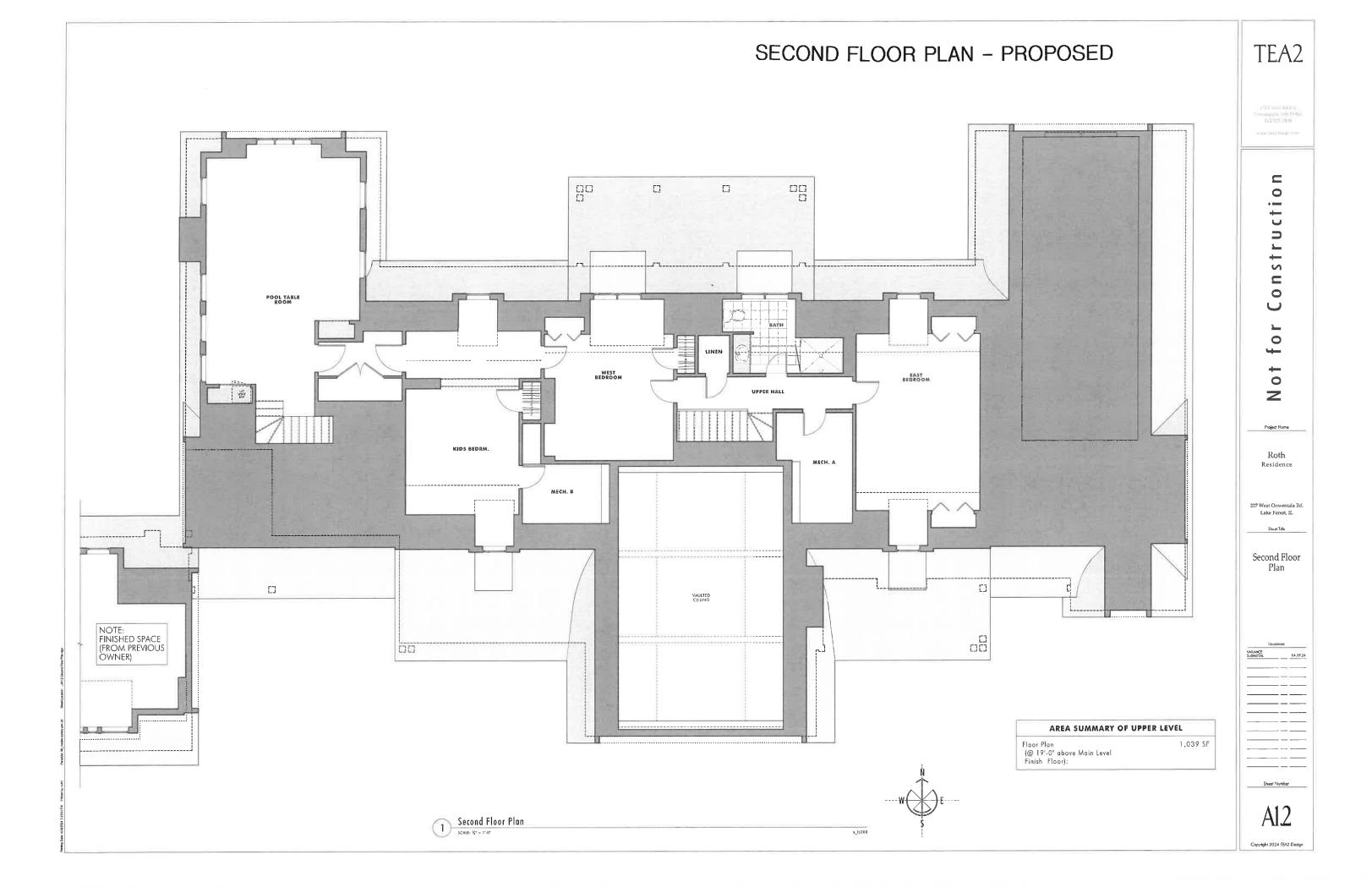












GARAGE AND LOWER LEVEL FLOOR PLANS





612.929.2800

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Project Name

Roth Residence

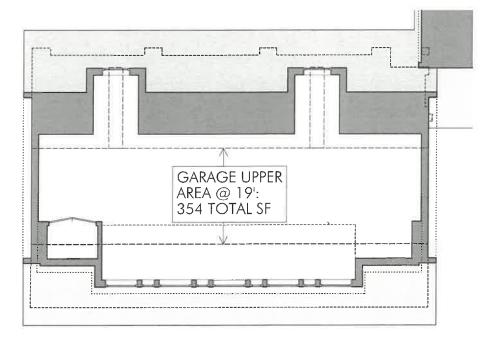
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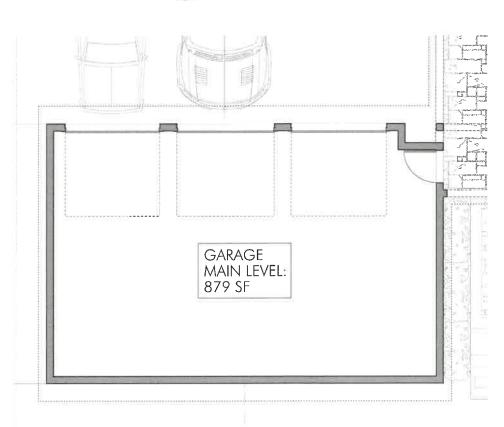
227 West Onwentsia Rd. Lake Forest, IL

Lower Level Floor Plans Garage Plans

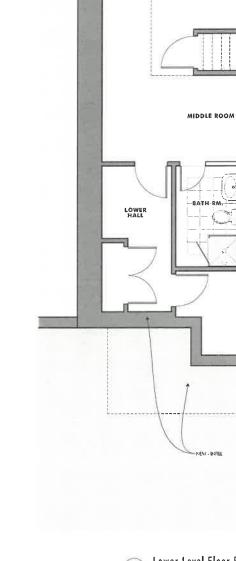
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NOTE: GARAGE PLANS DO NOT CHANGE - NO ADDITIONS

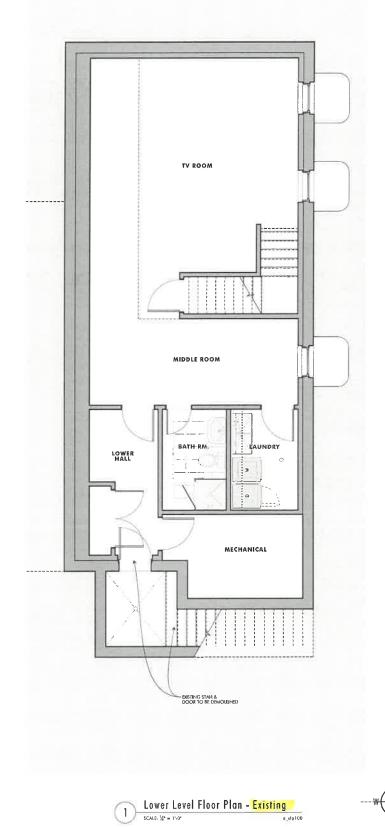


Garage Plan - Upper Level





TV ROOM





MECHANICAL







Agenda Item 7 370 S. Ridge Demolition and Replacement of a Single Family Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner
Application
Statement of Intent
Description of Materials
Survey – Existing Conditions
Existing Photos
Site Plan
Site Plan with Overlay
Conceptual Renderings
Elevations
Roof Plan
Building Sections
Floor Plans
Tree Survey
Tree Removals

Landscape Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

370 South Ridge Road

Consideration of a request for demolition of an existing house and approval of a new residence and the associated hardscape, landscape, and lighting plans.

Property Owners: Allen & Susan Mandell

Project Representative: Stuart Shayman, Stuart D Shayman Associates Architect

Staff Contact: Abigail Vollmers, Senior Planner

Summary of Request

This is a request for recommendations in support of the demolition of an existing house and a new single family replacement residence.

Description of Property

The property is located on a corner lot on the west side of Ridge Road and the north side of Westleigh Road. The lot is heavily wooded with mature oak, hickory, and elm trees, and a deep hedge of buckthorn that borders the lot on the south and west sides. An existing 1950's ranch house in a colonial revival style resides on the northern half of the lot. The home has not been well maintained but is salvageable.

The property totals 70,000 square feet and is trapezoidal in shape, with a small widening at the southeast end.

The surrounding neighborhood contains homes of varying traditional architectural styles, built between the 1950's and the early 2000's. The older homes are mostly single-story ranch houses on large lots that are heavily wooded with mature trees. The home to the west of the lot is a Spanish Colonial styled single story. A newer subdivision further west of the property is comprised of traditional colonial style houses that are two story. Directly across Westleigh Road a traditional colonial home was constructed about 10 years ago that also blends into the surrounding neighborhood. Directly to the north of the property is the Majestic Oak subdivision with five lots that have not yet been developed. Homes for three of the vacant parcels were recently reviewed by the Board and are of varying styles.

Proposed Demolition

The demolition criteria from the Code are listed below. Findings in response to each criterion are provided below based on staff review of the information submitted by the petitioner and staff research.

Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

This criterion is met. The existing structure is not significant individually or to the surrounding area historically, aesthetically, or culturally.

Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.

This criterion is met. The existing residence was constructed in the early 1950's but was not constructed of a character or quality that warrants preservation, restoration, or adaptive reuse. The layout does not lend itself to an addition that would meet today's housing trends or expectations.

Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

This criterion is met. The structure in its present condition could be occupied but would need significant investment to make it comfortably livable. The house has foundation cracks, mold above the ceiling due to roofing leaks, and has not been updated. The structure has not been impacted by a catastrophic event but is aging and has suffered from natural deterioration and has served its useful life.

Criterion 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

This criterion is met. No evidence has been presented that the demolition of the home and construction of a new home will adversely impact values of surrounding properties.

Criterion 5 – The demolition and replacement structure will be compatible with and not adversely impact the neighborhood character.

This criterion is not fully met. Redevelopment of this property as proposed poses challenges to the visual character of the neighborhood and introduces the risk of offsite light impacts in an otherwise dark sky neighborhood. The proposed replacement residence is subject to the Board's review and recommendation and can be refined to better align with the character of other homes in the area.

Staff finds that the criteria for demolition are mostly satisfied and can fully be satisfied with the Board's review and input on the proposed replacement residence and modifications as determined to be necessary by the Board.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan – This standard is not met.

The proposed residence faces east, toward Ridge Road, sitting atop the location of the current residence but with an expanded footprint. The home is an irregular grouping of masses that roughly resemble a T shape. A large pool deck surrounding a pool is placed in the southwest corner of the house. The pool equipment pad is proposed near the west property line, a significant distance to the south of the pool. Consideration should be given to the potential for noise impacts from the pool equipment on the neighboring home to the west. A fence around the pool area is proposed on the landscaping plan.

The house complies with the zoning setbacks. A u-shaped driveway across the front of the house is proposed with what appears to be an adequately sized access into the garage located at the north end of the structure. The new driveway configuration appears to be about twice the size of the existing driveway, impacting several mature trees and adding a second curb cut onto Ridge Road. An existing drainage ditch runs along Ridge Road and will need to be properly addressed in conjunction with the new curb cut.

The petitioner is requesting the removal of 28 trees, of which seven are described on the tress survey as dead. Three of the other trees are described and confirmed in poor condition, the remaining 18 trees in good condition and represent 294 inches. Several of the proposed removals could be saved by adjusting the layout of the house, the driveway, and reducing the size of the pool or pool deck.

Recommendation: Consider ways to mitigate impact on Oak and Hickory trees in particular.

The grading and drainage plan indicates that the proposed impervious surface on the site totals 15,142 square feet or 21.6 percent of the site, almost triple the 7.9 percent coverage in the existing plan. The building footprint totals 5,671 square feet and the driveway, walks, and pool deck total the remaining 9,471 square feet. The grades around the house and pool area are proposed to be

raised by 4 feet, potentially modifying the overland flow route potentially impacting the adjacent property to the west. The significant grading on the site increases tree impacts both short term, requiring the removal of trees and likely longer term as future trees on the site are lost in three to five years due to the change in hydrology on the site and construction impacts.

The raised grading of the house contributes to the overall height of the structure and changes the base relationship to the surrounding properties. The combination of large plates of glass windows and the higher elevation creates the potential for off site light impacts in an otherwise dark sky neighborhood, particularly the house directly west and the house on the east side of Ridge Road.

Recommendations: Review proposed grading and filling to verify that the changes proposed are kept to the minimum required to achieve proper drainage in conformance with good engineering practices.

Verity that the porcelain pavers proposed for the large pool deck will be set in a pervious base to minimize run off.

Consider ways to mitigate potential light impacts due to the proposed grade change on the site.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 7,407 square feet is permitted on the site. In addition, a garage of up to 800 square feet is permitted along with up to 740 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The proposed residence totals 4,095 square feet.
- A total of 800 square feet is allowed for a garage on a property of this size. The proposed garage totals 939 square feet. The garage overage of 139 square feet must be added to the total square footage of the residence.
- A total of 1,338 square feet of design elements in the form of porches and covered entries is included in the residence. A total of 740 square feet of design elements is allowed for a house this size. The additional 597 square feet must be added to the overall square footage of the residence.
- In total, the residence is 4,831 square feet, 35 percent below the allowable square feet.
- The height of the building is proposed at 19 feet tall and falls within the maximum height allowance of 40 feet.

Elevations – This standard is not met.

The proposed home is described as a contemporary style home. The architectural style definition of contemporary architecture is a form that lacks uniform style, is unconventional in its arrangement of parts, has unadorned facades, is asymmetrical in arrangement with nonlinear forms, large volumes, free form shapes, has large abundant windows when any are present, and is intended to be eco minded.

Contemporary architecture is meant to break from traditional architecture forms and styles in an overt expression by intentionally arranging elements and scale in a different way.

Lake Forest has many homes that are modern in form, all of which are executed in a clean style that reinterprets a traditional style in a new way. Many examples of midcentury modern exist, other examples such as 877 Woodbine Place and 61 Sequia Court are examples of strong modern designs or post-modern revival structures. These homes while being different blend into their surrounding neighborhoods because they are composed using the same design principles as traditional styled architecture.

The front elevation of this house is a collection of punched openings and glass wall sections surrounded by a light grey stucco massing that presents a fortress-like appearance. The window placement appears to be driven by the interior layout and does not reflect a regular pattern or typical arrangement. The 19-foot tall, covered entry appears somewhat non-residential in character and scale. The color palette and roof form add to the overall visual character of a non-residential building.

The side elevations to the south and north are detailed with a variety of window shapes, sizes, and locations. There are expanses of solid wall and an overall lack of consistency from elevation to elevation.

The rear elevation has sloped roofs that meet at an off centered point with several vertical columns along the edge of the overhang. The windows vary in shape and size, one being horizontal and the rest vertical. The long roof form over the pool deck appears to slope sharply in the opposite direction as the roof of the house, but the elevation does not appear to accurately portray the effect correctly, nor does the rendering.

The southern portion of the house has solar panels on the rooftop and on the south elevation above the primary bedroom. Consideration should be given to the effectiveness of the panels if large stands of trees are intended to be preserved.

In five locations there appear to be large sliding windows that act like doors. In the primary bedroom the doors open onto a patio. In the TV/ Office and one set in the Craft Room appear to open onto landscaping. In the Dining Room and on the west elevation of the Craft Room they appear to open to a step or stoop, however the detailing is not clear as to height, or overall drop in elevation, or whether the intention is to use these as a door. Additional information is needed to understand what these panels are.

Recommendation: Reconsider further the overall scale, placement, size, and consistency of the various architectural elements of the house: windows, the entry, columns, and roof forms.

Consider the addition of architectural detailing to soften the minimalist construction which showcases the bare building material and structural elements.

Consider softening the exterior materials and color palette to blend with the eclectic style in the existing neighborhood.

Encourage the petitioner to review the City's Design Guidelines and refine the design to more closely align with the Guidelines.

<u>Type, color, and texture of materials – This standard is not met.</u>
The materials identified for this house are stucco and steel siding with stone veneer columns and stone thresholds.

The windows proposed are casement and "other" which appear to be large sliding panes similar to sliding glass doors. All of which are aluminum clad and painted black.

All trim material is listed as Boral. Boral has been approved by the Board for use as a trim material in the past. A note is made to the use of wood trim but no details are provided as to the location of this material.

A fireplace with chimney is proposed in the screened in porch, the material being stone. No photos or samples have been provided.

The roofing is proposed to be sheet metal and modified bituminous in a weathered zinc color.

The driveway is proposed to be asphalt, and porcelain pavers are noted for the terraces and patios.

Recommendation: Provide further detail of the proposed materials including samples that illustrate the color and texture. Confirm that true cement stucco is proposed.

Consider a softer color and the use of other materials in the palette to achieve a more residential appearance.

Landscaping – This standard is not met.

Further study and refinement of the site plan and grading could possibly result in preserving additional trees on the site. Revisions to the proposed grading around the pool area could potentially result in the saving of several trees. Trees 16, 17, 18, 23, 71, 72, 93, 98, 99, 62, 64, & 66 were noted by the city arborist as being worthy of preservation and are all planned to be removed. These twelve trees add up 223 inches which would be replaced at a rate of 2 inches per existing inch. These trees are identified as hickory, red oak, and burr oak. A final replacement total will be calculated when plans are submitted for permit.

The landscape plan also calls for the preservation of the extensive buckthorn hedge that runs along all sides of the lot in patches. Buckthorn is an invasive species and is pro-actively being replaced in many areas of the community with native medium height plantings which would provide the desired screening.

Minimal information is provided on the proposed landscaping planned near the house and on the fence style at the back yard.

Post lighting is shown at the driveway entrances on the plan. Details of the selected style and construction should be provided. Spot lighting is shown on an address panel at the front yard. Path lights are shown at the front entry and at the pool deck area. Spot accent lights are shown at the landscaping along the rear yard fence which is very close to the next-door neighbor's back patio. These lights are located in the rear yard setback and will need to be relocated to comply with the setback requirements.

Recommendation: Efforts should be made to preserve significant healthy trees as identified by the City's Certified Arborist to the extent possible. Minimizing grading and reviewing the site plan should be further studied.

Revise the accent lighting shown in the rear yard setback to comply with the setback requirements.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Indicate general support of the demolition of the existing residence.

AND

Continue the petition for further refinement based on the recommendations detailed above in this report as they may be modified, eliminated, or added to by the Board.

If the Board determines that a recommendation in support of the petition as presented is appropriate at this time, staff recommends the following conditions of approval be incorporated into the motion.

Conditions of Approval

- 1. The following elements shall be studied further and refined as directed by the Board.
 - Note to the Board: Please detail the elements to be studied and refined, if any.
- 2. All modifications to the plans including those made in response to Board further direction or discussion, or as the result of final design development, shall be clearly called out on the plans submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to verify that the plans as presented are consistent with the Board's approval or if further Board review is required prior to the issuance of any permits.
- 3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify any trees proposed for removal and trees identified for protection and preservation.

- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the changes of long term survival of the trees intended for preservation which are located close to construction activity.
- c. A detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. At a minimum, the plan must reflect foundation plantings around the entire structure and the number of trees required by the Code for new construction. The landscape plan shall specify the quantity, species, and size at the time of planting for all new landscaping. Consideration shall be given to the City's recommended planting list.

Drainage and Grading

d. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

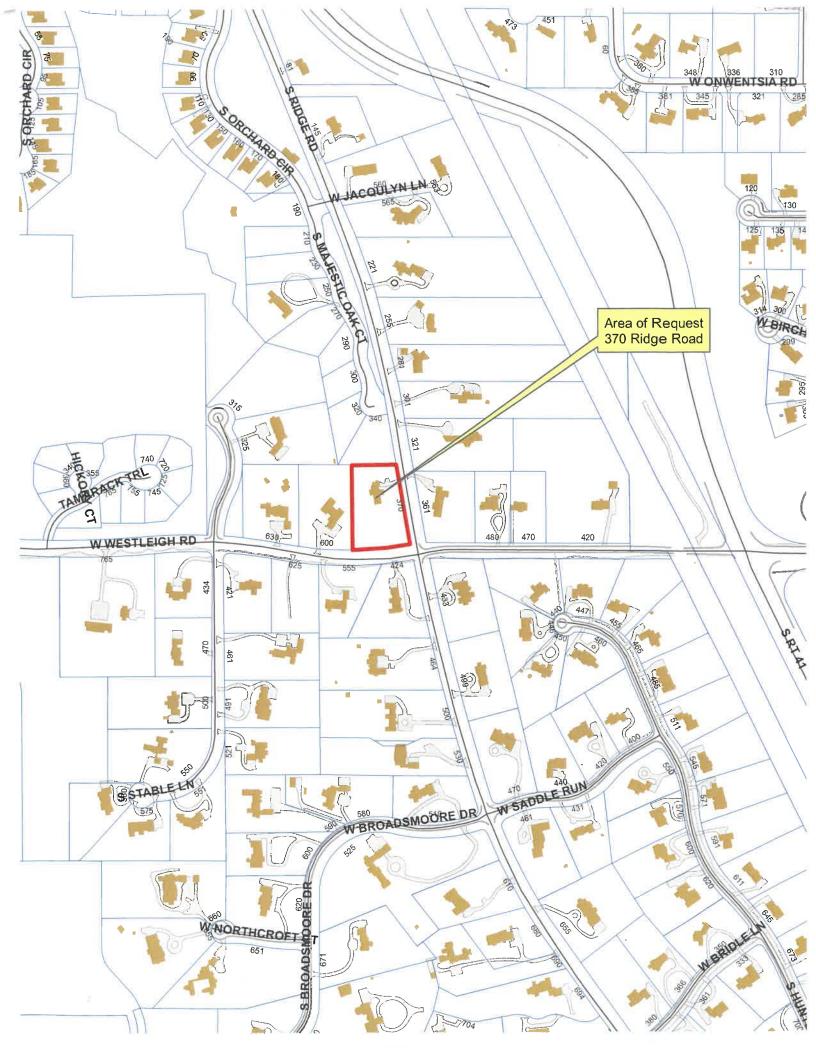
e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking and Staging

f. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. No construction parking or staging is permitted on Ridge or Westleigh Roads.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address	370 S Ridge		Owner(s)	Allen and	d Susan Mandell		
Architect	Stuart Shayman		Reviewed b	y:	A. Vollmers		
Date	6/5/2024						
Lot Area	70091 sq. ft.	Allowed Square Footag	e 7407				
Square Foota	ge of Residence						
1st floor	+ 2nd floor	+ 3rd flo	or <u>0</u>	-	=4095	sq. ft.	
Design Eleme	ent Allowance =	sq. ft.					
Total Actual [Design Elements =	sq. ft.		Excess	= 597	sq.ft.	
Garage	sf actual ;	sf allowanc	e	Excess	=139	sq. ft.	
Garage Width	nft.	may not exceed 24' in width	n on lots				
Basement Are	ea	18,900 sf or less in size.			=0	sq. ft.	
Accessory bu	uildings				=0	sq. ft.	
Total Square	Footage of Residence				= 48831	sq. ft.	
	RE FOOTAGE				= 4831	sq. ft.	
					= 7407	sq. ft.	
	RE FOOTAGE ALLOWED				= 2577	sq. rt.	_NET RESULT:
DIFFERENTIA	AL.				Under Maxim		
							sq. ft. is
Allowable He	ight: 40 ft.	Actual Height	19ft.		ľ	Nearly <u> </u>	35% under Max. allowed
DESIGN ELEN	MENT EXEMPTIONS						
Des	sign Element Allowance:	sq. ft.					
Door	Open Porches = r & Side Screen Porches =	603 sq. ft.					
Rear	- Covered Entries =						
	Portico =						
	Porte-Cochere =						
	Breezeway =	sq. ft.					
	Pergolas =	sq. ft.					
	Dormers =						
	Bay Windows =	sq. ft.					
Total A	ctual Design Flements =		Exce	ess Desig	n Elements =	597	' sa. ft.









THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

370 S. RIDGE RD. PROJECT ADDRESS APPLICATION TYPE COMMERCIAL PROJECTS RESIDENTIAL PROJECTS Landscape/Parking New Residence Demolition Complete New Building Addition/Alteration Demolition Partial Lighting New Accessory Building Height Variance Signage or Awnings Height Variance Addition/Alteration Other Building Scale Variance Other ARCHITECT/BUILDER INFORMATION PROPERTY OWNER INFORMATION Allen & Susan Mandell Stuart Shayman Name and Title of Person Presenting Project Owner of Property Stuart D. Shayman Associates 1700 Ryders Lane Name of Firm Owner's Street Address (may be different from project address) 1780 Ash St. Highland Park, IL. 60035 Street Address City, State and Zip Code Northfield, IL. 60093 847-254-9266 City, State and Zip Code Phone Number Fax Number susiemandell@gmail.com, 847-441-7555, 847-302-7554 allenmandell@qmail.com Phone Number Fax Number Email Address stueshaymanarchitects.com Email Address at re (Architect/ Builder) Owner's Signature Representative's Sig The staff report is available the Friday before the meeting, after 3:00pm. □ REPRESENTATIVE Please email a copy of the staff report ☐ OWNER

☐ OWNER

☐ OWNER

Please fax a copy of the staff report

I will pick up a copy of the staff report at

the Community Development Department

☐ REPRESENTATIVE

☐ REPRESENTATIVE





STUART D.
SHAVMAN
ASSOCIATES
ARCHITECTS

1780 Ash Street Northfield, IL 60093 847.441.7555

370 S. RIDGE ROAD STATEMENT OF INTENT

The proposed project for this property is a contemporary single family residence for an empty-nester couple. The property is heavily wooded, approximately 70,000 square feet, on a corner which is heavily screened from both streets. It is the intent of the owners to try to keep as much existing vegetation and natural screening from the adjacent streets and neighbors as feasible while creating a site for a new home and pool with strong indoor-outdoor connections. The appeal of this neighborhood to the owners is the large lot sizes, privacy from neighbors and the streets and variety of architectural styles and that it is an established neighborhood, not a new subdivision.

Neighborhood characteristics:

- The architectural character of this neighborhood is best described as eclectic. It generally consists of homes on large wooded lots of widely varying time periods and architectural styles from the 1920's to 2020's from one story 1950's and 60's houses to very large newer homes. The house immediately west is a '70's ranch version of a Mediterranean style with stucco walls, arched windows and clay tile roof. Two homes across the street are mid-century modern; one wood with flat roofs, the other with low sloping roofs. The nearest homes to this property are screened from the adjoining streets with natural landscape. There are newer developments just west and north of this property consisting of mainly 2 story houses on much smaller lots. Much of the natural landscape on these properties was removed in order to build these developments, but, fortunately, the screening from the street has so far been maintained and the entrance to the subdivision is about 1200 feet away. The adjoining properties to the north are part of the new "Woods at Westleigh Farms" subdivision and are currently vacant lots. Existing materials of nearby homes run from stucco to wood siding to brick and stone. There is no consistent or predominant style to the neighborhood, other than trying to maintain the natural appearance along the streets. We strongly believe that the architectural design, scale, height, rooflines and materials will relate well to the existing homes in this neighborhood
- 2. The zoning of this area, R4 requires setbacks of a minimum of 50' from the streets. This setback helps maintain the privacy of the homes. In this case, it will be from both Westleigh and Ridge.

Design inspiration:

The design of the house is based on the Owners' desire to create a contemporary home that fits their lifestyle, takes advantage of the natural beauty of the site with an orientation to the pool and patio, and where they can age-in-place. In order to take best advantage of the views to the site and achieve the indoor-outdoor connection they desire, we thought the best design would be one that will have large glass areas that can open onto the patio with unobstructed views to the pool and the woods beyond.

The layout of the house consists of three parts, the entry separates the two main sections: The main living and entertaining space runs in the east-west direction in order to orient toward the depth of the property and the pool to the south and is a large gabled area with a cathedral ceiling following the slope of the roof. Running north-south under another sloped roof are the private areas, primary suite, closets and bath. The service areas: garage, laundry, pantry and craft room are in the third section, which is under the modified bitumen roof in order to visually keep the scale of the house down and be able to have the clerestory windows in the great room.

After having lived in a wood sided house for the past 35 years, the owners are also seeking a lower maintenance solution. This led us to a stucco exterior with accents of natural stone and zinc finished metal trims. Zinc finished metal roofing is planned for the majority of the house, with smaller areas of low slope modified bituminous roofing. Windows and exterior doors will be dark bronze aluminum, generally 9' tall sliding and stationary units.

The building will be one story, with a maximum height of 19'.

Siting:

It is our intention to site the proposed new home similar to the existing house on the property. Although the official "front" yard is along Westleigh, the current house follows the north-south direction of the lot with the entrance on the east side, facing Ridge Road. We intend to keep the new home's orientation the same in order to keep the existing dense forest on the south side of the property. There is no parking on either Ridge or Westleigh so all parking will need to be accommodated on-site. A new circular driveway is planned slightly north of the existing drive where it will not impact existing trees and an additional driveway entrance approximately 100' to the south.

Landscaping:

It is our intention to preserve as many of the existing trees as feasible. There are approximately 100 trees existing on the property. We tried to site the house with the least impact to existing trees. We have also tried to limit the grading on the site and driveways. The proposed finish floor height is approximately the same as the existing house on the property.

Unfortunately, there are a number of good trees that are too close to either the existing house to be demolished or within the building and grading area of the proposed house that will need to be removed. These are indicated to be removed on the Site Plan. We will mitigate the removal of these trees as feasible based on the City Arborist's recommendations.

Additional evergreens will be planted on the west side, mainly in line with the pool for privacy and to help shield the neighbor from any light spillage from the pool area and open porch. Existing buckthorn will be thinned out and replaced with new evergreens and deciduous shrubs.

Exterior Lighting:

Exterior lighting will be provided by recessed lights in the soffits and overhangs. There will be some additional entry and driveway bollards. There is no lighting along Ridge Road, and the mail boxes are on the east side of the street, opposite the driveway. We will plan some entry lighting and address lighting. All lighting will be fully shielded. No tree lighting or uplighting is planned.

DEMOLITION

In proposing demolition of the existing house, we looked at the options of re-use or modification of portions of the structure or foundation. The existing house is built over an unfinished crawlspace. Existing foundation walls are 8" thick which limits the type of structure that can be built re-using these walls. The existing ceiling heights are only 8' and it would be impractical to try to add to gain additional height. In addition, there are numerous structural cracks in the foundation which further limits the practicality of re-use. Maintenance has been deferred for numerous years and there has been water damage throughout. There is no historical or architectural significance to the house.

Due to the impracticability of re-use, poor condition and lack of architectural character or significance to this house we are requesting to demolish it in order to construct a new house.

DEMOLITION:

Criterion 1:

We could find no information that the existing structure has any special historical, architectural, aesthetic or cultural significance to the community.

Age of structure: According to county assessor's office, the existing structure was constructed in 1955.

Architect: unknown

History of building and site: The building has been used as a single family residence since its construction.

Identification of distinctive architectural features: None.

Description of architectural style: Vernacular 1950's one story ranch.

Description of building materials: White painted wood clapboard siding with divided light windows and wood shutters. Asphalt shingle roof.

Information on importance of the site or building to the community: None found.

Criterion 2:

Realistic alternatives, including adaptive re-uses, do not exist because of the nature or cost of work necessary to preserve the structure, or to realize any appreciable part of its value.

Due to the condition and layout of the existing house, there was no feasible way to renovate and/or provide additions and achieve the owners' intent of creating a new functional home that could satisfy their goals.

The existing house is built over an unfinished dirt crawlspace. Existing foundation walls are 8" thick which limits the type of structure that can be built re-using these walls. To accommodate storage and additional space for grandchildren's visits without adding ground floor area, the owners would like to have a basement. The existing ceiling heights are only 8' and it would be impractical to try to add to gain additional height. In addition, there are numerous structural cracks in the foundation which further limits the practicality of re-use. Maintenance has been deferred for numerous years and is noticeable throughout.

Based on the impracticality of re-using all or parts of the existing house, we did not pursue costs for repairs, renovation or building code compliance.

Criterion 3:

The structure, in its present or restored condition, is unsuitable for residential or a compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

The existing structure is suitable for residential use and the structure is not a health or safety hazard.

Criterion 4:

The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

The building portion of the existing property is currently appraised at \$235,000; land portion approximately \$600,000 (Lake county assessor).

Based on our preliminary estimates, the new building portion will be approximately 7-8 times the current value.

Criterion 5:

The demolition and/or the replacement structure will be compatible with and not adversely impact the neighborhood character.

The proposed new home will be compatible with the existing neighborhood. The proposed new home is a one story contemporary style and is located on its site close to the same location as the existing house. Existing screening from the adjoining streets and neighboring properties will be maintained and enhanced.

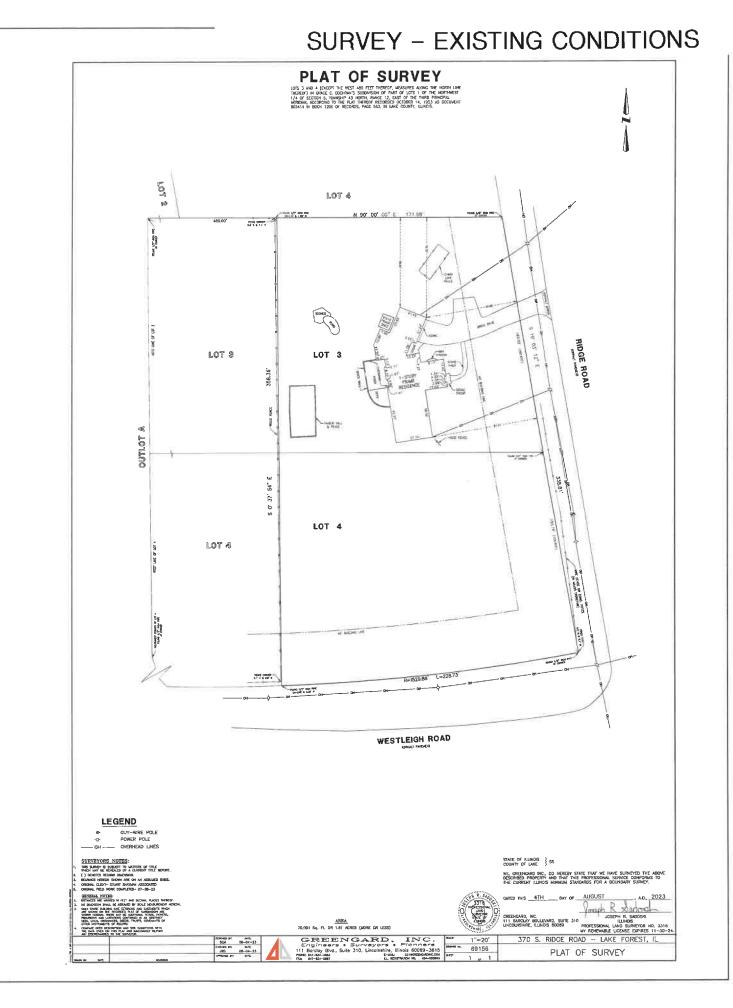


THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION DESCRIPTION OF EXTERIOR MATERIALS

Façad	e Mat	erial		
,,	⊠ □ □ ⊠ Color	Stone Brick Wood Clapboard Siding Stucco of Material		Wood Shingle Aluminum Siding Vinyl Siding Synthetic Stucco Other STEEL SIDING
Windo	w Tre	eatment		
	Prima	ary Window Type	Finis	h and Color of Windows
	Wind Simul	Double Hung Casement Sliding Other Ow Muntins Not Provided True Divided Lites Interior and Exterior muntin bars	□ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □	Wood Aluminum Clad Vinyl Clad Other ALUMINUM of Finish BLACK
		Interior muntin bars only Exterior muntin bars only Muntin bars contained between the glass		
Trim N	/lateria	al		
[Door T	rim	Wind	ow Trim
[[[] { \ \	Limestone Brick Wood Synthetic MaterialORAL Other		Limestone Brick Wood Synthetic Material BORAL Other
F	ascia	s, Soffits, Rakeboards		
[]	× \	Wood OtherSynthetic Material BORAL		

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney M	aterial		
	Brick		
	Stone		
	Stucco		
	Other		
Roofing			
Prim	ary Roof Material	Flas	hing Material
	Wood Shingles		Copper
	Wood Shakes	×	Sheet Metal
	Slate		Other
	Clay Tile		
	Composition Shingles		
X	Sheet Metal		
X	Other MODIFIED BITUMINOUS		
Color	of Material <u>MEATHERED ZINC</u>		
Gutters and	d Downspouts		
	Copper		
	Aluminum SHEET METAL TO		
	Other MATCH ROOF		
Driveway N	laterial		
×.	Asphalt		
	Poured Concrete		
	Brick Pavers		
	Concrete Pavers		
	Crushed Stone		
	Other		
Terraces ar	nd Patios		
	Bluestone		
	Brick Pavers		
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STUART D. SHAYMAN ASSOCIATES
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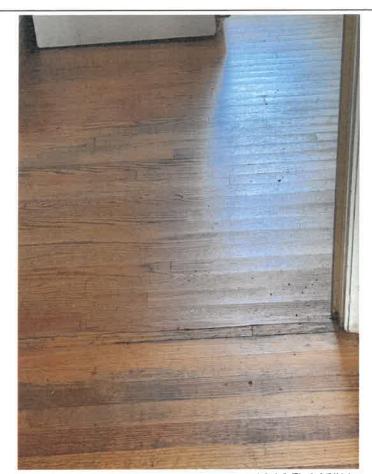
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NEW RESIDENCE FOR ALLEN & SUSAN MANDELL 370 S. RIDGE RD. LAKE FOREST, ILLINOIS

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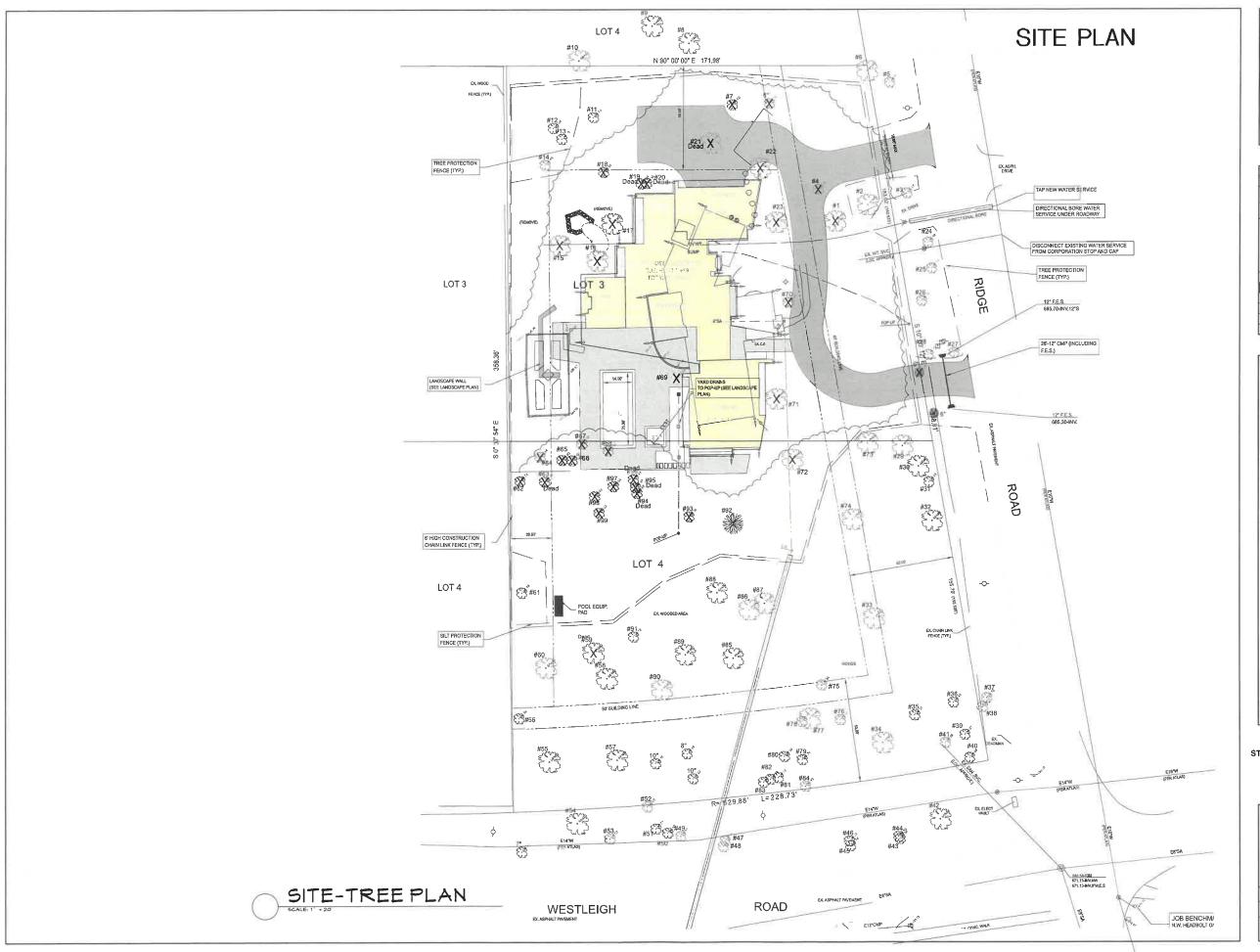
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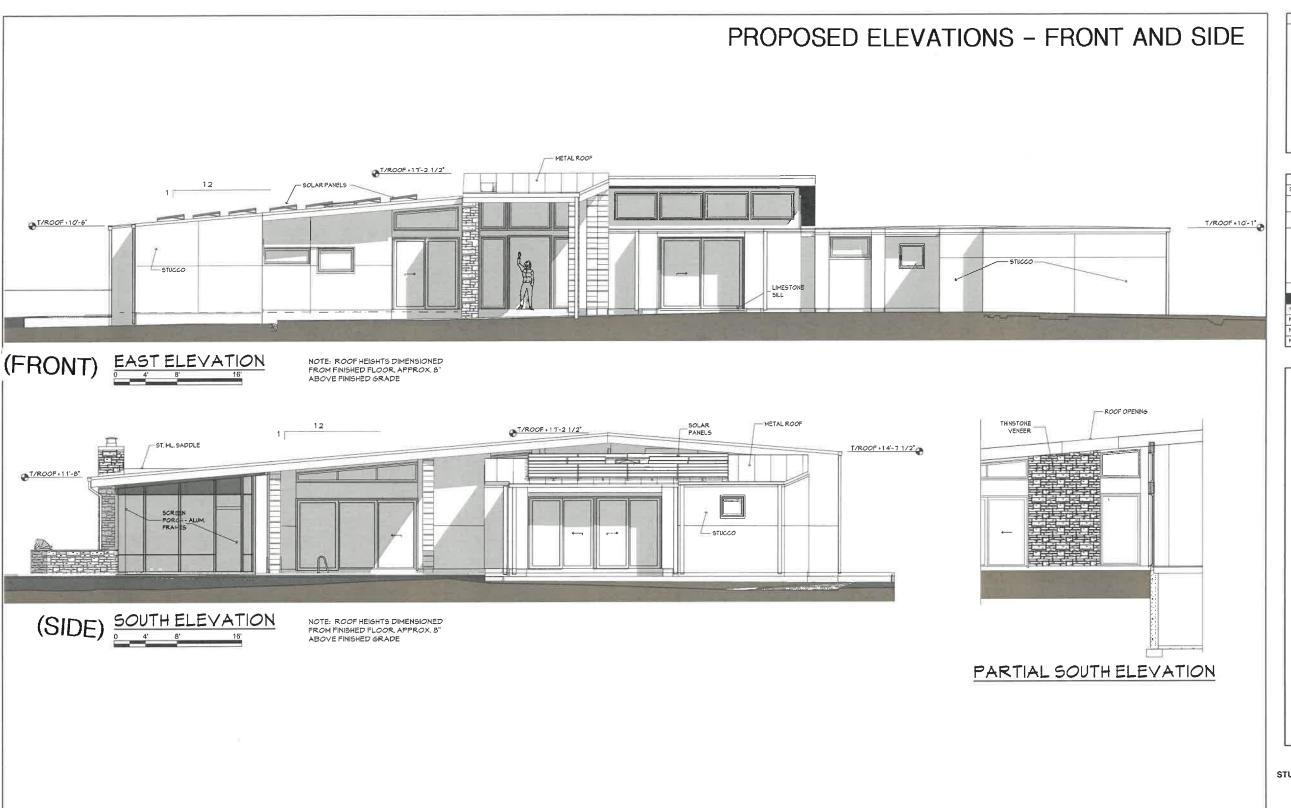


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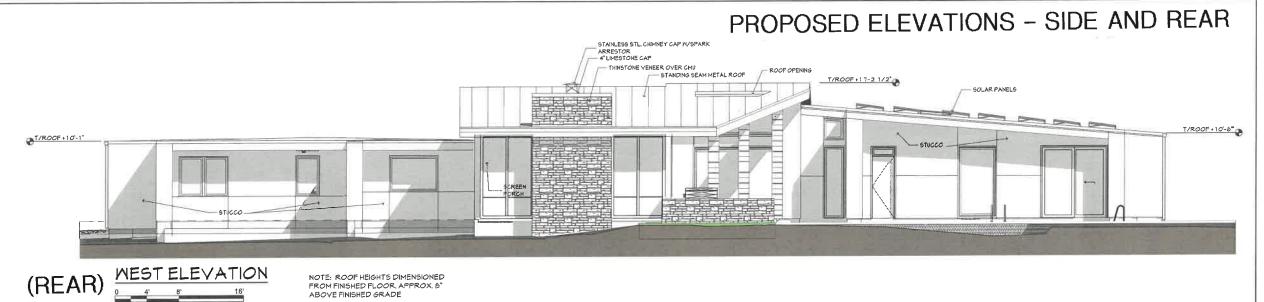


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STUART D. SHAYMAN ASSOCIATES ARCHITECTS

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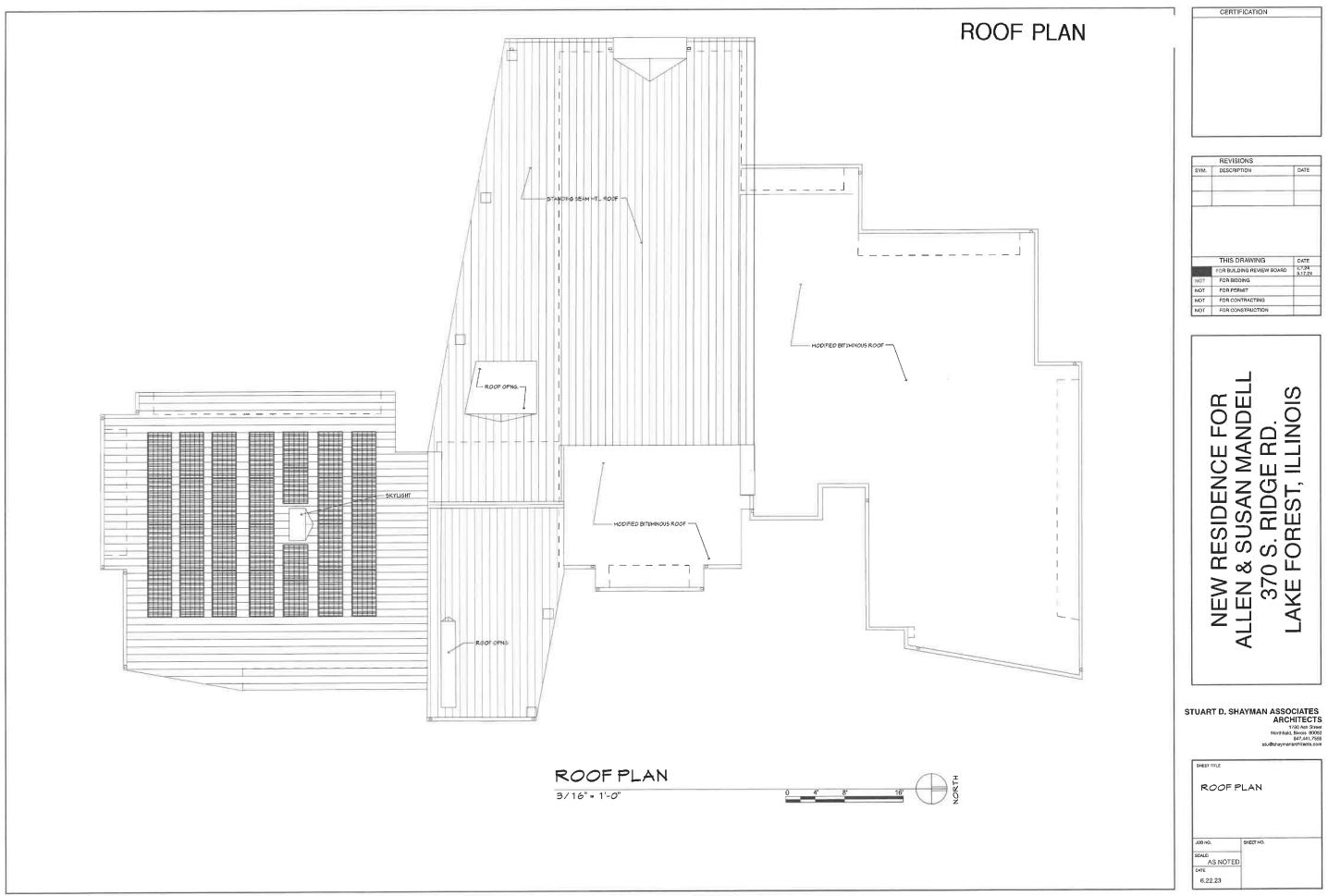




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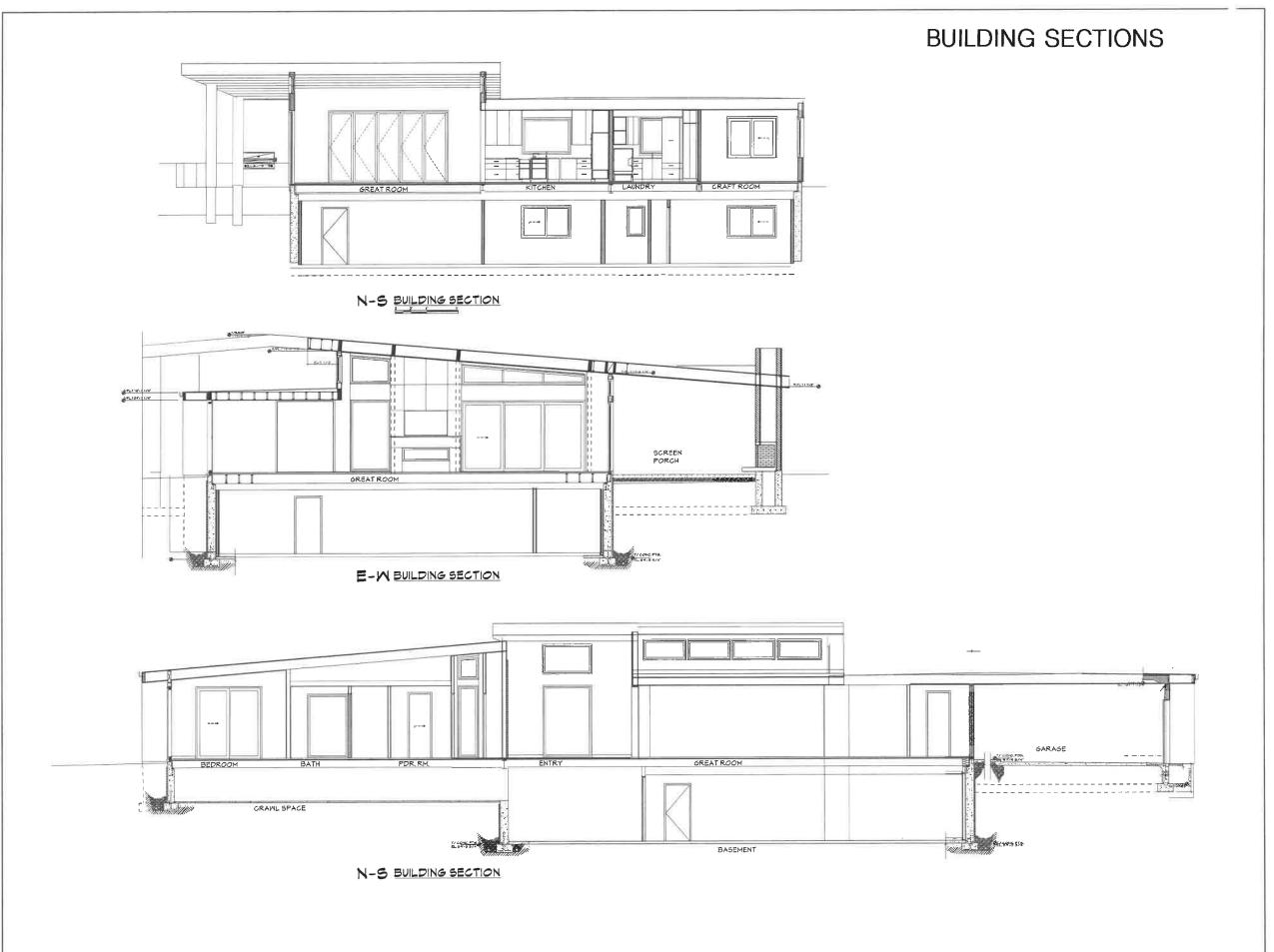


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NEW RESIDENCE FOR ALLEN & SUSAN MANDELL 370 S. RIDGE RD. LAKE FOREST, ILLINOIS

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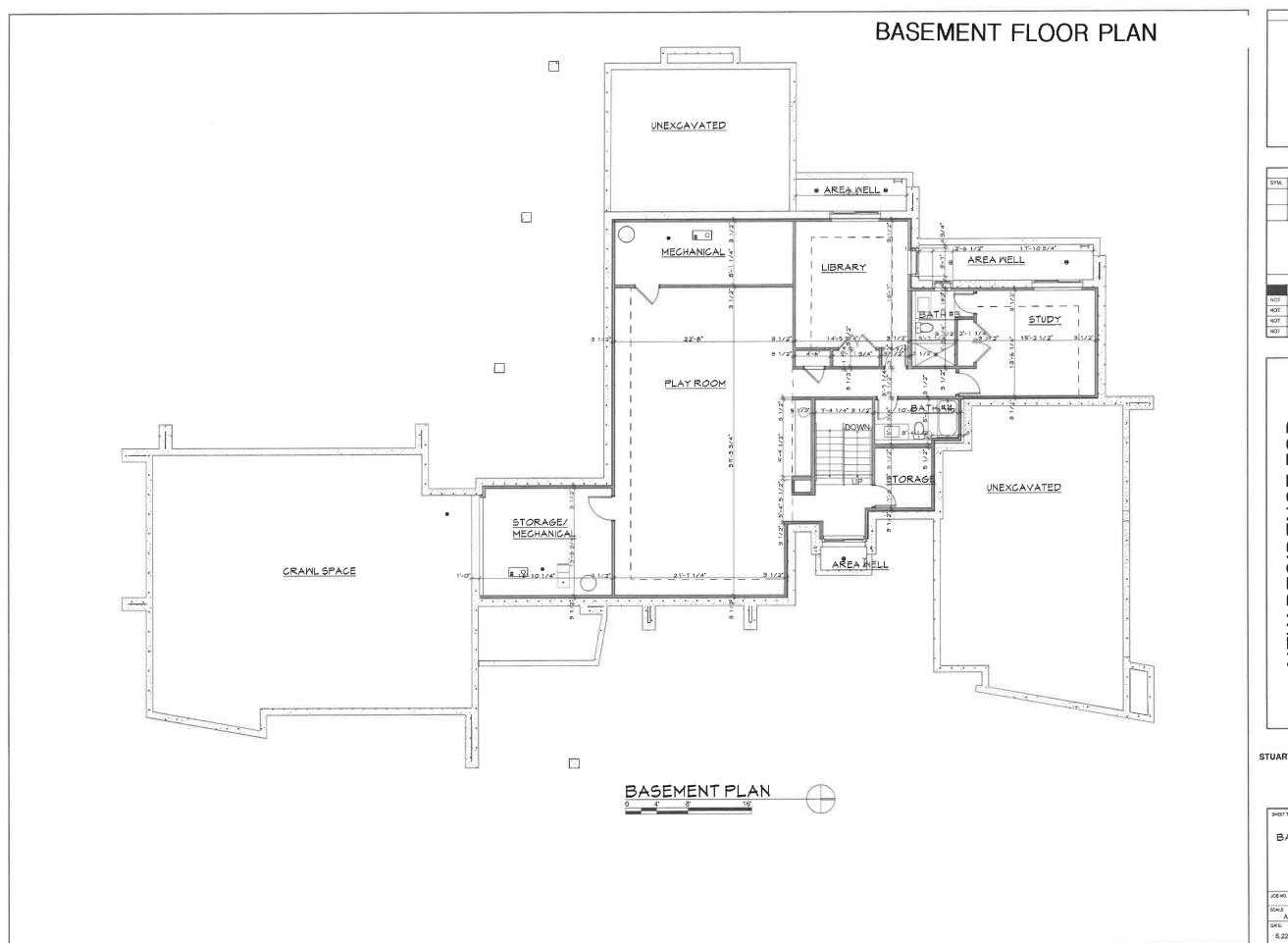




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STUART D. SHAYMAN ASSOCIATES
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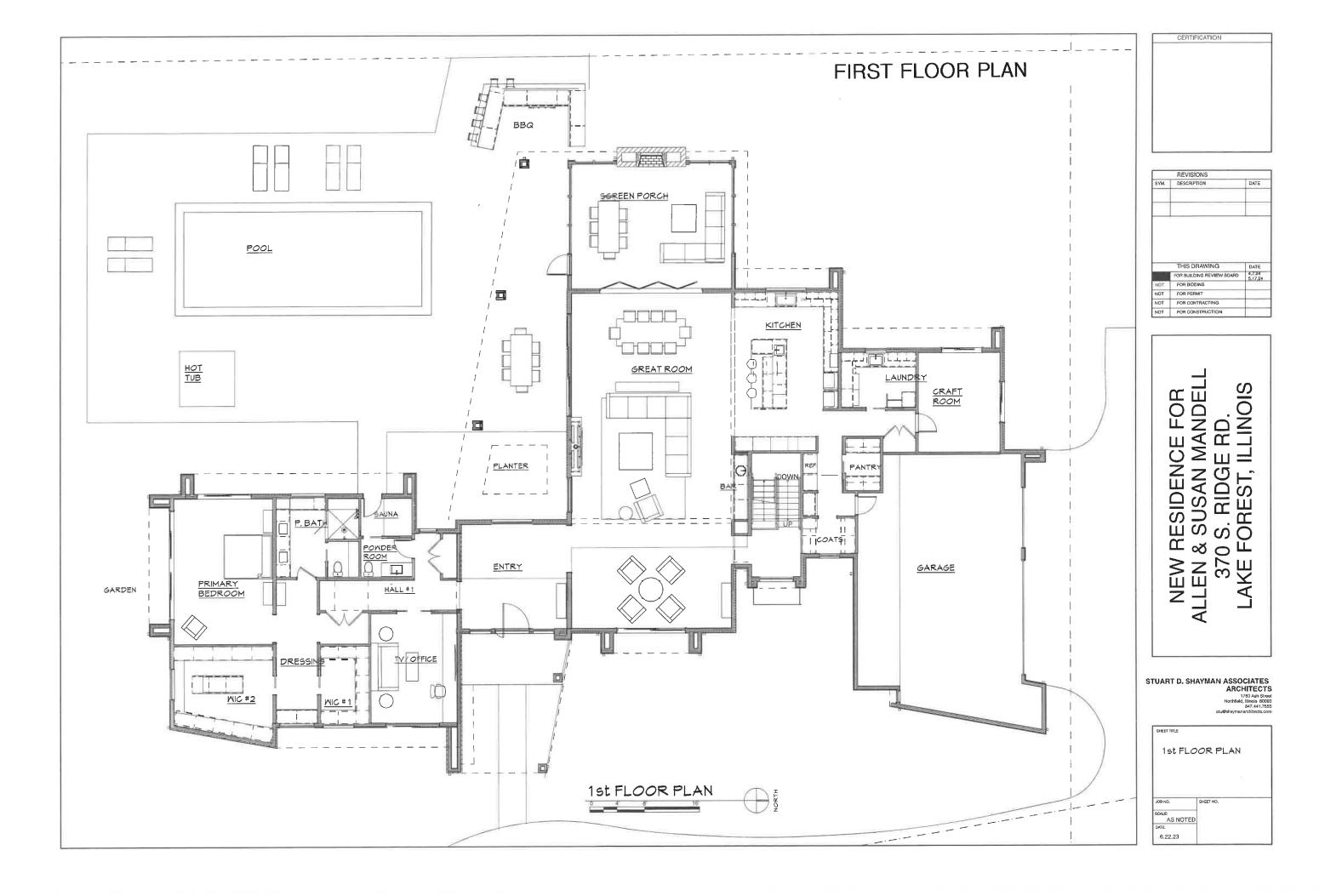


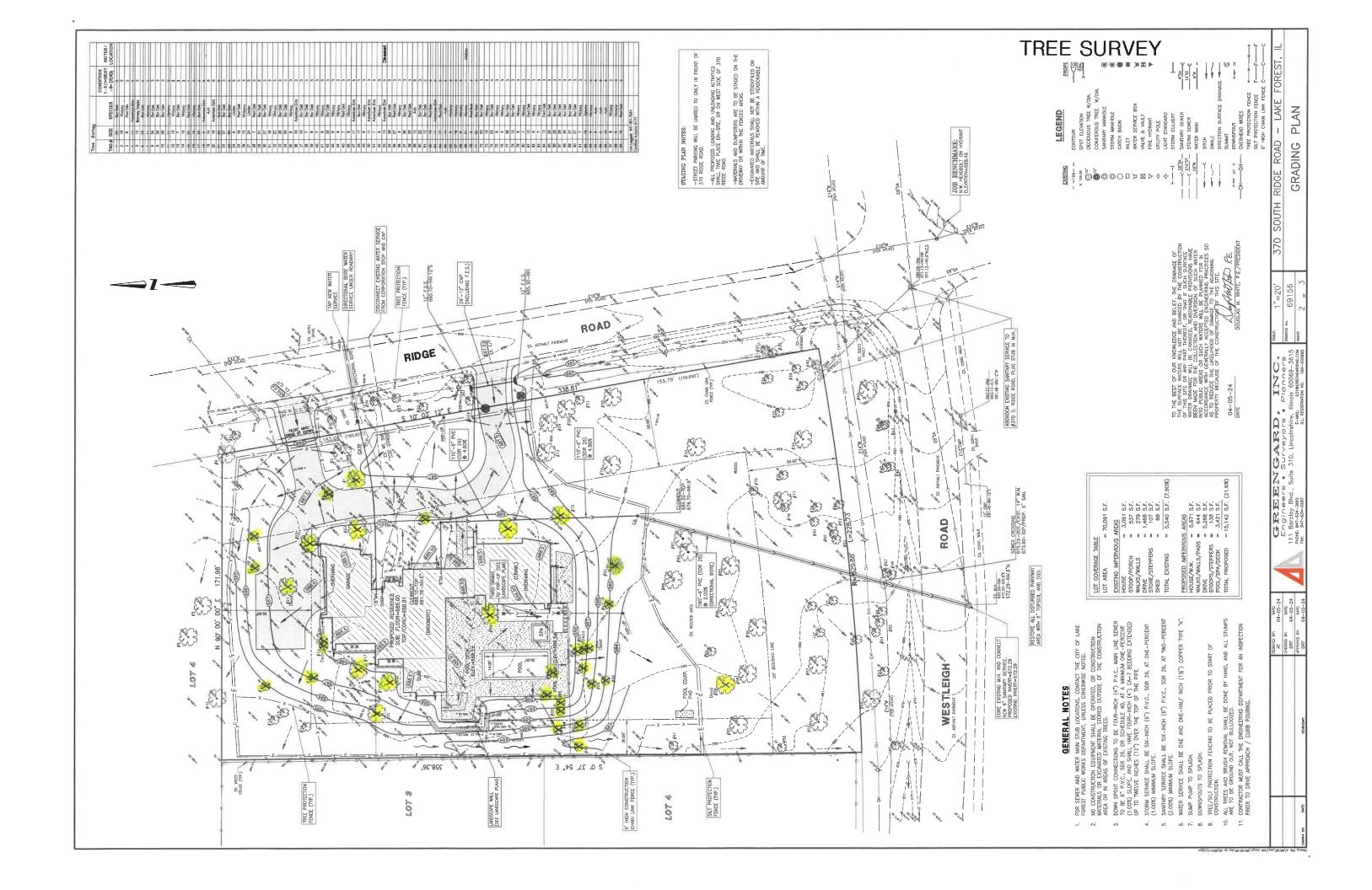


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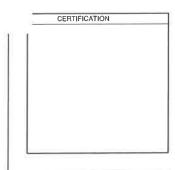




TREE REMOVALS

Tree	Surve	у		
TAG#	SIZE	SPECIES	CONDITION 1 - 6 (1=BEST - 6= DEAD)	NOTES /
1	25	Bur Oak	5	
2	19	Hickory	3	
3	6	Red Oak	3	
4	14	American Elm	3	
5	15	Norway Maple	3	
6	28	Bur Oak	3	
7	-11-	Hickory	3	
8	34	Bur Oak	3	
9	30	Bur Oak	3	
10	39	Bur Oak	3	
11	11	Hickory	3	
12	10	Hickory	3	
13	7	Bur Oak	3	
14	10	Hickory	3	
15	24	Red Oak	4	
16	19	Hickory	3	
17	30	Bur Oak	3	
18	-9	American Elm	6	
19	14	Ash	6	
20	16	American Elm	6	
21	32	Bur Oak	6	
22	37	Bur Oak	3	
23	30	Bur Oak	3	
24	6	Linden	5	
25	18	Red Oak	5	
26	12	Mulberry	3	
27	24	Linden	5	
28	7	Red Oak	3	
29	31	Bur Oak	5	
30	27	Bur Oak	3	
31	16	Hickory	3	
32	22	Hickory	3	
33	36	Bur Oak	3	
34	30 8	Bur Oak	3	
35. 36	10	Hickory American Elm	3	
37	10	Bur Oak	3	
38	7	Bur Oak	3	
39	6		3	
-	7	Bur Oak	3	
40	8	Hickory	3	
41		Hickory	3	
42	35	Bur Oak	3	
43	9	Hickory	3	
44	9	Hickory Pod Oak	3	
45		Red Oak		
46	6	Hickory	3	
47	17	American Elm	5	
48	17	Bur Oak	3	
49	6	Hickory	3	
50 51	7	American Elm	3 5	
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27	Red Oak	3	
8	Hickory	3	
36	Bur Oak	3	
26	Red Oak	3	
12	Ash	6	
22	Bur Oak	3	
12	Bur Oak	3	
13	Red Oak	3	
17	American Elm	6	
17	Red Oak	3	
		6	
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			Hollow
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9	Hickory		
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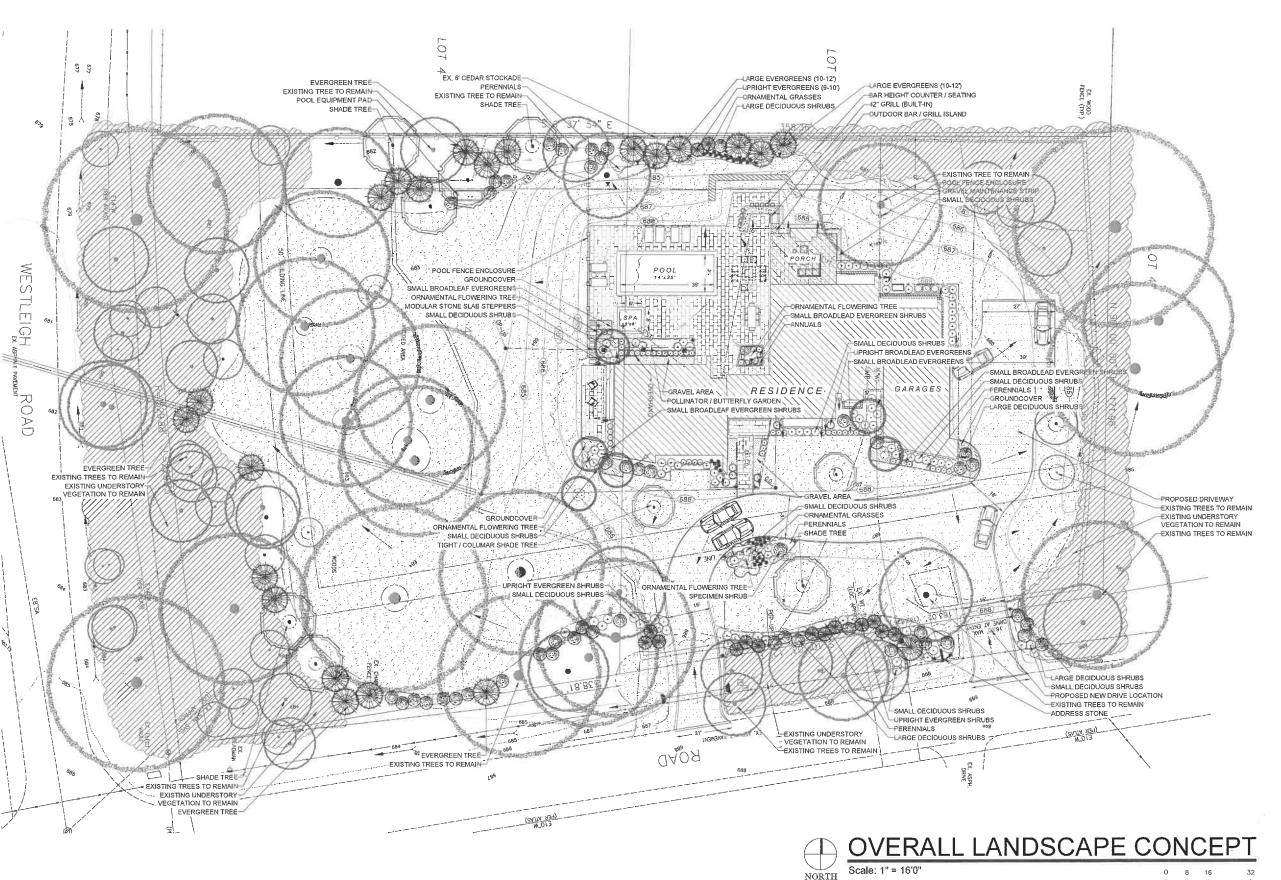
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NEW RESIDENCE FOR ALLEN & SUSAN MANDELL 370 S. RIDGE RD. LAKE FOREST, ILLINOIS

STUART D. SHAYMAN ASSOCIATES
ARCHITECTS
1780 Ach Street
Northeld, limits 80033
847.441.7555
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LANDSCAPE PLAN



MANDELL **RESIDENCE**

370 S. Ridge Road Lake Forest, IL

DATE DESCRIPTION 1.05.24 FIRST ISSUE 4.17.24 PLANTING PLAN

OVERALL **LANDSCAPE** CONCEPT

PROJECT MANAGER	WDH
PROJECT NUMBER	24-00
DATE	04.17.2
SHEET NUMBER	

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