

Agenda Item 3
1129 Griffith Road
Demolition and Replacement of Existing and Detached Garage

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Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Existing Conditions Report
Site Plan
Conceptual Rendering - Proposed
Elevations - Proposed
Roof - Proposed
Section - Proposed
Floor Plan – Proposed
Garage - Proposed
Landscape Plan - Proposed
Tree Removal Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1129 Griffith Road

Consideration of a request for recommendations in support of demolition of the residence and detached garage, and in support of a replacement residence, detached garage, and a preliminary landscape plan.

Property Owner: Andres Merits Trust (Andres Merits, trustee)
Project Representative: Diana Melichar, Architect

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request to demolish and replace the existing residence and detached garage.

On April 22nd, the Zoning Board of Appeals recommended approval of variances from the front yard setback for the residence and from the side and rear yard accessory structure setbacks for the garage subject to review of the demolition and design aspects of the new structures by the Building Review Board.

Description of Property

This property is located on the east side of Griffith Road at Rose Terrace as it extends east of McKinley Road. The property is in the Rose Terrace Subdivision, platted in 1913. The Rose Terrace Subdivision is an area where nonconforming structures, like the existing residence and garage, are common due to changes to the City Code over the decades since the area was developed.

According to City and County records, the existing structure was built in 1926, rebuilt in 1944, and a second story addition was built in 1997, with other permits for minor work on the property issued over time.

Proposed Demolition

The petitioner provided a review of the demolition criteria which is included in the Board's packet. The applicable criteria set forth in the Ordinance are reviewed by staff below.

Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

This criterion is met. The existing residence and detached garage are not architecturally, aesthetically, or historically significant. It is of note that the brick home is nearly 100 years old, however, it has no record of being built or owned by anyone of historical significance. The two-story home fits humbly into the Rose Terrace neighborhood with no distinctive features.

Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.

This criterion is met. The petitioner first explored options to modify and improve the existing house which was his childhood home and has remained in his family since that time. After investigation, it was determined that building new would be both more cost effective and result in a higher quality long term solution for the property.

The existing structure presents signs of unsafe water related conditions throughout. These conditions include the growth of moss and discoloration of brick on the exterior, water infiltration near the exterior front wall foundation, upheaval and peeling of the basement floor, cracks in the interior foundation wall, and efflorescence on the interior foundation walls. As with all homes built in this time period, some of the existing conditions are not in compliance with current Building Code requirements, including inadequate head height in the basement and on the basement staircase. Fixing the foundation walls and basement floor while preserving the rest of the home requires the costly process of lifting the home and building a new basement. These factors, in combination with the desire of the petitioner to renovate the entirety of the interior to create a wheelchair friendly and functional space to meet today's needs, support the decision to request approval to demolish the existing residence and building a new one.

The criterion is also met for the garage, which exhibits signs of rotting, deterioration, and cracks in the slab foundation.

Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

This criterion is met. Although the house is habitable, the condition of the house is less than desirable. Damage from water infiltration is evident. In addition to concerns of water and foundation damage, the current layout of the home is not conducive for today's life style and in particular, not conducive to the accessibility goals set by the property owner including the proposed addition of an elevator.

Criteria 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

This criterion is met. There is no evidence to suggest that the proposed demolition or replacement residence will adversely impact the value of other properties in the neighborhood. Investment in this property and redevelopment with a modest new home will likely help to support property values in the neighborhood.

Criteria 5 – The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.

This criterion is met. The proposed replacement residence is designed in a manner that is compatible with the character of the Rose Terrace neighborhood. The Board's review is intended to assure the replacement structures are appropriate for and compatible with the character of the surrounding area.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan – This standard is met.

The 7,065 square foot lot is irregular in shape. The lot narrows from 60 feet in width to 40 feet in width from front to rear, establishing challenges to maintain yard space while accommodating a detached garage. As noted above, the Zoning Board of Appeals recommended that despite the greater front yard setback required by the Zoning Code today, the replacement residence be permitted to be sited consistent with the established pattern along the streetscape. The proposed replacement residence and garage are sited with similar footprints to the existing residence and garage. The driveway and residence are shifted to the south from the current conditions. This creates space for landscaping and accommodates drainage along the north property line and the new house no longer overcrowds the driveway. The garage is reoriented to better provide slightly more yard space and a more functional two car garage.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 2,289 square feet is permitted on the site with an allowance of 576 square feet for a garage and 229 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 2,261 square feet.
- The proposed garage totals 570 square feet.
- In addition to the above square footage, a total of 48 square feet of design elements are incorporated into the design of the house.

In conclusion, the proposed residence totals 2261 square feet. That is 28 square feet, or just over 1 percent below the maximum allowable square footage for this property.

At its tallest peak, the residence as measured from the lowest point of existing grade is 30 feet, the maximum height allowed for a residence on this size lot.

Recommendation: As-built drawings should be required during the construction process to assure that the maximum permitted building height of 30 feet is not exceeded as measured from the lowest adjacent grade to the tallest peak of the roof.

Elevations – This standard is generally met.

The modest two-story brick residence will be a subtle replacement to the existing structure and fit seamlessly into the neighborhood. The elevations are generally well balanced and accented thoughtfully with minor design elements.

Recommendation: Consider shifting the kitchen windows on the south elevation to align them with the second story primary bedroom windows.

Recommendation: Consider refining the north elevation to better align and center the windows to the extent possible.

Recommendation: Provide a conceptual layout for a ramp, if desired by the petitioner, to assure that it can be accommodated with the proposed site plan.

Type, color, and texture of materials – This standard is met.

The house façade material is brick and the garage is wood clapboard siding or engineered wood. The windows are double hung and casement with white/cream color exterior aluminum cladding / wood interior finishes. The windows are simulated divided lites with interior and exterior affixed muntin bars. The roofing materials include charcoal grey dimensional fiberglass asphalt shingles and sheet metal flashing. The hardscape includes an asphalt driveway and brick pavers.

Landscaping - This standard can be met.

The submitted plans propose the removal of a white oak and red cedar tree. These trees are in fair condition but directly conflict with the siting of the new structures and will likely not survive the impacts of construction. At the time of permit, the required inch for inch replacement for tree inches lost as determined by the City's Certified Arborist shall be reflected on the plan. If the required replacement inches cannot be accommodated on the site using good forestry practices, a payment in lieu of on site planting may be accepted by the City. The funds will be used to plant trees in the parkway in the general area of the property. In addition to replacement tree inches, the plan must meet the

minimum requirements for landscaping for new homes as provided for in the Code.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or calls were received regarding this request.

Recommendation

Recommend approval of demolition of the existing residence and garage based on the findings presented above.

and

Recommend approval of the residence, detached garage, conceptual landscape and overall site plan subject to the following conditions of approval and based on the findings presented in this staff report and incorporating the Board's deliberations as additional findings.

1. During final design development:
 - a. Consider shifting the kitchen windows on the south elevation to align them with the second story primary bedroom windows.
 - b. Consider refining the north elevation to better align and center the windows to the extent possible.
 - c. Provide a conceptual layout for a ramp if desired by the petitioner to assure that it can be accommodated with the proposed site plan.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping

standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices or, a payment in lieu of on site planting shall be assessed. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

4. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect the parkway trees and all other trees that may be impacted during construction must be submitted and will be subject to review and approval by the City.
5. At the time of submittal for a building permit, detailed drainage and grading plans must be submitted. No grading or filling shall be permitted except the absolute minimum necessary to meet accepted engineering standards and practices.
6. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
7. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. Due to the narrow street and proximity to Rose Terrace, up to two construction vehicles or contractors' vehicles may be parked on the street and only if the street remains passable in the determination of the City.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1129 Griffith Road Owner(s) Andres Merits

Architect Diana Melichar Reviewed by: L. Prado

Date 5/1/2024

Lot Area 7065 sq. ft. Allowed Square Footage 2289

Square Footage of Residence -- New

1st floor 1038 + 2nd floor 1040 + 3rd floor 183 = 2261 sq. ft.

Design Element Allowance = 229 sq. ft.

Total Actual Design Elements = 48 sq. ft. Excess = 0 sq. ft.

Garage 570 sf actual ; 576 sf allowance Excess = 0 sq. ft.

Garage Width 24 ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 2261 sq. ft.

TOTAL SQUARE FOOTAGE = 2261 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 2289 sq. ft.

DIFFERENTIAL = 28 sq. ft. **NET RESULT:**
Under Maximum 28 sq. ft. is

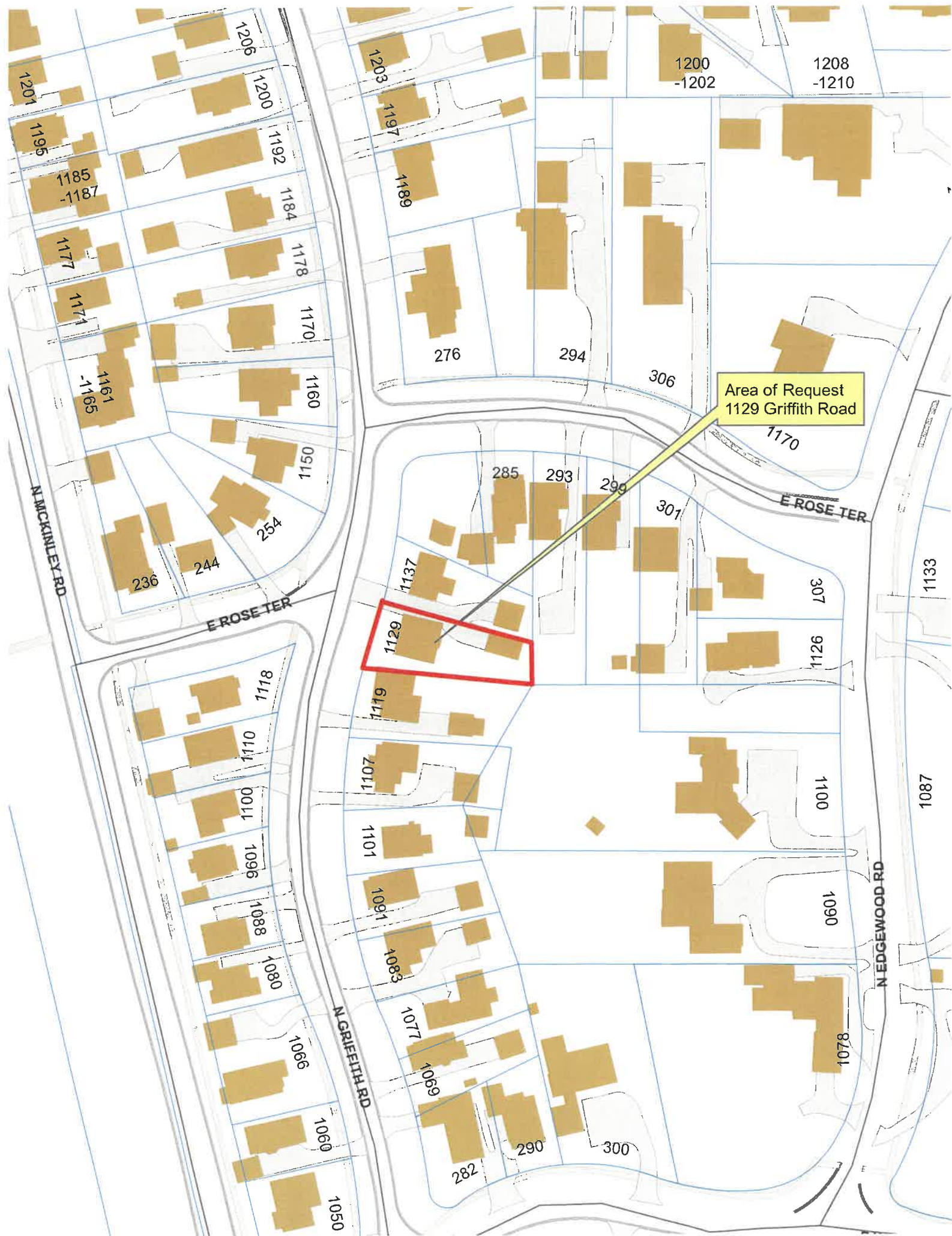
Allowable Height: 30 ft. Actual Height 30 ft. Nearly 1% under
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 229 sq. ft.

Open Porches = 48 sq. ft.
Rear & Side Screen Porches = 0 sq. ft.
Covered Entries = 0 sq. ft.
Portico = 0 sq. ft.
Porte-Cochere = 0 sq. ft.
Breezeway = 0 sq. ft.
Pergolas = 0 sq. ft.
Individual Dormers = 0 sq. ft.
Bay Windows = 0 sq. ft.

Total Actual Design Elements = 48 sq. ft. Excess Design Elements = 0 sq. ft.





Area of Request
1129 Griffith Road



Area of Request
1129 Griffith Road



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1129 Griffith Road

APPLICATION TYPE

RESIDENTIAL PROJECTS	COMMERCIAL PROJECTS
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> New Building
<input checked="" type="checkbox"/> New Accessory Building	<input type="checkbox"/> Addition/Alteration
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other
<input checked="" type="checkbox"/> Demolition Complete	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Lighting
<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

ANDRES MERITS

Owner of Property

4724 N. ARTESIAN AVE.

Owner's Street Address (may be different from project address)

CHICAGO, IL 60625

City, State and Zip Code

(312)342-1977

Phone Number

Fax Number

andy4724@gmail.com

Email Address

Owner's Signature

Authorized signatory of the
Andres Merits Trust dated October 8, 2021

ARCHITECT/BUILDER INFORMATION

Diana Melichar

Name and Title of Person Presenting Project

Melichar Architects

Name of Firm

207 E. Westminster

Street Address

Lake Forest, IL 60045

City, State and Zip Code

847-295-2440

Phone Number

847-295-2451

Fax Number

Diana@MelicharArchitects.com

Email Address

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER

☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER

☐ REPRESENTATIVE

TRUST OWNERSHIP (EXHIBIT C)

Please list the Trust number and name and address of the Trustee, as well as the names and addresses of all beneficiaries of the Trust, together with their respective interests in the Trust. The application shall be further verified by the applicant in his capacity as Trustee or by the beneficiary as a beneficial owner of an interest in the Trust and the application shall be signed individually by as many beneficiaries as are necessary to constitute greater than 50% ownership of the beneficial interest of the trust.

TRUST NUMBER _____	TRUSTEE INFORMATION	
	Name	ANDRES MERITS
	Firm	N/A
	Address	4724 N. ARTESIAN AVE, CHICAGO, IL 60625
	Phone	(312) 342-1977

Beneficiaries

Name	ANDRES MERITS	Name	_____
Address	4724 N. ARTESIAN AVE, CHICAGO, IL 60625	Address	_____
Trust Interest	100 %	Trust Interest	_____ %

Name	_____	Name	_____
Address	_____	Address	_____
Trust Interest	_____ %	Trust Interest	_____ %

Name	_____	Name	_____
Address	_____	Address	_____
Trust Interest	_____ %	Trust Interest	_____ %



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

	<input type="checkbox"/> Stone	<input type="checkbox"/> Wood Shingle
HOUSE	<input checked="" type="checkbox"/> Brick	<input type="checkbox"/> Aluminum Siding
GARAGE	<input checked="" type="checkbox"/> Wood Clapboard Siding (or engineered wood)	<input type="checkbox"/> Vinyl Siding
	<input type="checkbox"/> Stucco	<input type="checkbox"/> Synthetic Stucco
		<input type="checkbox"/> Other _____

Color of Material _____

Window Treatment

	Primary Window Type	Finish and Color of Windows
HOUSE	<input checked="" type="checkbox"/> Double Hung	<input type="checkbox"/> Wood
HOUSE	<input checked="" type="checkbox"/> Casement	<input checked="" type="checkbox"/> Aluminum Clad / Wood interior
	<input type="checkbox"/> Sliding	<input type="checkbox"/> Vinyl Clad
HOUSE & GARAGE	<input checked="" type="checkbox"/> Other <u>awning</u>	<input type="checkbox"/> Other _____

Color of Finish white/cream

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other trim to match door material

Window Trim

- ☐ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other aluminum clad brick mold (to match windows)

Fascias, Soffits, Rakeboards

- ☒ Wood (or engineered wood trim)
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☒ Composition Shingles dimensional fiberglass asphalt shingles
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☐ Copper
- ☒ Sheet Metal _____
- ☐ Other _____

Color of Material charcoal grey

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☐ Bluestone
- ☒ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____

LAKE FOREST BUILDING REVIEW BOARD

MERITS RESIDENCE

1129 Griffith Road

May 1, 2024

Prepared by Melichar Architects

On behalf of Mr. Andy Merits, Melichar Architects is requesting Building Review Board approval for demolition of an existing home and garage, and design of replacement structures.

BACKGROUND

Andy Merits' family has owned the existing home and property at 1129 Griffith Road since 1963, and he grew up in the home. Now Andy would like to move back to his childhood neighborhood and live in a sustainable, healthy home that he can gracefully age-in-place. However, the current conditions of the existing home and garage preclude Mr. Merits from making meaningful renovations, repairs, and upgrades for the long-term.

EXISTING PROPERTY DEFICITS

The existing property has numerous deficits. The home's basement ceiling height is not habitable for needed living space, subsurface water pressure and past City storm sewer issues have heaved the concrete floor slab and rising damp is evident, and exit stairs are not code compliant, and egress wells do not exist. Mold and water damage are also present in the basement. In order to solve these problems, Mr. Merits would need to lift his existing home (above the foundation), dig out the basement deeper and pour a new concrete slab and foundation walls, then provide proper waterproofing, drain tile, and insulation at considerable expense.

Initially, jacking-up the house and building a new basement under the house was considered. However, a little over 25 years ago, Andy's parents renovated and added onto their home. Their home was modified in unsympathetic ways that created awkward functionality in the home. To rectify the functional problems, modifications/renovations are necessary as well. There would be very little to save for Mr. Merits' desired use as he moves forward. Also, adding an elevator is a major consideration in Mr. Merits' project, and it would be very difficult to locate this necessity in the existing, renovated home.

Along the north wall of the house, the driveway actually abuts it, allowing water to seep into the basement walls. Mr. Merits would like to install a new driveway with properly engineered drainage, and one that is not "attached" to the house. At the north property line, Mr. Merits' existing driveway extends up to the property line, with only a low curb separating Mr. Merits' driveway from the adjacent driveway on the property to the north. Oftentimes the northerly neighbor jumps the curb onto Mr. Merits' property to jockey around parked cars on their driveway.

Currently the existing garage is at the end of its useful life. The floor slab is heaved and broken, and wood rot is visible due to water penetration and wicking. Much of these poor conditions have been created by the large oak tree roots that have severely undermined the garage slab. In addition, the existing garage structure is undersized and wood framing is exposed (not encased in fire-rated gypsum board) as required by our current building code requirements.

For more details on the existing home, please see the Existing Conditions Report included in this BRB submission.

NEW CONSTRUCTION REQUEST – HOME AND GARAGE

Due to the extent of the many problems with his existing home and property, Mr. Merits is requesting demolition of the existing building structures and hardscape/driveway, and construction of new replacement structures and property improvements, so that Mr. Merits can achieve the following:

- Dry, useful basement living space with code compliant ceiling height and egress
- Handicap accessible features
- Environmentally safe air and building materials
- Energy efficiency
- Code compliant building structure
- Fire-rated construction and sprinklers, as required
- Function garaging for two cars
- Long-term viability of new construction in his neighborhood
- Exterior stoops, terraces, and landscaping that complement the new home and garage
- A new driveway with planting and fencing for privacy, to help differentiate between Mr. Merit's driveway and his northerly neighbor's driveway

The proposed home is designed in the Colonial Revival style. This vernacular architectural style is appropriate for the neighborhood, for Mr. Merits' project program; and, it is a building style that Mr. Merits prefers. Mr. Merits wants to build his forever home, and therefore he wants to ensure that his building materials are durable, beautiful and long-lasting.

CRITERIA FOR APPROVAL FOR DEMOLITION

The following are Demolition Criteria with our accompanying assessments regarding this specific petition:

Criterion 1: The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

According to the Lake County Tax Assessor's records, the existing home was built in 1926. Set along the street-front in congruence with all the neighboring structures, the home is a modest 2-story residence in the vernacular style.

There is no known architect of record, and we are not aware of any past owner of significance. The existing home has no distinctive architectural features.

Criterion 2: Realistic alternatives, including adaptive re-uses, do not exist because of the nature or cost of work necessary to preserve the structure, or to realize any appreciable part of its value.

To fit the Mr. Merits' current design criteria, and his desire to have an accessible home that can accommodate potential future wheelchair needs, along with the history of water issues, it does not make sense to consider renovating the existing structure. The entire home would require a complete reconfiguration, along with new building mechanical systems. Yet after all that work and costs associated with necessary upgrades, the basement (that could comprise 1/3 of additional living space) would be unusable per code unless the basement is dug out, the house lifted, and a new foundation poured. Too much would need to be removed and rebuilt at considerable financial hardship to the homeowner.

Criterion 3: The structure, in its present or restored condition, is unsuitable for residential or a compatible use; or fire or other casualty damage or structural deterioration has rendered the structure an immediate health or safety hazard.

The existing structure is suitable for residential use, and the structure is not a health or safety hazard. However, its current layout is not conducive to installing an elevator. Low ceilings, water penetration and a heaving basement slab preclude the basement from being code compliant living space.

Criterion 4: The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

The replacement structure should improve the value of the property within the neighborhood. The replacement structure will be in-keeping with the streetscape and the overall building construction will be of better quality than the current conditions on the property. Site drainage and landscape/hardscape will be improved for Mr. Merits, and for his neighbors.

Criterion 5: The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.

The proposed replacement structure will be compatible with the existing neighborhood. The proposed home is a two-story, colonial revival style; and, it is sized and located on its site appropriately to fit-in with adjacent properties.

The proposed garage is placed in approximately the same location as the existing garage (starting at the northeast corner), but it can adequately accommodate two cars - although the existing garage has two garage doors, it is actually too small in width (at only 18.4' wide) to fit two vehicles side-by-side and have space to open up the vehicle doors. The proposed, modest two-car garage (24' wide) amenity is helpful for the long-term viability of this property within the neighborhood.

CRITERIA FOR REPLACEMENT STRUCTURE

Standards for review are itemized below. As the proposed home is an improvement, on occasion we make comparisons between the existing home with the proposed home:

Compatibility with Neighborhood – The proposed home is compatible with the neighborhood. It has a vernacular style that is in-keeping with the other homes, but is not a repetitive duplication of other homes.

Rhythm – The replacement home has been designed to maintain the existing rhythm of structures on the street, and fit-in with the established neighborhood.

Architectural Style – The colonial revival style architecture of the proposed home is an improvement over the original home. The existing home is a mix of roof shapes, building materials, and window styles. The proposed home is consistent in proportion, building massing, fenestration and building materials. The proposed garage will be visually compatible with the proposed home's massing and color.

Building Scale and Height – The building scale of the new home is similar to the adjacent two-story structures. Currently the existing home is approximately 28' above grade to the roof ridge. The new home has a roof ridge of 30' above grade to accommodate an appropriate roof slope for the architectural style of the home.

Relationship of Solids to Voids – The front façade of the proposed home has a consistent solid to void ratio and is in-keeping with the colonial revival style of the architecture.

Continuity of Roofs and Contributing Elements – Roof forms, eaves and surrounds are consistent with the colonial revival architectural style.

Exterior Materials – Refer to the BRB materials checklist.

Colors – Colors are consistent with the colonial revival architectural style. See attached rendered front elevation and color palette.

Massing – The building massing is simple, reflecting the home's unassuming vernacular style.

Roof Shapes – Roof shapes are simple in form, reflecting the home's architectural style.

Detailing and Fenestration – Integrity of the colonial revival style is maintained with consistent use of double hung windows, except at a few locations where casements/awnings are used for operational reasons (for example, it's a lot easier to open a casement window when reaching over a kitchen countertop).

Site Plan and Driveway – The proposed site plan is an improvement over the existing site plan.

In the existing site plan, the following items are problematic:

- The driveway abuts the home and attaches to the neighbor's drive to the north with a low curb between.
- The front walk bisects the front yard and does not attach to the drive.
- The front steps and stoop paver materials are settling and shifting.

The proposed site plan provides the following upgrades:

- The driveway allows for proper drainage and landscape buffers.
- The front yard has a more convenient visitor drop-off.
- The garage, while enlarged in width to adequately fit two cars, maintains green space around it; and, it is set back from the neighbor's garage immediately to the north.
- Fencing and planting along the north property line provides more screening between neighbors.
- Terrace, steps, and stoop paving materials are upgraded and professionally designed

Landscape – A refreshed landscape plan is being presented, with as much tree replacement as possible for this smaller property, per the Tree Preservation and Landscape Ordinance.

CONCLUSION

A renovation approach to Mr. Merits' existing home would be comprehensive, extensive and costly, while the final design/construction product would be less than optimal due to existing inherent conditions that cannot be resolved. Therefore we concluded that it best to tear down the existing home and replace it with a home and garage that will provide quality, long-term solutions for Mr. Merits' property and the neighborhood.



MELICHAR

ARCHITECTS

February 6, 2024

Re: Merits Residence
1129 Griffith Road
Lake Forest, IL 60045

EXISTING CONDITIONS REPORT

The house at 1129 Griffith Road was constructed circa 1926. This is a wood framed house with brick veneer and wood siding. The house is a two story home with a basement. A two story addition was put on in 1997 (on the east side) and has a crawl space beneath it. A detached wood frame garage (built circa 1947) with wood siding is located at the east side of the property.

The home has been owned by the Merits Family since 1963. They have been stewards of the property to the best of their ability. However, there have been several occurrences when the storm sewer and sanitary sewer have backed up into their basement, causing much damage to their home and property. In 2018, the Merits undertook below-grade remedial work and had a flood control system installed to help prevent future water destruction.

The following deficiencies were observed:

House (Main Structure)

Exterior

1. On the north wall, the asphalt driveway was poured right up to the brick wall. The brick at this location is visibly discolored from years of soaking up standing water. There is also moss growing along the wet brick wall. *(photo A)*
2. The front porch has settled and the bricks have cracked, thus leading to water infiltration behind the stoop and down along the front foundation wall. *(photo B)*

Interior

Basement

1. The floor severely slopes throughout the entire basement. Upheaval in several locations is evidence of the hydrostatic pressure beneath the slab. Because of all the moisture, the floor finish is peeling. *(photos C, D, and E)*
2. Cracks in the foundation wall (from outside water pressure) have been patched and repaired. *(photo F)*
3. Efflorescence is visible on the foundation walls. *(photo G)*
4. Water has infiltrated the ceiling (possibly water from the front stoop). *(photo H)*
5. The entire basement has low ceilings, ranging from 6'-1" to 7'-2". *(photo I)*
6. There is inadequate headroom at the top of the stairs to the basement, at 5'-9". *(photo J)*

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7. The soffit above the staircase protrudes into the required head-room space, and provides a non-code compliant condition, the head room is approximately 4'-7" at this location. (*photo K*)
8. The staircase risers and treads are not code compliant, risers are 8" tall and the treads are 9" deep. (*photo L*)

Garage (Accessory Structure)

Exterior

1. The garage exterior walls have settled. (*photo M*)
2. The exterior wood is rotted and deteriorated. (*photo N*)

Interior

1. The garage slab is cracked in several locations. Large portions of the garage slab have upheaved 4 or more inches. (*photo O1 & O2*)
2. The sill plates along the perimeter of the building are wet and rotten. (*photo P*)
3. The walls of the garage are wet and holding moisture. (*photo P*)

PHOTO DOCUMENTATION



Photo A: Discolored bricks along the driveway.



Photo B: Settled and cracked bricks at front porch stoop.



Photo C: Basement slab is upheaving in several areas (at the column in this photo).



Photo D: Severely sloping slab throughout the basement.



Photo E: Moisture underneath slab is causing floor finish to peel.



Photo F: Crack in the front foundation wall has been patched.



Photos G1 & G2: Efflorescence on foundation walls.



Photo H: Water damage at the ceiling.



Photo I: Low ceilings throughout basement.

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Photo J: Inadequate headroom/ceiling height at staircase to the basement.



Photo K: Soffit protruding into head-room space over the staircase.

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Photo L: Staircase with risers and treads that are not code compliant.



Photo M: The garage has visibly settled.



Photo N: The exterior wood on the garage is deteriorated and rotted.



Photo 01: The garage slab is cracked and has significantly upheaved in several locations.



Photo 02: The garage slab is cracked and has significantly upheaved in several locations.



Photo P: The garage sill plates are wet and rotten, and the garage walls are wet and holding moisture.

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SITE PLAN

LEGEND

PROPERTY LINE

SETBACKS

EXISTING BUILDINGS

NEW HOUSE & GARAGE

NEW DRIVEWAY

NEW HARDSCAPE



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Site Plan of Proposed Improvements

DRAWING SCALE: $\frac{3}{32}'' = 1'-0''$

MERITS RESIDENCE

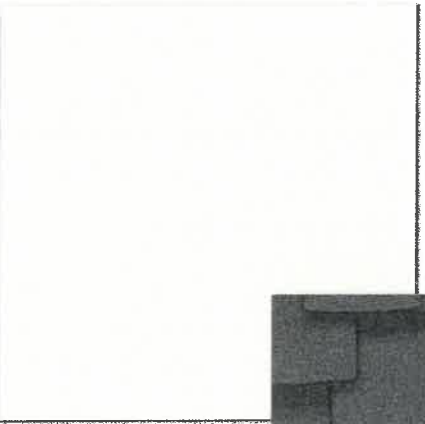
1129 Griffith Road
Lake Forest, IL 60045

JOB NO.: 2030

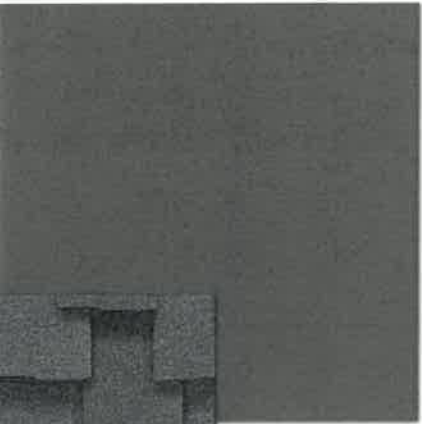
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05-01-2024 Meeting



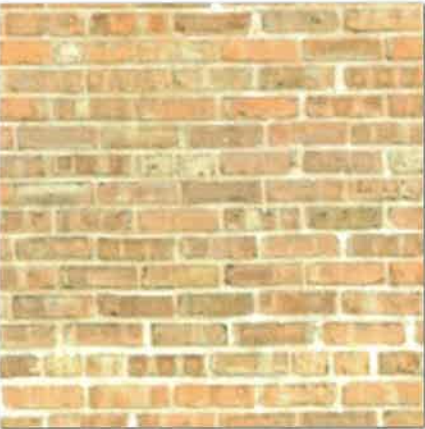
TRIM COLOR
FRONT ENTRY TRIM COLOR
PORTICO COLOR



FRONT DOOR
SHUTTERS
STAIR RAIL



ROOF SHINGLES



EXISTING BRICK



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FRONT ELEVATION RENDERING
PROPOSED COLORS AND MATERIALS

MERITS RESIDENCE
1129 Griffith Road
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A

FRONT ELEVATION (West)

Scale: 1/8"=1'-0"



B

SIDE ELEVATION (North)

Scale: 1/8"=1'-0"



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PROPOSED ELEVATIONS

MERITS RESIDENCE
1129 Griffith Road
Lake Forest, IL 60045

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C REAR ELEVATION (East)
Scale: 1/8"=1'-0"



D SIDE ELEVATION (South)
Scale: 1/8"=1'-0"



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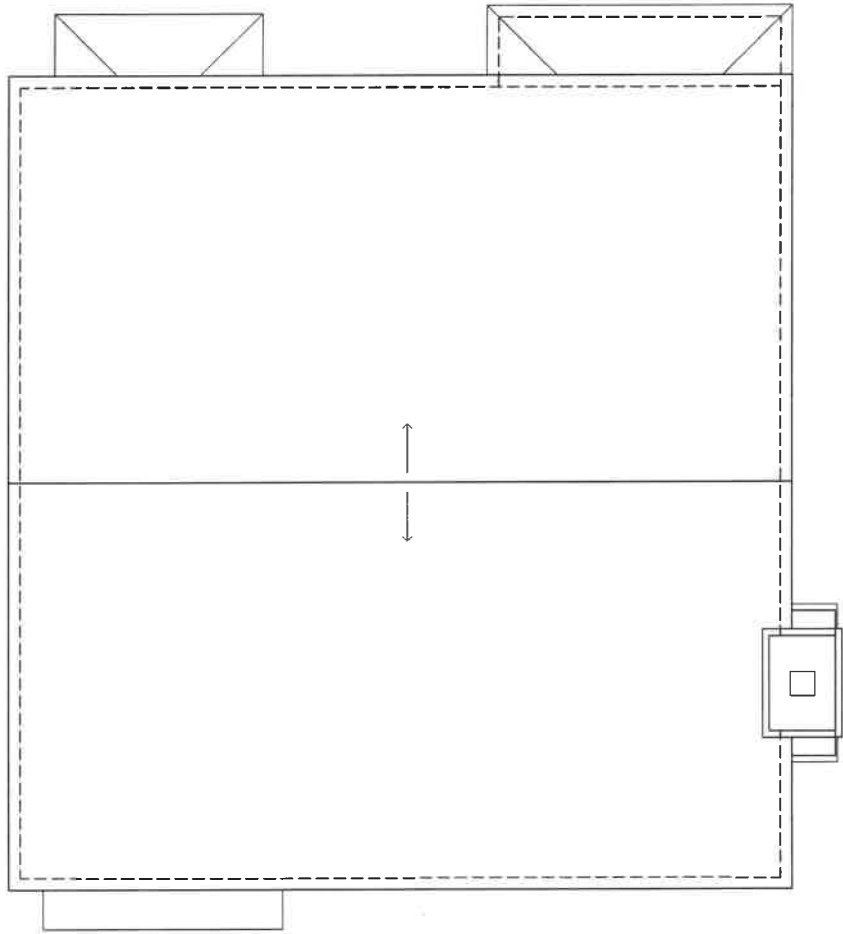
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PROPOSED ELEVATIONS

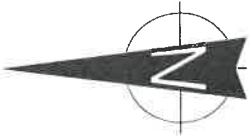
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1 ROOF PLAN
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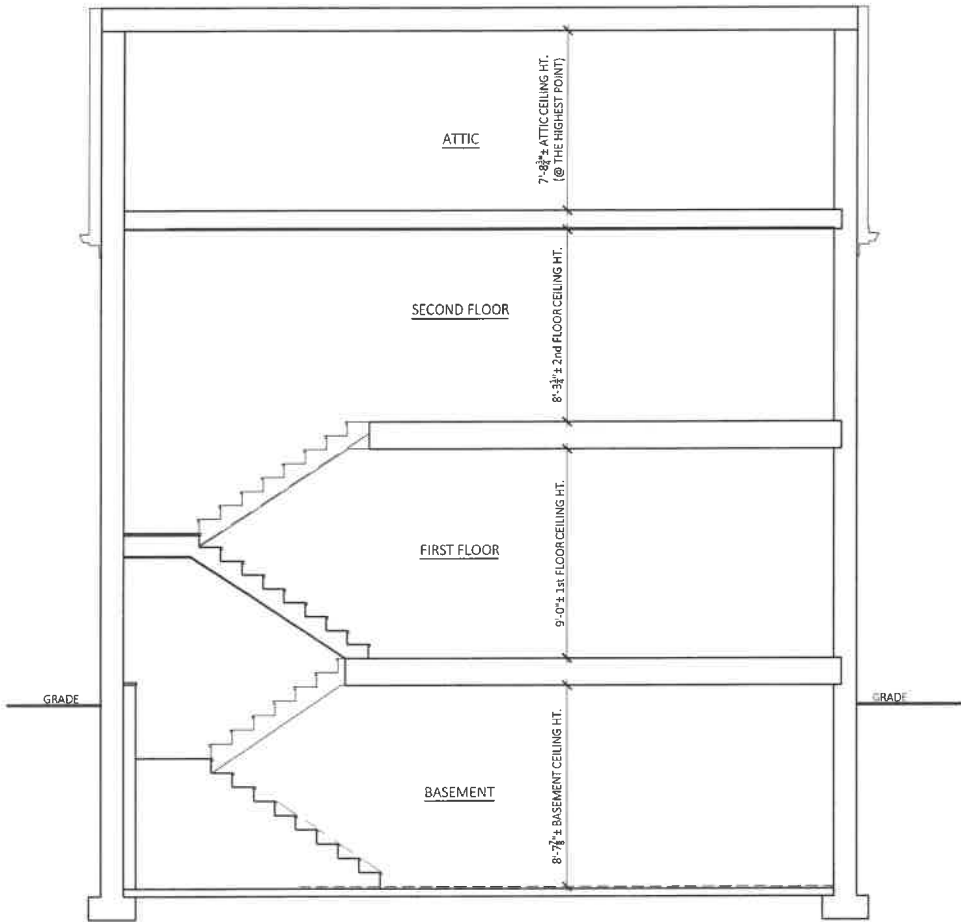
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PROPOSED PLAN

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1 BUILDING SECTION
Scale: 1/8"=1'-0"



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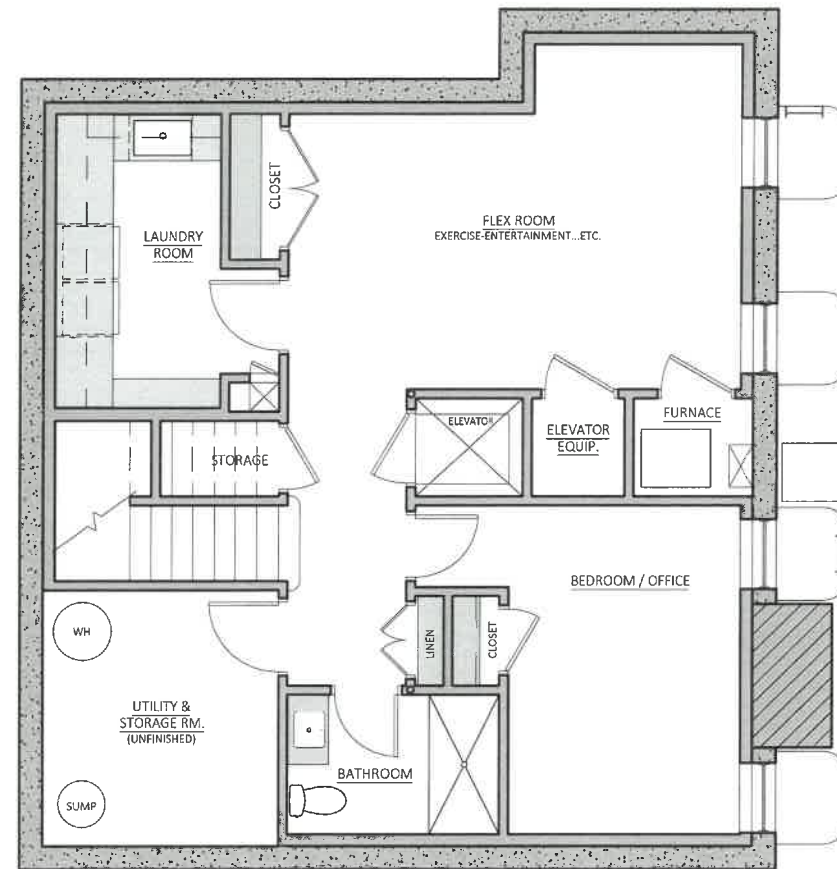
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PROPOSED BUILDING
SECTION

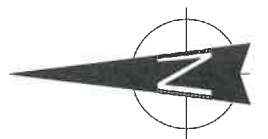
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0 BASEMENT FLOOR PLAN
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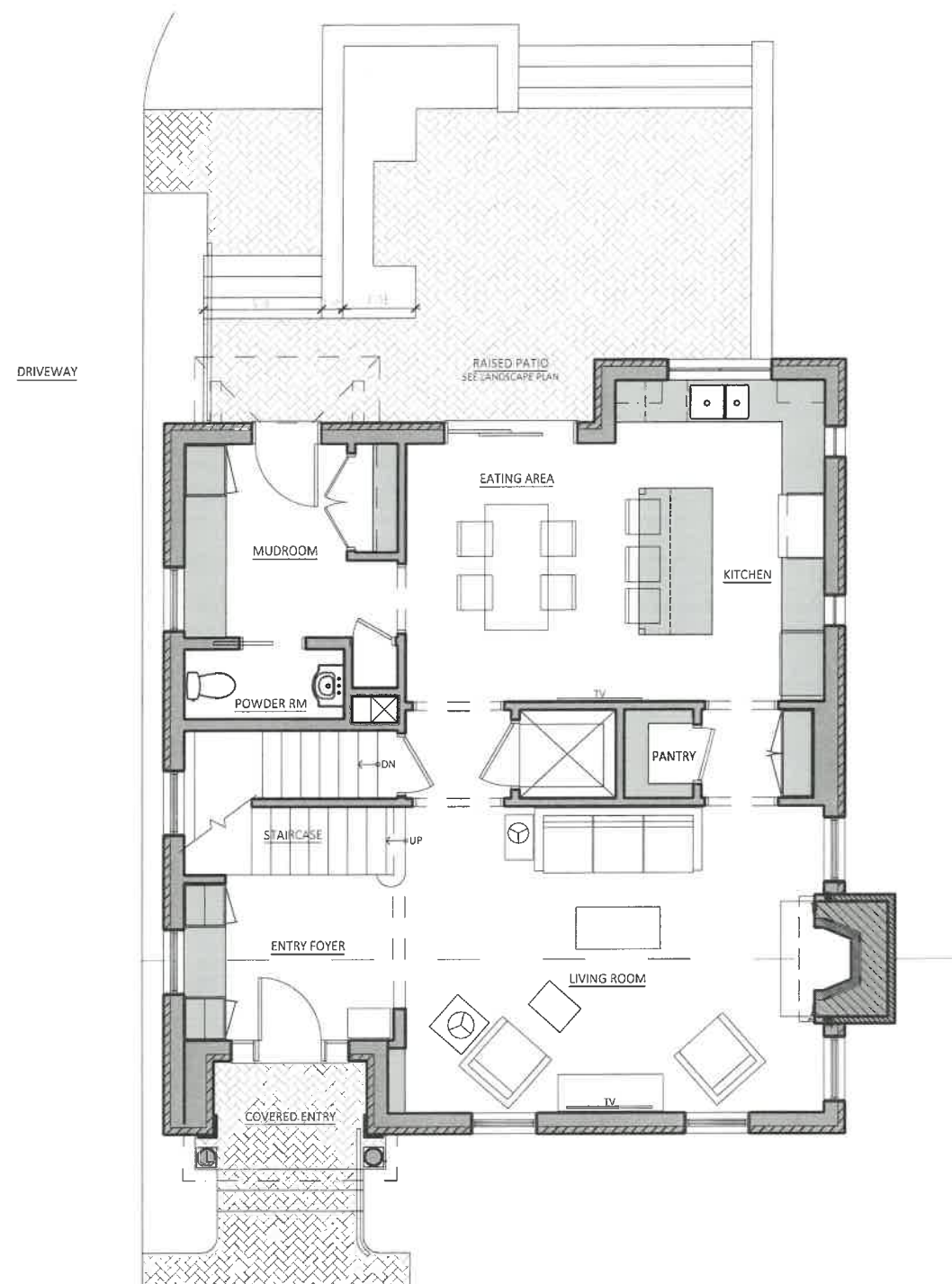
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PROPOSED PLAN

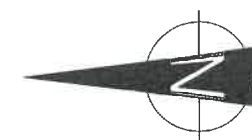
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1 1st FLOOR PLAN
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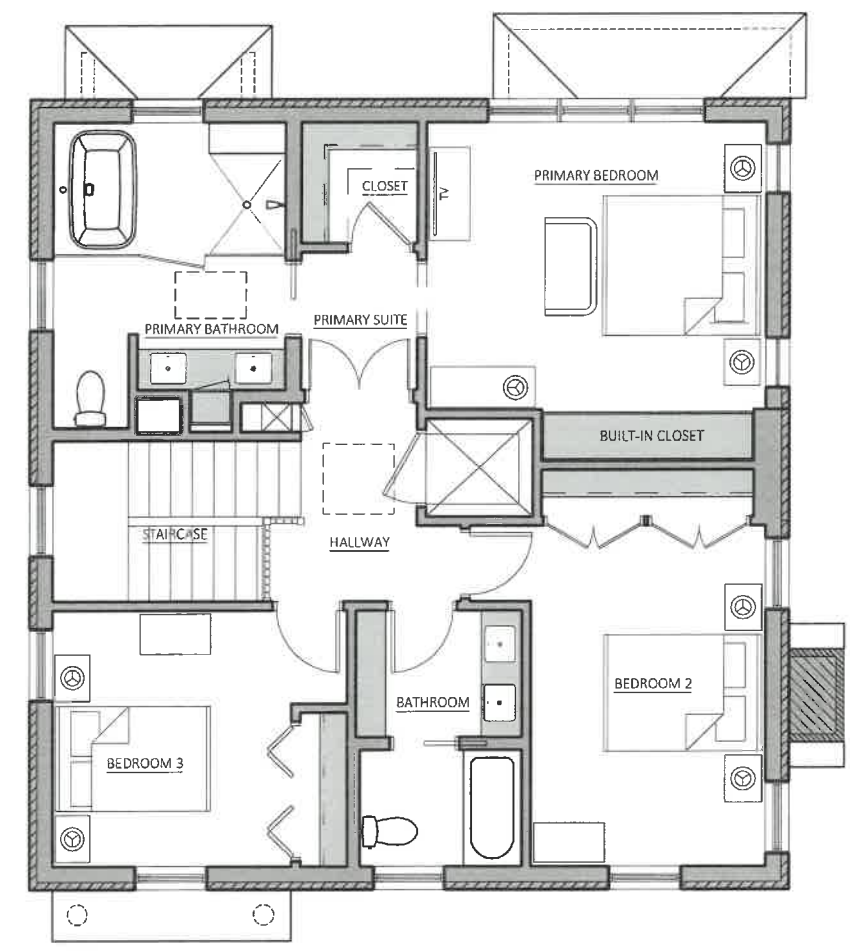
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PROPOSED PLAN

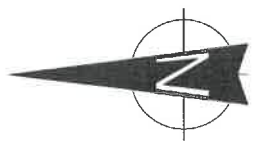
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2 2nd FLOOR PLAN
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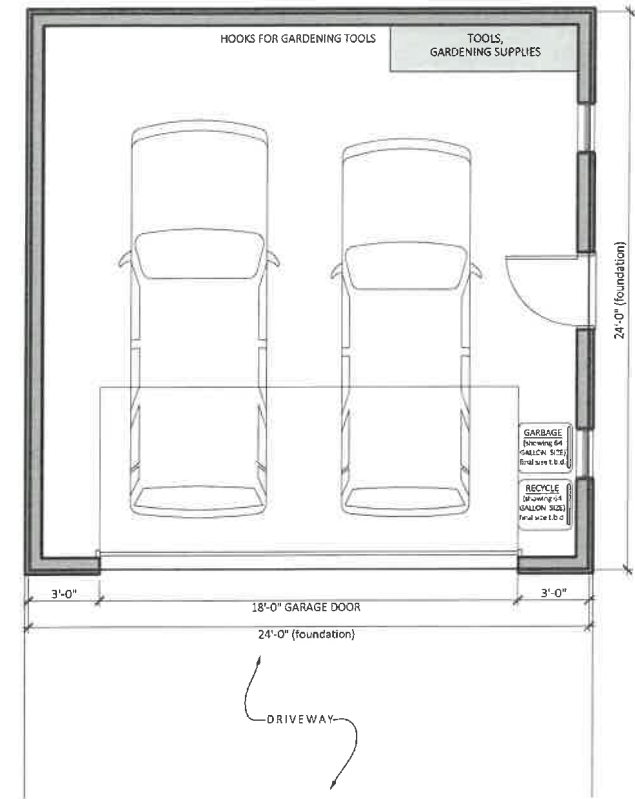


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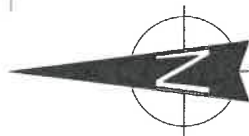
PROPOSED PLAN

MERITS RESIDENCE
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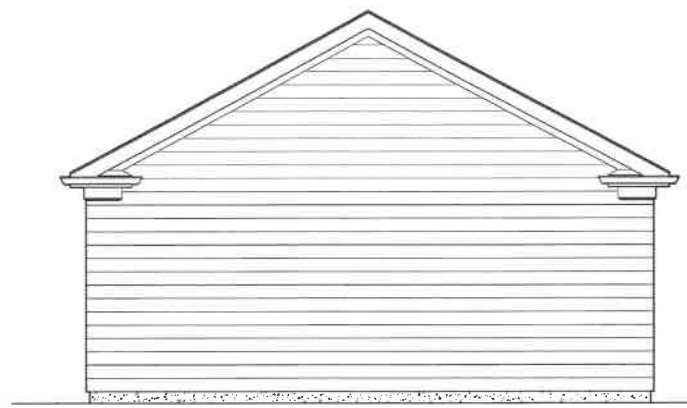
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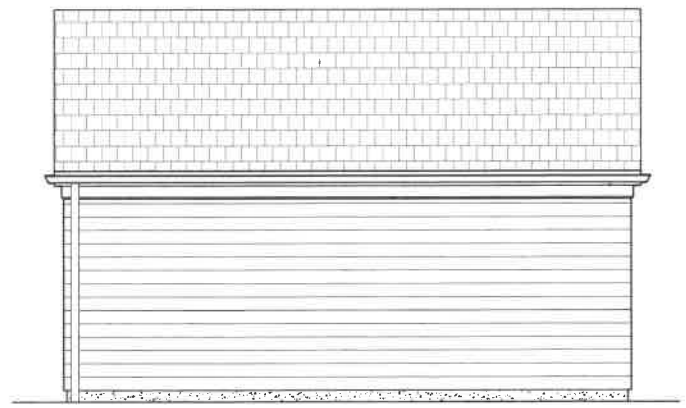
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3 SOUTH ELEVATION
Scale: 1/8"=1'-0"



4 EAST ELEVATION
Scale: 1/8"=1'-0"



5 NORTH ELEVATION
Scale: 1/8"=1'-0"



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PROPOSED GARAGE

MERITS RESIDENCE
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Lake Forest, IL 60045

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05-01-2024 Meeting

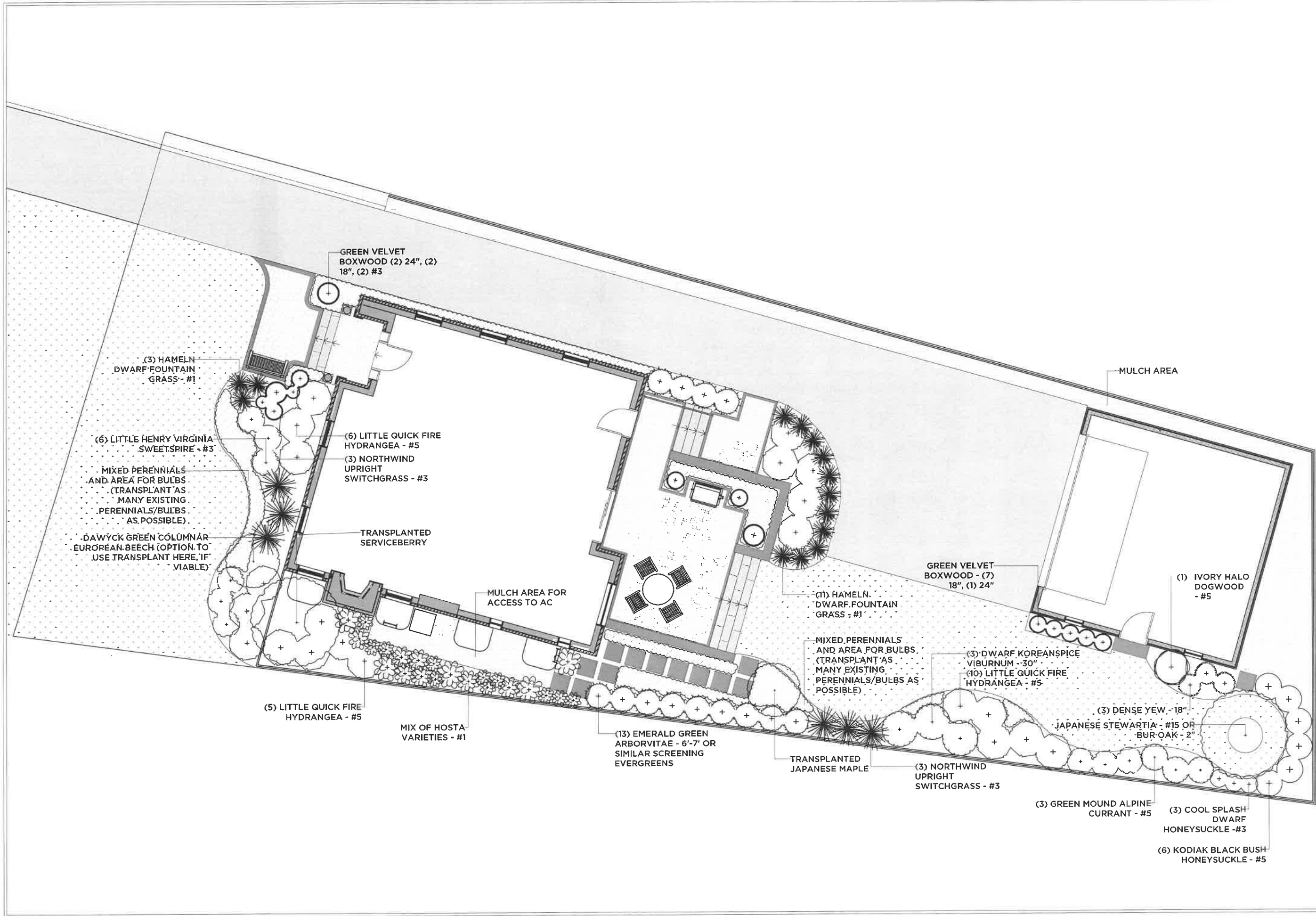


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DATE: 12/11/23
REV: 01/24
REV DATE: 2/27/24
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SHEET TITLE
LANDSCAPE PLAN

SHEET REFERENCE NUMBER
L2/1.0

THE MERITS RESIDENCE
1129 GRIFFITH ROAD
LAKE FOREST, IL 60045

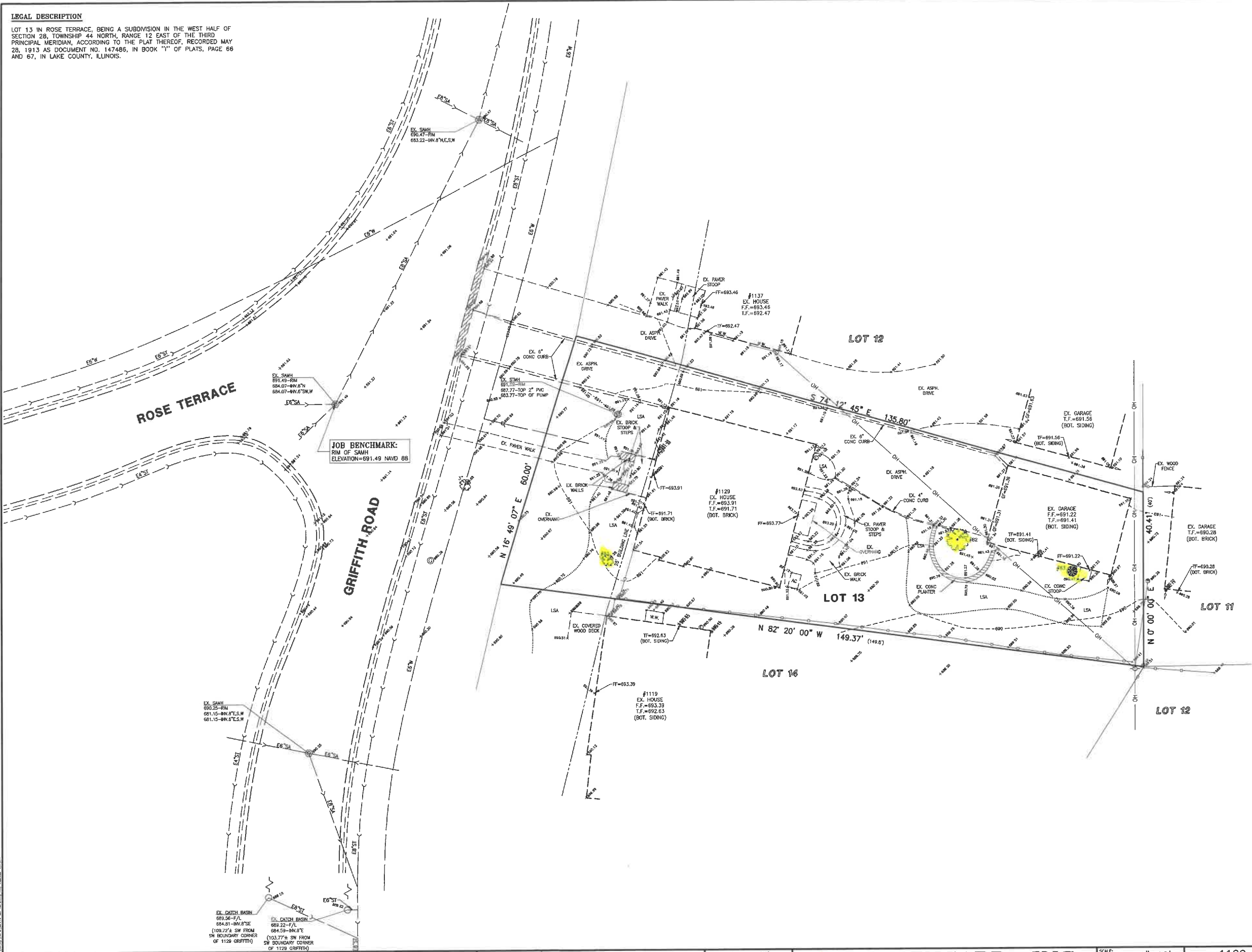


TREE REMOVAL PLAN

[illegible]

LEGAL DESCRIPTION

LOT 13 IN ROSE TERRACE, BEING A SUBDIVISION IN THE WEST HALF OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED MAY 25, 1913 AS DOCUMENT NO. 147486, IN BOOK "I" OF PLATS, PAGE 66 AND 67, IN LAKE COUNTY, ILLINOIS.



SOURCE BENCHMARK:
CITY OF LAKE FOREST B.M.
MONUMENT NUMBER 61
ELEVATION=670.379 (NAVD 88)

LEGEND

- 104' CONTOUR
- 105.08 SPOT ELEVATION
- 12" DECIDUOUS TREE W/DIA.
- 12" CONIFEROUS TREE W/DIA.
- 12" SANITARY MANHOLE
- 12" STORM MANHOLE
- 12" CATCH BASIN
- 12" INLET
- 12" WATER SERVICE BOX
- 12" VALVE & VAULT
- 12" FIRE HYDRANT
- 12" UTILITY POLE
- 12" LIGHT STANDARD
- 12" STORM CULVERT
- 12" SANITARY SEWER
- 12" STORM SEWER
- 12" WATER MAIN
- 12" DITCH
- 12" SWALE
- 12" DIRECTION SURFACE DRAINAGE
- 12" FENCE
- 12" DOWNSPOUT

0 10 20 30 40
SCALE IN FEET

SOLE PROPERTY OF GREENGARD, INC. AND NO REPRODUCTION OR USE IN WHOLE OR PART WITHOUT WRITTEN PERMISSION OF GREENGARD, INC.

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REVISIONS

DRAWN BY: DATE:

REVISIONS

DESIGNED BY: JDM DATE: 8-18-23
CHECKED BY: DRP DATE: 8-18-23
APPROVED BY: DRP DATE: 8-18-23



GREENGARD, INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3623
PHONE: 847-634-3883 FAX: 847-634-0687
E-MAIL: 231@GREENGARDINC.COM ILL. REGISTRATION NO. 164-000895

SCALE: 1"=10'
DRAWING NO. 69170
SHEET 1 of 1

1129 GRIFFITH RD - LAKE FOREST, IL
EXISTING TOPOGRAPHY

Agenda Item 4
1175 Old Colony Road
New Residence on a Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Plat of Survey
Site Plan
Conceptual Rendering
Elevations
Roof Plan
Building Sections
Floor Plans
Conceptual Landscape Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1175 Old Colony Road

Consideration of a new residence on a vacant lot and a conceptual landscape plan.

Property Owner: Mary Milligan Funk
Presented by: Mary Milligan Funk

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of a new two-story residence on a vacant lot and the initial landscape concepts.

Description of Property

This property is located on the east side of Old Colony Road, just north of Old Elm Road and the Prairie Wolf Forest Preserve. It falls within the Lake Forest Heights Subdivision, platted in 1924. The 15,000 square foot lot is rectangular in shape.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan - This standard is generally met.

The proposed residence is sited in the middle of the lot, facing west towards Old Colony Road. The front facing garage projects to the north and abuts the 12-foot side yard setback line. The asphalt driveway as proposed is 24-feet-wide and takes a straight path across the front yard to the garage, perpendicular to Old Colony Road. The maximum driveway width permitted within the front yard setback is 16 feet. The driveway width will need to be adjusted to comply with the 16 foot width, widening out as it approaches the garage, beyond the setback. It may be necessary to adjust the siting of the garage slightly to assure adequate width at the approach to the garage. No hardscape beyond a simple concrete sidewalk connecting the driveway to the front entrance is shown.

A screen porch is planned at the rear of the home. Patio/terrace materials are noted on the Description of Exterior Materials sheet however, no patio or terrace is reflected on the site plan.

Recommendation: If a patio or terrace is in the scope of the project, it should be reflected on the site plan submitted for permit.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 3,400 square feet is permitted on the site with an allowance of 576 square feet for a garage and 340 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 2,576 square feet.
- The proposed garage totals 609 square feet, 33 square feet over the maximum garage exemption. The overage must be added to the square footage of the house.
- In addition to the above square footage, a total of 454 square feet of design elements are incorporated into the design of the house including the rear screen porch. This totals 114 square feet above the maximum design element exemption. The overage must be added to the square footage of the house.

In conclusion, the proposed residence totals 2723 square feet. That is 677 square feet or 20 percent below the maximum allowable square footage for this property.

At its tallest peak, the residence as measured from the lowest point of existing grade is 26 feet and four inches. The maximum height allowed for a residence on this size lot is 30 feet as measured from the lowest point of existing grade to the tallest roof peak.

Elevations – This standard is met.

The petitioner's statement of intent does not name an architectural style but describes it as a "simple stucco home". The front elevation ties the attached garage to the residence using arched doorways on the ground level and gables in the roof. Copper gutters break up the massing with light fixtures accenting the elevation throughout. The wall of the front facade extends beyond the house and acts as a garden-type wall with a door to the backyard.

The north elevation is articulated with a few windows and a shed dormer to break up the solid massing. The garage wall sits heavily on the righthand side of the elevation with a large expanse of unbroken wall. While landscaping will benefit this elevation, it would benefit from further articulation through fenestration. The conceptual landscape plan as presented does not reflect any landscaping along the north wall of the garage.

The south elevation is articulated with a gable element and a shed dormer. Toward the front of the house, the windows appear somewhat randomly placed. The elevation could benefit from some further study to provide for greater consistency in window placement and to provide some additional relief from the expanse of solid wall. A single story element at the rear of the house provides seasonal, screened living space.

The east elevation, the rear of the residence, is appropriately articulated on the left side. The screen porch is detailed with symmetrically placed screened openings. The right side of the east elevation could benefit from centering the rear garage door and consideration of windows or detailing to break up the wall massing as viewed from the backyard should be taken. To be consistent with the City's Design Guidelines, all elevations are encouraged to be detailed to a similar level.

On the south elevation, an additional second story window may help to break up the solid wall massing.

Staff Recommendation: Conduct further study of the north, south, and east elevations with attention to improving the balance between solids and voids.

Type, color, and texture of materials – This standard is met.

Light green doors and shutters are placed against soft white cement stucco exterior walls. The doors are trimmed with buff limestone. The chimney is proposed as to match the exterior walls. Consideration of a masonry chimney is encouraged to add character and distinction to the home. Casement wood windows with aluminum cladding and interior and exterior muntins, simulated divided lites, are detailed with buff limestone sills. The front façade is accented by copper gutters and downspouts while aluminum gutters and downspouts are proposed on all other elevations. The driveway material is noted as crushed stone. Additional information will be required at the time of permit to clarify the base proposed for the driveway. As noted above, bluestone and brick pavers are called out for a terrace or patio however, this feature is not reflected on the site plan.

Landscaping - This standard can be met.

The petitioner's statement of intent expresses how landscaping criteria will be met, however, the plan submitted has little detail. A fully detailed tree survey, tree removal plan, and landscape plan will be required at the time of submittal for permit. The landscape plan must provide details on the proposed species, location, and size at time of planting, and any replacement tree inches that are required. A grading and drainage plan has not yet been submitted for this project and it is anticipated that additional trees on the site may be impacted by grading, drainage and construction activity. The tree survey, landscape

plan, and grading and drainage plan will be evaluated by City staff to determine the required number of replacement tree inches and for compliance with the Code's minimum landscape requirements for new homes. Any proposed hardscape should be reflected on the landscape plan or in a separate hardscaping plan.

Staff Recommendation: If a patio or terrace is proposed, it must be reflected on the landscape plan or on a separate hardscape plan and submitted at the time of application for permit.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this request.

Recommendation

Recommend approval of the residence and attached garage based on the findings presented in this staff report and incorporating the Board's deliberations as additional findings subject to the following conditions of approval.

Conditions of Approval

1. If a patio or terrace is proposed, it shall be reflected on the site plan submitted for permit.
2. Conduct further study and refinement of the north, south, and east elevations as it relates to balancing the relationship of solids and voids and aligning windows.
3. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
4. Prior to the issuance of a building permit, a detailed tree survey must be submitted to the City for review. Tree species, condition, and size must be detailed. City staff will review the existing trees in the context of the

drainage and grading plan and determine the required replacement tree inches.

5. Prior to the issuance of a building permit, a detailed landscape and hardscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. Any inches not able to be accommodated on the site shall be compensated through a payment in lieu of on site planting and will be used to plant parkway trees in the general area of the property. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.
6. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect the parkway trees and all other trees that may be impacted during construction must be submitted and will be subject to review and approval by the City.
7. At the time of submittal for a building permit, detailed drainage and grading plans must be submitted. No grading or filling shall be permitted except the absolute minimum necessary to meet accepted engineering standards and practices.
8. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
9. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1175 Old Colony Owner(s) Mary Milligan Funk

Architect Mary Milligan Funk Reviewed by: L. Prado

Date 5/1/2024

Lot Area 15000 sq. ft. Allowed Square Footage 3400

Square Footage of Residence -- New

1st floor 1279 + 2nd floor 1297 + 3rd floor 0 = 2576 sq. ft.

Design Element Allowance = 340 sq. ft.

Total Actual Design Elements = 454 sq. ft. Excess = 114 sq. ft.

Garage 609 sf actual ; 576 sf allowance Excess = 33 sq. ft.

Garage Width 22 ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 2723 sq. ft.

TOTAL SQUARE FOOTAGE = 2723 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 3400 sq. ft.

DIFFERENTIAL = 677 sq. ft. **NET RESULT:**
Under Maximum

677 sq. ft. is

Allowable Height: 30 ft. Actual Height 26 ft. 4 in. 20% under
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 340 sq. ft.

Open Porches = 0 sq. ft.

Rear & Side Screen Porches = 330 sq. ft.

Covered Entries, Portico = 40 sq. ft.

Porte-Cochere = 0 sq. ft.

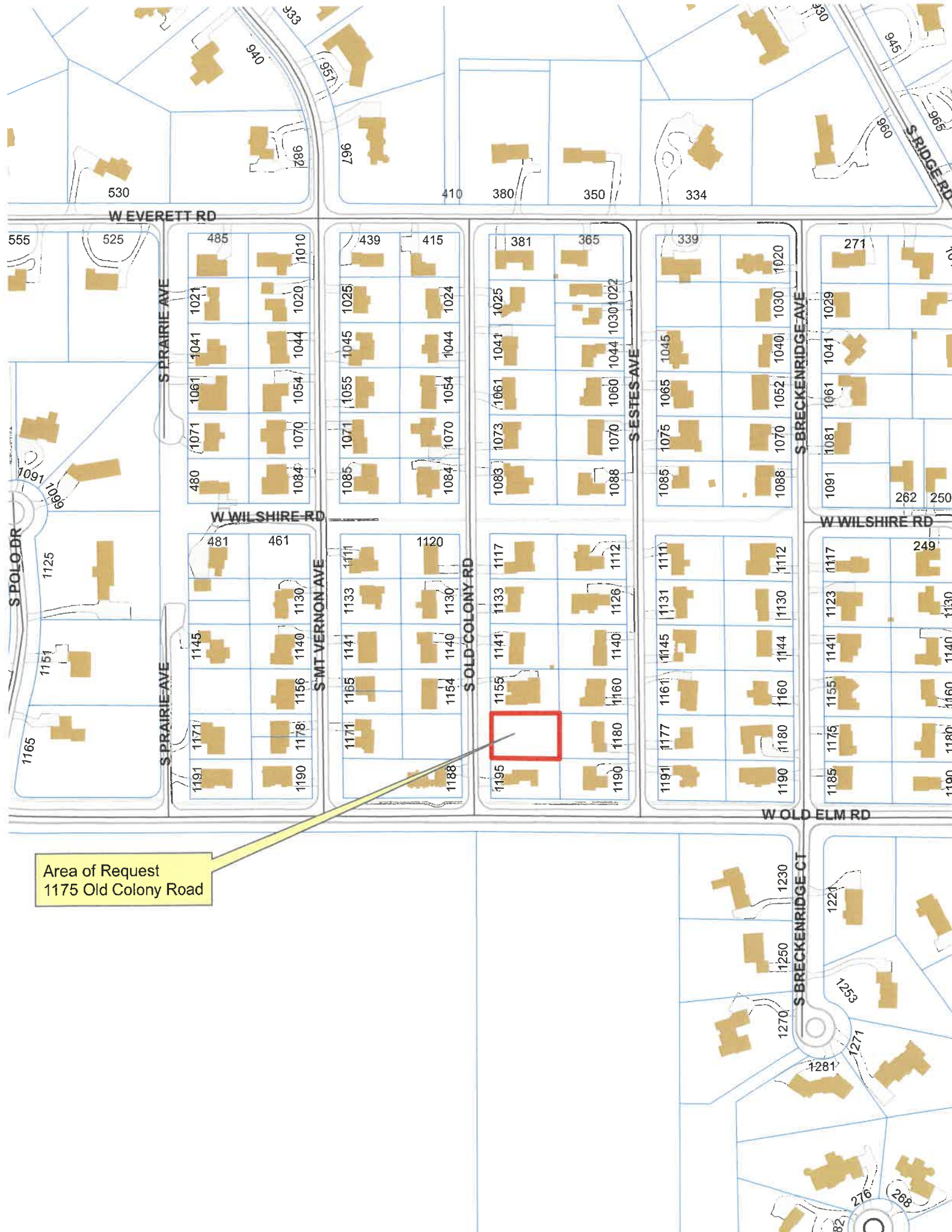
Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

Individual Dormers = 84 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 454 sq. ft. **Excess Design Elements** = 114 sq. ft.



Area of Request
1175 Old Colony Road



Area of Request
1175 Old Colony Road



Area of Request
1175 Old Colony Road



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1175 Old Colony Rd.

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

Mary Milligan Funk
Owner of Property

Owner's Street Address (may be different from project address)

City, State and Zip Code

847-269-7897
Phone Number Fax Number

Mary.restorativehomes@gmail.com
Email Address

Mary Milligan Funk
Owner's Signature

ARCHITECT/BUILDER INFORMATION

Mary Milligan Funk
Name and Title of Person Presenting Project

Restorative Homes, Inc.
Name of Firm

1959 Indiana Trl
Street Address

Stamboat Springs, Co 80487
City, State and Zip Code

847-269-7897
Phone Number Fax Number

mary.restorativehomes@gmail.com
Email Address

Mary Milligan Funk
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report ☒ OWNER ☒ REPRESENTATIVE

Please fax a copy of the staff report ☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department ☐ OWNER ☐ REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☐ Stone
☐ Brick
☐ Wood Clapboard Siding
☒ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material Soft white

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish _____

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone (Buff)
☐ Brick
☐ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☒ Limestone sills (Buff)
☐ Brick
☐ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☐ Stone
- ☒ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles
- ☒ Sheet Metal *See attached picture (aged Zinc)*
- ☐ Other _____

Flashing Material

- ☐ Copper
- ☐ Sheet Metal _____
- ☐ Other _____

Color of Material _____

Gutters and Downspouts

- ☒ Copper - *Front-facade*
- ☒ Aluminum - *Remainder*
- ☐ Other _____

Driveway Material

- ☐ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☒ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☒ Bluestone
- ☒ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____

Statement of Intent
1175 Old Colony Road
Lake Forest, IL 60045

The intent is to build a 2700 sq ft home on a 1/3 acre (100' X 150') vacant lot in the Lake Forest Heights Subdivision. The lot is flat in nature and surrounded by homes built in the mid 1980's. The majority of homes are two story or cape cod with front loaded garages. The facades are clapboard, brick and stucco with asphalt shingle roofs. There are a few older homes with less distinct characteristics. The driveways are primarily asphalt, with some concrete and there are many mature trees. (Please see the attached photos of the neighboring houses)

The proposed home at 1175 Old Colony is a simple stucco home with simulated divided light windows, metal roof, correctly sized wood shutters, wood garage doors and a wood front door. The gutters and downspouts will be copper on the front façade and aluminum to match the stucco or trim on the sides and rear. (See attached drawings and samples of materials)

Height is 26'4"

Bulk is 2722

The design falls within all city guidelines for scale, bulk and design criteria.

Determining what type of home to build was a balance between fitting in and still creating a unique home that doesn't feel new. This was achieved with the following

- Traditional and simple architecture and rooflines
- Subtle materials and colors
- Keeping the height below what is allowed (26'4" vs 30' allowed)
- Keeping the bulk below what is allowed (2722 vs 3400 allowed)
- Lot placement – Set slightly to the rear and to the left on the lot in order to create separation and balance with the surrounding homes, prevent tree loss (majority of which are on the south side of the lot) and utilize southern sun. The garage/driveway was also placed on the left to preserve the existing trees.

The Landscaping plan and intent

- Gravel driveway with an apron of concrete or brick (with the option of asphalt or concrete if costs are too high)
- Brick or bluestone walkway and front stoop
- Qty six 6-8' Evergreens on the South side lot line offering privacy to the house to the south. (Satisfies 156 linear ft of front & side yard foundations)
- Continuation of the fence on the south side to match the north and east side existing fence.
- Qty two ornamental trees in the front yard (satisfies 58 linear ft of front yard foundation)
- Qty twelve 3' bushes in the front yard (satisfies 58 linear ft of front yard foundation)
 - 7 Boxwood

Statement of Intent
1175 Old Colony Road
Lake Forest, IL 60045

- 5 Rhododendron or similar
- Shade tree requirements are satisfied with the existing trees on site.
- All planting beds will have ground cover or mulch

Impervious surfaces are 23.5 % of the overall lot

House, porch & wing wall = 1303

Garage = 627

Rear Porch = 360

Driveway = 1085

Walk and stoop 125

Total = 3500sq ft

Lot = 15,000

% = 23.5%

Boundary and Topographic

R.E. DECKER
(1933-1999)

R.G. PAVLETIC
P.C.S. 035-3261

Plat of Survey

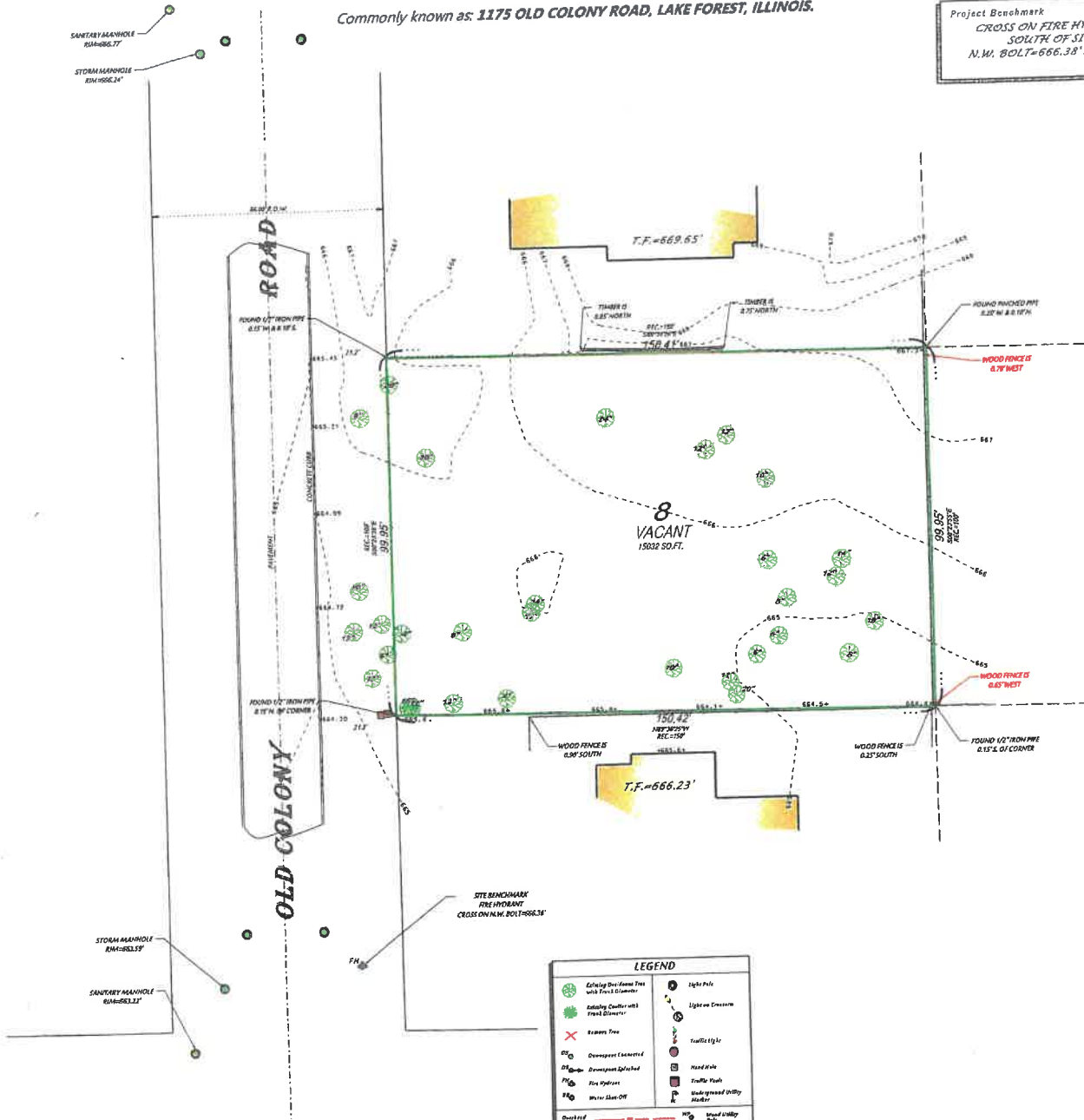
Lot 8 in Block 11 in Lake Forest Heights, being a Subdivision of the South Half of the Northeast Quarter, lying West of the Westerly right of way line of the Chicago and Northwestern Railway Company, and the East Half of the Southeast Quarter of the Northwest Quarter all in Section 8, Township 43 North, Range 12, East of the Third Principal Meridian, according to the Plat thereof, recorded April 9, 1924 as Document 237997, in Book "M" of Plats, Pages 70 and 71, in Lake County, Illinois.

Commonly known as: 1175 OLD COLONY ROAD, LAKE FOREST, ILLINOIS.

The Meridian is assumed but reflects the record Subdivision or Deed, except when noted.

Scale 1" = 20 ft

Project Benchmark
CROSS ON FIRE HYDRANT
SOUTH OF SITE
N.W. BOLT=666.38' NAVD '88



LEGEND	
Existing Deciduous Tree with Trunk Diameter	Light Pole
Existing Conifer with Trunk Diameter	Light Pole Cross
Existing Tree	Truck Light
Downspout Connected	Hand Pole
Downspout Disconnected	Truck Pole
Fire Hydrant	Submerged Utility Marker
Water Main Off	
Quarried Outcrop Line	Wood Utility Pole
Electric Line	Communication Pole
Gas	Manhole
Plumbing	Transformer
Sanitary	Manhole
Drain	Manhole
Water	Water Valve

ORDER NUMBER 21-878

ORDERED BY: HOWARD HOEPER

FOR: _____

REVISIONS: _____



R E DECKER
PROFESSIONAL LAND SURVEYORS P.C.
333 W. PETERSON RD SUITE B
LIBERTYVILLE, IL 60048
TEL. 847-362-0091
DeckerSurvey@gmail.com



Field Work Completed on: 8-4-21

STATE OF ILLINOIS }
COUNTY OF LAKE }

This professional service conforms to the current Illinois minimum standards for a "Boundary Survey." This professional service conforms to the current Illinois minimum standards for topographic surveys.

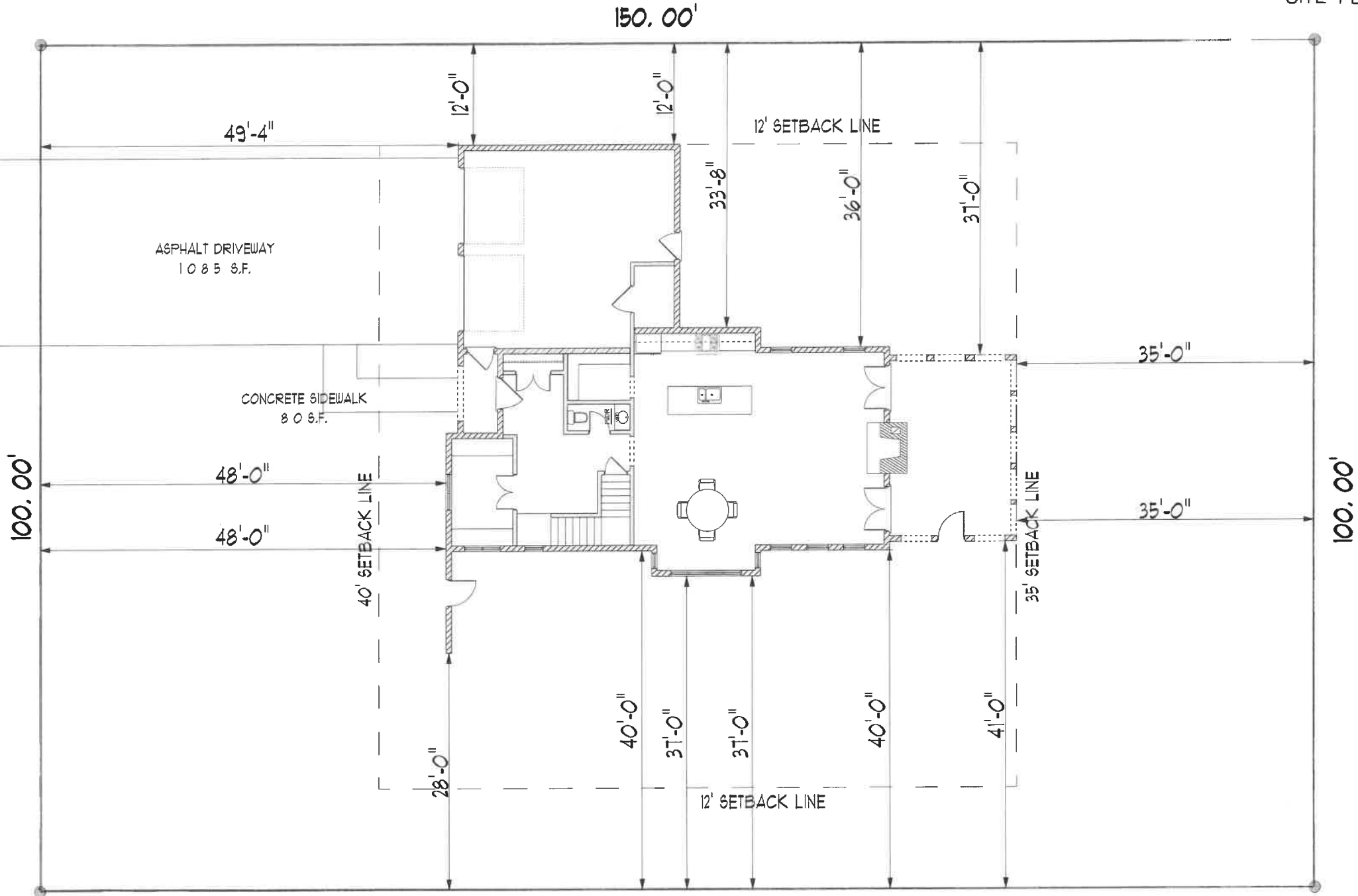
R. E. DECKER, P.C.

By: _____ Professional Land Surveyor

Compare the Description on this Plat with your Deed and Title also compare all stakes to this Plat before building by them, and report any differences at once. Dimensions are shown in feet and decimal parts thereof. Refer to Title, Covenants or Building Department for additional Easements, Setbacks or Restrictions which may exist.

WITHOUT A RAISED SEAL
PLAT IS NOT VALID

OLD COLONY ROAD



PRELIMINARY SITE PLAN
(3/8" = 1'-0")

HOUSE, PORCH AND WING WALL	1314 S.F.
GARAGE	614 S.F.
REAR SCREEN PORCH	330 S.F.
ASPHALT DRIVEWAY	1085 S.F.
CONCRETE SIDEWALK	80 S.F.
TOTAL IMPERVIOUS SURFACE = 3423 SQ. FT. (23%)	
TOTAL LOT AREA = 15,000 SQ. FT.	

PROPOSED RESIDENCE AT:
1115 OLD COLONY ROAD
LAKE FOREST, IL



FRONT (WEST) ELEVATION



BACK (EAST) ELEVATION
(1/4" = 1'-0")



FRONT (WEST) ELEVATION

PROPOSED RESIDENCE AT:
1115 OLD COLONY ROAD
LAKE FOREST, IL



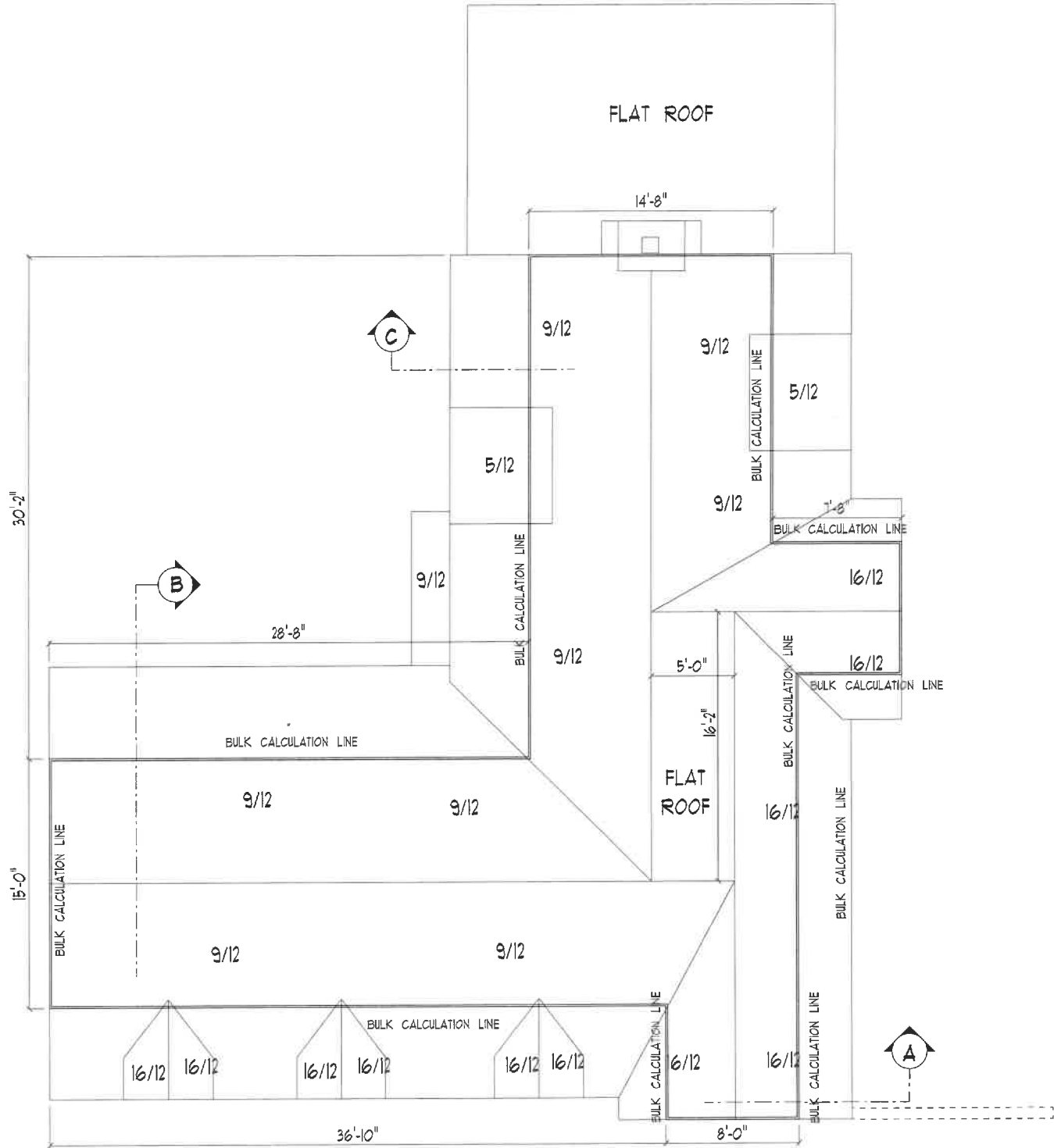
LEFT (NORTH) ELEVATION



RIGHT (SOUTH) ELEVATION

(1/4" = 1'-0")

PROPOSED RESIDENCE AT:
1115 OLD COLONY ROAD
LAKE FOREST, IL

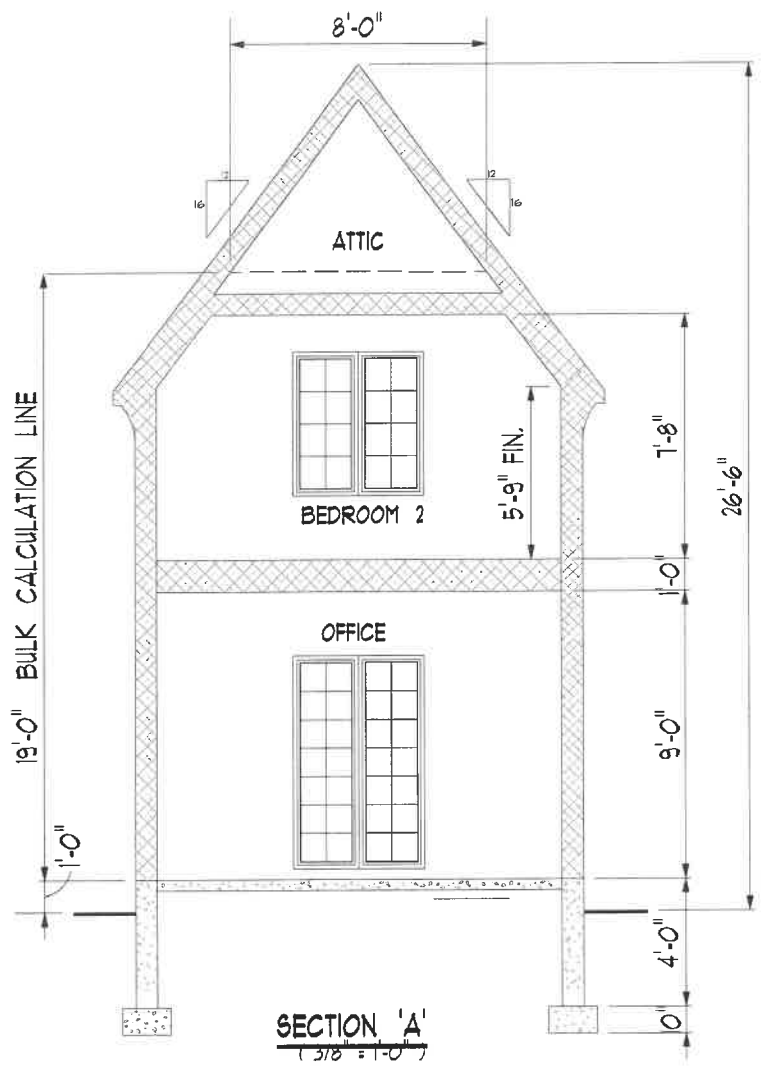
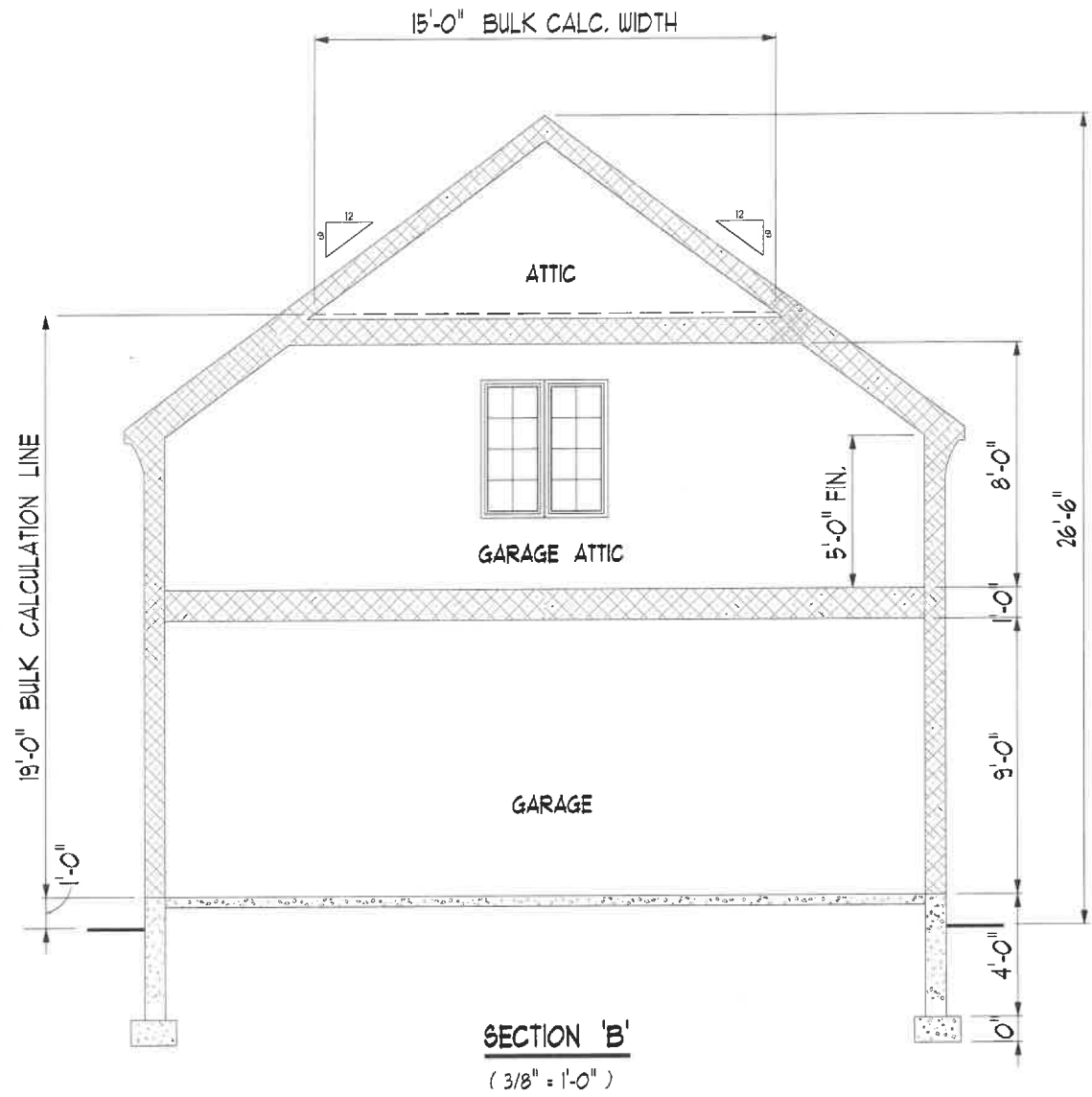
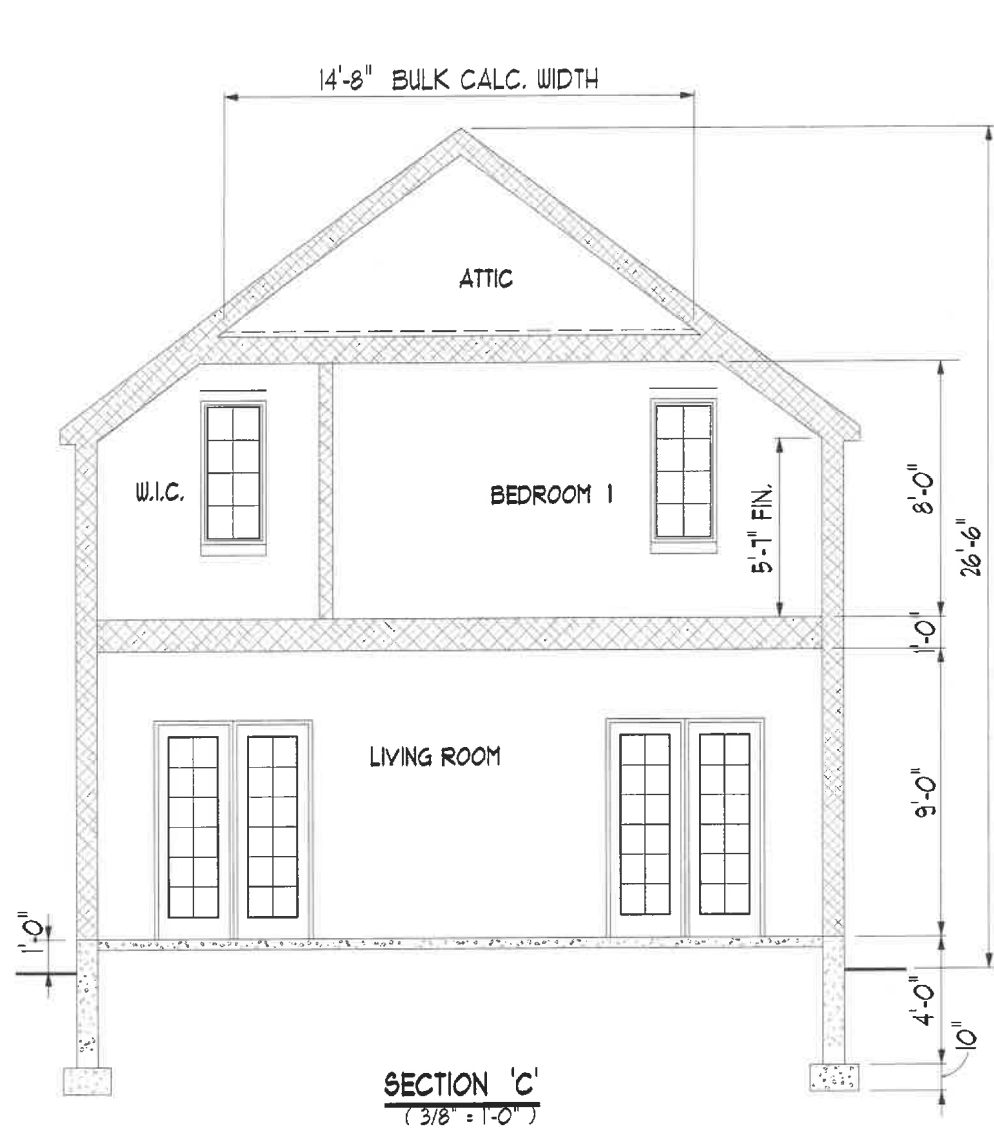


ROOF PLAN

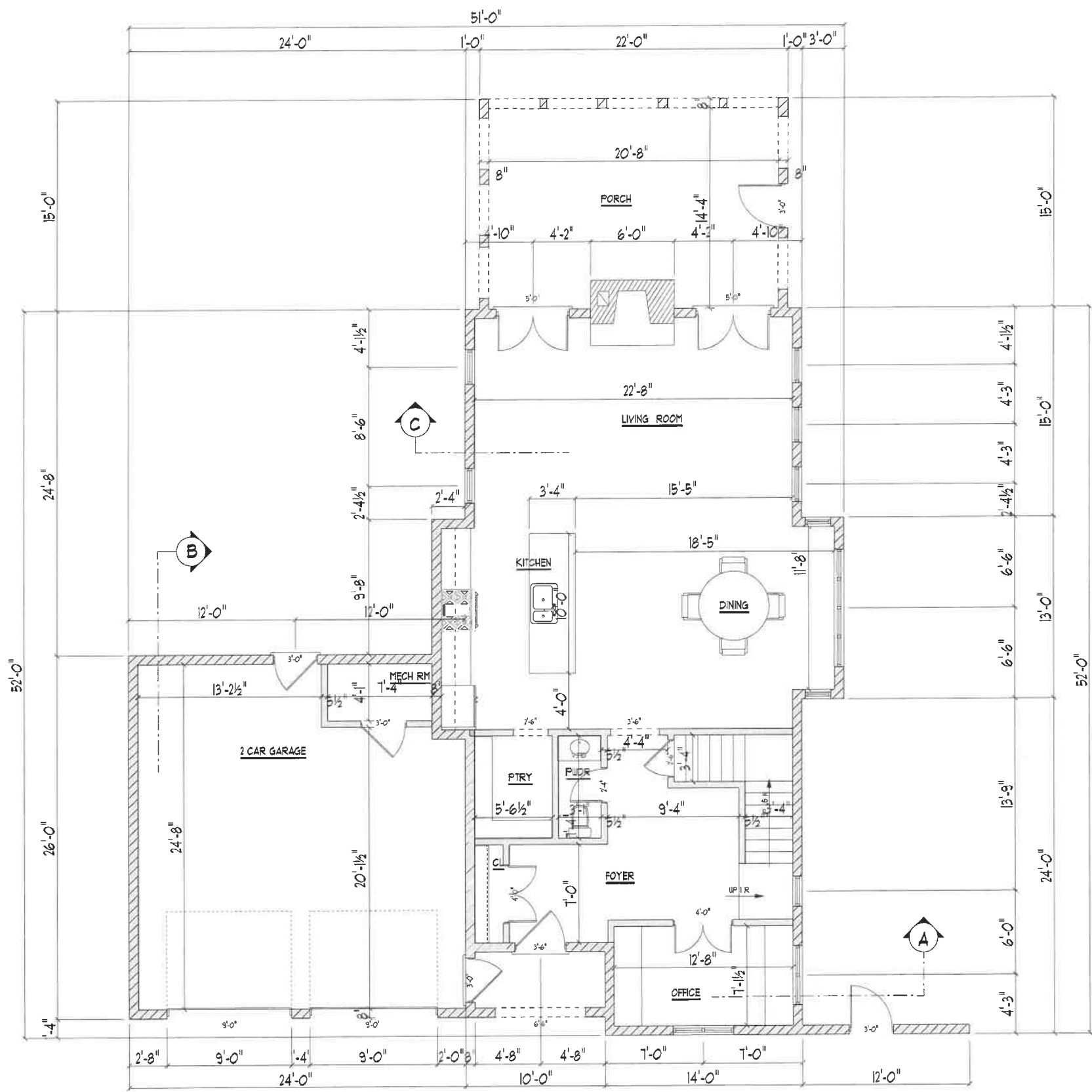
(1/4" = 1'-0")

TOTAL SECOND FLOOR BULK CALCULATION AREA = 1238 SQ. FT.

PROPOSED RESIDENCE AT:
1175 OLD COLONY ROAD
LAKE FOREST, IL

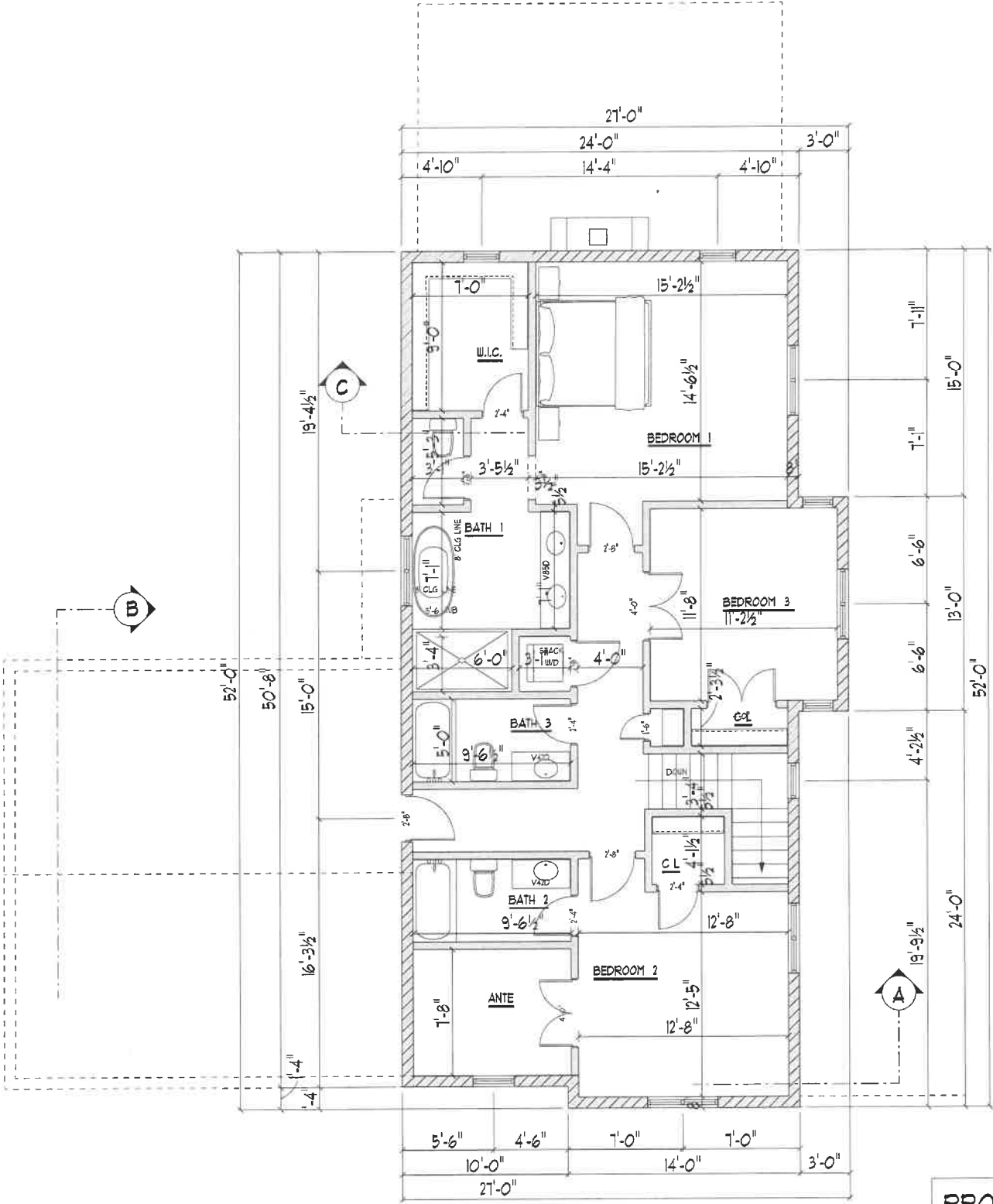


PROPOSED RESIDENCE AT:
1115 OLD COLONY ROAD
LAKE FOREST, IL



FIRST FLOOR PLAN
MAIN HOUSE = 1263 SQ. FT.
GARAGE = 614 SQ. FT.
SCREEN PORCH = 330 SQ. FT.
FRONT PORCH AND SIDE WING WALL = 51 SQ. FT.
TOTAL LOT COVERAGE OF BUILDING = 2,258 SQ. FT.

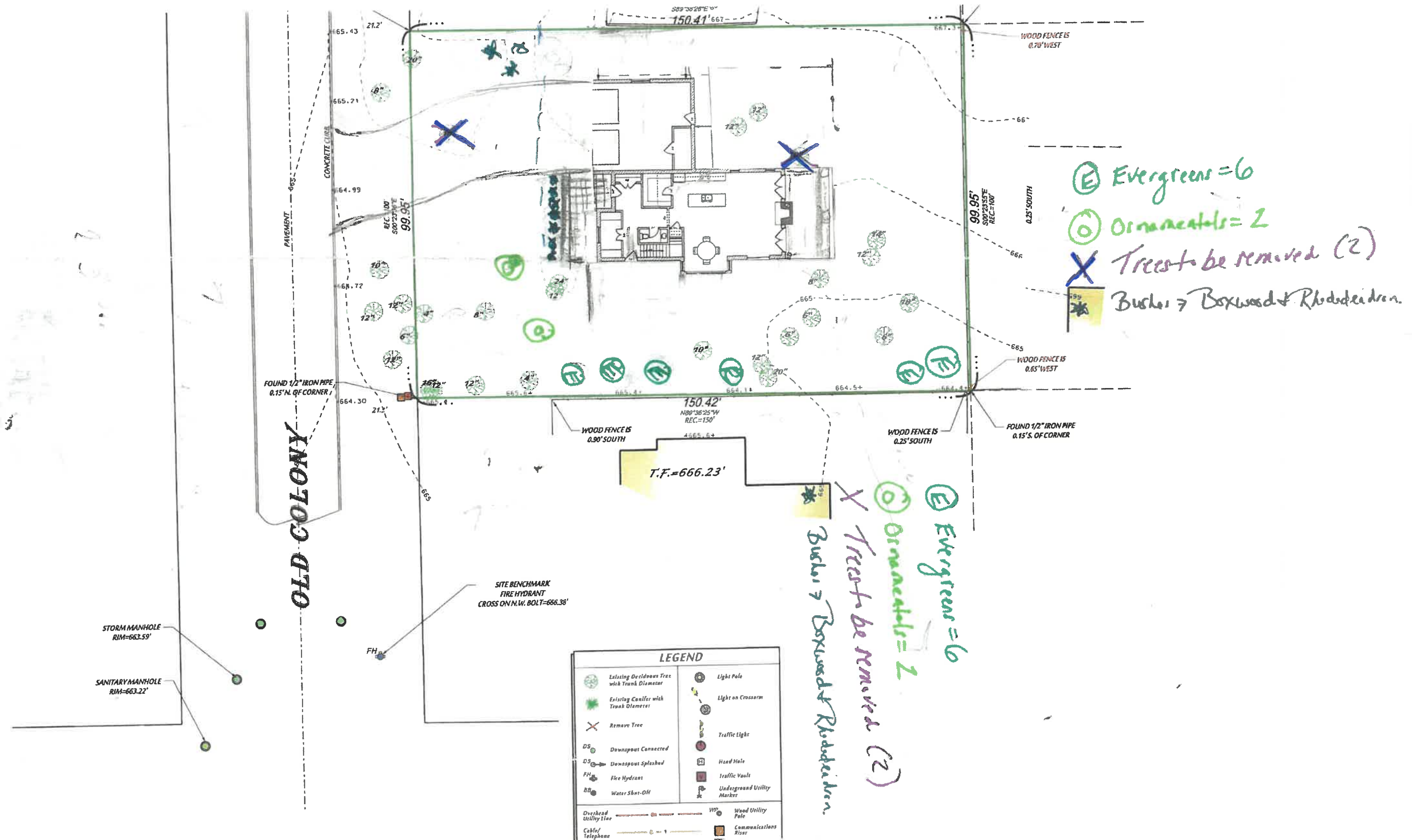
PROPOSED RESIDENCE AT:
1115 OLD COLONY ROAD
LAKE FOREST, IL



SECOND FLOOR PLAN
(1214 SQ. FT.)

PROPOSED RESIDENCE AT:
1115 OLD COLONY ROAD
LAKE FOREST, IL

CONCEPTUAL LANDSCAPE PLAN



Agenda Item 5
890 Oak Knoll Drive
New Single Family Residences

Staff Report
Building Scale Summaries
Vicinity Maps
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent – Current Petition
Statement of Intent/Demolition Criteria – November 1st, 2023
Site Plan - Proposed
Conceptual Rendering - Front
Elevations - Proposed
Exterior Materials/Treatment - Proposed
Roof Plan - Proposed
Sections - Proposed
Floor Plans - Proposed
Tree Removal and Tree Planting Plan
Tree Survey – Existing
Tree Planting List
Conceptual Landscaping Plan
Planting List
Conceptual Renderings - Rear

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

890 Oak Knoll Drive

Consideration of a request for recommendations in support of re-approval of the demolition of the existing residence and in support of a replacement residence and attached garage and a preliminary landscape plan.

Property Owners: Charles T. Pick Trust (Charles T. Pick 100%)

Presented by: Charles T. Pick

Staff Contact: Luis Prado, Assistant Planner

Description of Property

This property is located on the west side of Oak Knoll Drive, just south of its intersection with Lakewood Drive. The surrounding neighborhood has a mix of new construction and older housing stock with many single-story ranch style homes and some two-story homes.

The site is approximately 3 acres in size and is irregular in shape, with the street frontage measuring approximately 140 feet. The property widens to the west measuring 260 feet in width at the rear property line. The existing house on the property was constructed in 1958 and is a modest, single-story ranch style home with an attached two car garage that faces south. Based on City records, very few modifications have been made to the existing home since its construction.

Summary of Request

The petitioner proposes to demolish and replace the existing residence. In May of 2023, the Board approved a petition for demolition of the existing residence and a replacement residence that was submitted by the previous owner. The project did not proceed.

In November of 2023, at the request of the current owner, the Board recommended approval of allowing the petitioner to proceed with the demolition of the home in advance of presenting plans for a replacement residence. The basis for that approval was the petitioner's explanation that immediate demolition was necessary to address serious health and life safety concerns with the home. Subsequently, the petitioner decided to delay demolition of the house to conserve time and money, and to limit the duration of impacts on the neighborhood. The petitioner now intends to proceed with demolition followed immediately by construction of the new home for efficiency.

Proposed Demolition

The petitioner provided a review of the demolition criteria for the November, 2023 meeting. The applicable criteria are re-reviewed by staff below.

Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

This criterion is met. The existing residence is not architecturally, aesthetically, or historically significant. The home is a modest style home that was built in 1958 and does not have any particular significance in relation to its surroundings.

Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.

This criterion is met. The petitioner's statement of intent explains that the property is in a state of disrepair. The work that would be necessary to address issues in the home and to accommodate expansion and upgrading of the home to meet current standards would likely leave little of the existing residence intact and could result in a compromised end product given the current condition of the house.

Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

This criterion is met. Given the current condition of the house, significant work would be needed to make it suitable for residential use.

Criteria 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

This criterion is met. There is no evidence to suggest that the proposed demolition will adversely impact the value of other properties in the neighborhood. A new residence on this site, designed in the context of other homes in the neighborhood and consistent with the City's Design Guidelines, will support property values in the area.

Criteria 5 – The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.

This criterion is met. The proposed house is designed to be compatible with the neighborhood and not adversely impact the neighborhood's character. Review by the Building Review Board is required to assure that all applicable standards and the City's Design Guidelines are satisfied.

Staff finds that the criteria for demolition are satisfied.

Recommendation: Given the health and life safety concerns, demolition of the existing residence shall proceed within 90 days of approval.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan - This standard is met.

The proposed house faces east, toward the street, with an attached garage facing south. The existing circular driveway in the front yard is proposed to be removed. The proposed driveway has a perpendicular approach from the street to the house and to the garage which is located on the north side of the site. The driveway also extends to the south in front of the house and includes a guest parking and back out area.

A patio and pergola are shown on the rear of the house. The house, overall, is sited toward the front of the lot, maximizing the extensive backyard space.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 12,487 square feet is permitted on the site with an allowance of 800 square feet for a garage and 1,249 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 5,675 square feet.
- The proposed garage totals 786 square feet.
- In addition to the above square footage, a total of 377 square feet of design elements are incorporated into the design of the house.
- In conclusion, the proposed residence totals 5,799 square feet. That is 6,705 square feet or 54 percent below the maximum allowable square footage for this property.

At its tallest peak, the residence as measured from the lowest point of existing grade is 32.58 feet. The maximum height allowed for a residence on this size lot is 40 feet as measured from the lowest point of existing grade to the tallest roof peak.

Elevations – This standard is met.

The petitioner’s statement of intent describes the style of the home as American farmhouse. The surrounding neighborhood mostly single-story ranch style homes

and some two-story homes. The proposed residence reflects a shifting of massing between one and a half to two stories and is generally compatible with the height and massing of the surrounding homes. The home presents gable roof forms with a prominent wood and stone front entrance connected to a front porch, a rear patio accented by a projecting pergola, and shed dormers on the front and rear. Overall, the elevations present a satisfying incorporation of windows and design elements to break up the massing. The only elevation where there appears to be an imbalance of solids and voids, and some mis-alignment of windows, is the north elevation. The garage wall could benefit from further study and detailing although, landscaping will soften this wall somewhat. Additionally, the first-floor double window over the tub is not centered with the second story bedroom window.

Recommendation: Conduct further study and refinement of the north elevation.

Type, color, and texture of materials – This standard is met.

The exterior walls of the home are composed of crème and ash gray James Hardie lap and vertical siding. The front entrance is backed by stone and highlighted by exposed red cedar. The red cedar accent is carried throughout the elevations in the front porch columns, rear pergola, and window trims. The roof is composed of composition shingles with sheet metal dormers. Brick pavers form an apron on the asphalt driveway.

The renderings suggest a stark color palette but the submitted representation of exterior design elements displays a softer palette of materials.

Recommendation: Samples of the materials should be provided at the Building Review Board meeting.

Landscaping - This standard can be met.

As currently proposed, two Bur Oak trees, a 27 inch tree in fair condition and a 37 inch tree of lower quality are proposed for removal. It is possible that as a result of construction activity, over time, additional trees on the site will be compromised. A total of 42 replacement tree inches are proposed on the conceptual landscape plan including some replacement Oak trees that will be planted in the front yard. Based on the current tree removal plan, the required replacement inches are satisfied.

If it is determined by the City's Certified Arborist that additional trees are negatively impacted by construction of the house and installation of hardscape, additional replacement inches may be required.

The preliminary landscape plan submitted by the petitioner reflects plantings around the foundation of the home. At the time of permit, the final landscape plan will be evaluated to confirm compliance with the Code requirements for new homes. The preliminary landscape plan does not reflect any plantings

along the south property line or on the east side of the driveway to provide some screening of the parking pull out and back up areas.

Recommendation: The final landscape plan shall reflect plantings to screen the vehicle parking pull out area and the back up area at the south end of the driveway, from the streetscape and from the house to the south.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this petition.

Recommendation

Recommend approval of demolition of the existing residence based on the findings presented above.

and

Recommend approval of the residence, attached garage, conceptual landscape and overall site plan based on the findings presented in this staff report and incorporating the Board's deliberations as additional findings subject to the following conditions of approval.

1. Conduct further study of the north elevation, reconsider the alignment of the windows and consider opportunities to break up the solid mass of the north side of the garage.
2. On the final landscaping plan, reflect plantings to screen the vehicle parking pull out area and the back up area at the south end of the driveway, from the streetscape and from the house to the south.
3. Demolition of the existing residence shall proceed within 90 days of this approval.
4. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman

- as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
5. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. In addition, the landscape plan shall reflect plantings along the south property line and on the east side of the driveway to screen and soften views of parked vehicles from the neighbor to the south and the streetscape. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.
 6. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect all trees that may be impacted during construction must be submitted and will be subject to review and approval by the City. If determined to be necessary by the City's Certified Arborist, a pre and post treatment plan for the trees will be required to increase the chances of survival of the trees intended for preservation.
 7. At the time of submittal for a building permit, detailed drainage and grading plans must be submitted. No grading or filling shall be permitted except the absolute minimum necessary to meet accepted engineering standards and practices.
 8. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
 9. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 890 Oak Knoll Drive Owner(s) Charles T. Pick

Architect Cliff Town Reviewed by: L. Prado

Date 5/1/2024

Lot Area 133587 sq. ft. Allowed Square Footage 12487

Square Footage of Residence -- New

1st floor 3331 + 2nd floor 1825 + 3rd floor 519 = 5675 sq. ft.

Design Element Allowance = 1249 sq. ft.

Total Actual Design Elements = 377 sq. ft. Excess = 0 sq. ft.

Garage 786 sf actual ; 800 sf allowance Excess = 0 sq. ft.

Garage Width 22 ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 124 sq. ft.

Total Square Footage of Residence = 5799 sq. ft.

TOTAL SQUARE FOOTAGE = 5799 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 12487 sq. ft.

DIFFERENTIAL = 5799 sq. ft. **NET RESULT:**
Under Maximum
6687 sq. ft. is
54% under
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 1249 sq. ft.

Open Porches = 180 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries, Portico = 51 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

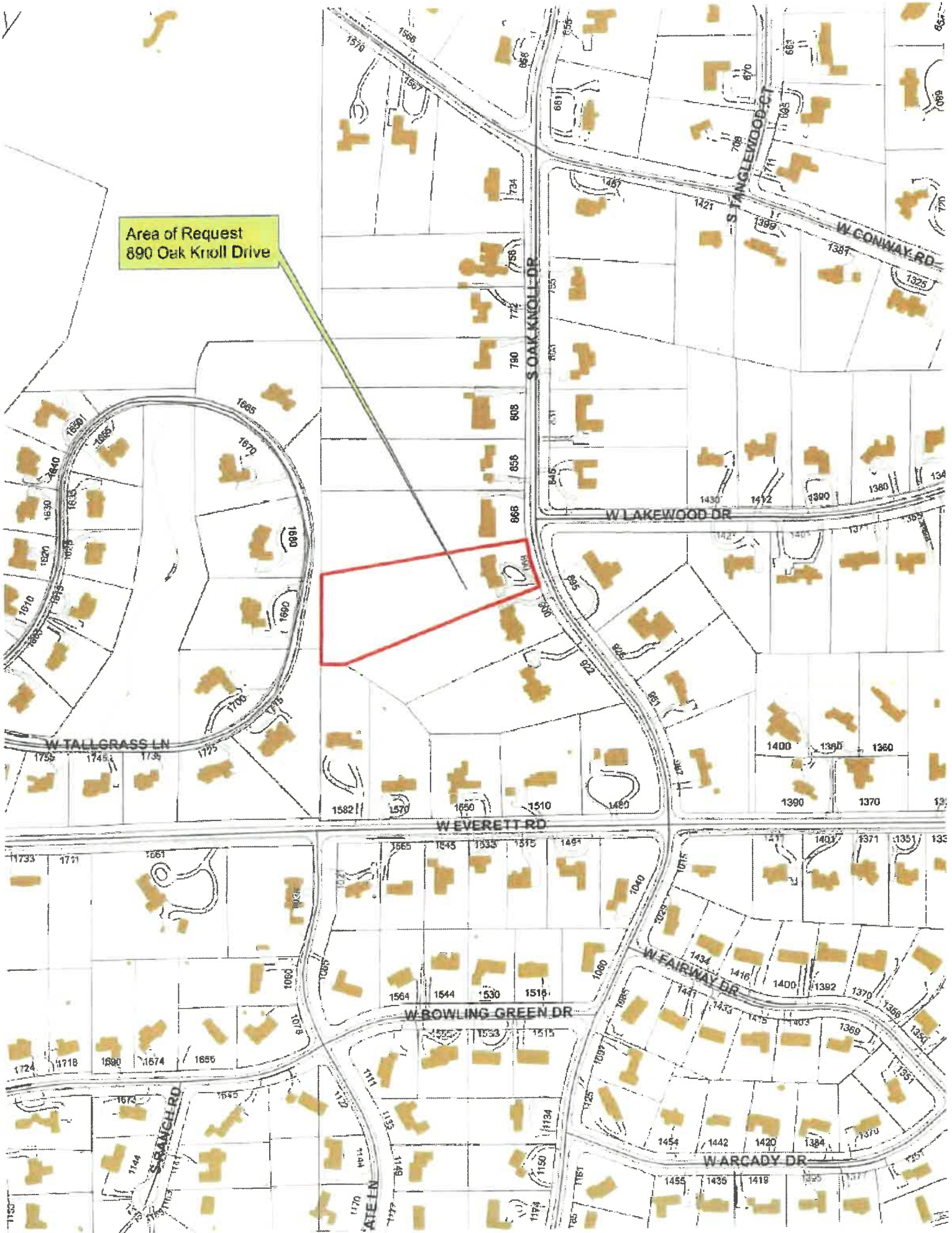
Pergolas = 146 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 377 sq. ft. Excess Design Elements = 0 sq. ft.

Area of Request
890 Oak Knoll Drive



Area of Request
890 Oak Knoll Drive



Area of Request
890 Oak Knoll Drive





**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 890 Oak Knoll Dr.

APPLICATION TYPE Single Family New Construction

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

Charles T. Pick Trust

Owner of Property

365 Riverdale Dr.

Owner's Street Address (may be different from project address)

Northfield, IL 60093

City, State and Zip Code

847-386-6660

Phone Number

Fax Number

cpick990@gmail.com

Email Address

CLIP

Owner's Signature

ARCHITECT/BUILDER INFORMATION

Charles T. Pick, Owner

Name and Title of Person Presenting Project

Name of Firm

Street Address

City, State and Zip Code

Phone Number

Fax Number

Email Address

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

*I will pick up a copy of the staff report at
the Community Development Department*

☐ OWNER

☐ REPRESENTATIVE

TRUST OWNERSHIP (EXHIBIT C)

Please list the Trust number and name and address of the Trustee, as well as the names and addresses of all beneficiaries of the Trust, together with their respective interests in the Trust. The application shall be further verified by the applicant in his capacity as Trustee or by the beneficiary as a beneficial owner of an interest in the Trust and the application shall be signed individually by as many beneficiaries as are necessary to constitute greater than 50% ownership of the beneficial interest of the trust.

TRUST NUMBER	N/A	TRUSTEE INFORMATION
		Name Charles T. Pick Trust
		Firm N/A
		Address 365 Riverdale Dr., Northfield
		Phone 847-386-6660

Beneficiaries

Name	Charles T. Pick	Name	
Address	Same	Address	
Trust Interest	100 %	Trust Interest	%

Name		Name	
Address		Address	
Trust Interest	%	Trust Interest	%

Name		Name	
Address		Address	
Trust Interest	%	Trust Interest	%



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- | | |
|---|---|
| <p><input checked="" type="checkbox"/> Stone</p> <p><input type="checkbox"/> Brick</p> <p><input type="checkbox"/> Wood Clapboard Siding</p> <p><input type="checkbox"/> Stucco</p> | <p><input type="checkbox"/> Wood Shingle</p> <p><input type="checkbox"/> Aluminum Siding</p> <p><input type="checkbox"/> Vinyl Siding</p> <p><input type="checkbox"/> Synthetic Stucco</p> <p><input checked="" type="checkbox"/> Other <u>James Hardie lap & vertical siding</u></p> |
|---|---|
- Color of Material Creame, Ash Gray

Window Treatment

Primary Window Type

- ☐ Double Hung
- ☒ Casement
- ☐ Sliding
- ☐ Other _____

Finish and Color of Windows

- ☐ Wood
- ☐ Aluminum Clad
- ☐ Vinyl Clad
- ☒ Other Ultrex Fiberglass
- Color of Finish Gunmetal Gray

Window Muntins

- ☐ Not Provided
- ☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
- ☐ Interior muntin bars only
- ☐ Exterior muntin bars only
- ☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
- ☐ Brick
- ☐ Wood
- ☐ Synthetic Material _____
- ☒ Other James Hardie trim

Window Trim

- ☐ Limestone
- ☐ Brick
- ☒ Wood (Tight Knot Red Cedar)
- ☐ Synthetic Material _____
- ☒ Other James Hardie trim

Fascias, Soffits, Rakeboards

- ☐ Wood
- ☐ Other _____
- ☒ Synthetic Material James Hardie

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☒ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☒ Composition Shingles GAF UHDZ
- ☒ Sheet Metal Great room dormers
- ☐ Other _____

Flashing Material

- ☐ Copper
- ☒ Sheet Metal _____
- ☐ Other _____

Color of Material Charcoal

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☒ Brick Pavers for driveway Apron
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☒ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____

Statement of Intent for the Lake Forest Building Review Board
890 Oak Knoll Drive

Date: March 31, 2024

Dear Building Review Board Members:

We appreciate this opportunity to petition for the construction of a new single-family home located at 890 Oak Knoll Drive. The Board will likely recognize this address following Board approval of two petitions over the past year: 1) the demolition/new construction petition submitted by the McDonough family, the property's previous owner, at the May 2023 meeting; and 2) the demolition only petition submitted by the current owner, Charles T. Pick, at the November 2023 meeting. The demolition permit for the property is ready pending the completion of construction fencing, but we have decided to petition for new construction approval so that demo and construction can occur simultaneously. That is a more cost-effective process, and it is less disruptive to the neighborhood.

We have contracted with Town Architects, FrauenHoffer Engineering, and Shelley Landscaping to create architectural drawings and related documentation. The design inspiration springs from the property's large size (just over three acres), mature oak trees, and large surrounding homes and properties. Our concept is a take on the modern farmhouse but with a design that features an open floor plan, large floor-to-ceiling windows, a dramatic two-story great room with six clerestory windows facing east and west, an expansive first floor master suite, and a light-filled sun room with vaulted ceilings and large windows overlooking the ginormous back yard. The absence of fencing on the ~612-foot northern border of the back yard will help promote the open, rural feeling created by these large, adjacent lots.

The footprint of the new house aligns closely with the footprint of the existing home to preserve the character of the neighborhood and setbacks from Oak Knoll Drive and neighbors to the north and south. The new three-car garage is closer to the street than the existing home, but at a setback of ~75 feet it is still consistent with neighboring properties. Furthermore, the main house setback measures ~114 feet which is considerably higher than the 96' average for the block. The attached House Siting Study illustrates these points. No variances are sought in connection with this project.

This property's large size allows for the construction of up to 12,487 SF of bulk area. However, as detailed in the attached Building Scale Package, the proposed bulk for the new house is just under 5,800 SF with no excess square footage for the design elements or garage. The proposed height is more than seven feet under the 40-foot maximum allowed. It is important to note that the bulk of this home is considerably less than the 7,566 SF of bulk the Board approved for the new construction home to our north at 866 Oak Knoll.

Exterior materials are designed to break up the white expanse of today's farmhouse designs. The center masses of the house are off-white with vertical board and batten siding. The end (garage, sun room, and office) masses are ash-colored with lap siding and cedar window and door headers. A bit of gray stacked stone covering the living room facade breaks up the center mass even more. Finally, the wide front porch and expansive back patio give the building a more inviting feeling and create outdoor gathering spaces.

Sustainability is an important feature of this home. We currently plan for just two trees to be removed for construction per the attached tree schedule. One of those is currently next to the driveway and in some distress. In any event, the landscape plan meets the replacement requirements for those removals and works to create a softer appearance around the foundations. In particular, the long north wall of the garage will be lined with plantings to help soften that long run of lap siding.

In addition, we plan to install a solar array on the south-facing roof of the garage to offset much of the electricity demand of the home. The large roof and slight southeastern orientation of the garage make this an ideal setup. However, the array will be a simple rectangular form, steering clear of the jigsaw puzzle look of many solar installations. At least two of the rooms in the house will use electric-powered heat pumps to take advantage of the solar power. Cooking appliances will include a combination of gas and electric induction as well.

Overall impervious coverage is anticipated to increase by about 16% for the home compared to the existing residence. We consider this a win considering the expansion of the footprint of the house and patios. The removal of the existing circular asphalt driveway was a big part of reducing net impervious additions.

In summary, we are excited to begin work on our new home. The proposed project will be a considerable upgrade relative to the existing home, and its size and scale are appropriate and restrained given the large size of the lot. This project should enhance the value of real estate in the neighborhood and inspire continued redevelopment of the remaining older homes on the block.

Building Review Board Application: 890 Oak Knoll Dr.

Statement of Intent

At its May 3, 2023 meeting, the Building Review Board (BRB) approved the demolition of the existing structure at 890 Oak Knoll Drive by the property's previous owners (Toby & Janeth McDonough), who also submitted a complete new construction plan with their application.

During their time of ownership, the McDonoughs did not have electricity or heat at the property and they did not perform interior or exterior maintenance other than landscaping. As a result, the roof and siding/soffits/fascia are failing, the basement remains flooded due to burst pipes last winter, and there are buckled floors and significant mold throughout the home.

The new owner and current applicant (Pick) is seeking to demolish the structure now and develop a new construction plan to be submitted to the BRB for approval in approximately a year.

The renderings submitted with this application are indicative of the architecture style, scale, and quality contemplated for this property, but the final design may vary. In any case, the BRB will be able to fully evaluate that submittal when the time comes. In the meantime, it's important to remove this dilapidated eyesore from the neighborhood.

Building Review Board Application: 890 Oak Knoll Dr.

Criteria for Approval of a Demolition Structure

BACKGROUND: The BRB has already approved the demolition of the existing structure on this property in conjunction with a previous owner (McDonough), who submitted a complete new construction plan with their application. The new owner and current applicant (Pick) is seeking to demolish the structure now and develop a new construction plan to be submitted to the BRB for approval in approximately a year. The renderings submitted with this application are indicative of the architecture style, scale, and quality contemplated for this property, but the final design may vary. In any case, the BRB will be able to fully evaluate that submittal when the time comes. In the meantime, it's important to remove this dilapidated eyesore from the neighborhood.

Criterion 1: This 1957 brick ranch is not located in an historical district and is not architecturally significant. After buying the property in May of 2022, the previous owners turned off all utilities to the property and ceased performing maintenance. As a result of this neglect, the roof and siding/soffits/fascia are failing, the basement is flooded, and there are significant mold and buckled floors throughout the home.

Criterion 2: Given its current poor condition inside and out, the cost of completely gutting and rehabbing this home is prohibitive, especially when the end product at 2,338 SF would be small for this block and significantly undersized for this beautiful 3-acre lot. Expansion is not justified as the original structure is functionally obsolete. Thus, the total cost of expansion and remediation would approach that of new construction and with a mediocre resulting end product and questionable market value.

Criterion 3: To reiterate, the current home is totally uninhabitable due to water, mold, and the failure of the building envelope. The exterior appearance is poor.

Criterion 4: The demolition of this uninhabitable eyesore will not adversely impact property values in the neighborhood. The size and character of the new home will ultimately have a very positive impact on property values for the block.

Criterion 5: As the previous owners constructively abandoned this home in anticipation of its demolition, its timely removal will benefit the character of the neighborhood. In the short run, the demolition of the home will open up the view to the back of this incredible 600-foot-deep lot giving it a park-like appearance. In the future, the new construction to be built here will be new, larger, and aesthetically pleasing, consistent with the nicest properties on the block.

CONCEPTUAL RENDERING - FRONT

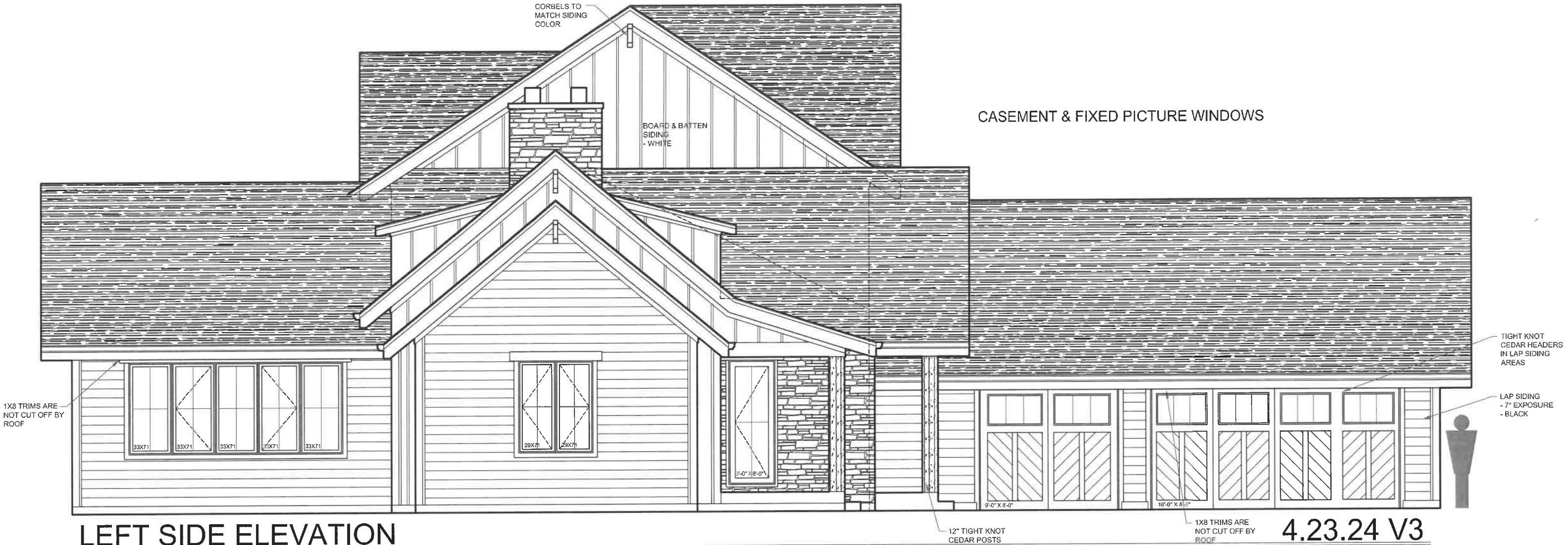




FRONT ELEVATION

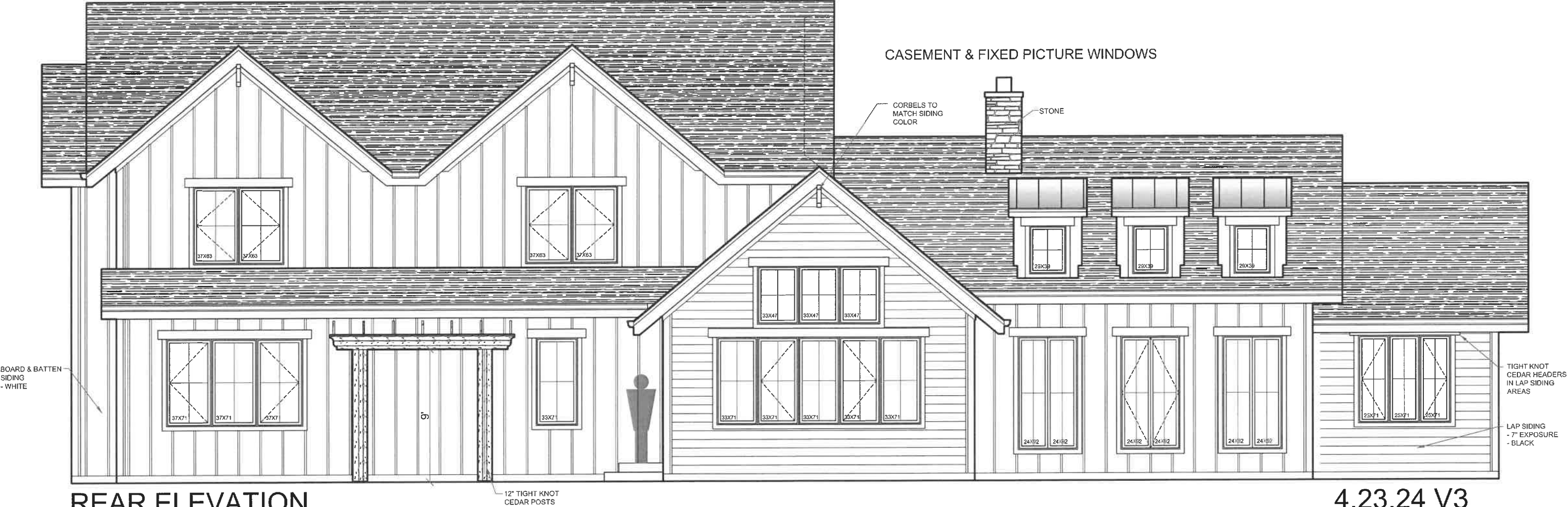
890 OAK KNOLL DRIVE, LAKE FOREST

4.23.24 V3



LEFT SIDE ELEVATION

890 OAK KNOLL DRIVE, LAKE FOREST



REAR ELEVATION

890 OAK KNOLL DRIVE, LAKE FOREST

4.23.24 V3



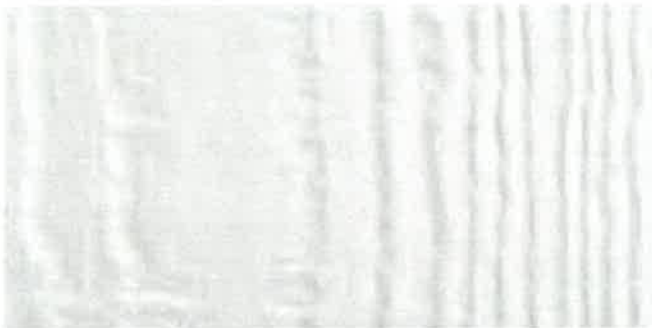
RIGHT SIDE ELEVATION

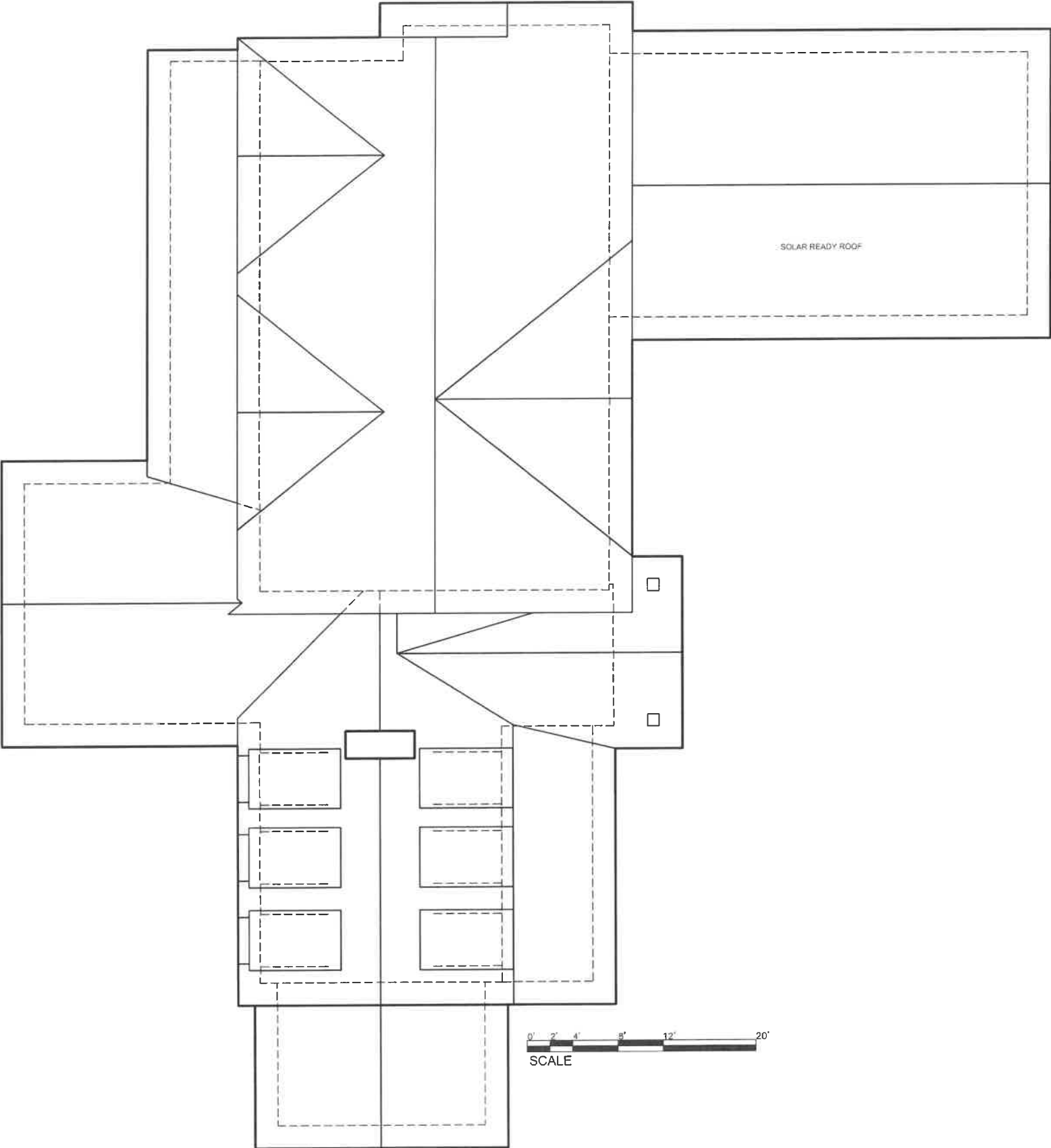
4.23.24 V3

890 OAK KNOLL DRIVE, LAKE FOREST

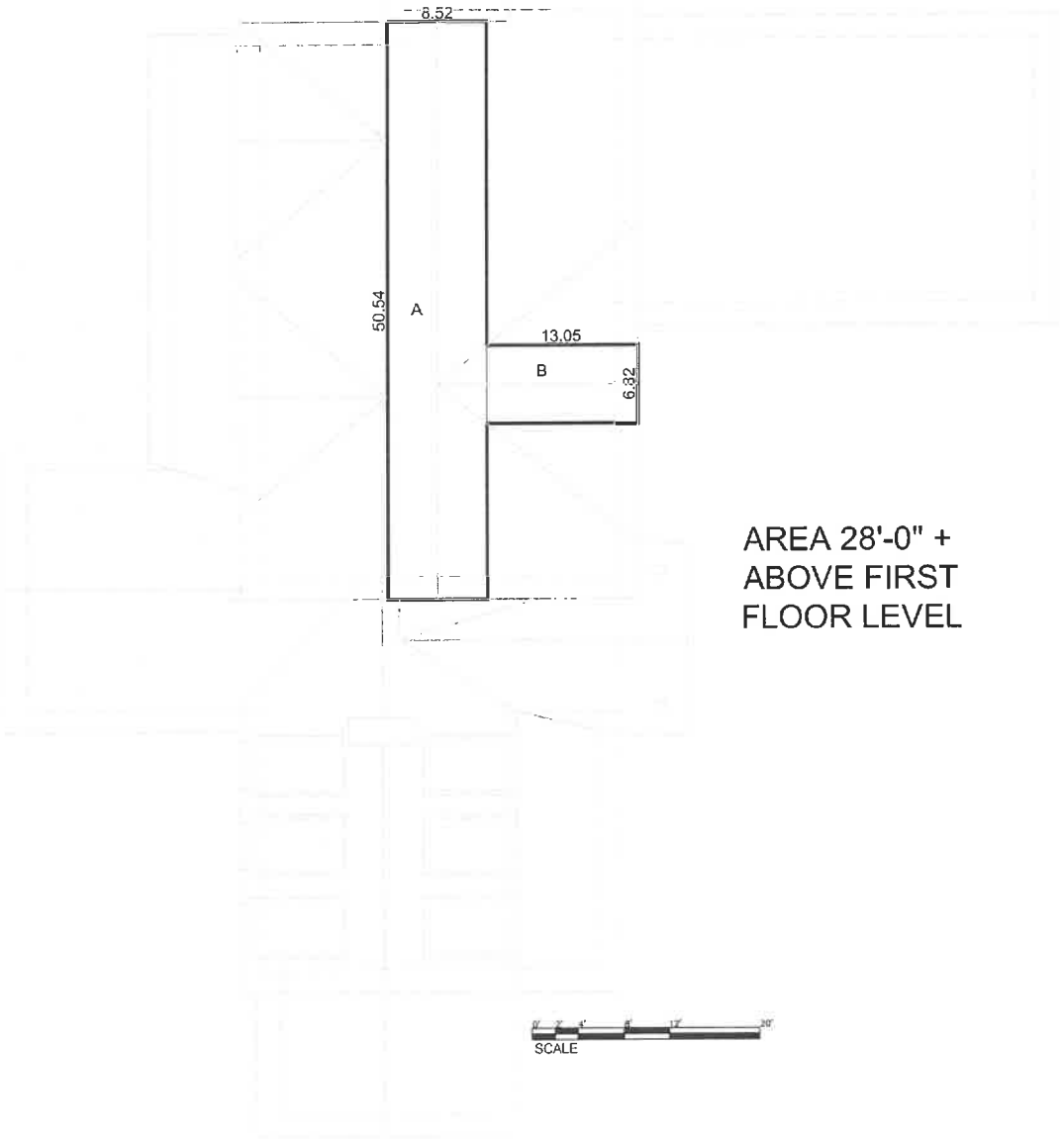


890 Oak Knoll
Exterior Design Elements





01 ROOF PLAN



02 ATTIC AREA DIAGRAM

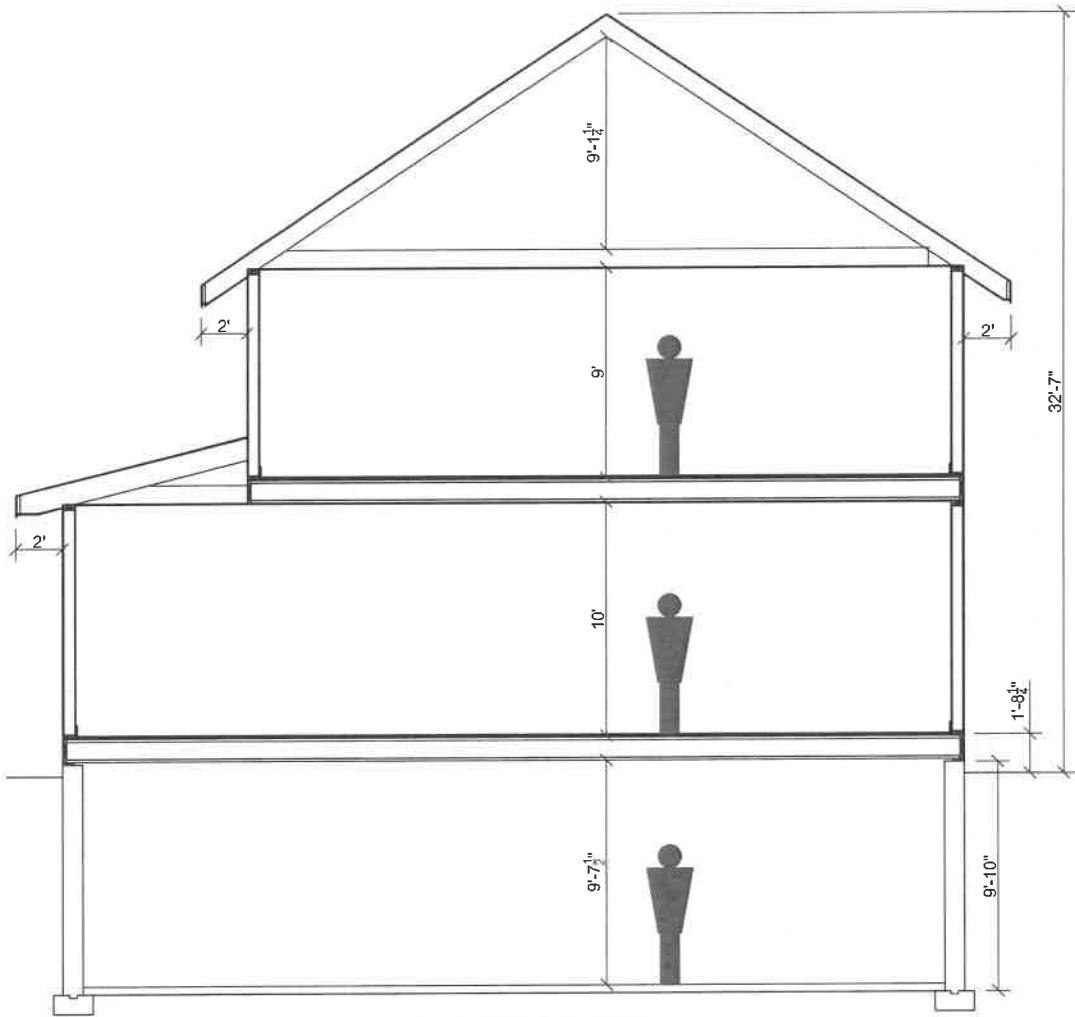


TOWN STUDIOS, INC.
1297 SHERMER ROAD
NORTHBROOK, ILLINOIS 60062
PHONE: 847-498-0900
WWW.TOWNSTUDIOS.COM

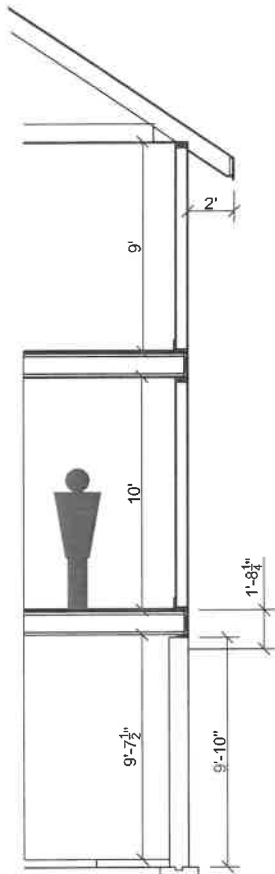
NEW SINGLE FAMILY RESIDENCE
890 OAK KNOLL DRIVE
LAKE FOREST, ILLINOIS 60045

DATE:	02.20.24
	03.07.24
	03.14.24
	03.15.24
	04.24.24

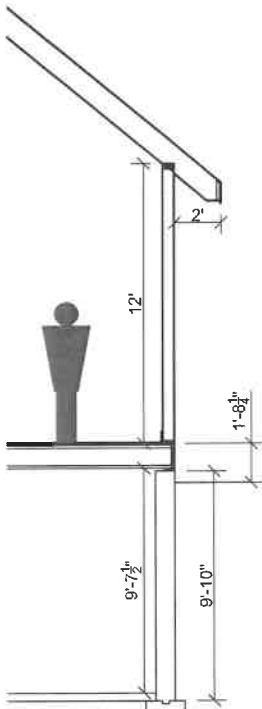
SHEET NO.	A-5
	OF 8 SHEETS



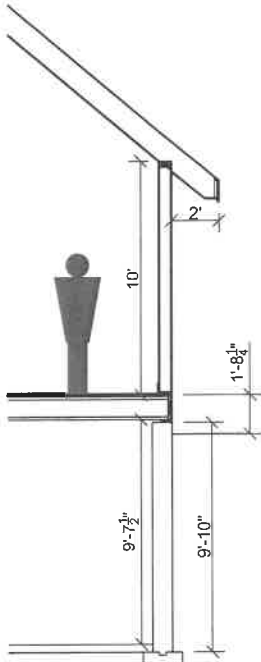
FULL BUILDING SECTION



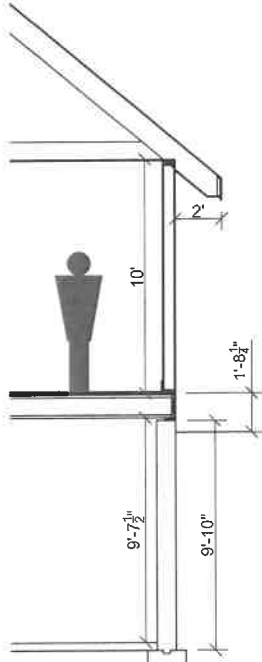
@ 2 STORY AREAS



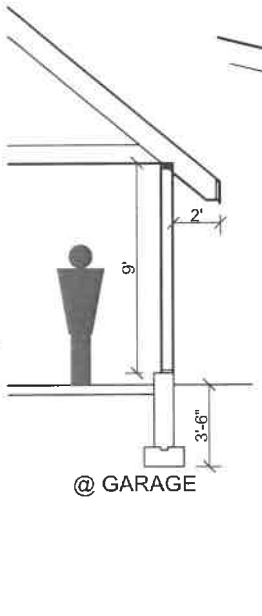
@ FAMILY & DINING



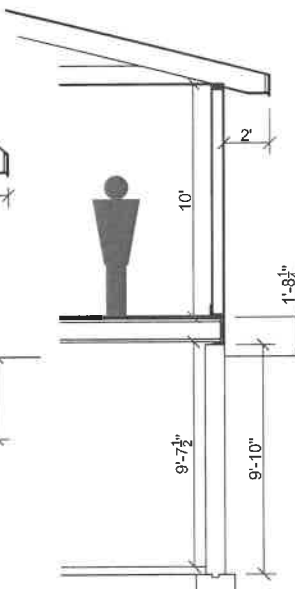
@ SUN & FOYER



@ OFFICE & LIVING



@ GARAGE

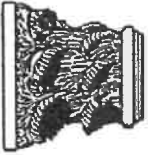


@ PRIMARY BEDROOM

01 BUILDING SECTIONS



SCALE



TOWN STUDIOS, INC.

1297 SHERMER ROAD
NORTHBROOK, ILLINOIS 60062

PHONE: 847-498-0900
WWW.TOWNSTUDIOS.COM

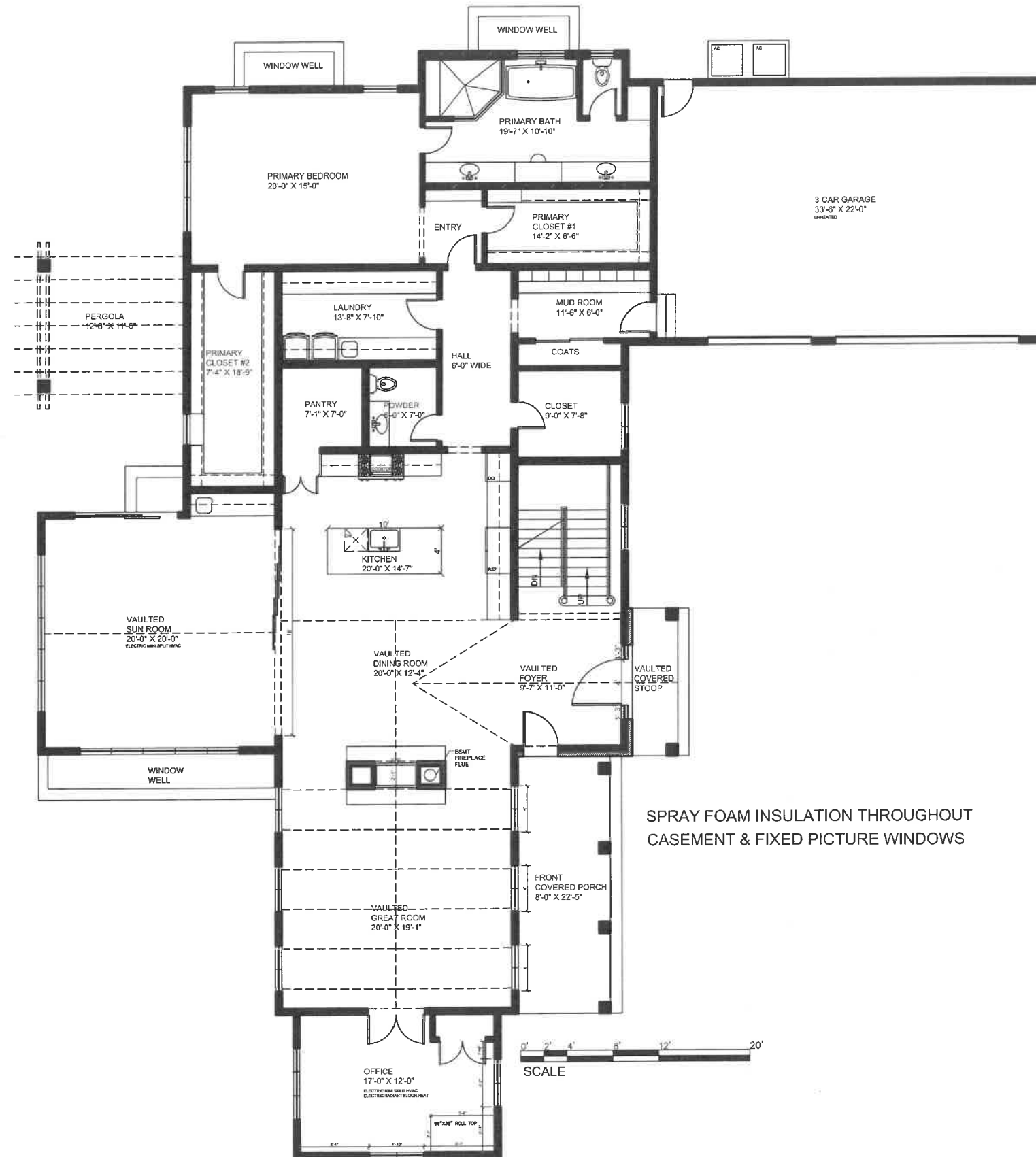
NEW SINGLE FAMILY RESIDENCE
890 OAK KNOLL DRIVE
LAKE FOREST, ILLINOIS 60045

SHEET NO.

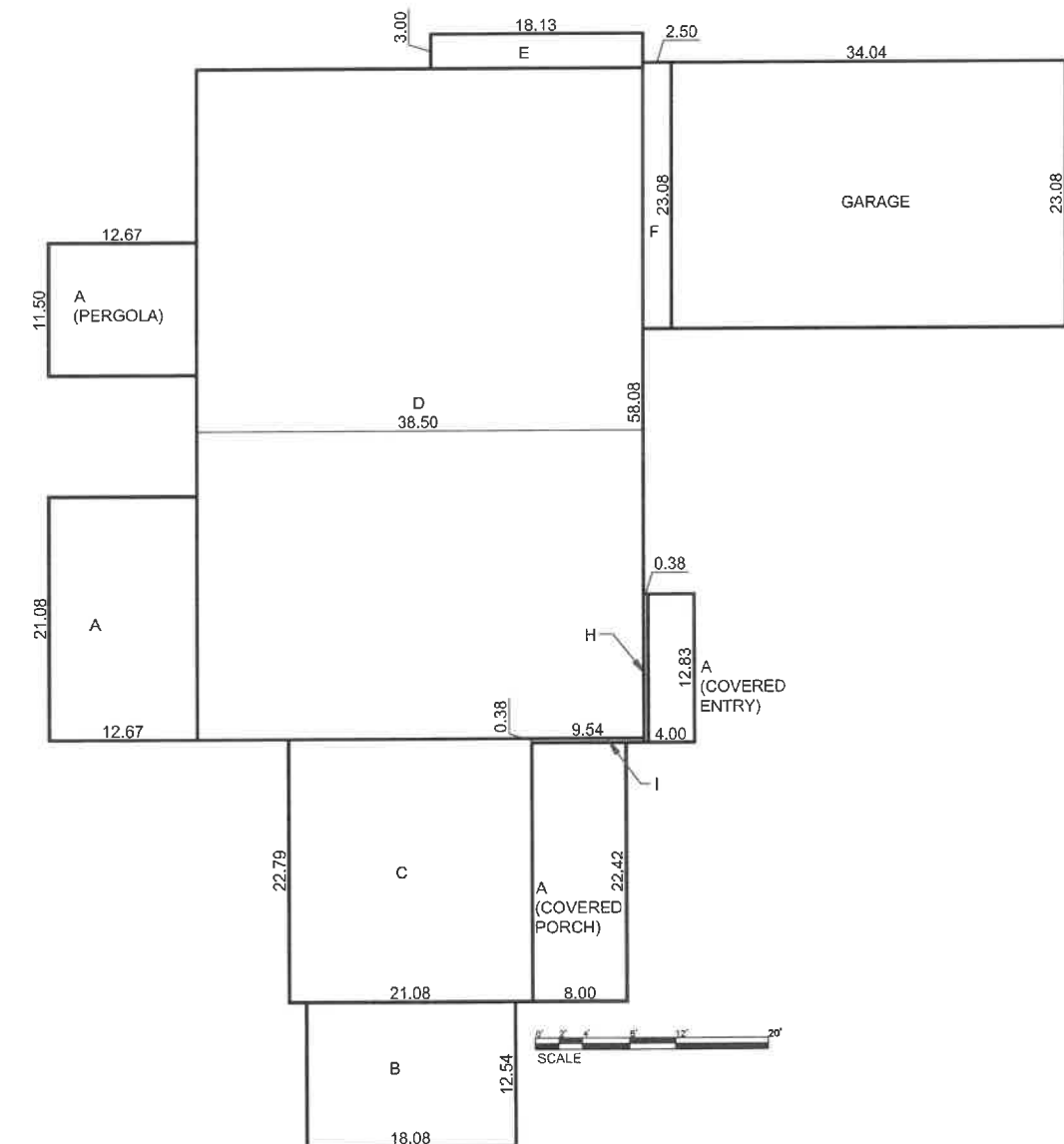
A-8
OF 8 SHEETS

DATE:

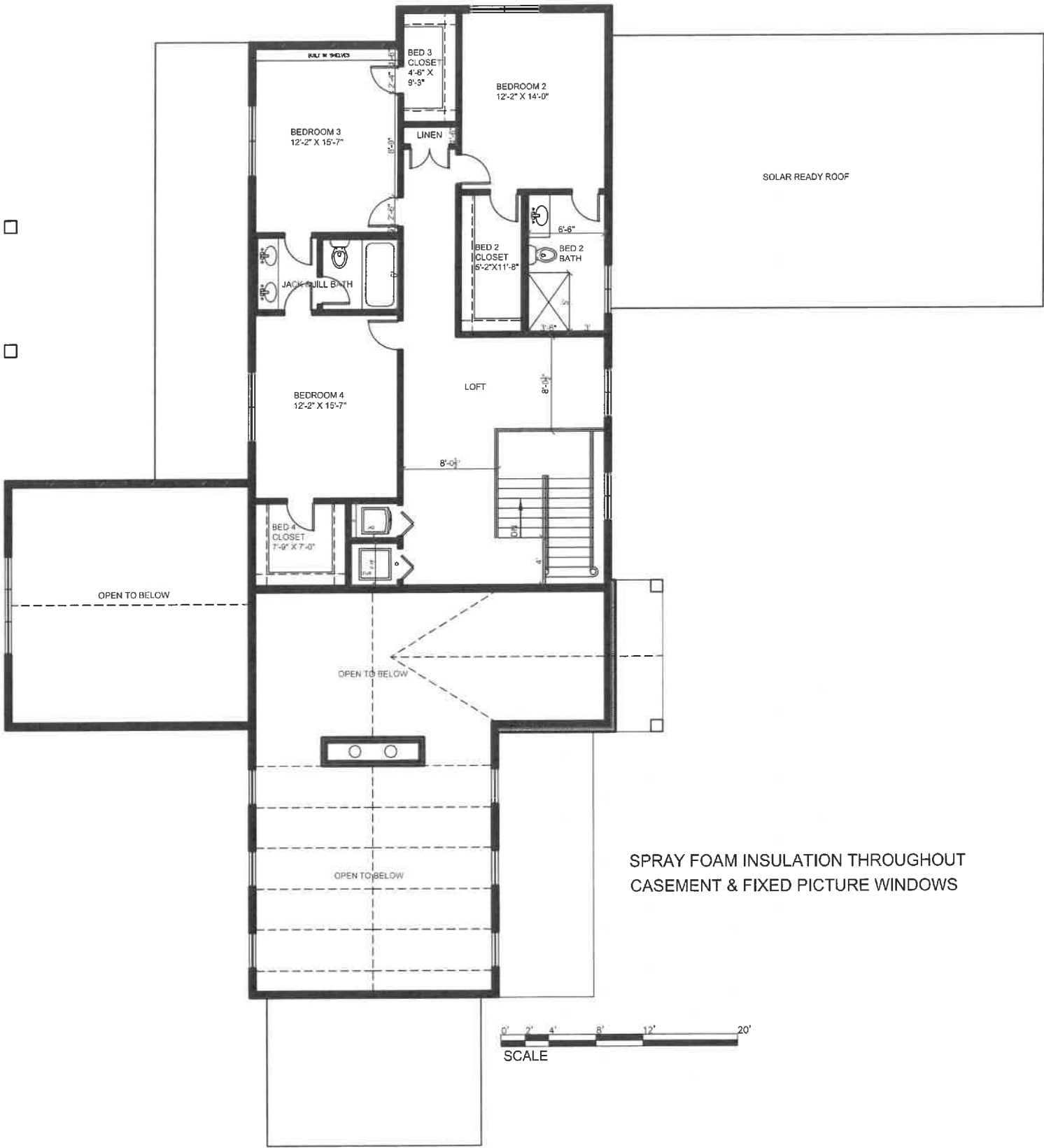
02.20.24
03.07.24
03.14.24
03.15.24
04.24.24



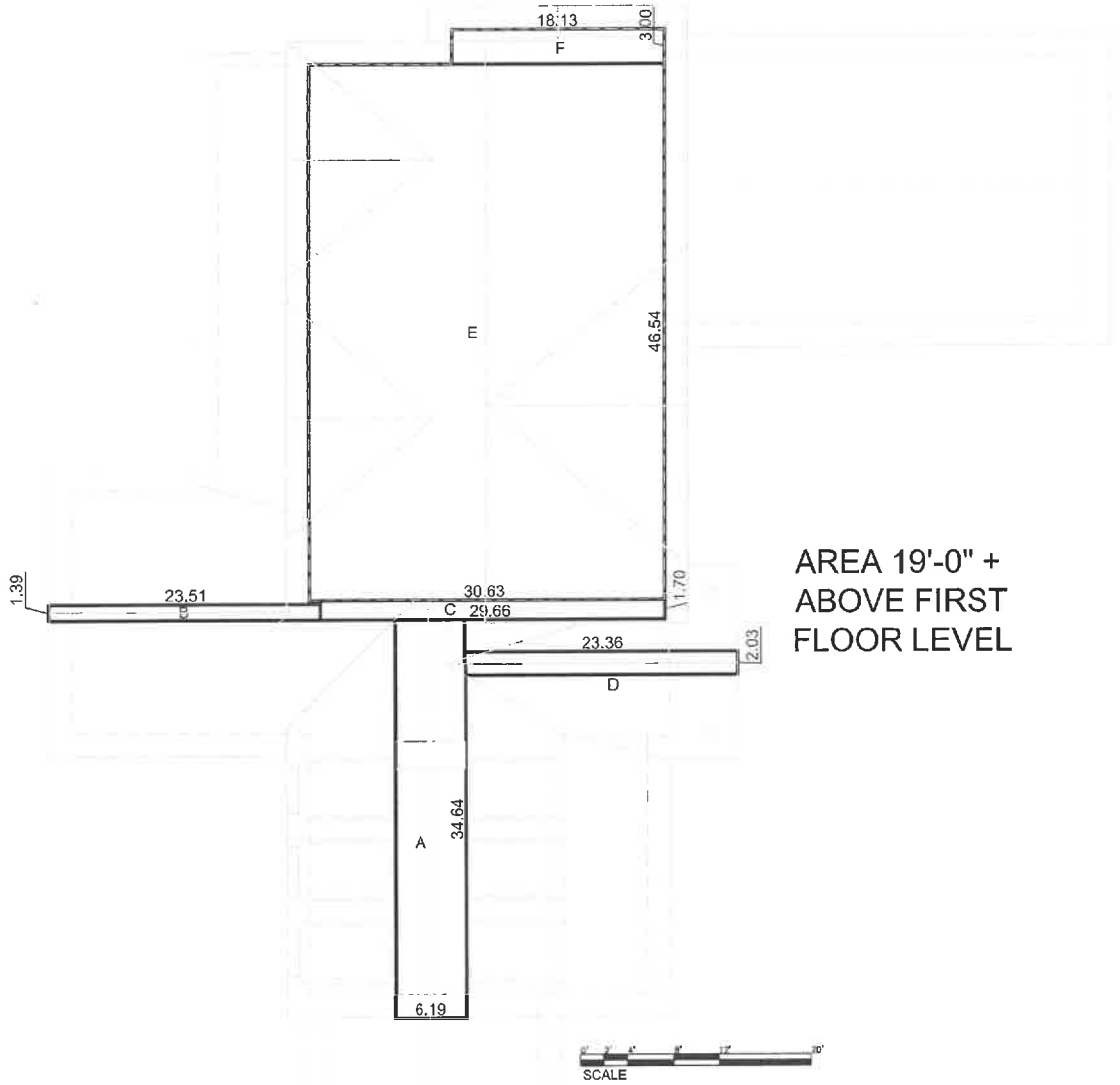
01 FIRST FLOOR PLAN



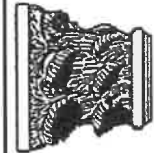
02 1ST FLR. AREA DIAGRAM



01 SECOND FLOOR PLAN



02 2ND FLR. AREA DIAGRAM



TOWN STUDIOS, INC.

1297 SHERMER ROAD
NORTHBROOK, ILLINOIS 60062

PHONE: 847-498-0900
WWW.TOWNSTUDIOS.COM

NEW SINGLE FAMILY RESIDENCE
890 OAK KNOLL DRIVE
LAKE FOREST, ILLINOIS 60045

SHEET NO.

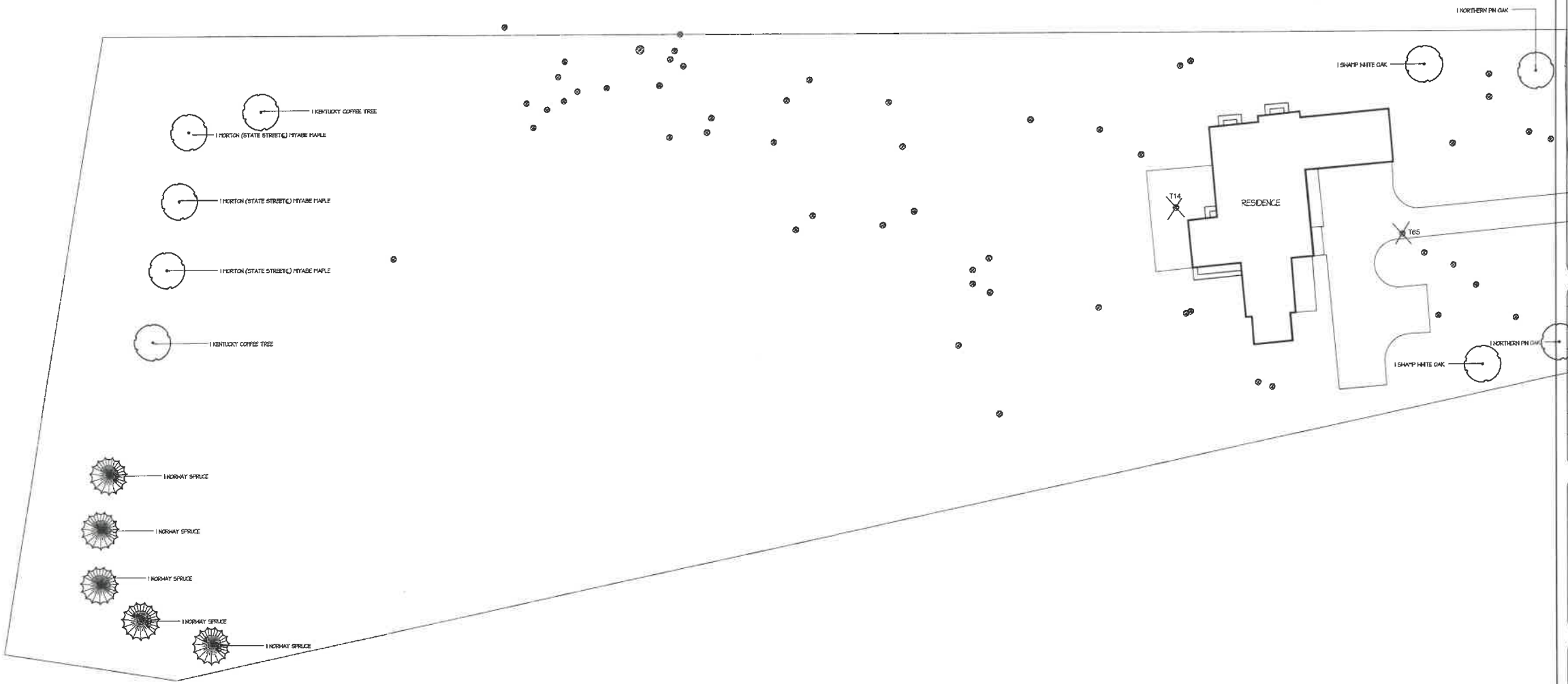
A-4
OF 8 SHEETS

DATE:

02.20.24
03.07.24
03.14.24
03.15.24
04.24.24

NOTES

PICK RESIDENCE
890 OAK KNOLL DRIVE, LAKE FOREST, IL.



No.	Date	Description
REVISIONS		



890 OAK KNOLL DRIVE
LAKE FOREST, IL.

SHELLY'S LANDSCAPE
ZACH DUBOFSKY, ASLA
1617 TECHENY ROAD
NORTHBROOK, IL.
847-298-1824

SCALE	1" = 20'
DRAWN BY	JD
CHECKED BY	JD
DATE	3/20/21
DATE OF PRINT	

PROJECT NO.	
SHEET NO.	L - 2

Shelly's Landscape Contractors, Inc.

1617 TECHNY RD., NORTHBROOK, IL 60062-5446

TELEPHONE: (847) 291-1824

FAX: (847) 291-1826

EMAIL: shelly@shellyslandscape.com

gary@shellyslandscape.com

www.shellyslandscape.com

Designing & Installation
Lawn Maintenance**Tree Preservation Survey - 890 Oak Knoll Drive, Lake Forest**

3/14/24

CONDITION 1-6

<u>TAG #</u>	<u>SIZE (in.)</u>	<u>SPECIES</u>	<u>(1=BEST, 6=DEAD)</u>	<u>NOTES</u>
63	44	Bur Oak	3	Triple trunk cable
64	38	Bur Oak	3	Split trunk - cable
65	27	Bur Oak	3	Remove for construction
66	32	Bur Oak	4	PREVIOUSLY REMOVED
67	31	Bur Oak	4	PREVIOUSLY REMOVED
68	18	Bur Oak	5	PREVIOUSLY REMOVED
69	25	Bur Oak	5	PREVIOUSLY REMOVED
70	30	Bur Oak	4	
71	31	Bur Oak	3	
72	33	Bur Oak	3	
73	13	Hickory	3	
74	9	Hickory	3	
75	10	Hickory	3	
76	18	Hickory	3	
77	18	Hickory	3	
78	22	Bur Oak	4	
79	8	Bur Oak	3	
80	7	Bur Oak	3	
81	11	Bur Oak	3	
82	42	Bur Oak	3	
83	45	Bur Oak	3	
84	13	American Elm	3	
85	29	Bur Oak	3	
86	37	Bur Oak	5	
87	22	Bur Oak	3	
88	25	Bur Oak	4	
89	20	Bur Oak	3	
90	19	Bur Oak	4	
91	25	Bur Oak	3	
92	25	Bur Oak	3	

SURVEY – EXISTING TREES

93	29	Bur Oak	3
94	22	Bur Oak	4
95	13	Bur Oak	3
96	12	Bur Oak	6
97	20	Bur Oak	3
98	21	Bur Oak	3
99	24	Bur Oak	3
100	26	Bur Oak	5
1	18	Bur Oak	3
2	27	Bur Oak	4
3	39	Bur Oak	3
4	10	Hickory	6
5	22	Bur Oak	3
6	30	Bur Oak	3
7	29	Bur Oak	3
8	32	Bur Oak	3
9	23	Bur Oak	3
10	22	Bur Oak	3
11	40	Bur Oak	4
12	9	Spruce	3
13	10	Ash	4
14	37	Bur Oak	3
15	19	Hickory	3
16	29	Bur Oak	3
17	20	Bur Oak	3
18	27	Bur Oak	3
19	20	Bur Oak	3
20	30	Bur Oak	3
21	21	Bur Oak	3
22	33	Bur Oak	3
23	24	Bur Oak	3

Decay at base

PREVIOUSLY REMOVED

Poor structure. Remove for Construction.

TOTAL INCHES REMOVED: 64
TOTAL INCHES TO BE REPLACED: 32

Zach Dubofsky

Zach Dubofsky

Landscape Architect, ASLA

Shelly's Landscape Contractors

1617 Techny Road, Northbrook, IL.

847-291-1824

zach@shellyslandscape.com

TREE PLANTING LIST – PROPOSED

Shelly's Landscape Contractors, Inc.

1617 TECHNY RD., NORTHBROOK, IL 60062-5446

TELEPHONE: (847) 291-1824

FAX: (847) 291-1826

EMAIL: shelly@shellyslandscape.com

gary@shellyslandscape.com

www.shellyslandscape.com



Designing & Installation
Lawn Maintenance

890 Oak Knoll Drive, Lake Forest - Tree Replacement Inventory

3/14/24

Number:	Size:	Common Name:	Botanical Name:	Notes:
1	8'	Norway Spruce	Picea abies	
2	8'	Norway Spruce	Picea abies	
3	8'	Norway Spruce	Picea abies	
4	8'	Norway Spruce	Picea abies	
5	8'	Norway Spruce	Picea abies	
6	3"	Kentucky Coffee Tree	Gymnocladus dioica	
7	3"	State Street Maple	Acer miyabei 'Morton'	
8	3"	State Street Maple	Acer miyabei 'Morton'	
9	3"	State Street Maple	Acer miyabei 'Morton'	
10	3"	Kentucky Coffee Tree	Gymnocladus dioica	
11	3"	Swamp White Oak	Quercus bicolor	
12	3"	Northern Pin Oak	Quercus ellipsoidalis	
13	3"	Swamp White Oak	Quercus bicolor	
14	3"	Northern Pin Oak	Quercus ellipsoidalis	

42 Total Inches

Zach Dubofsky

Zach Dubofsky

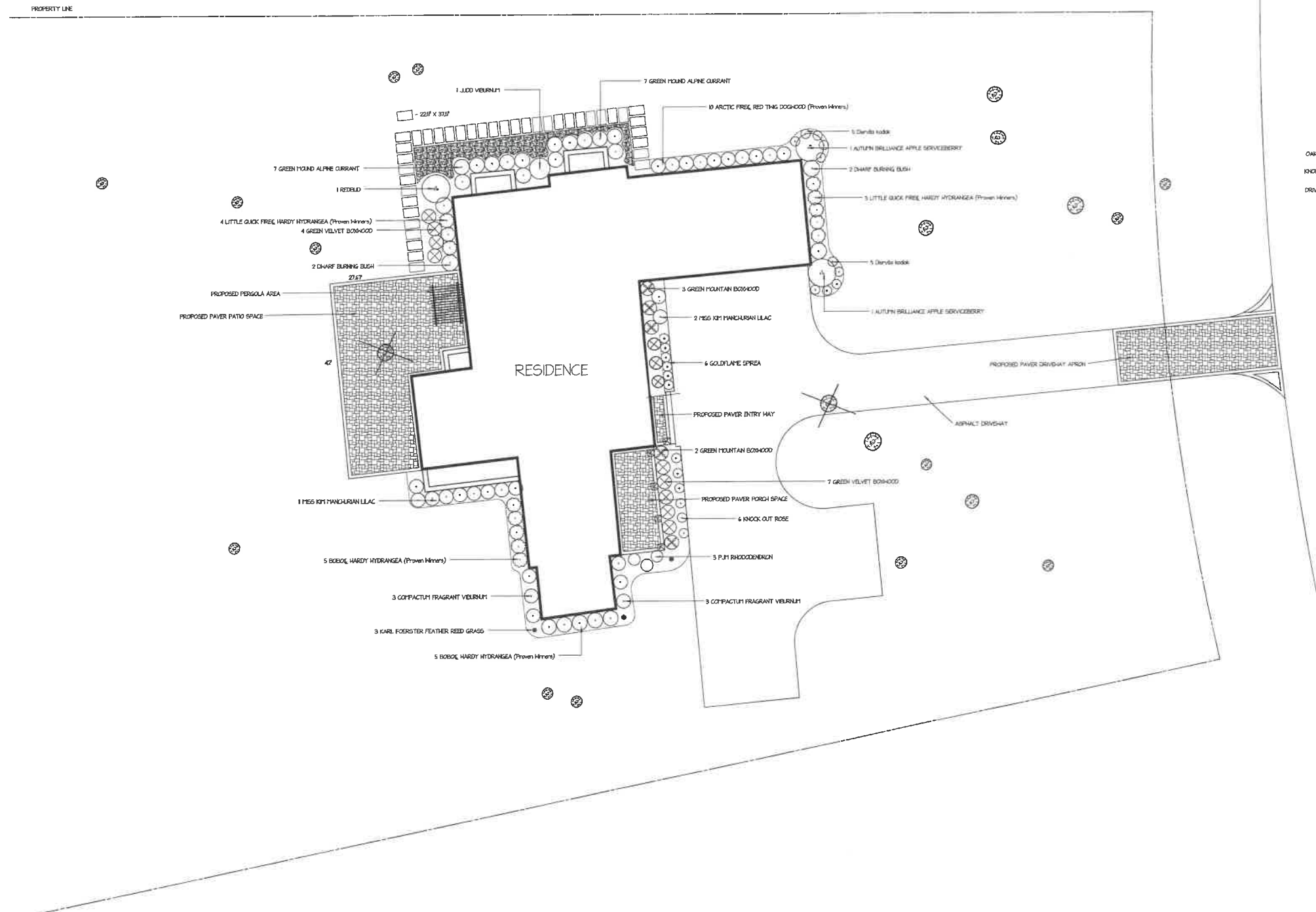
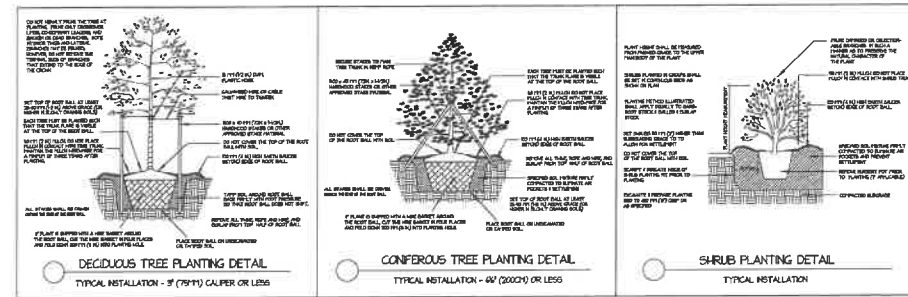
Landscape Architect, ASLA

Shelly's Landscape Contractors

1617 Techny Road, Northbrook, IL.

847-291-1824

zach@shellyslandscape.com



NOTES

PICK RESIDENCE
890 OAK KNOLL DRIVE, LAKE FOREST, IL.

No.	Date	Description
REVENUE		



890 OAK KNOLL DRIVE
LAKE FOREST, IL.

Shelly's Landscape
Zach Dubofsky, ASLA
1617 Techny Road
Northbrook, IL
847-291-1824

SCALE	1/8" = 1'	PROJECT NO.	
DRAWN BY	ZD	SHEET NO.	
CHECKED BY	ZD		
DATE	3/9/24		
DATE OF PRINT			

Shelly's Landscape Contractors, Inc.

1617 TECHNY RD., NORTHBROOK, IL 60062-5446

TELEPHONE: (847) 291-1824

FAX: (847) 291-1826

EMAIL: shelly@shellyslandscape.com

gary@shellyslandscape.com

www.shellyslandscape.com

Designing & Installation
Lawn Maintenance

Quantity:	Common Name:	Botanical Name:	Size:
TREES:			
2	Autumn Brilliance Serviceberry	Amelacnchier grandiflora 'Autumn Brilliance'	10'
1	Eastern Redbud	Cercis canadensis	10'
SHRUBS:			
10	Arctic Fire Dogwood	Cornus stolonifera 'Farrow'	7gal - 36"
4	Dwarf Burning Bush	Euonymus alatus 'Compacta'	36"
1	Judd Viburnum	Viburnum x. juddi	48"
6	Compact Fragrant Viburnum	Viburnum carlesii 'Compacta'	36"
14	Green Mound Alpine Currant	Ribes alpinum 'Green Mound'	5gal. - 24"
10	Honeysuckle Kodiak	Diervilla spendens	5gal. - 24"
8	Little Quickfire Hydrangea	Hydrangea paniculata 'SMHPLQF' USPP 25,136	5gal. - 30"
10	Bobo Hydrangea	Hydrangea paniculata 'ILVOBO'	5gal. - 24"
6	Goldflame Spirea	Spiraea x. bumalda 'Gold Flame'	5gal. - 24"
8	Green Velvet Boxwood	Buxus microphylla x. B.sempervirens 'Green Velvet'	24"
5	Green Mountain Boxwood	Buxus microphylla x. B.sempervirens 'Green Mountain'	36"
3	PJM Rhododendron	Rhododendron x. 'P.J.M.'	7gal. - 36"
13	Miss Kim Manchurian Lilac	Syringa patula 'Miss Kim'	5gal. - 30"
6	Red Double Knock Out Rose	Rosa x. 'Radtke'	3gal. - 24"

Zach Dubofsky

Landscape Architect, ASLA

Shelly's Landscape Contractors

1617 Techny Road, Northbrook, IL.

847-291-1824

zach@shellyslandscape.com

CONCEPTUAL RENDERING – REAR – LOOKING NORTHEAST



