

Agenda Item 3
Southeast Corner of Waukegan and Everett Roads
Starbucks – Design Elements and Exterior Materials

Staff Report
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application

Statement of Intent

Description of Materials

Site Plan – Key to Renderings

Site Plan – Annotated

Renderings

- 1. Northeast Perspective
- 2. Northwest Perspective
- 3. Southwest Perspective
- 4. Southeast Perspective

Elevations

Roof Plan

Cross Section

Floor Plan

Landscaping Plan in Color

Landscaping Plan – Wooded Species

Landscaping Plan – Herbaceous Species

Planting Palette

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

Southeast Corner of Waukegan and Everett Roads

Consideration of a new Starbucks on a vacant lot with review of design elements and exterior materials.

Property Owner: 1015 LLC and 1045 LLC (Iosue Family)

Project Representative: Jack Frigo, Real Estate Advisor and Scott Shust, Architect

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This petition is a request for approval of a new commercial building and site improvements for a Starbucks with a drive through at the southeast corner of Waukegan and Everett Roads. Signage and lighting plans will be presented for Board review and action at a later date.

Description of Property

The parcel is located at the southeast streetcorner of Waukegan and Everett Roads and is just over a half acre in size. The parcel is part of a larger development site, which is all in the same ownership, including the medical office building directly east and the vacant site to the south. Residential areas are found to the east and south of the larger site. The site has remained vacant for nearly 16 years. Several proposed developments have been brought forward but, for various reasons, have not moved forward. The high traffic corner is a desirable location for commercial use and the City Council, based on a unanimous recommendation from the Plan Commission, recently approved a Special Use Permit to authorize a Starbucks at this location. Site access is provided as part of the larger development site due to IDOT restrictions limiting curb cuts close to the intersection of Everett and Waukegan Roads.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan – This standard is met.

The proposed Starbucks reflects a site plan already approved by City Council and the Plan Commission.

The Starbucks is sited near the corner of Everett and Waukegan Roads, surrounded by landscaping on the Waukegan and Everett streetscapes. The drive through runs counterclockwise around the building. It is directly west of the existing 1025 Everett Road building and north of the future development site. The site has access from Waukegan Road at the far south end of the development site and from a northbound right in/right out access directly south of the proposed Starbucks building. Access to Starbucks is also available from Everett Road through a shared driveway with the 1025 medical office building.

Outdoor seating runs along the east side of the building and connects to a small patio on the north side. Landscaping separates the patio area from the drive through lane.

The Starbucks complies with applicable setbacks from Waukegan and Everett Roads. The landscaping enhances the site by providing a natural vegetation buffer around the building and proposed outdoor areas.

Building Massing and Height – This standard is met.

The Starbucks, at a proposed height of 22 feet, is significantly lower than the 35 foot height permitted in the B-1 zoning district. A patio space of roughly 500 square feet compliments the 2,200 square foot footprint of the building.

Overall, this single story building's massing is minimal. The simple hipped roof and eyebrow eave break up the vertical mass while cement board stucco and half timbered elements with windows provide vertical interest.

Elevations – This standard is met.

The north elevation, facing Everett Road, contains a single door for patrons' use of the patio. To the left of the door are three sets of storefront windows with clear glazing. The above eyebrow eave matches the materials of the roof with royal slate asphalt shingles. The clear glazed windows and eyebrow eave extend into the east elevation. White spandrel glazed windows separate the door from a full height brick wall. A three-foot high stone sill runs along the base of all elevations. White stucco fills the space between the eyebrow eave and the roof. A dormer punctuates the mansard roof above.

The west elevation faces Waukegan Road. Exterior to the "back of the house", an off-center door, dormer, and eyebrow eave dominate the façade. White stucco panels separate the metal door from the above eyebrow eave and the adjacent white spandrel window sets. White stucco fills the space between the eyebrow eave and the roof. A decorative chimney projects from the roof on the lefthand side adding detail and character to the commercial building.

A drive through pickup window projects forward below a dormer on the south elevation. The window is protected by a short eyebrow eave. Stone delineates the pickup window from expanses of brick on the other sides. In this elevation,

the peak over the drive through window is larger in scale and provides appropriate emphasis to the window element.

Facing the neighboring 1025 Everett Road building, the east elevation presents the main entrance. This door is off center to its overhead dormer which is inconsistent with the other dormer/door pairings. The dormer competes with the decorative chimney. A full height brick wall weighs heavily on the left. The right half of the elevation is mainly clear windows and white stucco, separated by the eyebrow eave.

Staff suggests eliminating the peak pseudo dormers on the north, west, and east elevations. Their presence conflicts with the chimneys and their removal would simplify the roof form. Traditional dormers include windows, which are not included in this design. In place of windows in the peak, an oversized logo is conceptually proposed in this area but as noted above, signage review is not part of the current petition. The conceptual signage reflected on the building and on the site, although not presented for Board action at this time, suggest an overage beyond allowable signage. In future discussions of signage, consideration should be given to moving the signage onto the large unbroken brick panel on the west elevation to punctuate the mass and achieve clear visibility to the streetscape.

Recommendation: Eliminate the dormers on the east, west, and north elevations to simplify the roof form. As signage plans are developed in the future, consider placing signage graphics on the large brick panel on the west elevation.

Landscaping and Hardscape – This standard is met.

A detailed landscaping plan has been provided in the Board members' packets. It includes both proposed wooded and herbaceous plantings, as well as associated images. Currently, the site has limited landscaping, the addition of landscaping will enhance the streetscape and the intersection.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no correspondence, comments, or contacts have been received on this petition.

Recommendation

Forward a recommendation in support of the petition to the City Council based on the findings detailed in this staff report as adopted by the Board and subject to the following conditions.

1. All rooftop mechanical equipment shall be screened or placed to avoid visibility from the streetscape.
2. Consider the elimination of the decorative peaked dormers on the north, west, and east elevations to simplify the roofline.
3. Any modifications to the plans including those made in response to Board direction or discussion and those made as a result of final design development shall be clearly called out on the plans submitted for permit and a copy of the plans originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to verify that the plans as presented are consistent with the Board's approval, and if not, further Board review is required prior to the issuance of any permits.
4. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction to protect vegetation, if any, that is intended to remain on the subject property, on the parkway, and on the adjacent property.
- b. A final detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The landscape plan shall specify the quantity, species, and size at the time of planting for all new landscaping.
- c. The landscape plan shall detail planting and fencing along the Waukegan Road streetscape adjacent to the vacant portion of the development site to the south of the Starbucks.

Construction Parking and Staging

- d. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. No on street parking or staging of equipment or materials is permitted due to the location on two high traffic volume streets.

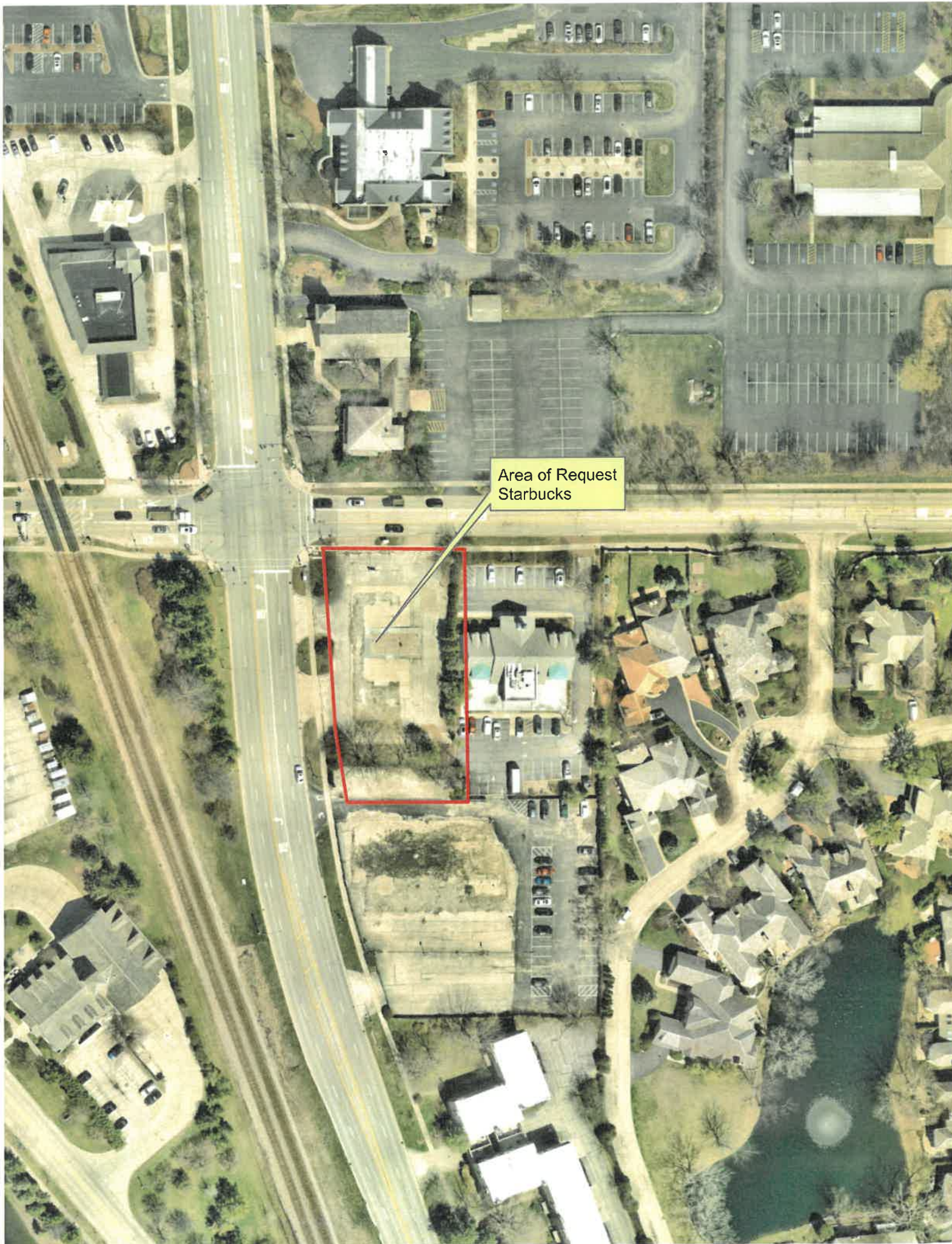


Area of Request
Starbucks 900-950

1015



Area of Request
Starbucks



Area of Request
Starbucks



THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS: 1015 S. WAUKEGAN RD., LAKE FOREST, IL 60045

APPLICATION TYPE: NEW RETAIL AND OFFICE DEVELOPMENT

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence <input type="checkbox"/> New Accessory Building <input type="checkbox"/> Addition/Alteration <input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Demolition Complete <input type="checkbox"/> Demolition Partial <input type="checkbox"/> Height Variance <input type="checkbox"/> Other	<input checked="" type="checkbox"/> New Building <input type="checkbox"/> Addition/Alteration <input type="checkbox"/> Height Variance <input type="checkbox"/> Other	<input checked="" type="checkbox"/> Landscape/Parking <input checked="" type="checkbox"/> Lighting <input type="checkbox"/> Signage or Awnings

PROPERTY OWNER INFORMATION

1015 Waukegan Road LLC (Carmine Iosue –
Managing Member)

Owner of Property
c/o Iosue Investments LLC
1025 W. Everett Road

Owner's Street Address (may be different from project address)

Lake Forest, IL 60045

City, State and Zip Code
847-708-8922

Phone Number *Fax Number*
carmine@iosueassociates.com
nicole@iosueassociates.com

Email Address
Carmine Iosue Signature


Owner's Signature

ARCHITECT/BUILDER INFORMATION

Scott Shust – Architect

Jack Frigo - Real Estate Advisor

Name and Title of Person Presenting Project
JTS Architects - Principal
Frigo & Company - President


Name of Firm

450 E. Higgins Road, Suite 202
707 Skokie Boulevard, Suite 600

Street Address
Elk Grove Village, IL 60007
Northbrook, IL 60062

City, State and Zip Code
847-952-9970
847-940-2200

Phone Number *Fax Number*
scottshust@jtsarch.com
jack@frigocompany.com

Email Address
Jack Frigo signature

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

<i>Please email a copy of the staff report</i>	<input checked="" type="checkbox"/> OWNER X (IOSUE)	<input checked="" type="checkbox"/> REPRESENTATIVE X (SCOTT SHUST + JACK FRIGO)
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



IOSUE INVESTMENTS – Architectural Statement of Intent – Retail Building A

Building Review Board

March 25, 2024

Our design for Retail Building A is a harmonious composition of the existing adjacent building located at 1025 W. Everett Rd, as well as other buildings within the community of Lake Forest. It is our intent that the design be compatible with those within the area in terms of massing, scale, & materiality while also respecting adjacent neighbors.

The overall design and massing compliments the surrounding structures in style while allowing the user to maintain functionality within the building. The quick service restaurant brings vehicle users into the site for the drive-thru for those patrons on the go. Additionally, the site layout welcomes pedestrians within the Southeast Quadrant with a pedestrian friendly landscape path connecting the adjacent properties in the immediate area including the Metra Station, Sunset Foods, area restaurants, etc.

Retail Building A utilizes a simple Tudor Cottage style akin to many buildings within the city; most notably the Deer Path Inn. The primary materials include a rugged stone base, a deep red brick blend, and stucco with a rough finish. Secondary materials include a dark brown cement board trim which frames the stucco above the storefront areas, matte black aluminum storefront systems which uses clear & spandrel glass, and asphalt shingles which are located on the parapet of the building which is being used to screen the rooftop equipment as well as on the lower canopies above the storefront. These materials are consistent on all four sides of the building.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | |
|--|--|
| <input checked="" type="checkbox"/> Stone - tan/brown
<input checked="" type="checkbox"/> Brick - dark red blend
<input type="checkbox"/> Wood Clapboard Siding
<input type="checkbox"/> Stucco
<input type="checkbox"/> Wood Shingle
Individual or Panels? _____ | <input type="checkbox"/> Aluminum Siding
<input type="checkbox"/> Vinyl Siding
<input type="checkbox"/> Synthetic Stucco
<input checked="" type="checkbox"/> Other <u>EIFS - cream</u>
Cement Bd Trim - dark brown |
|--|--|

Color of Material See architectural elevations
for details information

Window Treatment

Primary Window Type

- ☐ Double Hung
☐ Casement
☐ Sliding
☒ Other Fixed

Finish and Color of Windows

- ☐ Wood (recommended)
☒ Aluminum Clad
☐ Fiberglass
☐ Other _____

Color of Finish matte black

Window Muntins

- ☒ Not Provided
☐ True Divided Lites
☐ Simulated Divided Lites (affixed interior and exterior muntins)

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☐ Wood
☒ Other hollow metal

Window Trim

- ☐ Limestone
☐ Brick
☐ Wood
☐ Other _____

Fascias, Soffits, Rakeboards

- ☐ Wood
☒ Other Cement Bd Trim - dark brown

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other _____

Chimney Pot Material

- ☐ None
- ☒ Clay
- ☐ Other _____

Foundation Material

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☒ Other concrete

Roofing

Primary Roof Material

- ☒ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Synthetic Product _____
- ☐ Other _____

Flashing Material

- ☐ Copper
- ☒ Sheet Metal
- ☐ Other _____

Skylights

- ☐ Proposed
- ☐ Existing
- ☒ None

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

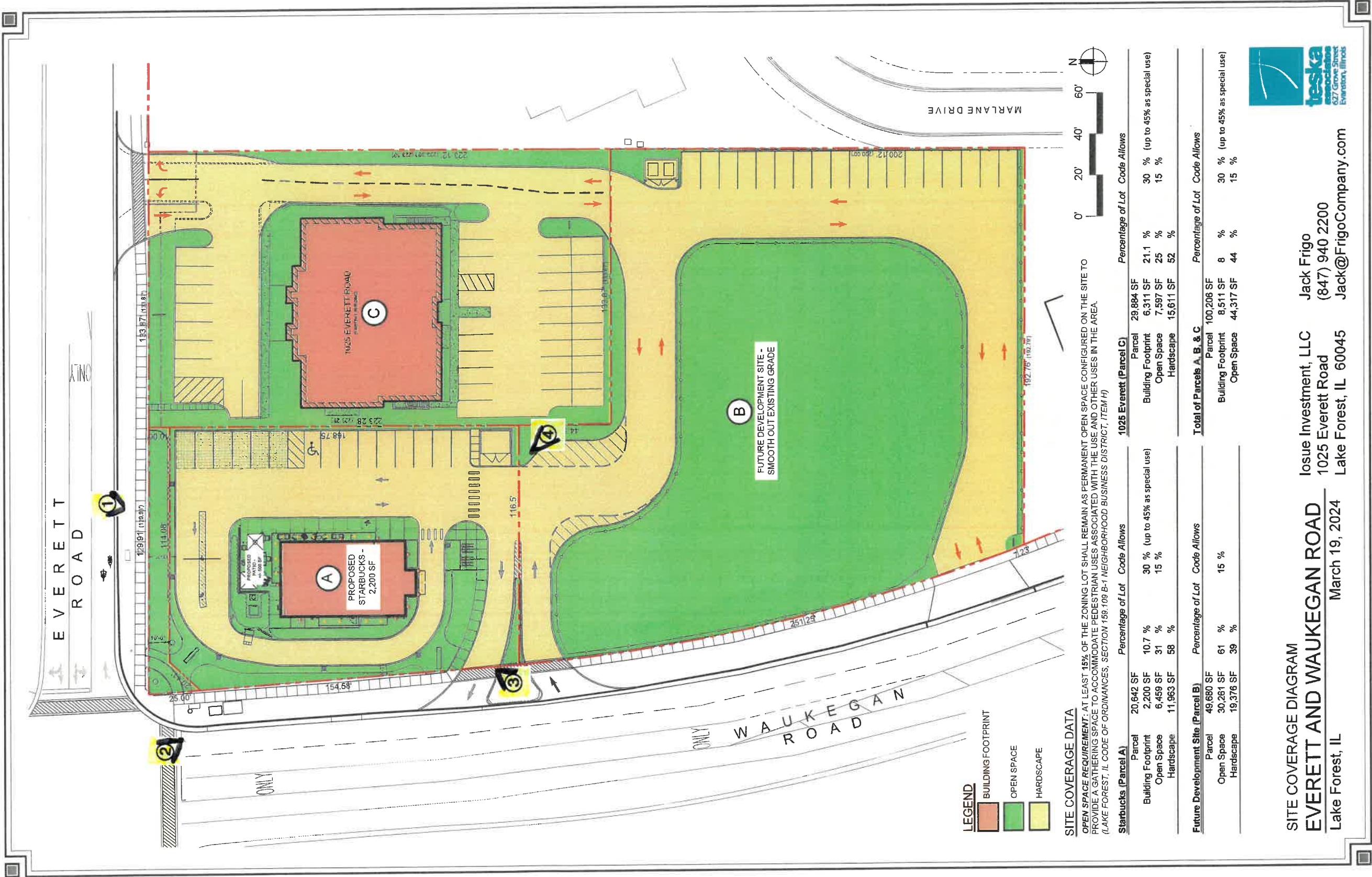
Driveway Material

- ☒ Asphalt
- ☒ Poured Concrete
- ☒ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☒ Poured Concrete
- ☐ Other _____

SITE PLAN - KEY TO RENDERINGS



SITE COVERAGE DIAGRAM

EVERETT AND WAUKEGAN ROAD

Lake Forest, IL

March 19, 2024

Iosue Investment, LLC
1025 Everett Road
Lake Forest, IL 60045

Jack Frigo
(847) 940 2200
Jack@FrigoCompany.com



NORTHEAST
PERSPECTIVE



NORTHWEST
PERSPECTIVE

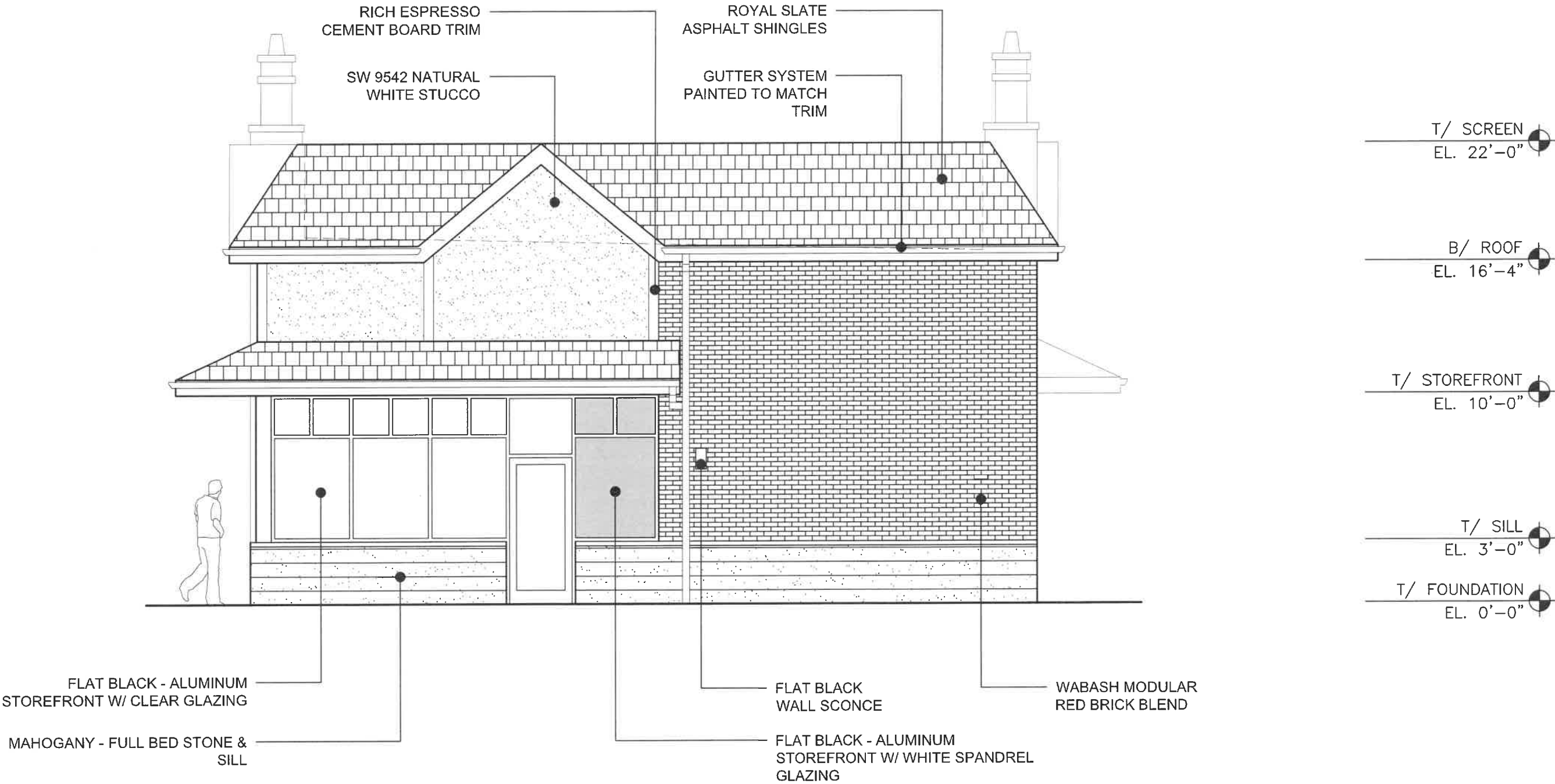


SOUTHWEST
PERSPECTIVE



SOUTHEAST
PERSPECTIVE

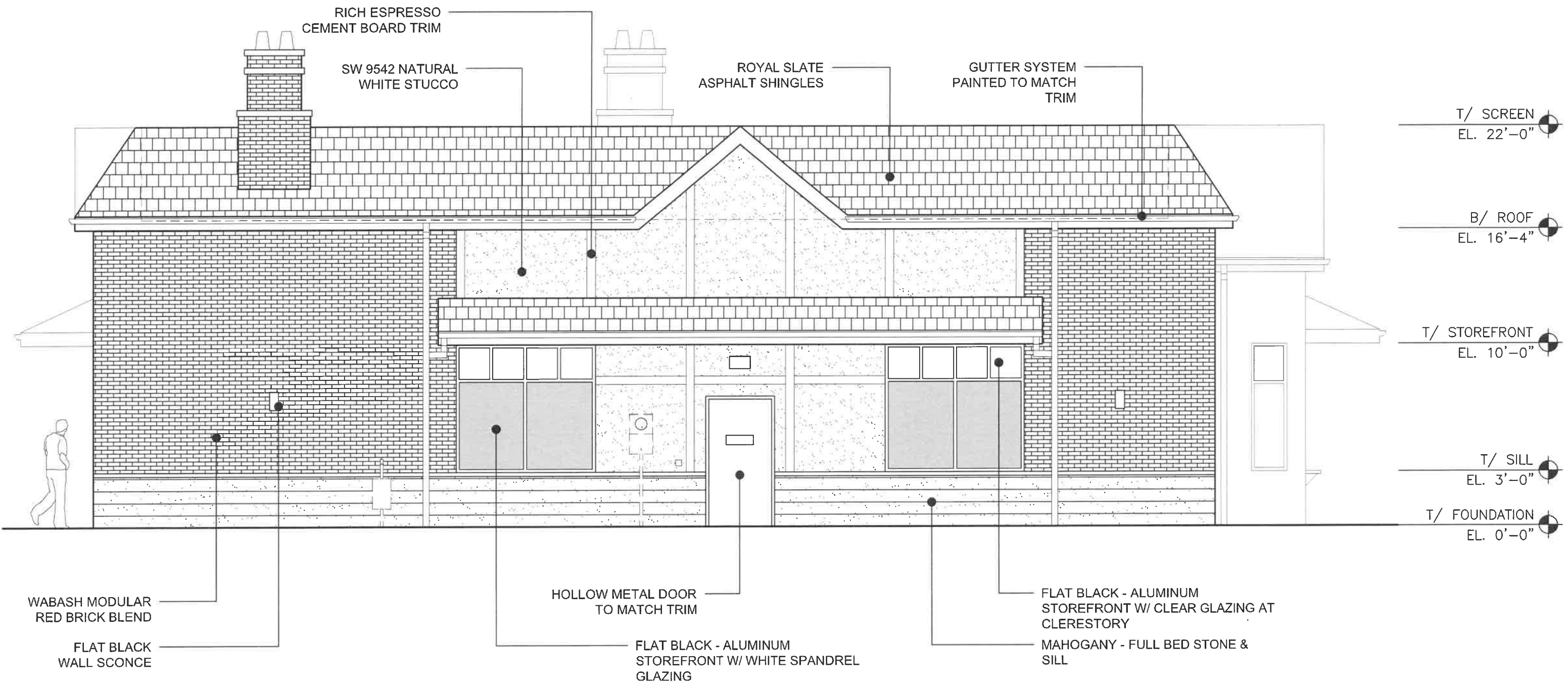
NORTH ELEVATION

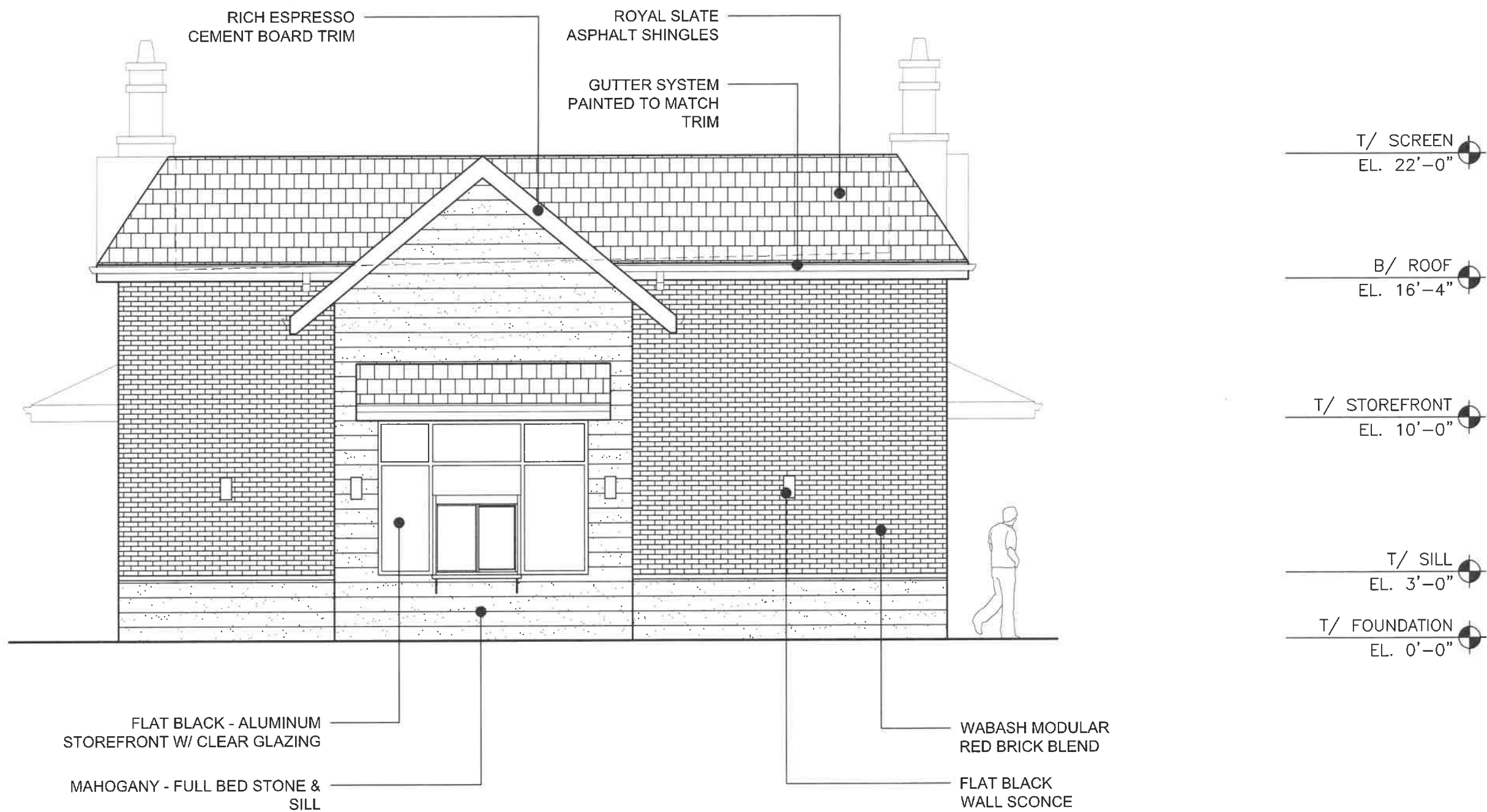


NORTH ELEVATION

SCALE: 3/16" = 1'-0"

WEST ELEVATION





SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

EAST ELEVATION



[illegible]

2 ROOF HATCH/LADDER DETAIL
SCALE: 1/2" = 1'-0"

3 ROOF HATCH/LADDER DETAIL
SCALE: 1/2" = 1'-0"

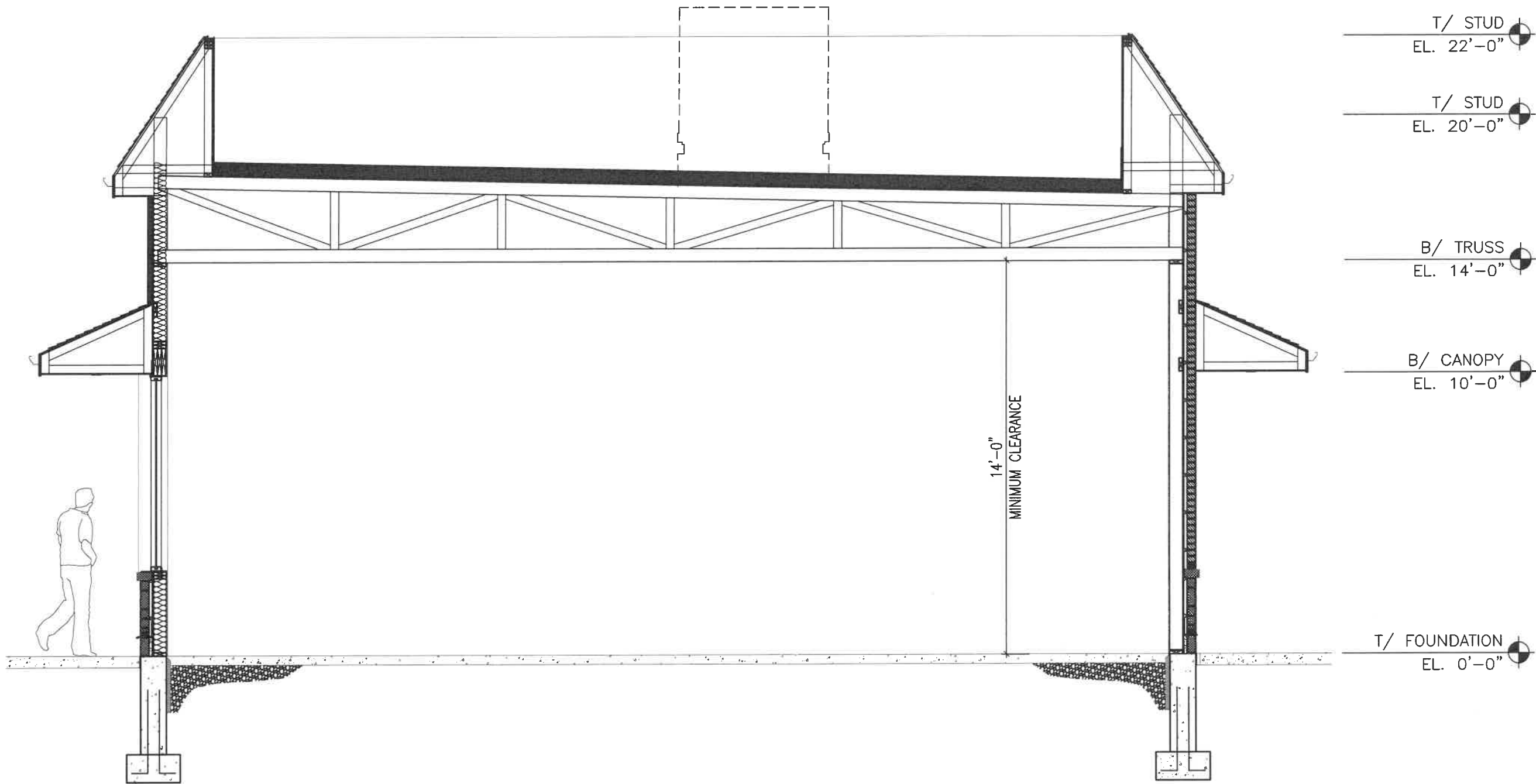
4 ROOF HATCH/LADDER DETAIL
SCALE: 1/2" = 1'-0"

1 ROOF PLAN
Scale: 1/4" = 1'-0"

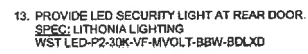
5 ROOF CURB DETAIL, TYPE
SCALE 1" = 1'-0"

[illegible]

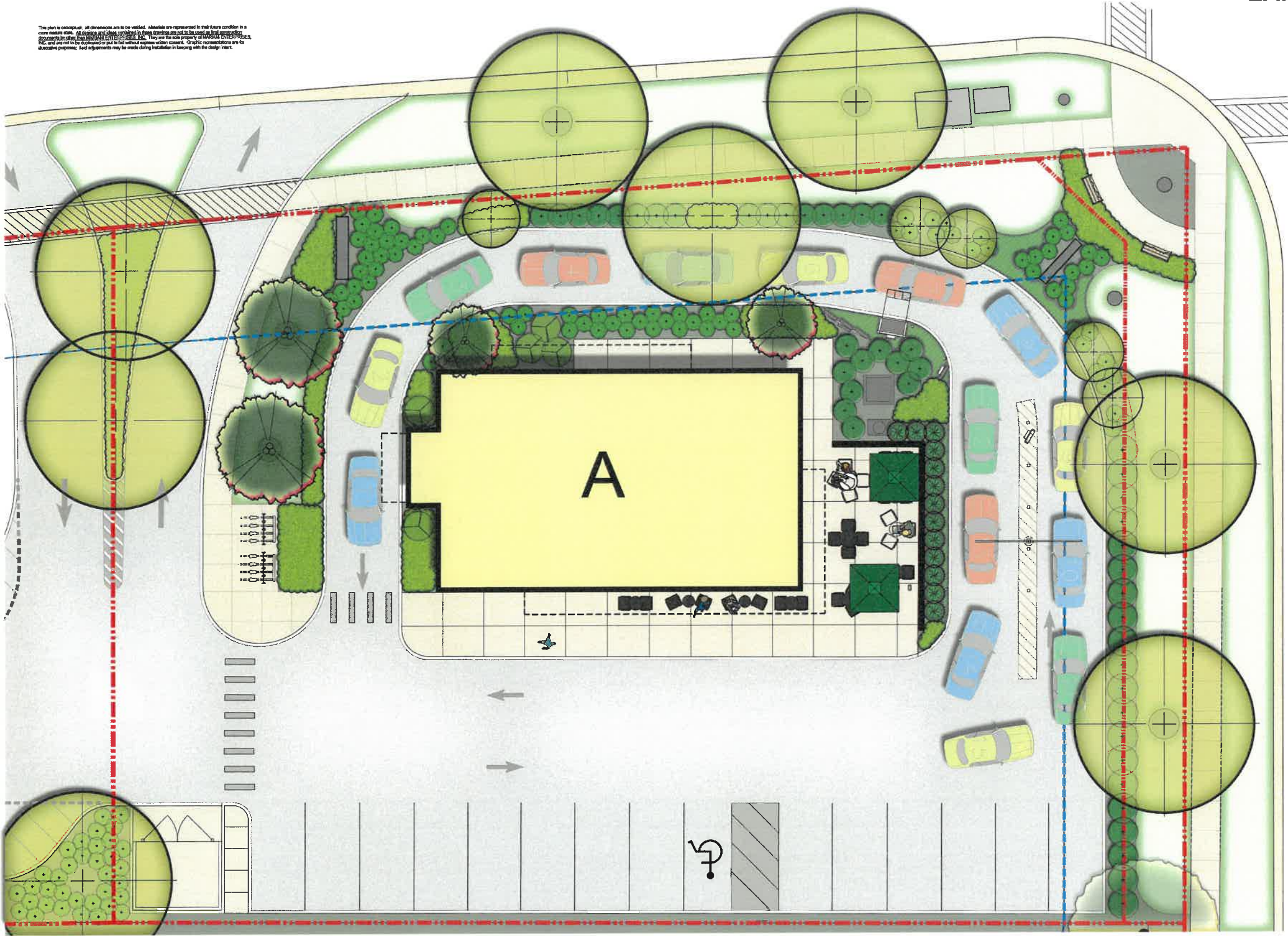
CROSS SECTION



11. RECESSED 1000 LUMEN LED CAN LIGHTING UNDERNEATH CANOPY; SEE LANDLORD TECHNICAL CRITERIA FOR ADDITIONAL INFORMATION.
SPEC: ACUITY, LITHONIA LIGHTING - WAFER LED RECESSED DOWNLIGHT WF4 - 4" LED MODULE - MATTE BLACK

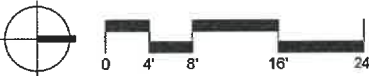


GLAZING	
G4	1/4" GLASS (CLEAR) FULLY TEMPERED



Planting Legend:		
Quantity	Scientific Name	Common Name
13	3" Shade Trees:	
	Tilia americana 'Redmond'	Redmond Linden
	Quercus robur 'Regal Prince'	Regal Prince Columnar Oak
	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo
	Gleditsia tricanthos	Honey Locust
4	3" or 6" Ornamental Trees:	
	Syringa reticulata	Japanese Tree Lilac
	Malus 'Prairifire'	Prairifire Crabapple
13	5' Evergreen Trees:	
	Juniperus chinensis 'Hetzi Columnaris'	Columnar Juniper
5	24" Large Shrubs:	
	Hydrangea paniculata 'Quick Fire'	Quick Fire Panicle Hydrangea
	Viburnum dentatum	Arrowwood Viburnum
61	24" Medium Shrubs:	
	Spirea alba 'Grefsheim'	Grefsheim Spirea
	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea
	Forsythia intermedia 'Show Off'	Show Off Border Forsythia
106	18" Small Shrubs:	
	Diervilla lonicera	Dwarf Bush Honeysuckle
	Cotoneaster apiculatus	Cranberry Cotoneaster
	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac
320	1 Gallon Perennials 24" o.c.	
	Sporobolus heterolepis	
	Calamagrostis 'Karl Forester'	Karl Forester Feather Reed Grass
	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass
	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass
	Achillea millefolium 'Moonshine'	Moonshine Yarrow
	Echinacea purpurea	Purple Coneflower
	Allium tanguticum 'Summer Beauty'	Summer Beauty Allium
	Amsonia hubrichtii	Akansas Blue Star
	Amsonia 'Blue Ice'	Blue Ice Blue Star
	Alchemilla mollis	Lady's Mantle
	Calamintha nepeta 'Montrose White'	Montrose White Dwarf Calamint
	Nepeta x faassenii 'Kit Kat'	Kit Kat Catmint
	Ligularia dentata 'Desdemona'	Leopard Plant
	Heuchera 'Palace Purple'	Palace Purple Coral Bells
	Osmunda cinnamomea	Cinnamon Fern
	Salvia nemorosa 'Caradonna'	Caradonna Salvia
	Sedum floriferum 'Baileys Gold'	Baileys Gold Stonecrop
19 flats		
2 flats	Liriope spicata	Creeping Lilyturf

1 Parcel A - Landscape Planting Plan
SCALE: 1/8" = 1'-0"



Everett and Waukegan Road

1045 Waukegan Road, Lake Forest, IL 60045

Project No: 20028
03/15/2024

MARIANI PLOT STAMP: J:\01 Projects\2020\1015-1045 Waukegan\20028\04 Construction\20240315_1045 Waukegan



Frigo & Company
707 Skokie Boulevard
Northbrook, IL 60062
847.940.2200

1025 Waukegan Road
Lake Forest, IL 60045

#	Date:	Description:	By:
	2023/10/18	For Plan Commission	DM
	2024/03/15	For BRB	DM

This plan is conceptual; all dimensions are to be verified. Materials are represented in their true function in a more mature state. All designs and ideas contained in these drawings are not to be used as final construction documents or other than MARIAN ENTERPRISE, INC. They are the sole property of MARIAN ENTERPRISE, INC., and are not to be duplicated or put to bid without express written consent. Graphic representations are for illustrative purposes; field adjustments may be made during installation in keeping with the design intent.

	DESIGN:	JH
	DRAFTED:	DM
	CHECKED:	

SCALE: 1"=20'

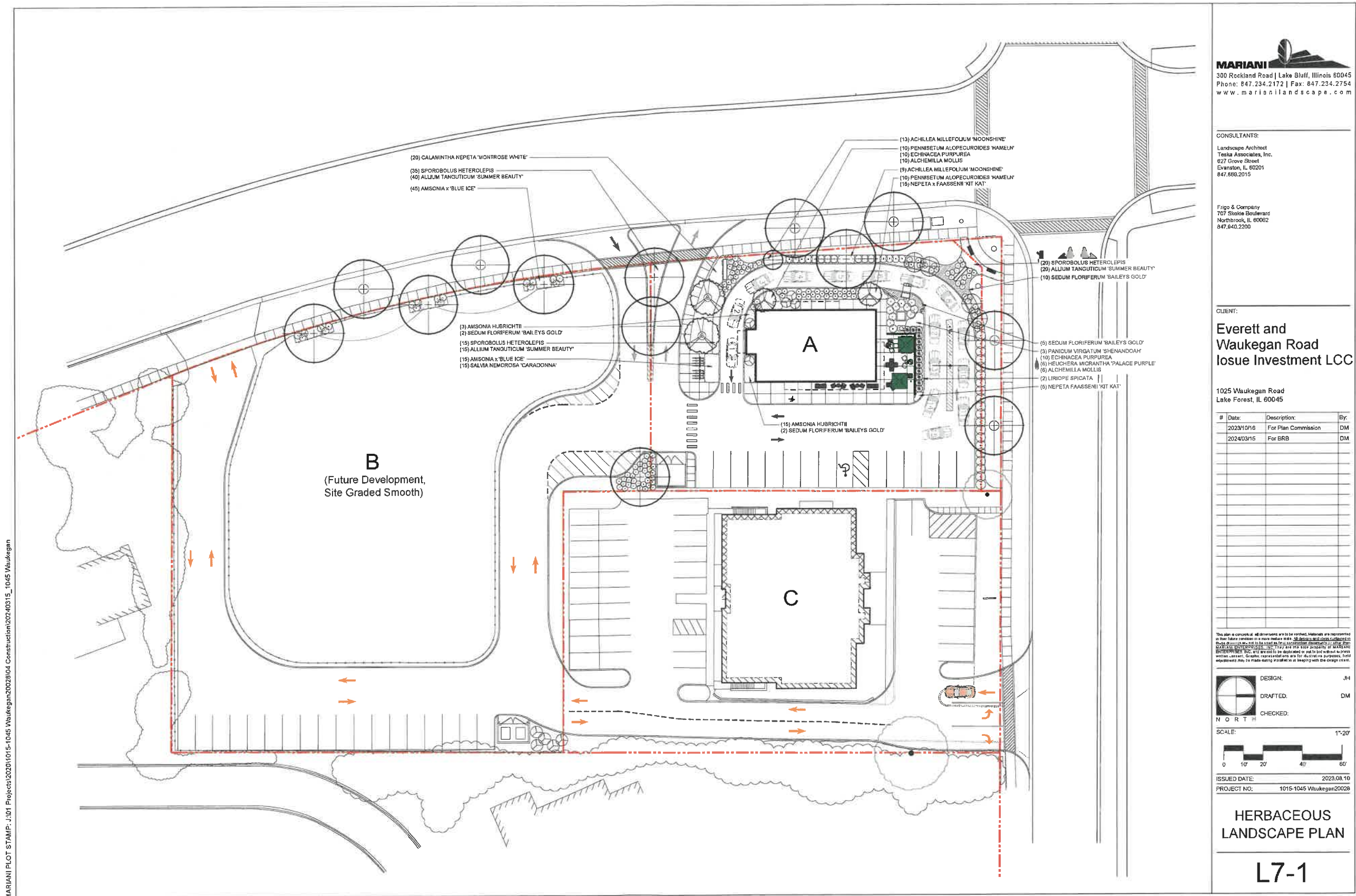


WOODY
LANDSCAPE PLAN

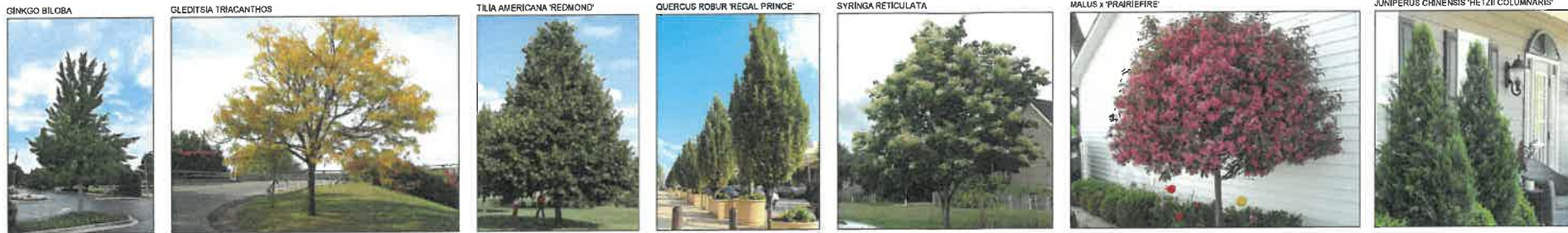
L7-0

NOT FOR CONSTRUCTION

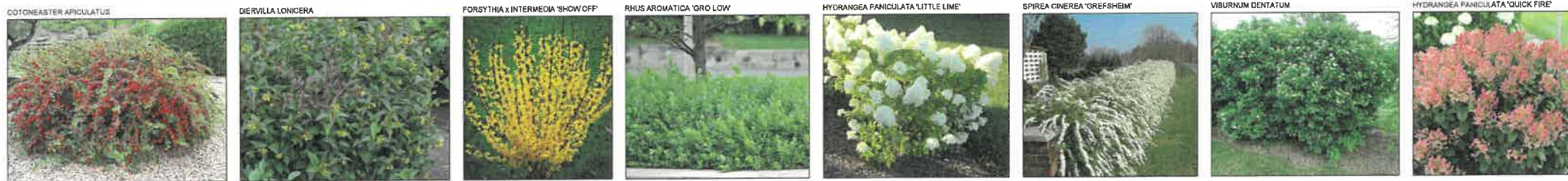
LANDSCAPING PLAN – HERBACEOUS SPECIES



PLANTING PALETTE



1 Woody Plantings - Trees
SCALE: n/a



2 Woody Plantings - Shrubs
SCALE: n/a



3 Herbaceous Plantings
SCALE: n/a



CONSULTANTS:
Landscape Architect
Teska Associates, Inc.
527 Grove Street
Evanston, IL 60201
847.869.2015

Frigo & Company
707 Skokie Boulevard
Northbrook, IL 60062
847.940.2200

CLIENT:

Everett and
Waukegan Road
Iosue Investment LCC

1025 Waukegan Road
Lake Forest, IL 60045

[illegible]

This plan is conceptual. All dimensions are to be verified. Materials are represented in their future condition in a more realistic mode. All designs and drawings created in this document are not to be used as a construction document or other similar documents. They are the sole property of MARIANI ENTERPRISES, INC. and are not to be duplicated or sold to third individuals without written consent. Graphic representations are for illustrative purposes, but measurements are made during installation in keeping with the design intent.

DESIGN:	JH
DRAFTED:	DM
CHECKED:	

SCALE: _____ N/A

ISSUED DATE:	2023.06.10
PROJECT NO:	1015-1045 Waukegan20028

PLANTING PALETTE

L7-2

NOT FOR CONSTRUCTION

Agenda Item 4
210, 230, 270 Majestic Oak
New Single Family Residences

Staff Report
Building Scale Summaries
Vicinity Maps
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Site Plan
Architectural References

210 Majestic Oak

Description of Materials
Elevations
Roof Plan
Floor Plan
Landscape Plan and Planting List
Colorized Elevations

230 Majestic Oak

Description of Materials
Elevations
Roof Plan
Floor Plan
Landscape Plan and Planting List
Colorized Elevations

270 Majestic Oak

Description of Materials
Elevations
Roof Plan
Floor Plan
Landscape Plan and Planting List
Colorized Elevations

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

**Westleigh Farm Subdivision
210, 230, and 270 Majestic Oak Court**

Continued consideration of two new homes at 210 and 230 Majestic Oak Court and the associated site, hardscape, and landscape plans.

Consideration of a new home at 270 Majestic Oak Court and the associated site, hardscape, and landscape plans.

Property Owner: Northshore Builders

Project Representatives: Doug Wirth and Natalie Viscuso, architects

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of three new homes in the Westleigh Farm Subdivision and their associated site, hardscape, and landscape plans.

Description of Property

The properties, lots 27, 28, and 30 of the Westleigh Farm Subdivision were approved as a Conservation Subdivision in 2017. A Conservation Subdivision is one in which the lots are permitted to be smaller than the minimum lot size established by the Zoning Code in exchange for preserving open space, wetlands, and woodlands. The subdivision plat established 26 lots in the northern portion of the subdivision ringing the preserved open space in the center which slopes down to a pond. The 26 lots are all about one-third of an acre in size. Several years ago, the Building Review Board approved a series of model homes with variations for the 26 homes. These homes were constructed, sold, and are occupied. The building style of the houses in the northern portion of the subdivision is described as Vernacular Farmhouse with Classical Colonial Revival and Traditional European influence.

The properties subject to this petition are three of seven lots in the Westleigh Farm subdivision identified for custom homes. The seven lots platted in the southern portion of this subdivision are located along the west side of Majestic Oak Court, to the north and south of the original house on the property, 250 Majestic Oak Court, an historic home that is designated as a Local Historic Landmark. This residence, the Charles Garfield King Estate, was originally designed by Howard Van Doren Shaw. The discussions at the time of approval of the subdivision of the property contemplated that the seven custom homes would be inspired and defer in some way to the historic residence.

210 and 230 Majestic Oak are located to the north of the original King residence. 270 Majestic Oak is located to the south of the original King residence. In combination, the

four residences present themselves cohesively at the entrance of the Westleigh Farm Subdivision from Ridge Road, upon turning south onto Majestic Oak Court.

Previous Board Consideration of the Petitions

Two new homes proposed on the 210 and 230 Majestic Oak Court parcels, Lots 27 and 28, were presented to the Board at the March 6th meeting. The Board continued consideration of the two homes and provided the following overall direction to the petitioner. All new homes proposed in this area of the subdivision should respond to the following comments.

- Consider the new homes in the context of the historic residence as well as the replicas of original out buildings to the residence, the stable and clubhouse, which today function as community buildings for the subdivision.
- Site the new homes to compliment, rather than obstruct the historic residence.
- Clearly stake the sites to indicate proposed locations of the residences and the driveway.
- Identify the selected architectural styles and remain consistent with the selected style for each home.
- Refine the use of windows and gables to avoid large, unbroken expanses for wall or roof.

Standards in General – Applicable to all three homes

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

210 Majestic Oak Court (Lot 27)

Board Comments Specific to this Residence

- Study and refine the chimney height.
- Refine the English Cottage detailing or detail appropriate with selected style if a different architectural style is chosen.
- Consider further articulation in response to expanses of solid massing.
- Consider the addition of a kitchen window, the addition of a covered porch of the side door, and the removal of the garage door arches.

Site Plan – This standard is met.

In response to board comments, the residence has been narrowed and moved back on the lot. The adjusted siting reflects an intentional streetscape sweep which better respects sightlines to the King estate. The driveway was widened, addressing concerns about clearance and garage access.

Building Massing and Height – This standard is met.

Based on the subdivision approval, a residence of up to 5,581 square feet is permitted on the site. In addition, a garage of up to 600 square feet is permitted along with up to 558 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The proposed residence totals 5415 square feet.
- A total of 600 square feet is allowed for a garage on a property of this size. The proposed garage totals 764 square feet. The garage overage of 164 square feet must be added to the total square footage of the residence for a total of 5579 square feet.
- In addition to the above square footage, a total of 387 square feet of design elements are incorporated into the design of the house.
- In total, the residence is 5579 square feet, 2 square feet, and less than one percent below the allowable square feet.

Elevations – This standard is met.

The style has been updated from the previously proposed style to an equestrian farm style more sympathetic to the King Estate and historic stable structure. The front elevation has been refined to honor the simple symmetry of the King Estate house. The window boxes have trim details found on the stable and chimneys. The other elevations have been refined too, addressing several Board comments. These include the removal of arches on the garage and refinement of windows and gables. The roofing on the side elevations still feels heavy and unbroken, but small peaked gables have been added in limited quantity to add relief.

Recommendation: Consider the addition of a kitchen window to break up the elevation.

Type, color, and texture of materials – This standard is met.

The home is composed of brick and wood clapboard siding with an architectural asphalt shingle roof, and a brick chimney. The windows are vinyl clad and the finish color is proposed as forest green.

Landscaping – This standard is met.

In response to comments, landscaping has been proposed next to the driveway, 8' arborvitae screening has been placed between the homes, and two large oak trees have been added per lot.

Recommendation for 210 Majestic Oak Court:

Approve the residence as submitted subject to the condition below and the standard conditions detailed at the end of this report.

- Consider the addition of a kitchen window to break up the elevation.

230 Majestic Oak Court (Lot 28)

Previous Board Consideration of the Petition (Previously reviewed residence has been moved to Lot 30 – This is a new house design)

Site Plan – This standard met.

In response to comments at the last meeting, the originally proposed home for this lot was moved to lot 30. The home now proposed for this lot is set back significantly further on the lot than the previously proposed residence. This allows the streetscape views of the King estate and the siting appears intentional and respectful of the historic residence. The home is also sited against the north lot line side yard setback, allowing for the maximum buffer space between the proposed residence and the historic residence. The driveway clearance appears to accommodate appropriate access into the garage.

Recommendation: An auto turn diagram should be submitted at the time of application for permit to demonstrate that the driveway is adequately sized and configured to facilitate vehicle movements into and out of the garage.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 5749 square feet is permitted on the site. In addition, a garage of up to 600 square feet is permitted along with up to 679 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The proposed residence totals 5479 square feet.
- A total of 600 square feet is allowed for a garage on a property of this size. The proposed garage totals 762 square feet. The garage overage of 162 square feet must be added to the total square footage of the residence for a total of 5583 square feet.

- In addition to the above square footage, a total of 679 square feet of design elements are incorporated into the design of the house.
- In total, the residence is 5745 square feet, 4 square feet, and less than one percent below the allowable square feet.

Elevations – This standard is met.

The style of the proposed home is in keeping with a New England Colonial home and reflects the simplicity and symmetry of the King Estate. The massing feels shorter than the manor home as the second story is under roof and dormer. The front of the house has a simple overhang porch with posts that mimic the columns on the historic residence.

The home as now proposed appears related to and respectful of the King Estate without attempting to replicate it. The simplicity allows the Estate home architecture to be the focal point of the streetscape but still provides a strong house in its own right.

Type, color, and texture of materials – This standard is met.

The home consists of a rough stone wainscot with wood clapboard siding and a architectural asphalt shingle roof with a stone chimney. The windows are vinyl clad wood windows and the finish color is proposed as a sandstone.

Landscaping – This standard is met.

In response to comments, landscaping has been proposed next to the driveway, 8' arborvitae screening has been placed between the homes, and two large oak trees have been added per lot.

Recommendation for 230 Majestic Oak Court : Approve the residence as proposed subject to the following condition and the standard conditions as detailed at the end of this report.

- Consideration should be give to changing the peak on the dormers to be a soft arch as a way to further relate the home to the King Estate, and to provide uniqueness to the home.

270 Majestic Oak Court (Lot 30)

Board Comments Specific to this residence:

- Study and refine the chimney height.
- Soften the color of the stucco, avoid stark white.
- Match the width of first and second floor windows on the front elevation.
- Consider the addition of a dormer to break up roof massing.
- Study and refine the garage windows.
- Consider moving the house to a different lot.

Site Plan – This standard is met.

In response to Board comments, this home was moved from lot 28 to lot 30. Moving the home and flipping its orientation while placing it parallel to the King Estate responds directly to concerns raised at the last meeting. 270 Majestic Oak now completes a streetscape sweep which leaves the King Estate feeling less crowded and respected as a focal point upon entering the Majestic Oak Court area. The house also works well on the unique shape of Lot 30. The driveway and garage are located on the south side of the house limiting visibility from the streetscape.

Building Massing and Height – This standard is met

Based on the lot size, a residence of up to 5990 square feet is permitted on the site. In addition, a garage of up to 600 square feet is permitted along with up to 599 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The proposed residence totals 5772 square feet.
- A total of 600 square feet is allowed for a garage on a property of this size. The proposed garage totals 248 square feet. The garage overage of 148 square feet must be added to the total square footage of the residence for a total of 5920 square feet.
- In addition to the above square footage, a total of 458 square feet of design elements are incorporated into the design of the house.
- In total, the residence is 5920 square feet, 70 square feet, and less than one percent below the allowable square feet.

Elevations – This standard is met.

The front elevation was modified by enlarging the second story windows. The other elements of the façade remain the same.

The garage doors have been reconfigured to be single doors, and a skylight has been added over the stairs to provide natural light. The roof remains complex and still feels large on the side elevations.

Type, color, and texture of materials – This standard is met.

The materials are mostly the same as proposed in the previous meeting. Architectural asphalt shingles as the primary roofing material, the siding is stone and wood clapboard and vinyl clad windows are proposed. Brick pavers were added to the driveway.

Landscaping – This standard is met.

In response to comments, landscaping has been proposed next to the driveway, 8' arborvitae screening has been placed between the homes, and two large oak trees have been added per lot.

Recommendation for 270 Majestic Oak Court:

Approve the plans as presented subject to the standard conditions detailed below.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no correspondence was received in response to the notice provided for this meeting.

Recommendations – Applicable to all three residence.

1. Any modifications to the plans including those made in response to Board direction and discussion and any changes that result from final design development, shall be clearly called out on the plans submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to verify that the plans as presented are consistent with the Board's approval or if further Board review is required prior to the issuance of any permits.
2. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify any trees proposed for removal and trees identified for protection and preservation.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long-term survival of the trees intended for preservation, in particular, the Oak tree located near the southeast corner of the property.
- c. A detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. At a minimum, the plan must reflect foundation plantings around the entire structure and the number of trees required by the Code for new construction. In addition, the plan shall reflect planting of year round screening along the south property line to provide privacy but sited to avoid eclipsing views of the historic home from the

streetscape. The landscape plan shall specify the quantity, species, and size at the time of planting for all new landscaping. Consideration shall be given to the City's recommended planting list. The plan shall be subject to review and approval by the City's Certified Arborist.

Drainage and Grading

- d. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view from off of the site. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking and Staging

- f. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. Majestic Oak Court shall remain passable at all times. Any damage to the entrance structures, pavement, curbing, or plantings to the subdivision caused by construction traffic and repairs and final paving of Majestic Oak Court will be the responsibility of the developer. An appropriate financial guarantee shall be posted with the City prior to the start of construction recognizing the repairs will be pending completion of the remaining homes on Majestic Oak Court or a sooner time frame established by the City if construction does not proceed within a reasonable time frame.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 210 Majestic Oak Court Owner(s) North Shore Builders Inc.
 Proj. Manager Doug Wirth, Architect Reviewed by: L. Prado
 Date 3/29/2024
 Lot Area 33027 sq. ft. Allowed Square Footage 5581

Square Footage of Residence -- New

1st floor 3568 + 2nd floor 1847 + 3rd floor _____ = 5415 sq. ft.

Design Element Allowance = 558 sq. ft.

Total Actual Design Elements = 387 sq. ft. Excess = 0 sq. ft.

Garage 764 sf actual ; 600 sf allowance Excess = 164 sq. ft.

Garage Width NA ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 5579 sq. ft.
 (minus Design Elements, plus garage overage)

TOTAL SQUARE FOOTAGE = 5579 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 5581 sq. ft.

DIFFERENTIAL = 2 sq. ft. **NET RESULT:**
Under Maximum 2 sq. ft. is

Allowable Height: 35 ft. Actual Height 33 ft. Less t than 1% under
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 558 sq. ft.

Front & Side Porches = 0 sq. ft.
 Rear & Side Screen Porches = _____ sq. ft.
 Covered Entries = 141 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = 218 sq. ft.
 Individual Dormers = _____ sq. ft.
 Bay Windows = 28 sq. ft.

Total Actual Design Elements = 387 sq. ft. **Excess Design Elements** = 0 sq. ft.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 230 Majestic Oak Court Owner(s) North Shore Builders Inc.

Proj. Manager Doug Wirth, Architect Reviewed by: L. Prado

Date 3/29/2024

Lot Area 35811 sq. ft. Allowed Square Footage 5749

Square Footage of Residence -- New

1st floor 3708 + 2nd floor 1629 + 3rd floor 142 = 5479 sq. ft.

Design Element Allowance = 575 sq. ft.

Total Actual Design Elements = 679 sq. ft. Excess = 104 sq.ft.

Garage 762 sf actual ; 600 sf allowance Excess = 162 sq. ft.

Garage Width NA ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 5583 sq. ft.
(minus Design Elements, plus garage overage)

TOTAL SQUARE FOOTAGE = 5745 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 5749 sq. ft.

DIFFERENTIAL = 4 sq. ft. **NET RESULT:**
Under Maximum 4 sq. ft. is

Allowable Height: 35 ft. Actual Height 28 ft. Less t than 1% under
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 599 sq. ft.

Front & Side Porches = 0 sq. ft.
Rear & Side Screen Porches = 0 sq. ft.
Covered Entries = 30 sq. ft.
Portico = 0 sq. ft.
Porte-Cochere = 0 sq. ft.
Breezeway = 0 sq. ft.
Pergolas = 408 sq. ft.
Individual Dormers = 0 sq. ft.
Bay Windows = 20 sq. ft.

Total Actual Design Elements = 458 sq. ft. **Excess Design Elements** = 0 sq. ft.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 270 Majestic Oak Court Owner(s) North Shore Builders Inc.
 Proj. Manager Doug Wirth, Architect Reviewed by: L. Prado
 Date 3/29/2024
 Lot Area 39843 sq. ft. Allowed Square Footage 5990

Square Footage of Residence -- New

1st floor 3350 + 2nd floor 2422 + 3rd floor 0 = 5772 sq. ft.

Design Element Allowance = 599 sq. ft.

Total Actual Design Elements = 458 sq. ft. Excess = 0 sq. ft.

Garage 748 sf actual ; 600 sf allowance Excess = 148 sq. ft.

Garage Width NA ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 5920 sq. ft.
 (minus Design Elements, plus garage overage)

TOTAL SQUARE FOOTAGE = 5920 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 5990 sq. ft.

DIFFERENTIAL = 70 sq. ft. **NET RESULT:**
Under Maximum 70 sq. ft. is

Allowable Height: 35 ft. Actual Height 34 ft. Less t than 1% under
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 575 sq. ft.

Front & Side Porches = 0 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 265 sq. ft.

Portico = 210 sq. ft.

Porte-Cochere = 0 sq. ft.

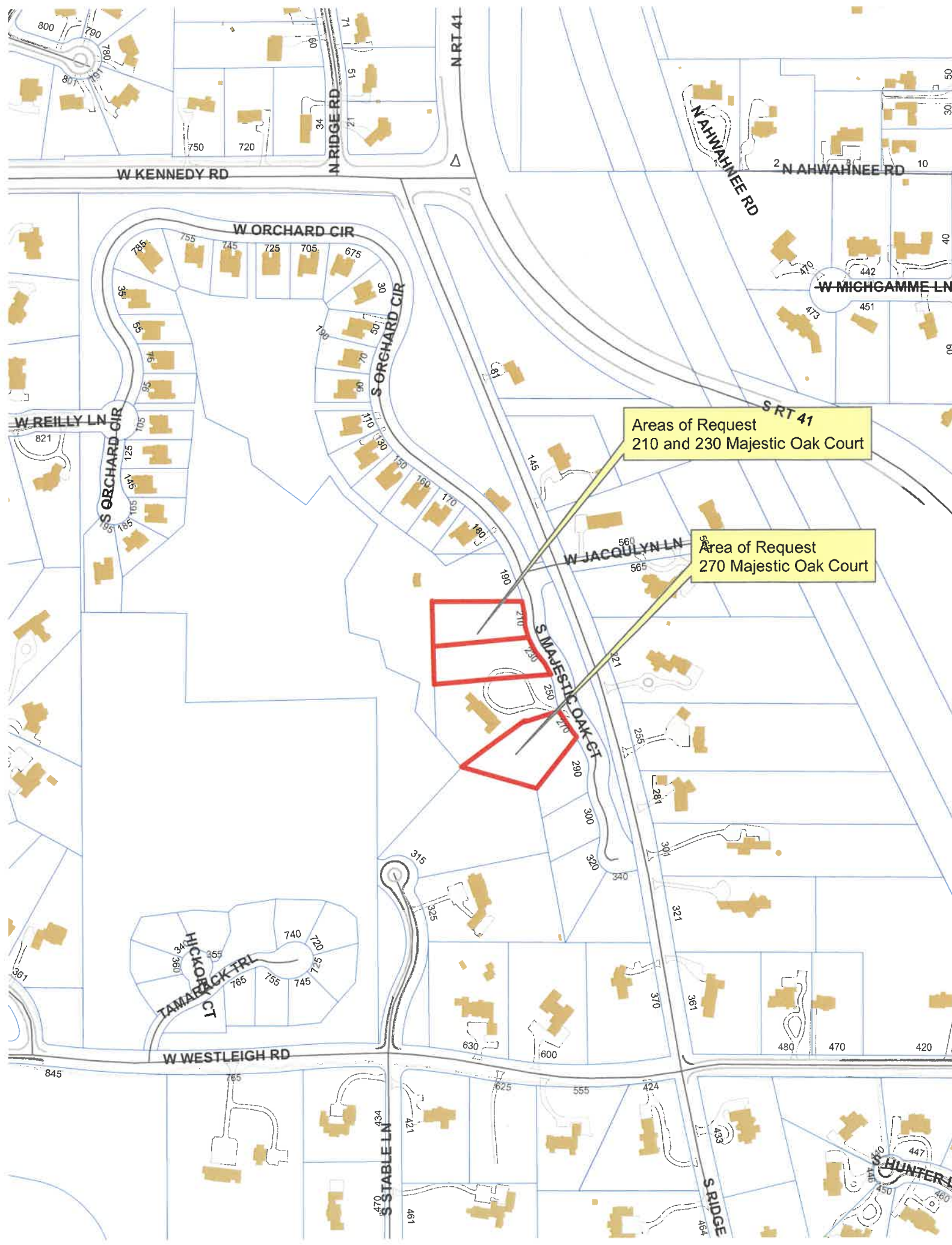
Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

Individual Dormers = 176 sq. ft.

Bay Windows = 28 sq. ft.

Total Actual Design Elements = 679 sq. ft. **Excess Design Elements** = 0 sq. ft.



Areas of Request
210 and 230 Majestic Oak Court

Area of Request
270 Majestic Oak Court



Areas of Request
210 and 230 Majestic Oak Court

Area of Request
270 Majestic Oak Court



Areas of Request
210 and 230 Majestic Oak Court

Area of Request
270 Majestic Oak Court



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 210 Maestic Oaks Ct (Lot 27) 230 Maestic Oaks Ct (Lot 28)
270 Maestic Oaks Ct (Lot 30)

APPLICATION TYPE

RESIDENTIAL PROJECTS

- ☒ New Residence
☐ New Accessory Building
☐ Addition/Alteration
☐ Building Scale Variance

- ☐ Demolition Complete
☐ Demolition Partial
☐ Height Variance
☐ Other

COMMERCIAL PROJECTS

- ☐ New Building
☐ Addition/Alteration
☐ Height Variance
☐ Other

- ☐ Landscape/Parking
☐ Lighting
☐ Signage or Awnings

PROPERTY OWNER INFORMATION

North Shore Builders, Inc

Owner of Property

2700 Patriot Blvd #430

Owner's Street Address (may be different from project address)

Glenview, IL 60026

City, State and Zip Code

630-217-0422

Phone Number

Fax Number

bryan@wmryan.com

Email Address

ARCHITECT/BUILDER INFORMATION

Doug Wirth - Architect

Name and Title of Person Presenting Project

BSB Design

Name of Firm

220 N Smith St

Street Address

Palatine, IL 60074

City, State and Zip Code

847-776-3273

Phone Number

Fax Number

dwirth@bsbdesign.com

Email Address

Doug Wirth

Representative's Signature (Architect/Builder)

Doug Wirth

W. Ryan CEO
Owner's Signature

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report.

☒ OWNER ☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER ☐ REPRESENTATIVE



Statement of Intent (UPDATES): Lots 27, 28, 30 Westleigh Farm

April 3, 2024

Building Review Board of Lake Forest:

As supplemental information to the March 24, 2024 Statement of Intent, based on direct input from the Board and subsequently Staff, please accept the following:

Set-backs and Streetscape

- In consideration of concern expressed by the Board regarding the site lines to/from the King Mansion on lot 29, we have:
 - Narrowed the homes on lot 27 and 28 (28 being a plan previously reviewed by Staff but new to the Board), which addresses the Board's concern on ample room for the driveway turnaround at garage including landscaping area
 - Moved the homes back from the street to create a more open view/concept with regard to lot 29 and all the homes. Lot 28 has been moved over and back, as recommended by the board, to a point outside of a direct line of sight from where the garage starts on the lot 29 home.
 - Moved the home previously submitted on lot 28 to lot 30, and situated this home parallel to the home on lot 29. This creates a more symmetrical setting of all 4 homes, and thus also allows for completion of construction of the homes, landscaping, etc in a similar timeframe.
 - "Flipped" the home for lot 30 and changed the garage entry on the home to the side exterior (-v- interior courtyard) so the garage doors are not visible to the arrival view of the (4) homes

Home Plans

Lot 27

- Changed the Architectural styling of the home from a craftsman influence to farm/equestrian – with direct influencing from the Stable (clapboard siding, glass styling, window box extensions and headpiece trim, cross trim design) and from the Guest house (hip roof, brick foundation and chimney). Incorporated more windows and bump outs on side elevations. Changed to (3) single garage doors with square windows

Lot 28

- New plan addition based on the ranch/farm Architectural styling – with direct influencing from the Stable (gable roof, clapboard siding, glass styling, extended open rafter gable trim on dormers). Included side architecture bump-outs and windows and (3) single garage doors with square windows

Lot 30

- Lined-up second floor windows with width of 1st floor on front elevation, added skylite over second floor stairs. Incorporated more windows and bump outs on side elevations. Changed to (3) single garage doors with square windows



Landscaping

- Added landscaping next to driveways all homes
- Added 8' arborvitae screening between homes as noted
- Added (2) large Oak trees per lot

Material Specifications

- Cleaned-up per Board comments – new versions included

Sincerely,

A handwritten signature in blue ink, appearing to read "William J. Ryan", is written over the printed name.

William J. Ryan

North Shore Builders

SETBACK EXHIBIT LOTS 27-34
WESTLEIGH FARM
LAKE FOREST, ILLINOIS



DETAIL NOTES:
1. ADDITIONAL EASEMENTS AS SHOWN ON INDIVIDUAL LOTS ARE HEREBY GRANTED IN ADDITION TO THE ABOVE TYPICAL PUE FOR LOTS 1-34.
2. THE ABOVE TYPICAL SETBACKS ARE HEREBY ESTABLISH FOR LOTS 1-34 UNLESS SHOWN OTHERWISE.
3. SIDE YARD SETBACKS ARE A MINIMUM OF 10' WITH A TOTAL OF 30'.

STABLE



GUEST HOUSE/LODGE



KING MANSION





THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
Lot 27 Western Farm - Majestic
Oak Drive

Façade Material

- ☐ Stone
☒ Brick
☒ Wood Clapboard Siding
☐ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material _____

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☐ Aluminum Clad
☒ Vinyl Clad
☐ Other _____

Color of Finish Forest Green

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
☐ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☒ Composition Shingles _____
☐ Sheet Metal _____
☐ Other _____

Flashing Material

- ☐ Copper
☒ Sheet Metal _____
☐ Other _____

Color of Material _____

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☒ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

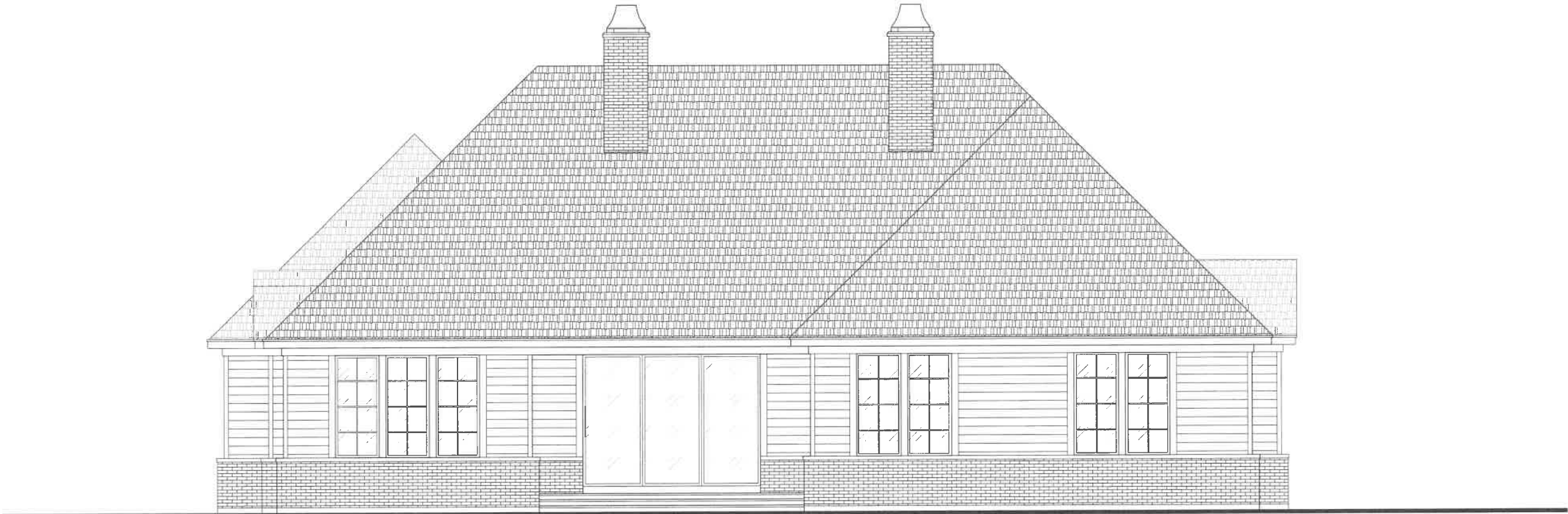
- ☒ Bluestone
☐ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☐ Other _____

FRONT/REAR ELEVATION



Lot 27 - Front Elevation

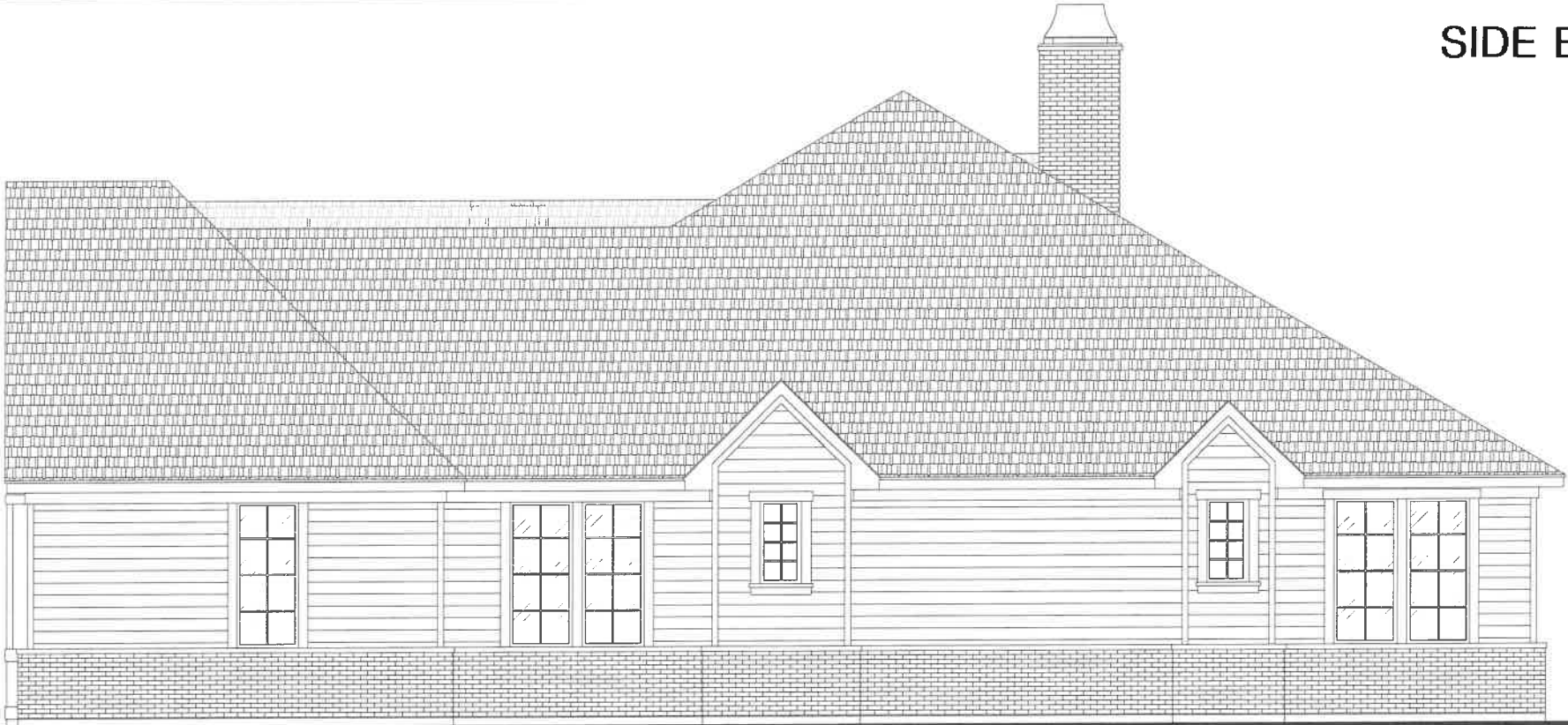
SCALE: 1/8"=1'-0"



Lot 27 - Rear Elevation

SCALE: 1/8"=1'-0"

SIDE ELEVATIONS



Lot 27 - Right Side Elevation

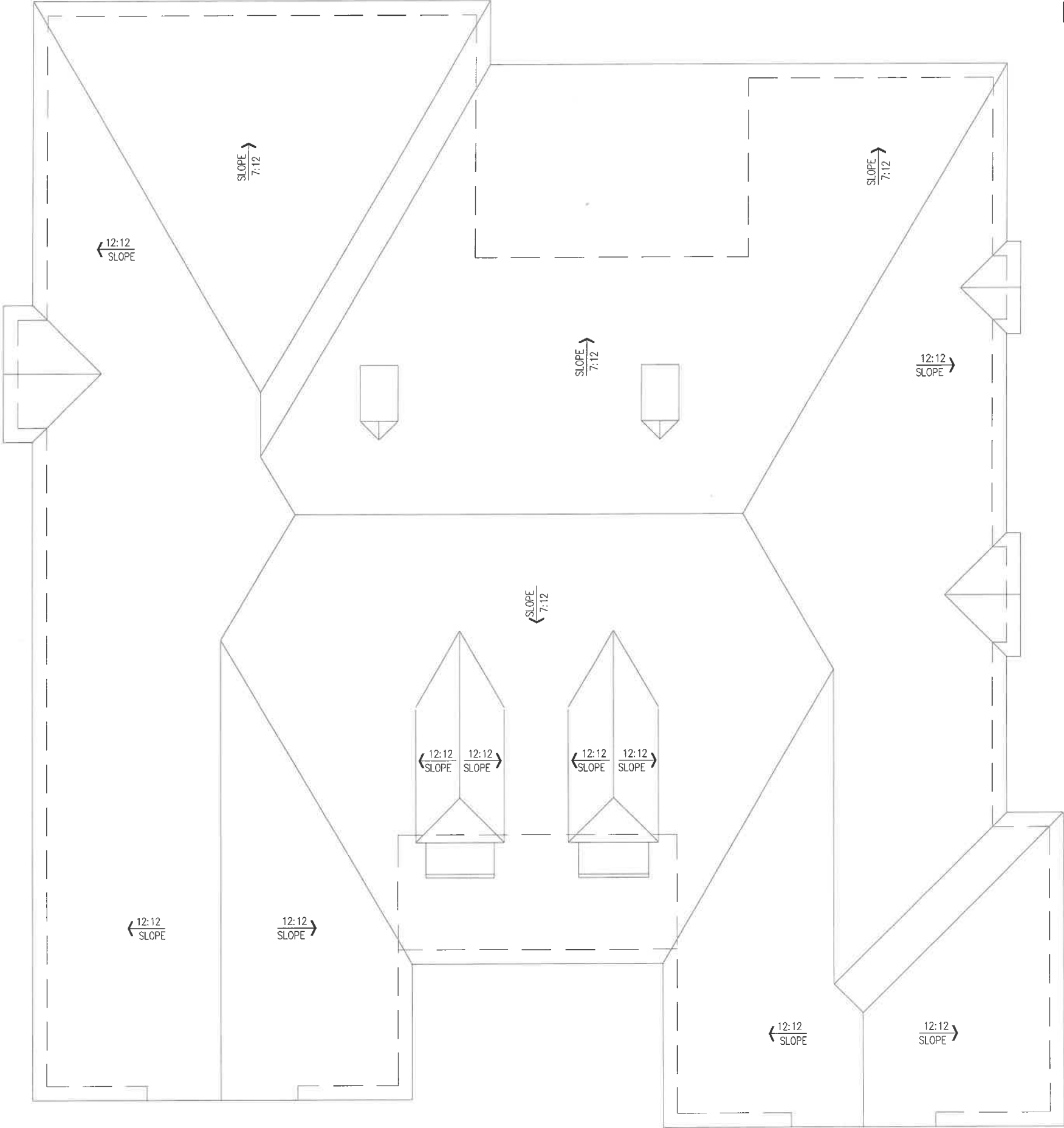
SCALE: 1/8"=1'-0"



Lot 27 - Left Side Elevation

SCALE: 1/8"=1'-0"

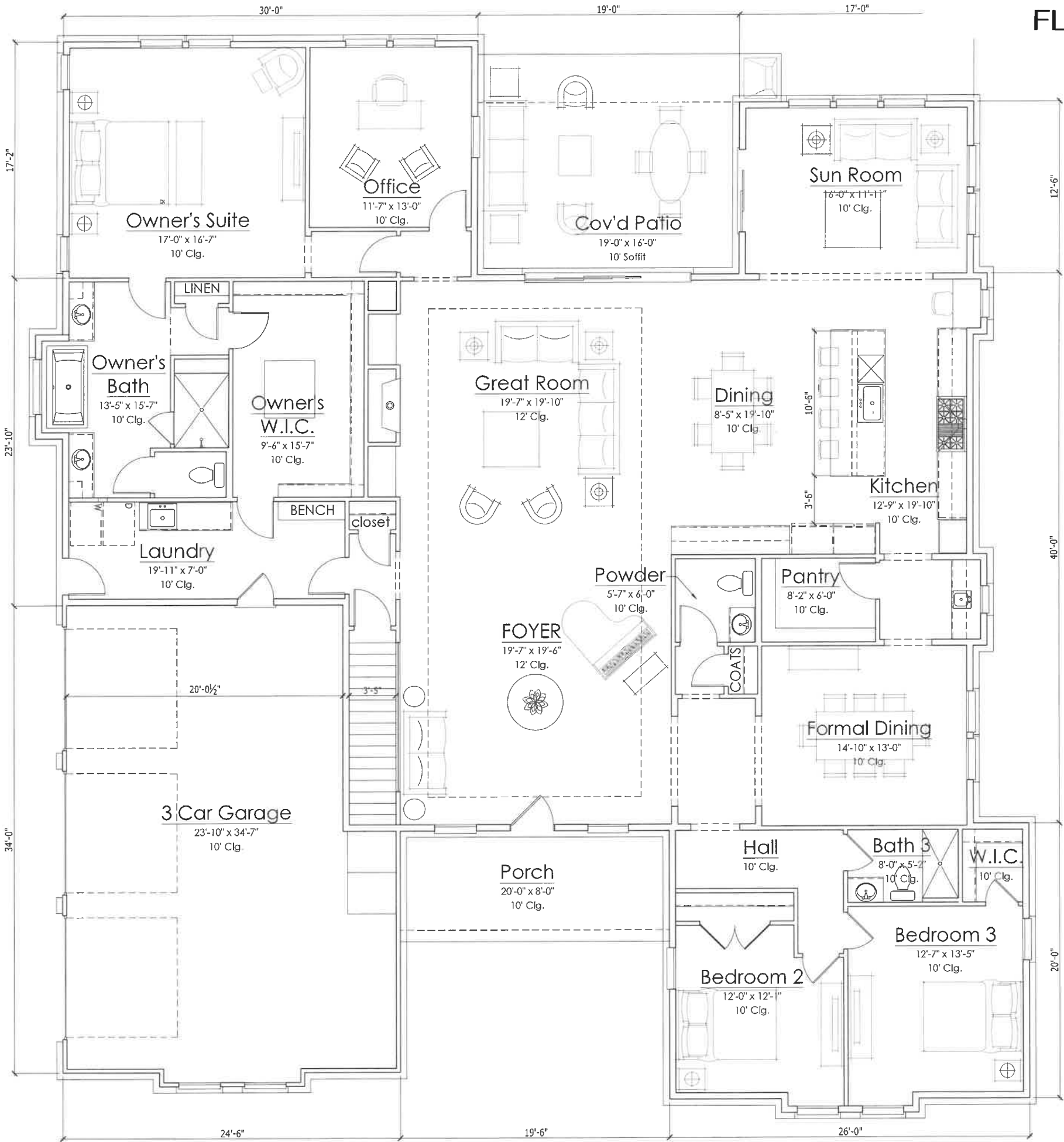
ROOF PLAN



Roof Plan

SCALE: 1/8"=1'-0"

FLOOR PLANS



3,548 SF
Main Floor Plan

SCALE: 1/8"=1'-0"

LANDSCAPING PLAN

PLANT LIST

SHADE TREES

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
APm	<i>Acer x freemanii</i> 'Marmo'	Marmo Maple	3.0" BB
CS	<i>Catalpa bignonioides</i>	American Catalpa	3.0" BB
CO	<i>Celtis occidentalis</i>	Common Hackberry	3.0" BB
OR	<i>Quercus rubra</i>	Northern Red Oak	3.0" BB
TA	<i>Tilia americana</i> 'Redmond'	Redmond Linden	3.0" BB
UMg	<i>Ulmus</i> 'Morton's Glossy'	Triumph Elm	3.0" BB

PLANT LIST

INTERMEDIATE AND EVERGREEN TREES

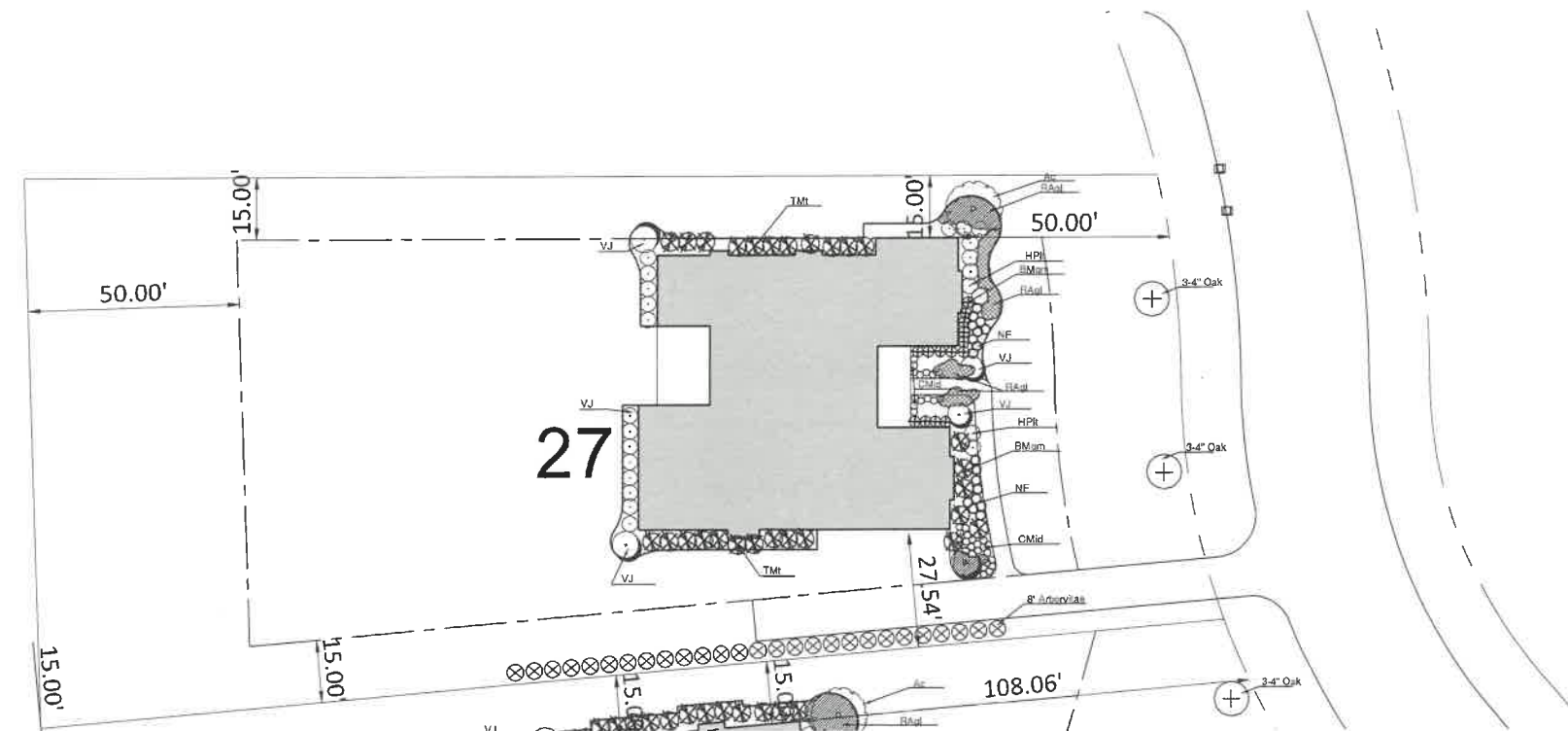
KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
AC	<i>Amelanchier canadensis</i>	Serviceberry	8' CL. BB

SHRUBS

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
BMgm	<i>Buxus microphylla</i> 'Green Mountain'	Green Mountain Boxwood	5 Gal. Cont.
VJ	<i>Viburnum</i> 'Juddi'	Judd Viburnum	5 Gal. Cont.
HAI	<i>Hydrangea arborescens</i> 'Invincibelle'	Invincibelle Hydrangea	3 Gal. Cont.
HPlt	<i>Hydrangea paniculata</i> 'Limelight'	Limelight Hydrangea	5 Gal. Cont.
Hll	<i>Hydrangea</i> 'Little Lamb'	Little Lamb Hydrangea	3 Gal. Cont.
HV	<i>Hamamelis virginiana</i>	Oakleaf Hydrangea	5 Gal. Cont.
JCSg	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	7 Gal. Cont.
POS	<i>Physocarpus opulifolius</i> 'Seward'	Seward Nine Bark	5 Gal. Cont.
Rgl	<i>Rhus aromatica</i> 'Grow-Low' (36" On Center)	Grow-Low Sumac	3 Gal. Cont.
Tmt	<i>Taxus medii</i> 'Tauntoni'	Taunton's Yew	24" BB

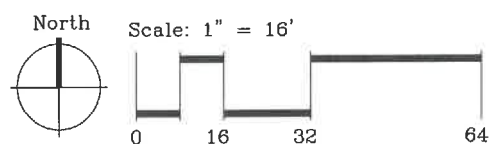
PERENNIALS AND GROUNDCOVER

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
CP	<i>Carex pennsylvanica</i>	Pennsylvania Sedge	1 1/2" T Cont 12" On Center
CMid	<i>Carex morrowi</i> 'Ice Dance'	Ice Dance Sedge	1 1/2" T Cont 18" On Center
Hsd	<i>Heimerocallis</i> 'Stella D'Oro'	Stella D'Oro Daylily	1 Gal. 24" On Center
LS	<i>Liriope spicata</i>	Lily Turf	1 Qt. 12" On Center
NF	<i>Nepeta fasseni</i> 'Walker's Low'	Walker's Low Catmint	1 Gal. 24" On Center
SHt	<i>Sporobolus heterolepis</i> 'Tara'	Tara Prairie Dropseed	1 Gal. 24" On Center
VM	<i>Vinca minor</i>	Periwinkle	1 Qt. 12" On Center



LOT 27 - LANDSCAPE

SCALE: N.T.S.



Landscape Plan
Lots 27 - Westleigh Farm
Lake Forest, Illinois



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

DESCRIPTION OF EXTERIOR MATERIALS

Lot 28 Westlugh Farm - Majestic
OAK Court

Facade Material

- ☒ Stone
☐ Brick
☒ Wood Clapboard Siding
☐ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material _____

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☐ Aluminum Clad
☒ Vinyl Clad
☐ Other _____

Color of Finish Sandstone

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☒ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☒ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☐ Copper
- ☒ Sheet Metal _____
- ☐ Other _____

Color of Material _____

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☒ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☒ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____

FRONT/REAR ELEVATIONS



Lot 28 - Front Elevation

SCALE: 1/8"=1'-0"



Lot 28 - Rear Elevation

SCALE: 1/8"=1'-0"

SIDE ELEVATIONS



Lot 28 - Left Side Elevation

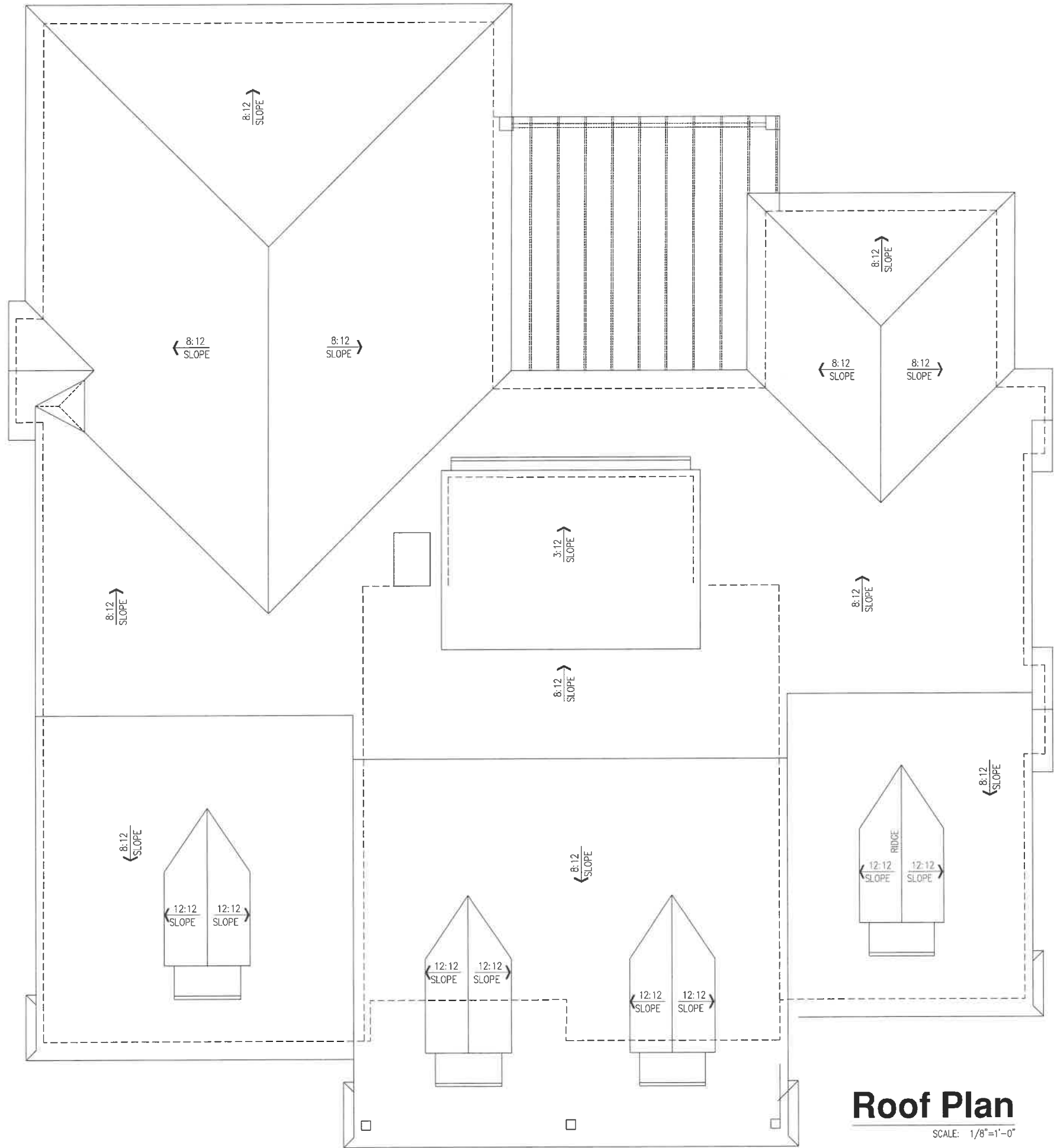
SCALE: 1/8"=1'-0"



Lot 28 - Right Side Elevation

SCALE: 1/8"=1'-0"

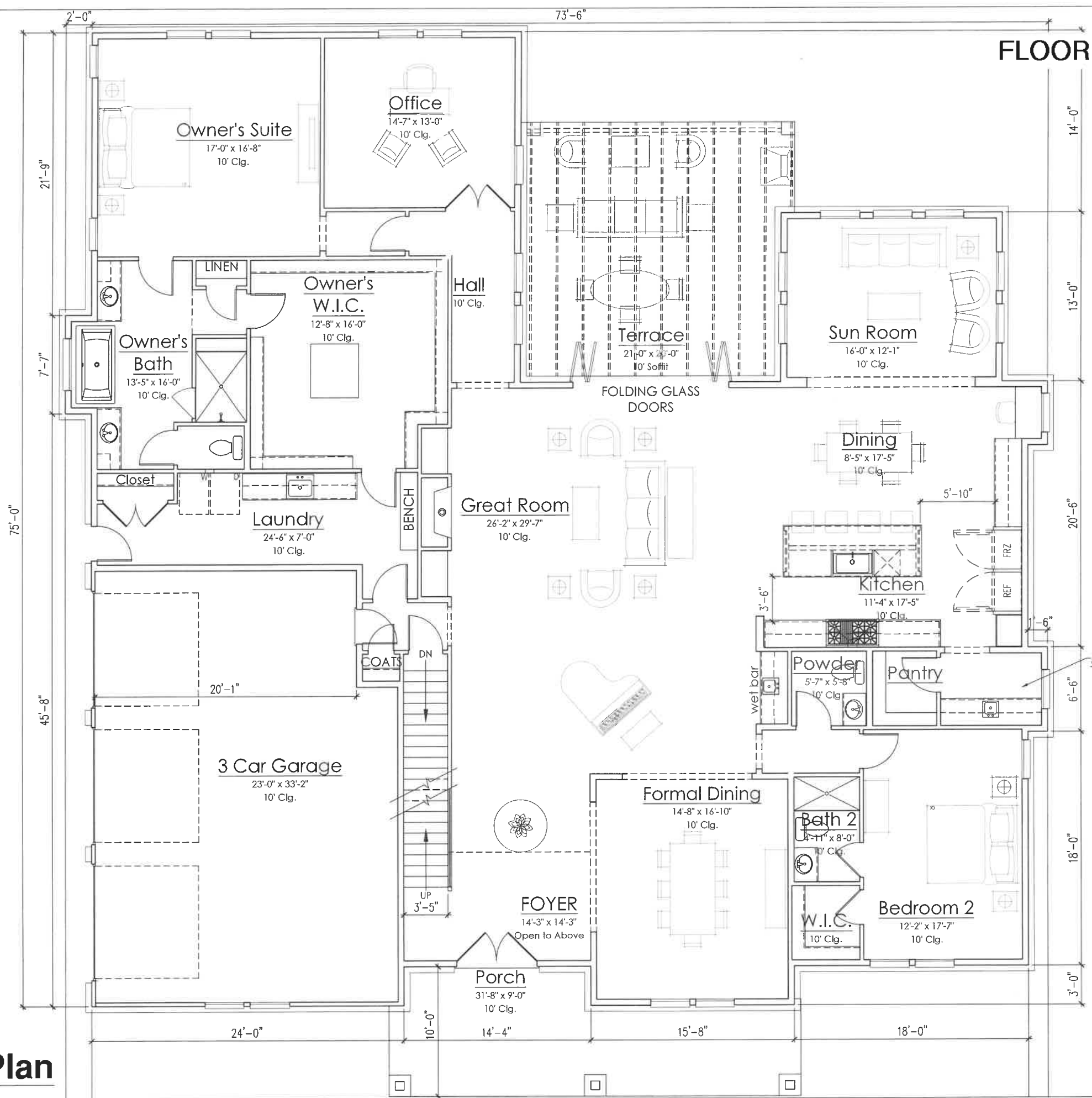
ROOF PLAN



Roof Plan

SCALE: 1/8"=1'-0"

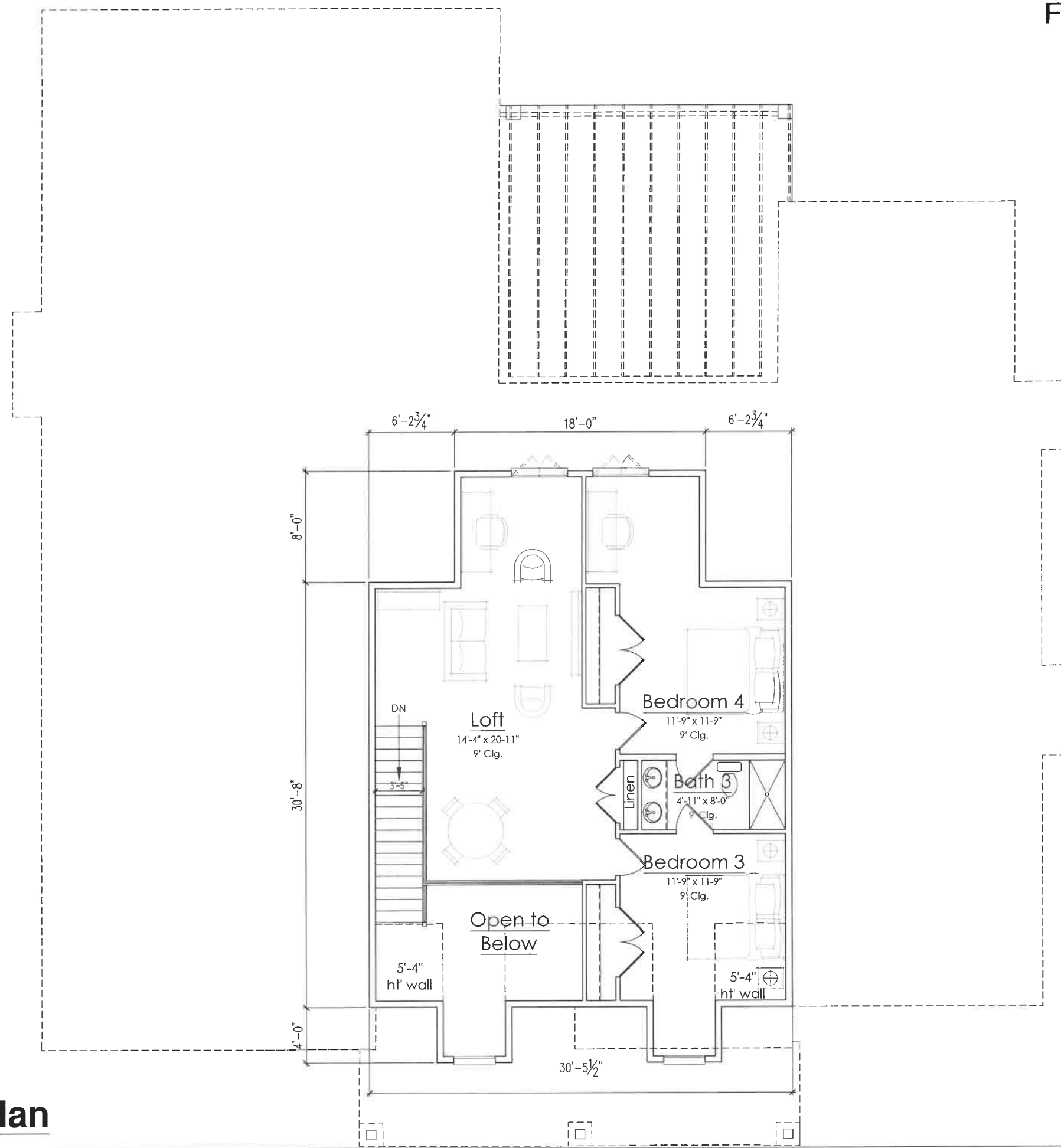
FLOOR PLANS



3,741 SF
Main Floor Plan

SCALE: 1/8"=1'-0"

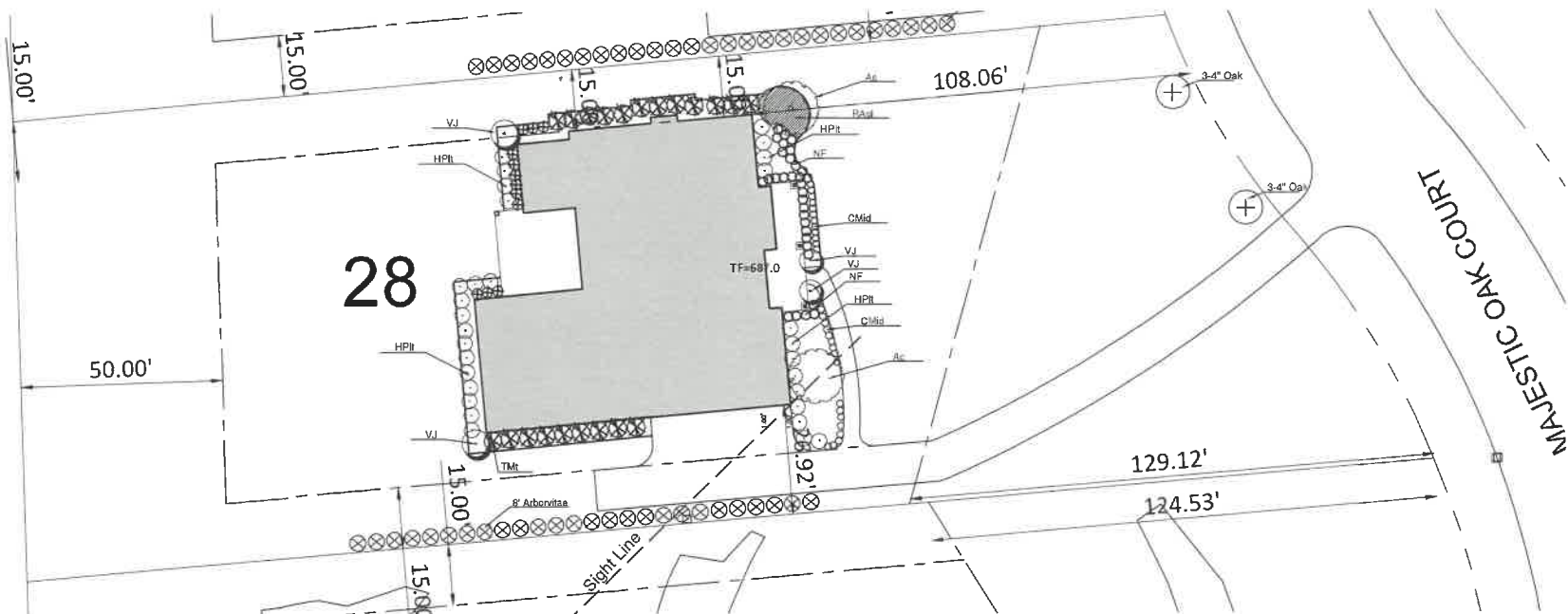
FLOOR PLANS



869 SF
Second Floor Plan

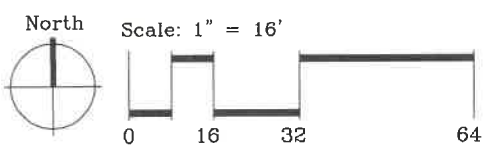
SCALE: 1/8"=1'-0"

LANDSCAPING PLAN



LOT 28 - LANDSCAPE

SCALE: N.T.S.



PLANT LIST

SHADE TREES			
KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
AFm	Acer x freemanii 'Marmo'	Marmo Maple	3.0" BB
CS	Catalpa speciosa	American Catalpa	3.0" BB
CO	Celtis occidentalis	Common Hackberry	3.0" BB
QR	Quercus rubra	Northern Red Oak	3.0" BB
TA	Tilia americana 'Redmond'	Redmond Linden	3.0" BB
Um	Ulmus 'Morton's Glossy'	Triumph Elm	3.0" BB

PLANT LIST

INTERMEDIATE AND EVERGREEN TREES

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
AC	Amelanchier canadensis	Serviceberry	8' CL. BB

SHRUBS

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
BM	Buxus microphylla 'Green Mountain'	Green Mountain Boxwood	5 Gal. Cont.
VJ	Viburnum judii	Judd Viburnum	5 Gal. Cont.
HAI	Hydrangea arborescens 'Invincibelle'	Invincibelle Hydrangea	3 Gal. Cont.
HPl	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	5 Gal. Cont.
HL	Hydrangea 'Little Lamb'	Little Lamb Hydrangea	3 Gal. Cont.
HV	Hamamelis virginiana	Oakleaf Hydrangea	5 Gal. Cont.
JCS	Juniperus chinensis 'Sea Green'	Sea Green Juniper	7 Gal. Cont.
POs	Physocarpus opulifolius 'Seward'	Seward Nine Bark	5 Gal. Cont.
Rgl	Rhus aromatica 'Grow-Low' (36" On Center)	Grow-Low Sumac	3 Gal. Cont.
TMT	Taxus medii 'Tauntoni'	Taunton's Yew	24" BB

PERENNIALS AND GROUND COVER

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
CP	Carex pennsylvanica	Pennsylvania Sedge	1 Qt. 12" On Center
CMid	Carex morrowi 'Ice Dance'	Ice Dance Sedge	1 Qt. 18" On Center
Hsd	Heemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	1 Gal. 24" On Center
LS	Lirone spicata	Lilly Turf	1 Qt. 12" On Center
NF	Nejeta fasseni 'Walker's Low'	Walker's Low Catmint	1 Gal. 24" On Center
SHt	Sporabolis heterolepsis 'Tara'	Tara Prairie Dropseed	1 Gal. 24" On Center
VM	Vinca minor	Periwinkle	1 Qt. 12" On Center

Landscape Plan
Lots 28 - Westleigh Farm
Lake Forest, Illinois



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

DESCRIPTION OF EXTERIOR MATERIALS

Lot 30 Westlugh Farm - Majestic
Oak Court

Facade Material

- ☒ Stone
☐ Brick
☐ Wood Clapboard Siding
☒ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material _____

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☐ Aluminum Clad
☒ Vinyl Clad
☐ Other _____

Color of Finish DARK BRONZE

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
☒ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☒ Composition Shingles _____
☐ Sheet Metal _____
☐ Other _____

Flashing Material

- ☐ Copper
☒ Sheet Metal _____
☐ Other _____

Color of Material _____

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☒ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☒ Bluestone
☐ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☐ Other _____



Lot 30 - Front Elevation

SCALE: 1/8"=1'-0"



Lot 30 - Rear Elevation

SCALE: 1/8"=1'-0"



Lot 30 - Right Side Elevation

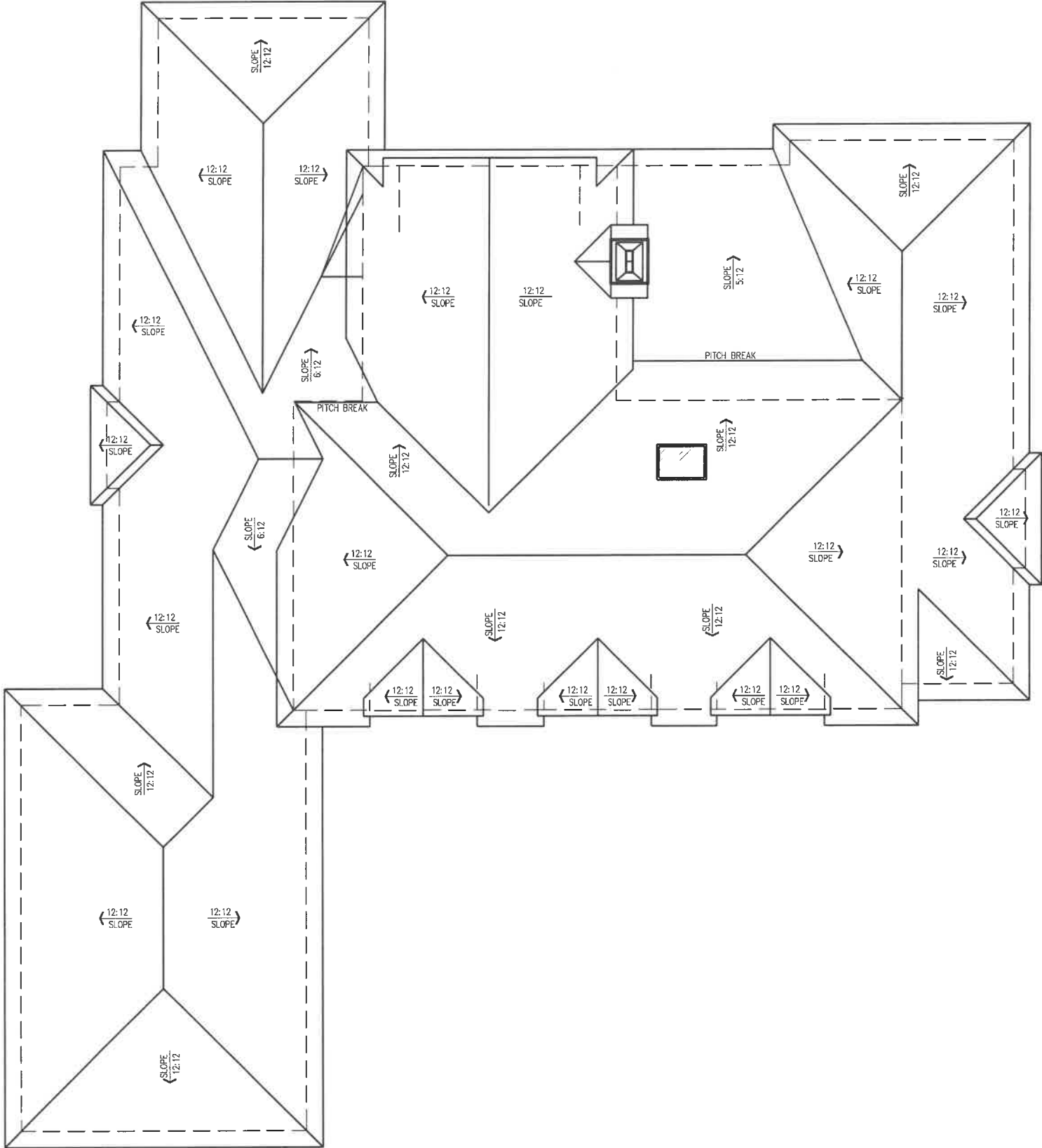
SCALE: 1/8"=1'-0"



Lot 30 - Left Side Elevation

SCALE: 1/8"=1'-0"

ROOF PLAN



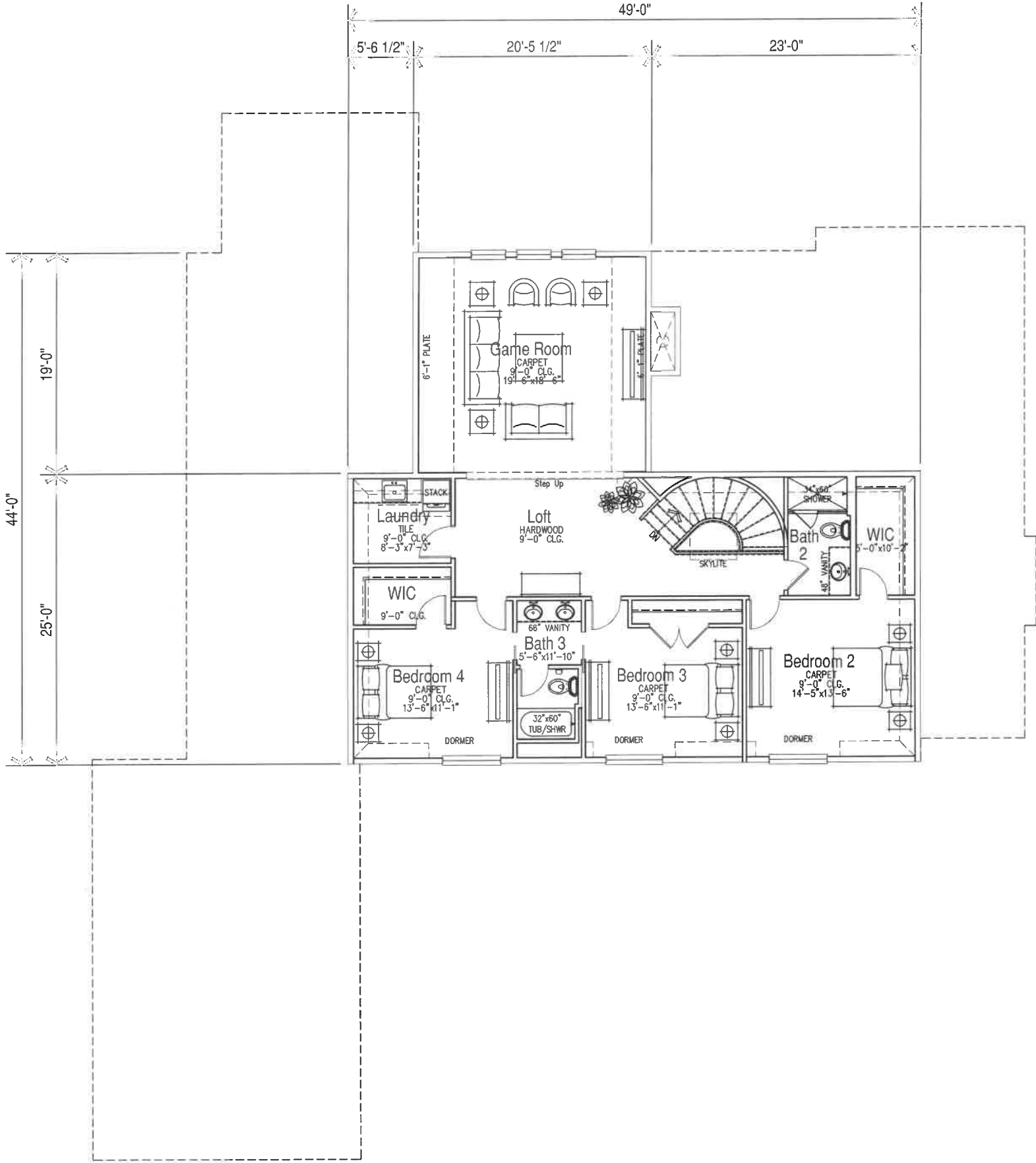
Roof Plan

SCALE: 3/16"=1'-0"

FLOOR PLANS



FLOOR PLANS



1,585 SF
Upper Floor Plan
SCALE: 3/16"=1'-0"

LANDSCAPING PLAN

PLANT LIST
SHADE TREES

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
AFm	Acer x freemanii 'Marmo'	Marmo Maple	3.0" BB
CS	Carolina spiciosa	American Catalpa	3.0" BB
CO	Celtis occidentalis	Common Hackberry	3.0" BB
QR	Quercus rubra	Northern Red Oak	3.0" BB
TA	Tilia americana 'Redmond'	Redmond Linden	3.0" BB
Um	Ulmus 'Morton's Glossy'	Triumph Elm	3.0" BB

PLANT LIST
INTERMEDIATE AND EVERGREEN TREES

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
AC	Amelanchier canadensis	Serviceberry	8' CL. BB

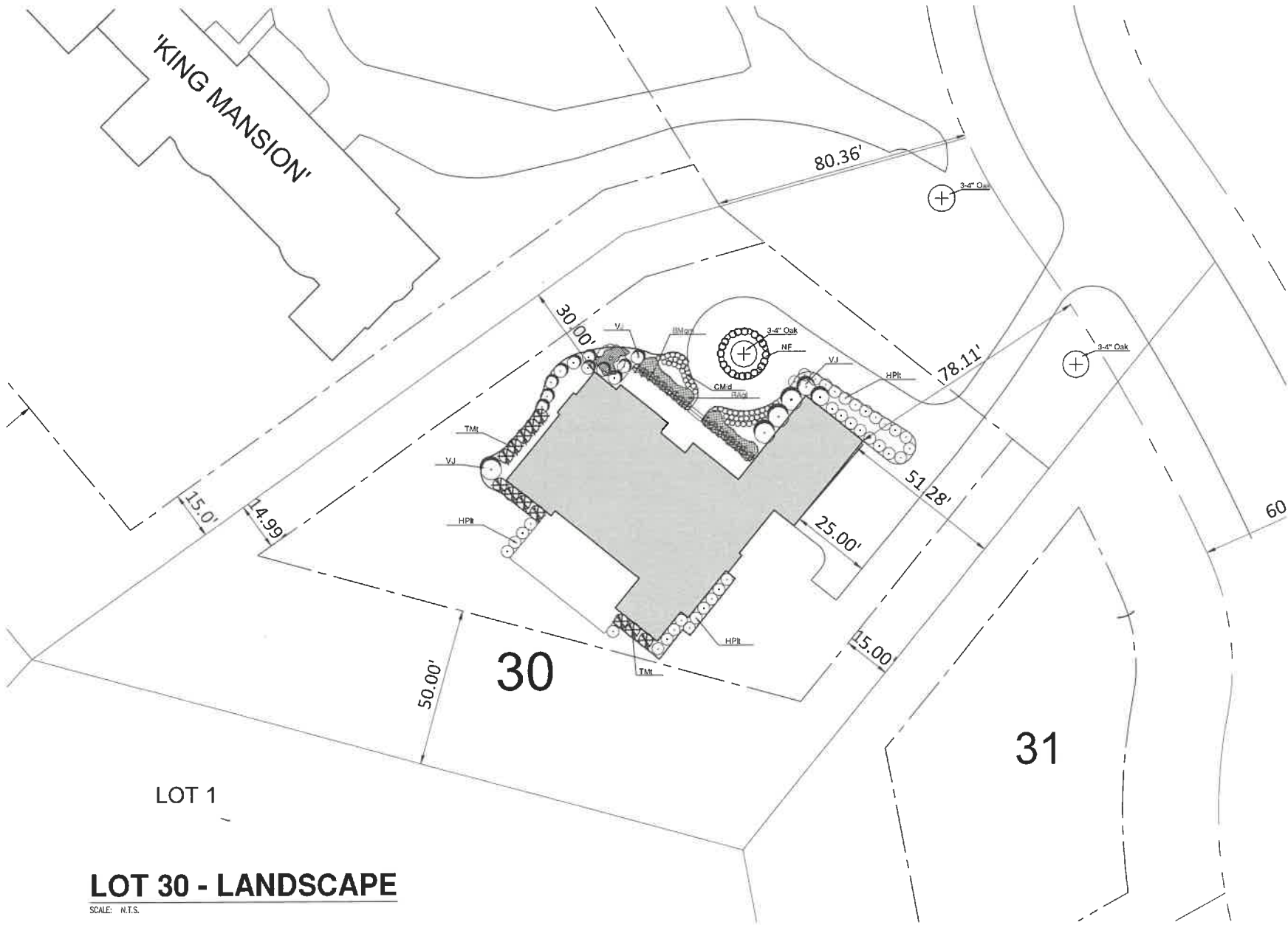
SHRUBS

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
BMgm	Buxus microphylla 'Green Mountain'	Green Mountain Boxwood	5 Gal. Cont.
VJ	Viburnum 'Juddii'	Judd Viburnum	5 Gal. Cont.
HAi	Hydrangea arborescens 'Invincibelle'	Invincibelle Hydrangea	3 Gal. Cont.
HPlt	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	5 Gal. Cont.
HLi	Hydrangea 'Little Lamb'	Little Lamb Hydrangea	3 Gal. Cont.
HV	Hamelalis virginiana	Oakleaf Hydrangea	5 Gal. Cont.
JCSg	Juniperus chinensis 'Sea Green'	Sea Green Juniper	7 Gal. Cont.
POs	Physocarpus opulfolius 'Seward'	Seward Nine Bark	5 Gal. Cont.
Rgl	Rhus aromatica 'Grow-Low' (36" On Center)	Grow-Low Sumac	3 Gal. Cont.
TMt	Taxus medii 'Tauntoni'	Taunton's Yew	24" BB

PERENNIALS AND GROUNDCOVER

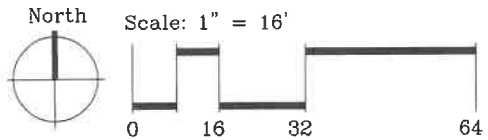
KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
CP	Carex pennsylvanica	Pennsylvania Sedge	1 Qt. Cont. 12" On Center
CMid	Carex morrowi 'Ice Dance'	Ice Dance Sedge	1 Qt. Cont. 18" On Center
Hsd	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	1 Gal. 24" On Center
LS	Liriope spicata	Lily Turf	1 Qt. 12" On Center
NF	Nepeta fasseni 'Walker's Low'	Walker's Low Catmint	1 Gal. 24" On Center
SHt	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	1 Gal. 24" On Center
VM	Vinca minor	Periwinkle	1 Qt. 12" On Center

Landscape Plan
Lots 30 - Westleigh Farm
Lake Forest, Illinois



LOT 30 - LANDSCAPE

SCALE: N.T.S.



**The City of Lake Forest
Building Review Board Agenda**

Regular Meeting

***Wednesday, April 3, 2024
Municipal Services Facility – Lower Level***

6:30 P.M.

*Scott Renken
Justin Stamer*

*John Looby III, Chairman
Joanne Bluhm
Sarah Lamphere*

*Sally Downey
Eric Lohmueller*

1. Introduction of Board members and City staff, overview of meeting procedures – Chairman Looby.
2. Consideration of the minutes of the March 6, 2024 Building Review Board meeting.
3. Consideration of a new commercial building for a Starbucks on the **southeast corner of Waukegan and Everett Roads**. A landscape plan will also be presented for consideration.
Property Owner: 1015 LLC and 1045 LLC (Iosue Family).
Representatives: Jack Frigo, Real Estate Advisor
Scott Shust, Architect
4. Consideration of new residences proposed on vacant lots in the Westleigh Farm Subdivision at **210, 230, and 270 Majestic Oak Court**. Preliminary landscape plans will also be considered.
Property Owner: North Shore Builders, Inc.
(William J. Ryan 94%, John Rushin 3%, James A. Esperson 3%)
Representative: Doug Wirth, Architect

Other Items

5. Opportunity for the public to address the Building Review Board on non-agenda items.
6. Additional information from staff.

Mandatory Adjournment time is 11:00 p.m.

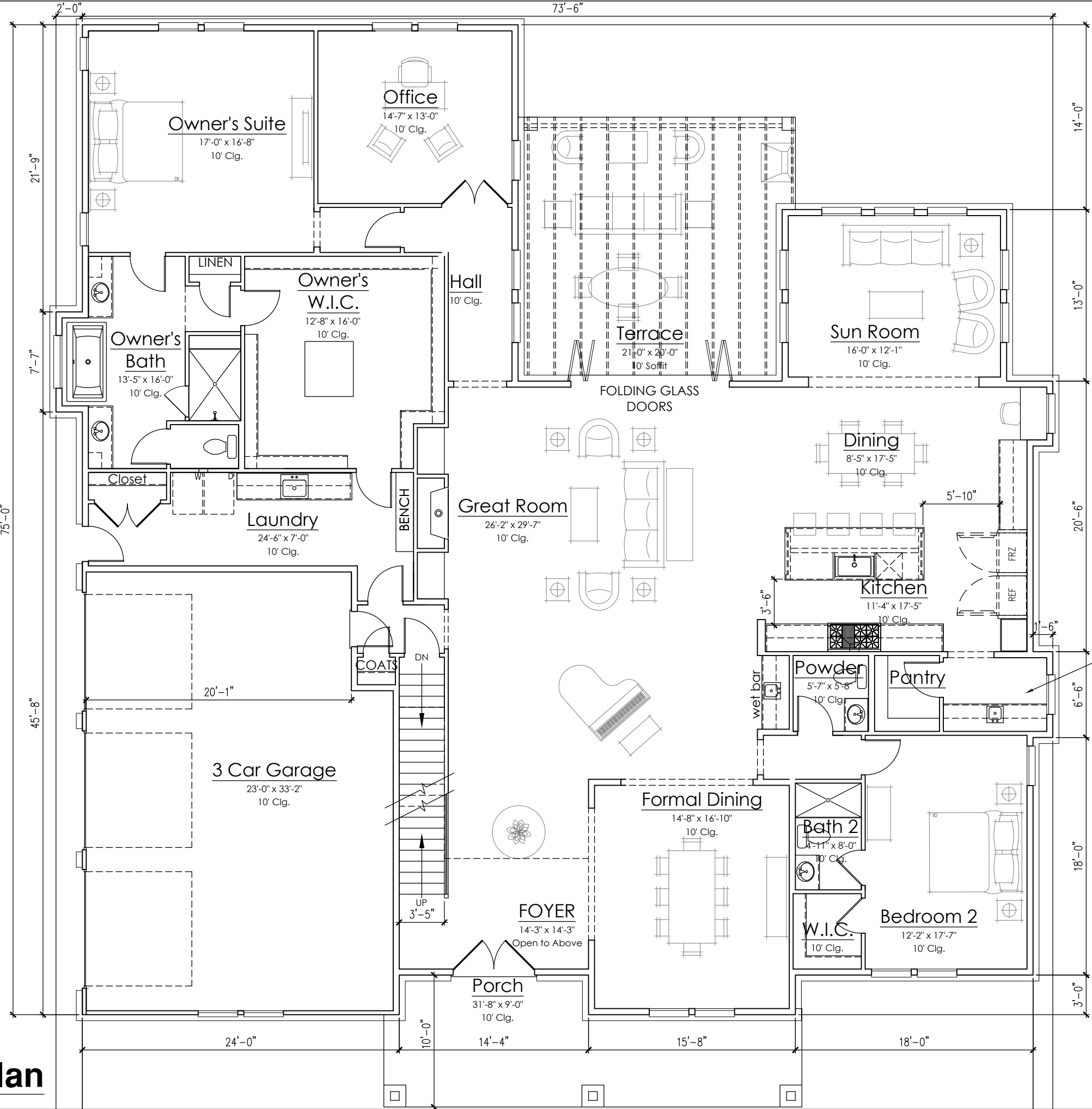
MEETING PROCEDURES

Building Review Board meetings follow the procedures outlined below. In the spirit of fairness to all parties, any of these procedures may be modified for a particular item at the discretion of the Chairman.

1. Introduction of the Item by the Chairman
2. Declaration of Conflicts of Interest and Ex Parte Contacts by members of the Board.
3. Presentation by the Petitioner – 10 minutes.
4. Identification of Issues by Staff - 5 minutes.
5. Questions or requests for clarification from Board to Petitioner or Staff.
6. Public Testimony - 5 minutes per speaker.
7. Staff response to public testimony- 5 minutes.
8. Petitioner Rebuttal - 10 minutes.
9. final Questions from Board to Petitioner or Staff
10. Board Discussion and Comment
11. Board Action

*Mandatory Adjournment time
11:00 p.m.*

Individuals with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, may contact the Community Development Department at 847-810-3511.

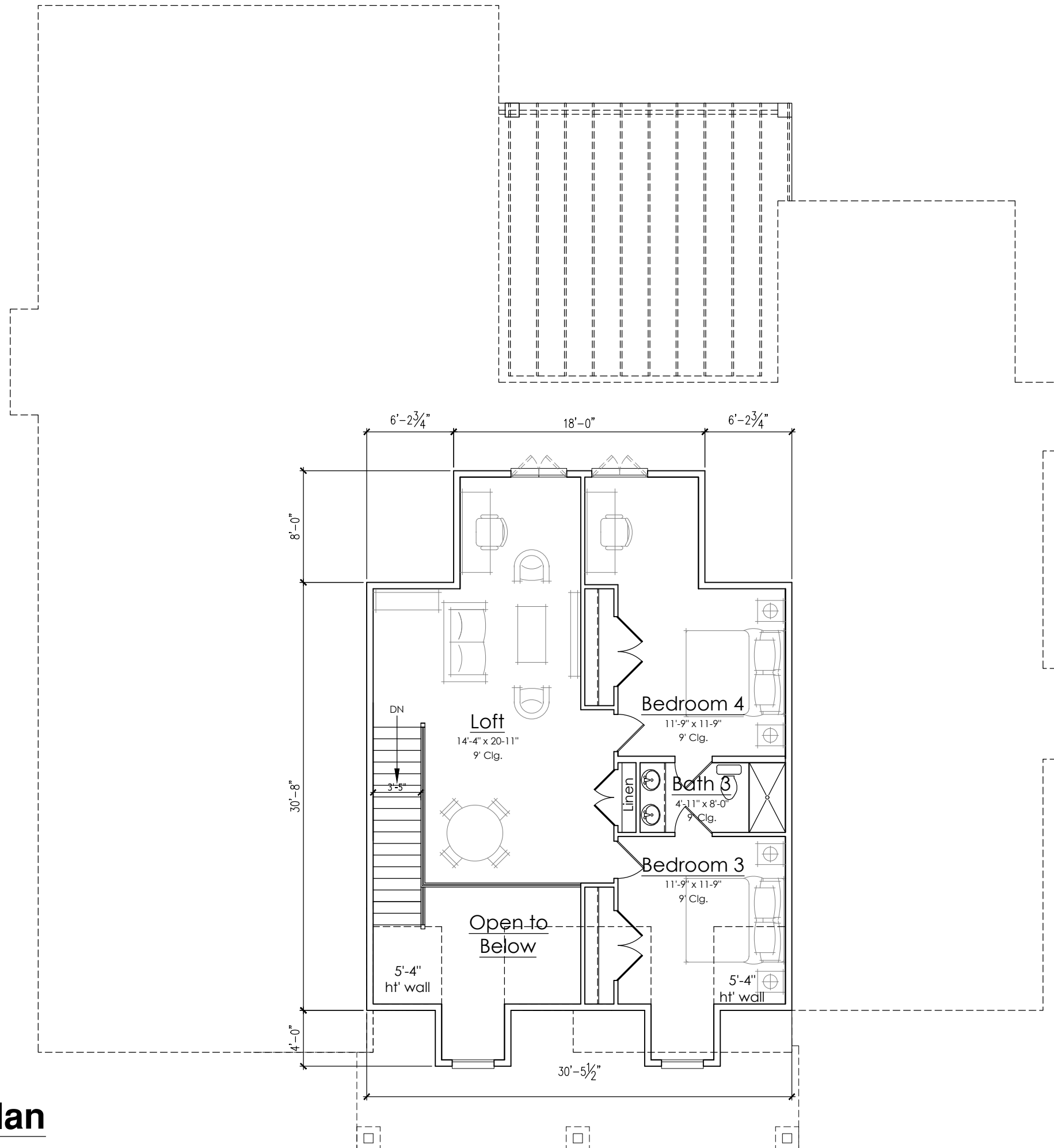


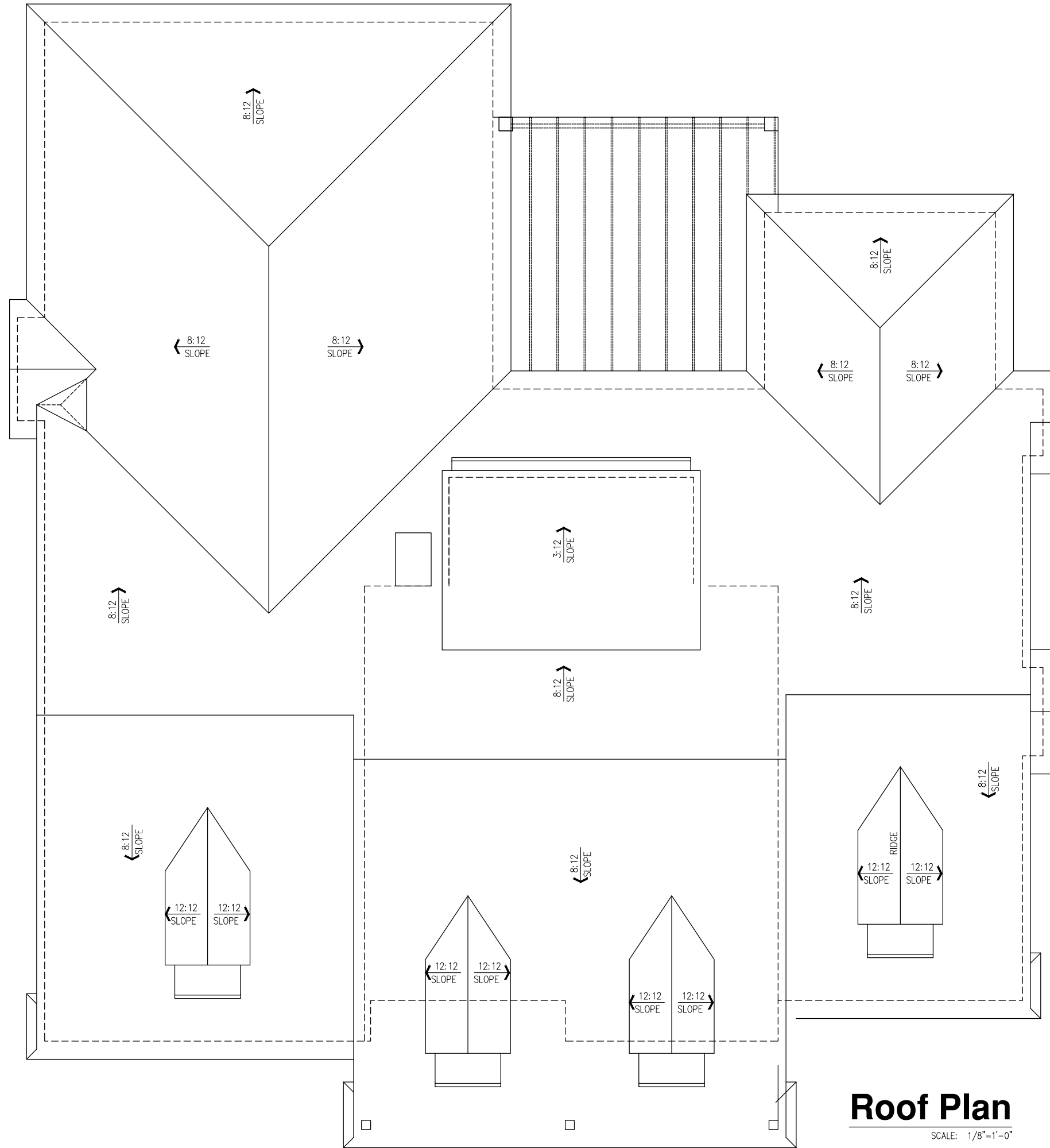
3,741 SF
Main Floor Plan

SCALE: 1/8"=1'-0"

869 SF
Second Floor Plan

SCALE: 1/8"=1'-0"





Roof Plan

SCALE: 1/8"=1'-0"



Lot 28 - Front Elevation

SCALE: 1/8"=1'-0"



Lot 28 - Rear Elevation

SCALE: 1/8"=1'-0"



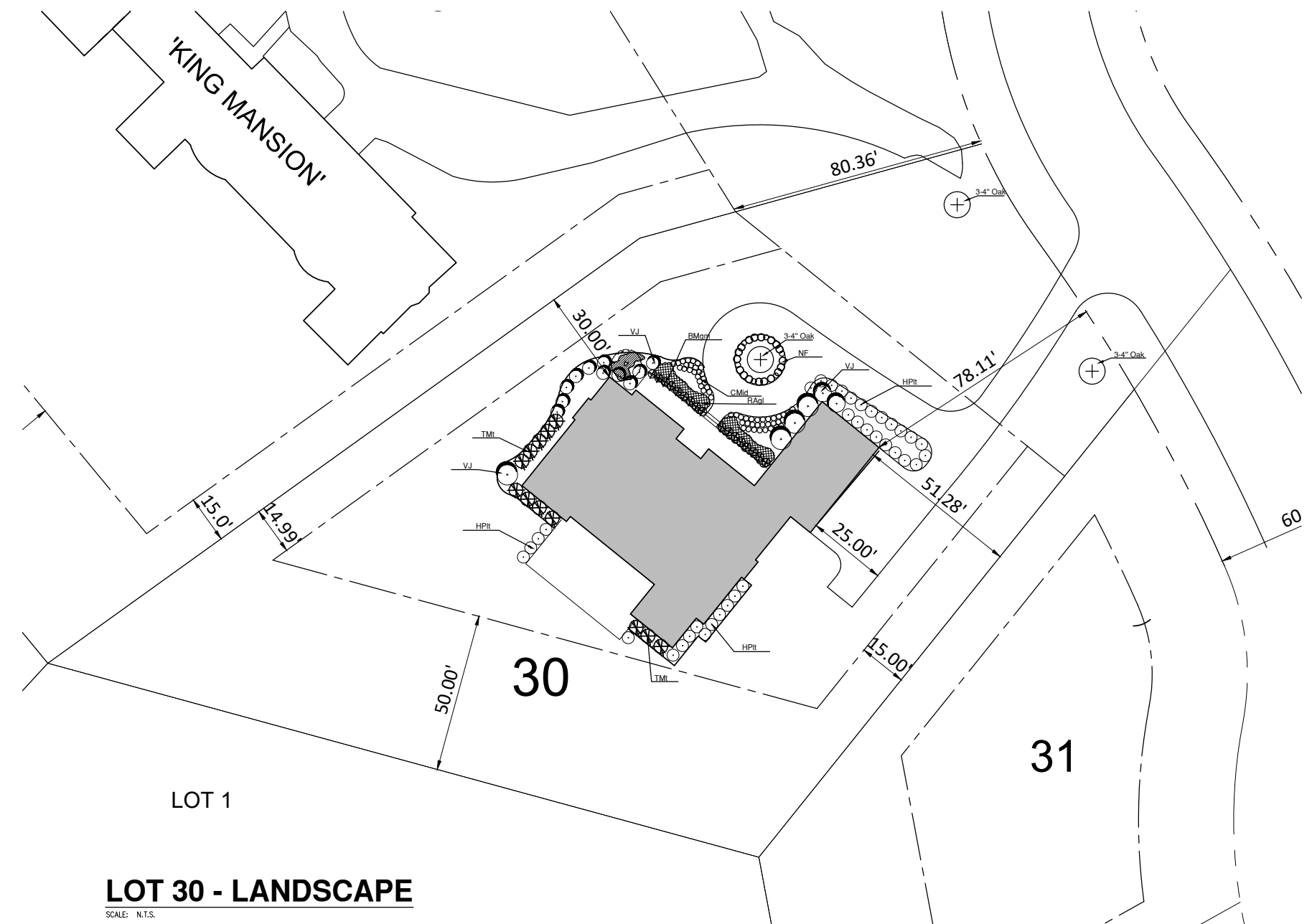
Lot 28 - Left Side Elevation

SCALE: 1/8"=1'-0"



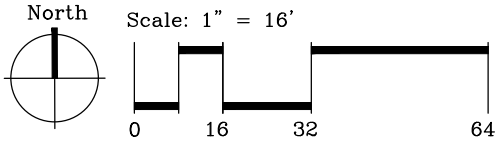
Lot 28 - Right Side Elevation

SCALE: 1/8"=1'-0"



LOT 30 - LANDSCAPE

SCALE: N.T.S.



PLANT LIST

SHADE TREES

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
AFm	Acer x freemanii 'Marmo'	Marmo Maple	3.0" BB
CS	Catalpa speciosa	American Catalpa	3.0" BB
CO	Celtis occidentalis	Common Hackberry	3.0" BB
QR	Quercus rubra	Northern Red Oak	3.0" BB
TA	Tilia americana 'Redmond'	Redmond Linden	3.0" BB
Umg	Ulmus 'Morton's Glossy'	Triumph Elm	3.0" BB

PLANT LIST

INTERMEDIATE AND EVERGREEN TREES

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
AC	Amelanchier canadensis	Serviceberry	8' CL. BB

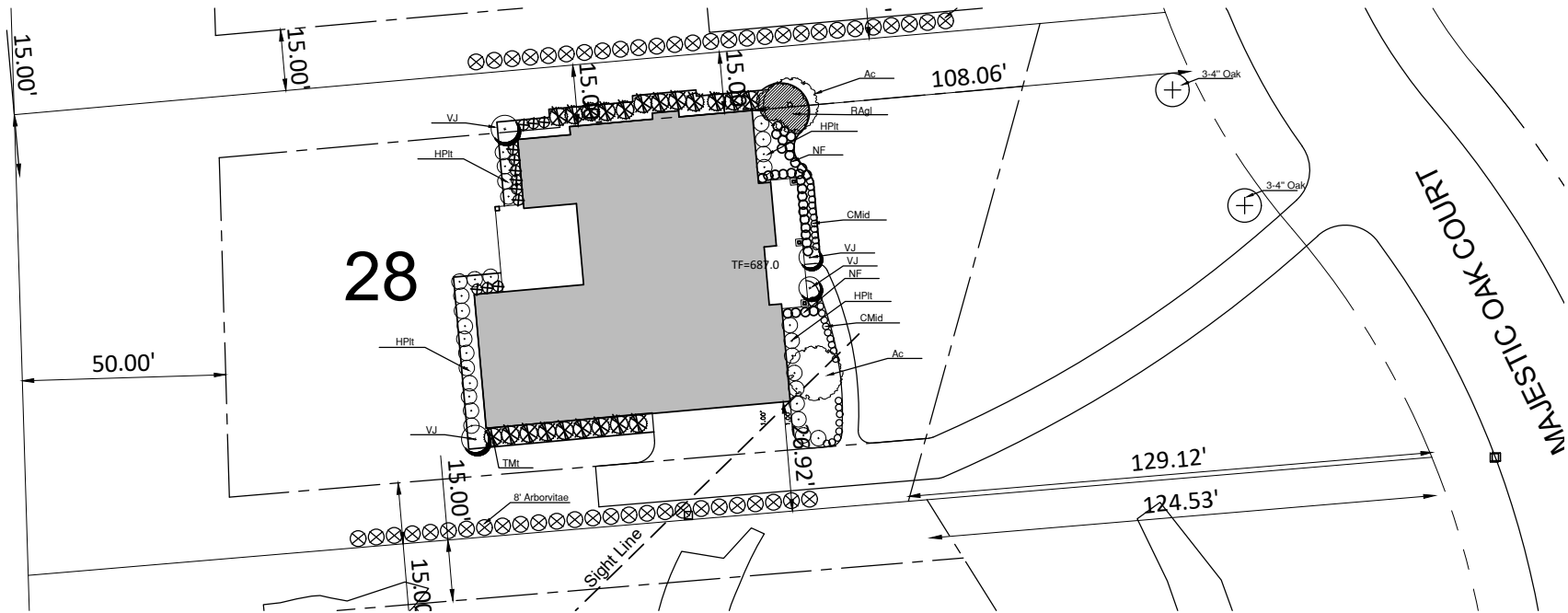
SHRUBS

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
BMgm	Buxus microphylla 'Green Mountain'	Green Mountain Boxwood	5 Gal Cont.
VJ	Viburnum judii	Judd Viburnum	5 Gal Cont.
HAi	Hydrangea arborescens 'Invincibelle'	Invincibelle Hydrangea	3 Gal Cont.
HPit	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	5 Gal Cont.
Hll	Hydrangea 'Little Lamb'	Little Lamb Hydrangea	3 Gal Cont.
HV	Hamamelis virginiana	Oakleaf Hydrangea	5 Gal Cont.
JCsg	Juniperus chinensis 'Sea Green'	Sea Green Juniper	7 Gal Cont.
POs	Physocarpus opulifolius 'Seward'	Seward Nine Bark	5 Gal. Cont.
Rgl	Rhus aromatica 'Grow-Low' (36" On Center)	Grow-Low Sumac	3 Gal Cont.
TMT	Taxus medii 'Tauntoni'	Taunton's Yew	24" BB

PERENNIALS AND GROUNDCOVER

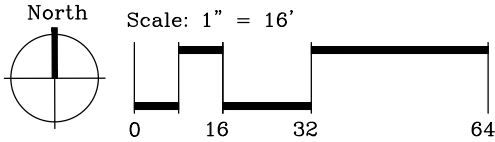
KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
CP	Carex pennsylvanica	Pennsylvania Sedge	1 QT Cont 12" On Center
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Hsd	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylilly	1 Gal. 24" On Center
LS	Liriope spicata	Lilly Turf	1 Qt. 12" On Center
NF	Nepeta fasseni 'Walker's Low'	Walker's Low Catmint	1 Gal. 24" On Center
SHt	Sporobolus heterolepsis 'Tara'	Tara Prairie Dropseed	1 Gal. 24" On Center
VM	Vinca minor	Periwinkle	1 Qt. 12" On Center

Landscape Plan
Lots 30 - Westleigh Farm
Lake Forest, Illinois



LOT 28 - LANDSCAPE

SCALE: N.T.S.



PLANT LIST

SHADE TREES

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
AFm	Acer x freemanii 'Marmo'	Marmo Maple	3.0" BB
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PLANT LIST

INTERMEDIATE AND EVERGREEN TREES

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
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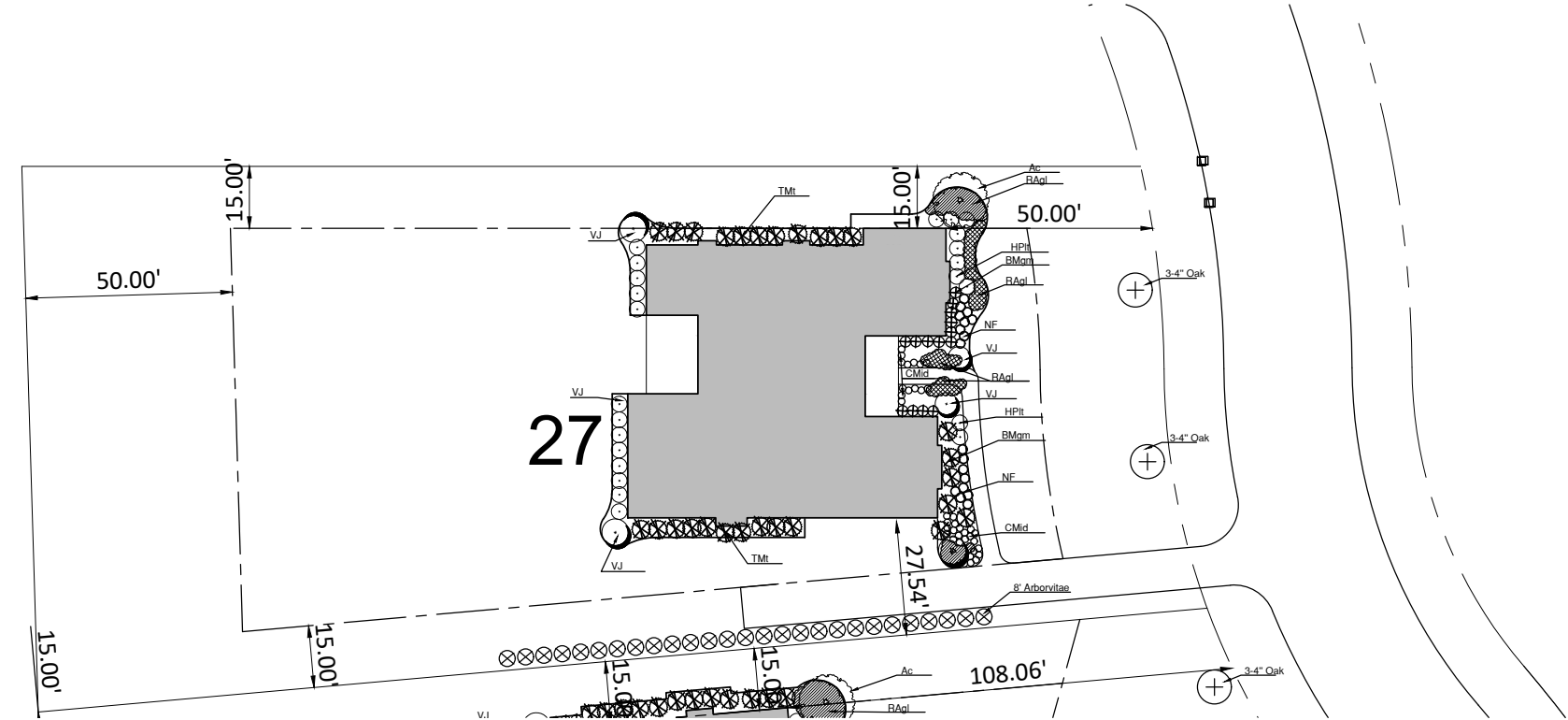
SHRUBS

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
BMgm	Buxus microphylla 'Green Mountain'	Green Mountain Boxwood	5 Gal Cont.
VJ	Viburnum judii	Judd Viburnum	5 Gal Cont.
HAi	Hydrangea arborescens 'Invincibelle'	Invincibelle Hydrangea	3 Gal Cont.
HPit	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	5 Gal Cont.
Hll	Hydrangea 'Little Lamb'	Little Lamb Hydrangea	3 Gal Cont.
HV	Hamemalis virginiana	Oakleaf Hydrangea	5 Gal Cont.
JCsg	Juniperus chinensis 'Sea Green'	Sea Green Juniper	7 Gal Cont.
POs	Physocarpus opulfolius 'Seward'	Seward Nine Bark	5 Gal. Cont.
Rgl	Rhus aromatica 'Grow-Low' (36" On Center)	Grow-Low Sumac	3 Gal Cont.
TMt	Taxus medii 'Tauntoni'	Taunton's Yew	24" BB

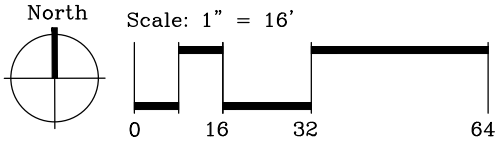
PERENNIALS AND GROUNDCOVER

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
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Landscape Plan
Lots 28 - Westleigh Farm
Lake Forest, Illinois



LOT 27 - LANDSCAPE



PLANT LIST

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CS	Catalpa speciosa	American Catalpa	3.0" BB
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PLANT LIST

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SHRUBS

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
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JCsg	Juniperus chinensis 'Sea Green'	Sea Green Juniper	7 Gal Cont.
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Landscape Plan
Lots 27 - Westleigh Farm
Lake Forest, Illinois

SECTION ONE

LOT SIZE ANALYSIS

LOT SIZE

Lot area is determined by calculating the total square footage within the boundaries of the property lines based on an up-to-date official plat of survey. The plat of survey must be prepared or updated by an Illinois registered land surveyor and contain, at a minimum, the following information:

- Any lot which is not rectangular or which has easements for ingress and egress, natural and man made storm water retention ponds, or wetlands, shall have the lot area certified by the surveyor, including a detailed breakdown of square footage of lot area with, and without such easements, ponds, or wetlands.
- Full exterior dimensions of all existing structures on the property.

For the purposes of calculating the bulk, the following areas are not included in determining total lot square footage.

- The access easement for lots-in-depth shall not be included in the square footage for either the front or rear lot (see Illustration A).
- 50% of any non-table land on the property as defined in Section 46-15 of the City Code. Certification of the total square footage by a Registered Land Surveyor may be required by the Director of Community Development (see Illustration B).

ILLUSTRATION A

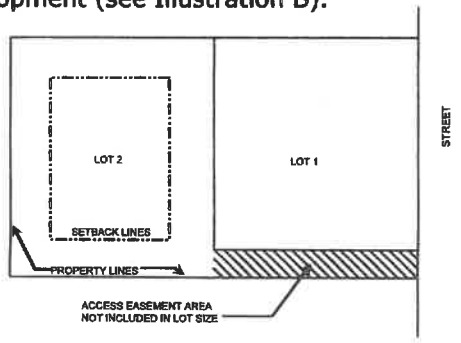
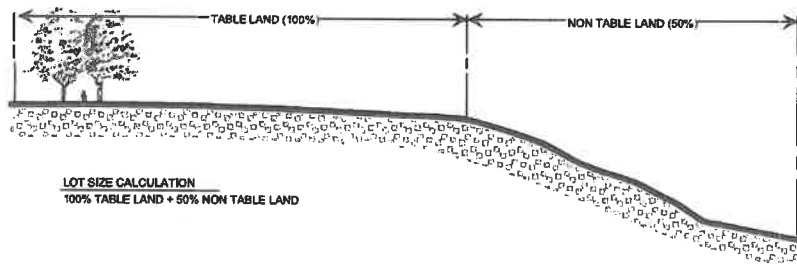


ILLUSTRATION B



Lot 30 - 270 Majestic Oak Court

STEP 2. DETERMINE THE MAXIMUM BULK FOR YOUR SIZE LOT.	APPLICANT CALCULATION	CITY CALCULATION
A. ENTER THE SQUARE FOOTAGE OF THE LOT SIZE BASED ON A SURVEY OF THE PROPERTY.	39843	
B. IF THERE IS AN ACCESS EASEMENT ON THE PROPERTY, ENTER THE SQUARE FOOTAGE OF THE EASEMENT AREA.	—	
C. IF THERE IS RAVINE OR BLUFF AREA ON THE PROPERTY, ENTER THE SQUARE FOOTAGE OF THE TABLE LAND AND NON-TABLE LAND BELOW. SEE FIGURE B TO DETERMINE TABLE LAND AND NON-TABLE LAND AREA.	TABLE LAND: — NON-TABLE LAND: —	
D. IF NON-TABLE LAND EXISTS, MULTIPLY THE SQUARE FOOTAGE OF NON-TABLE LAND BY 0.5 TO DETERMINE THE AMOUNT OF NON-TABLE LAND INCLUDED IN THE LOT SIZE CALCULATION.	—	
E. TOTAL LOT SIZE SUBTRACT THE VALUES DETERMINED IN STEP B AND STEP D FROM THE LOT SIZE IN STEP A TO DETERMINE THE TOTAL LOT SIZE ($A - B - D = E$)	39843	
F. ENTER THE SQUARE FOOTAGE OF THE TOTAL LOT SIZE, TABLE LAND AREA, AND NON-TABLE LAND AREA ON THE BUILDING SCALE SUMMARY SHEET ON PAGE 19.		

SECTION TWO

BUILDING SIZE ANALYSIS

MAXIMUM BULK

The maximum square footage of all structures on a zoning lot is determined by the following formulas, depending on the size of your lot and the dwelling type.

	Lot Size	Formula
Single Family Dwelling	Less than 18,900 sf.	$(\text{Lot Area}) \times 0.14 + 1,300$
	18,900 sf. to 40,000 sf.	$(\text{Lot Area}) \times 0.05 + 3,000$
	40,001 sf. or larger	$(\text{Lot Area}) \times 0.08 + 1,800$
Duplex Dwelling	Less than 18,900 sf.	$(\text{Lot Area}) \times 0.14 + 1,300$
	18,900 sf. to 40,000 sf.	$(\text{Lot Area}) \times 0.125 + 2,500$
	40,001 sf. or larger	$(\text{Lot Area}) \times 0.125 + 2,500$

MAXIMUM GARAGE EXEMPTION

Garages that exceed the allowable square footages may be constructed, but the square footage in excess of that allowed should be deducted from the maximum square footage permitted for the residence. Prior to approval of a garage in excess of the allowable size, the project must be found to be in conformance with the City's Residential Design Guidelines. Note: the maximum width of a garage on a lot less than 18,900 square feet is 24 feet.

Lot Size	Garage Allowance
Less than 18,900 sf.	576 square feet with a maximum width of 24 feet
18,900 sf. to 40,000 sf.	600 square feet
40,001 sf. or larger	800 square feet

STEP 2. DETERMINE THE MAXIMUM BULK FOR YOUR SIZE LOT.	APPLICANT CALCULATION	CITY CALCULATION
A. ENTER THE TOTAL LOT SIZE CALCULATED IN STEP 1:	39843	
B. CHOOSE THE DWELLING TYPE, CHECK THE APPROPRIATE BOX	<div style="border: 1px solid black; padding: 2px;">SINGLE FAMILY</div> DUPLEX	
C. USING THE APPROPRIATE FORMULA BASED ON THE SIZE OF YOUR LOT, CALCULATE THE MAXIMUM ALLOWABLE BULK:	5990	
D. ENTER THE MAXIMUM BULK ON LINE M OF THE BUILDING SCALE SUMMARY SHEET ON PAGE 19.		
STEP 3. DETERMINE THE MAXIMUM GARAGE EXEMPTION.	APPLICANT CALCULATION	CITY CALCULATION
A. ENTER THE APPROPRIATE GARAGE ALLOWANCE BASED ON THE SIZE OF YOUR LOT.	600	
B. ENTER THE MAXIMUM GARAGE EXEMPTION ON LINE D OF THE BUILDING SCALE SUMMARY SHEET ON PAGE 19.		

SECTION TWO

BUILDING SIZE ANALYSIS

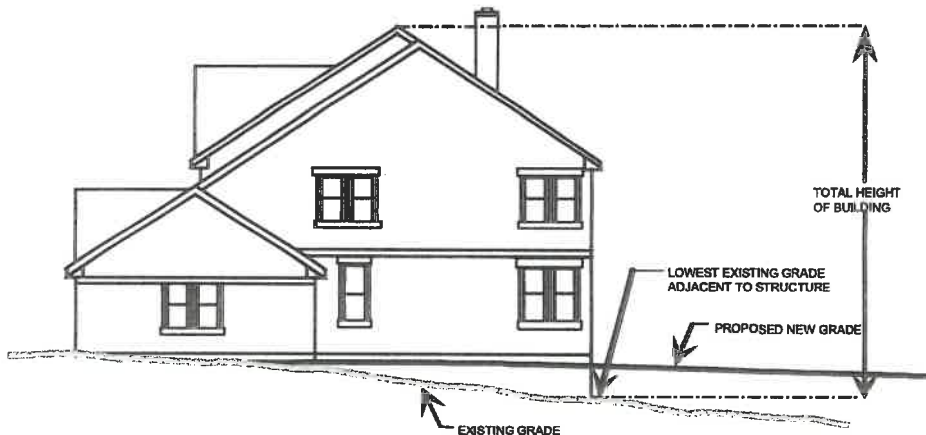
MAXIMUM DESIGN ELEMENT EXEMPTIONS

Design elements are architectural features of a building that add to a building's character and sense of style, and may sever to break up mass and reduce the appearance of excessive height and scale. Design elements include; open porches, covered entries, screen porches, porte-cocheres, pergolas, breezeways, dormers, and bay windows. To take advantage of this exemption, the design elements should be used in a manner that is appropriate for the architectural style of the residence, and the overall design of the building should be in conformance with City's Residential Design Guidelines. The total square footage of these elements does not exceed 10% above the maximum allowable square footage for the residence.

MAXIMUM BUILDING HEIGHT

Building height is measured from the lowest grade immediately adjacent to the proposed structure, prior to construction, to the highest roof ridge line. As Illustrated below.

Lot Size	Maximum Height
Less than 18,900 sf.	30 ft
18,900 sf. to 40,000 sf.	35 ft
40,001 sf. or larger	40 ft



STEP 4. DETERMINE THE MAXIMUM DESIGN ELEMENT EXEMPTION.	APPLICANT CALCULATION	CITY CALCULATION
A. MULTIPLY THE MAXIMUM ALLOWABLE BULK DETERMINED IN STEP 2 BY 0.10 TO FIND THE MAXIMUM EXEMPTION AMOUNT. ENTER IT IN THE SPACE TO THE RIGHT.	599	
B. ENTER THE MAXIMUM DESIGN ELEMENT EXEMPTION ON LINE B OF THE BUILDING SCALE SUMMARY SHEET ON PAGE 19.		
STEP 5. DETERMINE THE MAXIMUM BUILDING HEIGHT.	APPLICANT CALCULATION	CITY CALCULATION
A. SELECT THE APPROPRIATE MAXIMUM BUILDING HEIGHT BASED ON THE SIZE OF YOUR LOT AND ENTER IT IN THE SPACE TO THE RIGHT.	35	
B. ENTER THE MAXIMUM BUILDING HEIGHT ON LINE N OF THE BUILDING SCALE SUMMARY SHEET ON PAGE 19.		

SECTION THREE

CALCULATE THE BULK

STEP 6. CALCULATE THE DESIGN ELEMENT EXEMPTIONS.

A. ENTER THE SQUARE FOOTAGE OF EACH ELEMENT.	Open Porches	=	_____ SF
	Screen Porches	=	_____ SF
	Covered Entries	=	<u>30</u> SF
	Porticos	=	_____ SF
	Breezeways	=	_____ SF
	Porte-Cochere	=	_____ SF
	Pergolas	=	<u>408</u> SF
	Dormer Windows	=	<u>-</u> SF
	Bay Windows	=	<u>20</u> SF
B. ENTER THE TOTAL SQUARE FOOTAGE OF ALL DESIGN ELEMENTS	Total Actual Design Elements	=	<u>458</u> SF
C. ENTER THE MAXIMUM DESIGN ELEMENT EXEMPTIONS DETERMINED FROM STEP 4, ABOVE.	Maximum Design Element Exemption	=	<u>599</u> SF
D. SUBTRACT THE MAXIMUM EXEMPTION TO DETERMINE IF THERE IS ANY EXCESS TO BE COUNTED IN THE TOTAL BULK.	Excess Design Elements	=	<u>—</u> SF
E. ENTER THE TOTAL ACTUAL DESIGN ELEMENTS ON LINE C OF THE BUILDING SCALE SUMMARY SHEET ON PAGE 19. ENTER THE EXCESS DESIGN ELEMENT SQUARE FOOTAGE IN THE SUMMARY COLUMN ALONG THE RIGHT SIDE OF THE PAGE.			

SECTION THREE

CALCULATE THE BULK

GARAGE AREA

Garages that exceed the maximum exempt square footage may be constructed, but the square footage in excess will be applied to the total square footage of the building. Prior to approval of a garage in excess of the allowable size, the project must be found to be in conformance with the City's Residential Design Guidelines.

On lots that are less than 18,900 square feet in size, the garage width may not exceed 24 feet.

LOT SIZE	GARAGE ALLOWANCE
Less than 18,900 sf.	576 square feet with a maximum width of 24 feet
18,900 sf. to 40,000 sf.	600 square feet
40,001 sf. or larger	800 square feet

STEP 7. CALCULATE THE GARAGE SIZE			APPLICANT CALCULATION	CITY CALCULATION
A	X	=	748	
B	X	=		
C	X	=		
D	X	=		
E	X	=		
F	X	=		
H	X	=		
I	X	=		
J	X	=		
K	X	=		
L	X	=		
M	X	=		
N	X	=		
O	X	=		
1. TOTAL GARAGE SIZE ENTER THE SUM OF A THRU O.			748 SF	SF
2. MAXIMUM GARAGE EXEMPTIONS ENTER THE MAXIMUM EXEMPTION DETERMINED IN STEP 3.			600 SF	SF
3. EXCESS GARAGE SIZE IF THE TOTAL GARAGE AREA IS LARGER THAN THE MAXIMUM GARAGE EXEMPTION, ENTER THE EXCESS NUMBER TO THE RIGHT.			148 SF	SF
4. GARAGE WIDTH FOR LOTS LESS THAN 18,900 SQUARE FEET IN SIZE, ENTER THE STREET FACING GARAGE WIDTH. FOR LARGER LOTS, ENTER N/A - NOT APPLICABLE.			— FT	FT
5. IN THE SUMMARY SHEET ON PAGE 19, ENTER THE TOTAL GARAGE SIZE ON LINE E, AND THE EXCESS GARAGE SIZE IN THE SUMMARY COLUMN ALONG THE RIGHT SIDE OF THE PAGE. IF APPLICABLE, ENTER THE GARAGE WIDTH ON LINE D2.				

SECTION FOUR

BUILDING SCALE SUMMARY SHEET

STEP 14. CHECK TO MAKE SURE THAT ALL APPLICABLE CATEGORIES HAVE BEEN ENTERED. SUMMARIZE THE CALCULATION IN THE RIGHT HAND SIDE. SUBTRACT THE MAXIMUM ALLOWABLE BULK (LINE M) FROM THE TOTAL SQUARE FOOTAGE (LINE L) TO DETERMINE THE NUMERIC AND PERCENTAGE DIFFERENTIAL (LINE N).

LOT AREA: <u>39843</u> SF	TABLELAND <u>—</u> SF	NON-TABLELAND <u>—</u> SF
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SQUARE FOOTAGE OF EXISTING OR NEW RESIDENCE:

(A) 1ST FLOOR 3350 2ND FLOOR 2422 3RD FLOOR —

(B) MAXIMUM DESIGN ELEMENT EXEMPTION = 599 SF

(C) TOTAL ACTUAL DESIGN ELEMENTS = 458 SF

(D) MAXIMUM GARAGE EXEMPTION = 600 SF

(E) TOTAL GARAGE SIZE = 740 SF

(F) BASEMENT AREA

(G) ACCESSORY BUILDINGS / OTHER

(H) TOTAL SQUARE FOOTAGE OF EXISTING OR NEW RESIDENCE

SQUARE FOOTAGE OF PROPOSED ADDITIONS:

(I) 1ST FLOOR _____ 2ND FLOOR _____ 3RD FLOOR _____

(J) EXCESS NEW GARAGE AREA

(K) EXCESS NEW DESIGN ELEMENTS

(L) TOTAL SQUARE FOOTAGE (EXISTING & PROPOSED)

(M) MAXIMUM ALLOWABLE BULK

(N) DIFFERENTIAL

(O) ALLOWABLE HEIGHT 35 FT. (P) ACTUAL HEIGHT 34 FT.

• SUMMARY •

= 5772 SF

Excess = 0 SF

Excess = 148 SF

= 0 SF

= 0 SF

TOTAL = _____ SF

= — SF

Excess = — SF

Excess = — SF

TOTAL = 5920 SF

= 5990 SF

= 70 SF, = _____ %

**UNDER / OVER
MAX. BULK
(CIRCLE ONE)**

(D2) GARAGE WIDTH = —
MAY NOT EXCEED 24' IN WIDTH ON
LOTS 18,900 SF OR LESS IN SIZE

SECTION ONE

LOT SIZE ANALYSIS

LOT SIZE

Lot area is determined by calculating the total square footage within the boundaries of the property lines based on an up-to-date official plat of survey. The plat of survey must be prepared or updated by an Illinois registered land surveyor and contain, at a minimum, the following information:

- Any lot which is not rectangular or which has easements for ingress and egress, natural and man made storm water retention ponds, or wetlands, shall have the lot area certified by the surveyor, including a detailed breakdown of square footage of lot area with, and without such easements, ponds, or wetlands.
- Full exterior dimensions of all existing structures on the property.

For the purposes of calculating the bulk, the following areas are not included in determining total lot square footage.

- The access easement for lots-in-depth shall not be included in the square footage for either the front or rear lot (see Illustration A).
- 50% of any non-table land on the property as defined in Section 46-15 of the City Code. Certification of the total square footage by a Registered Land Surveyor may be required by the Director of Community Development (see Illustration B).

ILLUSTRATION A

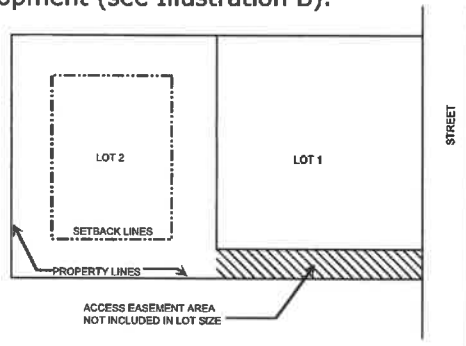
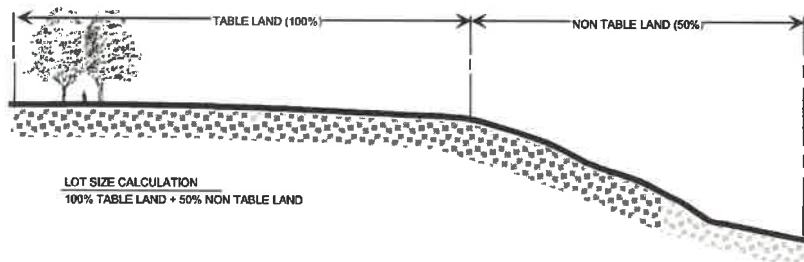


ILLUSTRATION B



Lot 28 - 230 Majestic Oak Court

STEP 2. DETERMINE THE MAXIMUM BULK FOR YOUR SIZE LOT.	APPLICANT CALCULATION	CITY CALCULATION
A. ENTER THE SQUARE FOOTAGE OF THE LOT SIZE BASED ON A SURVEY OF THE PROPERTY.	35811	
B. IF THERE IS AN ACCESS EASEMENT ON THE PROPERTY, ENTER THE SQUARE FOOTAGE OF THE EASEMENT AREA.	—	
C. IF THERE IS RAVINE OR BLUFF AREA ON THE PROPERTY, ENTER THE SQUARE FOOTAGE OF THE TABLE LAND AND NON-TABLE LAND BELOW. SEE FIGURE B TO DETERMINE TABLE LAND AND NON-TABLE LAND AREA.	TABLE LAND: — NON-TABLE LAND: —	
D. IF NON-TABLE LAND EXISTS, MULTIPLY THE SQUARE FOOTAGE OF NON-TABLE LAND BY 0.5 TO DETERMINE THE AMOUNT OF NON-TABLE LAND INCLUDED IN THE LOT SIZE CALCULATION.	—	
E. TOTAL LOT SIZE SUBTRACT THE VALUES DETERMINED IN STEP B AND STEP D FROM THE LOT SIZE IN STEP A TO DETERMINE THE TOTAL LOT SIZE (A - B - D = E)	35811	
F. ENTER THE SQUARE FOOTAGE OF THE TOTAL LOT SIZE, TABLE LAND AREA, AND NON-TABLE LAND AREA ON THE BUILDING SCALE SUMMARY SHEET ON PAGE 19.		

SECTION TWO

BUILDING SIZE ANALYSIS

MAXIMUM BULK

The maximum square footage of all structures on a zoning lot is determined by the following formulas, depending on the size of your lot and the dwelling type.

	Lot Size	Formula
Single Family Dwelling	Less than 18,900 sf.	$(\text{Lot Area}) \times 0.14 + 1,300$
	18,900 sf. to 40,000 sf.	$(\text{Lot Area}) \times 0.05 + 3,000$
	40,001 sf. or larger	$(\text{Lot Area}) \times 0.08 + 1,800$
Duplex Dwelling	Less than 18,900 sf.	$(\text{Lot Area}) \times 0.14 + 1,300$
	18,900 sf. to 40,000 sf.	$(\text{Lot Area}) \times 0.125 + 2,500$
	40,001 sf. or larger	$(\text{Lot Area}) \times 0.125 + 2,500$

MAXIMUM GARAGE EXEMPTION

Garages that exceed the allowable square footages may be constructed, but the square footage in excess of that allowed should be deducted from the maximum square footage permitted for the residence. Prior to approval of a garage in excess of the allowable size, the project must be found to be in conformance with the City's Residential Design Guidelines. Note: the maximum width of a garage on a lot less than 18,900 square feet is 24 feet.

Lot Size	Garage Allowance
Less than 18,900 sf.	576 square feet with a maximum width of 24 feet
18,900 sf. to 40,000 sf.	600 square feet
40,001 sf. or larger	800 square feet

STEP 2. DETERMINE THE MAXIMUM BULK FOR YOUR SIZE LOT.	APPLICANT CALCULATION	CITY CALCULATION
A. ENTER THE TOTAL LOT SIZE CALCULATED IN STEP 1:	35811	
B. CHOOSE THE DWELLING TYPE, CHECK THE APPROPRIATE BOX	<div style="border: 1px solid black; padding: 2px;">SINGLE FAMILY</div> DUPLEX	
C. USING THE APPROPRIATE FORMULA BASED ON THE SIZE OF YOUR LOT, CALCULATE THE MAXIMUM ALLOWABLE BULK:	5749	
D. ENTER THE MAXIMUM BULK ON LINE M OF THE BUILDING SCALE SUMMARY SHEET ON PAGE 19.		
STEP 3. DETERMINE THE MAXIMUM GARAGE EXEMPTION.	APPLICANT CALCULATION	CITY CALCULATION
A. ENTER THE APPROPRIATE GARAGE ALLOWANCE BASED ON THE SIZE OF YOUR LOT.	600	
B. ENTER THE MAXIMUM GARAGE EXEMPTION ON LINE D OF THE BUILDING SCALE SUMMARY SHEET ON PAGE 19.		

SECTION TWO

BUILDING SIZE ANALYSIS

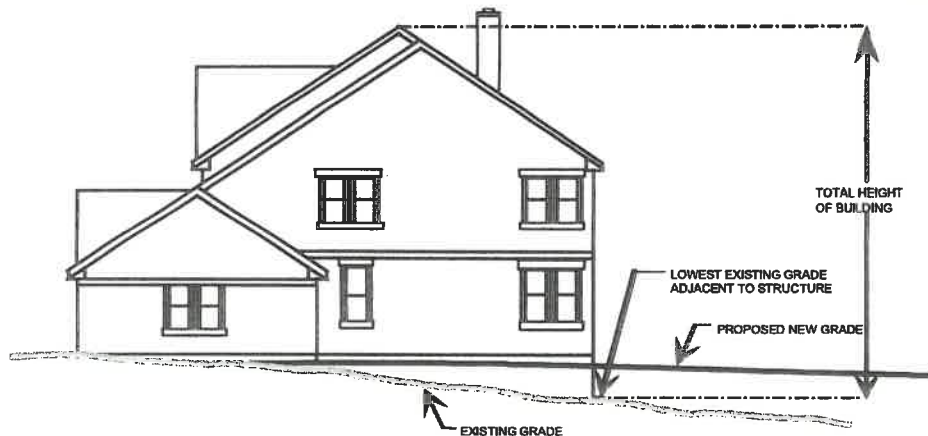
MAXIMUM DESIGN ELEMENT EXEMPTIONS

Design elements are architectural features of a building that add to a building's character and sense of style, and may sever to break up mass and reduce the appearance of excessive height and scale. Design elements include; open porches, covered entries, screen porches, porte-cocheres, pergolas, breezeways, dormers, and bay windows. To take advantage of this exemption, the design elements should be used in a manner that is appropriate for the architectural style of the residence, and the overall design of the building should be in conformance with City's Residential Design Guidelines. The total square footage of these elements does not exceed 10% above the maximum allowable square footage for the residence.

MAXIMUM BUILDING HEIGHT

Building height is measured from the lowest grade immediately adjacent to the proposed structure, prior to construction, to the highest roof ridge line. As Illustrated below.

LOT SIZE	MAXIMUM HEIGHT
Less than 18,900 sf.	30 ft
18,900 sf. to 40,000 sf.	35 ft
40,001 sf. or larger	40 ft



STEP 4. DETERMINE THE MAXIMUM DESIGN ELEMENT EXEMPTION.	APPLICANT CALCULATION	CITY CALCULATION
A. MULTIPLY THE MAXIMUM ALLOWABLE BULK DETERMINED IN STEP 2 BY 0.10 TO FIND THE MAXIMUM EXEMPTION AMOUNT. ENTER IT IN THE SPACE TO THE RIGHT.	575	
B. ENTER THE MAXIMUM DESIGN ELEMENT EXEMPTION ON LINE B OF THE BUILDING SCALE SUMMARY SHEET ON PAGE 19.		
STEP 5. DETERMINE THE MAXIMUM BUILDING HEIGHT.	APPLICANT CALCULATION	CITY CALCULATION
A. SELECT THE APPROPRIATE MAXIMUM BUILDING HEIGHT BASED ON THE SIZE OF YOUR LOT AND ENTER IT IN THE SPACE TO THE RIGHT.	35	
B. ENTER THE MAXIMUM BUILDING HEIGHT ON LINE N OF THE BUILDING SCALE SUMMARY SHEET ON PAGE 19.		

SECTION THREE

CALCULATE THE BULK

STEP 6. CALCULATE THE DESIGN ELEMENT EXEMPTIONS.

A. ENTER THE SQUARE FOOTAGE OF EACH ELEMENT.	Open Porches	=	_____ SF
	Screen Porches	=	_____ SF
	Covered Entries	=	<u>265</u> SF
	Porticos	=	<u>210</u> SF
	Breezeways	=	_____ SF
	Porte-Cochere	=	_____ SF
	Pergolas	=	_____ SF
	Dormer Windows	=	<u>176</u> SF
	Bay Windows	=	<u>28</u> SF
B. ENTER THE TOTAL SQUARE FOOTAGE OF ALL DESIGN ELEMENTS	Total Actual Design Elements	=	<u>679</u> SF
C. ENTER THE MAXIMUM DESIGN ELEMENT EXEMPTIONS DETERMINED FROM STEP 4, ABOVE.	Maximum Design Element Exemption	=	<u>575</u> SF
D. SUBTRACT THE MAXIMUM EXEMPTION TO DETERMINE IF THERE IS ANY EXCESS TO BE COUNTED IN THE TOTAL BULK.	Excess Design Elements	=	<u>104</u> SF
E. ENTER THE TOTAL ACTUAL DESIGN ELEMENTS ON LINE C OF THE BUILDING SCALE SUMMARY SHEET ON PAGE 19. ENTER THE EXCESS DESIGN ELEMENT SQUARE FOOTAGE IN THE SUMMARY COLUMN ALONG THE RIGHT SIDE OF THE PAGE.			

SECTION THREE

CALCULATE THE BULK

GARAGE AREA

Garages that exceed the maximum exempt square footage may be constructed, but the square footage in excess will be applied to the total square footage of the building. Prior to approval of a garage in excess of the allowable size, the project must be found to be in conformance with the City's Residential Design Guidelines.

On lots that are less than 18,900 square feet in size, the garage width may not exceed 24 feet.

LOT SIZE	GARAGE ALLOWANCE
Less than 18,900 sf.	576 square feet with a maximum width of 24 feet
18,900 sf. to 40,000 sf.	600 square feet
40,001 sf. or larger	800 square feet

STEP 7. CALCULATE THE GARAGE SIZE			APPLICANT CALCULATION	CITY CALCULATION
A	X	=	762	
B	X	=		
C	X	=		
D	X	=		
E	X	=		
F	X	=		
H	X	=		
I	X	=		
J	X	=		
K	X	=		
L	X	=		
M	X	=		
N	X	=		
O	X	=		
1. TOTAL GARAGE SIZE ENTER THE SUM OF A THRU O.				
2. MAXIMUM GARAGE EXEMPTIONS ENTER THE MAXIMUM EXEMPTION DETERMINED IN STEP 3.			600 SF	SF
3. EXCESS GARAGE SIZE IF THE TOTAL GARAGE AREA IS LARGER THAN THE MAXIMUM GARAGE EXEMPTION, ENTER THE EXCESS NUMBER TO THE RIGHT.			162 SF	SF
4. GARAGE WIDTH FOR LOTS LESS THAN 18,900 SQUARE FEET IN SIZE, ENTER THE STREET FACING GARAGE WIDTH. FOR LARGER LOTS, ENTER N/A - NOT APPLICABLE.			— FT	FT
5. IN THE SUMMARY SHEET ON PAGE 19, ENTER THE TOTAL GARAGE SIZE ON LINE E, AND THE EXCESS GARAGE SIZE IN THE SUMMARY COLUMN ALONG THE RIGHT SIDE OF THE PAGE. IF APPLICABLE, ENTER THE GARAGE WIDTH ON LINE D2.				

SECTION FOUR

BUILDING SCALE SUMMARY SHEET

STEP 14. CHECK TO MAKE SURE THAT ALL APPLICABLE CATEGORIES HAVE BEEN ENTERED. SUMMARIZE THE CALCULATION IN THE RIGHT HAND SIDE. SUBTRACT THE MAXIMUM ALLOWABLE BULK (LINE M) FROM THE TOTAL SQUARE FOOTAGE (LINE L) TO DETERMINE THE NUMERIC AND PERCENTAGE DIFFERENTIAL (LINE N).

LOT AREA: <u>35811</u> SF	TABLELAND <u>—</u> SF	NON-TABLELAND <u>—</u> SF
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SQUARE FOOTAGE OF EXISTING OR NEW RESIDENCE:

(A) 1ST FLOOR 3708 2ND FLOOR 1629 3RD FLOOR 142

(B) MAXIMUM DESIGN ELEMENT EXEMPTION = 575 SF

(C) TOTAL ACTUAL DESIGN ELEMENTS = 679 SF

(D) MAXIMUM GARAGE EXEMPTION = 600 SF

(E) TOTAL GARAGE SIZE = 762 SF

(F) BASEMENT AREA _____

(G) ACCESSORY BUILDINGS / OTHER _____

(H) TOTAL SQUARE FOOTAGE OF EXISTING OR NEW RESIDENCE _____

SQUARE FOOTAGE OF PROPOSED ADDITIONS:

(I) 1ST FLOOR _____ 2ND FLOOR _____ 3RD FLOOR _____

(J) EXCESS NEW GARAGE AREA _____

(K) EXCESS NEW DESIGN ELEMENTS _____

(L) TOTAL SQUARE FOOTAGE (EXISTING & PROPOSED) _____

(M) MAXIMUM ALLOWABLE BULK _____

(N) DIFFERENTIAL _____

(O) ALLOWABLE HEIGHT 35 FT. (P) ACTUAL HEIGHT 28 FT.

• SUMMARY •

= 5479 SF

Excess = 104 SF

Excess = 162 SF

= 0 SF

= 0 SF

TOTAL = _____ SF

= — SF

Excess = — SF

Excess = — SF

TOTAL = 5745 SF

= 5749 SF

= 4 SF, = — %

UNDER / OVER
MAX. BULK
(CIRCLE ONE)

(D2) GARAGE WIDTH = —
MAY NOT EXCEED 24' IN WIDTH ON
LOTS 18,900 SF OR LESS IN SIZE

SECTION ONE

LOT SIZE ANALYSIS

LOT SIZE

Lot area is determined by calculating the total square footage within the boundaries of the property lines based on an up-to-date official plat of survey. The plat of survey must be prepared or updated by an Illinois registered land surveyor and contain, at a minimum, the following information:

- Any lot which is not rectangular or which has easements for ingress and egress, natural and man made storm water retention ponds, or wetlands, shall have the lot area certified by the surveyor, including a detailed breakdown of square footage of lot area with, and without such easements, ponds, or wetlands.
- Full exterior dimensions of all existing structures on the property.

For the purposes of calculating the bulk, the following areas are not included in determining total lot square footage.

- The access easement for lots-in-depth shall not be included in the square footage for either the front or rear lot (see Illustration A).
- 50% of any non-table land on the property as defined in Section 46-15 of the City Code. Certification of the total square footage by a Registered Land Surveyor may be required by the Director of Community Development (see Illustration B).

ILLUSTRATION A

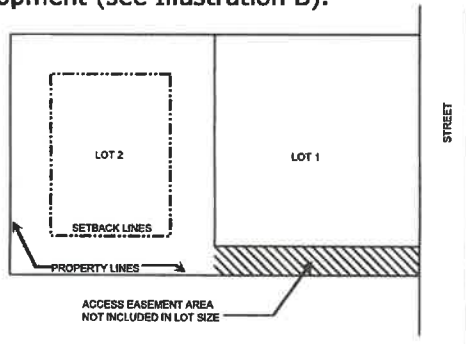
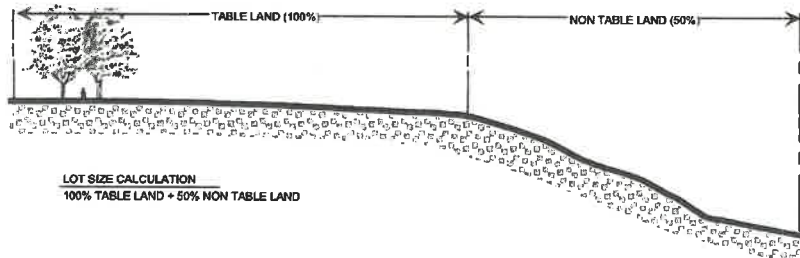


ILLUSTRATION B



Lot 27 - 210 Majestic Oak Court

STEP 2. DETERMINE THE MAXIMUM BULK FOR YOUR SIZE LOT.	APPLICANT CALCULATION	CITY CALCULATION
A. ENTER THE SQUARE FOOTAGE OF THE LOT SIZE BASED ON A SURVEY OF THE PROPERTY.	33027	
B. IF THERE IS AN ACCESS EASEMENT ON THE PROPERTY, ENTER THE SQUARE FOOTAGE OF THE EASEMENT AREA.	—	
C. IF THERE IS RAVINE OR BLUFF AREA ON THE PROPERTY, ENTER THE SQUARE FOOTAGE OF THE TABLE LAND AND NON-TABLE LAND BELOW. SEE FIGURE B TO DETERMINE TABLE LAND AND NON-TABLE LAND AREA.	TABLE LAND: — NON-TABLE LAND: —	
D. IF NON-TABLE LAND EXISTS, MULTIPLY THE SQUARE FOOTAGE OF NON-TABLE LAND BY 0.5 TO DETERMINE THE AMOUNT OF NON-TABLE LAND INCLUDED IN THE LOT SIZE CALCULATION.	—	
E. TOTAL LOT SIZE SUBTRACT THE VALUES DETERMINED IN STEP B AND STEP D FROM THE LOT SIZE IN STEP A TO DETERMINE THE TOTAL LOT SIZE (A - B - D = E)	33027	
F. ENTER THE SQUARE FOOTAGE OF THE TOTAL LOT SIZE, TABLE LAND AREA, AND NON-TABLE LAND AREA ON THE BUILDING SCALE SUMMARY SHEET ON PAGE 19.		

SECTION TWO

BUILDING SIZE ANALYSIS

MAXIMUM BULK

The maximum square footage of all structures on a zoning lot is determined by the following formulas, depending on the size of your lot and the dwelling type.

	Lot Size	Formula
Single Family Dwelling	Less than 18,900 sf.	$(\text{Lot Area}) \times 0.14 + 1,300$
	18,900 sf. to 40,000 sf.	$(\text{Lot Area}) \times 0.05 + 3,000$
	40,001 sf. or larger	$(\text{Lot Area}) \times 0.08 + 1,800$
Duplex Dwelling	Less than 18,900 sf.	$(\text{Lot Area}) \times 0.14 + 1,300$
	18,900 sf. to 40,000 sf.	$(\text{Lot Area}) \times 0.125 + 2,500$
	40,001 sf. or larger	$(\text{Lot Area}) \times 0.125 + 2,500$

MAXIMUM GARAGE EXEMPTION

Garages that exceed the allowable square footages may be constructed, but the square footage in excess of that allowed should be deducted from the maximum square footage permitted for the residence. Prior to approval of a garage in excess of the allowable size, the project must be found to be in conformance with the City's Residential Design Guidelines. Note: the maximum width of a garage on a lot less than 18,900 square feet is 24 feet.

Lot Size	Garage Allowance
Less than 18,900 sf.	576 square feet with a maximum width of 24 feet
18,900 sf. to 40,000 sf.	600 square feet
40,001 sf. or larger	800 square feet

STEP 2. DETERMINE THE MAXIMUM BULK FOR YOUR SIZE LOT.	APPLICANT CALCULATION	CITY CALCULATION
A. ENTER THE TOTAL LOT SIZE CALCULATED IN STEP 1:	33027	
B. CHOOSE THE DWELLING TYPE, CHECK THE APPROPRIATE BOX	<div style="border: 1px solid black; padding: 2px;">SINGLE FAMILY</div> DUPLEX	
C. USING THE APPROPRIATE FORMULA BASED ON THE SIZE OF YOUR LOT, CALCULATE THE MAXIMUM ALLOWABLE BULK:	5581	
D. ENTER THE MAXIMUM BULK ON LINE M OF THE BUILDING SCALE SUMMARY SHEET ON PAGE 19.		
STEP 3. DETERMINE THE MAXIMUM GARAGE EXEMPTION.	APPLICANT CALCULATION	CITY CALCULATION
A. ENTER THE APPROPRIATE GARAGE ALLOWANCE BASED ON THE SIZE OF YOUR LOT.	600	
B. ENTER THE MAXIMUM GARAGE EXEMPTION ON LINE D OF THE BUILDING SCALE SUMMARY SHEET ON PAGE 19.		

SECTION TWO

BUILDING SIZE ANALYSIS

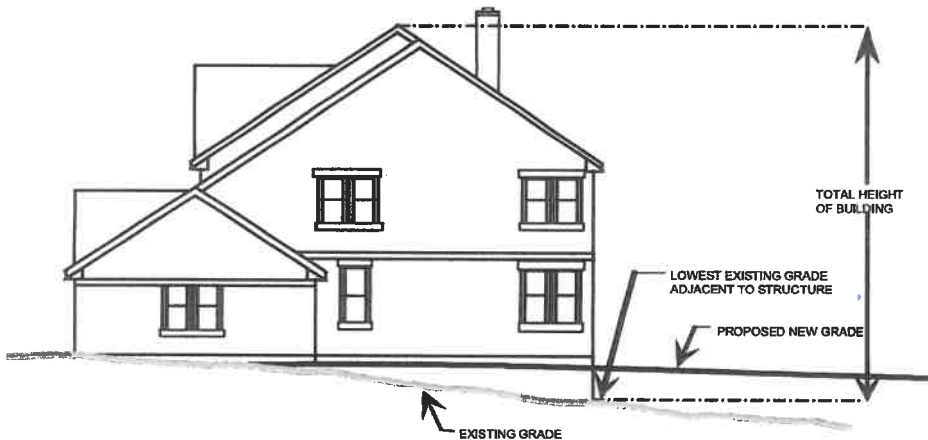
MAXIMUM DESIGN ELEMENT EXEMPTIONS

Design elements are architectural features of a building that add to a building's character and sense of style, and may sever to break up mass and reduce the appearance of excessive height and scale. Design elements include; open porches, covered entries, screen porches, porte-cocheres, pergolas, breezeways, dormers, and bay windows. To take advantage of this exemption, the design elements should be used in a manner that is appropriate for the architectural style of the residence, and the overall design of the building should be in conformance with City's Residential Design Guidelines. The total square footage of these elements does not exceed 10% above the maximum allowable square footage for the residence.

MAXIMUM BUILDING HEIGHT

Building height is measured from the lowest grade immediately adjacent to the proposed structure, prior to construction, to the highest roof ridge line. As Illustrated below.

LOT SIZE	MAXIMUM HEIGHT
Less than 18,900 sf.	30 ft
18,900 sf. to 40,000 sf.	35 ft
40,001 sf. or larger	40 ft



STEP 4. DETERMINE THE MAXIMUM DESIGN ELEMENT EXEMPTION.	APPLICANT CALCULATION	CITY CALCULATION
A. MULTIPLY THE MAXIMUM ALLOWABLE BULK DETERMINED IN STEP 2 BY 0.10 TO FIND THE MAXIMUM EXEMPTION AMOUNT. ENTER IT IN THE SPACE TO THE RIGHT.	558	
B. ENTER THE MAXIMUM DESIGN ELEMENT EXEMPTION ON LINE B OF THE BUILDING SCALE SUMMARY SHEET ON PAGE 19.		
STEP 5. DETERMINE THE MAXIMUM BUILDING HEIGHT.	APPLICANT CALCULATION	CITY CALCULATION
A. SELECT THE APPROPRIATE MAXIMUM BUILDING HEIGHT BASED ON THE SIZE OF YOUR LOT AND ENTER IT IN THE SPACE TO THE RIGHT.	35	
B. ENTER THE MAXIMUM BUILDING HEIGHT ON LINE N OF THE BUILDING SCALE SUMMARY SHEET ON PAGE 19.		

SECTION THREE

CALCULATE THE BULK

STEP 6. CALCULATE THE DESIGN ELEMENT EXEMPTIONS.

A. ENTER THE SQUARE FOOTAGE OF EACH ELEMENT.	Open Porches	=	_____ SF
	Screen Porches	=	_____ SF
	Covered Entries	=	<u>141</u> SF
	Porticos	=	_____ SF
	Breezeways	=	_____ SF
	Porte-Cochere	=	_____ SF
	Pergolas	=	<u>218</u> SF
B. ENTER THE TOTAL SQUARE FOOTAGE OF ALL DESIGN ELEMENTS	Dormer Windows	=	_____ SF
	Bay Windows	=	<u>28</u> SF
	Total Actual Design Elements	=	<u>387</u> SF
C. ENTER THE MAXIMUM DESIGN ELEMENT EXEMPTIONS DETERMINED FROM STEP 4, ABOVE.	Maximum Design Element Exemption	=	<u>558</u> SF
D. SUBTRACT THE MAXIMUM EXEMPTION TO DETERMINE IF THERE IS ANY EXCESS TO BE COUNTED IN THE TOTAL BULK.	Excess Design Elements	=	<u>—</u> SF
E. ENTER THE TOTAL ACTUAL DESIGN ELEMENTS ON LINE C OF THE BUILDING SCALE SUMMARY SHEET ON PAGE 19. ENTER THE EXCESS DESIGN ELEMENT SQUARE FOOTAGE IN THE SUMMARY COLUMN ALONG THE RIGHT SIDE OF THE PAGE.			

SECTION THREE

CALCULATE THE BULK

GARAGE AREA

Garages that exceed the maximum exempt square footage may be constructed, but the square footage in excess will be applied to the total square footage of the building. Prior to approval of a garage in excess of the allowable size, the project must be found to be in conformance with the City's Residential Design Guidelines.

On lots that are less than 18,900 square feet in size, the garage width may not exceed 24 feet.

LOT SIZE	GARAGE ALLOWANCE
Less than 18,900 sf.	576 square feet with a maximum width of 24 feet
18,900 sf. to 40,000 sf.	600 square feet
40,001 sf. or larger	800 square feet

STEP 7. CALCULATE THE GARAGE SIZE			APPLICANT CALCULATION	CITY CALCULATION
A	X	=	764	
B	X	=		
C	X	=		
D	X	=		
E	X	=		
F	X	=		
H	X	=		
I	X	=		
J	X	=		
K	X	=		
L	X	=		
M	X	=		
N	X	=		
O	X	=		
1. TOTAL GARAGE SIZE ENTER THE SUM OF A THRU O.			764 SF	SF
2. MAXIMUM GARAGE EXEMPTIONS ENTER THE MAXIMUM EXEMPTION DETERMINED IN STEP 3.			600 SF	SF
3. EXCESS GARAGE SIZE IF THE TOTAL GARAGE AREA IS LARGER THAN THE MAXIMUM GARAGE EXEMPTION, ENTER THE EXCESS NUMBER TO THE RIGHT.			164 SF	SF
4. GARAGE WIDTH FOR LOTS LESS THAN 18,900 SQUARE FEET IN SIZE, ENTER THE STREET FACING GARAGE WIDTH. FOR LARGER LOTS, ENTER N/A - NOT APPLICABLE.			— FT	FT
5. IN THE SUMMARY SHEET ON PAGE 19, ENTER THE TOTAL GARAGE SIZE ON LINE E, AND THE EXCESS GARAGE SIZE IN THE SUMMARY COLUMN ALONG THE RIGHT SIDE OF THE PAGE. IF APPLICABLE, ENTER THE GARAGE WIDTH ON LINE D2.				

SECTION FOUR

BUILDING SCALE SUMMARY SHEET

STEP 14. CHECK TO MAKE SURE THAT ALL APPLICABLE CATEGORIES HAVE BEEN ENTERED. SUMMARIZE THE CALCULATION IN THE RIGHT HAND SIDE. SUBTRACT THE MAXIMUM ALLOWABLE BULK (LINE M) FROM THE TOTAL SQUARE FOOTAGE (LINE L) TO DETERMINE THE NUMERIC AND PERCENTAGE DIFFERENTIAL (LINE N).

LOT AREA: <u>35027</u> SF	TABLELAND <u>—</u> SF	NON-TABLELAND <u>—</u> SF
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SQUARE FOOTAGE OF EXISTING OR NEW RESIDENCE:

(A) 1ST FLOOR 3568 2ND FLOOR 1847 3RD FLOOR —

(B) MAXIMUM DESIGN ELEMENT EXEMPTION = 558 SF

(C) TOTAL ACTUAL DESIGN ELEMENTS = 387 SF

(D) MAXIMUM GARAGE EXEMPTION = 600 SF

(E) TOTAL GARAGE SIZE = 764 SF

(F) BASEMENT AREA

(G) ACCESSORY BUILDINGS / OTHER

(H) **TOTAL SQUARE FOOTAGE OF EXISTING OR NEW RESIDENCE**

SQUARE FOOTAGE OF PROPOSED ADDITIONS:

(I) 1ST FLOOR _____ 2ND FLOOR _____ 3RD FLOOR _____

(J) EXCESS NEW GARAGE AREA

(K) EXCESS NEW DESIGN ELEMENTS

(L) **TOTAL SQUARE FOOTAGE (EXISTING & PROPOSED)**

(M) **MAXIMUM ALLOWABLE BULK**

(N) **DIFFERENTIAL**

(O) ALLOWABLE HEIGHT 35' FT. (P) ACTUAL HEIGHT 38' FT.

• SUMMARY •

= 5415 SF

EXCESS = 0 SF

Excess = 164 SF

= 0 SF

= 0 SF

TOTAL = 5579 SF

= — SF

Excess = — SF

Excess = — SF

TOTAL = 5579 SF

= 5581 SF

= 2 SF, = — %

UNDER / OVER
MAX. BULK
 (CIRCLE ONE)

(D2) GARAGE WIDTH = _____
 MAY NOT EXCEED 24' IN WIDTH ON
 LOTS 18,900 SF OR LESS IN SIZE