

Agenda Item 3
1400 Oak Knoll Drive

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Materials
Site Plan
Conceptual Rendering - Front
Elevations
Roof Plan
Section
Floor Plans
Streetscape Graphic - Partial
Preliminary Grading and Tree Removal Plan
Tree Removal and Landscape Plan

Materials from February 7th

Conceptual Rendering
Elevations

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1400 Oak Knoll Drive

Continued consideration of a request for approval of a new residence and the associated landscape plan on a vacant lot.

Property Owner: Jamie and Sophia Childs

Contract Purchasers: Joseph Paul D'Cruz and Dewelyn Diana Menezes

Project Representative: Jeff Letzter, Project Manager

Staff Contact: Luis Prado, Assistant Planner

Previous Board Consideration of the Petition

This project was presented to the Board at the February 7th meeting. The Board continued consideration of the petition and provided the following direction to the petitioner.

- Mitigate the starkness of the materials and colors.
- Study and refine the front elevation with particular attention to the front entrance.
- Reconsider use of the quoins.
- Refine the roof forms and pitch.
- Provide further articulation on the north elevation.
- Provide additional details on the landscape plan and in particular, provide for significant screening along the north property line.

Portions of the following sections may be repeated from previous staff reports on this petition.

Summary of Request

In 2020, the owners of the property submitted a petition for a new residence. The Board reviewed this petition and recommended approval of the proposed 2020 plans.

Now, the property is under contract to be sold. The plans now presented reflect the design desired by the contract purchasers.

Description of Property

The property is located on the west side of Oak Knoll Drive, between Old Mill Road and Estate Lane East. The property is one of three lots in the Estate Lane Subdivision which was approved and recorded in 2016. In 2020 and 2021, the Board, in addition to considering a new residence for the vacant parcel in this petition, considered and ultimately recommended approval of new residences for the other two lots in the Estate Lane Subdivision. Those houses were constructed and are located directly north and to the northwest of the property in that is the subject of this petition.

The property that is the subject of this request totals 25,000 square feet and is rectangular in shape.

The surrounding neighborhood contains homes of varying architectural styles built mostly during the 1980's. The construction of three new homes in the Estate Lane Subdivision is significant and the Board has considered each of the three homes carefully to ensure that the new homes fit quietly into the character of the neighborhood and generally offer the same quality of detail, construction and materials of the surrounding development. Larger homes are located to the south, on the east side of Oak Knoll Drive in the Biltmore Subdivision.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan – This standard is met.

The proposed residence faces east, toward Oak Knoll Drive. The driveway remains five feet away from the north property line as depicted in the February 7th plans. The current siting of the driveway is an improvement over the 2020 plan which located the driveway very close to the north property line with little space for landscaping or pervious surface to accommodate water runoff.

The site plan indicates a covered front entry, labeled as a porch. The plans also indicate a small outdoor pergola covered kitchen at the northwest corner of the house. There is also a parking surface extension to the west of the garage and driveway accommodating on site car parking for 2 vehicles.

The preliminary grading and drainage plan indicates that the proposed impervious surface on the site totals 6,028 square feet or 24 percent of the site, slightly less than the 26 percent coverage in the previous plan. The building footprint totals 3,347 square feet and the driveway totals 2,153. The walkways, stoops, and other minor improvements comprise the remainder of the impervious square footage.

The footprint of the current submission has adjusted slightly from the February 7th plans. The east wall of the garage has been simplified and the north wall of the

house has been stepped to break up the single plain massing which allows for smaller roof gables that provide further architectural character to the elevation.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,250 square feet is permitted on the site. In addition, a garage of up to 600 square feet is permitted along with up to 425 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The proposed residence totals 4,135 square feet.
- A total of 600 square feet is allowed for a garage on a property of this size. The proposed garage totals 682 square feet. The garage overage bumps the total square footage of the residence to 4,217 square feet.
- In addition to the above square footage, a total of 176 square feet of design elements are incorporated into the design of the house.
- The total is 33 square feet below the maximum bulk which is less than 1 percent under.

The maximum roof height is 30 feet 2 inches tall as measured from the lowest point of existing grade to the tallest roof peak which falls within the maximum allowable height of 35 feet for this lot.

Elevations – This standard is not fully met.

The petitioner's Statement of Intent outlines their design goal to "integrate a French Manor style home into an existing neighborhood". In this style, we will often find casement windows with tall glass panes, steeply peaked hipped roofs, upward flared eaves, the use of stone and a lack of covered porches typically seen in colonial houses.

The roof form presented in this updated packet is more in keeping characteristically with the French Manor style than previously presented although it remains very complex. The removal of one plane change on the east façade allows for the simplification of the roof arrangement producing a balanced gable flanking each side of the front door in a symmetrical arrangement. While this change unifies the front of the façade, it highlights the fact that the front door is not centered between the gables, which is a defining characteristic of the French Manor style.

The roof form is further complicated by newly introduced eyebrow dormers, which are consistent with French Manor Style, but the upward flaring of the eaves crowds the windows and appears a bit awkward on the garage. These mass and void additions detract from the overall façade.

Recommendations:

The arrangement of the front door and the porch should be further refined to balance the front elevation to be consistent with French Manor style.

Study and refine the roof further.

Two additional windows have been added on the south elevation that provides better architectural balance and breaks up the formerly solid wall.

The rear elevation remains dominated by the use of large windows. Some improvements have been made by adding a new quoin and window design on the right-hand side. The new design expresses more variation than the previous design.

Adjustments have been made on the north elevation through the addition of windows and quoins. This addresses previously expressed comments concerning the lack of articulation on this elevation. The garage doors remain located on this elevation and unchanged.

Type, color, and texture of materials – This standard is not fully met.

Dove white limestone is proposed for the façade, door trim, window trim, and chimney. As opposed to the previously selected Colonial revival style, this use of limestone aligns traditionally with French design.

Black asphalt roofing is proposed along with aluminum flashing, gutters, and downspouts.

Casement aluminum windows with simulated divided lites, affixed to the inside and outside of the windows remain in the design.

Asphalt paving for the driveway and concrete pavers for the rear patio and walkways remain.

The use of black windows is inconsistent with the French Manor style and detracts from the façade. There is a typical contrast between roofing material and façade material, but not an accentuation between the windows and the façade materials.

Recommendations:

Select a window mullion color consistent with French Manor style.

Provide further detail of the proposed materials including samples that illustrate the color and texture. As rendered, the house feels very stark given the contrast between roof and elevation material.

Landscaping – This standard can be fully met during review for permit.

The tree removals as detailed in the materials submitted by the petitioner include a considerable amount of Buckthorn and a couple Ash trees. These types of removals do not require any direct inch for inch replacement. However, the Code minimums for foundation plantings and planting of shade trees will still need to be met.

The preliminary landscape plan submitted reflects trees that will be preserved and protected and identifies additional trees and vegetation proposed for the site. The City's Certified Arborist is currently recommending that alternatives to Autumn Blaze Maples be used because although this species is quick growing, the trees decline fairly quickly in many cases. The City will provide the petitioner with a recommended plant/tree list for consideration as the final landscape plan is developed.

Recommendation:

The landscape plan shall include plantings along the north property line to provide a buffer between the rear yard of the neighboring home and the north elevation of the proposed home.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no correspondence was received regarding this petition in response to notice of this meeting.

Recommendation

Continue the petition for further refinement. Indicate support for the overall site plan. Provide direction to the petitioner based on the recommendations detailed above in this report as they may be modified, eliminated, or added to by the Board.

OR

Appoint a subcommittee of the Board to meet with the petitioners and City staff to review revised plans. If the subcommittee does not find the revised plans consistent with the direction, comments, and concerns raised by the Board, the petition will be returned to the full Board for further review..

The following conditions of approval are recommended for inclusion in the motion.

Conditions of Approval

1. The following elements shall be studied further and refined as directed by the Board.

Note to the Board: Please detail the elements to be studied and refined, if any.

2. All modifications to the plans including those made in response to Board further direction or discussion, or as the result of final design development, shall be clearly called out on the plans submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to verify that the plans as presented are consistent with the Board's approval or if further Board review is required prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify any trees proposed for removal and trees identified for protection and preservation.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.
- c. A detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. At a minimum, the plan must reflect foundation plantings around the entire structure, the number of trees required by the Code for new construction, and significant plantings along the north property line. The landscape plan shall specify the quantity, species, and size at the time of planting for all new landscaping. Consideration shall be given to the City's recommended planting list.

Drainage and Grading

- d. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking and Staging

- f. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1400 Oak Knoll Drive Owner(s) Joseph Paul D'Cruz & Dewelyn Diana Menezes
 Proj. Manager Jeff Letzter Reviewed by: L. Prado
 Date 2/1/2024
 Lot Area 25000 sq. ft. Allowed Square Footage 4250

Square Footage of Residence -- New

1st floor 2514 + 2nd floor 1621 + 3rd floor _____ = 4135 sq. ft.
 Design Element Allowance = 425 sq. ft.
 Total Actual Design Elements = 176 sq. ft. Excess = 0 sq. ft.
 Garage 681 sf actual ; 600 sf allowance Excess = 82 sq. ft.
 Garage Width NA ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*
 Basement Area = 0 sq. ft.
 Accessory buildings = 0 sq. ft.
 Total Square Footage of Residence = 4217 sq. ft.
 (minus Design Elements, plus garage overage)
 DIFFERENTIAL (Existing) = Under Maximum

TOTAL SQUARE FOOTAGE = 4217 sq. ft.
 TOTAL SQUARE FOOTAGE ALLOWED = 4250 sq. ft.
 DIFFERENTIAL = 33 sq. ft. **NET RESULT:**
Under Maximum 33 sq. ft. is
 Allowable Height: 35 ft. Actual Height 30'2" ft. Less t than 1% under
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 425 sq. ft.
 Front & Side Porches = 54 sq. ft.
 Rear & Side Screen Porches = 123 sq. ft.
 Covered Entries = 0 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = 0 sq. ft.
 Individual Dormers = 0 sq. ft.
 Bay Windows = 0 sq. ft.
 Total Actual Design Elements = 176 sq. ft. Excess Design Elements = 0 sq. ft.





Area of Request
1400 Oak Knoll Dr



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1400 OAK KNOLL DRIVE

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

Jamie & Sophia Childs, Owners
Joseph Paul D'Cruz & Dewelyn Diana Menezes, Contract Purchasers

Owner of Property

222 E. Wisconsin 303A

Owner's Street Address (may be different from project address)

Lake Forest, IL 60045

City, State and Zip Code

224-436-8310

Phone Number

Fax Number

Email Address

DocuSigned by:

Jamie Childs

73677DA173BA4D1...
Owner's Signature

DocuSigned by:

sophia childs

C40A311D96A848D...
Owner's Signature

ARCHITECT/BUILDER INFORMATION

SEFF LETETER / PROJECT MGR

DEAN BOTES / ARCHITECT

Name and Title of Person Presenting Project

ASPECT DESIGN, INC.

Name of Firm

26575 COMMERCE DR

Street Address

VOLO, IL 60073

City, State and Zip Code

(847) 497-2500

Phone Number

Fax Number

SEFFLET@ASPECTDESIGNINC.COM

Email Address

By: [Signature] ASPECT DESIGN, INC.

Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 8:00pm.

Please email a copy of the staff report

☒ OWNER ☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

☐ OWNER ☐ REPRESENTATIVE



Statement of Intent Lot 3 Estate Lane Subdivision

1. Background—The home will be built by Childs Development in the Estate Lane Subdivision.
2. Initial Goal—The purpose of the project is to integrate a French Manor style home into an existing neighborhood.
3. Design Strategy—The intent is to plan the home with garage to the North and have the front entry, front porch, and roof lines being the focal point as you view the home on the lot from Oak Knoll Drive, which works well as a reduction to the scale and proportions and appearance of mass which carries through on all the elevations of the home.
4. Materials – Dove White stone is to be used on the exterior of the building. The aluminum clad windows will be black. The roof will be black / charcoal architectural asphalt shingles.
5. Conclusion—Are intent is to build an attractive home that quietly fits into its current site. The restrained new quality of the home will be a wonderful addition to the neighborhood.
6. Variances— None are required for the proposed home in the R-2 zoning district.

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2-22-2A



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☒ Stone
☐ Brick
☐ Wood Clapboard Siding
☐ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material DOVE WHITE

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____
Color of Finish BLACK

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone (BUFF)
☐ Brick
☐ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☒ Limestone (BUFF)
☐ Brick
☐ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
☒ Stone (DOVE WHITE)
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Composition Shingles
☐ Sheet Metal
☒ Other ASPHALT

Flashing Material

- ☐ Copper
☐ Sheet Metal
☒ Other ALUMINUM

Color of Material BLACK/CHARCOAL

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☐ Brick Pavers
☒ Concrete Pavers
☐ Poured Concrete
☐ Other _____



SCALE: N.T.S.

1 SITE PLAN

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER (ARCH-D)

© CORBIS OUTLINE

<p>LOT 3</p> <p>D'CRUZ RESIDENCE</p>	<p>1400 OAK KNOLL DRIVE</p> <p>LAKE FOREST, IL 60045</p>
--------------------------------------	--

REVIEW	06/24/2023	REVIEW	01/11/2023
REVIEW	08/29/2023	REVIEW	10/29/2023
REVIEW	09/06/2023	REVIEW	10/24/2023
REVIEW	09/08/2023	REVIEW	03/07/2024
REVIEW	09/14/2023	REVIEW	03/14/2024
REVIEW	09/21/2023	REVIEW	02/15/2024
REVIEW	09/27/2023	REVIEW	02/16/2024
REVIEW	10/07/2023	REVIEW	02/26/2024

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IL 102618 & 14462126

PROJECT #	AD23159
DRAWN BY:	DB / MB
D'CRUZ RESIDENCE SITE PLAN	
AR 01	
# 1 OF 14 TOTAL SHEETS	

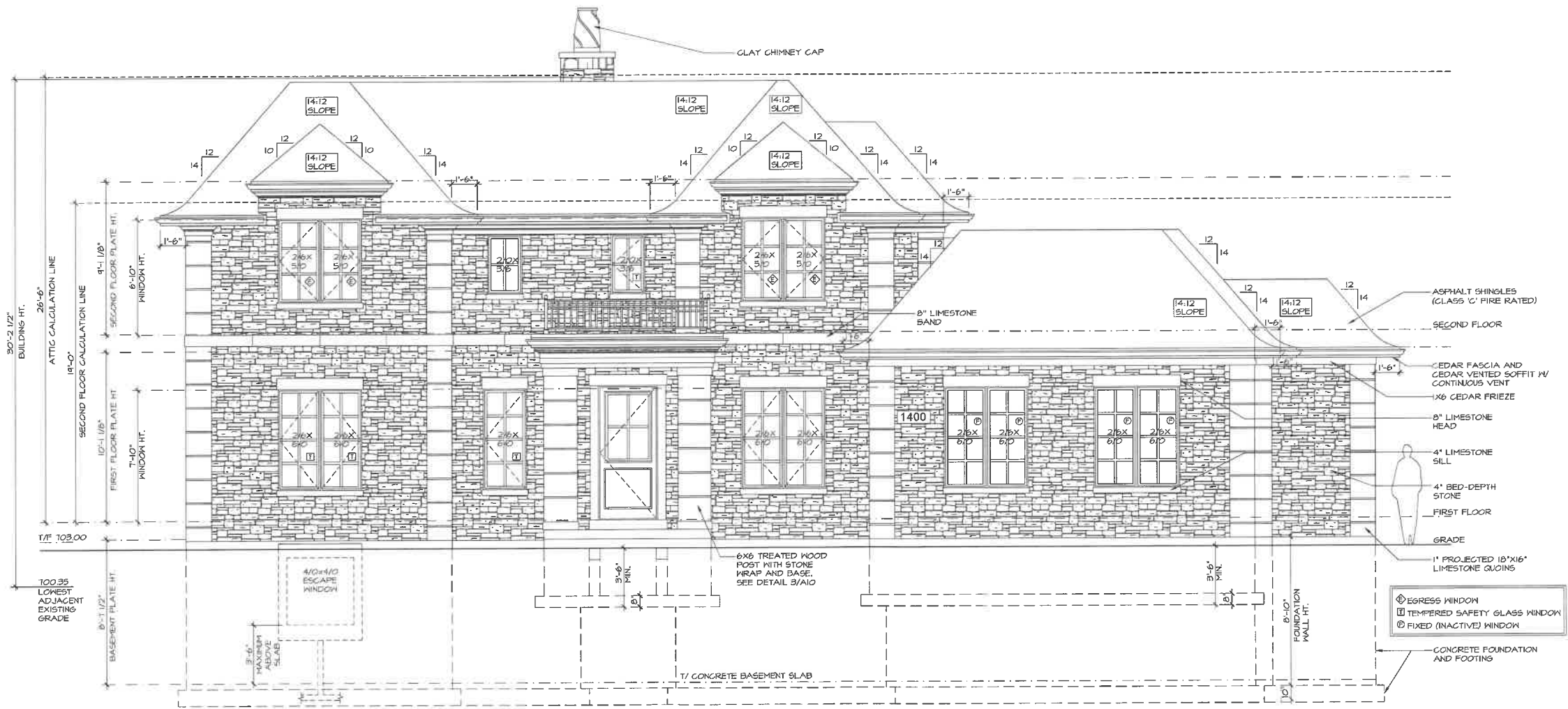
CONCEPTUAL RENDERING



1100 Oakwood

2/20/24

REVIEW ONLY-NOT FOR CONSTRUCTION



1 FRONT ELEVATION (EAST)
AR 02

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LOT 3
D'CRUZ RESIDENCE
1400 OAK KNOLL DRIVE
LAKE FOREST, IL 60045

REVIEW	00/01/2023
REVIEW	00/02/2023
REVIEW	00/03/2023
REVIEW	00/04/2023
REVIEW	00/05/2023
REVIEW	00/06/2023
REVIEW	00/07/2023
REVIEW	00/08/2023
REVIEW	00/09/2023
REVIEW	00/10/2023
REVIEW	00/11/2023
REVIEW	00/12/2023
REVIEW	00/01/2024
REVIEW	00/02/2024

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D'CRUZ RESIDENCE
EXTERIOR ELEVATIONS
AR 02
2 OF 14 TOTAL SHEETS


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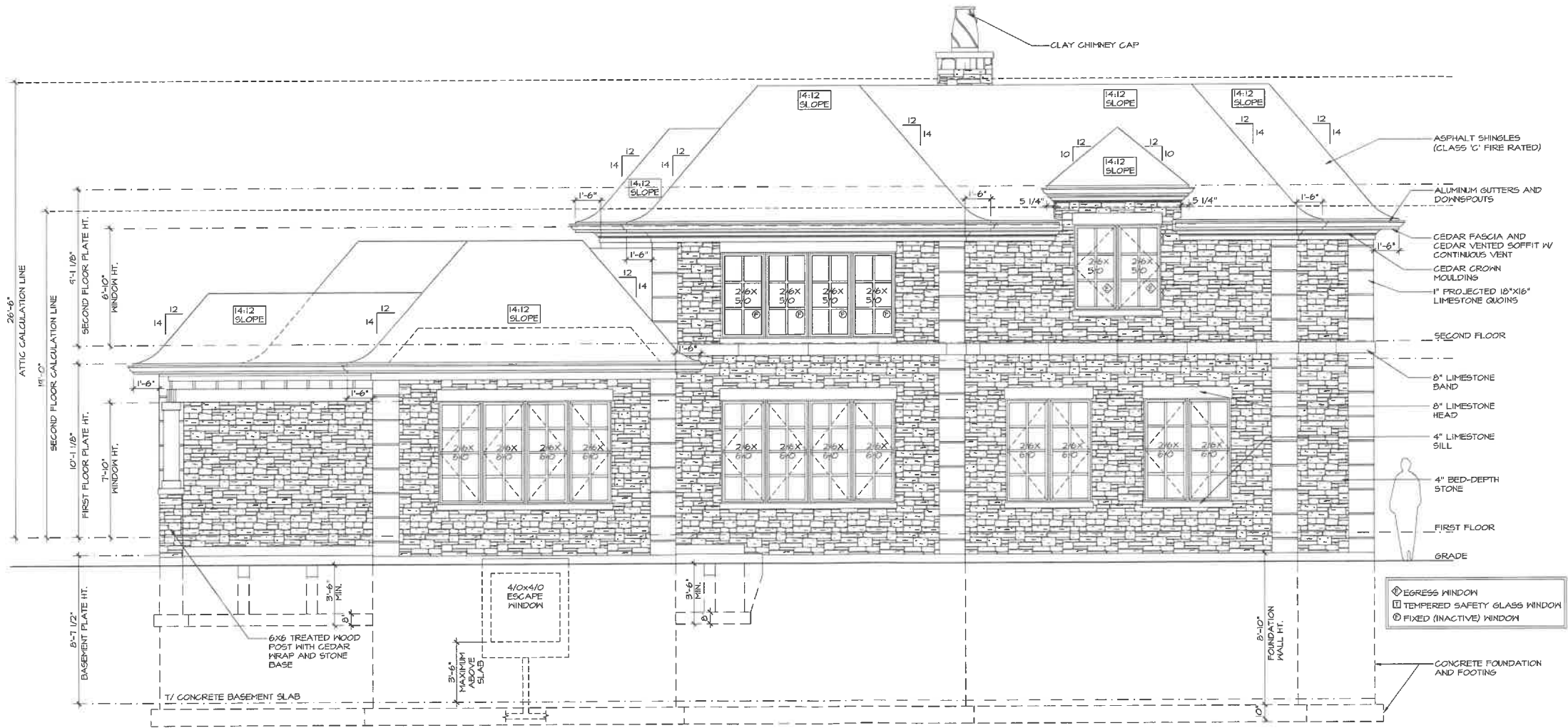
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		2575 COMMERCE DR. SUITE 607 VILGA, IL 60073 MAIN: 847-457-2500 IL: 847-457-2500 IL: 847-457-2500		LOT 3 D'CRUZ RESIDENCE 1400 OAK KNOLL DRIVE LAKE FOREST, IL 60045	
REVIEW	09/24/2023	REVIEW	10/11/2023		
REVIEW	09/26/2023	REVIEW	10/23/2023		
REVIEW	09/26/2023	REVIEW	10/24/2023		
REVIEW	09/26/2023	REVIEW	02/07/2024		
REVIEW	09/11/2023	REVIEW	02/14/2024		
REVIEW	09/27/2023	REVIEW	02/15/2024		
REVIEW	10/05/2023	REVIEW	02/26/2024		
PROJECT # AD231159 DRAWN BY: DR / MR D'CRUZ RESIDENCE EXTERIOR ELEVATIONS		AR 03			
# 3 OF 14 TOTAL SHEETS					

2/20/24

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1 REAR ELEVATION (WEST)
AR 04

SCALE: N.T.S.

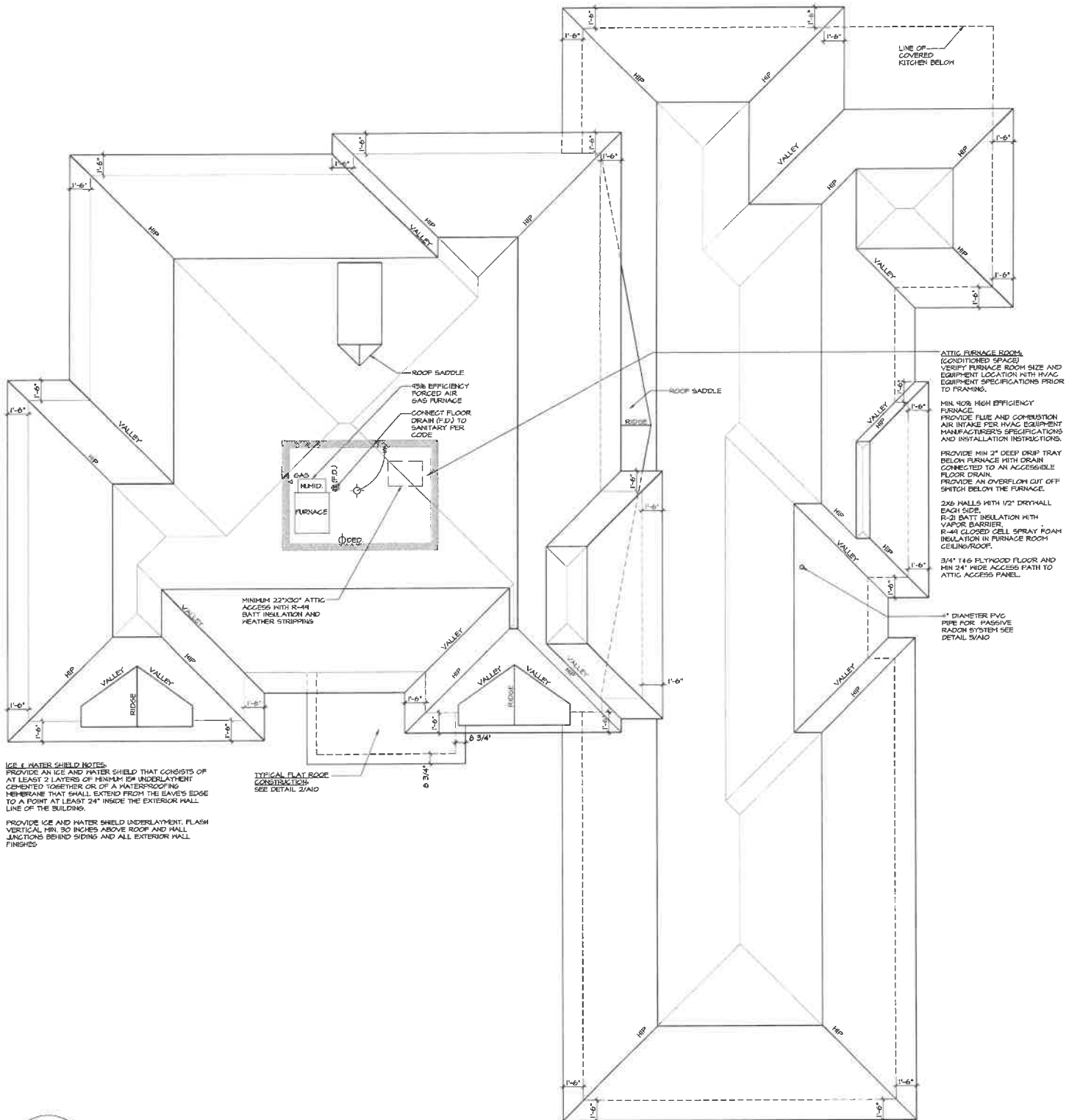
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LOT 3		D'CRUZ RESIDENCE	
1400 OAK KNOLL DRIVE		LAKE FOREST, IL 60045	
REVIEW	10/1/2023	REVIEW	10/1/2023
REVIEW	10/2/2023	REVIEW	10/2/2023
REVIEW	10/2/2023	REVIEW	10/2/2023
REVIEW	02/01/2024	REVIEW	02/01/2024
REVIEW	02/15/2024	REVIEW	02/15/2024
REVIEW	02/16/2024	REVIEW	02/16/2024
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REVIEW	09/17/2023	REVIEW	09/17/2023
REVIEW	10/05/2023	REVIEW	10/05/2023
PROJECT # AD13159			
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D'CRUZ RESIDENCE EXTERIOR ELEVATIONS			
AR 04			
# 4 OF 14 TOTAL SHEETS			

2/20/24

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LOT 3
D'CRUZ RESIDENCE
1400 OAK KNOLL DRIVE
LAKE FOREST, IL 60045

REVIEW	10/1/2023
REVIEW	10/2/2023
REVIEW	10/4/2023
REVIEW	02/07/2024
REVIEW	02/14/2024
REVIEW	02/15/2024
REVIEW	02/16/2024
REVIEW	02/20/2024

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PROJECT # AD23159
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D'CRUZ RESIDENCE
ROOF PLAN

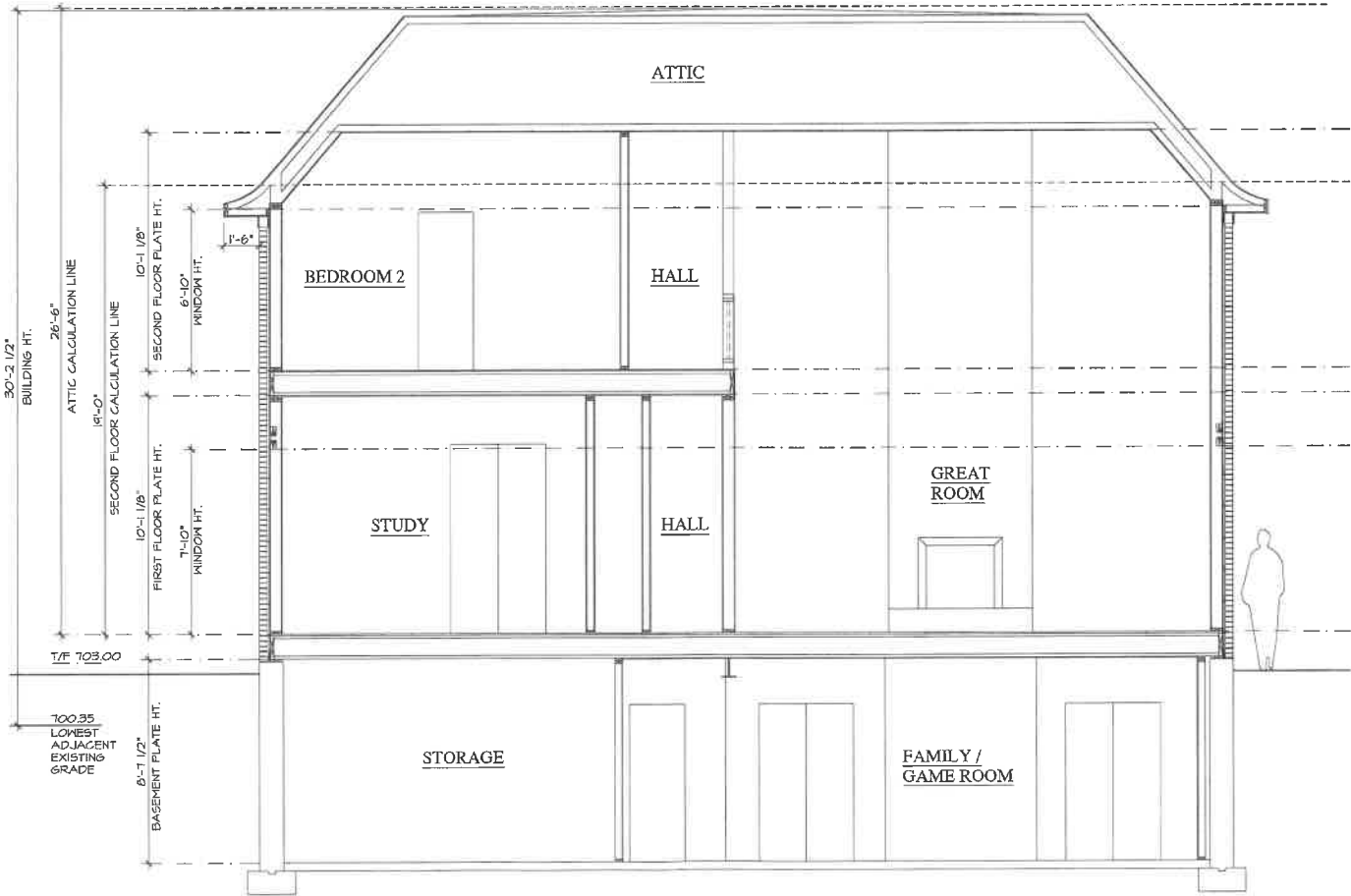
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10 OF 14 TOTAL SHEETS

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1 BUILDING SECTION
AR 11

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D'CRUZ RESIDENCE
BUILDING SECTION

AR 11

11 OF 14 TOTAL SHEETS

REVIEW	06/04/2023	REVIEW	10/11/2023
REVIEW	06/05/2023	REVIEW	10/23/2023
REVIEW	08/06/2023	REVIEW	10/24/2023
REVIEW	08/06/2023	REVIEW	02/07/2024
REVIEW	09/17/2023	REVIEW	02/14/2024
REVIEW	09/27/2023	REVIEW	02/15/2024
REVIEW	10/02/2023	REVIEW	02/16/2024
REVIEW		REVIEW	02/20/2024

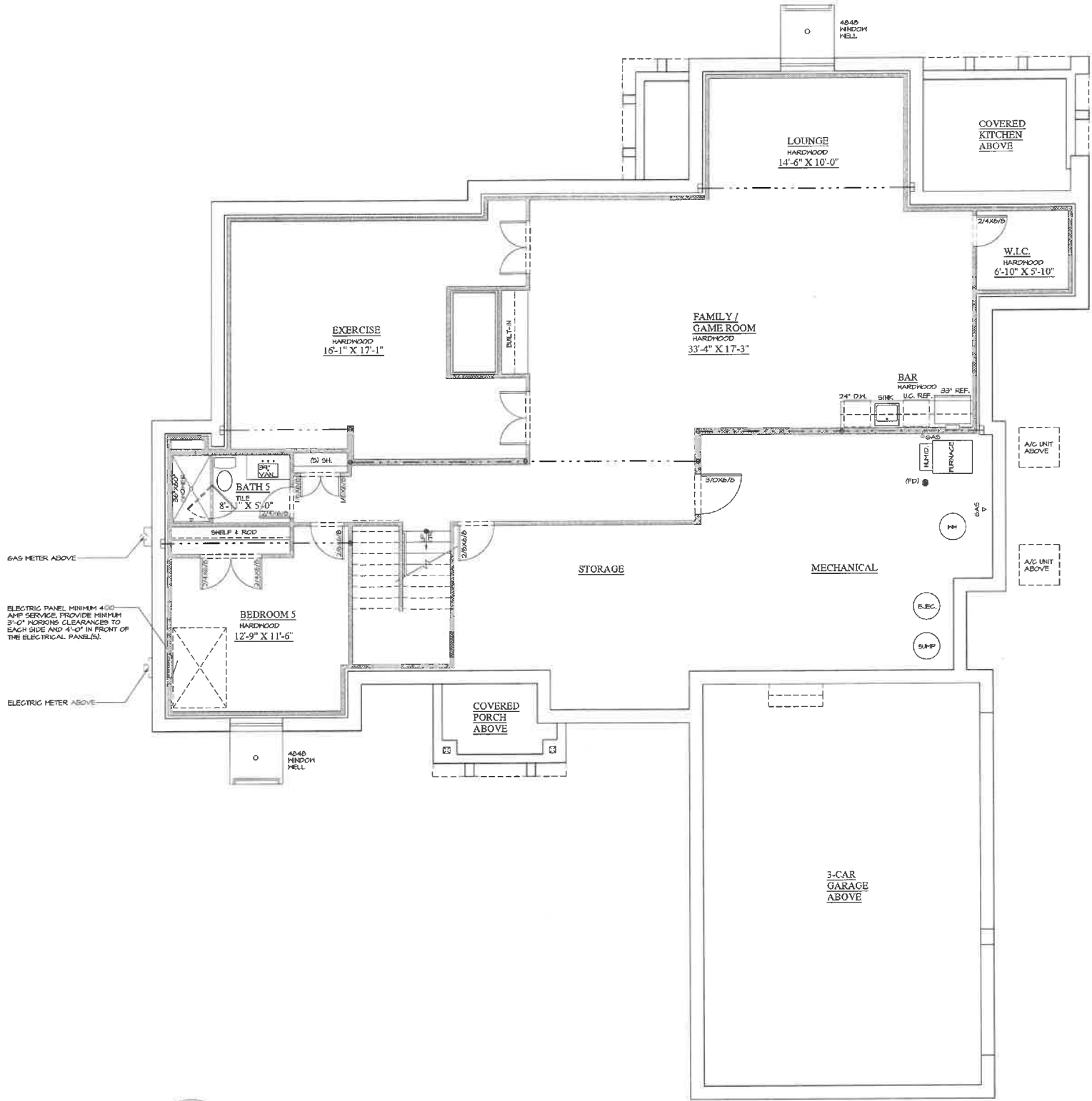
LOT 3

D'CRUZ RESIDENCE

1400 OAK KNOLL DRIVE
LAKE FOREST, IL 60045

2/20/24

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1 FINISHED BASEMENT PLAN
AR 07

SCALE N.T.S.

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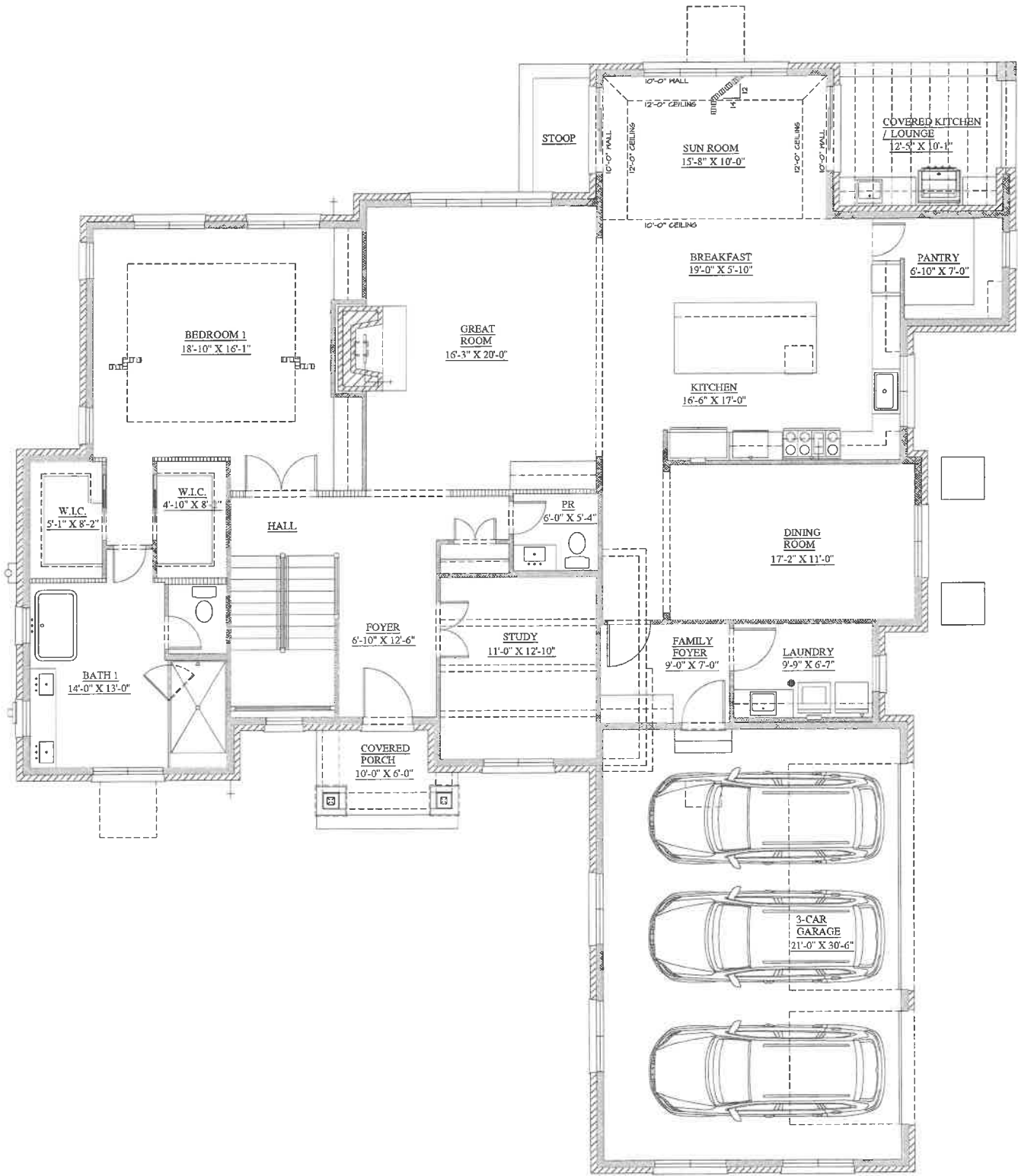
LOT 3
D'CRUZ RESIDENCE
1400 OAK KNOLL DRIVE
LAKE FOREST, IL 60045

10/1/2023	REVIEW
10/2/2023	REVIEW
10/2/2023	REVIEW
02/07/2024	REVIEW
02/14/2024	REVIEW
02/15/2024	REVIEW
02/16/2024	REVIEW

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www.aspectdesigninc.com
847-457-2500
ASPECT DESIGN INC. ARCHITECTS

PROJECT #	AD23159
DRAWN BY:	DR / MB
D'CRUZ RESIDENCE FINISHED BASEMENT PLAN	
AR 07	
# 7 OF 14 TOTAL SHEETS	

2/20/24



1 FIRST FLOOR PLAN
AR 08
SCALE: N.T.S.

REVIEW ONLY-NOT FOR CONSTRUCTION

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER (ARCH-D)

LOT 3
D'CRUZ RESIDENCE
1400 OAK KNOLL DRIVE
LAKE FOREST, IL 60045

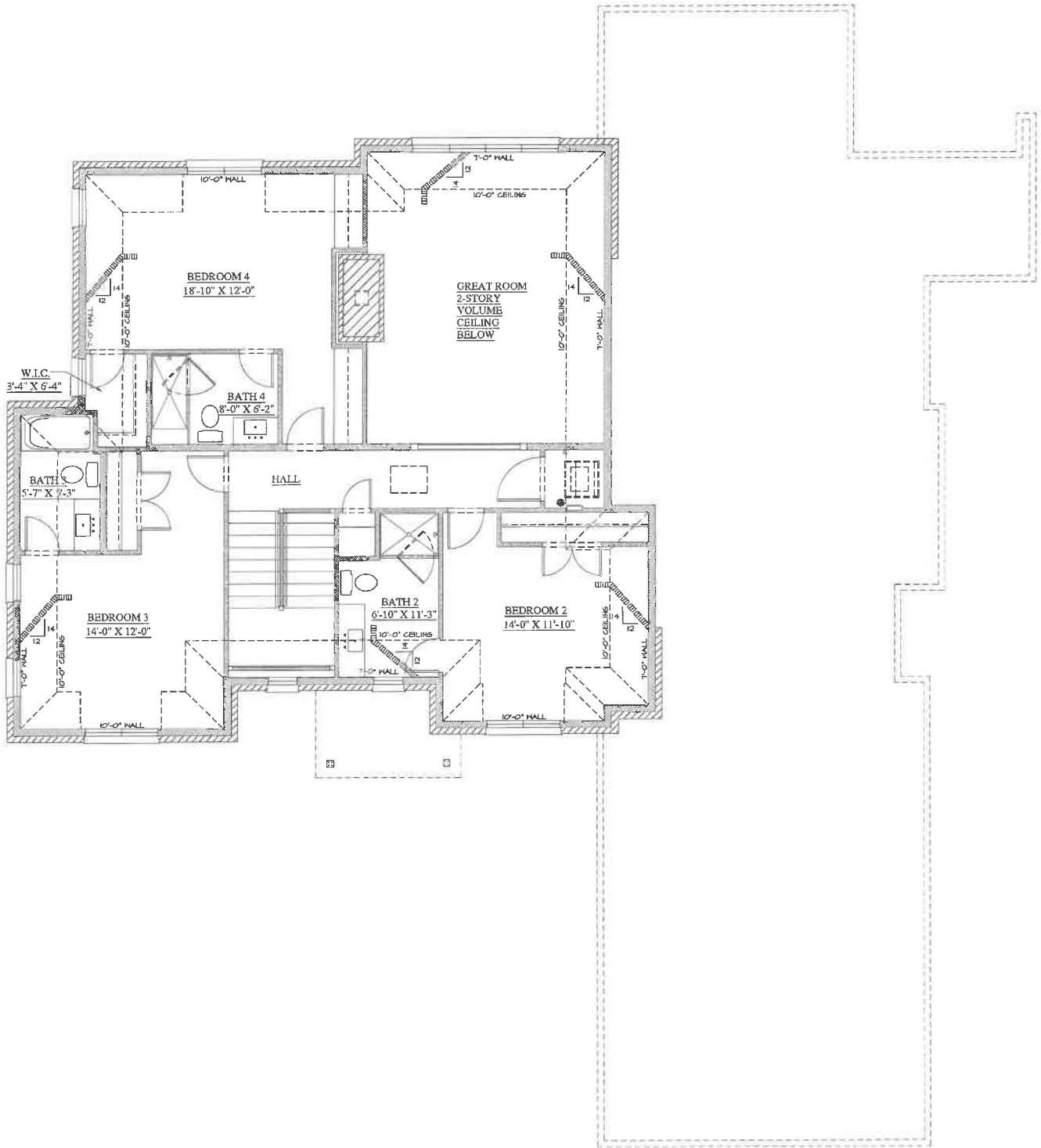
REVIEW	10/1/2023
REVIEW	10/2/2023
REVIEW	10/2/2023
REVIEW	02/07/2024
REVIEW	02/10/2024
REVIEW	02/10/2024
REVIEW	02/10/2024

ASPECT DESIGN INC.
ARCHITECTS
26574 COMMERCE DR.
SUITE 607
Volo, IL 60073
MADE: 847-457-2500
WWW.ASPECTDESIGN.COM
IL LICENSE # 160000016

PROJECT # AD23159
DRAWN BY: DB / MR
D'CRUZ RESIDENCE
FIRST FLOOR PLAN
AR 08
8 OF 14 TOTAL SHEETS

2/20/24

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NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER (ARCH-D)

ASPECT DESIGN INC.
ARCHITECTS

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
MAIN: 847-457-2500
FAX: 847-457-2501
WWW.ASPECTDESIGN.COM

PROJECT # AD23159
DRAWN BY: DR / MR
D'CRUZ RESIDENCE
SECOND FLOOR PLAN

AR 09

9 OF 14 TOTAL SHEETS

LOT 3
D'CRUZ RESIDENCE

1400 OAK KNOLL DRIVE
LAKE FOREST, IL 60045

REVIEW	08/24/2023	REVIEW	10/11/2023
REVIEW	04/20/2023	REVIEW	10/21/2023
REVIEW	09/05/2023	REVIEW	10/24/2023
REVIEW	09/05/2023	REVIEW	03/07/2024
REVIEW	09/14/2023	REVIEW	02/14/2024
REVIEW	09/17/2023	REVIEW	02/15/2024
REVIEW	09/27/2023	REVIEW	02/16/2024
REVIEW	10/02/2023	REVIEW	02/20/2024

2/20/24



1400 OAK KNOLL DRIVE



1380 OAK KNOLL DRIVE

1

AR 00

STREETSCAPE ELEVATION

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER (ARCH-D)

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PROJECT #
ADJ3159

DRAWN BY:
DR / MB

D'CRUZ RESIDENCE
STREETSCAPE ELEVATIONS

AR 00

0 OF 14 TOTAL SHEETS

16572 COMMERCE DR.
SUITE 607
CHICAGO, IL 60637
PHONE: 847-457-2500
WWW.ASPECTDESIGNINC.COM
ILLINOIS # 1846034

ASPECT DESIGN INC.
ARCHITECTS

REVIEW	08/24/2023	REVIEW	01/17/2023
REVIEW	01/25/2023	REVIEW	10/22/2023
REVIEW	09/04/2023	REVIEW	10/27/2023
REVIEW	09/04/2023	REVIEW	09/07/2024
REVIEW	09/14/2023	REVIEW	02/15/2024
REVIEW	09/27/2023	REVIEW	02/16/2024
REVIEW	10/25/2023	REVIEW	02/20/2024

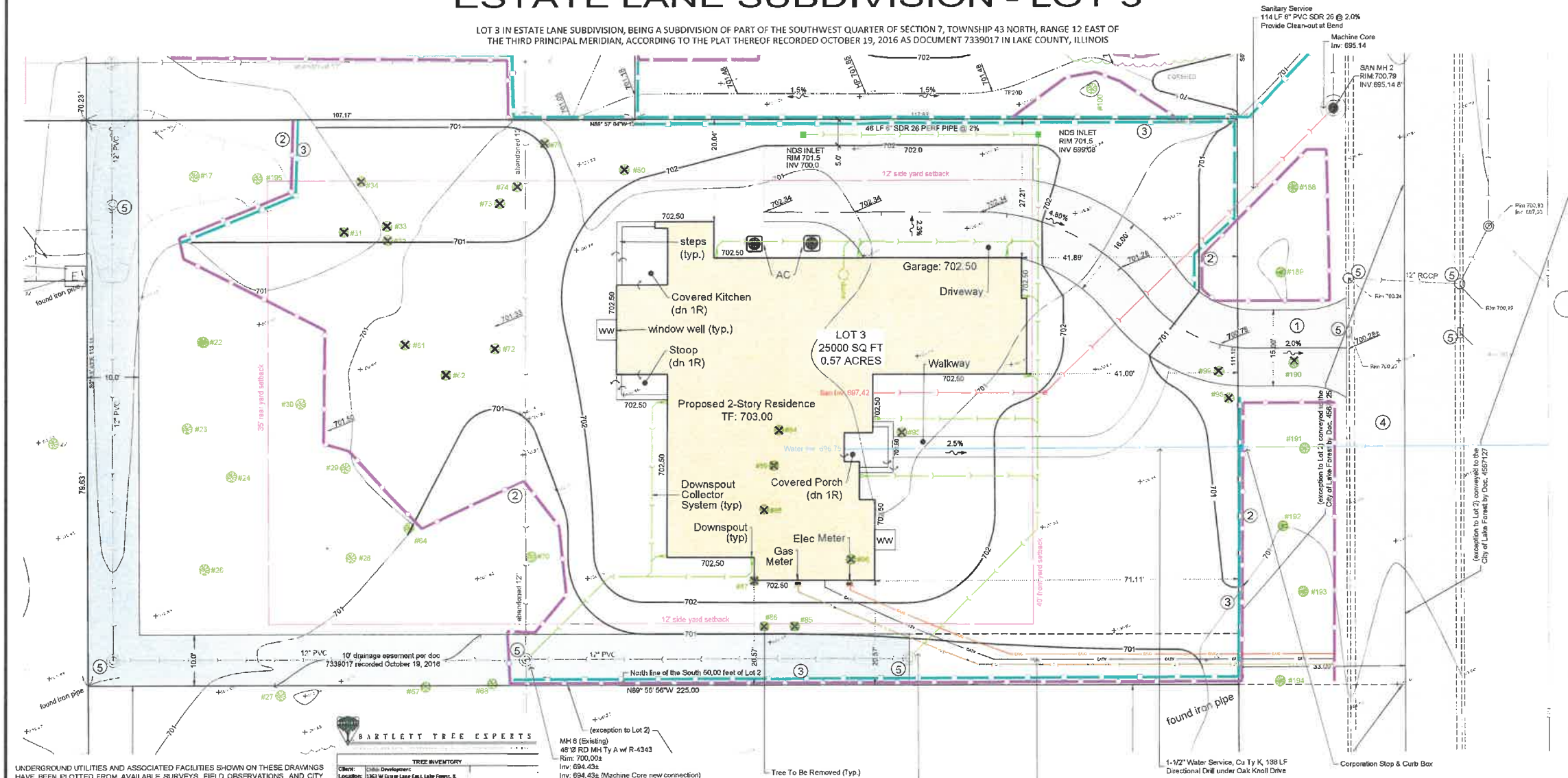
LOT 3

D'CRUZ RESIDENCE

1400 OAK KNOLL DRIVE
LAKE FOREST, IL 60045










ESTATE LANE SUBDIVISION - LOT 3

LOT 3 IN ESTATE LANE SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 43 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 2016 AS DOCUMENT 7339017 IN LAKE COUNTY, ILLINOIS



UNDERGROUND UTILITIES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, FIELD OBSERVATIONS, AND CITY RECORDS, THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.

LEGEND

- | | | | |
|--|-------------------------------------|---|--|
|  | Empty Property Line |  | Empty Culvert |
|  | Foundation Pipe |  | Excavating |
|  | Foundation Hole |  | Existing Catch Basin |
|  | Found High Voltage Marker |  | Existing Manhole |
|  | Existing Gas and Outer |  | Existing Hand Tunnel Section |
|  | Existing Cut |  | Existing Hand Tunnel |
|  | Edge of Existing Traffic Way |  | Existing Light & Box |
|  | Existing Wall/Fence |  | Existing Valve and ValveB |
|  | Existing Marker |  | Existing Domestic Water Valve |
|  | Existing Meter Casing |  | Existing Gas Stop & Box |
|  | Spot Elevation |  | Existing Manhole |
|  | Existing Gas Main |  | Existing Traffic Control Markings |
|  | Existing Water Main |  | Existing Traffic Light |
|  | Existing Communication Cable |  | Existing Traffic Light Arm |
|  | Existing Fiber Optic Cable |  | Existing Electric Handhole |
|  | Existing Underground Electric Cable |  | Existing Telephone Handhole / Patchbox |
|  | Existing Overhead Electric Cable |  | Existing Power Pole / Guy Wire |
|  | Existing Street Lighting Cable |  | Existing Street Light |
|  | Existing Storm Sewer |  | Existing Sign |
|  | Existing Sanitary Sewer |  | Existing Deadend Tree / Jammed |
| ABBREVIATIONS:
T & P = Trench and Reconnected
open = open
C = Concrete
V = Vertical Clay Pipe
RCP = Rigid Reinforced Concrete Pipe
DCP = Ductile Corrugated Pipe
P = Polyethylene
C = Castable
G = Glass Fiber Reinforced Plastic
C = Concrete
V = Vertical Clay Pipe
RCP = Rigid Reinforced Concrete Pipe
DCP = Ductile Corrugated Pipe
P = Polyethylene
C = Castable
G = Glass Fiber Reinforced Plastic | |  | |

NOTE FOR ADDITIONAL STANDARD SYMBOLS AND ABBREVIATIONS USED THROUGHOUT THESE PLANS
SEE II-1.060 FORMER EDITION OF TRANSPORTATION STANDARD SPECIFICATIONS

SEE ENLARGED TREE INVENTORY

TRIP INFORMATION						
Client:		Laska Developers				
Location:		1240 W. Lake Lane East, Lake Forest, IL				
Dates:		10/10/10 - 10/11/10				
Condition:	5 x Decker	4 x Gd	3 x Fair	2 x Poor	1 x Dist	
1sg	Blue					
19a	10b1b	Argillite	Condition			Location
22	95.5"	Siderite	3			Sw. central corner
75	33.5"	Shale matrix	3			Sw. East corner
76	22.5"	American Elm	2			Sw. East corner
26	12"	American Elm	2			SW. central corner
27	12"	American Elm	2			SW. central corner
28	9"	American Elm	3			Southeast corner
29	11"	American Elm	3			Southeast corner
30	12"	Basaltite	3			Southeast corner
31	PC, P, V, P	Basaltite	1			SW. central corner
32	8"	Basaltite	3			SW. central corner
34	8"	Basaltite	3			SW. central corner
35	8"	Basaltite	3			SW. central corner
36	8"	Basaltite	3			SW. central corner
37	8"	Basaltite	3			SW. central corner
38	8"	Basaltite	3			SW. central corner
40	37"	Shale	3			SW. central corner
41	37"	Shale	3			SW. central corner
68	8.5"	Shale	3			SW. central corner
70	16"	Shale	3			SW. central corner
71	16"	Shale	3			SW. central corner
72	16"	Shale	3			SW. central corner
73	16"	Shale	3			SW. central corner
74	16"	Shale	3			SW. central corner
75	16"	Shale	3			SW. central corner
76	16"	Shale	3			SW. central corner
77	16"	Shale	3			SW. central corner
78	16"	Shale	3			SW. central corner
79	16"	Shale	3			SW. central corner
80	16"	Shale	3			SW. central corner
81	16"	Shale	3			SW. central corner
82	16"	Shale	3			SW. central corner
83	16"	Shale	3			SW. central corner
84	16"	Shale	3			SW. central corner
85	16"	Shale	3			SW. central corner
86	16"	Shale	3			SW. central corner
87	16"	Shale	3			SW. central corner
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95	16"	Shale	3			SW. central corner
96	16"	Shale	3			SW. central corner
97	16"	Shale	3			SW. central corner
98	16"	Shale	3			SW. central corner
99	16"	Shale	3			SW. central corner
100	16"	American Elm	4			Southwest border
101	30"	French's Shingle	4			East Porchway
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292	30"	French's Sh				

(exception to Lot 2)

MH 6 (Existing)
48"Ø RD MH Ty A w/ R-4343
Rim: 700.00±
Inv: 694.43±
Inv: 694.43± (Machine Core new connection)

Tree To Be Removed (Typ.)

MH 7 (Existing)
24"Ø Inlet Ty A w/ R-4342
Rim: 700.38±
Inv: 694.60±
Inv: 694.60± (Machine Core)

Proposed Gas, Telephone, and Buried Electric Services
Connect to facilities in ROW, Coordinate w/ Utility Owners
Directional drill through critical root zones and under Oak Knoll Drive

1-1/2" Water Service, Cu Ty K, 138 LF
Directional Drill under Oak Knoll Drive

Corporation Stop & Curb Box

Notes:

1. Downspouts to go below grade into stormwater collection system.
2. For downspouts tying into sewer system, provide 2" air gap.
3. All proposed storm sewer shall be 6" PVC SDR 26 @ 2.0% unless otherwise noted.

Impervious Area Calculations
Estate Lane Subdivision, Lake Forest, Illinois

Lot Area: 25,000 sf		70-904-3
Existing - Vacant	Proposed	
	House	3,347 sf
	Stoops	250 sf
	Driveway	2,153 sf
	Wells	32 sf
	Walkway	246 sf
	Total	6,028 sf
		0.14 ac
	Coverage	24%

- | | |
|---|---|
| ① | STABILIZED CONSTRUCTION ENTRANCE
Use proposed driveway footprint: |
| ② | TREE PRESERVATION & CONSTRUCTION LIMITS FENCE
Temporary 4' Tall Green Snow Fence w/ Steel Posts |
| ③ | SILT FILTER FENCE
Shall comply with AASHTO Standard M 248-00 |
| ④ | MUD AND DUST CONTROL |
| ⑤ | TEMPORARY INLET PROTECTION
All open lot structures to have Catch All Sockets or approved equal. |
| ⑥ | EROSION CONTROL BLANKET
North American Green S75 |

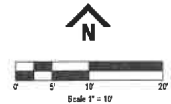
BLECK

engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 W bleckeng.com

Single Family Residence

Lake Forest, IL



BENCHMARK: Arrow Not on Fire Hydrant at
SW Corner of Oak Knoll Drive and Estate Lane
East Intersection
ELEVATION = 705.10

ALL ELEVATIONS ON THESE PLANS ARE ON
CITY OF LAKE FOREST (USGS NAVD 88)
DATUM

	ISSUED DATE	ISSUED FOR
■	12.15.2023	BRB

PROFESSIONAL SEAL

"To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."

Michael G. Bleck, PE 12.15.2023

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 Model Protection Design Form 104-000011

CHILDS DEVELOPMENT
222 E. Wisconsin Ave, Suite 303A
Lake Forest, Illinois 60045

70-904-3	Project No.
MB	Drawn By
MGB	Checked By

Drawing No.

1

100

100

Drawing Name

Si

[illegible]



BARTLETT TREE EXPERTS

1960 OLD WILLOW ROAD NORTHBROOK, IL • (847) 559-9424 • FAX (847) 559-9423



TREE INVENTORY

Client: Marlin Ventures
Location: 1363 W Estate Lane East, Lake Forest, IL
Date: 5/1/2015 - Updated 3/04/2016

TREES PROPOSED FOR REMOVAL

Condition: 5 = Excellent 4 = Good 3 = Fair 2 = Poor 1 = Dead

Tag No.	Size (dbh)	Species	Condition	Location
1	23"	Mulberry	2	NW Corner
2	10"	Buckthorn	2	NW Corner
3	4", 5", 5", 6", 4"	Buckthorn	2	NW Corner
4	8"	Buckthorn	2	NW Corner
5	10"	Buckthorn	2	NW Corner
6	38"	Silver Maple	4	NW Corner
7	16.0	American Elm	3	NW Corner
8	11"	American Elm	3	NW Corner
9	6.5"	Siberian Elm	3	NW Corner
10	19"	Ash	1	NW Corner
11	9"	Buckthorn	2	West
12	17"	Ash	2	West
13	9"	Buckthorn	2	West
14	17"	American Elm	3	West
15	10", 6", 4"	Buckthorn	2	West
16	9"	Buckthorn	2	West
17	9"	Buckthorn	2	Southwest Corner
18	8"	Buckthorn	2	Southwest Corner
19	9", 8"	Buckthorn	2	Southwest Corner
20	10"	Buckthorn	2	Southwest Corner
21	11"	Boxelder	2	Southwest Corner
22	10.5"	Boxelder	2	Southwest Corner
23	33.5"	Silver Maple	3	Southwest Corner
24	17.5"	American Elm	3	Southwest Corner
25	15", 4", 3"	Buckthorn	2	Southwest Corner
26	12"	American Elm	2	Southwest Corner
27	10"	Buckthorn	2	Southwest Corner
28	9"	American Elm	3	Southwest Corner

Condition: 5 = Excellent 4 = Good 3 = Fair 2 = Poor 1 = Dead

Tag No.	Size (dbh)	Species	Condition	Location
29	12"	American Elm	3	Southwest Corner
30	8", 9"	Buckthorn	2	Southwest Corner
31	8", 6", 3"	Buckthorn	1	Southwest Corner
32	9"	Buckthorn	2	Southwest Corner
33	9"	Buckthorn	2	Southwest
34	7", 7"	Buckthorn	2	Southwest
35	14", 10", 8"	Buckthorn	2	Southwest
36	7", 5", 3"	Buckthorn	1	Southwest
37	22"	Silver Maple	3	West
38	28"	American Elm	3	West
39	14"	Ash	1	West
40	21"	Ash	1	West
41	6.5"	Ash	1	West
42	10", 7"	Buckthorn	2	West
43	14"	American Elm	3	Northwest
44	8"	Buckthorn	2	Northwest
45	9", 7", 7"	Buckthorn	2	Northwest
46	11"	Buckthorn	2	Northwest
47	7", 6", 5"	Buckthorn	2	Northwest
48	13"	Buckthorn	2	Northwest
49	15"	Norway Maple	4	Northwest
50	10"	Buckthorn	2	Northwest
51	13.5"	Black Cherry	2	Northwest
52	34.5"	White Oak	3	Front Yard
53	27"	American Elm	3	Front Yard
54	26.5"	Burr Oak	4	Front Yard
55	21"	American Elm	3	Front Yard
56	19.5"	Red Oak	4	Front Yard
57	28"	American Elm	4	Front Yard
58	33"	American Elm	4	Backyard
59	8", 11", 15"	Austrian Pine	4	Backyard
60	7", 6", 5", 3"	Buckthorn	1	Southwest
61	11"	Buckthorn	2	Southwest
62	7", 8"	Buckthorn	1	Southwest
63	8", 7"	Buckthorn	2	Southwest
64	13", 6"	Buckthorn	2	Southwest
65	8", 5"	Buckthorn	2	Southwest
66	10", 5", 3"	Buckthorn	2	Southwest
67	8", 6"	Buckthorn	2	Southwest
68	8.5"	Buckthorn	2	Southwest
69	6", 5"	Buckthorn	2	Southwest
70	16"	American Elm	3	Southwest
71	9"	Buckthorn	2	Southwest
72	9", 8"	Buckthorn	2	Southwest

Condition: 5 = Excellent 4 = Good 3 = Fair 2 = Poor 1 = Dead

Tag No.	Size (dbh)	Species	Condition	Location
73	8", 6"	Buckthorn	2	Southwest
74	9"	Buckthorn	2	Southwest
75	9"	Buckthorn	2	Southwest
76	10"	Buckthorn	2	Southwest
77	6", 6", 5", 4"	Buckthorn	2	Southwest
78	6", 6", 4", 8"	Buckthorn	2	Southwest
79	8"	Buckthorn	2	Mid South
80	10"	Buckthorn	2	Mid South
81	9"	Buckthorn	1	Mid South
82	7", 9", 7", 4"	Buckthorn	2	Mid South
83	11"	Buckthorn	2	Mid South
84	8"	Buckthorn	1	Mid South
85	7", 3", 4"	Buckthorn	2	Mid South
86	8.5"	Buckthorn	2	Mid South
87	8", 8", 4", 5"	Buckthorn	2	Mid South
88	7", 6", 5"	Buckthorn	2	Mid South
89	7", 6", 3"	Buckthorn	2	Mid South
90	12"	Buckthorn	2	Mid South
91	8", 6", 3", 6"	Buckthorn	2	Mid South
92	5", 5", 6", 6"	Buckthorn	2	South East Corner
93	6", 7", 4", 5"	Buckthorn	2	South East Corner
94	6", 7", 5"	Buckthorn	2	South East Corner
95	23"	American Elm	3	South East Corner
96	4", 5", 5", 6"	Buckthorn	2	South East Corner
97	8", 7", 6", 4", 9"	Buckthorn	2	South East Corner
98	8.5"	Ash	3	South East Corner
99	9"	Ash	3	South East Corner
100	28"	American Elm	4	Southeast Border
101	12.5"	Colorado Spruce	3	Southeast Border
102	14"	Colorado Spruce	3	Southeast Border
103	10.5"	Colorado Spruce	3	Southeast Border
104	8.5"	Norway Maple	5	Southeast Border
105	21.5"	American Elm	4	East Border
106	15"	Austrian Pine	3	East Border
107	8", 7", 7", 6", 5"	Buckthorn	2	East Border
108	13"	Austrian Pine	3	East Border
109	17"	Austrian Pine	1	East Border
110	2", 6", 7", 2", 3"	Buckthorn	2	East Border
111	10"	Austrian Pine	2	North East Border
112	12"	Austrian Pine	3	North East Border
113	14"	Austrian Pine	3	North East Border
114	18"	White Oak	5	North East Border
115	15"	Red Oak	4	North East Border
116	9"	Buckthorn	2	North East Border

Condition: 5 = Excellent 4 = Good 3 = Fair 2 = Poor 1 = Dead

Tag No.	Size (dbh)	Species	Condition	Location
177	7"	Buckthorn	2	Northwest Corner
178	5"	Ash	4	North Parkway
179	MS	Crabapple	3	East Parkway
180	MS	Crabapple	3	East Parkway
181	MS	Crabapple	3	East Parkway
182	10"	Freeman Maple	4	East Parkway
183	10"	Freeman Maple	4	East Parkway
184	12"	Freeman Maple	4	East Parkway
185	MS	Crabapple	3	East Parkway
186	MS	Crabapple	3	East Parkway
187	MS	Crabapple	3	East Parkway
188	10"	Freeman Maple	4	East Parkway
189	12"	Freeman Maple	4	East Parkway
190	10"	Freeman Maple	4	East Parkway
191	12"	Freeman Maple	4	East Parkway
192	10"	Freeman Maple	4	East Parkway
193	10"	Freeman Maple	4	East Parkway
194	MS	Crabapple	3	East Parkway
195	32"	Silver Maple	3	Southwest Corner
196	9"	Arborvitae	3	East of House

TREE REMOVAL AND LANDSCAPE PLAN

2/22/24



NOTE: Buckthorn and Overgrown Vegetation within property boundaries to be removed

ATTENTION:
ALL RIGHTS RESERVED. REPRODUCTION OR USE OF THIS DESIGN IN ANY FORM OR BY ANY MEANS WITHOUT WRITTEN PERMISSION OF APEX LANDSCAPING, INC. WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.

LOT 3
1400 Oak Knoll Drive
Lake Forest, IL 60045

REVISIONS	
1	
2	
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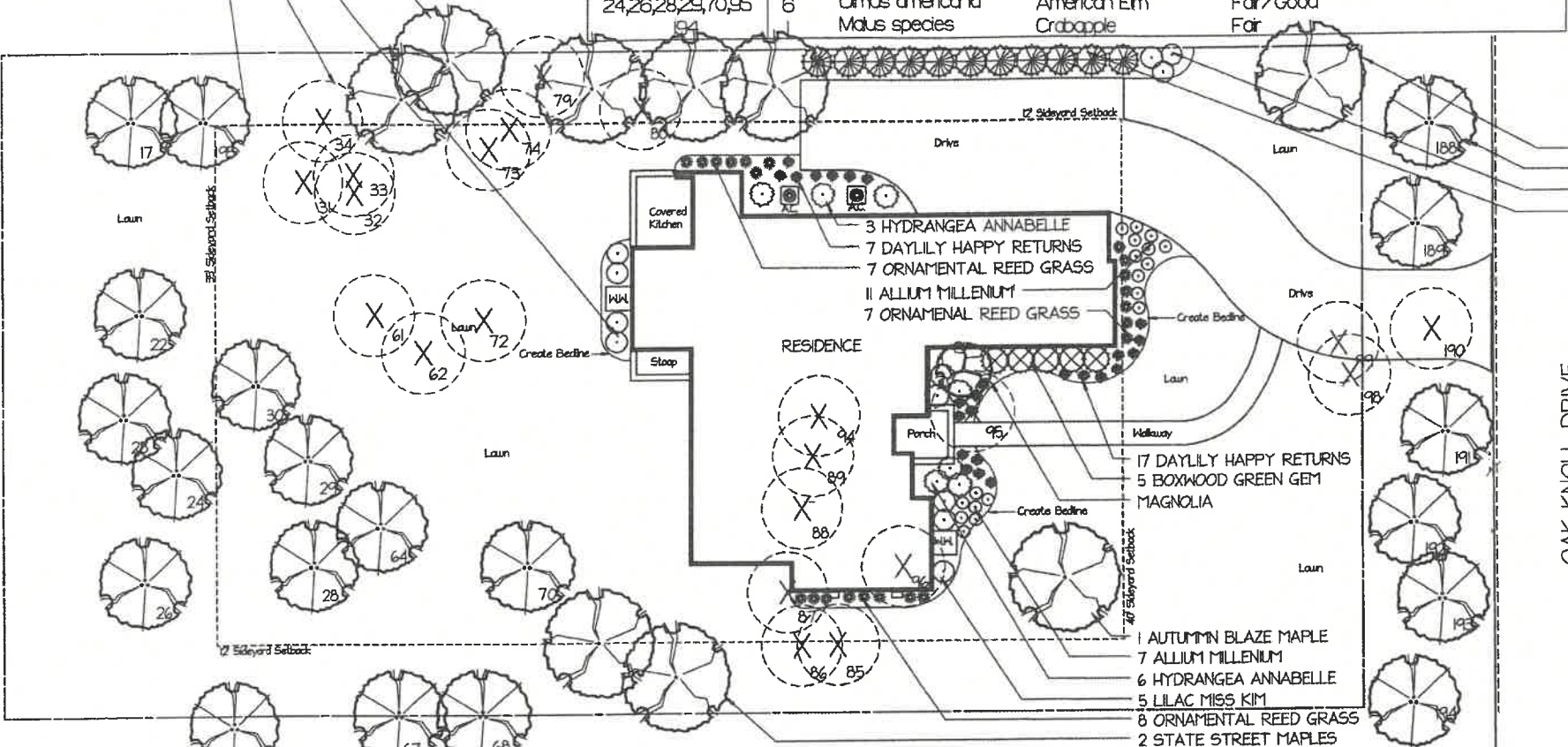
Drawn By: B Phillips
Approved By:
Date: December 19, 2023
Project No: 23-190
Scale: 1" = 10'-0"



EXISTING TREE HEALTH

Tag(s)	Qty	Botanical Name	Common Name	Size/Condition	Action
23	1	Acer saccharinum	Silver Maple	Fair	
188-193	6	Acer freemanii	Red Maple	Fair	Remove 10" cal
98,99	2	Fraxinus species	Ash	Fair	Remove 18" cal
27,31-68,72-94,96	23	Rhamnus cathartica	Buckthorn	Poor/Dead	
22	1	Acer negundo	Boxelder	Poor	
24,26,28,29,70,95	6	Ulmus americana	American Elm	Fair/Good	
		Malus species	Crabapple	Fair	

5 AUTUMN BLAZE MAPLES
4 KOREANSPICE VIBURNUM
TREES to remove (typ.)
EXISTING TREES to remain



PLANTING SCHEDULE

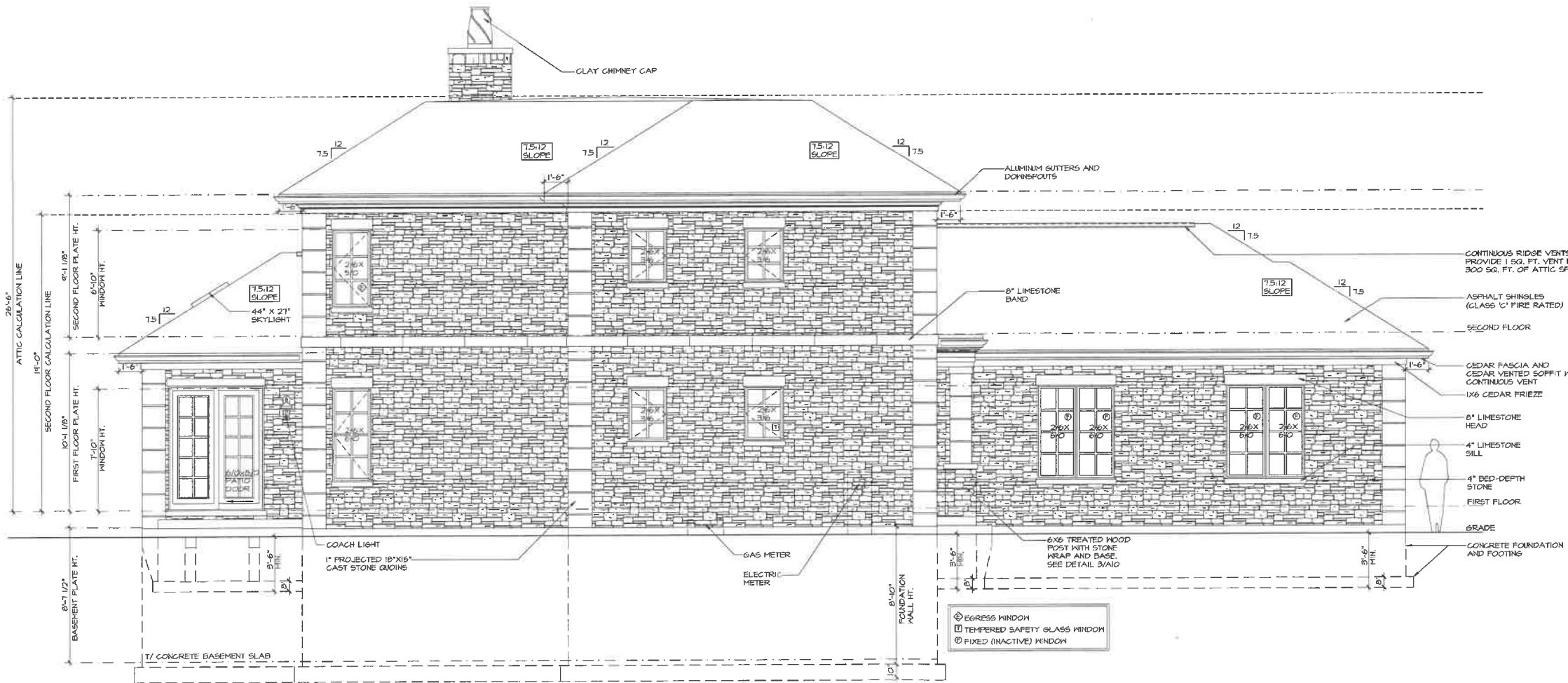
Qty	Botanical Name	Common Name	Size/Condition
Trees			
6	Acer freemanii 'Autumn Blaze'	AUTUMN BLAZE MAPLE	3.5" cal.
3	Acer 'State Street'	STATE STREET MAPLE	3" cal.
Shrubs			
9	Hydrangea arborescens 'Annabelle'	ANNABELLE SMOOTH HYDRANGEA	5 Gallon
7	Viburnum carlesii 'Compactum'	COMPACTUM KOREANSPICE VIBURNUM	5 Gallon
3	Syringa patula 'Miss Kim'	MISS KIM LILAC	5 Gallon
5	Buxus 'Green Velvet'	GREEN VELVET BOXWOOD	18"
Perennials			
24	Heimerocallis 'Happy Returns'	HAPPY RETURNS DAYLILY	1 Gallon
18	Allium 'Millennium'	MILLENNIUM ALLIUM	1 Gallon
22	Calamagrostis acutiflora 'Karl Foerster'	KARL FOERSTER REED GRASS	1 Gallon
Evergreens			
1	Thuja occidentalis	EMERALD GREEN ARBROVITAE	6'
Ornamental			
1	Magnolia	MAGNOLIA	6'

LANDSCAPE ENHANCEMENT PLAN
SCALE: 1" = 10'-0"

February 7th Materials



1400 Oak Hill



1 LEFT ELEVATION (SOUTH)
AR 03

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" X 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

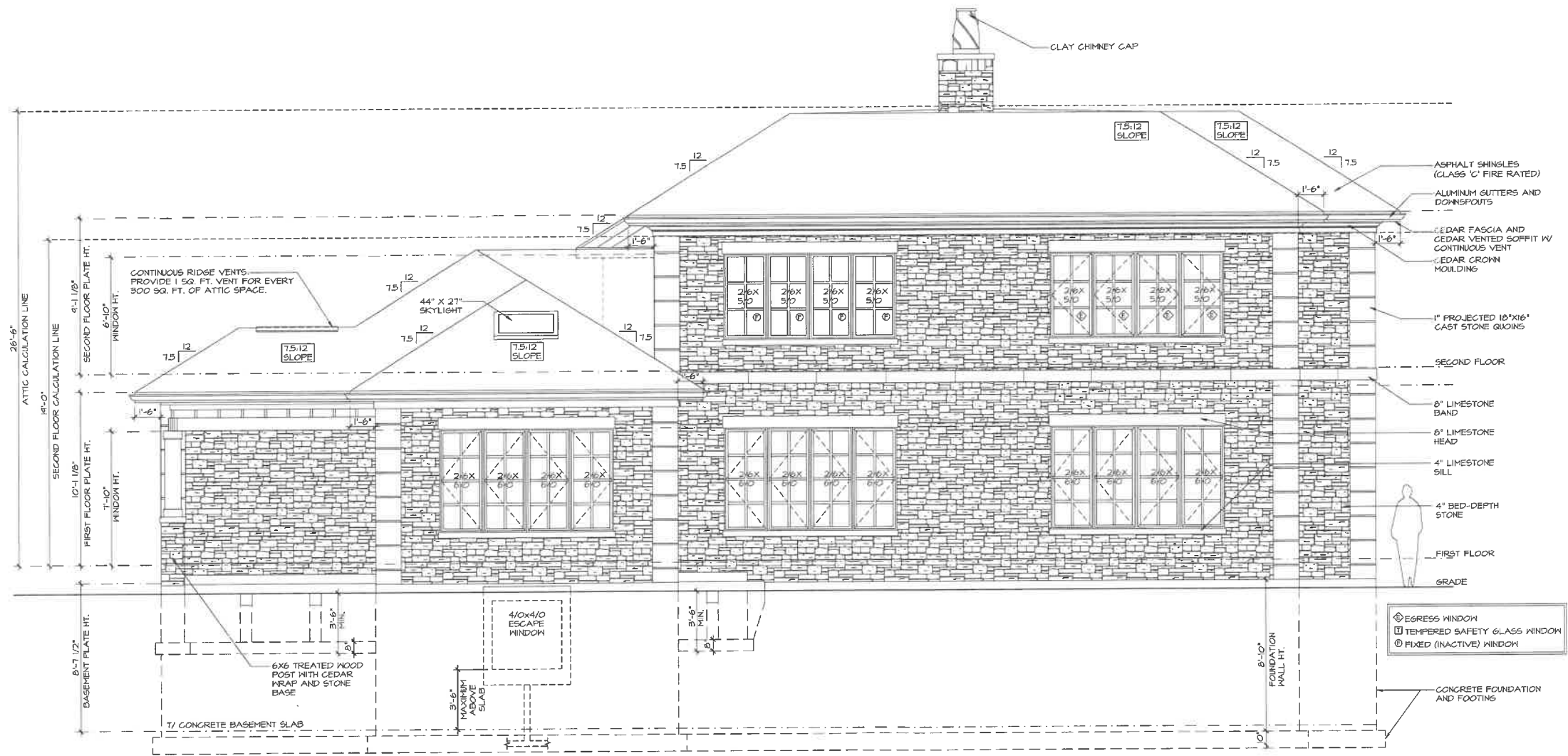
PROJECT # AD23159	
DRAWN BY: DB / MR	
D'CRUZ RESIDENCE EXTERIOR ELEVATIONS	
AR 03	
# 3 OF 14 TOTAL SHEETS	

REVIEW	09/14/2023	REVIEW	08/14/2023
REVIEW	09/21/2023	REVIEW	08/14/2023
REVIEW	09/27/2023	REVIEW	08/22/2023
REVIEW	10/05/2023	REVIEW	08/27/2023
REVIEW	10/17/2023	REVIEW	08/24/2023
REVIEW	10/23/2023	REVIEW	08/29/2023
REVIEW	10/24/2023	REVIEW	09/04/2023
REVIEW	01/17/2024	REVIEW	09/04/2023

ASPECT DESIGN INC. ARCHITECTS

12615 COMMERCE DR.
SUITE 607
Volo, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGN.COM
IL LICENSE # 00000000

LOT 3
D'CRUZ RESIDENCE
1400 OAK KNOLL DRIVE
LAKE FOREST, IL 60045



1 REAR ELEVATION (WEST)
AR 04

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY - NOT FOR CONSTRUCTION

		26755 COMMERCE DR. SUITE 607 LAKE FOREST, IL 60045 MAIN: 847.457.2500 WWW.ASPECTDESIGN.COM LULU@ASPECTDESIGN.COM		LOT 3 D'CRUZ RESIDENCE	
PROJECT #		AD23159		1400 OAK KNOLL DRIVE LAKE FOREST, IL 60045	
DRAWN BY:		DB / MR			
D'CRUZ RESIDENCE EXTERIOR ELEVATIONS					
AR 04					
# 4 OF 14 TOTAL SHEETS					

Agenda Item 4
210 Majestic Oak Court
New Single Family Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent - Updated
Description of Materials
Site Plan
Elevations
Roof Plan
Floor Plan
Landscape Plan and Planting List

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

210 Majestic Oak Court

Consideration of a request for approval of a new home in the Westleigh Farm subdivision and the associated site, hardscape, and landscape plans.

Property Owner: Northshore Builders

Project Representatives: Doug Wirth and Natalie Viscuso, architects

Staff Contact: Catherine Czerniak, Director of Community Development

Summary of Request

This is a request for a recommendation in support of a new home in the Westleigh Farm Subdivision and the associated site, hardscape, and landscape plans.

Description of Property

This property is Lot 27 of the Westleigh Farm Subdivision which was approved as a Conservation Subdivision in 2017. A Conservation Subdivision is one in which the lots are permitted to be smaller than the minimum lot size established by the Zoning Code in exchange for preserving open space, wetlands, and woodlands. The subdivision plat established 26 lots in the northern portion of the subdivision ringing the preserved open space in the center which slopes down to a pond. The 26 lots are all about one-third of an acre in size. Several years ago, the Building Review Board approved a series of model homes with variations for the 26 homes. These homes were constructed, sold, and are occupied. The building style of the houses in the northern portion of the subdivision is described as Vernacular Farmhouse with Classical Colonial Revival and Traditional European influence.

Like Lot 28, in the following petition, the property that is the subject of this petition is one of seven lots in the Westleigh Farm subdivision identified for custom homes. The seven lots platted in the southern portion of this subdivision are located along the west side of Majestic Oak Court, to the north and of the original house on the property, 250 Majestic Oak Court, an historic home that is designated as a Local Historic Landmark. This residence, the Charles Garfield King Estate, was originally designed by Howard Van Doren Shaw. The discussions at the time of approval of the subdivision of the property contemplated that the seven custom homes would be inspired and defer in some way to the historic residence.

The property that is the subject of this request is the first house viewed when entering the custom home area. It is near the entrance to the Westleigh Farm Subdivision off of Ridge Road. The home at 210 Majestic Oak Court will be highly visible from the common area of the subdivision, the outlot to the north on which the subdivision clubhouse is located. To the south, this property is adjacent to 230 Majestic Oak Court, the second new house presented to the

Board for review and approval as part of this agenda. Together, these homes will set the stage for development of the remaining five lots located to the south on Majestic Oak Court.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan – This standard is not fully met.

The proposed residence fronts on Majestic Oaks Court and is sited right at the front yard setback line. The house spans the full width of the buildable area on the lot. The eave on the north side of the house appears to extend very close to the zoning setback line and will need to be reviewed to assure that there is no encroachment into the required setback.

Because the house spans the full width of the buildable area on the lot and, the driveway on the south side of the house is pushed to, or very close to the south property line leaving no room for landscaping to buffer the three garage doors and the driveway from the proposed home to the south, or to capture stormwater runoff from the driveway, garage, and the garage apron. The garage apron as reflected on the site plan does not appear to provide sufficient back out space depending on the type of vehicles using the garage.

The proposed siting of the house provides space for landscaping on the north side of the house.

Recommendation: Explore alternate configurations for the footprint of the house to better align with the east/west orientation of the lot.

Recommendation: Assure adequate space between the driveway and the property line to allow space for plantings and to accommodate stormwater runoff.

Recommendation: Provide an auto turn study to demonstrate that there is sufficient space to maneuver into and out of the garage.

Building Massing and Height – This standard is met.

The permitted square footage for this lot is 5,581 square feet. The allowable square footage for a garage on this lot is 600 square feet and up to 465 square

feet of design elements are permitted. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The proposed residence totals 5,401 square feet.
- The proposed garage totals 715 square feet, 115 feet more than the garage allowance. The excess square footage must be added to the square footage of the house.
- The proposed design elements total 442 square feet offering a number of visual scale reducing elements including porches and individual dormers on the residence.
- In total, the residence plus the excess garage square footage totals 5,516 square feet, about 1% under the maximum allowable square feet.

Elevations – This standard is not yet fully met.

The petitioner's statement notes that the design of the house is inspired by the English Cottage and American Vernacular architectural styles. Unlike typical Cottage inspired homes which often reflect steep pitched roofs, the proposed design uses Jerkinhead roof elements around the home resembling more of a bungalow style. The colored elevations presented make it a bit difficult to fully understand the various roof elements, The roof on the shed dormer on the front elevation appears quite deep. A small roof plan is provided in the packet on the same page as the floor plan.

Recommendation: Further definition and as determined to be appropriate, refinement of the roof forms shall be completed.

The recessed covered front porch appears as a welcoming element on the front elevation and provides a human scale at the entrance. The porch appears to have a single step up from the sidewalk that approaches from the driveway to the south. The front door with sidelights is appropriately scaled.

Simulated divided lite windows are proposed on the first floor of the east (front) and west (rear) elevations and are consistent in size and form. Large expanses of unbroken wall exist on the north and south (side) elevations. Some further study of these elevations, particularly the north facing elevation could help to add interest and achieve an appropriate balance of solids to voids on these walls. The north elevation, although landscaping is proposed, will be highly visible in all seasons from the road as well as from the common area in the subdivision.

Recommendation: Conduct further study of the side elevations in an effort to provide an improved balance between solids and voids, and to add interest.

A chimney is visible on the side and rear elevations but is not visible on the front elevation. Cottage style homes often are detailed with a chimney visible on the front elevation.

Type, color, and texture of materials – This standard is met.

Although some additional clarification is needed, quality natural materials are proposed. Lap wood siding is proposed with a stone veneer base. Based on the colored elevations provided, the starkness of the white siding is softened by the stone base. Wood is proposed for the trim. The roof material is unclear, the elevation notes that cedar shakes are proposed for the roof while on the description of materials, the roof is identified as composite shingle.

Recommendation: Clarification is needed on the roof product proposed. Samples should be provided to the Board.

Bronze casement windows are proposed. The window material is not specified. The material of the garage doors should also be specified.

Recommendation: Clarification is needed on the window and garage door material.

Aluminum gutters and downspouts are proposed. The surface of the front and rear porches will be bluestone.

Landscaping – This standard can be fully met during review for permit.

The landscape plan will need to be augmented with shade trees and further detailed. In particular, landscaping should be provided along the north property line to delineate the transition from private property to the common space which is the outlot for the subdivision and available for use by residents in all 34 homes in the subdivision. Significant screening on the north side of the home will be important to preserve and protect the natural and open space feeling of the common area.

Landscaping is needed along the south property line to screen the driveway and three car garage from the neighboring property to the south.

No trees are identified for removal.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As

of the date of this writing, no correspondence was received regarding this request.

Recommendation

Continue the petition for further refinement. Provide direction to the petitioner based on the recommendations detailed above in this report as they may be modified, eliminated, or added to by the Board.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 210 Majestic Oak Court Owner(s) North Shore Builders
 Proj. Manager Doug Wirth and Natalie Viscuso Reviewed by: C. Czerniak
 Date 3/1/2024

Lot Area 33027 sq. ft. New Residence Allowable sq 5581

Square Footage of Residence -- New

1st floor 3794 + 2nd floor 1607 + 3rd floor _____ = 5401 sq. ft.

Design Element Allowance = 465 sq. ft.

Total Actual Design Elements = 442 sq. ft. Excess = 0 sq. ft.

Garage 715 sf actual ; 600 sf allowance Excess = 115 sq. ft.

Garage Width NA ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 5516 sq. ft.
 (minus Design Elements, plus garage overage)

DIFFERENTIAL (Existing) = 65 sq. ft.
Over Maximum

TOTAL SQUARE FOOTAGE = 5516 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 5581 sq. ft.

DIFFERENTIAL = 65 sq. ft. **NET RESULT:**
Under Maximum 5516 sq. ft. is

Allowable Height: 35 ft. Actual Height 26'9" ft. Less t than 1% under
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: _____ sq. ft.

Front & Side Porches = 158 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

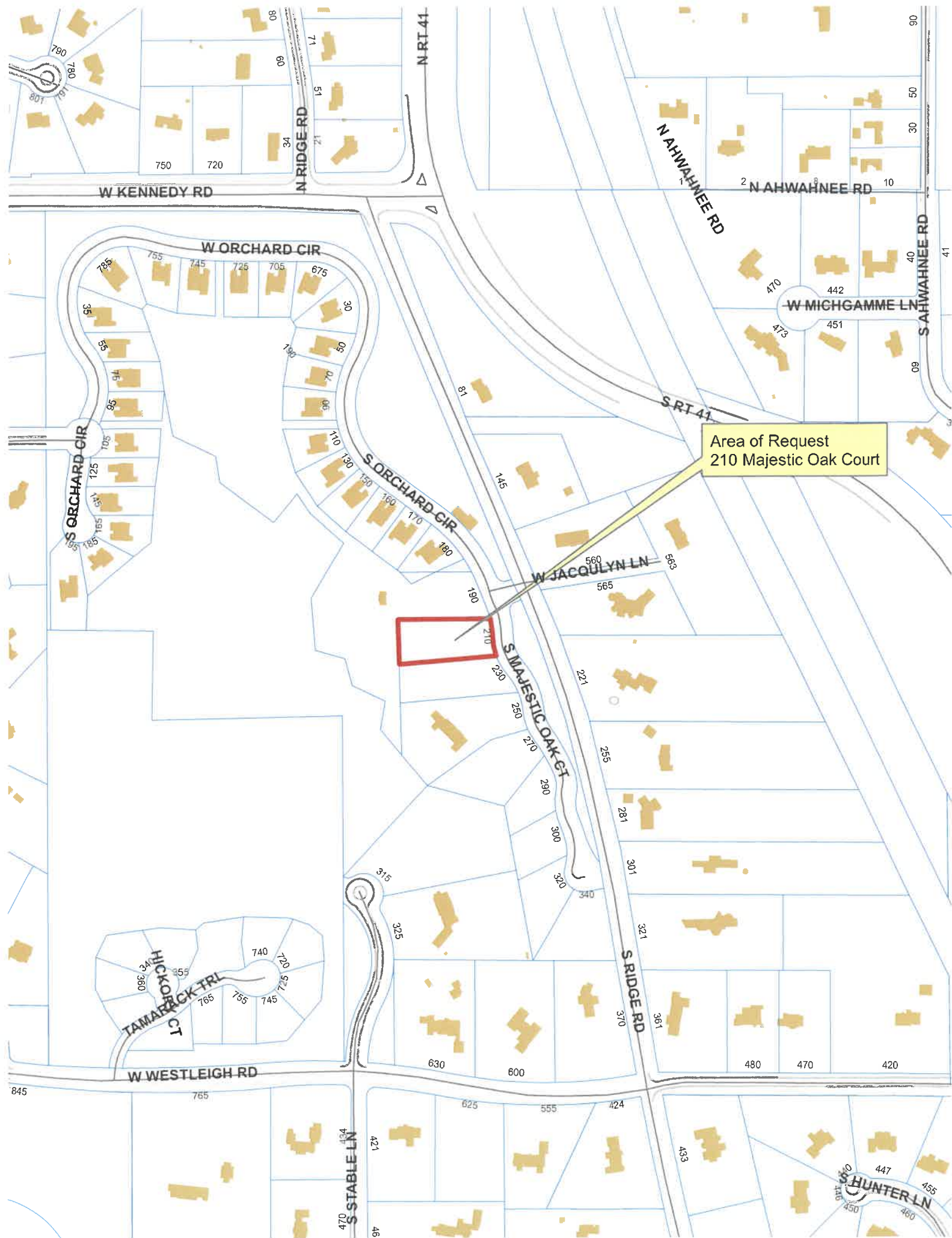
Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

Individual Dormers = 284 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 442 sq. ft. **Excess Design Elements** = 0 sq. ft.



Area of Request
210 Majestic Oak Court



Area of Request
210 Majestic Oak Court



Area of Request
210 Majestic Oak Court



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 210 Majestic Oaks Ct

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

North Shore Builders, Inc
Owner of Property
2700 Patriot Blvd #430
Owner's Street Address (may be different from project address)
Glenview, IL 60026
City, State and Zip Code
630-217-0422
Phone Number *Fax Number*
bryan@wmryan.com
Email Address

 CEO
Owner's Signature

ARCHITECT/BUILDER INFORMATION

Doug Wirth - Architect
Name and Title of Person Presenting Project
BSB Design
Name of Firm
220 N Smith St
Street Address
Palatine, IL 60074
City, State and Zip Code
847-776-3273
Phone Number *Fax Number*
dwirth@bsbdesign.com
Email Address

Doug Wirth
Representative's Signature (Architect/ Builder)
Doug Wirth

The staff report is available the Friday before the meeting, after 3:00pm.

<i>Please email a copy of the staff report.</i>	<input checked="" type="checkbox"/> OWNER	<input checked="" type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name	William J Ryan	Name	John Rushin
Address	2700 Patriot Blvd, #430 Glenview, IL 60026	Address	2700 Patriot Blvd #430 Glenview, IL 60026
Ownership Percentage	94 %	Ownership Percentage	3 %

Name	James A Esperson	Name	
Address	2700 Patriot Blvd #430 Glenview, IL 60026	Address	
Ownership Percentage	3 %	Ownership Percentage	%

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%



Statement of Intent: Lot 27 – Westleigh Farms

March 24, 2023

Building Review Board of Lake Forest

Dear Board Members,

The proposed home design for Lot 27 at Westleigh Farms is a 5,160 square feet 2 story, 4 bedroom, 4.5 bath plan with a 3 car garage. Site is currently vacant land.

The Exterior Elevation Design of this home is most influenced by the English Cottage Style outlined in the City of Lake Forest Design Guidelines, but also takes cues from vernacular American architecture. Proximity to the Historic King Estate also guided design decisions about scale, form and details. Several conversations with Jenifer Baehr and Cathy Czerniak helped guide the elevation design through the design process and ensured that the exterior architecture is conforming to the intent of the Design Guidelines in terms of overall plan, massing, materials, detailing, etc. Contextuality within Westleigh farms, the proximity to the King Estate and Greater Lake Forest were all factored into the elevation style. Building Exteriors are "360 Degree Architecture" with a consistent and appropriate use of materials and details on all 4 sides of the home.

The Floorplan Design of the home is intended to be sensitive and complimentary to both the parameters of the City of Lake Forest Design Guidelines and contextual architectural designs while still offering livable features and designs representative of current market trends.

Overall, the most important design aspects of this home were to ensure that it not only lives well in plan but also that it appears well designed and detailed from the exterior. The history and architectural styles of the adjacent King Residence, and larger context are rooted in Classical Colonial Revival and Vernacular Farmhouse design with Traditional European Influence. These features, along with guidance from Lake Forest Staff, helped to inspire and guide the design process.

Sincerely,

Doug Wirth AIA, LEED AP – Associate / Senior Designer
BSB Design, INC.
220 N Smith Street, Suite 310
Palatine, IL 60067
847-705-2200



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Lot 27 Westleigh Farms - Majestic Oak Court

Facade Material

- | | |
|---|---|
| <input checked="" type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input checked="" type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Other _____ |
| <input checked="" type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____

Color of Material _____

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood (recommended)
☐ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish Bronze _____

Window Muntins

- ☐ Not Provided
☒ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars (recommended)
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☒ Stone
- ☐ Stucco
- ☐ Other _____

Foundation Material

- ☐ Brick
- ☒ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☒ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☒ Copper
- ☐ Sheet Metal
- ☐ Other _____

Skylights

- ☐ Proposed
- ☐ Existing
- ☒ None

Gutters and Downspouts

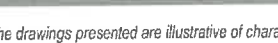
- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

Driveway Material

- ☐ Asphalt
- ☒ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☒ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____



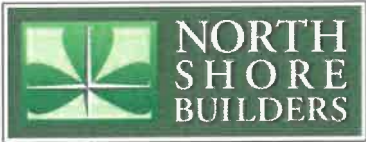
MED design requirements, unit plan / floor plan changes

March 10, 2023 | SF150206.01



Front Elevation

scale: 1/4" = 1'-0"



Lot 27 Elevations

210 Majestic Oak Court
WESTLEIGH FARM
Lake Forest, IL



The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2020 BSB Design, Inc.



Left Elevation

scale: 1/4" = 1'-0"

Lot 27 Elevations

210 Majestic Oak Court

WESTLEIGH FARM
Lake Forest, IL

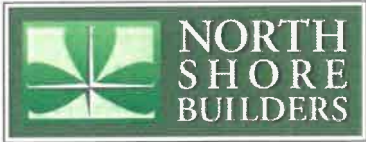


The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2020 BSB Design, Inc.



Rear Elevation

scale: 1/4" = 1'-0"



Lot 27 Elevations

210 Majestic Oak Court

WESTLEIGH FARM
Lake Forest, IL



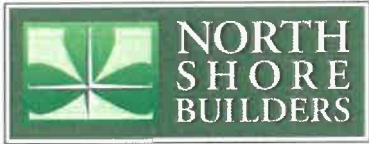
The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2020 BSB Design, Inc.



Right Elevation

scale: 1/4" = 1'-0"

Lot 27 Elevations

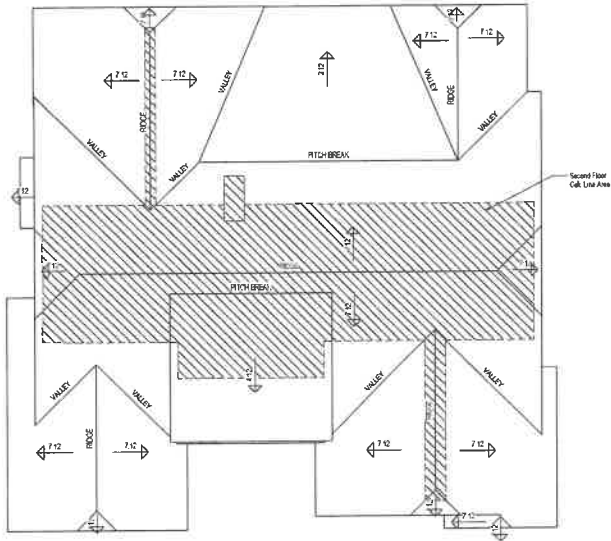


210 Majestic Oak Court

WESTLEIGH FARM
Lake Forest, IL

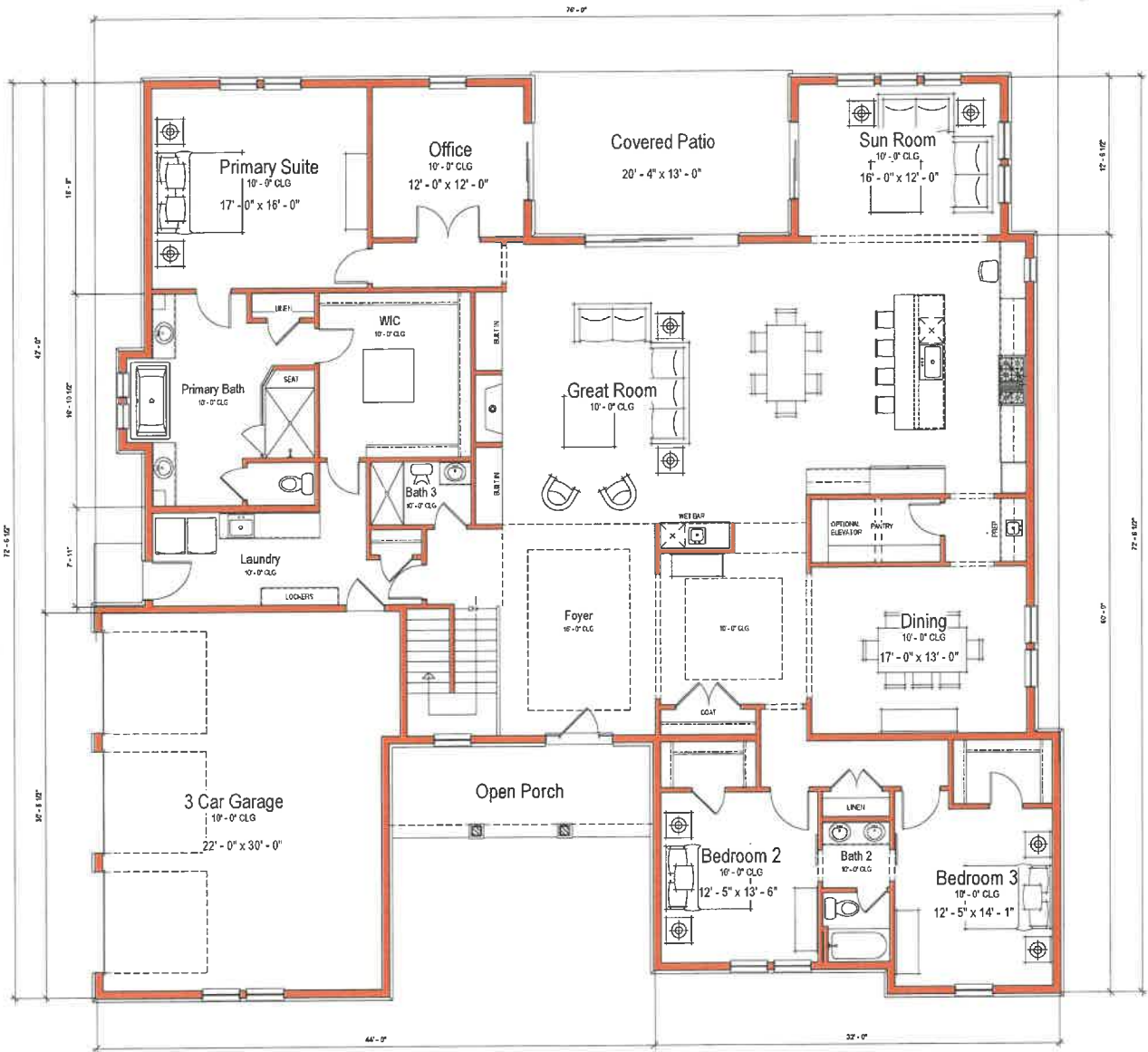


The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2020 BSB Design, Inc.



Roof Plan

SCALE: 1/8" = 1'-0"



Main Floor Plan

SCALE: 1/8" = 1'-0"

Bulk Calculations - Lot 27		
Element	Area (SF)	
1st Floor	3,794	
2nd Floor	1,607	
3rd Floor	0	
Garage	715	
Garage Allowance	-600	
Total SF	5,516	
Total SF Allowed	5,582	(4,652 + 20%)

LIVABLE	
1st Floor	3794 SF
NON-LIVABLE	
Porch	158 SF
Patio	261 SF
3 Car Garage	715 SF
Second Floor	1608 SF



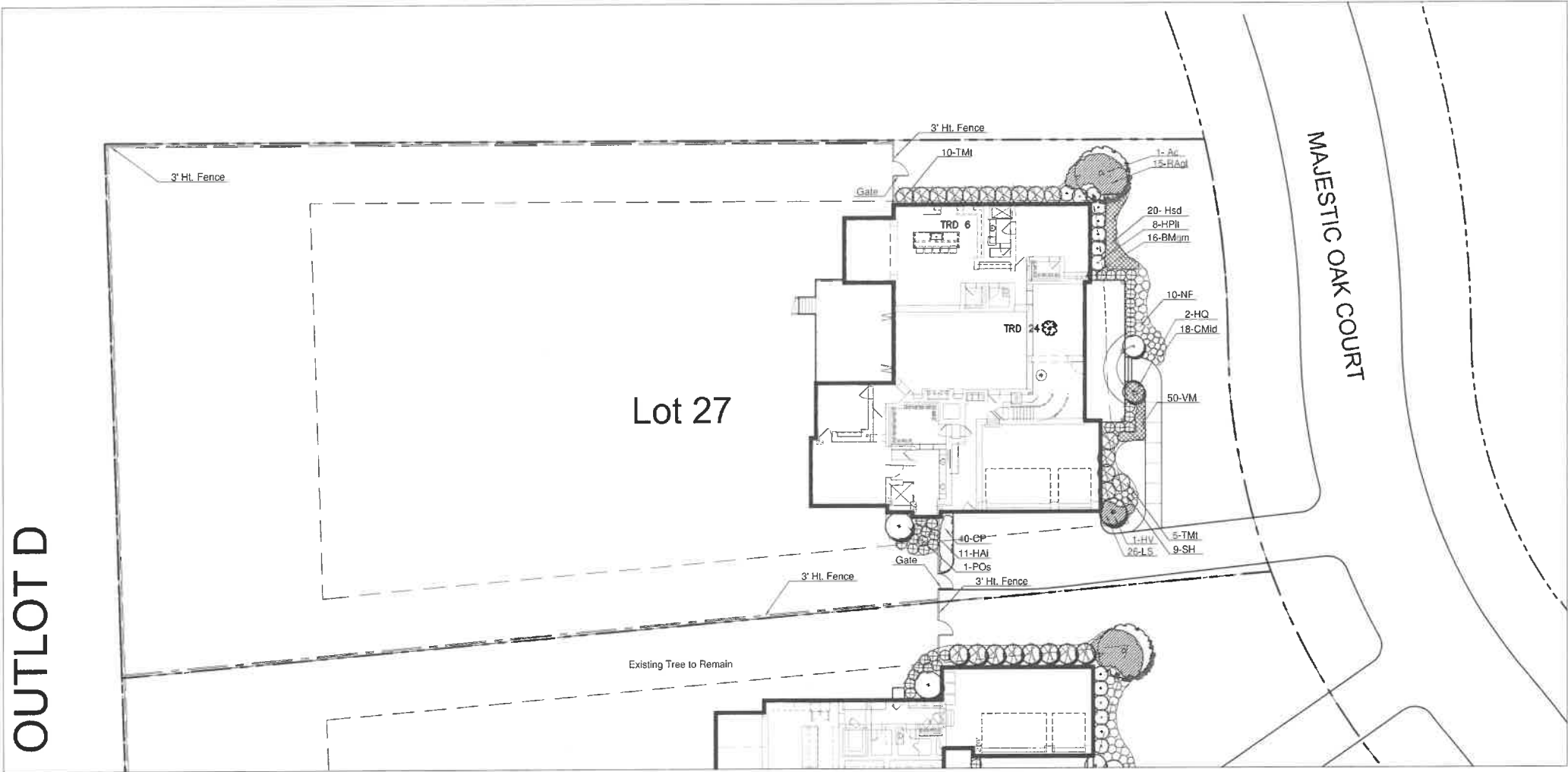
Lot 27 Plan: 3,794 SF
3 Bedroom / 3 Bath / 3 Car Garage

210 MAJESTIC OAK COURT

WESTLEIGH FARM
Lake Forest, IL



The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2020 BSB Design, Inc.



PLANT LIST

INTERMEDIATE AND EVERGREEN TREES

QTY.	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
1	AC	Amelanchier canadensis	Serviceberry	8' CL. BB

SHRUBS

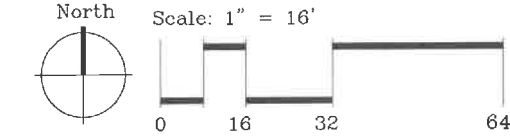
QTY.	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
16	BMgm	Buxus microphylla 'Green Mountain'	Green Mountain Boxwood	5 Gal. Cont.
0	DRk	Diervilla riviniana 'Kodiak'	Kodiak Black Bush Honeysuckle	3 Gal. Cont.
11	HAI	Hydrangea 'Invincible'	Invincible Hydrangea	3 Gal. Cont.
8	HPH	Hydrangea 'Limelight'	Limelight Hydrangea	5 Gal. Cont.
—	Hli	Hydrangea 'Little Lamb'	Little Lamb Hydrangea	3 Gal. Cont.
2	HQ	Hydrangea quercifolia	Oakleaf Hydrangea	5 Gal. Cont.
1	POs	Physocarpus opulifolius 'Seward'	Seward Nine Bark	5 Gal. Cont.
15	Rgl	Rhus aromatica 'Grow-Low' (36" On Center)	Winged Sumac	3 Gal. Cont.
15	TMt	Taxus medii 'Tauntoni'		24" BB

PERENNIALS AND GROUNDCOVER

QTY.	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
40	CP	Carex pennsylvanica	Pennsylvania Sedge	1 QT. Cont. 12" On Center
18	CMid	Carex morrowii 'Ice Dance'	Ice Dance Sedge	1 QT. Cont. 18" On Center
20	Hsd	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	1 Gal. 24" On Center
26	LS	Liriope silicata	Lillie Turf	1 Qt. 12" On Center
10	NF	Nepeta fassenii 'Walker's Low'	Walker's Low Catmint	1 Gal. 24" On Center
9	SHt	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	1 Gal. 24" On Center
50	VM	Vinca minor	Periwinkle	1 Qt. 12" On Center



3' Height Yard Fence



PLANT LIST

INTERMEDIATE AND EVERGREEN TREES

QTY.	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
1	AC	Amelanchier canadensis	Serviceberry	8' CL. BB

SHRUBS

QTY.	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
16	BMgm	Buxus microphylla 'Green Mountain'	Green Mountain Boxwood	5 Gal Cont.
0	DRk	Diervilla rivularis 'Kodiak'	Kodiak Black Bush Honeysuckle	3 Gal Cont.
11	HAi	Hydrangea arborescens 'Invincibelle'	Invincibelle Hydrangea	3 Gal Cont.
8	HPlt	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	5 Gal Cont.
--	Hll	Hydrangea 'Little Lamb'	Little Lamb Hydrangea	3 Gal Cont.
2	HQ	Hydrangea quercifolia	Oakleaf Hydrangea	5 Gal Cont.
1	POs	Physocarpus opulfolius 'Seward'	Seward Nine Bark	5 Gal. Cont
15	Rgl	Rhus aromatica 'Grow-Low' (36" On Center)	Grow-Low Sumac	3 Gal Cont.
15	TMt	Taxus medii 'Tauntoni'	Taunton's Yew	24" BB

PERENNIALS AND GROUNDCOVER

QTY.	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
40	CP	Carex pennsylvanica	Pennsylvania Sedge	1 QT Cont 12" On Center
18	CMid	Carex morrowi 'Ice Dance'	Ice Dance Sedge	1 QT Cont 18" On Center
20	Hsd	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylilly	1 Gal. 24" On Center
26	LS	Liriope spicata	Lilly Turf	1 Qt. 12" On Center
10	NF	Nepeta fasseni 'Walker's Low'	Walker's Low Catmint	1 Gal. 24" On Center
9	SHt	Sporobolus heterolepsis 'Tara'	Tara Prairie Dropseed	1 Gal. 24" On Center
50	VM	Vinca minor	Periwinkle	1 Qt. 12" On Center

Agenda Item 5
230 Majestic Oak Court
New Single Family Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Materials
Site Plan
Elevations – Annotated and Colored
Roof Plan
Floor Plans
Landscape Concept Plan
Planting List

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

230 Majestic Oak Court

Consideration of a request for approval of a new home in the Westleigh Farm subdivision and the associated site, hardscape, and landscape plans.

Property Owner: Northshore Builders

Project Representatives: Doug Wirth and Natalie Viscuso, architects

Staff Contact: Abigail Vollmers, Senior Planner

Summary of Request

This is a request for a recommendation in support of a new home in the Westleigh Farm and the associated site, hardscape, and landscape plans.

Description of Property

This property is Lot 28 of the Westleigh Farm Subdivision which was approved as a Conservation Subdivision in 2017. A Conservation Subdivision is one in which the lots are permitted to be smaller than the minimum lot size established by the Zoning Code in exchange for preserving open space, wetlands, and woodlands. The subdivision plat established 26 lots in the northern portion of the subdivision which ring preserved open space in the center which slopes down to a pond. The 26 lots are all about one-third of an acre in size. Several years ago, the Building Review Board approved a series of model homes with variations for this area and all of the homes in this area and construction is complete and the homes sold and occupied. The building style of the houses in the northern portion of the subdivision is described as Vernacular Farmhouse with Classical Colonial Revival and Traditional European influence.

Like Lot 27, in the previous petition, this property is one of seven lots in the Westleigh Farm subdivision identified for a custom home. The seven lots platted in the southern portion of this subdivision are located on the west side of Majestic Oak Court, to the north and south of the 250 Majestic Oak Court property, which is a historic home designated as a Local Historic Landmark. This residence, the Charles Garfield King Estate, was originally designed by Howard Van Doren Shaw. The understanding at the time of the subdivision was that the seven custom homes would be inspired and defer in some way to the historic residence.

The property that is the subject of this request is located directly north of the historic King Estate and shares a common property boundary with this historic structure. The property in the previous petition, 210 Majestic Oak Court, is located adjacent to the subject property to the north. Both the 210 and 230 properties will be prominent upon entering the Westleigh Farm Subdivision from Ridge Road and turning south on to Majestic Oak Court. The site is currently vacant land.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan – This standard is not fully met.

The proposed residence faces east toward Majestic Oaks Court. The east wall of the projecting side load garage is sited at the front setback line. Staff has requested that the petitioner include an image showing the footprint of the two proposed new homes along with the footprint of the historic home for context and to allow an understanding of sightlines from the street and between the homes. As presented, it appears that the siting of the new home on the 230 Majestic Court property eclipses views of the historic residence from the street until a vehicle is in front of it. The diagonal orientation of the historic home creates a challenge in maintaining the integrity of that property while developing the buildable lot that was created through the subdivision.

While the orientation of the proposed home makes sense for the Lot when considered in isolation, it ignores the angled position of the King Estate. Instead of being sited to complement the existing estate home as gate houses or other subdivided infills, the new house ignores the orientation and conflicts with it. Since the house proposed on the 230 lot extends from the north setback line to the south setback line, there is no opportunity to similarly angle this house however, it may be worthwhile to study the sightlines achieved by shifting the house and front garage back slightly on the lot. As noted above, the house as sited is right at the front property line.

Recommendation: Prior to submitting plans for permit, the petitioner shall provide sightline studies showing the sightlines to the historic home from the street and the sightlines between the proposed residence and the historic residence using the footprint of the house as proposed, and studies showing the sightlines that would result from shifting the house back at various distances. The final siting shall be subject to staff approval with, as appropriate, review by the Chairman.

Building Massing and Height – This standard is met.

The permitted square footage for this lot is 5,749 square feet. The allowable square footage for a garage on this lot is 600 square feet, and up to 479 square feet of design elements are permitted. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The proposed residence totals 5,430 square feet.
- The proposed garage totals 808 square feet, 208 feet more than the garage allowance. The excess square footage must be added to the square footage of the house.
- The proposed design elements total just 84 square feet, well below the square footage allowed for scale reducing elements.
- In total, the residence plus the excess garage square footage totals 5,638 square feet. about 2% under the maximum allowable square feet.

Elevations – This standard is not yet fully met.

The proposed home provides a simple front façade with an eclectic mix of elements. The white stucco walls with stone veneer paneling and dormers are generally consistent with the French Eclectic style noted in the petitioner's statement of intent as the intended architectural style. The use of the arched timber over the entry door ties to the farmhouse vernacular language used throughout the subdivision but strays from the French Eclectic style.

The roof massing feels very heavy on both of the side elevations where there are no second story windows. The result includes clipped ceilings on the south, west, and north elevations producing bedrooms on the second story with what appears to be only one single window in each room.

The grand staircase which is open from the first floor also has a clipped ceiling eliminating any opportunity for clerestory or accent windows which could provide interest inside and out.

The back elevation has a heavy roof presence with only one second story gable containing a block of three windows. Here again the heavy roofing eliminates the possibility of windows in the two story grand staircase.

There may be an opportunity to take advantage of available design element square footage to address the above concerns.

The north elevation presents a variety of window sizes and configurations. Further study and greater alignment of the fenestration on this elevation could benefit the overall composition.

Recommendation: Conduct further study of the opportunity to break up the large roof mass with additional dormers or windows to reduce the heaviness of the exterior appearance and provide additional light and vent into the second floor spaces which future buyers may find attractive.

Recommendation: Conduct further study of the north elevation in an effort to achieve greater consistency between the windows.

Type, color, and texture of materials – This standard can be met with clarification.

The proposed materials include a stucco wall system, stone veneer, and cedar shake roofing. The casement windows appear to have black colored trim with divided lights. The porch will be clad in bluestone.

Recommendation: Cementitious stucco and stone veneer with a minimum thickness of four inches is required. Samples of the materials shall be provided at the time of submittal for permit if not sooner.

Landscaping – This standard can be fully met during review for permit.

The landscaping plan submitted provides buffer separation to the King Estate on the south property edge. Fourteen Arborvitae are proposed, the specific type and size at time of planting will be subject to review and approval by the City's Certified Arborist. Other plantings on the site will need to meet the minimum requirements for new construction. Prior to the issuance of a permit, the final landscape plan will be subject to review and approval.

Measures shall be taken to increase the chances of survival of the mature oak tree in the front yard. A plan for pre and post construction treatment as well as steps that will be taken to protect the tree during construction shall be submitted along with the landscape plan and will be subject to review and approval by the City's Certified Arborist.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Recommend approval of the petition subject to the following conditions. If staff is not satisfied that the conditions are satisfied in a manner consistent with the Board's direction and discussion, the petition shall be returned to the Board for further review.

Recommended Conditions of Approval

1. Prior to submitting plans for permit, the petitioner shall provide sightline studies showing the sightlines to the historic home from the street and the sightlines between the proposed residence and the historic residence using the footprint of the house as proposed, and studies showing the sightlines that would result from shifting the house back at various distances. The final siting shall be subject to staff approval with, as appropriate, review by the Chairman.
2. Conduct further study of the opportunity to break up the large roof mass with additional dormers or windows could reduce the heaviness of the exterior appearance and provide additional light and vent into the second floor spaces which future buyers may find attractive.
3. Conduct further study of the north elevation in an effort to achieve greater consistency between the windows.
4. Cementitious stucco and stone veneer with a minimum thickness of four inches is required. Samples of the materials shall be provided at the time of submittal for permit if not sooner.
5. All modifications to the plans including those detailed above based on Board direction and discussion and any changes that result from final design development, shall be clearly called out on the plans submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to verify that the plans as presented are consistent with the Board's approval or if further Board review is required prior to the issuance of any permits.
6. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify any trees proposed for removal and trees identified for protection and preservation.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long-term survival of the trees intended for preservation, in particular, the Oak tree located near the southeast corner of the property.
- c. A detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. At a minimum, the plan must reflect foundation plantings around the entire structure and the number of trees required by the Code for new construction. In addition the plan shall reflect planting of year round screening along the south property line to provide privacy but sited to avoid eclipsing views of the historic home from the streetscape. The landscape plan shall specify the quantity, species, and size at the time of planting for all new landscaping. Consideration shall be given to the City's recommended planting list. The plan shall be subject to review and approval by the City's Certified Arborist.

Drainage and Grading

- d. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view from off of the site. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking and Staging

- f. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. Majestic Oak Court shall remain passable at all times. Any damage to the entrance structures, pavement, curbing, or plantings to the subdivision caused by construction traffic and repairs and final paving of Majestic Oak Court will be the responsibility of the developer. An appropriate financial guarantee shall be posted with the City prior to the start of construction

recognizing the repairs will be pending completion of the remaining homes on Majestic Oak Court or a sooner time frame established by the City if construction does not proceed within a reasonable time frame.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 230 Majestic Oak Court Owner(s) Northshore Builders
 Architect Doug Wirth and Natalie Viscuso Reviewed by: C. Czerniak
 Date 3/1/2024
 Lot Area 35811 sq. ft. Allowed Square Footage 5749

Square Footage of Residence -- New Residence

1st floor 3247 + 2nd floor 1812 + 3rd floor 371 = 5430 sq. ft.
 Design Element Allowance = 479 sq. ft.
 Total Actual Design Elements = 84 sq. ft. Excess = 0 sq. ft.
 Garage 808 sf actual ; 600 sf allowance Excess = 208 sq. ft.
 Garage Width NA ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*
 Basement Area = 0 sq. ft.
 Accessory buildings = 0 sq. ft.
 Total Square Footage of Residence = 5430 sq. ft.
 (minus Design Elements, plus garage overage)
 DIFFERENTIAL (Existing) = 5638 sq. ft.
Over Maximum

TOTAL SQUARE FOOTAGE = 5638 sq. ft.
 TOTAL SQUARE FOOTAGE ALLOWED = 5749 sq. ft.
 DIFFERENTIAL = 111 sq. ft. **NET RESULT:**
Under Maximum 5638 sq. ft. is

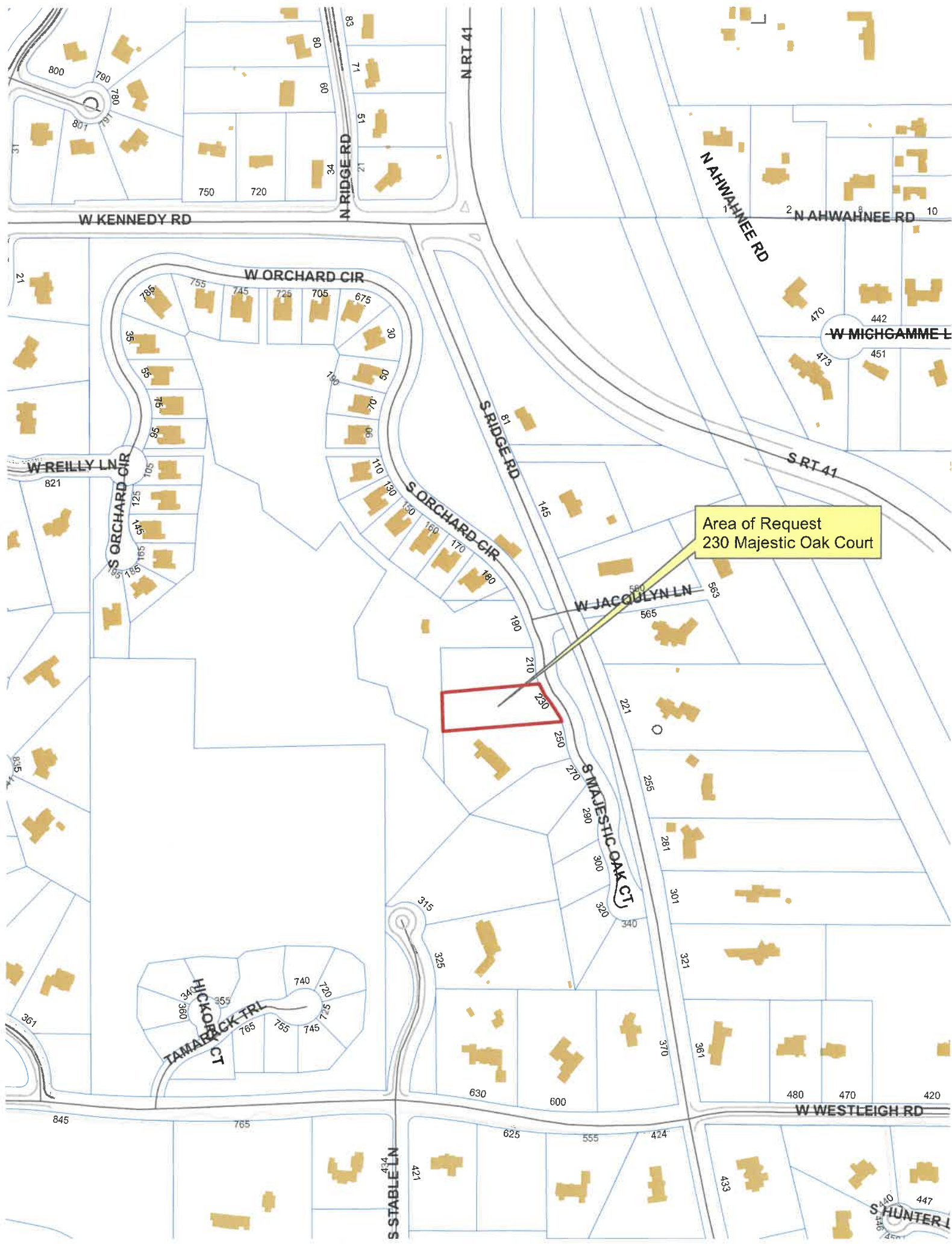
Allowable Height: 35 ft. Actual Height 30'2" ft. Less t than 2% under **Max. allowed**

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 479 sq. ft.

Front & Side Porches = 0 sq. ft.
 Rear & Side Screen Porches = 0 sq. ft.
 Covered Entries = 0 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = 0 sq. ft.
 Individual Dormers = 84 sq. ft.
 Bay Windows = 0 sq. ft.

Total Actual Design Elements = 84 sq. ft. Excess Design Elements = 0 sq. ft.





Area of Request
230 Majestic Oak Court



Area of Request
230 Majestic Oak Court



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 230 Majestic Oaks Ct - Lot 28

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

North Shore Builders, Inc

Owner of Property

2700 Patriot Blvd #430

Owner's Street Address (may be different from project address)

Glenview, IL 60026

City, State and Zip Code

630-217-0422

Phone Number

Fax Number

bryan@wmryan.com

Email Address

 CEO
Owner's Signature

ARCHITECT/BUILDER INFORMATION

Doug Wirth - Architect

Name and Title of Person Presenting Project

BSB Design

Name of Firm

220 N Smith St

Street Address

Palatine, IL 60074

City, State and Zip Code

847-776-3273

Phone Number

Fax Number

dwirth@bsbdesign.com

Email Address

Doug Wirth

Representative's Signature (Architect/ Builder)

Doug Wirth

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report.

☒ OWNER ☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

***I will pick up a copy of the staff report at
the Community Development Department***

☐ OWNER ☐ REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name	William J Ryan	Name	John Rushin
Address	2700 Patriot Blvd, #430 Glenview, IL 60026	Address	2700 Patriot Blvd #430 Glenview, IL 60026
Ownership Percentage	94 %	Ownership Percentage	3 %

Name	James A Esperson	Name	
Address	2700 Patriot Blvd #430 Glenview, IL 60026	Address	
Ownership Percentage	3 %	Ownership Percentage	%

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%



Statement of Intent: Lot 28 – Westleigh Farms

March 24, 2023

Building Review Board of Lake Forest

Dear Board Members,

The proposed home design for Lot 28 at Westleigh Farms is a 4,756 square feet 2 story, 4 bedroom, 4.5 bath plan with a 3 car garage. Site is currently vacant land.

The Exterior Elevation Design of this home is most influenced by the French Eclectic Style outlined in the City of Lake Forest Design Guidelines. Proximity to the Historic King Estate also guided design decisions about scale, form and details. Several conversations with Jenifer Baehr and Cathy Czerniak helped guide the elevation design through the design process and ensured that the exterior architecture is conforming to the intent of the Design Guidelines in terms of overall plan, massing, materials, detailing, etc. Contextuality within Westleigh farms, the proximity to the King Estate and Greater Lake Forest were all factored into the elevation style. Building Exteriors are "360 Degree Architecture" with a consistent and appropriate use of materials and details on all 4 sides of the home.

The Floorplan Design of the home is intended to be sensitive and complimentary to both the parameters of the City of Lake Forest Design Guidelines and contextual architectural designs while still offering livable features and designs representative of current market trends.

Overall, the most important design aspects of this home were to ensure that it not only lives well in plan but also that it appears well designed and detailed from the exterior. The history and architectural styles of the adjacent King Residence, and larger context are rooted in Classical Colonial Revival and Vernacular Farmhouse design with Traditional European Influence. These features, along with guidance from Lake Forest Staff, helped to inspire and guide the design process.

Sincerely,

Doug Wirth AIA, LEED AP – Associate / Senior Designer
BSB Design, INC.
220 N Smith Street, Suite 310
Palatine, IL 60067
847-705-2200



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☒ Stone
- ☐ Brick
- ☐ Wood Clapboard Siding
- ☒ Stucco

- ☒ Wood Shingle
- ☐ Aluminum Siding
- ☐ Vinyl Siding
- ☐ Synthetic Stucco
- ☐ Other _____

Color of Material Refer to elevation renderings

Window Treatment

Primary Window Type

- ☒ Double Hung
- ☒ Casement
- ☐ Sliding
- ☐ Other _____

Finish and Color of Windows

- ☐ Wood
- ☐ Aluminum Clad
- ☒ Vinyl Clad
- ☐ Other _____

Color of Finish Refer to elevation renderings

Window Muntins

- ☐ Not Provided
- ☐ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars
- ☐ Interior muntin bars only
- ☒ Exterior muntin bars only
- ☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
- ☐ Brick
- ☒ Wood
- ☐ Synthetic Material _____
- ☐ Other _____

Window Trim

- ☐ Limestone
- ☐ Brick
- ☒ Wood
- ☐ Synthetic Material _____
- ☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
- ☐ Other _____
- ☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☒ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☒ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☐ Copper
- ☒ Sheet Metal _____
- ☐ Other _____

Color of Material Refer to elevation renderings

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

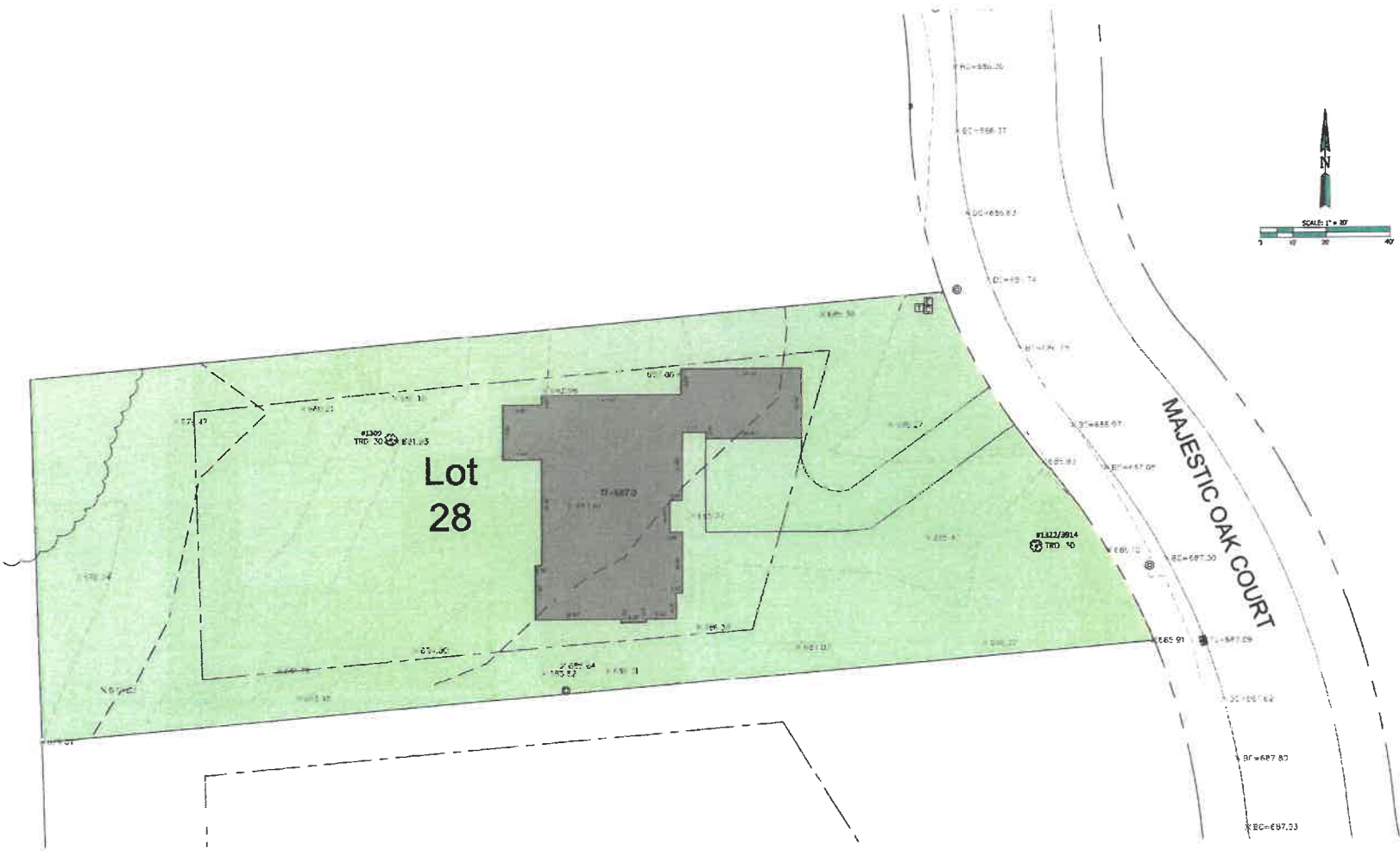
Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☒ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____

OUTLOT D



230 MAJESTIC OAK COURT



Site Layout - Lot 28

WESTLEIGH FARM
Lake Forest, IL



The drawings presented are illustrative of character and design intent only and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2022 BSB Design, Inc.



230 MAJESTIC OAK COURT



Lot 28 Elevations

WESTLEIGH FARM
Lake Forest, IL





230 MAJESTIC OAK COURT



Lot 28 Elevations

WESTLEIGH FARM
Lake Forest, IL





Rear Elevation
Scale: 1/4"=1'-0"

230 MAJESTIC OAK COURT



Lot 28 Elevations

WESTLEIGH FARM
Lake Forest, IL





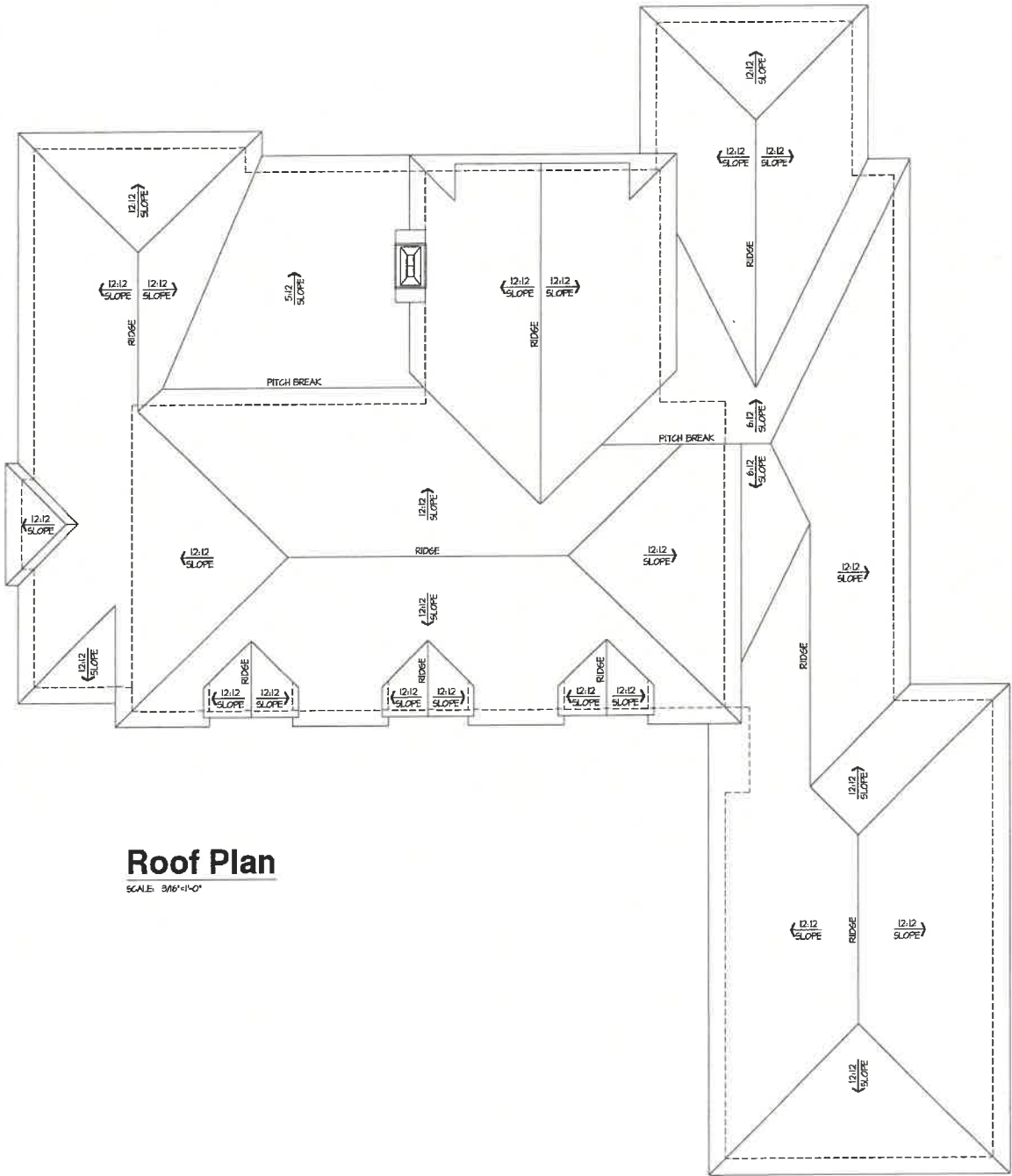
230 MAJESTIC OAK COURT



Lot 28 Elevations

WESTLEIGH FARM
Lake Forest, IL





Roof Plan
SCALE: 3/16"=1'-0"

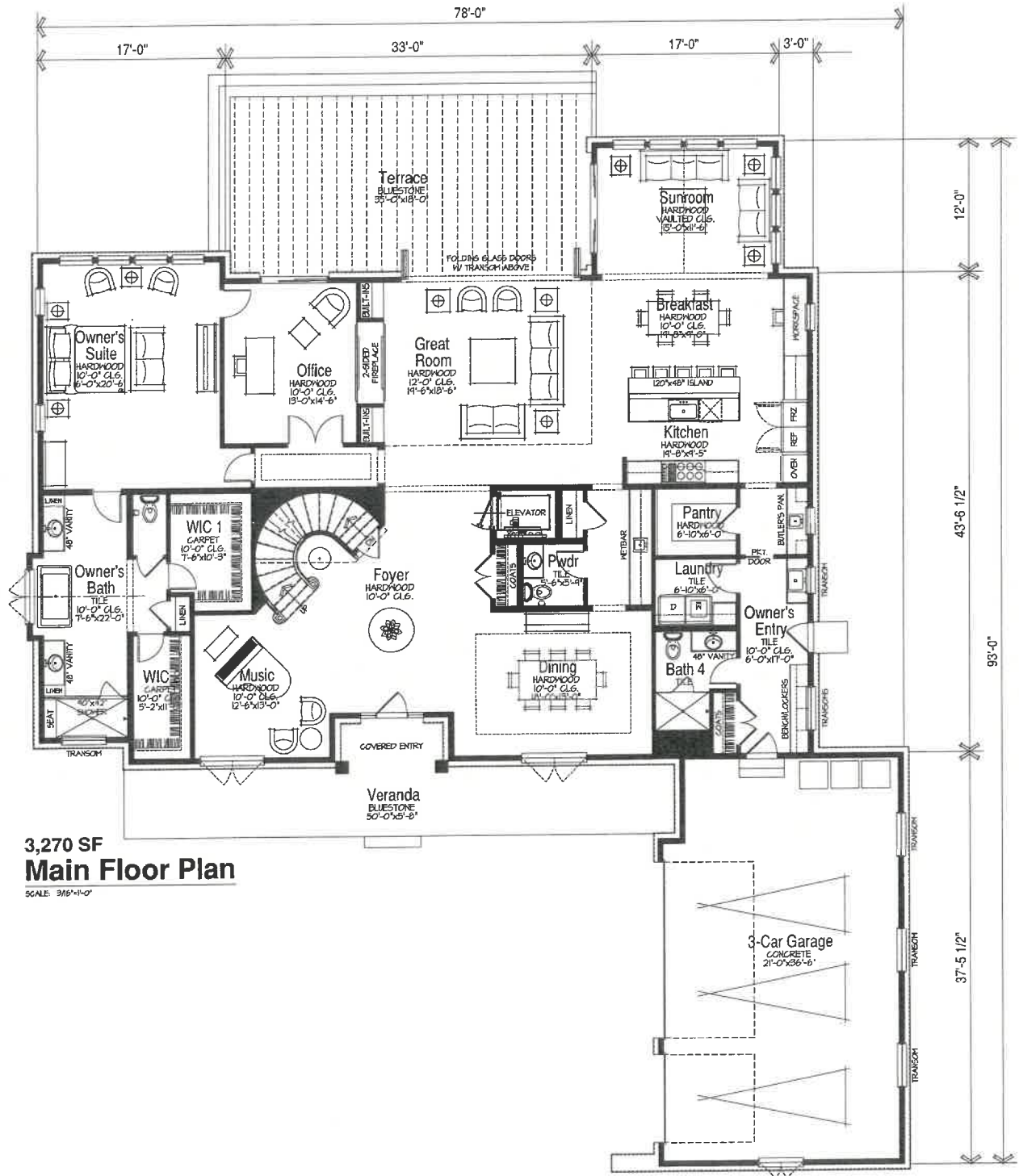


Lot 28 Plan: 4,737 SF
4-Bedroom / 4.5-Bath / 3-Car Garage

WESTLEIGH FARM
Lake Forest, IL


BSB
DESIGN
BSBDESIGN.COM

Bulk Calculations - Lot 28	
Element	Area (SF)
1st Floor	3,247
2nd Floor	1,812
3rd Floor	371
Garage	808
Garage Allowance	-600
Total SF	5,638
Total SF Allowed	5,749



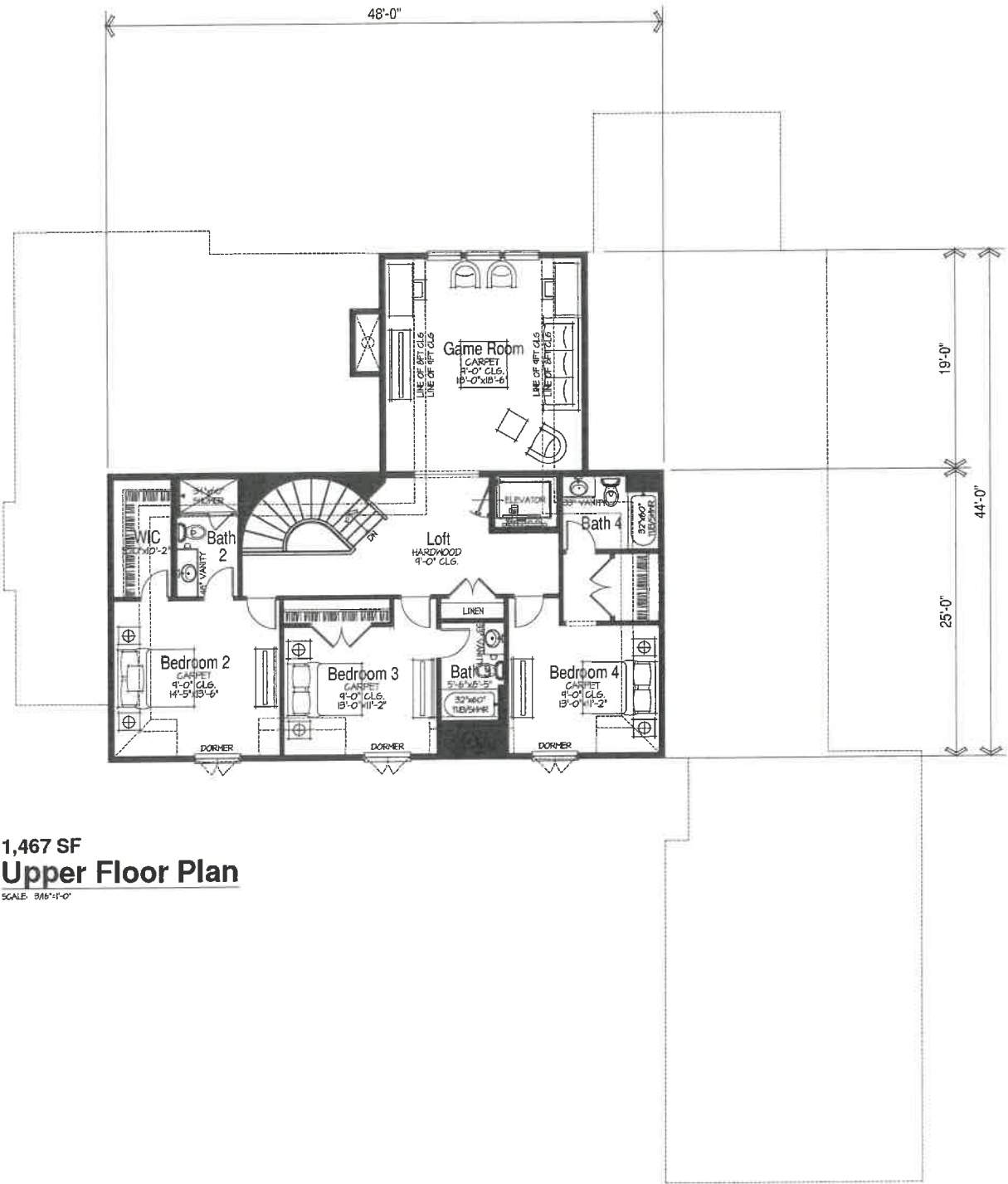
230 MAJESTIC OAK COURT



Lot 28 Plan: 4,737 SF
4-Bedroom / 4.5-Bath / 3-Car Garage

WESTLEIGH FARM
Lake Forest, IL

BSB
DESIGN
bsbdesign.com



1,467 SF
Upper Floor Plan
SCALE: 3/16"=1'-0"

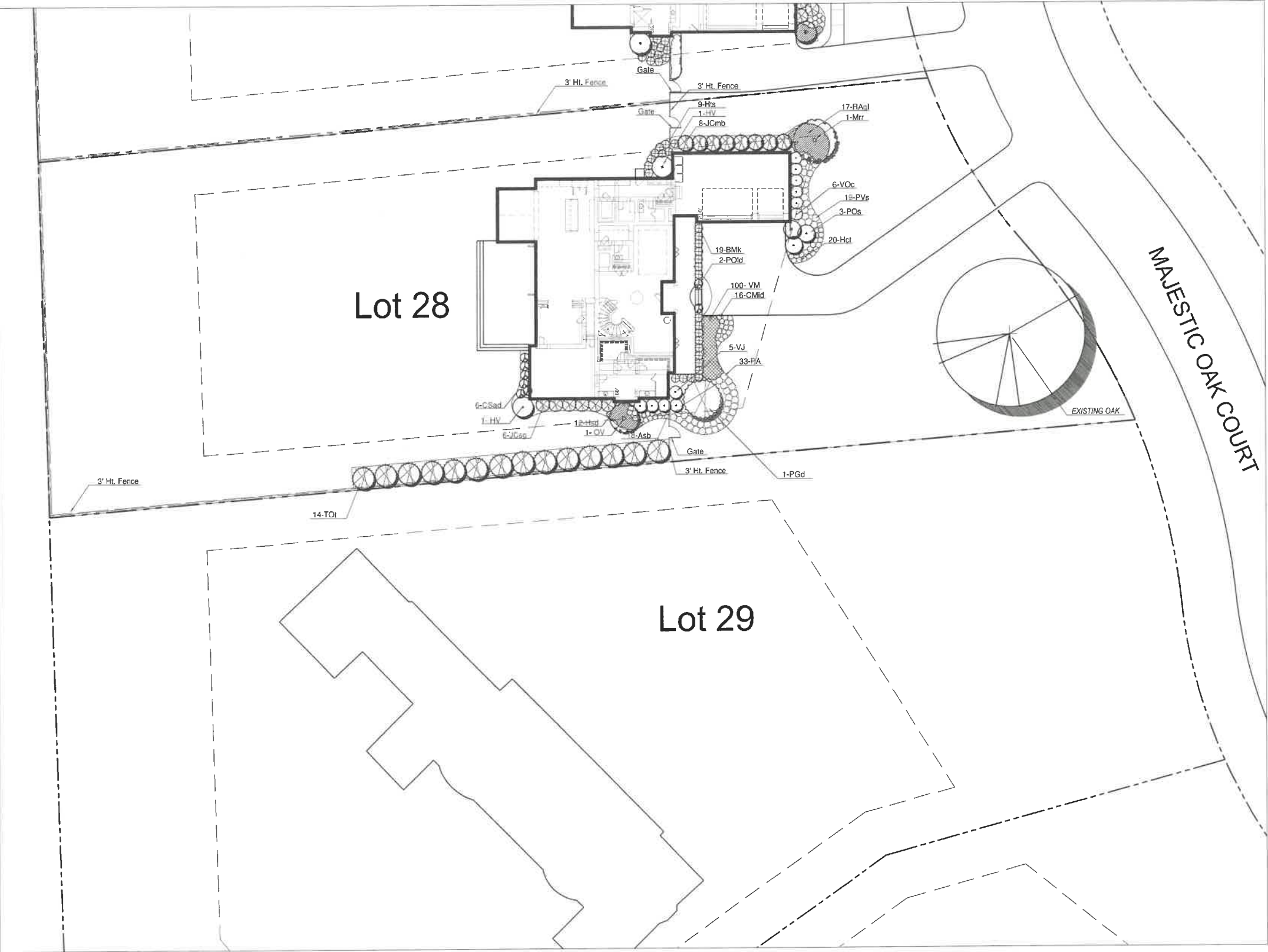
230 MAJESTIC OAK COURT



Lot 28 Plan: 4,737 SF
4-Bedroom / 4.5-Bath / 3-Car Garage

WESTLEIGH FARM
Lake Forest, IL

BSB
DESIGN
BSBDDESIGN.COM



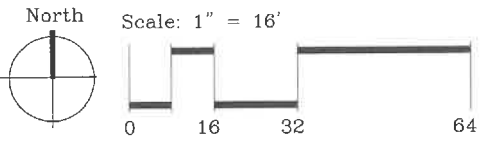
PLANT LIST				
INTERMEDIATE AND EVERGREEN TREES				
QTY.	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
2	HV	Hamamelis vernalis	Vernal Witchhazel	5' HT. BB
1	Mrr	Malus 'Royal Raindrops'	Royal Raindrop's Crab	2.5" BB
1	PGd	Picea glauca 'Densata'	Black Hills Spruce	8' HT BB

SHRUBS				
QTY.	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
19	BMk	Buxus microphylla 'Koreana'	Korean Boxwood	5 Gal Cont.
6	CSad	Cornus sericea 'Alleman's Dwarf'	Alleman's Dwarf Dogwood	3 Gal Cont.
0	DRK	Diervilla rivularis 'Kodiak'	Kodiak Bush Honeysuckle	3 Gal Cont.
0	Hil	Hydrangea 'Little Lamb'	Little Lamb Hydrangea	3 Gal Cont.
9	Hls	Hydrangea 'Tuff Stuff'	Tuff Stuff Hydrangea	3 Gal Cont.
8	JCmb	Juniperus chinensis 'Mum'	Mount Batten Juniper	8' Ht BB
6	JCsg	Juniperus chinensis 'Suecica'	Sea Green Juniper	7 Gal Cont.
2	POld	Physocarpus opulifolius 'Diplomat'	Little Devil Nine Bark	3 Gal Cont.
3	POs	Physocarpus opulifolius 'Seward'	Seward Nine Bark	5 Gal. Cont.
17	Rgl	Rhus glabra 'Grow-Low' (36" On Center)	Grow-Low Sumac	3 Gal Cont.
14	Tol	Taxodium distichum 'Techny'	Techny Arborvitae	8' BB
5	VJ	Viburnum juddii	Judd Viburnum	5 Gal Cont.
6	VOc	Viburnum opulus 'Compactum'	Compact Euro. Cranberry Vib.	24" BB

PERENNIALS AND GROUNDCOVER				
QTY.	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
16	CMid	Carex morrowi 'Ice Dance'	Ice Dance Sedge	1 QT Cont. 18" On Center
18	Asb	Allium 'Summer Beauty'	Summer Beauty Onion	1 QT Cont. 18" On Center
20	Hct	Heuchera 'Cherry Truffles'	Cherry Truffles Heuchera	1 Gal. 24" On Center
12	Hsd	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	1 Gal. 24" On Center
33	PA	Pennisetum alopecuroides	Fountain Grass	1 Gal. 24" On Center
19	PVs	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 Gal. 24" On Center
100	VM	Vinca minor	Periwinkle	1 QT. 12" On Center



3' Height Yard Fence



North Shore Builders

230 Majestic Oak Court
Landscape Plan
Lots 28 - Westleigh Farm
Lake Forest, Illinois

Date: March 1, 2023



The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2023 BSB Design, Inc.

PLANT LIST

INTERMEDIATE AND EVERGREEN TREES

QTY.	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
2	HV	Hamamelis vernalis	Vernal Witchhazel	5' HT. BB
1	Mrr	Malus 'Royal Raindrops'	Royal Raindrop's Crab	2.5" BB
1	PGd	Picea glauca 'Densata'	Black Hills Spruce	8' HT BB

SHRUBS

QTY.	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
19	BMk	Buxus microphylla 'Koreana'	Korean Littleleaf Boxwood	5 Gal Cont.
6	CSad	Cornus sericea 'Alleman's Dwarf'	Alleman's Dwarf Redtwig Dogwood	3 Gal Cont.
0	DRk	Diervilla rivularis 'Kodiak'	Kodiak Black Bush Honeysuckle	3 Gal Cont.
0	Hll	Hydrangea 'Little Lamb'	Little Lamb Hydrangea	3 Gal Cont.
9	Hts	Hydrangea 'Tuff Stuff'	Tuff Stuff Hydrangea	3 Gal Cont.
8	JCmb	Juniperus chinensis 'Mount Batten'	Mount Batten Juniper	8' Ht BB
6	JCsg	Juniperus chinensis 'Sea Green'	Sea Green Juniper	7 Gal Cont.
2	POld	Physocarpus opulfolius 'Little Devil'	Little Devil Nine Bark	3 Gal Cont.
3	POs	Physocarpus opulfolius 'Seward'	Seward Nine Bark	5 Gal. Cont
17	Rgl	Rhus aromatica 'Grow-Low' (36" On Center)	Grow-Low Sumac	3 Gal Cont.
14	Tot	Thuja occidentalis 'Techny'	Techny Arborvitae	8' BB
5	VJ	Viburnum judii	Judd Viburnum	5 Gal Cont.
6	VOc	Viburnum opulus 'Compactum'	Compact Euro. Cranberry Vib.	24" BB

PERENNIALS AND GROUNDCOVER

QTY.	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
16	CMid	Carex morrowi 'Ice Dance'	Ice Dance Sedge	1 QT Cont 18" On Center
18	Asb	Allium 'Summer Beauty'	Summer Beauty Onion	1 QT Cont 18" On Center
20	Hct	Heuchera 'Cherry Truffles'	Cherry Truffles Heuchere	1 Gal. 24" On Center
12	Hsd	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylilly	1 Gal. 24" On Center
33	PA	Pennisetum alopecuroides	Fountain Grass	1 Gal. 24" On Center
19	PVs	Panicum virgatum 'Shennandoah'	Shennandoah Switch Grass	1 Gal. 24" On Center
100	VM	Vinca minor	Periwinkle	1 Qt. 12" On Center

Agenda Item 6
766 Highview Terrace
Building Scale Variance - Partial Demolition and Replacement Addition

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application

Statement of Intent

Description of Materials

Site Plan

Elevations

- Existing with Demolition Areas Annotated
- Proposed Elevations
- Overlay Existing and Proposed

Roof Plan – Demolition Areas Annotated

Floor Plans

- *Second Floor – Demolition Areas Annotated*
- *Second Floor - Proposed*

Section – Addition

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

766 Highview Terrace

Consideration of a request for approval of building scale variance for a second story addition. Alterations are also proposed.

Property Owner: Scott and Susan Nehls

Project Representative: Jeff Letzter, Aspect Design, Inc. Project Manager

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of a building scale variance for an addition to accommodate expanded living space on the second floor.

Description of Property

The subject property is located on the north side of Highview Terrace in an established neighborhood bordering South Park. The property totals 9,241 square feet, slightly less than a quarter acre, and was created through the L.G. Arries 1st Addition to Northmoor Terrace Subdivision which was approved and recorded in 1923. Lots throughout this neighborhood are generally similar in size, however this lot is one of the larger ones in the neighborhood. Homes are modest, of varying styles, with varying garage placements, both front facing and detached, sometimes prominent along the streetscapes.

The house was constructed in 1951 and in 2015 there was an addition to the first floor. Permit records reflect that various other minor upgrades have occurred through the years, including a 2005 front porch addition.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan – This standard is met.

The site plan will not change with the proposed addition. The addition will only impact the second floor sizing on the current foundations.

Building Massing and Height – This request is over bulk maximum.

Based on the lot size, a residence of up to 3153 square feet is permitted on the property. In addition, a garage of up to 600 square feet is permitted along with up to 315 square feet of design elements. Design elements are defined as elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The residence totals 2,399 square feet. The total actual design elements is 228.67 square feet.
- The proposed addition totals 859 square feet.
- The maximum height of the residence remains at 27 feet, three feet below the maximum allowable height.
- The house, with the proposed addition, totals 3258 square feet, about 3% over the maximum bulk.

Elevations – This standard is met.

The proposed addition is consistent with the character, style, detailing and materials of the existing residence.

The proposed addition provides windows on the east elevation where previously a blank wall was visible to the neighbors on the east. The proposed changes simplify the entire elevation providing a more cohesive look to the house.

The rear elevation also becomes more architecturally streamlined with a consistent façade with equal spacing between windows. The existing chimney height will be raised to comply with code and further adds more architectural interest to the overall look of the house.

The front elevation of the house remains virtually unchanged, however the function of the space inside will change from a master bathroom to a bedroom. The front elevation shows the reuse of a small octagonal window, which is actually a small circular window.

Recommendation: The change of the existing small circular window to a double hung window consistent in size with the other bedroom windows would improve the look of the addition from the street view.

Type, color, and texture of materials – This standard is met.

The materials on the addition are consistent with those on the residence. The existing roof is cedar shingle and the roof of the proposed addition will match. The same cedar siding that currently clads the second story is also proposed for the addition. The stone veneer of the existing chimney will also be matched with the height extension. Double hung windows consistent with the existing windows are also proposed.

Landscaping and Hardscape

Changes to landscaping and hardscaping are not included in the proposed work.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website.

Recommendation

Forward a recommendation in support of the petition to the City Council based on the findings detailed in this staff report as adopted by the Board and subject to the following conditions.

1. All modifications to the plans including those made in response to Board direction or discussion and those made as a result of final design development shall be clearly called out on the plans submitted for permit and a copy of the plans originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to verify that the plans as presented are consistent with the Board's approval, and if not, further Board review is required prior to the issuance of any permits.
2. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction to protect vegetation intended to remain on the subject property, on the parkway, and on the adjacent property.
- b. A detailed landscape plan for the area on the north side of the house, in the area of the construction, shall be submitted and will be subject to review and approval by the City's Certified Arborist. At a minimum, the plan must reflect foundation plantings around the addition. The landscape plan shall specify the quantity, species, and size at the time of planting for all new landscaping.

Exterior Lighting

- c. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All

exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking and Staging

- d. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. On street parking of contractor vehicles shall be limited to two vehicles parked on the street, in front of the petitioners' house, during school pick up and drop off hours due to congestion in the area.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Valley R 766 Highview Terrace Owner(s) Scott and Susan Nehls

Proj. Manager Jeff Letzter Reviewed by: L. Prado

Date 3/1/2024

Lot Area 13328 sq. ft. unknown Allowable Square Feet = 3153

Square Footage of Residence -- Existing

1st floor 1574 + 2nd floor 826 + 3rd floor 0 = 2400 sq. ft.

Design Element Allowance = 315 sq. ft.

Total Actual Design Elements = 229 sq. ft. Excess = 0 sq. ft.

Garage 448 sf actual ; 576 sf allowance Excess = 0 sq. ft.

Garage Width 20 ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Existing Residence = 2400 sq. ft.
(minus Design Elements, plus garage overage)

DIFFERENTIAL (Existing) = 753 sq. ft.
Under Maximum

Square Footage of Proposed Addition:

1st floor 0 + 2nd floor 859 + 3rd floor 0 = 859 sq. ft.

Garage = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 3259 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 3153 sq. ft.

DIFFERENTIAL = 106 sq. ft. **NET RESULT:**
Over Maximum 106 sq. ft. is

Allowable Height: 30 ft. Actual Height 27'1" ft Existing Residence - not addition 3% over
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 315 sq. ft.

Front & Side Porches = 202 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

Individual Dormers = 5 sq. ft.

Bay Windows = 22 sq. ft.

Total Actual Design Elements = 229 sq. ft. **Excess Design Elements =** 0 sq. ft.





Area of Request
766 Highview Terrace



Area of Request
766 Highview Terrace



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 766 HIGHVIEW TERRACE

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input checked="" type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

SCOTT & SUSAN NEHL
Owner of Property

766 HIGHVIEW TERRACE
Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60045
City, State and Zip Code

(812) 343-1482
Phone Number

Fax Number

SANEHL.S@gmail.com
Email Address

[Signature]
Owner's Signature

ARCHITECT/BUILDER INFORMATION

JEFF LETETER, Project Manager
Name and Title of Person Presenting Project

ASPECT DESIGN, INC.
Name of Firm

26275 COMMERCIAL DR #607
Street Address

WOLF, IL 60073
City, State and Zip Code

(847) 457-2500
Phone Number

Fax Number

JELETETER@ASPECTDESIGNINC.COM
Email Address

[Signature]
Representation of Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 5:00pm.

Please email a copy of the staff report

☒ OWNER

☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER

☐ REPRESENTATIVE



Statement of Intent 766 Highview Terrace: Lake Forest, IL 60045

1. Background—A home addition / remodel is proposed for the Scott and Susan Nehls family residence.
2. Initial Goal—The purpose of the project is to seamlessly integrate a properly proportioned second story addition above the current first floor, enhancing the livability of the home.
3. Design Strategy—Through the strategic removal and redesign of the existing roof, we aim to minimize any impact on the existing streetscape. Our focus is on preserving the distinctive character of the current home while creating functional living space for the family.
4. Materials—The exterior will feature new 8" cedar siding, painted to match the existing color scheme. Cedar will also be used for the trim, soffit, fascia, all painted to match the current aesthetic. The windows will be white, and the roof will be constructed using architectural asphalt shingles to seamlessly align with the existing roof.
5. Conclusion—Our aspiration is to construct an aesthetically pleasing addition / remodel that harmoniously blends with its surroundings.
6. Variances—We are seeking a Building Scale Variance due to a minor excess of +105.52 square feet on bulk calculations. We are seeking to build over the entire second floor, to simplify the roof construction and avoid any unnecessary corners that would jeopardize the aesthetic of the existing residence.

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
PHONE: 847.457.2500
WWW.ASPECTDESIGNINC.COM



Statement Supporting a Building Scale Variance 1055 Beverly Place: Lake Forest, IL 60045

1. Standard 1 – The project is consistent with the design standards in section 9-86 of the City of Lake Forest Code.
2. Standard 2 – Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass on the structure and as a result, the proposed development is in keeping with the streetscape and overall background.
3. Standard 3 – The siting of the existing residence will not change. The second story addition will stack upon the existing first floor. We will be incorporating new roof construction over this area to simply the roof and to minimize the impact on the front elevation.
4. Standard 4 – The height and mass of the existing residence will not change and therefore will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets and other residences and garages in the same subdivision.
5. Standard 5 – The property is not located in a local historic district or designated as a local landmark.
6. The property is not adjacent to land used and zoned as permanent open space, a conservation easement, or a detention pond.

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
PHONE: 847.457.2500
WWW.ASPECTDESIGNINC.COM



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS**

Façade Material

- ☐ Stone
☐ Brick
☒ Wood Clapboard Siding
☐ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material WHITE: MATCH
EXISTING

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☒ Wood
☐ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish WHITE: MATCH
EXISTING

Window Muntins

- ☒ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other N/A

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
☒ Stone
☐ Stucco
☐ Other _____

Roofing**Primary Roof Material**

- ☒ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Composition Shingles _____
☐ Sheet Metal _____
☐ Other _____

Flashing Material

- ☐ Copper
☒ Sheet Metal _____
☐ Other _____

Color of Material MATCH EXISTING

Gutters and Downspouts

- ☐ Copper
☐ Aluminum
☒ Other MATCH EXISTING

Driveway Material

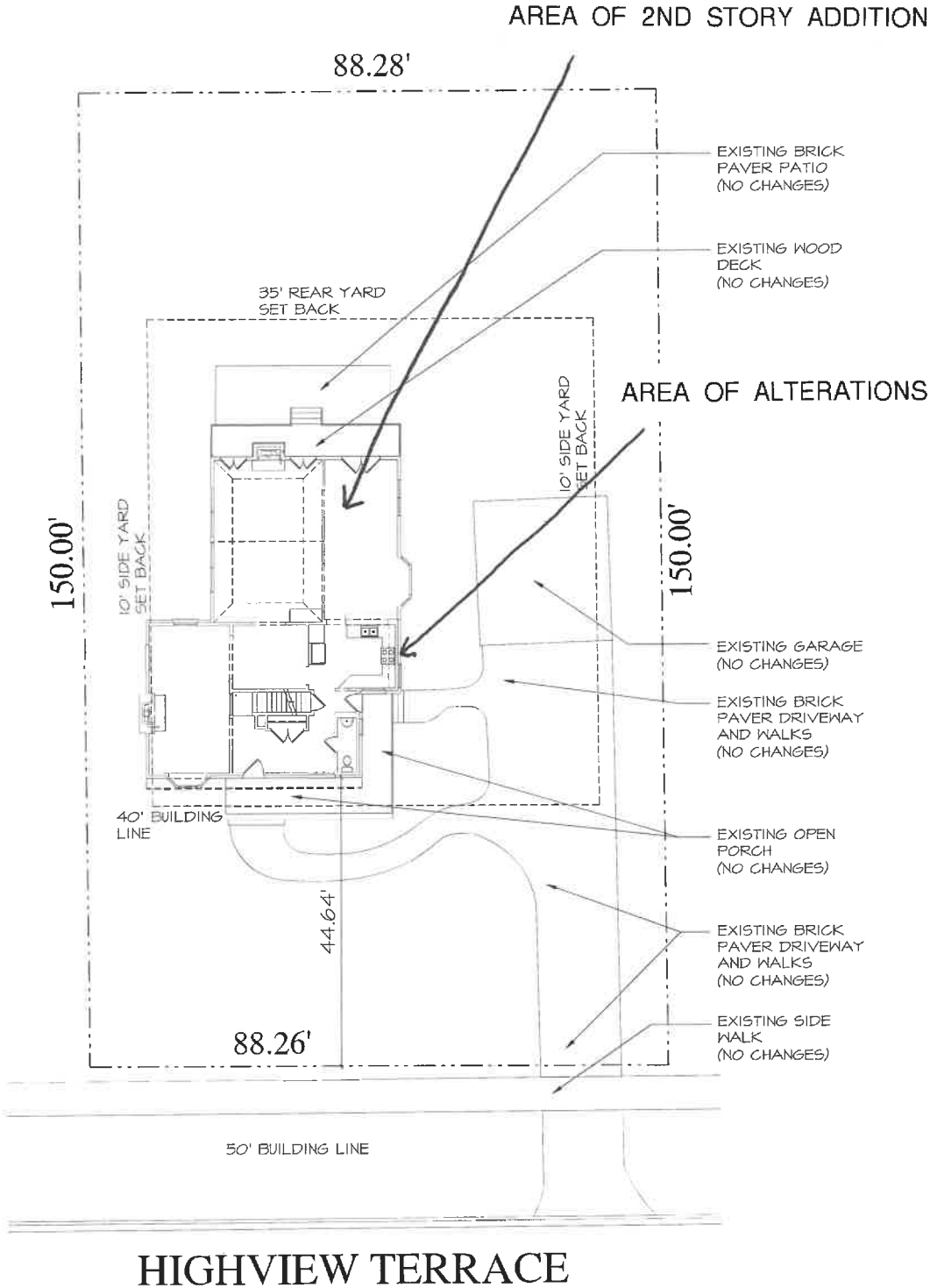
- ☐ Asphalt
☐ Poured Concrete
☒ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☐ Brick Pavers
☒ Concrete Pavers
☐ Poured Concrete
☐ Other _____

2/20/24

DEMOLITION CALC.	
EXISTING FIRST FLOOR:	1,573.73 S.F.
EXISTING SECOND FLOOR:	1,039.89 S.F.
EXISTING ROOF:	1,816.50 S.F.
TOTAL:	4,430.12 S.F.
SECOND FLOOR DEMOLITION:	299.44 S.F.
ROOF DEMOLITION:	924.89 S.F.
AREA OF DEMOLITION:	1,224.33 S.F.
PERCENT OF DEMOLITION:	27.64%



HIGHVIEW TERRACE

1
AR 02

SITE PLAN

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

© COPYRIGHT 2024

REVIEW ONLY-NOT FOR CONSTRUCTION

NEHLS RESIDENCE	
ADDITION / REMODEL 766 HIGHVIEW TERRACE LAKE FOREST, IL 60045	
10/27/2023 REVIEW	11/02/2023 REVIEW
11/08/2023 REVIEW	01/02/2024 REVIEW
02/20/2024 REVIEW	
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 FAX: 847-457-2501 WWW.ASPECTDESIGNINC.COM	
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766 HIGHVIEW TERRACE SITE PLAN	
AR 02	
# 2 OF 2 TOTAL SHEETS	

2/20/24



REMOVE EXISTING
ROOF, SHINGLES,
RIDGE VENT,
SHEATHING, GUTTERS,
DOWNSPOUTS, ETC.
AS REQUIRED FOR
NEW SECOND FLOOR
CONSTRUCTION

EXISTING

EXISTING

EXISTING

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1
AR 07

FRONT ELEVATION (DEMOLITION)

SCALE: N.T.S.

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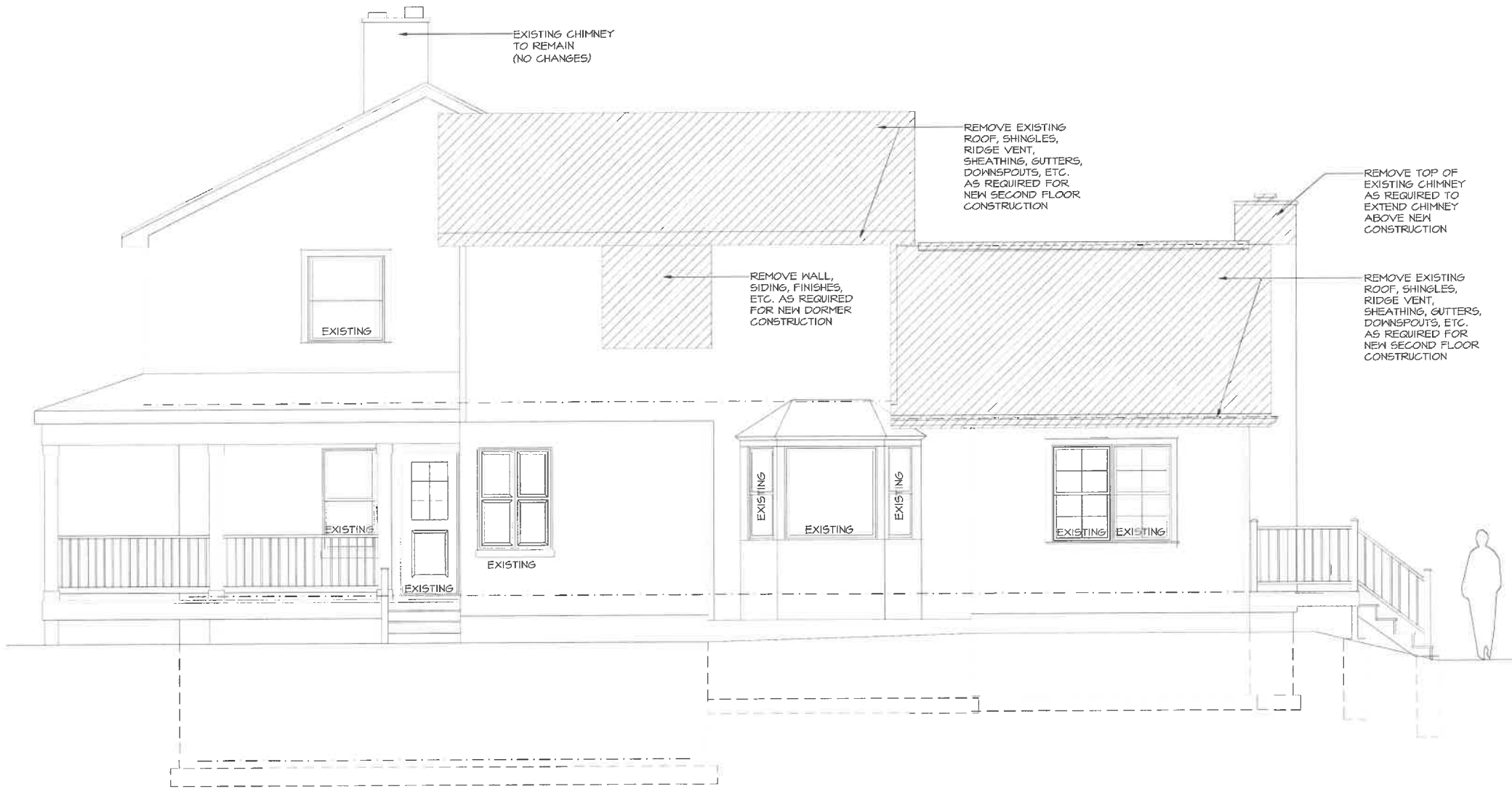
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ADDITION / REMODEL 766 HIGHVIEW TERRACE LAKE FOREST, IL 60045	
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766 HIGHVIEW TERRACE DEMOLITION ELEVATIONS	
AR 07	
# 7 OF 2 TOTAL SHEETS	

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1 LEFT ELEVATION (DEMOLITION)
AR 08

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REVIEW	11/20/2024
REVIEW	02/20/2024
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# 8 OF 8 TOTAL SHEETS	

2/20/24



1
AR 09

REAR ELEVATION (DEMOLITION)

SCALE: N.T.S.

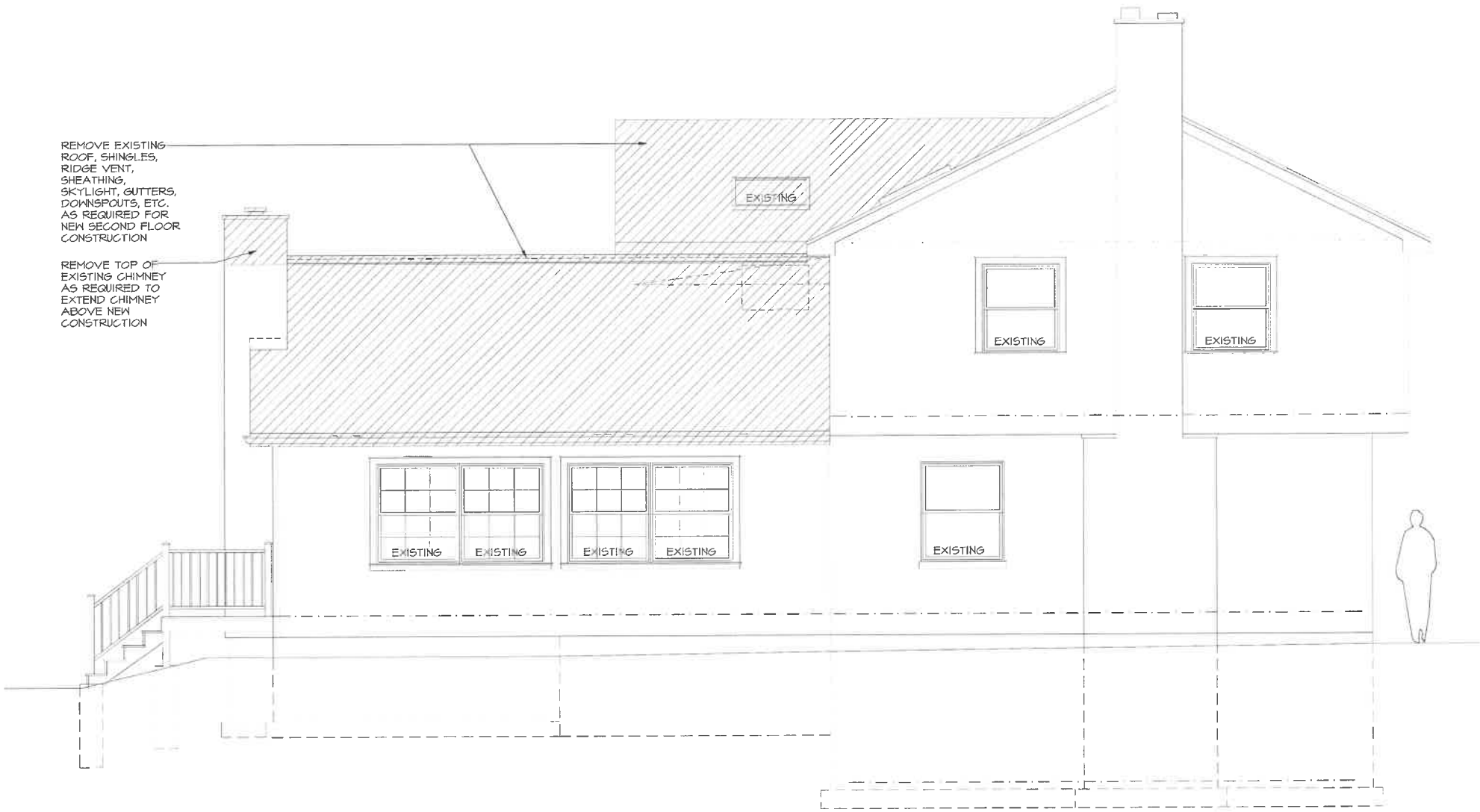
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766 HIGHVIEW TERRACE DEMOLITION ELEVATIONS	
AR 09	
# 9 OF 3 TOTAL SHEETS	

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1 RIGHT ELEVATION
AR 10 (DEMOLITION)

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AR 10	
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ADDITION / REMODEL 766 HIGHVIEW TERRACE LAKE FOREST, IL 60045	

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1 FRONT ELEVATION (PROPOSED)
AR 14

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766 HIGHVIEW TERRACE PROPOSED ELEVATIONS	
AR 14	
# 14 OF x TOTAL SHEETS	

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ADDITION / REMODEL
766 HIGHVIEW TERRACE
LAKE FOREST, IL 60045

REVIEW	10/27/2023
REVIEW	11/02/2023
REVIEW	11/08/2023
REVIEW	01/30/2024
REVIEW	02/20/2024

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766 HIGHVIEW TERRACE PROPOSED ELEVATIONS	

AR 15

#15 OF x TOTAL SHEETS



1 LEFT ELEVATION (PROPOSED)
AR 15

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# 16 OF 3 TOTAL SHEETS	

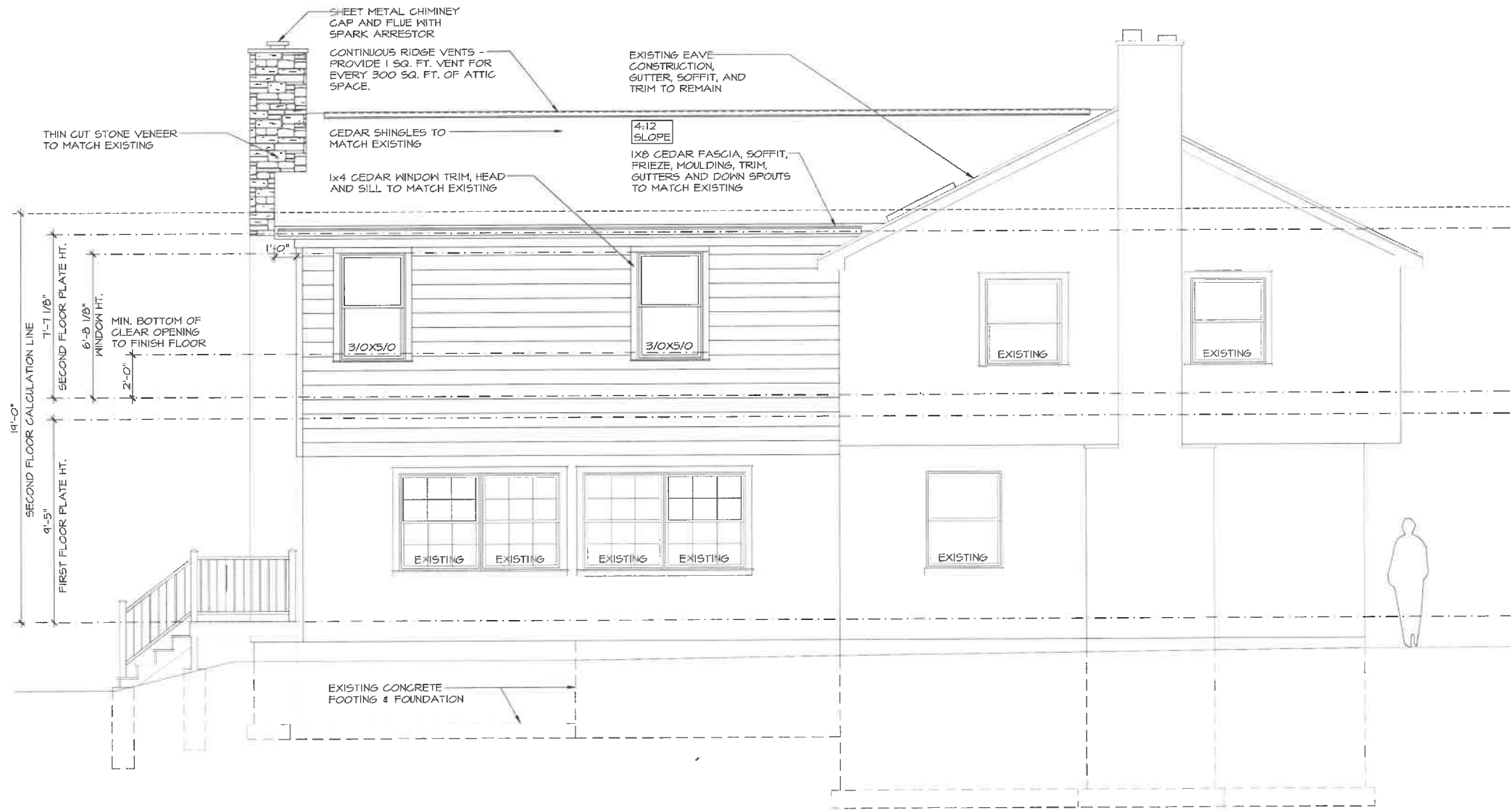
1 REAR ELEVATION (PROPOSED)
AR 16

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1 RIGHT ELEVATION (PROPOSED)
AR 17

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766 HIGHVIEW TERRACE PROPOSED ELEVATIONS	
AR 17	
# 17 OF 8 TOTAL SHEETS	

2/20/24



1 FRONT ELEVATION (OVERLAY)
AR 22

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766 HIGHVIEW TERRACE
OVERLAY ELEVATIONS

AR 22

22 OF 2 TOTAL SHEETS

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10/27/2023

REVIEW

11/07/2023

REVIEW

01/30/2024

REVIEW

02/20/24

NEHLS
RESIDENCE

ADDITION / REMODEL
766 HIGHVIEW TERRACE
LAKE FOREST, IL 60045

2/20/24



1
AR 23

LEFT ELEVATION (OVERLAY)

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AR 23	
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REVIEW	02/20/2024

NEHLS RESIDENCE	
ADDITION / REMODEL 766 HIGHVIEW TERRACE LAKE FOREST, IL 60045	

2/20/24



1
AR 24

REAR ELEVATION (OVERLAY)

SCALE: N.T.S.

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RESIDENCE
ADDITION / REMODEL
766 HIGHVIEW TERRACE
LAKE FOREST, IL 60045

02/20/24
REVIEW

01/25/24
REVIEW

11/02/23
REVIEW

09/20/23
REVIEW

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766 HIGHVIEW TERRACE
OVERLAY ELEVATIONS

AR 24
24 OF 1 TOTAL SHEETS

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1
AR 25

RIGHT ELEVATION (OVERLAY)

SCALE: N.T.S.

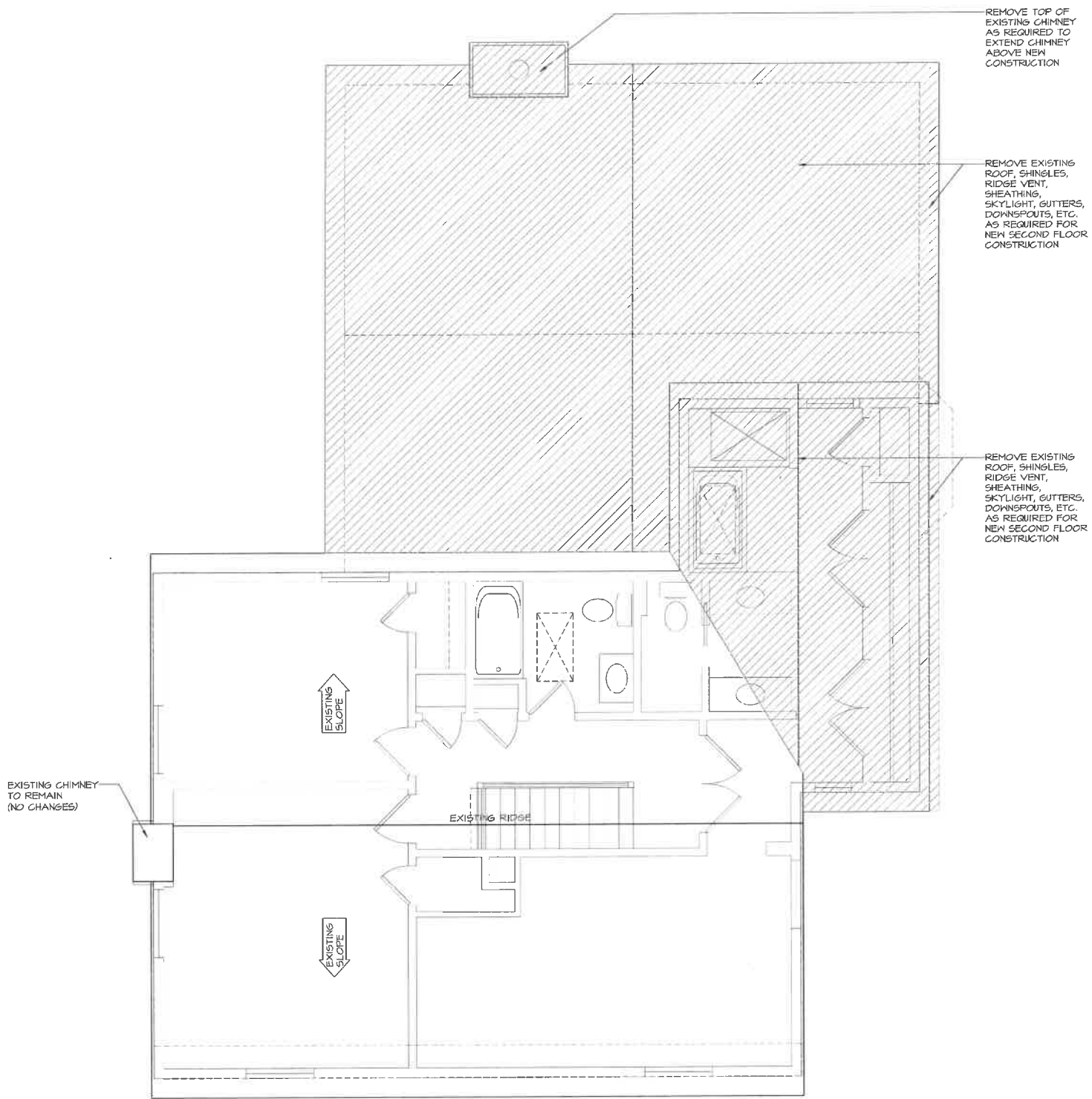
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AR 25	
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REVIEW	02/20/2024
NEHLS RESIDENCE ADDITION / REMODEL 766 HIGHVIEW TERRACE LAKE FOREST, IL 60045	

2/20/24



924.89 S.F. TO BE DEMOLISHED
ROOF PLAN
(EXISTING & DEMOLITION)

1
AR 13

SCALE: N.T.S.

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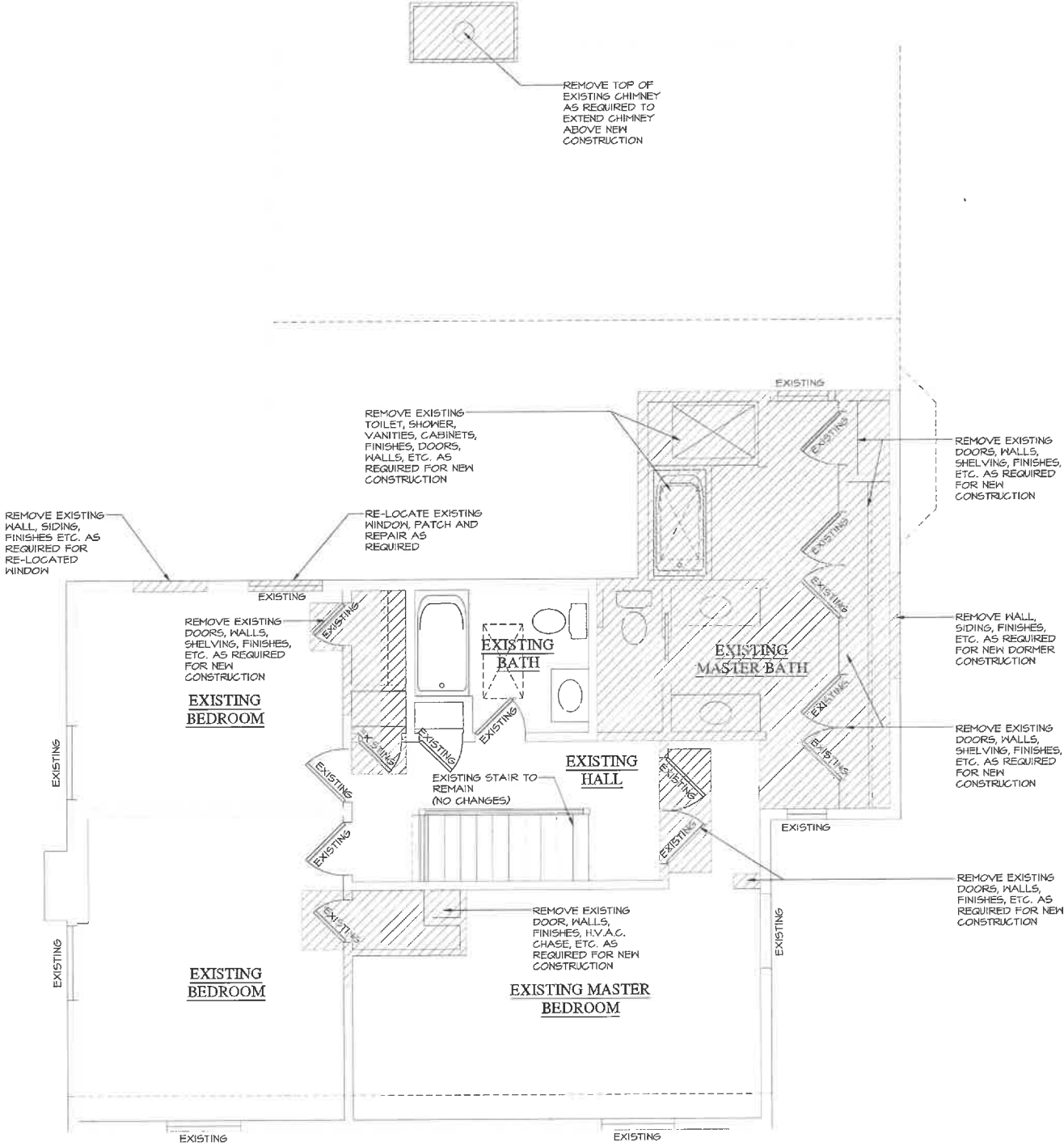
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166 HIGHVIEW TERRACE DEMOLITION PLANS	
AR 13	
# 13 OF 1 TOTAL SHEETS	

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REVIEW	02/20/2024

NEHLS RESIDENCE	
ADDITION / REMODEL 766 HIGHVIEW TERRACE LAKE FOREST, IL 60045	

2/20/24



299.44 S.F. TO BE DEMOLISHED
SECOND FLOOR PLAN
(EXISTING & DEMOLITION)

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AR 12	
# 12 OF 1 TOTAL SHEETS	

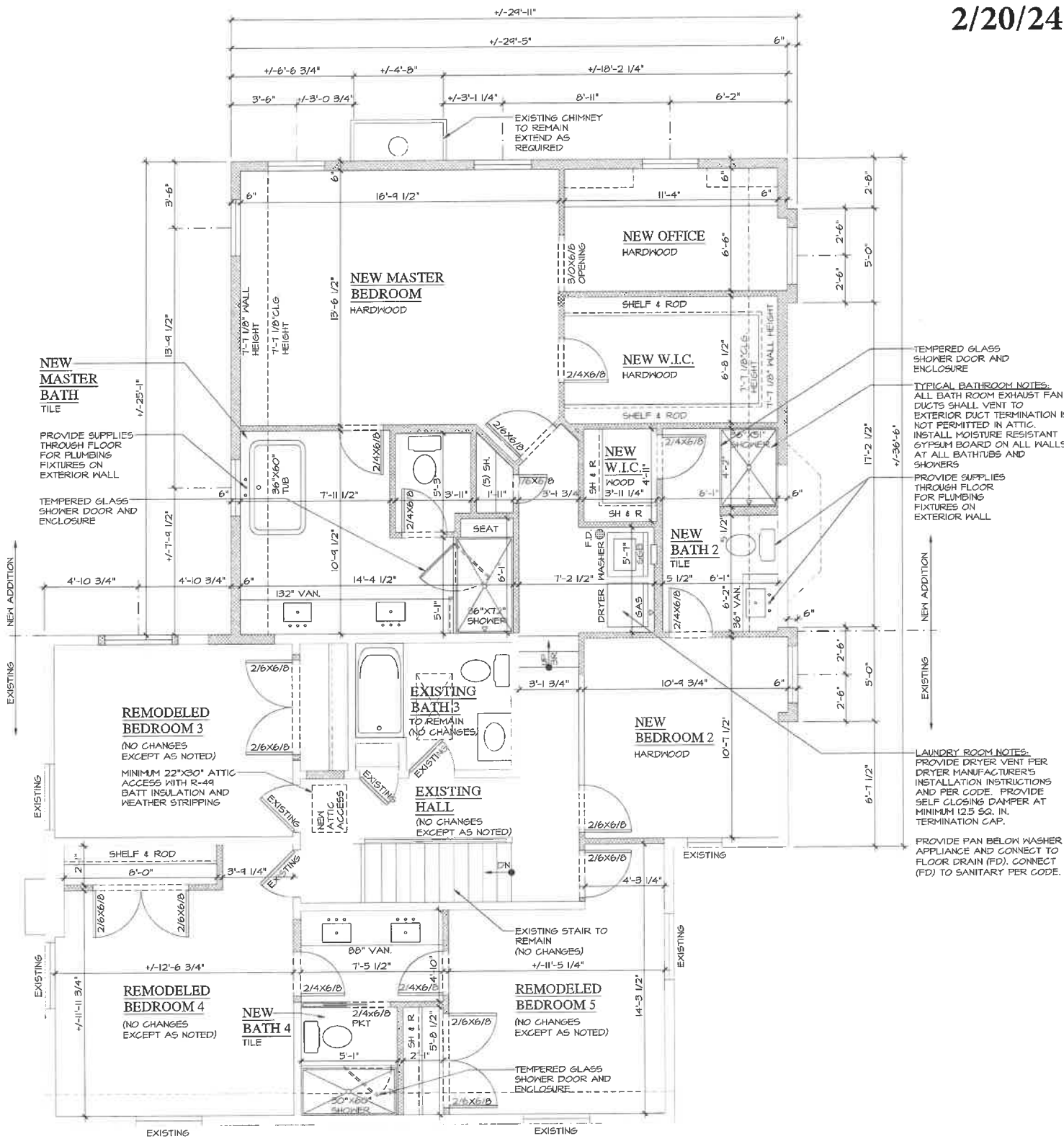
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REVIEW	11/08/2023
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REVIEW	02/20/2024

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1 SECOND FLOOR PLAN (PROPOSED)
AR 19

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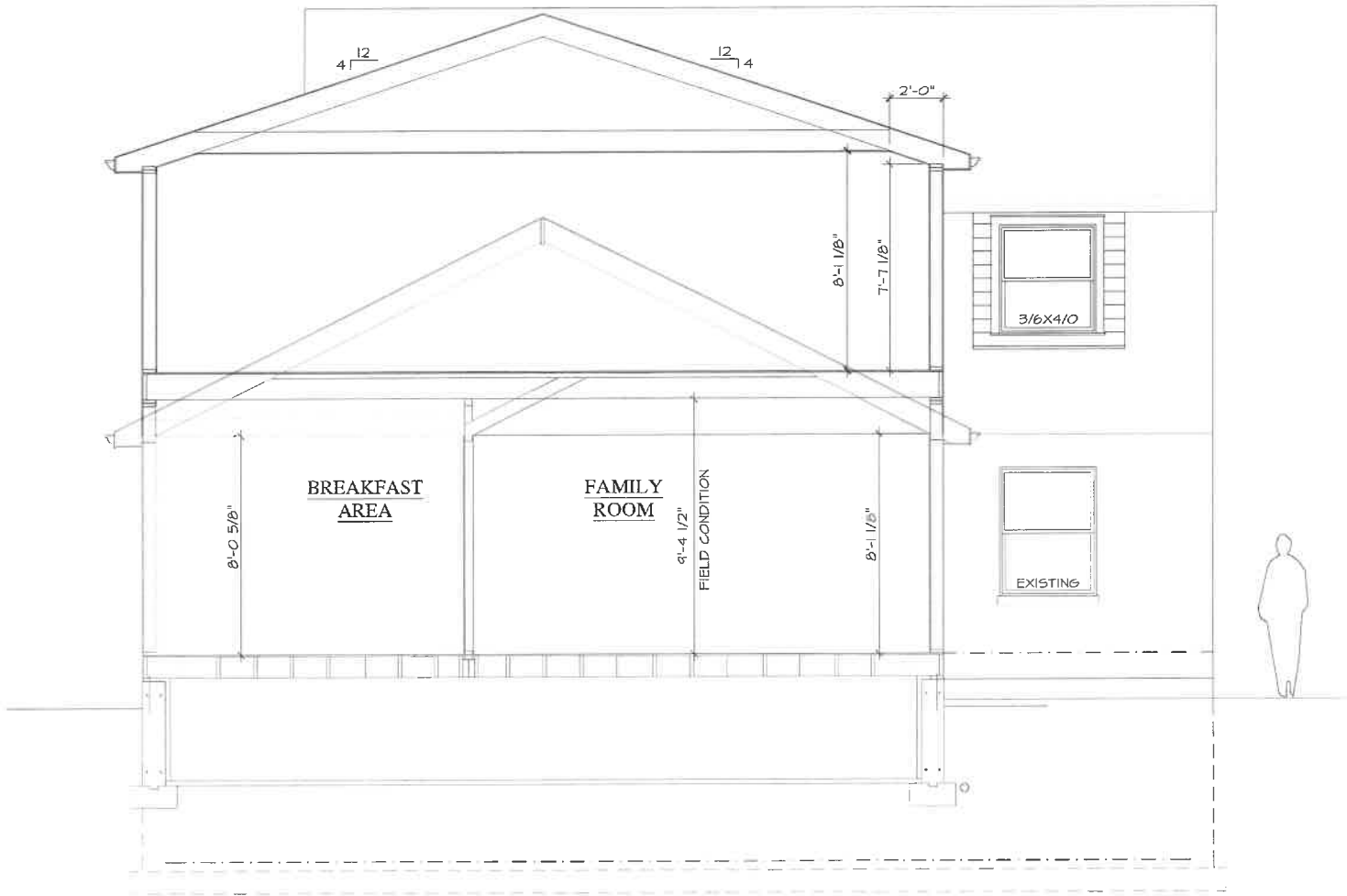
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766 HIGHVIEW TERRACE PROPOSED PLANS	
AR 19	
# 19 OF 1 TOTAL SHEETS	

2/20/24



1 BUILDING SECTION (PROPOSED)
AR 21

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<p>PROJECT # AD23157</p> <p>DRAWN BY: DB/MB</p> <p>766 HIGHVIEW TERRACE PROPOSED SECTION</p>		<p>AR 21</p> <p># 21 OF 2 TOTAL SHEETS</p>	

Agenda Item 7
980 Melody Road
Addition, Alterations, Site Plan Modifications

Staff Report
Building Scale Summary
Vicinity Map
Air Photo

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Materials
Survey – Existing Conditions
Site Plan – Proposed Additions & Driveway Expansion
Elevations – Existing
Elevations - Proposed
Elevations – Overlay Existing and Proposed
Conceptual Images
Roof Plan
Floor Plans
Roof Plan
Section
Streetscape
Preliminary Grading & Tree Removal Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

980 W Melody Road

Consideration of a request for a substantial addition and complete alteration of an existing residence including landscaping and the associated hardscape.

Property Owner: Jack Harris

Project Representative: Andy Kacprzyński, Architect, Pro-Plan Architects PC

Staff Contact: Abigail Vollmers, Senior Planner

Summary of Request

This is a request for a recommendation in support of a complete renovation and second story addition of an existing ranch home including a three-car attached garage.

Description of Property

The property is located on the east side of Waukegan Road, and is the first house on the north side of Melody Road. The west edge of the property borders Waukegan Road. The existing home is a single-story ranch house built in 1955. The home appearance is outdated with minimal upgrades and appears to be in poor condition.

The existing home is 2,444 SF and the proposed addition is 1,245 SF bringing the total proposed square footage to 3,689 SF which is under the maximum allowable square footage for the property.

The surrounding neighborhood contains homes of varying architectural styles built mostly between the 1950s and the 1980's. In near proximity to this home are two landmarked properties built in the 1920's by Stanley Anderson.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan – This standard is met.

The current residence faces south, toward Melody Road. The existing orientation will remain. The plans show a new three car garage on the west side of the property buffering the home from Waukegan Road.

The footprint of the house makes use of the existing foundations with the additions are located primarily along the west side of the house and along the back side. The additions fall within the setback lines for the property.

A new patio is being proposed on the back side of the residence along with an expanded driveway across the front yard to allow vehicle access into the new garages on the west side of the property.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,722 square feet is permitted on the site. In addition, a garage of up to 600 square feet is permitted along with up to 472 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The proposed residence totals 3,689 square feet.
- The proposed garage totals 400 square feet
- The proposed design elements total 464 square feet
- In total, the residence is 22% under the maximum allowable square feet.

Recommendation: The proposed addition falls within the allowable square footage for the site.

Elevations – This standard is not yet fully met.

According to the petitioner's statement of intent, the proposed residence will be a modern estate Ranch style. This typology consists of an eclectic mix of modern elements with strong earthy materials producing a newer style that reflects the recent popularity of West Texas Prairie homes.

The residence utilizes many of the elements common with this style including black windows, stone veneer, strong wood beam components at entries, modern outdoor light fixtures, and the use of eyebrow roofing to accentuate multiple windowpanes in a grouping.

Recommendation: The front elevation contains many elements providing a complex façade. The removal of the eyebrow canopy over the dining room windows would simplify the façade by allowing the more prominent gabled elements of the porch and garage as well as the bedroom windows to stand out.

Type, color, and texture of materials – This standard is not yet met.

The proposed materials include a color palette of white and gray. The stucco material will be white, the stone veneer a light grey with a charcoal grey asphalt shingled roof. The exterior columns at the porch and window wraps are natural cedar. The windows are black colored trim without divided lights.

Asphalt is proposed for the driveway and poured concrete is proposed for the back patio and sidewalk along the east side of the house.

The color palette as reflected on the conceptual rendering appears to be high contrast which is characteristic of this style.

Recommendation: Consider the use of a charcoal grey color for the gutters instead of the proposed black to eliminate the unnecessary accentuation of this building element.

Recommendation: Reconsider the terminus line of the stone veneer materials on the front elevation where the dining room windows are located. The current edge seems inconsistent with the use of the same material cladding the wall around the entrance door.

Landscaping – This standard can be fully met during review for permit.

The tree removals as detailed in the materials submitted by the petitioner include six mature trees. These types of removals for hardwood trees in good condition do require direct inch for inch replacement. However, given the complexities of the site, a review with the city arborist to finalize the exact requirements will occur during the permit process. If all replacement inches cannot be accommodated on the site using good forestry practices, a payment in lieu of on-site plantings will be required.

The buffer landscaping along Waukegan Road contains buck thorn and should be reviewed with the arborist and any proposed modifications included in the landscaping plans.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Continue the petition for further refinement. Indicate support for the overall site plan. Provide direction to the petitioner based on the recommendations detailed above in this report as they may be modified, eliminated, or added to by the Board.

OR

If the Board determines that a recommendation in support of the petition as presented is appropriate at this time, staff recommends the following conditions of approval be incorporated into the motion.

Conditions of Approval

1. The recommendations detailed above shall be addressed along with any other modifications as directed by the Board.

Note to the Board: Please detail the elements to be studied and refined, if any.

2. All modifications to the plans including those made in response to Board further direction or discussion, or as the result of final design development, shall be clearly called out on the plans submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to verify that the plans as presented are consistent with the Board's approval or if further Board review is required prior to the issuance of any permits.

3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify any trees proposed for removal and trees identified for protection and preservation.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long-term survival of the trees intended for preservation which are located close to construction activity.
- c. A detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. At a minimum, the plan must reflect foundation plantings around the entire structure and the number of trees required by the Code for new construction. The landscape plan shall specify the quantity, species, and size at the time of

planting for all new landscaping. Consideration shall be given to the City's recommended planting list.

Drainage and Grading

- d. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking and Staging

- f. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. Due to the location of the property, on Waukegan Road, on street parking and staging on Mellody Road shall be limited. Turning movements on to and from Waukegan Road and sightlines shall not be obstructed.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Valley R 980 Melody Road Owner(s) Jack Harris
 Architect Andy Kacprzynski Reviewed by: C. Czerniak
 Date 3/1/2024
 Lot Area 34446 sq. ft. source unknown Allowable Square Feet = 4722

Square Footage of Residence -- Existing

1st floor 2444 + 2nd floor + 3rd floor 0 = 2444 sq. ft.

Design Element Allowance = 472 sq. ft.

Total Actual Design Elements = 464 sq. ft. Excess = 0 sq. ft.

Garage 400 sf actual ; 600 sf allowance Excess = 0 sq. ft.

Garage Width NA ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Existing Residence = 2444 sq. ft.

(minus Design Elements, plus garage overage)

DIFFERENTIAL (Existing) = 2278 sq. ft.
Under Maximum

Square Footage of Proposed Addition:

1st floor 1120 + 2nd floor 0 + 3rd floor 0 = 1120 sq. ft.

New Garage Excess - above allowable = 125 sq. ft.

TOTAL SQUARE FOOTAGE = 3689 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 4722 sq. ft.

DIFFERENTIAL = 1033 sq. ft. **NET RESULT:**
Under Maximum

3689 sq. ft. is

22% under
Max. allowed

Allowable Height: 35 ft. Actual Height 21'11" ft.

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 472 sq. ft.

Front & Side Porches = 362 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

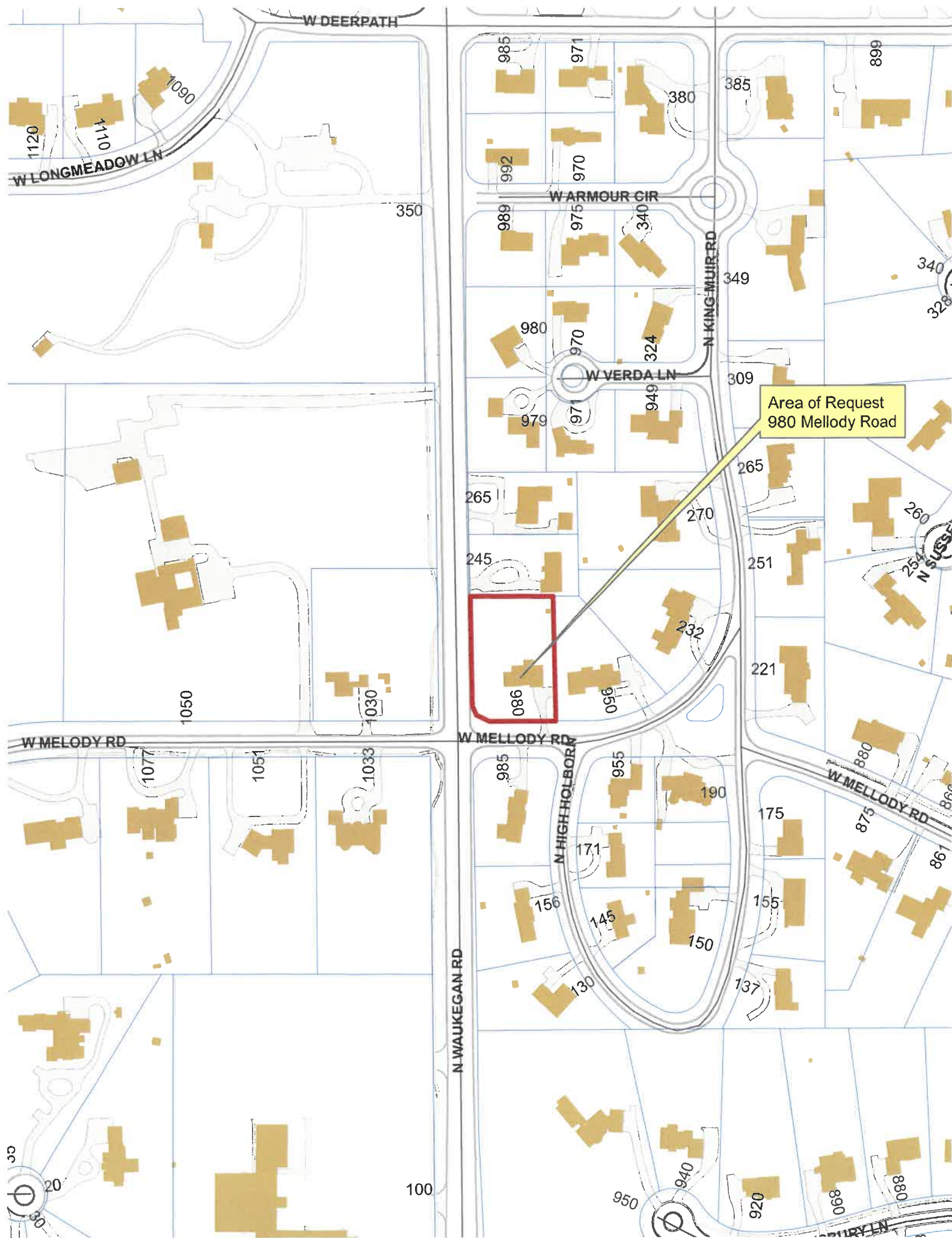
Breezeway = 0 sq. ft.

Pergolas = sq. ft.

Individual Dormers = 103 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 465 sq. ft. **Excess Design Elements =** 0 sq. ft.



Area of Request
980 Mellody Road





Area of Request
980 Melody Road





THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 980 Melody Road, Lake Forest, IL

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

JACK HARRIS
Owner of Property

268 Trillium Drive
Owner's Street Address (may be different from project address)

Dyer, Indiana 46311
City, State and Zip Code

(312) 848-7462
Phone Number Fax Number

jackh166@yahoo.com
Email Address

Jack Harris
Owner's Signature

ARCHITECT/BUILDER INFORMATION

ANDY KACPRZYNSKI (ARCHITECT)
Name and Title of Person Presenting Project

PRO-PLAN ARCHITECTS PC
Name of Firm

705 DEVON AVE
Street Address

PARK RIDGE, IL 60068
City, State and Zip Code

773-733-2675
Phone Number Fax Number

ANDY@PROPLANARCHITECTS.COM
Email Address

Aspauli Adij
Representative's Signature Name Title

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report	<input checked="" type="checkbox"/> OWNER	<input checked="" type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

12.19.2023

Building Review Board
City of Lake Forest
Community Development Department
800 Field Drive
Lake Forest, IL, 60045

**RE: Statement of Intent
980 W Melody Road, Lake Forest**

Dear Commissioners,

We respectfully submit the attached Building Review Board application and supporting documents for a 1-story addition to the existing single family home located at the address referenced above.

General Description

Proposed addition idea is to create a residence of approximately 3,400.0 sf of livable floor area with 1,300.0 sf of existing basement and proposed addition of 3-car garage. One story addition is design on the west and north side of the existing home, and the plan is to salvage existing foundations and as much as possible of the exterior walls. Proposed residence will have 4 bedrooms, 4.5 baths along with 3-car garage.

Zoning Requirements and Site Plan

Existing house and proposed additions are compliant with all zoning requirements. The property lot is 34,446.0 sf in size and heavily wooded on the west and north side. The addition were planned such that the existing driveway and curb cut could be maintained as is with proposed driveway alternation, since the new 3-car garage will be located at the west side of the proposed addition. There is some anticipated tree removal. This will include seven trees that are in the way with proposed addition and driveway alternation.

Home Style

Proposed modern estate Ranch style has similar massing and roof lines to other homes in the neighborhood. This neighborhood consists of a variety of home styles, including Ranch, Tudor and others. As an estate ranch home, the overall height is still substantially lower than the maximum required by the zoning codes.

Major design style characteristics are: simple asymmetric massing, front covered asymmetric entrance, slightly steeper roof slopes with decorative shed dormers, medium deep roof overhangs, simple fascia and frieze, casement windows, etc.

Materials- Type, Color and Texture

Proposed materials:

- Natural stone veneer- light gray with general monochromatic mix.
- Traditional stucco- white
- Asphalt shingles- architectural grade, dark gray (charcoal)
- Aluminum roofing on dormer and other low slope roofs- standing seam, black
- Gutters and downspouts - aluminum, black
- Fascias and soffits- aluminum, white
- Windows- vinyl clad, black (with no muntins)
- Exterior columns/ beams wraps and brackets- natural cedar

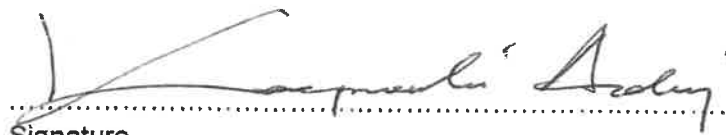
The proposed materials and colors are generally compatible with the style and character of the other residences of the neighborhood yet differentiated enough to prevent monotony.

The simple massing and color palette will not cause any distractions or safety hazards.

The proposed residence size, scale or level of quality is comparable to or exceeds the level of the surrounding properties and shall not have any negative impact on property values. The proposed home will maintain the same character as the existing neighborhood.

Please feel free to contact Pro-Plan Architects with any further comments or questions that you may have in regard to this project.

Sincerely,



12/19/23

Signature

date

Andy Kacprzyński – Owner of PRO-PLAN ARCHITECTS PC - Illinois Licensed Architect (#001.021686)



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Facade Material

- ☒ Stone
☐ Brick
☐ Wood Clapboard Siding
☒ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material STONE - LIGHT GRAY
STUCCO - WHITE

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☐ Aluminum Clad
☒ Vinyl Clad
☐ Other _____
Color of Finish BLACK

Window Muntins

- ☒ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other STUCCO OR STONE

Window Trim

- ☐ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other STUCCO TRIM

Fascias, Soffits, Rakeboards

- ☐ Wood
☒ Other ALUMINUM (WHITE)
☐ Synthetic Material _____

STONE (SOME WINDOWS)
WOOD HEADERS (SOME WINDOWS)

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

N/A

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☒ Other ASPHALT SHINGLES (ARCHITECTURAL)

Flashing Material

- ☐ Copper
- ☐ Sheet Metal _____
- ☒ Other ALUMINUM

Color of Material CHARCOAL

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum (BLACK)
- ☐ Other _____

Driveway Material

- ☒ Asphalt (EXISTING DRIVEWAY ALTERNATION)
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

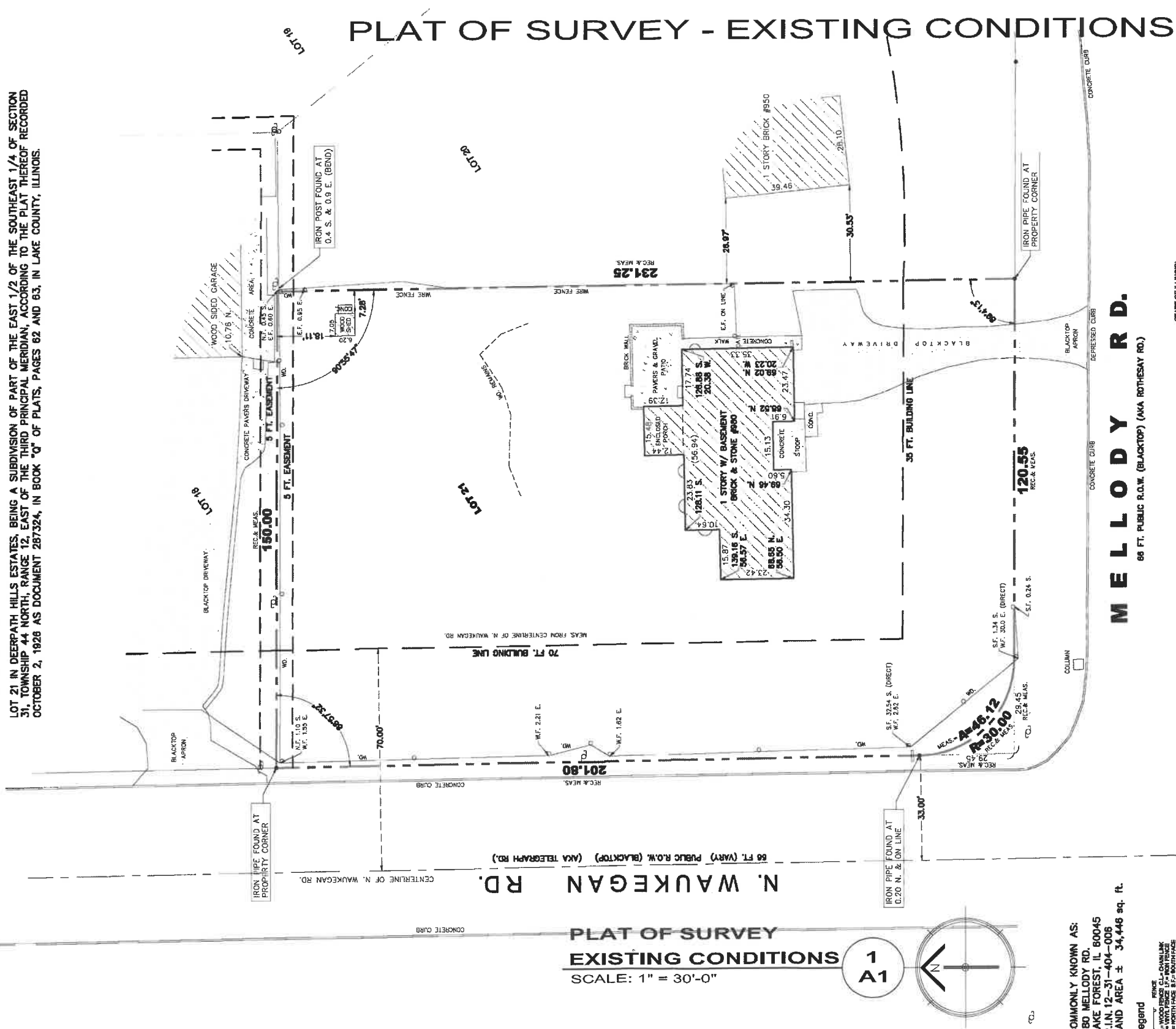
Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☒ Poured Concrete
- ☐ Other _____

SPIEWAK CONSULTING
PROFESSIONAL DESIGN FIRM
LICENSE NO.: 184.008516
1030 W. HIGGINS RD., STE 218
PARK RIDGE, IL 60068
phone: (773) 853-2672; (630) 351-9450
www.landsurveypros.pro
andrew@landsurveypros.pro

LEGAL DESCRIPTION:

LOT 21 IN DEERPATH HILLS ESTATES, BEING A SUBDIVISION OF PART OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 43, TOWNSHIP 44 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 2, 1928 AS DOCUMENT 287324, IN BOOK "Q" OF PLATS, PAGES 82 AND 83, IN LAKE COUNTY, ILLINOIS.



N.F. = NORTH FACE S.F. = SOUTH FACE
 W.F. = WEST FACE E.F. = EAST FACE
 I.P. = IRON PIPE I.R. = IRON ROD
 P.L. = PROPERTY LINE

● IRON ROD FOUND / SET
 ○ IRON PIPE FOUND / SET
 + CROSS FOUND / SET ○ UTILITY POLE
 ● P.W. FOUND / SET

SCALE: 1 INCH EQUALS 20 FEET.

ORDERED BY: ANDY
 COMPANY OR ORGANIZATION: ARCH.
 SURVEYED BY: PJS 773-709-8758
 DRAWN BY: PJS
 CHECKED BY: AFS
 PROJECT No: 1-55


THIS SURVEY IS VALID ONLY WITH AN EMBOSSED SEAL

DRAWING LIST
PLAT OF SURVEY
EXISTING CONDITIONS

JOB NO	23070
DRAWN BY: ANDY KACPRZYNSKI	

1-STORY ADDITION & INTERIOR REMODELING
980 MELLODY RD LAKE FOREST, IL

ISSUE DATES	
DATE	DESCRIPTION
12.14.2023	PRELIMINARY PLANS



PRO-PLAN ARCHITECTS, PC
architects
 andy kacprzynski
 705 devon ave park ridge il 60068
 tel 773 733 2675
 ANDY@PROPLANARCHITECTS.COM



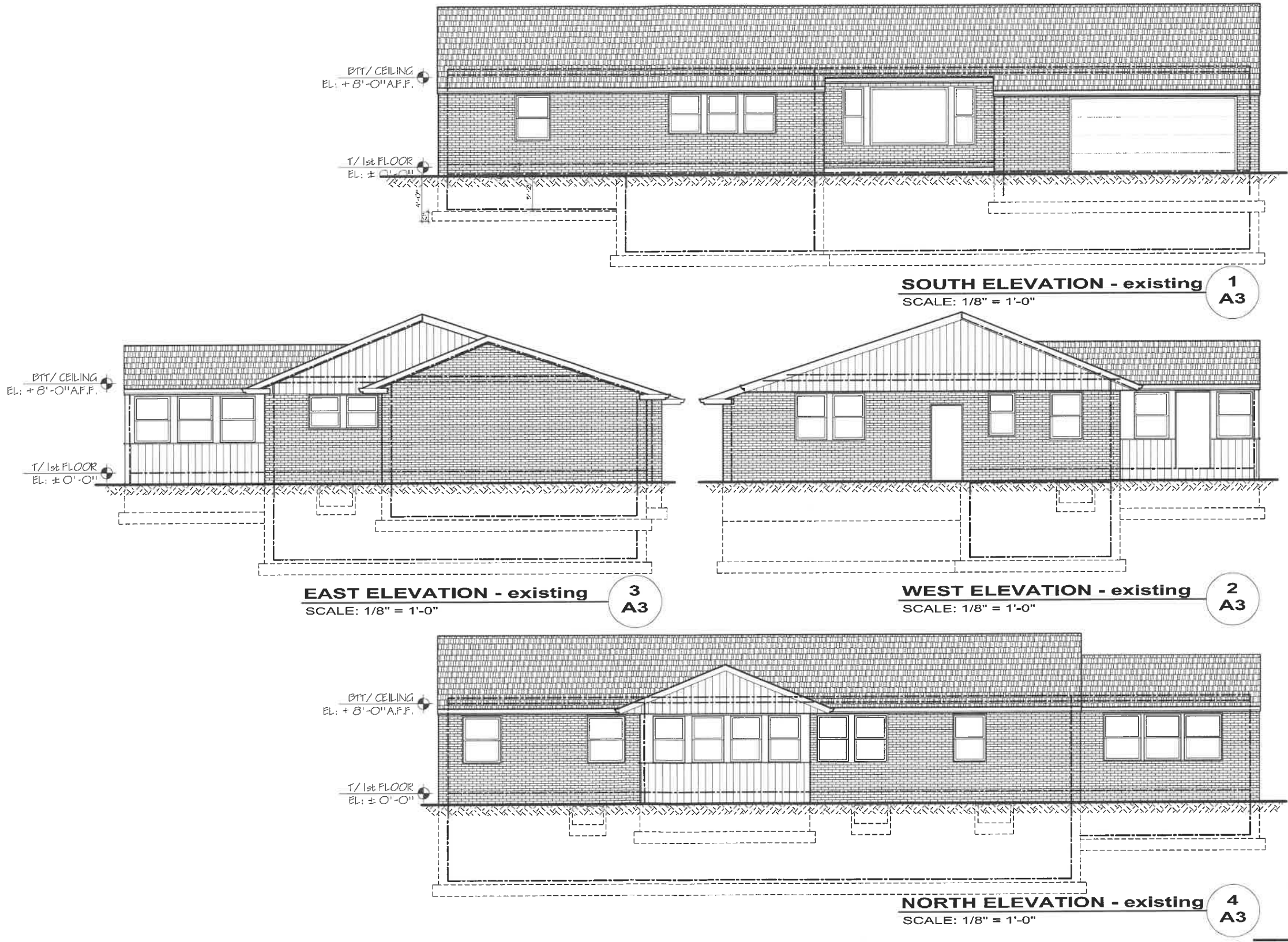
JOB NO	23070
DRAWN BY: ANDY KACPRZYNSKI	

DRAWING LIST
PROPOSED SITE PLAN
1-STORY ADDITION & INTERIOR REMOVAL
000 ME1 LDRY BD 1 TAKE E00ES

SHEET NO
A2



EXISTING ELEVATIONS



ISSUE DATES	
DATE	DESCRIPTION
12.14.2023	PRELIMINARY PLANS

PRO-PLAN ARCHITECTS, PC
Architects
705 44th Ave. Suite 100
Tel: 773 733 2675
ANDY@PROPLANARCHITECTS.COM

JOB NO	23070
DRAWN BY:	ANDY KACPRZYNSKI

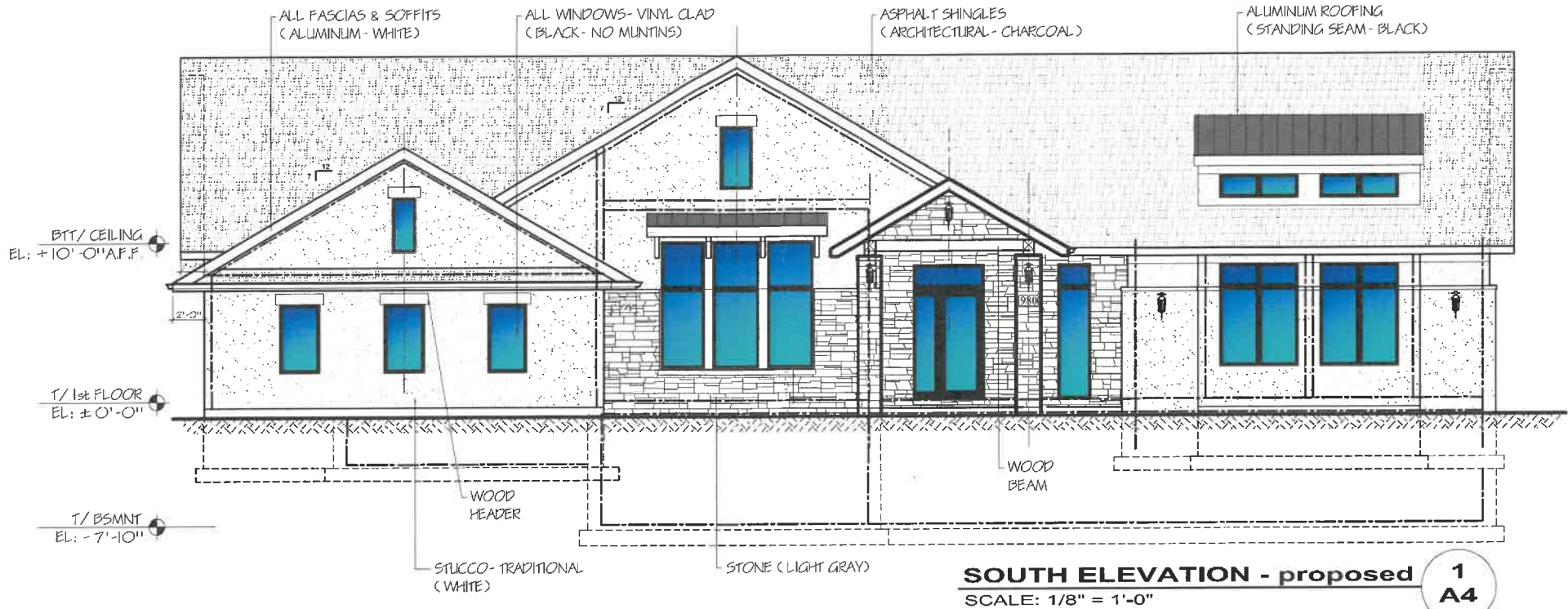
DRAWING LIST
EXISTING ELEVATIONS

1-STORY ADDITION & INTERIOR REMODELING
980 MELLODY RD LAKE FOREST, IL

SHEET NO
A3



PROPOSED SOUTH & WEST ELEVATIONS



ISSUE DATES		
DATE	DESCRIPTION	PRELIMINARY PLANS
12.14.2023		

PRO PLAN ARCHITECTS, P.C.
ANDRZEJ KACPRZYNSKI
705 Devon Ave. Park Ridge, IL 60068
tel 773 733 2675
ANDY@PROPLANARCHITECTS.COM

JOB NO	23070
DRAWN BY:	ANDY KACPRZYNSKI

DRAWING LIST
PROPOSED SOUTH ELEVATION
PROPOSED WEST ELEVATION

1-STORY ADDITION & INTERIOR REMODELING
980 MELLODY RD LAKE FOREST, IL

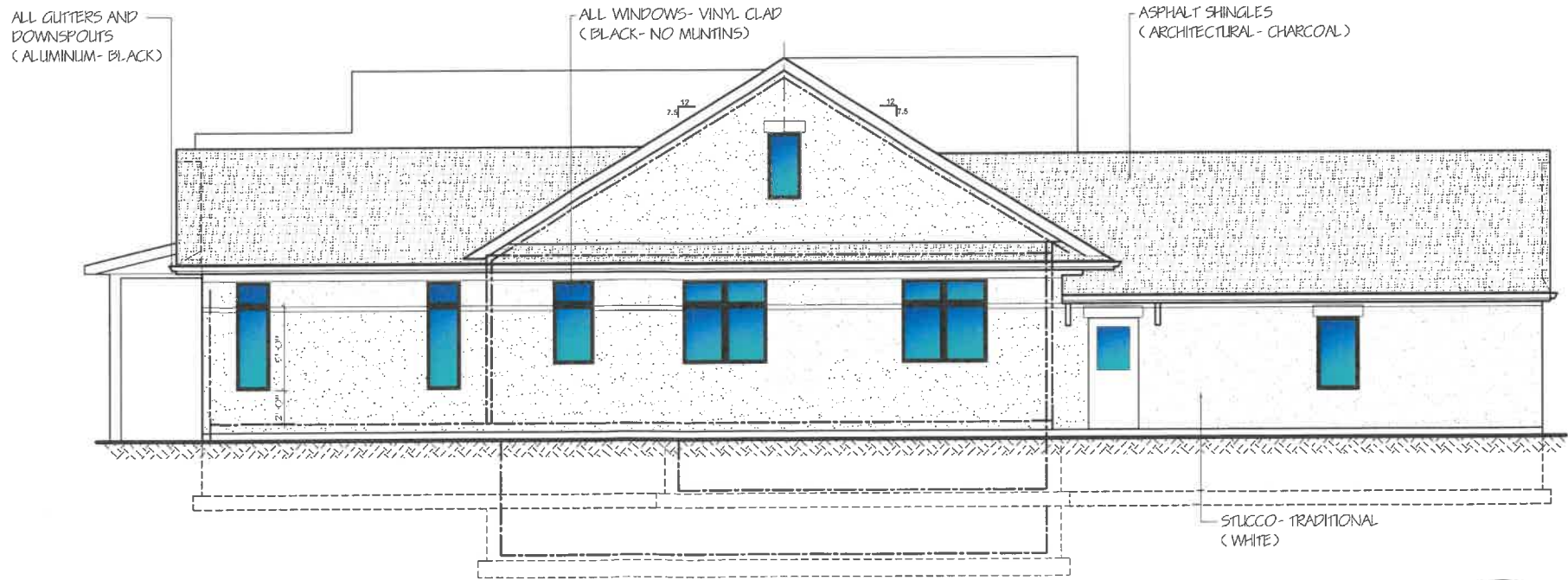
SHEET NO
A4



PROPOSED NORTH & EAST ELEVATIONS



NORTH ELEVATION - proposed
SCALE: 1/8" = 1'-0"
1 A5



EAST ELEVATION - proposed
SCALE: 1/8" = 1'-0"
2 A5

ISSUE DATES	
DATE	DESCRIPTION
12.14.2023	PRELIMINARY PLANS

PRO PLAN ARCHITECTS, PC
ANDY KACPRZYNSKI
705 Devon Ave. Park Ridge, IL 60068
tel 773 733 2675
ANDY@PROPLANARCHITECTS.COM

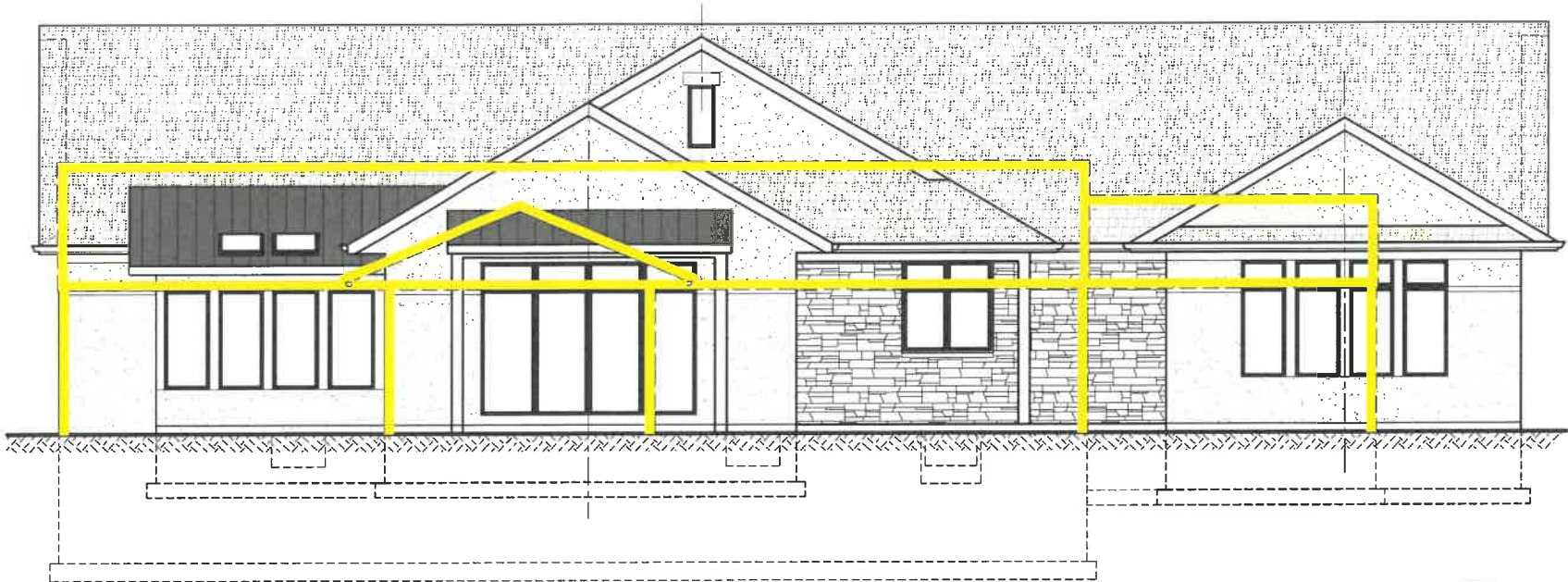
JOB NO	23070
DRAWN BY	ANDY KACPRZYNSKI

DRAWING LIST
PROPOSED NORTH ELEVATION
PROPOSED EAST ELEVATION
1-STORY ADDITION & INTERIOR REMODELING
980 MELLODY RD LAKE FOREST, IL

SHEET NO
A5



EXISTING & PROPOSED NORTH & EAST ELEVATIONS OVERLAYS




NORTH ELEVATION - existing & proposed 1
SCALE: 1/8" = 1'-0" A7



EAST ELEVATION - existing & proposed 2
SCALE: 1/8" = 1'-0" A7

ISSUE DATES	
DATE	DESCRIPTION
12.14.2023	PRELIMINARY PLANS



PRO-PLAN ARCHITECTS, PC
ANDRZEJ KACPEZYNSKI
705 Devon Ave. Park Ridge, IL 60068
tel 773 733 2675
ANDY@PROPLANARCHITECTS.COM

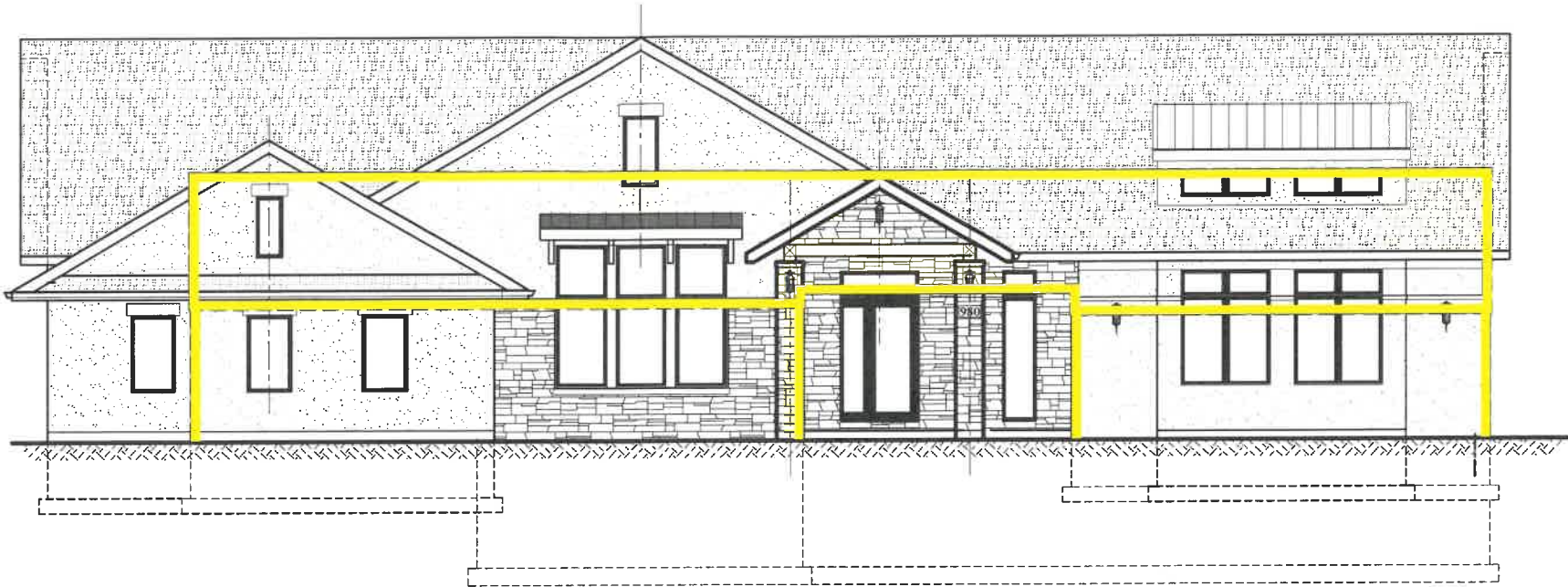
JOB NO	23070
DRAWN BY	ANDY KACPEZYNSKI

DRAWING LIST
EXISTING & PROPOSED
NORTH & EAST ELEVATIONS
1-STORY ADDITION & INTERIOR REMODELING
980 MELLODY RD LAKE FOREST, IL

SHEET NO
A7

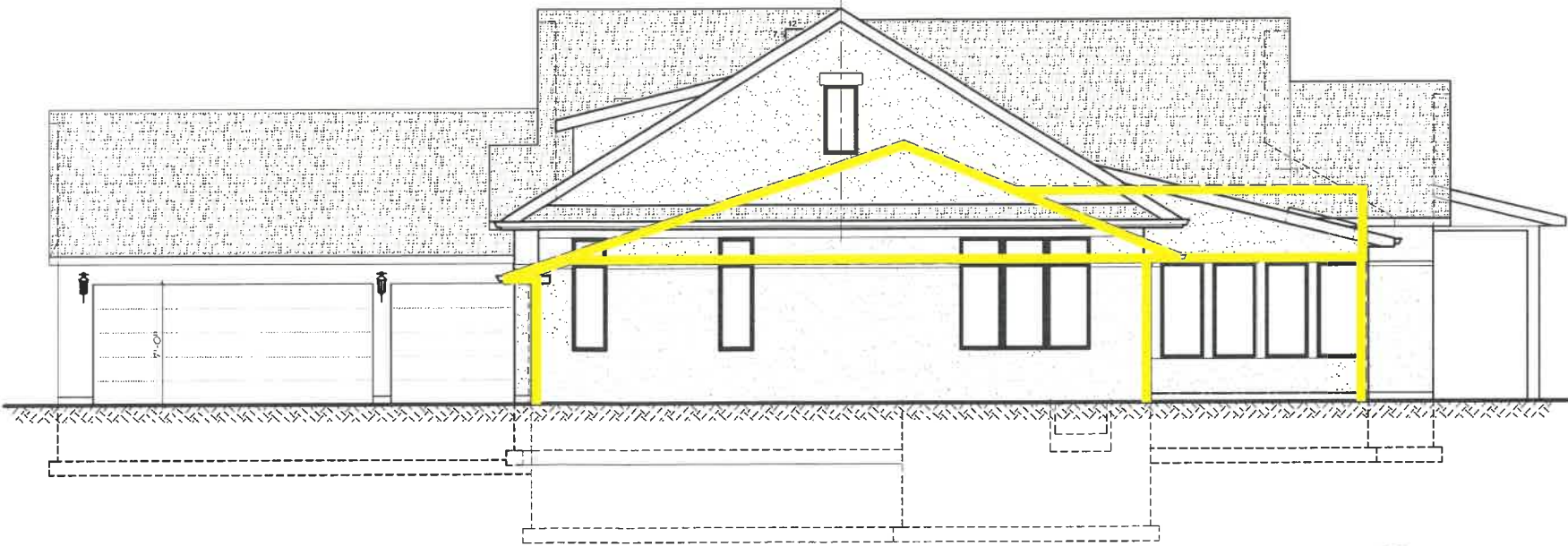


EXISTING & PROPOSED SOUTH & WEST ELEVATIONS OVERLAYS



SOUTH ELEVATION - existing & proposed
SCALE: 1/8" = 1'-0"

1
A6



WEST ELEVATION - existing & proposed
SCALE: 1/8" = 1'-0"

2
A6

ISSUE DATES	
DATE	DESCRIPTION
12.14.2023	PRELIMINARY
	PLANS

PRO-PLAN ARCHITECTS, PC
architects
705 Devon Ave. Suite 100
Oak Ridge, IL 60069
tel 773.733.2675
ANDY@PROPLANARCHITECTS.COM

JOB NO	23070
DRAWN BY:	ANDY KACPRZYNSKI

DRAWING LIST
EXISTING & PROPOSED
SOUTH & WEST ELEVATIONS

1-STORY ADDITION & INTERIOR REMODELING
980 MELLODY RD LAKE FOREST, IL

SHEET NO
A6



PERSPECTIVE RENDERINGS



950 MELLODY RD. -FRONT 3d VIEW
SCALE: N.T.S.

1
A8



950 MELLODY RD. -REAR 3d VIEW
SCALE: 1/8" = 1'-0"

3
A8



950 MELLODY RD. -REAR 3d VIEW
SCALE: 1/8" = 1'-0"

2
A8

ISSUE DATES		DESCRIPTION
DATE	DESCRIPTION	PRELIMINARY PLANS
12.14.2023		

PRO-PLAN ARCHITECTS, PC
ARCHITECTS
705 DEWEE AVE. SUITE 100
LAKE FOREST, IL 60045
TEL: 773.733.2675
ANDY@PROPLANARCHITECTS.COM

JOB NO.	23070
DRAWN BY:	ANDY KACPRZYNSKI

DRAWING LIST
PERSPECTIVE RENDERINGS

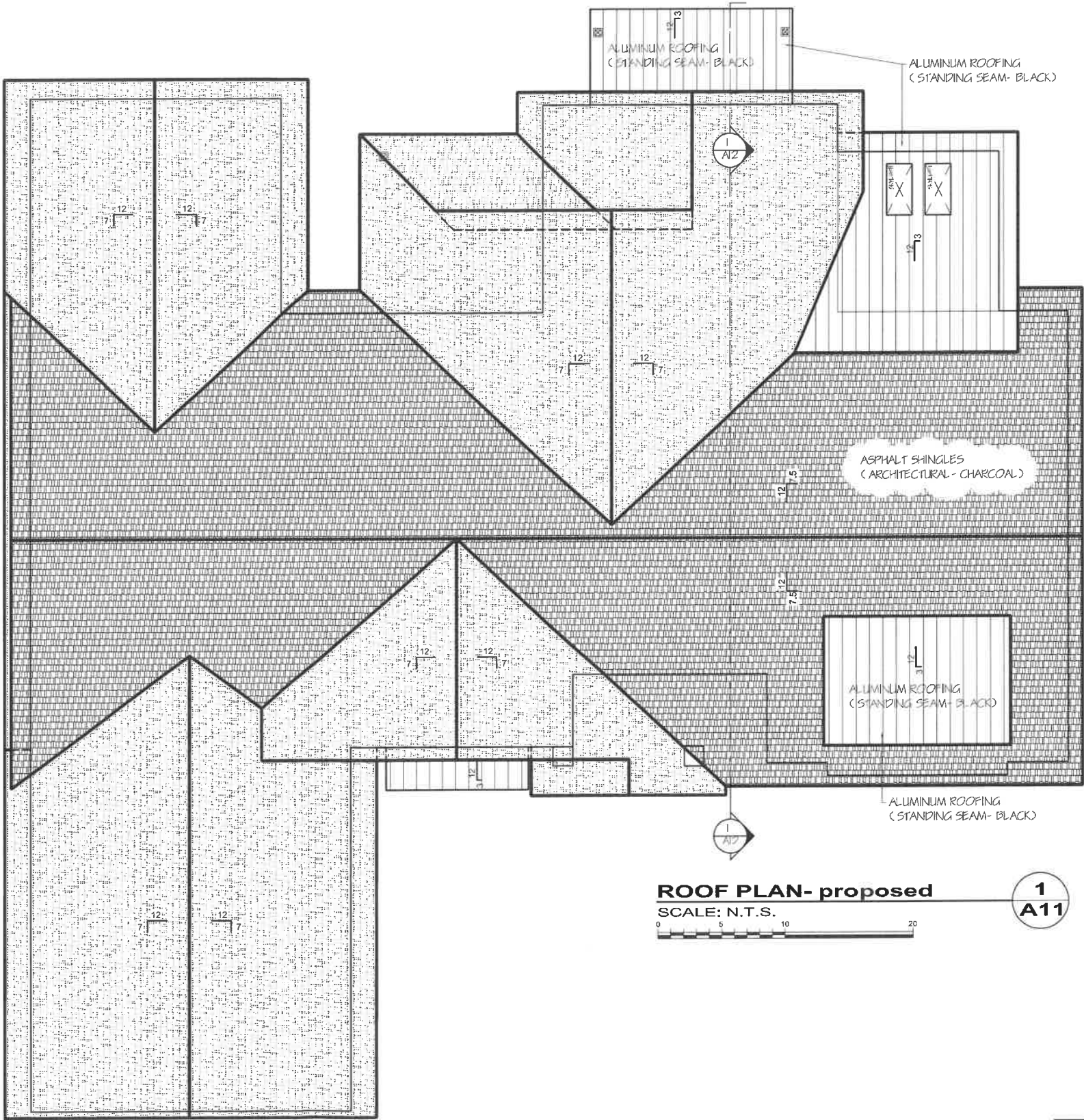
1-STORY ADDITION & INTERIOR REMODELING
980 MELLODY RD LAKE FOREST, IL

SHEET NO

A8



PROPOSED ROOF PLAN



ISSUE DATES	
DATE	DESCRIPTION
12.14.2023	PRELIMINARY PLANS

PRO PLAN ARCHITECTS, PC
andy kaczynski
705 devon ave park ridge il 60068
tel 773 733 2675
ANDY@PROPLANARCHITECTS.COM

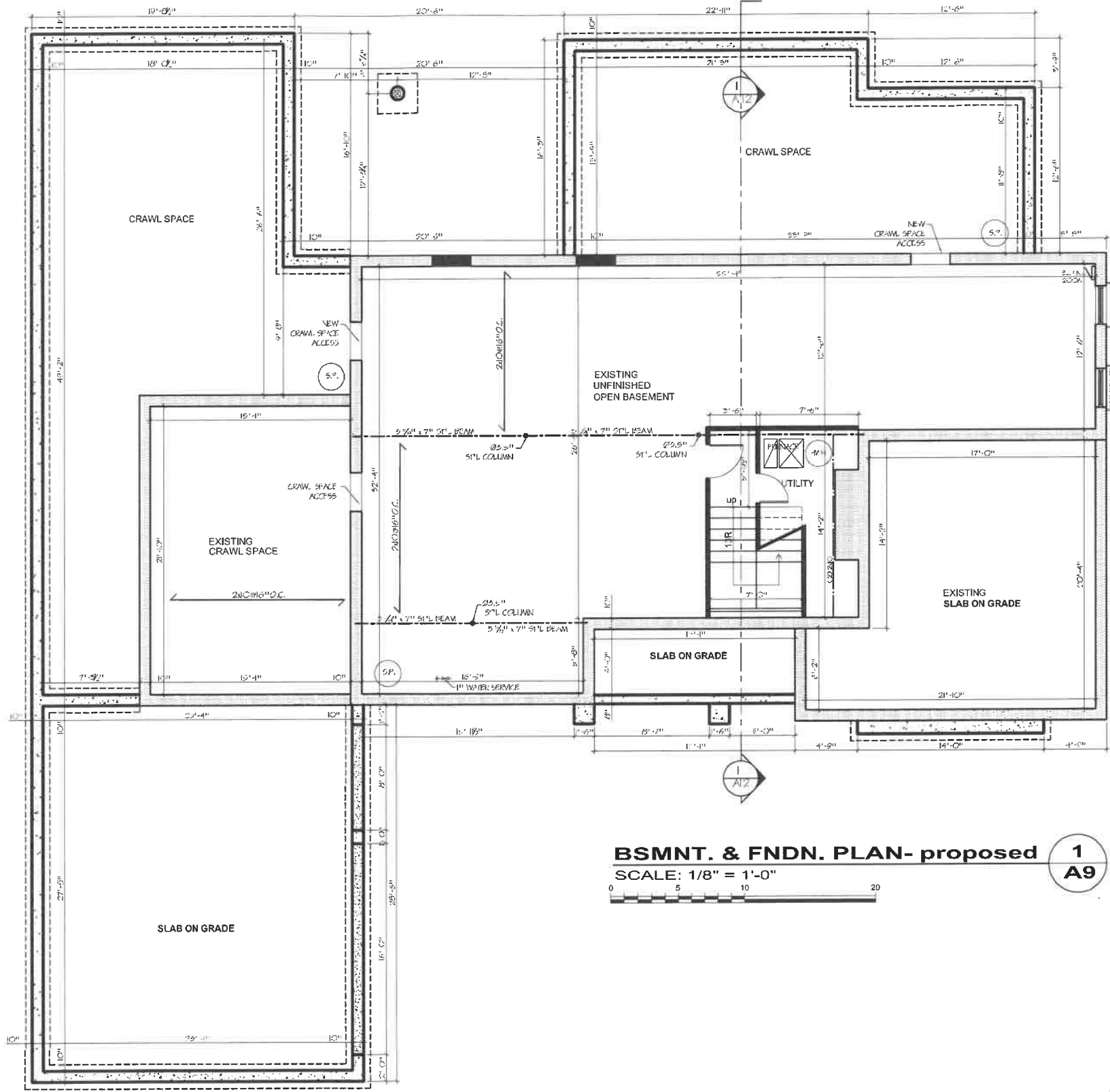
JOB NO	23070
DRAWN BY:	ANDY KACZYNSKI

DRAWING LIST
PROPOSED ROOF PLAN
1-STORY ADDITION & INTERIOR REMODELING
980 MELLODY RD LAKE FOREST, IL

SHEET NO
A11



PROPOSED FOUNDATION & BASEMENT PLAN



BSMNT. & FNDN. PLAN- proposed
SCALE: 1/8" = 1'-0"

ISSUE DATES	
DATE	DESCRIPTION
12.14.2023	PRELIMINARY PLANS



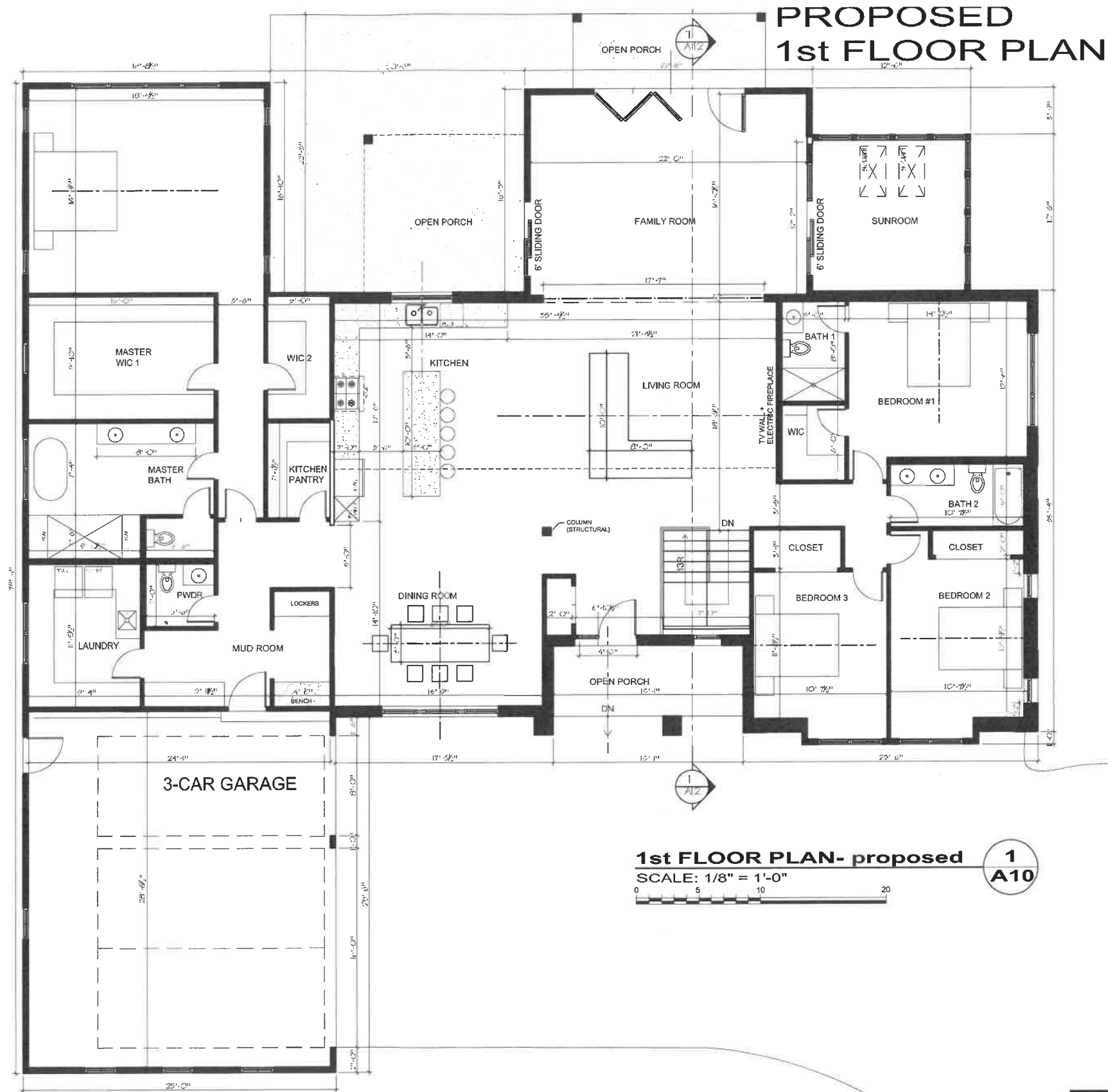
PRO PLAN ARCHITECTS, PC
ANDY KACPRZYNSKI
705 Devon Ave. Park Ridge, IL 60068
tel 773 733 2675
ANDY@PROPLANARCHITECTS.COM

JOB NO	23070
DRAWN BY	ANDY KACPRZYNSKI

DRAWING LIST
PROPOSED FNDN. & BSMNT. PLAN
1-STORY ADDITION & INTERIOR REMODELING
980 MELLODY RD LAKE FOREST, IL

SHEET NO
A9





ISSUE DATES	
DATE	DESCRIPTION
12.14.2023	PRELIMINARY PLANS

PRO-PLAN ARCHITECTS, PC
ANDRZEJ KACPEZYNSKI
705 Devon Ave. Park Ridge, IL 60068
tel 773.733.2675
ANDY@PROPLANARCHITECTS.COM

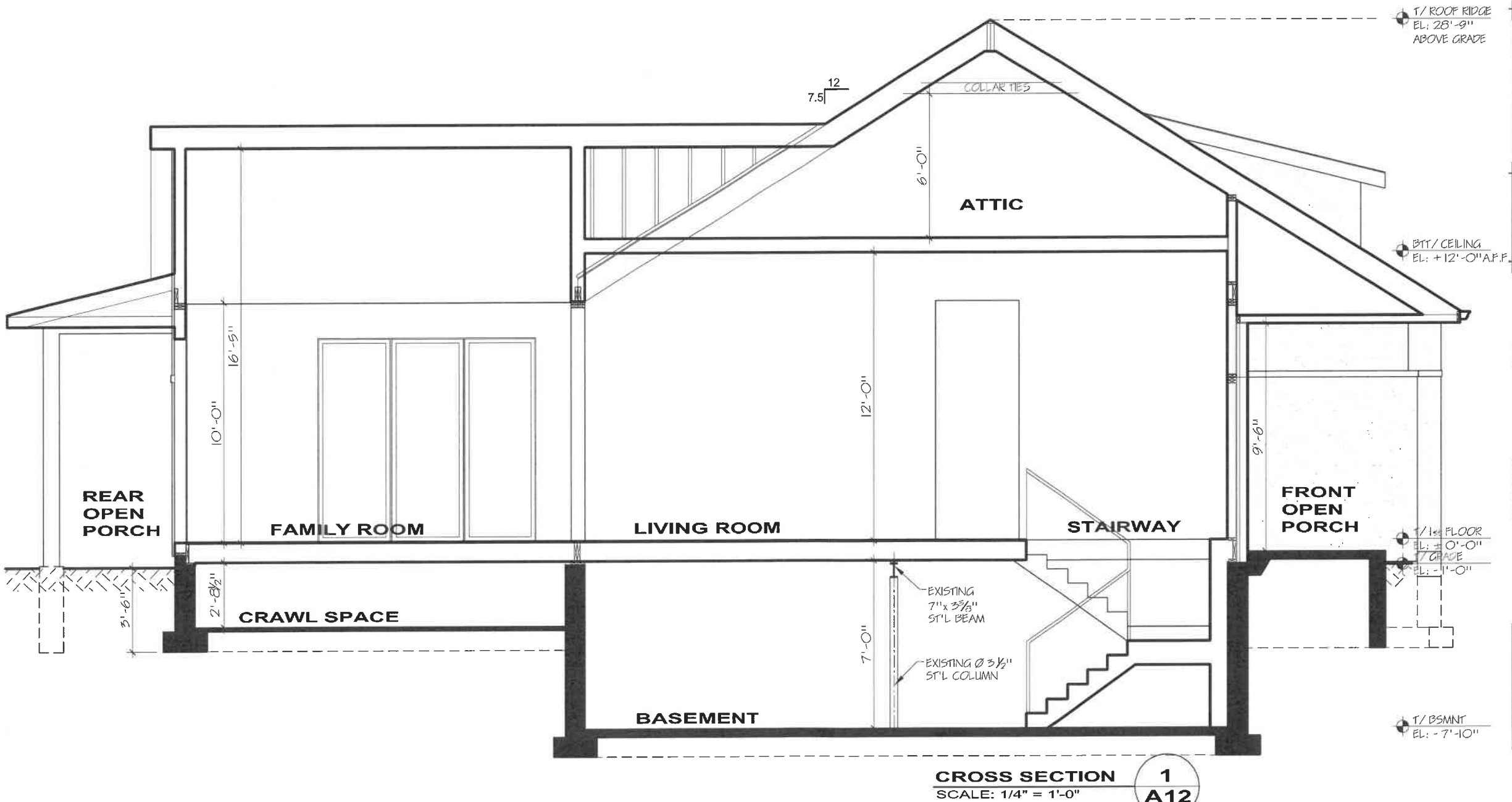
JOB NO	23070
DRAWN BY	ANDY KACPEZYNSKI

DRAWING LIST
PROPOSED FLOOR PLAN
**1-STORY ADDITION & INTERIOR REMODELING
980 MELLODY RD LAKE FOREST, IL**

SHEET NO
A10



BUILDING SECTION



ISSUE DATES	
DATE	DESCRIPTION
12.14.2023	PRELIMINARY PLANS

PRO PLAN ARCHITECTS, P.C.
andy kacprzynski
705 devon ave park ridge, il 60066
tel: 773.733.2675
ANDY@PROPLANARCHITECTS.COM

JOB NO	23070
DRAWN BY	ANDY KACPRZYNSKI

DRAWING LIST
BUILDING SECTION
1-STORY ADDITION & INTERIOR REMODELING
980 MELLODY RD LAKE FOREST, IL

SHEET NO
A12



STREETSCAPE IMAGE



ISSUE DATES	
DATE	DESCRIPTION
12.14.2023	PRELIMINARY PLANS

PRO-PLAN ARCHITECTS, PC
a r c h i t e c t s
a n d y k a c p r z y n s k i
23070 W. LAKESHORE DR.
LAKE FOREST, IL 60045
tel 708.773.2675
ANDY@PROPLANARCHITECTS.COM

JOB NO	23070
DRAWN BY: ANDY KACPRZYNSKI	

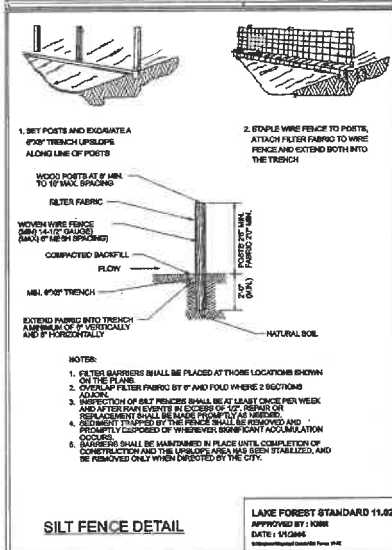
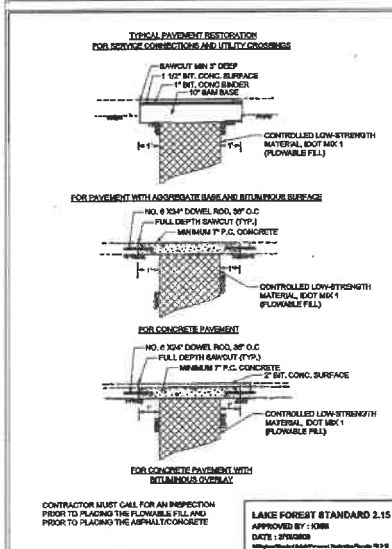
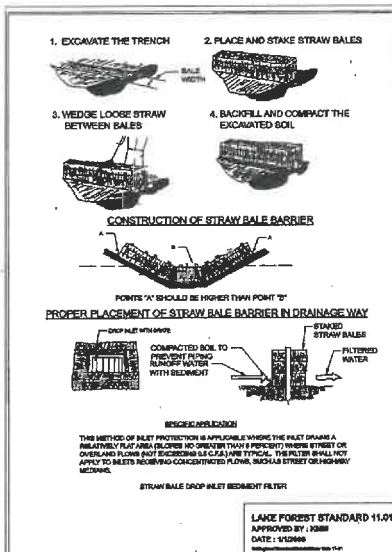
DRAWING LIST

STREETSCAPE IMAGE

1-STORY ADDITION & INTERIOR REMODELING
980 MELLODY RD LAKE FOREST, IL

SHEET NO

A13

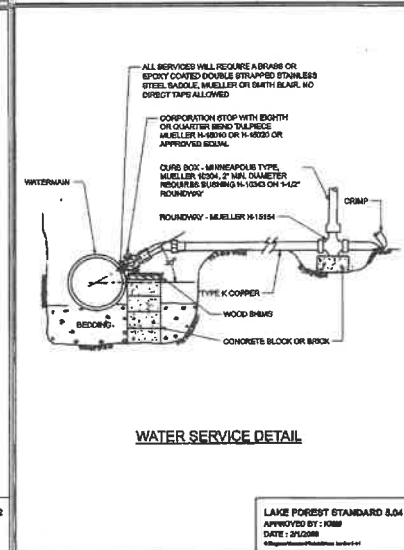


NOTES:

1. PROPOSED TOP OF NEW FOUNDATION AS NOTED ON PLANS. EXPOSED FOUNDATION SHALL BE MINIMUM OF 4" AND A MAXIMUM OF 8".
2. A SPOT SURVEY IS REQUIRED TO BE APPROVED PRIOR TO FRAMING.
3. PROPOSED GROUND ELEVATION AS NOTED ON PLANS. PROPOSED ELEVATIONS ARE TOP OF SOD OR DRAINWAY. FINISHED DIRT GRADE IN LAWN AREAS SHALL BE 2" BELOW TOP OF SOD. SLOPE AREA TO DRAIN AWAY FROM THE HOUSE.
4. RUMBLE FROM ROOF OF NEW STRUCTURE TO BE COLLECTED BY CUTTERS AND DIRECTED TO DOWNSPOUTS. ALL DOWNSPOUTS TO DISCHARGE TO GRADE.
5. REFER TO ARCHITECT'S SITE PLAN FOR PROPOSED STRUCTURE'S EXACT SETBACKS FROM PROPERTY LINES.
6. CONTRACTOR TO PROPERLY REMOVE ANY EXCAVATED MATERIAL NOT REQUIRED FOR SITE BACKFILL. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR OVERHEAD UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE VILLAGE AND THE OWNER, OR REPLACED.
7. CONTRACTOR SHALL ENSURE ADJACENT ROADS REMAIN CLEAR AND FREE OF CONSTRUCTION DEBRIS AT ALL TIMES.
8. EXISTING TOPOGRAPHY SURVEYED BY PRO 4 EARTH SURVEYING SERVICES.
9. REFER TO CITY OF LAKE FOREST ORDINANCES FOR UTILITY INSTALLATION.
11. GRABIS ENGINEERING IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY.
12. CONTRACTOR IS RESPONSIBLE FOR COMPARING NEW STRUCTURE'S PLANS TO ARCHITECT'S PLAN. ANY DISCREPANCIES MUST BE CLARIFIED BY THE ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION.
13. THE OWNER MUST FURNISH AS "AS-BUILT" SITE PLAN SET SHALL BE CERTIFIED BY A SURVEYOR WHO PREPARED THE PLAN OR THE ORIGINAL ENGINEER.

IMPERVIOUS AREA CALCULATION		
	EXISTING ¹	PROPOSED ²
LOT AREA	34,446.00sf	34,446.00sf
SHED	55.25sf	55.25sf
PAVERS PATIO & BRICK WALL	437.47sf	596.76sf
PORCH	191.48sf	110.07sf
CONCRETE STOOP	159.72sf	0.00sf
WALKWAY	179.16sf	263.05sf
DRIVEWAY	1,424.61sf	2,424.47sf
HOUSE FOOTPRINT	2,257.21sf	2,784.69sf
TOTAL	4,704.90sf	6,234.29sf
	13.66%	18.10%
INCREASE OF IMPERVIOUS AREA	1,529.39sf (4.44%)	
PROPOSED PERCENTAGE OF IMPERVIOUS AREA ON THE LOT	18.10%	
NET INCREASE IN IMPERVIOUS AREA IS LESS THAN 5%, BEST MANAGEMENT PRACTICES ARE NOT REQUIRED.		

NET INCREASE IN IMPERVIOUS AREA IS LESS THAN 5%,
BEST MANAGEMENT PRACTICES ARE NOT REQUIRED.

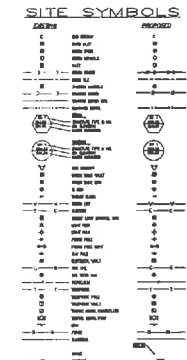


PRELIMINARY SITE GRADING & TREE REMOVAL PLAN

NOTE:
THE ENGINEER MAKES NO REPRESENTATION AS TO ACCURACY OF BUILDING DIMENSIONS SHOWN HEREON.
FOR ACTUAL DIMENSIONS OF HOME REFER TO FOUNDATION PLAN PREPARED BY OTHERS. FOUNDATION
PLAN SHOWN WAS RECEIVED ON NOVEMBER 22, 2003 FROM ANDRZEJ KACPRZYNSKI ARCHITECT VIA ENR.

DRAINAGE CERTIFICATION

12. The research knowledge and the design of all research projects will not be changed by the consequences of these two investigations on any given domain, or that "such matters were designed with the sound, reasonable provisions have been made for the collection and dispersion of such matters; money from public means at doing with the frequency comes in a little in time, and that such matters money will be granted for in no, unless, with possibly, that it is necessary to prevent, as it is in the case of the following, it is the only way to prevent or because of the construction of these in importance.



Revisions:

Job Number:

23-340

Design By:	M. G.
Drawn By:	M.G.
Scale:	AS NOTED
Date:	NOV. 28 2023

Project Name:

**EXISTING RESIDENCE
ADDITION AND
REMODELING**

Sheet Title:

PRELIMINARY SITE
GRADING AND
TREE REMOVAL
PLAN

Location:

980 MELODY ROAD
LAKE FOREST, IL 60045

Prepared By:

MAREK M. GRABIS
CONSULTING ENGINEER
9136 WINDINGS CT.
WILLOW SPRINGS, IL 60480
Tel: (708) 351-4828
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1 OF 1

