

Agenda Item 3

1055 Beverly Place

Staff Report

Minutes – Excerpt from September Meeting

Building Scale Summary

Vicinity Map

Air Photos

Materials Submitted by Petitioner

Application

Statement of Intent

Description of Materials

Site Plans – Existing and Proposed

Site Plan – Existing Enlarged

Proposed

Elevations

Roof Plan

Section – Addition

Floor Plans

Existing Conditions

Elevations with Areas of Demolition Shown

Roof Plan

Floor Plans

Previous Plans – Presented to the Board in September

Site Plan

Elevations

Correspondence

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1055 Beverly Place

Continued consideration of a request for a recommendation in support of a two-story addition on the north side of the residence including a re-oriented garage, conversion of a screen porch on the south side of the residence to enclosed living space, and minor modifications to the driveway.

Property Owners Theodore Hadjis and Stephanie Poulos
Project Representative: Jeff Letzter, project manager

Staff Contact: Catherine Czerniak, Director of Community Development

Description of Property and Existing Residence

This property is located on the southeast corner of Beverly Place and Longwood Drive. The neighborhood is characterized by a mix of one and two story residences of varying architectural styles. The property is 20,133 square feet in size and like many corner lots, has limitations including increased zoning setbacks, exposure to the street frontages on two sides, and limited or unconventional yard spaces. The residence is sited on the north half of the property with a large yard area to the south side of the house and more limited yard area at the rear of the house, on the east side. There are several mature trees on the property which have a presence on the streetscape.

The residence was constructed in 1941 in the Colonial architectural style. Currently, the attached two car side load garage is oriented to the east, to the rear of the home. The driveway is located at the northeast corner of the property, on Longwood Drive. The residence was expanded in 1998 by previous owners to enlarge the kitchen and garage.

Summary of Request and Reviews to Date

This petition was presented to the Board in September. The minutes of that meeting are included in the Board's packet for reference.

As presented in September, the petitioners are proposing a two-story addition on the north side of the house to accommodate a new two and a half car garage, storage area, and a family foyer on the first floor, and a bedroom and study on the second floor. The garage is reoriented to face north, rather than east, to front on Longwood Drive. The revised plan now presented for Board action uses *the existing* driveway with some minor reconfiguration. The previous plan reviewed by the Board proposed a new driveway located to the west of the existing driveway, closer to the intersection, which would have extended through the existing lawn area impacting some of the large trees on the site.

Both the previously proposed driveway configuration and the current configuration require zoning variances to allow adequate space for maneuvering into and out of the garage. The proposed addition also requires a

variance from the rear (east) property line. From the staff perspective, there appears to be justification for the variances given the limitations of the site, the original siting of the house and driveway, and the need to make the site functional for the long term. The Zoning Board of Appeals is scheduled to consider the variances at a meeting next week. The Building Review Board's action on the petition will be reported to the Zoning Board of Appeals and will be helpful in the consideration of the variance requests.

The screen porch on the south side of the home will be enclosed and converted into a study. No changes are proposed in this area since the plan reviewed by the Board in September.

Staff Evaluation

Since the September meeting, the petitioners and their representative diligently considered the Board's comments and explored various options. To the petitioners' credit, the revised plan now presented appears to respond to the Board's comments and suggestions, and importantly, appears to be more functional and could allow some mature trees on the site to be preserved.

An evaluation of the project based on the applicable standards and staff recommendations is offered below for the Board's consideration.

Site Plan – This standard is met.

The driveway will remain in the current location and will be expanded slightly on the west side to accommodate the reoriented garage doors. As noted above, a zoning variance is required because the driveway will exceed 16 feet. Although minimizing the extent of variances is advisable, in this case, some limited further widening of the driveway to the west should be considered before the plan is presented to the Zoning Board of Appeals to assure that the driveway is as functional as possible given the limitations of the site. Straight driveways, without space to turn around, are common in the area however, adequate space to maneuver into and out of a garage is important.

A concrete walkway from the new driveway to the front of the home is proposed to accommodate visitors who may park in the driveway rather than on the street. The existing walkway from the front entrance to Beverly Place and the rear patio remain.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,007 square feet is permitted on the site with up to an additional 401 square feet in design elements and 600 square feet for a garage.

- The existing house totals 2,688 square feet.
- The proposed addition, not including the garage, totals 596 square feet.

- The proposed garage totals 1110 square feet. The square footage of the garage that exceeds the allowable 600 square feet is added to the square footage of the home.
- The addition plus the excess garage square footage totals 3,793 square feet, less that the maximum allowable square footage by 214 square feet or 5.3 percent.

The maximum height permitted for this property is 35 feet. The existing home is 27 feet and 11 inches tall. The proposed addition is 21 feet tall.

Elevations – This standard is met.

The proposed addition is designed in the same traditional style as the existing home. The overall design of the addition has not changed significantly from the plans presented in September.

On the north elevation, the addition has gable roof forms with a 7.5: 2 pitch to match the roof forms on the residence.

The existing porch roof on the south side of the home will remain. The porch walls will be removed and rebuilt. Double hung windows with panels below are proposed on the elevations of the converted porch.

As noted above, currently, the garage door is on the east elevation and is minimally visible from the street. The proposed garage faces Longwood Drive but unlike in the September plan, the garage doors are setback an additional ten feet from the north property line and also setback from the main mass of the addition. In the September plan, the garage doors were more prominent on the Longwood Drive streetscape and from southbound Beverly Place due both to location and tree loss. A dormer with a gable roof sits above the two garage doors and rises to a point below the ridge of the roof.

On the west elevation, the front of the house which faces Beverly Place, the addition steps down from the main mass of the house and although larger, it balances to some extent the smaller screen porch element at the south end of the house. The east elevation of the addition is clean and simple. It is detailed with three double hung windows. The previously proposed plan reflected solid panels above each window, the panels were eliminated. The windows are detailed with properly proportioned shutters.

Type, color, and texture of materials – This standard is met.

The description of materials and the project representative's statement specifies a fiber cement product for the siding. The elevations note cedar shake siding. Both products have been previously approved by the Board however, the petitioner's intent should be clarified.

Asphalt shingle is proposed for the roof material. Aluminum clad wood windows with interior and exterior muntins are proposed. The window and door trim, fascia, soffits and rake boards are wood. Aluminum gutters and downspouts are proposed. Properly proportioned wood shutters are proposed.

Decorative overhead garage doors are reflected on the north elevation. Lites appear across the top of the garage doors and the lower portion of the doors appear to be detailed with vertical texture. Given the prominence of the garage doors on the streetscape, the character and quality of the doors will be important. Information should be provided by the petitioner to clarify the material, style, and detailing of the garage doors.

- Provide clarification on the siding material and on the details and materials of the garage doors.

Landscaping – This standard is met.

Two trees are proposed for removal. The trees proposed for removal include a 19 inch Norway Maple just north of the proposed addition and a 30 inch Silver Maple along the east property line in the rear yard. The trees proposed for removal are in fair to poor condition and are lower quality species. Importantly, with the plan now proposed which retains the driveway in its present location, there is a much greater chance that the Oak trees located on the north side of the house will survive than with the previous plan. One of these Oak trees is classified as a Heritage tree due to its size. The present plan eliminates the need for replacement tree inches given the species and quality of the two trees that will be removed. If additional trees on the site are negatively impacted during construction, tree replacement inches may be required. Preserving the significant trees on the site will help to mitigate the addition as viewed from the streetscape.

A conceptual landscape plan was previously submitted by the petitioner and upon approval of the revised plan, will be updated. The landscape plan will need to detail foundation plantings around the addition and the renovated screen porch. If trees are impacted on the site as a result of construction, as noted above, replacement tree inches, or a fee in lieu of on site planting, may be required. As currently proposed, no replacement inches are required.

Public Comment

Public notice of this petition was provided in accordance with applicable requirements and standard practice. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. Correspondence received from a neighbor in support of the petition and is included in the Board's packet.

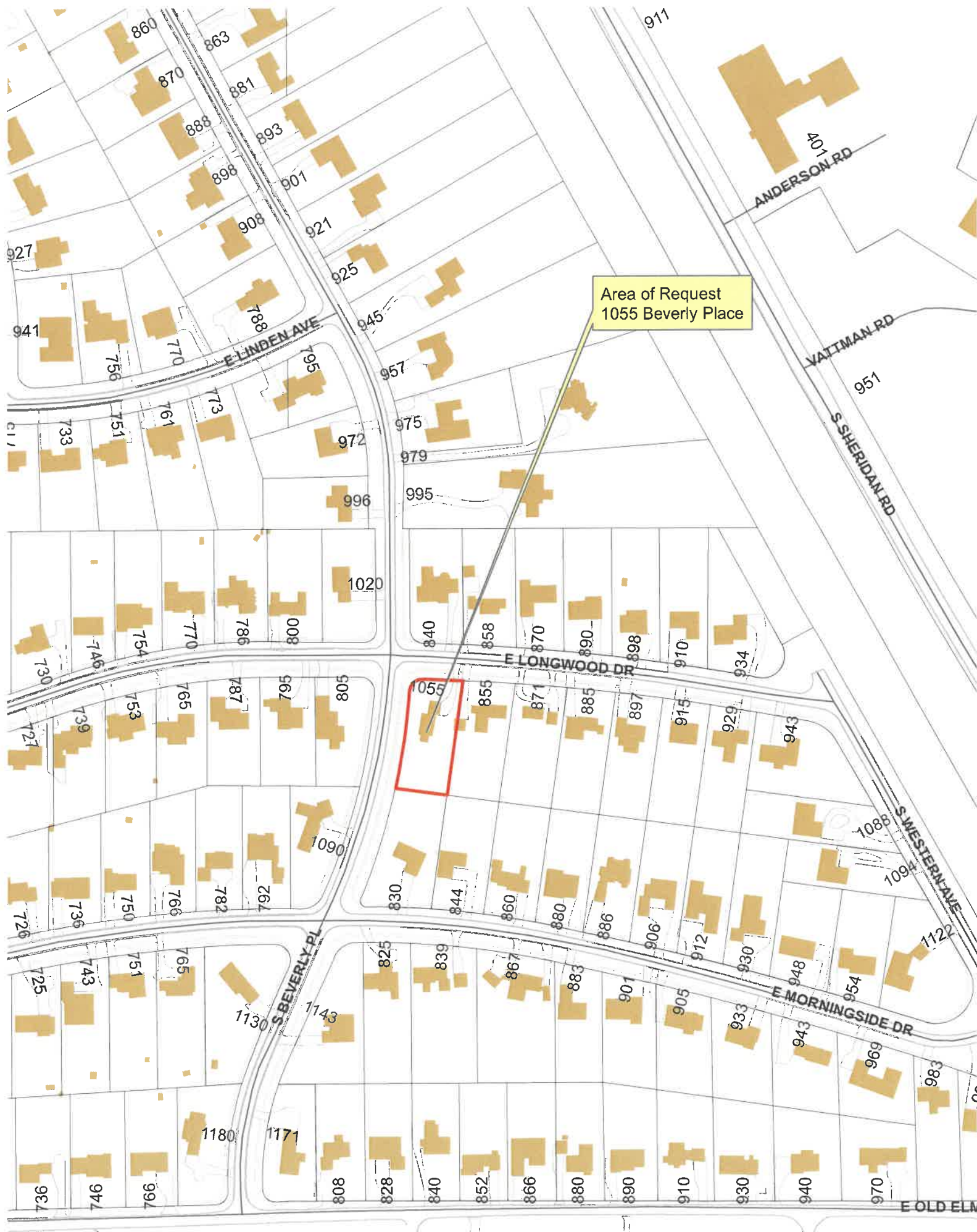
Recommendation

Adopt the findings as detailed in this staff report and recommend approval of the petition as presented including a two story addition at the north side of the house, reorientation of the garage, minor reconfiguration of the driveway, enclosure of the screen porch on the south side of the house, and overall associated alterations. The motion is subject to the following conditions of approval.

1. Detailed information on all exterior materials, shutters and the garage doors shall be included with the plans submitted for permits.
2. All modifications to the plans including those made in response to Board direction or discussion, or as the result of final design development, shall be clearly called out on the plan submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to verify that any changes are consistent with the Board's approval prior to the issuance of any permits or if further Board review is required.
3. Prior to the issuance of a building permit:
 - a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify any trees proposed for removal and trees identified for protection and preservation including parkway trees and trees on neighboring properties if there is a potential for construction impacts.
 - b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees.
 - c. A detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, reflect foundation plantings around the new addition to meet the minimum Code requirements and if required, any replacement trees required to satisfy the inch for inch replacement for trees removed. The landscape plan shall include the quantity, species, and size at the time of planting for all new landscaping.
4. At the time of submittal for a building permit, detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices.
5. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures,

except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

6. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. Adequate sightlines at the intersection must be maintained at all times and streets and neighboring driveways cannot be obstructed.



Area of Request
1055 Beverly Place



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1055 Beverly Pl, Lake Forest, IL 60075

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

Stephanie Poulos ?
Theodore Hadjis
Owner of Property

1055 BEVERLY PLACE
Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60075
City, State and Zip Code

319.329.8370
Phone Number Fax Number

Hadjis House@gmail.com
Email Address

[Signature]
Owner's Signature

ARCHITECT/BUILDER INFORMATION

JEFF LETZEL / Project Manager
DEAN BATES / ARCHITECT
Name and Title of Person Presenting Project

ASPECT DESIGN, INC
Name of Firm

26575 COMMERCE DR
Street Address

WOLF, IL 60073
City, State and Zip Code

(847) 487-2500
Phone Number Fax Number

JEFF LETZEL @ ASPECT DESIGN INC
Email Address

By: [Signature]
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER ☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER ☐ REPRESENTATIVE



Statement of Intent 1055 Beverly Place: Lake Forest, IL 60045

1. Background—A home addition / remodel for the Theodore and Stephanie Hadjis family.
2. Initial Goal—The purpose of the project is to integrate an appropriately scaled addition over an extended garage as well as remodeling the interior of the existing home, including the existing Sunroom into a Study. We arrived at the current Site Plan, by working through (5) Concept Studies and feel that this iteration provides the best solution for this project.
3. Design Strategy—Utilizing similar scales and roof forms, the home will preserve the existing rhythm of the streetscape. Our intent is to preserve the character of the existing home, while providing workable living space for this family.
4. Materials—New, Blue / Gray Hardie Board siding will be used on the exterior. The trim, soffit, fascia and front door are to be white. The windows are to be white color. The roof will be weathered wood architectural asphalt shingles.
5. Conclusion—Our intent is to build an attractive addition / remodel that quietly fits into its current site. The restrained quality of the new home will help reinforce this great neighborhood.

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
PHONE: 847.457.2500
WWW.ASPECTDESIGNINC.COM



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☐ Stone
☐ Brick
☐ Wood Clapboard Siding
☐ Stucco

- ☒ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco

☒ Other HAROLF BOARD

Color of Material BLUE GRAY

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish WHITE

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
☐ Stone
☐ Stucco
☐ Other EXISTING

Roofing

Primary Roof Material

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☒ Composition Shingles
☐ Sheet Metal
☐ Other

Flashing Material

- ☐ Copper
☐ Sheet Metal
☒ Other ALUMINUM

Color of Material _____

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other

Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other

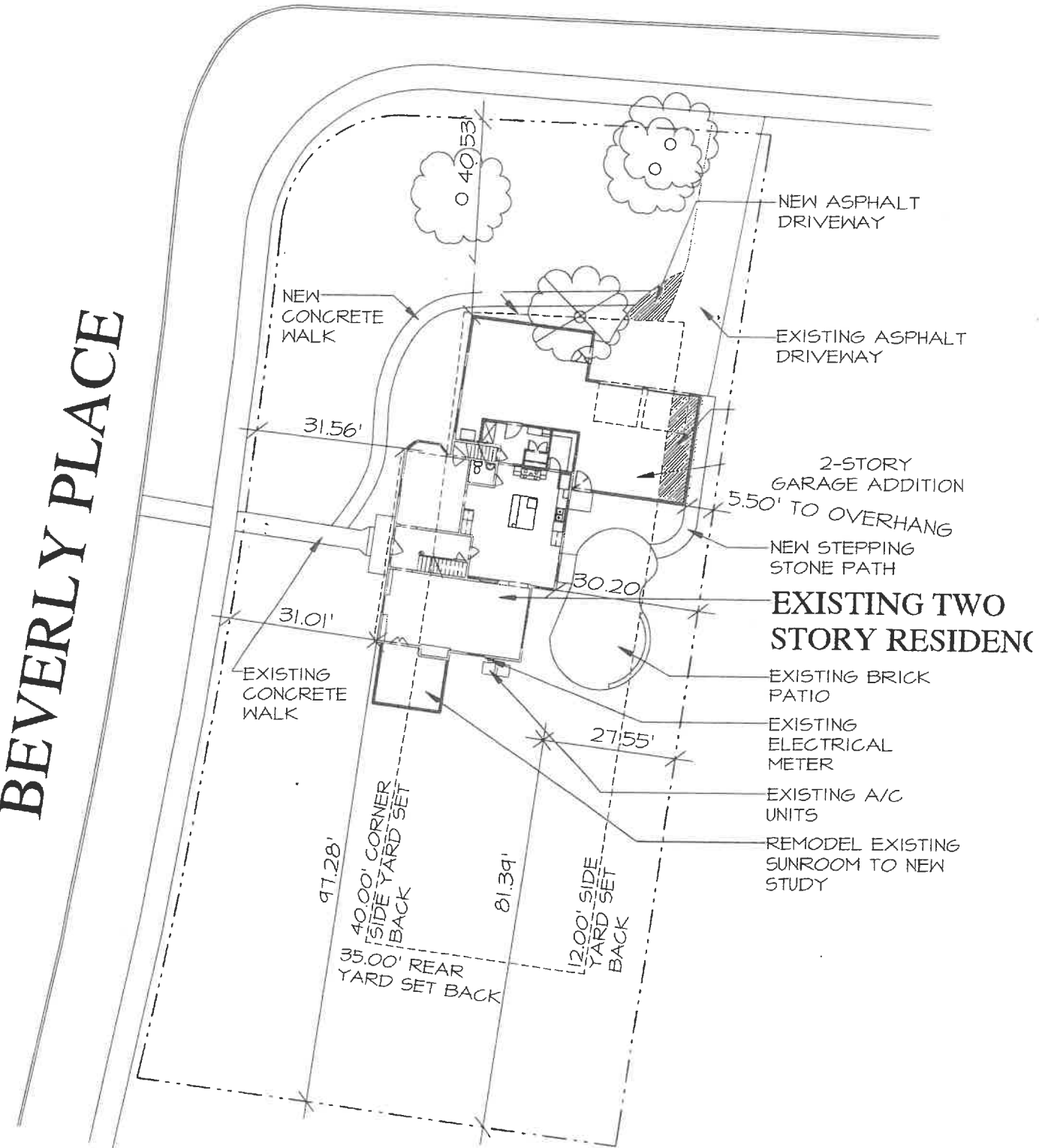
Terraces and Patios

- ☐ Bluestone
☐ Brick Pavers
☐ Concrete Pavers
☒ Poured Concrete
☐ Other

LONGWOOD DRIVE

PROPOSED SITE PLAN - ENLARGED

BEVERLY PLACE



2
AR 01

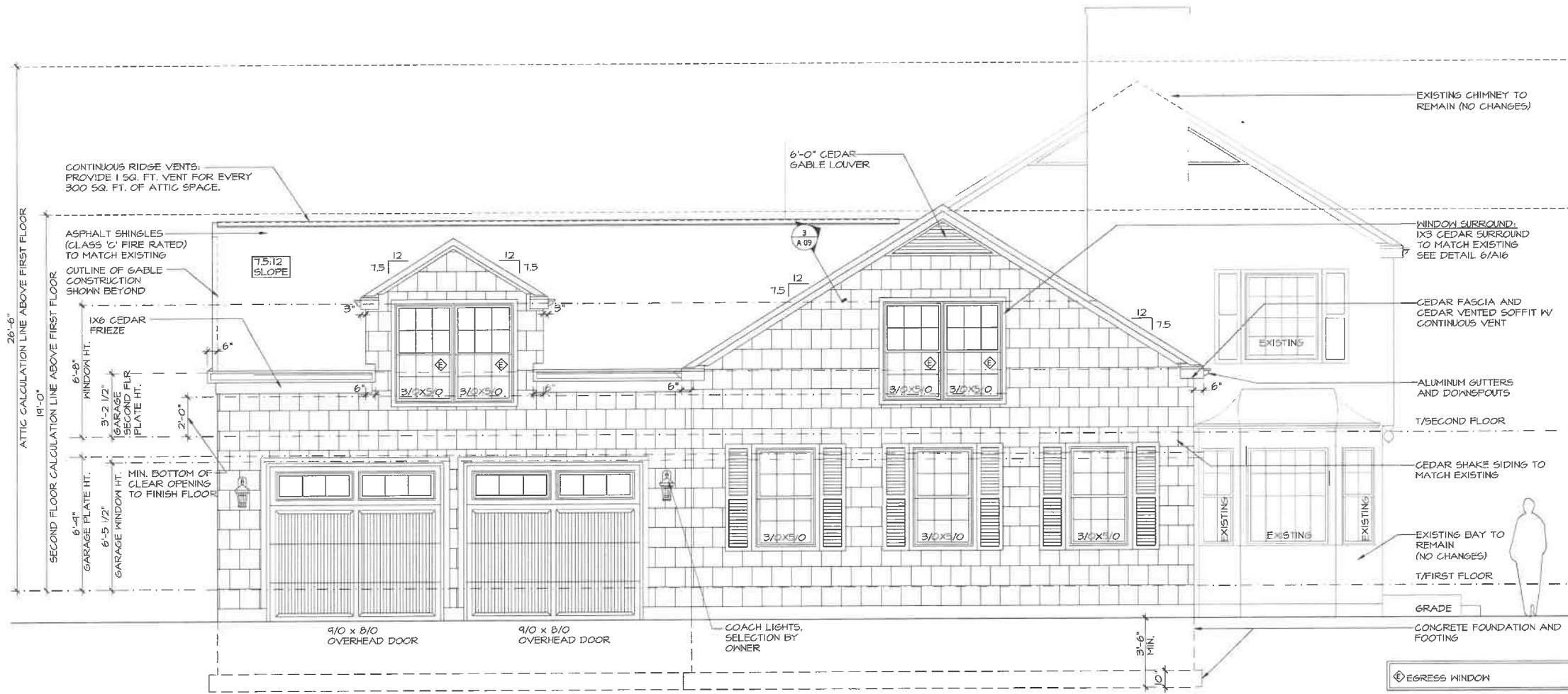
PROPOSED SITE PLAN



NORTH

R-2 ZONING

SCALE: N.T.S.

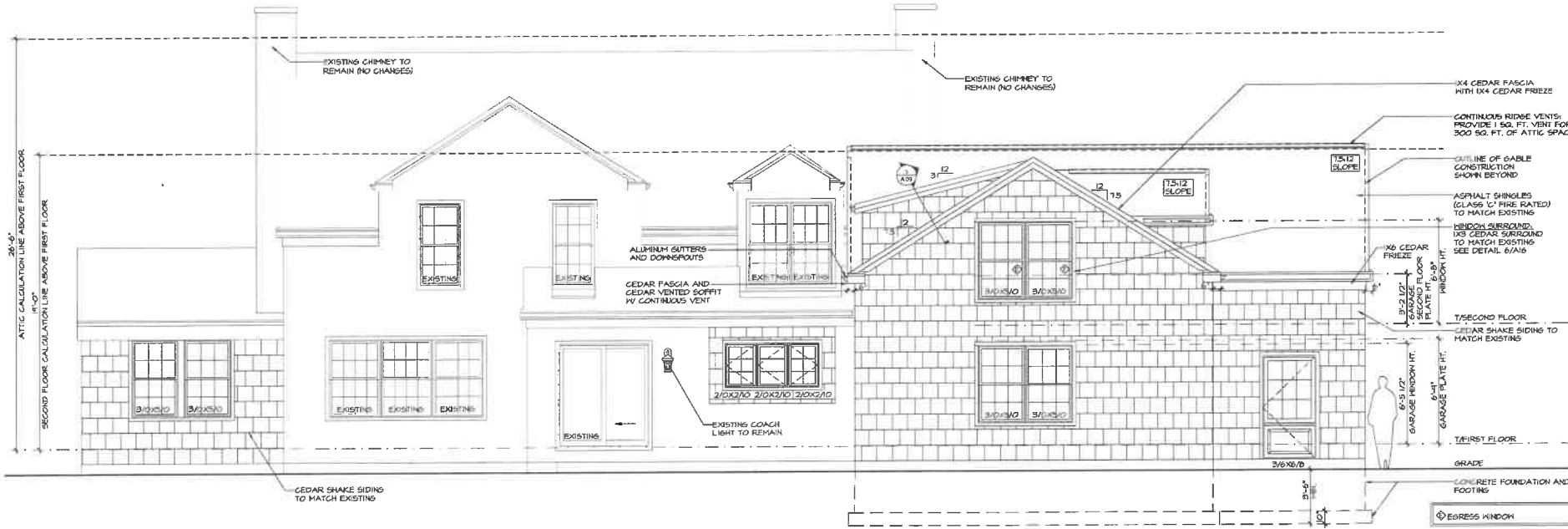


1
AR 17
PROPOSED LEFT ELEVATION

REVIEW ONLY-NOT FOR CONSTRUCTION

HADJIS RESIDENCE	
ADDITION / REMODEL 1055 BEVERLY PLACE LAKE FOREST, IL 60045	
08/06/2023	REVIEW
08/15/2023	REVIEW
09/16/2023	REVIEW
09/26/2023	REVIEW
10/01/2023	REVIEW
10/09/2023	REVIEW
11/09/2023	REVIEW
11/16/2023	REVIEW
ASPECT DESIGN INC. ARCHITECTS	
16575 COMMERCE DR. SUITE 607 VILLAGE, IL 60073 MAIN: 847.457.2600 FAX: 847.457.2601 E: LINDSEY@ASPECTDESIGN.COM	
PROJECT #	AD22170
DRAWN BY:	DB / MB
HADJIS RESIDENCE PROPOSED ELEVATIONS	
AR 17	
# 17 OF 18 TOTAL SHEETS	

SCALE: N.T.S.
NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER. (ARCH-D)



1
AR 16
PROPOSED REAR ELEVATION

SCALE: N.T.S.

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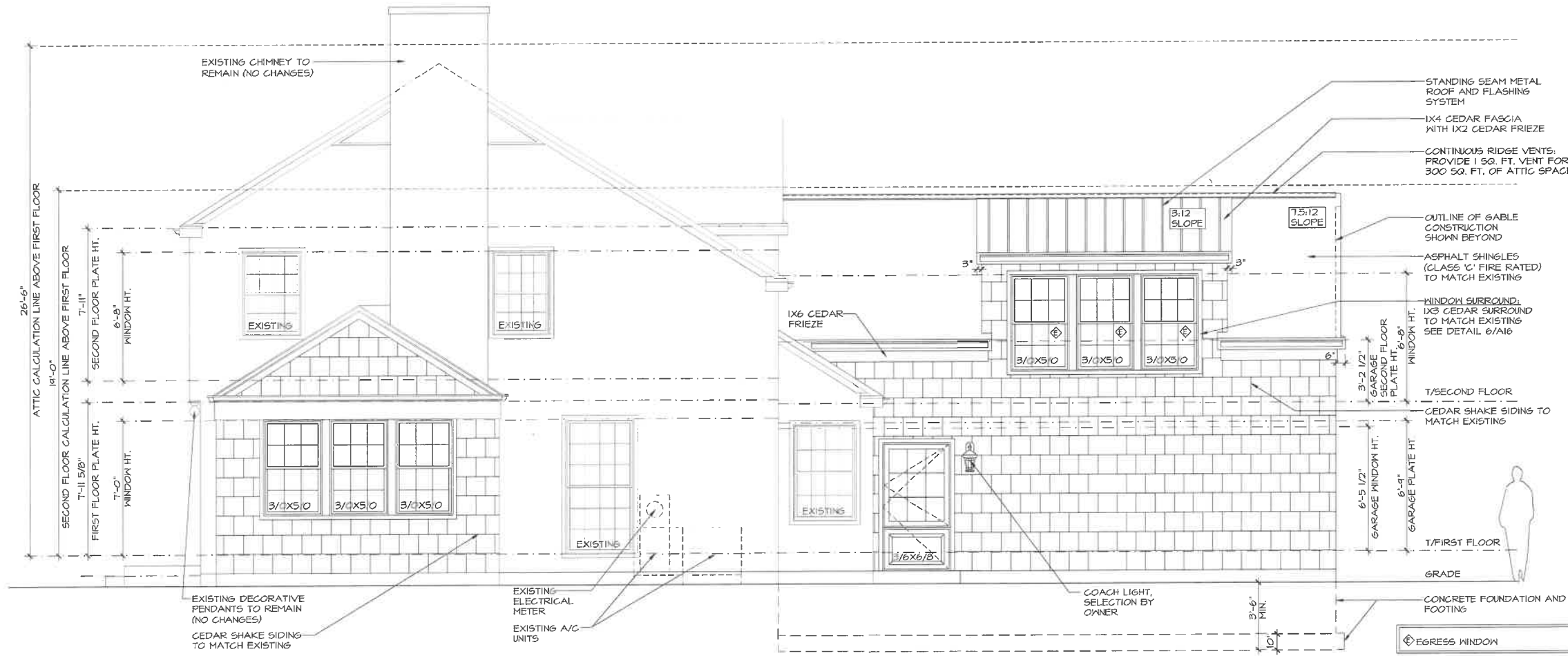
REVIEW ONLY - NOT FOR CONSTRUCTION

HADIJS RESIDENCE	
ADDITION / REMODEL 1055 BEVERLY PLACE LAKE FOREST, IL 60045	
REVIEW	08/09/2023
REVIEW	08/15/2023
REVIEW	08/16/2023
REVIEW	08/31/2023
REVIEW	09/04/2023
CONCEPT STUDY 3	10/11/2023
REVIEW	11/09/2023
REVIEW	11/11/2023

REVIEW	10/11/2023
REVIEW	10/17/2023
REVIEW	02/10/2023
REVIEW	11/09/2023
REVIEW	11/09/2023
REVIEW	06/15/2023
REVIEW	06/16/2023
REVIEW	07/14/2023

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E: LINDSEY@ASPECTARCH.COM

PROJECT #	AD22170
DRAWN BY:	DB / MB
HADIJS RESIDENCE PROPOSED ELEVATIONS	
AR 16	
# 16 OF 18 TOTAL SHEETS	



REVIEW ONLY-NOT FOR CONSTRUCTION

HADIIS RESIDENCE	
ADDITION / REMODEL 1055 BEVERLY PLACE LAKE FOREST, IL 60045	
08/09/2023	REVIEW
08/15/2023	REVIEW
08/16/2023	REVIEW
08/31/2023	REVIEW
09/01/2023	CONCEPT STUDY'S
10/1/2023	REVIEW
11/09/2023	REVIEW
11/11/2023	REVIEW

10/11/2023	REVIEW
10/17/2023	REVIEW
10/21/2023	REVIEW
11/02/2023	REVIEW
11/09/2023	REVIEW
06/15/2023	REVIEW
06/16/2023	REVIEW
07/14/2023	REVIEW

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ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD21170
DRAWN BY: DB / MB
HADIIS RESIDENCE
PROPOSED ELEVATIONS

AR 15

15 OF 18 TOTAL SHEETS



1
AR 14
PROPOSED FRONT ELEVATION

SCALE: N.T.S.

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24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

REVIEW		10/1/2022	REVIEW	06/06/2023	HADIIS RESIDENCE ADDITION / REMODEL 1055 BEVERLY PLACE LAKE FOREST, IL 60045
REVIEW		10/17/2022	REVIEW	06/15/2023	
REVIEW		10/21/2022	REVIEW	06/16/2023	
REVIEW		11/02/2022	REVIEW	06/17/2023	
REVIEW		11/09/2022	REVIEW	09/02/2023	
REVIEW		06/15/2023	CONCEPT STUDY 5	10/01/2023	
REVIEW		06/16/2023	REVIEW	11/06/2023	
REVIEW		07/14/2023	REVIEW	12/11/2023	

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ARCHITECTS

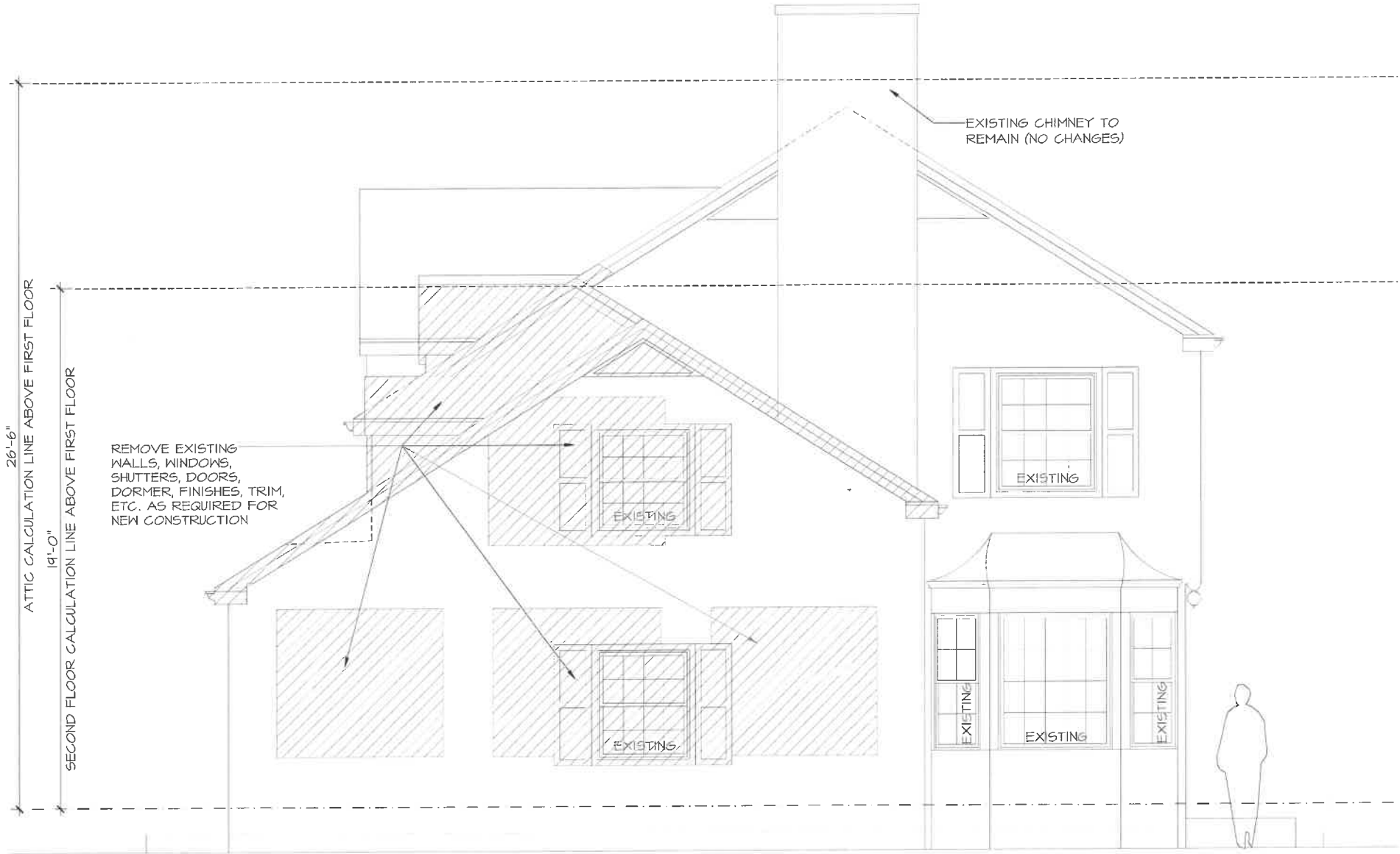
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PROJECT # AD22170
DRAWN BY: DB/MB
HADIIS RESIDENCE
PROPOSED ELEVATIONS

AR 14

14 OF 18 TOTAL SHEETS

Existing Conditions – Areas of Proposed Demolition Highlighted



1 EXISTING LEFT ELEVATION
AR 09 DEMOLITION

SCALE: 1/4"=1'-0"
NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

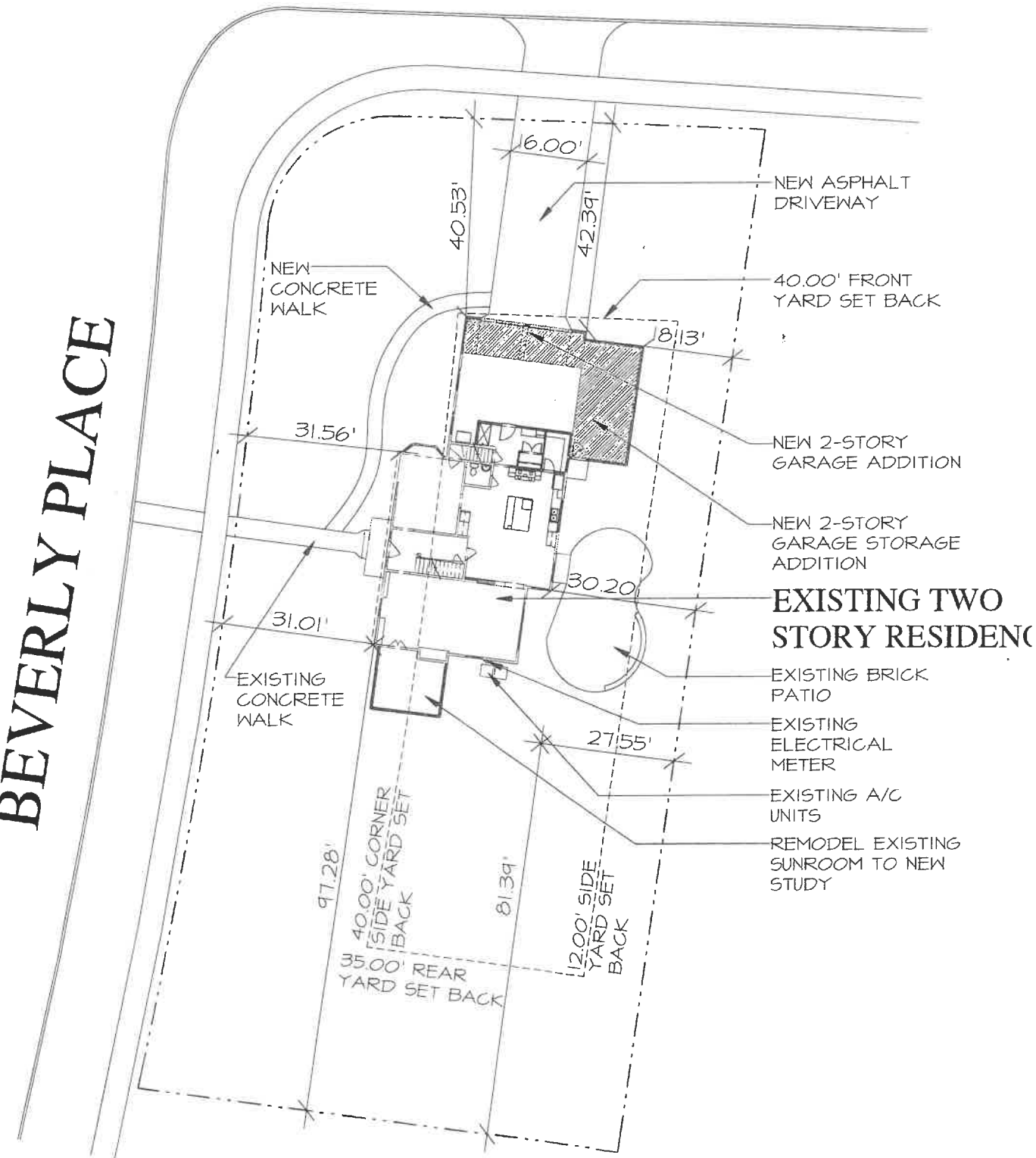
 ASPECT DESIGN INC. ARCHITECTS		26575 COMMERCE DR. SUITE 607 Volo, IL 60073 PHONE: 847-437-2800 FAX: 847-437-2801 IL LICENSE # 142-002518		HADJIS RESIDENCE ADDITION / REMODEL 1055 BEVERLY PLACE LAKE FOREST, IL 60045	
REVIEW	10/11/2023	REVIEW	08/09/2023	REVIEW	11/14/2023
REVIEW	10/17/2023	REVIEW	09/15/2023	REVIEW	
REVIEW	10/21/2023	REVIEW	09/14/2023	REVIEW	
REVIEW	11/02/2023	REVIEW	09/11/2023	REVIEW	
REVIEW	11/09/2023	REVIEW	09/05/2023	CONCEPT STUDY 5	
REVIEW	04/15/2024	REVIEW	10/01/2023	REVIEW	
REVIEW	06/10/2023	REVIEW	11/09/2023	REVIEW	
REVIEW	07/14/2023	REVIEW		REVIEW	

PROJECT # AD22170
 DRAWN BY DB / MB
 HADJIS RESIDENCE
 DEMOLITION ELEVATIONS
AR 09
 # 9 OF 18 TOTAL SHEETS

Previous Plans – Presented to the Board in September

LONGWOOD DRIVE SITE PLAN - PREVIOUSLY PROPOSED IN SEPTEMBER

BEVERLY PLACE



2
AR 01

PROPOSED SITE PLAN

R-2 ZONING

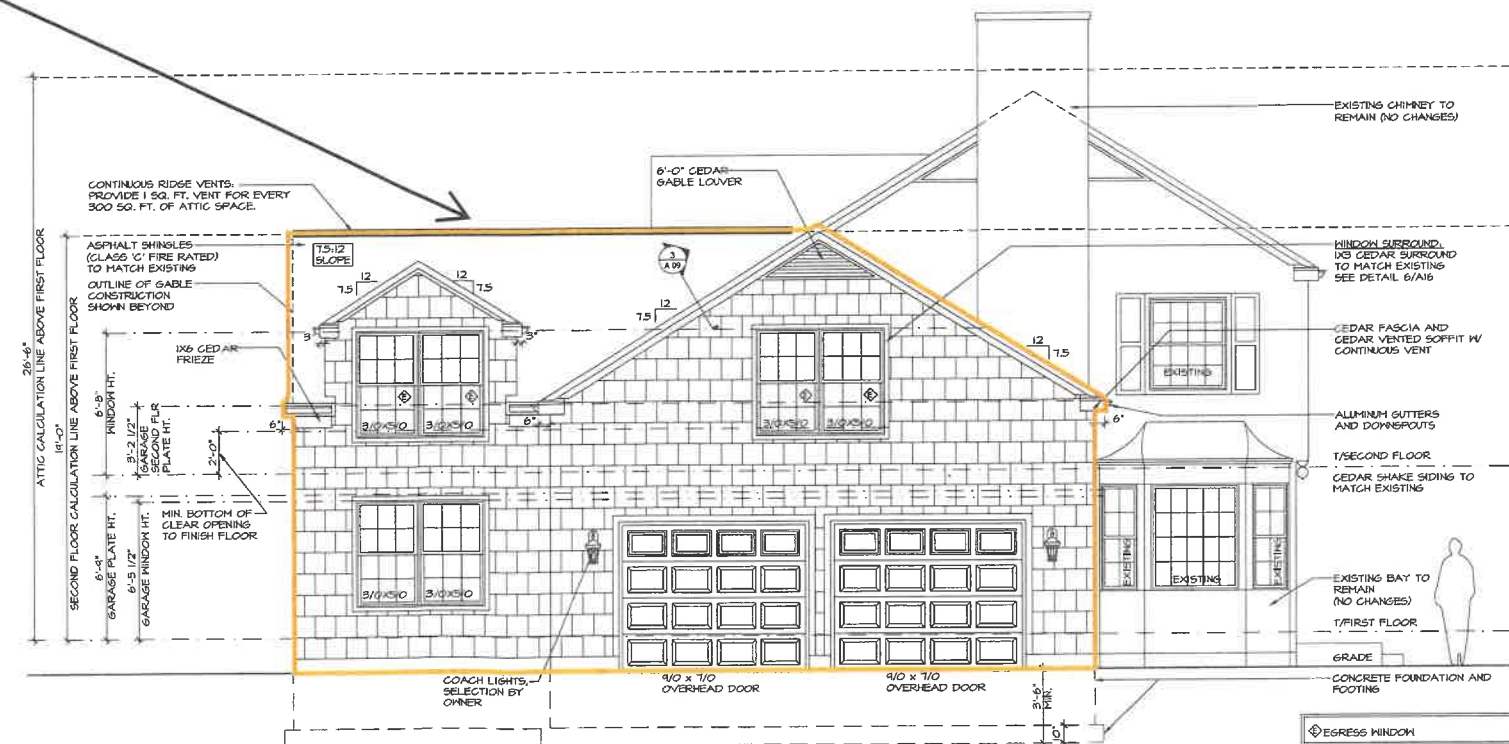


NORTH

SCALE: N.T.S.

PREVIOUSLY PROPOSED NORTH ELEVATION

PROPOSED
ADDITION



1
AQ

PROPOSED LEFT ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

© COPYRIGHT MMXXIII # 17 OF 18 TOTAL SHEETS

PROJECT #	AD22170
DRAWN BY:	DB / MB
HADJIS RESIDENCE PROPOSED ELEVATIONS	

AQ 17

17 OF 18 TOTAL SHEETS

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IL LICENSE # 18-004354

ASPECT DESIGN INC.
ARCHITECTS

REVIEW	10/17/2023	REVIEW	09/15/2023
REVIEW	10/21/2023	REVIEW	09/16/2023
REVIEW	11/02/2023	REVIEW	09/17/2023
REVIEW	11/09/2023		
REVIEW	06/15/2023		
REVIEW	06/16/2023		
REVIEW	07/14/2023		

**HADJIS
RESIDENCE**
ADDITION / REMODEL
1055 BEVERLY PLACE
LAKE FOREST, IL 60045

REVIEW ONLY-NOT FOR CONSTRUCTION

Agenda Item 4
1062 Valley Road

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Materials
Survey – Existing Conditions
Site Plan – Proposed
Images – Existing and Proposed – Front and Rear

Elevations – Areas of Demolition and Proposed Construction
Floor Plans - Proposed
Roof Plan - Proposed
Sections - Proposed
Carport - Proposed
Conceptual Image – Aerial View of Overall Site
Exterior Materials – Illustrations

Tree Survey
Tree Removal and Tree Planting Plan
Roof Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1062 Valley Road

Consideration of a request for a recommendation in support of partial demolition, conversion of a garage to living space, the addition of a second story over the garage, various alterations around the residence, relocation of the driveway, and the addition of an open carport.

Property Owner and Project Representative: Oana Herghelegiu, architect

Staff Contact: Catherine Czerniak, Director of Community Development

Background on the Property, Residence, and Architect

This property is located on the northwest corner of Valley Road and Marion Avenue. The surrounding neighborhood was built out over several decades, the residence in this petition was one of the earliest homes constructed in this area. Activity today in this part of the community primarily involves small additions to existing homes, alterations, and interior upgrades. Most of the properties in this neighborhood are around a half acre in size and the homes are of various architectural styles including a fair number of homes designed in the contemporary style.

The modest residence that is the subject of this petition sits quietly on the site, almost invisible from the street due to the low profile and earth tones of the home and the mature trees and thick vegetation. As noted in the petitioner's statement, the house was designed and built by local architect, Donald S. Murray. Don served as a navigator in World War II, was a prisoner of war in Germany after his plane was shot down, and after returning to the United States after the war, finished school and obtained his architect's license. After designing and building the house at 1062 Valley Road, in 1962, Don and Josie moved their family to Lake Forest and remained in the home and active in the community until Don's passing shortly after his 100th birthday in 2020. Josie passed away shortly before Don. Don was a valued member of the City's Community Development Department for almost two decades, he was a teacher, a creative architect, and friend.

The house is simple in design, intended to blend unobtrusively with the surrounding vegetation. No alterations of any significance have been made to the house since its original construction.

Summary of Request

Partial demolition of the residence and garage are proposed. Based on the information provided by the petitioner to date, more than 50 percent of the existing house will remain making this a partial, rather than a full demolition. Plans submitted for permit, after final design development is completed, will need to clearly detail all elements of the house proposed for demolition and document that less than 50 percent of the house overall will be demolished.

The existing garage is attached to the residence with an open roof structure, this space will be infilled to connect the main part of the residence with the planned two story living space. The two story living space will be created by converting the garage to first floor living space and adding a second story over the garage and cantilevering it to the west for additional living space. As proposed, a roof extends into the rear yard from the second floor level to provide a covered open patio space. Because the garage is currently non-conforming, the new construction will step back from the north wall of the garage to comply with the required setback. An open patio wraps the rear of the house extending from the covered patio south.

The footprint of the residence aside from the connection to the new two story space, remains the same as originally constructed.

While keeping with the contemporary architecture of the original home, the petitioner proposes various exterior alterations to the fenestrations, elements of the roof, and the exterior materials.

A significant change to the site plan is proposed. As proposed, the driveway will be relocated from Valley Road to Marion Avenue, near the southwest corner of the property. An open carport is proposed ten feet from the west property line.

Staff Evaluation

Site Plan – This standard can be met with modifications and enhancements.

As noted above, the significant change to the site plan is the relocation of the driveway from Valley Road to Marion Avenue and construction of an open carport ten feet from the west property line. The area of the property where the driveway and carport are proposed has remained in a natural state for decades. Construction in this area will impact long undisturbed trees and has the potential to alter the hydrology which could impact additional trees over the long term.

The orientation of the proposed driveway appears to direct headlights on to the private, rear façade of the home on the adjacent property to the north at 1044 Valley Road. Due to the curving nature of Valley Road, the neighboring home is angled making the headlight impact likely. Although some plantings are proposed along the north property line, opposite the driveway, it is questionable whether the plantings will provide sufficient screening to avoid what could be a fairly regular impact on the rear of the neighboring homes. If guests park in the new driveway, the potential for impact will be increased.

The location of the open carport near the west property line also presents the potential for the impact of headlights on private areas of the neighboring home

to the west at 222 Marion Avenue. As proposed, vehicles will enter the carport from the east creating the potential for ongoing impacts on the neighboring homes.

Various options can be considered to mitigate off site light impacts of the relocated driveway and carport including construction of a low wall or solid fence, the planting and maintenance of dense, year round vegetation, or some combination of the three.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,003 square feet is permitted on the site with up to an additional 40 square feet in design elements and 600 square feet for a garage.

- The existing house totals 1,463 square feet.
- The proposed addition, including the garage space that will be converted to living space, totals 1304 square feet.
- The proposed carport totals 735 square feet. The square footage of the carport that exceeds the allowable 600 square feet, 135 feet, is added to the square footage of the home.
- The addition plus the excess garage square footage totals 3,114 square feet, less than the maximum allowable square footage by 889 square feet or 22 percent.

The maximum height permitted for this property is 35 feet. The existing home is 21'1" and the proposed addition is 22'-7".

Elevations – This standard is generally met.

The proposed modifications to the front entry element, fenestration and detailing on the original home are consistent with the existing character of the home, generally understood, blending in well with the surrounding environment.

The proposed addition is designed in a contemporary style generally consistent with the original home. Large round windows are proposed on the east and west facing elevations of the second floor addition. A third round window is incorporated on the front elevation of the original residence however, this window is at the first floor level and is more subtle, offering less potential for off site light impacts. The front facing, large round window on the second floor addition could have a strong presence on the street visually. The round window on the rear elevation is screened by vegetation and is internal to the site. Consideration should be given to alternative fenestration for the east, front facing elevation of the second floor addition to achieve a street facing elevation that is more consistent with the surrounding neighborhood.

Board input is requested on the large, front facing, second floor, round window.

As noted above, an open carport is proposed. Carports are not common in this neighborhood. Headlight impacts and the potential for views of stored items, are concerns for neighboring property owners. Further consideration should be given to a design that could at least in part provide some additional screening of the interior of the carport.

Board input is requested on the carport.

Type, color, and texture of materials – This standard is met.

The proposed exterior materials are consistent with the contemporary style of the home and compatible with the wooded character of the site. The low profile roof is a prominent feature of the home. A dark, metal, non-reflective roof material is proposed. To achieve a residential character, the metal panels should be twelve inches wide or less. Hardie Board siding is proposed with wood trim. Large, casement windows, consistent with the contemporary style, are planned. Concrete and concrete pavers are proposed for the patio, driveway and carport surface. A composite deck is proposed over the concrete patio.

Landscaping – Site Plan – This standard can be met with modifications and enhancements.

There are several dead and declining trees on the City parkway along Marion Avenue. The City's Certified Arborist has confirmed that these trees are on the City's list for removal. After the City removes the trees, replacement trees will be planted consistent with the City's replanting policies and as the budget allows. No plantings are permitted in the parkway without prior City approval. The plan indicates that evergreens are proposed by the petitioner in the parkway, evergreens are not permitted in the parkway due to the potential for obstructing sightlines on or near roadways.

Although the petitioner's tree removal plan indicates that only two trees are proposed for removal, two Ash trees located in the southwest corner of the property, there appear to be four other trees that will need to be removed two of which are in excellent condition as noted below.

Tree #196 – Black Walnut – very good condition

Tree # 197 – Red Oak - good

Tree #209 - Shagbark Hickory – excellent condition

Tree #214 – Silver Maple – excellent condition

Double inch for inch replacement is required for the trees that are in excellent condition, single inch for inch replacement is required for the trees in very good

and good condition. The large lot affords the opportunity for replanting on the site.

A pre and post construction tree care plan is recommended for other trees, near the proposed construction activity areas. The key trees that could benefit from treatment are listed below.

Tree #193 – Swamp White Oak – good condition
Tree #194 – Swamp White Oak – very good condition
Tree #200 – Red Pal – very good condition
Tree #203 – Swamp White Oak – very good condition
Tree #205 – Swamp White Oak – very good condition
Tree #206 – Bur Oak – good condition
Tree #213 – Bur Oak – good condition
Tree #215 – Red Oak – good condition
Tree #216 – Swamp White Oak – very good
Tree #217 – White Pine – very good condition

Public Comment

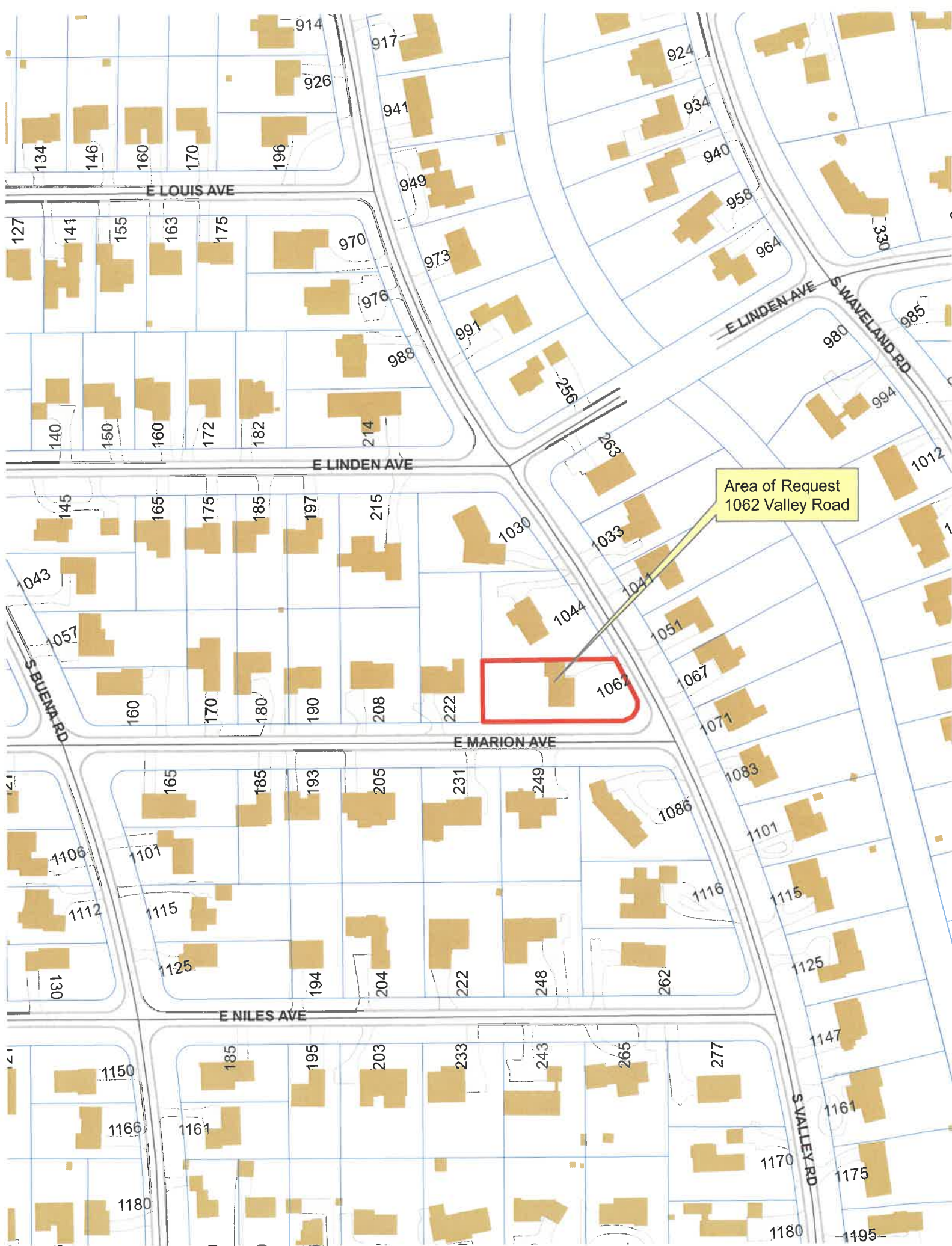
Public notice of this petition was provided in accordance with applicable requirements and standard practice. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. Correspondence received to date is included in the Board's packet.

Recommendation

Adopt the findings as detailed in this staff report and recommend approval of the petition with modifications to the front facing, round window and the carport. The motion is subject to the following conditions of approval.

1. Alternative designs for the front facing round window and the carport shall be submitted and will be subject to staff review in consultation with the Chairman. If appropriate, these elements shall be returned to the Board for final approval.
2. All modifications to the plans including those made in response to Board direction or discussion, or as the result of final design development, shall be clearly called out on the plan submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to verify that any changes are consistent with the Board's approval prior to the issuance of any permits or if further Board review is required.

3. Prior to the issuance of a building permit:
 - a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify any trees proposed for removal and trees identified for protection and preservation including parkway trees and trees on neighboring properties if there is a potential for construction impacts.
 - b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees.
 - c. A detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall provide for dense, year round screening to mitigate headlight impacts from the driveway and carport on the neighbors unless an alternate solution is identified. And, at a minimum, the plan must reflect foundation plantings around the new addition to meet the minimum Code requirements and replacement trees required to satisfy the required replacement for trees removed. The landscape plan shall include the quantity, species, and size at the time of planting for all new landscaping.
4. At the time of submittal for a building permit, detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices.
5. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
6. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. Adequate sightlines at the intersection must be maintained at all times and streets and neighboring driveways cannot be obstructed.





**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1062 Valley Rd

APPLICATION TYPE

<i>RESIDENTIAL PROJECTS</i>	<i>COMMERCIAL PROJECTS</i>
<div style="display: flex; justify-content: space-between;"><div><input type="checkbox"/> New Residence</div><div><input type="checkbox"/> Demolition Complete</div></div> <div style="display: flex; justify-content: space-between;"><div><input checked="" type="checkbox"/> New Accessory Building</div><div><input checked="" type="checkbox"/> Demolition Partial</div></div> <div style="display: flex; justify-content: space-between;"><div><input checked="" type="checkbox"/> Addition/Alteration</div><div><input type="checkbox"/> Height Variance</div></div> <div style="display: flex; justify-content: space-between;"><div><input type="checkbox"/> Building Scale Variance</div><div><input type="checkbox"/> Other</div></div>	<div style="display: flex; justify-content: space-between;"><div><input type="checkbox"/> New Building</div><div><input type="checkbox"/> Landscape/Parking</div></div> <div style="display: flex; justify-content: space-between;"><div><input type="checkbox"/> Addition/Alteration</div><div><input type="checkbox"/> Lighting</div></div> <div style="display: flex; justify-content: space-between;"><div><input type="checkbox"/> Height Variance</div><div><input type="checkbox"/> Signage or Awnings</div></div> <div style="display: flex; justify-content: space-between;"><div><input type="checkbox"/> Other</div><div></div></div>

PROPERTY OWNER INFORMATION

Oana Herghelegiu

Owner of Property

1062 Valley Rd

Owner's Street Address (may be different from project address)

Lake Forest, IL 60045

City, State and Zip Code

(312)722-3852

Phone Number

Fax Number

herghelegiuoana@gmail.com

Email Address



Owner's Signature

ARCHITECT/BUILDER INFORMATION

Oana Herghelegiu

Name and Title of Person Presenting Project

Shaped PLLC

Name of Firm

20 N Clark St, suite 3300

Street Address

Chicago, IL

City, State and Zip Code

(312)722-3852

Phone Number

Fax Number

info@shaped.design

Email Address



Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER

☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

***I will pick up a copy of the staff report at
the Community Development Department***

☐ OWNER

☐ REPRESENTATIVE

driveway and the existing curb cut at the front of the property are proposed for removal and replacement with a paved walkway and sod area.

Being a corner lot property and creating a new curb cut from Marion Ave., change in the property address is an option. Still, with respect to the memory of the previous owner and architect, we'd like to maintain the property address as 1062 Valley Rd.

Walking down Valley Rd. or Marion Ave., it is observed that most of the houses have a principal body and side secondary volume, either composing an attached garage or a portion of the livable area.

In terms of mass hierarchy, the existing house is presented as the main body of the house through size, location of the main entrance, and front setback, while the new addition is subordinated.

When analyzing the existing house volumes, the roof makes a powerful statement of expression with an asymmetric gabled roof with large overhangs, facing front and back, connecting to the garage through a flat roof, used by the owners as a rooftop deck. The covered front porch makes the main entrance easily identifiable, but it further extends the mass of the roof. The existing house 'body' is perceived as a rectangle, with symmetric gestures but asymmetric count and location for windows and doors. The wall/window area percentage varies, with almost complete openness towards the rear yard.

The proposed alteration of the existing building is meant to develop the original design further and address a couple of identified inconveniences.

1. Due to damaged exterior roofing material and partial damage at the interior roof boards, the existing roof assembly is proposed for replacement over the existing structure (same shape and location). A new roof assembly allows for adequate roof insulation and compliance with the current energy requirements. The large roof overhangs are reduced throughout to allow additional interior natural light and to limit the exterior façade shadow area. As part of the existing architectural style, the existing exposed roof beams are further maintained and highlighted in the building composition. The roof extension over the existing front porch is proposed for replacement with a detached flat-roofed canopy, same elevation as the existing. This change reduces the roof mass perceived from the street and provides a more rectangular roof shape.
2. The appearance of the existing house mass is reduced by enlarging the window area throughout. All the existing windows and doors are proposed for replacement with new energy-efficient, tempered, and/or laminated options. Most of the new windows and doors closely follow the shape and the location of the existing ones. In contrast, three large round windows are integrated as an unexpected element, comprising a leitmotif in our architectural work.
3. The existing finish materials (wood siding, wood boards, wood window frames and trims, asphalt shingles) are proposed for replacement with non-porous, contemporary materials like aluminum (roofing, trims, windows, doors), cement board siding and composite slat boards (exterior walls). The proposed materials combine with the house shape and design to make an up-to-date statement of a 'contemporary style'.

The proposed additions are sought to follow the existing house interior 'flow' and exterior expression. While the 1st-floor addition is almost camouflaged within the existing volumes, the 2nd-floor addition volume turns perpendicular to the existing house to align longitudinally with the side setback and face Marion Ave. The perspective towards the house is balanced to show similar massing from both streets and creates a clear definition of the interior courtyard with southern sun exposure. The new addition's roof is single-sloped (slope pitch is 1/3 of the primary roof slope), with the smallest elevation height oriented towards the neighbor's house at North.

The new house is compatible with the adjacent buildings and surrounding area in scale and proportions.

STANDARDS FOR ARCHITECTURAL AND SITE DESIGN REVIEW

1. Site Plan:

The principal building and the 1 car garage are existing non-conforming. The existing building encroaches 19'-4" into the required 40'-0" corner lot setback, and the existing garage encroaches 1'-10" into the 12'-0" required setback. Please see the existing and proposed site plan drawings for reference.

The proposed alterations on the existing building do not further increase the extent of the non-conformity, but replacing the existing roof with a new roof assembly will require zoning relief.

The existing non-conforming garage is proposed for conversion into livable space, and a portion of the existing exterior North wall will be extended to allow 8'-0" interior ceiling height. Please see the demolition and the proposed North elevations. In addition, a new skylight is proposed to allow subtle north lighting of the interior wall and create a floating perspective for the 2nd-floor volume. A zoning variance for this matter is also sought.

The proposed 1st-floor and 2nd-floor additions and the rear 3 car carport are compliant with the required setbacks, except the 2nd floor new 1'-0" roof overhang at North will require a zoning relief.

2. Elevations:

The proposed buildings' scale and height comply with the bulk requirements.

The 2nd-floor addition roof elevation matches the existing roof elevation. The roof is sloped towards the neighbor's property to visually reduce the volume height and allow additional southern light to their building.

The proposed additions are consistent with the existing building style and massing, and integrate with the surrounding buildings in the neighborhood. The neighborhood consists of a variety of home styles. The older homes present a smaller mass, while the newer homes are larger. In the proximity, a few Contemporary Style houses were identified (photos added with the package). The volumes of these houses and the general massing are consistent to the proposed design.

3. Landscaping:

The entire project concept is based on preserving the existing landscape on the property. As previously mentioned, the new volumes are carefully located on the lot, on isolated footings, to protect the roots of the existing trees and maintain the existing vegetation. Any excavation (for continuous foundations or underground electrical service) was disregarded in the project development.

The new driveway and carport are integrated into the existing landscape and grading, without removing any trees. The existing dead trees are proposed for removal and replacement per code. Please see the proposed site plan for details.

4. Type, Color, and Texture of Materials:

The proposed building materials are consistent with the Contemporary Style, chosen in a neutral color palette: dark gray for all aluminum applications (new roofing, flashing, gutters & downspouts, window frames), gray Hardie board siding, and white oak composite slats siding at exterior walls. All the proposed materials shall have a smooth, non-porous finish to avoid organic buildup and staining from the existing trees and be easy to clean.

5. Overall Site Layout:

Due to the lot orientation and the corner lot condition, the allowable buildable area is comprised by a 39' wide strip at the northern side of the lot.

The existing yard is planned around a landscape void in the center of the lot, where summer and winter sun creates the perfect outdoor space.

After a careful review of the site, it was clear that the re-use of the existing 1 car garage structure would be beneficial for the project. This approach maintains the proximity between the 1st floor volume and the North Neighbor building.

The proposed 2nd-floor addition is aligned to the North side setback, to allow a defined interior courtyard area at South. The North side neighbor building is located at approx. 19' from the property line at the west corner, and approx. 31' at the east corner. The minimum distance between the neighbor's building and the proposed 2nd-floor addition is 31'-1".

The proposed addition does not impact the neighbor's natural light, ventilation, or privacy.

Thank you in advance for considering our application.
We look forward to hearing the Board's feedback.

Sincerely,

A handwritten signature in black ink, appearing to be 'Oana' followed by a stylized flourish.

Oana Herghelegiu and Andrei Tofan

October 18th, 2023

Building Review Board
City of Lake Forest
Community Development Department
800 Field Dr.
Lake Forest, IL 60045

RE: Demolition Criteria Statement

**Partial demolition for alterations of the existing building & new addition.
1062 Valley Rd., Lake Forest**

Criterion 1.

The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

The existing house was built in 1962 by architect Donald Scott Murray, where he lived until 2020, at the age of 100 years. Donald Scott Murray and his family was the single owner of the house. In 2021, we had the opportunity to purchase the property as a first-time buyer. We allowed the time to familiarize ourselves with the site, the house, and the community while exploring various project alternatives.

The previous owner was well-known in the neighborhood as one of the oldest occupants in the area. Most neighbors helped the family and are familiar with the house. Still, no particular attachment or significance was expressed for the actual structure in conversations about a potential alteration.

The style of the existing house is Contemporary (per City of Lake Forest Residential Design Guidelines), with simple building volumes and a dynamic interior space that opens towards the yard.

The predominant finish material is painted wood on exterior walls and stained wood on decorative interior walls and cathedral ceilings. Given the climatic conditions and the existing vegetation, most of the wood applications were identified with damage from organic compounds, stains, or mold, therefore proposed for replacement.

Criterion 2.

Realistic alternatives, including adaptive re-uses, do not exist because of the nature or cost of work necessary to preserve the structure, or to realize any appreciable part of its value.

The proposed project is for remodeling and alteration of the existing structure, 1st-floor and 2nd-floor addition. The proposed partial demolition includes:

- Existing roof replacement.
- Windows and doors replacement, enlargement and relocation.
- Interior demolition for 1st-floor open layout (existing bathrooms and kitchen location to remain)
- Demolition of two existing exterior walls, one at the principal building and one at the existing garage, to accommodate the 1st-floor addition.

With the proposed alterations, the existing building is brought in compliance with the current applicable codes.

Criterion 3.

The structure, in its present or restored condition, is unsuitable for residential or a compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

Not applicable.

Criterion 4.

The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

Not applicable.

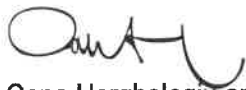
Criterion 5.

The demolition and/or the replacement structure will be compatible with and not adversely impact the neighborhood character.

The proposed partial demolition does not alter the existing house's general perspective, while the proposed additions integrate with the existing conditions of the site and the neighborhood. There shall be no impact on the neighborhood character.

Your time and consideration are greatly appreciated.

Sincerely,

A handwritten signature in black ink, appearing to be a cursive combination of the names Oana and Andrei.

Oana Herghelegiu and Andrei Tofan



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Facade Material

- | | |
|--|---|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Wood Shingle |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Synthetic Stucco |
| | <input type="checkbox"/> Other <u>HARDIE CEMENT SIDING; COMPOSITE SLAT BOARDS</u> |

Color of Material HARDIE: GRAY
COMPOSITE SLAT BOARDS: WHITE OAK

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☒ Other FIXED

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____
Color of Finish DARK GRAY

Window Muntins

- ☒ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material (EXISTING)

- ☒ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☒ Sheet Metal ALUMINUM _____
- ☐ Other MODIFIED-BITUMEN _____

Flashing Material

- ☐ Copper
- ☒ Sheet Metal ALUMINUM _____
- ☐ Other _____

Color of Material DARK GRAY

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

Driveway Material

- ☐ Asphalt
- ☒ Poured Concrete
- ☐ Brick Pavers
- ☒ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other COMPOSITE DECKING OVER CONCRETE SLAB _____



JRVEY NUMBER: 2107.1775

ATE SIGNED: 07/20/21 FIELD WORK DATE: 7/20/2021


REVISION DATE(S):
REV.2 8/1/2023) (REV.1 7/20/2021)

POINTS OF INTEREST

ONE VISIBLE

STATE OF ILLINOIS } ss
COUNTY OF LASALLE }

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY, GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.



ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971
 LICENSE EXPIRES 11/30/2024
 EXACTA LAND SURVEYORS, LLC
 PROFESSIONAL DESIGN FIRM 184008059-0008



Exacta Land Surveyors, LLC
PLSF 184008059
o: 773.305.4011
kson Street | Morris, IL 60450

316 East Jackson Street | Morris, IL 60450

SURVEY COORDINATED BY:

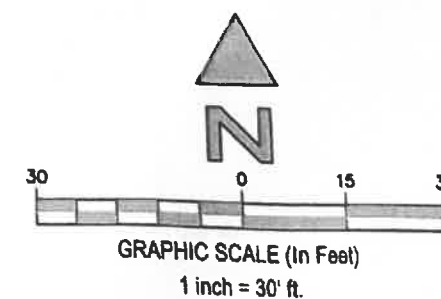
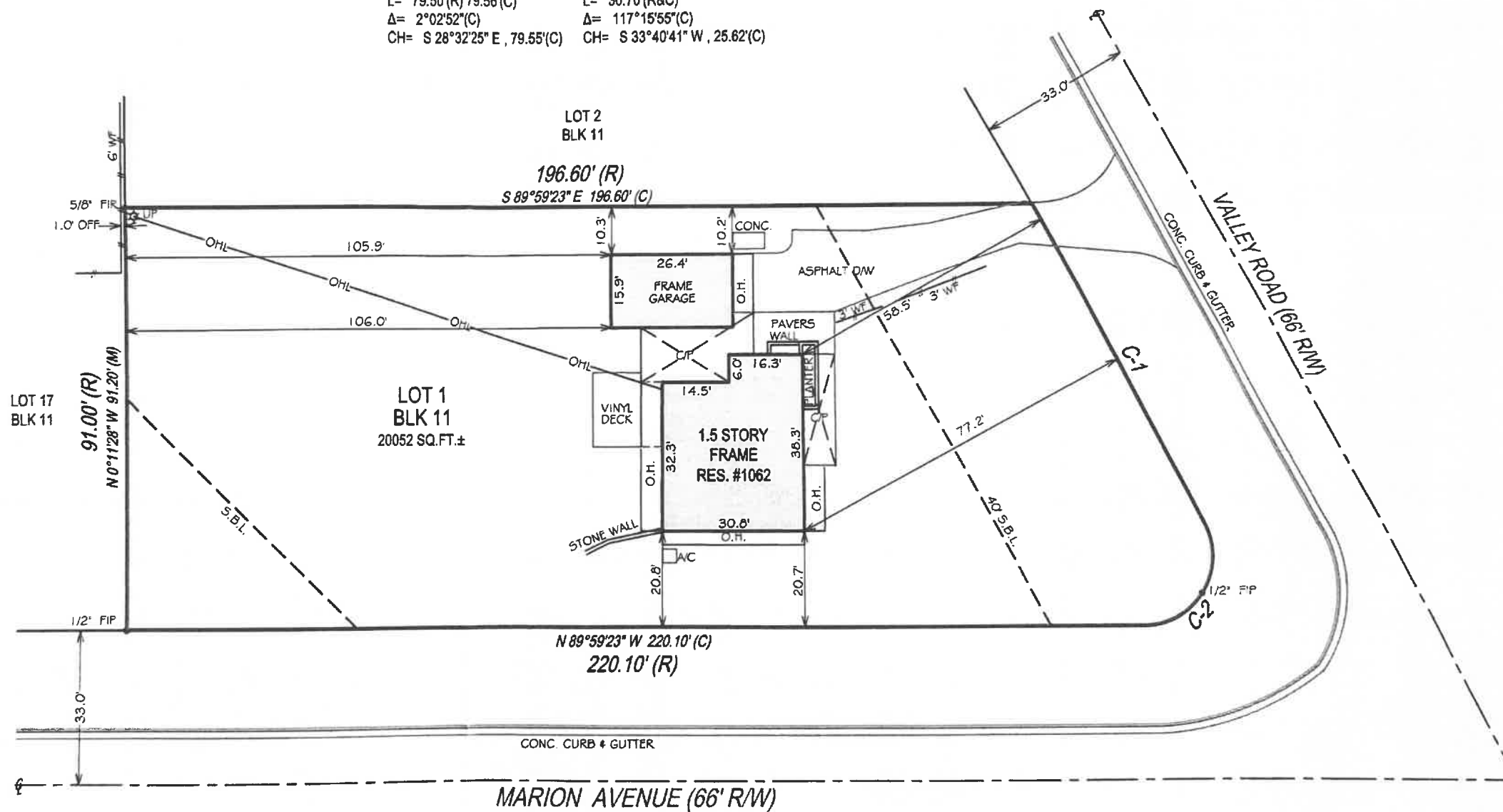


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2107.1775
BOUNDARY SURVEY
LAKE COUNTY

EXISTING CONDITIONS SURVEY

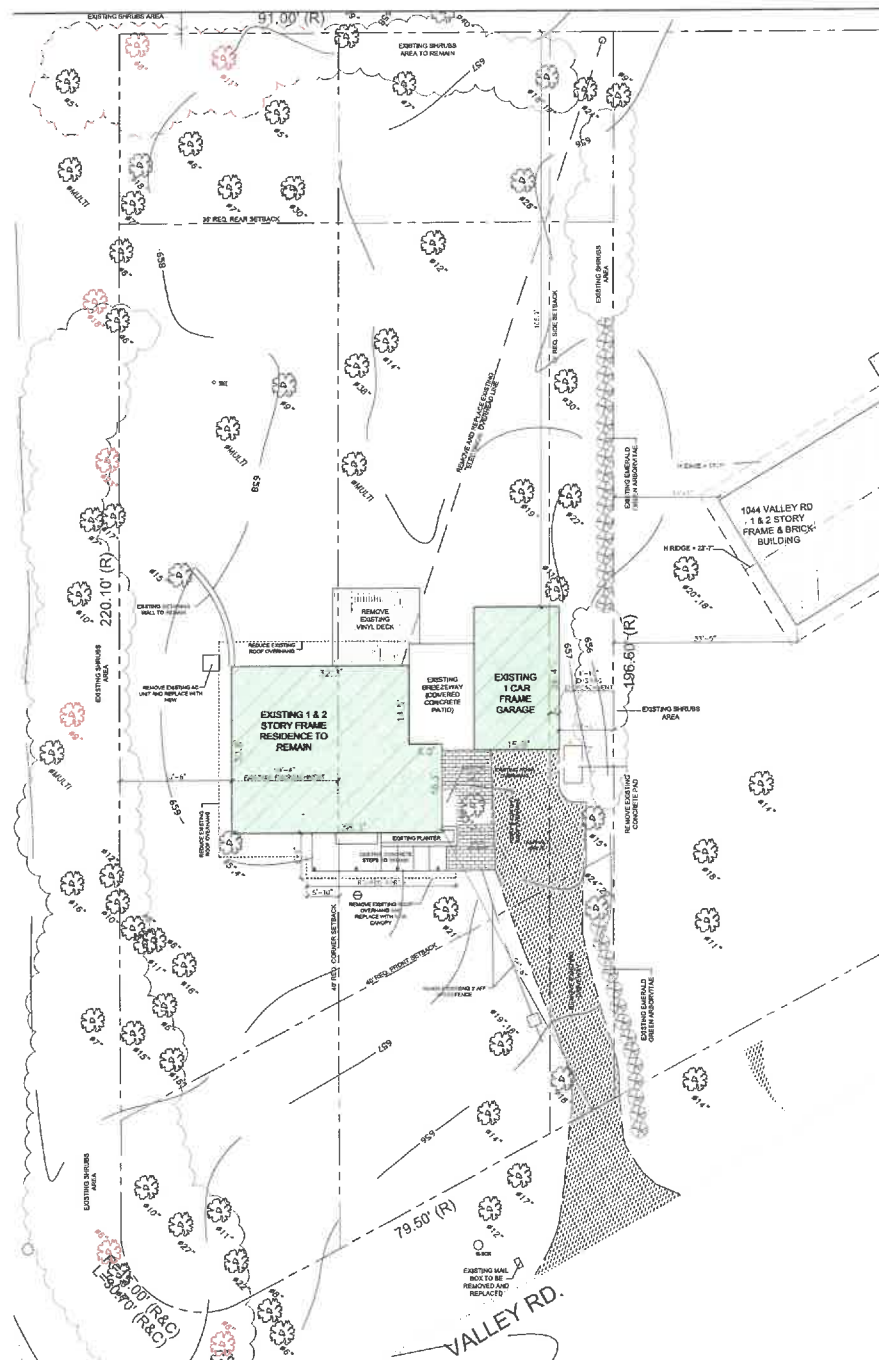
C-1	C-2
R= 2226.01'(R&C)	R= 15.00'(R&C)
L= 79.50'(R) 79.56'(C)	L= 30.70'(R&C)
Δ= 2°02'52"(C)	Δ= 117°15'55"(C)
CH= S 28°32'25" E , 79.55'(C)	CH= S 33°40'41" W , 25.62'(C)



SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

PROPOSED PROJECT SCOPE: SITE PLAN

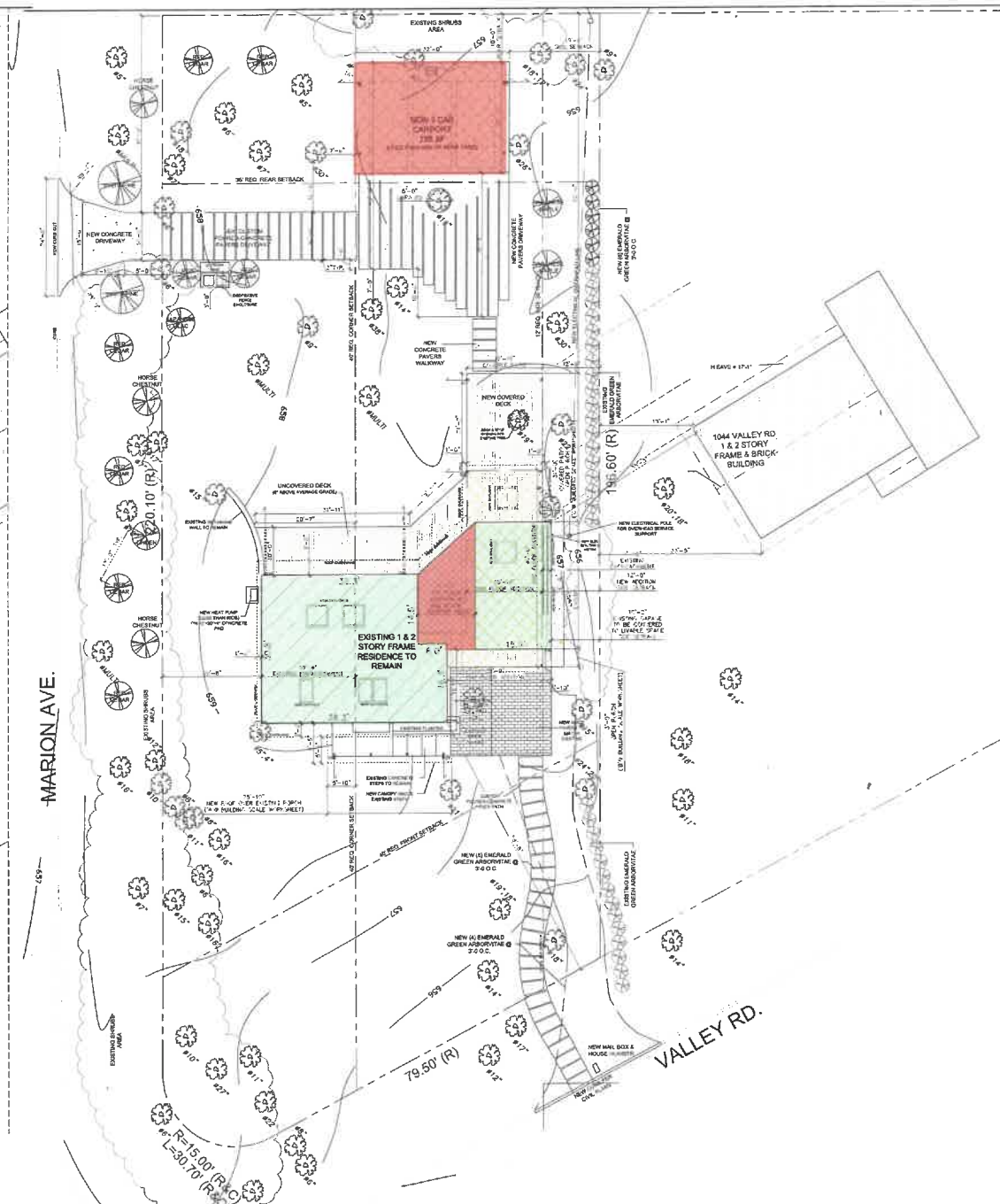
EXISTING SITE PLAN DIAGRAM



EXISTING BUILDING
TO REMAIN

PROPOSED SITE PLAN DIAGRAM

1ST FLOOR

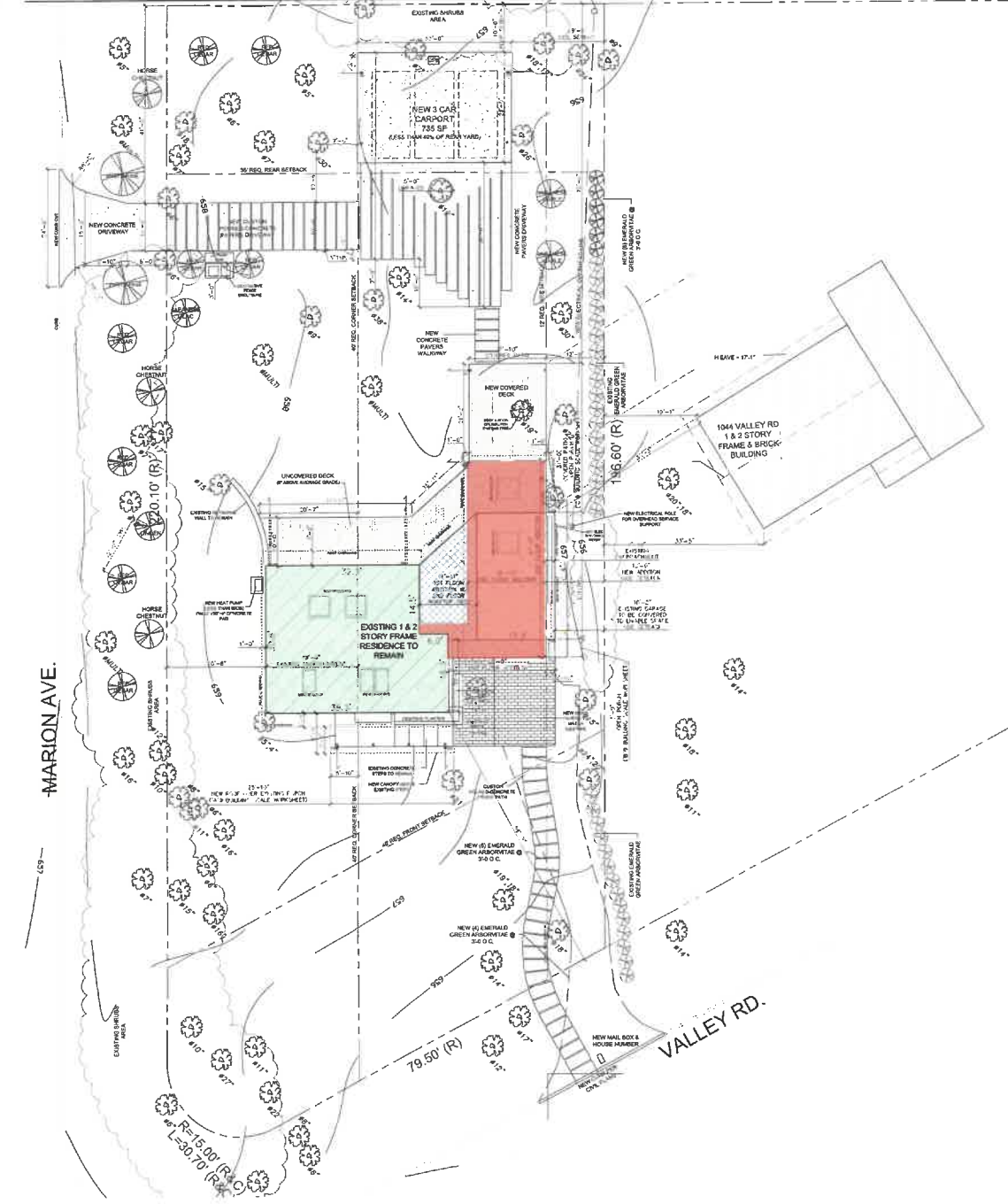


1ST FLOOR ADDITION/
NEW CONSTRUCTION

EXISTING 1ST FLOOR

PROPOSED SITE PLAN DIAGRAM

2ND FLOOR



2ND FLOOR ADDITION

EXISTING 2ND FLOOR

PROPOSED PROJECT SCOPE:

- 2ND FLOOR FRAME ADDITION OVER EXISTING DETACHED GARAGE (ATTACHED FOR ZONING PURPOSES) FOR NEW MASTER SUITE.
- 1ST FLOOR FRAME ADDITION TO CONNECT EXISTING LIVING AREA TO EXISTING GARAGE. CONVERT EXISTING GARAGE TO HABITABLE SPACE.
- NEW REAR 3 CAR CARPORT WITH NEW VEHICULAR ACCESS AT SIDE STREET (REMOVE EXISTING DRIVEWAY AT FRONT).
- INTERIOR REMODELING WITH MEP AS PER PLANS.
- EXTERIOR ALTERATIONS TO INCLUDE: NEW ROOF ASSEMBLY AND OVER EXISTING HOUSE (EXISTING STRUCTURAL BEAMS TO REMAIN. REDUCE EXISTING OVERHANGS THROUGHOUT, REPLACE EXISTING ROOF ABOVE FRONT PORCH WITH NEW DETACHED CANOPY);
- REMOVE EXISTING CEDAR BOARD SIDING AND REPLACE WITH NEW HARDIE BOARD SIDING AND COMPOSITE WOOD SLATS PANELS;
- REMOVE EXISTING WINDOWS AND DOORS AND REPLACE WITH NEW;



EXISTING FRONT VIEW

EXISTING STYLE: CONTEMPORARY



PROPOSED FRONT VIEW

PROPOSED STYLE: CONTEMPORARY

OVERALL SITE LAYOUT

YARDS & OUTDOOR SPACE



EXISTING REAR OUTDOOR SPACE



PROPOSED REAR OUTDOOR SPACE

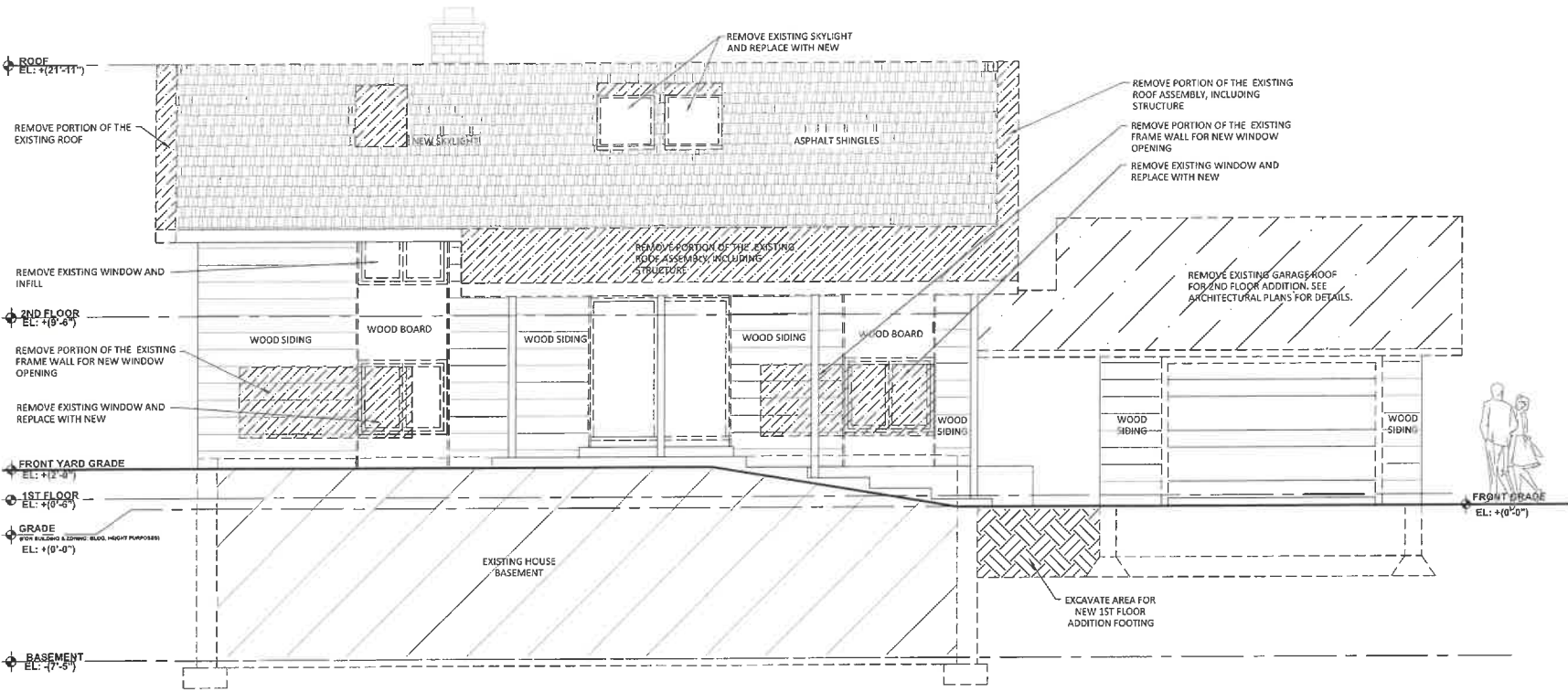


EXISTING BREEZEWAY



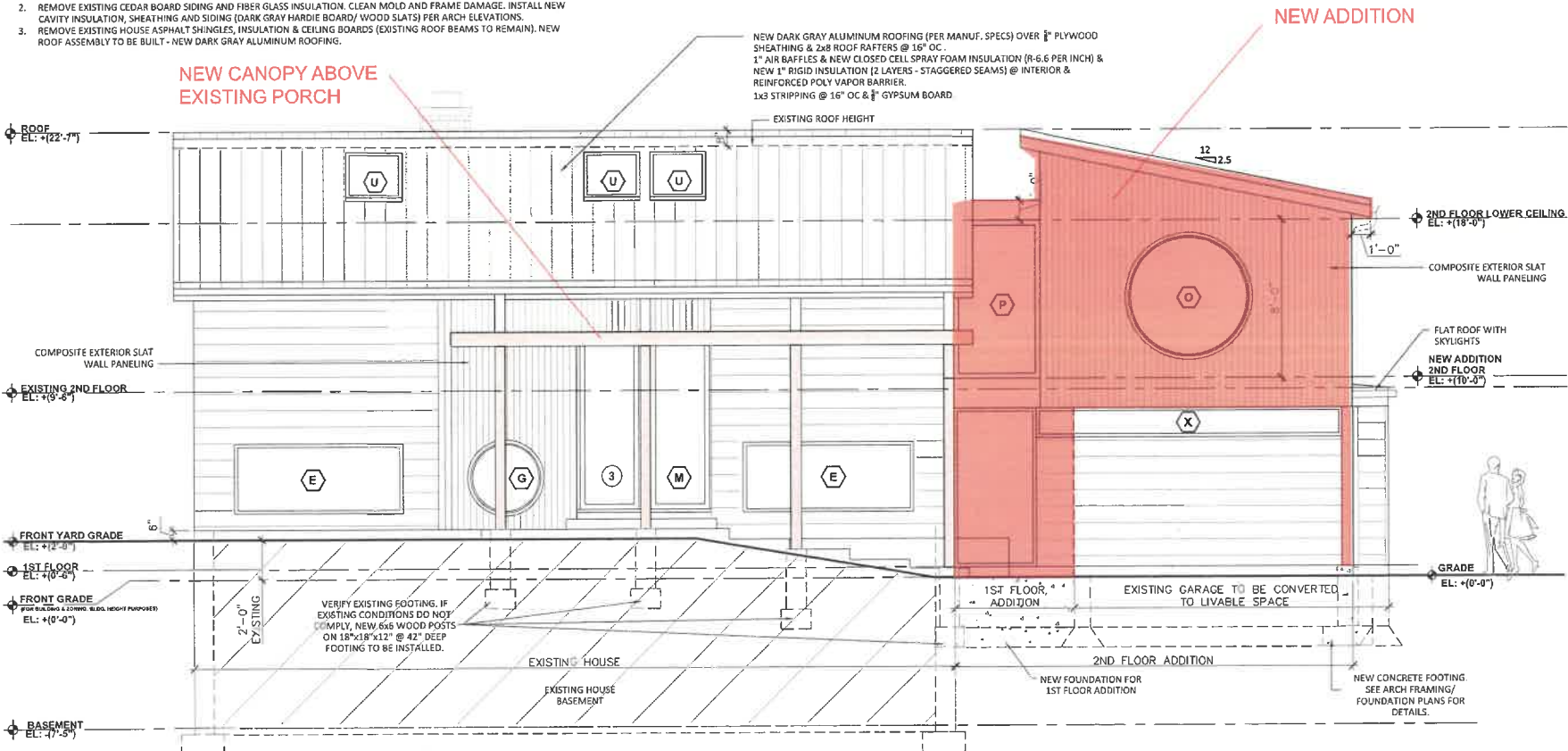
PROPOSED BREEZEWAY ENCLOSURE

ELEVATIONS:
FRONT FACADE



DEMOLITION FRONT ELEVATION

- EXTERIOR FINISHES DEMOLITION NOTES TYPICAL THROUGHOUT:
1. REMOVE EXISTING WOOD WINDOWS AND REPLACE WITH NEW ALUMINUM PER ARCH. SPECS.
 2. REMOVE EXISTING CEDAR BOARD SIDING AND FIBER GLASS INSULATION. CLEAN MOLD AND FRAME DAMAGE. INSTALL NEW CAVITY INSULATION, SHEATHING AND SIDING (DARK GRAY HARDIE BOARD/ WOOD SLATS) PER ARCH ELEVATIONS.
 3. REMOVE EXISTING HOUSE ASPHALT SHINGLES, INSULATION & CEILING BOARDS (EXISTING ROOF BEAMS TO REMAIN). NEW ROOF ASSEMBLY TO BE BUILT - NEW DARK GRAY ALUMINUM ROOFING.



ARCHITECTURAL FRONT ELEVATION

PROPOSED EAST ELEVATION

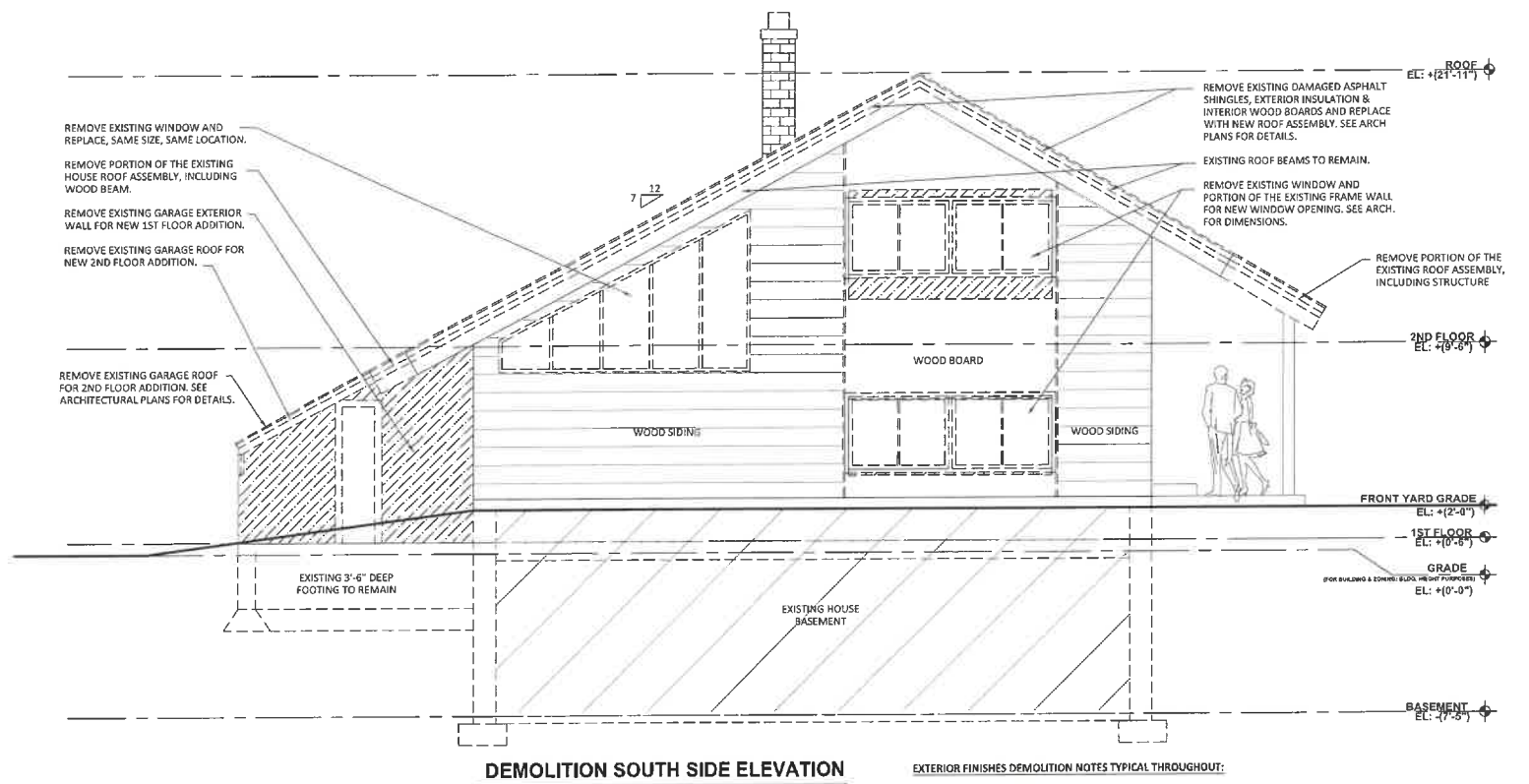


EXISTING FRONT VIEW



PROPOSED FRONT VIEW

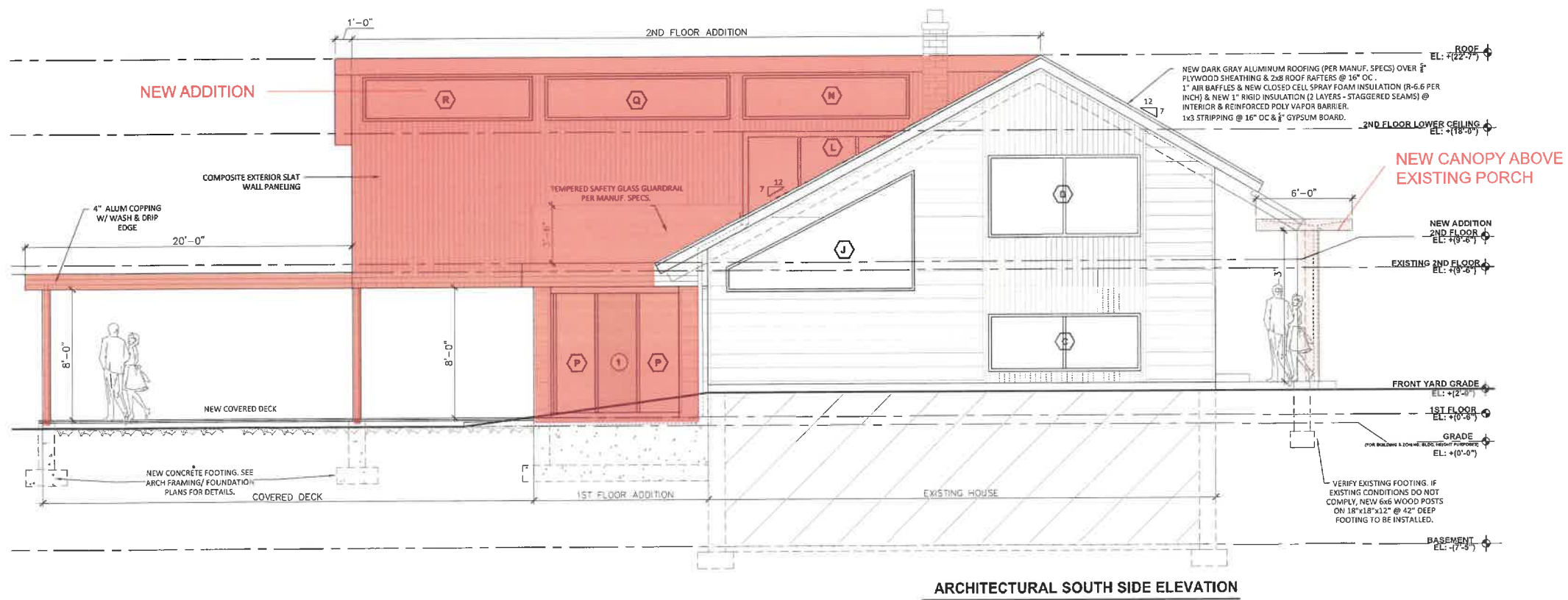
ELEVATIONS:
SOUTH SIDE FACADE



- EXTERIOR FINISHES DEMOLITION NOTES TYPICAL THROUGHOUT:
1. REMOVE EXISTING WOOD WINDOWS AND REPLACE WITH NEW ALUMINUM PER ARCH. SPECS.
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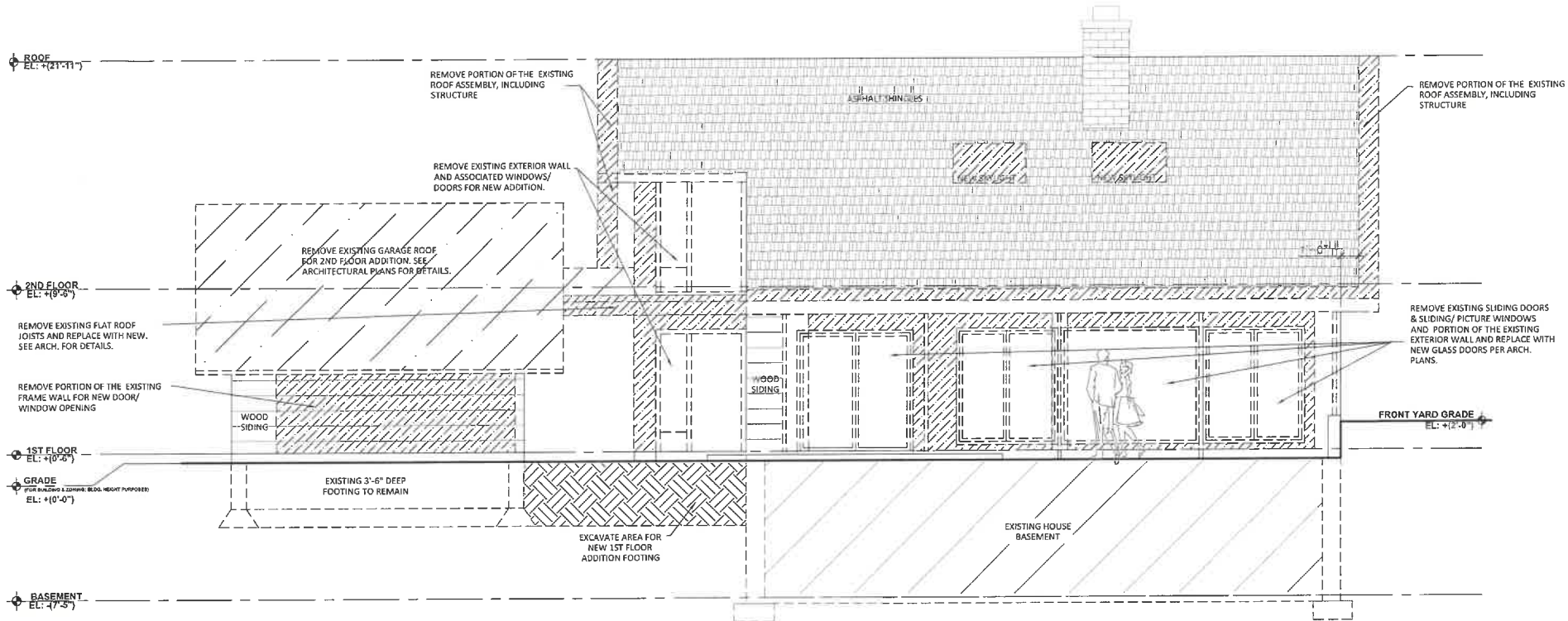


EXISTING SIDE VIEW



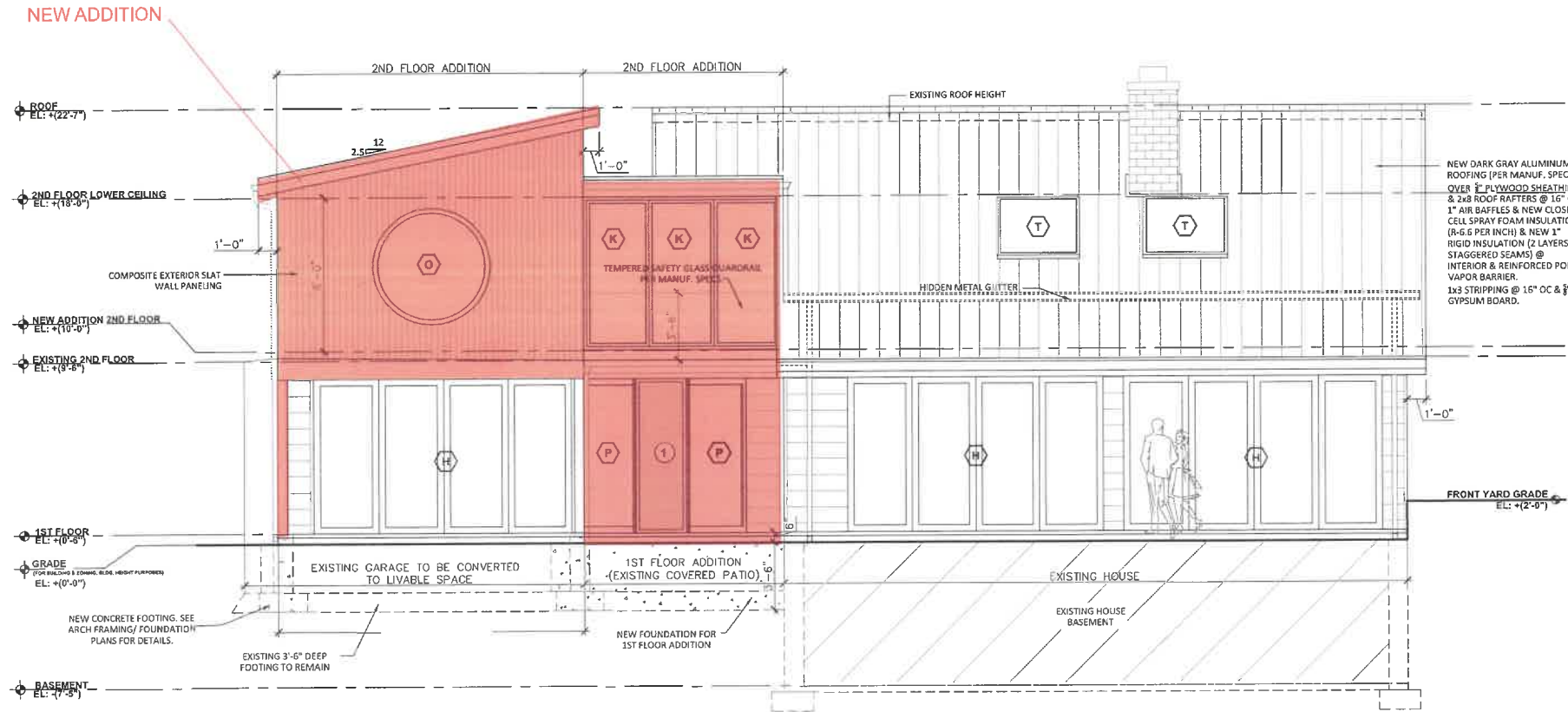
PROPOSED SIDE VIEW
(EXISTING TREES TO REMAIN)

ELEVATIONS:
REAR FACADE



DEMOLITION REAR ELEVATION

- EXTERIOR FINISHES DEMOLITION NOTES TYPICAL THROUGHOUT:
1. REMOVE EXISTING WOOD WINDOWS AND REPLACE WITH NEW ALUMINUM PER ARCH. SPECS.
 2. REMOVE EXISTING CEDAR BOARD SIDING AND FIBER GLASS INSULATION. CLEAN MOLD AND FRAME DAMAGE. INSTALL NEW CAVITY INSULATION, SHEATHING AND SIDING (DARK GRAY HARDIE BOARD/ WOOD SLATS) PER ARCH ELEVATIONS.
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ARCHITECTURAL REAR ELEVATION

1062 VALLEY RD, LAKE FOREST

PROPOSED WEST ELEVATION

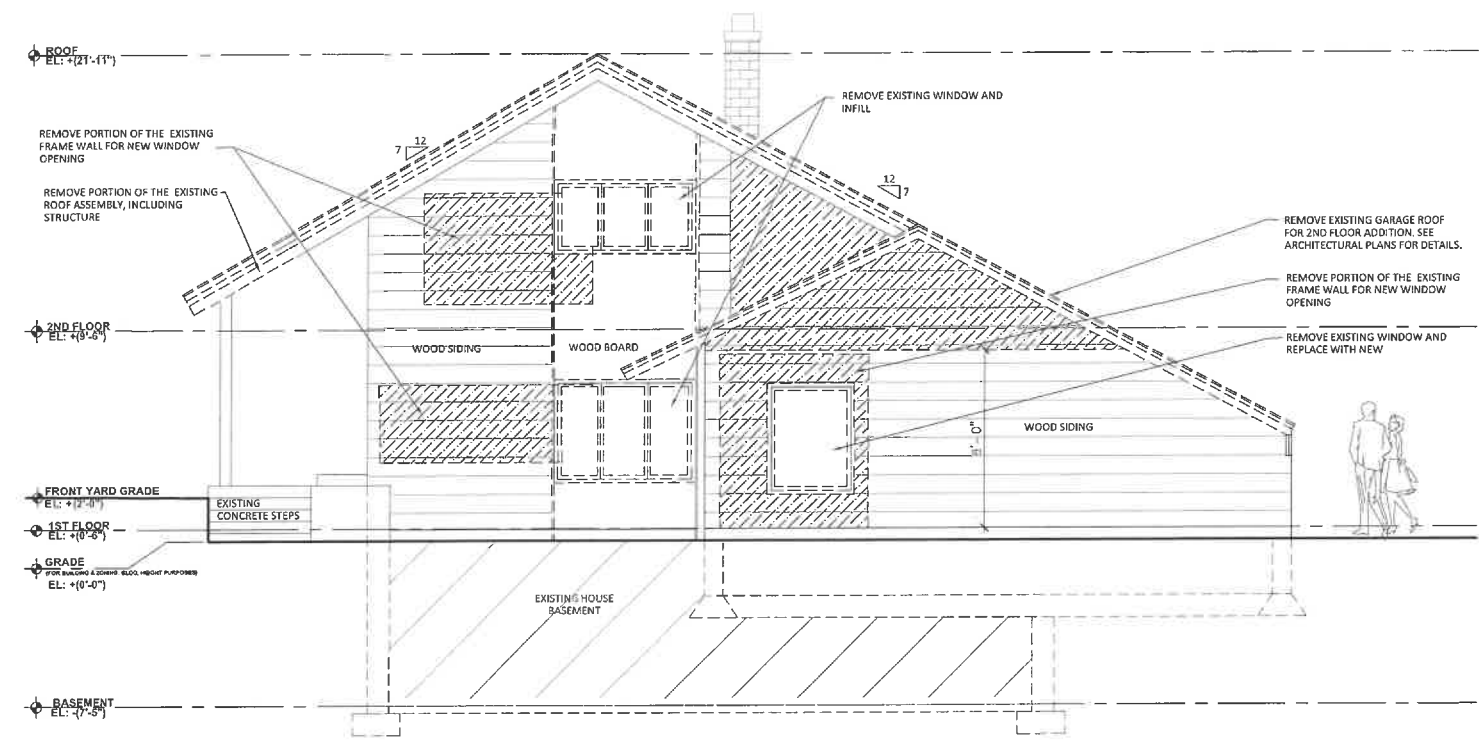


EXISTING REAR VIEW



PROPOSED REAR VIEW

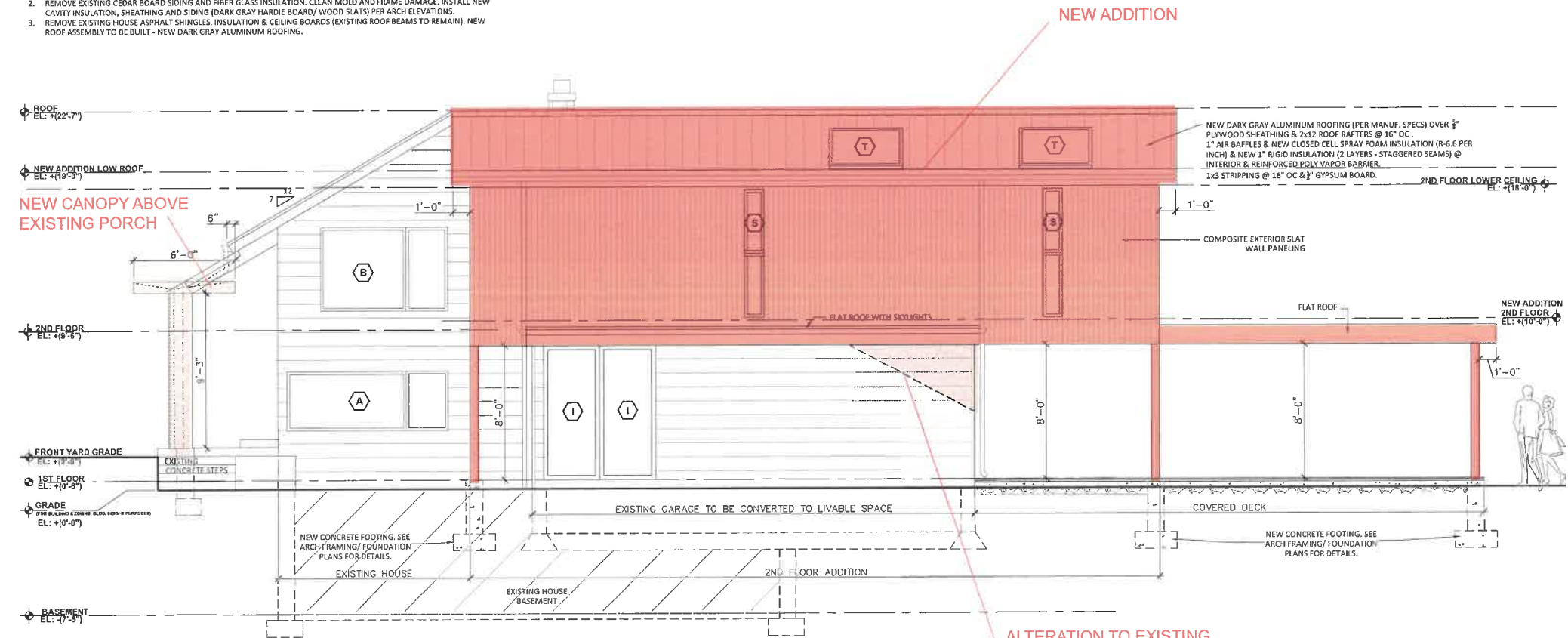
ELEVATIONS:
NORTH SIDE FACADE



DEMOLITION NORTH SIDE ELEVATION

EXTERIOR FINISHES DEMOLITION NOTES TYPICAL THROUGHOUT:

1. REMOVE EXISTING WOOD WINDOWS AND REPLACE WITH NEW ALUMINUM PER ARCH. SPECS.
2. REMOVE EXISTING CEDAR BOARD SIDING AND FIBER GLASS INSULATION. CLEAN MOLD AND FRAME DAMAGE. INSTALL NEW CAVITY INSULATION, SHEATHING AND SIDING (DARK GRAY HARDIE BOARD/ WOOD SLATS) PER ARCH ELEVATIONS.
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ARCHITECTURAL NORTH SIDE ELEVATION

NEW ADDITION

ALTERATION TO EXISTING NON-CONFORMING STRUCTURE

PROPOSED NORTH ELEVATION



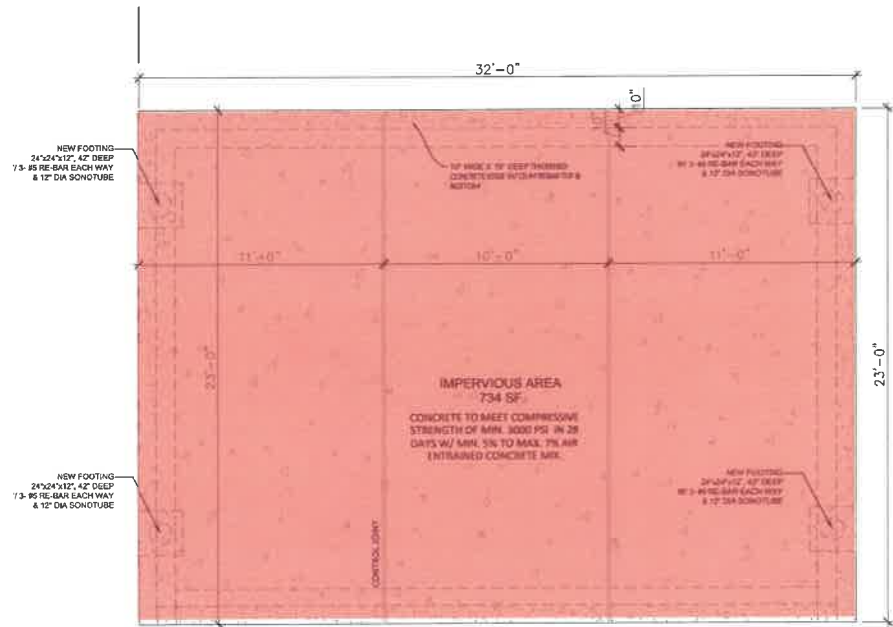
EXISTING SIDE VIEW



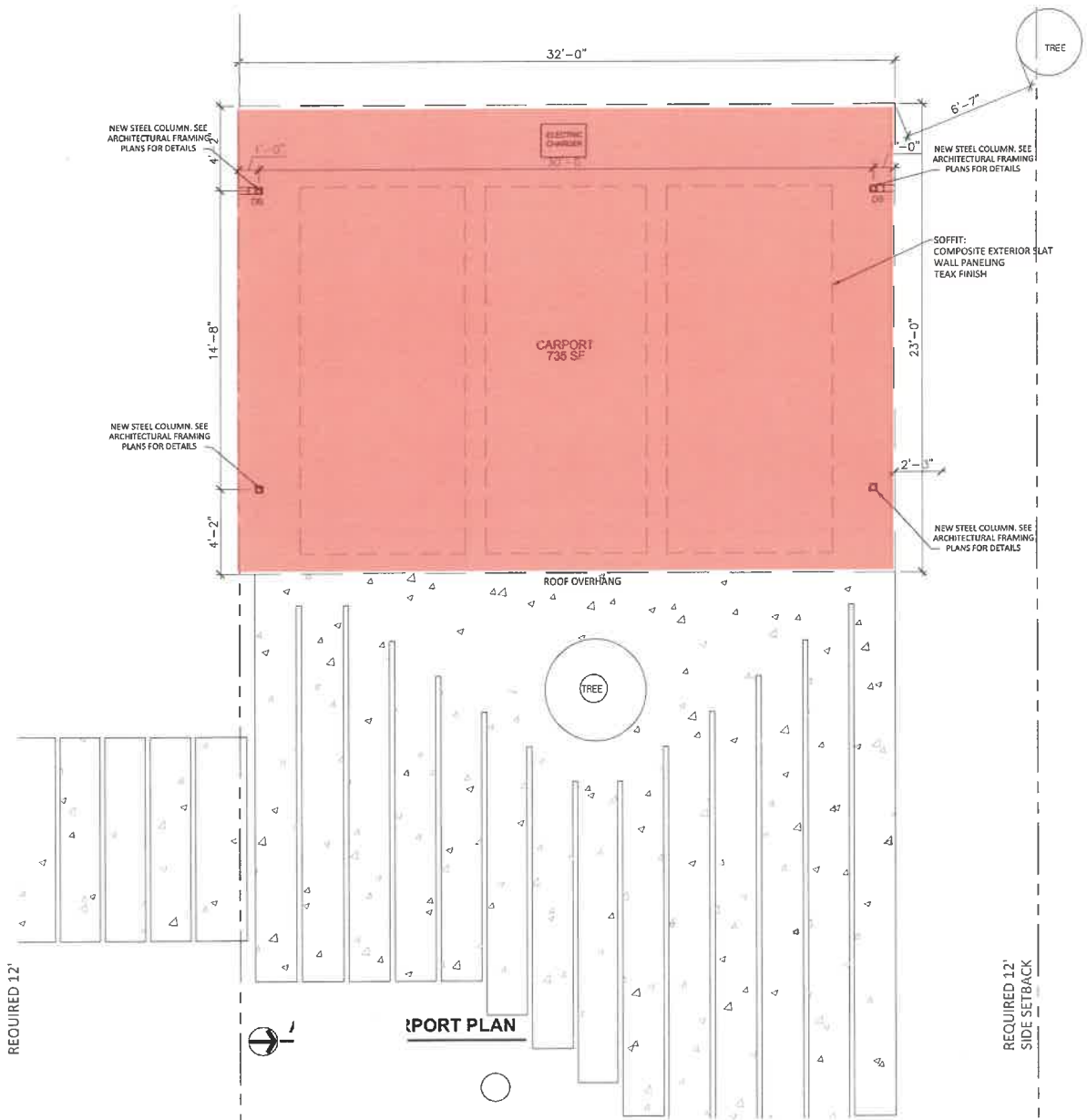
PROPOSED SIDE VIEW

PROPOSED PROJECT SCOPE: ARCHITECTURAL PLANS - CARPORT

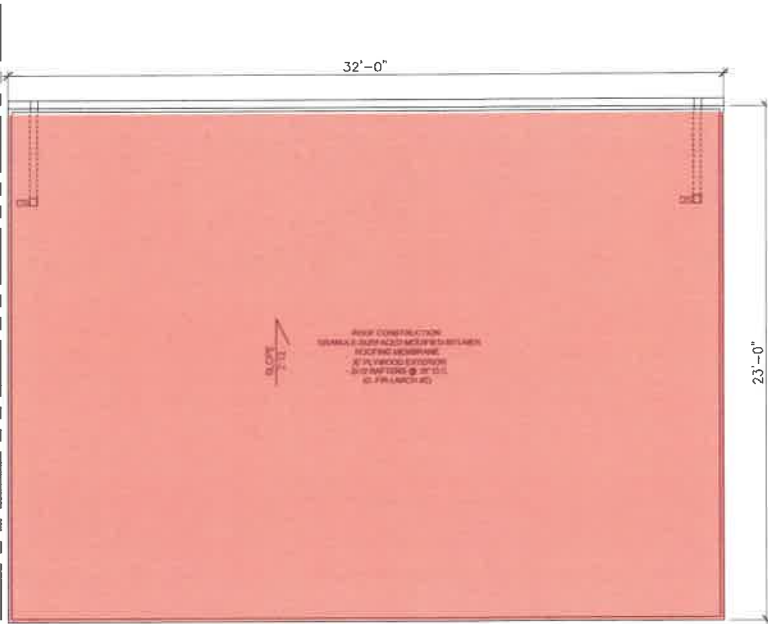
PROPOSED CARPORT



ARCHIT. CARPORT FOUNDATION PLAN



CARPORT PLAN



ARCHIT. CARPORT ROOF PLAN

NEW CONSTRUCTION

PROPOSED SITE PLAN AERIAL VIEW



PROPOSED MATERIALS

EXTERIOR WALLS



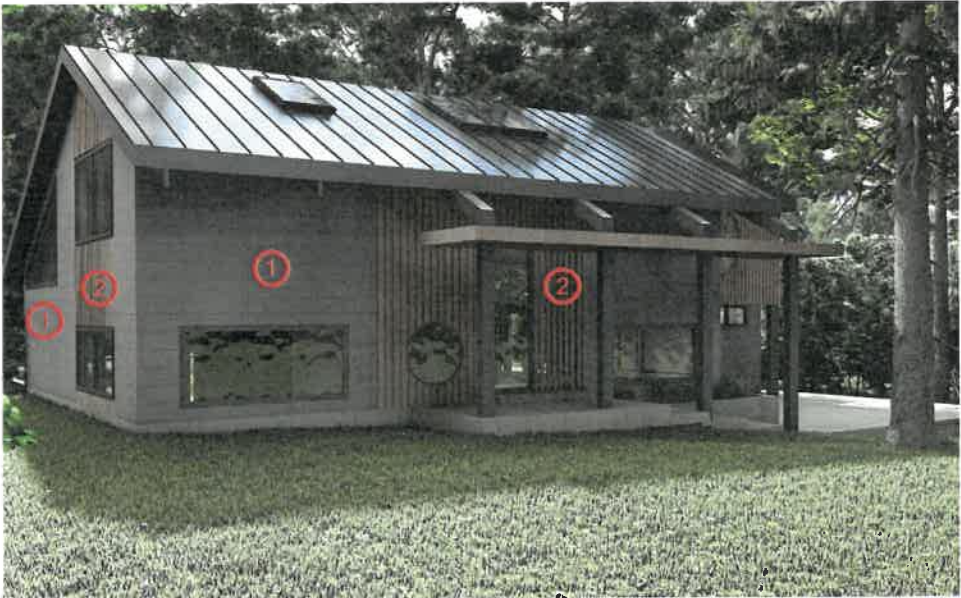
FRONT VIEW



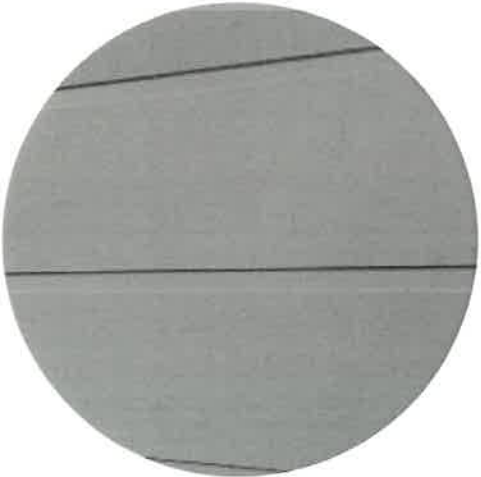
REAR VIEW



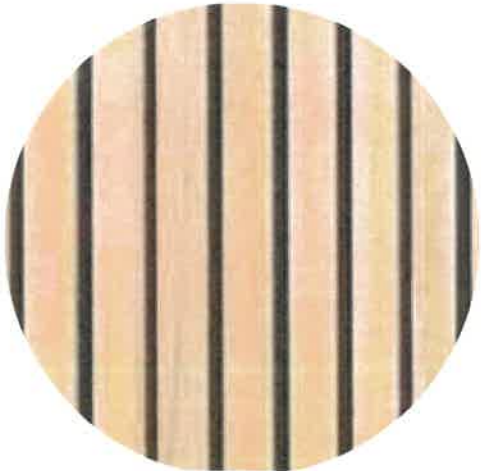
SIDE VIEW



SIDE VIEW



- ①
- HARDIE FIBER CEMENT
ARTISAN SHIPLAP SIDING
- COLOR: GRAY
- BOARD WIDTH: 10.25"
- EXPOSURE: 9"



- ②
- EUROPEAN COMPOSITE
SIDING SYSTEM
- COLOR: WHITE OAK
- PROFILE TEXTURE: 7.7"x1.0"

PROPOSED MATERIALS
ROOFING



AERIAL SIDE VIEW



AERIAL FRONT VIEW



INTERIOR YARD VIEW



SIDE VIEW



①
SNAP-CLAD
METAL ROOFING PANELS
COLOR: BURNISHED SLATE
SMOOTH PANEL
(STANDARD)
10", 12", 16" or 18" O.C.
1-3/4"



②
GRANULE-SURFACED MODIFIED-
BITUMEN ROOFING MEMBRANE
COLOR: BLACK

PROPOSED MATERIALS

EXTERIOR SOFFITS & DECKS

PROPOSED EXTERIOR MATERIALS



INTERIOR YARD VIEW



INTERIOR YARD VIEW



SIDE VIEW



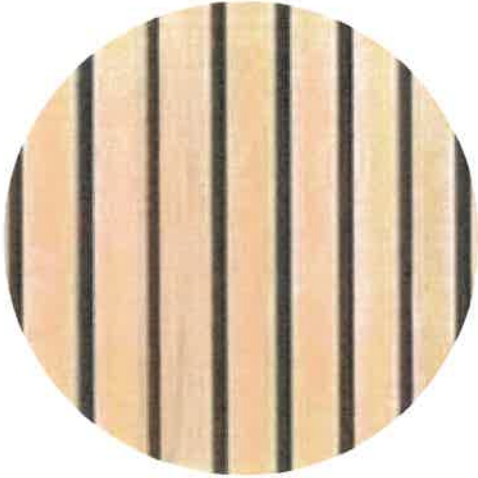
COVERED DECK



NEW CARPORT



①
COMPOSITE DECKING
COLOR: WHITE OAK



②
SOFFIT: WOOD
COLOR: WHITE OAK

Tag #	Common Name	Scientific Name	Size	Cond.	Form	Notes
152	Bur Oak	<i>Quercus macrocarpa</i>	24,20	3	2	Dieback, north side of driveway.
153	Horsechestnut	<i>Aesculus hippocastanum</i>	15	1	1	North side of driveway.
154	Japanese Maple	<i>Acer palmatum</i>	3,2	2	3	In patio.
155	Norway Spruce	<i>Picea abies</i>	21	2	2	Minor dieback.
156	Bur Oak	<i>Quercus macrocarpa</i>	18,19	4	3	Dieback.
157	White Oak	<i>Quercus alba</i>	18	3	3	Dieback trunk scars.
158	Shagbark Hickory	<i>Carya ovata</i>	14	1	3	Overtopped.
159	Norway Maple	<i>Acer platanoides</i>	17	2	3	
160	Norway Maple	<i>Acer platanoides</i>	12	3	3	Oozinf sap, one sided.
161	Red Oak	<i>Quercus rubra</i>	8	2	4	Overtopped.
162	Norway Maple	<i>Acer platanoides</i>	6	2	3	
163	Green Ash	<i>Fraxinus pennsylvanica</i>	6	6	6	Dead.
164	Crabapple	<i>Malus spp.</i>	9	3	4	Southeast corner of site. Overtopped, leaning.
165	Red Oak	<i>Quercus rubra</i>	22	4	4	Dieback, overtopped.
166	Black Cherry	<i>Prunus serotina</i>	6	2	4	Overtopped, leaning.
167	Green Ash	<i>Fraxinus pennsylvanica</i>	6	6	6	Dead.
168	Red Oak	<i>Quercus rubra</i>	10	5	5	Nearly dead.
169	White Oak	<i>Quercus alba</i>	27	4	3	Dieback.
170	Red Oak	<i>Quercus rubra</i>	11	3	3	Dieback, overtopped.
171	Black Walnut	<i>Juglans nigra</i>	16	1	2	
172	White Pine	<i>Pinus strobus</i>	15	4	4	Dieback, thin crown.
173	Arborvitae	<i>Thuja occidentalis</i>	7	1	2	
174	Arborvitae	<i>Thuja occidentalis</i>	6	2	3	Wire in trunk - girdling.
175	Red Oak	<i>Quercus rubra</i>	16	4	3	Dieback.
176	American Elm	<i>Ulmus americana</i>	6	2	3	
177	Norway Maple	<i>Acer platanoides</i>	11	2	3	
178	Arborvitae	<i>Thuja occidentalis</i>	8	5	5	Trunk decay, dieback.
179	Arborvitae	<i>Thuja occidentalis</i>	10	4	4	Dieback, thin crown.
180	Arborvitae	<i>Thuja occidentalis</i>	12	3	3	Dieback, thin crown.
181	Norway Spruce	<i>Picea abies</i>	16	3	3	Dieback, thin crown.
182	Arborvitae	<i>Thuja occidentalis</i>	5,4	2	3	Southeast corner of house.

1062 Valley Rd - Tree Survey
Lake Forest, IL - 10/19/23

183	Black Walnut	<i>Juglans nigra</i>	10,10,6, 6	2	3	Codominant stems.
184	Red Oak	<i>Quercus rubra</i>	9	6	6	Dead.
185	Black Cherry	<i>Prunus serotina</i>	10	5	5	Heavy dieback, half dead.
186	Norway Spruce	<i>Picea abies</i>	15	2	3	Overtopped.
187	Red Oak	<i>Quercus rubra</i>	17	3	3	Dieback, overtopped.
188	White Ash	<i>Fraxinus americana</i>	7	3	3	
189	Red Oak	<i>Quercus rubra</i>	23	6	6	Dead.
190	Redbud	<i>Cercis canadensis</i>	5,4,4	2	3	Dieback, codominant stems.
191	Arborvitae	<i>Thuja occidentalis</i>	9	1	2	
192	Serviceberry	<i>Amelanchier canadensis</i>	2,2,2	3	4	In lawn area.
193	Swamp White Oak	<i>Quercus bicolor</i>	38	3	2	Dieback, codominant stems.
194	Swamp White Oak	<i>Quercus bicolor</i>	14	2	3	
195	White Ash	<i>Fraxinus americana</i>	6	2	3	Overtopped.
196	Black Walnut	<i>Juglans nigra</i>	18	2	2	Dieback.
197	Red Oak	<i>Quercus rubra</i>	6	3	3	Dieback, overtopped.
198	White Ash	<i>Fraxinus americana</i>	7	4	4	Dieback, overtopped.
199	Basswood	<i>Tilia americana</i>	3,3,2,2	2	3	By road.
200	Red Oak	<i>Quercus rubra</i>	18	2	3	Dieback.
201	Bur Oak	<i>Quercus macrocarpa</i>	5	1	1	
202	White Ash	<i>Fraxinus americana</i>	8	6	6	Dead, southwest corner of lot.
203	Swamp White Oak	<i>Quercus bicolor</i>	6	2	3	Codominant stems.
204	Green Ash	<i>Fraxinus pennsylvanica</i>	11	6	6	Dead, no top.
205	Swamp White Oak	<i>Quercus bicolor</i>	7	2	2	
206	Bur Oak	<i>Quercus macrocarpa</i>	30	3	2	Dieback.
207	Bur Oak	<i>Quercus macrocarpa</i>	5	1	2	
208	Red Oak	<i>Quercus rubra</i>	29	3	4	Dieback, codominant stems, leaning. West lot line
209	Shagbark Hickory	<i>Carya ovata</i>	7	1	1	
210	Bur Oak	<i>Quercus macrocarpa</i>	40	4	4	Dieback, decay, codominant stems, offsite.
211	Bur Oak	<i>Quercus macrocarpa</i>	18,17	4	4	Trunk decay, dieback, codominant stems.
212	Bur Oak	<i>Quercus macrocarpa</i>	24	3	2	Dieback.
213	Bur Oak	<i>Quercus macrocarpa</i>	26	3	4	Dieback, decay, overtopped.
214	Silver Maple	<i>Acer saccharinum</i>	12	1	2	
215	Bur Oak	<i>Quercus macrocarpa</i>	30	3	2	Dieback.
216	Swamp White Oak	<i>Quercus bicolor</i>	19	2	4	Dieback, overtopped, leaning.

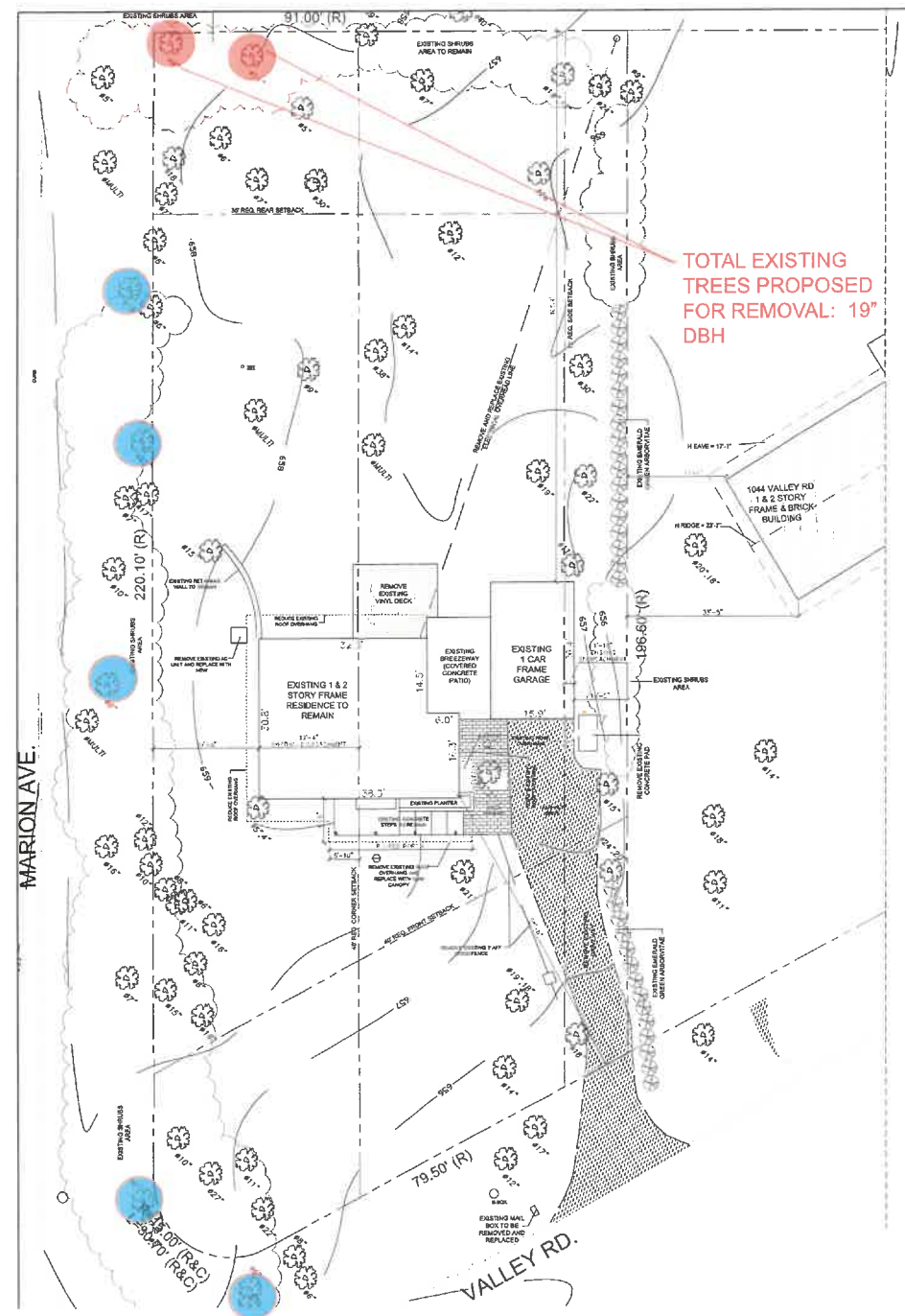
1062 Valley Rd - Tree Survey
Lake Forest, IL - 10/19/23

217	Bur Oak	<i>Quercus macrocarpa</i>	22	4	3	Dieback.
218	White Pine	<i>Pinus strobus</i>	11	2	3	West side of garage.
						Tree Condition. A visual assessment and rating of the overall health and vigor of the tree, as follows:
						1 - Excellent
						2 - Very Good
						3 - Good
						4 - Below Average
						5 - Poor
						6 - Dead
						Tree Form. A visual assessment and rating of the form of the tree, as follows:
						1 - Excellent
						2 - Very Good
						3 - Good
						4 - Below Average
						5 - Poor
						6 - Dead
						Prepared by: David Coulter, Osage Inc. ISA Certified Arborist #IL-0094 (Exp. 12/31/25)

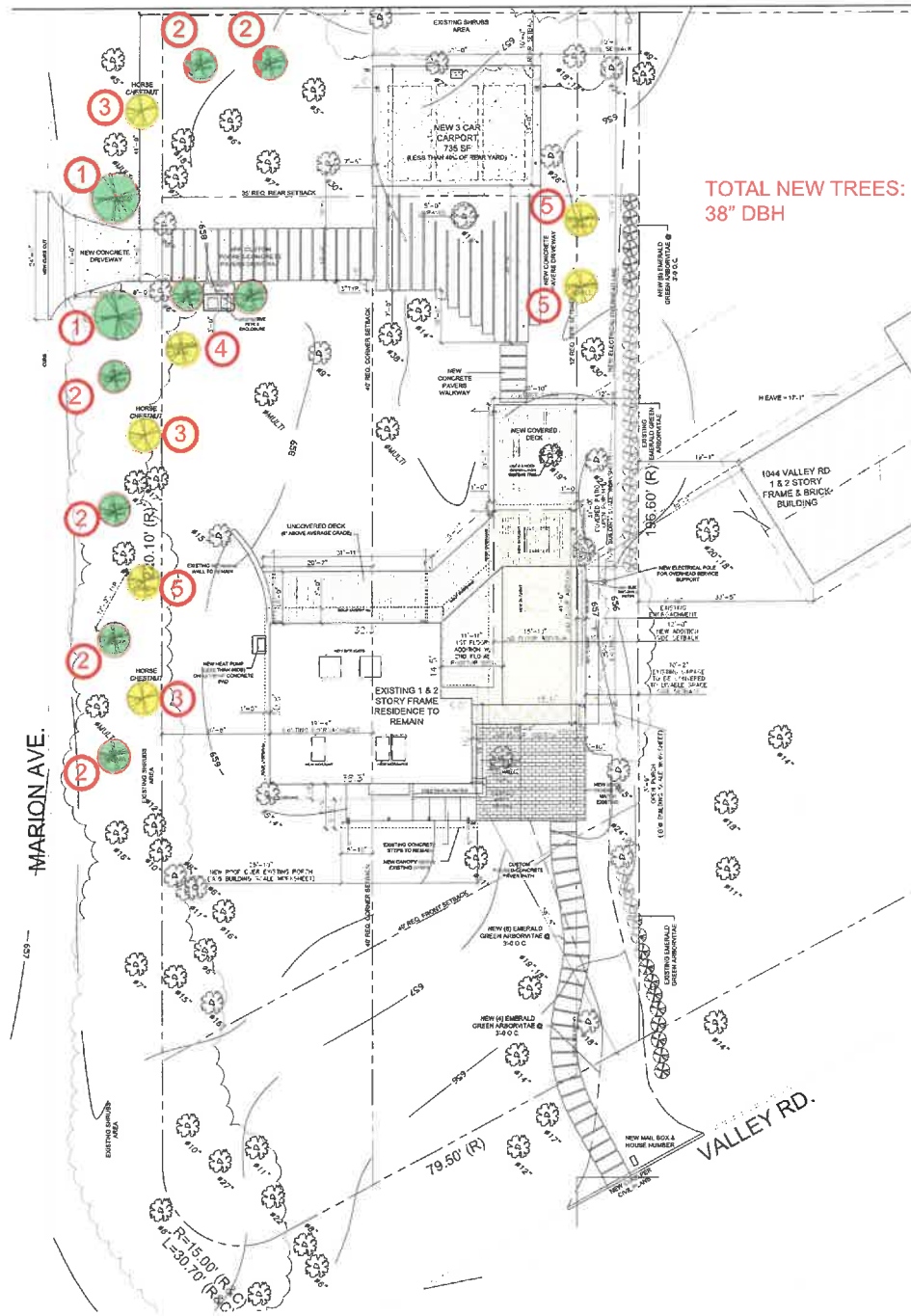
OVERALL SITE LAYOUT

LANDSCAPE

EXISTING LANDSCAPE ALTERATIONS



PROPOSED LANDSCAPE



- ① WHITE PINE
- ② RED CEDAR
- ③ HORSE CHESTNUT
- ④ JAPANESE LILIA
- ⑤ LINDEN
- ⑥ JAPANESE MAPLE

TOTAL NEW TREES:
38" DBH

- DEAD TREES ON PUBLIC PARKWAY - REMOVAL
- DEAD TREES ON PROPERTY - REMOVAL

- NEW EVERGREEN TREES
- NEW DECIDUOUS TREES

PROPOSED IMPERVIOUS AREAS

LOT SIZE:	20,652 SF
EXISTING IMPERVIOUS AREA ENTIRE LOT (s.f.)	1,513
PROPOSED IMPERVIOUS AREA ENTIRE LOT (s.f.)	2,484
HOUSE + GARAGE	827
DRIVEWAY	827
DECK & PATIO	272
STOOP, STEPS, WALKS	67
WALL, WYN & A/C	3,306
TOTALS	5,554
% OF LOT	27.09%
NET INCREASE IN IMPERVIOUS	2,240 SF

1062 Valley Road, Lake Forest, IL

EXISTING RESIDENCE NO. 1044

EXISTING GARAGE TO BE CONVERTED TO LIVABLE SPACE

PROPOSED ADDITION
F/F 657.96±
T/FDN 657.64±
MATCH EX
1.5-STORY
FRAME RESIDENCE NO. 1062

EXISTING FEATURES:
CARPORT 736 S.F.
WOOD DECK 921 S.F.
CONCRETE DRIVEWAY 1097 S.F.
WALL 20 S.F.
AC. CONC. PAD 17 S.F.
BRICK PATIO 370 S.F.
WINDOW WELL 18 S.F.
WALL 11 S.F.
CONC. WALK 4 STEPS 123 S.F.
STOOP 15 S.F.

PROPOSED FEATURES:
GARAGE 1/5 657.71
BRICK PATIO 154 659.41
WOOD DECK
CONC. WALK
CONC. DRIVEWAY
COVERED WOOD DECK
STONE RETAINING WALL
GAS METER
WATER VALVE
GAS VALVE
CATCH BASIN-1
CATCH BASIN-2
STORM MANHOLE-1
STORM MANHOLE-2

ELEVATION AT BOTTOM OF SIDING 659.02

ELEVATION AT BOTTOM OF SIDING 660.79

VALLEY RD

MARION AVE

NEW CURB

NEW DEPRESSED CURB

CONC. CURB

ROAD CENTERLINE

CONC. WALK

BRICK PATIO

WOOD DECK

CARPORT

CONCRETE DRIVEWAY

COVERED WOOD DECK

STONE RETAINING WALL

GAS METER

WATER VALVE

GAS VALVE

CATCH BASIN-1

CATCH BASIN-2

STORM MANHOLE-1

STORM MANHOLE-2

CONC. WALK

BRICK PATIO

WOOD DECK

CARPORT

CONCRETE DRIVEWAY

COVERED WOOD DECK

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CATCH BASIN-2

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CONC. WALK

BRICK PATIO

WOOD DECK

CARPORT

CONCRETE DRIVEWAY

COVERED WOOD DECK

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WATER VALVE

GAS VALVE

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CATCH BASIN-2

STORM MANHOLE-1

STORM MANHOLE-2

CONC. WALK

BRICK PATIO

WOOD DECK

CARPORT

CONCRETE DRIVEWAY

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WATER VALVE

GAS VALVE

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CATCH BASIN-2

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STORM MANHOLE-2

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BRICK PATIO

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CARPORT

CONCRETE DRIVEWAY

COVERED WOOD DECK

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CARPORT

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GAS VALVE

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BRICK PATIO

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CARPORT

CONCRETE DRIVEWAY

COVERED WOOD DECK

STONE RETAINING WALL

GAS METER

WATER VALVE

GAS VALVE

CATCH BASIN-1

CATCH BASIN-2

STORM MANHOLE-1

STORM MANHOLE-2

CONC. WALK

BRICK PATIO

PRE/POST CONSTRUCTION TREE CARE PLAN REQUIRED

[illegible]