

Agenda Item 3
1361 Edgewood Road
New Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Petitioner's Response to Previous Board Comments
Description of Exterior Materials
Previous Site Plan
Current Site Plan
Previous West Elevation
Current West Elevation
Previous North Elevation
Current North Elevation
Previous East Elevation
Current East Elevation
Previous South Elevation
Current South Elevation
Color Rendering
Streetscape Image
Roof Plan
Building Section
Basement Floor Plan
First Floor Plan
Second Floor Plan
Detached Garage Elevations and Floor Plan
Preliminary Site Grading and Tree Removal Plan
Tree Inventory
Conceptual Landscape Plan
Correspondence

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1361 Edgewood Road

Continued consideration of a request for a recommendation in support of a new single family residence, conceptual landscape plan, and overall site plan.

Property Owner: Simoneau Family Trust (Michael Simoneau 50%, Alison Simoneau, 50%)

Developer: Peter Childs

Representative: Jeff Letzter, project manager

Staff Contact: Jen Baehr, Planner

Activity on this Petition to Date

The Board considered this petition at the June 1, 2022 meeting and voted to recommend approval of the demolition of the existing structures on the property and after discussion about the siting of the home and various design aspects, the Board continued consideration of the new residence. The Board directed the petitioner to consider the comments offered and revise the plans and provide additional information as requested. The Board offered the following direction.

- Seek a variance to allow the driveway to encroach into the extended side yard setback within the front yard setback.
- Provide a streetscape elevation and site plan illustrating how the proposed house will fit in with the established streetscape and the siting of the neighboring homes.
- Refine the design elements of the proposed residence including the roof pitches and window muntin patterns to align with the chosen Shingle style.
- Eliminate the corner boards.
- The chimney shall be stone rather than brick to match the bay windows on the front of the home.
- The footprint of the house shall be reduced to provide for some “wiggle room” given the small site and the fact that the proposed house maximizes what is allowed on the site in all respects.
- The concrete walkway at the front of the home shall be replaced with a paver walkway to enhance the appearance of the home.
- A tree survey shall be provided to allow for a review of the trees proposed for removal and calculation of replacement inches to be planted on site.
- Provide a detailed landscape plan.
- Provide a barrier along the south edge of the full length of the driveway recognizing that due to the proximity of the driveway to the property line, there is little space to accommodate runoff from the driveway.
- Provide samples of materials and colors.

The petitioner has revised the plans as follows.

- The Zoning Board of Appeals recommended approval of a variance from the extended 6 foot side yard setback within the 40 foot front yard setback, which allows the home to be shifted closer to the front of the property to align with the siting of existing homes along the street.
- The window muntins were removed from the bottom sashes to be more in keeping with the chosen Shingle architectural style of the home.
- The corner boards were eliminated to follow the Shingle architectural style more closely.

- The brick on the chimney was replaced with stone to match the stone on the bay windows.
- The depth of the chimney was reduced by 6 inches to provide for some space between the chimney and the north side yard setback.
- The concrete walkway at the front of the house was replaced with a paver walkway.
- A retaining wall was added along a portion of the driveway on the south side.
- The petitioner has stated that material samples will be provided at the Board meeting.

Portions of the following information is repeated from the June staff report.

Background

In February 2022, the petitioner received approval from the City for a resubdivision of the properties at 1361, 1371, 1373 Edgewood Road. The approved plat of resubdivision reconfigures three existing lots into two lots in keeping with the size and configuration of other properties along Edgewood Road. The demolition of the structures on the properties was recently completed. It is staff's understanding that the two newly created lots are being developed by the same builder.

Summary of Request

This is a request for approval of a new single family residence and detached two-car garage. Board consideration of the overall site plan and conceptual landscape plan is also requested. The proposed residence is described by the petitioner as a Shingle style home.

Description of Property

This property is in a smaller lot, established neighborhood. The property is adjacent to the rear yard of Sheridan School to the east and is across the street from property owned by Lake Forest High School. The subject property, as reflected on the plat of resubdivision, is 14,695 square feet and is 50 feet wide and 294 feet long. Long and narrow lots are characteristic of the neighborhood.

Properties along Edgewood Road are generally narrow along the street frontage and deep, particularly the properties on the east side of Edgewood Road. Turning the corner on to Spruce Avenue, some of the closest properties are more square in configuration than the properties on Edgewood Road. The homes along Edgewood Road generally follow a regular set back along the street.

The surrounding area has a mix of housing types including new infill development that has occurred over the past 15-20 years as the older housing stock was demolished and new houses were constructed. In the past, the Board has paid careful attention to redevelopment in this area to ensure the character of the neighborhood is preserved and that the lots are not overbuilt. One unique challenge for redevelopment in this neighborhood is balancing the desired increased size of new structures with the character and size of surrounding homes and the narrowness of the properties.

Review and Evaluation of Applicable Standards

The City Code establishes *Standards for Architectural and Site Design Review* for the Board's review of new construction.

Siting – This standard is generally met.

The homes along Edgewood Road are generally sited at a consistent and regular distance from the street. The home as currently proposed is approximately 45 feet from the front property line and aligns very closely with the front of the home to the south.

At the June meeting, the Board discussed the location of the home in relation to the north side yard setback. The previous plans showed the chimney directly on the side yard setback. The Board acknowledged that the previous plans did not provide for any buffer between the home and the setback. Given that during construction there are often minor deviations from the building plans, the Board suggested providing some space between the home and the setback to avoid potential issues during construction. The petitioner revised the plans to reduce the depth of the chimney, making the home at its closest point 6 inches from the north side yard setback.

A detached two-car garage is proposed at the rear of the property. The driveway is proposed on the south side of the home. For a portion of the driveway, the pavement is proposed to be immediately adjacent to the foundation of the home. For almost the entire length of the property, the driveway is approximately 1.5 feet from the south property line. The neighbor to the south has raised concerns about drainage. It appears that there is an opportunity to shift the driveway away from the south property line behind the home to allow for more pervious space between the driveway and the property to the south. The existing driveway on the property to the south shows a similar configuration and is reflected in the site plan provided by the petitioner.

At the last meeting the Board also discussed incorporating a permeable material for a portion of the driveway to mitigate runoff from the driveway on to the adjacent property. It does not appear based on the revised plans that any permeable materials were incorporated into the driveway.

Building Massing and Height – This standard is met.

As proposed, the height and size of the structure are very close to the maximum permitted by the Code. Based on the lot size, a residence of up to 3,357 square feet is permitted on the site along with 336 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as single dormers and porches. A garage of up to 576 square feet is also permitted

- The proposed residence totals 3,309 square feet.
- The proposed garage totals 615 square feet. The garage overage of 39 square feet must be added to the total square footage of the residence.
- In addition to the above square footage, a total of 259 square feet of design elements are incorporated into the design of the house.
- The house, with the excess square footage from the garage, is 9 square feet, .27 percent, below the maximum allowable square footage.

At the maximum height, the residence is 29 feet and 5 inches tall as measured from the lowest point of existing grade to the tallest roof peak. The maximum height allowed for this lot is 30 feet.

Because the total height of the home as proposed nearly reaches the maximum allowable height and the square footage of the house is very close to the maximum allowable size, during construction, as-built drawings will be required intermittently to confirm that the height and square footage do not exceed the maximum allowed.

Elevations - This standard is met.

The proposed residence presents a symmetrical front façade with steep front facing gable forms. The side and rear elevations present gable style roofs with more shallow roof pitches. The petitioner revised the plans to reflect windows with a 6 over 1 muntin pattern, which is more consistent with

the Shingle style than the previously proposed windows. As discussed at the last meeting, corner boards are not a typical feature of the Shingle style and in response to the Board's direction the corner boards were eliminated from the plans.

Type, color, and texture of materials – This standard is generally met.

Wood shingle siding is proposed for the exterior wall material. The bay windows on the front of the home have a stone base. The roof material is architectural asphalt shingle. Wood is proposed for the porch columns, shutters, fascia, soffit and trim material. Aluminum clad wood windows with exterior and interior muntin bars are proposed. Aluminum gutters and downspouts are proposed. The chimney is stone with a clay chimney pot. A paver front walkway and rear patio are proposed. The driveway is asphalt.

The proposed color palette includes dark gray, almost black, shingle siding, a gray asphalt shingle roof, white windows, porch columns, and shutters. White trim is proposed on the front porch, the trim on the house itself appears to be dark gray or black based on the color rendering provided by the petitioner.

The proposed materials and color palette of the detached garage are consistent with the residence.

Landscaping – This standard can be met.

Construction of the home will impact six trees on the site based on the site development plan provided by the petitioner. The trees proposed for removal include Linden, Spruce, and Oak trees. In addition, a dead Elm and Mulberry tree are proposed for removal on the site. For the healthy trees proposed for removal, a total of 55 replacement inches will be required to be planted on site to the extent possible using good forestry practices.

At the June meeting, the Board asked for a detailed landscape plan. The petitioner has not yet submitted an updated landscape plan so, as of the date of this writing, staff is not able to verify whether the minimum landscape requirement for new residential construction and the required replacement inches are satisfied. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at five public locations. As of the date of this writing, two letters were submitted by a neighboring property owner expressing concerns about drainage and requesting that a tree on the adjacent property to the north be maintained. The letters are included in the Board's packet.

Recommendation

Recommend approval of the residence, detached garage, and overall site plan based on the findings presented in this staff report and as they may be further detailed during the Board's deliberations. Staff recommends approval subject to the following conditions of approval.

1. The site plan shall be modified to shift the portion of the driveway behind the home away from the south property line to provide more pervious space between the properties.
2. Consideration shall be given to incorporating some pervious materials into the driveway.

3. A barrier shall be installed along the south edge of the driveway in all areas where the distance from the property line is two feet or less.
4. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
5. The final landscape shall include, but not be limited to, all required replacement tree inches to account for trees removed and shall meet the minimum landscaping standards for new residences detailed in the Code, including ground cover, mid-level and canopy trees and evergreens across the site. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.
6. The final grading and drainage plan shall demonstrate that the project is consistent with the applicable Code requirements and will be subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices, properly direct drainage and mitigate off site impacts. Given the proximity of the driveway and impervious surface, to the property line, diligent review of the drainage and grading plan by the City Engineer is required to assure no negative impact to the adjacent property to the south.
7. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist. In addition, a maintenance plan, including pre and post construction treatment for trees to be preserved must be submitted.
8. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
9. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. No on street parking of construction vehicles or contractor's vehicles is permitted due to the narrowness of the street and the proximity to the high school.
10. The construction site shall be maintained in a neat and orderly fashion. Debris must be removed from the site on a daily basis and the street must be regularly cleaned to eliminate caking mud.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1361 Edgewood Road Owner(s) Lillian H. Shepard Trust

Representative: Jeff Letzter, project manager Reviewed by: Jen Baehr

Date 8/4/2022

Lot Area 14695 sq. ft.

Square Footage of New Residence:

1st floor 1666 + 2nd floor 1643 + 3rd floor 0 = 3309 sq. ft.

Design Element Allowance = 336

Total Actual Design Elements = 259 Excess = 0 sq. ft.

Garage 615 sf actual ; 576 Excess = 39 sq. ft.

Garage Width 22'-0" *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 3348 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 3357 sq. ft.

DIFFERENTIAL = -9 sq. ft.
Under Maximum

Allowable Height: 30 ft. Actual Height 29' - 5" ft.

NET RESULT:

9 sq. ft. is

0.27% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 259 sq. ft.

Front & Side Porches = 239 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 20 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

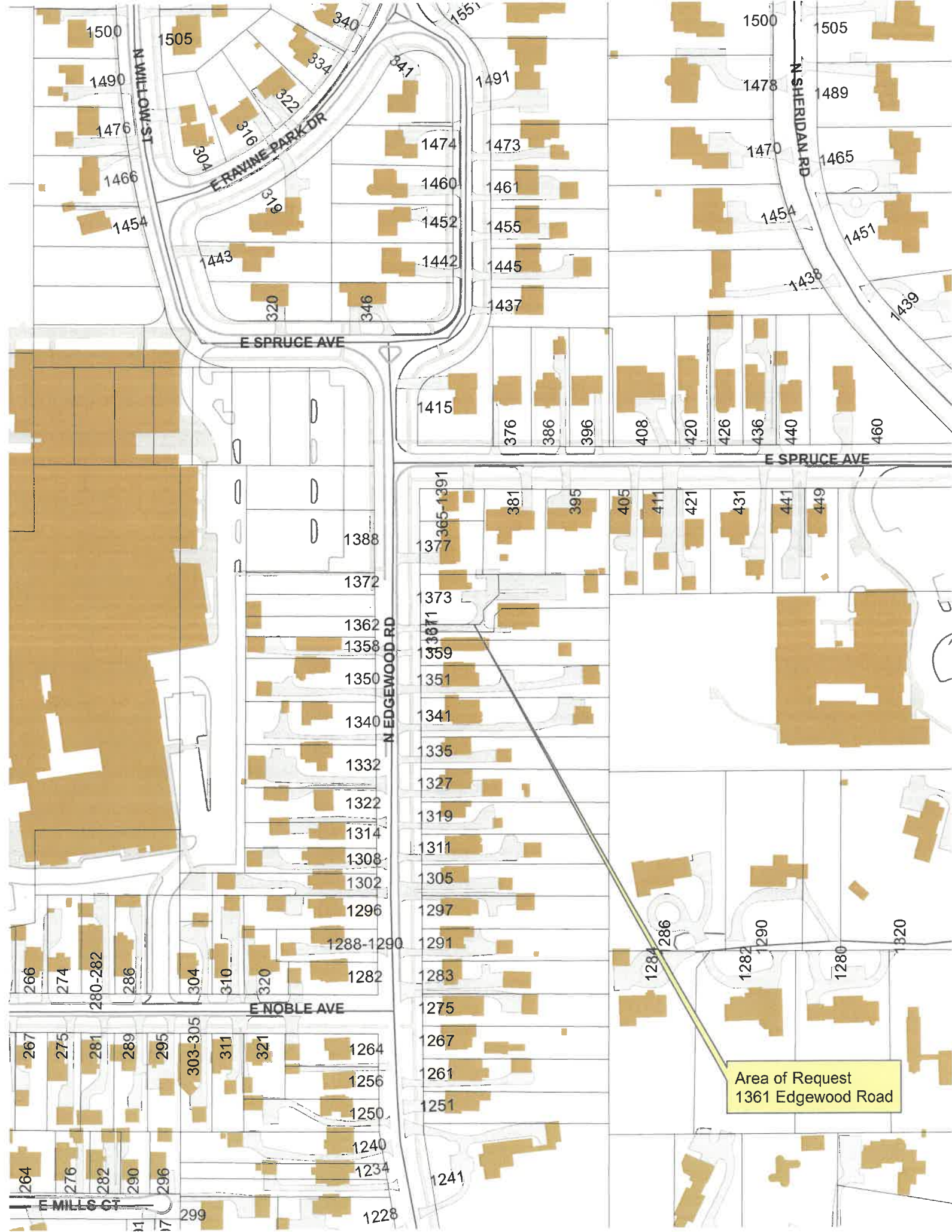
Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 259 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request
1361 Edgewood Road



Area of Request
1361 Edgewood Road

Area of Request
1361 Edgewood Road





THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1361 EDGWOOD ROAD

APPLICATION TYPE

RESIDENTIAL PROJECTS	COMMERCIAL PROJECTS
<input checked="" type="checkbox"/> New Residence <input checked="" type="checkbox"/> New Accessory Building <input type="checkbox"/> Addition/Alteration <input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Demolition Complete <input type="checkbox"/> Demolition Partial <input type="checkbox"/> Height Variance <input type="checkbox"/> Other
<input type="checkbox"/> New Building <input type="checkbox"/> Addition/Alteration <input type="checkbox"/> Height Variance <input type="checkbox"/> Other	<input type="checkbox"/> Landscape/Parking <input type="checkbox"/> Lighting <input type="checkbox"/> Signage or Awnings

PROPERTY OWNER INFORMATION

SHYONKAD FAMILY TRUST
Owner of Property

2652 N. SOUTHPORT AVE. UNIT F
Owner's Street Address (may be different from project address)

CHICAGO, IL 60614
City, State and Zip Code

(630) 484-4590
Phone Number

Fax Number

MILKSM216@AOL.COM
Email Address

Michael Shyonkad
Owner's Signature

ARCHITECT/BUILDER INFORMATION

JEFF LBTZER, PROJECT MANAGER
Name and Title of Person Presenting Project

ASPECT DESIGN, INC.
Name of Firm

26575 COMMUNITY DR. SUITE 607
Street Address

VOEG, IL 60073
City, State and Zip Code

847-457-2500
Phone Number

Fax Number

JLBTZER@ASPECTDESIGNINC.COM
Email Address

Jeff Lbtzer
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 5:00pm.	
Please email a copy of the staff report	<input type="checkbox"/> OWNER <input checked="" type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE

Please list the Trust number and name and address of the Trustee, as well as the names and addresses of all beneficiaries of the Trust, together with their respective interests in the Trust. The application shall be further verified by the applicant in his capacity as Trustee or by the beneficiary as a beneficial owner of an interest in the Trust and the application shall be signed individually by as many beneficiaries as are necessary to constitute greater than 50% ownership of the beneficial interest of the trust.

Beneficiaries

Name _____	Name _____
Address _____	Address _____
Trust Interest _____ %	Trust Interest _____ %



Statement of Intent Updated for response to Action Items dated 6-1-22 1361 Edgewood Road, Lake Forest, IL 60045 7-26-2022

1. Based on staffs review after the BRB meeting the North Lot 1 was removed from the variance request. Lot 2 (1361 Edgewood) was approved as presented at the 7-25-22 zoning meeting.
2. This has been added with homes from 1377 Edgewood to the North to 1351 Edgewood to the South.
3. The muntin patterns have been modified and the roof forms remain at 12:12 at the front gables and the sides remain as to work with the overall height requirements of the zoning district but we believe still align with the style of the home and surrounding neighborhood.
4. The corner boards have been removed and traditional mitered shingles corners are provided.
5. The chimney has been changed to stone to match the front bays stone.
6. The chimney has been reduced so that no it no longer is on the setback line to allow room on the site for construction.
7. The front walk has been changed to a paver walkway.
8. A tree survey has been provided.
9. A detailed updated landscape plan has been provided.
10. A curb has been added in the detailed civil engineering plans on the south end.
11. Sample materials will be provided for the Boards review at the meeting.

26575 COMMERCE DR.
SUITE 607
VOLO, IL. 60073
PHONE: 847.457.2500
WWW.ASPECTDESIGNINC.COM



1361 EDGEWOOD RD

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☐ Stone
☐ Brick
☐ Wood Clapboard Siding
☐ Stucco

- ☒ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material BENJAMIN MORE:
ONYZ 2133-10

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish WHITE

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS - CONTINUED

Chimney Material

- ☒ Brick
☒ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☒ Composition Shingles ARCH. ASPHALT
☐ Sheet Metal _____
☐ Other _____

Flashing Material

- ☐ Copper
☐ Sheet Metal _____
☒ Other ALUMINUM

Color of Material _____

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

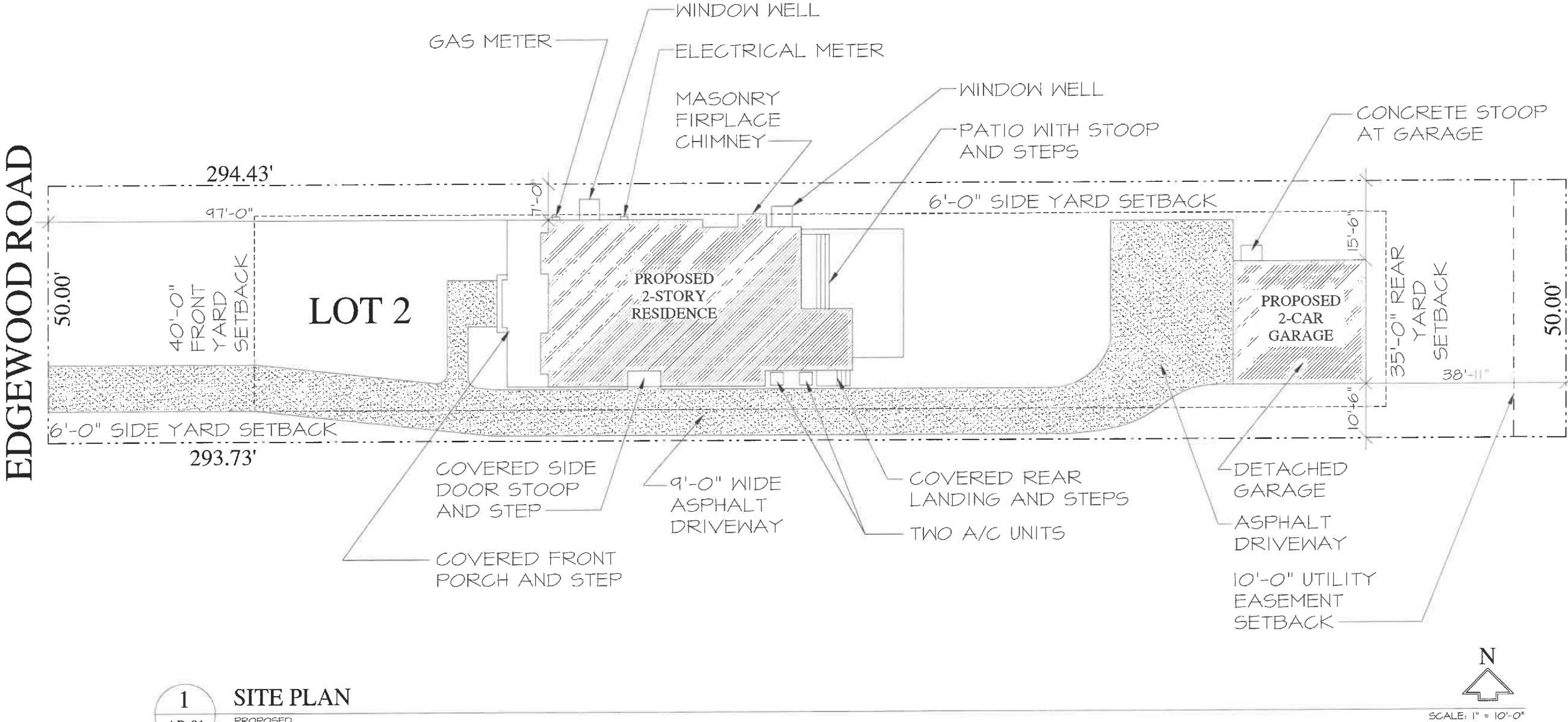
- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☒ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☐ Other _____

LOT AREA SQUARE FEET = 14,695.00		
PROPOSED BULK		
1	FIRST FLOOR SQUARE FEET	= 1,665.60
2	SECOND FLOOR SQUARE FEET	= 1,643.00
3	ATTIC SQUARE FEET	= 0.00
4	2-CAR DETACHED GARAGE SQUARE FEET	= 612.00
5	SUB-TOTAL SQUARE FEET	= 3,920.16
6	GARAGE ALLOWANCE SQUARE FEET	= (-516.00)
7	TOTAL SQUARE FEET	= 3,344.16
8	MAX. BULK ALLOWED SQUARE FEET	= 3,357.30

SQUARE FOOTAGE		
1	FIRST FLOOR SQUARE FEET	= 1,667.62
2	SECOND FLOOR SQUARE FEET	= 1,656.50
3	TOTAL SQUARE FEET	= 3,324.12
4	FINISHED BASEMENT SQUARE FEET	= 1,508.43
5	2-CAR GARAGE SQUARE FEET	= 612.00



1
AR 01

SITE PLAN

PROPOSED
ALL CIVIL ENGINEERING AND FINAL APPROVED GRADES BY OTHERS
ALL EXTERIOR GRADE IMPROVEMENTS AND LANDSCAPING BY OTHERS

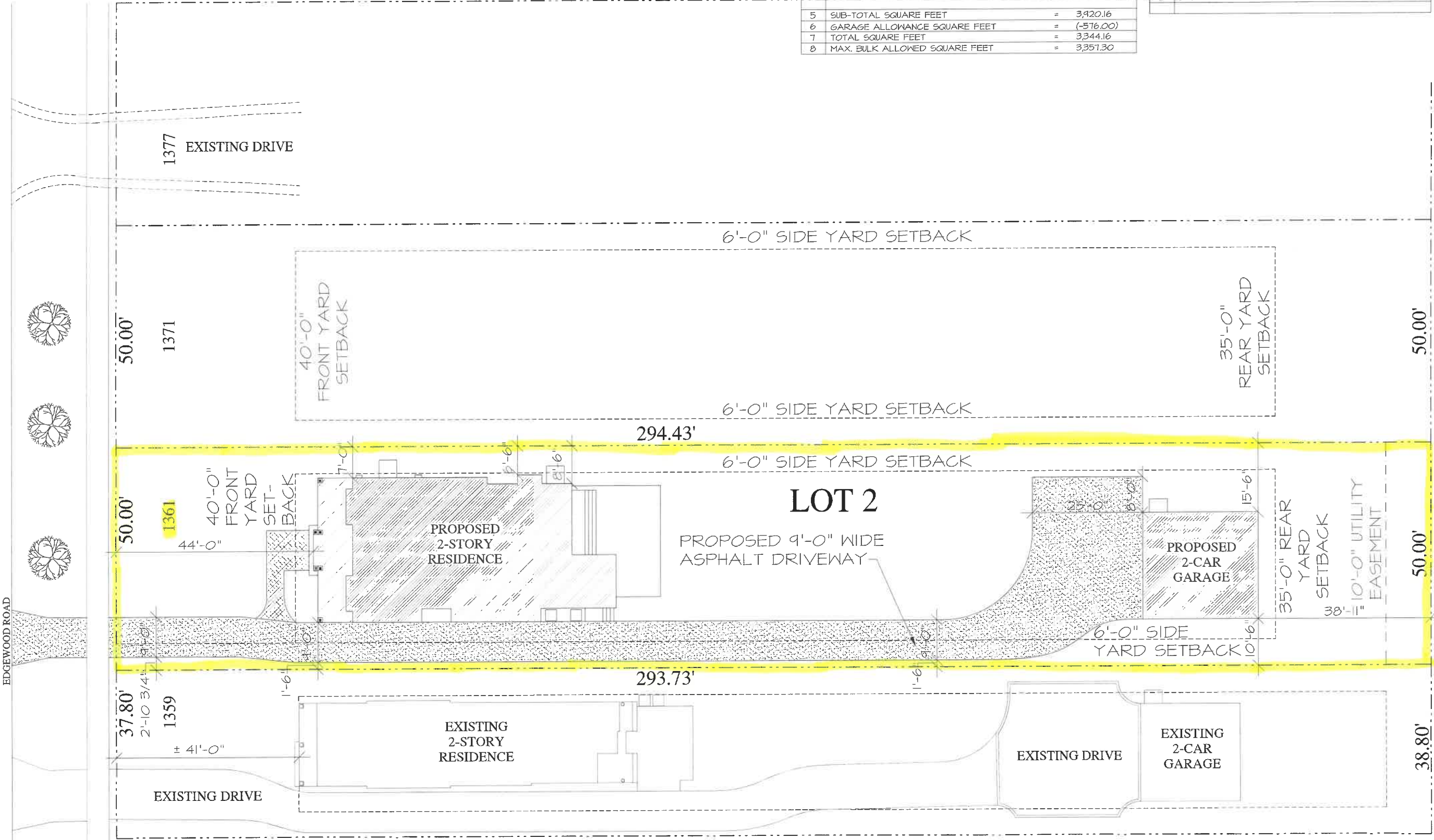
NOTE: ALL SCALE DESIGNATIONS
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24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY - NOT FOR CONSTRUCTION

SIMONEAU-SCHUSTER RESIDENCE NEW CONSTRUCTION 1361 EDGEWOOD ROAD LAKE FOREST, IL 60045	
CHILD'S DEVELOPMENT	
ARCHITECTURAL REVIEW	05/19/2022
12675 COMMERCE DR. SUITE 607 VOLL, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 14-00434	
ASPECT DESIGN INC. ARCHITECTS	
PROJECT #	AD22104
DRAWN BY:	COM/NH
1361 EDGEWOOD ROAD PROPOSED SITE PLAN	
AR 01	
# 1 OF 12 TOTAL SHEETS	

LOT AREA SQUARE FEET		= 14,695.00
PROPOSED BULK		
1	FIRST FLOOR SQUARE FEET	= 1,665.60
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3	ATTIC SQUARE FEET	= 0.00
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3	TOTAL SQUARE FEET	= 3,324.12
4	FINISHED BASEMENT SQUARE FEET	= 1,508.43
5	2-CAR GARAGE SQUARE FEET	= 612.00



REVIEW ONLY-NOT FOR CONSTRUCTION

SIMONEAU RESIDENCE	
NEW CONSTRUCTION - LOT 2 1361 EDGEWOOD ROAD LAKE FOREST, IL 60045	

CHILDS DEVELOPMENT	
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ARCHITECTURAL REVIEW	06/19/2022
REVISED BRB REVIEW	06/06/2022
ZONING REVIEW	07/25/2022
ZONING REVIEW	07/26/2022

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TEL: 847-457-1444 FAX: 847-457-1444

ASPECT DESIGN INC.
ARCHITECTS

PROJECT #	AD22104
DRAWN BY:	COM/NH
1361 EDGEWOOD ROAD PROPOSED SITE PLAN	
AR 01	
* 1 OF 13 TOTAL SHEETS	

1
AR 01

SITE PLAN
PROPOSED
ALL CIVIL ENGINEERING AND FINAL APPROVED GRADES BY OTHERS
ALL EXTERIOR GRADE IMPROVEMENTS AND LANDSCAPING BY OTHERS

SCALE: 1" = 10'-0"

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
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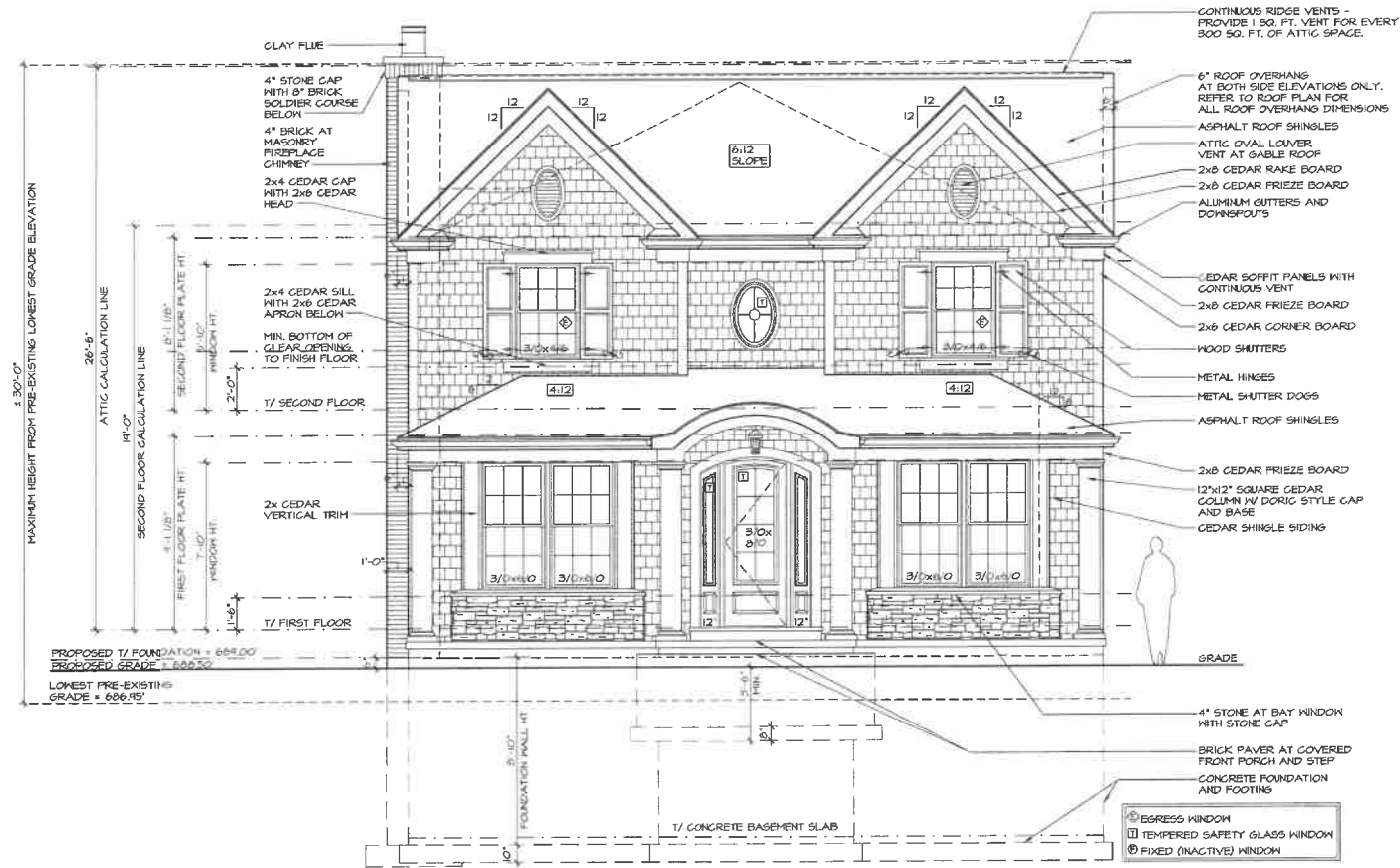
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1
AR 02

FRONT ELEVATION

(WEST)

SCALE: 1/4" = 1'-0"



NOTE: ALL SCALE DESIGNATIONS
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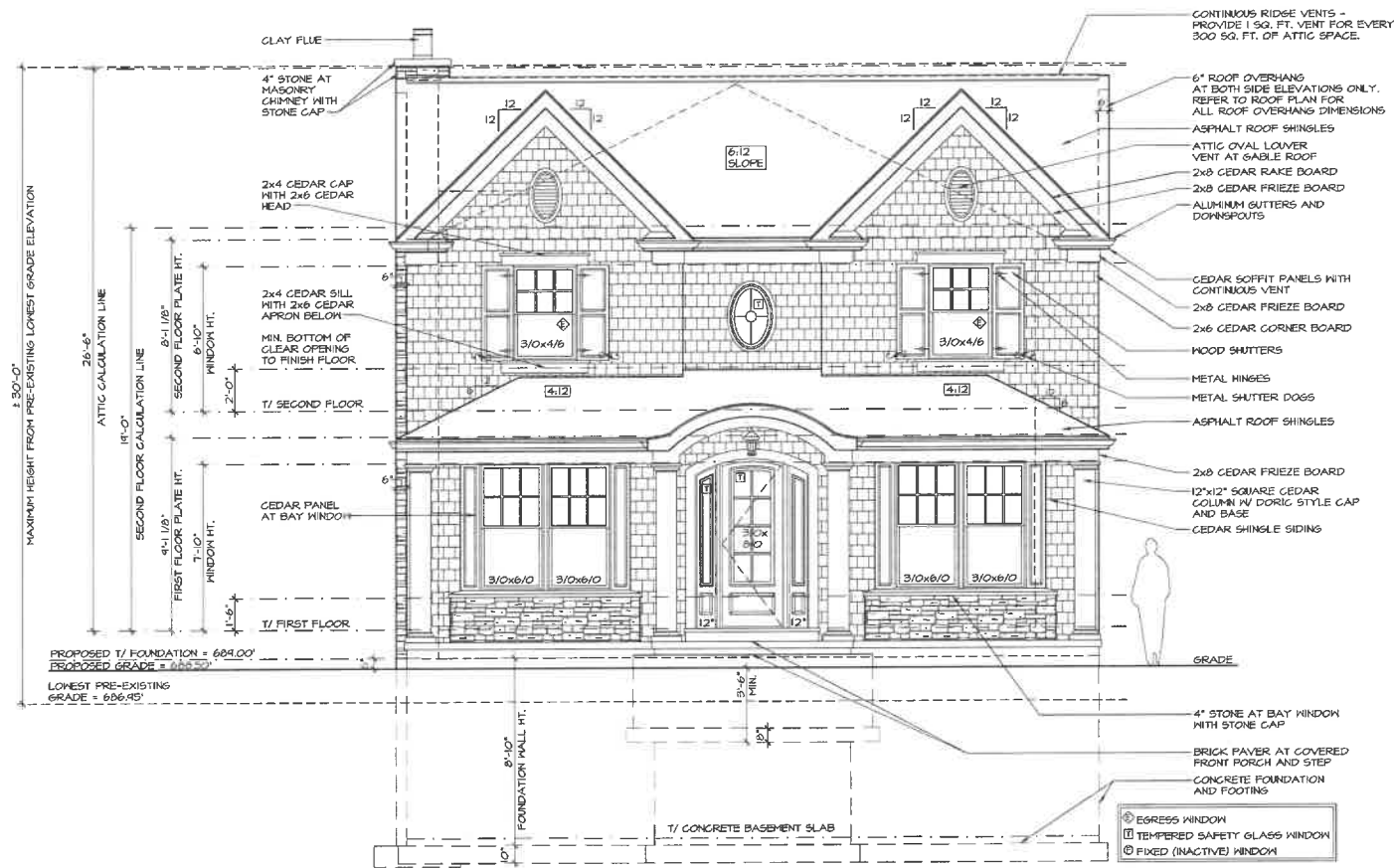
SIMONEAU-SCHUSTER RESIDENCE	
NEW CONSTRUCTION 1361 EDGEWOOD ROAD LAKE FOREST, IL 60045	
CHILDS DEVELOPMENT	
ARCHITECTURAL REVIEW	05/19/2022
26575 COMMERCE DR. SUITE 607 Volo, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LA 00014114-000001	
PROJECT # AD22104	
DRAWN BY: COM/NH	
1361 EDGEWOOD ROAD FRONT ELEVATION	
AR 02	
# 2 OF 12 TOTAL SHEETS	

1
AR 03

FRONT ELEVATION

(WEST)

SCALE: 1/4" = 1'-0"



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REVIEW ONLY-NOT FOR CONSTRUCTION

SIMONEAU
RESIDENCE

NEW CONSTRUCTION - LOT 2
1361 EDGEWOOD ROAD
LAKE FOREST, IL 60045

CHILDS
DEVELOPMENT

ARCHITECTURAL REVIEW
06/19/2022

REVISED PER REVIEW
06/09/2022

ZONING REVIEW
07/25/2022

ZONING REVIEW
07/26/2022

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ARCHITECTS

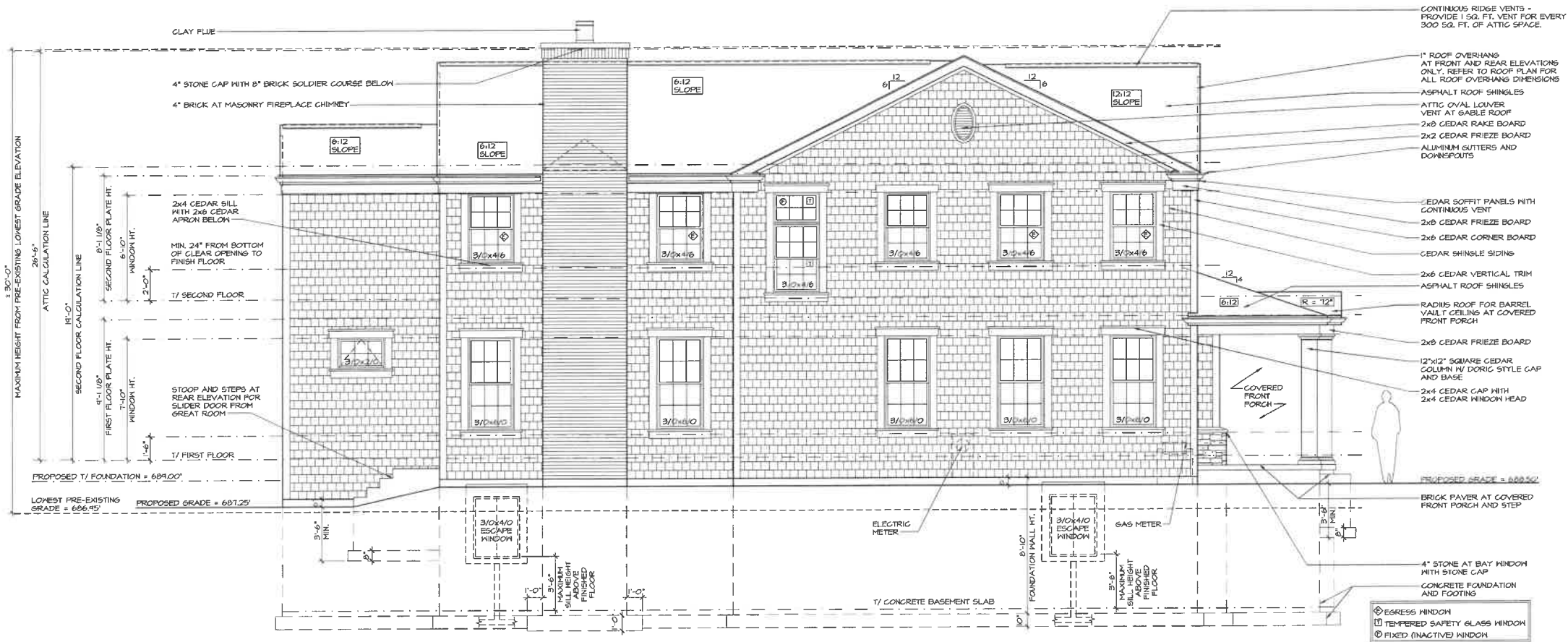
PROJECT #
AD22104

DRAWN BY:
COM/NH

1361 EDGEWOOD ROAD
FRONT ELEVATION

AR 03

3 OF 13 TOTAL SHEETS



1 LEFT ELEVATION
AR 03

(NORTH)
SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" X 36" SIZE PAPER. (ARCH-D)

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SIMONEAU-SCHUSTER RESIDENCE		CHILDS DEVELOPMENT	ARCHITECTURAL REVIEW 06/19/2022	26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM JL LITNER #140004
NEW CONSTRUCTION 1361 EDGEWOOD ROAD LAKE FOREST, IL 60045				
PROJECT # AD22104		PROJECT # AD22104		
DRAWN BY: COM/NH		DRAWN BY: COM/NH		
1361 EDGEWOOD ROAD LEFT ELEVATION		1361 EDGEWOOD ROAD LEFT ELEVATION		
AR 03		AR 03		
# 3 OF 12 TOTAL SHEETS		# 3 OF 12 TOTAL SHEETS		

PREVIOUSLY PROPOSED EAST ELEVATION

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SIMONEAU-SCHUSTER
RESIDENCE

NEW CONSTRUCTION
1361 EDGEWOOD ROAD
LAKE FOREST, IL 60045

CHILD'S
DEVELOPMENT

ARCHITECTURAL REVIEW	05/19/2022
----------------------	------------

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MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL LICENSE # 181-074354

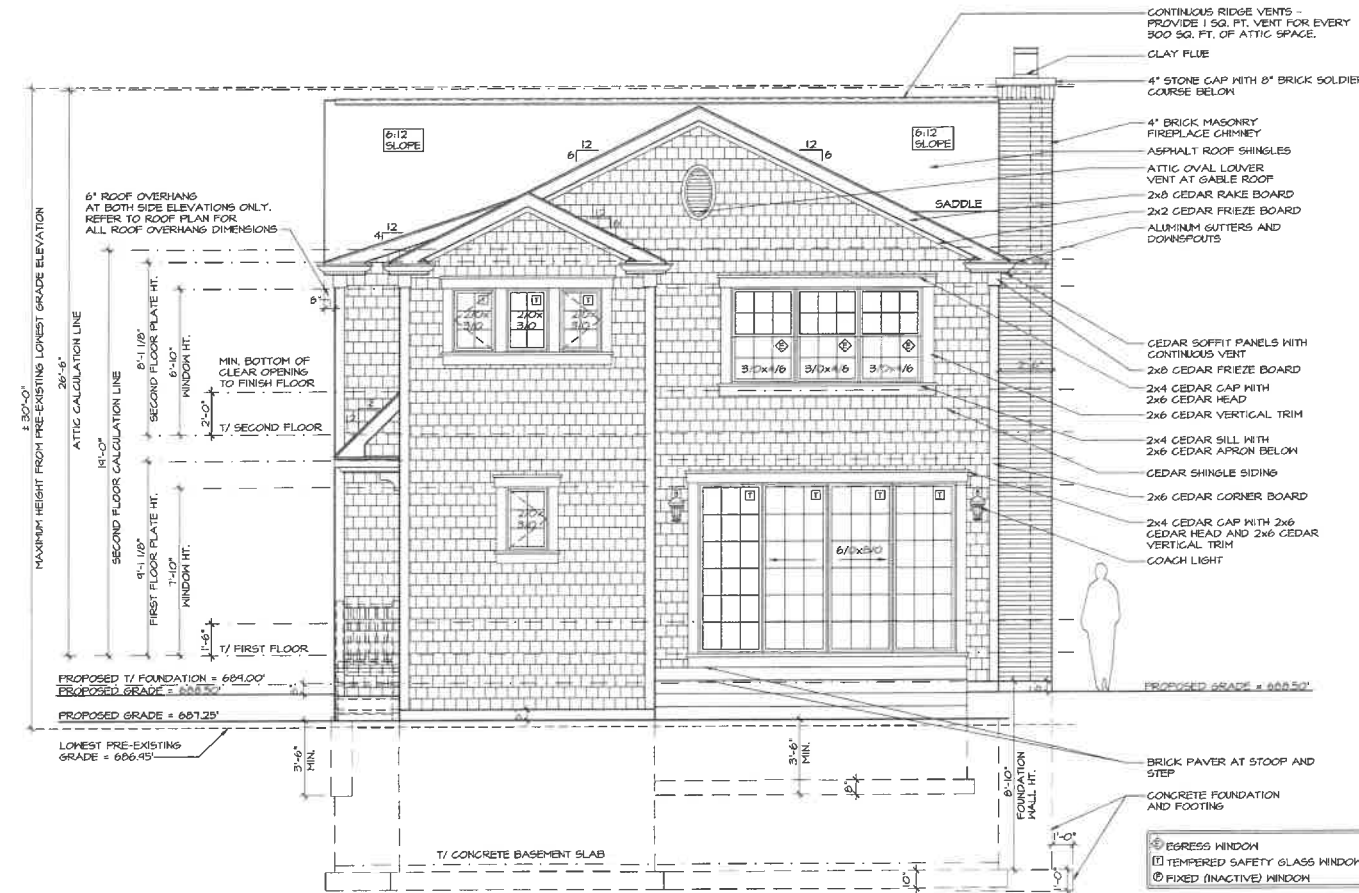
ASPECT DESIGN INC.
ARCHITECTS

PROJECT #	AD22104
DRAWN BY:	COM/ NH

1361 EDGEWOOD ROAD
REAR ELEVATION

AR 04

4 OF 12 TOTAL SHEETS



1

AR 04

REAR ELEVATION

(EAST)

SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

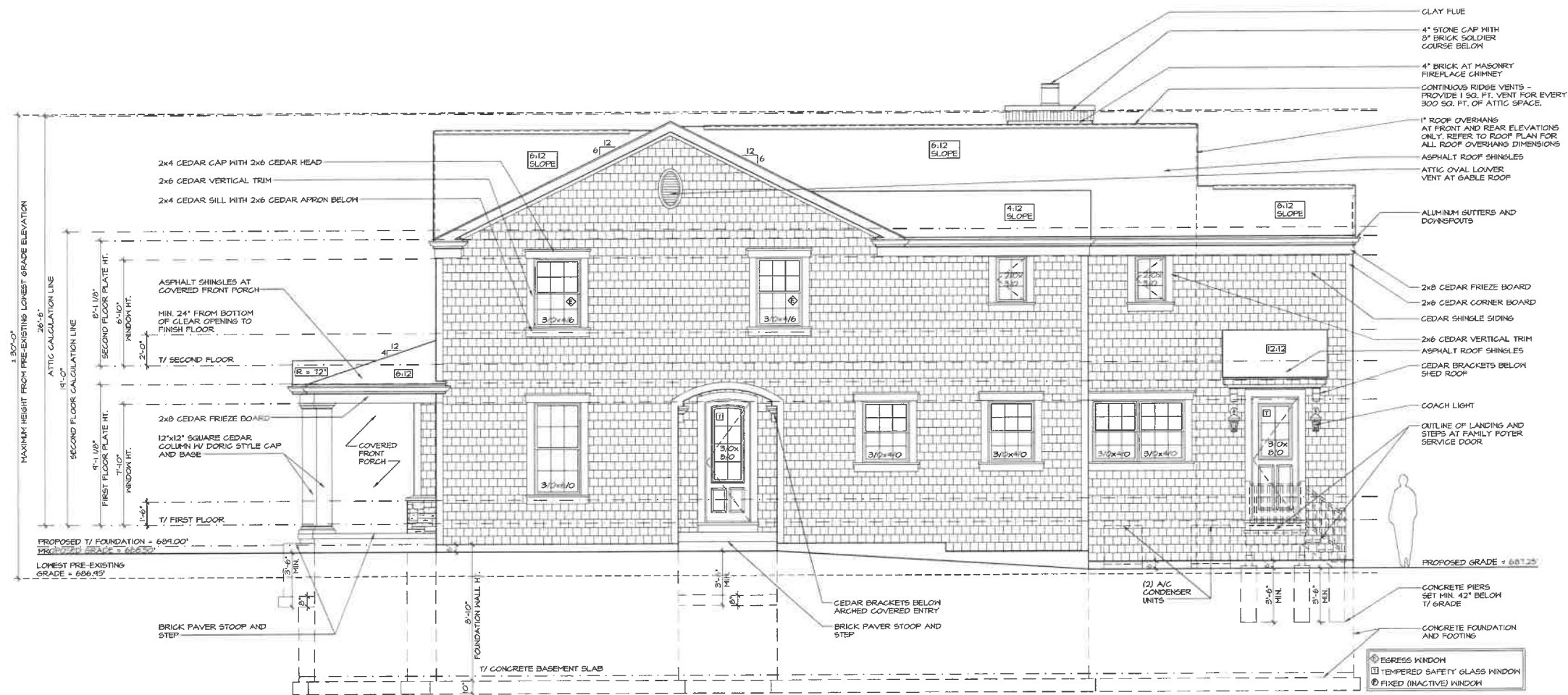
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(EAST)

SCALE: 1/4" = 1'-0"

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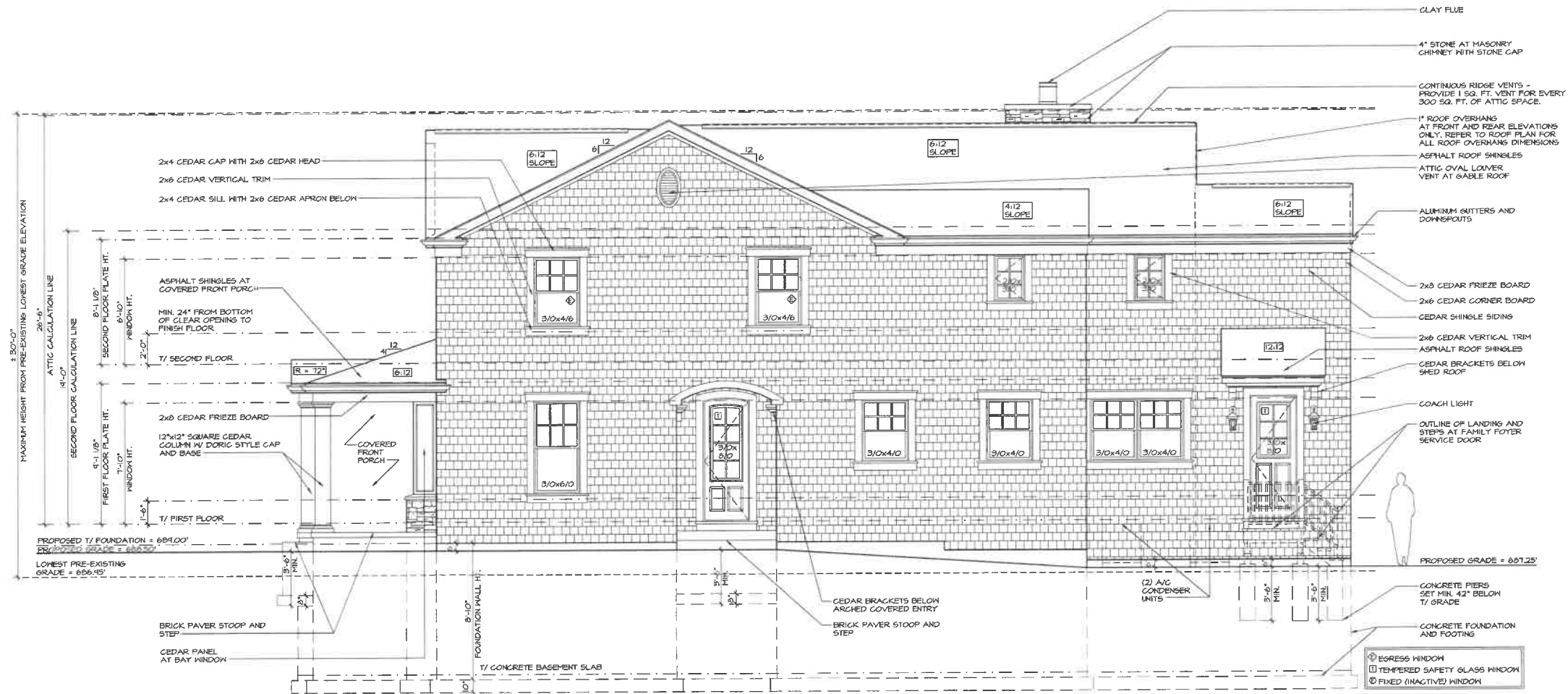
1 RIGHT ELEVATION
AR 05

(SOUTH)
SCALE: 1/4" = 1'-0"

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SIMONEAU-SCHUSTER RESIDENCE		CHILD'S DEVELOPMENT
NEW CONSTRUCTION 1361 EDGEWOOD ROAD LAKE FOREST, IL 60045		
ARCHITECTURAL REVIEW 05/19/2022		
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL 60073 14040414		
PROJECT # AD22104 DRAWN BY: COM/NH 1361 EDGEWOOD ROAD RIGHT ELEVATION AR 05 # 5 OF 12 TOTAL SHEETS		



1 RIGHT ELEVATION
AR 06

(SOUTH)
SCALE: 1/4" = 1'-0"

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SIMONEAU
RESIDENCE

NEW CONSTRUCTION - LOT 2
1361 EDGEWOOD ROAD
LAKE FOREST, IL 60045

CHILDS
DEVELOPMENT

05/10/2022

06/06/2022

07/25/2022

07/26/2022

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ARCHITECTS

PROJECT # AD22104

DRAWN BY: COM/NH

1361 EDGEWOOD ROAD
RIGHT ELEVATION

AR 06

6 OF 13 TOTAL SHEETS





1
AR 02

STREET SCAPE - FRONT ELEVATIONS

PROPOSED
ALL CIVIL ENGINEERING AND FINAL APPROVED GRADES BY OTHERS
ALL EXTERIOR GRADE IMPROVEMENTS AND LANDSCAPING BY OTHERS

SCALE:N.T.S.

NOTE: ALL SCALE DESIGNATIONS
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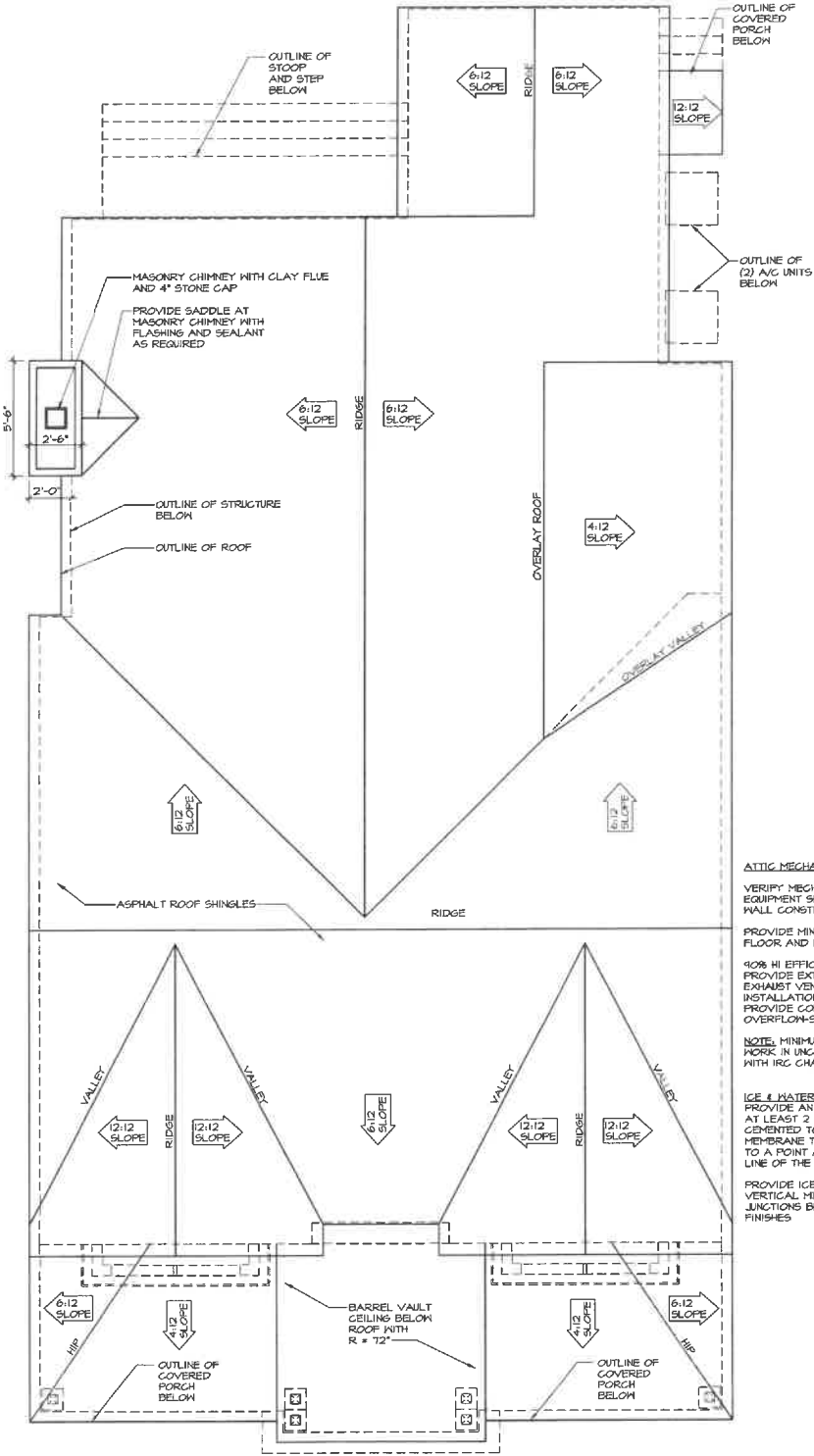
REVIEW ONLY-NOT FOR CONSTRUCTION

ARCHITECTURAL REVIEW 05/19/2022		CHILD'S DEVELOPMENT	SIMONEAU RESIDENCE NEW CONSTRUCTION - LOT 2 1361 EDGEWOOD ROAD LAKE FOREST, IL 60045
REVISED BRB REVIEW 06/06/2022			
ZONING REVIEW 07/25/2022			
ZONING REVIEW 07/25/2022			
<div>26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 14-05434</div> <div>ASPECT DESIGN INC. ARCHITECTS</div>			
PROJECT # AD22104			
DRAWN BY: COM/NH			
1361 EDGEWOOD ROAD PROPOSED SITE PLAN			
AR 02			
# 2 OF 13 TOTAL SHEETS			



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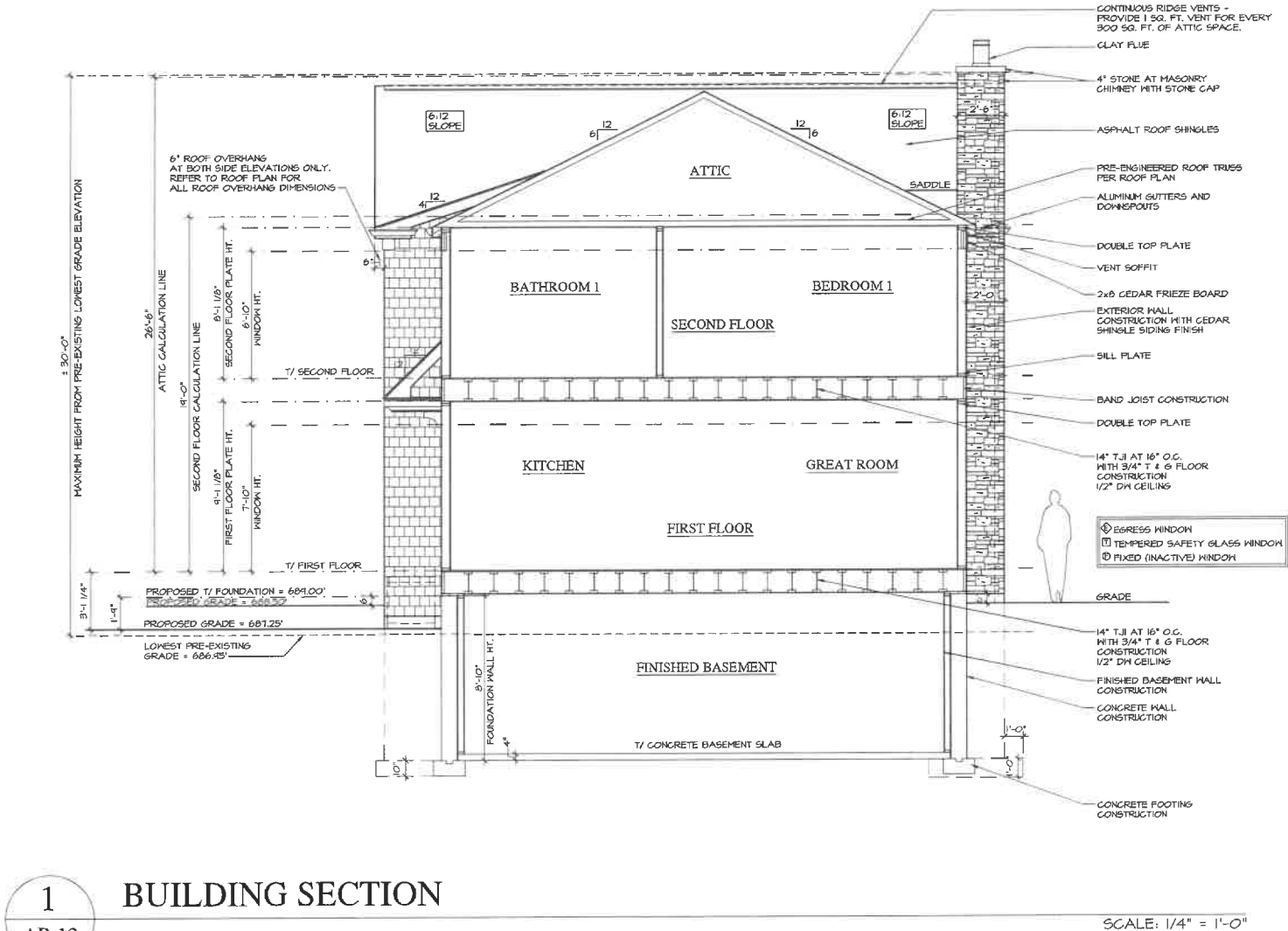
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ATTIC MECHANICAL ROOM NOTES:
VERIFY MECHANICAL ROOM SIZE WITH HVAC
EQUIPMENT SPECIFICATIONS PRIOR TO FRAMING
WALL CONSTRUCTION.
PROVIDE MINIMUM 3" SOUND BATT INSULATION IN
FLOOR AND HALLS.
90% HI EFFICIENCY FURNACE
PROVIDE EXTERIOR COMBUSTION AIR AND
EXHAUST VENTS PER FURNACE MANUFACTURERS
INSTALLATION INSTRUCTIONS AND SPECIFICATIONS
PROVIDE CONDENSATE PAN, DRAIN AND AN
OVERFLOW-SHUTOFF SWITCH UNDER FURNACE.
NOTE: MINIMUM R-8 INSULATION FOR ALL DUCT
WORK IN UNCONDITIONED SPACE IN COMPLIANCE
WITH IRC CHAPTER 11
ICE & WATER SHIELD NOTES:
PROVIDE AN ICE AND WATER SHIELD THAT CONSISTS OF
AT LEAST 2 LAYERS OF MINIMUM 15# UNDERLAYMENT
CEMENTED TOGETHER OR OF A WATERPROOFING
MEMBRANE THAT SHALL EXTEND FROM THE EAVE'S EDGE
TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL
LINE OF THE BUILDING.
PROVIDE ICE AND WATER SHIELD UNDERLAYMENT, FLASH
VERTICAL MIN. 30 INCHES ABOVE ROOF AND WALL
JUNCTIONS BEHIND SIDING AND ALL EXTERIOR WALL
FINISHES

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SIMONEAU RESIDENCE		CHILD'S DEVELOPMENT	
NEW CONSTRUCTION - LOT 2 1361 EDGEWOOD ROAD LAKE FOREST, IL 60045			
ARCHITECTURAL REVIEW 05/19/2022		ARCHITECTURAL REVIEW 05/19/2022	
REVISED BRD REVIEW 06/06/2022		REVISED BRD REVIEW 06/06/2022	
ZONING REVIEW 07/25/2022		ZONING REVIEW 07/25/2022	
ZONING REVIEW 07/26/2022		ZONING REVIEW 07/26/2022	
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 FAX: 847-457-2501 WWW.ASPECTDESIGNINC.COM		PROJECT # AD22104 DRAWN BY: COM/NH 1361 EDGEWOOD ROAD ROOF PLAN	
ASPECT DESIGN INC. ARCHITECTS		AR 11	
		# 11 OF 13 TOTAL SHEETS	



1 BUILDING SECTION
AR 12

SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS
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SIMONEAU
RESIDENCE

NEW CONSTRUCTION - LOT 2
1361 EDGEWOOD ROAD
LAKE FOREST, IL 60045

CHILDS
DEVELOPMENT

ARCHITECTURAL REVIEW05/19/2022

REVISED BRG REVIEW06/06/2022

ZONING REVIEW07/25/2022

ZONING REVIEW07/26/2022

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TEL: 847-457-2500
FAX: 847-457-2501

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ARCHITECTS

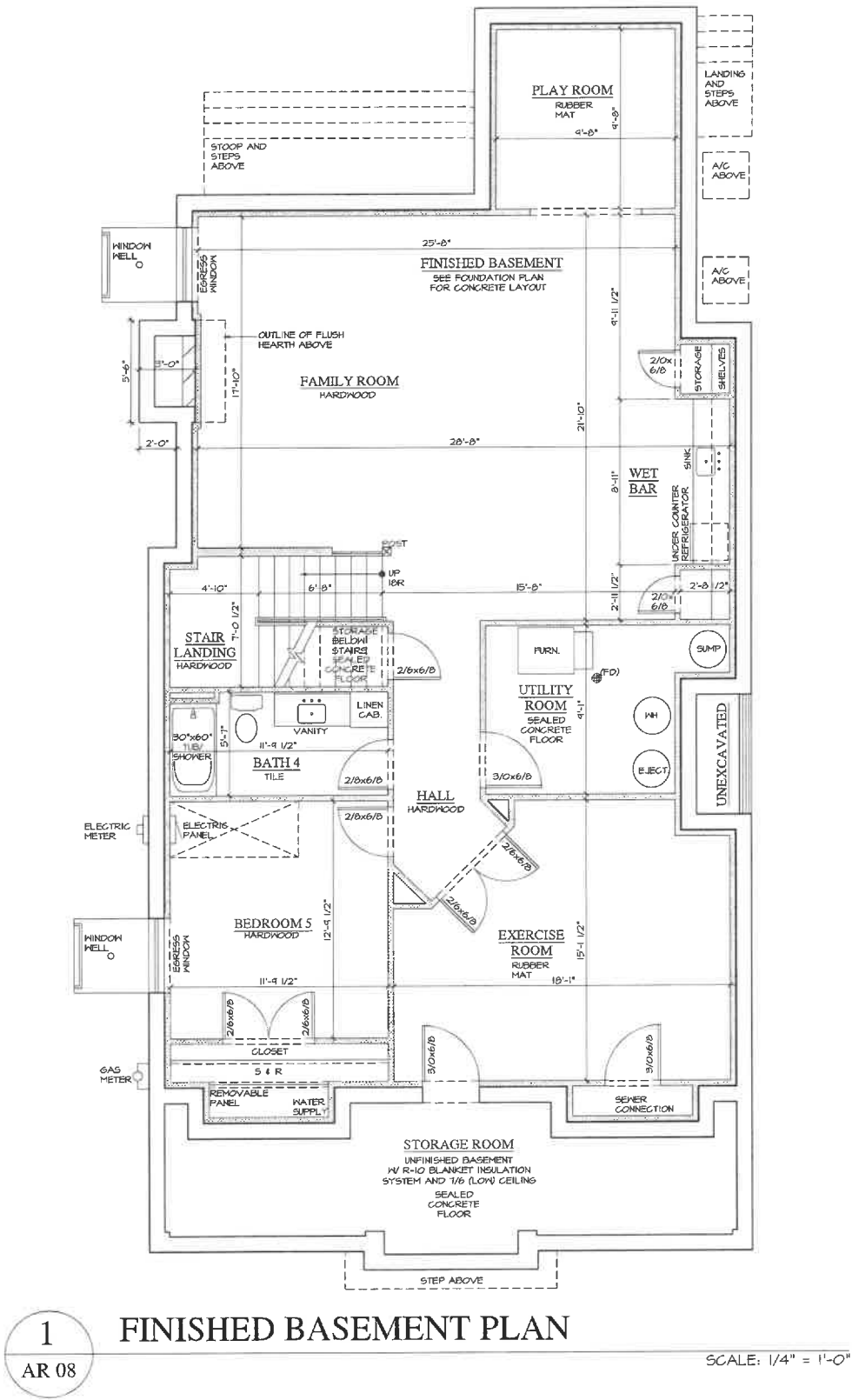
PROJECT #AD22104

DRAWN BY:COM/NH

1361 EDGEWOOD ROAD
BUILDING SECTION

AR 12

12 OF 13 TOTAL SHEETS



1 FINISHED BASEMENT PLAN
AR 08

SCALE: 1/4" = 1'-0"

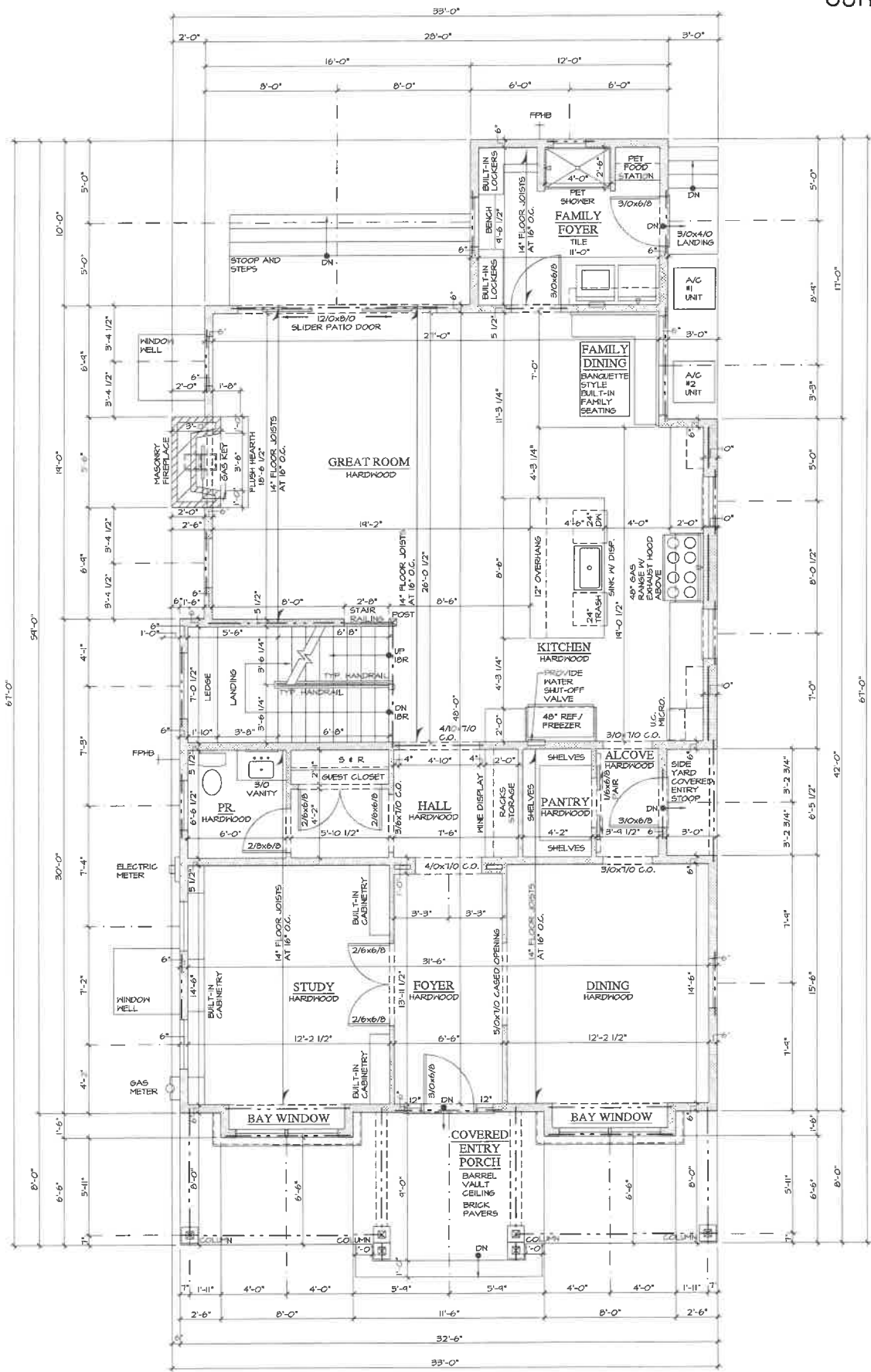


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PROJECT # AD22104		SIMONEAU RESIDENCE	
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1361 EDGEWOOD ROAD FIN. BSMT. PLAN		NEW CONSTRUCTION - LOT 2 1361 EDGEWOOD ROAD LAKE FOREST, IL 60045	
AR 08			
# 8 OF 13 TOTAL SHEETS			
26575 COMMERCE DR. SUITE 607 Volo, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM TEL: 847-457-1400		ARCHITECTURAL REVIEW 05/19/2022	
ASPECT DESIGN INC. ARCHITECTS		REVISED BRB REVIEW 06/06/2022	
		ZONING REVIEW 07/25/2022	
		ZONING REVIEW 07/26/2022	



1 FIRST FLOOR PLAN
AR 09

SCALE: 1/4" = 1'-0"



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CHILDS DEVELOPMENT

SIMONEAU RESIDENCE
NEW CONSTRUCTION - LOT 2
1361 EDGEWOOD ROAD
LAKE FOREST, IL 60045

05/19/2022
ARCHITECTURAL REVIEW

06/06/2022
REVISED BRU REVIEW

07/25/2022
ZONING REVIEW

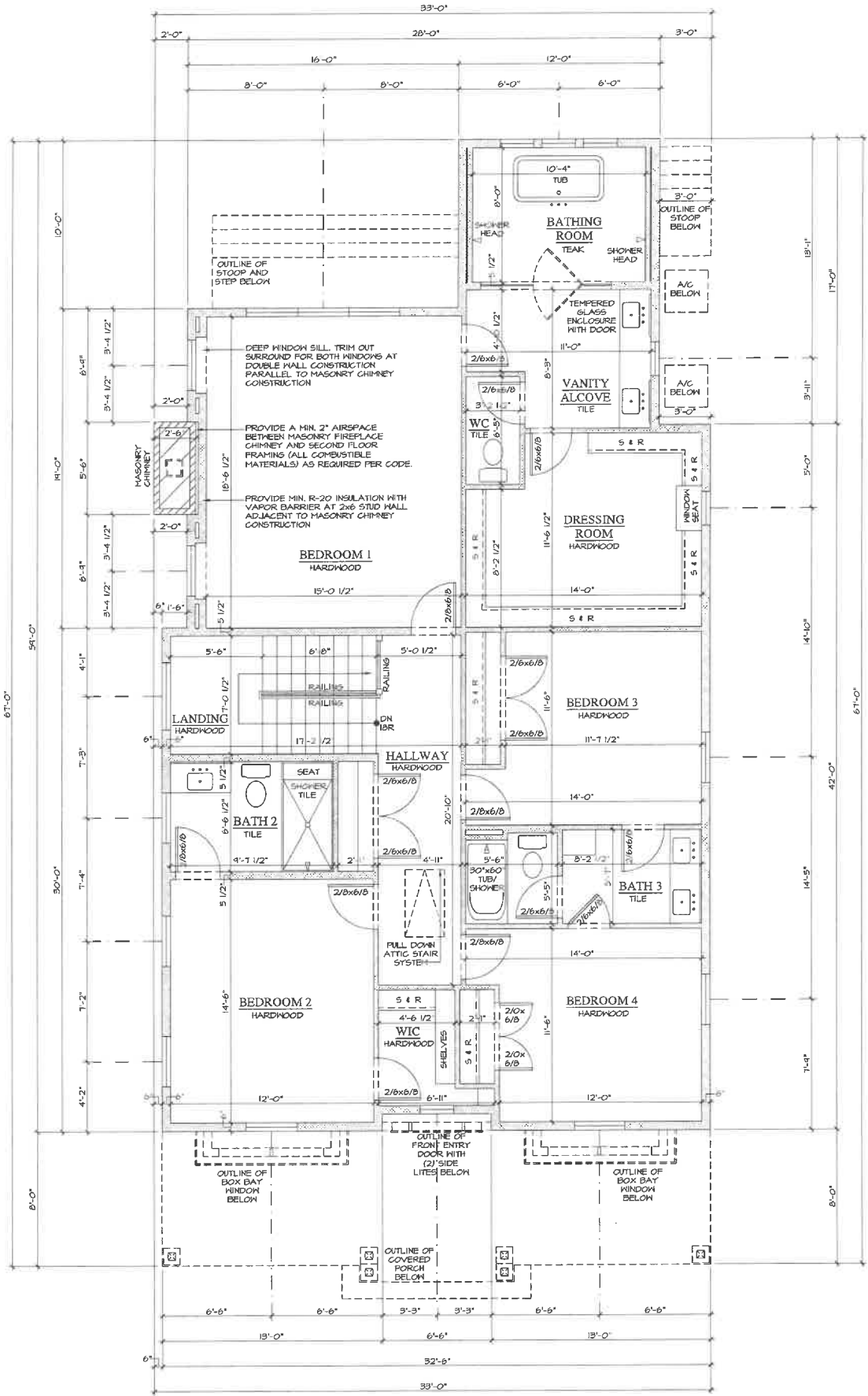
07/26/2022
ZONING REVIEW

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VOLO, IL 60073
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ILLINOIS & ILLINOIS

PROJECT # AD22104
DRAWN BY: COM/NEH
1361 EDGEWOOD ROAD
1st FLOOR PLAN

AR 09

9 OF 13 TOTAL SHEETS



1 SECOND FLOOR PLAN
AR 10

SCALE: 1/4" = 1'-0"



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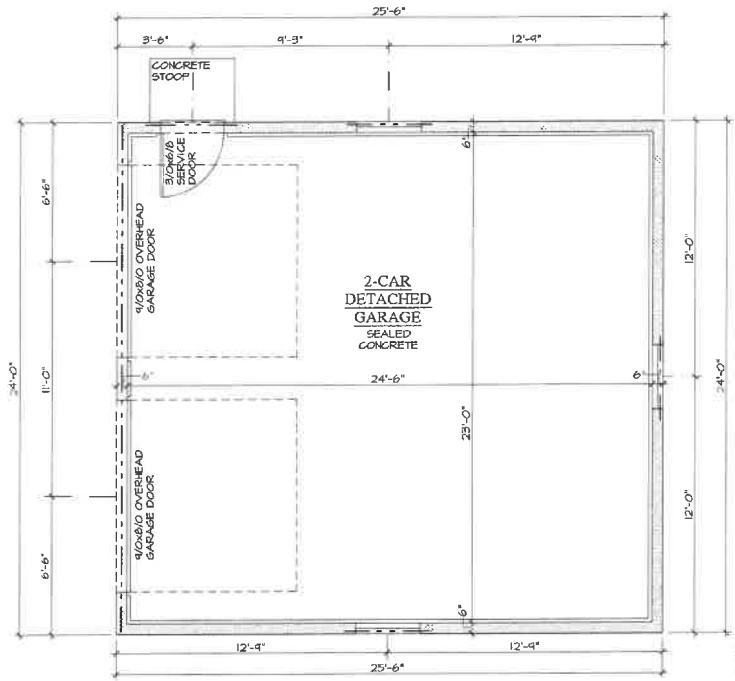
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PROJECT # AD22104	
DRAWN BY: COM/NH	
1361 EDGEWOOD ROAD 2nd FLOOR PLAN	
AR 10	
# 10 OF 13 TOTAL SHEETS	

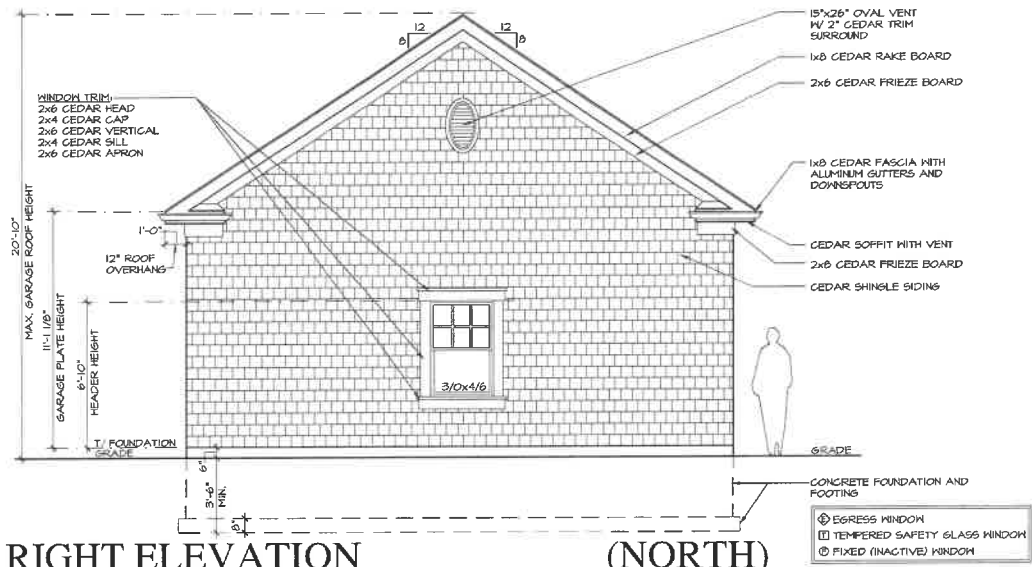
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM ILL. LICENSE # 10-0000000	
ASPECT DESIGN INC. ARCHITECTS	

ARCHITECTURAL REVIEW 05/19/2022	CHILDS DEVELOPMENT	SIMONEAU RESIDENCE NEW CONSTRUCTION - LOT 2 1361 EDGEWOOD ROAD LAKE FOREST, IL 60045
REVISED BRB REVIEW 06/06/2022		
ZONING REVIEW 07/25/2022		
ZONING REVIEW 07/26/2022		

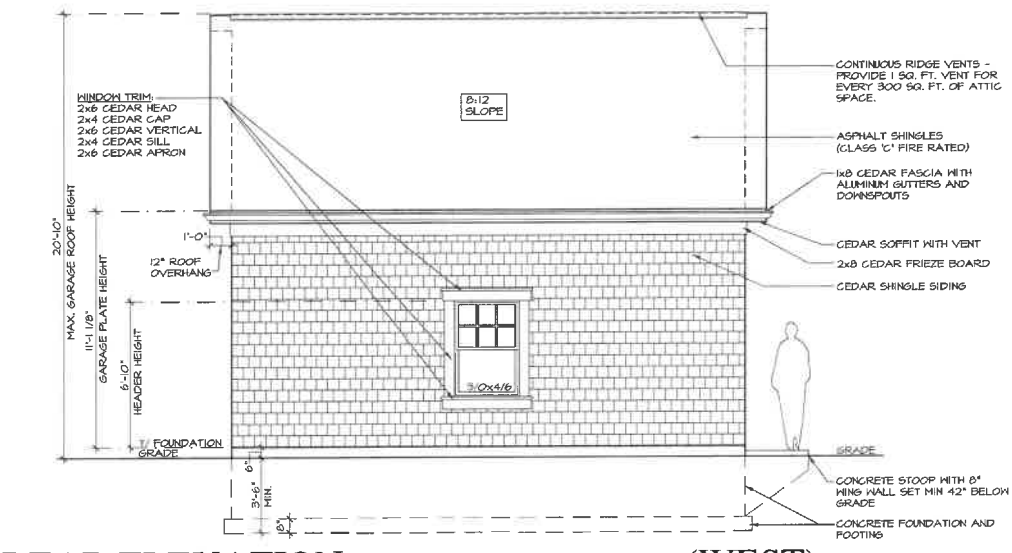


5 FLOOR PLAN
AR 13

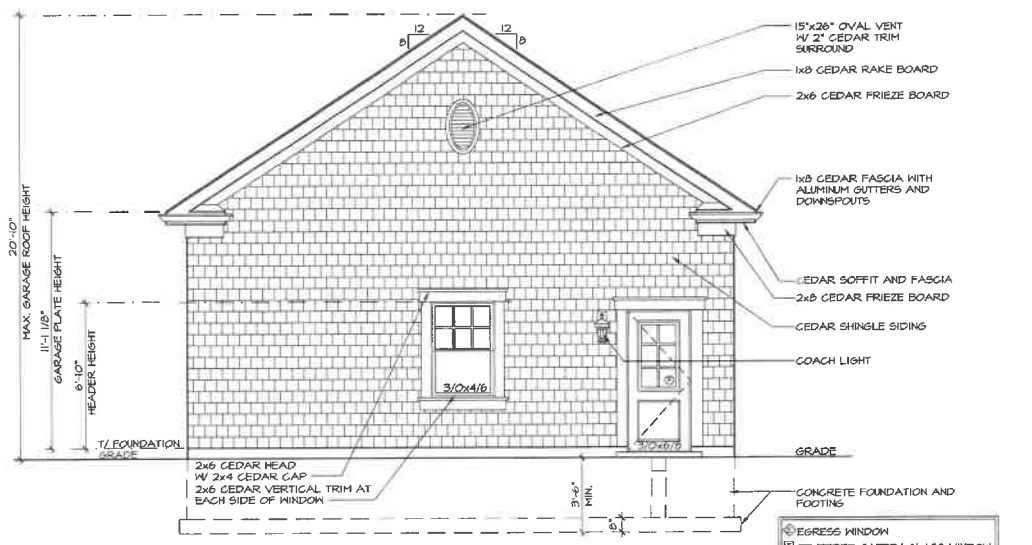
SCALE: 1/4" = 1'-0"



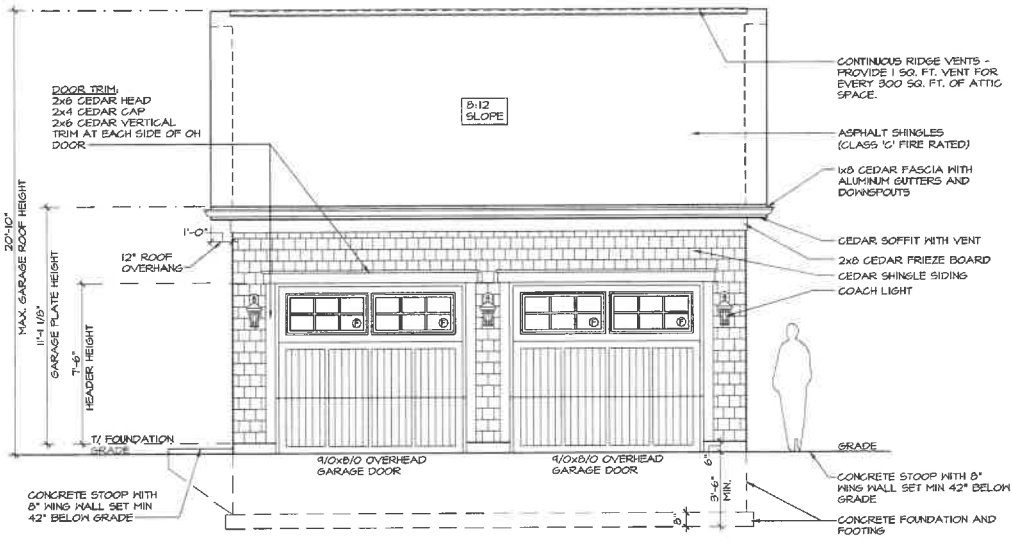
4 RIGHT ELEVATION (NORTH)
DETACHED (2) CAR GARAGE ONE STORY STRUCTURE
SCALE: 1/4" = 1'-0"



2 REAR ELEVATION (WEST)
DETACHED (2) CAR GARAGE ONE STORY STRUCTURE
SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION (SOUTH)
DETACHED (2) CAR GARAGE ONE STORY STRUCTURE
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION (EAST)
DETACHED (2) CAR GARAGE ONE STORY STRUCTURE
SCALE: 1/4" = 1'-0"

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CHILDS DEVELOPMENT

SIMONEAU RESIDENCE

NEW CONSTRUCTION - LOT 2
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LAKE FOREST, IL 60045

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VOLO, IL 60073
MAIN: 847-457-2500
FAX: 847-457-2501
WWW.ASPECTDESIGNINC.COM

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ARCHITECTS

PROJECT # AD22104
DRAWN BY: COM/NH
1361 EDGEWOOD ROAD
2-CAR DETACHED GARAGE

AR 13

13 OF 13 TOTAL SHEETS

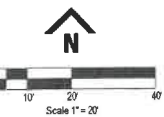
PROPOSED SITE GRADING & TREE REMOVAL PLAN

BLECK

engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 W bleckeng.com

1361 Edgewood Road
Lake Forest, IL



BENCHMARK: ARROW BOLT ON FIRE HYD AT SE CORNER OF EDGEWOOD RD & SPRUCE AVE
ELEVATION = 687.33
ALL ELEVATIONS ON THESE PLANS ARE ON CITY OF LAKE FOREST (USGS NAVD 88) DATUM

ISSUED DATE ISSUED FOR

04.20.2022	REVIEW
05.18.2022	GARAGE REVISIONS
06.21.2022	SITE LAYOUT REVISIONS

PROFESSIONAL SEAL

"To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."



Michael G. Bleck, PE 06.21.2022

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CHILD DEVELOPMENT
222 Wisconsin Ave.
Lake Forest, Illinois 60045

70-1249 Project No.
MB/DDD Drawn By
MGB Checked By

Drawing No.

3

Drawing Name

Site Grading Plan

1361 EDGEWOOD - LOT 2
LAKE FOREST, ILLINOIS 60045

Impervious Surface Calculation

	sq ft	acre
Lot Area	14695	0.337

Existing Conditions

	sq ft	acre
House	0	0.000
Garage	0	0.000
Driveway	0	0.000
Patio	0	0.000
walkways	0	0.000
Total	0	0.000

Percent Impervious

0.0%

Proposed Conditions

	sq ft	acre
House	1946	0.045
Garage	672	0.015
Driveway	2923	0.067
Patio	405	0.009
walkways/wall	179	0.004
Total	6125	0.141

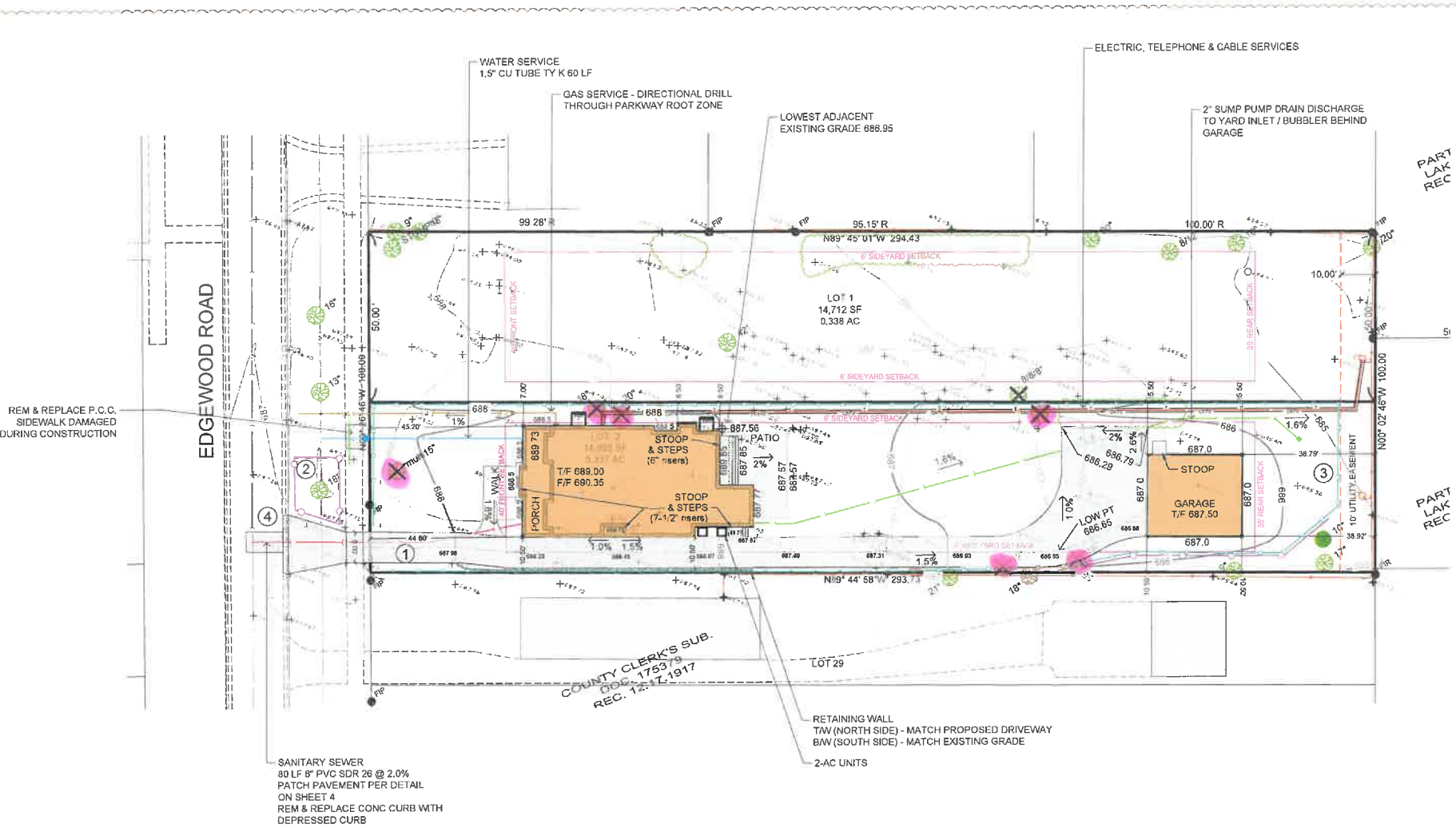
Percent Impervious

41.7%

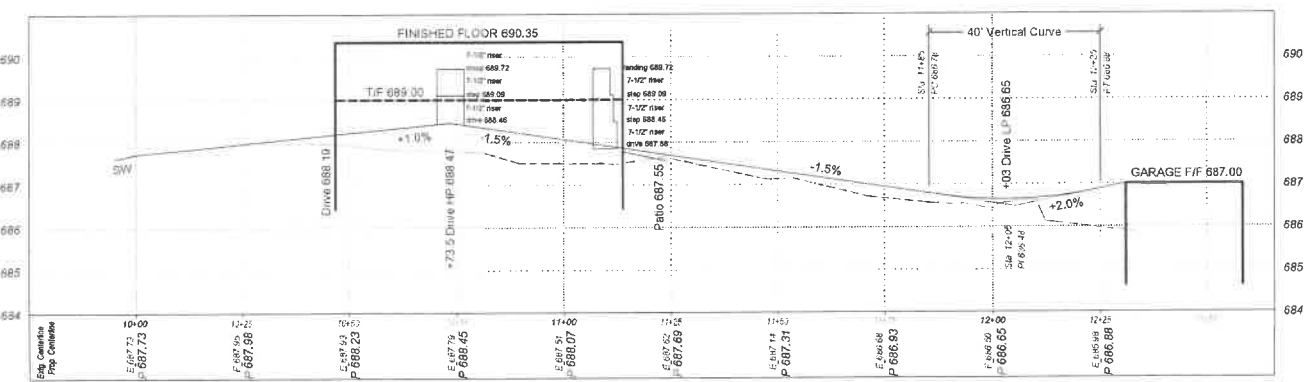
Notes:

- Downspouts in to splash at grade unless otherwise shown. Provide concrete splash pad at discharge.
- For downspouts tying into sewer system, provide 2" air gap.

- STABILIZED CONSTRUCTION ENTRANCE
Use existing driveway
- TREE PRESERVATION & CONSTRUCTION LIMITS FENCE
Temporary 4' Tall Snow Fence w/ Steel Posts
- SILT FILTER FENCE
Shall comply with AASHTO Standard M 288-00
- MUD AND DUST CONTROL
- TEMPORARY INLET PROTECTION
All open lid structures to have Catch All Baskets or approved equal.
- RESTORATION - SEE LANDSCAPE PLAN
Furnish & Place Topsoil
Seeding
Erosion Control Blanket = North American Green 875



PROFILE - LOT 2 DRIVEWAY





BARTLETT TREE EXPERTS

1960 OLD WILLOW ROAD, NORTHBROOK, IL • (847) 559-9424 • FAX (847) 559-9423

TREE INVENTORY				
Client:	Childs Development			
Location:	1361 Edgewood, Lake Forest, IL			
Date:	June 7, 2022			
Condition:	5 = Excellent	4 = Good	3 = Fair	2 = Poor 1 = Dead
Tag No.	Size (dbh)	Species	Condition	Location
401	21.5"	Black Cherry	2	
402	12"	Pear	3	
403	15"	Pear	4	
404	8", 6.5"	Norway Maple	4	
405	9"	Black Walnut	4	
409	(2) 14", (4) 11", (4) 8", (1) 6", (5) 3"	Linden	3	
410	4"	Pear	4	
411	15"	Norway Spruce	3	
412	21"	Norway Spruce	4	
413	40.5"	Cottonwood	4	
414	(3) 3"	Arborvitae	4	
415	(2) 3"	Ash	1	
416	(2) 4", 3"	American Elm	3	
417	(2) 6", 7"	Arborvitae	3	
418	(2) 4", 5", 5.5"	Arborvitae	2	Girdled Root
419	(2) 3", 4"	Arborvitae	1	
420	3"	Arborvitae	1	
421	(3) 3", (2) 4"	Arborvitae	3	
422	7.5", 7"	Arborvitae	3	
423	(2) 3", 4", 4.5"	Arborvitae	3	
424	3", 3.5", 4"	Arborvitae	3	
425	6.5"	Ash	1	Behind Arb Hedge
426	30"	Box Elder	2	
427	5.5"	Crab	2	

Condition:	5 = Excellent	4 = Good	3 = Fair	2 = Poor	1 = Dead
Tag No.	Size (dbh)	Species	Condition	Location	
428	5.5", 6"	Magnolia	3		
429	8.5"	Ash	1		
430	4"	Crab	1		
431	3"	Ash	1		
432	3"	Buckthorn	1		
433	3", 4"	Buckthorn	1		
434	14.5"	Box Elder	2		
435	5"	Buckthorn	1		
436	18"	Box Elder	2		
437	7"	Norway Maple	2		
438	10.5"	Spruce	1		
439	17"	American Elm	1	Dead	
440	3.5"	Buckthorn	1		
441	7"	Buckthorn	1		
442	(2) 3", 4"	Buckthorn	1		
443	10"	Ash	1	Dead	
444	7"	Buckthorn	1		
445	(2) 4", 5", 6"	Buckthorn	1		
446	3.5", 4"	Buckthorn	1		
447	5.5", 9.5"	Buckthorn	1		
448	14.5"	Norway Maple	3		
449	5.5", 6.5"	Buckthorn	1		
450	7"	American Elm	1	Dead	
451	4.5"	Buckthorn	1		
452	28"	White Oak	2	Poison Ivy on Trunk	
453	10.5"	Red Oak	4		
454	25"	American Elm	4		
455	4"	Red Maple	2		
456	9.5"	Mulberry	1		
457	(2) 10", 5"	Pear	4		
458	(2) 5", 3", 4"	Arborvitae	4		

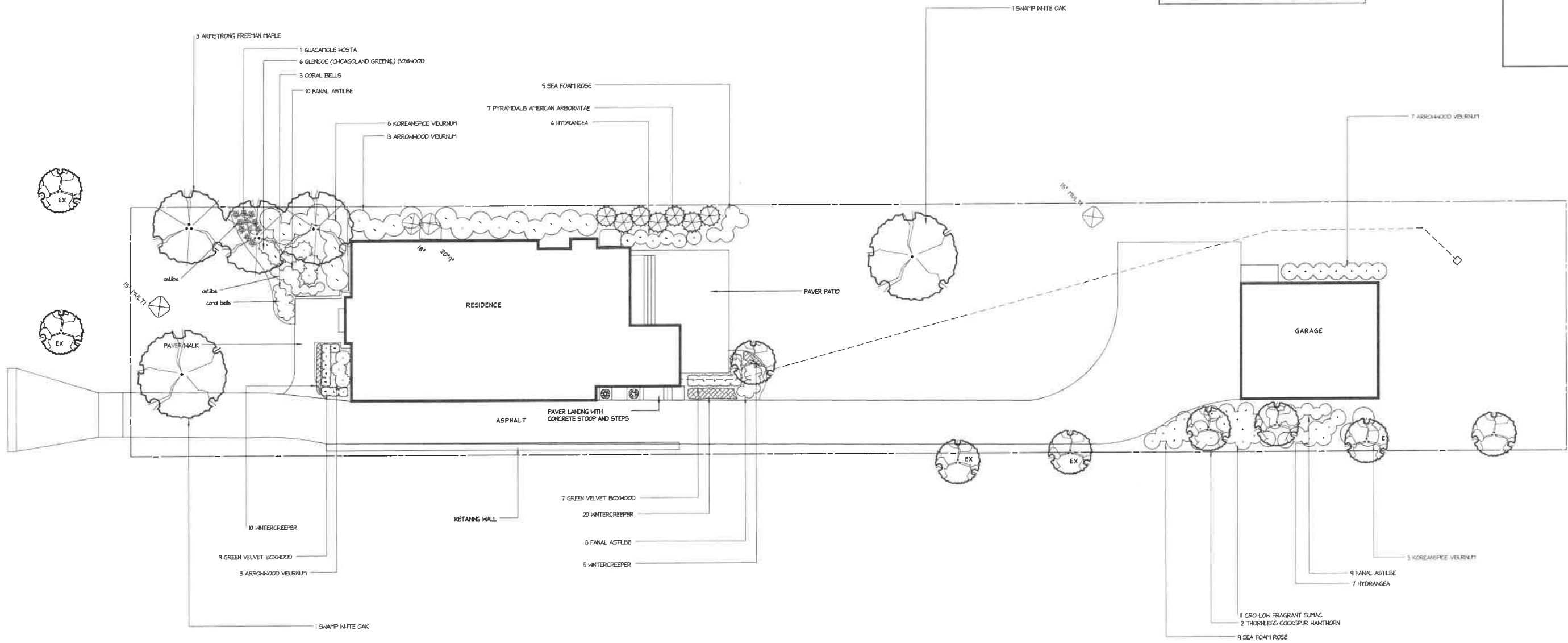
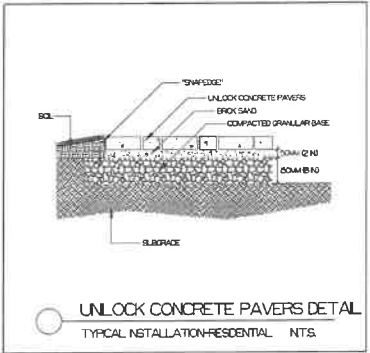
CONCEPTUAL LANDSCAPE PLAN

QTY	Botanical Name	Common Name
Trees		
3	Acer x freemanii 'Armstrong'	ARMSTRONG FREEMAN MAPLE
1	Exothea paniculata	IRONWOOD
7	Thuja occidentalis 'Pyramidalis'	PYRAMIDALIS AMERICAN ARBORVITAE
2	Quercus bicolor	SHARP WHITE OAK
3	Crotaegus crus-galli var. inermis	THORNLESS COCKSPUR HAWTHORN
Shrubs		
23	Viburnum dentatum	ARROWWOOD VIBURNUM
6	Buxus 'Glencoe (Chicago Land Green)'	GLENCOE (CHICAGOLAND GREENE) BOXWOOD
16	Buxus 'Green Velvet'	GREEN VELVET BOXWOOD
11	Rhus aromatica 'Gro-low'	GRO-LOW FRAGRANT SUMAC
1	Taxus x media 'Hicksii'	HICKSII ANGLOJAPANESE YEW
13	Hydrangea anomala	HYDRANGEA
11	Viburnum carlesii	KOREANSPICE VIBURNUM
14	Rosa 'Sea Foam'	SEA FOAM ROSE
189	Eunonymus fortunei	WINTERCREEPER
Perennials and Annuals		
13	Heuchera sanguinea	CORAL BELLS
27	Astilbe x orendii 'Fanal'	FANAL ASTILBE
11	Hosta 'Guacamole'	GUACAMOLE HOSTA

TREE REMOVAL TOTAL 90 INCHES
TREE REPLACEMENT 39 "



TREES TO BE REMOVED



ATTENTION:

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LOT 2
1361 EDGEWOOD
LAKE FOREST ILLINOIS

REVISIONS

1	6/24/2022
2	
3	
4	
5	
6	
7	
8	
9	
10	

Drawn By: BA

Approved By:

Date: APRIL 25, 2022

Project No:

Scale 1" = 10' - 0"

I, _____, approve above drawing and its details to be installed at my property. Apex Landscaping, Inc. reserves the right to deviate from plan due to unforeseen and unavoidable delays or structural reasons. Any changes to plan during construction outside of these reasons require a change order form signed by Apex Landscaping, Inc. and client prior to changes being made.
Signature _____
Date _____

Agenda Item 4
1455 Edgewood Road
Demolition & Replacement Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Foundation Structural Assessment - Excerpt
Plat of Survey – Existing Conditions
Proposed Site Plan
Proposed West Elevation
West Elevation Overlay
Proposed North Elevation
North Elevation Overlay
Proposed East Elevation
East Elevation Overlay
Proposed South Elevation
South Elevation Overlay
Color Rendering
Streetscape Image
Roof Plan
Building Section
Basement Floor Plan
First Floor Plan
Second Floor Plan
Conceptual Landscape Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1455 Edgewood Road

Consideration of a request for approval of the demolition of the existing residence and construction of a replacement residence.

Property Owner: Jamie and Sophia Childs

Project Representative: Jeff Letzter, project manager

Staff Contact: Jen Baehr, Planner

Summary of Request

This is a request for approval of the demolition of the existing residence to the foundation and construction of a replacement residence. The petitioner is proposing to reuse the existing foundation. Because more than 50% of the existing residence will be removed, in this case the entire residence, and an addition of more than 25% of the existing square footage is proposed, this petition is considered a complete demolition and complete replacement residence.

Staff requested an assessment of the existing foundation given the proposal to build a new house using that foundation. A report from the petitioner's structural engineer is included in the Board's packet. At the time of review of construction plans by the City's Plans Examiner, the findings of the structural report will be considered and reviewed based on current Building Codes.

Description of Property and Existing Residence

The property is located on the east side of Edgewood Road, north of Spruce Avenue. The property that is the subject of this request is 10,800 square feet and is rectangular in shape. The parcel today is developed with a single story residence constructed in 1954. A number of single story homes are located to the north and south of this property. Two story homes are located across the street and further down the block.

Staff Evaluation

An evaluation of the project based on the applicable standards and staff recommendations are offered below for the Board's considerations.

Proposed Demolition

As noted, this petition is considered a demolition. The demolition plans provided by the petitioner are included in the Board's packet. The demolition criteria are reviewed below.

Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

This criterion is met. The existing residence does not have any special historical, architectural, aesthetic or cultural significance. The existing residence was built in 1954 and does not possess any particular significance in relation to its surroundings.

Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.

This criterion is met. Extensive renovations and additions to the existing home would leave little of the existing residence intact and the end product would likely be compromised functionally, aesthetically and perhaps structurally as a result of trying to work within the limitations of the existing residence.

Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

This criterion is not met. The house is suitable for residential use in its existing condition however, enlarging the house is reasonable given the permitted square footage and height for the property and recognizing the surrounding development.

Criterion 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

This criterion is met. There is no evidence to suggest that the proposed demolition or replacement residence will adversely impact the value of other properties in the neighborhood.

Criterion 5 – The demolition and replacement structure will be compatible with and not adversely impact the neighborhood character.

This criterion is met. The proposed replacement residence is designed in a manner that is generally compatible with the modest character of the surrounding neighborhood. The Board's review is intended to assure that the proposed replacement residence will not adversely impact the overall character of the neighborhood.

Staff finds that the majority of the criteria for demolition are satisfied.

Site Plan – This standard is met.

Because the existing foundation will be reused, the existing building footprint of the home will be maintained except for a small expansion on the east side. The expansion on the east side of the house will serve as a mudroom. The existing curb cut, asphalt driveway and garage will remain. A concrete paver patio is proposed on the rear of the residence.

The footprint of the existing residence is partially in the side yard setback as required in the applicable zoning district on the north side of the property. Because the petitioner is proposing to reuse the foundation of the existing home, the replacement residence will also be located partially in the setback. The Zoning Board of Appeals recently recommended approval of a variance to allow construction within the side yard setback consistent with the existing nonconforming condition, but at a greater height

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 2,812 square feet is permitted on the site with an allowance of 576 square feet for a garage and 281 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 2,475 square feet.
- The existing garage totals 572 square feet.
- In addition to the above square footage, a total of 60 square feet of design elements are incorporated into the design of the house.
- In total, the residence is 337 square feet, 12 percent under the maximum allowable square footage.

At the maximum height, the residence is 28 feet and 7 inches tall as measured from the lowest point of existing grade to the tallest roof peak. The maximum height allowed for this property is 30 feet.

Elevations – This standard is generally met.

As described in the petitioner's statement of intent, the proposed replacement residence is designed in the Farmhouse style. The residence presents a two-story massing with simple gable roof forms. The mudroom on the rear of the home has a flat roof with a balcony above.

The different proportions and groupings of the windows around the home present an unbalanced and awkward appearance. The proportions and placement of the windows around the home, particularly on the front facing gable, should be modified to present a more balanced appearance across the home.

Type, color, and texture of materials – This standard is met.

Fiber cement lap siding is proposed for the primary façade material. The primary roof material is architectural asphalt shingle, and the porch will have a metal standing seam roof. Wood is proposed for the fascia, soffit and trim material. Aluminum clad windows with exterior and interior muntin bars are proposed. Aluminum gutters and downspouts are proposed. The front porch columns and rear balcony railing will be wood. A concrete patio and walkway are proposed.

The siding and roof on the existing detached garage will be replaced to match the replacement residence.

The proposed color palette includes white siding, windows and trim, black asphalt shingle and metal roofing and a red front door. The petitioner provided a color rendering which is included in the Board's packet.

Landscaping – This standard can be met.

No trees are currently proposed for removal. Because the project is considered a replacement residence, the landscape plan must satisfy the minimum criteria for new residential construction established by the City Code. The proposed landscape plan includes Redbud trees in the front yard, arborvitae along the north side of the house and a mix of viburnum and hydrangea along the foundation at the front and rear. As currently proposed, the minimum criteria for landscaping is not fully satisfied. To meet the minimum criteria, shade trees must be incorporated into the landscape plan.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Recommend approval of demolition of the existing residence and approval of the design aspects of a replacement residence and conceptual landscape plan based on the findings detailed in this report. Approval is recommended subject to the following conditions:

1. The proportions and placement of the windows around the home, particularly on the front facing gable, shall be modified to present a more balanced composition.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation

with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

3. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices and properly direct drainage.
4. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code.
5. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist.
6. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
7. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1455 Edgewood Road Owner(s) Jamie and Sophia Childs

Representative: Jeff Letzter, project manager Reviewed by: Jen Baehr

Date 8/4/2022

Lot Area 10800 sq. ft.

Square Footage of New Residence:

1st floor 1276 + 2nd floor 1199 + 3rd floor 0 = 2475 sq. ft.

Design Element Allowance = 281

Total Actual Design Elements = 60 Excess = 0 sq. ft.

Garage 572 sf actual ; 576 Excess = 0 sq. ft.

Garage Width 22'-0" *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 2475 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 2812 sq. ft.

DIFFERENTIAL = -337 sq. ft.
Under Maximum

Allowable Height: 30 ft. Actual Height 28'-7" ft.

NET RESULT:

337 sq. ft. is

12.00% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 281 sq. ft.

Front & Side Porches = 60 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

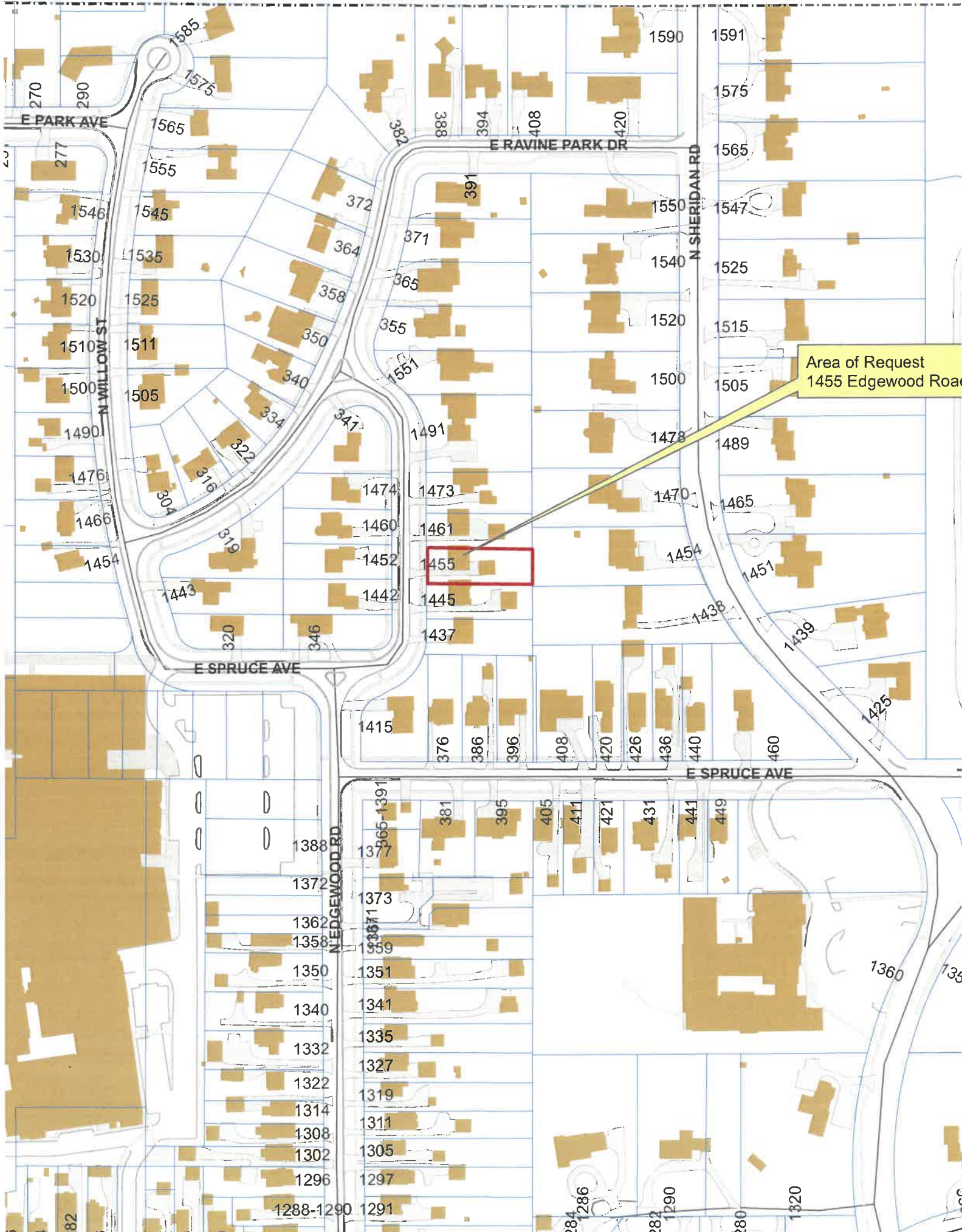
Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 60 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request
1455 Edgewood Road



Area of Request
1455 Edgewood Road



Area of Request
1455 Edgewood Road

AD21186



THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1455 EDGEWOOD RD.

APPLICATION TYPE	
RESIDENTIAL PROJECTS	COMMERCIAL PROJECTS
<input checked="" type="checkbox"/> New Residence <input type="checkbox"/> New Accessory Building <input type="checkbox"/> Addition/Alteration <input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Demolition Complete <input checked="" type="checkbox"/> Demolition Partial <input type="checkbox"/> Height Variance <input type="checkbox"/> Other
	<input type="checkbox"/> New Building <input type="checkbox"/> Addition/Alteration <input type="checkbox"/> Height Variance <input type="checkbox"/> Other
	<input type="checkbox"/> Landscape/Parking <input type="checkbox"/> Lighting <input type="checkbox"/> Signage or Awnings

PROPERTY OWNER INFORMATION

JAMIE & SOPHIA CHILDS
Owner of Property

1172 TAMARACK LN
Owner's Street Address (may be different from project address)

LIBERTYVILLE, IL 60048
City, State and Zip Code

847-712-2140
Phone Number

JAMIE.P.CHILDS@GMAIL.COM
Email Address

ARCHITECT/BUILDER INFORMATION

JEFF LETETER, PROJECT MANAGER
Name and Title of Person Presenting Project

ASPECT DESIGN, INC.
Name of Firm

26876 COMMERCE DR.
Street Address

VOLO, IL 60073
City, State and Zip Code

(847) 457-2500
Phone Number

JEFFLETETER@ASPECTDESIGNINC.COM
Email Address

[Signature]
Owner's Signature

[Signature]
Representative's Signature (Print Name Below)

The staff report is available the Friday before the meeting, after 3:00pm.	
Please email a copy of the staff report	<input checked="" type="checkbox"/> OWNER <input checked="" type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE

Statement of Intent 1455 Edgewood Road Lake Forest, IL 60045

1. Background—The home will be built for the Nick and Julia Childs family.
2. Initial Goal—The purpose of the project is to integrate a Two-Story Farmhouse Style residence on the existing foundation within the existing neighborhood. A 10' x 12' One-Story addition is proposed for the rear of the home.
3. Design Strategy—Utilizing the existing foundation and grading, the home will preserve the existing rhythm of the streetscape. Our intent is to preserve the existing detached garage located behind the home as well as the location of the existing asphalt driveway.
4. Materials—White Hardie Board will be used on the exterior. The wood trim, soffit and fascia are to be white. The roof will be charcoal black architectural asphalt shingles. The windows are to be white color. The front door will be painted red. The metal roof will be charcoal black.
5. Existing Detached Garage – Will be re-sided and re-roofed to match the new home.
5. Conclusion—Our intent is to build an attractive home that quietly fits into its current site. The restrained quality of the new home will help reinforce this great neighborhood.
6. Variances— Side yard setback on the North side is required due to the existing foundation being at 9.05', required in the R-1 District is 10'-0". The current residence with its larger overhang is currently over the setback line by 4'-2 ¾" and the proposed overhang will be over the setback line by 2'-2 ¾".



Request for Demolition of Existing Structure 1455 Edgewood Road Lake Forest, IL 60045

This request is for the demolition of the current, above grade structure at 1455 Edgewood Road.

Criteria for Demolition:

Criterion 1: The existing residence is not architecturally, aesthetically or historically significant. The home is a modest ranch style home and does not contain any historic or architectural integrity that would be worthy of preservation.

Criterion 2: The owners explored alternatives to demolition, however based on the existing site and building conditions of the property, preserving the existing residence is not desired by the owners. Extensive renovation and additions of the home would be necessary to meet the homeowner's needs and update the home to modern living standards, leaving little of the existing residence intact, with the end produce likely being compromised as a result of trying to work within the limitations of the existing residence. The existing foundation is in good condition and will be preserved, see the Structural Engineer's report.

Criterion 3: The house is suitable for residential use in its existing condition; however, the home is lacking many amenities that today's homeowners desire and significant reconfiguration and renovations to the home would be needed to update the home to meet standards of modern-day living.

Criterion 4: There is no evidence to suggest that the proposed demolition or replacement residence will adversely impact the value of other properties in the neighborhood. The proposed replacement residence will likely enhance property values and contribute to the character of the neighborhood in a positive way.

Criterion 5: The proposed replacement residence is compatible with the homes in the surrounding neighborhood and maintains the character of the streetscape.

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
PHONE: 847.457.2500
WWW.ASPECTDESIGNINC.COM



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☐ Stone
☐ Brick
☐ Wood Clapboard Siding
☐ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco

☒ Other HARDIE BOARD

Color of Material WHITE

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish WHITE

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☒ Other N/A

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☒ Composition Shingles ARCH-ASPHALT
- ☐ Sheet Metal
- ☐ Other

Flashing Material

- ☐ Copper
- ☐ Sheet Metal
- ☒ Other ALUMINUM

Color of Material CHARCOAL BLACK

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other

Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other

Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☒ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other



STRUCTURAL ENGINEERS

April 4, 2022

Mr. Jamie Childs
Childs Development
222 E Wisconsin Ave Ste 101
Lake Forest, IL 60045

Re: 2022_050 – Foundation Assessment – 1455 N Edgewood Rd, Lake Forest, IL

Dear Mr. Childs:

Virgilio & Associates, Ltd. was retained for the purpose of providing a structural assessment of the existing foundation to support a new second floor addition to the existing residence. The assessment is based on a visual inspection performed by Virgilio and Associates, Ltd (VA) on March 28, 2022 and preliminary architectural drawings as prepared by Aspect Design dated December 1, 2021.

Background and Observations

The existing home is a single-story residence with a full basement. It is understood that the house was constructed in 1957. The front elevation of the home faces west. The home is a conventionally framed wood structure with brick veneer. The foundation consists of 10" thick concrete walls. The first floor is framed with 2x8 floor joists spanning between interior steel beams. The steel beams span in the north/south direction and are supported by steel columns (Refer to Photo No. 1). As part of the additions/renovations the existing roof and first floor walls will be removed. A new two-story structure will be constructed on top of the existing foundation and first floor deck. The new structure will also be a conventionally framed wood structure with 2x joists and rafters supported by wood stud walls. The exterior will be clad in Hardie-board panel. Refer to figures 1 through 3 for further information regarding the floor plans and elevation.

The existing concrete basement walls were in good condition. Most of the basement was unfinished so the walls and first floor framing were visible in the basement. The southern portion of the basement had wall coverings and could not be observed. However, the construction appeared to be consistent throughout the home. There were no significant cracks observed on the inside of the basement. The only significant cracks observed on the outside of the home were in the northwest corner where a corner piece of the foundation wall was spalling.

The following assumptions were made regarding the proposed framing and existing foundation analysis:

1. The foundation analysis assumes that the net allowable soil bearing pressure is at least 2,000 pounds per square foot (psf).
2. The basement walls are assumed to sit on a strip footing at least 18" wide. A 20" wide footing was common for construction practices at the time.
3. Second floor and attic framing option 1 – The joists will span in the east-west direction between the east and west exterior walls and also bear on an interior wall which aligns with the beam on the first floor.
4. Second floor and attic framing option 2 – The joists span in the east-west direction and clear span between east and west exterior walls.

Results and Conclusion

The basement walls are in good condition and have the structural integrity to support the imposed loads from the new addition. The existing steel beams and columns in the basement have the structural integrity to support the imposed loads from the new addition. However, for framing option-1 the existing footings need to be at least 3'x3'. These footings sizes could not be confirmed during the inspection and should be verified prior to construction.

April 4, 2022

Re: 2022_050 – Foundation Assessment – 1455 Edgewood, Lake Forest, IL

Page 2

Larger footings may be required depending on the final framing configuration and the existing footings should be underpinned or removed and replaced as required. For framing option 2, the existing strip footings have the capacity to support the addition.

It is recommended that a geotechnical engineer confirm the existing soil bearing capacity prior to proceeding with final design and construction.

If you have any questions or comments, or if you would like to discuss this assessment further, please contact our office.

Sincerely,



VIRGILIO & ASSOCIATES, LTD.

Ryan Freund, P.E., S.E.

Enclosed: Figures and Photos

April 4, 2022

Re: 2022_050 – Foundation Assessment – 1455 Edgewood, Lake Forest, IL

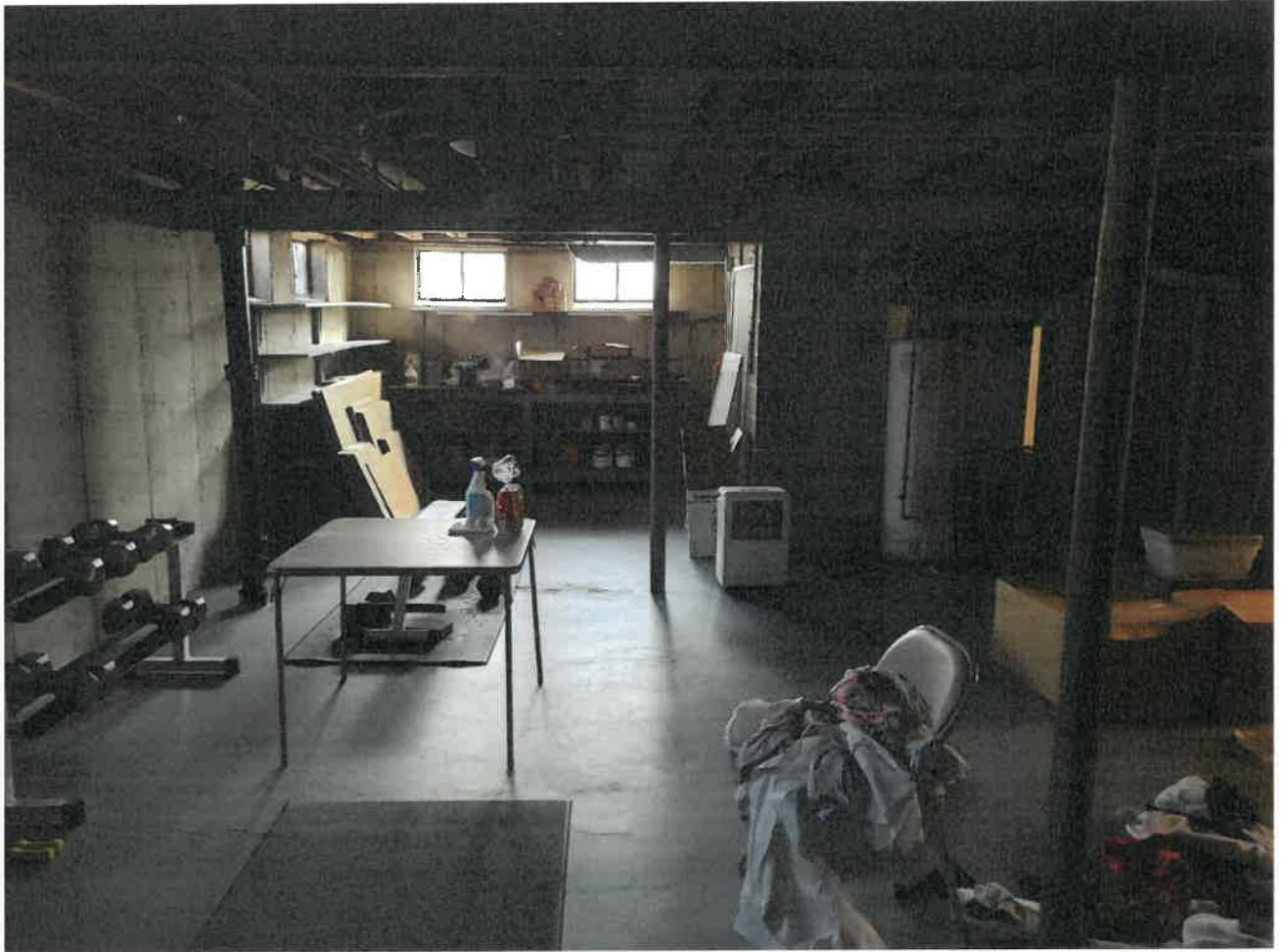


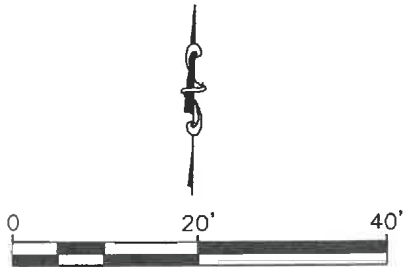
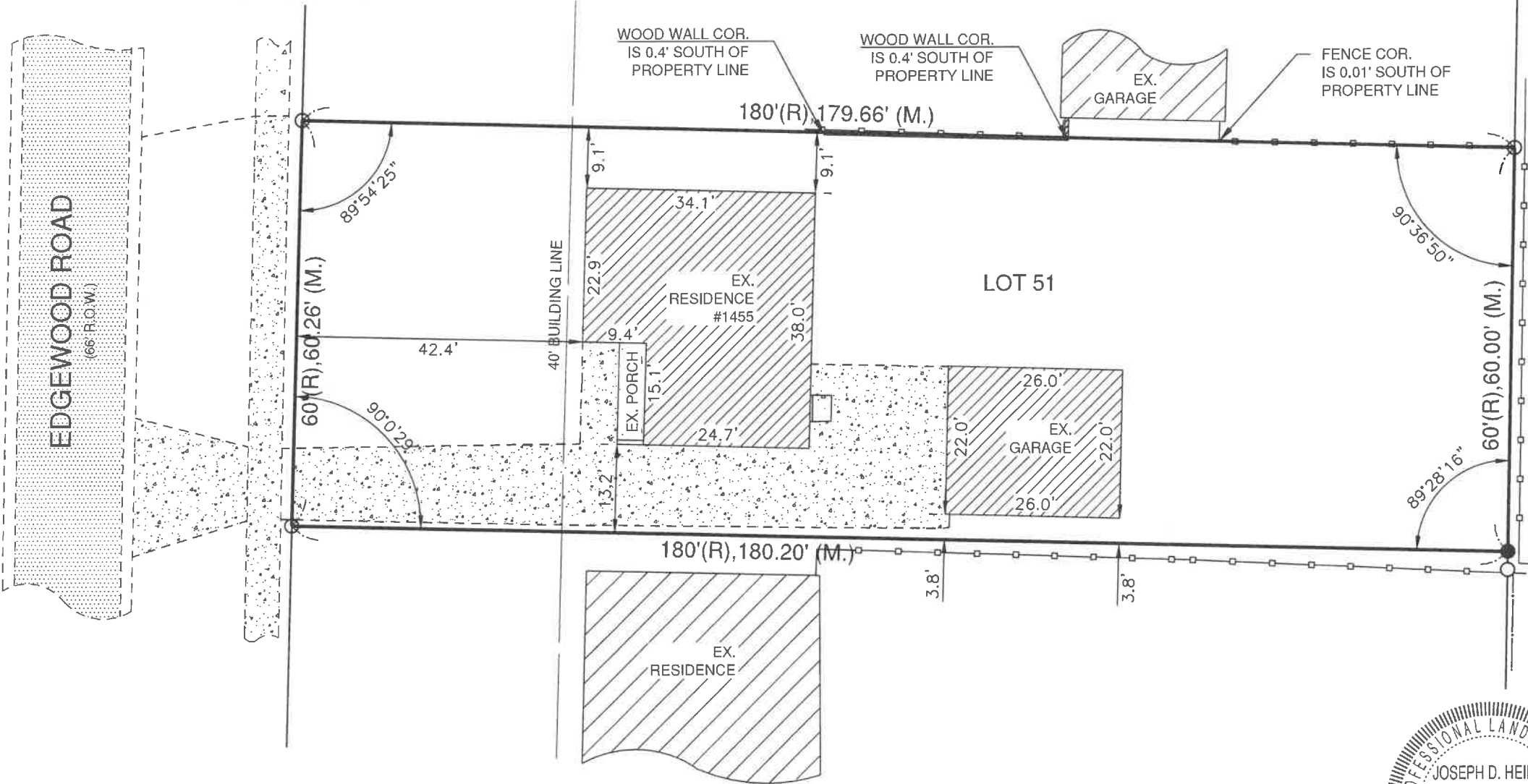
Photo No. 1 – Existing basement and first floor framing (looking east).

PLAT OF SURVEY

PROPERTY DESCRIBED AS:

LOT 51 IN HIELD'S LAKE FOREST RAVINE PARK, A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED JULY 8, 1924, AS DOCUMENT 242539, IN BOOK "N" OF PLATS, PAGE 15, IN LAKE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 1455 N. EDGEWOOD RD.
P.I.N.: 12-28-106-010



Scale 1" = 20'

LEGEND

- EX. BOARD ON BOARD FENCE
- EX. CHAINLINK FENCE
- — INDICATES IRON PIPE FOUND
- — INDICATES IRON PIPE SET
- EXISTING CONCRETE DRIVE/SIDEWALK/PORCH
- EXISTING BITUMINOUS PAVEMENT
- (R) — RECORD DIMENSION
- (M) — MEASURED DIMENSION

STATE OF ILLINOIS
COUNTY OF KANE

I, Joseph D. Heinz, Illinois Professional Land Surveyor No. 3551, do hereby certify that I have surveyed the above described property and that the plat hereon drawn correctly represents said survey. I also certify that this professional service conforms to the current Illinois minimum standards for a boundary survey.

Dated at East Dundee, Illinois
this 25TH day of JANUARY, 20 19 A.D.



Illinois Professional Land Surveyor No. 3551
License Expires 11-30-20

Design Firm Registration No. 184-002048

Note: Refer to the recorded Plat of Subdivision in the Recorder's Office of LAKE County, Illinois for any easement provisions and covenants, if any, within the subject subdivision, which may effect these lots.

FIELD WORK COMPLETED ON 01-24-2019

GERALD L. HEINZ & ASSOCIATES, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
206 NORTH RIVER STREET
EAST DUNDEE, ILLINOIS 60118

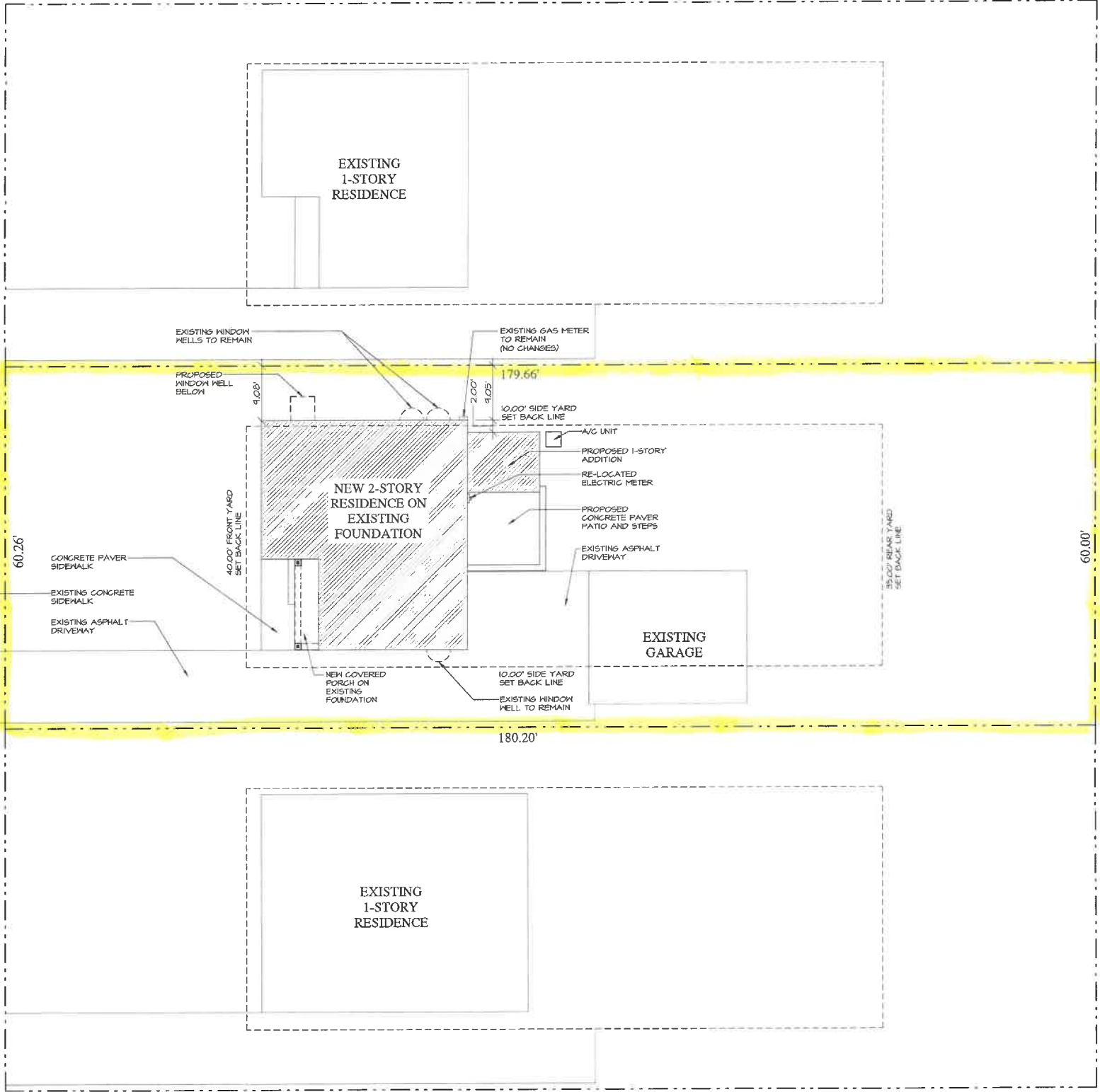
PLAT OF SURVEY

1455 N. EDGEWOOD ROAD
LAKE FOREST, IL

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DATE: 01/25/2019
JOB NO.: S-1830
SCALE: 1" = 20'
SHEET 1 OF 1

EDGEWOOD ROAD



LOT AREA:	10,800 S.F.
PROPOSED BULK	
FIRST FLOOR:	1,274.72 S.F.
SECOND FLOOR:	1,203.21 S.F.
ATTIC:	0.00 S.F.
GARAGE:	572.00 S.F.
SUBTOTAL:	3,049.93 S.F.
GARAGE ALLOWANCE:	-572.00 S.F.
TOTAL:	2,477.93 S.F.
MAX. BULK ALLOWED:	2,812.00 S.F.

SQUARE FOOTAGE	
FIRST FLOOR:	1,274.72 S.F.
SECOND FLOOR:	1,154.72 S.F.
TOTAL:	2,429.44 S.F.
GARAGE:	572.00 S.F.

CHILD'S RESIDENCE
REMODEL/ADDITION

1455 EDGEWOOD ROAD
LAKE FOREST, IL 60045

REVIEW	04/19/2022
REVIEW	04/25/2022
REVIEW	05/01/2022
REVIEW	06/03/2022
REVIEW	06/23/2022

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
LICENSE #146604

ASPECT DESIGN INC.
ARCHITECTS

PROJECT #	AD21186
DRAWN BY:	COM/MB
1455 EDGEWOOD ROAD SITE PLAN	
AR 01	# 1 OF 12 TOTAL SHEETS



1 FRONT ELEVATION
AR 03

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

© COPYRIGHT 2022

REVIEW ONLY-NOT FOR CONSTRUCTION

CHILDS RESIDENCE REMODEL/ADDITION		1455 EDGEWOOD ROAD LAKE FOREST, IL 60045											
<div>ASPECT DESIGN INC. ARCHITECTS</div>													
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM @ ASPECT_IL_ARCH		<table><tr><td>REVIEW</td><td>04/19/2022</td></tr><tr><td>REVIEW</td><td>04/26/2022</td></tr><tr><td>REVIEW</td><td>05/01/2022</td></tr><tr><td>REVIEW</td><td>06/03/2022</td></tr><tr><td>REVIEW</td><td>06/23/2022</td></tr></table>		REVIEW	04/19/2022	REVIEW	04/26/2022	REVIEW	05/01/2022	REVIEW	06/03/2022	REVIEW	06/23/2022
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REVIEW	06/23/2022												
PROJECT # AD21186 DRAWN BY: COM/MB 1455 EDGEWOOD ROAD EXTERIOR ELEVATIONS		AR 03 # 3 OF 12 TOTAL SHEETS											



1
AR 12

FRONT ELEVATION (OVERLAY)

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER. (ARCH-D)

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REVIEW ONLY-NOT FOR CONSTRUCTION

PROJECT #
AD21186

DRAWN BY:
COM/MB

1455 EDGEWOOD ROAD
EXTERIOR ELEVATIONS

AR 12

3 OF 12 TOTAL SHEETS

ASPECT DESIGN INC.
ARCHITECTS

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REVIEW

04/19/2022

REVIEW

04/26/2022

REVIEW

05/01/2022

REVIEW

06/09/2022

REVIEW

06/23/2022

CHILDS RESIDENCE
REMODEL/ADDITION

1455 EDGEWOOD ROAD
LAKE FOREST, IL 60045

CHILDS RESIDENCE
REMODEL/ADDITION

1455 EDGEWOOD ROAD
LAKE FOREST, IL 60045

REVIEW	04/19/2022
REVIEW	04/25/2022
REVIEW	05/31/2022
REVIEW	06/03/2022
REVIEW	06/23/2022

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MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL LICENSE #180804

ASPECT DESIGN INC.
ARCHITECTS

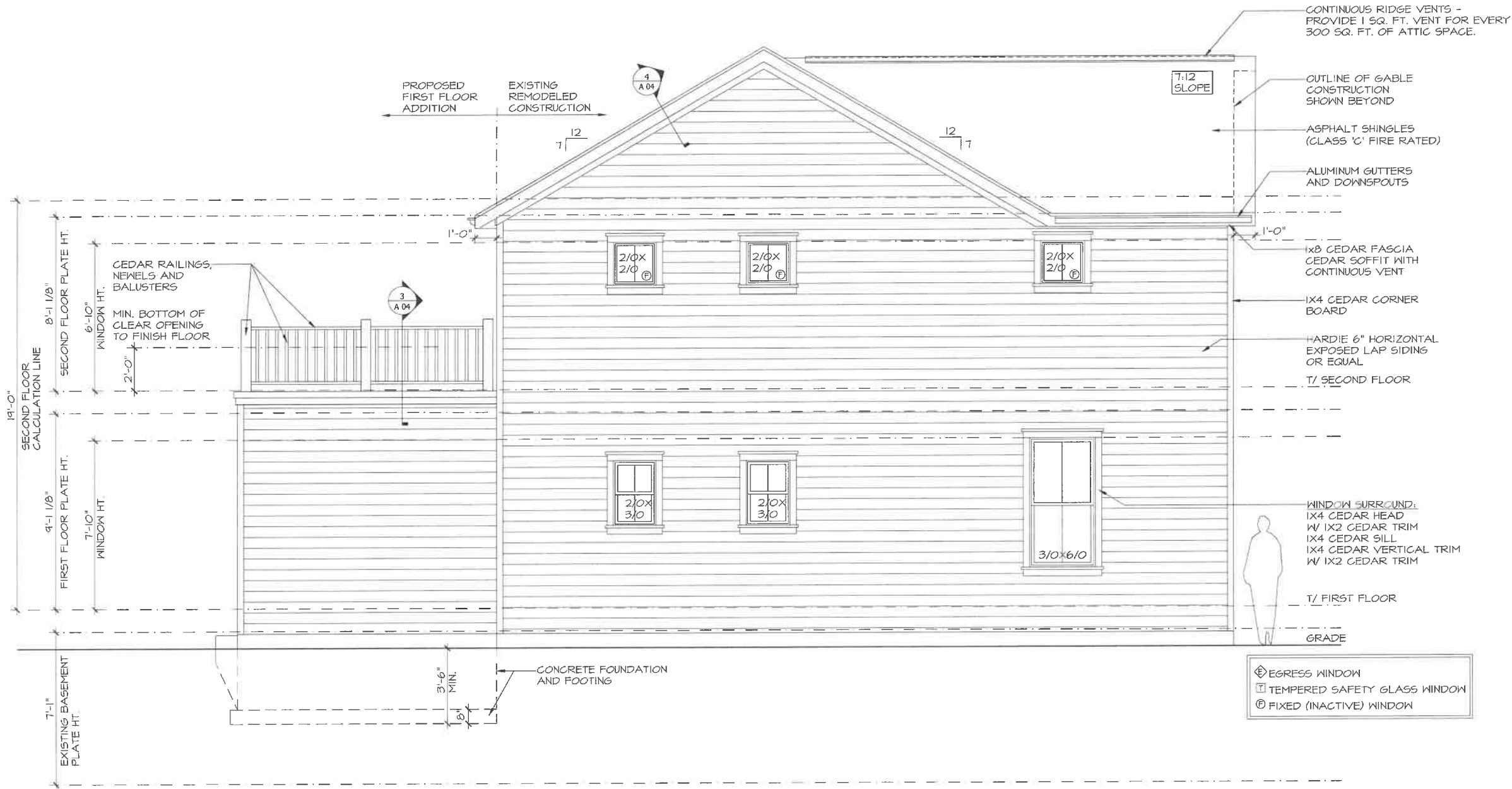
PROJECT # AD21186
DRAWN BY: COM/MB

1455 EDGEWOOD ROAD
EXTERIOR ELEVATIONS

AR 06

6 OF 12 TOTAL SHEETS

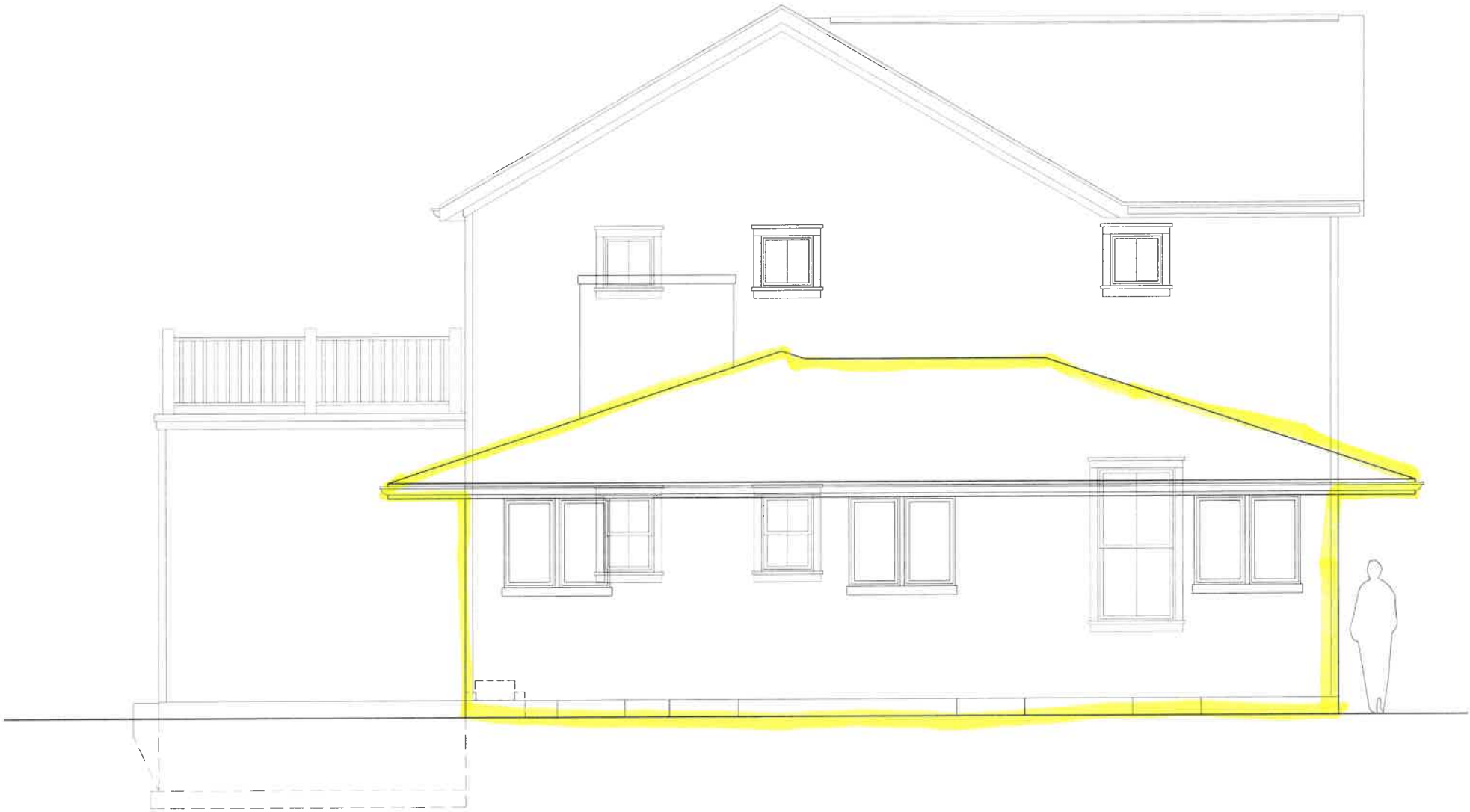
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1
AR 06

LEFT ELEVATION

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER. (ARCH-D)



1 LEFT ELEVATION (OVERLAY)
AR 15

SCALE: N.T.S.

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26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
WWW.ASPECTDESIGNINC.COM
TEL: 847-457-2500
IL ARCHITECT #14-049491



PROJECT # AD211186
DRAWN BY: COM/MB
1455 EDGEWOOD ROAD
EXTERIOR ELEVATIONS

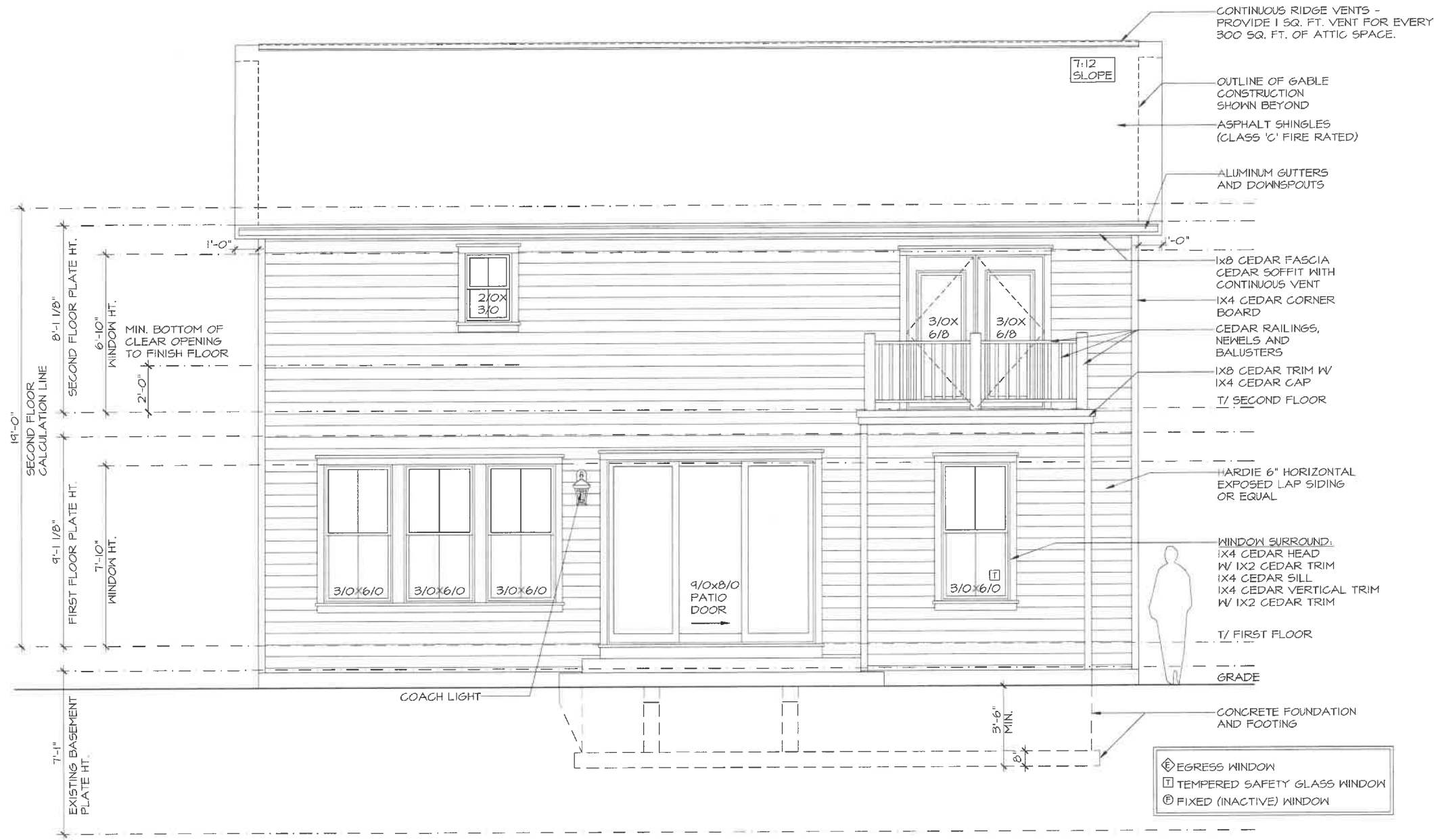
AR 15

6 OF 12 TOTAL SHEETS

REVIEW 04/19/2022
REVIEW 04/20/2022
REVIEW 05/31/2022
REVIEW 06/03/2022
REVIEW 06/21/2022

CHILDS RESIDENCE
REMODEL/ADDITION

1455 EDGEWOOD ROAD
LAKE FOREST, IL 60045



1 REAR ELEVATION
AR 05

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<div>ASPECT DESIGN INC. ARCHITECTS</div> <div>126575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 14-0004</div>			
REVIEW	04/19/2022	REVIEW	04/26/2022
REVIEW	05/01/2022	REVIEW	06/07/2022
REVIEW	06/22/2022	REVIEW	06/22/2022
PROJECT # AD21186		DRAWN BY: COM/MB	
1455 EDGEWOOD ROAD EXTERIOR ELEVATIONS		AR 05	
# 5 OF 12 TOTAL SHEETS			



1 REAR ELEVATION (OVERLAY)
AR 14

SCALE: N.T.S.

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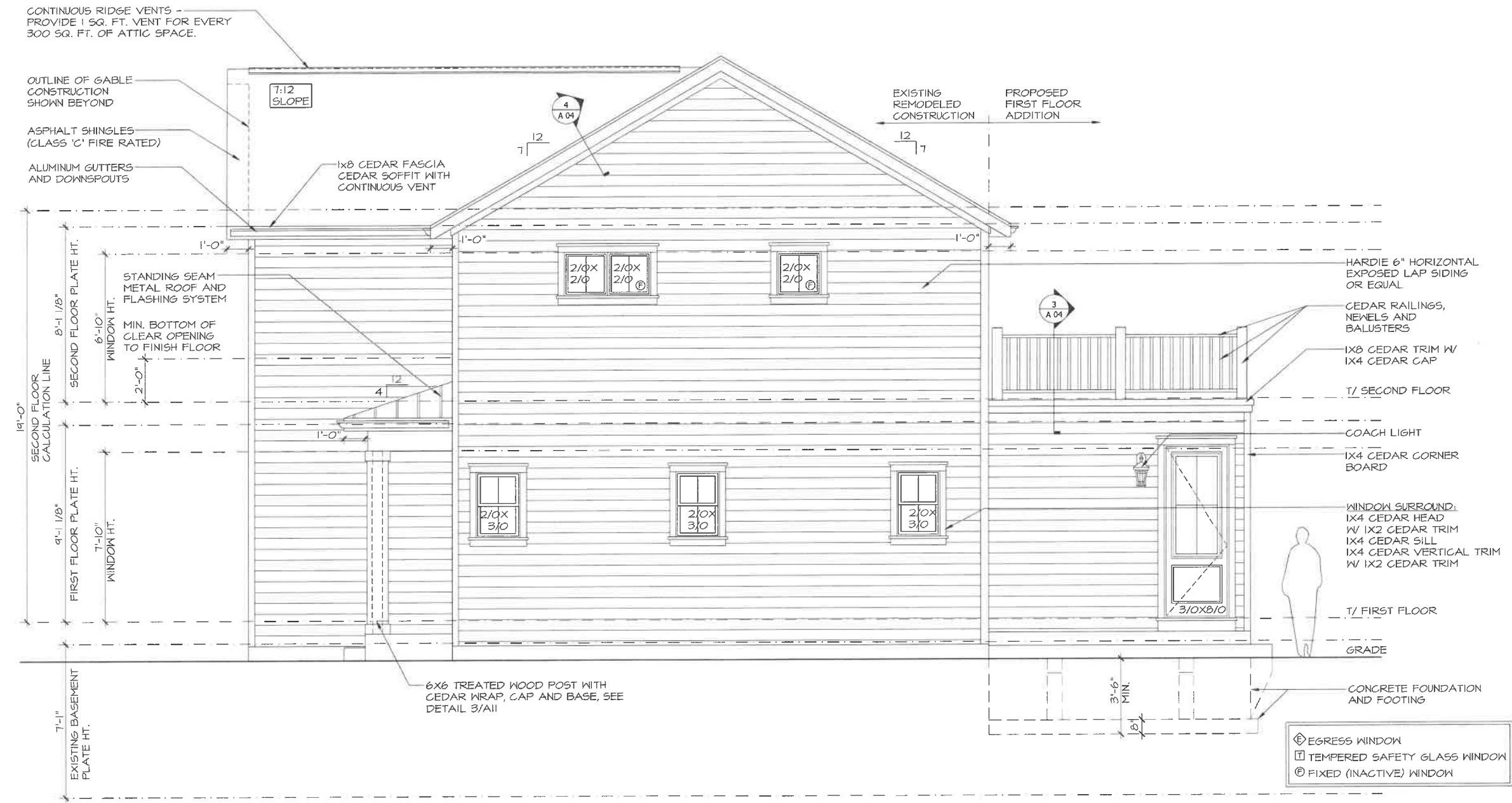
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PROJECT # AD21186		CHILDS RESIDENCE REMODEL/ADDITION	
DRAWN BY: COM/MB		1455 EDGEWOOD ROAD LAKE FOREST, IL 60045	
1455 EDGEWOOD ROAD EXTERIOR ELEVATIONS			
AR 14			
# 5 OF 12 TOTAL SHEETS			

ASPECT DESIGN INC. ARCHITECTS

12575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
LAKE FOREST, IL 60045

REVIEW	04/19/2022
REVIEW	04/26/2022
REVIEW	05/31/2022
REVIEW	06/09/2022
REVIEW	06/23/2022



1 RIGHT ELEVATION
AR 04

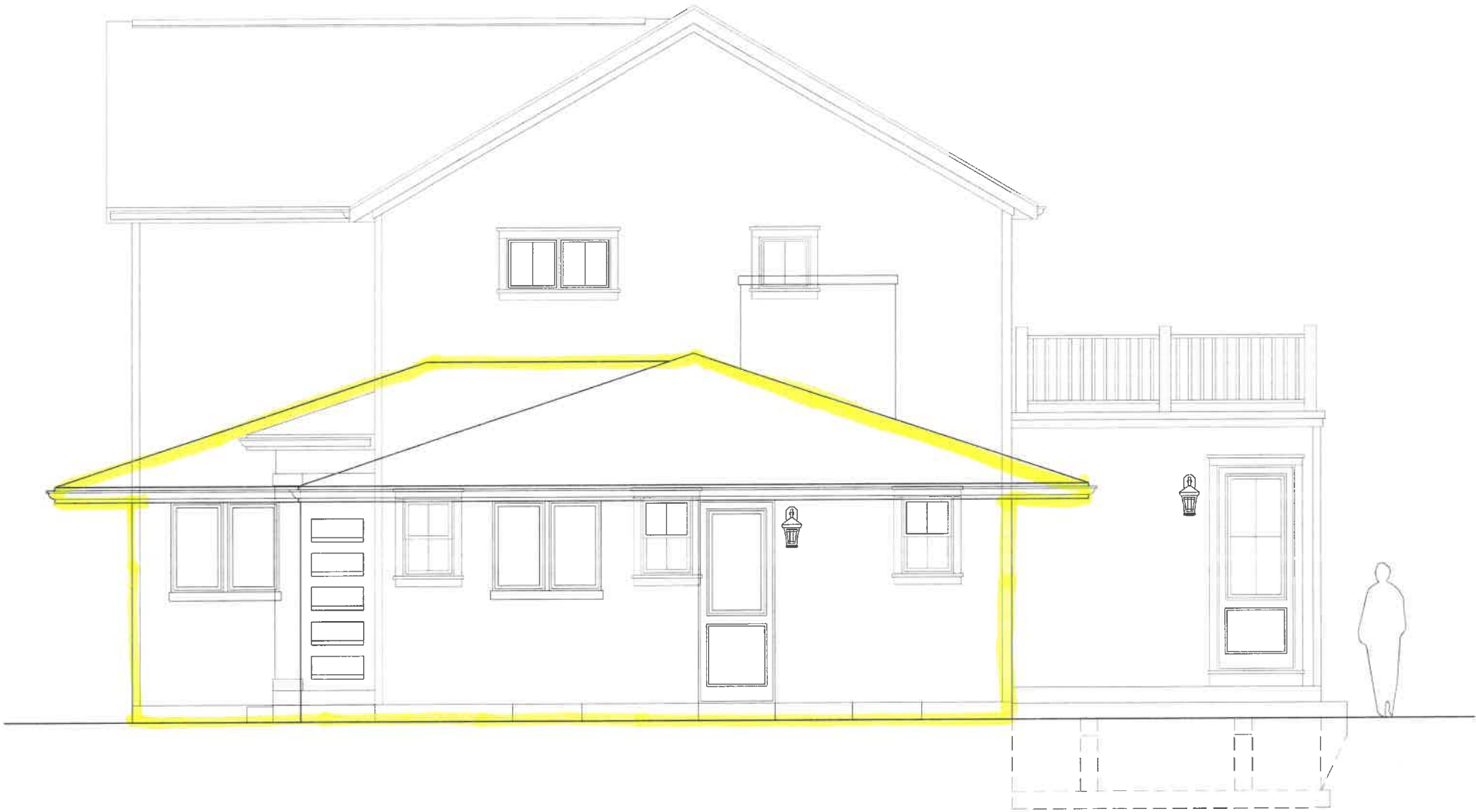
SCALE: N.T.S.

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CHILDS RESIDENCE REMODEL/ADDITION		1455 EDGEWOOD ROAD LAKE FOREST, IL 60045													
<table><tr><td>REVIEW</td><td>04/19/2022</td></tr><tr><td>REVIEW</td><td>04/20/2022</td></tr><tr><td>REVIEW</td><td>05/01/2022</td></tr><tr><td>REVIEW</td><td>06/03/2022</td></tr><tr><td>REVIEW</td><td>06/23/2022</td></tr></table>				REVIEW	04/19/2022	REVIEW	04/20/2022	REVIEW	05/01/2022	REVIEW	06/03/2022	REVIEW	06/23/2022		
REVIEW	04/19/2022														
REVIEW	04/20/2022														
REVIEW	05/01/2022														
REVIEW	06/03/2022														
REVIEW	06/23/2022														
<table><tr><td colspan="2">26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM J. J. JENSEN ARCHITECT</td></tr><tr><td>PROJECT #</td><td>AD21186</td></tr><tr><td>DRAWN BY:</td><td>COM/MB</td></tr><tr><td colspan="2">1455 EDGEWOOD ROAD EXTERIOR ELEVATIONS</td></tr><tr><td colspan="2">AR 04</td></tr><tr><td colspan="2"># 4 OF 12 TOTAL SHEETS</td></tr></table>				26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM J. J. JENSEN ARCHITECT		PROJECT #	AD21186	DRAWN BY:	COM/MB	1455 EDGEWOOD ROAD EXTERIOR ELEVATIONS		AR 04		# 4 OF 12 TOTAL SHEETS	
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM J. J. JENSEN ARCHITECT															
PROJECT #	AD21186														
DRAWN BY:	COM/MB														
1455 EDGEWOOD ROAD EXTERIOR ELEVATIONS															
AR 04															
# 4 OF 12 TOTAL SHEETS															



1
AR 13

RIGHT ELEVATION (OVERLAY)

SCALE: N.T.S.

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PROJECT # AD21186		CHILDS RESIDENCE REMODEL/ADDITION	
DRAWN BY: COM/MB		1455 EDGEWOOD ROAD LAKE FOREST, IL 60045	
1455 EDGEWOOD ROAD EXTERIOR ELEVATIONS			
AR 13			
# 4 OF 12 TOTAL SHEETS			

ASPECT DESIGN INC.
ARCHITECTS

126575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
LAKE FOREST, IL 60045

REVIEW	04/19/2022
REVIEW	04/26/2022
REVIEW	05/01/2022
REVIEW	06/03/2022
REVIEW	06/23/2022





1
AR 16

EXISTING STREETSCAPE / OVERLAY

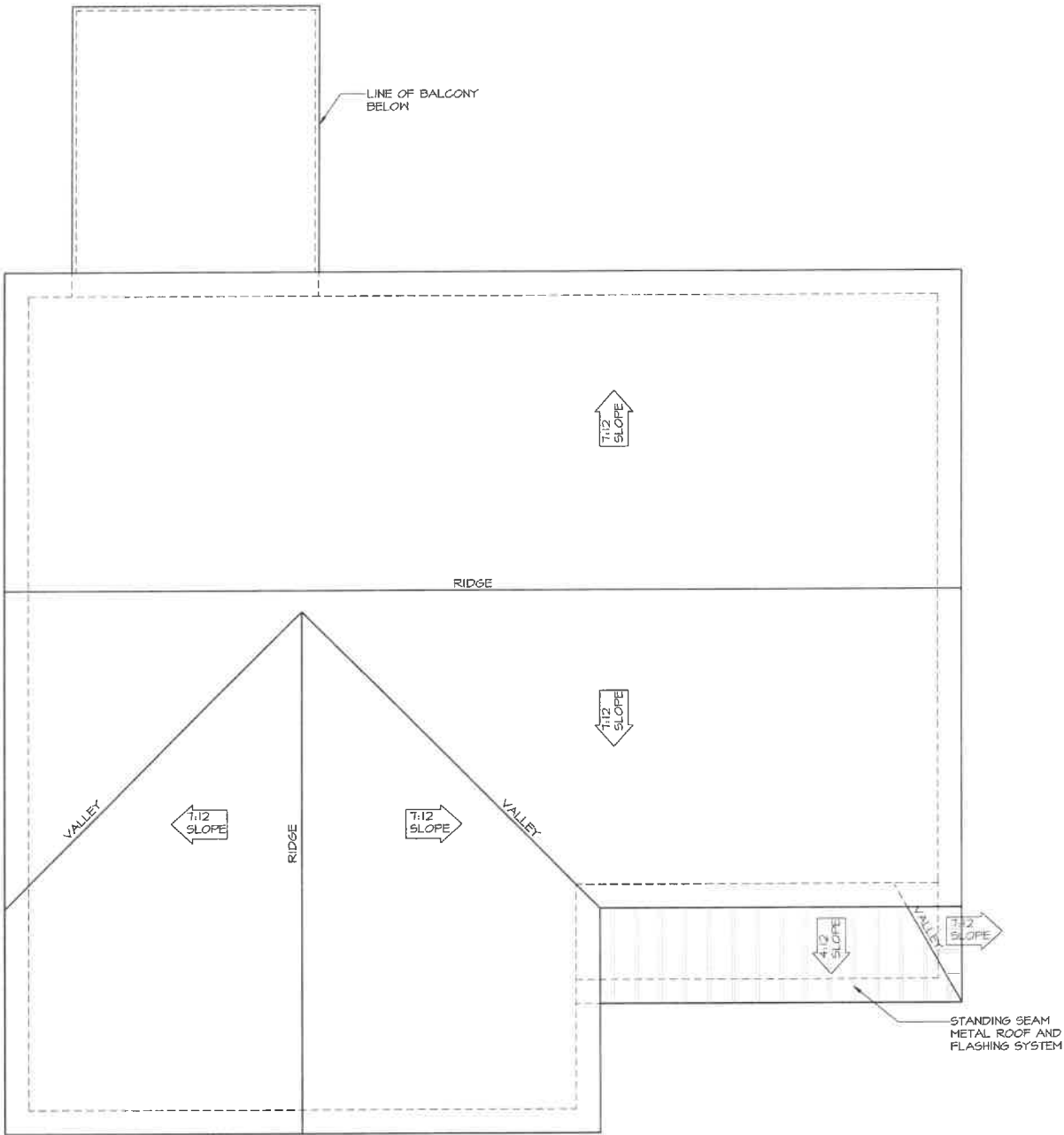
(WEST)
SCALE: 3/16"=1'-0"

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PROJECT #	AD21186	DATE	04/19/2022
DRAWN BY:	COM/MB	REVIEW	04/26/2022
1455 EDGEWOOD ROAD EXTERIOR ELEVATION		REVIEW	05/11/2022
AR 16		REVIEW	06/07/2022
# 6 OF 12 TOTAL SHEETS		REVIEW	06/23/2022



1
AR 10

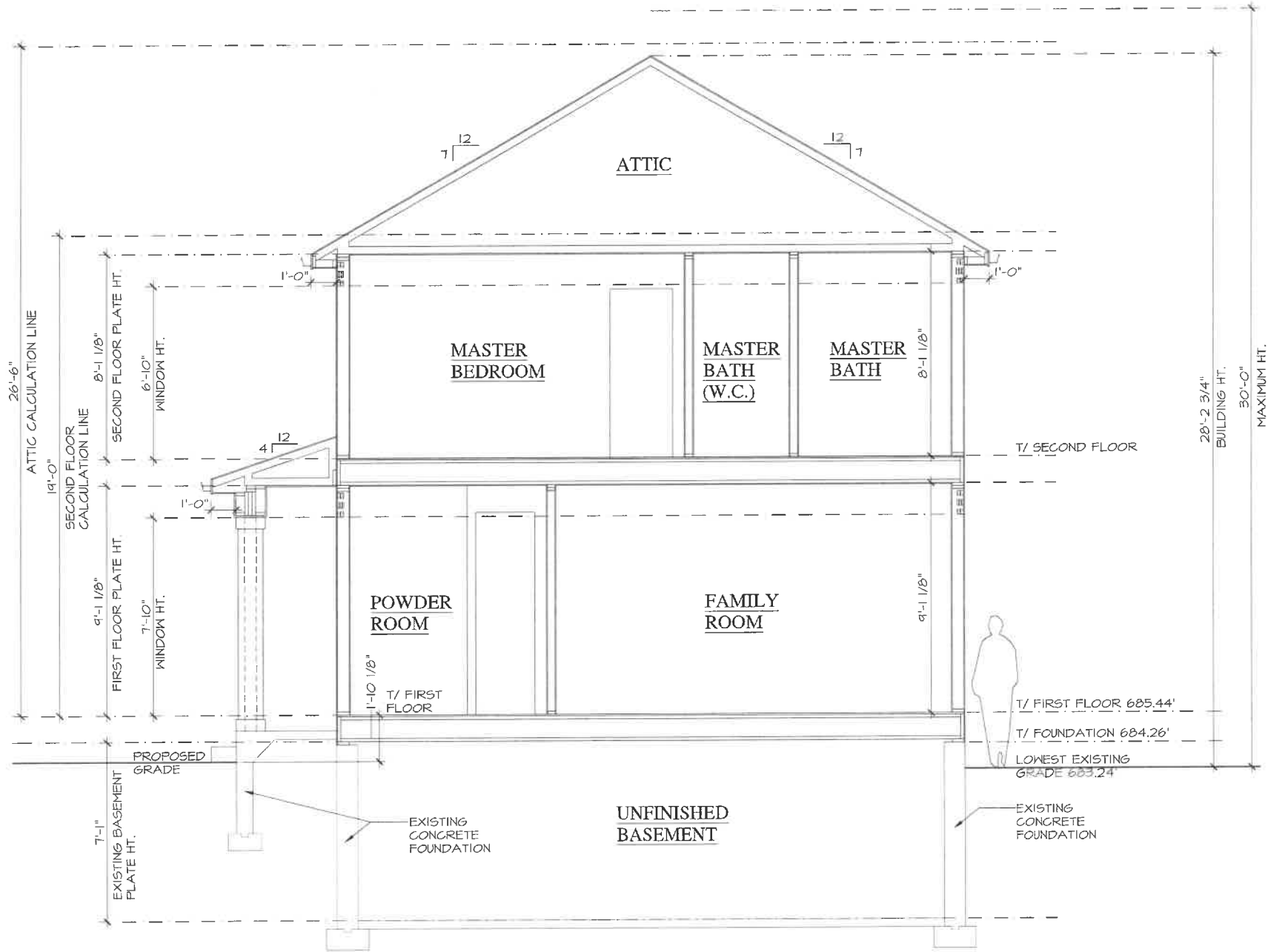
ROOF PLAN

SCALE: N.T.S.

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DRAWN BY: COM/MB		1455 EDGEWOOD ROAD ROOF PLAN			
AR 10		# 10 OF 12 TOTAL SHEETS			
ASPECT DESIGN INC. ARCHITECTS		26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM LAKE FOREST, IL 60045		REVIEW REVIEW REVIEW REVIEW	
				04/19/2022 04/26/2022 05/31/2022 06/03/2022 06/21/2022	



1
AR 11

BUILDING SECTION

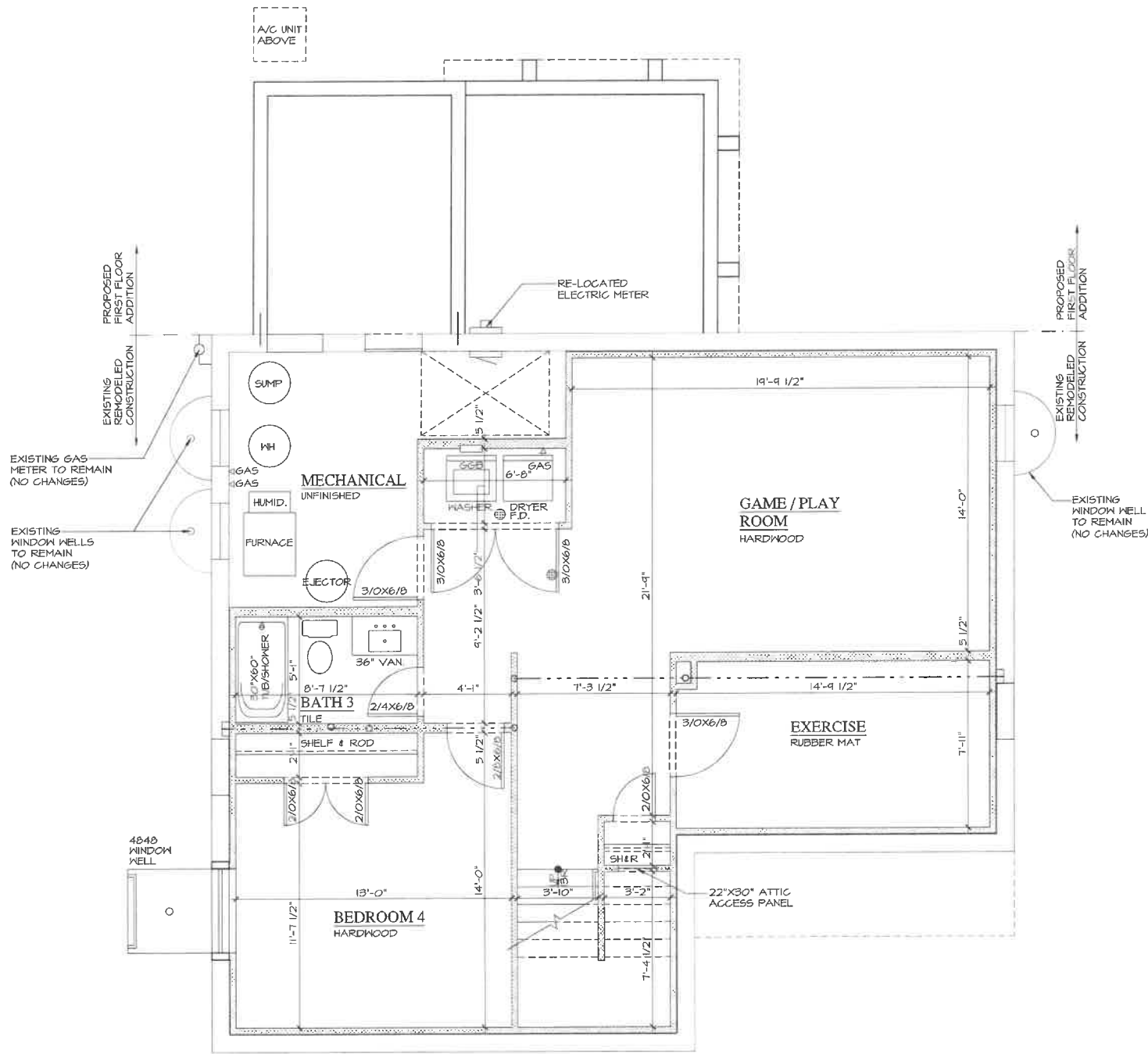
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PROJECT #	AD21186	DATE	04/19/2022
DRAWN BY:	COM/MB	REVIEW	04/26/2022
1455 EDGEWOOD ROAD BUILDING SECTION		REVIEW	05/31/2022
AR 11		REVIEW	06/03/2022
# 11 OF 12 TOTAL SHEETS		REVIEW	06/23/2022



1
AR 07

FINISHED BASEMENT PLAN

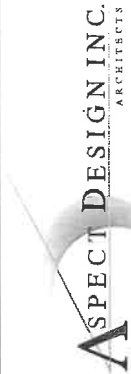
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MAIN: 847-457-2500
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IL LICENSE #14-06004



PROJECT # AD21186
DRAWN BY: COM/MB
1455 EDGEWOOD ROAD
FINISHED BASEMENT PLAN

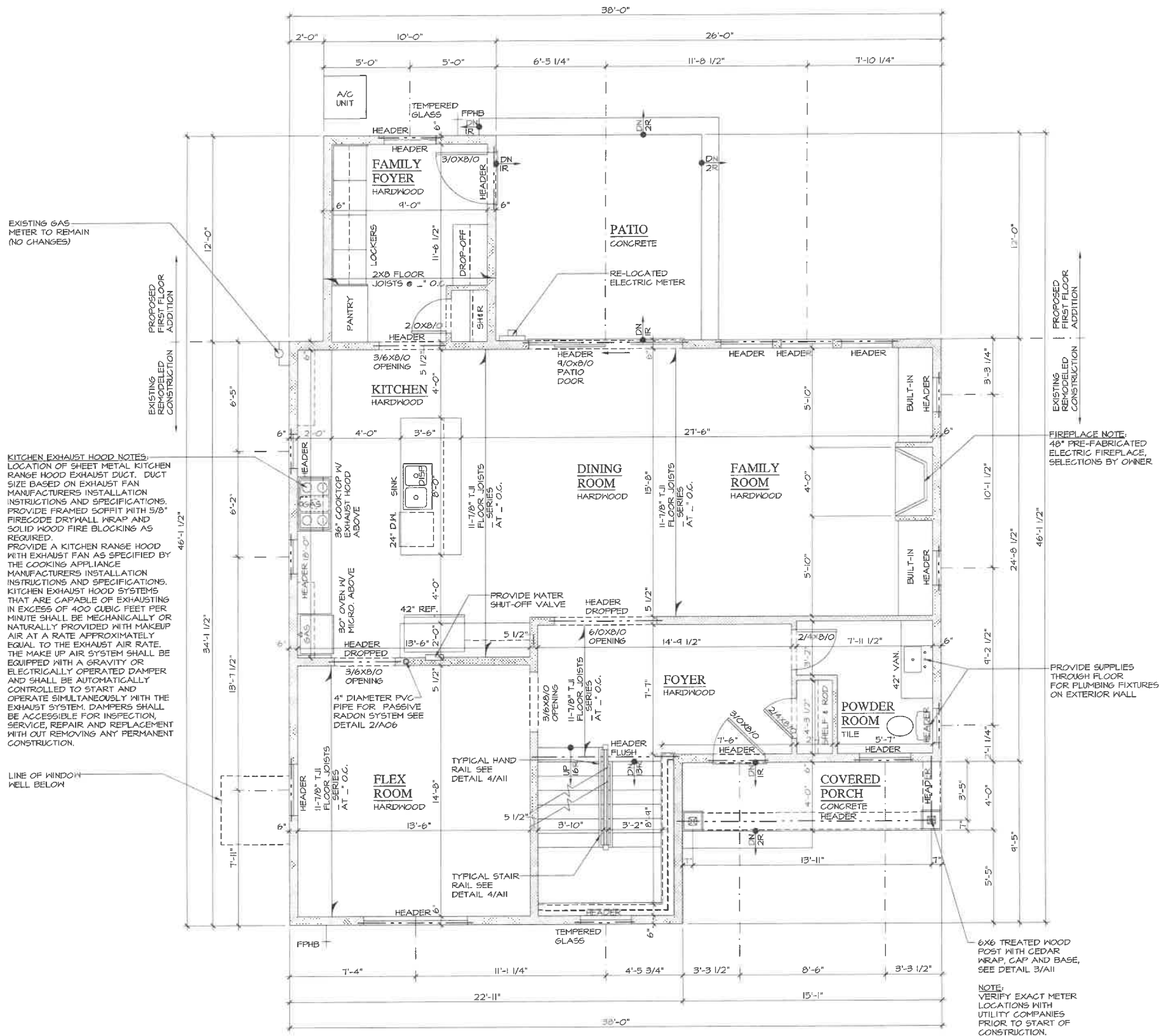
AR 07

7 OF 12 TOTAL SHEETS

REVIEW	04/19/2022
REVIEW	04/26/2022
REVIEW	05/01/2022
REVIEW	06/03/2022
REVIEW	06/21/2022

CHILDS RESIDENCE
REMODEL/ADDITION

1455 EDGEWOOD ROAD
LAKE FOREST, IL 60045



EXISTING GAS METER TO REMAIN (NO CHANGES)

KITCHEN EXHAUST HOOD NOTES:
LOCATION OF SHEET METAL KITCHEN RANGE HOOD EXHAUST DUCT, DUCT SIZE BASED ON EXHAUST FAN MANUFACTURERS INSTALLATION INSTRUCTIONS AND SPECIFICATIONS. PROVIDE FRAMED SOFFIT WITH 5/8" FIRECODE DRYWALL WRAP AND SOLID WOOD FIRE BLOCKING AS REQUIRED.
PROVIDE A KITCHEN RANGE HOOD WITH EXHAUST FAN AS SPECIFIED BY THE COOKING APPLIANCE MANUFACTURERS INSTALLATION INSTRUCTIONS AND SPECIFICATIONS. KITCHEN EXHAUST HOOD SYSTEMS THAT ARE CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE SHALL BE MECHANICALLY OR NATURALLY PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. THE MAKE UP AIR SYSTEM SHALL BE EQUIPPED WITH A GRAVITY OR ELECTRICALLY OPERATED DAMPER AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM. DAMPERS SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITH OUT REMOVING ANY PERMANENT CONSTRUCTION.

LINE OF WINDOW WELL BELOW

FIREPLACE NOTE:
48" PRE-FABRICATED ELECTRIC FIREPLACE, SELECTIONS BY OWNER

PROVIDE SUPPLIES THROUGH FLOOR FOR PLUMBING FIXTURES ON EXTERIOR WALL

6X6 TREATED WOOD POST WITH CEDAR WRAP, CAP AND BASE, SEE DETAIL 3/AII

NOTE:
VERIFY EXACT METER LOCATIONS WITH UTILITY COMPANIES PRIOR TO START OF CONSTRUCTION.

1 FIRST FLOOR PLAN
AR 08

SCALE: N.T.S.

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CHILDS RESIDENCE REMODEL/ADDITION	
1455 EDGEWOOD ROAD LAKE FOREST, IL 60045	
REVIEW 04/19/2022	
REVIEW 04/20/2022	
REVIEW 05/11/2022	
REVIEW 06/03/2022	
REVIEW 06/23/2022	
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2200 WWW.ASPECTDESIGNINC.COM # 8 OF 12 TOTAL SHEETS	
PROJECT # AD21186	
DRAWN BY: COM/MB	
1455 EDGEWOOD ROAD FIRST FLOOR PLAN	
AR 08	

1455 EDGEWOOD ROAD
LAKE FOREST, IL 60045

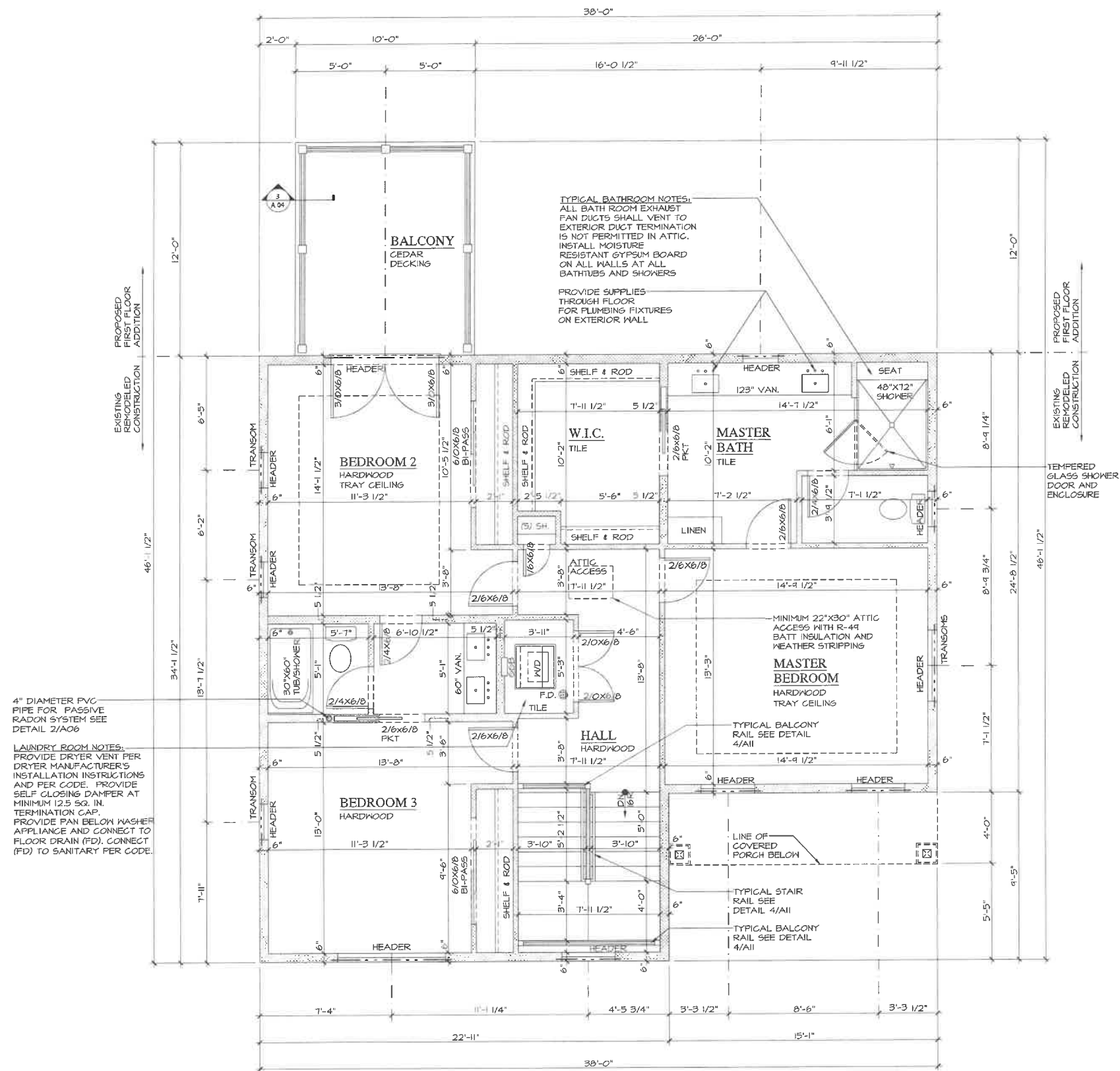
REVIEW	04/19/2022
REVIEW	04/26/2022
REVIEW	05/31/2022
REVIEW	06/03/2022
REVIEW	06/23/2022

IN INC.
ARCHITECTS

1455 EDGEWOOD ROAD
SECOND FLOOR PLAN

AR 09

9 OF 12 TOTAL SHEETS

1
AR 09

SCALE:N.T.S.

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PRIVATE RESIDENCE
1455 Edgewood Road
Lake Forest, IL 60045

REVISIONS

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

Drawn By: B Phillips

Approved By:

Date: June 24, 2022

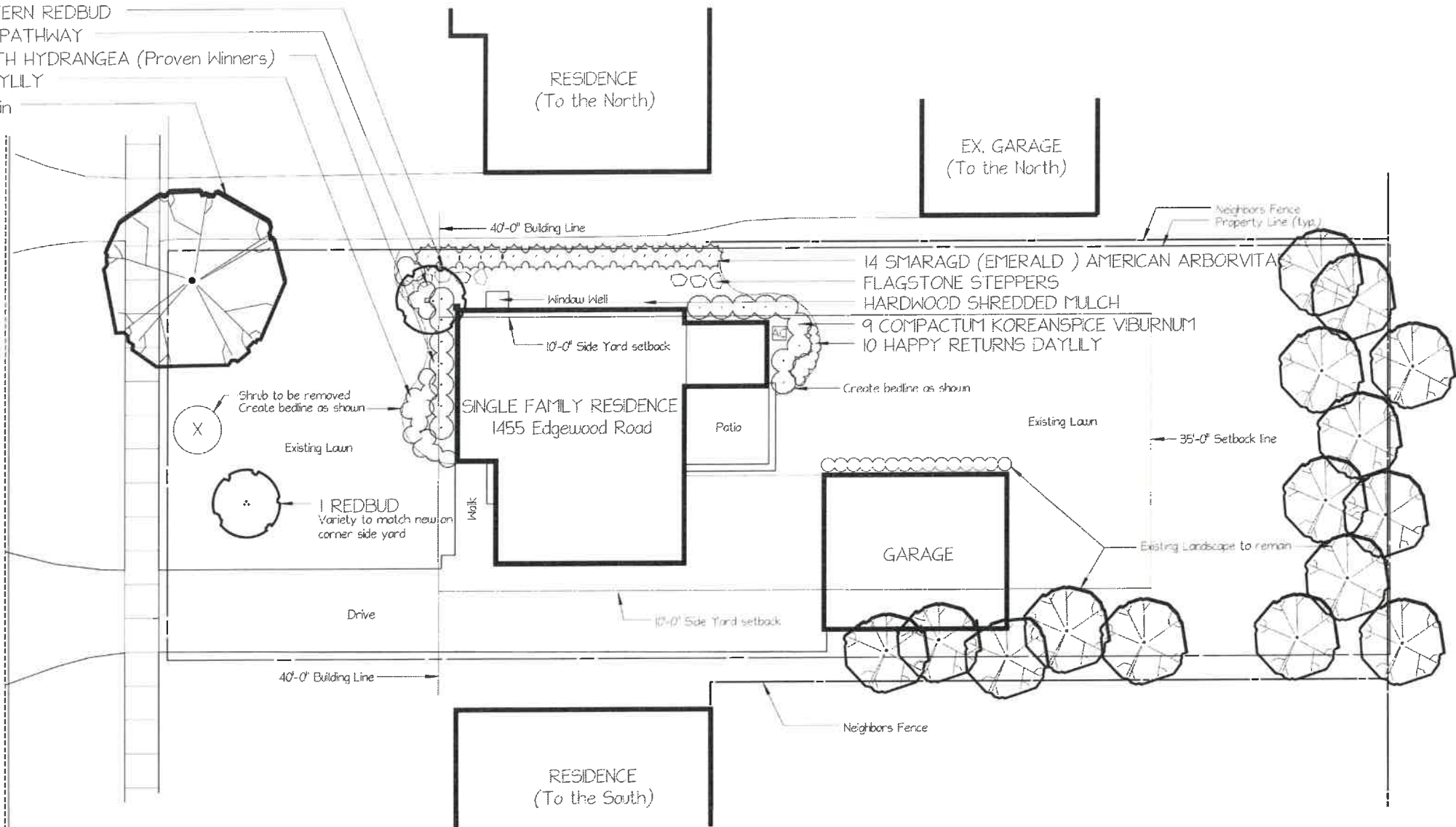
Project No.: 22-114

Scale: 1"=0' = 20'-0"



1 FOREST PANSY EASTERN REDBUD
FLAGSTONE STEPPER PATHWAY
7 INCREDIBALL® SMOOTH HYDRANGEA (Proven Winners)
15 HAPPY RETURNS DAYLILY
EXISTING TREE to remain
Tree protection fencing

EDGEWOOD ROAD
Two Way Traffic



Qty	Botanical Name	Common Name	Size/Condition
Trees			
2	Cercis canadensis 'Forest Pansy'	FOREST PANSY EASTERN REDBUD	6'
14	Thuja occidentalis 'Smaragd (Emerald)'	SMARAGD (EMERALD) AMERICAN ARBORVITAE	5'
Shrubs			
9	Viburnum carlesii 'Compactum'	COMPACTUM KOREANSPICE VIBURNUM	5 Gallon
7	Hydrangea arborescens 'Abetwo' pp#20,571, db#4166 (Proven Winners)	INCREDIBALL® SMOOTH HYDRANGEA (Proven Winners)	5 Gallon
Perennials and Annuals			
25	Hemerocallis 'Happy Returns'	HAPPY RETURNS DAYLILY	1 Gallon

MASTER PROPERTY LANDSCAPE PLAN
Scale: 1"=0' = 20'-0"



FOREST PANSY EASTERN REDBUD
PLANT PALETTE
Scale: N.T.S.



INCREDIBALL® SMOOTH HYDRANGEA



SMARAGD (EMERALD) AMERICAN ARBORVITAE



HAPPY RETURNS DAYLILY



COMPACTUM KOREANSPICE VIBURNUM

Customer Design and Layout Approval

I, _____ approve above drawing and its details to be executed at my property. Apex Landscaping, Inc. reserves the right to deviate from plan due to unknown and unmovable utilities, or structural reasons. Any changes to plan during construction outside of these reasons require a change order form signed by Apex Landscaping, Inc. and client prior to changes being made.

Signature _____

Date _____