

Agenda Item 3
1150 Highland Avenue
New Residence

Staff Report
Excerpt of April Meeting Minutes
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Petitioner's Response to Previous Board Comments
Description of Exterior Materials
Previous Site Plan
Current Site Plan
Landscape Plan and Alternate Site Plan
Previous East and South Elevations
Current East Elevation and Alternate East Elevation
Current South Elevation
Previous North and West Elevations
Current North Elevation
Current West Elevation
Color Renderings
Color Renderings – Alternate Design
Roof Plan
Building Section
First Floor Plan
Second Floor Plan
Preliminary Site Grading and Tree Removal Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1150 Highland Avenue

Continued consideration of a request for approval of a new single family residence and attached garage on a vacant lot. Approval of a conceptual landscape plan and overall site plan is also requested.

Property Owner: US First Seria One LLC, (Nenad Zecevic, 100%).

Project Representative: Alan Leskiv, architect

Staff Contact: Jen Baehr, Planner

Summary of Request

This is a request for approval of a new single family residence and attached garage on a vacant lot. Board consideration of the overall site plan and conceptual landscape plan is also requested. The proposed residence is described as a Craftsman style home.

Activity on this Petition to Date

The Board considered this petition at the April 6, 2022 meeting and after discussion about various design aspects of the project, the Board continued the petition with direction to the petitioner to consider the comments offered by the Board and the neighbors, make refinements in response to the comments and provide additional information as requested. The Board offered the following direction.

- Revise the site plan to resolve the issues related to the functionality of the driveway and the location of the driveway in relation to the south property line.
- Provide an auto-turn study to demonstrate the functionality of the driveway configuration.
- Reduce the width of the home to provide sufficient space for drainage and vegetation on the north and south sides of the home.
- Modify the configuration of the garages to be sensitive to the neighboring property to the south and to follow more closely the garage placement along the streetscape.
- Eliminate the dormer on the south elevation consistent with the revised plans presented at the meeting.
- Add stone along the base of the home on the south and west elevations consistent with the revised plans presented at the meeting.
- Refine the roof types to more fully align with the Craftsman style of the home. Consider replacing the hip roof forms with gable roof forms.
- Consider eliminating the secondary gable roof form on the east side of the garage.
- Modify the front door to be more consistent with the Craftsman style of the home.

The petitioner has revised the plans as follows.

- The width of the two-car garage was reduced to provide additional space for drainage and vegetation on the south side of the home.
- The dormer on the south elevation was eliminated.
- Stone was added to base of the home on the south and west elevations.

- The hip roof forms were replaced with gable roof forms.
- A gable roof form was added to the north side of the front elevation.
- The secondary gable roof form on the front of the two-car garage was eliminated.
- The front door was modified to be more in keeping with the Craftsman style of the home.
- The landscape plan was revised to include plantings along the south side of the driveway.
- In addition to the currently proposed plan, an alternate plan is provided reflecting a front facing two-car garage and modified driveway configuration for the Board's consideration.

Portions of the following information is repeated from the April staff report.

Description of Property

This property is located on the west side of Highland Avenue, between Everett and Old Elm Roads. The surrounding established neighborhood contains modest size homes of varying architectural styles mostly built in the 1980s and 1990s. The parcel that is the subject of this request totals 14,975 square feet and as noted above, is vacant, one of the few lots in the subdivision that was never developed.

Review and Evaluation of Applicable Standards

An evaluation of the project based on the applicable standards is offered below for the Board's consideration.

Site Plan - This standard can be met.

The residence is sited generally at the center of the property, between the two side property lines and. The proposed residence faces east, toward the street. The home has an attached single car and an attached two-car garage. In the currently proposed plan, the single car garage is front facing and the two-car garage faces south. The previously proposed plans reflected the driveway, at its closest point, approximately 1 foot and 6 inches from the south property line. The petitioner reduced the width of the two-car garage by 1 foot and 6 inches. The driveway in front of the garage was reduced from 25 feet to 24 feet wide. With these modifications, the driveway as currently proposed, based on the dimensions provided on the petitioner's site plan, is approximately 4 feet and 5 inches away from the south property line.

In the alternate plan provided by the petitioner, and included in the Board's packet, the two-car garage faces east, toward the street. Although front facing garages are generally discouraged, a front facing garage is not unusual for this neighborhood. During the April meeting, concerns were raised by the adjacent neighbor to the south about the proximity of the garages and driveway to the property line and their home and backyard. In the alternate plan, the two-car garage would no longer face the neighboring property and the driveway would be approximately 14 feet and 5 inches away from the south property line allowing space for drainage and landscaping.

During the April meeting, the Board questioned whether the driveway as proposed was functional, whether there was adequate space for vehicles to back out of the driveway without encroaching on the limited space between the driveway and the property line.

Although an auto-turn study from an engineer was not provided, the petitioner's architect indicated vehicle movement on the revised site plan included in the Board's packet. There are discrepancies

between the width of the driveway as shown on the proposed various plans in the packet. The site plan shows the width of the driveway as 24 feet, and plan with the vehicles indicated shows the width of the driveway as 24 feet and 6 inches. The material submitted does not appear to include enough information to determine whether the driveway for the side load garage is functional. It is important that the driveway be adequately sized given the limited space on the south side of the home otherwise, it is likely that future homeowners may want to extend the hardscape surface all the way to the property line.

- Staff recommends the alternate plan, with the front load two-car garage for functionality and to minimize impacts to the neighboring property to the south by providing space for drainage and landscaping. The alternate plan more closely aligns with the garage and driveway locations in the surrounding neighborhood.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 3,397 square feet is permitted on the site with an allowance of 576 square feet for a garage and 340 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and includes elements such as covered entries, dormers and screen porches.

- The proposed residence totals 3,207 square feet.
- The proposed garages total 693 square feet, and exceeds the allowance of 576 square feet for a garage therefore, the excess garage square footage is counted toward the overall square footage of the home.
- In addition to the above square footage, a total of 135 square feet of design elements are incorporated into the design of the house.
- In conclusion, the proposed residence totals 3,324 square feet and is 2 percent below the maximum allowable square footage for this property.

At its tallest peak, the residence as measured from the lowest point of existing grade, is 27 feet and 3 inches. The maximum height allowed for a residence on this size lot is 30 feet as measured from the lowest point of existing grade to the tallest roof peak.

Elevations – This standard is met.

The proposed residence reflects a primary two story mass with smaller single and one and a half story masses projecting on the east and south sides. The petitioner revised the plans to reflect gable roof forms consistently around the home. The roof forms were simplified by removing the dormer on the south elevation and secondary gable form on the front of the garage. Stone was added to the base of the home on the south and west elevation presenting a more cohesive appearance. A gable roof form was added to the north side of the front elevation, presenting a more balanced façade. The front door was modified to be more compatible with the Craftsman style of the home.

Type, color, and texture of materials – This standard is met.

The exterior of the house is primarily horizontal fiber cement siding, with stone along the base of the home. Asphalt shingle is proposed for the roof material. Wood windows with interior and exterior muntins are proposed. The brackets, porch columns, trim, fascia boards, rakeboards and soffits will be wood. Aluminum gutters and downspouts are proposed. The chimney will be stone with a clay chimney pot.

Consistent with past Board approvals, the stone along the base of the home shall be a minimum of 4 inches in depth and the depth shall be noted on the plans submitted for permit.

The proposed driveway is asphalt and the front walkway and rear patio are stone pavers.

The proposed color palette includes light blue siding, white trim, gray roof shingle, and white windows. The front door and the garage doors will be white. The petitioner provided color renderings to reflect the proposed color palette which are included in the Board's packet.

Landscaping - This standard can be met.

As currently proposed, a total of thirteen trees are proposed for removal. The trees proposed for removal consist of Ash, Bur Oak, Boxelder, and Silver Maple trees. Based on the species, size and condition of the trees proposed for removal, a total of 23 replacement inches will be required to be planted on site to the extent possible using good forestry practices. The total replacement inches required does not include replacement inches for low quality trees or trees in poor condition proposed for removal. Based on the preliminary engineering plan it appears that there may be some additional trees located near the front walkway, driveway and rear patio that are not currently shown as proposed for removal but will likely be impacted and if so, additional replacement inches will be required to be planted on the site.

The preliminary landscape plan reflects plantings around the foundation of the home and new shade, evergreen and ornamental trees. Proposed shade trees on the property include American Linden, European Beech, Ohio Buckeye, Tuliptree, Black Gum, American Hophornbeam and Redpointe Maple trees. The landscape plan also reflects Arborvitae and ornamental trees including Serviceberry, Redbud and Pear trees. The City Arborist does not recommend planting Pear trees because these trees are not thriving in the community, an alternate species should be selected. As currently proposed, the landscape plan satisfies the required replacement inches and the minimum landscape criteria for new construction.

The landscape plan was revised to add a row of Arborvitae along a portion of the south property line to provide some screening of the driveway and garage. The petitioner is proposing a 7 foot tall wood fence along a portion of the south property line.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request however staff has received contacts from neighboring property owners expressing interest in the petition. It is expected that they will provide testimony at the meeting.

Recommendations

Recommend approval of the alternate plan for the residence, attached garage, conceptual landscape and overall site plan based on the findings presented in this staff report and incorporating the Board's deliberations. Staff recommends approval subject to the following conditions of approval.

Conditions of Approval

1. The following shall be reflected on the plans submitted for permit.

- a. The site plan, driveway configuration and design of the home as reflected in the alternate plan provided to the Board.
2. The stone shall be a minimum of 4 inches in depth.
3. A fence shall be reflected on the site plan along the driveway and the engineering plan shall call out the measures being taken to direct stormwater runoff away from the neighboring property.
4. All modifications to the plans including the refinements noted above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
5. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The final landscape shall include, but not be limited to, the minimum landscaping standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. If the full amount of required replacement inches which totals 23 inches cannot be accommodated on site, a payment in lieu of on site plantings will be required before the issuance of a building permit to support plantings in the parkways in the neighborhood.
6. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices and properly direct drainage.
7. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist.
8. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
9. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

The City of Lake Forest
Building Review Board
Proceedings of April 6, 2022 Meeting
EXCERPT

A regular meeting of the Lake Forest Building Review Board was held on Wednesday, April 6, 2022 at 6:30 p.m., at the Municipal Services Building, 800 Field Drive, Lake Forest, Illinois.

Building Review Board members present: Chairman Jim Diamond and Board members, Joanne Bluhm, John Looby, and Scott Renken

Building Review Board members absent: Sally Downey, Timothy G. Franzen and Richard Walther

Staff present: Catherine Czerniak, Director of Community Development, Jennifer Baehr, Planner

- 4. Consideration of a request for approval of a new residence on a vacant lot, a conceptual landscape plan, and overall site plan. The property is addressed as 1150 Highland Avenue.**
Property Owner: US First Seria One LLC, (Nenad Zecevic, 100%)
Project Representative: Alan Leskiv, architect

Chairman Diamond asked the Board members for any Ex Parte contacts or conflicts of interest. Hearing none, he invited a presentation from the petitioner.

Mr. Leskiv introduced the project and stated that a two-story residence with attached single and two car garages is proposed. He stated that the residence is sited in compliance with zoning setbacks. He noted that 13 trees are proposed for removal. He stated that the two car garage is side loaded to hide the double width garage door from the street. He stated that the single car garage is front facing but is set back from the street almost 90 feet. He presented a preliminary landscape plan and stated that a fence is proposed along the south property line to screen the driveway and garages from the neighboring home. He reviewed the elevations and stated that in response to the recommendations in the staff report the roof pitch was changed from 10:12 to 8:12, the dormer was eliminated on the south elevation, and the stone base continues around the home. He stated that the composite siding will be light blue, and the trim will be painted wood. He stated that the home is designed in the traditional Craftsman architectural style.

Ms. Baehr stated that the property is in an established neighborhood which was mostly built out in the 1980s and 1990s. She noted that the property is about a third of an acre and is irregular in shape with the property lines following the angle of the street. She stated that the proposed residence is described by the petitioner as a Craftsman style home adding that some elements of the home align with the chosen style, however the roof forms and pitches do not. She recommended further study and modification of the roof forms to align with the Craftsman style. She stated that the plans in the petitioner's presentation to the Board appear to address

concerns raised in the staff report about the dormer on the south elevation and the use of a consistent stone base. She stated that a number of low quality trees, in poor condition will be removed for the proposed construction. She noted replacement inches is required for the few healthy trees that will be removed. She pointed out that the siting of the house and driveway as proposed does not allow space for any landscaping along the property line to screen the driveway and garages. She recommended that at a minimum, a solid wood fence be installed along the property line for screening. She stated that a letter was received from a neighboring property owner expressing concern about drainage. She stated that prior to the issuance of any permits for construction on the site, drainage and grading plans prepared by a licensed engineer will be required and will be subject to review and approval by the City Engineer will review the plans before any building permits are issued.

Board member Bluhm agreed that the south facing dormer should be removed and the stone base should be carried around the house. She stated that the roof forms would benefit from further study and refinement but acknowledged that hip roofs are used on some Craftsman style homes. She stated support for the rafter tails on the gables. She pointed out that Craftsman style homes often have a very strong horizontal expression and suggested eliminating the secondary gable on the front of the garage.

Board member Renken commended the petitioner for making the changes in response to the staff report. He observed that lowering the roof pitches improves the appearance of the home. He agreed that with the current plan, a solid fence is necessary for screening because there is no space for landscaping. He confidence that the drainage concerns raised by the neighbor will be addressed as part of the City Engineer's review process. He questioned whether there is sufficient space to maneuver into and out of the garage. He suggested further study of the driveway. He suggested replacing the hip roof forms with gable style roofs to follow the Craftsman style. He stated that the front door does not appear to follow style of the home.

In response to a question from Board member Renken, Mr. Leskiv stated that the brick will be four inches thick.

Board member Looby agreed with the comments of the other Board members.

In response to questions from Board member Looby, Mr. Leskiv stated that there is one foot between the driveway and the south property, and the driveway is 23 feet wide and is functional.

Chairman Diamond pointed out that a fence along the south property line may be problematic for vehicles backing out of the garage given the narrow driveway. He suggested allowing enough space to plant shrubs instead of installing a fence. Hearing no further questions from the Board, he invited public testimony.

Mike Moebs, 1140 Highland Avenue, stated that he previously owned the property in the petition. He stated that there is a low spot at the southwest corner of the site adding that he attempted to correct the drainage issues. He expressed concern about the proposed tree removal noting that he previously treated the Ash trees on the property. He expressed

concern about the proposed location of the driveway and suggested that the driveway should be in the center of the property. He stated that he strongly opposes the petition as currently proposed.

Chairman Diamond invited a staff response to public testimony.

Ms. Baehr stated 13 trees are proposed for removal because they are in the footprint of the home and driveway. She stated that no tree removal is proposed at the rear of the property.

Ms. Czerniak confirmed that before any permits are issued for work on the site, detailed drainage and grading plans will be required. She noted that the preliminary engineering plan reflects a new storm sewer pipe connecting to the City storm sewer. She offered that the City Engineer could meet on site with the property owner and neighbors to discuss the drainage concerns. She stated that a driveway located within a foot of a property line is not recommended because it eliminates the opportunity for landscaping and may cause drainage issues with runoff impacting the neighboring property. She noted that a minimum setback of five feet from the property line is recommended. She acknowledged that a fence along the property line could be problematic given the limited back out area between the garage and the property line. She stated that an auto-turn study was not yet submitted for City review.

Board member Looby suggested that the petitioner work with the neighbor to install landscaping on their property, south of the driveway.

Chairman Diamond invited further public testimony.

Garth Huskey, 1166 Highland Avenue, expressed concern about drainage. He stated that there is some landscaping on his property, along the property line, but noted that additional plantings to screen the new home, will be very expensive. He expressed concern about the location of the driveway in relation to his home and backyard. He stated that side load garages are not common in the neighborhood. He pointed out that the proposed curb cut is directly across from an existing curb cut on the east side of the street. He questioned how snow will be removed from the small area in front of the garage, between the garage and the fence.

Hearing no further public testimony, Chairman Diamond invited the petitioner to respond to the questions and comments from the Board and the public.

Mr. Leskiv stated that the side load garage is proposed to minimize visibility from the street. He stated that the property owner is not interested in a front facing garage. He stated that the width of driveway access to a garage is required to be a minimum of 22 feet by Code and is 25 feet wide. He stated that a storm sewer is proposed along the south side of the property. He agreed to consider other options for the site plan.

Chairman Diamond stated that given the open items, a continuance of the petition is appropriate.

In response to a question from Board member Renken, Mr. Leskiv stated that the home cannot be shifted north because it will encroach into the setback due to the width of the home.

Board member Renken suggested consideration of reducing the size of the garage slightly to provide additional space for the driveway. He stated that at 22 feet, maneuvering vehicles into and out of the garage will be difficult. He stated that in his experience, a 24 foot wide garage apron and at least a three foot buffer between the driveway and the property line works well. He asked that consideration be given to refining the massing and roof forms to more closely follow the Craftsman style.

Chairman Diamond stated that the front door should be modified to reflect the Craftsman style. He invited a motion.

Board member Looby made a motion to continue the petition with direction to the petitioner to conduct further study and make modifications in response to the comments and concerns raised by the Board as follows.

1. Revise the site plan to resolve the issues related to the functionality of the driveway and the location of the driveway in relation to the south property line.
2. Reduce the width of the home to provide sufficient space for drainage and vegetation on the north and south sides of the home.
3. Modify the configuration of the garages to be sensitive to the neighbor to the south and to be consistent with the placement of garages in the neighborhood.
4. Eliminate the dormer on the south elevation.
5. Add a stone base to the south and west elevations.
6. Refine the roof forms to more fully align with the Craftsman style of the home. Consider replacing the hip roof forms with gables.
7. Eliminate the secondary gable roof form on the east side of the garage.
8. Modify the front door for consistency with the Craftsman style.

The motion was seconded by Board member Renken and approved by a vote of 4 to 0.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1150 Highland Avenue Owner(s) US First Seria One LLC (Nenad Zecevic 100%)
 Architect Alan Leskiv, architect Reviewed by: Jen Baehr
 Date 7/6/2022
 Lot Area 14975 sq. ft.

Square Footage of New Residence:

1st floor 1486 + 2nd floor 1721 + 3rd floor 0 = 3207 sq. ft.

Design Element Allowance = 340 sq. ft.

Total Actual Design Elements = 135 sq. ft. Excess = 0 sq. ft.

Garage 693 sf actual ; 576 sf allowance Excess = 117 sq. ft.

Garage Width 22' - 6" ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 3324 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 3397 sq. ft.

DIFFERENTIAL = -73 sq. ft.

Under Maximum

Allowable Height: 30 ft. Actual Height 27' - 3" ft.

NET RESULT:

73 sq. ft. is

2% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 340 sq. ft.

Front & Side Porches = 135 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

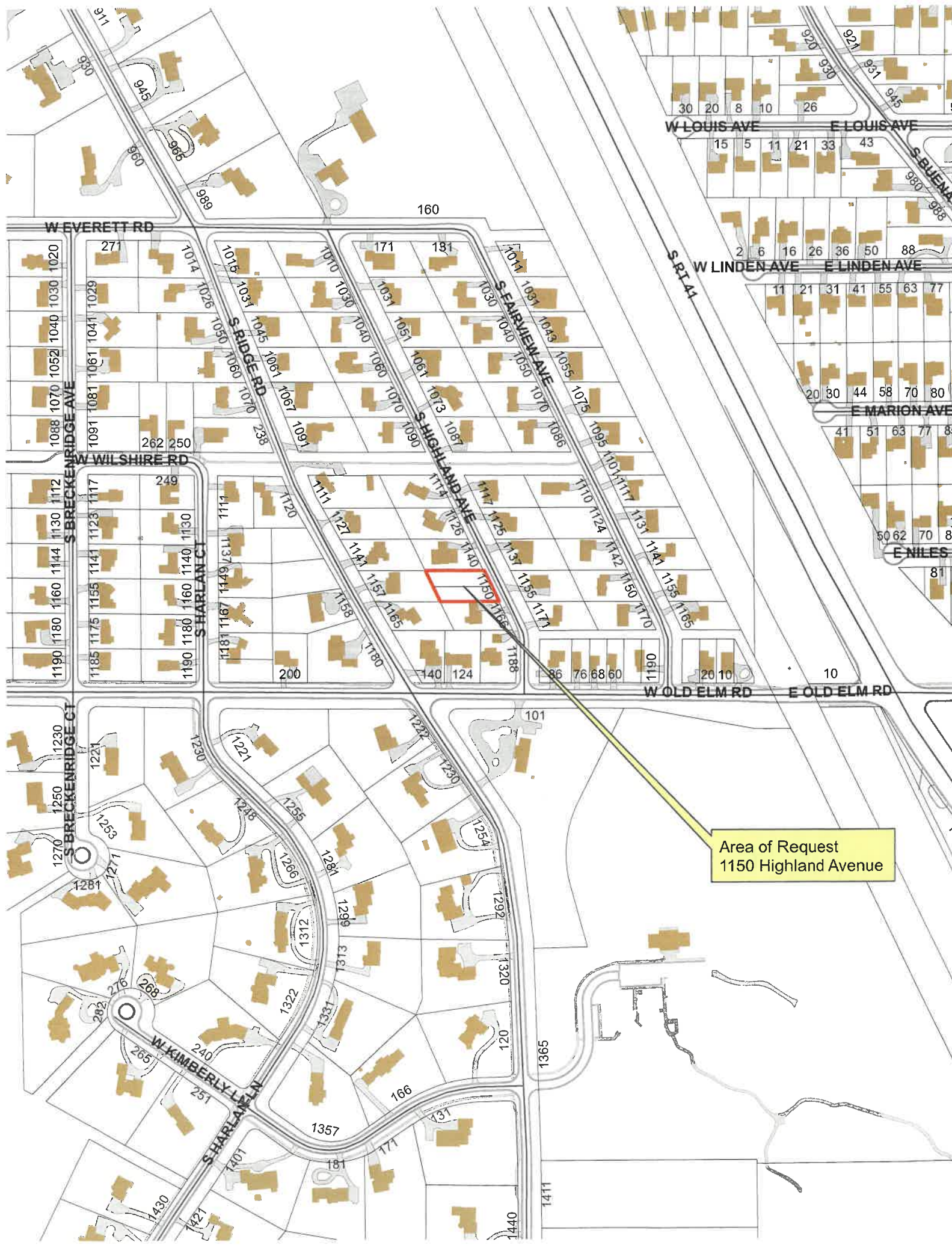
Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 135 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request
1150 Highland Avenue



Area of Request
1150 Highland Avenue



Area of Request
1150 Highland Avenue



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1150 Highland Avenue

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

US First Seria One LLC

Owner of Property

333 Busse Hwy

Owner's Street Address (may be different from project address)

Park Ridge, IL, 60068

City, State and Zip Code

312-375-4075

Phone Number

Fax Number

usfirstllc@gmail.com

Email Address



Owner's Signature

ARCHITECT/BUILDER INFORMATION

Alan Leskiv

Name and Title of Person Presenting Project

Leader Architects Ltd

Name of Firm

1701 S. First Ave, 404-i

Street Address

Maywood, IL, 60153

City, State and Zip Code

708-715-5005

Phone Number

Fax Number

leader.architect@gmail.com

Email Address



Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER ☐ REPRESENTATIVE

Please fax a copy of the staff report

☒ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

☒ OWNER ☐ REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name	US First Serla One LLC	Name	NENAD ZECEVIC
Address	333 Busse Hwy Park Ridge, IL 60068	Address	10345 W WHITNALL EDGE DR 701 FRANKLIN, WI, 53132
Ownership Percentage	100% %	Ownership Percentage	100 % %

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%

June 6, 2022

City of Lake Forest
Building Review Board

Re: 1150 Highland avenue.
Project - Construction of new Single Family Residence on the vacant parcel.

Statement of Intent - updated as per Building Review Board request of April 6, 2022

Design of the proposed residence revised as per Board recommendations.

- Roof type refined. Hip roof forms eliminated. Gable roof provided.
- Garage dormer removed.
- Front door modified to be consistent with the Craftsman style.
- Additional gable added over second floor window above front entry.
- Stone added along the base of the home to the south and west elevations.
- Garage depth reduced 1'-6" to provide sufficient space for driveway, vegetation and drainage at south side of the home.
- Site plan, Engineering and Landscape plans updated. Driveway configuration revised for adequate turning radius. Additional screening trees and fence proposed as per neighbor request and owner agreement after meeting on construction site.

We believe that proposed revised design of the residence will satisfy Board requirements, comments and directions.

Regards



Alan Leskiv NCARB. ALA
Principal





THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- | | |
|--|--|
| <input checked="" type="checkbox"/> Stone | <input type="checkbox"/> Wood Shingle |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Synthetic Stucco |
| | <input checked="" type="checkbox"/> Other <u>Hardie board siding</u> |

Color of Material Biscayne Blue/Sand Brown

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☒ Wood
☐ Aluminum Clad
☐ Vinyl Clad
☐ Other _____
Color of Finish Light gray

Window Muntins

- ☐ Not Provided
☒ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
☒ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Composition Shingles _____
☐ Sheet Metal _____
☒ Other Asphalt shingles

Flashing Material

- ☐ Copper
☒ Sheet Metal _____
☐ Other _____

Color of Material Estate grey

Gutters and Downspouts

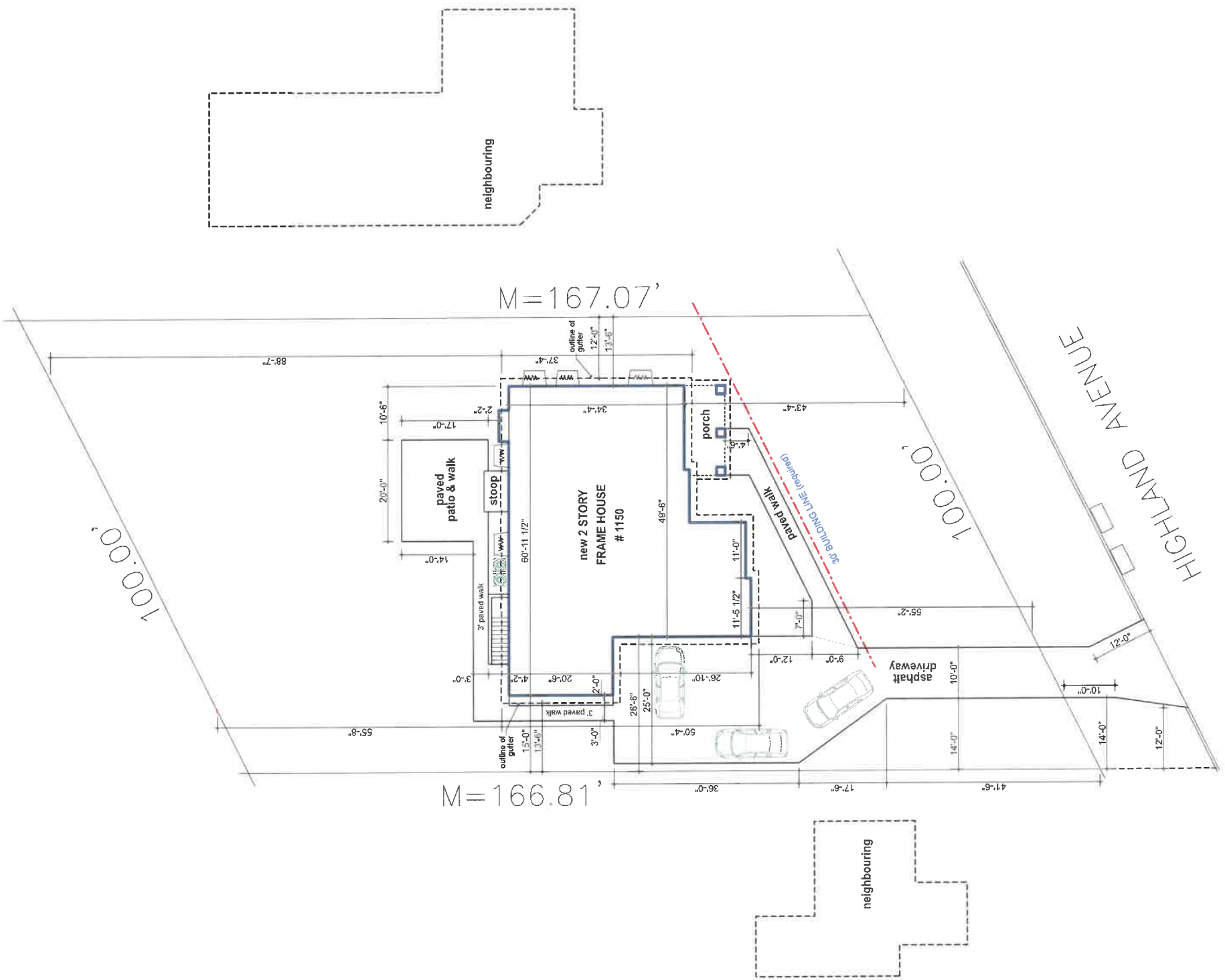
- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☐ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☒ Other Stone pavers



Site plan SCALE: 1" = 15'

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Maywood, IL 60153

License 184.007210

I hereby certify that these
drawings were prepared
under my responsible control
and to the best of my
knowledge fully comply with
the pertinent Building Code

Architects seal



0126.2022

Expires: 01.30.2022

SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION
1150 HIGHLAND AVE
LAKE FOREST *** ILLINOIS

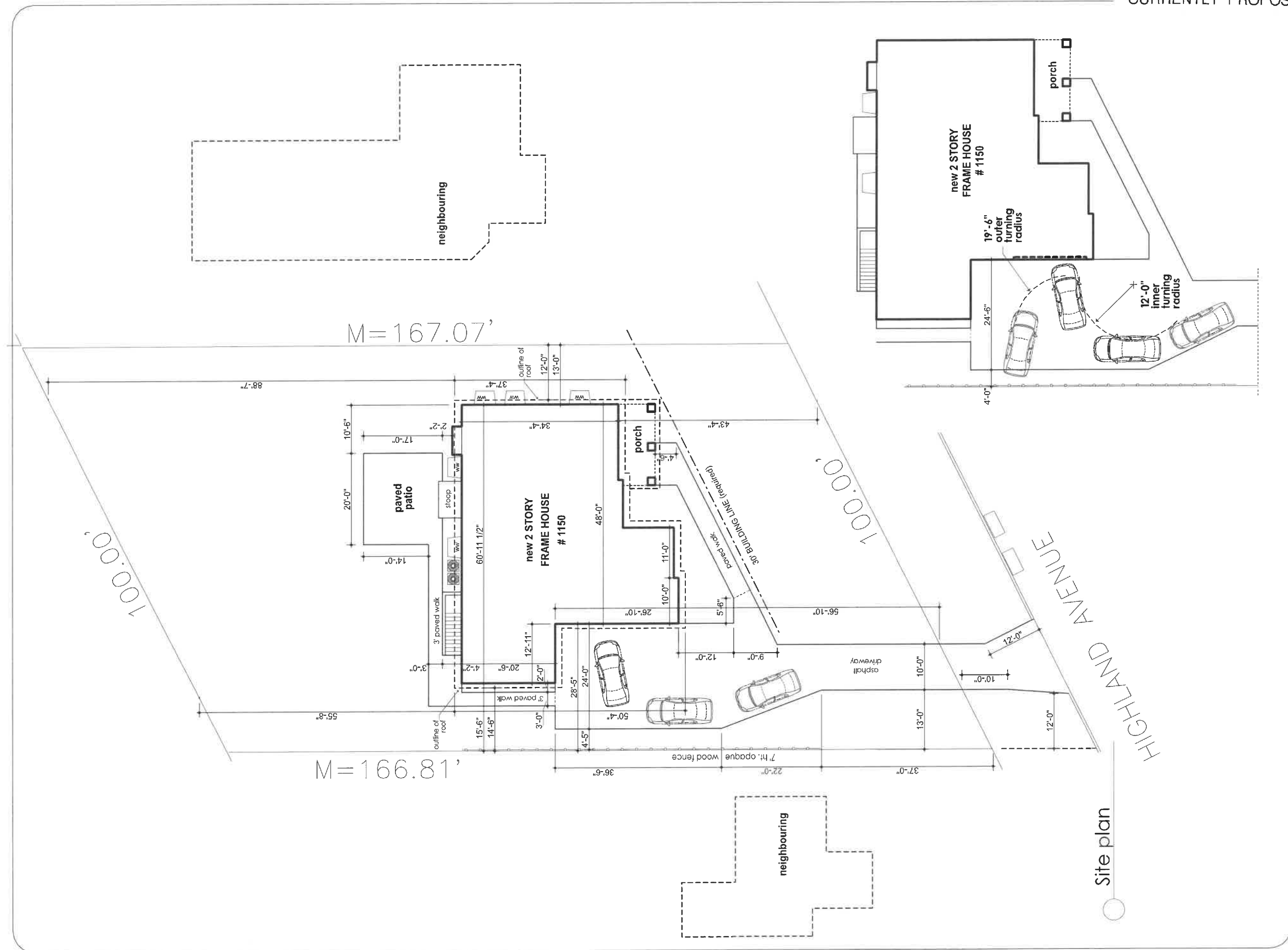
Project # 21-102
Date: 0126.2022
Drawn by: AL
Checked: LA

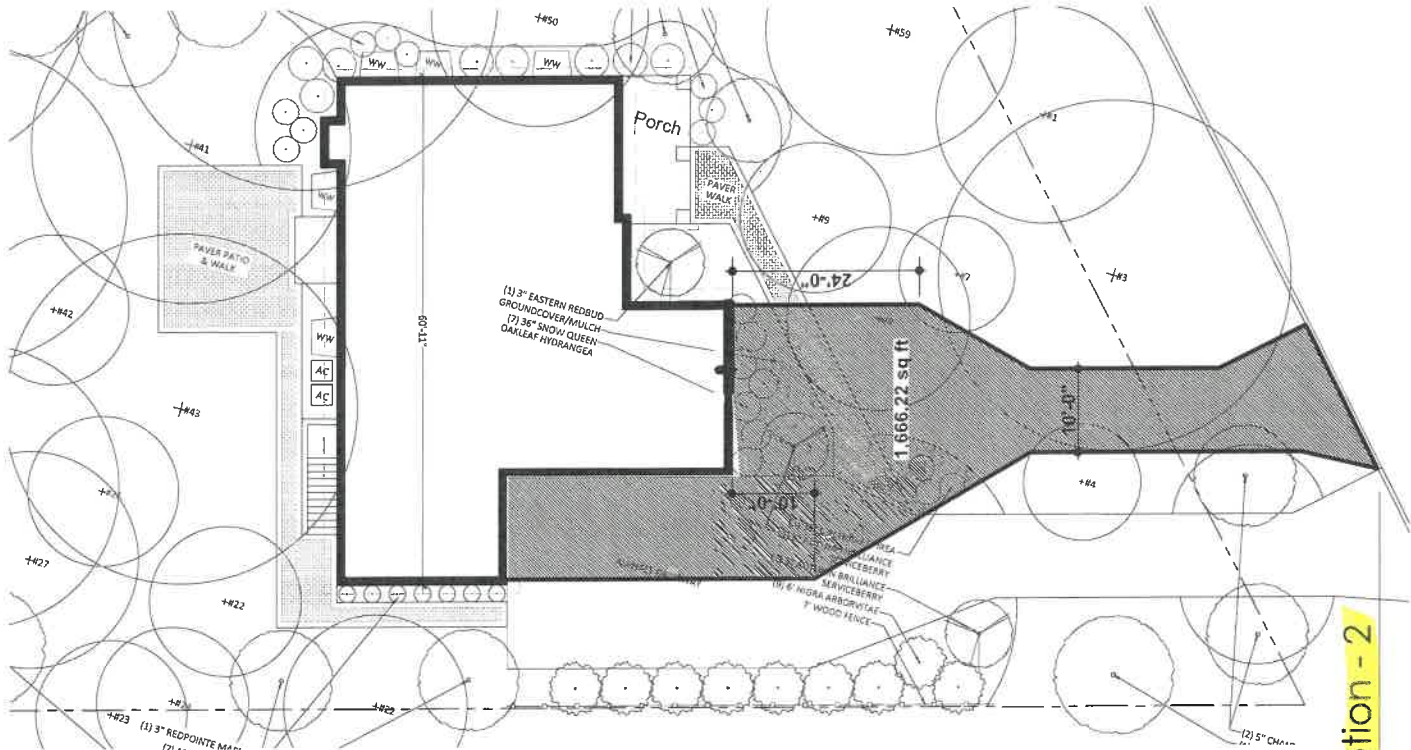
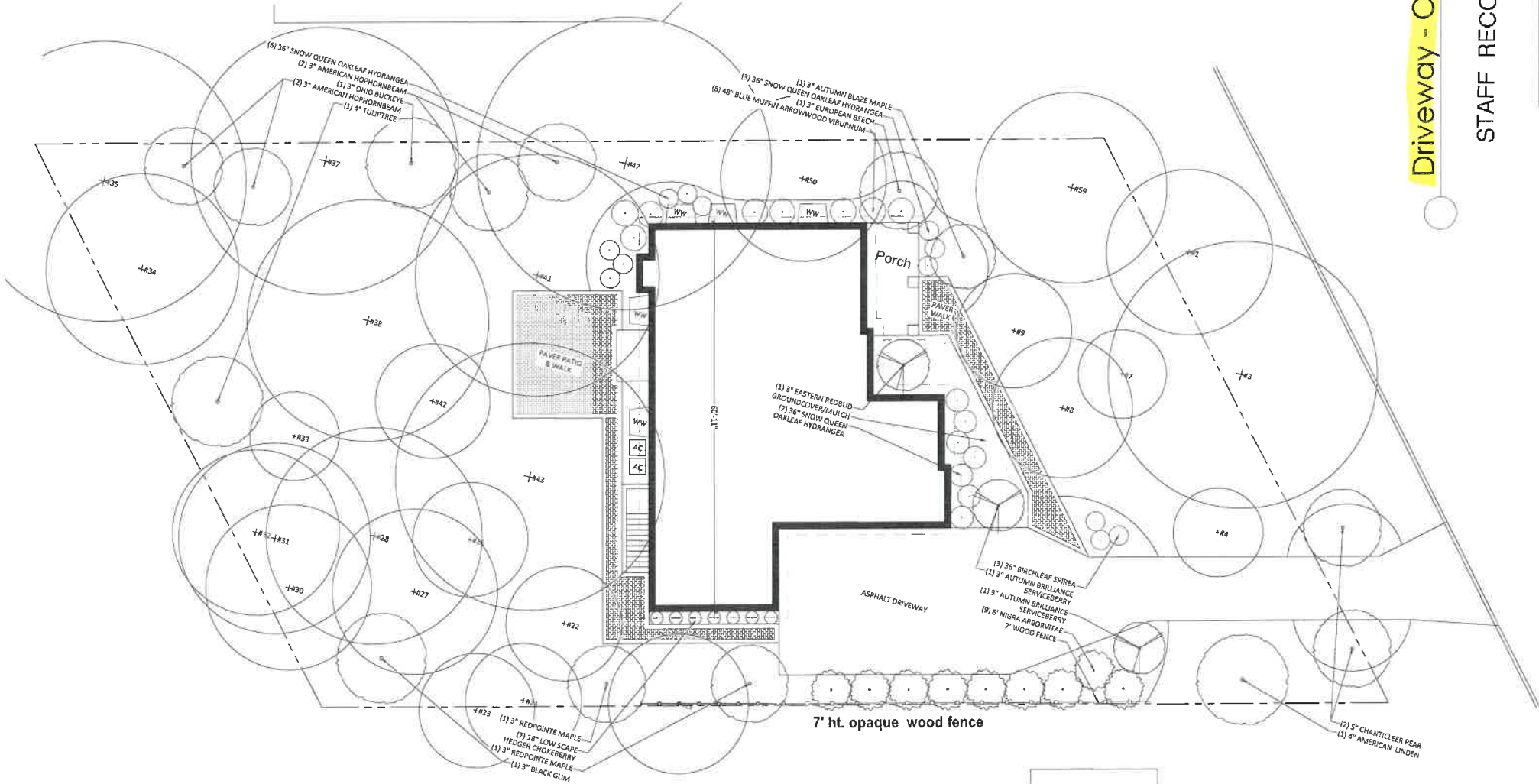
Revision 1:
Revision 2:
Revision 3:

Sheet #

A-2

Scale: as shown





STAFF RECOMMENDED PLAN

Landscape plan

TREE REPLACEMENT LIST				
BOTANIC NAME	COMMON NAME	SIZE	REPLACEMENT INCHES	QUANTITY
Acer freemanii 'Autumn Blaze'	Autumn Blaze Maple	3"	3"	1
Acer rubrum 'Redpointe'	Redpointe Maple	3"	3"	2
Aesculus glabra	Ohio Buckeye	3"	3"	1
Carpinus caroliniana	American Hopbroombeam	3"	3"	4
Fagus sylvatica	European Beech	3"	3"	1
Liriodendron tulipifera	Tulip Tree	4"	4"	1
Nyssa sylvatica	Black Gum	3"	3"	1
Pyrus calleryana 'Chanticleer'	Chanticleer Pear	5"	5"	2
Tilia cordata	American Linden	4"	4"	1
Required Replacement inches:				48
Total Proposed Replacement inches:				48

RP

ROSBOROUGH PARTNERS, INC.

342 N. 4th Street, Suite 104
Burlington, NC 27204
P 817.549.1393
www.rosboroughpartners.com

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LANDSCAPE REQUIREMENTS			
BOTANIC NAME	COMMON NAME	SIZE	QUANTITY
Under Story/Ornamental Trees			
Amandanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	3"	2
Cercis canadensis	Eastern Redbud	3"	1
Thuja occidentalis 'Nigra'	Nigra Arborvitae	6'	9
Hydrangea quercifolia 'Snow Queen'	Strawberry Sundae Hydrangea	36"	10
Spiraea betulifolia 'Tor'	Birchleaf Spirea	36"	3



Left Elevation
SCALE: 3/16" = 1'-0"



Front Elevation
SCALE: 3/16" = 1'-0"

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Maywood, IL 60153
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Expires: 01.26.2022
30.2022

SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION
1150 HIGHLAND AVE
LAKE FOREST *** ILLINOIS

Project # 21 - 102
Date: 01.26.2022
Drawn by: AL
Checked: LA

Revision 1:
Revision 2:
Revision 3:

Sheet #

A-7

Scale: as shown



Front Elevation
SCALE: 1/4" = 1'-0"



ALTERNATE EAST ELEVATION
STAFF RECOMMENDED PLAN



Left Elevation
SCALE: 1/4" = 1'-0"



Right Elevation

SCALE: 3/16" = 1'-0"



Rear Elevation

SCALE: 3/16" = 1'-0"

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01/26/2022
Expires: 11.30.2022

SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION
1150 HIGHLAND AVE
LAKE FOREST *** ILLINOIS

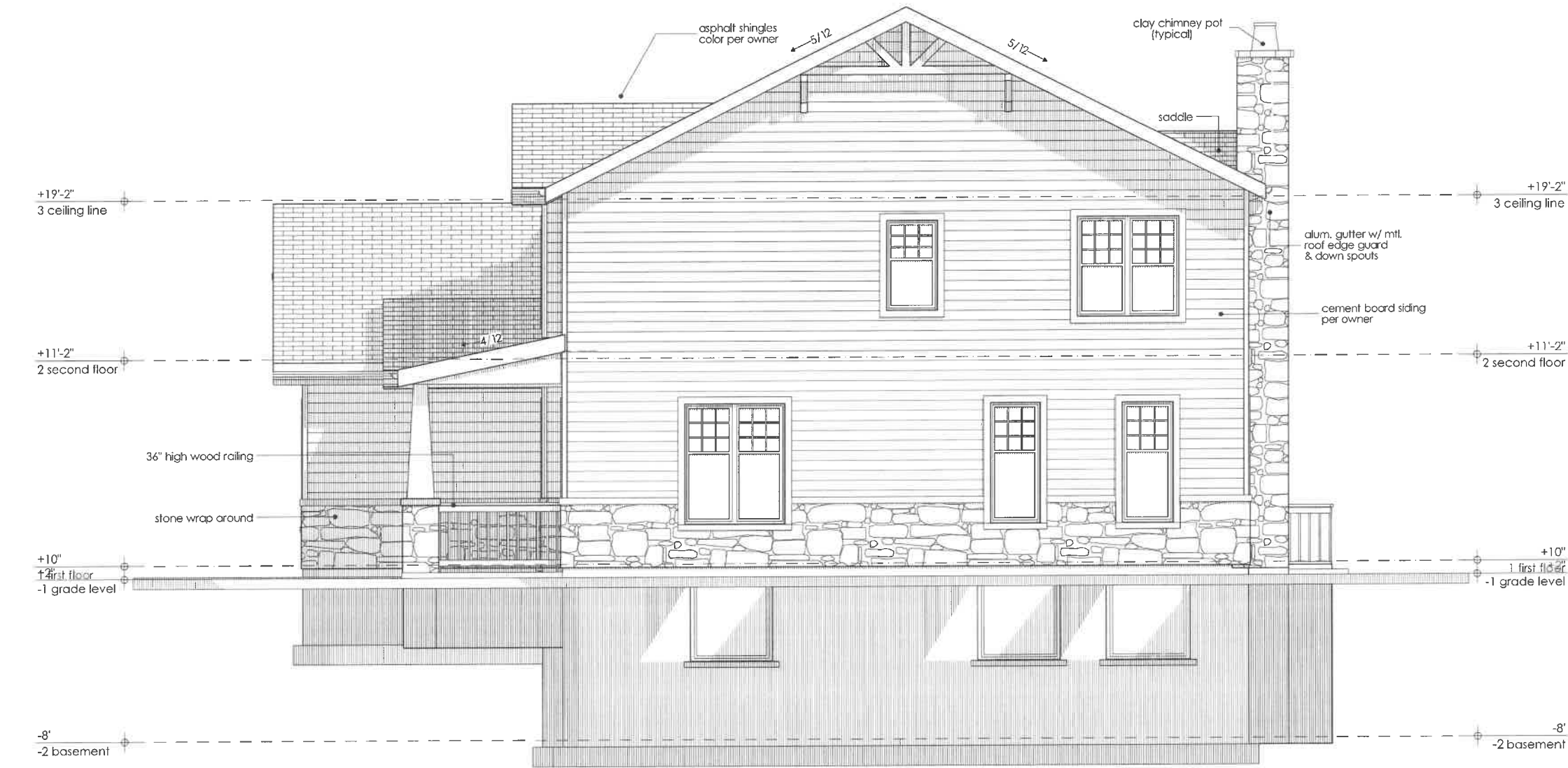
Project # 21-102
Date: 01/26/2022
Drawn by: AL
Checked: LA

Revision 1:
Revision 2:
Revision 3:

Sheet #

A-8

Scale: as shown



Right Elevation
SCALE: 1/4" = 1'-0"



Rear Elevation
SCALE: 1/4" = 1'-0"

Material Schedule			
Item	Material	Manufacturer	Color
Roof	Asphalt shingles	"SUPREME SHINGLES"	Estate Grey
Siding	Wood	"ALLURA"	Biscayne blue
Trim/ Fascia	Wood		Light gray
Gutters	Aluminum	"ACM"	Light gray
Windows	Wood	"MARVIN"	Light gray
Garage door	Wood	"Garage Solutions"	Light gray
Stone	Natural stone	"WILLOWBROOK BROWN CASTLE ROCK"	Sand Brown



○ Front view

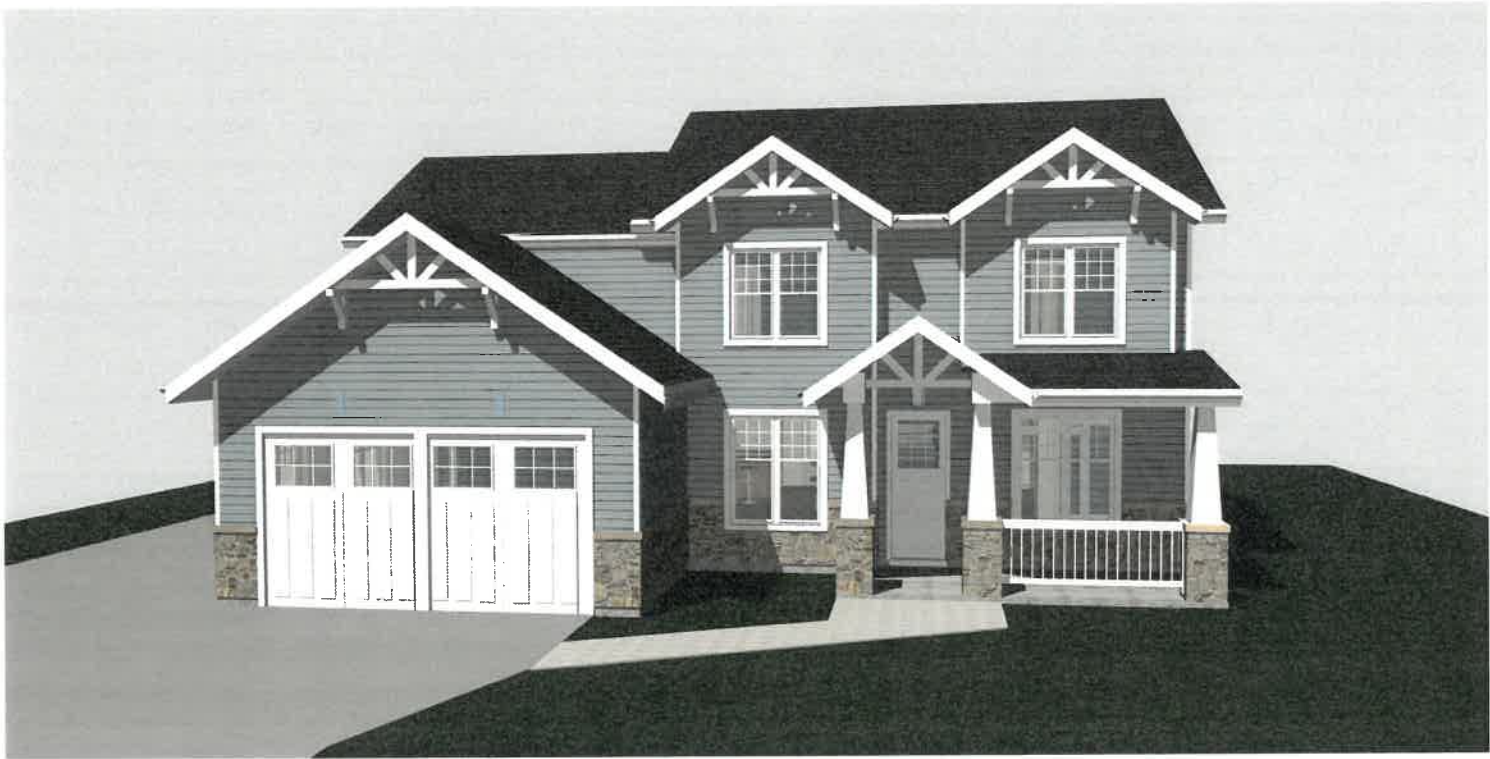


subject property

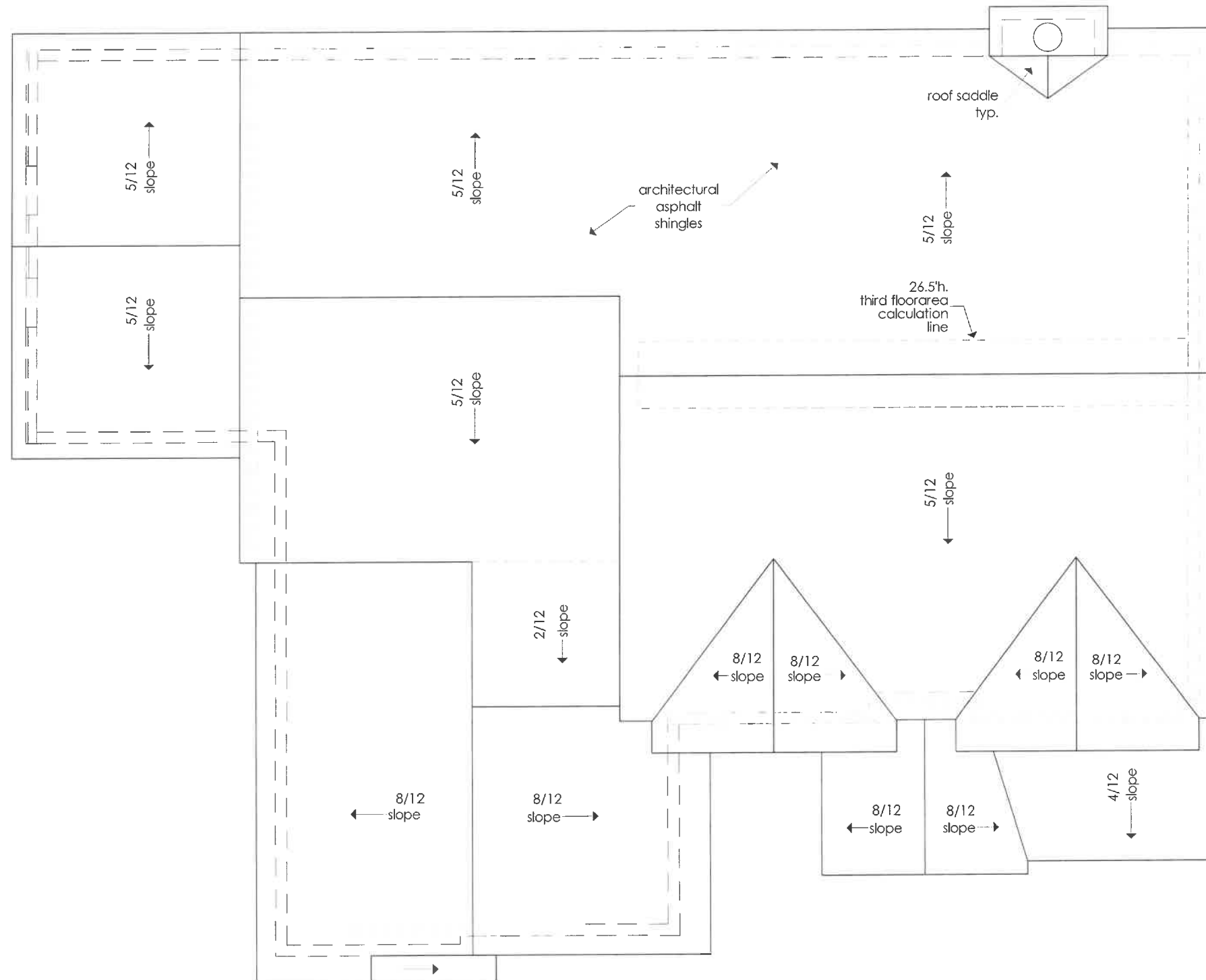
○ Street view



Highland avenue



○ Front view - Option 2



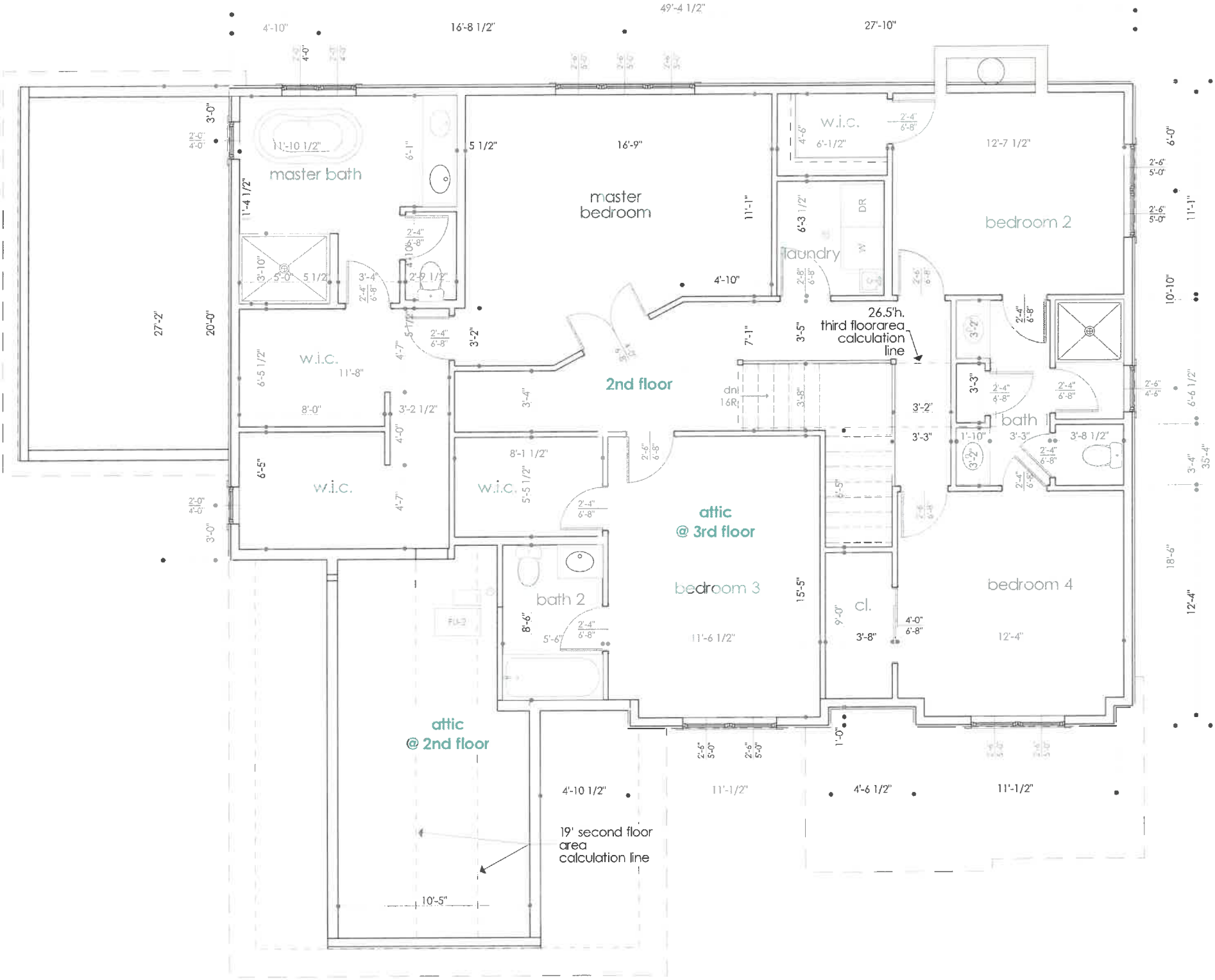
Roof plan
SCALE: 1/4" = 1'-0"



building section
SCALE: 1/4" = 1'-0"



First Floor Plan
SCALE: 1/4" = 1'-0"



Second Floor Plan
SCALE: 1/4" = 1'-0"

Proposed Conditions Plan

THE NORTH 1/2 OF LOT 4 IN BLOCK 15 IN LAKE FOREST HEIGHTS, A SUBDIVISION OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 LYING WEST OF THE WESTERLY RIGHT OF WAY LINE OF THE CHICAGO NORTHWESTERN RAILROAD AND THE EAST 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 9, 1924, IN BOOK "M" OF PLATS, PAGE 70, AS DOCUMENT 237997, IN LAKE COUNTY, ILLINOIS.

PARCEL 2:

THE SOUTH 1/2 OF LOT 4 IN BLOCK 15 IN LAKE FOREST HEIGHTS, A SUBDIVISION OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 LYING WEST OF THE WESTERLY RIGHT OF WAY LINE OF THE CHICAGO NORTHWESTERN RAILROAD AND THE EAST 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 9, 1924, IN BOOK "M" OF PLATS, PAGE 70, AS DOCUMENT 237997, IN LAKE COUNTY, ILLINOIS.

TAG #	SIZE	SPECIES	CONDITION 1 - 6 (1=BEST - 6=DEAD)
1	12	Cottonwood	3
2	7	Mulberry	3
3	22	Cottonwood	3
4	6	Ash	6
5	17	Boxelder	5
6	21	Ash	4
7	7	American Elm	3
8	10	Ash	4
9	8	Ash	4
10	12	Red Oak	3
11	10	Red Oak	3
12	12	Ash	4
13	6	Hickory	3
14	10	Red Oak	3
15	10	Ash	4
16	13	Bur Oak	3
17	10	Ash	4
18	9	Ash	4
19	7	Ash	4
20	10	Ash	4
21	8	Ash	5
22	9	Ash	4
23	7	Ash	4
24	9	Ash	4
25	8	Ash	4
26	9	Ash	4
27	13	American Elm	6
28	17	Ash	4
29	7	American Elm	6
30	12	Ash	4

31	14	Ash	4
32	13	Ash	4
33	7	Ash	4
34	15	Ash	4
35	22	American Elm	3
36	7	Hickory	3
37	19	Red Oak	4
38	18	American Elm	4
39	7	Hickory	3
40	8	Hickory	3
41	18	Ash	4
42	9	Ash	4

43	20	American Elm	3
44	12	Ash	4
45	7	Ash	4
46	14	Ash	4
47	25	American Elm	3
48	7	Ash	4
49	6	Ash	4
50	13	Ash	4
51	10	Ash	4
52	6	Ash	4
53	10	Silver Maple	3
54	6	Ash	6
55	3	Hickory	3
56	6	Ash	6
57	6	Ash	4
58	10	Hawthorn	6
59	15	Black Walnut	3

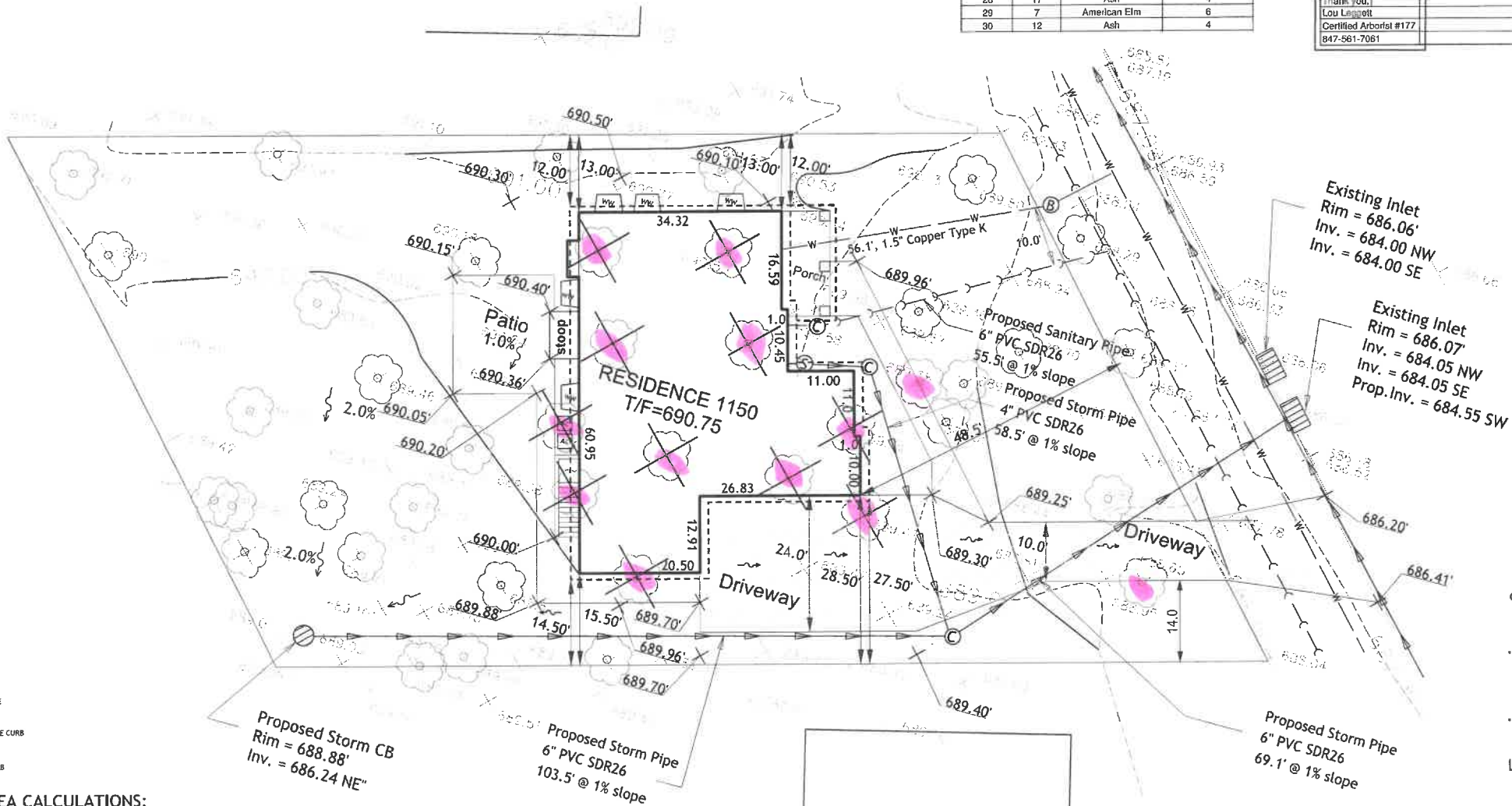
Thank you,
Lou Linscott,
Certified Arborist #177
847-561-7061

LEGEND

- EXISTING ELEVATION
- EXISTING CONTOUR
- PROPOSED ELEVATION
- PROPOSED CONTOUR
- POWER POLE
- TREE
- AIR CONDITION
- BUSH
- EXISTING DRAINAGE PIPE
- FIRE HYDRANT
- DRAIN INLET
- STORMWATER INLET
- WATER MANHOLE
- 8-BOX
- ELECTRIC METER
- GAS METER
- SUMP PUMP
- CLEANOUT
- WINDOW WELL
- GAS METER
- DOWNSPOUT
- B/S BOTTOM OF STEPS
- B/P BOTTOM OF PIPE
- T/P TOP OF PIPE
- A/C AIR CONDITION
- DRAINAGE FLOW
- ASPHALT DRIVEWAY
- PAVER PATIO
- CONSTRUCTION FENCE
- TREE FENCE
- PROPOSED MOUNTABLE CURB
- PATCHING
- PROPOSED 8-12 CURB

IMPERVIOUS AREA CALCULATIONS:

TOTAL LOT AREA :	14942.65 SF	RECORD
HOUSE AREA	= 0.00 SF	2198.17 SF
DRIVEWAY AREA	= 0.00 SF	1455.78 SF
PATIO AREA	= 0.00 SF	589.07 SF
PATH AREA	= 0.00 SF	222.57 SF
PORCH AREA	= 0.00 SF	140.80 SF
AC PAD/GEN AREA	= 0.00 SF	16.00 SF
WINDOW WELLS AREA	= 0.00 SF	78.00 SF
IMPERVIOUS TOTAL	= 0.00 SF	4700.39 SF
PERVIOUS TOTAL	= 14942.65 SF	10242.26 SF



May 25, 2022
Illinois Professional Engineer
Certificate No. 062.067021
Expiration date: 02-22-2022

REFERENCE: PLAT OF SURVEY BY
TOM W. ATKINS
12/11/14

SITE BENCH :
CURB CUT CROSS
ACROSS FROM 1150 HIGHLAND AVE.
ELEVATION = 686.42

Engineering &
Tree removal plan

SCALE: 1" = 15'

Agenda Item 4
Amberly Courtyard Homes
Revisions to Previously Approved Plans

Staff Report
Vicinity Map
Air Photos

1865 Amberley Court – Brunswick Tudor:

Application
Statement of Intent
Description of Exterior Materials
Previously Approved Brunswick Tudor Elevations (Provided by Staff)
Currently Proposed Elevations
Currently Proposed Roof Plan
Currently Proposed Floor Plan

1905 Amberley Court – Bostonian French Country:

Application
Statement of Intent
Description of Exterior Materials
Previously Approved Bostonian French Country Elevations (Provided by Staff)
Currently Proposed Elevations
Currently Proposed Roof Plan
Currently Proposed Floor Plans

1915 Amberley Court – Carlisle Shingle:

Application
Statement of Intent
Description of Exterior Materials
Previously Approved Carlisle Shingle Elevations (Provided by Staff)
Currently Proposed Elevations
Currently Proposed Roof Plan
Currently Proposed Floor Plans

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

Amberley Woods Courtyard Homes - Revisions to Previously Approved Plans

Consideration of a request for a recommendation in support of revisions to the plans previously approved for the Amberley Woods Courtyard Homes development. The revisions are proposed to the three homes addressed as 1865, 1905, 1915 Amberley Court.

**Property Owner: McNaughton Development (Paul R. McNaughton 100%)
Project Representative: John Barry, McNaughton Development**

Staff Contact: Catherine Czerniak, Director of Community Development

Background Information

The Amberley Woods mixed use development received final approvals from the City Council on April 20, 2006. The 24 Courtyard Homes are part of the larger development, a 39 acre wooded site located at the western gateway to the City of Lake Forest, just east of the office buildings on Saunders Road and west of Conway Farms Drive. The development, as originally approved, includes a mix of permitted uses, single family residential, multi-family residential and commercial uses. Since approval in 2006, one of two condominium buildings and five of the 24 single family homes have been constructed, sold and occupied. The second condominium building and three single family homes are currently under construction consistent with the previous approvals.

As noted above, five of the courtyard homes are complete. Two are located at the easternmost end of the development and were constructed by the original developer consistent with the plans as originally approved by the Board in 2006. Three other homes were constructed in the development by another developer based on modified plans which were approved by the Board in 2013.

The current developer received approval for four model types for the single family homes from the Board last June. The model types are offered in three different architectural styles. The three homes currently under construction are consistent with the designs previously approved by the Board.

Summary of Request

This is a request for approval of modifications to three of the designs previously approved by the Board. The developer submitted the revised plans as part of an application for a building permit for each of the three properties. Although the differences from the plans approved by the Board and City Council were not called out on the plans submitted for building permit, staff identified several modifications as detailed later in this report. Staff was not notified by the developer of the intent to make modifications to the plans before submitting for a building permit.

As the conditions allow, if there are one or two minor changes called out, that do not significantly differ from the massing, rooflines, style, detailing or the overall intent of the Board's approval, staff has the ability to consult with the Chairman as appropriate and administratively approve minor changes. These types of changes might include a slight shifting of a window due to the interior floor plan as long as the overall pattern of solids and voids is not interrupted or a slight change to the design of a railing in cases where a product may no longer be available. If multiple changes or significant changes such as changes in massing, footprint, rooflines or materials are proposed, staff returns the petition to the Board for consideration and notice is provided to neighboring property owners.

The revisions are proposed to the Brunswick Tudor, Bostonian French Country and the Carlisle Shingle designs. It is staff's understanding that these modifications are proposed to fit the needs of specific buyers or potential buyers. The proposed modifications include changes to the massing, rooflines, building footprint, window placement and proportions, and architectural details.

The petitioner's statements of intent for each of the proposed homes lists *some* of the proposed changes, however, based on staff's review of the plans, there appears to be several additional changes proposed that are not included in the petitioner's statements. Only the changes detailed in this staff report are under consideration. All other aspects of the design must be consistent with the previous approvals. As required by the conditions of approval, any and all changes must be called out by the petitioner on plans submitted for permit to allow for proper evaluation in the context of the approvals and to determine the proper process for consideration of the proposed changes.

The description of exterior materials provided by the petitioner notes architectural asphalt shingle for the roofs of each of the three homes. The Board previously recommended, and the City Council, approved cedar shingle roofing for all of the homes in the development. The roofing material is currently the subject of litigation that was initiated by the petitioner, this aspect of the project is not before the Board for discussion given the pending litigation.

A summary of the proposed changes identified by staff is provided below. In addition, a staff recommendation is provided for each of the proposed changes. The plans previously approved by the Board for each design are included in the Board's packet for comparison purposes.

Brunswick Tudor - 1865 Amberley Court

North (Front) Elevation

- Sidelites were added to either side of the front door
 - Staff recommends approval of this change. The sidelites enhance the design of the home.

West Elevation

- The double casement window on the projecting bay was replaced with a single casement window.
 - Staff recommends approval of this change due to its minor impact on the overall design of the home.
- The master bedroom closet and bathroom were enlarged with a bump out on the right side of the projecting bay.
 - Staff recommends approval of this change **with modification** to the roof pitch. As currently proposed, the hip roof over the bump out has a shallower roof pitch than the hip roof on the rear of the home. The hip roof on the bump out should follow the same pitch as the other hip roof forms on the home.
- The double casement window to the right of the projecting bay was replaced with a single casement window.
 - Staff does **not** recommend approval of this proposed change. The double casement window breaks up the large expanse of solid wall.

- Two transom windows were added to south end of the elevation.
 - Staff recommends approval of this change due to its minor impact on the overall design of the home and limited visibility.
- A single double hung window was eliminated from south end of the elevation.
 - Staff recommends approval of this change due to its minor impact on the overall design of the home.

South Elevation

- Sidelites were added on either side of the patio door.
 - Staff recommends approval of this change. The sidelites enhance the design of the home.
- The chimney was moved to the southeast corner.
 - Staff recommends approval of this change due to its minor impact on the overall design of the home and the limited visibility of the chimney from the streetscape.
- Two double hung windows were replaced with a triple window unit to the right of the patio door.
 - Staff recommends approval of this change. The triple window unit creates symmetry on the rear elevation.

East Elevation

- Narrow double hung windows and shutters were added to north end of the elevation.
 - Staff does **not** recommend approval of this change. The narrow windows present awkward proportions. The window proportions should be refined to more closely match the proportions of the other double hung windows on the home.
- A single casement window was eliminated from the right of the projecting bay.
 - Staff recommends approval of this change due to its minor impact on the overall design of the home.
- Transom windows were added to the left of the projecting bay.
 - Staff recommends approval of this change due to its minor impact on the overall design of the home.
- A single double hung window was eliminated from the south end of the elevation.
 - Staff does **not** recommend approval of this change. The window should be retained in this area to break up the large expanse of solid wall.

Bostonian French Country - 1905 Amberley Court

North (Front) Elevation

- The gable above front door was reduced in size.

- Staff recommends approval of this change due to its minor impact on the overall design of the home.

West Elevation

- The single window at north end is set at a lower sill height.
 - Staff recommends approval of this change due to its minor impact on the overall design of the home.
- The closed shutter detail was eliminated.
 - Staff recommends approval of this change **with modification** to the placement of the double casement window on the first floor. The previously approved closed shutter detail created balance with the window directly above. With the closed shutter detail removed, it is more apparent that the double casement windows on the first and second floors in this area are not aligned.
- The projecting bay on first floor was reduced in size.
 - Staff does **not** recommend approval of this change. The small size of the projecting bay presents an awkward appearance that stands out as an element that does not appear to be intentional or thoughtfully designed as it relates to the overall elevation.
- The second floor mass was increased in size.
 - Staff recommends approval of this change given the limited visibility of the increased mass from the streetscape.

South (Rear) Elevation

- The center gable form was lowered in height.
 - Staff recommends approval of this change due to its minor impact on the overall design of the home and limited visibility of the rear elevation.

East Elevation

- The single window at the north end of elevation slightly increased in size.
 - Staff recommends approval of this change due to its minor impact on the overall design of the home.

Carlisle Shingle - 1915 Amberley Court

North (Front) Elevation

- The plans submitted for permit specify the L.P. Smartside material on the gable ends. The Board specifically recommended, and the City Council approved Hardie board, a fiber cement product, over the L.P. Smartside product as part of the previous approval.
 - Staff does **not** recommend approval of this change. It is recommended that these elements remain as Hardie board, consistent with the previous approval.
- Window on the gable end above the garage was reduced in size.
 - Staff recommends approval of this change due to its minor impact on the overall design of the home.

West Elevation

- The plans submitted for permit specify the L.P. Smartside material on the gable ends and for the siding at the base of the bay window. The Board specifically recommended, and the City Council approved Hardie board, a fiber cement product, over the L.P. Smartside product as part of the previous approval.
 - Staff does **not** recommend approval of this change. It is recommended that these elements remain as Hardie board, consistent with the previous approval.
- The family room increased in size by expanding into the area originally approved as an open porch at the south end of the elevation.
 - Staff recommends approval of this change. The expansion of the family room is consistent with the overall design of the rest of the home.

South (Rear) Elevation

- A single story sunroom was added to the west side of the elevation.
 - Staff recommends approval of this change due to its minor impact on the overall design of the home and the limited visibility of the sunroom from the streetscape.
- The chimney was moved from the rear exterior wall to the interior of the home.
 - Staff recommends approval of this change due to its minor impact on the overall design of the home and limited visibility of the chimney from the streetscape.
- A patio door was added generally at the center of the elevation.
 - Staff recommends approval of this change due to its minor impact on the overall design of the home.

East Elevation

- The plans submitted for permit specify the L.P. Smartside material on the gable ends and for the siding at the base of the bay window. The Board specifically recommended, and the City Council approved Hardie board, a fiber cement product, over the L.P. Smartside product as part of the previous approval.
 - Staff does **not** recommend approval of this change. It is recommended that these elements remain as Hardie board, consistent with the previous approval.
- The second floor mass increased in size to the south.
 - Staff recommends approval of this change given the limited visibility of the increased mass from the streetscape.

RECOMMENDATION

Recommend approval of the majority of the modifications proposed to the previously approved designs for the homes at 1865, 1905 and 1915 Amberley Court. The recommendation is based on the findings presented in this staff report and incorporate the Board's deliberations. Staff recommends approval subject to the detailed outline above and subject to the following conditions of approval.

1. The plans shall be refined as follows:

1865 Amberley Court:

- The hip roof on the bump out on the west elevation shall follow the same pitch as the other hip roof forms on the home.
- The double casement window on the west elevation shall remain as a way to break up the large expanse of solid wall.
- The proportions of the windows on the north end of the east elevation shall be refined to match more closely to the proportions of the other double hung windows on the home.
- The window on the south end of the east elevation shall remain as a way to break up the large expanse of solid wall.

1905 Amberley Court:

- The placement of the double casement window on the east elevation shall be modified to create more of a balanced appearance with the window above.
- The size of the projecting bay on the east elevation shall remain as shown on the previously approved plans.

1915 Amberley Court:

- The gable end detailing and siding on the bay windows shall be Hardie board as previously approved by the Board.

2. The plans submitted for a building permit shall be modified to respond to the items listed above. **If additional modifications are made to the plans as the result of final design development, the modifications shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes.** Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

All conditions of the original approval shall apply including, but not limited to:

3. The developer shall maintain a matrix of homes and their locations throughout the buildout of the development to assure appropriate diversity of models and architectural styles and submit said matrix updated, with each building permit submittal.
4. An updated tree survey will be required for each lot at the time plans are submitted for permit to determine which trees are worthy of preservation and require protection during construction. Healthy, heritage trees should also be considered in laying out the site plan recognizing that some trees will need to be removed to allow development of the lots.
5. Landscape plans for each residence shall be submitted prior to the issuance of a building permit for each building.
6. Construction parking and staging plans shall be submitted to the City along with the application for building permit for each home. Amberley Court must remain passable and free of dirt and debris at all times.



Area of Request
1915 Amberley Court

Area of Request
1905 Amberley Court

Area of Request
1865 Amberley Court



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1865 AMBERLEY COURT, LAKE FOREST

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

McNAUGHTON DEVELOPMENT
Owner of Property

115220 JACKSON STREET
Owner's Street Address (may be different from project address)

BURN RIDGE IL 60527
City, State and Zip Code

630-325-3400 / 630-325-3402
Phone Number Fax Number

JOHN.B@MCNAUGHTONDEVELOPMENT.COM
Email Address

[Signature]
Owner's Signature

ARCHITECT/BUILDER INFORMATION

JOHN BUNNY
Name and Title of Person Presenting Project

MCNAUGHTON DEVELOPMENT
Name of Firm

115220 JACKSON STREET
Street Address

BURN RIDGE IL 60527
City, State and Zip Code

630-325-3400 / 630-325-3402
Phone Number Fax Number

JOHN.B@MCNAUGHTONDEVELOPMENT.COM
Email Address

[Signature]
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report ☐ OWNER ☐ REPRESENTATIVE

Please fax a copy of the staff report ☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department ☐ OWNER ☐ REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>PAUL MCNAUGHTON</u>	Name _____
Address <u>115220 JACKSON ST.</u> <u>BURN RIDGE IL 60527</u>	Address _____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Lake Forest Building Review Board
Property Narrative &
Request for a New Single-Family Residence
1865 Amberley Court
Lake Forest, Illinois 60045

McNaughton Development LLC and Daniel Lusus Architects, PC are returning to the Building Review Board requesting approval for modifications to the previously approved single family home design for the proposed home at 1885 Amberley Court, Lake Forest in the Amberley Woods Subdivision.

Architectural Review Process

The Building Review Board in June 2021 recommended to the City Council the approval of twelve different elevations for new homes to be constructed on the remaining nineteen lots along Amberley Court within the Amberley Woods subdivision. Since that time, we have started construction on two model homes and a speculative home. In addition, we have made applications for four additional new homes. In the case of the home at 1885 Amberley, a client has requested changes to the master bathroom and closet area which has resulted in a deviation from the June 2021 elevations for the Brunswick Tudor ranch style home. City Staff has requested that we make this application for approval of the change in light of their inability to approve it administratively.

Architectural Modification

The client for the proposed home has requested the following modifications from the approved plans...

- That the master bedroom closet and a portion of the master bathroom be expanded by four feet in width and eighteen feet in length. This results in the foundation extending out, but still within the originally approved stucco bay and a break in the hip roof along the right-side elevation.
- The right-side elevation windows in the master bedroom are to be revised to be transom windows in lieu of full-length windows.
- The family room fireplace is relocated to the corner of the room to allow for more visibility of the rear yard open space.

Request Summary

We feel that these minor modifications to the June 2021 plans in no way diminish the character of those plans. The home as proposed would be constructed within the spirit of the approvals. The changes do not noticeably affect the home's overall footprints, massing or overall roof pitch. The changes are undetachable from the street view. In fact, the changes to the side will be blocked by the proximity of the existing home and the wooded nature of the rear yards and common open space area.

In addition to requesting the approval of the BRB for these changes, we are asking that the board consider and approve a practical mechanism to allow the City Staff to approve modifications to the approved plans. We are anticipating that additional modifications will continue to be requested by clients as we move through the development. We too, have already proposed additional modifications on other applications in the effort to improve floor plans while working within the intent of the approved elevations. Our intent is not to over burden the board with additional reviews over and above the original approvals. All parties would benefit if we and staff were granted some license or flexibility to timely modify the architecture moving forward.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☐ Stone
☒ Brick
☐ Wood Clapboard Siding
☒ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☒ Other HARDIE BOARD PREFINISH

Color of Material TBD

Window Treatment
Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☐ Aluminum Clad
☐ Vinyl Clad
☒ Other FIBORG LASS
 Color of Finish TBD

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material
Door Trim

- ☒ Limestone
☒ Brick
☐ Wood
☐ Synthetic Material
☒ Other HARDIE BOARD PREFIN.

Window Trim

- ☒ Limestone
☒ Brick
☐ Wood
☒ Synthetic Material Stucco
☒ Other HARDIE BOARD PREFINISH

Fascias, Soffits, Rakeboards

- ☐ Wood
☒ Other HARDIE BOARD PREFINISH
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
☐ Stone
☐ Stucco
☐ Other _____

Roofing**Primary Roof Material**

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Composition Shingles _____
☐ Sheet Metal _____
☒ Other ARCHITECTURAL DIMENSIONAL ASPHALT

Flashing Material

- ☐ Copper
☐ Sheet Metal _____
☐ Other _____

Color of Material TBD

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☒ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☐ Other _____

PREVIOUSLY APPROVED
BRUNSWICK TUDOR ELEVATIONS



FRONT ELEVATION

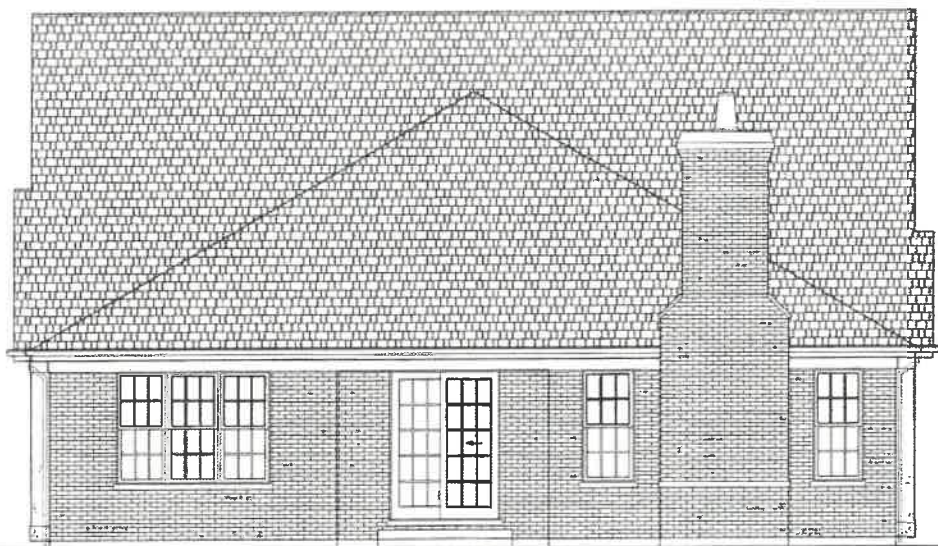
TOP/ RIDGE
27'-0" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES WITH CONTINUOUS RIDGE VENTS
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 4" BRICK FIREPLACE W/ CLAY FLUE CAP
- HARDIE BOARD FASCIA & SOFFIT W/ FACTORY FINISH
- 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

AMBERLEY COURT - LAKE FOREST
BRUNSWICK - TUDOR

McNAUGHTON
DEVELOPMENT

115220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

MAY 18, 2021

PROPOSED FRONT (NORTH) ELEVATION
BRUNSWICK TUDOR - 1865 AMBERLEY COURT
PROPOSED CHANGES HIGHLIGHTED



1 FRONT
SCALE: 3/16" = 1'-0"

DANIEL LESUS ARCHITECTS, P.C.
DESIGN PLANNING CONSULTING
1033 Holly Circle
Lake Zurich, IL 60047
P: 847.550.0972
F: 847.550.1075
dlaarchitects.com

KLUGE RESIDENCE
1865 AMBERLEY COURT
LAKE FOREST, ILLINOIS 60045

DATE: SEPT. 23, 2021
PERMIT: MAR. 22, 2022
REVISION: MAY 02, 2022
REVISION: MAY 11, 2022
PROJECT NO. 21.019

SHEET:
2.0
FRONT

PROPOSED SIDE (WEST) ELEVATION
BRUNSWICK TUDOR - 1865 AMBERLEY COURT
PROPOSED CHANGES HIGHLIGHTED



1 RIGHT
SCALE: 3/16" = 1'-0"

DANIEL LESUS ARCHITECTS, P.C.
DESIGN PLANNING & CONSULTING
1033 Holly Circle
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F: 847.550.1075
dlarchitectspc.com

KLUGE RESIDENCE
1865 AMBERLEY COURT
LAKE FOREST, ILLINOIS 60045

DATE: SEPT. 23, 2021
PERMIT: MAR. 22, 2022
REVISION: MAY 02, 2022
REVISION: MAY 11, 2022
PROJECT NO. 21.819

SHEET:
2.1
RIGHT

PROPOSED REAR (SOUTH) ELEVATION
BRUNSWICK TUDOR - 1865 AMBERLEY COURT
PROPOSED CHANGES HIGHLIGHTED



1 REAR
SCALE: 3/16" = 1'-0"

DANIEL LESUS ARCHITECTS, P.C.
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P: 847.550.0972
F: 847.550.1075
darchitectspc.com

KLUGE RESIDENCE
1865 AMBERLEY COURT
LAKE FOREST, ILLINOIS 60045

DATE: SEPT. 23, 2021
PERMIT: MAR. 22, 2022
REVISION: MAY 02, 2022
REVISION: MAY 11, 2022
PROJECT NO. 21.819



SHEET:
2.2
REAR

PROPOSED SIDE (EAST) ELEVATION
BRUNSWICK TUDOR - 1865 AMBERLEY COURT
PROPOSED CHANGES HIGHLIGHTED



1 LEFT
SCALE: 3/16" = 1'-0"

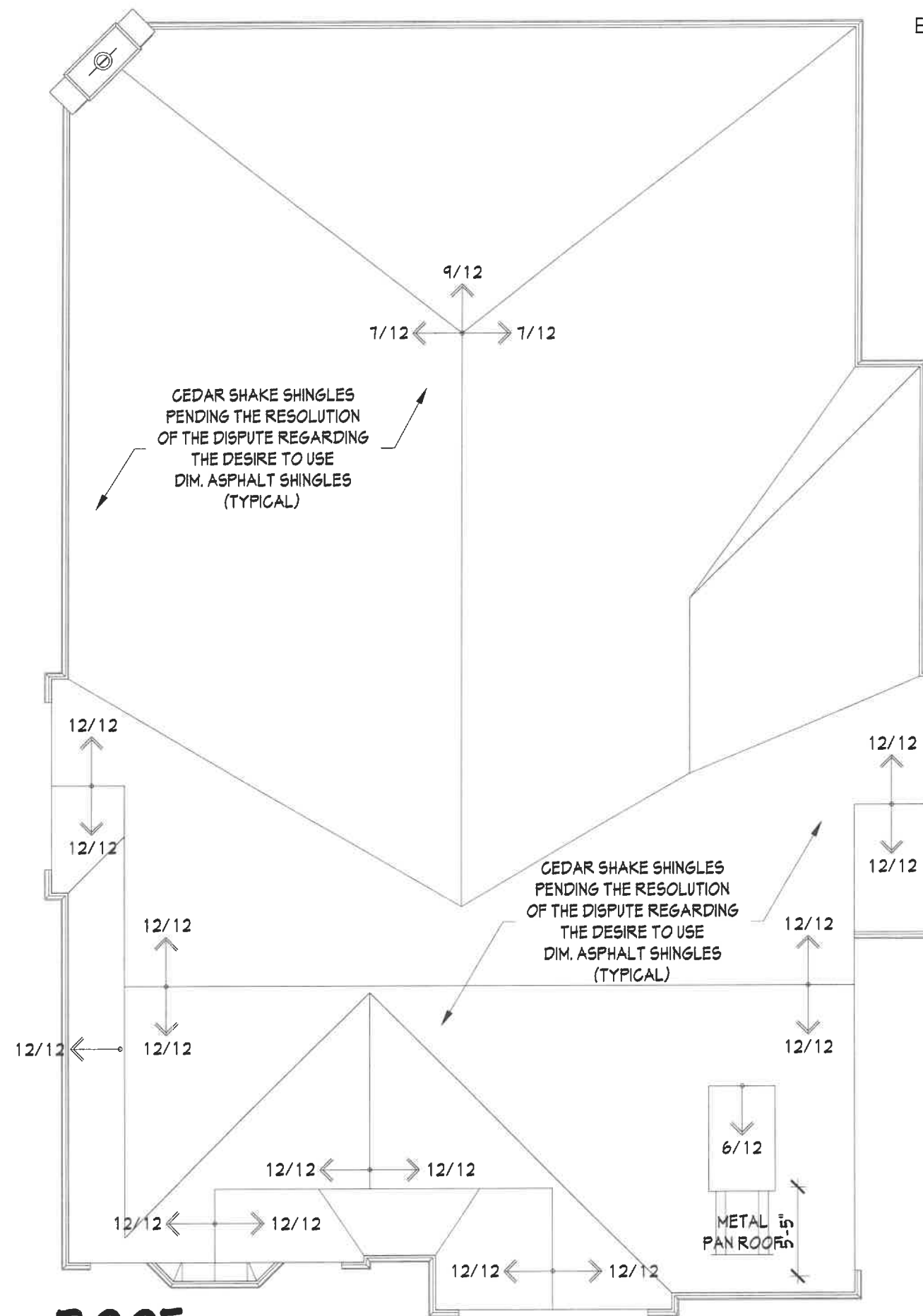
DANIEL LESUS ARCHITECTS, P.C.
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Lake Zurich, IL 60047
P: 847.550.0972
F: 847.550.1075
darchitects@pc.com

KLUGE RESIDENCE
1865 AMBERLEY COURT
LAKE FOREST, ILLINOIS 60045

DATE: SEPT. 23, 2021
PERMIT: MAR. 22, 2022
REVISION: MAY 02, 2022
REVISION: MAY 11, 2022
PROJECT NO. 21819

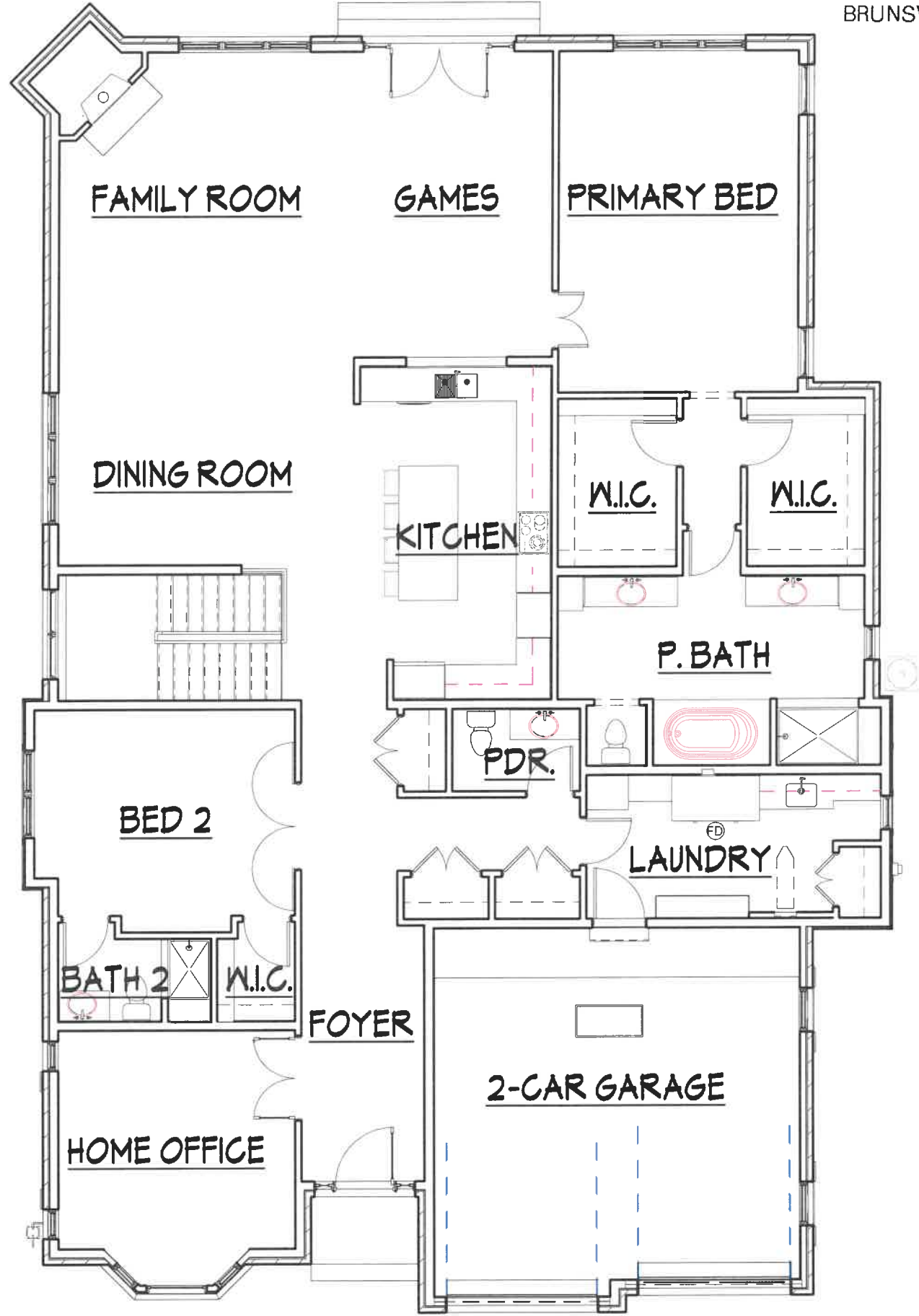
SHEET:
2.3
LEFT

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DANIEL LESUS ARCHITECTS, P.C.



ROOF

SCALE: 1/8" = 1'-0"



1 **FIRST**
SCALE: 1/8" = 1'-0"



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DESIGN • PLANNING • CONSULTING
1033 Holly Circle
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P: 847.550.0972
F: 847.550.1075
dlesusarchitects.com

KLUGE RESIDENCE
1865 AMBERLEY COURT
LAKE FOREST, ILLINOIS 60045

DATE:	SEPT. 23, 2021
PERMIT:	MAR. 22, 2022
REVISION:	MAY 02, 2022
REVISION:	MAY 11, 2022
PROJECT NO.	21.819



SHEET:
1.0
PLANS



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1905 AMBERLEY COURT, LAKE FOREST

APPLICATION TYPE

RESIDENTIAL PROJECTS	COMMERCIAL PROJECTS
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> New Building
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Addition/Alteration
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other
<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Lighting
<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

McNAUGHTON DEVELOPMENT
Owner of Property

115220 JACKSON STREET
Owner's Street Address (may be different from project address)

BURN RIDGE IL 60527
City, State and Zip Code

630-325-3400 / 630-325-3402
Phone Number Fax Number

JOHN.B@MCNAUGHTONDEVELOPMENT.COM
Email Address

[Signature]
Owner's Signature

ARCHITECT/BUILDER INFORMATION

JOHN BUNNY
Name and Title of Person Presenting Project

McNAUGHTON DEVELOPMENT
Name of Firm

115220 JACKSON STREET
Street Address

BURN RIDGE IL 60527
City, State and Zip Code

630-325-3400 / 630-325-3402
Phone Number Fax Number

JOHN.B@MCNAUGHTONDEVELOPMENT.COM
Email Address

[Signature]
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER

☐ REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>PAUL McNAUGHTON</u>	Name _____
Address <u>115220 JACOBSON ST.</u> <u>BURN RIDGE IL 60527</u>	Address _____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Lake Forest Building Review Board
Property Narrative &
Request for a New Single-Family Residence
1905 Amberley Court
Lake Forest, Illinois 60045

McNaughton Development LLC and Daniel Lusus Architects, PC are returning to the Building Review Board requesting approval for modifications to the previously approved single family home design for the proposed home at 1905 Amberley Court, Lake Forest in the Amberley Woods Subdivision.

Architectural Review Process

The Building Review Board in June 2021 recommended to the City Council the approval of twelve different elevations for new homes to be constructed on the remaining nineteen lots along Amberley Court within the Amberley Woods subdivision. Since that time, we have started construction on two model homes and a speculative home. In addition, we have made applications for four additional new homes. In the case of the home at 1905 Amberley, we have determined that the addition of a third bedroom on the second floor would be beneficial to the salability of this particular home. As a result of this bedroom a deviation is created from the June 2021 elevations for the Bostonian French Country style home. City Staff has requested that we make this application for approval of the change in light of their inability to approve it administratively.

Architectural Modification

The following is the modification from the approved plans...

- A third second floor bedroom has been added to the plan effecting the right-side elevation.
- The result of the added bedroom is a longer dormer along the second-floor right-side elevation
- The bedroom also results in a small secondary hip on the rear elevation.

Request Summary

We feel that this minor modification to the June 2021 plans in no way diminish the character of those plans. The home as proposed would be constructed within the spirit of the approvals. The changes do not noticeably affect the home's overall footprints, massing or overall roof pitch. The changes are undetachable from the street view. In fact, the changes to the side will be blocked by the proximity of the proposed adjacent home and the wooded nature of the rear yards and common open space area.

In addition to requesting the approval of the BRB for these changes, we are asking that the board consider and approve a practical mechanism to allow the City Staff to approve modifications to the approved plans. We are anticipating that additional modifications will continue to be requested by clients as we move through the development. We too, have already proposed additional modifications on other applications in the effort to improve floor plans while working within the intent of the approved elevations. Our intent is not to over burden the board with additional reviews over and above the original approvals. All parties would benefit if we and staff were granted some license or flexibility to timely modify the architecture moving forward.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☒ Stone
☐ Brick
☐ Wood Clapboard Siding
☒ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material per Attached

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☐ Aluminum Clad
☐ Vinyl Clad

☒ Other FIBERGLASS
 Color of Finish per Attached

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other Stucco

Window Trim

- ☒ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other Stucco

Fascias, Soffits, Rakeboards

- ☐ Wood
☒ Other HARDIE BOARD PRE FINISHED
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
☒ Stone
☐ Stucco
☐ Other _____

Roofing**Primary Roof Material**

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Composition Shingles _____
☐ Sheet Metal _____
☒ Other ARCHITECTURAL DIMENSIONAL ASPHALT.

Flashing Material

- ☐ Copper
☐ Sheet Metal _____
☐ Other _____

Color of Material PLX ATTACHED

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☒ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☐ Other _____

Bostonian Model

French Country
 Lot # 11 Amberley Woods
 REV 5/31/22

Pictures of Colors Attached

STONE Palimino Blend	PORCH RAILS N/A Note: Cedar Painted
WINDOWS/PAC CLAD Pella (Fiberglass Window) Pac Clad Color: White N/A	FLOWER BOXES N/A
SHAKE Hardie N/A	BRACKETS / PILLARS Sherman Williams SW 7757 High Reflective White Painted Note: Columns + Brackets Approved as Wood
ROOF* Timberline GAF Charcoal	STUCCO Saddle Soap Fine Finish Senergy
SOFFIT / FASCIA / TRIM Hardie Arctic White	PERGOLA N/A
GUTTERS (Aluminum) White	CHIMNEY CAPS Clay
SHUTTERS (Hardi) Hardi - Smokey Azurite 9146	REAR PATIO / FRONT PORCH Approved as Pavers
FRONT DOOR (Wood) Sherman Williams Warm Stained Door w/ White Painted Frame	LIGHT FIXTURES EXTERIORS Tolerand Kichler Black *Cut Sheet Attached
GARAGE DOORS (Steel) White	

*Roof selection pending the resolution of the dispute regarding the desire to use asphalt shingles over cedar shake shingles.

PREVIOUSLY APPROVED
BOSTONIAN FRENCH COUNTRY ELEVATIONS



FRONT ELEVATION

TOP/ RIDGE
28'-8" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES CONTINUOUS RIDGE VENTS.
- ALUMINUM GUTTERS AND DOWN SPOUTS
- STUCCO FIREPLACE W/ CLAY FLUE CAP
- HARDIE BOARD FASCIA & SOFFIT W/ FACTORY FINISH
- 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

AMBERLEY COURT - LAKE FOREST
BOSTONIAN - FRENCH COUNTRY

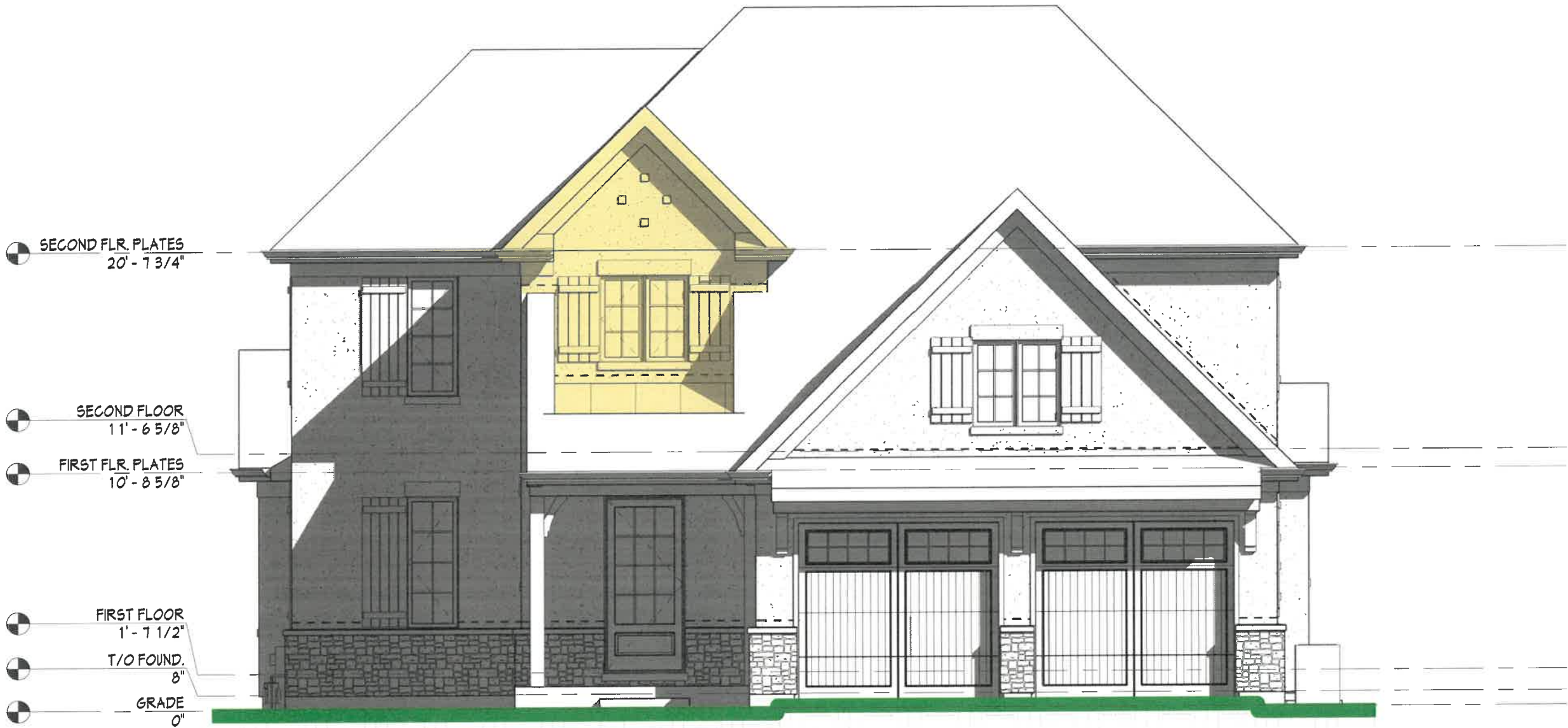
McNAUGHTON
DEVELOPMENT

115220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

MAY 18, 2021

PROPOSED FRONT (NORTH) ELEVATION
BOSTONIAN FRENCH COUNTRY - 1905 AMBERLEY COURT
PROPOSED CHANGES HIGHLIGHTED



1 FRONT
SCALE: 3/16" = 1'-0"

DANIEL LESUS ARCHITECTS, P.C.
DESIGN • PLANNING • CONSULTING
1033 Holly Circle
Lake Zurich, IL 60047
P: 847.550.0972
F: 847.550.1075
darchitectspc.com

NEW RESIDENCE
LOT 11 - 1905 AMBERLEY CT.
LAKE FOREST, ILLINOIS 60045

DATE: JAN. 09, 2022
PERMIT: MAR. 15, 2022
REVISION: APRIL 21, 2022
REVISION:
PROJECT NO. 22.829

SHEET:
2.0
FRONT

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DANIEL LESUS ARCHITECTS, P.C.

PROPOSED SIDE (WEST) ELEVATION
BOSTONIAN FRENCH COUNTRY - 1905 AMBERLEY COURT
PROPOSED CHANGES HIGHLIGHTED



1

RIGHT
SCALE: 3/16" = 1'-0"

DANIEL LESUS ARCHITECTS, P.C.
DESIGN • PLANNING • CONSULTING
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Lake Zurich, IL 60047
P: 847.550.0972
F: 847.550.1075
dlesusarchitects.com

NEW RESIDENCE
LOT 11 - 1905 AMBERLEY CT.
LAKE FOREST, ILLINOIS 60045

DATE: JAN. 03, 2022
PERMIT: MAR. 15, 2022
REVISION: APRIL 21, 2022
REVISION:
PROJECT NO. 22.829

SHEET:
2.1
RIGHT

PROPOSED REAR (SOUTH) ELEVATION
BOSTONIAN FRENCH COUNTRY - 1905 AMBERLEY COURT
PROPOSED CHANGES HIGHLIGHTED



1 REAR
SCALE: 3/16" = 1'-0"

DANIEL LESUS ARCHITECTS, P.C.
DESIGN • PLANNING • CONSULTING
1033 Holly Circle
Lake Zurich, IL 60047
P: 847.550.0972
F: 847.550.1075
dlaarchitects@pc.com

NEW RESIDENCE
LOT 11 - 1905 AMBERLEY CT.
LAKE FOREST, ILLINOIS 60045

DATE:	JAN. 03, 2022
PERMIT:	MAR. 15, 2022
REVISION:	APRIL 21, 2022
PROJECT NO.	22829



SHEET:
2.2
REAR

6/13/2022 8:02:16 PM

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PROPOSED SIDE (EAST) ELEVATION
BOSTONIAN FRENCH COUNTRY - 1905 AMBERLEY COURT
PROPOSED CHANGES HIGHLIGHTED



1 LEFT
SCALE: 3/16" = 1'-0"

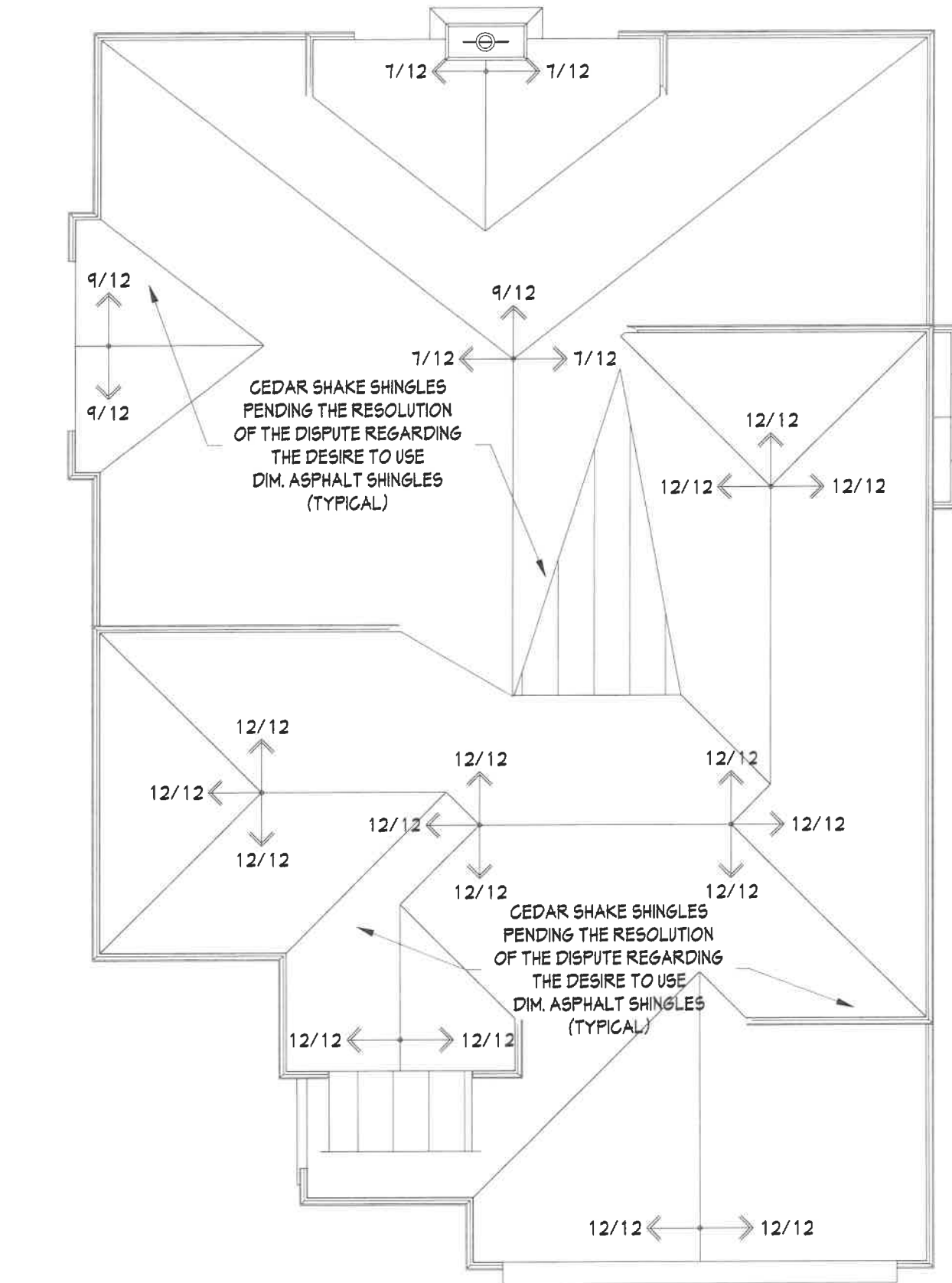
DANIEL LESUS ARCHITECTS, P.C.
DESIGN • PLANNING • CONSULTING
1033 Holly Circle
Lake Zurich, IL 60047
P: 847.550.0972
F: 847.550.1075
dlarchitects.com

NEW RESIDENCE
LOT 11 - 1905 AMBERLEY CT.
LAKE FOREST, ILLINOIS 60045

DATE: JAN. 03, 2022
PERMIT: MAR. 15, 2022
REVISION: APRIL 21, 2022
REVISION:
PROJECT NO. 22829

SHEET:
2.3
LEFT

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1 ROOF
SCALE: 1/8" = 1'-0"

DANIEL LESUS ARCHITECTS, P.C.
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P: 847.550.0972
F: 847.550.1075
1033 Holly Circle
Lake Zurich, IL 60047
dlesusarchitects.com

NEW RESIDENCE
LOT 11 - 1905 AMBERLEY CT.
LAKE FOREST, ILLINOIS 60045

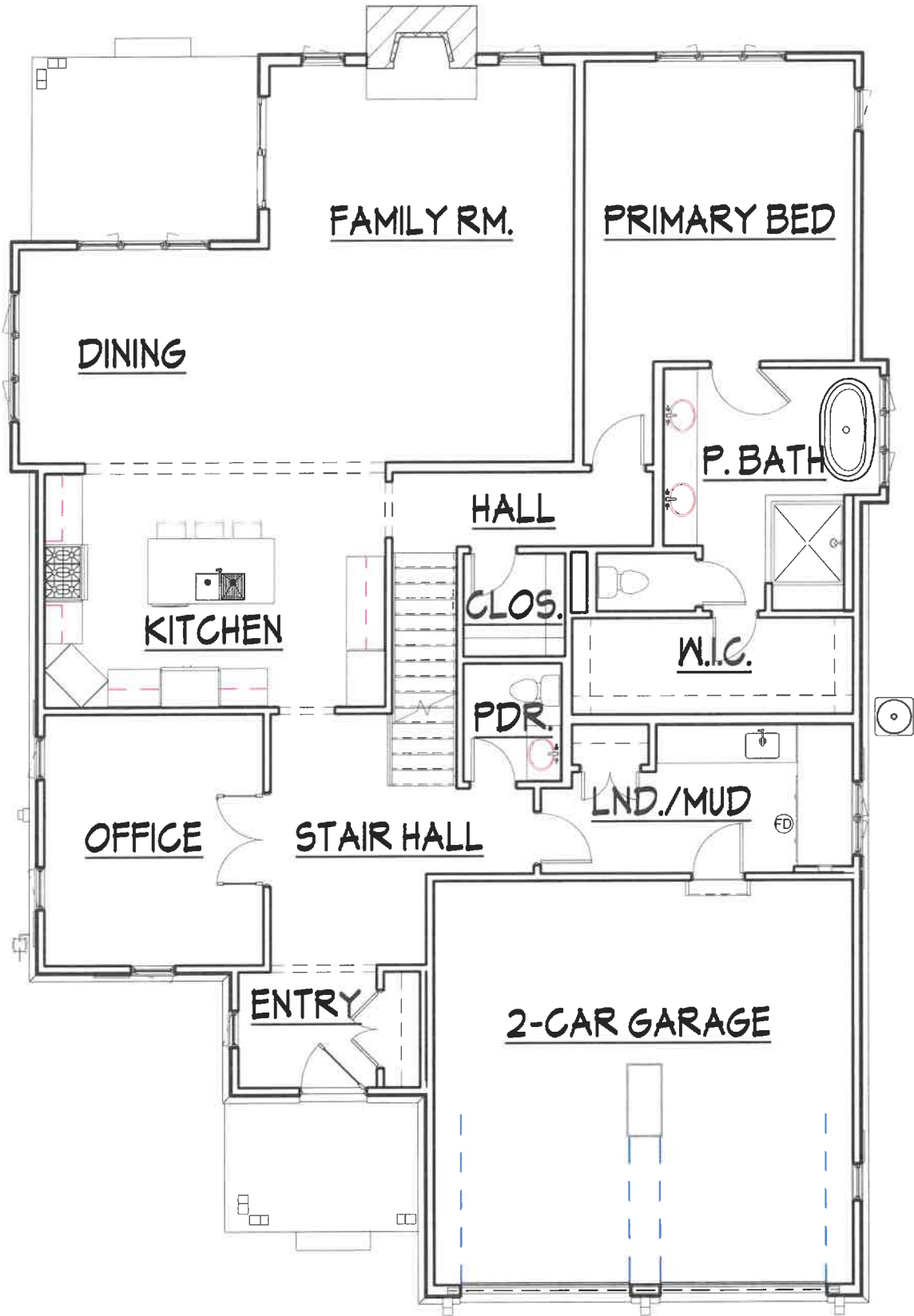
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PERMIT:	MAR. 15, 2022
REVISION:	APRIL 21, 2022
PROJECT NO.	22.829



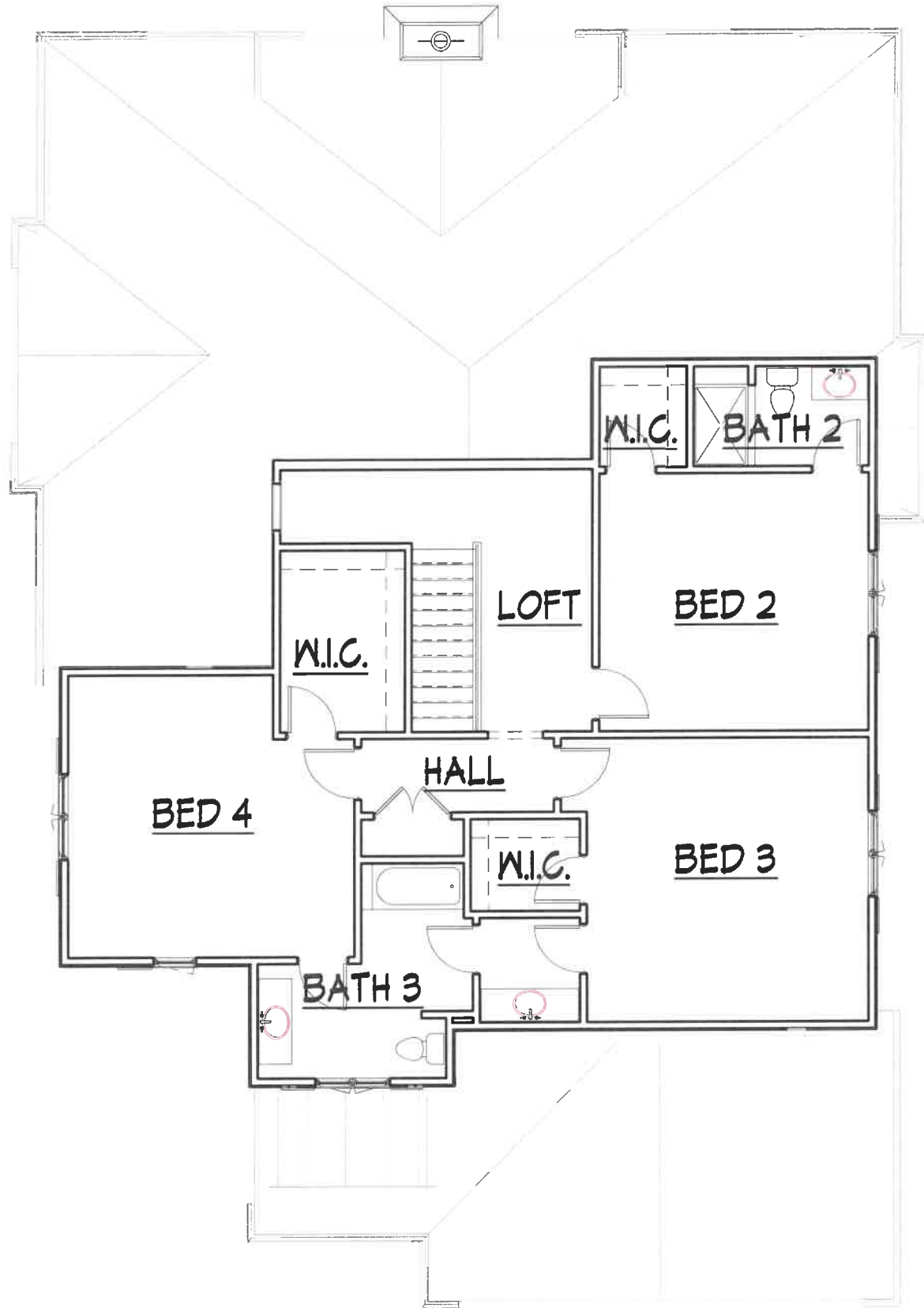
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3.0
ROOF

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1 **FIRST**
SCALE: 1/8" = 1'-0"



2 **SECOND**
SCALE: 1/8" = 1'-0"

DANIEL LESUS ARCHITECTS, P.C.
DESIGN • PLANNING • CONSULTING
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Lake Zurich, IL 60047
P: 847.550.0972
F: 847.550.1075
dlaarchitectspc.com

NEW RESIDENCE
LOT 11 - 1905 AMBERLEY CT.
LAKE FOREST, ILLINOIS 60045

DATE: JAN. 03, 2022
PERMIT: MAR. 15, 2022
REVISION: APRIL 21, 2022
REVISION:
PROJECT NO. 22.829

SHEET:
1.0
PLANS

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THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1915 AMBERLEY COURT, LAKE FOREST

APPLICATION TYPE

RESIDENTIAL PROJECTS	COMMERCIAL PROJECTS
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> New Building
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Addition/Alteration
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other
<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Lighting
<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

McNAUGHTON DEVELOPMENT
Owner of Property

115220 JACKSON STREET
Owner's Street Address (may be different from project address)

BURN RIDGE IL 60527
City, State and Zip Code

630-325-3400 / 630-325-3402
Phone Number Fax Number

JOHN.B@MCNAUGHTONDEVELOPMENT.COM
Email Address

[Signature]
Owner's Signature

ARCHITECT/BUILDER INFORMATION

JOHN BUNNY
Name and Title of Person Presenting Project

MCNAUGHTON DEVELOPMENT
Name of Firm

115220 JACKSON STREET
Street Address

BURN RIDGE IL 60527
City, State and Zip Code

630-325-3400 / 630-325-3402
Phone Number Fax Number

JOHN.B@MCNAUGHTONDEVELOPMENT.COM
Email Address

[Signature]
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER

☐ REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>PAUL MCNAUGHTON</u>	Name _____
Address <u>115220 JACKSON ST. BURN RIDGE IL 60527</u>	Address _____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Lake Forest Building Review Board
Property Narrative &
Request for a New Single-Family Residence
1915 Amberley Court
Lake Forest, Illinois 60045

McNaughton Development LLC and Fergon Architect LLC are returning to the Building Review Board requesting approval for modifications to the previously approved single family home design for the proposed home at 1915 Amberley Court, Lake Forest in the Amberley Woods Subdivision.

Architectural Review Process

The Building Review Board in June 2021 recommended to the City Council the approval of twelve different elevations for new homes to be constructed on the remaining nineteen lots along Amberley Court within the Amberley Woods subdivision. Since that time, we have started construction on two model homes and a speculative home. In addition, we have made applications for four additional new homes. In the case of the home at 1915 Amberley, we have determined that a reconfigured family room, a sunroom and the addition of a third bedroom on the second floor would be beneficial to the salability of this particular home. As a result of this bedroom a deviation is created from the June 2021 elevations for the Carlisle Shingle style home. City Staff has requested that we make this application for approval of the change in light of their inability to approve it administratively.

Architectural Modification

The following are the modification from the approved plans...

- The reconfigured family incorporates what was originally proposed as a covered porch. The usability of the family room is greatly improved with this change. The original covered patio door is replaced by a three-wide window and the stone fireplace is relocated to the center of the house. The outer limits of the foundation remain the same and this change alone does not affect the approved roof.
- The sunroom has been added to the rear elevation. This 13 x 10 room does add to the foundation in the rear of the home and creates a gable on the rear elevation roof. Additional windows are provided around all three sides of the room to maximize views of the open space area.
- The result of the added bedroom is a longer dormer along the second-floor left-side elevation and a new gable on the rear side elevation.

Request Summary

We feel that these minor modifications to the June 2021 plans in no way diminish the character of those plans. The home as proposed would be constructed within the spirit of the approvals. The changes do not noticeably affect the home's overall footprints, massing or overall roof pitch. The changes are undetachable from the street view. In fact, the changes to the side will be blocked by the proximity of the proposed adjacent home and the wooded nature of the rear yards and common open space area.

In addition to requesting the approval of the BRB for these changes, we are asking that the board consider and approve a practical mechanism to allow the City Staff to approve modifications to the approved plans. We are anticipating that additional modifications will continue to be requested by clients as we move through the development. We too, have already proposed additional modifications on other applications in the effort to improve floor plans while working within the intent of the approved elevations. Our intent is not to over burden the board with additional reviews over and above the original approvals. All parties would benefit if we and staff were granted some license or flexibility to timely modify the architecture moving forward.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Facade Material

- | | |
|--|--|
| <input checked="" type="checkbox"/> Stone | <input type="checkbox"/> Wood Shingle |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Synthetic Stucco |
| | <input checked="" type="checkbox"/> Other <u>HARDIE BOARD PRE FINISHED</u> |
- Color of Material PLN ATTACHED

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☐ Aluminum Clad
☐ Vinyl Clad
☒ Other FIBERGLASS
 Color of Finish PLN ATTACHED

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material
☒ Other HARDIE BOARD PRE FIN.

Window Trim

- ☒ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material
☒ Other HARDIE BOARD PRE FINISHED

Fascias, Soffits, Rakeboards

- ☐ Wood
☒ Other HARDIE BOARD PRE FINISHED
☐ Synthetic Material _____

12-1915

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
☒ Stone
☐ Stucco
☐ Other _____

Roofing**Primary Roof Material**

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Composition Shingles
☐ Sheet Metal
☒ Other ARCHITECTURAL DIMENSION ASPH/FLT

Flashing Material

- ☐ Copper
☐ Sheet Metal
☐ Other _____

Color of Material SEE ATTACH

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☒ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☐ Other _____

Carlisle Model

Shingle

Lot # 12 Amberley Woods

Pictures of Colors Attached

REV 5/31/2022

STONE Eden Royal Chateau		PORCH RAILS Sherman Williams SW 7757 High Reflecti Note: Cedar Painted	ve White
WINDOWS/PAC CLAD Pella (Fiberglass Window) Color: White	Pac Clad N/A	FLOWER BOXES N/A	
SHAKE Hardie Cobble Stone		BRACKETS / PILLARS Sherman Williams SW 7757 High Reflecti Painted Note: Columns + Brackets Approved as Wood	ve White
ROOF* Timberline GAF Charcoal		STUCCO N/A	
SOFFIT / FASCIA / TRIM Hardie Arctic White		PERGOLA N/A	
GUTTERS (Aluminum) White		CHIMNEY CAPS Clay	
SHUTTERS (Hardi) Hardi - Forest Green		REAR PATIO / FRONT PORCH Approved as Pavers	
FRONT DOOR (Wood) Sherman Williams Forest Green		LIGHT FIXTURES EXTERIORS *Cut Sheet Attached	
GARAGE DOORS (Steel) White			

*Roof selection pending the resolution of the dispute regarding the desire to use asphalt shingles over cedar shake shingles.

PREVIOUSLY APPROVED CARLISLE SHINGLE ELEVATIONS



FRONT ELEVATION

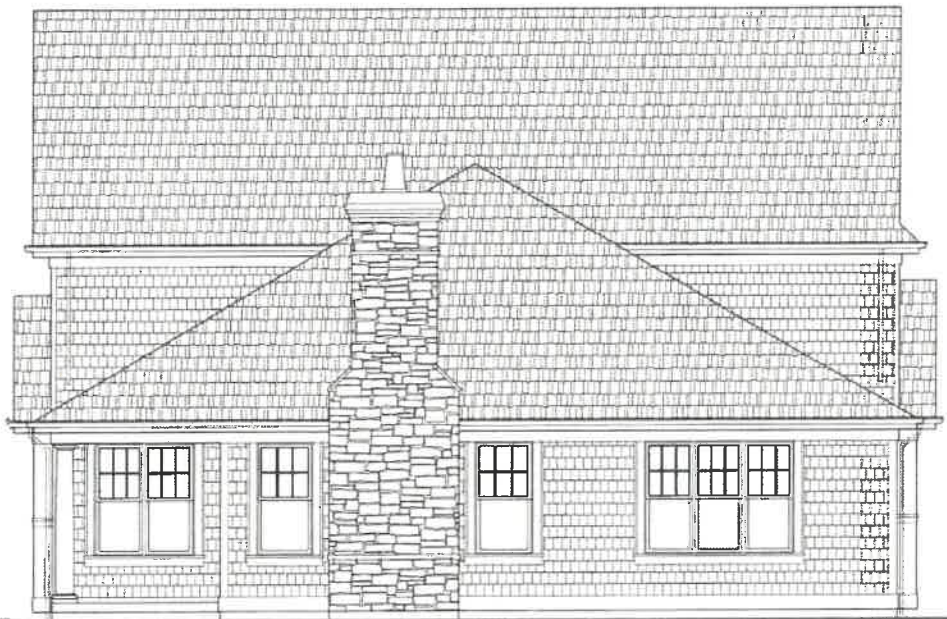
TOP/ RIDGE
31'-2" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- CEDAR SHAKE SHINGLES CONTINUOUS RIDGE VENTS.
- ALUMINUM GUTTERS AND DOWN SPOUTS
- STONE FIREPLACE W/ CLAY FLUE CAP
- HARDIE BOARD FASCIA & SOFFIT W/ FACTORY FINISH
- HARDIE BOARD SHAKE SIDING & TRIM BOARDS W/ FACTORY FINISH
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

AMBERLEY COURT - LAKE FOREST
CARLISLE - SHINGLE

McNAUGHTON
DEVELOPMENT

115220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

MAY 18, 2020

PROPOSED FRONT (NORTH) ELEVATION
CARLISLE SHINGLE - 1915 AMBERLEY COURT

PROPOSED CHANGES
HIGHLIGHTED



FRONT ELEVATION



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

AMBERLEY COURT LOT 12- LAKE FOREST
CARLISLE - SHAKE

McNAUGHTON
DEVELOPMENT

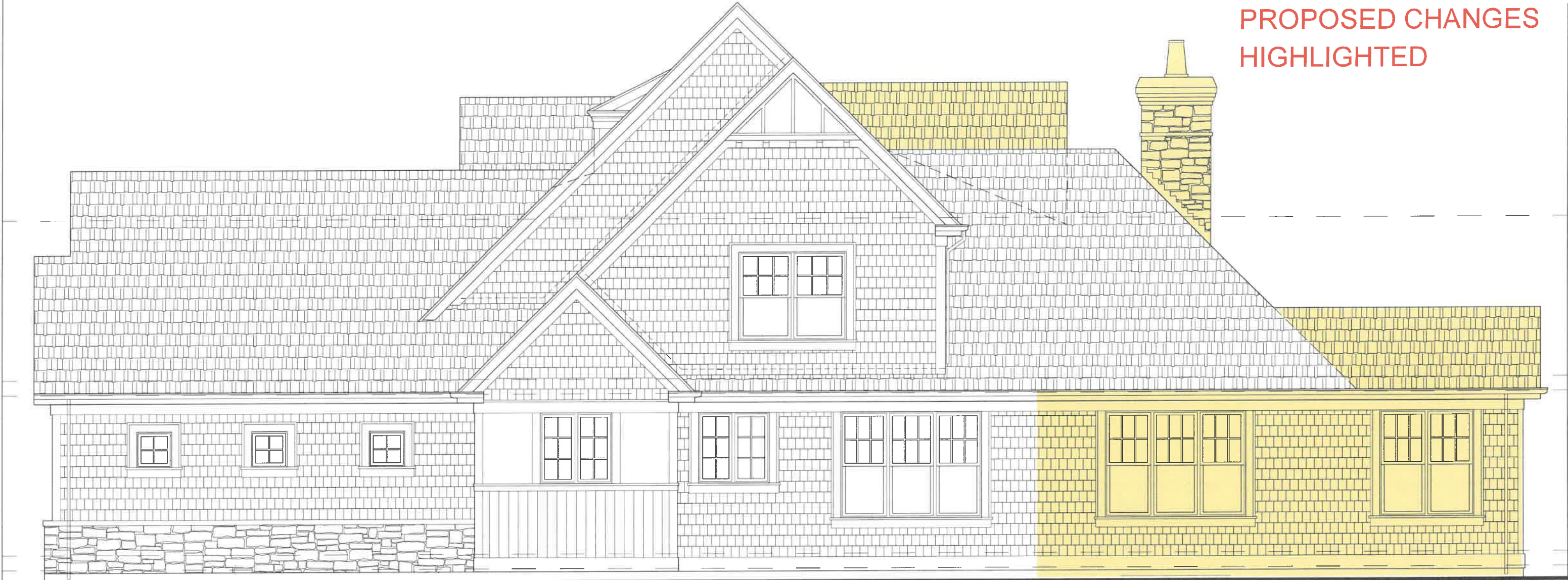
11S220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

JUNE 14, 2022

PROPOSED SIDE (WEST) ELEVATION
CARLISLE SHINGLE - 1915 AMBERLEY COURT

PROPOSED CHANGES
HIGHLIGHTED



RIGHT ELEVATION



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

AMBERLEY COURT LOT 12- LAKE FOREST
CARLISLE - SHAKE

McNAUGHTON
DEVELOPMENT

11S220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

JUNE 14, 2022

PROPOSED REAR (SOUTH) ELEVATION
CARLISLE SHINGLE - 1915 AMBERLEY COURT

PROPOSED CHANGES
HIGHLIGHTED



REAR ELEVATION



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

AMBERLEY COURT LOT 12- LAKE FOREST
CARLISLE - SHAKE

McNAUGHTON
DEVELOPMENT

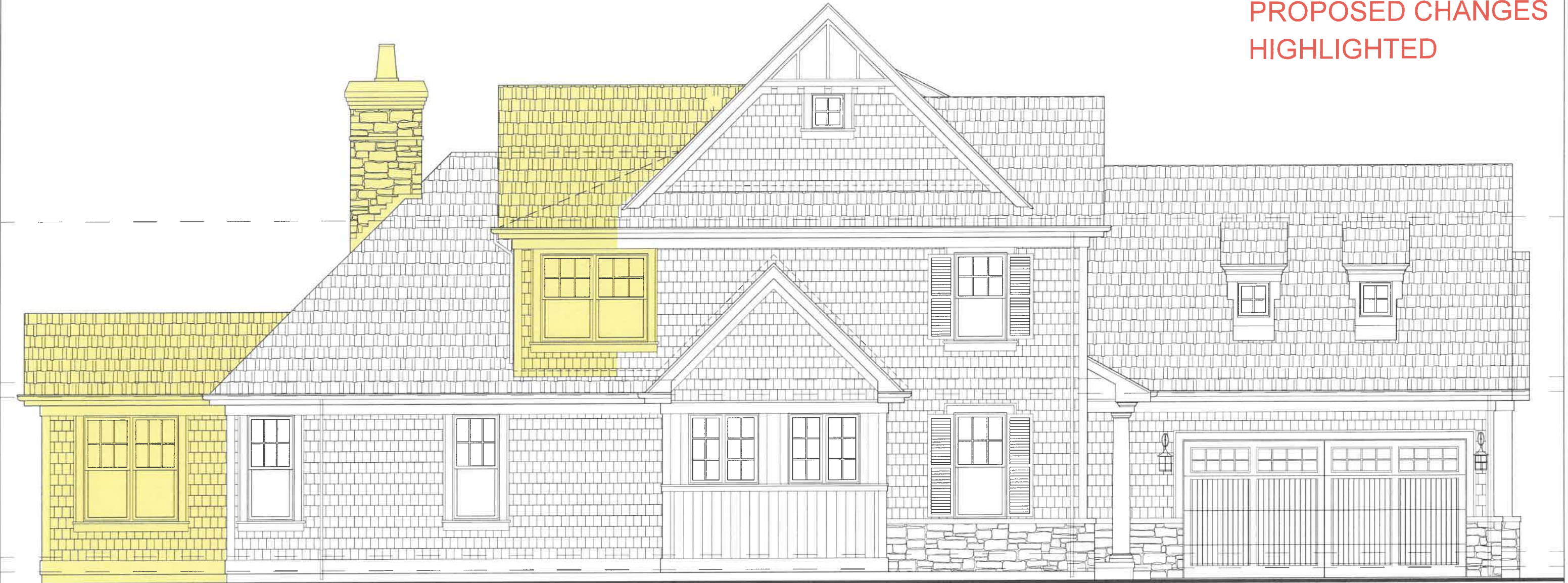
11S220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

JUNE 14, 2022

PROPOSED REAR (EAST) ELEVATION
CARLISLE SHINGLE - 1915 AMBERLEY COURT

PROPOSED CHANGES
HIGHLIGHTED



LEFT ELEVATION



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

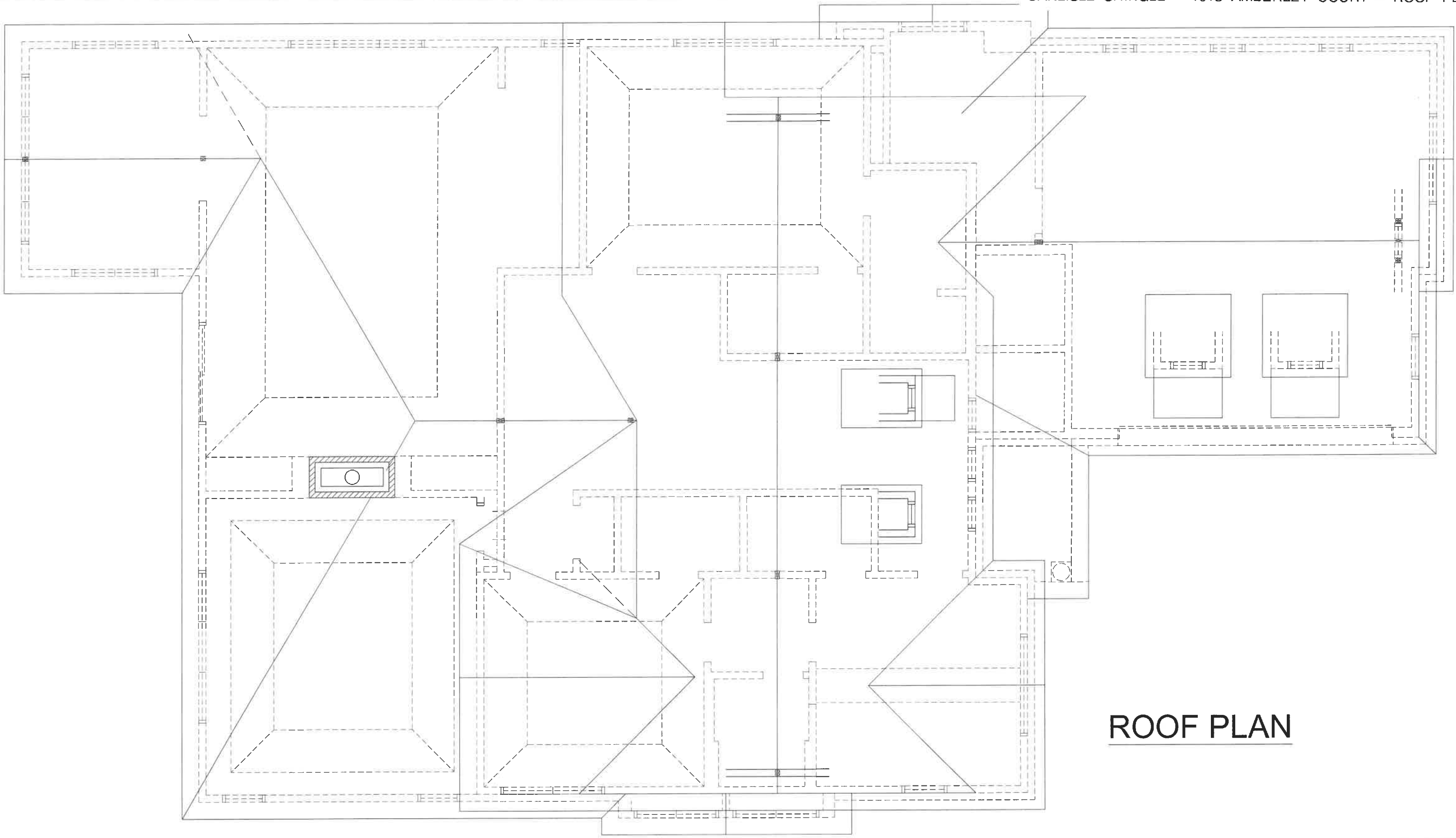
AMBERLEY COURT LOT 12- LAKE FOREST
CARLISLE - SHAKE

McNAUGHTON
DEVELOPMENT

11S220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

JUNE 14, 2022



ROOF PLAN



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

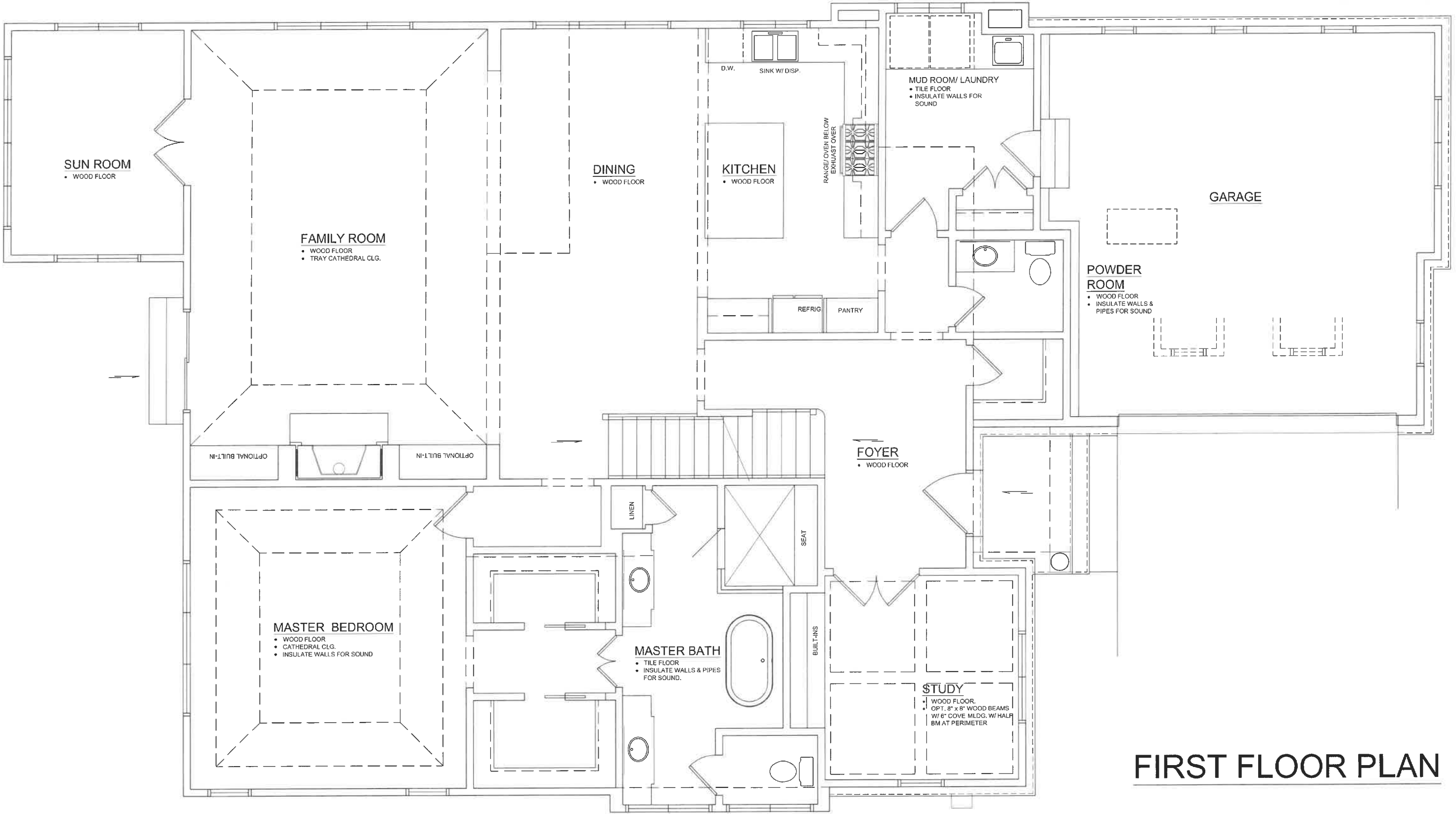
AMBERLEY COURT LOT 12- LAKE FOREST
CARLISLE - SHAKE

McNAUGHTON
DEVELOPMENT

11S220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

JUNE 14, 2022



FIRST FLOOR PLAN



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

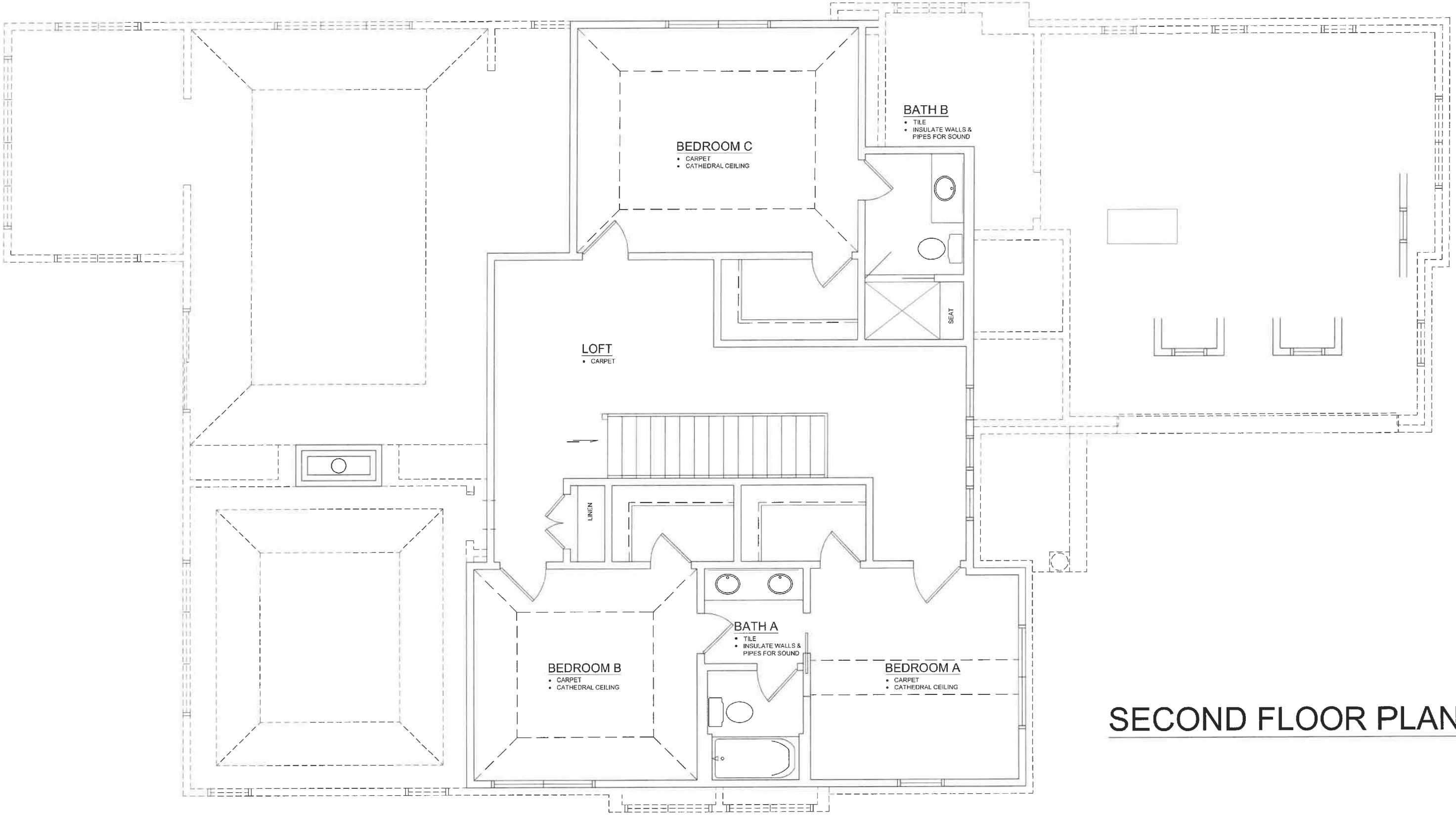
AMBERLEY COURT LOT 12- LAKE FOREST
CARLISLE - SHAKE

McNAUGHTON
DEVELOPMENT

11S220 JACKSON STREET
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JUNE 14, 2022



434 North Dover Avenue
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AMBERLEY COURT LOT 12- LAKE FOREST
CARLISLE - SHAKE

McNAUGHTON
DEVELOPMENT

11S220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
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JOB NO.
01820

JUNE 14, 2022

Agenda Item 5
172 Ridge Road
Demolition & Replacement Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photo

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Plat of Survey – Existing Conditions
Proposed Site Plan
Existing East and West Elevation
Proposed East and South Elevations
Proposed West and North Elevations
Proposed Roof Plan
Building Section
Existing Floorplans
Demolition Plans
Proposed Floorplans
Conceptual Landscape Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

172 N. Ridge Road

Consideration of a request for approval of additions and alterations including demolition of a significant portion of the existing residence, a large addition on the rear of the home, exterior alterations and an increase in the height of portions of the existing home that will remain.

Property Owner: Helen Logarakis

Project Representative: John Gonzalez, architect

Staff Contact: Jen Baehr, Planner

Description of Property and Existing Residence

This property is located on the west side of Ridge Road between Route 60 and Melody Road. The property is approximately 40,655 square feet and is developed with a one story brick residence. There is a single curb cut near the southeast corner of the lot which accesses a front load two-car garage. The neighborhood is comprised of a mix of one and two story residences in varying architectural style.

Summary of Request

This is a request for a recommendation in support of approval a partial demolition, a large addition at the rear of the home, material changes and various alterations. Based on staff's calculation, the proposed addition will increase the size of the home by approximately 77 percent. The height of the existing portions of the home that will remain will be raised by approximately 5 feet and 9 inches. All the existing exterior materials, windows, and doors will be replaced. The proposed project will change the style and massing of the home significantly.

Staff Evaluation

An evaluation of the project based on the applicable standards and staff recommendations is offered below for the Board's considerations.

Proposed Demolition

The petitioner did not provide a calculation of the percent of the home that will be demolished however, based on staff's review of the extent of the proposed demolition, more than 50% of the house will be demolished and therefore, the demolition is characterized as a completed demolition for purposes of review. The demolition plans provided by the petitioner are included in the Board's packet. The demolition criteria are reviewed below.

Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

This criterion is met. The home is a modest ranch style home that was built in 1959 and does not reflect historical, architectural, aesthetic or cultural significance that would make it worthy of preservation.

Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.

This criterion is met. A portion of the residence will remain and will be adaptively reused. The owner's desire to significantly expand the home both in footprint and in height requires substantial demolition.

Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

This criterion is not met. The house is suitable for residential use in its existing condition however, as noted above, the owner desires to significantly enlarge the home and update it. The owner has owned the home for many years and in recent years, has rented out the home.

Criterion 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

This criterion is met. There is no evidence to suggest that the proposed demolition, addition and exterior alterations will adversely impact the value of other properties in the neighborhood.

Criterion 5 – The demolition and replacement structure will be compatible with and not adversely impact the neighborhood character.

This criterion is not fully met but may be met with further refinement of the proposed plans. In general, this area of Ridge Road is characterized by single story ranch homes with simple massing, rooflines and natural, traditional building materials. Although an increase in the footprint and height of the house may be appropriate, the style, massing, rooflines, exterior materials and architectural details of the project should be modified to be more compatible with the overall neighborhood.

Staff finds that three of the criteria for demolition are currently satisfied and one additional criterion can be met with modification to the plans.

Site Plan – This standard is met.

The footprint of the home will be expanded to the rear. A portion of the home, approximately 171 square feet at the south end of the home, will be removed. This area of the home is located in the side yard setback and removing it will eliminate the need for a zoning variance which would be required if the height of a non-conforming portion of the home is proposed to increase.

The proposed addition is located on the rear (west) side of the home. The existing two-car, front facing garage on the south side of the home will be converted to living space and the existing curb cut and driveway will be removed. A new three-car, side load garage is proposed on the north side of the home. A single curb cut, and driveway are proposed on the north side of the property. A covered porch is proposed on the front of the home and a new patio is proposed on the rear of the home.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 5,052 square feet is permitted on the site with an allowance of 800 square feet for a garage and 505 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- Based on the City's calculation methodology, the existing residence totals 2,245 square feet.
- A total of 171 square feet will be removed on the south end of the home, leaving a total of 2,074 square feet of the existing home that will remain.
- The proposed addition totals 1,731 square feet. This includes the square footage of the existing garage that will be converted to living space.

- The new three car garage totals 850 square feet. The garage overage of 50 square feet must be added to the total square footage of the residence.
- The proposed front porch totals 195 square feet and is identified as a design element and is exempt from the total square footage of the house.
- In conclusion, the existing portions of the home that will remain with the proposed addition total 3,855 square feet, 23.7 percent below the maximum allowable square footage for this property.

At the maximum height, the existing residence is 15 feet and 2 inches tall. The height of the existing home will be raised to 20 feet and 10 inches. The maximum height allowed for this lot is 40 feet.

Elevations – This standard can be met with modifications.

As noted above, the existing home is a modest, simple ranch style home. The proposed modifications will change the style and character of the home. The proposed architectural style is not entirely clear based on the plans provided. The existing hip roof forms on the home will be removed and replaced with gable roof forms. The proposed addition will also have gable roof forms. A large, shed dormer is proposed on the rear of the home. The front of the home as proposed will reflect three gable forms that vary in width and height, creating a somewhat unbalanced appearance on the street facing side of the home. In addition, the proportions and grouping of the windows in the gable ends on the front elevation are different and present an awkward appearance.

The windows on the north side of the front elevation are off-center. It appears that there may be an opportunity to slightly modify the placement of these windows to create more even spacing across the wall. As currently proposed, the north and south elevations have areas of large unbroken solid walls.

Staff recommends:

- Study and refinement of the rooflines around the home, particularly on the front elevation, to achieve greater compatibility with the simplicity of the other structures found on this street.
- Modify the proportions and grouping of windows in the front gables for consistency.
- Modify the placement of the windows on the north side of the front elevation to achieve more even spacing across the wall.
- Incorporate additional openings on the north and south elevations to break up the solid areas and to present a more regular rhythm of openings on the elevations.

Type, color, and texture of materials – This standard can be met with modifications.

The proposed exterior materials largely do not follow the City's Design Guidelines. The proposed exterior wall material is composite board and batten. The existing brick on the home will be retained at the base of the east elevation and on portions of the north and south elevations. A synthetic material is proposed for the trim, fascia and soffit elements. Composite windows with muntins between the glass are proposed. The primary roof forms will be asphalt shingle. Although the petitioner did not note that metal roofing is proposed as part of the information provided, it appears that metal roofing is proposed on the front elevation and for the covered roof elements on the rear elevation. Aluminum gutters and downspouts are proposed. The chimney will be clad with composite siding.

Staff recommendations:

- Maintain the brick along the base of the home on all elevations.
- Use natural wood for the trim, fascia and soffit elements to provide more balance between composite and natural materials on the home.

- Provide additional information on the composite window product.
- Use simulated divided lite windows with muntins affixed to the exterior and interior.
- Clad the chimney in brick consistent with the City's Design Guidelines. The brick on the chimney shall match the brick at the base of the home.
- Top the chimney with a clay chimney pot.
- If metal roofing is proposed, the distance between the seams should not exceed 12 inches to avoid a commercial-like appearance.

The proposed color palette includes white siding, black windows, and black roofing. The color of the trim, porch elements, and doors is not provided in the petitioner's submittal. It is also not clear based on the plans provided if the brick at the base of the home will remain painted white or if another brick paint color is proposed.

The stark white and black contrast is currently a trend seen in many conventional tract subdivisions. Consideration of a more subtle color palette is recommended to allow the home to fit more quietly into the established neighborhood.

Landscaping – This standard is met.

A total of four trees will be impacted by construction of the new driveway and addition. These trees include two Norway Maples, one Silver Maple and one Sugar Maple. Based on the species, size and condition of the trees proposed for removal, a total of 15 required replacement inches that must be planted on site.

The preliminary landscape plan submitted by the petitioner reflects proposed plantings across the property. The proposed plantings include a variety of deciduous, evergreen and ornamental trees including Oak, Maple, Elm, Honey Locust, Spruce, Serviceberry and Lilac trees. The plantings currently reflected on the landscape plan satisfy the minimum criteria for landscaping and the required replacement inches.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at five public locations. No correspondence was received regarding this request.

Recommendation

Recommend approval of demolition of a significant portion of the existing residence, an addition on the west side of the home, an increase in the remaining portion of the home, and exterior alterations based on the findings presented in this staff report and as further detailed during the Board's deliberations. Staff recommends approval subject to the following conditions.

1. The plans shall be further refined and will be *subject to final approval by a subcommittee of the Building Review Board* appointed by the Chairman in an effort to align the petition more closely with the City's Residential Design Guidelines and the character of the surrounding neighborhood. The subcommittee is authorized to return the petition to the Board for review if acceptable solutions are not achieved through the subcommittee process.
2. The plans shall be refined as follows:

- The rooflines around the home, particularly on the front elevation, shall be refined to be more compatible with the simplicity of the other structures found on this street.
 - The proportions and grouping of windows in the front gables shall be modified to match more closely.
 - The placement of the windows on the north side of the front elevation shall be evenly spaced across the wall.
 - Additional openings shall be incorporated on the north and south elevations to break up the solid areas and to present a more regular rhythm of openings on the elevations.
 - The brick along the base of the home shall be maintained on all elevations.
 - Natural wood shall be used for the trim, fascia and soffit elements.
 - The window muntins shall be affixed to the exterior and interior.
 - The chimney shall be clad with brick as opposed to the composite siding. The brick used to clad the chimney shall match the brick at the base of the home.
 - A clay chimney pot shall be used.
 - If metal roofing is proposed, the distance between the seams should not exceed 12 inches to avoid a commercial-like appearance.
3. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices and properly direct drainage.
 4. A tree removal plan shall be submitted with the plans submitted for permit.
 5. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall provide for the required replacement inches on site. If during construction, additional trees on the site are compromised in the opinion of the City's Certified Arborist, additional replacement inches or payment in lieu of on site planting may be required. The plan shall also incorporate plantings that soften screening of the increased mass and height of the home from neighboring homes particularly along the south property line.
 6. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist.
 7. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, *except those illuminated by natural gas at low light levels*, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
 8. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 172 Ridge Road Owner(s) Helen Logarakis
 Architect John Gonzalez Reviewed by: Jen Baehr
 Date 7/6/2022
 Lot Area 40655 sq. ft.

Square Footage of Existing Residence:

1st floor 2245 + 2nd floor 0 + 3rd floor 0 = 2245 sq. ft.

Design Element Allowance = 505 sq. ft.

Total Existing Design Elements = 21 sq. ft. Excess = 0 sq. ft.

Existing Garage 554 sf actual ; 800 sf allowance = 0 sq. ft.

Garage Width 23'-0" ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Existing Residence To Remain:

= 2074 sq. ft.
(after removal of south portion of home)

Square Footage of Proposed Additions:

1st floor 1731 + 2nd floor 0 + 3rd floor 0 = 1731 sq. ft.

New Garage Area 850 sq. ft. Excess = 50 sq. ft.

New Design Elements 195 sq. ft. Excess = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 3855 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 5052 sq. ft.

DIFFERENTIAL = -1197 sq. ft. **NET RESULT:**
Under Maximum

1197 sq. ft. is

Allowable Height: 40 ft. Actual Height 15'-2" (existing house) 20' -10" (proposed) **23.7% under the Max. allowed**

DESIGN ELEMENT EXEMPTIONS (Existing & Proposed)

Design Element Allowance:	<u>505</u>	sq. ft.	
Front & Side Porches =	<u>195</u>	sq. ft.	
Rear & Side Screen Porches =	<u>0</u>	sq. ft.	
Covered Entries =	<u>0</u>	sq. ft.	
Portico =	<u>0</u>	sq. ft.	
Porte-Cochere =	<u>0</u>	sq. ft.	
Breezeway =	<u>0</u>	sq. ft.	
Pergolas =	<u>0</u>	sq. ft.	
Individual Dormers =	<u>0</u>	sq. ft.	
Bay Windows =	<u>0</u>	sq. ft.	
Total Actual Design Elements =	<u>195</u>	sq. ft.	
Excess Design Elements =	<u>0</u>	sq. ft.	





Area of Request
172 N. Ridge Road



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 172 N. RIDGE ROAD, LAKE FOREST, IL

APPLICATION TYPE

RESIDENTIAL PROJECTS	COMMERCIAL PROJECTS
<input type="checkbox"/> New Residence	<input type="checkbox"/> New Building
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Addition/Alteration
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other
<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Lighting
<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

HELEN LOGARAKIS
Owner of Property

1770 PARLIAMENT CT.
Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60045
City, State and Zip Code

312-860-7952
Phone Number

Fax Number

hlogarakis@gmail.com
Email Address

Helen Logarakis
Owner's Signature

ARCHITECT/BUILDER INFORMATION

JUN J GONZALEZ ARCHITECT
Name and Title of Person Presenting Project

SYNERGY DESIGN GROUP LLC
Name of Firm

2181 N. STARKIDGEE CT
Street Address

ROUND LAKE ROCK IL, 60073
City, State and Zip Code

(817) 343-8284
Phone Number

Fax Number

SYNERGYDESIGNGROUP@YAHOO.COM
Email Address

[Signature]
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER

☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER

☐ REPRESENTATIVE



June 23, 2022

The City of Lake Forest
Building Review Board
220 East Deerpath
Lake Forest, IL. 60045

Project address: 172 Ridge Road

Statement of intent

It is the intentions of Mr. And Mrs. Stelios and Helen Logarakis, to pursue an addition to the existing residence at 172 ridge road. Although the majority of the interior walls will be demolished, portions of the exterior walls will remain intact. The general feel of the front façade will be the same except for window placement and updated exterior finishes. On all exterior walls to remain, we will keep a lower portion of the existing painted brick in combination with the new composite siding above.

In it's present state, the home is an existing non-conforming structure. the home currently encroaches into the south setback by a few feet. We proposed to remove approximately 171 sq. ft. of non-conforming structure, to alleviate the zoning issues. This effectively creates more space between it and the neighbor to the south.

It is the intentions of the homeowners, to build a beautiful home that pays tribute to the old feel of the home, and remains in context with the neighboring properties. All of this with then utmost respect, and courtesy to the neighbors during the construction process



847-343-8284



224-624-7695



synergydesigngroup@yahoo.com



June 23, 2022

The City of Lake Forest
Building Review Board
220 East Deerpath
Lake Forest, IL. 60045

Project address: 172 Ridge Road

Demolition Criterion

Criterion 1.

Age of structure: 64 (Built in 1958)

Singe family ranch home that is common in this ridge acres subdivision. The exterior is painted white brick, with a combination of double hung, and slider windows. The roofline is a low slope hip roof throughout. The home has been a rental property for the past few years, and the owner's

Although the home will be remodeled, it will retain the same ranch feel and fit right into the surrounding context.

Criterion 2.

We have adapted as much of the existing brick as possible in the new Elevations. All exterior walls remaining will have existing brick cladding them.

Criterion 3

Does not apply

Criterion 4

Although we are demolishing a portion of the structure, we are leaving the entire foundation, structural elements and some of the exterior walls intact. The addition being proposed will easily raise the value of the property, which will in turn raise the neighbor's property values.

Criterion 5

The proposed street elevation will maintain the same feel, with a new more updated roof line.

The majority of the addition will be completely out of site from the street side.



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synergydesigngroup@yahoo.com



June 23, 2022

The City of Lake Forest
Building Review Board
220 East Deerpath
Lake Forest, IL. 60045

Project address: 172 Ridge Road

Demolition Criteria

The following is a statement regarding the present state of the structural elements at 172 Ridge Road, Lake Forest, Illinois.

Foundation: The foundation for the home is poured concrete and is in good condition. The foundation is capable of carrying the proposed loads

Steel structural Beams: There is a series of 8" structural beams with steel columns supporting the midspans. All existing steel Beams are in good condition, and capable of carrying the proposed loads.

Floor joists: All existing 2 x 10 floor joists are in good condition. They are spaced at 16" o.c. and have a span no greater than 14'-6". All spans are well within current code requirements, and capable of handling the proposed loads.

Exterior walls: portions of the east, north, and south exterior walls will remain. We plan on leaving some of the existing painted brick intact.

Mechanical systems: The existing mechanical systems will be completely upgraded with high efficiency units.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☐ Stone
☒ Brick
☐ Wood Clapboard Siding
☐ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☒ Other COMPOSITE SIDING

Color of Material WHITE

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☐ Aluminum Clad
☐ Vinyl Clad
☒ Other COMPOSITE
Color of Finish BLACK

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☒ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☐ Wood
☒ Synthetic Material _____
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☐ Wood
☒ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☐ Wood
☐ Other _____
☒ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☒ Other COMPOSITE SIDING

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☒ Composition Shingles
- ☐ Sheet Metal
- ☐ Other

Flashing Material

- ☐ Copper
- ☒ Sheet Metal
- ☐ Other

Color of Material BLACK

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other

Driveway Material

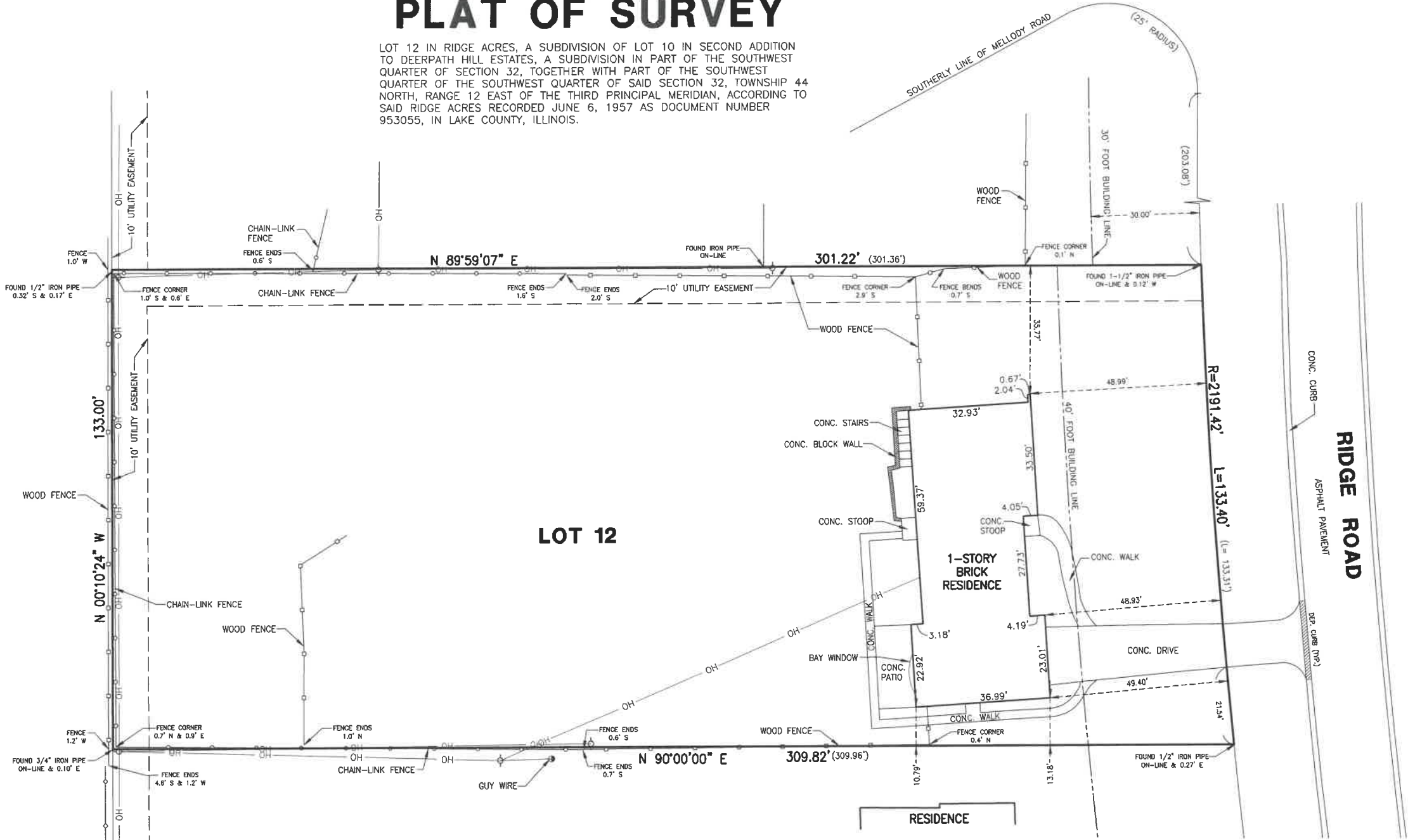
- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other

Terraces and Patios

- ☐ Bluestone
- ☒ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other

PLAT OF SURVEY

LOT 12 IN RIDGE ACRES, A SUBDIVISION OF LOT 10 IN SECOND ADDITION TO DEERPATH HILL ESTATES, A SUBDIVISION IN PART OF THE SOUTHWEST QUARTER OF SECTION 32, TOGETHER WITH PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 32, TOWNSHIP 44 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO SAID RIDGE ACRES RECORDED JUNE 6, 1957 AS DOCUMENT NUMBER 953055, IN LAKE COUNTY, ILLINOIS.



SURVEYORS NOTES:

1. THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
2. () DENOTES RECORD DIMENSION.
3. BEARINGS HEREON SHOWN ARE ON AN ASSUMED BASIS.
4. ORIGINAL CLIENT- PREMIER CUSTOM HOMES, LTD.
5. ORIGINAL FIELD WORK COMPLETED- 12-07-06

GENERAL NOTES:

1. DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF.
2. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
3. ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISION ARE SHOWN HEREON. THERE MAY BE ADDITIONAL TERMS, POWERS, PROVISIONS AND LIMITATIONS CONTAINED IN AN ABSTRACT DEED, LOCAL ORDINANCES, DEEDS, TRUSTS, COVENANTS OR OTHER INSTRUMENTS OF RECORD.
4. COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.

LEGEND

- POWER POLE
—OH— OVERHEAD LINES

AREA

40,549 Sq. Ft. OR 0.931 ACRES (MORE OR LESS)

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

WE, GREENGARD INC., DO HEREBY STATE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 9TH DAY OF MAY, A.D., 2022

GREENGARD, INC.
111 BARCLAY BOULEVARD, SUITE 310
LINCOLNSHIRE, ILLINOIS 60069

JOSEPH R. SADOSKI
ILLINOIS
PROFESSIONAL LAND SURVEYOR NO. 3316
MY RENEWABLE LICENSE EXPIRES 11-30-22.



DESIGNED BY:	JRS	DATE:	12-08-06
CHECKED BY:	AN	DATE:	12-08-06
APPROVED BY:		DATE:	
DRAWN BY:	JRS	DATE:	03-09-16
DATE:	05-09-22	UPDATED SURVEY	
DATE:	03-09-16	REVISED BOUNDARY	
REVISIONS			



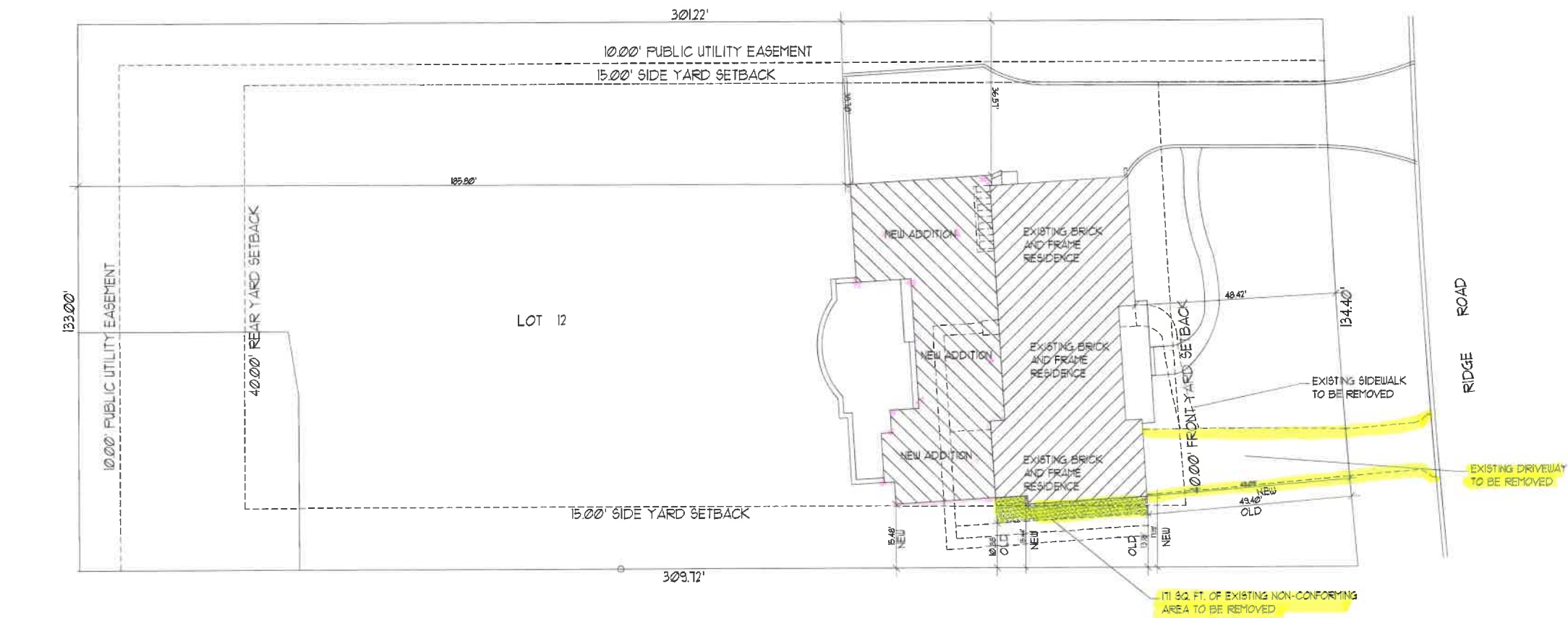
GREENGARD, INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3615
PHONE: 847-634-3883 FAX: 847-634-0687
E-MAIL: 231@GREENGARDINC.COM
ILL. REGISTRATION NO. 184-000995

SCALE:	1"=20'
DRAWING No.	52238
SHEET	1 OF 1

172 RIDGE ROAD - LAKE FOREST, ILLINOIS

PLAT OF SURVEY

Drawing File: J:\52238-S\dwg\52238-UPDATE 05-22.dwg May 09 2022-12:17pm




1 SITE PLAN
A-0 SCALE: 1" = 15' - 0"

LOT SIZE 40,653 SQ. FT.
BUILDING SCALE: 36,314.21 X .08 + 1,800 = 4,818 SQ. FT.
EXISTING FIRST FLOOR = 2,721 SQ. FT.
EXISTING NON CONFORMING ARE REMOVED = -171 SQ. FT.
FIRST FLOOR ADDITION = 1,223 SQ. FT.
SECOND FLOOR ADDITION = 938 SQ. FT.
3 CAR ATTACHED GARAGE = 810 SQ. FT.
COVERED PORCH = 184 SQ. FT.
-800 SQ. FT. ALLOWANCE FOR GARAGE
-194 SQ. FT. ALLOWANCE FOR COVERED PORCH
-174 SQ. FT. MIDDLE FRONT DORMER ALLOWANCE
TOTAL FAR (AFTER ALLOWANCES): 4,680.5 SQ. FT. OF 4,818 ALLOWABLE

EXISTING FIRST FLOOR FOOTPRINT = 2,721 SQ. FT.
EXISTING DRIVEWAY = 674 SQ. FT.
EXISTING REAR SIDEWALK = 282 SQ. FT.
FRONT SIDEWALK = 133 SQ. FT.
FRONT STOOP = 20
REAR PATIO = 166 SQ. FT.
EXISTING IMPERVIOUS : 3,936 SQ. FT. / 40,653 = 9.8%
SURFACES CALCULATION

EXISTING FIRST FLOOR FOOTPRINT (MINUS DEMO.) = 2,548 SQ. FT.
PROPOSED ADDITION: 2,043 SQ. FT.
PROPOSED DRIVEWAY = 2,539 SQ. FT.
PROPOSED REAR PATIO = 196 SQ. FT.
FRONT PORCH: 194 SQ. FT.
PROPOSED IMPERVIOUS : 8,120 SQ. FT. / 40,653 = 19.9%
SURFACES CALCULATION



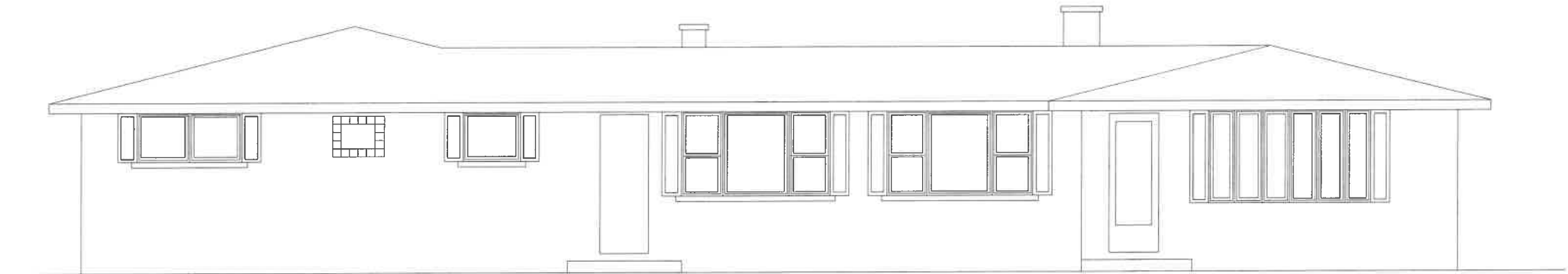
SYNERGY DESIGN GROUP LLC
2181 N. STONEHEDGE COURT
ROUND LAKE BEACH, ILLINOIS 60073
MOBILE: 847-343-8284

LOGAPAKIS RESIDENCE
172 RIDGE ROAD
LAKE FOREST, ILLINOIS 60045

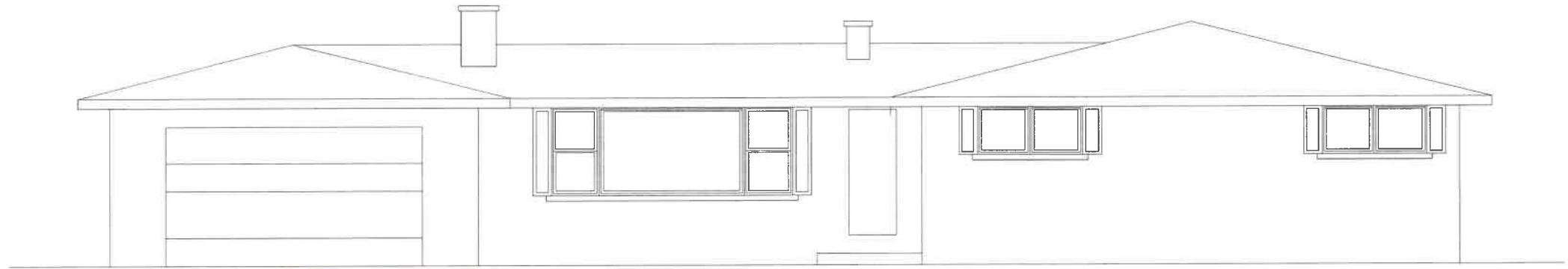
PROPOSED SITE PLAN

DATE	REVISION
06.21.22	
DRAWN	JG
CHECK'D	


A-0



2
A-2.2
EXISTING WEST ELEVATION
SCALE: 1/4" = 1' - 0"



1
A-2.2
EXISTING EAST ELEVATION
SCALE: 1/4" = 1' - 0"


SYNERGY
DESIGN GROUP LLC

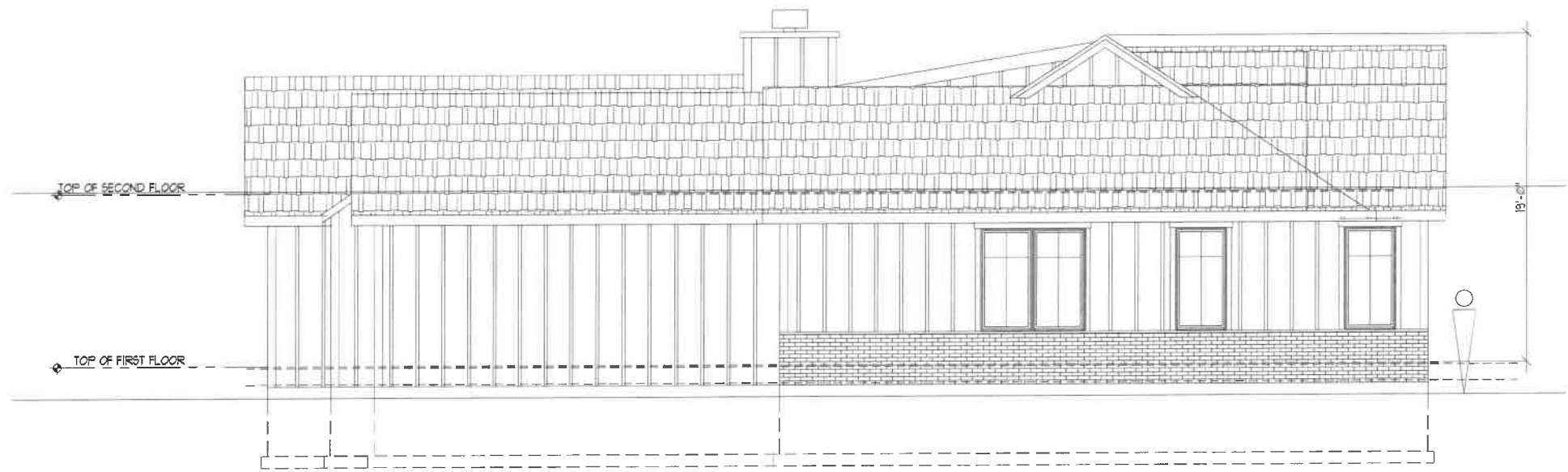
LOGAPAKIS RESIDENCE
172 RIDGE ROAD
LAKE FOREST, ILLINOIS 60045

EXISTING ELEVATIONS

SYNERGY DESIGN GROUP LLC
2181 N. STONEHEDGE COURT
ROUND LAKE BEACH, ILLINOIS 60073
MOBILE: 847-343-8284
BUSINESS: 224-643-7695

DATE	REVISION
06.21.22	
DRAWN	
JG	
CHECK'D	

A-2.2



2
A-4

PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1' - 0" PAINTED FACE BRICK, BOARD AND BATTEN SIDING, ASPHALT MAIN ROOF W/ METAL ROOF ACCENTS



1
A-4

PROPOSED EAST ELEVATION

SCALE: 1/4" = 1' - 0" PAINTED FACE BRICK, BOARD AND BATTEN SIDING, ASPHALT MAIN ROOF W/ METAL ROOF ACCENTS



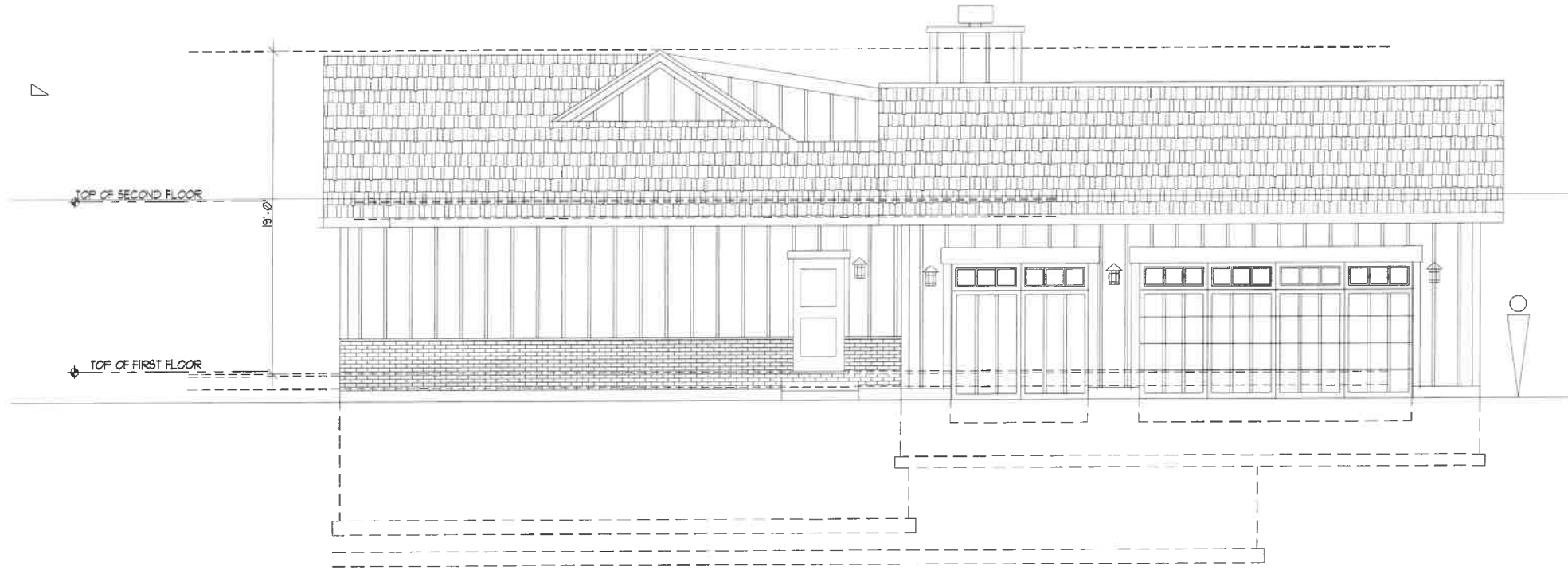
LOGARAKIS RESIDENCE
172 RIDGE ROAD
LAKE FOREST, ILLINOIS 60045

PROPOSED ELEVATIONS

SYNERGY DESIGN GROUP LLC
2181 N. STONEHEDGE COURT
ROUND LAKE BEACH, ILLINOIS 60073
BUSINESS: 224-643-7695
MOBILE: 847-343-8284

DATE	REVISION
06.21.22	
DRAWN	
JG	
CHECK'D	

A-4



2
A-5
PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1' - 0" PAINTED FACE BRICK, BOARD AND BATTEN SIDING, ASPHALT MAIN ROOF W/ METAL ROOF ACCENTS



1
A-5
PROPOSED WEST ELEVATION
SCALE: 1/4" = 1' - 0" BOARD AND BATTEN SIDING, ASPHALT MAIN ROOF W/ METAL ROOF ACCENTS



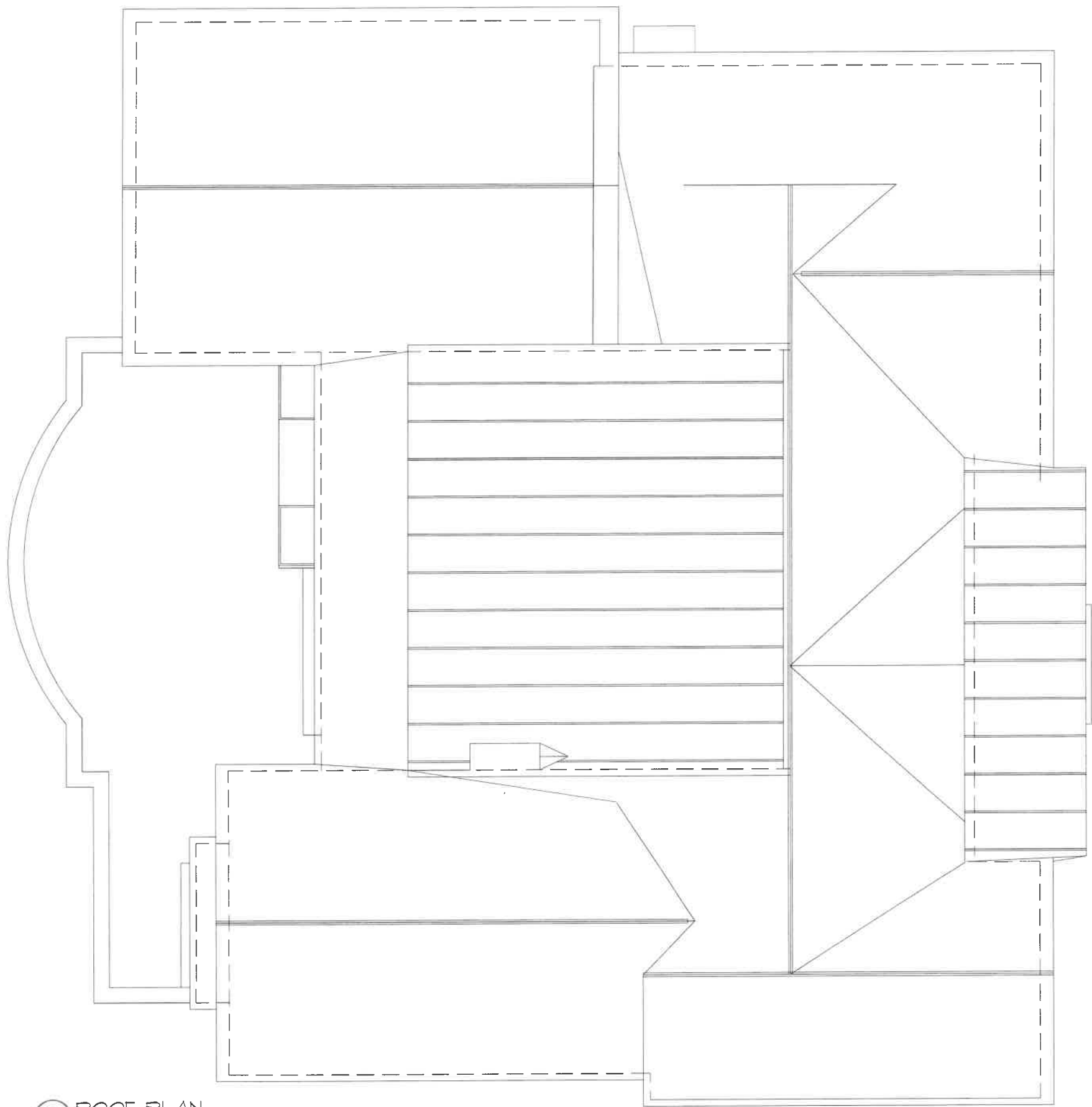
LOGARAKIS RESIDENCE
172 RIDGE ROAD
LAKE FOREST, ILLINOIS 60045

PROPOSED ELEVATIONS

SYNERGY DESIGN GROUP LLC
2181 N. STONEHEDGE COURT
ROUND LAKE BEACH, ILLINOIS 60073
MOBILE: 847-343-8284 BUSINESS: 224-643-7695

DATE	REVISION
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JG	
CHECK'D	

A-5



1 ROOF PLAN
A-7 SCALE: 1/4" = 1' - 0"



LOGARAKIS RESIDENCE
172 RIDGE ROAD
LAKE FOREST, ILLINOIS 60045

ROOF PLAN

SYNERGY DESIGN GROUP LLC
2181 N. STONEHEDGE COURT
ROUND LAKE BEACH, ILLINOIS 60073
MOBILE: 847-343-8284
BUSINESS: 224-643-7695

DATE	REVISION
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A-7



1 BUILDING SECTION
A-6 SCALE: 3/8" = 1' - 0"



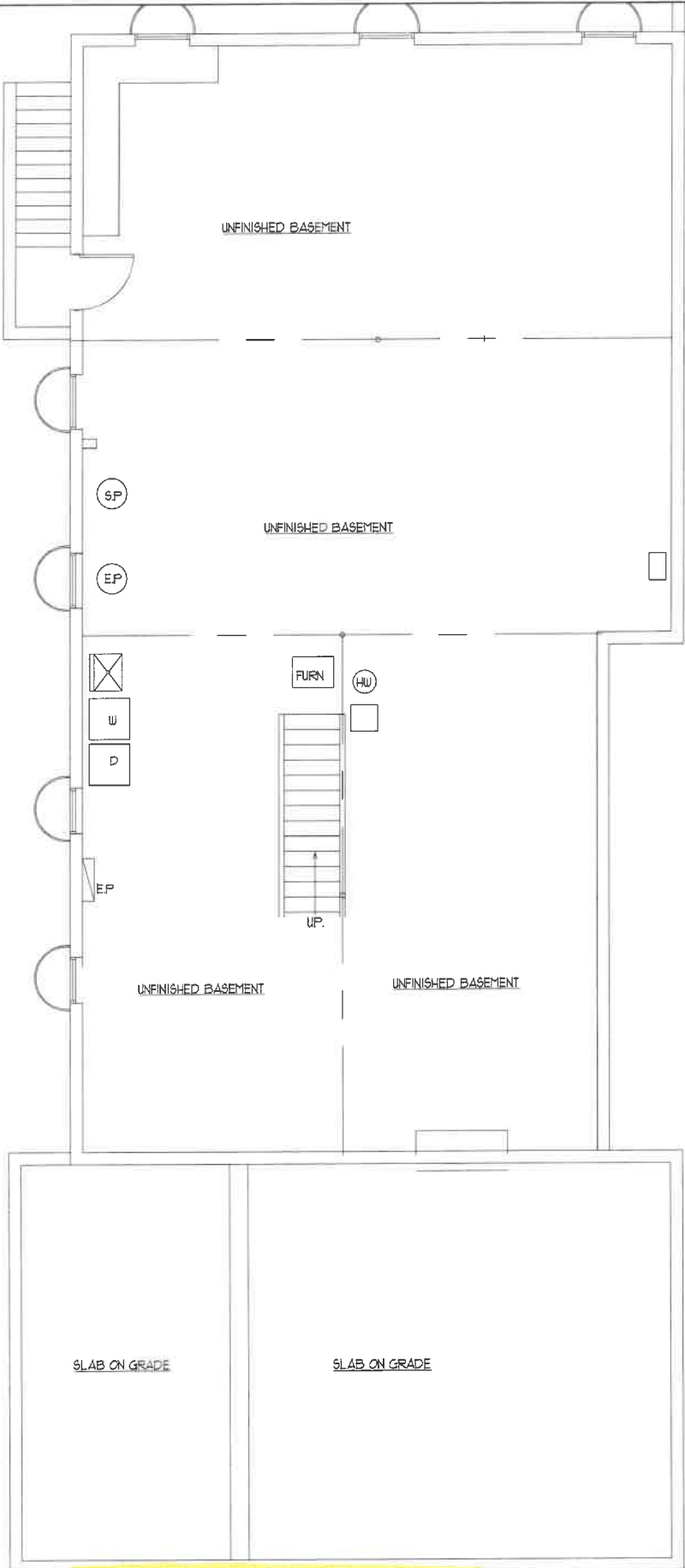
LOGARAKIS RESIDENCE
172 RIDGE ROAD
LAKE FOREST, ILLINOIS 60045

BUILDING SECTION

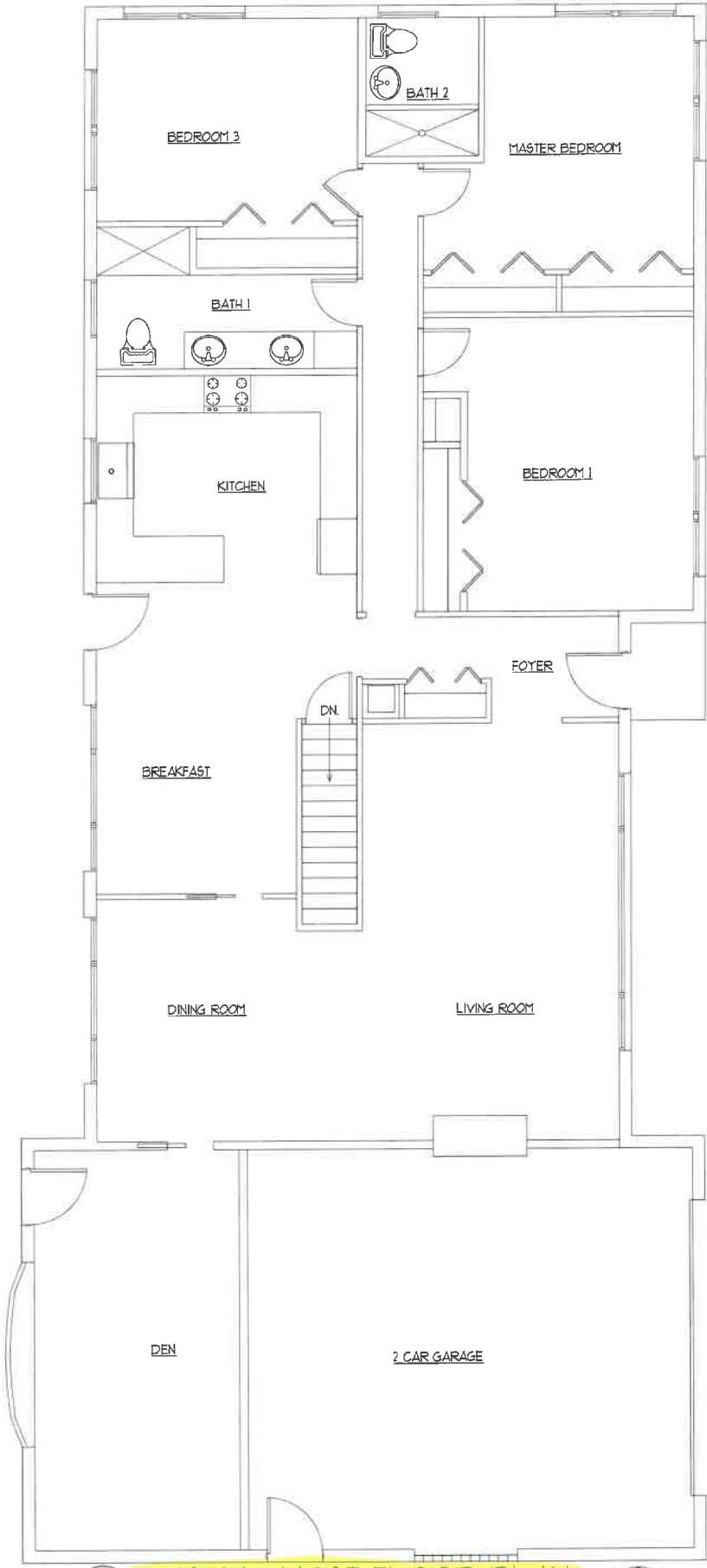
SYNERGY DESIGN GROUP LLC
2181 N. STONEHEDGE COURT
ROUND LAKE BEACH, ILLINOIS 60073
MOBILE: 847-343-8284 BUSINESS: 224-643-7695

DATE	REVISION
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A-6



1
A-2.1
EXISTING BASEMENT PLAN
SCALE: 1/4" = 1' - 0"



2
A-2.1
EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"



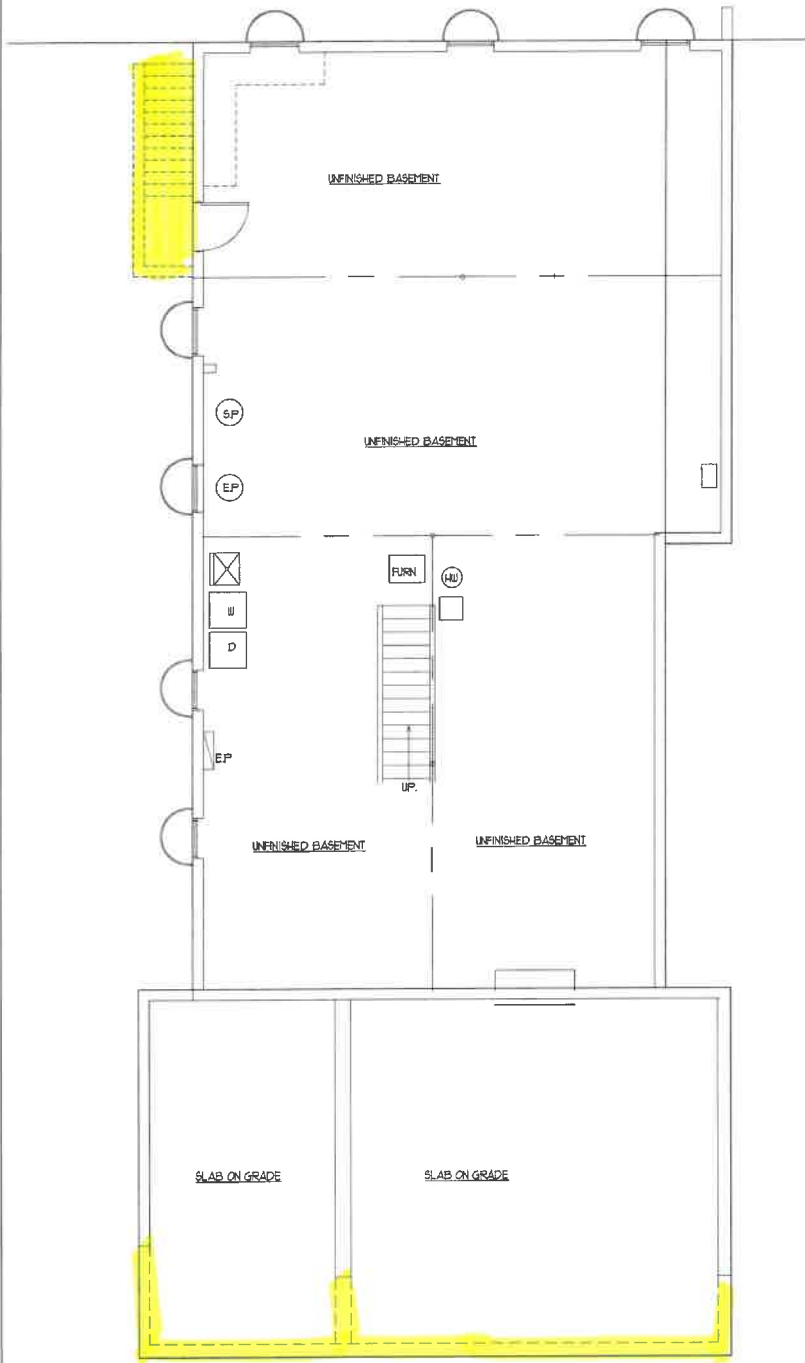
LOGARAKIS RESIDENCE
172 RIDGE ROAD
LAKE FOREST, ILLINOIS 60045

EXISTING FLOOR PLANS

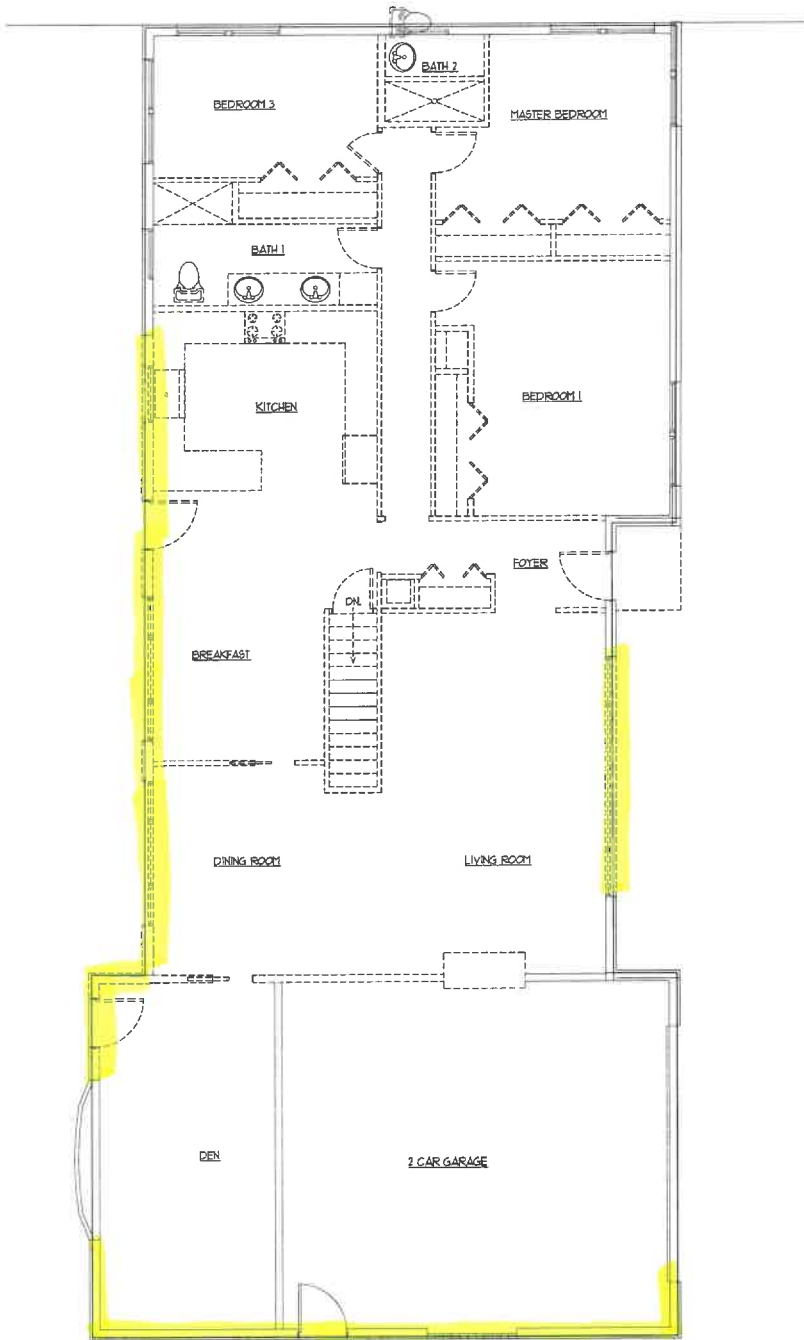
SYNERGY DESIGN GROUP LLC
2181 N. STONEHEDGE COURT
ROUND LAKE BEACH, ILLINOIS 60073
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BUSINESS: 224-643-7695

DATE	REVISION
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JG	
CHECK'D	

A-2.1



BASEMENT DEMOLITION PLAN



FIRST FLOOR DEMOLITION PLAN

- WALL LEGEND
- EXISTING FRAME, METAL STUD, CONCRETE, OR MASONRY WALLS, WINDOWS, DOORS, ETC (TO BE REMOVED)
 - EXISTING FRAME, METAL STUD, CONCRETE, OR MASONRY WALLS, WINDOWS, DOORS, ETC (TO REMAIN)

1
A-1
DEMOLITION PLANS
SCALE: 3/16" = 1' - 0"



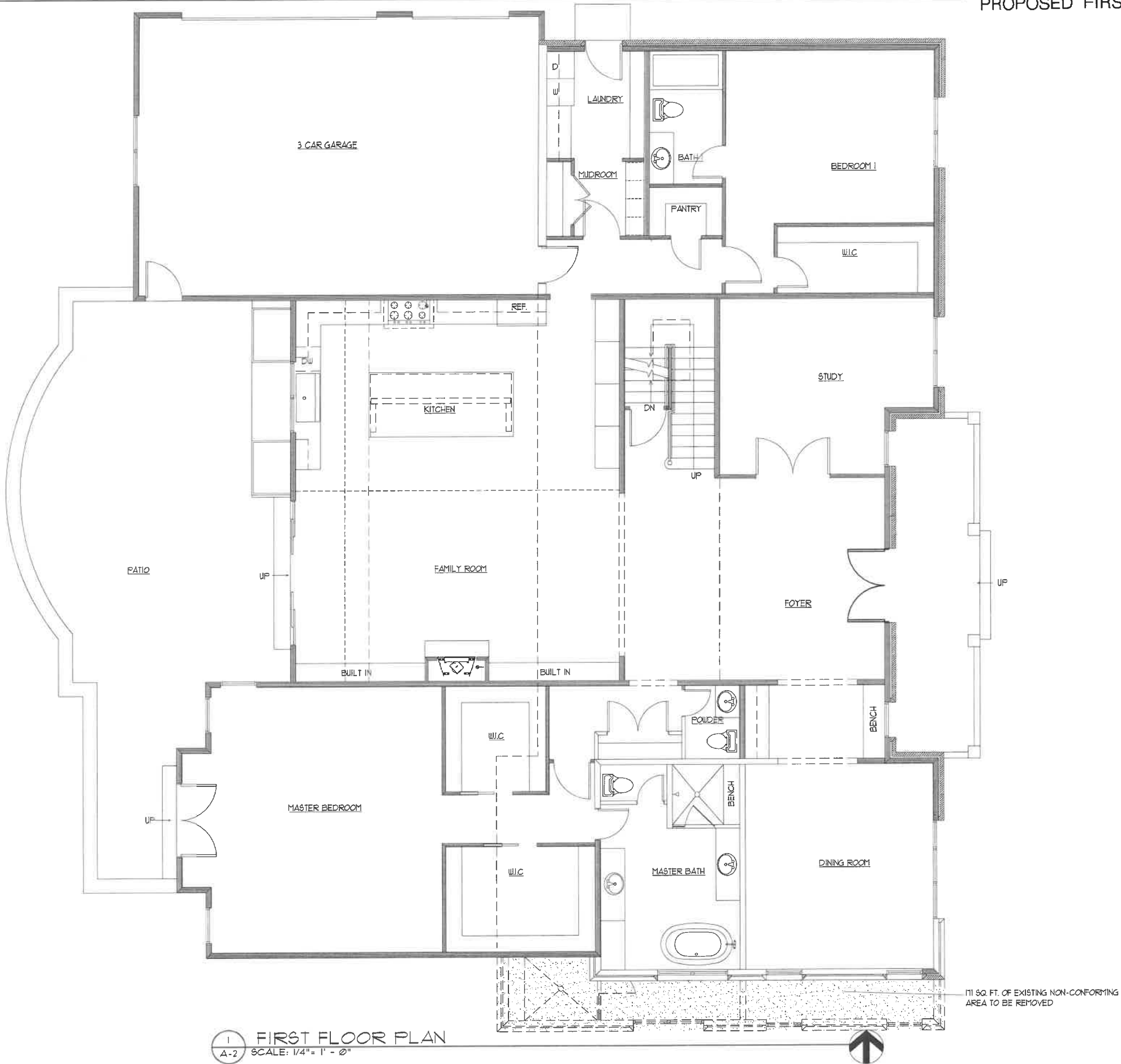
LOGARAKIS RESIDENCE
172 RIDGE ROAD
LAKE FOREST, ILLINOIS 60045

DEMOLITION PLAN

SYNERGY DESIGN GROUP LLC
2181 N. STONEHEDGE COURT
ROUND LAKE BEACH, ILLINOIS 60073
MOBILE: 847-343-8284 BUSINESS: 224-643-7695

DATE	REVISION
06.21.22	
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A-1



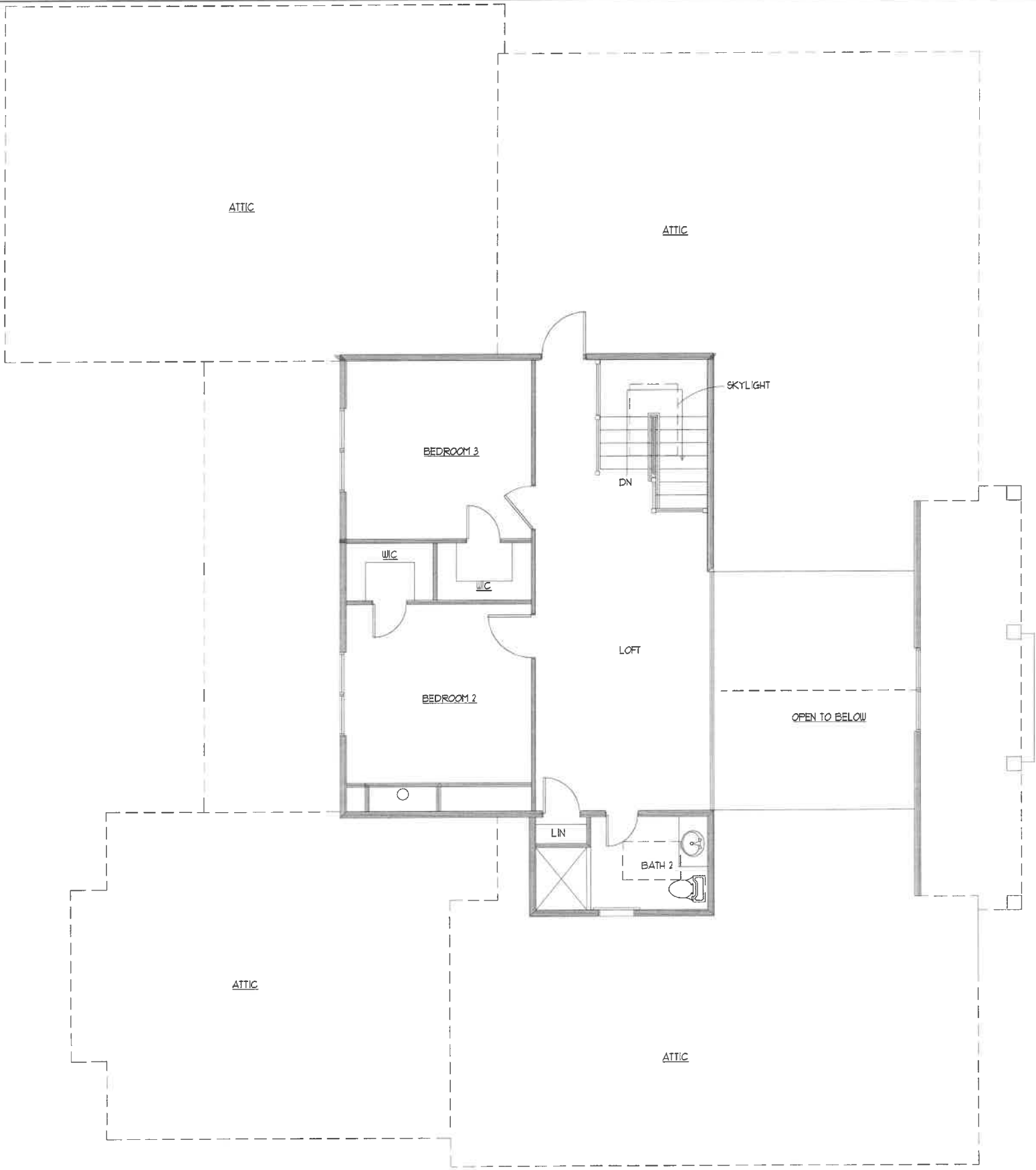
LOGARAKIS RESIDENCE
172 RIDGE ROAD
LAKE FOREST, ILLINOIS 60045

FIRST FLOOR PLAN

SYNERGY DESIGN GROUP LLC
2181 N. STONEHEDGE COURT
ROUND LAKE BEACH, ILLINOIS 60073
MOBILE: 847-343-8284 BUSINESS: 224-643-7695

DATE	REVISION
06.21.22	
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CHECK'D	

A-2



LOGARAKIS RESIDENCE
172 RIDGE ROAD
LAKE FOREST, ILLINOIS 60045

SECOND FLOOR PLAN

SYNERGY DESIGN GROUP LLC
2181 N. STONEHEDGE COURT
ROUND LAKE BEACH, ILLINOIS 60073
MOBILE: 847-343-8284
BUSINESS: 224-643-7695

DATE	REVISION
06.21.22	
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JG	
CHECK'D	

A-3

SHADE TREES (DECIDUOUS)
ABM Autumn Blaze Maple
GMSM Green Mountain Sugar Maple
SHL Skyline Honeylocust
AGM Autumn Gold Maidenhair
KCT Kentucky Coffee Tree
SWO Swamp White Oak
NRO Northern Red Oak
VFE Valley Forge American Elm

ORNAMENTAL TREES (DECIDUOUS)
ABS Autumn Brilliance Serviceberry
JTL Ivory Silk Japanese Tree Lilac

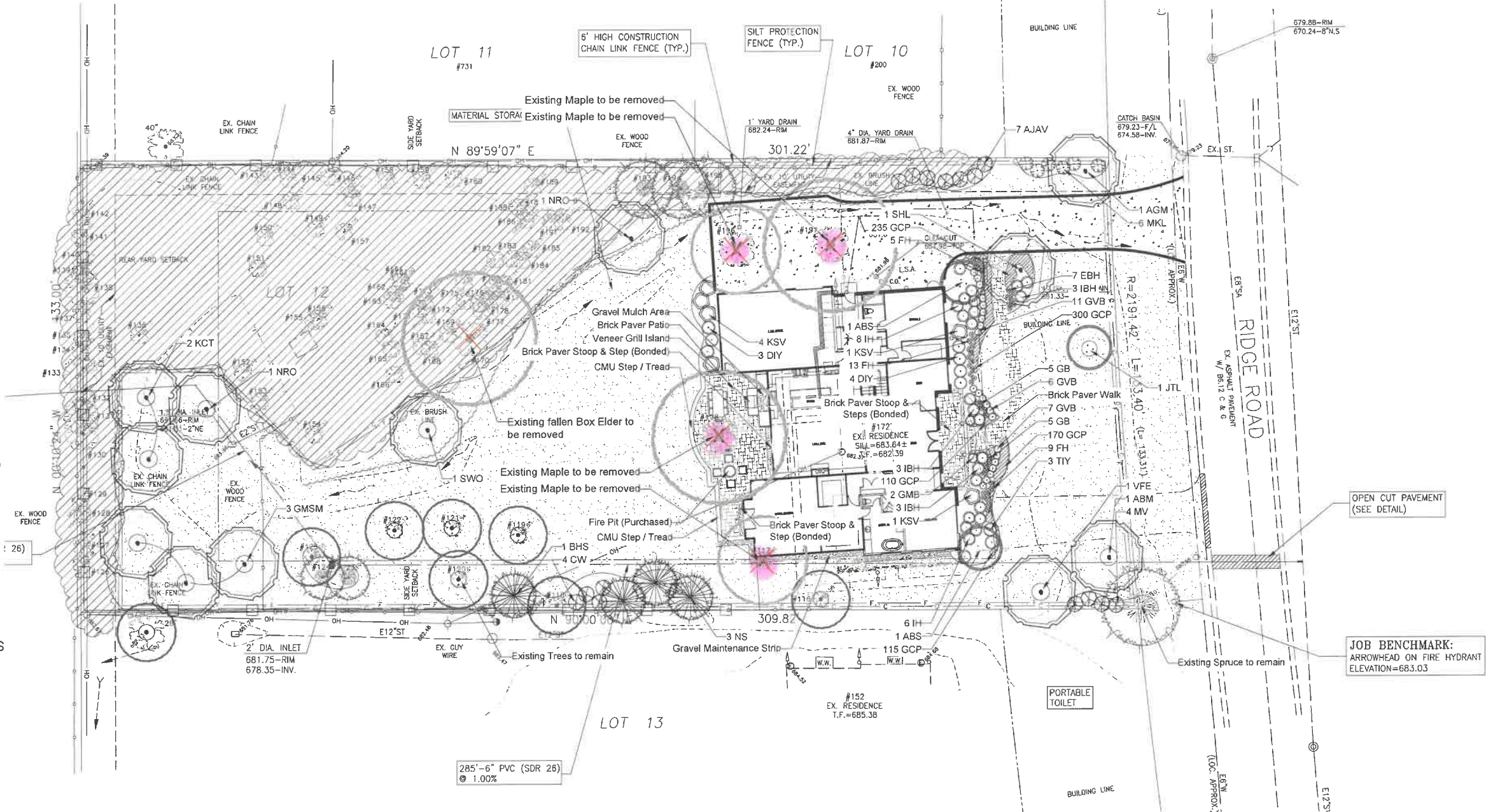
EVERGREEN TREES
NS Norway Spruce
BHS Black Hills Spruce

EVERGREEN SHRUBS
GMB Green Mountain Boxwood
GVB Green Velvet Boxwood
DIY Dense Intermediate Yew
TIY Taunton Intermediate Yew

DECIDUOUS SHRUBS
CW Common Witchhazel
IH Incredible Blush Hydrangea
IBH Incredible Blush Hydrangea
MKL Miss Kim Dwarf Lilac
KSV Fragrant Korean Spice Viburnum
AJAV Autumn Jazz Arrowwood Viburnum
MV Mohican Viburnum

HERBACEOUS PERENNIALS
GB Goatsbeard
FH Fraxinea Hosta
EBH Elegans Bigleaf Hosta

GROUNDCOVERS & VINES
GCP Green Carpet Pachysandra
PLANT ABBREVIATIONS



OVERALL LANDSCAPE PLAN

Scale: 1" = 16'0"

City of Lake Forest
Residential Landscape Requirements
Section 99.102

Front Foundation (LF) fronting a public or private street (North Foundation, LF):

133.4 Linear Feet

Required Shrubs (Front Yard):

27 Deciduous Shrubs (minimum height = 36")
45 Deciduous Shrubs shown on Landscape Plan

Two of the three conditions below must be satisfied:

i.) Two (2) 3.0' Shade Trees must be planted for for each 100 LF of foundation(s) along front and front and corner side yards

OR

ii.) Three (3) three inch understory or ornamental trees must be on the site for each 100 LF of foundation, or portion thereof along the front and corner side yards

OR

iii.) Three (3) six to eight foot evergreens must be planted for each 100 linear feet

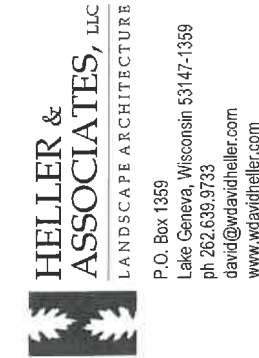
2.7 Required 3" Shade Trees

4.0 Required 3" Ornamental / Understory Trees

4.0 Required 6-8" Evergreen Trees

CODE REQUIREMENTS

TREE TAG #	PROPOSED TREE REMOVALS	SIZE (DBH) Inches	CONDITION RATING	REPLACEMENT INCHES
	Scientific Name	Common Name		
117	Acer sacharum	Sugar Maple	15	3 (Good)
170	Acer negundo	Box Elder	27	6 (fallen)
196	Acer plantanoides	Norway Maple	22	5 (Poor)
197	Acer sacharinum	Silver Maple	38	3 (Good)
198	Acer plantanoides	Norway Maple	25	3 (Good)
Total DBH (in) Removed:			127	78
Trees Inches to Replace:			78	
Shade Tree inches shown on plan:			36	



PRIVATE RESIDENCE

172 Ridge Road
Lake Forest, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
6.30.22	FIRST ISSUE

JOB BENCHMARK:
ARROWHEAD ON FIRE HYDRANT
ELEVATION=683.03



These plans were prepared by
W. David Heller, ASLA
Registered Landscape Architect
#157-000558

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

OVERALL LANDSCAPE PLAN

PROJECT MANAGER WDH

PROJECT NUMBER 22-043

DATE 06.30.22

SHEET NUMBER

L 1.0

Agenda Item 6
780 N. Western Avenue - Bank of America
Exterior Lighting

Staff Report
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Proposed Lighting Plan
East (Front) Elevation
East (Front) Elevation – Proposed Illumination Rendering
North Elevation
North Elevation – Proposed Illumination Rendering
West Elevation
West Elevation – Proposed Illumination Rendering
South Elevation
South Elevation – Proposed Illumination Rendering
Light Fixture Specification Sheets
Proposed Tree Trimming Image
Images of Existing Building

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

**Bank of America
780 N. Western Avenue**

Consideration of a request for approval of exterior lighting including replacement of existing lights and the addition of lights.

Property Owner: Swarthout Family LLC, Laura Hanson, Family Representative

Ground Lease Holder: Bank of America

Project Representative: Steve Wilkinson, project manager, Bancare, Inc.

Staff Contact: Jen Baehr, Planner

Summary of Request

This petition was submitted by the electrical contractor, on behalf of the ground lease holder, Bank of America. As of the date of this writing, staff is awaiting confirmation from the land owner that they are aware of the petition and consent to its filing. The property is located on the southwest corner of Western and Wisconsin Avenues. Bank of America has occupied the building since its construction in 2006 under a land lease. The petition is before the Board for consideration of a new exterior lighting plan including both the replacement of existing lighting and additional lights. The existing exterior lighting was approved by the Building Review Board as part of the original approval of the building in 2006 with a focus on lighting that was consistent with the overall character of the Central Business District.

The proposed plan includes lighting on all sides of the building, the replacement of existing recessed light fixtures in the drive-thru on the west side of the building, and new lamp posts on the Western Avenue side of the building near the existing streetlights.

The petitioner's statement of intent explains that the proposed lighting plan is being implemented by the corporate office of Bank of America at all bank locations to increase light levels overall.

Staff met on site with the petitioner's representatives and emphasized that the exterior lighting should be planned taking into account the context of the surroundings and the character of Lake Forest. Much like signage and building design, exterior lighting in Lake Forest has not traditionally followed corporate standards, but instead, has been modified to respect the visual character of the community. It is important to note that the Bank of America site is immediately adjacent to an outdoor dining area for Authentico, the ambiance of that space should be preserved. From the west, excessively bright light on this site may be visible from homes on the west side of Oakwood Avenue.

Building Lighting

The petitioner proposes a total of 14 new wall mounted light fixtures. The proposed locations of the building light fixtures are as follows.

- Two light fixtures are proposed on either side of the front entrance on Western Avenue.
- Four light fixtures are proposed on the north elevation, facing Wisconsin Avenue.
- Two light fixtures are proposed above the drive-thru lanes on the north elevation, facing Wisconsin Avenue.
- One light fixture is proposed nearly at the top of the building on the west elevation.
- One light fixture is proposed above the drive-thru lane on the west elevation.

- Four light fixtures are proposed on the south elevation in the breezeway on the south side of the building.

The building light fixtures are contemporary, somewhat industrial style lights in a bronze color. Detailed specification sheets for each of the fixture types are included in the packet. The petitioner also provided renderings for each side of the building reflecting the proposed lighting. The proposed building fixture type does not appear compatible with the style of the building or the character of the surrounding area. Many businesses, including other banks in the area have more traditional style light fixtures that complement the architecture of the building.

The proposed number of wall mounted light fixtures appears excessive for this property and in relation to other businesses in the surrounding area. In some areas, the plan proposes multiple light fixtures close together. It appears that sufficient lighting levels may be able to be achieved with fewer lights overall. Multiple lights are proposed above the drive-thru lanes, some of which are not used for drive-thru banking purposes. Based on the renderings provided by the petitioner, the existing drive-thru appears to be very well-lit with existing recessed fixtures under the drive-thru canopy.

The wall mounted light fixtures are proposed at varying heights across the elevations of the building ranging from 8 feet to 25 feet above the ground. The light fixture proposed on the west elevation is proposed nearly at the top of the building. Wall mounted light fixtures are not normally located above the ground level on either residential or commercial buildings in Lake Forest specifically for the purpose of limiting off site impacts whether as a constant glow or because the source of the light itself is visible from below and from afar.

Staff recommendation:

- Light fixtures should be selected to be more in keeping with the style of the building and character of the surrounding area.
- Reduce the number of fixtures to be more consistent with the lighting in the surrounding area.
- The wall fixtures around the building should be set at generally the same height, not above the first floor, to present a more consistent appearance around the building.

Drive-Thru Lighting

There are a total of 12 recessed light fixtures under the drive-thru canopy that are proposed to replace existing fixtures. One additional recessed light fixture is proposed under the canopy generally above the ATM at the center of the drive-thru.

Not all of the drive thru lanes are used, lighting should be focused on the lanes that are actively used for banking purposes. No parking is authorized in the other drive thru lanes per the Special Use Permit. Modification of the site plan which was approved as part of the Special Use Permit could be requested by the property owner if desired.

Lamp Post Lighting

Two new lamp posts are proposed in the planter just south of the entrance to the building on Western Avenue. The petitioner has stated that it is the intent for the lamp posts to match the City's street lights. There are existing street lights in front of the building, in the City right-of-way, on Western Avenue that will remain. There are currently two trees in the planter, these trees are part of the approved landscape plan for the overall property. The petitioner proposes to trim the trees to accommodate the new lamp

posts. At this time, it is not clear whether trimming of these trees has the approval of the property owner.

With the existing street lights and existing trees in front of the building, the placement of the proposed lamp posts appears awkward and crowded. These lights may also raise lighting levels in the outdoor dining area for Authentico which may or may not be desirable. The need for the additional street lights is not clear.

- Staff recommends eliminating the lamp posts.

Tree Removal

The petitioner proposes to remove the two trees adjacent to the north side of the building. These trees are on private property and were required as part of the approvals of the overall project. Again, it is unclear whether the property owner has approved these removals. In order to consider removal of the trees, an updated landscape plan will need to be submitted for review and will be subject to approval. Based on the information submitted by the petitioner, there is no plan to replace the trees with new plantings.

- Staff recommends that an updated landscape plan be required to document the intended replacement plantings to soften the appearance of the building and break up the hardscape as required as part of the original approvals for redevelopment of the site with the Bank of America building.

Public Comment

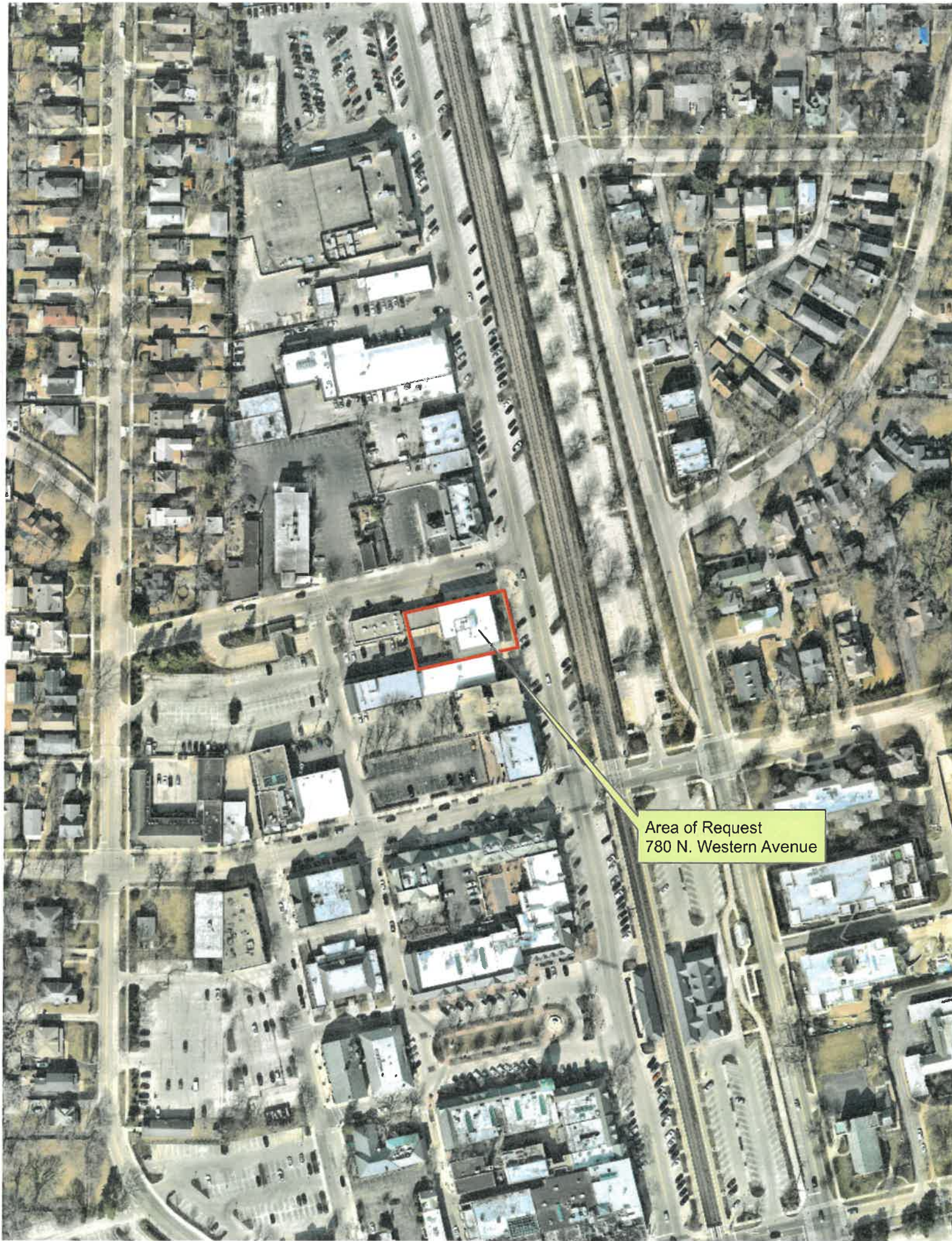
Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Continue the petition with the following direction to the petitioner.

- Select light fixtures for the wall lights that are more in keeping with the style of the building and character of the surrounding area.
- Reduce the number of light fixtures on the building.
- Locate the wall light fixtures at a consistent height around the building, not higher than the top of the first floor.
- Eliminate the lamp posts at the front of the building, on Western Avenue.
- An after hours lighting reduction plan shall be submitted for review and approval recognizing the need for 24-hour lighting near the ATM on the south side of the building and in the drive thru lanes that are actively being used for banking purposes. Motion detector lights should be considered.
- Provide a replacement landscape plan to reflect additional plantings in areas where removal of vegetation is proposed.





Area of Request
780 N. Western Avenue



Area of Request
780 N. Western Avenue



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS: 780 N. Western Ave Lake Forest, IL

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input checked="" type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

GROUND LEASE HOLDER

PROPERTY OWNER INFORMATION

Bank of America / JLL
Owner of Property

780 N. Western Ave.
Owner's Street Address (may be different from project address)

Lake Forest, IL 60045
City, State and Zip Code

302-904-7155
Phone Number

Fax Number

catherine.zlydaszyk@am.jll.com
Email Address

Cathy Zlydaszyk
Digitally signed by Cathy Zlydaszyk
Date: 2022.02.23 13:03:00 -06'00'

Signature

ARCHITECT/BUILDER INFORMATION

Steve Wilkinson
Name and Title of Person Presenting Project

Bancare
Name of Firm

6 East College Dr.
Street Address

Arlington Hts, IL 60004
City, State and Zip Code

630-362-0126
Phone Number

Fax Number

steve.wilkinson@bancare.net
Email Address

Signature
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

Statement of Intent

The purpose of the **ELP (Exterior Lighting Program)** that is being implemented by The Bank of America at 780 N Western Avenue and at hundreds of locations nationwide is to perform a comprehensive upgrade of exterior lighting. Sites are to be designed and constructed to Bank of America exterior lighting standards which are in line with State of Illinois requirements.

The proposed project consists of the addition of new exterior light fixtures around the building perimeter per the following schedule:

QTY	LABEL	LOCATION	NOTES
12	EK1	Drive Thru Canopy (ATM)	REPLACE EXISTING FIXTURE
1	EK2	Drive Thru Canopy (ATM)	ADD NEW FIXTURE
2	UU1	Building Perimeter	ADD NEW FIXTURE
1	UU2	Building Perimeter	ADD NEW FIXTURE
1	UU3	Building Perimeter	ADD NEW FIXTURE
4	UU4	Building Perimeter	ADD NEW FIXTURE
2	UU5 (NEW POLE)	Building Perimeter	ADD NEW POLE AND FIXTURE
2	UU6	Building Perimeter	ADD NEW FIXTURE
2	UU7	Building Perimeter	ADD NEW FIXTURE
2	UU8	Building Perimeter (ATM)	ADD NEW FIXTURE

Following the onsite visit with Cathy Czerniak on January 04, 2022, GMR Facility Analysis & Engineering provided an overall redesign accounting for the many of the concerns raised including those in two (2) key areas:

- Reducing the potential spillover of light onto adjacent businesses/residences and
- Fixture style consistent with the current architectural street character of the downtown area

Bank of America®



EXTERIOR LIGHTING PROGRAM



Facility Analysis + Engineering

Office: (972) 771-6038

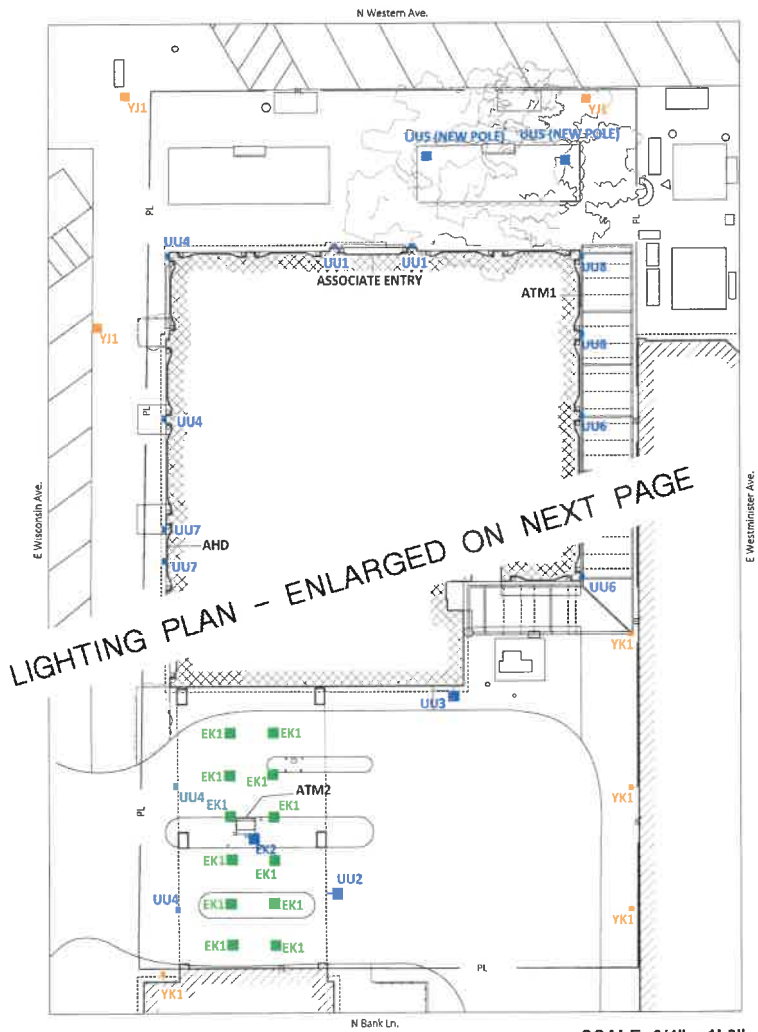
1629 Smirl Drive, Suite 200, Heath, Texas 75032

www.gmr1.com

LUMINAIRE SCHEDULE		**SEE FUTURE CLARIFICATION NOTES**		(NPS) NEW POLE (CDS) CONTINUED FROM OTHERS		** CONTRACTOR TO VERIFY MOUNTING ACCESSORIES BEFORE ORDERING **		NOTES	
SYMBOL	QTY	TYPE	TYPE / MOUNTING / ACCESSORIES	NEW POLE COUNT	EXISTING POLE COUNT	NEW POLE COUNT	EXISTING POLE COUNT	NEW POLE COUNT	EXISTING POLE COUNT
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VICINITY MAP



SCALE: 3/4" = 1'-0"

Bank of America®



- BLUE = NEW FIXTURE
- GREEN = EXISTING FIXTURE LOCATION TO BE REPLACED
- ORANGE = EXISTING FIXTURE TO REMAIN
- TURQUOISE = FIXTURE TO BE REMOVED
- PINK = REPLACE WITH NEW POLE AT NEW HEIGHT
- INDICATES NEW SECURITY FENCE
- PL = PROPERTY LINE BASED ON COUNTY APPRAISAL INFORMATION



v5 220124

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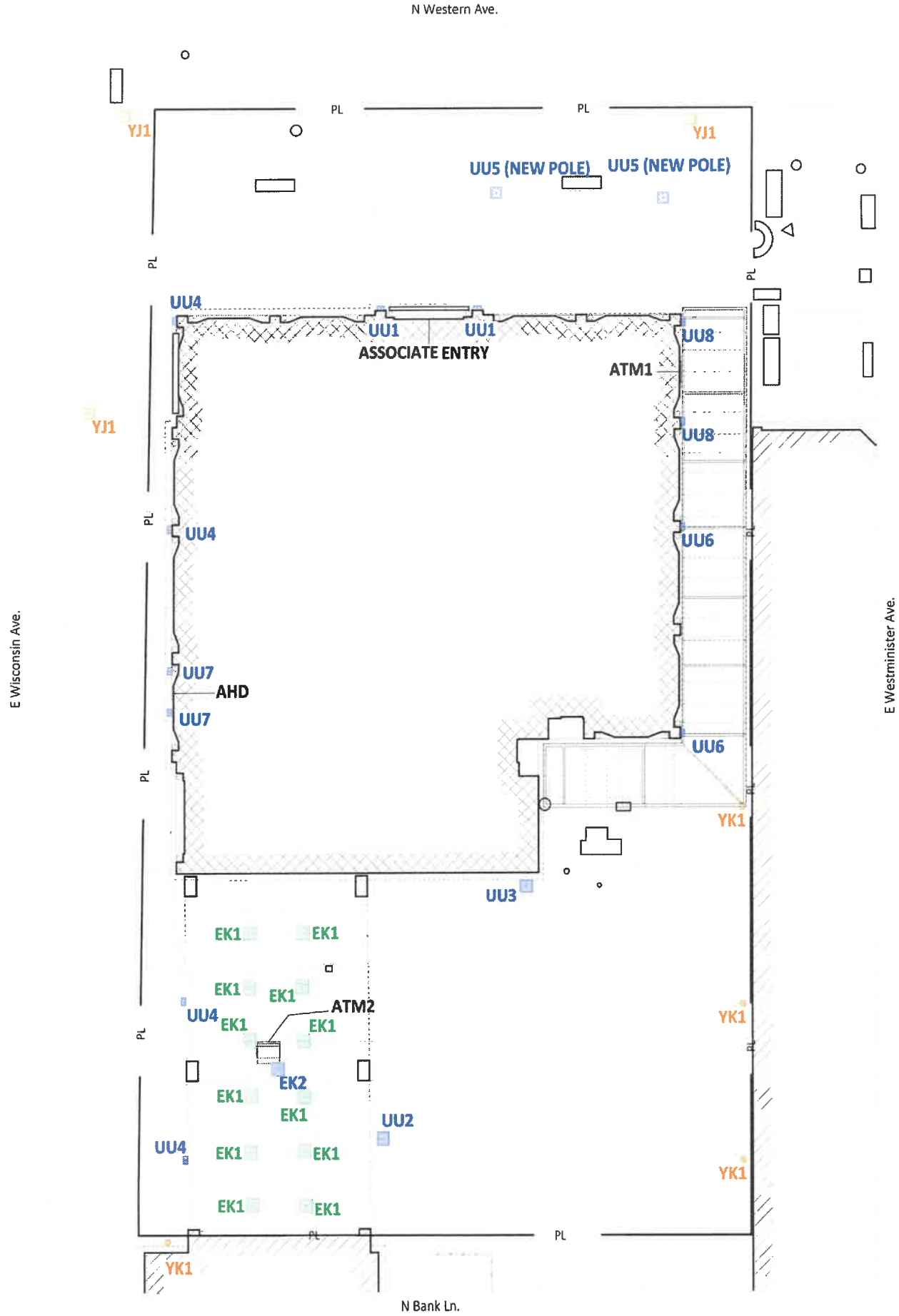
Lake Forest
IL2-213
780 N Western Ave
Lake Forest, IL

SITE PLAN

DESIGN BY:	JFH	DRAWN BY:	RCS
REVIEWED BY:	RMR	APPROVED BY:	KRM
SHEET NO.			

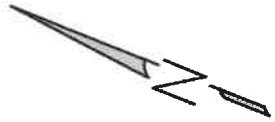
COVER

THIS PLAN SET IS PROPRIETARY AND CONFIDENTIAL INFORMATION OF THE BANK AND THE USE OF THIS DESIGN IS PROHIBITED WITHOUT THE EXPRESS PERMISSION OF THE BANK



BLUE = NEW FIXTURE
GREEN = EXISTING FIXTURE LOCATION TO BE REPLACED
ORANGE = EXISTING FIXTURE TO REMAIN

— PL — = PROPERTY LINE BASED ON COUNTY APPRAISAL INFORMATION



The site plan illustrates the proposed 10-story office building at 1000 North Dearborn Street. The building is a large rectangular structure with a central core and wings. Key features include:

- Building Footprint:** A large rectangular building with a central core and wings.
- Parking Areas:** Several parking lots are shown, including a large one to the west and a smaller one to the east.
- Streets:** The plan shows the intersection of North Dearborn Street and North LaSalle Street.
- Landmarks:** The plan includes labels for 'ATM1', 'ATM2', and 'ATM3'.
- Annotations:** The plan includes various annotations such as 'ASSOCIATE ENTRY', 'COMPLIANCE RADIUS', and 'SF RADIUS'.
- Scale:** The plan includes a scale bar indicating 0, 10, 20, and 30 feet.

The site plan shows the M Bank building, a large rectangular structure with a central entrance labeled 'ASSOCIATE ENTRY'. To the left of the building is a parking lot with several spaces marked. To the right is a smaller parking area with a building labeled 'ATM3'. The plan includes various labels for rooms and areas, such as 'UJ1', 'UJ2', 'UJ3', 'UJ4', 'UJ5', 'UJ6', 'UJ7', 'UJ8', 'UJ9', 'UJ10', 'UJ11', 'UJ12', 'UJ13', 'UJ14', 'UJ15', 'UJ16', 'UJ17', 'UJ18', 'UJ19', 'UJ20', 'UJ21', 'UJ22', 'UJ23', 'UJ24', 'UJ25', 'UJ26', 'UJ27', 'UJ28', 'UJ29', 'UJ30', 'UJ31', 'UJ32', 'UJ33', 'UJ34', 'UJ35', 'UJ36', 'UJ37', 'UJ38', 'UJ39', 'UJ40', 'UJ41', 'UJ42', 'UJ43', 'UJ44', 'UJ45', 'UJ46', 'UJ47', 'UJ48', 'UJ49', 'UJ50', 'UJ51', 'UJ52', 'UJ53', 'UJ54', 'UJ55', 'UJ56', 'UJ57', 'UJ58', 'UJ59', 'UJ60', 'UJ61', 'UJ62', 'UJ63', 'UJ64', 'UJ65', 'UJ66', 'UJ67', 'UJ68', 'UJ69', 'UJ70', 'UJ71', 'UJ72', 'UJ73', 'UJ74', 'UJ75', 'UJ76', 'UJ77', 'UJ78', 'UJ79', 'UJ80', 'UJ81', 'UJ82', 'UJ83', 'UJ84', 'UJ85', 'UJ86', 'UJ87', 'UJ88', 'UJ89', 'UJ90', 'UJ91', 'UJ92', 'UJ93', 'UJ94', 'UJ95', 'UJ96', 'UJ97', 'UJ98', 'UJ99', 'UJ100'. The plan also shows the location of the building relative to E Wisconsin Ave and M Bank Ln.

v5 220124



LU-1

UNIT CUES 507							
Label	CatType	Units	Avg	Max	Min	Avg/Min	Max/Min
ATM1 507 @ 35°	Illuminance	Fc	7.24	11.7	2.3	3.15	5.09
ATM2 6.4HD 507 @ 36°	Illuminance	Fc	15.32	53.4	4.4	3.48	12.14

NOTES:

1. READINGS ARE MEASURED AT 10° [3"] ABOVE GRADE.

FULL SITE CALC							
Label	CckType	Units	Avg	Max	Min	A g/Min	Max/Min
FULL SITE @ GRADE	illumance	Fc	6.14	36.4	0.0	N.A.	N.A.

NOTES:

1. THE SCOPE OF WORK FOR THIS PROJECT IS LIMITED TO EXTERIOR LIGHTING RENOVATIONS AS SHOWN ON THE PLANS.
2. REFERENCE THE LUMINAIRE SCHEDULE FOR ADDITIONAL LIGHT FIXTURE INFORMATION

SITE NOTES

1. LIGHTING IS REQUIRED FOR COMPLIANCE AND WILL BE 24HR UNLIT/ON AFTERNOON PRIOR TO 10:01 PM. IN B-1 MUST HAVE 1 VENDOR - GAZE 73 LEAF 6 FT TALL ON ALL SIDES OF DAW-WALK.

EXISTING CONDITIONS

1. EXISTING POLES - NOT BAWA CONTROLLED

2. EXISTING POLE SIGNAL - NOT BAWA CONTROLLED

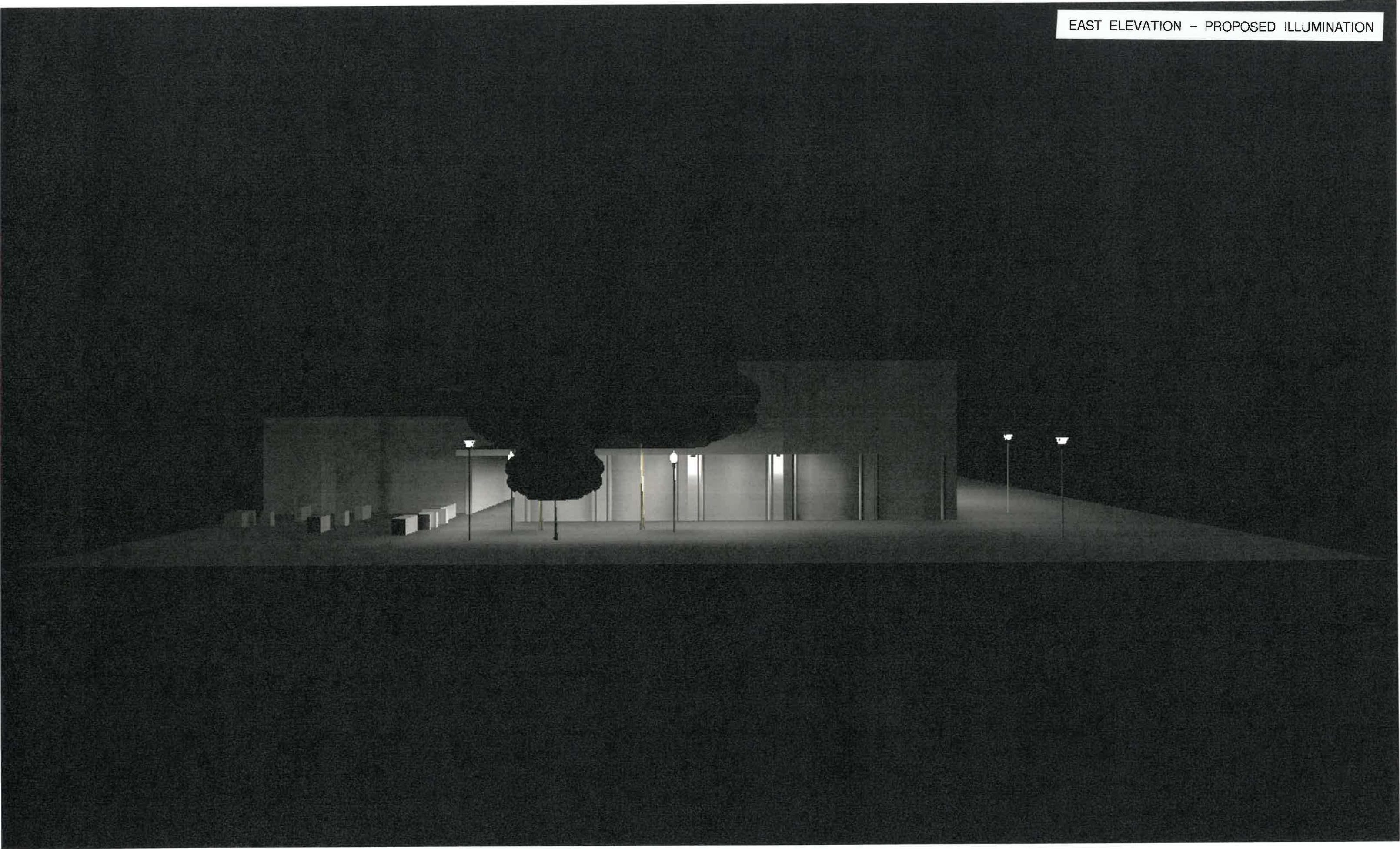
3. EXISTING CYCLE INTERRUPTING - DAW-IN



LANDSCAPE SCHEDULE			CM = CRAPE M/T/ITE	LINE = URG/GR/WH
SYMBOL	QTY	NOTES		
T11	1	TRIM TREE UP TO 13' AND TRIM DUE TREE CANOPY		
T12	1	REMOVE TREE LIMB AND TRIM UP TO 13' - SEE EXHIBIT 'A'		
T13	1	TRIM TREE UP TO 7' AND AVOID LIGHT FIXTURE TO ENSURE THAT IT DOES NOT INTERFERE WITH INTENDED ILLUMINATION		
T14	2	REMOVE TREE AND REPLACE THE TREE OF COMPLIANCE		
L51	-	"REI LANDSCAPING: DOWN TO 30"		

NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

- NEW BUILDING LIGHT FIXTURE - UU1
- NEW LIGHT POST FIXTURE - UU5

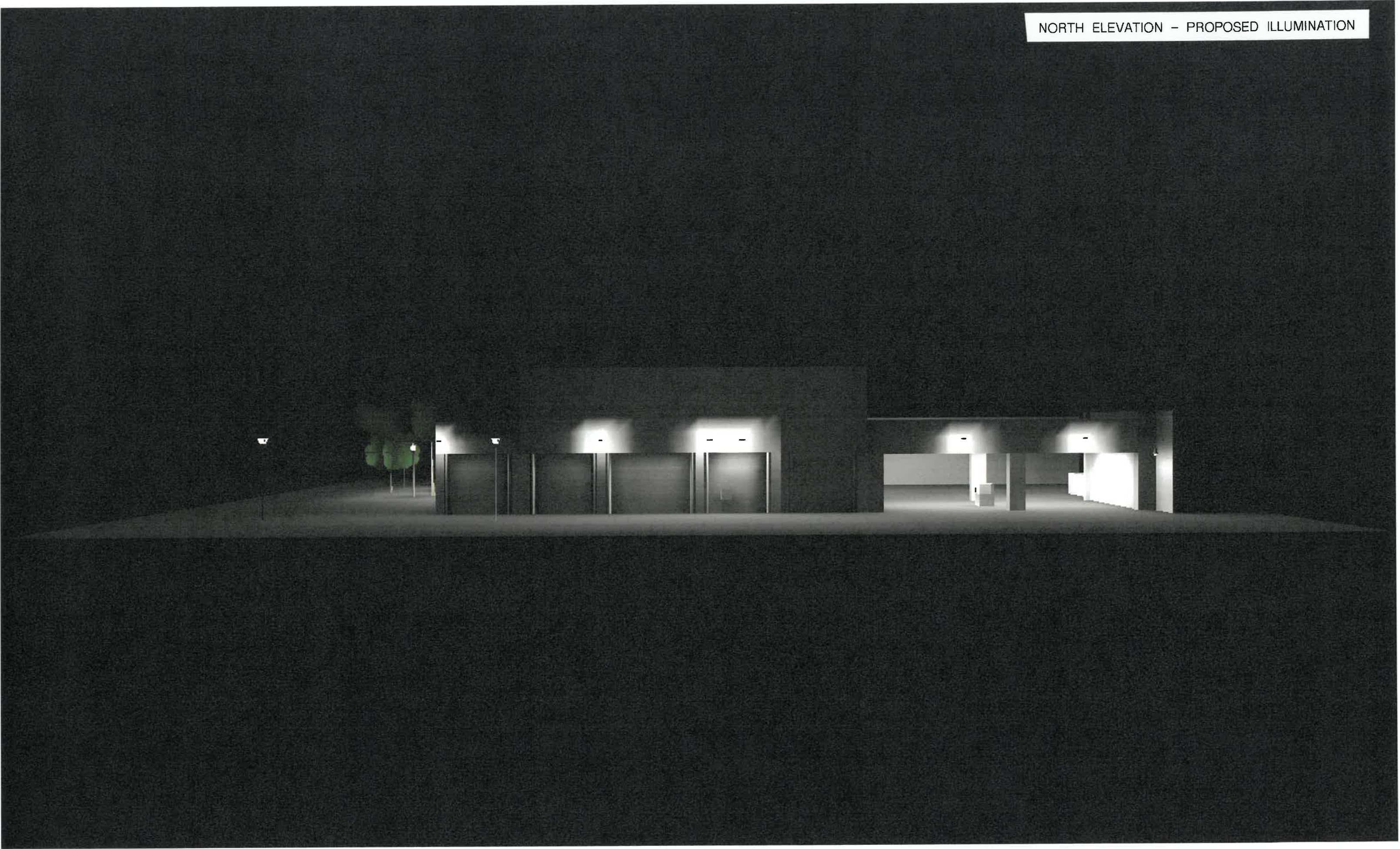




-  NEW BUILDING LIGHT FIXTURE - UU4
-  NEW BUILDING LIGHT FIXTURE - UU7



NORTH ELEVATION – PROPOSED ILLUMINATION



 NEW BUILDING LIGHT FIXTURE - UU3

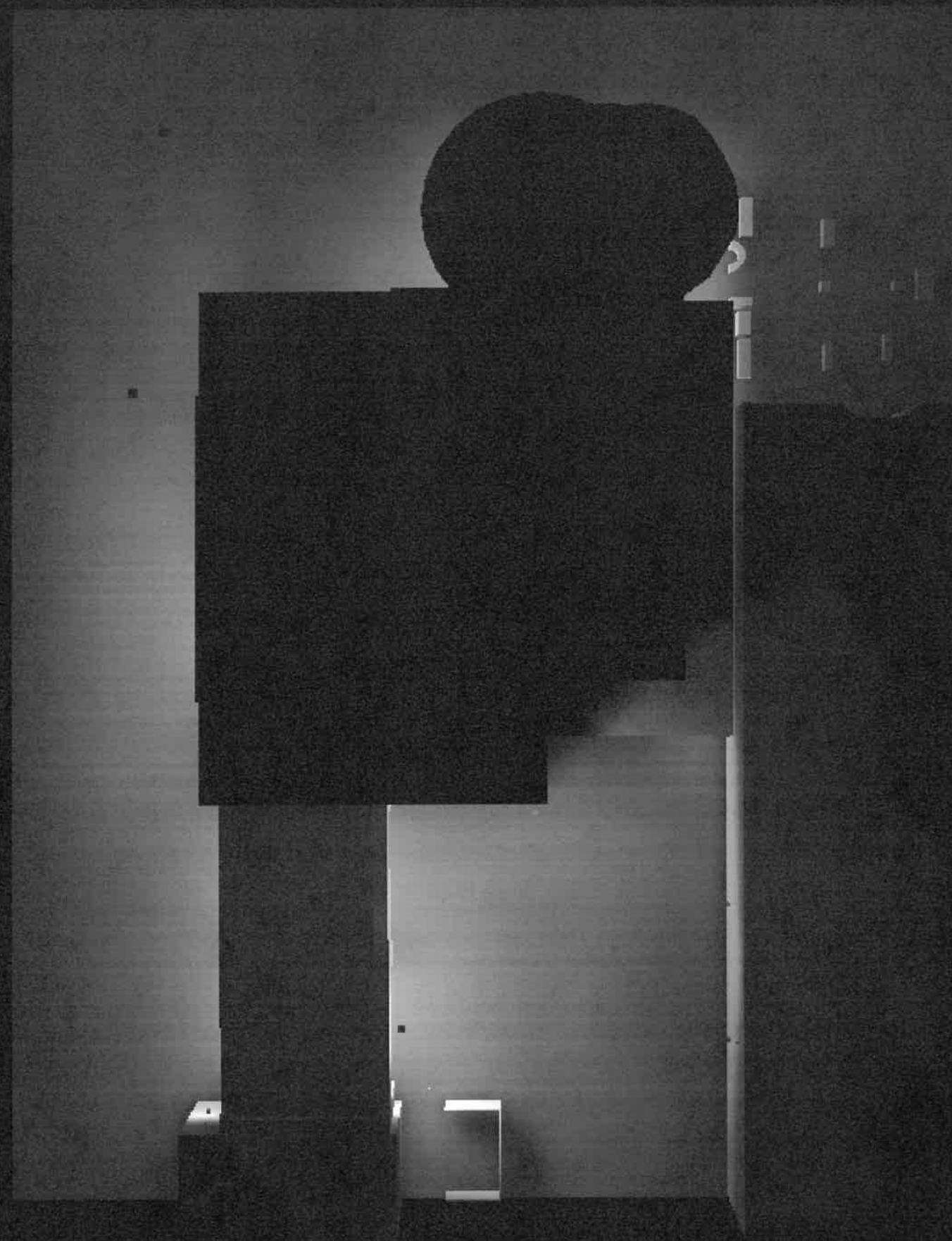




- NEW BUILDING LIGHT FIXTURE - UU2
- NEW BUILDING LIGHT FIXTURE - UU6
- NEW BUILDING LIGHT FIXTURE - UU8







TYPE UU1 & UU4

CONTRACTOR TO SEE NOTES BELOW



WEDGE2 LED

Architectural Wall Sconce

Precision Refractive Optic



Buy American



**CONTRACTOR TO VERIFY THAT
FIXTURES CAN BE MOUNTED PER
PLAN AND ALL NECESSARY
HARDWARE IS SPECIFIED FOR
INSTALLATION PRIOR TO
PURCHASING**

Catalog
Number

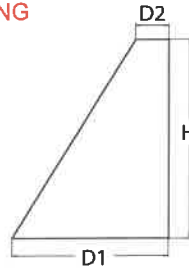
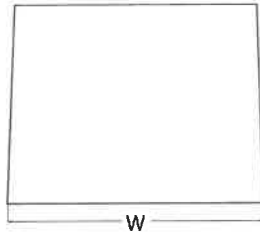
Notes

Type

For the Title box, or instead enter the code in the wall interactive elements

Specifications

Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight: 13.5 lbs
(without options)



Introduction

The WEDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WEDGE family provides additional energy savings and code compliance.

WEDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WEDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WEDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WEDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WEDGE2 LED	P0 ¹ P1 ² P2 ² P3 ² P4 ²	27K 2700K 30K 3000K 40K 4000K 50K 5000K AMB ³ Amber	70CRI ⁴ 80CRI ⁴ LW ³ Limited Wavelength	T1S Type I Short T2M Type II Medium T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT 347 ⁵ 480 ⁵	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁶
						Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.

Options	Finish
E10WH Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min)	DDBXD Dark bronze
E20WC Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)	DBLXD Black
PE ⁷ Photocell, Button Type	DNAXD Natural aluminum
DMG ⁸ 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD White
BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD Sandstone
BAA Buy America(n) Act Compliant	DBBTXD Textured dark bronze
	DBLBXD Textured black
	DNATXD Textured natural aluminum
	DWHGXD Textured white
	DSSTXD Textured sandstone
Standalone Sensors/Controls PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation. PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation. Networked Sensors/Controls NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights. NLTAIR2 PIRH nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights. See page 4 for out of box functionality	

**CONTRACTOR TO
REFERENCE PLANS
FOR COLOR DESIGNATION**



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WEDGE2 LED
Rev. 01/18/22

GC TO SEE NOTES BELOW

TYPE UU2-UU3

NLS
LIGHTING

NV-1-T4-48L-1-40K-UNV-WM-BRZ

NV-1

AREA LIGHTING

FORM AND FUNCTION

- Sleek, low profile housing
- Spec grade performance
- Engineered for optimum thermal management
- Low depreciation rate
- Reduces energy consumption and costs up to 65%
- Exceeds IES foot candle levels utilizing the least number of poles and fixtures per project
- Optical system designed for:
 - Parking Lots
 - Auto Dealerships
 - General Area Lighting

CONSTRUCTIONGC TO VERIFY
AND SPECIFY

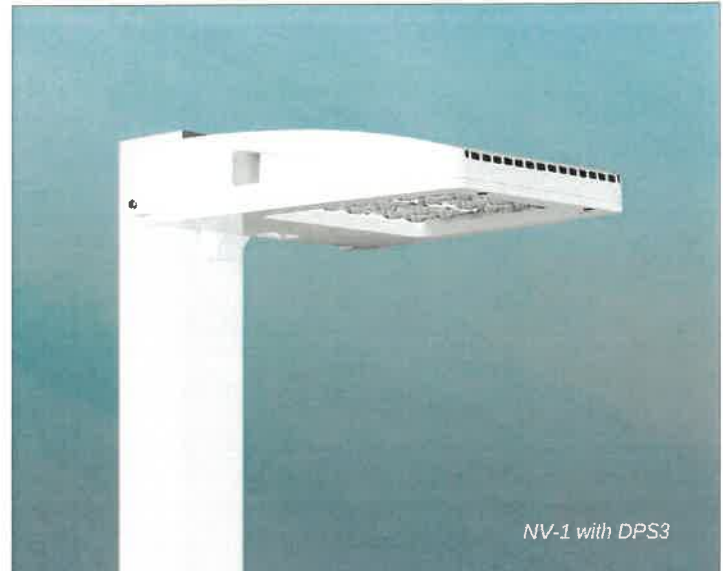
- Die Cast Aluminum
- External cooling fins, Finite Element Analysis (FEA) designed
- Corrosion resistant external hardware
- One-piece silicone gasket ensures IP-65 seal for electronics compartment
- One-piece Optics Plate™ mounting silicone Micro Optics
- Two-piece silicone Micro Optic system ensures IP-67 level seal around each PCB
- Grade 2 Clear Anodized Optics Plate™ standard

FINISH

- 3-5 mils electrostatic powder coat.
- NLS' standard high-quality finishes prevent corrosion protects against and extreme environmental conditions

WARRANTY

Five-year limited warranty for drivers and LEDs.



NV-1 with DPS3

LISTINGS

- Certified to UL 1598
- UL 8750
- CSA C22.2 No. 250.0
- DesignLights Consortium® (DLC)
- DesignLights Consortium Premium® (DLCp)
- IP65/ IP67 Rated
- 3G Vibration Rated per ANSI C136.31-2010

GC TO REFERENCE
PLANS FOR COLOR
DESIGNATION**LED WATTAGE CHART**GC TO VERIFY THAT
FIXTURES CAN BE MOUNTED PER PLAN AND ALL
NECESSARY HARDWARE IS SPECIFIED FOR
INSTALLATION PRIOR TO PURCHASING

	16L	32L	48L	64L
350 millamps	18w	-	-	-
530 millamps	28w	-	-	-
700 millamps	36w	71w	104w	136w
1050 millamps	56w	106w	156w	205w

Project Name:

Type:

Cat #	Light Dist.	No. of LEDs	Milliamps	Kelvin	Volts	Mounting	Color	Options
NV Size 1 (NV-1)	Type 2 (T2)	16 (16L)	350	3000K	120-277	Direct Pole Single, D180 3" (DPS3)	Bronze (BRZ)	Bird Deterrent (BD)
	Type 3 (T3)	32 (32L)	530	4000K	347-480	D90, T90, T120, QD 7" (DPS7)	White (WHT)	Marine Grade Finish (MGF)
	Type 4 (T4)	48 (48L)	700	5000K		Knuckle Mount (KM)	Silver (SVR)	Optic Plate Painted to Match Fixture (OPP)
	Type 5 (T5)	64 (64L)	1050			Wall Mount (WM)	Black (BLK)	Nema 7-Pin Receptacle (PET)
	Nema 2 24" Narrow Beam (N2)					Trunnion Mount (TM)	Graphite (GPH)	Photocell + Receptacle (PCR)
	Nema 3 30" Narrow Beam (N3)					Tennis Arm (TA)	Grey (GRY)	Receptacle + Shorting Cap (PER)
							Custom (CS)	FSP-211 with Motion Sensor (UNV Voltage) (FSP-20) *9'-20" Heights (FSP-40) *21'-40' Heights
								Quick Mount Bracket (QMB)
								Retrofit Mount Bracket (RQMB)
								Round Pole Adaptor 3'- 4" Pole (RPA4)
								Round Pole Adaptor 5'- 6" Pole (RPA5)
								Rotated Optic Left (ROL)
								Rotated Optic Right (ROR)
								Automotive House Side Shield (AHS)
								House Side Shield (HSS)
								*HSS not applicable with N2 - NEMA 24" Optics
								*HSS not applicable with N3 - NEMA 30" Optics

NLS
LIGHTING

SAVANNAH 1

AREA/STREET LIGHTING/ MUNICIPAL

The Savannah adds a touch of class and elegance to any Municipal, or Residential Project. Beautiful by day and efficient by night, the Savannah is the perfect street, curbside and pathway solution. Utilizing the latest in LED technology, the Savannah features the patented Star Power optical system with field adjustment capabilities. Savannah's light source facing a residence can be independently concealed by field adjustment so that maximum lighting levels are targeted where needed—on the street, or between fixtures on sidewalks. Also ideal for storefronts alongside the street, Savannah's light source can be easily adjusted on-site allowing light distribution just before a storefront's entrance.

The Savannah produces 105 Lumens per watt. Kelvin temperature offerings include 3000 (warm), 4000 (neutral) or 5000 (cool) Kelvin. The luminaire is powder coated with a textured finish.

The Savannah is available in two different globe designs, three top shades and additional decorative options such as the Filigree + Strut Combo. Shades include 4.38" Cast Finial as standard, powder-coated same finish as fixture. Globe only luminaires have no finial as standard.



GC TO VERIFY THAT FIXTURES CAN BE MOUNTED PER PLAN AND ALL NECESSARY HARDWARE IS SPECIFIED FOR INSTALLATION PRIOR TO PURCHASING



STAR POWER™ OPTICAL SYSTEM

The Star Power™ reflector is an excellent system which provides great value and performance.

LED WATTAGE CHART

	16L	32L	48L
350 milliamps	17w	34w	53w
530 milliamps	26w	54w	80w
700 milliamps	33w	71w	104w

Project Name:

Type:

Cat #	Shade / Lens	Light Dist	No. of LEDs	Milliamps	Kelvin	Volts	Mounting	Color	Options
Savannah 1 (SVN-1)	Shade 1 (SH1)	Type 2 (T2)	16 (16L)	350 (35)	3000K (30K)	120-277 (UNV)	Post Top Mount (PT)	Bronze (BRZ)	Opal (OPL)
		Type 3 (T3)	32 (32L)	530 (53)	4000K (40K)	347-480 (HV)	*Over 3" OD Tenon	White (WHT)	Polycarbonate Lens (PLY)
	Shade 2 (SH2)	Type 4 (T4)	48 (48L)	700 (7)	5000K (50K)	GC TO VERIFY AND SPECIFY		Silver (SVR)	Decorative Filigree + Strut Combo (FSC)
	Shade 3 (SH3)	Type 5 (T5)						Hunter Green (HGN)	Photocell (PC)
								Black (BLK)	*Universal Voltage 120-277
								Graphite (GPH)	Surge Protector (10K)
								Grey (GRY)	House Side Shield (HSS)
								Custom (CS)	Finial (FIN)
	Globes								Nema 7-Pin Receptacle (PE7)
	Lens Globe 1 (LG1)								Terminal Block (TB)
	*Use With or Without Shade								
	Lens Globe 2 (LG2)								
	*Use Without Shade								

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PLANS FOR COLOR
DESIGNATION

TYPE UU6

CONTRACTOR TO SEE NOTES BELOW



WDGE2 LED

Architectural Wall Sconce

Precision Refractive Optic



Buy American



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PLAN AND ALL NECESSARY
HARDWARE IS SPECIFIED FOR
INSTALLATION PRIOR TO
PURCHASING**

Catalog
Number

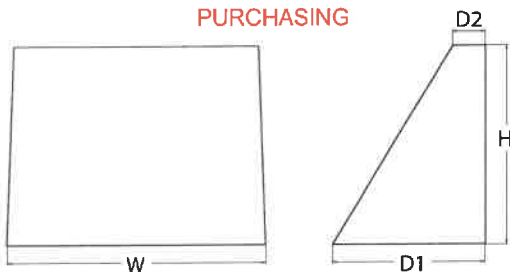
Notes

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Specifications

Depth (D1):	7"
Depth (D2):	1.5"
Height:	9"
Width:	11.5"
Weight: (without options)	13.5 lbs



Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE2 LED	P0 ¹	27K 2700K	70CRI ⁴	T1S Type I Short	MVOLT	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁶
	P1 ²	30K 3000K	80CRI	T2M Type II Medium	347 ⁵	
	P2 ²	40K 4000K	LW ³ Limited Wavelength	T3M Type III Medium	480 ⁵	
	P3 ²	50K 5000K		T4M Type IV Medium		
	P4 ²	AMB ³ Amber		TFTM Forward Throw Medium		
						Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.

Options		Finish	
E10WH	Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min)	DDBXD	Dark bronze
E20WC	Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)	DBLXD	Black
PE ⁷	Photocell, Button Type	DNAXD	Natural aluminum
DMG ⁸	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD	White
BCE	Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD	Sandstone
BAA	Buy America(n) Act Compliant	DBBTXD	Textured dark bronze
		DBLBXD	Textured black
		DNATXD	Textured natural aluminum
		DWHGXD	Textured white
		DSSTXD	Textured sandstone
		CONTRACTOR TO REFERENCE PLANS	
	</		

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WDGE2 LED
Rev. 01/18/22

TYPE UU7

CONTRACTOR TO SEE NOTES BELOW



WDGE3 LED

Architectural Wall Sconce



Buy American



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THAT FIXTURES CAN BE
MOUNTED PER PLAN AND
ALL NECESSARY
HARDWARE IS SPECIFIED
FOR INSTALLATION PRIOR
TO PURCHASING**

Catalog
Number

Notes

Type

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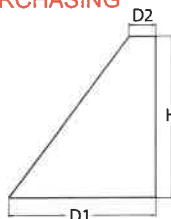
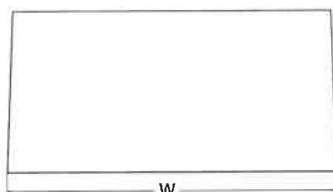
Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE3 has been designed to deliver up to 12,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole mounted luminaires.

Specifications

Depth (D1): 8"
Depth (D2): 1.5"
Height: 9"
Width: 18"
Weight: 19.5 lbs
(without options)



WDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE3 LED P3 40K 70CRI R3 MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE3 LED	P1	30K 3000K	70CRI	R2 Type 2	MVOLT	Shipped included
	P2	40K 4000K	80CRI	R3 Type 3	347 ¹	SRM Surface mounting bracket
	P3	50K 5000K		R4 Type 4	480 ¹	ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁴
	P4			RFT Forward Throw		

Shipped separately
AWS 3/8inch Architectural wall spacer
PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.

Options			Finish	
E15WH	Emergency battery backup, Certified in CA Title 20 MAEDBS (15W, 5°C min)	Standalone Sensors/Controls PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation. PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation. Networked Sensors/Controls NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights. NLTAIR2 PIRH nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights. See page 4 for out of box functionality	DDBXD	Dark bronze
E20WC	Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)		DBLXD	Black
PE ²	Photocell, Button Type		DNAXD	Natural aluminum
DMG ³	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)		DWHXD	White
BCE	Bottom conduit entry for back box (PBBW). Total of 4 entry points.	Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.	DSSXD	Sandstone
SPD10KV	10kV Surge pack		DDBTXD	Textured dark bronze
BAA	Buy America(n) Act Compliant		DBLBDX	Textured black
			DNATXD	Textured natural aluminum
			DWHGXD	Textured white
			DSSTXD	Textured sandstone

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Accessories

Ordered and shipped separately.

WDGEAWS DDBXD	WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGE3PBBW DDBXD U	WDGE3 surface-mounted back box (specify finish)

NOTES

- 347V and 480V not available with E15WH and E20WC.
- PE not available in 480V and with sensors/controls.
- DMG option not available with sensors/controls.
- Not qualified for DLC. Not available with emergency battery backup or sensors/controls



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WDGE3 LED
Rev. 01/18/22

TYPE UU8

CONTRACTOR TO SEE NOTES BELOW



WDGE2 LED

Architectural Wall Sconce

Precision Refractive Optic



Buy American



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HARDWARE IS SPECIFIED FOR
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PURCHASING**

Catalog
Number

Notes

Type

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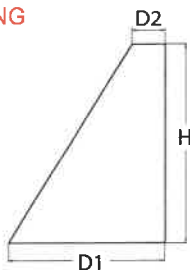
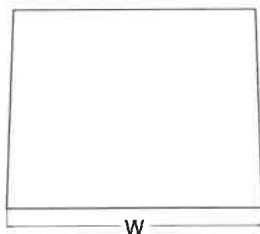
Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

Specifications

Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight: 13.5 lbs
(without options)



WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting	
WDGE2 LED	P0 ¹	27K 2700K	70CRI ⁴	T1S Type I Short	MVOLT	Shipped included	Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.
	P1 ²	30K 3000K	80CRI	T2M Type II Medium	347 ⁵	SRM Surface mounting bracket	
	P2 ²	40K 4000K	LW ³ Limited Wavelength	T3M Type III Medium	480 ⁵	ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁶	
	P3 ²	50K 5000K		T4M Type IV Medium			
	P4 ²	AMB ³ Amber		TFTM Forward Throw Medium			

Options		Finish	
E10WH	Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min)	DDBXD	Dark bronze
E20WC	Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)	DBLXD	Black
PE ⁷	Photocell, Button Type	DNAXD	Natural aluminum
DMG ⁸	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD	White
BCE	Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD	Sandstone
BAA	Buy America(n) Act Compliant	DBBTXD	Textured dark bronze
		DBLBXD	Textured black
		DNATXD	Textured natural aluminum
		DWHGXD	Textured white
		DSSTXD	Textured sandstone
		CONTRACTOR TO REFERENCE PLANS	

Standalone Sensors/Controls	
PIR	Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.
PIRH	Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching
PIR1FC3V	Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.
PIRH1FC3V	Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.
Networked Sensors/Controls	
NLTAIR2 PIR	nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights.
NLTAIR2 PIRH	nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights.
See page 4 for out of box functionality	



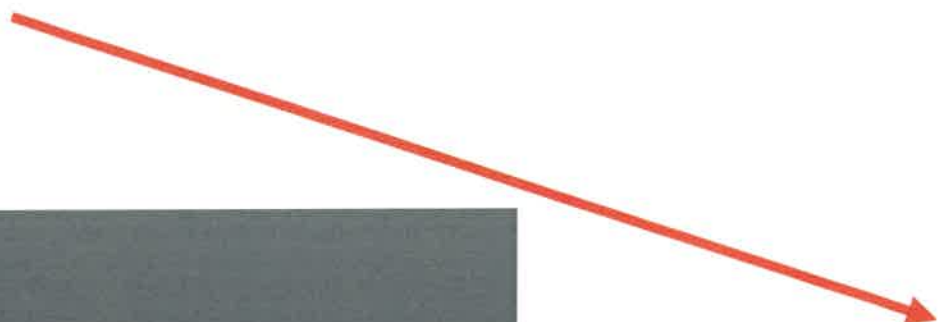
COMMERCIAL OUTDOOR

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WDGE2 LED
Rev. 01/18/22

GC TO TRIM LIMBS AWAY FROM
POLE AND INTENDED
ILLUMINATION.

EXHIBIT "A"





Bancare, Inc.

Job #: BCP12363 2021 - 780 N Western Ave Lake Forest, IL - BOA Exterior Lighting Program (ELP)

Corner of N Western and E Wisconsin



South Side of N Western Ave





Bancare, Inc.

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