## Agenda Item 2 745 Broadsmoore Drive New Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Previous Site Plan
Current Site Plan
Previous North Elevation
Current North Elevation
Current East Elevation — No Changes
Previous South Elevation
Current South Elevation
Current South Elevation
Current West Elevation
Current West Elevation
Roof Plan — No Changes
First Floor Plan
Second Floor Plan
Previous Landscape Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

Current Landscape Plan

#### 745 Broadsmoore Drive

Continued consideration of a request for approval of a new residence and attached garage, a conceptual landscape plan and overall site plan.

Property Owner: Peter A. Kasdin Trust (Peter Kasdin, 100%) Project Representative: Thomas Pins, architect

Staff Contact: Jen Baehr, Planner

#### Activity on this Petition to Date

The Board considered this petition at the May 17, 2022 meeting and after discussion about various design aspects of the project, the Board continued the petition with direction to the petitioners to consider the comments offered by the Board, make refinements in response to the comments and provide additional information as requested. The Board offered the following direction.

- Conduct further study of the windows on the north elevation of the garage.
- Provide a sample of the proposed synthetic roof material.
- Provide additional information on the proposed color palette.
- All trim, fascia, soffits and rakeboards must be natural wood.
- No improvements are permitted to encroach into the stormwater detention easement.
- The landscape plan shall be modified to incorporate shade trees in the front yard to soften the appearance of the home and trees along the east side of the driveway to soften the long straight driveway.

The petitioner has provided additional information and revised the plans as follows.

- The single windows on the north and south elevations of the garage were replaced with double windows with proportionately sized shutters.
- The windows at the center of the west elevation on the second floor were shortened.
- A sample of the synthetic roof material is expected to be presented at the meeting along with confirmation of a specific manufacturer and product.
- Additional information on the proposed color palette was provided and is detailed in the updated statement of intent.
- The previously proposed synthetic material was replaced with natural wood for the trim, fascia, and soffit elements.
- The fenced garden was modified to avoid encroaching into the stormwater detention easement.
- The retaining wall previously proposed in the stormwater detention easement was eliminated.
- The landscape plan was updated to include additional plantings in the front yard and along the driveway.

As noted above, the petitioner provided an updated statement of intent in response to the Board's comments. The statement of intent is included in the Board's packet along with revised plans. Portions of the previous submittal are included in the Board packet for comparison purposes.

Portions of the following information is repeated from the May staff report.

#### Description of Property

The property is located on the south side of the cul-de-sac at the west end of Broadsmoore Drive. The property is located in the Whitehall Meadows subdivision which was recorded in 2004 and created 10 lots from the original Whitehall estate. The original historically significant estate house and coach house were built in 1929 and remain on separate lots on the east side of the subdivision and are accessed from Ridge Road.

This property is the first in the subdivision to be proposed for development. The site is approximately 1.6 acres in size and is irregular in shape, the north property line follows the curve of the cul-de-sac and the west property line is set an angle. There is a 125 foot stormwater detention easement on the south side of the site. No improvements are permitted in this area.

#### **Staff Evaluation**

An evaluation of the project based on the applicable standards and staff recommendations is offered below for the Board's considerations.

#### Site Plan - This standard is met.

The proposed residence faces north, toward the west end of Broadsmoore Drive. The home has two attached garages on the east side of the house. One garage faces south and the other faces east. A single curb cut is proposed. The driveway extends along the east side of the site in a long, straight configuration to access the garages. The driveway is setback 20 feet from the east property line allowing space for landscape screening although if this area is required for an overland flow route for stormwater, the opportunity for planting may be limited. Currently a line of trees is proposed along the east property line, planting in this location will be subject to review and approval by the City Engineer. A walkway is proposed from the front entrance to the cul-de-sac. On either side of the front walkway low walls and pillars are proposed. A patio, fire pit and fenced garden are proposed in the rear yard.

The fenced garden was modified since the previous meeting and no longer encroaches into the stormwater detention easement. The boulder retaining wall previously proposed in the stormwater detention easement has been eliminated from the plan.

#### Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 7,406 square feet is permitted on the site. In addition, a garage of up to 800 square feet is permitted along with up to 741 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and includes elements such as single dormers and screen porches.

- The proposed residence totals 6,626 square feet.
- The proposed garages total 1,155 square feet. The excess square footage for the garages must be included in toward the overall square footage of the house.
- In addition to the above square footage, a total of 634 square feet of design elements are incorporated into the design of the house.
- In total, the residence is 425 square feet, equal to 5.7 percent below the maximum allowable square footage.

At the maximum height, the residence is 37 feet and 7 inches tall as measured from the lowest point of existing grade to the tallest roof peak. The maximum height allowed for this lot is 40 feet.

#### Elevations – This standard is met.

The proposed residence is inspired by the Colonial architectural style. The residence is comprised of a primary a two-story symmetrical mass and smaller masses that step down to the single story garages at the east end of the home. The home has gable roof forms with an 8:12 pitch. The home features many elements that are in keeping with the Colonial architectural style including a portico at the front entrance, shutters, jack arches above the windows, and quoin details at the corners. (Note: The quoin details do not appear consistently on the revised elevations. Staff assumes that is a printing error and that the quoins as reflected on the elevations presented at the last meeting remain.)

Since the previous meeting, the plans were revised in response to the Board's comments on the windows on the north elevation of the garage. To provide a more consistent appearance across the front elevation, the previously proposed single windows were replaced with double windows with proportional shutters that match the windows on the front gables on the main mass of the home.

#### Type, color, and texture of materials – This standard is generally met.

The walls will be limewash brick and the primary roof forms are proposed to be a synthetic product. The bay windows will have standing seam metal roofs. The trim, fascia, soffits and rakeboards are natural wood. Aluminum clad windows with exterior and interior muntin bars are proposed. The chimney will be limewash brick with a clay chimney pot. Copper gutters and downspouts are proposed.

The use of the synthetic roof product was discussed during the last meeting and the Board requested that material samples of the product be provided for review. The petitioner is expected to provide the material samples during the meeting along with details of the specific product proposed for use.

The homes immediately surrounding the property all have natural roof materials. The historic homes to the east have clay tile and cedar shingle roofs and the homes to the north on Broadsmoore Drive also have cedar shingle roofs. As discussed during the previous meeting, this is the first home in the subdivision and it will set the tone for future homes in the subdivision. In past decisions, the Board has weighed carefully the roof materials in the surrounding area when considering requests for approval of roof materials and has required consistency. Board consideration of this request in the context of past decisions and Board direction is requested to establish an approach for this subdivision.

• Staff requests input from the Board on the proposed synthetic roof material.

#### Landscaping and Hardscape

The proposed front walkway and driveway will require removal of two Sugar Maple trees located in the parkway. Replacement of the parkway trees will be required since they were planted by the developer as part of the subdivision improvements.

The petitioner submitted a preliminary landscape plan that reflects new plantings that include Maple, Spruce, Redbud, Crabapple and Serviceberry trees. Deciduous and evergreen shrubs are also proposed around the home. The inclusion of native species and trees that will mature over time and provide a canopy in this new subdivision will be important. Variety in species is recommended to mitigate impacts of future disease, insect infestation or blight affecting a specific species.

As discussed during the previous meeting, the original landscape plan did not reflect any shade trees in the front yard to soften the appearance of the large home as viewed from the street. Since the previous meeting, the petitioner added three Crabapple trees to the front yard and seven Linden trees along the east side of the driveway. To more fully address the Board's previous comments, the Crabapple trees should be replaced with shade trees that provide a canopy to soften the appearance of the home as noted above.

Hardscape on the site includes an asphalt driveway with a paver apron. The front walkway and rear patio will be stone. The walls and pillars along the front walkway will be white painted brick to match the home.

#### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

#### Recommendation

Recommend approval of the residence, attached garage, conceptual landscape and overall site plan based on the findings presented in this staff report and as further detailed during the Board's deliberations. Staff recommends approval subject to the following conditions of approval.

#### Conditions of Approval

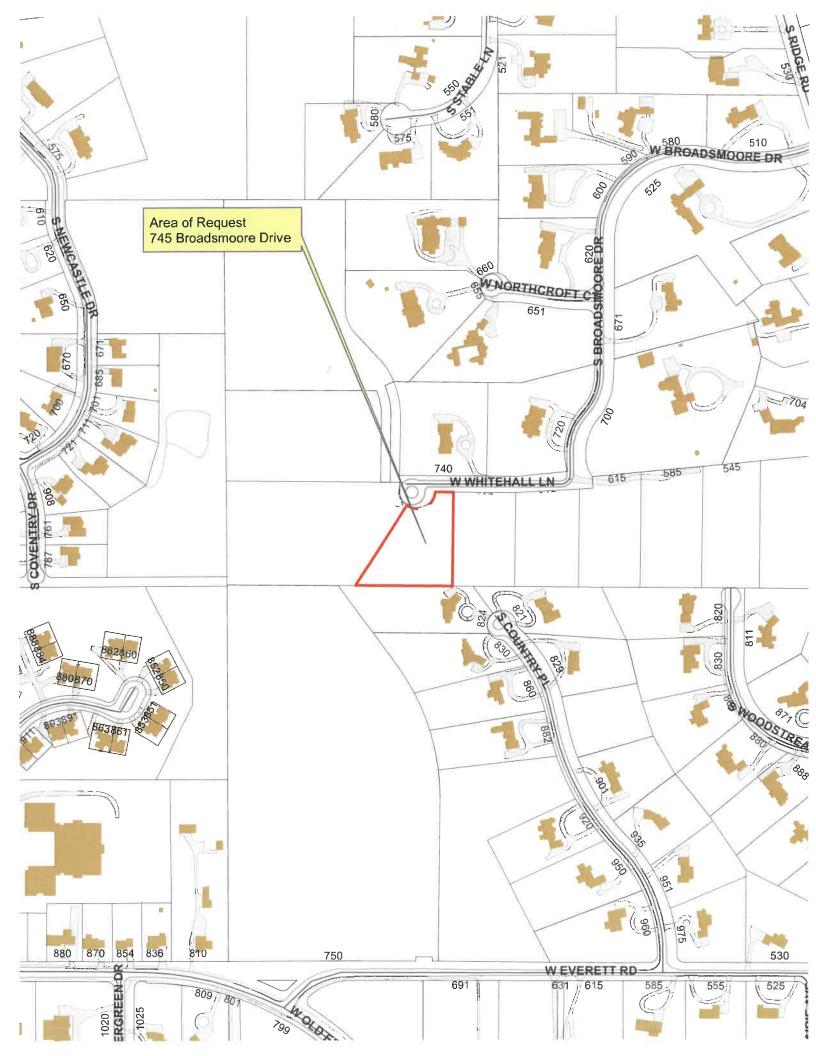
- 1. All modifications made to the plans, either in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
- 2. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code. In addition, shade trees must be incorporated as part of the landscaping in the front yard and the parkway trees that will be impacted by the driveway and walkway must be replaced subject to review and approval by the City Arborist.
- 3. Tree Protection Plan Prior to the issuance of a building permit, a plan to protect the parkway trees during construction must be submitted and will be subject to review and approval by the City.
- 4. At the time of submittal for a building permit, detailed drainage and grading plans must be submitted. No grading or filling shall be permitted except the absolute minimum necessary to meet accepted engineering standards and practices.
- 5. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully

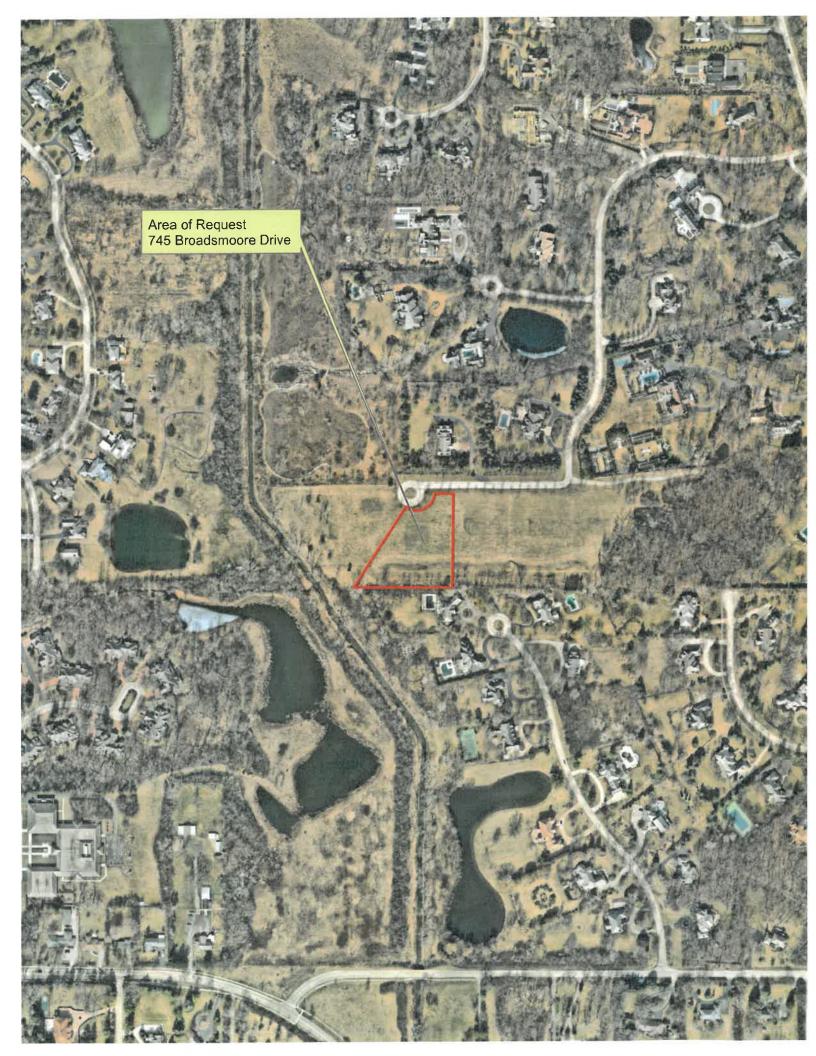
- shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
- 6. During construction, the stormwater drainage easement shall be fenced off to avoid encroachment of materials, equipment or alteration of the grade.
- 7. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

#### THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

| Address                                     | 745 Broadsmoore Drive  |  |                   | Owner(s)     |        | Pet | er and Noelle Ka      | sdin    |                             |
|---|------------------------|--|-------------------|--------------|--------|-----|-----------------------|---------|-----------------------------|
| Architect                                   | Thomas Pins, architect |  |                   | Reviewed by: |        | Jen | Baehr                 |         |                             |
| Date  | 6/1/2022               |  |                   |              |        |     |                       |         |                             |
| Lot Area                                    | <b>70080</b> sq. ft.   |  |                   |              |        |     |                       |         |                             |
| Square Footag                               | ge of New Residence:   |  |                   |              |        |     |                       |         |                             |
| 1st floor                                   | + 2nd floor            | <b>2699</b> + 3                                  | rd floor          | 1009         |        | =_  | 6626                  | sq. ft. |                             |
| Design Eleme                                | nt Allowance =         | sq. ft.  |                   |              |        |     |                       |         |                             |
| Total Actual D                              | esign Elements =       | sq. ft.  |                   |              | Excess | =_  | 0                     | sq.ft.  |                             |
| Garage                                      | 1155sf actual ;        | sf allo  | wance             |              | Excess | =   | 355                   | sq. ft. |                             |
| Garage Width                                | ft.                    | may not exceed 24' ir<br>18,900 sf or less in si |                   | lots         |        |     |                       |         |                             |
| Basement Are                                | ea                     | 10,900 \$1 01 1655 111 \$1.                      | .e.               |              |        | =   | 0                     | sq. ft. |                             |
| Accessory buil                              | ldings                 |  |                   |              |        | =_  | 0                     | sq. ft. |                             |
| TOTAL SQUAR                                 | RE FOOTAGE             |  |                   |              |        | =   | 6981                  | sq. ft. |                             |
| TOTAL SQUARE FOOTAGE ALLOWED = 7406 sq. ft. |                        |  |                   |              |        |     |                       |         |                             |
| DIFFERENTIAL                                | -                      |  |                   |              |        | =   | -425<br>Inder Maximum | sq. ft. |                             |
| Allowa                                      | ble Height: 40         | ft. Actual He                                    | ight <sub>-</sub> | 37'-3" ft.   |        |     | ×.                    |         | NET RESULT:                 |
|   |                        |  |                   |              |        |     |                       | _       | 425 sq. ft. is              |
|   |                        |  |                   |              |        | 1   |                       | -       | 5.7% under the Max. allowed |
| DESIGN ELEMI                                | ENT EXEMPTIONS         |  |                   |              |        |     |                       |         |                             |

| Design Element Allowance:      | 741 | sq. ft. |                          |                  |
|--------------------------------|-----|---------|--------------------------|------------------|
| Front & Side Porches =         | 0   | sq. ft. |                          |                  |
| Rear & Side Screen Porches =   | 294 | sq. ft. |                          |                  |
| Covered Entries =              | 253 | sq. ft. |                          |                  |
| Portico =                      | 0   | sq. ft. |                          |                  |
| Porte-Cochere =                | 0   | sq. ft. |                          |                  |
| Breezeway =                    | 0   | sq. ft. |                          |                  |
| Pergolas =                     | 0   | sq. ft. |                          |                  |
| Individual Dormers =           | 87  | sq. ft. |                          |                  |
| Bay Windows =                  | 0   | sq. ft. |                          |                  |
| Total Actual Design Elements = | 634 | sq. ft. | Excess Design Elements = | <b>0</b> sq. ft. |









## THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

| PROJECT ADDRESS_Lot 9 Whitehall Ln  |  |  |  |  |  |  |  |  |
|---|--|--|--|--|--|--|--|--|
| APPLICATION TYPE  |  |  |  |  |  |  |  |  |
| RESIDENTIAL PROJECTS  | COMMERCIAL PROJECTS  |  |  |  |  |  |  |  |
| ✓ New Residence       ☐ Demolition Complete         ☐ New Accessory Building       ☐ Demolition Partial         ☐ Addition/Alteration       ☐ Height Variance         ☐ Building Scale Variance       ☐ Other | □ New Building       □ Landscape/Parking         □ Addition/Alteration       □ Lighting         □ Height Variance       □ Signage or Awnings         □ Other       □ |  |  |  |  |  |  |  |
| PROPERTY OWNER INFORMATION ARCHITECT/BUILDER INFORMATION  |  |  |  |  |  |  |  |  |
| Peter A. Karden Trust   | Thomas Pins  |  |  |  |  |  |  |  |
| Owner of Property   | Name and Title of Person Presenting Project  |  |  |  |  |  |  |  |
| 340 Muly of Mexico Anve   | Orren Pickell Design Group   |  |  |  |  |  |  |  |
| Owner's Street Address (may be different from project address)  | Name of Firm   |  |  |  |  |  |  |  |
| Longboat Key, FL 34228  | 444 Skokie Blvd., Ste 200  |  |  |  |  |  |  |  |
| City, Style and Zip Code  | Street Address   |  |  |  |  |  |  |  |
| 947-295-1121  | Wilmette, IL 60091   |  |  |  |  |  |  |  |
| Phone Number Fax Number   | City, State and Zip Code   |  |  |  |  |  |  |  |
| p kasden a peter kasden, com  | (847) 572-5273   |  |  |  |  |  |  |  |
| Imail Address   | Phone Number Fax Number  |  |  |  |  |  |  |  |
| 1   | tpins@pickellbuilders.com  |  |  |  |  |  |  |  |
| Pitu Kardin   | Email Address / Pomumo ( in )  |  |  |  |  |  |  |  |
| Owner's Signature   | Representative's Signature (Architect/ Builder)  |  |  |  |  |  |  |  |
| The staff report is available the Frida   | y before the meeting, after 8:00pm.  |  |  |  |  |  |  |  |
| The stail report is available the Filda   | y before the meeting, area oloopin.  |  |  |  |  |  |  |  |

OWNER

☐ OWNER

☐ OWNER

☑ REPRESENTATIVE

☐ REPRESENTATIVE

☐ REPRESENTATIVE

Please email a copy of the staff report

I will pick up a copy of the staff report at the Community Development Department

Please fax a copy of the staff report

### TRUST OWNERSHIP (EXHIBIT C)

Please list the Trust number and name and address of the Trustee, as well as the names and addresses of all beneficiaries of the Trust, together with their respective interests in the Trust. The application shall be further verified by the applicant in his capacity as Trustee or by the beneficiary as a beneficial owner of an interest in the Trust and the application shall be signed individually by as many beneficiaries as are necessary to constitute greater than 50% ownership of the beneficial interest of the trust.

| TRUST NUMBER                                    | TRUSTEE INFORMATION                        |  |  |  |  |
|---|--|--|--|--|--|
| A. tu A Karden Trust                            | Name Liter Kasdin                          |  |  |  |  |
| Pater D. Kasdin Trust<br>Rated October 31, 2007 | Name Piter Kasden Firm Piter B. Karden Ltd |  |  |  |  |
| The action to signed.                           |  |  |  |  |  |
|   | Address 145 Mouse Lm, LF 11                |  |  |  |  |
|   | Phone 847-295-1121                         |  |  |  |  |
|   |  |  |  |  |  |
| Beneficiaries                                   |  |  |  |  |  |
| Name Puter Kardin  Address 340 Mulf of Mexico   | Name                                       |  |  |  |  |
|   |  |  |  |  |  |
| Address 340 Mulf of Mexico                      | Address                                    |  |  |  |  |
| 1/11  | Trust Interest %                           |  |  |  |  |
|   |  |  |  |  |  |
|   |  |  |  |  |  |
| Name  | Name                                       |  |  |  |  |
|   |  |  |  |  |  |
| Address   | Address                                    |  |  |  |  |
| Trust Interest %                                | Trust Interest%                            |  |  |  |  |
|   |  |  |  |  |  |
| Name  | Name                                       |  |  |  |  |
|   |  |  |  |  |  |
| Address   | Address                                    |  |  |  |  |
| Trust Interest %                                | Trust Interest %                           |  |  |  |  |
| Trust interest /0                               | Trust interest 70                          |  |  |  |  |



April 25th, 2022

To: City of Lake Forest

800 Field Drive

Lake Forest, IL 60045

From: Orren Pickell Design Group

444 Skokie Blvd Wilmette, IL 60091

Re: Kasdin Residence

745 Broadsmore Dr (705 Whitehall Ln)

To The City of Lake Forest Building Review Board;

Orren Pickell Building Group (OPBG) is formally proposing to construct a single-family residence at 745 Broadsmore Dr in Lake Forest in the Whitehall Meadows subdivision.

Below is our response to comments from the Building Review Board meeting held on May 17, 2022.

1)The white brick will be Romabio Classico Limewash\_Avorio. This is a natural finish that will vary slightly depending on application technique and the underlying brick but the intent is to achieve a look that is in line with this image (trim will be painted to match):



- 2)We have proposing to use all natural wood trim for the house in lieu of Azek PVC trim.
- 3) The front door will be a black traditional 4 panel door with nickel hardware.

444 Skokie Blvd Wilmette, IL 60091



4) We are proposing using a DaVinci Bellaforte' Slate, color: Slate Gray:



Or, optionally, a Brava Old World Slate, color: Arendale



This will be the only synthetic exterior finish on the project.

5) The gutters and downspouts will remain copper.

6)We have revised the landscape plan to include additional trees along the east side of the driveway and in front of the house.

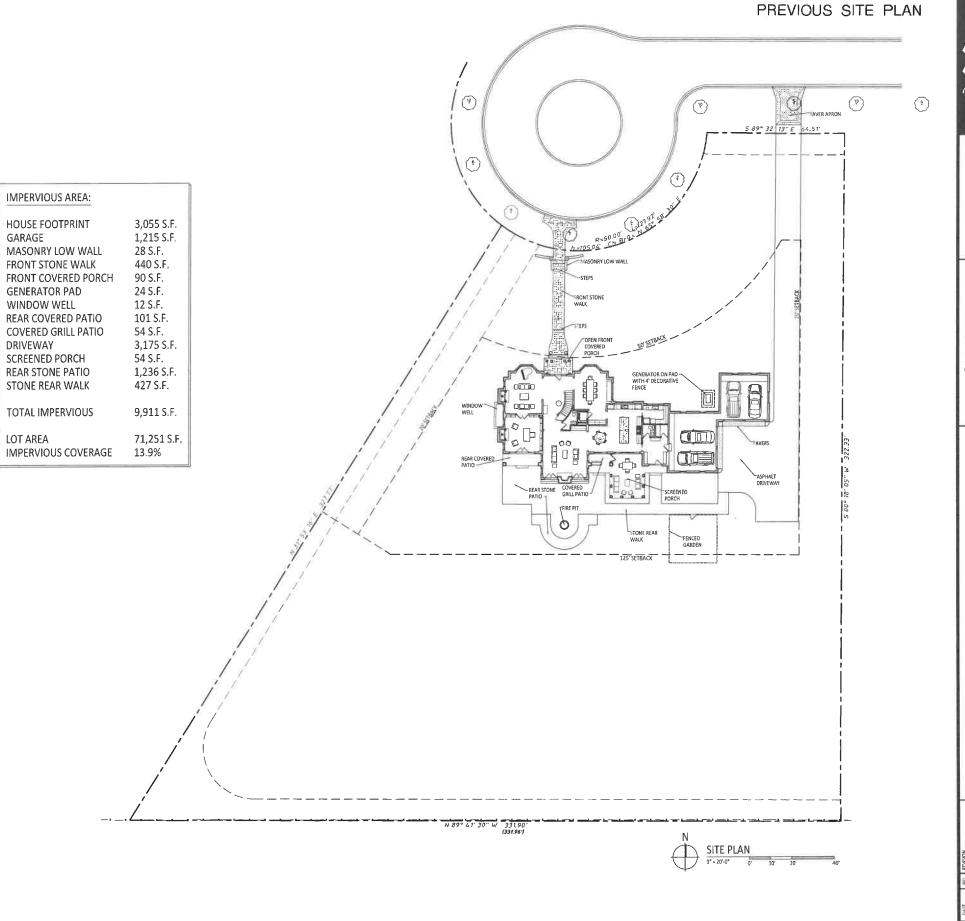
The backyard design now stays completely outside of the detention basin setback.

After looking at options, we have retained the location of the generator and are screening it with fencing.

Respectfully,

The Orren Pickell Design Group

444 Skokie Blvd Wilmette, IL 60091



ORREN PICKELL DISSONIR III DI RENGONI

> VO., SUITE 200 ; IL 60091 2.5200 LDERS.COM

444 SKOKIE BLVD., SUITE 200 WILMETTE, IL 60091 847.57.5200 PICKELLBUILDERS.COM

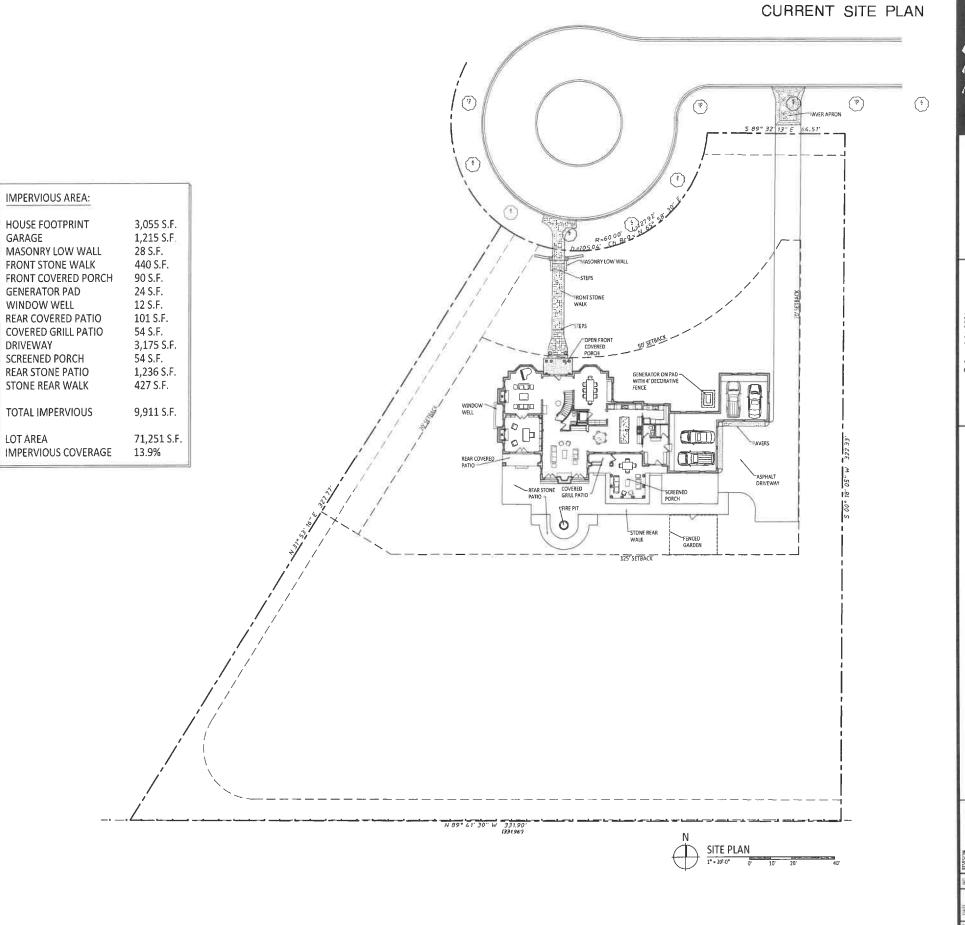
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KASDIN RESIDENCE LOT 9 WHITEHALL LN, LAKE FOREST, IL 60045

**S1** 



ORREN PICKELL DESIGN IR ULD REMODEL

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444 SKOKIE BLVD., SUIT WILMETTE, IL 6009 847.572.5200 PICKELLBUILOERS.CO

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KASDIN RESIDENCE
LOT 9 WHITEHALL LN, LAKE FOREST, IL 60045

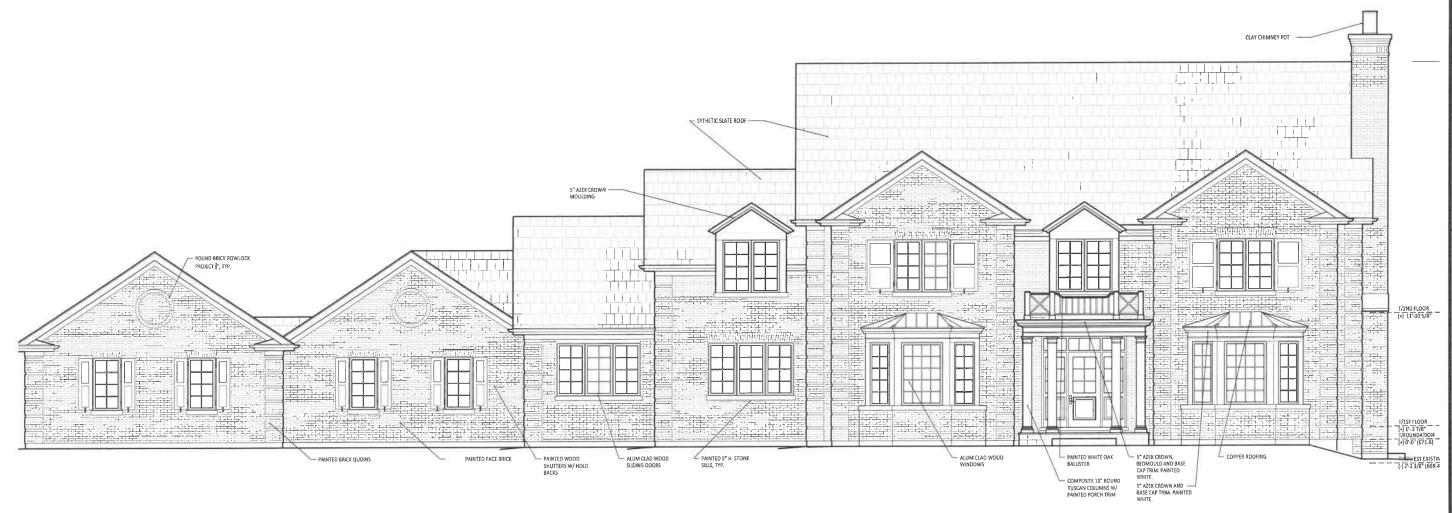
| March | Marc

**S1** 

NORTH ELEVATION
1/4" = 1"-0" 0' 2' 4' 8'

LOT 9 WHITEHALL LN, LAKE FOREST, IL 60045

KASDIN RESIDENCE

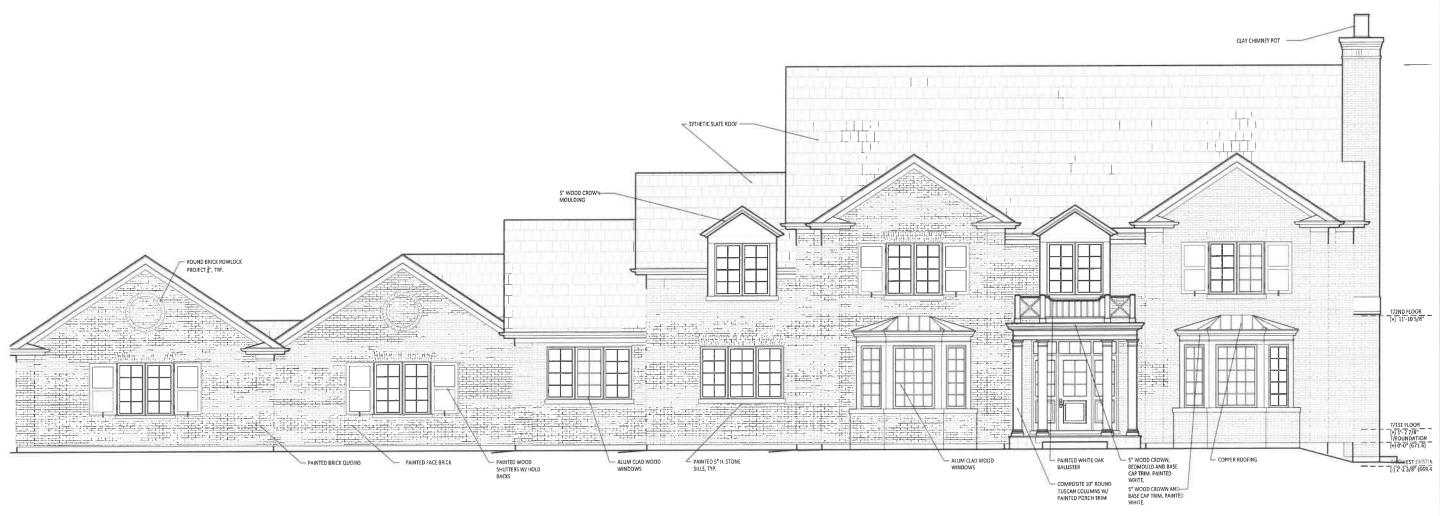


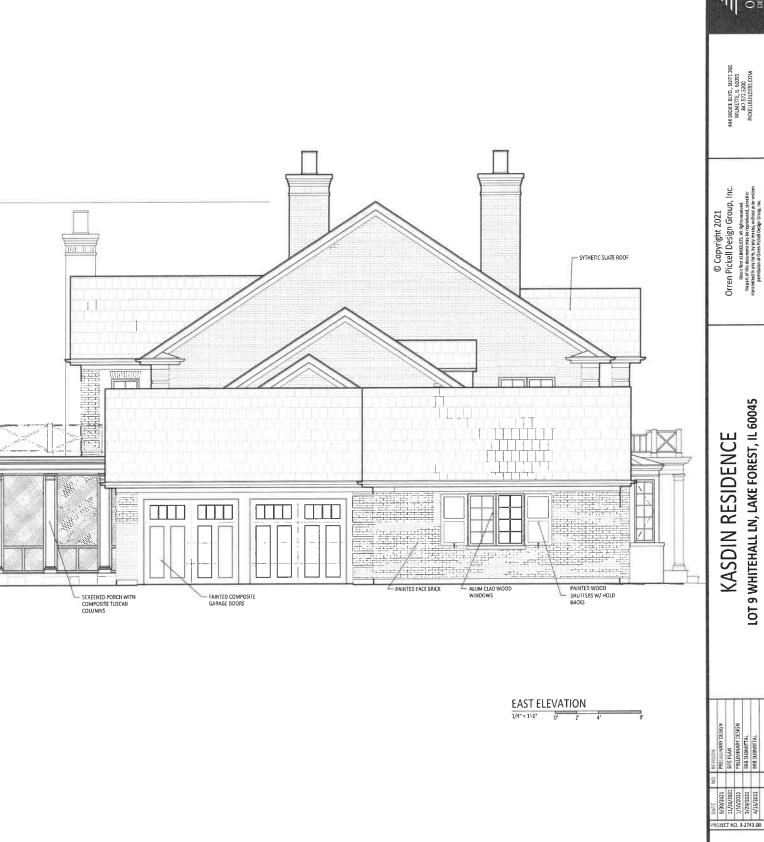
NORTH ELEVATION

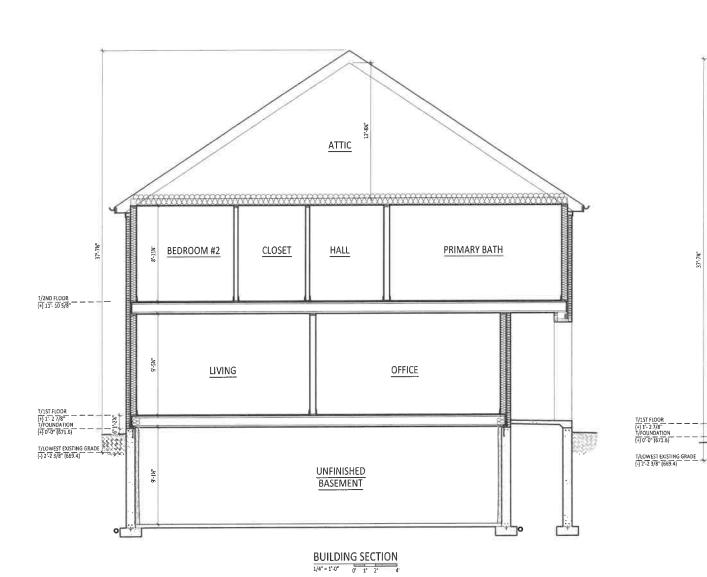


KASDIN RESIDENCE LOT 9 WHITEHALL LN, LAKE FOREST, IL 60045

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444 SKOKIE BLVD., SUITE 200 WILMETTE, IL. 60091 847.572.5200 PICKELLBUILDERS.COM

KASDIN RESIDENCE LOT 9 WHITEHALL LIN, LAKE FOREST, IL 60045

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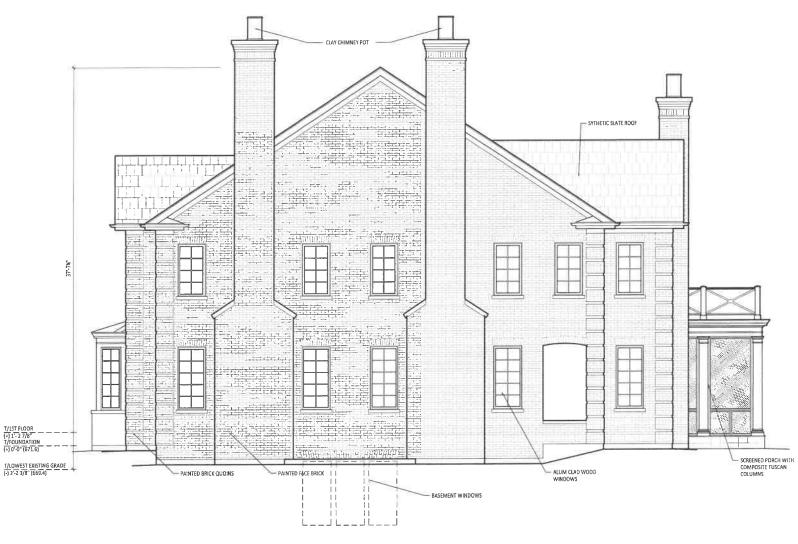
SYTHETIC SLATE ROOF - ROUND BRICK ROWLOCK PAINTED WOOD SHUTTERS W/ HOLD BACKS SCREENED PORCH WITH COMPOSITE TUSCAN COLUMNS - PAINTED FACE BRICK PAINTED BRICK QUOINS SOLID STONE STEP, TYP

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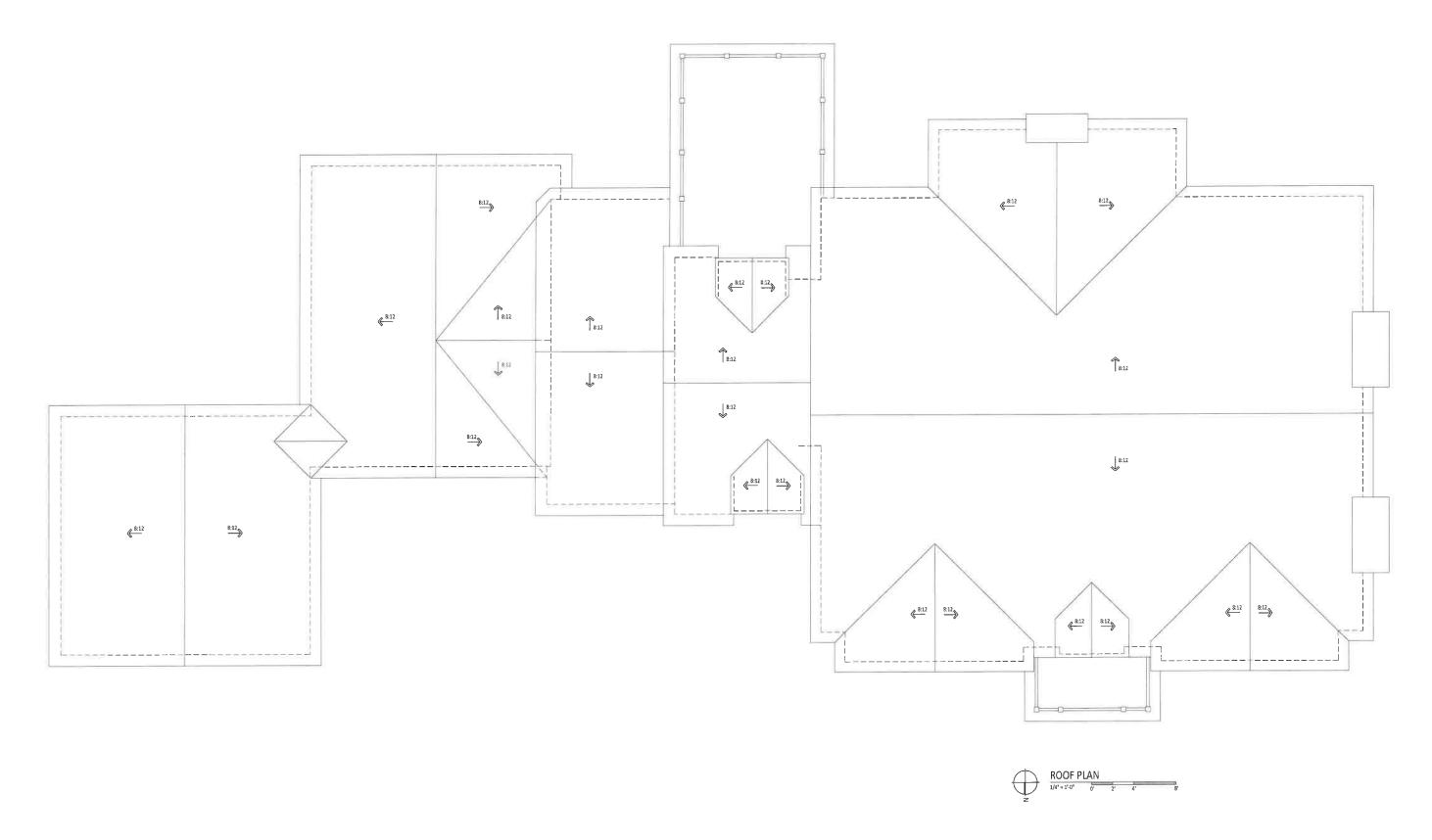
— ROUND BRICK ROWLOCK PROJECT ₹, TYP. PAINTED WOOD
SHUTTERS W/ HOLD
BACKS - ALUM CLAD WOOD FRENCH DOORS - SOLID STONE STEP, TYP PAINTED FACE BRICK PAINTED BRICK QUDINS

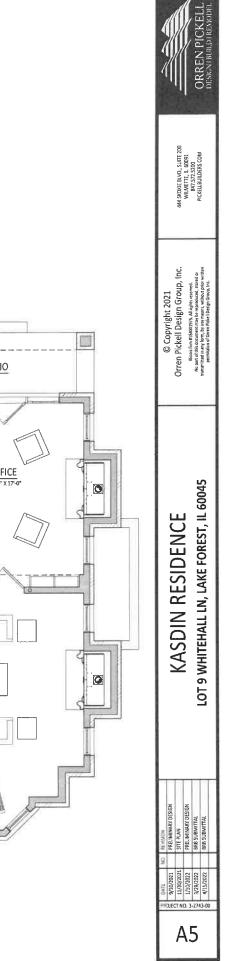
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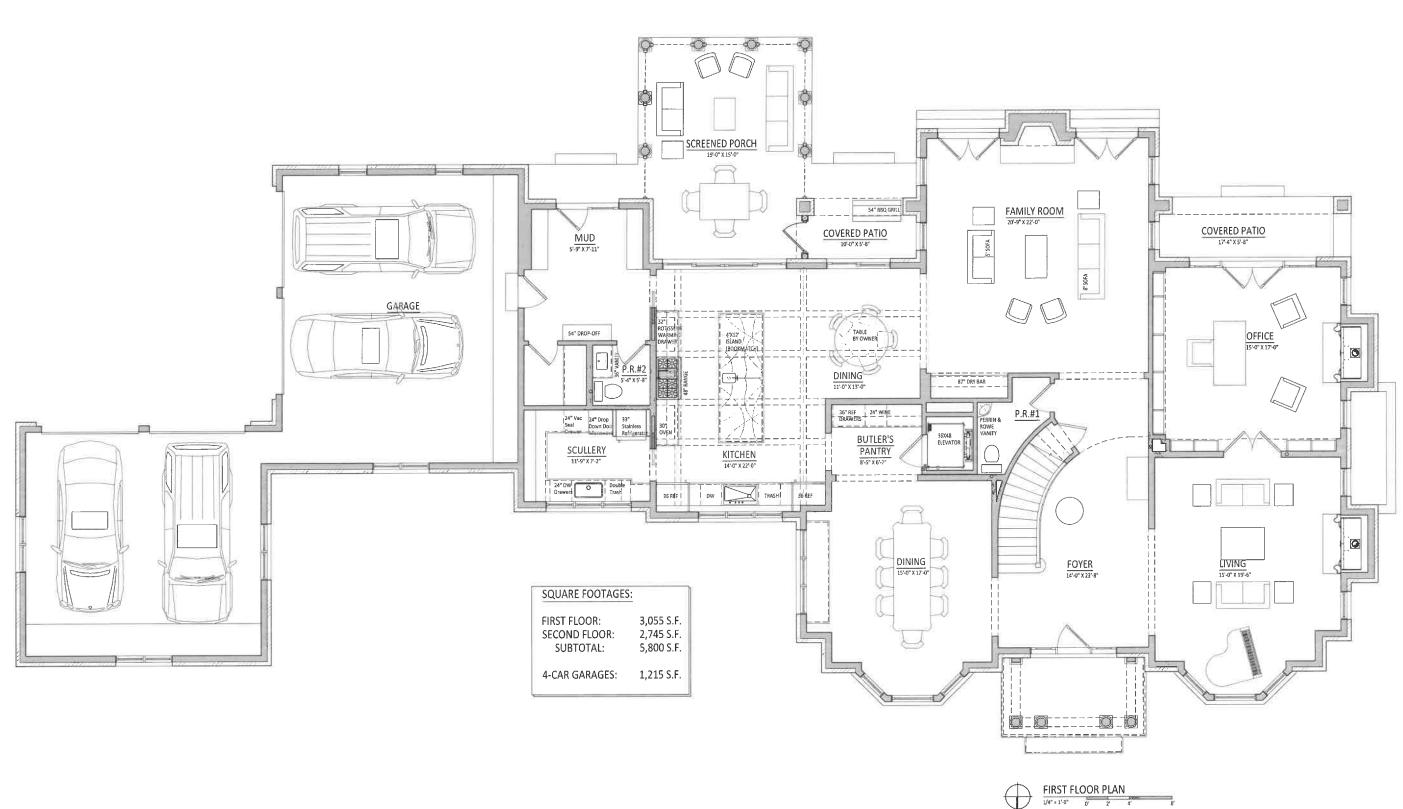








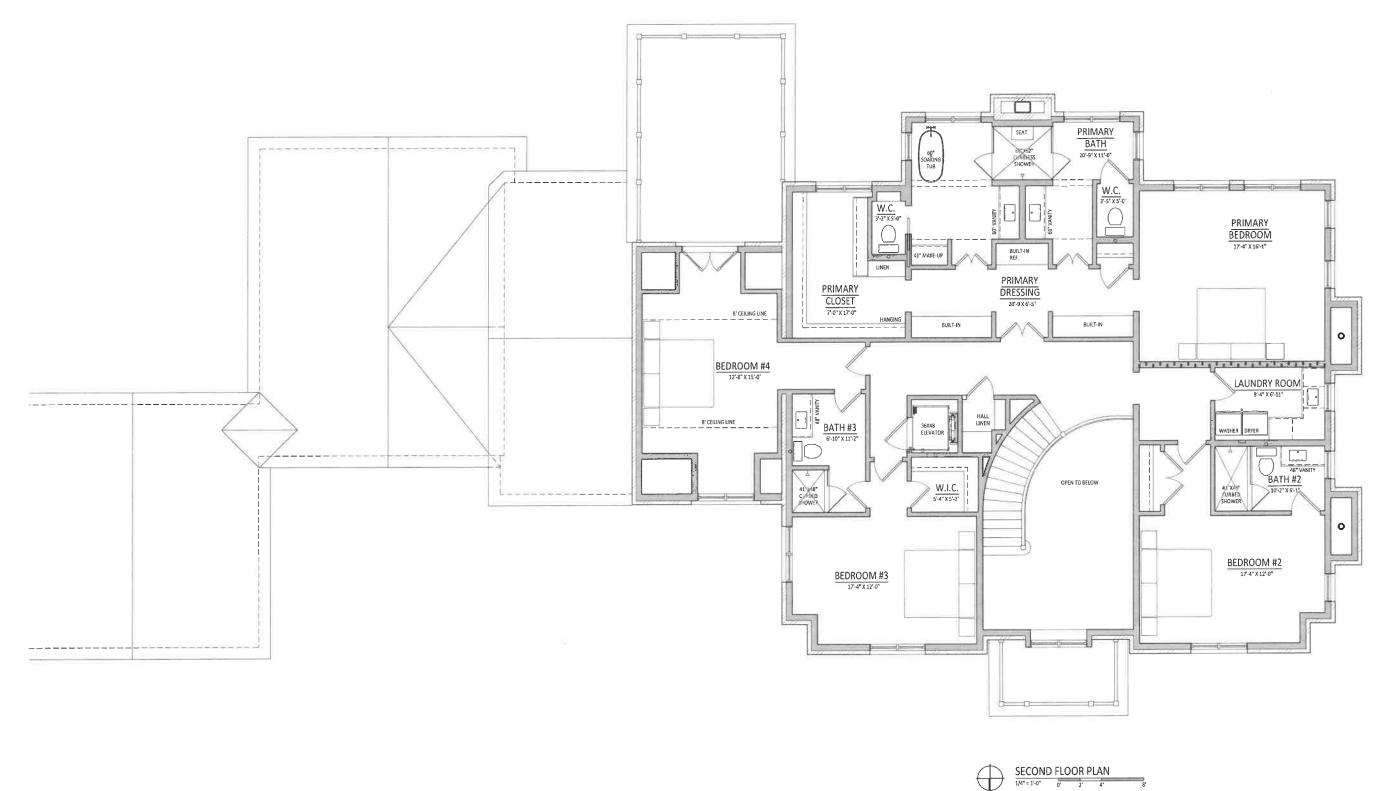






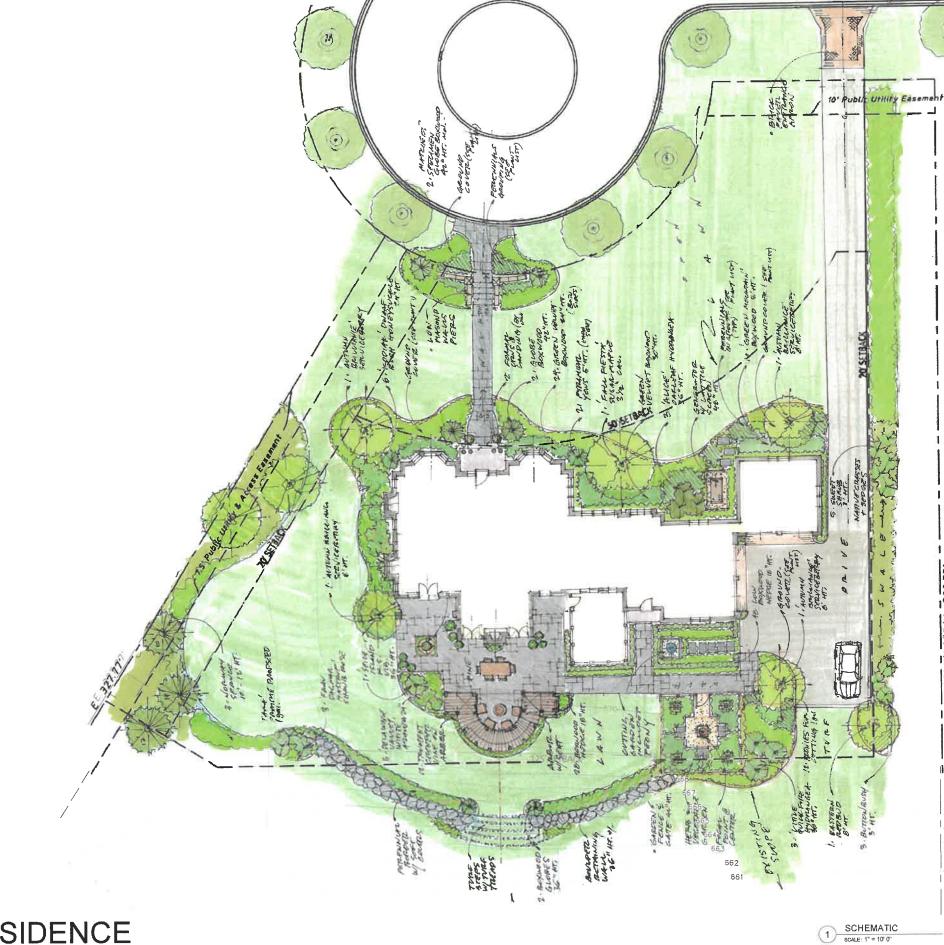
KASDIN RESIDENCE LOT 9 WHITEHALL LN, LAKE FOREST, IL 60045

1/20/2021 1/20/2021 1/20/2021 1/20/2022 1/20/2022 1/20/2022 1/20/2022 1/20/2022



#### PREVIOUS LANDSCAPE PLAN

|                                      |                                   | oposes 1 1011.                | • •     |   |
|--------------------------------------|-----------------------------------|-------------------------------|---------|---|
| Evergreen                            |                                   |                               |         |   |
| Trees<br>3                           | Pices sities                      | Norwey Spruce                 | 107-12  |   |
| 3                                    | PICOS BOISE                       | received Obloce               | 70-12   |   |
| Deciduous Trees                      |                                   |                               |         |   |
|                                      |                                   |                               |         |   |
| 1                                    | Acer saocherum 'Fall<br>Fiesta'   | 'Fall Fiests' Sugar<br>Maple  | 3.5"    |   |
| 4                                    | Amelanchier                       | 'Autumo Brilliance'           | 8'      |   |
|                                      | grandiflora 'Autumn<br>Bolliance' | Serviceberry                  |         |   |
| - 15                                 | Cercis canadensis                 | Eastern Redbud                | 8"      |   |
| argreen Shrubs                       |                                   |                               |         |   |
| 2                                    | Taxus spp.                        | Pyramidal Yew                 | 5'      |   |
| 10                                   | Buxus 'Green                      | 'Green Mountain'              | x       |   |
| 10                                   | Mountain'                         | Barwood                       | ,       |   |
| 11                                   | Buxus 'Green Velvet'              | 'Green Velvat'                | 30"     |   |
|                                      | B (B M                            | Boxwood                       | 24"     |   |
| 24                                   | Buxus 'Green Velvet'              | 'Green Velvet'<br>Baxwood     | 24      |   |
| 4                                    | Buxus spp.                        | Globe Baxwood                 | 42"     |   |
| 76                                   | Burus 'Green Velvet'              | 'Green Velvat                 | 18"     |   |
|                                      |                                   | Boxwood                       |         |   |
| 2                                    | Buxus spp.                        | Globe Barwood                 | 36"     |   |
| Deciduous Shrubs                     |                                   |                               |         |   |
| 1                                    | Vibumum cari 'Spice<br>(sland'    | 'Spice Island'<br>Koreanspice | 36"     |   |
|                                      |                                   | Véumum<br>Deisware Valley     |         |   |
| 3                                    | Azalos 'Delaware<br>Valley'       | Deigware Valley<br>Azalea     | 24*     |   |
| 3                                    | Hydrangea                         | 'Alice' Oaldeaf               | 36"     |   |
| ,                                    | querafola 'Alice'                 | Hydrengee                     |         |   |
|                                      |                                   | Kodiek Owerf                  | 24"     |   |
|                                      | Derville 'Kodetic                 | Honeysuckle                   | 24      |   |
| 5                                    | Calycanthus floridus              | Sweetshrub                    | 3       |   |
|                                      |                                   |                               |         |   |
| 3                                    | Cephelanthus                      | Buttonbush                    | 3'      |   |
| 3                                    | occidentalis<br>Hydrangea pan.    | Little Quickfire              | 36"     |   |
| ,                                    | 'Little Quickfire'                | Hydrangea                     |         |   |
| Vines                                |                                   |                               |         |   |
| 12                                   | Campus radicars                   | Trumpet Vine                  |         |   |
|                                      |                                   |                               |         |   |
| erennals/ Grasses                    |                                   |                               |         |   |
| 12                                   | Рэзоли врр.                       | Peany                         | 1 gal.  |   |
|                                      | Sporobulus                        | Prame Dropseed                | 1 gal.  |   |
|                                      | heterojepis                       |                               |         |   |
|                                      | Echinacea spp.                    | Coneflower varieties          | 1 gal   |   |
|                                      | Alchemite motes                   | Lady's Mentile                | 1 gal.  |   |
|                                      | Salva pratentis                   | Meadow Sage                   | 1 gal.  |   |
|                                      |                                   |                               |         |   |
|                                      | Geranium spp.                     | Geranium vanebes              | 1 gal.  |   |
|                                      | Allum spp.                        | Allum vanebes                 | 1 gal.  |   |
|                                      | Tierelle spp.                     | Foamflower varieties          | 7 gal.  |   |
| A                                    |                                   |                               |         |   |
| Groundcovers                         | Pachysandra                       | Pachysandra                   | Mets    |   |
|                                      | Pacnysanora<br>terminalis         |                               | 100     |   |
|                                      | Liriope spicata                   | Creeping Lilyturi             |         |   |
|                                      | Emprous coloratus                 | Purpleieat                    | Bats    | _ |
|                                      | Augus consumers                   | Wintercreeper                 | TABLE . |   |
|                                      |                                   |                               |         |   |
| Note: Coordinate                     |                                   |                               |         |   |
| plant selections<br>long west border |                                   |                               |         |   |
| with Lake Forest                     |                                   |                               |         |   |
|                                      |                                   |                               |         |   |
| Openlands                            |                                   |                               |         |   |
| Association                          |                                   |                               |         |   |





They plan is conceptual; all dimensions are to be varied at Manatain in orapi verified in their future conclisions in a more mature state. All express and injury originates in these divinities are not to be varied in future for the future of the property of the varied in future for the future of the future of the future future for the future future for the future future for the future future future for the future futur

KASDIN RESIDENCE

MARIANI
300 Rockland Road | Lake Bluff, Illinois 60045
Phone: 847.234.2172 | Fax: 847.234.2754
www.marianilandscape.com

rest pass o sorrespons, se expensable set to de verses, attendes des representes de liber fauf continue et a ser la la la la la designa ancia deles accessiones de la la designa de la la la bio leval de la liber deventación documents by eller faus MARANAN EXTECNIBLES, INC. They are the sale present pull NARAN EXTECNIBLES, INC. and set and to be deglicated and part for la leval development without consent. Complex in preventacion are for

### CURRENT LANDSCAPE PLAN

| Trees   |                                      |  | 10'-12 |
|---|--------------------------------------|--|--------|
| 3   | Pices abies                          | Norway Spruce                            | 10-12  |
| Decidoous Trees.  |                                      |  |        |
| 3   | Acer saccherum / all<br>Fiests'      | 'Fall Fiesta' Sugar<br>Maple             | 3.5"   |
| 4   | Amelanchier<br>grandiflors 'Autumn   | 'Autumn Brillance'<br>Serviceberry       | 8"     |
|   | Bnlhance'                            |  |        |
| 1   | Cercis canadensis                    | Eastern Redbud                           | a,     |
| 3   | Malus 'Donald<br>Wyman'              | 'Donald Wymen'<br>Crebapple              | 8'     |
| 7   | Title 'Amencan<br>Sentry'            | 'American Sentry'<br>Linden              | 3.5    |
| Evergreen Shrubs  | 1                                    |  |        |
| 2   | Taxus spp.                           | Pyramidal Yew                            | 5'     |
| 88  | Buxus 'Green<br>Mountain'            | "Green Mountain"<br>Boxwood              | 3'     |
| 11  | Buxus 'Green Velvet'                 | "Green Velvet"<br>Barwood                | 30*    |
| 24  | Buxus 'Green Velvel'                 | "Green Velvel"<br>Boxwood                | 24"    |
| 4   | Вихив врр.                           | Globe Baswood                            | 42"    |
| 78  | Buxus 'Green Velvet'                 | 'Green Velvet'<br>Boxwood                | 18"    |
| Deciduous Shrubs  |                                      |  |        |
| 1   | Vibumum carl, 'Spice<br>Island'      | 'Spice Island'<br>Koresnspice<br>Vsbumum | 36"    |
| 3   | Azalea 'Delawere<br>Valley'          | 'Delaware Valley'<br>Azalea              | 24"    |
| 3   | Hydrengea<br>quercribia 'Alice'      | 'Alice' Oakleaf<br>Hydrangea             | 36*    |
| 6   | Diazvaja 'Kodstk'                    | 'Kodiak' Dwarf<br>Honeysuckle            | 24"    |
| 5   | Calycanthus floridus                 | Sweetshrub                               | 3'     |
| 3   | Cephelanthus occidentales            | Buttonbush                               | 3.     |
| 13  | Hydrangea pan,<br>'Little Quickfire' | 'Little Quickfre'<br>Hydrangea           | 30"-36 |
| 1   | Viburnum prunifolium                 | Blackhaw Vibumum                         | 8'     |
| Vines   |                                      |  |        |
| 12  | Campsa redicans                      | Trumpet Vine                             |        |
| erennials/ Grasses  |                                      |  |        |
| 12  | Paeona spp.                          | Peony                                    | 1 gal. |
|   | Sporobulus                           | Prairie Dropseed                         | 1 gal. |
|   | hetricolopis<br>Echinacis sop.       | Coneffower varieties                     | 1 gel. |
|   | Alchemila mobs                       | Lady's Mantie                            | 1 gal. |
|   | Selvia pretensis                     | Meadow Sage                              | 1 gal. |
|   | Geranium app.                        | Garenium variobas                        | 1 gal. |
|   | Alium spp.                           | Album vanetes                            | 1 gal. |
|   | Tiarella spp.                        | Foamflower varieties                     | 1 gad  |
| Groundcovers  |                                      |  |        |
|   | Pachysendra<br>terminales            | Pachysandra                              | fieto  |
|   | Linope spicate                       | Creeping Lilyturi                        |        |
|   | Eucnymus coloratus                   | Purpleleat<br>Wintercreaper              | flats  |
|   |                                      |  |        |
| Note: Coordinate<br>plant selections<br>along west border<br>with Lake Forest<br>Openlands<br>Association |                                      |  |        |



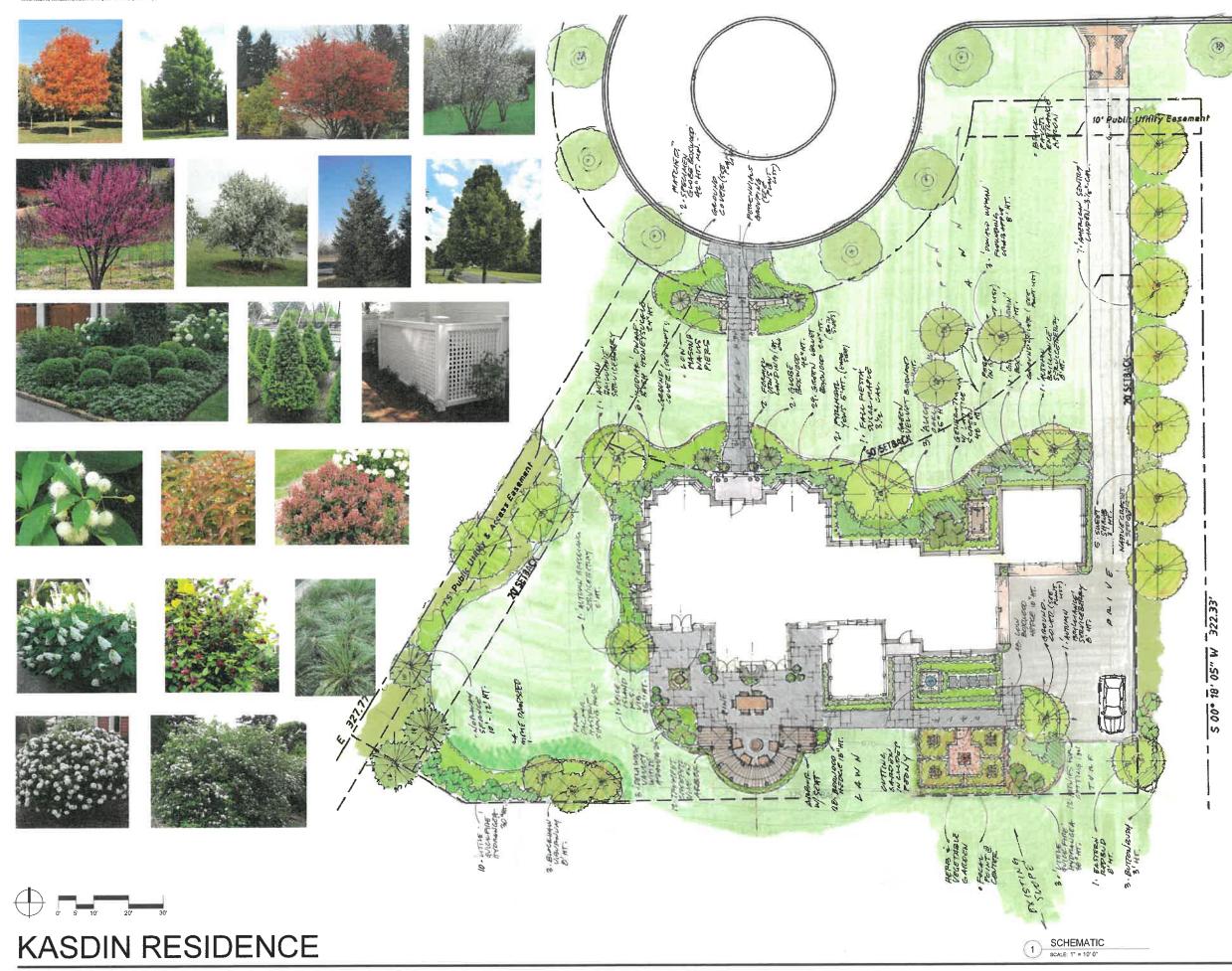












# Agenda Item 3 321 Hilldale Place Partial Demolition, Garage and Additions

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application

Statement of Intent

Description of Exterior Materials

Proposed Site Plan

Existing North Elevation

Proposed North Elevation

Existing East Elevation

Proposed East Elevation

Existing South Elevation

Proposed South Elevation

Existing West Elevation

Proposed West Elevation

Color Rendering

Proposed Roof Plan

Existing/Demolition Plan - First Floor

Proposed First Floor Plan

Existing/Demolition Plan - Second Floor

Proposed Second Floor Plan

Preliminary Site Grading and Tree Removal Plan

Conceptual Landscape Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

#### 321 Hilldale Place

Consideration of a request for approval of the partial demolition of the existing residence and construction of a three-car garage, mudroom addition, and exterior alterations to the home.

Property Owners: Adam and Carrie Seyb

Project Representative: Edward Deegan, architect

Staff Contact: Jen Baehr, Planner

#### Summary of Request

The petitioners propose to reconfigure the interior spaces on the first floor and convert the existing two car garage on the east side of the home into a kitchen. A new three-car, side load garage is proposed on the east side of the site, connected to the home by a single-story mudroom addition. The petitioners are proposing to demolish the single car garage on the east side of the home to accommodate the reconfigured floor plan and modify the driveway to provide access to the new side load garage. A small addition is proposed on the south side of the home to expand the family room. The petitioners are also proposing to replace all the existing windows and doors around the home.

#### Description of Property and Existing Residence

This property is located on the south side of Hilldale Place, between Waveland and Green Bay Roads. The surrounding area is generally comprised of single and multi-story homes of varying architectural styles. Many of the homes in the surrounding neighborhood were built in the 1950s with some older homes built in the 1920s and 1930s. The property that is the subject of this request is just under an acre in size and is slightly irregular in shape with curved north and south property lines. The original residence was built in 1937 and was designed by noted architect Jerome Cerny. The mansard roof additions on the east and west wings of the home were built in 2000 to provide additional living space on the second floor.

#### **Staff Evaluation**

An evaluation of the project based on the applicable standards and staff recommendations are offered below for the Board's considerations.

#### Proposed Demolition

The proposed demolition of comprises less than 50% of the house and therefore this petition is considered a partial demolition. The demolition plans provided by the petitioner are included in the Board's packet. The demolition criteria are reviewed below.

### Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

This criterion is met. The original residence was built in 1937 and designed by a notable architect. The part of the house proposed for demolition is relatively minimal, most of the existing home will remain intact. The single-story garage which will be demolished does not have any special historical, architectural, aesthetic or cultural significance.

Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value. This criterion is not applicable to this request. As noted above, the proposed demolition is minimal and much of the residence will be preserved.

## Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

This criterion is not applicable to this request. Much of the residence will be preserved and will continue to be used as a single family home.

### Criterion 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

This criterion is met. No evidence has been presented that the partial demolition and proposed additions will adversely impact the values of the properties in the neighborhood. Upgrading the home is expected to add value to the property.

### Criterion 5 – The demolition and replacement structure will be compatible with and not adversely impact the neighborhood character.

This criterion is met. The proposed garage and additions are designed in a manner that is compatible with the overall massing and style of the home.

Staff finds that the criteria for demolition are satisfied.

#### Site Plan - This standard is generally met.

The proposed garage and additions comply with zoning setbacks. As noted above, the garage and mudroom addition are located on the east side of the existing home and the family room addition is on the south side of the home. The mudroom addition is set back from the front of the home and the proposed garage is set forward of the existing home by approximately 7 feet. Typically, secondary masses are set back from the primary structure to maintain a hierarchy of masses. With the garage forward of the existing home, the garage doors on the west elevation will be more visible. Based on the provided plans, it appears feasible to shift the garage back behind the front of the main mass of the home.

The existing shed on the east side of the property is proposed for removal. The two curb cuts and driveway at the front of the home will remain. A new asphalt motor court is proposed between the existing home and proposed garage. A stone terrace is proposed south of the family room addition. An outdoor kitchen and firepit are proposed south of the mudroom addition.

The information submitted by the petitioner shows that the amount of the impervious surface currently on the site totals 8,959 square feet, equal to 21.8% of the lot area. The total amount of proposed impervious surface on the site, including the additions and hardscape totals 10,360 square feet, equal to 25.2% of the lot area. The footprint of the home will increase by 1,150 square feet and the amount of hardscape will increase by 452 square feet.

#### Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 5,091 square feet is permitted on the site with an allowance of 800 square feet for a garage and 509 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

• Based on the City's calculation methodology, after the demolition of the single car garage, the existing residence totals 3,706 square feet.

- The existing garage that will be converted into the kitchen will add 450 square feet to the first floor area of the home. (The space currently is counted as garage, not part of the house.)
- The mudroom addition totals 613 square feet and the family room addition totals 114 square feet.
- The proposed garage totals 617 square feet. A total of 800 square feet of garage space is permitted for this property.
- In conclusion, the existing residence and proposed additions will total 5,091 square feet, below the maximum allowable square footage by 208 square feet, equal to 4.2% of the allowable square footage.

At the maximum height, the existing residence is 35 feet and 9 inches tall. The proposed garage is 19 feet and 2 inches tall, the mudroom addition is 12 feet and 10 inches tall and the family room addition is 12 feet and 6 inches tall.

#### Elevations - This standard can be met.

The proposed garage and additions are designed to match the architectural style of the home. The proposed garage has a story and a half massing with a mansard roof form to match the east and west wings of the home. The mudroom addition is a single story mass that has shallow hip roof forms. The family room addition is a single story mass with a balcony above.

The existing home presents a mostly regular pattern of openings across the elevations. As currently proposed, the east and south elevations of the garage and mudroom addition have areas of large unbroken solid walls. Additional openings should be incorporated to break up the solid wall areas and to present a more regular rhythm of openings on the elevation.

#### Type, color, and texture of materials — This standard is met.

The proposed exterior materials are consistent with those on the existing residence. The exterior walls of the garage and additions will be brick to match the existing exterior walls. The garage will have a wood shingle roof and the mudroom addition will have a standing seam copper roof. Aluminum-clad windows with interior and exterior muntins are proposed for the garage, the additions, and for the replacement windows on the home. The trim, fascia, and soffit will be wood. The gutters and downspouts will be copper.

The new portion of the driveway will be asphalt and the proposed terrace south of the family room addition will be bluestone.

#### Landscaping – This standard can be met.

Construction of the mudroom addition will impact one healthy Heritage White Oak tree. Based on the size, species, and condition of the tree, a total of 42 replacement inches will be required to be planted on site to the extent possible using good forestry practices.

The conceptual landscape plan submitted by the petitioner reflects foundation plantings on the north and south sides of the garage and mudroom addition. New shade trees are proposed in the front and rear yards and evergreen plantings are proposed along a portion of the south property line. As currently proposed, the landscape plan does not fully satisfy the required replacement inches for removal of the healthy Heritage Oak tree. Additional plantings will need to be incorporated on site to fully satisfy the required replacement inches as part of the final landscape plan. If on site plantings cannot be achieved using good forestry practices in the determination of the City's Certified Arborist, the City may allow a payment in lieu of on site plantings.

#### Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

#### Recommendation

Recommend approval of the partial demolition of the existing residence, approval of a three-car garage, mudroom and family room additions, and exterior alterations to the home based on the findings detailed in this report. Approval is recommended subject to the following conditions:

- 1. The garage shall be shifted back behind the front of the main mass of the home.
- 2. Incorporate openings on the east and south sides of the garage and mudroom to break up the large expanses of solid wall and to present a more regular rhythm of openings.
- 3. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
- 4. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, provide for the required replacement inches on site to the extent possible using good forestry practices. If all replacement tree inches cannot be accommodated on the site in a manner consistent with good forestry practices in the determination of the City's Certified Arborist, a payment in lieu of on site planting will be required for the remaining tree inches and must be noted on the plan. The full payment in lieu of on site plantings is required prior to the issuance of a building permit.
- 5. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices and properly direct drainage. Careful attention shall be paid to avoiding off site negative impacts as a result of the increased impervious surface.
- 6. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
- 7. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

#### THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

| Address          | 321 Hilldale Place             |                             | Owner(s)             |         | Adam and Carrie         | Seyb     |                               |
|------------------|--------------------------------|-----------------------------|----------------------|---------|-------------------------|----------|-------------------------------|
| Architect        | Edward Deegan                  |                             | Reviewed by:         |         | Jen Baehr               |          |                               |
| Date             | 6/1/2022                       | *                           |                      |         |                         |          |                               |
|                  |                                |                             |                      |         |                         |          |                               |
| Lot Area         | <b>41132</b> sq. ft.           |                             |                      |         |                         |          |                               |
|                  |                                |                             |                      |         |                         |          |                               |
| Square Footage   | of Existing Residence:         |                             |                      |         |                         |          |                               |
| 1st floor        | + 2nd floor                    | + 3rd floo                  | or <u>224</u>        |         | =3706                   | sq. ft.  |                               |
| Design Elemen    | t Allowance =                  | sq. ft.                     |                      |         |                         |          |                               |
| Total Existing D | esign Elements =               | sq. ft.                     |                      | Excess  | =0                      | sq.ft.   |                               |
| Existing Garag   | e <b>653</b> sf actual ;       | sf allowance                | е                    |         | =0                      | _sq. ft. |                               |
| Garage Width     | <b>20'-9"</b> ft.              | may not exceed 24' in width | on lots              |         |                         |          |                               |
| Basement Area    | 1                              | 18,900 sf or less in size.  |                      |         | =0                      | _sq. ft. |                               |
| Accessory build  | dings                          |                             |                      |         | =0                      | _sq. ft. |                               |
| Total Square Fo  | ootage of Existing Residen     | ce To Remain:               |                      |         | = 3706                  | _sq. ft. |                               |
| Square Footage   | of Proposed Additions:         |                             |                      |         |                         |          |                               |
| 1st floor        | + 2nd floor                    | + 3rd floo                  | or0                  |         | = 1177                  | _sq. ft. |                               |
| New Garage A     | rea <u>617</u>                 | sq.ft.                      |                      | Excess  | = 0                     | _sq. ft. |                               |
| New Design Ele   | ements 0                       | sq.ft.                      |                      | Excess  | =0                      | _sq.ft   |                               |
| TOTAL SQUAR      | E FOOTAGE                      |                             |                      |         | = 4883                  | sq. ft.  |                               |
| TOTAL SQUAR      | E FOOTAGE ALLOWED              |                             |                      |         | =5091                   | sq. ft.  |                               |
| DIFFERENTIAL     |                                |                             |                      |         | = -208<br>Under Maximur | sq. ft.  | NET RESULT:                   |
|                  |                                |                             |                      |         | Officer Maximum         |          | 208 sq. ft. is                |
| Allowable Heigl  | ht: <u>40</u> ft.              | Actual Height35-            | -9" (existing house) | 19' -2" | (proposed garage)       |          | 4.20 under the<br>Max. allowe |
| DESIGN ELEME     | ENT EXEMPTIONS (Existing       | g & Proposed)               |                      |         |                         |          |                               |
| D                | esign Element Allowance:       | <b>509</b> sq. ft.          |                      |         |                         |          |                               |
|                  | Front & Side Porches =         |                             |                      |         |                         |          |                               |
| Re               | ear & Side Screen Porches =    |                             |                      |         |                         |          |                               |
|                  | Covered Entries =<br>Portico = |                             |                      |         |                         |          |                               |
|                  | Porte-Cochere =                |                             |                      |         |                         |          |                               |
|                  | Breezeway =                    |                             |                      |         |                         |          |                               |
|                  | Pergolas =                     | <b>0</b> sq. ft.            |                      |         |                         |          |                               |
|                  | Individual Dormers =           | 0 sq. ft.                   | _                    |         |                         |          |                               |

Bay Windows =

Total Actual Design Elements =

0

220

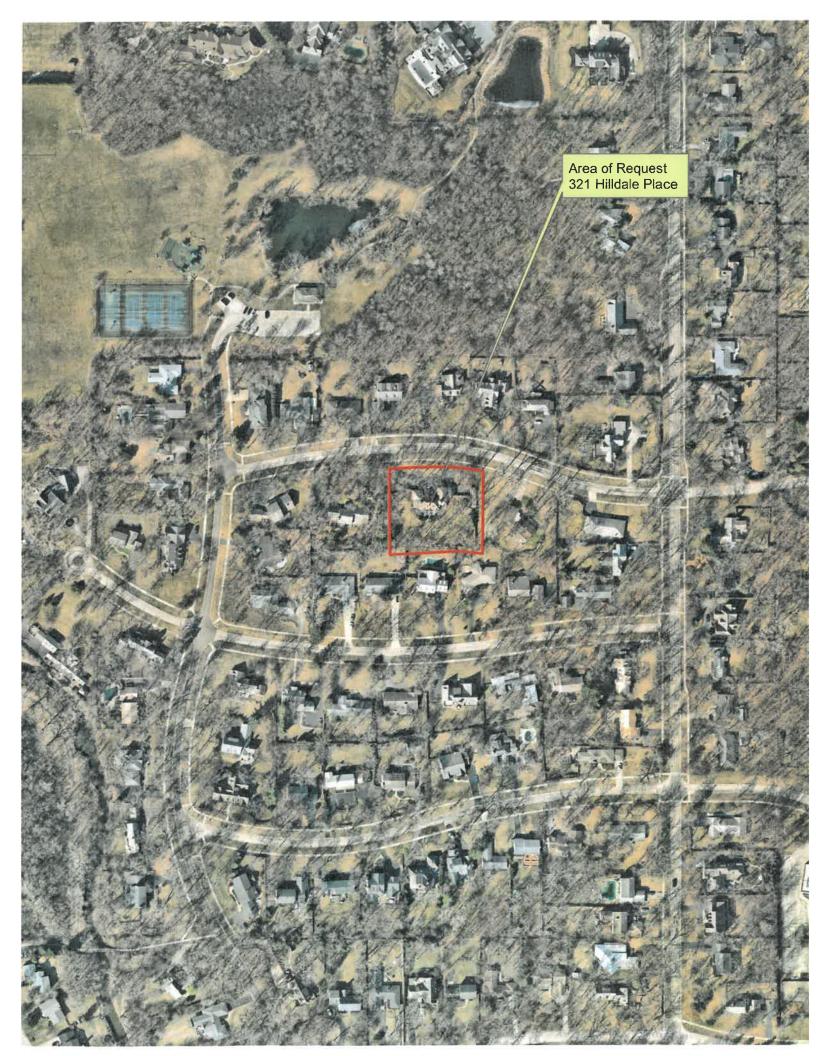
sq. ft.

sq. ft.

\_\_\_\_\_0 sq. ft.

Excess Design Elements =









#### THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

| RESIDENTIAL PROJECTS                       | COMMERCIAL PROJECTS   |
|--|---|
| New Residence                              | New Building Addition/Alteration Height Variance Other  Landscape/Parking Lighting Signage or Awnings |
| PROPERTY OWNER INFORMATION                 | Architect/Builder Information   |
| Adam and Carrie Seyb                       | Edward Deegan Name and Title of Person Presenting Project   |
| 321 Hilldale Place                         | Edward Deegan Architects  |
| Loke Forest !L 60045                       | 503 Park Drive, Suite 4   |
|  | Kenilworth, 1L 60043 Cits, State and Zip Cude   |
| Plune Number Fax Number                    | City, State and Zip Code  |
| adamseyb@gmail.com                         | 847-906-4110 Plume Naunber Fax Number   |
| La C                                       | ejd @ edwarddeegan architec   |
| Owner & Signature                          | Representative's Signature (Architerle Builder)   |
|  |   |
| The staff report is available the Frid     | ny before the meeting, after 3:00pm.  |
| Please email a copy of the staff report    | OWNER REPRESENTATIVE  |
| Please fax a copy of the staff report      | OWNER    REPRESENTATIVE   |
| will pick up a copy of the staff report at | OWNER D REPRESENTATIVE  |



503 Park Drive Suite No. 4 Kenilworth, IL 60043

T 847 906 4110 E info@edwarddeeganarchitects.com

May 16, 2022

Chairman and Members of the Building Review Board The City of Lake Forest 220 East Deerpath Lake Forest, IL. 60045

Dear Chairman and the Members of the Building Review Board,

### Statement of Historic Context for 321 Hilldale Place:

The goal of this Renovation is to bring an existing Jerome Cerny Home to 21<sup>st</sup> century standards in terms of both programming and function for the homeowner. To that end, the Scope of Work will include:

- FIRST FLOOR: New (3) Car Garage, new Mudroom Connector, New Kitchen / Family Room and updates in the Powder Room and throughout the First Floor
- SECOND FLOOR: Re-working the Primary Bedroom / Bath / Closet, a new office for space to work from home, and a new Storage / Exercise space above the Garage
- GENERAL: New "Marvin" casement windows throughout the whole house, new "Marvin" doors throughout, and exterior tuck-pointing where required

The home was designed by Jerome R. Cerny in 1937 for the Cummings family. Cerny's architectural firm began designing homes in Lake Forest in 1929. Jerome Cerny was born in Chicago in 1901 and studied at the School of the Art Institute, the Armour Institute and Yale University. Cerny worked early in his career for architects Benjamin Marshall and David Adler. His architectural style, grounded in tradition, was greatly impacted by his time working for Marshall and Adler as well as his own personal travels. After travelling in Normandy, France, many of his homes reflected the style of these French country houses.

The home's central form has a steeply pitched roof and reflects the European influences typically found in Cerny's work. Living space was added to the home in the early 2000's above the 2 structures that flank the central form. The mansard type roof of this addition is French inspired and complements the overall home's composition. The proposed addition of a new 3 Car Garage and Mudroom connector take cues from the existing structure with a mansard roof over the Garage along with other French details.

Very truly yours,

Edward J Deegan AIA NOARB

ED A

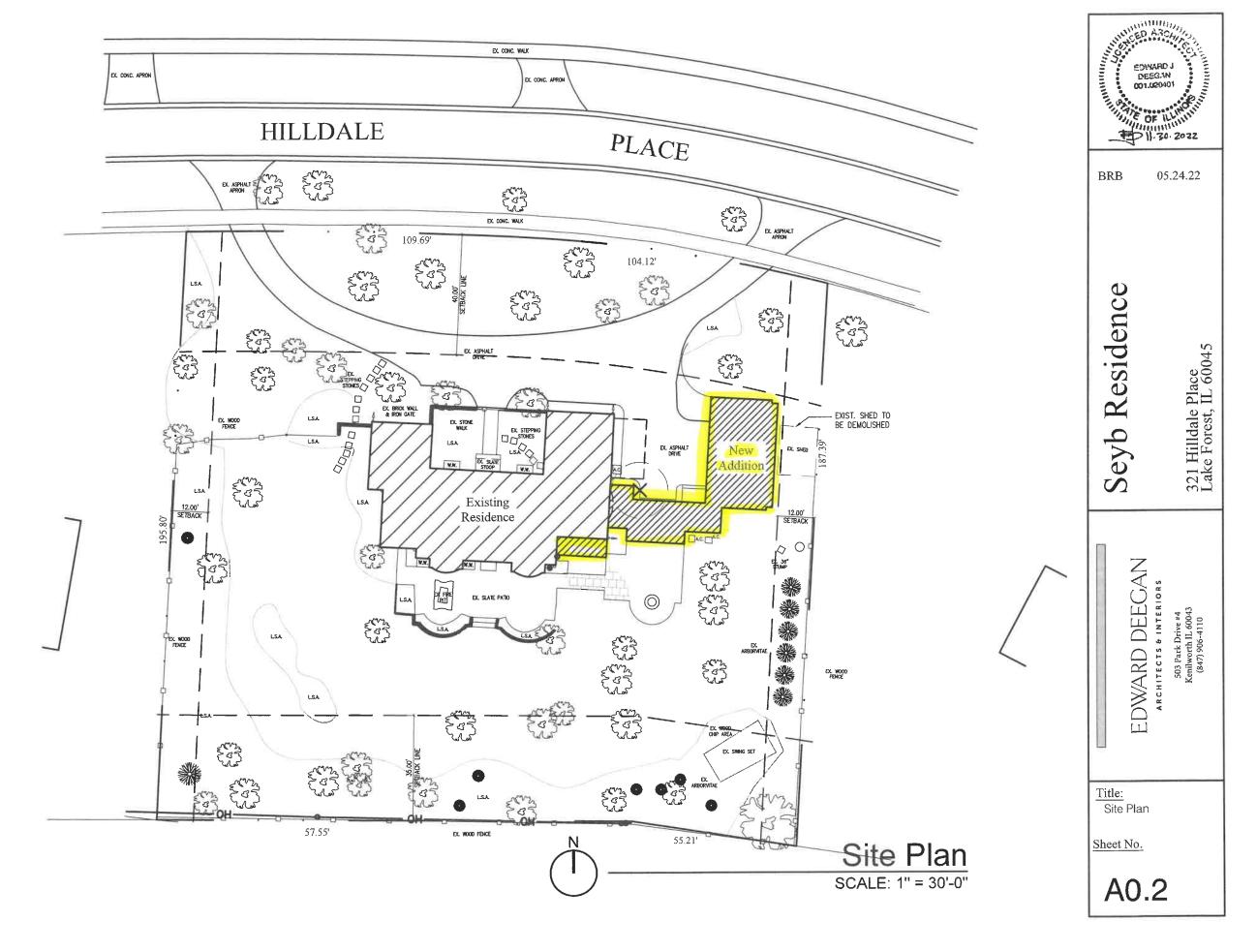


# THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION DESCRIPTION OF EXTERIOR MATERIALS

| Façade Material |   |       |  |
|-----------------|---|-------|--|
|                 | Stone<br>Brick<br>Wood Clapboard Siding<br>Stucco   |       | Wood Shingle Aluminum Siding Vinyl Siding Synthetic Stucco Other |
| Color           | r of Material   |       |  |
| Window Tre      | eatment   |       |  |
| Prim            | ary Window Type   | Finis | h and Color of Windows   |
|                 | Double Hung Casement Sliding Other  | Color | Wood Aluminum Clad Vinyl Clad Other of Finish                    |
| Wind            | low Muntins   |       |  |
|                 | Not Provided<br>True Divided Lites  |       |  |
| Simu            | lated Divided Lites   |       |  |
| <b>X</b> 0000   | Interior and Exterior muntin bars Interior muntin bars only Exterior muntin bars only Muntin bars contained between the glass |       |  |
| Trim Materi     | ial   |       |  |
| Door 7          | Frim  | Wind  | low Trim   |
|                 | Limestone Brick Wood Synthetic MaterialOther  |       | Limestone Brick Wood Synthetic Material Other                    |
| Fascia          | as, Soffits, Rakeboards   |       |  |
| M               | Wood<br>Other   |       |  |
|                 | Synthetic Material  |       |  |

# THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

| Chimney M   | aterial              |      |                |
|-------------|----------------------|------|----------------|
| X           | Brick                |      |                |
|             | Stone                |      |                |
|             | Stucco               |      |                |
|             | Other                |      |                |
| D C         |                      |      |                |
| Roofing     |                      |      |                |
|             | ary Roof Material    | Flas | shing Material |
|             | Wood Shingles        |      | Copper         |
|             | Wood Shakes          |      | Sheet Metal    |
|             | Slate                | Ш    | Other          |
| 닏           | Clay Tile            |      |                |
| 님           | Composition Shingles |      |                |
|             | Sheet Metal          |      |                |
| Ы           | Other                |      |                |
| Color       | of Material          |      |                |
| 00.01       | of Westernal         |      |                |
| Gutters and | Downspouts           |      |                |
| M           | Copper               |      |                |
|             | Aluminum             |      |                |
|             | Other                |      |                |
|             |                      |      |                |
| Driveway M  | laterial             |      |                |
| X           | Asphalt              |      |                |
|             | Poured Concrete      |      |                |
|             | Brick Pavers         |      |                |
|             | Concrete Pavers      |      |                |
|             | Crushed Stone        |      |                |
| ئـا         | Other                |      |                |
| Terraces ar | nd Patios            |      |                |
| . \         | - Bluestone          |      |                |
| <b>X</b>    | Brick Pavers         |      |                |
|             | Concrete Pavers      |      |                |
|             | Poured Concrete      |      |                |
|             | Other                |      |                |





EXIST. North Elevation

SCALE: 3/32" = 1'-0"

ED ASOMARD J
DEEGIN
OO1.020401

OF ILL
III

BRB 05.24.22

Seyb Residence

321 Hilldale Place Lake Forest, IL 60045

EDW/ARD DEEGAN
ARCHITECTS & INTERIORS
503 Park Drive #4
Kerilworth IL 60043
(847) 906-4110

<u>Title:</u> Existing North Elevation

Sheet No.



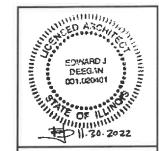
321 Hilldale Place Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS & INTERIORS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

Proposed North Elevation



# EXIST. East Elevation SCALE: 3/32" = 1'-0"



05.24.22 BRB

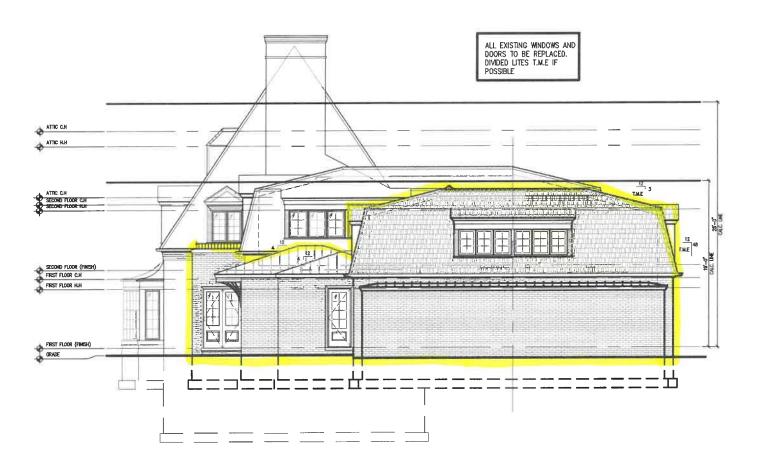
Seyb Residence

EDWARD DEEGAN
ARCHITECTS & INTERIORS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

321 Hilldale Place Lake Forest, IL 60045

Title:
Existing
East Elevation

Sheet No.



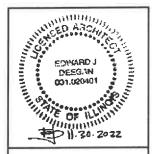


PROP. East Elevation

SCALE: 3/32" = 1'-0"

PROP. Partial East Elevation

SCALE: 3/32" = 1'-0"



05.24.22 BRB

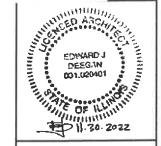
Seyb Residence

EDW/ARD DEEGAN
ARCHITECTS B INTERIORS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

321 Hilldale Place Lake Forest, IL 60045

Proposed East Elevation

Sheet No.



BRB 05.24.22

Seyb Residence

321 Hilldale Place Lake Forest, IL 60045 EDWARD DEEGAN
ARCHITECTS & INTERIORS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

<u>Title:</u> Existing South Elevation

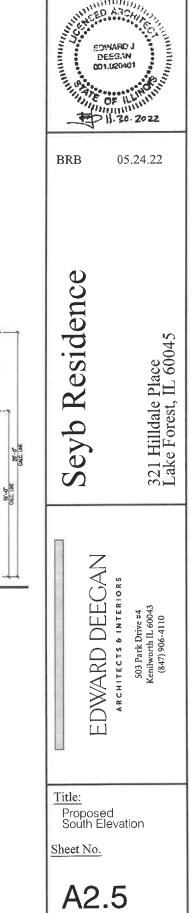
Sheet No.

A2.4



**EXIST. South Elevation** 

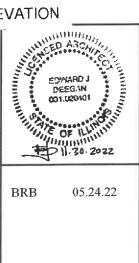
SCALE: 3/32" = 1'-0"





PROP. South Elevation

SCALE: 3/32" = 1'-0"



# Seyb Residence

321 Hilldale Place Lake Forest, IL 60045



Title:
Existing
West Elevation

Sheet No.

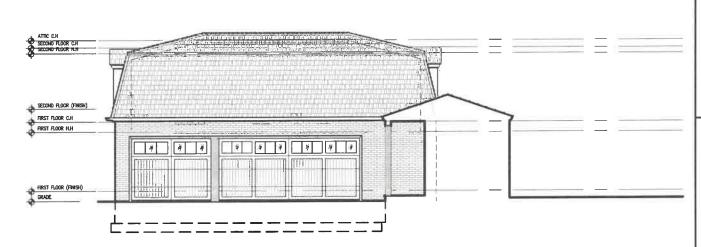
A2.6



EXIST. West Elevation

SCALE: 3/32" = 1'-0"





PROP. West Elevation

SCALE: 3/32" = 1'-0"

PROP. Partial West Elevation

SCALE: 3/32" = 1'-0"

EDWARD J
DESGAN
001.020401

OF ILL
MINIMAL

III. 20. Z0 Z2

BRB 05.24.22

Seyb Residence

321 Hilldale Place Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS & INTERIORS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

Title:
Proposed
West Elevation

Sheet No.



05.24.22 BRB

Seyb Residence

321 Hilldale Place Lake Forest, IL 60045

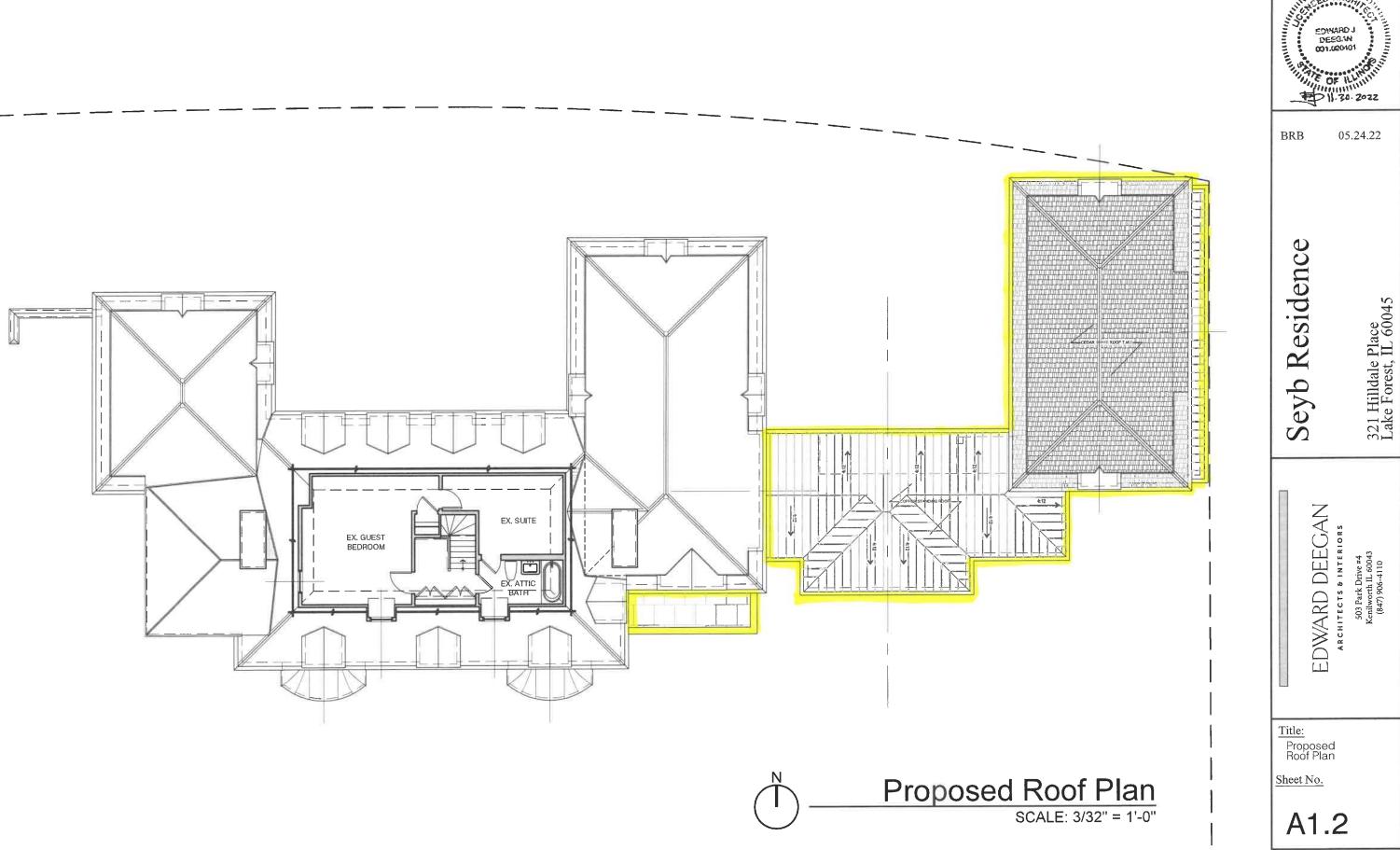
EDWARD DEEGAN
ARCHITECTS & INTERIORS
503 Park Drive #4
Kenilworth IL, 60043
(847) 906-4110

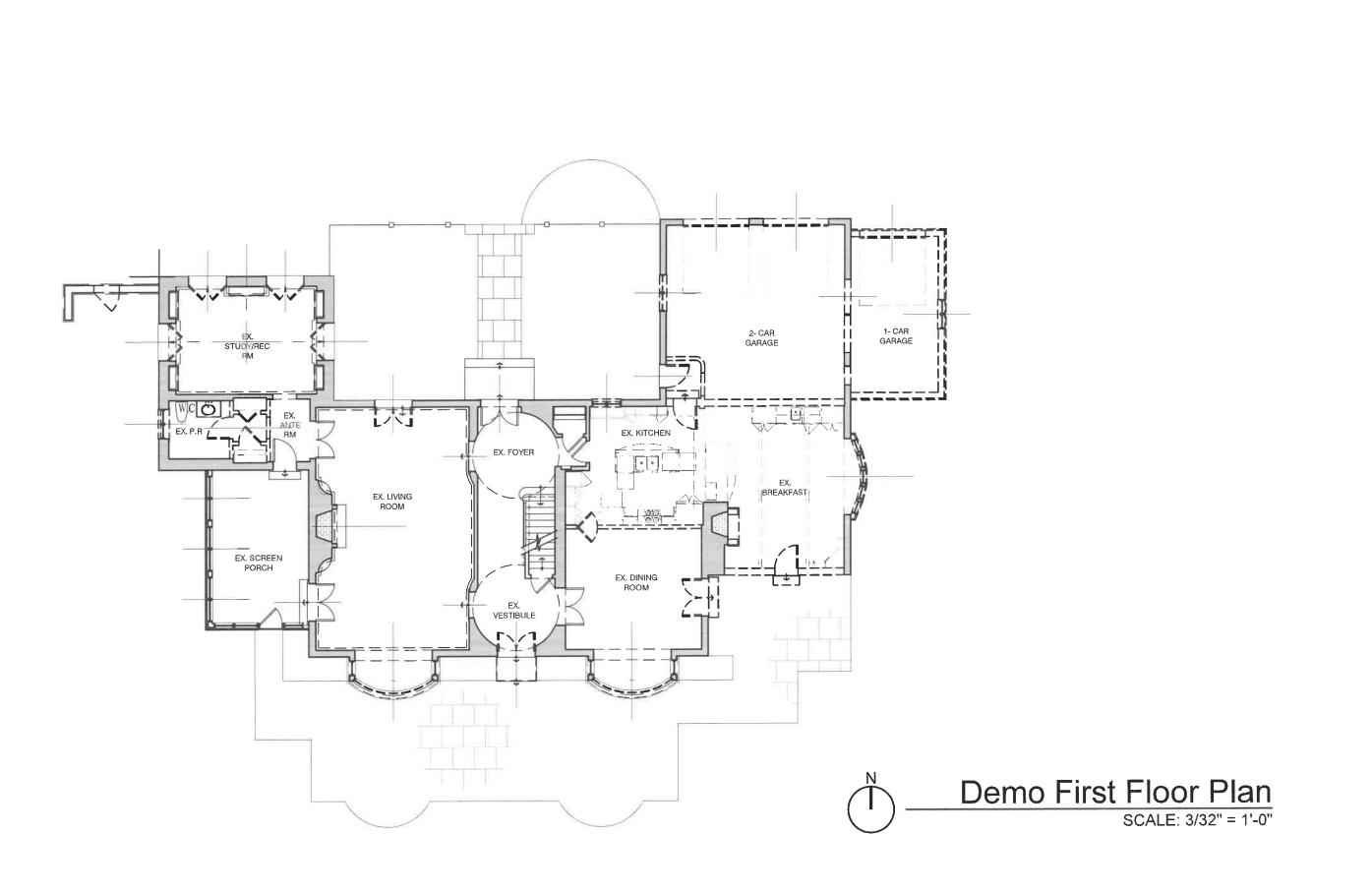
Title:

Sheet No.

A3.0

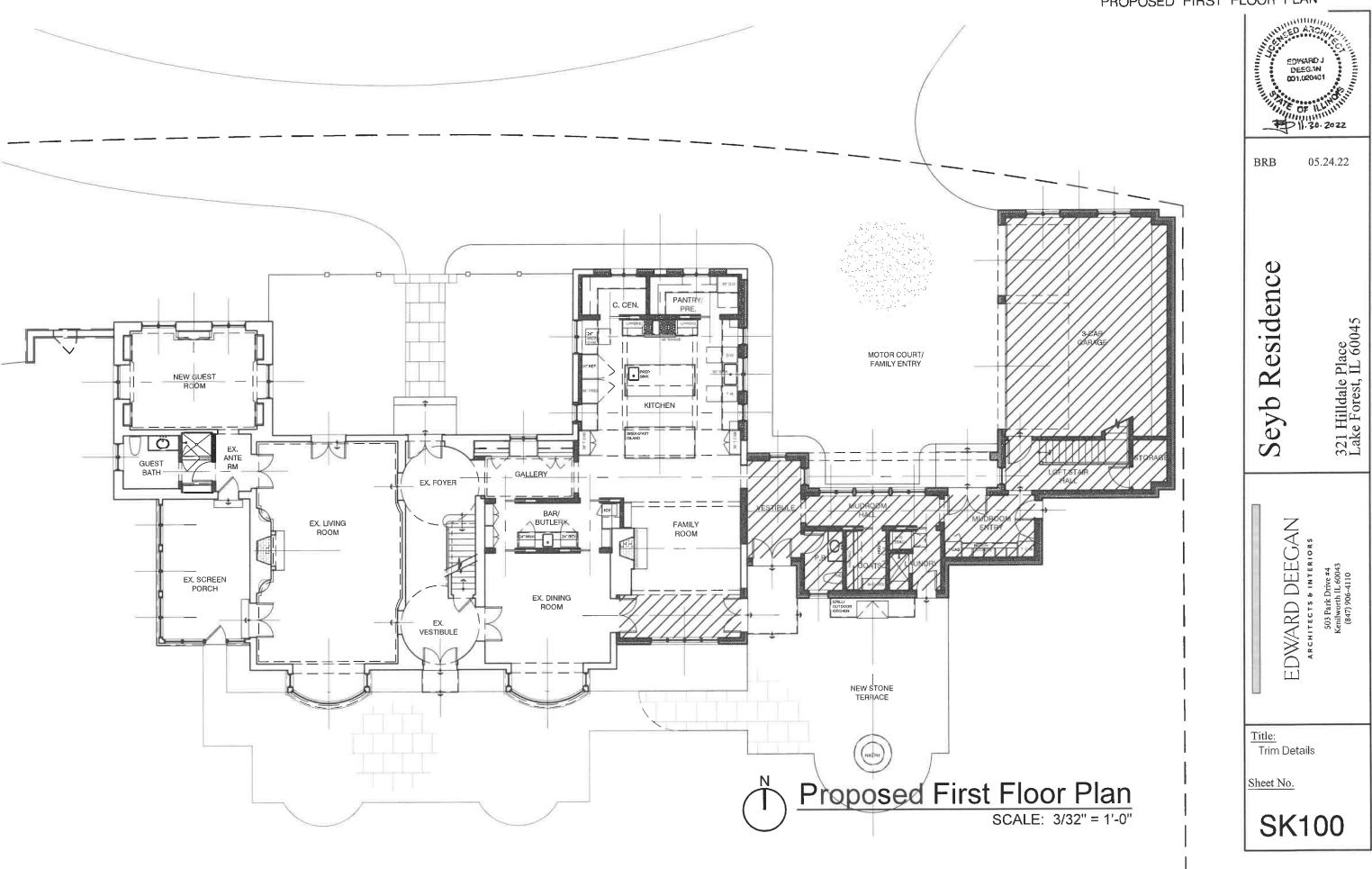
3D SCALE: NONE

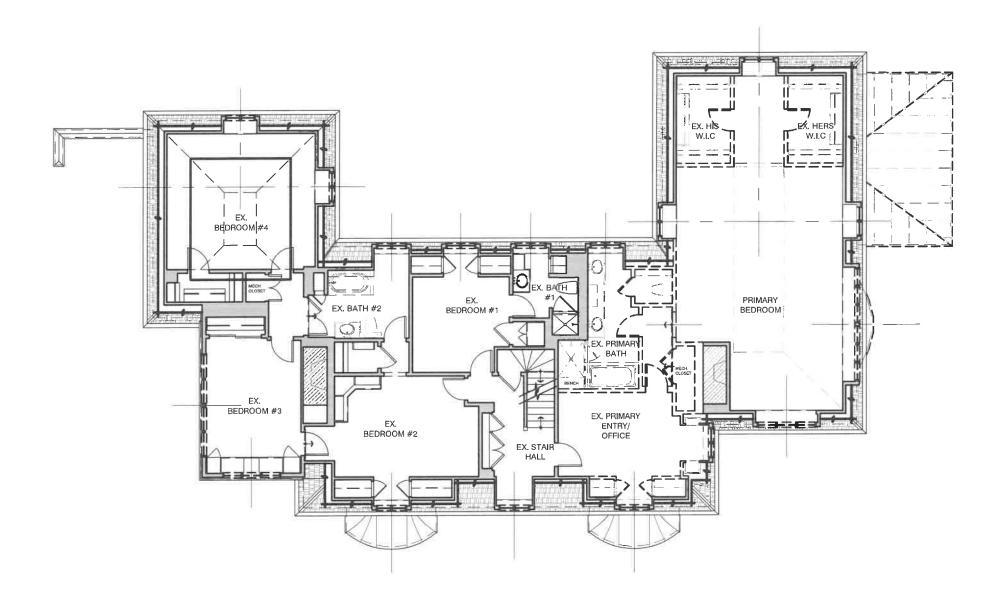




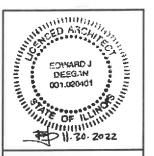


D1.0









BRB 05.24.22

Seyb Residence

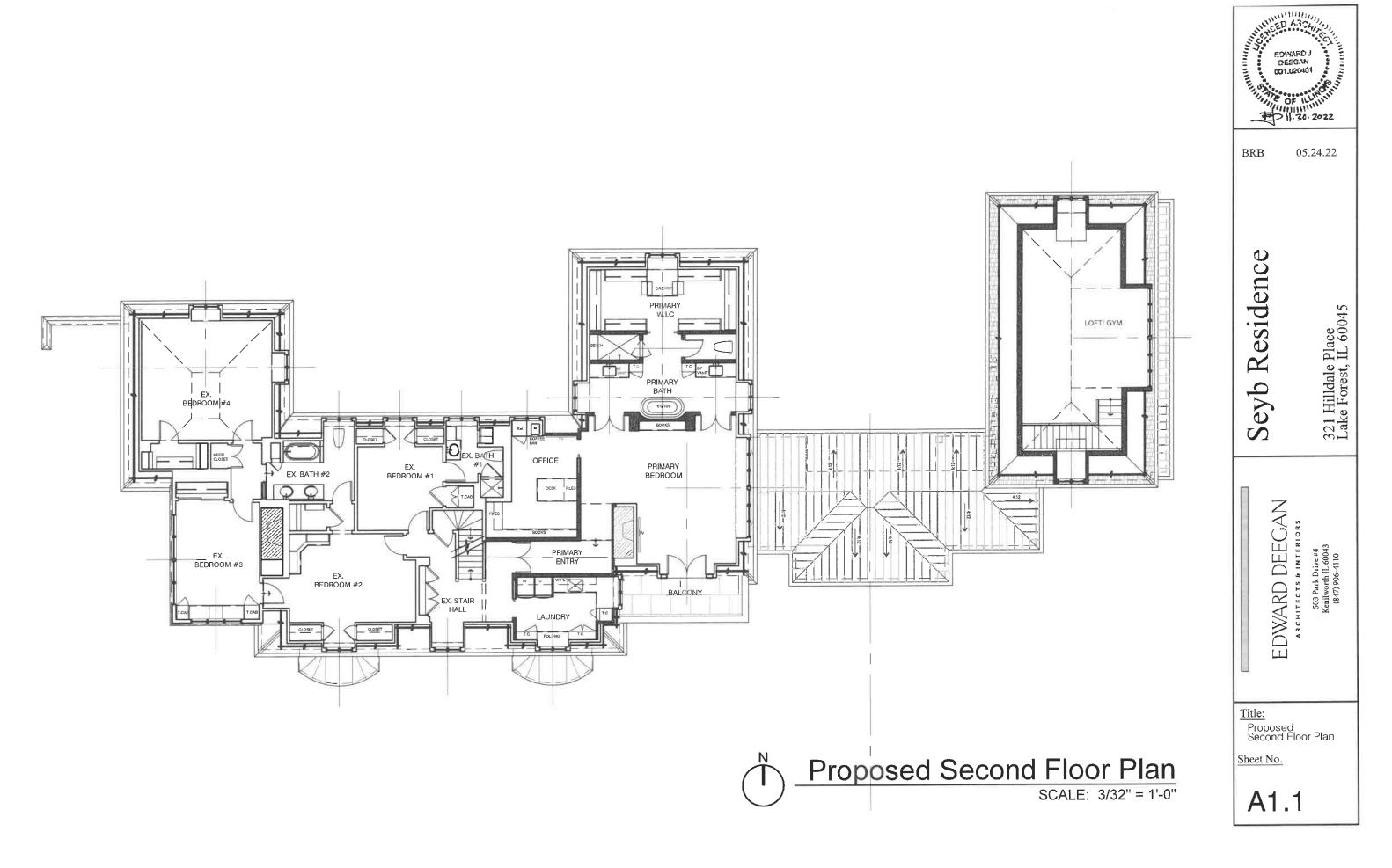
EDWARD DEEGAN
ARCHITECTS & INTERIORS
503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

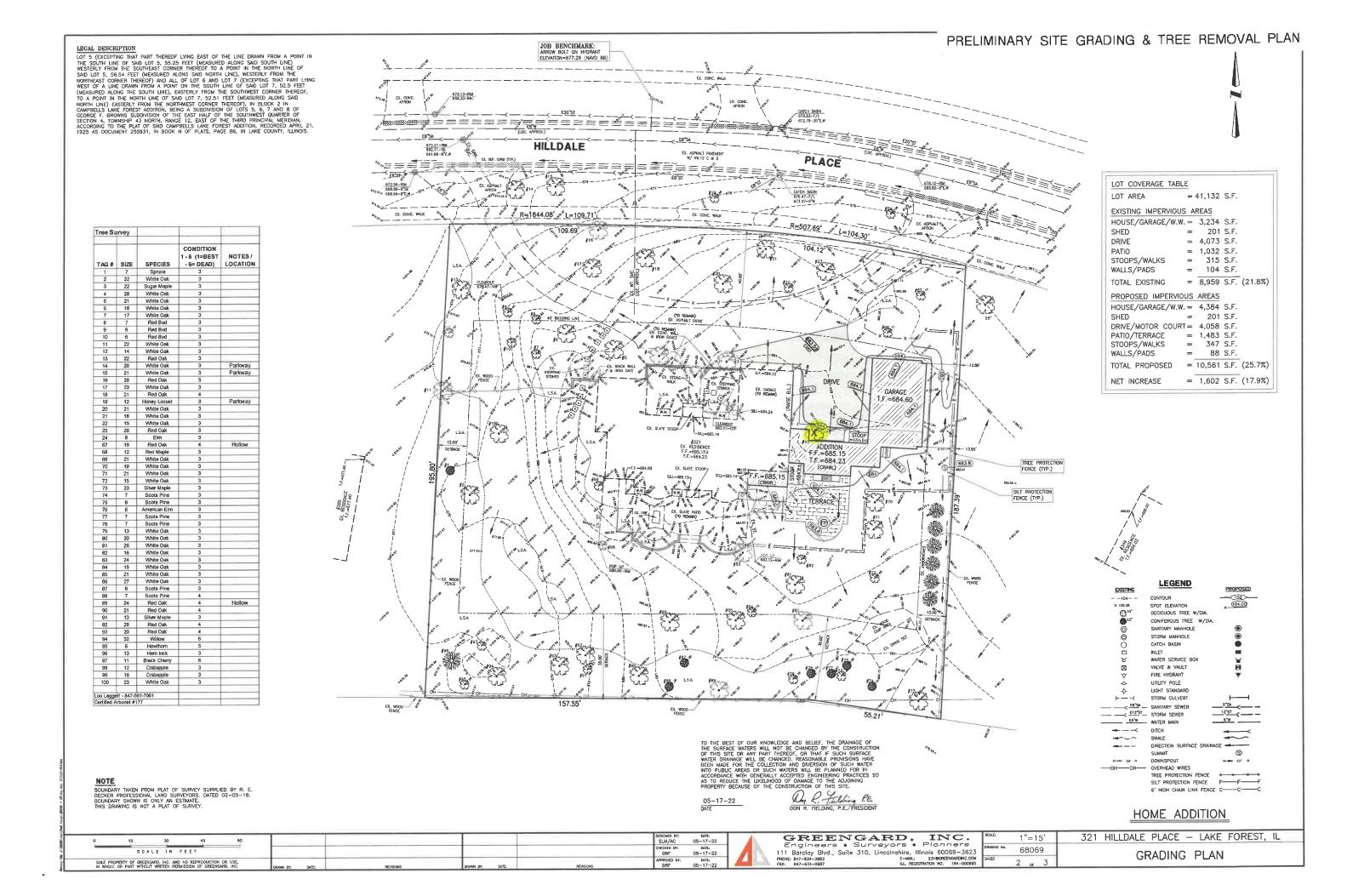
321 Hilldale Place Lake Forest, IL 60045

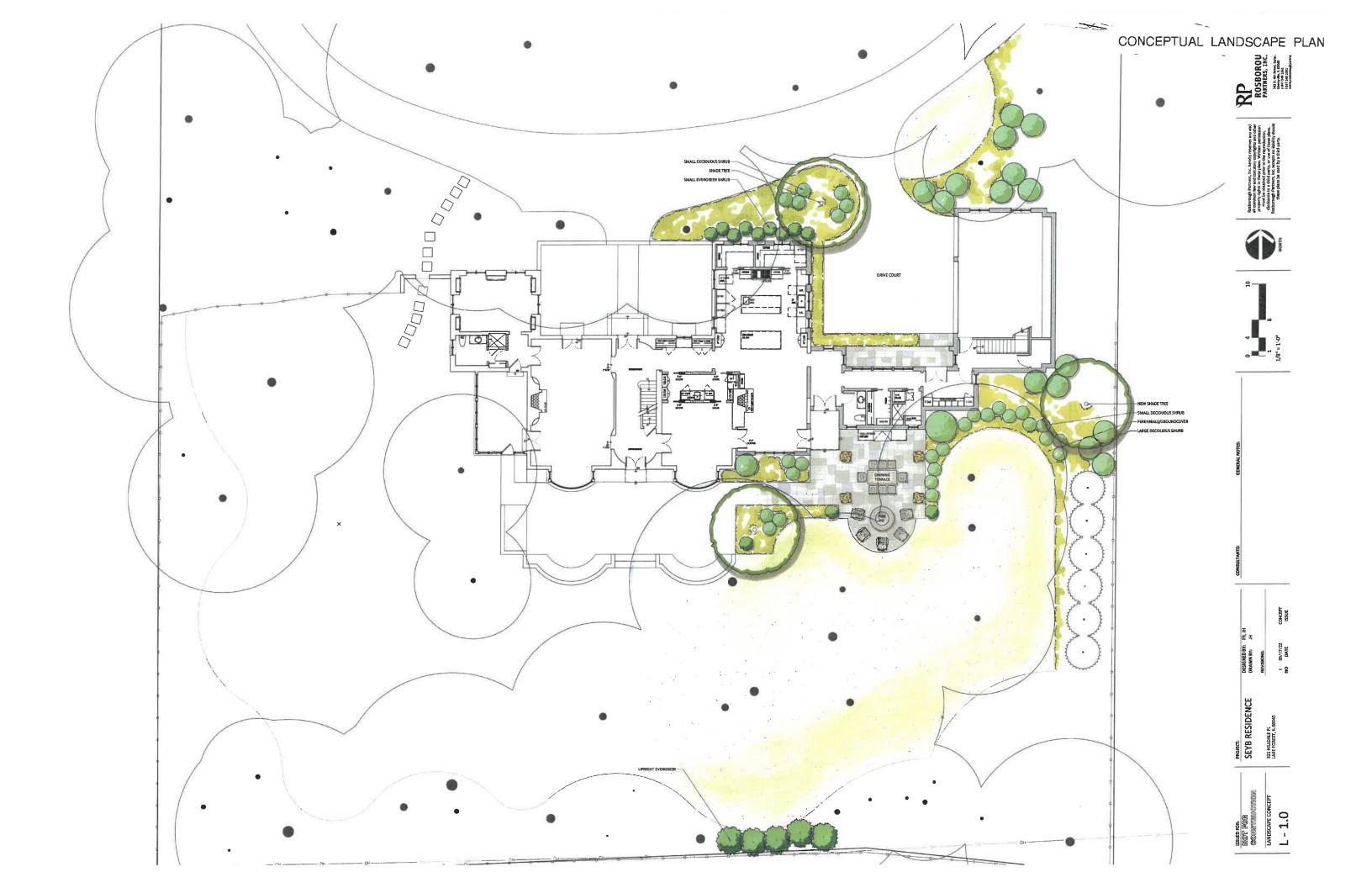
Title:
Demo - Second Floor

Sheet No.

D1.1







#### 321 Hilldale Place, Lake Forest, Illinois



Approaching the North Facing Front Elevation



North Facing Front Elevation, Central Form only



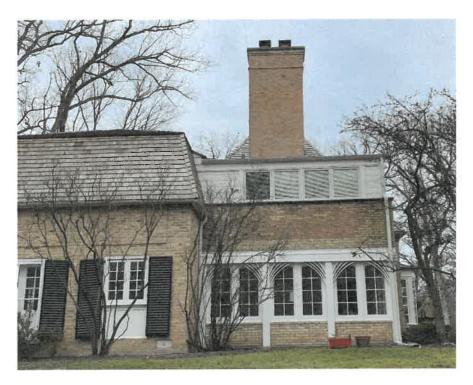
Western View from North Facing Elevation



South Facing Rear View, Eastern Corner



South Facing Rear Elevation, Central Form



West Facing Side Elevation

#### Agenda Item 4 1000 Walden Road Detached Garage & Open Porch

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application

Statement of Intent

Description of Exterior Materials

Proposed Site Plan

Proposed East Elevation

Proposed North and South Elevations

Proposed West Elevation

Perspective Rendering

Roof Plan

Building Section

First Floor Plan

Second Floor Plan

Preliminary Site Grading & Tree Removal Plan

Tree Inventory

Conceptual Landscape Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

#### 1000 Walden Road

Consideration of a request for approval of a detached three-car garage, open porch, new motor courts, a conceptual landscape plan, and overall site plan.

Property Owners: Joseph Leicht

Project Representative: Edward Deegan, architect

Staff Contact: Jen Baehr, Planner

#### **Summary of Request**

The petitioner is proposing a three-car detached garage on the west side of the existing home. An open porch is proposed attached to the north end of the new garage. The garage doors face west, toward Ringwood Road. There is a porte cochere at the center of the garage. New asphalt motor courts are proposed at the front of the home and on the west side of the garage.

Last September, the petitioner obtained a building permit to convert the existing attached two-car garage on the east side of the home to a family room. At that time, the petitioner indicated to staff that there were no immediate plans to construct a new garage. Conversion of the garage to a family room is currently underway. With the garage now converted to living space, there is no garage on the property.

#### Description of Property and Existing Residence

This property is a through lot, with frontage on two streets, Ringwood Road to the west and Walden Road to the east. The property that is 1.7 acres and includes a portion of the adjacent ravine to the south. The original residence was built in 1948 and designed by noted architect Stanley Anderson.

#### **Staff Evaluation**

An evaluation of the project based on the applicable standards and staff recommendations are offered below for the Board's considerations.

Site Plan - This standard is met.

The proposed garage and porch comply with zoning setbacks. As noted above, the garage and porch addition are located on the west side of the existing home. As noted above, a porte cochere is located at the center of the garage with two garage bays to the south side, and one garage bay to the north side.

The property is accessed from Walden Road. The driveway on the east side of the site will be slightly reconfigured as shown on the proposed site plan. The existing motor court at the front of the home will be replaced with a larger motor court. A motor court is also proposed on the west side of the proposed garage to provide access into the three garage bays. The existing curb cut on Walden Road will remain. No curb cut is proposed on Ringwood. The wooded character of Ringwood Road will be preserved.

Two piers and walls are proposed on the north and south sides of the driveway near the motor court. Details on the piers and walls have not been submitted. More information on the proposed piers and walls should be provided during the meeting.

The information submitted by the petitioner shows that the amount of the impervious surface currently on the site totals 10,267 square feet, equal to 13.8% of the lot area. The total amount of proposed impervious surface on the site will increase to 16,237 square feet, equal to 21.9% of the lot area. Due to the proximity

to the ravine, careful management of stormwater runoff from the increased impervious surface will be critical. The City Engineer will review drainage and grading plans prior to the issuance of a building permit.

#### Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 7,356 square feet is permitted on the site with an allowance of 800 square feet for a garage and 736 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The existing house totals 3,358 square feet.
- The proposed garage totals 1,724 square feet. The excess garage square footage of 924 square feet must be added to the overall square footage of the home.
- The open porch addition will add 737 square feet of design elements.
- In conclusion, the existing residence and proposed garage and porch addition will total 4,283 square feet, below the maximum allowable square footage by 3,073 square feet, equal to 42% of the allowable square footage.

At the maximum height, the existing residence is 26 feet and 5 inches tall. The proposed garage is 19 feet tall, and the proposed porch is 9 feet and 6 inches tall.

#### Elevations - This standard is generally met.

The proposed garage and porch are designed to match the architectural style of the home. The proposed garage has a story and a half massing with a primary gable roof form at the center and low sloped hip roofs on the north and south sides. Single gable dormers are proposed on the east elevation and a long shed dormer is proposed on the west elevation of the garage. The shed dormer does not appear consistent with the style of the existing home and garage and other dormer types should be given consideration.

The porch on the north side of the garage has a flat roof that is supported by round columns on the north and east sides and a brick wall on the west side. A fireplace and chimney are proposed at the center of the porch.

#### Type, color, and texture of materials – This standard is met.

The proposed exterior materials are mostly consistent with those on the existing residence. The exterior walls of the garage will be brick. The horizontal siding on the pediment above the porte cochere and on the dormers will be wood. The primary gable roof on the garage will have an asphalt shingle roof and the low-slope hip roofs on the north and south sides of the garage will be modified bitumen. The porch will also have a modified bitumen roof. The porch columns will be wood. Aluminum clad wood windows with interior and exterior muntins are proposed. The porch chimney will be brick. The trim, fascia, and soffit will be wood. The gutters and downspouts will be aluminum. The motor courts will be asphalt with a brick border.

#### Landscaping – This standard can be met.

Construction of the garage and porch will impact a total of seven trees. Four additional trees south of the garage motor court are proposed for removal. Out of the total number of trees proposed for removal, six trees are in poor condition and will not require replacement inches. Based on the size, species, and condition of the healthy trees proposed for removal, a total of 102 replacement inches will be required to be planted on site to the extent possible using good forestry practices.

The conceptual landscape plan submitted by the petitioner reflects plantings on the east side of the site near the driveway, the north side of the existing home, along the west side of the garage motor court and north of the existing pool. The new plantings include Hemlock, London Plane, Redbud, Dogwood, and Serviceberry trees as well as deciduous and evergreen shrubs. Based on the conceptual landscape plan, the total number of replacement inches is not fully satisfied. As the landscape plan is more fully developed the plan shall provide for the required replacement inches on site to the extent possible. As currently proposed, the landscape plan does not fully satisfy the required replacement inches. Additional plantings will need to be incorporated on site to fully satisfy the required replacement inches as part of the final landscape plan. If on site plantings cannot be achieved using good forestry practices in the determination of the City's Certified Arborist, the City may allow a payment in lieu of on site plantings.

#### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

#### Recommendation

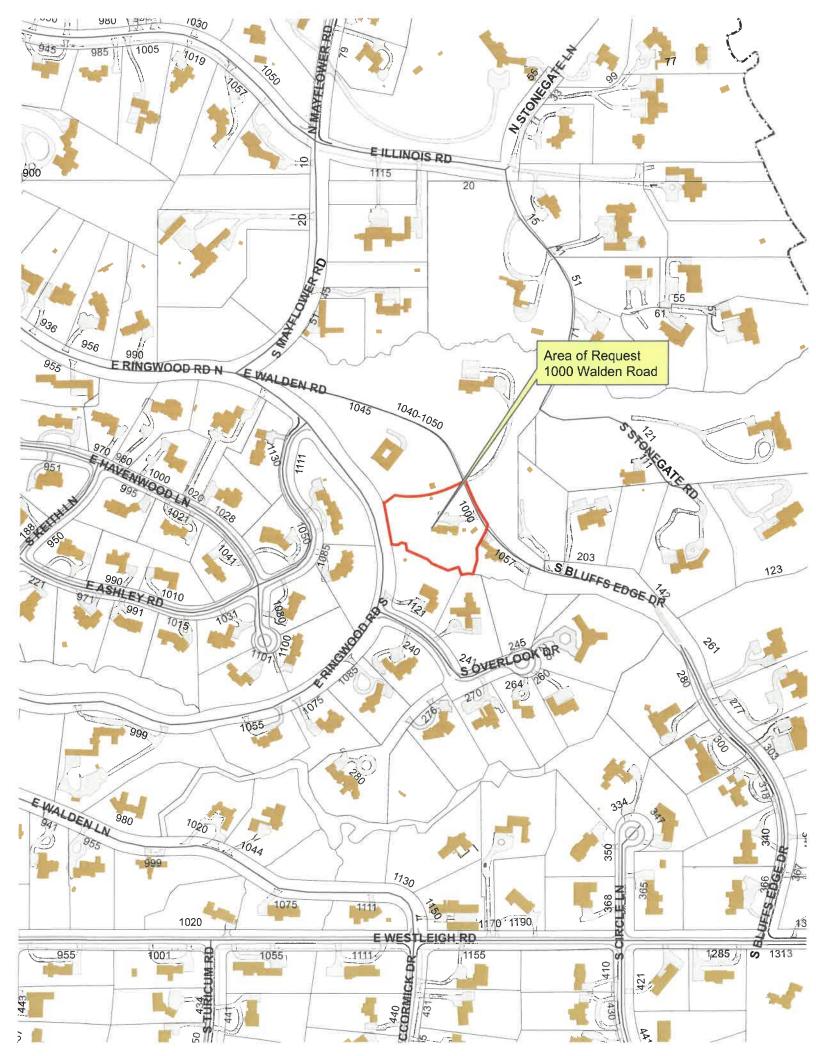
Recommend approval of the partial demolition of the existing residence, approval of a three-car garage, mudroom and family room additions, and exterior alterations to the home based on the findings detailed in this report. Approval is recommended subject to the following conditions:

- 1. Consideration shall be given to replacing the shed dormer on the west elevation of the garage with dormers more in keeping with the architectural style.
- 2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
- 3. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, provide for the required replacement inches on site to the extent possible using good forestry practices. If all replacement tree inches cannot be accommodated on the site in a manner consistent with good forestry practices in the determination of the City's Certified Arborist, a payment in lieu of on site planting will be required for the remaining tree inches and must be noted on the plan. The full payment in lieu of on site plantings is required prior to the issuance of a building permit.
- 4. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices and properly direct drainage. Careful attention shall be paid to avoiding off site negative impacts as a result of the increased impervious surface.

- 5. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
- 6. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. Contractor parking is not permitted on Walden Road or on Ringwood Road to the narrow pavement. Contractors may need to park off site and shuttle to the work site.

#### THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

| Address                         | 1000 Walden Road   |   | Owner(s)  | )             | Joseph Leicht            |                    | _                            |
|---------------------------------|--|---|---|---------------|--------------------------|--------------------|------------------------------|
| Architect                       | Edward Deegan  |   | Reviewed  | d by:         | Jen Baehr                |                    | _                            |
| Date                            | 6/1/2022   |   |   |               |                          |                    |                              |
| Lot Area7                       | <b>74171</b> sq. ft.   | Table Land  | 64718   | _sq. ft.      | Non-Table Land           | 9453               | sq. ft.                      |
| Square Footage of               | of Existing Residence:   |   |   |               |                          |                    |                              |
| 1st floor                       | + 2nd floor  | <b>1195</b> + 3                                   | rd floor0   |               | =3358                    | _sq. ft.           |                              |
| Design Element                  | Allowance =  | <b>736</b> sq. ft.                                |   |               |                          |                    |                              |
| Total Existing De               | sign Elements =  | sq. ft.   |   | Excess        | . =0                     | _sq.ft.            |                              |
| Existing Garage                 | sf actual ;  | sf allow  | vance   |               | =0                       | _sq. ft.           |                              |
| Garage Width                    | <b>N/A</b> ft.   | may not exceed 24' in<br>18,900 sf or less in siz |   |               | = 0                      | aa #               |                              |
| Basement Area Accessory buildir | ngs  |   |   |               | = 0                      | sq. ft.<br>sq. ft. |                              |
| Total Square Foo                | stage of Existing Residen  | ce To Remain:                                     |   |               | = 3358                   | _sq. ft.           |                              |
| Square Footage                  | of Proposed Additions:   |   |   |               |                          |                    |                              |
| 1st floor                       | + 2nd floor  | + 3r  | d floor0  |               | =0                       | _sq. ft.           |                              |
| New Garage Are                  | a <u>1724</u>  | sq.ft.  |   | Excess        | 924                      | sq. ft.            |                              |
| New Design Elen                 | ments737   | sq.ft.  |   | Excess        | = 1                      | sq.ft              |                              |
| TOTAL SQUARE                    | FOOTAGE  |   |   |               | = 4283                   | sq. ft.            |                              |
| TOTAL SQUARE                    | FOOTAGE ALLOWED  |   |   |               | = 7356                   | sq. ft.            |                              |
| DIFFERENTIAL                    |  |   |   |               | = -3073<br>Under Maximur | n                  | IET RESULT:                  |
| Allowable Height                | : <b>40</b> ft.  | Actual Height                                     | 26'-5" (existing  | house) 19' -0 | " (proposed garage)      |                    | 76 under the<br>Max. allowed |
| DESIGN ELEMEN                   | IT EXEMPTIONS (Existin   | g & Proposed)                                     |   |               |                          |                    |                              |
|                                 | sign Element Allowance: Front & Side Porches = r & Side Screen Porches = Covered Entries = Portico = Porte-Cochere = Breezeway = Pergolas = Individual Dormers = | 737<br>0<br>0<br>0<br>0<br>0<br>0                 | sq. ft. |               |                          |                    |                              |
| Total A                         | Bay Windows =  | 0   | sq. ft.   | Excess Design | ın Elements =            | 1                  | sq. ft.                      |









## THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

| PROJECT ADDRESS TOO WALDEN   |   |  |  |  |  |
|--|---|--|--|--|--|
| APPLICATION TYPE   |   |  |  |  |  |
| RESIDENTIAL PROJECTS   | COMMERCIAL PROJECTS   |  |  |  |  |
| New Residence Demolition Complet New Accessory Building Demolition Partial Addition/Alteration Height Variance Building Scale Variance Other | New Building  |  |  |  |  |
| PROPERTY OWNER INFORMATION   | ARCHITECT/BUILDER INFORMATION   |  |  |  |  |
| Owner of Property  | EDWARD DEEGAN   |  |  |  |  |
| "  | Name and Title of Person Presenting Project   |  |  |  |  |
| 1000 Walden Ral Owner's Street Address (may be different from project address)   | EDWARD DEEGAN ARCHITECTS  |  |  |  |  |
| Owner's Street Address (may be different from project address)   | Name of Firm  |  |  |  |  |
| Lake Forest IL 60045<br>City, State and Zip Code   | 503 PARK DR   |  |  |  |  |
| City, State and Zip Code   | Street Address  |  |  |  |  |
| 7)12-752-0294  Phone Number Fax Number   | KENILWORT'H IL  |  |  |  |  |
| Phone Number Fax Number  | City, State and Zip Code  |  |  |  |  |
| Email didres. Joey leicht. con  Owner's Signature  | Phone Number  ejd@edwarddeeganarchitects.com  Email slddress  At the Representative's Signature (Architect/Builder) |  |  |  |  |
| The staff report is available the Friday before the meeting, after 3:00pm.  Please email a copy of the staff report                          |   |  |  |  |  |
| Please fax a copy of the staff report  | OWNER    REPRESENTATIVE   |  |  |  |  |
| I will pick up a copy of the staff report at the Community Development Department  | OWNER   REPRESENTATIVE  |  |  |  |  |



503 Park Drive Suite No. 4 Kenilworth, IL 60043

T 847 906 4110 E info@edwarddeeganarchitects.com

April 22, 2022

Chairman and Members of the Building Review Board The City of Lake Forest 220 East Deerpath Lake Forest, IL. 60045

Dear Chairman and the Members of the Building Review Board,

#### Statement of Intent for 1000 Walden Road:

The goal of this Renovation is to bring an existing Stanley Anderson Main Home to 21<sup>st</sup> century standards in terms of both programming and function for the homeowner. Hence, an Addition is proposed of a new Garage / Coach House with a central porte chochere. The new Garage / Coach House will complement the existing 2 story brick colonial style home in both structure and style. It will also be subordinate to the mass of the Main Home. The character of the surrounding neighborhood will not be impacted by this addition.

Currently, the existing Main Home faces in a northerly direction and does not face Walden Road. There is presently no Garage on the property. The narrowest end of the existing Home can be seen on a very limited basis from Walden Road. We propose that the opening for the Garage / Coach House Addition will be oriented to face away from Walden Road. This proposed orientation of the Garage / Coach House Addition will permit a landscaped front facing Walden Road with concealed Garage Doors facing west, away from the street view.

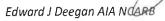
The Addition will be a new structure that will mirror the existing Main Home structure in terms of style, mass and detailing. It will be rotated 90 degrees to have the largest rear face of the Garage / Coach House oriented to the road in an easterly direction. The existing Main Home and the Garage / Coach House Addition will not be connected. After the proposed Renovation is complete, the existing central Motor Court will lead through the porte chochere to the second Motor Court. The Garage entry will face in a westerly direction. The Garage / Coach House Addition will remain only minimally visible from the Walden Road as the property has a heavily wooded lot.

The existing home is centrally located in the property and is in conformity with all set back requirements. The new Garage / Coach House Addition and related second Motor Court will be located further west and north of the existing home and will also be conforming to all set back requirements. An existing Pool to the north of the existing Home will remain. The entire Pool is currently located properly within the set back limits.



Statement of Intent for 1000 Walden Road Page 2 of 2 April 22, 2022

Very truly yours,





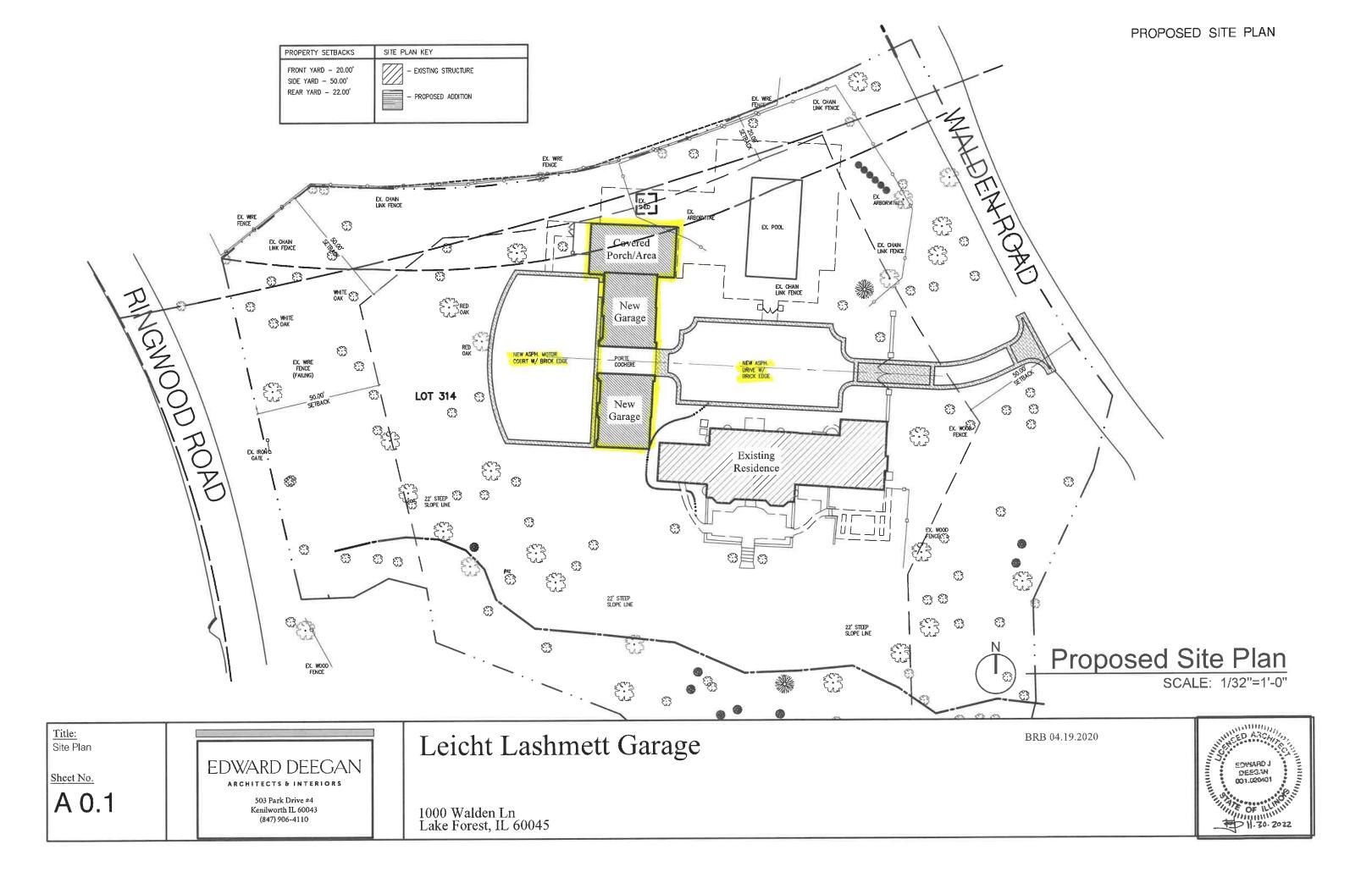


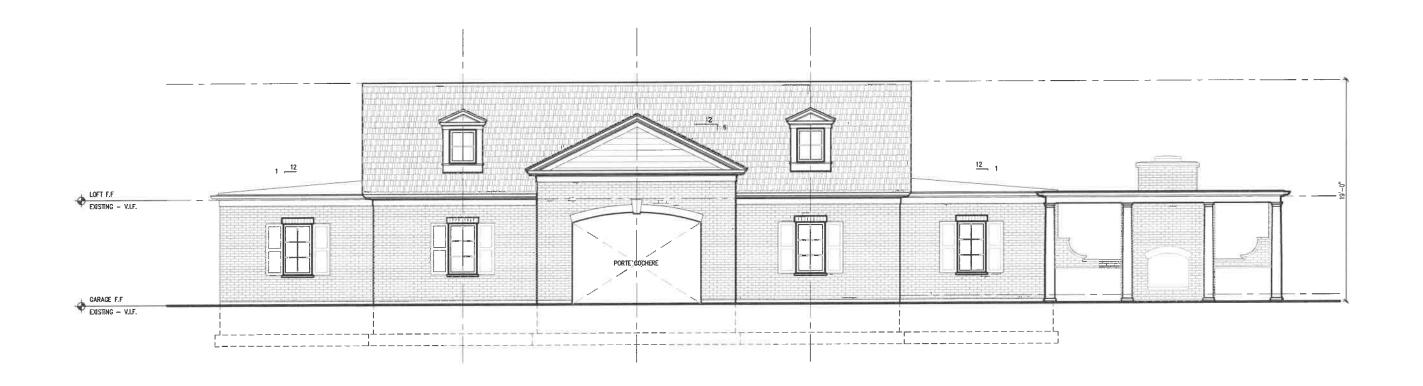
# THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION DESCRIPTION OF EXTERIOR MATERIALS

| Façade Material   |   |
|---|---|
| Stone  Brick  Wood Clapboard Siding  Stucco  Color of Material  | <ul> <li>☐ Wood Shingle</li> <li>☐ Aluminum Siding</li> <li>☐ Vinyl Siding</li> <li>☐ Synthetic Stucco</li> <li>☐ Other</li></ul> |
| Window Treatment  |   |
| Primary Window Type   | Finish and Color of Windows   |
| □ Double Hung □ Casement □ Sliding □ Other  | ☐ Wood  ☑ Aluminum Clad ☐ Vinyl Clad ☐ Other Color of Finish  |
| Window Muntins  |   |
| ☐ Not Provided ☐ True Divided Lites   |   |
| Simulated Divided Lites   |   |
| Interior and Exterior muntin bars Interior muntin bars only Exterior muntin bars only Muntin bars contained between the glass |   |
| Trim Material   |   |
| Door Trim   | Window Trim   |
| Limestone Brick Wood Synthetic Material Other   | ☐ Limestone Brick ☐ Wood ☐ Synthetic Material   |
| Fascias, Soffits, Rakeboards  |   |
| Wood  Other  Synthetic Material   |   |

# THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

| Chimney Ma  | aterial  |      |               |
|-------------|--|------|---------------|
| X           | Brick  |      |               |
|             | Stone  |      |               |
|             | Stucco   |      |               |
|             | Other  |      |               |
|             |  |      |               |
| Roofing     |  |      |               |
| Prima       | ary Roof Material                                    | Flas | hing Material |
| П           | Wood Shingles  |      | Copper        |
| ī           | Wood Shakes  |      | Sheet Metal   |
| <u> </u>    | Slate  |      | Other         |
|             | Clay Tile  |      |               |
|             | Composition Shingles                                 |      |               |
|             | Sheet Metal  |      |               |
|             | Other Asphalt Shingle                                |      |               |
| Color       | Sheet Metal Other Asphalt shingle of Material T.M.E. |      |               |
| 00101       | or material  |      |               |
| Gutters and | Downspouts   |      |               |
|             | Copper   |      |               |
| ×           | Aluminum   |      |               |
|             | Other  |      |               |
|             |  |      |               |
| Driveway M  | aterial  |      |               |
| ×           | Asphalt  |      |               |
|             | Poured Concrete                                      |      |               |
| ×           | Brick Pavers   |      |               |
|             | Concrete Pavers                                      |      |               |
|             | Crushed Stone  |      |               |
|             | Other  |      |               |
|             |  |      |               |
| Terraces an | d Patios   |      |               |
|             | Bluestone  |      |               |
|             | Brick Pavers   |      |               |
|             | Concrete Pavers                                      |      |               |
|             | Poured Concrete                                      |      |               |
|             | Other  |      |               |





Proposed Elevation - East SCALE: 1/8" = 1'-0"

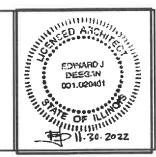


A 2.1

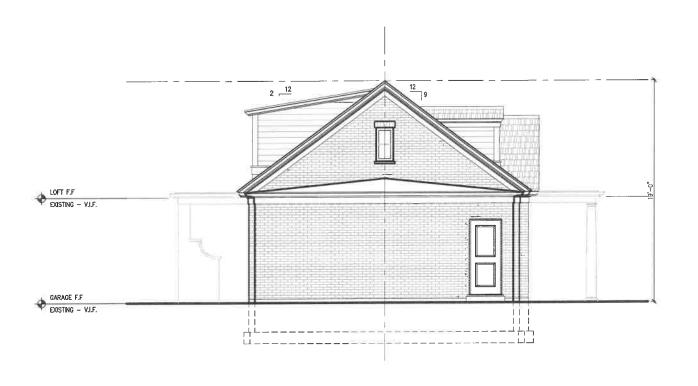


## Leicht Lashmett Garage

1000 Walden Ln Lake Forest, IL 60045







Proposed Elevation - North

SCALE: 1/8" = 1'-0"

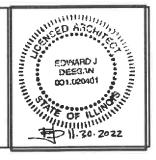
Proposed Elevation - South
SCALE: 1/8" = 1'-0"

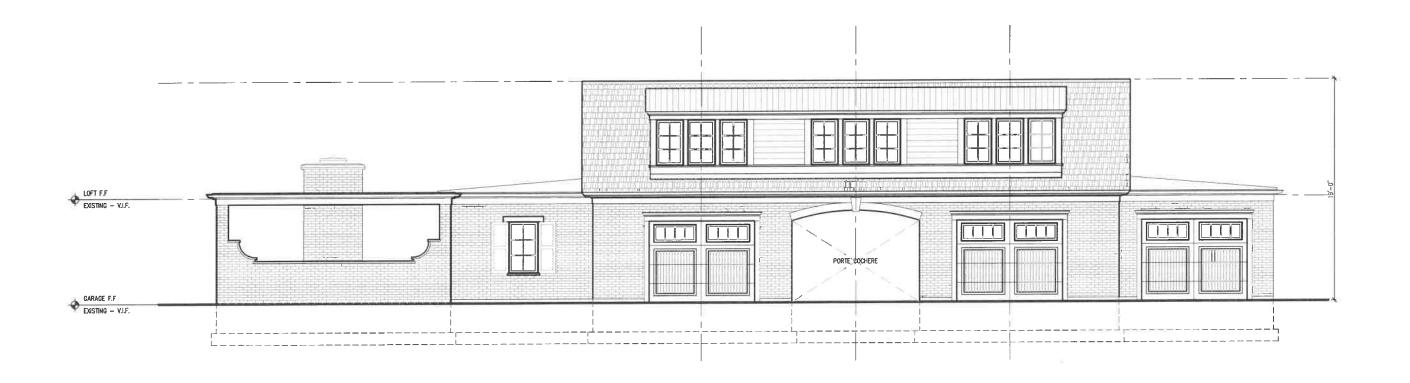
Title: North Elevation South Elevation Sheet No. A 2.0

EDWARD DEEGAN ARCHITECTS & INTERIORS 503 Park Drive #4 Kenilworth IL 60043 (847) 906-4110

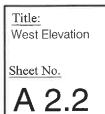
Leicht Lashmett Garage

1000 Walden Ln Lake Forest, IL 60045





# Proposed Elevation - West SCALE: 1/8" = 1'-0"





## Leicht Lashmett Garage

1000 Walden Ln Lake Forest, IL 60045





SHEET NO.

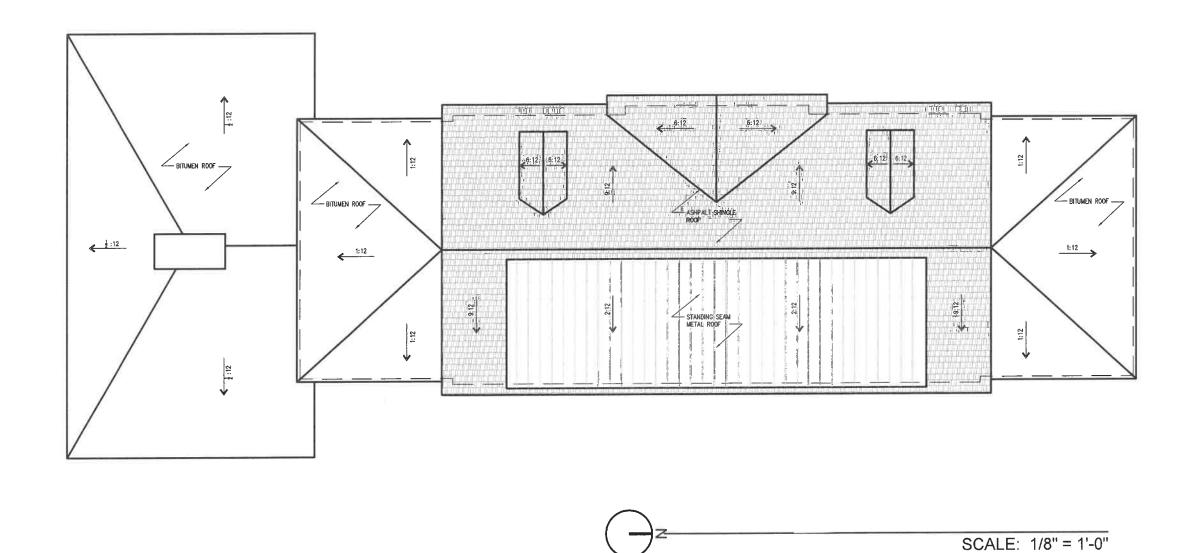
A 3.0

3D VIEW

EDWARD DEEGAN ARCHITECTS

503 Park Drive #4 Kenilworth IL 60043 (847) 906-4110 Leicht Lashmett Garage 1000 Walden Rd Lake Forest, IL 60045





Title:

Coach House Roof Plan

Sheet No.

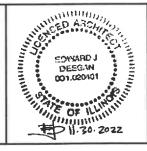
A 1.2

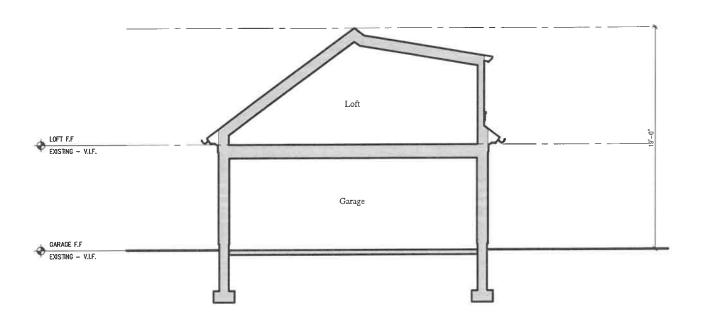
## EDWARD DEEGAN

503 Park Drive #4 Kenilworth IL 60043 (847) 906-4110

## Leicht Lashmett Garage

1000 Walden Ln Lake Forest, IL 60045





Proposed Section

SCALE: 1/8" = 1'-0"

Title:
Proposed Section

Sheet No. **A 3.0** 

EDWARD DEEGAN

ARCHITECTS & INTERIORS

503 Park Drive #4

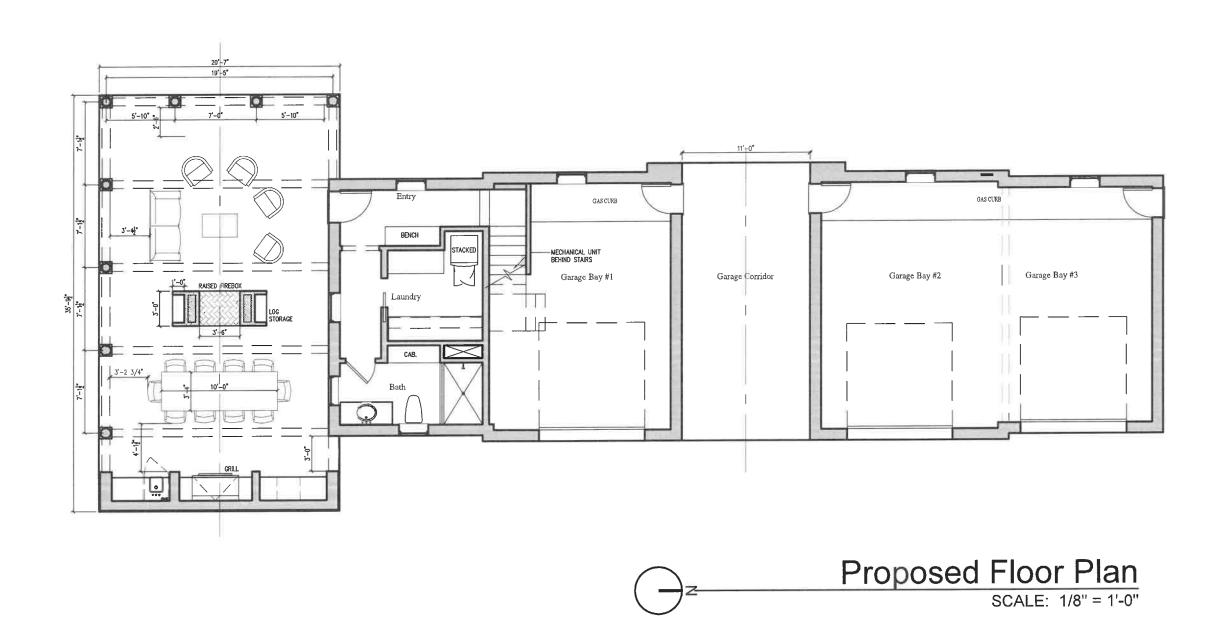
Kenilworth IL 60043

(847) 906-4110

Leicht Lashmett Garage

1000 Walden Ln Lake Forest, IL 60045





<u>Title:</u> Coach House Floor Plan

Sheet No.

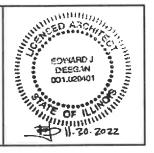
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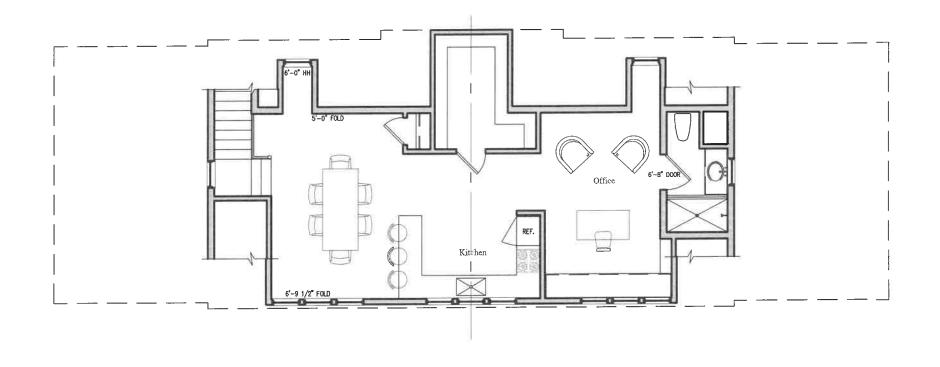
EDWARD DEEGAN
ARCHITECTS & INTERIORS

503 Park Drive #4 Kenilworth IL 60043 (847) 906-4110

## Leicht Lashmett Garage

1000 Walden Ln Lake Forest, IL 60045







<u>Title:</u> Coach House Loft Plan

Sheet No.

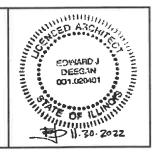
A 1.1

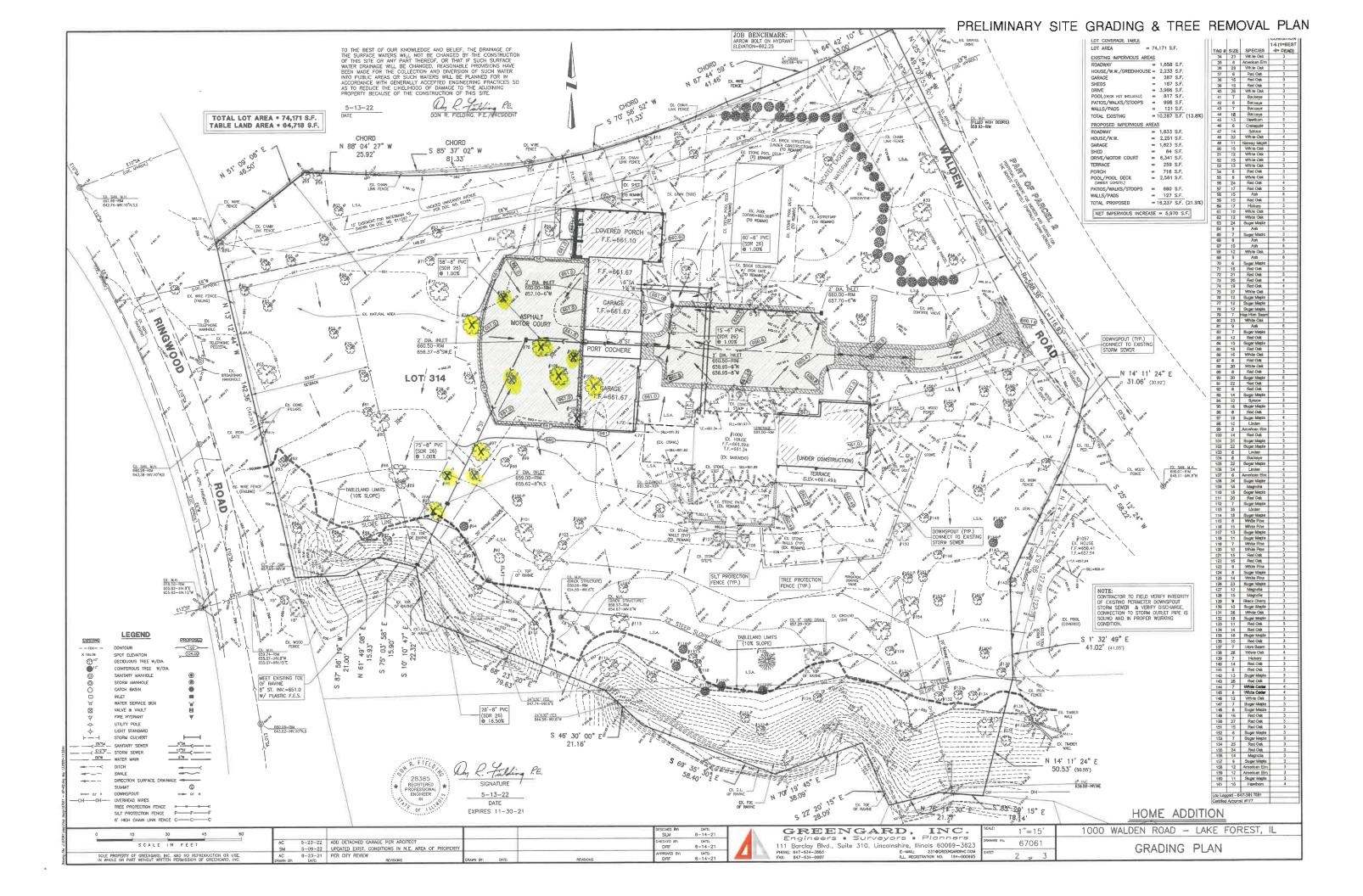
EDWARD DEEGAN ARCHITECTS & INTERIORS

503 Park Drive #4 Kenilworth IL 60043 (847) 906-4110

Leicht Lashmett Garage

1000 Walden Ln Lake Forest, IL 60045

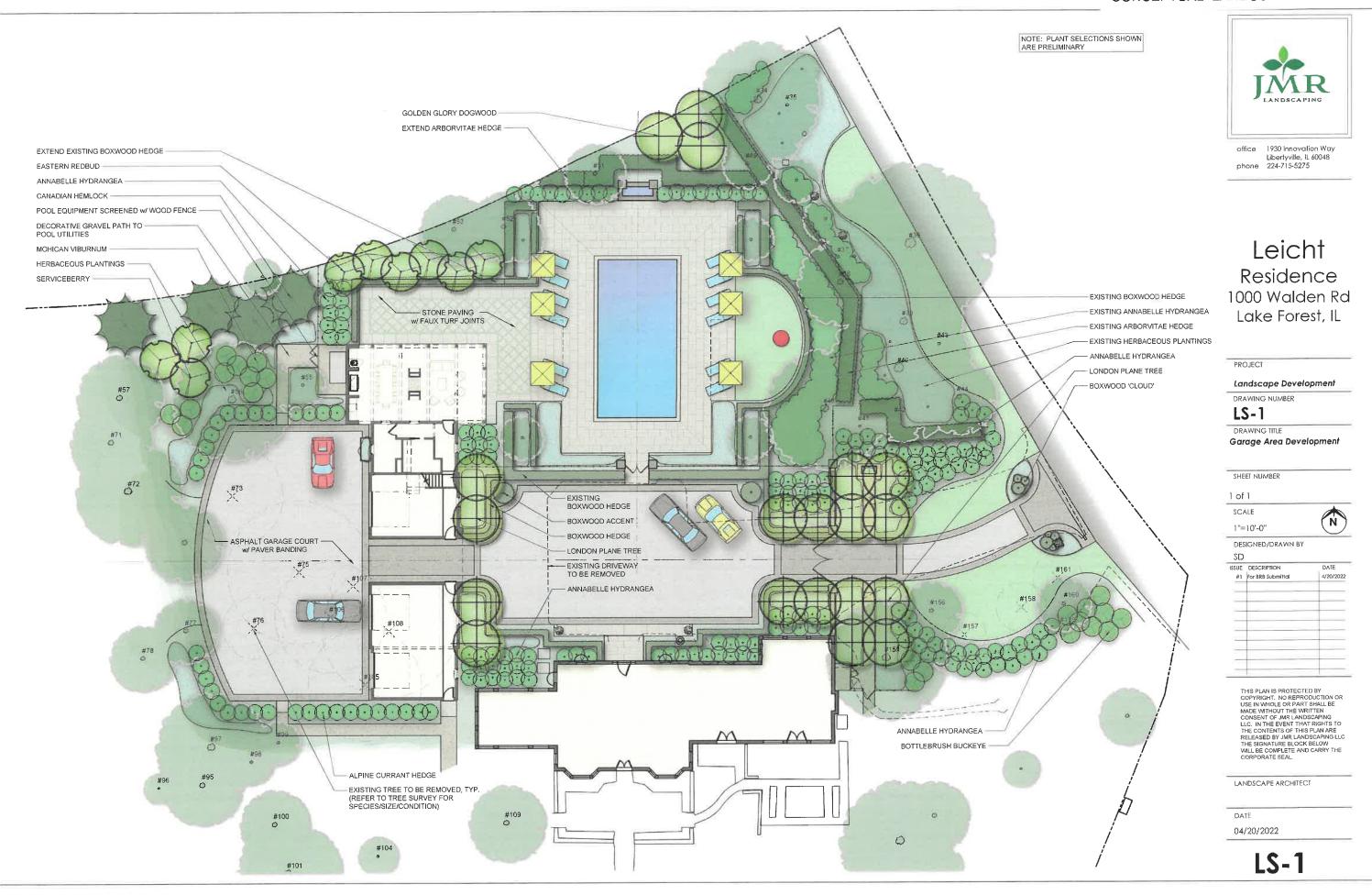




#### TREE INVENTORY

| Tree S        |          | SPECIES  | CONDITION<br>1-6 (1=BEST<br>-6= DEAD) |
|---------------|----------|--|---------------------------------------|
| 34            | 23       | White Oak  | 3                                     |
| 35            | 8        | American Elm   | 3                                     |
| 36            | 29       | White Oak  | 3                                     |
| 37            | 6        | Red Oak  | 3                                     |
| 38            | 16       | Red Oak  | 5                                     |
| 39            | 19       | Red Oak  | 3                                     |
| 40            | 26       | White Oak  | 3                                     |
| 41            | 7        | Buckeye  | 3                                     |
| 42            | 6        | Buckeye  | 3                                     |
| 43            | 7        | Buckeye  | 3                                     |
| 44            | 16       | Buckeye  | 3                                     |
| 45            | 13       | Hawthorn   | 5                                     |
| 46            | 6        | Crabapple  | 3                                     |
| 47            | 14       | Spruce   | 3                                     |
| 48            | 22       | White Oak  | 4                                     |
| 49            | 11       | Norway Maple   | 3                                     |
| 50            | 15       | White Oak  | 3                                     |
| 51            | 12       | White Oak  | 3                                     |
| 52            | 15       | White Oak  | 3                                     |
| 53            | 13       | White Oak  | 3                                     |
| 54            | 8        | Red Oak  | 3                                     |
| 55            | 6        | White Oak  | 3                                     |
| 56            | 24       | Red Oak  | 4                                     |
| 57            | 17       | Red Oak  | 5                                     |
| 58            | 15       | Ash  | 6                                     |
| 59            | 10       | Red Oak  | 3                                     |
| _             |          |  |                                       |
| 60            | 17       | Hickory<br>White Oak   | 3                                     |
| 62            | 12       | White Oak  | 3                                     |
| 63            | 24       | Sugar Maple  | 3                                     |
| 64            | 9        | Ash  | 6                                     |
| 65            | 7        |  | 3                                     |
| 66            | 6        | Sugar Maple<br>Ash   | 6                                     |
| 67            | 10       | Ash  | 6                                     |
| 68            | 12       | White Oak  | 3                                     |
| $\rightarrow$ |          |  |                                       |
| 69            | 9        | Ash<br>Curan Mada  | 6                                     |
| 70            | 6        | Sugar Maple<br>Red Oak   | 5                                     |
| 72            | 16<br>21 | Red Oak  | 5                                     |
| 73            |          | The same of the last of the la | 4                                     |
| 74            | 19       | Red Oak<br>Red Oak   | 4                                     |
| -             |          |  |                                       |
| 75            | 27       | White Oak  | 3                                     |
| 76            | 12       | Sugar Maple  |                                       |
| 77            | 12       | Sugar Maple  | 3                                     |
| 78            | 12       | Sugar Maple  | 4                                     |
| 79            |          | Hop Hom Beam   | 3                                     |
| 80            | 23       | White Oak  | 3                                     |
| 81            | 9        | Ash  | 6                                     |
| 82            | 7        | Sugar Maple  | 3                                     |
| 83            | 12       | Red Oak  | 3                                     |
| 84            | 15       | Sugar Maple  | 3                                     |
| 85            | 19       | Red Oak  | 3                                     |
| 86            | 16       | White Oak  | 3                                     |
| 87            | 8        | Red Oak  | 3                                     |
| 88            | 20       | White Oak  | 3                                     |
| 4.0           | 8        | Red Oak  | 3                                     |
| 89            | 0        | IVEG COV   |                                       |

| 92       | 6       | Red Oak                 | J |
|----------|---------|-------------------------|---|
| 93       | 14      | Sugar Maple             | 5 |
| 94       | 10      | Spruce                  | 3 |
| 95       | 16      | Sugar Maple             | 5 |
| 96       | 6       | Red Oak                 | 3 |
| 97       | 19      | Sugar Maple             | 4 |
| 98       | 10      | Linden                  | 3 |
| 99       | 8       | American Elm            | 3 |
| 100      | 14      | Red Oak                 | 3 |
| 101      | 21      | Sugar Maple             | 5 |
| 102      | 22      | Sugar Maple             | 3 |
| 103      | 6       | Linden                  | 3 |
| 104      | 6       | Buckeye                 | 3 |
| 105      | 22      | Sugar Maple             | 3 |
| 106      | 24      | Linden                  | 4 |
| 107      | 6       | American Elm            | 3 |
| 108      | 24      |                         | 3 |
|          | _       | Sugar Maple             |   |
| 109      | 16      | Magnolia                | 3 |
| 110      | 18      | Sugar Maple             | 5 |
| 111      | 20      | Red Oak                 | 3 |
| 112      | 7       | Sugar Maple             | 3 |
| 113      | 35      | Linden                  | 3 |
| 114      | 18      | Sugar Maple             | 3 |
| 115      | 8       | White Pine              | 3 |
| 116      | 11      | White Pine              | 3 |
| 117      | 13      | Sugar Maple             | 3 |
| 118      | 11      | Sugar Maple             | 3 |
| 119      | 7       | White Pine              | 3 |
| 120      | 10      | White Pine              | 3 |
| 121      | 15      | Red Oak                 | 3 |
| 122      | 16      | Red Oak                 | 3 |
| 123      | 9       | White Pine              | 3 |
| 124      | 8       | Sugar Maple             | 3 |
| 125      | 14      | White Pine              | 3 |
| 126      | 23      | Sugar Mapie             | 3 |
| 127      | 12      |                         | 3 |
|          | _       | Magnolia                |   |
| 128      | 15      | Magnolia                | 3 |
| 129      | 9       | Black Cherry            | 3 |
| 130      | 10      | Sugar Maple             | 3 |
| 131      | 26      | White Oak               | 3 |
| 132      | 18      | Sugar Maple             | 3 |
| 133      | 11      | Red Oak                 | 3 |
| 134      | 14      | Red Oak                 | 3 |
| 135      | 18      | Sugar Maple             | 3 |
| 136      | 10      | Red Oak                 | 3 |
| 137      | 7       | Horn Beam               | 3 |
| 138      | 28      | White Oak               | 4 |
| 139      | 7       | Hickory                 | 3 |
| 140      | 14      | Red Oak                 | 3 |
| 141      | 8       | Red Oak                 | 3 |
| 142      | 13      | Sugar Maple             | 3 |
| 143      | 28      | Red Oak                 | 5 |
| 144      | 7       | White Cedar             | 4 |
| 145      | 8       | White Cedar             | 4 |
| 146      | 12      | White Oak               | 3 |
| 147      | 7       | Sugar Maple             | 3 |
| 148      | 6       | Sugar Maple Sugar Maple | 3 |
| 149      | 16      |                         | 3 |
|          |         | Red Oak                 |   |
| 150      | 27      | Red Oak                 | 3 |
| 151      | 15      | Red Oak                 | 3 |
| 152      | 6       | Sugar Maple             | 3 |
| 153      | 7       | Sugar Maple             | 3 |
| 154      | 25      | Red Oak                 | 3 |
| 155      | 24      | Red Oak                 | 3 |
| 156      | 14      | Magndia                 | 3 |
| 157      | 9       | Sugar Maple             | 3 |
| 158      | 12      | American Elm            | 3 |
| 159      | 12      | American Elm            | 3 |
| 160      | 11      | Sugar Maple             | 3 |
| 161      | 10      | Hawthorn                | 4 |
|          |         |                         |   |
|          |         | 17-561-7061             |   |
| ertified | Arboris | t #177                  |   |
|          |         |                         |   |



#### Agenda Item 5 1361 Edgewood Road Demolition & New Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application

Statement of Intent

Description of Exterior Materials

Plat of Resubdivison - Pending Recording

Proposed Site Plan

West (Front) Elevation

North Elevation

East Elevation

South Elevation

Color Rendering

Roof Plan

**Building Section** 

Basement Floor Plan

First Floor Plan

Second Floor Plan

Garage Elevations and Floor Plan

Preliminary Site Grading & Tree Removal Plan

Preliminary Landscape Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

#### 1361 Edgewood Road (currently addressed as 1361, 1371 and 1373 Edgewood Road)

Consideration of a request for approval of a new single family residence, conceptual landscape plan, and overall site plan on a portion of a site proposed for redevelopment. (Lot not yet platted pending demolition of existing structure and recording of the plat of resubdivision.)

Property Owner: Lillian H. Shepard Trust (Joseph H. Duff, 30%, Rochelle M. Davis, 30%, Rudolph O. Duff, Jr. 10%, Rahsaan O. Duff-Tatum 10%, Gingi F. Wingard 10%, Laura J.

Stephenson, 10%)

Contract Purchaser: Peter Childs

Representative: Jeff Letzter, project manager

Staff Contact: Jen Baehr, Planner

#### **Background**

In February 2022, the petitioner received approval from the Plan Commission for a resubdivision of the properties at 1361, 1371, 1373 Edgewood Road. The resubdivision received approval from the City Council however, the plat of resubdivision has not yet been recorded. The approved plat of resubdivision reconfigures three existing lots into two lots in keeping with the size and configuration of other properties along Edgewood Road. The demolition of the structures on the properties is a requirement of the approval of the resubdivision and must be completed prior to the recording of the plat of resubdivision which will create the lot that is the subject of this request. The three structures have been the site of Code violations in the past.

It is staffs understanding that the contract purchaser intends to purchase the two reconfigured lots after the plat is recorded. At the request of the contract purchaser, this petition is presented to the Board for review in advance of the demolitions being completed and the plat being recorded. No permits for construction can be issued until the plat of resubdivision is recorded and the property as presented in this petition, configured.

#### Summary of Request

As a condition of City approval of the plat of resubdivision, the three structures on the property must be demolished. It was expected that the demolition of the structures and the recording of the plat would be completed prior to the presentation of plans for one or both new houses to the Building Review Board. However, since the demolition has not yet been completed, it is included as part of this petition.

The statement of intent and supporting materials submitted by the petitioner are included in the Board packet and more fully explain the overall project.

#### Description of Property

This property is in a smaller lot, established neighborhood. The property is adjacent to the rear yard of Sheridan School to the east and is across the street from property owned by Lake Forest High School. The proposed property, as reflected on the pending plat of resubdivision, is 14,695 square feet and is 50 feet wide and 294 feet long. Long and narrow lots are characteristic of the neighborhood.

Properties along Edgewood Road are generally narrow along the street frontage and deep, particularly the properties on the east side of Edgewood Road. Turning the corner on to Spruce Avenue, some of

the closest properties are squarer in configuration than the properties on Edgewood Road. The homes along Edgewood Road generally follow a regular set back along the street.

The surrounding area has a mix of housing types including new infill development that has occurred over the past 15-20 years as the older housing stock was demolished and new houses were constructed. In the past, the Board has paid careful attention to redevelopment in this area to ensure the character of the neighborhood is preserved and that the lots are not overbuilt. One unique challenge for redevelopment in this neighborhood is balancing the desired increased size of new structures with the character and size of surrounding homes and the narrowness of the properties.

#### **Proposed Demolition**

Although the demolition of the three structures is required as a condition of the resubdivision approval, because the demolition has not yet occurred, the demolition criteria are provided below along with findings in support of the demolition of all three structures. Demolition of all three structures is necessary to allow the reconfiguration of the properties as reflected on the plat of resubdivision.

## Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

This criterion is met. The structures on the properties currently addressed as 1361, 1371 and 1373 Edgewood Road were built over the course of several years, from the 1940s to the 1960s. The structures are not architecturally, aesthetically, or historically significant and do not possess the historic or architectural integrity that would make the structures worthy of preservation.

## Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.

This criterion is met. Based on the conditions and quality of the existing structures, extensive rehabilitation is not likely to render the homes suitable to meet today's living standards or building and life safety Codes. The structures and the overall property have been the subject of Code enforcement issues in the past.

# Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

This criterion is met. The existing structures are not suitable for residential use. Significant renovation, improvement and reconstruction would be necessary to all the existing non-conforming structures to be safely occupied. The non-conforming conditions of the structures and the properties limit the ability to reconstruct new homes, or significantly renovated homes, on the properties. The properties have been the subject of numerous complaints from other property owners in the neighborhood.

## Criteria 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

This criterion is met. There is no evidence to suggest that the proposed demolition or replacement residence will adversely impact the value of other properties in the neighborhood. In fact, demolition of the structures will remove a nuisance from the neighborhood.

## Criteria 5 – The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.

This criterion can be met. The Board's review and direction are intended to assure that the new home, the home presently before the Board and a future second home, will be consistent with the quality and character of the neighborhood.

#### Review and Evaluation of Applicable Standards

The City Code establishes Standards for Architectural and Site Design Review for the Board's review of new construction.

Siting - This standard is not met.

The homes along Edgewood Road are generally sited at a consistent and regular distance from the street, however, the proposed residence is sited approximately 90 feet from the front property line and is about 45 feet behind the existing home to the south.

The reason the house is set back far from the front of the property is due to a combination of the width of the home and the need for the driveway to conform to the zoning regulations. The driveway cannot be located within the side yard setback in the area in front of the front yard setback and because of the width of the house, it is shifted back to allow for a functional driveway that complies with the Code requirements. The footprints of many homes in this neighborhood are narrow and long to better align with the shape of the lots. Staff encouraged the petitioner to consider a narrower footprint for the home to allow the house to be sited closer to the front of the property and to more closely follow the setback of homes along the street. A narrower footprint would allow the driveway to be located in compliance with zoning setbacks more gracefully. Aligning the house more closely to the established pattern of front yard setbacks along the street also preserves the privacy of the backyard for the neighboring home to the south. Staff recommends consideration of a narrower footprint for the house to better align with other homes on the street and the narrow configuration of the lot. A streetscape graphic should be provided to illustrate the pattern of homes and separation distances along Edgewood Road.

The north side of the home, at its closest point is six feet from the north property line and is directly on the side yard setback line. Staff encouraged the petitioner to allow some buffer between the home and the setback line to avoid potential issues during construction, given that during construction there are often minor deviations from the building plans. In this case the petitioner does not have any buffer space between the home and setback and if there is even a slight deviation from the plan the home will be in violation of the Code. As a reminder to the Board, the Code requires that the setback is measured from the furthest extent of the structure, not necessarily the wall but most often, the gutter and eave.

A detached garage is proposed at the rear of the property. For a portion of the driveway, the pavement is proposed to be immediately adjacent to the foundation of the home and less than one foot from the south property line. The proposed driveway at the closest point, is less than nine feet from the wall of the home to the south. Given that this contract purchaser intends to develop both this property and the property to the north, it is appropriate to consider locating the driveway on the north side of the home. The driveway for the second home could then be located along the south property line so that the driveways for both of the new homes are adjacent to one another, providing greater separation and minimizing impacts on the private living spaces and back yards of existing homes.

Given the location of the driveway as proposed in the current plan, very close to the south property line, a curb is proposed reflected in the plan along a portion of the driveway. If the driveway remains in the current location, the City Engineer will require that the curb be extended further west, terminating west of the front of the existing home to the south to limit the potential for water runoff on to the neighboring property.

#### Building Massing and Height – This standard is met.

As proposed, the height and size of the structure are very close to the maximum permitted by the Code. Based on the lot size, a residence of up to 3,357 square feet is permitted on the site along with 336 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as single dormers and porches. A garage of up to 576 square feet is also permitted

- The proposed residence totals 3,309 square feet.
- The proposed garage totals 615 square feet. The garage overage of 39 square feet must be added to the total square footage of the residence.
- In addition to the above square footage, a total of 259 square feet of design elements are incorporated into the design of the house.
- The house with the excess square footage resulting from the garage is 9 square feet below the maximum allowable square footage, equal to 0.27 percent of the allowable square footage.

At the maximum height, the residence is 29 feet and 5 inches tall as measured from the lowest point of existing grade to the tallest roof peak. The maximum height allowed for this lot is 30 feet.

Because the total height of the home as proposed nearly reaches the maximum allowable height and the square footage of the house is very close to the maximum allowable size, during construction, as-built drawings will be required intermittently to confirm that the height and square footage do not exceed the maximum allowed.

#### Elevations - This standard is not fully met.

The petitioner is proposing to construct a two-story residence designed in the Shingle style. Traditionally, identifying features of the Shingle style include asymmetrical facades with steeply pitched roof lines, multi-level eaves and large porches. Windows on Shingle style homes most often feature muntins in the top sash only.

The proposed residence presents a symmetrical front façade with steep front facing gable forms. The side and rear elevations present gable style roofs with more shallow roof pitches. The windows around the home have a 6 over 6 muntin pattern, which is more commonly found in Colonial style homes and is not typical of the Shingle style. Shingle style homes commonly have wall shingles that are woven together at the corners and do feature corner boards.

- > Staff recommends further study of the roof pitches and massing of the home to achieve a design that more closely aligns with the chosen Shingle style or, that another style be followed consistently.
- > Staff recommends modification of the window muntin pattern consistent with the Shingle style.
- > Staff recommends eliminating the corner boards.

#### Type, color, and texture of materials – This standard is generally met.

Wood shingle siding is proposed for the exterior wall material. The bay windows on the front of the home have a stone base. The roof material is architectural asphalt shingle. Wood is proposed for the porch columns, shutters, fascia, soffit and trim material. Aluminum clad wood windows with exterior and interior muntin bars are proposed. Aluminum gutters and downspouts are proposed. The chimney is brick with a clay chimney pot.

The front walkway will be concrete. A paver patio is proposed on the rear of the home. An asphalt driveway is proposed.

- > Staff recommends stone for the chimney, rather than brick, to match the bay windows on the front of the home.
- > Staff recommends a paver walkway at the front of the home rather than concrete to enhance the appearance of the home.

The proposed color palette includes dark gray, almost black, shingle siding, a gray asphalt shingle roof, white windows, porch columns, and shutters. White trim is proposed on the front porch, the trim on the house itself appears to be dark gray or black based on the color rendering provided by the petitioner.

The proposed materials and color palette of the detached garage are consistent with the residence.

#### Landscaping – This standard can be met.

Construction of the home will impact four trees on the site based on the site development plan provided by the petitioner. A tree survey was not included as part of the submittal provided by the petitioner and review of the trees proposed for removal cannot be completed by staff at this time. Once a tree survey is received, based on the size, species and condition, the required replacement inches for the trees removed will be determined.

The conceptual landscape plan submitted by the petitioner reflects proposed plantings mostly around the foundation on the north and west sides of the home and plantings in the front and rear yards. There is no room for foundation plantings on the south side of the home based on the current site plan.

The proposed plantings include Oak, Maple, Hawthorn, and Ironwood trees, Arborvitae, and a mix of evergreen and deciduous shrubs.

The landscape plan provided does not include enough information to allow staff to verify that the minimum landscaping criteria for new residential construction are met. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

#### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at five public locations. As of the date of this writing, no correspondence has been received regarding this request.

#### Recommendation

Recommend approval of the demolition of the existing structures on the properties.

And

Continue consideration of the new residence and overall site plan with the following direction.

• Conduct further study of the siting of the home in an effort to more closely follow the established setback pattern along the street.

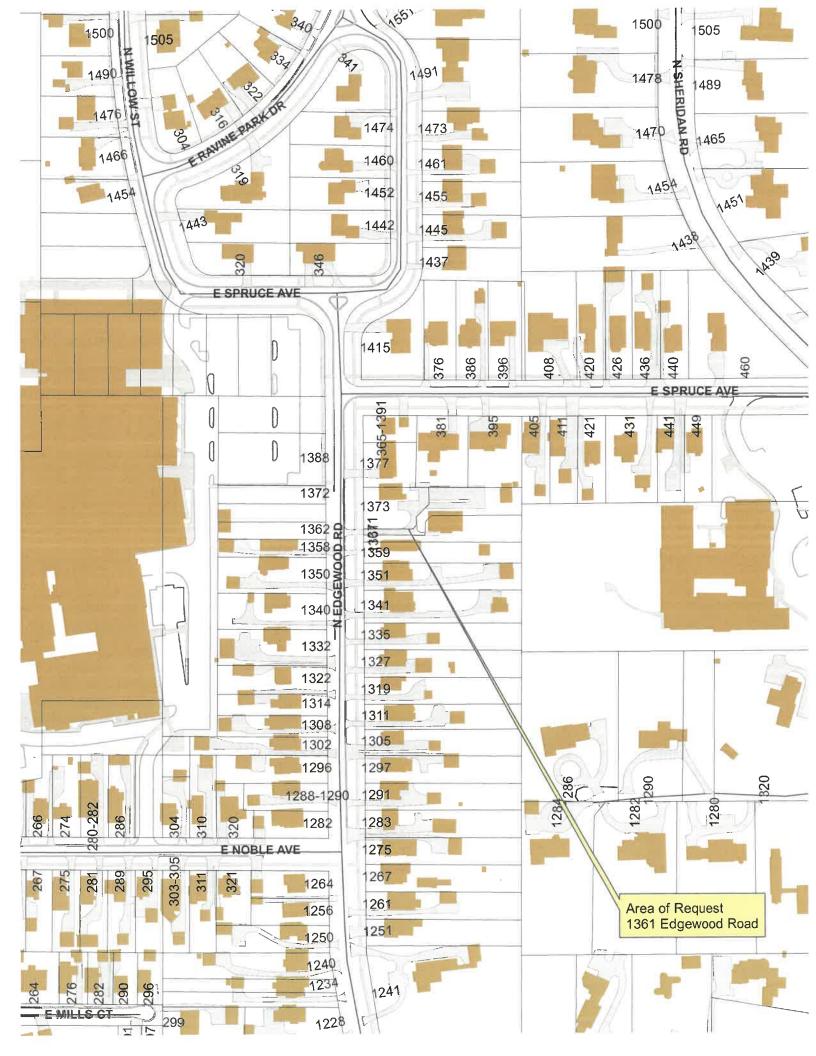
- Explore the opportunity of locating the driveway on the north side of the property.
- Conduct further study of the design elements of the home including the roof pitches and window muntin patterns to more closely align with the chosen Shingle style.
- Eliminate the corner boards.
- The chimney shall be stone rather than brick to match the bay windows on the front of the home.
- The concrete walkway at the front of the home shall be replaced with a paver walkway to enhance the appearance of the home.
- A tree survey shall be provided to allow for a review of the trees proposed for removal and calculation of replacement inches to be planted on site.
- Provide a detailed landscape plan.

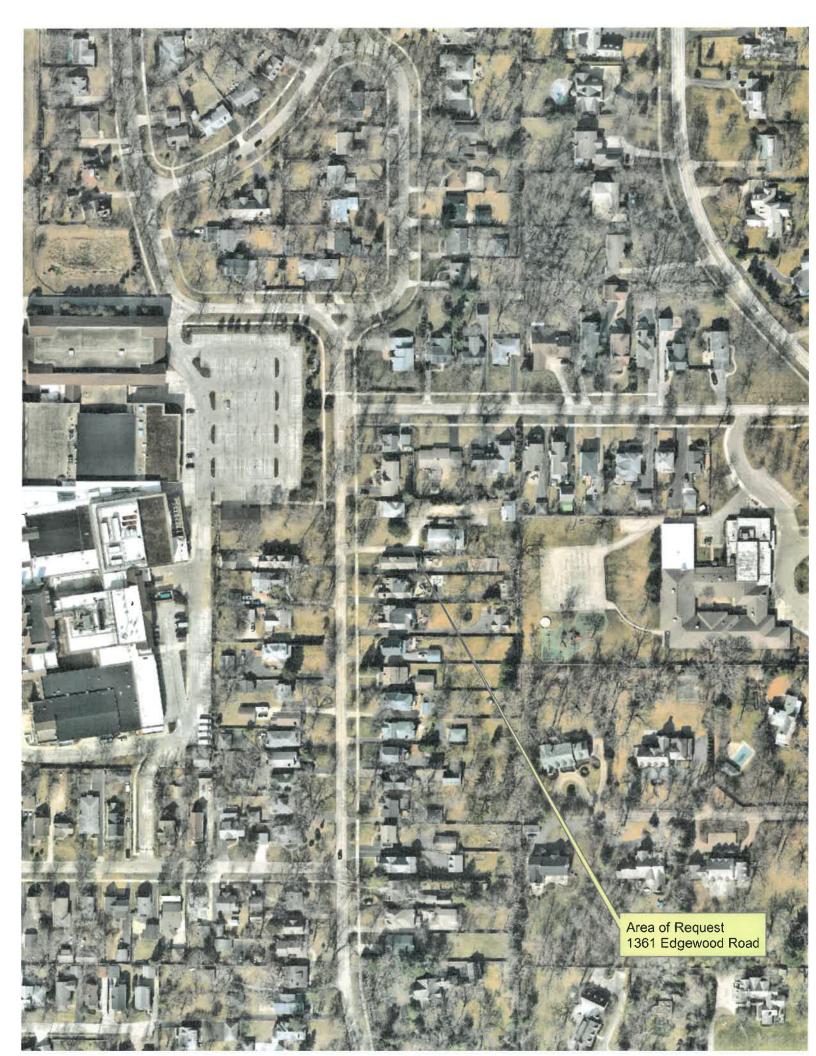
#### THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

| Address        | 136                                     | 1 Edgewood  | Road                        |   | Owner(s)     |        | Lilliar     | H. Shepard | Trust   |                              |
|----------------|---|---|-----------------------------|---|--------------|--------|-------------|------------|---------|------------------------------|
| Representative | Jeff Let                                | zter, project   | manager                     |   | Reviewed by: |        | Jen B       | aehr       |         |                              |
| Date           | 6/1/20                                  | 22  |                             |   |              |        |             |            |         |                              |
| Lot Area       | 14695                                   | sq. ft.   |                             |   |              |        |             |            |         |                              |
| Square Footag  | ge of New R                             | esidence:   |                             |   |              |        |             |            |         |                              |
| 1st floor      | 1666                                    | + 2nd floor   | 1643                        | + 3rd floor   | 0            |        | = 7,2,2,2,3 | 3309       | sq. ft. |                              |
| Design Eleme   | ent Allowance                           | 9 =   | 336                         |   |              |        |             |            |         |                              |
| Total Actual D | esign Eleme                             | ents =  | 259                         |   |              | Excess | =           | 0          | sq.ft.  |                              |
| Garage         | 615                                     | _sf actual;   | 576                         |   |              | Excess |             | 39         | sq. ft. |                              |
| Garage Width   | n                                       | 2'-0"   | may not excee               |   |              |        |             |            |         |                              |
| Basement Are   | ea                                      |   | 1015 10,900 51              | 01 1633 111 3126  |              |        |             | 0          | sq. ft. |                              |
| Accessory bui  | ildings                                 |   |                             |   |              |        | =           | 0          | sq. ft. |                              |
| TOTAL SQUAR    | RE FOOTAG                               | βE  |                             |   |              |        | =           | 3348       | sq. ft. |                              |
| TOTAL SQUA     | RE FOOTAG                               | E ALLOWED   | 1                           |   |              |        | =           | 3357       | sq. ft. |                              |
| DIFFERENTIA    | L                                       |   |                             |   |              |        | =           | -9         | sq. ft. |                              |
| Allowa         | able Height:                            | 30  | ft. Actu                    | ual Height  | f            | t.     | Un          | der Maximu | m       |                              |
|                |   |   |                             |   |              |        |             |            |         | NET RESULT:                  |
|                |   |   |                             |   |              |        |             |            |         | 9sq. ft. is                  |
|                |   |   |                             |   |              |        |             |            |         | 0.27% under the Max. allowed |
| DESIGN ELEM    |   |   | 259                         | og #  |              |        |             |            |         |                              |
| Des            |   | t Allowance:  | -                           | sq. ft.   |              |        |             |            |         |                              |
| Rear           | r & Side Scre<br>Cove<br>Po<br>Individe | ide Porches = een Porches = ered Entries = Portico = rte-Cochere = Breezeway = Pergolas = ual Dormers = | 0<br>20<br>0<br>0<br>0<br>0 | sq. ft. |              |        |             |            |         |                              |
|                | В                                       | ay Windows =  | 0                           | sq. ft.   |              |        |             |            |         |                              |

Total Actual Design Elements = \_\_\_\_sq. ft.

Excess Design Elements = \_\_\_\_0 \_\_\_sq. ft.









## THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

| PROJECT ADDRESS 36 EDGEWOOD   | ROAD   |  |  |  |  |  |
|---|--|--|--|--|--|--|
| APPLICATION TYPE  |  |  |  |  |  |  |
| RESIDENTIAL PROJECTS  | COMMERCIAL PROJECTS  |  |  |  |  |  |
| New Residence Demolition Complete New Accessory Building Demolition Partial Addition/Alteration Height Variance Building Scale Variance Other   | □ New Building       □ Landscape/Parking         □ Addition/Alteration       □ Lighting         □ Height Variance       □ Signage or Awnings         □ Other       □ |  |  |  |  |  |
| PROPERTY OWNER INFORMATION  | ARCHITECT/BUILDER INFORMATION  |  |  |  |  |  |
| Owner of Property   | Name and Title of Person Presenting Project  |  |  |  |  |  |
| Owner's Street Address (may be different from project address)  | Name of Firm   |  |  |  |  |  |
| City, State and Zip Code  | 26575 COMMERCE DR SWIE 607 Street Address  |  |  |  |  |  |
| <b>323-459-54</b>    Phone Number Fax Number  | City, State and Zip Code   |  |  |  |  |  |
| JOUFFLANC BARTHUNK, NET   | Phone Number Fax Number  |  |  |  |  |  |
| Joseph Duff  Sooner's Signature  Owner's Signature  | Email Addres  Representance's Signature (Architect/Builder)  FIRM  |  |  |  |  |  |
| The staff report is available the Friday  | y before the meeting, after \$ 00pm.   |  |  |  |  |  |
| 多数。2011年中,1911年 | Owner Representative   |  |  |  |  |  |
| I will pick up a copy of the staff report at the Community Development Department   | Owner   Representative   |  |  |  |  |  |

#### **EXHIBIT C**

#### TRUST OWNERSHIP

Please list the Trust number and name and address of the Trustee, as well as the names and addresses of all beneficiaries of the Trust, together with their respective interests in the Trust. The application shall be further verified by the applicant in his capacity as Trustee or by the beneficiary as a beneficial owner of an interest in the Trust and the application shall be signed individually by as many beneficiaries as are necessary to constitute greater than 50% ownership of the beneficial interest of the trust.

| TRUST NUM   | BER _ FEIN 86-6756264      | TRUSTEE IN | FORMATION         |                  |      |
|-------------|----------------------------|------------|-------------------|------------------|------|
|             |                            | NAME       | Joseph H, Duff,   | Successor Trus   | tee  |
|             |                            | FIRM       | Lillian H. Shepar | d Trust, DTD     |      |
|             |                            | ADDRESS    | 6139 Wooster /    | Ave.             |      |
|             |                            | Lo         | s Angeles, CA     |                  | =311 |
|             |                            | PHONE      | 323-459-5411      |                  |      |
| BENEFICIAR  | IES                        |            |                   |                  |      |
| NAME        | Joseph H. Duff             | NAME       | Rochelle M Davis  | 8                |      |
| ADDRESS     | 6139 Wooster Ave.          | ADDRESS    | 1351 N. Western   | n Ave, Apt . 315 |      |
| Los A       | ngeles, CA                 | Lake Fo    | rest, IL 60045    |                  |      |
| TRUST INTER | REST                       | TRUST INTE | REST              | 30               | %    |
| NAME        | Rudolph O. Duff, Jr.       | NAME       | Rahsaan O. Du     | ff-Tatum         |      |
| ADDRESS     | 3697 W. Menlo Ave.         | ADDRESS    | 3363 La Selva,    | Unit A           |      |
| Heme        | et, CA 92545               | San M      | ateo. CA 94403    |                  |      |
| TRUST INTER | REST                       | TRUST INTE | REST              | 10               | %    |
| NAME        | Gingi F. Wingard           | NAME       | Laura J. Stephe   | nson             |      |
| ADDRESS     | 234 Willow Grove Ave.      | ADDRESS    | 3201 Tally Ho.    | Lane             |      |
| P           | hiladelphia, PA 19118-3919 | Madison    | , WI 53705        |                  |      |
| TRUST INTER | REST 10 %                  | TRUST INTE | REST              | 10               | %    |



#### Statement of Intent 1361 Edgewood Road, Lake Forest, IL 60045

- 1. Background—The home will be built by Childs Development for the Michael Simoneau & Alison Schuster family.
- 2. Initial Goal—The purpose of the project is to help further set the tone for new homes on this portion Edgewood Road with a welcoming and comfortable Shingle style cottage home.
- 3. Design Strategy—Our intent is to plan the home with a detached garage to the East and have the front entry, front porch and roof lines being the focal point as you view the home on Edgewood Road.
- 4. Materials—Onyx colored cedar shingle siding will be used on the exterior. The wood trim, soffit and fascia are to be white; the roof will be Architectural asphalt shingles. The windows are to be white color. The front door will be stained wood onyx color the wood shutters will be white color.
- 5. Conclusion—Our intent is to build an attractive home that quietly fits into its current site. The restrained quality of the new home will help reinforce this great neighborhood.
- 6. Variances— None are required for the proposed home in the GR-3 zoning district.

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
PHONE 847.457.2500
WWW.ASPECTDESIGNING.COM



May 25, 2022

1361 Edgewood Road

Lake Forest IL

Request for Demolition of existing structures

This request is for a new subdivision of addresses 1361, 1371, and 1373 Edgewood Road and the demolition of the 3 existing structures for the new 2 lot subdivision which the proposed home on 1361 Edgewood is going on. Since the existing homes have not yet been demolished as part of the approved subdivision plans the request for demolition is now part of this BRB request.

#### Criteria for Demolition:

Criterion 1: The existing structures, or in relation to its surroundings does not have any special historical, architectural, aesthetic or cultural significance to the community. None of the existing homes have any design or qualities or historic elements that would not qualify them for demolition.

Criterion 2: Realistic alternatives for their re-use would not be practicable since these lots and home locations do not fit into the existing zoning and lot configurations and existing home locations of the neighborhood and the existing homes need much repair and work required for current building codes.

Criterion 3: The current homes are in grave condition and not ready for use in their present condition.

Criterion 4: The demolition and new structures proposed will maintain and possibly increase the value of the surrounding neighborhood.

Criterion 5: The proposed home will fit in nicely with newer homes and existing older homes of the surrounding neighborhood with its scale and design.

26575 COMMERCE DR. SUITE 607

Volo, IL 60073 Phone: 847.457.2500

WWW.ASPECTIDESIGNING.COM

### 1361 EDGEWOOD RD

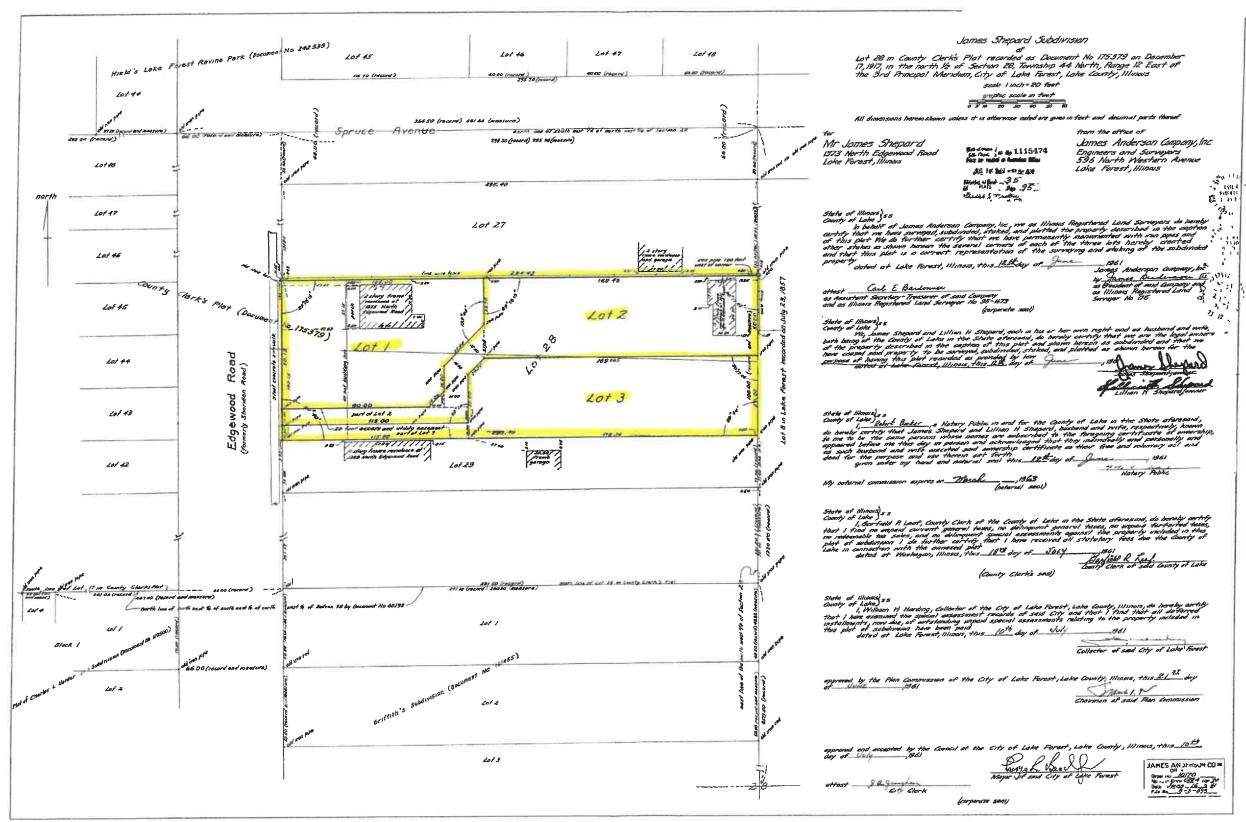


# THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION DESCRIPTION OF EXTERIOR MATERIALS

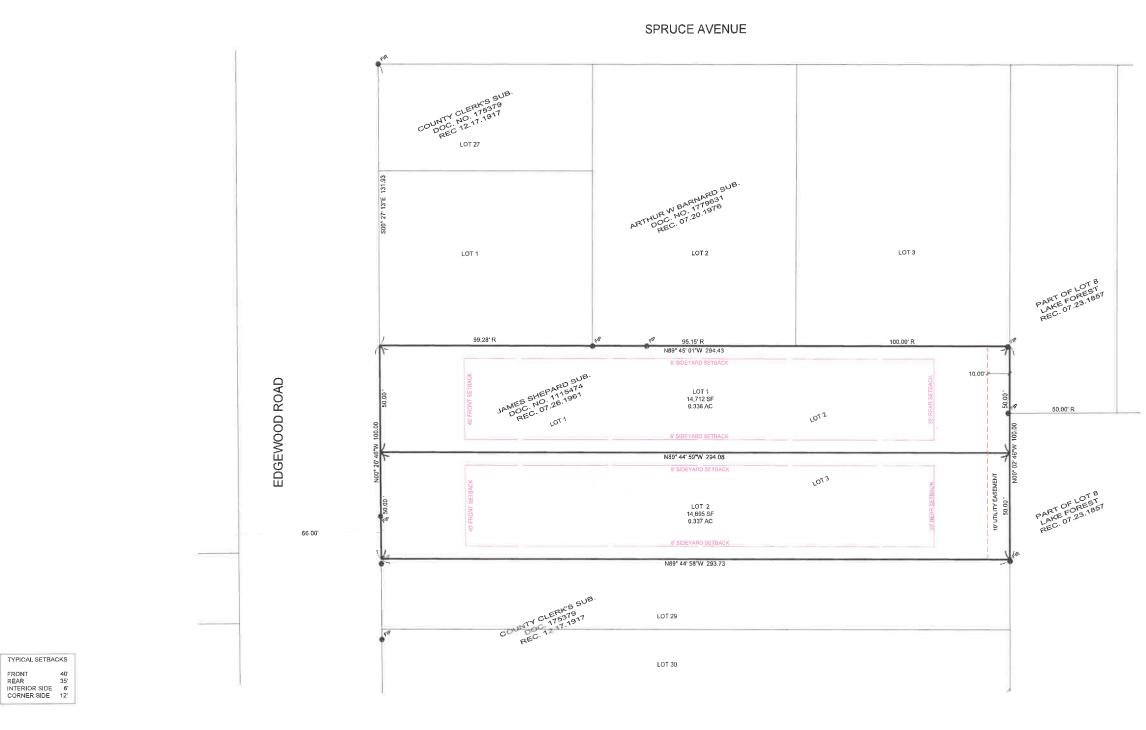
| Façade Material   |  |
|---|--|
| ☐ Stone ☐ Brick ☐ Wood Clapboard Siding ☐ Stucco  Color of Material <b>BENJAMIN MODE</b> :                                    | Wood Shingle ☐ Aluminum Siding ☐ Vinyl Siding ☐ Synthetic Stucco ☐ Other |
| ONYZ 2/33-10  |  |
| Window Treatment  |  |
| Primary Window Type   | Finish and Color of Windows  |
| Double Hung ☐ Casement ☐ Sliding ☐ Other  | ☐ Wood  Aluminum Clad ☐ Vinyl Clad ☐ Other Color of Finish               |
| Window Muntins  |  |
| ☐ Not Provided ☐ True Divided Lites   |  |
| Simulated Divided Lites   |  |
| Interior and Exterior muntin bars Interior muntin bars only Exterior muntin bars only Muntin bars contained between the glass |  |
| Trim Material   |  |
| Door Trim   | Window Trim  |
| ☐ Limestone ☐ Brick  ▼ Wood ☐ Synthetic Material ☐ Other  | □ Limestone □ Brick  ☑ Wood □ Synthetic Material □ Other                 |
| Fascias, Soffits, Rakeboards  |  |
| Wood Other  |  |

# THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

| Chimney M      | atorial   |               |                          |
|----------------|---|---------------|--------------------------|
| <b>X</b>       | Brick Stone Stucco Other  |               | #                        |
| Roofing        |   |               |                          |
| Prim           | ary Roof Material   | Flas          | hing Material            |
|                | Wood Shingles Wood Shakes Slate Clay Tile Composition Shingles Sheet Metal Other of Material Downspouts | □<br><b>□</b> | Copper Sheet Metal Other |
|                | Copper  |               |                          |
| 2              | Aluminum Other  |               |                          |
|                | Ottlei  |               |                          |
| Driveway M     | laterial  |               |                          |
| <b>X</b> 00000 | Asphalt Poured Concrete Brick Pavers Concrete Pavers Crushed Stone Other                                |               |                          |
| Terraces ar    | nd Patios   |               |                          |
|                | Bluestone Brick Pavers Concrete Pavers Poured Concrete  |               |                          |



# 1371 EDGEWOOD ROAD SUBDIVISION BEING A SUBDIVISION OF PART OF THE NORTH HALF OF SECTION 28 TOWNSHIP 44 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS Lot 3 PHI 12-28-106-005 Lot 3 PHI 12-28-106-007 PLAT OF RESUBDIVISION - PENDING RECORDING SPRIJCE AVENIUE



PROJECT NO. 70-1249 DEC. 14, 2021



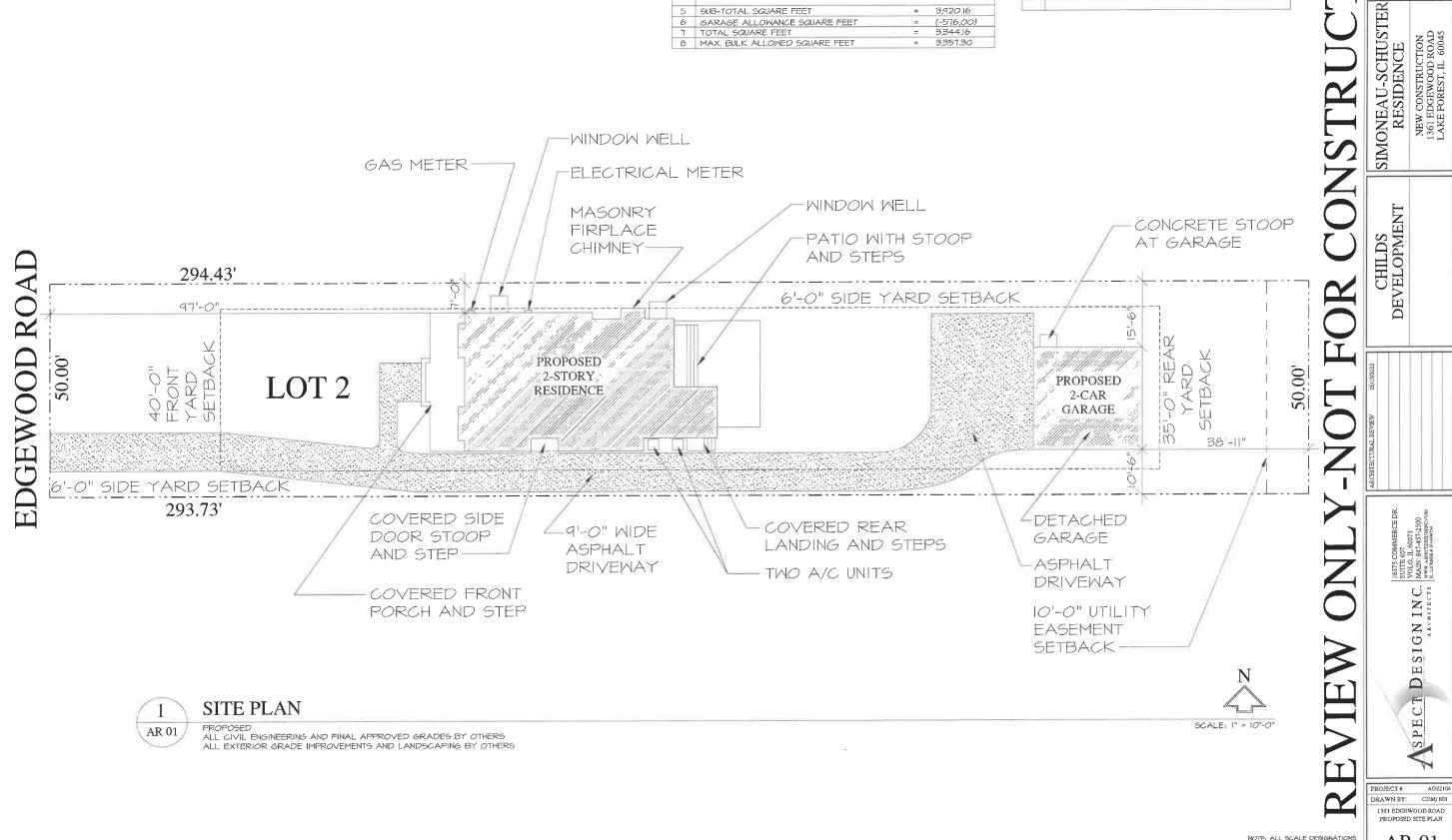
BLECK engineers I surveyors

Bleck Engineering Company, Inc. 1375 North Western Avenue Lake Forest, Illinois 60045 T 847.295.5200 bleckeng.com

ABBREVIATIONS:
m. or meas. = measured
f. or rec. = record
CB = chord bearing
CH = chord length
L = arc length
N = North
S = South
E = East
W = West
SF = square feet

|   | LOT AREA SQUARE FEET = 14         | ,695.00 |           |
|---|-----------------------------------|---------|-----------|
|   | PROPOSED BULK                     |         |           |
| T | FIRST FLOOR SQUARE FEET           | =       | 1,665.60  |
| 2 | SECOND FLOOR SQUARE FEET          | =       | 1,643.00  |
| 3 | ATTIC SQUARE FEET                 | =       | 0.00      |
| 4 | 2-CAR DETACHED GARAGE SQUARE FEET | =       | 612.00    |
| 5 | SUB-TOTAL SQUARE FEET             | =       | 3,920.16  |
| 6 | GARAGE ALLOWANCE SQUARE FEET      | =       | (-576.00) |
| 7 | TOTAL SQUARE FEET                 | =       | 3,344.16  |
|   | MAX. BULK ALLOWED SQUARE FEET     | =       | 3.357.30  |

| Т | FIRST FLOOR SQUARE FEET       | =  | 1,667.62 |
|---|-------------------------------|----|----------|
| 2 | SECOND FLOOR SQUARE FEET      | =  | 1,656.50 |
| 3 | TOTAL SQUARE FEET             | =_ | 3,324.12 |
| 4 | FINISHED BASEMENT SQUARE FEET | =  | 1,508.43 |
| 5 | 2-CAR GARAGE SQUARE FEET      | =  | 612.00   |



# 1 OF 12 TOTAL SHEETS

AR 01



SIMONEAU-SCHUSTER RESIDENCE CHILDS DEVELOPMENT FOR DRAWN BY: COM/ NH

NEW CONSTRUCTION 1361 EDGEWOOD ROAD LAKE FOREST, IL 60045

DESIGN INC.

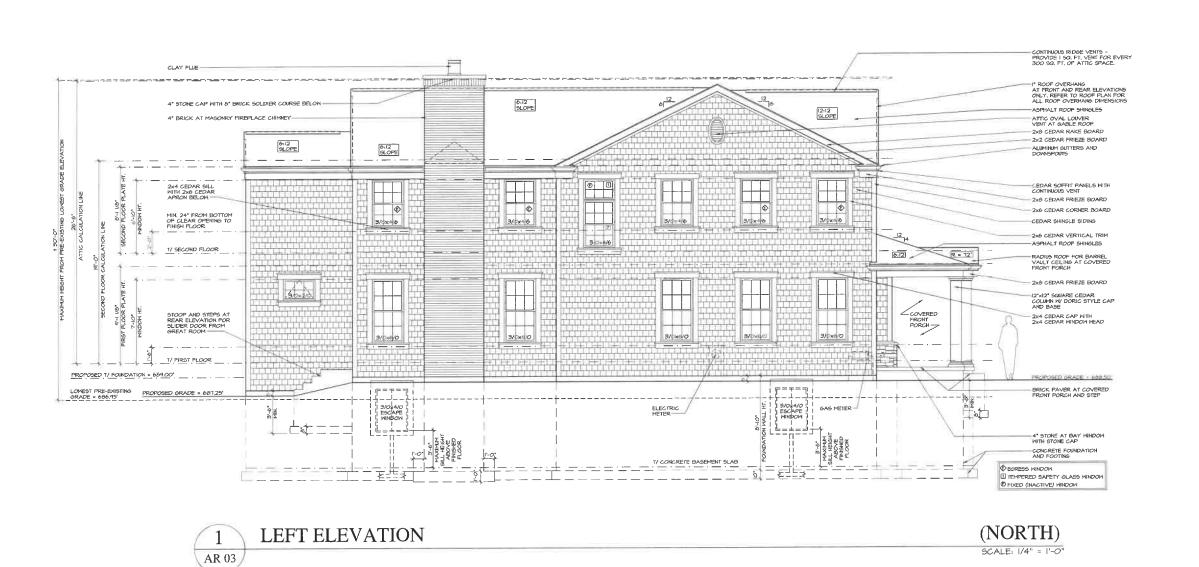
ASPECT I

1361 EDGEWOOD ROAD FRONT ELEVATION

AR 02

NOTE; ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" × 36" SIZE PAPER. (ARCH-D)

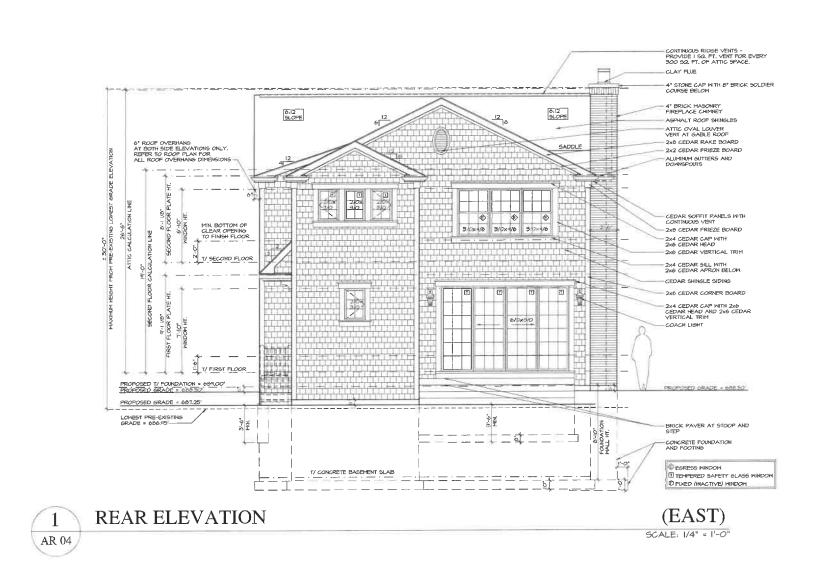
# 2 OF 12 TOTAL SHEETS



SIMONEAU-SCHUSTER RESIDENCE NEW CONSTRUCTION 1361 EDGEWOOD ROAD LAKE FOREST, IL 60045 CHILDS DEVELOPMENT FOR 26575 COMMBRCE DR SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 www.aspertibesigning.com IL LICENSE # IR FOMSS SPECT DESIGNING. DRAWN BY: COM/ NH 1361 EDGEWOOD ROAD LEFT ELEVATION

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER, (ARCH-D)

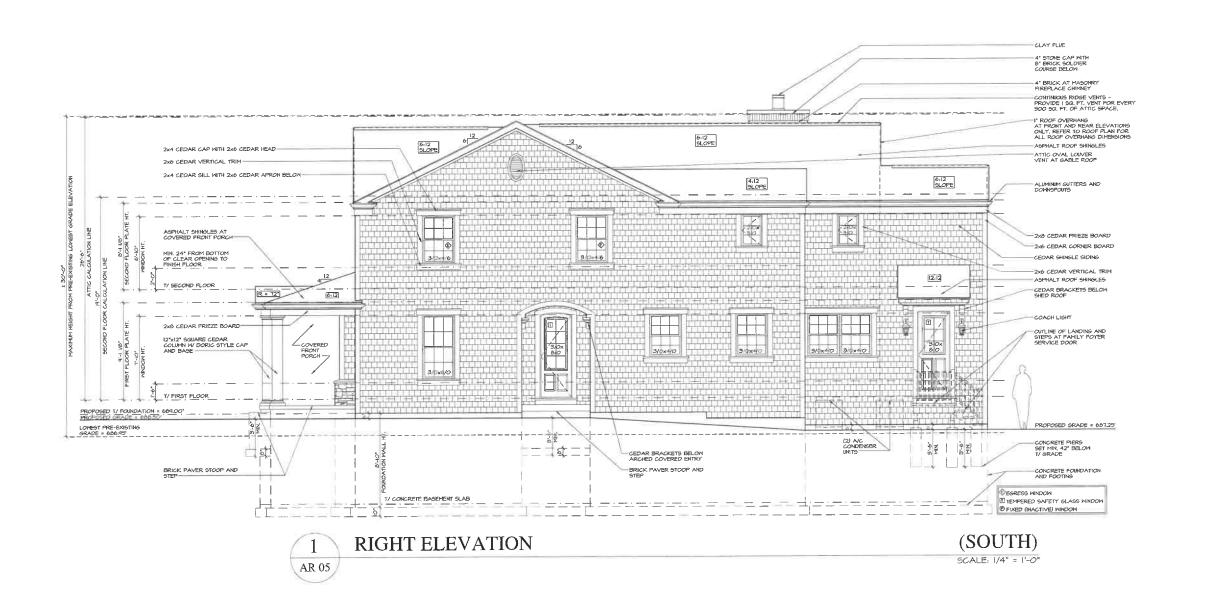
AR 03



SIMONEAU-SCHUSTER RESIDENCE NEW CONSTRUCTION 1361 EDGEWOOD ROAD LAKE FOREST, IL 60045 CHILDS DEVELOPMENT FOR SPECT DESIGNING. AD22104 DRAWN BY: COM/ NH 1361 EDGEWOOD ROAD REAR ELEVATION AR 04

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

# 4 OF 12 TOTAL SHEETS



SIMONEAU-SCHUSTER RESIDENCE CHILDS DEVELOPMENT FOR 26575 COMMERCE DE SUITE 607 VOLO, IL 66073 MANN: 847-457-2500 WWW ASPECTDESIGNING CON L. LICENSES HELOMS SPECT DESIGNING. DRAWN BY: COM/ NH 1361 EDGEWOOD ROAD RIGHT ELEVATION

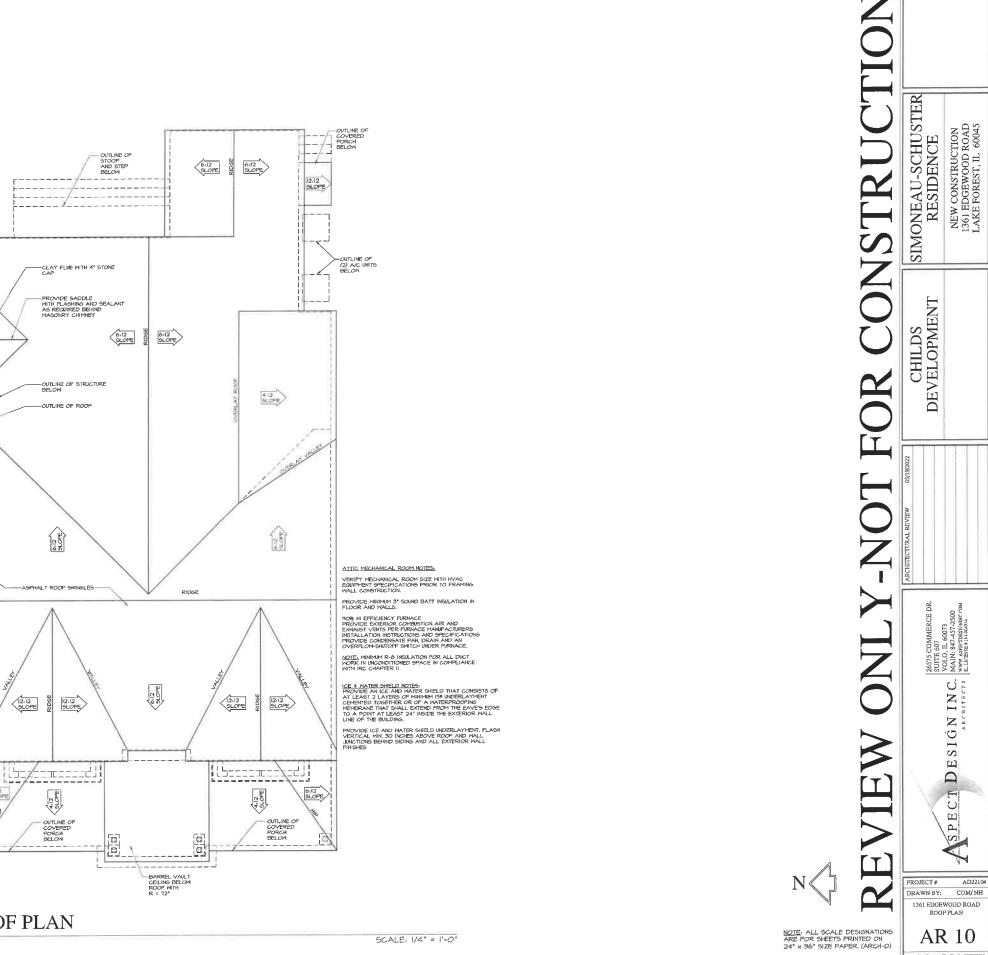
NEW CONSTRUCTION 1361 EDGEWOOD ROAD LAKE FOREST, IL 60045

AD22104

AR 05 # 5 OF 12 TOTAL SHEETS

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)



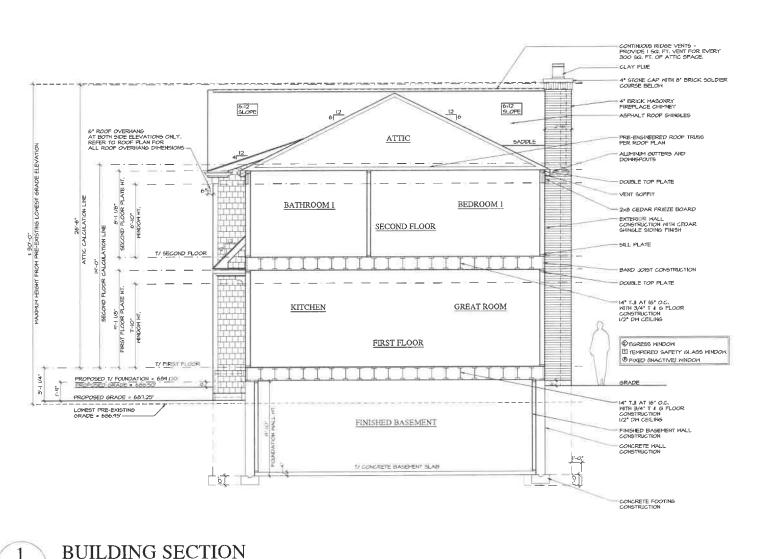


AR 10

**ROOF PLAN** 

Ó

# 10 OF 12 TOTAL SHEETS



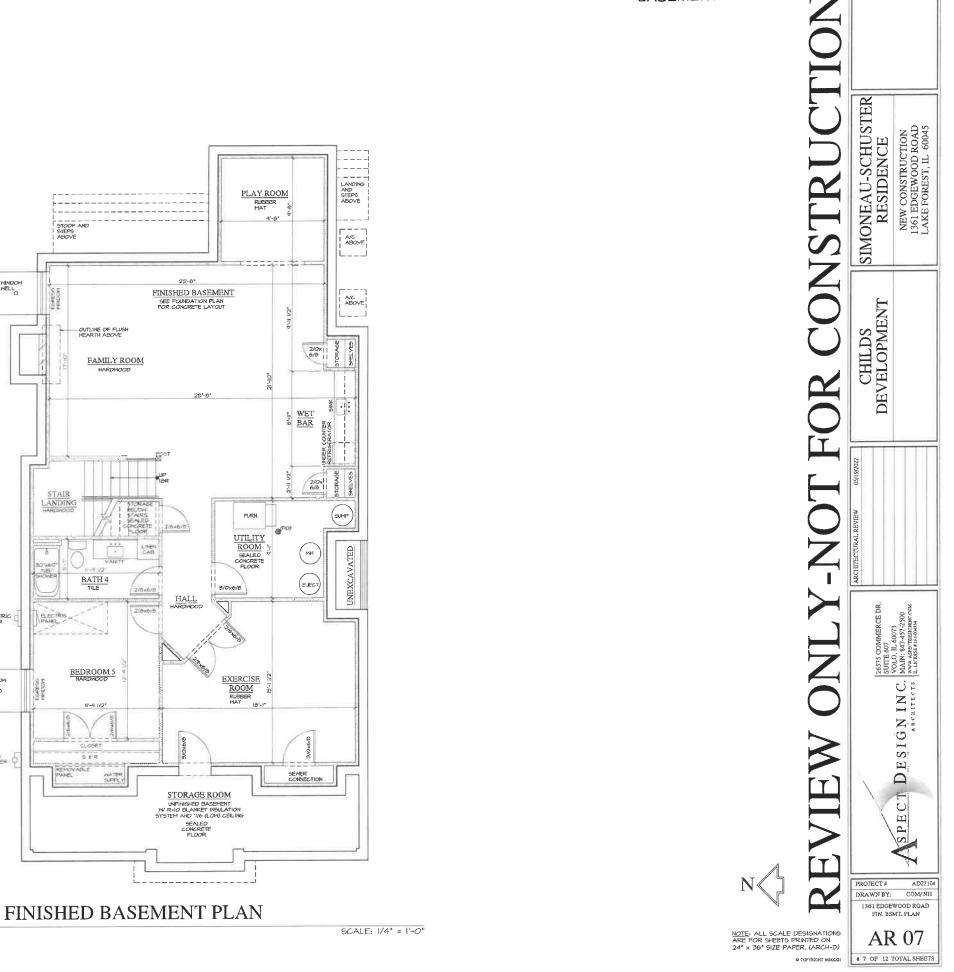
AR 11

SCALE: 1/4" = 1'-0"

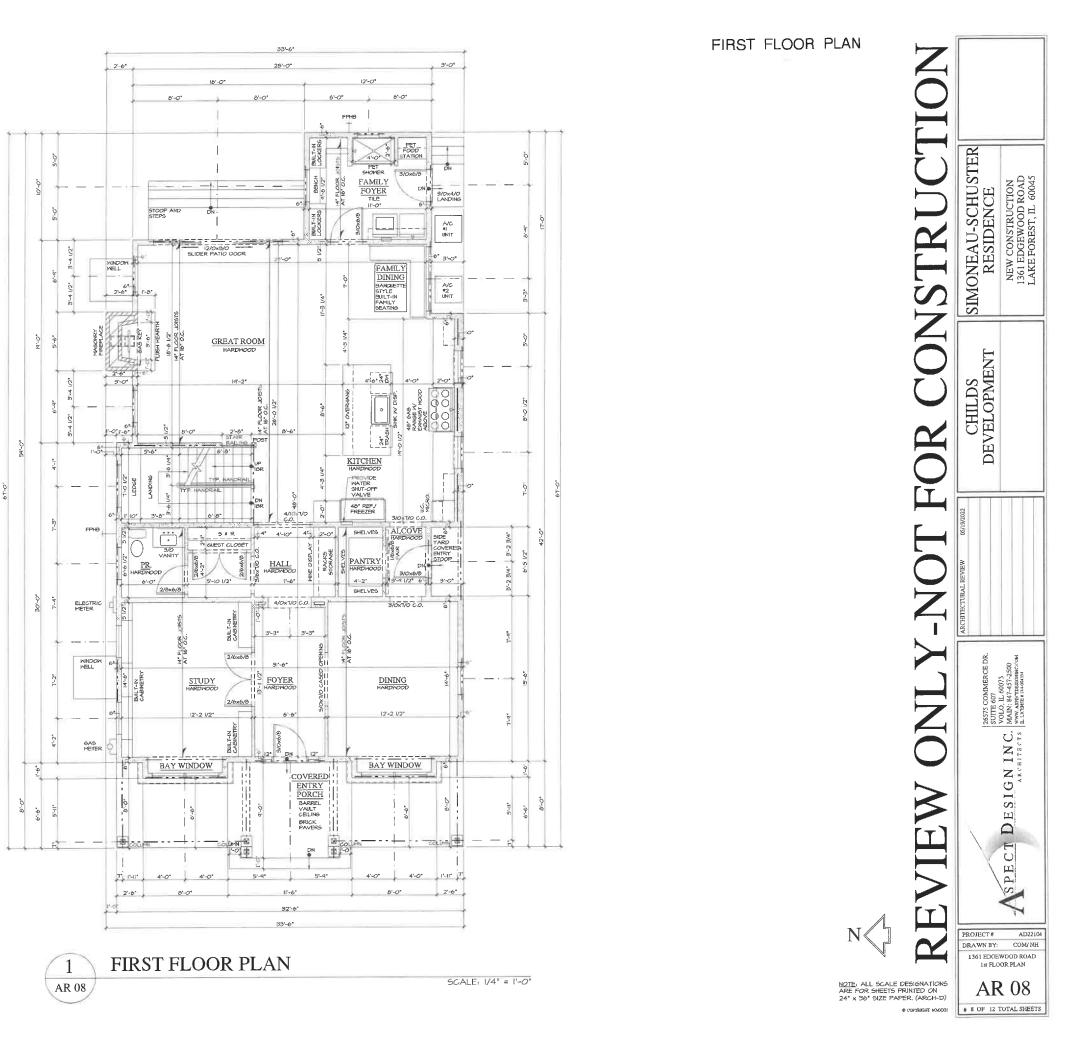
SIMONEAU-SCHUSTER RESIDENCE CHILDS DEVELOPMENT

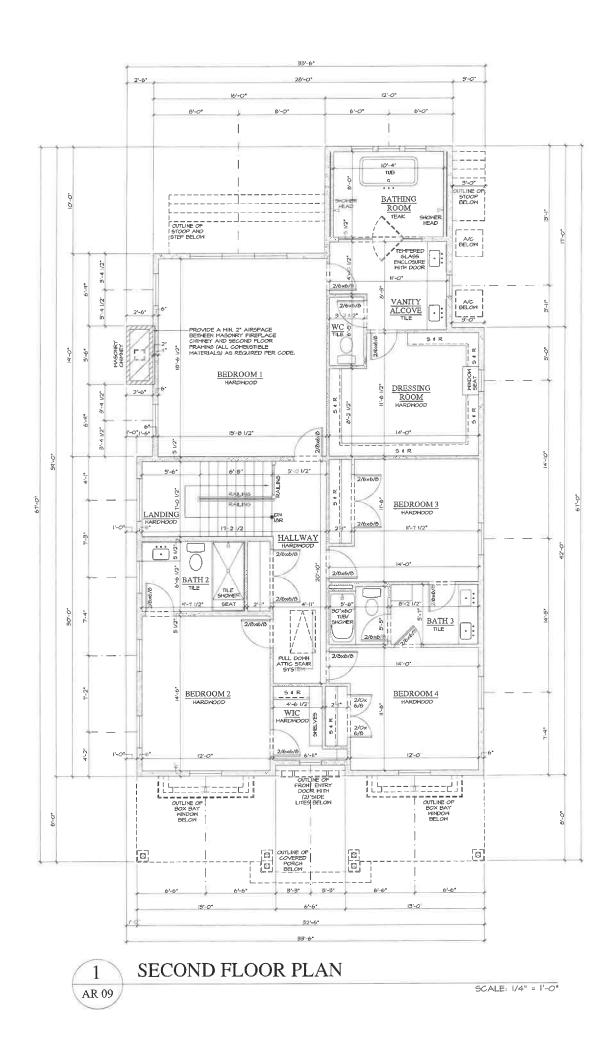
NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" × 36" SIZE PAPER. (ARCH-D)

SPECT DESIGNING. PROJECT# AD22104 DRAWN BY: COM/NH 1361 EDGEWOOD ROAD BUILDING SECTION AR 11 # 11 OF 12 TOTAL SHEETS



AR 07







SIMONEAU-SCHUSTER RESIDENCE

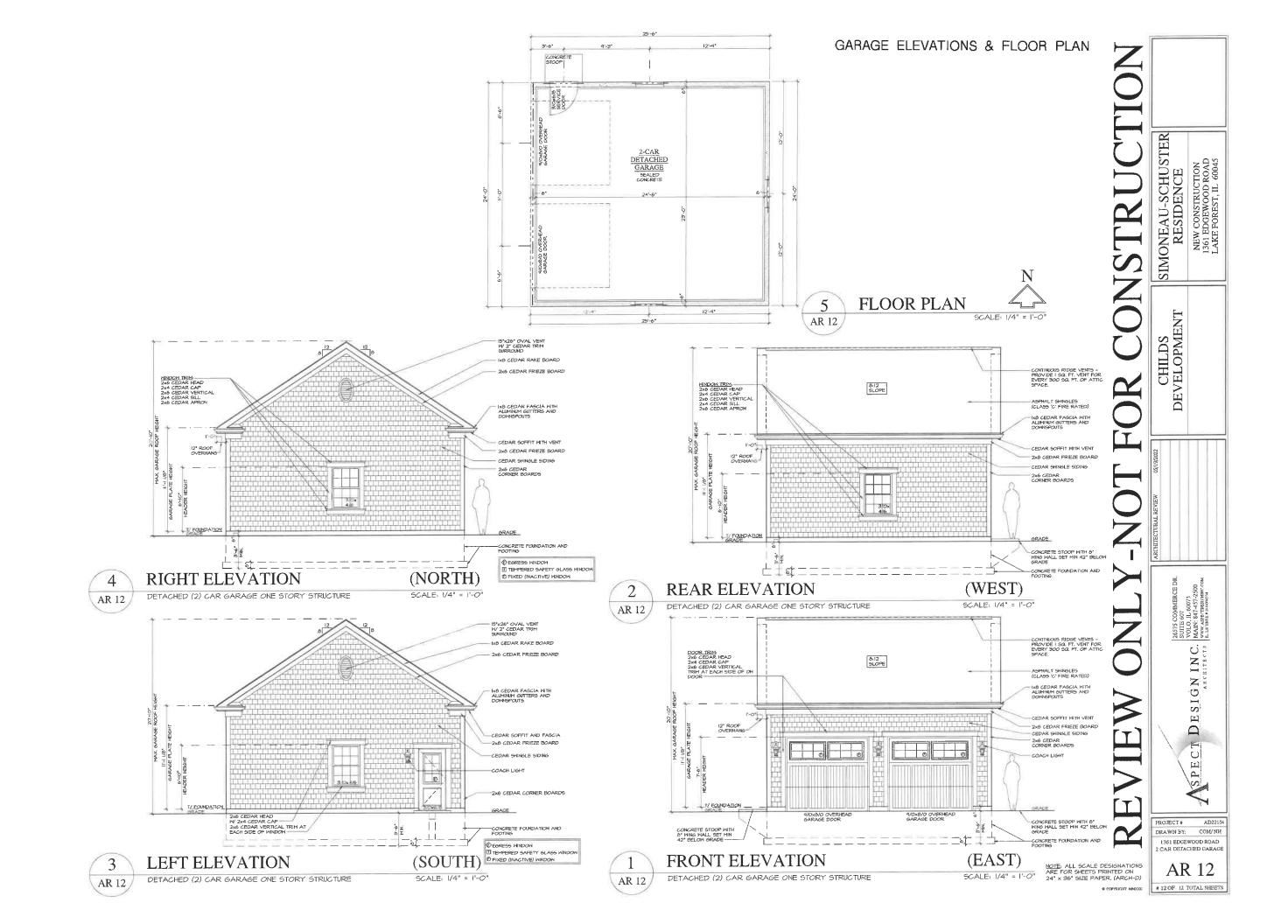
CHILDS DEVELOPMENT

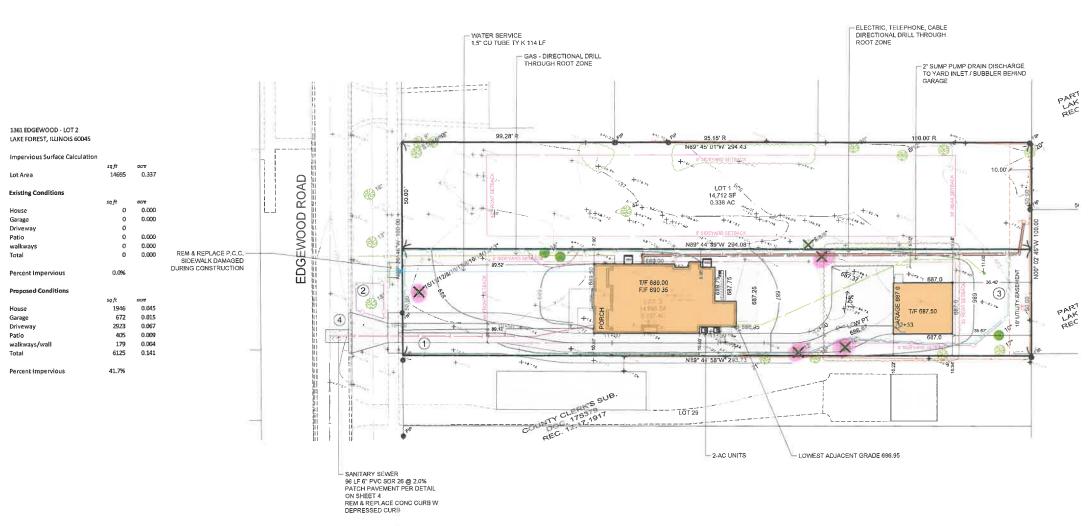
SPECT DESIGNINC. MAIN: 847-457-2500
ARE OF THE GOTS
ARE OF THE

DRAWN BY: COM/NH

1361 EDGEWOOD ROAD 2nd FLOOR PLAN

AR 09





- Downspouts in to splash at grade unless otherwise shown. Provide concrete splash pad at discharge.
   For downspouts tying into sewer system, provide 2" air gap.

1 STABILIZED CONSTRUCTION ENTRANCE

2 TREE PRESERVATION & CONSTRUCTION LIMITS FENCE

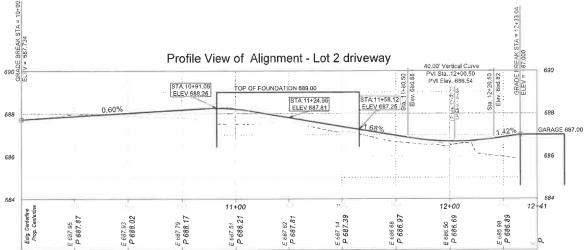
SILT FILTER FENCE 3

ly with AASHTO Standard M 288-00

MUD AND DUST CONTROL 4

TEMPORARY INLET PROTECTION (5)

RESTORATION - SEE LANDSCAPE PLAN 6 Seeding Erosion Control Blanket = North American Green S75



Bleck Engineering Company, Inc. 1375 North Western Avenue Lake Forest, Illinois 60045 T 847.295.5200 W bleckeng.com

1361 Edgewood Sub

Lake Forest, IL



BENCHMARK: ARROW BOLT ON FIRE HYD AT SE CORNER OF EDGEWOOD RD & SPRUCE AVE ELEVATION = 687.33

ALL ELEVATIONS ON THESE PLANS ARE ON CITY OF LAKE FOREST (USGS NAVD 88) DATUM

|   | 04.20,2022 | Permit |
|---|------------|--------|
| Λ | 05.18.2022 | GARAGE |
|   |            |        |
| - |            |        |
| Ħ |            |        |
|   |            |        |
|   |            |        |

## PROFESSIONAL SEAL

PROFESSIONAL SEAL

"To the best of our knowledge and belief,
the drainage of the surface waters will
not be changed by the construction of
this project or any part thereof, or that if
such surface waters drainage will be
changed, reasonable provisions have
been made for the collection and
diversion of such surface waters into
public areas or drains which the
developen has a right to use, and that
such surface waters will be planned for
in accordance with generally accepted
engineering practices so as to reduce
the likelihood of the damage to the
adjoining property because of the
construction of the project."



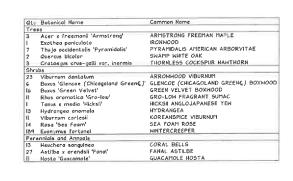
Michael G. Bleck, PE 04.20.2022

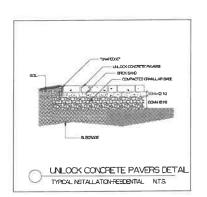
CHILD DEVELOPMENT 222 Wisconsin Ave. Lake Forest, Illinois 60045

70-1249 Project No. Drawn By Drawn By Checked By Checked By

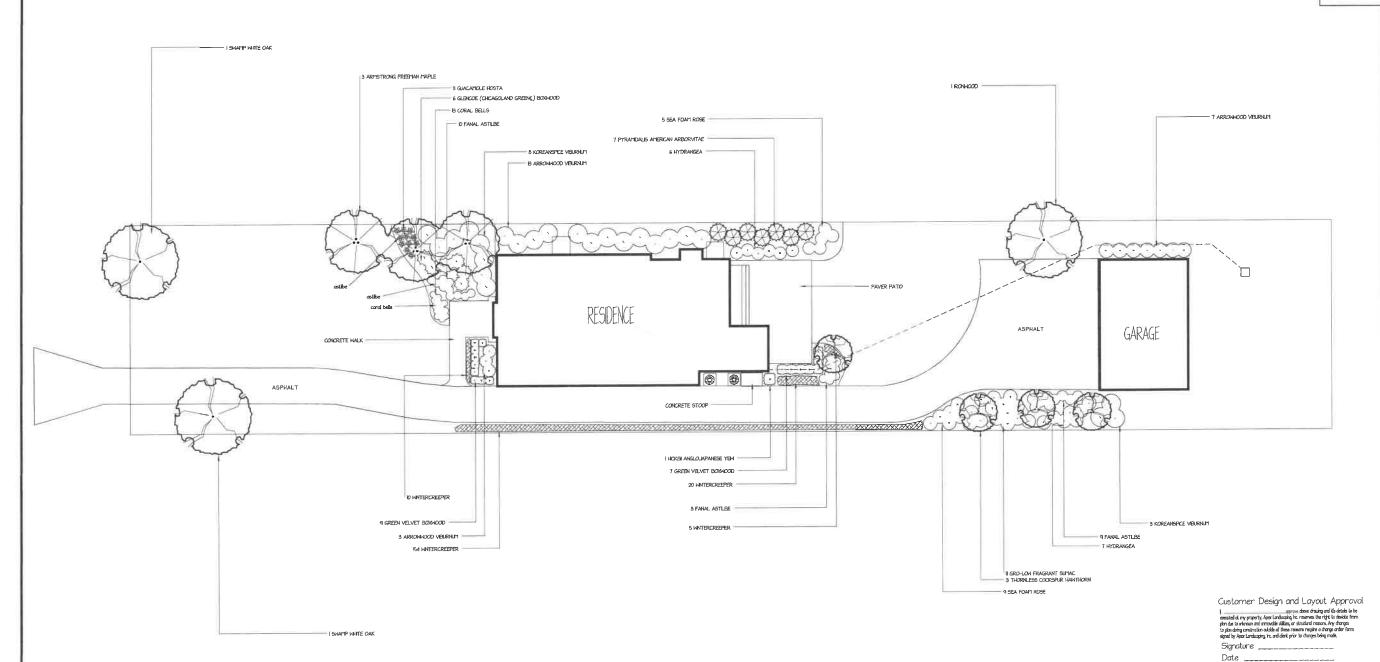
Site Grading Plan

## PRELIMINARY LANDSCAPE PLAN









ATTENTION:

ALL RIGHTS RESERVED. REPRODUCTION OR USE OF THIS DESIGN IN ANY FORM OR BY ANY MEANS WITHOUT NATITHEN PERMISSION OF APPLICANDSCAPING, INC. NULL BE PROSECUTED TO THE PULLEST EXTENT OF THE LAW

> 1361 EDGEWOOD LAKE FOREST LLNOS

| REVI | SIONS |  |
|------|-------|--|
| 1,   |       |  |
| 2    |       |  |
| 3    |       |  |
| 4    |       |  |
| 5    |       |  |
| 6    |       |  |
| 7    |       |  |
| 8    |       |  |
| 9    |       |  |
| 10   |       |  |

Drawn By: BA

Approved By:

Date: APRL 25, 2022

Project No:

Scale | | = |0 - 0 |