

Agenda Item 3
435 Oak Knoll Drive
New Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Proposed Site Plan
West (Front) Elevation
North Elevation
East Elevation
South Elevation
Roof Plan
Building Section
Color Rendering
Basement Floor Plan
First Floor Plan
Second Floor Plan
Preliminary Site Grading & Drainage Plan
Tree Inventory
Preliminary Landscape Plan

Supplemental Materials

Subdivision Map – Previously Approved Residences
Previous Board Approvals

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

435 Oak Knoll Drive

Consideration of a request for approval of a new residence, an attached garage, tree removal plan, a conceptual landscape plan and the overall site plan.

Property Owner/Developer: Fidelity Wes of Oak Knoll LLC (Mike DeMar, 100%)

Contract Purchasers: John and Mindy Rittner

Project Representative: Rick Swanson, architect

Staff Contact: Jen Baehr, Planner

Summary of Request

This is a request for approval of a new single family residence and attached garage on a vacant lot. Board consideration of the overall site plan and landscape plan is also requested.

Description of Property

The property is located on the east side of Oak Knoll Drive. The property is Lot 3 in the Oak Knoll Woodlands subdivision. The property totals 33,532 square feet. As established by the Plat of Subdivision there is a drainage and conservation easement at the rear of the property that ranges from 70 feet wide on the south end to 60 feet wide on the north end.

To date, the Board has approved petitions for new residences on a total of 11 lots in this 16 lot subdivision. The petition currently presented to the Board was submitted by the developer on behalf of the contract purchasers.

Note: The contract purchasers are advised that critical infrastructure for the subdivision has not yet been completed by the developer. However, the City is willing to grant an exception to standard procedures and work with contract purchasers to advance review of the proposed residence and issue permits to allow construction of the home to begin subject to the homeowner and the developer signing an Acknowledgment that no Certificates of Occupancy can be issued until the critical infrastructure is completed, inspected and determined to be acceptable by the City.

Review and Evaluation of Applicable Standards from the City Code

Below is a review of the standards outlined in the City Code for the Board's consideration.

Site Plan – This standard is not fully met.

The proposed residence faces west toward the street and is sited at an angle on the property following the curve of the street. The attached garage faces north. A paver patio is proposed at the rear of the home. A single curb cut is proposed generally at the center of the property and the driveway winds through the front yard to the north side of the house to access the garage.

The site plan and information submitted by the petitioner shows that the amount of impervious surface on the site totals 6,089 square feet and is equal to 18.2 percent of the lot area. The building footprint is 2,860 square feet, and hardscape and driveway together total 3,229 square feet.

The contract purchasers and architect stated that their intent was to develop a site plan that preserves as many trees as possible on the site. The home is proposed between trees on each side of the house. This approach to try and fit the home between the trees results in the home being very close to many trees on both sides of the house. As a result, many of the trees outside of the building

and driveway footprints, are likely to be negatively impacted due to the close proximity of the proposed residence and driveway and as a result of construction activity. In a three to five year time span, many trees are likely to be lost on the site. In the opinion of the City's Certified Arborist, the site plan should be studied and modified to increase the likelihood that the healthiest and highest quality trees will survive the construction of the home. To achieve that goal, it may be necessary to remove more of the lower quality trees and trees that are in decline. The higher quality, healthy trees are primarily located in the front yard and on the northeast side of the site. Consideration should be given to flipping the house and driveway and shifting the house slightly further back on the site to give the higher quality healthy trees on the site best chance of survival.

As discussed during previous meetings in the consideration of other homes in this subdivision, it is important that from the start of the design process the design team should work to develop site plans that are sensitive to the specific conditions of each property. Engaging a Certified Arborist and licensed engineer early in the process will help to expedite reviews of the plans.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,677 square feet is permitted on the site. In addition, a garage of up to 600 square feet is permitted along with up to 468 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as single dormers and porches.

- The proposed residence totals 4,156 square feet.
- The proposed garage totals 665 square feet; the excess square footage of the garage is counted toward the overall square footage of the house.
- In addition to the above square footage, a total of 36 square feet of design elements are incorporated into the design of the house.
- In total, the residence is 521 square feet below the maximum allowable square footage.

At the maximum height, the residence is 35'-4" tall as measured from the lowest point of existing grade adjacent to the home to the tallest roof peak. The maximum height allowed for this lot is 40 feet.

Elevations – This standard is met.

Based on information provided in the petitioner's statement of intent, the proposed residence is inspired by the architecture of classic English Manors. The residence presents a primary two story mass with smaller masses that step down from the main mass on the north side of the home. The residence features steeply pitched gable and hip roof forms. The home presents elements common to English manor homes including brick exterior walls, half-timbering, tall narrow openings, and a large chimney with decorative brickwork.

Type, color, and texture of materials – This standard is generally met.

The exterior walls of the home will be brick with some stucco areas with half-timbering detailing. The entry element on the front of the home will be clad in stone. The sunroom on the rear of the home will have wood paneling between openings. The main roof material is proposed as a synthetic product that is textured. The bay window will have a copper roof. Wood will be used for the window headers, fascia, rakeboards and soffits. The window and door trim will be limestone. The rear balcony railing is wood. Aluminum clad wood windows with exterior and interior muntin bars are proposed. Aluminum gutters and downspouts are proposed. The chimney is brick with a clay chimney pot.

During last month's meeting, the Board approved the use of a synthetic roof material in the subdivision for the home at 415 Oak Knoll Drive, the home directly north of this property. All the other homes approved by the Board to date in the subdivision have wood shingle roofs.

Like the home at 415 Oak Knoll Drive, this home as currently presented, commits to using many high quality, natural materials. However, this developer has approached staff and the Board in the past, after approvals have been granted and permits issued, with a request for changes in materials and design elements of the houses after the fact. So, it will be important that if the Board is supportive of the synthetic roof material in this case, that it be conditioned on the developer and contract purchasers following through with the high-quality natural materials reflected on the plans presented to and approved by the Board.

Landscaping - This standard can be met.

As currently proposed, a total of five trees are proposed for removal on the site. Two of the trees proposed for removal are dead and will not require replacement inches. The trees proposed for removal consist of White Oak, Red Oak, Shagbark Hickory, Elm and Ash trees. Out of the healthy trees proposed for removal, two trees are identified as Heritage trees due to their size being greater than 18 inches in diameter. Based on the size, species, and conditions of the trees currently proposed for removal there is a total of 62 required replacement inches. As noted above, the site plan as proposed will likely impact additional trees that are not currently included as part of the proposed removals. Additional replacement inches will be required as impacts on other trees are observed.

The landscape plan submitted by the petitioner reflects shrub and ornamental plantings around the foundation of the home as well as a number of shade and evergreen trees across the site. A row of arborvitae is proposed along the north side of the driveway for screening. The landscape plan as submitted meets the minimum landscaping requirements for new residential construction and the required replacement inches as currently anticipated.

Because additional study of the site plan is needed, the tree removals and required replacement inches for trees removed on the site may change depending on the site plan that is ultimately approved. Once a site plan is finalized, the required replacement inches will be recalculated, and a detailed landscape plan will be required and will be subject to review and approval by the City once it is determined that the plan satisfies the required replacement inches and complies with good forestry practices.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Recommend approval of the residence, attached garage, and overall site plan based on the findings presented in this staff report and as they may be further detailed during the Board's deliberations. Staff recommends approval subject to the following conditions of approval.

1. The site plan shall be modified in consultation with the petitioner's and the City's Certified Arborist, with the goal of increasing the chances of preserving the most

desirable and healthy trees on the site. The revised site plan shall be subject to review and approval by City staff and the City's Certified Arborist in consultation with the Chairman. If a satisfactory site plan cannot be reached the petition may be returned to the Board for further review.

2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. The final landscape shall include, but not be limited to, all required replacement tree inches to account for trees removed and shall meet the minimum landscaping standards for new residences detailed in the Code, including ground cover, mid-level and canopy trees and evergreens across the site.
4. If determined to be necessary by the City's Certified Arborist, any declining or damaged parkway trees shall be removed and replaced by the developer prior to the issuance of a Certificate of Occupancy for this property.
5. The final grading and drainage plan shall demonstrate that the project is consistent with the applicable Code requirements and will be subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices, properly direct drainage and mitigate off site impacts.
6. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist. In addition, a maintenance plan, including pre and post construction treatment for trees to be preserved must be submitted.
7. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, *except those illuminated by natural gas at low light levels*, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
8. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.
9. The construction site shall be maintained in a neat and orderly fashion. Debris must be removed from the site on a daily basis and the street must be regularly cleaned to eliminate caking mud.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 435 Oak Knoll Drive Owner(s) Fidelity Wes of Oak Knoll LLC

Representative: Rick Swanson, architect Reviewed by: Jen Baehr

Date 4/6/2022

Lot Area 33532 sq. ft.

Square Footage of New Residence:

1st floor 2036 + 2nd floor 1536 + 3rd floor 519 = 4091 sq. ft.

Design Element Allowance = 468

Total Actual Design Elements = 36 Excess = 0 sq. ft.

Garage 665 sf actual ; 600 Excess = 65 sq. ft.

Garage Width 22'- 0" *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 4156 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 4677 sq. ft.

DIFFERENTIAL = -521 sq. ft.
Under Maximum

Allowable Height: 40 ft. Actual Height 35'- 4" ft.

NET RESULT:

521 sq. ft. is

11.00% under the
Max. allowed

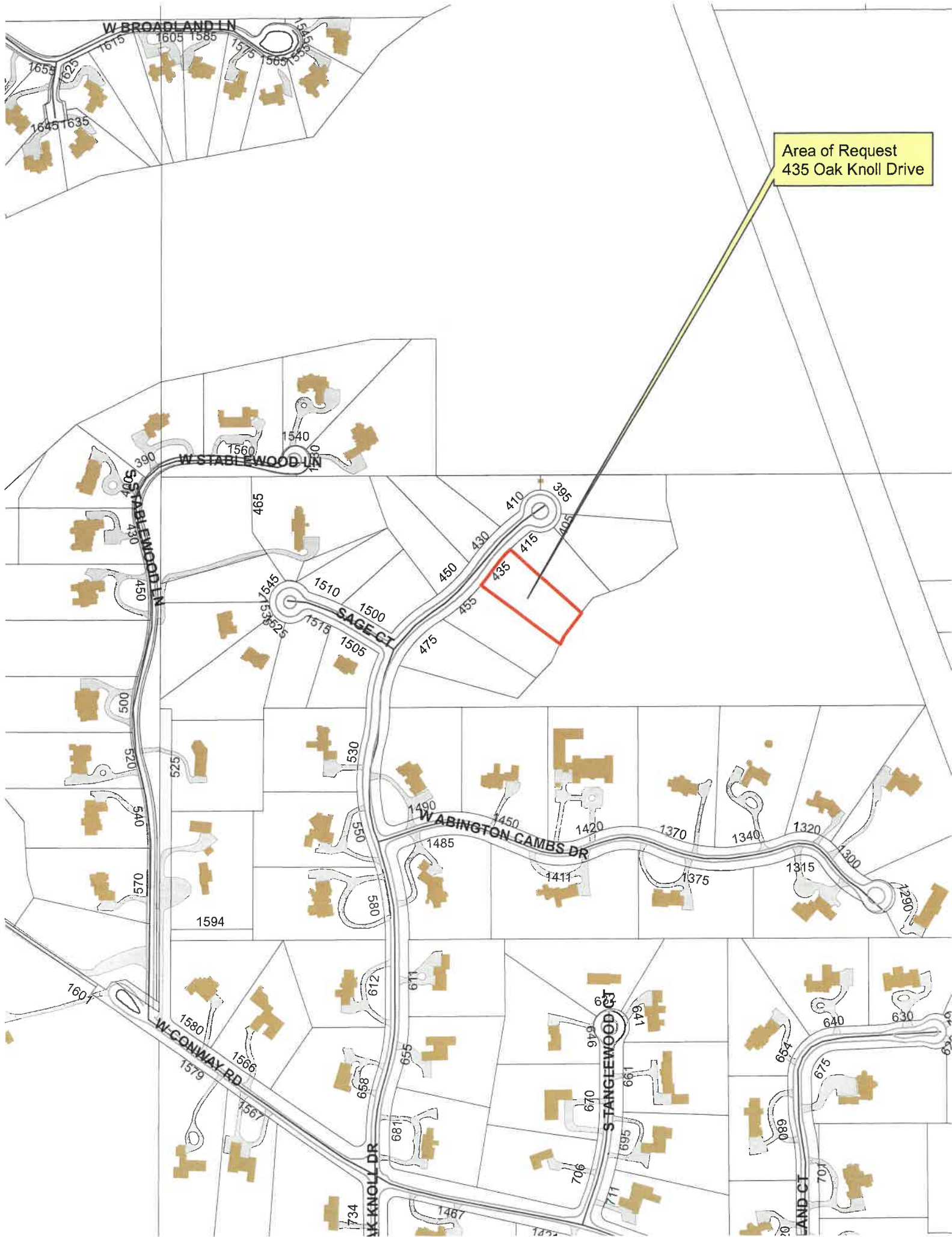
DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 455 sq. ft.

Front & Side Porches = 0 sq. ft.
Rear & Side Screen Porches = 0 sq. ft.
Covered Entries = 36 sq. ft.
Portico = 0 sq. ft.
Porte-Cochere = 0 sq. ft.
Breezeway = 0 sq. ft.
Pergolas = 0 sq. ft.
Individual Dormers = 0 sq. ft.
Bay Windows = 0 sq. ft.

Total Actual Design Elements = 36 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request
435 Oak Knoll Drive

Area of Request
435 Oak Knoll Drive





Area of Request
435 Oak Knoll Drive



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 435 Oak Knoll Drive

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

Fidelity Wes of Oak Knoll, LLC
Owner of Property

201 Robert Parker Coffin Road
Owner's Street Address (may be different from project address)

Long Grove, IL 60047
City, State and Zip Code

847 940-8696
Phone Number

Fax Number

mike@fidelitywes.com
Email Address


Owner's Signature

ARCHITECT/BUILDER INFORMATION

Rick Swanson AIA, NCARB
Name and Title of Person Presenting Project

R. M. Swanson Architects PC
Name of Firm

11418 E Mission Ln.
Street Address

Scottsdale, AZ 85259
City, State and Zip Code

847 757-3975
Phone Number

Fax Number

rick@rmswanson.com
Email Address


Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.		
<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name Mike Demar, President	Name _____
Address 201 Robert Parker Coffin Road Long Grove, IL 60047	Address _____
Ownership Percentage 100 %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %



11418 E Mission Ln.
Scottsdale, AZ 85259
(847) 757-3975

Jennifer Baehr
The City of Lake Forest
Community Development Department
800 N. Field Drive
Lake Forest, IL 60045

February 24, 2022

Re: The Rittner Residence

Ms. Baehr,

We are respectfully requesting the Building Review Boards consideration and approval of the planned two-story residence for John and Mindy Rittner on Lot #3 in Oak Knoll Woodlands subdivision. The proposed architectural vernacular embraces the Classic English Manor style found throughout the English countryside. Roof forms are generally comprised of steep gables with clipped second floor ceilings to bring the mass closer to the ground. The primary cladding is warm reddish brown face brick with cut limestone trim and a monumental entrance of ashlar field stone. The roof will be Da Vinci composite slate (European), which replicates the color, shape and patina of real slate. This is also an appropriate for the style and complimenting exterior material selections proposed for this home.

The proposed exterior materials will be as follows:

Roof: Da Vinci Composite Slate (European)

Brick Veneer: Glen Gery (Marquette) with regular mortar

Stone Veneer: Buechel Fond Du Lac (Country Squire) with regular mortar

Stucco: Hand Troweled texture (Grayish buff tone)

Stone Trim: Smooth cut limestone

Windows: SDL aluminum clad casement (Iron Ore)

Exposed flashings: Copper

Exterior Trim: cedar (Sherwin Williams Iron Ore SW 7069)

Porch and Steps: Brick pavers

Front Door: Painted Insulated (Walnut Brown)

Gutters & Downspouts: Seamless aluminum (Norandex bronze)

Garage Doors: Insulated fiberglass overhead door (natural stained walnut)

We appreciate this opportunity to present the proposed Rittner residence at the scheduled April BRB meeting. Please let me know if you should have any questions or further information and thank you for your assistance in processing this application.

Respectfully,

A handwritten signature in black ink, appearing to read "Rick Swanson", followed by a horizontal line.

Rick Swanson AIA, NCARB
R.M. Swanson Architects PC



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☒ Stone
☒ Brick
☐ Wood Clapboard Siding
☒ Stucco

Reddish Brown face brick &

Color of Material Buff Gray ashlar Limestone

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish Pella "Iron Ore"

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☒ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☒ Composition Shingles _____
- ☐ Sheet Metal _____
- ☒ Other Synthetic Product

Flashing Material

- ☒ Copper
- ☐ Sheet Metal _____
- ☐ Other _____

Color of Material Bluish grey w/ patina

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☒ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☒ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____

CUSTOM RESIDENCE
435 OAK KNOLL DRIVE
LAKE FOREST, IL 60045

LOT AREA:	33,532 S.F.
PROPOSED BULK	
FIRST FLOOR:	2,015.73 S.F.
GARAGE:	663.34 S.F.
SECOND FLOOR:	1,814.28 S.F.
GARAGE ATTIC:	245.62 S.F.
SECOND FLOOR ATTIC:	517.31 S.F.
SUBTOTAL:	5,261.28 S.F.
GARAGE ALLOWANCE:	-600.00 S.F.
TOTAL:	4,661.28 S.F.
MAX. BULK ALLOWED:	4,676.60 S.F.
UNDER:	15.32 S.F.

REVIEW	01/28/2022
REVIEW	02/01/2022
REVIEW	02/04/2022
REVIEW	02/07/2022
REVIEW	02/08/2022
REVIEW	02/18/2022
REVIEW	02/24/2022
REVIEW	03/08/2022

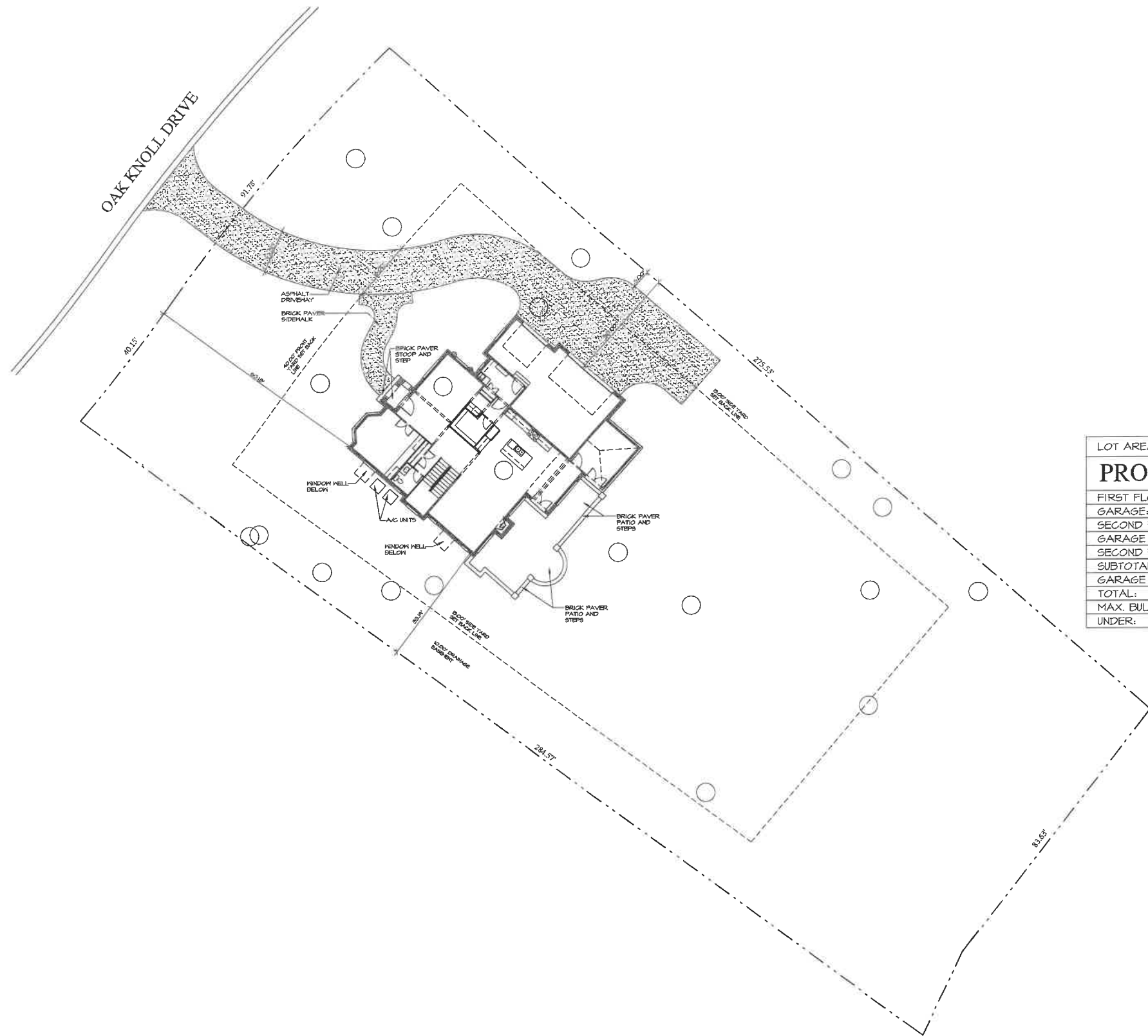
26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL LICENSE # 184-004354

ASPECT DESIGN INC.
ARCHITECTS

PROJECT #	AD21187
DRAWN BY:	COM / ME
<p align="center">RITTNER RESIDENCE SITE PLAN</p>	

AR 01

© COPYRIGHT 1990!

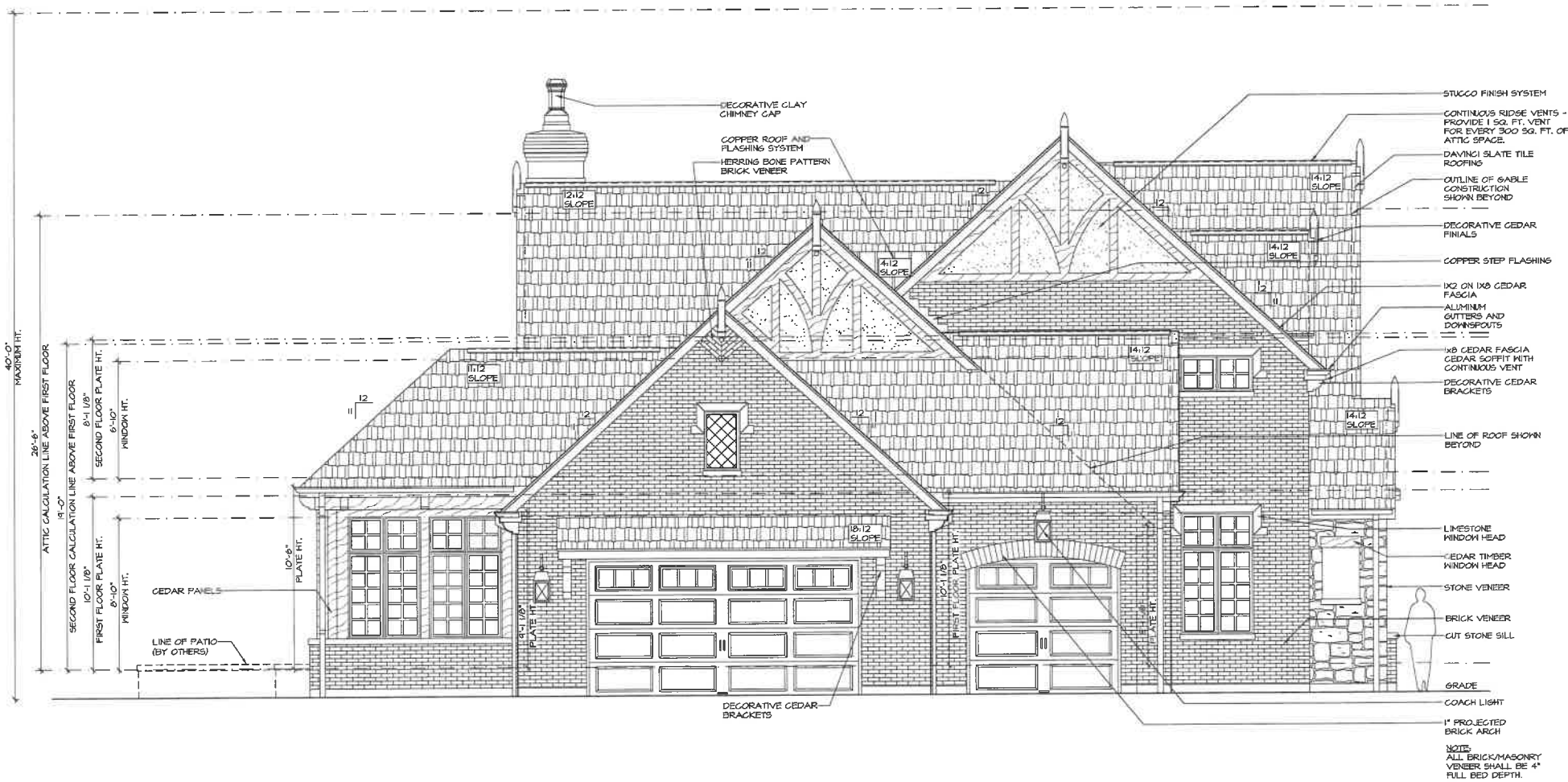


NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER (ARCH-D)

SCALE: 1"=15'-0"

1
AR 01

SITE PLAN



1 LEFT ELEVATION (NORTH)
AR 05

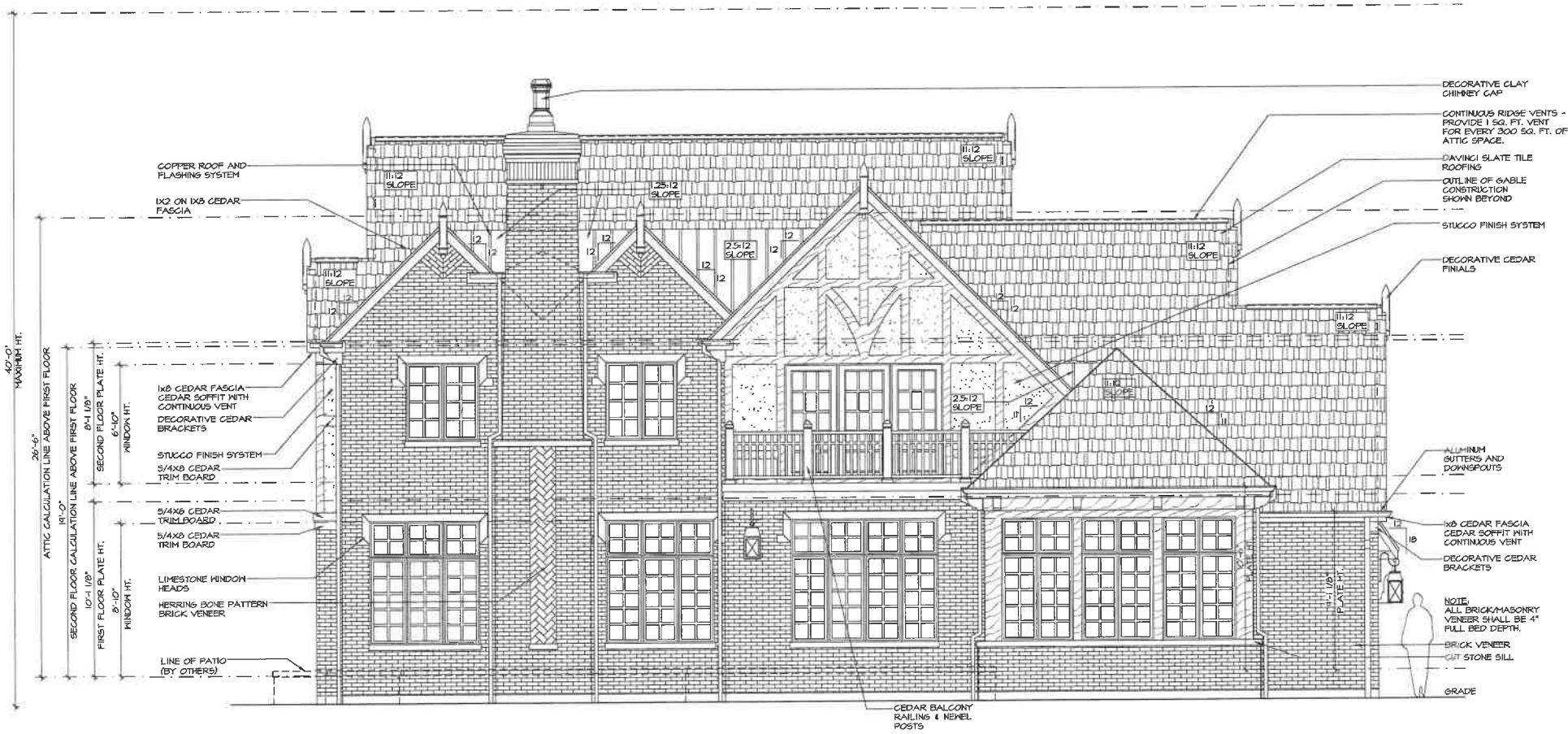
SCALE: 1/4"=1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

RITTNER RESIDENCE CUSTOM RESIDENCE 435 OAK KNOLL DRIVE LAKE FOREST, IL 60045	
RM SWANSON ARCHITECTS 11418 E MISSION LN. #47755975 SCOTTSDALE, ARIZONA rds@mswanson.com	
01/26/2022 REVIEW	02/01/2022 REVIEW
02/01/2022 REVIEW	02/04/2022 REVIEW
02/07/2022 REVIEW	02/08/2022 REVIEW
02/18/2022 REVIEW	02/24/2022 REVIEW
03/08/2022 REVIEW	
26575 COMMERCE DR. SUITE 607 Volo, IL 60073 MAIN: 847-437-2500 FAX: 847-437-1840 WWW.ASPECTDESIGNINC.COM	
ASPECT DESIGN INC. ARCHITECTS	
PROJECT #	AD21187
DRAWN BY:	COM/MB
RITTNER RESIDENCE EXTERIOR ELEVATIONS	
AR 05	
# 5 OF 11 TOTAL SHEETS	

REVIEW ONLY-NOT FOR CONSTRUCTION



1 REAR ELEVATION (EAST)
AR 04

SCALE: 1/4"=1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

© COPYRIGHT 2022

PROJECT #AD21187
DRAWN BY:COM / MB
RITTNER RESIDENCE
EXTERIOR ELEVATIONS
AR 04
4 OF 11 TOTAL SHEETS

ASPECT DESIGN INC.
ARCHITECTS
26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL: 001001414-00000001

REVIEW	01/26/2022	02/01/2022
REVIEW		02/04/2022
REVIEW		02/07/2022
REVIEW		02/08/2022
REVIEW		02/10/2022
REVIEW		02/24/2022
REVIEW		03/08/2022

RM
SWANSON
ARCHITECTS
11418 E MISSION LN.
SCOTTSDALE, ARIZONA
847-757-3975
rsk@mswanson.com

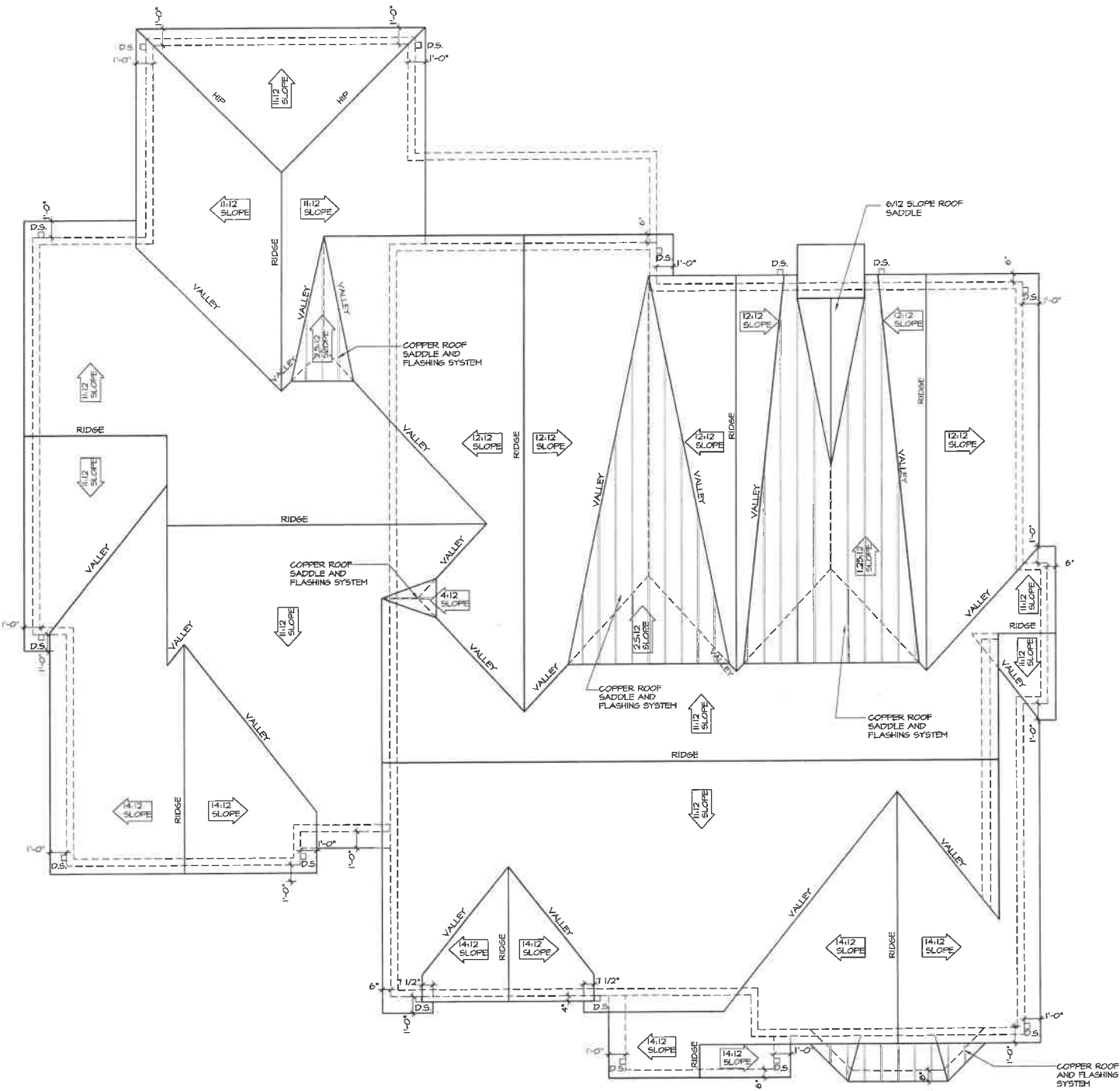
RITTNER
RESIDENCE
CUSTOM RESIDENCE
435 OAK KNOLL DRIVE
LAKE FOREST, IL 60045

REVIEW	01/24/2022
REVIEW	02/01/2022
REVIEW	02/04/2022
REVIEW	02/07/2022
REVIEW	02/08/2022
REVIEW	02/18/2022
REVIEW	02/24/2022
REVIEW	03/08/2022

PROJECT #	AD21187
DRAWN BY:	COM/MB
RITTNER RESIDENCE EXTERIOR ELEVATIONS	
<h1>AR 03</h1>	
# 3 OF 11 TOTAL SHEETS	



NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER. (ARCH-D)



1
AR 10 ROOF PLAN

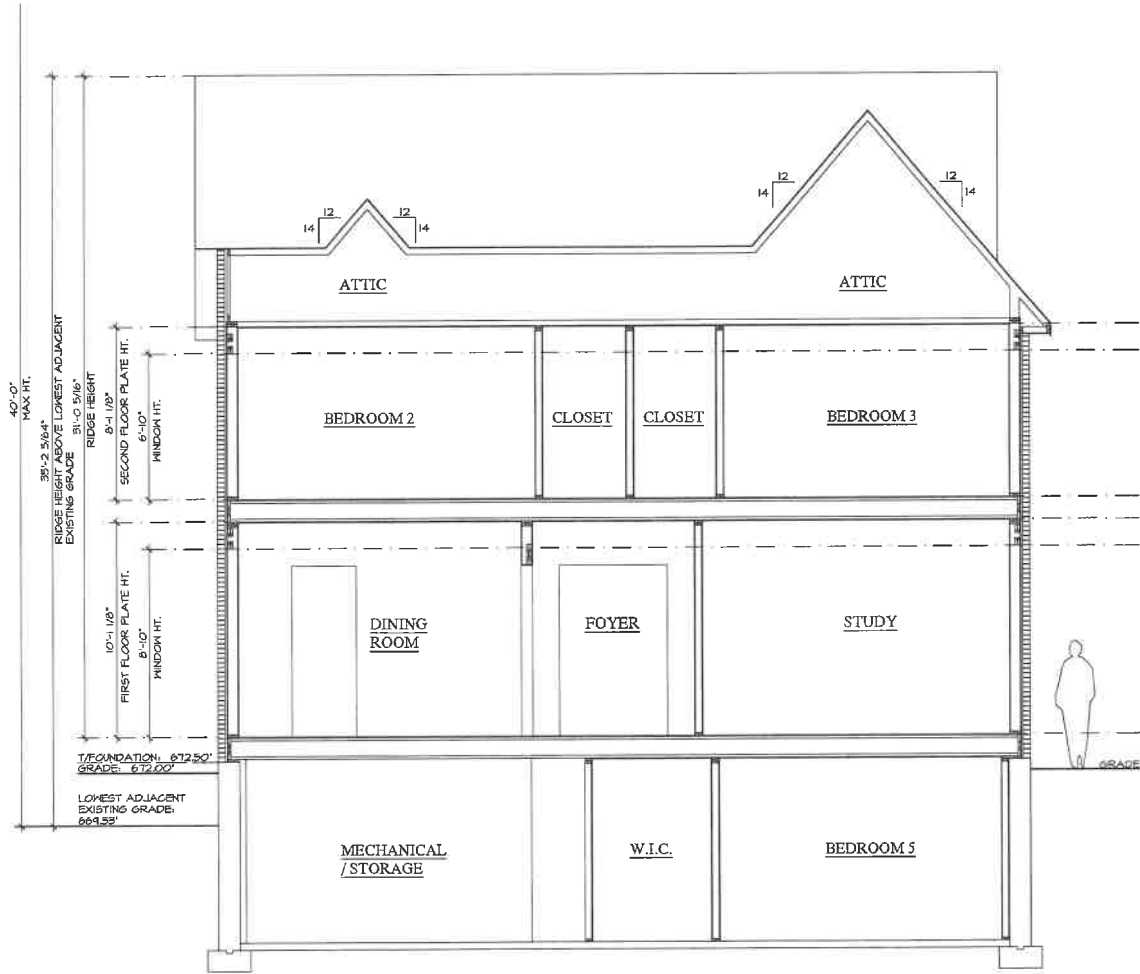
SCALE: 1/4"=1'-0"

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER. (ARCH-D)

© COPYRIGHT 2022

REVIEW ONLY-NOT FOR CONSTRUCTION

RITTNER RESIDENCE	
CUSTOM RESIDENCE 435 OAK KNOLL DRIVE LAKE FOREST, IL 60045	
01/28/2022 REVIEW	
02/01/2022 REVIEW	
02/04/2022 REVIEW	
02/07/2022 REVIEW	
02/08/2022 REVIEW	
02/18/2022 REVIEW	
02/24/2022 REVIEW	
03/08/2022 REVIEW	
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LIC#088116-00054	
PROJECT # AD21187	
DRAWN BY: CDM / MB	
RITTNER RESIDENCE ROOF PLAN	
AR 10	
# 10 OF 11 TOTAL SHEETS	



1
AR 11

BUILDING SECTION

SCALE: 1/4"=1'-0"

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER. (ARCH-D)

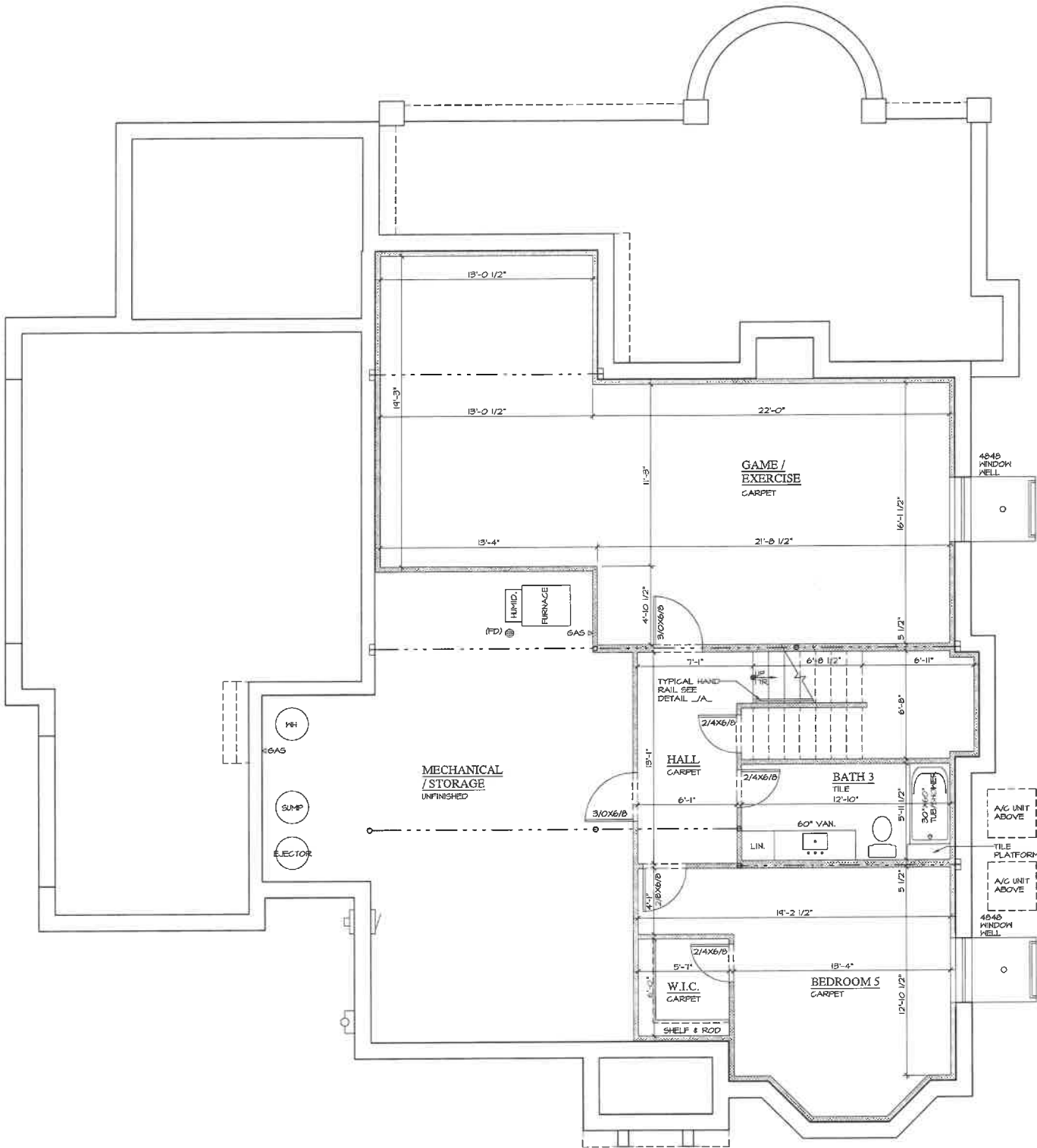
© COPYRIGHT 2022

REVIEW ONLY-NOT FOR CONSTRUCTION

RITTNER RESIDENCE CUSTOM RESIDENCE 435 OAK KNOLL DRIVE LAKE FOREST, IL 60045	
ASPECT DESIGN INC. ARCHITECTS 26575 COMMERCE DR. SUITE 607 Volo, IL 60073 MAIN: 847-457-2500 WWW.ASPPECTDESIGNINC.COM ILL. LICENSE # 14-06034	
PROJECT #	AD21187
DRAWN BY:	COM/MB
RITTNER RESIDENCE BUILDING SECTION	
AR 11	
# 11 OF 11 TOTAL SHEETS	

REVIEW	01/28/2022
REVIEW	02/01/2022
REVIEW	02/04/2022
REVIEW	02/07/2022
REVIEW	02/08/2022
REVIEW	02/15/2022
REVIEW	02/24/2022
REVIEW	03/08/2022





1
AR 07

FINISHED BASEMENT PLAN

SCALE: 1/4"=1'-0"

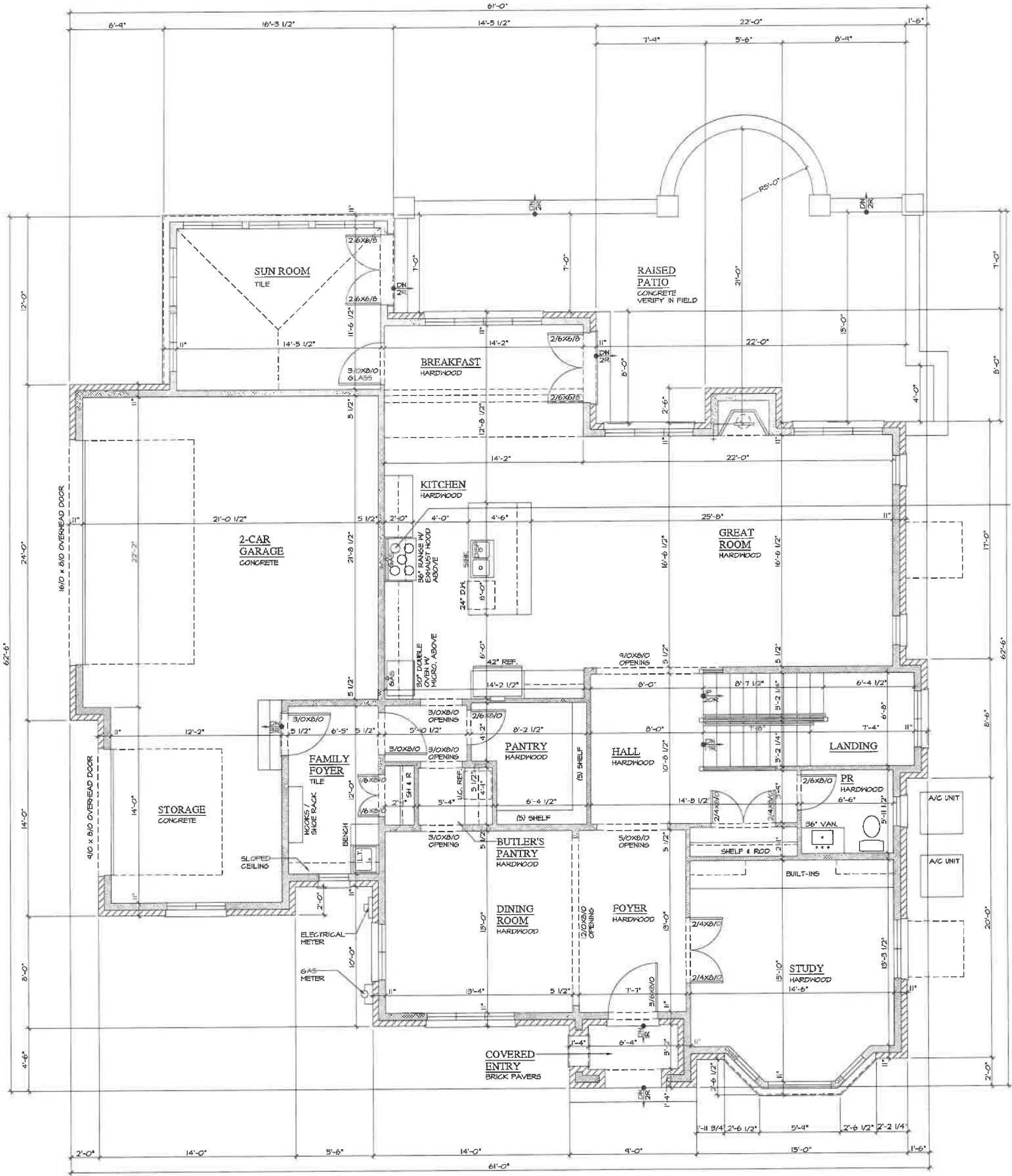
NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER. (ARCH-D)

© COPYRIGHT 2022

REVIEW ONLY-NOT FOR CONSTRUCTION

RITTNER RESIDENCE CUSTOM RESIDENCE 435 OAK KNOLL DRIVE LAKE FOREST, IL 60045	
<div><div>ASPECT DESIGN INC. ARCHITECTS</div><div>126575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM E.LITCHNER@ASPECTDESIGNINC.COM</div></div>	
PROJECT #	AD21187
DRAWN BY:	COM/MB
RITTNER RESIDENCE FINISHED BASEMENT PLAN	
AR 07	
# 7 OF 11 TOTAL SHEETS	

REVIEW	01/28/2022
REVIEW	02/01/2022
REVIEW	02/04/2022
REVIEW	02/07/2022
REVIEW	02/08/2022
REVIEW	02/18/2022
REVIEW	02/24/2022
REVIEW	03/08/2022



KITCHEN EXHAUST HOOD NOTES:
LOCATION OF SHEET METAL KITCHEN
RANGE HOOD EXHAUST DUCT, DUCT
SIZE BASED ON EXHAUST FAN
MANUFACTURERS INSTALLATION
INSTRUCTIONS AND SPECIFICATIONS.
PROVIDE FRAMED SOFFIT WITH 5/8"
FIRECODE DRYWALL, WRAP AND
SOLID HOOD FIRE BLOCKING AS
REQUIRED.
PROVIDE A KITCHEN RANGE HOOD
WITH EXHAUST FAN AS SPECIFIED BY
THE COOKING APPLIANCE
MANUFACTURERS INSTALLATION
INSTRUCTIONS AND SPECIFICATIONS.
KITCHEN EXHAUST HOOD SYSTEMS
THAT ARE CAPABLE OF EXHAUSTING
IN EXCESS OF 400 CUBIC FEET PER
MINUTE SHALL BE MECHANICALLY OR
NATURALLY PROVIDED WITH MAKEUP
AIR AT A RATE APPROXIMATELY
EQUAL TO THE EXHAUST AIR RATE.
THE MAKE UP AIR SYSTEM SHALL BE
EQUIPPED WITH A GRAVITY OR
ELECTRICALLY OPERATED DAMPER
AND SHALL BE AUTOMATICALLY
CONTROLLED TO START AND
OPERATE SIMULTANEOUSLY WITH THE
EXHAUST SYSTEM. DAMPERS SHALL
BE ACCESSIBLE FOR INSPECTION
SERVICE, REPAIR AND REPLACEMENT
WITH OUT REMOVING ANY PERMANENT
CONSTRUCTION.

1 FIRST FLOOR PLAN
AR 08

SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

RITTNER
RESIDENCE

CUSTOM RESIDENCE
435 OAK KNOLL DRIVE
LAKE FOREST, IL 60045

01/28/2022
REVIEW

02/01/2022
REVIEW

02/04/2022
REVIEW

02/07/2022
REVIEW

02/08/2022
REVIEW

02/18/2022
REVIEW

02/24/2022
REVIEW

03/03/2022
REVIEW

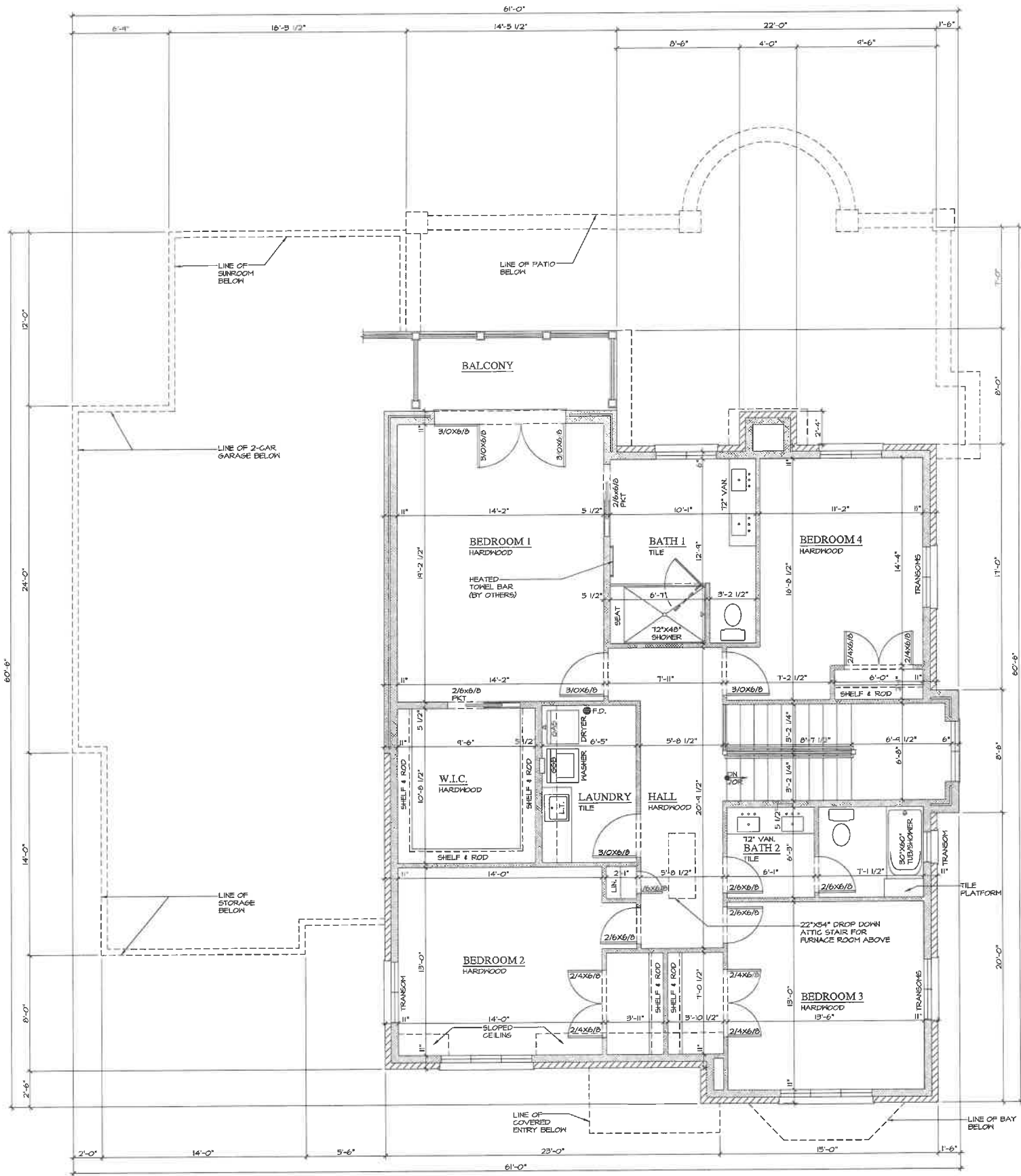
26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL LICENSE # 14-000000

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD21187
DRAWN BY: COM/MB
RITTNER RESIDENCE
FIRST FLOOR PLAN

AR 08

8 OF 11 TOTAL SHEETS



SECOND FLOOR PLAN

1 SECOND FLOOR PLAN
AR 09

SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

© COPYRIGHT 2022

REVIEW ONLY-NOT FOR CONSTRUCTION

RITTNER RESIDENCE	
CUSTOM RESIDENCE 435 OAK KNOLL DRIVE LAKE FOREST, IL 60045	
<div>ASPECT DESIGN INC. ARCHITECTS</div>	
PROJECT #	AD21187
DRAWN BY:	COM / MB
RITTNER RESIDENCE SECOND FLOOR PLAN	
AR 09	
# 9 OF 11 TOTAL SHEETS	

REVIEW	01/24/2022
REVIEW	02/01/2022
REVIEW	02/04/2022
REVIEW	02/07/2022
REVIEW	02/08/2022
REVIEW	02/18/2022
REVIEW	02/24/2022
REVIEW	03/06/2022

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL LICENSE # 16-00004

PRELIMINARY SITE GRADING & DRAINAGE PLAN

BLECK

engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 W bleckeng.com

435 OAK KNOLL
DRIVE

Lake Forest, IL



Source Benchmark:
City of Lake Forest Monument #10
Brass Disk in Concrete at NE Corner
Oak Knoll Dr. & Conway Rd. Intersection
Elev. 697.44 (NAVD 88)

Site Benchmark:
Mueller Nut on Fire Hydrant at
Existing Oak Knoll Drive Cul-de-sac
Elev. 684.21 (NAVD 88)

[illegible]

PROFESSIONAL SEAL

To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."

Michael G. Bleck, PE 06.08.2021

© 2023 Beck Engineering Company, Inc. All Rights Reserved
(Book Professional Design Print 184,000011)

FIDELITY WES
201 Robert Parker Coffin Rd.
Long Grove, Illinois 60045

70-859-3	Project No.
MGB/CBS	Drawn By
MGB	Checked By

Drawing No.

3

Drawing Name
Site Grading Plan

435 OAK KNOLL DRIVE - LOT 3 OAK KNOLL WOODLANDS
Lake Forest, IL 60045

Impervious Surface Calculation

	<i>sq ft</i>	<i>acre</i>
Lot Area	33532	0.770

Existing Conditions

	<i>sq ft</i>	<i>cost</i>
House	0	0.000
Driveway	0	0.000
Patio	0	0.000
walkways	0	0.000
shed	0	0.000
Total	0	0.000

Percent Impervious	0.0%
--------------------	------

Proposed Conditions

	<i>sq ft</i>	<i>acre</i>
House	2860	0.066
Driveway	2444	0.056
Patio	587	0.013
Walkways	<u>198</u>	<u>0.005</u>
Total	6089	0.140

Percent Impervious	18.2%
--------------------	-------

TREE INVENTORY BY:
 URBAN FOREST MANAGEMENT
 UPDATED MAY 7, 2021
 CONDITION
 1-EXCELLENT
 2-GOOD-FAIR
 3-FAIR
 4-FAIR/POOR
 5-POOR
 6-DEAD

-  WHITE OAK
-  RED OAK
-  BUR OAK
-  BLACK WALNUT
-  GREEN ASH, AMERICAN ELM
-  SHAGBARK HICKORY

Tag No.	Common Name	Botanical Name	Size	Cond.	Form	Problems	Insect/Disease	Comments	Co-leaders at 4.5' DBH	Heritage Tree
378	Red Oak	Quercus rubra	28	4	4	basal decay, one sided, over-topped, slight sweep				Heritage Tree [DQ Condition]
379	Red Oak	Quercus rubra	22	3	4	heavy deadwood, epicormics, slight lean, sweep			Forked at base with a 21" co-leader.	Heritage Tree
380	White Oak	Quercus alba	25	2	4	minor deadwood, sweep				Heritage Tree
381	White Oak	Quercus alba	18	2	3	minor deadwood, one sided				Heritage Tree
382	Shagbark Hickory	Carya ovata	16	3	3	twist in trunk, basal scar, basal swell				
383	Black Walnut	Juglans nigra	11	3	3	minor deadwood, basal decay, over-topped, twist in trunk			Forked at 1' with a 8" co-leader.	
404	White Oak	Quercus alba	15	3	4	minor deadwood, one sided, twist in trunk, thin crown				
405	White Oak	Quercus alba	14	4	4	minor deadwood, one sided, damaged leader, slight sweep				
406	Red Oak	Quercus rubra	30	3	4	excessive lean, hollow, multiple leaders, minor deadwood				Heritage Tree
407	White Oak	Quercus alba	29	3	4	minor deadwood, one sided, slight sweep, weak crotch				Heritage Tree [DQ Condition]
408	Red Oak	Quercus rubra	31	4	4	excessive lean, trunk scar, hollow				
409	Shagbark Hickory	Carya ovata	17	3	4	over-topped, slight sweep, broken limbs, one sided				
410	Red Oak	Quercus rubra	21	3	4	minor deadwood, one sided, basal scar, basal swell				Heritage Tree
411	Red Oak	Quercus rubra	19	3	4	one sided, over-topped, slight sweep, minor deadwood				Heritage Tree
438	Bur Oak	Quercus macrocarpa	23	6	4	one sided		Dead.		Heritage Tree [DQ Condition]
439	Black Walnut	Juglans nigra	11	2	4	one sided, over-topped, slight sweep, minor deadwood				
440	Bur Oak	Quercus macrocarpa	21	3	4	sweep, epicormics, minor deadwood		Dead.		Heritage Tree
461	American Elm	Ulmus americana	12	6	4	sweep, over-topped, double leader		Dead.		
462	Green Ash	Fraxinus pennsylvanica	28	6	4	swelling, twist in trunk, double leader	emerald ash borer			
463	Bur Oak	Quercus macrocarpa	29	3	3	heavy deadwood				Heritage Tree
464	Red Oak	Quercus rubra	14	3	4	one sided, slight lean, multiple leaders, epicormics				
465	Red Oak	Quercus rubra	9.5	3	4	minor deadwood, slight lean, one sided, multiple leaders				
466	Red Oak	Quercus rubra	11	3	3	minor deadwood, thin crown				
474	Red Oak	Quercus rubra	11.75	2	3	slight lean, minor deadwood, one sided				
475	Red Oak	Quercus rubra	9	3	4	one sided, epicormics, slight lean, minor deadwood				
476	Red Oak	Quercus rubra	14	3	4	minor deadwood, one sided, slight lean				
477	Red Oak	Quercus rubra	9	3	4	minor deadwood, one sided, epicormics, slight lean				
478	Red Oak	Quercus rubra	11	3	3	minor deadwood, thin crown, epicormics, multiple leaders				
479	Red Oak	Quercus rubra	9	3	4	one sided, thin crown, epicormics				
480	Red Oak	Quercus rubra	10	3	4	minor deadwood, one sided, thin crown, double leader, basal scar				
481	Red Oak	Quercus rubra	10	3	4	minor deadwood, one sided				
482	Red Oak	Quercus rubra	9.75	3	3	minor deadwood, thin crown, vine infested				
483	Red Oak	Quercus rubra	8.75	3	3	minor deadwood, thin crown, epicormics, multiple leaders				
484	Red Oak	Quercus rubra	10	3	3	minor deadwood, thin crown, epicormics, slight lean				
485	Red Oak	Quercus rubra	8.75	3	4	one sided, slight lean, minor deadwood, thin crown				
486	Red Oak	Quercus rubra	10	2	3	weak crotch, one sided, double leader, minor deadwood				
487	Red Oak	Quercus rubra	12	3	4	minor deadwood, epicormics, slight lean, double leader				
490	Red Oak	Quercus rubra	9	3	3	minor deadwood, thin crown, double leader				
496	Bur Oak	Quercus macrocarpa	9	3	4	one sided, over-topped, epicormics, slight sweep				
497	Black Walnut	Juglans nigra	18	3	3	minor deadwood, one sided, multiple leaders				Heritage Tree
498	Bur Oak	Quercus macrocarpa	17	4	4	broken limbs, one sided, twist in trunk, multiple leaders, heavy deadwood, basal swell				
499	Bur Oak	Quercus macrocarpa	24	4	4	heavy deadwood, slight sweep, dieback				Heritage Tree [DQ Condition]
1817	Red Oak	Quercus rubra	8	3	4	one sided, thin crown, epicormics, slight lean				
1818	Red Oak	Quercus rubra	8	3	4	minor deadwood, thin crown, epicormics				
1819	Red Oak	Quercus rubra	8	3	3	minor deadwood, thin crown				
1820	Red Oak	Quercus rubra	8	3	3	thin crown, epicormics				



- Notes:

- Downspouts in to splash at grade unless otherwise shown. Provide concrete splash pad at discharge.
- For downspouts tying into sewer system, provide 2" air gap.

1. STABILIZED CONSTRUCTION ENTRANCE
Use proposed driveway location
2. TREE PRESERVATION & CONSTRUCTION LIMITS FENCE
Temporary 4' Tall Green Snow Fence w/ Steel Posts
3. SILT FILTER FENCE
Shall comply with AASHTO Standard M 238-00
4. MUD AND DUST CONTROL
5. TEMPORARY INLET PROTECTION
All open lot structures to have Catch All Baskets or approved equal.
6. FINAL STABILIZATION - SEE LANDSCAPE PLAN

Tag No.	Common Name	Size	Cond.	Form	Problems	Insect/Disease	Comments	Heritage Tree
378	Red Oak	28	4	4	basal decay, one sided, over-topped, slight sweep			Heritage Tree (DQ Condition)
379	Red Oak	22	3	4	heavy deadwood, epicormics, slight lean, sweep			Heritage Tree
380	White Oak	25	2	4	minor deadwood, sweep			Heritage Tree
381	White Oak	18	2	3	minor deadwood, one sided			Heritage Tree
382	Shagbark Hickory	16	3	3	twist in trunk, basal scar, basal swell			
383	Black Walnut	11	3	3	minor deadwood, basal decay, over-topped, twist in trunk			
404	White Oak	15	3	4	minor deadwood, one sided, twist in trunk, thin crown			
405	White Oak	14	4	4	minor deadwood, one sided, damaged leader, slight sweep			
406	Red Oak	30	3	4	excessive lean, hollow, multiple leaders, minor deadwood			Heritage Tree
407	White Oak	29	3	4	minor deadwood, one sided, slight sweep, weak crotch			Heritage Tree
408	Red Oak	31	4	4	excessive lean, trunk scar, hollow			Heritage Tree (DQ Condition)
409	Shagbark Hickory	17	3	4	over-topped, slight sweep, broken limbs, one sided			
410	Red Oak	21	3	4	minor deadwood, one sided, basal scar, basal swell			Heritage Tree
411	Red Oak	19	3	4	one sided, over-topped, slight sweep, minor deadwood		Dead.	Heritage Tree (DQ Condition)
438	Bur Oak	23	6	4	one sided			
439	Black Walnut	11	2	4	one sided, over-topped, slight sweep, minor deadwood			
440	Bur Oak	21	3	4	sweep, epicormics, minor deadwood			Heritage Tree
461	American Elm	12	6	4	sweep, over-topped, double leader		Dead.	
462	Green Ash	12	6	4	suckering, twist in trunk, double leader	emerald ash borer	Dead.	
463	Bur Oak	29	3	3	heavy deadwood			Heritage Tree
464	Red Oak	14	3	4	one sided, slight lean, multiple leaders, epicormics			
465	Red Oak	9.5	3	4	minor deadwood, slight lean, one sided, multiple leaders			
466	Red Oak	11	3	3	minor deadwood, thin crown			
474	Red Oak	11.75	2	3	slight lean, minor deadwood, one sided			
475	Red Oak	9	3	4	one sided, epicormics, slight lean, minor deadwood			
476	Red Oak	14	3	4	minor deadwood, one sided, slight lean			
477	Red Oak	9	3	4	minor deadwood, one sided, epicormics, slight lean			
478	Red Oak	11	3	3	minor deadwood, thin crown, epicormics, multiple leaders			
479	Red Oak	9	3	4	one sided, thin crown, epicormics			
480	Red Oak	10	3	4	minor deadwood, one sided, thin crown, double leader, basal scar			
481	Red Oak	10	3	4	minor deadwood, one sided			
482	Red Oak	9.75	3	3	minor deadwood, thin crown, vine infested			
483	Red Oak	8.75	3	3	minor deadwood, thin crown, epicormics, multiple leaders			
484	Red Oak	10	3	3	minor deadwood, thin crown, epicormics, slight lean			
485	Red Oak	8.75	3	4	one sided, slight lean, minor deadwood, thin crown			
486	Red Oak	10	2	3	weak crotch, one sided, double leader, minor deadwood			
487	Red Oak	12	3	4	minor deadwood, epicormics, slight lean, double leader			
490	Red Oak	9	3	3	minor deadwood, thin crown, double leader			
496	Bur Oak	9	3	4	one sided, over-topped, epicormics, slight sweep			Heritage Tree
497	Black Walnut	18	3	3	minor deadwood, one sided, multiple leaders			
498	Bur Oak	17	4	4	broken limbs, one sided, twist in trunk, multiple leaders, heavy deadwood, basal swell			Heritage Tree (DQ Condition)
499	Bur Oak	24	4	4	heavy deadwood, slight sweep, dieback			
1817	Red Oak	8	3	4	one sided, thin crown, epicormics, slight lean			
1818	Red Oak	8	3	4	minor deadwood, thin crown, epicormics			
1819	Red Oak	8	3	3	minor deadwood, thin crown			
1820	Red Oak	8	3	3	thin crown, epicormics			

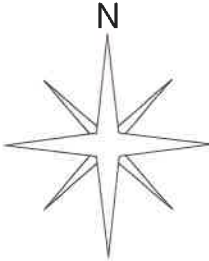
LANDSCAPE
DEVELOPMENT PLAN

FIDELITY WES
RESIDENCE

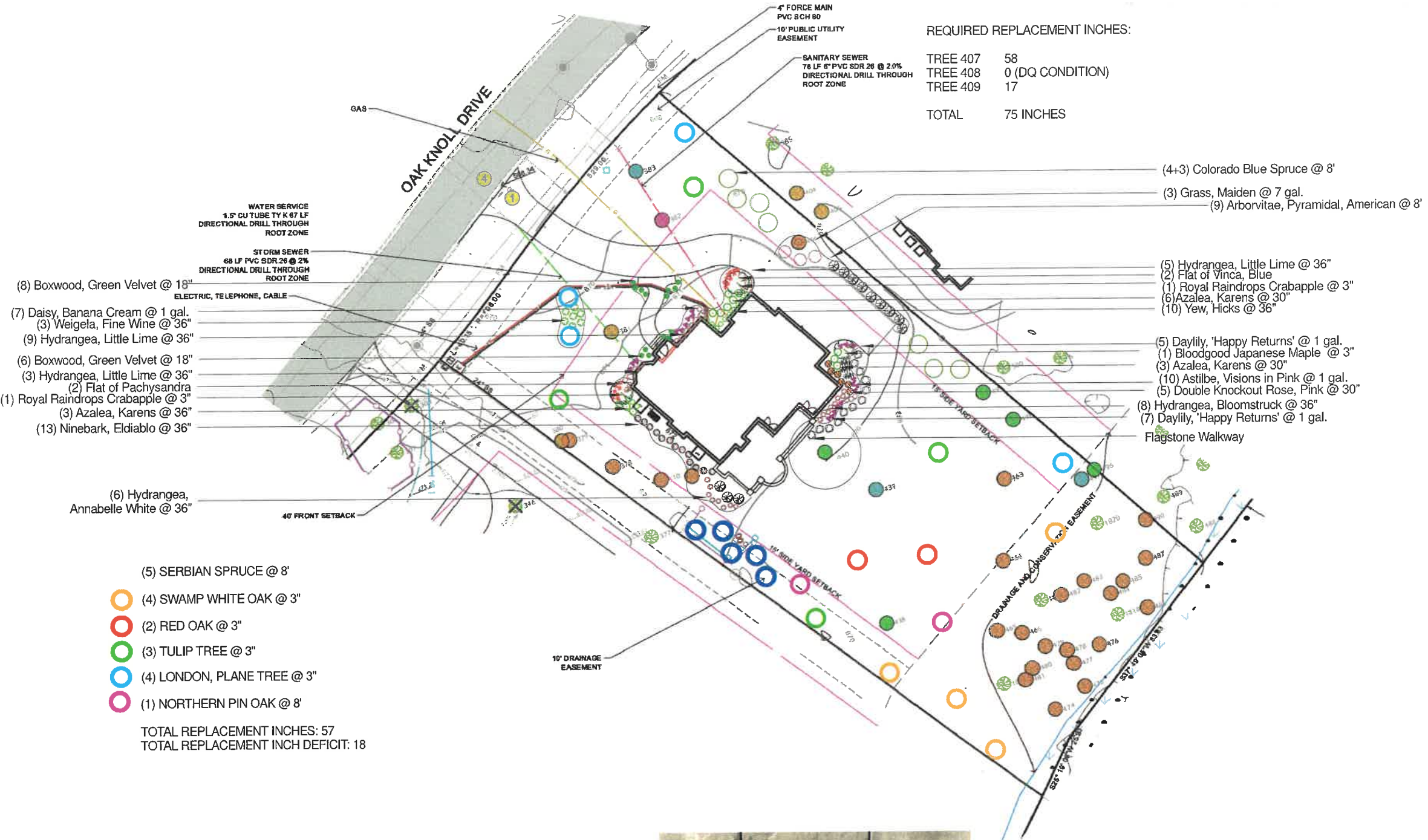
435 OAK KNOLL DRIVE
LAKE FOREST, IL

LEGEND

8 Banana Cream Daisy	@ 1 gal.
19 Happy Returns Daylily	@ 1 gal.
10 Astilbe, Visions in Pink	@ 1 gal.
3 Maiden Grass	@ 7 gal.
4 Flat of Vinca	Flat
25 Hydrangea Anabelle White	@ 36"
8 Hydrangea Bloomstruck	@ 36"
3 Karen's Azalea	@ 30"
9 Double Knockout Rose	@ 30"
13 Ninebark Eldiablo	@ 36"
13 Hicks Yew	@ 36"
14 Boxwood, Green Velvet	@ 18"
7 Fine Wine Weigela	@ 36"
21 Arborvitae, Pyramidal American	@ 3"
1 Bloodgood Japanese Maple	@ 3"
2 Royal Raindrops Crabapple	@ 3"
3 Colorado Spruce	@ 8'
7 Serbian Spruce	@ 8'
5 Red Oak	@ 3"
5 Swamp White Oak	@ 3"
4 Tulip Tree	@ 3"
4 London Plane Tree	@ 3"
4 Northern Pink Oak	@ 3"



SCALE: 1"= 20"
PAGE 2 OF 2
MARCH 25, 2022



PROPOSED HARDSCAPE MATERIAL:

UNILOCK BEACON HILL FLAGSTONE - OAKWOOD COLOR
UNILOCK MATTONI - COCOA BROWN
UNILOCK BRUSSELS BLOCK WALLS



SUPPLEMENTAL MATERIALS PROVIDED BY STAFF

Layout

Asia: Project Publishers • Sharada Jyoti Lalita Formati 089 Fidelity Niss 076-839 Approved Lala Along

REVIEW ONLY-NOT FOR CONSTRUCTION

LOT 14
BAKAS RESIDENCE
1525 SAGE COURT
OAK KNOLL WOODLANDS SUBDIV.
LAKE FOREST, IL 60045

FIDELITY WES

REVIEW	03/01/2021
REVIEW	03/09/2021
REVIEW	03/11/2021

ASPECT DESIGN INC. ARCHITECTS
12515 COMMERCE DR.
SUITE 607
VILLAGE, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL 1220088-9 10-01-04

PROJECT # AD20008
DRAWN BY: COM/MB
LOT 14
EXTERIOR ELEVATIONS
AR 02
2 OF 9 TOTAL SHEETS



1
AR 02
FRONT ELEVATION

SCALE: 1/4"=1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER (ARCH-D)



1 FRONT ELEVATION
AR 01

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

LOT 12
HAN / CHANG RESIDENCE
1345 SAGE COURT
OAK KNOLL WOODLANDS
LAKE FOREST, IL 60045

FIDELITY WES

12/01/2020	ASBLA	RE
01/12/2021	ASBLA	RE
01/21/2021	ASBLA	RE
01/26/2021	ASBLA	RE
01/27/2021	ASBLA	RE
02/04/2021	ASBLA	RE
03/04/2021	ASBLA	RE
03/28/2021	ASBLA	RE

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPECT360INC.COM
IL LICENSE # 184-00434

ASPECT DESIGN INC.
ARCHITECTS

PROJECT #	ADD020
DRAWN BY:	COM / M
LOT 12	
EXTERIOR ELEVATIONS	

AR 01

4 OF 14 TOTAL SHEETS













FIDELITY WES

FILE	REVIEW	DATE
FILE	REVIEW	06/09/2021
FILE	REVIEW	06/11/2021
FILE	REVIEW	06/15/2021
FILE	REVIEW	06/24/2021
FILE	REVIEW	06/29/2021
FILE	REVIEW	06/30/2021
FILE	REVIEW	06/22/2021

SUITE 607
VOLO, IL 60073
MAIN: 847-457-2300
WWW.ASPECTDESIGNINC.COM
IL 1-800-851-1334

ASPECT DESIGN INC.
ARCHITECTS

PROJECT #	AD21144
DRAWN BY:	COM / MB
LOT 9	
EXTERIOR ELEVATIONS	

AR 02



NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER (ARCH-D)





Agenda Item 4
1150 Highland Avenue
New Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Plat of Survey – Existing Conditions
Proposed Site Plan
Proposed East and South Elevations
Proposed West and North Elevations
Roof Plan
Building Section
Color Rendering and Images of Surrounding Homes
First Floor Plan
Second Floor Plan
Preliminary Site Grading and Tree Removal Plan
Preliminary Landscape Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1150 Highland Avenue

Consideration of a request for approval of construction of a single family residence and attached garage on a vacant lot. Approval of a conceptual landscape plan and overall site plan is also requested.

Property Owner: US First Seria One LLC, (Nenad Zecevic, 100%).

Project Representative: Alan Leskiv, architect

Staff Contact: Jen Baehr, Planner

Description of Property

This property is located on the west side of Highland Avenue, between Everett and Old Elm Roads. The surrounding established neighborhood contains modest size homes of varying architectural styles mostly built in the 1980s and 1990s. The parcel that is the subject of this request totals 14,975 square feet.

Summary of Request

This is a request for approval of a new single family residence and attached garage on a vacant lot. Board consideration of the overall site plan and conceptual landscape plan is also requested. The proposed residence is described as a Craftsman style home.

A statement of intent from the architect and other supporting materials submitted by the petitioner are included in the Board packet and more fully explain the overall project. An evaluation of the project based on the applicable standards is offered below for the Board's consideration.

Review and Evaluation of Applicable Standards

Site Plan - This standard is met.

The residence is sited generally at the center of the property toward the front of the site. The proposed residence faces west, toward the street. The home has an attached single car and two-car garage. The single car garage is front facing and the two-car garage faces south. Although front facing garages are often discouraged, however, a front facing garage is not unusual for this neighborhood.

Based on information submitted by the petitioner, the amount of proposed impervious surface on the site totals 4,773 square feet, equal to 32% of the site. The building footprint totals 2,378 square feet and other paved surfaces including the driveway, patio and walkways total 2,395 square feet.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 3,397 square feet is permitted on the site with an allowance of 576 square feet for a garage and 340 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 3,164 square feet.
- The proposed garage totals 706 square feet, and exceeds the allowance of 576 square feet for a garage therefore, the excess garage square footage is counted toward the overall square footage of the home.

- In addition to the above square footage, a total of 171 square feet of design elements are incorporated into the design of the house.
- In conclusion, the proposed residence totals 3,294 square feet, equal to 3 percent below the maximum allowable square footage for this property.

At its tallest peak, the residence as measured from the lowest point of existing grade, is 27 feet and 7 inches. The maximum height allowed for a residence on this size lot is 30 feet as measured from the lowest point of existing grade to the tallest roof peak.

Elevations – This standard is not fully met.

The proposed residence reflects a primary two story mass with smaller single and one and a half story masses projecting on the east and south sides. The home presents a combination of steep and shallow hip and gable roof forms. Typically, Craftsman style homes feature shallow gable roof forms. Steep roof pitches and hip style roofs are not common to this style.

On the south elevation of the home a large gable dormer is proposed above the garage door. The dormer appears oversized in relation to the expanse of roof above the garage. The dormer also adds another roof line to the multiple roof forms visible on the front of the home, leading to a complex roof massing. Based on the floorplans this dormer is located in a mechanical room, and the additional square footage provided by the dormer does not appear necessary.

- Staff recommends further study of the roof types and pitches and modification to achieve a design that is more consistent with the style of the home as identified by the petitioner.
- Staff recommends eliminating the dormer on the south elevation.

Type, color, and texture of materials – This standard is generally met.

The exterior of the home is primarily horizontal fiber cement siding, with stone along the base on the front and north sides of the home. Asphalt shingle is proposed for the roof material. Wood windows with interior and exterior muntins are proposed. The brackets, porch columns, trim, fascia boards, rakeboards and soffits will be wood. Aluminum gutters and downspouts are proposed. The chimney will be stone with a clay chimney pot.

- Staff recommends the addition of stone along the base of the home on the south and west elevations, to provide a consistent appearance around the home.
- Consistent with past Board approvals, the stone shall be a minimum of 4 inches in depth.

The proposed driveway is asphalt and the front walkway and rear patio are stone pavers.

The proposed color palette includes light blue siding, white trim, gray roof shingle, and white windows. The front door and the garage doors will be white. The petitioner provided color renderings to reflect the proposed color palette which are included in the Board's packet.

Landscaping - This standard can be met.

As currently proposed, a total of thirteen trees are proposed for removal. Based on the preliminary engineering plan it appears that there may be some additional trees located near the driveway and rear patio that are not currently shown as proposed for removal but will likely be impacted. The trees proposed for removal consist of Ash, Bur Oak, Boxelder, and Silver Maple trees. Based on the species, size and condition of the trees proposed for removal, a total of 23 replacement inches will be required to be planted on site to the extent possible using good forestry practices. The total

replacement inches required does not include replacement inches for low quality trees or trees in poor condition proposed for removal.

The preliminary landscape plan reflects plantings around the foundation of the home and new shade, evergreen and ornamental trees. Proposed shade trees on the property include American Linden, European Beech, Ohio Buckeye, Tuliptree, American Hophornbeam and Redpointe Maple trees. The landscape plan also reflects Arborvitae and ornamental trees including Serviceberry and Pear trees. The City Arborist does not recommend planting Pear trees because these trees are not thriving in the community. The Arborist suggests replacing the proposed Pear trees with Crabapple trees. As currently proposed, the landscape plan satisfies the required replacement inches and the minimum landscape criteria for new construction.

The site plan as currently proposed shows approximately 1.5 feet of space between the edge of the driveway and the south property line, leaving minimal space for screening along the driveway, at the apron near the garage and limiting the pervious area along the driveway for stormwater runoff. Because of the minimal amount of space along the driveway consideration should be given to installing a fence along the property line to provide screening given the location of the driveway and garage in relation to the neighbor's home to the south. In addition, provisions must be made to assure that stormwater runoff from the driveway is not directed to the neighboring property.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendations

Recommend approval of the residence, attached garage, conceptual landscape and overall site plan based on the findings presented in this staff report and as further detailed during the Board's deliberations. Staff recommends approval subject to the following conditions of approval.

Conditions of Approval

1. Conduct further study of the roof types and pitches to achieve greater consistency with the Craftsman style of the home selected by the petitioner.
2. Eliminate the dormer on the south elevation.
3. Stone shall be added along the base of the home on the south and west elevations to provide a consistent appearance around the home.
4. The stone shall be a minimum of 4 inches in depth.
5. A fence shall be reflected on the site plan along the driveway and the engineering plan shall call out the measures being taken to direct stormwater runoff from the driveway away from the neighboring property.
6. All modifications to the plans including the refinements noted above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to

the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

7. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The final landscape shall include, but not be limited to, the minimum landscaping standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. If the full amount of required replacement inches which totals 23 inches cannot be accommodated on site, a payment in lieu of on site plantings will be required before the issuance of a building permit to support plantings in the parkways in the neighborhood.
8. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices and properly direct drainage.
9. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist.
10. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, *except those illuminated by natural gas at low light levels*, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
11. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1150 Highland Avenue Owner(s) US First Seria One LLC (Nenad Zecevic 100%)
 Architect Alan Leskiv, architect Reviewed by: Jen Baehr
 Date 4/6/2022
 Lot Area 14975 sq. ft.

Square Footage of New Residence:

1st floor 1503 + 2nd floor 1661 + 3rd floor 0 = 3164 sq. ft.

Design Element Allowance = 340 sq. ft.

Total Actual Design Elements = 171 sq. ft. Excess = 0 sq. ft.

Garage 706 sf actual ; 576 sf allowance Excess = 130 sq. ft.

Garage Width 22' - 6" ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 3294 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 3397 sq. ft.

DIFFERENTIAL = -103 sq. ft.

Under Maximum

Allowable Height: 30 ft. Actual Height 27' - 7" ft.

NET RESULT:

103 sq. ft. is

3% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 340 sq. ft.

Front & Side Porches = 135 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

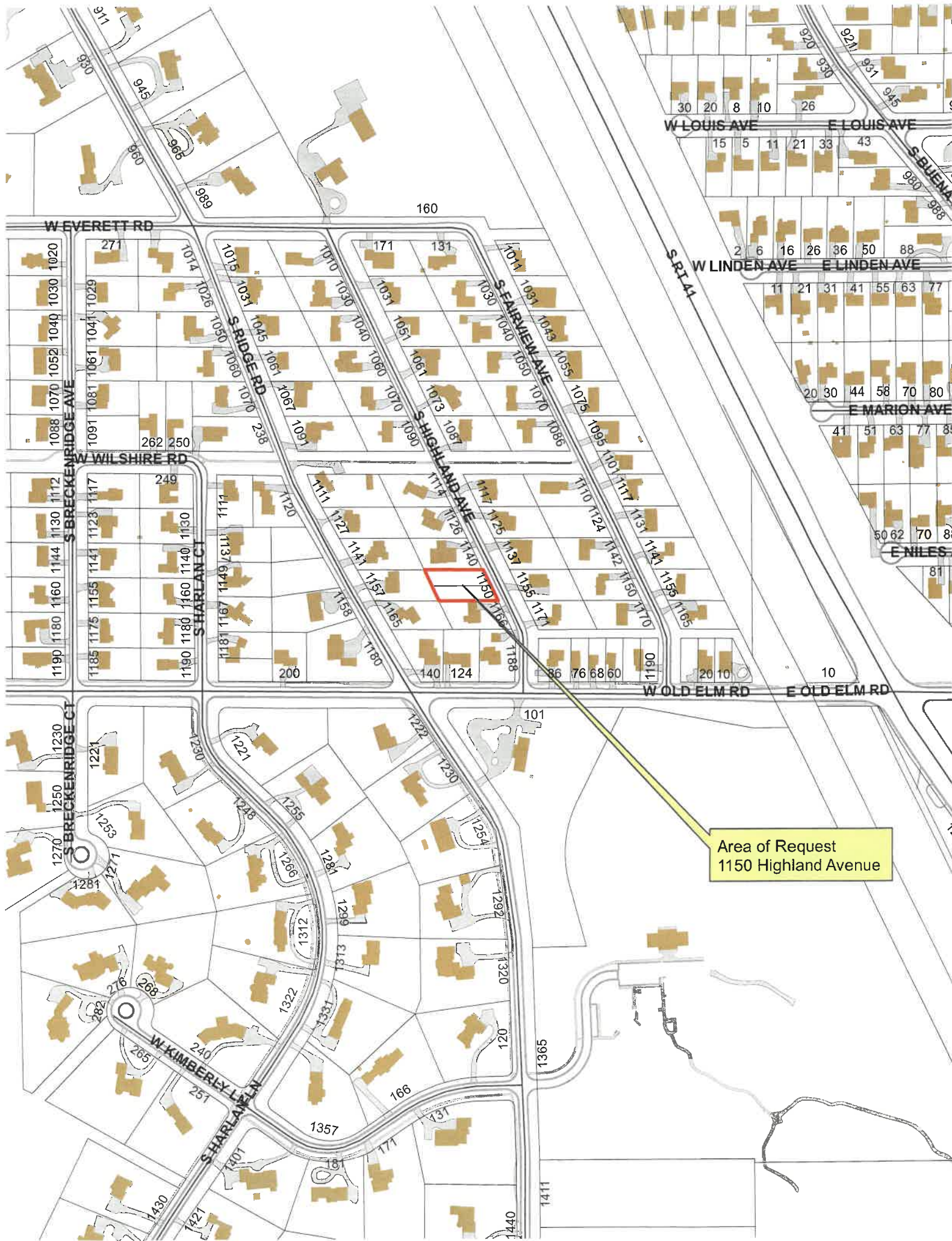
Pergolas = 0 sq. ft.

Individual Dormers = 36 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 171 sq. ft.

Excess Design Elements = 0 sq. ft.





Area of Request
1150 Highland Avenue



Area of Request
1150 Highland Avenue



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1150 Highland Avenue

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

US First Seria One LLC

Owner of Property

333 Busse Hwy

Owner's Street Address (may be different from project address)

Park Ridge, IL, 60068

City, State and Zip Code

312-375-4075

Phone Number

Fax Number

usfirstllc@gmail.com

Email Address


Owner's Signature

ARCHITECT/BUILDER INFORMATION

Alan Leskiv

Name and Title of Person Presenting Project

Leader Architects Ltd

Name of Firm

1701 S. First Ave, 404-i

Street Address

Maywood, IL, 60153

City, State and Zip Code

708-715-5005

Phone Number

Fax Number

leader.architect@gmail.com

Email Address


Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER

☐ REPRESENTATIVE

Please fax a copy of the staff report

☒ OWNER

☐ REPRESENTATIVE

**I will pick up a copy of the staff report at
the Community Development Department**

☒ OWNER

☐ REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name	US First Seria One LLC	Name	NENAD ZECEVIC
Address	333 Busse Hwy Park Ridge, IL. 60068	Address	10345 W WHITNALL. EDGE DR 761 FRANKLIN, WI, 53132
Ownership Percentage	100% %	Ownership Percentage	100 % %

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%

Name		Name	
Address		Address	
Ownership Percentage	%	Ownership Percentage	%

February 18, 2022

City of Lake Forest
Building Review Board

Re: 1150 Highland avenue.
Project - Construction of new Single Family Residence on the vacant parcel.

Statement of Intent
Design concept:

Design of the proposed residence is considered as a Craftsman style home with traditional material usage, building massing, scales, roof forms, doors/ windows, porch details that are harmoniously consistent with the neighborhood context.

High-quality traditional building materials - similar to homes in the area. Full depth natural stone clad, colored cement board siding, wood railings , architectural asphalt shingles roofing, window/ door trim details, exposed roof rafters. Windows and glazed doors are wood and consistent with selected home style.

Traditional door and window trim, dormers, columns, railing details will be high quality painted wood.

Proposed residence is located to minimize disturbance to existing vegetation at the distance from the street similar to adjacent homes and near to the 40' building setback line in compliance with zoning ordinance requirements.

Covered porch with tapered columns, wood railings, gable roof emphasize entry door as the focal element of the house.
Side - loaded garage mitigates the impact of a front-facing garage door of the front facade.
Driveway material - asphalt as per city recommendation. Walk and patio - stone paving.
New landscape design use vegetation per city recommendation and similar to the neighborhood.

We believe that proposed design of the residence will harmoniously maintain the character of existing environment and is consistent with charm, feel and tradition of the neighborhood.

Regards



Alan Leskiv NCARB. ALA
Principal



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- | | |
|--|--|
| <input checked="" type="checkbox"/> Stone | <input type="checkbox"/> Wood Shingle |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Synthetic Stucco |
| | <input checked="" type="checkbox"/> Other <u>Hardie board siding</u> |

Color of Material Biscayne Blue/Sand Brown

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☒ Wood
☐ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish Light gray

Window Muntins

- ☐ Not Provided
☒ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
☒ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Composition Shingles _____
☐ Sheet Metal _____
☒ Other Asphalt shingles

Flashing Material

- ☐ Copper
☒ Sheet Metal _____
☐ Other _____

Color of Material Estate grey

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☐ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☒ Other Stone pavers

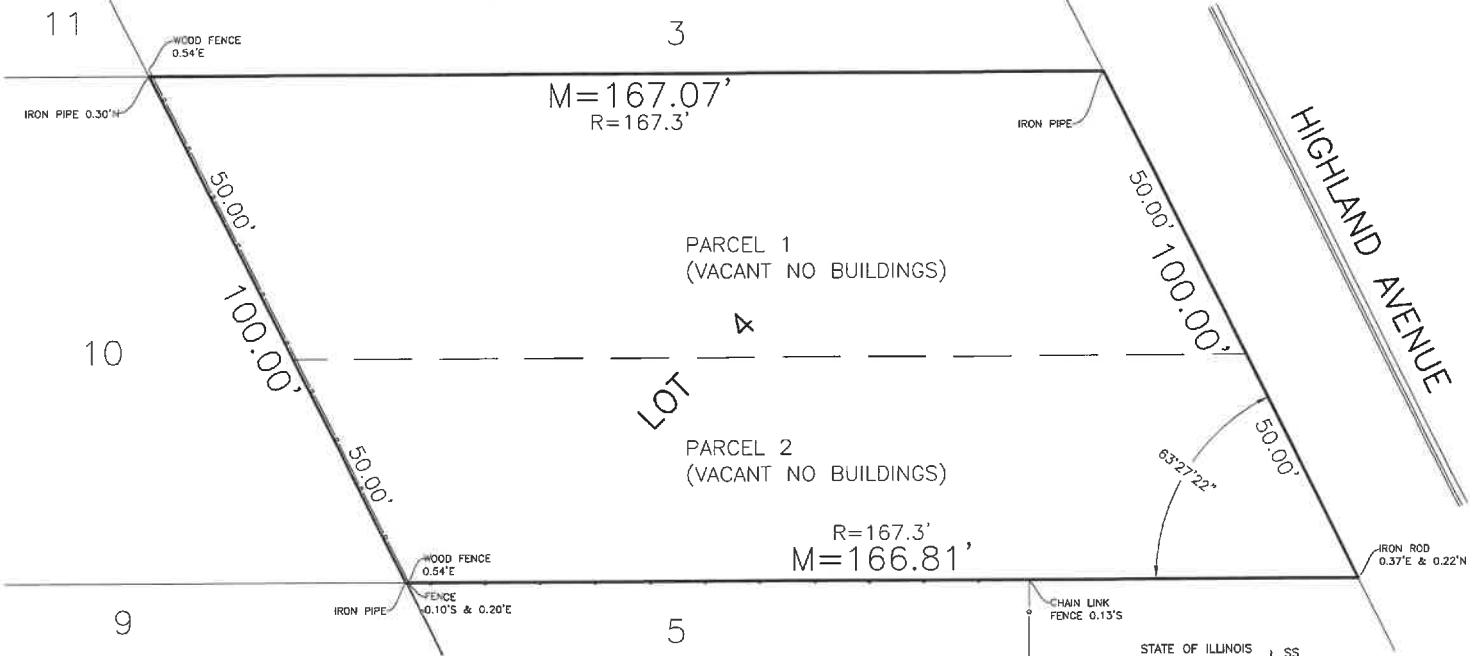
815-482-5713
pls3266@hotmail.com

TOM W. ATKINS
PLAT OF SURVEY

618 S. Broadway St.
Mchenry, IL. 60050

PARCEL 1:
THE NORTH 1/2 OF LOT 4 IN BLOCK 15 IN LAKE FOREST HEIGHTS, A SUBDIVISION OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 LYING WEST OF THE WESTERLY RIGHT OF WAY LINE OF THE CHICAGO NORTHWESTERN RAILROAD AND THE EAST 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 9, 1924, IN BOOK "M" OF PLATS, PAGE 70, AS DOCUMENT 237997, IN LAKE COUNTY, ILLINOIS.

PARCEL 2:
THE SOUTH 1/2 OF LOT 4 IN BLOCK 15 IN LAKE FOREST HEIGHTS, A SUBDIVISION OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 LYING WEST OF THE WESTERLY RIGHT OF WAY LINE OF THE CHICAGO NORTHWESTERN RAILROAD AND THE EAST 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 9, 1924, IN BOOK "M" OF PLATS, PAGE 70, AS DOCUMENT 237997, IN LAKE COUNTY, ILLINOIS.



ALL DISTANCES IN FEET AND DECIMAL
SCALE: one inch = 20 feet
FILE NO. TA2689
ORDERED BY: STEPHANIE K. KEARNEY, LLC
ADDRESS: 1150 HIGHLAND AVENUE
LAKE FOREST, ILLINOIS

NOTE: ONLY THOSE BUILDING
LINE RESTRICTIONS OR
EASEMENTS SHOWN ON A
RECORDED SUBDIVISION PLAT
ARE SHOWN HEREON.

COMPARE YOUR DESCRIPTION
AND SITE MARKINGS WITH
THIS PLAT AND AT ONCE
REPORT ANY DISCREPANCIES
WHICH YOU MAY FIND.

BL = BUILDING LINE
BSL = BUILDING SETBACK LINE
PUE = PUBLIC UTILITY AND DRAINAGE EASEMENT
PUE = PUBLIC UTILITY EASEMENT



STATE OF ILLINOIS
COUNTY OF MCHENRY) SS
I, TOMMY W. ATKINS, ILLINOIS PROFESSIONAL LAND SURVEYOR, IN THE
STATE OF ILLINOIS, DO HEREBY STATE THAT I HAVE PREPARED THE PLAT
OF SURVEY DEPICTED HEREON. THIS PLAT REPRESENTS THE CONDITIONS
FOUND AT THE TIME OF SAID SURVEY. THIS PROFESSIONAL SERVICE
CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE
APPLICABLE TO BOUNDARY SURVEYS.

CERTIFIED AT MCHENRY, ILLINOIS THIS 11th DAY OF DECEMBER, 2014

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3266
MY LICENSE EXPIRES NOVEMBER 30, 2016

Copyright by
Leader Architects, Ltd
No part of this document to
be modified, reproduced or
transmitted without prior
written authorization of the
Architect

eco design, Ltd
LEADER ARCHITECTS
1701 S. First Avenue
Maywood, IL 60553
708-715-5005
Leader.architect@gmail.com

License 184.007210

I hereby certify that these
drawings were prepared
under my responsible control
and to the best of my
knowledge fully comply with
the pertinent Building Code

Architects seal



01/26/2022
Expires: 11/30/2022

SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION
1150 HIGHLAND AVE
LAKE FOREST *** ILLINOIS

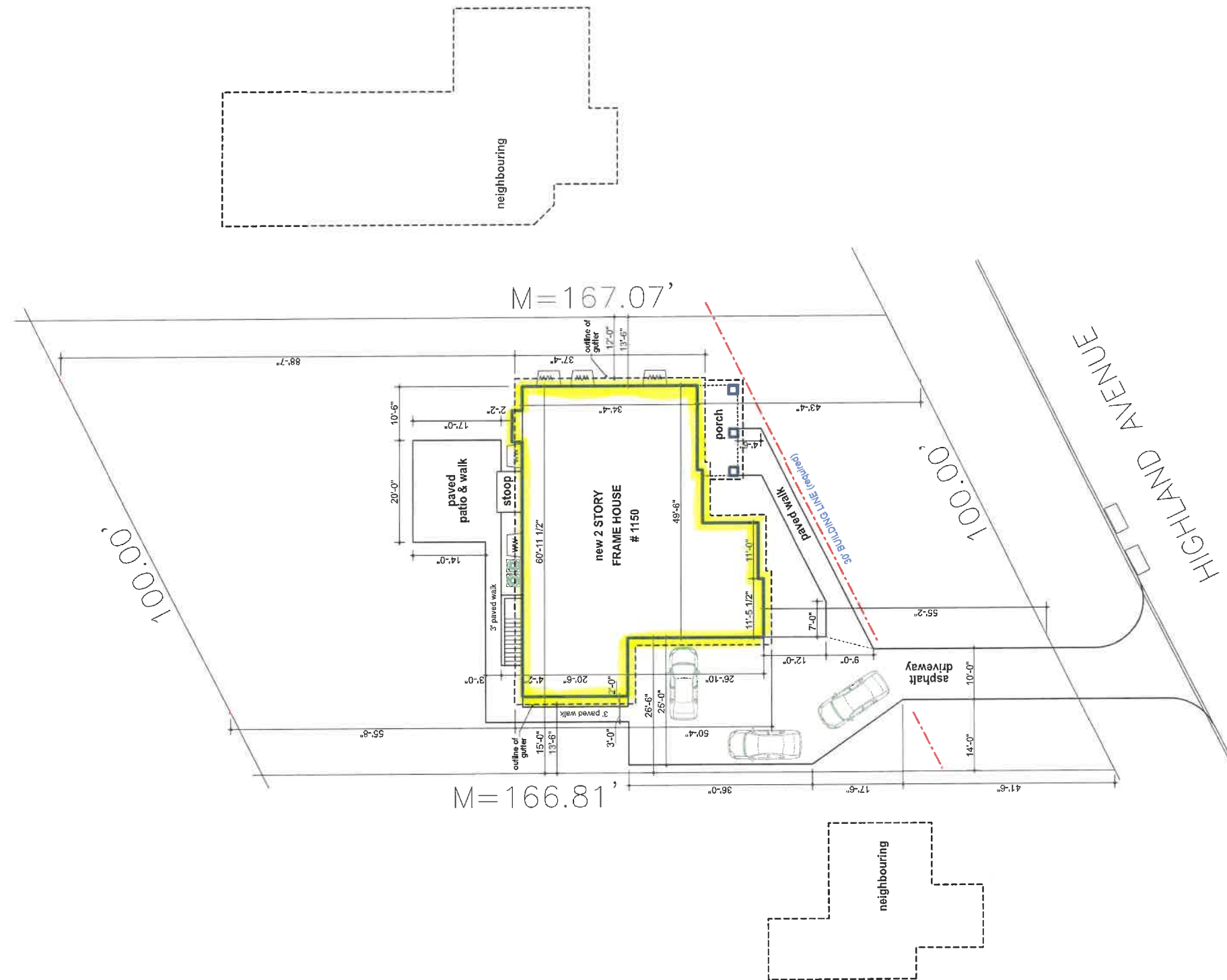
Project # 21-102
Date: 01/26/2022
Drawn by: AL
Checked: LA
Revision 1:
Revision 2:
Revision 3:

Sheet #

A-1

Scale: as shown

Plat of survey
SCALE: 1" = 20'



Site plan

SCALE: 1" = 15'

© Copyright by
Leader Architects, Ltd

No part of this document to
be modified, reproduced or
transmitted without prior
written authorization of the
Architect




License 184.007210

I hereby certify that these drawings were prepared under my responsible control and to the best of my knowledge fully comply with the pertinent Building Code

Architects seal




Expires: 11. 30. 2022

SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION
1150 HIGHLAND AVE
LAKE FOREST *** ILLINOIS

Project #	21 - D2
Date:	0126, 2022
Drawn by:	AL
Checked:	LA

Revision 1:
Revision 2:
Revision 3:

Sheet #

A-2

Scale: as shown



Left Elevation

SCALE: 3/16" = 1'-0"



Front Elevation

SCALE: 3/16" = 1'-0"

Copyright by
Leader Architects, Ltd.
No part of this document to
be modified, reproduced or
transmitted without prior
written authorization of the
Architect

eco design, Ltd
LEADER ARCHITECTS
1701 S. First Avenue
Maywood, IL 60153
708-715-5005
Leader.architects@gmail.com

License 184.007210

I hereby certify that these
drawings were prepared
under my responsible control
and to the best of my
knowledge fully comply with
the pertinent Building Code

Architects seal



01/26, 2022
Expires: 11.30.2022

SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION
1150 HIGHLAND AVE
LAKE FOREST *** ILLINOIS

Project #	21-102
Date:	01/26, 2022
Drawn by:	AL
Checked:	LA
Revision 1:	
Revision 2:	
Revision 3:	

Sheet #

A-7

Scale: as shown



Right Elevation

SCALE: 3/16" = 1'-0"



Rear Elevation

SCALE: 3/16" = 1'-0"

Copyright by
Leader Architects, Ltd.
No part of this document to
be modified, reproduced or
transmitted without prior
written authorization of the
Architect

eco design, Ltd.
LEADER ARCHITECTS
1701 s. First avenue
Maywood, IL 60153
708-715-5005
Leader.architect@gmail.com

License 184.007210

I hereby certify that these
drawings were prepared
under my responsible control
and to the best of my
knowledge fully comply with
the pertinent Building Code

Architects seal



0126.2022
Expires: 11.30.2022

SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION
1150 HIGHLAND AVE
LAKE FOREST *** ILLINOIS

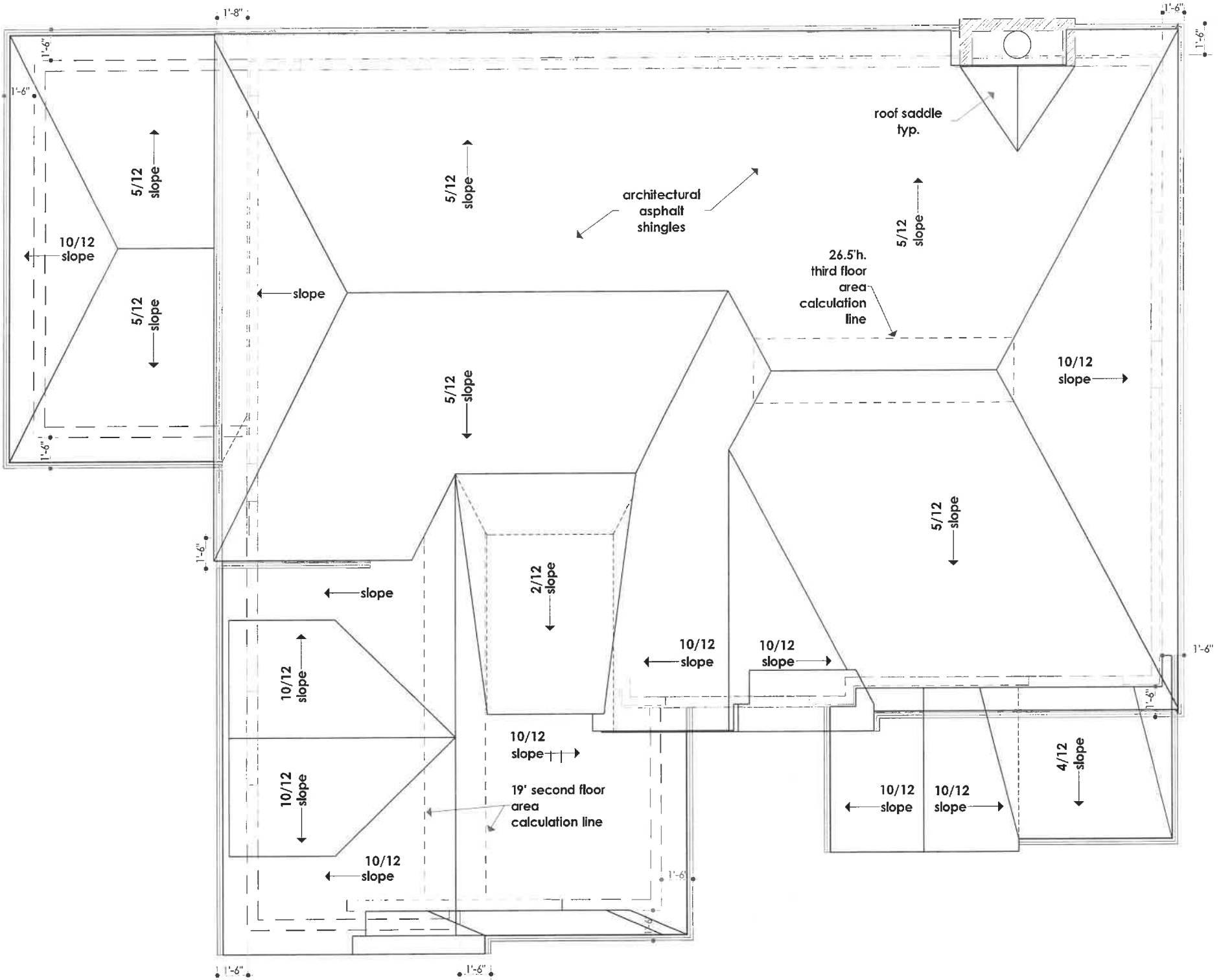
Project # 21-102
Date: 0126.2022
Drawn by: AL
Checked: LA

Revision 1:
Revision 2:
Revision 3:

Sheet #

A-8


Scale: as shown



Roof plan
SCALE: 1/4" = 1'-0"

Copyright by
Leader Architects, Ltd.
No part of this document to
be modified, reproduced or
transmitted without prior
written authorization of the
Architect


eco design. Ltd

**LEADER ARCHITECTS**

708-715-5005
Leader.architects@gmail.com
1701 s. first avenue
Maywood, IL 60553

License 184.007210
I hereby certify that these
drawings were prepared
under my responsible control
and to the best of my
knowledge fully comply with
the pertinent Building Code

Architects seal



ALAN LESKIV
ARCHITECT
LICENSE 001.02225

0126, 2022
Expires: 11.30.2022

SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION
1150 HIGHLAND AVE
LAKE FOREST *** ILLINOIS

Project #	21-102
Date:	0126, 2022
Drawn by:	AL
Checked:	LA
Revision 1:	
Revision 2:	
Revision 3:	

Sheet #

A-12

Scale: as shown



building section
SCALE: 3/16" = 1'-0"

Copyright by
Leader Architects, Ltd
No part of this document to
be modified, reproduced or
transmitted without prior
written authorization of the
Architect

eco design, Ltd
LEADER ARCHITECTS
708-715-5005
Leader.architect@gmail.com
1701 s. First Avenue
Maywood, IL 60153

License 184.007210

I hereby certify that these
drawings were prepared
under my responsible control
and to the best of my
knowledge fully comply with
the pertinent Building Code

Architects seal



0126.2022
Expires: 11.30.2022

SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION
1150 HIGHLAND AVE
LAKE FOREST *** ILLINOIS

Project # 21-102
Date: 0126.2022
Drawn by: AL
Checked: LA

Revision 1:
Revision 2:
Revision 3:

Sheet #
A-13
Scale: as shown

Material Schedule			
Item	Material	Manufacturer	Color
Roof	Asphalt shingles	" SUPREME SHINGLES "	Estate Grey
Sliding	Wood	" ALLURA "	Biscayne blue
Trim/ Fascia	Wood		Light gray
Gutters	Aluminum	" ACM "	Light gray
Windows	Wood	" MARVIN "	Light gray
Garage door	Wood	"Garage Solutions"	Light gray
Stone	Natural stone	" WILLOWBROOK BROWN CASTLEROCK "	Sand Brown



Copyright by
Leader Architects, Ltd.
No part of this document to
be modified, reproduced or
transmitted without prior
written authorization of the
Architect

eco design, Ltd
LEADER ARCHITECTS
708-715-5005
Leader, architect & gmail, LLC
1701 s. First avenue
Maywood, IL 60553

License 184.007210

I hereby certify that these
drawings were prepared
under my responsible control
and to the best of my
knowledge fully comply with
the pertinent Building Code

Architects seal



01/26/2022
Expires: 11/30/2022

SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION
1150 HIGHLAND AVE.
LAKE FOREST *** ILLINOIS

Project # 21-102
Date: 01/26/2022
Drawn by: AL
Checked: LA

Revision 1:
Revision 2:
Revision 3:

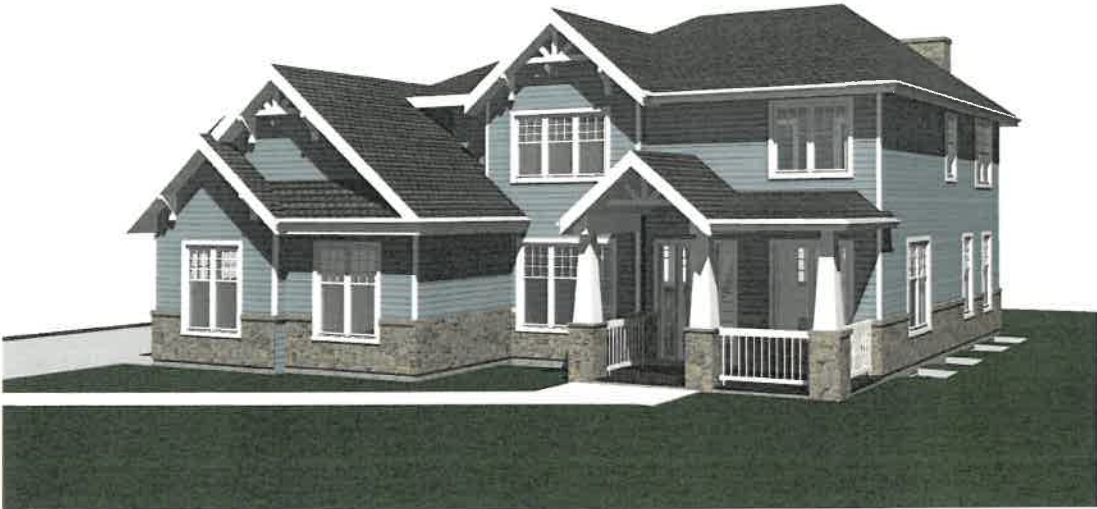
Sheet #

A-5

Scale: as shown



Front view



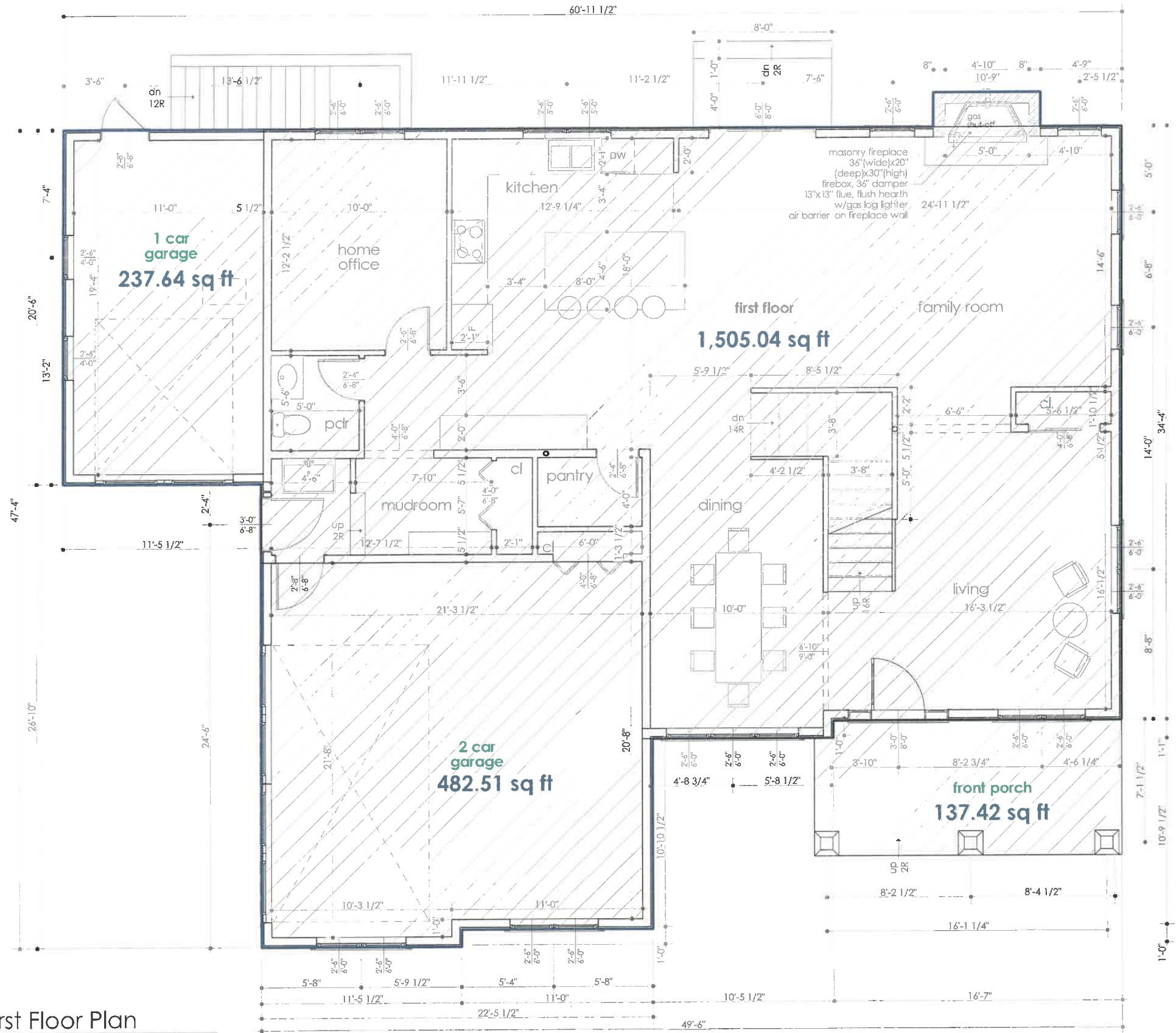
subject property



Street view



Highland avenue



First Floor Plan
SCALE: 1/4" = 1'-0"

Copyright by
Leader Architects, Ltd.
No part of this document to
be modified, reproduced or
transmitted without prior
written authorization of the
Architect

eco design, Ltd
LEADER ARCHITECTS
708-715-5003
Leader architects@gmail.com
1701 S. First Avenue
Maywood, IL 60153

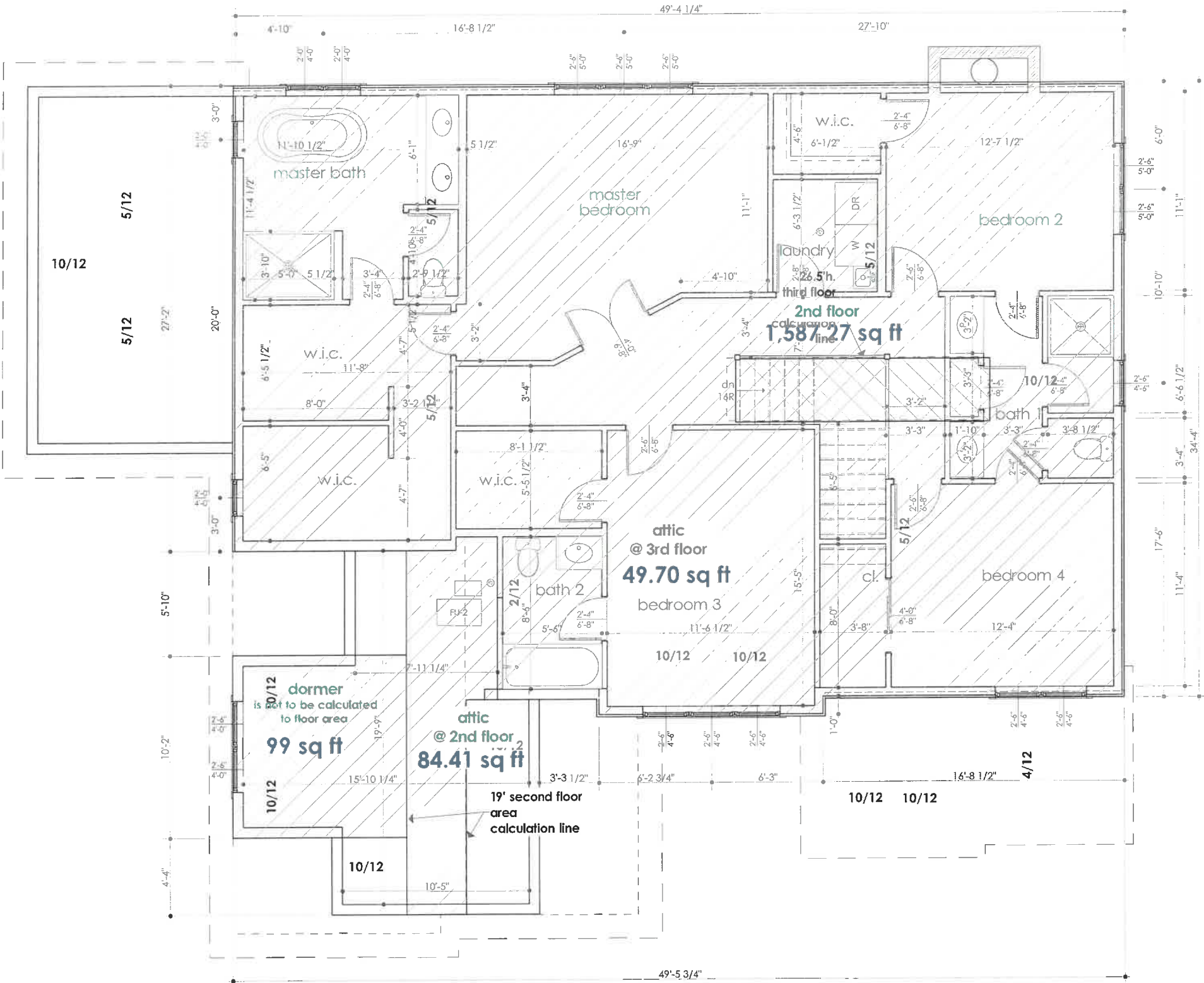
License 184.007210
I hereby certify that these
drawings were prepared
under my responsible control
and to the best of my
knowledge fully comply with
the pertinent Building Code

Architects seal
ALAN LESKIV
ARCHITECT
LICENSE 001.022200
0124, 2022
Expires: 11.30.2022

SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION
1150 HIGHLAND AVE
LAKE FOREST *** ILLINOIS

Project #	21 - 02
Date:	0124, 2022
Drawn by:	AL
Checked:	LA
Revision 1:	
Revision 2:	
Revision 3:	

Sheet #
A-10
Scale: as shown



Second Floor Plan
SCALE: 1/4" = 1'-0"

Copyright by
Leader Architects, Ltd.
No part of this document to
be modified, reproduced or
transmitted without prior
written authorization of the
Architect

eco design, Ltd
LEADER ARCHITECTS
708-715-5005
leader.architect@gmail.com
1701 S. First Avenue
Maywood, IL 60553

License 184.0072.10
I hereby certify that these
drawings were prepared
under my responsible control
and to the best of my
knowledge fully comply with
the pertinent Building Code

Architects seal
ALAN LESKIV
ARCHITECT
LICENSE 001.022220
0126.2022
Expires: 11.30.2022

SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION
1150 HIGHLAND AVE
LAKE FOREST *** ILLINOIS

Project #	21 - 102
Date:	0126.2022
Drawn by:	AL
Checked:	LA
Revision 1:	
Revision 2:	
Revision 3:	

Sheet #
A-11
Scale: as shown

Proposed Conditions Plan

THE NORTH 1/2 OF LOT 4 IN BLOCK 15 IN LAKE FOREST HEIGHTS, A SUBDIVISION OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 LYING WEST OF THE WESTERLY RIGHT OF WAY LINE OF THE CHICAGO NORTHWESTERN RAILROAD AND THE EAST 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 9, 1924, IN BOOK "M" OF PLATS, PAGE 70, AS DOCUMENT 237997, IN LAKE COUNTY, ILLINOIS.

PARCEL 2:
THE SOUTH 1/2 OF LOT 4 IN BLOCK 15 IN LAKE FOREST HEIGHTS, A SUBDIVISION OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 LYING WEST OF THE WESTERLY RIGHT OF WAY LINE OF THE CHICAGO NORTHWESTERN RAILROAD AND THE EAST 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 9, 1924, IN BOOK "M" OF PLATS, PAGE 70, AS DOCUMENT 237997, IN LAKE COUNTY, ILLINOIS.

TAG #	SIZE	SPECIES	CONDITION 1 - 6 (1=BEST - 6=DEAD)
1	12	Cottonwood	3
2	7	Mulberry	3
3	22	Cottonwood	3
4	6	Ash	6
5	17	Boxelder	5
6	21	Ash	4
7	7	American Elm	3
8	10	Ash	4
9	8	Ash	4
10	12	Red Oak	3
11	10	Red Oak	3
12	12	Ash	4
13	6	Hickory	3
14	10	Red Oak	3
15	10	Ash	4
16	13	Bur Oak	3
17	10	Ash	4
18	9	Ash	4
19	7	Ash	4
20	10	Ash	4
21	8	Ash	5
22	9	Ash	4
23	7	Ash	4
24	9	Ash	4
25	8	Ash	4
26	9	Ash	4
27	13	American Elm	6
28	17	Ash	4
29	7	American Elm	6
30	12	Ash	4

31	14	Ash	4
32	13	Ash	4
33	7	Ash	4
34	15	American Elm	3
35	22	Hickory	3
36	7	Red Oak	3
37	19	American Elm	3
38	18	Hickory	3
39	7	Hickory	3
40	8	Hickory	3
41	18	Ash	4
42	9	Ash	4

43	20	American Elm	3
44	12	Ash	4
45	7	Ash	4
46	14	Ash	4
47	25	American Elm	3
48	7	Ash	4
49	6	Ash	4
50	13	Ash	4
51	10	Ash	4
52	6	Ash	4
53	10	Silver Maple	3
54	6	Ash	6
55	3	Hickory	3
56	6	Ash	6
57	6	Ash	4
58	10	Hawthorn	6
59	15	Black Walnut	3

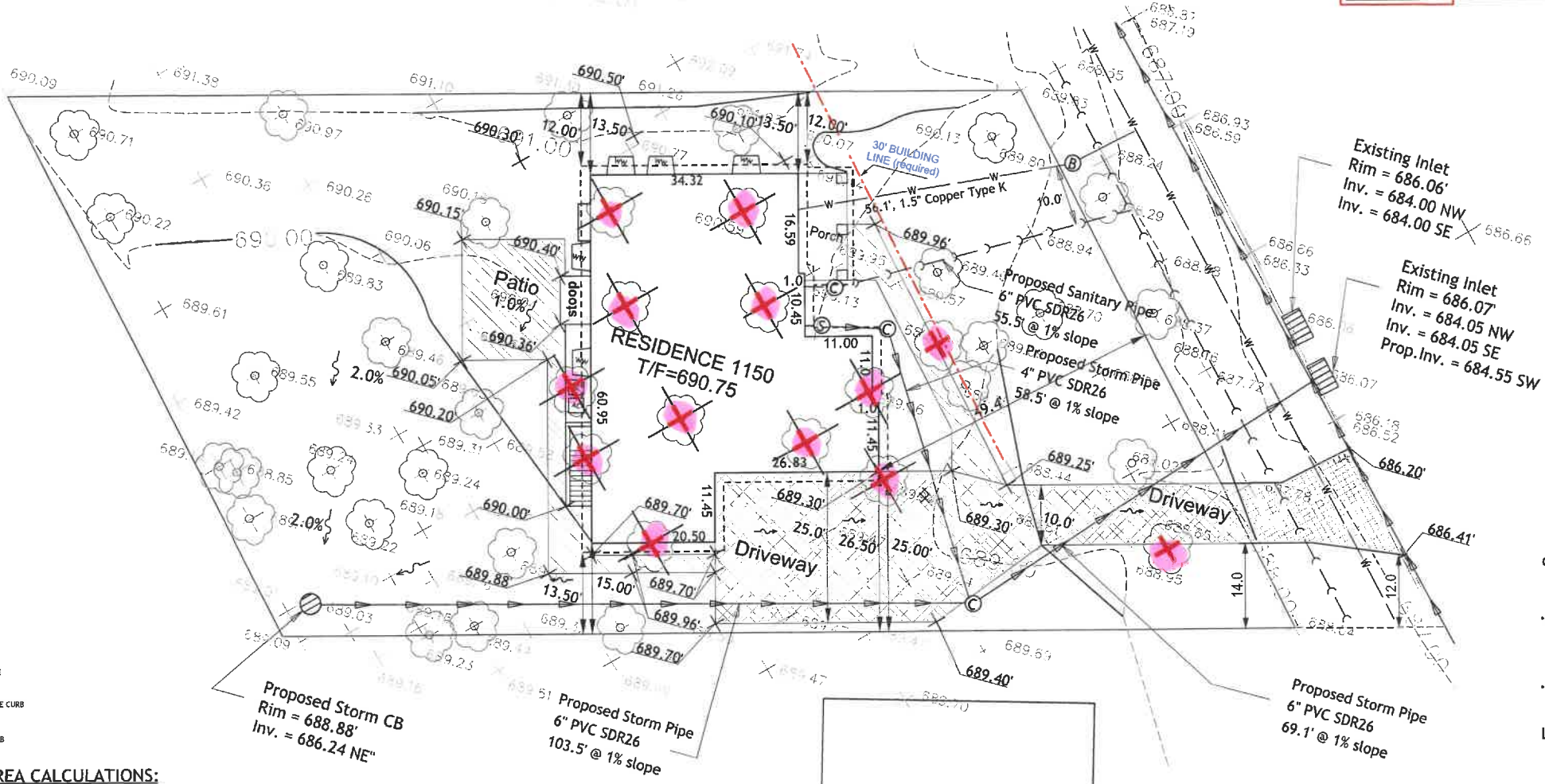
Thank you,
Lou Lengua
Certified Arborist #177
847-561-7061

LEGEND

- 671.57 EXISTING ELEVATION
- 609- EXISTING CONTOUR
- 690.00 PROPOSED ELEVATION
- 690.00- PROPOSED CONTOUR
- POWER POLE
- TREE
- AC AIR CONDITION
- BUSH
- EXISTING DRAINAGE PIPE
- FIRE HYDRANT
- DRAIN INLET
- STORMWATER INLET
- WATER MANHOLE
- S-BOX
- ELECTRIC METER
- GAS METER
- SUMP PUMP
- CLEANOUT
- WW WINDOW WELL
- GAS METER
- DOWNSPOUT
- B/S BOTTOM OF STEPS
- B/P BOTTOM OF PIPE
- T/P TOP OF PIPE
- AC AIR CONDITION
- DRAINAGE FLOW
- ASPHALT DRIVEWAY
- PAVER PATIO
- CONSTRUCTION FENCE
- TREE FENCE
- PROPOSED MOUNTABLE CURB
- PATCHING
- PROPOSED 8-4, 12 CURB

IMPERVIOUS AREA CALCULATIONS:

TOTAL LOT AREA : 14942.65 SF RECORD			
	EXISTING	PROPOSED	
HOUSE AREA	= 0.00 SF	2237.39 SF	
DRIVEWAY AREA	= 0.00 SF	1526.00 SF	
PATIO AREA	= 0.00 SF	548.34 SF	
PATH AREA	= 0.00 SF	226.43 SF	
PORCH AREA	= 0.00 SF	140.80 SF	
AC PAD/GEN AREA	= 0.00 SF	16.00 SF	
WINDOW WELLS AREA	= 0.00 SF	78.00 SF	
IMPERVIOUS TOTAL	= 0.00 SF	4772.96 SF	
PERVIOUS TOTAL	= 14942.65 SF	10169.69 SF	



February 12, 2022
Illinois Professional Engineer
Certificate No. 062.067021
Expiration date: 02-22-2022

REFERENCE: PLAT OF SURVEY BY
TOM W. ATKINS
12/11/14

SITE BENCH :
CURB CUT CROSS
ACROSS FROM 1150 HIGHLAND AVE.
ELEVATION = 686.42

Engineering &
Tree removal plan

SCALE: 1" = 15'

Copyright by
Leader Architects, Ltd.
No part of this document to
be modified, reproduced or
transmitted without prior
written authorization of the
Architect

eco design, Ltd
LEADER ARCHITECTS
1701 E. First Avenue
Maywood, IL 60553
708-715-5005
leleader.architect@gmail.com

License 184.007210

I hereby certify that these
drawings were prepared
under my responsible control
and to the best of my
knowledge fully comply with
the pertinent Building Code

Architect's seal



SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION
1150 HIGHLAND AVE
LAKE FOREST *** ILLINOIS

Project #	21-102
Date:	01/26/2022
Drawn by:	AL
Checked:	LA
Revision 1:	
Revision 2:	
Revision 3:	

Sheet #

A-4

Scale: as shown



TREE REPLACEMENT LIST				
BOTANIC NAME	COMMON NAME	SIZE	REPLACEMENT INCHES	QUANTITY
Acer freemanii 'Autumn Blaze'	Autumn Blaze Maple	3"	3	1
Acer Rubrum 'Redpointe'	Redpointe Maple	3"	3	2
Aesculus glabra	Ohio Buckeye	3"	3	6
Carpinus caroliniana	American Hophornbeam	3"	3	1
Fagus sylvatica	European Beech	3"	3	3
Liriodendron tulipifera	Tulip Tree	4"	4	1
Nyssa sylvatica	Black Gum	3"	3	1
Pinus strobus	Pinus strobus	5"	5	2
Pinus caryinata 'Chanticleer'	Chanticleer Pear	5"	5	2
Tilia cordata	American Linden	4"	4	1
Required Replacement Inches				

Total Proposed Replacement Inches. 48

LANDSCAPE REQUIREMENTS			SIZE	QUANTITY
BIOTIC NAME	COMMON NAME			
Under Story/Ornamental Trees				
Anelanelcher x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	3"	2	
Cercis canadensis	Eastern Redbud	3"	1	
Thuja occidentalis 'Nigra'	Nigra Arborvitae	6'	3	
Shrub				
Hydrangea quercifolia 'Snow Queen'	Strawberry Sundae Hydrangea	36"	10	
Spiraea betulifolia 'Tor'	Birdcherry Spirea	36"	3	

R
ROSBOROUGH
PARTNERS, INC.

342 N. 4th Street, Suite 104
Libertyville, IL 60048
P 847 547 1381
F 847 547 1382
www.rosboroughpartners.com

Rosborough Partners, Inc. hereby reserves any and all content, design, text, graphics, and other proprietary rights in these plans. Written permission must be obtained prior to the reproduction, disclosure to a third party, or use of these plans. Rosborough Partners, Inc. accepts no liability should these plans be used by a third party.

 **LEADER ARCHITECTS**
eco design, ltd
708-715-0005
Leader.architects@gmail.com
2010 AIA GreenSource
2010 GreenSource LEED 100

I hereby certify that these drawings were prepared under my responsible control and to the best of my knowledge fully comply with the pertinent Building Code

Architects seal



	01.26. 2022
Expires:	11. 30. 2022

SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION
1150 HIGHLAND AVE
LAKE FOREST *** ILLINOIS

Project #	21 - 102
Date:	01.26. 2022
Drawn by:	AL
Checked:	LA
Revision 1:	
Revision 2:	
Revision 3:	

Sheet #
A-3
Scale: as shown

Agenda Item 5
624 Highview Terrace
Second Floor Addition, Porch Additions, Garage Demolition &
Replacement Garage

Staff Report

Excerpt of the Zoning Board of Appeals Meeting Minutes

Building Scale Summary

Vicinity Map

Air Photos

Materials Submitted by Petitioner

Application

Property Owners' Statement of Intent

Project Manager Statement of Intent

Description of Exterior Materials

Plat of Survey – Existing Conditions

Proposed Site Plan

Existing and Proposed North & South Elevations

Existing and Proposed East Elevations

Existing and Proposed West Elevations

Color Rendering

Existing & Proposed Streetscape Image

Proposed Roof Plan

Existing & Proposed First Floor Plan

Proposed Second Floor Plan

Proposed Replacement Garage Elevations & Floor Plan

Preliminary Site Grading & Drainage Plan

Neighborhood Images Submitted by the Petitioners

Sun/Shadow Images Provided by Petitioners

Alternate Design Concepts

Correspondence from Zoning Board of Appeals Meeting

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

624 Highview Terrace

Consideration of a request for approval of a second floor addition to the existing single story home, porch additions, demolition of the existing garage and construction of a replacement two-car detached garage.

Property Owners: Jerry O'Brien and Laura Nekola
Project Representative: Chris Russo, project manager

Staff Contact: Jen Baehr, Planner

Summary of Request

The petitioners are requesting approval of a second story addition that extends across the full width of the front of the home, the addition of open porches on the front and rear of the home, demolition of the existing garage and construction of a replacement detached two-car garage in the northeast corner of the property.

The second story addition is proposed to allow reconfiguration of the existing first floor space and relocation of the bedrooms from the first floor to the proposed second floor. The second story addition is located above the front of the home to allow the existing interior vaulted ceiling space in the family room, at the rear of the house to remain. The front porch addition will replace the existing small covered stoop with a more functional porch. A small porch is proposed on rear of the home to provide a covered entry into the mudroom from the rear yard.

The existing garage is proposed to be demolished in its entirety and the petitioner is proposing to build a new two-car garage generally in the same location as the existing garage. The new garage is proposed to provide sufficient space for two vehicles and some storage space.

Action to Date on this Petition

The project as proposed requires zoning variances from the front yard setback and from the west side yard setback. Although the Building Review Board does not have purview over zoning variances, because the design and massing aspects of the second floor addition, which are under the purview of the Board, create the need for the zoning variance, the following information is provided. Requests for zoning variances must demonstrate a hardship that is not created by either the current or a former property owner.

As background, on November 22nd 2021, the Zoning Board of Appeals considered the following requests with respect to this petition.

- A variance from the front yard setback to allow construction of an open porch that encroaches three feet into the required 40 foot setback. The Zoning Board indicated general support for this variance.
- A variance from the side yard setback on the west side of the house to accommodate the second floor addition as proposed. The required side yard setback is 10 feet. The existing home is non-conforming to the 10 foot west side yard setback. The second floor addition as proposed extends into the 10 foot setback approximately six feet, close to the same distance as the footprint of the existing single story home.

- A variance to allow the structures on the property to exceed the allowable lot coverage was originally requested, but is no longer requested. The petitioner revised the plans to reduce the size of the garage to eliminate the need for a lot coverage variance.

The Zoning Board of Appeals questioned whether the requested side yard setback variance met the applicable criteria and requested that alternative massing and designs be considered by the petitioner, beyond those presented to the Board, in an effort to eliminate the need for a setback variance or to reduce the extent of encroachment of the two story mass into the side yard setback. The Zoning Board of Appeals requested review and input from the Building Review Board on whether, from a massing and design perspective, other options are workable.

The petitioner provided two alternative concepts for the second story addition which are included in the Board's packet. However, the petitioners informed staff that the alternative concepts do not accomplish the goals of the project, one of which is retaining the vaulted ceiling area over the family room at the rear of the house. Staff encouraged the petitioner to further explore concepts that potentially could accomplish their goals while also minimizing the extent of the encroachment of a new second floor mass into the required side yard setback.

Description of Property and Existing Residence

The property is located on the north side of Highview Terrace, one lot east of Maywood Road. Generally, the properties along Highview Terrace are larger in size closer to Sheridan Road and become narrower moving west. The properties in the immediate area of the property that is the subject of this request range in size from 7,300 square feet to 11,800 square feet. Lots of these sizes limit how large of a house and garage can be constructed in a manner that is supported by the Code requirements and in a manner that does not negatively impact neighboring homes or the character of the streetscape. The neighborhood is comprised of modest homes constructed in a mix of architectural styles. Based on available records, the majority of the homes along Highview Terrace were built in the 1950s, although some homes date from as early as the 1930s. As a result of construction of the homes being built many decades ago, most of the homes are nonconforming to the current zoning setbacks in some manner.

The property at 624 Highview Terrace is 7,950 square feet and is rectangular in shape. The site is narrow, as are most properties along Highview Terrace. The existing home was built in 1950 and is a single-story vernacular cottage style home. The existing garage was built in 1959. The family room on the north side of the home was a later addition built in 1964, this is the area where the vaulted ceiling which the owners desire to retain is located.

Staff Evaluation

An evaluation of the project based on the applicable standards and staff recommendations is offered below for the Board's considerations.

Demolition

As noted above, the existing detached garage is proposed to be demolished in its entirety. Findings in support of the partial demolition of the house and complete demolition of the garage are detailed below.

Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

This criterion is met. The existing garage does not present any special historical, architectural, aesthetic or cultural significance.

The proposed partial demolition of the house includes removal of the roof at the front of the home and removal of the existing covered entry on the front elevation. The elements proposed for removal do not have any particular significance.

Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.

This criterion is met. The existing garage is considered undersized for a modern day two-car garage. The work necessary to make the garage functional would ultimately result in a large portion of the garage being demolished and rebuilt.

The partial demolition of the home is proposed to allow the addition of second floor living space to the single story home.

Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

This criterion is not fully met. The garage in its present condition appears to be useable although as noted above is undersized for a two-car garage.

The single story, small home is suitable for residential use in its present condition. The current owners desire additional living space.

Criterion 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

This criterion is partially met. No evidence has been presented that the proposed demolition of the garage and replacement garage will adversely impact the values of the properties in the neighborhood.

No evidence has been submitted to demonstrate that the proposed partial demolition of the residence will adversely affect the neighborhood. The Zoning Board of Appeals raised concerns about the potential for adverse impacts resulting from the second story addition as proposed.

Criterion 5 – The demolition and replacement structure will be compatible with and not adversely impact the neighborhood character.

This criterion is partially met. The design of the proposed replacement garage appears to be generally compatible with the character of the property and existing neighborhood.

The overall massing of the proposed second floor addition, although generally consistent with the massing of the house to the east, is not generally consistent with the more refined massing of most of the homes in this small lot neighborhood. The Board's review and direction from a design and massing perspective are intended to assure consistency with the quality and character of the neighborhood.

Staff finds that the criteria for demolition are satisfied and recommends approval of the demolition of the garage and partial demolition of the residence subject to review and action on the proposed new construction.

Site Plan – This standard is met.

The existing footprint of the house will be maintained. The front porch addition is proposed on the east side of the front elevation. The front porch is 6 feet wide and 20 feet and 3 inches long.

The proposed replacement garage is generally in the location of the existing garage, although the replacement garage is shifted slightly to comply with the five foot accessory structure setback. The existing driveway will be slightly expanded to accommodate the wider replacement garage. The existing curb cut will remain.

Building Massing and Height – This standard requires further due diligence.

Based on the lot size, the Code permits a residence of up to 2,413 square feet. An additional 241 square feet is permitted for design elements, elements as defined in the Code which bring a human scale to the residence and serve to mitigate the appearance of overall mass such as single dormers, human scale covered entries and screen porches. A garage of up to 576 square feet for a garage is permitted.

- Based on the City's calculation methodology, the existing residence totals 1,649 square feet.
- The proposed second story addition totals 737 square feet.
- A total of 576 square feet is allowed for a garage on this property. The proposed replacement garage totals 484 square feet.
- The new front and rear porches add 154 square feet of design elements.
- The square footage of the existing residence with the proposed addition is 2,386 square feet and is below the maximum allowable square footage by 27 square feet, equal to 1 percent of the allowable square footage for the property.

The existing height of the house is not included on the architectural plans, but based on staff's measurement from the plans provided, the existing residence is approximately 15 feet and 8 inches tall. The second story addition will increase the height of the home to 24 feet and 2 inches. The maximum height allowed for a residence on this size lot is 30 feet as measured from the lowest point of existing grade to the tallest roof peak.

The project as proposed conforms to the City's square footage and height limitations. With the proposed addition, the home will reflect a full two-story massing from the street. Two story massing is not unprecedented in this neighborhood, however single and one and a half story homes are much more common.

From a design perspective, it is difficult to build a second story addition to a home that was originally designed to be a single story cottage in a manner that does not appear disconnected and out of proportion. The addition of the second story to the existing home appears to result in some awkward massing particularly on the front façade in the area of the existing front facing gable and on the side elevations where the second story addition appears unbalanced and top-heavy in relation to the existing home. The alternate concepts provided based on staff's review do not yet achieve a more cohesive massing which may be able to be achieved through further study and refinement of the second floor massing.

- Staff requests input from the Board on the massing of the proposed addition.

Elevations – This standard requires further due diligence.

The proposed addition will present a full two-story massing on the front elevation. As noted above, homes with single story and one and half story massing are more common in this neighborhood than a full two-story massing. The home directly east of this property does present a two-story massing and appears to loom over the surrounding lower profile homes. Continuing this massing pattern will impact the modest, understated character of the neighborhood. Staff recognizes the petitioner's need for additional square footage through a second floor addition, however questions remain as to whether further study and refinement could achieve a design that is a more appropriate and a sensitive solution that maintains the character of the home and neighborhood.

The existing front and rear shallow gable forms on the house will be maintained. The proposed addition presents a combination of steep gable and hip roof forms. Visually, the contrast in the roof types and pitches on the existing home and on the proposed addition does not reflect a cohesive appearance.

The existing home has a variety of opening sizes and proportions, although almost all the existing openings are vertically oriented. The proposed addition presents mostly double hung windows that are vertically oriented however one horizontal window is proposed on the east elevation which appears to stand out from the rest of the windows. The horizontal orientation of this window is proposed to accommodate furniture in the bedroom. Full double hung windows like those on the rest of the home may not be workable in this location, however a series of square shape windows or windows more proportional to the existing double hung windows may be more appropriate and could avoid creating a contrast with the existing windows.

- Staff requests input on the proposed roof type and pitches.
- Staff recommends modification of the horizontal window on the east elevation to more closely follow the window proportions and orientations found on the rest of the home.

Replacement Garage

The replacement garage is a simple, single story structure with gable roof form to match the existing residence. Double hung windows are proposed on the west elevation of the garage. A hipped roof element is proposed above the garage door on the south elevation.

Type, color, and texture of materials – This standard is generally met.

The exterior walls of the existing home are a combination of stone, brick, and cedar shingle siding. The proposed addition reflects a combination of fiber cement shingle siding and fiber cement clapboard siding. The proposed roof material is asphalt shingle to match the existing home. Fiber cement is proposed for the trim, fascia, soffit and rake boards on the proposed addition. Aluminum clad windows to match the existing windows are proposed. The petitioner did not provide information on the type of muntins proposed in the windows. Clarification on the type of muntin proposed should be provided during the meeting. Metal gutters and downspouts are proposed to match the existing home. The existing chimney is brick and will be extended with matching brick.

As stated in the City's Design Guidelines, no more than two wall materials should be visible on any exterior wall. As noted above, the existing house already has three different wall materials, stone, brick and shingle siding. With the proposed addition a fourth wall material is introduced, clapboard siding. The use of many different wall materials can result in a busy appearance and distract from the overall design of the home.

- Staff recommends replacing the clapboard siding on the proposed addition with shingle siding to match the existing house to avoid a busy appearance with the addition of a fourth wall material on the home.
- Staff recommends that all trim, fascia, soffit and rakeboards be natural wood consistent with past Board decisions and the City's Design Guidelines.

Landscaping – This standard is met.

No trees are proposed for removal as part of this petition. Although the petitioner did not provide a landscape plan for review, the petitioner's statement of intent describes existing and proposed landscaping. There is an existing deciduous tree in the front yard as well as a parkway tree located generally at the center of the property's street frontage. The existing trees in the front of the home can help to mitigate the increased height and mass of the home as viewed from the street.

The petitioner's statement of intent describes plans to plant native shrubs along the front of the home. As the plans are more fully developed, a landscape plan will be required and include details on the new plantings proposed for staff review to ensure that, at a minimum, foundation plantings are incorporated.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at five public locations. As of the date of this writing, four letters with various exhibits attached were submitted by the neighbor to the west expressing concern about impacts to natural light due to the proximity of the proposed second story mass to the property line, within the required setback area. The neighbor also raised concerns about existing and potential drainage issues.

Two additional letters were submitted to the Zoning Board of Appeals. One of these letters was submitted by a neighbor to the north expressing general concerns about the potential for overbuilding on the lot and a change to the character of the small lot neighborhood. The second letter was submitted by the previous owner of the home to the west. This letter expresses concerns about the requested side yard setback variance.

In addition, several form letters were submitted by neighboring property owners that generally express support for the proposed addition.

Although many of the letters received to date are addressed to the Zoning Board of Appeals and largely express concerns about aspects of the petition not under the purview of the Building Review Board, these letters are included in the packet to provide the members of the Board with a full understanding of the project recognizing that the massing and design review is closely linked with the encroachment into the setback.

Recommendation

The Zoning Board of Appeals requested input from the Building Review Board on the massing and design of the project and whether there are potentially other massing and design options that could address both the Design Guidelines and minimize the need for or extent of a side yard setback variance. Staff recommends that the Board offer comments and direction on the proposed design and massing.

Options for Action:

- Continue the portion of the petition relating to the proposed additions to the house with clear direction on the areas in need of further study and modification. And, approve a motion recommending approval of the demolition of the garage and approval of the replacement garage.

OR

- Recommend approval of the second floor addition, porch additions, demolition of the existing garage and construction of a replacement garage based on the findings discussed and presented during the Board's deliberations subject to the following conditions:
 1. Modify the horizontal window on the east elevation to more closely follow the window proportions and orientations found on the rest of the home.
 2. Replace the clapboard siding on the proposed addition with shingle siding to match the existing house and to avoid a busy appearance with the addition of a different type of siding.
 3. All trim, fascia, soffit and rakeboards shall be natural wood consistent with past Board decisions and the City's Design Guidelines.
 4. All modifications to the plans including those detailed above, those made in response to Board direction and changes made as a result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
 5. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City.
 6. Details of exterior lighting shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view.
 7. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. Offsite parking and shuttling workers to the site may be necessary due to the narrow street.

The City of Lake Forest
Zoning Board of Appeals
Proceedings of the November 22, 2021 Meeting
EXCERPT

A regular meeting of the Lake Forest Zoning Board of Appeals was held on Monday, November 22, 2021 at 6:30 p.m., in Lake Forest, Illinois.

Zoning Board of Appeals members present: Chairman Michael Sieman and Board members Pete Clemens, James Moorhead, Nancy Novit, Laurie Rose, Ari Bass and Lisa Nehring.

Zoning Board of Appeals members absent: None

Staff present: Michelle Friedrich, Planning Technician and Catherine Czerniak, Director of Community Development

- 5. Consideration of a request for variances from the front and side yard setbacks to allow construction of a front porch and a second story addition at 624 Highview Terrace. A lot coverage variance is also requested.**
Property Owners: Jerry O'Brien and Laura Nekola
Representative: Chris Russo, project manager

Chairman Sieman introduced the agenda item and asked the Board for any Ex Parte contacts or conflicts of interest.

Board member Nehring stated that she met Mr. O'Brien when she visited the site but did not have a conversation with him.

Board member Novit stated that she also met Mr. O'Brien when she visited the site, and he reviewed the architectural design of the proposed addition with her. She stated that despite the interaction, she can review the petition objectively.

Board member Bass stated that he exchanged pleasantries with Mr. O'Brien when he visited the site but had no discussion about the petition.

Hearing no further declarations, Chairman Sieman swore in all those intending to speak and invited a presentation from the petitioner.

Mr. Russo introduced the petition and stated that he has worked with the property owners over the course of the last year to develop a plan that meets the desires of the family. He noted that this project has been on the Zoning Board's agenda twice in the

past but was removed in response to concerns raised by the neighbor to the west. He stated that the neighbor's concerns have been taken into consideration. He stated that the owners are withdrawing the request for a variance from the lot coverage limitation. He stated that the existing house is modest, and the owners wish to stay in the home and expand it to make it functional for their family. He reviewed the proposed changes to the floor plans noting that office space, a mudroom and a laundry room will be added to the first floor if the bedrooms are moved into a second floor addition. He stated that the second floor addition will be built out with three modestly sized bedrooms and two bathrooms. He noted that the family room is in the rear portion of the existing first floor and has a vaulted ceiling which the owners want to keep. He stated that to preserve the vaulted ceiling space, the second floor addition is pushed toward the front of the house adding that the front of the house is the best location for the second floor addition to minimize impact on the neighbor. He presented an alternate plan that complies with the side yard setbacks and extends north to south over the length of the house. He noted however that the alternative design eliminates the vaulted ceiling in the family room and impacts light to the neighboring home to some extent. He stated that a sunlight/shadow study was completed and presented screen shots from the study. He stated that the design is sympathetic to the neighbor to the west with respect to the roof forms and the length of the addition from north to south.

Mr. O'Brien stated that he has lived in the neighborhood for about 12 years adding that his children attend school in the community. He stated that the proposed improvements will allow the family to grow in the house and allow him and his wife to age in place.

Ms. Friedrich stated that the neighborhood is comprised of small lots platted in the 1920's and is built out with homes. She stated that given the nonconforming nature of many of the homes in the neighborhood, requests for some variances are reasonable. She reviewed the aspects of the proposed project that encroach into the required setbacks. She noted that an open front porch is proposed in the front yard setback and a second floor addition is proposed within the side yard setback. She stated that a rear porch and a replacement garage are proposed, and both comply with the required setbacks. She stated that based on Mr. Russo's comments, staff understands that there has been a reduction in the footprint to eliminate the need for a variance from the lot coverage limitation. She explained that the existing house is sited just beyond the 40 foot front yard setback and a variance to allow a new front porch to encroach into the front yard setback up to three feet is requested. She stated that the open front porch could help to reduce the appearance of mass of the front façade and present a human scale element to the streetscape. She noted that the existing house, including the eave and gutter is 3'10 ½" from the west property line. She stated that as proposed, the second story addition is pulled in slightly and is located 4'2 ¾" from the west property line including the eave and gutter. She noted that the property to the

west is a corner lot and as a result, the rear of the neighboring home abuts the side of the property in this petition. She noted that the proposed second story addition extends 24.5 feet from north to south and increases the height of the house to approximately 24 feet in height. She noted that three letters were received from the neighbor to the west noting concerns with drainage and limits to sunlight reaching his home as a result of the addition. She noted that another letter was received from a neighbor on Northmoor Road expressing concerns about granting a lot coverage variance due to drainage issues in the neighborhood. She stated that ten letters of support for the project were received from other neighbors. She stated that staff recommends continuing the petition to allow the petitioner to continue to explore alternatives that comply with the setbacks or require variances of a lesser magnitude.

Chairman Sieman invited questions from the Board.

In response to questions from Board member Nehring, Ms. Friedrich stated that she was unsure if a variance was granted for the second floor addition on the house to the east of the property in this petition. She confirmed that the City Engineer has preliminarily reviewed the drainage and grading plan and indicated support for installation of a storm sewer along the west property line which was recently added to the plan to help address standing water issues. She stated that the City Engineer encouraged consideration of locating the drain more centrally in the rear yard to collect water in that location.

In response to questions from Board member Bass, Mr. Russo stated that the potential for an alternate plan, somewhere between the preferred plan and the alternate presented, was not studied. He stated that the property owners want to achieve a certain amount of space. He stated that if the second floor is extended over the family room, eliminating the vaulted ceiling, it makes sense to extend the addition the full length of the house north to south.

In response to questions from Board member Clemens, Ms. Friedrich confirmed that the City Engineer can be asked to provide input on the appropriateness of the downspouts from 634 Highview Terrace draining onto the 624 Highview Terrace property.

In response to questions from Board member Moorhead, Ms. Friedrich confirmed that the proposed second floor addition conforms to the 30 foot height limitation. She added that the alternate plan presented to the Board was not presented to staff for review prior to the meeting.

In response to questions from Board member Nehring, Ms. Friedrich stated that she knows that some variances have been granted in the past to homes in this neighborhood. She stated that she does not know the specifics of the variances or

how they compare in magnitude of impact on neighboring properties to the current request. She stated that staff can conduct a study of variances in the neighborhood.

Board member Nehring noted that the house to the west has a large overhang on the east elevation which likely limits the amount of light entering the home.

Hearing no further questions from the Board, Chairman Sieman invited public testimony.

Donald Pochopien, 155 Maywood Road, stated that he is the owner of the property immediately to the west. He noted that his eave is 27 inches deep. He stated that information was provided in his letter showing how the light to his property will be impacted by the proposed addition. He commented that he does not think a storm sewer is necessary but noted that the downspout at the northwest corner of the house at 624 Highview Terrace could be redirected. He noted that a swale may also be helpful along the shared property line.

Hearing no further requests to speak from the public, Chairman Sieman invited final comments from the petitioner.

Mr. Russo stated that the owners believe they should be permitted to build a second floor addition and that they need to find the best way to do it. He acknowledged that the alternate plan presented is not a good option and is not sensitive to the existing house, the property owner, or to the neighbor. He noted that a short length of wall, from north to south, will be less impactful to the neighbor and provides the best design, architecturally. He noted that the room sizes proposed on the second floor are minimal.

Board member Rose commented that it might be best to learn more about this area, have staff conduct some research, and allow the petitioner to explore other options for expanding the home.

Board member Moorhead stated that the sunlight/shadow study presented is confusing. He stated that he believes that the owner of the property at 155 Maywood Road is correct that there will be an impact on light to his property. He stated that it would be helpful to present a sunlight/shadow study for a winter day. He added that it would also be helpful to understand whether there are other viable alternatives for expanding the house. He stated that the variance request is like the request considered by the Board for the 2 June Terrace property which was also a situation where the houses were side by side, without a driveway separation. He noted that many of the homes on Highview Terrace have buffers of land or a driveway between them except for a few single story homes. He noted at this time, he is not inclined to support this petition because the criteria do not appear to be satisfied. He stated that he is willing to consider alternate plans.

Board member Clemens stated a willingness to support the petition. He noted that the house to the east overshadows the single story home at 624 Highview Terrace. He noted that the proposed addition is lower in height than the house to the east and is consistent with other additions in the neighborhood.

Board member Nehring agreed with Board member Clemens that other homes in the neighborhood have been expanded. She said she supports the property owners' interest in expanding their home to allow them to stay in the neighborhood. She stated that the alternate design that was presented is not attractive and would not be consistent with the character of the neighborhood. She stated support for the design of the proposed addition but acknowledged that the increased mass could impact light to the neighboring property.

Board member Bass agreed that the proposed addition is in keeping with additions to other homes in the neighborhood.

In response to a question from Board member Bass, Ms. Friedrich stated that the alternate plan was not provided to staff in advance of the meeting and was not included in the Board's packet. She stated that as noted by the petitioner's architect, the preferred plan retains the vaulted ceiling in the first floor family room at the rear of the house. She added that any addition that is proposed will be subject to consideration by the Building Review Board. She confirmed that the Board could choose to continue consideration of the petition to allow further study by staff and the petitioner.

Ms. Czerniak offered that the Building Review Board would be able to offer some input on the design aspects of various options for expanding the house. She noted that the properties in this neighborhood are small and there are limits to what can be accommodated on the properties.

Board member Novit stated that she understands the various perspectives on the petition. She agreed that sometimes, a small lot cannot accommodate everything that is desired. She also agreed that the petitioners should be allowed to do what they want on their property. She noted in the past, the Zoning Board of Appeals has granted variances for very specific instances that were not intended to set a precedent for every property in the neighborhood. She stated that she is interested in learning more about the variances that have been granted to date in this neighborhood. She stated that she does not like delaying action on a petition but noted that she is not sure that either of the options presented are the best solution for the property.

Chairman Sieman agreed with Board member Novit's comments. He stated that he is struggling to find the right answer. He stated that additional data may help guide the

Board to the right answer. He asked for clarification on whether the residence to the west is conforming to the setbacks. He stated that a desire to retain the vaulted ceiling in the family room is not a hardship to support a setback variance. He stated support for a variance for the front porch. He stated that it is his understanding, based on the petitioner's presentation, that a variance from the lot coverage requirement is no longer requested.

Board member Nehring noted that the front porch addition is part of the overall design which could change based on the Board's discussion to date. She suggested holding off action on the variance for the front porch addition.

Hearing no further comments from the Board, Chairman Sieman invited a motion.

Board member Rose made a motion to continue consideration of the petition to allow the petitioners time to explore other alternatives and staff time to research other variances granted in the neighborhood.

The motion was seconded by Board member Novit and approved by a vote of 6-1, with Board member Clemens voting nay consistent with his earlier comments.

Chairman Sieman asked that the Building Review Board review various concepts developed by the petitioner and weigh in on the design aspects of the proposed project.

In response to questions from Board member Rose, Ms. Friedrich confirmed that the petition is currently scheduled for Building Review Board consideration in December.

Board member Moorhead stated that in his opinion, the Building Review Board may provide valuable feedback.

In response to questions from Board member Novit, Ms. Friedrich confirmed that staff will research whether drainage was discussed at the time the addition to the house at 634 Highview Terrace was considered.

7. Public testimony on non-agenda items.

No public testimony was presented to the Board on non-agenda items.

8. Additional information from staff.

Ms. Friedrich noted that the next meeting is scheduled for Monday, January 24, 2022.

The meeting was adjourned at 8:41p.m.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 624 Highview Terrace Owner(s) Jerry O'Brien and Laura Nekola
 Architect Chris Russo, Project Manager Reviewed by: Jen Baehr
 Date 4/6/2022
 Lot Area 7950 sq. ft.

Square Footage of Existing Residence:

1st floor 1649 + 2nd floor 0 + 3rd floor 0 = 1649 sq. ft.

Design Element Allowance = 241 sq. ft.

Total Actual Design Elements
(To Be Removed) = 28 sq. ft. Excess = 0 sq. ft.

Existing Garage 463 sf actual ; 576 sf allowance Excess = 0 sq. ft.
(To Be Removed)

Existing Garage Width 18'- 4" ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Existing Residence = 1649 sq. ft.

Square Footage of Proposed Additions:

1st floor 0 + 2nd floor 737 + 3rd floor 0 = 737 sq. ft.

New Garage Area 484 sq. ft. New Garage Width 22' ft. Excess = 0 sq. ft.

New Design Elements 154 sq. ft. Excess = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 2386 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 2413 sq. ft.

DIFFERENTIAL = 27 sq. ft. **NET RESULT:**
Under Maximum

27 sq. ft. is

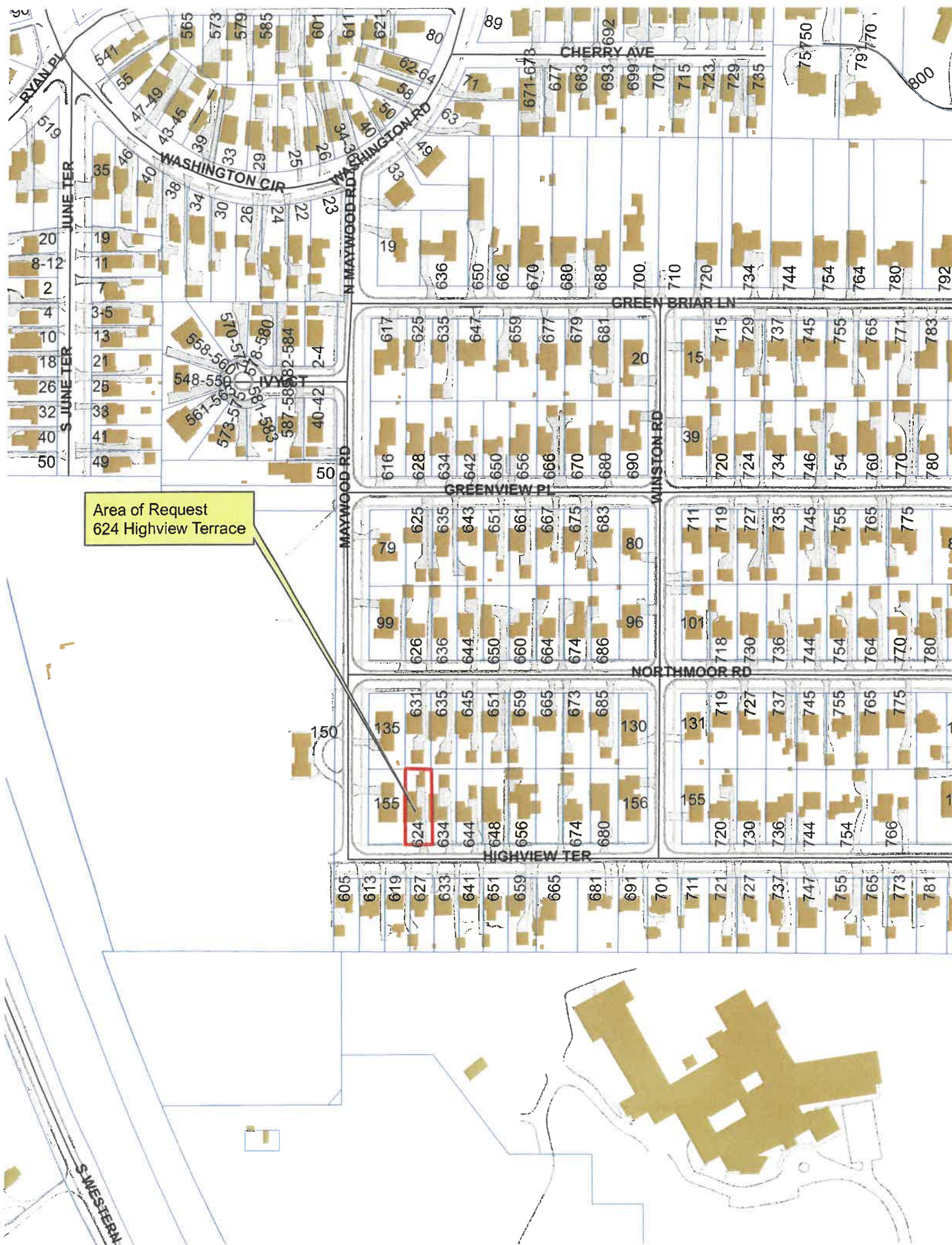
Allowable Height: 30 ft. Actual Height 24' - 2" **1.14% under the Max. allowed**

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 241 sq. ft.

Front & Side Porches = 154 sq. ft.
 Rear & Side Screen Porches = 0 sq. ft.
 Covered Entries = 0 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = 0 sq. ft.
 Individual Dormers = 0 sq. ft.
 Bay Windows = 0 sq. ft.

Total Actual Design Elements = 154 sq. ft. **Excess Design Elements** = 0 sq. ft.



Area of Request
624 Highview Terrace

Area of Request
624 Highview Terrace



Area of Request
624 Highview Terrace



Done

CCF_000063

Open in Books



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 624 HIGHVIEW TERRACE

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input checked="" type="checkbox"/> Other DETACHED GARAGE DEMO	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

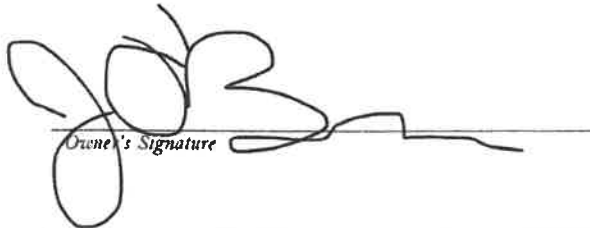
JERRY O'BRIEN & LAURA NEKOLA
Owner of Property

624 HIGHVIEW TERRACE
Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60045
City, State and Zip Code

847-346-2434
Phone Number Fax Number

b767flyer@juno.com
Email Address


Owner's Signature

ARCHITECT/BUILDER INFORMATION

CHRIS RUSSO

Name and Title of Person Presenting Project

ALA ARCHITECTS & PLANNERS, INC.
Name of Firm

2600 BEHAN RD.
Street Address

CRYSTAL LAKE, IL 60014
City, State and Zip Code

815-788-9200
Phone Number Fax Number

CRUSSO@ALAARCHITECTS.COM
Email Address


Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER ☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

☐ OWNER ☐ REPRESENTATIVE

Lake Forest Building Review Board
220 East Deerpath
Lake Forest, IL 60045

March 24, 2022

To Whom it May Concern,

We are writing to you today regarding our property located at 624 Highview Terrace in Lake Forest, Illinois.

It is our intention to remodel our existing 1951 vintage cape cod single-story structure with a partial second floor addition and enlargement of the existing front porch. While we love the location and aspects of our home, after living here for ten years, we realize that the residence's design does not lend itself to convenient modern living and we hope to rectify this situation for ourselves as well as future owners of this property. To this end, our renovation will add: a first-floor laundry / entryway / mud room and an office space / guestroom. The first-floor laundry is desirable because our washer and drier are in the basement which is accessed by a narrow stairwell which does not meet current building safety code standards and is too narrow for a complete handrail on either side, which poses a safety hazard. The laundry room will do double duty as an entryway / mudroom and provide our house with a much-needed place to store shoes and coats which is lacking in our current residence and a desirable accommodation for family living. The first-floor office space will make it easier to work and study from home and give us the ability to have a spare room for guests. The proposed new second-floor bedrooms and baths, while modest in size, are configured to more modern, usable, standards while maintaining the charm of the existing home.

As it is the Building Review Board objective to manage structural changes that impacts established neighborhoods, we appreciate that there are several criteria that you need to consider when approving our design request and we would like to address them in this letter.

First, the location and appearance of the requested structure must be considered in relation to its immediate neighbors and the general streetscape. We believe that our second-story addition is compatible with the overall appearance of our block. Many of the neighboring houses are two story residences that have been originally constructed or remodeled to accommodate the needs of families in a similar manner to our petition. These neighboring

homes are placed on similarly sized lots with the same non-conforming setback issues that our property faces so that the second-story addition we are proposing, although encroaching on to our west-side setback, will not stand out as unique to our property. It should also be noted that the average square footage for several of these homes is comparable to the square footage of the home we are requesting. Please refer to the attached pictures and accompanying details that illustrate how our addition will be in keeping with the current streetscape of our neighborhood.

We also considered architectural style and functionality when we limited our design to construct the second-story addition over just the original front portion of our home. After looking at various options with our architect which required either diminishing the size of our second story or extending our addition over the vaulted ceiling of our great room we determined that neither of these choices provided either functional room sizes or a pleasing architectural style. This situation is also in keeping with previous neighborhood building requests as it can be noted that owners of the property to our immediate east (634 Highview), argued in their approved zoning variance that, “in order to produce a workable layout of the second-floor addition, the entire width of the original structure . . . would have to be utilized even though a portion of that addition will encroach into the required side yard.” Therefore, although our design does encroach on current setback allowances, it is consistent with the building plans allowed for our immediate east-side neighbor and maintains the character of the present neighborhood.

A second criteria that needs to be considered is the scale of the home as regards its massing and height. We feel we have been successful at minimizing the massing impact by creating a design that steps the second-floor footprint backward, has hipped roof profiles to minimize bulkiness, and enlarges the front porch with a shed roof across to break up the most prominent portion of the addition and gives the design a more human scale. We feel that the use of horizontal and shake siding finishes also serves to lighten the overall mass of the addition, while blending harmoniously with the shake siding and masonry of the existing home. The scale and height of the addition and garage are visually compatible with site elements and adjacent buildings. The proposed additions are consistent with the existing architectural style, while the proportions of the elevations, and visual continuity of the rooflines, are harmonious with the existing residence and the surrounding neighborhood.

A third criteria that is considered is how landscaping will be maintained or added to enhance the building design. It is our plan to use existing parkway and front yard maple trees, along with bushes and other landscape features to diminish the mass of the addition from the streetscape. Any required new landscaping features shall be consistent with the existing natural environment on both our property and surrounding properties. We intend to primarily use plants and shrubs that are native to Illinois and can withstand the full sun exposure and dry conditions which exist on the front-side of our residence such as Lead Plant, New Jersey Tea, or St. John's Wort.

Lastly it is important for the type, color and texture of the materials used to be considered. Our architect assures us that the proposed exterior materials will be of the highest quality, appropriate for the intended use and consistent with the existing style of the residence. We are planning on maintaining our current color scheme of moss green siding with cream trim and dark brown accents. Our choice to add horizontal siding to the front along with the current masonry and shake siding is purposeful in that it helps, as was mentioned above, to minimize the appearance of the size and bulk of the second-story addition.

We recognize that it is the job of the Building Review Board to consider requests very carefully to maintain the character and value of local properties. We believe that the additions that we have presented before the Board will enhance not only the comfort and livability of our home but will be an asset to the Northmoor Neighborhood as the alterations made to our home will increase the appeal and value of our residence for years to come.

Thank you for your time and consideration,

Laura Nekola and Jerry O'Brien



Architects & Planners, Inc.

2600 Behan Road (at Route 176)
Crystal Lake, IL 60014

Phone: 815-788-9200
Fax: 815-788-9201

June 3, 2021

**City of Lake Forest
Building Review Board
Letter of Intent for Variance Request
800 N. Field Drive
Lake Forest, IL 60045**

**Re: Letter of Intent for Building Review Board
O'Brien Residence
624 Highview Terrace
Lake Forest, Illinois 60045
ALA project #20328**

Jerry O'Brien and Laura Nekola are longtime residents of Lake Forest. They love the community and intend to remain here, in this house, well into their retirement years. While Jerry and Laura love their 1951 vintage 1-story Cape Cod, the home has some design flaws which they would like to address at this time. The proposed changes presented for your consideration include a partial second floor addition to the residence, the enlargement of the existing front porch, the addition of a covered rear entry, and a new detached garage.

The only solution available to address their family's needs on this lot is to create more space by building up and relocating the existing bedrooms to the second floor. In addition to capturing much needed living space on the main level, the second floor addition allows for opportunities to create a mud room, with more convenient access to the detached garage at the rear of the house, and to bring the laundry room up from the basement to the main floor. The proposed new second floor bedrooms and baths, while still rather modest in size, are configured to more modern, usable, standards while keeping with the charm of the existing home.

We feel we have been successful at minimizing the massing impact by stepping the second floor footprint backward, choosing hipped roof profiles to minimize bulkiness, and enlarging the front porch with a shed roof across to break up the most prominent portion of the addition and give the design a more human scale. We feel that the use of horizontal and shake siding finishes also serves to lighten the overall mass of the addition, while blending harmoniously with the shake siding and masonry of the existing home. In addition to these design features, existing parkway and front yard trees, along with bushes and other landscape features further diminish the mass of the addition from the streetscape. This allows us to create a usable front porch to socialize with neighbors and help reduce the overall massing.

The scale & height of the addition and garage visually compatible with site elements and adjacent buildings. The proposed additions are consistent with the existing architectural style, while the proportions of the elevations, and visual continuity of the rooflines, are harmonious



Architects & Planners, Inc.

2600 Behan Road (at Route 176)
Crystal Lake, IL 60014

Phone: 815-788-9200
Fax: 815-788-9201

with the existing residence and the surrounding neighborhood. Any required new landscaping features shall be consistent with the existing natural environment on both the subject property and surrounding properties. Proposed exterior materials are of the highest quality, appropriate for the intended use and consistent with the existing style of the residence. Wherever possible, the proposed design maximizes the distance between buildings on site and on adjacent properties. The size, scale, and nature of the additions are consistent with the existing streetscape and character of the neighborhood.

We look forward to discussing the proposed design with you in further detail and welcome any questions you may have. We believe that these proposed changes will only provide a positive benefit to the homeowners, their neighbors, and the City of Lake Forest.

Sincerely,

Christopher Russo
Project Manager



Architects & Planners, Inc.

2600 Behan Road (at Route 176)
Crystal Lake, IL 60014

Phone: 815-788-9200
Fax: 815-788-9201

Description of Exterior Materials at 624 Highview Terrace

Existing 1-Story Residence with 2nd Story Addition:

Existing Stone
Existing Facebrick
Existing Cedar Shake Shingles
Existing Cedar Fascia & Frieze Boards
Existing Metal Gutters & Downspouts
Existing Asphalt Shingle Roof
Existing Stone Sills
Existing Aluminum Double Hung Windows
New Windows to match existing
New 6" Horizontal James Hardie or Engineered Wood Siding
New James Hardie or Engineered Wood Trim, Frieze, and Fascia
New James Hardie or Engineered Wood Shake Shingles, match existing style
New engineered wood or composite gable details & porch column surrounds
New Metal Gutters & Downspouts to match existing
New Double Hung Windows, match style of existing
New Facebrick for chimney extension, match existing
New Asphalt Shingles, match existing
New Standing Seam Metal Roof

New Detached Garage:

Stone, to match existing residence
Facebrick, to match existing residence
James Hardie or Engineered Wood Shake Shingles, to match existing residence
New engineered wood or composite gable details & brackets
New Asphalt Shingles, match existing residence
New Standing Seam Metal Roof
Garage & Service Doors as selected by Owner, match style of existing residence
New Metal Gutters & Downspouts to match existing residence



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☒ Stone
☒ Brick
☒ Wood Clapboard Siding
☐ Stucco

Color of Material _____

- ☒ Wood Shingle - **SHAKE**
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____
Color of Finish _____

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone
☒ Brick
☐ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☒ Limestone
☒ Brick
☒ Wood - **ENGINEERED**
☒ Synthetic Material - **JAMES HARDIE**
☐ Other _____

Fascias, Soffits, Rakeboards

- ☐ Wood
☒ Other **ENGINEERED WOOD OR JAMES HARDIE**
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
☐ Stone
☐ Stucco
☒ Other CAST STONE CAP

Roofing

Primary Roof Material

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☒ Composition Shingles
☒ Sheet Metal @ NEW PORCHES & GARAGE OVERHANG ONLY
☐ Other _____

Flashing Material

- ☐ Copper
☒ Sheet Metal _____
☐ Other _____

Color of Material _____

Gutters and Downspouts

- ☐ Copper
☐ Aluminum
☐ Other EXIST. METAL UNKNOWN, NEW WILL MATCH EXIST TO BE
FIELD VERIFIED

Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☐ Brick Pavers
☐ Concrete Pavers
☒ Poured Concrete
☐ Other _____

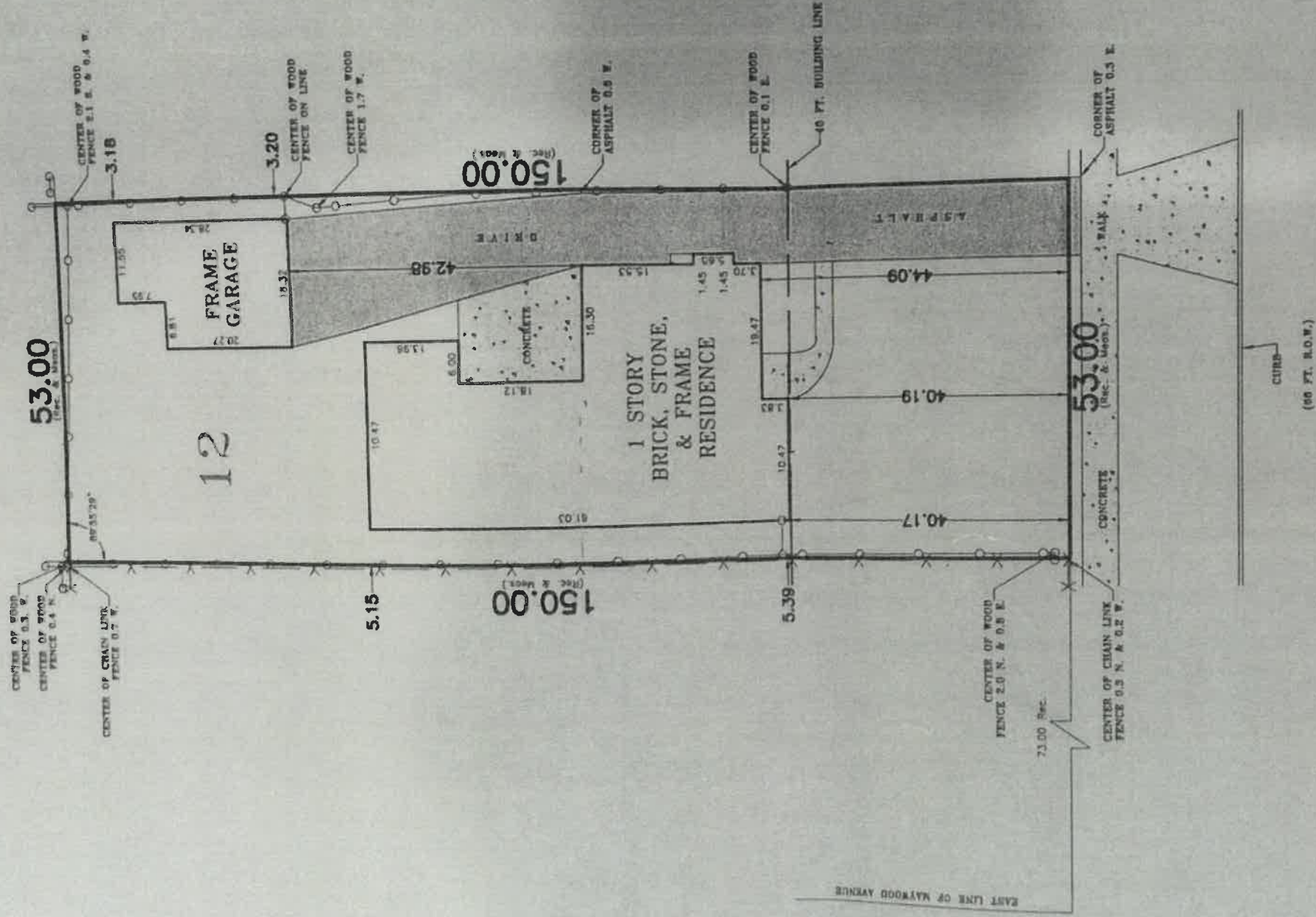
PLAT OF SURVEY

LOT 12 IN BLOCK 4 IN L. G. ARRIES' FIRST ADDITION TO NORTHMOOR TERRACE, A SUBDIVISION OF LOTS 2, 3, 5, 7, 8, 9 AND 10 AND PART OF LOT 3, ALL IN WINSTON AND MAY'S SUBDIVISION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS.

ADDRESS: 624 HIGHVIEW TERRACE, LAKE FOREST, ILLINOIS



SCALE: 1"=20'



HIGHVIEW TERRACE

GENERAL NOTES:

- 1) THE LEGAL DESCRIPTION HAS BEEN PROVIDED BY THE CLIENT OR THEIR AGENT.
- 2) THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATED BY THE RECORDED PLAT. THIS PLAT DOES NOT SHOW ANY RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES UNLESS SUPPLIED BY THE CLIENT.
- 3) BASIS OF BEARING FOR THIS SURVEY IS AS THE NORTH ARROW INDICATES, AND IS SHOWN TO INDICATE THE ANGULAR RELATIONSHIP OF THE BOUNDARY LINES.
- 4) MONUMENTS, IF SET, DURING THIS SURVEY, REPRESENT THE TRUE CORNERS OF THIS DESCRIPTION AS SURVEYED.
- 5) LOCATION OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY. NO EXTRAPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN HEREON.
- 6) ONLY COPIES WITH AN ORIGINAL SIGNATURE AND SEAL ARE OFFICIAL LEGAL DOCUMENTS. ALL SURVEYS ARE COPYRIGHTED MATERIALS WITH ALL RIGHTS RESERVED.

Professional Design Registration #184-002705

PREFERRED SURVEY, INC.

7845 W. 79TH STREET, BRIDGEVIEW, IL, 60455

Phone 708-458-7845 / Fax 708-458-7855

www.psisurvey.com

Work Completed	06/11/10	FLD. CREW:	CD/EM
Area Surveyed	7,950.0 Sq. Ft.	CAD:	SR
ing Revised			

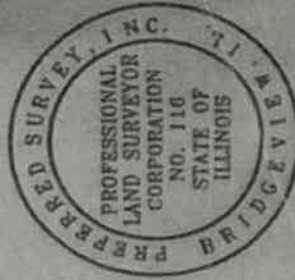
STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

SURVEY ORDERED BY: GOULD & RATNER

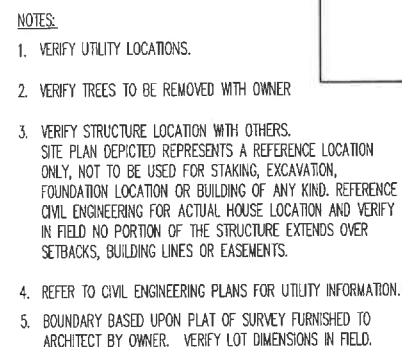
I, JOSEPH P. MAIKISCH, AS AN EMPLOYEE OF PREFERRED SURVEY, HEREBY STATE THAT THIS PROFESSIONAL SERVICE CONFORMS TO CURRENT ILLINOIS MINIMUM STANDARD FOR A BOUNDARY SURVEY. PROPERTY CORNERS HAVE BEEN SET OR NOT SET IN ACCORDANCE WITH AGREEMENT. DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.

GIVEN UNDER MY HAND AND SEAL THIS
14TH DAY OF JUNE

MY LICENSE EXPIRES ON 12/31/16
P.S.I. NO. 1091216



PROPOSED OPTION



SITE PLAN - PROPOSED OPTION

NOTE TO OWNER & CONTRACTORS:

THESE DOCUMENTS HAVE BEEN PREPARED WITHOUT THE AID OF A PLAT OF SURVEY. THEREFORE, THE RESPONSIBILITY OF VERIFYING ALL SITE RELATED INFORMATION HAS BEEN TRANSFERRED TO THE OWNER & CONTRACTORS AND HAS NOT BEEN COMPLETED BY THE ARCHITECT. THIS INCLUDES AND IS NOT LIMITED TO, THE ALLOWABLE BUILDING AREA, FOOTPRINT, SQUARE FOOTAGE, VERIFICATION OF WETLANDS AND/OR FLOOD PLAIN AND ALL OTHER ITEMS RELATED TO THE SITE THAT COULD IMPACT OR IMPIDE THE SUCCESSFUL COMPLETION OF PORTIONS OR THE ENTIRE PROJECT.

ACTIONS MAY BE REQUIRED TO VERIFY THE SITE INFORMATION PRIOR TO PERMIT SUBMITTAL OR CONSTRUCTION, AND IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO PERFORM THESE ACTIONS IF NEEDED.

<u>IMPERVIOUS CALCULATIONS:</u>	
LOT AREA:	7,950 SF
ALLOWABLE BUILDING COVERAGE AREA:	2,385 SF (30%)
EXISTING BUILDING COVERAGE: (HOUSE, FRONT PORCH, GARAGE)	2,234.58 SF (28.1%)
PROPOSED BUILDING COVERAGE: (HOUSE, FRONT PORCH, REAR PORCH, GARAGE)	2,473.17 SF (31.1%)
EXISTING TOTAL LOT COVERAGE:	3,846.47 SF (48.4%)
PROPOSED TOTAL LOT COVERAGE:	4,312.43 SF (54.3%)

DRAWING INDEX	
A000	SITE PLAN, DRAWING INDEX, GENERAL NOTES
A101	FIRST FLOOR DEMOLITION PLAN FIRST FLOOR PLAN
A102	SECOND FLOOR DEMOLITION PLAN SECOND FLOOR PLAN
A200	FRONT & REAR EXIST. & PROPOSED ELEVATIONS
A201	RIGHT EXIST. & PROPOSED ELEVATIONS
A202	LEFT EXIST. & PROPOSED ELEVATIONS
A203	CONTEXT ELEVATIONS
A500	GARAGE PLANS & ELEVATIONS

DESIGN STAGE	EXTENSIONS				
	1	2	3	4	5
CONCEPTUAL DESIGN	10-25-29 JUL	10-25-29 JUL	10-25-29 JUL	01-28-31 JUL	4-8-11 DEC
PRELIMINARY DESIGN	10-25-29 JUL	5-14-11 DEC	6-4-11 DEC	1-4-11 DEC	3-28-2 DEC
RELEASE FOR RFP					
FINAL REVIEW					
RELEASE FOR PERMIT					
REVISION					

PRELIMINARY
624 LAKE FOREST BLVD. #600
ORLEN RESIDENCE
SHEET INDEX, PROJECT DATA, NOTES & CODES
ARCHITECTURAL SITE PLAN - PROPOSED OPTION

Architects & Planners, Inc.
2600 Behan Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax: 815-788-9201

Job Number: 20328
et Number: A000



1E
A200
EXISTING REAR ELEVATION
1/4"=1'-0"



1E
A200
EXISTING FRONT ELEVATION
1/4"=1'-0"



4B
A200
REAR ELEVATION
1/4"=1'-0"



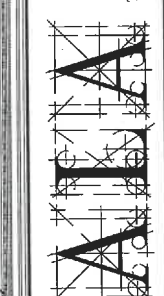
4E
A200
FRONT ELEVATION
1/4"=1'-0"

REVISIONS	DATE	BY	APP'D
1	12-26-20	BA	BA
2	12-26-20	BA	BA
3	12-26-20	BA	BA
4	12-26-20	BA	BA
5	12-26-20	BA	BA
6	12-26-20	BA	BA

O'BRIEN RESIDENCE
624 HIGHVIEW TERRACE
LAKE FOREST, IL 60045

EXISTING FRONT ELEVATION
FRONT ELEVATION
REAR ELEVATION

Architects & Planners, Inc.
2800 Belton Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax: 815-775-9011



Job Number:
20328
Sheet Number:
A200

PROPOSED OPTION



4C
A201
EXISTING RIGHT ELEVATION

1/4"=1'-0"



1E
A201
RIGHT ELEVATION

1/4"=1'-0"

DESIGN STAGE		PROVISIONS				
CONCEPTUAL DESIGN	10-10-20 BL	1	2	3	4	5
PRELIMINARY DESIGN	10-10-20 BL					
DESIGN DEVELOPMENT	10-10-20 BL					
PERMIT FOR BID	10-10-20 BL					
FINAL REVIEW	10-10-20 BL					
PERMIT FOR CONSTRUCTION	10-10-20 BL					
REVISION						

O'BRIEN RESIDENCE
624 HIGHVIEW TERRACE
LAKE FOREST, IL 60045

RIGHT ELEVATION

Architects & Planners, Inc.
7900 Bohan Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-708-9200 Fax: 815-708-9201

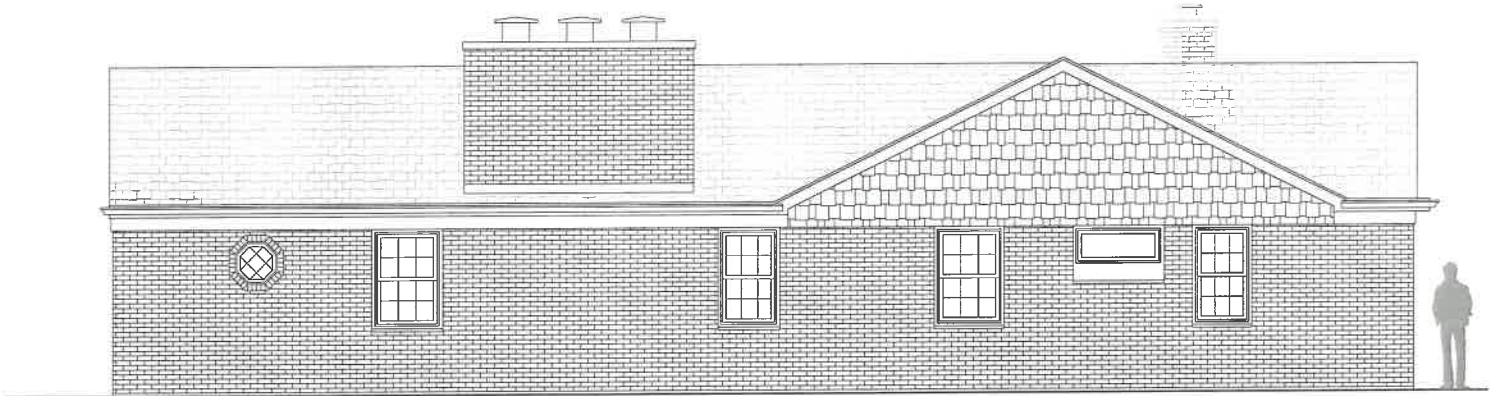
Job Number:
20328

Sheet Number:
A201

Copyright AS DATED ©
A.L.A. Architects & Planners, Inc.

File Name: 20328A201

PROPOSED OPTION



4C
A202
EXISTING LEFT ELEVATION

1/4"=1'-0"



4E
A202
LEFT ELEVATION

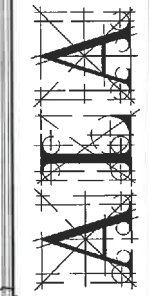
1/4"=1'-0"

REVISIONS	1	2	3	4	5
CONCEPTUAL DESIGN	12-01-20	01-12-20	12-01-20	01-12-20	01-12-20
PRELIMINARY DESIGN	01-12-20	01-12-20	01-12-20	01-12-20	01-12-20
DESIGN DEVELOPMENT	01-12-20	01-12-20	01-12-20	01-12-20	01-12-20
RELEASE FOR BID	01-12-20	01-12-20	01-12-20	01-12-20	01-12-20
FINAL REVIEW	01-12-20	01-12-20	01-12-20	01-12-20	01-12-20
ISSUED FOR PERMIT	01-12-20	01-12-20	01-12-20	01-12-20	01-12-20

O'BRIEN RESIDENCE
624 HIGHVIEW TERRACE
LAKE FOREST, IL 60045

LEFT ELEVATION

Architects & Planners, Inc.
2801 Bean Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone 815-782-9200 Fax 815-782-9201



Job Number
20328
Sheet Number
A202
Copyright AS DATED ©
A.L.A. Architects & Planners, Inc.



PROPOSED OPTION



1C
A203
EAST NEIGHBOR'S ELEVATION
© 155 SOUTH WAYWOOD ROAD
(CORNER LOT)
NTS

3C
A203
PROPOSED FRONT ELEVATION
NTS

6C
A203
WEST NEIGHBOR'S ELEVATION
© 334 HIGHVIEW TERRACE
NTS



1E
A203
EAST NEIGHBOR'S ELEVATION
© 155 SOUTH WAYWOOD ROAD
(CORNER LOT)
NTS

3E
A203
PROPOSED FRONT ELEVATION
NTS

6E
A203
WEST NEIGHBOR'S ELEVATION
© 334 HIGHVIEW TERRACE
NTS

DESIGN STAGE		1	2	3	4	5
CONCEPTUAL DESIGN	12-08-20	12-08-20	12-08-20	12-08-20	12-08-20	12-08-20
PRELIMINARY DESIGN	01-09-21	01-09-21	01-09-21	01-09-21	01-09-21	01-09-21
DESIGN DEVELOPMENT	02-09-21	02-09-21	02-09-21	02-09-21	02-09-21	02-09-21
RELEASE FOR BID	03-09-21	03-09-21	03-09-21	03-09-21	03-09-21	03-09-21
FINAL REVIEW	04-09-21	04-09-21	04-09-21	04-09-21	04-09-21	04-09-21
RELEASE FOR PERMIT	05-09-21	05-09-21	05-09-21	05-09-21	05-09-21	05-09-21
CONSTRUCTION	06-09-21	06-09-21	06-09-21	06-09-21	06-09-21	06-09-21

O'BRIEN RESIDENCE
624 HIGHVIEW TERRACE
LAKE FOREST, IL 60045

CONTEXT ELEVATIONS

Architects & Planners, Inc.
2600 Eagan Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax 815-788-2011

Job Number: 20328

Sheet Number: A203

File Name: 20328E03

ROOF STRUCTURAL SPECIFICATIONS			NOTES
① = 2 X 8 RAFTERS @16" O.C.	① = 2 X 4 COLLAR TRUSSES @48" O.C.	ALL EAVES AND RAKES 1/2" UNLESS OTHERWISE NOTED	
② = 2 X 8 RAFTERS @16" O.C.	② = 2 X 8 COLLAR TRUSSES @48" O.C.	ALL DOWS, HIP AND VALLEY DOWS TO BE THE FULL DEPTH OF THE CUT END OF THE RAFTER UNLESS OTHERWISE NOTED	
③ = 2 X 10 RAFTERS @16" O.C.	③ = 2 X 8 COLLAR TRUSSES @48" O.C.	FUROR DOWN RAFTERS AS REQ'D IN VAULTED CEILING AREAS TO ALLOW FOR INSULATION AS SPECIFIED IN THE BUILDING SECTION SPECS, PAGE A300.	
④ = 2 X 12 RAFTERS @16" O.C.	④ = CEILING JOISTS PER FLOOR PLANS		
⑤ = 2 X 8 CEILING JOISTS @16" O.C.	⑤ = PRE-ENGINEERED ROOF TRUSSES @24" O.C.		
⑥ = 2 X 8 CEILING JOISTS @16" O.C.	⑥ = PRE-ENGINEERED SCISSOR TRUSSES OR MODIFIED CEILING TRUSSES @24" O.C. (SEE PLANS FOR CEILINGS)	ADD BLOODING @ RAFTER RAKES TO MAINTAIN OVERHANGS PROFILES THROUGHOUT UNLESS OTHERWISE NOTED	
⑦ = 2 X 10 CEILING JOISTS @16" O.C.	⑦ = PRE-ENGINEERED ATTI TRUSSES @24" O.C.	PROMUE ARCHITECT WITH ANNUAL ROOF TRUSS DRAWINGS AND A ROOF TRUSS LAYOUT PLAN SHOWING ANY INTERIOR POINT LOADS INFORMATION CAUSED BY TRUSSES WHICH ARE STAMPED AND SIGNED BY A LICENSED ENGINEER FOR ALL PRE-ENGINEERED TRUSSES FOR APPROVAL PRIOR TO FABRICATION.	
⑧ = 2 X 12 CEILING JOISTS @16" O.C.			
W.L. = 1/4" LIE W/COMMON W.L.	Q.S. = OVER BALD	D.R. = DOUBLE RAFTER	
L.S. = 3/4" L.S.E. TIMBERHANG L.S.E.	E.X. = EXTENDED RIDGE	E.X. = EXTENDED VALLEY	
B.L. = 1/2" BUILT UP POST - BRACE	U.B. = UNDER BALD	E.X. = EXTENDED HIP	
EACH DIRECTION FOR MAXIMUM ON BRACED HEIGHT OF 10'-0"			PROMUE SWINSON 1/2"x3/4" HURRICANE CLIPS @ EACH RAFTER

ROOF PLAN 1/8" = 1'-0"

DESIGN STAGE		REVISIONS				
		1	2	3	4	5
CONCEPTUAL DESIGN		11-14-80	11-17-80	12-28-80	01-06-81	04-21-81
PERMISSION DESIGN						
PERMISSION CONTRACT		1-15-81	5-14-81	5-14-81		
RELEASE FOR BID						
FINAL REVIEW						
RELEASE FOR PERMIT						
REVISION						



NOTE:
ALL DIMENSIONS OF EXISTING WALLS & EXISTING
SPACES TO BE VERIFIED IN FIELD BY G.C. PRIOR
TO ORDERING OF ANY/ALL MATERIALS & PRIOR
TO CONSTRUCTION.



COPYRIGHT AS DATED ©
A.L.A. Architects & Planners, Inc.

TITLE

Job Number:
20328

Sheet Number:
A101

20328101

File Name:

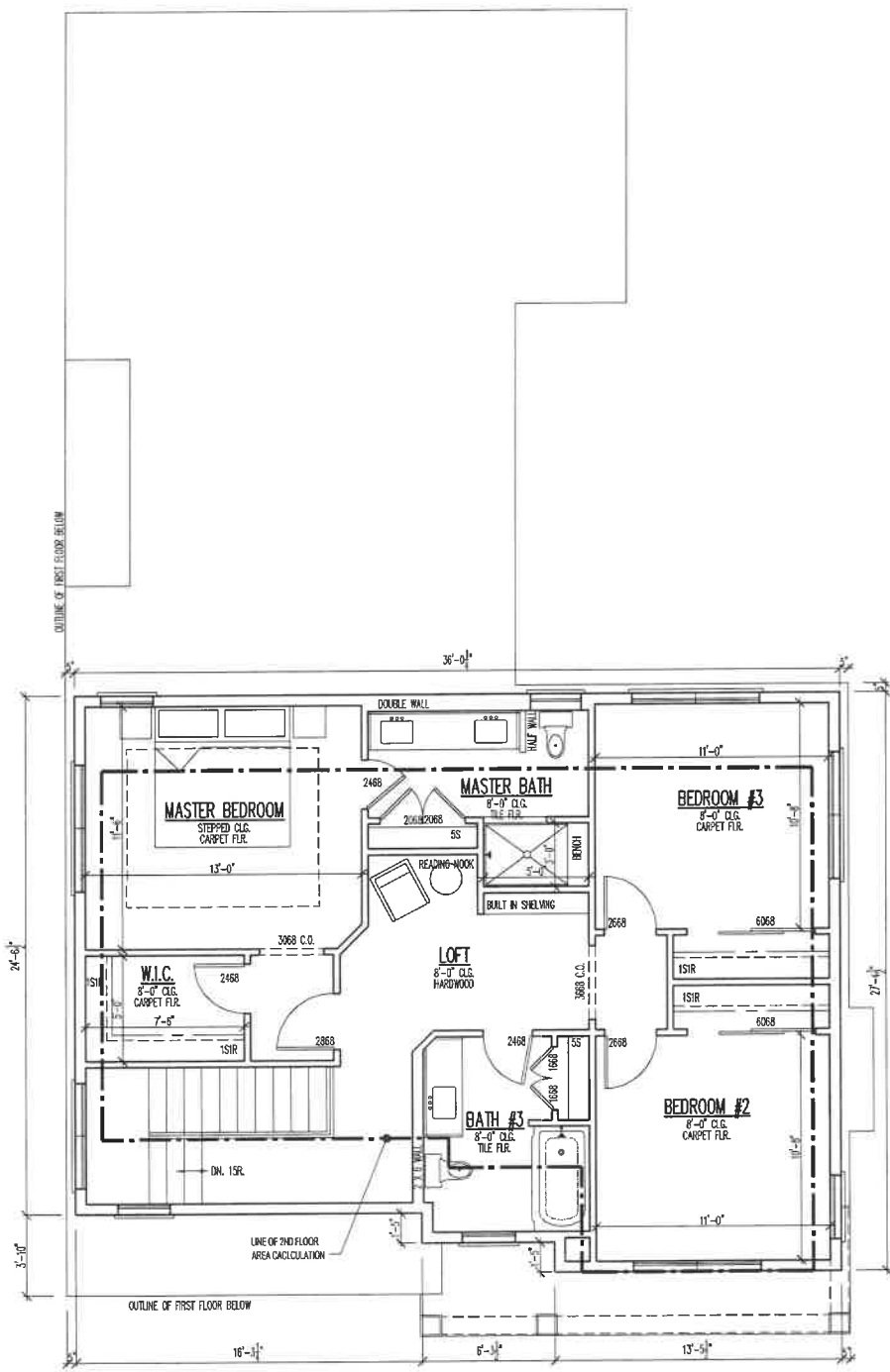
Architects & Planners, Inc.
2600 Eagan Road at R. 176
Crystal Lake, Illinois 60014
Telephone: 815-708-9200 Fax: 815-708-5211

EXISTING FIRST FLOOR PLAN,
FIRST FLOOR PLAN

O'BRIEN RESIDENCE
624 HIGHVIEW TERRACE
LAKE FOREST, IL 60045

REVISIONS	1	2	3	4	5
CONCEPTUAL DESIGN					
PRELIMINARY DESIGN	12-25-79 BL	12-25-79 BL	12-25-79 BL	03-25-81 BL	4-2-81 BW
DESIGN DEVELOPMENT	4-12-81 BW	5-11-81 BW	6-4-81 BW	1-1-81 BW	3-25-82 BW
RELEASE FOR BID					
FINAL REVIEW					
READY FOR PERMIT					
EXPRESSION					

PROPOSED OPTION



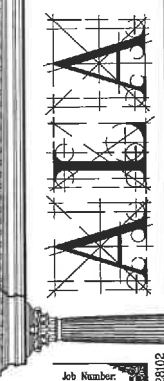
3C
A101
SECOND FLOOR PLAN - PROPOSED OPTION
1/4" = 1'-0"

DESIGN STAGE		REVISIONS				
NO.	DESCRIPTION	1	2	3	4	5
1	CONCEPTUAL DESIGN					
2	PRELIMINARY DESIGN					
3	DESIGN DEVELOPMENT					
4	PERMIT PREP					
5	FINAL DESIGN					

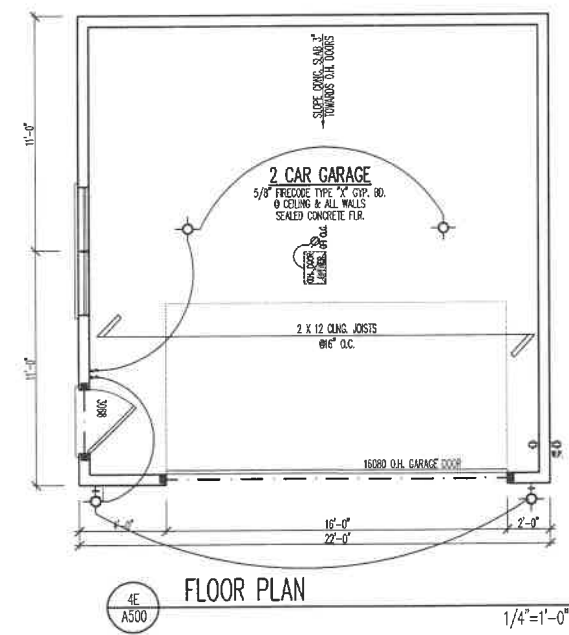
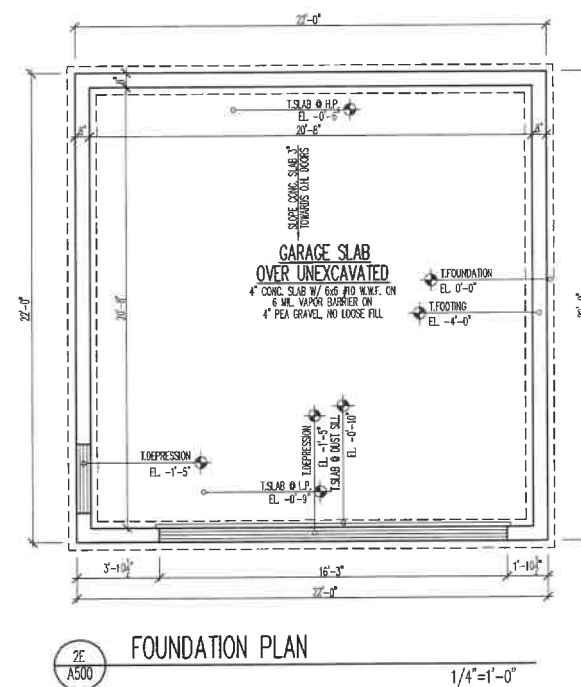
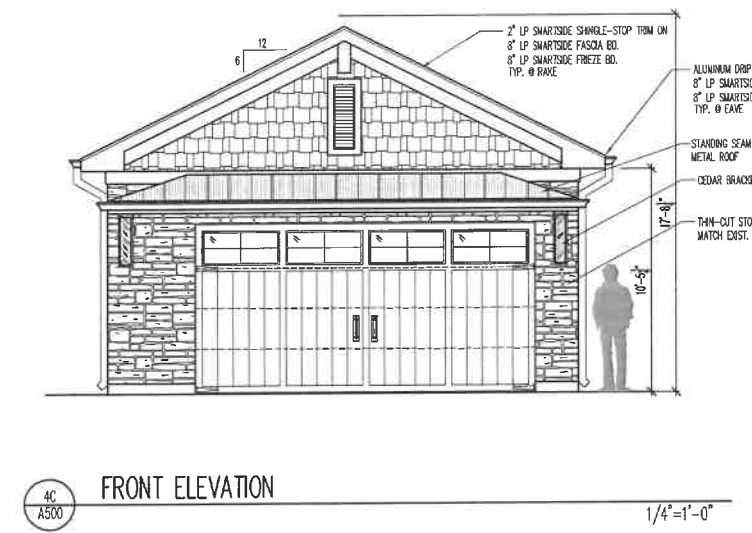
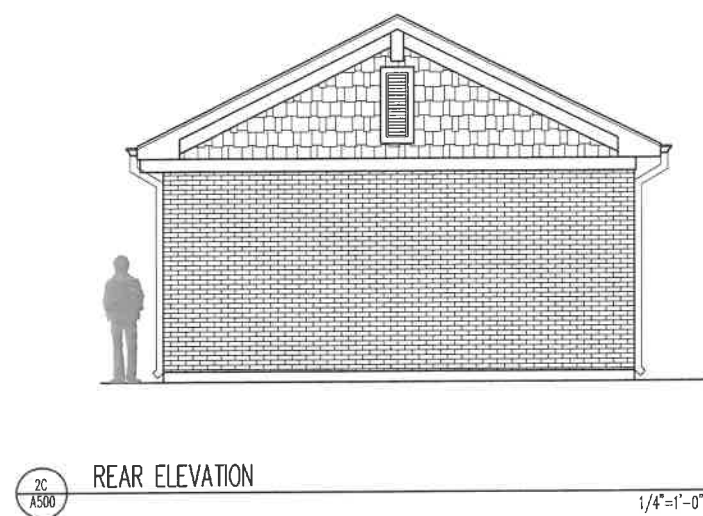
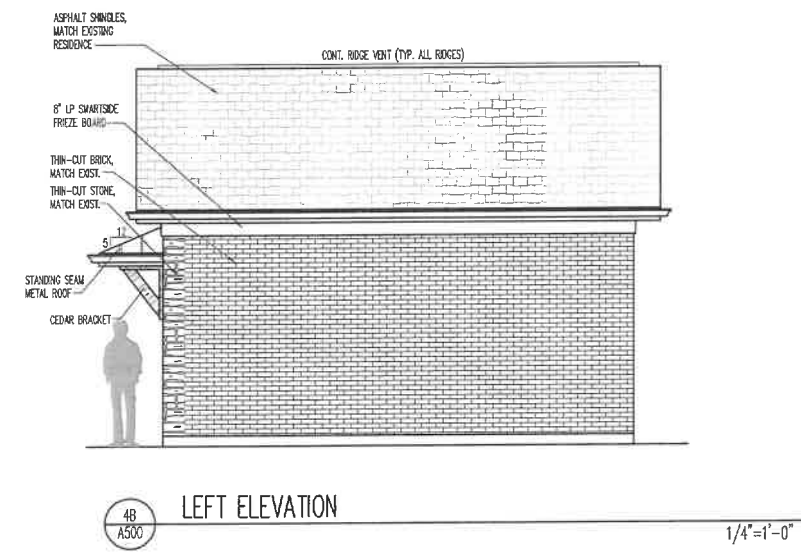
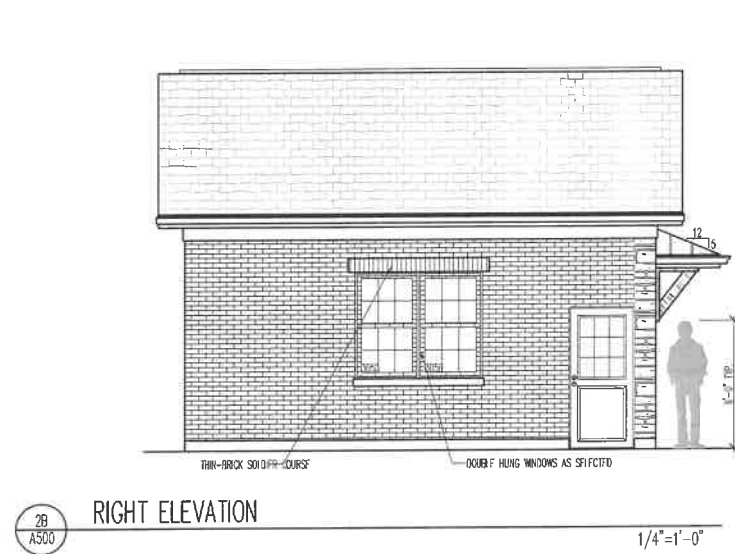
O'BRIEN RESIDENCE
624 HIGHVIEW TERRACE
LAKE FOREST, IL 60045

SECOND FLOOR PLAN - PROPOSED OPTION

Architects & Planners, Inc.
2000 Lincoln Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone 815-788-9200 Fax 815-788-9201



Job Number:
20328
Sheet Number:
A102
File Name:
20328102

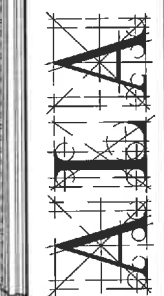


DESIGN STAGE	1	2	3	4	5
CONCEPTUAL DESIGN					
PRELIMINARY DESIGN					
DESIGN INSTRUMENTARY	10-41-53 SL	10-17-53 SL	12-25-53 SL	08-04-54 SL	4-4-55 DOW
DESIGN INSTRUMENTARY	4-18-54 DOW	5-14-54 DOW	6-4-54 DOW	1-17-55 DOW	5-25-55 DOW
DESIGN INSTRUMENTARY					
FINAL DESIGN					
RELEASE FOR PERMIT					
REVISION					

O'BRIEN RESIDENCE
624 HIGHVIEW TERRACE
LAKE FOREST, IL 60045

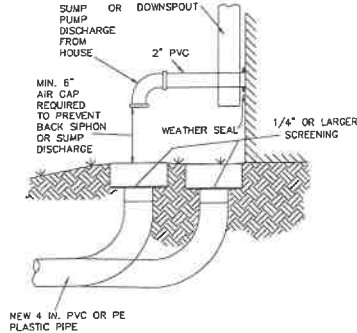
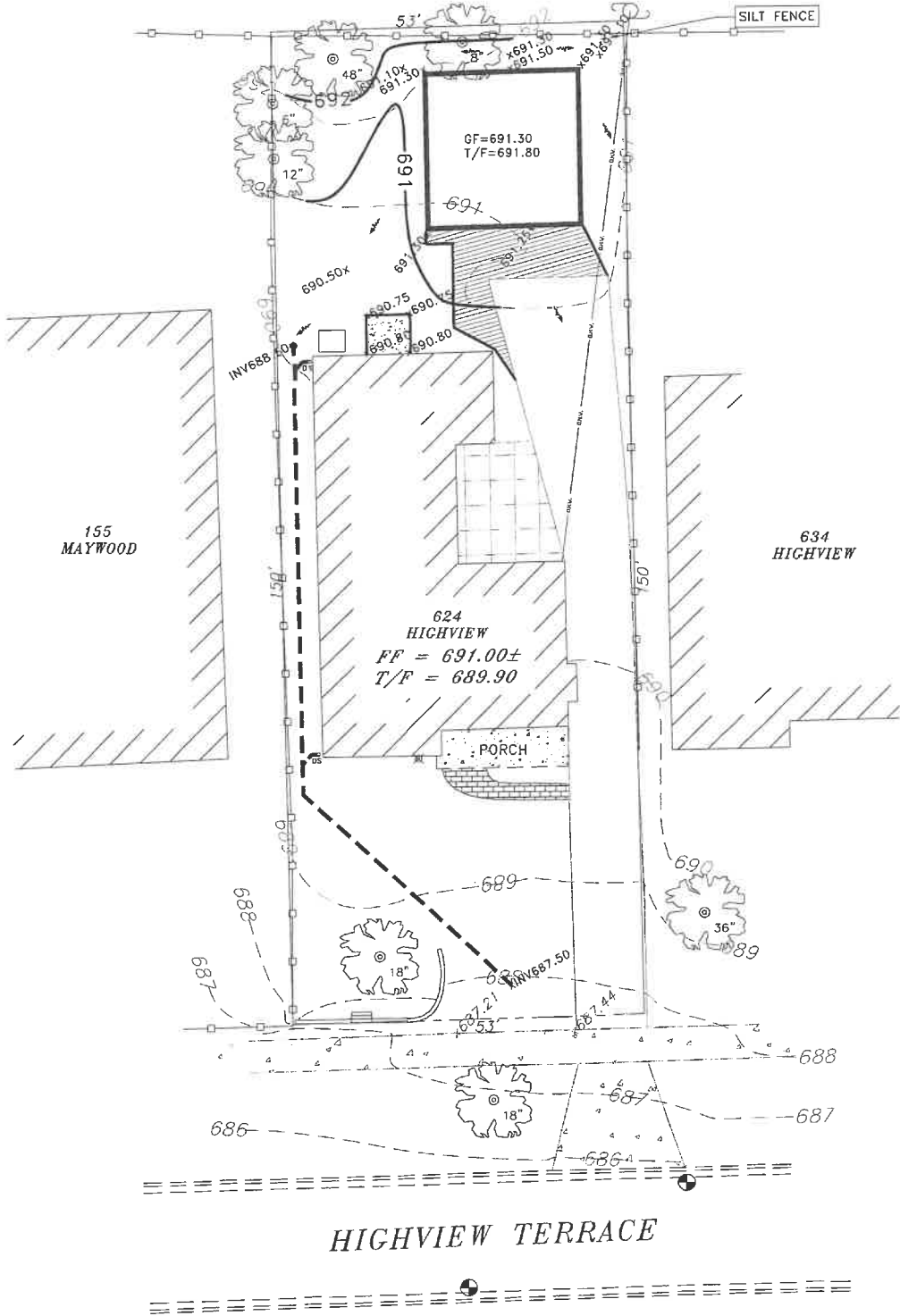
GARAGE PLANS & ELEVATIONS

Architects & Planners, Inc.
2600 Behan Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax 815-788-9201

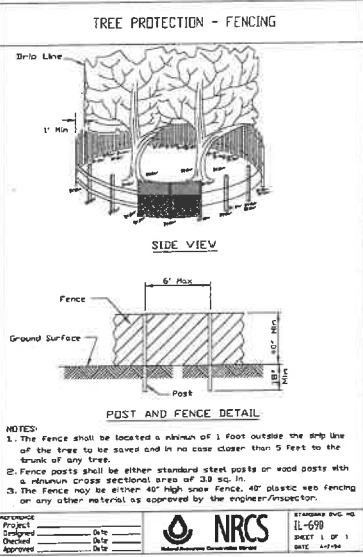


Job Number:
20328

Sheet Number:
A500



AIR GAP DETAIL



EROSION CONTROL MEASURES NOTES

1. Silt fence shall be installed along the entire edge of the property.
2. Following final grading, all exposed areas shall be seeded and mulched within 10 calendar days of final grading.
3. All drop inlets on and adjacent to site shall have silt socks between lid and frame.
4. Unless otherwise indicated, all vegetative and structural erosion and sediment control practices will be constructed according to minimum standards and specifications in the Illinois Urban Manual revised February 2002.
5. The McHenry County Department of Planning & Development must be notified one week prior to the pre-construction conference, one week prior to the commencement of land disturbing activities, and one week prior to the final inspection.
6. Temporary seeding or stabilization shall be established in any area which is not under active disturbance for a 7-day time frame.
7. A copy of the approved erosion and sediment control plan shall be maintained on the site at all times.
8. The contractor is responsible for installation of any additional erosion control measures necessary to prevent erosion and sedimentation as determined by McHenry County.
9. During dewatering operations, water will be pumped into sediment basins or silt traps. Dewatering into drain tiles or stormwater structures is strictly prohibited. Compromised drain tiles should be immediately abandoned or repaired.

VEGETATIVE COVER

1. PERMANENT SEEDING - SEEDING MIXTURE TO BE KENTUCKY BLUEGRASS @ 200 LBS/ACRE. SEED BED PREPARATION SHALL BE ACCORDING TO GREEN BOOK. FERTILIZE AT 120 LBS/ACRE OF NITROGEN AND 40 LBS/ACRE EACH OF PHOSPHORUS AND POTASSIUM.
2. TEMPORARY SEEDING - SEEDING MIXTURE TO BE CENSAL RYE OR WHEAT @ 500 LBS/ACRE. SEED BED REQUIRED. TOPSOIL TO BE BROUGHT ON-SITE AND PLACED AT A 4\"/>
3. MULCHING - MULCH ALL TEMPORARY AND PERMANENT SEEDING AREAS WITH AIR DRIED STRAW @ 2 TONS/ACRE. APPLY HITTING ON TOP OF MULCH AND SECURE WITH STAPLES. INSTALL ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

Stabilization	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
Seeding												
Mulching												

CONTRACTOR CERTIFICATION

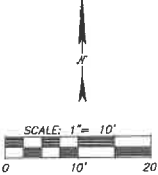
I, CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL MATERIAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (L010) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR _____ DATE _____

OWNER CERTIFICATION

I, CERTIFY UNDER PENALTY OF LAW THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THIS SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

OWNER _____ DATE _____



DATE	REVISIONS
11-21-21	PER CITY REVIEW
2-8-22	PER OWNER

SCHEFLOW
engineers

1814 GRANDSTAND PLACE
ELGIN, ILLINOIS 60123
phone 847.697.7095
fax 847.697.7099
schefloweng.com
Firm License No. 164-001104

LAKE FOREST
O'BRIEN RESIDENCE
625 HIGHVIEW TERRACE
GRADING AND SOIL EROSION CONTROL PLAN

SCALE	DATE
1"=10'	6/8/21
DRAWN BY	AWB
CHECKED BY	FCC
SHEET NO.	2 of 2

NEIGHBORHOOD IMAGES SUBMITTED BY THE PETITIONERS

Adjacent Neighboring Residences

634 Highview Terrace



1951 - 2 story – 9 rooms

5 bedrooms, 3 bath, 2,836 sqft, 7,915 sqft lot

Master bedroom: 16'9"X14' (2nd floor)

Other bedrooms: 10'X11'7" (2nd floor), 15'1"X11'8" (2nd floor), 13'8"X10' (2nd floor), 16'6"X10' (1st floor)

Lot Dimensions: 53X150

Combined setback between 624 and 634 = 15'43"

Variance Granted 9/26/1994 (excerpts of Zoning Board meeting minutes)

Petition: Request variation from interior, side-yard setback requirements to allow the construction of a second-floor addition over and existing single-level residence.

Property Description: . . .The existing residence on this property is a small, 1950s ranch, which was originally built 4.64 feet of the west property line.

Request Description: The petitioner is requesting a variance to allow the construction of a second-floor addition that would encroach into the required interior, side-yard setback by 5.36 feet.

Key Issues:

1. In order to build a viable, second-floor addition over the footprint of the existing residence, that addition will necessarily encroach into the required side-yard area along the west side of the property.
2. The house was originally sited nonconforming to the property's side-yard setback, prior to the enactment of the present Zoning Code.

Hearing Report:

. . .They stated that the existing home to which they are proposing a second floor addition, is presently encroaching on the property's west side. They also stated that they had worked with the staff to achieve an addition which would be consistent with the prevailing character of the neighborhood. He noted that there are other similarly sized, two-story homes in the area, one of which is the neighbor immediately to the west [east].

. . .[the petitioner] stated that when they purchased the home in August, it was their intention to build a second floor addition but their realtor had not informed them that the house was presently nonconforming.

. . .Furthermore, [a board member] stated that the [petitioners] are a couple with plans to raise a family, and therefore, the enlarged house is practical.

Zoning Board of Appeals Findings:

1. The variance, if granted would not alter the essential character of the neighborhood because the remodeled home will be similar in scale and design to many of the homes found in the immediate area.
2. The conditions upon which this petition of variation are based are unique to this property and are not applicable to other properties within the same zoning classification, because of the fact that in order to produce a workable layout of the second floor addition, the entire width of the original structure (18 feet at its narrowest) would have to be utilized even though a portion of that addition will encroach into the required side yard.
3. The hardship on this property is not caused by the petitioner but rather, is satisfied by the fact that the original house over which the addition is to be built, was originally constructed nonconforming to its setbacks, prior to the enactment of the present Zoning Code.

Letter from Petitioner:

. . .If the second floor addition were to be built within the setback code the elevations would be out of character with the majority of the neighborhood. The home would look very contemporary and out of proportion. We are interested in turning the current 1 story ranch into a classic colonial looking home. My architect (Ed Mindak) and I discussed various alternatives that would allow the addition to be within the setback code and in all instances the home would be out of character with the neighborhood.

155 South Maywood



1954 - 1 story – 7 rooms

3 bedrooms, 2 bath (1 in unfinished basement), 1,389 sq ft

Bedrooms: 13X12, 10X10, 10X11

Lot Dimensions: 73X150 sqft, 11,064 sqft

Combined setback between 135 S. Maywood and 624 Highview = 13'84" between properties

Redfin Listing – March 2020

What a setting! Imagine looking out over South Park, walking to the playground, or hopping on the bike path! Minutes to downtown Lake Forest and train stations either in Lake Forest or Ft. Sheridan! Solid and Sturdy, one owner home, affords a LOT of options! It is in need of TLC (rehab) or city would allow new home of 2848s. f. plus 576 s. f. for garage. - Create your perfect place! Great corner lot. Currently three bedrooms, 1 bath, plus one bath in basement, hardwood floors, fireplace, kitchen with breakfast table area. Full basement. Three car garage with large being sold in AS IS condition. Truly a nice opportunity to live in a beloved neighborhood!

135 South Maywood



1937/1947 (?) 1.5 story – 10 rooms – 2013 addition

4 bedroom, 4 bath, 3,045 sqft

Lot Dimensions: 150X73, 10,968 sqft

Trulia Listing:

Charming 5 bedroom, 4 bath East Lake Forest Cape Cod across from beautiful South Park. Walk to Market square, train, beach, college. Cozy living room with fireplace and bay window. Large family room. Sunny new kitchen with eat-in bay window. Ground-floor master with luxurious bath and walk-in closet. 3 bedrooms and 2 baths upstairs. Fenced yard. Stone patio. Attached 2-car garage. Fully finished basement with additional full bath.

Neighborhood Description

Very friendly family neighborhood, with a wonderful park across the street. You will love the open feel because of the view from this house. Bike path is easy you get to, and tennis court and baseball diamond with batting cage will be handy for the older kids. For the younger ones, the playground will delight. Stroll toward the beach or college and you will be stunned by the many beautiful multi-million dollar homes nearby.

631 Northmoor



1999 - 1.5 story – 9 rooms

4 Beds - 3.5 Baths - 2,131 Sq Ft, 7,841 sqft lot

Master bedroom: 15X15 (with full master bath) (2nd level)

Other bedrooms: 15X12 (2nd level), 16X12 (2nd level), 12X12 (2nd level)

Lot dimensions: 53X150 sqft, 7,840 Sq. Ft

Redfin Listing 2014:

Superb East Lake Forest location next to South Park in Northmoor subdivision! Charming 1999 Cape Cod w/ great floor plan. Wonderful kitchen w/ cherry cabinets , granite counters & Stainless appliances opens to FR w/ FP. DR w/ hardwood flrs & built ins. Cozy living rm. Master w/ 2 walk in closets. Finished LL w/ kitchenette/bar & bath. Fenced yard & 2 car detached garage. Walk to park.

Highview Streetscape

644 Highview Terrace



1959 - 2 story – 10 room

3 bedrooms, 2.5 bath, 1,531 sqft, 8,041 sqft lot

Master bedroom – 11X25 (2nd level)

Other bedrooms: 12X14, 11X12 (all on 2nd level)

Dining room: 13X13 (main floor former 4th bedroom)

Lot Dimensions 53X150

Redfin listing:

Charming Cape Cod home located just steps to South Park. Beautiful hardwood floors, updated kitchen with granite countertops, lovely sunroom used as eating area. Wooden beamed ceiling, marble fireplace, French doors. Finished basement with office and half bath. Dining room originally 4th bedroom and can be converted back. Nice backyard with 2 car garage. A truly delightful home!

605 Highview Terrace



1949 - 2 story - 9 room

4 bedroom, 2.5 bath, 1,550 square feet, 7,405 sqft lot

Master bedroom: 15X13 (2nd level)

Other bedrooms: 9X6 (2nd level), 16X9 (2nd level), 15X12 (basement)

Lot: 50X150

Variance Granted 11/26/1990 (excerpts of Zoning Board Meeting Minutes)

Petition: Request for variation from interior side yard setback requirement to allow retention of an addition which is located within 5.93 feet of interior side property line, instead of 10 feet as required by the Zoning Code.

3. The hardship on this property is not caused by the petitioner but as a result of the Zoning Code, and that the Code requirements for side yard setbacks have been increased from the requirements in existence when the house was constructed.

613 Highview Terrace



1953 - 1 story

1.5 bath, 1,094 sqft, 7,436 sqft lot

619 Highview Terrace



1947 - 2 story – 7 rooms

4 bedroom, 2 bath, 1,641 sqft., 7,431 sqft lot

Master bedroom: 19X10 (2nd level)

Other bedrooms: 14X9 (2nd level), 12X10 (main level), 13X11 (main level)

Lot Size Dimensions:148X51

Combined setbacks between 619 and 627 = 14'6"

Redfin Listing:

Move right into this 4-bedroom Cape Cod Charmer in the desirable Northmoor neighborhood just steps from South Park and close to town & train. Light & bright 1st floor offers multiple living options with 2 bedrooms, a full bath, and living room with cozy fireplace. Newer white kitchen has sunlit dining nook with large bay windows and handsome hardwood floors. Second floor includes spacious master bedroom with its own private sitting area as well as full bath and 4th bedroom. Stone-tiled patio and lush enclosed backyard with southern exposure make home perfect for entertaining. 900+ square foot basement includes high ceilings/recessed lighting. Building plans for an addition also available - so many possibilities. Come see this affordable and adorable gem!

627 Highview Terrace



1953 - 3 story – 11 rooms

4 bedroom, 3.5 bath, 3,529 sqft, 7,414 sqft lot.

Master bedroom: 14X16 (2nd level)

Other bedrooms: 13X13 (2nd level), 12X13 (2nd level), 14X15 (3rd level)

Office: 11X 14 (main level)

Lot: 50X150

Combined setbacks between 627 and 633 = 11'56"

Combined setbacks between 627 and 619 = 14'6"

633 Highview Terrace



1959 - 2 story – 8 room

3 Bedroom, 2.5 bath, 2,456 sqft, 7,562 sqft lot

Lot: 50 ft front footage 150 depth footage

Combined setbacks between 633 and 641 = 11'62"

Combined setbacks between 633 and 627 = 11'56"

641 Highview Terrace



1937 - 2 story — 8 rooms

3 bedroom, 2 bath, 1,691 sqft, 7,366 sqft lot

Master bedroom: 12X15 with master bath (2nd level)

Other bedrooms: 12X9 (2nd level), 10X11 (main level)

Lot: 50'X150'

Redfin Listing:

This lovely home backs up to old growth woods and bike/walking paths in this desirable east Lake Forest neighborhood, close to Market Square and Lake Forest Beach. You will find hardwood flooring throughout the main level, the foyer is flanked by the living room (wood burning fireplace and leaded glass window) to the right, and dining room (custom hand painted wall mural adding subtle beauty) to the left. Straight through the dining room is the gleaming updated Ovation kitchen in solid wood custom cherry inset cabinets with a black wiped glazed air loom finish and granite counter tops. High end appliances include Wolf dual fuel range/oven and Wolf microwave drawer, Subzero refrigerator with custom solid wood panels, Ascot dishwasher, Julien under mount stainless steel deep sink with Rohle faucet. First floor bedroom and walk-in closet. Next to beautiful white full bath with vintage tub, Kohler sink/fixtures, subway tile and charming small tile flooring. Upstairs the Master spa awaits with an open shower, tumbled natural stone tile, heated towel bars, and Grohe fixtures. To the bones of this Cape Cod beauty is a new high efficiency boiler offering comfortable radiator heat, a new 50 gallon hot water heater, a new roof, and new solid wood garage doors. The basement is full of custom storage cabinets that are all yours! The private backyard features a multi-level cedar deck and well-planned annual gardens. A truly well cared for and delightful home with the right balance of original charm and updates. An addition to the south of the home is possible. This is truly an immaculate gem!

651 Highview Terrace



1939 - 2 story

2.5 Bath, 2,566 sqft, 7,423 sqft lot

Combined setbacks between 651 and 659 = 8'

Combined setbacks between 651 and 641 = 11'62"

Lot: 51'X150'

**SUN/SHADOW IMAGES SUBMITTED BY THE PETITIONERS
(REFERENCED IN ZONING BOARD OF APPEALS MEETING MINUTES
AND CORRESPONDENCE)**

O'Brien Residential Sun Studies



Existing on June 20th



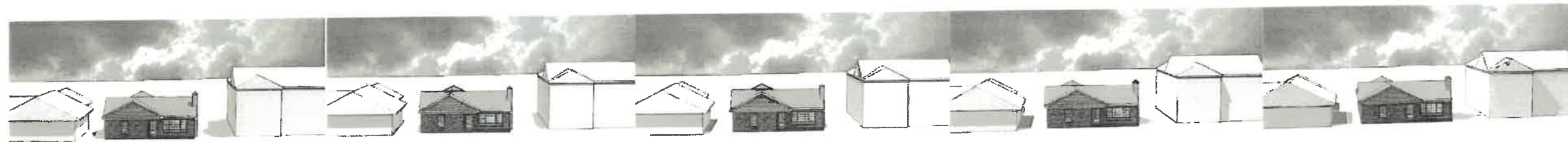
5:21 - 6:21 AM

6:21 - 7:21 AM

7:21 - 8:21 AM

8:21 - 9:21 AM

9:21 - 10:21 AM



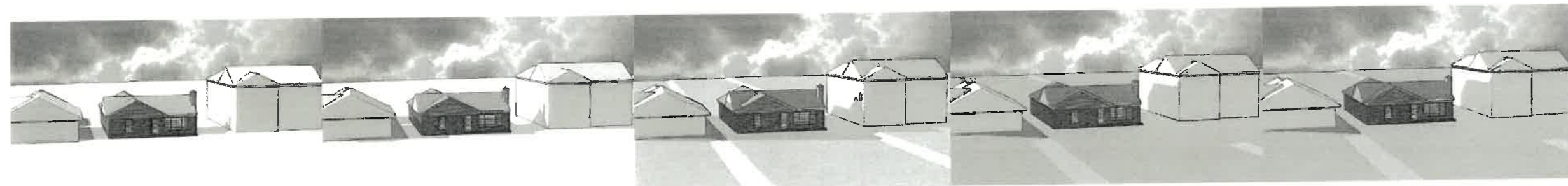
10:21 - 11:21 AM

11:21 AM - 12:21 PM

12:21 - 1:21 PM

1:21 - 2:21 PM

2:21 - 3:21 PM



3:21 - 4:21 PM

4:21 - 5:21 PM

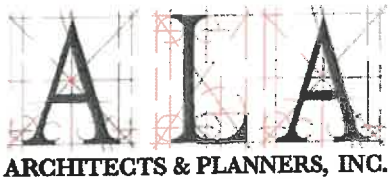
5:21 - 6:21 PM

6:21 - 7:21 PM

7:21 - 8:21 PM

Lake Forest, Illinois

O'Brien Residential Sun Studies



Proposed on June 20th



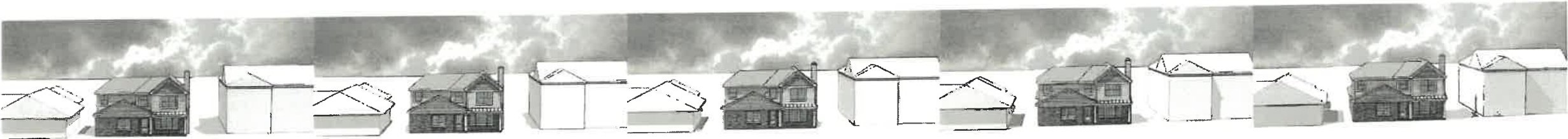
5:21 - 6:21 AM

6:21 - 7:21 AM

7:21 - 8:21 AM

8:21 - 9:21 AM

9:21 - 10:21 AM



10:21 - 11:21 AM

11:21 AM - 12:21 PM

12:21 - 1:21 PM

1:21 - 2:21 PM

2:21 - 3:21 PM



3:21 - 4:21 PM

4:21 - 5:21 PM

5:21 - 6:21 PM

6:21 - 7:21 PM

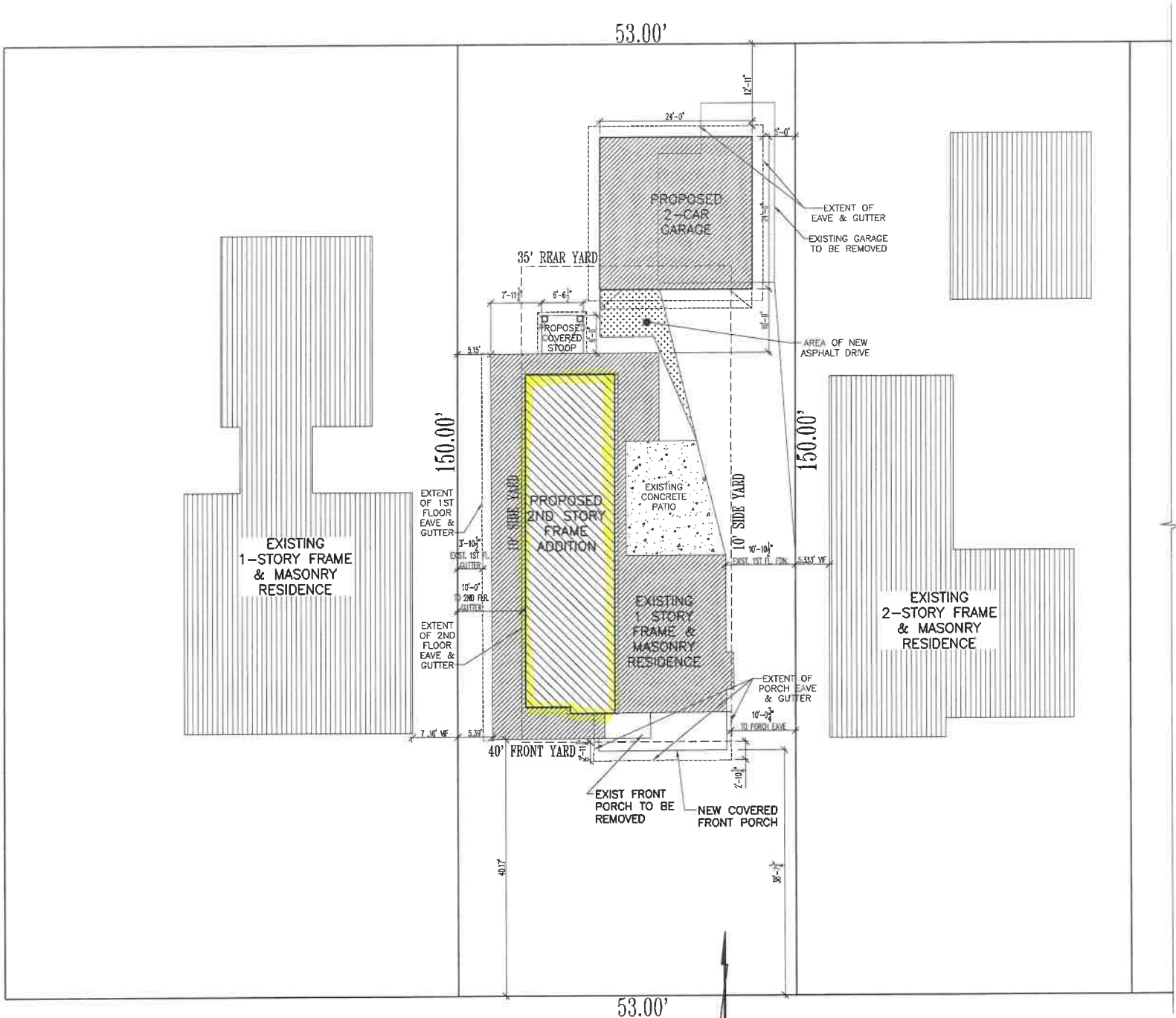
7:21 - 8:21 PM

Lake Forest, Illinois

ALTERNATE DESIGN CONCEPTS PROVIDED BY PETITIONER

O'BRIEN RESIDENCE
624 HIGHVIEW TERRACE
LAKE FOREST, IL 60045

ALTERNATE OPTION



- NOTES:
1. VERIFY UTILITY LOCATIONS.
 2. VERIFY TREES TO BE REMOVED WITH OWNER.
 3. VERIFY STRUCTURE LOCATION WITH OTHERS.
SITE PLAN DEPICTED REPRESENTS A REFERENCE LOCATION ONLY, NOT TO BE USED FOR STAKING, EXCAVATION, FOUNDATION LOCATION OR BUILDING OF ANY KIND. REFERENCE CIVIL ENGINEERING FOR ACTUAL HOUSE LOCATION AND VERIFY IN FIELD NO PORTION OF THE STRUCTURE EXTENDS OVER SETBACKS, BUILDING LINES OR EASEMENTS.
 4. REFER TO CIVIL ENGINEERING PLANS FOR UTILITY INFORMATION.
 5. BOUNDARY BASED UPON PLAT OF SURVEY FURNISHED TO ARCHITECT BY OWNER. VERIFY LOT DIMENSIONS IN FIELD.

1E
A000

SITE PLAN - ALTERNATE OPTION

HIGHVIEW TERRACE

NOTE TO OWNER & CONTRACTORS:
THESE DOCUMENTS HAVE BEEN PREPARED WITHOUT THE AID OF A PLAT OF SURVEY. THEREFORE THE RESPONSIBILITY OF VERIFYING ALL SITE RELATED INFORMATION HAS BEEN TRANSFERRED TO THE OWNER & CONTRACTORS AND HAS NOT BEEN COMPLETED BY THE ARCHITECT. THIS INCLUDES AND IS NOT LIMITED TO, THE ALLOWABLE BUILDING AREA, FOOTPRINT, SQUARE FOOTAGE, VERIFICATION OF METEOROLOGICAL AND/OR FLOOD PLAIN AND ALL OTHER ITEMS RELATED TO THE SITE THAT COULD IMPACT OR IMPERE THE SUCCESSFUL COMPLETION OF PROJECTS OR THE ENTIRE PROJECT.
ACTIONS MAY BE REQUIRED TO VERIFY THE SITE INFORMATION PRIOR TO PERMIT SUBMITTAL OR CONSTRUCTION, AND IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO PERFORM THESE ACTIONS IF NEEDED.



1"=10'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
OR PERMIT SUBMITTAL

REVISIONS	DATE	BY	DESCRIPTION
1	12-06-20	BA	CONCEPTUAL DESIGN
2	12-06-20	BA	PRELIMINARY DESIGN
3	12-06-20	BA	DESIGN DEVELOPMENT
4	12-06-20	BA	FINAL DESIGN
5	12-06-20	BA	RELEASE FOR PERMIT

O'BRIEN RESIDENCE
624 HIGHVIEW TERRACE
LAKE FOREST, IL 60045
ARCHITECTURAL SITE PLAN - ALT. OPTION
PRELIMINARY

Architects & Planners, Inc.
2601 Bohne Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone 815-786-9200 Fax 815-786-9201



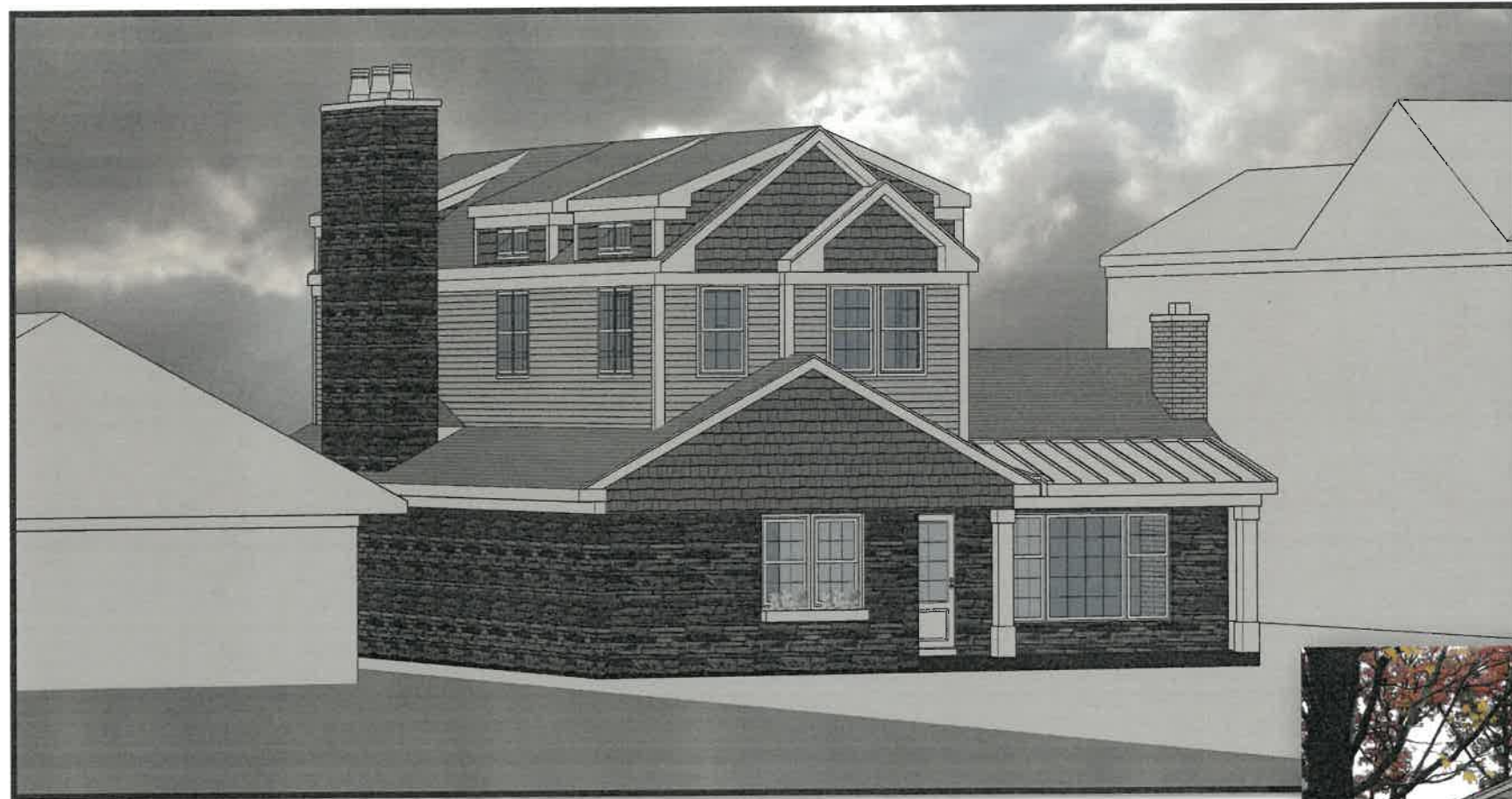
Job Number
20328
Sheet Number
A000
File Name
20328A000

COPYRIGHT AS DATED ©
A.L.A. Architects & Planners, Inc.

ALTERNATE DESIGN

Pros:

- Conforms with side yard setback — NO variance required
- Square footage on second floor as shown will allow home to have needed rooms



Cons:

- Would need to eliminate the vaulted family room ceiling
- The most lived in room of the house***
- Design does not utilize existing bearing walls
 - Length of addition on left side of home will be more than double the proposed design
 - Greater protentional to loss of light for the neighbor than proposed design



ALTERNATE OPTION



36
A101

SECOND FLOOR PLAN - ALTERNATE OPTION

1/4" = 1'-0"

DESIGN STAGE	1	2	3	4	5
CONCEPTUAL DESIGN					
PRELIMINARY DESIGN					
DESIGN DEVELOPMENT					
PERMITTING					
RELEASE FOR PERMIT					
REVISION					

O'BRIEN RESIDENCE
624 HIGHVIEW TERRACE
LAKE FOREST, IL 60045

SECOND FLOOR PLAN - ALTERNATE OPTION

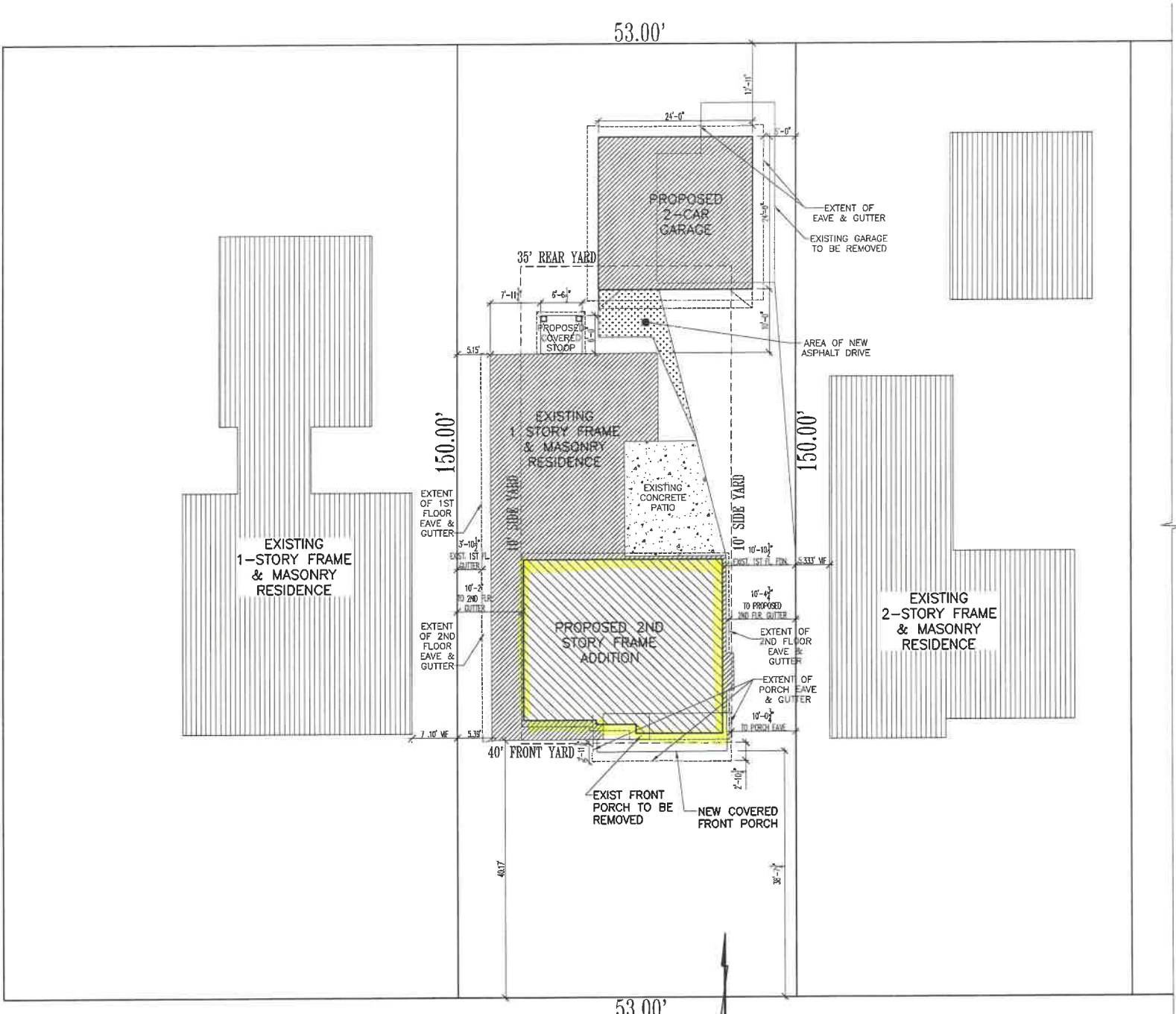
Architects & Planners, Inc.
2600 Bahr Road at Rt. 176
Crystal Lake, Illinois 60044
Telephone: 815-789-9300 Fax: 815-789-9301



Job Number
20328
Sheet Number
A102
File Name
20328102

O'BRIEN RESIDENCE
624 HIGHVIEW TERRACE
LAKE FOREST, IL 60045

ALTERNATE B OPTION



- NOTES:
1. VERIFY UTILITY LOCATIONS.
 2. VERIFY TREES TO BE REMOVED WITH OWNER.
 3. VERIFY STRUCTURE LOCATION WITH OTHERS.
SITE PLAN DEPICTED REPRESENTS A REFERENCE LOCATION ONLY, NOT TO BE USED FOR STAKING, EXCAVATION, FOUNDATION LOCATION OR BUILDING OF ANY KIND. REFERENCE CIVIL ENGINEERING FOR ACTUAL HOUSE LOCATION AND VERIFY IN FIELD NO PORTION OF THE STRUCTURE EXTENDS OVER SETBACKS, BUILDING LINES OR EASEMENTS.
 4. REFER TO CIVIL ENGINEERING PLANS FOR UTILITY INFORMATION.
 5. BOUNDARY BASED UPON PLAT OF SURVEY FURNISHED TO ARCHITECT BY OWNER. VERIFY LOT DIMENSIONS IN FIELD.



SITE PLAN - ALTERNATE B OPTION

NOTE TO OWNER & CONTRACTORS:
THESE DOCUMENTS HAVE BEEN PREPARED WITHOUT THE AID OF A PLAT OF SURVEY. THEREFORE THE RESPONSIBILITY OF VERIFYING ALL SITE RELATED INFORMATION HAS BEEN TRANSFERRED TO THE OWNER & CONTRACTORS AND HAS NOT BEEN COMPLETED BY THE ARCHITECT. THIS INCLUDES AND IS NOT LIMITED TO, THE ALLOWABLE BUILDING AREA, FOOTPRINT, SQUARE FOOTAGE, VERIFICATION OF METEOROLOGICAL AND/OR FLOOD PLAIN AND ALL OTHER ITEMS RELATED TO THE SITE THAT COULD IMPACT OR IMPED THE SUCCESSFUL COMPLETION OF PORTIONS OR THE ENTIRE PROJECT.
ACTIONS MAY BE REQUIRED TO VERIFY THE SITE INFORMATION PRIOR TO PERMIT SUBMITTAL OR CONSTRUCTION, AND IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO PERFORM THESE ACTIONS IF NEEDED.

PRELIMINARY
NOT FOR CONSTRUCTION
OR PERMIT SUBMITTAL

DESIGN STAGE	1	2	3	4	5
CONCEPTUAL DESIGN					
PRELIMINARY DESIGN					
DESIGN DEVELOPMENT					
FINAL DESIGN					
PERMIT REVIEW					
RELEASE FOR PERMIT					

O'BRIEN RESIDENCE
624 HIGHVIEW TERRACE
LAKE FOREST, IL 60045
ARCHITECTURAL SITE PLAN - ALT. B OPTION

Architects & Planners, Inc.
2800 Baha Road at R. 175
Crystal Lake, Illinois 60014
Telephone: 815-788-9300 Fax: 815-788-9301



Job Number: 20328
Sheet Number: A000
File Name: 20328A000

ALTERNATE DESIGN B

Pros:

- Conforms with side yard setback - NO variance required

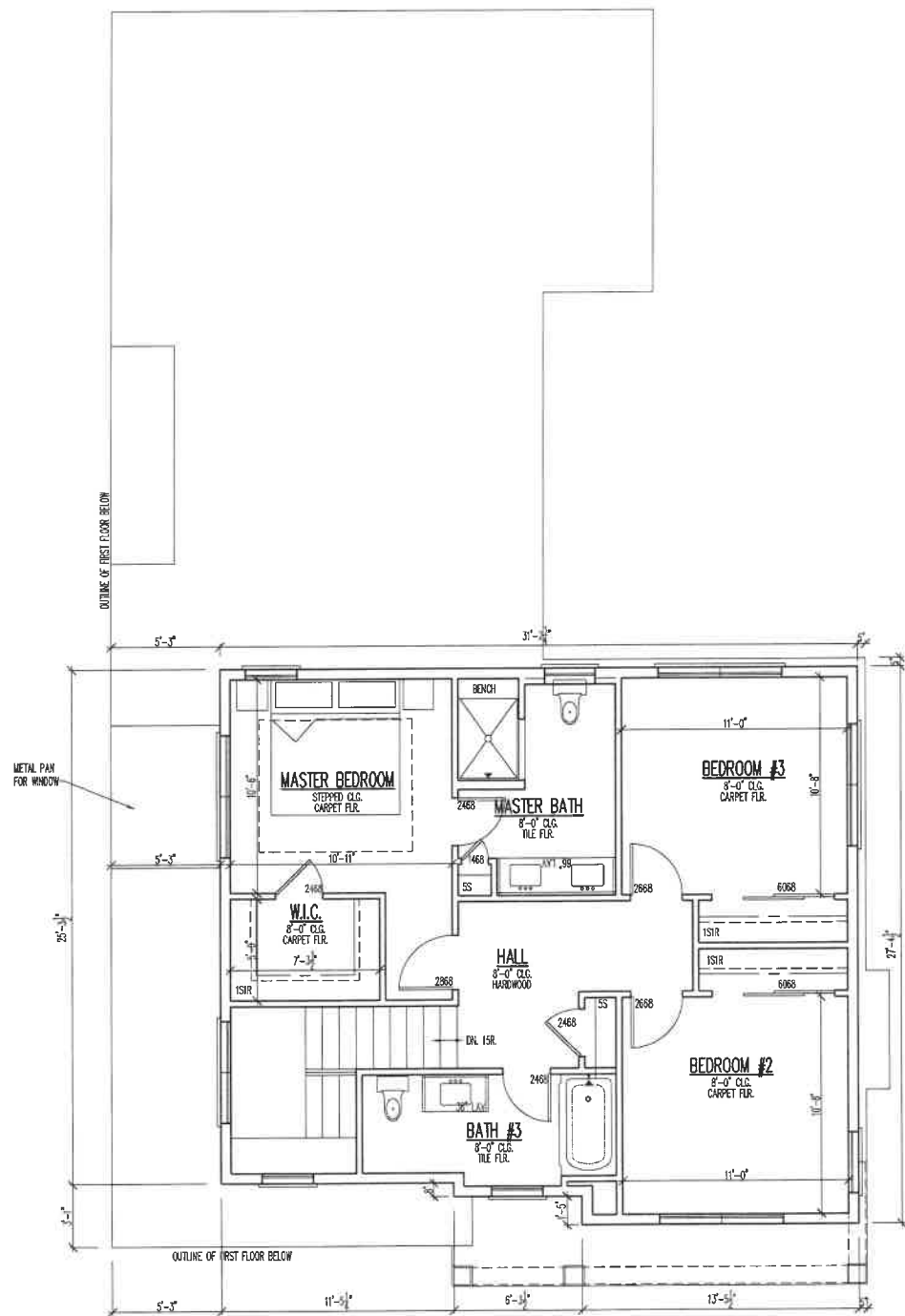


Cons:

- Master bedroom significantly undersized
- Stair placement offset from exterior wall creates inefficient use of space
- Office niche space greatly reduced from proposed design
- Exterior not ideal. Zero depth overhangs on left side due to setbacks
- Second floor loft space eliminated



ALTERNATE B OPTION



SECOND FLOOR PLAN - ALTERNATE B OPTION

1/4"=1'-0"

REVISIONS	1	2	3	4	5
CONCEPTUAL DESIGN	12-01-20	12-01-20	12-01-20	12-01-20	12-01-20
PRELIMINARY DESIGN	12-01-20	12-01-20	12-01-20	12-01-20	12-01-20
DESIGN DEVELOPMENT	12-01-20	12-01-20	12-01-20	12-01-20	12-01-20
PERMITTING	12-01-20	12-01-20	12-01-20	12-01-20	12-01-20
CONSTRUCTION	12-01-20	12-01-20	12-01-20	12-01-20	12-01-20

O'BRIEN RESIDENCE
624 HIGHVIEW TERRACE
LAKE FOREST, IL 60045

SECOND FLOOR PLAN - ALTERNATE B OPTION

Architects & Planners, Inc.
2600 Teaneck Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax: 815-788-9201



Job Number: 20328
Sheet Number: A102
File Name: 20328102