

Agenda Item 5
158 Western Avenue
New Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Proposed Site Plan
Site Context & Streetscape Elevation
East (Front) Elevation
Front Color Elevation
North Elevation
West (Rear) Elevation
South Elevation
Roof Plan
Building Section
First Floor Plan
Second Floor Plan
Garage Elevations, Floor Plan and Roof Plan
Preliminary Site Grading Plan
Preliminary Landscape Plan

Materials Provided by Staff

Previously Approved Site Plan
Previously Approved Elevations and Floor Plans
Previously Approved Garage Elevations

158 N. Western Avenue

Consideration of a request for approval of a new residence and detached garage, a conceptual landscape plan and overall site plan.

Property Owner: Grace 90, LLC (Peter Brennan, 100%)

Representative: Jeff Letzter, project manager

Staff Contact: Jen Baehr, Planner

Summary

This is a returning petition. In 2016, the Board approved the demolition of the previous residence on this property and a replacement residence and detached garage. Since that time, the property has remained in the same ownership. The petitioner completed demolition of the pre-existing home on the property in October 2018 but did not move forward with construction of the new single family residence at that time.

The prior approval of the replacement residence has expired. Approvals are valid for a period of two years from the date of final approval. Because the approval of the new residence has expired, the request for approval of the new residence is before the Board for reaffirmation of the prior approval if the Board determines that to be appropriate. The plans now presented to the Board, are very similar to the previously approved plans with some minor changes to the exterior of the home and modifications to the site plan and driveway configuration. Most of the changes were made in response to the Board's comments in 2016 and the conditions of the earlier approval. The changes are described in the following sections of this report.

The Board's packet includes the plans currently proposed as well as the plans for the new residence as presented to the Board in 2016. Also attached is an excerpt from the minutes of the September 2016 Building Review Board.

Description of Property

This property is located on the west side of Western Avenue, north of its intersection with Ryan Place. The railroad tracks are located on the east side of Western Avenue. The surrounding neighborhood contains a mix of one and two-story homes of varying architectural styles. In recent years, construction activity has occurred on this block and in the surrounding neighborhood as older homes have been renovated, expanded and replaced.

The parcel is 8,518 square feet with a narrow, deep configuration extending 163 feet in an east-west direction and a street frontage width of 52 feet.

Review and Evaluation of Applicable Standards

The City Code establishes *Standards for Architectural and Site Design Review* for the Board's review of new construction.

Siting – This standard is met.

The homes along this portion of Western Avenue are generally sited at a consistent and regular distance from the street; however, the neighboring residence, directly to the north, is sited at the rear of the lot. The proposed residence is sited approximately 47 feet and 2 inches from the front property line and the two-car detached garage is located at the rear of the property, approximately 11

feet and 2 inches from the rear property line. A new driveway is proposed along the south side of the site which will impact the existing line of Arborvitae along the south property line. A new six foot cedar privacy fence is proposed along a portion of the driveway in the location of the existing Arborvitae that are proposed for removal. A concrete block retaining wall is proposed along a portion of the south side of the site and extends into the rear yard. At its tallest point, the retaining wall is 2 feet above grade.

The previously approved plans reflect a different site plan and driveway configuration. The residence was previously proposed slightly further set back on the site, approximately 53 feet from the front property line. The detached garage was sited closer to the south and rear of the property, measuring approximately 6 feet and 5 inches from the south and rear property lines, and was not in compliance with the accessory structure zoning setbacks. The shifting of the home and garage on the property was in response to the conditions of the previous approval which stated that the garage must conform to zoning setbacks. The Board previously supported shifting the house forward on the lot, to the front yard setback, to better accommodate a detached garage in compliance with the required setbacks. The current plans reflect the detached garage in compliance with the accessory structure setbacks and satisfy this condition of the earlier approval.

The previous driveway configuration curved around the southwest corner of the house, the driveway as now proposed is squared off. The previous plans also reflected a patio at the rear of the home, a patio is no longer reflected on the plans. The air conditioning units previously proposed on the west side of the patio are now proposed at the northwest corner of the house.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 2,493 square feet is permitted on the site along with 249 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as single dormers and screen porches. A garage of up to 576 square feet is also permitted

- The proposed residence totals 2,314 square feet.
- In addition to the above square footage, a total of 154 square feet of design elements are incorporated into the design of the house.
- The proposed garage totals 487 square feet.
- In total, the residence is 179 square feet less than the maximum allowable square footage of 7% below the maximum allowable square footage.

At the maximum height, the residence is 29 feet and 10 inches tall as measured from the lowest point of existing grade to the tallest roof peak. The maximum height allowed for this lot is 30 feet.

Because the total height of the home as proposed nearly reaches the maximum height allowed for this property, during construction, as-built drawings will be required intermittently to confirm that the height does not exceed the maximum allowed.

Elevations - This standard is generally met.

The petitioner is proposing to construct a two-story replacement residence designed in the Dutch Colonial Revival style. The home features elements common to the Dutch Colonial Revival style such as a gambrel style roof, double hung windows with shutters, and an open porch.

Based on staff's review of the current plans it appears that various modifications were made to the elevations of the home since the earlier approval, some in response to the Board's previous conditions of approval. As observed by staff, the changes since the Board's previous approval are listed below.

- The brick base below the front porch was eliminated and replaced with individual brick piers with wood lattice between.
- The front porch previously had circular columns, square columns are now proposed.
- The size of the front porch columns was increased in response to the conditions of the earlier approval.
- In response to the conditions of the earlier approval, the large arched window in the stairway on the north elevation was eliminated and replaced with a double hung window with shutters to match the other windows on the home.
- The single door adjacent to the chimney on the rear elevation was eliminated.
- The window with shutters on the second floor on the rear elevation was replaced with a small square shape window without shutters.
- In response to the conditions of the previous approval, single car garage doors are proposed as opposed to a larger, double width garage door.

The currently proposed elevations of the home generally present a consistent level of detail and a regular window pattern, although the rear elevation presents a more solid appearance as compared to the other elevations of the home. As noted above, the previously approved plans reflect a single door adjacent to the chimney and a larger window with shutters on the second floor, both have been eliminated from the current plans. A small square window, without shutters, is now proposed on the second floor of the rear elevation. This small window does not appear to follow the style or proportions of the other windows on the home.

- Staff recommends the incorporation of additional openings or detailing on to the rear elevation to break up the large expanses of solid walls.
- Staff recommends replacing the small square window on the rear elevation with a window that is more in keeping with the style and proportions of the other windows proposed around the home.

Type, color, and texture of materials – This standard is met.

Fiber cement horizontal siding is proposed for the exterior wall material. The roof material is architectural asphalt shingle. Wood is proposed for the porch railing, window headers, shutters, fascia, soffit and trim material. Aluminum clad wood windows with exterior and interior muntin bars are proposed. Aluminum gutters and downspouts are proposed. The proposed chimney has a four-inch brick veneer. Brick pavers are proposed for the front walkway and concrete pavers are proposed for the rear walkway. An asphalt driveway is proposed.

The proposed color palette includes light gray siding, a dark gray asphalt shingle roof, white windows, porch railings and trim, black shutters, and a red front door. The petitioner provided a color elevation which is included in the Board's packet.

The proposed materials and color palette of the garage are consistent with the residence.

Landscaping – This standard can be met.

As noted above, the row of Arborvitae along the south property line will be impacted by the proposed driveway. The Arborvitae appear to be on or very close to the shared property line based on the landscape plan provided by the petition. Additional information is needed to confirm the location of the Arborvitae. If the Arborvitae are located on the shared property line, removal of the Arborvitae is subject to review and approval by the neighboring property owner. Three trees were removed during the demolition of the home previously on the property. Inch for inch replacement for those trees is required on the site if possible in the determination of the City's Certified Arborist based on good forestry practices. If the required replacement inches cannot be fully planted on site, a payment in lieu of on site planting will be required prior to the issuance of a building permit. The payment in lieu of on-site plantings will be used for planting of parkway trees in the area.

The conceptual landscape plan submitted by the petitioner reflects proposed plantings around the foundation of the house and plantings along the north and south property lines. The proposed plantings include Hackberry, Cherry and Serviceberry trees, Arborvitae, hydrangea, boxwoods, and viburnum. Based on the conceptual landscape plan, the required replacement inches for the trees previously removed is not fully satisfied. As the landscape plan is developed further, additional trees should be added to the plan to the extent possible to satisfy the required replacement inches.

A condition of the earlier approval required year-round screening along the rear lot. The conceptual landscape plan proposes Arborvitae along southern part of the rear property line, and a row of six viburnum are along the northern part of the rear property line. Staff recommends additional year-round screening near the northwest corner of the property.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at five public locations. As of the date of this writing, no correspondence has been received regarding this request.

Recommendation

Recommend approval of the residence, detached garage, conceptual landscape and overall site plan based on the findings presented in this staff report and incorporating the Board's deliberations. Staff recommends approval subject to the following conditions of approval.

New Conditions of Approval

1. The plans shall reflect the following refinements:
 - a. Incorporate additional openings or detailing on the rear elevation to break up the large expanses of solid walls.
 - b. Replace the small square window on the rear elevation with a window that is more in keeping with the style and proportions of the other windows proposed around the home.

2. The final grading and drainage plan shall demonstrate that any grading and filling on the property is kept to the minimum necessary to achieve proper drainage and that the overall height of the residence, when measured from the lowest point of existing adjacent grade, is consistent with the information presented to the Board with respect to the height of the residence. Additional information, as determined to be necessary by the City Engineer, may be required to verify the project is consistent with Code requirements and to verify good engineering practices are followed to minimize the potential for drainage impacts on adjacent properties.
 - a. Tie in the gutters and downspouts to the storm sewer subject to review and approval by the City Engineer.
 - b. Grade the driveway to minimize runoff on to the adjacent property.
3. A tree removal plan shall be submitted clearly detailing the trees proposed for removal and those which will be protected and preserved.
 - a. Additional information must be provided to confirm the location of the Arborvitae along the south property line. If the Arborvitae are located on the shared property line, the neighboring property owner shall be consulted.
4. A final landscape plan shall be drawn on the approved grading and drainage plan and will be subject to review and approval by the City's Certified Arborist.
 - a. Year-round screening shall be enhanced at the north end of the rear lot.
 - b. Inch for inch replacement for trees removed shall be reflected on the landscape plan subject to review and approval by the City Arborist.
5. If determined to be necessary by the City's Certified Arborist, a pre and post tree maintenance plan prepared by a Certified Arborist shall be submitted outlining the steps that will be taken to protect the mature trees on the property. The maintenance plan shall be subject to review and approval by the City's Arborist. The plan shall be fully implemented to the satisfaction of the City's Arborist and regular inspections shall be conducted by the Arborist to verify completion of specified measures at appropriate points before the issuance of permits, during construction and after completion of the project.
6. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, *except those illuminated by natural gas at low light levels*, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
7. Prior to the issuance of a building permit, a materials staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the neighborhood during construction and to minimize impacts on trees intended for preservation. Due to the location of the property near an at grade railroad crossing and given the narrowness of the Western Avenue roadway, no on street parking or staging of construction vehicles or contractor vehicles are permitted.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 158 Western Avenue Owner(s) Grace 90, LLC
 Representative: Jeff Letzter, project manager Reviewed by: Jen Baehr
 Date 2/2/2022
 Lot Area 8518 sq. ft.

Square Footage of New Residence:

1st floor 1224 + 2nd floor 1090 + 3rd floor 0 = 2314 sq. ft.
 Design Element Allowance = 249
 Total Actual Design Elements = 154 Excess = 0 sq.ft.
 Garage 487 sf actual ; 576 Excess = 0 sq. ft.
 Garage Width 22'-0" *may not exceed 24' in width on lots 18,900 sf or less in size.*
 Basement Area = 0 sq. ft.
 Accessory buildings = 0 sq. ft.
TOTAL SQUARE FOOTAGE = 2314 sq. ft.
TOTAL SQUARE FOOTAGE ALLOWED = 2493 sq. ft.
DIFFERENTIAL = -179 sq. ft.
Under Maximum
 Allowable Height: 30 ft. Actual Height 29-10" ft.

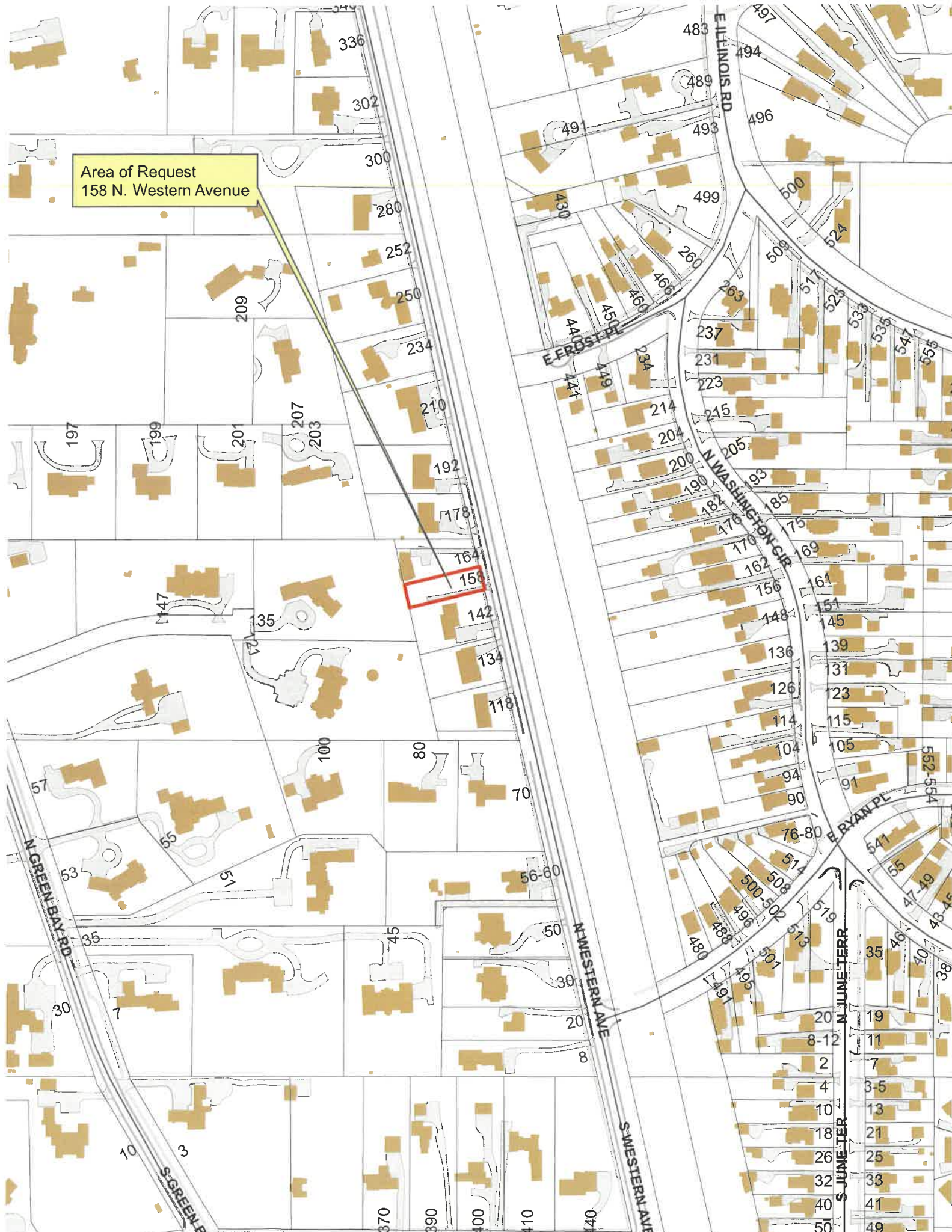
NET RESULT:

179 sq. ft. is
7% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 249 sq. ft.
 Front & Side Porches = 154 sq. ft.
 Rear & Side Screen Porches = 0 sq. ft.
 Covered Entries = 0 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = 0 sq. ft.
 Individual Dormers = 0 sq. ft.
 Bay Windows = 0 sq. ft.
Total Actual Design Elements = 154 sq. ft. **Excess Design Elements = 0 sq. ft.**

Area of Request
158 N. Western Avenue



Area of Request
158 N. Western Avenue





Area of Request
158 N. Western Avenue



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 158 N. WESTERN AVE. LAKE FOREST, IL 60045

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

ARCHITECT/BUILDER INFORMATION

Garage 90 LLC
Owner of Property

JEFF LETZTER, PROJECT MANAGER
Name and Title of Person Presenting Project

12 Salt Creek Ln, Ste 400
Owner's Street Address (may be different from project address)

ASPECT DESIGN INC.
Name of Firm

Hinsdale, IL 60521
City, State and Zip Code

26575 Commerce Dr. Suite 607
Street Address

(630) 887-1705 (630) 887-1749
Phone Number Fax Number

Wood, IL 60073
City, State and Zip Code

plorenzan@foxfordllc.com
Email Address

(647) 457-2500 NA
Phone Number Fax Number

[Signature]
Owner's Signature

JEFF LETZTER ASPECT DESIGN INC. COM
Email Address

[Signature]
Representative (Name and Title of Builder)

The staff report is available the Friday before the meeting, after 3:00pm.	
Please email a copy of the staff report	<input checked="" type="checkbox"/> OWNER <input checked="" type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>Peter J. Brennan</u>	Name _____
Address <u>12 Dalt Creek Ln. Ste 400</u> <u>Highland, IL 60521</u>	Address _____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %



Statement of Intent 158 N. Western Avenue, Lake Forest, IL 60045

1. **Background**—The home was purchased in 2016 by Grace 90, LLC by Manager Peter Brennan. Larry Crone of Capital Homes, Inc. will be the builder.
2. **Initial Goal**—In 2016, this site was approved by the BRB for a complete demolition of the existing home and a new home on the site. The existing home was removed and the new home was going to be built. Due to market conditions, the proposed home with a detached garage to the rear of the was put on hold. Still using the original, approved Colonial Revival gambrel style home, we are now presenting this plan.
3. **Design Strategy**—The intent is to plan a new home that fits quietly into the neighborhood context. The house size would be compatible with the neighbors, similar in type and materials, consistent with traditional forms and details and landscaped to blend in with the topography. The program for the interior includes features such as an open floor plan, a second floor master suite and laundry, low maintenance materials, easily accessible outdoor living areas, bedrooms on the second floor and a full basement for recreation, entertaining, children's playroom, storage and mechanicals. With these goals in mind and a review of the context of the neighborhood, we felt that a modest style Colonial Revival with a gambrel roof and front porch with clapboard siding would work well with the surrounding homes, to the South, a brick ranch style home, to the North, a small scale 2-story Colonial Revival home.
4. **Siting**—Our proposed home will nicely fit the challenging rhythm of the street and compliment the homes around it, with a less vertical style and not a formal design with the porch and gambrel design elements to compliment North, and then transition to the wider combined lots and ranch style homes to the South. We believe our proposed design will meet and surpass the Design Criteria in the City Code, our site plan, exterior elevations, landscape, type, color and texture of materials and overall site layout meet these required conditions.
4. **Materials**—Light Gray horizontal clapboard siding will be used on the exterior. The windows and trim are proposed to be white. Architectural grade asphalt shingles with a 40 year rating in a deep gray / slate / black tone will be employed to unify the colors. The paneled front door will be painted in red, the shutters and hardware will be black and all porch details will be white.
5. **Conclusion**—Our intent is to build an attractive home that quietly fits into its site. The restrained quality of the home will be a compliment to this neighborhood
6. **Variations**— As proposed, no variances are required.

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
PHONE: 847.457.2500
WWW.ASPECTDESIGNINC.COM

12-23-21
158 N. WESTERN AVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Facade Material

- | | |
|--|--|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Wood Shingle |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Synthetic Stucco |
| | <input checked="" type="checkbox"/> Other <u>HARDIE BOARD SIDING</u> |
- Color of Material LIGHT GRAY

Window Treatment

Primary Window Type

- Double Hung
 Casement
 Sliding
 Other _____

Finish and Color of Windows

- Wood
 Aluminum Clad
 Vinyl Clad
 Other _____
- Color of Finish WHITE

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Synthetic Material _____
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Synthetic Material _____
 Other _____

Fascias, Soffits, Rakeboards

- Wood
 Other _____
 Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other ASPHALT, ARCHITECTURAL

Flashing Material

- Copper
- Sheet Metal _____
- Other ALUMINUM

Color of Material CHARCOAL-BLACK

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

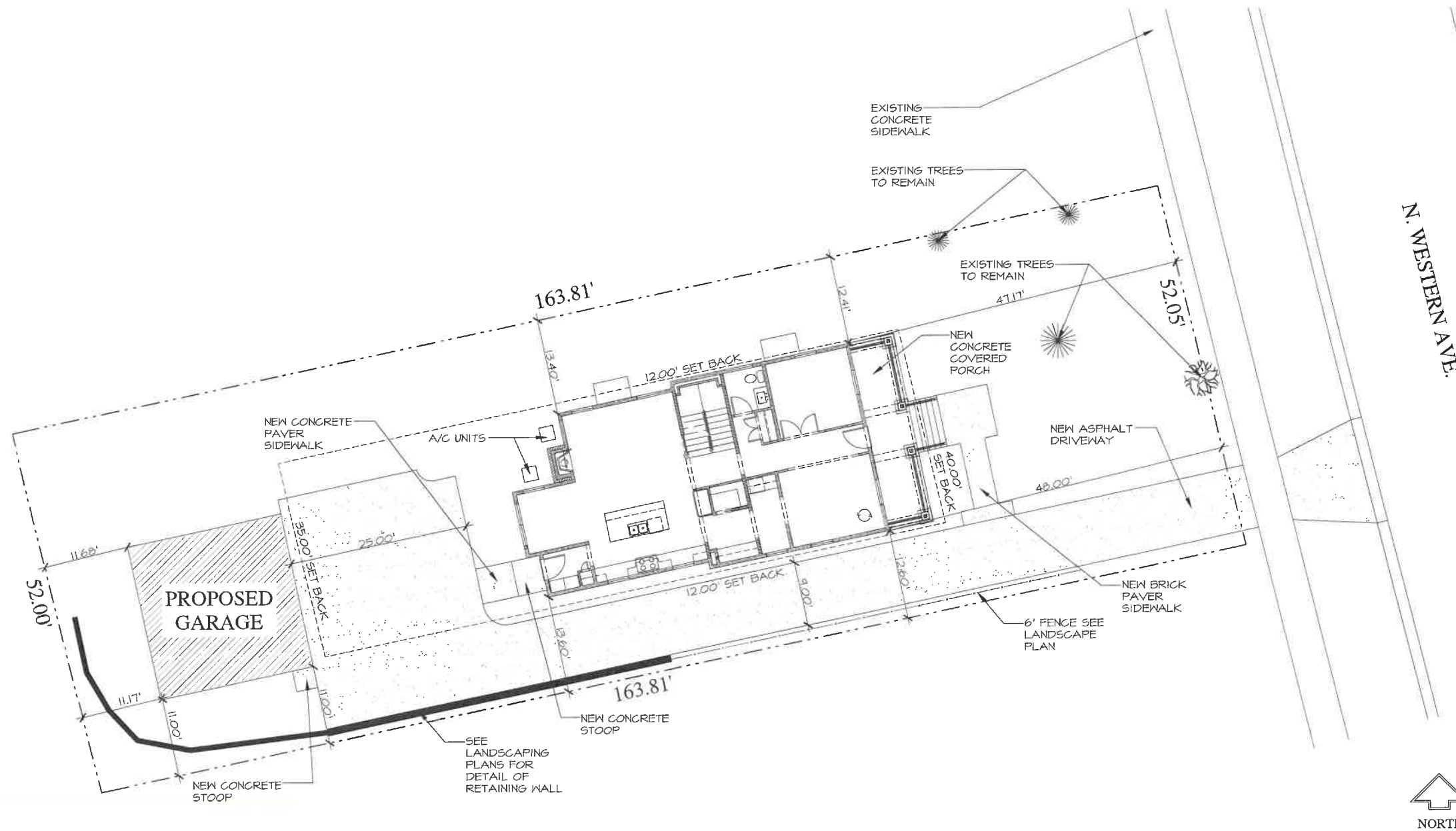
- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

LOT AREA:	8,541.00 S.F.
PROPOSED BULK	
FIRST FLOOR:	1,221.75 S.F.
SECOND FLOOR:	1,101.00 S.F.
ATTIC:	0.00 S.F.
GARAGE:	484.00 S.F.
SUBTOTAL:	2,806.75 S.F.
GARAGE ALLOWANCE:	-484.00 S.F.
TOTAL:	2,322.75 S.F.
MAX. BULK ALLOWED:	2,495.74 S.F.

SQUARE FOOTAGE	
FIRST FLOOR:	1,221.75 S.F.
SECOND FLOOR:	1,101.00 S.F.
TOTAL:	2,322.75 S.F.
GARAGE:	484.00 S.F.



REVIEW ONLY - NOT FOR CONSTRUCTION

CUSTOM RESIDENCE

NEW CONSTRUCTION
158 NORTH WESTERN AVE.
LAKE FOREST, ILLINOIS 60045

CAPITAL CUSTOM HOMES

REVIEW	10/11/2021
REVIEW	10/25/2021
REVIEW	10/28/2021
REVIEW	12/27/2021
REVIEW	01/14/2022

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
ILL. LICENSE # 1800084

ASPECT DESIGN INC.
ARCHITECTS

PROJECT #	AD21180
DRAWN BY:	COM/NH/MB
158 NORTH WESTERN AVE. SITE PLAN	
AR 01	
# 1 OF 13 TOTAL SHEETS	

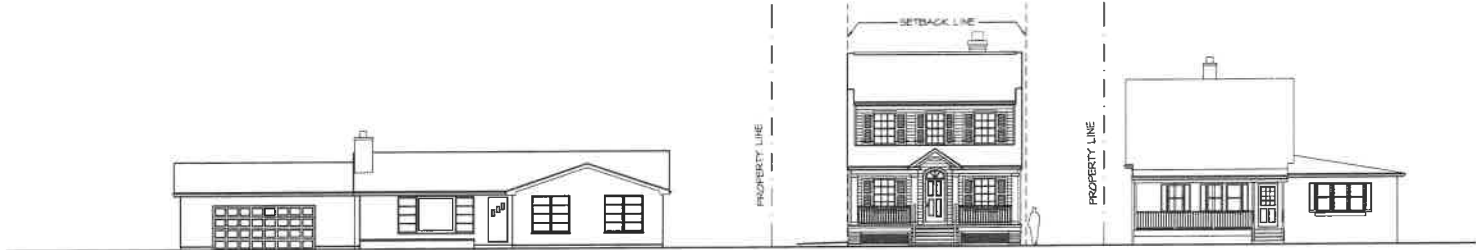
1
AR 01

SITE PLAN

REFER TO FINAL APPROVED CIVIL ENGINEERING PLANS FOR ALL NEW AND EXISTING SITE IMPROVEMENTS

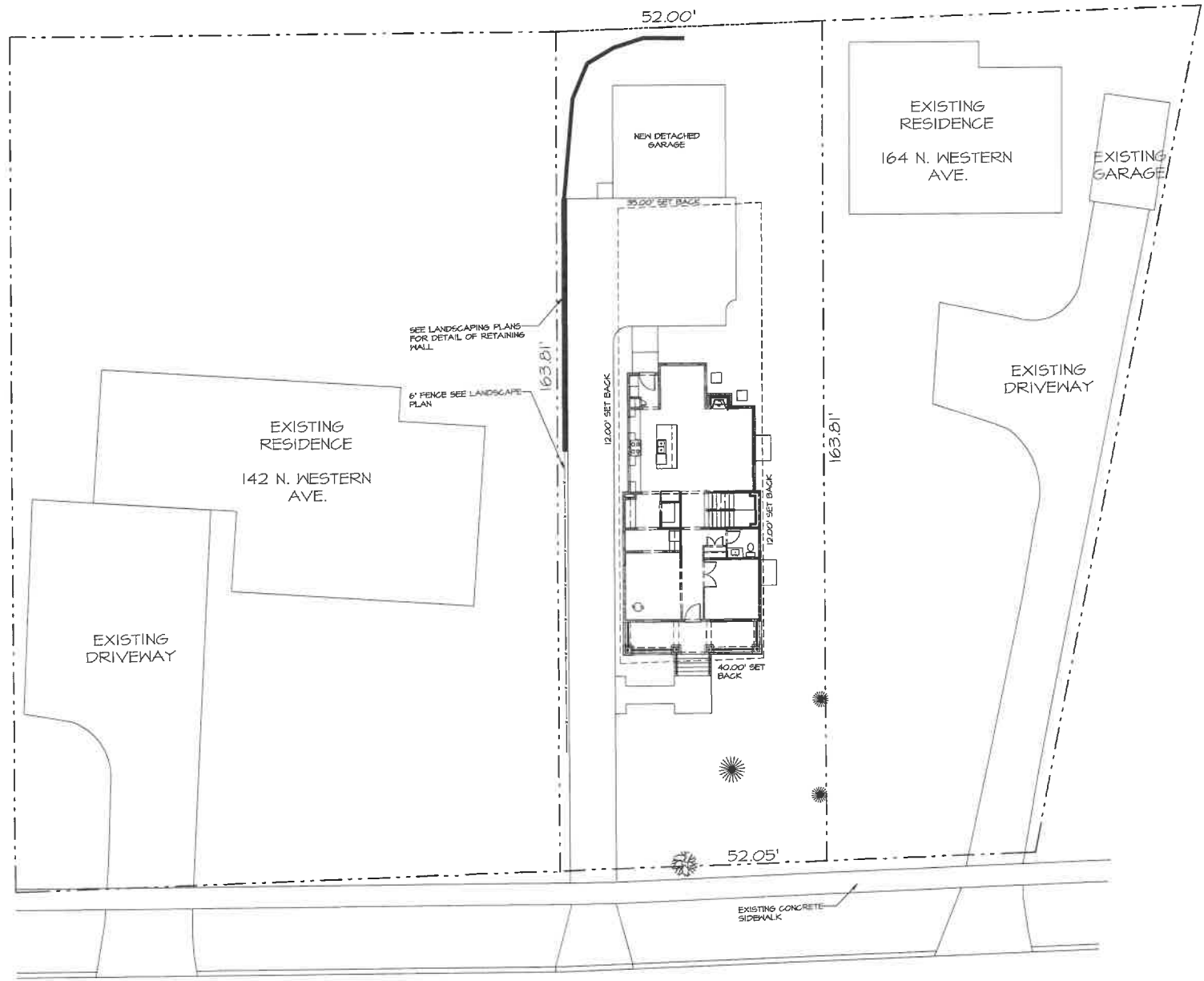
NORTH
SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)



2 STREETScape ELEVATIONS
AR 02

SCALE: N.T.S.



1 SITE PLAN
AR 02



SCALE: N.T.S.

REVIEW ONLY - NOT FOR CONSTRUCTION

CUSTOM RESIDENCE
NEW CONSTRUCTION
158 NORTH WESTERN AVE.
LAKE FOREST, ILLINOIS 60045

CAPITAL CUSTOM HOMES

REVIEW	10/1/2021
REVIEW	10/25/2021
REVIEW	10/28/2021
REVIEW	12/27/2021
REVIEW	01/14/2022

ASPECT DESIGN INC. ARCHITECTS

126575 COMMERCE DR.
SUITE 607
Volo, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL LICENSE #14060674

PROJECT # AD21180
DRAWN BY: COM / NH / MB
158 NORTH WESTERN AVE.
SITE PLAN

AR 02

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

2 OF 13 TOTAL SHEETS



1 FRONT ELEVATION (EAST)
AR 03

SCALE: N.T.S.

REVIEW ONLY-NOT FOR CONSTRUCTION

CUSTOM RESIDENCE NEW CONSTRUCTION 158 NORTH WESTERN AVE. LAKE FOREST, ILLINOIS 60045	
CAPITAL CUSTOM HOMES	
REVIEW	10/17/2021
REVIEW	10/25/2021
REVIEW	10/28/2021
REVIEW	12/01/2021
REVIEW	01/14/2022
26575 COMMERCE DR. SUITE 607 Volo, IL 60073 MAIN: 847-457-2500 WWW.ASPPECTDESIGNINC.COM IL LIC 008614460634	
ASPECT DESIGN INC. ARCHITECTS	
PROJECT #	AD21180
DRAWN BY:	COM/NH/MB
158 NORTH WESTERN AVE. EXTERIOR ELEVATIONS	
AR 03	
# 3 OF 13 TOTAL SHEETS	

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

© COPYRIGHT 2021



CHIMNEY FLUE W/
DECORATIVE METAL
CAP
4" BRICK VENEER CHIMNEY
WITH TAPERED CONCRETE
CHIMNEY CAP AND CLAY FLUE

CONTINUOUS RIDGE VENTS -
PROVIDE 1 SQ. FT. VENT FOR
EVERY 300 SQ. FT. OF ATTIC
SPACE.

ASPHALT SHINGLES
(CLASS "C" FIRE RATED)

HARDIE BOARD 6"
HORIZONTAL EXPOSED
LAP SIDING

ALUMINUM GUTTERS AND
DOWNSPOUTS

1X8 CEDAR FASCIA

CEDAR SOFFIT WITH
CONTINUOUS VENT

1X4 CEDAR CORNER BOARD

ASPHALT SHINGLES
(CLASS "C" FIRE RATED)

CEDAR SHUTTERS (1/2 WIDTH OF WINDOW)
W/ SHUTTER DOGS AND HINGES

1X8 CEDAR FASCIA

1X4 CEDAR WINDOW HEAD

1X8 CEDAR FRIEZE

ALUMINUM GUTTERS AND
DOWNSPOUTS

COVERED PORCH CEILING WITH
1X4 T&G CEDAR BEAD BOARD

10" DIA. "FIBRECAST"
STRUCTURAL COLUMN

CEDAR PORCH RAILING

CEDAR STAIR RAILING

T/ FIRST FLOOR

1X4 CEDAR CAP

1X12 CEDAR TRIM

CUT STONE CAP

4" BRICK VENEER PIERS
GRADE

CEDAR LATTICE

30'-0"
MAXIMUM HEIGHT

29'-8 5/8"
PROPOSED HEIGHT

8'-1 1/8"
SECOND FLOOR CEILING HT.

7'-0"
WINDOW HEIGHT

9'-1 1/8"
FIRST FLOOR CEILING HEIGHT

6'-10"
WINDOW HEIGHT

1 FRONT ELEVATION (EAST)
AR 03

SCALE: N.T.S.

REVIEW ONLY - NOT FOR CONSTRUCTION

CUSTOM
RESIDENCE

NEW CONSTRUCTION
158 NORTH WESTERN AVE,
LAKE FOREST, ILLINOIS 60045

CAPITAL
CUSTOM HOMES

REVIEW	10/1/2021
REVIEW	10/27/2021
REVIEW	10/28/2021
REVIEW	12/02/2021

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
MAIN: 847-457-2500
IL ARCHITECT # 142008184

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD21180
DRAWN BY: COM / NH / MB
158 NORTH WESTERN AVE.
EXTERIOR ELEVATIONS

AR 03

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER. (ARCH-D)

3 OF 13 TOTAL SHEETS



1 RIGHT ELEVATION (NORTH)
AR 04

SCALE: N.T.S.

REVIEW ONLY - NOT FOR CONSTRUCTION

CUSTOM RESIDENCE

NEW CONSTRUCTION
158 NORTH WESTERN AVE.
LAKE FOREST, ILLINOIS 60045

CAPITAL CUSTOM HOMES

REVIEW	10/11/2021
REVIEW	10/25/2021
REVIEW	10/28/2021
REVIEW	12/21/2021
REVIEW	01/14/2022

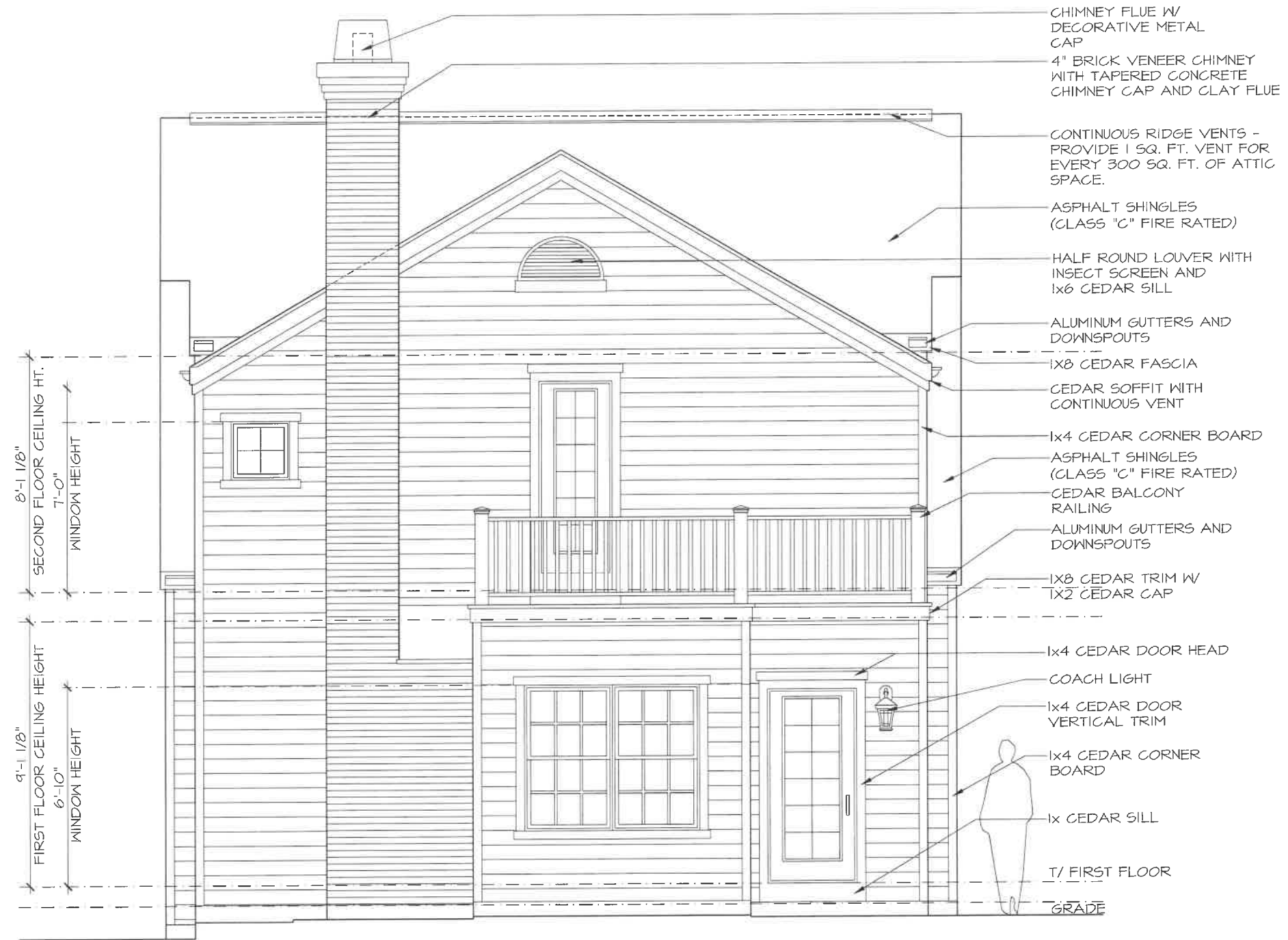
26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
www.aspectdesigninc.com
IL: LC00851440004



PROJECT # AD21180
DRAWN BY: COM / NH / MB
158 NORTH WESTERN AVE.
EXTERIOR ELEVATIONS

AR 04

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)



1 REAR ELEVATION (WEST)
AR 05

SCALE: N.T.S.

REVIEW ONLY - NOT FOR CONSTRUCTION

CUSTOM
RESIDENCE
NEW CONSTRUCTION
158 NORTH WESTERN AVE.
LAKE FOREST, ILLINOIS 60045

CAPITAL
CUSTOM HOMES

REVIEW	10/12/2021
REVIEW	10/25/2021
REVIEW	10/28/2021
REVIEW	12/21/2021
REVIEW	01/14/2022

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
www.aspectdesigninc.com
IL LICENSE # 1446044



PROJECT # AD21180
DRAWN BY: COM / NH / MB
158 NORTH WESTERN AVE.
EXTERIOR ELEVATIONS

AR 05

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER. (ARCH-D)

© COPYRIGHT 2022

5 OF 13 TOTAL SHEETS



REVIEW ONLY-NOT FOR CONSTRUCTION

CUSTOM RESIDENCE
NEW CONSTRUCTION
158 NORTH WESTERN AVE.
LAKE FOREST, ILLINOIS 60045

CAPITAL CUSTOM HOMES

REVIEW	10/11/2021
REVIEW	10/25/2021
REVIEW	10/28/2021
REVIEW	12/21/2021
REVIEW	01/14/2022

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
TEL: 847-457-4044



PROJECT # AD21180
DRAWN BY: COM / NH / MB
158 NORTH WESTERN AVE.
EXTERIOR ELEVATIONS

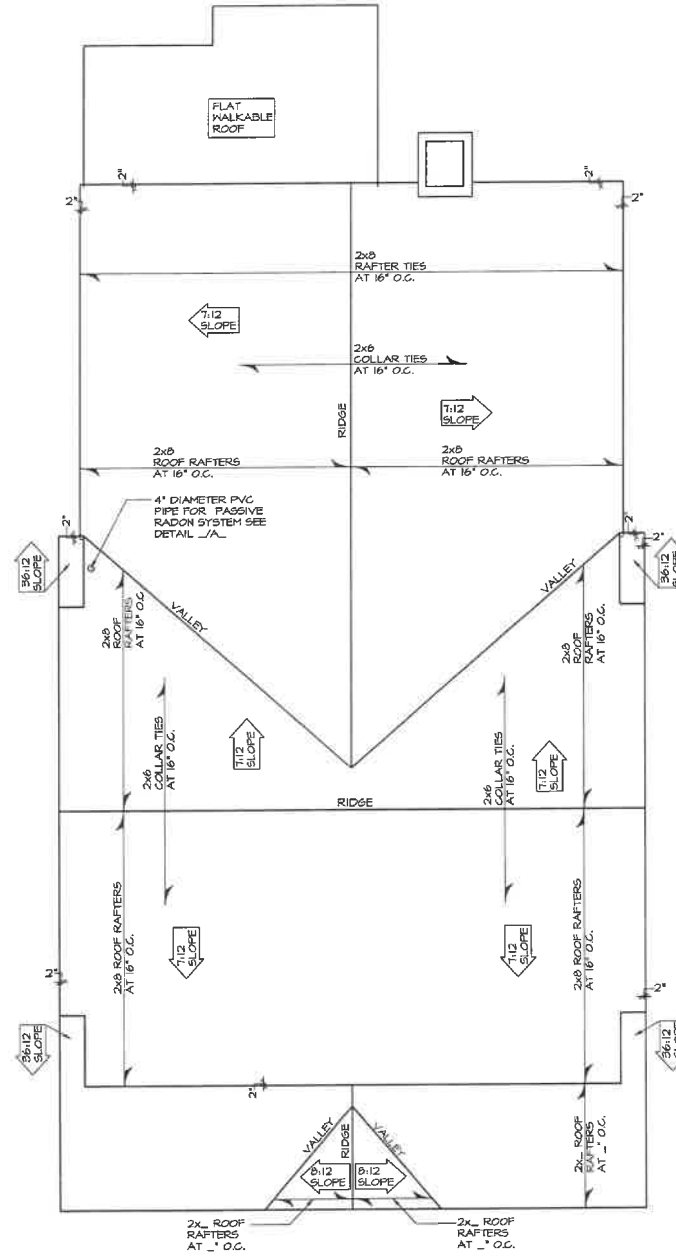
AR 06
6 OF 13 TOTAL SHEETS

1 LEFT ELEVATION (SOUTH)
AR 06

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

© COPYRIGHT 2021



1
AR 11

ROOF PLAN

SCALE: N.T.S.

REVIEW ONLY-NOT FOR CONSTRUCTION

CUSTOM RESIDENCE

NEW CONSTRUCTION
158 NORTH WESTERN AVE.
LAKE FOREST, ILLINOIS 60045

CAPITAL CUSTOM HOMES

REVIEW	10/1/2021
REVIEW	10/25/2021
REVIEW	10/28/2021
REVIEW	12/23/2021
REVIEW	01/14/2022

ASPECT DESIGN INC. ARCHITECTS

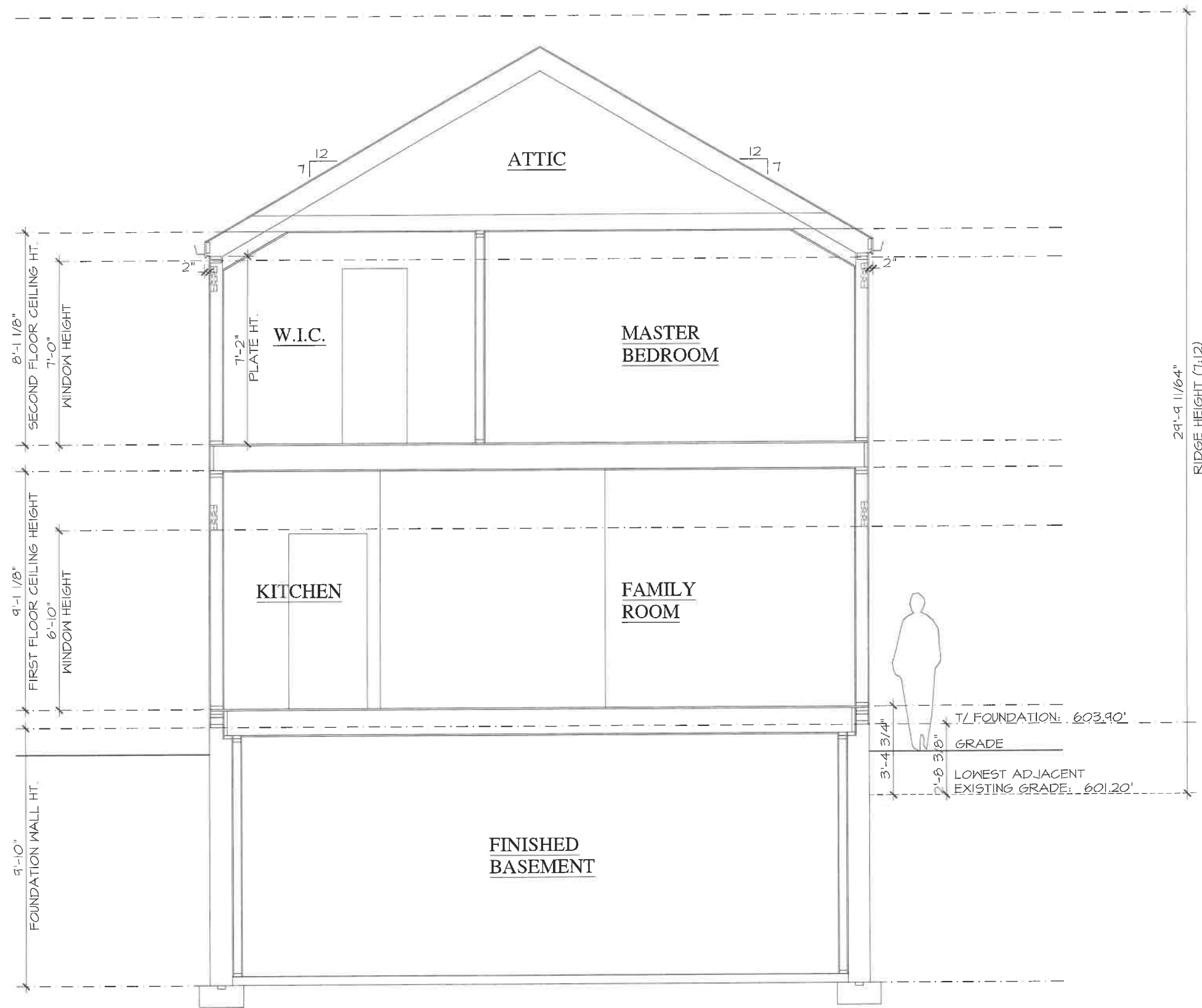
26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
WWW.ASPCTDESIGNINC.COM
IL: 630.886.1400/630.886.1401

PROJECT # AD21180
DRAWN BY: COM/NH/MB
158 NORTH WESTERN AVE.
ROOF PLAN

AR 11
11 OF 13 TOTAL SHEETS

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

© COPYRIGHT 2022



1 BUILDING SECTION
AR 12

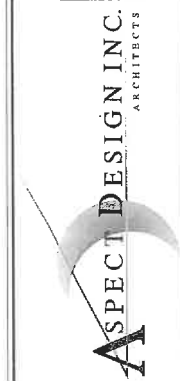
SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

REVIEW	10/1/2021
REVIEW	10/25/2021
REVIEW	10/28/2021
REVIEW	12/23/2021
REVIEW	01/14/2022

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
www.aspectdesigninc.com
IL Lic# 048161460001

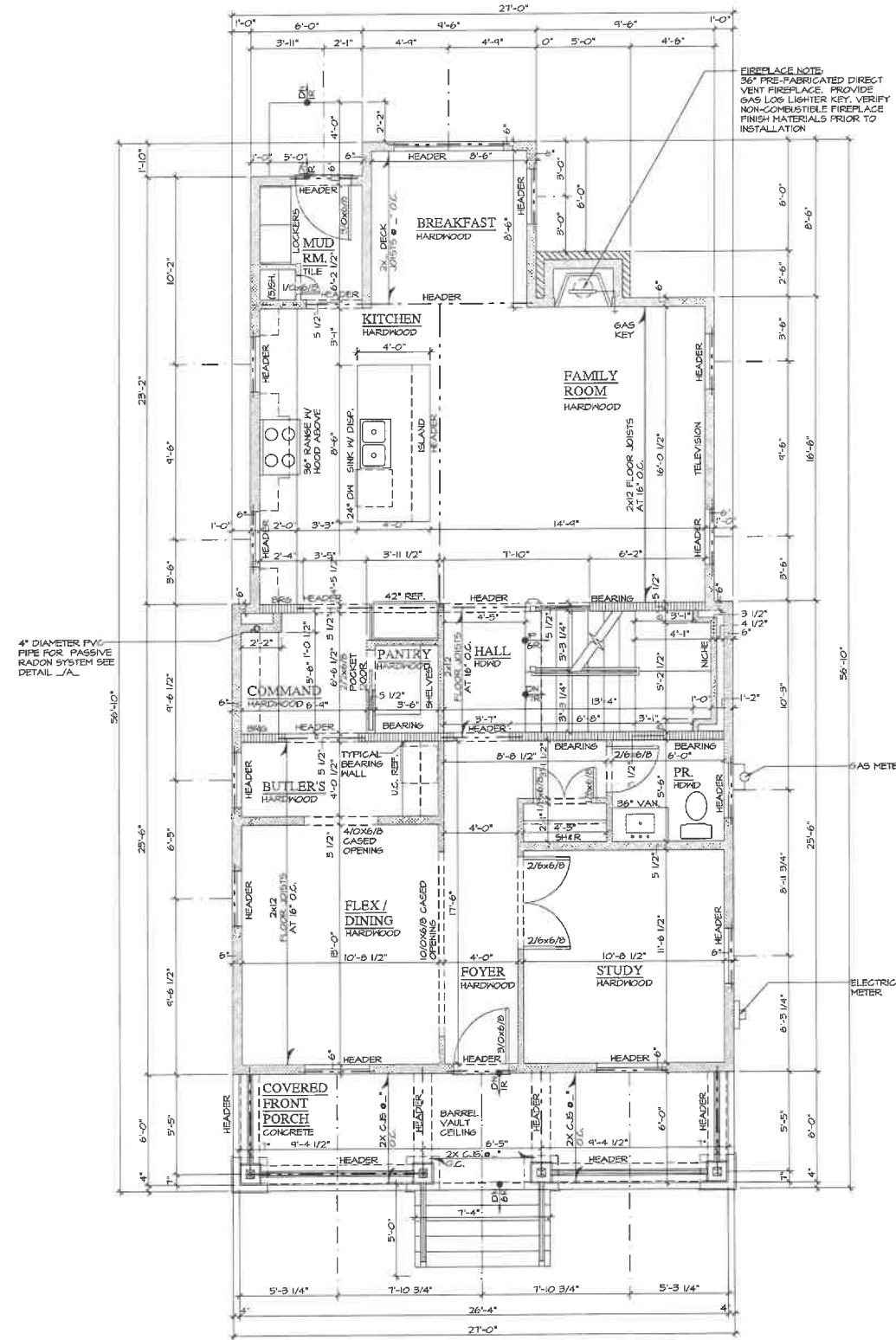


PROJECT # AD21180
DRAWN BY: COM / NH / MB
158 NORTH WESTERN AVE.
BUILDING SECTION

AR 12
12 OF 13 TOTAL SHEETS

CUSTOM RESIDENCE
NEW CONSTRUCTION
158 NORTH WESTERN AVE.
LAKE FOREST, ILLINOIS 60045

CAPITAL CUSTOM HOMES



FIREPLACE NOTE:
 36" PRE-FABRICATED DIRECT VENT FIREPLACE. PROVIDE GAS LOG LIGHTER KEY. VERIFY NON-COMBUSTIBLE FIREPLACE FINISH MATERIALS PRIOR TO INSTALLATION.

4" DIAMETER PVC PIPE FOR PASSIVE RADON SYSTEM SEE DETAIL _JA_

1 FIRST FLOOR PLAN
 AR 09 SCALE: N.T.S.

REVIEW ONLY-NOT FOR CONSTRUCTION

CUSTOM RESIDENCE
 NEW CONSTRUCTION
 158 NORTH WESTERN AVE.
 LAKE FOREST, ILLINOIS 60045

CAPITAL CUSTOM HOMES
 CUSTOM HOMES

REVIEW	1/9/2021
REVIEW	10/25/2021
REVIEW	10/28/2021
REVIEW	12/23/2021
REVIEW	01/14/2022

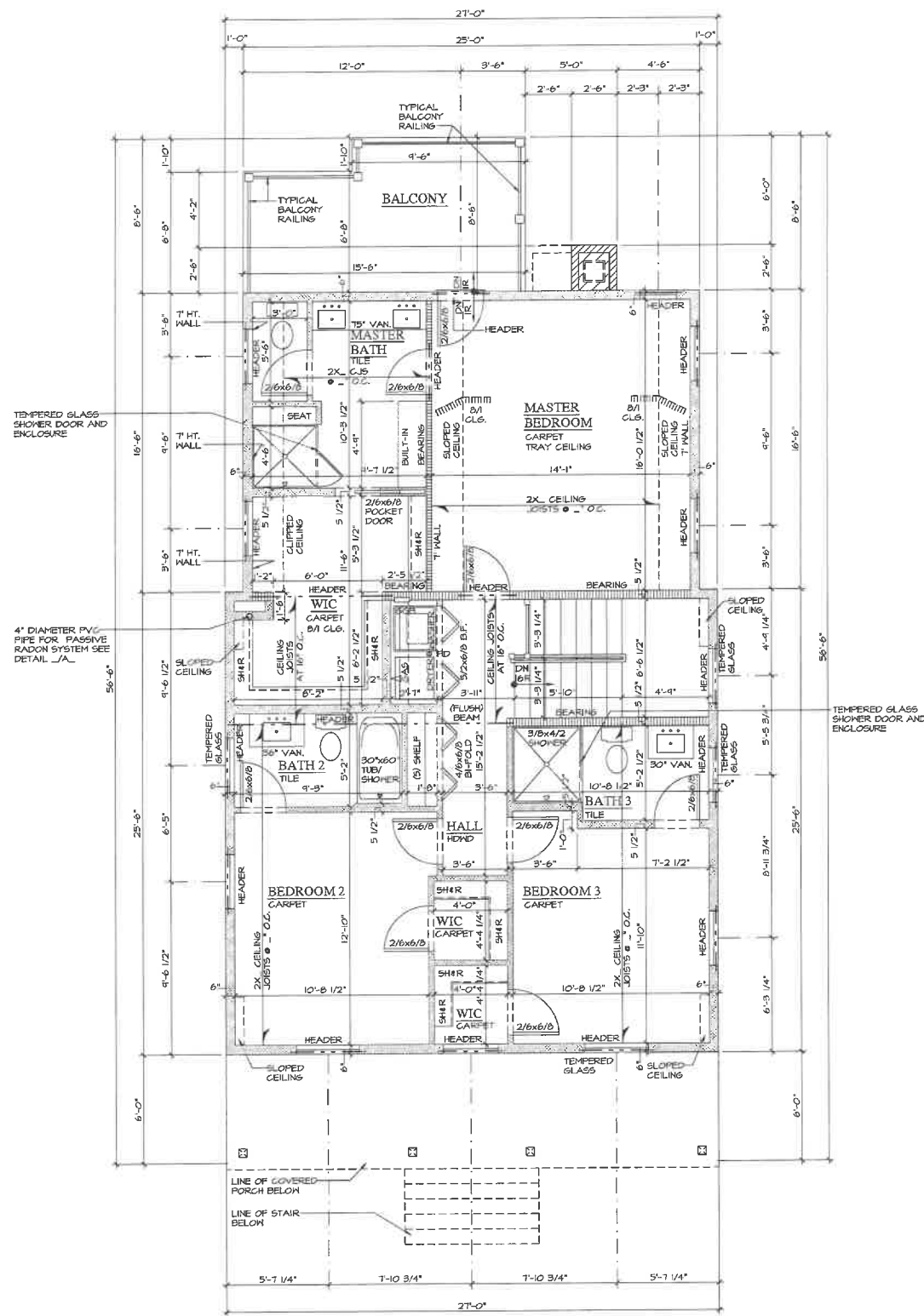
26575 COMMERCE DR.
 SUITE 607
 Volo, IL 60073
 MAIN: 847-457-2500
 WWW.ASPECTDESIGNINC.COM
 IL LIC# 018114-000104



PROJECT # AD21180
 DRAWN BY: COM/NH/MB
 158 NORTH WESTERN AVE.
 FIRST FLOOR PLAN

AR 09
 # 9 OF 13 TOTAL SHEETS

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)



1 SECOND FLOOR PLAN
 AR 10 SCALE: N.T.S.

REVIEW ONLY-NOT FOR CONSTRUCTION

CUSTOM RESIDENCE

NEW CONSTRUCTION
 158 NORTH WESTERN AVE.
 LAKE FOREST, ILLINOIS 60045

CAPITAL CUSTOM HOMES

REVIEW	10/11/2021
REVIEW	10/25/2021
REVIEW	10/28/2021
REVIEW	12/23/2021
REVIEW	01/14/2022

126575 COMMERCE DR.
 SUITE 607
 Volo, IL 60073
 WWW.ASPECTDESIGNINC.COM
 IL LIC# 0887-11430054

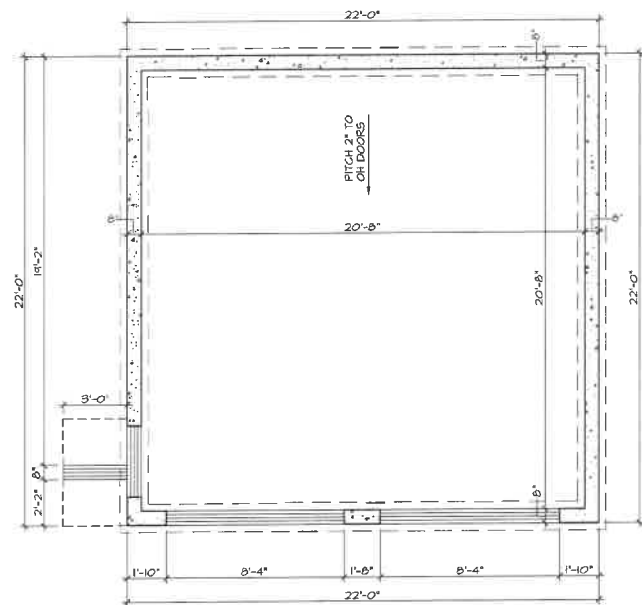
ASPECT DESIGN INC.
 ARCHITECTS

PROJECT # AD21180
 DRAWN BY: COM/NH/MB
 158 NORTH WESTERN AVE
 SECOND FLOOR PLAN

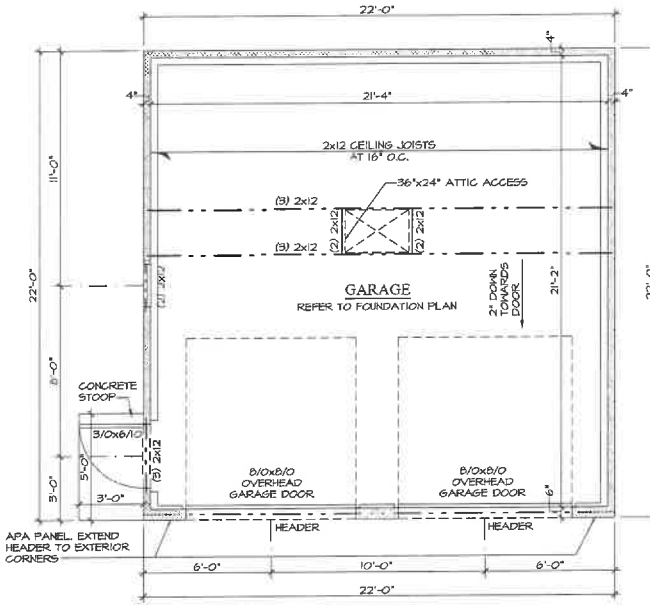
AR 10
 # 10 OF 13 TOTAL SHEETS

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

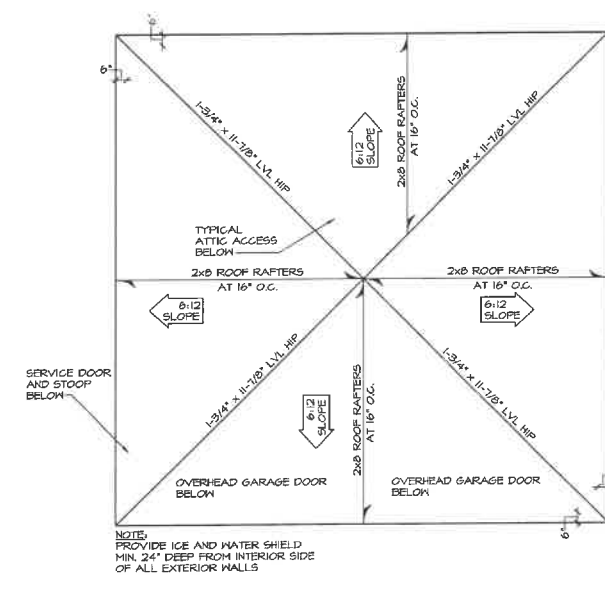
© COPYRIGHT 2022



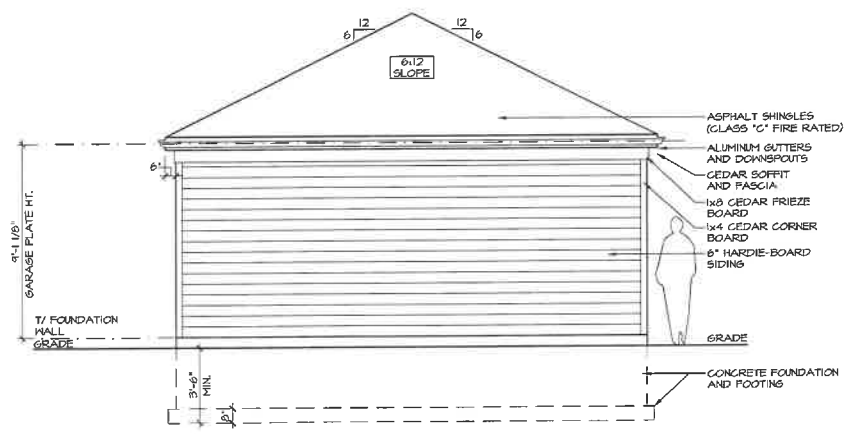
7 FOUNDATION PLAN
AR 13 DETACHED GARAGE SCALE: N.T.S.



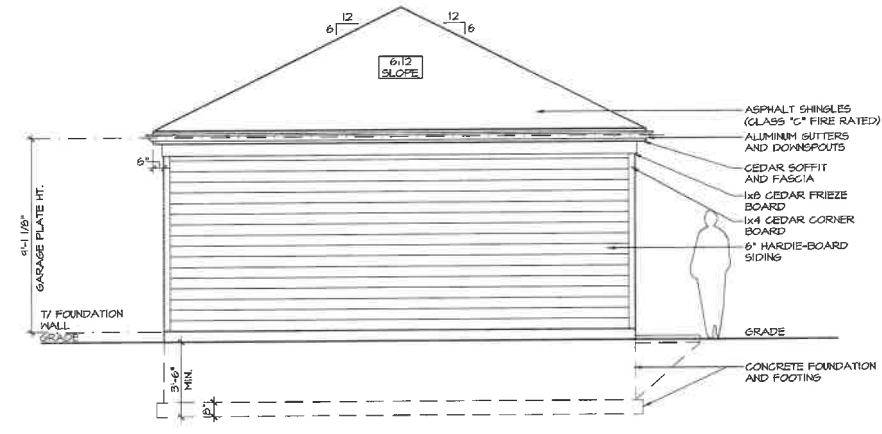
6 FLOOR PLAN
AR 13 DETACHED GARAGE SCALE: N.T.S.



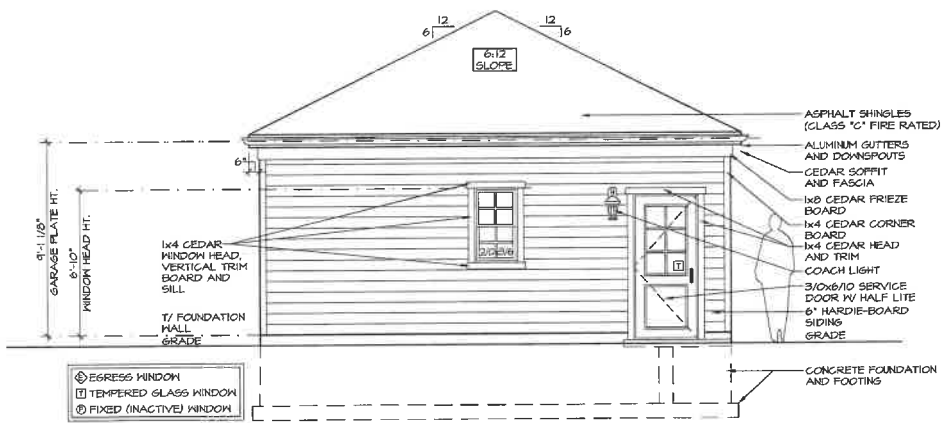
5 ROOF PLAN
AR 13 DETACHED GARAGE SCALE: N.T.S.



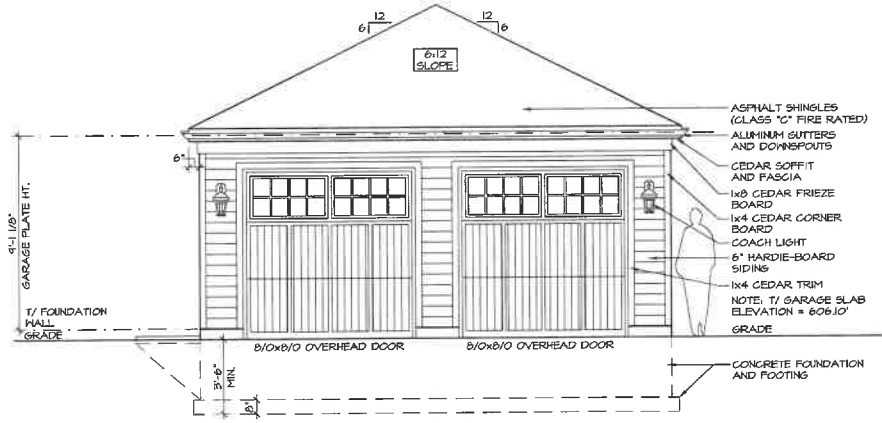
4 RIGHT ELEVATION (NORTH)
AR 13 DETACHED GARAGE SCALE: N.T.S.



3 REAR ELEVATION (WEST)
AR 13 DETACHED GARAGE SCALE: N.T.S.



2 LEFT ELEVATION (SOUTH)
AR 13 DETACHED GARAGE SCALE: N.T.S.



1 FRONT ELEVATION (EAST)
AR 13 DETACHED GARAGE SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

CUSTOM RESIDENCE
NEW CONSTRUCTION
158 NORTH WESTERN AVE.
LAKE FOREST, ILLINOIS 60045

CAPITAL CUSTOM HOMES

REVIEW	10/1/2021
REVIEW	10/25/2021
REVIEW	10/28/2021
REVIEW	11/23/2021
REVIEW	01/14/2022

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
www.aspectdesigninc.com
MAIN: 847-457-2500
TEL: 847-457-1400

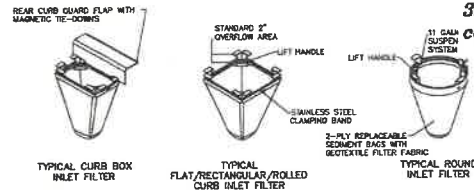


PROJECT # AD21180
DRAWN BY: COM / NH / MB
158 NORTH WESTERN AVE.
DETACHED GARAGE

AR 13
13 OF 13 TOTAL SHEETS

Lot Development Plan - Proposed Conditions

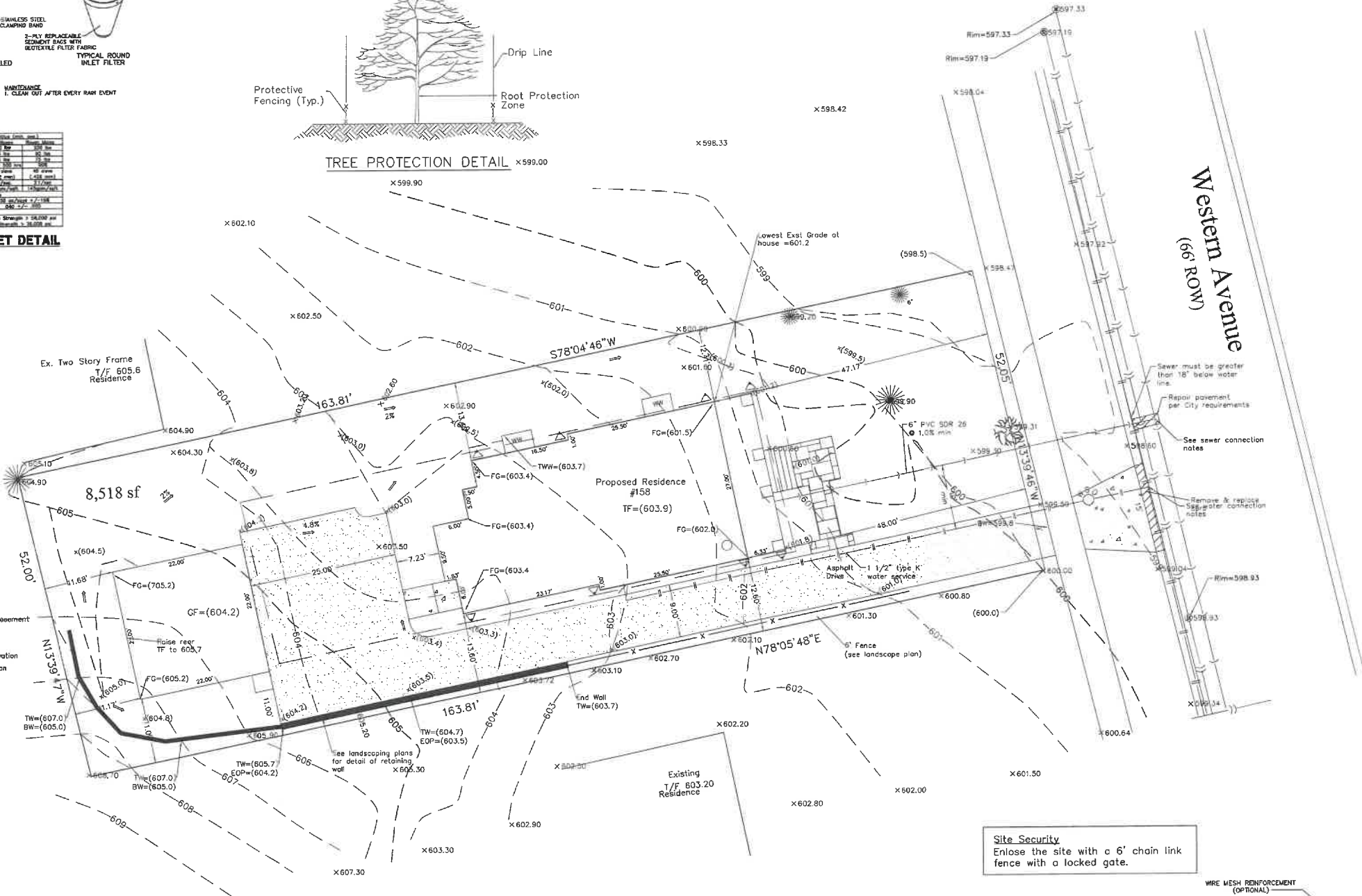
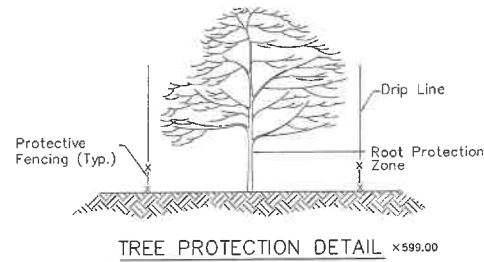
That part of the South Half of Section 33, Township 44 North, Range 12, East of the Third Principal Meridian, described as follows, to-wit: Beginning at an iron pipe in the Westerly line of Western Avenue, in the City of Lake Forest which point is 208.3 feet South of the North line of the South Half of the Southeast Quarter of Section 33 aforesaid; thence West 168.3 feet to an iron pipe; thence Southerly along a line parallel with the Westerly line of Western Avenue, 125.6 feet; thence North 78 Degrees 30.5 Minutes East to the Westerly line of Western Avenue; thence Northerly along the Westerly line of Western Avenue to the place of beginning (Except that part conveyed to Gaston Claeysens by Warranty Deed dated August 29, 1934 and recorded January 3, 1936, as Document 407927) in Lake County, Illinois.



ACCEPTABLE MANUFACTURERS AS LISTED BELOW: 1. PIPE PROTECTION, INC. Naperville, IL 60564 847-722-9880 2. MARATHON MATERIALS, INC. Palmdale, IL 60544 800-863-8943

Manufacturer	Product Name	Material	Color	Weight (lb)	Dimensions (in)
1. PIPE PROTECTION, INC.	Standard 1" Inlet Filter	Galvanized Steel	Black	1.5	12" x 12" x 12"
2. MARATHON MATERIALS, INC.	Standard 1" Inlet Filter	Galvanized Steel	Black	1.5	12" x 12" x 12"

INLET FILTER BASKET DETAIL



- Legend**
- TF = Top of Foundation
 - GF = Garage Floor
 - LO = Look Out
 - WO = Walk Out
 - TC = Top of Curb
 - BW = Back of Walk
 - FG = Finished Grade
 - P.U.E. = Public Utility Easement
 - D.E. = Drainage Easement
 - CL = Center Line
 - x (100.00) = Proposed Elevation
 - x 100.00 = Existing Elevation
 - - - = Existing Contour
 - - - = Proposed Contour
 - B = Box
 - SM = Storm Manhole
 - SMH = San Manhole
 - V = Valve Vault
 - FH = Fire Hydrant
 - DS = Down spout
 - DF = Drainage Flow
 - WM = Watermain
 - SS = Storm Sewer
 - SSS = Sanitary Sewer
 - Ext. T = Exst. Tree
 - R = Remove Tree
 - PE = Proposed Evergreens

Site Benchmark
Rim of Sanitary Manhole in Western Avenue 40' North of the site.
Rim Elevation = 597.33

Rim of Storm Manhole in the pavement on the west side Western Avenue 20 feet south of the site.
Elev = 598.93

CERTIFICATION

I hereby certify to the best of my knowledge and belief that adequate provisions have been made for the diversion of surface waters into public areas, drains, right of ways and easements and that such surface waters will not increase the amount or rate of run-off so as to adversely affect the quantity of surface water draining onto other properties and will not damage other properties because of the construction of the improvements shown hereon.

Dated at Bartlett, Illinois,
This 13th day of January, 2022.

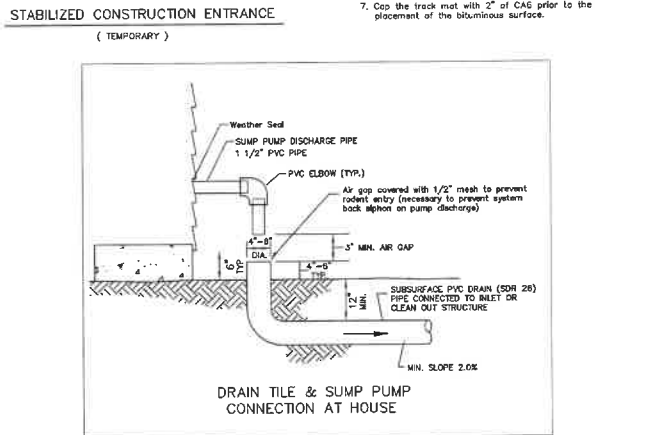
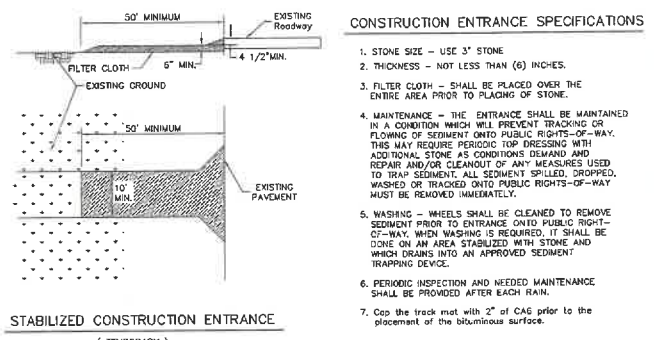


Proposed Impervious

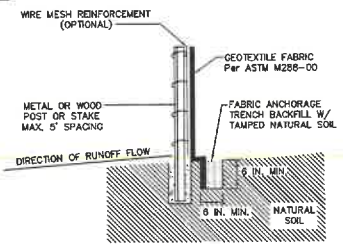
Lot Area:	8,518 sf
House & Garage:	1,718 sf
Porch:	171 sf
Driveway:	1,771 sf
Walks:	218 sf
Total Impervious:	3,878 sf

Lot Coverage = 45.5%

- LAKE COUNTY STORMWATER MANAGEMENT COMMISSION
SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION NOTES**
- SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREA.
 - FOR THESE DEVELOPMENTS THAT REQUIRE A DESIGNATED EROSION CONTROL INSPECTOR (ECI), INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
 - UPON COMPLETION OF SEDIMENT AND RUNOFF CONTROL MEASURES INCLUDING PERMETER CONTROLS AND DIVERSIONS.
 - UPON COMPLETION OF ANY OTHER EARTH DISTURBANCE OR GRADING.
 - AFTER EVERY SEVEN (7) CALENDAR DAYS OR STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
 - SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
 - A STABILIZED MAT OF CRUSHED STONE MEETING DOT SPECIFICATION CA-1 UNDERLAIN WITH FILTER FABRIC AND IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL, OR OTHER APPROPRIATE MEASURES AS APPROVED BY THE ENFORCEMENT OFFICER, SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE, SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAMING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
 - TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN.
 - DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE OR RESTURBANCE.
 - ALL STOCKPILES SHALL HAVE APPROPRIATE MEASURES TO PREVENT EROSION. STOCKPILES SHALL NOT BE PLACED IN FLOOD PRONE AREAS OR WETLANDS AND DESIGNATED BUFFERS.
 - SLOPES STEEPER THAN 2:1 SHALL BE STABILIZED WITH APPROPRIATE MEASURES APPROVED BY THE ENFORCEMENT OFFICER.
 - APPROPRIATE EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL EXPOSED DETENTION BASIN SIDE SLOPES BETWEEN THE NORMAL WATER LEVEL AND HIGH WATER LEVEL.
 - STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
 - IF DOWNSPOUT SERVICES ARE USED, ADJACENT PROPERTIES AND DRAINAGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DOWNSPOUTS SHALL BE INSTALLED THROUGH AN APPROVED ANTI-EROSION POLYMER DOWNSPOUT SYSTEM OR A SIMILAR MEASURE AS APPROVED BY THE ENFORCEMENT OFFICER. DOWNSPOUTS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE ENFORCEMENT OFFICER, OR APPROVED REPRESENTATIVE, MUST BE PRESENT AT THE COMMENCEMENT OF DOWNSPOUT ACTIVITIES.
 - IF INSTALLED SOIL EROSION AND SEDIMENT CONTROL MEASURES DO NOT MINIMIZE SEDIMENT LEAVING THE DEVELOPMENT SITE, ADDITIONAL MEASURES SUCH AS ANTI-EROSION POLYMERS OR FURTHER SYSTEMS MAY BE REQUIRED BY THE ENFORCEMENT OFFICER.
 - ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND REPAIR.
 - ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
 - THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, ENFORCEMENT OFFICER, OR OTHER GOVERNING AGENCY.



- Typical Construction Sequencing**
- Install soil erosion and sediment control measures.
 - Tree removal where necessary (clear & grub).
 - Construct sediment trapping devices.
 - Strip topsoil and stockpile.
 - Excavate for basement and stockpile.
 - Install foundation.
 - Backfill foundation and rough grade side.
 - Re-spread topsoil.
 - Fine grade and permanently stabilize site.
 - Remove all temporary SE/SC measures after site is stabilized with vegetation.
 - Soil erosion and sediment control maintenance must occur every two weeks and after every 1/2" or greater rainfall event.



NOTE: DEPENDING UPON CONFIGURATION, ATTACH FABRIC TO WIRE MESH W/HOO RINGS, STEEL POSTS W/TEE WIRES, WOOD POSTS W/NAILS.

Taurus Engineering, L.L.C.

5N557 Route 59
Bartlett, IL 60103
630-549-5505
tauruseng@sbeglobal.net

Prepared For:	Property Address:	orig plan date:	Scale:
Capital Custom Homes	158 N Western Avenue Lake Forest, IL	12-22-21	1"=10'
	Project #21-065	Revision:	Date
		trees & fence	1-13-22

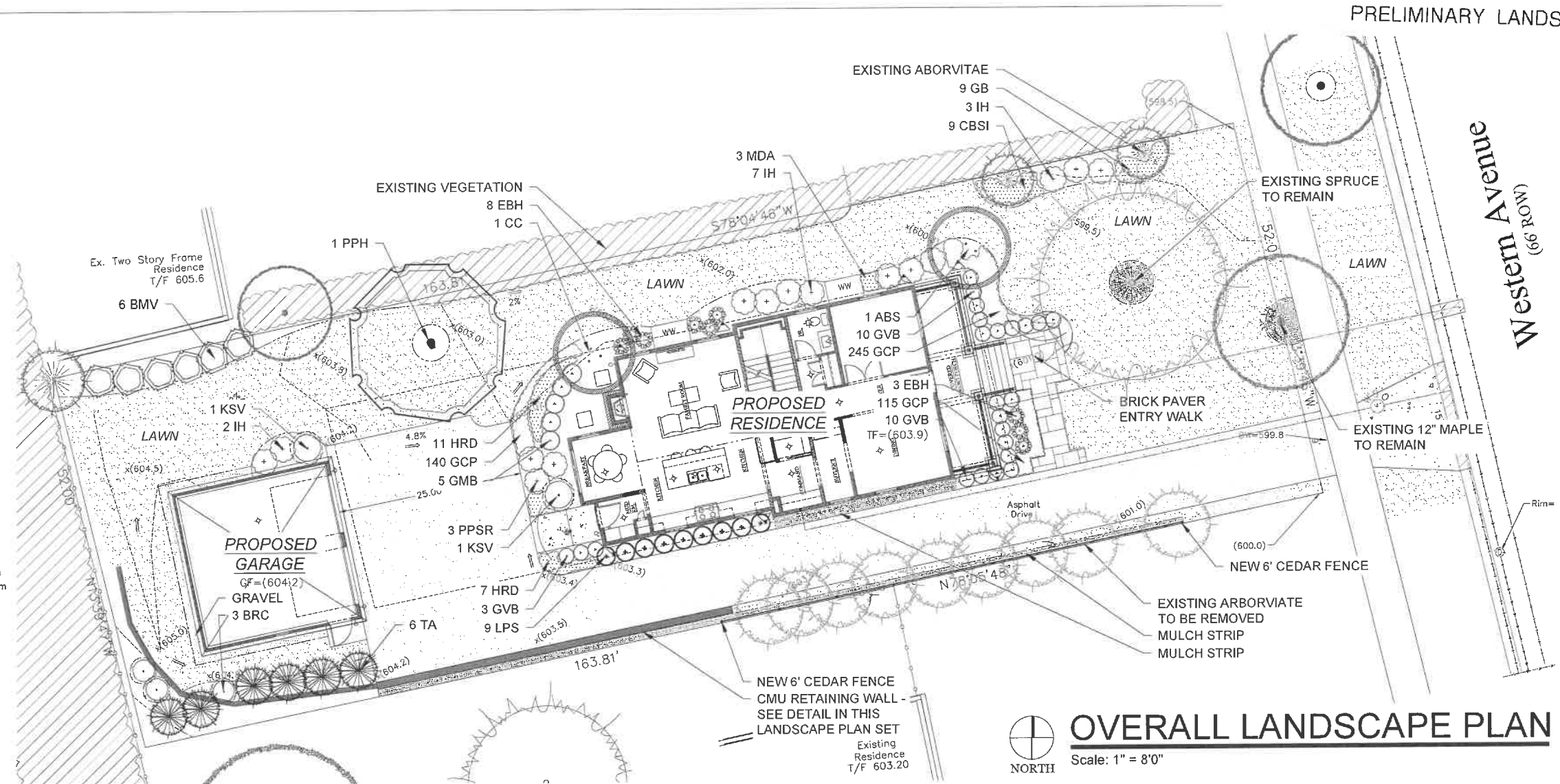
Raymond G. Ulrich
Raymond G. Ulrich, IL Licensed Professional Engineer No. 082-040213, Expires 2/28/2022



Joint Utility Locating Information for Excavators
 Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

- SHADE TREES (DECIDUOUS)**
 PPH Prairie Pride Hackberry
- ORNAMENTAL TREES (DECIDUOUS)**
 ABS Autumn Brilliance Serviceberry
 CC Cornelian Cherry
- EVERGREEN TREES**
 TA Techny Arborvitae
- EVERGREEN SHRUBS**
 GMB Green Mountain Boxwood
 GVB Green Velvet Boxwood
- DECIDUOUS SHRUBS**
 BRC Brilliant Red Chokeberry
 IH Incredible Hydrangea
 PPSR Pink Pavement Series Rose
 LPS Little Princess Spirea
 KSV Fragrant Koreanspice Viburnum
 BMV Blue Muffin Arrowood Viburnum
- HERBACEOUS PERENNIALS**
 GB Goatsbeard
 MDA Maggie Daley Astilbe (Pink)
 HRD Happy Returns Daylily
 EBH Elegans Bigleaf Hosta
 CBSI Caesar's Brother Siberian Iris
- GROUNDCOVERS & VINES**
 GCP Green Carpet Pachysandra

PLANT ABBREVIATIONS



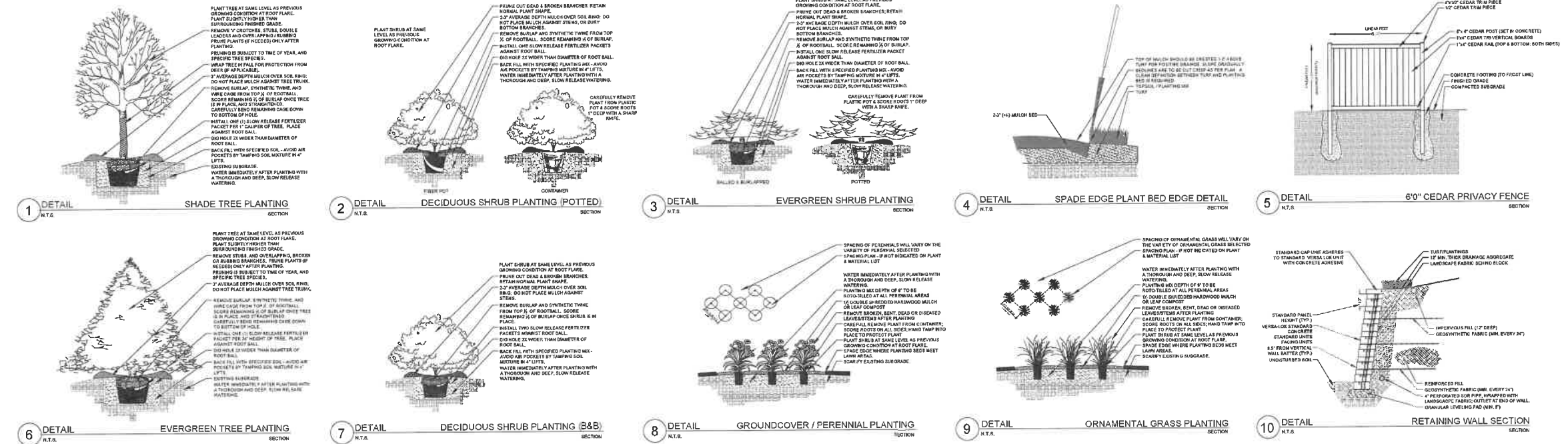
PRELIMINARY LANDSCAPE PLAN

HELLER & ASSOCIATES, LLC
 LANDSCAPE ARCHITECTURE
 P.O. Box 1359
 Lake Geneva, Wisconsin 53147-1359
 ph 262.639.9733
 david@wdavidheller.com
 www.wdavidheller.com

PROJECT
PROPOSED RESIDENCE
 158 N Western Ave.
 Lake Forest, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
6.25.21	ISSUE TO OWNER
12.22.21	REVISED CIVIL
1.13.22	REVISIONS
1.14.22	REVISIONS



Information contained herein is based on survey information, field inspection, and believed to be accurate.

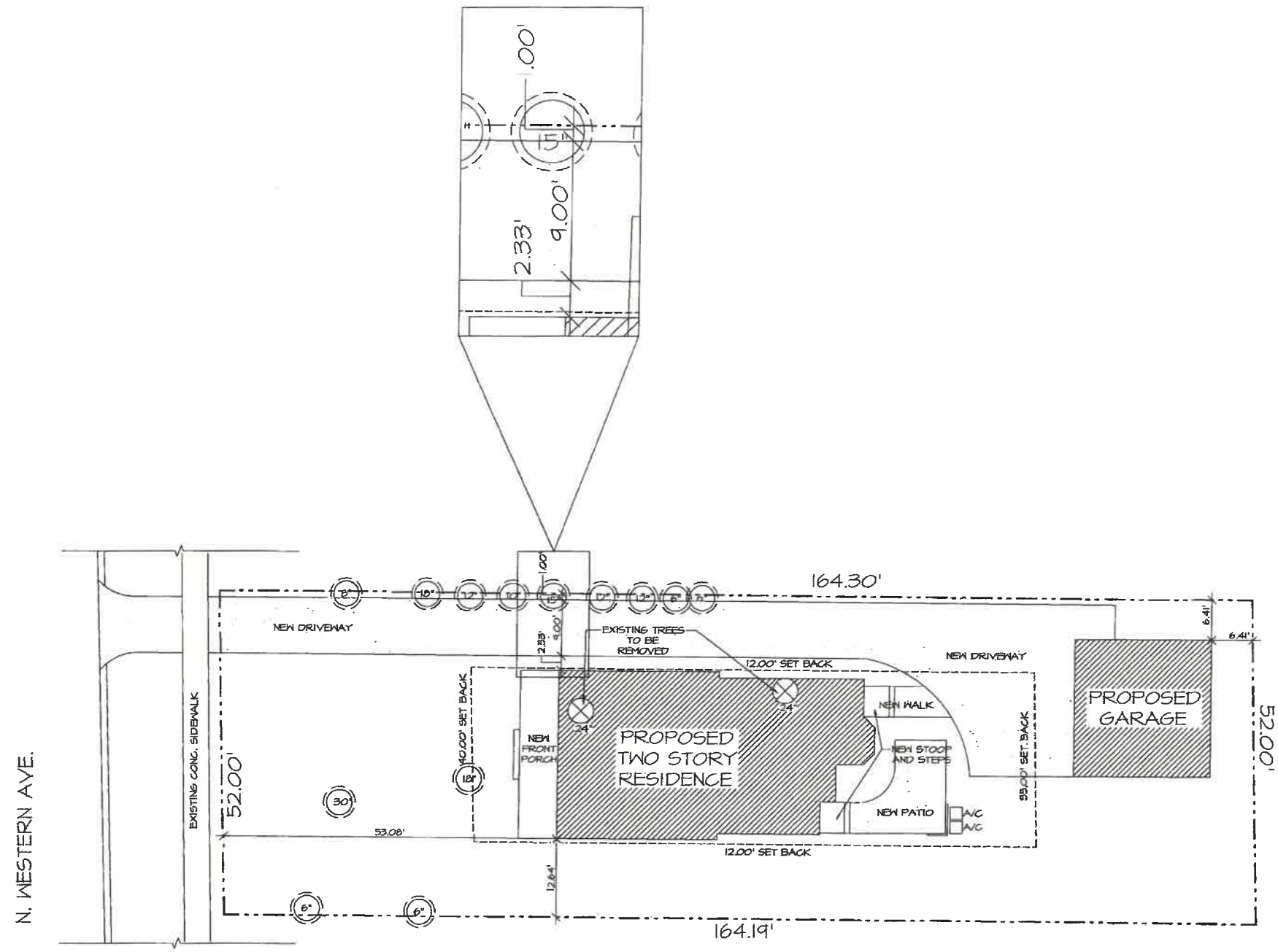
SHEET TITLE
OVERALL LANDSCAPE PLAN

PROJECT MANAGER	WDH
PROJECT NUMBER	21-049
DATE	1.14.22
SHEET NUMBER	

PLANTING & HARDSCAPE DETAILS

L 1.0

PREVIOUSLY APPROVED PLANS



1 SITE PLAN
AR 1

SCALE: 1" = 10'-0"



NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

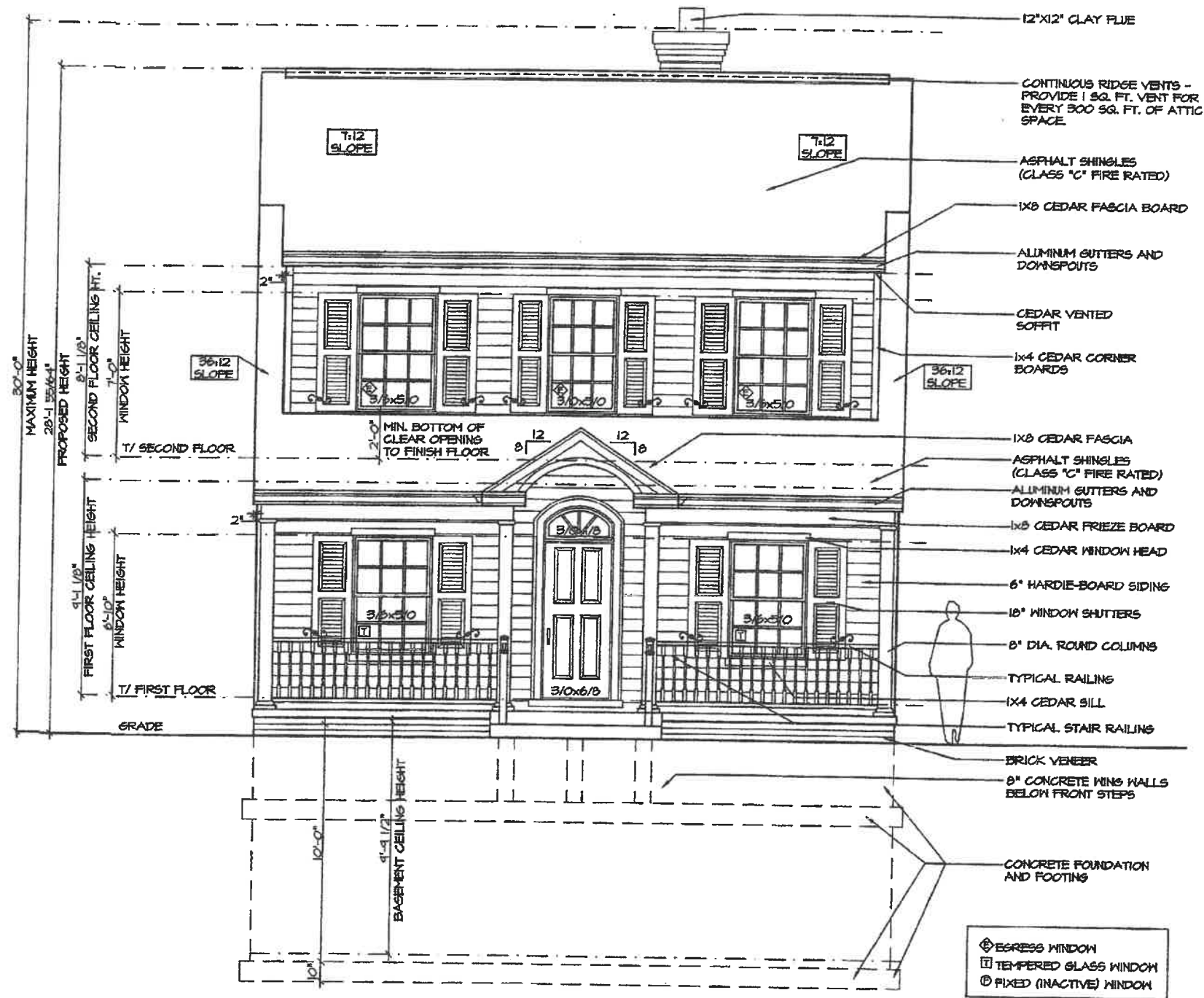
NEW CONSTRUCTION
158 NORTH WESTERN AVE
1 ACP PROJECT - IT TRINITE.ZONE

PROPOSED	07/12/2016
REVIEW	08/02/2016

3714 FAIRVIEW
SUITE C
JOHNSBURG, IL 60050
MAPR: 847-457-2500
FAX: 815-578-8204
IL ARCHITECT # 144000



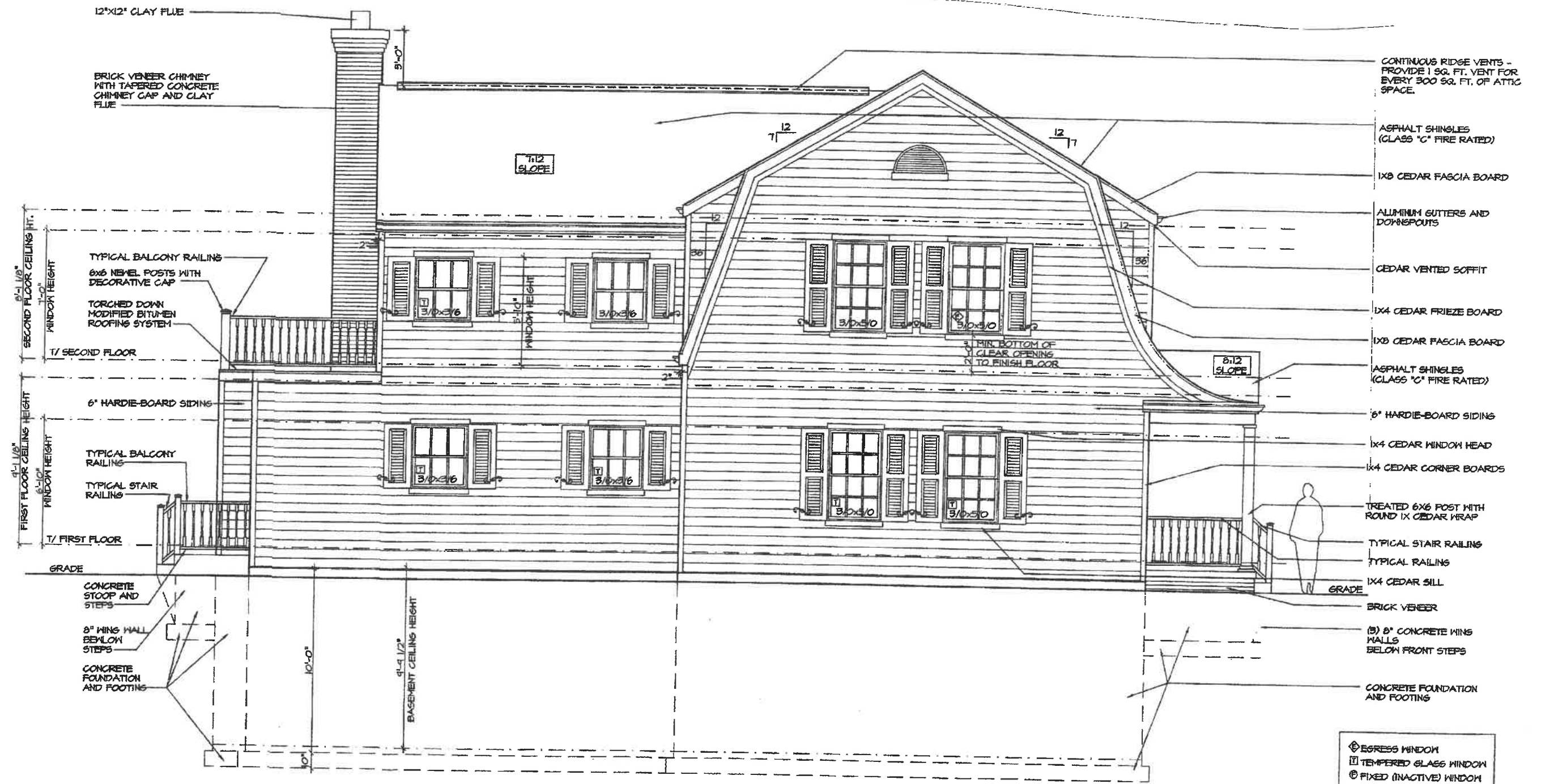
PROJECT #	AD16126
DRAWN BY:	EL
158 NORTHWESTERN AVB	
SITE PLAN	



1 FRONT ELEVATION
AR 2

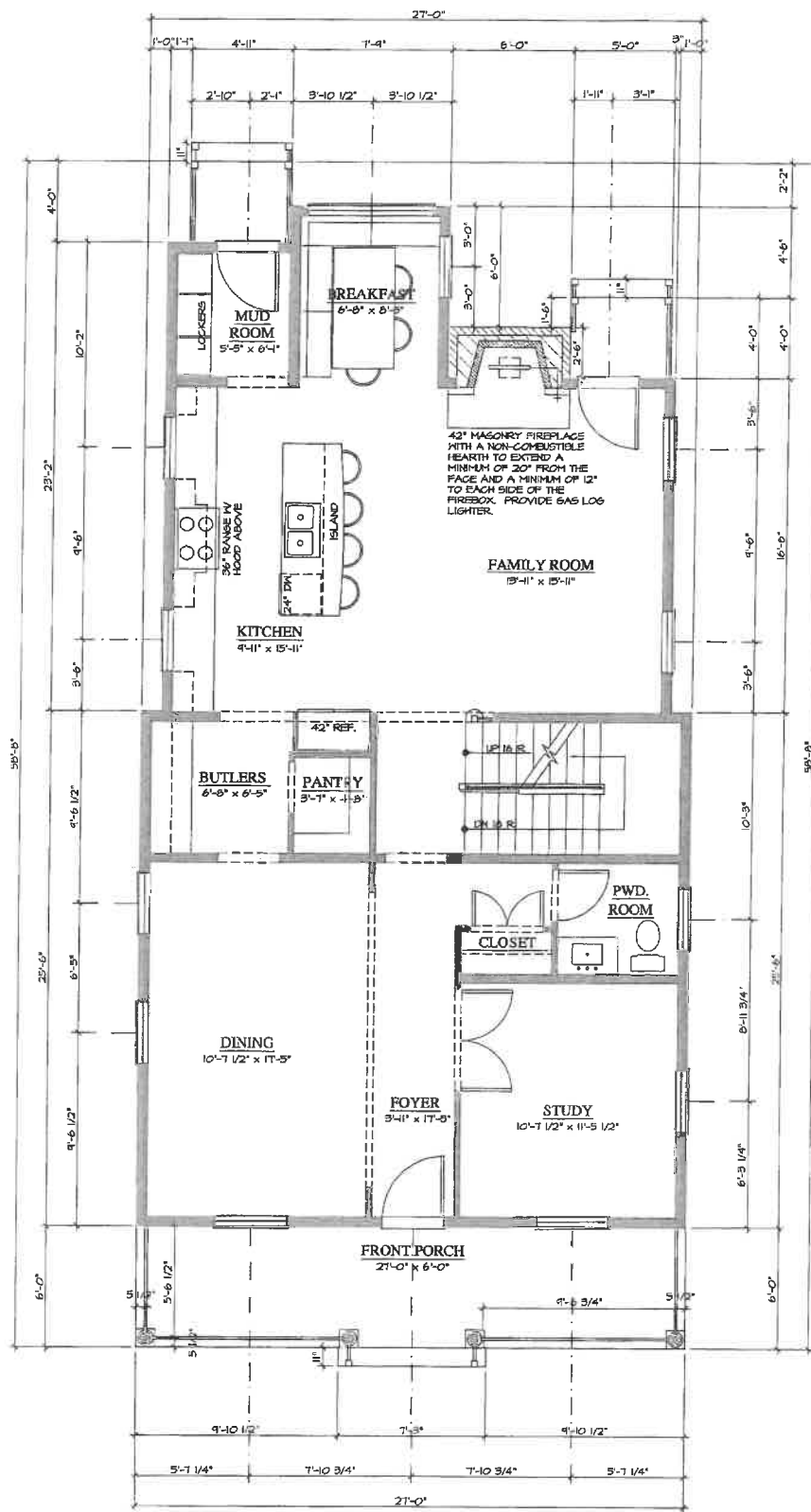
(EAST)

SCALE: 1/4" = 1'-0"



1 LEFT ELEVATION
AR 5

(SOUTH)
SCALE: 1/4" = 1'-0"

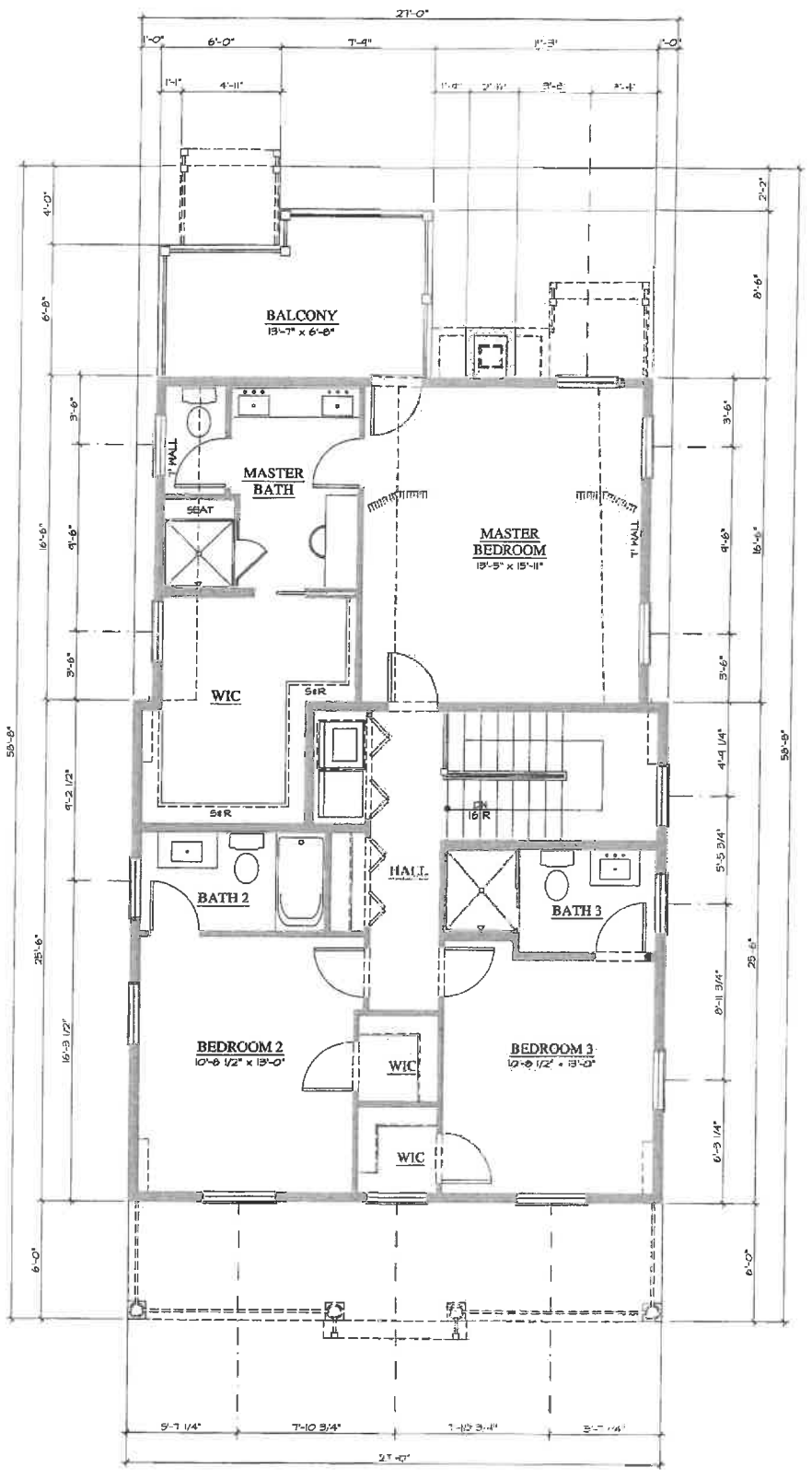


1 FIRST FLOOR PLAN
AR 8

SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

<p>ASPECT DESIGN INC. ARCHITECTS</p>	
<p>3714 FAIRVIEW SUITE C JOHNSBURG, IL 60050 MAIN: 847-457-2500 FAX: 815-578-8204 www.aspectdesigninc.com IL License # 046824</p>	
<p>PROJECT # AD16126</p> <p>DRAWN BY: RL</p> <p>158 NORTHWESTERN AVE FIRST FLOOR PLAN</p>	<p>4</p> <p># 8 OF 33 TOTAL SHEETS</p>
<p>PROPOSED</p> <p>REVIEW</p>	
<p>07/13/2016</p> <p>08/02/2016</p>	
<p>NEW CONSTRUCTION 158 NORTH WESTERN AVE LAKE FOREST, ILLINOIS 60045</p>	

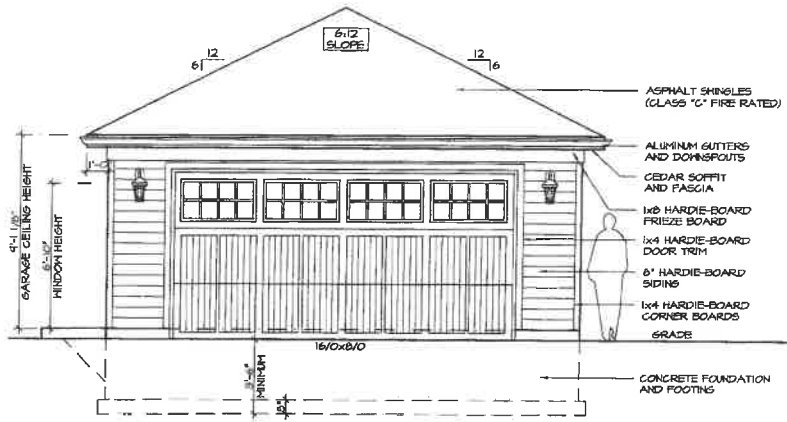


1 SECOND FLOOR PLAN
AR 9

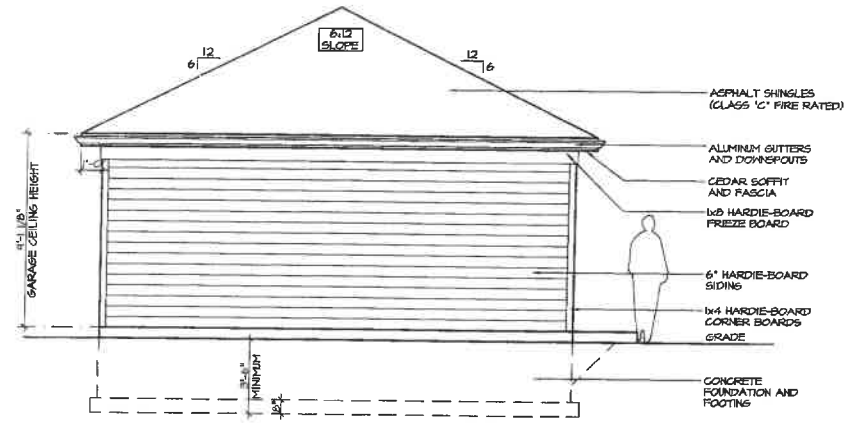
SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

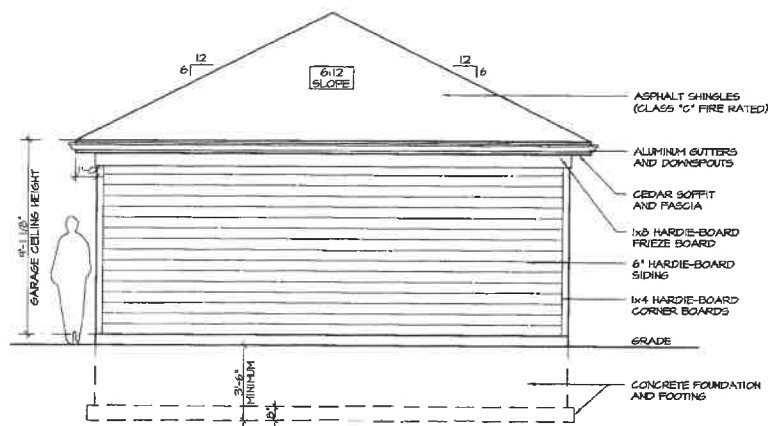
<p>NEW CONSTRUCTION 158 NORTH WESTERN AVE 1 AKR DRIVE, WILMINGTON, OH, 43081</p>	
<p>PROPOSED REVIEW</p>	<p>07/13/2016 06/02/2016</p>
<p>3714 FAIRVIEW SUITE C JOHNSBURG, IL 60050 MAIN: 847-457-2500 FAX: 815-578-8204 WWW.ASPCTDESIGNINC.COM IL: 00000000000000000000000000000000</p>	
<p>ASPECT DESIGN INC. ARCHITECTS</p>	
<p>PROJECT # DRAWN BY:</p>	<p>AD16126 RL</p>
<p>158 NORTHWESTERN AVE SECOND FLOOR PLAN</p>	
<p>5</p>	
<p># 9 OF 33 TOTAL SHEETS</p>	



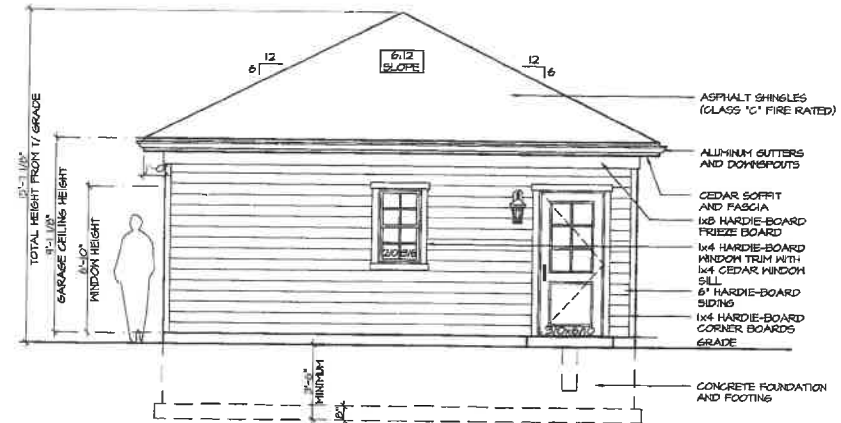
4 FRONT GARAGE ELEVATION (EAST)
 AR 12 SCALE: 1/4" = 1'-0"



3 REAR GARAGE ELEVATION (WEST)
 AR 12 SCALE: 1/4" = 1'-0"



2 RIGHT GARAGE ELEVATION (NORTH)
 AR 12 SCALE: 1/4" = 1'-0"



1 LEFT GARAGE ELEVATION (SOUTH)
 AR 12 SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

NEW CONSTRUCTION
 158 NORTH WESTERN AVE

PROPOSED	07/13/2016
REVIEW	08/02/2016

3714 FAIRVIEW
 SUITE C
 JOHNSBURG, IL 60050
 MAIN: 847-457-2500
 FAX: 815-578-8204
 www.aspectdesigninc.com
 IL LICENSE # 164048A

ASPECT DESIGN INC.
 ARCHITECTS

PROJECT # AD16126
 DRAWN BY: RL
 158 NORTHWESTERN AVE
 GARAGE ELEVATIONS

Agenda Item 4
The Preserve at Westleigh
Design Concepts for Single Family Homes

Staff Report
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Example of Overall Development Site Plan
Typical Site Plan
Front Elevation
Front Elevation – Option 1
Left Elevation
Rear Elevation
Right Elevation
Roof Plan
First Floor Plan
Second Floor Plan
Color Rendering – Option A (Front)
Color Rendering – Option A (Rear)
Color Rendering – Option B (Front)
Color Rendering – Option B (Rear)
Color Rendering – Option C (Front)
Color Rendering – Option C (Rear)
Color Rendering – Option D (Front)
Color Rendering – Option D (Rear)
Streetscape Renderings
Typical Landscape Plan
Overall Development Landscape Plan
Site and Landscape Details

The Preserve at Westleigh

Consideration of a request for approval of design concepts for single family homes on nine vacant lots in the Preserve at Westleigh subdivision, located on the north side of Westleigh Road, between Wallace Road and Stable Lane. The prototype design is intended to set the style, quality, and character of the subdivision.

Property Owner: Westleigh Preserve, LLC (Gary Janko 95.31% Various Parties, 4.69%)
Project Representatives: Thomas Pins and Michael Piskule, Orren Pickell Design Group

Staff Contact: Jen Baehr, Planner

Background Information

The Preserve at Westleigh subdivision is a new development, a conservation subdivision, that was carved out of 22 acres of open space owned by Lake Forest Open Lands. The Janko Group partnered with Lake Forest Open Lands, who at that time owned the entire 22 acre parcel. The subdivision preserves 17 of the 22 acres as permanent open space including wetlands, woodlands and prairie. The nine lots are intentionally smaller than the acre and a half lots typically found in this area and range from about a quarter to a third of an acre.

Site work and the installation of infrastructure for the subdivision is nearing completion.

Summary of the Request

All nine lots will be built out by the original developer of the subdivision, The Janko Group, and therefore, a design theme and design parameters around massing, architectural style, detailing, exterior materials, overall quality, and color palettes, are presented to the Board for review and approval. The approved theme and parameters will then guide the developer and staff as each home is presented for permit. If staff determines that any of the homes presented do not conform to the approved parameters, then those individual homes will be brought back to the Board otherwise, no further Board review will occur other than consultations with the Chairman as determined to be necessary. This approach, approval of design parameters has been successfully used in the Conway Farms, Academy woods, Kelmscott Park and Stonebridge development.

The petitioner is proposing design concepts inspired by the French and Tudor architectural styles, two different styles will provide subtle variety in this small subdivision while also consistency in terms of massing, roof forms, window proportions and exterior materials with the goal of creating a cohesive streetscape that showcases the natural setting. The petitioner chose two architectural styles that complement one another given that the homes will be close together due to the small size of the lots. The Building Review Board's role in reviewing the proposed design concepts presented by the developer is to consider these as is done with any new residence. The Board should focus on the architectural style, detailing, exterior materials, and typical landscaping.

Review and Evaluation of Applicable Standards

Building Designs

As noted above, the design concepts are inspired by French and Tudor architecture. The design concepts reflect a one-and-a-half-story massing, with steeply pitched gable roof forms. The design concepts are shown in one plan type, although the building footprint and size of each home will vary slightly with each individual lot given the different lot sizes and configurations. Although the plans for each individual lot will be tailored to that specific site, the overall massing and scale of the homes will be

compatible across the subdivision. The homes will primarily have side load garages, some homes may have front facing garages due to the limitations of the smaller lots.

The design concepts incorporate elements such as shed dormers, bay windows, decorative gable vents, wood lintels above openings, corbeled eaves and cupolas. The concepts provided by the petitioner demonstrate possible variations for the front elevation, one with the bay window on the corner of the larger front facing gable form and a single window in the upper gable end and another with the bay window at the center of the larger front facing gable with a double window above in the gable end. These variations are provided to show an example of how different design elements will be modified to present variation across the development.

Materials and Detailing

The designs reflect a range of exterior materials and color combinations. Façade materials include stucco and limewashed or painted brick. The main roof material is architectural asphalt shingle. The secondary roof forms and dormers are metal standing seam. The homes will have aluminum clad wood windows with simulated divided lites. The fascia boards, trim, window headers, and corbeled brackets will be natural wood. The rakeboards will be stucco, detailed to appear like wood trim. The window sills will be limestone. Chimneys will be stucco or brick with clay chimney pots. The homes will only have aluminum gutters at the front porch area, no other gutters or downspouts are proposed. Asphalt driveways with paver inlays are proposed. Bluestone is proposed for the patios.

The color palettes shown in the design concepts reflect a light color for the exterior walls which will be entirely stucco, or a combination of stucco and brick with the lower part of the home constructed with brick and the gable forms, stucco. An opportunity to incorporate a variation with half-timbering on the gable ends is also planned. The design concepts show various options for light or dark color trim and accents. Overall, the massing, design elements and color palettes are intended to be subtle, again, to showcase the natural setting of the development.

Landscape

A native landscape theme is planned throughout the development including at the entrance to the development on Westleigh Road, around the future ponds and throughout the development.

Two stone walls are proposed at the entrance of the subdivision. Along the north side of Westleigh Road, a three rail and post wood fence is proposed. The wood fence is also proposed along portions of the street within the development. Five post lights are proposed around the development, one light at the entrance, two lights along the street within the development, and one light at each of the small visitor parking pullouts. The pole lights are 13 feet and 8 inches tall and have a fully shielded light source. Details and specifications of the entrance walls, wood fence, and pole lights are included in the Board's packet.

A typical landscape plan was submitted by the petitioner. The typical landscape plan reflects foundation plantings around the entire house including ornamental and evergreen shrubs, grasses, and ornamental trees. Evergreen trees are reflected adjacent to the motor court at the front of the homes and deciduous trees in the side and rear yards. The City Arborist will be responsible for final review and approval of the final landscape plans for each house at the time plans are submitted for permit.

RECOMMENDATION

Recommend approval of the design parameters and themes for nine new homes in The Preserve at Westleigh Subdivision. The overall style, massing, architectural detailing, color palettes and exterior materials of all homes shall be consistent with the materials presented to the Board and will be subject

to review and approval by staff in consultation with the Chairman as appropriate. The recommendation is based on the findings presented in the staff report. Approval is recommended subject to the following conditions:

1. The developer shall work with staff to assure some diversity among the nine homes recognizing the intent is that each home will follow the established theme, massing, character and quality of materials and detailing. The developer shall maintain a matrix of detailing the color palettes and design elements of each home as buildout occurs. The updated matrix shall be submitted with each application for building permit.
2. An updated tree survey shall be submitted for each lot with the submittal for a building permit and will be subject to review and approval by the City Engineer. Healthy, heritage trees should be considered in laying out the site plan for each lot recognizing that some trees will need to be removed to allow development of the lots given their small size.
3. Landscape plans for each residence shall be submitted prior to the issuance of a building permit for each home.
4. As buildout of the homes proceeds, the landscape buffer along Westleigh Road shall be enhanced with native plantings including trees and mid-level plantings as contemplated in the subdivision approvals.
5. Given the proximity of the homes to a nature preserve, all exterior lighting shall be subdued, directed downward, with the source of the light shielded from view, and on timers to turn off no later than 11 p.m. except for lights on motion sensors. Low level lights illuminated solely by natural gas are exempt from the above requirements.
6. No construction parking and or staging is permitted on Westleigh Road. plans shall be submitted to the City along with the application for building permit for each home. Amberley Court must remain passable and free of dirt and debris at all times.



Area of Request
The Preserve at Westleigh

Area of Request
The Preserve at Westleigh





Area of Request
The Preserve at Westleigh



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 720 TAMARACK TRAIL (LOT #5)

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

WOLFLEIGH PRESERVE LLC
Owner of Property

2610 LAKE COOK RD
Owner's Street Address (may be different from project address)

ILWABOOK, ILL 60015
City, State and Zip Code

847-940-8895
Phone Number

6511100 @ JAMMO GROUP. US
Email Address

[Signature]
Owner's Signature

ARCHITECT/BUILDER INFORMATION

THOMAS PINS, MICHAEL PISKULE
Name and Title of Person Presenting Project

ORREN PICKELL DESIGN GROUP
Name of Firm

444 SKOKIE BLVD
Street Address

WILMETTE, IL 60091
City, State and Zip Code

847.572.5217
Phone Number

mpiskule @ pickellbuilders.com
Email Address

[Signature]
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 8:00pm.		
<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name	GARY JANCO 1635 W TRILLIUM LN	Name	JW DEBFIELD 2616 LAKE COOK RD
Address	LAKES PARADE, ILL	Address	RIVERWOODS, DC
Ownership Percentage	95.31 %	Ownership Percentage	.001 %

Name	TRILLIUM INVESTMENTS 3130 PINNEY RD - 510A	Name	
Address	DOWNS GROVE, DC 60515	Address	
Ownership Percentage	1.95 %	Ownership Percentage	%

Name	MICHAEL M. JANCO 3130 PINNEY RD - 510A	Name	
Address	DOWNS GROVE, DC 60515	Address	
Ownership Percentage	.5464 %	Ownership Percentage	%

Name	JPLT 3130 PINNEY RD - 510A	Name	
Address	DOWNS GROVE, DC 60515	Address	
Ownership Percentage	1.64 %	Ownership Percentage	%

Name	MARC JANCO 7011 RIVER ST - SUITE A	Name	
Address	POW, ILL 61354	Address	
Ownership Percentage	.5464 %	Ownership Percentage	%



January 14th, 2022

To: City of Lake Forest
800 Field Drive
Lake Forest, IL 60045

From: Orren Pickell Design Group
444 Skokie Blvd
Wilmette, IL 60091

Re: The Preserve at Westleigh

To The City of Lake Forest Building Review Board;

OPBG is formally proposing to construct 9 individual residences within what will be referred to as the Preserve at Westleigh. The homesteads will follow a similar design theme aesthetic however, will maintain a variety of detail delineation to avoid monotony. The development for The Preserve at Westleigh aims to satisfy the distinguished architectural standards set forth by the City of Lake Forest's Building Review Board while generating mutual interest with potential investors in Lake Forest's residential marketplace. The model homes have been carefully crafted to create a timeless sense of architectural beauty in harmony with the historic prestige of Lake Forest's most notable estates. As such, each home has been designed not to compete with, but rather complement the neighboring architecture through a transitional design approach. The homes of The Preserve are a blend of historic design elements and materials incorporated into today's modern and marketable open floor plans.

The residences at the preserve have been designed to comply with the zoning code requirements of the City of Lake Forest as well as keep a visual compatibility in scale with neighboring properties. In doing so, the proposed residences comply with the required setbacks, building heights and zoning restrictions set forth by the restrictive covenants of the planned preservation subdivision development's standards. In summary, a visual continuity has been achieved in the proposed development compatible with the context of the greater Lake Forest demesne.

The proposed landscaping plan incorporates native species both suitable and appropriate for the given environment and consistent with the site design standards set forth by the City of Lake Forest. The landscape master plan is to maintain the previously proposed water features as they are congruent with the architectural design intent; that which is to create a timeless sense of

444 Skokie Blvd
Wilmette, IL 60091



permanence. In addition, it is proposed that the individually tailored landscape designs unique to each residence will likewise complement and speak to the organic design features of the site to create a unique residential environment.

The materials proposed for the construction of the homes at the Preserve are of the highest architectural aesthetics, quality and durability. Additionally, they have been individually selected to take into consideration the marketplace's continued demand for minimal maintenance. The products proposed for this development have been done so with a design intent to be architecturally cohesive and complementary in nature to the varied design options available to prospective buyers. Proposed construction materials include, but are not limited to full brick veneers, cementitious stuccos, and cementitious trim embellishments specifically selected for their realistic simulation of natural products and longevities far outlasting traditional wood trims.

We propose the following attached designs for your collective review and look forward to your insight. It is the goal of our firm to create timeless design in character with the region's vernacular while maintaining keen sensitivities to design trends and marketability. We sincerely appreciate your valuable time and consideration.

Respectfully,

The Orren Pickell Design Group



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- | | |
|--|---|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Wood Shingle |
| <input checked="" type="checkbox"/> Brick | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Vinyl Siding |
| <input checked="" type="checkbox"/> Stucco | <input type="checkbox"/> Synthetic Stucco |
| | <input type="checkbox"/> Other _____ |

Color of Material WHITE

Window Treatment

Primary Window Type

- Double Hung
 Casement
 Sliding
 Other _____

Finish and Color of Windows

- Wood
 Aluminum Clad
 Vinyl Clad
 Other _____
Color of Finish BLACK / GRAY

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Synthetic Material _____
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Synthetic Material _____
 Other _____

Fascias, Soffits, Rakeboards

- Wood
 Other _____
 Synthetic Material CEMENTITIOUS WOOD TRIM

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other ASPHALT

Flashing Material

- Copper
- Sheet Metal _____
- Other ALUMINUM

Color of Material _____

Gutters and Downspouts

- Copper
- Aluminum
- Other NONE

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

EXAMPLE OF OVERALL DEVELOPMENT SITE PLAN



****REFER TO CIVIL ENGINEERING PLANS FOR TREE INVENTORY AND SURVEY**



client/owner
Client Name / Group
**THE PRESERVE
ON WESTLEIGH**
project name
project address
770 Westleigh Road
Lake Forest, Illinois 60045

seal / signature

developer
Janko Group
1161 Lake Cook Road, Suite A
Deerfield, Illinois 60015
p 847.940.8880

landscape architect of record
TESKA ASSOCIATES, INC.
627 Grove Street
Evanston, IL, 60201
p 847.869.2015 f 847.869.2059

civil engineer
BLECK ENGINEERING COMPANY, INC.
1375 North Western Avenue
Lake Forest, Illinois 60045
p 847.295.5200 f 847.295.7061

**CHECK SET
NOT FOR CONSTRUCTION**

issue / revision	date	description
△		
△		
△		
△		
△		
△		
△		
△		
△		
△		

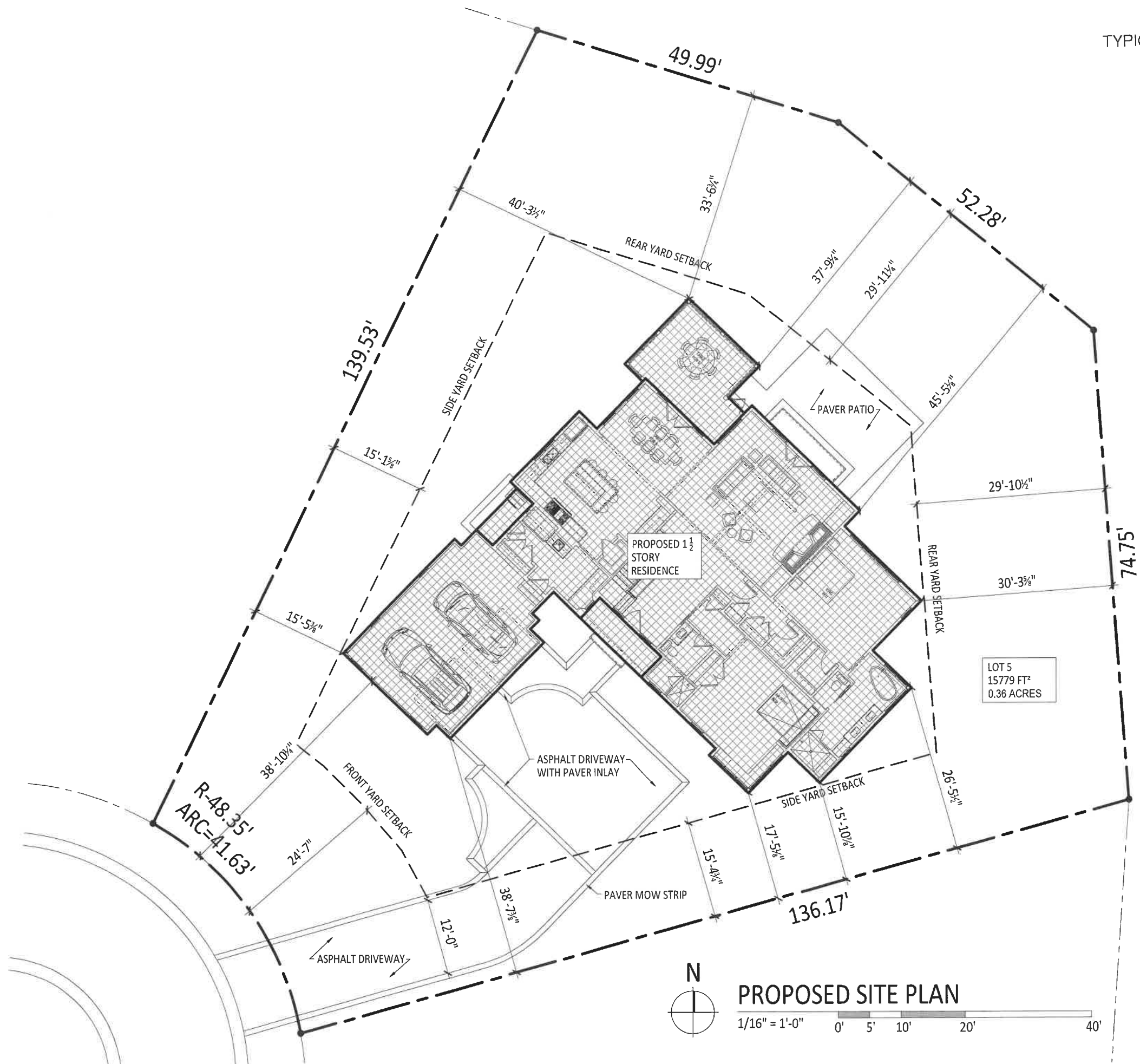
pm XXX la CCS cad XXX

issue date
04.28.2017

sheet name
**SITE AMENITIES
DIMENSION AND
LAYOUT PLAN**
sheet number

L-1

K:\clients\131316 Westleigh_Rd_cdr_Forest\041717\04_27_2017.dwg



444 SIOCKE BLVD., SUITE 200
WILMETTE, IL 60091
847.572.5200
PICKELLDIGERS.COM

© Copyright 2021
Orren Pickell Design Group, Inc.
All rights reserved.
No part of this document may be reproduced, stored or transmitted in any form, by any means, without prior written permission of Orren Pickell Design Group, Inc.

The Preserve at Westleigh
Lake Forest, IL 60045

P.N.: 3-2756-00
DATE: 1/14/21



PROPOSED FRONT ELEVATION

1/8" = 1'-0" 0' 2' 4' 8'



OPTION 1
PROPOSED FRONT ELEVATION

1/8" = 1'-0" 0' 2' 4' 8'



PROPOSED LEFT ELEVATION

1/8" = 1'-0" 0' 2' 4' 8'

REAR ELEVATION



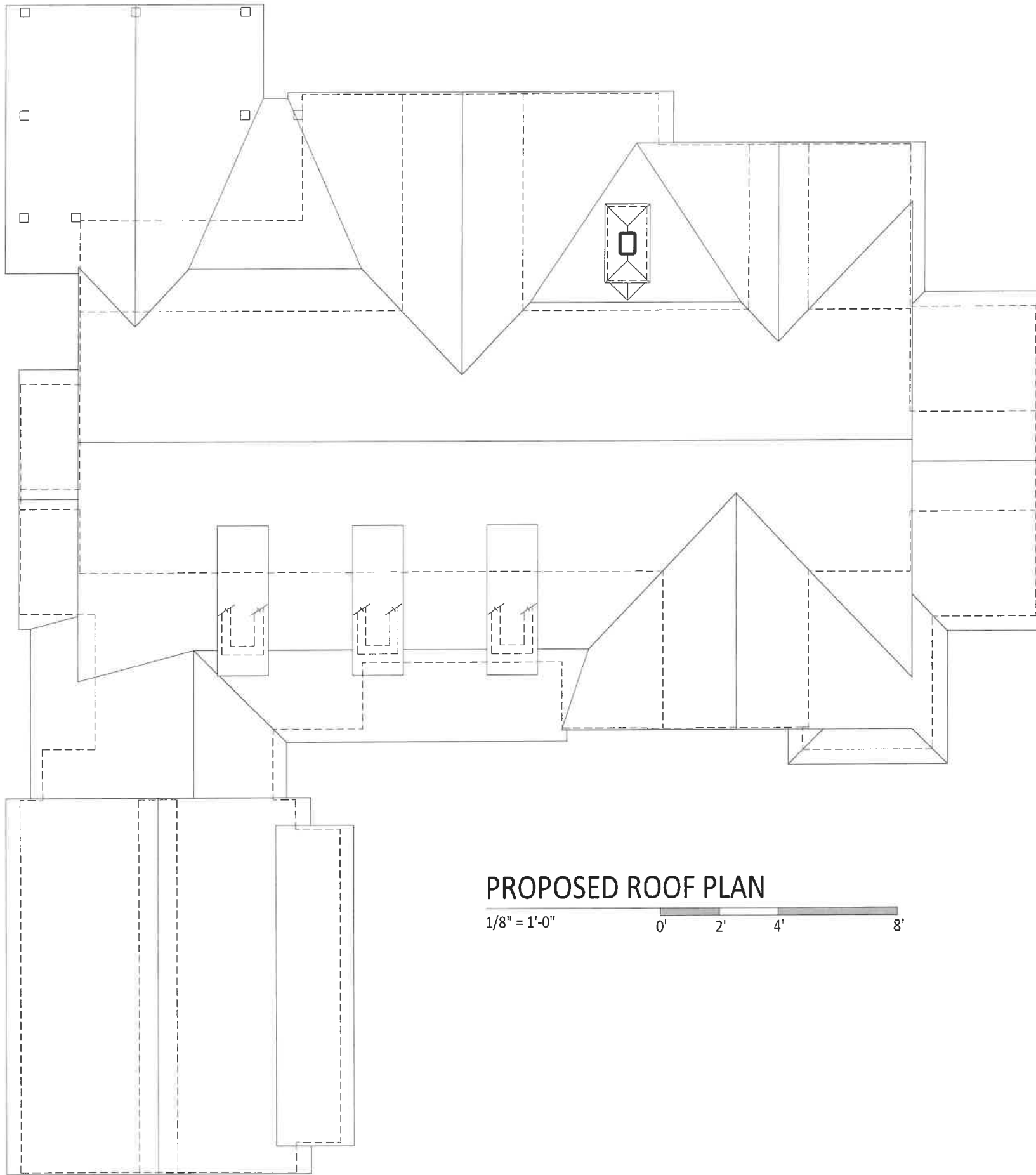
PROPOSED REAR ELEVATION

1/8" = 1'-0"
0' 2' 4' 8'



PROPOSED RIGHT ELEVATION

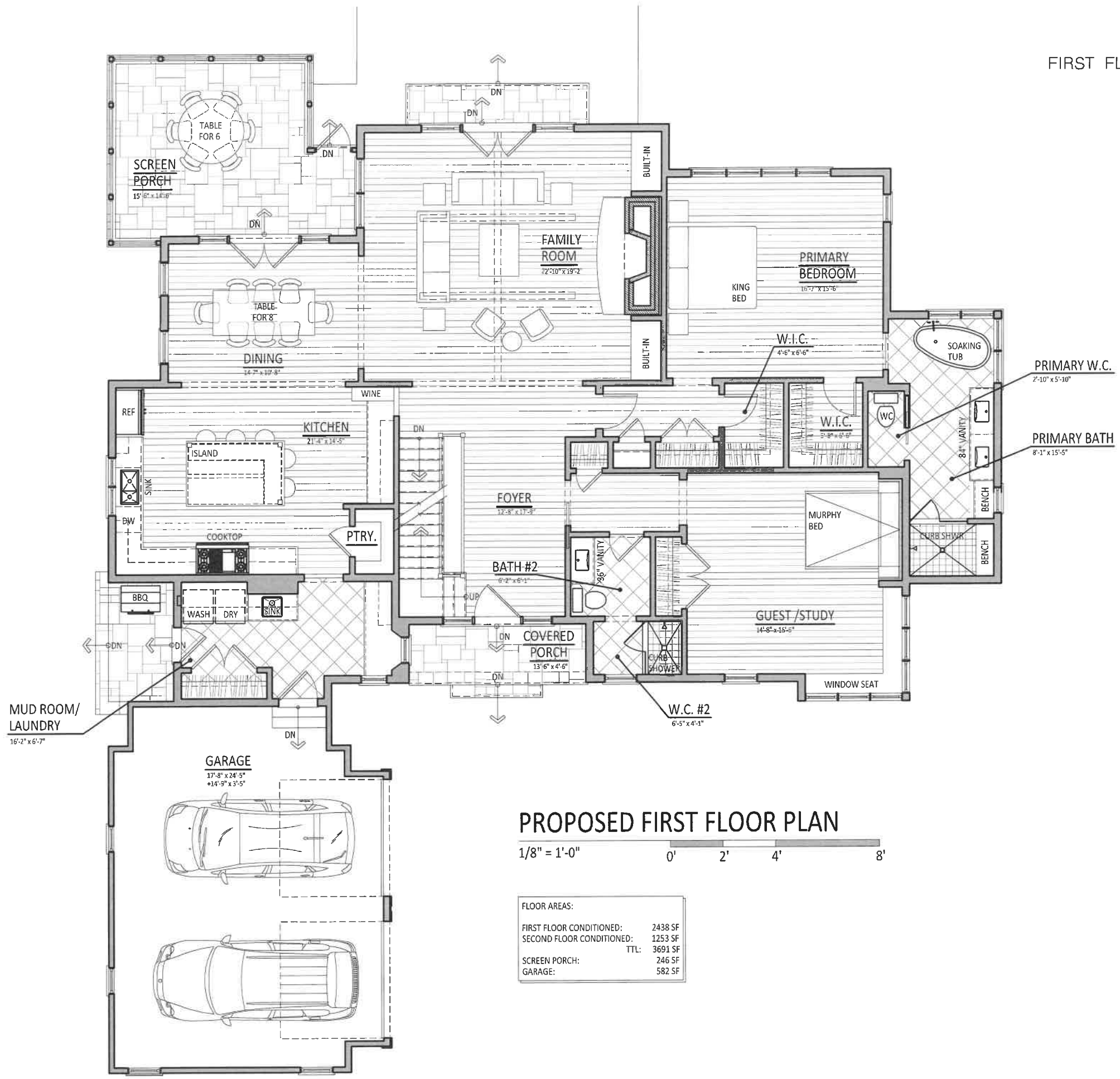
1/8" = 1'-0" 0' 2' 4' 8'



PROPOSED ROOF PLAN

1/8" = 1'-0" 0' 2' 4' 8'

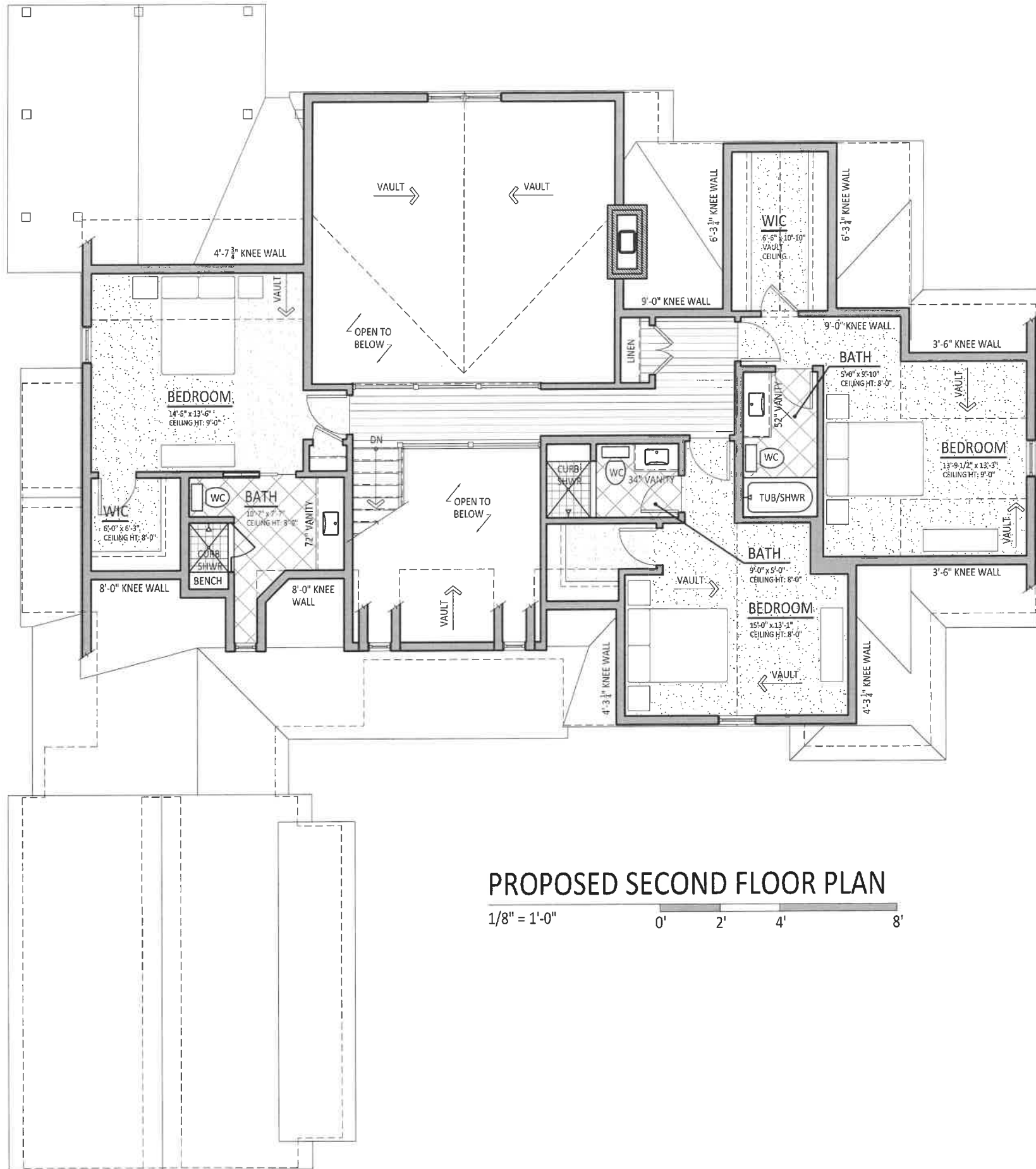
FIRST FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

1/8" = 1'-0" 0' 2' 4' 8'

FLOOR AREAS:	
FIRST FLOOR CONDITIONED:	2438 SF
SECOND FLOOR CONDITIONED:	1253 SF
TTL:	3691 SF
SCREEN PORCH:	246 SF
GARAGE:	582 SF



PROPOSED SECOND FLOOR PLAN

1/8" = 1'-0" 0' 2' 4' 8'



RENDERING -OPTION A (FRONT)

STUCCO EXTERIOR WITH LIGHT STAINED WOOD TRIM ACCENTS



RENDERING -OPTION A (REAR)

STUCCO EXTERIOR WITH LIGHT STAINED WOOD TRIM ACCENTS



RENDERING -OPTION B (FRONT)

STUCCO EXTERIOR WITH LIGHT DARK WOOD TRIM ACCENTS



RENDERING -OPTION B (REAR)
STUCCO EXTERIOR WITH LIGHT DARK WOOD TRIM ACCENTS



RENDERING -OPTION C (FRONT)

BRICK AND STUCCO EXTERIOR WITH LIGHT TUDOR TRIM ACCENTS



RENDERING -OPTION C (REAR)

BRICK AND STUCCO EXTERIOR WITH LIGHT TUDOR TRIM ACCENTS



RENDERING -OPTION D (FRONT)

PAINTED BRICK AND STUCCO EXTERIOR WITH LIGHT TRIM ACCENTS



444 SKOKIE BLVD., SUITE 200
WILMETTE, IL 60091
847.572.5200
PICKELLDDBS.COM

© Copyright 2021
Orren Pickell Design Group, Inc.
Illinois firm #136001975. All rights reserved.
No part of this document may be reproduced, stored or
transmitted in any form, by any means, without prior written
permission of Orren Pickell Design Group, Inc.

The Preserve at Westleigh
Lake Forest, IL 60045

P.N.: 3-2756-00
DATE: 1/14/21



RENDERING -OPTION (REAR)

PAINTED BRICK AND STUCCO EXTERIOR WITH LIGHT TRIM ACCENTS



STREETSCAPE ELEVATION 1

444 SPOWIE BLVD., SUITE 200
WILMINGTON, IL 60091
847.572.5280
PICKELLBUILDBERS.COM

© Copyright 2021
Orren Pickell Design Group, Inc.
Illinois firm #186001975. All rights reserved.
No part of this document may be reproduced, stored or
transmitted in any form, by any means, without prior written
permission of Orren Pickell Design Group, Inc.

The Preserve at Westleigh
Lake Forest, IL 60045

P.N.: 3-2756-00
DATE: 1/14/21



STREETSCAPE ELEVATION 2



STREETSCAPE ELEVATION 3

The Preserve at Westleigh
Lake Forest, IL 60045

© Copyright 2021
Orren Pickell Design Group, Inc.
All rights reserved.
No part of this document may be reproduced, stored or
transmitted in any form, by any means, without prior written
permission of Orren Pickell Design Group, Inc.

444 SKORVE BLVD., SUITE 200
WILMINGTON, IL 60091
815.737.5252
PICKELLDIGITAL.COM

ORREN PICKELL
DESIGN | BUILD | REMODEL

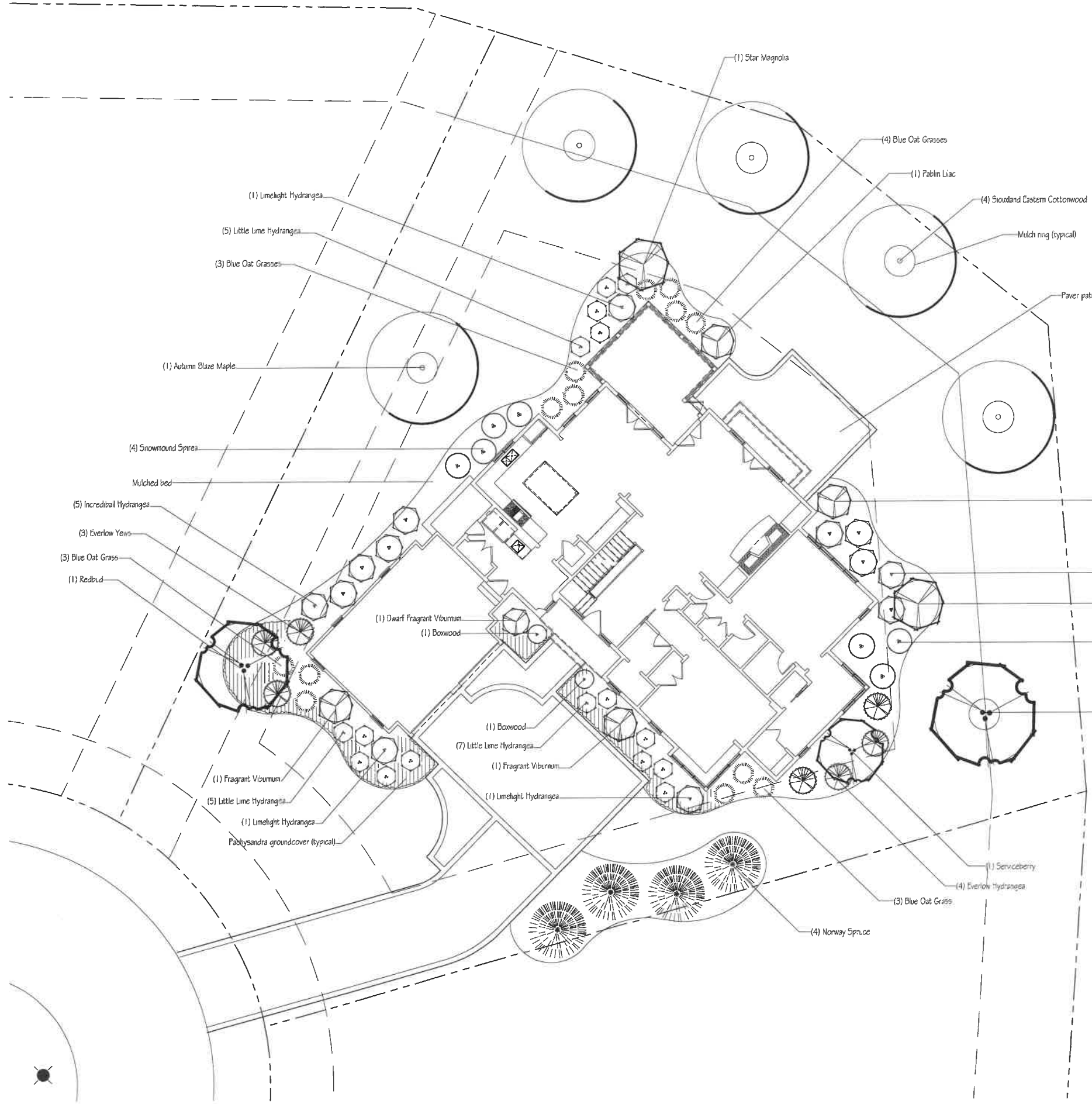
P.N.: 3-2756-00
DATE: 1/14/21

TYPICAL LANDSCAPE PLAN

THE PRESERVE AT WESTLEIGH - LOT 5
 Landscape Plan Lake Forest, Illinois

PROPOSED PLANT MATERIAL FOR LOT 5

COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE
Norway Spruce	<i>Picea abies</i>	4	8' bb
Autumn Blaze Maple	<i>Acer x freemanii 'Jeffersred'</i>	1	3" cal.
Siouxland Eastern Cottonwood	<i>Populus deltoides 'Siouxland'</i>	4	3" cal.
Snowdrift Crabapple	<i>Malus 'snowdrift'</i>	1	8' bb
Redbud	<i>Cercis canadensis</i>	1	6' bb
Star Magnolia	<i>Magnolia stellata</i>	2	6' bb
Serviceberry	<i>Amelanchier canadensis</i>	1	7' bb
Fragrant Viburnum	<i>Viburnum carlesii</i>	2	36" bb
Dwarf Fragrant Viburnum	<i>Viburnum carlesii 'Compacta'</i>	1	24" bb
Palibin Dwarf Lilac	<i>Syringa meyeri 'Palibin'</i>	2	36" bb
Incredible Hydrangea	<i>Hydrangea arborescens 'Abetwo'</i>	10	5 gal.
Limelight Hydrangea	<i>Hydrangea paniculata 'Limelight'</i>	3	5 gal.
Little Lime Hydrangea	<i>Hydrangea paniculata 'Jane'</i>	17	2 gal.
Snowmound Spirea	<i>Spiraea nipponica 'Snowmound'</i>	6	18" bb
Snowmound Spirea	<i>Spiraea nipponica 'Snowmound'</i>	7	24" bb
Everlow Yew	<i>Taxus x media 'Everlow'</i>	7	24" bb
Boxwood 'Green Velvet'	<i>Buxus 'Green Velvet'</i>	2	24" bb
Blue Oat Grass	<i>Helictotrichon sempervirens</i>	13	1 gal
Pachysandra	<i>Pachysandra terminalis</i>		3" pots



James Martin Associates, Inc. hereby certifies that this plan is a true and accurate representation of the site and other property rights in force at the time of preparation. This plan is not to be used for any other purpose without the written consent of Martin Associates.

Job #: _____
 Scale: 1/8" = 1' _____
 Date: 1/17/21 _____
 Rev: 1/13/22 _____

OVERALL CONCEPTUAL LANDSCAPE PLAN



client/ owner
Client Name / Group
Project name
**THE PRESERVE
ON WESTLEIGH**
Project address
770 Westleigh Road
Lake Forest, Illinois 60045

seal / signature

developer
Janko Group
1161 Lake Cook Road, Suite A
Deerfield, Illinois 60015
p 847.940.6660

landscape architect of record
TESKA ASSOCIATES, INC.
627 Grove Street
Evanston, IL 60201
p 847.869.2015 / f 847.869.2059

civil engineer
BLICK ENGINEERING COMPANY, INC.
1375 North Western Avenue
Lake Forest, Illinois 60045
p 847.295.5200 / f 847.295.7081

COMMON AREA PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY
	Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry	3' cal.	10
	Betula nigra / River Birch	12' ht.	27
	Malus x 'Snowdrift' / Snowdrift Crab Apple	12' ht.	8
	Populus deltoides 'Siouxland' / Eastern Cottonwood Siouxland	3' cal.	5
	Populus tremuloides / Quaking Aspen	2.5' cal.	23
	Quercus bicolor / Swamp White Oak	3' cal.	9
	Quercus x warei 'Regal Prince' / Regal Prince Oak	3' cal.	7
	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	3' cal.	7
	Ulmus x 'Pioneer' / Pioneer Elm	3' cal.	12
EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY
	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	6' ht.	42
	Picea abies / Norway Spruce	8' ht.	28
SEEDED AREAS	SEED MIX	QTY	
	LOW MAINTENANCE LAWN SEED MIX	200 lbs / AC.	
	14,740 SF (0.34 AC) IDOT Class 1B Low Maintenance Lawn Mixture		
	75% Fine Leaf Turf-Type Fescue	51 lbs.	
	10% Perennial Ryegrass	3.4 lbs.	
	5% Red Top	0.8 lbs.	
	10% Creeping Red Fescue	66 lbs.	
	LOW PROFILE PRAIRIE GRASSES SEED MIX	42 lbs / AC.	
	41,099 SF (0.94 AC) Cardno Custom Mixture		
	54% Oats	21.30 lbs.	
	5% Side-oats Grama	2.00 lbs.	
	1% Copper-shouldered Oval Sedge	0.40 lbs.	
	1% Plains Oval Sedge	0.40 lbs.	
	1% Field Oval Sedge	0.40 lbs.	
	10% Canada Wild Rye	4.00 lbs.	
	1% June Grass	0.40 lbs.	
	15% Annual Rye Grass	5.90 lbs.	
	1% Switch Grass	0.40 lbs.	
	11% Little Bluestem	4.30 lbs.	
		39.50 lbs.	
	EMERGENT WETLAND	Based on 50 plugs/flat	
	3,968 SF (0.09 AC) Cardno Emergent Wetland Plugs (2.5" plugs planted at 12" O.C. in natural groupings in 0"-18" water)		
	12.5% Carex lasiocarpa / Common Lake Sedge	10 flats	
	12.5% Juncus effusus / Common Rush	10 flats	
	12.5% Avena sativa / Common Oat	10 flats	
	12.5% Lolium multiflorum / Annual Rye	10 flats	
	12.5% Elymus maculatum / Spotted Joe Pye Weed	10 flats	
	12.5% Iris virginica / Blue Flag	10 flats	
	12.5% Lobelia cardinalis / Cardinal Flower	10 flats	
	12.5% Sagittaria latifolia / Common Arrowhead	10 flats	
		4,000 plugs	
	DEEP EMERGENT WETLAND	Based on 50 plugs/flat	
	3,883 SF (0.09 AC) Cardno Aquatic Plugs (bareroot plugs planted at 12" O.C. in natural groupings in 18"-36" water)		
	33.75% Nelumbo lutea / Lotus	27 flats	
	33.75% Nuphar advena / Yellow Pond Lily	27 flats	
	32.5% Nymphaea odorata / White Water Lily	26 flats	
		4,000 plugs	



CHECK SET
NOT FOR CONSTRUCTION

issue / revision	date	description
△		
△		
△		
△		
△		
△		
△		
△		
△		
△		
△		

pin XXX ts CCS cad XXX

issue date
04.28.2017

sheet name
**COMMON AREA
LANDSCAPE PLAN**

sheet number
L-2

X:\james_group\westleigh_rd... 4/28/17.dwg Apr 27, 2017 4:12pm - 55360017



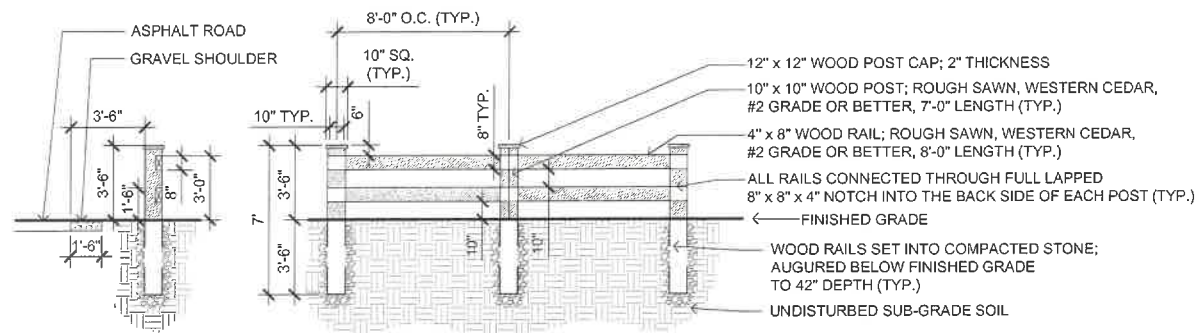
client / owner
Client Name / Group
project name
**THE PRESERVE
ON WESTLEIGH**
project address
770 Westleigh Road
Lake Forest, Illinois 60045

seal / signature

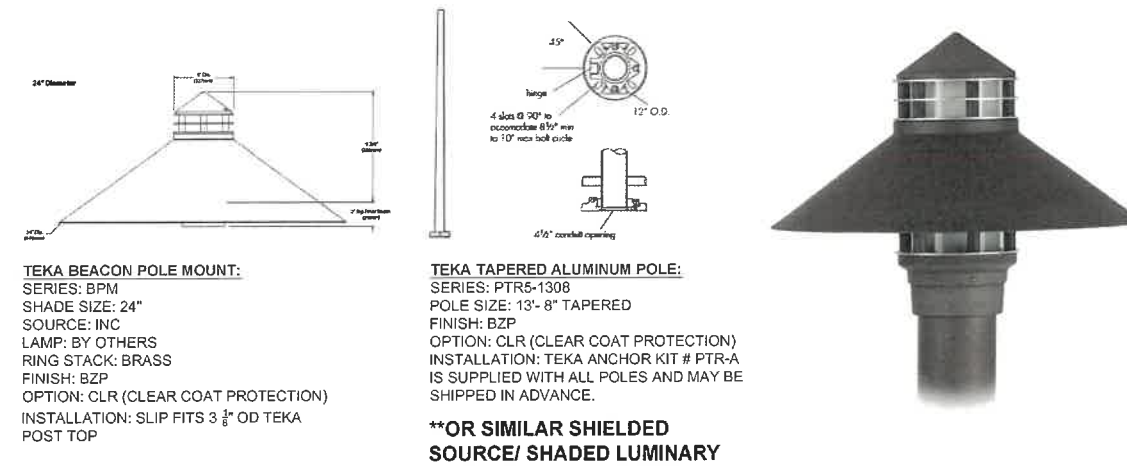
developer
Janko Group
1161 Lake Cook Road, Suite A
Deerfield, Illinois 60015
p 847 940 8800

landscape architect of record
TESKA ASSOCIATES, INC.
627 Grove Street
Evanston, IL, 60201
p 847 869 2015 f 847 869 2059

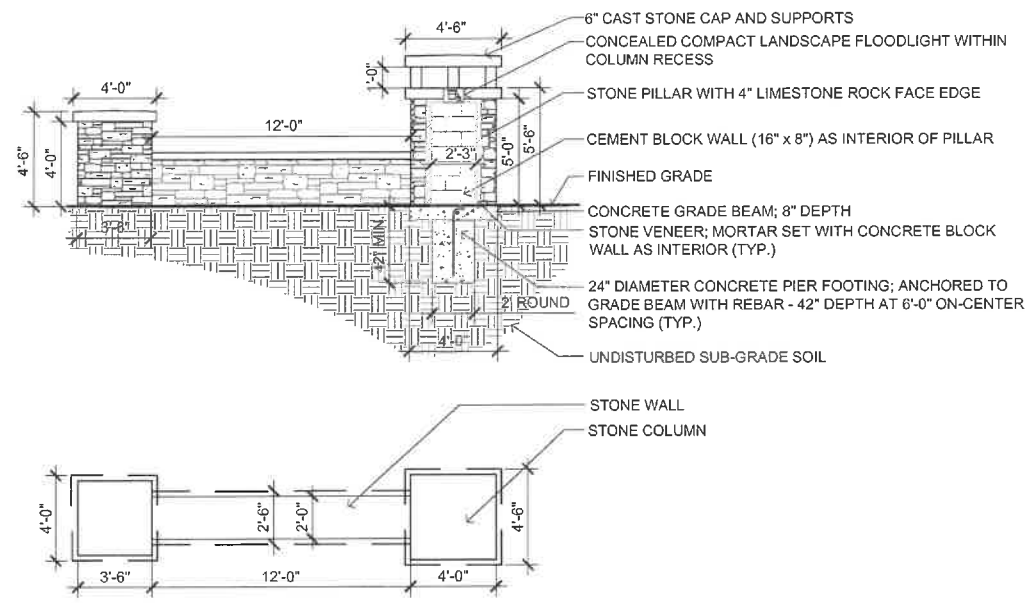
civil engineer
BLECK ENGINEERING COMPANY, INC.
1375 North Western Avenue
Lake Forest, Illinois 60045
p 847 295 5200 f 847 295 7081



1 WOOD FENCE DETAIL:
NOT TO SCALE



3 POST LIGHT DETAIL:
NOT TO SCALE



2 ENTRANCE MONUMENT DETAIL:
NOT TO SCALE



- FENCE SHALL MATCH LAKE FOREST OPEN LANDS FENCING
- WOOD SHALL BE NORTHERN WHITE CEDAR (OR TO MATCH EXISTING FENCE WOOD SPECIES)
- POSTS ARE 4\"/>

4 THREE RAIL POST FENCE DETAIL:
NOT TO SCALE

CHECK SET
NOT FOR CONSTRUCTION

issue / revision	date	description
△		
△		
△		
△		
△		
△		
△		
△		
△		
△		

pm XXX la CCS cad XXX

issue date
04.28.2017

sheet name
**SITE AND
LANDSCAPE DETAILS**

sheet number
L-4

C:\Users\jcc@teska.com\Desktop\Drawings\2017\04\28\17\042817\042817.dwg
 4/28/17 4:10pm - C:\Users\jcc@teska.com\Desktop\Drawings\2017\04\28\17\042817\042817.dwg
 4/28/17 4:10pm - C:\Users\jcc@teska.com\Desktop\Drawings\2017\04\28\17\042817\042817.dwg

Agenda Item 5
821 Northmoor Road
Additions and Exterior Alterations

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Plat of Survey
Proposed Site Plan
Existing and Proposed North (Front) Elevations
North Elevation Overlay
Existing and Proposed East Elevations
East Elevation Overlay
Existing and Proposed South Elevations
South Elevation Overlay
Existing and Proposed West Elevations
West Elevation Overlay
Roof Plan
Building Section
Color Renderings
Streetscape Elevation
Existing First Floor Plan
Proposed First Floor Plan
Existing Second Floor Plan
Proposed Second Floor Plan
Preliminary Site Grading Plan
Tree Removal Plan
Tree Inventory
Preliminary Landscape Plan
Images of Existing Residence

821 Northmoor Road

Consideration of a request for approval of an addition to the existing garage, a small expansion of the entryway on the first floor and expansion of the second floor of a single family residence. Various exterior alterations to the residence and modifications to the site plan are also proposed.

Property Owner: Black House LLC – Series 821 Northmoor (Patrick Shaver, 100%)
Project Representative: Patrick Shaver, builder

Staff Contact: Jen Baehr, Planner

Description of Property and Existing Residence

This property is located on the south side of Northmoor Road, between Wooded Lane and Sheridan Road. The property is rectangular in shape and is 11,250 square feet in area. The existing house was constructed in 1949 and is a contemporary style split level home with an attached single car garage. Based on City records, very few modifications have been made to the house since its construction. The surrounding neighborhood contains a mix of one and two-story houses of varying ages and architectural styles.

Summary of Request

As noted above, expansion of the single car garage is proposed along with a small expansion of the first floor entry and a second floor addition to the residence. Exterior alterations including window and door replacement, new exterior materials, and modifications to the site plan are also proposed.

The property owner recently purchased the property and based on the petitioner's statement of intent, the proposed additions and alterations are intended to make the home more suitable for modern day living, and update and enhance the home's contemporary appearance. The statement of intent and supporting materials submitted by the petitioner are included in the Board packet and more fully explain the overall project.

Garage and Entryway Addition

The home has a single car garage on the front of the home. The petitioner is proposing to construct an addition on the east side of the garage to make it a two-car garage. The garage addition is 14 feet in width and 24 feet in length. A small expansion of the entryway on the east side of the home is proposed to align with the east wall of the garage addition.

Second Floor Expansion

The petitioner is proposing to expand the second floor on the north, east and south sides of the home. Most of the second floor expansion will be over the existing roof deck on the east and south sides of the home. The expansion of the second floor will extend 3 feet beyond the wall of the first floor to create a cantilever on the north and east sides of the house. A zoning variance is required for the proposed cantilever on the front elevation. The front of the home currently is located in the front yard setback. The Zoning Board of Appeals will consider the variance request later this month.

With the addition, the home will have various flat roof elements, at different heights. The existing height of the home, 17 feet and 11 inches, will be maintained on a portion of the north and west sides of the home. The second floor expansion, including the cantilever on the north and east sides of the home, will be at a height of 19 feet and 10 inches. The second floor expansion on the south

side of the home will be at a height of 23 feet and 9 inches. At its tallest point, above the stair at the center of the home, the height of the roof will be 25 feet and 7 inches.

Staff Evaluation

An evaluation of the project based on the applicable standards and staff recommendations are offered below for the Board's considerations.

Site Plan – This standard is met.

The existing driveway on the property will be removed. A new 20 foot wide asphalt driveway is proposed that will provide access to the garage at the front of the home. The maximum permitted width for a driveway is 16 feet. A variance for the driveway will also be considered by the Zoning Board of Appeals. The width of the curb cut on the street will be increased from 25 feet and 6 inches, to 32 feet. A short concrete walkway from a new entrance on the front of the home to the driveway is proposed. A concrete block retaining wall, 3 feet and 6 inches height, is proposed adjacent to the new entrance on the front of the house. Another concrete walkway is proposed on the east side of the house, from the side entrance to the driveway at the front of the house. A concrete patio is proposed on the rear of the home.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 2,875 square feet is permitted on the site with up to an additional 288 square feet in design elements and 576 square feet for a garage.

- The existing house totals 731 square feet and complies with the allowable square footage. Based on the City's building scale methodology, the lower basement level does not count toward the building scale calculation. The City's Building Scale Ordinance states that the basement space for homes constructed prior to January 9, 1989, or basements wholly located below grade, are not included in the building scale calculation. The upper level of the existing home also does not count toward the square footage calculation because it does not reach the height at which it starts to count toward the square footage.
- The existing garage totals 292 square feet.
- The existing house has a total of 184 square feet of design elements.
- The proposed garage addition totals 321 square feet. Together with the existing garage, the total garage space will be 613 square feet. The garage overage of 37 square feet must be added to the total square footage of the residence.
- The proposed entryway addition on the east side of the home totals 142 square feet.
- The second floor expansion totals 998 square feet.
- In conclusion, the square footage of the existing residence, with the proposed additions, is 1,908 square feet, and is 967 square feet, or 33% under the total allowable square footage.

The maximum height for this property is 30 feet. The existing home is 17 feet and 11 inches tall. The home as proposed, will be 25 feet and 7 inches when measured from the adjacent point of existing lowest grade to the highest roof peak. The surrounding neighborhood has many single-story ranch style homes, although there are one-and-a-half story and two-story homes mixed in along Northmoor Road. The petitioner provided a streetscape elevation that reflects the adjacent homes to the east and west. The home to the east is 18 feet and 5 inches tall and the home to the west is 16 feet tall. The fact that the height of the home varies helps to mitigate the appearance of height in relation to the adjacent, lower homes.

Elevations – This standard is met.

The proposed elevations of the home maintain the existing contemporary style of the home, reflecting clean, simple lines and volumes. The home has a mix of horizontal and vertical windows that follow the sizes and proportions of the existing openings on the house. The proposed cantilever on the north and east sides of the home presents a unique feature that adds interest to the elevations while also adding a projecting element that breaks up the front façade. Currently, the home does not have an entrance on the front elevation, a new entrance on the front elevation is proposed adjacent to the new garage door.

Type, color, and texture of materials – This standard is generally met.

The exterior materials are simple and appropriate for the style of the home and the neighborhood. The exterior walls of the home will be a combination of black stucco and horizontal fiber cement siding. A modified bitumen flat roof is proposed. Black aluminum clad wood windows without muntin bars are proposed. A composite material is proposed for the fascia boards. Natural wood is proposed for the soffits. Internal gutters are proposed.

- Staff recommends a natural material for the fascia boards consistent with past Board approvals.

Landscaping – This standard can be met.

As currently proposed, a total of twelve trees are proposed for removal. Three of the trees proposed for removal are dead. Five trees are within the footprint of the garage addition and new driveway. The remaining four trees that are proposed for removal will be impacted by grading on the site. Three of the trees proposed for removal are identified as Heritage trees due to their size being greater than 18 inches in diameter. Based on the size, species and conditions of the trees proposed for removal there is a total of 129 required replacement inches.

The conceptual landscape plan submitted by the petitioner reflects proposed plantings around the foundation of the home, at the front of the property, around the rear patio and along the east property line. The proposed plantings include Maple, Ginkgo Spruce and Serviceberry trees, boxwoods, hydrangea, lilac and viburnum.

Based on review of the conceptual landscape plan, additional trees will need to be incorporated as part of the new landscaping to fulfill the required replacement inches for the removal of healthy trees. Considering the existing trees that will remain on the site and the small size of the property, it is unlikely that the required replacement inches can be fully planted on site and a payment in lieu of the remaining replacement inches that cannot be accommodated on site will be required before the issuance of a building permit. The payment will be used to plant trees on public rights of way to restore, over time, some of the canopy that will be lost due to the tree removals for this project.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendations

Recommend approval of the additions to the existing residence, exterior alterations and modifications to the site plan based on the findings detailed in this report and the Board's deliberations. Approval is recommended subject to the following conditions:

1. Natural materials shall be used for the fascia boards.
2. All modifications to the plans including the refinement noted above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The final landscape shall include, but not be limited to, all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. If the full amount of required replacement inches totaling 129 inches based on current information, cannot be accommodated on site, a payment in lieu of on site plantings will be required before the issuance of a building permit to support plantings in the parkways in the neighborhood.
4. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements and will be subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices and properly direct drainage.
5. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist.
6. Details of exterior lighting shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view.
7. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 821 Northmoor Road Owner(s) Patrick Shaver
 Architect Patrick Shaver, builder Reviewed by: Jen Baehr
 Date 2/2/2022
 Lot Area 11250 sq. ft.

Square Footage of Existing Residence:

1st floor 731 + 2nd floor 0 + 3rd floor 0 = 731 sq. ft.

Design Element Allowance = 288 sq. ft.

Total Existing Design Elements = 184 sq. ft. Excess = 0 sq. ft.

Garage 292 sf actual ; 576 sf allowance = 0 sq. ft.

Garage Width 12 ft. *may not exceed 24' in width on lots
18,900 sf or less in size.* = 0 sq. ft.

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Existing Residence: = 731 sq. ft.

Square Footage of Proposed Additions:

1st floor 142 + 2nd floor 998 + 3rd floor 0 = 1140 sq. ft.

New Garage Area 321 sq. ft. Excess = 37 sq. ft.

New Design Elements 0 sq. ft. Excess = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 1908 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 2875 sq. ft.

DIFFERENTIAL = -967 sq. ft.

NET RESULT:
Under Maximum

967 sq. ft. is

33.0% under the
Max. allowed

Allowable Height: 30 ft. Actual Height 17'-11" (existing house) 25'-7" (proposed)

DESIGN ELEMENT EXEMPTIONS (Existing & Proposed)

Design Element Allowance: 288 sq. ft.

Front & Side Porches = 184 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

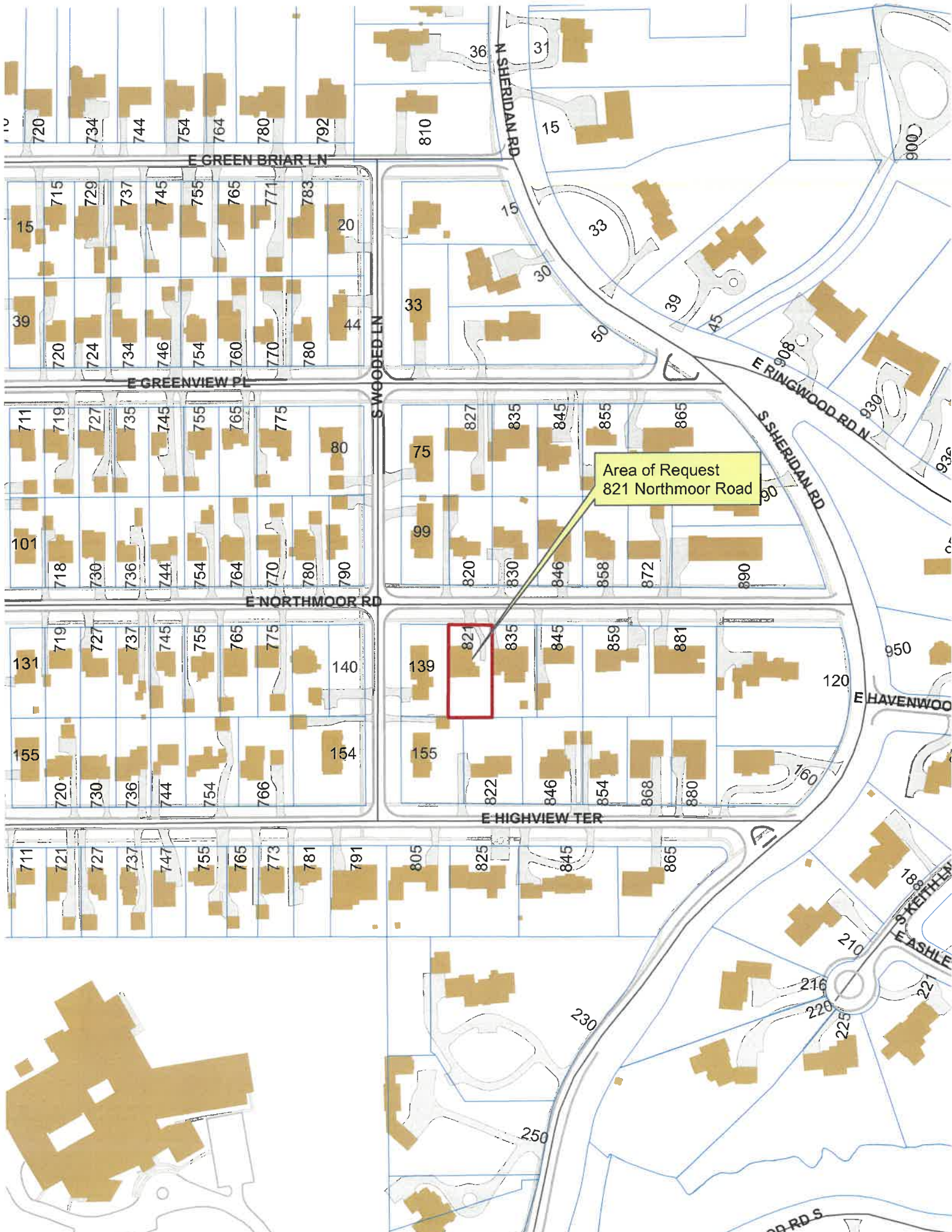
Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 184 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request
821 Northmoor Road





Area of Request
821 Northmoor Road

Area of Request
821 Northmoor Road





**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 821 Northmoor Rd, Lake Forest, IL 60045

APPLICATION TYPE

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

Black House LLC - Series 821 Northmoor

Owner of Property

1225 Lincoln Ave S

Owner's Street Address (may be different from project address)

Highland Park, IL 60035

City, State and Zip Code

847-652-7519

Phone Number

Fax Number

patrick.shaver@blackhouse.consulting

Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

Patrick Shaver, President

Name and Title of Person Presenting Project

Black House Design

Name of Firm

1225 Lincoln Ave S

Street Address

Highland Park, IL 60035

City, State and Zip Code

847-652-7519

Phone Number

Fax Number

patrick.shaver@blackhouse.design

Email Address

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

OWNER REPRESENTATIVE

Please fax a copy of the staff report

OWNER REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

OWNER REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name Patrick Shaver	Name _____
Address 1225 Lincoln Ave S, Highland Park, IL 60035	Address _____
Ownership Percentage 100 %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Black House, LLC.

1225 Lincoln Ave S
Highland Park, IL 60035
847-652-7519

Lake Forest Building Review Board
220 East Deerpath
Lake Forest, IL 60045

December 28, 2021

To Whom it May Concern,

I am writing to you today regarding the property located at 821 Northmoor Rd, in Lake Forest, Illinois.

It is my intention to renovate and remodel the existing structure into a beautifully finished, modern home in your community to compliment the neighborhood. The current home was built in 1951 and has been neglected and seemingly abandoned which is made clear by the unruly foliage that has nearly engulfed the front of the home in its entirety. The home's design does not lend itself to appropriate modern living. The existing structure has a 1 car garage and 3 small bedrooms on the second floor which share 1 small hall bathroom. The electrical system is dated and insufficient, the windows are failing, and insulation is lacking. Furthermore, the home does not have central AC and utilizes small venting windows in conjunction with a house fan to circulate outside air to "cool" the home.

I am proposing a design to renovate the home to bring it up to current code and design principles including a layout that will suit any family and their needs for modern living while maintaining and enhancing the original 1950's contemporary styling. The small single car garage will be extended to the east into a 2-car garage. The second floor (in the front of the home) will be built over the new garage addition and will include a total of 4 bedrooms, 3 full baths, laundry, and mechanical room for the new HVAC system. Additionally, we will be building a 2nd story addition on the back of the home to house the Primary Suite, which will include a study, bedroom, bathroom, and walk-in closet.

As the Building Review Board works to manage change, particularly change that impacts established neighborhoods, I would like to address the following areas: Façade, Building Scale, Architectural Design, Significant Design Features, and the Location of the building.

Regarding the Façade: We will be utilizing many of the existing locations of windows and adding windows in the new additions to the home to compliment the originals utilizing modern, insulated, dual-pane window units. Due to the lack of a street facing front door we will be adding one for both functionality and beauty. In keeping with exterior styling and design of the home, and neighborhood, we are proposing an exterior finishing, windows and doors that will both compliment the neighborhood and enhance the beauty and functionality of the original structure.

Regarding the Building Scale: We will be keeping consistent with the scale and height of the neighboring homes on the street to provide cohesiveness and rhythm to the street. Furthermore, we will be retaining an essential balance between landscaping and building scale to space available.

Regarding the Architectural Design: The current design is 1950's contemporary, featuring flat roofs, 2' eaves and simple clean lines. Our design looks to enhance those features while allowing for the interior layout to be conducive to modern living. Additionally, the exterior styling will allow for this nearly invisible home to be revealed in its new, contemporary style, glory.

Regarding the Significant Design Features: As the current home has nearly negative curb appeal with its flat façade entirely covered in vegetation, we will be exposing its new beauty. The most significant design feature will be the cantilevered 2nd story portion over the garage. This addition will contain the 2 new second floor bedrooms and a shared bath. Its exterior wood cladding will add character and beauty while providing functional weather protection for the residents and guests using the garage and new front door.

Regarding the Location of the Building: The existing home sits approximately 39.23' from the North lot line on the Northeast corner of the garage, 13.1' from the East Lot line and 12.48' from the west lot line. Our proposed garage addition, and 2nd story additions will maintain those setbacks while allowing a layout that is both efficient, thoughtful, and best suited for modern living.

It is my hope that the information I have provided will be sufficient for you to recognize the need for this home to be renovated and brought up to the current standards, utilizing modern design, technology and equipment, while beautifying the neighborhood and the City of Lake Forest.

Warm Regards,

Patrick H. Shaver
President

Patrick.shaver@blackhouse.consulting



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- | | |
|---|---|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Wood Shingle |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Aluminum Siding |
| <input checked="" type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Vinyl Siding |
| <input checked="" type="checkbox"/> Stucco | <input type="checkbox"/> Synthetic Stucco |
| | <input type="checkbox"/> Other _____ |

Color of Material Hardie Board Siding, Black Stucco

Window Treatment

Primary Window Type

- Double Hung
 Casement
 Sliding
 Other _____

Finish and Color of Windows

- Wood
 Aluminum Clad
 Vinyl Clad
 Other _____

Color of Finish Black

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Synthetic Material _____
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Synthetic Material _____
 Other _____

Fascias, Soffits, Rakeboards

- Wood
 Other _____
 Synthetic Material Azek

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other Modified Bitumen

Flashing Material

- Copper
- Sheet Metal _____
- Other _____

Color of Material Silver/White

Gutters and Downspouts

- Copper
- Aluminum
- Other Internal or Fin

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____



PLAT OF SURVEY

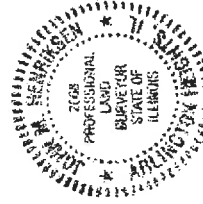
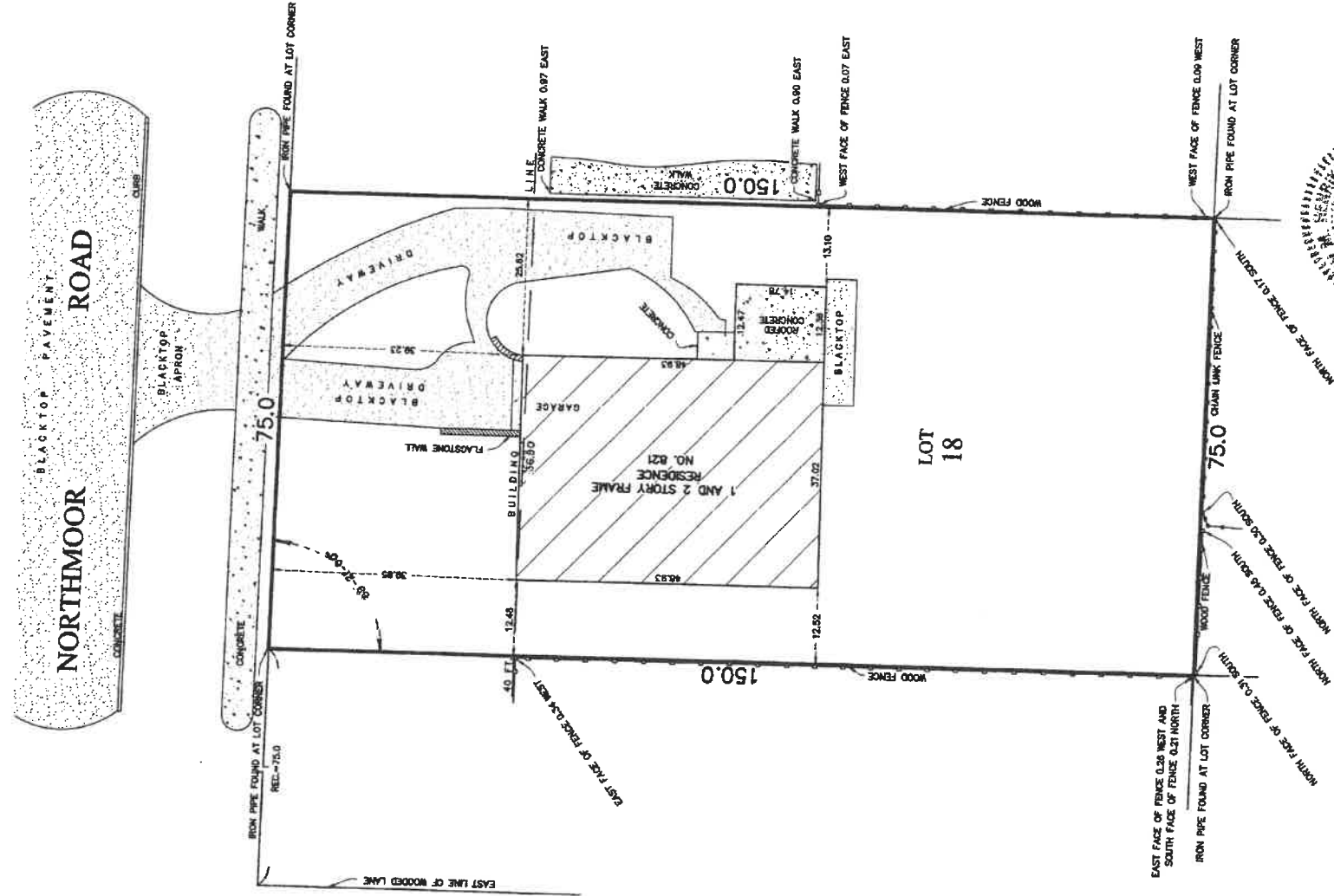
JOHN M. HENRIKSEN

415 E. GOLF ROAD - SUITE 103 ARLINGTON HEIGHTS, ILLINOIS 60005
 TEL. 224-875-7633 FAX. 224-875-7634
 WWW.HENRIKSENSURVEY.COM

OF

LOT 18 IN NORTHMOOR TERRACE, BEING A SUBDIVISION OF LOTS 304 AND 305 IN THE ORIGINAL TOWN OF LAKE FOREST, IN SECTION 3, TOWNSHIP 43 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 6, 1922, AS DOCUMENT NO. 213559, IN BOOK "L" OF PLATS, PAGE 16, IN LAKE COUNTY, ILLINOIS

COMMONLY KNOWN AS: 621 NORTHMOOR ROAD, LAKE FOREST, ILLINOIS.



FRACTIONAL IRON ROD READINGS OF DIMENSIONS OF A FOOT

0.01-1/8"	0.12-0"
0.02-1/4"	0.13-0"
0.03-3/8"	0.14-0"
0.04-1/2"	0.15-0"
0.05-5/8"	0.16-0"
0.06-3/4"	0.17-0"
0.07-7/8"	0.18-0"
0.08-1"	0.19-0"
0.09-1 1/8"	0.20-0"
0.10-1 1/4"	0.21-0"
0.11-1 1/2"	0.22-0"
0.12-1 3/4"	0.23-0"
0.13-2"	0.24-0"
0.14-2 1/4"	0.25-0"
0.15-2 1/2"	0.26-0"
0.16-2 3/4"	0.27-0"
0.17-3"	0.28-0"
0.18-3 1/4"	0.29-0"
0.19-3 1/2"	0.30-0"
0.20-3 3/4"	0.31-0"
0.21-4"	0.32-0"

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

STATE OF ILLINOIS
 COUNTY OF COOK

I, JOHN M. HENRIKSEN, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED LOT 18 AT HERON DRAWN AS A CORRECT REPRESENTATION OF SAID SURVEY. DIMENSIONS ARE SHOWN IN FEET DECIMAL PARTS THEREOF.

ARLINGTON HEIGHTS, ILLINOIS JULY 21, 2022

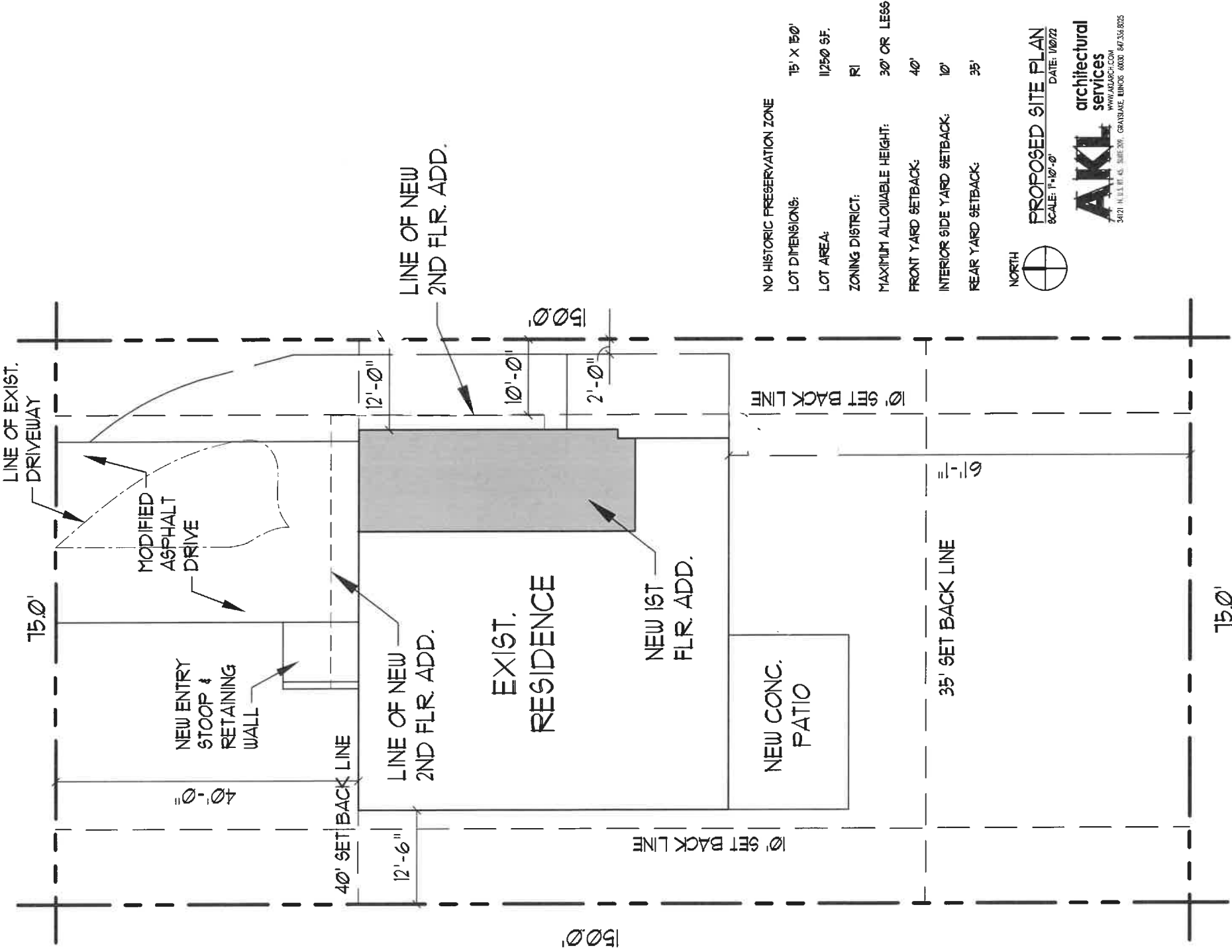
John M. Henriksen
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2668
 LICENSE EXPIRES NOVEMBER 30, 2022.

ORDER NUMBER: 21207
 SCALE: 1 INCH = 16 FEET

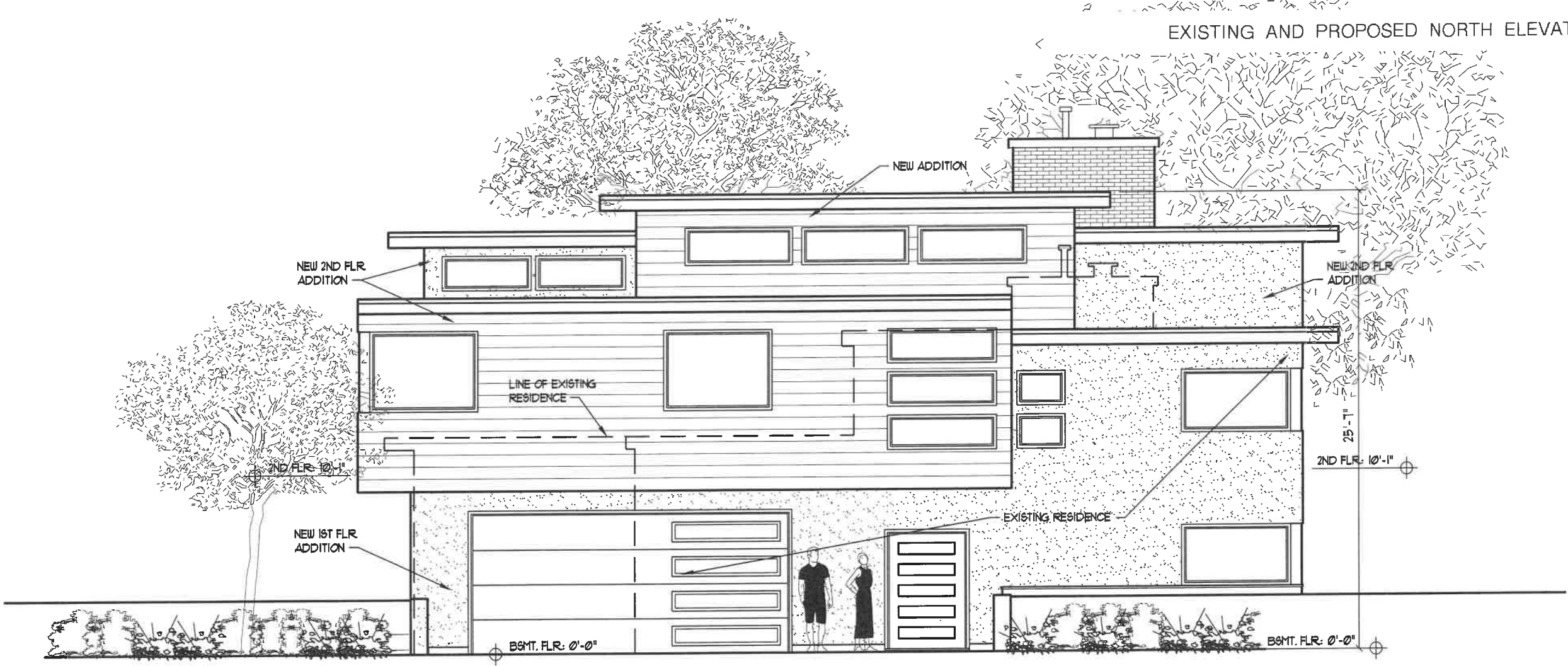
ORDERED BY: NEIL J. KAISER, LTD.
 BUILDING LINES AND EASEMENTS, IF ANY, SHOWN HEREON ARE BUILDING LINES AND BASEMENTS AS SHOWN ON THE RECORDED SUBDIVISION PLAT. CONSULT LOCAL AUTHORITIES FOR BUILDING LINES ESTABLISHED BY LOCAL ORDINANCES.

PLEASE CHECK LEGAL DESCRIPTION WITH DEED.
 COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DISCREPANCY IMMEDIATELY.
 DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING.

N O R T H M O O R R O A D



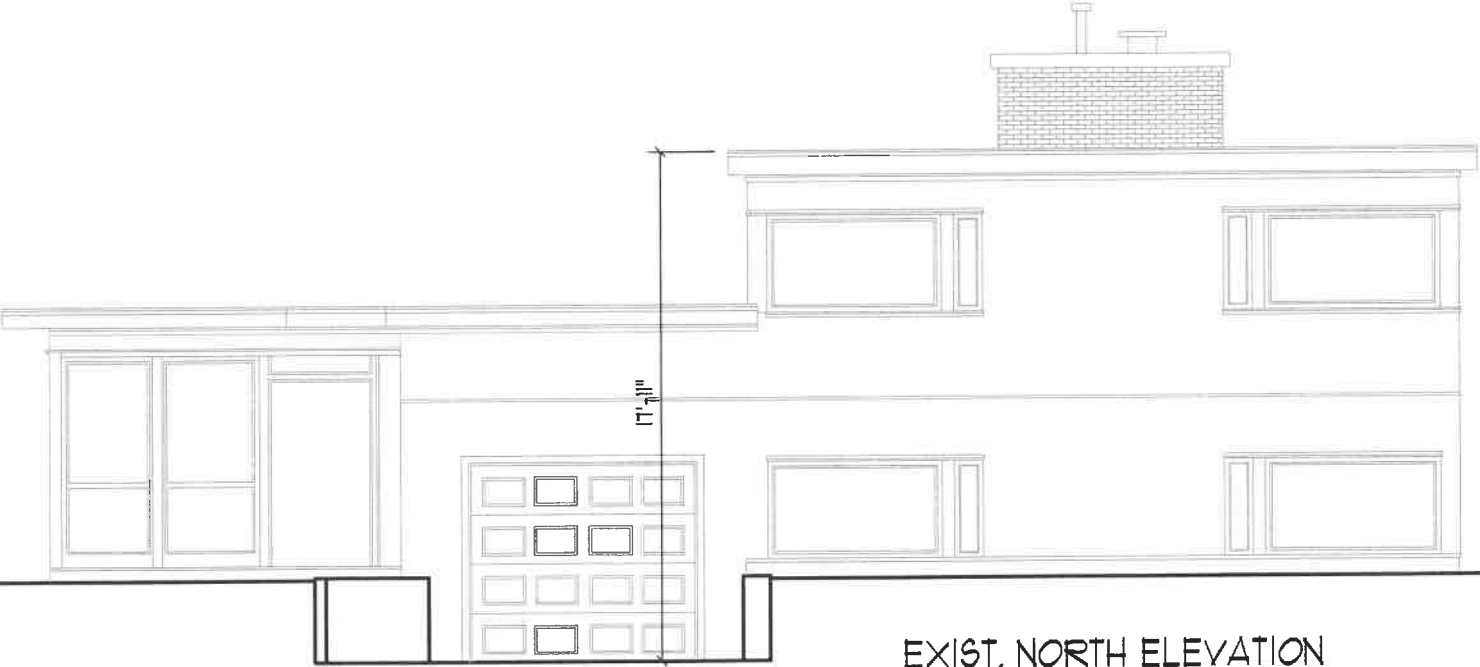
EXISTING AND PROPOSED NORTH ELEVATION



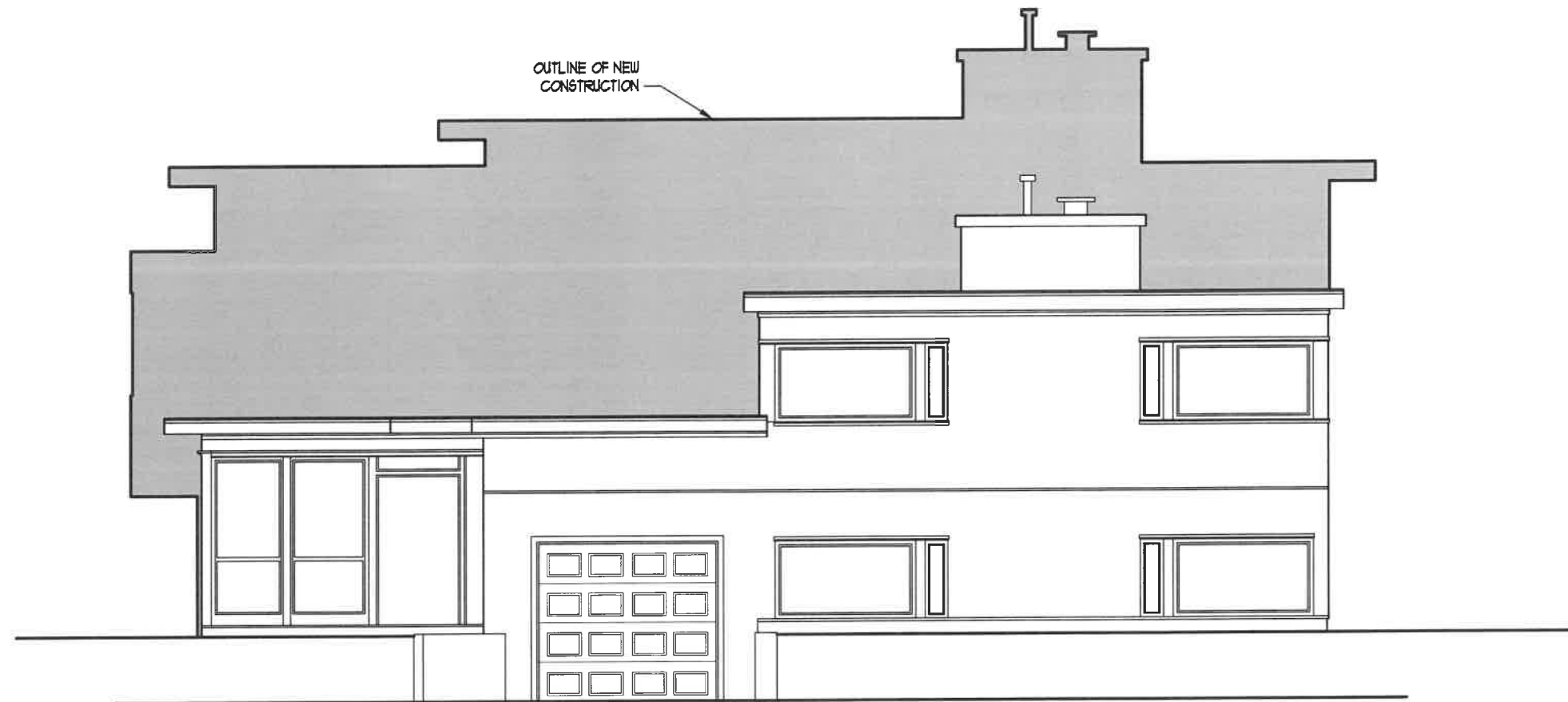
PROPOSED FRONT ELEVATION

SCALE: 1/4"=1'-0" DATE: 1/24/22

AKL architectural services
 WWW.AKLARCH.COM
 34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025



EXIST. NORTH ELEVATION



NORTH ELEVATION OVERLAY
SCALE: 1/4"=1'-0" DATE: 1/11/22

AKL architectural
services
WWW.AKLARCH.COM
34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025

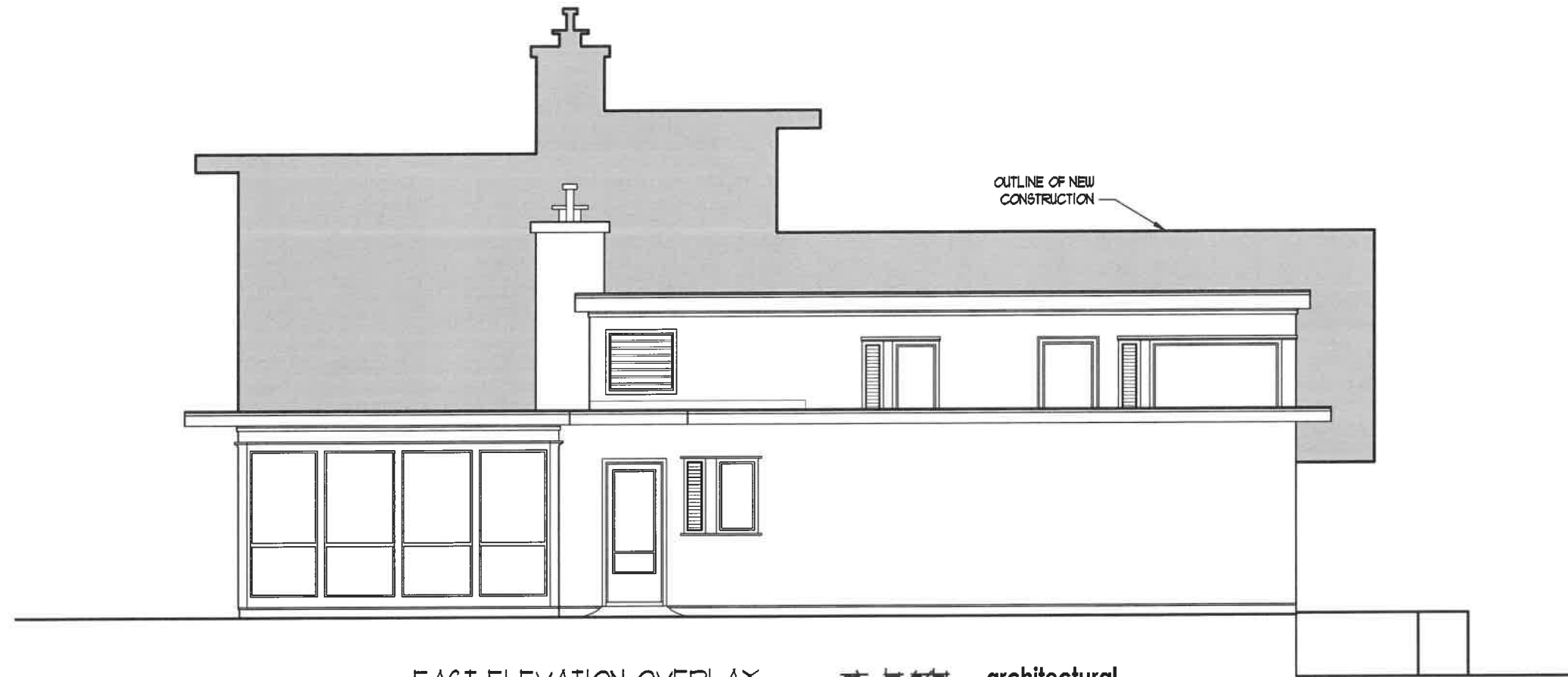


PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0" DATE: 12/20/21

AKL architectural services
WWW.AKLARCH.COM
34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025



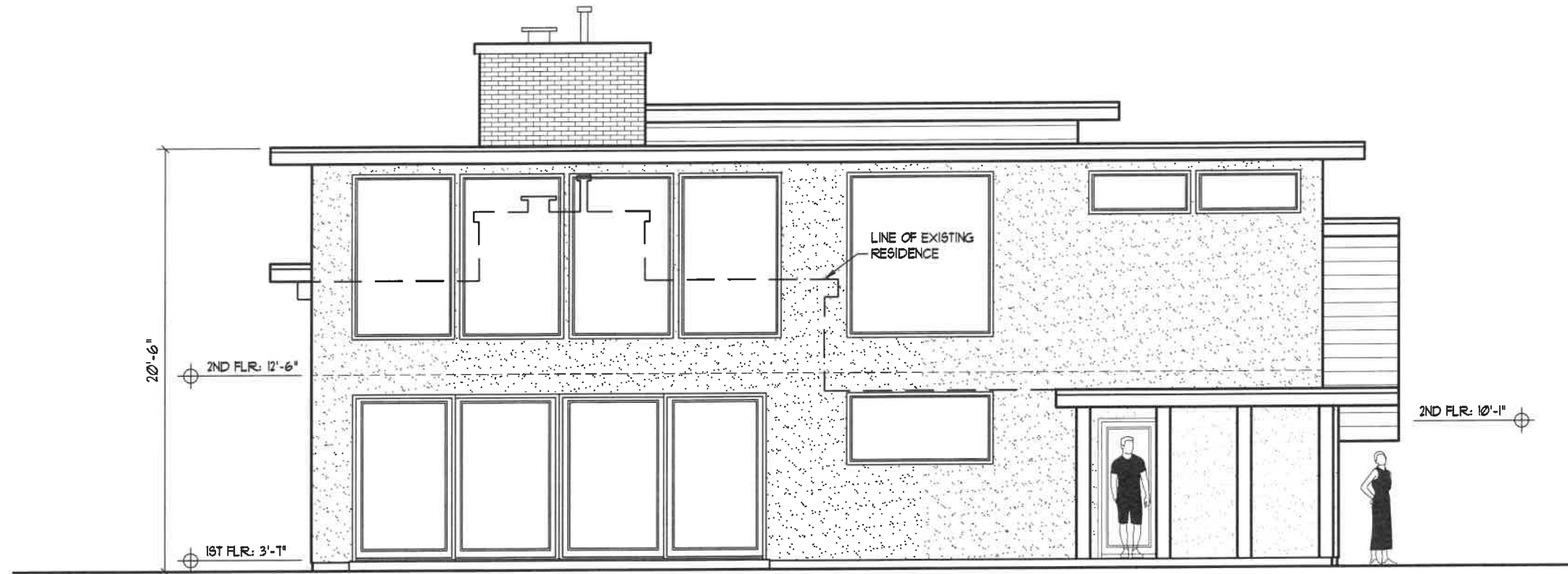
EXIST. EAST ELEVATION



OUTLINE OF NEW
CONSTRUCTION

EAST ELEVATION OVERLAY
SCALE: 1/4"=1'-0" DATE: 1/11/22

AKL architectural
services
WWW.AKLARCH.COM
34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025

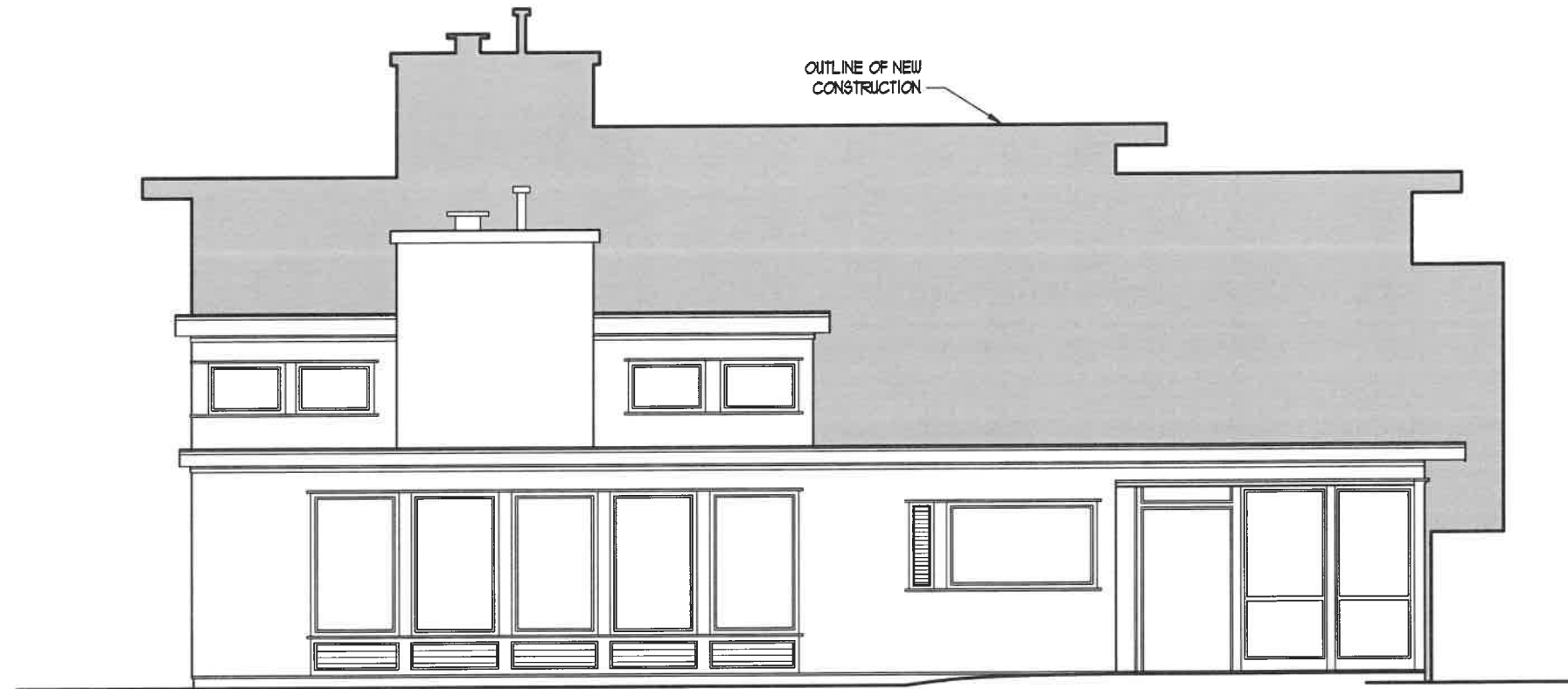


PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0" DATE: 12/20/21

AKL architectural services
WWW.AKLARCH.COM
34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025



EXIST. SOUTH ELEVATION

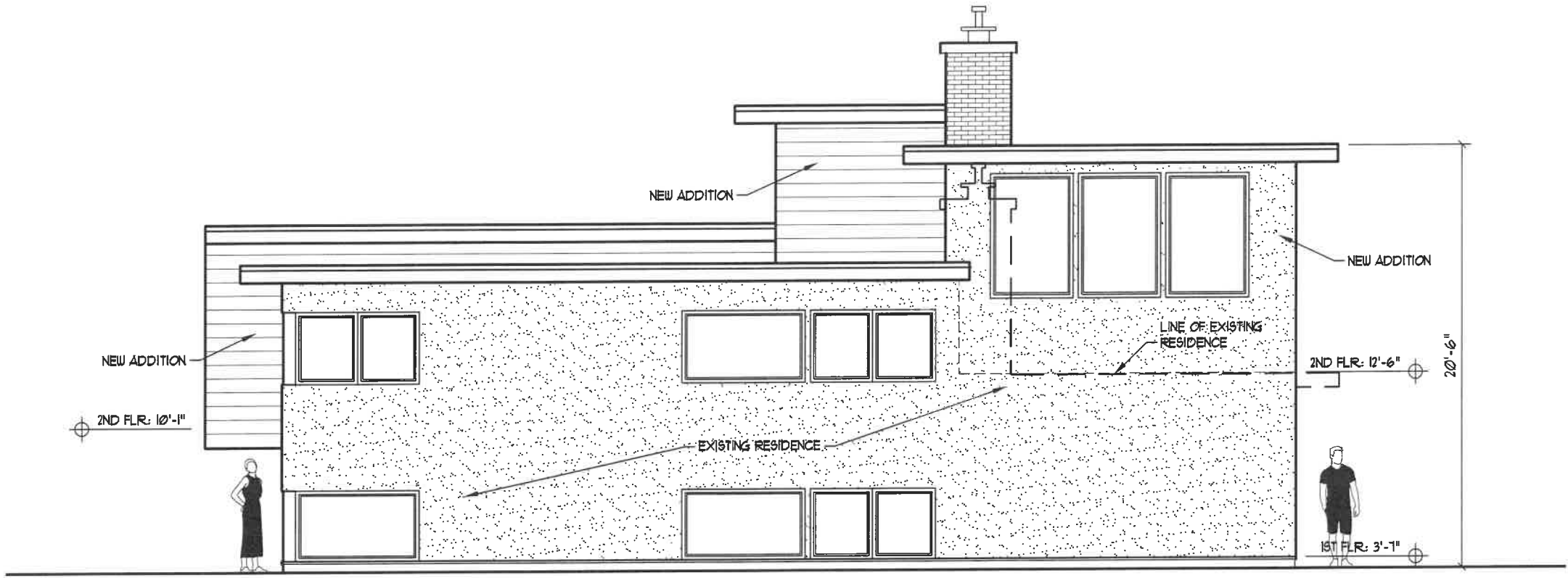


OUTLINE OF NEW
CONSTRUCTION

SOUTH ELEVATION OVERLAY
SCALE: 1/4"=1'-0"

DATE: 1/1/22

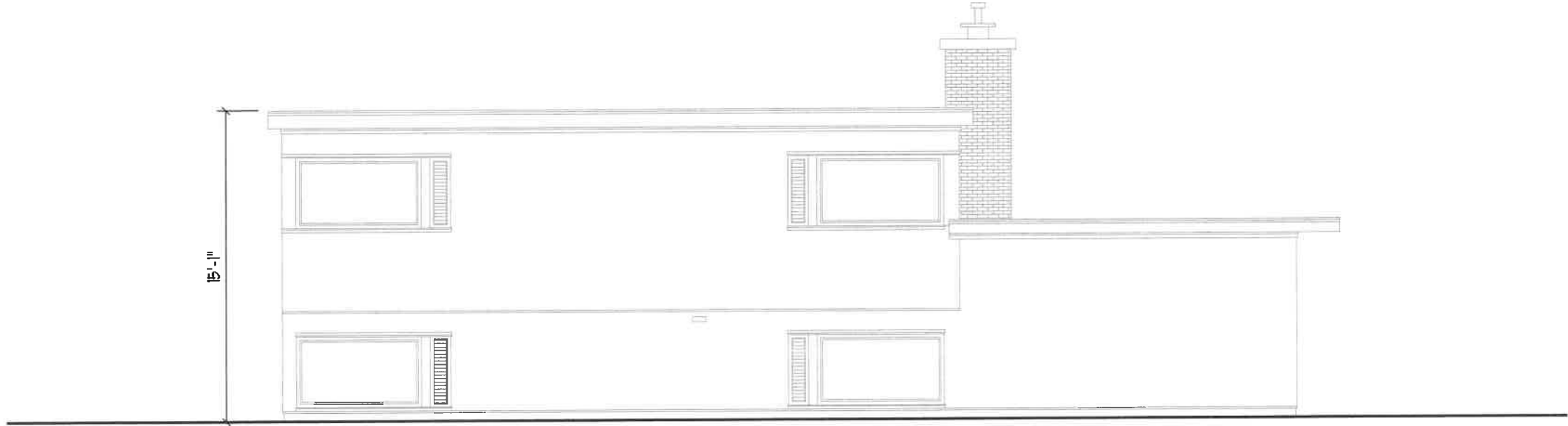
AKL architectural
services
WWW.AKLARCH.COM
34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025



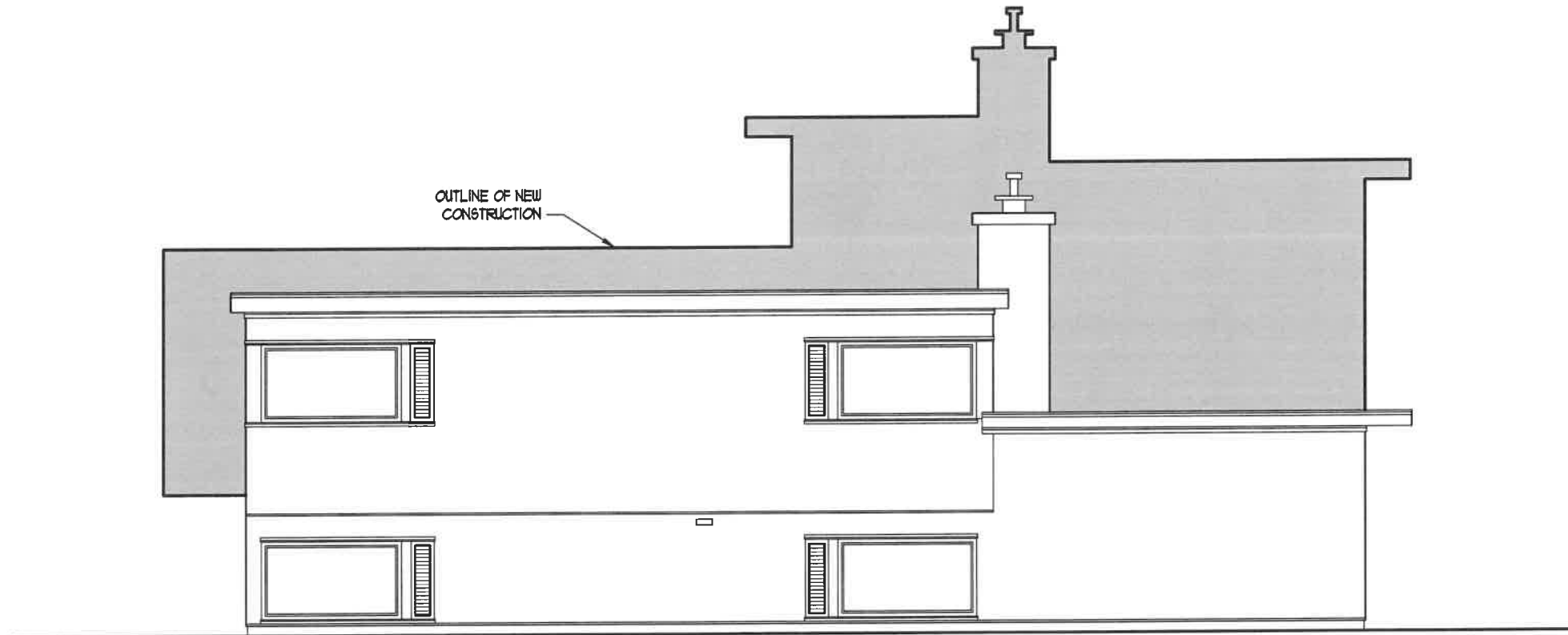
B&MT. FLR: 0'-0"

PROPOSED WEST ELEVATION
SCALE: 1/4"=1'-0" DATE: 12/20/21

AKL architectural services
WWW.AKLARCH.COM
34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025

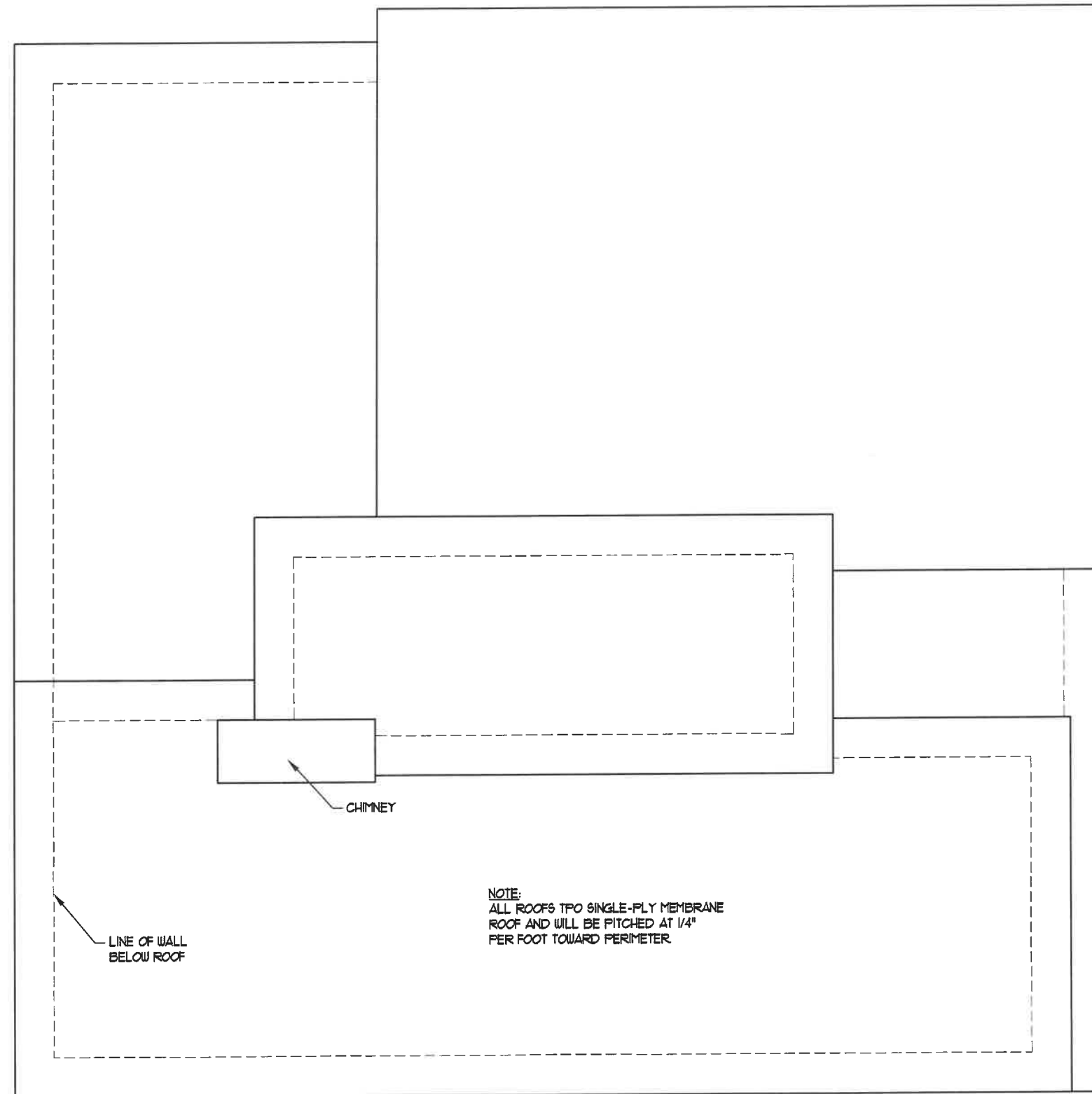


EXIST. WEST ELEVATION



WEST ELEVATION OVERLAY
SCALE: 1/4"=1'-0" DATE: 1/11/22

AKL architectural
services
WWW.AKLARCH.COM
34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025



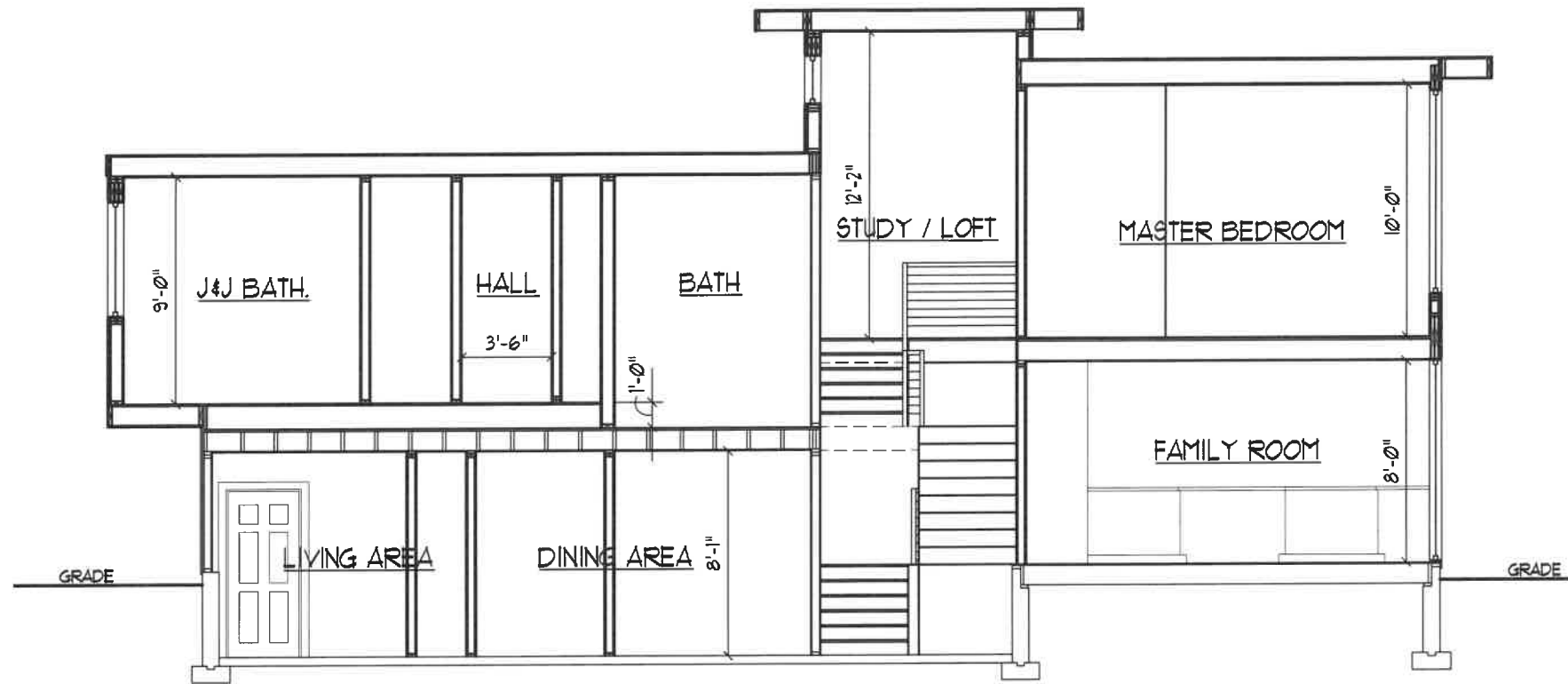
LINE OF WALL
BELOW ROOF

CHIMNEY

NOTE:
ALL ROOFS TPO SINGLE-PLY MEMBRANE
ROOF AND WILL BE PITCHED AT 1/4"
PER FOOT TOWARD PERIMETER.

PROPOSED ROOF PLAN
SCALE: 1/4"=1'-0" DATE: 1/10/22

AKL architectural
services
WWW.AKLARCH.COM
34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60090 847.356.8025



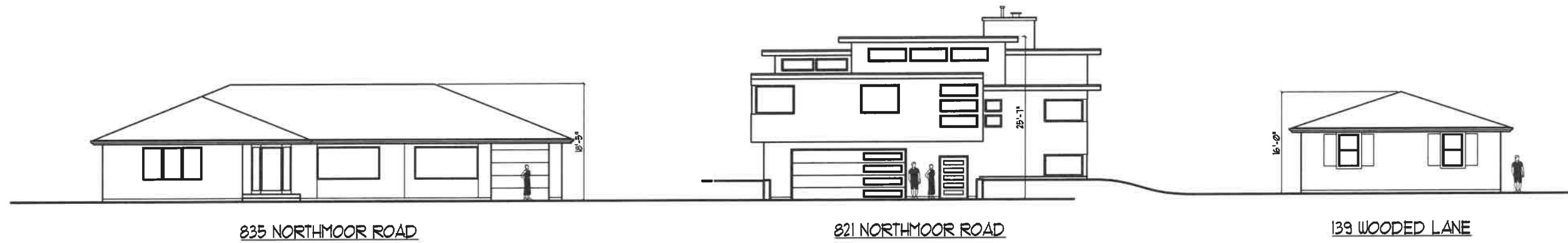
PROPOSED STAIRS SECTION
SCALE: 1/4"=1'-0"
DATE: 12/20/21

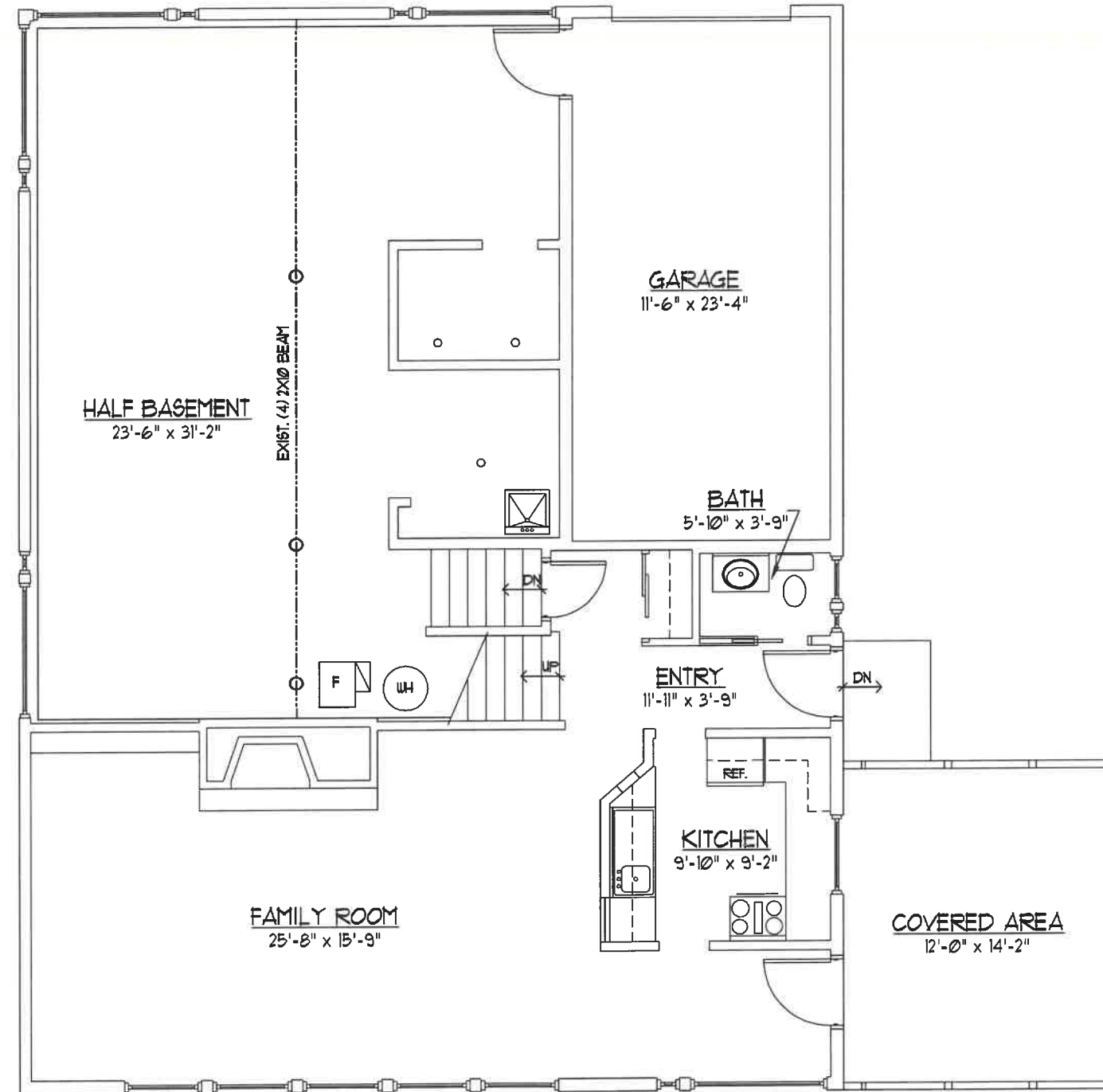
AKL architectural
services
WWW.AKLARCH.COM
34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025





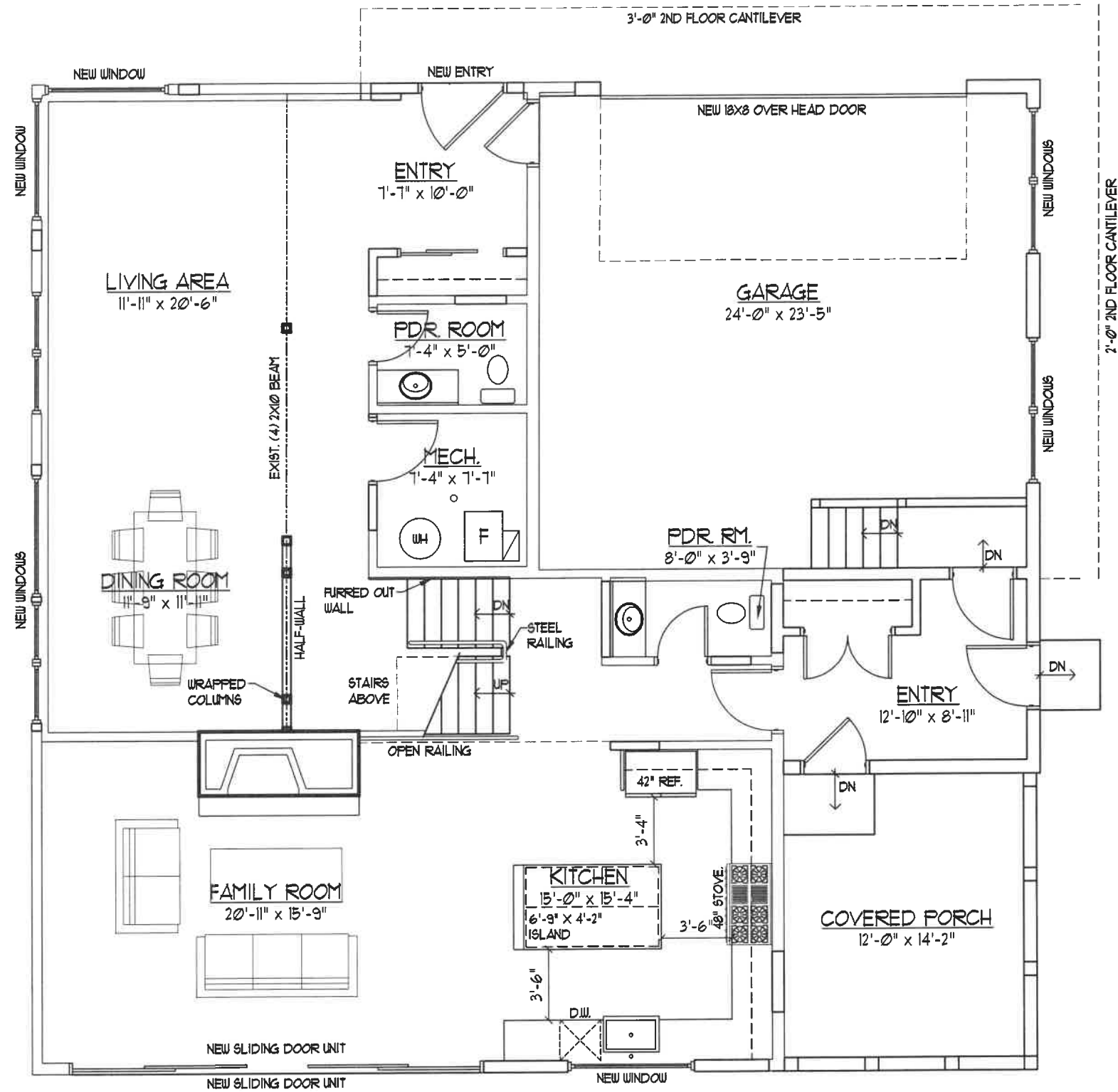
AKL
architecturalservices





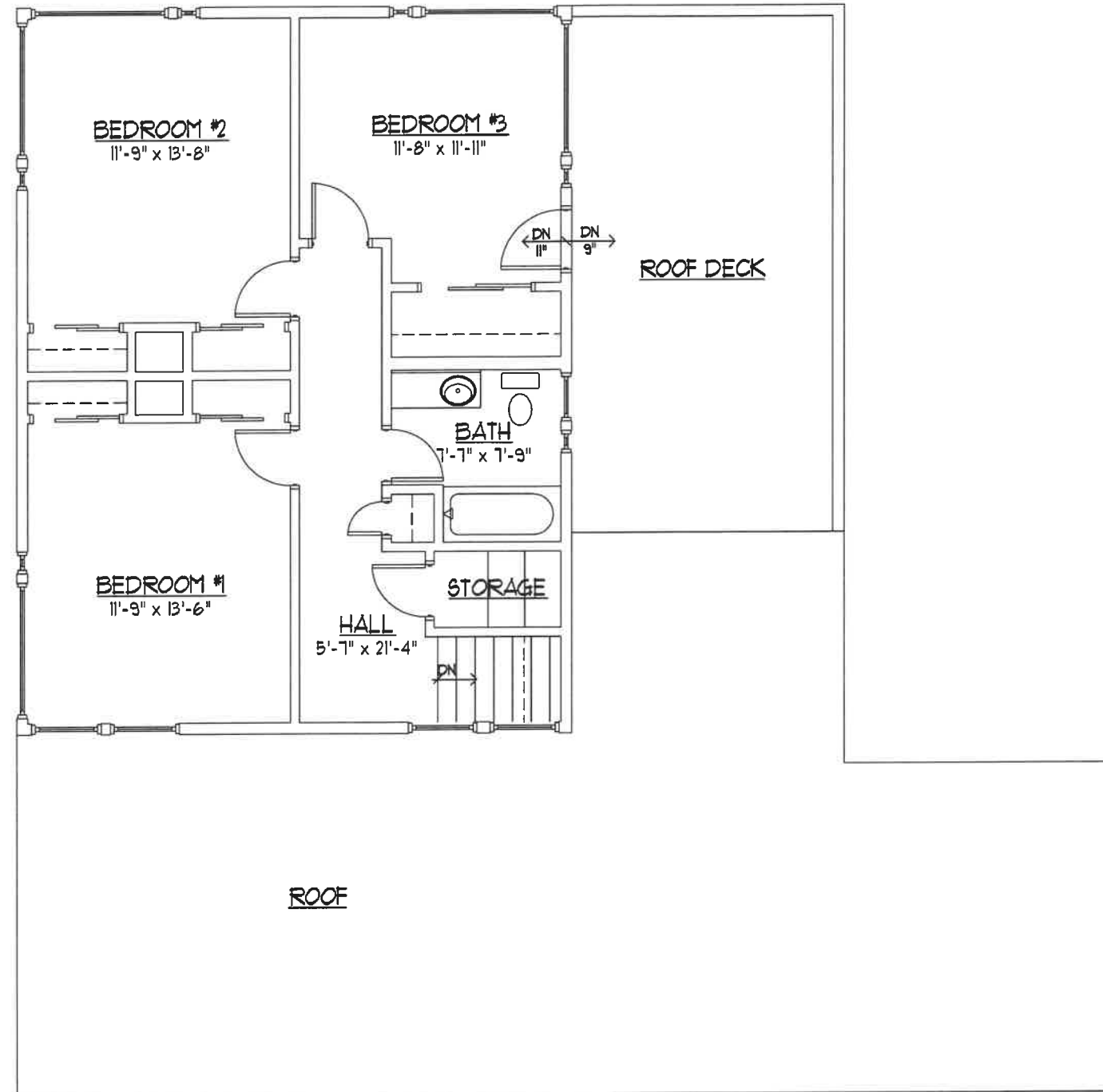
EXIST. FIRST FLOOR
SCALE: 1/4"=1'-0" DATE: 8/28/21

AKL architectural services
WWW.AKLARCH.COM
34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025



PROPOSED FIRST FLOOR
 SCALE: 1/4" = 1'-0" DATE: 1/24/22

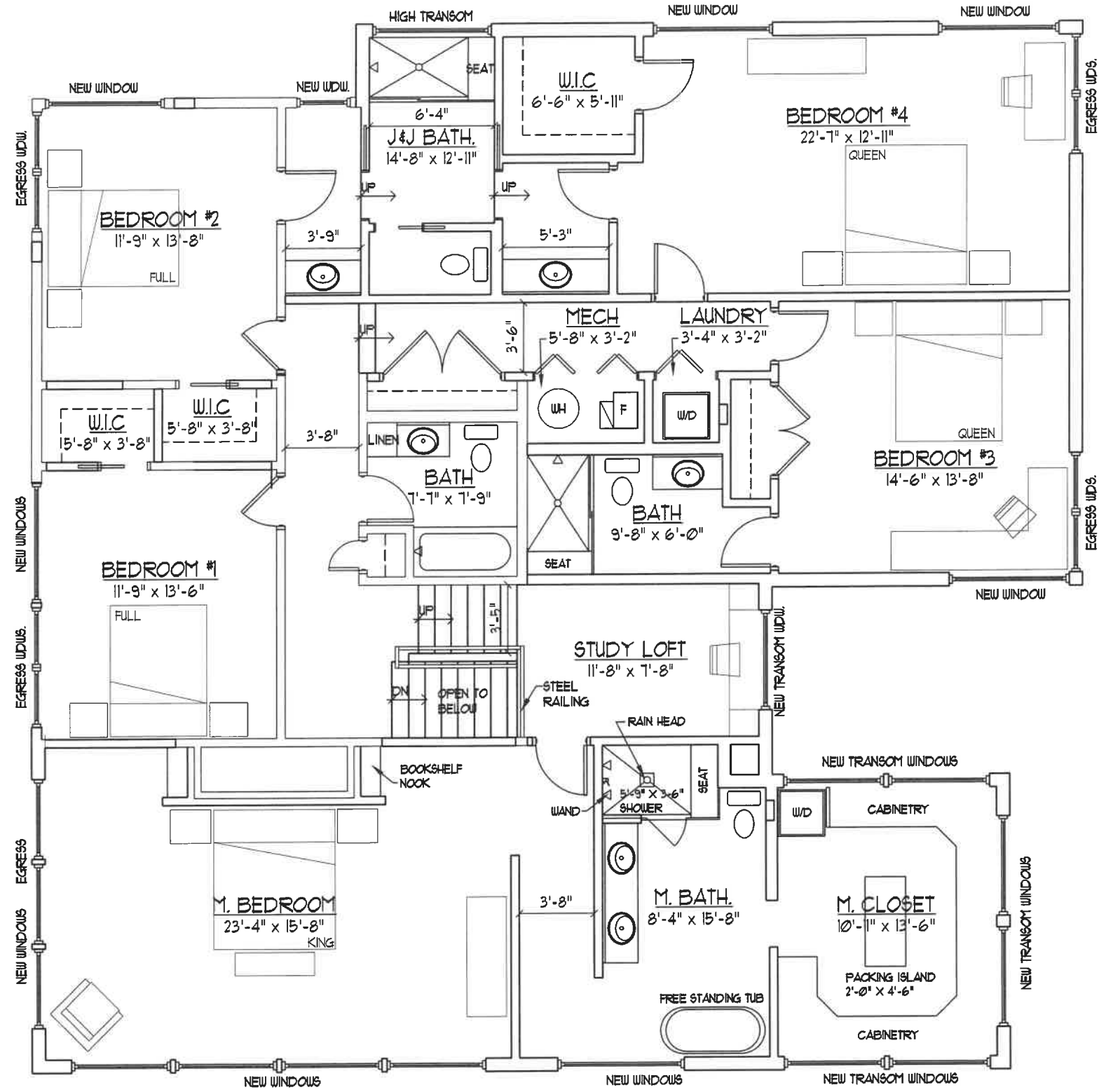
AKL architectural services
 WWW.AKLARCH.COM
 34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025



EXIST. SECOND FLOOR
SCALE: 1/4"=1'-0"

DATE: 8/28/21

AKL architectural
services
WWW.AKLARCH.COM
34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025



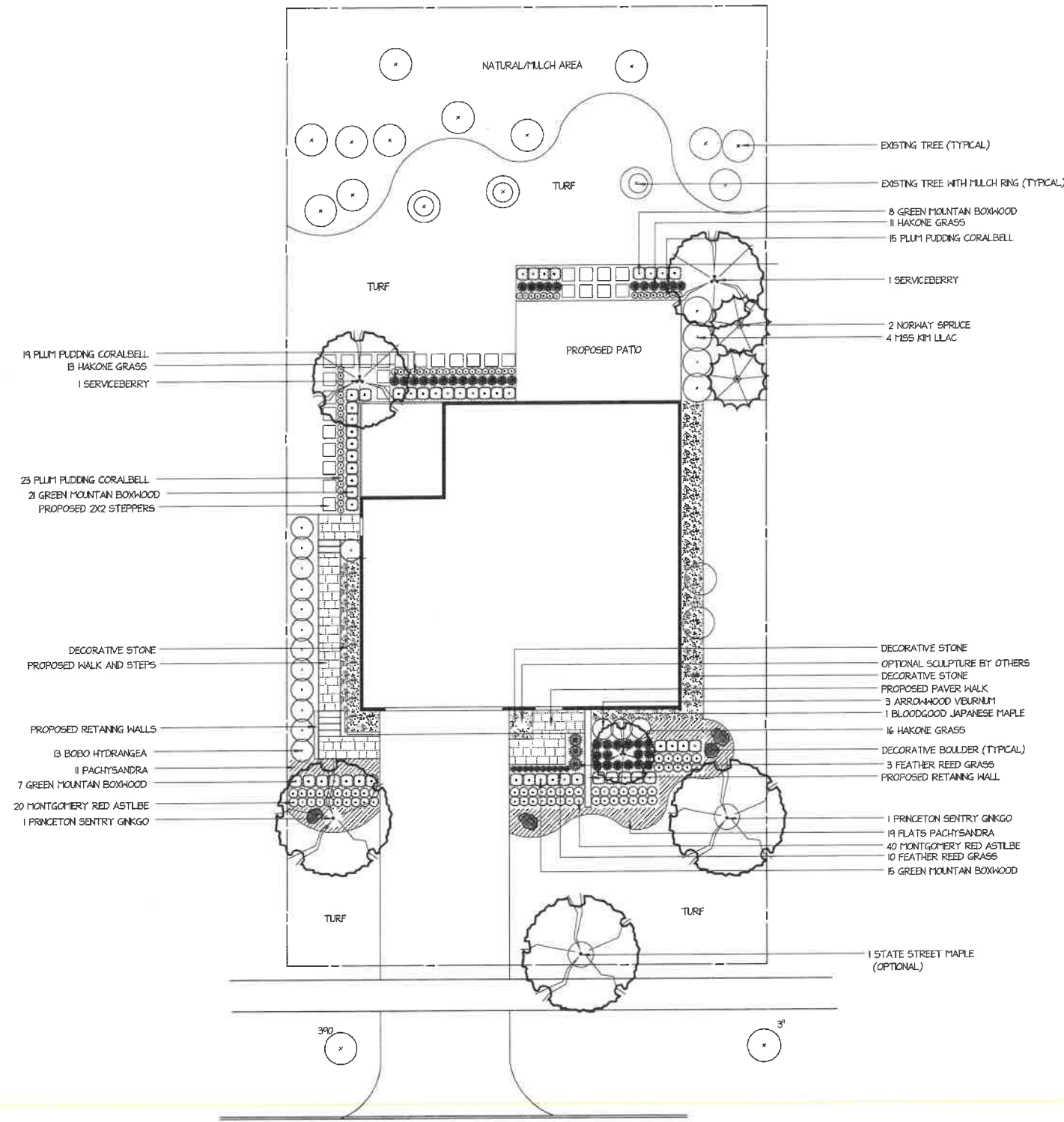
PROPOSED SECOND FLOOR
 SCALE: 1/4"=1'-0" DATE: 1/24/22

AKL architectural services
 WWW.AKLARCH.COM
 34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025

TREE INVENTORY

Tree Inventory	11/15/2021		
821 Northmoor			
Lake Forest IL 60045			
Tag #	DBH	Species	Condition
798	17	White Oak	Fair
797	15	White Oak	Good
796	14	White Oak	Fair
795	18	White Oak	Fair
794	15	White Oak	Fair
793	20	White Oak	Fair
792	20	White Oak	Fair
791	15	Red Oak	Fair
790	13	White Oak	Fair
789	9	Hemlock	Good
788	17	Hemlock	Fair
787	10	Hemlock	Fair
786	12	White Oak	Dead
785	14	White Oak	Fair
784	21	White Oak	Fair
783	4	Buckthorn	Good
782	8	Spruce	Poor
781	7.5	Pine	Dead
780	21	Hemlock	Dead
779	13	Hemlock	Poor
778	25	Red Oak	Fair
777	18	Hemlock	Fair
776	19	Red Oak	Poor
775	7	Spruce	Fair
774	11	Red Cedar	Fair
773	14	Red Cedar	Fair
772	15	Red Cedar	Fair
771	16	Red Cedar	Fair
770	26	Red Cedar	Fair
769	14	Arborvitae	Fair
768	10	Red Cedar	Fair
767	6	Arborvitae	Fair
760	22	Linden	Fair
761	19	White Oak	Fair
762	19	White Oak	Fair
Completed by:			
Miriam Kaufman			
Certified Arborist, TRAQ, IL-9245A			

OVERALL LANDSCAPE SITE PLAN



Qty	Botanical Name	Common Name	Size/Condition
Trees			
1	<i>Acer miyabei</i> Morton	STATE STREET MAPLE	4"
1	<i>Acer palmatum</i> 'Bloodgood'	BLOODGOOD JAPANESE MAPLE	6"
2	<i>Amelanchier grandiflora</i>	SERVICEBERRY	8"
2	<i>Ginkgo biloba</i> 'Princeton Sentry'	PRINCETON SENTRY GINKGO	4"
Conifers			
2	<i>Picea abies</i>	NORWAY SPRUCE	8"
Shrubs			
51	<i>Buxus 'Green Mountain'</i>	GREEN MOUNTAIN BOXWOOD	18"
13	<i>Hydrangea paniculata</i> 'Bobo'	BOBO HYDRANGEA	#3
4	<i>Syringa patula</i> 'Miss Kim'	MISS KIM LILAC	36"
3	<i>Viburnum dentatum</i> 'Ralph Senior'	ARROWWOOD VIBURNUM	36"
Ornamental Grasses			
13	<i>Calamagrostis 'Karl Foerster'</i>	FEATHER REED GRASS	1 Gallon
40	<i>Hakonechloa 'Aureola'</i>	HAKONE GRASS	1 Gallon
Perennials and Annuals			
60	<i>Astilbe 'Montgomery Red'</i>	MONTGOMERY RED ASTILBE	1 Gallon
57	<i>Heuchera 'Plum Pudding'</i>	PLUM PUDDING CORALBELL	1 Gallon
Groundcovers			
30	<i>Pachysandra 'Green Carpet'</i>	PACHYSANDRA	Flat

No.	Date	Description



OVERALL LANDSCAPE PLAN

821 NORTHMOOR ROAD
LAKE FOREST, ILLINOIS

SCALE: 1" = 10' - 0"
DRAWN BY: KEB
CHECKED BY:
DATE: JANUARY 11, 2022
DATE OF PRINT:

PROJECT NO.
SHEET NO.
L 1.0











Agenda Item 6
1401 N. Western Avenue
Exterior Alterations & Third Floor Addition

Staff Report
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Existing and Proposed Site Plans
Existing and Proposed West Elevations
West Elevation Overlay
Existing and Proposed North Elevations
North Elevation Overlay
Existing and Proposed East Elevations
East Elevation Overlay
Existing and Proposed South Elevations
South Elevation Overlay
Streetscape Elevations
Color Renderings
Material Palette
Roof Plan
Building Sections
Demolition Floor Plans
Proposed Floor Plans
Images of Existing Building and Surrounding Area

1401 N. Western Avenue

Consideration of a request for approval of alterations to an existing office building to allow the adaptive reuse of the building for residential units. The alterations include, the addition of a third floor, modification of the street facing façade and changes to exterior building materials. A height variance is requested.

**Property Owner: 1401 North Western LLC, (Carmen Speranza, 100%)
Contract Purchaser: Tom Swarthout, The Highview Group Ltd.
Project Representative: Robert Shemiot, architect**

Staff Contact: Jen Baehr, Planner

Summary of Request and Background

This property is located on the east side of Western Avenue and backs up to the railroad tracks. The site has 70 feet of street frontage and is 200 feet in length. The office building footprint occupies slightly less than half of the property and the rear of the site, the east half of the property, behind the building, is developed with a parking lot for the occupants of the building. A north/south alley runs through the property and to the east of the alley is a strip of land which is part of the subject property, that is partially vegetated and configured for parallel parking for occupants of the building. Railroad right of way is located to the east of the property.

The existing building on the property is a two-story office building that was constructed in the 1970s. The petitioner is proposing to convert the existing office building into a multi-family residential building. Based on the petitioner's statement of intent, the building will have nine residential units. Exterior alterations and the addition of a third floor are proposed. A height variance is requested to accommodate the third floor and the mechanical penthouse that is needed to provide roof top access to the mechanical equipment.

This petition is presented to the Board for consideration of the design aspects of the project. The proposed expansion of the building will be considered by the Plan Commission later this month, the Code requires review of the design aspects of the building prior to Plan Commission action in this case.

Staff Evaluation and Recommendations

An evaluation of the project based on the applicable standards and recommendations are offered below for the Board's considerations.

Site Plan – This standard is met.

The site plan will not change significantly. The front of the building will be infilled in the area of the existing recessed entry. The expansion will align with the existing west wall of the building and will generally follow the established line of buildings along the streetscape. The courtyard at the northeast corner of the building will remain and a new narrow courtyard is proposed on the south side of the building. The parking lot at the rear of the property will remain and will be restored. Currently, there are three parallel parking spaces along the east end of the site. If needed, that space can be reconfigured to create additional parking spaces perpendicular to the railroad tracks.

Building Elevations – This standard is met.

The proposed exterior alterations are intended to update and enhance the appearance of the building and align the building more closely with the architectural character and exterior materials found along this portion of Western Avenue. The wood siding will be removed and replaced with brick. All the existing windows and doors will be removed and replaced. New casement style windows and French doors are proposed around the building. Limestone headers and sills are proposed. A new recessed front entry door with sidelights is proposed, presenting a residential and human scale element on the street facing façade. Decorative brickwork is proposed on the front of the building between the first and second floor windows. Steel Juliette balconies are proposed on the front of the building and deeper balconies are proposed on the north and east sides of the building, overlooking the courtyard.

The third floor addition is proposed as a mansard roof form, which helps to bring a residential appearance to the building with a pitched roof form as opposed to a flat roof. The mansard roof also allows the building to read as a two-and-a-half story structure rather than a full three-story building. The mansard roof steps back at the northwest and southwest corners, reducing the appearance of mass on the front façade. A metal stair enclosure is proposed to provide access to the roof top mechanicals. The stair enclosure is setback 48 feet from the front of the building and will not be visible from the street. The mechanical equipment will be housed on the roof and will also be setback from the perimeter of the building and will not be visible from the street.

Building Massing and Height – A variance is requested.

A third floor addition is proposed to the two story building. As noted above, because of the mansard roof, the third floor does not visually appear as a full story. The mansard roof slopes away from the front of the building providing relief from the solid walls below.

The existing building is 24 feet and 7 inches tall, measured from grade to the top of the coping of the parapet wall. The allowable height for a building in the business district is 35 feet. The height of the building as proposed is 37 feet and 2 inches, as measured from grade to the top of the mansard roof. The stair enclosure extends 9 feet above the mansard roof. As noted above, the stair enclosure is needed to provide access to the mechanical equipment located on the roof. In business and office districts, mechanical penthouses are exempt from the building height limitations because they are considered a necessity.

The petitioner is requesting a height variance to allow the height of the building to exceed the maximum building height for this area by 2 feet and 2 inches. Again, the stair enclosure provided roof top access is exempted from the limitation. There are a variety of building heights in the surrounding area. The adjacent buildings to the north and south are two-story office buildings. There is a single-story office building across the street on the northwest corner of Western Avenue and Thomas Place. The Crystal Point residential development is comprised of five, three-story residential buildings that range in height from 35 feet to just over 37 feet tall. Further south on Western Avenue, there are other multi-story buildings including a three-story residential building at 1301 N. Western Avenue, and the Kelmscott Park multi-family residential buildings, which are three and a half stories tall, and are 45 feet tall, as measured from grade to the tallest roof ridge.

Type, color, and texture of materials – This standard is met.

The proposed exterior consists of high-quality materials including brick exterior walls, Indiana limestone for the cornice, headers, sills, and coping, standing-seam metal for the mansard roof and stair enclosure, steel balconies, and aluminum clad wood windows with interior and exterior muntin bars.

A sample of the proposed brick is available at the City's Municipal Services building. The brick product is Glen-Gery's "Illini Commons" and was chosen by the petitioner because of its compatibility with the buildings in the area. This color of brick was also chosen because of its use in many of the historic buildings in the Central Business District. The balcony, window and door color will be bronze, and the mansard roof color will be dark gray.

Landscaping – This standard is met.

There is a limited amount of space on the site for landscaping. The petitioner is proposing new planting areas in front of the building, on either side of the entrance. The courtyard on the northeast side of the building will be relandscaped. The existing tree in the courtyard is proposed for removal. A landscape plan has not yet been submitted, as the plans are developed further, a plan that details the species, quantity and size of the new plantings must be submitted and will be subject to review and approval by staff.

Public Comment

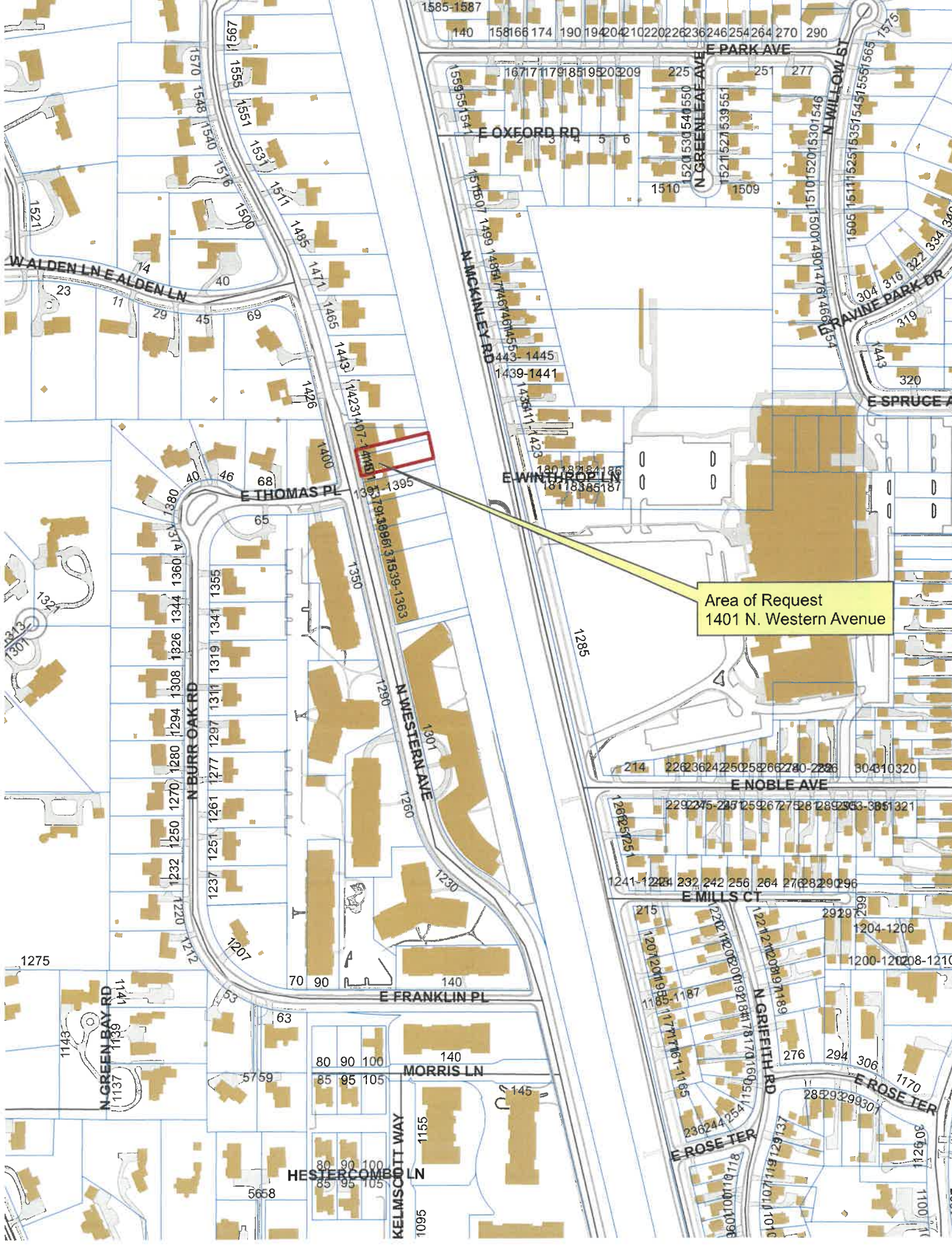
Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Recommend approval of the alterations to an existing building, including modification of the street facing façade, changes to exterior building materials, and a height variance to allow construction of a third floor addition, subject to the conditions as detailed below.

1. Any modifications that are made to the plans in response to direction or suggestions from the Board or as the result of final design development shall be clearly called out on the plans as modifications from the plans presented to the Board. A copy of the plans originally provided to the Board shall be included in the submittal for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
2. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, *except those illuminated by natural gas at low light levels*, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
3. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist.

4. Prior to the issuance of a building permit, a materials' staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on Western Avenue, the surrounding neighborhood and to assure coordination with the upcoming Burr Oak storm sewer project.



Area of Request
1401 N. Western Avenue



Area of Request
1401 N. Western Avenue



Area of Request
1401 N. Western Avenue



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1401 N. Western Ave.

APPLICATION TYPE

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input checked="" type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input checked="" type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

1401 N Western, LLC

Owner of Property
1401 N. Western ave.

Owner's Street Address (may be different from project address)
Lake Forest, IL 60045

City, State and Zip Code
847.615.1090

Phone Number _____ *Fax Number* _____

Email Address _____

Owner's Signature

ARCHITECT/BUILDER INFORMATION

Tom Swarthout

Name and Title of Person Presenting Project
Highview Group

Name of Firm
778 N. Western ave.

Street Address
Lake Forest, IL

City, State and Zip Code
847.987.8962

Phone Number _____ *Fax Number* _____

Email Address _____

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

<i>Please email a copy of the staff report</i>	<input checked="" type="checkbox"/> OWNER	<input checked="" type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



1401 N. Western Building
Lake Forest, Illinois

City of Lake Forest – Building Review Board
Statement of Intent & Response to Standards of Review

January 21, 2022

SUMMARY STATEMENT

The existing building at 1401 N Western was built in 1980. The two-story office building has sat on the market for roughly four years with little to no commercial interest. The issues at hand are: 1) the current east and west facades are in need of major repair; 2) the building's architectural style is not appealing nor congruent with the timeless, classic aesthetic of Lake Forest's architecture; 3) the location is seen as too remote for commuter accessibility; 4) the building has no ADA access and; 5) the office space layouts are awkwardly partitioned. Pending approvals, It will be purchased by Mr. Swarthout with the intent of converting it into a multi-family residential development offering a mix of two "two bedroom" and seven "three bedroom" apartments which are scarcely available and highly desirable. The existing residential buildings around our site are 3 story buildings. And to offset construction costs and be economically viable, more units are required than the existing building provides. Therefore, our proposed design includes a third story within the existing footprint. A new façade is proposed with multiple architectural enhancements that will make the building feel distinguished, and perceived to be more in line with the preserved architecture standards Lake Forest is so well known for. Repurposed "common brick" will line the exterior street views and be topped with timeless limestone cap. Painted bronze iron balconies will create a rhythm and provide a masterful blend to the historic brick with an eye-catching standing seam bronze painted mansard roof. The new design with a more timeless appeal, will complement the surrounding community and fulfill the interests of the CBD by providing new dwelling units within the district.

Variance being requested:

1. Height variance:

The maximum height requirement for buildings in the B-2 district is 35'. Our proposed building will exceed this by 2'-2" to roof coping @ 37'-2" and 11'-2" to the roof stair enclosure @ 46'-2".

Standards of review for Architectural and Site Design Review:

Standard 1 - Site Plan. All setbacks should be met or exceeded and disturbance to the natural landscaping on the property should be minimized. Driveway and parking areas should be screened to reduce visual intrusions into surrounding properties. Screening, fencing, gates and pillars should be consistent in design and materials with the principal buildings and the surrounding neighborhood.

These standards are met with the current design. The site plan was developed to preserve the existing elements of the site. All design elements are consistent with Lake Forest design guidelines and the surrounding neighborhood. Landscaping will be provided on the planting area that fronts the building on N Western Ave.

Standard 2 - Elevations. The scale and height of the project should comply with Code requirements and should be visually compatible with the landscaping, topography, and buildings on the site and in the neighborhood. The visual continuity of roofs should be maintained in building development or redevelopment. To the extent possible, the project should be consistent with a chosen style of architecture. The elevations of the project should be proportional to the property and surrounding neighborhood.

All these standards are met with the current design. The thoughtful scale, the setback of the building mass with the proposed third floor balconies which front on N Western Ave. and the flat roof lines and elevations respond to the details and hierarchy of the Lake Forest design guidelines and the surrounding neighborhood buildings and landscape.

Standard 3 - Landscaping. Landscaping plans should be consistent with the natural environment of the site and surrounding properties. Existing natural features should be appropriately preserved and integrated into the project.

All of these standards are met with the current design. Landscape design will enhance the project compared to the existing overgrown bushes and the project will maintain the existing outdoor courtyard space at the rear of the building.

Standard 4 - Type, Color and Texture of Materials. Exterior materials should be of the highest quality, appropriate for the intended use, and consistent with the chosen architectural style. Imitation and synthetic substitutions should be avoided, and the design, material and color scheme should be compatible with and enhance the character of the property and the surrounding neighborhood.

All these standards are met with the current design.

Standard 5 - Overall Site Layout. The building layout should maximize the distance between buildings on the site and adjacent properties. The size, scale and nature of a building or project should be consistent with the existing streetscape and character of the neighborhood.

Maximizing the distance between buildings is Not applicable as the existing building on site and adjacent properties have zero lot lines. The size, scale and nature of the proposed addition is consistent with existing 3 story residential buildings in the neighborhood and on N Western Ave.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- | | |
|--|---|
| <input checked="" type="checkbox"/> Stone | <input type="checkbox"/> Wood Shingle |
| <input checked="" type="checkbox"/> Brick | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Synthetic Stucco |
| | <input checked="" type="checkbox"/> Other <u>Standing Seam Metal Mansard Roof</u> |
- Color of Material Brick Color

Window Treatment

Primary Window Type

- Double Hung
 Casement
 Sliding
 Other _____

Finish and Color of Windows

- Wood
 Aluminum Clad
 Vinyl Clad
 Other _____
Color of Finish Bronze

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Synthetic Material _____
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Synthetic Material _____
 Other _____

Fascias, Soffits, Rakeboards

- Wood
 Other Painted Aluminum
 Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____ X

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal _____
- Other _____

Color of Material _____

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____



1401 N Western Ave Building

Lake Forest, Illinois

City of Lake Forest – Building Review Board

Impervious Surface Calculation

January 21, 2022

	EXISTING IMPERVIOUS AREA (SF)	PROPOSED IMPERVIOUS AREA (SF)
BUILDING	4,882	5,079
PARKING LOT	7,134	7,583
PATIOS	0	0
WALKWAYS	517	221
EQUIP. PADS	56	56
BALCONIES	0	154
TOTALS	12,589	13,093
% OF LOT	89.6%	93.2%
LOT SIZE: 14,044 SF		



Divvy House

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiol Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiol@gmail.com



1401 N Western Ave,
Lake Forest, IL

Issue	Rev	Date	By	Description
	11/01/21	RTS		CONCEPTUAL PLANS
	12/20/21	RTS		CLIENT MEETING
	1/06/22	RTS		CLIENT MEETING
	1/12/22	RTS		ZONING MEETING
	1/21/22	RTS		BUILDING REVIEW BOARD

Drawing Title
Site Plans and
Parking Lot
Layout

A001
Sheet

These plans, drawings and specifications are the property of Robert Shemiol Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2022 Robert Shemiol Architects

SITE PLAN REQUIREMENTS

A. MAX HEIGHT	ALLOWED	ACTUAL
1. PRINCIPAL STRUCTURE	35'	37'-2"
2. STAIR ENCLOSURE	35'	46'-2"

B. LOT AREA

1. LOT AREA	14,042 SF
-------------	-----------

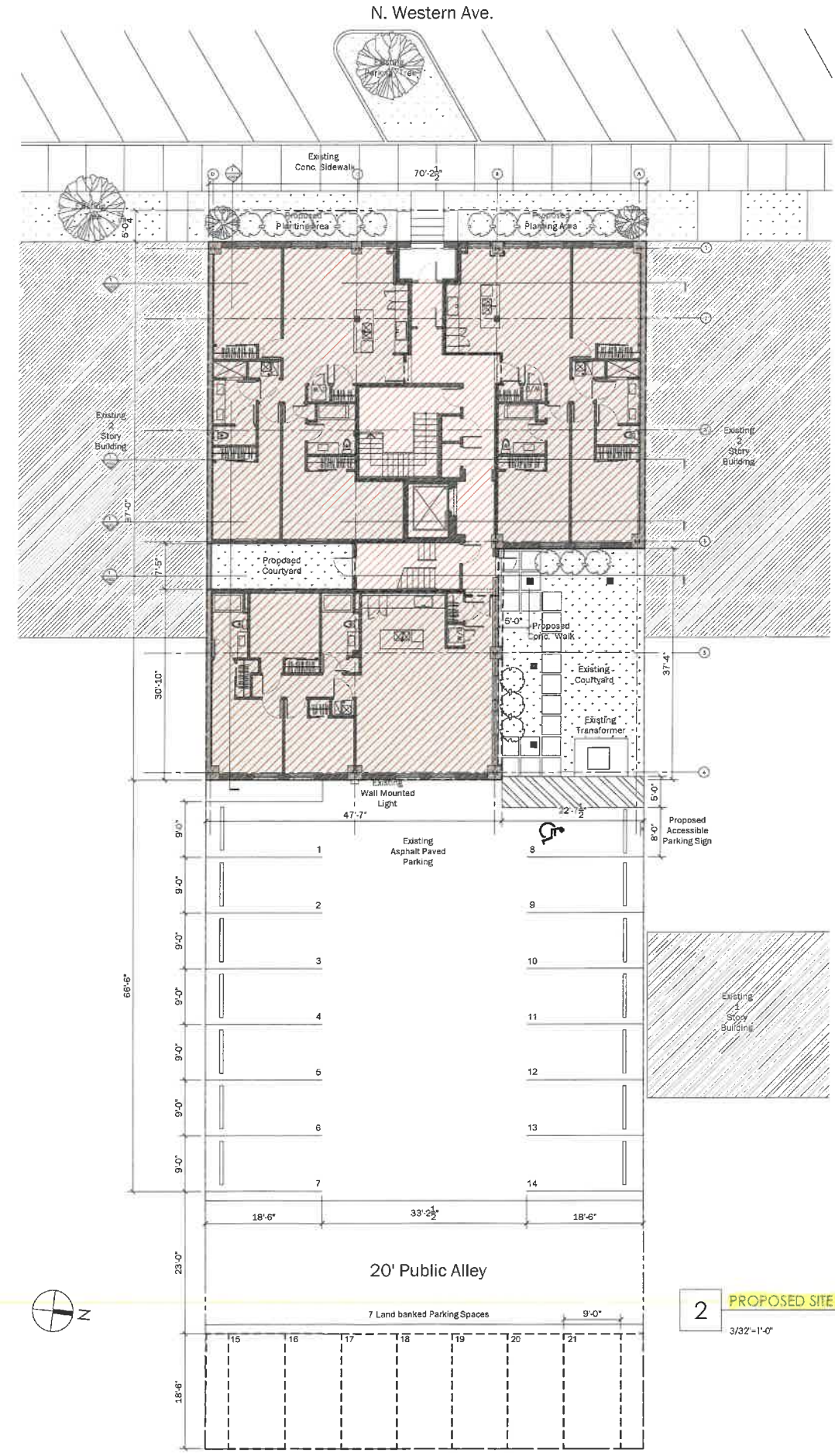
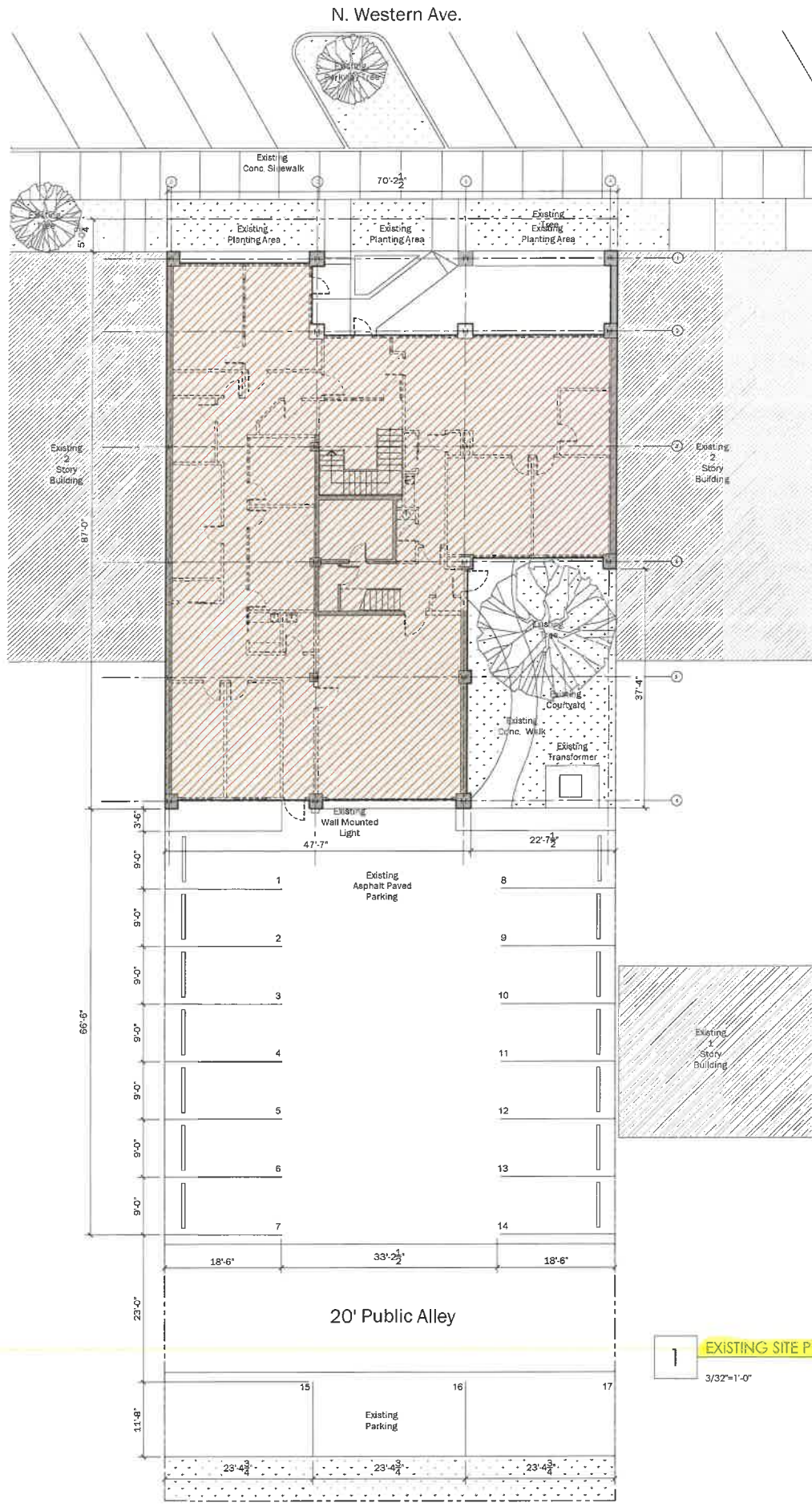
C. FLOOR AREA RATIO

1. EXISTING - FAR O.S.	7,021 SF	8,776 SF
2. PROPOSED - FAR O.S.	7,021 SF	13,906 SF
3. PLANNED DEVELOPMENT - FAR I.S.	14,021 SF	13,906 SF

The floor area ratio for the 8-2 District is 0.50. A higher floor area ratio may be considered through the Central Business District Planned Development procedures in § 159.114.

D. PARKING

1.83 PARKING SPACES / 2 BR DU	3.66 SPACES
2.33 PARKING SPACES / 3 BR DU	16.36 SPACES
TOTAL SPACES REQ.	20 SPACES
TOTAL PARKING SPACES PROVIDED W/ LANDBANKED PARKING SPACES	21 SPACES





Divvy House

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiol Architects
25 E Superior Unit 1804
Chicago, IL 60611
312.622.5377
robertshemiol@gmail.com



1401 N Western Ave,
Lake Forest, IL

Issue	Rev	Date	By	Description
		11/01/21	RTS	CONCEPTUAL PLANS
		12/20/21	RTS	CLIENT MEETING
		1/06/22	RTS	CLIENT MEETING
		1/12/22	RTS	MEETING ZONING
		1/21/22	RTS	MEETING BUILDING REVIEW BOARD

Drawing Title
West - Front Elevations

A200
Sheet

These plans, drawings and specifications are the property of Robert Shemiol Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2022 Robert Shemiol Architects

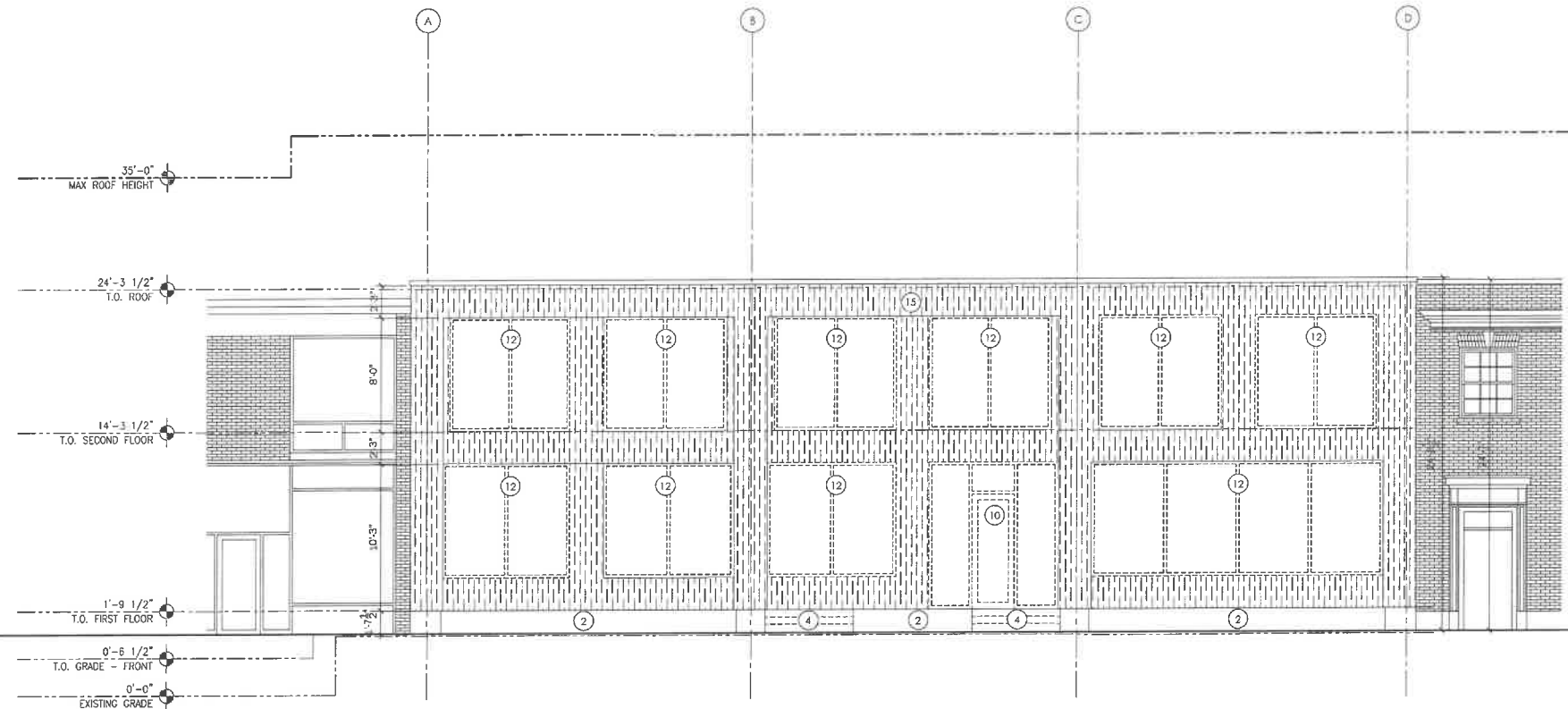
- EK. WOOD SIDING TO BE REMOVED
- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- DEMOLITION KEY NUMBER

DEMO GENERAL NOTES:

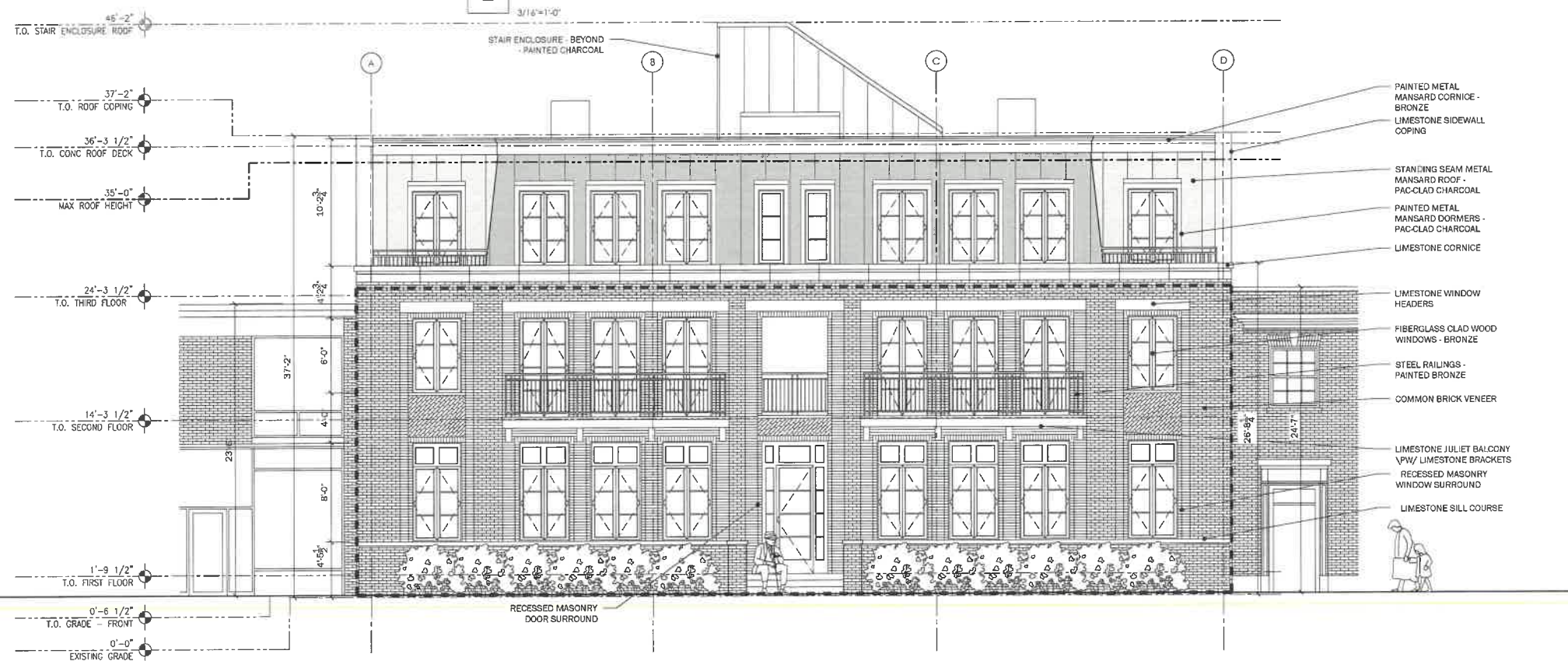
1. CONTRACTOR SHALL INSPECT THE WORK SITE PRIOR TO SUBMISSION OF BIDS AND VERIFY ALL ITEMS AND QUANTITIES TO BE DEMOLISHED.
2. VERIFY LOCATIONS OF ALL UTILITIES TO REMAIN AND THOSE TO BE REMOVED.
3. DO NOT DAMAGE EXISTING ADJACENT FINISHES SCHEDULED TO REMAIN.
4. COORDINATE SCOPE AND EXTENT OF DEMOLITION WORK WITH NEW WORK PLANS AND DETAILS.
5. REMOVE THE ENTIRETY OF WALL ASSEMBLY TO BE DEMOLISHED, REGARDLESS OF CONCEALED ELEMENTS INSIDE THE PARTITION. ALL QUESTIONS AS TO SCOPE OF THE DEMOLITION WORK SHALL BE DIRECTED TO DIVVYHOUSE.
6. PLUMBING: REMOVE ALL (E) PLUMBING FIXTURES AND FITTINGS, DRAINAGE AND EQUIPMENT AS REQUIRED FOR THE NEW WORK.
7. MECHANICAL: REMOVE (E) MECHANICAL EQUIPMENT AND DUCTWORK, AS REQUIRED FOR NEW WORK.
8. ELECTRICAL: ALL EXISTING DOWNLIGHTS, WALL SCONCES AND SPECIALTY LIGHT FIXTURES TO BE REMOVED AS REQUIRED FOR THE NEW WORK. U.O.N. EXISTING ELECTRICAL OUTLETS TO REMAIN TO BE VERIFIED.
9. FLOORING: REMOVE ALL EXISTING TILE, CARPET, AND HARDWOOD FLOORING AS REQUIRED FOR THE NEW WORK.
10. CASEWORK: REMOVE ALL EXISTING CASEWORK AS REQUIRED FOR THE NEW WORK.
11. REMOVE DEMOLITION MATERIALS FROM SITE PROMPTLY AND DISPOSE OF PROPERLY OFF SITE.

DEMO KEY NOTES

- REMOVE EX. STONE TILE
- REMOVE EX. CONC STEPS
- REMOVE EX. DOOR & FRAME
- REMOVE EX. WINDOW
- REMOVE EX. WOOD SIDING



2 EXISTING WEST ELEVATION
3/16"=1'-0"



1 PROPOSED WEST ELEVATION
3/16"=1'-0"

- PAINTED METAL MANSARD CORNICE - BRONZE
- LIMESTONE SIDEWALL COPING
- STANDING SEAM METAL MANSARD ROOF - PAC-CLAD CHARCOAL
- PAINTED METAL MANSARD DORMERS - PAC-CLAD CHARCOAL
- LIMESTONE CORNICE
- LIMESTONE WINDOW HEADERS
- FIBERGLASS CLAD WOOD WINDOWS - BRONZE
- STEEL RAILINGS - PAINTED BRONZE
- COMMON BRICK VENEER
- LIMESTONE JULIET BALCONY V/PW LIMESTONE BRACKETS
- RECESSED MASONRY WINDOW SURROUND
- LIMESTONE SILL COURSE

WEST ELEVATION OVERLAY



Divvy House

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiot Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiot@gmail.com



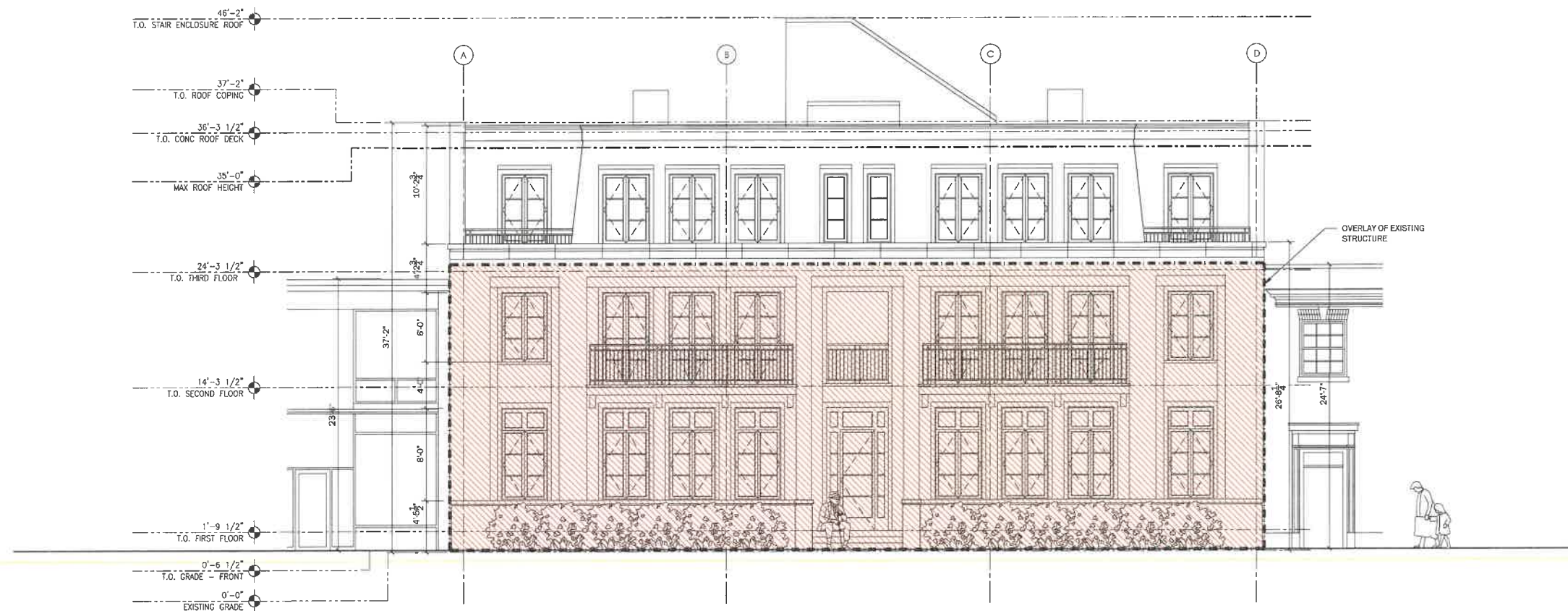
1401 N Western Ave,
Lake Forest, IL

Issue	Rev	Date	By	Description
		11/01/21	RTS	CONCEPTUAL PLANS
		12/20/21	RTS	CLIENT MEETING
		1/06/22	RTS	CLIENT MEETING
		1/12/22	RTS	ZONING MEETING
		1/21/22	RTS	BUILDING REVIEW BOARD

Drawing Title
West - Front
Elevation -
Overlay

A200b
Sheet

These plans, drawings and specifications are the property of Robert Shemiot Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2022 Robert Shemiot Architects



1 PROPOSED WEST ELEVATION - OVERLAY
3/16"=1'-0"



Divvy House

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiot Architects
25 E Superior Unit 1804
Chicago, IL 60611
312.622.5377
robertshemiot@gmail.com



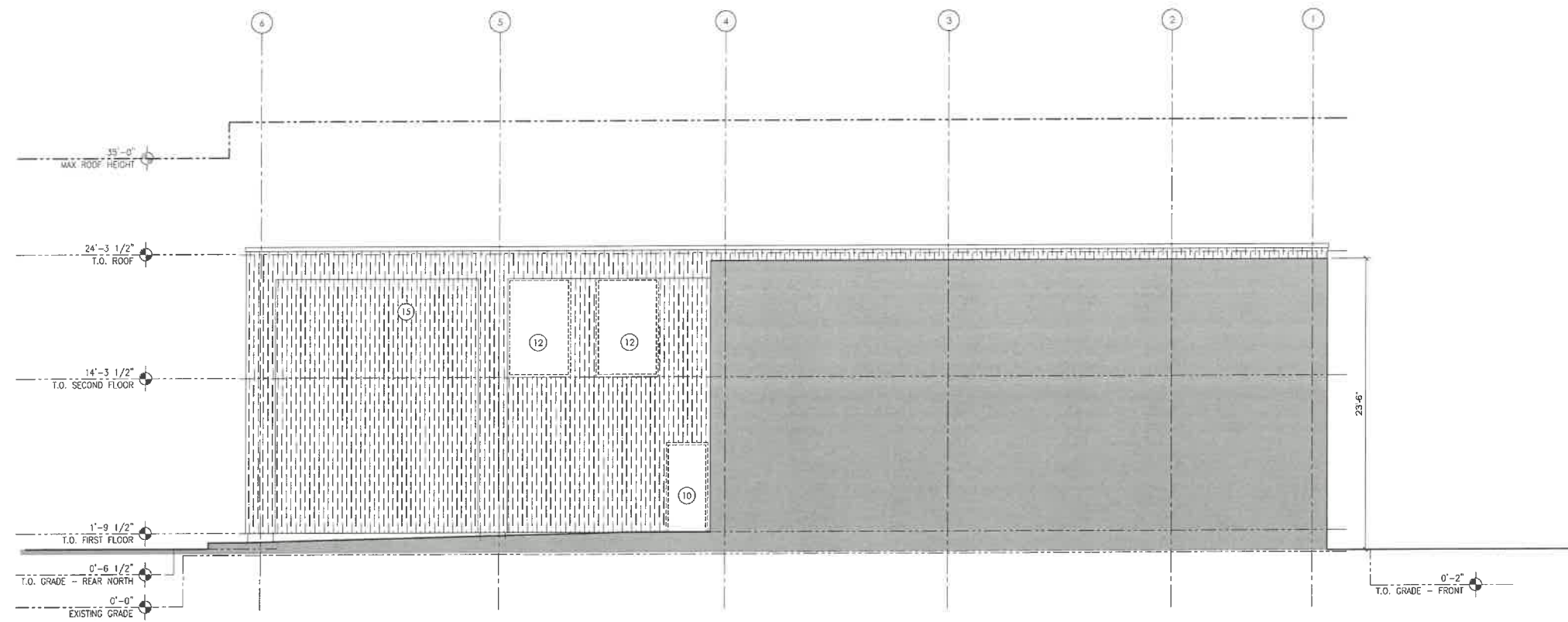
1401 N Western Ave,
Lake Forest, IL

Issue	Rev	Date	By	Description
	11/01/21	RTS		CONCEPTUAL PLANS CLIENT
	12/20/21	RTS		MEETING CLIENT
	1/06/22	RTS		MEETING CLIENT
	1/12/22	RTS		MEETING ZONING
	1/21/22	RTS		MEETING BUILDING REVIEW BOARD

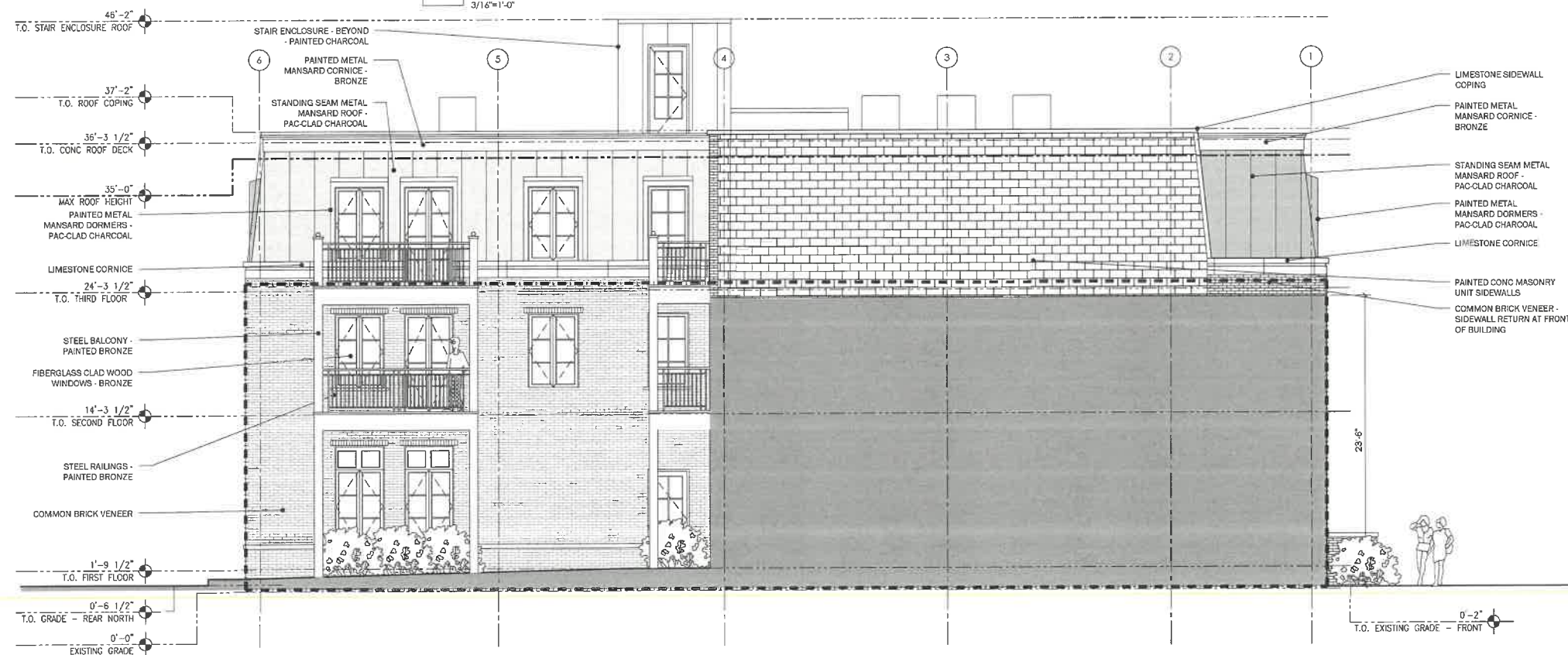
Drawing Title
North - Side Elevations

A201
Sheet

These plans, drawings and specifications are the property of Robert Shemiot Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2022 Robert Shemiot Architects



2 EXISTING NORTH ELEVATION
3/16"=1'-0"



1 PROPOSED NORTH ELEVATION
3/16"=1'-0"

- DEMOLITION KEY
- EX. WOOD SIDING TO BE REMOVED
 - EXISTING TO BE REMOVED
 - EXISTING TO REMAIN
 - DEMOLITION KEY NUMBER

- DEMO GENERAL NOTES:
1. CONTRACTOR SHALL INSPECT THE WORK SITE PRIOR TO SUBMISSION OF BIDS AND VERIFY ALL ITEMS AND QUANTITIES TO BE DEMOLISHED.
 2. VERIFY LOCATIONS OF ALL UTILITIES TO REMAIN AND THOSE TO BE REMOVED.
 3. DO NOT DAMAGE EXISTING ADJACENT FINISHES SCHEDULED TO REMAIN.
 4. COORDINATE SCOPE AND EXTENT OF DEMOLITION WORK WITH NEW WORK PLANS AND DETAILS.
 5. REMOVE THE ENTIRETY OF WALL ASSEMBLY TO BE DEMOLISHED, REGARDLESS OF CONCEALED ELEMENTS INSIDE THE PARTITION. ALL QUESTIONS AS TO SCOPE OF THE DEMOLITION WORK SHALL BE DIRECTED TO DIVVYHOUSE.
 6. PLUMBING: REMOVE ALL (E) PLUMBING FIXTURES AND FITTINGS. DRAINAGE AND EQUIPMENT AS REQUIRED FOR THE NEW WORK.
 7. MECHANICAL: REMOVE (E) MECHANICAL EQUIPMENT AND DUCTWORK, AS REQUIRED FOR NEW WORK.
 8. ELECTRICAL: ALL EXISTING DOWNLIGHTS, WALL SCONCES AND SPECIALTY LIGHT FIXTURES TO BE REMOVED AS REQUIRED FOR THE NEW WORK. U.O.N. EXISTING ELECTRICAL OUTLETS TO REMAIN TO BE VERIFIED.
 9. FLOORING: REMOVE ALL EXISTING TILE, CARPET, AND HARDWOOD FLOORING AS REQUIRED FOR THE NEW WORK.
 10. CASWORK: REMOVE ALL EXISTING CASWORK AS REQUIRED FOR THE NEW WORK.
 11. REMOVE DEMOLITION MATERIALS FROM SITE PROMPTLY AND DISPOSE OF PROPERLY OFF SITE.

- DEMOLITION KEY NOTES
- (6) REMOVE EX. STONE TILE
 - (10) REMOVE EX. CONC STEPS
 - (10) REMOVE EX. DOOR & FRAME
 - (12) REMOVE EX. WINDOW
 - (15) REMOVE EX. WOOD SIDING

NORTH ELEVATION OVERLAY



Divvy House.

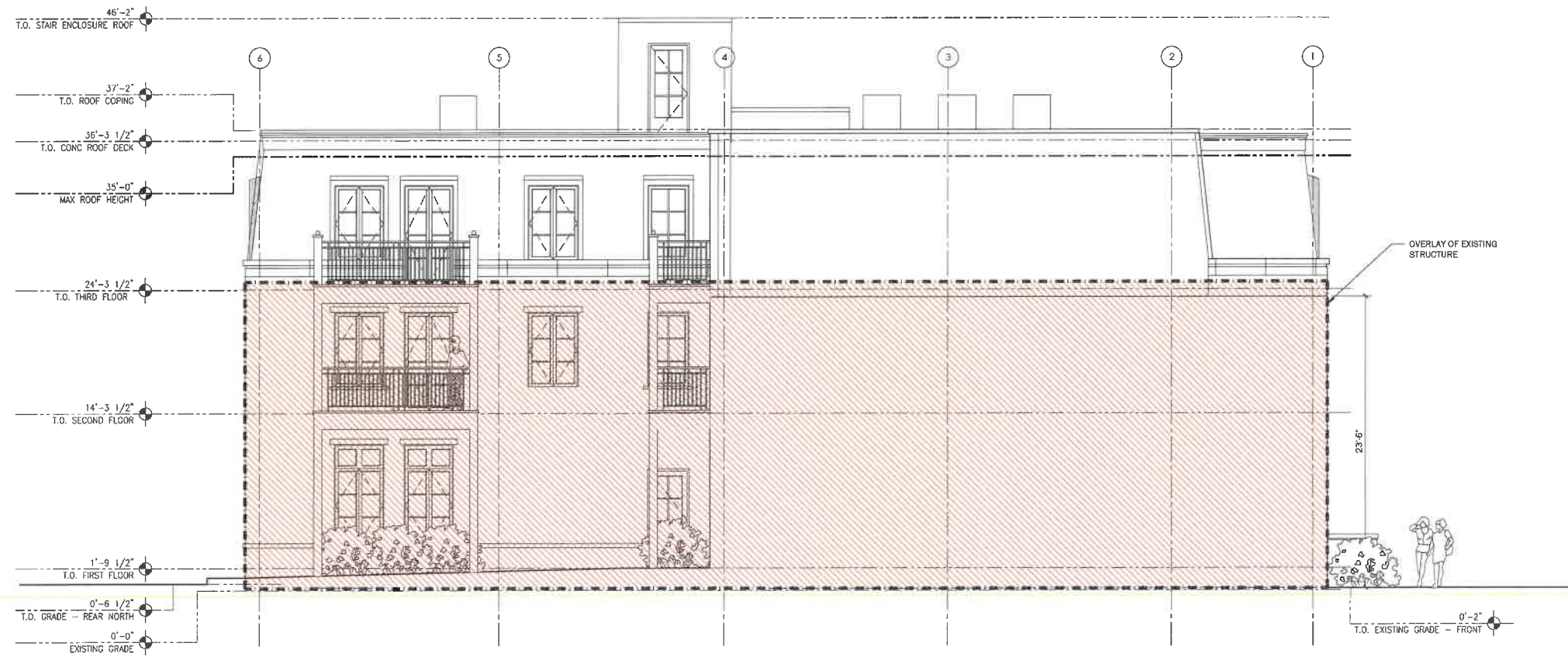
130 Euclid
 Glenview, IL 60022
 312.371.0832
 Amy@Divvyhouse.com

Robert Shemiol Architects
 25 E Superior Unit 1804
 Chicago, IL 60611
 313.622.5377
 robertshemiol@gmail.com



1401 N Western Ave,
 Lake Forest, IL

Issue	Rev	Date	By	Description
	11/01/21	RTS		CONCEPTUAL PLANS
	12/20/21	RTS		CLIENT MEETING
	1/06/21	RTS		CLIENT MEETING
	1/12/21	RTS		ZONING MEETING
	1/21/21	RTS		MEETING BUILDING REVIEW BOARD



1 PROPOSED NORTH ELEVATION - OVERLAY
 3/16"=1'-0"

Drawing Title
 North - Side
 Elevation -
 Overlay

A201b
 Sheet

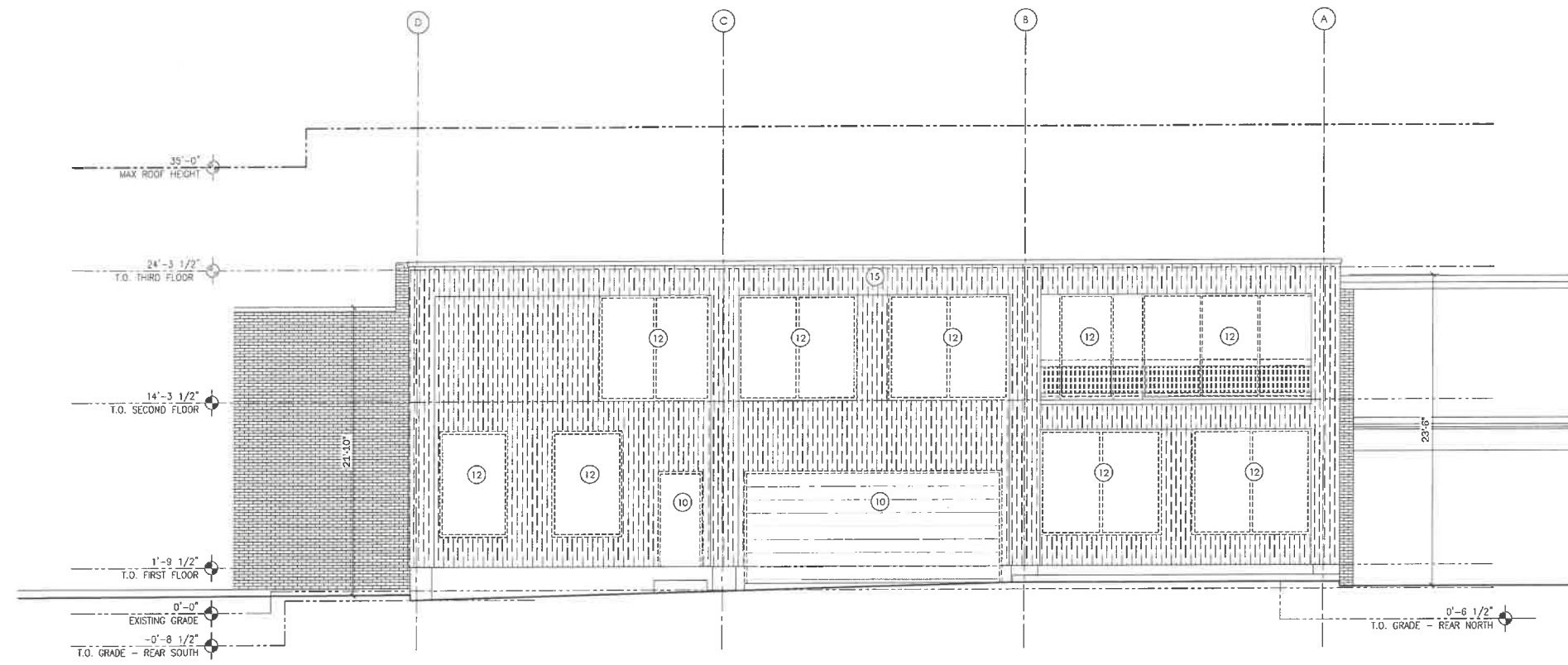
These plans, drawings and specifications are the property of Robert Shemiol Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2021 Robert Shemiol Architects



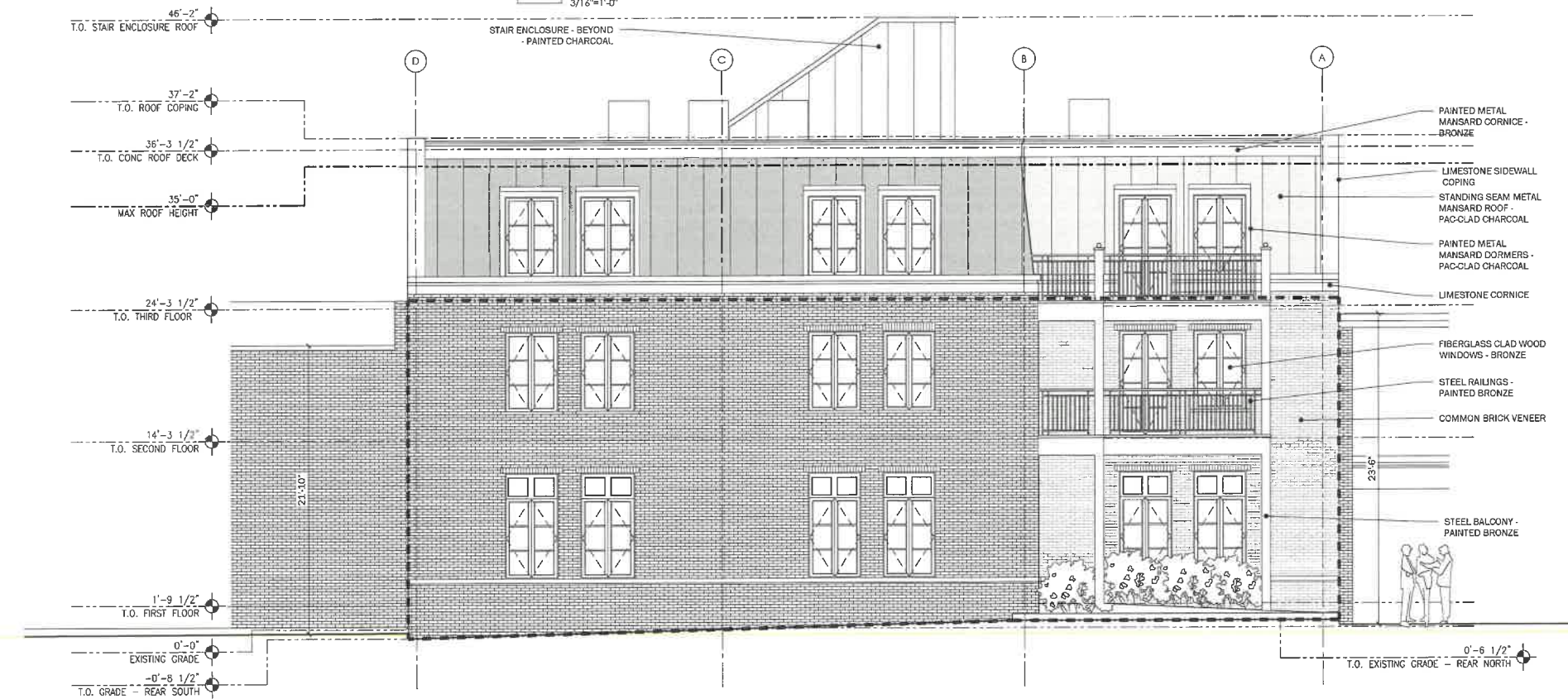
Divvy House.

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiot Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiot@gmail.com



2 EXISTING EAST ELEVATION
3/16"=1'-0"



1 PROPOSED EAST ELEVATION
3/16"=1'-0"

- KEY TO DEMO
- EX. WOOD SIDING TO BE REMOVED
 - EXISTING TO BE REMOVED
 - EXISTING TO REMAIN
 - DEMOLITION KEY NUMBER

- DEMO GENERAL NOTES:
1. CONTRACTOR SHALL INSPECT THE WORK SITE PRIOR TO SUBMISSION OF BIDS AND VERIFY ALL ITEMS AND QUANTITIES TO BE DEMOLISHED.
 2. VERIFY LOCATIONS OF ALL UTILITIES TO REMAIN AND THOSE TO BE REMOVED.
 3. DO NOT DAMAGE EXISTING ADJACENT FINISHES SCHEDULED TO REMAIN.
 4. COORDINATE SCOPE AND EXTENT OF DEMOLITION WORK WITH NEW WORK PLANS AND DETAILS.
 5. REMOVE THE ENTIRETY OF WALL ASSEMBLY TO BE DEMOLISHED, REGARDLESS OF CONCEALED ELEMENTS INSIDE THE PARTITION. ALL QUESTIONS AS TO SCOPE OF THE DEMOLITION WORK SHALL BE DIRECTED TO DIVVYHOUSE.
 6. PLUMBING: REMOVE ALL (E) PLUMBING FIXTURES AND FITTINGS, DRAINAGE AND EQUIPMENT AS REQUIRED FOR THE NEW WORK.
 7. MECHANICAL: REMOVE (E) MECHANICAL EQUIPMENT AND DUCTWORK, AS REQUIRED FOR NEW WORK.
 8. ELECTRICAL: ALL EXISTING DOWNLIGHTS, WALL SCONCES AND SPECIALTY LIGHT FIXTURES TO BE REMOVED AS REQUIRED FOR THE NEW WORK. U.O.N. EXISTING ELECTRICAL OUTLETS TO REMAIN TO BE VERIFIED.
 9. FLOORING: REMOVE ALL EXISTING TILE, CARPET, AND HARDWOOD FLOORING AS REQUIRED FOR THE NEW WORK.
 10. CASEWORK: REMOVE ALL EXISTING CASEWORK AS REQUIRED FOR THE NEW WORK.
 11. REMOVE DEMOLITION MATERIALS FROM SITE PROMPTLY AND DISPOSE OF PROPERLY OFF SITE.

- DEMO KEY NOTES
- (2) REMOVE EX. STONE TILE
 - (4) REMOVE EX. CONC STEPS
 - (10) REMOVE EX. DOOR & FRAME
 - (12) REMOVE EX. WINDOW
 - (13) REMOVE EX. WOOD SIDING

1401 N Western Ave,
Lake Forest, IL

Issue

Rev	Date	By	Description
11/01/21	RTS		CONCEPTUAL PLANS
12/20/21	RTS		CLIENT MEETING
1/06/22	RTS		CLIENT MEETING
1/12/22	RTS		ZONING MEETING
1/21/22	RTS		BUILDING REVIEW BOARD

Drawing Title
East - Rear
Elevations

A202
Sheet

These plans, drawings and specifications are the property of Robert Shemiot Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2022 Robert Shemiot Architects



Divvy House

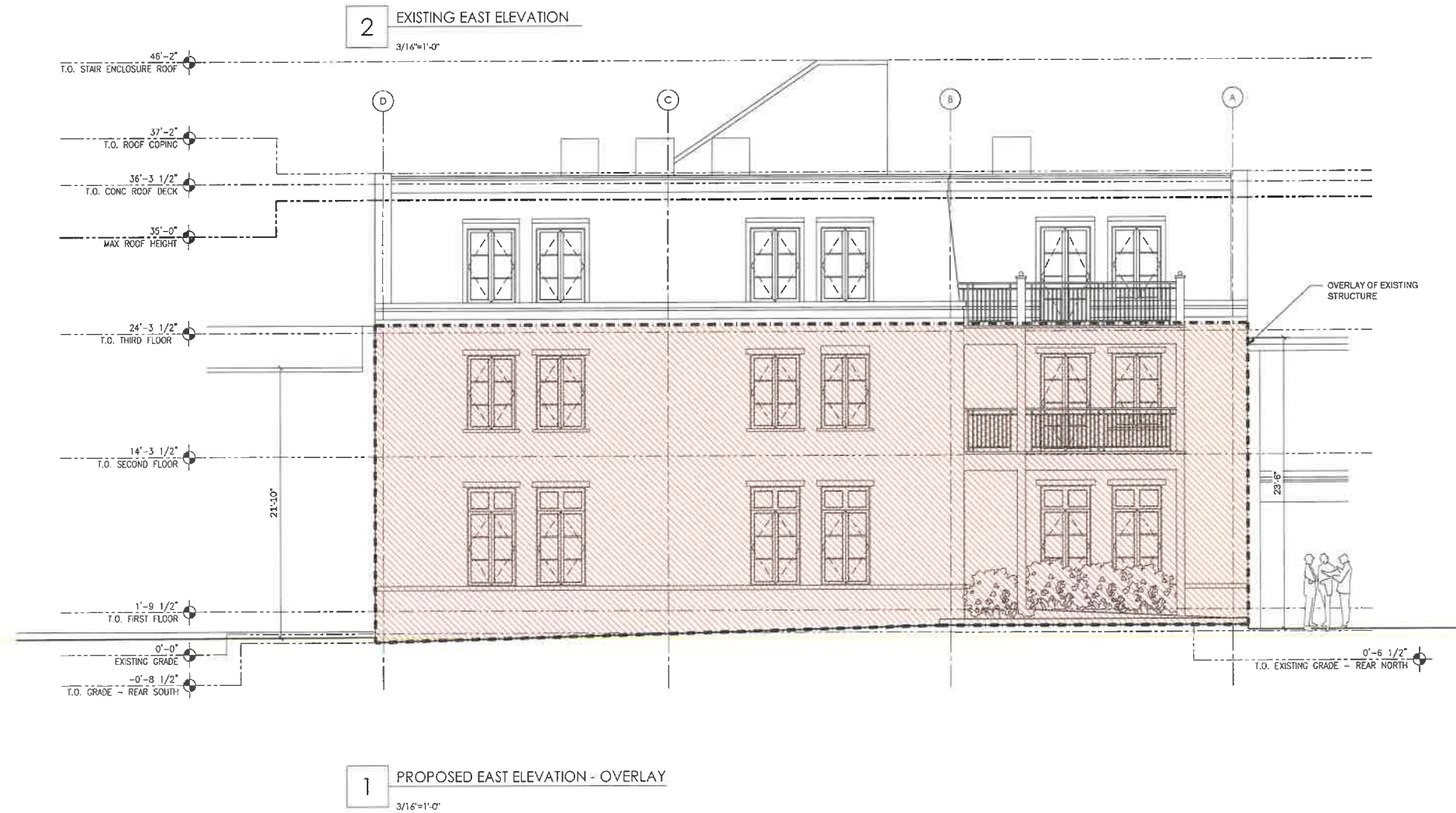
130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiol Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiol@gmail.com



1401 N Western Ave,
Lake Forest, IL

Rev	Date	By	Description
11/01/21	RTS		CONCEPTUAL PLANS
12/20/21	RTS		CLIENT MEETING
1/06/21	RTS		CLIENT MEETING
1/12/21	RTS		ZONING MEETING
1/21/21	RTS		BUILDING REVIEW BOARD



Drawing Title
East - Rear
Elevation -
Overlay

A202b
Sheet

These plans, drawings and specifications are the property of Robert Shemiol Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2021 Robert Shemiol Architects



Divvy House.

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiot Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiot@gmail.com



1401 N Western Ave,
Lake Forest, IL

Issue	Rev	Date	By	Description
	11/01/21	RTS		CONCEPTUAL PLANS
	12/20/21	RTS		CLIENT MEETING
	1/06/22	RTS		CLIENT MEETING
	1/12/22	RTS		ZONING MEETING
	1/21/22	RTS		BUILDING REVIEW BOARD

Drawing Title
South - Side Elevations

A203
Sheet

These plans, drawings and specifications are the property of Robert Shemiot Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2022 Robert Shemiot Architects

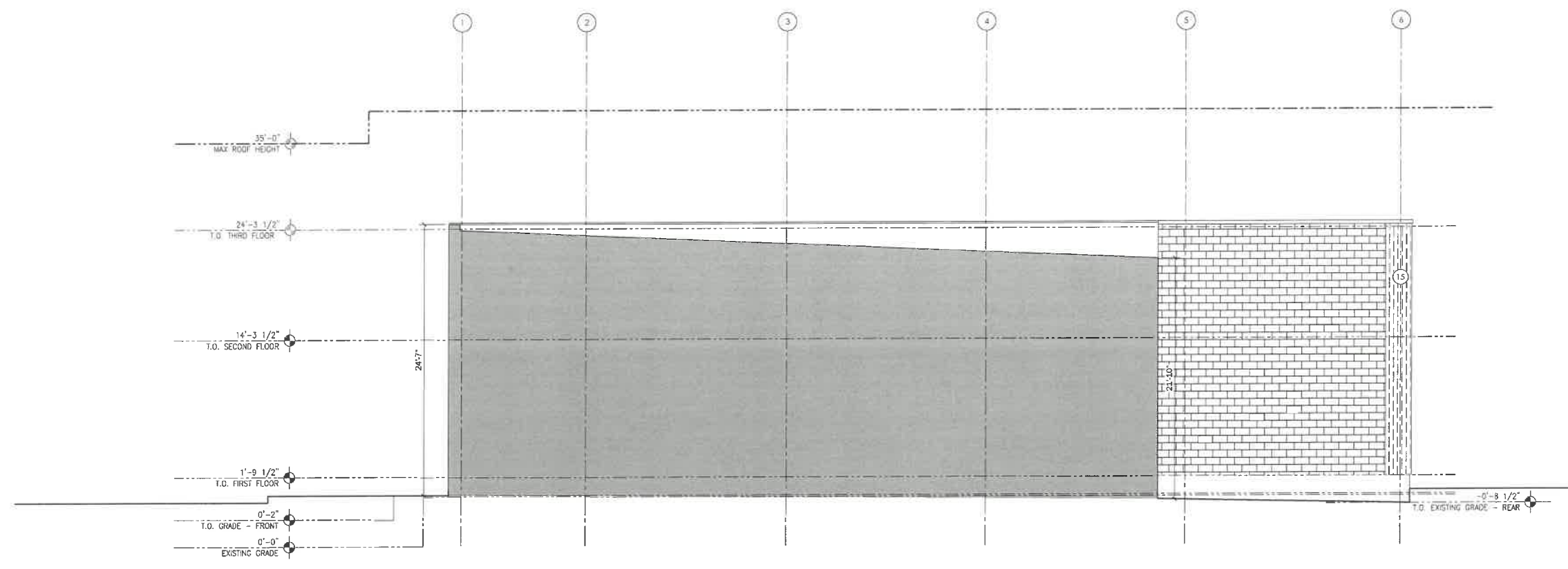
- EX. WOOD SIDING TO BE REMOVED
- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- DEMOLITION KEY NUMBER

DEMO GENERAL NOTES:

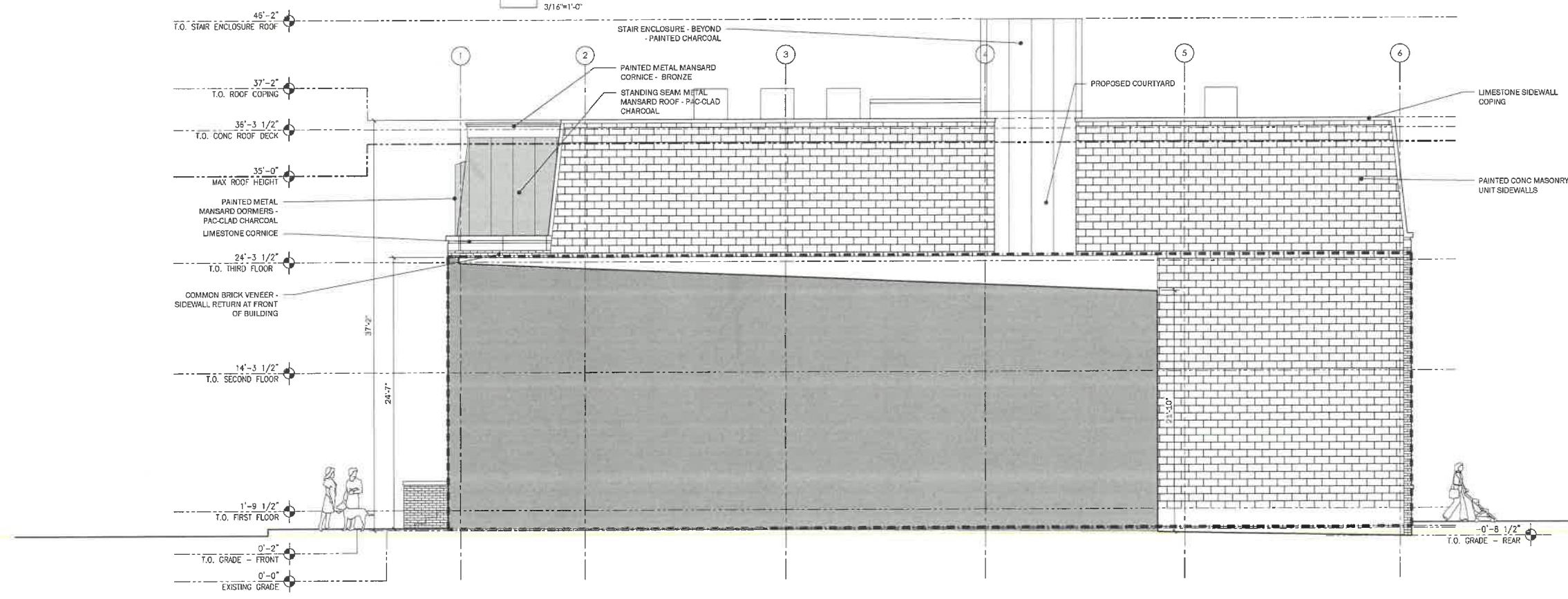
1. CONTRACTOR SHALL INSPECT THE WORK SITE PRIOR TO SUBMISSION OF BIDS AND VERIFY ALL ITEMS AND QUANTITIES TO BE DEMOLISHED.
2. VERIFY LOCATIONS OF ALL UTILITIES TO REMAIN AND THOSE TO BE REMOVED. DO NOT DAMAGE EXISTING ADJACENT FINISHES SCHEDULED TO REMAIN.
3. COORDINATE SCOPE AND EXTENT OF DEMOLITION WORK WITH NEW WORK PLANS AND DETAILS.
4. REMOVE THE ENTIRETY OF WALL ASSEMBLY TO BE DEMOLISHED, REGARDLESS OF CONCEALED ELEMENTS INSIDE THE PARTITION. ALL QUESTIONS AS TO SCOPE OF THE DEMOLITION WORK SHALL BE DIRECTED TO DIVVY-HOUSE.
5. PLUMBING: REMOVE [E] PLUMBING FIXTURES AND FITTINGS, DRAINAGE AND EQUIPMENT AS REQUIRED FOR THE NEW WORK.
6. MECHANICAL: REMOVE [E] MECHANICAL EQUIPMENT AND DUCTWORK, AS REQUIRED FOR NEW WORK.
7. ELECTRICAL: ALL EXISTING DOWNLIGHTS, WALL SCONCES AND SPECIALTY LIGHT FIXTURES TO BE REMOVED AS REQUIRED FOR THE NEW WORK. U.O.N. EXISTING ELECTRICAL OUTLETS TO REMAIN TO BE VERIFIED.
8. FLOORING: REMOVE ALL EXISTING TILE, CARPET, AND HARDWOOD FLOORING AS REQUIRED FOR THE NEW WORK.
9. CASEWORK: REMOVE ALL EXISTING CASEWORK AS REQUIRED FOR THE NEW WORK.
11. REMOVE DEMOLITION MATERIALS FROM SITE PROMPTLY AND DISPOSE OF PROPERLY OFF SITE.

DEMO KEY NOTES

- REMOVE EX. STONE TILE
- REMOVE EX. CONC STEPS
- REMOVE EX. DOOR & FRAME
- REMOVE EX. WINDOW
- REMOVE EX. WOOD SIDING



2 EXISTING SOUTH ELEVATION
3/16"=1'-0"



1 PROPOSED SOUTH ELEVATION
3/16"=1'-0"



Divvy House.

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiol Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiol@gmail.com



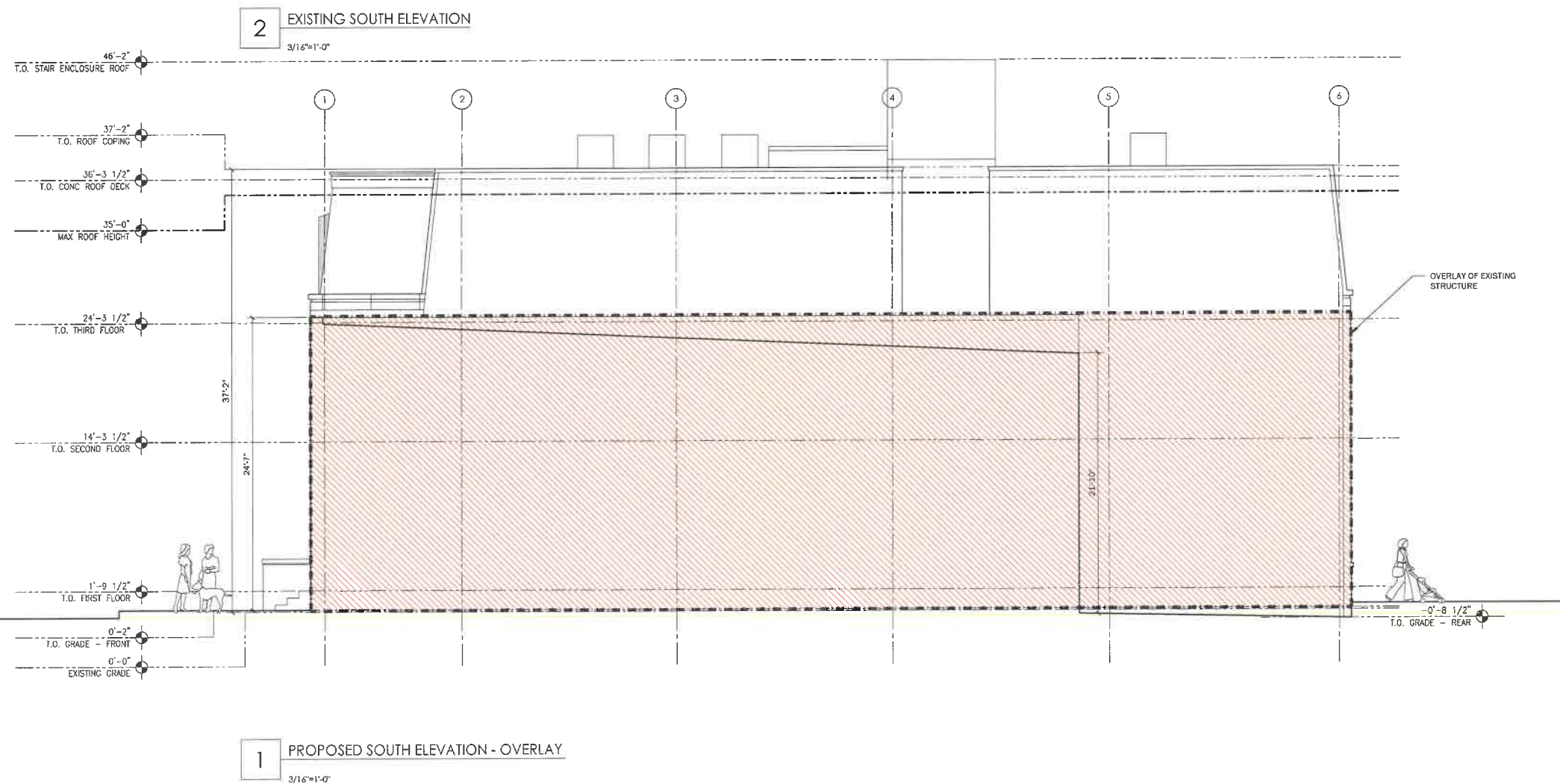
1401 N Western Ave.
Lakewood, IL

Rev	Date	By	Description
11/01/21	RTS		CONCEPTUAL PLANS
12/20/21	RTS		CLIENT MEETING
1/06/22	RTS		CLIENT MEETING
1/12/22	RTS		ZONING MEETING
1/21/22	RTS		BUILDING BOARD REVIEW

Drawing Title
South - Side
Elevation -
Overlay

A203b
Sheet

These plans, drawings and specifications are the property of Robert Shemiol Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2022 Robert Shemiol Architects



STREETSCAPE ELEVATIONS



Divvy House

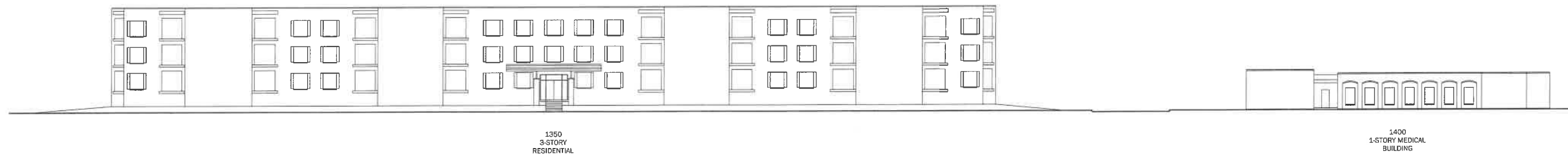
130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiol Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiol@gmail.com

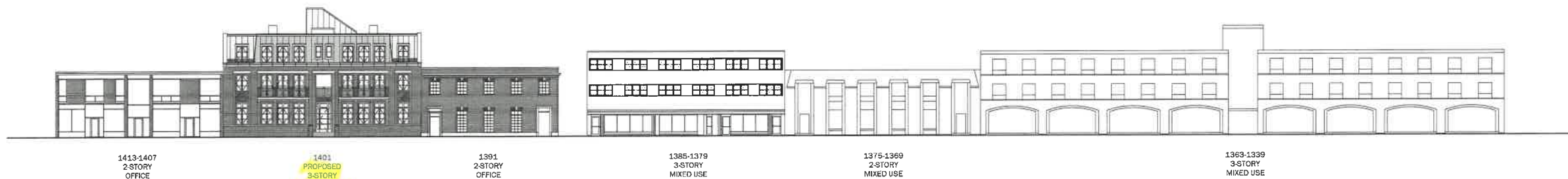


1401 N Western Ave,
Lake Forest, IL

Rev	Date	By	Description
11/01/21	RTS		CONCEPTUAL PLANS
12/20/21	RTS		CLIENT MEETING
1/06/21	RTS		CLIENT MEETING
1/12/21	RTS		ZONING MEETING
1/21/21	RTS		BUILDING REVIEW BOARD



2 STREETSCAPE ELEVATION LOOKING WEST
1"=20'



1 STREETSCAPE ELEVATION LOOKING EAST
1"=20'

Drawing Title
Streetscape Elevations

A210
Sheet

These plans, drawings and specifications are the property of Robert Shemiol Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2021 Robert Shemiol Architects



Divvy House

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiol Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiol@gmail.com



1401 N Western Ave,
Lake Forest, IL

Rev	Date	By	Description
11/01/21	RTS		CONCEPTUAL PLANS
12/20/21	RTS		CLIENT MEETING
1/06/22	RTS		CLIENT MEETING
1/12/22	RTS		ZONING MEETING
1/21/22	RTS		BUILDING REVIEW BOARD

Drawing Title
Rendering

A500
Sheet

These plans, drawings and specifications are the property of Robert Shemiol Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2022 Robert Shemiol Architects



1 VIEW 1 - LOOKING SOUTHEAST



Divvy House

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiol Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiol@gmail.com



1401 N Western Ave,
Lake Forest, IL

Rev	Date	By	Description
11/01/21	RTS		CONCEPTUAL PLANS
12/20/21	RTS		CLIENT MEETING
1/06/22	RTS		CLIENT MEETING
1/12/22	RTS		ZONING MEETING
1/21/22	RTS		BUILDING MEETING
			REVIEW BOARD

Drawing Title
Rendering

A501
Sheet

These plans, drawings and specifications are the property of Robert Shemiol Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2022 Robert Shemiol Architects



2 VIEW 2 - LOOKING EAST



Divvy House.

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiol Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiol@gmail.com



1401 N Western Ave,
Lake Forest, IL

Issue

Rev	Date	By	Description
11/01/21	RTS		CONCEPTUAL PLANS
12/20/21	RTS		CLIENT MEETING
1/06/22	RTS		CLIENT MEETING
1/12/22	RTS		ZONING MEETING
1/21/22	RTS		BUILDING REVIEW BOARD

Drawing Title
Rendering

A502
Sheet

These plans, drawings and specifications are the property of Robert Shemiol Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2022 Robert Shemiol Architects



3 VIEW 3 - LOOKING NORTHEAST

COMMON BRICK SCHEME



Architectural Style Inspiration

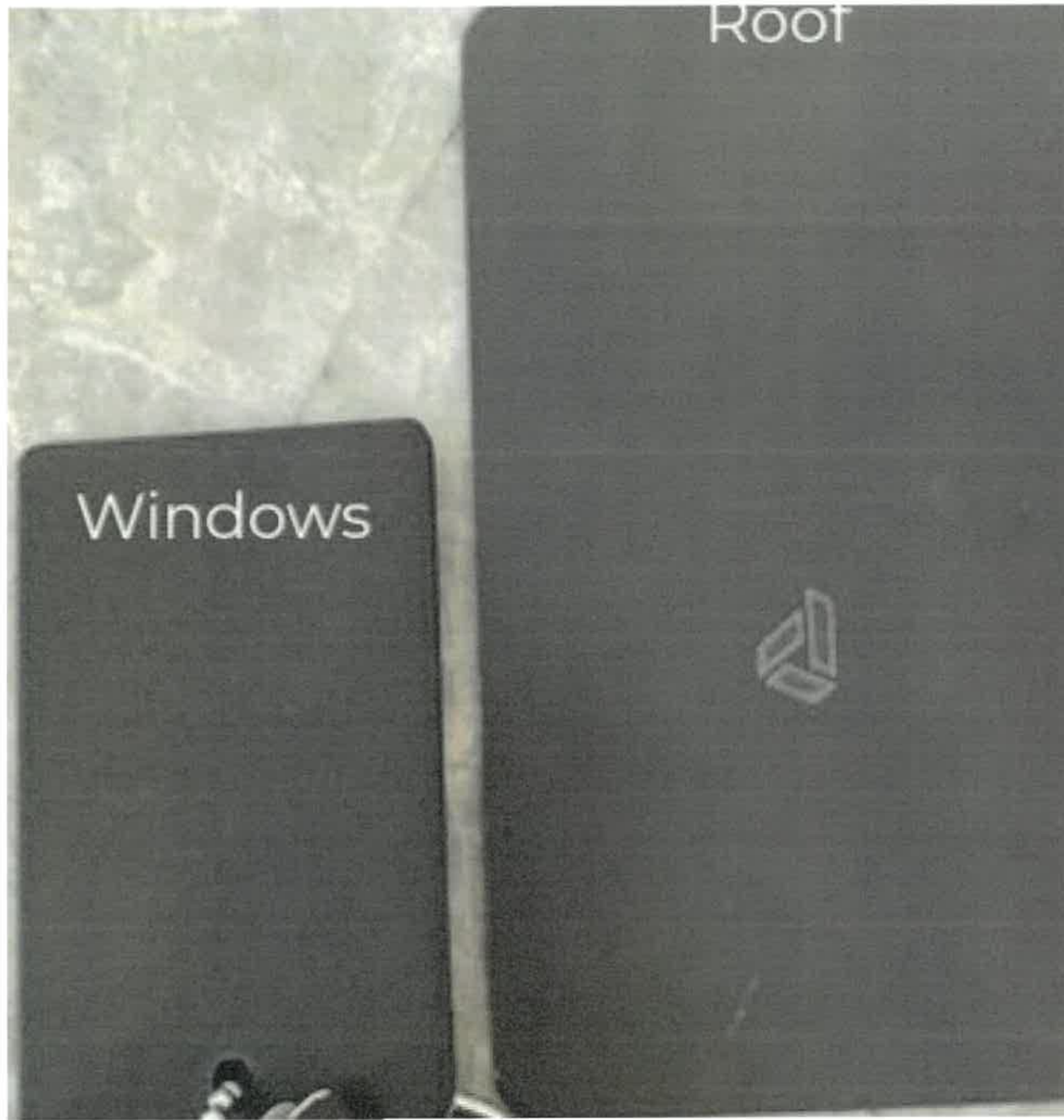


Brick: Glen-Grey - Barlow Handmade
Ultimate - Liberty Bronze
Pearlescent

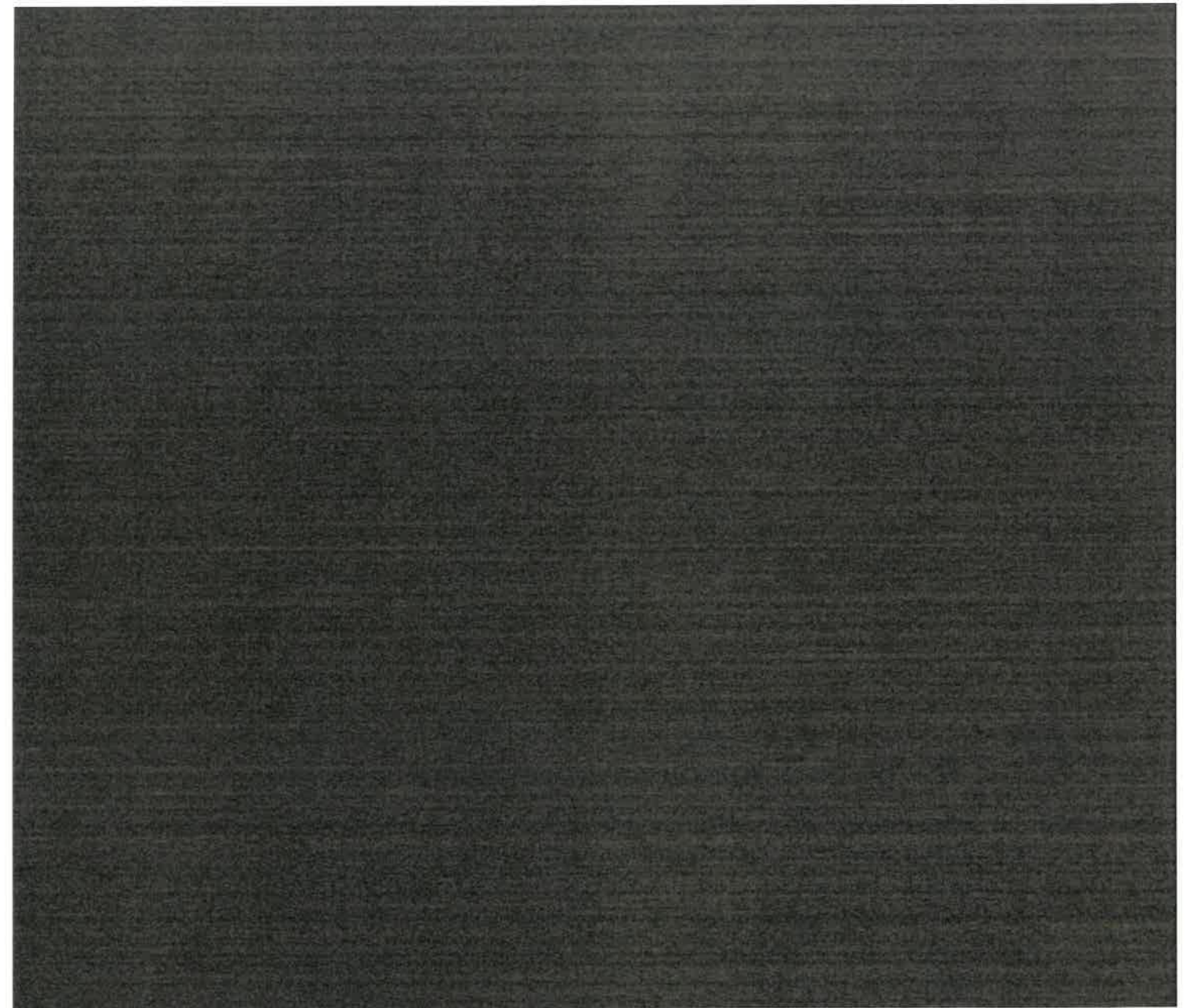
Limestone: Indiana Standard Buff
Limestone



COMMON BRICK SCHEME



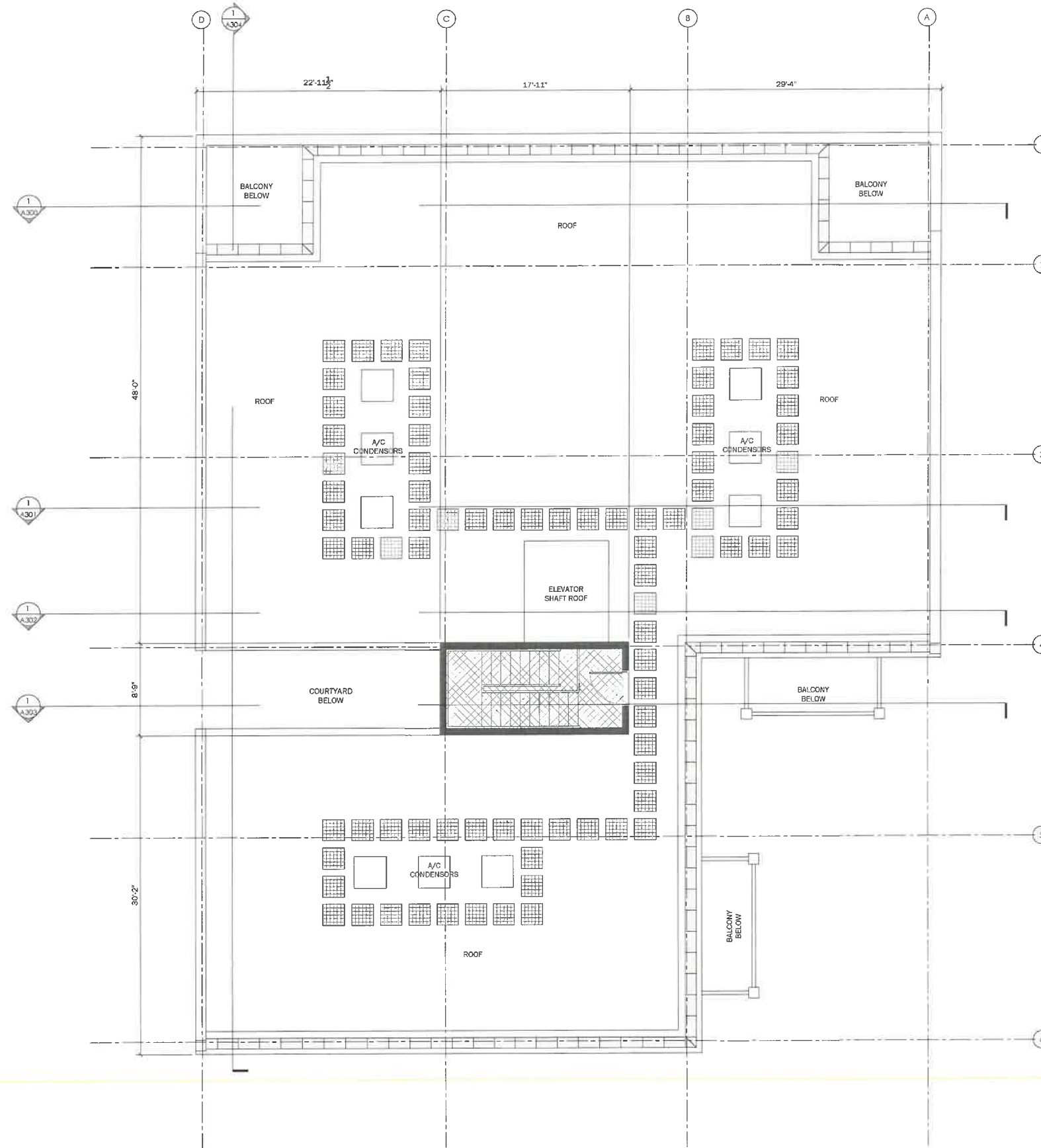
Windows: Marvin Signature **Standing Seam Metal Roof:** Pac-Clad - Burnished Slate



Railing Metal: Oil Rubbed Bronze



ROOF PLAN



1 ROOF PLAN
3/16"=1'-0"



Divvy House

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemol Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemol@gmail.com



1401 N Western Ave,
Lake Forest, IL

Issue	Rev	Date	By	Description
		11/01/21	RTS	CONCEPTUAL PLANS
		12/20/21	RTS	CLIENT MEETING
		1/06/22	RTS	CLIENT MEETING
		1/12/22	RTS	ZONING MEETING
		1/21/22	RTS	BUILDING REVIEW BOARD

Drawing Title
Roof Plan

A103
Sheet

These plans, drawings and specifications are the property of Robert Shemol Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2022 Robert Shemol Architects

BUILDING SECTIONS



Divvy House.

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiot Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiot@gmail.com



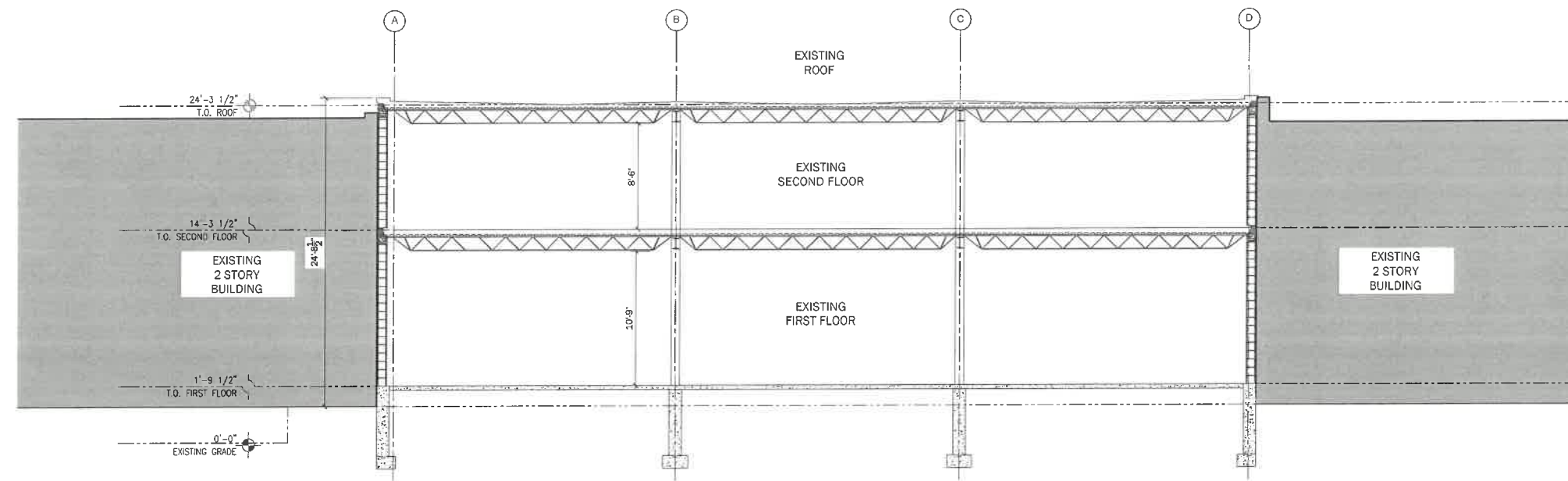
1401 N Western Ave,
Lake Forest, IL

Issue	Rev	Date	By	Description
		11/01/21	RTS	CONCEPTUAL PLANS
		12/20/21	RTS	CLIENT MEETING
		1/06/22	RTS	CLIENT MEETING
		1/12/22	RTS	JOINING MEETING
		1/21/22	RTS	BUILDING REVIEW BOARD

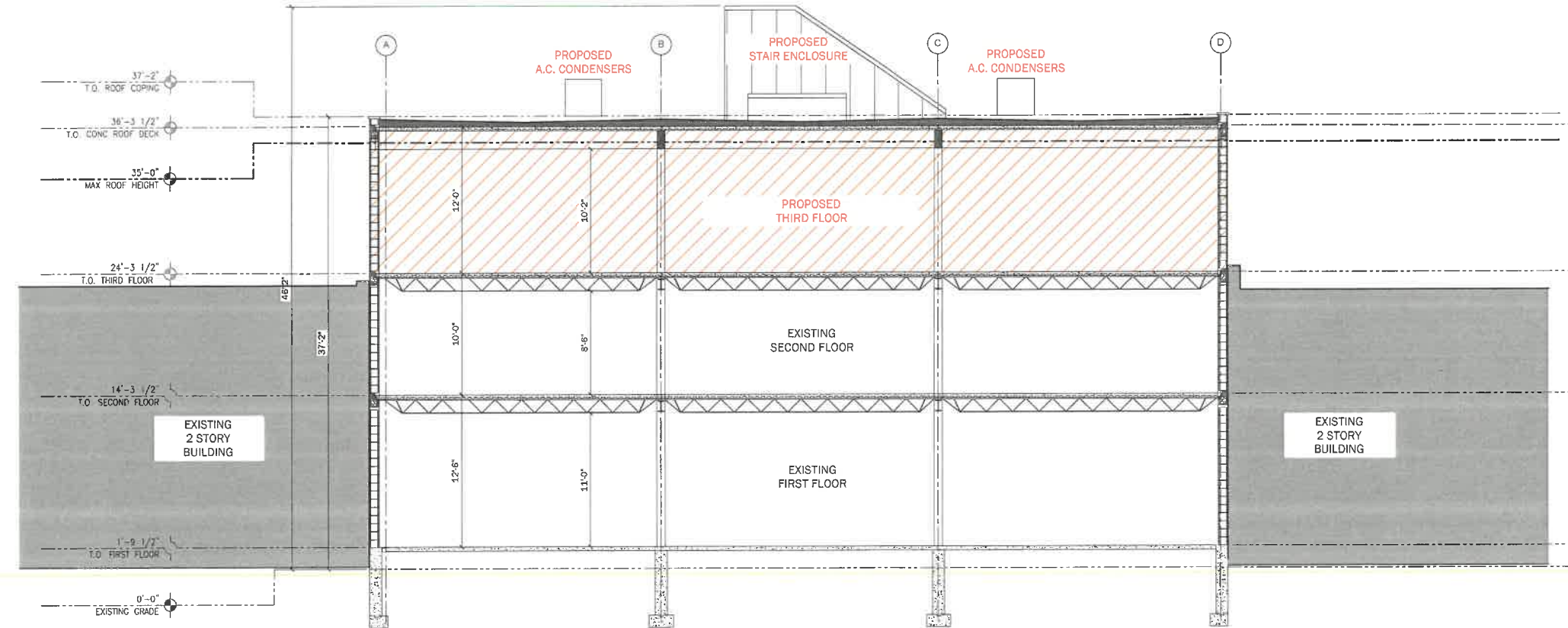
Drawing Title
Building Sections

A300
Sheet

These plans, drawings and specifications are the property of Robert Shemiot Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2022 Robert Shemiot Architects



2 EXISTING BUILDING SECTION
3/16"=1'-0"



1 PROPOSED BUILDING SECTION
3/16"=1'-0"



Divvy House

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiol Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiol@gmail.com



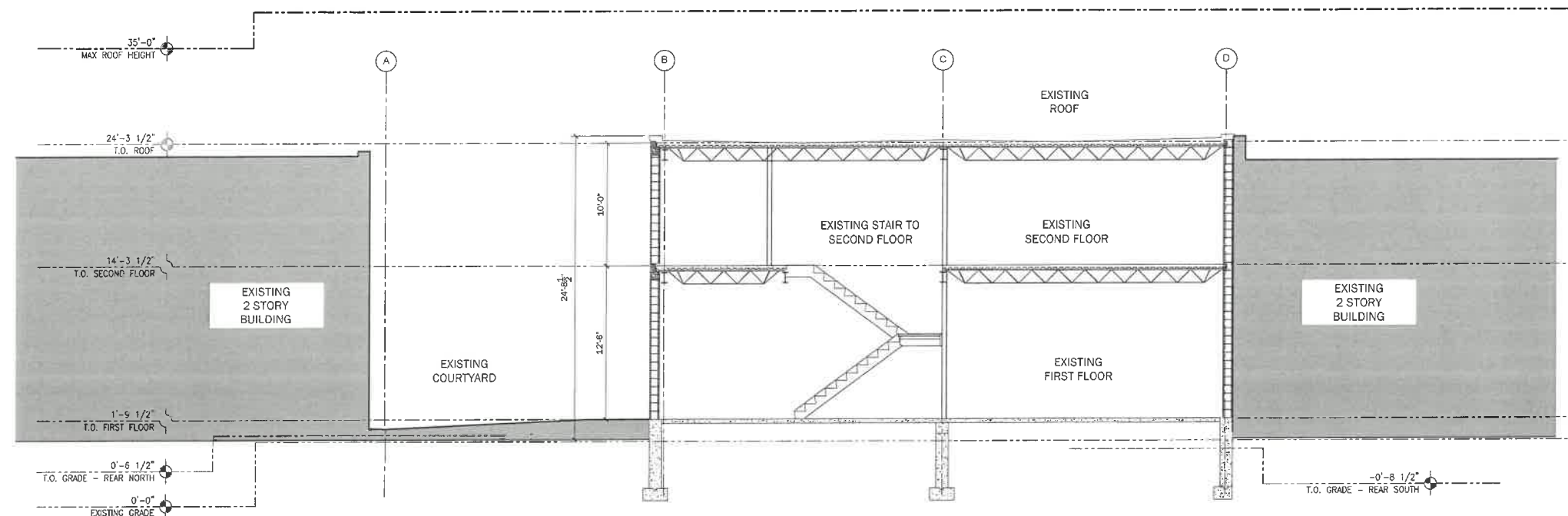
1401 N Western Ave.
Lake Forest, IL

Rev	Date	By	Description
	11/01/21	RTS	CONCEPTUAL PLANS
	12/20/21	RTS	CLIENT MEETING
	1/06/22	RTS	CLIENT MEETING
	1/12/22	RTS	ZONING MEETING
	1/21/22	RTS	BUILDING MEETING
	1/21/22	RTS	REVIEW BOARD

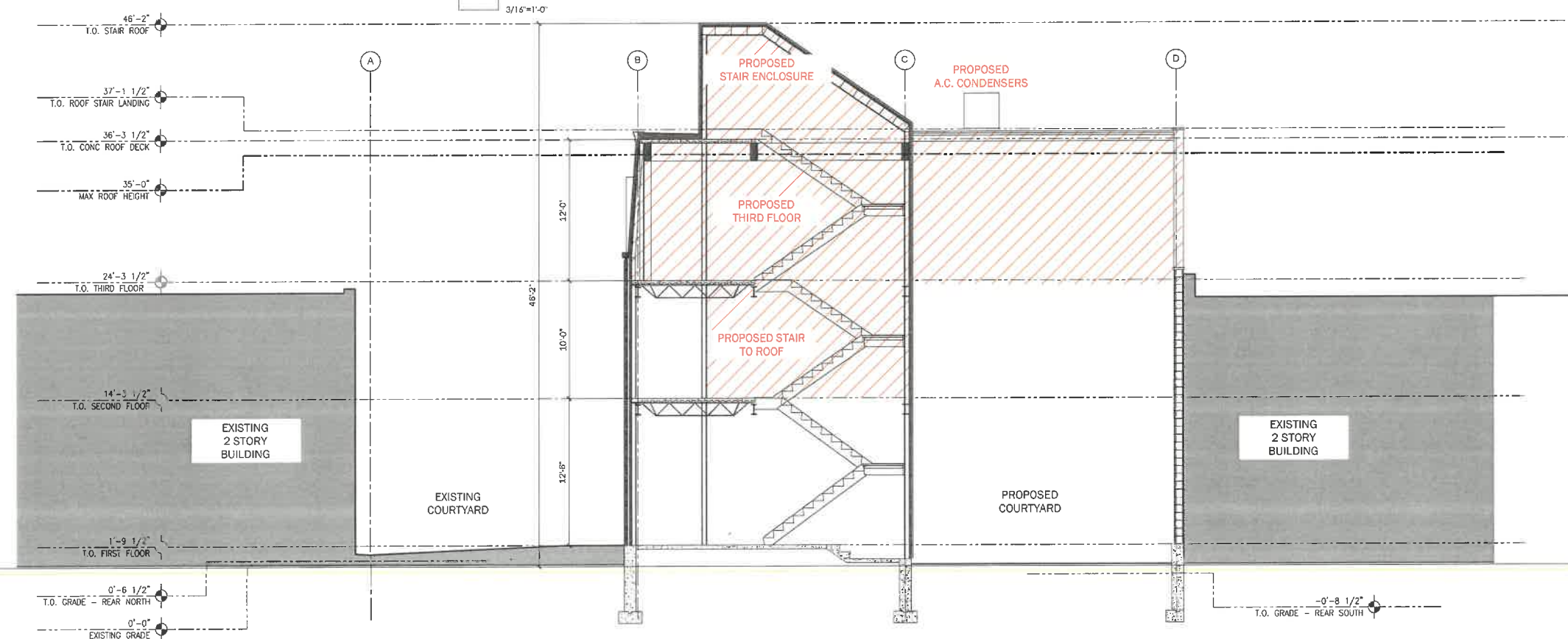
Drawing Title
Building Sections

A303
Sheet

These plans, drawings and specifications are the property of Robert Shemiol Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2022 Robert Shemiol Architects



2 EXISTING BUILDING SECTION
3/16"=1'-0"



1 PROPOSED BUILDING SECTION
3/16"=1'-0"



Divvy House

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiol Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiol@gmail.com



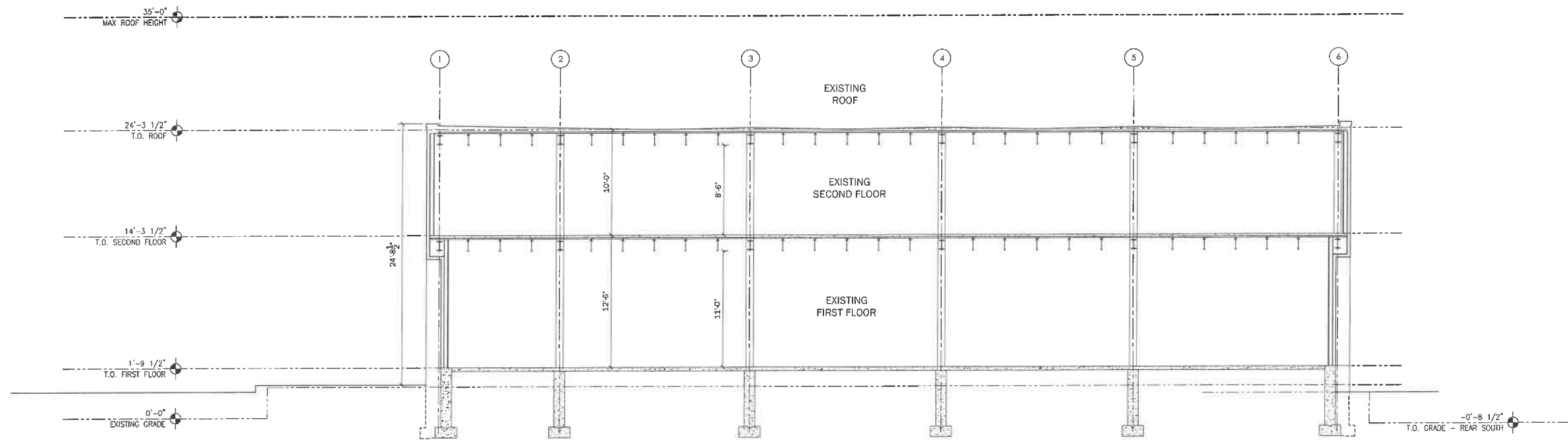
1401 N Western Ave,
Lake Forest, IL

Issue	Rev	Date	By	Description
		11/01/21	RTS	CONCEPTUAL PLANS
		12/20/21	RTS	CLIENT MEETING
		1/06/22	RTS	CLIENT MEETING
		1/12/22	RTS	ZONING MEETING
		1/21/22	RTS	BUILDING REVIEW BOARD

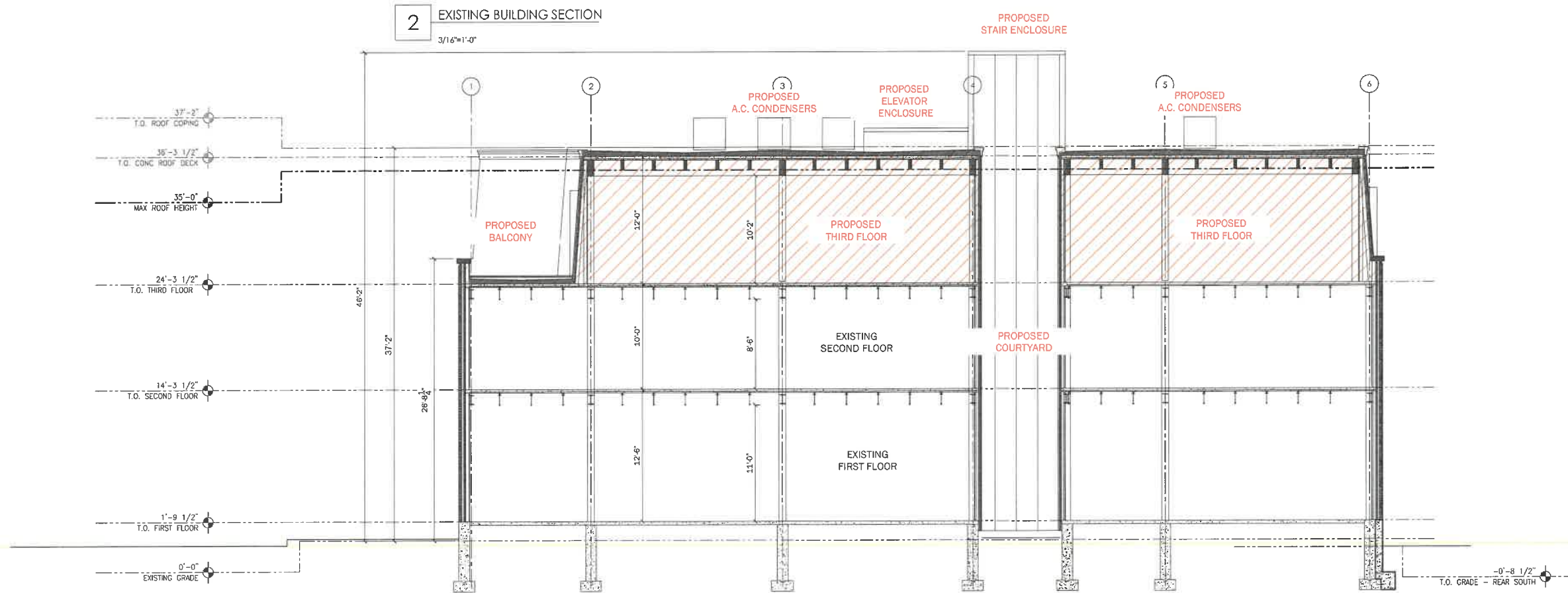
Drawing Title
Building Sections

A304
Sheet

These plans, drawings and specifications are the property of Robert Shemiol Architects and any use and/or reuse thereof in part or whole without the written permission of the Architect is prohibited. Copyright 2022 Robert Shemiol Architects



2 EXISTING BUILDING SECTION
3/16"=1'-0"



1 PROPOSED BUILDING SECTION
3/16"=1'-0"



Divvy House.

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiol Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiol@gmail.com



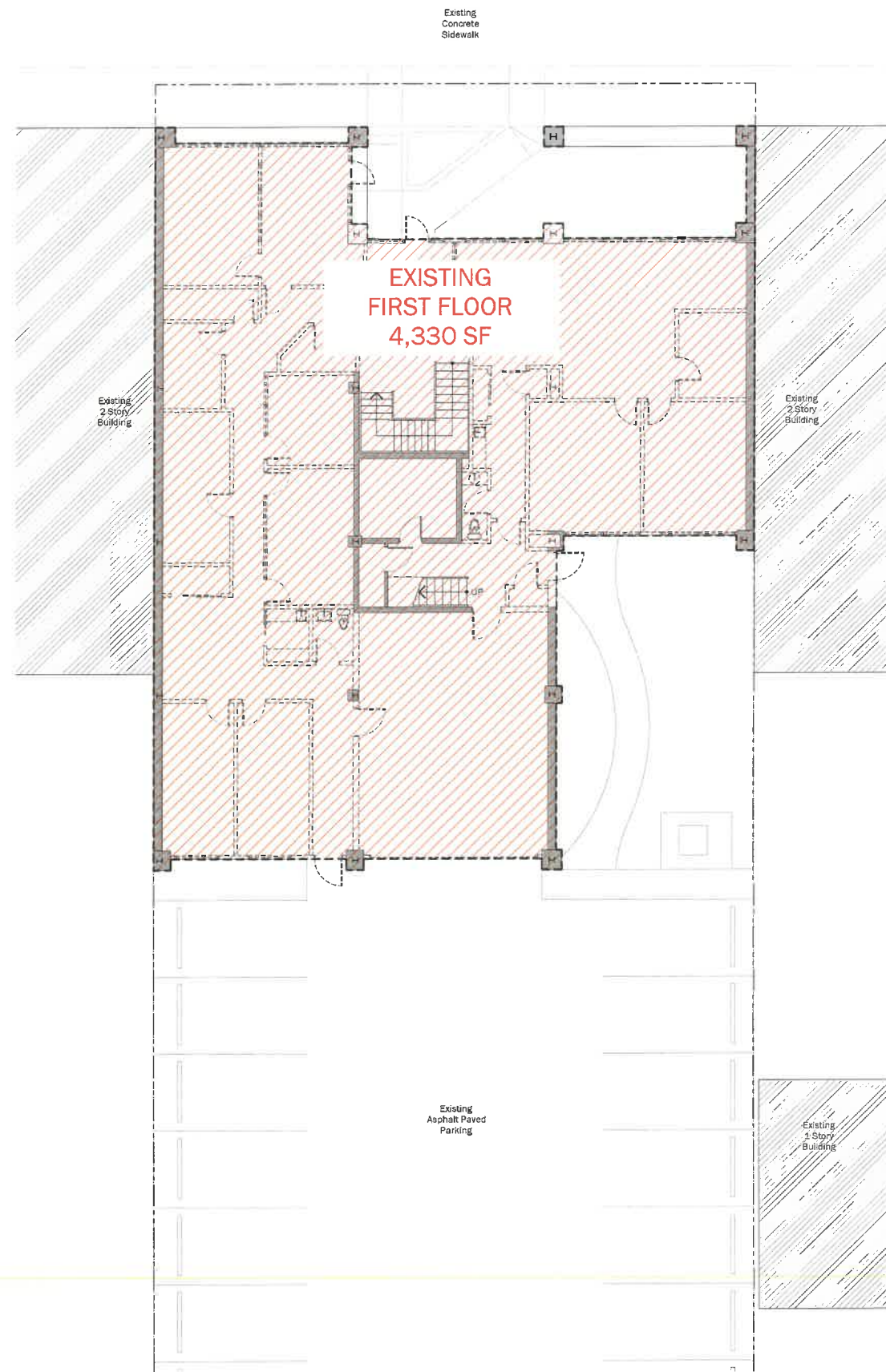
1401 N Western Ave,
Lake Forest, IL

Issue	Rev	Date	By	Description
	11/01/21	RTS		CONCEPTUAL PLANS
	12/20/21	RTS		CLIENT MEETING
	1/06/21	RTS		CLIENT MEETING
	1/12/21	RTS		ZONING MEETING
	1/21/21	RTS		BUILDING REVIEW BOARD

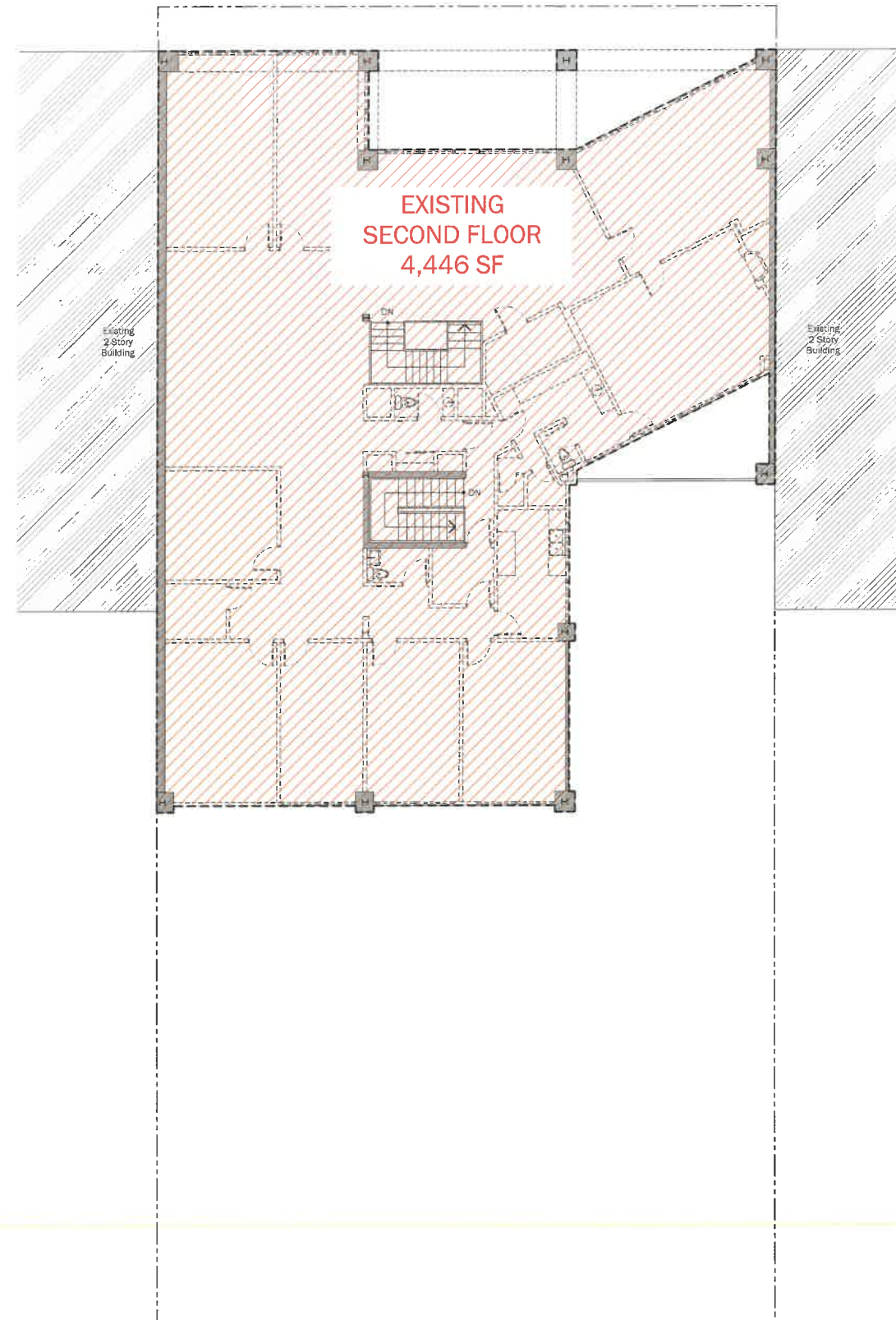
Drawing Title
Demolition
Floor Plans

D100
Sheet

These plans, drawings and specifications are the property of Robert Shemiol Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2021 Robert Shemiol Architects

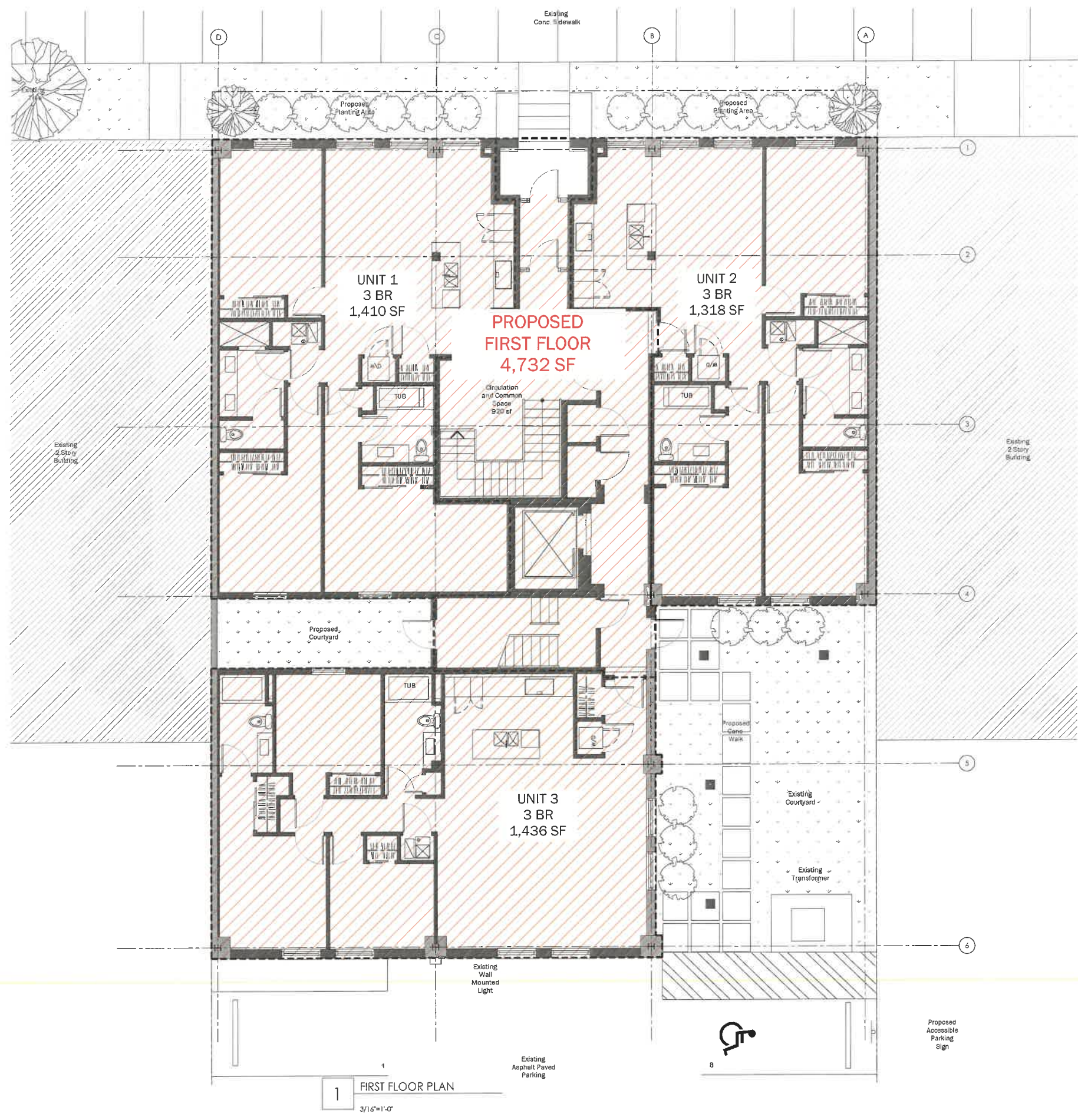


1 DEMOLITION FIRST FLOOR PLAN
1/8"=1'-0"



2 DEMOLITION SECOND FLOOR PLAN
1/8"=1'-0"

PROPOSED FIRST FLOOR PLAN



130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiol Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiol@gmail.com



1401 N Western Ave,
Lake Forest, IL

Issue	Rev	Date	By	Description
	11/01/21	RTS		CONCEPTUAL PLANS
	12/20/21	RTS		CLIENT MEETING
	1/06/21	RTS		CLIENT MEETING
	1/12/21	RTS		ZONING MEETING
	1/21/21	RTS		BUILDING REVIEW BOARD

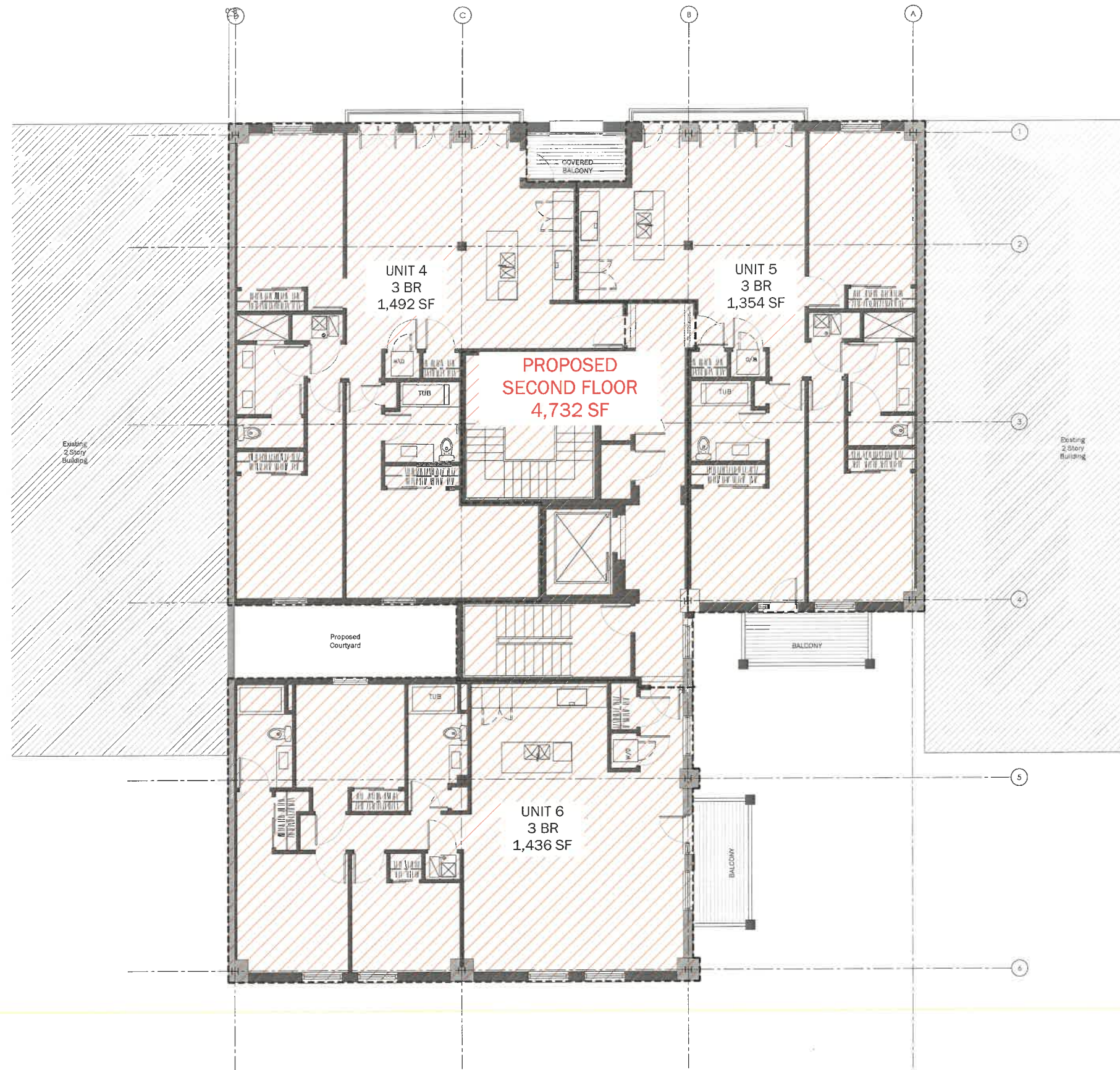
Drawing Title
First Floor Plan
- FAR

A100b
Sheet

These plans, drawings and specifications are the property of Robert Shemiol Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2021 Robert Shemiol Architects

1 FIRST FLOOR PLAN
3/16"=1'-0"

PROPOSED SECOND FLOOR PLAN



Divvy House

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiol Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiol@gmail.com



1401 N Western Ave,
Lake Forest, IL

Rev	Date	By	Description
11/01/21	RTS	RTS	CONCEPTUAL PLANS
12/20/21	RTS	RTS	CLIENT MEETING
1/06/21	RTS	RTS	CLIENT MEETING
1/12/21	RTS	RTS	ZONING MEETING
1/21/21	RTS	RTS	BUILDING REVIEW BOARD

Drawing Title
Second Floor
Plan - FAR

A101b
Sheet

These plans, drawings and specifications are the property of Robert Shemiol Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2021 Robert Shemiol Architects

1 SECOND FLOOR PLAN
3/16"=1'-0"

PROPOSED THIRD FLOOR PLAN



Divvy House

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiol Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiol@gmail.com



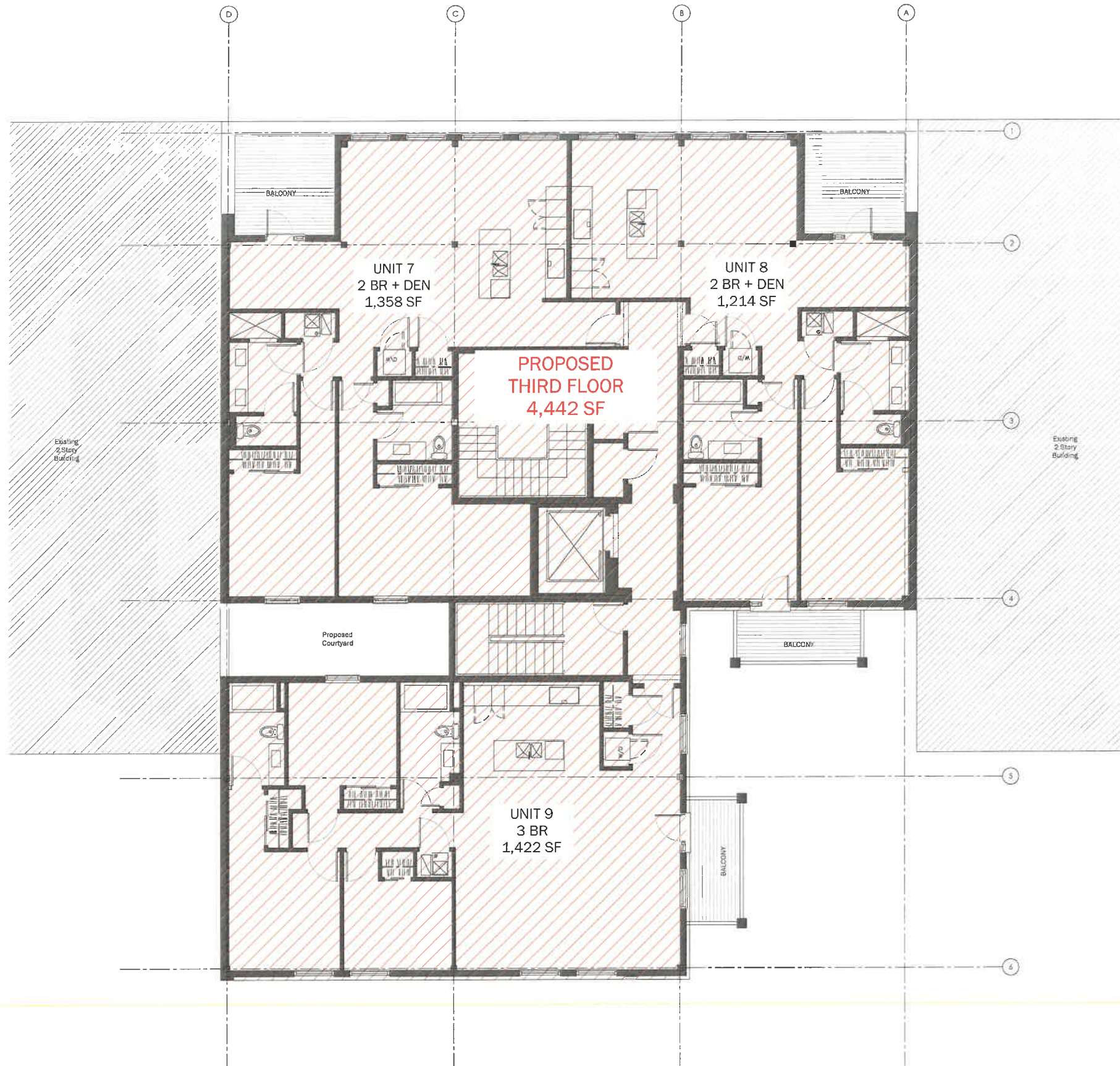
1401 N Western Ave,
Lake Forest, IL

Rev	Date	By	Description
11/01/21	RTS		CONCEPTUAL PLANS
12/20/21	RTS		CLIENT MEETING
1/06/21	RTS		CLIENT MEETING
1/12/21	RTS		ZONING MEETING
1/21/21	RTS		BUILDING REVIEW BOARD

Drawing Title
Third Floor
Plan - FAR

A102b
Sheet

These plans, drawings and specifications are the property of Robert Shemiol Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2021 Robert Shemiol Architects



1 THIRD FLOOR PLAN
3/16"=1'-0"



Divvy House.

130 Euclid
Glencoe, IL 60022
312.371.0832
Amy@Divvyhouse.com

Robert Shemiol Architects
25 E Superior Unit 1804
Chicago, IL 60611
313.622.5377
robertshemiol@gmail.com



Photo 1: front, west elevation



Photo 2: rear, partial east elevation



Photo 3: rear, partial east elevation



Photo 4: south elevation



Photo 5: front of building from sidewalk, looking north



Photo 6: front of building from sidewalk, looking south



Photo 7: rear courtyard, looking west



Photo 8: from street, looking northeast at 1401 and adjacent buildings



Photo 9: from street, looking southeast at 1401 and adjacent buildings



Photo 10: apartment building opposite to 1401



Photo 11: looking north up street, 1401 on the right



Photo 12: partial north elevation



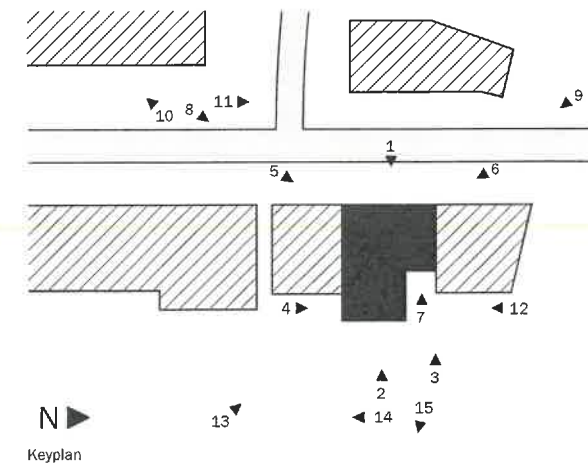
Photo 13: adjacent parking lot behind building, looking northwest



Photo 14: from parking lot behind building looking south



Photo 15: railroad berm and shrubbery behind parking lot, looking east



Issue	Rev	Date	By	Description
	1	11/01/21	RTS	CONCEPTUAL PLANS
	2	12/20/21	RTS	CLIENT MEETING
	3	1/06/22	RTS	CLIENT MEETING
	4	1/12/22	RTS	MEETING ZONING
	5	1/21/22	RTS	MEETING BUILDING REVIEW BOARD

Drawing Title
Photo Board

A800
Sheet

These plans, drawings and specifications are the property of Robert Shemiol Architects and any use and/or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2021 Robert Shemiol Architects