

**Agenda Item 3**  
**Senior Cottages**  
**Northwest Corner – Everett and Telegraph Roads**  
Staff Report  
Air Photos

Materials Submitted by Petitioner

Application

Statement of Intent

Description of Exterior Materials

Site Plan

Front Elevation and Floor Plan – Plan A1-1

All Elevations – Attached Units – Plan A1-1

Roof Plan – Plan A1-1

Front Elevation and Floor Plan – Plan A1-2

All Elevations – Attached Units – Plan A1-2

Roof Plan – Plan A1-2

Sections – Both Plans

Materials and Color Palettes

## Senior Cottages

Consideration of a request for approval of two designs for Senior Cottages planned in a 12-unit residential development on vacant property located on the northwest corner of Everett and Telegraph Roads. The cottages are configured as two attached units in a total of six buildings. The development is proposed on City owned property and is a partnership between the City, the Lake Forest-Lake Bluff Senior Citizens' Foundation and Community Partners for Affordable Housing.

**Property Owner: City of Lake Forest**

**Project Representative: Timothy Archibald, architect**

Staff Contact: Catherine Czerniak, Director of Community Development

### **Background Information**

In 2001, the City Council approved the first Senior Cottages on the north side of Conway Road, at the north end of Telegraph Road. The Senior Cottages have proven to be very successful and highly desired by local seniors. The Senior Cottages offer comfortable, affordable, long term and convenient rental housing to meet the needs of local seniors.

Twelve additional Senior Cottages are planned on the northwest corner of Everett and Telegraph Roads, not far from the existing Cottages. Like the original Senior Cottages, the 12 new Cottages will be constructed on vacant, City owned property. This initiative is a partnership between the Lake Forest – Lake Bluff Senior Citizens' Foundation (the "Foundation"), Community Partners for Affordable Housing (CPAH) and the City. The development of the 12 new Senior Cottages will be funded through matching contributions from the City's Housing Trust Fund and the Foundation with support from grants and tax credits obtained by CPAH. This development, like the previously constructed Senior Cottages, is also being supported by local professionals and businesses through partial pro bono assistance. A true community partnership to support long time Lake Forest and Lake Bluff residents who want to remain in our community and parents and grandparents of local families who want to be near family.

### **Summary of the Request**

This is a request for approval of design aspects of the Senior Cottages. The development will be comprised of two different designs, both of which are reflected in the Board's packet. The eight units around the perimeter of the site will follow Plan A1-1 and the four units internal Cottages, at the center of the development, will follow Plan A1-2. As described in the architect's statement of intent, the Cottages are designed in an English Colonial Cottage style with some French Eclectic accents. The duplex buildings are simple in design, single story, with regular roof forms.

### **Review and Evaluation of Applicable Standards**

*Site Plan – This standard is met.*

The site plan reflects six buildings, each with two attached single family residences, the Cottages. Each Cottage has a separate covered entry, individual living space, a covered outdoor patio area and an attached one car garage. The internal roadway will be private with sidewalks extending through the development and connecting to public sidewalks along both Everett and Telegraph Roads and appropriate streetlights consistent with the street light standards in the area. Several shared internal parking spaces will be provided for visitors or care givers.

The site plan is configured to locate the driveway entrances to the new Senior Cottage neighborhood away from the intersection of Everett and Telegraph Roads. The driveway into the development from Everett Road will be configured for right in/right out only turning movements. The configuration of the internal roadway and the entrances to the development have been coordinated with City engineer and public safety staff.

The site plan preserves the public walkway from Everett Road to the train station to the west and north of the Senior Cottages. A tree survey of the City property was prepared, and the Cottages are sited to preserve significant trees located primarily to the northwest of the Cottages.

*Building Massing and Height – This standard is met.*

As noted above, the Cottages are modest single story structures that present a low profile massing and simple roof forms with a consistent 12:12 pitch. The design of the Cottages was informed by the existing Cottages and modifications were made in response to what was learned. The height of the cottages is approximately 18 feet at the tallest point. The permitted height for the property is 35 feet. The units around the perimeter of the site total 1,015 square feet, excluding the garage. The four units at the two buildings at the center of the development are 1,095 square feet excluding the garage. The City's Building Scale regulations do not apply to this type of development, multiple residential units on a commercial parcel however, the total square footage of the 12 Cottages is less than the square footage permitted on this parcel under the commercial zoning.

The property on which the Cottages will be built is zoned for commercial use, the Senior Cottages will generate less traffic and activity at this location than a commercial use or multi-family, multi-story building, as permitted by the zoning. The Cottages will be on a single development site, not on individual lots, and will be maintenance free. CPAH will maintain the cottages and the overall site as they currently do with the existing nearby cottages.

The Cottages around the perimeter of the development have front facing garages and the four Cottages in the center of the development have side load garages providing some variety along the streetscapes.

*Elevations – This standard is met.*

The plans present a consistent style, material palette and level of detail on all elevations. The elevations reflect design elements such as dormers, porches, louvered vents, and shutters that enhance the appearance of the cottages without creating complexity and break up the massing of the building and roof forms. The plans reflect casement style windows that are proportional to one another across the elevations. The designs present strong, simple forms and detailing, appropriate for the site and the small neighborhood that is being created. The modest cottages should settle well into the existing vegetation and will be softened with foundation plantings and street trees.

*Type, color, and texture of materials – This standard is met.*

The buildings are proposed with a mix of natural materials and limited synthetic materials. The cottages around the perimeter of the development have composite clapboard siding, natural stucco accent walls at the covered porch areas, architectural asphalt shingles for the main roof forms and metal standing seam for the porch roofs. Natural wood is proposed for the dormer walls and trim. The cottages at the center of the site have natural cement stucco exterior walls and architectural asphalt shingle roofing. All the cottages have aluminum clad wood windows with simulated divided lites, wood trim, fascia, soffits, porch columns and shutters, and aluminum gutters and downspouts.

A range of subtle color palettes are proposed for the siding, stucco, windows, shutters, and roofing. Images of the various colors proposed are included in the Board's packet. The intent is to provide variety along the streetscapes within a limited range.

Hardscape includes asphalt driveways and concrete paver patios.

*Landscaping – This standard can be met.*

A conceptual landscape plan has not yet been developed. The intent is to preserve as much of the quality vegetation as possible along Everett and Telegraph Roads and to the west and north of the cottages. Some tree removal will be required for this development. The City's Forestry Section prepared a tree survey for the site and the site plan, as noted above, was guided by that survey which leaves untouched significant trees to the northwest of the cottages.

As the site takes shape and once the formal transfer of the land from the City to CPAH occurs, a detailed landscape plan will be developed with input from the City's Certified Arborist and will be returned to the Board for review and action. Attention will be paid to screening the rear of the cottages nearest the public pedestrian path through retaining existing vegetation and the addition of new plantings as determined to be necessary. Fencing may also be considered in some areas as the plans are further refined.

### **RECOMMENDATION**

Recommend approval of the designs for the Senior Cottages based on the findings presented in this staff report and as they may be further detailed during the Board's deliberations. Staff recommends approval subject to the following conditions of approval.

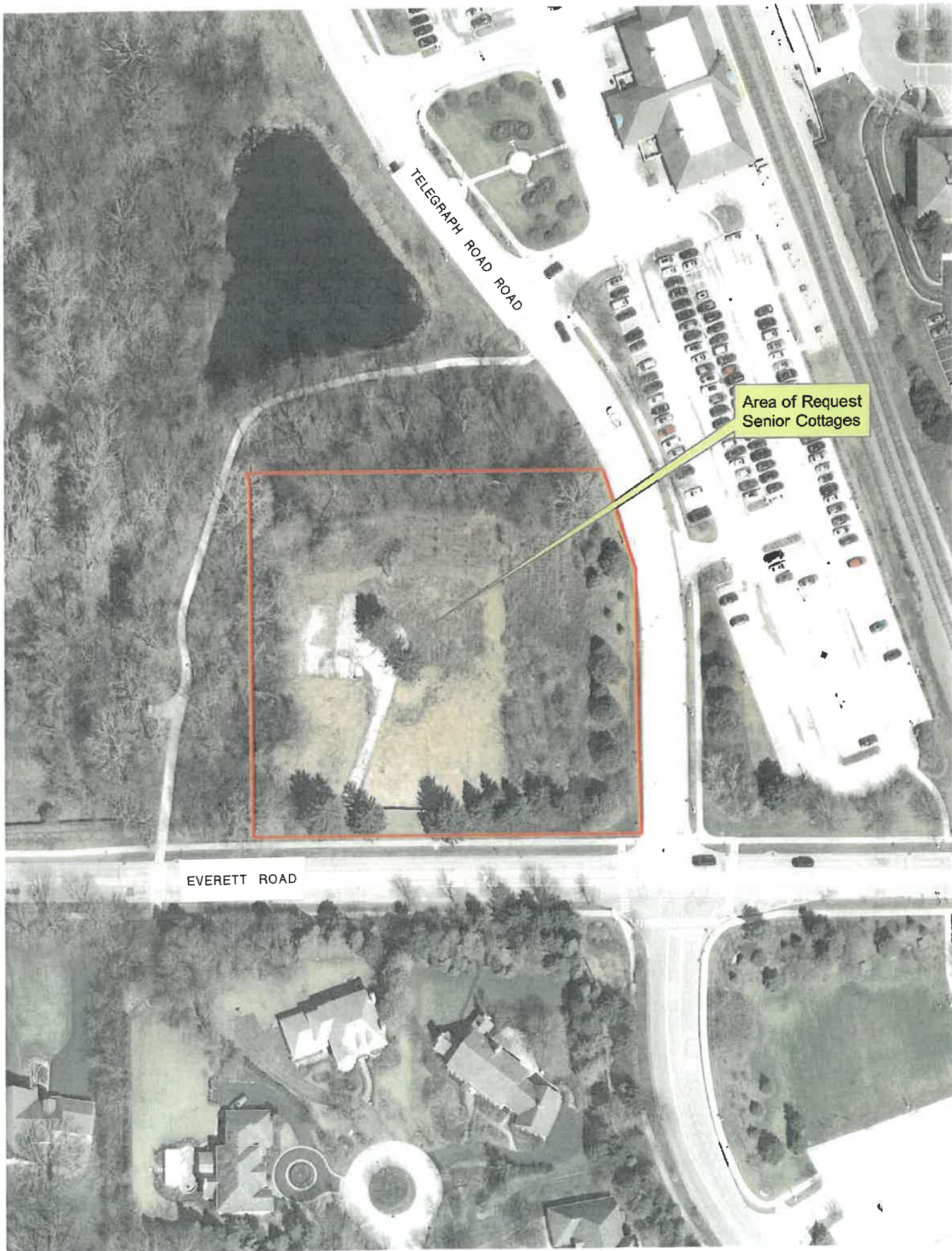
1. If any modifications are made to the plans that were presented to the Board, in response to Board direction, or, as the result of final design development, the modifications shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
2. An overall landscape plan shall be brought back to the Board for review as the plans are refined. The landscape plan shall detail the perimeter plantings, the vegetation that will remain along Everett and Telegraph Roads and the vegetation that will be added, a typical plan for foundation plantings, street trees and the landscape screen, existing and new plantings, that will provide privacy for the cottages closest to the public walking path.
3. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
4. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. No parking of construction or contractor vehicles is permitted on Everett or Telegraph Roads. Consideration should be given to using the south end of the train station parking lot if on site parking during construction cannot be accommodated.



TELEGRAPH ROAD ROAD

Area of Request  
Senior Cottages

EVERETT ROAD







Area of Request  
Senior Cottages





**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

**PROJECT ADDRESS** NW CORNER OF WEST EVERETT ROAD & TELEGRAPH ROAD

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**PROPERTY OWNER INFORMATION**

CITY OF LAKE FOREST  
*Owner of Property*

220 E. DEERPATH  
*Owner's Street Address (may be different from project address)*

LAKE FOREST, IL 60045  
*City, State and Zip Code*

847-810-3675

*Phone Number*

*Fax Number*

wichaj@cityoflakeforest.com  
*Email Address*

Jason Wicha  
*Owner's Signature*

**ARCHITECT/BUILDER INFORMATION**

TIMOTHY ARCHIBALD

*Name and Title of Person Presenting Project*

MIDWEST ARCHITECTURE STUDIO, INC.

*Name of Firm*

269 MARKET SQUARE, SUITE A

*Street Address*

LAKE FOREST, IL 60045

*City, State and Zip Code*

(847) 604-8599

*Phone Number*

*Fax Number*

TIM@MASISMORE.COM

*Email Address*

[Signature]  
*Representative's Signature (Architect/ Builder)*

**The staff report is available the Friday before the meeting, after 3:00pm.**

**Please email a copy of the staff report**

☒ OWNER

☒ REPRESENTATIVE

**Please fax a copy of the staff report**

☐ OWNER

☐ REPRESENTATIVE

**I will pick up a copy of the staff report at  
the Community Development Department**

☐ OWNER

☐ REPRESENTATIVE



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## BUILDING REVIEW BOARD APPLICATION

LAKE FOREST SENIOR HOUSING  
NW CORNER OF WEST EVERETT ROAD AND TELEGRAPH ROAD

### STATEMENT OF INTENT

The proposed Lake Forest Senior Housing project is a collection of 12 new residences (6 duplexes). 8 of the units are one design type, and these surround the remaining 4 units in a looped site plan. The site and unit design give the project a diversity of composition and materials, avoiding repetition and similarity. The site is constrained on all 4 sides: Telegraph Road to the east, Everett Road to the south, a community walking path and residential neighborhood to the west, and sloping wetlands to the north. Still, the site layout provides privacy and views for each unit, especially to the north and west, with enough visual density to form a community. The loop layout allows access from both Everett and Telegraph Roads, increasing flexibility and reducing internal congestion. Site lines are established by the loop road to provide strategic long views between duplexes. Attached, single bay garages face the loop, on the sides of the 4 internal units and the fronts of the 8 surrounding units. We imagine the site populated with strategic decorative and screening trees and other landscape design elements to complement the significant inventory of trees already on the site, particularly to the north. The landscaping and buildings will complement each other and soften the hard edges and wall surfaces, adding natural color and organic shapes to the overall composition. The site plan emphasizes a walking community with sidewalks and preservation of the community path, and given the close proximity to West Lake Forest shopping and other businesses we imagine this as a vibrant, community connected senior development.

On the site plan you will notice that the southeast duplex extends over the eastern setback by 4'-6" (maximum encroachment). There are several reasons for this setback encroachment request. The community walking path on the west side of the site is important to maintain, and important to have comfortable distance between the path and the new residences. We are showing this distance at 26'-5" currently. The distances desired for driveways, sidewalks and streets telegraph across the site to the east, and result in the encroachment described above. The southeast corner of the southeast duplex lands in a comfortable relationship to the existing berm at this location, and we feel this site plan balances the various influences and constrictions on site.

All 6 of the buildings are single story duplexes with double gables and entry porches facing the street. All 12 units are two bedrooms with one full bath and one powder room, laundry, open plan living/kitchen, and private covered back porch. All units are designed with ADA accessibility in mind, with flush entry doors, flush shower, and appropriate clearances. The residences are designed to make bedroom areas private and isolated, and living/kitchen areas open and light-filled with vaulted dormers. The first unit type (8 units, 4 duplexes) has composite clapboard siding, painted wooden trim, natural stucco siding accent walls, architectural asphalt shingle 12:12 slope main roofs with deep green standing seam roofs at the front porch and matching deep green windows with full wooden shutters. These units are just 1,015 sf excluding the garage. The second unit type (4 units, 2 duplexes) has natural stucco siding with detail joints, painted wooden trim, architectural asphalt shingle 12:12 slope roofs, and white windows with pewter colored full wooden shutters. These units are 1,095 sf excluding the garage.





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The proposed project meets the design housing goals of the senior residential development, and is in keeping with the City of Lake Forest Residential Design Guidelines. Beyond function and pleasure, the design pays close attention to the following criteria relative to guidelines and the neighborhood. The style and material palette is a mix of English Colonial Cottage with some French Eclectic accents, fitting in comfortably with the adjacent neighborhoods. There is a simplicity of massing and consistent 12:12 roof shapes that create a legible hierarchy, and provides a comfortable rhythm of facades along the street. The single-story massing maintains a modest scale for individual buildings so the collection of duplexes does not overpower the development relative to the site and landscape. Building design elements contribute as well: dormers, porches, shutters, window proportions and muntins. Finally, landscaping will play a significant part in the overall composition of the development. The following responses to the Standards for approval of the variance give greater detail about the goals and design of the project.

## STANDARDS FOR ARCHITECTURAL AND SITE DESIGN REVIEW

***Standard 1 - Site Plan. All setbacks should be met or exceeded and disturbance to the natural landscaping on the property should be minimized. Driveway and parking areas should be screened to reduce visual intrusions into surrounding properties. Screening, fencing, gates and pillars should be consistent in design and materials with the principal buildings and the surrounding neighborhood.***

These standards are met with the current design, with the exception of the southeast corner setback encroachment. The site plan was developed to preserve the natural existing elements of the site, particularly trees to the north and west. All design elements are consistent with Lake Forest design guidelines and the surrounding neighborhood. Landscape screening for paved areas is planned for post-construction of the residences.

***Standard 2 - Elevations. The scale and height of the project should comply with Code requirements and should be visually compatible with the landscaping, topography and buildings on the site and in the neighborhood. The visual continuity of roofs should be maintained in building development or redevelopment. To the extent possible, the project should be consistent with a chosen style of architecture. The elevations of the project should be proportional to the property and surrounding neighborhood.***

All of these standards are met with the current design. The consistent scale, shape and height of the roof lines and elevations adhere to the details and hierarchy of the Lake Forest design guidelines and the surrounding neighborhood buildings and landscape.

***Standard 3 - Landscaping. Landscaping plans should be consistent with the natural environment of the site and surrounding properties. Existing natural features should be appropriately preserved and integrated into the project.***

All of these standards are met with the current design. Landscape design will be completed with construction of the project to enhance the existing natural features and outdoor space, and respect the privacy of adjacent properties with appropriate landscape screening.

***Standard 4 - Type, Color and Texture of Materials. Exterior materials should be of the highest quality, appropriate for the intended use, and consistent with the chosen architectural style. Imitation and synthetic substitutions should be avoided and the design, material and color scheme should be compatible with and enhance the character of the property and the surrounding neighborhood.***

All of these standards are met with the current design per the descriptions above.

***Standard 5 - Overall Site Layout. The building layout should maximize the distance between buildings on the site and adjacent properties. The size, scale and nature of a building or project should be consistent with the existing streetscape and character of the neighborhood.***

All of these standards are met with the current design.



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS***  
(The use of natural materials is strongly encouraged)

**Facade Material**

- |  |  |
|--|--|
| <input type="checkbox"/> Stone                 | <input type="checkbox"/> Aluminum Siding                         |
| <input type="checkbox"/> Brick                 | <input type="checkbox"/> Vinyl Siding                            |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco                        |
| <input checked="" type="checkbox"/> Stucco     | <input type="checkbox"/> Other <u>COMPOSITE CLAPBOARD SIDING</u> |
| <input type="checkbox"/> Wood Shingle          |  |
- Individual or Panels? \_\_\_\_\_

Color of Material WHITE SIDING, NATURAL LIGHT TAUPE STUCCO COLOR

**Window Treatment**

**Primary Window Type**

- ☐ Double Hung  
☒ Casement  
☐ Sliding  
☐ Other \_\_\_\_\_

**Finish and Color of Windows**

- ☐ Wood (recommended)  
☒ Aluminum Clad  
☐ Vinyl Clad  
☐ Other \_\_\_\_\_

Color of Finish WHITE; HUNTER GREEN

**Window Muntins**

- ☐ Not Provided  
☐ True Divided Lites

***Simulated Divided Lites***

- ☒ Interior and Exterior muntin bars (recommended)  
☐ Interior muntin bars only  
☐ Exterior muntin bars only  
☒ Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- ☐ Limestone  
☐ Brick  
☒ Wood  
☐ Other \_\_\_\_\_

**Window Trim**

- ☐ Limestone  
☐ Brick  
☒ Wood  
☐ Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- ☒ Wood  
☐ Other \_\_\_\_\_

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED***

**Chimney Material**

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other \_\_\_\_\_

**Foundation Material**

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☒ Other CONCRETE

**Roofing**

**Primary Roof Material**

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☒ Composition Shingles
- ☒ Sheet Metal STANDING SEAM
- ☐ Other \_\_\_\_\_

**Flashing Material**

- ☐ Copper
- ☒ Sheet Metal
- ☐ Other \_\_\_\_\_

**Skylights**

- ☐ Proposed
- ☐ Existing
- ☒ None

**Gutters and Downspouts**

- ☐ Copper
- ☒ Aluminum
- ☐ Other \_\_\_\_\_

**Driveway Material**

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other \_\_\_\_\_

**Terraces and Patios**

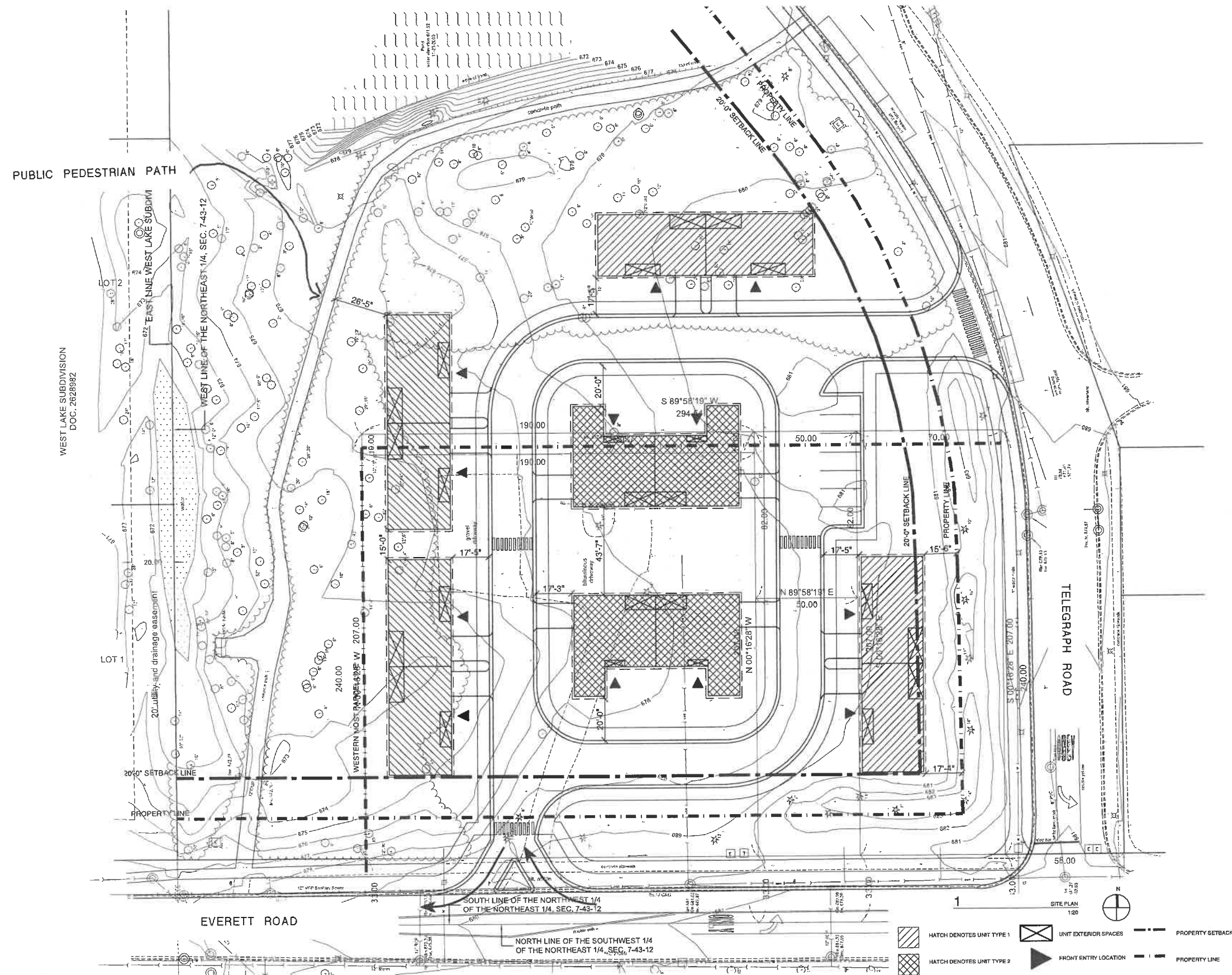
- ☐ Bluestone
- ☐ Brick Pavers
- ☒ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other \_\_\_\_\_



## MAS

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EXISTING SITE PLAN &  
COTTAGE LOCATIONS  
SCALE: 1:20  
1/10/22  
DRAWN BY: BB

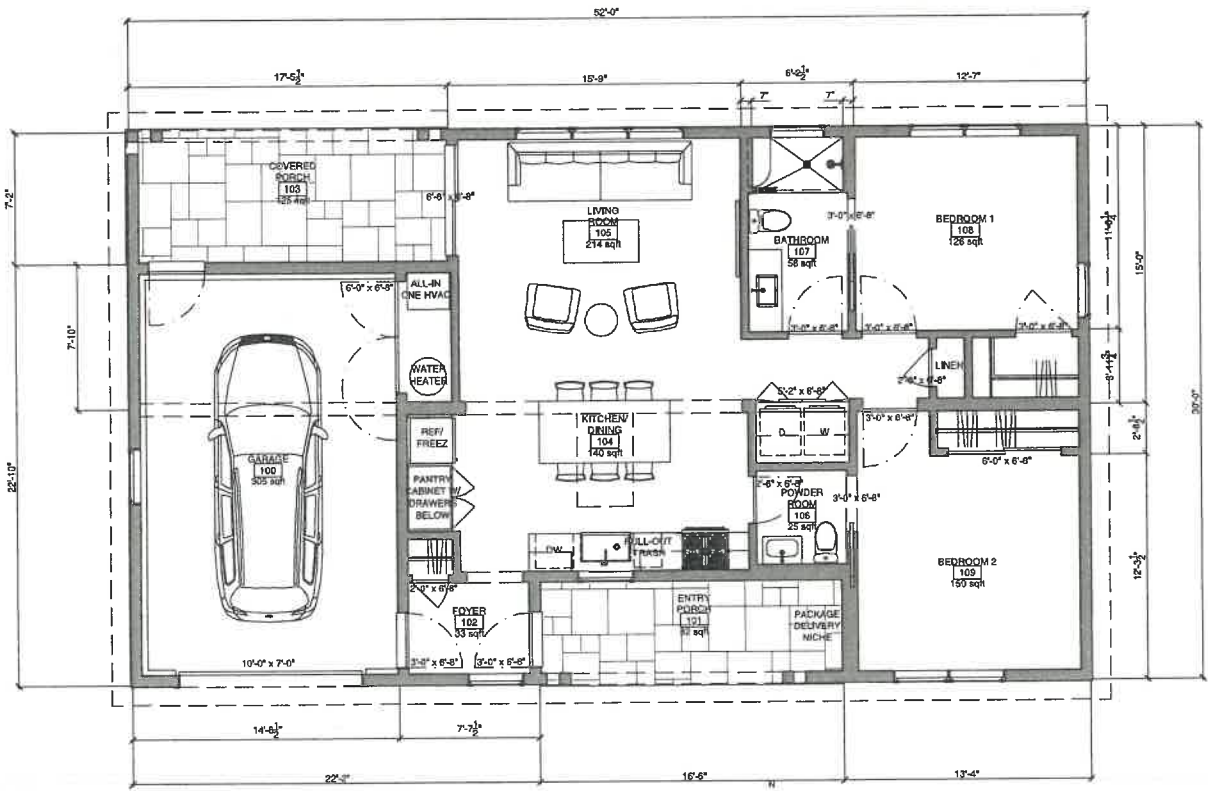
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2 FRONT ELEVATION - OPTION 1  
1/4" = 1'-0"



1 FLOOR PLAN - OPTION 1  
1/4" = 1'-0"

ARCHITECTURAL PLANS  
FLOOR PLAN & FRONT ELEVATION  
SCALE: 1/4" = 1'-0"  
1.19.22  
DRAWN BY: BB

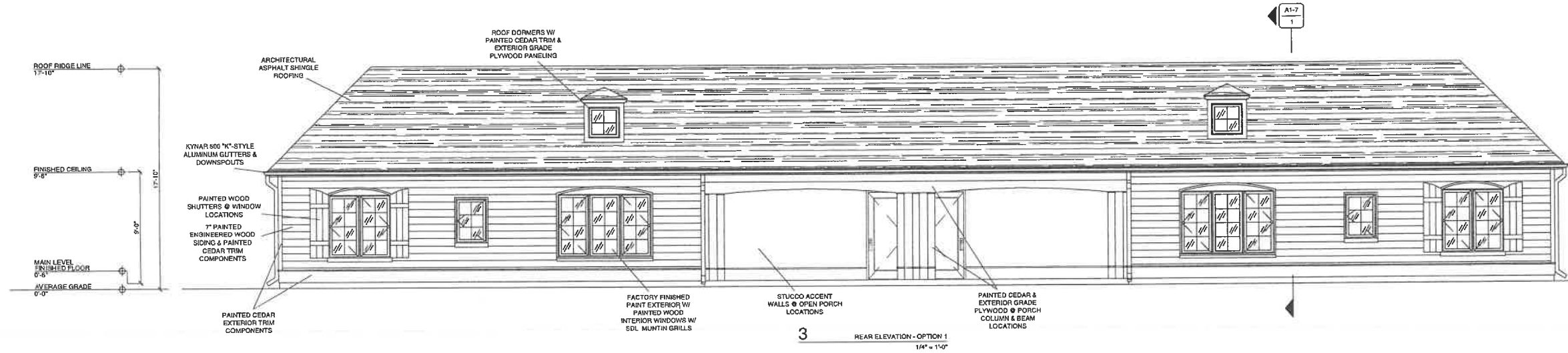
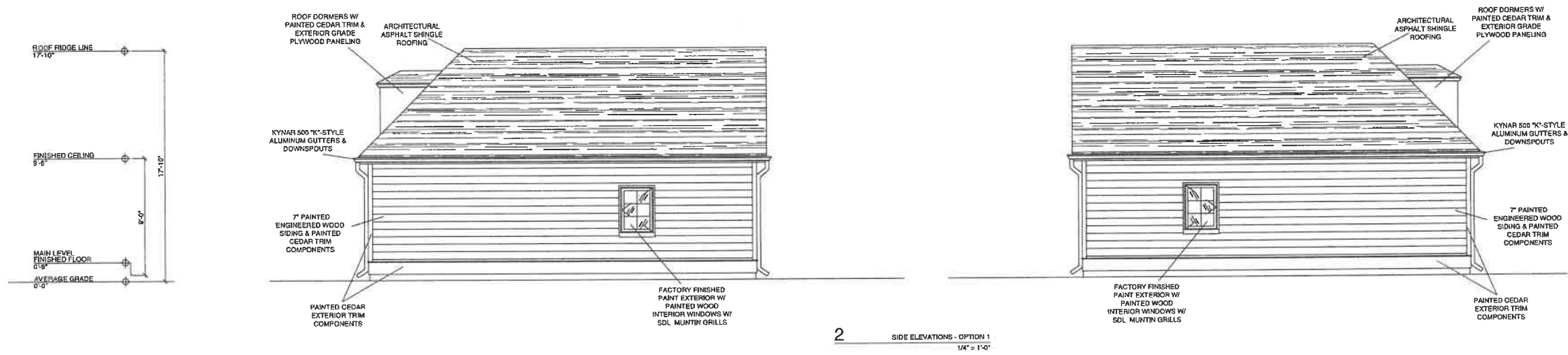
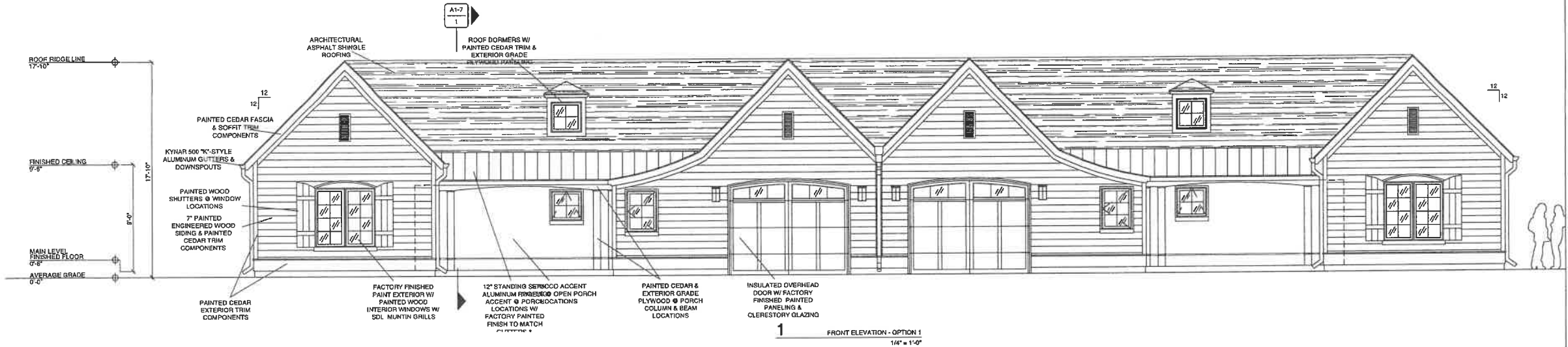
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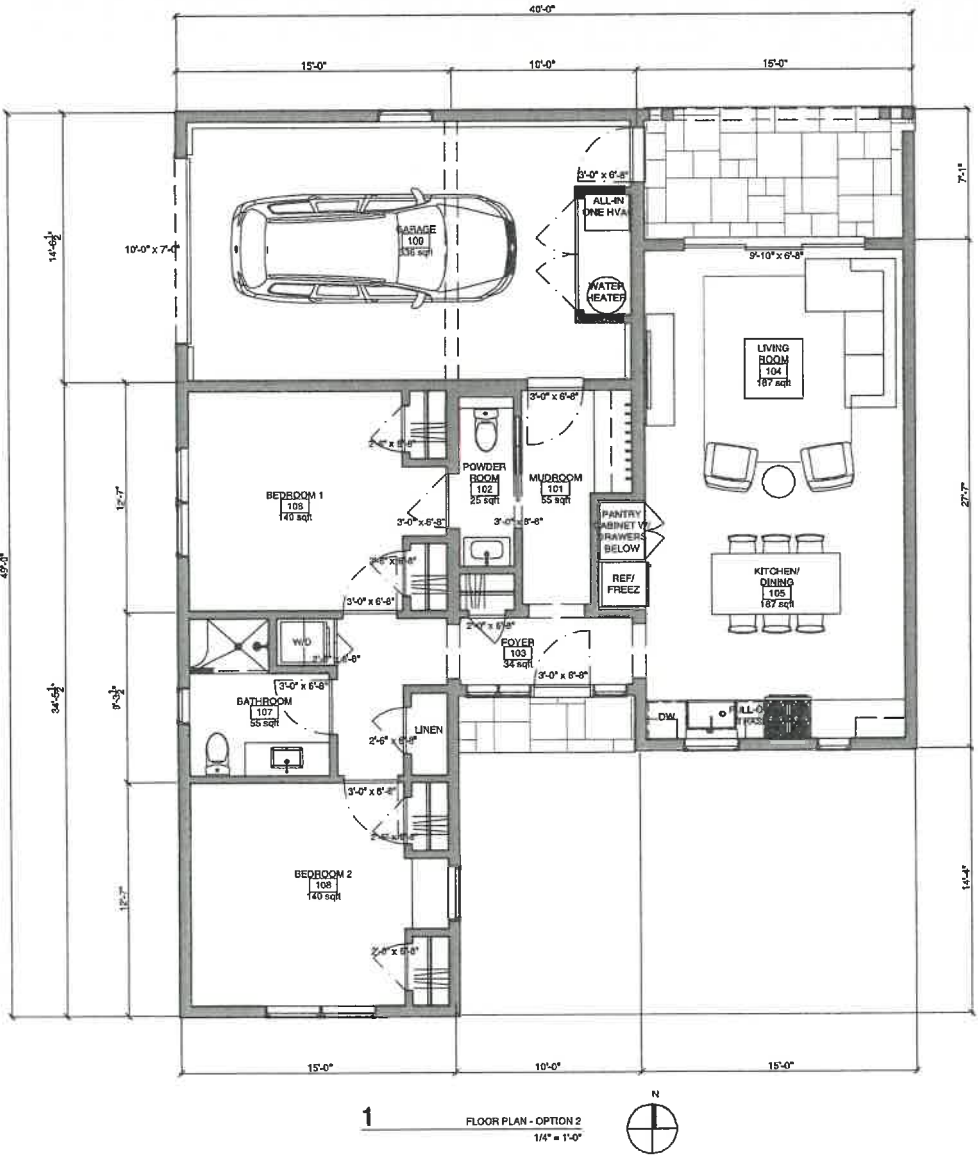


ELEVATIONS:  
OPTION 1  
SCALE: 1/4" = 1'-0"  
1/1/2023  
DRAWN BY: BB

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ARCHITECTURAL PLANS  
FLOOR PLAN & FRONT ELEVATION  
SCALE: 1/4" = 1'-0"  
1/10/22  
DRAWN BY: BB

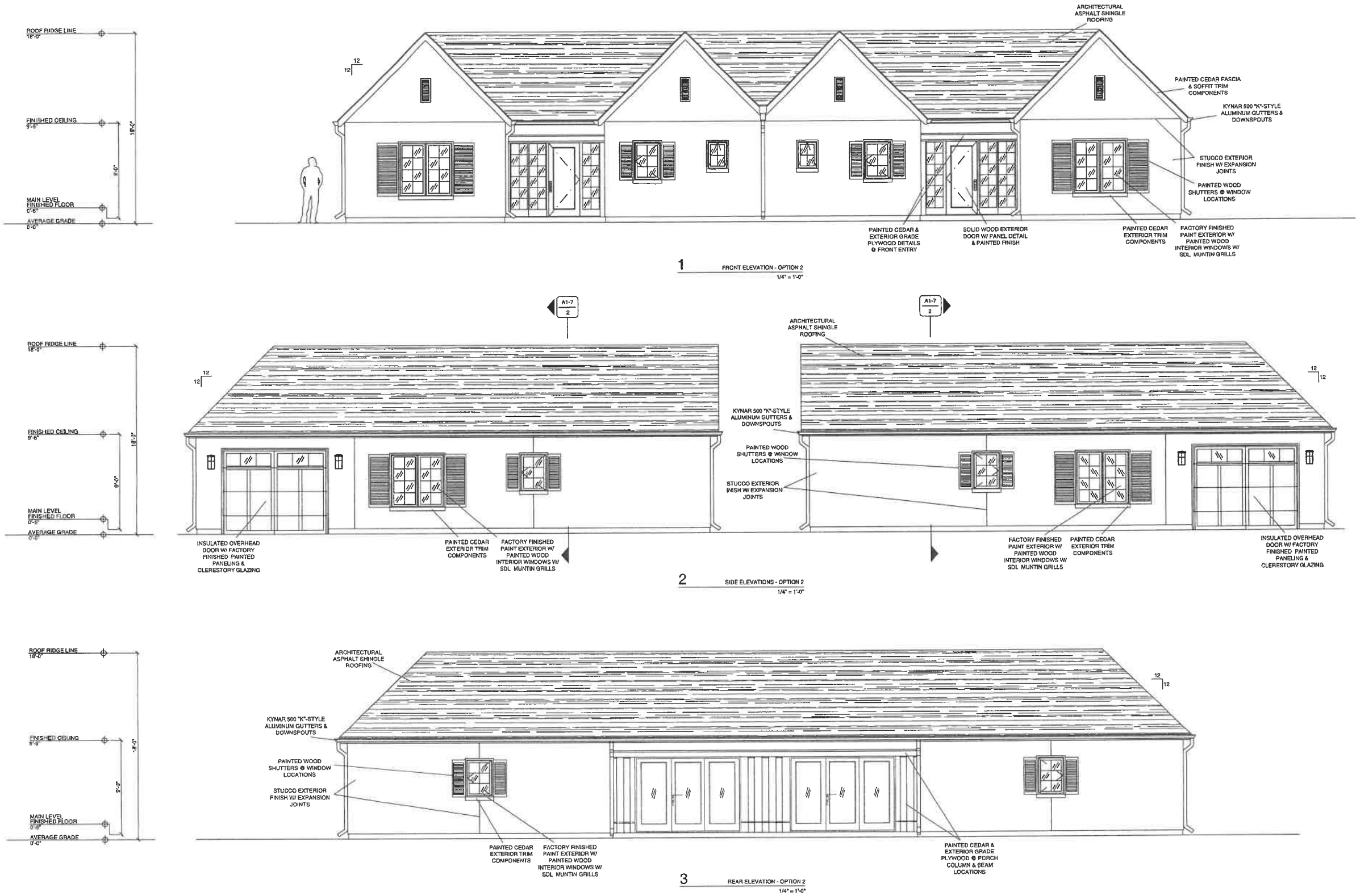
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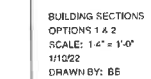
ELEVATIONS  
OPTION 2  
SCALE: 1/4" = 1'-0"  
1/15/22  
DRAWN BY: BB

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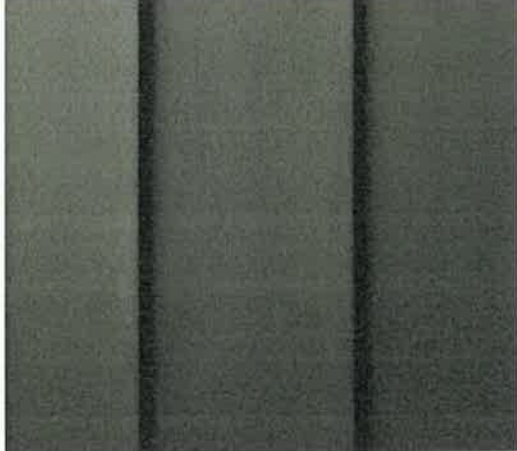
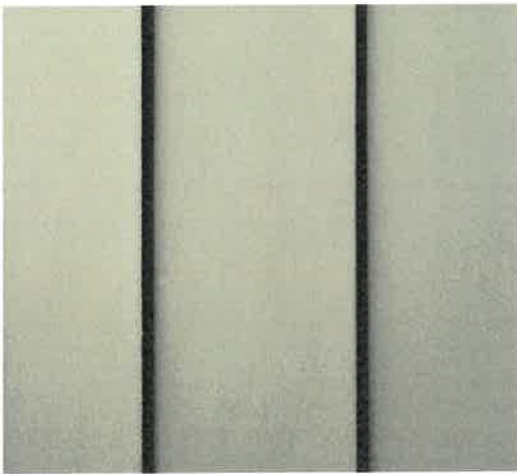
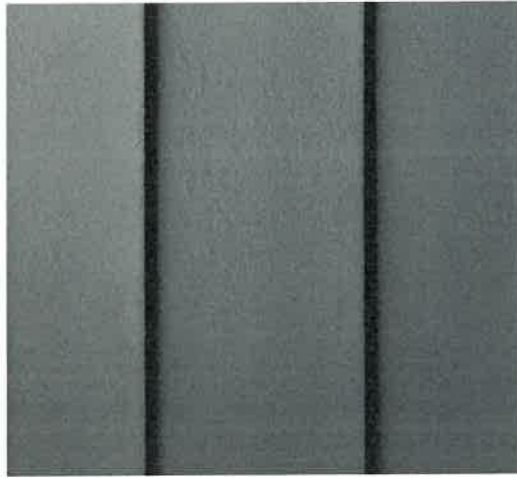
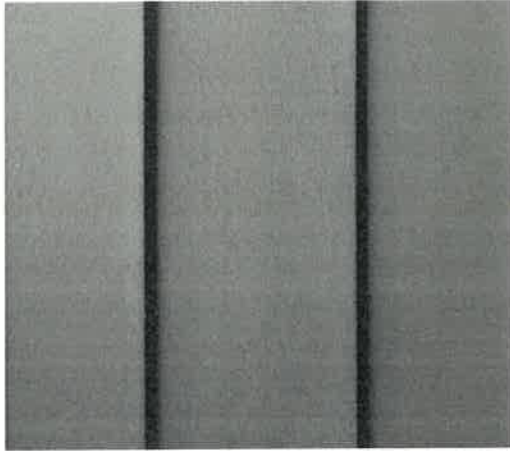
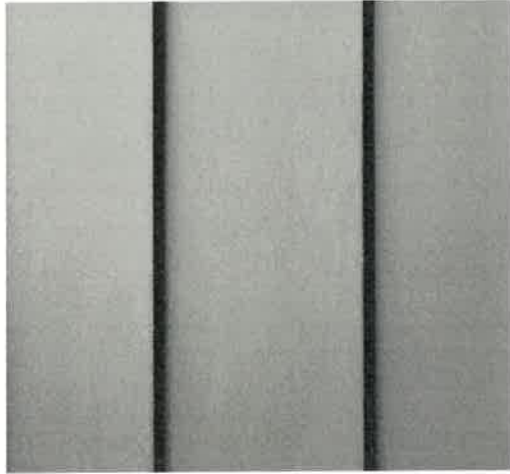
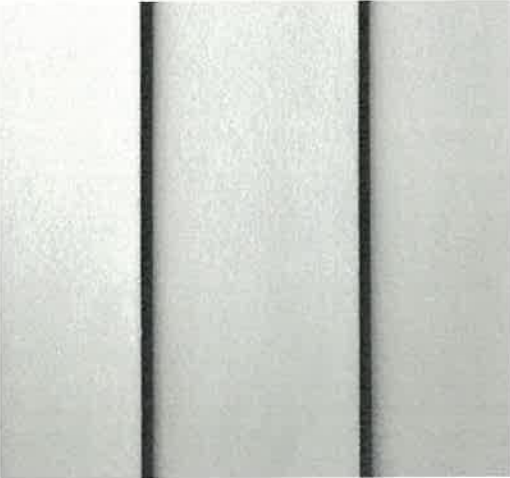


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STUDIO

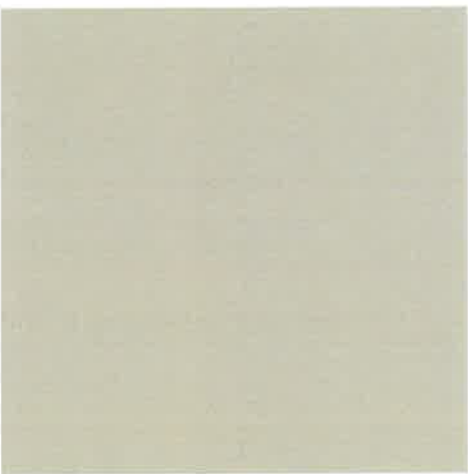
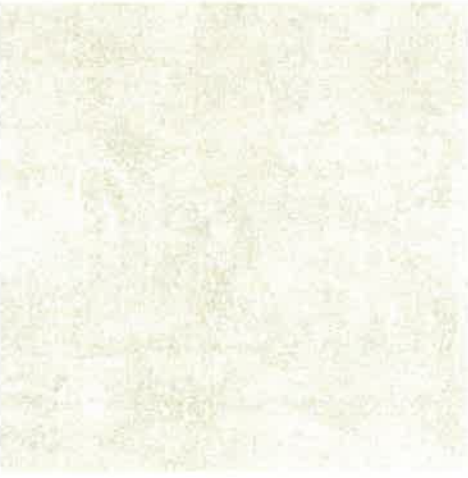
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LAKE FOREST SENIOR HOUSING  
MATERIAL PALETTE

FAÇADE MATERIAL (COMPOSITE CLAPBOARD SIDING)



FAÇADE MATERIAL (NATURAL STUCCO)



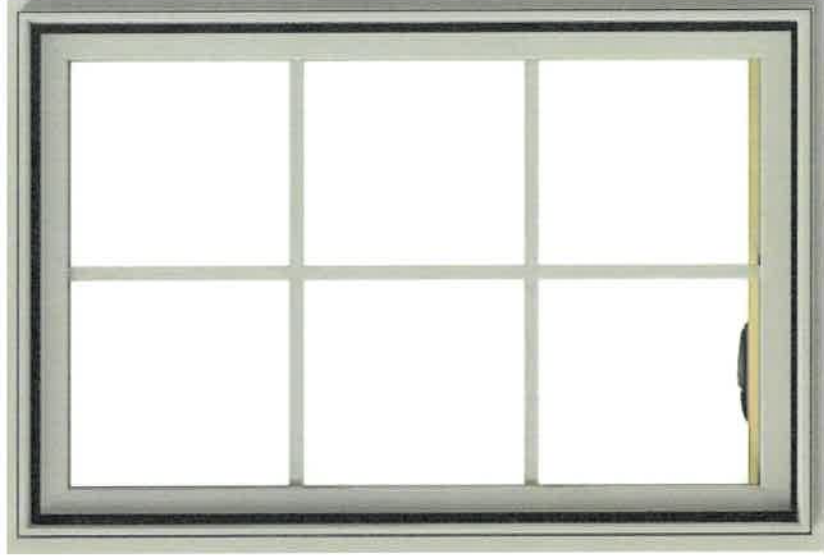
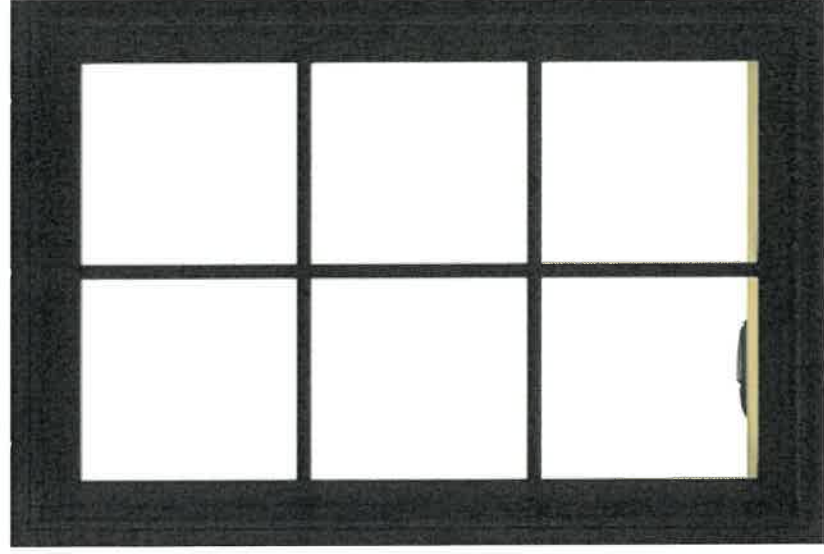
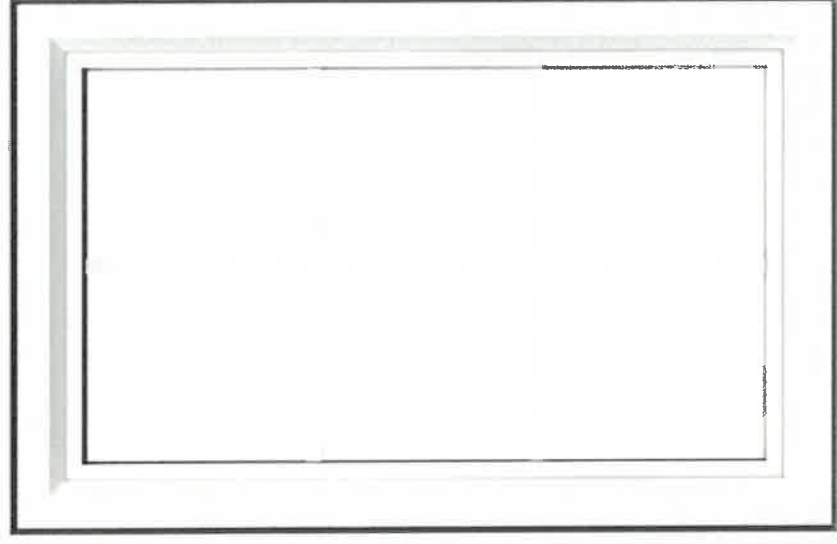
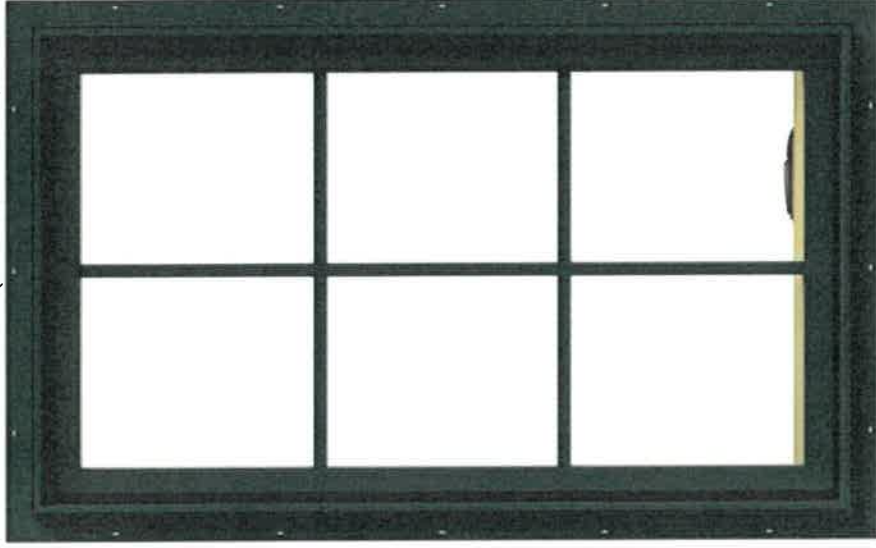


# MAS

MIDWEST  
ARCHITECTURE  
STUDIO

269 MARKET SQUARE SUITE A  
LAKE FOREST ILLINOIS 60045  
T 847 604 8599  
F 847 604 8598  
INFO@MASISMORE.COM

WINDOW TYPE (CASEMENT, ALUMINUM CLAD, SIMULATED DIVIDED)



MAS

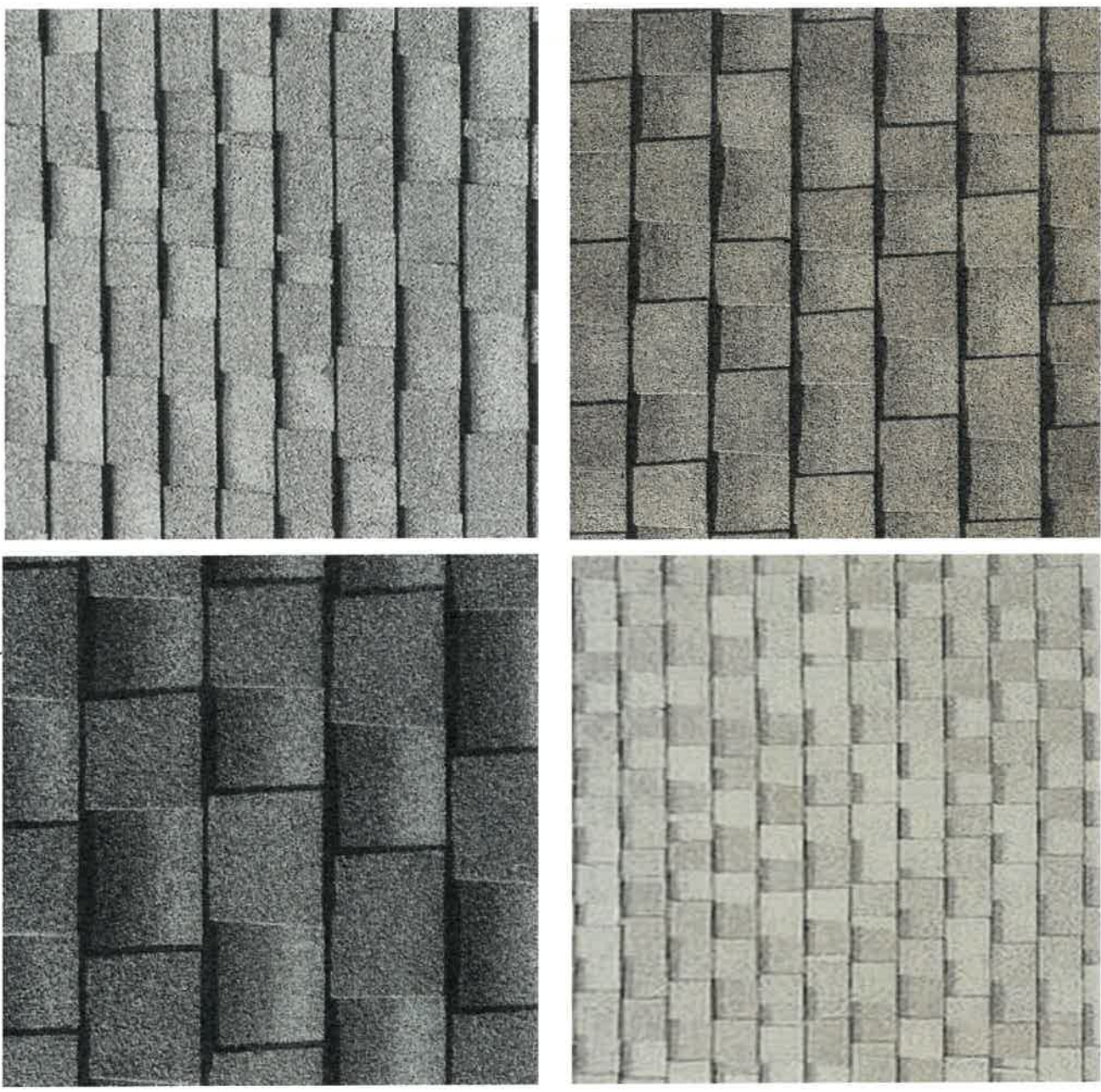
MIDWEST  
ARCHITECTURE  
STUDIO

269 MARKET SQUARE SUITE A  
LAKE FOREST ILLINOIS 60045  
T 847 604 8599  
F 847 604 8598  
INFO@MASISMORE.COM

EXTERIOR TRIM MATERIAL (NATURAL WOOD, PAINTED WHITE)



PRIMARY ROOFING MATERIAL (ARCHITECTURAL ASPHALT COMPOSITION SHINGLE)





MAS

MIDWEST  
ARCHITECTURE  
STUDIO

269 MARKET SQUARE SUITE A  
LAKE FOREST ILLINOIS 60045  
T 847 604 8599  
F 847 604 8598  
INFO@MASISMORE.COM

SECONDARY ROOFING MATERIAL (STANDING SEAM METAL)



FLASHING / GUTTER / DOWNSPOUT MATERIAL (PAINTED ALUMINUM)

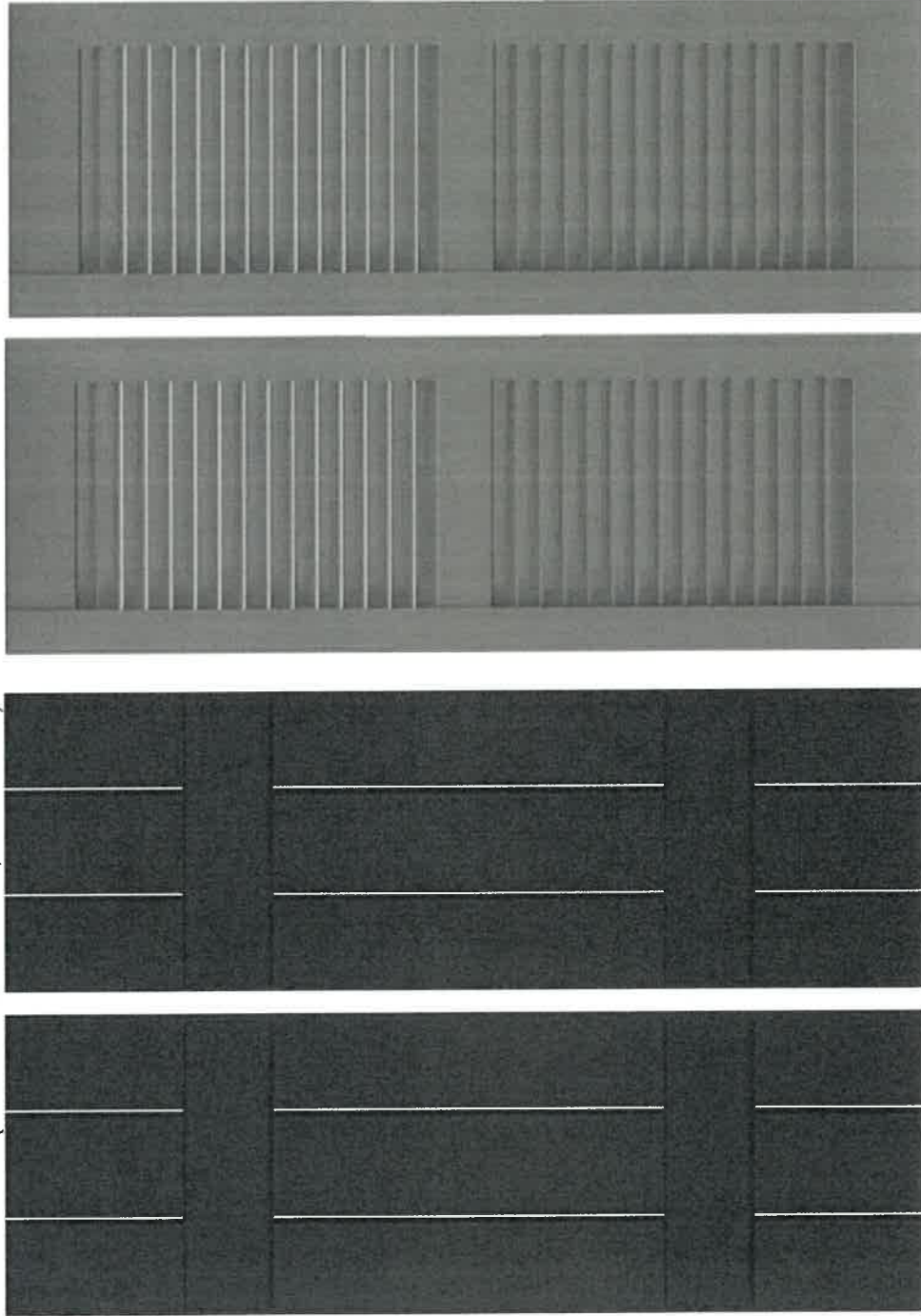


MAS

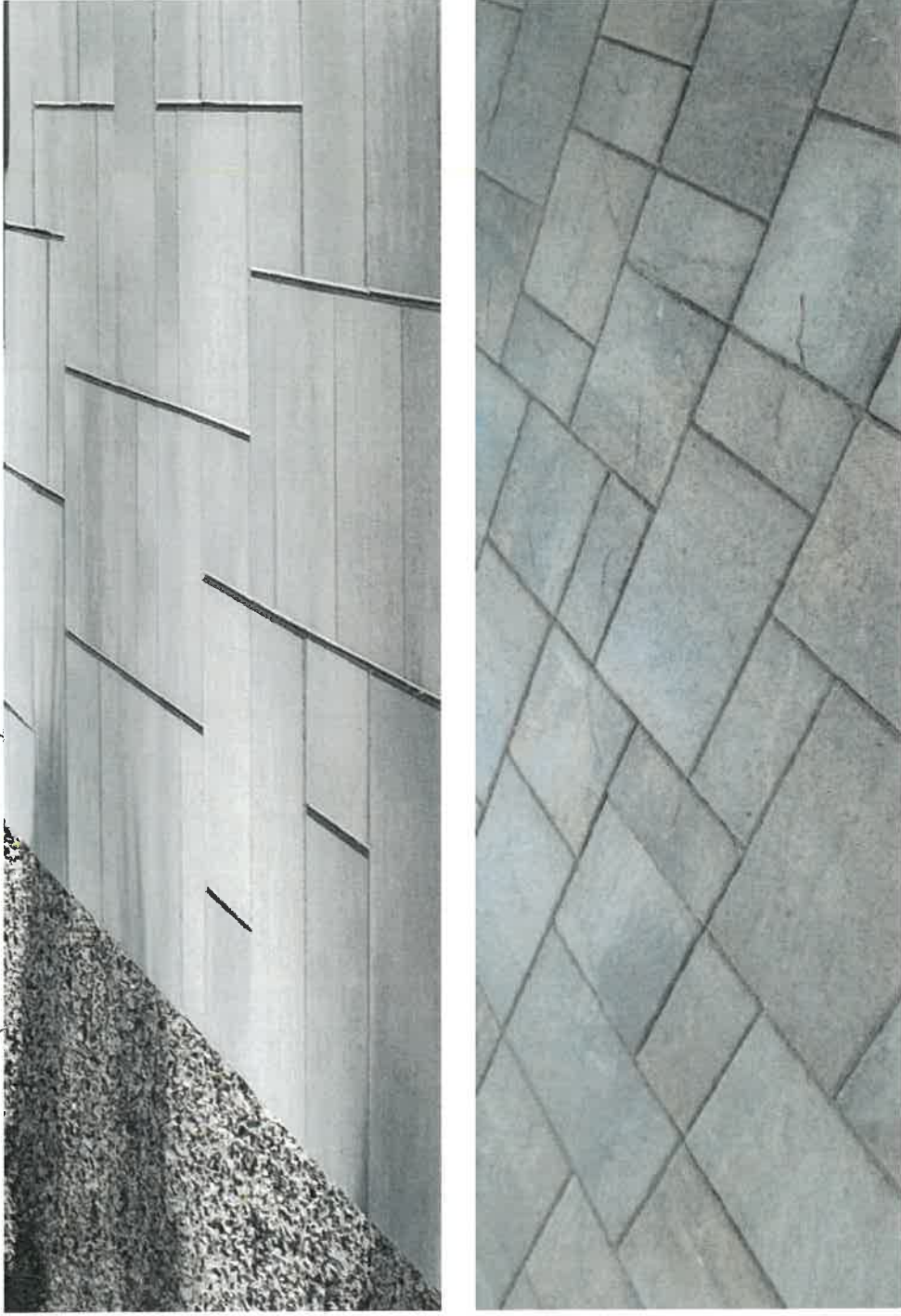
MIDWEST  
ARCHITECTURE  
STUDIO

269 MARKET SQUARE SUITE A  
LAKE FOREST ILLINOIS 60045  
T 847 604 8599  
F 847 604 8598  
INFO@MASISMORE.COM

SHUTTERS (NATURAL WOOD, PAINTED)



TERRACE / PATIO (CONCRETE PAVER)





**Agenda Item 4**  
**383 Illinois Road**  
**Front Porch Addition**

Staff Report  
Building Scale Summary  
Vicinity Map  
Air Photos

Materials Submitted by Petitioner

Application  
Statement of Intent  
Description of Exterior Materials  
Proposed Site Plan  
Existing and Proposed Elevations  
Proposed Floor Plan  
Image of Existing Residence

## 383 Illinois Road

**Consideration of a request for approval of a porch addition on the front of the residence.**

**Property Owners: Steven Dauer and Mary Saville-Schulte.**

**Project Representative: Robert Gebelhoff, designer**

Staff Contact: Jen Baehr, Planner

### **Description of Property and Existing Residence**

This property is located on the south side of Illinois Road, across from Gorton Community Center. The area is generally characterized by narrow, pie slice shaped lots with homes built in the 1920's and 1930's. The property that is the subject of this request is approximately 13,579 square feet. The lot is 60 feet at its widest point, along Illinois Road, and tapers to 25 feet wide at the south. The existing residence on the property was built in 1928 and is a two-story single family home with a detached garage in the rear yard. The property shares a driveway with the neighboring property to the west.

### **Summary of Request**

This is a request for approval of an open porch addition on the front elevation of the home. The petitioner is also proposing to remove the existing shutters on front elevation and an ornamental railing above the front door.

### **Staff Evaluation**

An evaluation of the project based on the applicable standards and staff recommendations are offered below for the Board's considerations.

*Site Plan – This standard is met.*

The proposed porch is located on north side of the existing home. The porch is centered on the front façade and is 8 feet wide and 25 feet and 8 inches long. A new brick walkway is proposed from the porch to the driveway on the west side of the property.

*Building Massing and Height – This standard is met.*

Based on the lot size, a residence of up to 3,201 square feet is permitted on the site with an allowance of 576 square feet for a garage and 320 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries and screen porches.

- The existing residence totals 2,841 square feet and complies with the allowable square footage.
- The existing garage totals 402 square feet and complies with the allowable square footage for a garage.
- The house has a covered entry on the rear of the home that accounts for 12 square feet of 320 square feet allowed for design elements.
- The proposed front porch totals 204 square feet and is considered a design element and is exempt from the total square footage calculation of the home and within the available square footage for design elements.

The maximum building height for this property is 30 feet. The highest point of the existing house is 28 feet and 7 inches. The height of the proposed porch is 13 feet and 9 inches.

*Elevations – This standard is met.*

The proposed porch has stone piers with wood posts that support a hip style roof. The hip roof has a shallow pitch to avoid interfering with the windows on the second floor. Wood lattice is proposed under the porch. The porch has simple railings with an arch detail that is intended to relate to the arched entry door and window on the front elevation.

*Type, color, and texture of materials – This standard is met.*

As noted above, the porch will have natural cut stone piers and wood posts. The porch roof will be asphalt shingle to match the existing home. The porch steps, railing, fascia and lattice below will be wood.

The existing shutters on the front elevation will be removed. The petitioner does not intend to replace the shutters. The shutters do not appear to be part of the original design of the home given the spacing of the windows on the second floor.

*Landscaping – This standard is met.*

The proposed porch does not require removal of any trees on the site. The petitioner's statement of intent indicates that the existing boxwoods at the front of the home will be relocated in front of the porch. The property is well landscaped and the petitioners intend to enhance the landscaping as appropriate after the construction of the front porch is completed.

**Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

**Recommendation**

Recommend approval of the front porch addition based on the findings detailed in this report. Approval is recommended subject to the following conditions:

1. If any modifications are made to the plans that were presented to the Board, either in response to Board direction, or as the result of final design development, the modifications shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
2. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, *except those illuminated by natural gas at low light levels*, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
3. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of

Community Development. Due to the traffic volumes and curving nature of Illinois Road, on street parking is not permitted for construction or contractor vehicles.



**THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET**

Address 383 Illinois Road Owner(s) Mary Schulte and Steven Dauer  
 Architect Robert Gebelhoff, Designer Reviewed by: Jen Baehr  
 Date 1/10/2021  
 Lot Area 13579 sq. ft.

**Square Footage of Existing Residence:**

1st floor 1502 + 2nd floor 1339 + 3rd floor 0 = 2841 sq. ft.

Design Element Allowance = 320 sq. ft.

Total Existing Design Elements = 12 sq. ft. Excess = 0 sq. ft.

Garage 402 sf actual ; 576 sf allowance = 0 sq. ft.

Garage Width 18'-11" ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

**Total Square Footage of Existing Residence:** = 2841 sq. ft.

**Square Footage of Proposed Additions:**

1st floor 0 + 2nd floor 0 + 3rd floor 0 = 0 sq. ft.

New Garage Area 0 sq.ft. Excess = 0 sq. ft.

New Design Elements 204 sq.ft. Excess = 0 sq. ft.

**TOTAL SQUARE FOOTAGE** = 2841 sq. ft.

**TOTAL SQUARE FOOTAGE ALLOWED** = 3201 sq. ft.

**DIFFERENTIAL** = -360 sq. ft. **NET RESULT:**  
**Under Maximum**

360 sq. ft. is

Allowable Height: 30 ft. Actual Height 28'- 7" (existing house) 13' - 9" (proposed porch)

**11.0% under the  
Max. allowed**

**DESIGN ELEMENT EXEMPTIONS (Existing & Proposed)**

Design Element Allowance: 320 sq. ft.

Front & Side Porches = 204 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 12 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

**Total Actual Design Elements =** 216 sq. ft.

**Excess Design Elements =** 0 sq. ft.



Area of Request  
383 Illinois Road

E DEERPATH

N MCKINLEY RD

E WALNUT RD

N WASHINGTON RD

E COLLEGE RD

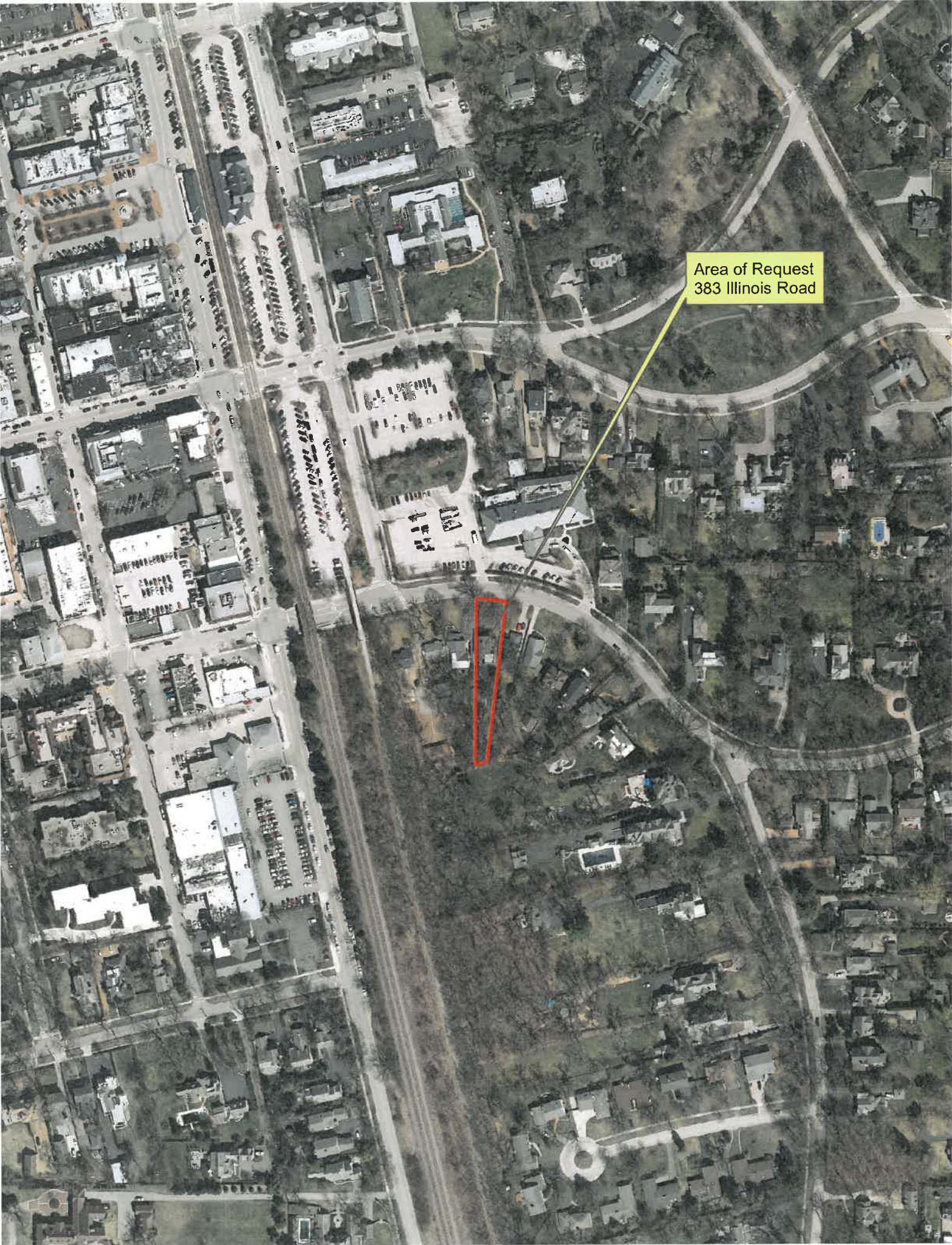
E ILLINOIS RD

E VINE AVE

N BANK LN


N WESTERN AVE





Area of Request  
383 Illinois Road



An aerial photograph of a residential neighborhood. A red-outlined rectangular area is highlighted in the center, containing several houses and trees. A yellow line points from a text box at the bottom left to this red-outlined area. The surrounding area includes a parking lot with several cars at the top, a road on the right, and a wooded area with more houses at the bottom. A yellow text box with a pointer line is located in the lower-left quadrant.

Area of Request  
383 Illinois Road





THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 383 E Illinois Rd

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

Steven J. Dauer  
Mary Saville-Schulte

Owner of Property

Same

Owner's Street Address (may be different from project address)

City, State and Zip Code

(847) 370-4436

Phone Number

Fax Number

mjsaville@gmail.com

Email Address

Steven J. Dauer

Owner's Signature

Mary Saville-Schulte

ARCHITECT/BUILDER INFORMATION

Robert Gebelhoff

Name and Title of Person Presenting Project

M.A.R.S. Design & Construction

Name of Firm

3105 Wishing Well Lane

Street Address

Island Lake, IL 60042

City, State and Zip Code

(847) 526-4955

Phone Number

Fax Number

marslandc@att.net

Email Address

Robert Gebelhoff

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER ☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at  
the Community Development Department

☐ OWNER ☐ REPRESENTATIVE

## Statement of Intent

### Front Porch: 383 E. Illinois Rd

We are proposing to add a front porch to our home with a much more gracious and appropriate front-facing entrance. (Please see architect's drawings of existing and proposed entrances.)

We believe that the porch will greatly enhance the plain and stark facade of our home. It will also create a sense of privacy from the busy Illinois Road and Gorton Community Center directly across from us. Our living space will further benefit as the existing French doors will allow use of the porch.

The plan also includes, at minimum, relocating the existing boxwood plantings to the front of the proposed porch, which will be consistent with the beautiful landscaping that we have already done in both the front and back of the house. (Please see attached photos.)



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS***

**Façade Material**

- ☐ Stone  
☐ Brick  
☐ Wood Clapboard Siding  
☒ Stucco *Existing*

Color of Material \_\_\_\_\_

- ☐ Wood Shingle  
☐ Aluminum Siding  
☐ Vinyl Siding  
☐ Synthetic Stucco

☒ Other *Stone facing on column pedestals. wood porch and columns.*

**Window Treatment** *N/A*

**Primary Window Type**

- ☐ Double Hung  
☐ Casement  
☐ Sliding  
☐ Other \_\_\_\_\_

**Finish and Color of Windows**

- ☐ Wood  
☐ Aluminum Clad  
☐ Vinyl Clad  
☐ Other \_\_\_\_\_

Color of Finish \_\_\_\_\_

**Window Muntins**

- ☐ Not Provided  
☐ True Divided Lites

***Simulated Divided Lites***

- ☐ Interior and Exterior muntin bars  
☐ Interior muntin bars only  
☐ Exterior muntin bars only  
☐ Muntin bars contained between the glass

**Trim Material** *N/A*

**Door Trim**

- ☐ Limestone  
☐ Brick  
☐ Wood  
☐ Synthetic Material \_\_\_\_\_  
☐ Other \_\_\_\_\_

**Window Trim**

- ☐ Limestone  
☐ Brick  
☐ Wood  
☐ Synthetic Material \_\_\_\_\_  
☐ Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- ☐ Wood  
☐ Other \_\_\_\_\_  
☐ Synthetic Material \_\_\_\_\_



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material** N/A

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other \_\_\_\_\_

**Roofing**

**Primary Roof Material**

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☒ Composition Shingles \_\_\_\_\_
- ☐ Sheet Metal \_\_\_\_\_
- ☐ Other \_\_\_\_\_

**Flashing Material**

- ☐ Copper
- ☒ Sheet Metal \_\_\_\_\_
- ☐ Other \_\_\_\_\_

Color of Material Same as existing; see photos

**Gutters and Downspouts**

- ☐ Copper
- ☒ Aluminum
- ☐ Other \_\_\_\_\_

**Driveway Material** N/A

- ☐ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other \_\_\_\_\_

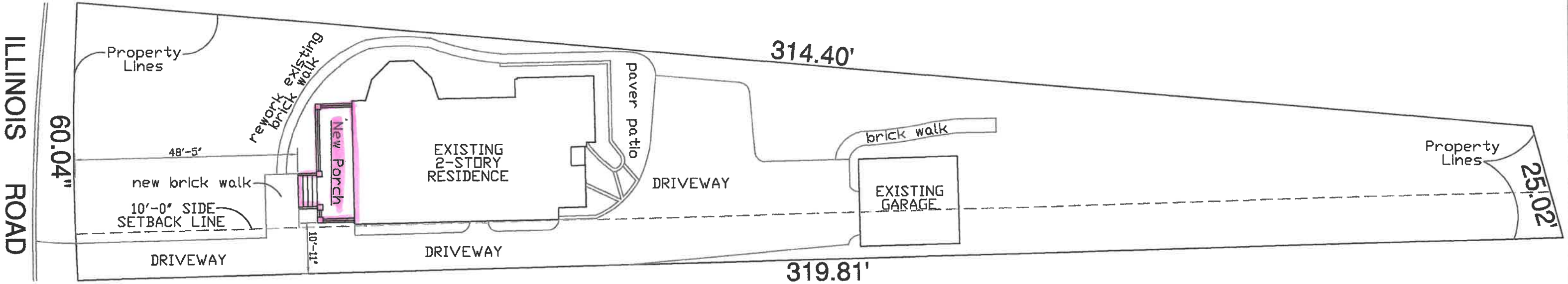
**Terraces and Patios** N/A

- ☐ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other \_\_\_\_\_

SAVILLE-SCHULTE/DAUER  
383 E. ILLINOIS ROAD  
LAKE FOREST, ILLINOIS

M.A.R.S. DESIGN  
& CONSTRUCTION

3105 WISHING WELL LANE ISLAND LAKE, IL 60042 (847) 526-4955



Proposed Plot Plan

Scale: 1" = 20'-0"  
383 E. ILLINOIS ROAD  
LAKE FOREST, ILLINOIS  
NORTH



SAVILLE-SCHULTE/DAUER  
383 E. ILLINOIS ROAD  
LAKE FOREST, ILLINOIS

M.A.R.S. DESIGN  
&  
CONSTRUCTION

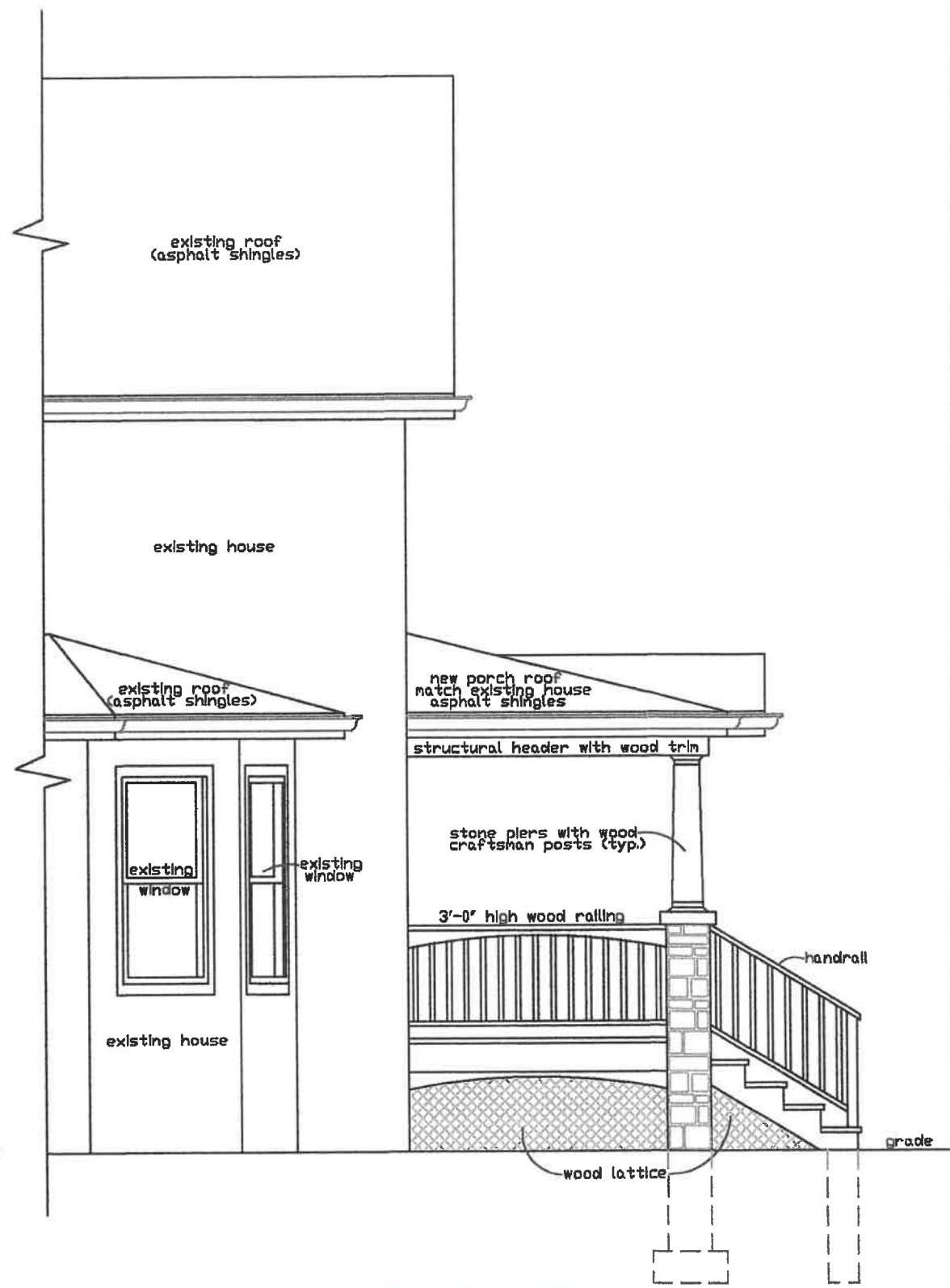
3105 WISHING WELL LANE ISLAND LAKE, IL 60042 (847) 526-4955



EXISTING  
FRONT ELEVATION

Scale: 1/4" = 1'-0"

EXISTING & PROPOSED ELEVATIONS



PROPOSED  
EAST ELEVATION

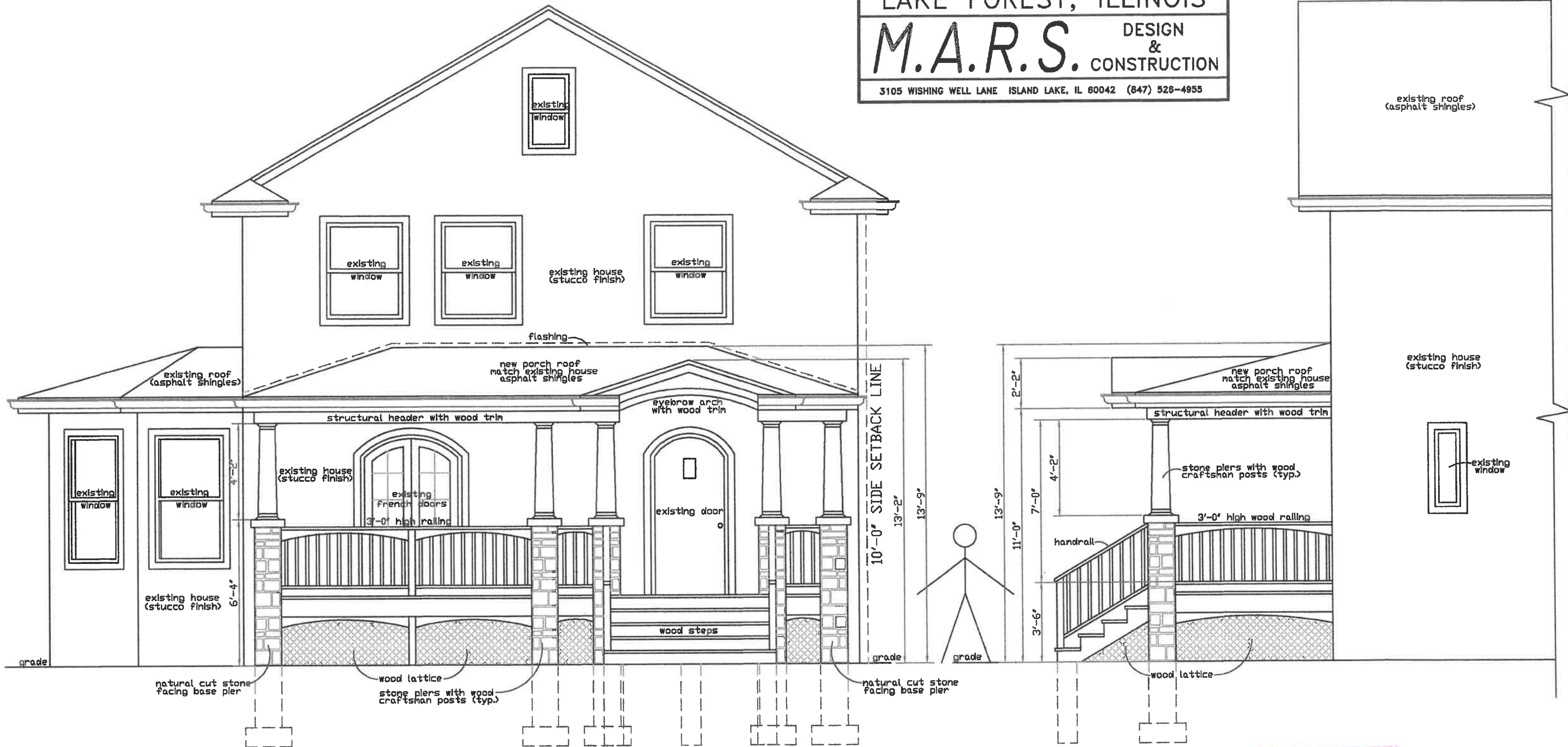
Scale: 1/4" = 1'-0"



SAVILLE-SCHULTE/DAUER  
383 E. ILLINOIS ROAD  
LAKE FOREST, ILLINOIS

**M.A.R.S.** DESIGN  
& CONSTRUCTION

3105 WISHING WELL LANE ISLAND LAKE, IL 60042 (847) 526-4955



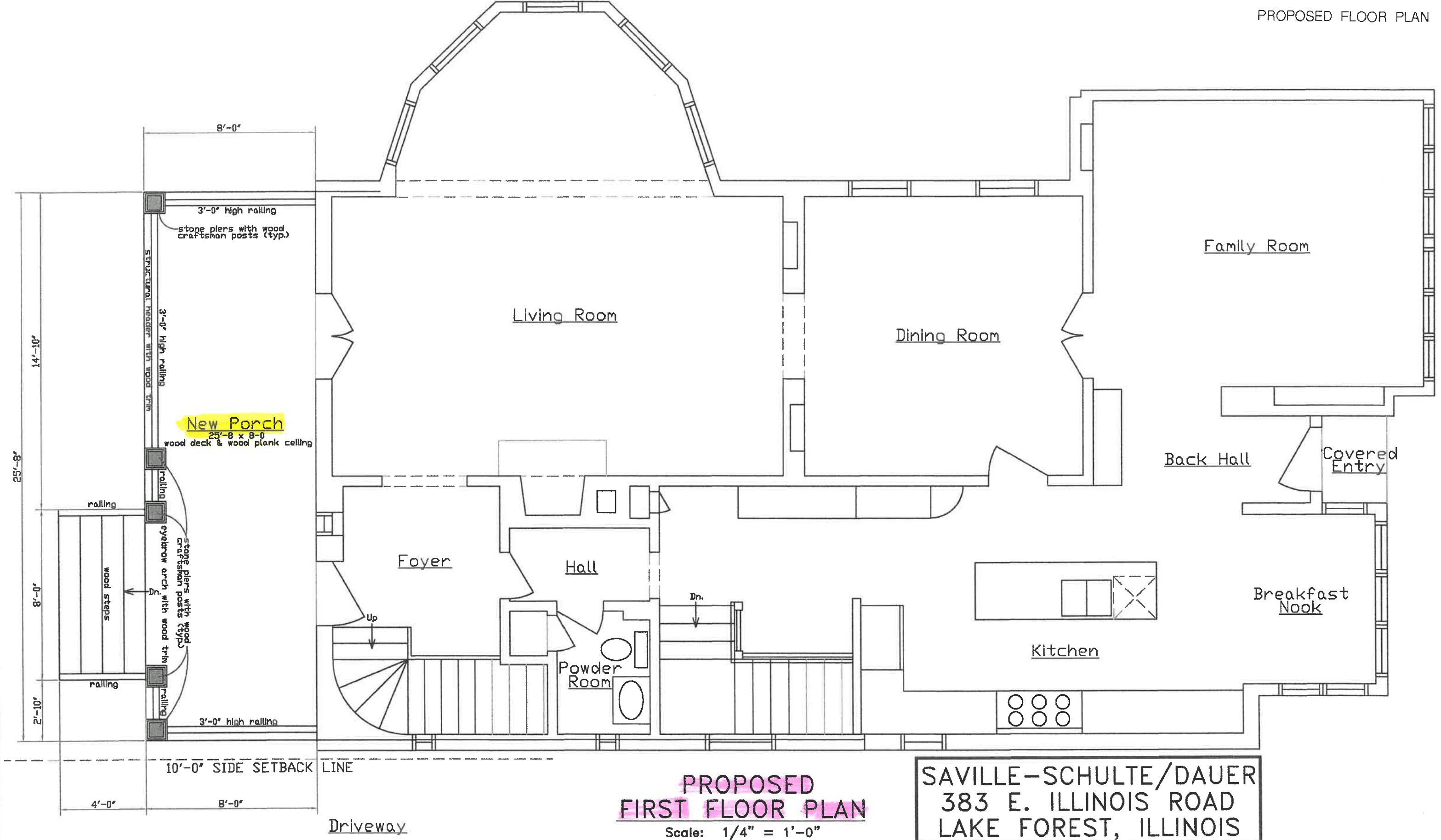
**PROPOSED  
FRONT/NORTH ELEVATION**

Scale: 1/4" = 1'-0"

**PROPOSED  
WEST ELEVATION**

Scale: 1/4" = 1'-0"





PROPOSED  
FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

NORTH



SAVILLE-SCHULTE/DAUER  
383 E. ILLINOIS ROAD  
LAKE FOREST, ILLINOIS

M.A.R.S. DESIGN  
& CONSTRUCTION

3105 WISHING WELL LANE ISLAND LAKE, IL 60042 (847) 526-4955



EXISTING RESIDENCE



**Agenda Item 5**  
**242 Ahwahnee Lane**  
**Sunroom Addition & Building Scale Variance**

Staff Report  
Building Scale Summary  
Vicinity Map  
Air Photos

Materials Submitted by Petitioner

Application  
Statement of Intent  
Description of Exterior Materials  
Plat of Survey – Existing Conditions  
Proposed Site Plan  
Proposed Sunroom Elevations  
Color Renderings  
Building Section  
Proposed Roof Plan  
Proposed Floor Plan  
Proposed Landscape Plan  
Alternate Design Studies



## 242 Ahwahnee Lane

**Consideration of a request for approval of a sunroom addition on the rear of the existing residence at 242 Ahwahnee Lane. A building scale variance is also requested.**

**Property Owners: Ted and Kristin Rupp**

**Project Representative: Timothy Archibald, architect**

Staff Contact: Jen Baehr, Planner

### **Description of Property and Existing Residence**

This property is located on the south side of Ahwahnee Lane, south of Deerpath, east of Route 41 and one lot west of Ahwahnee Road. The surrounding neighborhood transitions from smaller homes on the northern portion of Ahwahnee Lane, closest to Deerpath and larger homes to the south along Ahwahnee Road. Many of the homes along Ahwahnee Lane were built in the 1950s with a few homes built in the 1990s and 2000s.

The property that is the subject of this request is 1.25 acres. The residence on the property was constructed in 2016. The residence is a two-story, Colonial style home with elements such as steeply pitched gable roofs, shed dormers, bay windows, and paneled shutters.

### **Summary of Request**

This is a request for approval of a sunroom addition on the southeast corner of the home. A building scale variance is required to expand the home as proposed and as a result, this petition is presented to the Board for consideration. Modifications to the hardscape in the rear yard associated with the sunroom addition are also proposed.

### **Staff Evaluation**

An evaluation of the project based on the applicable standards and staff recommendations is offered below for the Board's considerations.

#### *Site Plan – This standard is met.*

The proposed sunroom addition is located on the south side of the home, fully behind the residence, and is not visible from the street. The sunroom addition complies with the zoning setback requirements. The configuration of the existing rear brick paver patio is proposed to change as shown in the proposed landscape plan included in the Board's packet.

The information submitted by the petitioner shows that the amount of the impervious surface currently on the site totals 9,368 square feet, equal to 17.1% of the lot area. The total amount of proposed impervious surface on the site, including the sunroom addition and modifications to the rear patio, totals 9,381 square feet, equal to 17.2% of the lot area. A more detailed calculation of the impervious surface on the site is included on the site plan in the Board's packet.

#### *Building Massing and Height – A building scale variance is requested.*

Based on the lot size, a residence of up to 6,176 square feet is permitted on the site with an allowance of 800 square feet for a garage and 618 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries and screen porches.

- The existing residence totals 5,985 square feet and complies with the allowable square footage.
- The existing house has a total of 124 square feet of design elements.
- The existing garage totals 878 square feet. The garage overage of 78 square feet is included in the total square footage of the existing residence.
- The proposed sunroom adds 574 square feet to the first floor area of the home. Although the sunroom addition presents a light and open appearance, the Code does not specifically identify sunrooms as a design element unless they are screened and open air, therefore, the square footage of the sunroom must be included in the calculation of the total square footage of the home.
- In conclusion, the square footage of the existing residence, with the proposed sunroom addition, is 6,559 square feet. The total square footage exceeds the allowable by 383 square feet, equal to 6% of the allowable square footage.

#### **Review of Building Scale Variance Standards and Staff Recommendation**

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, *Standard 1 and at least one additional standard be met. The Code does not require that all five standards be met.* These standards recognize that each project is different as is the context of each site. A staff review of the standards is provided below.

##### **Standard 1 – The project is consistent with the design standards of the City Code.**

This standard is met. The design of the proposed sunroom is a simple single story element that is compatible with and subordinate to the existing home. The sunroom addition features natural materials, consistent with the design standards of the City Code. The sunroom presents a light and open appearance that is not perceived as adding to the visual mass of the home.

##### **Standard 2 – Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.**

This standard is met. The height and mass of the sunroom addition is minimal in relation to the existing home. There is existing vegetation on the site as well as new plantings shown on the proposed landscape plan that will mitigate views of the sunroom from adjacent properties.

##### **Standard 3 – New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.**

This standard is met. The sunroom is located behind the residence in the rear yard and does not impact the streetscape. The siting of the sunroom does not have a negative impact on neighboring homes or properties.

##### **Standard 4 – The height and mass of the residence, garage, and accessory structures will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.**

This standard is met. Structures on surrounding properties consist of single story ranch style homes as well as two and two and a half story homes. The sunroom is 18 feet wide and 25 feet and 9 inches long. The height of the sunroom is 17 feet and 9 inches. The footprint of the sunroom is

considerably smaller than surrounding structures and the height of the sunroom is compatible with the height of surrounding homes.

**Standard 5 – The property is located in a local historic district or is designated as a Local Landmark and the approval of a variance would further the purpose of the ordinance.**

This standard is not met. The property is not located in a local historic district or designated as a Local Landmark.

**Standard 6 – The property is adjacent to land used and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.**

This standard is not met. The property is not located adjacent to land used as permanent open space.

**In summary, the criteria for a building scale variance are satisfied as detailed in the findings presented above. The first standard and three additional standards are satisfied.**

The maximum building height for this property is 40 feet. The highest point of the existing house, as measured from the lowest point of the existing grade is 33 feet and 3 inches. The height of the roof ridge on the proposed sunroom addition is 17 feet and 9 inches. The chimney on the east elevation of the sunroom will extend above the roof ridge to a height of 21 feet and 2 inches.

*Elevations – This standard is met.*

The sunroom has vertically oriented openings on all four elevations. The single story nature of the addition should help to minimize any light spillover from the expansive fenestration on the sunroom however, care should still be taken in selecting and placing interior lights to avoid light spillover to neighboring homes and properties. Wood panels are proposed below the openings on the north, east and south elevations. The west elevation presents a large sliding pocket door system. Openings in the gable ends on the east and west elevations and a skylight centered on the roof are proposed. A chimney is proposed on the east elevation of the sunroom.

The sunroom is connected to the existing house by a small, flat roof element which provides the separation needed to allow the sunroom roof to match the gable style and pitch as the roof forms on the existing home. The small flat roof element also creates the separation needed between the existing house and sunroom to avoid water and ice issues that would occur if the gable roof were to be directly abutting the existing home.

*Type, color, and texture of materials – This standard is met.*

The sunroom will have aluminum clad openings and a wood shingle roof to match the existing home. Natural wood is proposed for the trim, soffits, fascia, rakeboards and paneling. The small connecting element between the sunroom and existing home will have brick exterior walls with a copper parapet. The chimney proposed on the east side of the sunroom will be brick with a clay chimney pot.

*Landscaping – This standard is met.*

The proposed sunroom addition does not require removal of any trees on the site. A landscape plan was submitted by the petitioner and is included in the Board's packet. The plan shows new plantings around the foundation of the sunroom, rear patio and along the east property line. The proposed plantings include a



row of arborvitae along the east property line to provide screening of the sunroom addition, ornamental trees, hydrangea, boxwood, yew and viburnum.

### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

### **Recommendation**

Based on satisfaction of the criteria for a variance as detailed above, recommend approval of a building scale variance to allow construction of a sunroom addition. The recommendation is also based on the findings in the staff report which conclude that the proposed sunroom meets the applicable design standards. Approval is recommended subject to the following conditions.

1. If any modifications are made to the plans that were presented to the Board, either in response to Board direction, or as the result of final design development, the modifications shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
2. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, *except those illuminated by natural gas at low light levels*, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
3. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

**THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET**

Address 242 Ahwahnee Lane Owner(s) Ted and Kristen Rupp

Architect Tim Archibald, architect Reviewed by: Jen Baehr

Date 1/10/2021

Lot Area 54703 sq. ft.

**Square Footage of Existing Residence:**

1st floor 3207 + 2nd floor 2396 + 3rd floor 110 = 5713 sq. ft.

Design Element Allowance = 618 sq. ft.

Total Existing Design Elements = 124 sq. ft. Excess = 0 sq. ft.

Garage 878 sf actual ; 800 sf allowance = 78 sq. ft.

Garage Width 23' - 4" ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 194 sq. ft.

Accessory buildings = 0 sq. ft.

**Total Square Footage of Existing Residence:** = 5985 sq. ft.

**Square Footage of Proposed Additions:**

1st floor 574 + 2nd floor 0 + 3rd floor 0 = 574 sq. ft.

New Garage Area 0 sq. ft. Excess = 0 sq. ft.

New Design Elements 0 sq. ft. Excess = 0 sq. ft.

**TOTAL SQUARE FOOTAGE** = 6559 sq. ft.

**TOTAL SQUARE FOOTAGE ALLOWED** = 6176 sq. ft.

**DIFFERENTIAL** = 383 sq. ft. **NET RESULT:**  
**Over Maximum**

383 sq. ft. is

Allowable Height: 40 ft. Actual Height 33'- 3" (existing house) 17' - 9" (proposed sunroom) **6.2% over the Max. allowed**

**DESIGN ELEMENT EXEMPTIONS (Existing & Proposed)**

**Design Element Allowance:** 618 sq. ft.

Front & Side Porches = 61 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 19 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

Individual Dormers = 36 sq. ft.

Bay Windows = 8 sq. ft.

**Total Actual Design Elements =** 124 sq. ft.

**Excess Design Elements =** 0 sq. ft.



Area of Request  
242 Ahwahnee Lane





Area of Request  
242 Ahwahnee Lane



Area of Request  
242 Ahwahnee Lane







THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 242 AHWAHNEE LANE, LAKE FOREST

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input checked="" type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

TED & KRISTIN RUPP

*Owner of Property*

242 AHWAHNEE LANE

*Owner's Street Address (may be different from project address)*

LAKE FOREST, IL 60045

*City, State and Zip Code*

(312) 952-0495

*Phone Number*

*Fax Number*

TRUPP@KOVITZ.COM

*Email Address*

*Owner's Signature*

ARCHITECT/BUILDER INFORMATION

TIMOTHY ARCHIBALD

*Name and Title of Person Presenting Project*

MIDWEST ARCHITECTURE STUDIO, INC.

*Name of Firm*

269 MARKET SQUARE

*Street Address*

LAKE FOREST, IL 60045

*City, State and Zip Code*

(847) 830-0960

*Phone Number*

*Fax Number*

TIM@MASISMORE.COM

*Email Address*

*Representative Signature (Architect/Builder)*

ARCHITECT

The staff report is available the Friday before the meeting, after 3:00pm.

*Please email a copy of the staff report*

☒ OWNER

☒ REPRESENTATIVE

*Please fax a copy of the staff report*

☐ OWNER

☐ REPRESENTATIVE

*I will pick up a copy of the staff report at  
the Community Development Department*

☐ OWNER

☐ REPRESENTATIVE





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MIDWEST  
ARCHITECTURE  
STUDIO

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## BUILDING REVIEW BOARD APPLICATION

Ted and Kristin Rupp  
242 Ahwahnee Lane  
Lake Forest, IL 60045

### STATEMENT OF INTENT

242 Ahwahnee Lane was built in 2016 and has been owned by Ted and Kristin Rupp since 2017. The single-family residence is 2 stories, light red brick with white trim and cedar roof in a Colonial style. The Rupps are proposing a sunroom addition in the back yard to complement the use of their interior space and backyard landscaping. The intent of the new space is to provide unobstructed views to the back yard and to feel more connected to the landscape in ways the existing house does not fully accommodate, while providing a conditioned space that can be enjoyed year-round.

Initially the project was conceived as a screened porch addition, utilizing the 494 sf of Design Element Exemption available to the Rupps. As the project evolved, the design grew to 574 sf to accommodate improved roof compositions, and also became a space the Rupps wanted to use in all seasons thus requiring windows and doors. As such, the screened porch became a sunroom contributing to interior area and overall bulk. Based on bulk calculations by the City of Lake Forest, the property has 191 sf of available bulk, resulting in an overage of 383 sf (6.2%) to accommodate the 574 sf new sunroom. We are asking for a Building Scale Variance for the new sunroom of 383 sf (6.2%).

The proposed sunroom meets the design goals of the Rupps, and is in keeping with the City of Lake Forest Residential Design Guidelines. Beyond function and pleasure, the design pays close attention to the following criteria relative to the existing house and neighborhood: composition, scale and massing; compatible architectural style and material choices; window and door composition within the facades; roof lines and heights; and impact on adjacent properties. In addition, the Rupps have been and continue to be committed to landscape design and implementation to enhance their outdoor space and respect the privacy of adjacent properties with appropriate landscape screening. As a component of the overall house composition, the new sunroom has clean, simple lines with shapes, angles and materials consistent with the house and adhering to the hierarchy of house volumes. One of the design goals was to capture the transitional nature of the space between inside and outside. It is for all purposes a "design element" as encouraged by the City, but constructed to the quality of interior space. Finally, the project is located fully in the backyard and not visible in any way from the street, and nearly completely screened from adjacent neighbors.

The following responses to the Standards for approval of the variance give greater detail about the goals and design of the project.



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## STANDARDS FOR ARCHITECTURAL AND SITE DESIGN REVIEW

***Standard 1 - Site Plan. All setbacks should be met or exceeded and disturbance to the natural landscaping on the property should be minimized. Driveway and parking areas should be screened to reduce visual intrusions into surrounding properties. Screening, fencing, gates and pillars should be consistent in design and materials with the principal buildings and the surrounding neighborhood.***

All of these standards are met with the current design. All setbacks are respected, the site is flat, and no trees will be removed or affected by the siting. All design elements are consistent with existing house and surrounding neighborhood. Extensive landscape screening has been installed and is planned for post-construction of the sunroom.

***Standard 2 - Elevations. The scale and height of the project should comply with Code requirements and should be visually compatible with the landscaping, topography and buildings on the site and in the neighborhood. The visual continuity of roofs should be maintained in building development or redevelopment. To the extent possible, the project should be consistent with a chosen style of architecture. The elevations of the project should be proportional to the property and surrounding neighborhood.***

All of these standards are met with the current design. The scale, shape and height of the roof lines and elevations adhere to the details and hierarchy of the existing house and are consistent with the Colonial style.

***Standard 3 - Landscaping. Landscaping plans should be consistent with the natural environment of the site and surrounding properties. Existing natural features should be appropriately preserved and integrated into the project.***

All of these standards are met with the current design. Extensive landscaping has been completed and will continue after construction of the project to enhance the outdoor space and respect the privacy of adjacent properties with appropriate landscape screening.

***Standard 4 - Type, Color and Texture of Materials. Exterior materials should be of the highest quality, appropriate for the intended use, and consistent with the chosen architectural style. Imitation and synthetic substitutions should be avoided and the design, material and color scheme should be compatible with and enhance the character of the property and the surrounding neighborhood.***

All of these standards are met with the current design. The chosen materials match those of the existing house in all ways.

***Standard 5 – Overall Site Layout. The building layout should maximize the distance between buildings on the site and adjacent properties. The size, scale and nature of a building or project should be consistent with the existing streetscape and character of the neighborhood.***

All of these standards are met with the current design. The project is located fully in the backyard and not visible in any way from the street, and nearly completely screened from adjacent neighbors.



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## STANDARDS FOR APPROVAL OF A BUILDING SCALE VARIANCE

***Standard 1. The project is consistent with the design standards in Section 147 of the City of Lake Forest Code.***

This Standard is met with the current design. See Statement of Intent.

***Standard 2. Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.***

This Standard is met with the current design. The new sunroom is single story. There are mid-height evergreens adjacent to the sunroom, and large scale mature hardwood trees at the property line. These landscape elements dominate the scale of the sunroom.

***Standard 3. New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.***

This Standard is met with the current design. The project is located fully in the backyard and not visible in any way from the street, and nearly completely screened from adjacent neighbors. The new sunroom will not impact the light to or views from the adjacent neighbors.

***Standard 4. The height and mass of the residence, garage and accessory structures will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.***

This Standard is met with the current design. The project is located fully in the backyard and not visible in any way from the street, and compatible in scale with elements in the backyards of adjacent neighbors.

***Standard 5. The property is located in a local historic district or is designated as a local landmark and the addition is consistent with the standards in the historic preservation regulations and approval of a variance would further the purpose of the ordinance.***

This Standard does not apply to the project.

***Standard 6. The property is adjacent to land used and zoned as permanent open space, a conservation easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.***

This Standard does not apply to the project.





**THE CITY OF LAKE FOREST**  
**BUILDING REVIEW BOARD APPLICATION**  
***DESCRIPTION OF EXTERIOR MATERIALS***

**Façade Material**

- ☐ Stone  
☒ Brick  
☐ Wood Clapboard Siding  
☐ Stucco

- ☐ Wood Shingle  
☐ Aluminum Siding  
☐ Vinyl Siding  
☐ Synthetic Stucco  
☐ Other \_\_\_\_\_

Color of Material \_\_\_\_\_

**Window Treatment**

**Primary Window Type**

- ☐ Double Hung  
☒ Casement  
☐ Sliding  
☐ Other \_\_\_\_\_

**Finish and Color of Windows**

- ☐ Wood  
☒ Aluminum Clad  
☐ Vinyl Clad  
☐ Other \_\_\_\_\_  
Color of Finish \_\_\_\_\_

**Window Muntins**

- ☐ Not Provided  
☐ True Divided Lites

*Simulated Divided Lites*

- ☒ Interior and Exterior muntin bars  
☐ Interior muntin bars only  
☐ Exterior muntin bars only  
☐ Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- ☒ Limestone  
☒ Brick  
☐ Wood  
☐ Synthetic Material \_\_\_\_\_  
☐ Other \_\_\_\_\_

**Window Trim**

- ☒ Limestone  
☒ Brick  
☒ Wood  
☐ Synthetic Material \_\_\_\_\_  
☐ Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- ☒ Wood  
☐ Other \_\_\_\_\_  
☐ Synthetic Material \_\_\_\_\_

THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED***

**Chimney Material**

- ☒ Brick  
☐ Stone  
☐ Stucco  
☐ Other CONCRETE

**Roofing**

**Primary Roof Material**

- ☐ Wood Shingles  
☒ Wood Shakes  
☐ Slate  
☐ Clay Tile  
☐ Composition Shingles \_\_\_\_\_  
☐ Sheet Metal \_\_\_\_\_  
☐ Other \_\_\_\_\_

**Flashing Material**

- ☒ Copper  
☐ Sheet Metal \_\_\_\_\_  
☐ Other \_\_\_\_\_

Color of Material NATURAL CEDAR

**Gutters and Downspouts**

- ☐ Copper  
☒ Aluminum  
☐ Other \_\_\_\_\_

**Driveway Material**

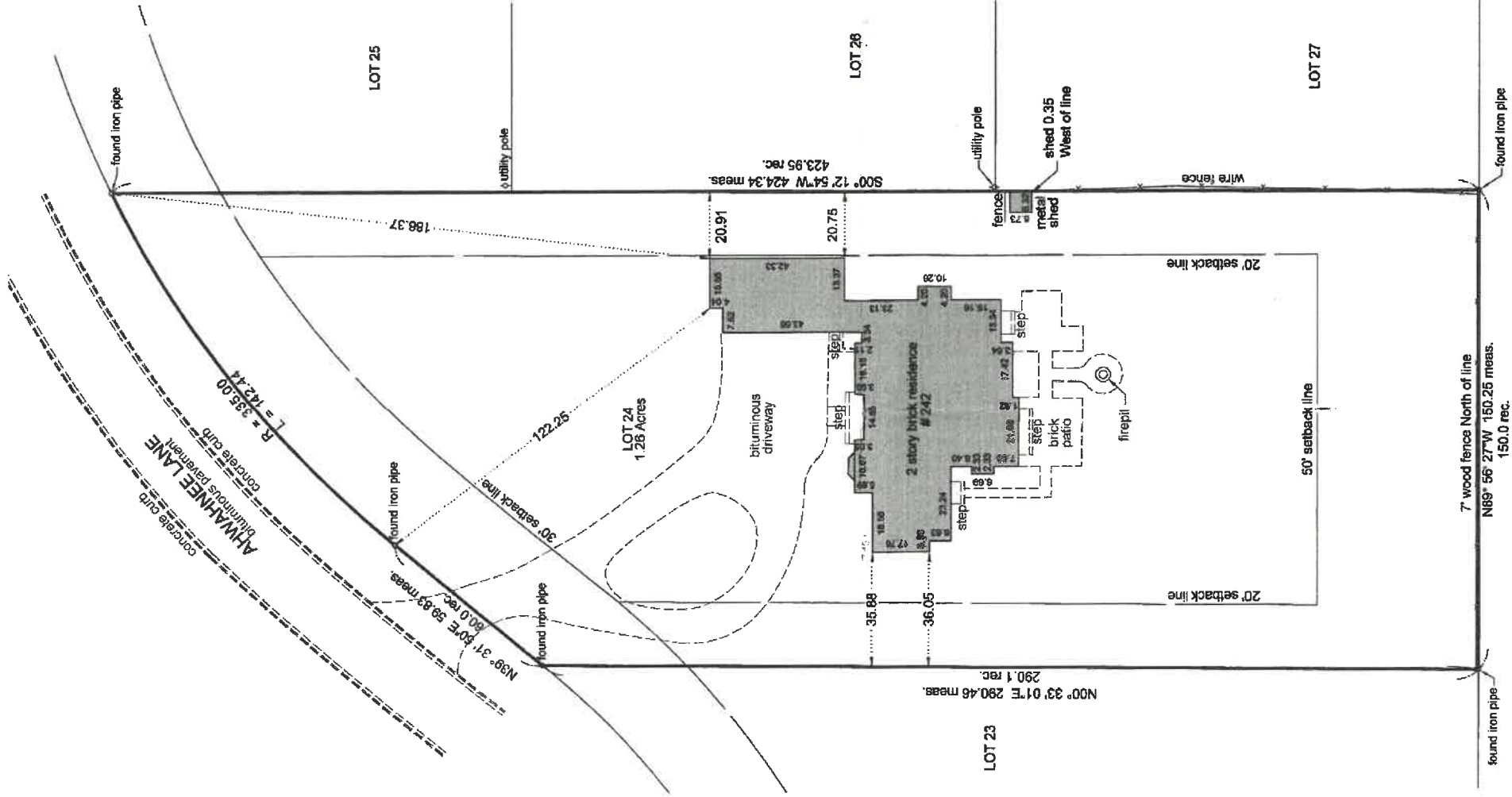
- ☒ Asphalt  
☐ Poured Concrete  
☐ Brick Pavers  
☐ Concrete Pavers  
☐ Crushed Stone  
☐ Other \_\_\_\_\_

**Terraces and Patios**

- ☐ Bluestone  
☒ Brick Pavers  
☐ Concrete Pavers  
☐ Poured Concrete  
☐ Other \_\_\_\_\_

# PLAT OF SURVEY

LOT 24 IN ONWENTZIA VIEW, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 44 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED MAY 11, 1977, AS DOCUMENT 298708, IN BOOK "R" OF PLATS, PAGE 53, IN LAKE COUNTY, ILLINOIS.



PLAT IS VOID IF IMPRESSED SEAL DOES NOT APPEAR

STATE OF ILLINOIS  
COUNTY OF LAKE } S.S.

NOTE: ONLY THOSE BUILDING LINES OR EASEMENTS SHOWN ON THE RECORDED SUBDIVISION PLAT ARE SHOWN HEREON; CHECK LOCAL ORDINANCES BEFORE BUILDING. COMPARE YOUR DESCRIPTION AND SITE MARKINGS WITH THIS PLAT AND AT ONCE REPORT ANY DISCREPANCIES WHICH YOU MAY FIND.

ON BEHALF OF BLECK ENGINEERING COMPANY, INC., I, JACK R. BLECK, DO HEREBY CERTIFY THAT THE PROPERTY DESCRIBED IN THE ABOVE CAPTION WAS SURVEYED AND STAKED BY ME, OR UNDER MY DIRECTION, AND THE PLAT DRAWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY. MEASUREMENTS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED AT LAKE FOREST, ILLINOIS, THIS 6TH DAY OF JANUARY A.D., 2017.

BY JACK R. BLECK  
REGISTERED ILLINOIS LAND SURVEYOR NO. 3591



Project No. 70-998

**BLECK**  
engineers | surveyors

Bleck Engineering Company, Inc.  
1375 North Western Avenue  
Lake Forest, Illinois 60045  
T 847.295.5200 F 847.295.7081  
www.bleckeng.com

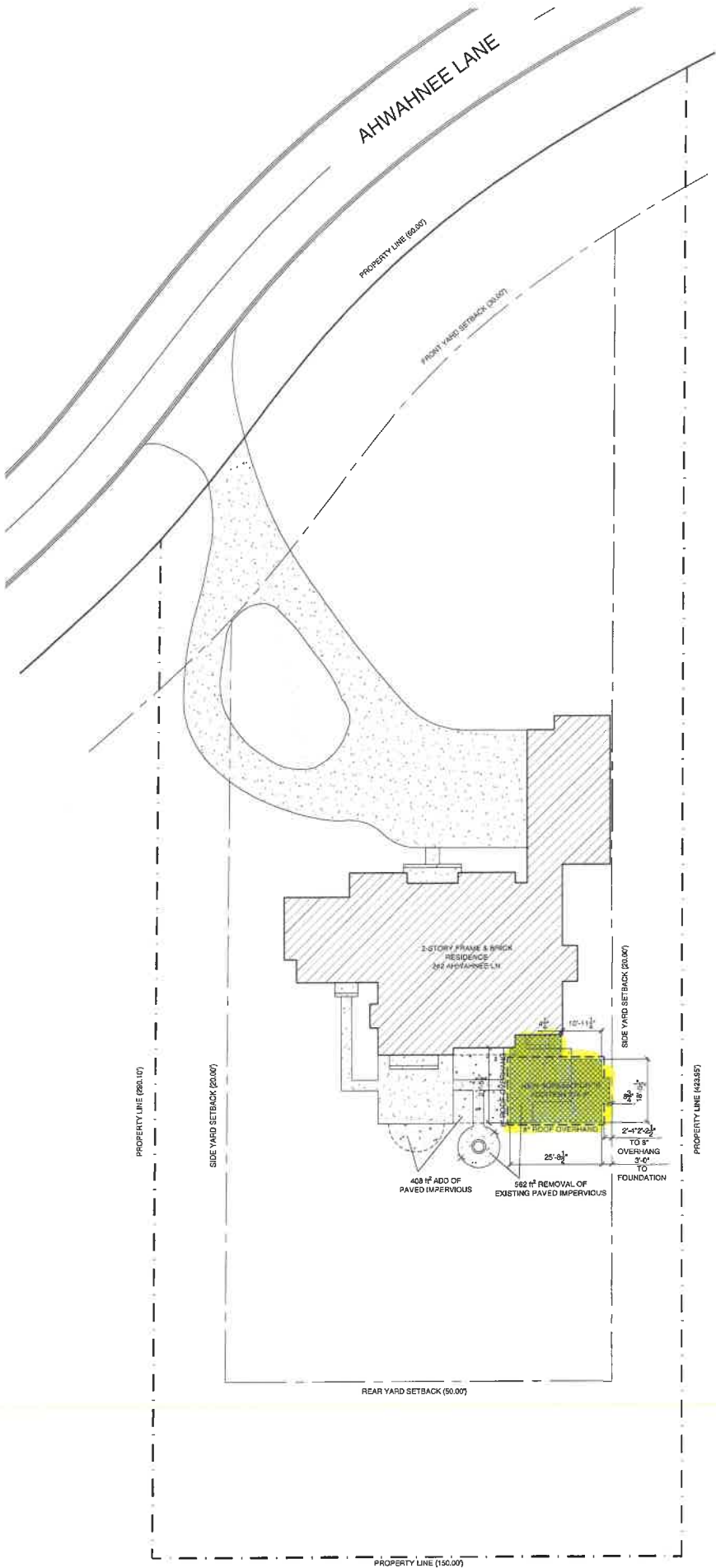


PROPOSED SITE PLAN

MAS

MIDWEST  
ARCHITECTURE  
STUDIO

269 MARKET SQUARE SUITE A  
LAKE FOREST IL 60046  
T 847 604 8599  
F 847 604 8598  
WWW.MASISMORE.COM



ZONING INFORMATION

R-4  
MIN. LOT SIZE = 60,000 ft<sup>2</sup>  
MIN. LOT WIDTH = 150'-0"  
ACTUAL LOT SIZE = 54,703 ft<sup>2</sup>  
ACTUAL LOT WIDTH = 95'-0"  
FRONT YARD SETBACK = 50'-0"  
INTERIOR SIDE YARD SETBACK = 20'-0"  
CORNER SIDE YARD = 50'-0"  
REAR YARD SETBACK = 50'-0"  
MAX HEIGHT OF PRINCIPLE BUILDING = 40'-0"  
FRONT YARD ACCESSORY = 50'-0"  
INTERIOR SIDE YARD SETBACK ACCESSORY (ENTIRE STRUCTURE IN REAR 25% = 10'-0") = 20'-0"  
CORNER SIDE YARD ACCESSORY = 20'-0"  
REAR YARD ACCESSORY = 10'-0"  
MAX HEIGHT OF ACCESSORY STRUCTURE = 25'-0"  
GARAGE ALLOWANCE = 800 ft<sup>2</sup> (MAX WIDTH N/A)

EXISTING LOT COVERAGE

(EXISTING BLDG + EXISTING IMPERVIOUS) / LOT SQFT  
(4,085 FT<sup>2</sup> + 5,283 FT<sup>2</sup>) / 54,703 ft<sup>2</sup>  
9,368 ft<sup>2</sup> / 54,703 ft<sup>2</sup>  
17.1%

PROPOSED LOT COVERAGE

(EXISTING BLDG + BLDG ADD + EXISTING IMPERVIOUS TO REMAIN + IMPERVIOUS ADD) / LOT SQFT  
(4,085 FT<sup>2</sup> + 574 FT<sup>2</sup> + 4,721 ft<sup>2</sup> + 408 ft<sup>2</sup>) / 54,703 ft<sup>2</sup>  
9,381 FT<sup>2</sup> / 54,703 ft<sup>2</sup>  
17.2%

1 SITE PLAN W/ EXISTING & PROPOSED  
1:20



PROPOSED BLDG ADDITION



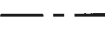
EXISTING PAVED IMPERVIOUS



EXISTING BLDG FOOTPRINT



PROPOSED PAVED IMPERVIOUS



PROPERTY SETBACK



PROPERTY LINE



INDICATES EXISTING  
CONSTRUCTION TO BE  
REMOVED

ARCHITECTURAL SITE PLAN  
& ZONING INFORMATION  
SCALE: 1/20  
12/3/21  
DRAWN BY: BB

RUPP RESIDENCE  
242 AHWAHNEE LN  
LAKE FOREST IL 60045

A1-0



1 WEST ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"



3 South Elevation  
1/4" = 1'-0"



















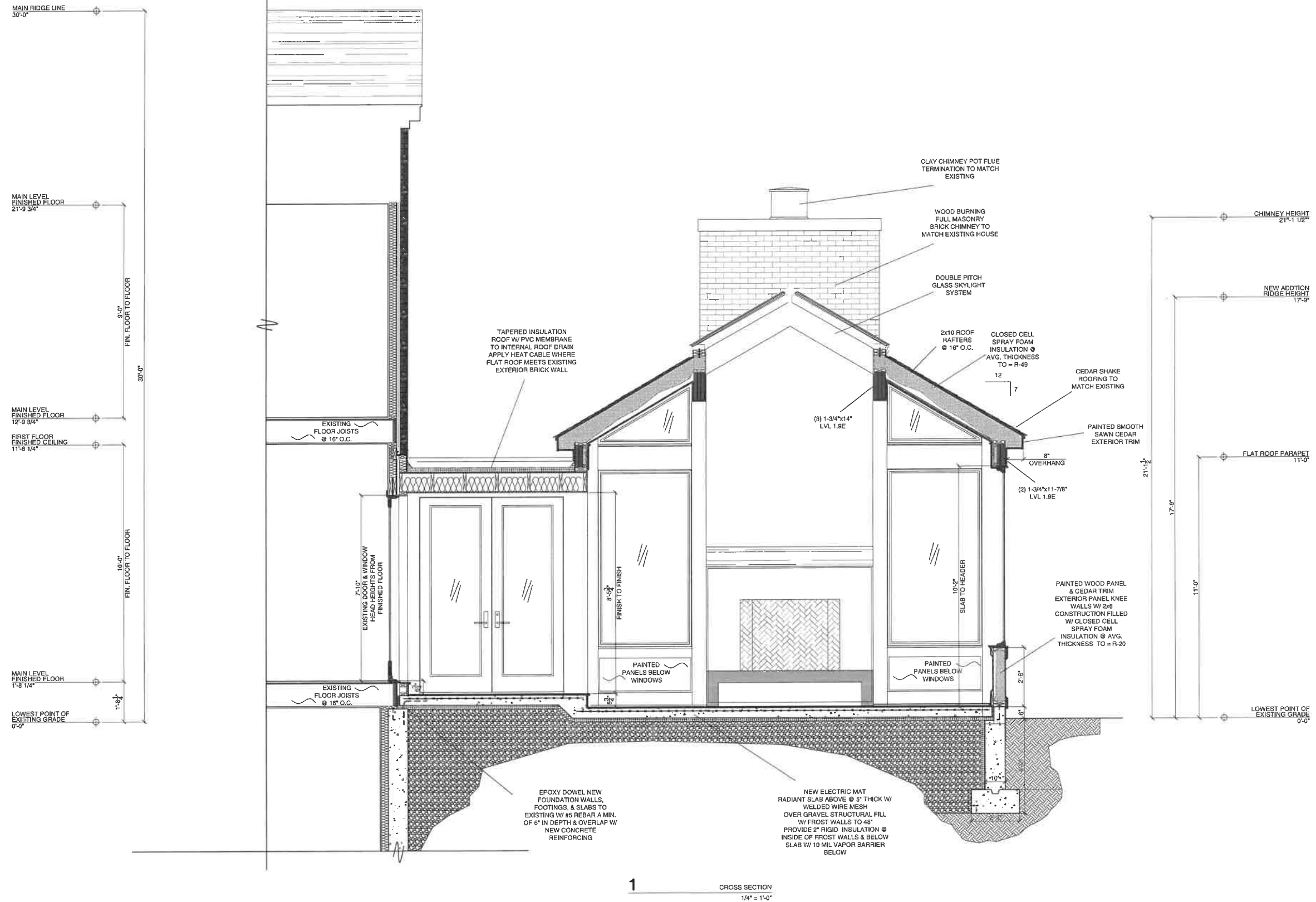


## BUILDING SECTION

# MAS

MIDWEST  
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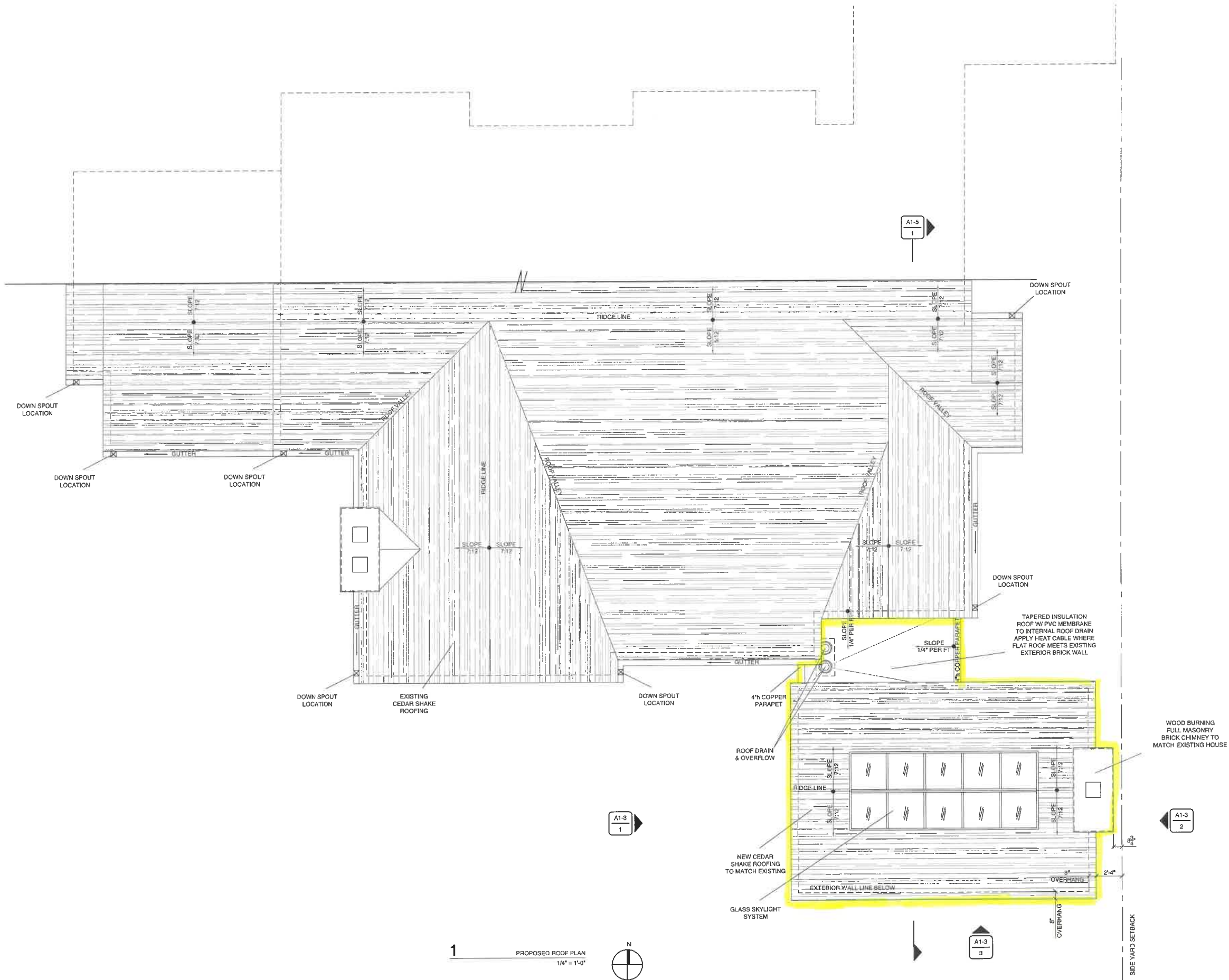
ARCHITECTURAL PLANS  
SECTION  
SCALE: AS NOTED  
12'3/21  
DRAWN BY: BB

RUPP RESIDENCE  
242 AHWAHNEE LN  
LAKE FOREST IL 60045

**A1-5**



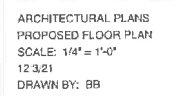
PROPOSED ROOF PLAN





# MAS

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A1-2



## **ALTERNATE DESIGN STUDIES**





ALTERNATE DESIGN 1



ALTERNATE DESIGN 2





ALTERNATE DESIGN 3





ALTERNATE DESIGN 4